



CITY OF GROSSE POINTE WOODS
PLANNING COMMISSION AGENDA
Tuesday, July 22, 2025, at 7:00 PM

*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426*

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. RECOGNITION OF COUNCIL REPRESENTATIVE/s**
- 4. PLEDGE OF ALLEGIANCE**
- 5. ACCEPTANCE OF AGENDA**
- 6. RECEIPT OF FINAL APPROVED MINUTES**
 - A. Planning Commission Meeting – May 27, 2025
- 7. NEW BUSINESS**
 - A. Consideration of the Site Plan for 19483 Mack Avenue (My Nails Salon).
 - B. Consideration of the Site Plan for 20778 Mack Avenue (Verus Development).
 - C. Consideration of the 20160 Mack Avenue Rezoning: A Recommendation to City Council (Rezoning from the R0-1 to the C District)
 - D. Consideration of the Site Plan for 20160 Mack Avenue.
 - E. Consideration of amendment to Planning Commission By-Laws.
- 8. OLD BUSINESS**
- 9. BUILDING OFFICIAL'S MONTHLY REPORT**
 - A. Building Department Report – May 2025 to June 2025
 - B. Building Department Report – June 2025 to July 2025
- 10. COUNCIL REPORT/s**
 - A. Last Month: June 2, June 16 – McNelis
 - B. This Month: July 14, July 21 – O'Keefe
 - C. Next Month: August 4, August 18 – Vitale
- 11. INFORMATION ONLY**
 - A. New McKenna Staffing of PC/Council Meetings
- 12. PUBLIC COMMENT**
- 13. ADJOURNMENT**



CITY OF GROSSE POINTE WOODS

PLANNING COMMISSION AGENDA

Tuesday, July 22, 2025 at 7:00 PM

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249.

MINUTES OF THE **PLANNING COMMISSION** MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON **MAY 27, 2025**, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:03 p.m. by Chair Fenton.

Roll Call: Chair Fenton

Commission Members: Fuller, Gilezan, Hamborsky, Marx, McNelis, O'Keefe, Vitale

Absent: Mackinnon

Also Present: City Planner, Ashley Jankowski
City Attorney, Debra Walling
Recording Secretary, Gretchen Miotto
Council Representative, Kenneth Gafa

Chair Fenton recognized Council Representative Gafa.

The Planning Commission, staff, and the public, Pledged Allegiance to the U. S. Flag.

MOTION by Gilezan, seconded by McNelis, to excuse Commission Member Mackinnon from attendance at tonight's meeting.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, Marx, McNelis, O'Keefe, Vitale

NO: None

ABSENT: Mackinnon

MOTION by Marx, seconded by Fuller, to accept tonight's agenda as presented and place on file.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, Marx, McNelis, O'Keefe, Vitale

NO: None

ABSENT: Mackinnon

MOTION by Marx, seconded by O'Keefe, that the April 22, 2025, Planning Commission meeting minutes be approved as presented.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, Marx, McNelis, O'Keefe, Vitale

NO: None

ABSENT: Mackinnon

The first item, under **New Business**, was to **Consider the Lot Split request application for 19653 & 19655 Mack Avenue for Approval.**

Planner Jankowski provided an overview of the Building Department's review of the applicant's proposal to split the lot to allow for ownership of each respective building. The two businesses, Salvatore Scallopini, a restaurant, and Lamia & Lamia, a salon, have been operating side-by-side for many years. The Applicant has been leasing to Salvatore Scallopini. There will be no changes in the business uses, interior or exterior facades, or occupancy.

Discussion around the parking arrangement was heard. There is an easement agreement in place for both properties to use those shared parking spaces in perpetuity, and the agreement is equal to or more than a shared parking agreement. Should the businesses change, any new occupant would come before the Planning Commission for approval and the requisite parking for the new business would be assessed.

MOTION by Marx, seconded by Vitale, that the, Planning Commission approve the lot split of 19653 & 19655 Mack Avenue and recommend to Council for a first reading/public hearing.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, Marx, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Mackinnon

The next item, under **New Business**, was to **Consider of Site Plan for 19483 Mack Avenue (My Nails Salon) for Approval.**

Planner Jankowski provided an overview of the Building Department's review of the application for interior renovations of an existing, unoccupied commercial building to support a nail studio called My Nails Salon. The Building Department recommends approval of the interior renovations without conditions.

Discussion ensued around the number of parking spaces actually available for the businesses in this block. The ordinance takes into account all parking within 500 feet of the business, though that did not appear adequate when taking into account the other businesses in the block.

Chad Boyd, of Boyd Construction, spoke on behalf of the tenant. Originally there were 16 chairs and 16 tables proposed, and after discussion with the Building Official, they cut that down to 8 chairs and 8 tables. Over the last 6 months, they have already started demolition and invested a lot of money, and he requested the Planning Commission allow them to move forward.

The commission discussed the possibility that the business would add additional chairs and tables without City approval.

Shawn Von Schwartz, a realtor with Stokas Bieri Real Estate, representing the landlords, spoke about the parking spaces and the size of the building, which actually takes up the space

of two businesses. He referenced other salons in the area and hoped for some degree of consistency relative to similar uses in the area, specifically a nail salon at 19707 Mack Avenue, which appears to have a significant number of chairs per parking space approved already. He asked for equal application of the ordinance to all applicants, rather than first come, first served. The landlord fully supports the use and is hoping for a positive outcome.

The commission asked if these landlords own other properties in this block and if they would be contacted by adjacent businesses if parking became a problem. Mr. Von Schwartz stated that they own other properties in the city, but not in that block.

Leslie Mullinger, 1531 Oxford, asked if this is MI Nails moving to a new location. It was clarified that these are two different entities.

There is concern among some commission members that parking is a continuing issue discussed during every site plan review, and they don't want to choke out available parking for nearby businesses.

MOTION by McNelis, seconded by Vitale, that the, Planning Commission approve the site plan for 19483 Mack Avenue.

Motion rejected by the following vote:

YES: Gilezan, Marx, McNelis, Vitale

NO: Fenton, Fuller, Hamborsky, Mackinnon, O'Keefe

ABSENT: None

Mr. Von Schwartz asked about the appeal process for this decision and was advised that a revised site plan with less chairs would be required. As the applicant has already cut the original plan in half, he asked how much smaller it should be. He also stated that he cannot speak on behalf of the tenants as to what a viable business plan would look like if less chairs are required. City Attorney Walling stated they could appeal to Wayne Circuit Court.

Planner Jankowski will provide data on the number of types businesses and the associated parking requirements so the commission has a baseline to reference when new businesses come in.

Commissioner Vitale stated that the city did a parking study done some time ago and it was found that when you take into account all the types of businesses on the Mack Avenue Corridor and equate it to parking, we really don't have a shortage of parking, but we do have a convenience issue. The commission is in agreement that that is the issue we struggle with, and people are reluctant to walk a little bit.

The next item, under **New Business**, was to **Consider of Site Plan for 19483 Mack Avenue (Valvoline Oil Change) for Approval**.

Planner Jankowski provided an overview of the Building Department's review of the application

to renovate the exterior of 20397 Mack Avenue to add metal siding, ribbed metal siding, and ACM cladding accents. The Building Department recommends the Planning Commission deny the site plan application for the following reasons, which have been provided to the applicant:

- 1) Proposed material use, including ribbed metal, ACM Panels, and metal siding, is not consistent with the ordinance and design standards.
- 2) Exterior colors are not consistent with the approved colors.
- 3) The application must provide number of employees to ensure compliance with parking requirements.

Dale Dagher, of Dagher Signs & Graphics, spoke to the points above and disputes that the proposed siding is not of quality, and the colors are muted. He stated the existing building is in very poor condition and difficult to repair without some type of siding. The design is similar to other automotive/car dealership businesses.

The commission believes there are other things that can be done to improve the appearance of the building, and with less expense, than all the proposed metal. The proposed exterior would be a dramatic departure from façade updates we've seen in the area over the last several years.

Mr. Dagher indicated that the owner has a number of identical businesses and a desire to have a consistent look.

MOTION by O'Keefe, seconded by Fuller, that the Planning Commission deny the site plan for 19483 Mack Avenue.

MOTION withdrawn after the suggestion the commission allows the applicant to modify the design and resubmit it.

MOTION by O'Keefe, seconded by Fuller, that the Planning Commission table this consideration until the applicant can modify the design.

Motion carried by the following vote:

YES:	Fenton, Fuller, Gilezan, Hamborsky, Mackinnon, Marx, McNelis, O'Keefe, Vitale
NO:	None
ABSENT:	None

The next item, under **Old Business**, was the previously tabled **Consideration of the Site Plan for 20160 Mack Avenue, pending rezoning**.

Planner Jankowski provided an overview of the rezoning Public Hearing before City Council, and their decision was to return the rezoning back to the Planning Commission for further deliberation and public comments. Therefore, the site plan consideration will remain tabled. The architect did meet with the residents and the revised site plan, based on that meeting, is in today's packet.

Planner Jankowski stated that there will be a Committee-of-the-Whole, with the Planning Commission, on June 16 to discuss the Future Land Use per the 2024 Master Plan. There was

discussion on the various zoning designations and what types of businesses are allowed in each.

The next item was the **Building Official's Report, April 2025 to May 2025.**

Planner Jankowski provided an overview of current projects and permits. A question was asked about the Social Districts and the logistics of how the two areas, North and South, were determined.

The next item was the **City Council Reports for May 5 and May 19, 2025.**

Commissioner Marx attended the May 5 and May 19 meetings. Nothing of concern to the Planning Commission on May 5. The May 19 meeting had the Public Hearing on the rezoning of 20160 Mack Avenue. That topic was tabled and returned to the Planning Commission for further deliberation. City Council scheduled a Committee-of-the Whole on June 16 to discuss the 2024 Master Plan, the Future Land Use plan, and other city-wide concerns on zoning.

Commissioner McNelis will attend the June meetings.

Under **Information Only**, Commission Fuller provided his data file on all the businesses on Mack Avenue and their current zoning designation. The commission commended him on creating and maintaining the file over the years, and found it very helpful. The RO-1 zones were of particular interest with questions on the history of Saucy's Pizza and Delight Bakery, which are in a RO-1 zone.

Under **Public Comment**, the following were heard:

1. Gary Felts, 1683 Oxford, commented on parking standards and design standards.
2. Patricia Dougherty, 1665 S. Renaud, spoke in opposition of adding more commercial zoning.
3. Jon Dougherty, 1665 S. Renaud, spoke about the 20160 Mack rezoning resistance, which attributed to the City Council returning the proposal to the Planning Commission.

MOTION by Marx, seconded by Vitale, to adjourn at 8:27 p.m.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, Mackinnon, Marx, McNelis, O'Keefe, Vitale
NO: None
ABSENT: None

Respectfully Submitted,
Gretchen Miotto
Clerk's Confidential Administrative Assistant & Recording Secretary



MCKENNA

July 14, 2025

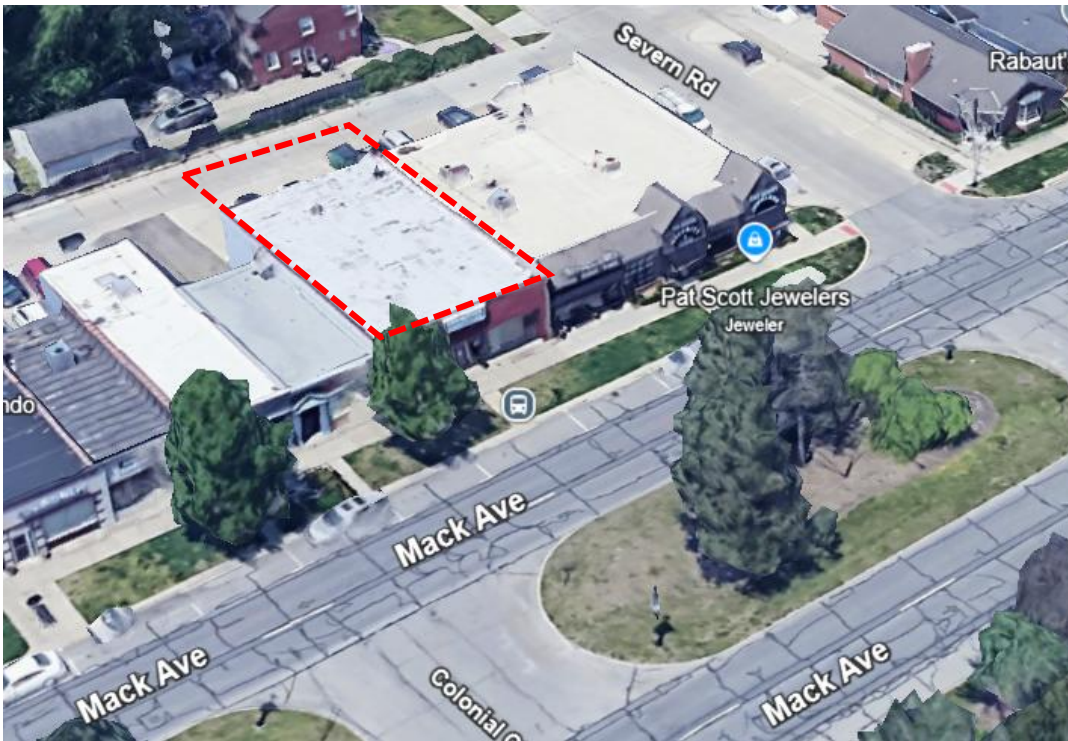
Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

Subject: 19483 Mack Avenue: My Nails Salon Site Plan for Interior Renovations
Parcel ID: 015-01-0041-000
Site Plan Review #2
Zoning: C, Commercial Business District

Dear Commissioners,

We have reviewed the above re-application for interior renovations of an existing, unoccupied commercial building to a nail studio: *My Nails Salon*. Since the May 27th Planning Commission meeting, the applicant has submitted a revised site plan for an interior build-out of the vacant retail (lease) space at 19483 Mack Avenue. The renovation of the 2,506 square foot building includes a new reception space, manicure and pedicure areas, a private waxing room, two restrooms, and an employee break room.

We have reviewed the proposal in conformance to the City's Ordinances and offer the following comments. Items that do not comply or require additional information are noted in **bold** and **underlined**.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

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Recommendation

Based upon full compliance with the City's Zoning Ordinance, we recommend site plan approval for the interior renovations at My Nails Salon, 19483 Mack Avenue, without conditions.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Ashley Jankowski, AICP
Associate Planner

Alicia Warren
Associate Planner



Site Plan Review

1. ZONING DESIGNATIONS

The subject site, 19483 Mack Avenue, is located within the C, Commercial Business District. Personal service establishments are considered a permitted, by right use within the district.

Findings: *Complies.*

2. PARKING AND LOADING (SEC. 50-5.3)

The Ordinance provides that for “*Beauty parlors, or related businesses*” three spaces are necessary for each of the first two beauty or barber chairs, and 1.5 spaces for each additional chair.

As this is an existing structure and the total floor area is not proposed to increase, the off-street parking must only conform to at least 50% of the requirements listed above.

Further, per Ordinance 907 and Section 50-5.3 (Off-Street Parking Requirements), “*the off-street parking facilities required for all other uses shall be located on the lot or on property in the city within 500 feet of the permitted use requiring such off-street parking*”.

Four off-street parking spaces are provided at the rear of the building for employees, accessed by the alley. The table below details a breakdown of the number of parking spaces required for the proposed renovations.

Off-Street Parking Required:

Proposed Number of Chairs	Number of Off-Street Parking Spaces Provided	Number of Off-Street Parking Spaces Required	Number of On-Street Parking Spaces within 500 ft.
16 chairs + 1 wax space = 17 total	4 spaces (rear of building)	25.5 chairs @ 50% = 12.75 = total of 13 spaces required	45+ parking spaces (including 15 spaces along Mack Avenue on this side of the block)

Findings: *Complies.* On the site, and within 500 feet of the property, the required 13 off-street parking spaces have been exceeded. A total of four parking spaces are available behind the proposed business, and over 45 parking spaces are available within 500 feet of the business. In considering the context of the site, with both the provided off-street and on-street parking, there is conclusive evidence that the City’s Zoning Ordinance standards for parking are met by the applicant.



3. LANDSCAPING (SEC. 50-6.1)

The Ordinance requires that site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

Findings: N/A. There is existing landscaping on site along the public right-of-way (Mack Avenue) which enhances the site and a 6-foot fence is located at the rear of the alley. The applicant is not proposing any additional landscaping.

4. SIGNS

Chapter 32 of the City's Code of Ordinance details signage requirements.

Findings: N/A. No signage is proposed at this time. Any future exterior signage must be submitted under separate cover for administrative review and approval.

5. LIGHTING

The Ordinance requires that exterior lighting be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Findings: N/A. No new lighting on the exterior of the building is proposed as part of this application.



EX 102 WIDE PUBLIC RIGHT-OF-WAY
2-LANES ASPHALT ROADWAY

(15) EX. PUBLIC PARKING SPACES

WATER MH
RM=582.45

SEVERN RD.
EX 60' WIDE PUBLIC RIGHT-OF-WAY
2-LANES ASPHALT ROADWAY

PRESTWICK RD
EX 60' WIDE PUBLIC RIGHT-OF-WAY
2-LANES ASPHALT ROADWAY

(3) EX. PUBLIC PARKING SPACES



DAT
Draw
P.E.

PRIVATE CLAIM 617 & 618

CLIENT: **ORMAN ENGINEERING**
5476 VIVAN LANE

These documents are instruments of service in respect of the Project and any reuse without written authorization or adaptation by Diffin Engineering &

MY NAILS INTERIOR RENOVATION

19483 MACK AVE.
GROSSE POINTE WOODS, MI 48236

BUILDING CODES & DESIGN STANDARDS:

PROJECT LOCATION: FORT HURON, MI
2021 MICHIGAN MECHANICAL CODE
2021 MICHIGAN PLUMBING CODE
2023 MICHIGAN PART 8 ELECTRICAL CODE
2015 MICHIGAN UNIFORM ENERGY CODE-COMMERCIAL
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
ALTERATION LEVEL 2, W/ REFERENCES TO MICHIGAN BUILDING CODE 2015

PROJECT SCOPE:

THIS PROJECT INVOLVES AN INTERIOR RENOVATION OF AN EXISTING VACANT STORE FOR THE NEW TENANT NAILS REVIVE. THE WORK WILL INCLUDE ARCHITECTURAL, MECHANICAL & ELECTRICAL ENGINEERING FOR THE PROPOSED LAYOUT.

SHEET INDEX:

- A1 TITLE SHEET, LOCATION, DEMOLITION, & FLOOR PLANS
A2 REFLECTED CEILING PLAN & DETAILS
A3 DOOR SCHEDULE, DETAILS & BARRIER FREE MOUNTING HEIGHTS
M10 MECHANICAL LEGENDS, SYMBOLS, SHEET INDEX & DEMOLITION PLAN
M1 OVERALL PLUMBING FLOOR PLAN
M2 OVERALL HVAC & FLOOR PLAN
M4.0 MECHANICAL SCHEDULES
M4.1 MECHANICAL DETAILS
M5 MECHANICAL SPECIFICATIONS
E10 ELECTRICAL RISER DIAGRAM, GENERAL NOTES, & SCHEDULES
E1 ELECTRICAL FLOOR PLANS- DEMOLITION, POWER & LIGHTING

BUILDING DATA:

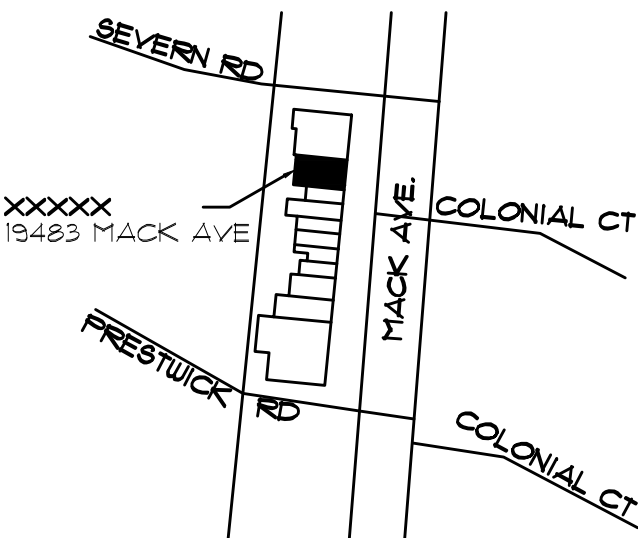
TENANT AREA: 2,506SF. GROSS AREA (EXCLUDING EXTERIOR & DEMISING WALL THICKNESS)
CONSTRUCTION TYPE: TYPE IV B
USE GROUP: B BUSINESS
NON-SPRINKLED
OCCUPANCY CALCULATION: (BY RATIO)
BUSINESS (1 PER 100 SF. GROSS) 2,506SF. X 80% = 2,004.8 / 100 = 20.03 + 20 OCCUPANTS
ACTUAL 100% FULL SEATING & PEDICURE & MANICURE TABLES 48 OCCUPANTS
TWO BARRIER FREE TOILET ROOMS
MAXIMUM TRAVEL DISTANCE 200'

EGRESS OCCUPANT LOADS:

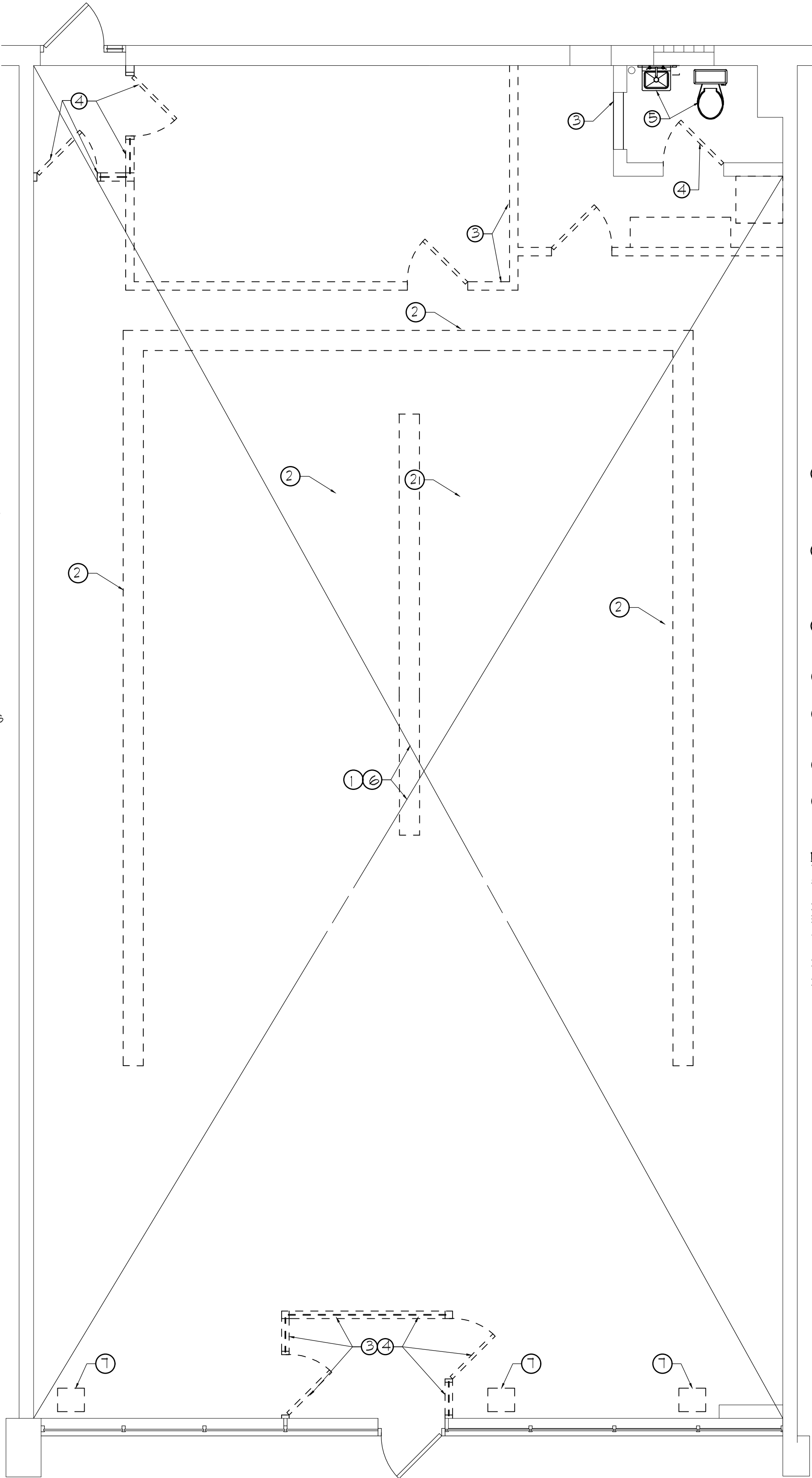
TOTAL NUMBER OF OCCUPANTS (BY RATIO): 48 EGRESS
WIDTH/OCCUPANT (100%): 100%: 0.2
EGRESS WIDTH REQUIRED: NO. OF OCCUPANTS x EGRESS WIDTH
18 X 0.2 = 3.6'
EGRESS WIDTH PROVIDED: 12"
NUMBER OF EXITS REQUIRED (100%): 100%: 1
NUMBER OF EXITS PROVIDED: 2

GENERAL NOTES:

- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK NOTED HERE IN. COORDINATE ALL DRAWINGS/NEW WORK & NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY & LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD INCLUDING BLOCKING USED SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, & O.S.H.A.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL & WALL BASE CONDITION.
- REINFORCE WALL & PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS & COUNTERTOPS.
- COORDINATE W/ OWNER'S SUPPLIED EQUIPMENT FOR INSTALLATION. REQUIREMENTS / LOCATIONS OF FLOOR / WALL/ CEILING MOUNTED ITEMS: TV'S, SPEAKERS ETC.
- CONTRACTOR SHALL CONDUIT A ROUGH ELECTRICAL INSPECTION W/ OWNER PRIOR TO ENCLOSING WALLS FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, SWITCH, THERMOSTAT, ETC.
- ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE CAULKED/TAPED.
- CONTRACTOR SHALL COORDINATE ALL OWNER SUPPLIED ITEMS FOR THE CONTRACTOR TO INSTALL.
- MECHANICAL CONTRACTOR TO CONNECT VENT LINES, WATER SUPPLY & SANITARY TO EXISTING STUBS.
- INSTALL TACTILE EXIT SIGNS REQUIRED BY SECTION 1013.4 MFC.



LOCATION PLAN
SCALE: NO SCALE
NORTH



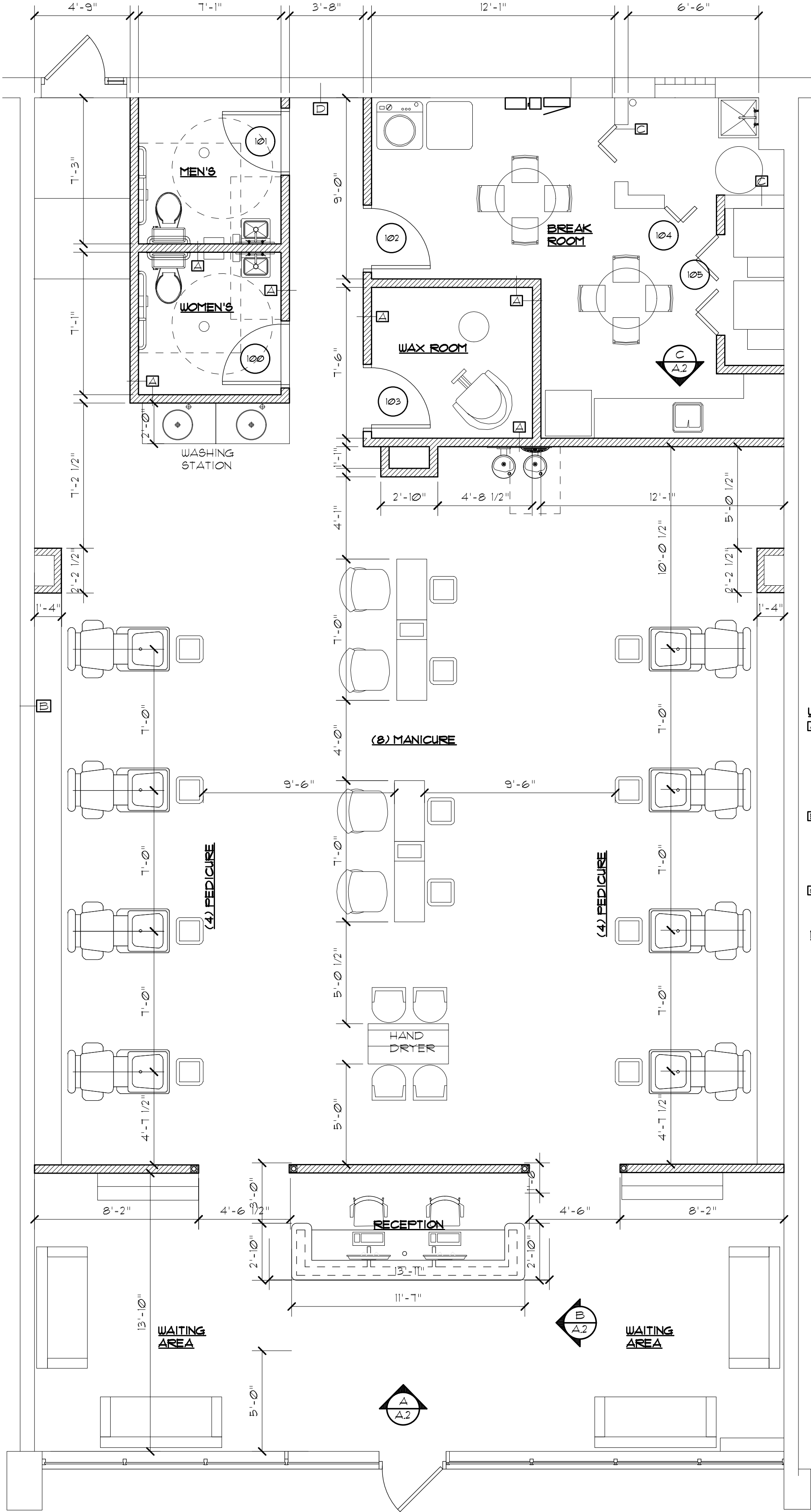
DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"
NORTH

DEMOLITION NOTES:

- CEILING GRID & TILES, DIFFUSERS, RETURNS, EMERGENCY LIGHT & STRIP LIGHT FIXTURES TO BE REMOVED.
- SAW-CUT, REMOVE & REPLACE CONCRETE SLAB AS REQUIRED FOR PLUMBING INSTALLATION. (SEE MECHANICAL DUGS.)
- REMOVE GYP. BD. & METAL STUD PARTITIONS, INDICATED THUS
- DOOR & DOOR FRAME TO BE REMOVED.
- PLUMBING FIXTURES TO BE REMOVED. (SEE MECHANICAL DUGS.)
- CARPET & FLOOR COVERING TO BE REMOVED.
- RETURN AIR DUCTS TO BE REMOVED (SEE MECHANICAL DUGS.)

NOTES:

- VERIFY W/ OWNER ITEMS TO BE SALVAGED.
- REFER TO MECHANICAL & ELECTRICAL DUGS. FOR ADDITIONAL DEMOLITION NOTES.
- PATCH & REPAIR SURFACES TO REMAIN DAMAGED DURING DEMOLITION.



FLOOR PLAN
SCALE: 1/4"=1'-0"
NORTH

WALL TYPES:

- 5/8" GYP. BD. ON EACH SIDE 3 5/8" 20 GA. METAL STUDS @ 1'-4" O.C. FROM FINISH FLOOR TO UNDERSIDE OF CEILING GRID. FILL STUD CAVITY W/ BATT INSULATION TYP. (SEE 1/A2)
- EXISTING DEMISING WALL-5/8" TYPE 'X' GYP. BD. ON 6" METAL STUDS FROM FINISH FLOOR TO UNDERSIDE OF ROOF DECK (1 HOUR RATED)
- EXISTING INTERIOR PARTITION TO REMAIN.

NOTES:

- DOOR W/O DOOR TAGS & SHOWN @ 45° ARE EXISTING TO REMAIN.
- TILE FLOORING, BASE, WALL PAINT, & CEILING GRID FINISHES BY OWNER.



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PROJECT
MY NAILS
19483 MACK AVE
GROSSE POINTE WOODS, MI 48236

SUBJECT
TITLE SHEET, LOCATION,
DEMOLITION, FLOOR &
REFLECTED CEILING PLANS

ARCHITECTS
T. FOUGHT & ASSOCIATES LLC-AIA
29895 GREENFIELD RD. SUITE 103 SOUTHFIELD, MI 48076
(248) 514-7612 toughtarchitectllc@gmail.com

ISSUED:
PLANNING
APPROVAL
06/17/2025

DRAWN T.J.F.
CHECKED T.J.F.
APPROVED T.J.F.
BDS
CONSTR

DO NOT SCALE
PRINTS - USE
FIGURED
DIMENSIONS ONLY

JOB NO.
T2024094

SHEET
A.1

MY NAILS
GROSSE POINTE



MCKENNA

July 14, 2025

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

Subject: 20778 Mack Avenue: Site Plan
Parcel ID: 004-06-0001-001
Site Plan Review #2
Zoning: C, Commercial Business District

Dear Commissioners,

We have reviewed the site plan submitted by Stucky Vitale Architects (on behalf of Versus Development Group) for a retail development at 20778 Mack Avenue. The site is located on Mack Avenue between Anita Avenue and Hawthorne Road and is zoned the C, Commercial Business District. The applicant proposes to renovate and expand the existing building to create a 7,200 sq. ft. single-story retail building. The redevelopment also includes demolishing the existing rear parking area and resurfacing it for off-street parking.

We have reviewed the proposal in conformance to the City's Ordinances and offer the following comments. Items that do not comply or require additional information are noted in **bold** and **underlined**.



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Recommendation

Based upon general compliance with the City's Zoning Ordinance, we recommend site plan approval for 20778 Mack Avenue, with the following conditions:

1. The height of the screen wall along the northern property line is reduced from 6 feet to 4 feet, and the type of screen wall provided (including the materials) is detailed on the site plan.
2. Per Section 50-6.1(G)(7), samples of the proposed building materials are provided to the Planning Commission at their meeting for final review and approval.
3. The proposed loading needs of the site and the restricted hours are provided. The Planning Commission shall determine if this will suffice for the loading/unloading spot requirement or if another configuration is necessary.
4. Lighting intensity and placement is reduced and adjusted on a revised photometric plan.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Ashley Jankowski, AICP
Associate Planner

Alicia Warren
Associate Planner



Site Plan Review

1. ZONING DESIGNATIONS

The subject site, 20778 Mack Avenue, is located within the C, Commercial Business District. Retail establishments are considered a permitted, by right use within the district.

The chart below details the existing land use, current zoning, and future land use designations:

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Retail Strip Center	C, Commercial Business	Corridor Mixed Use
North	Bank Office	R-1C, One-Family Residential	Corridor Mixed Use
South	Single-Unit Residential	C, Commercial Business	Regional Business
East	Single-Unit Residential	R1-E, One-Family Residential	Single Family Medium Density
West	Retail and Parking	C, Commercial Business; P-1, Vehicular Parking	Corridor Mixed Use

The 2024 Master Plan Future Land Use Map designates this site and the immediate surrounding areas to the north, and west as “*Corridor Mixed Use*”. This planned area is described in the Master Plan as, “*retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor.... These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering.*”

These future land use designation translates to the following City Zoning Districts: C, Commercial Business; P, Parking and a few areas as RO-1, Restricted Office.

Findings: *Complies.* Both the Zoning Ordinance and 2024 Master Plan support a retail use in this location.

2. DIMENSIONAL REQUIREMENTS

Findings: *Complies.* The table below and on the following page details the required dimensional standards and those that are proposed.

Standard Type	Requirement Details	Required	Existing / Proposed Conditions	Notes
<i>Min. Front Setback (West)</i>	In Commercial Districts, no front yard is permitted where the property use is for the purposes specified in section 50-4.9 retail businesses and business offices.	0 ft.	0 ft.	Complies



Standard Type	Requirement Details	Required	Existing / Proposed Conditions	Notes
Min. Side Setback (North / South)	In Commercial Districts, no side yard is required on the street side of corner lots.	0 ft.	0 ft.	Complies
Min. Rear Setback (East)	In Commercial Districts, rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings.	0 ft.	0 ft.	Complies
Max. Building Height	2 stories, 28 feet	Same	1 story, ±20 feet	Complies

3. ARCHITECTURE AND BUILDING DESIGN (SEC. 50-373)

The Zoning Ordinance's design standards are intended to promote a coordinated and complimentary use of design elements that result in a theme-oriented, harmonious appearance and image for commercial and high intensity residential areas. Per Section 50-5.18, "*New construction, renovations, remodeling, or exterior building alterations in the C, Commercial Business District shall be in conformance with approved design standards.*"

Findings: Complies. The elevations illustrate that the building will be primarily composed of high-quality brick (in grey, black, and beige tones) with a limestone panel veneer as an accent. This will be paired with dark bronze metal roof trim and metal parapet. The design of the building follows a traditional architectural design, as encouraged by the Zoning Ordinance.

Per Section 50-6.1(G)(7), the applicant must bring samples of the proposed building materials to the Planning Commission meeting for review and final approval.

4. PARKING AND LOADING (SEC. 50-5.3)

Per Section 50-5.3(H), retail stores require "*one off-street parking space for each 200 square feet of gross floor area.*" In total, 36 parking spaces are required for this site.

Off-Street Parking Required:

Building Square Footage	Number of Off-Street Parking Spaces Provided	Number of Off-Street Parking Spaces Required	Number of On-Street Parking Spaces within 500 ft.
7,200 gross sq. ft.	24 spaces (+ 6 metered on-street spaces)	36 parking spaces	30+ parking spaces



The current site configuration includes 24 on-site parking spaces, including two ADA barrier free spaces, and six, on-street metered parking spaces. There is also a municipal parking lot approximately 140 feet from the site across Mack Avenue, with existing crosswalks available for pedestrian travel across Mack.

Per Ordinance 907 and Section 50-5.3 (Off-Street Parking Requirements), “*the off-street parking facilities required for all other uses shall be located on the lot or on property in the city within 500 feet of the permitted use requiring such off-street parking*”. Within 500 feet of the property, the site exceeds the required 36 required off-street parking spaces.

The proposed parking spaces comply with the minimum required dimensions of 9 feet by 19 feet. For loading, a temporary 12 ft. by 50 ft. loading zone is proposed (with restricted hours). **The applicant must clarify the loading needs of the site and the restricted hours. The Planning Commission shall determine if this will suffice for the loading/unloading spot requirement.**

For site access, the existing approach to the alley will remain, and a new drive will be installed just west of the alley (for the new parking lot).

Lastly, Section 50-5.3(U) requires that parking lots provide traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. These required traffic lane markings are depicted on the plans.

Findings: *Generally complies; the loading zone details remain an outstanding item.*

5. LANDSCAPING (SEC. 50-6.1)

The Ordinance requires that site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

Ornamental Wall. When a parking area adjoins a residential property or street, an ornamental masonry wall not less than two feet or more than four feet in height must be erected and maintained between the required yard space and area to be used for parking (except for such portions as are used for entrances and exits).

A 6-foot fence/masonry wall is proposed along the residential property line abutting 1875 Hawthorne Road; **the height of the proposed screening wall must be reduced to 4-feet, and the type of materials must be detailed on the site plan.**

Maintenance. All required walls or landscaped screening must be properly maintained and kept free of debris, signs or any advertising whatsoever. Bumper guards, composed of either a curb at least six inches high or steel posts 24 inches to 30 inches high and not more than five feet apart set three feet in concrete, must be provided to prevent vehicles from striking the wall or landscaping.

The site has existing mature trees along Mack Avenue and along the alley. There is an existing chain link fencing along the eastern property line that will remain.

Landscaping. The Ordinance requires that landscaping, consistent with the quality and character of landscaping on nearby properties, be provided. Visually unattractive structures (e.g., transformers, generators, utility cabinets, mechanical equipment and similar structures or equipment) must be screened with either landscaping, fencing or walls. The Planning Commission may require additional landscaping,



fences, or walls in accordance with the standards and intent of this section and Chapter 50, Article 7 - Administration and Enforcement

The landscape plan provides new lawn panels along Anita Avenue, shrubs, planters, and ornamental trees in compliance with the suitable plant materials listed in Section 50-5.19: Greenbelts.

Findings: *Generally complies; the screening wall height remains an outstanding item.*

6. SIGNS

Chapter 32 of the City's Code of Ordinance details signage requirements.

Findings: *N/A.* The plans detail the location of signage areas for speculative tenants that will occupy the units in the future. No signage is proposed at this time. Any future exterior signage must be submitted under separate cover for administrative review and approval of each unit.

7. LIGHTING

The Ordinance requires that exterior lighting be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Findings: *Does not comply – revisions necessary.* The photometric plan details both parking lot lighting and exterior building mounted lighting. Within the parking lot, bollard lighting (at 4-feet in height) are proposed, while wall sconces are located along the exterior façades (mounted at 16-feet in height). The building mounted lighting casts upward (as opposed to down and fully shielded); this can be considered decorative lighting and is acceptable on the side and front facades. However, on the rear façade, the building lighting near the residential lot line should be mounted at a lower height (i.e., 8-feet) to reduce glare casting onto the neighbor's property.

Regarding light intensity, as a retail use adjacent to residential, the maximum footcandles onsite should be 10.00 fc and the maximum footcandle at any property line should be 0.0 fc. **Lighting intensity and placement must be reduced and adjusted on a revised photometric plan and submitted for review.**

8. TRASH RECEPTACLES

The Ordinance requires that trash receptacles be screened with quality materials that complement the site and adjacent properties.

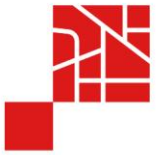
Findings: *Complies.*

The dumpster enclosure is located in the northeast corner of the site and consists of a 6 foot in height, masonry enclosure with cedar gates and a concrete apron.

9. OUTDOOR PATIO AREAS

Per Section 50-4.16, outdoor patio areas for the sale and service of food and beverages are permitted in the C, Commercial Business District; provided that:

A. The sale and service of alcoholic liquors shall be in conformance with the rules of the state liquor control commission (LCC); and



B. Such patio areas subject to site plan approval by the Planning Commission. The Commission may reject any site plan found to be located close to residential property where sound levels may be intrusive.

C. In granting site plan approval, the Commission may require the installation of a fence or a greenbelt around the patio area, lighting, and in compliance with Section 50-5.18: Design Standards in the C, C-2 and RO-1 Districts.

D. Tables, chairs, benches and umbrellas used or to be used in the patio area must conform to such design criteria and are subject to prior approval of the Planning Commission.

E. The department of public safety shall review the site plan for traffic and pedestrian safety concerns and report to the Commission prior to any approval of such plan being granted.

Findings: N/A at this time. The site plan indicates new patio areas along the southern and eastern property lines. It is not yet known whether these patio areas will be used for the sale and service of food and beverages (tenant dependent). Should the outdoor patio areas be used in the future, site plan review and approval by the Planning Commission will be required under a separate application.

VERUS RETAIL DEVELOPMENT

20778 MACK AVE, GROSSE POINTE WOODS, MI 48236

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

OWNER

VERUS DEVELOPMENT GROUP
950 S. OLD WOODWARD AVE, SUITE
220 BIRMINGHAM, MI 48009
(855) 668-3787

CIVIL

STONEFIELD ENGINEERING & DESIGN
555 S OLD WOODWARD AVE SUITE
12L, BIRMINGHAM, MI 48009
(248) 247-1115

PROJECT INFORMATION

PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE RENOVATION AND REDEVELOPMENT OF THE EXISTING RETAIL TENANTS. THE CURRENT STRUCTURE WILL BE REMOVED AND REPLACED WITH NEW MERCANTILE RETAIL TENANT SPACES TOTALING APPROXIMATELY 2,891 SQUARE FEET. ADDITIONALLY, PARCELS 3 AND 4 WILL REMAIN, WITH PLANNED EXTERIOR FINISH UPDATES, WINDOW UPGRADES, AND BUILDING ADDITIONS OF APPROXIMATELY 1,067 SQUARE FEET.

APPLICABLE CODES

2015 MICHIGAN BUILDING CODE (MBC)
2015 MICHIGAN MECHANICAL CODE (MMC)
2018 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSI/ASHRAE/IES 90.1
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC 117.1 - 2009, EXCEPT SECTION 611 & 707

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

MERCANTILE: M
ZONED: C- COMMERCIAL BUSINESS

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE AREA: 12,500 SF PER MBC TABLE 506.2
ACTUAL AREA: 7,200 SF
ALLOWABLE STORIES (HEIGHT): 2 OR 28' MAX
ACTUAL STORIES (HEIGHT): ~20'-00"

CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE: IIIB
-STRUCTURAL FRAME: 0 HOUR
-BEARING WALLS: 0 HOUR
-EXTERIOR NON-BEARING WALLS: 0 HOUR
-INTERIOR NON-BEARING WALLS: 0 HOURS
-OPENING PROTECTIVES AT EXTERIOR WALL: 0 HOURS
-FLOOR CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR
-ROOF CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR

CHAPTER 9 - FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEMS: NOT REQUIRED PER SEC. 903.2.7
FIRE ALARM AND DETECTION SYSTEMS: REQUIRED PER SEC. 907.2.7

CHAPTER 10 - MEANS OF EGRESS

TABLE 1004.1.2 : 7200 /60 GROSS
TOTAL OCCUPANTS: 120

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

A001

DRAWING SEQUENCE NUMBER

DISCIPLINE
DESIGNATOR

G GENERAL
LS LIFE SAFETY
C CIVIL
L LANDSCAPE
S STRUCTURAL
AD ARCHITECTURAL
DEMOLITION
A ARCHITECTURAL
F FINISH INFORMATION

DRAWING TYPE DESIGNATOR

0 GENERAL, LEGENDS
1 PLANS
2 REFLECTED CEILING PLANS
3 EXTERIOR ELEVATIONS
9 DOOR AND WINDOW SCHEDULES AND
DETAILS

SHEET INDEX - GENERAL

DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SITE PLAN APPROVAL	04.01.25
DRAWINGS: 1			

SHEET INDEX - CIVIL

DWG #	DRAWING NAME	ISSUED FOR	DATE
1 OF 1	ALTA LAND SURVEY	SITE PLAN APPROVAL	04.01.25
DRAWINGS: 1			

SHEET INDEX - ARCHITECTURAL DEMOLITION

DWG #	DRAWING NAME	ISSUED FOR	DATE
AD100	ARCHITECTURAL DEMOLITION PLANS	SITE PLAN APPROVAL	04.01.25
DRAWINGS: 1			

SHEET INDEX - ARCHITECTURAL

DWG #	DRAWING NAME	ISSUED FOR	DATE
A010	SITE PLAN	SITE PLAN APPROVAL	04.01.25
A110	FIRST LEVEL CONSTRUCTION PLAN	SITE PLAN APPROVAL	04.01.25
A301	EXTERIOR ELEVATIONS	SITE PLAN APPROVAL	04.01.25
DRAWINGS: 3			

NOTE:

THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SYMBOL LEGEND

1
A101
ENLARGED CALLOUT TAG

1
A101
INTERIOR ELEVATION TAG

1
A101
EXTERIOR ELEVATION TAG

DETAIL NUMBER

VIEW TITLE

Name

SCALE: X/X" = 1'-0"

VIEW SCALE

SHEET NUMBER

ROOM NAME

ROOM TAG

101

FLOOR NAME

ELEV. 100'-0"

DATUM WORKPOINT

1
COLUMN GRIDS

NUMBERS DESIGNATE VERTICAL COLUMN LINES

LETTERS DESIGNATE HORIZONTAL COLUMN LINES

SQUARE DESIGNATE EXISTING COLUMN GRID

DOOR TAGS

NEW DOOR TAG DESIGNATION

EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)

PARTITION TAG

KEYNOTE TAG

EQUIPMENT TAG

SHEET REF FOR DRAWING CONTINUATION

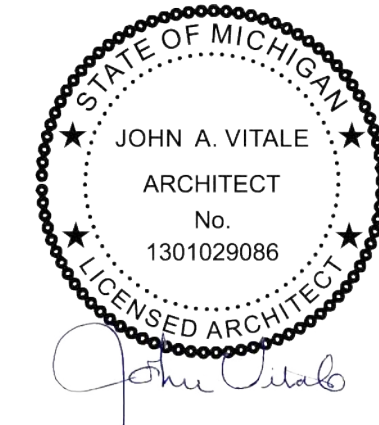
ZONE B MATCH LINE

ZONE A

ABBREVIATION LEGEND

& L @	AND ANGLE AT	¢ or ¢ Ø ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM.	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BLK'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR.	CLEAR	REQ'D	REQUIRED
COL.	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CABINET	SHEET	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SQ	SQUARE
D.F.	DRINKING FOUNTAIN	ST STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
EL	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXP.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.SK.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FE	FIRE EXTINGUISHER	VERT.	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FL	FLOOR	W	WIDTH
F.O.	FACE OF	W/	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FPRF	FIREPROOF	W.C.	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	W/O	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCT.	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
G.A.	GAUGE		
GAL.V.	GALVANIZED		
G.B.	GRAB BAR		
GFR.C.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYPSUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JOINT	JOINT		
KIT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LIGHT	LIGHT		
LVT	LUXURY VINYL TILE		
LT	LIGHT		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LIGHT	LIGHT		
LVT	LUXURY VINYL TILE		
LT	LIGHT		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		

Seal:

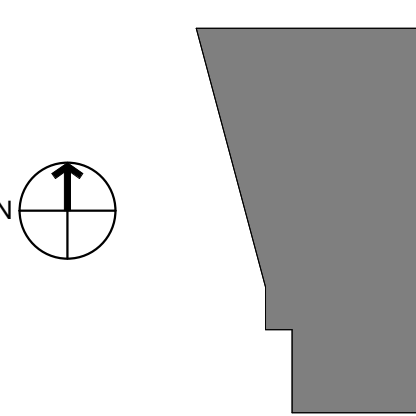


Project :

VERUS RETAIL
DEVELOPMENT

20778 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Key Plan:



Issued for

SITE PLAN
APPROVAL

05.28.25

Drawn by :

sva

Checked by :

JAV, MJB, AJD

Sheet Title :

COVER SHEET, GENERAL
INFORMATION, DRAWING INDEX

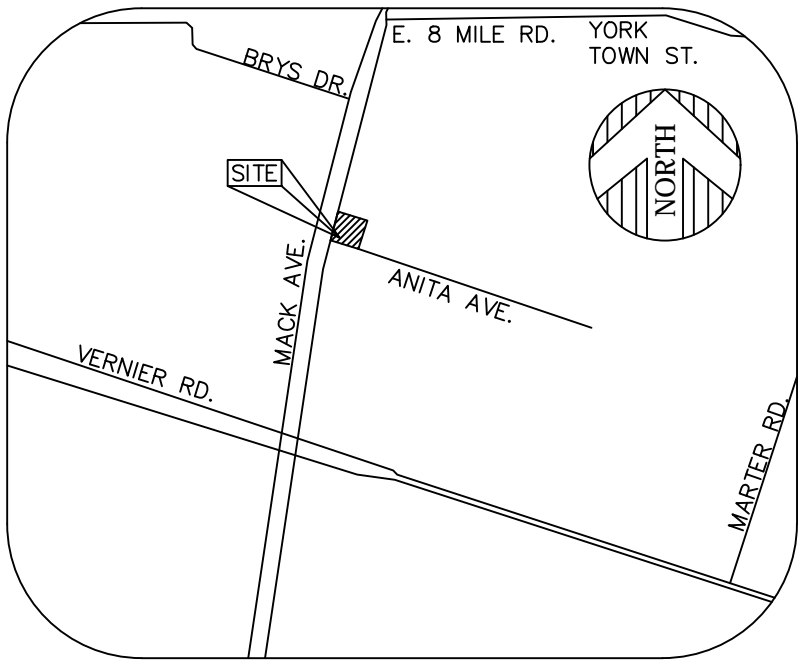
Project No. :

2024.073

Sheet No. :

G001





VICINITY MAP
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 0 STALLS
STANDARD PARKING = 11 STALLS

PARCEL AREA

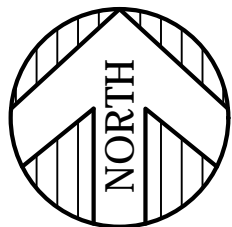
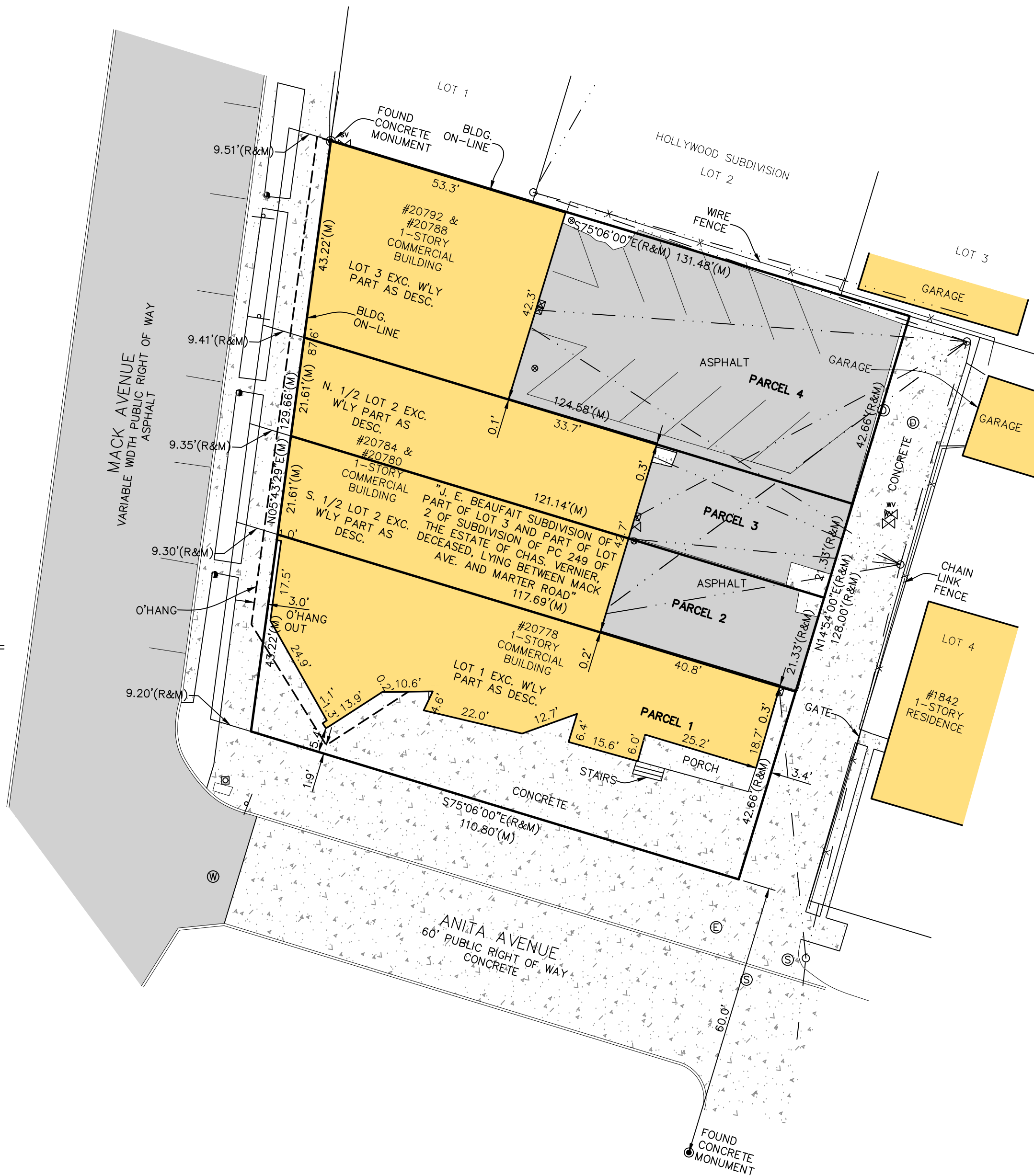
PARCEL 1:
4,874± SQUARE FEET = 0.112± ACRES
PARCEL 2:
2,548± SQUARE FEET = 0.059± ACRES
PARCEL 3:
2,621± SQUARE FEET = 0.060± ACRES
PARCEL 4:
5,463± SQUARE FEET = 0.125± ACRES
TOTAL:
15,506± SQUARE FEET = 0.356± ACRES

BASIS OF BEARING

SOUTH 75°06'00" EAST, BEING THE NORTHERLY RIGHT
OF WAY LINE OF ANITA AVENUE, AS PLATTED.

LEGEND

●	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
⊙	ELECTRIC MANHOLE
⊗	ELECTRIC METER
⊕	UTILITY POLE
⊖	GAS METER
⊗	GAS VALVE
⊕	CLEANOUT
⊖	SANITARY MANHOLE
⊗	WATER GATE MANHOLE
⊕	WATER VALVE
⊖	PARKING METER
⊗	SINGLE POST SIGN
—	PARCEL BOUNDARY LINE
—	PLATTED LOT LINE
—	ADJOINER PARCEL LINE
—	SECTION LINE
- - -	EASEMENT (AS NOTED)
- - -	EASEMENT CENTERLINE
—	RIGHT-OF-WAY
—	BUILDING
- - -	BUILDING OVERHANG
—	CENTERLINE ROAD
—	CONCRETE CURB
—	PARKING
—	EDGE OF CONCRETE (CONC.)
—	EDGE OF ASPHALT (ASPH.)
—	FENCE (AS NOTED)
—	OVERHEAD UTILITY LINE
—	GAS LINE
■	BUILDING AREA
■	ASPHALT
■	CONCRETE



GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

PROPERTY DESCRIPTION

THE LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

PARCEL 1:
LOT 1, EXCEPT THE WESTERLY PART THEREOF MEASURING 9.20 FEET ON THE SOUTHERLY LOT LINE AND 9.30 FEET ON THE NORTHERLY LOT LINE, OF "J. E. BEAUFIT SUBDIVISION OF PART OF LOT 3 AND PART OF LOT 2 OF SUBDIVISION OF PC 249 OF THE ESTATE OF CHAS. VERNIER, DECEASED, LYING BETWEEN MACK AVE. AND MARDER ROAD", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 41, PAGE(S) 59 OF PLATS, WAYNE COUNTY RECORDS.

PARCEL 2:
THE SOUTH 1/2 OF LOT 2, EXCEPT THE WESTERLY PART THEREOF MEASURING 9.30 FEET ON THE SOUTHERLY LOT LINE AND 9.35 FEET ON THE NORTHERLY LOT LINE, OF "J. E. BEAUFIT SUBDIVISION OF PART OF LOT 3 AND PART OF LOT 2 OF SUBDIVISION OF PC 249 OF THE ESTATE OF CHAS. VERNIER, DECEASED, LYING BETWEEN MACK AVE. AND MARDER ROAD", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 41, PAGE(S) 59 OF PLATS, WAYNE COUNTY RECORDS.

PARCEL 3:
THE NORTH 1/2 OF LOT 2, EXCEPT THE WESTERLY PART THEREOF MEASURING 9.41 FEET ON THE NORTHERLY LOT LINE AND 9.35 FEET ON THE SOUTHERLY LOT LINE, OF "J. E. BEAUFIT SUBDIVISION OF PART OF LOT 3 AND PART OF LOT 2 OF SUBDIVISION OF PC 249 OF THE ESTATE OF CHAS. VERNIER, DECEASED, LYING BETWEEN MACK AVE. AND MARDER ROAD", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 41, PAGE(S) 59 OF PLATS, WAYNE COUNTY RECORDS.

PARCEL 4:
LOT 3, EXCEPT THE WESTERLY PART THEREOF MEASURING 9.41 FEET ON THE SOUTHERLY LOT LINE AND 9.51 FEET ON THE NORTHERLY LOT LINE, OF "J. E. BEAUFIT SUBDIVISION OF PART OF LOT 3 AND PART OF LOT 2 OF SUBDIVISION OF PC 249 OF THE ESTATE OF CHAS. VERNIER, DECEASED, LYING BETWEEN MACK AVE. AND MARDER ROAD", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 41, PAGE(S) 59 OF PLATS, WAYNE COUNTY RECORDS.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE TWENTY-TWO TITLE, LLC COMMITMENT No. TT401508, DATED NOVEMBER 12, 2021, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

(NO SPECIFIC EASEMENTS LISTED)

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

SURVEYOR'S CERTIFICATION

TO VERUS DEVELOPMENT GROUP LLC; VDG GROSSE POINTE, LLC; TWENTY-TWO TITLE, LLC; AND WESTCOR LAND TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 01/07/22.

DATE OF PLAT OR MAP: 01/19/22

Anthony T. Sycko, Jr.

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com



ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR: VERUS DEVELOPMENT GROUP
20778-20792 MACK AVENUE,
GROSSE POINTE WOODS, MICHIGAN,
PART OF PRIVATE CLAIM 249

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DRAWN BY:	NPH	01/17/22
CHECKED BY:	ATS	01/19/22
DATE:	JANUARY 19, 2022	
PROJECT NO:	22-00002	SCALE: 1" = 20'

KEYNOTE - DEMOLITION LEGEND	
KEYNOTE	KEYNOTE DESCRIPTION

- DEMOLITION PLAN NOTES**
- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
 - COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
 - ALL WALLS, DOORS, FRAMES, AND RELATED HARDWARE ASSEMBLIES DESIGNATED AS "TO BE REMOVED" (SHOWN AS DASHED LINES) SHALL BE COMPLETELY REMOVED AND DISPOSED OF AS DESIGNATED BY OWNER/TENANT. ALL EXISTING WALLS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE AND REMAIN "AS-IS".
 - IN OCCUPIED BUILDINGS, ANY CONSTRUCTION BEYOND 48 HOURS MUST BE ISOLATED WITH HARD BARRIER WALL (1 HR. RATED), PER BUILDING CODE 1 HOUR FIRE RATED PLASTIC BARRIER MAY BE USED, VERIFY WITH LOCAL AHJ. PROVIDE ANY/ALL DUST CONTROL AND INFECTION CONTROL MEASURES TO ISOLATE ALL WORK TO PROJECT AREA.
 - PHASED CONSTRUCTION MAY BE REQUIRED. FINAL NUMBER OF PHASES TBD BY OWNER/ARCHITECT/ GC PRIOR TO CONSTRUCTION. CONTRACTOR PROVIDE ANY/ALL TEMP. CONSTRUCTION MEASURES AS REQUIRED BY LOCAL AHJ (EXIT SIGNS, EMERGENCY LIGHTING, CONSTRUCTION LIGHTING, EGRESS SIGNAGE, ETC.)
 - ALL EQUIPMENT, DOORS, FRAMES, RELATED HARDWARE, AND DESIGNATED ITEMS TO BE SALVAGED SHALL BE REMOVED, PROTECTED FROM DAMAGE, AND STORED FOR REUSE.
 - CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
 - ALL DEMOLITION WORK SHALL BE PERFORMED IN A NEAT AND WORKMANSHIP MANNER. ALL SURFACES ADJACENT TO AND ABUTTING TO THOSE DESIGNATED "TO BE REMOVED" SHALL BE LEFT WITH A SMOOTH AND FLUSH APPEARANCE.
 - THE CONTRACTOR SHALL EXERCISE ALL REQUISITE CARE NECESSARY TO ENSURE THAT ALL EQUIPMENT, MATERIALS, FINISHES AND ASSEMBLIES WHICH ARE NOT BEING REMOVED ARE PROTECTED FROM DAMAGE DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION OPERATIONS.
 - REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION.
 - GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM.
 - THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH OWNER TO ENSURE THAT IMPACTS ON THE BALANCE OF THE BUILDING ARE HELD TO A MINIMUM.
 - PREPARE ALL SURFACES TO RECEIVE THE NEW WORK AND FINISHES OF THE CONTRACT.
 - THE CONTRACTOR SHALL DESIGN, PROVIDE, INSTALL AND MAINTAIN ANY AND ALL TEMPORARY BRACING AS REQUIRED TO ENSURE THE STABILITY OF THE BUILDING ASSEMBLY AND/OR ANY SYSTEMS AND/OR SUB-ASSEMBLIES AND/OR SYSTEMS APPURTENANT THERETO UNTIL SAID ASSEMBLY AND/OR SUB-ASSEMBLIES ARE COMPLETE, SELF-SUPPORTING AND/OR STABLE.

DEMOLITION PLAN LEGEND	
EXISTING	
	EXISTING SMOKE SEPARATION TO REMAIN
	EXISTING 1 HOUR FIRE SEPARATION TO REMAIN
	EXISTING 2 HOUR FIRE SEPARATION TO REMAIN
	EXISTING 3 HOUR FIRE SEPARATION TO REMAIN
	EXISTING METAL STUD PARTITION TO REMAIN
	EXISTING CMU PARTITION TO REMAIN
	EXISTING CONCRETE WALL TO REMAIN
	EXISTING DOOR TO REMAIN,
	AREA NOT IN CONTRACT (NIC)
DEMO	
	DEMO SMOKE SEPARATION
	DEMO 1 HOUR FIRE SEPARATION
	DEMO 2 HOUR FIRE SEPARATION
	DEMO 3 HOUR FIRE SEPARATION
	DEMO METAL STUD PARTITION
	DEMO CMU PARTITION
	DEMO CONCRETE WALL
	DEMO DOOR



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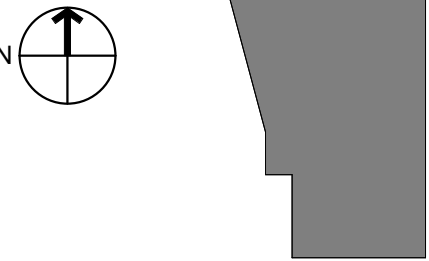
Seal:



Project :
VERUS RETAIL DEVELOPMENT

20778 MACK AVE,
GROSSE POINTE WOODS, MI 48236

Key Plan:



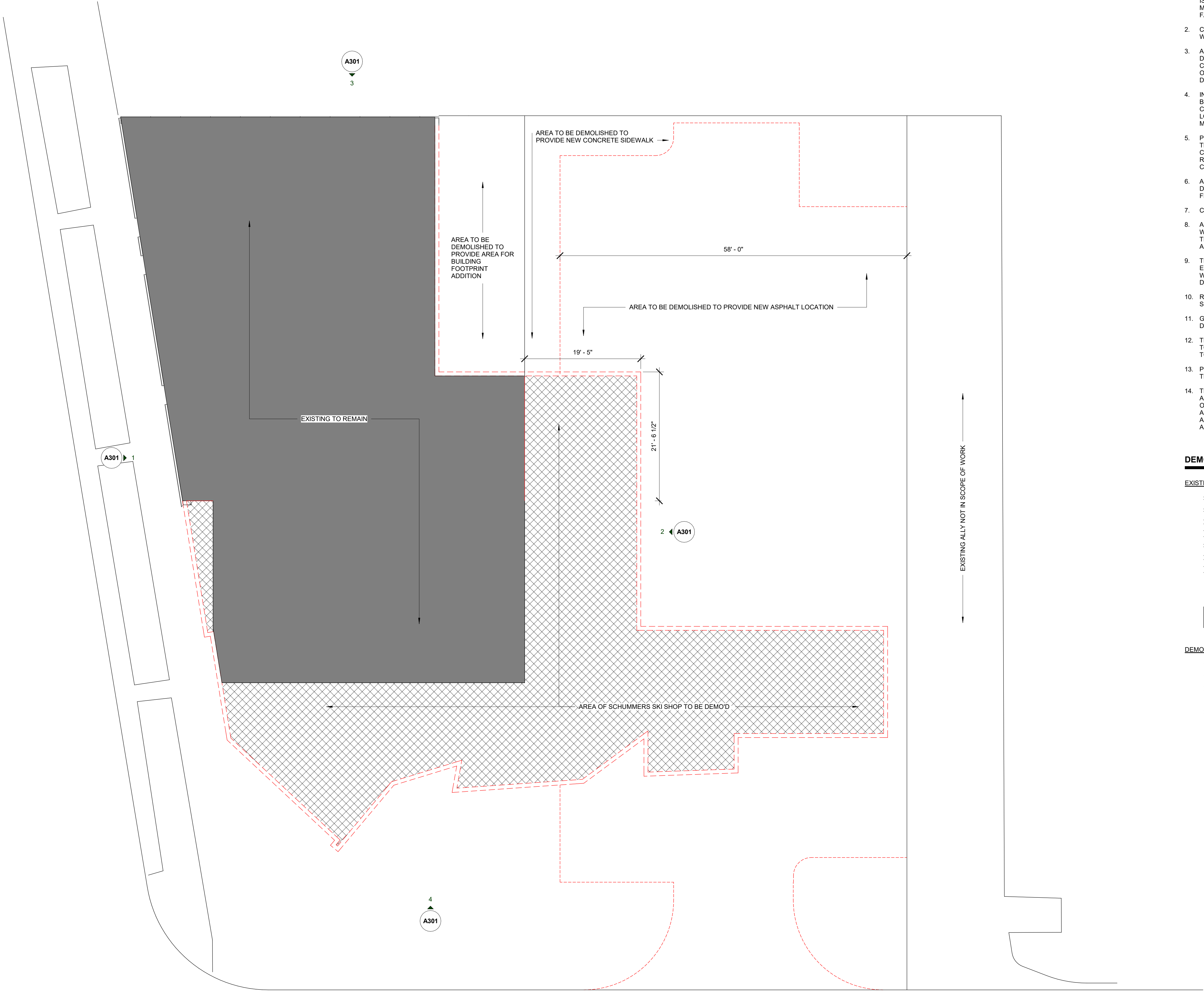
Issued for
SITE PLAN APPROVAL
05.28.25

Drawn by :
SVA
Checked by :
JAV, MJB, AJD
Sheet Title :
ARCHITECTURAL DEMOLITION PLANS

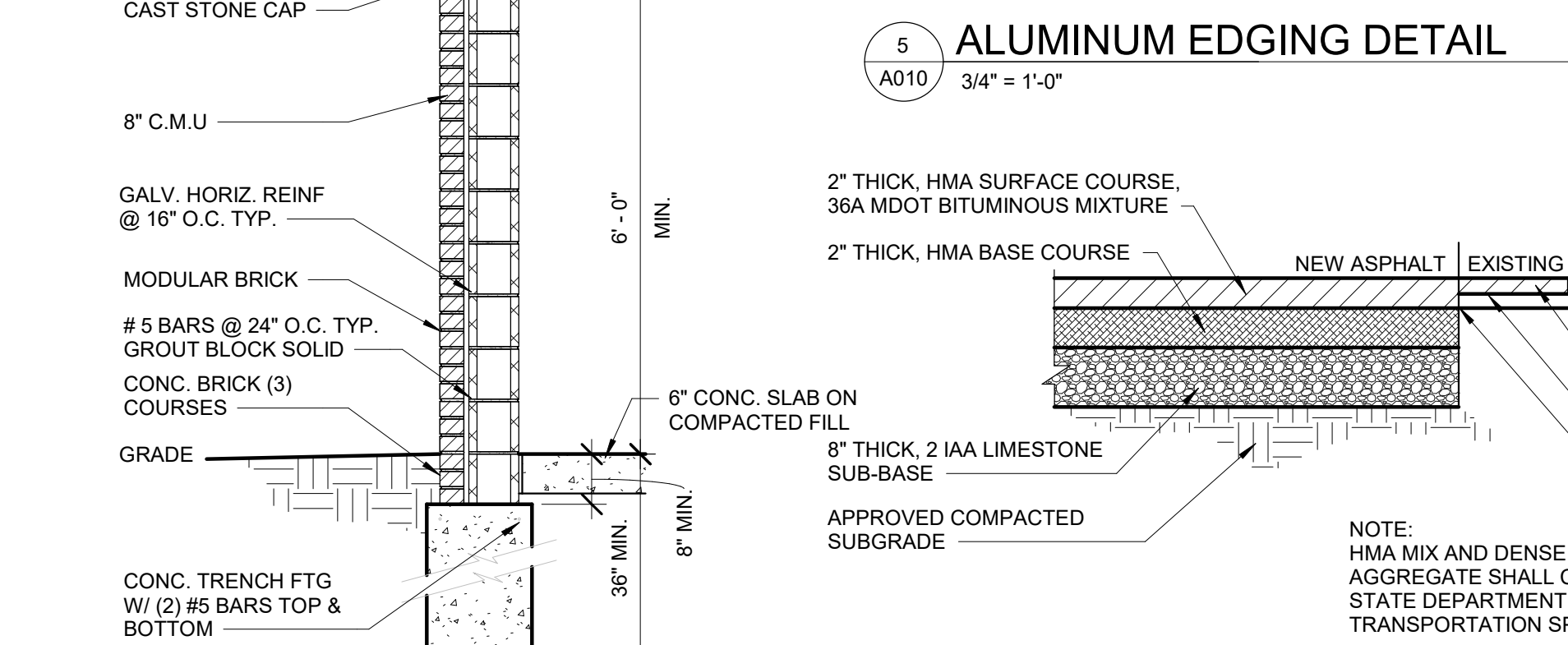
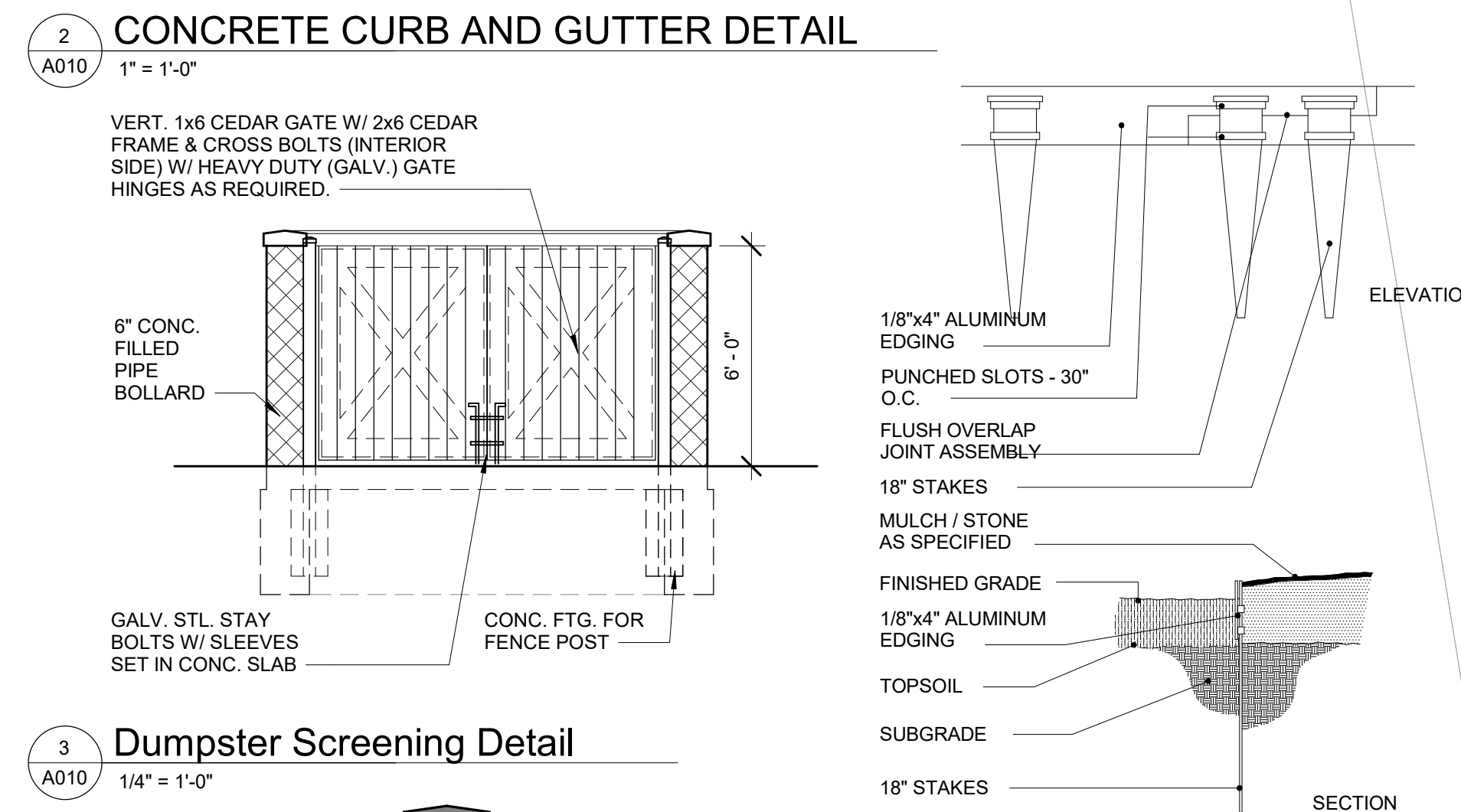
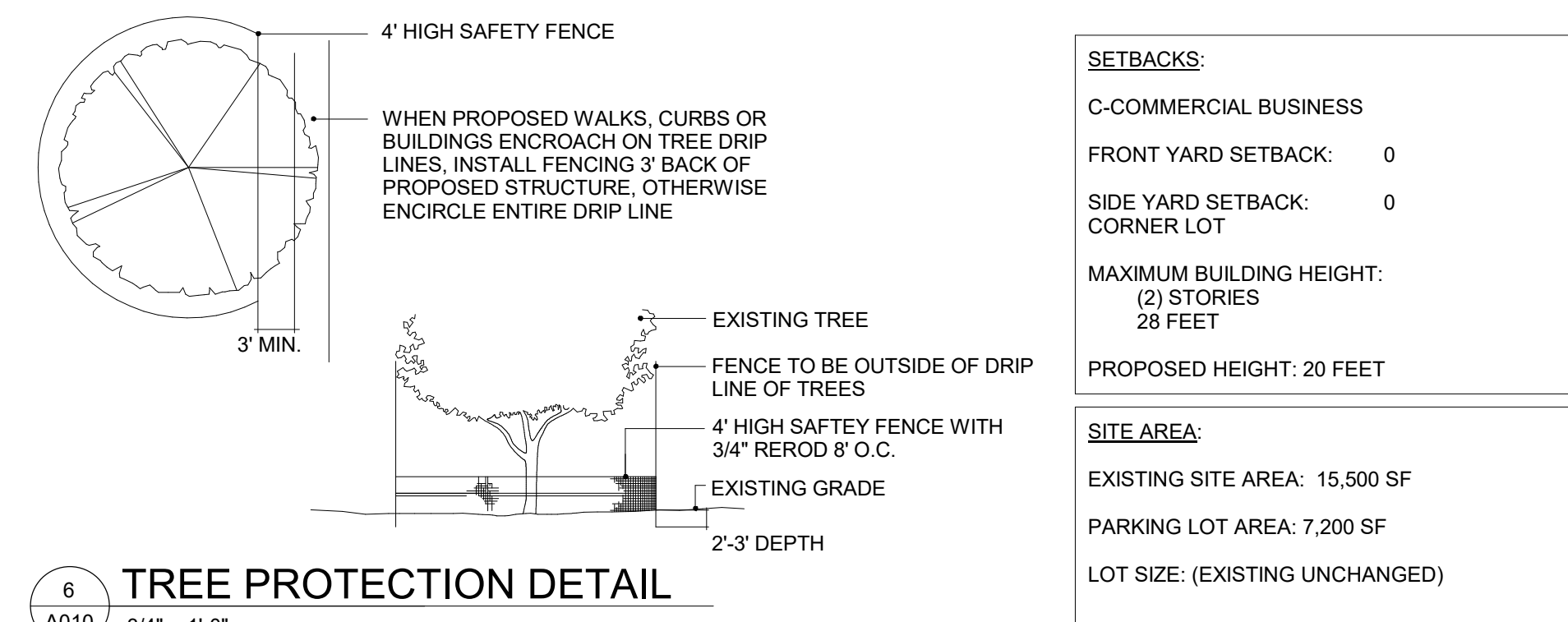
Project No. :
2024.073

Sheet No. :
AD100

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LEGAL DESCRIPTION
LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
WDM1A LOT 1, EXCEPT THE WESTERLY PART THEREOF MEASURING 9.20 FEET ON THE SOUTHERLY LOT LINE AND 9.30 FEET ON THE NORTHERLY LOT LINE, J E BEAUFIT SUBDIVISION, PART OF PRIVATE CLAIM 249, LIBER 41, PAGE 59, WAYNE COUNTY RECORDS, K 47.26.



PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
7,200 SF	RETAIL	200 SF	36

Parking Schedule	Count
24	

* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space.

* 6 METERED PARKING SPACES MACK AVE. (NOT INCLUDED)
* NOTE: MUNICIPAL LOT LOCATED APPROX. 140' FROM SITE ACROSS MACK AVE. EXISTING CROSSWALKS AVAILABLE.

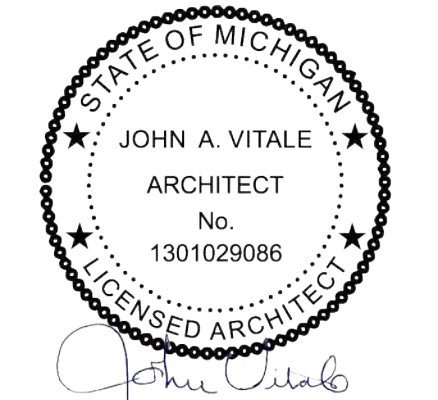
- DEMOLITION SCOPE:**
- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
 - EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
 - GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
 - REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
 - REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP



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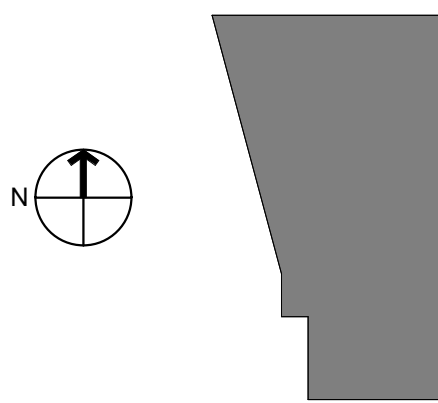
Seal:



Project :
VERUS RETAIL DEVELOPMENT

20778 MACK AVE,
GROSSE POINTE WOODS, MI 48236

Key Plan:



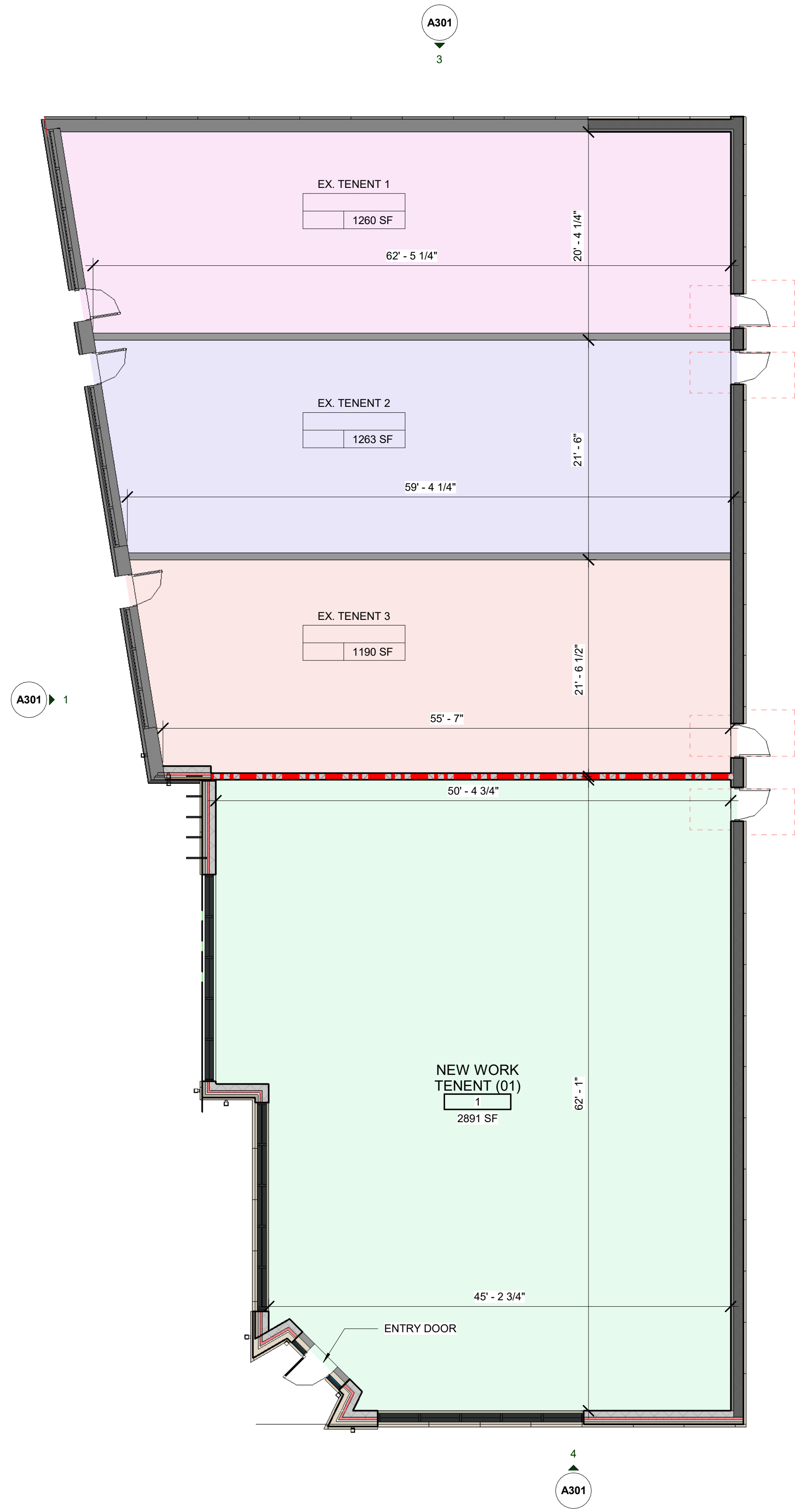
Issued for	
OWNER REVIEW	05.10.24
UPDATE	05.15.24
UPDATE	05.24.24
OWNER REVIEW	02.13.25
SITE PLAN APPROVAL	04.01.25
SITE PLAN APPROVAL	05.28.25

Drawn by :
JPM
Checked by :
JAV
Sheet Title :
SITE PLAN

Project No. :
2024.073

Sheet No. :
A010

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1 Architectural Floor Plan
A110 1/8" = 1'-0"

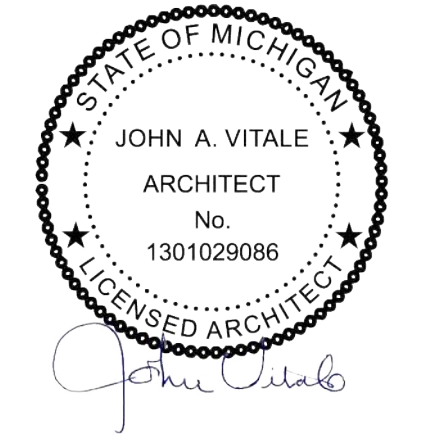


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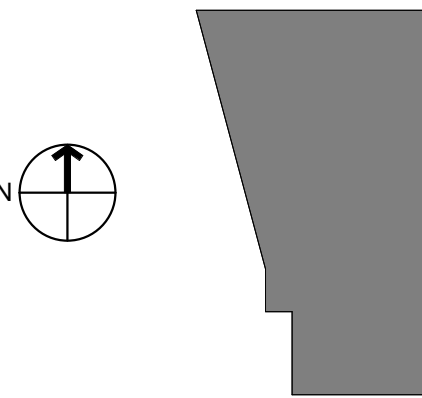
Seal:



Project :
VERUS RETAIL
DEVELOPMENT

20778 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Key Plan:



Issued for
SITE PLAN
APPROVAL 05.28.25

Drawn by :
JGB
Checked by :
AR, JM, JAV
Sheet Title :
FIRST LEVEL CONSTRUCTION
PLAN

Project No. :
2024.073

Sheet No. :
A110

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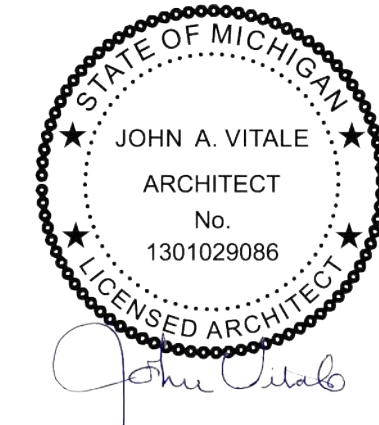


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Seal:



Project :

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WOODS, MI 48236

Key Plan:



Issued for

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APPROVAL

05.28.25

Drawn by :
JGB

Checked by :
AR, JM, JAV

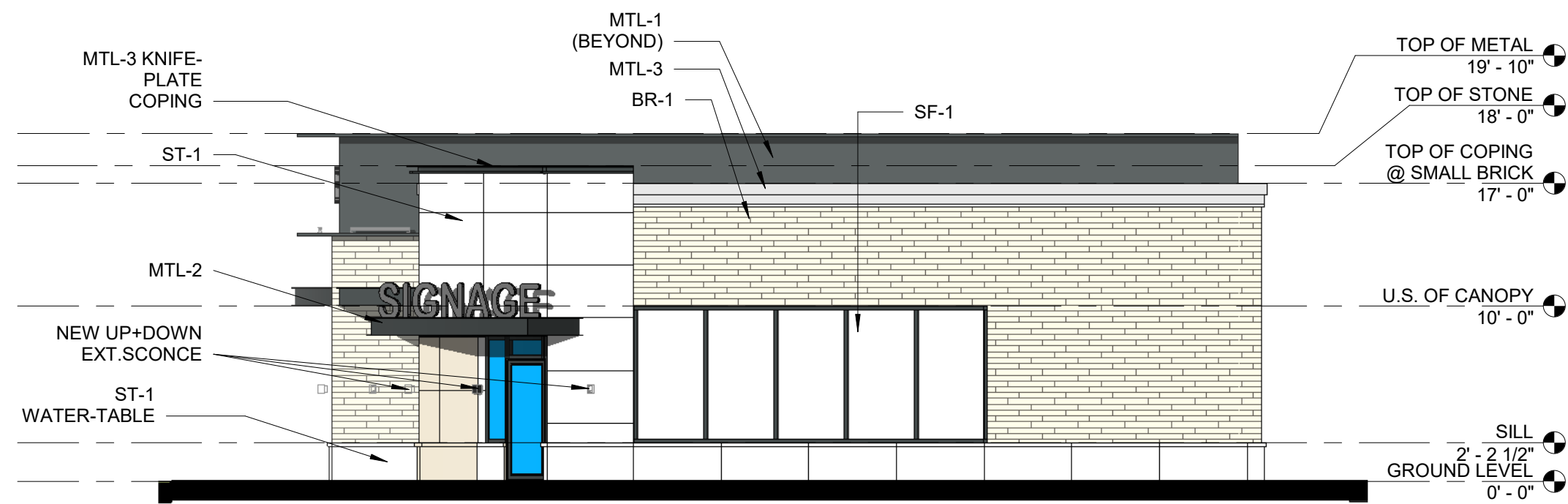
Sheet Title :
EXTERIOR ELEVATIONS

Project No. :

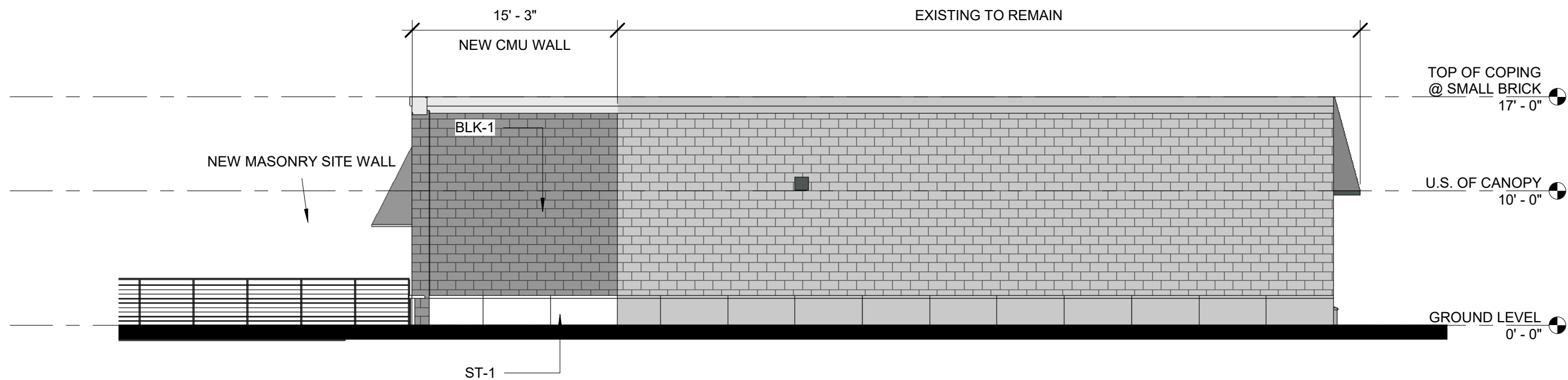
2024.073

Sheet No. :

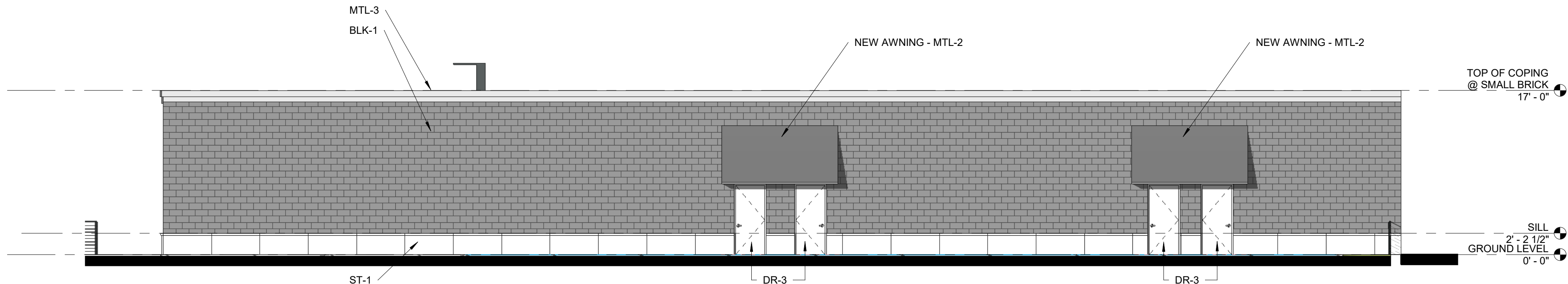
A301



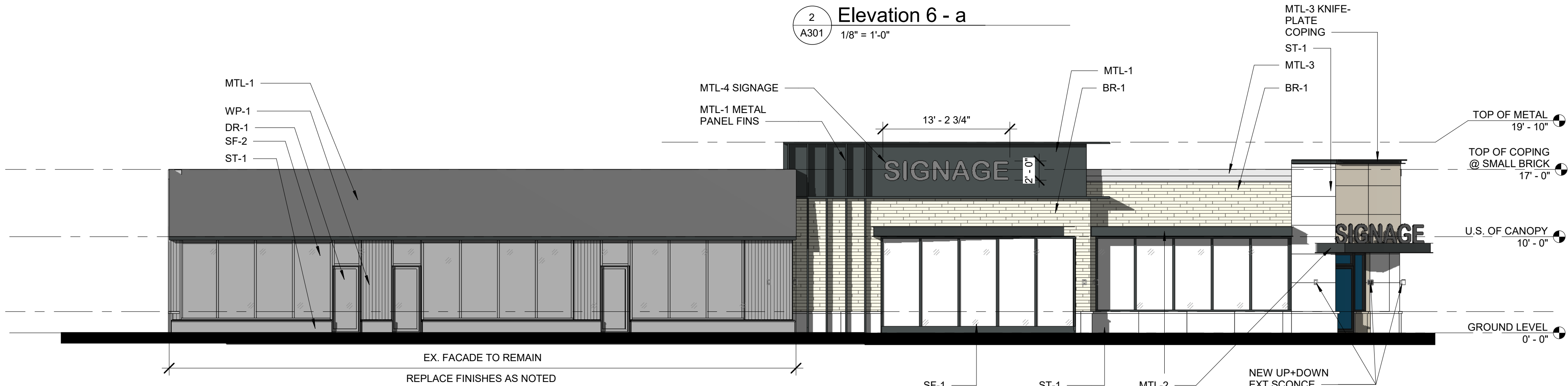
4 Elevation 4 - a
1/8" = 1'-0"



3 Elevation 5 - a
1/8" = 1'-0"



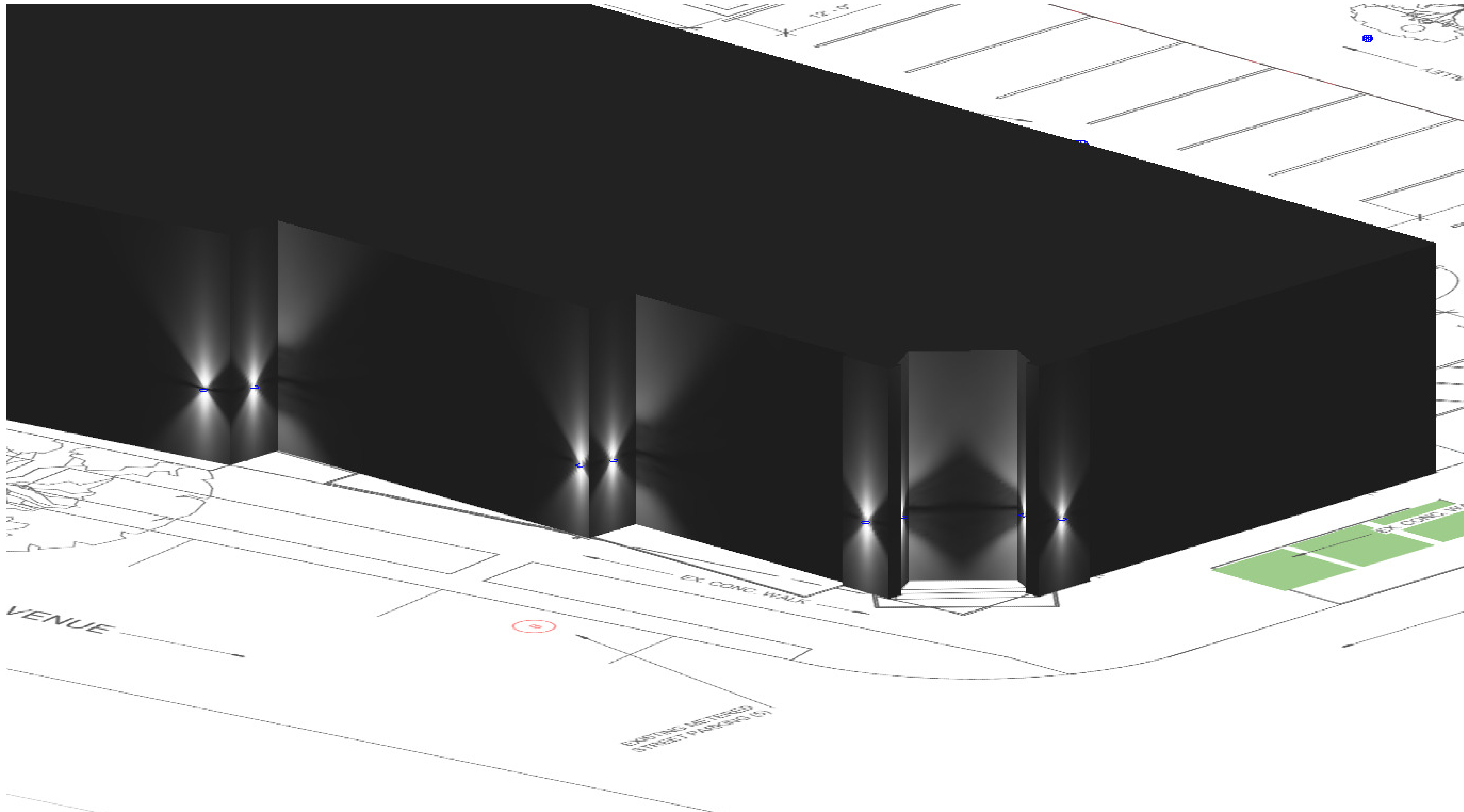
2 Elevation 6 - a
1/8" = 1'-0"



1 Elevation - WEST
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

MASONRY	BR-1	BRICK MFG: BELDEN BRICK COLOR: 8520 COARSE VELOUR SIZE: FACE BRICK - AMBASSADOR - W3 5/8" x H 2 1/4" x L 15 5/8"
	BLK-2	STRUCTURAL CMU MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: Carbon Black Smooth SIZE: MODULAR
WIND.	ST-1	LIMESTONE PANEL VENEER MFG: ROYAL STONE OR APPROVED EQUAL COLOR: STANDARD BUFF OR SIMILAR SIZE: (D) 3 5/8" X (H) 15 5/8" X (L) 23 5/8"
	SF-1	STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: DARK ANODIZED ALUMINUM SIZE: 2" X 10 1/2"
DOORS	SF-2	ALUMINUM ENTRANCE DOOR SYSTEM MFG: KAWNEER OR APPROVED EQUAL STYLE: 2" X 8" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
	DR-1	STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: DARK ANODIZED ALUMINUM SIZE: 2" X 10 1/2"
GLASS	DR-2	ALUMINUM SLIDING ENTRANCE DOOR MFG: KAWNEER OR APPROVED EQUAL STYLE: AA3200 OR SIMILAR COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
	DR-3	HOLLOW METAL DOOR MFG: STYLE: 2" X 4 1/2" COLOR: PAINT TO MATCH ADJACENT
GLASS	GL-1	ALL GLASS TO BE: 1", LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
	GL-2	ALL GLASS TO BE: 1", LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
MISC.	TR-1	TRIM & COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	CPS-1	COMPOSITE PANEL SIDING MFG: TBD OR APPROVED EQUAL COLOR: TBD OR SIMILAR SIZE: XX" x X'-X" PANELS
MISC.	CPS-2	COMPOSITE PANEL SIDING MFG: TBD OR APPROVED EQUAL COLOR: TBD SIZE: XX" x XX'-X" PANELS
	MTL-1	COMPOSITE METAL PANEL SYSTEM MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD OR SIMILAR
MISC.	MTL-2	COMPOSITE METAL CANOPY MFG: MAPES CANTILEVER CANOPY OR APPROVED EQUAL COLOR: DARK BRONZE
	MTL-3	METAL PARAPET MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD OR SIMILAR



Building Facade



July 16, 2025

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: RO-1 to C Rezoning Request for 20160 Mack Avenue

Parcel ID: 40-009-01-0001-000

Rezoning Review

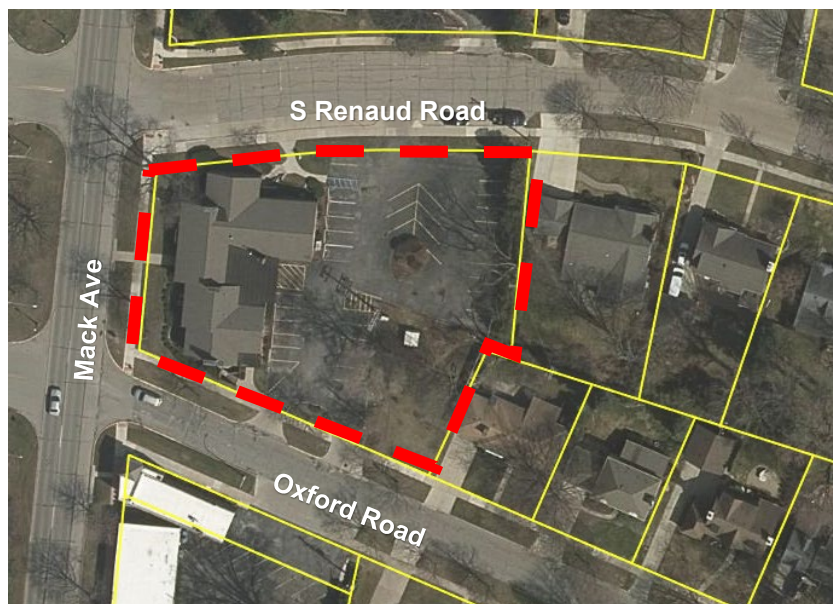
Existing Zoning: RO-1, Restricted Office District

Proposed Zoning: C, Commercial Business

Dear Commissioners,

Over the past several months, the Planning Commission and the City Council have reviewed and considered the application for the Rezoning of 20160 Mack Avenue. John Vitale (the “Applicant”) requests a rezoning for 20160 Mack Avenue (the “Site”) from the RO-1, Restricted Office district to C, Commercial Business district. The site contains an existing one-story office structure and surface parking lot, and the Applicant wishes to re-develop the site for commercial purposes.

At the April 27th Planning Commission Meeting, following a Public Hearing on the rezoning of 20160 Mack Avenue, a motion was made to recommend to City Council the rezoning of 20160 Mack Avenue. At the May 19th, 2025 City Council Meeting, following another Public Hearing on the rezoning of 20160 Mack Avenue, a motion was made to return the matter to the Planning Commission for further consideration.





RECOMMENDATIONS

Based on alignment of this request with the 2024 Master Plan as well as its compatibility with the architectural and environmental features and economic needs of the corridor, we recommend the Planning Commission consider the following motion:

I move to recommend to City Council the approval of the proposed rezoning at 20160 Mack Avenue (Parcel ID 40-009-01-0001-000) from the RO-1, Restricted Office District to the C, Commercial Business District.

Respectfully submitted,

McKENNA

Ashley Jankowski, AICP
Associate Planner

Alicia Warren
Associate Planner



Rezoning Review

SUMMARY OF REQUEST

On March 14th, 2025, Stucky Vitale submitted an application on behalf of Buccellato Development LLC for the rezoning of 20160 Mack Avenue from Restricted Office (R-O) to Commercial Business (C). The site is located on Mack Avenue between Oxford Road and S. Renaud Road. The site contains an existing one-story medical office structure and surface parking lot, and the Applicant initially submitted a site plan to re-develop the site into a single-story, multi-tenant retail space. **Note that following a Neighborhood Meeting, a Committee of the Whole Meeting, as well as public feedback shared by residents during Public Hearings, Public Comment periods, and through additional communications, the initial site plan has since been voluntarily amended to depict updated façade materials, a reduced footprint, additional green space, and to address resident concerns.**

Currently, per Section 50-3.1.L of the Zoning Ordinance, the RO-1 District limits development to professional and medical office uses. On the contrary, per Section 50-3.1.J of the Zoning Ordinance, the C Commercial Business District allows for a much wider range of uses, including retail businesses offices, restaurant, and personal service establishment uses. This wider range of uses has been deemed by the applicant as a more economically feasible use of the property, and as a means to continue to strengthen the vibrancy and walkability of the Mack Avenue corridor.

Note that while the Site Plan indicates outdoor café seating, specific tenants of the proposed commercial site have not been identified. However, within the Commercial Business (C) District, Fast-Food and Carry-Out Restaurants, Taverns, liquor stores (among other uses, per Section 50-3.1J. of the Zoning Ordinance) would also require a Special Land Use approval, if these uses were pursued by future tenants. Residents would have the opportunity to weigh in on such uses at that time through another series of Public Hearings.

SUMMARY OF 2024 MASTER PLAN AND FUTURE LAND USE PLAN GOALS

The 2024 Master Plan was adopted in late 2024 after a 2-year planning process, which was informed by community engagement activities including an in-person and online Open House as well as a series of public hearings. During this Master Plan process, community members shared their priorities including desires for an improved Mack Avenue corridor with:

- A diversity of amenities, specifically restaurants, boutiques, retail, and entertainment
- Mixed uses (including residential uses above retail and office spaces)
- Local business support
- Elevated aesthetics and landscaping

The Master Plan also includes a Future Land Use Plan, which offers Strategic recommendations to align the Zoning Map with the goals of 2024 Master Plan. One key change includes developing a new Zoning District category called "Corridor Mixed Use", which is to include "retail, restaurants, personal service establishments, and offices that are adequately buffered from neighborhoods".

During the 2024 Master Plan process, 20160 Mack Avenue was designated for this new Corridor Mixed Use Future Land Use Category, as the City's intention is to allow a greater variety of mixed uses along Mack Avenue. The following chart provides information on existing land use, current zoning, and future land use for this property as well as neighboring properties:



Location	Existing Land Use	Zoning Districts	Future Land Use Designation
Subject Site	Neurology Office	RO-1, Restricted Office	Corridor Mixed Use
North	Bank Office	RO-1, Restricted Office	Corridor Mixed Use
South	Dentist	RO-1, Restricted Office	Corridor Mixed Use
East	Single-Family Residential	R1-D / R1-B, One-Family Residential	Single Family Low Density
West	Orthodontics Office / Fitness Facility / Jewelers	C, Commercial Business	Corridor Mixed Use

1. HARMONY WITH MASTER PLAN

Is the requested rezoning consistent with the goals, policies, and future land use map of the Master Plan? Or, has applicant demonstrated conditions have changed significantly since the Master Plan was developed, and request is demonstrably consistent with the development trends in the area?

Findings: Harmony with the Master Plan is sought through this rezoning. The 2024 Master Plan Future Land Use Map designates this area as *Corridor Mixed Use*, described in the text of the Master Plan as, “This land use designation includes retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City’s C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office”.

2. COMPATIBILITY OF ENVIRONMENTAL FEATURES

Are the site’s physical, geological, hydrological and other environmental features compatible with the host of uses permitted in the proposed zoning district, especially for sites without public utilities?

Findings: Given the off-street parking lot, the site’s physical features are conducive to uses permitted in the C, Commercial District. While this is not required by the Ordinance, the applicant has recently reduced the proposed building’s square footage to reduce the amount of parking and to provide for greater green space.

There is not any known physical, geological, hydrological, or other environmental features that would inhibit commercial retail uses at this site.

3. COMPATIBILITY WITH SURROUNDING USES

Are all of the potential uses allowed in the proposed zoning district compatible with surrounding uses in terms of land suitability, density of use, environmental impacts, nature of use, traffic impacts, aesthetics, infrastructure and maintenance of property values.

Findings: The site fronts Mack Avenue, which consists of commercial uses; however, most properties surrounding the parcel are office uses. Immediately east are single-family residential districts with an R-1B and R-1D, One-Family Residential classification. Across Mack Avenue to the west is a mile-plus corridor of largely



single-story commercial storefronts. The 2024 Master Plan and Future Land Use Plan recommend rezoning the adjacent RO-1, Restricted Office district properties to the C, Commercial Business district for more commercial business type uses.

Commercial uses on the site will generate more traffic than the current office use. The required off-street parking spaces include one space per 200 square feet of retail space, which totals 46 spaces for the proposed 9,152 square feet of retail space. Currently as proposed, this parking minimum is exceeded for the site. Curb cuts exist along Oxford Rd and S Renaud Road, and local infrastructure is suited to accommodate site users.

4. ECONOMIC VIABILITY OF CURRENT ZONING

Has the applicant demonstrated that he/she cannot receive a reasonable return on investment through developing the property with at least one (1) of the uses permitted under the current zoning?

Findings: The subject parcel is in the middle of other adjacent properties zoned RO-1, Restricted Office. The applicant is requesting this rezoning to facilitate re-development for commercial business retail type uses, which would not be allowed within the RO-1 district. The applicant has shared his stance that it is necessary to redevelop the site to include a modern building of higher aesthetic and physical quality to attract tenants and patrons, as a means to enhance the Mack Avenue Corridor.

5. DEMAND FOR PROPOSED USE

Is there evidence of demand for additional land uses permitted in the requested zoning district in relation to the amount of land currently zoned and available to meet the demand?

Findings: The proposed re-development seeks to create three retail spaces, in lieu of the medical office building that the site currently houses. Per the 2024 Master Plan and the community engagement carried out to inform this Plan, there is demand for diverse amenities and commercial retail along the Mack Avenue corridor in Grosse Pointe Woods, and demand to promote walkability.

6. EXCLUSIONARY ZONING

Is the rezoning necessary to avoid exclusion of a lawful land use?

Findings: No, the C, Commercial Business zoning classification exists in other portions of the City. This rezoning is not necessary to avoid exclusion of a lawful land use.

7. DESIRABLE ZONING POLICY TREND

Is the rezoning establishing a desirable zoning trend policy for similar or identical lands?

Findings: This rezoning may create a desirable zoning trend along the Mack Avenue Corridor for similarly situated parcels of land, and this rezoning is in line with the zoning intentions of the Future Land Use plan. A majority of parcels that front Mack Avenue are zoned C, Commercial Business, however this parcel is currently adjacent to five contiguous parcels zoned RO-1, Restricted Office.

8. HARMONY WITH DIMENSIONAL REQUIREMENTS

Are the boundaries of the requested rezoning reasonable in relationship to surroundings and ability to meet the dimensional regulations in the zoning ordinance?



Findings: If the site is rezoned and re-developed to C, the proposed structure seemingly meets all dimensional regulations in the zoning ordinance in relation to the adjacent office and residential uses. Further review would be done during the site plan review process.

9. ZONING CORRECTION

Does the requested zoning correct an error in the zoning map? Or zoning text?

Findings: The requested rezoning does not correct an error in the zoning map or zoning text.

10. AVOIDANCE OF SPOT ZONING

Does the requested rezoning avoid creating an isolated and unplanned spot zone? (i.e. does it provide the landowner with privileges not readily available to other landowners in similar circumstances?)

Findings: The requested rezoning would create an isolated zoning designation, and this rezoning would allow the landowner to propose a commercial retail use which is not permitted within the RO-1 district. However, we believe that this rezoning aligns with the spirit of the Future Land Use Plan, which includes consolidating the neighboring RO-1 and C properties into a "Corridor Mixed Use" category. Future Land Use Plans are intended to be implemented incrementally.

11. REQUEST SUBMISSION

Has the request previously been submitted within the past one (1) year? Or have conditions changed or new information been provided?

Findings: No, this request has not been previously submitted within the last year.



MCKENNA

July 16, 2025

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

Subject: 20160 Mack Avenue: Site Plan
Parcel ID: 009-01-0001-000
Site Plan Review #3
Zoning: RO-1, Restricted Office District

Dear Commissioners,

We have reviewed an updated site plan review application submitted by Stucky Vitale Architects on behalf of Buccellato Development LLC. The site is located on Mack Avenue between Oxford and S. Renaud, and is within the City's RO-1, Restricted Office Zoning District.

The Applicant is concurrently pursuing a rezoning of this site to the C, Commercial Business District. This review is completed based on the standards of the C, Commercial Business District, however, this site plan is contingent upon approval of the rezoning by City Council at a future date. The Applicant proposes to demolish the existing building and construct a 9,152 sq. ft. single-story multi-tenant commercial space.



HEADQUARTERS
235 East Main Street
Suite 105
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Recommendation

Based upon general compliance with the City's Zoning Ordinance, it is recommended that site plan approval for 20160 Mack Avenue be granted, contingent that the property is rezoned to the C, Commercial Business District by City Council, and subject to the following conditions:

1. Per Section 50-6.1(G)(7), samples of the proposed building materials are provided to the Planning Commission at their meeting for final review and approval.
2. Lighting intensity and placement is reduced and adjusted on a revised photometric plan.
3. To reach compliance with the screening wall requirements, two options are available to the applicant: (1) reduce the masonry wall height to 4 feet, or (2) submit for and receive a variance for a taller masonry wall.
4. Species for all newly planted trees must be provided in alignment with Section 50-5.19 Greenbelts.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Ashley Jankowski, AICP
Associate Planner

Alicia Warren
Associate Planner



Site Plan Review

We have reviewed the proposal in conformance to the City's Ordinances and offer the following comments. Items that do not comply or require additional information are noted in **bold** and underlined.

1. ZONING DESIGNATIONS

The chart below details the existing land use, current zoning, and future land use designations:

Location	Existing Land Use	Zoning Districts	Future Land Use Designation
Subject Site	Neurology Office	RO-1, Restricted Office	Corridor Mixed Use
North	Bank Office	RO-1, Restricted Office	Corridor Mixed Use
South	Dentist	RO-1, Restricted Office	Corridor Mixed Use
East	Single-Family Residential	R1-D / R1-B, One-Family Residential	Single Family Low Density
West	Orthodontics Office / Fitness Facility / Jewelers	C, Commercial Business	Corridor Mixed Use

The 2024 Master Plan Future Land Use Map designates this site and the immediate surrounding areas to the north, south, and west as Corridor Mixed Use, described in the text of the Master Plan as, "retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City's C, (Commercial) zoning district, P Parking district and some areas zoned RO-1 Restricted Office."

Findings: *Contingent on rezoning approval.* The current zoning of the site is RO-1 (Restricted Office), and the Applicant has applied to rezone the property to C (Commercial Business), which would bring the site in closer compliance with the Future Land Use Plan.

2. DIMENSIONAL REQUIREMENTS

Findings: *Complies.* The table below and on the following page details the required dimensional standards and those that are proposed.

Standard Type	Requirement Details	Required	Existing / Proposed Conditions	Notes
<i>Min. Front Setback (West)</i>	In the Commercial Business District, no front yard is permitted where the property use is for the purposes	0 ft.	0 ft.	Complies



Standard Type	Requirement Details	Required	Existing / Proposed Conditions	Notes
	specified in section 50-4.9 retail businesses and business offices.			
Min. Side Setback (North / South)	In the Commercial Business District, no side yard is required on the street side of corner lots.	0 ft.	0 ft.	Complies
Min. Rear Setback (East)	In the Commercial Business District, rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings.	0 ft.	0 ft.	Complies
Max. Building Height	2 stories, 28 ft.	2 stories, 28 ft.	1 story, 18 ft.	Complies*

**Please note, the proposed building height, at 1-story (18-feet), is significantly less than allowed in both the RO-1 and C Districts.*

Additionally, in this latest revision, the building footprint has decreased to 9,152 square feet. While this is not required by the Ordinance, the applicant has reduced the building's square footage to reduce the amount of parking and to provide for greater green space. Areas of new green space are shown in red outline below:



3. ARCHITECTURE AND BUILDING DESIGN (SEC. 50-5.18)

The Zoning Ordinance's design standards are intended to promote a coordinated and complimentary use of design elements that result in a theme-oriented, harmonious appearance and image for commercial and high intensity residential areas. Per Section 50-5.18, "*New construction, renovations, remodeling, or exterior building alterations in the C, Commercial Business District shall be in conformance with approved design standards.*"

Findings: Complies. The elevations illustrate that the building will be primarily composed of high-quality brick with limestone and marble panel veneer as an accent, with additional glass windows. This will be paired with black aluminum roof trim and metal parapet. A decorative cornice has been added to the roof, and metal canopy and fabric awnings have been proposed over the windows.

The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance.

Per Section 50-6.1(G)(7), the applicant must bring samples of the proposed building materials to the Planning Commission meeting for review and final approval.

4. PARKING AND LOADING (SEC. 50-5.3)

Per Section 50-5.3(H), retail stores require "*one off-street parking space for each 200 square feet of gross floor area.*" In total, 46 parking spaces are required for this site.



Building Square Footage	Number of Off-Street Parking Spaces Required	Number of Off-Street Parking Spaces Provided	Number of Parking Spaces within 500 ft.	Total Parking Spaces Available (on- and off-site) within 500 ft.
9,152 gross sq. ft.	46 parking spaces	36 spaces	17 parking spaces on the East side of Mack Ave.	53 parking spaces (excluding S. Renaud)
			+ 15 parking spaces on S. Renaud	68 parking spaces total (including S. Renaud)

Findings: *Complies.* Per Ordinance 907 and Section 50-5.3 (Off-Street Parking Requirements), “*the off-street parking facilities required for all other uses shall be located on the lot or on property in the city within 500 feet of the permitted use requiring such off-street parking*”. Within 500 feet of the property, the site exceeds the required 46 required off-street parking spaces.

The proposed parking spaces comply with the minimum required dimensions of 9 feet by 19 feet, and a 12 ft. by 50 ft. loading zone is proposed (in compliance).

Lastly, Section 50-5.3(U) requires that parking lots provide traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. These required traffic lane markings are depicted on the plans. This includes markings on the ingress/egress from S. Renaud Road and on Oxford Road, as well as within the parking lot itself, as well as the inclusion of signage to bar turns onto the adjoining residential streets.

5. LANDSCAPING (SEC. 50-6.1)

The Ordinance requires that site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

Findings: *Generally complies; the screening wall height remains an outstanding item.*

Ornamental Wall. When a parking area adjoins a residential property or street, an ornamental masonry wall not less than two feet or more than four feet in height must be erected and maintained between the required yard space and area to be used for parking (except for such portions as are used for entrances and exits).

A 5-foot masonry wall is proposed along the residential property lines, which steps down and is reduced in height towards the southeast property line, to a minimum height of 2 feet. Per the Ordinance, the height of the screening wall must be reduced to 4-feet. However, based on public feedback, it is recommended that the applicant submit a variance application to request the construction of a 5- or 6-foot masonry screen wall to provide greater buffering. Please note, the submission of a variance is entirely dependent on the applicant and is not a requirement of the Ordinance.

To reach compliance with the screening wall, two options are available to the applicant: (1) reduce the masonry wall height to 4 feet, or (2) submit for and receive a variance for a taller masonry wall.

Maintenance. All required walls or landscaped screening must be properly maintained and kept free of debris, signs or any advertising whatsoever. Bumper guards, composed of either a curb at least six inches



high or steel posts 24 inches to 30 inches high and not more than five feet apart set three feet in concrete, must be provided to prevent vehicles from striking the wall or landscaping.

In addition to this ornamental wall screen, concrete bumper guards are indicated on the plan to prevent vehicles from striking the wall.

Landscaping. The Ordinance requires that landscaping, consistent with the quality and character of landscaping on nearby properties, be provided. Visually unattractive structures (e.g., transformers, generators, utility cabinets, mechanical equipment and similar structures or equipment) must be screened with either landscaping, fencing or walls. The Planning Commission may require additional landscaping, fences, or walls in accordance with the standards and intent of this section and Chapter 50, Article 7 - Administration and Enforcement

Landscaping is proposed around the dumpster enclosure with arborvitaes. Ornamental grass and eight junipers are proposed to be landscaping adjacent to roadways. Additionally, planter boxes along the Mack Avenue frontage are proposed to consist of taxi yews.

The site plan also proposes saving three trees along Oxford Road. Four new trees are proposed to be planted on the site: two red maple trees, and two (unnamed) trees along Renaud Road. **Species for all newly planted trees must be provided in alignment with Section 50-5.19 Greenbelts.**

6. SIGNS

Chapter 32 of the City's Code of Ordinance details signage requirements.

Findings: N/A. The plans detail the location of signage areas for speculative tenants that will occupy the units in the future. No signage is proposed at this time. Any future exterior signage must be submitted under separate cover for administrative review and approval of each unit.

7. LIGHTING

The Ordinance requires that exterior lighting be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Findings: Does not comply – revisions necessary. The photometric plan details both parking lot lighting and exterior building mounted lighting. All lighting fixtures are pointed downward and shielded. It is recommended that the lighting at the east property line be arranged so that there is no light that is cast onto adjacent residential properties. Foot candles shall be 0.0 in measurement at the property line. **Lighting intensity and placement must be reduced and adjusted on a revised photometric plan and submitted for review.**

8. TRASH RECEPTACLES

The Ordinance requires that trash receptacles be screened with quality materials that complement the site and adjacent properties.

Findings: Complies. A dumpster enclosure is shown on sheet A1 with the necessary screening and building standards. Additional landscaping is proposed around the dumpster enclosure (i.e., arborvitaes) to further soften the site.



9. OUTDOOR PATIO AREAS

Per Section 50-4.16, outdoor patio areas for the sale and service of food and beverages are permitted in the C, Commercial Business District; provided that:

- A. The sale and service of alcoholic liquors shall be in conformance with the rules of the state liquor control commission (LCC); and*
- B. Such patio areas subject to site plan approval by the Planning Commission. The Commission may reject any site plan found to be located close to residential property where sound levels may be intrusive.*
- C. In granting site plan approval, the Commission may require the installation of a fence or a greenbelt around the patio area, lighting, and in compliance with Section 50-5.18: Design Standards in the C, C-2 and RO-1 Districts.*
- D. Tables, chairs, benches and umbrellas used or to be used in the patio area must conform to such design criteria and are subject to prior approval of the Planning Commission.*
- E. The department of public safety shall review the site plan for traffic and pedestrian safety concerns and report to the Commission prior to any approval of such plan being granted.*

Findings: N/A at this time. The site plan indicates a new patio area along Mack Avenue. It is not yet known whether these patio areas will be used for the sale and service of food and beverages (tenant dependent). Should the outdoor patio areas be used in the future, site plan review and approval by the Planning Commission will be required under a separate application.

RETAIL DEVELOPMENT

20160 Mack Ave, Grosse Pointe Woods, MI 48236

DEVELOPER

BUCCELLATO DEVELOPMENT
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ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

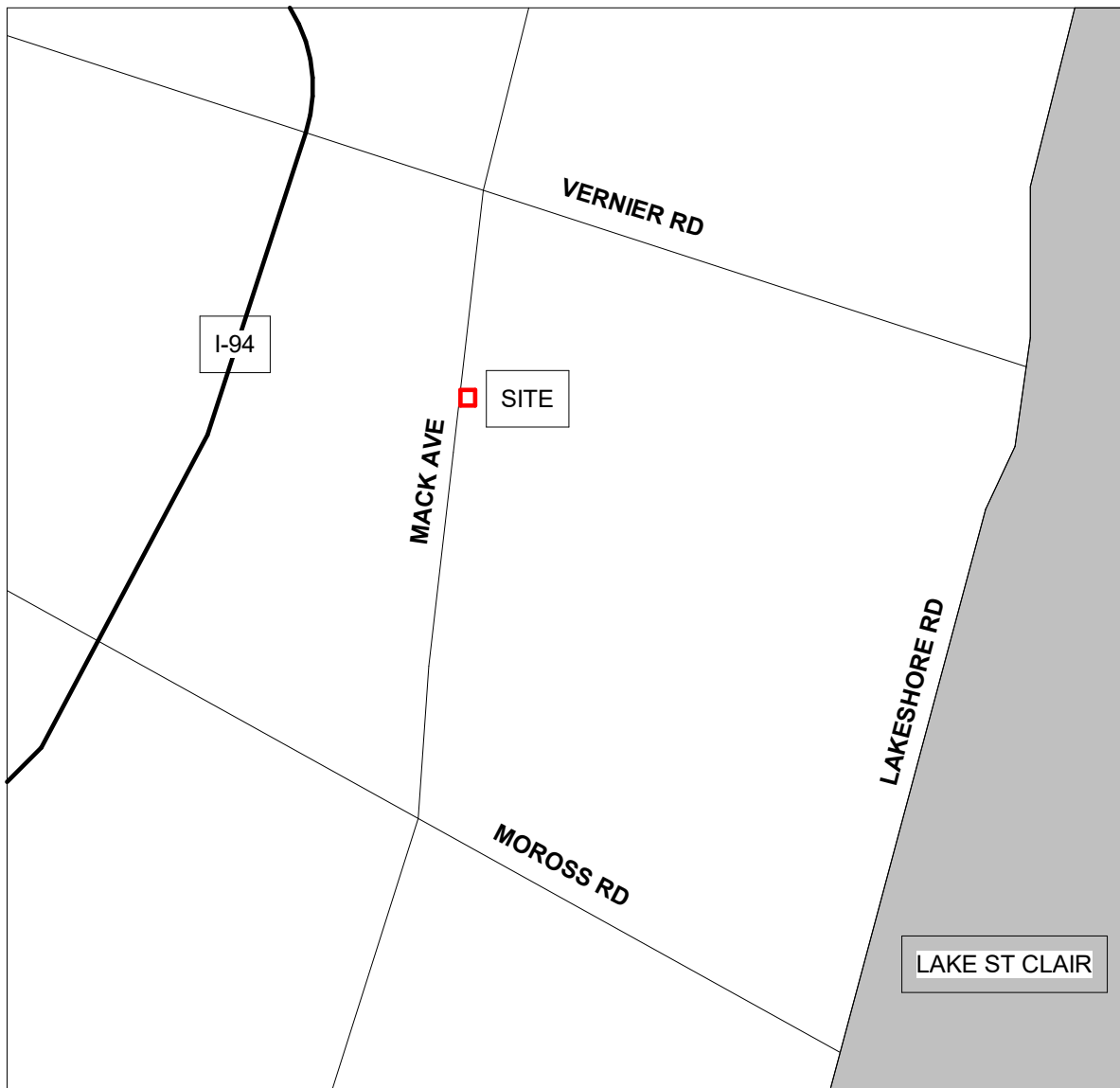
PROJECT DESCRIPTION
RE-DEVELOPMENT OF EXISTING SITE FOR COMMERCIAL USE.

DEMOLITION OF EXISTING STRUCTURE & CONSTRUCTION OF NEW RETAIL DEVELOPMENT.

IMPROVEMENTS TO EXISTING SITE AND PARKING LOT.

SHEET INDEX - GENERAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	CITY SUBMITTAL UPDATE	07.14.25	
DRAWINGS: 1				
SHEET INDEX - ARCHITECTURAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
A1	SITE PLAN + LANDSCAPE PLAN + DETAILS	CITY SUBMITTAL UPDATE	07.14.25	
A2	EXTERIOR ELEVATIONS + RENDERING	CITY SUBMITTAL UPDATE	07.14.25	
A3	FLOOR PLAN	CITY SUBMITTAL UPDATE	07.14.25	
DRAWINGS: 3				
SHEET INDEX - REFERENCE				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
1 OF 1	PHOTOMETRIC PLAN	CITY SUBMITTAL UPDATE	07.14.25	
1 OF 1	ALTAINSPS LAND TITLE SURVEY	CITY SUBMITTAL UPDATE	07.14.25	
DRAWINGS: 2				

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY. CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



VICINITY MAP
SCALE: N.T.S.



CONCEPTUAL RENDERING

SYMBOL LEGEND

1
A101

ENLARGED CALLOUT TAG

A101

INTERIOR ELEVATION TAG

1
A101

EXTERIOR ELEVATION TAG

DETAIL NUMBER

VIEW TITLE

Name

SCALE: X/X" = 1'-0"

VIEW SCALE

SHEET NUMBER

ROOM NAME

ROOM TAG

101

FLOOR NAME

ELEV. 100'-0"

LEVEL REFERENCE

0, 0

DATUM WORKPOINT

1

COLUMN GRIDS

NUMBERS DESIGNATE VERTICAL COLUMN LINES

A

LETTERS DESIGNATE HORIZONTAL COLUMN LINES

A

SQUARE DESIGNATE EXISTING COLUMN GRID

DOOR TAGS

101

NEW DOOR TAG DESIGNATION

EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)

<203-Ys>

PARTITION TAG

XX

KEYNOTE TAG

XX

EQUIPMENT TAG

X / A-XXX

SHEET REF FOR DRAWING CONTINUATION

ZONE B

ZONE A

MATCH LINE

ABBREVIATION LEGEND

& L @	AND ANGLE AT	ø or ∅ ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BL'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR	CLEAR	REQ'D	REQUIRED
COL	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SQ	SQUARE
D.F.	DRINKING FOUNTAIN	ST-STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
EL	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXP.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.S.K.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FIRE EXTINGUISHER	FIRE EXTINGUISHER	VERT.	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FLOOR	FLOOR	W	WIDTH
F.O.	FACE OF	W	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FPRF	FIREPROOF	WC	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCOT	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYPSUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JOINT	JOINT		
KIT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		



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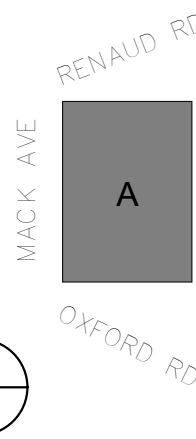
Seal:



Project :
RETAIL DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 03.14.25
CITY SUBMITTAL 05.14.25
UPDATE
CITY SUBMITTAL 07.14.25
UPDATE

Drawn by :
JPM

Checked by :
JAV

Sheet Title :
COVER SHEET, GENERAL
INFORMATION, DRAWING INDEX

Project No. :
2025.018

Sheet No. :
G001

PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
9,152 SF	RETAIL	200 SF	46

NOTE:
ORIGINAL PARKING COUNT = 34 SPACES.
ADDED 11 OFF-STREET PARKING SPACES

Parking Schedule	
Count	* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space
36 OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE.
49 TOTAL	+ 9 PARKING SPACES - S RENAUD RD.

SITE AREA:
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)
PARKING LOT AREA: 16,329 SF
LOT SIZE: (EXISTING UNCHANGED)

SETBACKS:
C-COMMERCIAL BUSINESS
FRONT YARD SETBACK: 0
SIDE YARD SETBACK: 0
CORNER LOT
MAXIMUM BUILDING HEIGHT: (2) STORIES 28 FEET
PROPOSED HEIGHT: 18 FEET

DEMOLITION SCOPE:
1. ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
2. EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
3. GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
4. REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
5. REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP

- GENERAL SITE PLAN NOTES
1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

3. ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

8. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

9. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.

12. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

14. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

15. ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

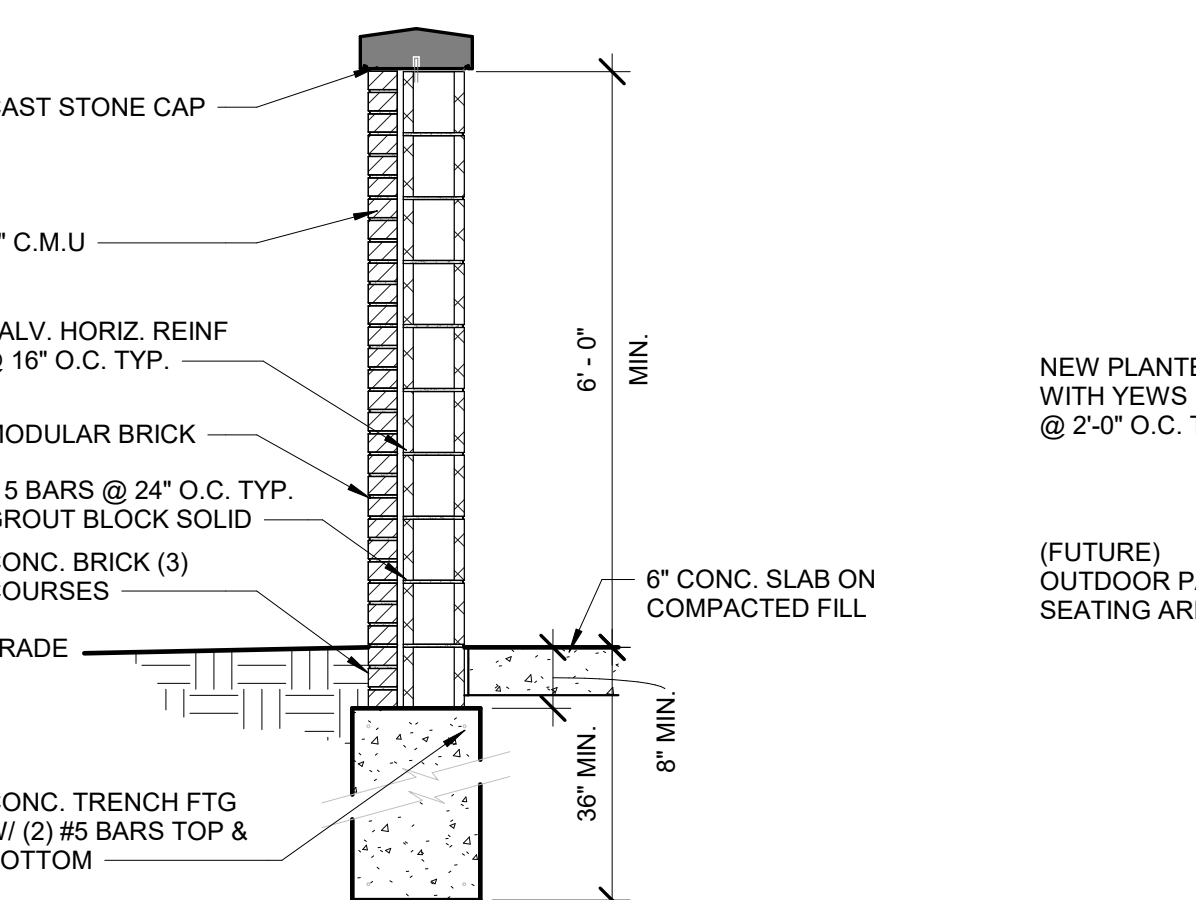
16. FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

17. ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

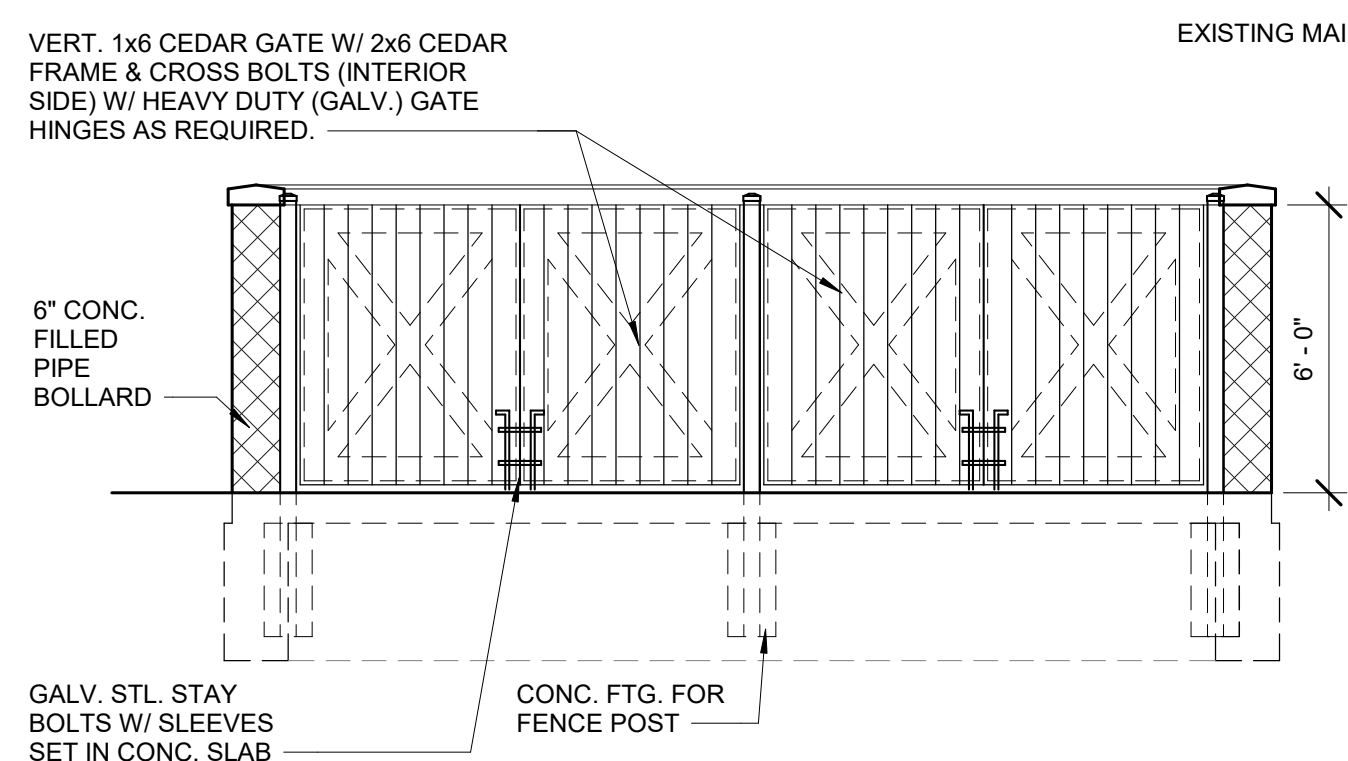
16. MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.

19. EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.

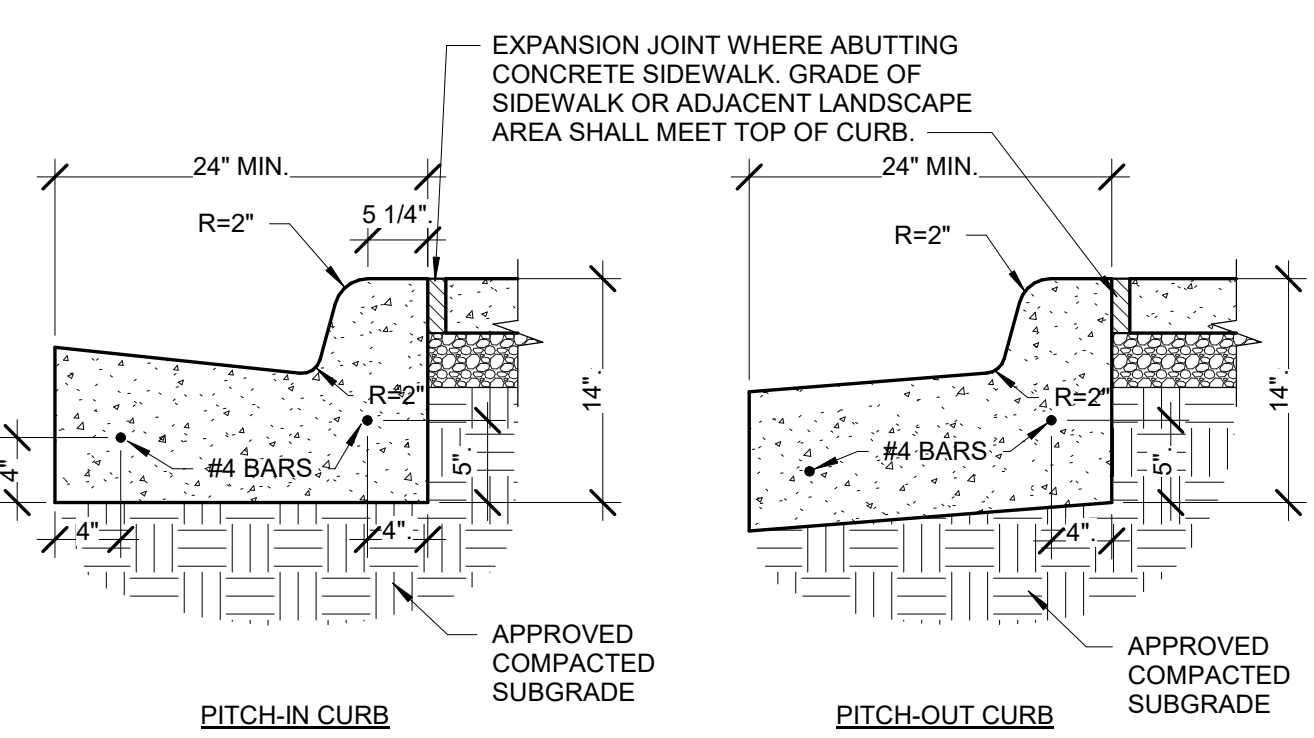
20. MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.



2 Section At Dumpster Screen
A1 1/2" = 1'-0"



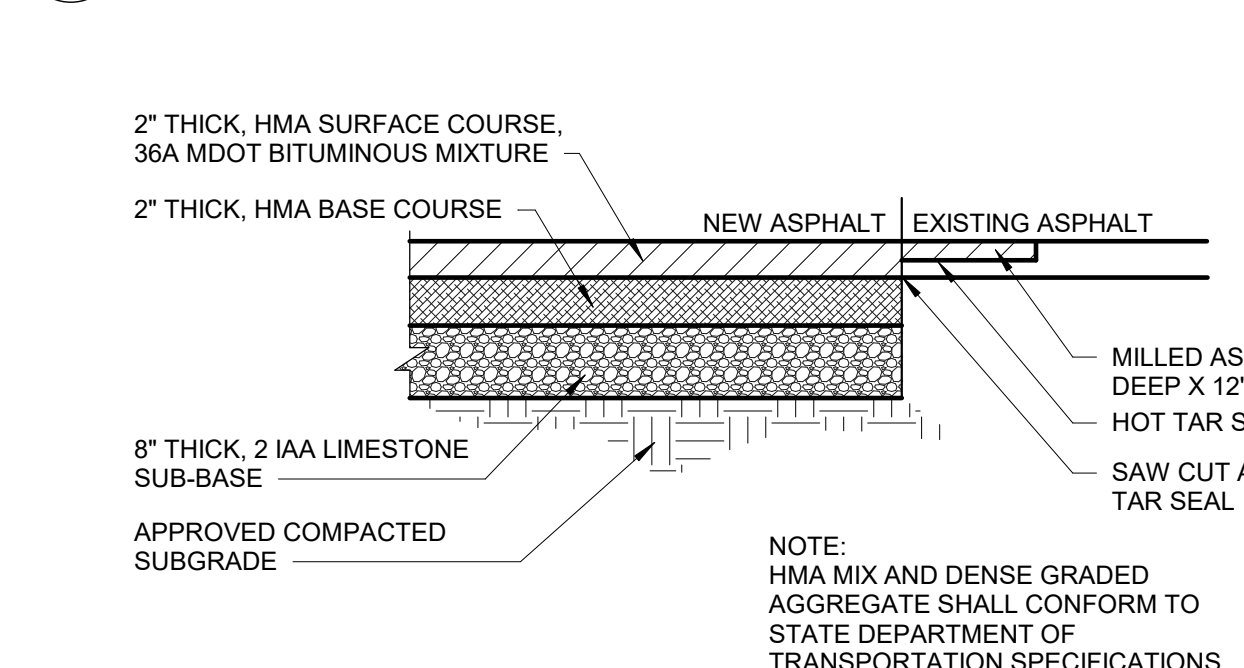
3 Dumpster Screening Detail
A1 1/4" = 1'-0"



- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

4 CONCRETE CURB AND GUTTER DETAIL
A1 1" = 1'-0"

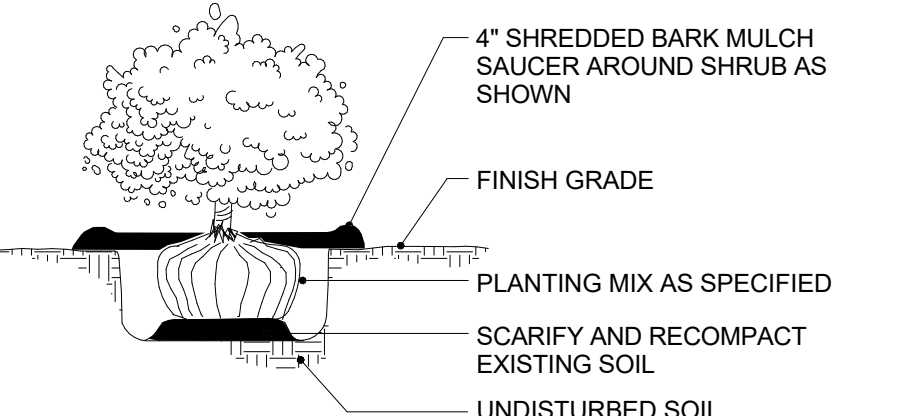
1 SITE PLAN
A1 1" = 20'-0"



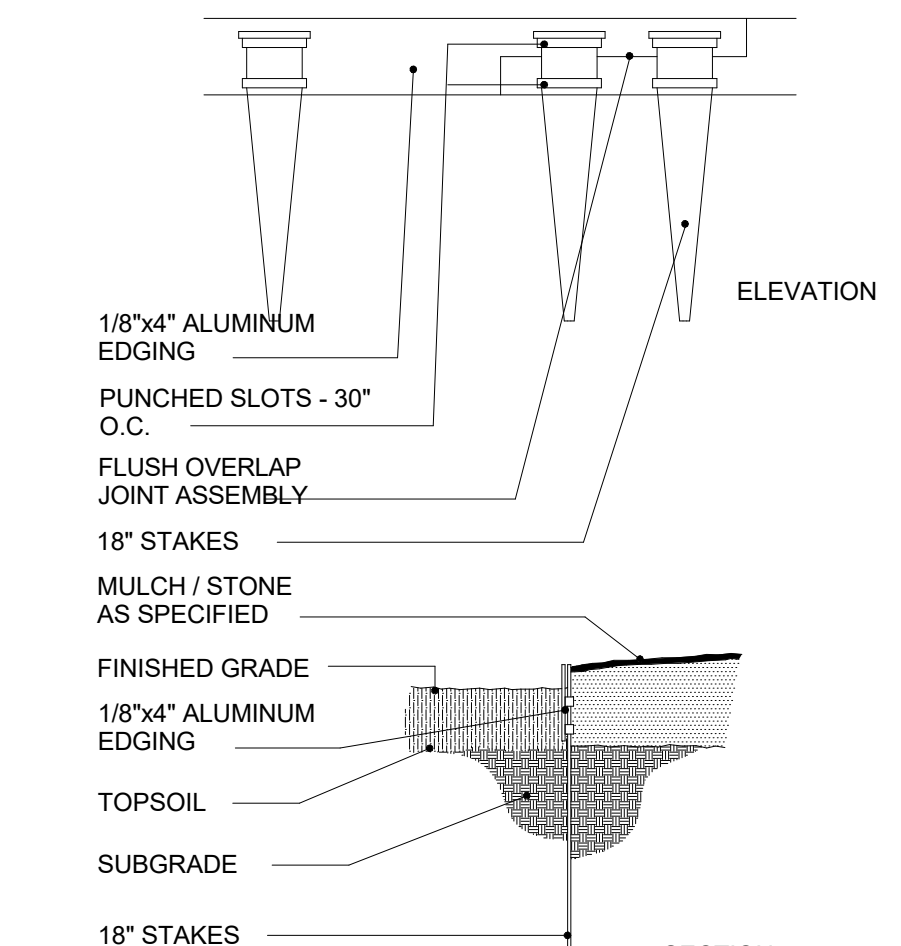
5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL
A1 1" = 1'-0"

LEGAL DESCRIPTION
LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
ALL OF LOT 1 AND LOT 2, EXCEPTING THEREFROM THE EAST 15.31 FEET IN ARTHUR J. SCULLY'S EASTMORELAND PARK, BEING A SUBDIVISION OF PART OF PRIVATE CLAIM 240, VILLAGE OF LOCHMOOR, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 63, PAGE 42 OF PLATS. ALSO ALL THAT PART OF P.C. 611, VILLAGE OF GROSSE POINTE WOODS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE INTERSECTION OF THE EAST LINE OF MACK AVENUE, AS WIDENED, AND THE SOUTH LINE OF SAID P.C. 611, SAID POINT BEING SOUTH 71 DEGREES EAST A DISTANCE OF 104.43 FEET FROM THE MIDDLE LINE OF MACK AVENUE; THENCE ALONG SAID SOUTH LINE OF P.C. 611, SOUTH 71 DEGREES EAST A DISTANCE OF 227.28 FEET TO THE SOUTHWEST CORNER OF RENMOOR PARK SUBDIVISION; THENCE ALONG THE WEST LINE OF SAID SUBDIVISION NORTH 6 DEGREES, 37 MINUTES, 22 SECONDS EAST A DISTANCE OF 124.37 FEET TO THE SOUTH LINE OF RENAUD ROAD; THENCE ALONG RENAUD ROAD NORTH 88 DEGREES, 22 MINUTES WEST A DISTANCE OF 87.05 FEET; THENCE TURNING TO THE LEFT ON A CURVE HAVING A RADIUS OF 459.14 FEET WESTERLY, 49.95 FEET (CHORD BEARS SOUTH 88 DEGREES, 31 MINUTES WEST A DISTANCE OF 49.93 FEET); THENCE SOUTH 85 DEGREES, 24 MINUTES WEST A DISTANCE OF 87.48 FEET TO THE EAST SIDE OF MACK AVENUE; THENCE ALONG MACK AVENUE SOUTH 6 DEGREES, 37 MINUTES, 22 SECONDS WEST A DISTANCE OF 44.00 FEET TO THE PLACE OF BEGINNING.

8 TREE PROTECTION DETAIL
A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL
A1 3/4" = 1'-0"



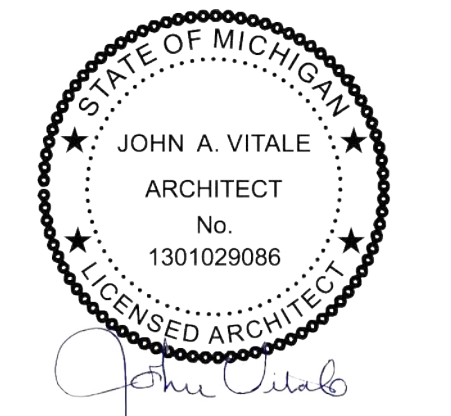
6 ALUMINUM EDGING DETAIL
A1 3/4" = 1'-0"



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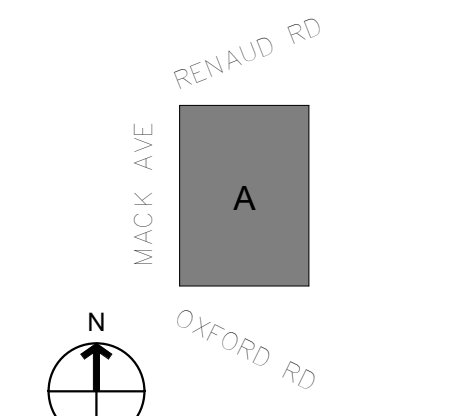
Seal:



Project :
RETAIL DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL	03.14.25
CITY SUBMITTAL	04.17.25
UPDATE	
CITY SUBMITTAL	05.14.25
UPDATE	
SITE ALTERNATE	06.04.25
CITY SUBMITTAL	07.14.25
UPDATE	

Drawn by :
JGB, JPM, AQC
Checked by :
JPM, JAV

Sheet Title :
SITE PLAN + LANDSCAPE PLAN + DETAILS

Project No. :
2025.018

Sheet No. :
A1

DO NOT SCALE DRAWINGS
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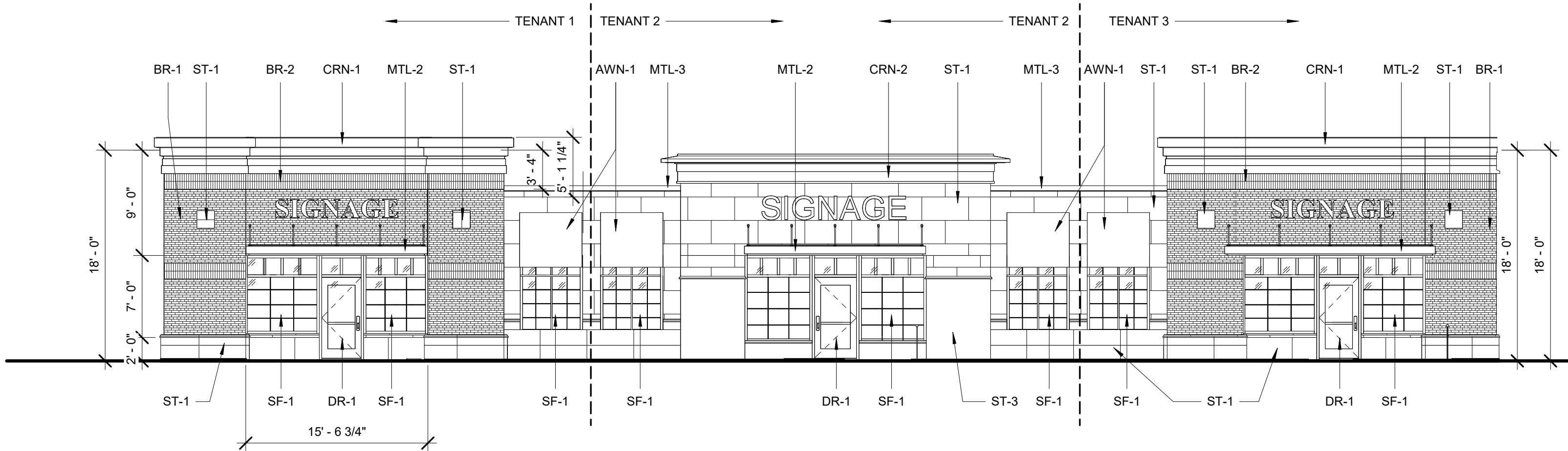
EXTERIOR FINISH SCHEDULE	
MASONRY	BR-1 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: 503-505 Smooth Red SIZE: MODULAR
	BR-2 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: 503-505 SMOOTH RED SIZE: SOLDIER
	ST-1 LIMESTONE PANEL VENEER MFG: ROYAL STONE OR APPROVED EQUAL COLOR: STANDARD BUFF OR SIMILAR SIZE: (D) 3 5/8" X (H) 15 5/8" X (L) 23 5/8"
	ST-3 MARBLE PANEL VENEER MFG: ROYAL STONE OR APPROVED EQUAL COLOR: STANDARD OR SIMILAR SIZE: (D) 3 5/8" X (H) 15 5/8" X (L) 23 5/8"
WIND.	SF-1 STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: DARK BRONZE W/ INTERIOR MUNTINS SIZE: (VARIES)
DOORS	DR-1 ALUMINUM ENTRANCE DOOR SYSTEM MFG: KAWNEER OR APPROVED EQUAL STYLE: 2" X 6" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
GLASS	GL-1 ALL GLASS TO BE: 1", LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
MISC.	TR-1 TRIM & COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	MTL-2 COMPOSITE METAL CANOPY MFG: MAPES CANTILEVER CANOPY OR APPROVED EQUAL COLOR: DARK BRONZE
	MTL-3 METAL PARAPET MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD OR SIMILAR
	CRN-1 EIFS CORNICE MFG: TBD COLOR: LIMESTONE SIZE: 36"X6"
	CRN-1 EIFS CORNICE MFG: TBD COLOR: LIMESTONE SIZE: 30"X20"
	AWN-1 FABRIC AWNING MFG: TBD COLOR: FOREST GREEN



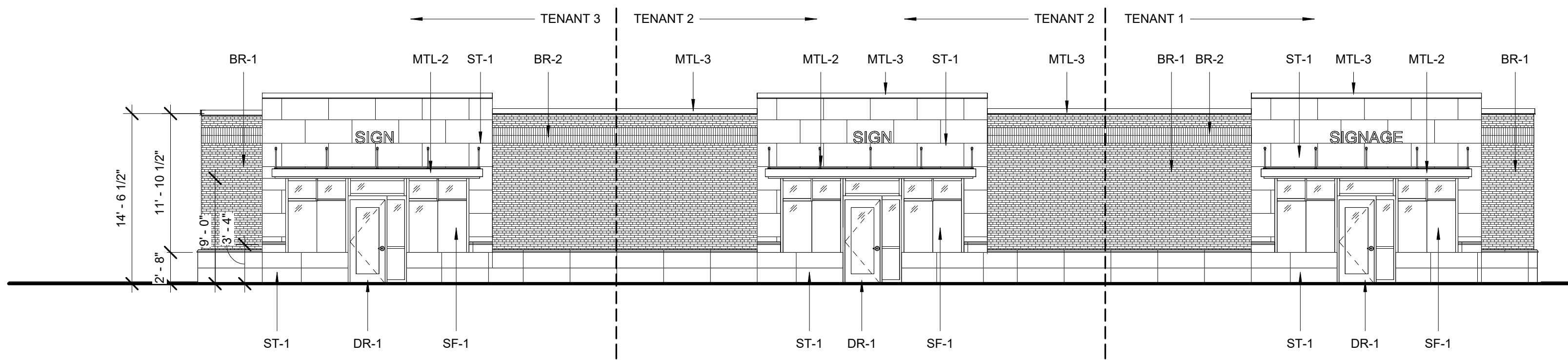
EXTERIOR RENDERING #2



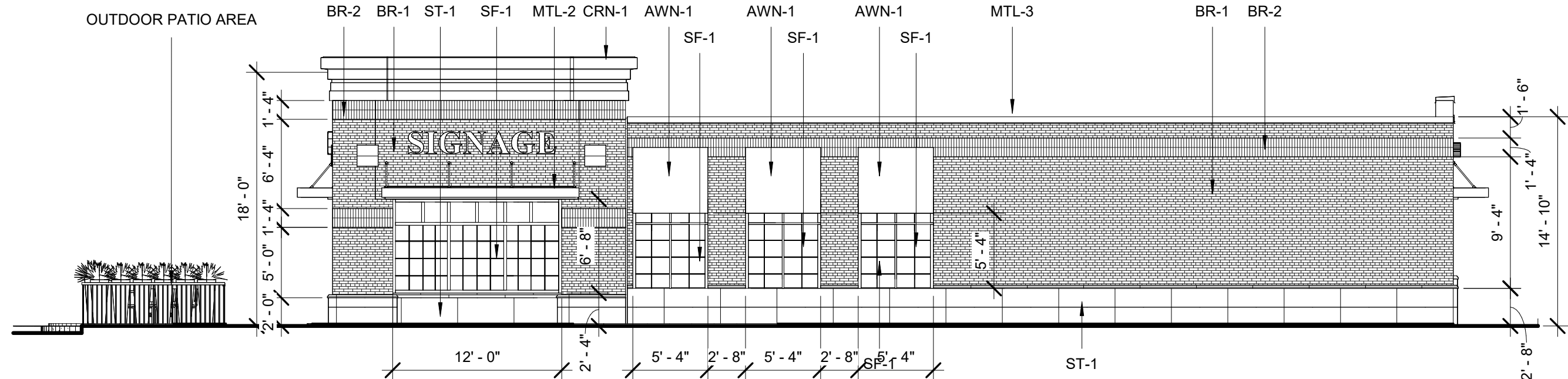
EXTERIOR RENDERING #1



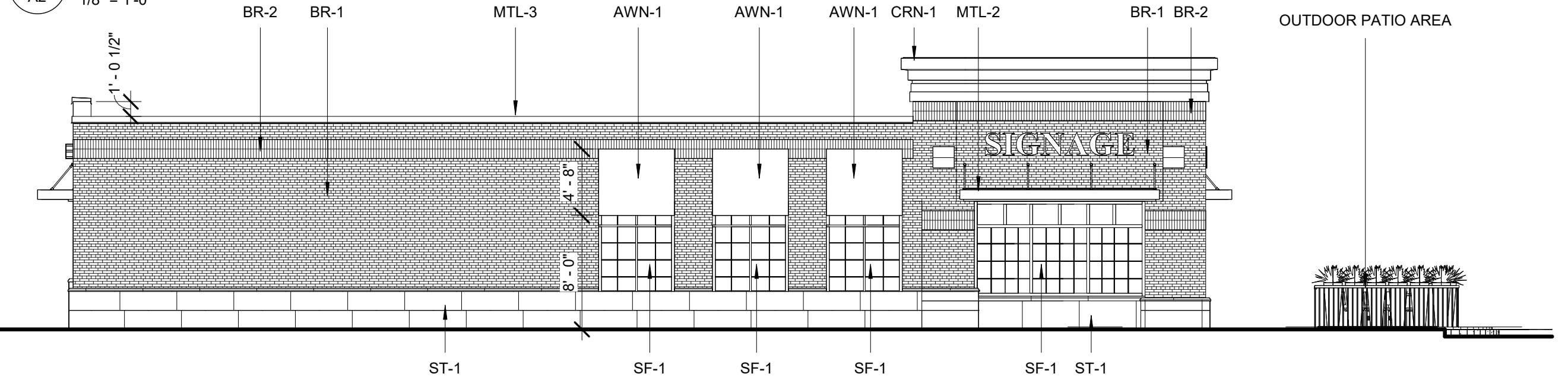
1 WEST ELEVATION - MACK AVE.
1/8" = 1'-0"



4 EAST ELEVATION - PARKING LOT
1/8" = 1'-0"



2 SOUTH ELEVATION - OXFORD RD
1/8" = 1'-0"



3 NORTH ELEVATION - RENAUD RD
1/8" = 1'-0"

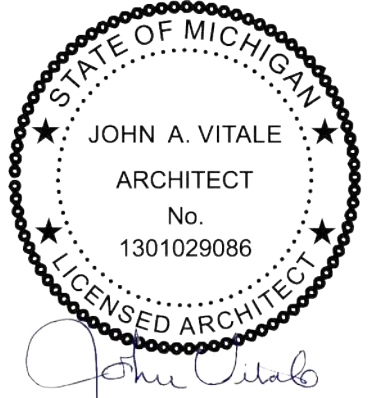


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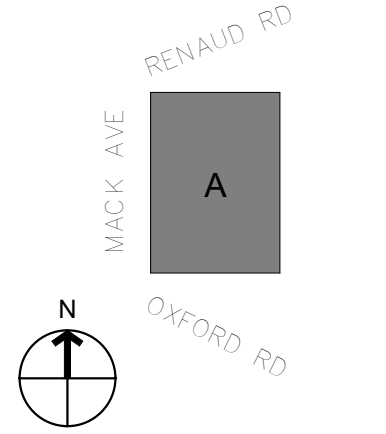
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20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



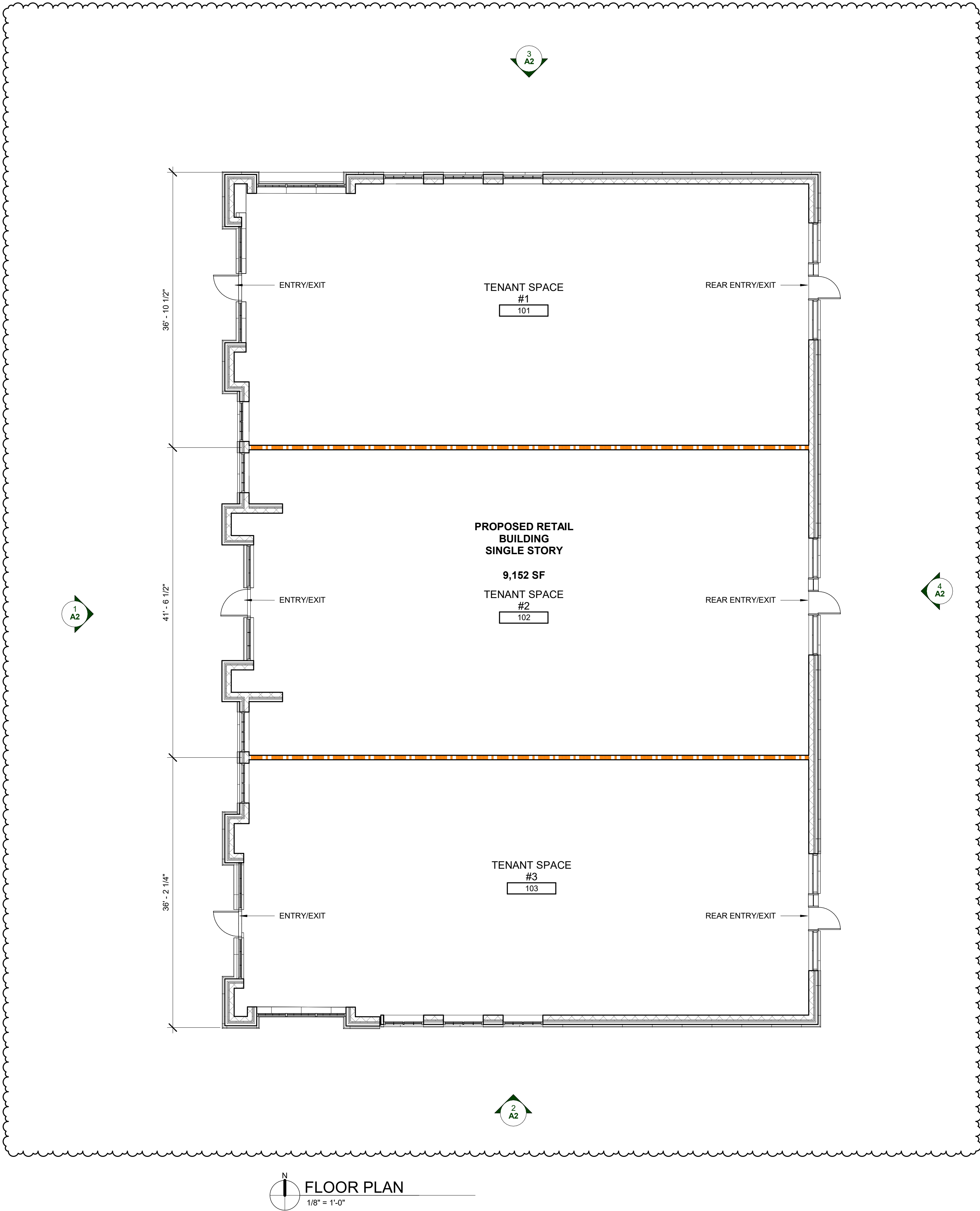
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CITY SUBMITTAL 03.14.25
CITY SUBMITTAL 05.14.25
UPDATE
CITY SUBMITTAL 07.14.25
UPDATE

Drawn by :
JGB, JPM
Checked by :
JPM, JAV
Sheet Title :
EXTERIOR ELEVATIONS +
RENDERING

Project No. :
2025.018

Sheet No. :
A2



GENERAL FLOOR PLAN NOTES

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A. AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS. MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

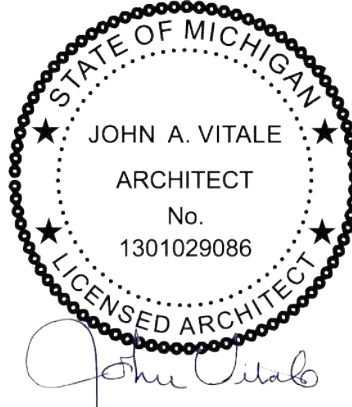


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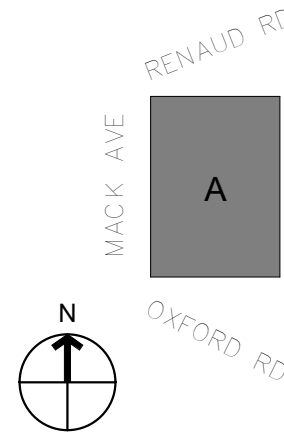
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Checked by :
JAV
Sheet Title :
FLOOR PLAN

Project No. :
2025.018

Sheet No. :

A3

I. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING APRIL 22, 2025, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.

- FLOOD NOTE:**

SURVEY REFERENCES:

- PARCEL DESCRIPTION:**

ACROSS OF LOT 1 AND LOT 2, EXCEPTING THEREFROM THE EAST 15.31 FEET IN ARTHUR J. SCULL'S EASTMORELAND PARK, BEING A SUBDIVISION OF PART OF PRIVATE CLARK 240, 42 OF PLATS; ALSO ALL THAT PART OF A C. 61.1, VILLAGE OF GROSE POINTE WOODS, BOUNDING AND DESCRIBED AS FOLLOWS, BEGINNING AT A POINT AT THE INTERSECTION SAID POINT BEING SOUTH 71 DEGREES EAST A DISTANCE OF 104.43 FEET FROM THE MIDDLE LINE OF MACK AVENUE; THENCE ALONG SAID SOUTH LINE OF C. 61.1, SOUTH 71 DEGREES EAST A DISTANCE OF 104.43 FEET TO THE CORNER OF SAID MACK AVENUE; THENCE ALONG SAID SUBDIVISION, THENCE ALONG THE WEST LINE OF SAID SUBDIVISION NORTH 6 DEGREES, 37 MINUTES, 10 SECONDS DISTANCE OF 100 FEET TO THE CORNER OF SAID MACK AVENUE; THENCE ALONG RENAULT AVENUE NORTH 88 DEGREES, 22 MINUTES WEST A DISTANCE OF 87.05 FEET; THENCE TURNING TO THE LEFT ON A CURVE HAVING A RADIUS OF 459.14 FEET, SOUTH 88 DEGREES, 22 MINUTES WEST A DISTANCE OF 100 FEET TO THE CORNER OF SAID MACK AVENUE; THENCE ALONG SAID MACK AVENUE A DISTANCE OF 49.93 FEET; THENCE SOUTH 83 DEGREES, 24 MINUTES WEST A DISTANCE OF 87.48 FEET TO THE EAST SIDE OF MACK AVENUE; THENCE ALONG MACK AVENUE SOUTH 6 DEGREES, 37 MINUTES, 12 SECONDS WEST 2 DISTANCE OF 44.42 FEET TO THE PLACE OF BEGINNING.

SCHEDULE B - PART II EXCEPTIONS:

17. EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 22079, PAGE 915. **(SHOWN)**

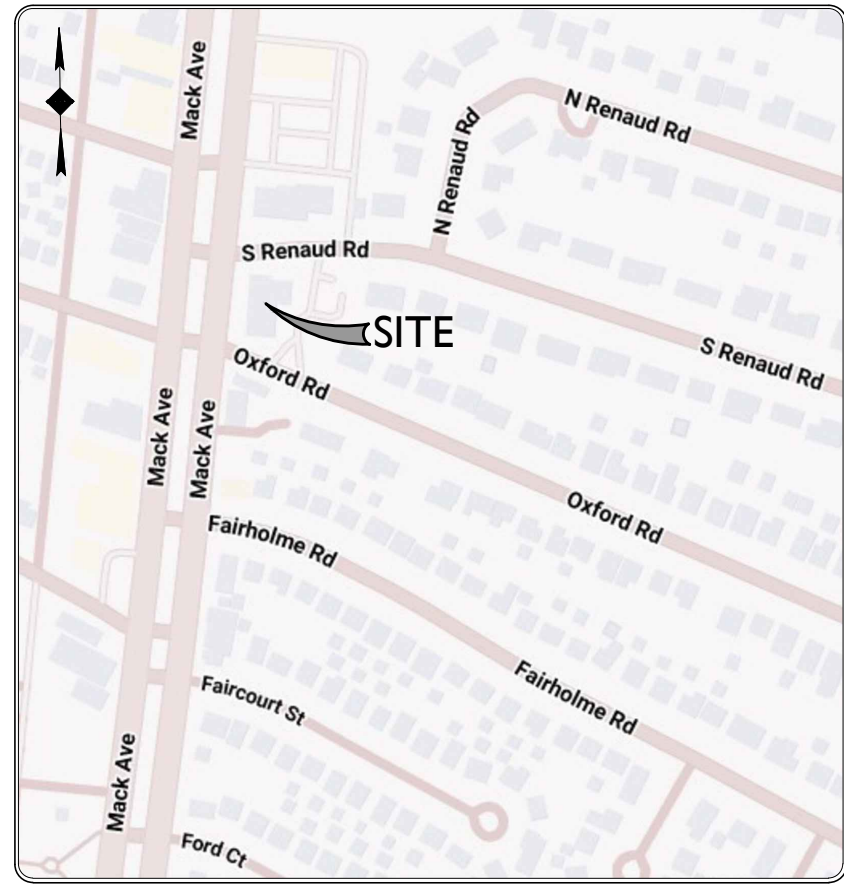
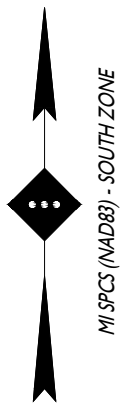
TOTAL LAND AREA
33,007 SQUARE FEET:
OR 0.758 ACRES±

EXISTING STRIPED PARKING
REGULAR = 31 SPACES
HANDICAP = 2 SPACES

TOTAL = 33 SPACES (INCLUDES
5 SPACES IN PUBLIC ALLEY)

TOTAL = 33 SPACES (INCLUDES
5 SPACES IN PUBLIC ALLEY)

TOTAL = 33 SPACES (INCLUDES
5 SPACES IN PUBLIC ALLEY)




SOURCE: GOOGLE MAPS

VICINITY MAP
NOT TO SCALE



Know what's **below**
Call before you dig.

	BUILDING
	CONCRETE SIDEWALK / MAT
	PAVING STONES / PAVERS
	ASPHALT / CONCRETE CURB
	DEPRESSED CURB
	D.C.
	PROPERTY LINE
	VACATED / INTERIOR LOT LINE
	ADJACENT PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY LINE
	CENTERLINE
	EASEMENT
	BOARD-ON-BOARD FENCE
	UTILITY POLE
	GUY WIRE
	MAST ARM LIGHT POLE
	LIGHT POLE
	LIGHT FIXTURE
	SIGNS
	WATER VALVE
	GAS VALVE
	DRAIN
	INLET
	MAN HOLE
	BOLLARDS
	PAY METER
	BOX (ELEC. GAS ETC.)
	FIRE HYDRANT
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	STORM PIPE
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE SPOT
	TOP OF CURB SHOT
	BOTTOM OF CURB SHOT
	TOP OF WALL SHOT
	BOTTOM OF WALL SHOT
	DETECTABLE WARNING STRIP
	HANDICAP PARKING
	STONE WALL
	WALL
	PAVEMENT STRIPING



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ALTA/ NSPS LAND TITLE SURVEY

MAP OF SURVEY OF:

PARCEL NUMBER: 009-01-0001-000
20160 MACK AVENUE
CITY OF GROSSE POINTE WOODS
COUNTY OF WAYNE, STATE OF MICHIGAN

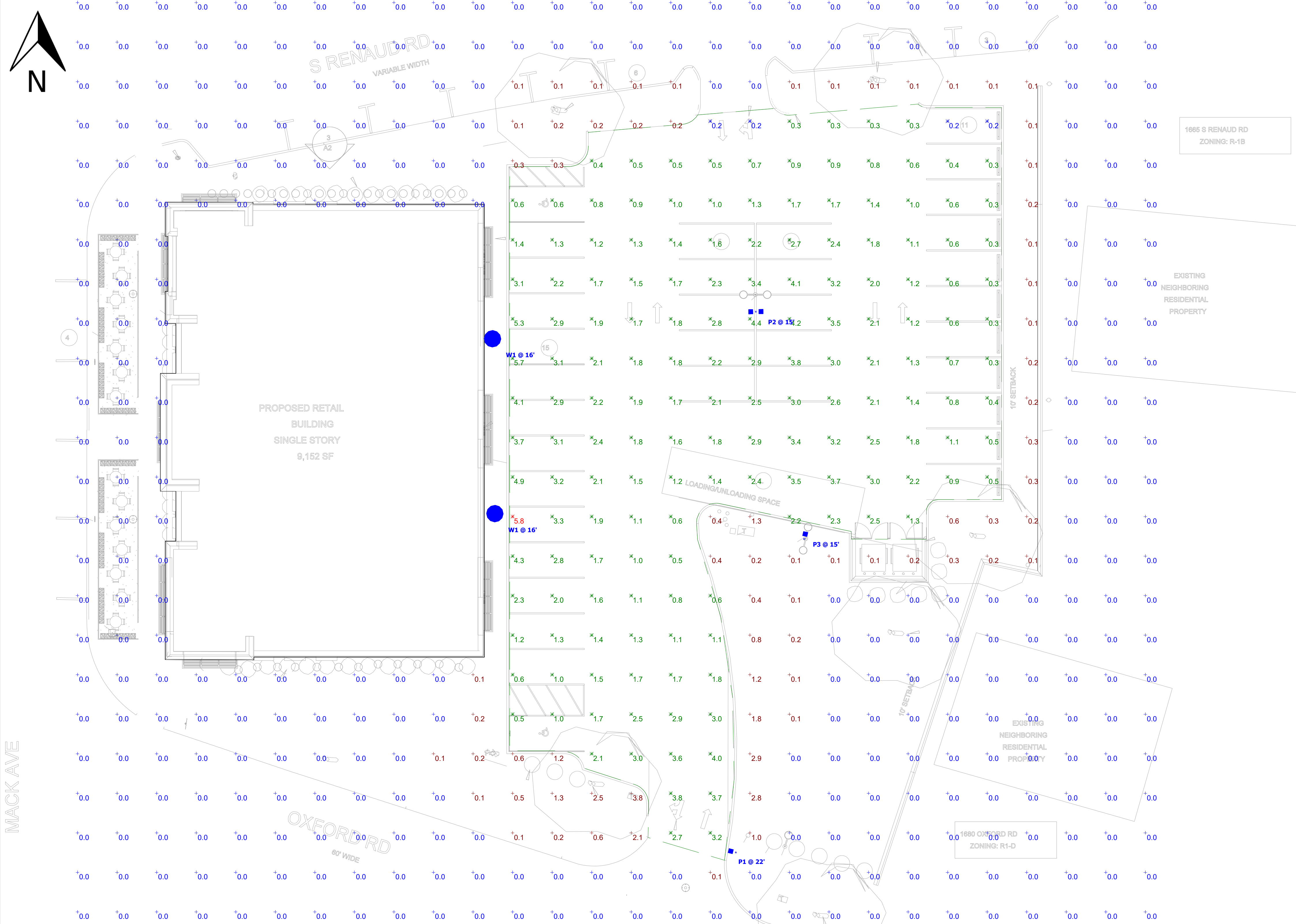
I	05/12/25	MVZ	AG	04/22/25	JU	FOR ISSUE
SUE	DATE	DRAFT BY	CHECK BY	FIELD DATE	FIELD CREW	DESCRIPTION

THIS IS TO DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7, 8, 9 & 13 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON APRIL 22, 2025

ROBERT E. HORNYAK, PS
MICHIGAN PROFESSIONAL SURVEYOR No. 4001044286

SCALE: 1"=20' **PROJECT ID:** DET-250182 **SHEET:** 1 OF 1



General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Plan View
Scale - 1" = 14ft

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	W1	2	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-4 BLS	Lumenicon Medium	6519	0.9	132
	P1	1	Lithonia Lighting	DSX1 LED P3 40K 80CRI LCCO EGS	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	9190	0.9	102.17
	P2	1	Lithonia Lighting	[...]	[...]	[...]	0.9	101.8
			Lithonia Lighting	DSX1 LED P1 40K 80CRI TSM	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 5 Medium	7276	0.9	50.9
			Lithonia Lighting	DSX1 LED P1 40K 80CRI TFTM	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw	7121	0.9	50.9
	P3	1	Lithonia Lighting	DSX1 LED P1 40K 80CRI BLC3 EGS	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield	4696	0.9	50.9

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 0.69 ft (0.69 ft)

Length: 32.71" (841 mm)

Width: 14.26" (362 mm)

Height H1: 7.88" (200 mm)

Height H2: 2.73" (69 mm)

Weight: 34 lbs (15 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Color Rendering Index	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
DSX1 LED	Forward optics	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P1	P1	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P2	P2	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P3	P3	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P4	P4	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P5	P5	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P6	P6	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P7	P7	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P8	P8	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P9	P9	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P10	P10	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P11	P11	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P12	P12	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P13	P13	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P14	P14	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P15	P15	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P16	P16	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P17	P17	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P18	P18	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P19	P19	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P20	P20	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P21	P21	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P22	P22	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P23	P23	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P24	P24	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P25	P25	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P26	P26	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P27	P27	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P28	P28	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P29	P29	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P30	P30	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P31	P31	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P32	P32	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P33	P33	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P34	P34	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P35	P35	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P36	P36	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P37	P37	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P38	P38	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P39	P39	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P40	P40	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P41	P41	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P42	P42	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P43	P43	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P44	P44	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P45	P45	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P46	P46	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P47	P47	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P48	P48	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P49	P49	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P50	P50	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P51	P51	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P52	P52	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P53	P53	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P54	P54	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P55	P55	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P56	P56	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P57	P57	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P58	P58	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P59	P59	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P60	P60	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P61	P61	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P62	P62	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P63	P63	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P64	P64	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P65	P65	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P66	P66	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P67	P67	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P68	P68	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P69	P69	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P70	P70	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P71	P71	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P72	P72	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P73	P73	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P74	P74	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P75	P75	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P76	P76	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P77	P77	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P78	P78	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P79	P79	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P80	P80	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P81	P81	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P82	P82	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P83	P83	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P84	P84	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P85	P85	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P86	P86	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P87	P87	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P88	P88	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P89	P89	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P90	P90	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P91	P91	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P92	P92	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P93	P93	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P94	P94	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P95	P95	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P96	P96	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P97	P97	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P98	P98	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P99	P99	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle
P100	P100	4000K	80CRI	Adjustment	Beam Spread	Beam Angle	Beam Spread	Beam Angle	Beam Spread	Beam Angle

Specification Sheet

Project Name _____ City _____

Type _____ Catalog / Part Number _____

Photo with Side Mount Arm Pole Arm Style with LED Arm Configuration

Distributions

Type I, Type II, Type III, Type IV, Type V, Type VI, Type VII, Type VIII, Type IX, Type X, Type XI, Type XII, Type XIII, Type XIV, Type XV, Type XVI, Type XVII, Type XVIII, Type XIX, Type XX, Type XXI, Type XXII, Type XXIII, Type XXIV, Type XXV, Type XXVI, Type XXVII, Type XXVIII, Type XXIX, Type XXX, Type XXXI, Type XXXII, Type XXXIII, Type XXXIV, Type XXXV, Type XXXVI, Type XXXVII, Type XXXVIII, Type XXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type LX, Type LXI, Type LXII, Type LXIII, Type LXIV, Type LXV, Type LXVI, Type LXVII, Type LXVIII, Type LXIX, Type LXX, Type LXXI, Type LXXII, Type LXXIII, Type LXXIV, Type LXXV, Type LXXVI, Type LXXVII, Type LXXVIII, Type LXXIX, Type LXXX, Type LXXXI, Type LXXXII, Type LXXXIII, Type LXXXIV, Type LXXXV, Type LXXXVI, Type LXXXVII, Type LXXXVIII, Type LXXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type LX, Type LXI, Type LXII, Type LXIII, Type LXIV, Type LXV, Type LXVI, Type LXVII, Type LXVIII, Type LXIX, Type LXX, Type LXXI, Type LXXII, Type LXXIII, Type LXXIV, Type LXXV, Type LXXVI, Type LXXVII, Type LXXVIII, Type LXXIX, Type LXXX, Type LXXXI, Type LXXXII, Type LXXXIII, Type LXXXIV, Type LXXXV, Type LXXXVI, Type LXXXVII, Type LXXXVIII, Type LXXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type LX, Type LXI, Type LXII, Type LXIII, Type LXIV, Type LXV, Type LXVI, Type LXVII, Type LXVIII, Type LXIX, Type LXX, Type LXXI, Type LXXII, Type LXXIII, Type LXXIV, Type LXXV, Type LXXVI, Type LXXVII, Type LXXVIII, Type LXXIX, Type LXXX, Type LXXXI, Type LXXXII, Type LXXXIII, Type LXXXIV, Type LXXXV, Type LXXXVI, Type LXXXVII, Type LXXXVIII, Type LXXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type LX, Type LXI, Type LXII, Type LXIII, Type LXIV, Type LXV, Type LXVI, Type LXVII, Type LXVIII, Type LXIX, Type LXX, Type LXXI, Type LXXII, Type LXXIII, Type LXXIV, Type LXXV, Type LXXVI, Type LXXVII, Type LXXVIII, Type LXXIX, Type LXXX, Type LXXXI, Type LXXXII, Type LXXXIII, Type LXXXIV, Type LXXXV, Type LXXXVI, Type LXXXVII, Type LXXXVIII, Type LXXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type LX, Type LXI, Type LXII, Type LXIII, Type LXIV, Type LXV, Type LXVI, Type LXVII, Type LXVIII, Type LXIX, Type LXX, Type LXXI, Type LXXII, Type LXXIII, Type LXXIV, Type LXXV, Type LXXVI, Type LXXVII, Type LXXVIII, Type LXXIX, Type LXXX, Type LXXXI, Type LXXXII, Type LXXXIII, Type LXXXIV, Type LXXXV, Type LXXXVI, Type LXXXVII, Type LXXXVIII, Type LXXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type LX, Type LXI, Type LXII, Type LXIII, Type LXIV, Type LXV, Type LXVI, Type LXVII, Type LXVIII, Type LXIX, Type LXX, Type LXXI, Type LXXII, Type LXXIII, Type LXXIV, Type LXXV, Type LXXVI, Type LXXVII, Type LXXVIII, Type LXXIX, Type LXXX, Type LXXXI, Type LXXXII, Type LXXXIII, Type LXXXIV, Type LXXXV, Type LXXXVI, Type LXXXVII, Type LXXXVIII, Type LXXXIX, Type XL, Type XLI, Type XLII, Type XLIII, Type XLIV, Type XLV, Type XLVI, Type XLVII, Type XLVIII, Type XLIX, Type L, Type LI, Type LII, Type LIII, Type LIV, Type LV, Type LVI, Type LVII, Type LVIII, Type LVIX, Type



Memorandum

TO: Grosse Pointe Woods Planning Commission

FROM: Ashley Jankowski, AICP

SUBJECT: Amending the Planning Commission By-Laws and Rules of Procedure

DATE: July 16, 2025

Dear Commissioners:

The Planning Commission's By-Laws and Rules of Procedure serve the purpose of setting internal policies that dictate how the Planning Commission carries out its duties. This document, which was re-adopted in January 2025, helps to guarantee a consistent procedure and established processes despite Commission and staffing changes.

Recently, it was observed that the Planning Commission's By-Laws and Rules of Procedures do not currently identify a set location for Public Comment in monthly agendas. To ensure a consistent and transparent procedure for Public Comment, an amendment is recommended to the By-Laws and Rules of Procedure to include Public Comment as its own line item. This line item is aligned with the Rules of Order followed by the City Council.

AMENDMENT TO THE BY-LAWS AND RULES OF PROCEDURE

As it stands, the current by-laws offer the following procedures for the agenda:

10. The business of all meetings of the Commission shall be transacted, so far as possible, in the following order:

*Roll Call
Approval of minutes
Matters appearing upon the Agenda
New Business*

We recommend the following amendment to the By-Laws and Rules of Procedure, shown in red:

10. The business of all meetings of the Commission shall be transacted, so far as possible, in the following order:

*Roll Call
Approval of minutes
Matters appearing upon the Agenda New
Business
Public Comment – Each member of the public
shall receive up to three (3) minutes for their*



comments. The City Clerk shall be the timekeeper.

Note that this amendment does not mark a departure from the order of agenda items or procedures that the Commission has been following to date; Rather, this amendment formalizes this pre-existing procedure and communicates it more effectively.

If you have any questions regarding this, please do not hesitate to contact us. Thank you.

Sincerely,

McKENNA

Ashley Jankowski, AICP
Associate Planner

10. The business of all meetings of the Commission shall be transacted, so far as possible, in the following order:

Roll Call

Approval of minutes

Matters appearing upon the Agenda

New Business

Public Comment – Each member of the public shall receive up to three (3) minutes for their comments. The City Clerk shall be the timekeeper

11. The presiding officer shall preserve order and decorum and shall speak to points of order in preference to other members. The presiding officer shall decide questions of order subject to appeal to the Commission, which appeal must be duly moved and seconded and sustained by majority vote of the Commission.

12. Before any member of the Commission, officers, or person in the audience may address the Commission, permission to do so must be obtained from the presiding officer, provided that any person having the floor shall not be interrupted unless ruled out of order by the presiding officer.

13. Approval of the Planning Commission shall be evidenced by a duly adopted motion or resolution of the Commission and by the execution of the "approval stamp" affixed to the front elevation of the building, the Plot Plan, the plat, the subdivision restrictions, the property use statement and other documents, as the case may be requiring approval by the Chair, or in the Chair's absence, by the Vice Chair/Secretary of the Commission, and when so approved the same shall be delivered to the City Clerk for further processing.

14. The Chair, in consultation with the Building Official, shall prepare an agenda of all matters which will be considered at each meeting, which agenda shall be distributed among the Commission members at least forty-eight (48) hours prior to the time of holding the meeting. Any matter not on the agenda shall not be acted upon without the unanimous consent of the members of the Commission present at such meeting, provided, if any matter is presented upon motion duly made and seconded, objection to action thereon shall be immediately voiced by any objecting members of the Commission before discussion is entered upon and, if no such objection is voiced, no objection shall thereafter be voiced to any action taken or proposed to be taken.

15. Upon request of a majority of the members of the Commission present, any question PROPERLY before the Commission shall be put to vote; such request for a vote shall be acted upon immediately without further discussion of the subject, and shall thereupon bring the question to a direct vote upon a motion to table, a motion to refer, a motion to amend, or upon the main question, in the order named.

16. At the request of a Commission member, any question shall be divided if such question, in the opinion of the presiding officer, is subject to division and shall be submitted as divided.

17. No motion or proposition different from that under consideration shall be admitted under

cover of amendment, provided that a substitute motion may be submitted to cover the same subject matter and, if carried, shall result in determining the original motion out of order.



CITY OF GROSSE POINTE WOODS

BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: JEREMY COLLINS, BUILDING OFFICIAL

DATE: MAY 2025 & JUNE 2025

SUBJECT: BUILDING DEPARTMENT REPORT

Building Projects

19299 Mack Ave. – Toothworks – Rough plumbing completed on June 17th, 2025.

19535 Mack Ave Ste. A – New business – Haven Dental PLLC – Dental Office & **19535 Mack Ave Ste. B** – New business – Haven Wellness Grosse Pointe LLC – MED SPA. Certificates of Occupancy issued for both suites on June 4th, 2025.

19700 Mack Ave. – Bank of America. Phase 3 of the interior renovations are continuing. The new teller area and offices have been approved for conditional use.

20139 Mack Ave. – The “Edmund T. Ahee Jewelers” is still progressing towards completion. Final fire suppression approved June 10th, 2025.

20195 Mack Ave. – Lola’s Tacos Bar – Building Permit Issued. Interior renovations are moving forward. Electrical and Mechanical permits have been issued. Awaiting Plumbing permit.

20507 Mack Ave. – Arthur Murray Dance Studio –All rough inspections approved. Insulation inspection approved June 9th, 2025. Moving into final stages of renovation.

20710 Mack Ave. – The Daily Jam –
Permit issued for Kitchen Exhaust Hood. Rough inspection approved June 12th, 2025.

Sign permit (Projecting Sign) – Approved June 12th, 2025.

Rough Electrical, Rough Plumbing and Rough Building approved.

21003 Mack Ave. Little Nest Coffee Roasters- Sign permits issued. Building plans are still under review with revisions requested.



CITY OF GROSSE POINTE WOODS

BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: JEREMY COLLINS, BUILDING OFFICIAL

DATE: JUNE 2025 & JULY 2025

SUBJECT: BUILDING DEPARTMENT REPORT

Building Projects

19299 Mack Ave. – Toothworks – Rough building inspection scheduled. Fire Alarm permit not approved, plans and specifications submittal missing information. Awaiting revised fire alarm documents.

19700 Mack Ave. – Bank of America. Phase 3 of the interior renovations are continuing. The new teller area and offices have been approved for conditional use.

20139 Mack Ave. – Ahee. A conditional Certificate of Occupancy was issued for the retail showroom area only. Rear employee area in final finishing stages.

20195 Mack Ave. – Lola's Tacos Bar – Project continues to move forward. Rough electric approved. Rough plumbing and mechanical inspections scheduled. Sign permit application submitted and under review for approval.

20507 Mack Ave. – Arthur Murray Dance Studio –All rough inspections approved. Final Building and Fire Inspections did not pass. Awaiting violation corrections.

20710 Mack Ave. – The Daily Jam – Project is nearing completion. Exhaust hood and Ansul system inspections pending inspection. Awaiting final inspection scheduling.

21003 Mack Ave. Little Nest Coffee Roasters- Sign permits issued. Revised plans received. However, the submitted plans were designed by a new architect and therefore require a new full review.