



CITY OF GROSSE POINTE WOODS
PLANNING COMMISSION AGENDA
Tuesday, March 28, 2023 at 7:00 PM

*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426*

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. ACCEPTANCE OF AGENDA**
- 5. RECOGNITION OF COUNCIL REPRESENTATIVE/S**
- 6. APPROVAL OF MINUTES**
 - [A.](#) Planning Commission - 12/13/2022
- 7. ELECTION OF CHAIR AND VICE CHAIR**
- 8. ADOPTION OF RULES AND PROCEDURES**
 - [A.](#) By-laws and Rules of Procedures
- 9. CRISPELLI'S BUILDING REMODEL – 19852 MACK AVENUE**
 - [A.](#) Crispelli's Building Remodel – 19852 MACK AVENUE
- 10. 19876 MACK AVANUE FACADE SITE PLAN REVIEW**
 - [A.](#) 19876 Mack Avenue Facade Site Plan Review
- 11. 2022 PLANNING COMMISSION ANNUAL REPORT**
 - [A.](#) 2022 Planning Commission Annual Report
- 12. MASTER PLAN PART 2 PROPOSAL REVIEW**
 - [A.](#) Master Plan Part 2 Proposal Review
- 13. BUILDING OFFICIAL'S MONTHLY REPORT**
 - [A.](#) Building Department Report - January 2023, February 2023, March 2023
- 14. PLANNING COMMISSION REPORT**
- 15. COUNCIL REPORT/s**
 - A. December 19th - Vitale
 - B. January 9th & 23rd – Fuller
 - C. February 6th & 27th – Gilezan
 - D. March 6th & 20th - Hamborsky
- 16. INFORMATION ONLY: Council Representatives for Next Meeting**

A. April 3rd & 17th - McNelis

17. NEW BUSINESS

A. Subcommittees: Solar Ordinance

B. 2020 Plan

C. Crosswalk/Pocket Park

D. Streetscape

E. Discussion - Subcommittee Decommissioning

18. PUBLIC COMMENT

19. ADJOURNMENT

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249.

MINUTES OF THE REGULAR PLANNING COMMISSION MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON DECEMBER 13, 2022, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:05 p.m. by Chair Fuller.

Roll Call: Chair Fuller
Planning Commissioners: Bailey, Fenton, Gerhart, Gilezan, Hamborsky, Vitale
Absent: McNelis, O'Keefe
Also Present: Planning Project Manager, Michael Boettcher, AICP

MOTION by Hamborsky, seconded by Gerhart to excuse Commissioner McNelis and Commissioner O'Keefe from attendance at tonight's meeting.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale
NO: None
Absent: McNelis, O'Keefe

The Planning Commission, Staff, and the Public Pledged Allegiance to the Flag.

MOTION by Fenton, seconded by Vitale that tonight's agenda be received and placed on file.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale
NO: None
Absent: McNelis, O'Keefe

MOTION by Gerhart, seconded by Vitale, that the November 22, 2022, Planning Commission Meeting Minutes be approved as submitted.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale
NO: None
Absent: McNelis, O'Keefe

The next item on the agenda was **Public Hearings**.

MOTION by Gilezan, seconded by Bailey, to open the public hearing for the proposed rezoning at 20100 Mack Avenue.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,
NO: None
Absent: McNelis, O'Keefe
Abstain: Vitale

Chair Fuller opened the public hearing for proposed rezoning of 20100 Mack Avenue.

Planner Boettcher presented the review of the rezoning with the findings of fact.

No comments from the public.

MOTION by Gilezan, seconded by Bailey, to close the public hearing for the proposed rezoning at 20100 Mack Avenue.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,
NO: None
Absent: McNelis, O'Keefe
Abstain: Vitale

Chair Fuller closed the public hearing.

The next item on the agenda was **Rezoning Application for 20100 Mack Avenue Rezoning.**

MOTION by Gerhart, seconded by Gilezan, to recommend approval of the rezoning at 20100 Mack Avenue from P-1 to RO-1 to City Council.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,
NO: None
Absent: McNelis, O'Keefe
Abstain: Vitale

MOTION by Gilezan, seconded by Gerhart, to immediately certify the previous rezoning recommendation action for immediate effect, to be forwarded to City Council for their review and action.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,
NO: None
Absent: McNelis, O'Keefe
Abstain: Vitale

The next item on the agenda was **Master Plan Update with Giffels Webster.** Giffels Webster gave an introduction that included an update with the Master Plan process for the city. Discussion was held with the commission members.

The next item on the agenda was the **Building Official's Monthly Report.** Planning Project Manager, Michael Boettcher with Mckenna gave BS&A report of new activity and additional insight on the projects coming through the Building Department.

The next item on the agenda was the **Council Reports.**

The November 7th and 21st City Council meetings were discussed at the last Planning Commission meeting.

There was no report necessary for the December 5th City Council meeting.

The next item on the agenda was the **PC Member Attendance at 2023 City Council meeting**. Commissioner McNelis was put onto the April meeting.

The next item on the agenda was the **2023 Planning Commission Meeting Schedule**. This was an informational overview of the 2023 Planning Commission meeting dates.

Under **New Business** held discussion for the January Planning Commission agenda and standing subcommittees.

Under **Public Comment**: None.

MOTION by Vitale, seconded by Bailey to adjourn at 8:03 p.m. Motion carried by the following vote:

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale

NO: None

Absent: McNelis, O'Keefe

Respectfully Submitted, Alicia Warren
Zoning Administrator

RULES OF ORDER AND PROCEDURE
OF
PLANNING COMMISSION
OF
GROSSE POINTE WOODS

1. The Planning Commission shall be constituted and shall have powers and perform such duties as are provided for in Section 1, Chapter 4, of the City Code of the City of Grosse Pointe Woods.
2. The officers of the Planning Commission shall be a Chair, and Vice Chair/Secretary. The Chair shall preside at all Planning Commission meetings, and in the Chair's absence, the Vice Chair/Secretary shall act in such place and stead.
3. The terms of office of the Chair and Vice Chair/Secretary shall be for a period of one (1) year, or until their respective successors shall be elected and have qualified. At the first scheduled meeting of each year, the Commission shall elect from among its members, a Chair and Vice Chair/Secretary who shall be seated at the next regularly scheduled meeting.
4. The City Clerk or the Clerk's agent shall record all proceedings of the Planning Commission.
5. The Planning Commission shall hold regular meetings on the fourth Tuesday in each month, except December, which shall be held on the second Tuesday, at such time and at such Planning Commission shall determine. The regular Planning Commission meetings will be scheduled at 7:00 p.m., unless otherwise posted (01/22/19).
6. Special meetings of the Planning Commission shall be called by the City Clerk upon the written request of the Chair, endorsed in writing by two other members, or in such absence, by the Vice Chair/Secretary, endorsed in writing by two other members; or the written request of any three members of the Planning Commission on at least twenty-four (24) hours written notice to each member of the Planning Commission served personally or left at the place of residence; or by a majority affirmative vote of those present at a Planning Commission meeting.
7. No business shall be transacted at any special meeting of the Commission unless the same shall have been stated in the notice of such meeting, provided that the provisions hereof may be waived by consent of the members of the Commission present and the written consent of the absent members.
8. All meetings, both regular and special, shall be open to the public.
9. The majority of the members of the Planning Commission in office shall constitute the quorum for the transaction of business at any meeting thereof and in the event of a lack of quorum, the members of the Commission so present shall adjourn any such meeting to a later date.

10. The business of all meetings of the Commission shall be transacted, so far as possible, in the following order:

- Roll Call
- Approval of minutes
- Matters appearing upon the Agenda
- New Business

11. The presiding officer shall preserve order and decorum and shall speak to points of order in preference to other members. The presiding officer shall decide questions of order subject to appeal to the Commission, which appeal must be duly moved and seconded and sustained by majority vote of the Commission.

12. Before any member of the Commission, officers, or person in the audience may address the Commission, permission to do so must be obtained from the presiding officer, provided that any person having the floor shall not be interrupted unless ruled out of order by the presiding officer.

13. Approval of the Planning Commission shall be evidenced by a duly adopted motion or resolution of the Commission and by the execution of the "approval stamp" affixed to the front elevation of the building, the Plot Plan, the plat, the subdivision restrictions, the property use statement and other documents, as the case may be requiring approval by the Chair, or in the Chair's absence, by the Vice Chair/Secretary of the Commission, and when so approved the same shall be delivered to the City Clerk for further processing.

14. The Chair, in consultation with the Building Official, shall prepare an agenda of all matters which will be considered at each meeting, which agenda shall be distributed among the Commission members at least forty-eight (48) hours prior to the time of holding the meeting. Any matter not on the agenda shall not be acted upon without the unanimous consent of the members of the Commission present at such meeting, provided, if any matter is presented upon motion duly made and seconded, objection to action thereon shall be immediately voiced by any objecting members of the Commission before discussion is entered upon and, if no such objection is voiced, no objection shall thereafter be voiced to any action taken or proposed to be taken.

15. Upon request of a majority of the members of the Commission present, any question PROPERLY before the Commission shall be put to vote; such request for a vote shall be acted upon immediately without further discussion of the subject, and shall thereupon bring the question to a direct vote upon a motion to table, a motion to refer, a motion to amend, or upon the main question, in the order named.

16. At the request of a Commission member, any question shall be divided if such question, in the opinion of the presiding officer, is subject to division and shall be submitted as divided.

17. No motion or proposition different from that under consideration shall be admitted under cover of amendment, provided that a substitute motion may be submitted to cover the same subject matter and, if carried, shall result in determining the original motion out of order.

18. No motion shall be debated or put to a vote unless the same shall have been seconded and properly read by the Clerk, or summarized by the Chair.

19. A motion to reconsider any vote upon any question shall be in order at the following meeting of the Commission; provided that a member of the prevailing side intending to move to reconsider shall file a notice in writing of the Member's intention to do so with the Vice Chair/Secretary and the City Clerk within twenty-four (24) hours after the action to be reconsidered was taken. The same number of votes shall be required to reconsider any action of the Commission as is required to adopt the same.

Upon the filing of a Notice for reconsideration, the effect of the action to be reconsidered shall be suspended until action can be taken upon such consideration. Action upon the reconsideration shall be taken at the next regular Commission meeting or at a prior Special Meeting called for that purpose.

20. When any question is under debate, no motion shall be received except the following, and in the order named:

- Motion to adjourn
- Motion to table
- Motion for the question
- Motion to refer
- Motion to amend
- Substitute motion

21. A motion to adjourn shall always be in order except when a vote is being taken or when a member of the Commission has the floor. A motion to adjourn or to table shall be decided without debate.

22. These Rules of Order may be amended or altered by a majority vote of the Commission.

23. The Commission, by a majority affirmative vote of the Commission, may suspend the operation of any one of the aforementioned Rules for a single session, except Section 18.

24. Making of remarks by Commission members should be preceded by asking permission of the presiding officer.

25. Upon the City Clerk receiving a petition directed to the Planning Commission, which petition requires a public hearing under the provisions of the City Code, the City Clerk shall determine whether such petition contains all necessary information and, if so, the City Clerk may establish a date for a public hearing before the Planning Commission and publish any notices required and shall forward such petition to the Planning Commission which shall conduct the public hearing on the date established therefore.

26. **IMPORTANT:** If a Planning Commission Member will be absent for a meeting, the Member must notify the Chair of such anticipated absence as soon as possible prior to such meeting.

- 27. Except as above provided, Roberts "Rules of Order" shall govern.
- 28. The Chair shall prepare an annual report to be submitted to the City Council in accordance with the Planning Enabling Act. The report shall be submitted to the Planning Commission for approval in January of each calendar year to ensure that the report is submitted to the City Council for their budget deliberations. The report should summarize the Commission's operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.

29. **Conflict of Interest**

- A. Before casting a vote on a matter on which a member may reasonably be considered to have a conflict of interest, the member shall disclose the potential conflict of interest to the Planning Commission. The member is disqualified from voting on the matter if a conflict exists.
- B. Each member of the Commission shall avoid conflicts of interest and/or incompatibility of office. As used here, a conflict of interest shall at a minimum include, but not necessarily be limited to, the following:
 - 1. Issuing, deliberating on, voting on, or reviewing a case concerning him or her.
 - 2. Issuing, deliberating on, voting on, or reviewing a case concerning work on land owned by him or her or which is adjacent to land owned by him or her.
 - 3. Issuing, deliberating on, voting on, or reviewing a case involving a corporation, company partnership, or any other entity in which he or she is a part owner, or any other relationship where he or she may stand to have a financial gain or loss.
 - 4. Issuing, deliberating on, voting on, or reviewing a case which is an action which results in a pecuniary benefit to him or her.
 - 5. Issuing, deliberating on, voting on, or reviewing a case concerning his or her spouse, children, step-children, grandchildren, parents, brothers, sisters, grandparents, parents in-law, grandparents in-law, or members of his or her household.
 - 6. Issuing, deliberating on, voting on, or reviewing a case where his or her employee or employer is:
 - a) An applicant or agent of an applicant, or
 - b) Has a direct interest in the outcome.
- C. If there is a question whether a conflict of interest exists or not, the question shall be put before the Commission. Whether a conflict of interest exists or not shall be determined by a majority vote of the remaining members of the Commission.
- D. When a conflict of interest exists, the member of the Commission, or committee, shall do all of the following as soon as possible.
 - 1. Declare a conflict exists at the first available meeting of the Commission or committee;

- 2. Cease to participate at the Commission or committee meetings, or in any other manner, or represent one's self before the Commission, its staff, or others, provided however that the member may remain in the Council chambers during deliberation.

- E. If a member of the Commission is appointed to another office, which is an incompatible office with his or her membership on the Commission, then on the effective date of the appointment to the other office, that shall result in an automatic resignation from the Commission. If a member of another office is appointed to the Commission, which is an incompatible office with his or her membership in the other office, then on the effective date of the appointment to the Commission, that shall result in an automatic resignation from the other office.

30. **Capital Improvement Review**

The Planning Commission will review information regarding appropriate capital improvement projects as provided to it by the Administration in order to comply with state law regarding the capital improvement review process.

* * *

MCKENNA

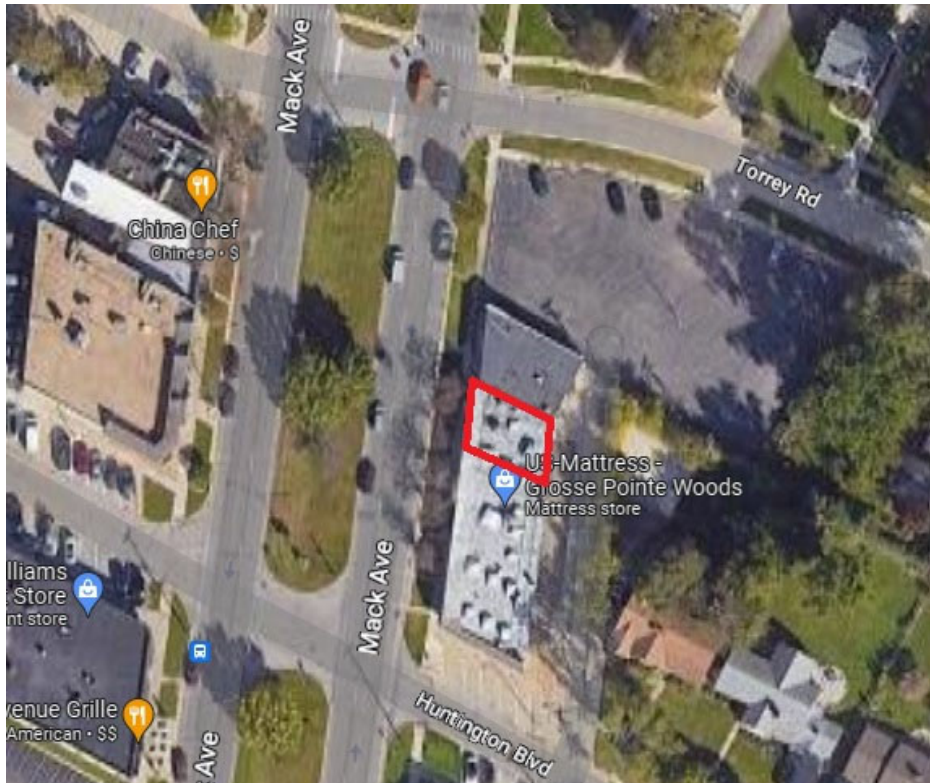
March 21, 2023

Planning Commission
 City of Grosse Pointe Woods
 20025 Mack Plaza Dr
 Grosse Pointe Woods, MI 48236

Subject: 19850 Mack Avenue Site Plan Review
 Parcel ID: 40-012-01-0373-301
 Site Plan Review #1
 Zoning: C - Commercial Business

Dear Commissioners:

In advance of a formal Site Plan Review application, we have reviewed information submitted by architect John Vitale of Stucky Vitale architects on behalf of Joseph Paluzzi of Verus Development (the "Applicant"), who requests to renovate one unit of a larger storefront building at 19850 Mack Avenue (the "Site") and construct a restaurant within a rehabilitated multi-tenant commercial structure. The site contains an existing one-story retail building with a small, rear parking lot within the C - Commercial Business Zoning District.



HEADQUARTERS
 235 East Main Street
 Suite 105
 Northville, Michigan 48167

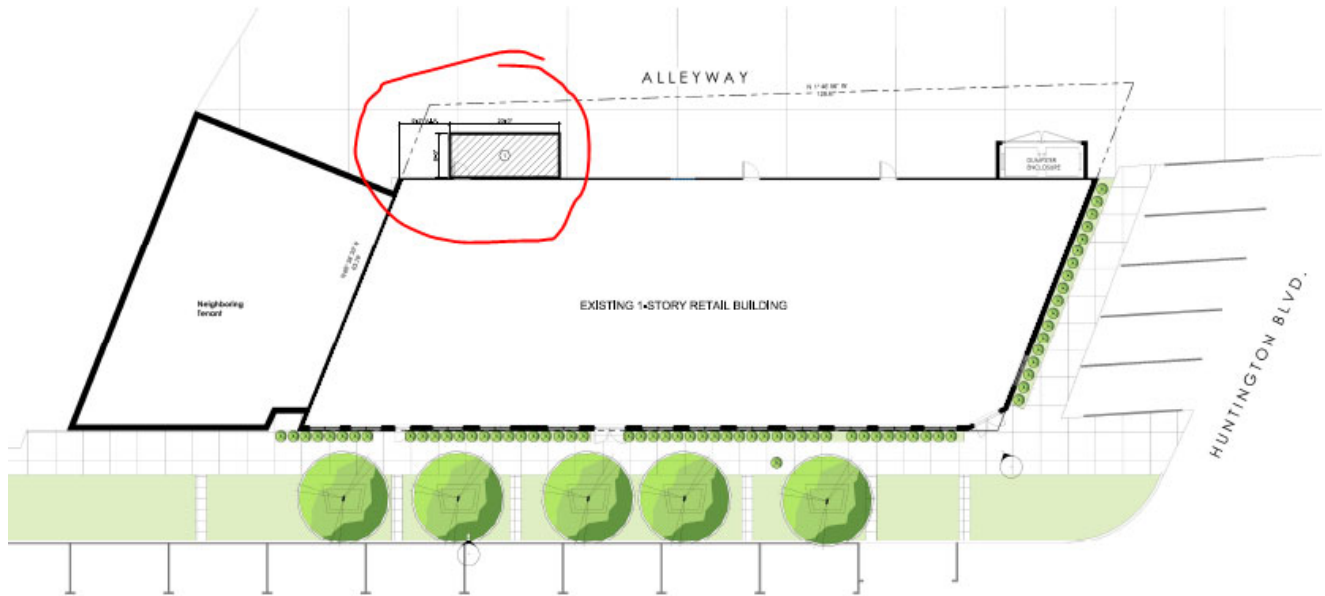
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SUMMARY OF REQUEST

The applicant proposes to demolish a portion of the rear (east) wall of the existing exterior façade, construct a foundation outside the exterior wall and install on it a new walk-in freezer unit to attach to and be accessed from the building. No changes will be made to any other building façade.

There is an existing one-story retail building adjacent (19876 Mack) to the north of the subject parcel, with a surface parking lot immediately further north. The site sits on the east side of Mack Avenue, between Torrey Road and Huntington Boulevard. Immediately east of a small surface parking lot on the property is an alley which abuts a single-family residence. The south wall of the subject structure abuts Huntington Boulevard.



Above: location of the proposed freezer installation. Below: an example of a similar installation elsewhere.



SURROUNDING SITE USES AND ZONING RECOMMENDATIONS

Freezer Construction Request Consideration. We recommend the Planning Commission consider the following or a similar motion:

I move to recommend approval of the demolition of a portion of the rear wall to accommodate the installation of a walk-in freezer unit at 19850 Mack Avenue (Parcel ID 40-012-01-0373-301) to City Council based on the following finding of fact:

- a. The proposed installation has no impact on the permitted use of the structure; and*
- b. The proposed installation will not change the leasable area of the structure, and thus will not modify parking requirements for the use at this site; and*
- c. The proposed use of the structure conforms with both current Zoning and the Master Plan Future Land Use Plan Map for the subject site and surrounding sites along the adjacent Mack Avenue corridor.*

Respectfully submitted,

McKENNA



Michael Boettcher, AICP

Site Plan Review

1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Multi-tenant commercial building	C	General Business/Mixed Use
North	General commercial	C	General Business/Mixed Use
South	General commercial	C	General Business/Mixed Use
East	Single-family residential	R-1D	Single Family Medium Density
West	General commercial	C	General Business/Mixed Use

The 2006 Master Plan Future Land Use Map designates this site and the immediate surrounding Mack Avenue corridor as *General Mixed Use/Business*, described in the text of the Master Plan as, “retail, restaurant, and office establishments which are designed for the day-to-day needs of nearby residents”, and equating to “the City’s C Commercial Business zoning district...”, which is the zoning category that currently applies to the site. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
<i>Minimum Front Setback</i>	0'	0'-4'	0'-4**	Yes
<i>Minimum Side Setback (North)</i>	<i>No side yards are required along interior lot lines if walls abutting are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.</i>	0'	0'	Yes
<i>Minimum Side Setback (South)</i>		0'	0'	Yes
<i>Minimum Rear Setback</i>	<i>No rear yard are required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.</i>	0' north-end, 22' south-end. Openings (windows and a door) exits.	One (1) Emergency Exit door	Yes
<i>Maximum Building Height</i>	Minimum 16 feet at front elevation, Maximum 28 ft	Front elevation 17'-7 1/2" at coping.	Same	Yes

*Reducing the length of the façade setback from the lot line (0').

Findings: Despite the installation of the freezer, the building footprint itself remains the same. Complies.

If outdoor seating is desired in the front of the building, as has been discussed, it will need to be approved by Wayne County before receiving a city permit as this area is in county right of way.

3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

Findings: The subject structure underwent a recent full renovation with new façades approved by the Planning Commission and city. The front façade, clad in brick, limestone and masonry façade with stucco accents, plus metal awnings and parapet panels and caps, is consistent with the ordinance and design standards. The proposed equipment will be installed against a rear façade wall of painted masonry, and if painted to match, or screened to minimize its visual effect, will comply.

4. PARKING AND LOADING

Findings: For restaurant uses, parking requirements in Grosse Pointe Woods mandate one space per 200 square feet of gross floor area, plus one for each employee on the premises during the peak employment shift. If the restaurant offers delivery service, one additional space is required for each motorized delivery vehicle used in delivering goods sold. The gross floor area of this restaurant is approximately 1,841 square feet, requiring nine spaces.

Per Zoning Ordinance section 5.530 (5), off-street parking requirements allow for off-street parking facilities within 300 feet of the permitted use on the same side of a major thoroughfare. **We do not have information yet on employment numbers or if there will be delivery to determine the final number of spaces required. It appears the proposed parking agreement with the Grosse Pointe Woods Presbyterian Church to the north will be necessary for this proposed use to meet off-street parking requirements.**

5. SIGNS

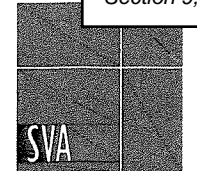
We have not received elevations showing business signs to review. The existing, approved façade was designed containing areas specifically for tenant signage, however.

Findings: Once the specific dimensions, colors, and illumination of the proposed business signage are known, the applicant should submit their plans for review and approval. Refer to Section 32.7 for specification on sign illumination and Section 32.9 for specifications on business logos. Can comply.

6. LIGHTING

Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

Findings: We have not received any lighting plan that may have been submitted and approved along with the elevations, etc. for this structure. If a lighting plan was approved, including for the rear area, this proposed equipment jutting out from the rear wall of the structure may impact the effectiveness of lighting. Specific information about the lighting of this area should be provided to ensure it complies. Can comply.



STUCKY VITALE ARCHITECTS
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Consultants:

Project:
 CRISPELLI'S BAKERY
 & PIZZERIA
 TENANT FIT OUT
 19850 MACK AVENUE
 GROSSE POINTE WOODS
 MICHIGAN 48236

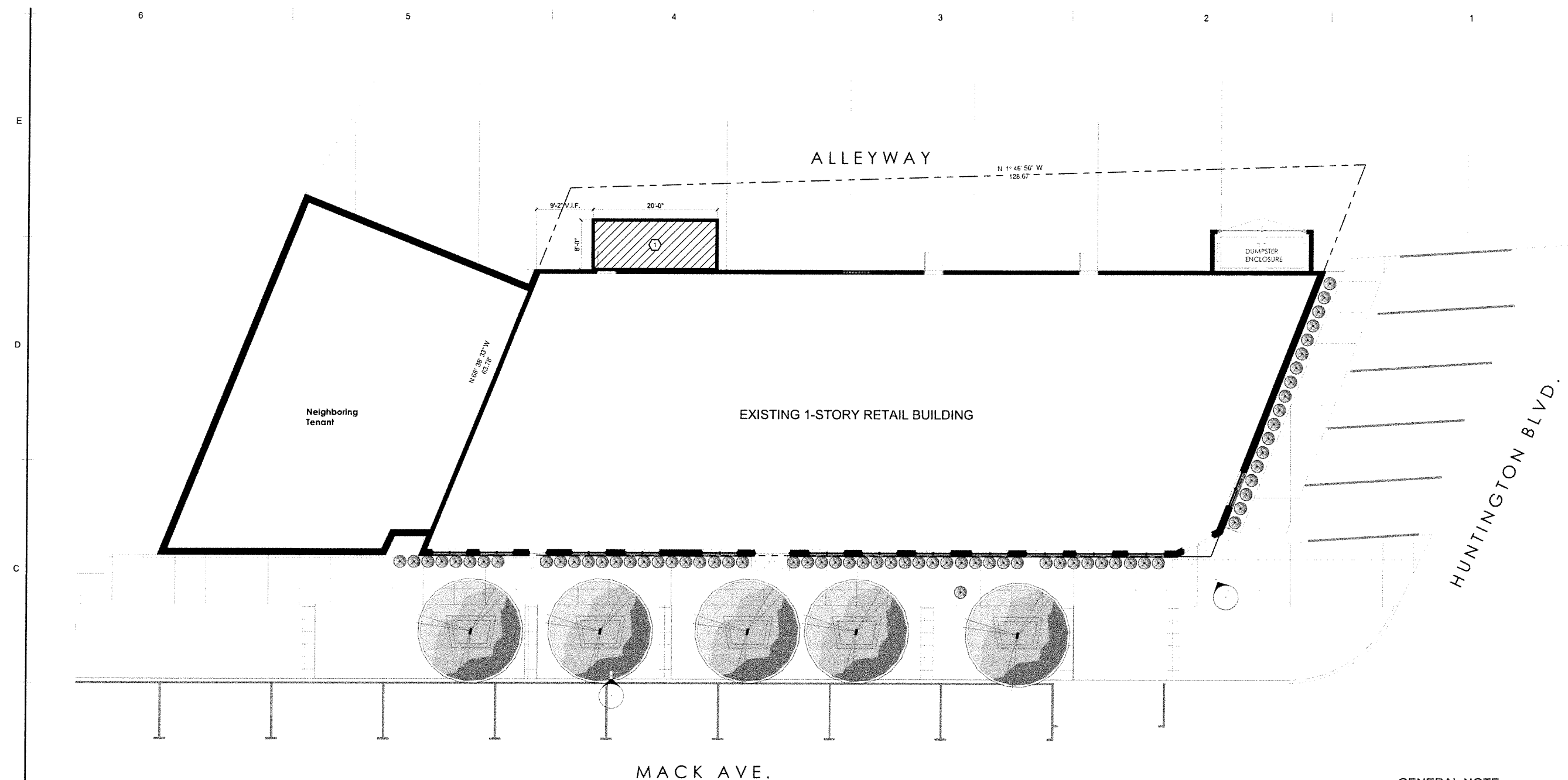
Issued for:

Drawn by:
 JPM
 Checked by:
 JAV, SMB
 Sheet Title:
 SITE PLAN DETAILS

Project No.:
 2023.029

Sheet No.:
 AS100

DO NOT SCALE DRAWINGS
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GENERAL SITE PLAN NOTES:

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS.
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC. SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S194.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
8. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
9. COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.

SITE PLAN KEY NOTES:
 (TYPICAL THIS SHEET ONLY)

- ① NEW WALK-IN COOLER LOCATION

ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"
 COOLER LOCATION DETAIL

GENERAL NOTE:
 SITE PLAN INFORMATION BASED ON PREVIOUS
 CITY SUBMITTAL BY LANDLORD ARCHITECT OF
 RECORD INCLUDED HERE FOR REFERENCE ONLY



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Consultants:

Project :
CRISPELLI'S BAKERY
& PIZZARIA
TENANT FIT OUT
19850 MACK AVENUE
GROSSE POINTE WOODS
MICHIGAN 48236

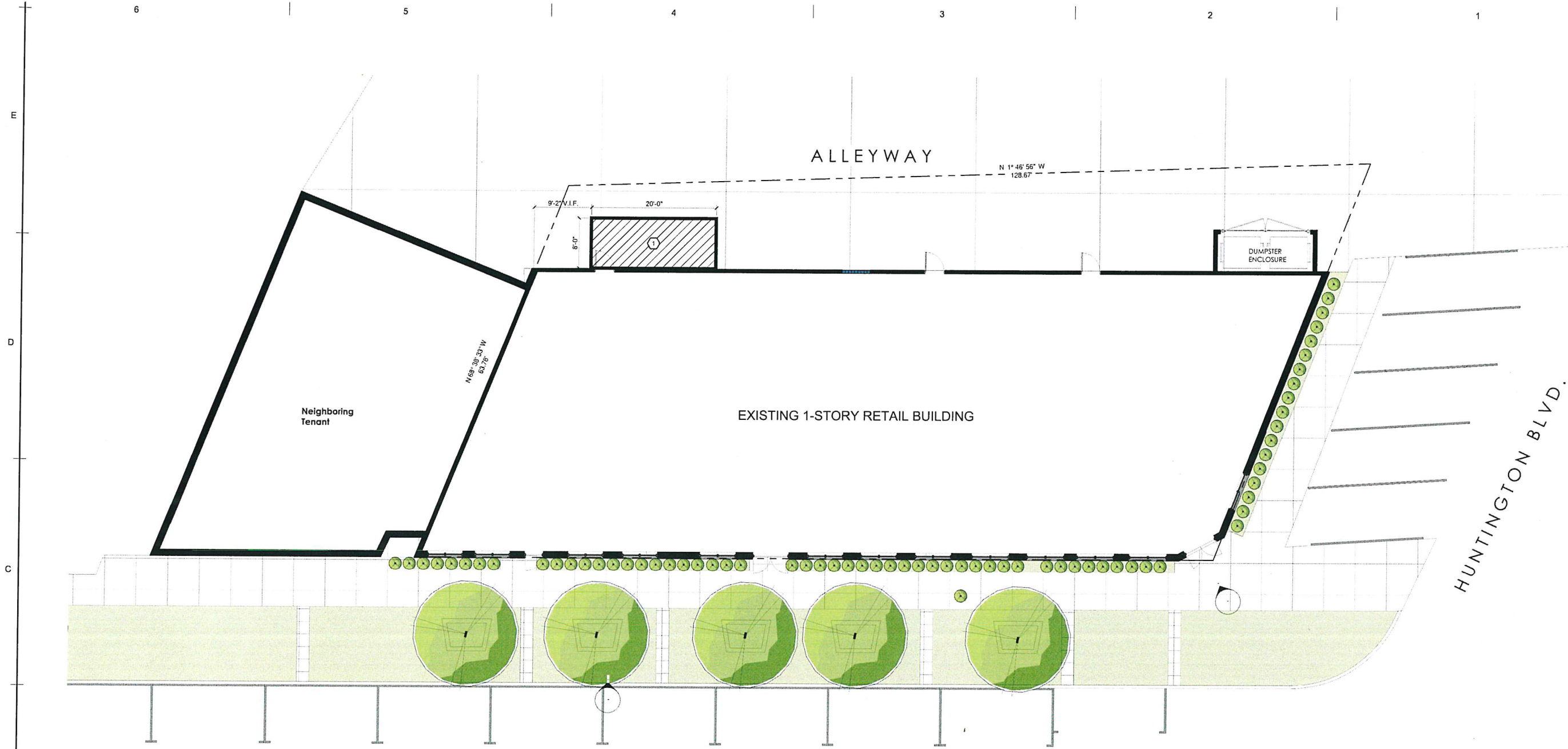
Issued for :

Drawn by :
JPM
Checked by :
JAV, SMB
Sheet Title :
SITE PLAN DETAILS

Project No. :
2023.029

Sheet No. :
AS100 12

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GENERAL SITE PLAN NOTES:

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS.
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
8. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
9. COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.

SITE PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- ① NEW WALK-IN COOLER LOCATION

ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"
COOLER LOCATION DETAIL

GENERAL NOTE:
SITE PLAN INFORMATION BASED ON PREVIOUS CITY SUBMITTAL BY LANDLORD ARCHITECT OF RECORD INCLUDED HERE FOR REFERENCE ONLY

CRISPELLI'S BAKERY & PIZZARIA
TENANT FIT OUT
19850 MACK AVE.
GROSSE POINTE WOODS, MI 48236

ARCHITECT:
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT DATA:
BUILDING CODE AUTHORITY:
GROSSE POINTE WOODS BUILDING DEPARTMENT

OWNER:
MARK AUSTIN
CRISPELLI'S BAKERY AND PIZZERIA
1890 SOUTHFIELD ROAD
BIRMINGHAM, MI 48409

TYPE OF CONSTRUCTION:
MIR ORDINARY CONSTRUCTION

USE GROUP:
A-2 ASSEMBLY

PROJECT AREA:
RENOVATION 2,577 SF

OCCUPANT LOAD:
DINING AND BAR - 15 NSF UNCONDITIONED SEATING 15

KITCHEN AREA - 209 GSF

STORAGE AREA - 300 GSF

TOTAL OCCUPANT LOAD 300

EGRESS WIDTH:
REQUIRED (2" PER OCCUPANT) = 23'4"
PROVIDED = 34' x 3 DOORS = 192"

PLUMBING FIXTURE COUNTS:
SEE TABLE BELOW

APPLICABLE CODES: (COMMERCIAL)
BUILDING CODE:
2015 MICHIGAN REHABILITATION FOR EXISTING BUILDING (URCEB 301)
COMPLIANCE METHOD (CM 4)
PRESERVATIVE MEASURES (PRESERV) WITH CM 4
ALTERATIONS - LEVELS 1, 2, 3, 4
MECHANICAL CODE:
2015 MICHIGAN MECHANICAL CODE AS AMENDED
PLUMBING CODE:
2015 MICHIGAN PLUMBING CODE AS AMENDED
ELECTRICAL CODE:
2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMENDMENTS PART B
ENERGY CODE:
2015 MICHIGAN BUILDING CODE (CHAPTER 13)
2013 MICHIGAN ENERGY CODE
ASBRIAC 00-10-2013 ENERGY STANDARDS FOR BUILDINGS
FIRE CODE:
2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN BUILDING CODE
BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (2010)
MBC 301.2 CHAPTER 11)
ICC/ANSI 117.1 - 2009, EXCEPT SECTION 411 & 707
LIFE SAFETY CODES:
2013 NFPA 101 LIFE SAFETY CODE
2013 NFPA 13 STANDARDS FOR INSTALLATION OF SPRINKLER SYSTEMS
2013 NFPA 72 NATIONAL FIRE ALARM CODE



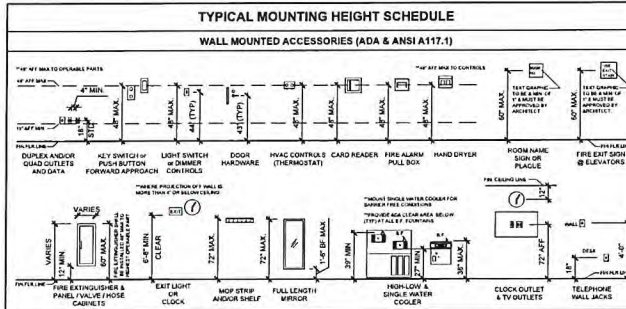
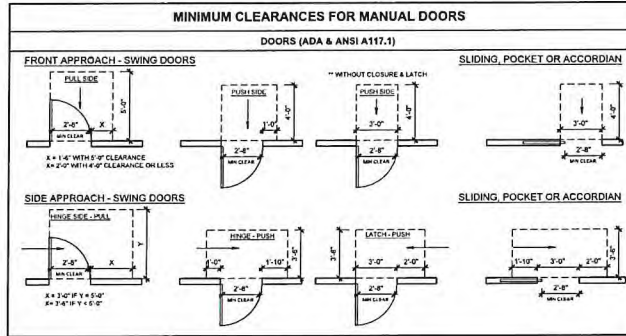
PLUMBING FIXTURE COUNT

Table with 6 columns: NO, CLASSIFICATION, OCCUPANCY, WATER CLOSETS (MALE/FEMALE), LAVATORIES (MALE/FEMALE), DRINKING FOUNTAIN, OTHER. Includes rows for 'FIXTURES REQUIRED BY CODE' and 'FIXTURES PROVIDED'.

*1:10 SUBSTITUTION
WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THESE RESTAURANTS

SHEET INDEX table with columns for DRAWING INDEX KEY (Not Issued, Previously Issued, Issued, Reference) and GENERAL/ARCHITECTURAL/DETAILS information.

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION DEPARTMENTS OF APPEAL FOR FULL COMPLIANCE AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



SYMBOL LEGEND and ABBREVIATION sections. Includes symbols for elevation numbers, detail references, room names, and material designations. ABBREVIATION section lists materials like ACoustICAL CEILING, ALUMINUM ANODIZED, BLOCKING ROUGH LUMBER, etc.

MATERIAL LEGEND section with visual swatches for materials like ACoustICAL CEILING, BLOCKING ROUGH LUMBER - CONTIGUOUS, BLOCKING ROUGH LUMBER, CONCRETE, FINISHED WOOD, GLASS, GYP(SUM) WALLBOARD, MASONRY, PARTICLE BOARD, PLYWOOD.

Logo for STUCKY VITALE ARCHITECTS with address: 27172 WOODWARD AVENUE, ROYAL OAK, MI 48067-8925, P. 248.546.6700, WWW.STUCKYVITALE.COM

NOTICE OF PROFESSIONAL SERVICE:
THE SEAL, CERTIFICATE, LICENSE AND TITLES ARE HEREBY OFFERED WITHIN THE CITY OF GROSSE POINTE WOODS, MICHIGAN IN FULL COMPLIANCE WITH THE PROFESSIONAL SERVICE ACT OF MICHIGAN, 1933 PA 127 AS AMENDED BY PUBLIC ACT 2011-091. THE INFORMATION IS PROVIDED AS IS. I, THE ARCHITECT, MAKE NO WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION.



Project:
CRISPELLI'S BAKERY & PIZZARIA
TENANT FIT OUT
19850 MACK AVENUE
GROSSE POINTE WOODS
MICHIGAN 48236

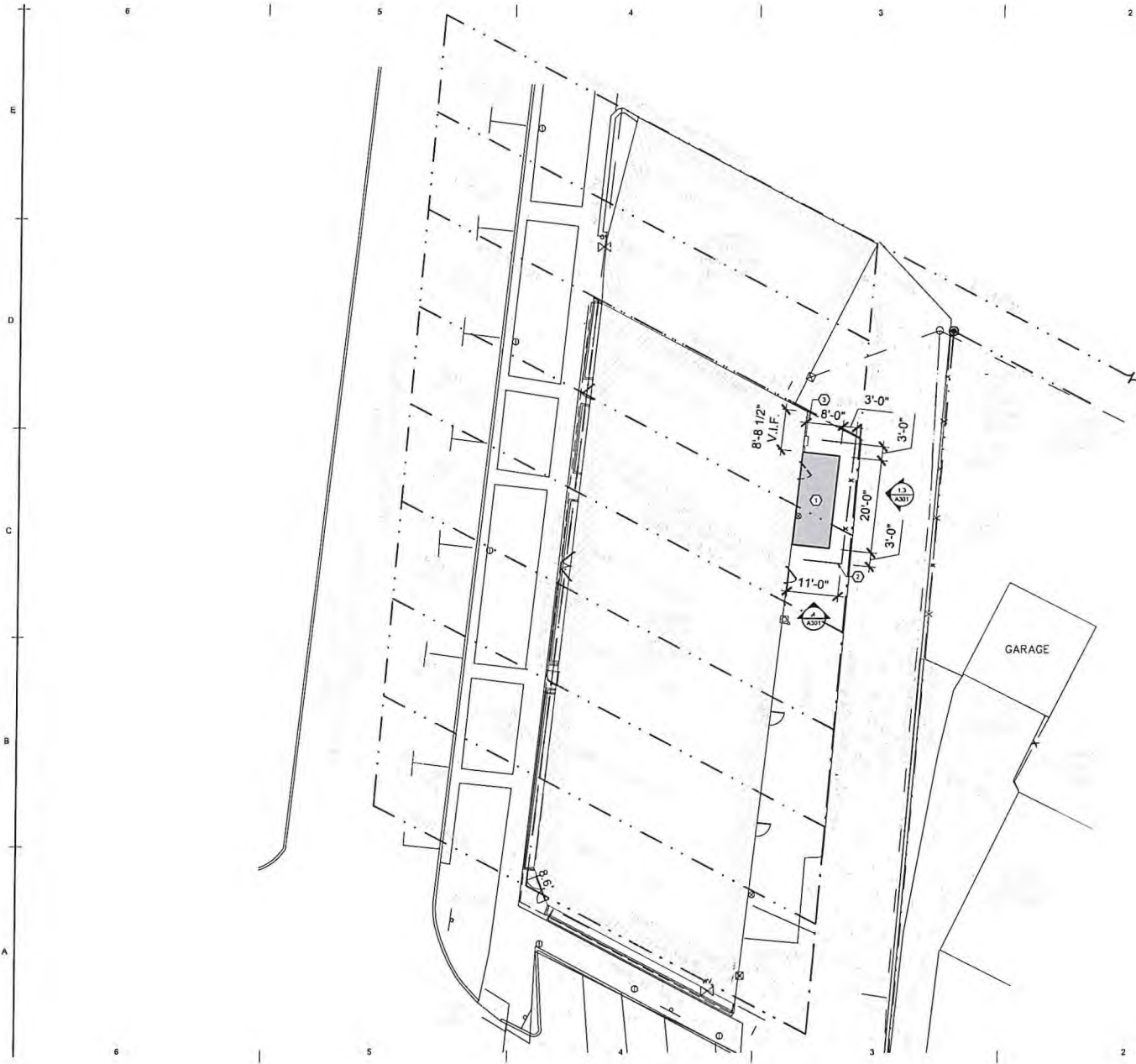
Issued for:
CITY SUBMITTAL 03.22.23

Drawn by:
SVA
Checked by:
JAV, MJB, AJD

Sheet Title:
TITLE SHEET, +
LOCATOR PLAN

Project No.:
2023.029

Sheet No.:
G001



GENERAL SITE PLAN NOTES:

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9. COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.
10. SITE PLAN INFORMATION BASED ON ALTAZON'S SURVEY DATED 12/20/21 PREPARED BY K&M/TEC. PROVIDED BY LANDLORD INCLUDED HERE FOR REFERENCE ONLY.

SITE PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- ① NEW WALK-BE COOLER LOCATION
 - ② NEW EQUIPMENT SCREEN. REFER TO ELEVATIONS SHEET AS01
 - ③ ELECTRICAL UTILITIES

ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"
COOLER LOCATION DETAIL



DESIGNED BY INTELLIGENT PROFESSIONALS
FOR BEST RESULTS, SHOWING ANY FEATURES
LOCATED BEFORE AND THE UTILITIES,
WATER OR OTHER UTILITIES, AND SET
STRAIGHTEN, REVEAL THE WATER LOCATED BY
THESE FIELD NOTES. THE NUMBER OF
UTILITIES SHOWN IS NOT GUARANTEED. SEE
FIELD NOTES.

Consultants:



Project:
CRISPPELL'S BAKERY
& PIZZERIA
TENANT FIT OUT
19850 MACK AVENUE
GROSSE-POINTE WOODS
MICHIGAN 48236

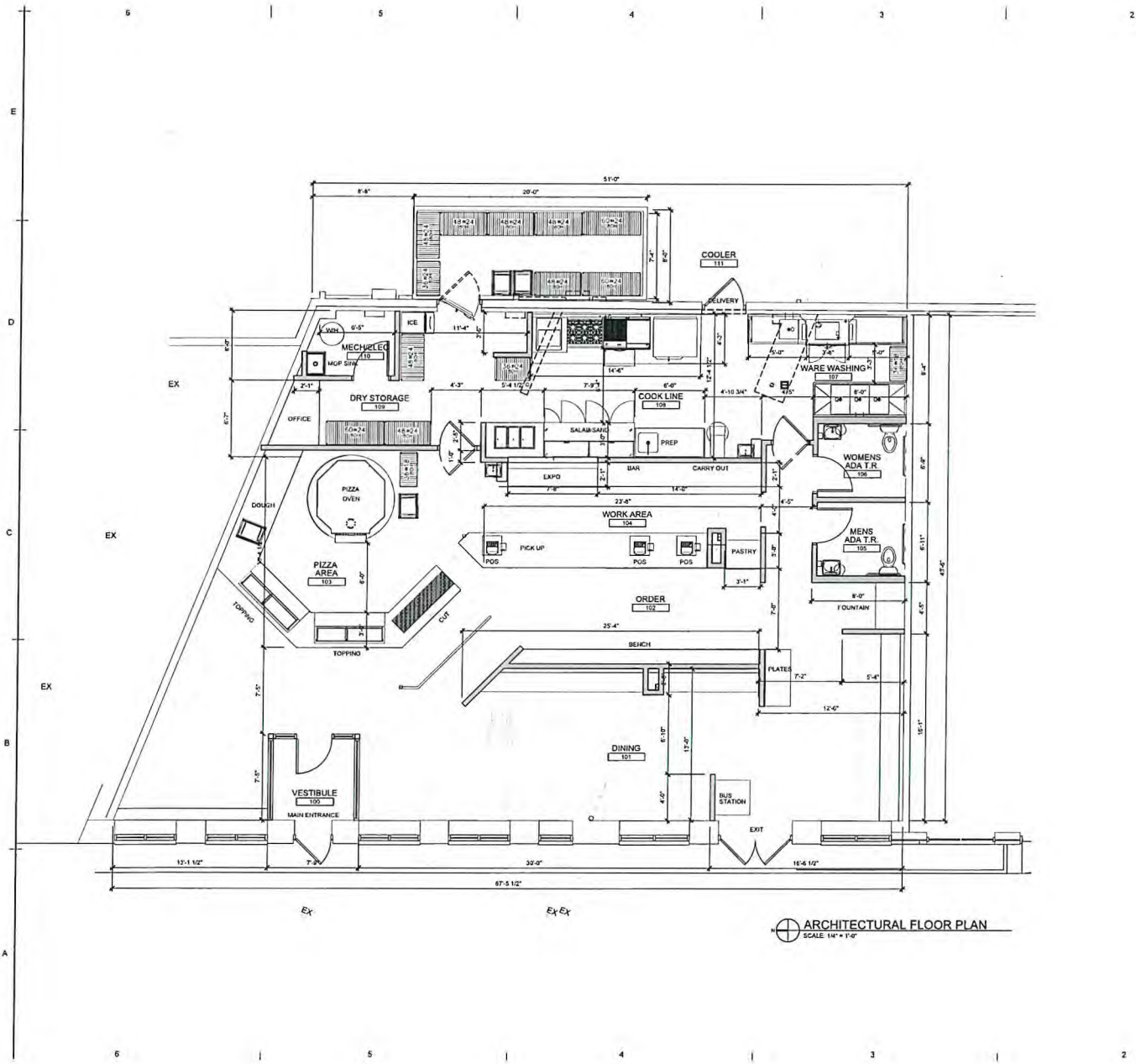
Issued for:
CITY SUBMITTAL 032223

Drawn by:
JPM
Checked by:
JAV, SMB

Sheet Title:
SITE PLAN DETAILS

Project No.:
2023.029
Sheet No.:
AS101

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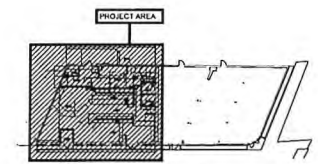
ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGNOSTIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL VERIFY ALL WORK. COORDINATE ALL DRAWINGS/NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BE FORE PROCEEDING. FAILING TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FRESH FACE TO FRESH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL, NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A. AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE, PLAN OR MODEL FOR ORIENTATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES: COAT RACKS, CHART PADDLES, CASEWORK AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS LOCATIONS OF FLOOR WALL CEILING MOUNTED ITEMS: I.E. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VALVES, ATM'S
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL ABOVE LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. UNKNOWNLY LOST CORES, IMPRESSIONS FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/PARALLEL SO THAT THEY ARE VERTICAL AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) BY BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC-117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 10 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATIC SPACES PER CODE (IBC 703.7).

FLOOR PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- ① NOTE
 - ② NOTE



LOCATOR PLAN
SCALE: N.T.S.

SVA
STREET VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROSELAND, MI 48067-0925
P. 248.546.6700
F. 248.546.8434
WWW.STREETVITALE.COM

DESIGNED BY INTELLIGENTIAL SUPPORT. THE SHED, CONCRETE, BRICK AND TERRAZZO FINISHES WERE BY THE ARCHITECT. PHOTOGRAPH BY TERRY O'BRIEN. THE SET BY BRUNEL. A FLOOR BY IN FINE. THE SET BY REINTERIOR. INTERIOR BY KUTNER CASPER & O'BRIEN PHOTOGRAPHY. THE INTERIOR BY PHOTOGRAPHY. HALLS BY S. O'BRIEN. ALL RIGHTS RESERVED.

Consultants:

Project:

CRISPELLI'S BAKERY & PIZZERIA
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A101

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 MEANS, WITHOUT THE WRITTEN CONSENT OF
 STUCKY VITALE ARCHITECTS. THIS AGREEMENT IS
 GOVERNED BY MICHIGAN LAW, AND
 SHALL BE ENFORCED IN ACCORDANCE WITH THE
 LAWS OF MICHIGAN.

Consultants:



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 & PIZZERIA
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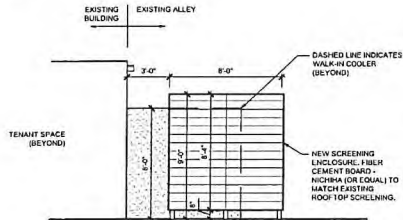
Project No.:
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 Sheet No.:
A301

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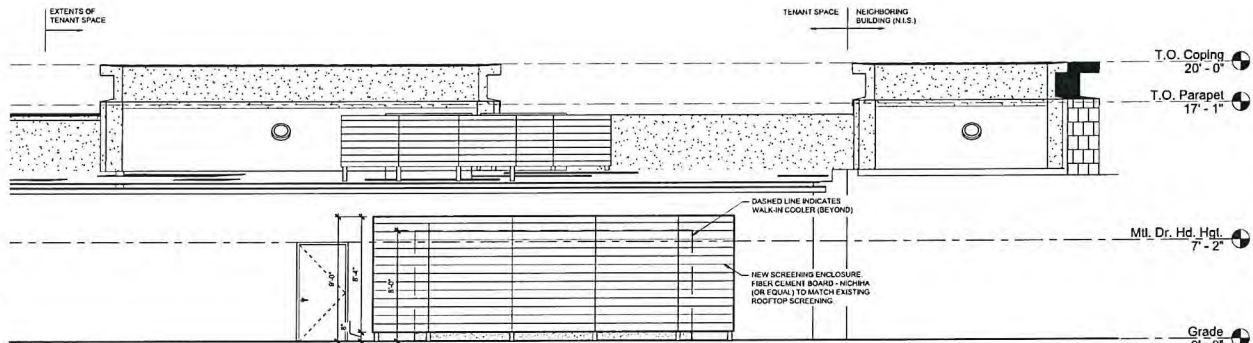


EXAMPLE OF WALK-IN COOLER TO BE SCREENED

4 EXAMPLE PHOTOGRAPH - WALK-IN COOLER
 SCALE: N.T.S.



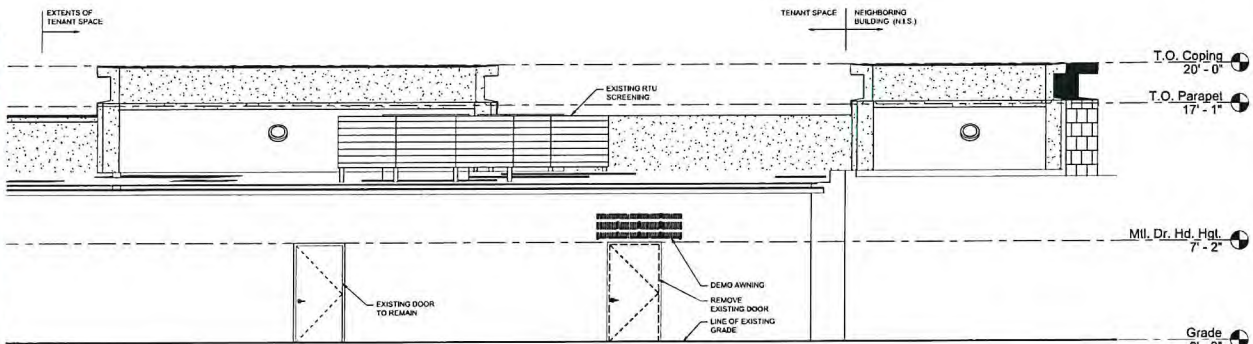
4 ELEVATION - NEW SCREENING (SIDE)
 SCALE: 1/4" = 1'-0"



3 ELEVATION - NEW SCREENING (FRONT)
 SCALE: 1/4" = 1'-0"



2 PHOTOGRAPH - EXISTING ALLEY
 SCALE: N.T.S.



1 ELEVATION - DEMOLITION
 SCALE: 1/4" = 1'-0"

MCKENNA

March 21, 2023

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 19876 Mack Avenue Site Plan Review
Parcel ID: 40-012-01-0371-001
Site Plan Review #1
Zoning: C - Commercial Business

Dear Commissioners,

We have reviewed the above Site Plan Review for consideration of a façade and building renovation. Joseph Paluzzi of Verus Development (the “Applicant”) requests to renovate the storefront of 19876 Mack Avenue (the “Site”) and convert the building from a retail space to a restaurant. The site contains an existing one-story retail space surface adjacent to a parking lot within the C – Commercial Business. Renovations or remodeling of exterior building must be reviewed by planning commission, unless exempt in Section 50-374(b), to ensure the proposed changes are consistent with the design standards of the ordinance. This review is based on the application submitted March 17, 2023.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.

SUMMARY OF REQUEST

The applicant proposes to demolish the existing exterior façade and interior walls, construct a new façade along Mack Avenue, and renovate the existing building to service a restaurant in this building.

There is an existing one-story retail building with an existing parking lot adjacent (19950 Mack) to the subject parcel. The site sits on the east side of Mack Avenue, just south of Torrey Road. It shares its eastern boundary with a single-family residence and its southern boundary with additional retail/restaurant uses.



Rendering of the proposed renovated façade.

RECOMMENDATIONS

Renovation Request. Pending decisions regarding the paint colors and any comments from the public during the Planning Commission meeting, we recommend the Planning Commission consider the following motion:

I move to recommend approval of the renovations to 19876 Mack Avenue (Parcel ID 40-012-01-0371-001) based on the following finding of fact:

- a. *The subject site has historically been and is anticipated to be used for commercial space,*
- b. *The architectural design elements enhance and increase compliance with the ordinance based on the exiting building design,*
- c. *The proposed renovations will improve the integrity of the building without changing the building footprint or design elements.*

Prior to issuing a certificate of compliance/business license, the applicant/occupant will need to submit information regarding parking, signage, and lighting.

Respectfully submitted,

McKENNA

Brigitte Smith

Michael Boettcher, AICP

Site Plan Review

1. ZONING DESIGNATIONS

The following chart provides information on the schedule of regulations as it pertains to zoning:

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	General commercial	C	General Business/Mixed-Use
North	Parking	P-1	Parking
South	General commercial	C	General Business/Mixed-Use
East	Single-family residential	R-1D	Single Family Medium Density
West	General commercial	C	General Business/Mixed Use

Findings: The zoning and general commercial reuse of this building is compliant with the ordinance and Master Plan future land use designation. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback	0'	0'-4'	0'-4''*	Yes
Minimum Side Setback (North)	No side yards are required along interior lot lines if walls abutting are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.	0'	0'	Yes
Minimum Side Setback (South)		0'	0'	Yes
Minimum Rear Setback	No rear yard are required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.	0' north-end, 22' south-end. Openings (windows and a door) exits.	One (1) Emergency Exit door	Yes
Maximum Building Height	Minimum 16 feet, Maximum 28 ft	Not provided. Less than 16'.	16' 4" west facing, 12'4" east-facing half	Yes

*Reducing the length of the façade setback from the lot line (0').

Findings: The building footprint remains the same. Reducing the length of the façade that is setback further than 0' at the lot line and removing additional openings beyond an singular emergency exit at the rear of the building increases the building's compliance with the intentions of the ordinance. Complies.

If outdoor seating is desired in the front of the building, as proposed in the rendering presented, it will need to be approved by Wayne County before receiving a city permit as this area is in county right of way.

3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional" shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities.

Findings: Proposed material use, including brick, brick veneer, concrete masonry, precast concrete, and CMU, is consistent with the ordinance and design standards. The extruded brick pattern used on the storefront adjacent to the entrance is consistent with the desired colonial styling. Complies.

4. COLOR (Sec. 8-207; 50-373(b))

Colors utilized in all design components shall be consistent with the approved color chart on file with the building department and shall be utilized to produce a balanced, coordinated and complimentary total design solution. The approved colors consist of colonial or early American paint colors.

Colors selected for use include Sherwin Williams 6252 Ice Cube on Masonry on the north-side of the building, 6258 Tricorn Black, and Black Pearl Wirecut on Brick Veneer. The existing is to be painted to match the new standing seam roof. All exterior and storefront windows shall be glazed 1” thick with Class A low E glass tempered.



The proposed color (Ice Cube) compared to shades from the approved color palette.



The proposed color (Tricorn Black) compared to an alternatice shades from the approved color palette.

Findings: The proposed colors are not included on the pre-approved color chart and should be reviewed by the Planning Commission to be eligible for an exemption. The recommended colors from the approved list as well as the proposed color are included above for the consideration of the planning commission. The Ice Cube – pastel white is similar to the current color of the painted brick on the north side of the building. If the Commission would prefer a shade from the approved Historical Collection color palette, we would recommend considering Coventry Gray HC-169, Stonington Gray HC-170 or Yarmouth Blue HC-150. Additionally, shades of black are not included in the approved list of colors; however, deep shades of navy and green are included (Hale Navy included above).

Can comply.

5. PARKING AND LOADING

Findings: For restaurant uses, parking requirements in Grosse Pointe Woods mandate one space per 200 square feet of gross floor area, plus one for each employee on the premises during the peak employment shift. If the restaurant offers delivery service, one additional space is required for each motorized delivery vehicle used in delivering goods sold. The gross floor area of this restaurant will be approximately 2,000 square feet, requiring ten spaces.

Per Zoning Ordinance section 5.530 (5), off-street parking requirements allow for off-street parking facilities within 300 feet of the permitted use on the same side of a major thoroughfare. **We do not have information yet on employment numbers or if there will be delivery to determine the final number of spaces required. It appears the proposed parking agreement with the Grosse Pointe Woods Presbyterian Church to the north will be necessary for this proposed use to meet off-street parking requirements.**

6. SIGNS

One business sign is planned for on the southern end of the facade (west-side of the building). It is proposed to be placed on the brick wall surrounded by the extruded brick pattern and illuminated by 3 wall wash fixtures.

Findings: Once the specific dimensions, colors, and illumination of the proposed business signage are known, the applicant should submit their plans for review and approval. Refer to Section 32.7 for specification on sign illumination and Section 32.9 for specifications on business logos. Can comply.

7. LIGHTING

Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

Findings: All proposed lighting (3 fixtures in the rear of the building and 9 in the front, west-side of the building, 6 of which are under the awning) are all LED downlight. Specific information about the watts of the fixtures should be provided to ensure it complies. Can comply.

CITY OF GROSSE POINTE WOODS
Building Department
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

RECEIVED
MAR 17 2023
CITY OF GROSSE PTE WOODS
BUILDING DEPARTMENT

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

- () C – Commercial Business () RO-1 – Restricted Office () P-1 – Vehicular Parking
- () CF – Community Facilities () C-2 – High Intesity City Ctr

Property Owner Name: VERUS DEVELOPMENT Date: 3-17-23

GPW Property Address: 19876 MACK

Telephone #: Work 313 570-3200 Home: _____

Contractor/Applicant Name: JOSEPH PALUZZI

Telephone # _____ Mobile Phone # 313 570-32000 Fax # _____

Contractor/Applicant Address: 399 FISHER RD 48230 e-mail: JPALUZZI@MITBCOMPANYS.COM

MI Builder's License #: _____ MI Driver's License #: _____

Nature of Proposed Work:

EXTERIOR FACADE CHANGE

Value of Construction \$ 30,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: 

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-32(7)	Special Land Use PC Fee:	\$ 250
#50-42(a)	PC Site Plan Review Fee:	\$ 350
#50-42(b)(1)	Deposit – Est. Costs Incurred by the City:	\$ 400
PC APPLICATION FEE DUE:		\$ 1,000
Date Received: _____	Name: _____	

Mack Ave.

19876 Mack Ave.,
Grosse Pointe Woods, MI 48236

KRIEGER KLATT
ARCHITECTS

2120 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Owner

Verus Development Group
36400 Woodward Ave, Suite 240
Bloomfield Hills, MI 48304
P.855.668.3787

General Scope of Work:

1. DEMOLITION OF EXISTING EXTERIOR FACADE & INTERIOR WALLS
2. CONSTRUCTION OF NEW FACADE
3. RENOVATE THE EXISTING BUILDING UP TO A 'WHITE-BOX' LEVEL

Architect

Krieger | Klatt Architects Inc.
1412 E. 11 Mile Rd.
Royal Oak, MI 48067
P.248.414.9270.
F.248.414.9275

Structural Engineer

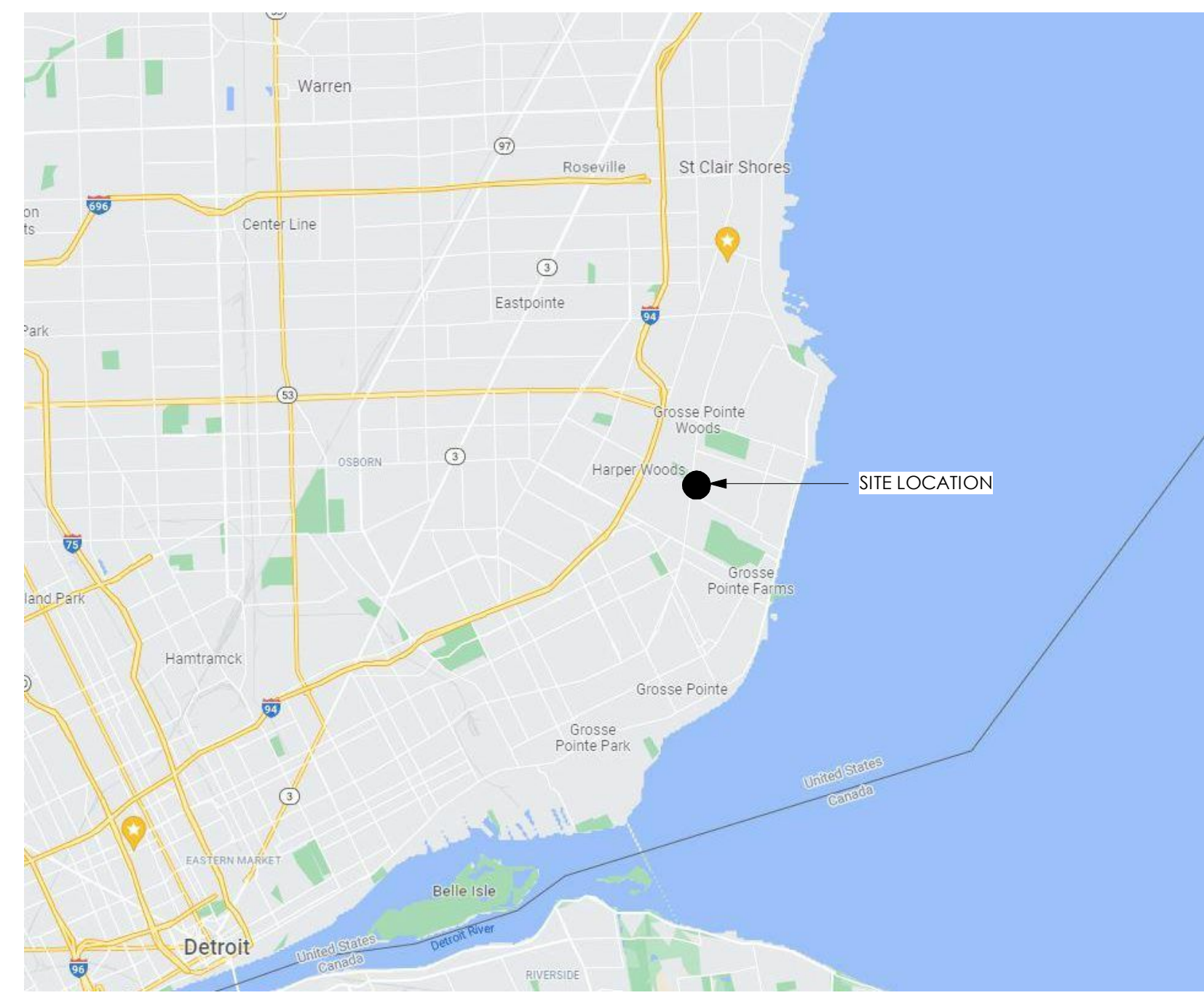
Krieger | Klatt Architects Inc.
1412 E. 11 Mile Rd.
Royal Oak, MI 48067
P.248.414.9270.
F.248.414.9275



Project:

Project Name
19876 Mack Ave
Grosse Pointe Woods MI

Issued	Description	By
8/11/2022	Permits	



General Building Information

- Project Address: 19876Main Street, Grosse Point Woods, MI 48236
See civil documents for parcel location and information
- Code Review Analysis
Application Building: Michigan Building Code 2015
Application Plumbing: Michigan Plumbing Code 2018
Application Mechanical: Michigan Mechanical Code 2015
Application Electrical: 2017 National Electrical Code
Accessibility: ICC/ANSI A.117.1-2015
Energy: 2015 Michigan Energy Code
Fire: 2021 International Fire Code
- Allowable Building area:
Zoning: C- Commercial
Construction Type: IIIB
Sprinkled: No
Occupancy Use: TBD by future tenant; assumed (A-2) for most conservative code enforcement.
-
- Max. Building Height: 2 stories (55'-0")
-
- Max. Area per Story: 9,500 SQ. FT.
-
- Building Height Proposed: (1) STORIES
-
- Floor area proposed: 2,000 SQ. FT.

General Sheet Index

- | | |
|-----------------|---------------------------------------|
| Sheet No | Title |
| G.001 | Cover Sheet |
| A.001 | Architectural Abbreviations & Symbols |

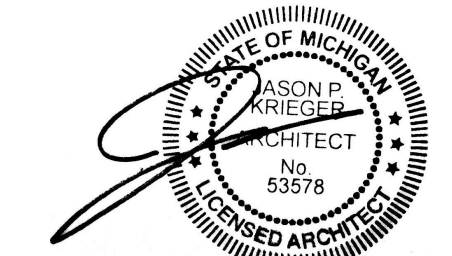
Demolition Sheet Index

- | | |
|-----------------|-----------------------|
| Sheet No | Title |
| D.100 | Demolition Floor Plan |
| D.200 | Demolition Elevations |

Architectural Sheet Index

- | | |
|-----------------|------------------------|
| Sheet No | Title |
| A.100 | Floor Plan |
| A.101 | Reflected Ceiling Plan |
| A.102 | Roof Plan |
| A.200 | Elevations |
| A.600 | Wall Sections |
| SP.001 | Specifications |
| SP.002 | Specifications |
| SP.003 | Specifications |
| SP.004 | Specifications |
| SP.005 | Specifications |
| SP.006 | Specifications |
| SP.007 | Specifications |
| SP.008 | Specifications |

Seal:



Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:
Cover Sheet

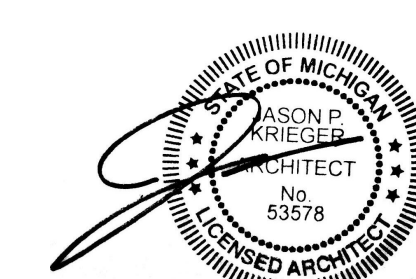
Project Number:
22-099

Scale:
As indicated

Sheet Number:
G.001

Issued	Description	By
8/11/2022	Permits	

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:
Floor Plan

Project Number:
22-099

Scale:

As indicated

Sheet Number:

A.100

FINISH PLAN GENERAL NOTES:

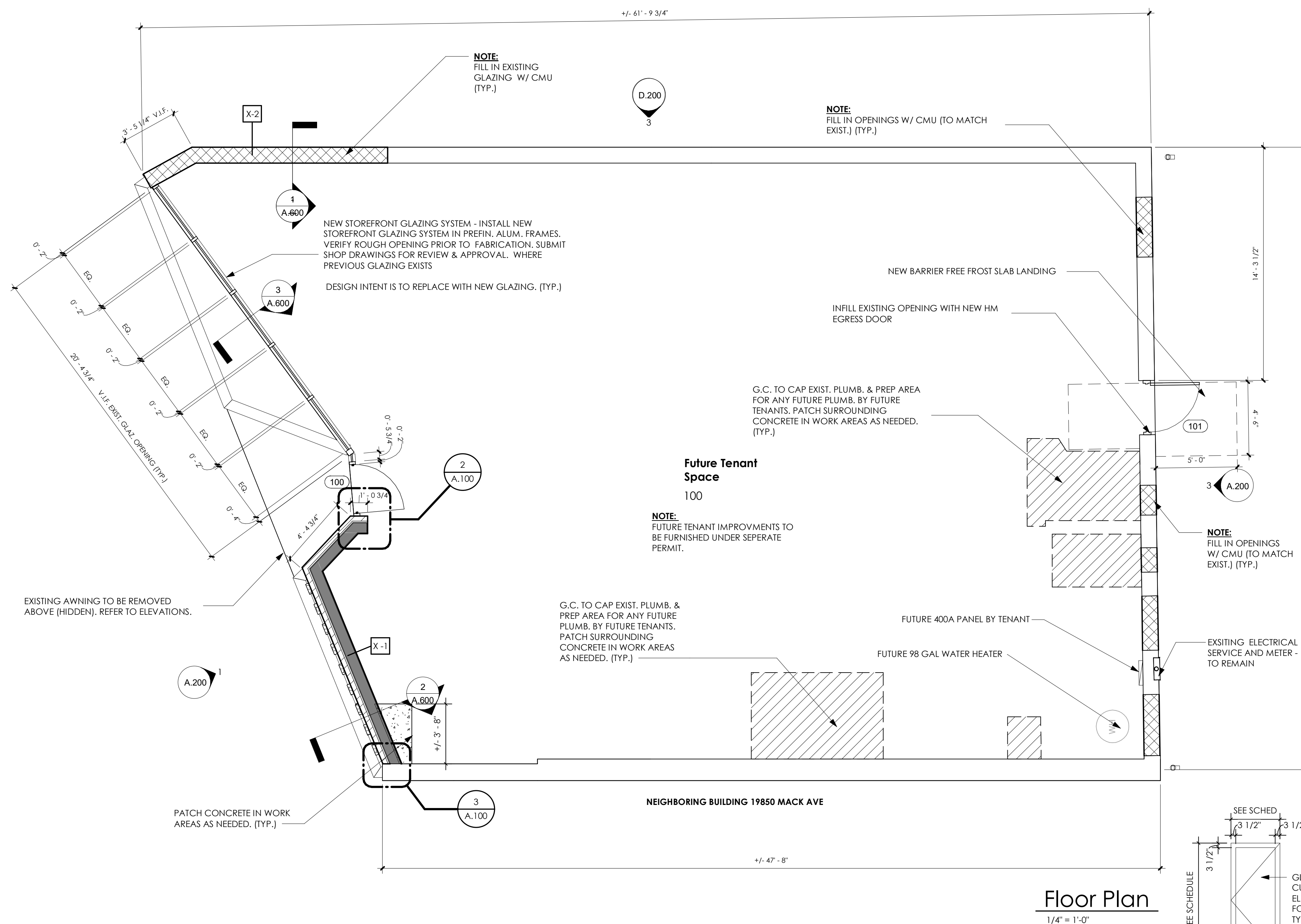
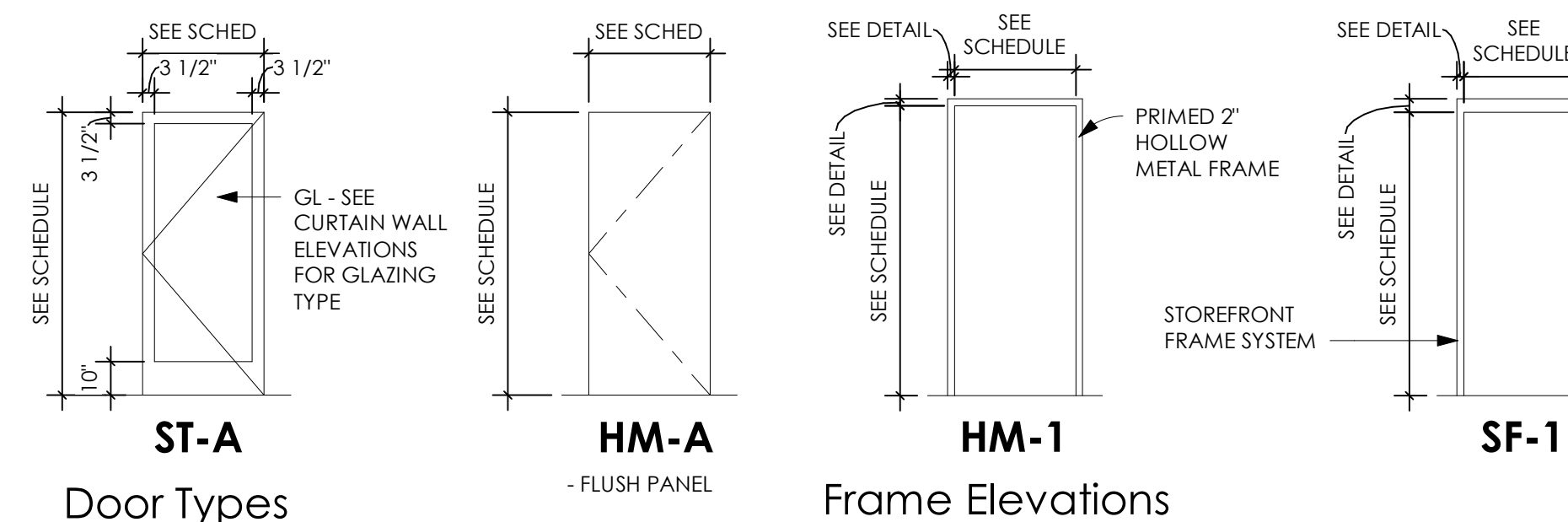
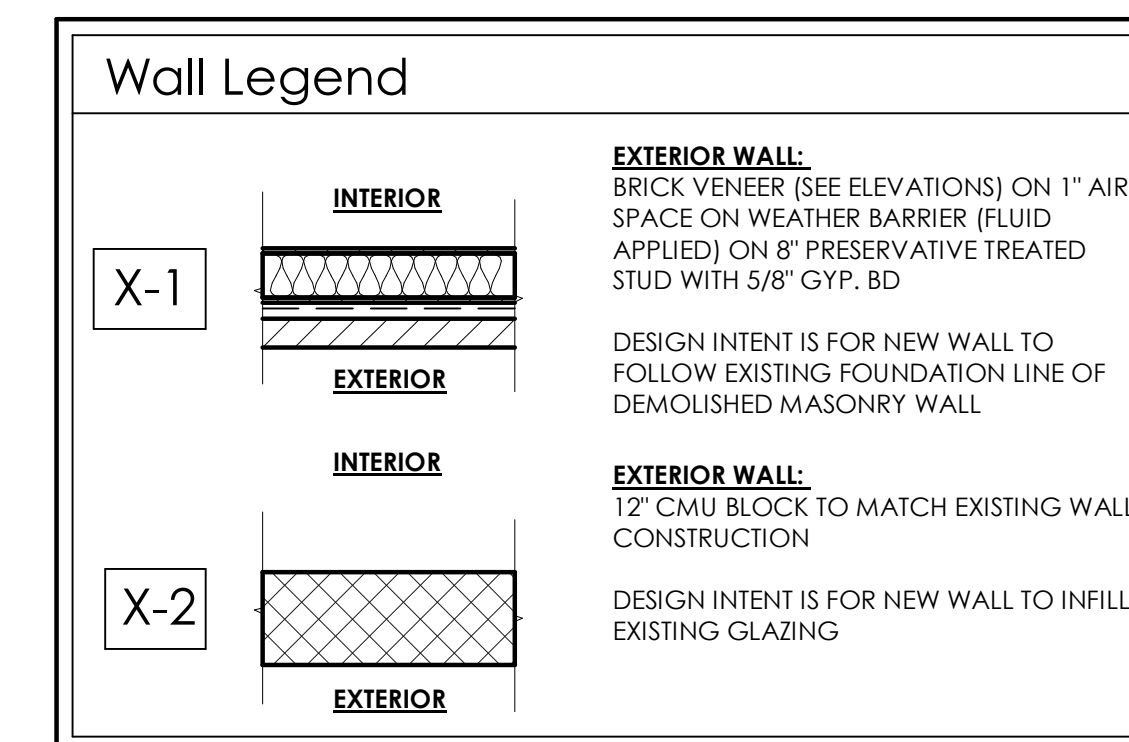
1. PROVIDE TRANSITION STRIPS AT ALTERNATING FLOORING TRANSITIONS (TYP.). WHERE FINISHES TRANSITION AT DOOR - FINISH IS TO TRANSITION AT CENTER OF DOOR THRESHOLD.
2. ALL PAINTED FINISHES ARE TO RECEIVE A LEVEL 5 FINISH. CONFIRM WITH OWNER. AT MINIMUM PROVIDE (1) COAT PRIMER AND (2) COATS PAINT. G.C. IS TO PROVIDE ON-SITE PAINT SAMPLES OF ALL WALLS FOR FINAL OWNER, ARCHITECT AND DESIGNER APPROVAL PRIOR TO THE START OF PAINTING.
3. ALL MATERIALS NEEDED FOR FLOOR PREP AND INSTALLATION TO BE PROVIDED BY INSTALLER (DEPENDABLE, THINSET, ADHESIVE, GROUT, ETC.)
4. SUB-FLOORING IS EXISTING TO REMAIN. G.C. TO PERFORM WALK - THOUGH W/ OWNER TO DETERMINE ANY AREAS THAT NEED TO BE RESURFACED TO ACHIEVE A UNIFORM FINISH.
5. VERIFY FINAL PAINT COLOR SELECTION(S) WITH OWNER

FLOOR PLAN GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE CONSIDERED +/- & (V.I.F.). THE INTENT IS TO MAKE USE OF THE EXISTING OPENINGS & MODIFY THEM ACCORDING TO THE DESIGN INTENT. IN THE EVENT OF A SUBSTANTIAL DISCREPANCY BETWEEN THE DESIGN INTENT & EXISTING CONDITIONS THE G.C. IS TO REACH OUT TO ARCHITECT PRIOR TO DEMOLITION, CONSTRUCTION, OR ALTERATION(S).
2. OWNERSHIP WILL SUBMIT FULL SETS THAT WILL INCLUDE LIFE SAFETY PLANS BEFORE ANY INTERIOR TENANT(S) START CONSTRUCTION.
3. IF THE CONTRACTOR PROCEEDS WITHOUT APPROVAL FROM THE OWNER, IT WILL BE AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR IS TO VERIFY DIMENSIONS IN FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. VERIFY ALL FINAL FIRE EXTINGUISHER LOCATIONS WITH LOCAL FIRE MARSHALL. PROVIDE BLOCKING IN WALL AT LOCATIONS AS REQ'D.
6. PROVIDE FOR ALL DEBRIS REMOVAL AND NECESSARY CLEANUP.
7. ALL INTERIOR DIMENSIONS ARE TO WALL FINISH (J.N.O.).
8. ALL UNEVEN OR DAMAGED FLOOR OR WALL SURFACES REVEALED DUE TO OR CAUSED BY DEMOLITION ARE TO BE PATCHED TO PROVIDE AN EVEN SURFACE FOR NEW CONSTRUCTION OF UNIFORM FINISH.
9. ALL WOOD AND WOOD BASED PRODUCTS WITHIN 8' OF GRADE MUST BE PRESSURE TREATED AS REQUIRED PER CODE.
10. FIRST FLOOR ENTRANCE AND EXIT DOORS WILL HAVE BARRIER FREE ACCESSIBILITY.
11. PATCH & REPAIR ALL EXISTING WALLS TO REMAIN. MATCH EXISTING ADJACENT SURFACES.
12. REFER TO SHEET A.100 FOR DOOR SCHEDULE AND HARDWARE SETS.

GENERAL DOOR NOTES:

1. ALL FINAL SELECTIONS FOR DOOR HARDWARE, COLOR, TYPE & FINISH ARE TO BE DETERMINED BY OWNER.
2. COORDINATE ALL DOORS AND FRAMES SIZES WITH MASONRY AND CARPENTRY CONTRACTORS PRIOR TO CONSTRUCTION.
3. DOORS ARE TO HAVE, AT MINIMUM, MEDIUM STILES AND RAILS, WITH A 10" BOTTOM STILE MEETING ADAAG REQUIREMENTS. FRAMING MEMBERS ARE TO BE CONFIGURED TO ACCEPT THERMALLY INSULATED GLAZED UNITS.
4. ALL EXTERIOR DOORS SHALL BE WEATHER-STRIPPED, HAVE COMMERCIAL QUALITY ADAAG AND MBF COMPLIANT ALUMINUM THRESHOLD.
5. ALL EXTERIOR AND STOREFRONT GLAZING SHALL BE 1" THICK, CLASS A, LOW "E" GLASS, TEMPERED OR LAMINATED AS REQUIRED BY CODE.
6. EGRESS EXIT DOORS ARE EMERGENCY EXIT DOORS AND ARE TO COMPLY WITH THE CURRENT APPLICABLE CODES.



Floor Plan
1/4" = 1'-0"

Hardware Sets

QTY	DESCRIPTION	CATALOG NUMBER	MANUFACTURER
Hardware Set 2 (Typ. Storefront Entrance Door - Exterior)			
1 EA	CONT. HINGE	661HD UL	ST
1 EA	PANIC HARDWARE	QED212 BF HMS	SH
1 EA	RIM CYLINDER	6EQR65C	BE
1 EA	90 DEG OFFSET PULL	1191-4J	TR
1 EA	SURFACE CLOSER	QDC115R	SH
1 EA	DOOR SWEEP	200 NA	NA
1 EA	SADDLE THRESHOLD	4251/4-20 MS/LA	NA
1 EA		WEATHERSTRIP BY DOOR/FRAME MANUF.	
Hardware Set 13 (Typ. Exterior Metal Door - Egress)			
1 EA	CONT. HINGE	661HD UL	ST
1 EA	EXIT HARDWARE	QED111 X QET160 E	SH
1 EA	RIM CYLINDER	4EQM6	BE
1 EA	SURFACE CLOSER	QDC115R	SH
1 EA	KICK PLATE	KO050 10" X 2" LDW	TR
1 SET	GASKETING	2525 B HEAD & JAMBS	NA
1 EA	DOOR SWEEP	200NA	NA
1 EA	SADDLE THRESHOLD	4251/4-20 MS/LA	NA

Door & Opening Schedule

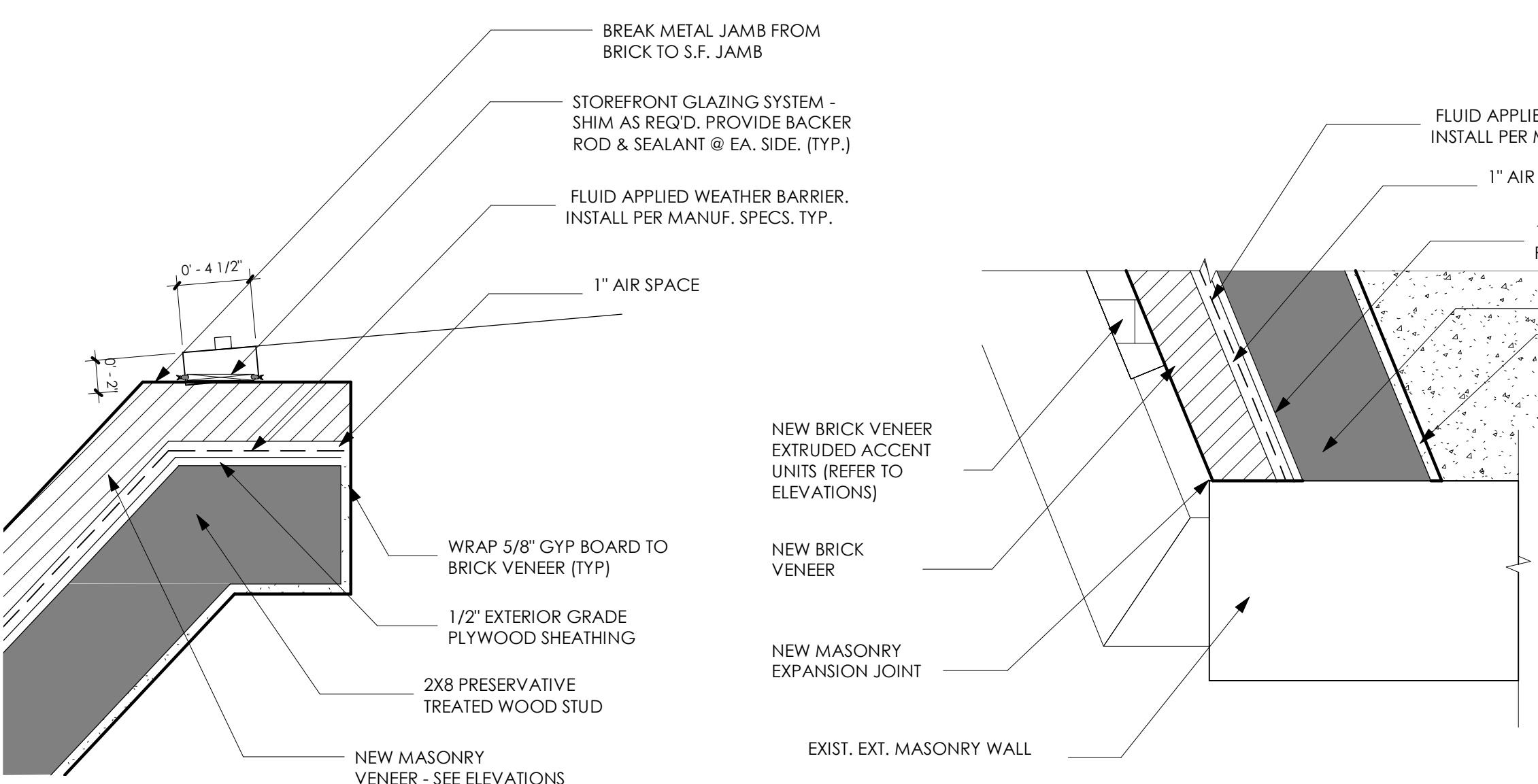
DOOR NO.	HARDWARE SET	WIDTH	HEIGHT	THICK.	DOOR				FRAME			REMARKS
					TYPE	MATERIAL	PRE-FINISH	FIRE RATED	TYPE	MATERIAL	FINISH	
100	2	3'-0"	7'-0"	0'-1 3/4"	HM-A	HM	P-2		HM-1	HM	P-2	
101	13	3'-0"	7'-0"	0'-1 3/4"	HM-A	HM	P-2		HM-1	HM	P-2	

Concrete

TYPE MARK	DESCRIPTION	MANUFACTURER	SPECIFICATION	COMMENTS	CLASSIFICATION
EX. CONC.-01	Existing Concrete			Patch and repair damaged areas. Polish concrete	

Paint

TYPE MARK	DESCRIPTION	MANUFACTURER	SPECIFICATION	COMMENTS	CLASSIFICATION
P-1	(1) Coat Primer w/ (2) Coats Paint	Sherwin Williams	6252 ICE CUBE	Install per manufacturer's install per manufacturer's specifications	Finish: Flat ASTM D523
P-2	(1) Coat Primer w/ (2) Coats Paint	Sherwin Williams	6258 Tricom Black	Install per manufacturer's install per manufacturer's specifications	Finish: Flat ASTM D523



2 Plan Detail
1/2" = 1'-0"

3 Plan Detail
1/2" = 1'-0"

Client:
Verus Development Group

Project:
Project Name
19876 Mack Ave
Grosse Pointe Woods MI

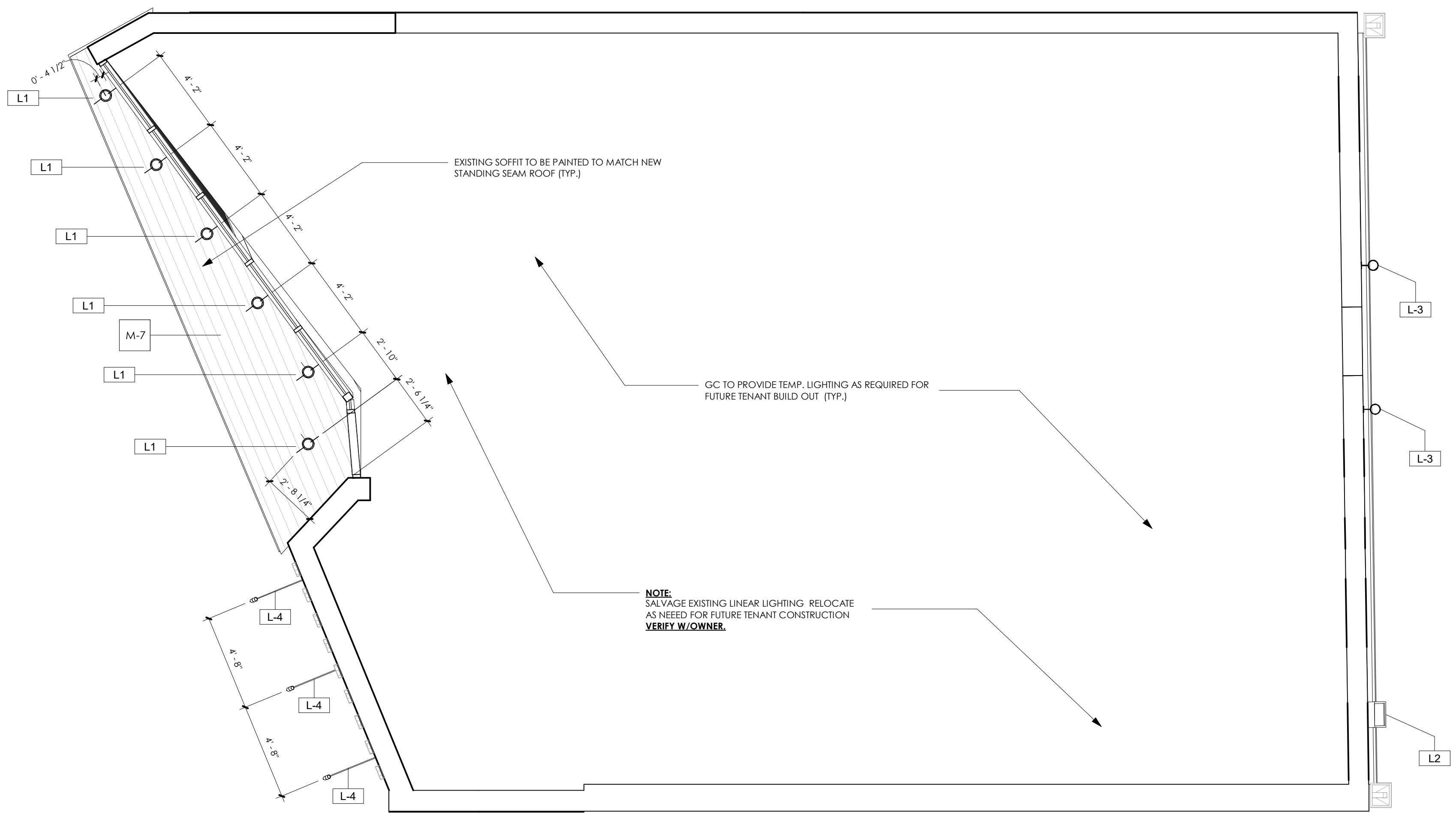
CEILING SYMBOL LEGEND:

	L1 LED DOWNLIGHT
	L2 EXTERIOR WALL PACK
	L3 EXTERIOR WALL WASH SCONCE FIXTURE
	L4 EXTERIOR WALL WASH FIXTURE

GENERAL NOTES:

1. SEE ELECTRICAL DOCUMENTS FOR ALL LIGHT FIXTURE SPECIFICATIONS
2. ROOM FINISH AND INTERIOR MATERIALS TO BE FURNISHED BY FUTURE TENANT
3. COORDINATE INSTALLATION OF CEILING SYSTEM WITH MECHANICAL AND ELECTRICAL SYSTEMS, PROVIDE SUPPORT PER MANUFACTURER RECOMMENDATIONS TO SUPPORT FINISHES.
4. ALL DIMENSIONAL LOCATIONS OR DEVICES SHALL BE TO THE CENTERLINE OF THE DEVICE UNLESS OTHERWISE NOTED.
5. G.C. IS TO PROVIDE ALL UNISTRUT, THREADED ROD, CLAMPS AND OTHER MISC. ITEMS REQUIRED TO SUSPEND ALL CEILING MOUNTED ITEMS.
6. EXISTING HVAC DUCTING TO BE DEMOLISHED TO SOURCE. FUTURE HVAC SYSTEM IS TO BE DESIGNED BY MECHANICAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AS NEEDED FOR FUTURE TENANT SPACE. CONTRACTOR IS TO PULL REQUIRED PERMITS AND PROVIDE ANY REQUIRED DOCUMENTS.
7. CLEAN, SCRAPE, PREP, EXIST. CEILING DECK AND JOISTS AS REQUIRED @ EXPOSED CEILING AREAS.
8. AT EXPOSED CEILING AREAS, RUN ALL NEW WIRING, CONDUIT AND MECHANICAL DUCT WORK IN A NEAT AND CLEAN MANNER.
9. PATCH ANY OPENINGS IN ROOF FRAMING NEEDED FOR NEW ROOF TOP EQUIPMENT.
10. CONTRACTOR IS TO FIELD VERIFY HEIGHT OF ALL SUSPENDED, WALL MOUNTED LIGHT FIXTURES.

Issued	Description	By
8/11/2022	Permits	

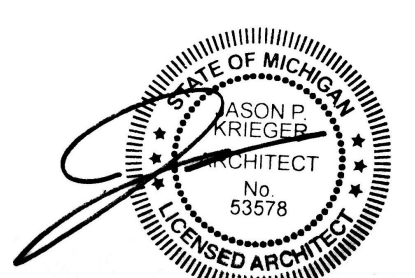


1
A.200 **Reflected Ceiling Plan**
1/4" = 1'-0"

A.101 - Lighting Fixture Schedule

MARK	DESCRIPTION	MANUFACTURER	MODEL	LAMP	FINISH	COMMENT
L1	RECESSED DOWNLIGHT	LITHONIA	LDN6	LED	PRE-FIN. CLEAR AN.	Exterior
L2	WALL PACK	LITHONIA	WPX	LED	BLACK POWDER	Exterior
L3	WALL MOUNTED EXTERIOR SCONCE FIXTURE	LUMINIS	SY602	LED	BLACK POWDER	Exterior
L4	GOOSENECK LIGHT FIXTURE	HYDREL	PLACER	LED	BLACK POWDER	Exterior

Seal:



Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

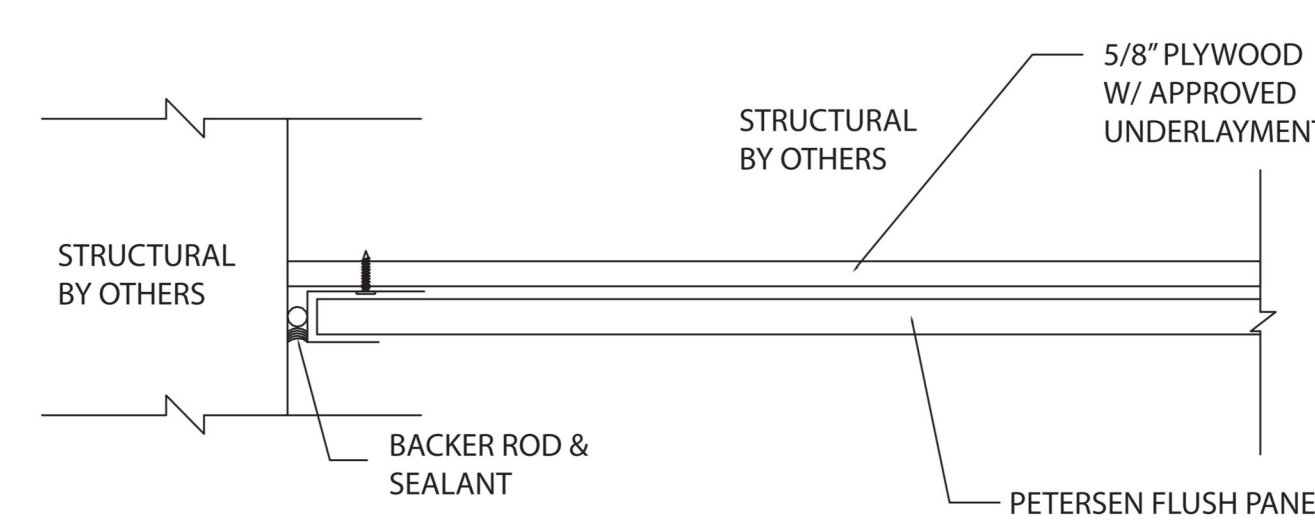


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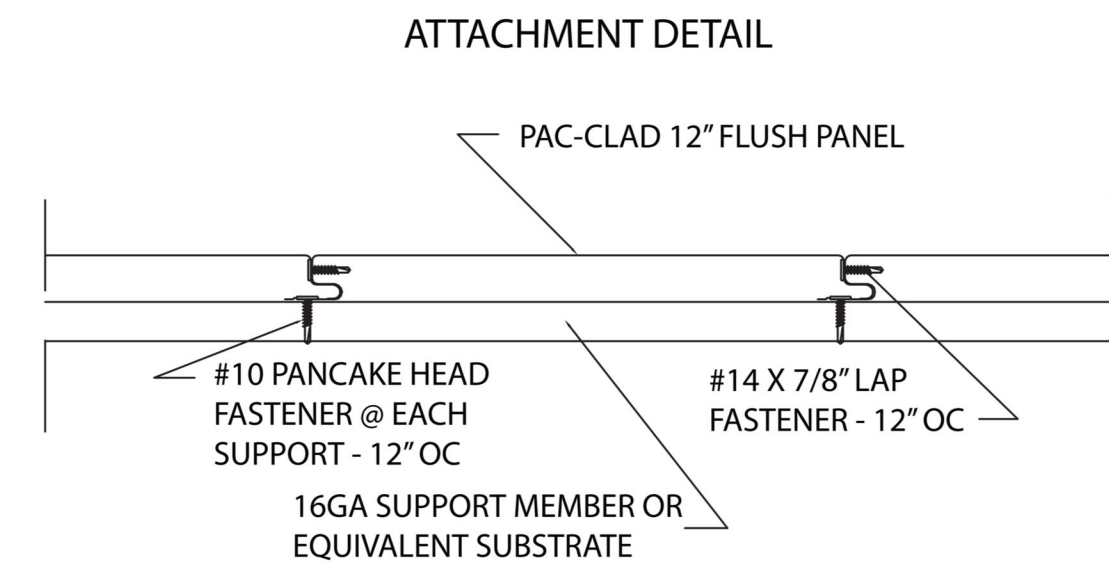
Project Number:
22-099

Scale:
As indicated

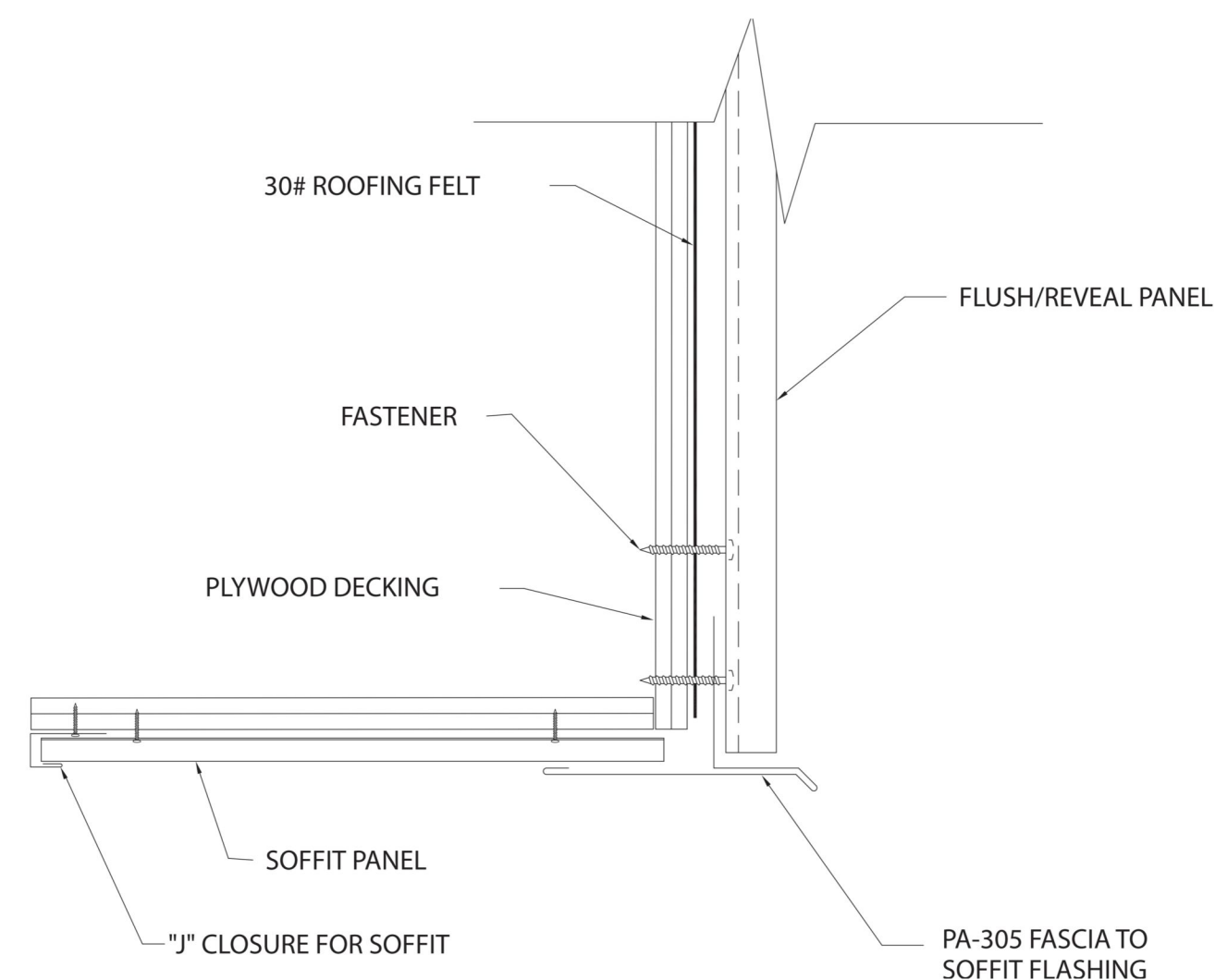
Sheet Number:
A.101



Typ. Soffit Termination Detail
1 1/2" = 1'-0"



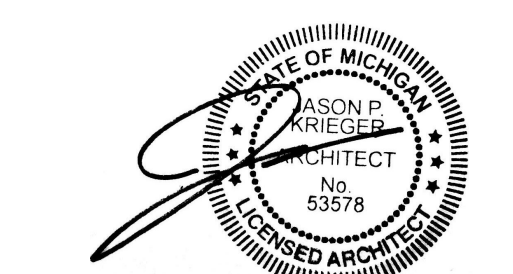
Typ. Soffit Connection Detail
1 1/2" = 1'-0"



Typ. Soffit To Roofing Detail
1 1/2" = 1'-0"

Issued	Description	By
8/11/2022	Permits	

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

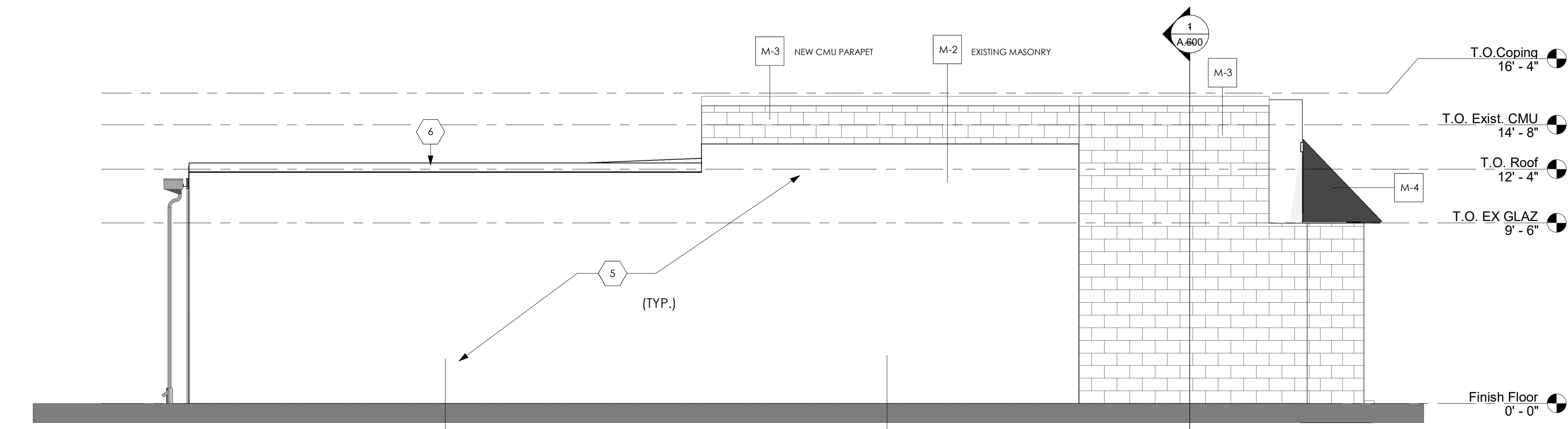
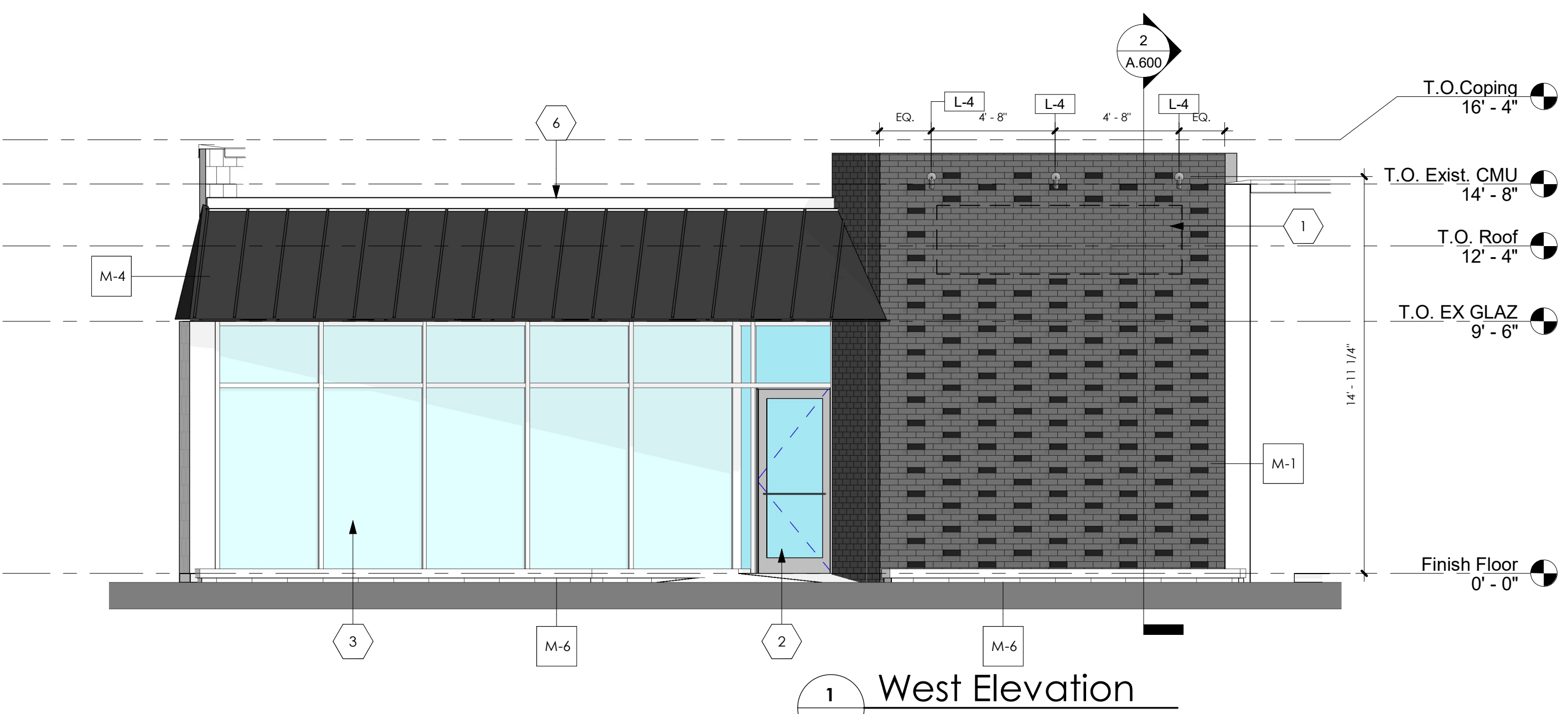
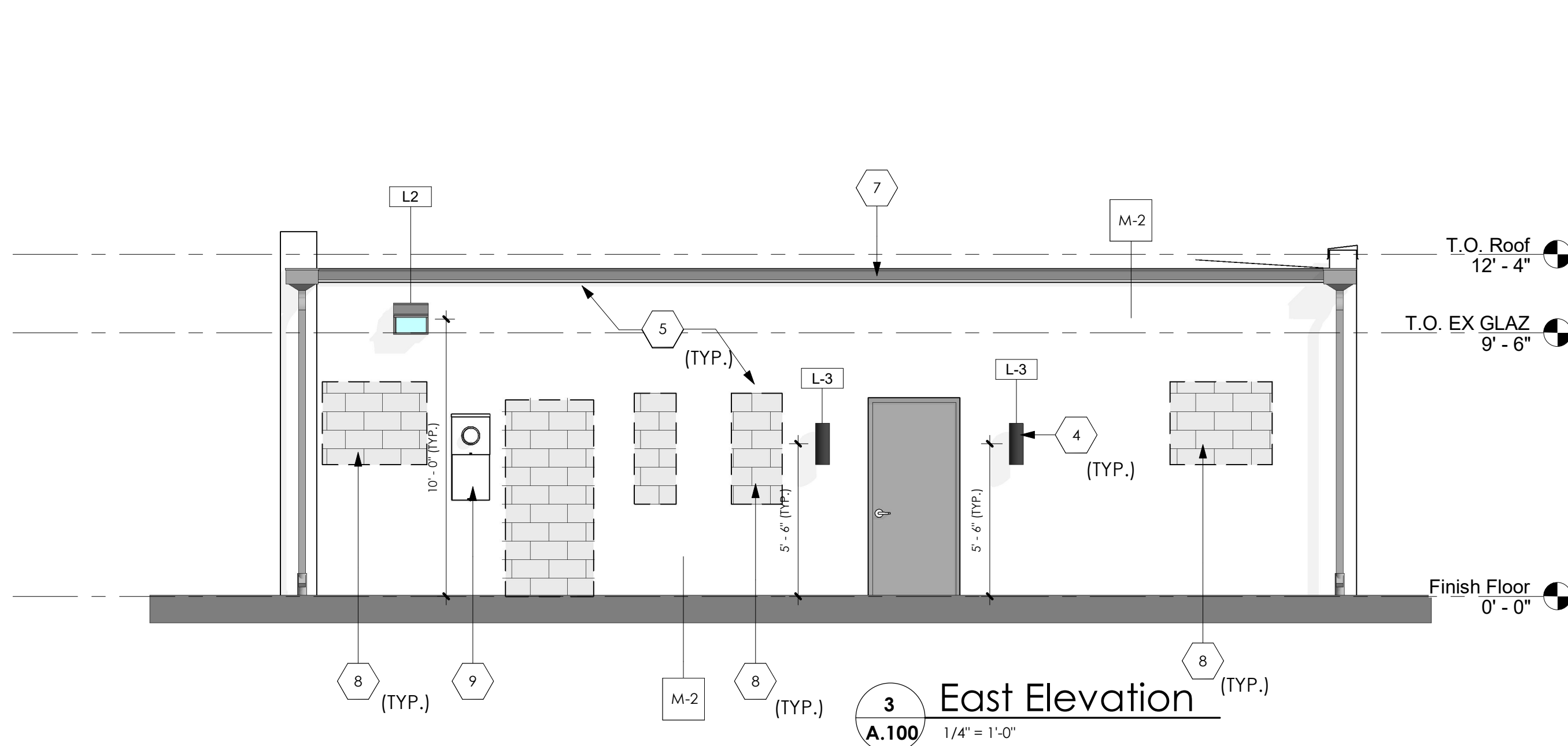
North Arrow:

Sheet Title:
Elevations

Project Number:
22-099

Scale:
As indicated

Sheet Number:
A.200



- EXTERIOR ELEVATION KEYED NOTES**
- BUILDING SIGNAGE (DESIGN BY OTHERS) TO BE IN COMPLIANCE WITH THE CITY ORDINANCE & BE APPROVED UNDER A SEPARATE PERMIT. COORDINATE BLOCKING W/ PANEL INSTALLER. PROVIDE JUNCTION BOX FOR LIGHTING & FUTURE SIGNAGE AS REQUIRED
 - TEMPERED STOREFRONT GLASS DOOR. FRAMES TO MATCH NEW STOREFRONT ON BUILDING. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - VERIFY EXISTING ROUGH OPENINGS SUBMIT SHOP DRAWINGS FOR APPROVAL. DESIGN INTENT IS TO MATCH NEW GLAZING TO EXISTING OPENING
 - VERIFY FINAL SELECTION & MOUNTING HGT. W/OWNER.
 - TUCK POINT/ REPAIR EXISTING BRICK AND CMU AS NEEDED.
 - REPAINT EXISTING COPING. COLOR TO MATCH ADJACENT MATERIAL
 - EXISTING GUTTER AND DOWNSPOTS TO BE REMOVED AND REPLACED AS NEEDED. PAINTED TO MATCH ADJACENT MATERIAL (TYP)
 - TOOTH-IN NEW CMU (TO MATCH EXIST) [TYP.]
 - EXISTING ELECTRICAL METER & CONN. TO REMAIN

- EXTERIOR GENERAL NOTES**
- G.C. TO COORDINATE W/ OWNER ON PROVIDING ANY NECESSARY BLOCKING FOR SIGNAGE. OWNERSHIP/G.C. TO SUBMIT SIGNAGE PERMIT TO THE CITY OF ROYAL OAK FOR APPROVAL AT A LATER DATE
 - PRE-FINISHED ALUM. CANOPY TO BE DELEGATED DESIGN ALL ENGINEERING TO BE PERFORMED BY ENGINEER LICENSED IN MICHIGAN. MANUFACTURER TO FURNISH SHOP DRAWINGS FOR REVIEW BY ARCHITECT.
 - INSTALL ALL REPLACEMENT CONCRETE MASONRY UNITS PER CODE AND MASONRY INSTITUTE STANDARDS.
 - CAULK ALL EXPANSION JOINTS WITH SPECIFIED COLOR TO MATCH ADJACENT MATERIAL, OR APPROVED SAMPLE/CAULK: TREMCO OR EQ.)
 - PROVIDE TEMPERED GLAZING FOR ALL WINDOWS AS REQ'D PER CODE.
 - VERIFY ALL EXTERIOR BUILDING LIGHTING WITH OWNER PRIOR TO ORDER & INSTALL.
 - ALL MISC. BRAKE METAL TRIM & DRIP EDGES ARE TO MATCH THE MATERIAL THEY ARE ASSOCIATED WITH.
 - VER. ALL EXTERIOR MATERIAL FINISHES W/ OWNER PRIOR TO PURCHASING ANY MATERIALS.
 - DO NOT SCALE HATCHING. REFER TO BUILDING SECTIONS AND WALL SECTIONS FOR PROPER CONSTRUCTION METHODS.

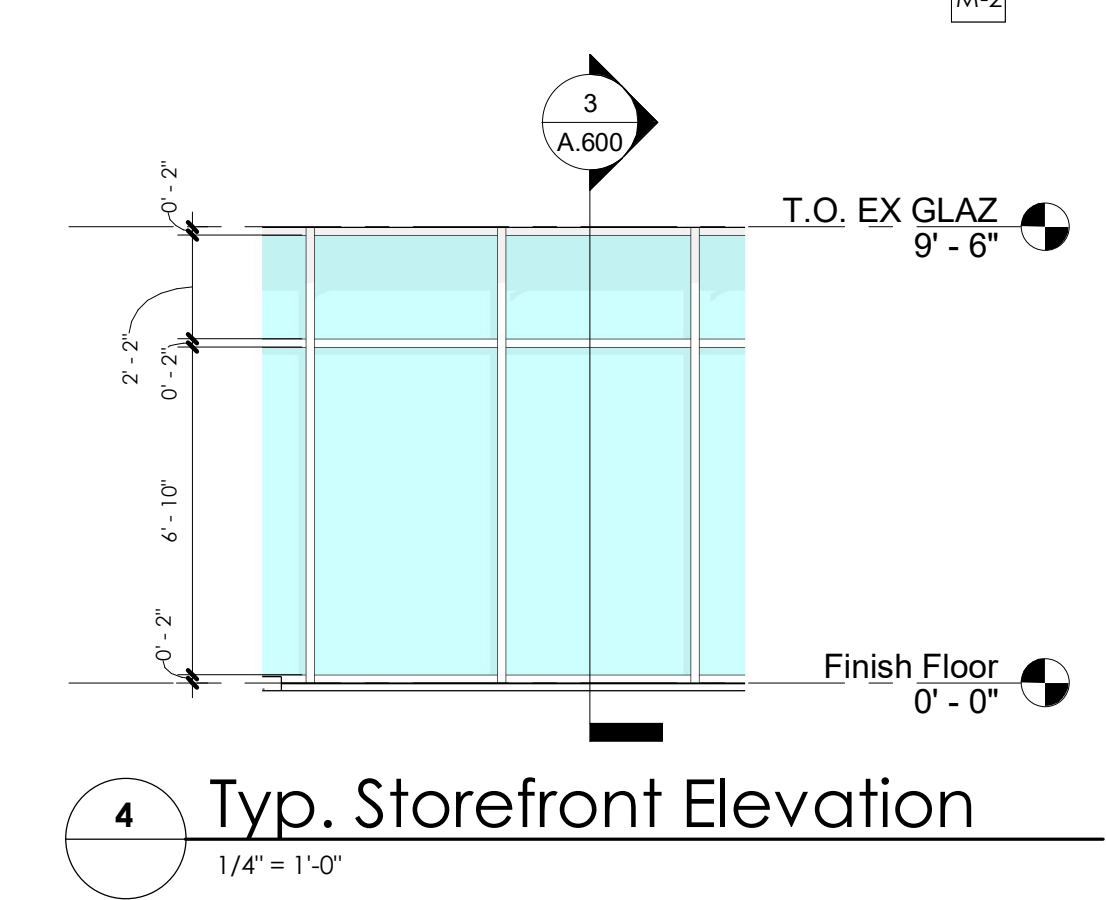
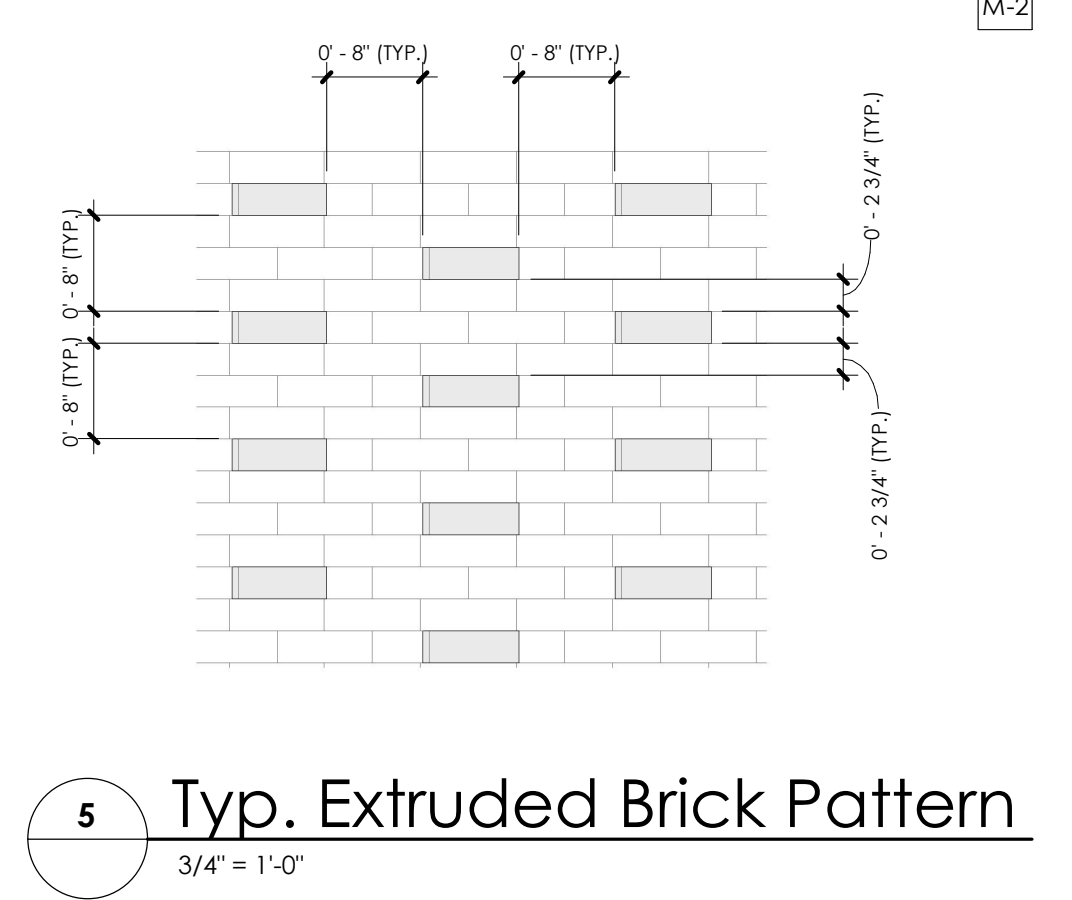
- GENERAL GLAZING NOTES:**
- ALL GLAZING FRAME COLOR, TYPE, AND FINISH ARE TO BE DETERMINED BY OWNER.
 - PROVIDE SHOP DRAWINGS TO ARCHITECT & OWNER **PRIOR** TO FABRICATION.
 - GLAZING CONTRACTOR IS TO VERIFY ROUGH OPENING SIZE **PRIOR** TO FABRICATION & INSTALLATION.
 - GLAZING SHALL BE 1-INCH THICK, CLASS A, LOW "E" GLASS, TEMPERED OR LAMINATED AS REQUIRED BY CODE
 - ALL WINDOWS TO BE FIXED.
 - WINDOW FRAMING MUST BE THERMALLY BROKEN.
 - COORDINATE ALL GLAZING FRAME SIZES WITH MASONRY AND CARPENTRY CONTRACTORS PRIOR TO CONSTRUCTION.
 - ALUMINIUM STOREFRONT SHALL BE STANDARD EXTRUDED ALUMINIUM & GLAZED SYSTEMS WITH A MINIMUM 1-3/4" MEMBER WIDTH, EQUAL TO SYSTEMS BY GUARDIAN. FINISHES SHALL BE ELECTRONICALLY DEPOSITED COLOR, OR FLUOROPOLYMER.

PER NBC 2015 - SECTION 2406.4.3; GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION:
1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
3. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

GLAZING MATERIAL:
G1 DESCRIPTION: CLEAR GLAZING
MANUF: GUARDIAN GLASS INC.
FINISH/COLOR: DARK BRONZE ANODIZED

EXTERIOR MATERIAL

M-1	DESCRIPTION: BRICK VENEER MANUF: GLEN-GERY SIZE: MODULAR COLOR: BLACK PEARL WIRECUT MORTAR COLOR: SGS 80A (CHARCOAL)
M-2	DESCRIPTION: EXIST MASONRY (PAINT) MANUF: SHERWIN WILLIAMS FINISH: LOW SHEEN COLOR: P-1 (SW 6252 ICE CUBE)
M-3	DESCRIPTION: NEW MASONRY (PAINT) MANUF: GRAND BLANC FINISH: BURNISHED COLOR: P-1 (SW 6252 ICE CUBE) MORTAR COLOR: MATCH EXISTING
M-4	DESCRIPTION: STEEL ROOF MANUF: PAC CLAD TYPE: RED-ROOF STANDING SEAM FINISH / COLOR: BLACK ORE
M-5	DESCRIPTION: BRAKE METAL FINISH / COLOR: TO MATCH ADJACENT NOTE: ROOF COPING
M-6	DESCRIPTION: CMU BLOCK W/PRECAST CONCRETE CAP MANUF: GRAND BLANC FINISH: BURNISHED SIZE: MODULAR (12'X24') COLOR: WHITE MORTAR COLOR: NATURAL NOTE: LANDSCAPE PLANTER
M-7	DESCRIPTION: STEEL, SOFFIT MANUF: PAC CLAD TYPE: FLUSH SOFFIT SYSTEM FINISH / COLOR: BLACK ORE



Planning Commission 2022 Annual Planning Report and 2023 Work Plan to City Council

City of Grosse Pointe Woods, MI

The Commission’s Annual Report is intended to serve as a planning document that outlines the work plan for the next fiscal year and is a communication tool to share recent achievements and plans for future goals to the community.

INTRODUCTION AND PURPOSE

As required by the Michigan Planning Enabling Act (MPEA) Act 33 of 2008, as amended, the Planning Commission shall submit a report of its 2022 activities.

“A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.”

In addition to fulfilling this requirement, the Annual Report and Work Plan increases information-sharing between staff, boards, commissions and the governing body and allows for the anticipation of upcoming priorities, in order to prepare and budget.

MEMBERSHIP

We thank the following Commission members for their time commitment and good work:

- Michael Fuller, Chair
- Stephen Gerhart, Vice-Chair/Secretary
- George Bailey, Commissioner
- Chris Fenton, Commissioner
- Grant Gilezan, Commissioner
- Douglas Hamborsky, Commissioner
- James McNelis, Commissioner
- Donna O’Keefe, Commissioner
- John Vitale, Commissioner

MEETINGS

The Planning Commission met nine times in 2022.

1. Tuesday, January 25, 2022
2. Tuesday, February 22, 2022
3. Tuesday, March 22, 2022
4. Tuesday, April 26, 2022
5. Tuesday, May 24, 2022
6. Tuesday, June 28, 2022
7. Tuesday, July 26, 2022 (CANCELED)
8. Tuesday, August 23, 2022 (CANCELED)
9. Tuesday, September 27, 2022
10. Tuesday, October 25, 2022 (CANCELED)
11. Tuesday, November 22, 2022
12. Tuesday, December 13, 2022

2022 in Review

The following table outlines the various Planning Commission activities, including development reviews (site plan, special land use, etc.), and Zoning Ordinance and map amendments (rezonings) that were considered by the City in 2022.

2022 PLANNING COMMISSION OVERVIEW			
Date	Action	Description	Status
January 25, 2022	Officer Election	Nominations of Michael Fuller as Commission Chair and Steve Gerhart as Vice-Chair/Secretary	Approved
January 25, 2022	Schedule Public Hearing	Public hearing scheduled on February 22, 2022 at 7:00 pm for the proposed repeal and replacement of the existing Zoning Ordinance and Zoning Map	Approved
February 22, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the repeal and replacement of the existing Zoning Ordinance and Zoning Map	Approved
February 22, 2022	Façade Modification Resolution	Approved a façade redesign for the redevelopment of 19850 Mack Avenue with conditions	Approved
March 22, 2022	Schedule Public Hearing	Public hearing scheduled on April 26, 2022 at 7:00 pm for the proposed repeal of the Solar Energy Systems Ordinance	Approved
March 22, 2022	Schedule Public Hearing	Public hearing scheduled on April 26, 2022 at 7:00 pm for amendment to City Code relating to Colonial Design Standards	Approved
April 26, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the repeal of the entire existing Solar Energy Systems Ordinance	Approved
April 26, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the amendment of the Colonial Design Standards and Site Plan Review as it relates to the Colonial Design Standards	Approved
April 26, 2022	Ordinance Revision Resolution	The revised Mobile Food Vending Ordinance is received and placed on file as submitted, for action at May 24, 2022 meeting	Approved
April 26, 2022	Annual Report Resolution	The 2021 Planning Commission Annual Report is received, placed on file and forwarded to City Council	Approved
May 24, 2022	Ordinance Revision Resolution	Recommended to the Committee of the Whole the approval of the revised Mobile Food Vending Ordinance	Approved
June 28, 2022	Façade Modification Resolution	Tabled action on a façade redesign for 21034 Mack Avenue until the July 26, 2022 Planning Commission meeting	Tabled
September 27, 2022	Consultant Introduction	City Manager Frank Schulte introduced McKenna as the city's new consultant for planning, zoning and building matters	
November 22, 2022	Rezoning Resolution	Approved recusal of Commissioner Vitale from consideration of the proposed rezoning of 20100 Mack Avenue	Approved
November 22, 2022	Schedule Public Hearing	Public hearing scheduled on December 13, 2022 at 7:00 pm for the rezoning of property at 20100 Mack Avenue	Approved
December 13, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the rezoning of property at 20100 Mack Avenue, with an amendment to the Zoning Map at the corresponding location	Approved

Looking Ahead: 2023 Work Plan

In the coming year, the following are additional projects for the Planning Commission to accomplish:

SUBCOMMITTEE WORK (2022 AND 2023)

The Planning Commission has several working subcommittees. Some achieved their goals by 2022 and may sunset, while Commissioners working in others intend to continue their momentum or pick up again in 2023.

2020 Plan

Grosse Pointe Park enacted its current Master Plan in 2006. In 2017, the Planning Commission created the actionable 2020 Vision Plan, a document that “provides concepts for achievable projects and programs for both near and long term goals” from the City’s Master Plan. The 2020 Plan Subcommittee documented implementation of many of the elements it hoped to see achieved and thus plans to curb its activity for 2023.

Streetscape

This subcommittee helped install benches, trash receptacles, bike racks and similar street furniture at various locations and at this point does not plan to meet in 2023.

Solar Ordinance

Work essentially ended for this subcommittee with the June 2022 repeal of the Solar Energy Systems Ordinance, though not permanently. From a planning perspective, the Subcommittee continues a stance that solar energy systems should not be visible from the street side of a structure. Long term though, this eliminates about half the homes in the city, as most residential streets are oriented east-west. The subcommittee may likely revisit the topic in the future as technologies such as attractive solar shingles or siding becomes available.

Crosswalk/Pocket Park

This subcommittee was formed to develop these elements from the 2020 Vision Plan, focusing particularly on crosswalks along Mack Avenue. It has worked with Wayne County, the Grosse Pointe Public School System, the nonprofit Safe Routes To School Program and traffic consultants to determine the best location(s) for crosswalks.

MACK AVENUE/VERNIER ROAD INTERSECTION PLAN

The intersection of Mack Avenue and Vernier Road experiences the most crashes in the city. Grosse Pointe Woods is partnering with Wayne County to improve the intersection to lessen the potential for accidents and enhance safety and friendliness for cyclists and pedestrians, a majority of whom are school children. The Planning Commission’s Crosswalk/Pocket Park Subcommittee has participated in meetings regarding adding crosswalks, including likely at Vernier and Sunningdale Street.

MASTER PLAN REWRITE

The City has retained Giffels Webster as its consultant to lead an effort to create a new Master Plan. Giffels launched the initiative at the Planning Commission’s December 2022 meeting and will involve the Commission and present its progress at various points throughout 2023, culminating in a draft Plan in early 2024, which the Commission anticipates recommending approval for adoption to the City Council.

Task 1 Public Input:

In Phase 1 of the Master Plan Update, a public open house is included, which provides an opportunity for input to the Planning Commission prior to the preparation of the plan elements of the document. The following describes additional opportunities for public input in Phase 2. Public participation is critical to the planning process. Our team offers the following public participation approaches in this project:

- A. Online engagement platform that will allow for users to provide input, share ideas, respond to surveys and tie feedback to geographic locations in the city.
- B. Public open house – an informal opportunity to share the findings of phase 1 and solicit input on direction for the long-range planning in phase 2.

Timeline: Ongoing throughout project

Deliverables: Summary of public input

Cost: \$4,500

Task 2 Plan Preparation: Our team proposes to incorporate the following into Master Plan update, with one optional chapter):

1. Future Land Use Plan Map and supporting recommendations based on the existing conditions analysis, public input, and goals and objectives. A narrative of the intent of each land use category will be provided. Graphics and implementation details illustrating specific proposals will be included as appropriate.
2. *Optional Mack Avenue Corridor Plan.* For this chapter, the city will review the findings and recommendations from the 2020 Vision Plan for Mack Avenue. After review, any necessary modifications will be incorporated in this Chapter. Topics to be reviewed include the following:
 - a. Coordinated New Streetscape Elements (Bike Racks / Benches / Trash Cans)
 - b. Street Light Pole Banners / Enhancements
 - c. Additional Pocket Parks
 - d. 30 MPH Speed Limit
 - e. Outdoor Cafe Enhanced Support
 - f. Enhanced Crosswalks / Traffic Calming Features
 - g. Commercial Beautification / Façade Improvement Incentives
 - h. Mack Avenue Marketing / Branding

This is not intended to be a comprehensive update of the Vision 2020 document, but rather modest adjustments and supplements necessary to bring the document up to date. The cost of this element is \$7,000.

3. Action Items Summary Table:
 - a. an easy-to-use checklist for prioritizing implementation strategies. Identify a Champion and Partners for each specific action item to ensure implementation success.
 - b. Zoning Plan: Prepare a Zoning Plan to guide short-range zoning decisions. Relate current and new districts to each land use category as necessary. Provide direction for zoning changes needed as a result of the Master Plan.

Timeline: 6-7 months

- Four meetings with Planning Commission to prepare the plan, review the Draft Plan and review materials for the Open House
- One meeting of the Planning Commission to review the final draft prior to release for public comment.

Deliverables: Draft Master Plan

Cost: \$20,000 (\$27,000 with optional Mack Avenue Corridor Plan update)

Task 3: Public Hearing & Adoption

1. Assist in preparing for the distribution of the draft plan to surrounding communities and designated agencies and utilities.
2. Prepare notice of public hearing in accordance with the Michigan Planning Enabling Act.
3. Present draft Plan at the public hearing. Prepare Resolutions of Adoption.
4. Assist Planning Commission with final adoption procedures.

Timeline: 2-3 months

Deliverables: Final draft plan

Cost: \$3,000

Task 4: Plan Prep & Printing

- A. Prepare document for printing and/or electronic copies to be distributed by a digital link. Print complete document for distribution (copies to be billed separately, with cost varying depending on number of copies printed).
- B. Print & Transmit Adopted Plan: Print Master Plan for final distribution as hard copy and an electronic document in PDF format. Coordinate with city staff to ensure the adopted Plan is distributed in accordance with State law.
- C. Executive Summary: Create an online story map of the Master Plan that includes the Future Land Use Plan Map and key concepts. This format provides the city with an excellent, low-cost method of sharing a concise summary of the Master Plan document with the public.

Timeline: 1 month

Deliverable: Final Master Plan as identified above.

Cost: \$2,500

Total Cost: \$30,000 - \$37,000 with Mack Avenue Corridor Plan Update

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION
FROM: BRUCE ECK, INTERIM BUILDING OFFICIAL
DATE: JANUARY 24, 2023
SUBJECT: BUILDING DEPARTMENT REPORT, JANUARY 2023

Since the last Planning Commission meeting, Someday Brewing received their Certificate of Occupancy.

Pointe Vision Care was issued permits for both a new awning and sign. Lochmoor Country Club was issued an interior demolition permit in preparation for an interior renovation project.

We have been following up on old projects that never have had final inspections and have been working with owners and contractors to come into compliance. We have been prioritizing projects such as in-ground pool projects and additions that may be a safety hazard if occupied without final inspections.

We also have been trying to work with business owners on commercial projects that have been stalled or have not had final inspections.

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: BRUCE ECK, INTERIM BUILDING OFFICIAL

DATE: FEBRUARY 28, 2023

SUBJECT: BUILDING DEPARTMENT REPORT, FEBRUARY 2023

In the past month, the Grosse Pointe Woods Building Department is happy to have issued a Certificate of Occupancy to Body Matrix by Margo at 19798 Mack.

We have issued sign permits to Bloomfield Nail Salon at 20567 Mack and Emcura at 20599 Mack.

We have received a permit application and plans for the interior renovation at Lochmoor Country Club with a construction value totaling \$1,521,203. The permit is currently under review by McKenna & Associates.

Einstein Bagels has submitted an application to remove rotten wood attached to its façade. They will be re-painting where the old façade has stained the existing brick. It is currently under review by McKenna's Planning team to determine if the project will require planning approval.

Kroger has submitted an application and plans to replace the basement freezer and floor. The project is currently under review by McKenna & Associates. The construction value for that project is estimated to be \$75,000.

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: JIM WRIGHT, ACTING BUILDING OFFICIAL

DATE: MARCH 28, 2023

SUBJECT: BUILDING DEPARTMENT REPORT, MARCH 2023

In the past month, the Grosse Pointe Woods Building Department has issued Certificates of Occupancy to Body Matrix by Margo at 19798 Mack, and Direct Financial, Nelson Family Services, Supportive Counseling Services, all suites at 20956 Mack.

We have issued sign permits to Bloomfield Nail Salon at 20567 Mack, Hollywood Feed (soon to be) at 19391 Mack, and Emcura at 20599 Mack.

We issued a building permit to Orlins Construction for an interior remodel at Lochmoor Club with a construction value totaling \$1,521,203.

Kroger has been issued a permit to replace the basement freezer floor. The construction value for that project is estimated to be \$75,000.

Einstein Bagels has been issued a permit to remove rotten wood attached to its façade. They will be re-painting where the old façade has stained the existing brick.

Plans have been received for Bucharest Grill at 19876 Mack, the permit application is currently under review by McKenna & Associates.

Qamaria Yemeni Coffee Company has submitted an Occupancy permit application for 19727 Mack, in the former Starbucks Coffee space.

A permit application has been submitted to add a wall and create a children's bathroom at Grosse Pointe Nursery School at 21336 Mack. The permit is currently under review by McKenna & Associates.
