



CITY OF GROSSE POINTE WOODS
ZONING BOARD OF APPEALS MEETING AGENDA
Monday, August 21, 2023 at 7:00 PM

*Robert E. Novitke Municipal Center - Conference Room,
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2440*

PUBLIC INVITED: IN ACCORDANCE WITH THE PUBLIC ACT 267 OF 1976 (OPEN MEETINGS ACT), ALL MEMBERS OF THE GROUP LISTED ABOVE, AS WELL AS THE GENERAL PUBLIC, ARE INVITED TO ATTEND THIS MEETING.

AGENDA

1. CALL TO ORDER

A. Administrative Memo: August 17, 2021

2. ROLL CALL

3. ACCEPTANCE OF AGENDA

4. PUBLIC HEARING

A. Parking Variance: Ahee Jewelers, 20139 Mack Avenue

1. Letter 08/16/23 - City Planner
2. Site Plan Review
3. Memo 07/25/23 - Building Official
4. Memo 07/17/23 - Director of Public Services
5. Email 07/21/23 - Director of Public Safety
6. Fax 06/13/23 - Stuckey Vitale Architects
7. Site Plan Review Application
8. General Information - Drawing Index
9. Certificate of Survey
10. Certified Survey
11. Site Plan - Demolition
12. Site Plan - New Work
13. First Level Floor Plan
14. Exterior Elevations
15. Exterior Renderings
16. Affidavit of Legal Publication
17. Affidavit of Property Owners Notified
18. Parcel Map

5. NEW BUSINESS/PUBLIC COMMENTS

6. IMMEDIATE CERTIFICATION OF MINUTES

7. ADJOURNMENT

IN ACCORDANCE WITH PUBLIC ACT 267 (OPEN MEETINGS ACT)
POSTED AND COPIES GIVEN TO NEWSPAPERS

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249

ZONING BOARD OF APPEALS
ADMINISTRATIVE MEMO
August 17, 2023

OFFICE OF THE CITY ADMINISTRATOR

Subject: Recommendations for ZBA Meeting of August 21, 2023

Item 1 CALL TO ORDER

Item 2 ROLL CALL

Prerogative of the Chair to request the City Clerk to take attendance.

Item 3 ACCEPTANCE OF THE AGENDA Prerogative of the Zoning Board of Appeals that all items on tonight's agenda be received, placed on file, and taken in order of appearance.

Item 4 PUBLIC HEARING – PARKING VARIANCE: AHEE JEWELERS, 20139 MACK AVENUE

Open the Public Hearing. Receive and place on file all communications pertaining to this request. Hear any comments, first in support of, second in opposition to, the request. Close the Public Hearing.

The Petitioner, Ahee Jewelers, is requesting a variance for off-street parking spaces proposed as part of a Site Plan for 20139 Mack Avenue. The applicant has requested to construct a one-story addition to the existing retail store, demolish an adjacent retail building, and relocate a parking lot. The addition is to accommodate a display from the Patek Philippe Collection.

The Planning Commission approved the updated site plan from July 25, 2023. The update addressed six (6) out of seven (7) recommended changes, however, one change they were unable to accommodate was providing additional off-street parking spaces. Therefore, a variance is required to exempt the property from providing the required off-street parking as required by the Zoning Ordinance.

A variation or modification is permitted for required off-street parking spaces, if, after investigation by the board, it is found that such variation is necessary to secure an appropriate development based on peculiar or existing conditions, or is of such size, shape or dimension, that it cannot be reasonably developed in accordance with the provisions of this section. The variation must be consistent with the spirit and purpose of the Ordinance, with public safety and with substantial justice. A variance should be granted based on practical difficulty.

To prove practical difficulty, the petitioner must demonstrate that all of the following conditions are met:

- a. That strict compliance with the restrictions governing area, setbacks, frontage, height, bulk, density, and other similar items would render conformity with said restrictions unnecessarily burdensome;

- b. That a variance would do substantial justice to the petitioner as well as to other petitioners in the zoning district; or whether a lesser relaxation of the restrictions would give substantial relief to the petitioner and be more consistent with justice to others (i.e., are there other more reasonable alternatives);
- c. That the plight of the petitioner is due to unique circumstances of the property;
- d. That the petitioner’s problem is not self-created;
- e. That the spirit of this chapter will be observed, public safety and welfare secured, and substantial justice is done.

Given that the property is limited in its ability to expand based on occupied neighboring commercial and residential buildings or the strict amount of additional floor space, the business needs to accommodate merchandise from the Patek Philippe Collection, there is viable practical difficulty for the Board to consider a variance.

The Building Official recommends granting this variance as a case can be made to justify the findings of a practical difficulty as described in the variance standards.

I concur with his recommendation.

Prerogative of the Zoning Board of Appeals as to action taken.

The following motions are suggested:

Motion to Grant Variance: That the Zoning Board of Appeals grant a variance from Sec. 50-5.3 to exempt the property, 20139 Mack Avenue, from providing the required off-street parking as the finding of practical difficulty has been shown to the variance standards.

Motion to Deny Variance: That the Zoning Board of Appeals deny the request for a variance submitted under Sec. 50-5.3 to exempt the property, 20139 Mack Avenue, from providing the required off-street parking as the finding of practical difficulty has not been shown to the variance standards.

Item 5 NEW BUSINESS/PUBLIC COMMENT

Item 6 IMMEDIATE CERTIFICATION OF MINUTES Prerogative of the Zoning Board of Appeals to immediately certify tonight’s meeting minutes.

Item 7 ADJOURNMENT

Respectfully submitted,



Frank Schulte
City Administrator

MCKENNA

August 16, 2023

Zoning Board of Appeals
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 20139 Mack Avenue (Ahee Jewelers) Variance Request
Parcel ID: 999-20-20139-00
Updated Site Plan Approved by Planning Commission July 25, 2023
Zoning: C - Commercial Business

Dear Board Members:

We have reviewed the site plan and application submitted on June 13, 2023 and the updated site plan submitted on July 25, 2023 by Stucky Vitale Architects on behalf of Peter Ahee of Ahee Jewelers (the "Applicant"). The Applicant requested to construct a one-story addition to the existing retail store at 20139 Mack Avenue, demolish an adjacent retail building, and relocate a parking lot. The addition is to accommodate a display from the Patek Philippe Collection.

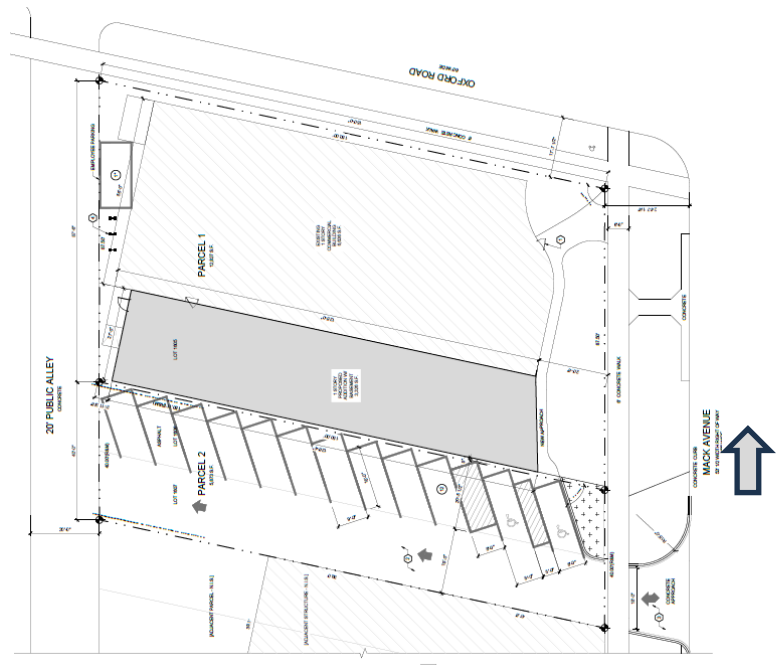
Planning Commission approved the updated site plan from July 25, 2023 (rendering seen below). This updated site plan addressed six (6) out of the seven (7) recommended changes made in the Planners Review letter from July 13, 2023. One change they were unable to accommodate was providing additional off-street parking spaces. Thus, a variance is needed to exempt the property from providing the required off-street parking as required by the Zoning Ordinance. Upon review of the proposed plan compared to the applicable ordinance standards, we offer the following comments and recommendation for your review.

Current Conditions (aerial view):



Northville, Michigan 48167 MCKA.COM

Proposed Layout (renderings from July 25 Site Plan):



Communities for real life.

VARIANCE REQUEST

The applicant requests a variance, pursuant to the following section of the Zoning Ordinance:

Section 50-5.3 Off-street parking requirements *In all zoning districts, off-street parking facilities for the storage or parking of self-propelled motor vehicles for the use of occupants, employees and patrons of the buildings hereafter erected, altered or extended after the effective date of the ordinance from which this chapter is derived shall be provided and maintained as prescribed in this section.*

50-5.3 (H) Required parking spaces. *The amount of required off-street parking space for new uses or buildings, additions thereto and additions to existing buildings as specified in this section shall be determined in accordance with the following table, and the space so required shall be stated in the application for a building permit and shall be irrevocably reserved for such use:*

Table 50-5.3.H Off-street Parking Requirements	
Use	Minimum Number of Parking Spaces
O. Retail stores except as otherwise specified in this section	One for each 200 square feet of gross floor area.

Based on the size of the existing building and the proposed addition, the Ordinance requires 49 off-street parking spaces to be provided. However, the applicant is only able to accommodate 13 off-street parking spaces. There are an additional 5 parking spaces on-street parking spaces abutting the property that can service the building. However, based on the Ordinance, the proposed site plan is deficient by 36 parking spaces.

VARIANCE COMMENTS

A variation or modification is permitted for required off-street parking spaces, if, after investigation by the board, it is found that such variation is necessary to secure an appropriate development based on peculiar or existing conditions, or is of such size, shape or dimension, that it cannot be reasonably developed in accordance with the provisions of section. The variation must be consistent with the spirit and purpose of the Ordinance, with public safety and with substantial justice. A variance should be granted based on practical difficulty.

To prove practical difficulty, the petitioner must demonstrate that all of the following conditions are met:

- a. That strict compliance with the restrictions governing area, setbacks, frontage, height, bulk, density, and other similar items would unreasonably prevent the petitioner from using the property for a permitted purpose or would render conformity with said restrictions unnecessarily burdensome;
- b. That a variance would do substantial justice to the petitioner as well as to other petitioners in the zoning district; or whether a lesser relaxation of the restrictions would give substantial relief to the petitioner and be more consistent with justice to others (i.e., are there other more reasonable alternatives);
- c. That the plight of the petitioner is due to unique circumstances of the property;
- d. That the petitioner’s problem is not self-created;
- e. That the spirit of this chapter will be observed, public safety and welfare secured, and substantial justice done.

Given that the property is limited in its ability to expand based on occupied neighboring commercial and residential buildings or the strict amount of additional floor space the business needs to accommodate merchandise from the Patek Philippe Collection, there is viable practical difficulty for the Board to consider a variance.

CONCLUSION / RECOMMENDATION

It is found that the property owner cannot fulfil compliance with such provisions in pursuing the expansion of their business at this location. The reduction in parking from the standard of the Ordinance will not cause undue interference with the public use of the streets or alleys or imperil the public safety, and where such modification or exception will not be inconsistent with the purpose and spirit of this chapter.

Respectfully submitted,

McKENNA



Brigitte Smith, AICP

Site Plan Review

1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	General Commercial	C	General Business/Mixed Use
North	General commercial	C	General Business/Mixed Use
South	General commercial	C	General Business/Mixed Use
East (across Mack Ave)	Dental Office / Single-family residential	R-O1	City Center/Mixed Use
West	Single-family residential	R-1E	Single Family Medium Density

The 2006 Master Plan Future Land Use Map designates this site and the immediate surrounding area to the north and South as *General Mixed Use/Business*, described in the text of the Master Plan as, “retail, restaurant, and office establishments which are designed for the day-to-day needs of nearby residents”, and equating to “the City’s C Commercial Business zoning district...”, which is the zoning category that currently applies to the site. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions of Addition	Proposed Compliance
<i>Minimum Front Setback</i>	0', no front yard permitted.	20'6"	20'6"	No
<i>Minimum Side Setback</i>	<i>No side yards are required along interior lot lines if walls abutting are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.</i>	0'	0' (North) 40' (South)	Yes
<i>Minimum Rear Setback (West)</i>	<i>No rear yard is required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.</i>	13'-21' from alley centerline	13'-21' from alley centerline	Yes
<i>Maximum Building Height</i>	Minimum front elevation 16', Maximum 28'	17'	17'-6"	Yes
<i>Lot Size</i>	None			
<i>Lot Coverage</i>	None			

Findings: The proposed addition complies with all dimensional requirements, except for the front yard setback from Mack Avenue. **Planning Commission should consider allowing the existing 20'6" front yard setback to continue as is for the new addition; Planning Commission may grant permission for this noncompliance.**

3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

The elevations provided by the applicant show the new building will be composed of brick that will match that of the existing building. The front elevation illustrates a stone parapet, pre-finished metal coping stone near the top of the façade, limestone panels, a metal frame fabric awning, and a new champagne colored storefront window frame (to match the existing storefront window frame). Moreover, the side and rear elevations show shielded LED wall pack lighting. This architecture and building design is consistent with the ordinance and the City's design standards.

Per Section 50-6.1(G)(7) of the Zoning Ordinance, the applicant must bring samples of the material to be used on the building's exterior to the Planning Commission meeting.

4. PARKING AND LOADING

Per Section 50-5.3(H), retail stores require one off-street parking space for each 200 square feet of gross floor area. With the addition of the new building, the total building area will be 9,756 gross square feet (existing building area of 6,636 square feet + new building area of 3,171 square feet), and therefore 49 parking spaces are required. Provided on the site plan are 14 off-street parking spaces and 8 on-street parking spaces on Mack Avenue and Oxford Road that abut the property. **Since the proposed site plan only shows 14 parking spaces (one of which is handicapped accessible), it is deficient by 35 parking spaces. A variance from the City Council to reduce the required parking will be needed. However, modifications can be made to accommodate more off-street parking on site. One such modification is to reduce the building length in the rear yard of the proposed building addition by at least sixteen (16) feet to accommodate three (3) additional 9' by 19' parking spaces between the building addition and the alley to provide a total of 17 off-street parking spaces.**

Additionally, the off-street parking layout dimensional requirements in Table 50-5.3.U.1 of the Zoning Ordinance maintain that the maneuvering lane wide for parking spaces at a 90 degree angle must be at least 25 feet. However, **the applicant's proposed site plan shows parking spaces at a 90-degree angle and a maneuvering lane that is only 21 feet wide, which does not comply. Given that the distance between the proposed addition to Ahee and the adjacent existing building to the south is 40 feet, the applicant must slant the spaces at least 54 to 74 degrees with one-way traffic flow into the alley, which then only requires an 18-foot maneuvering lane. The combined parking and maneuvering space will then comply. Additionally, with the one-way traffic, the curb cut for vehicles to enter the parking lot from Mack Avenue can be reduced to 18 feet in width at the right-of-way line and then tapers out to the street.**

Additionally, Section 50-5.3(U) states that parking lots shall be provided with traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. **These required traffic lane markings are not found on the applicant's proposed site plan and must be added, including the markings for one-way traffic.**

Additionally, a barrier at the property line in the parking lot and the public sidewalk must be added to prevent cars parked in the parking lot from encroaching upon the public sidewalk and contribute to pedestrian safety. (Section 50-5.3 N)

There is a sufficient loading/unloading area in the back alley.

5. SIGNS

Chapter 32 of the City's Code of Ordinance concerns signage. Four different provisions in that Chapter are particularly relevant to the signage the applicant is proposing. First, section 32.11(d) maintains that wall signs may not be more than eight inches thick and shall be constructed of a noncombustible material. Second, section 32-13(c) states that "wall signs upon building fronts containing up to 40 feet of building frontage shall not exceed three feet in height or a maximum of 30 square feet in size. Third, per section 32-29, signs must be comprised of no more than two styles of lettering, and there cannot be more than three sizes of lettering per sign. Moreover, a maximum of three complimentary, muted colors or shades of colors may be used for a sign. Fourth, under section 32-10, logos may not cover more than one-third of the surface area of a sign face.

The applicant proposes a wall sign on the front façade of the new building addition that reads "Patek Philippe Geneve" and includes a logo above the lettering. This proposed signage satisfies most of the above Ordinance requirements. The sign is only one inch thick and is constructed of a noncombustible material (bronze). The sign is comprised of only one style, and two sizes, of lettering. Also, the sign is only composed of two colors and the logo covers less than one-third of the surface area of the sign face. However, the size of the sign is an issue. Since the building addition is planned to have 26 feet of frontage along Mack Avenue, the sign cannot exceed three feet in height or a maximum of 30 square feet in size. **The applicant's proposed plan illustrates the new sign as 3 feet, 10 inches in height and 31.1 square feet in area, which does not comply. The sign should be reduced slightly to comply with the height and maximum square feet requirements.**

6. LIGHTING

Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

Findings: All proposed lighting (consisting of individual fixtures above the front and rear doors, as well as 5 fixtures on the side of the building) are LED and shielded. **Specific information about the wattages of the fixtures should be provided to ensure it complies.** Can comply.

CITY OF GROSSE POINTE WOODS

Building Department

BUILDING OFFICIAL RECOMMENDATION MEMORANDUM

DATE: July 25, 2023
TO: Planning Commission
FROM: Bruce Eck, Building Official
SUBJECT: Ahee Jewelers Addition

It is my recommendation that Ahee Jewelers is deficient in parking by 14 spaces, therefore the new addition at the rear should be reduced by 10 feet. Slanted parallel parking would allow 3 additional spaces along with parking along Mack Avenue and Oxford Rd would therefore give the applicant sufficient parking.

The Building Department has no issues with the Building Codes regarding this addition.

Thank you,

Bruce Eck

Building Official



CITY OF GROSSE POINTE WOODS

20025 Mack Plaza Drive
Grosse Pointe Woods, Michigan 48236-2397

To: Planning Commission
From: James Kowalski
Date: 7-17-2023
Subject: Ahee Jewelers Retail Addition

The Department of Public Services have reviewed the plans for the proposed addition located at 20139 Mack Ave. The plans do not interfere with any critical infrastructure valves, manholes or entryways to the water and sewer utilities, therefore it is my recommendation to proceed as planned.

Thank You,

James Kowalski
Director of Public Services
City of Grosse Pointe Woods
(313) 343-2463

Mollie Mackinnon

From: John Kosanke
Sent: Friday, July 21, 2023 11:25 AM
To: Mollie Mackinnon
Subject: Ahee Jewelers

I have reviewed the renovation plans for Ahee Jewelers and at this time find no issues as it relates to the public safety department.

Director John G. Kosanke



STUCKY VITALE ARCHITECTS

TRANSMITTAL COVER SHEET

To: Building Department
Attn: Mollie Mackinnon

FROM: John Vitale

COMPANY: City of Grosse Pointe Woods
20025 Mack Plaza,
Grosse Pointe Woods, MI 48236
(313) 343-2440

DATE: 06.13.23
SVA PROJECT NO: 2023.034
PROJECT NAME: Ahee Jeweler Expansion

PURPOSE FOR:

APPROVAL USE REVIEW & COMMENT RECORD DISTRIBUTION

ENCLOSURES:

COPIES	DATE	ISSUED FOR	DESCRIPTION
1	06.13.23	SPA Fee	Check \$750.00 #27382
14	06.09.23	Site Plan Approval	Site Plan Approval Drawings 11x17
1	06.13.23	Application	Site Plan Review Application
1	06.09.23	Site Plan Approval	Digital copy of drawings issued via email 06.13.23

COMMENTS:

The city's fee schedule requires a \$350 site plan review fee and a \$400 deposit. A check for \$750 enclosed. Fourteen (14) physical copies and a digital copy have been distributed as part of this submittal.

TRANSMITTED VIA:

MESSENGER UPS GROUND UPS OVERNIGHT USPS ELECTRONICALLY PICK UP
 OTHER Drop Off

CC:

CITY OF GROSSE POINTE WOODS
Building Department

20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT

JUN 13 2023

RECEIVED

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

(X) C – Commercial Business () RO-1 – Restricted Office () P-1 – Vehicular Parking
 () CF – Community Facilities () C-2 – High Intensity City Ctr

Property Owner Name: Peter Ahee Date: 06.13.23

GPW Property Address: 20139 Mack Ave.

Telephone #: Work 313.886.4600 Home: _____

Contractor/Applicant Name: John Vitale

Telephone # 248.546.6700 Mobile Phone # 313.516.9810 Fax # 248.546.8454

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, Mi 48067

e-mail: jvitale@stuckyvitale.com

MI Builder's License #: N/A MI Driver's License #: _____

Nature of Proposed Work:

1-Story addition to existing retail store with basement storage level. Demolition of neighboring commercial building for re-located parking lot.

Value of Construction \$ (TBD)

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: John C. Vitale

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-32(7)	Special Land Use PC Fee:	\$ 250
#50-42(a)	PC Site Plan Review Fee:	\$ 350
#50-42(b)(1)	Deposit – Est. Costs Incurred by the City:	\$ 400
PC APPLICATION FEE DUE:		\$ 1,000
Date Received: _____	Name: _____	

Section 4, Item A.

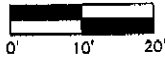
PROPERTY DESCRIPTION:

CERTIFIED SURVEY

LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

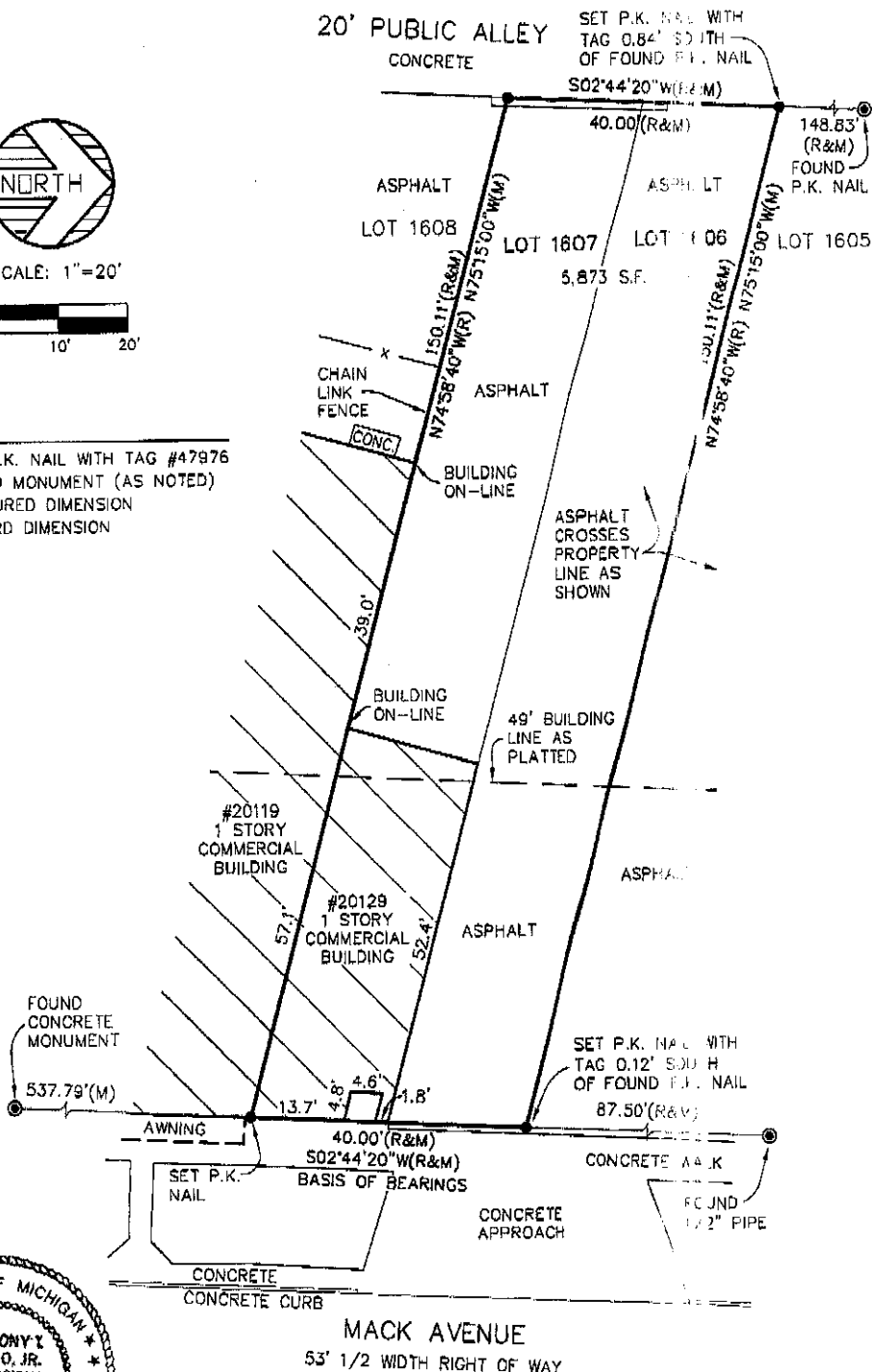


SCALE: 1"=20'



LEGEND

- SET P.K. NAIL WITH TAG #47976
- ⊙ FOUND MONUMENT (AS NOTED)
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION



I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND HEREIN PLATTED AND DESCRIBED AND THAT THE RATIO OF CLOSURE MEETS THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970.

Anthony T. Sycko, Jr.
 ANTHONY T. SYCKO JR., P.S. NO. 47976

KEM-TEC & ASSOCIATES
 22556 GRATIOT AVE., GROSSE POINTE, MI 48021
 (586) 772-2222 FAX (586) 772-4048

CERTIFIED TO: FRANKLIN BANK AND FRED T. AHEE JEWELERS

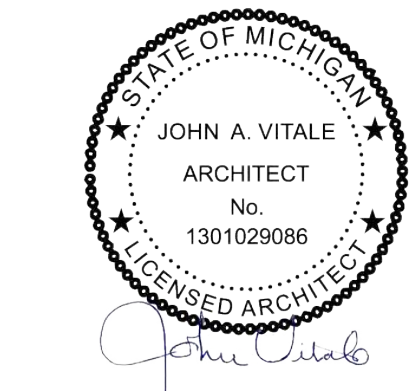
FIELD SURVEY: KB RE	DATE: MARCH 25, 2004
DRAWN BY: TS	SHEET: 1 OF 1
SCALE: 1" = 20'	JOB NO. 04-06903A



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

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Consultants:



Project :
AHEE JEWELERS
RETAIL ADDITION
20139 MACK AVE.
GROSSE POINTE WOODS,
MI. 48236

Issued for :
OWNER REVIEW 04.20.23
SITE PLAN 06.09.23
APPROVAL

Drawn by :
JPM
Checked by :
JAV

Sheet Title :
SITE PLAN -
DEMOLITION

Project No. :
2023.034

Sheet No. :
A001

DO NOT SCALE DRAWINGS
© 2020 Stucky Vitale Architects

GENERAL SITE PLAN NOTES:

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
8. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
9. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
12. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
14. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
15. ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
16. FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
17. ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

SITE PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- (A) DEMOLISH EXISTING BUILDING.
 - (B) RE-WORK EXISTING CURB CUT AND APPROACH. COORDINATE WITH NEW WORK APPROACH.
 - (C) DEMOLISH EXISTING PARKING LOT PAVING. PREP SITE FOR NEW PROPOSED ADDITION. COORDINATE WITH NEW WORK PLANS.

PROPERTY DESCRIPTION:

PARCEL 1 - LOTS 1603, 1604 AND 1605 (AS ONE) OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAY #1 SUBDIVISION OF PARTS OF P.C. 'S 393, 240 AND 611, GROSSE-POINTE TWP. (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

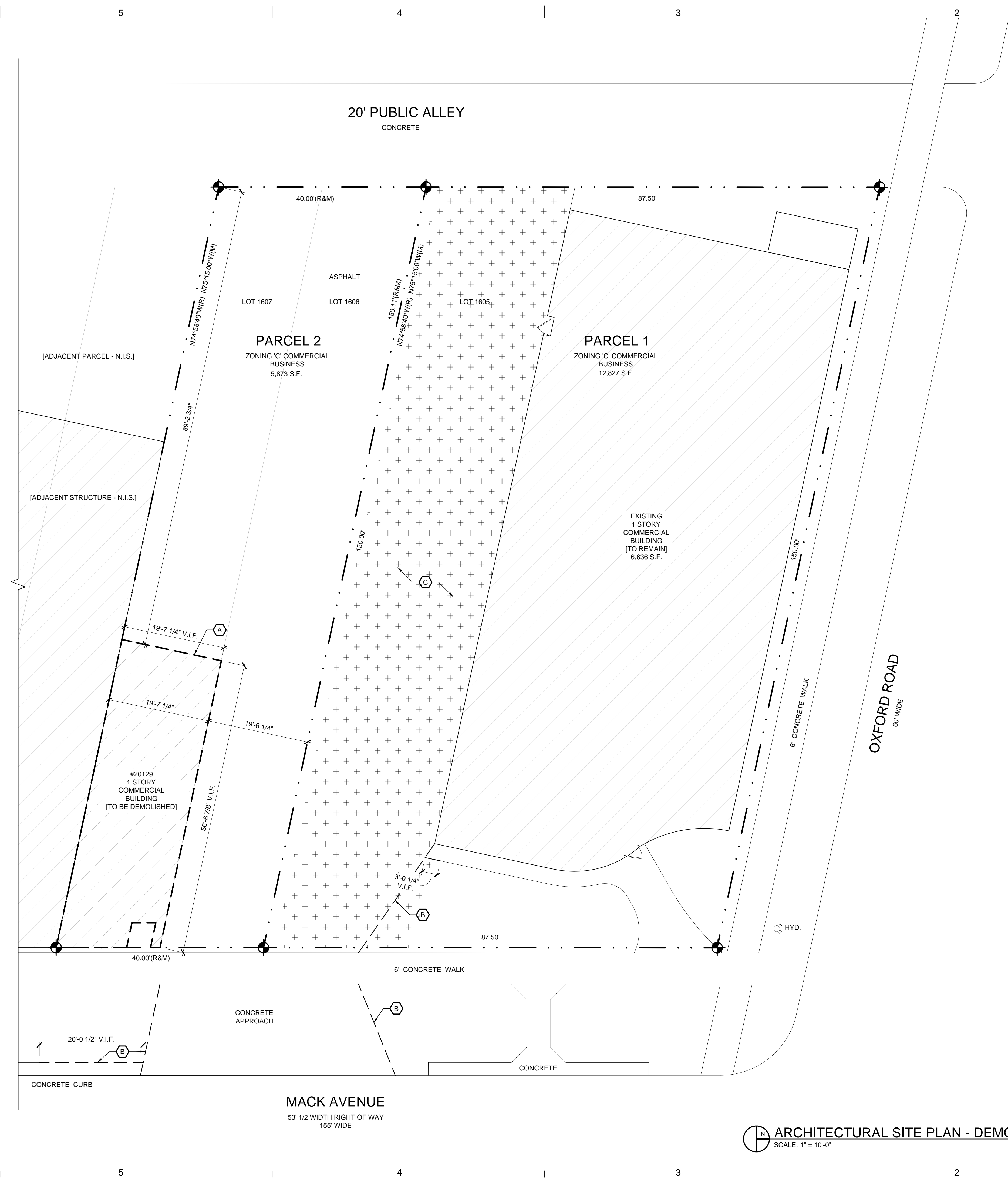
PARCEL 2 - LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

ZONING INFORMATION:	
ZONING 'C' COMMERCIAL BUSINESS	
SETBACKS:	
FRONT YARD	(0)
SIDE YARD	(0)
REAR YARD	(0)
EASEMENTS:	
NONE RECORDED	
EXISTING LOADING/UNLOADING AT REAR ALLEY (UNCHANGED)	

GENERAL NOTE:
PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY MCMAHON ENGINEERING CO. DATED 2-1-68.

BUILDING FOOTPRINT INFORMATION BASED ON SURVEY (IBID) AS WELL AS CONSTRUCTION DOCUMENTS FOR 2018 BUILDING EXPANSION.

NEIGHBORING PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY KEM-TEC & ASSOCIATES DATED MARCH 25, 2004.



ARCHITECTURAL SITE PLAN - DEMOLITION
SCALE: 1" = 10'-0"

6 5 4 3 2 1
E
D
C
B
A
6 5 4 3 2 1

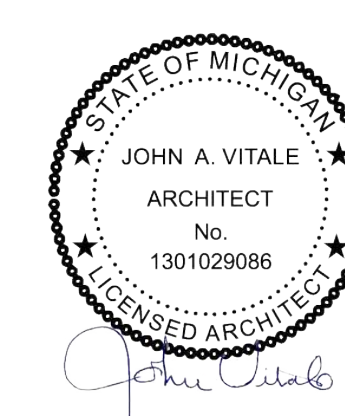


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Consultants

Seal:



Project :
 AHEE JEWELERS
 RETAIL ADDITION

20139 MACK AVE,
 GROSSE POINTE
 WOODS, MI 48236

Issued for
 DESIGN UPDATE 06.06.23
 SITE PLAN 06.09.23
 APPROVAL

Drawn by :
 JPM
 Checked by :
 JAV
 Sheet Title :
 FIRST LEVEL FLOOR PLAN

Project No. :
 2023.034

Sheet No. :
A123

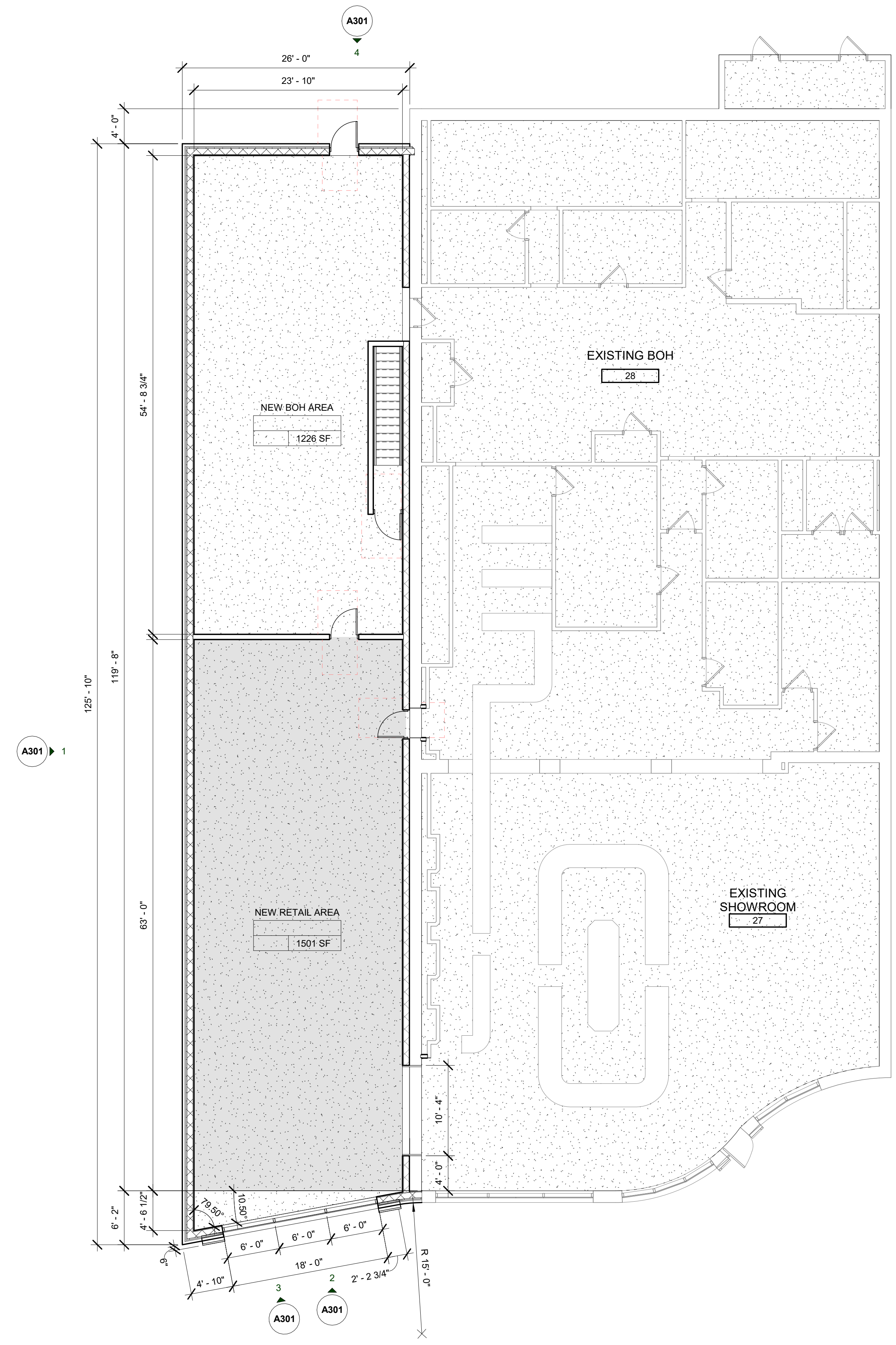
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GENERAL FLOOR PLAN NOTES

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS: IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ETC.
15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
16. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.

KEYNOTE - NEW CONSTRUCTION LEGEND

KEYNOTE	KEYNOTE DESCRIPTION
---------	---------------------



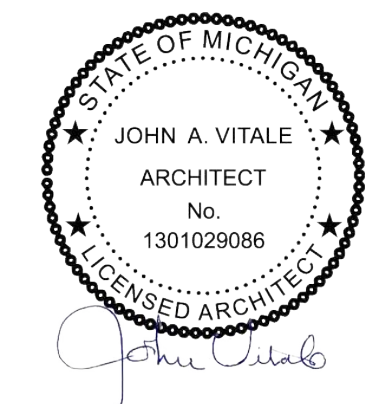
1 FIRST LEVEL FLOOR PLAN
 1/8" = 1'-0"



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Seal:



Project :
AHEE JEWELERS
RETAIL ADDITION

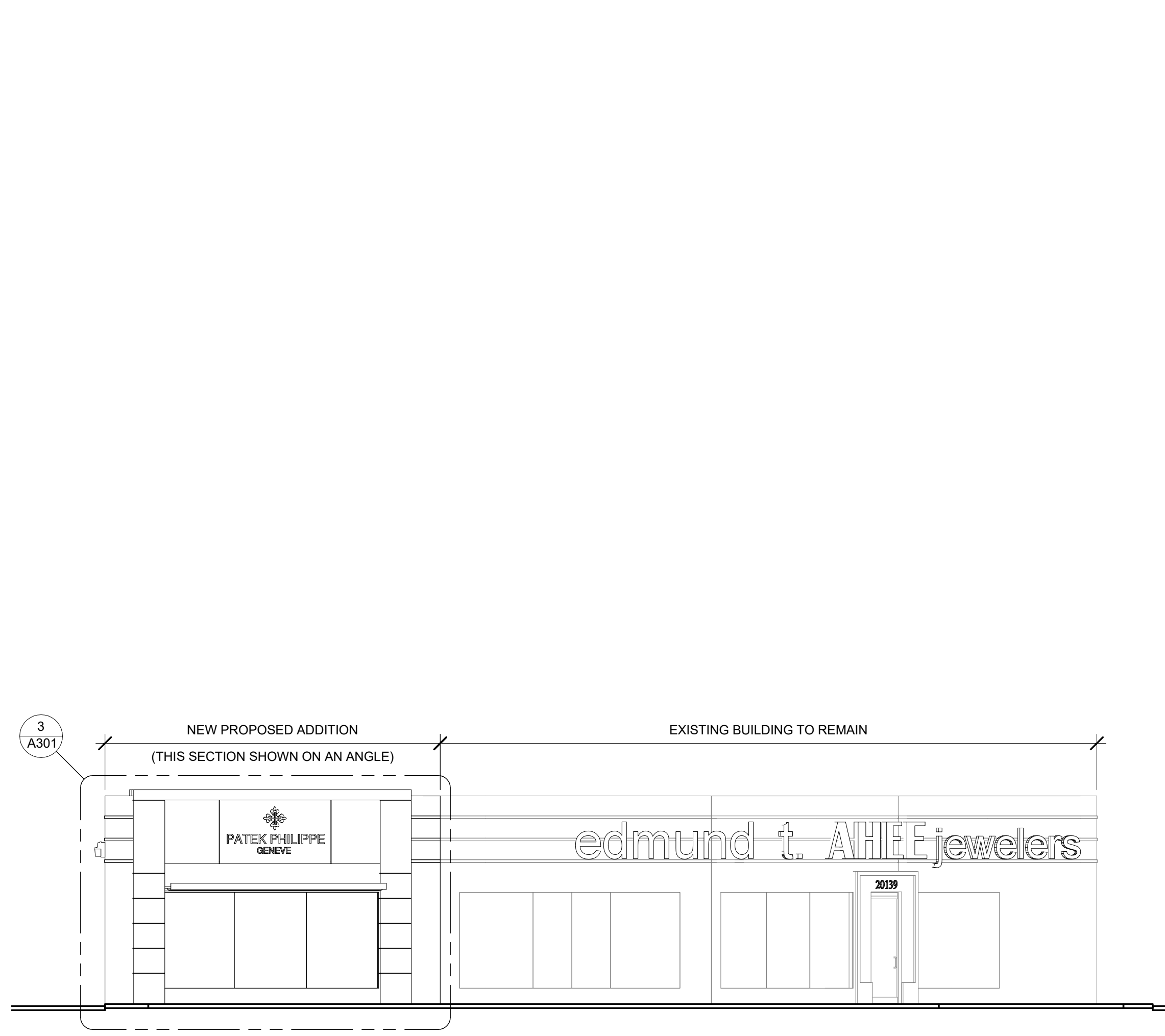
20139 MACK AVE,
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SITE PLAN APPROVAL 06.09.23

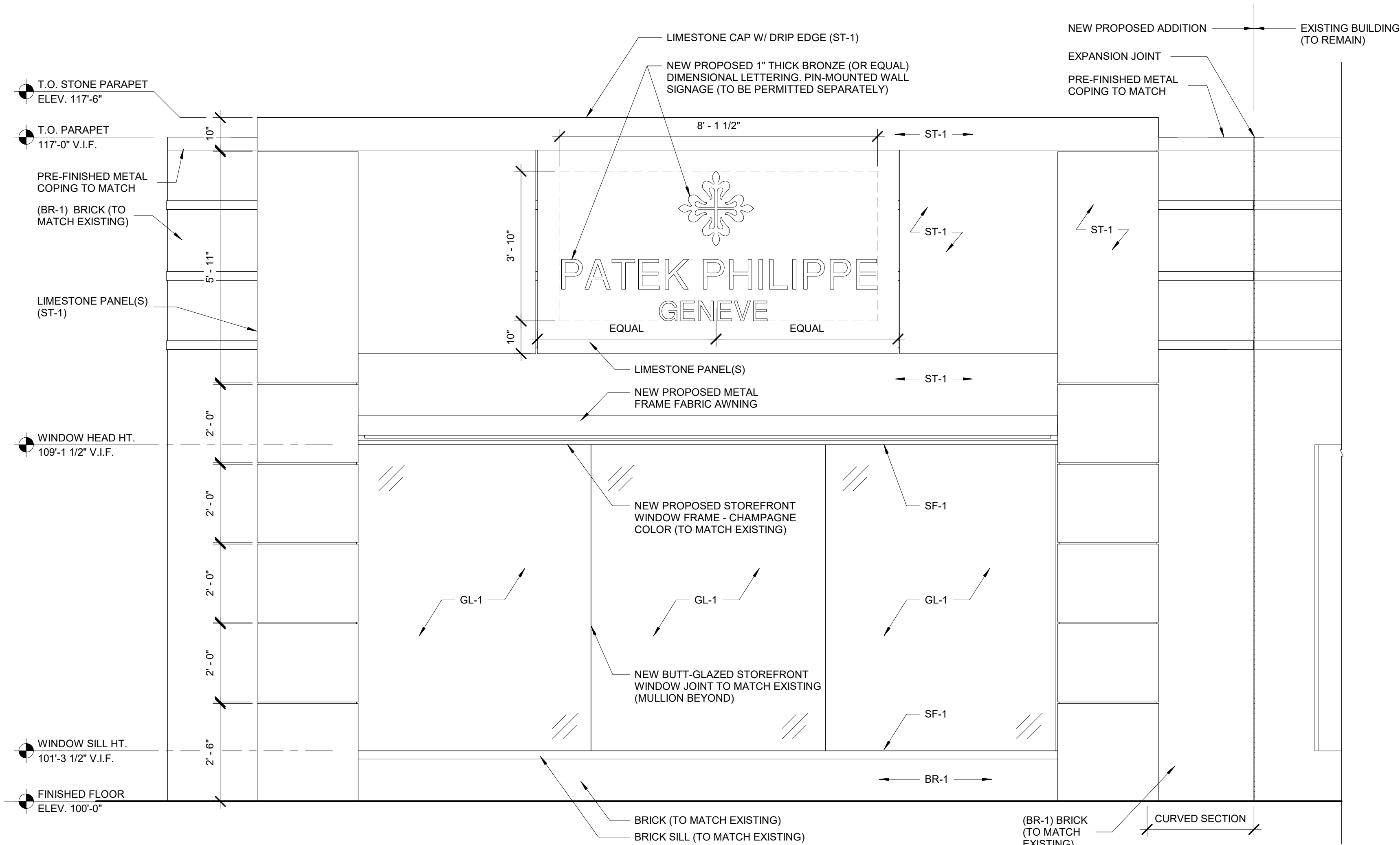
Drawn by :
JPM
Checked by :
JAV
Sheet Title :
EXTERIOR ELEVATIONS

Project No. :
2023.034
Sheet No. :
A301

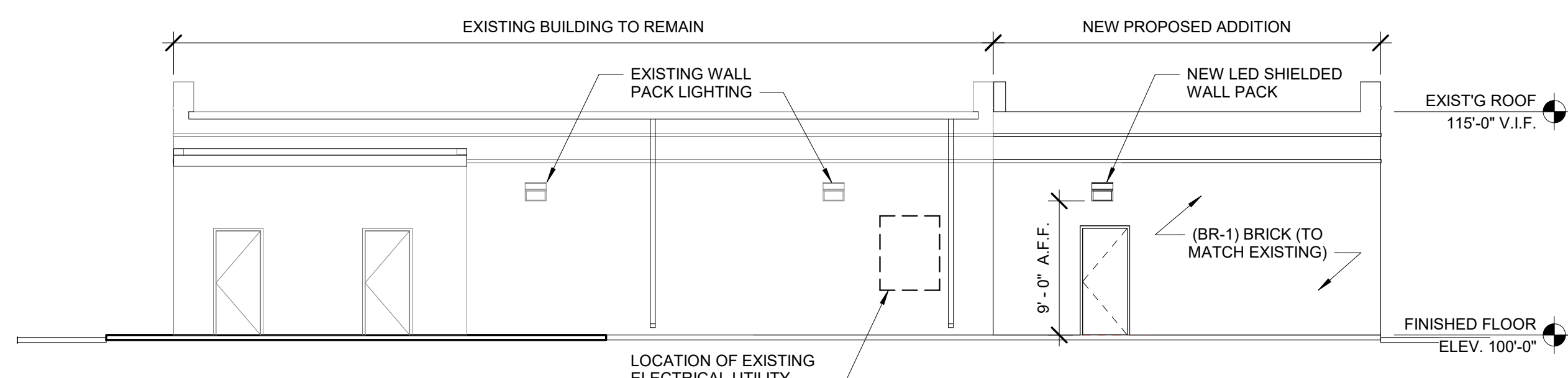
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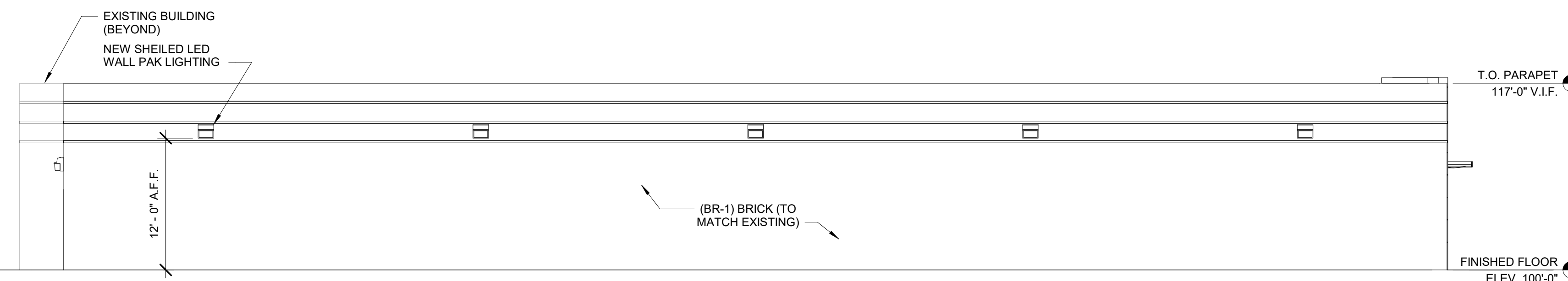
2 FRONT ELEVATION
A301 1/8" = 1'-0"



3 ENLARGED FRONT ELEVATION
A301 1/2" = 1'-0"



4 REAR ELEVATION
A301 1/8" = 1'-0"



1 SIDE ELEVATION
A301 1/8" = 1'-0"

GENERAL NOTE:
CONCEPTUAL RENDERINGS FOR REFERENCE ONLY.
REFER TO SHEET A301 EXTERIOR ELEVATIONS FOR
BALANCE OF INFORMATION.

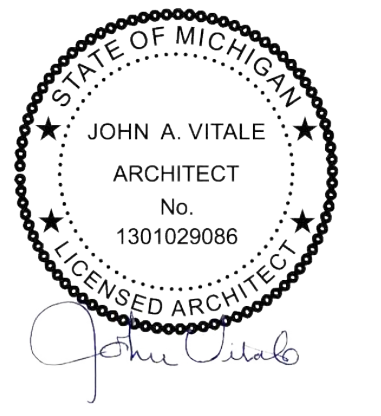


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Consultants

Seal:



Project:

AHEE JEWELERS
RETAIL ADDITION

20139 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Issued for

SITE PLAN APPROVAL 06.09.23

Drawn by:

JPM

Checked by:

JAV

Sheet Title:

EXTERIOR RENDEREINGS

Project No.:

2023.034

Sheet No.:

A311

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CONCEPTUAL RENDERING MACK AVE. - PERSPECTIVE VIEW



CONCEPTUAL RENDERING MACK AVE. - ELEVATION VIEW



CONCEPTUAL RENDERING MACK AVE. - PERSPECTIVE VIEW



CONCEPTUAL RENDERING MACK AVE. - ISOMETRIC VIEW

POSTCARD NOTIFICATION
AHEE JEWELERS - PARKING

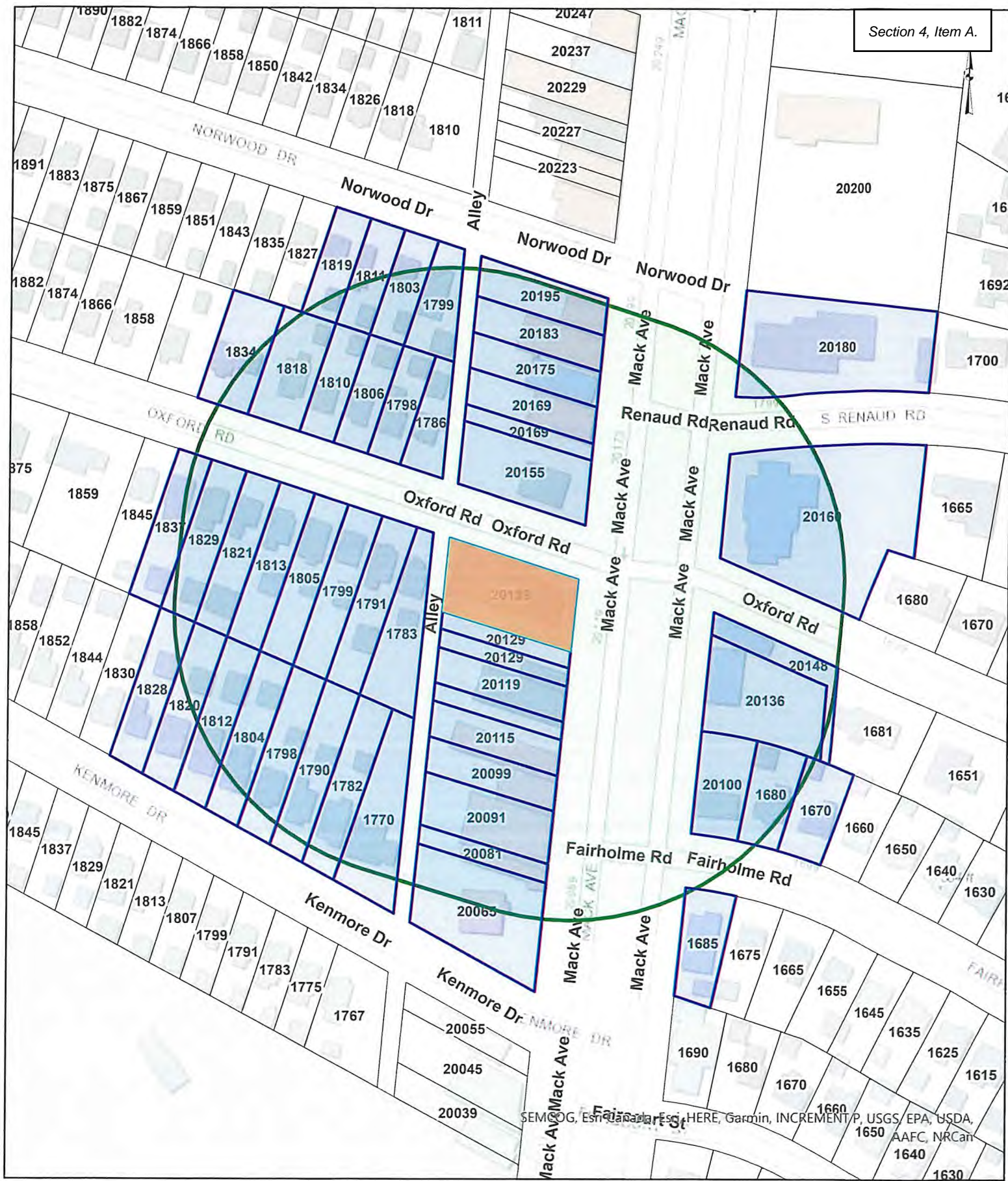
Section 4, Item A.

Parcel	Business Address	Owner	Owner Address	City, State, Zip
011 01 1610 000	20115 MACK AVE	OXFORD BEVERAGE	20107 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1606 000	20129 MACK AVE	20129 MACK LLC	20139 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1603 000	20139 MACK AVE	EDMUND T. AHEE JEWELERS	20139 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1562 000	20155 MACK AVE	20155 MACK LLC	1270 N OXFORD	GROSSE POINTE WOODS, MI 48236
011 01 1561 000	20169 MACK AVE	20169 MACK LLC	1270 N OXFORD	GROSSE POINTE WOODS, MI 48236
011 01 1557 000	20175 MACK AVE	GOODIS ENDODONTIC SPECIALISTS	20175 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1625 000	1790 KENMORE DR	ANSTETT, AMY	1790 KENMORE DR	GROSSE POINTE WOODS, MI 48236
011 01 1599 000	1805 OXFORD RD	ATTAR FAMILY LLC	33300 W SIX MILE RD	LIVONIA, MI 48152
011 01 1554 000	20195 MACK AVE	BERKUN FAMILY LLC	19 COMPO ROAD SOUTH	WESTPORT, CT 6880
011 01 1596 000	1829 OXFORD RD	BRADLEY, JOHN M. JR.	1829 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1568 000	1818 OXFORD RD	BURDINE, LYNN	1818 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1598 000	1813 OXFORD RD	BURKE, THOMAS P	88 S DEEPLANDS RD	GROSSE POINTE SHORES, MI 48236
011 01 1600 000	1799 OXFORD RD	CAMERON, LINDSAY	1799 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1615 000	20091 MACK AVE	CAPRARA, JULIA	471 SHOREHAM RD	GROSSE POINTE WOODS, MI 48236
011 01 1613 000	20099 MACK AVE	CASEY, MARTIN	221 RIDGE RD	GROSSE POINTE FARMS, MI 48236
008 99 0005 004	20180 MACK AVE	COMERICA BANK	2800 POST OAK BLVD STE 4200	HOUSTON, TX 77056
011 01 1608 000	20119 MACK AVE	COOK, HONG	20119 MACK AVE	GROSSE POINTE WOODS, MI 48236
012 05 0027 000	1685 FAIRHOLME RD	ESTATE OF BATES, WILLIAM L	8300 LONG ISLAND CT	FAIR HAVEN, MI 48023
011 01 1619 000	20065 MACK AVE	FIFTH THIRD BANK	2727 LBJ FREEWAY SUITE 806	DALLAS, TX 75234
011 01 1569 002	1834 OXFORD RD	FISHER, MARIA N	1834 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1595 000	1837 OXFORD RD	GRIFFITHS, JESSIE	1837 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1555 000	20183 MACK AVE	HAN, PETER IN HEE & SUN DUC HAN	20183 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1601 000	1791 OXFORD RD	HARR, MARY K.	1791 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1564 000	1786 OXFORD RD	HONE, RACHAEL	1786 OXFORD	GROSSE POINTE WOODS, MI 48236
011 01 1618 000	20081 MACK AVE	JO ANN BARTO REVOC LIV TRST	58976 VALLEY VIEW DRIVE	WASHINGTON, MI 48094
012 05 0089 000	1680 FAIRHOLME RD	JOHNSTON, MICHAEL C	1680 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
011 01 1628 000	1812 KENMORE DR	JONES, PHILLIP-ANGELA	1812 KENMORE DR	GROSSE POINTE WOODS, MI 48236
011 01 1626 000	1798 KENMORE DR	JOSENS, ARTHUR	1798 KENMORE DR	GROSSE POINTE WOODS, MI 48236
011 01 1551 000	1811 NORWOOD DR	KNUDSON, BRIAN S & CHRISTINA M	1811 NORWOOD DR	GROSSE POINTE WOODS, MI 48236
009 01 0295 001	20148 MACK AVE	LAKMACK LLC	20148 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1623 000	1770 KENMORE DR	LEWINSKI, LEANN R	1770 KENMORE DR	GROSSE POINTE WOODS, MI 48236
011 01 1553 000	1799 NORWOOD DR	LUZI, RODNEY D	1799 NORWOOD DR	GROSSE POINTE WOODS, MI 48236
011 01 1567 000	1810 OXFORD RD	MCCORMICK, JEFFREY & FARRAR, LORI	1810 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1624 000	1782 KENMORE DR	NOEL, CHRISTIAN-RILCK	1782 KENMORE DR	GROSSE POINTE WOODS, MI 48236

POSTCARD NOTIFICATION
AHEE JEWELERS - PARKING

Section 4, Item A.

009 01 0295 002	20136 MACK AVE	OTTAWAY, ANDREW W	20136 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1629 000	1820 KENMORE DR	PALERMO, CHARLES-NICOLE	1820 KENMORE DR	GROSSE POINTE WOODS, MI 48236
011 01 1627 000	1804 KENMORE DR	PUPPOS, JEFFREY M	1804 KENMORE DR	GROSSE POINTE WOODS, MI 48236
011 01 1566 000	1806 OXFORD RD	QUINN, MARY ANN	1806 OXFORD RD	GROSSE POINTE WOODS, MI 48236
012 05 0090 000	20100 MACK AVE	RAHI, DAHER B	503 LAKESHORE ROAD	GROSSE POINTE SHORES, MI 48236
009 01 0001 000	20160 MACK AVE	REAL PROPERTIES INC	20160 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1552 000	1803 NORWOOD DR	SAGERT, ELLERY-KATRINA	1803 NORWOOD DR	GROSSE POINTE WOODS, MI 48236
011 01 1565 000	1798 OXFORD RD	SUCIU, RANDY N	1798 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1597 000	1821 OXFORD RD	SYSLING-SALVADOR, BONNIE ANN	1821 OXFORD RD	GROSSE POINTE WOODS, MI 48236
011 01 1550 000	1819 NORWOOD DR	VERMAN, NITIN & CLAIRE	1819 NORWOOD DR	GROSSE POINTE WOODS, MI 48236
011 01 1630 000	1828 KENMORE DR	WEILL, CAROL	1828 KENMORE DR	GROSSE POINTE WOODS, MI 48236
012 05 0088 000	1670 FAIRHOLME RD	YOUNGBLOOD, JOSEPH P	1670 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
011 01 1602 000	1783 OXFORD RD	YOUNGBLOOD, KATHLEEN M	1783 OXFORD RD	GROSSE POINTE WOODS, MI 48236



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