



CITY OF GROSSE POINTE WOODS
PLANNING COMMISSION AGENDA
Tuesday, February 24, 2026, at 7:00 PM

Robert E. Novitke Municipal Center - Council Chambers / Municipal Court, 20025 Mack Plaza,
Grosse Pointe Woods, MI 48236 | (313) 343-2426

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **RECOGNITION OF COUNCIL REPRESENTATIVE/s**
4. **PLEDGE OF ALLEGIANCE**
5. **ACCEPTANCE OF AGENDA**
6. **RECEIPT OF FINAL APPROVED MINUTES**
 - A. Planning Commission Meeting – January 27, 2026
7. **PUBLIC HEARING /s**
 - A. Host Public Hearing on the Special Land Use for 21043 Mack Avenue (Dunkin’ Donuts)
8. **NEW BUSINESS**
 - A. Consideration of the Special Land Use for 21043 Mack Avenue (Dunkin’ Donuts)
 - B. Consideration of the Site Plan for 21043 Mack Avenue (Dunkin’ Donuts) **Discussion only*
 - C. Planning Commission Annual Report of Activities
9. **OLD BUSINESS**
 - A. Consideration of the Site Plan for 20397 Mack Avenue (Platinum Oil Change)
10. **BUILDING OFFICIAL'S MONTHLY REPORT**
 - A. Building Department Report – January to February 2026
11. **COUNCIL REPORT/s**
 - A. Last Month: January 5, January 26 – Marx
 - B. This Month: February 2, February 23 – O’Keefe
 - C. Next Month: March 2, March 16 – Schulte
12. **INFORMATION ONLY**
13. **PUBLIC COMMENT** (*Limited to 3-minutes per person*)
14. **ADJOURNMENT** (*Next Regular Meeting: March 24, 2026*)

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services - contact Grosse Pointe Woods by writing or call the City Clerk’s office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236, (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249.

MINUTES OF THE **PLANNING COMMISSION** MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON **JANUARY 27, 2026**, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA DR., GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:00 p.m. by Chair Fenton.

Roll Call: Chair Fenton
Commission Members: Ellis, Fuller, Gilezan, Hamborsky, O'Keefe, Schulte
Absent: Marx, Vitale

Also Present: City Planner Ashley Jankowski
City Attorney Debra Walling
Recording Secretary Gretchen Miotto

MOTION by Gilezan, seconded by Schulte, to excuse Commissioners Marx and Vitale from tonight's meeting.

Motion carried by the following vote:
YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

Chair Fenton recognized Council Representative Gafa.

The Planning Commission, staff, and the public, Pledged Allegiance to the U. S. Flag.

MOTION by Fuller, seconded by O'Keefe, to accept tonight's agenda as presented and place on file.

Motion carried by the following vote:
YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

MOTION by O'Keefe, seconded by Fuller, that the December 9, 2025, Planning Commission meeting minutes be approved as presented.

Motion carried by the following vote:
YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

The first item under **Public Hearings**, was to **host a Public Hearing on the Special Land Use for 21800 Marter Road.**

MOTION by Fuller, seconded by Gilezan, to open the **public hearing.**

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

Chair Fenton opened the public hearing at 7:04 pm.

Planner Jankowski provided an overview of the Special Land Use, the recent rezoning to CF – Community Facilities, that was approved earlier this month, and that St. Clair Shores, where the majority of the property lies, has passed this.

Mike Blaneck, of Stucky-Vitale Architects, representing the applicant, was present to answer any questions.

The following residents were heard:

1. Gary Felts, 1680 Oxford, stated he is not opposed, but took issue with the McKenna memo, dated January 13, 2026 where they state there would be “no disruption to Residential Areas, Parking or Traffic”, when there is now an empty field and there will be a 40,000 square foot building.
2. Lynne Aldrich, 1501 Oxford, while not in favor or opposition, agrees with Mr. Felts in that the memo stating there would be no disruption, without doing a traffic study, is not accurate.

No one wished to speak in opposition to the rezoning.

MOTION by Gilezan, seconded by Schulte, to **close the public hearing on the Special Land Use for 21800 Marter Road.**

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

Chair Fenton closed the public hearing at 7:08 pm.

The next item, under **New Business**, was to **Consider the Special Land Use for 21800 Marter Road.**

Planner Jankowski provided an overview of McKenna’s review based on the Zoning Ordinance on Special Land Use.

MOTION by Schulte, seconded by O’Keefe, that the Planning Commission recommend the Special Land Use for 21800 Marter Road to City Council for approval.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

The next item, under New Business, is to **Consider the Site Plan for 21800 Marter Road.**

Planner Jankowski provided an overview of McKenna’s review of the site plan and that St. Clair Shores has already approved it, and McKenna recommends 8 additional evergreens to lessen the visibility impact on residents across the Milk River.

Mike Blanek, of Stucky-Vitale Architects, representing the applicant, spoke about the design and stated they will add any trees that are recommended.

Mike Melhem, 40 Stonehurst, GPS, applicant, provided details on the hours of operation (7 am- 10pm); the roller doors (for ventilation only on nice days – the building is air-conditioned); the lighting on the required exit door will be downlit only; there will be nothing on the roof other than the ability to accommodate future solar panels per Michigan Building Code.

MOTION by O’Keefe, seconded by Schulte, that the Planning Commission approve the Site Plan for 21800 Marter Road and recommend approval to City Council with the inclusion of the additional screening and subject to City Council approving the Special Land Use.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

The next item, under **New Business**, was the **Election of 2026 Planning Commission Chair and Vice Chair.**

MOTION by Fenton, seconded by O’Keefe, to nominate Hamborsky for Chair.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale
ABSTAIN: Hamborsky

Hamborsky accepted the nomination for Chair.

MOTION by Gilezan, seconded by Fuller, to nominate Marx for Vice-Chair, subject to Marx accepting the nomination.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

The next item, under **Old Business**, was to **Consider the Site Plan for 20160 Mack Avenue**.

Planner Jankowski provided an overview of the revised Site Plan, including the demolition of the existing building; a two-story, mixed-use building will be constructed: the first floor, approximately 8,800 square feet – no tenants identified yet, but may include up to one quick-service restaurant (not to exceed 3,200 square feet), with no drive-throughs permitted. Any future proposed uses will be reviewed for compliance with the permitted uses of the C, Commercial Business District; the second floor will have up to seven residential units; the rear parking will be improved with landscaping.

City Attorney Walling confirmed that the conditional rezoning agreement has been fully executed and will be filed immediately.

Mike Blaneck, of Stucky-Vitale Architects, representing the applicant was present to respond to questions. The outdoor seating location will be finalized based on the tenant. Window boxes are proposed, though the final version will include the detailed landscape plan. All lighting was reviewed and provided in the updated photometric plan that was provided during the meeting. They feel a 5-foot wall is appropriate and they will pursue a variance for that. The construction process is moving forward to apply for a permit as soon as they can.

MOTION by Fuller, seconded by O’Keefe, that the Planning Commission approve the Site Plan for 20160 Mack Avenue subject to the following conditions:

1. Samples of the proposed building materials are provided to the Planning Commission at their meeting for review and are found acceptable;
2. Lighting intensity and placement is reduced and adjusted on a revised photometric plan for administrative review;
3. That compliance with the screening wall requirements provides one of two options: a) reduce the masonry wall height to 4 feet, or b) submit for, and receive, a variance for a taller masonry wall;
4. A revised landscape plan is submitted for administrative review, which provides species for all proposed vegetation.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

The next item was the **Building Official’s Report – December 2025 to January, 2026**.

Planner Jankowski reported on the current projects and their progress toward completion.

The next item was the **City Council Reports for December, 2025, and January, 2026**.

Commissioner Hamborsky attended the December 2 meeting, where the first reading of the rezoning of 20160 Mack was approved for a second reading on January 5 (which was also approved).

Commissioner Marx will report on the January meetings next month.

Commissioner O’Keefe will attend the February meetings.

Under **Information Only**, Planner Jankowski had a few items:

- The 2025 Planning Commission Annual Report will be presented at the next meeting;
- The scam emails requesting money that appear to be from the Building Department are still being received by applicants.

Discussion ensued around the Planning Commission budget and whether it would apply to educational courses that are listed in the provided brochure, and yes, it would.

Chair Fenton welcomed Mr. Schulte to the commission and thanked him for joining. He will contact Commissioner Marx about the Vice-Chair nomination.

Under **Public Comment**, the following were heard:

1. Lynne Aldrich, 1501 Oxford, feels that “administrative decisions” as mentioned in McKenna memos should be brought to the Commission so the public can hear.
2. Gary Felts, 1680 Oxford, spoke about inconsistencies in the McKenna memos, specifically Eastside Dermatology and 20160 Mack. Also, after a conversation with a Council member who thanked him for getting involved in what could have been “a big mistake” at 20160 Mack, he admonished the Planning Commission & City Council for not “stopping a big mistake” – it shouldn’t have to be the residents.

MOTION by Fuller, seconded by O’Keefe, to adjourn at 8:02 p.m.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe, Schulte
NO: None
ABSENT: Marx, Vitale

Respectfully Submitted,
Gretchen Miotto
Clerk’s Confidential Administrative Assistant & Recording Secretary



MCKENNA

February 11, 2026

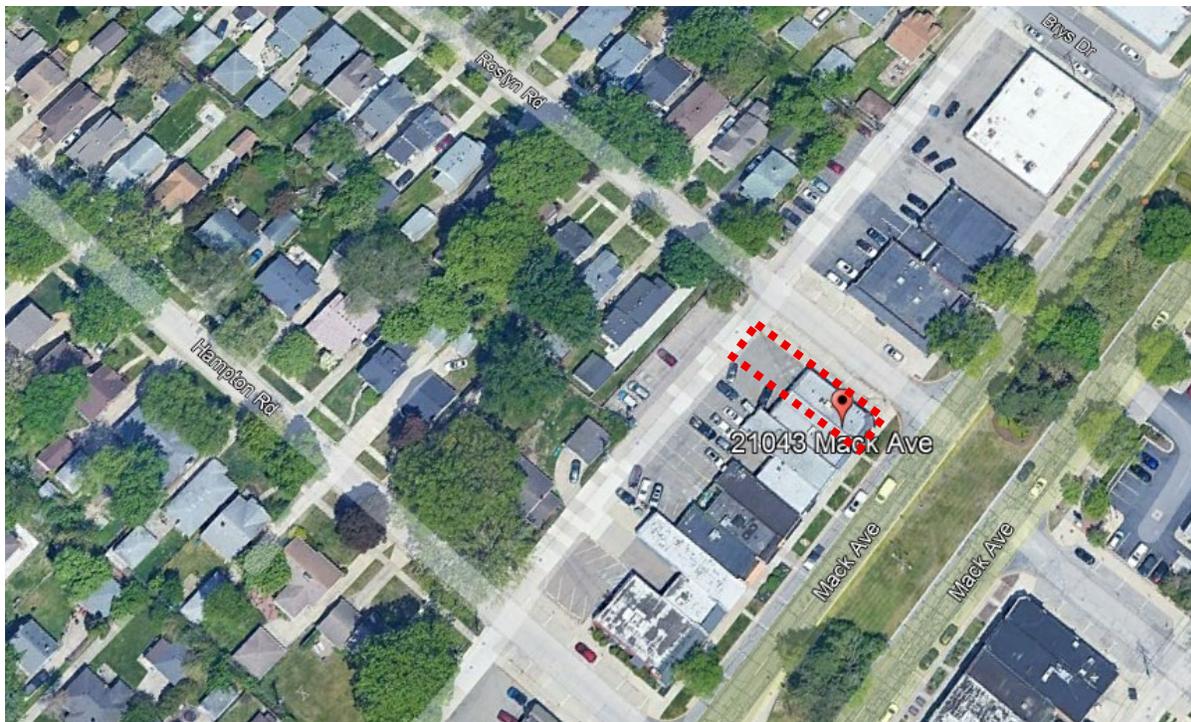
Planning Commission
City of Grosse Pointe Woods
21043 Mack Ave
Grosse Pointe Woods, MI 48236

Subject: 21043 Mack Avenue: Special Land Use for Dunkin Donuts' / Baskin Robbins
Parcel ID: 003-06-0095-000
Special Land Use: Review #1
Zoning: C, Commercial Business District

Dear Commissioners,

Jeffrey Scott Architects has submitted a special land use request for a fast-casual / take-out restaurant (Dunkin Donuts' / Baskin Robbins) in an existing, single-story building. The restaurant unit will occupy approximately 2,627 square feet. No drive-thru is proposed, and dining is take-out or within the restaurant only (no outdoor dining).

The site is located on Mack Avenue between Roslyn and Hampton Roads, and is zoned the C, Commercial Business District where take-out restaurants are a *Special Land Use*. *Special Land Uses* require a public hearing and consideration before the Planning Commission. A public hearing has been noticed for the February 24, 2026 Planning Commission meeting.



HEADQUARTERS
235 East Main Street
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Northville, Michigan 48167

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Recommendation

As a Special Land Use, the Planning Commission may impose reasonable standards to offset negative impacts on surrounding properties based on their findings and comments brought forth during the required public hearing.

Based upon general compliance with the City's Zoning Ordinance, it is recommended that the Special Land Use for a fast-food / take-out restaurant (Dunkin Donuts' / Baskin Robbins) at 21043 Mack Avenue be recommended to City Council, subject to the following:

- 1. The hours of deliveries are provided and found acceptable to the Planning Commission. The expected delivery schedule must be detailed on the final site plan.*
- 2. Site plan approval is granted.*

This recommendation is based on the following findings:

- A. **Consistency with the Master Plan.** The subject site is designated as "Corridor Mixed Use" on the Future Land Use Map of the 2024 Master Plan. The proposed use aligns with the intended uses of the Corridor Mixed Use designation, which includes retail, restaurant, and personal service establishments serving nearby residents. Additionally, the current zoning district of the site (C, Commercial Business) is consistent with the Corridor Mixed Use designation.*
- B. **Compatible Surrounding Land Uses.** The site is located on an existing commercial corridor. Adjacent land uses are either buffered by zoning transitions or are not expected to be negatively impacted.*
- C. **No Anticipated Nuisance or Public Hazard.** The nature of the proposed business (the serving of coffee, quick bites, and ice cream) is not anticipated to create disruptive noise, smoke, odor, glare, or vibration. The proposed use is similar in character and intensity to existing nearby commercial operations.*
- D. **Support for Walkable, Mixed-Use Development.** The site is located on Mack Avenue, a commercial corridor designed to accommodate pedestrian-oriented businesses and promote a walkable environment. The reuse of an existing commercial storefront supports compact, efficient development.*
- E. **Compliance with Zoning Ordinance Intent.** The proposed restaurant use is consistent with the intent of the C, Commercial Business District to support local business development that benefits both residents and merchants.*

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Paige Smith, NCI
Assistant Planner



Special Land Use Review

This project is reviewed against the Zoning Ordinance requirements and the City’s Master Plan. We offer the following comments for your consideration; items that do not comply or require additional information are underlined.

1. HARMONY WITH MASTER PLAN (MI ZONING ENABLING ACT)

Criteria: *Is the proposal consistent with the goals, policies, and future land use map of the Master Plan? Or, has the applicant demonstrated that conditions have changed significantly since the Master Plan was developed, and request is demonstrably consistent with the development trends in the area?*

Findings: Complies.

The chart below details the existing land use, current zoning, and future land use designations.

The Future Land Use Map of the 2024 Master Plan designates this area as “Corridor Mixed Use”. In the Master Plan, this land use classification is generally described as retail, restaurant, personal service, and office establishments which are designed for the day-to-day retail and personal service needs of nearby residents. These facilities are intended to be near residential neighborhoods with adequate buffering. The existing C, Commercial Business District corresponds to this land use classification.

The proposal complies with the future land use designation of “Corridor Mixed Use” as the use is for a smaller scale restaurant that will serve nearby residents.

Location	Existing Land Use	Zoning Districts	Future Land Use Designation
Subject Site	Vacant	C, Commercial Business	Corridor Mixed Use
North	Financial Office	C, Commercial Business	Corridor Mixed Use
South	Retail	C, Commercial Business	Corridor Mixed Use
East	Retail (across Mack Avenue)	C, Commercial Business	Corridor Mixed Use
West	Single-Unit Residential	R-1E, One-Family Residential	Single Family Medium Density

2. HAZARDOUS OR DISRUPTIVE SMOKE, FUME, GLARE, NOISE, VIBRATION OR ODOR POLLUTION (SEC. 50-4.11)

Criteria: *To promote such business development insofar as it is possible and appropriate in each area, uses are prohibited [in the C Commercial District] which would create hazards, offensive and loud noises, vibration, smoke, glare, heavy truck traffic or late hours of operation.*

Findings: Complies.

The restaurant will be open for quick meal services (such as coffee, sandwiches, ice cream, pastries, etc.) and features limited seating inside. The proposed restaurant is similar to surrounding uses, both on this commercial block and along the greater Mack Avenue corridor. The restaurant is not expected to be hazardous or disruptive, provided the site is properly maintained.



The restaurant is proposed to be open daily from 5:00 a.m. – 10 p.m. These hours of operation are not expected to be a concern. However, it is recommended that delivery hours are provided by the applicant to minimize any disruptions. An acceptable delivery schedule could be a condition of approval for the Special Land Use.

3. CONSISTENCY WITH INTENT OF THE ZONING ORDINANCE (SEC. 50-3.1)

Criteria: The intent of the C, Commercial Business District is to encourage the concentration of local business areas to the mutual advantage of both the consumers and merchants and thereby promote the best use of land at certain strategic locations and avoid the continuance of encouraging marginal strip business development along major streets.

Findings: Complies.

The proposed commercial business provides a quick restaurant option to nearby residential areas. The restaurant will occupy an existing storefront along Mack Avenue, which is designed to facilitate pedestrian traffic and a mix of commercial establishments and services. The existing building is also compliant with the dimensional standards of the C, Commercial Business District.

We find that this restaurant will serve local residents, invite visitors, and encourage orderly business development along Mack Avenue.



MCKENNA

February 10, 2026

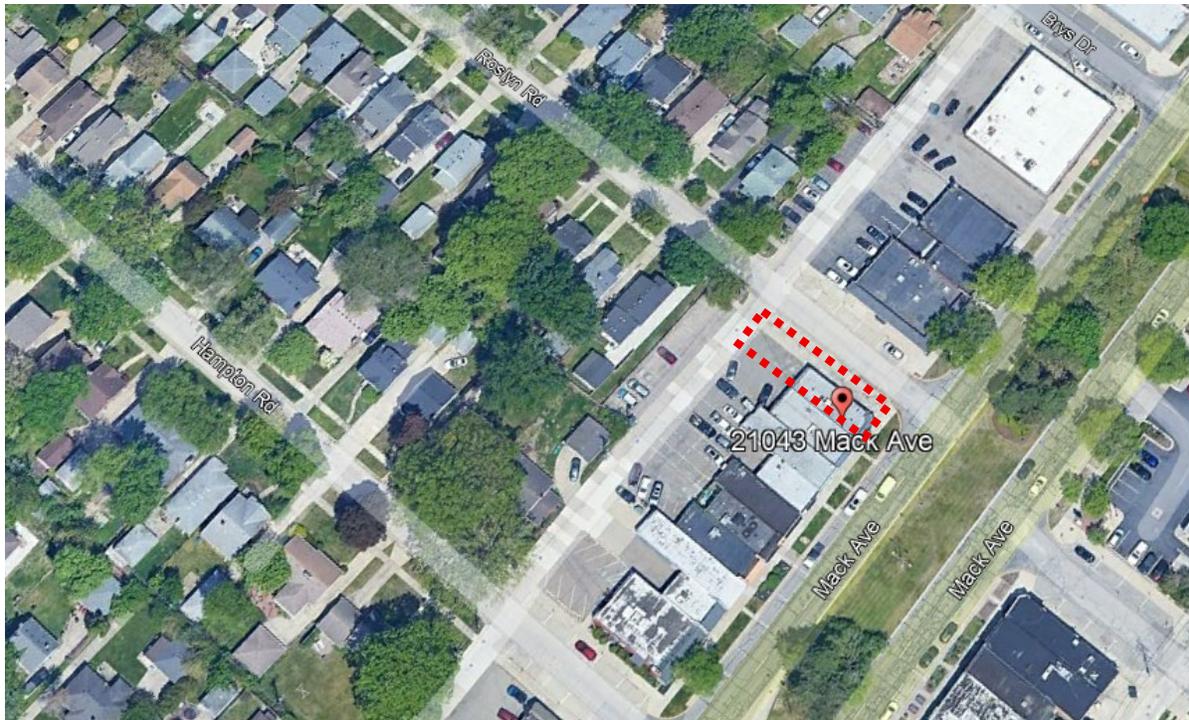
Planning Commission
City of Grosse Pointe Woods
21043 Mack Ave
Grosse Pointe Woods, MI 48236

Subject: 21043 Mack Avenue: Site Plan for Dunkin Donuts' / Baskin Robbins
Parcel ID: 003-06-0095-000
Site Plan: Review #1
Zoning: C, Commercial Business District

Dear Commissioners,

Jeffrey Scott Architects has submitted a site plan for a fast-food / take out restaurant (Dunkin Donuts' / Baskin Robbins) in an existing single-story, multi-tenant building. The restaurant unit will occupy approximately 2,627 square feet. No drive-thru is proposed, and dining is take-out or within the restaurant only (no outdoor seating).

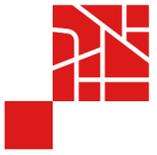
The site is located on Mack Avenue between Roslyn and Hampton Roads, and is zoned the C, Commercial Business District where take-out restaurants are a *Special Land Use*. *Special Land Uses* require a public hearing and consideration before the Planning Commission – please find our Special Land Use review under separate cover.



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Recommendation

Based upon general compliance with the City's Zoning Ordinance, it is recommended that the Site Plan for a fast-food / take-out restaurant (Dunkin Donuts' / Baskin Robbins) at 21043 Mack Avenue be tabled, subject to the resolution of the following items:

- 1. Special Land Use approval is granted by the Planning Commission and City Council (including any conditions of that approval).*
- 2. The dumpster enclosure fencing is noted as "to be stained a natural, neutral color" on a revised site plan.*
- 3. Building façade adjustments are provided on a revised site plan; the February meeting is an opportunity for the Planning Commission to provide direction to the applicant on the architectural design, building materials, and color selections.*
- 4. The site plan is updated to include a 3-foot-in-height, decorative brick screening wall adjacent to Rosyln Road (to screen the employee parking area).*
- 5. A note is added to the site plan stating: "No signage is approved as part of this site plan; future signage will be submitted under separate cover."*

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Paige Smith, NCI
Assistant Planner



Site Plan Review

We have reviewed the proposal in conformance to the City’s Ordinances and offer the following comments. Items that do not comply or require additional information are underlined.

1. ZONING DESIGNATIONS

The chart below details the existing land use, current zoning, and future land use designations:

Location	Existing Land Use	Zoning Districts	Future Land Use Designation
Subject Site	Vacant	C, Commercial Business	Corridor Mixed Use
North	Financial Office	C, Commercial Business	Corridor Mixed Use
South	Retail	C, Commercial Business	Corridor Mixed Use
East	Retail (across Mack Avenue)	C, Commercial Business	Corridor Mixed Use
West	Single-Unit Residential	R-1E, One-Family Residential	Single Family Medium Density

Findings: Can comply; contingent on Special Land Use approval. Please find our Special Land Use review under separate cover. The findings in that report detail the following:

- **Consistency with the Master Plan.** The subject site is designated as “Corridor Mixed Use” on the Future Land Use Map of the 2024 Master Plan. The proposed use aligns with the intended uses of the Corridor Mixed Use designation, which includes retail, restaurant, and personal service establishments serving nearby residents. Additionally, the current zoning district of the site (C, Commercial Business) is consistent with the Corridor Mixed Use designation.
- **Compatible with Surrounding Land Uses.** The site is located on an existing commercial corridor. Adjacent land uses are either buffered by zoning transitions or are not expected to be negatively impacted.



2. DIMENSIONAL REQUIREMENTS

Findings: Complies. The table below details the required dimensional standards. No dimensional changes are proposed, and compliance is met.

Standard Type	Requirement Details	Required	Existing / Proposed Conditions	Notes
Min. Front Setback (East)	In the Commercial Business District, no front yard is permitted where the property use is for the purposes specified in section 50-4.9 Retail businesses.	0 ft.	0 ft.	Complies
Min. Side Setback	In the Commercial Business District, no side yard is required on the street side of corner lots.	0 ft.	0 ft.	Complies
Min. Rear Setback	In the Commercial Business District, rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings.	N/A	N/A	N/A
Max. Building Height	2 stories, 28 ft.	2 stories, 28 ft.	1 story, ~20 ft.	Complies

3. ARCHITECTURE AND BUILDING DESIGN (SEC. 50-5.18)

The Zoning Ordinance’s design standards are intended to promote a coordinated and complimentary use of design elements that result in a theme-oriented, harmonious appearance and image for commercial and high intensity residential areas.

Per Section 50-5.18, “*New construction, renovations, remodeling, or exterior building alterations in the C, Commercial Business District shall be in conformance with approved design standards.*”

The Ordinance also encourages specific design standards for the C, Commercial District, as follows:

Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional" styles, which shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities.

Findings: Further review is necessary. The proposed exterior building alterations include replacement of the existing hip roof feature with a more modern parapet, painting of the light brick, and incorporation of materials such as fiber cement panels, cement lap siding with wood textures, and metal banding (see images on the following page).



The proposed façade renovations are not consistent with the architectural styles encouraged in the Zoning Ordinance. Adjustments to the proposed building design, façade materials, and colors would provide greater alignment with the traditional commercial character along Mack Avenue.

It is recommended that the Planning Commission use the February meeting as an opportunity to discuss the façade and provide direction to the applicant re: architectural design, building materials, and color selections.



4. PARKING AND LOADING (SEC. 50-5.3)

Per Section 50-5.3(H), establishments for the sale and consumption of beverages, food, or refreshments require “one off-street parking space for each employee on the premises during peak shift.” The maximum number of employees during peak shift is 6 employees.

Building Square Footage	Number of Off-Street Parking Spaces Required	Number of Off-Street Parking Spaces Provided	Number of Parking Spaces within 500 ft.	Total Parking Spaces Available (on- and off-site) within 500 ft.
2,627 sq. ft.	6 parking spaces	7 parking spaces (behind the building)	13 parking spaces directly along just Mack Avenue and Roslyn Road*	20 parking spaces

*The existing parking spaces to the north of the alley are reserved for a neighboring tenant, and do not contribute toward the parking space requirements for this site.

Findings: Complies. Per Ordinance 907 and Section 50-5.3 (Off-Street Parking Requirements), “the off-street parking facilities required for all other uses shall be located on the lot or on property in the city within 500 feet of the permitted use requiring such off-street parking”. The site already provides more than the required amount of parking (behind the building) and there is additional parking with 500 feet of the property.

The existing rear alley is sufficient for deliveries: a 12 ft. by 50 ft. loading zone is required and can be accommodated in the alley.



5. LANDSCAPING (SEC. 50-6.1)

The Ordinance requires that site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

Findings: Adjustments recommended. No additional landscaping or screening is proposed. The rear of the site contains a 3-foot, screen brick wall (see image below). It is recommended that the 3-foot, decorative screen wall be continued along the employee parking area (along Rosyln Road, see the red area below). This will ensure streetscape continuity and provide parking lot screening for nearby residences.



6. SIGNS

Chapter 32 of the City's Code of Ordinances details signage requirements.

Findings: Adjustments recommended. All exterior signage must be submitted under separate cover for administrative review and approval. No signage is approved as part of this application, and must be so noted on a revised site plan.

7. LIGHTING

The Ordinance requires that exterior lighting be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Findings: N/A. No changes to the exterior site lighting is proposed at this time. Any future exterior lighting must be submitted under separate cover for review.

8. TRASH RECEPTACLE

The Ordinance requires that trash receptacles be screened with quality materials that complement the site and adjacent properties.

Findings: Can comply. A new 6-foot-in-height dumpster enclosure is provided at the rear of the building, with access to the alley, and will be collected twice a week. While the placement and dimensional standards of the dumpster enclosure are appropriate, the color of the painted fence is not provided. The fencing must be stained in a natural, neutral color.



CITY OF GROSSE POINTE WOODS

Building Department

20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426 – E-mail: building@gpwmj.us

SITE PLAN REVIEW & SPECIAL LAND USE

COMMERCIAL – Zoned As – Please Check One:

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> C – Commercial Business | <input type="checkbox"/> RO-1 – Restricted Office | <input type="checkbox"/> P-1 – Vehicular Parking |
| <input type="checkbox"/> CF – Community Facilities | <input type="checkbox"/> C-2 – High Intensity City Ctr | |

Property Owner Name: 21043 MACK, LLC Date: 1/20/2026

GPW Property Address: 21043 MACK AVE.

Telephone #: Work _____ Home/Cell: EMAIL: NIKO@MMDCO.COM

Contractor/Applicant Name: JEFFERY SCOTT ARCHITECTS ATTN: ANDREA BADER

Telephone # 248-476-8800 Cell Phone # 248-561-2079

Contractor/Applicant Address: 32316 GRAND RIVER AVE. SUITE 200 FARMINGTON, MI 48336

E-mail: ABADER@JSCOTTARCHITECTS.COM

MI Builder's License #: _____ MI Driver's License #: _____

Nature of Proposed Work:

CONVERTING AN EXISTING TENANT SPACE INTO A DUNKIN RESTAURANT.

Value of Construction \$ 600,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: Andrea Bader

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

For Planning & Zoning Use Only

Review category:

- | | |
|--|---|
| <input type="checkbox"/> Site Plan – Planning Commission | <input type="checkbox"/> Site Plan – Administration |
| <input type="checkbox"/> Special Land Use | <input type="checkbox"/> Use Variance |
| <input type="checkbox"/> Public Hearing # _____ | <input type="checkbox"/> Non-Use Dimensional Variance |

For Office Use Only

Approved: _____ Denied: _____ Zoning Board of Approval Required # _____

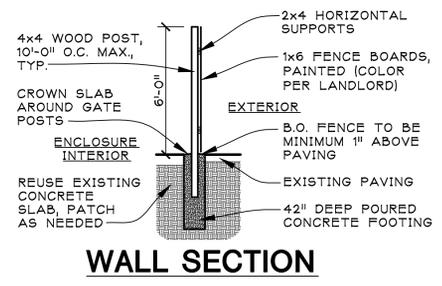
Inspector: _____ Date: ____/____/____



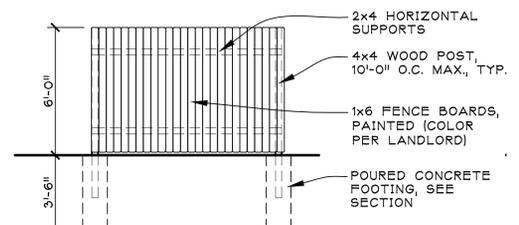
jeffery a. scott architects p.c.
architects • engineers

Special Land Use Application Comments:

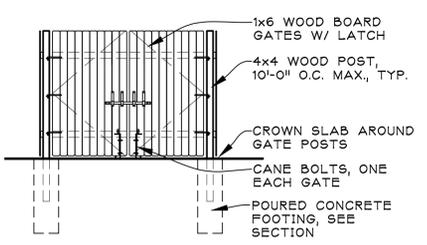
- Hours of operation: Daily 5:00 a.m.- 10 p.m.
- Max number of employees per shift is 6
- There are 16 seats in the dining area.
- Trash will be stored in a new trash enclosure (See site plan).
- Trash will be collected twice weekly.
- There will be no exterior seating.
- Exterior signage is shown on exterior elevations. This will be under separate permit.
- There are seven existing parking spaces on the premises. These will be utilized for employee parking.
- Customers will utilize the public on street parking or in the rear of the building.
- Parking lighting is existing to remain (noted on site plan).



WALL SECTION

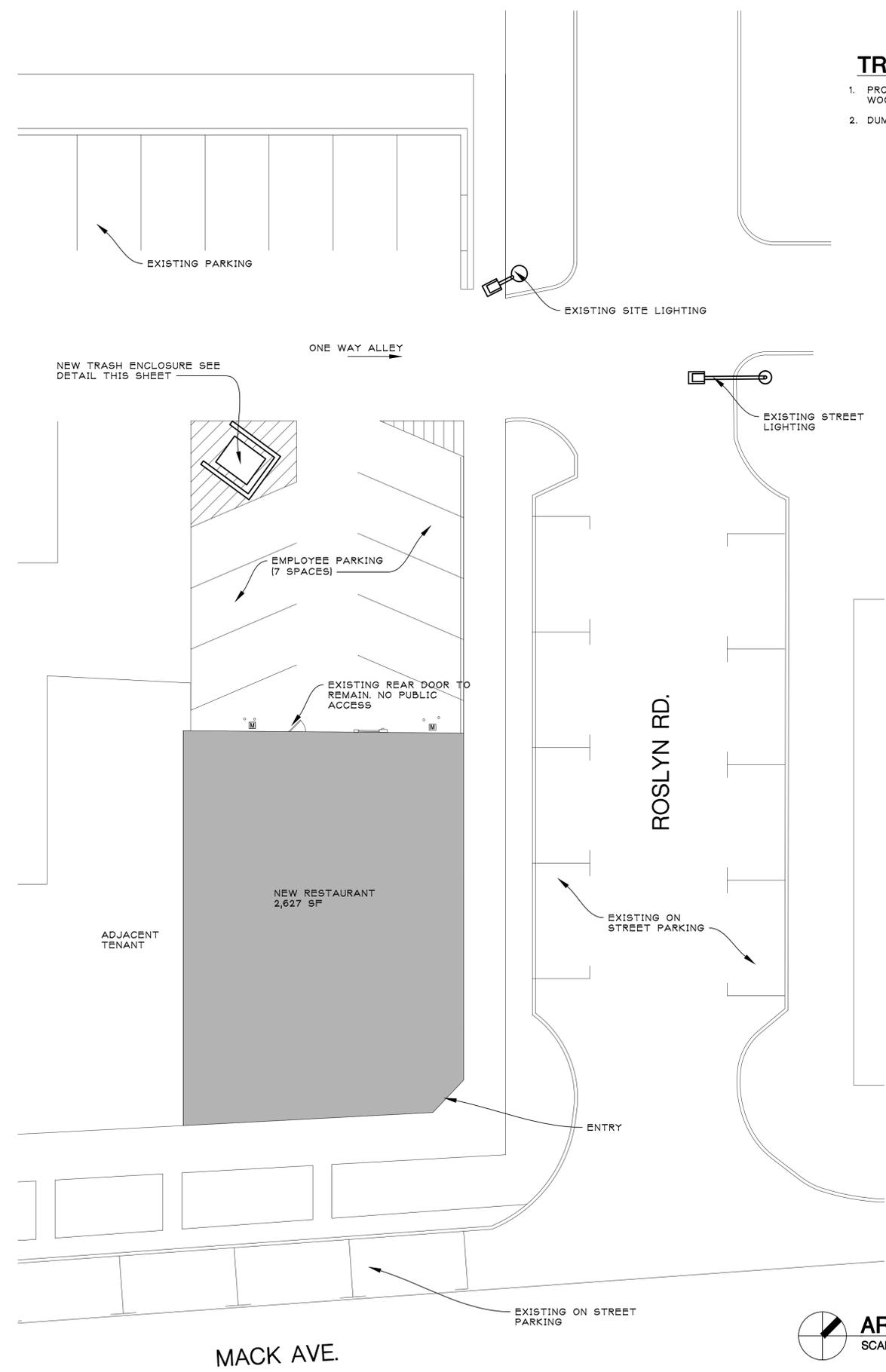


SIDE ELEVATION



FRONT ELEVATION

1 TRASH ENCLOSURE DETAILS
 ASP-1 SCALE: 1/4"=1'-0"



TRASH ENCLOSURE NOTES

1. PROVIDE CONCRETE PAD AND FENCE AROUND DUMPSTER. FENCE TO BE TREATED WOOD ENCLOSURE.
2. DUMPSTER ENCLOSURE MUST ABIDE BY LOCAL COMMUNITY CODE.

ARCHITECTURAL SITE PLAN
 SCALE: 1" = 10'-0"



SHEET TITLE:

ARCHITECTURAL SITE PLAN

PROJECT:
DUNKIN'/ BASKIN ROBBINS
 21043 MACK AVE
 GROSSE POINTE WOODS, MI
 PC# 366737

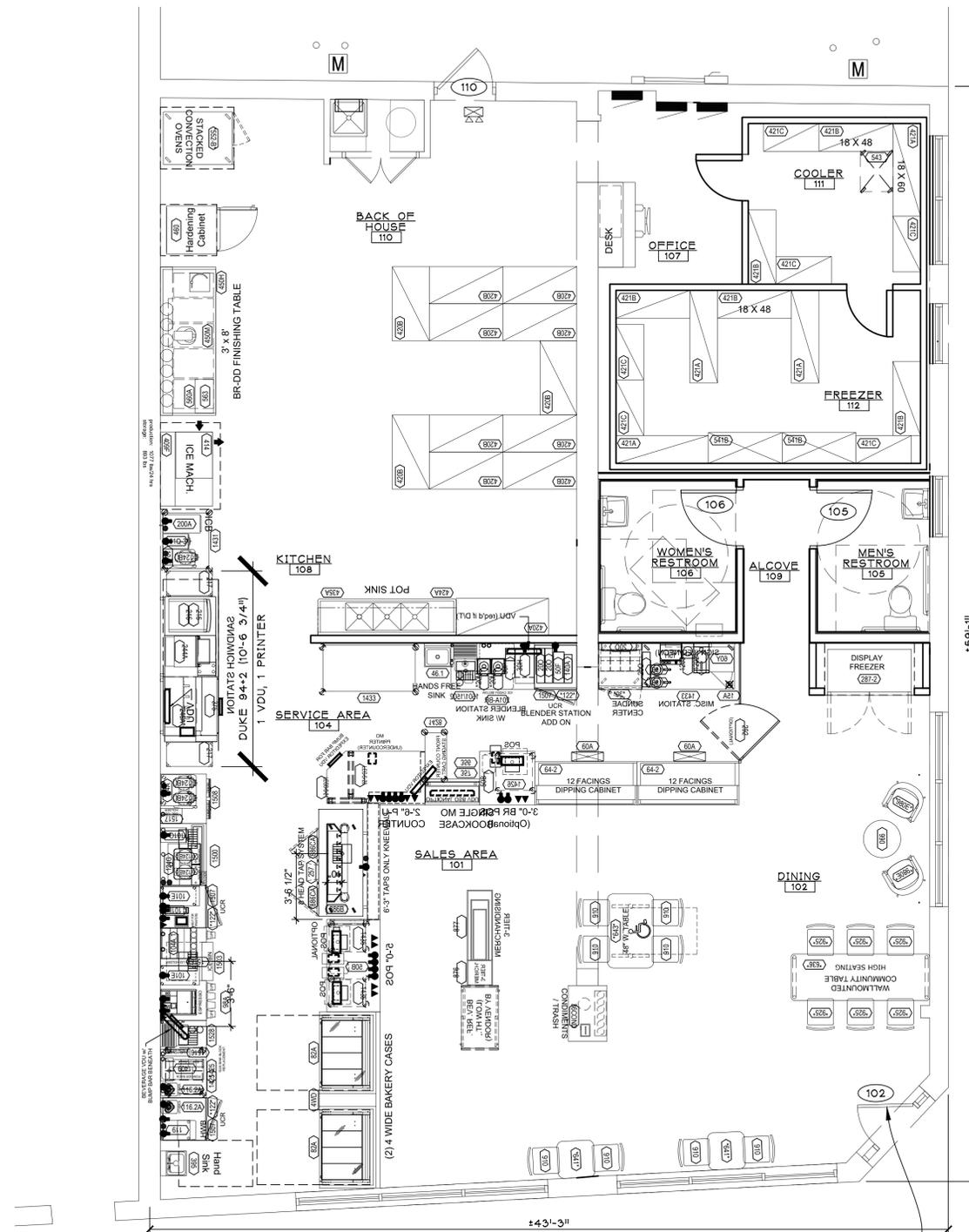
ISSUED FOR:
 SPECIAL LAND USE 1/20/2028

DO NOT SCALE PRINTS
 USE FIGURED DIMENSIONS ONLY
 JOB NO.

25130
 SHEET NO.

ASP-1

PLOT SIZE: 36"X24"



PROVIDE LADDER PULL HANDLES AT EXTERIOR DOORS, REFER TO NATIONAL ACCOUNTS (TYP.)

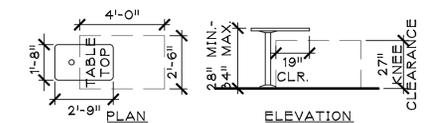
FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:

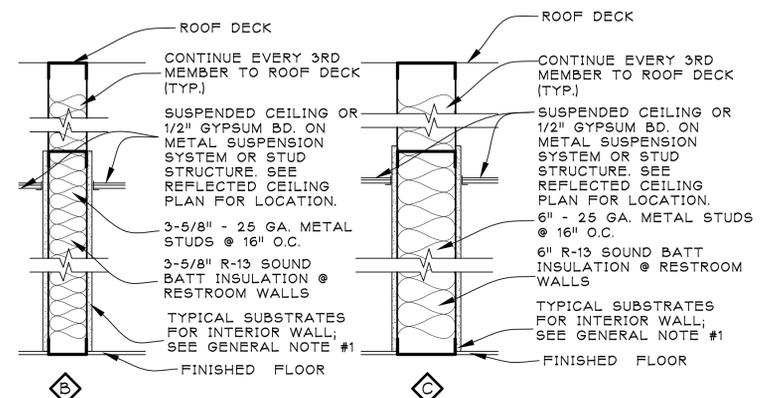
- ALL JUNCTIONS BETWEEN THE WALL SURFACES AND THE EDGES OF ATTACHED EQUIPMENT AS WELL AS ALL ANNULAR OPENINGS AROUND PIPES DUCTS OR OTHER CONDUITS WERE THEY PASS THROUGH WALLS AND FLOOR SHALL BE SEALED WITH A MIXTURE OF STEEL WOOL AND APPROVED CAULK/ SEALING COMPOUND.
- ENSURE TOP PLATES AND THE JOINTS BETWEEN WALLS AND CEILINGS ARE SEALED.
- DUCT SHAFT & PIPING PENETRATIONS: OPENINGS FROM CRAWL SPACE AND ATTIC SHALL BE SEALED.
- ALL SHAFTS: PROPER FLASHING AROUND FLUE AND GAPS SEALED AND CAULKED
- ALL PENETRATIONS AT EXTERIOR WALLS SHALL BE SEALED INCLUDING VENTS AND ELECTRICAL CONDUIT & BOXES.
- PROVIDE CORROSION-PROOF RODENT/BIRD SCREENS (E.G., STEEL MESH) FOR ALL BUILDING OPENINGS THAT CANNOT BE FULLY SEALED AND CAULKED (E.G., VENTILATION SYSTEM INTAKE / EXHAUST OUTLETS AND ATTIC VENT OPENINGS).
- INTERIOR WALL INSULATION & FIRE BLOCKING**
 - ALL INTERIOR PARTITIONS ARE TO BE INSULATED USING UNFACED BATT INSULATION. REFER TO PARTITION TYPE KEYS THROUGHOUT PLANS.
 - UNFACED BATT INSULATION ALSO ACTS AS FIRE BLOCKING WITHIN THE STUD WALLS; SECURE INSULATION WITHIN STUD SPACING.
 - BATT INSULATION SHALL FILL THE ENTIRE DEPTH OF WALL CAVITY. PACK TIGHTLY AROUND PIPING OR CONDUIT WITHIN WALL CAVITY.
 - EXTEND INSULATION 12" ABOVE CEILING LINE.

GENERAL NOTES

- TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS:
 PREP/ KITCHEN AND STORAGE AREAS:
 0'-0" TO 3'-0" - 5/8" DUROCK CEMENT BOARD, 3'-0" AND ABOVE - 5/8" ORIENTED STRAND BOARD (OSB)
 SERVICE AREA:
 5/8" MIN. ORIENTED STRAND BOARD (OSB), 5/8" DUROCK CEMENT BOARD BEHIND PORCELAIN/ CERAMIC TILES.
 SALES AND SEATING AREAS:
 5/8" GYPSUM BOARD, 5/8" DUROCK CEMENT BOARD BEHIND CERAMIC TILES, 5/8" ORIENTED STRAND BOARD @ DECORATIVE PLAM "WOOD" WALLS.
 RESTROOMS:
 5/8" DUROCK CEMENT BOARD
 - GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT: IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRIERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED; IN SERVICE AREA FOR: VDU, WALL SHELVES, ETC.
- DIMENSIONS SHOWN ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- REFER TO EQUIPMENT "K" SHEETS FOR INFORMATION REGARDING THE EQUIPMENT AND EQUIPMENT LAYOUT.
- SEE SCHEDULES SHEET FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.
- SEE K-SHEETS PROVIDED FOR NUMBER AND LOCATION OF THE FOLLOWING SITE FURNISHINGS: TABLE WITH SEATING, ADA TABLE WITH SEATING, TRASH CAN NEXT TO EXTERIOR SEATING AREA, TRASH CAN WITH CHUTE NEXT TO DRIVE-THRU AREA, AND GROUNDSKEEPER SMOKING MANAGEMENT RECEPTACLE. SEE NATIONAL ACCOUNT SOURCE INFORMATION FOR MANUFACTURER / SUPPLIER.
- PROVIDE FIRE EXTINGUISHERS, TYPE ABC, WALL HUNG, TOP @ 5'-0" A.F.F. (BY G.C.). - NUMBER AND LOCATION AS DETERMINED BY LOCAL CODE
- INDOOR AIR QUALITY MANAGEMENT REQUIREMENTS:
 - DURING CONSTRUCTION THE USE OF SMOKING/TOBACCO PRODUCTS INSIDE THE BUILDING IS PROHIBITED.
 - CONTRACTOR AND SUBCONTRACTORS SHOULD MAKE EVERY EFFORT TO MAINTAIN CLEAN WORK AREAS.
 - CONSTRUCTION ACTIVITIES THAT PRODUCE DUST SHOULD TAKE PLACE PRIOR TO HVAC STARTUP/USE, AND EVERY EFFORT SHOULD BE MADE TO DIRECT THESE POLLUTANTS TO THE OUTDOORS WITH FANS.
 - MATERIALS THAT ARE ABSORPTIVE SHOULD NOT BE BROUGHT ON-SITE UNTIL THE BUILDING IS SUFFICIENTLY DRIED IN, AND SHOULD BE ELEVATION FROM THE GROUND AND COVERED WITH VISQUEEN WHILE STORED ON SITE.
 - IF THE HVAC SYSTEMS WILL BE USED DURING CONSTRUCTION ACTIVITIES, TEMPORARY FILTRATION (MERV 8) SHOULD BE USED ON ALL RETURN AIR INTAKES, AND THE FILTERS INSIDE THE UNIT SHOULD BE REPLACED PRIOR TO BUILDING TURN OVER.
 - ALL INDOOR AIR QUALITY MANAGEMENT POLICIES OUTLINED ABOVE ARE PHOTOGRAPHED AT 25%, 50%, AND 75% PROJECT COMPLETION TO CONFIRM MEASURES WERE FOLLOWED.
- CONSTRUCTION WASTE RECYCLING REQUIREMENTS:
 - ALL CONSTRUCTION-RELATED RECYCLABLE WASTE SHOULD BE RECYCLED/REUSED OR OTHERWISE DIVERTED FROM LANDFILL WHENEVER POSSIBLE.
 - AT MINIMUM ALL CONCRETE, METAL, AND PLASTIC THAT MEETS LOCAL RECYCLING STANDARDS SHOULD BE RECYCLED.



ACCESSIBILITY DETAILS
SCALE: N.T.S.



PARTITION TYPES
SCALE: 1-1/2" = 1'-0"

ARCHITECT:

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 suite 200
 farmington, mi 48336
 248-476-8800
 JSCOTTARCHITECTS.COM
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DUNKIN'
BASKIN-ROBBINS

SHEET TITLE:

FLOOR PLAN

PROJECT:
DUNKIN'/
BASKIN ROBBINS
 21043 MACK AVE
 GROSSE POINTE WOODS, MI
 PC# 366737

ISSUED FOR:
 SPECIAL LAND USE 1/20/2028

DO NOT SCALE PRINTS
 USE FIGURED DIMENSIONS ONLY
 JOB NO.

25130

SHEET NO.

A-1

PLOT SIZE: 36"X24"



jeffery a. scott
architects p.c.

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JSCOTTARCHITECTS.COM

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SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT:

**DUNKIN/
BASKIN ROBBINS**
21043 MACK AVE
GROSSE POINTE WOODS, MI
PC# 366737

ISSUED FOR:
OWNER REVIEW 1/13/2028
SPECIAL LAND USE 1/20/2028

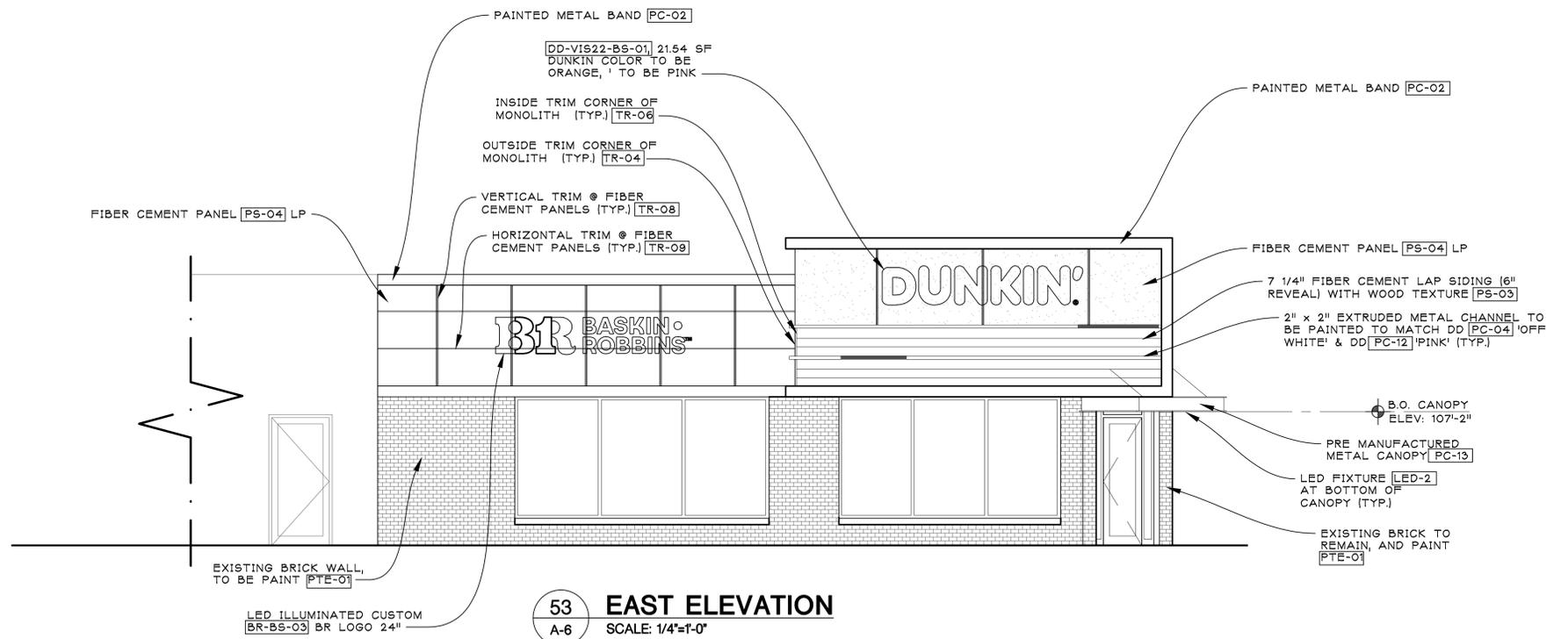
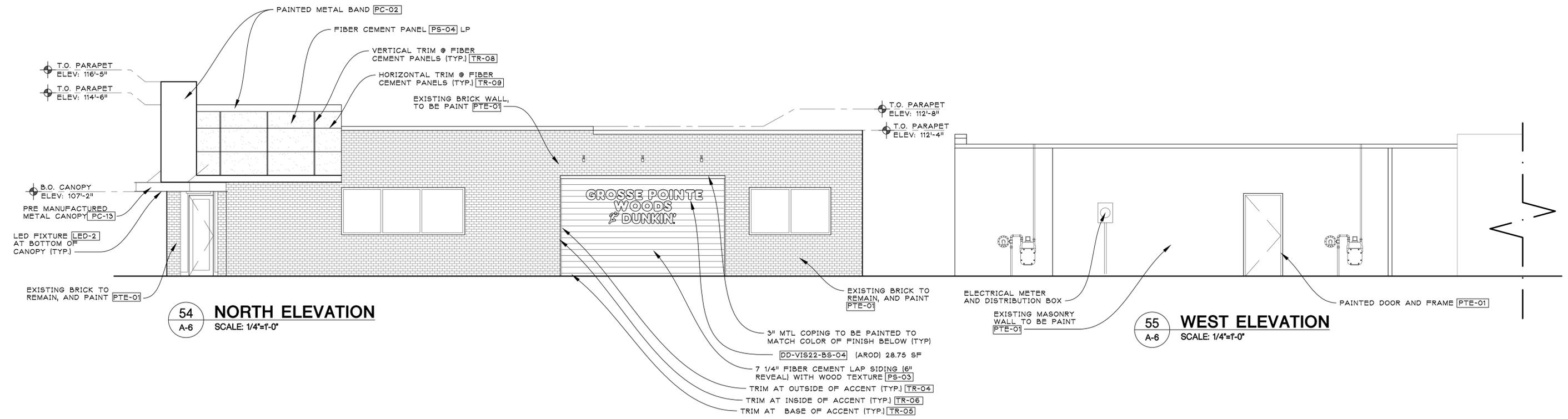
DO NOT SCALE PRINTS
USE FIGURED DIMENSIONS ONLY
JOB NO.

25130

SHEET NO.

A-5

PLOT SIZE: 36"X24"



ARCHITECT:



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architects p.c.

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JSCOTTARCHITECTS.COM

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SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT:

**DUNKIN/
BASKIN ROBBINS**
21043 MACK AVE
GROSSE POINTE WOODS, MI
PC# 366737

ISSUED FOR:
OWNER REVIEW 1/13/2026
SPECIAL LAND USE 1/20/2026

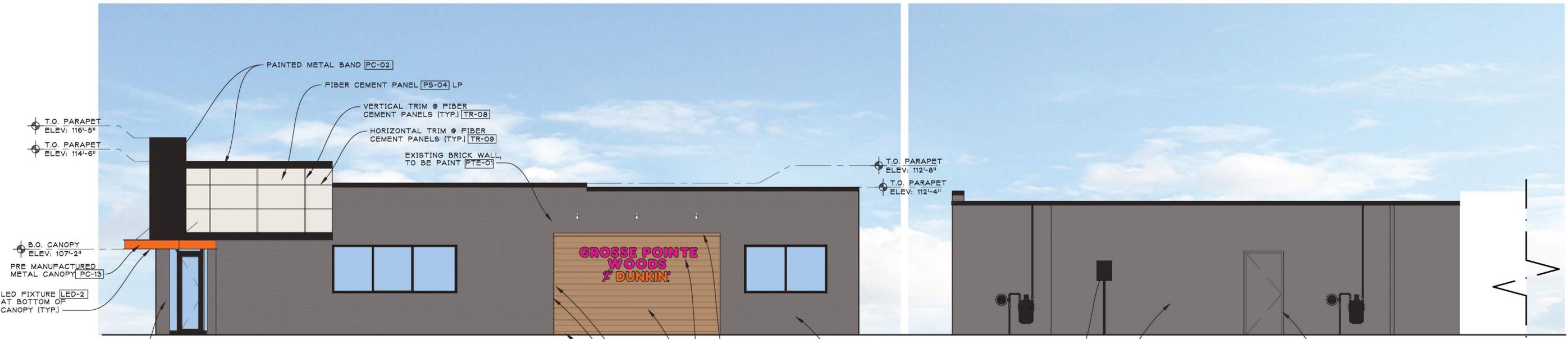
DO NOT SCALE PRINTS
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JOB NO.

25130

SHEET NO.

A-5

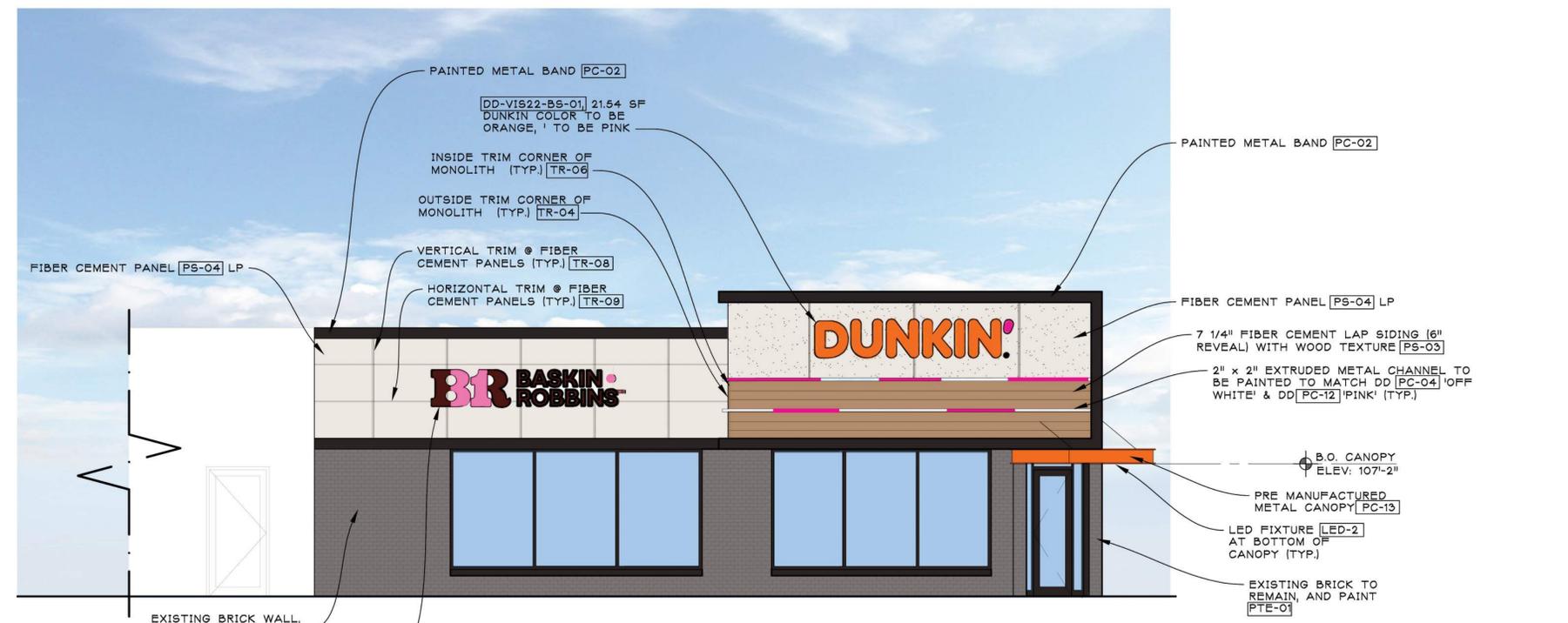
PLOT SIZE: 36"x24"



54 NORTH ELEVATION
A-6 SCALE: 1/4"=1'-0"

55 WEST ELEVATION
A-6 SCALE: 1/4"=1'-0"

- 3" MTL COPING TO BE PAINTED TO MATCH COLOR OF FINISH BELOW (TYP) [DD-VIS22-B5-04] (AROD) 28.75 SF
- 7 1/4" FIBER CEMENT LAP SIDING (6" REVEAL) WITH WOOD TEXTURE [PS-03]
- TRIM AT OUTSIDE OF ACCENT (TYP.) [TR-04]
- TRIM AT INSIDE OF ACCENT (TYP.) [TR-06]
- TRIM AT BASE OF ACCENT (TYP.) [TR-05]



53 EAST ELEVATION
A-6 SCALE: 1/4"=1'-0"

LED ILLUMINATED CUSTOM [BR-B5-03] BR LOGO 24"

Planning Commission 2025 Annual Planning Report and 2026 Work Plan to City Council - DRAFT

City of Grosse Pointe Woods, MI

The Commission's Annual Report is intended to serve as a planning document that outlines the work plan for the next fiscal year and is a communication tool to share recent achievements and plans for future goals to the community.

MEMBERSHIP

We thank the following Commission members for their time, commitment and hard work:

- Christian Fenton, Chair
- Douglas Hamborsky, Vice Chair
- Michael Fuller, Commissioner
- Grant P. Gilezan, Commissioner
- Douglas Hamborsky, Commissioner
- Mollie Mackinnon, Commissioner (Jan – May 2025)
- William Marx, Commissioner
- James McNelis, Commissioner (Jan - June 2025)
- Donna O'Keefe, Commissioner
- John A. Vitale, Commissioner

INTRODUCTION AND PURPOSE

As required by the Michigan Planning Enabling Act (MPEA) Act 33 of 2008, as amended, the Planning Commission shall submit a report of its 2024 activities.

"A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development."

In addition to fulfilling this requirement, the Annual Report and Work Plan increases information-sharing between staff, boards, commissions, and the governing body and allows for the anticipation of upcoming priorities, in order to prepare and budget.

MEETINGS

The Planning Commission met ten times in 2025:

1. Tuesday, January 28th, 2025
2. Tuesday, February 25th, 2025
3. Tuesday, March 25th, 2025
4. Tuesday, April 22nd, 2025
5. Tuesday, May 27th, 2025
6. Tuesday, July 22nd, 2025
7. Tuesday, August 26th, 2025
8. Tuesday, September 23rd, 2025
9. Tuesday, October 28th, 2025
10. Tuesday, December 9th, 2025

2025 in Review

The following tables outline various Planning Commission activities, including development reviews (site plan, special land use, etc.), and Zoning Ordinance and map amendments (rezonings) that were considered by the City in 2025. Please find an overview of the additional projects addressed by Planning Commission in 2025, which includes work on Ordinance Amendments.

	Project Type	Location	Project Description	Request	Planning Commission Motion / Result	City Council Result
JANUARY 28	Discussion of Short-Term Rental Ordinance	-	Short Term Rental Ordinance	Review Draft Ordinance Amendment to Prohibit Short Term Rentals within GPW	Tabled	-
	Discussion of Short-Term Rental Ordinance	-	Short Term Rental Ordinance	Review Draft Ordinance Amendment to Prohibit Short Term Rentals within GPW	Public Hearing Set	-
FEBRUARY 25	Discussion of pedestrian crosswalk improvements along Mack Avenue	-	2020 Vision Plan; Walkability and Pedestrian Safety along Mack Avenue	Identify specific areas where crosswalks would improve safety for pedestrians.	Request budget increase of \$20K for Master Plan Goals, including pedestrian improvements	Approved
	Public Hearing: Short-Term Rental Ordinance	-	-	-	Approved for City Council consideration, as written	Approved
MARCH 25	Rezoning Request	20160 Mack Avenue	RO-1 to C Commercial Rezoning Request for 20160 Mack	Rezone parcel to redevelop existing vacant medical office into a multi-tenant commercial building	Considered Setting a Special Meeting Date	-
	Rezoning Request	20160 Mack Avenue	RO-1 to C Commercial Rezoning Request for 20160 Mack	Rezone parcel to redevelop existing vacant medical office into a multi-tenant commercial building.	Recommended Approval.	Returned to Planning Commission.
	Site Plan Review (Pending Rezoning)	20160 Mack Avenue	Redevelopment of parcel	Redevelop existing vacant medical office into a multi-tenant commercial building.	Tabled.	-
	Site Plan Review	20507 Mack Avenue (Arthur Murray Dance Studio)	Building remodel and change of use and occupancy	Remodel building for use by a private dance studio.	Approved, with Parking Waiver.	-
	Site Plan Review	21003-21011 Mack Avenue (Little Nest Coffee Roasters)	Building remodel and change of use and occupancy	Remodel building for use by a coffee roaster café and new/expectant mothers programming.	Approved, with Conditions.	-

	Project Type	Location	Project Description	Request	Planning Commission Motion / Result	City Council Result
MAY 27	Lot Split Request	19655 & 19653 Mack Avenue (Salvatore Scallopini and Lamia & Lamia).	Lot Split of existing parcel.	Split lot into two parcels: Parcel 1 at 19655 Mack Avenue and Parcel 2 at 19653 Mack Avenue to allow for separate ownership of each building.	Recommended for Public Hearing and Approval.	Approved.
	Site Plan Review	19483 Mack Avenue (My Nails Salon).	Building remodel and change of use and occupancy	Remodeling building for use by a nail and waxing salon.	Denied.	-
	Site Plan Review	20397 Mack Avenue (Valvoline Oil Change)	Exterior façade remodel.	Update the exterior façade of the existing Valvoline Oil Change shop.	Denied.	-
	Site Plan Review (Pending Rezoning)	20160 Mack Avenue	Redevelopment of parcel	Redevelop existing vacant medical office into a multi-tenant commercial building.	Tabled.	-
July 22	Site Plan Review	19483 Mack Avenue (My Nails Salon).	Building remodel and change of use and occupancy	Remodeling building for use by a nail and waxing salon.	Tabled.	-
	Site Plan Review	20778 Mack Avenue (Verus Development)	Redevelopment of parcel	Redevelop parcel for commercial site.	Tabled.	-
	Rezoning Request	20160 Mack Avenue	RO-1 to C Commercial Rezoning Request for 20160 Mack	Rezone parcel to redevelop existing vacant medical office into a multi-tenant commercial building.	Recommend Approval.	-
	Site Plan Review (Pending Rezoning)	20160 Mack Avenue	Redevelopment of parcel	Redevelop existing vacant medical office into a multi-tenant commercial building.	Tabled.	-
	Planning Commission By-Laws Amendment	-	-	Amend By-Laws to explicitly limit public comment to 3 minutes per person.	Approved and Amended, As Written.	-
	Special Land Use	20647 Mack Avenue (Playa Bowls)	Building remodel and change of use (Carry-out/Fast-Food Restaurant)	Special Land Use to operate Playa Bowls in the C, Commercial District.	Recommend Approval, with Conditions.	Approved.
AUGUST 26	Site Plan Review (Pending SLU Approval)	20647 Mack Avenue (Playa Bowls)	Building remodel and change of use (Carry-out/Fast-Food Restaurant)	Remodel building for use by a Playa Bowls franchise.	Approval, with Conditions.	-
	Sign Permit	19815 Mack Avenue (Myndthera)	Sign Application for Multi-Tenant Building.	Permission to add a third sign to a multi-tenant building.	Approved.	-
	Site Plan Review	19271 Mack Avenue (Churchill's Cigar Bar)	Addition of an enclosed outdoor patio to existing building.	Permission to construct a permanent, enclosed outdoor patio structure in the right of way along Mack Avenue.	Tabled.	-
	Site Plan Review	19483 Mack Avenue (My Nails Salon).	Building remodel and change of use and occupancy	Remodeling building for use by a nail and waxing salon.	Approved.	-

	Project Type	Location	Project Description	Request	Planning Commission Motion / Result	City Council Result
SEPT. 23	Site Plan Review	19271 Mack Avenue (Churchill's Cigar Bar)	Addition of an enclosed outdoor patio to existing building.	Permission to construct a permanent, enclosed outdoor patio structure in the right of way along Mack Avenue.	Approved, with Conditions.	-
OCTOBER 28	Conditional Rezoning Request	20160 Mack Avenue	RO-1 to C Commercial Conditional Rezoning Request for 20160 Mack	Rezoning parcel to redevelop existing vacant medical office into a two-story, mixed-use building, with conditions.	Tabled.	-
	Site Plan Review (Pending Conditional Rezoning)	20160 Mack Avenue	Redevelopment of parcel	Redevelop existing vacant medical office into a two-story, mixed-use building, with conditions.	Tabled.	-
	Site Plan Amendment	20030 Mack Avenue (Eastside Dermatology)	Amendment to Approved Site Plan.	Construct a one-story addition to an existing medical office and to make improvements to the parking lot and drive approaches. Change scope of work to include a front entrance ADA lift; ADA parking and curb cuts; and garage demolition.	Tabled.	-
	Site Plan Amendment	20195 Mack Avenue (Lola's Taco Bar)	Amendment to Approved Site Plan.	Addition of a walk-up, outdoor service window to the approved site plan.	Approved, with Conditions.	-
DECEMBER 9	Rezoning Request	1925 Vernier Road	RO-1 to C Rezoning Request for 1925 Vernier Road.	Rezoning parcel to operate laundromat/dry cleaner's.	Recommended approval to Council	Approved (2026)
	Rezoning Request	21800 Marter Road	R-3 to C.F. Rezoning Request for 21800 Marter Road	Rezoning parcel to redevelop land to operate private pickleball courts.	Recommended approval to Council	Approved (2026)
	Conditional Rezoning Request	20160 Mack Avenue	RO-1 to C Commercial Conditional Rezoning Request for 20160 Mack	Rezoning parcel to redevelop existing vacant medical office into a two-story, mixed-use building, with conditions.	Recommended approval to Council	Approved (2026)

VARIANCES (ZONING BOARD OF APPEALS)

Date	Location / Project	Description	Status
Sept. 8	2086 Ridgemont Road	Variance for minimum lot size, minimum lot width, minimum side yard (total of two), size of side yard abutting a side street; and minimum size of dwellings, in order to construct a single-family home.	Approved
Nov. 10	541 Robert John Road	Variance for minimum side yard, in order to construct an addition to an existing single-family home.	Approved
Nov. 17	780 Moorland Road	Variance for rear yard setback to construct a rear patio addition to an existing single-family home.	Approved
Nov. 17	1191 S. Renaud	Variance for minimum side yard setback, in order to construct an addition to an existing single-family home.	Approved.
Nov. 17	21155 Mack Avenue	Use variance to operate a precious metals evaluation and purchasing service business, where in the C District, pawnshops and similar resale services are not permitted.	Approved.

SIGN REVIEWS (ADMINISTRATIVE)

Date	Location / Project	Status
Jan. 16	20083 Mack Avenue (Pangea Global Kitchen)	Approved
Feb. 6	19437 Mack Avenue (Cottage Inn)	Approved
Feb. 21	19307 Mack Avenue (Verizon)	Approved
Feb. 28	19803 Mack Avenue (The Wool and the Floss)	Approved
April 29	19599 Mack Avenue (State Farm)	Approved
April 29	20507 Mack Avenue (Arthur Murray Dance Studio)	Approved
May 7	21003 Mack Avenue (Little Nest Coffee Roasters)	Approved
June 12	20700 Mack Avenue (Billi's)	Approved
June 12	20710 Mack Avenue (Daily Jam)	Approved
June 24	20229 Mack Avenue (Knotted Needle)	Approved
July 21	20195 Mack Avenue (Lola's Taco Bar)	Approved
Aug. 5	19535 Mack (Haven Dental)	Approved
Aug. 26	19815 Mack Avenue (Myndthera)	Approved
Sept. 2	20065 Mack Avenue (Fifth Third Bank)	Approved
Sept. 4	20397 Mack Avenue (Platinum Oil Change)	Approved
Sept. 18	19299 Mack Avenue (Toothworks)	Approved
	19873 Mack Avenue (China Chef)	
	19487 Mack Avenue (Proof Bakery)	

ORDINANCE AMENDMENTS

Over the past year, Planning Commission has worked on the following amendments to the City's Zoning Ordinance:

1. Short Term Rentals

Planning Commission worked with the City Planner to preserve much-needed housing stock for current and future residents by banning short-term rentals (rentals that extend < 30 days) and phasing out pre-existing short term rentals.

- 2. Zoning Ordinance Rewrite:** Given that the City of Grosse Pointe Woods was awarded \$50,000 from MSHDA to rewrite its Zoning Ordinance, the Planning Commission spearheaded fewer Ordinance Amendments than in previous years. However, the Planning Commission has been integral in flagging future Ordinance Amendments that can be addressed in the current Zoning Ordinance rewrite to promote community well-being and housing readiness, to ensure small business success and economic development along Mack Avenue, and to align all Ordinances with the spirit and intentions of the Master Plan.



Memorandum

Project Name: Platinum Oil Change – Site Plan, Review #3
Address / Parcel ID: 20397 Mack Avenue / 007-04-0003-000
Zoning District: C, Commercial Business
From: Laura Mangan (Haw), AICP, NCI
Date: February 10, 2026

PROJECT BACKGROUND

Façade improvements are proposed for the existing one-story commercial building at 20397 Mack Avenue, which is an auto-service station (oil change facility). The proposed renovations of the exterior building must be reviewed by the Planning Commission to ensure the changes are consistent with the City’s design standards.

In spring of 2025, the applicant presented proposed façade changes to the Commission, which largely consisted of metal siding to achieve a modern design. The Commission tabled the application at that time, and requested greater consideration be given to the façade design, in keeping with the established architecture and building materials of the district.

More recently, revised plans were presented to the Commission in December of 2025, at which time further feedback and direction was provided to the applicant.

Since this time, the applicant has resubmitted for Commission approval (review #3).





Existing Building Façade at 20397 Mack Avenue

REVISED PLANS AND THE CITY'S BUILDING DESIGN STANDARDS

Ordinance Requirements

The Zoning Ordinance encourages specific design standards for the C, Commercial District, as follows:

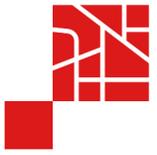
Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional" styles, which shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities.

Importantly, the Ordinance seeks to ensure that all new developments and façade updates are designed with high-quality, durable materials that align seamlessly with the existing corridor design.

Proposed Improvements

The existing building is pictured above for reference. Proposed changes to the façade and site include:

- Installation of brick veneer on all façades, with a matching paint color applied to a portion of the rear façade (where there is currently CMU block).
- Removal of the mansard roof to create a more modern, flat roofline. Installation of a 2-foot in height parapet wall (no change to the overall building height).
- Addition of two Hardie Board bands along the new parapet wall and above the existing windows and overhead doors.
- The proposed colors are neutral gray (for the brick), and natural woods tones (for the Hardie Board).



- Installation of two, decorative knee walls to better screen the existing parking lot – one along Mack Avenue and a second at the corner of Mack and Lancaster (near the existing pole sign). The knee walls will be comprised of the same brick veneer as the building and will feature a stone cap; they are 3-feet in height.

NEXT STEPS

Provided that the Planning Commission finds the revised building design and materials acceptable, it is recommended that the Site Plan for façade and screening improvements at 20397 Mack Avenue, Platinum Oil Change, be approved.

The following is a draft motion for your consideration:

I move to grant Site Plan approval for the façade and screening improvements at 20397 Mack Avenue, Platinum Oil Change.

PROJECT DATA

PROPOSED WORK:
 • EXTERIOR FACADE RENOVATION OF THE EXISTING BUILDING. SCOPE INCLUDES REMOVAL OF THE EXISTING MANSARD ROOF AND INSTALLATION OF NEW EXTERIOR SIDING AND FINISHES TO ALIGN WITH THE DOWNTOWN DISTRICT DESIGN CHARACTER.

BUILDING USE GROUP: = F-1: (AUTO REPAIR AND OTHER MOTOR VEHICLES)

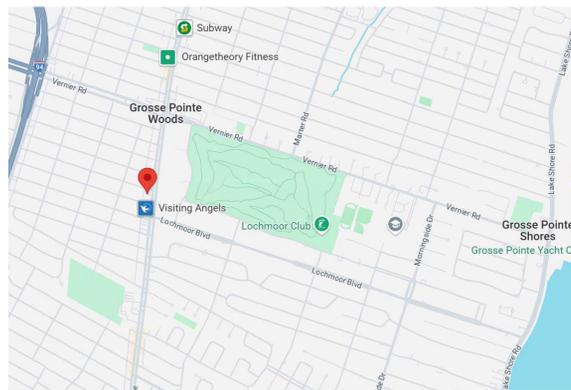
GROSS BUILDING AREA = 1,262 SF

FIRE SPRINKLER SYSTEM: = NO

CONSTRUCTION TYPE: = TYPE 3B

PLATINUM OIL CHANGE

20397 MACK AVE, GROSSE POINTE, MI 48236



LOCATION MAP
N.T.S.

APPLICABLE CODES

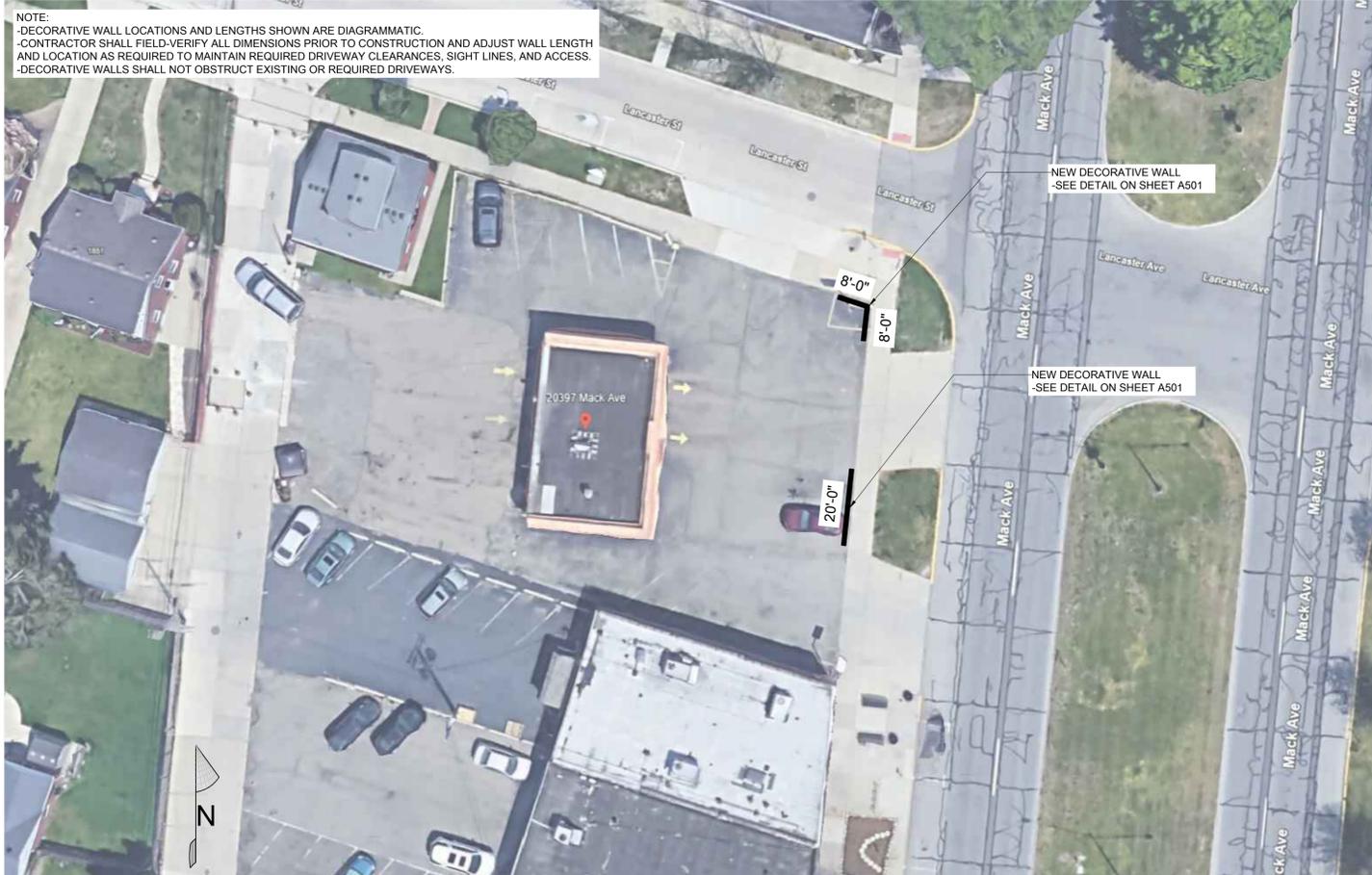
- 2021 MICHIGAN BUILDING CODE
- 2021 MICHIGAN PLUMBING CODE
- 2021 MICHIGAN MECHANICAL CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2023 MICHIGAN ELECTRIC CODE, WITH PART 8 RULES
- 2015 INTERNATIONAL FIRE CODE
- ASHRAE 90.1 2021 ENERGY CODE
- ICC/ANSI A117.1-2017 (ACCESSIBILITY)
- GROSSE POINTE ZONING ORDINANCE

ABBREVIATIONS

ADJ. ADJUSTABLE	DBL. DOUBLE	F.D. FLOOR DRAIN	INSUL. INSULATION	R.D. ROOF DRAIN	T. TREAD
A.F.F. ABOVE FINISH	DIA. DIAMETER	FDN. FOUNDATION	INT. INTERIOR	REF. REFERENCE	T.B.D. TO BE DETERMINED
ALUM. ALUMINUM	DISP. DISPENSER	FIN.G. FINISH GRADE	LAV. LAVATORY	REIN. REINFORCED	T.S. TO BE SELECTED
ALT. ALTERNATE	DIST. DISTANCE	FIN. FINISH	MAX. MAXIMUM	REOD. REQUIRED	TEL. TELEPHONE
ASPH. ASPHALT	DN. DOWN	PKT. FLOOR	MECH. MECHANICAL	RM. ROOM	THK. THICK
BD. BOARD	DR. DOOR	FLR. FLOOR	MEMB. MEMBRANE	R.O. ROUGH	T.O. TOP OF
BLDG. BUILDING	DTL. DETAIL	FLOR. FLOOR	MTL. METAL	R.O. ROUGH	T.O.C. TOP OF CURB
BM. BEAM	DWG. DRAWING	FRMG. FRAMING	MFR. MANUFACTURER	S.A. SUPPLY AIR	T.O.W. TOP OF WALL
B.O. BOTTOM OF	EA. EACH	FTG. FOOTING	MIR. MIRROR	S.C. SOLID CORE	T.S. TUBE STEEL
BOT. BOTTOM	EAC. EACH	FURN. FURNITURE	MISC. MISCELLANEOUS	SCHED. SCHEDULE	TYP. TYPICAL
CT. CERAMIC TILE	E.J. EXPANSION JOINT	FURR. FURRING	NO. NUMBER	SECT. SECTION	UR. URINAL
CLG. CEILING	ELEC. ELECTRICAL	GA. GAUGE	N.T.S. NOT TO SCALE	S.F. SQUARE FEET	VERT. VERTICAL
CL. CLOSET	ELEV. ELEVATOR	GALV. GALVANIZED	O.A. OVERALL	SH. SHELL	VTR. VENT-THRU ROOF
C.M.U. CONCRETE UNIT	EMER. EMERGENCY	GYP. GYPSUM BOARD	O.C. ON CENTER	SHR. SHOWER	W. WITH
C.O. CLEAN OUT	ENCL. ENCLOSURE	H.W. HARDWARE	O.S.B. ORIENTED STRAND BOARD	SO. SQUARE	W/O. WITHOUT
COL. COLUMN	EQ. EQUAL	HOB. HOSE BIBB	OPPOSITE BOARD	S.S. STAINLESS STEEL	W.C. WATER CLOSET
CONC. CONCRETE	EQUIP. EQUIPMENT	HDR. HOLLOW METAL	PANEL. PANEL	STL. STEEL	WT. WEIGHT
CONN. CONNECTION	EXIST. EXISTING	EXP. EXPANSION	PAR. PARTITION	STOR. STORAGE	CL. CENTERLINE
CONT. CONTINUOUS	EXP. EXPANSION	EXT. EXTERIOR	PLAS. PLASTER	SUSP. SUSPENDED	CL. CENTERLINE
CONTR. CONTRACTOR	CORR. CORRIDOR	CTR. CENTER	P.V.C. POLYVINYL CHLORIDE	SYM. SYMMETRICAL	PL. PROPERTY LINE
C.W. COLD WATER					AT

GENERAL NOTES

1. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS & DIMENSIONS & THOROUGHLY REVIEWING CONTRACT DOCUMENTS PRIOR TO DEMOLITION, ACQUIRING MATERIALS & CONSTRUCTION. IF THE CONTRACTOR FINDS DISCREPANCY BETWEEN THE EXISTING CONDITIONS & THE DRAWINGS THAT POSE A PROBLEM OR REQUIRES CLARIFICATION ABOUT ANY ONSITE OR DESIGN ISSUES, THEY MUST NOTIFY THE DESIGN PROFESSIONAL TO REQUEST CLARIFICATION.
2. IF THE CLIENT AND/OR CONTRACTORS MAKE A DECISION TO ALTER THE DESIGN IN THESE CONSTRUCTION DOCUMENTS, THE CLIENT / CONTRACTOR RECOGNIZE THAT ANY ISSUES ARISING FROM THESE CHANGES ARE IN NO WAY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL.
3. ALL CONSTRUCTION SHALL BE ACCORDING TO CURRENT STANDARDS AND SPECIFICATIONS OF THE STATE OF MICHIGAN, THE CITY WHEREIN THIS PROJECT IS LOCATED, ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATIONS AND MANUFACTURER SPECIFICATIONS.
4. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY CHECKING AND VERIFYING EXISTING FIELD CONDITIONS, MEASUREMENTS, CONTRACT DOCUMENTS AND CONFIRMING THAT ALL PROPOSED WORK IS BUILDABLE, AS SHOWN ON THESE PLANS, BEFORE THE COMMENCEMENT OF WORK.
5. ALL SUBCONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY REVIEW THESE CONSTRUCTION DOCUMENTS TO CONFIRM THAT THEIR BIDS ARE ACCURATE AND THAT THEIR COSTS HAVE BEEN ADEQUATELY COVERED. THE OWNER IS NOT RESPONSIBLE FOR EXTRA COMPENSATION DUE TO REASONABLY AVOIDABLE IGNORANCE OF THE EXISTING CONDITIONS AND PROPOSED WORK.
6. SUBCONTRACTORS ARE RESPONSIBLE FOR THE SAFETY PRECAUTIONS, MEANS, METHODS, AND TECHNIQUES OF CONSTRUCTION RELATING TO THEIR WORK, AND FOR THE LACK THEREOF.
7. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, INSPECTION FEES, AND APPROVAL OF THEIR WORK FROM THE REQUIRED LOCAL, STATE OR FEDERAL AGENCIES. SUBCONTRACTORS SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR.
8. EACH SUBCONTRACTOR SHALL OBTAIN AND MAINTAIN THE REQUIRED FORMS OF INSURANCE RELATED TO THE WORK.
9. THE DRAWINGS SHALL NOT BE SCALED TO DETERMINE EXACT DIMENSIONS. SCALING SHALL ONLY BE USED TO DETERMINE APPROXIMATE DIMENSIONS.
10. BEGINNING THE APPLICATION OF A FINISHED MATERIAL MEANS THAT THE SUBCONTRACTOR ACCEPTS THE SUB-MATERIAL AS SATISFACTORY AND TAKES RESPONSIBILITY FOR THE APPEARANCE OF THE FINISHED MATERIAL.
11. ALL INSTALLATION OF FINISH MATERIALS AND EQUIPMENT SHALL MEET THE MANUFACTURERS SPECIFICATIONS AND THE SPECIFICATIONS LISTED ON THESE CONSTRUCTION DOCUMENTS.
12. MILLWORK CONSTRUCTION SHALL CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK. DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER DESIGN AND EXECUTION.
13. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUT PARTS ON ALL EQUIPMENT AND MATERIALS.
14. THE GENERAL CONTRACTOR SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY FROM THE APPROPRIATE REGULATORY AGENCY.
15. IF THE CLIENT AND/OR CONTRACTORS MAKE A DECISION TO ALTER THE DESIGN IN THESE CONSTRUCTION DOCUMENTS, THE CLIENT/CONTRACTOR RECOGNIZE THAT ANY ISSUES ARISING FROM THESE CHANGES ARE IN NO WAY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL.



EXISTING SITE PLAN (PHOTO)

SCALE: N.T.S.

3A

SHEET INDEX

ARCHITECTURAL	
T101	• TITLE PAGE
A101	• DEMO - FLOOR PLAN • DEMO - ROOF PLAN • PROPOSED - FLOOR PLAN • PROPOSED - ROOF PLAN
A201	• DEMO / PROPOSED - ELEVATIONS
A301	• PROPOSED - BUILDING SECTION
A501	• ARCHITECTURAL DETAILS

PROJECT/OWNER

PLATINUM OIL CHANGE

ADDRESS: 20397 MACK AVE, GROSSE POINTE, MI 48236

COMMISSION: COMMERCIAL EXTERIOR RENOVATION

15800 Michigan Avenue
Dearborn MI 48126

Phone: 313-492-5347

mhadla@hadladesign.com
www.hadladesign.com

Architecture
Engineering
Construction

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DATE: 02.10.2026

ISSUE: _____

WORK BY: _____

PROJ. MGR. M. HADLA

PROJ. TEAM M. HADLA
A. SALHA

CHECKED BY M. HADLA

PAGE SIZE: _____

ARCH D - 24X36

DRAWING TITLE: _____

TITLE PAGE

PROJECT # _____

DRAWING DIRECTION _____

DRAWING # _____

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A. SALHA

CHECKED BY **M. HADLA**

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ARCH D - 24X36

DRAWING TITLE

DEMO:

• FLOOR PLAN

• ROOF PLAN

PROPOSED:

• FLOOR PLAN

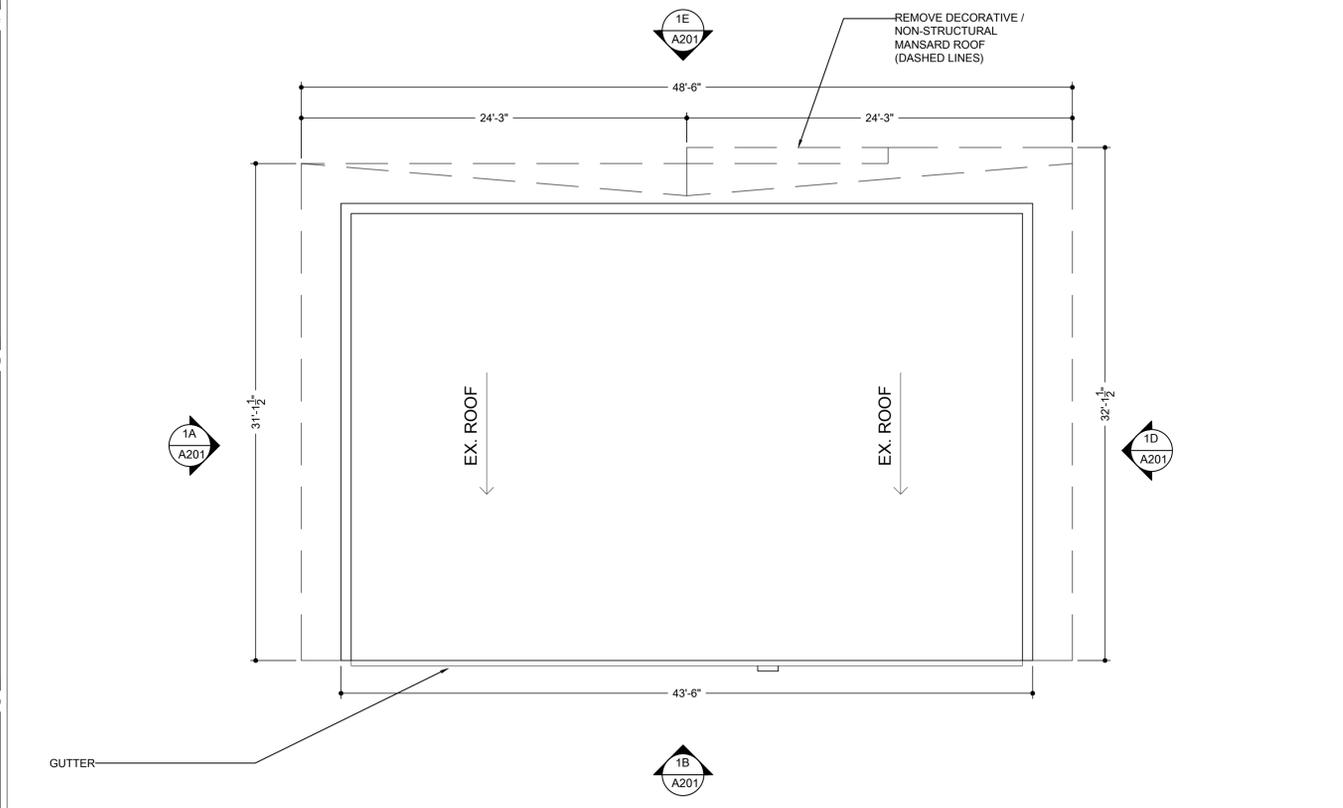
• ROOF PLAN

PROJECT #

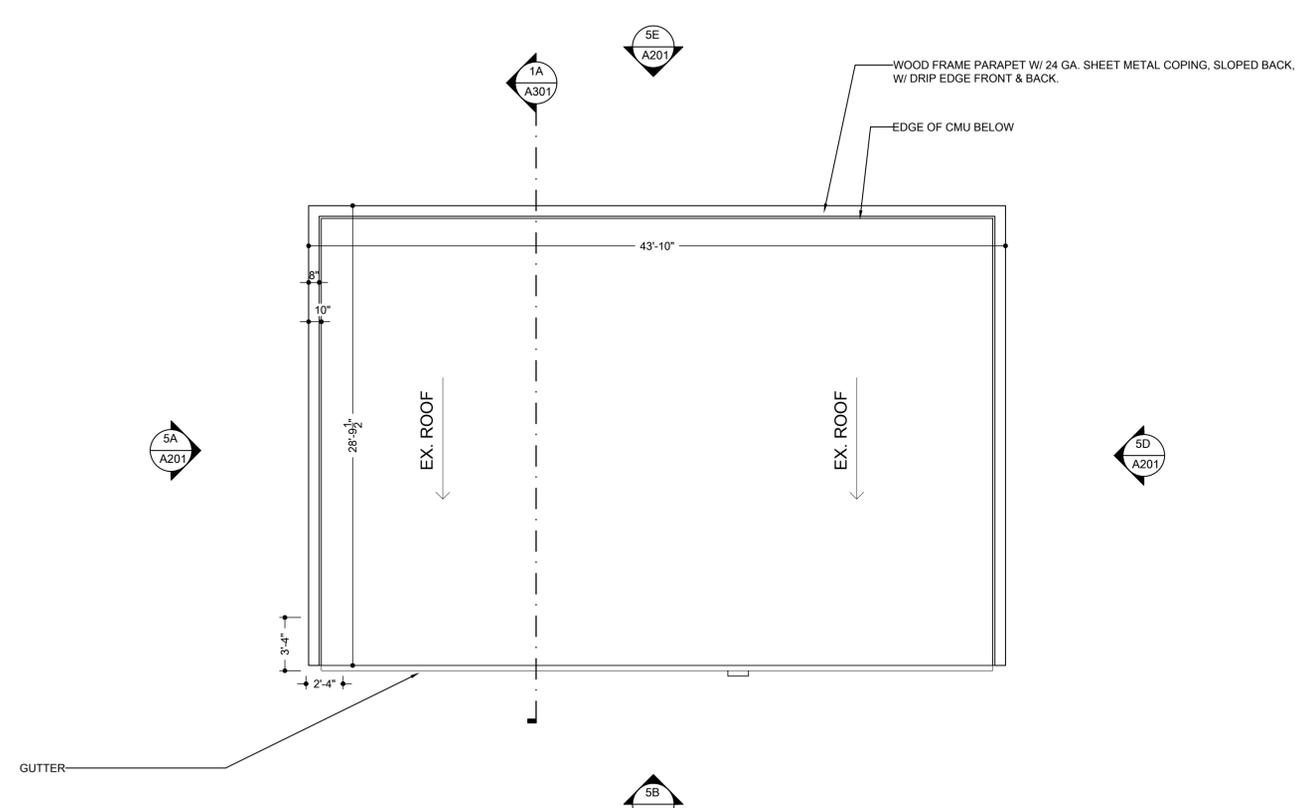
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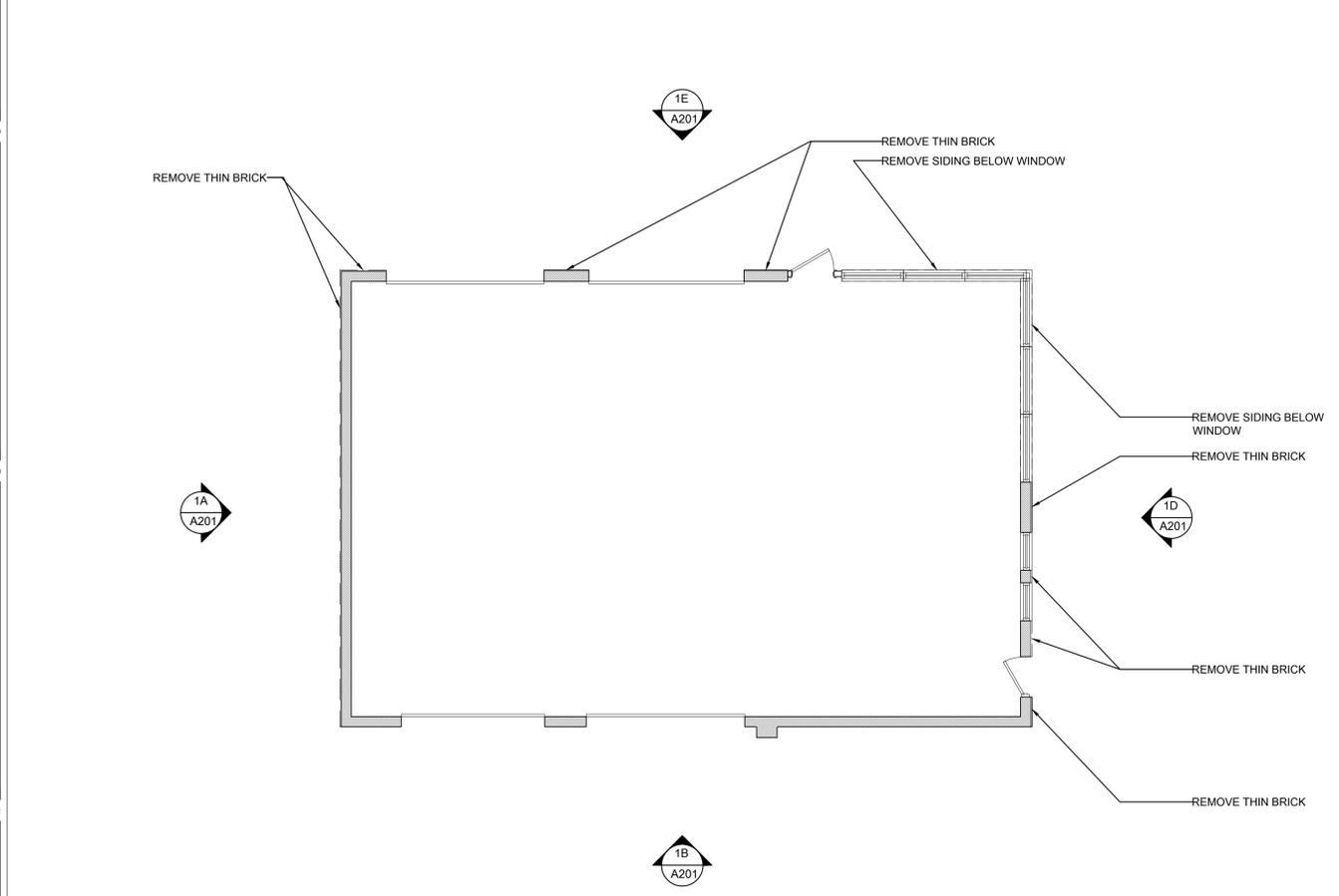
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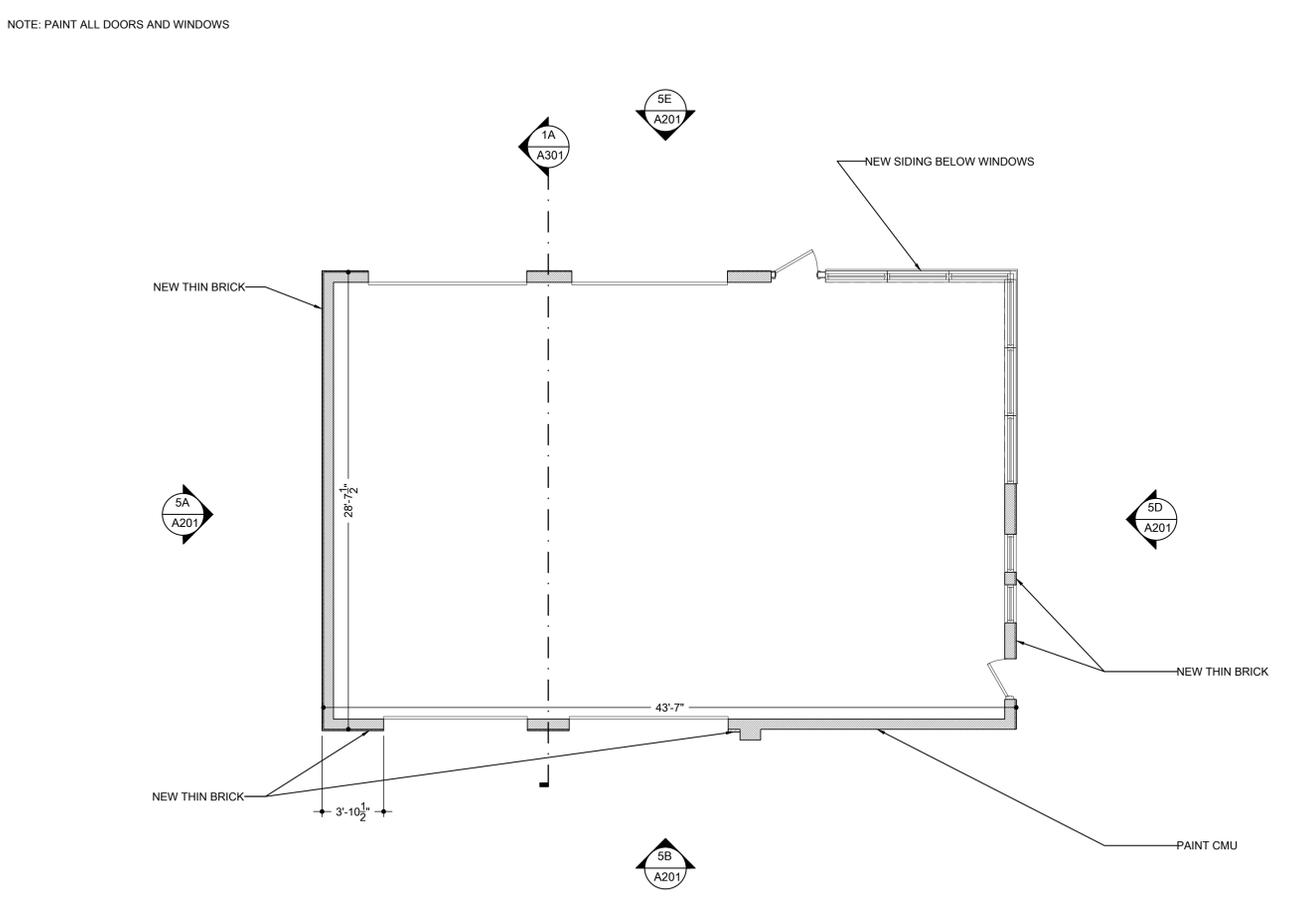
1D DEMO - ROOF PLAN
SCALE: 3/16"=1'-0"



5D PROPOSED - ROOF PLAN
SCALE: 3/16"=1'-0"

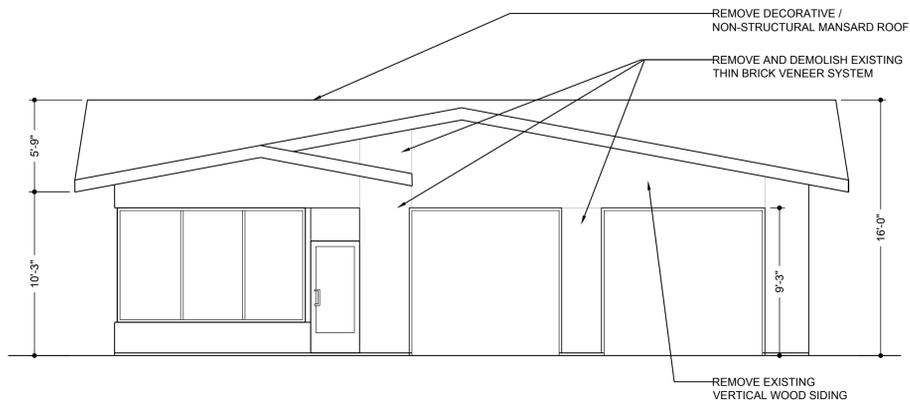


1A DEMO - FLOOR PLAN
SCALE: 3/16"=1'-0"



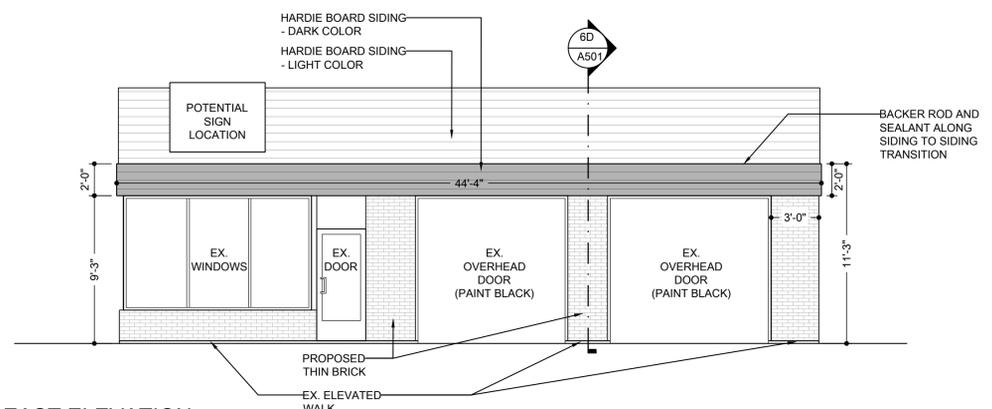
5A PROPOSED - FLOOR PLAN
SCALE: 3/16"=1'-0"

NOTE: PAINT ALL DOORS AND WINDOWS



1E DEMO - EAST ELEVATION
SCALE: 3/16"=1'-0"

NOTE:
-ALL SIGNAGE SHOWN FOR REFERENCE ONLY. SIGN PERMITS TO BE OBTAINED BY TENANT/SIGN CONTRACTOR.



5E PROPOSED - EAST ELEVATION
SCALE: 3/16"=1'-0"

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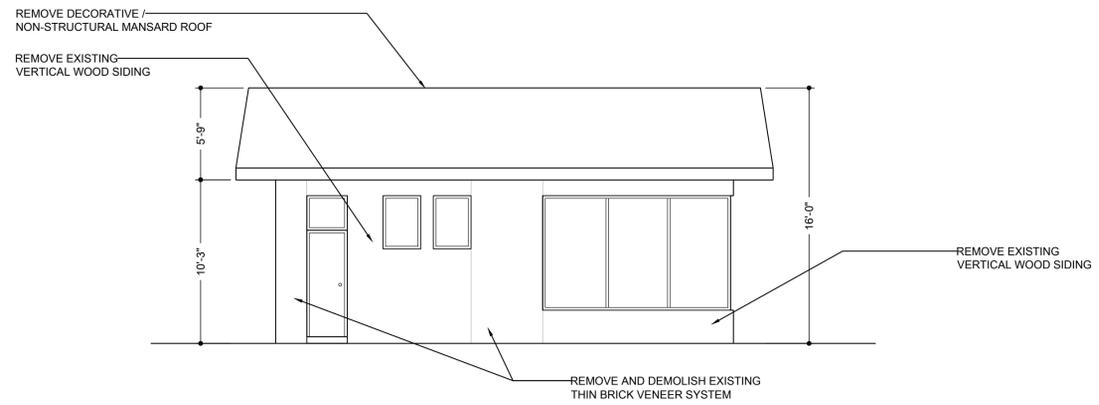
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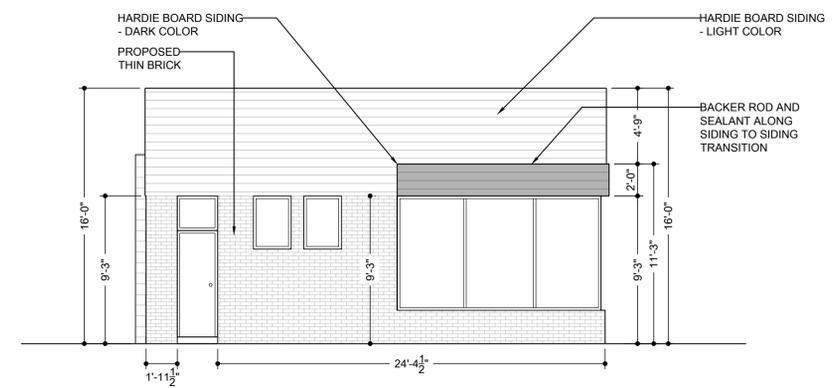
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PROJ. TEAM M. HADLA
A. SALHA
CHECKED BY M. HADLA
PAGE SIZE
ARCH D - 24X36
DRAWING TITLE
DEMO / PROPOSED:

• ELEVATIONS

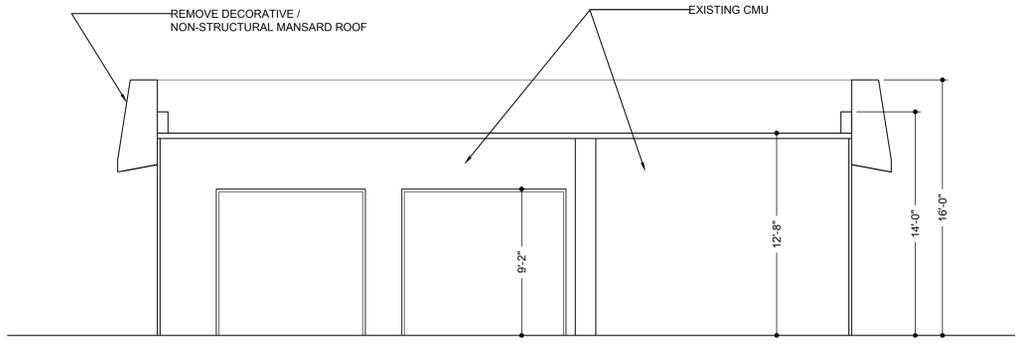
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DRAWING #



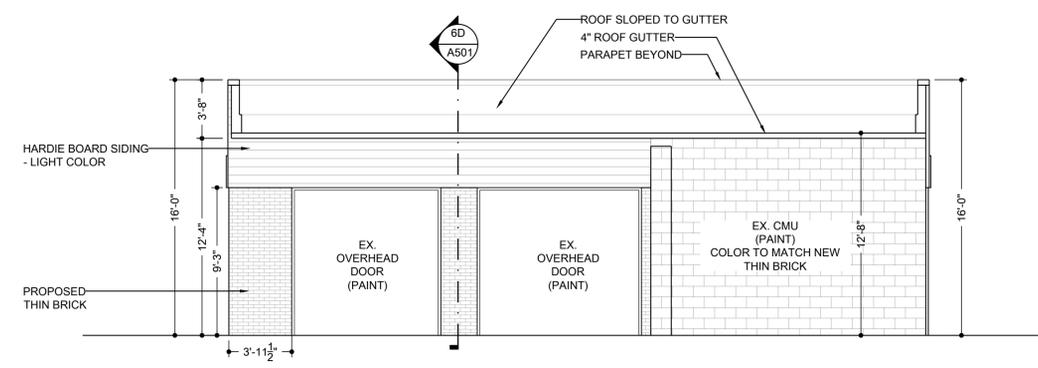
1D DEMO - SOUTH ELEVATION
SCALE: 3/16"=1'-0"



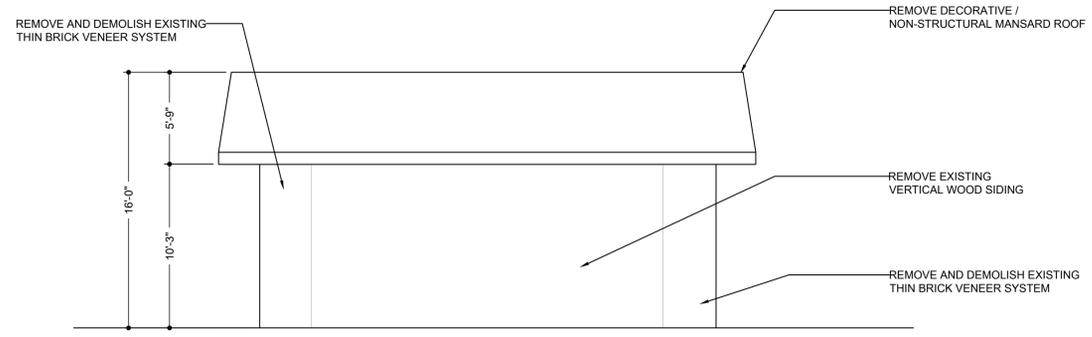
5D PROPOSED - SOUTH ELEVATION
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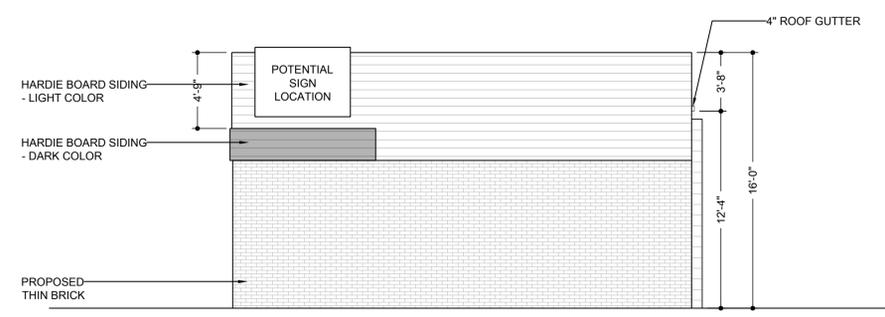
1B DEMO - WEST ELEVATION
SCALE: 3/16"=1'-0"



5B PROPOSED - WEST ELEVATION
SCALE: 3/16"=1'-0"



1A DEMO - NORTH ELEVATION
SCALE: 3/16"=1'-0"



5A PROPOSED - NORTH ELEVATION
SCALE: 3/16"=1'-0"

PLATINUM OIL CHANGE

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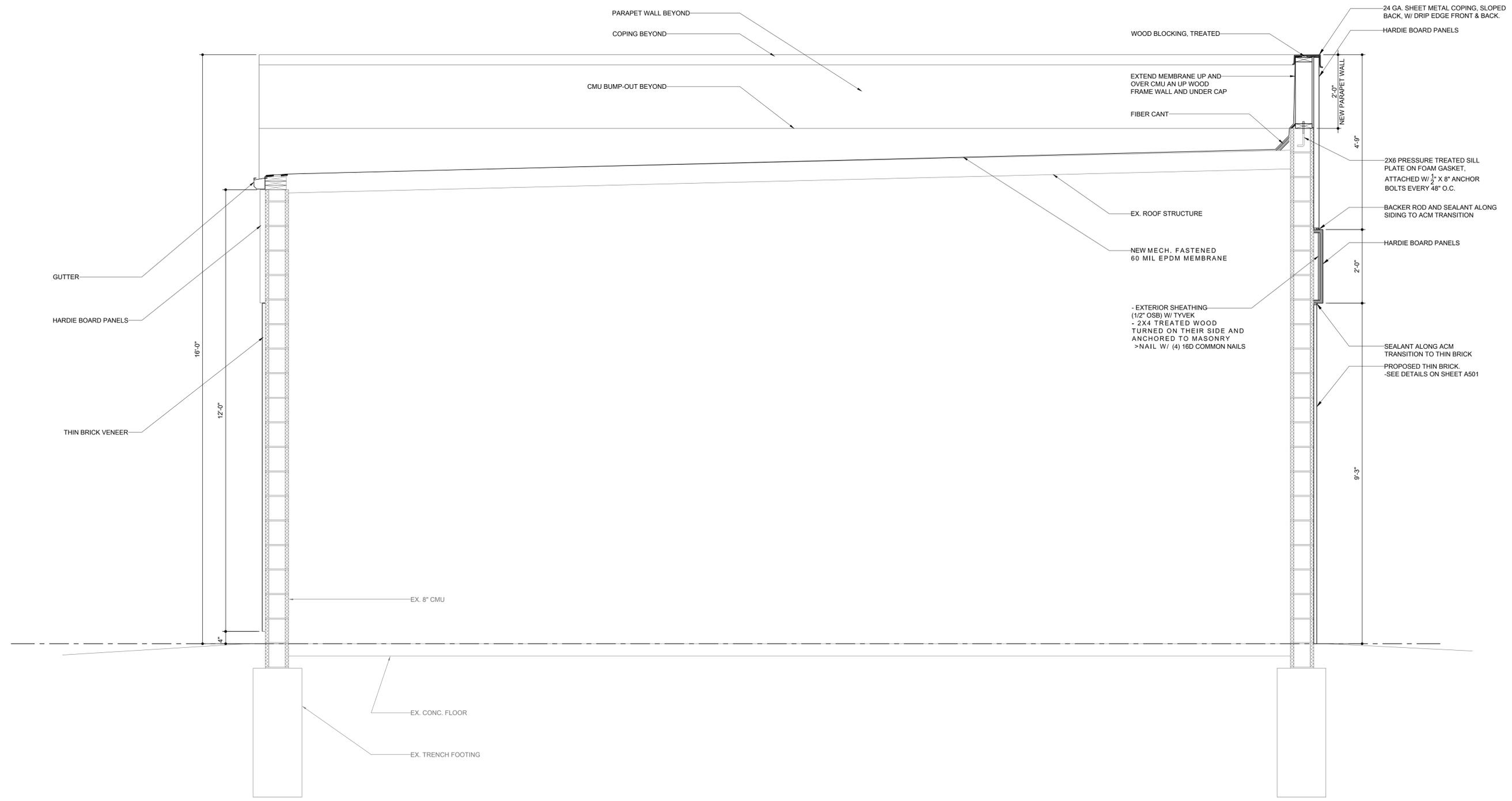
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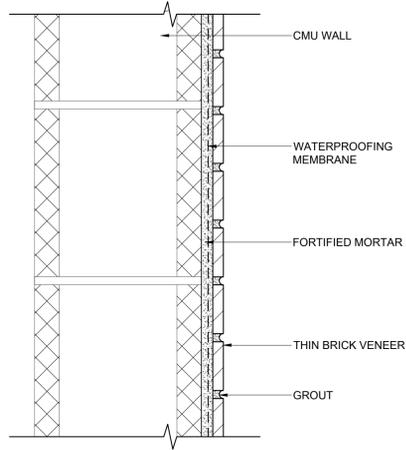
BUILDING SECTION

PROJECT #

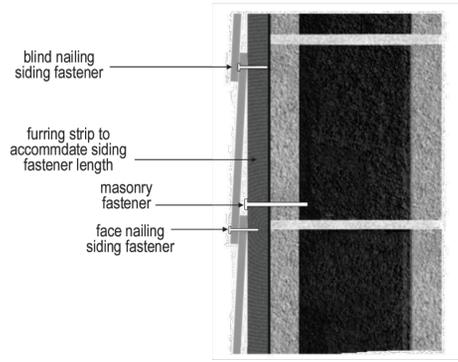
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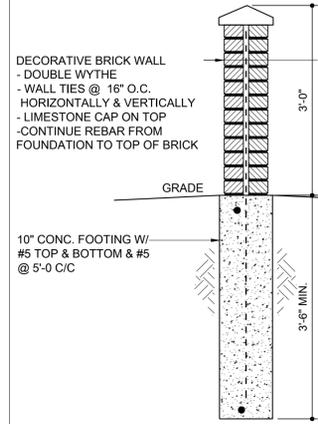




THIN BRICK SECTION DETAIL
SCALE: 3"=1'-0"



1E HARDIE BOARD SECTION DETAIL
N.T.S.



DECORATIVE WALL DTL. 4E
SCALE: N.T.S.



OLYMPUS
VENDOR: OLD MILL BRICK
TYPE: THIN BRICK



HARDIE BOARD (DARK WOOD COLOR)
VENDOR: JAMES HARDIE
TYPE: HARDIE PLANK 7-1/4" x 12'



HARDIE BOARD (DARK GREY COLOR)
VENDOR: JAMES HARDIE
TYPE: HARDIE PLANK 7-1/4" x 12'

MATERIALS SELECTION
SCALE: N.T.S.

PROJECT/DOWNER
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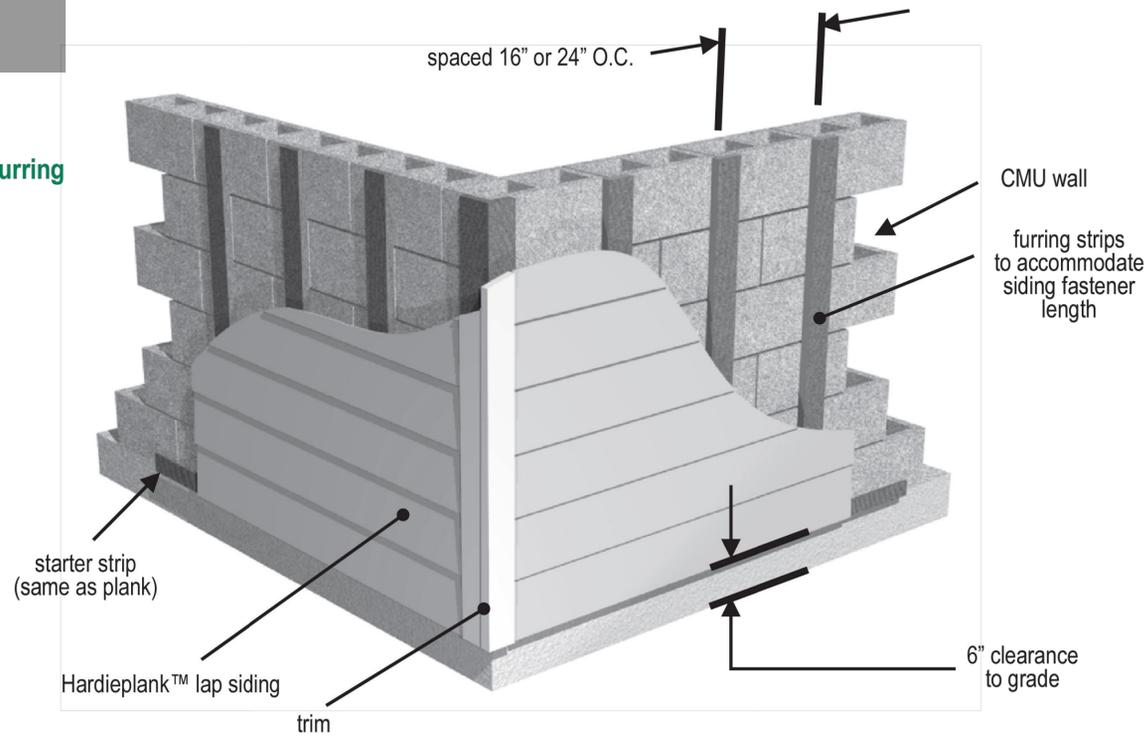
ARCHITECTURAL
DETAILS

PROJECT #

DRAWING DIRECTION

DRAWING #

1 - Over Furring
NER 405.



HARDIE BOARD INSTALLATION DIAGRAM
N.T.S.

1A



CITY OF GROSSE POINTE WOODS

BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: JEREMY COLLINS, BUILDING OFFICIAL

DATE: JANUARY 2026 & FEBRUARY 2026

SUBJECT: BUILDING DEPARTMENT REPORT

Certificate of Occupancy

- 20207 Mack Ave. – BOW WOW Bake Shoppe – New Owner - Certificate of Occupancy issued.
- 19770 Mack Ave. – Behavior Frontiers – Certificate of Occupancy issued.
- 19299 Mack Ave. – Toothworks – Certificate of Occupancy issued.
- 1835 Fleetwood Dr. – The Storybook Boutique – Certificate of Occupancy issued.

Building Projects

- 19483 Mack Ave.- My Nails Salon – **Awaiting revised mechanical drawings for changes to HVAC system.** Mechanical and Plumbing permits have been issued. Rough mechanical (in wall only), electrical, plumbing and building inspections have been approved.
- 21003 Mack Ave. -Little Nest Coffee Roasters- New commercial fence permit application received to enclose a grade level basement egress area at the rear building. Status: Under Zoning and Building review. Building Department is awaiting deferred submittal for the basement fire suppression.
- 20647 Mack Ave. – Playa Bowls – **Work was delayed due to financing of the project.** Building plans have been approved. Building permit issued. A plumbing permit has been issued. A mechanical permit has been issued for a roof top unit and interior renovations.
- 20331 Mack Ave. - Nino Salvaggio’s Market Café – **Old awning advertising the previous business has been removed.** Interior demolition has been completed. This project is on hold. We have been informed that the owner has other projects that are taking precedence over this one. No details on when the project will start.