

CITY OF GROSSE POINTE WOODS PLANNING COMMISSION AGENDA

Tuesday, March 28, 2023 at 7:00 PM

Robert E. Novitke Municipal Center - Council Chambers/Municipal Court, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2426

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PLEDGE OF ALLEGIANCE
- 4. ACCEPTANCE OF AGENDA
- 5. RECOGNITION OF COUNCIL REPRESENTATIVE/S
- 6. APPROVAL OF MINUTES
 - A. Planning Commission 12/13/2022
- 7. ELECTION OF CHAIR AND VICE CHAIR
- 8. ADOPTION OF RULES AND PROCEDURES
 - A. By-laws and Rules of Procedures
- 9. CRISPELLI'S BUILDING REMODEL 19852 MACK AVENUE
 - A. Crispelli's Building Remodel 19852 MACK AVENUE
- 10. 19876 MACK AVANUE FACADE SITE PLAN REVIEW
 - A. 19876 Mack Avenue Facade Site Plan Review
- 11. 2022 PLANNING COMMISSION ANNUAL REPORT
 - A. 2022 Planning Commission Annual Report
- 12. MASTER PLAN PART 2 PROPOSAL REVIEW
 - A. Master Plan Part 2 Proposal Review
- 13. BUILDING OFFICIAL'S MONTHLY REPORT
 - A. Building Department Report January 2023, February 2023, March 2023
- 14. PLANNING COMMISSION REPORT
- 15. COUNCIL REPORT/s
 - A. December 19th Vitale
 - B. January 9th & 23rd Fuller
 - C. February 6th & 27th Gilezan
 - D. March 6th & 20th Hamborsky
- 16. INFORMATION ONLY: Council Representatives for Next Meeting

A. April 3rd & 17th - McNelis

17. NEW BUSINESS

- A. Subcommittees: Solar Ordinance
- B. 2020 Plan
- C. Crosswalk/Pocket Park
- D. Streetscape
- E. Discussion Subcommittee Decommissioning

18. PUBLIC COMMENT

19. ADJOURNMENT

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249.

PENDING MINUTES 12-13-22 - 28

MINUTES OF THE REGULAR PLANNING COMMISSION MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON DECEMBE 13, 2022. IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:05 p.m. by Chair Fuller.

Roll Call: Chair Fuller

Planning Commissioners: Bailey, Fenton, Gerhart, Gilezan, Hamborsky, Vitale

McNelis. O'Keefe Absent:

Also Present: Planning Project Manager, Michael Boettcher, AICP

MOTION by Hamborsky, seconded by Gerhart to excuse Commissioner McNelis and Commissioner O'Keefe from attendance at tonight's meeting.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale

NO: None

Absent: McNelis, O'Keefe

The Planning Commission, Staff, and the Public Pledged Allegiance to the Flag.

MOTION by Fenton, seconded by Vitale that tonight's agenda be received and placed on file.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale

NO: None

McNelis, O'Keefe Absent:

MOTION by Gerhart, seconded by Vitale, that the November 22, 2022, Planning Commission Meeting Minutes be approved as submitted.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale

NO: None

Absent: McNelis, O'Keefe

The next item on the agenda was **Public Hearings.**

MOTION by Gilezan, seconded by Bailey, to open the public hearing for the proposed rezoning at 20100 Mack Avenue.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,

NO:

Absent: McNelis, O'Keefe

Abstain: Vitale

Chair Fuller opened the public hearing for proposed rezoning of 20100 Mack Avenue.

Planner Boettcher presented the review of the rezoning with the findings of fact.

No comments from the public.

MOTION by Gilezan, seconded by Bailey, to close the public hearing for the proposed rezoning at 20100 Mack Avenue.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,

NO: None

Absent: McNelis, O'Keefe

Abstain: Vitale

Chair Fuller closed the public hearing.

The next item on the agenda was **Rezoning Application for 20100 Mack Avenue Rezoning.**

MOTION by Gerhart, seconded by Gilezan, to recommend approval of the rezoning at 20100 Mack Avenue from P-1 to RO-1 to City Council.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,

NO: None

Absent: McNelis, O'Keefe

Abstain: Vitale

MOTION by Gilezan, seconded by Gerhart, to immediately certify the previous rezoning recommendation action for immediate effect, to be forwarded to City Council for their review and action.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky,

NO: None

Absent: McNelis, O'Keefe

Abstain: Vitale

The next item on the agenda was **Master Plan Update with Giffels Webster**. Giffels Webster gave an introduction that included an update with the Master Plan process for the city. Discussion was held with the commission members.

The next item on the agenda was the **Building Official's Monthly Report**. Planning Project Manager, Michael Boettcher with Mckenna gave BS&A report of new activity and additional insight on the projects coming through the Building Department.

The next item on the agenda was the **Council Reports**.

The November 7th and 21st City Council meetings were discussed at the last Planning Commission meeting.

There was no report necessary for the December 5th City Council meeting.

The next item on the agenda was the **PC Member Attendance at 2023 City Council meeting.** Commissioner McNelis was put onto the April meeting.

The next item on the agenda was the **2023 Planning Commission Meeting Schedule.** This was an informational overview of the 2023 Planning Commission meeting dates.

Under **New Business** held discussion for the January Planning Commission agenda and standing subcommittees.

Under Public Comment: None.

MOTION by Vitale, seconded by Bailey to adjourn at 8:03 p.m. Motion carried by the following vote:

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gerhart, Gilezan, Hamborsky, Vitale

NO: None

Absent: McNelis, O'Keefe

Respectfully Submitted, Alicia Warren Zoning Administrator

RULES OF ORDER AND PROCEDURE OF PLANNING COMMISSION OF GROSSE POINTE WOODS

- 1. The Planning Commission shall be constituted and shall have powers and perform such duties as are provided for in Section 1, Chapter 4, of the City Code of the City of Grosse Pointe Woods.
- 2. The officers of the Planning Commission shall be a Chair, and Vice Chair/Secretary. The Chair shall preside at all Planning Commission meetings, and in the Chair's absence, the Vice Chair/Secretary shall act in such place and stead.
- 3. The terms of office of the Chair and Vice Chair/Secretary shall be for a period of one (l) year, or until their respective successors shall be elected and have qualified. At the first scheduled meeting of each year, the Commission shall elect from among its members, a Chair and Vice Chair/Secretary who shall be seated at the next regularly scheduled meeting.
- 4. The City Clerk or the Clerk's agent shall record all proceedings of the Planning Commission.
- 5. The Planning Commission shall hold regular meetings on the fourth Tuesday in each month, except December, which shall be held on the second Tuesday, at such time and at such Planning Commission shall determine. The regular Planning Commission meetings will be scheduled at 7:00 p.m., unless otherwise posted (01/22/19).
- 6. Special meetings of the Planning Commission shall be called by the City Clerk upon the written request of the Chair, endorsed in writing by two other members, or in such absence, by the Vice Chair/Secretary, endorsed in writing by two other members; or the written request of any three members of the Planning Commission on at least twenty-four (24) hours written notice to each member of the Planning Commission served personally or left at the place of residence; or by a majority affirmative vote of those present at a Planning Commission meeting.
- 7. No business shall be transacted at any special meeting of the Commission unless the same shall have been stated in the notice of such meeting, provided that the provisions hereof may be waived by consent of the members of the Commission present and the written consent of the absent members.
- 8. All meetings, both regular and special, shall be open to the public.
- 9. The majority of the members of the Planning Commission in office shall constitute the quorum for the transaction of business at any meeting thereof and in the event of a lack of quorum, the members of the Commission so present shall adjourn any such meeting to a later date.

10. The business of all meetings of the Commission shall be transacted, so far as possible, in the following order:

Roll Call
Approval of minutes
Matters appearing upon the Agenda
New Business

- 11. The presiding officer shall preserve order and decorum and shall speak to points of order in preference to other members. The presiding officer shall decide questions of order subject to appeal to the Commission, which appeal must be duly moved and seconded and sustained by majority vote of the Commission.
- 12. Before any member of the Commission, officers, or person in the audience may address the Commission, permission to do so must be obtained from the presiding officer, provided that any person having the floor shall not be interrupted unless ruled out of order by the presiding officer.
- 13. Approval of the Planning Commission shall be evidenced by a duly adopted motion or resolution of the Commission and by the execution of the "approval stamp" affixed to the front elevation of the building, the Plot Plan, the plat, the subdivision restrictions, the property use statement and other documents, as the case may be requiring approval by the Chair, or in the Chair's absence, by the Vice Chair/Secretary of the Commission, and when so approved the same shall be delivered to the City Clerk for further processing.
- 14. The Chair, in consultation with the Building Official, shall prepare an agenda of all matters which will be considered at each meeting, which agenda shall be distributed among the Commission members at least forty-eight (48) hours prior to the time of holding the meeting. Any matter not on the agenda shall not be acted upon without the unanimous consent of the members of the Commission present at such meeting, provided, if any matter is presented upon motion duly made and seconded, objection to action thereon shall be immediately voiced by any objecting members of the Commission before discussion is entered upon and, if no such objection is voiced, no objection shall thereafter be voiced to any action taken or proposed to be taken.
- 15. Upon request of a majority of the members of the Commission present, any question PROPERLY before the Commission shall be put to vote; such request for a vote shall be acted upon immediately without further discussion of the subject, and shall thereupon bring the question to a direct vote upon a motion to table, a motion to refer, a motion to amend, or upon the main question, in the order named.
- 16. At the request of a Commission member, any question shall be divided if such question, in the opinion of the presiding officer, is subject to division and shall be submitted as divided.
- 17. No motion or proposition different from that under consideration shall be admitted under cover of amendment, provided that a substitute motion may be submitted to cover the same subject matter and, if carried, shall result in determining the original motion out of order.

- 18. No motion shall be debated or put to a vote unless the same shall have been seconded and properly read by the Clerk, or summarized by the Chair.
- 19. A motion to reconsider any vote upon any question shall be in order at the following meeting of the Commission; provided that a member of the prevailing side intending to move to reconsider shall file a notice in writing of the Member's intention to do so with the Vice Chair/Secretary and the City Clerk within twenty-four (24) hours after the action to be reconsidered was taken. The same number of votes shall be required to reconsider any action of the Commission as is required to adopt the same.

Upon the filing of a Notice for reconsideration, the effect of the action to be reconsidered shall be suspended until action can be taken upon such consideration. Action upon the reconsideration shall be taken at the next regular Commission meeting or at a prior Special Meeting called for that purpose.

20. When any question is under debate, no motion shall be received except the following, and in the order named:

Motion to adjourn Motion to table Motion for the question Motion to refer Motion to amend Substitute motion

- 21. A motion to adjourn shall always be in order except when a vote is being taken or when a member of the Commission has the floor. A motion to adjourn or to table shall be decided without debate.
- 22. These Rules of Order may be amended or altered by a majority vote of the Commission.
- 23. The Commission, by a majority affirmative vote of the Commission, may suspend the operation of any one of the aforementioned Rules for a single session, except Section 18.
- 24. Making of remarks by Commission members should be preceded by asking permission of the presiding officer.
- 25. Upon the City Clerk receiving a petition directed to the Planning Commission, which petition requires a public hearing under the provisions of the City Code, the City Clerk shall determine whether such petition contains all necessary information and, if so, the City Clerk may establish a date for a public hearing before the Planning Commission and publish any notices required and shall forward such petition to the Planning Commission which shall conduct the public hearing on the date established therefore.
- 26. **IMPORTANT:** If a Planning Commission Member will be absent for a meeting, the Member must notify the Chair of such anticipated absence as soon as possible prior to such meeting.

- 27. Except as above provided, Roberts "Rules of Order" shall govern.
- 28. The Chair shall prepare an annual report to be submitted to the City Council in accordance with the Planning Enabling Act. The report shall be submitted to the Planning Commission for approval in January of each calendar year to ensure that the report is submitted to the City Council for their budget deliberations. The report should summarize the Commission's operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.

29. Conflict of Interest

- A. Before casting a vote on a matter on which a member may reasonably be considered to have a conflict of interest, the member shall disclose the potential conflict of interest to the Planning Commission. The member is disqualified from voting on the matter if a conflict exists.
- B. Each member of the Commission shall avoid conflicts of interest and/or incompatibility of office. As used here, a conflict of interest shall at a minimum include, but not necessarily be limited to, the following:
 - 1. Issuing, deliberating on, voting on, or reviewing a case concerning him or her.
 - 2. Issuing, deliberating on, voting on, or reviewing a case concerning work on land owned by him or her or which is adjacent to land owned by him or her.
 - 3. Issuing, deliberating on, voting on, or reviewing a case involving a corporation, company partnership, or any other entity in which he or she is a part owner, or any other relationship where he or she may stand to have a financial gain or loss.
 - 4. Issuing, deliberating on, voting on, or reviewing a case which is an action which results in a pecuniary benefit to him or her.
 - 5. Issuing, deliberating on, voting on, or reviewing a case concerning his or her spouse, children, step-children, grandchildren, parents, brothers, sisters, grandparents, parents in-law, grandparents in-law, or members of his or her household.
 - 6. Issuing, deliberating on, voting on, or reviewing a case where his or her employee or employer is:
 - a) An applicant or agent of an applicant, or
 - b) Has a direct interest in the outcome.
- C. If there is a question whether a conflict of interest exists or not, the question shall be put before the Commission. Whether a conflict of interest exists or not shall be determined by a majority vote of the remaining members of the Commission.
- D. When a conflict of interest exists, the member of the Commission, or committee, shall do all of the following as soon as possible.
 - 1. Declare a conflict exists at the first available meeting of the Commission or committee;

- 2. Cease to participate at the Commission or committee meetings, or in any other manner, or represent one's self before the Commission, its staff, or others, provided however that the member may remain in the Council chambers during deliberation.
- E. If a member of the Commission is appointed to another office, which is an incompatible office with his or her membership on the Commission, then on the effective date of the appointment to the other office, that shall result in an automatic resignation from the Commission. If a member of another office is appointed to the Commission, which is an incompatible office with his or her membership in the other office, then on the effective date of the appointment to the Commission, that shall result in an automatic resignation from the other office.

30. Capital Improvement Review

The Planning Commission will review information regarding appropriate capital improvement projects as provided to it by the Administration in order to comply with state law regarding the capital improvement review process.

* * *

MCKENNA



March 21, 2023

Planning Commission City of Grosse Pointe Woods 20025 Mack Plaza Dr Grosse Pointe Woods, MI 48236

Subject: 19850 Mack Avenue Site Plan Review

Parcel ID: 40-012-01-0373-301

Site Plan Review #1

Zoning: C - Commercial Business

Dear Commissioners:

In advance of a formal Site Plan Review application, we have reviewed information submitted by architect John Vitale of Stucky Vitale architects on behalf of Joseph Paluzzi of Verus Development (the "Applicant"), who requests to renovate one unit of a larger storefront building at 19850 Mack Avenue (the "Site") and construct a restaurant within a rehabilitated multi-tenant commercial structure. The site contains an existing one-story retail building with a small, rear parking lot within the C - Commercial Business Zoning District.

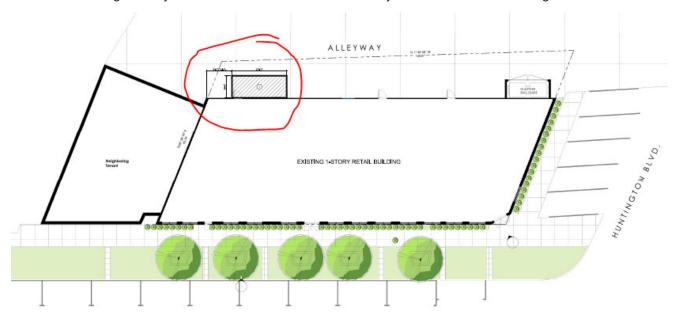




SUMMARY OF REQUEST

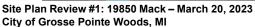
The applicant proposes to demolish a portion of the rear (east) wall of the existing exterior façade, construct a foundation outside the exterior wall and install on it a new walk-in freezer unit to attach to and be accessed from the building. No changes will be made to any other building façade.

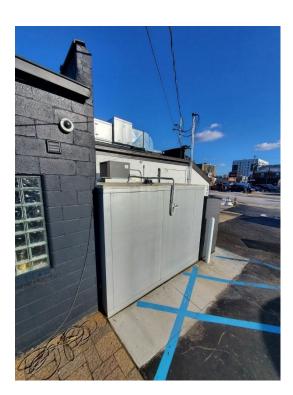
There is an existing one-story retail building adjacent (19876 Mack) to the north of the subject parcel, with a surface parking lot immediately further north. The site sits on the east side of Mack Avenue, between Torrey Road and Huntington Boulevard. Immediately east of a small surface parking lot on the property is an alley which abuts a single-family residence. The south wall of the subject structure abuts Huntington Boulevard.



Above: location of the proposed freezer installation. Below: an example of a similar installation elsewhere.









SURROUNDING SITE USES AND ZONING RECOMMENDATIONS

Freezer Construction Request Consideration. We recommend the Planning Commission consider the following or a similar motion:

I move to recommend approval of the demolition of a portion of the rear wall to accommodate the installation of a walk-in freezer unit at 19850 Mack Avenue (Parcel ID 40-012-01-0373-301) to City Council based on the following finding of fact:

- a. The proposed installation has no impact on the permitted use of the structure; and
- b. The proposed installation will not change the leasable area of the structure, and thus will not modify parking requirements for the use at this site; and
- c. The proposed use of the structure conforms with both current Zoning and the Master Plan Future Land Use Plan Map for the subject site and surrounding sites along the adjacent Mack Avenue corridor.

Respectfully submitted,

McKENNA

Michael Boettcher, AICP



Site Plan Review

1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Multi-tenant commercial building	С	General Business/Mixed Use
North	General commercial	С	General Business/Mixed Use
South	General commercial	С	General Business/Mixed Use
East	Single-family residential	R-1D	Single Family Medium Density
West	General commercial	С	General Business/Mixed Use

The 2006 Master Plan Future Land Use Map designates this site and the immediate surrounding Mack Avenue corridor as *General Mixed Use/Business*, described in the text of the Master Plan as, "retail, restaurant, and office establishments which are designed for the day-to-day needs of nearby residents", and equating to "the City's C Commercial Business zoning district…", which is the zoning category that currently applies to the site. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback	0'	0'-4'	0'-4'*	Yes
Minimum Side Setback (North)	No side yards are required along interior lot lines if walls abutting	0'	0'	Yes
Minimum Side Setback (South)	are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.	0'	0'	Yes
Minimum Rear Setback	No rear yard are required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.	0' north-end, 22' south-end. Openings (windows and a door) exits.	One (1) Emergency Exit door	Yes
Maximum Building Height	Minimum 16 feet at front elevation, Maximum 28 ft	Front elevation 17'-7 1/2" at coping.	Same	Yes

^{*}Reducing the length of the façade setback from the lot line (0').

Findings: Despite the installation of the freezer, the building footprint itself remains the same. Complies.



If outdoor seating is desired in the front of the building, as has been discussed, it will need to be approved by Wayne County before receiving a city permit as this area is in county right of way.

3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

Findings: The subject structure underwent a recent full renovation with new façades approved by the Planning Commission and city. The front façade, clad in brick, limestone and masonry façade with stucco accents, plus metal awnings and parapet panels and caps, is consistent with the ordinance and design standards. The proposed equipment will be installed against a rear façade wall of painted masonry, and if painted to match, or screened to minimize its visual effect, will comply.

4. PARKING AND LOADING

Findings: For restaurant uses, parking requirements in Grosse Pointe Woods mandate one space per 200 square feet of gross floor area, plus one for each employee on the premises during the peak employment shift. If the restaurant offers delivery service, one additional space is required for each motorized delivery vehicle used in delivering goods sold. The gross floor area of this restaurant is approximately 1,841 square feet, requiring nine spaces.

Per Zoning Ordinance section 5.530 (5), off-street parking requirements allow for off-street parking facilities within 300 feet of the permitted use on the same side of a major thoroughfare. We do not have information yet on employment numbers or if there will be delivery to determine the final number of spaces required. It appears the proposed parking agreement with the Grosse Pointe Woods Presbyterian Church to the north will be necessary for this proposed use to meet off-street parking requirements.

5. SIGNS

We have not received elevations showing business signs to review. The existing, approved façade was designed containing areas specifically for tenant signage, however.

Findings: Once the specific dimensions, colors, and illumination of the proposed business signage are known, the applicant should submit their plans for review and approval. Refer to Section 32.7 for specification on sign illumination and Section 32.9 for specifications on business logos. Can comply.

6. LIGHTING

Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

Findings: We have not received any lighting plan that may have been submitted and approved along with the elevations, etc. for this structure. If a lighting plan was approved, including for the rear area, this proposed equipment jutting out from the rear wall of the structure may impact the effectiveness of lighting. Specific information about the lighting of this area should be provided to ensure it complies. Can comply.

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067-0925 P. 248.546.6700 F. 248.546.8454 WWW.STUCKYVITALE.COM STREAMS OF INTERLECTION MOMENTS.
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CRISPELLI'S BAKERY & PIZZARIA TENANT FIT OUT 19850 MACK AVENUE GROSSE POINTE WOODS MICHIGAN 48236

Section 9, Item A.

Issued for :

GENERAL NOTE: SITE PLAN INFORMATION BASED ON PREVIOUS CITY SUBMITTAL BY LANDLORD ARCHITECT OF RECORD INCLUDED HERE FOR REFERENCE ONLY

Drawn by : JPM

Checked by : JAV. SMB

Sheel Title : SITE PLAN DETAILS

Project No. 2023.029

ALLEYWAY Neighboring Tenant **EXISTING 1-STORY RETAIL BUILDING**

MACK AVE.

GENERAL SITE PLAN NOTES:

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMIP OF 1 1/2 TO 3 INCHES.
- 3. ASPHALT: BASE COURSE MOOT BITUMINOUS MIXTURE NO. 1100L 20A4: SURFACE COURSE- MOOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.
- 4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- 5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE NUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- 8. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- 9. COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.

SITE PLAN KEY NOTES:

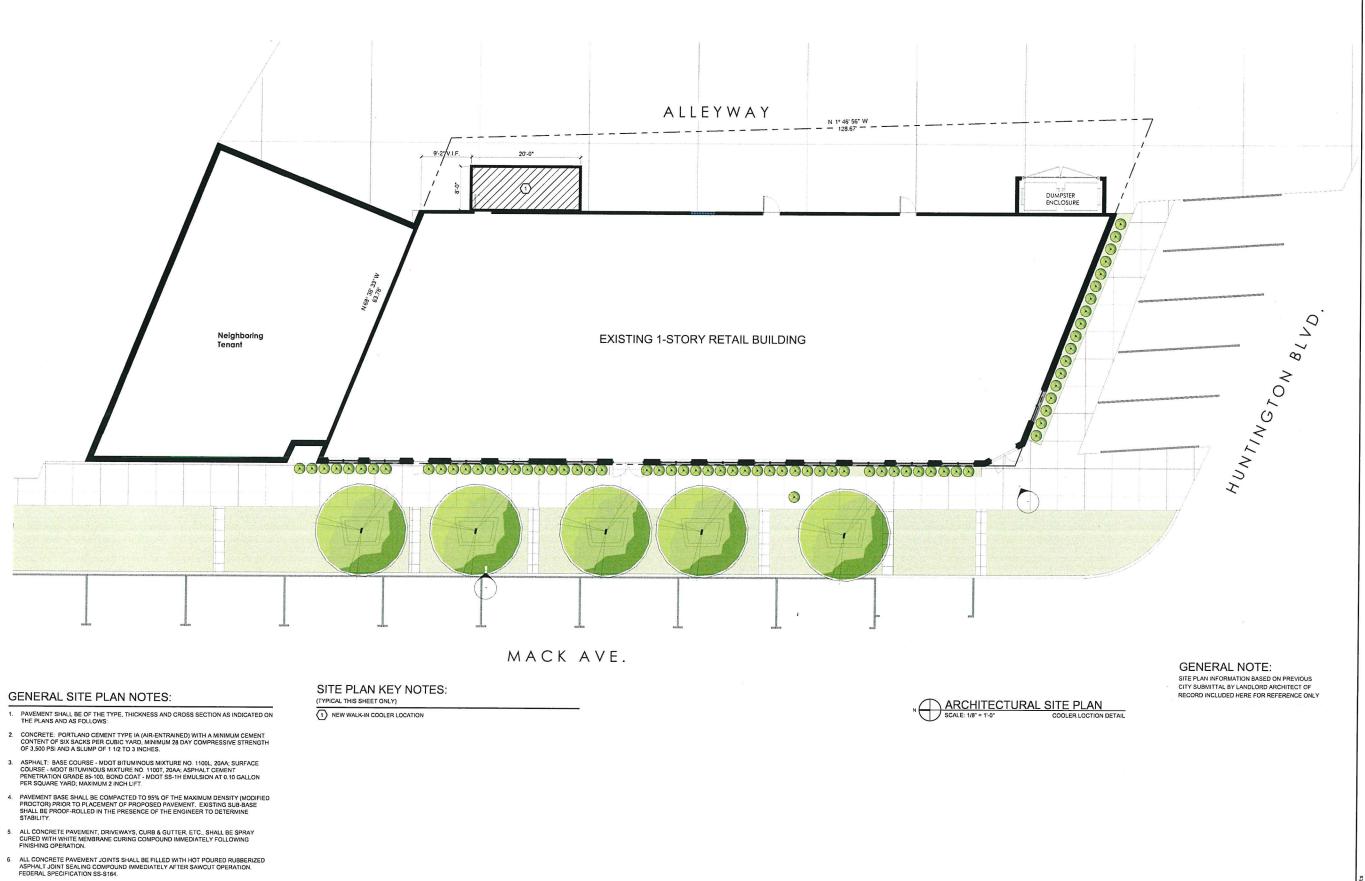
(TYPICAL THIS SHEET ONLY)

1 NEW WALK-IN COOLER LOCATION

ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0" COOLER LOCTION DETAIL

5

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 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

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 COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.

Section 9, Item A.

SVA

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE

27172 WOODWARD AVENUE ROYAL OAK, H 48067-0925 P. 248.546.6700 F. 248.546.8454 WWW.STUCKYVITALE.COM

CHIEFERT OF INTELECTUAL PROPERTY:
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Consultants:

Project :

CRISPELLI'S BAKERY & PIZZARIA TENANT FIT OUT 19850 MACK AVENUE GROSSE POINTE WOODS MICHIGAN 48236

Issued for :

Drawn by : JPM

Checked by : JAV, SMB

Sheet Title : SITE PLAN DETAILS

Project No. : 2023.029

Sheet No. : 12

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE

AOTAL OAK, MI 48067-0925 P. 248.546.6700

WWW.STUCKTVITALE.COM

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F. 248.546.8454

Consultants

Project

& PIZZARIA TENANT FIT OUT 19850 MACK AVENUE GROSSE POINTE WOODS

MICHIGAN 48236

Issued for:
CITY SUBMITTAL 03.22.23

CRISPELLI'S BAKERY

ABBREVIATION



TENANT FIT OUT 19850 MACK AVE. **GROSSE POINTE WOODS. MI 48236**

ARCHITECT: STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MICHIGAN 48067

PROJECT DATA: BUILDING CODE AUTHORITY

OWNER MARK ARTINIAN CRISPELLI'S BAKERY AND PIZZERIA 1890 SOUTHFIELD ROAD BIRMINCHAM, MI 48009

TYPE OF CONSTRUCTION

USE GROUP:

PROJECT AREA:

OCCUPANT LOAD: DINING AND BAR - 15 NSF UNCONCENTRATED -1,036 NSF FIXED SEATING NO ARMS -60' x 12" -40 KITCHEN AREA - 200 GSE

EGRESS WIDTH:

APPLICABLE CODES: (COMMERCIAL) COMPLIANCE METHOD (CH 4): PRESCRIPTIVE METHOD (REFERENCE WITH CH 14): ALTERATIONS - LEVEL 3 (CH 9)

PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE: 2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMENDMENTS PART 8:

ENERGY CODE: 2015 MICHIGAN BUILDING CODE (CHAPTER 13) 2015 MICHIGAN ENERGY CODE ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

BARRIER FREE REQUIREMENTS: 2010 AUD STANDARDS 1 OR ACCESSIBLE DESIGN (DOJ) MBC-2012 (CHAPTER 11) ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

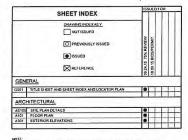
LIFE SAFETY CODES 2015 NFPA 101 LIFE SAFETY CODE 2013 NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS



PLUMBING FIXTURE COUNT

NO. CLASSIFIC	ATION	TAGE TO LETTE			WATER CLOSETS LAVATORIES			
	CLASSIFICATION OCCU	OCCUPANCY	MALE	FEMALE	FEMALE MALE FEMALE DRINKING FOUNTAIN	OTHER		
ASSEM	JLY	A-2	1 P	ER 75	18	ER 200	1 PER 500*	1 SERVICE SIN
FIXTURES REQU	RED BY CO	DOE	1	1	1	1	0	1

WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THUSE RESTAURANTS



MINIMUM CLEARANCES FOR MANUAL DOORS

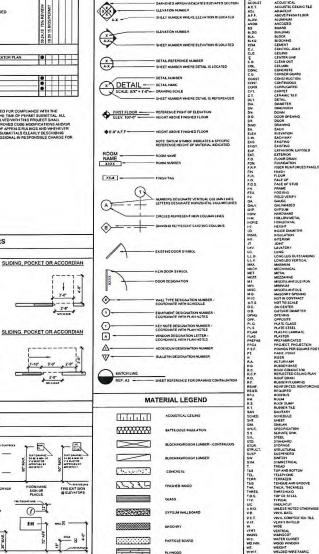
FRONT APPROACH - SWING DOORS

SIDE APPROACH - SWING DOORS

PULL SIDE

X . 1 -0" IF Y . 5-0"

DOORS (ADA & ANSI A117.1)



CONCRETE

SYMBOL LEGEND

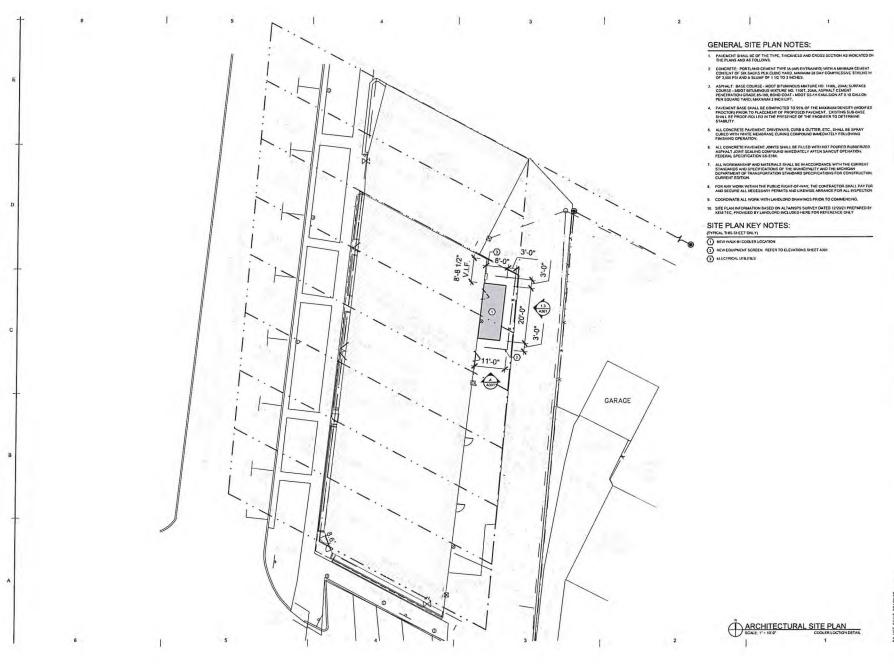
DARKENED ARROW PICICATES ELEVATED SECTIO

Checked by: JAV, MJB, AJD Sheet Title : TITLE SHEET,

> Project No. 2023.029

G001







STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROTAL OAK, MI 48067-0925
P. 248.546.6700
T. 248.546.8454
WWW.STUCKYVITALE.COM

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Consultants:



Project :

CRISPELLI'S BAKERY & PIZZARIA TENANT FIT OUT 19850 MACK AVENUE GROSSE POINTE WOODS MICHIGAN 48236

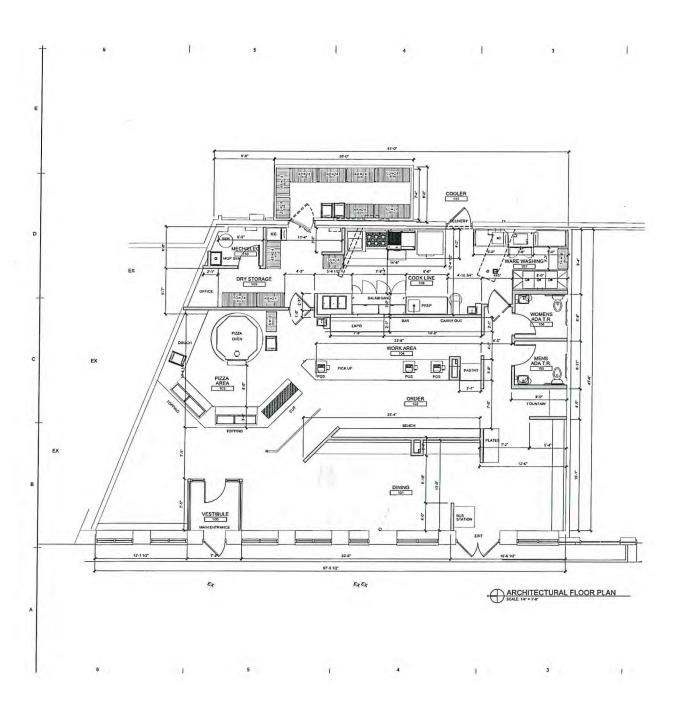
Issued for : CITY SUBMITTAL 03:22:23

Drawn by : JPM Checked by : JAV, SMB

Sheet Title : SITE PLAN DETAILS

Project No. : 2023.029

Sheet No. : AS 101



GENERAL FLOOR PLAN NOTES:

- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS
- 4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- 6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- 7 PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS. FLOOR, WALL, AND CELIHAG SUFFACES AS REQUIRED ADJACENT TO AREAS BEINT DEMOUSPED. REFER TO DEMOUTION DRAWNOS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK AND OTHER WALL MOUNTED ITEMS.
- 11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- 12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- 13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30:0" G.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR (WALL) CERING MOUNTED ITEMS, IE. CAMERAS, TVS, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATM'S
- 16 CONTRACTOR TO FALLARY AND ALL COUPMENT PENETRATIONS ON PERFERSIONS OF THE CONTRACTOR OF THE CONTRAC
- 7. A TACTEE SION STATING EXIT AND COMPLYING WITH ICCATT, SHALL BE PROVIDED ADJACED TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERNA AREA FOR ASSISTED RESCUE, AN EXIT FAMILY, AND THE BOT BOSCHE, AN EXIT STARWAY, AN EXIT PASS
- PROVIDE PERMANENT BUT, SPICHED COPINGE THE COOR MAINTAIN AND
 PROVIDE PERMANENT BUT AND THE PROVIDE SHAREDS, THE PARTITION, CANCEL
 BANKINGS, MANCEL PARTITIONS OR ANY OTHER WALL REQUARD TO LAWF PROTECTE
 OFFINIONS OF PERTANDISMS WITHOUT SPEET AT THE END OF EACH WALL, AND NOT
 WALL TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-EELING, OR ATTIC.
 SWACES FER COOK (MIC 70.17).

FLOOR PLAN KEY NOTES:

② NOTE



STUCKY VITALE ARCHITECTS 27172 WOODWARD ATENUE MOTAL DAK, MI 48067-0925 F. 248.546.6700 F. 248.546.8454 WWW.STUCKTVITALE.COM

DETECT OF DESIGNATION ASSESSED.

THE STATE, CONTENT, SALVING AND TRANSPORT
CONTENT AND ANY THE METHER THE STATE AND THE STATE AN Consultants



CRISPELLI'S BAKERY

& PIZZARIA
TENANT FIT OUT
19850 MACK AVENUE
GROSSE POINTE WOODS MICHIGAN 48236

Issued for : CITY BUBMITTAL 03.22.23

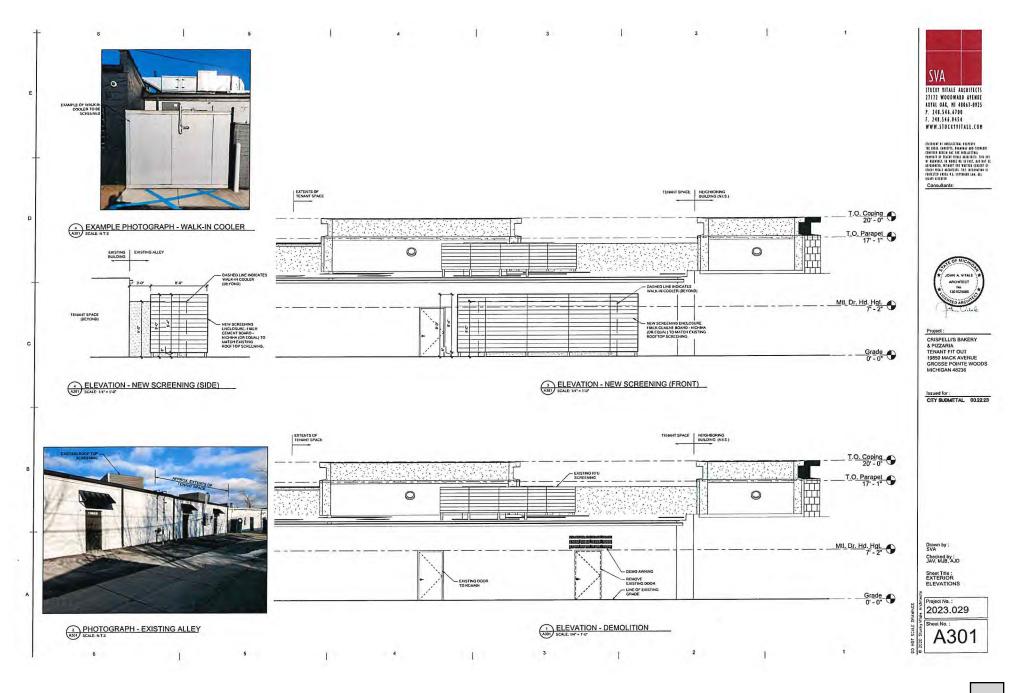
LOCATOR PLAN

Drawn by : Checked by: JAV, MJB, AJD

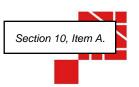
Sheet Title : FLOOR PLAN

Project No.: 2023.029

A101



MCKENNA



March 21, 2023

Planning Commission City of Grosse Pointe Woods 20025 Mack Plaza Dr Grosse Pointe Woods, MI 48236

Subject: 19876 Mack Avenue Site Plan Review

Parcel ID: 40-012-01-0371-001

Site Plan Review #1

Zoning: C - Commercial Business

Dear Commissioners,

We have reviewed the above Site Plan Review for consideration of a façade and building renovation. Joseph Paluzzi of Verus Development (the "Applicant") requests to renovate the storefront of 19876 Mack Avenue (the "Site") and convert the building from a retail space to a restaurant. The site contains an existing one-story retail space surface adjacent to a parking lot within the C – Commercial Business. Renovations or remodeling of exterior building must be reviewed by planning commission, unless exempt in Section 50-374(b), to ensure the proposed changes are consistent with the design standards of the ordinance. This review is based on the application submitted March 17, 2023.



235 East Main Street Suite 105 Northville, Michigan 48167



SUMMARY OF REQUEST

The applicant proposes to demolish the existing exterior façade and interior walls, construct a new façade along Mack Avenue, and renovate the existing building to service a restaurant in this building.

There is an existing one-story retail building with an existing parking lot adjacent (19950 Mack) to the subject parcel. The site sits on the east side of Mack Avenue, just south of Torrey Road. It shares its eastern boundary with a single-family residence and its southern boundary with additional retail/restaurant uses.



Rendering of the proposed renovated façade.

RECOMMENDATIONS

Renovation Request. Pending decisions regarding the paint colors and any comments from the public during the Planning Commission meeting, we recommend the Planning Commission consider the following motion:

I move to recommend approval of the renovations to 19876 Mack Avenue (Parcel ID 40-012-01-0371-001) based on the following finding of fact:

- a. The subject site has historically been and is anticipated to be used for commercial space,
- b. The architectural design elements enhance and increase compliance with the ordinance based on the exiting building design,
- c. The proposed renovations will improve the integrity of the building without changing the building footprint or design elements.

Prior to issuing a certificate of compliance/business license, the applicant/occupant will need to submit information regarding parking, signage, and lighting.

Respectfully submitted,

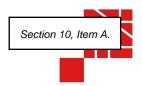
McKENNA

Brigitte Smith

Sugitti

Michael Boettcher, AICP

Site Plan Review #1: 19876 Mack – March 21, 2023 City of Grosse Pointe Woods, MI



Site Plan Review

1. ZONING DESIGNATIONS

The following chart provides information on the schedule of regulations as it pertains to zoning:

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	General commercial	С	General Business/Mixed-Use
North	Parking	P-1	Parking
South	General commercial	С	General Business/Mixed-Use
East	Single-family residential	R-1D	Single Family Medium Density
West	General commercial	С	General Business/Mixed Use

Findings: The zoning and general commercial reuse of this building is compliant with the ordinance and Master Plan future land use designation. Complies.

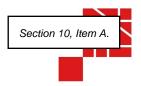
2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback	0'	0'-4'	0'-4'*	Yes
Minimum Side Setback (North)	No side yards are required along interior lot lines if walls abutting	0'	0'	Yes
Minimum Side Setback (South)	are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.	0'	0'	Yes
Minimum Rear Setback	No rear yard are required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.	0' north-end, 22' south-end. Openings (windows and a door) exits.	One (1) Emergency Exit door	Yes
Maximum Building Height	Minimum 16 feet, Maximum 28 ft	Not provided. Less than 16'.	16' 4" west facing, 12'4" east-facing half	Yes

^{*}Reducing the length of the façade setback from the lot line (0').

Findings: The building footprint remains the same. Reducing the length of the façade that is setback further than 0' at the lot line and removing additional openings beyond an singular emergency exit at the rear of the building increases the building's compliance with the intentions of the ordinance. Complies.

If outdoor seating is desired in the front of the building, as proposed in the rendering presented, it will need to be approved by Wayne County before receiving a city permit as this area is in county right of way.



3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional" shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities.

Findings: Proposed material use, including brick, brick veneer, concrete masonry, precast concrete, and CMU, is consistent with the ordinance and design standards. The extruded brick pattern used on the storefront adjacent to the entrance is consistent with the desired colonial styling. Complies.

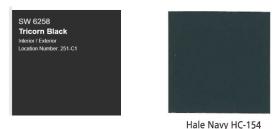
4. COLOR (Sec. 8-207; 50-373(b))

Colors utilized in all design components shall be consistent with the approved color chart on file with the building department and shall be utilized to produce a balanced, coordinated and complimentary total design solution. The approved colors consist of colonial or early American paint colors.

Colors selected for use include Sherwin Williams 6252 Ice Cube on Masonry on the north-side of the building, 6258 Tricorn Black, and Black Pearl Wirecut on Brick Veneer. The existing is to be painted to match the new standing seam roof. All exterior and storefront windows shall be glazed 1" thick with Class A low E glass tempered.

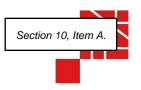


The proposed color (Ice Cube) compared to shades from the approved color palette.



The proposed color (Tricorn Black) compared to an alternatice shades from the approved color palette.

Findings: The proposed colors are not included on the pre-approved color chart and should be reviewed by the Planning Commission to be eligible for an exemption. The recommended colors from the approved list as well as the proposed color are included above for the consideration of the planning commission. The Ice Cube – pastel white is similar to the current color of the painted brick on the north side of the building. If the Commission would prefer a shade from the approved Historical Collection color palette, we would recommend considering Coventry Gray HC-169, Stonington Gray HC-170 or Yarmouth Blue HC-150. Additionally, shades of black are not included in the approved list of colors; however, deep shades of navy and green are included (Hale Navy included above).



Can comply.

5. PARKING AND LOADING

Findings: For restaurant uses, parking requirements in Grosse Pointe Woods mandate one space per 200 square feet of gross floor area, plus one for each employee on the premises during the peak employment shift. If the restaurant offers delivery service, one additional space is required for each motorized delivery vehicle used in delivering goods sold. The gross floor area of this restaurant will be approximately 2,000 square feet, requiring ten spaces.

Per Zoning Ordinance section 5.530 (5), off-street parking requirements allow for off-street parking facilities within 300 feet of the permitted use on the same side of a major thoroughfare. We do not have information yet on employment numbers or if there will be delivery to determine the final number of spaces required. It appears the proposed parking agreement with the Grosse Pointe Woods Presbyterian Church to the north will be necessary for this proposed use to meet off-street parking requirements.

6. SIGNS

One business sign is planned for on the southern end of the facade (west-side of the building). It is proposed to be placed on the brick wall surrounded by the extruded brick pattern and illuminated by 3 wall wash fixtures.

Findings: Once the specific dimensions, colors, and illumination of the proposed business signage are known, the applicant should submit their plans for review and approval. Refer to Section 32.7 for specification on sign illumination and Section 32.9 for specifications on business logos. Can comply.

7. LIGHTING

Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

Findings: All proposed lighting (3 fixtures in the rear of the building and 9 in the front, west-side of the building, 6 of which are under the awning) are all LED downlight. Specific information about the watts of the fixtures should be provided to ensure it complies. Can comply.

Section 10, Item A.

CITY OF GROSSE POINTE WOODS

Building Department

20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2426

RECEIVED

MAR 17 2023

CITY OF GROSSE PTE WOODS
BUILDING DEPARTMENT

SITE PLAN REVIEW

COMMERCIAL – Zoned As – (✓) C – Commercial Business () CF – Community Facilities		P-1 – Vehicular Parking
Property Owner Name:	ERUS DEVELOPMENT Date:	3-17-23
GPW Property Address: _	19876 MACK	
Telephone #: Work 313	570-3200 Home:	
Contractor/Applicant Name	: JOSEPH PALUZZI	
	Mobile Phone # 313 570-32000 Fax	
Contractor/Applicant Addre	ess: 399 FISHER RD 48230 e-mail	JPALUZZIEMITBCOMPANIES.COM
MI Builder's License # :	MI Driver's License # :	
Nature of Proposed Work	: LIOR FREADE CHANGE	
Value of Construction \$	30,000	
Michigan Compiled Laws, prohil	on Code Act of 1972, No. 230 of the Public Acts of 1972, both bits a person from conspiring to circumvent the licensing requires on a residential building or a residential structure. Violation	rements of the State relating to
Applicant Signature:	gne	
I hereby certify the	hat the proposed work is authorized by the owner of record and that I lication as his authorized agent and we agree to conform to all application	I .
	50-32(7) Special Land Use PC Fee: 50-42(a) PC Site Plan Review Fee:	\$ 250 \$ 350
	60-42(a) PC Site Plan Review Fee: 60-42(b)(1) Deposit – Est. Costs Incurred by the City PC APPLICATION FEE DUE:	
Date Received:	Name:	
	Market Transport of the Control of t	

Mack Ave.

19876 Mack Ave., Gross Pointe Woods, MI 48236

Owner

Verus Development Group 36400 Woodward Ave, Suite 240 Bloomfield Hills, MI 48304 P.855.668.3787

Architect

Krieger | Klatt Architects Inc. 1412 E. 11 Mile Rd. Royal Oak, MI 48067 P.248.414.9270. F.248.414.9275

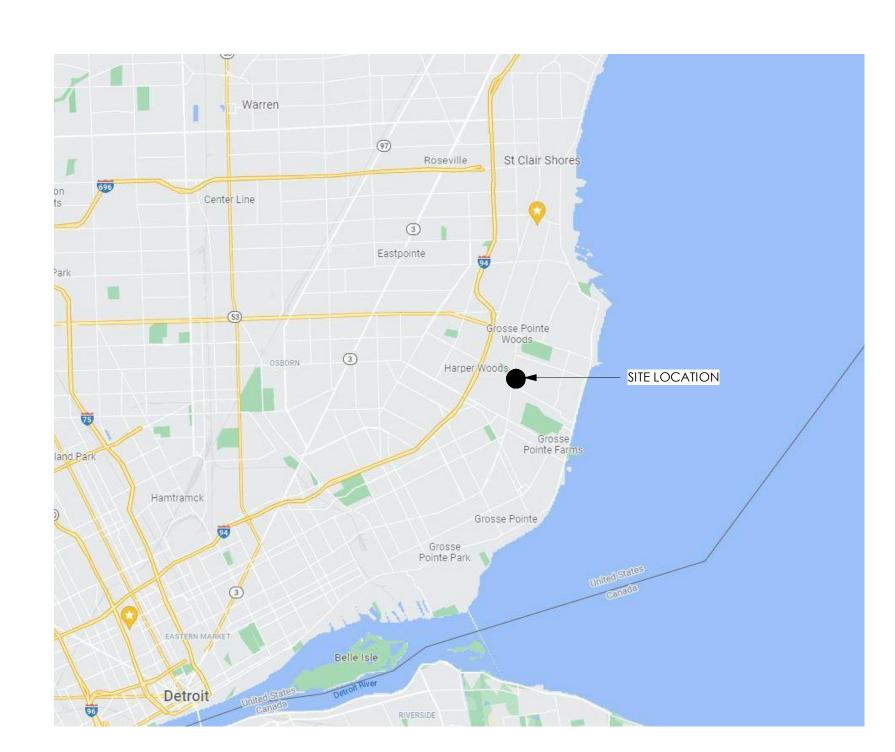
Structural Engineer

Krieger | Klatt Architects Inc. 1412 E. 11 Mile Rd. Royal Oak, MI 48067 P.248.414.9270. F.248.414.9275

General Scope of Work:

DEMOLITION OF EXISTING EXTERIOR FACADE & INTERIOR WALLS
 CONSTRUCTION OF NEW FACADE
 RENOVATE THE EXISTING BUILDING UP TO A 'WHITE-BOX' LEVEL





General Building Information

Project Address:	19876Main Street, Gross Point Woods, MI 48236
	See civil documents for parcel location and information

Code Review Analysis

Application Building:
Application Plumbing:
Application Mechanical:
Application Electrical:
Accessibility:
Energy:
Application Building Code 2015
Michigan Plumbing Code 2018
Michigan Mechanical Code 2015
Aichigan Electrical Code
ICC/ANSI A.117.1-2015
Energy:
2015 Michigan Energy Code
Fire:
2021 International Fire Code

Allowable Building area:

Zoning: Construction Type: Sprinkled: Occupancy Use:	C- Commercial IIIB No TBD by future tenant; assuemed (A-2) for most conservative code enforcement.
Max. Building Height:	2 stories (55'-0")
Max. Area per Story:	9,500 SQ. FT.
Building Height Proposed:	(1) STORIES
Floor area proposed:	2,000 SQ. FT.

General Sheet Index

Sheet No	Title
G.001	Cover Sheet
A 001	Augleite et. well Aleleve, dette ee O. C. wele ele

..001 Architectural Abbreviations & Symbols

Demolition Sheet Index				
Sheet No	Title			
D.100	Demolition Floor Plan			
D.200	Demolition Elevations			

Architectural Sheet Index

A.100	Floor Plan
A.101	Reflected Ceiling Pla
A.102	Roof Plan
A.200	Elevations
A.600	Wall Sections
SP.001	Specifications
SP.002	Specifications
SP.003	Specifications
SP.004	Specifications
SP.005	Specifications
SP.006	Specifications
SP.007	Specifications
SP.008	Specifications

Sheet No Title



ARCHITEC 7
2120 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Client:

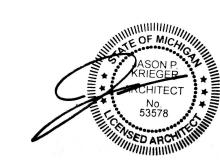
Verus Development Group

Project:

Project Name 19876 Mack Ave Grosse Pointe Woods MI

Issued	Description	By
8/11/2022	Permits	

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in

North Arrow:

Sheet Title:

Cover Sheet

Project Number:

22-099

Scale:

As indicated





ARCHITECTURAL SYMBOLS

			ARCHIE	CIURAL ABBRE	VIATION LIST			AK	CHITECTURA	AL STIVIDO	LS
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
A/C & VENT A/E	AIR CONDITIONING & VENTILATING ARCHITECT-ENGINEER	E EA	EAST EACH	MACH MAR	MACHINE MARBLE	S SAF	S-SHAPE STEEL MEMBER SPRAY APPLIED FIREPROOFING	NORTH		Room name	5
AB	ANCHOR BOLT	EIFS	EXTERIOR INSULATION & FINISH SYSTEM	MAS	MASONRY	SB	SOIL BORING		PROJECT NORTH - TRUE NORTH IS		ROOM NUMBER
ACC ACI	ACCESSIBLE AMERICAN CONCRETE INSTITUTE	EJ FI	EXPANSION JOINT ELEVATION	MATL MAX	MATERIAL MAXIMUM	SCHED SDG	SCHEDULE SIDING		INDICATED ONLY ON SITE PLAN	101	ROOM NUMBER
ACOUS INSUL	ACOUSTICAL INSULATION	ELEC	ELECTRICAL, ELECTRONIC	MBC	MICHIGAN BUILDING CODE	SECT	SECTION		ON SHE PLAN		
ACOUS PNL ACS DR	ACOUSTICAL PANEL ACCESS DOOR	EO ELEV	ELECTRICAL OUTLET ELEVATOR	MECH MEMB	MECHANICAL MEMBRANE	SH SHT	SHOWER SHEET			(100A)	DOOD NIIIAARER
ACS PNL	ACCESS PANEL	EMBED	EMBEDMENT	MEZZ	MEZZANINE	SIM	SIMILAR		OOLUN AN OFNITED	TOUA	DOOR NUMBER
ACST ACST SLNT	ACOUSTIC ACOUSTIC SEALANT	ENCL ENTR	ENCLOSURE, ENCLOSED ENTRANCE	MFG MFR	MANUFACTURING MANUFACTURER	SLDG SLDG WDW	SLIDING SLIDING WINDOW	0	COLUMN CENTER LINES		D 0 0 D 1 H 1 1 D E D
ADA	AMERICANS W/ DISABILITIES ACT	EQ	EQUAL	MIN	MINIMUM	SLNT	SEALANT			A	DOOR NUMBER SUFFIX
ADDL ADDM	ADDITIONAL ADDENDUM	EQUIP ETR	EQUIPMENT EXISTING TO REMAIN	MISC MO	MISCELLANEOUS MASONRY OPENING	SLV SM	SHORT VERTICAL SHEET METAL	0			
ADDN	ADDITION	EW	EACH WAY	MR	MOISTURE RESISTANT	SP	SHAFT PARTITION				DOOR - PART OF
ADJ ADJS	ADJACENT ADJUSTABLE	EWC EWH	ELECTRIC WATER COOLER ELECTRIC WATER HEATER	MT MTC	MARBLE THRESHOLD METAL TOILET COMPARTMENTS	SPEC SPKLR	SPECIFICATION SPRINKLER			 	PROJECT
AFF AGGR	ABOVE FINISHED FLOOR AGGREGATE	EWS EXC	EYE WASH STATION	MTL	METALLIC, METAL MULLION	SQ SSK	SQUARE SERVICE SINK				
AHU	AIR HANDLING UNIT	EXH	EXCAVATE, EXCAVATION EXHAUST	MULL MWP	MULLION METAL WALL PANEL	SST	STAINLESS STEEL	0	— EXIST. COLUMN		EXISTING DOOR
ALT ALUM	ALTERNATE ALUMINUM	EXIST EXIST GR	EXISTING EXISTING GRADE			STA STAG	STATION STAGGERED		CENTER LINES		TO REMAIN
ANOD	ANODIZED	EXP	EXISTING GRADE EXPANSION	NATL	NATIONAL	STC	SOUND TRANSMISSION CLASS	0			
ANSI APC	AMERICAN NATIONAL STANDARDS INSTITUTE ACOUSTICAL PANEL CEILING	EXPS EXT	EXPOSED EXTERNAL	NC NFPA	NOISE CRITERIA NATIONAL FIRE PROTECTION ASSOCIATION	STD STIF	STANDARD STIFFENER				EXISTING WALL TO BE REMOVED
APPROX	APPROXIMATE	EXTNG	EXTINGUISHER	NL	NIGHT LIGHT	STL	STEEL		FLOOR ELEVATION		52 N2/N 6 Y 25
ARCH ASPH	ARCHITECTURAL ASPHALT	EXTR	EXTRUDED	NO. NOM	NUMBER, NUMBERS NOMINAL	STOR STRUCT	STORAGE STRUCTURAL	◆	OR WORK POINT		PARTITION TYPE
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS			NTS	NOT TO SCALE	STRUCT STL	STRUCTURAL STEEL		REFERENCE		
ATC AUTO	ACOUSTICAL TILE CEILING AUTOMATIC	FD FE	FLOOR DRAIN FIRE EXTINGUISHER			SUSP SV	SUSPENDED, SUSPENSION SHEET VINYL		D D		
AVG	AVERAGE	FEC	FIRE EXTINGUISHER CABINET	ОС	ON CENTER	SW	SWITCH		BUILDING SECTION CUT	9'-0"	CEILING HEIGHT INDICATOR
		FHC FHR	FIRE HOSE CABINET FIRE HOSE RACK / REEL	OD OF/CI	OUTSIDE DIAMETER, OUTSIDE DIMENSION OWNER FURNISHED / CONTRACTOR INSTALLED	SWD-FR SYM	SHEATHING WOOD-FIRE RETARDANT SYMMETRICAL				
B PL	BASE PLATE	FIN	FINISH, FINISHED	OF/OI	OWNER FURNISHED / OWNER INSTALLED	· · · ·			WALL 0777	A	FINISH INDICATOR
B/B BC	BACK TO BACK BOTTOM CHORD	FIP FIXT	FOAMED-IN-PLACE FIXTURE	OFF OH DR	OFFICE OVERHEAD DOOR	T	TREAD		WALL SECTION / DETAIL CUT		
BD D	BOARD	FJ	FALSE JOINT	ОРН	OPPOSITE HAND	T&G	TONGUE & GROOVE		- ie., DETAIL 1 ON		EQUIPMENT
BF BF	BEVELED BARRIER FREE	FLASH FLG	FLASHING FLANGE	OPNG OPP	OPENING OPPOSITE	T & R TEL	TREAD & RISER TELEPHONE		SHEET A101 - VIEW IS IN	EQPM ID	IDENTIFIER
BL	BUILDING LINE	FLR	FLOOR	ORIG	ORIGINAL	TEMP	TEMPERATURE		DIRECTION		
BLDG BLDG DAT	BUILDING BUILDING DATUM	FND FOC	FOUNDATION FACE OF COLUMN	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION	TERR THD	TERRAZZO THREAD		OF TAIL		MODEL RM INDENTIFIER
BLKG	BLOCKING	FR	FIRE RATED		DUSUBLITION	THK	THICKNESS, THICK		DETAIL OR PLAN	MDLRM SHEET	- MODEL ROOM NUMBER ON TOP &
BM RLW	BELOW BEAM	FRP FRPP	FIRE RETARDANT PLYWOOD FIBERGLASS REINFORCED PLASTIC PANEL	PB PC	PUSHBUTTON PIECE, PIECES	THRESH TOC	THESHOLD TOP OF CONCRETE (ELEVATION)		ENLARGEMENT	SUEE I)	SHEET WHERE MODEL
BOS	BOTTOM OF STEEL	FRPFG	FIREPROOFING	PEND	PENDENT	TOIL	TOILET	503	- ie., DETAIL 5 ON SHEET A-503		ROOM OCCURS BELOW
BOT BR	BOTTOM BEDROOM	FRW FT	FIRE RETARDANT WOOD FOOT, FEET	PERF PERM	PERFORATED PERMANENT	TOIL RM TOR	TOILET ROOM TOP OF RAIL (ELEVATION)		311LL17(303		EQUIP BY OWNER
BRKT	BRACKET	FTG	FOOTING	PI	POINT OF INTERSECTION	TOS	TOP OF STEEL (ELEVATION)				UNLESS NOTED OTHERWISE
BRZ BSMT	BRONZE BASEMENT	FURN FUT	FURNITURE FUTURE	PL PLAM	PROPERTY LINE PLASTIC LAMINATE	TOW TRAN	TOP OF WALL (ELEVATION) TRANSOM				
BTWN	BETWEEN		TOTOKE	PLAS	PLASTER	TV	TELEVISION		COMBINED ROOM		LIGHT FIXTURES - SEE
BULLN BUR	BULLETIN BUILT-UP ROOFING	GA	GAUGE	PLBG PLT	PLUMBING PLATE, PLATED	TYP	TYPICAL		ELEVATION SYMBOL	9 ====	
DOIN	BOILT OF REGIME	GALV	GALVANIZED	PLTC	PLASTIC LAMINATE TOILET COMPARTMENTS						ITPES
С	CHANNEL	GCW GDR	GLAZED CURTAIN WALL GUARDRAIL	PLYWD PNL	PLYWOOD PANEL	UC UG	UNDERCABINET UNDERGROUND	1.0.1			
C TO C	CENTER TO CENTER	GEN	GENERAL	PORC	PORCELAIN	UH	UNIT HEATER	1 Ref			FIRE ALARM &
CAB CANTIL	COMPRESSED AIR CABINET	GFCI GFRP	GROUND FAULT CIRCUIT INTERRUPTER GLASS-FIBER REINFORCED PLASTIC	PORT POS	PORTABLE POSITION	UN UNO	UNLESS NOTED UNLESS NOTED OTHERWISE	(A-201)	ROOM	Sx □	COMMUNICATION - SEE ELEC SYMBOL LIST
СВ	CANTILEVER	Gl	GALVANZIED IRON	PP	PANEL POINT	UR	URINAL	7.201)	ELEVATION SYMBOL		FOR TYPES
CEM CER	CATHETERIZE, CATHETER, CATHETERIZATION CATCH BASIN	GL GR	GLASS, GLAZING GRADE	PR PREFAB	PAIR PREFABRICATED						
CF/CI	CEMENT	GR BM	GRADE BEAM	PREP	PREPARATION	VAC	VACUUM		REVISION CLOUD		HVAC & FIRE
CF/OI CFMF	CERAMIC CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	GRAD GRL	GRADIENT GRILLE	PROP PRTN	PROPERTY PARTITION	VENT VERT	VENTILATING, VENTILATION VERTICAL				PROTECTION - SEE MECH SYMBOL LIST
СН	CONTRACTOR FURNSIHED / OWNER INSTALLED	GRTG	GRATING	PSF	POUNDS PER SQUARE FOOT	VEST	VESTIBULE				FOR TYPES
CHKD CI	COLD-FORMED METAL FRAMING CHECKERED	GYP	GYPSUM	PSI PT	POUNDS PER SQUARE INCH PAINT	VIF VOL	VERIFY IN FIELD VOLUME				
CIR	CAST IRON			PVC	POLYVINYL CHLORIDE	VWC	VINYL WALL COVERING				
CJ Cl	CIRCLE, CIRCULAR, CIRCULATION CONTROL JOINT	H HB	HIGH HOSE BIBB	PVG	PAVING					(AQI)	CONSTRUCTION NOTE; KEYNOTE
CLG	CENTERLINE	HD	HEAVY DUTY			W_X_	WIDE FLANGE SHAPES				KETTOTE
CLIN CLO	CEILING CLOSET	HDW HEX	HARDWARE HEXAGON	QT	QUARRY TILE	W W/	WIDE, WIDTH WITH			1	
CLR	CLEAR	HM	HOLLOW METAL		2.200	W/O	WITHOUT				
CMU CO	CONCRETE MASONRY UNIT CLEANOUT	HNDRL HORIZ	HANDRAIL HORIZONTAL, HORIZONTALLY	R R	RADIUS RISER	W/W WC	WALL TO WALL WATER CLOSET	DETAIL	\		
CO2	CARBON DIOXIDE	HPT	HIGH POINT	RC	ROOF CONDUCTOR	WD	WOOD	DETAIL	NUMBER		
COL COMPO	COLUMN COMPOSTION	HR HSKPG	HOUR HOUSEKEEPING	RCPTR RCVG	RECEPTOR RECEIVING	WF WG	WASH FOUNTAIN WALL GUARD	DETAIL	TITLE -		
CONC	CONCRETE	HSS	HOLLOW STRUCTURAL SECTIONS	REC	RECESS, RECESSED	WH	WALL HYDRANT	- WHEN	PRESENT, TITLE IDENTIFIE INDICATED ARE FOR CO		
CONF CONN	CONFERENCE CONNECTION	HT HTG	HEIGHT HEATING	REF REF	REFERENCE REFRIGERATOR	WI WO	WROUGHT IRON WINDOW OPENING	1 /	SARILY IDENTIFY ALL LOC		
CONSTR	CONSTRUCTION	HTR	HEATER	REG	REGISTER	WP	WORK POINT				
CONSTR JT CONT	CONSTRUCTION JOINT CONTINUATION, CONTINUE, CONTINUOUS	HVAC HW	HEATING, VENTILATION & AIR CONDITIONING HOT WATER	REINF REQD	REINFORCE, REINFORCED, REINFORCING REQUIRED	WPFG WR	WATERPROOFING WATER RESISTANT	TYPICAL EXF	PANSION ASSEMBLY		
CONTR COORD	CONTRACTOR COORDINATE	HYD	HYDRANT	RESIL REV	RESILIENT REVISION	WS WT	WATERSTOP WEIGHT	(1)			
CORR	CORRIDOR			RFG	ROOFING	WT	WT-SHAPE MADE FROM W-SHAPE STEEL MEMBER	1/8" = 1'-0"			
CPS CPT	CARPET (SHEET) CARPET, CARPET TILE	IBC ID	INTERNATIONAL BUILDING CODE INSIDE DIAMETER, INSIDE DIMENSION	RFO RH	ROOF OPENING RIGHT HAND	WTG WTHPRF	WAITING WEATHERPROOF	A-204, A-205 ▲	DE DE	TAIL SCALE	
CPW	CARPET (WALL BASE)	IMWP	INSULATED METAL WALL PANEL	RHR	RIGHT HAND REVERSE	WWR	WEATHER ROOF WELDED WIRE REINFORCEMENT	Ţ			
CRCMF CRIT	CIRCUMFERENCE CRITICAL	IN. INCL	INCH, INCHES INCLUDED, INCLUDING, INCLUSIVE	RM RND	ROOM ROUND				REFERENCE - PRESENT, REFERENCE IN	DICATION IDENTIFI	ES SHFFTS
CRS	COURSE, COURSES,	INFO	INFORMATION	RO	ROUGH OPENING	YD	YARD	WHERI	E THE DETAIL OCCURS		
CT CTB	CERAMIC TILE CERAMIC TILE BASE	INSUL INV	INSULATION, INSULATED INVERT	RS RSF	ROOF SUMP RESILIENT SHEET FLOORING				ENCES INDICATED ARE F T NECESSARILY INCLUDE		
CTR	CENTER, CENTRAL	INV EL	INVERT ELEVATION	RTF	RESILIENT TILE FLOORING				OCCURS		= ···•
CTRD CTRL	CENTERED CONTROL			rtng rtu	RETAINING ROOF TOP UNIT						
CU	CUBIC	JC	JANITOR'S CLOSET	RVS	REVERSE				(
CUH CW	CABINET UNIT HEATER COLD WATER	JT JB	JOINT JUNCTION BOX					BRICK		ALL ME	
-										ELEVA	II O I N
DA	DATA OUTLET	KIT	KITCHEN						<i>011111</i>	////	
dB	DECIBEL	KP	KICKPLATE			Ge	eneral Notes:	BLOC	CK (CMU)	STEEL	JI SCALE
DBL ACT DR DEG	DOUBLE ACTING DOOR DEGREE	KS	KEY SWITCH			<u></u>					ALL SCALE GE SCALE
DEMO	DEMOLISH, DEMOLITION					1.	DIMENSIONS - TAKE FIELD MEASUREMENTS TO		_		
DEPT DET	DEPARTMENT DETAIL	L LAM	ANGLE LAMINATED				VERIFY EXISTING CONDITIONS.RECEIVE CERTIFIED OR ACCEPTED EQUIPMENT DWGS PRIOR TO	CON	CRETE ///	ALUMI	
DF	DRINKNG FOUNTAIN	LAV	LAVATORY				PROCEEDING W/ AFFECTED WORK.REVIEW			//1. LARC	GE SCALE
DIA DIAG	DIAMETER DIAGONAL	LBS LG	POUNDS LONG				DIMENSIONS SHOWN ON CONTRACT DRAWINGS, SHOP DRAWINGS & SUBMITTALS. REPORT				
DIFF	DIFFUSER	LH	LEFT HAND				INCONSISTENCIES TO A/E AND RECEIVE	PREC.	AST,) BLOCKING
DIM DIST	DIMENSION DISTANCE	LHR LIN	LEFT HAND REVERSE LINEAR				CLARIFICATION PRIOR TO PROCEEDING. VERIFY SIZES OF OPENINGS, CURBS, BASES, RECESSES,		TER OR	1. CON	ntinuous Continuous
DL	DEAD LOAD	LKR	LOCKER				ANCHOR BOLT SIZES & LOCATIONS.	SAINL	•	Z. DISC	
	DAMPPROOFING DOWN	LLH LLV	LONG LEG HORIZONTAL LONG LEG VERTICAL			2.	DIMENSIONS FOR MASONRY CONSTRUCTION ARE NOMINAL & DO NOT INCLUDE SURFACE FINISHES.	EART	H OR FILL	EIVIIOLII	ED WOOD
DMPF DN	I DOWN		LOW POINT			3.	LOCATE STL FRAMES A MIN OF 4" OFF CORNER TO	EARTH		LINI9HI	LD 11 ○○□
	DOOR OPENING	LPT						•			
DN	DOOR OPENING DOOR	LT	LIGHT			A	BACK OF FRAME UNLESS OTHERWISE INDICATED. SEQUENCING OF CONSTRUCTION SHALL BE				
DN DO DR DS DT	DOOR OPENING DOOR DOWNSPOUT DRAIN TILE	LT LT WT LTG	LIGHT LIGHTWEIGHT LIGHTING			4.	SEQUENCING OF CONSTRUCTION SHALL BE COORDINATED WITH OWNER'S EQUIPMENT	GRAN	/EL		NSULATION L RIGID
DN	DOOR OPENING DOOR DOWNSPOUT	LT LT WT	LIGHT LIGHTWEIGHT			4.	SEQUENCING OF CONSTRUCTION SHALL BE		/EL ALL SCALE RGE SCALE	1 2	NSULATION 1. RIGID 2. LOOSE OR BATT 3. FOAMED-IN-PLACE

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Client:

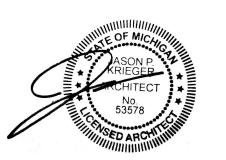
Verus Development Group

Project:

Project Name 19876 Mack Ave Grosse Pointe Woods MI

Issued		Ву
8/11/2022	Permits	
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Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Architectural
Abbreviations &
Symbols

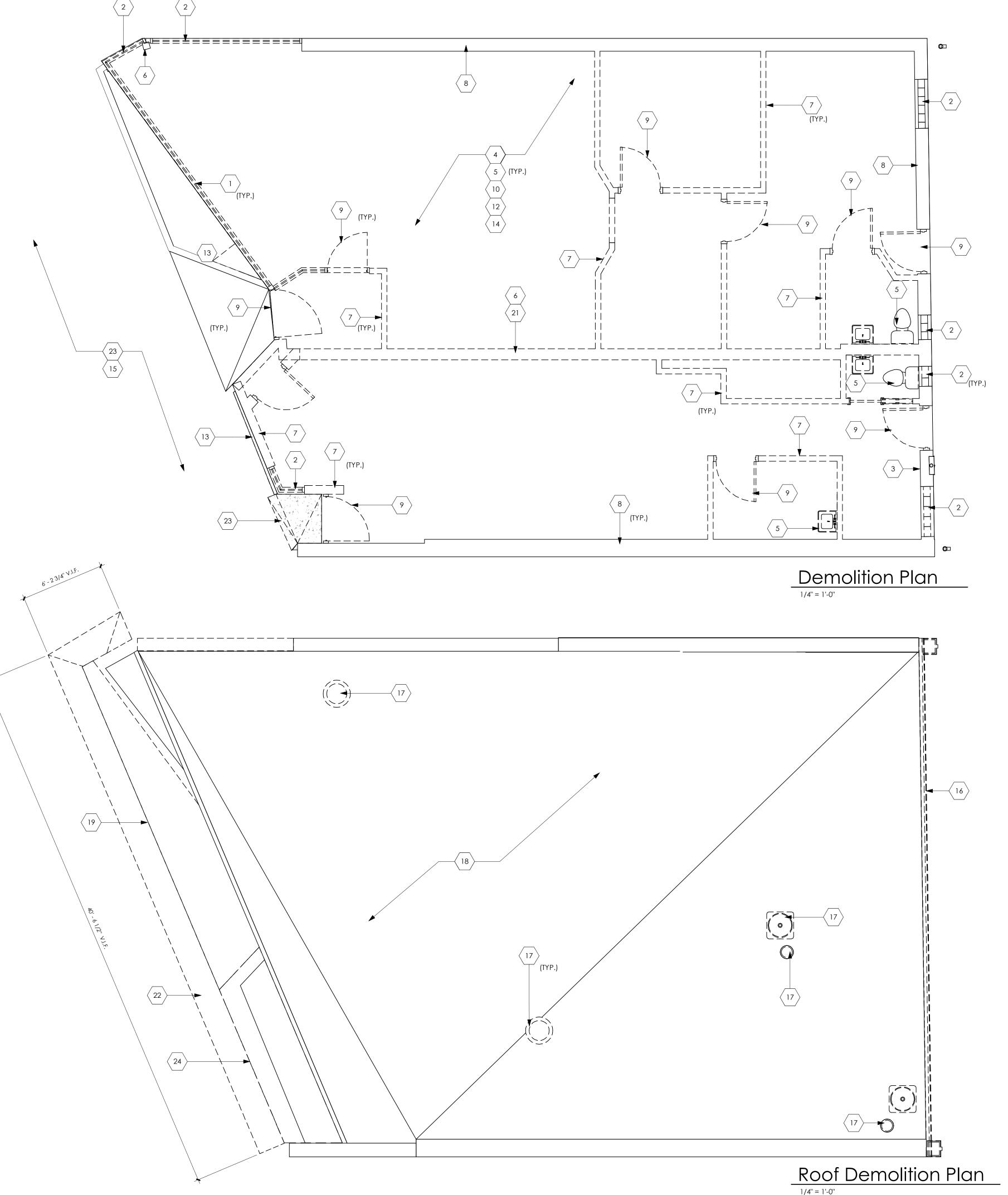
Project Number:

22-099

Scale: 12" = 1'-0"

Sheet Number:

A.001



DEMOLITION SCOPE NOTES:

- ANY STRUCTURAL MODIFICATIONS ADDITIONS OR REWORK WILL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED WITHIN THE STATE OF MICHIGAN. SUCH WORK WILL BE PART OF THE BUILDING PERMIT PROCESS.
- NEIGHBORING TENANTS IS UNDER SAME OWNERSHIP/MANAGEMENT AS PROPERTY DESIGNATED FOR DEMOLITION, HOWEVER NO DEMOLITION WILL BE PERMITTED THAT WILL HINDER ACCESS OR UTILITY SERVICES TO SAID TENANTS. IF SUCH AN INCIDENT IS TO OCCURE, DEMOLITION WILL CEASE & THE INCIDENT SHALL BE RECTIFIED IMMEDIATLY.

DEMOLITION GENERAL NOTES:

- THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING SCANS. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE DRAWINGS IN COMPARISON TO EXISTING FIELD CONDITIONS AND THEN IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS. CONTRACTOR IS TO CONDUCT A WALK-THROUGH OF THE ENTIRE BUILDING PRIOR TO DEMOLITION TO GAIN AN UNDERSTANDING OF THE COMPLETE SCOPE OF DEMOLITION
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DEMOLITION OR NEW CONSTRUCTION WORK (AS INDICATED IN THE CONSTRUCTION DOCUMENTS) THAT CANNOT BE PERFORMED 10. DUE TO EXISTING FIELD CONDITIONS
- CONTRACTOR IS RESPONSIBLE TO INFORM THE ARCHITECT AND/OR ENGINEER OF ANY STRUCTURAL DAMAGE REVEALED DURING THE DEMOLITION PROCESS THAT COULD NOT BE SEEN DURING INITIAL SITE VISIT BY THE ARCHITECT AND/OR ENGINEER AND MAY NOT BE INCLUDED IN THE CONSTRUCTION DOCUMENTS FOR NEW WORK/DEMOLITION WORK.
- IF ANY EXISTING FIREPROOFING AND / OR RATED ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO CONFORM TO THE ORIGINAL FIRE PROTECTION REQUIREMENTS. THE INTEGRITY OF EXISTING RATED FLOOR, WALL, BARRIER, AND ROOF ASSEMBLIES (WHICH AREA SUPPOSED TO REMAIN) SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION (NOTE: AS APPLICABLE, CONTACT ARCHITECT TO VERIFY TESTED ASSEMBLIES TO BE USED FOR REPAIRS)
- REMOVE EXIST. CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL SHALL INCLUDE MECHANICAL, PLUMBING, ELECTRICAL, COMMUNICATIONS AND SECURITY SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CABINETRY, CASEWORK, WINDOWS, FRAMES, FINISHES, FIXTURES AND THEIR ATTACHMENTS AS REQUIRED. AFTER REMOVAL, REPAIR HOLES IN EXISTING-TO-REMAIN FLOORS, WALLS, BARRIERS AND ROOFS TO COMPLY WITH ORIGINAL FIRE, SMOKE AND SOUND ASSEMBLIES, FIRE PROTECTION REQUIREMENTS AND STRUCTURAL INTEGRITY. PREPARE SURFACES TO RECIEVE NEW FINISH (WHERE NEW FINISH IS CALLED FOR ON AN EXISTING SURFACE, REMOVE THE EXISTING FINISH AND PREPARE EXISTING SURFACE TO RECIEVE NEW FINISH).
- ANY NECESSARY ELECTRICAL AND PLUMBING DEMOLITION TO BE COORDINATED WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS.
- FOR EXTENT AND LOCATIONS FOR THE CHANNELING OF EXISTING FLOOR SLABS, REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, COMMUNICATIONS AND SECURITY DRAWINGS. IF EXISTING PIPING OR CONDUIT (OTHER THAN THE DESIRED CONNECTION) IS ENCOUNTERED WHILE CHANNELING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT (PRIOR TO CONTINUING WITH ANY WORK)
- AT ALL WALLS/PARTITIONS/BARRIERS, FLOORS AND ROOFS WHICH ENCLOSE OR TOUCH SPACES WHERE WORK IS BEING PERFORMED AS A PART OF THIS PROJECT, THE CONTRACTOR SHALL VERIFY THAT THIS EXISTING CONSTRUCTION (INCLUDING DAMPERS, DUCT PENETRATIONS, DOORS, WINDOWS, FRAMES, ETC.) MEETS THE FIRE, SMOKE AND SOUND ASSEMBLY RATINGS DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL ALSO MAKE ANY REPAIRS AND/OR MODIFICATIONS NECESSARY TO BRING THE EXISTING CONSTRUCTION (INCLUDING DAMPERS, DUCT PENETRATIONS, DOORS, WINDOWS, FRAMES, ETC.) UP TO THE PROPER INDICATED FIRE, SMOKE AND SOUND ASSEMBLY RATINGS. DOORS, WINDOWS AND FRAMES WHICH DO NOT MEET THE REQUIREMENTS OF THE DESIGNATED WALL/PARTITION/BARRIER ASSEMBLIES (INCLUDING PROPER LABELS) SHALL BE REPLACED. THE GENERAL CONTRACTOR SHALL DESIGNATE AN ALLOWANCE FOR THIS WORK

- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL **AUTHORITIES HAVING JURISDICTION (AHJ)**
- THE CONTRACTOR SHALL NOT CUT EXISTING OR NEW STRUCTURAL WORK IN ANY MANNER THAT MAY RESULT IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED IN ADVANCE FROM THE ARCHITECT AND STRUCTURAL ENGINEER
- WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ANY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT IN WRITING. NOTE: REMOVAL, DISPOSAL AND REPLACEMENT OF THE HAZARDOUS MATERIAL IS THE SOLE RESPONSIBILITY OF THE OWNER, AND SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS
- THE CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING-TO-REMAIN MATERIALS AND FINISHES (CEILING GRID, CEILING TILE, GYPSUM BOARD, FINISHES, DOORS, WINDOWS, FRAMES, WALL PROTECTION, ETC.) WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION
- CONTRACTOR IS TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION
- LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS
- THE OWNER HAS FIRST SALVAGABLE RIGHTS TO ALL ITEMS AND EQUIPMENT THAT ARE BEING DEMOLISHED. THE DEMOLITION CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH ITEMS THEY WISH TO KEEP PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. THESE SALVAGED ITEMS ARE TO BE REMOVED IN GOOD CONDITION AND TURNED OVER TO THE
- INSTALL TEMPORARY LIGHTING AS REQUIRED FOR WORK.
- THE CONTRACTOR SHALL PROVIDE ALL STRUCTURAL SHORING, TEMPORARY SUPPORTS, AND BRACING REQUIRED FOR THE SAFE DEMOLITION AND ERECTION OF ARCHITECTURAL AND STRUCTURAL COMPONENTS. ALL SHORING, BRACING, AND TEMPORARY SUPPORTS ARE THE CONTRACTORS RESPONSIBILITY AND MUST COMPLY WITH ALL APPLICABLE SAFETY CODES, RULES, REGULATIONS, AND GUIDELINES.
- PATCH/REPAIR & TUCKPOINT ALL EXIST. MASONRY TO REAMIN. CLEAN/SCRAPE EXIST. PAINT FOR NEW FINISHES.
- ALL ROOF REPAIRS ARE TO BE PERFORMED BY A QUALIFIED ROOFING CONTRACTOR (APPROVED BY THE OWNER) AND/OR VERIFY ROOFING MANUFACTURERS WARRANTIES PRIOR TO ANY WORK. G.C. IS TO COORDINATE WORK AS REQUIRED. FLASH AND SEAL ALL ROOF PENETRATIONS TO MAINTAIN ROOF WARRANTY
- ELECTRICAL METER, GAS METER AND WATER METER TO REMAIN

DEMOLITION KEYED NOTES:

1. DESIGN INTENT IS FOR EXISTING GLAZING TO BE

	REMOVED AND REPLACED WITH NEW STOREFRONT SYSTEM V.I.F. AS NEEDED FOR EXISTING ROUGH		PLANTERS AN
	OPENING SIZE AND LOCATION (TYP.)	14.	EXISTING TILE
2.	EXISTING GLAZING TO BE REMOVED AND REPLACED WITH NEW WALL CONFIGURATION - CMU INFIL. OF BRICK (REFER TO ELEVATIONS)	15.	REMOVE EXIS
3.	EXIST. ELECTRICAL PANELS TO REMAIN. G.C. & ELECTRICIAN TO PREP FOR TENANT	16.	EXISTING GU' AND REPLAC ADJACENT M
4.	REMOVE EXIST. EQUIPMENT & ALL ASSOCIATED MEP ELEMENTS.	17.	REMOVE EXIS
5.	PLUMBING FIXTURES TO BE REMOVED. CAP ALL PLUMBING LINES - DEMO PLUMBING BACK TO WALL, FLOOR, AND/OR CLG. PREP OF FOR FUTURE TIE-IN		TO PREVENT BUILDNG. PA WHERE DEMO
6.	EXISTING COLUMNS TO REMAIN. VERIFY LOCATION IN FIELD.	18.	REMOVE EXIS REPAIR AS RE ROOFING
7.	EXISTING WALL TO BE DEMOLISHED. PATCH AND REPAIR WHERE DEMO HAS OCCURED. REMOVE ELECTRICAL AND PLUMBING WITHIN WALL. PREP FOR NEW WALL OR GLAZING CONFIGURATION	19.	REMOVE EXIS TO SUBROOF SEAM ROOFI
8.	EXISTING INTERIOR PERIMETER WALLCOVERING AND GYPSUM TO BE REMOVED. PREP. FOR NEW FINISH.	20.	NOT USED
	REMOVE ANY ASSOCIATED ELECTRICAL WITHIN WALL (TYP.)	21.	WALL IS LIKLE DETERMINED EXPOSED, NO
9.	EXIST. DOOR & HARDWARE TO BE REMOVED. PATCH AND REPAIR WHERE DEMO HAS OCCURED - PREP. AREA FOR CMU INFIL.		PROPER SHO WALL DEMO

REMOVE EXIST. PLANTERS & PREP FOR NEW CMU ND LANDSCAPING (TYP.)

- REMOVE EXISTING CEILING & ASSOCIATED LIGHTING, HVAC, ETC. THROUGHOUT (NOT SHOWN
- REMOVE EXISTING MILLWORK, P.O.S. & ASSOCIATED CASEWORK

NOT USED

- E & CARPETING TO BE REMOVED UT SPACE. PREP. FOR NEW FINISH
- ST. PLANTERS & TREES AS REQUIRED FOR NEW
- ITTER AND DOWNSPOUTS TO BE REMOVED CED AS NEEDED, PAINTED TO MATCH MATERIAL (TYP)
- IST ROOF TOP EQUIPMENT & PREP AREA FOR STRUCTION. G.C. TO PROVIDE TEMP. COVERS ANY PRECIPITATION FROM ENTERING THE ATCH AND REPAIR WITH LIKE MATERIALS O HAS OCCURED (TYP)
- STING ROOFING. INSPECT THE SUBSTRATE & EQUIRED. INSTALL NEW 60 MIL EPDM
- IST. SHINGLE ROOFING AND SOFFIT DOWN - PREP AREA FOR THE CONST. OF STANDING ING AND SOFFIT
- EY STRUCTURAL BUT COULD NOT BE) AT THE TIME OF INSPECTION. ONCE OTIFY ARCHITECT. G.C. IS TO BUDGET FOR DRING OF THE EXISTING STRUCTURE FOR LITION
- 22. DEMOLISH EXISTING AWNING
 - REMOVE EXIST SIDEWALK PREP. AREA FOR NEW POUR
- REMOVE PORTION OF MANSARD ROOF PREP FOR NEW PARAPET AND ROOF CONSTRUCTION
- 22-099 Scale:

Sheet Number:



Client: Verus Development Group

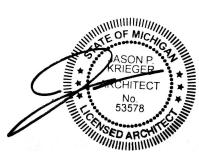
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KRIEGER KLATT

Project: Project Name 19876 Mack Ave

Grosse Pointe Woods MI

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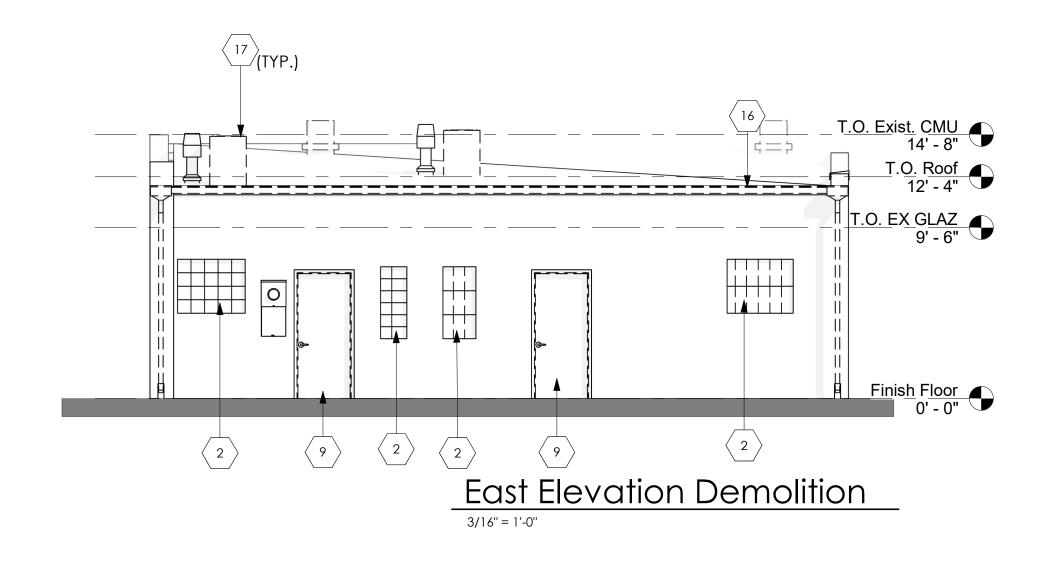
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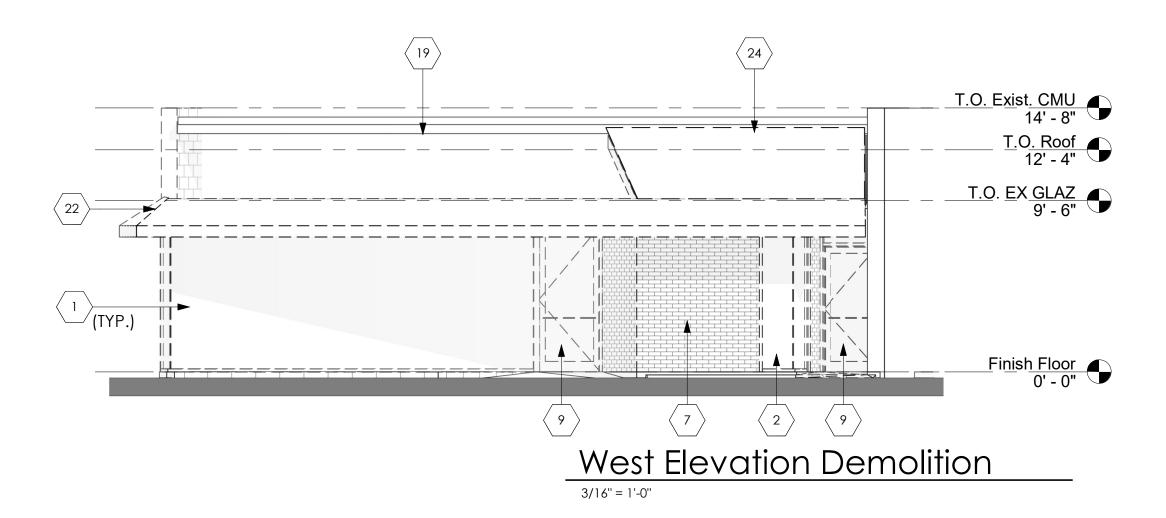
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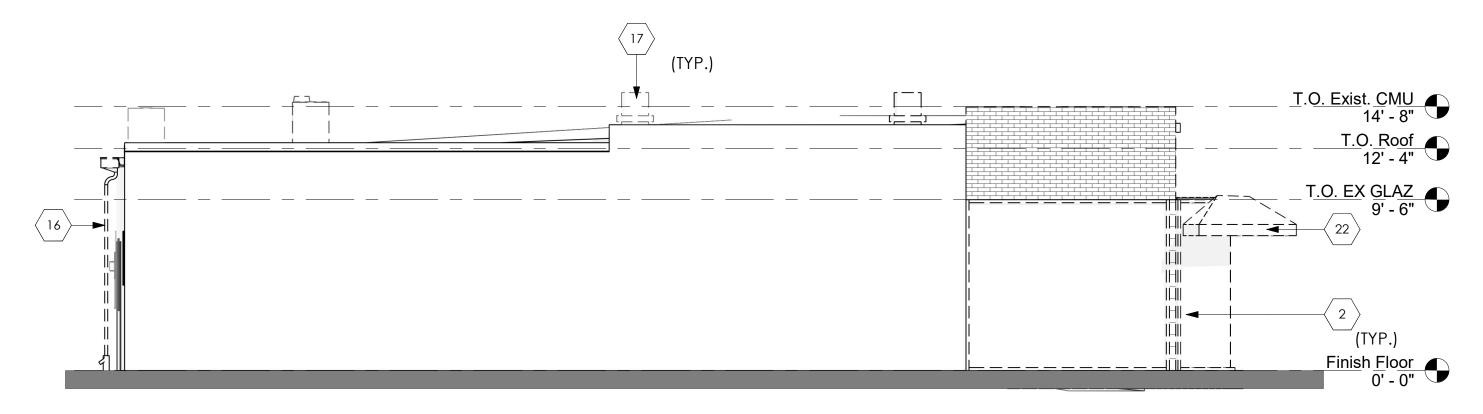
Plan

Project Number:

1/4" = 1'-0"







North Elevation Demolition

3/16" = 1'-0"

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- 6. ANY NECESSARY ELECTRICAL AND PLUMBING DEMOLITION TO BE COORDINATED WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS.
- FOR EXTENT AND LOCATIONS FOR THE CHANNELING OF EXISTING FLOOR SLABS, REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, COMMUNICATIONS AND SECURITY DRAWINGS. IF EXISTING PIPING OR CONDUIT (OTHER THAN THE DESIRED CONNECTION) IS ENCOUNTERED WHILE CHANNELING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT (PRIOR TO CONTINUING WITH ANY WORK)
- AT ALL WALLS/PARTITIONS/BARRIERS, FLOORS AND ROOFS WHICH ENCLOSE OR TOUCH SPACES WHERE WORK IS BEING PERFORMED AS A PART OF THIS PROJECT, THE CONTRACTOR SHALL VERIFY THAT THIS EXISTING CONSTRUCTION (INCLUDING DAMPERS, DUCT PENETRATIONS, DOORS, WINDOWS, FRAMES, ETC.) MEETS THE FIRE, SMOKE AND SOUND ASSEMBLY RATINGS DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL ALSO MAKE ANY REPAIRS AND/OR MODIFICATIONS NECESSARY TO BRING THE EXISTING CONSTRUCTION (INCLUDING DAMPERS, DUCT PENETRATIONS, DOORS, WINDOWS, FRAMES, ETC.) UP TO THE PROPER INDICATED FIRE, SMOKE AND SOUND ASSEMBLY RATINGS. DOORS, WINDOWS AND FRAMES WHICH DO NOT MEET THE REQUIREMENTS OF THE DESIGNATED WALL/PARTITION/BARRIER ASSEMBLIES (INCLUDING PROPER LABELS) SHALL BE REPLACED. THE GENERAL CONTRACTOR SHALL DESIGNATE AN ALLOWANCE FOR THIS WORK

B. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION (AHJ)

9. THE CONTRACTOR SHALL NOT CUT EXISTING OR NEW STRUCTURAL WORK IN ANY MANNER THAT MAY RESULT IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED IN ADVANCE FROM THE ARCHITECT AND STRUCTURAL ENGINEER

O. WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ANY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT IN WRITING. NOTE: REMOVAL, DISPOSAL AND REPLACEMENT OF THE HAZARDOUS MATERIAL IS THE SOLE RESPONSIBILITY OF THE OWNER, AND SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

THE CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING-TOREMAIN MATERIALS AND FINISHES (CEILING GRID, CEILING TILE,
GYPSUM BOARD, FINISHES, DOORS, WINDOWS, FRAMES, WALL
PROTECTION, ETC.) WHICH ARE DAMAGED DURING DEMOLITION
OR CONSTRUCTION

2. CONTRACTOR IS TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION

3. LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS

14. THE OWNER HAS FIRST SALVAGABLE RIGHTS TO ALL ITEMS AND EQUIPMENT THAT ARE BEING DEMOLISHED. THE DEMOLITION CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH ITEMS THEY WISH TO KEEP PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. THESE SALVAGED ITEMS ARE TO BE REMOVED IN GOOD CONDITION AND TURNED OVER TO THE

INSTALL TEMPORARY LIGHTING AS REQUIRED FOR WORK.

THE CONTRACTOR SHALL PROVIDE ALL STRUCTURAL SHORING, TEMPORARY SUPPORTS, AND BRACING REQUIRED FOR THE SAFE DEMOLITION AND ERECTION OF ARCHITECTURAL AND STRUCTURAL COMPONENTS. ALL SHORING, BRACING, AND TEMPORARY SUPPORTS ARE THE CONTRACTORS RESPONSIBILITY AND MUST COMPLY WITH ALL APPLICABLE SAFETY CODES, RULES, REGULATIONS, AND GUIDELINES.

PATCH/REPAIR & TUCKPOINT ALL EXIST. MASONRY TO REAMIN. CLEAN/SCRAPE EXIST. PAINT FOR NEW FINISHES.

ALL ROOF REPAIRS ARE TO BE PERFORMED BY A
QUALIFIED ROOFING CONTRACTOR (APPROVED BY THE
OWNER) AND/OR VERIFY ROOFING MANUFACTURERS
WARRANTIES PRIOR TO ANY WORK. G.C. IS TO COORDINATE
WORK AS REQUIRED. FLASH AND SEAL ALL ROOF PENETRATIONS
TO MAINTAIN ROOF WARRANTY

ELECTRICAL METER, GAS METER AND WATER METER TO REMAIN

DEMOLITION KEYED NOTES:

1.	DESIGN INTENT IS FOR EXISTING GLAZING TO BE REMOVED AND REPLACED WITH NEW STOREFRONT SYSTEM V.I.F. AS NEEDED FOR EXISTING ROUGH OPENING SIZE AND LOCATION (TYP.)	1
2.	EXISTING GLAZING TO BE REMOVED AND REPLACED WITH NEW WALL CONFIGURATION - CMU INFIL. or BRICK (REFER TO ELEVATIONS)	1
3.	EXIST. ELECTRICAL PANELS TO REMAIN. G.C. & ELECTRICIAN TO PREP FOR TENANT	1
4.	REMOVE EXIST. EQUIPMENT & ALL ASSOCIATED MEP ELEMENTS.	1
5.	PLUMBING FIXTURES TO BE REMOVED. CAP ALL PLUMBING LINES - DEMO PLUMBING BACK TO WALL, FLOOR, AND/OR CLG. PREP OF FOR FUTURE TIE-IN	
6.	EXISTING COLUMNS TO REMAIN. VERIFY LOCATION IN FIELD.	1
7.	EXISTING WALL TO BE DEMOLISHED. PATCH AND REPAIR WHERE DEMO HAS OCCURED. REMOVE ELECTRICAL AND PLUMBING WITHIN WALL. PREP FOR NEW WALL OR GLAZING CONFIGURATION	1
8.	EXISTING INTERIOR PERIMETER WALLCOVERING AND GYPSUM TO BE REMOVED. PREP. FOR NEW FINISH.	2
	REMOVE ANY ASSOCIATED ELECTRICAL WITHIN WALL	2

EXIST. DOOR & HARDWARE TO BE REMOVED. PATCH AND

REPAIR WHERE DEMO HAS OCCURED - PREP. AREA FOR

REMOVE EXISTING CEILING & ASSOCIATED LIGHTING,

REMOVE EXISTING MILLWORK, P.O.S. & ASSOCIATED

HVAC, ETC. THROUGHOUT (NOT SHOWN

CMU INFIL.

NOT USED

CASEWORK

REMOVE EXIST. PLANTERS & PREP FOR NEW CMU PLANTERS AND LANDSCAPING (TYP.)

EXISTING TILE & CARPETING TO BE REMOVED THROUGHOUT SPACE. PREP. FOR NEW FINISH

REMOVE EXIST. PLANTERS & TREES AS REQUIRED FOR NEW STREET SCAPE

EXISTING GUTTER AND DOWNSPOUTS TO BE REMOVED AND REPLACED AS NEEDED, PAINTED TO MATCH ADJACENT MATERIAL (TYP)

REMOVE EXIST ROOF TOP EQUIPMENT & PREP AREA FOR ROOF CONSTRUCTION. G.C. TO PROVIDE TEMP. COVERS TO PREVENT ANY PRECIPITATION FROM ENTERING THE BUILDNG. PATCH AND REPAIR WITH LIKE MATERIALS WHERE DEMO HAS OCCURED (TYP)

REMOVE EXISTING ROOFING. INSPECT THE SUBSTRATE & REPAIR AS REQUIRED. INSTALL NEW 60 MIL EPDM ROOFING

REMOVE EXIST. SHINGLE ROOFING AND SOFFIT DOWN TO SUBROOF - PREP AREA FOR THE CONST. OF STANDING SEAM ROOFING AND SOFFIT

NOT USED

WALL IS LIKLEY STRUCTURAL BUT COULD NOT BE DETERMINED AT THE TIME OF INSPECTION. ONCE EXPOSED, NOTIFY ARCHITECT. G.C. IS TO BUDGET FOR PROPER SHORING OF THE EXISTING STRUCTURE FOR WALL DEMOLITION

DEMOLISH EXISTING AWNING

REMOVE EXIST SIDEWALK - PREP. AREA FOR NEW POUR

REMOVE PORTION OF MANSARD ROOF PREP FOR NEW PARAPET AND ROOF CONSTRUCTION

Section 10, Item A.

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Project:

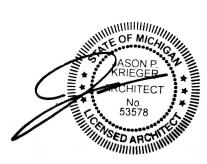
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Project Name 19876 Mack Ave Grosse Pointe Woods MI

Description

8/11/2022	Permits

Seal:



Note:

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North Arrow:

Sheet Title:

Demolition Elevations

Project Number:

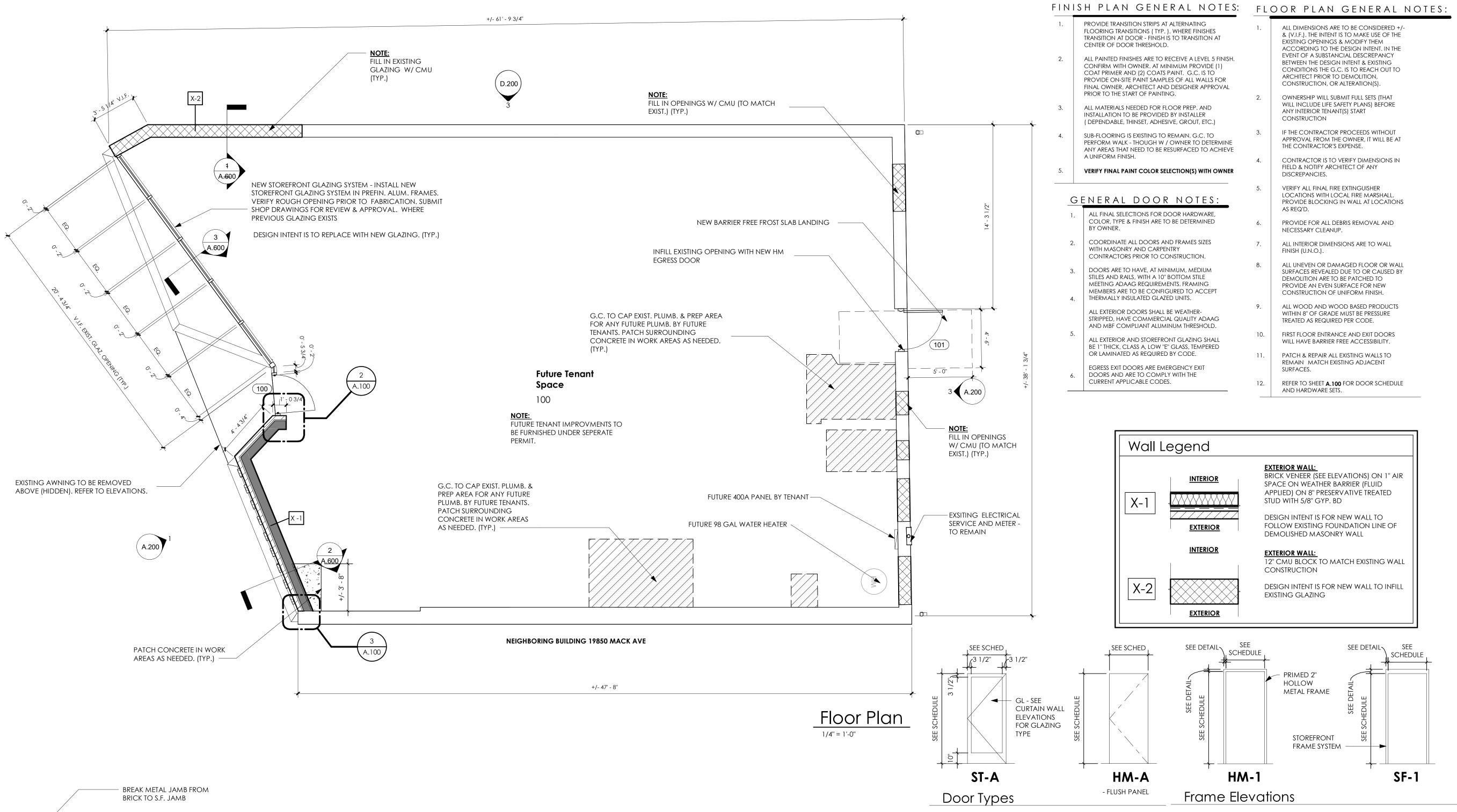
22-099

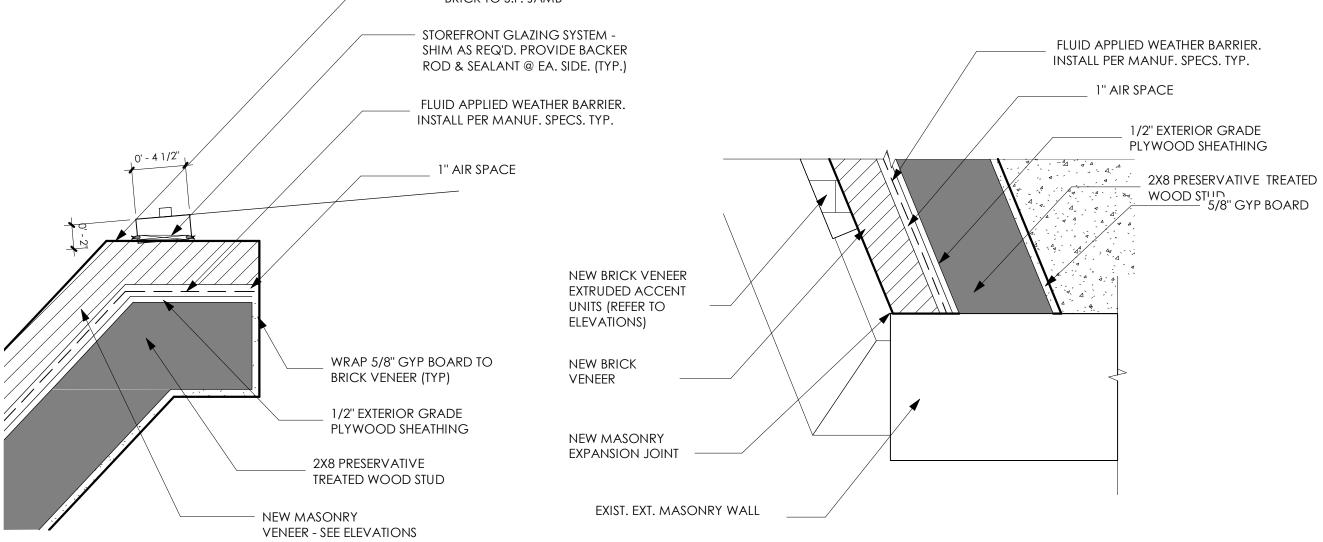
Scale:

As indicated

Sheet Number:

D.200





Plan Detail

A.100 1 1/2" = 1'-0"

² Plan Detail

A.100 1 1/2" = 1'-0"

QTY	DESCRIPTION	CATALOG NUMBER	MANUFACTURER
Hardwo	are Set 2 (Typ. Storefront En	trance Door - Exterior)	
1 EA	CONT. HINGE	661HD UL	ST
1 EA	PANIC HARDWARE	QED212 BF HMS	SH
1 EA	RIM CYLINDER	6EQR6SC	BE
1 EA	90 DEG OFFSET PULL	1191-4J	TR
1 EA	SURFACE CLOSER	QDC115R	SH
1 EA	DOOR SWEEP	200 NA	NA
1 EA	SADDLE THRESHOLD	4251/4-20 MS/LA	NA
1 EA		WEATHERSTRIP BY DOOR/FRAME MANUF.	
Hardwa	are Set 13 (Typ. Exterior Met	al Door - Egress)	
1 EA	CONT. HINGE	661HD UL	ST
		QED111 X QET160 E	SH
1 EA	EXIT HARDWARE	BF BE	ЗП
1 EA 1 EA	EXIT HARDWARE RIM CYLINDER		BE
		BF	
1 EA	RIM CYLINDER	BF 6EQM6	BE
1 EA 1 EA	RIM CYLINDER SURFACE CLOSER	BF 6EQM6 QDC115R KO050 10" X 2" LDW	BE SH
1 EA 1 EA 1 EA	RIM CYLINDER SURFACE CLOSER KICK PLATE	BF 6EQM6 QDC115R KO050 10" X 2" LDW B4E 2525 B HEAD &	BE SH TR

		Doc	or & Ope	ening	Sche	edule								
CATALOG NUMBER	MANUFACTURER	DOOR	HARDWARE					DOOR				FRAME		
nce Door - Exterior)		Door & Opening Schedule Door & Hardware NO. SET WIDTH HEIGHT THICK. TYPE MATERIAL FINISH FIRE RATED TYPE MATERIAL FINISH SF-1 ALUM DRK BRNZ 101 13 3' - 0" 7' - 0" 0' - 1 3/4" HM-A HM P-2 HM-1 HM P-2 Concrete TYPE MARK DESCRIPTION MANUFACTURER SPECIFICATION COMMENTS EX. CONC01 Existing Concrete CONC01 Existing Concrete CONC01 CONCRETE CONCRETE												
661HD UL	ST	100	2	3' - 0''	7' - 0''		ST-A	TEMPERED GLAZING	PRE-FINISH		SF-1	ALUM	DRK BRNZ	
QED212 BF HMS	SH	101	13	3' - 0''	7' - 0''	0' - 1 3/4"	НМ-А	НМ	P-2		HM-1	НМ	P-2	
6EQR6SC	BE				•				•					
1191-4J	TR													
QDC115R	SH													
200 NA	NA													
4251/4-20 MS/LA	NA	Cor	ncrete											
WEATHERSTRIP BY DOOR/FRAME MANUF.		TYPE N	IARK		ON		MANUF	ACTURER	SPECIFICAT	ION	Patch			
Door - Egress)		CONC	01								area	s. Polish concre	ete	
661HD UL	ST													
QED111 X QET160 E	SH													

Ра	int					
TYPE	MARK	DESCRIPTION	MANUFACTURER	SPECIFICATION	COMMENTS	CLASSIFICATION
P-1		(1) Coat Primer w/ (2) Coats Paint	Sherwin Williams	6252 ICE CUBE	Install per manufacturer's sInstall per manufacturer's specificationspecifications	Finish: Flat ASTM D523
P-2		(1) Coat Primer w/ (2) Coats Paint,	Sherwin Williams	6258 Tricorn Black	Install per manufactureInstall per manufacturer's specificationsr's specifications	Finish: Flat ASTM D523

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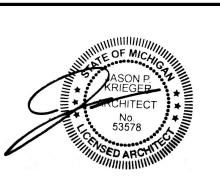
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Project:

Project Name 19876 Mack Ave Grosse Pointe Woods MI

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8/11/2022	Permits	

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Note:

REMARKS

CLASSIFICATION

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North Arrow:

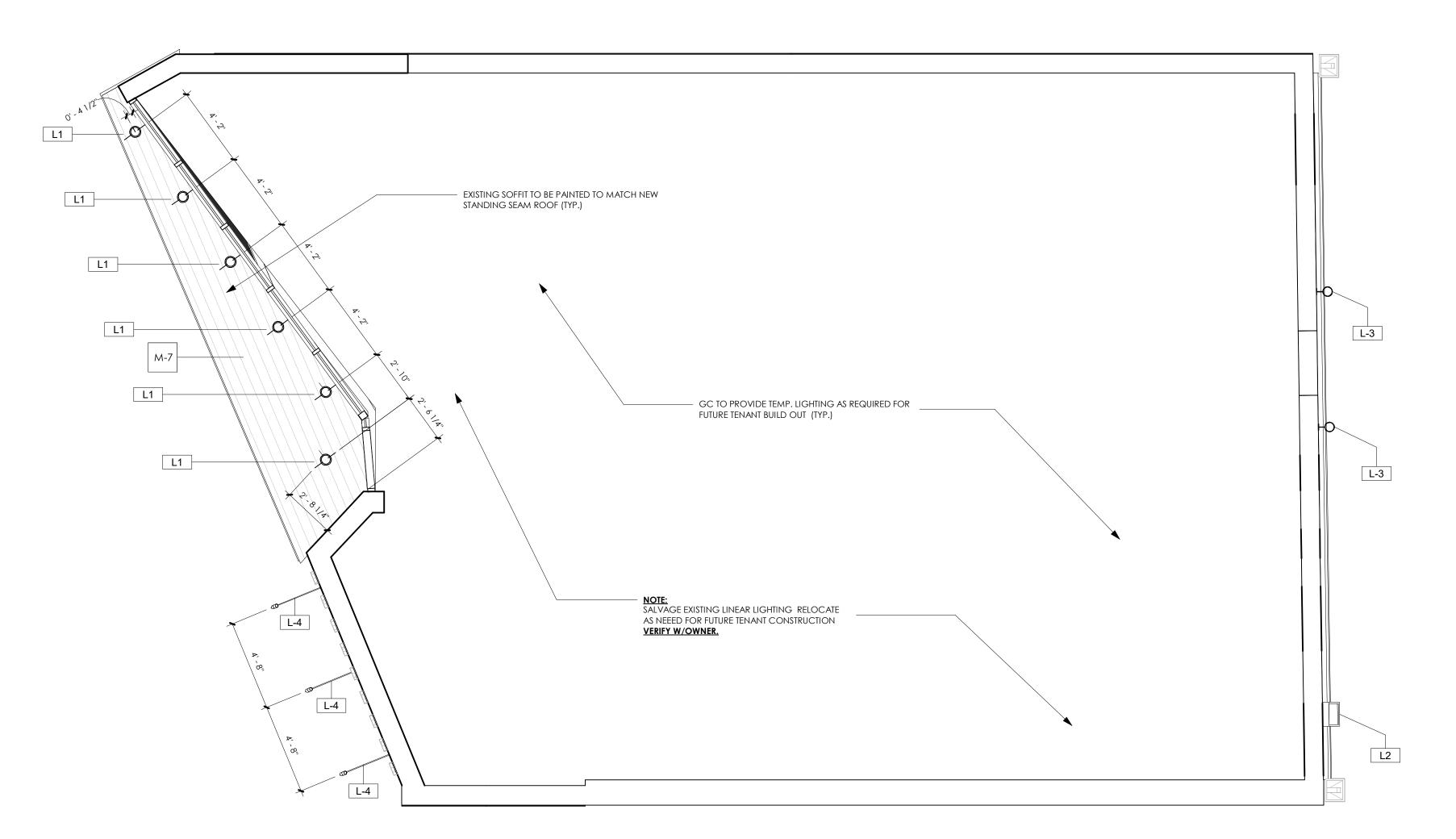


Floor Plan

Project Number:

22-099

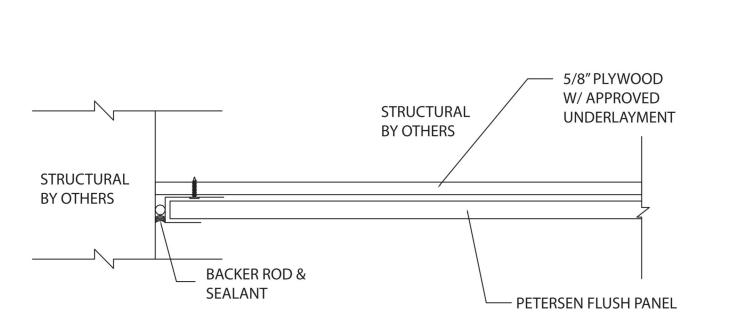
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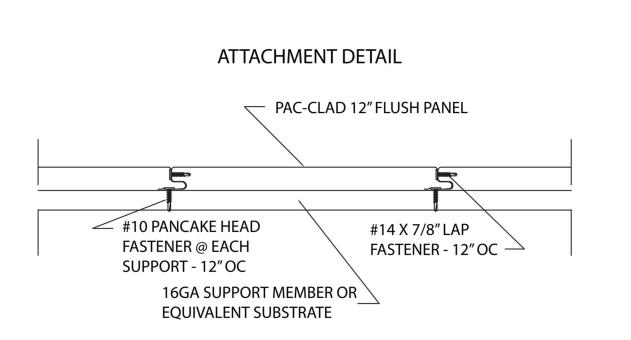
Reflected Ceiling Plan

A.200 1/4" = 1'-0"

A.101 -	Lighting Fixture Schedu	le				
MARK	DESCRIPTION	MANUFACTURER	MODEL	LAMP	FINISH	COMMENT
L1	RECESSED DOWNLIGHT	LITHONIA	LDN6	LED	PRE-FIN. CLEAR AN,	Exterior
L2	WALL PACK	LITHONIA	WPX	LED	BLACK POWDER	Exterior
L-3	WALL MOUNTED EXTERIOR SCONCE FIXTURE	LUMINIS	SY602	LED	BLACK POWDER	Exterior
L-4	GOOSENECK LIGHT FIXTURE	HYDREL	PLACER	LED	BLACK POWDER	Exterior



Typ. Soffit Termination Detail



Typ. Soffit Connection Detail

GENERAL NOTES:

CEILING SYMBOL LEGEND:

LED DOWNLIGHT

EXTERIOR WALL WASH FIXTURE

EXTERIOR WALL PACK

EXTERIOR WALL WASH SCONCE FIXTURE

30# ROOFING FELT

FASTENER

PLYWOOD DECKING

SOFFIT PANEL

Typ. Soffit To Roofing Detail

`─"J" CLOSURE FOR SOFFIT

1 1/2" = 1'-0"

SEE ELECTRICAL DOCUMENTS FOR ALL LIGHT FIXTURE **SPECIFICATIONS**

ROOM FINISH AND INTERIOR MATERIALS TO BE FURNISHED BY

G.C. IS TO PROVIDE ALL UNISTRUT, THREADED ROD, CLAMPS AND OTHER MISC. ITEMS REQUIRED TO SUSPEND ALL CEILING MOUNTED ITEMS.

EXISTING HVAC DUCTING TO BE DEMOLISHED TO SOURCE. FUTURE HVAC SYSTEM IS TO BE DESIGNED BY MECHANICAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AS NEEDED FOR FUTURE TENANT SPACE. CONTRACTOR IS TO PULL REQUIRED

REQUIRED @ EXPOSED CEILING AREAS.

PERMITS AND PROVIDE ANY REQUIRED DOCUMENTS.

AND MECHANICAL DUCT WORK IN A NEAT AND CLEAN

PATCH ANY OPENINGS IN ROOF FRAMING NEEDED FOR NEW ROOF TOP EQUIPMENT.

CONTRACTOR IS TO FIELD VERIFY HEIGHT OF ALL SUSPENDED, WALL MOUNTED LIGHT FIXTURES.

FUTURE TENANT

COORDINATE INSTALLATION OF CEILING SYSTEM WITH MECHANICAL AND ELECTRICAL SYSTEMS. PROVIDE SUPPORT PER MANUFACTURER RECOMMENDATIONS TO SUPPORT FINISHES.

ALL DIMENSIONAL LOCATIONS OR DEVICES SHALL BE TO THE CENTERLINE OF THE DEVICE UNLESS OTHERWISE NOTED.

CLEAN, SCRAPE, PREP. EXIST. CEILING DECK AND JOISTS AS

AT EXPOSED CEILING AREAS, RUN ALL NEW WIRING, CONDUIT

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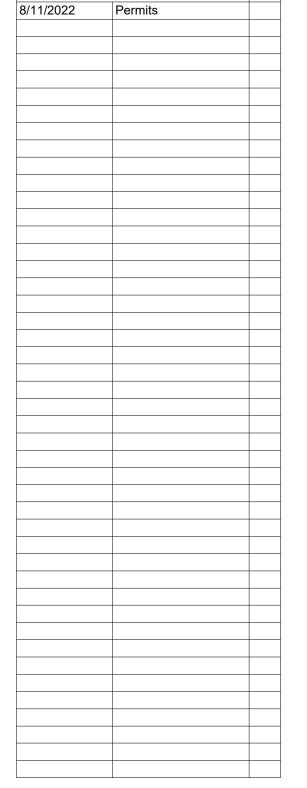
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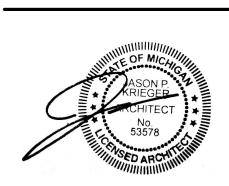
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Description



Seal:



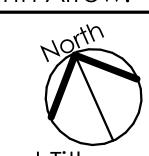
Note:

FLUSH/REVEAL PANEL

PA-305 FASCIA TO SOFFIT FLASHING

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North Arrow:



Sheet Title:

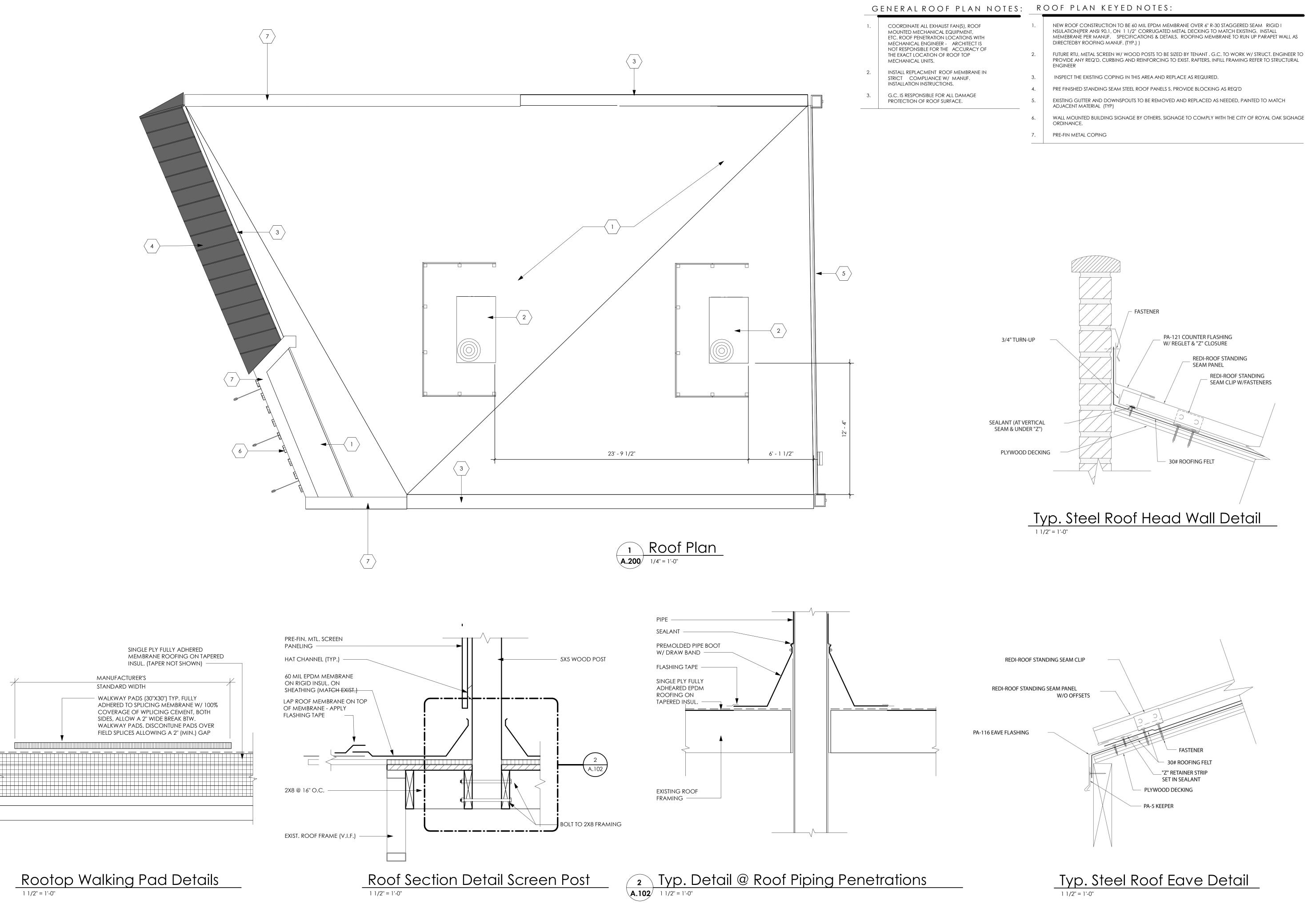
Reflected Ceiling Plan

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22-099

Scale:

As indicated



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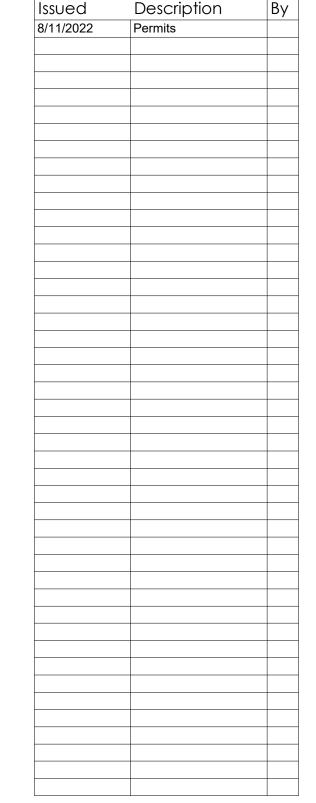
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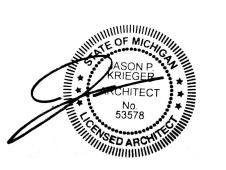
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Note:

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North Arrow:



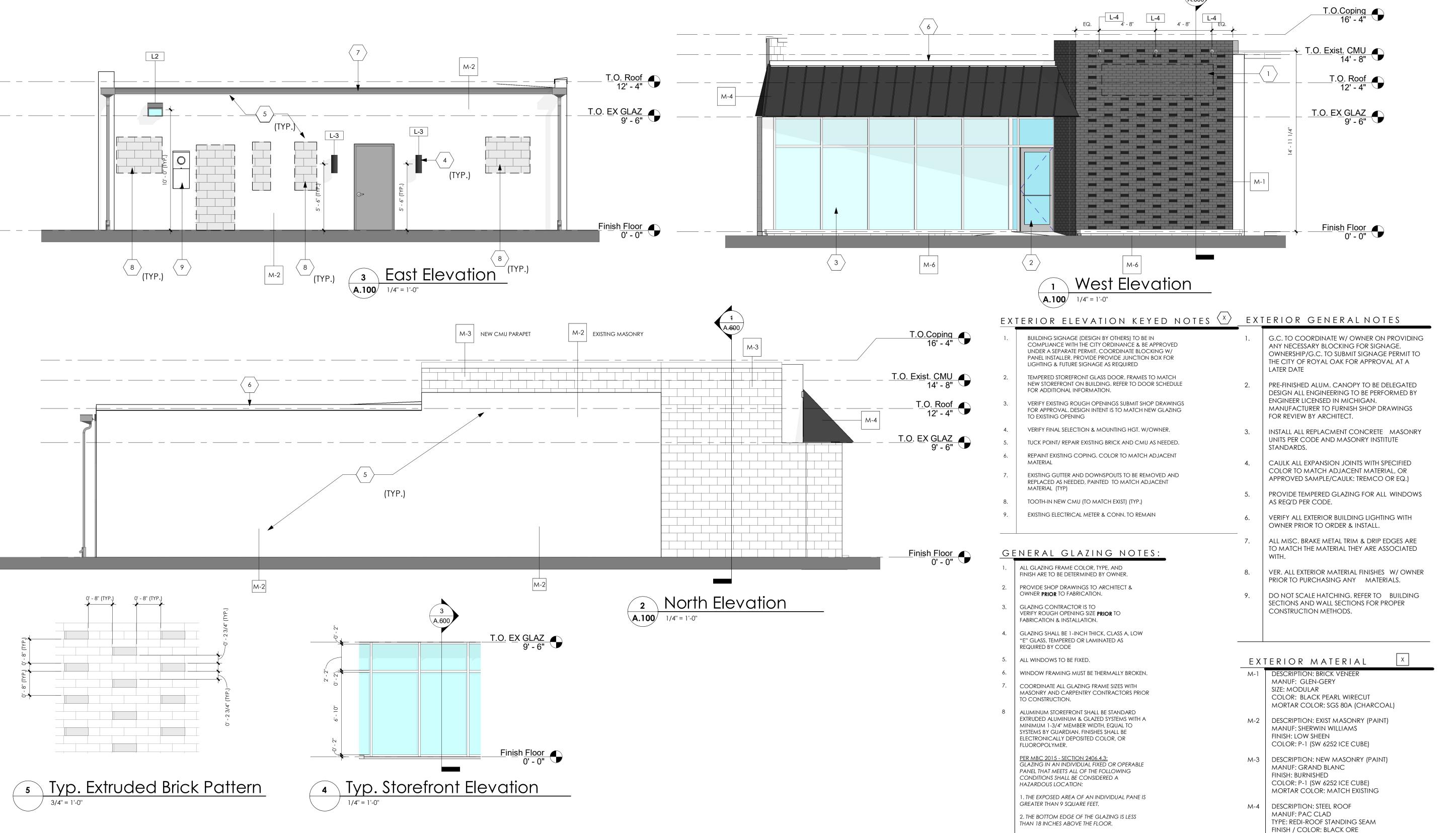
Roof Plan

Project Number:

22-099

Scale:

As indicated



3. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.

4. ONE OR MORE WALKING SURFACE(S) ARE

WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE

GLAZING MATERIAL:

G1 DESCRIPTION: CLEAR GLAZING

MANUF: GUARDIAN GLASS INC.

FINISH/COLOR: DARK BRONZE ANODIZED

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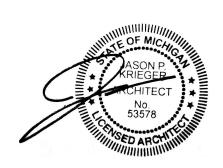
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Issued	Description	Ву
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		_
		_
		-

Seal:



Note:

M-5 DESCRIPTION: BRAKE METAL

NOTE: ROOF COPING

MANUF: GRAND BLANC FINISH: BURNISHED

SIZE: MODULAR (12"X24")

MORTAR COLOR: NATURAL NOTE: LANDSCAPE PLANTER

TYPE: FLUSH SOFFIT SYSTEM

FINISH / COLOR: BLACK ORE

COLOR: WHITE

M-7 DESCRIPTION: STEEL. SOFFIT

MANUF: PAC CLAD

FINISH / COLOR: TO MATCH ADJACENT

M-6 DESCRIPTION: CMU BLOCK W/PRECAST CONCRETE CAP

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in

North Arrow:

Sheet Title:

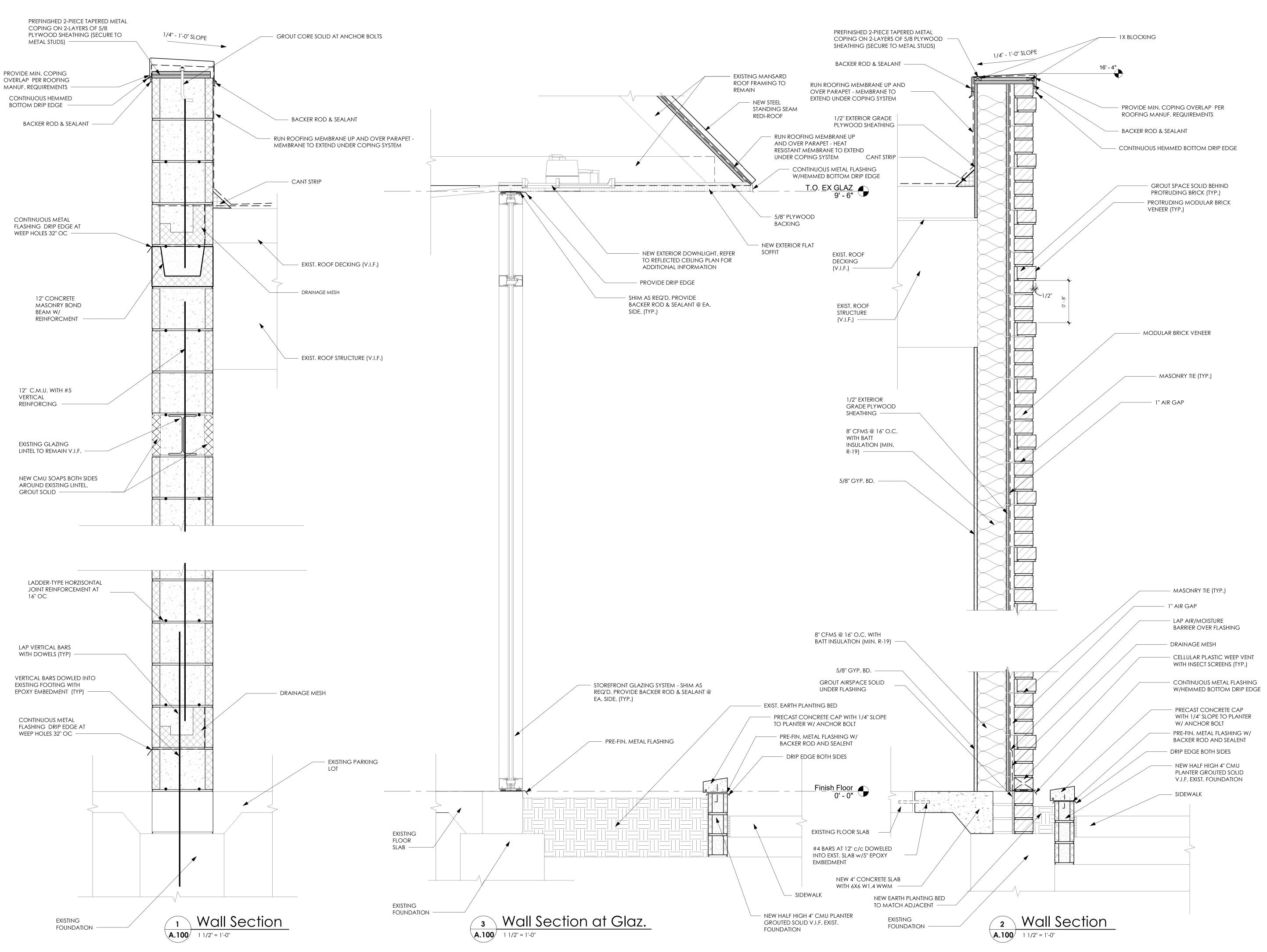
Elevations

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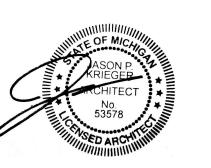
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North Arrow:

Sheet Title:
Wall Sections

Project Number:

22-099

Scale:

Sheet Number:

A.600

DIVISION 01 - GENERAL REQUIREMENTS

SECTION 01 2500 SUBSTITUTION PROCEDURES

PART 1 - GENERAL

1.01 RELATED DOCUMENTS:

1.02 DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND OTHER DIVISION 1 SPECIFICATION SECTIONS, APPLY TO WORK OF THIS SECTION.

1.03 SUBMITTALS

1.04 SUBSTITUTION REQUEST SUBMITTAL: REQUESTS FOR SUBSTITUTION WILL BE CONSIDERED IF PRESENTED TO THE ARCHITECT AT LEAST 10 DAYS IN ADVANCE OF BID DUE DATE.

- A. Identify the product, or the fabrication to be replaced in each request. Include related Specification Section and Drawing numbers. Provide complete documentation showing compliance with the requirements for substitutions, and the following information, as appropriate: 1. Product Data, including Drawings and descriptions of products, fabrication and installation procedures.
- 2. Samples, where applicable or requested.
- 3. A detailed comparison of significant qualities of the proposed substitution with those of the Work specified. Significant qualities may include elements such as size, weight, durability, performance and visual effect.
- 4. Coordination information, including a list of changes or modifications needed to other parts of the Work and to construction performed by the
- Owner and separate Contractors that will become necessary to accommodate the proposed substitution.
- 5. A Statement indicating the substitution's effect on the Contractor's Construction Schedule compared to the schedule without approval of the substitution. Indicate the effect of the proposed substitution on overall Contract Time.
- 6. Cost information, including all related costs under this Contract and excluding Architect's redesign costs, net change, if any, in the Contract
- Sum, and waiving all claims for additional costs related to the substitution which subsequently became apparent.
- 7. Certification by the Contractor that the substitution proposed is appropriate in every significant respect to that required by the Contract Documents, and that it will perform adequately in the application indicated. Include the Contractor's waiver of rights to additional payment or time that may subsequently become necessary because of the failure of the substitution to perform adequately.
- B. Product Presentation: Conduct a presentation at the Architect's office if required by the Architect to prove appropriateness to the specified product.
- C. Architect's Action: Within one (1) week of receipt of Bids, the Architect may request additional information or documentation necessary for evaluation of the request. Within two (2) weeks of receipt of the request, or one (1) week of receipt of the additional information or documentation, which ever is later, the Architect will notify the Contractor of acceptance or rejection of the proposed substitution. If a decision on use of a proposed substitute is not made or obtained within the time allocated, use the product specified by name. If acceptance is made prior to award, it will be included in the Contract Amount. If acceptance is made after Award, it will be in the form of a Change Order.
- GENERAL REQUIREMENTS FOR SUBSTITUTIONS

E. Substitutions During Bidding:

- 1. Substitutions shall be included in the proposal under the following conditions only and shall follow all requirements of "Acceptance of Substitutions."
- a. When the Contractor is unable to obtain competitive prices from more than one of the specified manufacturers.
- b. When the Contractor knows of another product of equal or better quality and performance. When the Contractor has had unsatisfactory experience with one or more of the specified products or has reason to believe that the specified Manufacturer will not provide the necessary guarantees or assume responsibility for performance.

F. Substitutions After Contract:

Substitutions proposed after Award of the contract will only be considered for the following reasons.

- 2. A substantial advantage is offered the Owner, in terms of cost, time, energy conservation or other considerations of merit, after deducting offsetting responsibilities the Owner may be required to bear. Additional responsibilities for the Owner may include additional compensation to the Architect for redesign and evaluation services, increased cost of other construction by the Owner or separate Contractors, and similar

- considerations.
- G. Acceptance of Substitutions:

- 2. In all cases where substitutions are proposed by the Contractor, it shall be the sole responsibility of the Contractor to provide adequate data and samples as required by the Architect to evaluate the substitution.
- 3. The Architect shall not be obliged to justify his reason for rejecting a proposed substitution. 4. In the event that a substitution is accepted conditionally on the Contractor's agreement to assume full responsibility for equality and performance, the Contract shall provide a full value warranty and agree to make good all damages resulting from the failure of the substitute

Substitutions will be considered for any manufacturer except those followed by the words "No Substitutions" in the Specifications.

H. ACCEPTANCE OF MATERIALS AND MANUFACTURERS

Standard Materials:

- Architect's acceptance applies to the Manufacturer only and shall not act to permit any deviation from other requirements of the Specifications. Acceptance will be based on the Manufacturer's specifications at time of issuance of Bidding Documents. Deviations from such specifications shall be considered as a substitution
- 3. Requests for acceptance shall be in tabular form stating Specification paragraph and material selected, except as otherwise provided.
- 4. Shop Drawings shall not indicate any material for which acceptance has not been received, unless accompanied by a separate request for approval. In no case shall Architect's review and return of Shop Drawings constitute and acceptance of either specified or substitute manufacturers or materials.
- J. Materials Involving Supplementary Warranty of Maintenance Contract:
- These materials shall be submitted as a request for acceptance over the signature of a qualified technical representative in the direct employ of the Manufacturer of such other person as the manufacturer may authorize in writing. Request for acceptance shall contain the following
- information. a. Name of project.
- b. Name of Contractor, Subcontractor or other party to whom material is furnished.
- Reference to Specification Section and Article where material is specified and other Contract Documents necessary for identification. Statement of acceptance of documents, conditions, and performance requirements:
- 1) Statement that documents as issued are in accordance with manufacturer's recommendations for use of specified materials, or
- 2) Recommended modification of detail, use, application or for substitution of different product by same manufacturer as being more suitable for the performance requirements of the warranty.
- Statement that detailed installation instructions will be provided.
- Extent of job site technical services, consultants or instructors proposed, if any. Statement that warranty will be provided.
- Special provisions required to keep warranty in force.
- 2. Requests for acceptance may be in the form of a letter including the above items and addressed to the subcontractor responsible for installation
- of the material, or may be according to a sample form of Material Proposal, provided by the Architect. 3. Upon receipt of the manufacturer's proposal, the subcontractor shall add his own statement agreeing to comply with the manufacturer's
- requirements and warranting his own workmanship.
- 4. The Contractor shall submit letter of endorsement of copies of all documents, including letters of comment, to the Architect for approval. In the event that the request for approval recommends a change in the work, modification of detail, or substitution of material, the Contractor shall indicate his concurrence with the change as being within the scope of the Contract or indicate the change in the Contract Sum for making such

change, or state his objections to the change. **END OF SECTION** 01 2500 **DIVISION 02 - EXISTING CONDITIONS**

SECTION 02 4100 DEMOLITION

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Building demolition excluding removal of hazardous materials and toxic substances.
- B. Selective demolition of built site elements.
- C. Abandonment and removal of existing utilities and utility structures.

1.02 RELATED REQUIREMENTS

- A. Section 01 1000 Summary: Limitations on Contractor's use of site and premises.
- B. Section 01 1000 Summary: Description of items to be salvaged or removed for re-use by Contractor. C. Section 01 5000 - Temporary Facilities and Controls: Site fences, security, protective barriers, and waste removal.
- D. Section 01 5713 Temporary Erosion and Sediment Control.
- E. Section 01 6000 Product Requirements: Handling and storage of items removed for salvage and relocation.
- F. Section 01 7000 Execution and Closeout Requirements: Project conditions; protection of bench marks, survey control points, and existing construction to remain; reinstallation of removed products; temporary bracing and shoring.
- G. Section 01 7419 Construction Waste Management and Disposal: Limitations on disposal of removed materials; requirements for recycling.
- H. Section 31 2200 Grading: Topsoil removal.
- I. Section 31 2323 Fill: Fill material for filling holes, pits, and excavations generated as a result of removal operations.
- 1.03 REFERENCE STANDARDS
- A. NFPA 241 Standard for Safeguarding Construction, Alteration, and Demolition Operations 2022. **PART 2 PRODUCTS**

2.01 MATERIALS

A. Fill Material: As specified in the Geotechnical report.

PART 3 EXECUTION

3.01 SCOPE

- A. The Contracntor (Bidder) shall visit the site with the appropriate trades in order to fully understand the scope of work entailed. The contractor will incldue the demolision and/or relocation of all items required to complete the project regardles of what is shown on the drawings.
- B. The intent is to maintain as much of the existing public Right Of Way construction as possible.
- C. Remove the entire building and dispose of waste per code.
- D. Remove paving and curbs as required to accomplish new work.

- E. Break up paving within site boundaries to permit natural moisture drainage; leave pieces not larger than 1 square yard (1 square meter).
- F. Within area of new construction, remove foundation walls and footings to a minimum of 5 feet ([] mm) below finished grade.
- G. Outside area of new construction, remove foundation walls and footings to a minimum of 5 feet ([] mm) below finished grade.
- H. Break up concrete slabs on grade within site boundaries to permit natural moisture drainage; leave pieces not larger than 1 square yard (1 square
- Remove existing fences and gates as required.
- J. Verify the extend of any off site work with the drawing or as required to complete the project. if any additional work is required that is not indicated in the contract documents, provide a clarification in the bid submission.
- K. Confirm existing materials on site can be used as fill or sub-base with a written report from the Geotechnical Engineer.
- L. Remove other items indicated, for salvage, relocation, and recycling.
- M. Fill excavations, open pits, and holes in ground areas generated as result of removals, using specified fill; compact fill as specified in Section 31

3.02 GENERAL PROCEDURES AND PROJECT CONDITIONS

- A. Comply with other requirements specified in Section 01 7000.
- B. Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public.
- Obtain required permits. Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range
- of potential collapse of unstable structures. Provide, erect, and maintain temporary barriers and security devices.
- 4. Conduct operations to minimize effects on and interference with adjacent structures and occupants. Do not close or obstruct roadways or sidewalks without permit.
- Conduct operations to minimize obstruction of public and private entrances and exits; do not obstruct required exits at any time; protect persons using entrances and exits from removal operations.
- 7. Obtain written permission from owners of adjacent properties when demolition equipment will traverse, infringe upon or limit access to their property.
- C. Do not begin removal until receipt of notification to proceed from Owner.
- D. Protect existing structures and other elements that are not to be removed. Provide bracing and shoring.
- Prevent movement or settlement of adjacent structures.
- 3. Stop work immediately if adjacent structures appear to be in danger. E. Partial Removal of Paving and Curbs: Neatly saw cut at right angle to surface.

3.03 EXISTING UTILITIES

- A. Coordinate work with utility companies; notify before starting work and comply with their requirements; obtain required permits.
- B. Protect existing utilities to remain from damage.
- C. Do not disrupt public utilities without permit from authority having jurisdiction.
- D. Do not close, shut off, or disrupt existing life safety systems that are in use without at least 7 days prior written notification to Owner.
- E. Do not close, shut off, or disrupt existing utility branches or take-offs that are in use without at least 3 days prior written notification to Owner. F. Locate and mark utilities to remain; mark using highly visible tags or flags, with identification of utility type; protect from damage due to subsequent

UNIT MASONRY

construction, using substantial barricades if necessary. G. Remove exposed piping, valves, meters, equipment, supports, and foundations of disconnected and abandoned utilities.

3.04 DEBRIS AND WASTE REMOVAL

- A. Remove debris, junk, and trash from site.
- B. Leave site in clean condition, ready for subsequent work.
- C. Clean up spillage and wind-blown debris from public and private lands.

END OF SECTION 02 4100 DIVISION 04 - MASONRY SECTION 04 2000

PART 1 GENERAL

1.01 SUMMARY

- A. Section Includes:
- Concrete masonry units (CMU's).
- 1.02 ACTION SUBMITTALS
- A. Product Data: For each type of product indicated. B. Shop Drawings: For reinforcing steel. Detail bending and placement of unit masonry reinforcing bars. Comply with ACI 315, "Details and Detailing of Concrete Reinforcement.
- C. Samples for Verification: For each type and color of exposed masonry unit and colored mortar. 1.03 INFORMATIONAL SUBMITTALS
- B. Mix Designs: For each type of mortar and grout. Include description of type and proportions of ingredients. 1. Include test reports for mortar mixes required to comply with property specification. Test according to ASTM C 109/C 109M for compressive
- strength, ASTM C 1506 for water retention, and ASTM C 91 for air content. Include test reports, according to ASTM C 1019, for grout mixes required to comply with compressive strength requirement.
- 1.04 QUALITY ASSURANCE A. Masonry Standard: Comply with ACI 530.1/ASCE 6/TMS 602 unless modified by requirements in the Contract Documents.

A. Material Certificates: For each type and size of product indicated. For masonry units include data on material properties.

- A. Cold-Weather Requirements: Do not use frozen materials or materials mixed or coated with ice or frost. Do not build on frozen substrates. Remove and replace unit masonry damaged by frost or by freezing conditions. Comply with cold-weather construction requirements contained in Masonry Standards Joint Committee's specification pertaining to ACI 530.1/ASCE 6, Article 1.8C/TMS 602.
- B. Hot-Weather Requirements: Comply with hot-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602.

PART 2 PRODUCTS 2.01 MASONRY UNITS, GENERAL

- A. Defective Units: Referenced masonry unit standards may allow a certain percentage of units to contain chips, cracks, or other defects exceeding
- limits stated in the standard. Do not use units where such defects will be exposed in the completed Work.
- B. Fire-Resistance Ratings: Where indicated, provide units that comply with requirements for fire-resistance ratings indicated as determined by testing according to ASTM E 119, by equivalent masonry thickness, or by other means, as acceptable to authorities having jurisdiction. 2.02 CONCRETE MASONRY UNITS
- A. Regional Materials: CMUs shall be manufactured within 500 miles of Project site from aggregates and cement that have been extracted, harvested, or recovered, as well as manufactured, within 500 miles of Project site.
- B. Shapes: Provide shapes indicated and for lintels, corners, jambs, sashes, movement joints, headers, bonding, and other special conditions. C. CMUs: ASTM C 90, or Unit Compressive Strength: Provide units with minimum average net-area compressive strength of 2150 psi. 1. Density Classification: medium weight, grade N, Type I units. Singe face sizes of 7 5/8" x 7 5/8" x 15 5/8", 3 5/8" x 7 5/8" x 15 5/8", 5 5/8" x 7
- 5/8" x 15 5/8" as detailed on drawings.
- 2.03 CONCRETE AND MASONRY LINTELS
- A. General: Provide one of the following: B. Concrete Lintels: ASTM C 1623, matching CMUs in color, texture, and density classification; and with reinforcing bars indicated. Provide lintels with net-area compressive strength not less than CMUs.
- C. Concrete Lintels: Precast or formed-in-place concrete lintels complying with requirements in Section 033000 "Cast-in-Place Concrete and with
- D. Masonry Lintels: Prefabricated or built-in-place masonry lintels made from bond beam CMUs with reinforcing bars placed as indicated and filled with coarse grout.
- E. Regional Materials: Aggregate for mortar and grout cement, and lime shall be extracted, harvested, or recovered, as well as manufactured, within 500 . Portland cement: ASTM C 150, Type I or II, except Type III may be used for cold-weather construction. Provide natural color or white cement as
- required to produce mortar color indicated. G. Hydrated Lime: ASTM C 207, Type S.
- H. Portland Cement-Lime Mix: Packaged blend of Portland cement and hydrated lime containing no other ingredients. Masonry Cement: ASTM C 91/ ASTM C 270.
- 1. Products: Subject to compliance with requirements, provide one of the following: a. Lafarge North America Inc.; Lafarge Masonry Cement
- b. St. Marys Masonry Cement

K. Aggregate for Grout: ASTM C 404.

c. Spec-Mix Masonry Cement and Sand Mortar

- J. Aggregate for Mortar: ASTM C 144.
 - For joints less than 1/4 inch thick, use aggregate graded with 100 percent passing the No. 16 sieve. Colored-Mortar Aggregates: Natural sand or crushed stone of color necessary to produce required mortar color. Use standard grey mortor for standard cmu and color 1 split face cmu. Use colored mortor equal to True Tone cement colors MC58 blond for color 2 splitface area.
- L. Cold-Weather Admixture: No chloride, noncorrosive, accelerating admixture complying with ASTM C 494/C 494M, ASTM C1384.02A, Type C, and recommended by manufacturer for use in masonry mortar of composition indicated. Alternative to cold weather protection must be preapproved by Architect. Contractor shall provide verification their acceptability by Laboratory testing with mortar mix used.
- 1. Products: Subject to compliance with requirements, provide one of the following:

a. Grace Construction Products, W. R. Grace & Co. - Conn.; Morset. b. Sonneborn Products, BASF Aktiengesellschaft; Trimix-NCA.

M. Water: Potable.

- 2.04 REINFORCEMENT A. Uncoated Steel Reinforcing Bars: ASTM A 615/ Grade 60.
- B. Masonry Joint Reinforcement, General: ASTM A153/ A153M-B2.
- Interior Walls: Hot-dip galvanized, carbon steel.
- Exterior Walls: Hot-dip galvanized, carbon steel. Wire Size for Side Rods: 0.148-inch diameter.
- Wire Size for Cross Rods: 0.148-inch diameter.
- 5. Wire Size for Veneer Ties: 0.148-inch diameter. Spacing of Cross Rods, Tabs, and Cross Ties: Not more than 16 inches o.c.

1. Wire: Fabricate from .148 inch diameter, hot-dip galvanized steel wire.

- 7. Provide in lengths of not less than 10 feet.
- C. Masonry Joint Reinforcement for Single-Wythe Masonry: ladder type with single pair of side rods. Provide prefabricated corner pieces at all corners and intersections of walls. 2.05 TIES AND ANCHORS
- A. Materials: Provide ties and anchors specified in this article that are made from materials that comply with the following unless otherwise indicated. 1. Hot-Dip Galvanized, Carbon-Steel Wire: with ASTM A 153/A 153M, Class B-2 coating.
- B. Wire Ties, General: Unless otherwise indicated, size wire ties to extend at least halfway through veneer but with at least 5/8-inch cover on outside face. Outer ends of wires are bent 90 degrees and extend 2 inches parallel to face of veneer. C. Individual Wire Ties: Rectangular units with closed ends and not less than 4 inches wide.
- D. Adjustable Anchors for Connecting to Structural Steel Framing: Provide anchors that allow vertical or horizontal adjustment but resist tension and compression forces perpendicular to plane of wall.
- Anchor Section for Welding to Steel Frame: Crimped 1/4-inch- diameter, hot-dip galvanized steel wire. 2. Tie Section: Triangular-shaped wire tie, sized to extend within 1 inch of masonry face, made from 0.187-inch diameter, hot-dip galvanized steel
- E. Adjustable Anchors for Connecting to Concrete: Provide anchors that allow vertical or horizontal adjustment but resist tension and compression
- forces perpendicular to plane of wall. 1. Connector Section: Dovetail tabs for inserting into dovetail slots in concrete and attached to tie section; formed from 0.060-inch- thick, steel sheet, galvanized after fabrication.
- F. Partition Top anchors: 0.105-inch- thick metal plate with 3/8-inch- diameter metal rod 6 inches long welded to plate and with closed-end plastic tube
- fitted over rod that allows rod to move in and out of tube. Fabricate from steel, hot-dip galvanized after fabrication.
- G. Rigid Anchors: Fabricate from steel bars 1-1/2 inches wide by 1/4 inch thick by 24 inches long, with ends turned up 2 inches or with cross pins unless otherwise indicated.

1. Corrosion Protection: Hot-dip galvanized to comply with ASTM A 153/A 153M. 2.06 EMBEDDED FLASHING MATERIALS

- A. Metal Flashing: Provide metal flashing complying with SMACNA's "Architectural Sheet Metal Manual" Section 076200 "Sheet Metal Flashing and
- wall flexible flashing to drip edge- see installation. B. Flexible Flashing: Use one of the following unless otherwise indicated:

1. Provide Veneer Metal Drip Edge: Fabricate from 8 foot long pieces of 28 gauge Type 304 grade, dull finish stainless steel which complies with

- 1. Rubberized-Asphalt Flashing: Composite flashing product consisting of a pliable, adhesive rubberized-asphalt compound, bonded to a highdensity, cross-laminated polyethylene film to produce an overall thickness of not less than 0.040 inch.
- a. Products: Subject to compliance with requirements, provide one of the following: 1) Advanced Building Products Inc.; Peel-N-Seal.
- 2) Carlisle Coatings & Waterproofing; CCW-705-TWF Thru-Wall Flashing. 3) Dayton Superior Corporation, Dur-O-Wal Division; Dur-O-Barrier Thru-Wall Flashing.
- 4) Fiberweb, Clark Hammerbeam Corp.; Aquaflash 500. 5) Grace Construction Products, W. R. Grace & Co. - Conn.; Perm-A-Barrier Wall Flashing.
- 6) Heckmann Building Products Inc.; No. 82 Rubberized-Asphalt Thru-Wall Flashing. 7) Hohmann & Barnard, Inc.; Textroflash.
- 8) W. R. Meadows, Inc.; Air-Shield Thru-Wall Flashing. 9) Polyguard Products, Inc.; Polyguard 400.

for bonding flashing sheets to each other and to substrates.

- 10) Sandell Manufacturing Co., Inc.; Sando-Seal. 11) Williams Products, Inc.; Everlastic MF-40. C. Adhesives, Primers, and Seam Tapes for Flashings: Flashing manufacturer's standard products or products recommended by flashing manufacturer
- 2.07 MISCELLANEOUS MASONRY ACCESSORIES
- A. Compressible Filler: Premolded filler strips complying with ASTM D 1056, Grade 2A1; compressible up to 35 percent; formulated from neoprene. B. Preformed Control-Joint Gaskets: Made from styrene-butadiene-rubber compound, complying with ASTM D 2000, Designation M2AA-805 and designed to fit standard sash block and to maintain lateral stability in masonry wall; size and configuration as indicated.
- C. Bond-Breaker Strips: Asphalt-saturated, organic roofing felt complying with ASTM D 226, Type I (No. 15 asphalt felt) for an Alternative Control Joint. D. Weep/Vent Products: Use one of the following unless otherwise indicated:
- E. Single Wythe CMU wall high-density polyethylene composition Molded flashing. 0625 inch thick flashing pan with .3125 inch perimeter flanges, designed to direct moisture to the integrated weep concave spouts with 45 degree drip edge extensions. Drainage mattes and bug guards included. Weeps per each unit. Install per manufacturer's installation of drainage systems directions.

Products: Subject to compliance with requirements, provide the following:

G. Blok-Flash by Mortar Net Solutions.

- 2.08 MASONRY CLEANERS A. Proprietary Acidic Cleaner: Manufacturer's standard-strength cleaner designed for removing mortar/grout stains, efflorescence, and other new
 - construction stains from new masonry without discoloring or damaging masonry surfaces. Use product expressly approved for intended use by cleaner manufacturer and manufacturer of masonry units being cleaned. 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - b. EaCo Chem, Inc. c. ProSoCo, Inc.

a. Diedrich Technologies, Inc.

- 2.09 MORTAR AND GROUT MIXES A. General: Do not use admixtures, including pigments, air-entraining agents, accelerators, retarders, water-repellent agents, antifreeze compounds, or
 - other admixtures, unless otherwise indicated Do not use calcium chloride in mortar or grout.
 - 2. Use masonry cement mortar unless otherwise indicated. 3. For exterior masonry, use masonry cement mortar. 4. For reinforced masonry, use masonry cement mortar.
- Add cold-weather admixture (if used) at same rate for all mortar that will be exposed to view, regardless of weather conditions, to ensure that mortar color is consistent. B. Preblended, Dry Mortar Mix: Furnish dry mortar ingredients in form of a preblended mix. Measure quantities by weight to ensure accurate
- proportions, and thoroughly blend ingredients before delivering to Project site. C. Mortar for Unit Masonry: Comply with ASTM C 270, Proportion by volume Specification, or ASTM C91 Standard Specification for Masonry Cement. Provide the following types of mortar for applications stated unless another type is indicated.
- For reinforced masonry, use Type S 3. For exterior, above-grade, load-bearing and non-load-bearing walls and parapet walls; for interior load-bearing walls; for interior non-loadbearing partitions; and for other applications where another type is not indicated, use Type N.

1. For masonry below grade or in contact with earth, use Type M

For interior non-load-bearing partitions, Type N. For Veneers Type N

surfaces and, where possible, cut edges concealed.

- D. Grout for Unit Masonry: Comply with ASTM C 476.
- Use grout of type indicated or, if not otherwise indicated, of type (fine or coarse) that will comply with Table 1.15.1 in ACI 530.1/ASCE 6/TMS 602 for dimensions of grout spaces and pour height.

2. Proportion grout in accordance with ASTM C 476, paragraph 4.2.2 for specified 28-day compressive strength indicated, but not less than 3000

- 3. Provide grout with a slump of 8 to 11 inches as measured according to ASTM C 143/C 143M.
- A. Use full-size units without cutting if possible. If cutting is required to provide a continuous pattern or to fit adjoining construction, cut units with motordriven saws; provide clean, sharp, unchipped edges. Allow units to dry before laying unless wetting of units is specified. Install cut units with cut

B. Select and arrange units for exposed unit masonry to produce a uniform blend of colors and textures. C. Masonry protection: Cover top of unfinished masonry work to protect it from the weather.

3.02 TOLERANCES

3.01 INSTALLATION, GENERAL

PART 3 EXECUTION

- A. Dimensions and Locations of Elements: For dimensions in cross section or elevation do not vary by more than plus 1/2 inch or minus 1/4 inch.
- For location of elements in plan do not vary from that indicated by more than plus or minus 1/2 inch. 3. For location of elements in elevation do not vary from that indicated by more than plus or minus 1/4 inch in a story height or 1/2 inch total.
- B. Lines and Levels:
- For bed joints and top surfaces of bearing walls do not vary from level by more than 1/4 inch in 10 feet, or 1/2 inch maximum.

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Client:

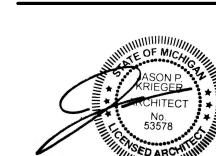
Verus Development Group

Project:

Project Name 19876 Mack Ave Grosse Pointe Woods MI

Description Issued 8/11/2022 Permits 2. Tie Section: Triangular-shaped wire tie, sized to extend within 1 inch of masonry face, made from 0.187-inch diameter, hot-dip galvanized steel ASTM A-167. Extend at least 3 inches into wall and 1/2 inch out from wall, with outer edge bent down 30 degrees and hemmed. Apply the thru

Seal



Do not scale drawings. Use

calculated dimensions only. Verify existing conditions in

North Arrow:

Note:

Sheet Title:

Scale:

Project Numbers

- 2. For conspicuous horizontal lines, such as lintels, sills, parapets, and reveals, do not vary from level by more than 1/8 inch in 10 feet, 1/4 inch in 20 feet, or 1/2 inch maximum.
- 3. For vertical lines and surfaces do not vary from plumb by more than 1/4 inch in 10 feet, 3/8 inch in 20 feet, or 1/2 inch maximum. 4. For conspicuous vertical lines, such as external corners, door jambs, reveals, and expansion and control joints, do not vary from plumb by more
- than 1/8 inch in 10 feet, 1/4 inch in 20 feet, or 1/2 inch maximum.
- - For bed joints, do not vary from thickness indicated by more than plus or minus 1/8 inch, with a maximum thickness limited to 1/2 inch.
 - For head and collar joints, do not vary from thickness indicated by more than plus 3/8 inch or minus 1/4 inch.

For exposed head joints, do not vary from thickness indicated by more than plus or minus 1/8 inch.

5. For lines and surfaces do not vary from straight by more than 1/4 inch in 10 feet, 3/8 inch in 20 feet, or 1/2 inch maximum.

3.03 LAYING MASONRY WALLS

- A. Lay out walls in advance for accurate spacing of surface bond patterns with uniform joint thicknesses and for accurate location of openings, movement-type joints, returns, and offsets. Avoid using less-than-half-size units, particularly at corners, jambs, and, where possible, at other
- B. Bond Pattern for Exposed Masonry: Unless otherwise indicated, lay exposed masonry in running bond; do not use units with less than nominal 4-inch horizontal face dimensions at corners or jambs.
- C. Built-in Work: As construction progresses, build in items specified in this and other Sections. Fill in solidly with masonry around built-in items.
- D. Fill space between steel frames and masonry solidly with mortar unless otherwise indicated. E. Fill cores in hollow CMUs with grout 24 inches under bearing plates, beams, lintels, posts, and similar items unless otherwise indicated.
- F. Refer to 3.10 also for erection and MIOSHA wall bracing requirements

3.04 MORTAR BEDDING AND JOINTING

- A. Lav CMUs as follows:
- With face shells fully bedded in mortar and with head joints of depth equal to bed joints. With webs fully bedded in mortar in all courses of piers, columns, and pilasters.
- With webs fully bedded in mortar in grouted masonry, including starting course on footings.
- 4. With entire units, including areas under cells, fully bedded in mortar at starting course on footings where cells are not grouted.
- B. Lay solid masonry units with completely filled bed and head joints; butter ends with sufficient mortar to fill head joints and shove into place. Do not deeply furrow bed joints or slush head joints.
- C. Tool exposed joints 3/8 inch slightly concave when thumbprint hard, using a jointer larger than joint thickness unless otherwise indicated.
- D. Cut joints flush for masonry walls to receive plaster or other direct-applied finishes (other than paint) unless otherwise indicated.

3.05 MASONRY JOINT REINFORCEMENT

- A. General: Install entire length of longitudinal side rods in mortar with a minimum cover of 5/8 inch on exterior side of walls, 1/2 inch elsewhere. Lap
 - reinforcement a minimum of 6 inches. Space reinforcement not more than 16 inches o.c.
 - Provide reinforcement not more than 8 inches above and below wall openings and extending 12 inches beyond openings in addition to
- continuous reinforcement.
- B. Interrupt joint reinforcement at control and expansion joints unless otherwise indicated.

C. Provide continuity at wall intersections by staggering units with overlaps at each coarse level.

3.06 ANCHORING MASONRY TO STRUCTURAL STEEL AND CONCRETE

- A. Anchor masonry to structural steel and concrete where masonry abuts or faces structural steel or concrete to comply with the following: 1. Provide an open space not less than 1 inch wide between masonry and structural steel or concrete unless otherwise indicated. Keep open
 - space free of mortar and other rigid materials. Anchor masonry with anchors embedded in masonry joints and attached to structure.
- 3. Space anchors as indicated, but not more than 16 inches o.c. vertically and 24 inches o.c. horizontally.

3.07 FLASHING, WEEP HOLES, CAVITY DRAINAGE, AND VENTS

- A. General: Install embedded flashing and weep holes in masonry at shelf angles, lintels, ledges, other obstructions to downward flow of water in wall, and where indicated.
- B. Install flashing as follows unless otherwise indicated: 1. Prepare masonry surfaces so they are smooth and free from projections that could puncture flashing. Where flashing is within mortar joint, place
- through-wall flashing on sloping bed of mortar and cover with mortar. Before covering with mortar, seal penetrations in flashing with adhesive, sealant, or tape as recommended by flashing manufacturer.
- 2. At lintels and shelf angles, extend flashing a minimum of 6 inches into masonry at each end. At heads and sills, extend flashing 6 inches at ends and turn up not less than 2 inches to form end dams. Install metal drip edges beneath flexible flashing at exterior face of wall. Stop flexible flashing 1/2 inch back from outside face of wall and adhere
- flexible flashing to top of metal drip edge. Install metal flashing termination beneath flexible flashing at exterior face of wall. Stop flexible flashing 1/2 inch back from outside face of wall
- and adhere flexible flashing to top of metal flashing termination. C. Install weep holes in head joints in exterior wythes of first course of masonry immediately above embedded flashing and as follows:
- Use specified weep/vent products to form weep holes. Space weep holes 24 inches o.c. unless otherwise indicated.
- D. Place cavity drainage material in cavities to comply with configuration requirements for cavity drainage material in "Miscellaneous Masonry Accessories" Article.

3.08 REINFORCED UNIT MASONRY INSTALLATION

- A. Temporary Formwork and Shores: Construct formwork and shores as needed to support reinforced masonry elements during construction. Construct formwork to provide shape, line, and dimensions of completed masonry as indicated. Make forms sufficiently tight to prevent leakage
- of mortar and grout. Brace, tie, and support forms to maintain position and shape during construction and curing of reinforced masonry. Do not remove forms and shores until reinforced masonry members have hardened sufficiently to carry their own weight and other loads that
- may be placed on them during construction.
- Refer to OSHA standard no 1926.706 for MASONRY WALL BRACING prior to erection and implement all measures required, but not limited to, lateral support due to winds, restricted zones, signage, and training requirements, and inspections.
- B. Placing Reinforcement: Comply with requirements in ACI 530.1/ASCE 6/TMS 602. Lap splices in walls shall be a minimum of 48 bar diameters,
- C. Reinforce all masonry walls as shown on schedules and details. Place bar on centerline of wall in fully grouted cell height of wall. Lap reinforcement
- with typical footing dowel, see details for dowel requirements. D. Grouting: Do not place grout until entire height of masonry to be grouted has attained enough strength to resist grout pressure.
- Comply with requirements in ACI 530.1/ASCE 6/TMS 602 for cleanouts and for grout placement, including minimum grout space and maximum
- Limit height of vertical grout pours to not more than 60 inches.

3.09 FIELD QUALITY CONTROL

- A. Testing and Inspecting: Owner will engage special inspectors to perform tests and inspections and prepare reports. Allow inspectors access to scaffolding and work areas, as needed to perform tests and inspections. Retesting of materials that fail to comply with specified requirements shall be
 - done at Contractor's expense.
 - Begin masonry construction only after inspectors have verified proportions of site-prepared mortar. Place grout only after inspectors have verified compliance of grout spaces and of grades, sizes, and locations of reinforcement.
 - Place grout only after inspectors have verified proportions of site-prepared grout.
- B. Testing Prior to Construction: One set of tests.
- C. Testing Frequency: One set of tests for each 5000 sq. ft. of wall area or portion thereof.
- D. Clay Masonry Unit Test: For each type of unit provided, according to ASTM C 67 for compressive strength.
- E. Concrete Masonry Unit Test: For each type of unit provided, according to ASTM C 140 for compressive strength.
- F. Mortar Aggregate Ratio Test (Proportion Specification): For each mix provided, according to ASTM C 780.
- G. Mortar Test (Property Specification): For each mix provided, according to ASTM C 780. Test mortar for mortar air content and compressive strength.
- H. Grout Test (Compressive Strength): For each mix provided, according to ASTM C 1019.

3.10 REPAIRING, POINTING, AND CLEANING

- A. In-Progress Cleaning: Clean unit masonry as work progresses by dry brushing to remove mortar fins and smears before tooling joints.
- B. Final Cleaning: After mortar is thoroughly set and cured, clean exposed masonry as follows:
- Test cleaning methods on sample wall panel; leave one-half of panel uncleaned for comparison purposes.
- Protect surfaces from contact with cleaner. Wet wall surfaces with water before applying cleaners; remove cleaners promptly by rinsing surfaces thoroughly with clear water.
- Clean brick by bucket-and-brush hand-cleaning method described in BIA Technical Notes 20.
- Clean concrete masonry by cleaning method indicated in NCMA TEK 8-2A applicable to type of stain on exposed surfaces.

3.11 MASONRY WASTE DISPOSAL

A. Excess Masonry Waste: Remove excess clean masonry waste and other masonry waste, and legally dispose of off Owner's property.

END OF SECTION 04 20 00 04 2000 **SECTION 04 2613** MASONRY VENEER

PART 1 GENERAL

- 1.01 SECTION INCLUDES
- Concrete block.
- B. Clay facing brick. C. Mortar and grout.
- D. Reinforcement and anchorage.
- E. Flashings. F. Installation of lintels.
- G. Accessories.

1.02 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data for masonry units, fabricated wire reinforcement, mortar, and masonry ties .

C. Samples: Submit four samples of facing brick units to illustrate color, texture, and extremes of color range. 1.03 QUALITY ASSURANCE

- A. Single source responsibility for Masonry Units: Obtain exposed masonry units of uniform texture and color, or a uniform blend within the ranges accepted for these characteristics, from one manufacturer for each different product required for each continuous serface or visually related surfaces.
- B. Single source responsibility for Mortar Materials: Obtain mortar ingredients of uniform quality, including color for exposed masonry, from one manufacturer for each cementitious component and from one source and producer for each aggregate.

1.04 MOCK-UP

- A. Construct a masonry wall as a mock-up panel sized 8 feet (2.4 m) long by 6 feet (1.8 m) high; include mortar and accessories and structural backup in mock-up. Once the project is complete, demolish the mock-up and remove from site. the Mock-up shall serve as a basis of construction for the final product.
- B. Locate where directed. Verify location with Owner and Architect.
- C. Mock-up may remain as part of the Work.
- D. note: coordinate final size and location of mock-up with Owner and Architect. combine the mock-up with the limestone and granite veneers.
- 1.05 DELIVERY, STORAGE, AND HANDLING
- A. Deliver, handle, and store masonry units by means that will prevent mechanical damage and contamination by other materials.
- B. Handle and store ceramic glazed masonry units in protective cartons or trays. Do not remove from protective packaging until ready for installation. 1.06 FIELD CONDITIONS
- A. Maintain materials and surrounding air temperature to minimum 40 degrees F (5 degrees C) prior to, during, and 48 hours after completion of masonry work.
- B. Maintain materials and surrounding air temperature to maximum 90 degrees F (32 degrees C) prior to, during, and 48 hours after completion of masonry work

PART 2 PRODUCTS

2.01 UNIT MASONRY - GENERAL

- Conform to applicable code for see the drawings for requirements for fire rated masonry construction.
- 2.02 BRICK UNITS
- A. Manufacturers: Glen Gery or approved equal.
- Substitutions: See Section 01 6000 Product Requirements.
- B. Facing Brick: ASTM C216, Type as specified on the drawings, Grade SW.
- Color and Texture: as indicated on the drawings.
- Nominal Size: Modular.
- Special Shapes: Molded units as required by conditions indicated, unless standard units can be sawn to produce equivalent effect.
- Compressive Strength: Grade SW, measured in accordance with ASTM C67. 2.03 MORTAR AND GROUT MATERIALS
- A. Masonry Cement: ASTM C91/C91M Type N. Colored Mortar: Premixed cement as required to match Architect's color sample.
- B. Portland Cement: ASTM C150/C150M, Type I; color as required to produce approved color sample.
- C. Water: Clean and potable. D. Accelerating Admixture: Nonchloride type for use in cold weather. (if required based on project schedule)

2.04 REINFORCEMENT AND ANCHORAGE

- A. Joint Reinforcement: Truss type; {\rs\#1} steel wire, hot dip galvanized after fabrication to 16 CFR 1201 Class B; 0.1483 inch (3.8 mm) side rods with 0.1483 inch (3.8 mm) cross rods; width as required to provide not more than 1 inch (25 mm) and not less than 1/2 inch (13 mm) of mortar coverage on each exposure.
- Manufacturers: a. Hohmann & Barnard, Inc; HB 213 Veneer Anchor: www.h-b.com/#sle.
- b. or approved equal. B. Masonry Veneer Anchors: 2-piece anchors that permit differential movement between masonry veneer and structural backup, hot dip galvanized to
- ASTM Á 153/A 153M, Class B. Anchor plates: Not less than 0.075 inch (1.91 mm) thick, designed for fastening to structural backup through sheathing by two fasteners;
- provide design with legs that penetrate sheathing and insulation to provide positive anchorage. Wire ties: Manufacturer's standard shape, 0.1875 inch (4.75 mm) thick.
- Vertical adjustment: Not less than 3-1/2 inches (89 mm).
- Install masonry anchors at 16" O.C. vert and horizontally or as required by the current code. C. Metal-to-Metal Fasteners: Self-drilling, self-tapping screws; corrosion resistant finish or hot dip galvanized to ASTM A153/A153M.
 - a. ITW Commercial Construction North America; Teks Select Series; [_____]: www.ITWBuildex.com/#sle. b. or approved equal.

2.05 FLASHINGS

- A. Rubberized Asphalt Flashing: Self-adhering polymer-modified asphalt sheet; 0.040 inch (1.0 mm) total thickness; with cross-linked polyethylene top
- Manufacturers: a. York Manufacturing, Inc; York Seal: www.yorkmfg.com/#sle. b. Grace Applied Technologies - GRACE PERM-A-BARRIER.
- c. or approved equal.
- B. Stainless Steel: ASTM A666, Type 304, soft temper; 26 gage, 0.0187 inch (0.48 mm) thick; finish 2B to 2D. C. Flashing Sealant/Adhesives: Silicone, polyurethane, or silyl-terminated polyether/polyurethane, or other type required or recommended by flashing manufacturer; type capable of adhering to type of flashing used.

2.06 ACCESSORIES A. Preformed Control Joints: Rubber material. Provide with corner and tee accessories, fused joints.

- Manufacturers: a. Blok-Lok Limited; []: www.blok-lok.com/#sle.
- b. Hohmann & Barnard, Inc; [_____]: www.h-b.com/#sle. WIRE-BOND; [_____]: www.wirebond.com/#sle.
- d. or approved equal.
- B. Joint Filler: Closed cell rubber; oversized 50 percent to joint width; self expanding; in maximum lengths available. Manufacturers:
 - a. Hohmann & Barnard, Inc; [_____]: www.h-b.com/#sle.
 - b. WIRE-BOND; [_____]: www.wirebond.com/#sle. c. or approved equal.
 - d. Substitutions: See Section 01 6000 Product Requirements.
- C. Building Paper: ASTM D226/D226M, Type I ("No. 15") asphalt felt.
- D. Weeps: Molded PVC grilles, insect resistant.
- Manufacturers: a. Blok-Lok Limited; [_____]: www.blok-lok.com/#sle. b. Hohmann & Barnard, Inc; [_____]: www.h-b.com/#sle.
- c. WIRE-BOND; [____]: www.wirebond.com/#sle. d. or approved equal.
- E. Cavity Vents: Molded PVC grilles, insect resistant. Manufacturers:
 - a. Blok-Lok Limited; [_____]: www.blok-lok.com/#sle. b. Hohmann & Barnard, Inc; [_____]: www.h-b.com/#sle.
 - WIRE-BOND; [_____]: www.wirebond.com/#sle.
- d. or approved equal. F. Drainage Fabric: Polyester mesh bonded to a water and vapor-permeable fabric.
- G. Cavity Mortar Control: Semi-rigid polyethylene or polyester mesh panels, sized to thickness of wall cavity, and designed to prevent mortar droppings from clogging weeps and cavity vents and allow proper cavity drainage.
- Mortar Diverter: Panels installed at flashing locations. H. Termination Bars: Stainless steel; compatible with membrane and adhesives.
- Drip Edge: Stainless steel; compatible with membrane and adhesives.
- Lap Sealants and Tapes: As recommended by flashing manufacturer; compatible with membrane and adhesives. K. Cleaning Solution: Non-acidic, not harmful to masonry work or adjacent materials.
- A. Mortar for Unit Masonry: ASTM C270, Proportion Specification.
- Masonry below grade and in contact with earth; Type S. Exterior, non-loadbearing masonry; Type N. Interior, non-loadbearing masonry; Type O.
- B. Colored Mortar: Proportion selected pigments and other ingredients to match Architect's sample, without exceeding manufacturer's recommended C. Grout: ASTM C476; consistency as required to fill volumes completely for grouting; fine grout for spaces with smallest horizontal dimension of 2
- inches (50 mm) or less; coarse grout for spaces with smallest horizontal dimension greater than 2 inches (50 mm). PART 3 EXECUTION

3.01 EXAMINATION

2.07 MORTAR AND GROUT MIXING

Verify that field conditions are acceptable and are ready to receive masonry.

- B. Verify that related items provided under other sections are properly sized and located.
- C. Verify that built-in items are in proper location, and ready for roughing into masonry work.

3.02 COURSING A. Establish lines, levels, and coursing indicated. Protect from displacement.

- B. Maintain masonry courses to uniform dimension. Form vertical and horizontal joints of uniform thickness
- C. Brick Units: Bond: Running.
- Coursing: Three units and three mortar joints to equal 8 inches (200 mm). Mortar Joints: Concave.
- 3.03 PLACING AND BONDING
- A. Lay solid masonry units in full bed of mortar, with full head joints, uniformly jointed with other work. B. Lay hollow masonry units with face shell bedding on head and bed joints.
- C. Buttering corners of joints or excessive furrowing of mortar joints is not permitted.
- D. Remove excess mortar as work progresses.
- E. Interlock intersections and external corners, except for units laid in stack bond. F. Do not shift or tap masonry units after mortar has achieved initial set. Where adjustment must be made, remove mortar and replace.
- G. Perform job site cutting of masonry units with proper tools to provide straight, clean, unchipped edges. Prevent broken masonry unit corners or
- H. Isolate top joint of masonry veneer from horizontal structural framing members or support angles with compressible joint filler.

3.04 WEEPS/CAVITY VENTS

- A. Install weeps in veneer walls at 32 inches (800 mm) on center horizontally above through-wall flashing, above shelf angles and lintels, and at bottom
- B. Install cavity vents in veneer walls at 32 inches (800 mm) on center horizontally below shelf angles and lintels and at top of walls.

3.05 CAVITY MORTAR CONTROL

- A. Do not permit mortar to drop or accumulate into cavity air space or to plug weep/cavity vents.
- B. For cavity walls, build inner wythe ahead of outer wythe to accommodate accessories. C. Install cavity mortar control panels continuously throughout full height of exterior masonry cavities during construction of exterior wythe, complying with manufacturer's installation instructions. Verify that airspace width is no more than 3/8 inch (9 mm) greater than panel thickness. Install
- horizontally between joint reinforcement. Stagger end joints in adjacent rows. Fit to perimeter construction and penetrations without voids. D. Install cavity mortar diverter at base of cavity and at other flashing locations as recommended by manufacturer to prevent mortar droppings from blocking weep/cavity vents.

3.06 REINFORCEMENT AND ANCHORAGE - MASONRY VENEER

- A. Install horizontal joint reinforcement 16 inches (400 mm) on center.
- B. Place masonry joint reinforcement in first and second horizontal joints above and below openings. Extend minimum 16 inches (400 mm) each side of
- C. Place continuous joint reinforcement in first and second joint below top of walls. D. Lap joint reinforcement ends minimum 6 inches (150 mm).
- E. Masonry Back-Up: Embed anchors to bond veneer at maximum 16 inches (400 mm) on center vertically and 36 inches (900 mm) on center horizontally. Place additional anchors at perimeter of openings and ends of panels, so maximum spacing of anchors is 8 inches (200 mm) on center. F. Stud Back-Up: Secure veneer anchors to stud framed back-up and embed into masonry veneer at maximum 16 inches (400 mm) on center vertically

and 24 inches (600 mm) on center horizontally. Place additional anchors at perimeter of openings and ends of panels, so maximum spacing of

anchors is 8 inches (200 mm) on center. 3.07 MASONRY FLASHINGS

interrupted.

- A. Whether or not specifically indicated, install masonry flashing to divert water to exterior at all locations where downward flow of water will be
- B. Extend metal flashings to within 1/4 inch (6 mm) of exterior face of masonry. C. Extend plastic, laminated, and [_____] flashings to within 1/4 inch (6 mm) of exterior face of masonry.
- D. Lap end joints of flashings at least 6 inches (152 mm), minimum, and seal watertight with flashing sealant/adhesive.
- A. Install loose steel lintels over openings. See structural drawings and specifications for sizes, bearing conditions and locations. 3.09 CONTROL AND EXPANSION JOINTS
- A. Do not continue horizontal joint reinforcement through control or expansion joints. B. Install preformed control joint device in continuous lengths. Seal butt and corner joints in accordance with manufacturer's instructions.
- C. Form expansion joint as detailed on drawings. 3.10 TOLERANCES

Remove excess mortar and mortar smears as work progresses.

Maximum Variation From Unit to Adjacent Unit: 1/16 inch (1.6 mm).

- B. Maximum Variation from Plane of Wall: 1/4 inch in 10 ft (6 mm in 3 m) and 1/2 inch in 20 ft (13 mm in 6 m) or more. C. Maximum Variation from Plumb: 1/4 inch (6 mm) per story non-cumulative; 1/2 inch (13 mm) in two stories or more.
- D. Maximum Variation from Level Coursing: 1/8 inch in 3 ft (3 mm in 1 m) and 1/4 inch in 10 ft (6 mm in 3 m); 1/2 inch in 30 ft (13 mm in 9 m). E. Maximum Variation of Mortar Joint Thickness: Head joint, minus 1/4 inch, plus 3/8 inch (minus 6.4 mm, plus 9.5 mm).

B. Obtain approval prior to cutting or fitting masonry work not indicated or where appearance or strength of masonry work may be impaired.

A. Cut and fit for pipes and conduit. Coordinate with other sections of work to provide correct size, shape, and location.

- 3.12 CLEANING
- B. Replace defective mortar. Match adjacent work C. Clean soiled surfaces with cleaning solution.
- D. Use non-metallic tools in cleaning operations.

3.11 CUTTING AND FITTING

A. Without damaging completed work, provide protective boards at exposed external corners that are subject to damage by construction activities. END OF SECTION 04 2613

PART 2 PRODUCTS

3.13 PROTECTION

1.01 FRAMING SYSTEM

DIVISION 05 - METALS

SECTION 05 4000

COLD-FORMED METAL FRAMING

METAL FABRICATIONS

A. Provide primary and secondary framing members, bridging, bracing, plates, gussets, clips, fittings, reinforcement, and fastenings as required to provide a complete framing system. 1.02 FRAMING MATERIALS

END OF SECTION 05 4000 SECTION 05 5000

- PART 1 GENERAL 1.01 SECTION INCLUDES
- A. Shop fabricated steel and aluminum items.
- B. Downspout boots. 1.02 RELATED REQUIREMENTS

B. Section 05 5213 - Pipe and Tube Railings.

C. Section 09 9113 - Exterior Painting: Paint finish.

A. See Section 01 3000 - Administrative Requirements, for submittal procedures.

A. Section 05 1200 - Structural Steel Framing: Structural steel column anchor bolts.

D. Section 09 9123 - Interior Painting: Paint finish. E. Section 32 3300 - Site Furnishings: Steel pipe bollards to match other site furnishings. 1.03 SUBMITTALS

- PART 2 PRODUCTS 2.01 MATERIALS - STEEL
- A. Steel Sections: ASTM A36/A36M. B. Plates: ASTM A283/A283M.
- C. Pipe: ASTM A53/A53M, Grade B Schedule 40, black finish.

erection drawings, elevations, and details where applicable.

- D. Welding Materials: AWS D1.1/D1.1M; type required for materials being welded. E. Shop and Touch-Up Primer: SSPC-Paint 15, complying with VOC limitations of authorities having jurisdiction.
- F. Touch-Up Primer for Galvanized Surfaces: SSPC-Paint 20, Type I Inorganic, complying with VOC limitations of authorities having jurisdiction.

B. Shop Drawings: Indicate profiles, sizes, connection attachments, reinforcing, anchorage, size and type of fasteners, and accessories. Include

2120 E. 11 Mile Rd. | Royal Oak, MI 48067 **P**: 248.414.9270 **F**: 248.414.9275

KRIEGER KLATT

Client:

www.kriegerklatt.com

Verus Development Group

Project:

Issued

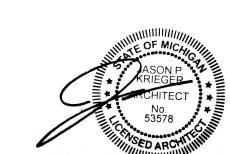
Project Name 19876 Mack Ave

Grosse Pointe Woods MI

Description

8/11/2022 Permits

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Specifications

Project Numbers

Scale:

22-099

2.02 MATERIALS - ALUMINUM

A. Extruded Aluminum: ASTM B221 (ASTM B221M), 6063 alloy, T6 temper.

2.03 FABRICATION

- A. Fit and shop assemble items in largest practical sections, for delivery to site.
- B. Fabricate items with joints tightly fitted and secured.
- C. Grind exposed joints flush and smooth with adjacent finish surface. Make exposed joints butt tight, flush, and hairline. Ease exposed edges to small
- D. Supply components required for anchorage of fabrications. Fabricate anchors and related components of same material and finish as fabrication. except where specifically noted otherwise.

2.04 FINISHES - STEEL

A. Prime paint steel items.

1. Exceptions: Do not prime surfaces in direct contact with concrete, where field welding is required, and items to be covered with sprayed

- B. Prepare surfaces to be primed in accordance with SSPC-SP2.
- C. Clean surfaces of rust, scale, grease, and foreign matter prior to finishing.
- D. Prime Painting: One coat.
- E. Galvanizing of Structural Steel Members: Galvanize after fabrication to ASTM A123/A123M requirements. Provide minimum 1.7 oz/sq ft galvanized coating. (Provide minimum 530 g/sq m galvanized coating.)
- F. Galvanizing of Non-structural Items: Galvanize after fabrication to ASTM A123/A123M requirements.

2.05 FINISHES - ALUMINUM

- A. Exterior Aluminum Surfaces: high performance organic coating.
- B. Interior Aluminum Surfaces: high performance organic coating.
- C. Class I Color Anodized Finish: AAMA 611 AA-M12C22A42 Integrally colored anodic coating not less than 0.7 mils (0.018 mm) thick; light bronze.
- D. Class I Color Anodized Finish: AAMA 611 AA-M12C22A44 Electrolytically deposited colored anodic coating not less than 0.7 mils (0.018 mm) thick;
- E. High Performance Organic Coating System: AAMA 2604 multiple coat, thermally cured fluoropolymer system; color as selected from manufacturer's

2.06 FABRICATION TOLERANCES

- A. Squareness: 1/8 inch (3 mm) maximum difference in diagonal measurements.
- B. Maximum Offset Between Faces: 1/16 inch (1.5 mm).
- C. Maximum Misalignment of Adjacent Members: 1/16 inch (1.5 mm).
- D. Maximum Bow: 1/8 inch (3 mm) in 48 inches (1.2 m).
- E. Maximum Deviation From Plane: 1/16 inch (1.5 mm) in 48 inches (1.2 m).

PART 3 EXECUTION

3.01 EXAMINATION

Verify that field conditions are acceptable and are ready to receive work.

3.02 PREPARATION

A. Clean and strip primed steel items to bare metal where site welding is required. B. Supply setting templates to the appropriate entities for steel items required to be cast into concrete or embedded in masonry.

3.03 INSTALLATION

- A. Install items plumb and level, accurately fitted, free from distortion or defects.
- B. Provide for erection loads, and for sufficient temporary bracing to maintain true alignment until completion of erection and installation of permanent attachments.
- C. Obtain approval prior to site cutting or making adjustments not scheduled.

3.04 TOLERANCES

- A. Maximum Variation From Plumb: 1/4 inch (6 mm) per story, non-cumulative.
- B. Maximum Offset From True Alignment: 1/4 inch (6 mm).
- C. Maximum Out-of-Position: 1/4 inch (6 mm).

END OF SECTION 05 5000

DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES **SECTION 06 1000**

ROUGH CARPENTRY

PART 1 GENERAL 1.01 SECTION INCLUDES

- A. Rough opening framing for doors, windows, and roof openings
- C. Roofing nailers.
- D. Roofing cant strips.

B. Roof-mounted curbs.

- E. Preservative treated wood materials.
- F. Fire retardant treated wood materials.
- G. Concealed wood blocking, nailers, and supports.

1.02 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data: Provide technical data on insulated sheathing, wood preservative materials, and application instructions.

1.03 DELIVERY, STORAGE, AND HANDLING

- A. General: Cover wood products to protect against moisture. Support stacked products to prevent deformation and to allow air circulation.
- B. Fire Retardant Treated Wood: Prevent exposure to precipitation during shipping, storage, or installation.
- C. Stack panels flat with spacers beneath and between each bundle to provide air circulation. Protect sheathing from weather by covering with waterproof sheeting, securely anchored. Provide for air circulation around stacks and under coverings. PART 2 PRODUCTS

2.01 GENERAL REQUIREMENTS

- A. Dimension Lumber: Comply with PS 20 and requirements of specified grading agencies.
- 1. If no species is specified, provide any species graded by the agency specified; if no grading agency is specified, provide lumber graded by any grading agency meeting the specified requirements.
- 2. Grading Agency: Any grading agency whose rules are approved by the Board of Review, American Lumber Standard Committee (www.alsc.org) and who provides grading service for the species and grade specified; provide lumber stamped with grade mark unless
- 3. Lumber of other species or grades is acceptable provided structural and appearance characteristics are equivalent to or better than products
- B. Lumber fabricated from old growth timber is not permitted.
- C. Fire-Test-Response Characteristics: For assemblies with fire-resistance ratings, provide materials and construction identical to those of assemblies
- tested for fire-resistance per ASTM E 119 by a testing and inspecting agency acceptable to authorities having juridiction. D. Fire-Resistance Ratings: Indicated by design designations from [UL's "Fire Resistance Directory."] [GA-600, "Fire Resistance Design Manual."] [Insert

listing organization and publication]. 2.02 DIMENSION LUMBER FOR CONCEALED APPLICATIONS

- A. Sizes: Nominal sizes as indicated on drawings, S4S.
- B. Moisture Content: Kiln-dry or MC15.
- C. Miscellaneous Framing, Blocking, Nailers, Grounds, and Furring: 1. Lumber: S4S, No. 2 or Standard Grade.
- 2. Boards: Standard or No. 3.

2.03 ACCESSORIES

- A. Fasteners and Anchors:
 - Metal and Finish: Stainless steel for high humidity and preservative-treated wood locations, unfinished steel elsewhere.
 - 2. Provide fasteners of size and type indicated that comply with requirements specified in this article for material and manufacture. a. For wall sheathing, provide fasteners with hot-dip zinc coating complying with ASTM A 153/A 153M.
 - 3. Screws for Fastening Gypsum Sheathing to Cold-Formed Metal Framing: Steel drill screws, in length recommended by sheathing manufacturer for thickness of sheathing to be attached, with organic-polymer or other corrosion-protective coating having a salt-spray resistance of more than
 - a. For steel framing less than 0.0329 inch (0.835 mm) thick, use screws that comply with ASTM C 1002. For steel framing from 0.033 to 0.112 inch (0.84 to 2.84mm) thick, use screws that comply with ASTM C 954.
- B. Sill Gasket on Top of Foundation Wall: 1/4 inch (6 mm) thick, plate width, closed cell plastic foam from continuous rolls.
- C. Sill Flashing: As specified in Section 07 6200.

2.04 FACTORY WOOD TREATMENT

- A. Treated Lumber and Plywood: Comply with requirements of AWPA U1 Use Category System for wood treatments determined by use categories, expected service conditions, and specific applications. 1. Fire-Retardant Treated Wood: Mark each piece of wood with producer's stamp indicating compliance with specified requirements.
- B. Fire Retardant Treatment:
- Manufacturers:

- a. Lonza Group; [____]: www.wolmanizedwood.com/#sle.
- b. Hoover Treated Wood Products, Inc; []: www.frtw.com/#sle.
- 2. Exterior Type: AWPA U1, Category UCFB, Commodity Specification H, chemically treated and pressure impregnated; capable of providing a maximum flame spread index of 25 when tested in accordance with ASTM E84, with no evidence of significant combustion when test is
- extended for an additional 20 minutes both before and after accelerated weathering test performed in accordance with ASTM D2898.
- a. Kiln dry wood after treatment to a maximum moisture content of 19 percent for lumber and 15 percent for plywood.
- Treat all exterior rough carpentry items.
- Do not use treated wood in direct contact with the ground.
- 3. Interior Type A: AWPA U1, Use Category UCFA, Commodity Specification H, low temperature (low hygroscopic) type, chemically treated and pressure impregnated; capable of providing a maximum flame spread index of 25 when tested in accordance with ASTM E84, with no evidence of significant combustion when test is extended for an additional 20 minutes.
- a. Kiln dry wood after treatment to a maximum moisture content of 19 percent for lumber and 15 percent for plywood.
- b. All interior rough carpentry items are to be fire retardant treated.
- c. Treat rough carpentry items as indicated. d. Do not use treated wood in applications exposed to weather or where the wood may become wet.

PART 3 EXECUTION 3.01 PREPARATION

- A. Where wood framing bears on cementitious foundations, install full width sill flashing continuous over top of foundation, lap ends of flashing minimum
- B. Install sill gasket under sill plate of framed walls bearing on foundations; puncture gasket cleanly to fit tightly around protruding anchor bolts.
- C. Coordinate installation of rough carpentry members specified in other sections.

3.02 INSTALLATION - GENERAL

- Select material sizes to minimize waste.
- B. Reuse scrap to the greatest extent possible; clearly separate scrap for use on site as accessory components, including: shims, bracing, and blocking.
- C. Where treated wood is used on interior, provide temporary ventilation during and immediately after installation sufficient to remove indoor air

3.03 BLOCKING, NAILERS, AND SUPPORTS

- A. Provide framing and blocking members as indicated or as required to support finishes, fixtures, specialty items, and trim.
- B. In framed assemblies that have concealed spaces, provide solid wood fireblocking as required by applicable local code, to close concealed draft openings between floors and between top story and roof/attic space; other material acceptable to code authorities may be used in lieu of solid wood blocking.
- C. In metal stud walls, provide continuous blocking around door and window openings for anchorage of frames, securely attached to stud framing.
- D. In walls, provide blocking attached to study as backing and support for wall-mounted items, unless item can be securely fastened to two or more studs or other method of support is explicitly indicated.
- E. Where ceiling-mounting is indicated, provide blocking and supplementary supports above ceiling, unless other method of support is explicitly
- F. Provide the following specific non-structural framing and blocking:
- Cabinets and shelf supports. Wall brackets.
- Handrails.
- Grab bars.
- Towel and bath accessories. Wall-mounted door stops.
- Chalkboards and marker boards
- Wall paneling and trim.
- Joints of rigid wall coverings that occur between studs. 3.04 ROOF-RELATED CARPENTRY
- A. Coordinate installation of roofing carpentry with deck construction, framing of roof openings, and roofing assembly installation.
- B. Provide wood curb at all roof openings except where prefabricated curbs are specified and where specifically indicated otherwise. Form corners by alternating lapping side members.

3.05 INSTALLATION OF CONSTRUCTION PANELS

Comply with applicable regulations.

- 3.06 SITE APPLIED WOOD TREATMENT
- A. Apply preservative treatment compatible with factory applied treatment at site-sawn cuts, complying with manufacturer's instructions.
- B. Allow preservative to dry prior to erecting members.

3.07 TOLERANCES

- A. Framing Members: 1/4 inch (6 mm) from true position, maximum.
- B. Variation from Plane (Other than Floors): 1/4 inch in 10 feet (2 mm/m) maximum, and 1/4 inch in 30 feet (7 mm in 10 m) maximum.
- A. Waste Disposal: Comply with the requirements of Section 01 7419 Construction Waste Management and Disposal.
- Do not burn scrap on project site. Do not burn scraps that have been pressure treated.
- B. Do not leave any wood, shavings, sawdust, etc. on the ground or buried in fill. C. Prevent sawdust and wood shavings from entering the storm drainage system.

END OF SECTION 06 1000

4. Do not send materials treated with pentachlorophenol, CCA, or ACA to co-generation facilities or "waste-to-energy" facilities.

SECTION 06 1600 SHEATHING

RELATED DOCUMENTS 1.01 DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 01

SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

- 1.02 SUMMARY A. Section Includes:
 - Wall sheathing Roof sheathing.
 - Parapet sheathing.
 - Composite nail base insulated roof sheathing. Subflooring.
 - Underlayment.
 - Sheathing joint and penetration treatment.
- B. Related Requirements:
- 1. Section 061000 "Rough Carpentry" for plywood backing panels.
- 1.03 ACTION SUBMITTALS
- A. Product Data: For each type of process and factory-fabricated product. Indicate component materials and dimensions and include construction and application details
 - 1. Include data for wood-preservative treatment from chemical treatment manufacturer and certification by treating plant that treated plywood complies with requirements. Indicate type of preservative used and net amount of preservative retained. Include data for fire-retardant treatment from chemical treatment manufacturer and certification by treating plant that treated plywood complies
 - with requirements. Include physical properties of treated materials. For fire-retardant treatments, include physical properties of treated plywood both before and after exposure to elevated temperatures, based on testing by a qualified independent testing agency according to ASTM D 5516.

For products receiving waterborne treatment, include statement that moisture content of treated materials was reduced to levels specified before shipment to Project site.

- 1.04 INFORMATIONAL SUBMITTALS
- A. Evaluation Reports: For the following, from ICC-ES: Wood-preservative-treated plywood.
- Fire-retardant-treated plywood. Foam-plastic sheathing.

the material tested.

- 1.05 QUALITY ASSURANCE
- A. Testing Agency Qualifications: For testing agency providing classification marking for fire-retardant-treated material, an inspection agency acceptable to authorities having jurisdiction that periodically performs inspections to verify that the material bearing the classification marking is representative of

PART 2 PRODUCTS

1.06 DELIVERY, STORAGE, AND HANDLING A. Stack panels flat with spacers beneath and between each bundle to provide air circulation. Protect sheathing from weather by covering with waterproof sheeting, securely anchored. Provide for air circulation around stacks and under coverings.

2.01 PERFORMANCE REQUIREMENTS

A. Fire-Resistance Ratings: As tested according to ASTM E 119; testing by a qualified testing agency. Identify products with appropriate markings of 1. Fire-Resistance Ratings: Indicated by design designations from UL's "Fire Resistance Directory" or from the listings of another qualified testing

2.02 WOOD PANEL PRODUCTS

- A. Thickness: As needed to comply with requirements specified, but not less than thickness indicated.
- B. Factory mark panels to indicate compliance with applicable standard. 2.03 FIRE-RETARDANT-TREATED PLYWOOD

- A. General: Where fire-retardant-treated materials are indicated, use materials complying with requirements in this article that are acceptable to authorities having jurisdiction and with fire-test-response characteristics specified as determined by testing identical products per test method
- B. Fire-Retardant-Treated Plywood by Pressure Process: Products with a flame-spread index of 25 or less when tested according to ASTM E 84, and with no evidence of significant progressive combustion when the test is extended an additional 20 minutes, and with the flame front not extending more than 10.5 feet (3.2 m) beyond the centerline of the burners at any time during the test.
 - 1. Use treatment that does not promote corrosion of metal fasteners. 2. Exterior Type: Treated materials shall comply with requirements specified above for fire-retardant-treated plywood by pressure process after
 - being subjected to accelerated weathering according to ASTM D 2898. Use for exterior locations and where indicated. Interior Type A: Treated materials shall have a moisture content of 28 percent or less when tested according to ASTM D 3201/D 3201M at 92 percent relative humidity. Use where exterior type is not indicated.
- 4. Design Value Adjustment Factors: Treated lumber plywood shall be tested according to ASTM D 5516 and design value adjustment factors shall be calculated according to ASTM D 6305. Span ratings after treatment shall be not less than span ratings specified. For roof sheathing and where high-temperature fire-retardant treatment is indicated, span ratings for temperatures up to 170 deg F (76 deg C) shall be not less than
- span ratings specified. C. Kiln-dry material after treatment to a maximum moisture content of 15 percent. Do not use material that is warped or does not comply with
- requirements for untreated material.
- D. Identify fire-retardant-treated plywood with appropriate classification marking of qualified testing agency. E. Application: Treat all plywood unless otherwise indicated:
- Roof and wall sheathing within 48 inches (1220 mm) of fire walls.
- Roof sheathing. Subflooring and underlayment for raised platforms.

A. DensGlass Sheathing: 5/8"

2.04 WALL SHEATHING

2.05 ROOF SHEATHING

A. Plywood Sheathing: DOC PS 1, sheathing.

indicated by a qualified testing agency.

Span Rating: Not less than 32/16. Nominal Thickness: Not less than 23/32 inch

2.06 PARAPET SHEATHING

- A. Plywood Sheathing: DOC PS 1 sheathing.
- Span Rating: Not less than 32/16. Nominal Thickness: Not less than 15/32 inch.

2.07 FASTENERS

- A. General: Provide fasteners of size and type indicated that comply with requirements specified in this article for material and manufacture.
- For roof parapet and wall sheathing, provide fasteners with hot-dip zinc coating complying with ASTM A 153/A 153M. For roof, parapet and wall sheathing, provide fasteners with organic-polymer or other corrosion-protective coating having a salt-spray resistance
- of more than 800 hours according to ASTM B 117. B. Nails, Brads, and Staples: ASTM F 1667.
- C. Power-Driven Fasteners: Fastener systems with an evaluation report acceptable to authorities having jurisdiction, based on ICC-ES AC70.
- D. Screws for Fastening Sheathing to Wood Framing: ASTM C 1002. E. Screws for Fastening Wood Structural Panels to Cold-Formed Metal Framing: ASTM C 954, except with wafer heads and reamer wings, length as
- recommended by screw manufacturer for material being fastened. F. Screws for Fastening Gypsum Sheathing to Cold-Formed Metal Framing: Steel drill screws, in length recommended by sheathing manufacturer for
- thickness of sheathing to be attached. 1. For steel framing less than 0.0329 inch (0.835 mm) thick, use screws that comply with ASTM C 1002.
- 2. For steel framing from 0.033 to 0.112 inch (0.84 to 2.84 mm) thick, use screws that comply with ASTM C 954. G. Screws for Fastening Composite Nail Base Insulated Roof Sheathing to Metal Roof Deck: Steel drill screws, in type and length recommended by sheathing manufacturer for thickness of sheathing to be attached, with organic-polymer or other corrosion-protective coating having a salt-spray resistance of more than 800 hours according to ASTM B 117. Provide washers or plates if recommended by sheathing manufacturer.

2.08 SHEATHING JOINT-AND-PENETRATION TREATMENT MATERIALS

- A. Sealant for Paper-Surfaced Gypsum Sheathing: Elastomeric, medium-modulus, neutral-curing silicone joint sealant compatible with joint substrates formed by gypsum sheathing and other materials, recommended by sheathing manufacturer for application indicated and complying with requirements for elastomeric sealants specified in Section 079200 "Joint Sealants."
- B. Sealant for Glass-Mat Gypsum Sheathing: Silicone emulsion sealant complying with ASTM C 834, compatible with sheathing tape and sheathing and recommended by tape and sheathing manufacturers for use with glass-fiber sheathing tape and for covering exposed fasteners. 1. Sheathing Tape: Self-adhering glass-fiber tape, minimum 2 inches (50 mm) wide, 10 by 10 or 10 by 20 threads/inch (390 by 390 or 390 by 780

threads/m), of type recommended by sheathing and tape manufacturers for use with silicone emulsion sealant in sealing joints in glass-mat

gypsum sheathing and with a history of successful in-service use. C. Sheathing Tape for Foam-Plastic Sheathing: Pressure-sensitive plastic tape recommended by sheathing manufacturer for sealing joints and penetrations in sheathing.

A. Adhesives for Field Gluing Panels to Wood Framing: Formulation complying with ASTM D 3498 that is approved for use with type of construction

- PART 3 EXECUTION 3.01 INSTALLATION, GENERAL
- A. Do not use materials with defects that impair quality of sheathing or pieces that are too small to use with minimum number of joints or optimum joint arrangement. Arrange joints so that pieces do not span between fewer than three support members.
- B. Cut panels at penetrations, edges, and other obstructions of work; fit tightly against abutting construction unless otherwise indicated.

panel indicated by manufacturers of both adhesives and panels

C. Securely attach to substrate by fastening as indicated, complying with the following: Table 2304.10.1, "Fastening Schedule," in the ICC's International Building Code.

manner that prevent exterior moisture from passing through completed assembly.

ICC-ES evaluation report for fastener.

D. Use common wire nails unless otherwise indicated. Select fasteners of size that will not fully penetrate members where opposite side will be exposed

to view or will receive finish materials. Make tight connections. Install fasteners without splitting wood. E. Coordinate wall, parapet and roof sheathing installation with flashing and joint-sealant installation so these materials are installed in sequence and

F. Do not bridge building expansion joints; cut and space edges of panels to match spacing of structural support elements. G. Coordinate sheathing installation with installation of materials installed over sheathing so sheathing is not exposed to precipitation or left exposed at

2.09 MISCELLANEOUS MATERIALS

- end of the workday when rain is forecast. 3.02 WOOD STRUCTURAL PANEL INSTALLATION
- A. General: Comply with applicable recommendations in APA Form No. E30, "Engineered Wood Construction Guide," for types of structural-use panels
- and applications indicated. B. Fastening Methods: Fasten panels as indicated below:
- 1. Combination Subfloor-Underlayment: Glue and screw to wood framing.
- b. Screw to cold-formed metal framing. c. Space panels 1/8 inch (3 mm) apart at edges and ends. Subflooring:
- a. Glue and screw to wood framing. b. Screw to cold-formed metal framing.
- c. Space panels 1/8 inch (3 mm) apart at edges and ends. Wall and Roof Sheathing:
- a. Nail or staple to wood framing.
- b. Screw to cold-formed metal framing. c. Space panels 1/8 inch (3 mm) apart at edges and ends.

troweling. Seal other penetrations and openings.

- Underlayment: a. Nail or staple to subflooring. b. Space panels 1/32 inch (0.8 mm) apart at edges and ends.
- 3.03 GYPSUM SHEATHING INSTALLATION A. Comply with GA-253 and with manufacturer's written instructions.

Fasten gypsum sheathing to wood framing with nails or screws.

- Fasten gypsum sheathing to cold-formed metal framing with screws. Install panels with a 3/8-inch (9.5-mm) gap where non-load-bearing construction abuts structural elements. Install panels with a 1/4-inch (6.4-mm) gap where they abut masonry or similar materials that might retain moisture, to prevent wicking.
- B. Apply fasteners so heads bear tightly against face of sheathing, but do not cut into facing.

c. Fill and sand edge joints of underlayment receiving resilient flooring immediately before installing flooring

spacing. Attach at perimeter and within field of panel to each stud. Space fasteners approximately 8 inches (200 mm) o.c. and set back a minimum of 3/8 inch (9.5 mm) from edges and ends of panels. 2. For sheathing under stucco cladding, panels may be initially tacked in place with screws if overlying self-furring metal lath is screw-attached through sheathing to studs immediately after sheathing is installed.

C. Horizontal Installation: Install sheathing with V-grooved edge down and tongue edge up. Interlock tongue with groove to bring long edges in contact

with edges of adjacent panels without forcing. Abut ends over centers of studs, and stagger end joints of adjacent panels not less than one stud

field of panel to each stud. Space fasteners approximately 8 inches (200 mm) o.c. and set back a minimum of 3/8 inch (9.5 mm) from edges and ends of panels. For sheathing under stucco cladding, panels may be initially tacked in place with screws if overlying self-furring metal lath is screw-attached through sheathing to studs immediately after sheathing is installed.

D. Vertical Installation: Install vertical edges centered over studs. Abut ends and edges with those of adjacent panels. Attach at perimeter and within

- Seal sheathing joints according to sheathing manufacturer's written instructions. Apply elastomeric sealant to joints and fasteners and trowel flat. Apply sufficient amount of sealant to completely cover joints and fasteners after

22-099

2120 E. 11 Mile Rd. | Royal Oak, MI 48067 **P:** 248.414.9270 **F:** 248.414.9275 www.kriegerklatt.com

Client:

Verus Development Group

KRIEGER KLATT

Project: Project Name 19876 Mack Ave

Grosse Pointe Woods MI

Description Issued 8/11/2022 Permits

Seal:

Do not scale drawings. Use calculated dimensions only

North Arrow:

Note:

Sheet Title:

Verify existing conditions in

Project Number

Scale:

2. Apply glass-fiber sheathing tape to glass-mat gypsum sheathing joints and apply and trowel sealant to embed entire face of tape in sealant. Apply sealant to exposed fasteners with a trowel so fasteners are completely covered. Seal other penetrations and openings.

3.04 CEMENTITIOUS BACKER UNIT INSTALLATION

A. Install panels and treat joints according to ANSI A108.11 and manufacturer's written instructions for type of application indicated.

END OF SECTION 061600 06 1600

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

SECTION 07 1400 FLUID-APPLIED WATERPROOFING

PART 1 GENERAL

1.01 RELATED REQUIREMENTS

A. Refer to Section 07 2400 - Exterior Insulation and Finish Systems for Water Resistive Barrier Coating requirements. Use continuous system under one warranty for new facade. Follow manufacturer requirements for tie-in to existing system.

PART 2 PRODUCTS

END OF SECTION 07 1400 SECTION 07 2100 THERMAL INSULATION

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Board insulation at over roof deck and exterior wall behind masonry wall finish.
- B. Batt insulation in exterior wall construction.
- C. Batt insulation for filling perimeter window and door shim spaces and crevices in exterior wall and roof.

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data on product characteristics, performance criteria, and product limitations.
- C. ABAA Field Quality Control Submittals: Submit third-party reports of testing and inspection required by ABAA QAP.
- D. ABAA Manufacturer Qualification: Submit documentation of current evaluation of proposed manufacturer and materials.
- E. ABAA Installer Qualification: Submit documentation of current contractor accreditation and current installer certification. Keep copies of contractor accreditation and installer certification on project site during and after installation. Present on-site documentation upon request.

1.03 QUALITY ASSURANCE

- A. Air Barrier Association of America (ABAA) Quality Assurance Program (QAP); www.airbarrier.org/#sle:
- Installer Qualification: Use accredited contractors, certified installers, evaluated materials, and third-party field quality control audit. 2. Manufacturer Qualification: Use evaluated materials from a single manufacturer regularly engaged in air barrier material manufacture. Use secondary materials approved in writing by primary material manufacturer.

1.04 FIELD CONDITIONS

A. Do not install insulation adhesives when temperature or weather conditions are detrimental to successful installation.

PART 2 PRODUCTS

- 2.01 APPLICATIONS
- A. Insulation Over Metal Stud Framed Walls, Continuous: Extruded polystyrene (XPS) carbon black board. B. Insulation in Metal Framed Walls: Batt insulation with integral vapor retarder.
- C. Insulation Over Roof Deck: Polyisocyanurate board.
- D. Insulation over concrete roof deck: Polyisocyanurate board
- E. Protection Board placed over the Rigid Insulation: 1/2" Cover Board

2.02 FOAM BOARD INSULATION MATERIALS

- A. Extruded Polystyrene (XPS) Continuous Insulation (CI) Board: Complies with ASTM C578, and manufactured using carbon black technology.
 - Flame Spread Index (FSI): Class A 0 to 25, when tested in accordance with ASTM E84.
- Smoke Developed Index (SDI): 450 or less, when tested in accordance with ASTM E84.
- 3. Type and Thermal Resistance, R-value (RSI-value): Type IV, 5.0 (0.88), minimum, per 1 inch (25.4 mm) thickness at 75 degrees F (24 degrees C) mean temperature.
- 4. Board Size: 48 inch by 96 inch (1220 mm by 2440 mm). 5. Board Edges: Shiplap, at long edges.

2.03 BATT INSULATION MATERIALS

- A. Where batt insulation is indicated, either glass fiber or mineral fiber batt insulation may be used, at Contractor's option.
- B. Glass Fiber Batt Insulation: Flexible preformed batt or blanket, complying with ASTM C665; friction fit. Flame Spread Index: 25 or less, when tested in accordance with ASTM E84.
- Smoke Developed Index: 450 or less, when tested in accordance with ASTM E84.
- Combustibility: Non-combustible, when tested in accordance with ASTM E136, except for facing, if any. 4. Formaldehyde Content: Zero.
- Thermal Resistance: R-value (RSI-value) of [as depicted on drawings] ([____]).
- Manufacturers: a. CertainTeed Corporation; [_____]: www.certainteed.com/#sle.
- b. Johns Manville; [____]: www.jm.com/#sle.
- Owens Corning Corporation; EcoTouch PINK FIBERGLAS Insulation: www.ocbuildingspec.com/#sle. Substitutions: See Section 01 6000 - Product Requirements.
- C. Mineral Fiber Batt Insulation: Flexible or semi-rigid preformed batt or blanket, complying with ASTM C665; friction fit; unfaced flame spread index of
- 0 (zero) when tested in accordance with ASTM E84.
- Flame Spread Index: 25 or less, when tested in accordance with ASTM E84.
- Smoke Developed Index: 0 (zero), when tested in accordance with ASTM E84. Thermal Resistance: R-value (RSI-value) of [___] (___).
- 4. Thickness: []inch ([]mm).
- Manufacturers:
- a. Johns Manville; MinWool Sound Attenuation Fire Batts: www.jm.com/#sle. b. ROCKWOOL (ROXUL, Inc); COMFORTBATT: www.rockwool.com/#sle.

2.04 ACCESSORIES

- A. Flashing Tape: Special reinforced film with high performance adhesive. 1. Application: Window and door opening flashing tape.
- Width: As required for application.
- 3. Primer: Tape manufacturer's recommended product.
- B. Tape: Bright aluminum self-adhering type, mesh reinforced, 2 inch (50 mm) wide.
- C. Tape joints of rigid insulation in accordance with roofing and insulation manufacturers' instructions.
- D. Insulation Fasteners: Appropriate for purpose intended and approved by roofing manufacturer.
- 1. Length as required for thickness of insulation material and penetration of deck substrate.
- E. Adhesive: Type recommended by insulation manufacturer for application.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that substrate, adjacent materials, and insulation materials are dry and that substrates are ready to receive insulation.
- B. Verify substrate surfaces are flat, free of honeycomb, fins, irregularities, or materials or substances that may impede adhesive bond.

3.02 BOARD INSTALLATION AT EXTERIOR WALLS

- A. Adhere 6 inches (152 mm) wide strip of polyethylene sheet over expansion joints with double beads of adhesive each side of joint. Tape seal joints between sheets.
- Extend sheet full height of joint.
- B. Install rigid insulation directly to steel studs or exterior grade sheathing at 16 inches (406 mm) on center with manufacturer recommended mechanical fasteners, and tape joints with manufacturer's minimum 4 inches (102 mm) wide sealant tape; comply with ASTM E2357.
- C. Install boards horizontally on walls.

Place boards to maximize adhesive contact.

- Install in running bond pattern.
- Butt edges and ends tightly to adjacent boards and protrusions.
- D. Extend boards over expansion joints, unbonded to wall on one side of joint.
- Cut and fit insulation tightly to protrusions or interruptions to the insulation plane.
- 3.03 BOARD INSTALLATION OVER LOW SLOPE ROOF DECK INSET BALCONIES AND EXTERIOR TERRACES

A. Board Installation Over Roof Deck, General:

- 2. Fasten insulation to deck in accordance with roofing manufacturer's written instructions and applicable Factory Mutual requirements
- 1. See applicable roofing specification section for specific board installation requirements.

3. Do not apply more insulation than can be covered with roofing on the same day. 3.04 BATT INSTALLATION

- A. Install insulation in accordance with manufacturer's instructions.
- B. Install in exterior wall and roof spaces without gaps or voids. Do not compress insulation.
- C. Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids.
- D. Fit insulation tightly in cavities and tightly to exterior side of mechanical and electrical services within the plane of the insulation.
- E. Staple or nail facing flanges in place at maximum 6 inches (152 mm) on center. F. Tape seal butt ends, lapped flanges, and tears or cuts in membrane.
- 3.05 FIELD QUALITY CONTROL

- A. See Section 01 4000 Quality Requirements, for additional requirements
- B. Coordination of Air Barrier Association of America (ABAA) Tests and Inspections:
 - Provide testing and inspection required by ABAA Quality Assurance Program (QAP).
- Notify ABAA in writing of schedule for air barrier work, and allow adequate time for testing and inspection.
- Cooperate with ABAA testing agency.
- Allow access to air barrier work areas and staging.
- Do not cover air barrier work until tested, inspected, and accepted.

3.06 PROTECTION

- A. Do not permit installed insulation to be damaged prior to its concealment.
 - **END OF SECTION 07 2100**

SECTION 07 4113 METAL ROOF PANELS

PART 1 GENERAL 1.01 SECTION INCLUDES

A. Architectural roofing system of preformed steel panels.

1.02 RELATED REQUIREMENTS

A. Section 07 9200 - Joint Sealants: Sealing joints between metal roof panel system and adjacent construction.

1.03 REFERENCE STANDARDS

- A. AAMA 2605 Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum
- Extrusions and Panels (with Coil Coating Appendix) 2020, with Errata (2022). B. ASTM D1970/D1970M - Standard Specification for Self-Adhering Polymer Modified Bituminous Sheet Materials Used as Steep Roofing
- Underlayment for Ice Dam Protection 2021. C. ICC-ES AC188 - Acceptance Criteria for Roof Underlayments 2012, with Editorial Revision (2015).

1.04 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures. B. Shop Drawings: Include layouts of roof panels, details of edge and penetration conditions, spacing and type of connections, flashings,
- Show work to be field-fabricated or field-assembled.

underlayments, and special conditions.

- C. Selection Samples: For each roofing system specified, submit color chips representing manufacturer's full range of available colors and patterns. 1.05 DELIVERY, STORAGE, AND HANDLING
- A. Store roofing panels on project site as recommended by manufacturer to minimize damage to panels prior to installation. PART 2 PRODUCTS

2.01 MANUFACTURERS

- Petersen Aluminum Corporation; Snap-Clad Panel: www.pac-clad.com/#sle.
- Substitutions: See Section 01 6000 Product Requirements.

2.02 ARCHITECTURAL METAL ROOF PANELS

- A. Architectural Metal Roofing: Provide complete engineered system complying with specified requirements and capable of remaining weathertight
- while withstanding anticipated movement of substrate and thermally induced movement of roofing system.
- B. Metal Panels: Factory-formed panels with factory-applied finish.
- Steel Panels:
- a. Steel Thickness: Minimum 24 gage (0.024 inch) (0.61 mm). Profile: Standing seam, with minimum 1.0 inch (25 mm) seam height; concealed fastener system lapped seam in standing seam profile.
- Texture: Smooth
- Width: Maximum panel coverage of 24 inches (610 mm).
- C. Metal Soffit Panels:
- Profile: Style as indicated, with venting provided. Material: Precoated steel sheet, 22 gage, 0.0299 inch (0.76 mm) minimum thickness.
- Color: As indicated on drawings.

2.03 ATTACHMENT SYSTEM

- A. Concealed System: Provide manufacturer's standard stainless steel or nylon-coated aluminum concealed anchor clips designed for specific roofing system and engineered to meet performance requirements, including anticipated thermal movement.
- 2.04 FABRICATION A. Panels: Provide factory fabricated panels with applied finish and accessory items, using manufacturer's standard processes as required to achieve
- specified appearance and performance requirements. B. Joints: Provide captive gaskets, sealants, or separator strips at panel joints to ensure weathertight seals, eliminate metal-to-metal contact, and
- minimize noise from panel movements. 2.05 FINISHES
- A. Fluoropolymer Coil Coating System: Manufacturer's standard multi-coat aluminum coil coating system complying with AAMA 2605, including at least 70 percent polyvinylidene fluoride (PVDF) resin, and at least 80 percent of coil coated aluminum surfaces having minimum total dry film thickness (DFT) of 0.9 mil, 0.0009 inch (0.023 mm); color and gloss to match sample. B. Fluoropolymer Coil Coating System: Polyvinylidene fluoride (PVDF) multi-coat superior performing organic coatings system complying with AAMA
- (DFT) of 0.9 mil, 0.0009 inch (0.023 mm); color and gloss as selected by Architect from manufacturer's standard line.
- 2.06 ACCESSORIES A. Miscellaneous Sheet Metal Items: Provide flashings, gutters, downspouts, trim, moldings, closure strips, preformed crickets, caps, and equipment

2605, including at least 70 percent PVDF resin, and at least 80 percent of coil coated aluminum surfaces having minimum total dry film thickness

- curbs of the same material, thickness, and finish as used for the roofing panels. Items completely concealed after installation may optionally be made B. Rib and Ridge Closures: Provide prefabricated, close-fitting components of steel with corrosion resistant finish or combination steel and closed-cell
- C. Sealants:
- Exposed Sealant: Elastomeric; silicone, polyurethane, or silyl-terminated polyether/polyurethane. Concealed Sealant: Non-curing butyl sealant or tape sealant.
- Seam Sealant: Factory-applied, non-skinning, non-drying type. D. Underlayment: Self-adhering rubber-modified asphalt sheet complying with ASTM D1970/D1970M; 22 mil (0.55 mm) total thickness; with strippable release film and woven polypropylene sheet top surface.
 - Minimum Requirements: Comply with requirements of ICC-ES AC188 for non-self-adhesive sheet. Self Sealability: Passing nail sealability test specified in ASTM D1970/D1970M.

 - a. Polyglass USA, Inc; Polystick MTS Self-Adhered High Temperature Roof Underlayment: www.polyglass.us/#sle. b. GCP Applied Technologies; Grace ULTRA Membrane.

C. Coordinate installation of waterproof membrane over roof sheathing with 06 1000.

PART 3 EXECUTION

- 3.01 EXAMINATION
- A. Do not begin installation of preformed metal roof panels until substrates have been properly prepared. B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.02 PREPARATION

- A. Broom clean wood sheathing prior to installation of roofing system.
- B. Coordinate roofing work with provisions for roof drainage, flashing, trim, penetrations, and other adjoining work to assure that the completed roof will
- E. Separate dissimilar metals by applying a bituminous coating, self-adhering rubberized asphalt sheet, or other permanent method approved by roof
- F. Where metal will be in contact with wood or other absorbent material subject to wetting, seal joints with sealing compound and apply one coat of heavy-bodied bituminous paint.

D. Remove protective film from surface of roof panels immediately prior to installation. Strip film carefully, to avoid damage to prefinished surfaces.

3.03 INSTALLATION

- A. Overall: Install roofing system in accordance with approved shop drawings and panel manufacturer's instructions and recommendations, as applicable to specific project conditions. Anchor all components of roofing system securely in place while allowing for thermal and structural
- Install roofing system with concealed clips and fasteners, except as otherwise recommended by manufacturer for specific circumstances. Minimize field cutting of panels. Where field cutting is absolutely required, use methods that will not distort panel profiles. Use of torches for field cutting is absolutely prohibited.
- B. Accessories: Install all components required for a complete roofing assembly, including flashings, gutters, downspouts, trim, moldings, closure strips, preformed crickets, caps, equipment curbs, rib closures, ridge closures, and similar roof accessory items.

C. Roof Panels: Install panels in strict accordance with manufacturer's instructions, minimizing transverse joints except at junction with penetrations.

- 3.04 CLEANING A. Clean exposed sheet metal work at completion of installation. Remove grease and oil films, excess joint sealer, handling marks, and debris from installation, leaving the work clean and unmarked, free from dents, creases, waves, scratch marks, or other damage to the finish.
- 3.05 PROTECTION A. Do not permit storage of materials or roof traffic on installed roof panels. Provide temporary walkways or planks as necessary to avoid damage to completed work. Protect roofing until completion of project.
- B. Touch-up, repair, or replace damaged roof panels or accessories before Date of Substantial Completion.

END OF SECTION 07 4113

SECTION 07 5323 EPDM THERMOSET SINGLE-PLY ROOFING - CARLISLE

PART 1 GENERAL

- 1.01 SECTION INCLUDES A. Adhered roof system with ethylene propylene diene terpolymer (EPDM) roofing membrane.
- B. Insulation, flat and tapered.
- C. Flashings.

D. Roofing cant strips, stack boots, roofing expansion joints, and walkway pads. 1.02 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data: Provide manufacturer's written information listed below.
- Product data indicating membrane materials, flashing materials, insulation, vapor retarder, surfacing, and fasteners. C. Shop Drawings: Indicate joint or termination detail conditions, conditions of interface with other materials, and paver layout.

1.03 QUALITY ASSURANCE

- A. Installer Qualifications: Company specializing in performing the work of this section:
- Approved by membrane manufacturer. 2. Extend manufacturer's labor and materials guarantee.
- B. Single Source Responsibility: Provide and install products from single source. 1.04 DELIVERY, STORAGE, AND HANDLING

B. Store products in weather protected environment, clear of ground and moisture.

- Deliver products in manufacturer's original containers, dry, undamaged, with seals and labels intact.
- Protect foam insulation from direct exposure to sunlight. D. Keep Material Safety Data Sheets (MSDS) at the project site at all times during transportation, storage, and installation of materials.
- E. Comply with all requirements of Owner to prevent overloading or disturbance of the structure when loading materials onto the roof. 1.05 FIELD CONDITIONS
- Do not apply roofing membrane during unsuitable weather. Refer to manufacturer's written instructions. B. Do not apply roofing membrane when ambient temperature is below 40 degrees F (5 degrees C) or above [____] degrees F ([____] degrees C).
- C. Do not apply roofing membrane to damp or frozen deck surface or when precipitation is expected or occurring.
- D. Do not expose materials vulnerable to water or sun damage in quantities greater than can be weatherproofed the same day. E. Proceed with work so new roofing materials are not subject to construction traffic as work progresses

F. Do not allow grease, oil, fats, or other contaminants to come into direct contact with membrane.

PART 2 PRODUCTS 2.01 MANUFACTURER

- A. Carlisle SynTec: www.carlisle-syntec.com/#sle.
- B. Johns Manville
- C. Substitutions: See Section 01 6000 Product Requirements. 2.02 ROOFING APPLICATIONS
- A. EPDM Membrane Roofing: One ply membrane, fully adhered, over insulation.
- B. Roofing Assembly Performance Requirements and Design Criteria: Roof Covering External Fire Resistance Classification: Class A when tested per UL 790.
- Wind Uplift: Designed to withstand wind uplift forces calculated with ASCE 7.
- Insulation Thermal Resistance (R-Value): 5.0 per inch, minimum; provide insulation of thickness required. 4. Drainage: No standing water within 48 hours after precipitation.

Thickness: 60 mils (0.060 inch) (1.5 mm), minimum.

B. Seaming Materials: As recommended by membrane manufacturer.

3. Sheet Width: Factory fabricated into largest sheets possible

- 2.03 ROOFING MEMBRANE AND ASSOCIATED MATERIALS
 - Material: Ethylene propylene diene terpolymer (EPDM); ASTM D4637/D4637M, Type I (non-reinforced).
 - Color: Black.
- C. Flexible Flashing Material: Same material as membrane.
- D. Base Flashing: Provide waterproof, fully adhered base flashing system at all penetrations, plane transitions, and terminations. 2.04 DECK SHEATHING AND COVER BOARDS

Board Size: 4' x 4'

- A. Cover Board: High Density Polyisocyanurate foam core, complying with ASTM C1289; Type II, Grade 3. Board Thickness: 1/4"
- Fully Adhered Compressive Strength: 150 PSI

5. Product: Johns Manville - INVINSA Roof Board (or approved equal) 2.05 INSULATION

- Compressive Strength: 25 pounds per square inch (172 kPa). Tapered Board: Slope as indicated; minimum thickness 5 inch ([] mm); fabricate of fewest layers possible.
- Product: Johns Manville ENRGY 3 (or approved equal) 2.06 ACCESSORIES

A. Polyisocyanurate Board Insulation: ASTM C1289, Type II, Class 1, fiber reinforced felt both faces; Grade 3 and with the following characteristics:

1. Concrete Plaza Pavers: 2 feet (609 mm) square, 2 inch (51 mm) thick, precast concrete pavers weighing a minimum of 18 pounds (8.2 kg) and

- A. Prefabricated Flashing Accessories: 1. Corners and Seams: Same material as membrane, in manufacturer's standard thicknesses.
- Penetrations: Same material as membrane, with manufacturer's standard cut-outs, rigid inserts, clamping rings, and flanges. Sealant Pockets: Same material as membrane, with manufacturer's standard accessories, in manufacturer's standard configuration.
- Sure-Seal Pressure-Sensitive Reinforced Universal Securement Strip (RUSS): B. Insulation Fasteners: Appropriate for purpose intended and approved by roofing manufacturer.
- C. Membrane Adhesive: As recommended by membrane manufacturer.
- D. Surface Conditioner for Adhesives: Compatible with membrane and adhesives.

E. Sealants: As recommended by membrane manufacturer.

- F. Cleaner: Manufacturer's standard, clear, solvent-based cleaner.
- G. Edgings and Terminations: Manufacturer's standard edge and termination accessories. Product: Anchor bar fascia system.
- Product: Drip edge.
- 2.07 INTERNAL PATIOS AND ROOFTOP TERRACES
 - a minimum compressive strength of 6,500 pounds per square inch (44.8 MPa). a. Manufacturer: Hanover - roof and plaza pavers (or approved equal) b. Color: to be selected by Architect from manuf. full range
 - c. Usage: pedestrians 2. Paver Pedestals: Rubber; elevate pavers above membrane to allow free drainage.
- a. Manufacturer: Hanover Pedestal and Shims (or approved equal) b. Provide all components necessary for a complete installation

B. Not In Contract: Concrete curbs, landscape lumber, plants, growth medium, and other landscape products

3.02 PREPARATION, GENERAL

A. Hardscape:

- PART 3 EXECUTION 3.01 EXAMINATION
- A. Verify that surfaces and site conditions are ready to receive work. B. Verify deck is supported and secure.
- C. Verify deck is clean and smooth, flat, free of depressions, waves, or projections, properly sloped and suitable for installation of roof system. Verify deck surfaces are dry and free of snow or ice.

A. Clean substrate thoroughly prior to roof application.

3.03 CONCRETE DECK PREPARATION A. Fill surface honeycomb and variations with latex filler.

B. Do not apply roofing membrane during unsuitable weather.

B. Confirm dry deck by moisture meter with 12 percent moisture maximum when tested per ASTM D4263. 3.04 INSTALLATION - GENERAL

B. Do not begin work until other work that requires foot or equipment traffic on roof is complete.

C. Do not apply roofing membrane when ambient temperature is outside the temperature range recommended by manufacturer.

A. Perform work in accordance with manufacturer's instructions and NRCA (RM) applicable requirements.

E. Verify that roof openings, curbs, and penetrations through roof are solidly set, and cant strips are in place.

D. Do not apply roofing membrane to damp or frozen deck surface or when precipitation is expected or occurring.

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Client:

Verus Development Group

Project: Project Name 19876 Mack Ave

Grosse Pointe Woods MI

Description Issued 8/11/2022 Permits

Seal:

Note: Do not scale drawings. Use calculated dimensions only.

North Arrow:

Verify existing conditions in

Sheet Title:

Project Number:

Scale:

22-099

E. Do not expose materials vulnerable to water or sun damage in quantities greater than can be weatherproofed the same day.

3.05 INSULATION APPLICATION

A. Attachment of Insulation:

1. Mechanically fasten insulation to deck in accordance with roofing manufacturer's instructions and Factory Mutual requirements.

B. Lay subsequent layers of insulation with joints staggered minimum 6 inch (152 mm) from joints of preceding layer.

C. Lay boards with edges in moderate contact without forcing, and gap between boards no greater than 1/4 inch (6 mm). Cut insulation to fit neatly to perimeter blocking and around penetrations through roof.

D. Do not apply more insulation than can be completely waterproofed in the same day.

3.06 MEMBRANE APPLICATION

A. Roll out membrane, free from wrinkles or tears. Place sheet into place without stretching.

B. Shingle joints on sloped substrate in direction of drainage.

C. Fully Adhered Application: Apply adhesive at manufacturer's recommended rate. Fully embed membrane in adhesive except in areas directly over or within 3 inches (75 mm) of expansion joints. Fully adhere one roll before proceeding to adjacent rolls.

D. Overlap edges and ends and seal seams by contact adhesive, minimum 3 inches (75 mm). Seal permanently waterproof.

E. At intersections with vertical surfaces:

1. Extend membrane over cant strips and up a minimum of 4 inches (100 mm) onto vertical surfaces.

2. Fully adhere flexible flashing over membrane and up to nailing strips.

F. Install roofing expansion joints where indicated. Make joints watertight.

G. Install prefabricated joint components in accordance with manufacturer's instructions.

H. Coordinate installation of roof drains and sumps and related flashings. Locate all field splices away from low areas and roof drains. Lap upslope

Daily Seal: Install daily seal per manufacturers instructions at the end of each work day. Prevent infiltration of water at incomplete flashings, terminations, and at unfinished membrane edges.

3.07 FIELD QUALITY CONTROL

A. See Section 01 4000 - Quality Requirements, for general requirements for field quality control and inspection. B. Require site attendance of roofing and insulation material manufacturers daily during installation of the Work.

3.08 CLEANING

A. See Section 01 7419 - Construction Waste Management and Disposal, for additional requirements.

documented instructions.

B. Remove bituminous markings from finished surfaces. C. In areas where finished surfaces are soiled by work of this section, consult manufacturer of surfaces for cleaning advice and conform to their

Repair or replace defaced or damaged finishes caused by work of this section.

3.09 PROTECTION

A. Protect installed roofing and flashings from construction operations.

B. Where traffic must continue over finished roof membrane, protect surfaces using durable materials.

END OF SECTION 07 5323 **SECTION 07 6200** SHEET METAL FLASHING AND TRIM

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Fabricated sheet metal items, including flashings, counterflashings, and other items indicated in Schedule.

B. Sealants for joints within sheet metal fabrications.

1.02 SUBMITTALS

A. See Section 01 3000 - Administrative Requirements, for submittal procedures.

1.03 QUALITY ASSURANCE

A. Perform work in accordance with SMACNA (ASMM) and CDA A4050 requirements and standard details, except as otherwise indicated. 1.04 DELIVERY, STORAGE, AND HANDLING

A. Stack material to prevent twisting, bending, and abrasion, and to provide ventilation. Slope metal sheets to ensure drainage.

B. Prevent contact with materials that could cause discoloration or staining. **PART 2 PRODUCTS**

2.01 MANUFACTURERS

A. Sheet Metal Flashing and Trim Manufacturers: all qualified manufacturers are allowed .

2.02 SHEET MATERIALS

A. Pre-Finished Galvanized Steel: ASTM A653/A653M, with G90/Z275 zinc coating; minimum 24 gage, (0.0239) inch (0.61 mm) thick base metal, shop pre-coated with PVDF coating.

1. PVDF (Polyvinylidene Fluoride) Coating: Superior Performance Organic Finish, AAMA 2605; multiple coat, thermally cured fluoropolymer finish

2. Color: Match adjacent material.

B. Aluminum: ASTM B209 (ASTM B209M); 20 gage, (0.032 inch) (0.81 mm) thick; anodized finish of color as selected.

C. Pre-Finished Aluminum: ASTM B209 (ASTM B209M); 20 gage, (0.032 inch) (0.81 mm) thick; plain finish shop pre-coated with modified silicone

1. Modified Silicone Polyester Coating: Pigmented Organic Coating System, AAMA 2603; baked enamel finish system.

2. Color: Match adjacent material.

D. Stainless Steel: ASTM A666, Type 304 alloy, soft temper, 28 gage, (0.0156 inch) (0.40 mm) thick; smooth No. 4 - Brushed finish.

2.03 FABRICATION

A. Form sections true to shape, accurate in size, square, and free from distortion or defects.

B. Form pieces in longest possible lengths. C. Hem exposed edges on underside 1/2 inch (13 mm); miter and seam corners.

D. Form material with flat lock seams, except where otherwise indicated; at moving joints, use sealed lapped, bayonet-type or interlocking hooked

E. Fabricate corners from one piece with minimum 18 inch (450 mm) long legs; seam for rigidity, seal with sealant.

F. Fabricate flashings to allow toe to extend 2 inches (50 mm) over roofing [_____]. Return and brake edges.

2.04 ACCESSORIES

A. Fasteners: Galvanized steel, with soft neoprene washers.

B. Primer: Zinc chromate type.

C. Concealed Sealants: Non-curing butyl sealant.

D. Exposed Sealants: ASTM C920; elastomeric sealant, with minimum movement capability as recommended by manufacturer for substrates to be sealed; color to match adjacent material.

E. Plastic Cement: ASTM D4586/D4586M, Type I. PART 3 EXECUTION

3.01 EXAMINATION

A. Verify roof openings, curbs, pipes, sleeves, ducts, and vents through roof are solidly set, reglets in place, and nailing strips located.

B. Verify roofing termination and base flashings are in place, sealed, and secure. 3.02 PREPARATION

A. Install starter and edge strips, and cleats before starting installation. B. Back paint concealed metal surfaces with protective backing paint to a minimum dry film thickness of 15 mil (0.4 mm).

3.03 INSTALLATION

A. Secure flashings in place using concealed fasteners, and use exposed fasteners only where permitted... B. Apply plastic cement compound between metal flashings and felt flashings.

C. Fit flashings tight in place; make corners square, surfaces true and straight in planes, and lines accurate to profiles.

D. Seal metal joints watertight.

3.04 SCHEDULE

A. Through-Wall Flashing in Masonry: at masonry veneer and CMU walls

B. Fascia and Cornicesat overhangs and cornices : as depicted on the drawings C. Coping, Cap, Parapet, Sill and Ledge Flashings: at all parapet caps, window sills and material edge flashing as shown on the drawings.

D. Counterflashings at Curb-Mounted Roof Items, including skylights and roof hatches: at all roof curbs for mechancial items

END OF SECTION 07 6200

SECTION 07 7100 ROOF SPECIALTIES

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Manufactured roof specialties, including copings, fascias, gravel stops, and vents.

1.02 SUBMITTALS

A. See Section 01 3000 - Administrative Requirements, for submittal procedures.

B. Product Data: Provide data on shape of components, materials and finishes, anchor types and locations.

C. Samples: Submit two appropriately sized samples of coping.

D. Manufacturer's Installation Instructions: Indicate special procedures, fasteners, supporting members, and perimeter conditions requiring special

PART 2 PRODUCTS

2.01 MANUFACTURERS

A. Roof Edge Flashings and Copings:

B. Pipe and Penetration Flashings: Portals Plus; [____]: www.portalsplus.com/#sle.

C. Roof Vents:

2.02 COMPONENTS

 A. Roof Edge Flashings: Factory fabricated to sizes required; mitered, welded corners; concealed fasteners. Configuration: Fascia, cant, and edge securement for roof membrane.

Pull-Off Resistance: Tested in accordance with ANSI/SPRI/FM 4435/ES-1 using test methods RE-1 and RE-2 to positive and negative design wind pressure as defined by applicable local building code.

3. Material: Formed aluminum sheet, 0.063 inch (1.6 mm) thick, minimum. Finish: Mill finish.

Color: Match adjacent material color.

B. Copings: Factory fabricated to sizes required; mitered, welded corners; concealed fasteners.

1. Configuration: Concealed continuous hold down cleat at both legs; internal splice piece at joints of same material, thickness and finish as cap; concealed stainless steel fasteners.

Pull-Off Resistance: Tested in accordance with ANSI/SPRI/FM 4435/ES-1 using test method RE-3 to positive and negative design wind pressure as defined by applicable local building code.

Material: Formed steel sheet, galvanized, 24 gage, 0.024 inch (0.6 mm) thick, minimum. Color: Match adjacent material color..

Manufacturers: PART 3 EXECUTION

3.01 EXAMINATION

A. Verify that deck, curbs, roof membrane, base flashing, and other items affecting work of this Section are in place and positioned correctly.

3.02 INSTALLATION

A. Install components in accordance with manufacturer's instructions and NRCA (RM) applicable requirements.

END OF SECTION 07 7100 SECTION 07 7200 ROOF ACCESSORIES

PART 1 GENERAL

1.01 SECTION INCLUDES A. Curbs.

B. Equipment rails.

C. Roof penetrations mounting curbs.

1.02 SUBMITTALS

See Section 01 3000 - Administrative Requirements, for submittal procedures.

B. Product Data: Manufacturer's data sheets on each product to be used.

Preparation instructions and recommendations. Storage and handling requirements and recommendations.

Installation methods.

Maintenance requirements.

5. For smoke hatches, submit evidence of approval by evaluation agency specified. C. Shop Drawings: Submit detailed layout developed for this project and provide dimensioned location and number for each type of roof accessory.

D. Warranty Documentation:

Submit manufacturer warranty. Ensure that forms have been completed in Owner's name and registered with manufacturer. 3. Submit documentation that roof accessories are acceptable to roofing manufacturer, and do not limit the roofing warranty.

1.03 DELIVERY, STORAGE, AND HANDLING A. Store products in manufacturer's unopened packaging until ready for installation.

B. Store products under cover and elevated above grade. PART 2 PRODUCTS

2.01 ROOF CURBS

A. Manufacturers: B. Roof Curbs Mounting Assemblies: Factory fabricated hollow sheet metal construction, internally reinforced, and capable of supporting superimposed live and dead loads and designated equipment load with fully mitered and sealed corner joints welded or mechanically fastened, and integral

counterflashing with top and edges formed to shed water. Roof Curb Mounting Substrate: Curb substrate consists of standing seam metal roof panel system. Sheet Metal Material:

a. Aluminum: 0.080 inch (2.03 mm) minimum thickness, with 3003 alloy, and H14 temper. Galvanized Steel: Hot-dip zinc coated steel sheet complying with ASTM A653/A653M, SS Grade 33 (230); G60 (Z180) coating designation; 18 gage, 0.048 inch (1.21 mm) thick.

Roofing Cants: Provide integral sheet metal roofing cants dimensioned to begin slope at top of roofing system at 1:1 slope; minimum cant height 4 inches (102 mm). Fabricate curb bottom and mounting flanges for installation directly on metal roof panel system to match slope and configuration of system. a. Extend side flange to next adjacent roof panel seam and comply with seam configurations and seal connection, providing at least 6 inch

(152 mm) clearance between curb and metal roof panel flange allowing water to properly flow past curb. b. Where side of curb aligns with metal roof panel flange, attach fasteners on upper slope of flange to curb connection allowing water to flow past below fasteners, and seal connection.

c. Maintain at least 12 inch (305 mm) clearance from curb, and lap upper curb flange on underside of down sloping metal roof panel, and seal

d. Lap lower curb flange overtop of down sloping metal roof panel and seal connection. Provide layouts and configurations indicated on drawings.

C. Curbs Adjacent to Roof Openings: Provide curb on each side of opening, with top of curb horizontal for equipment mounting. Provide preservative treated wood nailers along top of curb. Insulate inside curbs with 1-1/2 inch (38 mm) thick fiberglass insulation.

Height Above Finished Roof Surface: 8 inches (203 mm), minimum. Height Above Roof Deck: 14 inches (356 mm), minimum.

D. Equipment Rail Curbs: Straight curbs on each side of equipment, with top of curbs horizontal and level with each other for equipment mounting. Provide preservative treated wood nailers along top of rails.

Height Above Finished Roof Surface: 8 inches (203 mm), minimum. Height Above Roof Deck: 14 inches (356 mm), minimum.

E. Pipe, Duct, or Conduit Mounting Curbs: Vertical posts, minimum 8 inches (400 mm) square unless otherwise indicated. Provide sliding channel welded along top edge with adjustable height steel bracket, fabricated to fit item supported.

Height Above Finished Roof Surface: 8 inches (203 mm), minimum. Height Above Roof Deck: 14 inches (356 mm), minimum.

3.01 EXAMINATION

A. Do not begin installation until substrates have been properly prepared. B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.02 PREPARATION

PART 3 EXECUTION

 Clean surfaces thoroughly prior to installation. B. Prepare surfaces using methods recommended by manufacturer for achieving acceptable results for applicable substrate under project conditions. 3.03 INSTALLATION

JOINT SEALANTS

A. Install in accordance with manufacturer's instructions, in manner that maintains roofing system weather-tight integrity.

3.04 CLEANING Clean installed work to like-new condition.

3.05 PROTECTION

A. Protect installed products until completion of project.

B. Touch-up, repair or replace damaged products before Date of Substantial Completion. **END OF SECTION 07 7200 SECTION 07 9200**

PART 1 GENERAL

1.01 SECTION INCLUDES Nonsag gunnable joint sealants.

> B. Self-leveling pourable joint sealants C. Joint backings and accessories.

1.02 SUBMITTALS

A. See Section 01 3000 - Administrative Requirements, for submittal procedures.

B. Product Data for Sealants: Submit manufacturer's technical data sheets for each product to be used, that includes the following.

Physical characteristics, including movement capability, VOC content, hardness, cure time, and color availability.

List of backing materials approved for use with the specific product.

Substrates that product is known to satisfactorily adhere to and with which it is compatible. 4. Substrates the product should not be used on.

C. Color Cards for Selection: Where sealant color is not specified, submit manufacturer's color cards showing standard colors available for selection. D. Samples for Verification: Where custom sealant color is specified, obtain directions from Architect and submit at least two physical samples for

verification of color of each required sealant. E. Preconstruction Laboratory Test Reports: Submit at least four weeks prior to start of installation.

F. Preinstallation Field Adhesion Test Reports: Submit filled out Preinstallation Field Adhesion Test Reports log within 10 days after completion of tests: include bagged test samples and photographic records.

A. Field Adhesion Tests of Joints: Test for adhesion using most appropriate method in accordance with ASTM C1521, or other applicable method as recommended by manufacturer.

1.04 WARRANTY A. See Section 01 7800 - Closeout Submittals, for additional warranty requirements.

B. Correct defective work within a five year period after Date of Substantial Completion.

C. Warranty: Include coverage for installed sealants and accessories that fail to achieve watertight seal, exhibit loss of adhesion or cohesion, or do not

PART 2 PRODUCTS

1.03 QUALITY ASSURANCE

2.01 MANUFACTURERS

A. Non-Sag Sealants: Permits application in joints on vertical surfaces without sagging or slumping.

Tremco Commercial Sealants & Waterproofing: www.tremcosealants.com/#sle.

2. Substitutions: See Section 01 6000 - Product Requirements. 2.02 JOINT SEALANT APPLICATIONS

1. Exterior Joints in vertical surfaces: Seal open joints, whether or not the joint is indicated on the drawings, unless specifically indicated not to be sealed. Exterior joints to be sealed include, but are not limited to, the following items.

b. Control and expansion joints in unit masonry. c. Joints between door, window, and other frames and adjacent construction. d. Joints between different exposed materials.

a. Wall expansion and control joints.

g. Other joints indicated below.

e. Openings below ledge angles in masonry. f. Control and expansion joints in ceiling and overhead surfaces.

2. Interior Joints: Do not seal interior joints unless specifically indicated to be sealed. Interior joints to be sealed include, but are not limited to, the following items.

a. Joints between door, window, and other frames and adjacent construction. b. Control and expansion joints between as indicated. c. Other joints indicated below.

Do not seal the following types of joints.

 Intentional weepholes in masonry. b. Joints indicated to be treated with manufactured expansion joint cover or some other type of sealing device.

c. Joints where sealant is specified to be provided by manufacturer of product to be sealed. d. Joints where installation of sealant is specified in another section.

e. Joints between suspended panel ceilings/grid and walls. B. Exterior Joints: Use non-sag silyl-terminated polyether/polyurethane sealant, Type EXT-A, unless otherwise indicated. Joints in Stone and Masonry: Type EXT-A

Glazing Sealant: Type EXT-B 3. Lap Joints in Sheet Metal Fabrication:

b. non-staining

2.03 JOINT SEALANTS - GENERAL

2.04 NONSAG JOINT SEALANTS

2.05 ACCESSORIES

A. Sealants and Primers: Provide products with levels of volatile organic compound (VOC) content as indicated in Section 01 6116. B. Colors: As indicated on the drawings. Provide the Architect with a color chart for selections.

A. Type EXT-B - Silicone Sealant: ASTM C920, Grade NS, Uses M and A; not expected to withstand continuous water immersion or traffic. GLAZING SEALANT (MAY ALSO BE USED FOR MOST GENERAL CONDITIONS)

a. Movement Capability: Plus and minus 50 percent, minimum.

1. Movement Capability: Plus and minus 35 percent, minimum.

c. Color: To be selected by Architect from manufacturer's standard range. d. Manufacturers: TREMCO "Spectrum 2" Type S, Grade-NS, Class 50 or approved equal.

2) Substitutions: See Section 01 6000 - Product Requirements. B. Type [___] - Hybrid Urethane Sealant: ASTM C920, Grade NS, Uses M and A; single component; not expected to withstand continuous water immersion or traffic.

A. Backer Rod: Cylindrical cellular foam rod with surface that sealant will not adhere to, compatible with specific sealant used, and recommended by backing and sealant manufacturers for specific application. Type for Joints Not Subject to Pedestrian or Vehicular Traffic: ASTM C1330: Type O - Open Cell Polyurethane.

Type for Joints Subject to Pedestrian or Vehicular Traffic: ASTM C1330; Type B - Bi-Cellular Polyethylene. Open Cell: 40 to 50 percent larger in diameter than joint width. 4. Closed Cell and Bi-Cellular: 25 to 33 percent larger in diameter than joint width.

B. Backing Tape: Self-adhesive polyethylene tape with surface that sealant will not adhere to and recommended by tape and sealant manufacturers for C. Masking Tape: Self-adhesive, nonabsorbent, non-staining, removable without adhesive residue, and compatible with surfaces adjacent to joints and

D. Joint Cleaner: Non-corrosive and non-staining type, type recommended by sealant manufacturer; compatible with joint forming materials.

E. Primers: Type recommended by sealant manufacturer to suit application; non-staining. PART 3 EXECUTION

Manufacturers:

3.01 EXAMINATION

Verify that joints are ready to receive work.

B. Verify that backing materials are compatible with sealants Verify that backer rods are of the correct size.

D. Preinstallation Adhesion Testing: Install a sample for each test location indicated in the test plan. Test each sample as specified in PART 1 under QUALITY ASSURANCE article. Notify Architect of date and time that tests will be performed, at least seven days in advance.

A. Remove loose materials and foreign matter that could impair adhesion of sealant.

Record each test on Preinstallation Adhesion Test Log as indicated. 4. If any sample fails, review products and installation procedures, consult manufacturer, or take whatever other measures are necessary to ensure adhesion; re-test in a different location; if unable to obtain satisfactory adhesion, report to Architect.

After completion of tests, remove remaining sample material and prepare joint for new sealant installation. 3.02 PREPARATION

B. Clean joints, and prime as necessary, in accordance with manufacturer's instructions. C. Perform preparation in accordance with manufacturer's instructions and ASTM C1193. D. Mask elements and surfaces adjacent to joints from damage and disfigurement due to sealant work; be aware that sealant drips and smears may not

be completely removable.

3.03 INSTALLATION A. Perform work in accordance with sealant manufacturer's requirements for preparation of surfaces and material installation instructions.

Perform acoustical sealant application work in accordance with ASTM C919.

B. Perform installation in accordance with ASTM C1193.

D. Measure joint dimensions and size joint backers to achieve width-to-depth ratio, neck dimension, and surface bond area as recommended by manufacturer, except where specific dimensions are indicated. E. Install bond breaker backing tape where backer rod cannot be used.

G. Do not install sealant when ambient temperature is outside manufacturer's recommended temperature range, or will be outside that range during the entire curing period, unless manufacturer's approval is obtained and instructions are followed. H. Nonsag Sealants: Tool surface concave, unless otherwise indicated; remove masking tape immediately after tooling sealant surface.

F. Install sealant free of air pockets, foreign embedded matter, ridges, and sags, and without getting sealant on adjacent surfaces.

3.04 FIELD QUALITY CONTROL

B. Remove and replace failed portions of sealants using same materials and procedures as indicated for original installation. 3.05 POST-OCCUPANCY

A. Perform field quality control inspection/testing as specified in PART 1 under QUALITY ASSURANCE article.

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Issued

Project: Project Name 19876 Mack Ave Grosse Pointe Woods MI

Description

8/11/2022 Permits

Note: Do not scale drawings. Use calculated dimensions only.

Seal:

Sheet Title:

Specifications

Verify existing conditions in

North Arrow:

Project Number:

22-099 Scale:

A. Post-Occupancy Inspection: Perform visual inspection of entire length of project sealant joints at a time that joints have opened to their greatest width; i.e. at low temperature in thermal cycle. Report failures immediately and repair.

END OF SECTION 07 9200 **DIVISION 08 - OPENINGS SECTION 08 1113** HOLLOW METAL DOORS AND FRAMES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Non-fire-rated hollow metal doors and frames.
- B. Hollow metal frames for wood doors.
- Thermally insulated hollow metal doors with frames

1.02 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data: Materials and details of design and construction, hardware locations, reinforcement type and locations, anchorage and fastening methods, and finishes; and one copy of referenced standards/guidelines.
- C. Shop Drawings: Details of each opening, showing elevations, glazing, frame profiles, and any indicated finish requirements.

1.03 QUALITY ASSURANCE

Maintain at project site copies of reference standards relating to installation of products specified.

1.04 DELIVERY, STORAGE, AND HANDLING

A. Comply with NAAMM HMMA 840 or ANSI/SDI A250.8 (SDI-100) in accordance with specified requirements.

B. Protect with resilient packaging; avoid humidity build-up under coverings; prevent corrosion and adverse effects on factory applied painted finish. PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Hollow Metal Doors and Frames:
- Curries, an Assa Abloy Group company; [____]: www.assaabloydss.com/#sle
- De La Fontaine Inc; Hollow Metal Door Model [_____]: www.delafontaine.com.
- Steelcraft, an Allegion brand; [____]: www.allegion.com/#sle. 4. Substitutions: See Section 01 6000 - Product Requirements.

2.02 PERFORMANCE REQUIREMENTS

- A. Requirements for Hollow Metal Doors and Frames:
- 1. Steel Sheet: Comply with one or more of the following requirements; galvannealed steel complying with ASTM A653/A653M, cold-rolled steel complying with ASTM A1008/A1008M, or hot-rolled pickled and oiled (HRPO) steel complying with ASTM A1011/A1011M, commercial steel (CS) Type B, for each.

- Accessibility: Comply with ICC A117.1 and ADA Standards. Typical Door Face Sheets: Flush. Refer to the door schedule and Typical Door Types on the drawings.
- Glazed Lights: Non-removable stops on non-secure side; sizes and configurations as indicated on drawings. Style: Manufacturers standard. Hardware Preparations, Selections and Locations: Comply with NAAMM HMMA 830 and NAAMM HMMA 831 or BHMA A156.115 and ANSI/SDI A250.8 (SDI-100) in accordance with specified requirements.
- B. Combined Requirements: If a particular door and frame unit is indicated to comply with more than one type of requirement, comply with the specified requirements for each type; for instance, an exterior door that is also indicated as being sound-rated must comply with the requirements specified for exterior doors and for sound-rated doors; where two requirements conflict, comply with the most stringent.

2.03 HOLLOW METAL DOORS

- A. Type HM-A and HM-B, Exterior Doors: Thermally insulated.
 - 1. Based on SDI Standards: ANSI/SDI A250.8 (SDI-100).
 - a. Level 3 Extra Heavy-duty.
 - b. Physical Performance Level A 1 000 000 cycles; in accordance with ANSI/SDI A250.4. c. Model 1 - Full Flush.
 - d. Door Face Metal Thickness: 16 gage, 0.053 inch (1.3 mm), minimum.
- Door Core Material: Manufacturers standard core material/construction and in compliance with requirements.
- Door Thermal Resistance: R-Value of 6.0 minimum, for installed thickness of polystyrene.
- Door Thickness: 1-3/4 inch (44.5 mm), nominal. Weatherstripping: As noted on the hardware schedule.
- Door Finish: Factory primed and field finished.
- B. Type HM-A and HM-B, Interior Doors, Non-Fire Rated:
- Based on SDI Standards: ANSI/SDI A250.8 (SDI-100). a. Level 2 - Heavy-duty.
- b. Physical Performance Level B 500 000 cycles; in accordance with ANSI/SDI A250.4.
- Model 1 Full Flush.
- d. Door Face Metal Thickness: 18 gage, 0.042 inch (1.0 mm), minimum. Door Core Material: Manufacturers standard core material/construction and in compliance with requirements.
- Door Thickness: 1-3/4 inch (44.5 mm), nominal.

2.04 HOLLOW METAL FRAMES

- A. Comply with standards and/or custom guidelines as indicated for corresponding door in accordance with applicable door frame requirements.
- B. Exterior Door Frames: Full profile/continuously welded type.
- Galvanizing: Components hot-dipped zinc-iron alloy-coated (galvannealed) in accordance with ASTM A653/A653M, with A40/ZF120 coating.
- Frame Metal Thickness: 14 gage, 0.067 inch (1.7 mm), minimum.
- Frame Finish: Factory primed and field finished. Weatherstripping: Integral, recessed into door edge or frame.
- C. Interior Door Frames, Non-Fire Rated: Knock-down type. Terminated Stops: Provide at interior doors; closed end stop terminated 6 inch (150 mm), maximum, above floor at 45 degree angle.
- Frame Metal Thickness: 16 gage, 0.053 inch (1.3 mm), minimum.
- Frame Finish: Factory primed and field finished. D. Frames for Wood Doors: Comply with frame requirements in accordance with corresponding door.

- A. Silencers: Resilient rubber, fitted into drilled hole; provide three on strike side of single door, three on center mullion of pairs, and two on head of pairs without center mullions.
- B. Temporary Frame Spreaders: Provide for factory- or shop-assembled frames.

PART 3 EXECUTION

- 3.01 EXAMINATION Verify existing conditions before starting work
- B. Verify that opening sizes and tolerances are acceptable.
- C. Verify that finished walls are in plane to ensure proper door alignment.

3.02 INSTALLATION

- A. Install doors and frames in accordance with manufacturer's instructions and related requirements of specified door and frame standards or custom guidelines indicated.
- B. Install fire rated units in accordance with NFPA 80.
- C. Coordinate frame anchor placement with wall construction.
- D. Install door hardware as specified in Section 08 7100.
- E. Coordinate installation of electrical connections to electrical hardware items. 3.03 TOLERANCES

A. Maximum Diagonal Distortion: 1/16 inch (1.6 mm) measured with straight edge, corner to corner.

3.04 ADJUSTING

 Adjust for smooth and balanced door movement. END OF SECTION 08 1113

SECTION 08 4313

ALUMINUM-FRAMED STOREFRONTS

PART 1 GENERAL 1.01 SECTION INCLUDES

- A. Aluminum-framed storefront, with vision glass.
- B. Aluminum doors and frames.
- C. Weatherstripping. D. Door hardware.
- 1.02 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data: Provide component dimensions, describe components within assembly, anchorage and fasteners, glass and infill, door hardware, and internal drainage details.
- C. Shop Drawings: Indicate system dimensions, framed opening requirements and tolerances, affected related work, expansion and contraction joint location and details, and field welding required.
- D. Hardware Schedule: Complete itemization of each item of hardware to be provided for each door, cross-referenced to door identification numbers in Contract Documents.

1.03 QUALITY ASSURANCE

A. Designer Qualifications: Design structural support framing components under direct supervision of a Professional Structural Engineer experienced in design of this Work and licensed in the State in which the Project is located.

1.04 DELIVERY, STORAGE, AND HANDLING

A. Handle products of this section in accordance with AAMA CW-10.

B. Protect finished aluminum surfaces with wrapping. Do not use adhesive papers or sprayed coatings that bond to aluminum when exposed to sunlight

1.05 FIELD CONDITIONS

A. Do not install sealants when ambient temperature is less than 40 degrees F (5 degrees C). Maintain this minimum temperature during and 48 hours

1.06 WARRANTY

A. See Section 01 7800 - Closeout Submittals, for additional warranty requirements.

- B. Provide five year manufacturer warranty against failure of glass seal on insulating glass units, including interpane dusting or misting. Include provision for replacement of failed units.
- C. Provide five year manufacturer warranty against excessive degradation of exterior finish. Include provision for replacement of units with excessive fading, chalking, or flaking.

PART 2 PRODUCTS

2.01 BASIS OF DESIGN -- FRAMING FOR INSULATING GLAZING

- A. Center-Set Style, Thermally-Broken:
 - Basis of Design: Subject to compliance with requirements, provide Kawneer Co. "451UT" System or approved equal from on of the listed

2.02 BASIS OF DESIGN -- SWINGING DOORS

A. Medium Stile, Insulating Glazing, Not Thermally-Broken:

- Basis of Design: Kawneer Co. 350 Medium Stile Entrance with 10" high bottom rail. 2. Thickness: 1-3/4 inches (43 mm).

2.03 ALUMINUM-FRAMED STOREFRONT

- A. Aluminum-Framed Storefront: Factory fabricated, factory finished aluminum framing members with infill, and related flashings, anchorage and
- 1. Glazing Rabbet: For 1 inch (25 mm) insulating glazing. Finish: Class II color anodized.
- a. Factory finish all surfaces that will be exposed in completed assemblies.

2. Vertical Mullion Dimensions: 2 inches wide by 4-1/2 inches deep (51 mm wide by 114 mm deep).

- Touch-up surfaces cut during fabrication so that no natural aluminum is visible in completed assemblies, including joint edges. 3. Finish Color: As indicated on the drawings.
- Fabrication: Joints and corners flush, hairline, and weatherproof, accurately fitted and secured; prepared to receive anchors and hardware; fasteners and attachments concealed from view; reinforced as required for imposed loads.
- Construction: Eliminate noises caused by wind and thermal movement, prevent vibration harmonics, and prevent "stack effect" in internal
- System Internal Drainage: Drain to the exterior by means of a weep drainage network any water entering joints, condensation occurring in glazing channel, and migrating moisture occurring within system.
- Expansion/Contraction: Provide for expansion and contraction within system components caused by cycling temperature range of 170 degrees F (95 degrees C) over a 12 hour period without causing detrimental effect to system components, anchorages, and other building elements.
- Movement: Allow for movement between storefront and adjacent construction, without damage to components or deterioration of seals. Perimeter Clearance: Minimize space between framing members and adjacent construction while allowing expected movement.
- B. Performance Requirements:
- 1. Wind Loads: Design and size components to withstand the specified load requirements without damage or permanent set, when tested in accordance with ASTM E330/E330M, using loads 1.5 times the design wind loads and 10 second duration of maximum load.
- a. Positive Design Wind Load: 25 lbf/sq ft ([] Pa). Negative Design Wind Load: 25 lbf/sq ft ([] Pa).
- Member Deflection: Limit member deflection to flexure limit of glass in any direction, with full recovery of glazing materials. 2. Water Penetration Resistance on Manufactured Assembly: No uncontrolled water on interior face, when tested in accordance with ASTM E331
- at pressure differential of 8 psf (390 Pa). 3. Air Leakage Laboratory Test: Maximum of 0.06 cu ft/min sq ft (0.3 L/sec sq m) of wall area, when tested in accordance with ASTM E283 at 6.27 psf (300 Pa) pressure differential across assembly.
- 5. Overall U-value Including Glazing: [____] Btu/(hr sq ft deg F) ([____] W/(sq m K)), maximum.

4. Condensation Resistance Factor of Framing: 50, minimum, measured in accordance with AAMA 1503.

2.04 COMPONENTS

- A. Aluminum Framing Members: Tubular aluminum sections, thermally broken with interior section insulated from exterior, drainage holes and internal
- Framing members for interior applications need not be thermally broken.
- Glazing Stops: Flush. 3. Cross-Section: As indicated on drawings.
- B. Glazing: As specified in Section 08 8000.
- C. Swing Doors: Glazed aluminum.
- Thickness: 1-3/4 inches (43 mm). Top Rail: 4 inches (100 mm) wide.
- Vertical Stiles: 4-1/2 inches (115 mm) wide. Bottom Rail: 10 inches (254 mm) wide.
- Glazing Stops: Square. Finish: Same as storefront.

2.05 MATERIALS

- A. Extruded Aluminum: ASTM B221 (ASTM B221M)
- B. Sheet Aluminum: ASTM B209 (ASTM B209M). C. Fasteners: Stainless steel.
- D. Glazing Gaskets: Type to suit application to achieve weather, moisture, and air infiltration requirements.

2.06 FINISHES

A. Class II Natural Anodized Finish: AAMA 611 AA-M12C22A31 Clear anodic coating not less than 0.4 mils (0.01 mm) thick.

2.07 HARDWARE

E. Glazing Accessories: As specified in Section 08 8000.

- A. For each door, include weatherstripping, sill sweep strip, and threshold. B. Other Door Hardware: Storefront manufacturer's standard type to suit application.
- Finish on Hand-Contacted Items: Polished stainless steel.
- For each door, include pivots, push handle, pull handle, exit device, narrow stile handle latch, and closer.

PART 3 EXECUTION

- 3.01 EXAMINATION Verify dimensions, tolerances, and method of attachment with other work.
 - Verify that wall openings and adjoining air and vapor seal materials are ready to receive work of this section.
- 3.02 INSTALLATION
- Install wall system in accordance with manufacturer's instructions. B. Attach to structure to permit sufficient adjustment to accommodate construction tolerances and other irregularities.
- C. Provide alignment attachments and shims to permanently fasten system to building structure. D. Align assembly plumb and level, free of warp or twist. Maintain assembly dimensional tolerances, aligning with adjacent work.
- E. Provide thermal isolation where components penetrate or disrupt building insulation.
- F. Install sill flashings. Turn up ends and edges; seal to adjacent work to form water tight dam.
- G. Where fasteners penetrate sill flashings, make watertight by seating and sealing fastener heads to sill flashing. H. Pack fibrous insulation in shim spaces at perimeter of assembly to maintain continuity of thermal barrier.
- Set thresholds in bed of sealant and secure. Install hardware using templates provided.
- K. Touch-up minor damage to factory applied finish; replace components that cannot be satisfactorily repaired.

A. Adjust operating hardware and sash for smooth operation.

3.03 ADJUSTING

- 3.04 CLEANING A. Remove protective material from pre-finished aluminum surfaces.
- B. Wash down surfaces with a solution of mild detergent in warm water, applied with soft, clean wiping cloths, and take care to remove dirt from corners
- and to wipe surfaces clean. C. Upon completion of installation, thoroughly clean aluminum surfaces in accordance with AAMA 609 & 610.

SECTION 08 8000

GLAZING

3.05 PROTECTION

A. Protect installed products from damage until Date of Substantial Completion. **END OF SECTION 08 4313**

PART 1 GENERAL 1.01 SECTION INCLUDES

Insulating glass units.

B. Glazing units.

C. Glazing compounds and accessories.

1.02 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Product Data on Insulating Glass Unit and Glazing Unit Glazing Types: Provide structural, physical and environmental characteristics, size limitations, special handling and installation requirements.
- C. Product Data on Glazing Compounds and Accessories: Provide chemical, functional, and environmental characteristics, limitations, special
- application requirements, and identify available colors. D. Samples: Submit two samples [12"] by [12"] inch ([___] by [___] mm) in size of glass units.

Maintain minimum ambient temperature before, during and 24 hours after installation of glazing compounds.

E. Warranty Documentation: Submit manufacturer warranty and ensure that forms have been completed in Owner's name and registered with manufacturer.

1.03 FIELD CONDITIONS

- A. Do not install glazing when ambient temperature is less than 40 degrees F (4 degrees C).
- 1.04 WARRANTY A. See Section 01 7800 - Closeout Submittals, for additional warranty requirements.

B. Insulating Glass Units: Provide a five (5) year manufacturer warranty to include coverage for seal failure, interpane dusting or misting, including providing products to replace failed units.

PART 2 PRODUCTS 2.01 MANUFACTURERS

- A. Float Glass Manufacturers:
- Guardian Glass, LLC; [____]: www.guardianglass.com/#sle.
- 2. Vitro Architectural Glass (formerly PPG Glass); [_____]: www.vitroglazings.com/#sle.

2.02 PERFORMANCE REQUIREMENTS - EXTERIOR GLAZING ASSEMBLIES

- A. Provide type and thickness of exterior glazing assemblies to support assembly dead loads, and to withstand live loads caused by positive and negative wind pressure acting normal to plane of glass. Design Pressure: Calculated in accordance with ASCE 7.
- 3. Seismic Loads: Design and size glazing components to withstand seismic loads and sway displacement in accordance with the requirements of 4. Provide glass edge support system sufficiently stiff to limit the lateral deflection of supported glass edges to less than 1/175 of their lengths
- under specified design load. Glass thicknesses listed are minimum. B. Vapor Retarder and Air Barrier Seals: Provide completed assemblies that maintain continuity of building enclosure vapor retarder and air barrier.
- C. Thermal and Optical Performance: Provide exterior glazing products with performance properties as indicated. Performance properties are in accordance with manufacturer's published data as determined with the following procedures and/or test methods:
- 1. Center of Glass U-Value: Comply with NFRC 100 using Lawrence Berkeley National Laboratory (LBNL) WINDOW 6.3 computer program. 2. Center of Glass Solar Heat Gain Coefficient (SHGC): Comply with NFRC 200 using Lawrence Berkeley National Laboratory (LBNL) WINDOW 6.3 computer program.

3. Solar Optical Properties: Comply with NFRC 300 test method. 2.03 GLASS MATERIALS

- A. Float Glass: Provide float glass based glazing unless otherwise indicated.
- Annealed Type: ASTM C1036, Type I Transparent Flat, Class 1 Clear, Quality Q3.

1. In conjunction with vapor retarder and joint sealer materials described in other sections.

- Kind HS Heat-Strengthened Type: Complies with ASTM C1048. Fully Tempered Safety Glass: Complies with ANSI Z97.1 or 16 CFR 1201 criteria for safety glazing used in hazardous locations.
- 4. Thicknesses: As indicated; provide greater thickness as required for exterior glazing wind load design. B. Laminated Glass: Float glass laminated in accordance with ASTM C1172.

1. Laminated Safety Glass: Complies with ANSI Z97.1 - Class B or 16 CFR 1201 - Category I impact test requirements.

- A. Basis of Design Insulating Glass Units: Vision glazing, with Low-E coating.
- B. Insulated Glass: (GL-1) 1. Product: Subject to compliance with requirements of "SNX 51/23 on #2" as manufacturered by Guardian Glass Inc. or equal by one of the above listed primary glass manufacturers.
- 2. Color: Clear 3. Comply with the following properties for one-inch insulating glass with Low-E Coating:

2.04 BASIS OF DESIGN - INSULATING GLASS UNITS

- Space between lites filled with air. b. Total Thickness: 1 inch (25.4 mm) visible Light Transmittance (VLT): 51%
- d. Summer U-Value: 0.24 e. Winter U-Value: 0.24 Solar Heat Gain Coefficient (SHGC): 0.23
- h. Glazing Method: Dry Glazing method, gasket glazing C. Structural Glass: (GL-2)

Visible Light Reflectance Outside: 14 percent, normal

- 1. Product: Subject to compliance with requirements of "SNX 51/23 on #2" as manufacturered by Guardian Glass, Inc. or equal by one of the above listed primary glass manufacturers.
- Color: Clear 3. Comply with the following properties for one-inch insulating glass with Low-E Coating:
- Space between lites filled with air b. Total Thickness: 1 inch (25.4 mm) c. Visible Light Transmittance (VLT): 51%
- d. Summer U-Value: 0.24 e. Winter U-Value: 0.24
- Solar Heat Gain Coefficient (SHGC): 0.23 Visible Light Reflectance Outside: 14 percent, normal
- D. Insulated Tinted Spandrel Glass: (SP-1)
- 1. Product: Subject to compliance with requirements, SNX 51/23 on #2 with 2-3609 Luscious Garden on #4 surface. intent is to be matching

3. Comply with the following properties for one-inch insulating glass with Low-E Coating:

Spandrel Glass as manufacturered by ICD High Performance Coatings or equal by one of the above listed primary glass manufacturers.

Glazing Method: Dry Glazing method, gasket glazing

- a. Space between lites filled with air. b. Total Thickness: 1 inch (25.4 mm).
- c. Visible Light Transmittance (VLT): 2 percent. Glazing Method: Dry Glazing method, gasket glazing.
- Spacer Color: Black. Edge Seal: Color: Black.
- h. Purge interpane space with dry air, hermetically sealed. E. Glass at Interior Storefront and frameless glass (GL-3)

support framing is ready to receive glazing system.

3.04 INSTALLATION - DRY GLAZING METHOD (GASKET GLAZING)

1. 5/8" clear Tempered glass - See interior elevations and doors schedule

2.05 ACCESSORIES

PART 3 EXECUTION

F. Glass Railing (GL-4) 1. 5/8" clear laminated tempered glass - See "Decorative Metal Railings"

3.01 VERIFICATION OF CONDITIONS

- A. Setting Blocks: Silicone, with 80 to 90 Shore A durometer hardness; ASTM C864 Option II. Length of 0.1 inch for each square foot (25 mm for each square meter) of glazing or minimum 4 inch (100 mm) by width of glazing rabbet space minus 1/16 inch (1.5 mm) by height to suit glazing method B. Glazing Splines: Resilient silicone extruded shape to suit glazing channel retaining slot; ASTM C864 Option II; color black.
- A. Verify that openings for glazing are correctly sized and within tolerances, including those for size, squareness, and offsets at corners. B. Verify that the minimum required face and edge clearances are being provided. C. Verify that surfaces of glazing channels or recesses are clean, free of obstructions that may impede moisture movement, weeps are clear, and

3.02 PREPARATION A. Clean contact surfaces with appropriate solvent and wipe dry within maximum of 24 hours before glazing. Remove coatings that are not tightly

B. Seal porous glazing channels or recesses with substrate compatible primer or sealer.

3.03 INSTALLATION, GENERAL A. Install glazing sealants in accordance with ASTM C1193, GANA (SM), and manufacturer's instructions.

C. Prime surfaces scheduled to receive sealant where required for proper sealant adhesion.

- A. Application Exterior and/or Interior Glazed: Set glazing infills from either the exterior or the interior of the building. B. Place setting blocks at 1/4 points with edge block no more than 6 inch (152 mm) from corners.
 - C. Rest glazing on setting blocks and push against fixed stop with sufficient pressure on gasket to attain full contact.

KRIEGER KLATT

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Client:

Verus Development Group

P: 248.414.9270 **F:** 248.414.9275

Project:

Issued

8/11/2022

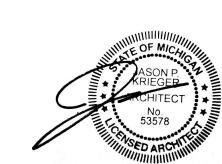
Project Name 19876 Mack Ave Grosse Pointe Woods MI

Description

Permits

Comply with ASTM E1300 for design load resistance of glass type, thickness, dimensions, and maximum lateral deflection of supported glass.

Seal:



Verify existing conditions in

Do not scale drawings. Use calculated dimensions only.

Note:

Sheet Title:

Specifications

North Arrow:

22-099

Scale:

Sheet Number

Project Number:

- D. Install removable stops without displacing glazing gasket; exert pressure for full continuous contact. 3.05 FIELD QUALITY CONTROL A. See Section 01 4000 - Quality Requirements, for additional requirements.
- B. Glass and Glazing product manufacturers to provide field surveillance of the installation of their products. C. Monitor and report installation procedures and unacceptable conditions.
- 3.06 CLEANING A. See Section 01 7419 - Construction Waste Management and Disposal, for additional requirements.
- B. Remove excess glazing materials from finish surfaces immediately after application using solvents or cleaners recommended by manufacturers.
- C. Remove non-permanent labels immediately after glazing installation is complete. Clean glass and adjacent surfaces after sealants are fully cured.
- E. Clean glass on both exposed surfaces not more than 4 days prior to Date of Substantial Completion in accordance with glass manufacturer's written

3.07 PROTECTION

- A. After installation, mark pane with an 'X' by using removable plastic tape or paste; do not mark heat absorbing or reflective glass units.
- B. Remove and replace glass that is damaged during construction period prior to Date of Substantial Completion.

END OF SECTION 08 8000 **DIVISION 09 - FINISHES**

SECTION 09 2116 GYPSUM BOARD ASSEMBLIES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Performance criteria for gypsum board assemblies
- B. Metal stud wall framing.
- C. Metal channel ceiling framing. D. Acoustic insulation.
- Cementitious backing board.
- F. Gypsum wallboard.
- G. Joint treatment and accessories.
- H. Water-resistive barrier over exterior wall sheathing.

1.02 RELATED REQUIREMENTS

- A. Section 06 1000 Rough Carpentry: Building framing and sheathing.
- B. Section 06 1000 Rough Carpentry: Wood blocking product and execution requirements.
- C. Section 07 2100 Thermal Insulation: Acoustic insulation.
- D. Section 07 2500 Weather Barriers: Water-resistive barrier over sheathing.
- E. Section 07 8400 Firestopping: Top-of-wall assemblies at fire-resistance-rated walls.
- F. Section 07 9200 Joint Sealants: Sealing acoustical gaps in construction other than gypsum board or plaster work.
- G. Section 09 2216 Non-Structural Metal Framing.

1.03 REFERENCE STANDARDS

- A. ANSI A108.11 American National Standard Specifications for Interior Installation of Cementitious Backer Units 2018.
- B. ANSI A118.9 American National Standard Specifications for Test Methods and Specifications for Cementitious Backer Units 2019.
- C. ASTM C475/C475M Standard Specification for Joint Compound and Joint Tape for Finishing Gypsum Board 2017 (Reapproved 2022).
- D. ASTM C645 Standard Specification for Nonstructural Steel Framing Members 2018. E. ASTM C665 - Standard Specification for Mineral-Fiber Blanket Thermal Insulation for Light Frame Construction and Manufactured Housing 2017.
- F. ASTM C754 Standard Specification for Installation of Steel Framing Members to Receive Screw-Attached Gypsum Panel Products 2020.
- G. ASTM C840 Standard Specification for Application and Finishing of Gypsum Board 2020.
- H. ASTM C954 Standard Specification for Steel Drill Screws for the Application of Gypsum Panel Products or Metal Plaster Bases to Steel Studs from 0.033 in. (0.84 mm) to 0.112 in. (2.84 mm) in Thickness 2022.
- I. ASTM C1047 Standard Specification for Accessories for Gypsum Wallboard and Gypsum Veneer Base 2019.
- J. ASTM C1178/C1178M Standard Specification for Coated Glass Mat Water-Resistant Gypsum Backing Panel 2018.
- K. ASTM C1278/C1278M Standard Specification for Fiber-Reinforced Gypsum Panel 2017.
- L. ASTM C1325 Standard Specification for Fiber-Mat Reinforced Cementitious Backer Units 2022.
- M. ASTM C1396/C1396M Standard Specification for Gypsum Board 2017.
- N. ASTM D3273 Standard Test Method for Resistance to Growth of Mold on the Surface of Interior Coatings in an Environmental Chamber 2021.
- O. ASTM E90 Standard Test Method for Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions and Elements 2009 (Reapproved 2016).
- P. ASTM E413 Classification for Rating Sound Insulation 2022.
- Q. GA-216 Application and Finishing of Gypsum Panel Products 2021
- R. GA-600 Fire Resistance and Sound Control Design Manual 2021.

1.04 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements for submittal procedures.
- B. Shop Drawings: Indicate special details associated with fireproofing and acoustic seals.
- C. Product Data: Provide data on metal framing, gypsum board, accessories, and joint finishing system. **PART 2 PRODUCTS**

2.01 GYPSUM BOARD ASSEMBLIES

- A. Provide completed assemblies complying with ASTM C840 and GA-216.
- See PART 3 for finishing requirements. B. Interior Partitions, Indicated as Sound-Rated: Provide completed assemblies with the following characteristics:
- 1. Acoustic Attenuation: STC of 50 59 calculated in accordance with ASTM E413, based on tests conducted in accordance with ASTM E90.
- C. Shaft Walls at HVAC Shafts: Provide completed assemblies with the following characteristics:
- Air Pressure Within Shaft: Sustained loads of 5 lbf/sq ft (0.24 kPa) with maximum mid-span deflection of L/240. 2. Acoustic Attenuation: STC of 50-54 calculated in accordance with ASTM E413, based on tests conducted in accordance with ASTM E90.
- D. Fire Rated Assemblies: Provide completed assemblies as indicated on drawings

2.02 METAL FRAMING MATERIALS

- A. Manufacturers Metal Framing, Connectors, and Accessories:
- ClarkDietrich; [____]: www.clarkdietrich.com/#sle. 2. Substitutions: See Section 01 6000 - Product Requirements.
- B. Non-structural Framing System Components: ASTM C645; galvanized sheet steel, of size and properties necessary to comply with ASTM C754 for
- the spacing indicated, with maximum deflection of wall framing of L/120 at 5 psf (L/120 at 240 Pa). Studs: "C" shaped with knurled or emobossed faces.
- Runners: U shaped, sized to match studs.
- Ceiling Channels: C-shaped.
- 4. Furring Members: Hat-shaped sections, minimum depth of 7/8 inch (22 mm).
- Resilient Furring Channels: 1/2 inch (12 mm) depth, for attachment to substrate through one leg only.
- C. Shaft Wall Studs and Accessories: ASTM C645; galvanized sheet steel, of size and properties necessary to comply with ASTM C754 and specified performance requirements.
- D. Partition Head To Structure Connections: Provide track fastened to structure with legs of sufficient length to accommodate deflection, for friction fit of studs cut short and fastened as indicated on drawings.
- E. Preformed Top Track Firestop Seal:
- Provide components UL-listed for use in UL-listed fire-resistance-rated head of partition joint systems indicated on drawings. Products:
- a. Hilti, Inc; Top Track Seal CFS TTS: www.us.hilti.com/#sle.

2.03 BOARD MATERIALS

- A. Manufacturers Gypsum-Based Board: American Gypsum Company; [____]: www.americangypsum.com/#sle.
 - National Gypsum Company; [____]: www.nationalgypsum.com/#sle.
- 3. USG Corporation; [____]: www.usg.com/#sle.
- B. Gypsum Wallboard: Paper-faced gypsum panels as defined in ASTM C1396/C1396M; sizes to minimize joints in place; ends square cut.
- Application: Use for vertical surfaces and ceilings, unless otherwise indicated.
- Unfaced fiber-reinforced gypsum panels as defined in ASTM C1278/C1278M, suitable for paint finish, of the same core type and thickness may be substituted for paper-faced board.
- 3. Mold Resistance: Score of 10, when tested in accordance with ASTM D3273. a. Mold-resistant board is required whenever board is being installed before the building is enclosed and conditioned.
- 4. At Assemblies Indicated with Fire-Resistance Rating: Use type required by indicated tested assembly; if no tested assembly is indicated, use Type X board, UL or WH listed.
- Thickness:
- a. Vertical Surfaces: 5/8 inch (16 mm). b. Ceilings: 5/8 inch (16 mm).
- Multi-Layer Assemblies: Thicknesses as indicated on drawings.

- C. Backing Board For Wet Areas: One of the following products:
- Application: Surfaces behind tile in wet areas including tub and shower surrounds and shower ceilings.
 - Application: Horizontal surfaces behind tile in wet areas including countertops.
 - Mold Resistance: Score of 10, when tested in accordance with ASTM D3273. ANSI Cement-Based Board: Non-gypsum-based; aggregated Portland cement panels with glass fiber mesh embedded in front and back
- surfaces complying with ANSI A118.9 or ASTM C1325
- a. Thickness: 1/2 inch (12.7 mm) on walls and 5/8 inch on ceilings
- b. Products: 1) National Gypsum Company; PermaBase Cement Board: www.nationalgypsum.com/#sle.
- USG Corporation; []: www.usg.com/#sle.
- Glass Mat Faced Board: Coated glass mat water-resistant gypsum backing panel as defined in ASTM C1178/C1178M. a. Fire-Resistance-Rated Type: Type X core, thickness 5/8 inch (16 mm).
- D. Backing Board For Non-Wet Areas: Water-resistant gypsum backing board as defined in ASTM C1396/C1396M; sizes to minimum joints in place;
- Application: Vertical surfaces behind thinset tile, except in wet areas.
- Regular Board Thickness: 5/8 inch (16 mm). Edges: Tapered.
- E. Shaftwall and Coreboard: Type X; 1 inch (25 mm) thick by 24 inches (610 mm) wide, beveled long edges, ends square cut. 1. Paper-Faced Type: Gypsum shaftliner board or gypsum coreboard as defined ASTM C1396/C1396M; water-resistant faces.

2.04 GYPSUM WALLBOARD ACCESSORIES

- A. Acoustic Insulation: ASTM C665; preformed glass fiber, friction fit type, unfaced. Thickness: [____] inch ([____] mm). note: the thickness is indicated on the drawings
- B. Acoustic Sealant: Acrylic emulsion latex or water-based elastomeric sealant; do not use solvent-based non-curing butyl sealant.
- C. Beads, Joint Accessories, and Other Trim: ASTM C1047, rigid plastic, galvanized steel, or rolled zinc, unless noted otherwise.
- Corner Beads: Low profile, for 90 degree outside corners. Wall Mounted Deflection Beads: Flexible gasket and bead with 1-1/8 inch (29 mm) flange.
- D. Joint Materials: ASTM C475/C475M and as recommended by gypsum board manufacturer for project conditions.
- 1. Fiberglass Tape: 2 inch (50 mm) wide, coated glass fiber tape for joints and corners, except as otherwise indicated. 2. Joint Compound: Setting type, field-mixed.
- E. Screws for Fastening of Gypsum Panel Products to Steel Members from 0.033 to 0.112 inch (0.84 to 2.84 mm) in Thickness: ASTM C954; steel drill screws, corrosion-resistant.

PART 3 EXECUTION 3.01 EXAMINATION

Verify that project conditions are appropriate for work of this section to commence.

Install studs at spacing required to meet performance requirements.

- 3.02 SHAFT WALL INSTALLATION
- A. Shaft Wall Framing: Install in accordance with manufacturer's installation instructions.
- B. Shaft Wall Liner: Cut panels to accurate dimensions and install sequentially between special friction studs.
- 3.03 FRAMING INSTALLATION A. Metal Framing: Install in accordance with ASTM C754 and manufacturer's instructions.
- B. Suspended Ceilings and Soffits: Space framing and furring members as indicated.
- C. Studs: Space studs at 16 inches on center (at 406 mm on center).
- Extend partition framing to structure where indicated and to ceiling in other locations.
- Partitions Terminating at Ceiling: Attach ceiling runner securely to ceiling track in accordance with manufacturer's instructions. Partitions Terminating at Structure: Attach extended leg top runner to structure, maintain clearance between top of studs and structure, and
- brace both flanges of studs with continuous bridging. D. Standard Wall Furring: Install at concrete and masonry walls scheduled to receive gypsum board, not more than 4 inches (100 mm) from floor and
- ceiling lines and abutting walls. Secure in place on alternate channel flanges at maximum 24 inches (600 mm) on center.
- E. Acoustic Furring: Install resilient channels at maximum 24 inches (600 mm) on center. Locate joints over framing members.
- F. Furring for Fire-Resistance Ratings: Install as required for fire-resistance ratings indicated and to GA-600 requirements G. Blocking: Install wood blocking for support of:
- Framed openings.
- Wall-mounted cabinets. Plumbing fixtures.
- Toilet accessories.
- Wall-mounted door hardware. 3.04 ACOUSTIC ACCESSORIES INSTALLATION
- A. Acoustic Insulation: Place tightly within spaces, around cut openings, behind and around electrical and mechanical items within partitions, and tight
- to items passing through partitions. B. Acoustic Sealant: Install in accordance with manufacturer's instructions.
- 3.05 BOARD INSTALLATION A. Comply with ASTM C840, GA-216, and manufacturer's instructions. Install to minimize butt end joints, especially in highly visible locations.
- B. Fire-Resistance-Rated Construction: Install gypsum board in strict compliance with requirements of assembly listing.
- C. Exposed Gypsum Board in Interior Wet Areas: Seal joints, cut edges, and holes with water-resistant sealant. D. Cementitious Backing Board: Install over steel framing members and plywood substrate where indicated, in accordance with ANSI A108.11 and
- manufacturer's instructions. 3.06 INSTALLATION OF TRIM AND ACCESSORIES
- A. Control Joints: Place control joints consistent with lines of building spaces and as indicated.
- 1. Not more than 30 feet (10 meters) apart on walls and ceilings over 50 feet (16 meters) long.
- B. Corner Beads: Install at external corners, using longest practical lengths.
- 3.07 JOINT TREATMENT

 - A. Finish gypsum board in accordance with levels defined in ASTM C840, as follows: Level 5: Walls and ceilings to receive semi-gloss or gloss paint finish and other areas specifically indicated.
 - Level 4: Walls and ceilings to receive paint finish or wall coverings, unless otherwise indicated.
 - Level 3: Walls to receive textured wall finish.
- Level 2: In utility areas, behind cabinetry, and on backing board to receive tile finish. 5. Level 1: Fire-resistance-rated wall areas above finished ceilings, whether or not accessible in the completed construction.
- B. Tape, fill, and sand exposed joints, edges, and corners to produce smooth surface ready to receive finishes.
- Feather coats of joint compound so that camber is maximum 1/32 inch (0.8 mm). Taping, filling, and sanding are not required at surfaces behind adhesive applied ceramic tile and fixed cabinetry.
- C. Where Level 5 finish is indicated, spray apply high build drywall surfacer over entire surface after joints have been properly treated; achieve a flat and tool mark-free finish. 3.08 TOLERANCES

A. Maximum Variation of Finished Gypsum Board Surface from True Flatness: 1/8 inch in 10 feet (3 mm in 3 m) in any direction. **END OF SECTION 09 2116**

SECTION 09 2216

NON-STRUCTURAL METAL FRAMING

1.01 SECTION INCLUDES

PART 1 GENERAL

- Metal partition, ceiling, and soffit framing. B. Framing accessories.
- 1.02 RELATED REQUIREMENTS A. Section 05 4000 - Cold-Formed Metal Framing: Requirements for structural, load-bearing, metal stud framing and exterior wall stud framing.
- B. Section 05 5100 Metal Stairs: Execution requirements for anchors for attaching work of this section.
- C. Section 06 1000 Rough Carpentry: Wood blocking within stud framing.

D. Section 09 2116 - Gypsum Board Assemblies: Metal studs for gypsum board partition framing. 1.03 REFERENCE STANDARDS

- A. ASTM C645 Standard Specification for Nonstructural Steel Framing Members 2018.
- B. ASTM C754 Standard Specification for Installation of Steel Framing Members to Receive Screw-Attached Gypsum Panel Products 2020. 1.04 SUBMITTALS
- A. See Section 01 3000 Administrative Requirements for submittal procedures.
- B. Shop Drawings: Indicate prefabricated work, component details, stud layout, framed openings, anchorage to structure, acoustic details, type and location of

asteners, accessories, and items of other related work. 2. Describe method for securing studs to tracks, splicing, and for blocking and reinforcement of framing connections.

- **PART 2 PRODUCTS** 2.01 MANUFACTURERS
- A. Metal Framing, Connectors, and Accessories:
- ClarkDietrich; []: www.clarkdietrich.com/#sle. 2. Substitutions: See Section 01 6000 - Product Requirements.
- 2.02 FRAMING MATERIALS
- A. Fire Rated Assemblies: Comply with applicable code and as follows: fire rated assemblies are described in the drawings.

- B. Non-Loadbearing Framing System Components: ASTM C645; galvanized sheet steel, of size and properties necessary to comply with ASTM C754
- for the spacing indicated, with maximum deflection of wall framing of L/240 at 5 psf (L/240 at 240 Pa).
- Studs: C shaped with knurled or embossed faces. 2. Runners: U shaped, sized to match studs.

2.03 FABRICATION

- Fabricate assemblies of framed sections to sizes and profiles required.
- B. Fit, reinforce, and brace framing members to suit design requirements.

PART 3 EXECUTION

- 3.01 EXAMINATION
- Verify existing conditions before starting work.

B. Verify that rough-in utilities are in proper location. 3.02 INSTALLATION OF STUD FRAMING

- A. Comply with requirements of ASTM C754.
- B. Extend partition framing to structure where indicated and to ceiling in other locations. C. Partitions Terminating at Ceiling: Attach ceiling runner securely to ceiling track in accordance with manufacturer's instructions.
- D. Partitions Terminating at Structure: Attach top runner to structure, maintain clearance between top of studs and structure, and connect studs to track using specified mechanical devices in accordance with manufacturer's instructions; verify free movement of top of stud connections; do not leave studs unattached to track.
- E. Align and secure top and bottom runners at 24 inches (600 mm) on center.
- F. Fit runners under and above openings; secure intermediate studs to same spacing as wall studs.
- G. Align stud web openings horizontally.
- H. Secure studs to tracks using crimping method. Do not weld.
- Fabricate corners using a minimum of three studs.
- J. Install double studs at wall openings, door and window jambs, not more than 2 inches (50 mm) from each side of openings.
- K. Coordinate installation of bucks, anchors, and blocking with electrical, mechanical, and other work to be placed within or behind stud framing. L. Blocking: Use wood blocking secured to studs. Provide blocking for support of plumbing fixtures, toilet partitions, wall cabinets, toilet accessories,

hardware, and opening frames. All blocking is to be fire retardant. 3.03 CEILING AND SOFFIT FRAMING

- A. Install furring after work above ceiling or soffit is complete. Coordinate the location of hangers with other work.
- Install furring independent of walls, columns, and above-ceiling work. C. Securely anchor hangers to structural members or embed them in structural slab. Space hangers as required to limit deflection to criteria indicated.
- D. Space main carrying channels at maximum 72 inch (1 800 mm) on center, and not more than 6 inches (150 mm) from wall surfaces. Lap splice

EXTERIOR PAINTING

E. Securely fix carrying channels to hangers to prevent turning or twisting and to transmit full load to hangers.

F. Place furring channels perpendicular to carrying channels, not more than 2 inches (50 mm) from perimeter walls, and rigidly secure. Lap splices

- 3.04 TOLERANCES A. Maximum Variation From True Position: 1/8 inch in 10 feet (3 mm in 3 m).
- B. Maximum Variation From Plumb: 1/8 inch in 10 feet (3 mm in 3 m).

END OF SECTION 09 2216 SECTION 09 9113

PART 1 GENERAL

- 1.01 SECTION INCLUDES A. Surface preparation.
- B. Field application of paints. C. Scope: Finish exterior surfaces exposed to view, unless fully factory-finished and unless otherwise indicated, including the following:
- D. Do Not Paint or Finish the Following Items: Items factory-finished unless otherwise indicated; materials and products having factory-applied primers are not considered factory finished.

Items indicated to receive other finishes.

- Items indicated to remain unfinished. Fire rating labels, equipment serial number and capacity labels, and operating parts of equipment.
- Floors, unless specifically indicated. Glass. Concealed pipes, ducts, and conduits.
- 1.02 REFERENCE STANDARDS A. MPI (APSM) - Master Painters Institute Architectural Painting Specification Manual Current Edition.
- 1.03 SUBMITTALS A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- PART 2 PRODUCTS
- A. Paints and Finishes: Ready mixed, unless required to be a field-catalyzed paint. Provide paints and finishes of a soft paste consistency, capable of being readily and uniformly dispersed to a homogeneous coating, with good
- flow and brushing properties, and capable of drying or curing free of streaks or sags. Supply each paint material in quantity required to complete entire project's work from a single production run. Do not reduce, thin, or dilute paint or finishes or add materials unless such procedure is specifically described in manufacturer's product

2.01 PAINTS AND FINISHES - GENERAL

instructions. 2.02 PAINT SYSTEMS - EXTERIOR

A. Primers: Provide the following unless other primer is required or recommended by manufacturer of top coats.

- A. Paint E-OP Exterior Surfaces to be Painted, Unless Otherwise Indicated: Including cementitious stucco. Two top coats and one coat primer
- 2. Top Coat(s): Exterior Pigmented Elastomeric, Water Based; MPI #113.
- 1) Behr Premium Elastomeric Masonry, Stucco and Brick Paint [No. 68]. (MPI #113) 2.03 PRIMERS
- Alkali Resistant Water Based Primer; MPI #3.

2.04 ACCESSORY MATERIALS

- 1) Behr Concrete and Masonry Bonding Primer [No. 880].
- A. Accessory Materials: Provide primers, sealers, cleaning agents, cleaning cloths, sanding materials, and clean-up materials as required for final completion of painted surfaces.
- B. Patching Material: Latex filler.
- C. Fastener Head Cover Material: Latex filler. PART 3 EXECUTION
- 3.01 EXAMINATION A. Verify that surfaces are ready to receive work as instructed by the product manufacturer.
- B. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially effect proper application. C. Test shop-applied primer for compatibility with subsequent cover materials.

D. Measure moisture content of surfaces using an electronic moisture meter. Do not apply finishes unless moisture content of surfaces are below the

- following maximums: Exterior Plaster and Stucco: 12 percent.
- 3.02 PREPARATION
- A. Clean surfaces thoroughly and correct defects prior to application. B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions. C. Remove or mask surface appurtenances, including electrical plates, hardware, light fixture trim, escutcheons, and fittings, prior to preparing surfaces
- D. Seal surfaces that might cause bleed through or staining of topcoat. E. Remove mildew from impervious surfaces by scrubbing with solution of tetra-sodium phosphate and bleach. Rinse with clean water and allow
- Exterior Plaster: Fill hairline cracks, small holes, and imperfections with exterior patching plaster. Make smooth and flush with adjacent surfaces. Wash and neutralize high alkali surfaces. 3.03 APPLICATION
 - Apply each coat to uniform appearance.
- D. Vacuum clean surfaces of loose particles. Use tack cloth to remove dust and particles just prior to applying next coat. E. Reinstall electrical cover plates, hardware, light fixture trim, escutcheons, and fittings removed prior to finishing.

for finishing.

- A. Apply products in accordance with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual". B. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.
- 3.04 CLEANING

- KRIEGER KLATT
- 2120 E. 11 Mile Rd. | Royal Oak, MI 48067 **P:** 248.414.9270 **F:** 248.414.9275 www.kriegerklatt.com
- Client:
- Verus Development Group

Project:

Issued

Project Name 19876 Mack Ave

Grosse Pointe Woods MI

Description

8/11/2022 Permits

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

Sheet Title:

North Arrow:

Specifications

Project Number:

Scale:

22-099

A. Collect waste material that could constitute a fire hazard, place in closed metal containers, and remove daily from site.

3.05 PROTECTION

A. Touch-up damaged finishes after Substantial Completion.

END OF SECTION 09 9113

SECTION 09 9123 INTERIOR PAINTING

PART 1 GENERAL

1.01 SECTION INCLUDES

- Surface preparation.
- B. Field application of paints.
- C. Scope: Finish interior surfaces exposed to view, unless fully factory-finished and unless otherwise indicated.
- Prime surfaces to receive wall coverings.
- Mechanical and Electrical:
 a. In finished areas, paint insulated and exposed pipes, conduit, boxes, insulated and exposed ducts, hangers, brackets, collars and supports,
- mechanical equipment, and electrical equipment, unless otherwise indicated.b. Paint dampers exposed behind louvers, grilles, and convector and baseboard cabinets to match face panels.
- D. Do Not Paint or Finish the Following Items:
- 1. Items factory-finished unless otherwise indicated; materials and products having factory-applied primers are not considered factory finished.
- Items indicated to receive other finishes.
 Items indicated to remain unfinished.
- 4. Fire rating labels, equipment serial number and capacity labels, bar code labels, and operating parts of equipment.
- 5. Stainless steel, anodized aluminum, bronze, terne coated stainless steel, and lead items.
- 6. Marble, granite, slate, and other natural stones.
- 7. Floors, unless specifically indicated.
- 8. Ceramic and other tiles.
- Brick, architectural concrete, cast stone, integrally colored plaster and stucco.
- 10. Glass.
- 11. Concrete masonry units in utility, mechanical, and electrical spaces.12. Acoustical materials, unless specifically indicated.
- 13. Concealed pipes, ducts, and conduits.

1.02 REFERENCE STANDARDS

- A. MPI (APSM) Master Painters Institute Architectural Painting Specification Manual Current Edition.
- B. SSPC-SP 1 Solvent Cleaning 2015, with Editorial Revision (2016).
- C. SSPC-SP 2 Hand Tool Cleaning 2018.
- D. SSPC-SP 6 Commercial Blast Cleaning 2007.

1.03 SUBMITTALS

- A. See Section 01 3000 Administrative Requirements, for submittal procedures.
- B. Samples: Submit three paper "draw down" samples, 8-1/2 by 11 inches (216 by 279 mm) in size, illustrating range of colors available for each
- finishing product specified.
- 1. Where sheen is specified, submit samples in only that sheen.
- 2. Where sheen is not specified, submit each color in each sheen available.
- 3. Paint color submittals will not be considered until color submittals for major materials not to be painted, such as masonry, have been approved.

 1.04 DELIVERY, STORAGE, AND HANDLING
- A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.
- B. Container Label: Include manufacturer's name, type of paint, brand name, lot number, brand code, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reducing.
- C. Paint Materials: Store at minimum ambient temperature of 45 degrees F (7 degrees C) and a maximum of 90 degrees F (32 degrees C), in ventilated area, and as required by manufacturer's instructions.

1.05 FIELD CONDITIONS

- A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.
- B. Follow manufacturer's recommended procedures for producing best results, including testing of substrates, moisture in substrates, and humidity and temperature limitations.
- C. Provide lighting level of 80 ft candles (860 lx) measured mid-height at substrate surface.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Provide paints and finishes used in any individual system from the same manufacturer; no exceptions.
- B. Paints:
- Behr Process Corporation: www.behr.com/#sle.
 Cloverdale Paint, Brand Products of Rodda Paint Company: www.cloverdalepaint.com/#sle.
- Diamond Vogel Paints: www.diamondvogel.com/#sle.
 PPG Paints: www.ppgpaints.com/#sle.
- 5. Rodda Paint Co: www.roddapaint.com/#sle.
- 6. Sherwin-Williams Company: www.sherwin-williams.com/#sle.

2.02 PAINTS AND FINISHES - GENERAL

- A. Paints and Finishes: Ready mixed, unless intended to be a field-catalyzed paint.
- 1. Provide paints and finishes of a soft paste consistency, capable of being readily and uniformly dispersed to a homogeneous coating, with good flow and brushing properties, and capable of drying or curing free of streaks or sags
- flow and brushing properties, and capable of drying or curing free of streaks or sags.

 2. Supply each paint material in quantity required to complete entire project's work from a single production run.
- 3. Do not reduce, thin, or dilute paint or finishes or add materials unless such procedure is specifically described in manufacturer's product instructions.

2.03 PAINT SYSTEMS - INTERIOR

A. Interior Surfaces to be Painted, Unless Otherwise Indicated: Including gypsum board, shop primed steel, and galvanized steel.

[____] and one coat primer. 2.04 ACCESSORY MATERIALS

A. Accessory Materials: Provide primers, sealers, cleaning agents, cleaning cloths, sanding materials, and clean-up materials as required for final completion of painted surfaces.

B. Patching Material: Latex filler.

C. Fastener Head Cover Material: Latex filler.

PART 3 EXECUTION

- 3.01 EXAMINATION
- A. Verify that surfaces are ready to receive work as instructed by the product manufacturer.
- B. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially effect proper application.
- C. Test shop-applied primer for compatibility with subsequent cover materials.
- D. Measure moisture content of surfaces using an electronic moisture meter. Do not apply finishes unless moisture content of surfaces are below the following maximums:
- following maximums:

 1. Gypsum Wallboard: 12 percent.

3.02 PREPARATION

- A. Clean surfaces thoroughly and correct defects prior to application.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Remove or mask surface appurtenances, including electrical plates, hardware, light fixture trim, escutcheons, and fittings, prior to preparing surfaces or finishing.
- D. Seal surfaces that might cause bleed through or staining of topcoat.
- E. Gypsum Board: Fill minor defects with filler compound. Spot prime defects after repair.
- F. Galvanized Surfaces:
- Remove surface contamination and oils and wash with solvent according to SSPC-SP 1.
 Prepare surface according to SSPC-SP 2.
- G. Ferrous Metal:
- Ferrous Metal:
 1. Solvent clean according to SSPC-SP 1.
- 2. Shop-Primed Surfaces: Sand and scrape to remove loose primer and rust. Feather edges to make touch-up patches inconspicuous. Clean surfaces with solvent. Prime bare steel surfaces. Re-prime entire shop-primed item.
- 3. Remove rust, loose mill scale, and other foreign substances using using methods recommended in writing by paint manufacturer and blast
- cleaning according to SSPC-SP 6 "Commercial Blast Cleaning". Protect from corrosion until coated.

 PLICATION

3.03 APPLICATION

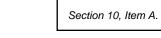
- A. Remove unfinished louvers, grilles, covers, and access panels on mechanical and electrical components and paint separately.
- B. Apply products in accordance with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual".
- C. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.

 D. Apply each coat to uniform appearance in thicknesses specified by manufacturer.
- D. Apply each coat to uniform appearance in thicknesses specified by manufacturer.
- E. Vacuum clean surfaces of loose particles. Use tack cloth to remove dust and particles just prior to applying next coat.F. Reinstall electrical cover plates, hardware, light fixture trim, escutcheons, and fittings removed prior to finishing.

3.04 CLEANING

A. Collect waste material that could constitute a fire hazard, place in closed metal containers, and remove daily from site.3.05 PROTECTION

- A. Protect finishes until completion of project.
- B. Touch-up damaged finishes after Substantial Completion.
- 3.06 SCHEDULE PAINT SYSTEMS SEE DRAWINGS FOR PAINT SCHEDULES AND IDENTIFICATION END OF SECTION 09 9123



KRIEGER KLATT
ARCHITEC

ARCHITECTS
2120 E. 11 Mile Rd. | Royal Oak, MI 48067 **P:** 248.414.9270 **F:** 248.414.9275

Client:

Verus Development Group

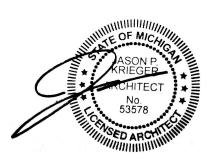
www.kriegerklatt.com

Project:

Project Name 19876 Mack Ave Grosse Pointe Woods MI

Issued	Description	
8/11/2022	Permits	

Seal:



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North Arrow:

Sheet Title:

Specification

Project Number:

22-099

Scale:

Sheet Number:

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Planning Commission 2022 Annual Planning Report and 2023 Work Plan to City Council

City of Grosse Pointe Woods, MI

The Commission's Annual Report is intended to serve as a planning document that outlines the work plan for the next fiscal year and is a communication tool to share recent achievements and plans for future goals to the community.

MEMBERSHIP

We thank the following Commission members for their time commitment and good work:

- Michael Fuller, Chair
- Stephen Gerhart, Vice-Chair/Secretary
- George Bailey, Commissioner
- Chris Fenton, Commissioner
- Grant Gilezan, Commissioner
- Douglas Hamborsky, Commissioner
- James McNelis, Commissioner
- Donna O'Keefe, Commissioner
- John Vitale, Commissioner

INTRODUCTION AND PURPOSE

As required by the Michigan Planning Enabling Act (MPEA) Act 33 of 2008, as amended, the Planning Commission shall submit a report of its 2022 activities.

"A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development."

In addition to fulfilling this requirement, the Annual Report and Work Plan increases information-sharing between staff, boards, commissions and the governing body and allows for the anticipation of upcoming priorities, in order to prepare and budget.

MEETINGS

The Planning Commission met nine times in 2022.

- 1. Tuesday, January 25, 2022
- 2. Tuesday, February 22, 2022
- 3. Tuesday, March 22, 2022
- 4. Tuesday, April 26, 2022
- 5. Tuesday, May 24, 2022
- 6. Tuesday, June 28, 2022
- 7. Tuesday, July 26, 2022 (CANCELED)
- 8. Tuesday, August 23, 2022 (CANCELED)
- 9. Tuesday, September 27, 2022
- 10. Tuesday, October 25, 2022 (CANCELED)
- 11. Tuesday, November 22, 2022
- 12. Tuesday, December 13, 2022



2022 in Review

The following table outlines the various Planning Commission activities, including development reviews (site plan, special land use, etc.), and Zoning Ordinance and map amendments (rezonings) that were considered by the City in 2022.

Date	Action	Description	Status	
January 25, 2022	Officer Election	Nominations of Michael Fuller as Commission Chair and Steve Gerhart as Vice-Chair/Secretary	Approved	
January 25, 2022	Schedule Public Hearing	Public hearing scheduled on February 22, 2022 at 7:00 pm for the proposed repeal and replacement of the existing Zoning Ordinance and Zoning Map	Approved	
February 22, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the repeal and replacement of the existing Zoning Ordinance and Zoning Map	Approved	
February 22, 2022	Façade Modification Resolution	Approved a façade redesign for the redevelopment of 19850 Mack Avenue with conditions	Approved	
March 22, 2022	Schedule Public Hearing	Public hearing scheduled on April 26, 2022 at 7:00 pm for the proposed repeal of the Solar Energy Systems Ordinance	Approved	
March 22, 2022	Schedule Public Hearing	Public hearing scheduled on April 26, 2022 at 7:00 pm for amendment to City Code relating to Colonial Design Standards	Approved	
April 26, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the repeal of the entire existing Solar Energy Systems Ordinance	Approved	
April 26, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the amendment of the Colonial Design Standards and Site Plan Review as it relates to the Colonial Design Standards	Approved	
April 26, 2022	Ordinance Revision Resolution	The revised Mobile Food Vending Ordinance is received and placed on file as submitted, for action at May 24, 2022 meeting	Approved	
April 26, 2022	Annual Report Resolution	The 2021 Planning Commission Annual Report is received, placed on file and forwarded to City Council	Approved	
May 24, 2022	Ordinance Revision Resolution	Recommended to the Committee of the Whole the approval of the revised Mobile Food Vending Ordinance	Approved	
June 28, 2022	Façade Modification Resolution	Tabled action on a façade redesign for 21034 Mack Avenue until the July 26, 2022 Planning Commission meeting	Tabled	
September 27, 2022	Consultant Introduction	City Manager Frank Schulte introduced McKenna as the city's new consultant for planning, zoning and building matters		
November 22, 2022	Rezoning Resolution	Approved recusal of Commissioner Vitale from consideration of the proposed rezoning of 20100 Mack Avenue	Approved	
November 22, 2022	Schedule Public Hearing	Public hearing scheduled on December 13, 2022 at 7:00 pm for the rezoning of property at 20100 Mack Avenue	Approved	
December 13, 2022	Public Hearing and Resolution	Recommended to Mayor and City Council the rezoning of property at 20100 Mack Avenue, with an amendment to the Zoning Map at the corresponding location	Approved	



Looking Ahead: 2023 Work Plan

In the coming year, the following are additional projects for the Planning Commission to accomplish:

SUBCOMMITTEE WORK (2022 AND 2023)

The Planning Commission has several working subcommittees. Some achieved their goals by 2022 and may sunset, while Commissioners working in others intend to continue their momentum or pick up again in 2023.

2020 Plan

Grosse Pointe Park enacted its current Master Plan in 2006. In 2017, the Planning Commission created the actionable 2020 Vision Plan, a document that "provides concepts for achievable projects and programs for both near and long term goals" from the City's Master Plan. The 2020 Plan Subcommittee documented implementation of many of the elements it hoped to see achieved and thus plans to curb its activity for 2023.

Streetscape

This subcommittee helped install benches, trash receptacles, bike racks and similar street furniture at various locations and at this point does not plan to meet in 2023.

Solar Ordinance

Work essentially ended for this subcommittee with the June 2022 repeal of the Solar Energy Systems Ordinance, though not permanently. From a planning perspective, the Subcommittee continues a stance that solar energy systems should not be visible from the street side of a structure. Long term though, this eliminates about half the homes in the city, as most residential streets are oriented east-west. The subcommittee may likely revisit the topic in the future as technologies such as attractive solar shingles or siding becomes available.

Crosswalk/Pocket Park

This subcommittee was formed to develop these elements from the 2020 Vision Plan, focusing particularly on crosswalks along Mack Avenue. It has worked with Wayne County, the Grosse Pointe Public School System, the nonprofit Safe Routes To School Program and traffic consultants to determine the best location(s) for crosswalks.

MACK AVENUE/VERNIER ROAD INTERSECTION PLAN

The intersection of Mack Avenue and Vernier Road experiences the most crashes in the city. Grosse Pointe Woods is partnering with Wayne County to improve the intersection to lessen the potential for accidents and enhance safety and friendliness for cyclists and pedestrians, a majority of whom are school children. The Planning Commission's Crosswalk/Pocket Park Subcommittee has participated in meetings regarding adding crosswalks, including likely at Vernier and Sunningdale Street.

MASTER PLAN REWRITE

The City has retained Giffels Webster as its consultant to lead an effort to create a new Master Plan. Giffels launched the initiative at the Planning Commission's December 2022 meeting and will involve the Commission and present its progress at various points throughout 2023, culminating in a draft Plan in early 2024, which the Commission anticipates recommending approval for adoption to the City Council.





Task 1 Public Input:

In Phase 1 of the Master Plan Update, a public open house is included, which provides an opportunity for input to the Planning Commission prior to the preparation of the plan elements of the document. The following describes additional opportunities for public input in Phase 2. Public participation is critical to the planning process. Our team offers the following public participation approaches in this project:

- A. Online engagement platform that will allow for users to provide input, share ideas, respond to surveys and tie feedback to geographic locations in the city.
- B. Public open house an informal opportunity to share the findings of phase 1 and solicit input on direction for the long-range planning in phase 2.

Timeline: Ongoing throughout project

Deliverables: Summary of public input

Cost: \$4,500

<u>Task 2 Plan Preparation:</u> Our team proposes to incorporate the following into Master Plan update, with one optional chapter):

- Future Land Use Plan Map and supporting recommendations based on the existing conditions analysis, public input, and goals and objectives. A narrative of the intent of each land use category will be provided. Graphics and implementation details illustrating specific proposals will be included as appropriate.
- 2. Optional Mack Avenue Corridor Plan. For this chapter, the city will review the findings and recommendations from the 2020 Vision Plan for Mack Avenue. After review, any necessary modifications will be incorporated in this Chapter. Topics to be reviewed include the following:
 - a. Coordinated New Streetscape Elements (Bike Racks / Benches / Trash Cans)
 - b. Street Light Pole Banners / Enhancements
 - c. Additional Pocket Parks
 - d. 30 MPH Speed Limit
 - e. Outdoor Cafe Enhanced Support
 - f. Enhanced Crosswalks / Traffic Calming Features
 - g. Commercial Beautification / Façade Improvement Incentives
 - h. Mack Avenue Marketing / Branding

This is not intended to be a comprehensive update of the Vision 2020 document, but rather modest adjustments and supplements necessary to bring the document up to date. The cost of this element is \$7,000.

- 3. Action Items Summary Table:
 - a. an easy-to-use checklist for prioritizing implementation strategies. Identify a Champion and Partners for each specific action item to ensure implementation success.
 - b. Zoning Plan: Prepare a Zoning Plan to guide short-range zoning decisions. Relate current and new districts to each land use category as necessary. Provide direction for zoning changes needed as a result of the Master Plan.

Timeline: 6-7 months

- Four meetings with Planning Commission to prepare the plan, review the Draft Plan and review materials for the Open House
- One meeting of the Planning Commission to review the final draft prior to release for public comment.

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Deliverables: Draft Master Plan

Cost: \$20,000 (\$27,000 with optional Mack Avenue Corridor Plan update)

Task 3: Public Hearing & Adoption

- 1. Assist in preparing for the distribution of the draft plan to surrounding communities and designated agencies and utilities.
- 2. Prepare notice of public hearing in accordance with the Michigan Planning Enabling Act.
- 3. Present draft Plan at the public hearing. Prepare Resolutions of Adoption.
- 4. Assist Planning Commission with final adoption procedures.

Timeline: 2-3 months

Deliverables: Final draft plan

Cost: \$3,000

Task 4: Plan Prep & Printing

- A. Prepare document for printing and/or electronic copies to be distributed by a digital link. Print complete document for distribution (copies to be billed separately, with cost varying depending on number of copies printed.
- B. Print & Transmit Adopted Plan: Print Master Plan for final distribution as hard copy and an electronic document in PDF format. Coordinate with city staff to ensure the adopted Plan is distributed in accordance with State law.
- C. Executive Summary: Create an online story map of the Master Plan that includes the Future Land Use Plan Map and key concepts. This format provides the city with an excellent, low-cost method of sharing a concise summary of the Master Plan document with the public.

Timeline: 1 month

Deliverable: Final Master Plan as identified above.

Cost: \$2,500

Total Cost: \$30,000 - \$37,000 with Mack Avenue Corridor Plan Update

CITY OF GROSSE POINTE WOODS BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: BRUCE ECK, INTERIM BUILDING OFFICIAL

DATE: JANUARY 24, 2023

SUBJECT: BUILDING DEPARTMENT REPORT, JANUARY 2023

Since the last Planning Commission meeting, Someday Brewing received their Certificate of Occupancy.

Pointe Vision Care was issued permits for both a new awning and sign. Lochmoor Country Club was issued an interior demolition permit in preparation for an interior renovation project.

We have been following up on old projects that never have had final inspections and have been working with owners and contractors to come into compliance. We have been prioritizing projects such as in-ground pool projects and additions that may be a safety hazard if occupied without final inspections.

We also have been trying to work with business owners on commercial projects that have been stalled or have not had final inspections.

CITY OF GROSSE POINTE WOODS BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: BRUCE ECK, INTERIM BUILDING OFFICIAL

DATE: FEBRUARY 28, 2023

SUBJECT: BUILDING DEPARTMENT REPORT, FEBRUARY 2023

In the past month, the Grosse Pointe Woods Building Department is happy to have issued a Certificate of Occupancy to Body Matrix by Margo at 19798 Mack.

We have issued sign permits to Bloomfield Nail Salon at 20567 Mack and Emcura at 20599 Mack.

We have received a permit application and plans for the interior renovation at Lochmoor Country Club with a construction value totaling \$1,521,203. The permit is currently under review by McKenna & Associates.

Einstein Bagels has submitted an application to remove rotten wood attached to its façade. They will be re-painting where the old façade has stained the existing brick. It is currently under review by McKenna's Planning team to determine if the project will require planning approval.

Kroger has submitted an application and plans to replace the basement freezer and floor. The project is currently under review by McKenna & Associates. The construction value for that project is estimated to be \$75,000.

CITY OF GROSSE POINTE WOODS BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: JIM WRIGHT, ACTING BUILDING OFFICIAL

DATE: MARCH 28, 2023

SUBJECT: BUILDING DEPARTMENT REPORT, MARCH 2023

In the past month, the Grosse Pointe Woods Building Department has issued Certificates of Occupancy to Body Matrix by Margo at 19798 Mack, and Direct Financial, Nelson Family Services, Supportive Counseling Services, all suites at 20956 Mack.

We have issued sign permits to Bloomfield Nail Salon at 20567 Mack, Hollywood Feed (soon to be) at 19391 Mack, and Emcura at 20599 Mack.

We issued a building permit to Orlins Construction for an interior remodel at Lochmoor Club with a construction value totaling \$1,521,203.

Kroger has been issued a permit to replace the basement freezer floor. The construction value for that project is estimated to be \$75,000.

Einstein Bagels has been issued a permit to remove rotten wood attached to its façade. They will be re-painting where the old façade has stained the existing brick.

Plans have been received for Bucharest Grill at 19876 Mack, the permit application is currently under review by McKenna & Associates.

Qamaria Yemeni Coffee Company has submitted an Occupancy permit application for 19727 Mack, in the former Starbucks Coffee space.

A permit application has been submitted to add a wall and create a children's bathroom at Grosse Pointe Nursery School at 21336 Mack. The permit is currently under review by McKenna & Associates.