



# CITY COUNCIL MEETING

## City of Greenacres, Florida

Monday, April 07, 2025 at 6:00 PM

City Hall Council Chambers | 5800 Melaleuca Lane

### AGENDA

#### Mayor and City Council

Chuck Shaw, Mayor

Judith Dugo, Deputy Mayor

John Tharp, Councilmember, District I

Peter Noble, Councilmember District II

Susy Diaz, Councilmember, District IV

Paula Bousquet, Councilmember, District V

#### Administration

Andrea McCue, City Manager

Christy Goddeau, City Attorney

Glen J. Torcivia, City Attorney

Tanya Earley, City Attorney

Quintella Moorer, City Clerk

#### CALL TO ORDER AND ROLL CALL

#### PLEDGE OF ALLEGIANCE

#### AGENDA APPROVAL

#### COMMENTS FROM THE PUBLIC FOR AGENDA ITEMS ONLY

#### SPECIAL BUSINESS

1. **Presentation:** Certificate of Recognition to Mr. Jim Howell, John I. Leonard High School, Athletic Director, induction into the Palm Beach County Sports Commission Hall of Fame. - Councilmember Diaz.
2. **Presentation:** Hometown Health Award. - Suzanne Skidmore, Director of Human Resources and Risk Management.
3. **Proclamation:** National Autism Awareness Month - April 2025. - Dr. Robin Jones, Loden Coleman, and Howard Thomas of Els for Autism Foundation.
4. **Presentation:** Presidential Volunteer Service Awards - Jowie Mohammad, Director of Youth Programs.
5. **Presentation:** Palm Beach County Commission on Ethics overview. - S. Lizabeth Martin, Education & Communications Manager.

#### CONSENT AGENDA

6. **Official City Council Meeting Minutes:** City Council Meeting Minutes, March 17, 2025. - Quintella L. Moorer, City Clerk.
7. **EMS Write-Off:** Approval of fifteen aged uncollectible patient accounts. - Teri Beiriger, Director of Finance.

**REGULAR AGENDA**

- 8. Ordinance 2025-08: First Reading:** Amending the City of Greenacres' Budget for the Fiscal Year beginning October 1, 2024, and ending September 30, 2025, inclusive; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date. - Teri Beiriger, Director of Finance.
- 9. PUBLIC HEARING: Ordinance 2025-04: First Reading:** Amending the Code of Ordinances at Article I, in General; Article 3, District Regulations; and Article 4 Supplemental District Regulations; all of Chapter 16, Zoning Regulations, to define Live Entertainment and Nightclubs; to revise the definitions of restaurants; to revise the standards and criteria associated with live entertainment permits and mobile food dispensing vehicles; to clarify permitted uses; and for other purposes; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in code; and providing for an effective date. - Millie Rivera, Planner.
- 10. QUASI-JUDICIAL: PUBLIC HEARING: Resolution 2025-11:** Approving the Application for Site and Development Plans to construct forty-four (44) two-story townhouses within a Residential High Density Zoning District, located approximately 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645 Chickasaw Road, as requested by the applicant, Jeanne Ducharme, Cotleur & Hearing, agent for the owner, MF Associates Greenacres, LLC; providing for repeal of conflicting resolutions; and providing for an effective date. - Linda Mia Franco, Zoning Administrator.
- 11. QUASI-JUDICIAL: PUBLIC HEARING: Resolution 2025-12:** Approval of Preliminary Plat for C&C Legacy Plaza located on the east side of Jog Road, approximately 650 feet north of Woodlake Boulevard. The project will consist of a one-story 2,598 square foot office building and three (3) two-story townhouse residential units. - Gionni Gallier, Senior Planner.
- 12. Appointment of Deputy Mayor** - Mayor Shaw.
- 13. Appointment of Representative and Alternate to the Palm Beach Transportation Planning Agency (TPA)** - Andrea McCue, City Manager.

**DISCUSSION ITEM - None.**

**COMMENTS FROM THE PUBLIC ON NON-AGENDA ITEMS**

**CITY MANAGER'S REPORT**

**CITY ATTORNEY'S REPORT**

**MAYOR AND CITY COUNCIL REPORT**

**ADJOURNMENT**

**Future City Council Meetings**

April 21, 2025.

May 5, 2025.

**Meeting Records Request**

Any person requesting the appeal of a decision of the City Council will require a verbatim record of the proceedings and for that purpose will need to ensure that such verbatim record is made. Pursuant to FS. 286.0105, the record must include the testimony and evidence upon which the appeal is to be based. The City of Greenacres does not prepare or provide such verbatim record.

**Notice of Council Meetings and Agendas**

The first and third Monday of each month are regular meeting dates for the City Council; special or workshop meetings may be called, whenever necessary. Council Agendas are posted on the City's website on the Friday prior to each Council meeting. A copy of the meeting audio and the complete agenda may be requested at [CityClerk@greenacresfl.gov](mailto:CityClerk@greenacresfl.gov) or 561-642-2006.

**Americans with Disabilities Act**

In accordance with the provisions of the Americans with Disabilities Act (ADA), this document can be made available in an alternate format upon request. Special accommodations can be provided upon request with three (3) days advance notice of any meeting, by contacting City Clerk Quintella Moorer at Greenacres City Hall, 5800 Melaleuca Lane, Greenacres, Florida. Phone No. 561-642-2006. Hearing Assistance: If any person wishes to use a Listen Aid Hearing Device, please contact the City Clerk prior to any meeting held in the Council Chambers.



## ITEM SUMMARY

**MEETING DATE:** April 7, 2025  
**FROM:** Jowie Mohammed, Director of Youth Programs  
**SUBJECT:** President's Volunteer Service Awards

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### BACKGROUND

The President's Volunteer Service Award Program is approved by the President of the United States to recognize Americans of all ages who have made a significant commitment to volunteer service. In 2005, the City of Greenacres became an approved "Official Certifying Organization" for the President's Volunteer Service Awards. Volunteers who demonstrate outstanding volunteer service and/or civic participation can attain a Volunteer Service Award.

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### ANALYSIS

The city will recognize forty-one (41) volunteers for their service during the 2024 calendar year: seven (7) adults, nineteen (19) teens and fifteen (15) young adults. Total volunteer hours were 7,194.

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### FINANCIAL INFORMATION

The cost of the President's Volunteer Service Awards for calendar year 2024 totals \$529.48 and the expense is included in the FY25 budget.

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### STAFF RECOMMENDATION

Recognition of the forty-one (41) dedicated volunteers who have contributed their time and effort in accruing 7,194 hours to benefit the City of Greenacres.



## CITY COUNCIL MEETING

### City of Greenacres, Florida

Monday, March 17, 2025, at 6:00 PM

City Hall Council Chambers | 5800 Melaleuca Lane

## MINUTES

### Mayor and City Council

Chuck Shaw, Mayor

Judith Dugo, Deputy Mayor

John Tharp, Councilmember, District I

Peter Noble, Councilmember District II

Susy Diaz, Councilmember, District IV

Paula Bousquet, Councilmember, District V

### Administration

Andrea McCue, City Manager

Christy Goddeau, City Attorney

Glen J. Torcivia, City Attorney

Tanya Earley, City Attorney

Quintella Moorer, City Clerk

### CALL TO ORDER AND ROLL CALL

Mayor Shaw called the meeting to order at 6PM. All Councilmembers were present.

### PLEDGE OF ALLEGIANCE

### AGENDA APPROVAL

Motion made by Deputy Mayor Dugo, Seconded by Councilmember Diaz to approve the agenda with the inclusion of removing Item One from the agenda.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

### COMMENTS FROM THE PUBLIC FOR AGENDA ITEMS ONLY

None.

### SPECIAL BUSINESS

- 1. Presentation:** Retail Strategies Partnership Kick-Off. - Garet Smitherman and Drew Kaufmann, Retail Strategies.

This item was removed from the agenda.

### CONSENT AGENDA

- 2. Official City Council Meeting Minutes:** City Council Meeting Minutes, March 3, 2025. - Quintella L. Moorer, City Clerk.
- 3. Resolution 2025-07:** Amending and adopting the personnel policies handbook; repealing all resolutions and Council Polices in conflict herewith; providing a conflicts clause and a severability clause; providing an effective date and for other purposes. - Suzanne Skidmore, Director of Human Resources and Risk Management.

Motion made by Councilmember Bousquet, Seconded by Councilmember Noble to approve the Consent Agenda.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

## REGULAR AGENDA

- 4. PUBLIC HEARING: Ordinance 2025-01: Second Reading:** Amending the Code of Ordinances at Article 2, Administration, of Chapter 16, Zoning Regulations, to revise filing procedures, standards, criteria for approval, and review processes for development applications; to revise notice requirements for development-related applications and ordinances; to revise provisions related to the expiration of development approvals; to update department and advisory board names; to update the procedures and duties of the development review committee; and for other purposes; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in code; and providing for an effective date.- Gionni Gallier, Senior Planner, Development and Neighborhood Services.

Ms. Moorer read the ordinance by title.

Mr. Gallier stated no changes had been made since the First reading on March 3, 2025.

Motion made by Councilmember Noble, Seconded by Councilmember Tharp to approve Ordinance 2025-01 on Second reading.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

- 5. PUBLIC HEARING: Ordinance 2025-03: Second Reading:** Amending the Code of Ordinances at Article 1, in General, Article 3, District Regulations, Article 4 Supplemental District Regulations, all of Chapter 16, Zoning Regulations, to add Prescribed Pediatric Extended Care Use, standards, and criteria for approval of the same; to move criteria for Therapeutic Adult Day Care Centers from Article I to Article 3, of Chapter 16; and for other purposes; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in code; and providing for an effective date. - Millie Rivera, Planner, Development and Neighborhood Services.

Ms. Moorer read the ordinance by title.

Ms. Linda Mia Franco, Zoning Administrator stated no changes had been made since the First reading on March 3, 2025.

Motion made by Deputy Mayor Dugo, Seconded by Councilmember Bousquet to approve Ordinance 2025-03 on Second reading.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

## DISCUSSION ITEM

6. Palm Beach County Days Recap. - Councilmember Susy Diaz.

Ms. Diaz stated Palm Beach County Days was impactful and positive, they attended plenty of meetings, she stated they submitted two appropriation requests for septic to sewer and for Youth Programs.

She thanked Ms. McCue and Mr. Austin Lee, Director of Communications and Public Affairs for attending and assisting the lobbyist.

**COMMENTS FROM THE PUBLIC ON NON-AGENDA ITEMS**

None.

**CITY MANAGER'S REPORT**

- 7. Community and Recreation Report.
- 8. Development and Neighborhood Services Report.
- 9. Finance Report.
- 10. Fire Rescue Report.
- 11. Information Technology Report.
- 12. Palm Beach County Sheriff's Office, District 16 Report.
- 13. Public Works Report.
- 14. Purchasing Report.
- 15. Youth Programs Report.

Ms. McCue reported the Budget Bill funding for Community projects were not approved by legislation, Congresswoman Lois Frankel had submitted on behalf of the city for the Emergency Operating building.

She mentioned talks amongst other cities of possible property tax cuts, she would keep the Council posted. Ms. McCue stated Hoffman's Chocolate store closed and she looked forward to new possibilities for redevelopment.

She also reminded the Council that the Employee Picnic was March 21, 2025, at noon.

**CITY ATTORNEY'S REPORT**

None.

**MAYOR AND CITY COUNCIL REPORT**

Councilmember Noble: Reminded the Council to be aware of possible recession setbacks.

Councilmember Diaz: Congratulated Youth Programs on their participation in the Relay for Life event. She wished Councilmember Tharp a happy birthday.

**ADJOURNMENT**

6:18PM.

\_\_\_\_\_  
**Chuck Shaw**  
Mayor

\_\_\_\_\_  
**Quintella Moorer, MMC**  
City Clerk

**Date Approved:** \_\_\_\_\_



## ITEM SUMMARY

**MEETING DATE:** April 7, 2025

**FROM:** Teri Beiriger, Finance Director, Finance Department

**SUBJECT:** Accounts Receivable Write-offs for EMS

### BACKGROUND

The City of Greenacres bills residents for ambulance transport and emergency life support services. Upon death of the patient the remaining balance is to be written off. Section 2196 City of Greenacres Code provides for the discharging of uncollected debts. The Director of Finance shall have the authority to write off minor, uncollectible debts to the City, not to exceed two hundred dollars (\$200.00) per account per fiscal year. Prior city council approval shall be required for discharging debt greater than two hundred dollars (\$200.00) per account per fiscal year.

### ANALYSIS

It has been City's practice to write-off any remaining balance left on patient's account when the patient is deceased, and the insurance claim has been exhausted. It is Finance's practice based on prior direction of the City Council, not to balance bill the next of kin when a patient is deceased.

### FINANCIAL INFORMATION

Attached is a request proposing the write-offs on fifteen (15) aged uncollectible and deceased patient accounts for a total of \$8,286.95 for date of service 02/04/24 – 01/10/2025

### LEGAL

The memo has been prepared in accordance with applicable City Code requirements.

### STAFF RECOMMENDATION

Approval of EMS write-offs.



## March 2025 Deceased Write Offs

## City of Greenacres

Incident Number	Account Number	Date of Service	Patient Full Name	Patient Date of Death	Balance
GAC24000674	66927050	02/04/2024	Rutland, Mary	2/11/2024	\$746.95
GAC24000979	66974357	02/19/2024	Caramante, Louis	2/23/2024	\$732.10
GAC24002192	67150170	04/26/2024	Bloomfield, Frederick	5/6/2024	\$724.00
GAC24002287	67161085	05/02/2024	Erazo Figueroa, Maria	5/5/2024	\$889.40
GAC24002508	67177765	05/15/2024	Schroader, Jerry	5/15/2024	\$275.00
GAC24003004	67226595	06/13/2024	Merritt, Ray	6/17/2024	\$250.00
GAC24003828	67311089	08/02/2024	Watts, Amy	8/2/2024	\$250.00
GAC24004463	67369038	09/08/2024	Eden, Carol	10/10/2024	\$240.00
GAC24004814	67402611	09/29/2024	Eden, Carol	10/10/2024	\$240.00
GAC24004989	67420468	10/11/2024	Varney, Christina	10/10/2024	\$725.35
GAC24005272	67444160	10/27/2024	Marlow, Shirley	11/4/2024	\$746.95
GAC24005336	67452799	11/01/2024	Metelitz, Selma	11/1/2024	\$765.85
GAC24005953	67509193	12/08/2024	McCarthy, Thomas	12/15/2024	\$748.30
GAC24006257	67536116	12/26/2024	Clancy, Charles	1/6/2025	\$728.05
GAC25000172	67560617	01/10/2025	Kline, Stanley	1/25/2025	\$225.00
15	Total Accounts			Total Amount	\$ 8,286.95



## ITEM SUMMARY

**MEETING DATE:** April 7<sup>th</sup>, 2025

**FROM:** Teri Lea Beiriger, Director of Finance

**SUBJECT:** Ord. No. 2025-08 Budget Adjustment – 301 New Growth- Safe Streets and 306 Youth Program Bldg.

### BACKGROUND

Council Policy No. 6 requires City Council action to authorize budget adjustments between cost centers, departments, and funds. A budget adjustment is required to account for the under-budget in the Safe Street Project and Youth Program Building Project. This affects New Growth (301) fund and the American Rescue Plan (306) fund.

**New Growth (301)** fund requires a budget adjustment from fund balance in the amount of \$50,000. The City was awarded a grant in the amount of \$200,000 for the development of a safety action plan. The City portion of the grant, \$50,000, was not accounted for in the budget. The adjusted increase will be \$50,000 to account 301-40-42-63-14 CIP-239 Safe Streets & Roads.

**American Rescue Fund – Youth Program (306)** fund requires a budget adjustment from fund balance of \$879,261. This adjustment includes: \$391,229 for furniture not budgeted, \$368,032 for IT network and \$120,000 for miscellaneous expenses such as permitting.

### ANAYSIS

Ordinance 2025-08 is to authorize the net budget adjustment for the total amount of \$880,000 that documents the movement of the funds from the two CIP funds to cover the unbudgeted item.

### FINANCIAL INFORMATION

The proposed ordinance increases the expenditure by \$930,000 in FY 2025, with a net effect of \$930,000.

### LEGAL

The proposed Budget Amendment has been prepared in accordance with the applicable State Statues and City Code Requirements

### STAFF RECOMMENDATION

Approval of Ordinance 2025-08.

**ORDINANCE NO. 2025-08**

**AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AMENDING THE CITY OF GREENACRES' BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024, AND ENDING SEPTEMBER 30, 2025, INCLUSIVE; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City of Greenacres, Florida adopted a budget for the 2024/2025 Fiscal Year; and

**WHEREAS**, the City Council has determined that an amendment needs to be made to the previously adopted Fiscal Year Budget; and

**WHEREAS**, the City Council deems approval of this Ordinance to be in the best interest of the residents and citizens of the City of Greenacres.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:**

**Section 1.** The City Council hereby amends the expenditures in the New Growth (301) fund, and expenditures in the ARPA Youth Building (306) fund and the balances listed in attached Exhibit "A" and adopts such amendments to the Budget of the City of Greenacres for the Fiscal Year October 1, 2024, through September 30, 2025, inclusive.

**Section 2. Repeal of Conflicting Ordinances.**

All ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this ordinance are hereby repealed.

**Section 3. Severability.**

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

**Section 4. Effective Date.**

The provisions of this Ordinance shall become effective upon adoption.

**Passed on the first reading this 7th day of April 2025.**

*Voted:*

\_\_\_\_\_  
**Chuck Shaw**, Mayor

\_\_\_\_\_  
**Judith Dugo**, Deputy Mayor

**Attest:**

*Voted:*

\_\_\_\_\_  
**Quintella Moorer**, City Clerk

\_\_\_\_\_  
**John Tharp**, Council Member, *District I*

*Voted:*

\_\_\_\_\_  
**Peter Noble**, Council Member, *District II*

*Voted:*

\_\_\_\_\_  
**Susy Diaz**, Council Member, *District IV*

*Voted:*

\_\_\_\_\_  
**Paula Bousquet**, Council Member, *District V*

**Approved as to Form and Legal Sufficiency:**

\_\_\_\_\_  
**Glen J. Torcivia, City Attorney**

FYE 9/30/2025  
Exhibit "A"

		<b>Increase (Decrease)</b>
<b>Expense</b>		
CIP 239 Safe Street and Roads	301-40-42-63-14	\$ 50,000
<b>301 Fund Balance</b>		<b>(\$ 50,000)</b>
<b>301 Net Fund(s) Balance Change</b>		<b>(\$ 50,000)</b>
 <b>Expense</b>		
CIP 236 Youth Building	306-60-42-62-43	\$ 880,000
<b>306 Fund Balance</b>		<b>(\$ 880,000)</b>
<b>306 Net Fund(s) Balance Change</b>		<b>(\$ 880,000)</b>



## ITEM SUMMARY

**MEETING DATE:** April 7, 2025  
**FROM:** Denise Malone, AICP, Development and Neighborhood Services Director  
**SUBJECT:** Ordinance 2025-04 – ZTA-25-02 – First Reading  
 Supplemental Regulations & Night Clubs

### BACKGROUND

This City-initiated request for a Zoning Text Amendment (ZTA) has been brought forth to define Live Entertainment as an accessory to primary commercial uses and Nightclub; revise the definitions for restaurants under Article I, In General; clarify permitted uses under Article III, District Regulations; and clarify the standards and criteria associated with Live Entertainment Permits and Mobile Food Dispensing Vehicles under Article IV, Supplementary District Regulations. The objective is to ensure establishments within the City operate within the limits of their permitted primary use and in a manner that protects the public health, safety, and welfare, and maintains City character.

### ANALYSIS

#### LIVE ENTERTAINMENT

Code revisions were approved in 2022, to acknowledge and allow for Live Entertainment with an approved Live Entertainment permit. Currently, Live Entertainment is interpreted as an accessory to principal commercial establishments like restaurants, bars, and lounges, involving live performances with amplified or non-amplified sounds indoors or outdoors. Concerns have arisen regarding businesses operating without a Live Entertainment permit and/or beyond requirements such as permitted hours, changing their primary use to a nightclub, and raising safety issues for residents, the Palm Beach County Sheriff’s Office (PBSO), and Fire Rescue. The proposed revisions seek to provide further clarity of regulations and define Live Entertainment to balance community desires with safety concerns.

#### NIGHTCLUB

Nightclubs which are currently prohibited are distinct from accessory Live Entertainment, as they are primary entertainment venues typically operating late at night with dancing, music, and performances, where food and drink are secondary. This revision continues to prohibit nightclubs in all zoning districts within the City and further clarifies that a Live Entertainment permit does not allow for nightclub activity. The amendment further provides criteria to determine whether an establishment is considered a nightclub.

#### RESTAURANTS

The definition of a Restaurant is clarified to address live entertainment as an accessory use with incidental sale or service of alcoholic beverages. This revision addresses concerns about restaurants that serve alcohol converting into nightclubs, especially after closing their kitchens and operating after approved the hours of operation of 2:00 am.



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**MOBILE FOOD DISPENSING VEHICLES**

To accommodate expanding service patterns and modern business models, this revision aims to revise the standards related to parking; recognize Mobile Vendors not using a Mobile Food Dispensing Vehicle; and establishes standards for Mobile Food Dispensing Vehicles operating within the common area of residential developments. This revision aims to support diverse economic opportunities across businesses.

These changes directly align with the goals, objectives, and policies of the City's Comprehensive Plan, particularly its Economic Development Element, which aims to achieve a balanced, diversified, and sustainable economic structure that maximizes long-term economic growth. The Planning and Zoning Board of Appeals recommended approval by a vote of 4-0 at their meeting on March 13, 2025.

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**FINANCIAL INFORMATION**

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N/A.

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**LEGAL**

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Ordinance 2025-04 was prepared in accordance with all applicable state statutes and City Code Requirements and has been reviewed for legal sufficiency.

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**STAFF RECOMMENDATION**

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*Approval of ZTA 25-02 through Ordinance 2025-04.*

ZTA-25-02 (Ordinance 2025-04)  
Date: March 07, 2025

Revised: 03/13/2025



## DEVELOPMENT & NEIGHBORHOOD SERVICES STAFF REPORT AND RECOMMENDATION

### I. Project Description:

**Applicant:** City of Greenacres

**Request:** City-initiated Zoning Text Amendment (ZTA) to add definitions for Live Entertainment and Nightclub; revise the definitions for restaurants; clarify the standards and criteria associated with Live Entertainment Permits and Mobile Food Dispensing Vehicles; and clarify permitted uses.

**Project Manager:** Millie Rivera, Planner

### II. Proposed Zoning Code Amendments:

#### Overview of Proposed Code Text Amendments:

- **For Chapter 16**
  - **Article I, In General**
    - **Definitions (Section 16-1)**
      - Revised definition of *Lounge* to include Bar and/ or *Cocktail Lounge* for consistency throughout the Code. Clarified alcoholic beverages are to be consumed on the premise of which sold and that the term shall not include restaurants or nightclubs.
      - Added definition for *Live Entertainment*, which shall mean an accessory use to a commercial establishment wherein forms of entertainment, consisting of amplified or non-amplified sounds, may include live performance of one (1) or more persons. This term shall not include nightclubs.
      - Added definition for *Nightclub*, which shall mean any commercial use open after 10:00 p.m. that could reasonably be determined as a nightclub. The amendment establishes clear criteria to determine whether an establishment would be defined as a nightclub; if the establishment has a dance floor or other open area used by patrons for dancing or if any combination of four (4) or more of the established criteria exist, such establishment would be defined as a nightclub by City Staff.
      - Clarified the definition of *Restaurant* with respect to the permitted accessory use of live entertainment and where the sale or service of alcoholic beverages is incidental to the service of the establishment.
      - Added definition for *Special Event*, which shall mean any organized, temporary public or private celebration or gathering of people which requires a City temporary use permit.

- **Article III, District Regulations**
  - **Commercial General – Permitted Principal Uses (Section 16-472)**
    - Added Liquor Store to the permitted use Retail Package Liquors for clarity.
  - **Commercial Intensive – Permitted Principal Uses (Section 16-497)**
    - Added Liquor Store to the permitted use Retail Package Liquors for clarity.
    - Reorganized the permitted use Bar and/or Cocktail Lounges from the permitted use Retail Package Liquors due to these being two different uses.
- **Article IV, Supplementary District Regulations**
  - **Live Entertainment Permit (Section 16-609)**
    - Clarifies standards of review and approval for Live Entertainment Permits regarding noise, safety, and other public concerns.
  - **Mobile Food Dispensing Vehicles and Mobile Vendors (Section 16-721)**
    - Clarifies standards and criteria for Mobile Food Dispensing Vehicles and Mobile Vendors, to support diverse economic opportunities across businesses; and establishes standards for Mobile Food Dispensing Vehicles operating within the common area of residential developments.

### **III. Staff Analysis:**

#### ***Background:***

This Zoning Text Amendment is at the request of the City’s Development and Neighborhood Services Department to modify regulations in Chapter 16 related to Live Entertainment; revise such definition under Article I, In General; revise the permitted uses under Article III, District Regulations; and clarify the standards and criteria under Article IV, Supplementary District Regulations. Under Article IV, Supplementary District Regulations, the change also clarifies the standards and criteria for Mobile Food Dispensing Vehicles and Mobile Vendors and establishes standards for Mobile Food Dispensing Vehicles operating within the common area of residential developments. The primary objective of the amendment is to ensure establishments within the City operate within the limits of their permitted primary use and in a manner that protects the public health, safety, and welfare, and maintains City character.

These changes directly align with the goals, objectives, and policies of the City’s Comprehensive Plan, particularly its Economic Development Element, which aims to achieve a balanced, diversified, and sustainable economic structure that maximizes long-term economic growth.

#### ***Analysis:***

#### **LIVE ENTERTAINMENT**

Code revisions were approved in 2022, to acknowledge and allow for Live Entertainment with an approved Live Entertainment permit. Currently, Live Entertainment is interpreted as an accessory to principal commercial establishments like restaurants, bars, and lounges, involving live performances with amplified or non-amplified sounds indoors or outdoors. Concerns have arisen regarding businesses operating without a Live Entertainment permit and/or beyond operational requirements such as permitted hours, changing their primary use to a nightclub, and raising safety

issues for residents, the Palm Beach County Sheriff's Office (PBSO), and assembly issues for Fire Rescue. The proposed revision aims to balance the community's desire for such establishments with the safety concerns of the City; ensuring such establishments comply with all relevant local, state, and federal regulations.

**NIGHTCLUB**

Nightclubs which are currently prohibited are distinct from accessory Live Entertainment, as they are primary entertainment venues typically operating late at night with dancing, music, and performances, where food and drink are secondary. This revision continues to prohibit nightclubs in all zoning districts within the City and further clarifies that a Live Entertainment permit does not allow for nightclub activity. The amendment further provides criteria to determine whether an establishment is considered a nightclub.

**RESTAURANTS**

The definition of a Restaurant is clarified to address live entertainment as an accessory use with incidental sale or service of alcoholic beverages. This revision addresses concerns about restaurants that serve alcohol converting into nightclubs, especially after closing their kitchens and operating after approved the hours of operation of 2:00 am.

**MOBILE FOOD DISPENSING VEHICLES**

To accommodate expanding service patterns and modern business models, this revision aims to revise the standards related to parking; recognize Mobile Vendors not using a Mobile Food Dispensing Vehicle; and establishes standards for Mobile Food Dispensing Vehicles operating within the common area of residential developments. This revision aims to support diverse economic opportunities across businesses.

*Development Review Committee Staff Comments:*

The proposed Zoning Text Amendment was reviewed by the Development Review Committee on March 13, 2025, and recommended approval.

**IV. Zoning Text Amendment Criteria:**

A. *The need and justification for these changes:*

The proposed Zoning Text Amendment is necessary to address the changing demands of the City's commercial and entertainment industries. As the City grows, there is a greater need for clarity in defining the varied functions of commercial businesses, particularly when it comes to Live Entertainment and nightlife. These changes address gaps and inconsistencies in the Code, ensuring that definitions are explicit, detailed, and reflect current trends and operations. Following the Zoning Code revisions in circa 2022, it became evident that definitions for what constitutes a nightclub and Live Entertainment functions needed to be clarified and help enforce with distinct criteria and regulations. The revised standards will allow staff to accurately determine when an establishment should be designated as a nightclub, based on precise criteria such as operating hours, entertainment frequency, and the

presence of elements such as dance floors or cover charges. This will help to ensure more uniform zoning enforcement and better align business types with neighborhood expectations. To account for the current nature of these businesses, it is essential to update the definitions of Restaurant and Restaurant, fast-food. With the rise of mobile food sellers and expanding service patterns, current regulations no longer reflect the operational characteristics of modern restaurants. The proposed revisions will effectively reflect the nature of these businesses and establish clear standards for allowing Live Entertainment as an accessory use. These modifications will guarantee that businesses are appropriately classified, help mitigate potential conflicts between various types of uses and contribute to the City's diverse commercial landscape.

- B. *The relationship of the proposed amendments to the purpose and objectives of the City's Comprehensive Plan, and whether the proposed change will further the purposes of the City's Zoning Code regulations and other City codes, regulations and actions designed to implement the Comprehensive Plan.*

The proposed amendments directly align with the goals, objectives, and policies of the City's Comprehensive Plan, particularly its Economic Development Element, which aims to achieve a balanced, diversified, and sustainable economic structure that maximizes long-term economic growth. The City aims to serve as a central location for a diverse array of commercial operations that contribute to the local economy; by updating the definitions for Live Entertainment, Nightclub, Restaurants, and Special Events, the City is taking proactive steps to accommodate evolving business trends and create an environment that is conducive to diverse commercial activity. Improved standards for applications pertaining to live entertainment will foster a thriving commercial area where businesses can operate without conflict, strengthening the local economy. This is critical for establishing diverse economic opportunities that appeal to a wide range of businesses, from small, locally owned restaurants to eventually large entertainment areas. The restaurant definition modification also acknowledges the increasing role of new business models and will allow the City to better accommodate consumer and business trends, thereby fostering economic diversity and sustainability. By establishing clear definitions and permitting regulations, these modifications will attract businesses that provide a wide variety of services, promote tourism, and create employment opportunities in the City.

#### **V. Staff Recommendation:**

*Approval* of ZTA-25-02 through the adoption of Ordinance 2025-04.

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**PLANNING & ZONING BOARD OF APPEALS – March 13, 2025**

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The Planning and Zoning Board of Appeals on a motion made by Board Member Edmundson and seconded by Board Member Robarts, by a vote of four (4) to zero (0) recommended approval of Zoning Text Amendment *ZTA-25-02 (Chapter 16 Supplemental Regulations and Nightclubs)* as presented by staff.

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**CITY COUNCIL ACTION First Reading – April 7, 2025**

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**CITY COUNCIL ACTION Adoption Hearing**

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Attachments:

1. Draft Ordinance 2025-04

**ORDINANCE NO. 2025-04**

**AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA AMENDING THE CODE OF ORDINANCES AT ARTICLE I, IN GENERAL; ARTICLE III, DISTRICT REGULATIONS; AND ARTICLE IV SUPPLEMENTAL DISTRICT REGULATIONS; ALL OF CHAPTER 16, ZONING REGULATIONS, TO DEFINE LIVE ENTERTAINMENT AND NIGHTCLUBS; TO REVISE THE DEFINITIONS OF RESTAURANTS; TO REVISE THE STANDARDS AND CRITERIA ASSOCIATED WITH LIVE ENTERTAINMENT PERMITS AND MOBILE FOOD DISPENSING VEHICLES; TO CLARIFY PERMITTED USES; AND FOR OTHER PURPOSES; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN CODE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Greenacres City Council, as the governing body of the City of Greenacres (the "City"), pursuant to the authority vested in Chapter 163 and Chapter 166, Florida Statutes, is authorized and empowered to consider changes to its Land Development Regulations (Zoning Code);

**WHEREAS**, the City Council finds that this Ordinance is necessary for the preservation of the public health, safety and welfare of the City's residents;

**WHEREAS**, the City Council finds it periodically necessary to amend its Land Development Regulations to ensure consistency with the City's goals, enhance regulatory clarity, and accommodate evolving community needs;

**WHEREAS**, the City Council has determined that a need exists to update and modify criteria for current trends with live entertainment; and

**WHEREAS**, the City Council deems approval of this Ordinance to be in the best interest of the residents and citizens of the City of Greenacres;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:**

**SECTION 1.** Chapter 16, Zoning Regulations, Article I, In General, Division 1, of the City of Greenacres Code of Ordinances is hereby amended as follows (additions are indicated by underlining and deletions are indicated by strikethrough):

**Section 16-1. Definitions.**

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

***[The following definitions shall be placed within the list of definitions in alphabetical order. All other text to remain as-is and are omitted for brevity.]***

~~*Bar* shall mean a structure or part of a structure used primarily for the sale or dispensing of alcoholic beverages by the drink. (see Lounge)~~

*Live entertainment* shall mean a use accessory to the principal commercial establishment such as restaurants, bars, cocktail lounges, or other permitted commercial establishments wherein forms of entertainment consisting of amplified or non-amplified sounds, provided indoors or outdoors. Live entertainment may include live performance of one (1) or more persons, whether or not done for compensation and whether or not admission is charged, such as musical act; theatrical act, or stand-up comedy; dance; magic act; disc jockey; or similar activity. This term shall not include nightclubs. (see definition for nightclub)

~~*Bar and/or cocktail Lounge*~~ shall mean a building or portion of a building, wherein alcoholic beverages are either sold or dispensed by the drink by the establishment and only consumed on the premises. This term shall not include nightclub. (see definition for Nightclub)

*Nightclub* is not an allowed use within the City of Greenacres and shall mean any commercial use open after 10:00 p.m. that could reasonably be determined as a nightclub. For purposes of this Code, if any of the following conditions exist (excluding special events where a temporary use permit has been granted by the City), the establishment is a nightclub:

- (a) The establishment has a dance floor or other open area (for example established by the removal or rearrangement of furniture or tables) used by patrons for dancing or for viewing of live entertainment; or



(b) If none of the factors listed in subsection (a) above are present, and no special event permit has been approved by the city, then if any four (4) of the following conditions exist, the establishment is a nightclub:

1. The establishment is open to the public anytime between 10:00 p.m. and 7:00 a.m. on any day of the week;
2. The establishment charges a cover charge, door charge, required contribution, or one (1) time membership fee which is paid at the door, or has a minimum drink requirement;
3. Alcohol is sold, served, and/or consumed on the premises of the establishment at any time;
4. Advertisements for the establishment describe specific entertainment events or engagements (e.g., "Live Dancing Tonight"; "DJ Saturday Night"; "Live Music Tonight"), unless advertised in conjunction with an approved Live Entertainment Permit;
5. The establishment features a platform, musical staging area, or other open area used in connection with performances or entertainment, unless utilized in conjunction with an approved Live Entertainment Permit; and/or,
6. It is unlawful or prohibited by the establishment for persons under the age of 21 to patronize, visit, loiter, be admitted, or allowed access anytime between 10:00 p.m. and 7:00 a.m.
7. The presence of security personnel, bouncers, or similar staff hired specifically for ticket sales, crowd control, ID verification, or patron management during operations.

Restaurant shall mean an establishment whose primary business is the sale of food and nonalcoholic beverages to a patron, and whose design and method of operation where the sale or service of alcoholic beverages is incidental to its operation and constitutes less than fifty (50) percent of total sales and meets~~includes~~all of the following criteria:

- (1) Each patron places their order at their table from an individual handheld menu, which displays or describes the food and beverages available to them. During all hours of operation, restaurants shall continually have kitchen facilities and preparation staff capable of preparing and serving food. Food shall be continually available for preparation, service, and sale from the menu for the full occupant load of the establishment, including when alcoholic beverages are sold, otherwise the use may be deemed a bar and/or cocktail lounge or nightclub.

- (2) Food and beverages are regularly served to patrons while seated at their table by an employee of the establishment.
- (3) Preparation, service and consumption of food and beverages takes place within a completely enclosed building, accommodating at least eighty (80) percent of the establishment's permitted seating capacity.
- (4) Outside table dining is permitted in areas permanently designated for such use, and shall not exceed twenty (20) percent of the establishment's permitted seating capacity, and in no way shall permit the consumption of food or beverages within automobiles.

*Restaurant, drive-in or drive-through* shall mean any establishment whose principal business is the sale of foods, frozen desserts, or beverages to the customer in a ready-to-consume state, and whose design, method of operation, or any portion of whose business includes one (1) or all of the following characteristics:

- (1) Food and beverages are ordered from a limited menu posted in sign form within the primary food service building or on the premises.
- (2) Foods, frozen desserts, or beverages are served directly to the customer in a motor vehicle either by a carhop or by other means which eliminate the need for the customer to exit the motor vehicle.
- (3) The consumption of foods, frozen desserts, or beverages within a motor vehicle parked upon the premises, or at other facilities on the premises outside the restaurant building, is allowed, encouraged, or permitted.
- (4) The kitchen is in excess of fifty (50) percent of the total floor area.

*Special event* shall mean any organized, temporary public or private celebration or gathering of people which requires a City temporary use permit including but not limited to events relating to: athletic contests; carnivals; fairs; entertainment; music concert; art exhibitions; parades; fundraisers (such as religious, charitable, patriotic or philanthropic events); the sale of merchandise, food, alcohol; or any combination of the foregoing.

**SECTION 2.** Chapter 16, Zoning Regulations, Article III, District Regulations, Division 10, Commercial General, and Division 11, Commercial Intensive of the City of Greenacres Code of Ordinances are hereby amended as follows (additions are indicated by underlining and deletions are indicated by strikethrough):

***[Section 16-471 has been omitted for brevity.]***

**Section 16-472. Permitted principal uses.**

The permitted principal uses and structures in the commercial general (CG) district shall be:

***[Sections 16-472(1) through 16-472(5) have been omitted for brevity.]***

(6) Retail package liquors, liquor store.

***[Sections 16-472(7) through 16-472(23) have been omitted for brevity.]***

***[Sections 16-473 through 16-496 have been omitted for brevity.]***

**Section 16-497. Permitted principal uses.**

The permitted principal uses and structures in the commercial intensive (CI) district shall be:

***[Section 16-497(1) through 16-497(5) have been omitted for brevity.]***

(6) Retail package liquors, liquor store ~~cocktail lounges and bars~~.

***[Section 16-497(7) through 16-497(30) have been omitted for brevity.]***

(31) Bar and/or cocktail lounges.

**SECTION 3.** Chapter 16, Zoning Regulations, Article IV, Supplementary District Regulations, Division 1, Generally; and Division 6, Temporary Uses, of the City of Greenacres Code of Ordinances is hereby amended as follows (additions are indicated by underscoring and deletions are indicated by strikeout):

***[Section 16-606 through 16-608 have been omitted for brevity.]***

**Section 16-609. Live Entertainment Permit.**

(a) *Purpose.* The purpose of this section is to provide regulations which govern the provision of live entertainment at commercial establishments while protecting the quiet enjoyment of adjacent properties.

(b) *Applicability of permit.*

- (1) A live entertainment permit is required for all new and existing restaurants, bars, cocktail lounges, or other permitted commercial establishments to provide or use the following:
    - a. Outdoor live entertainment with or without amplified sound; and
    - b. Indoor live entertainment with or without amplified sound.
  - (2) A live entertainment permit is valid only for the specific establishment, location, and operator of establishment to whom it is issued.
  - (3) A live entertainment permit is not required for conducting a special event in accordance with section 16-718, which requires a permit for temporary uses.
  - (4) Live entertainment is accessory to the principal use of the establishment and ~~cannot be~~ shall not operate as a principal use for all or portion of the establishment, nor shall it be conducted in a manner that transforms the establishment into such as a concert or night-club use.
- (c) *Permit required; submittals.* Applications for a permit and renewal of a permit under this section shall be made to the building division on a form provided for such purpose by the city, and shall include, along with any other such information deemed reasonably necessary by the reviewers to implement and enforce the provisions of this section, the following:
- (1) The applicant shall submit the application for live entertainment with an application fee and ~~performance surety bond~~ in the form of a Bond, Letter of Credit, or another legal document acceptable to the City, amounts as set forth in the city's fee schedule;
  - (2) The name, location, and mailing address of the property owner and tenant (if applicable) proposing to use or provide live entertainment;
  - (3) The name, mailing address, and telephone contact information of the applicant and the written authorization of the property owner(s);
  - (4) A detailed summary of the proposed live entertainment, including the days and hours of operation, a description of the entertainment type, a description of the designated area within the premises where the live entertainment will take place, the number of entertainers, noise control and compliance with the Sound Management Plan, and any other relevant details. The submission shall also include labeled photos of the existing setup within all interior patron areas, including the designated live entertainment area, demonstrating that they align with the approved Life Safety Plan;
  - (5) The name, mailing address, email address, and telephone contact information of a designated contact person, available 24/7, who shall serve as the primary

point of contact for compliance, enforcement, and any other live entertainment permit-related matters;

- (46) A location plan indicating, at a minimum, the location of the live entertainment, stage/area for entertainment, speakers, and/or location of any other equipment/facilities that will be used as a part of the live entertainment activities; and
  - (57) A Life Safety Plan consistent with the latest version of the Florida Fire Prevention Code, NFPA 101, detailing, at a minimum, all relevant and required safety features including but not limited to occupancy type, occupant load, fire-rated walls, exit signs, emergency lighting, travel distances, common path of travel, and the designated area dedicated to the live entertainment use; and,
  - (8) A sound management plan which sets forth the methods to be utilized to ensure compliance with the noise limitations set forth in this Code and any other requirements set forth in this Code or the city's Standard Operating Procedures (SOP) for live entertainment permitting (if adopted by the development and neighborhood services department).
- (d) Standards for review. When considering applications for a live entertainment permit, the city shall consider the following criteria, all of which must be satisfied in order for a live entertainment permit to be issued:
- (1) The amount and type of screening, buffering, and separation between the subject establishment and adjacent establishments and properties, including type, dimensions, and character, shall be clearly depicted on the submitted plans and must be sufficient to mitigate sound impacts on adjacent establishments and properties;
  - (2) The land and buildings which are the subject of the application must be of sufficient size, shape, type of building, and the like to ensure the proposed live entertainment can be accommodated without negative impact on adjacent establishments and properties;
  - (3) The proposed live entertainment shall be compatible with adjacent establishments, properties, and the surrounding area and shall not cause a nuisance. Compatibility shall be assessed based on hours of operation, noise levels, and other potential nuisance factors, including but not limited to odor, smoke, glare, electrical interference, and mechanical vibrations;
  - (4) Off-street parking and loading for the existing use must be adequate and designed to meet operational needs and parking regulations for the property the use is located on. The proposed live entertainment shall not generate an additional parking demand for the use;

- (5) The establishment shall have adequate space for the intended live entertainment to ensure compliance with the approved Life Safety Plan and to prevent any deviations from the approved Life Safety Plan;
- (6) If an establishment has a documented history of activities that negatively impacts public safety or well-being, or is identified as a public nuisance; and,
- (7) The applicant shall not have had a live entertainment permit denied or revoked within the past twelve (12) months.

~~Transferability. A live entertainment permit may be transferred in accordance with the following provisions:~~

- ~~(1) When a sale or change in ownership occurs to an establishment that has an existing valid live entertainment permit, a request to transfer the permit may be made with the new business tax receipt to the planning, engineering, and GIS division;~~
  - ~~(2) The transfer request shall not include any proposed changes to the previously approved sound management plan. If changes are proposed, the applicant shall apply for a new live entertainment permit;~~
  - ~~(3) The performance bond as required by this section shall be provided by the new holder of the business tax receipt; and,~~
  - ~~(4) Upon the issuance of any new live entertainment permit, a new twelve-month period shall commence in accordance with subsection (f) below.~~
- (e) *Standard conditions of approval for all permits.* The following are standard conditions of approval for all live entertainment permits.
- (1) Sound generated by or emanating from establishments that are using or providing live entertainment shall comply with the noise limitations set forth in this Code;
  - (2) Hours of live outdoor entertainment shall not extend beyond 10:00 p.m. unless:
    - a. Specific approval is received through the application and issuance of a special events permit in accordance with section 16-718, special events; or
    - b. The applicant submits a sound management plan, certified by an acoustical engineer, which verifies that sound levels generated will remain within the standards set forth in this Code and further complies with the SOP (if any) for live entertainment permitting. A copy of the adopted SOP (if any) shall be kept on file with the city clerk and shall be available for public inspection during normal business hours.
  - (3) For indoor live entertainment, all windows and doors shall remain closed at all times during live entertainment activities, except as necessary for patron and staff momentary ingress and egress;

- (4) Compliance with the approved Life Safety Plan shall be maintained during all hours of operations;
- (5) A platform, staging area, or similar feature shall not be used for any purpose other than the approved live entertainment;
- (6) Establishments must comply with all applicable hours of operation. Once the establishment has closed for business, patrons must immediately vacate the premise and the property to prevent loitering or disturbances; and
- (7) Such other conditions of approval to ensure the live entertainment does not negatively impact the quiet enjoyment of adjacent properties.
- (f) Transferability. A live entertainment permit may be transferred in accordance with the following provisions:
  - (1) When a sale or change in ownership occurs to an establishment that has an existing valid live entertainment permit, a request to transfer the permit may be made with the new business tax receipt to the planning, engineering, and qis division. Failure to submit a transfer request at that time shall render the live entertainment permit null and void;
  - (2) The transfer request shall not include any proposed changes to the conditions, safeguards, or stipulations imposed during live entertainment permit approval. If changes are proposed, the applicant shall apply for a new live entertainment permit;
  - (3) The surety as required by this section shall be provided by the new holder of the business tax receipt; and,
  - (4) Upon the issuance of a transferred live entertainment permit, the permit shall remain valid through September 30th of that year, at which point it must be renewed in conjunction with the Business Tax Receipt renewal process, in accordance with subsection (g) below.

~~Standards for review. When considering applications for a live entertainment permit, the city shall consider the following:~~

- ~~(1) The amount and type of screening, buffering, or separation between the establishment and adjacent properties, with reference to type, dimensions, and character, shall be fully and clearly depicted on the submitted plans and must be adequate to mitigate sound impacts upon adjacent properties; and~~
  - ~~(2) The land and buildings which are the subject of the application must be of sufficient size, shape, type of building, and the like to ensure the proposed live entertainment can be accommodated without negative impact on adjacent properties.~~
- (g) *Issuance, renewal and revocation.*

- (1) The live entertainment permit may be issued or renewed by the development and neighborhood services director or designee. If the city issues a live entertainment permit or renews a live entertainment permit, the permit shall be in effect for twelve (12) months from the date of issuance or renewal by the city Live Entertainment Permit unless earlier revoked as stated herein. Live entertainment permits shall expire on September 30th of each year and must be renewed annually in conjunction with the Business Tax Receipt renewal, which becomes effective on October 1st, unless revoked earlier as provided herein.
- (2) A live entertainment permit must be renewed prior to its expiration on September 30th each year. The commercial establishment must apply for a renewal of the existing permit before the expiration date. After twelve (12) months, the permit or renewed permit shall expire and the commercial establishment must apply for a new permit or a renewal of the permit. A renewed permit may be granted by the city if there are no changes to the conditions for granting of the original permit including without limitation no changes in the sound management plan. If the performance surety bond submitted with the previously issued permit has expired, a new performance surety bond must be submitted with the application to renew. If a live entertainment permit expires, the City will return the surety only upon receipt of an affidavit from the commercial establishment attesting that no live entertainment has occurred or will occur, and that there have been no violations of the City Code or other applicable laws, and that there are no pending enforcement actions related to the permit. and a renewal is not sought within thirty (30) days, the city will return the performance bond to the commercial establishment. Establishments that have been the subject of complaints resulting in an Order issued by the City's Special Magistrate, or that have been found by a civil or criminal court to be in violation of the City Code or other applicable law(s), shall require City Council approval prior to the renewal of the permit. If City Council denies renewal, the establishment shall be prohibited from reapplying for a period of one (1) year from the date of such denial.
- (3) The city may revoke a live entertainment permit if the commercial establishment violates any terms and conditions of the permit, the sound management plan, this section, or is found in violation of other provisions of this Code which relate to the operation of the commercial establishment. If the city revokes a live entertainment permit, it shall send written notice to the commercial establishment of the revocation and may retain the performance surety bond if the grounds for the revocation include a violation of the sound management plan. The commercial establishment may appeal the revocation to the city's special magistrate within twenty (20) days of receipt of the notice of revocation. Such appeal will then be heard within thirty (30) days of the city's receipt of the appeal and notice of the hearing will be sent to the commercial establishment by regular



first-class mail. A commercial establishment whose live entertainment permit ~~is~~ has been revoked (and such revocation upheld if appealed) may ~~re-~~apply for a new live entertainment permit only after the passage of twelve (12) ~~six (6)~~ months after from the date of revocation with sufficient showing that all grounds for the revocation have been corrected.

- (h) Enforcement. The provisions of this section may be enforced through standard code enforcement procedures and the alternative citation procedures provided in chapter 2. If an establishment provides live entertainment without a permit or in violation of an establishment's permit or in violation of the requirements of this section, the violation is deemed irreparable in nature and the violator may be required to pay a fine not to exceed five thousand dollars (\$5,000.00) per violation. Each day such a violation continues to exist shall be deemed a new violation, subject to additional fines and enforcement action. The city may retain the ~~performance surety~~ bond, in whole or in part, to pay any fines or costs assessed if the commercial establishment is found in violation.

***[Section 16-610 through 16-720 have been omitted for brevity.]***

**Section 16-721. Mobile Food Dispensing Vehicles and Mobile Vendors.**

No person, natural or corporate, including ~~without limitation~~ but not limited to mobile vendors, shall conduct any business or otherwise operate from within or on the public rights-of-way within the municipal limits of the city. Specifically prohibited under this section is the sale of food of any kind, goods, wares, or merchandise from a vehicle or cart whether motorized or not, regardless of the number of wheels affixed thereto, or on foot.

- (b) Except as authorized in subsection (d), (e) and (f) of this section, mobile vendors are prohibited from operating in any capacity on private or public property in the city. The foregoing prohibition shall not apply to a mobile vendor who has voluntarily executed a vendor agreement with the city for operation in a public area which is incidental to a city special event with the terms and conditions of the vendor agreement governing the operation of the mobile vendor.
- (c) Prior to operating within the city, all mobile food dispensing vehicles must receive an annual city fire department safety inspection at a location determined by the fire department. The fire department safety inspection is for the safety of the general public to ensure the mobile food dispensing vehicle complies with all applicable federal, state, and local fire safety statutes, regulations, ordinances, and codes. There shall be no charge for the safety inspection; however, each mobile food

dispensing vehicle must receive a safety inspection on an annual basis from the fire department. Failure to obtain a safety inspection prior to operating a mobile food dispensing vehicle in the city may result in an irreparable code compliance violation, which may result in fine of up to five thousand dollars (\$5,000.00) per violation.

- (d) Active construction site requirements. Mobile food dispensing vehicles, which possess an active license under F.S. § 509.241, and pass the annual city fire department safety inspection, are authorized to operate on all active construction sites within the city on a temporary basis, irrespective of the zoning category, subject to the following requirements:
- (1) Written permission shall be obtained from the developer, or property owner, for the mobile food dispensing vehicle to operate on the construction site ~~shall be obtained~~ prior to the mobile food dispensing vehicle commencing operations on the construction site. A copy shall be provided to the city upon request.
  - (2) The mobile food dispensing vehicle's food and beverage service shall only be offered to persons engaged ~~at the construction site who are engaged~~ in the construction project on site.
  - (3) The mobile food dispensing vehicle shall provide for the collection and removal of all waste related to the mobile food dispensing vehicle's operation.
  - (4) The mobile food dispensing vehicle shall be removed from the construction site when not in operation and shall not be permitted to operate on site outside the authorized hours of construction as set forth in section 7-56 of this Code.
  - (5) No operation of the mobile food dispensing vehicle may occur off the property on which the construction site is located.
  - (6) No alcohol may be sold, dispensed or provided by the mobile food dispensing vehicle.
  - (7) The mobile food dispensing vehicle shall be parked in such a way as to avoid parking in the public right-of-way; in a fire lane; blocking fire hydrant(s); blocking or parking in Americans with Disabilities Act (ADA) accessible parking spaces and/or accessible ramps; parking in drive aisles, loading areas or "no parking" zones; and, parking in such a manner that impeded on-site circulation.
  - (8) To be an "active construction site" under this provision, the parcel or property must have an active building permit for the pending construction project.
- (e) Mobile food dispensing vehicles, which possess an active license under F.S. § 509.241, and pass the annual city fire department safety inspection, are authorized to operate in the commercial general (CG), land development (zoning) district and the commercial intensive (CI) zoning districts and development common areas of properties owned or operated by a Homeowners Association (HOA) or Property Owners Association (POA) within Residential Low Density (RL), Residential Medium

(RM), Residential High (RH), Residential Mobile Home (RMH)~~(zoning)~~ districts subject to the following requirements:

- (1) Written permission from the property owner for the mobile food dispensing vehicle to operate at the property shall be obtained prior to the mobile food dispensing vehicle commencing operations on the property. A copy shall be provided to the city upon request.
- (2) Only one (1) mobile food dispensing vehicle shall operate per parcel, including any property consisting of multiple parcels joined under a unity of title or governed by a single city approved site plan, except as may be permitted by a temporary use permit obtained by the property owner and issued by the city.
- (3) Mobile food dispensing vehicles shall not operate earlier or later than those of the principal business on the property; however, in no event shall a mobile food dispensing vehicle be allowed to operate or remain on the property after 9:00 p.m. or before 7:00 a.m., unless operating during the approved hours of a temporary use permit issued for the property pursuant to section 16-718.
- (4) A mobile food dispensing vehicle shall be removed from the property when not in operation. The property where the mobile food dispensing vehicle is located shall be thoroughly cleaned at the time of removal and all waste related to the mobile food dispensing vehicle operation shall be promptly removed from the property.
- (5) No fluids or toxic pollutants shall be discharged from a mobile food dispensing vehicle at any time.
- (6) Public restrooms shall be available on the property for customers of mobile food dispensing vehicle.
- (7) A mobile food dispensing vehicle shall not be placed upon or operate from any required parking spaces. This provision shall be construed to mean that if a parcel includes a greater number of parking spaces than required pursuant to the approved site plan, or this chapter, a mobile food dispensing vehicle may be placed upon or operate from designated parking spaces equal to or lesser than the number of parking spaces that exceed those required. On-site parking requirements shall be maintained for the principal use of, as well as for customers of the mobile food dispensing vehicle. The Provided, however, in no event shall a mobile food dispensing vehicle shall not be parked in or operate from any restricted parking zones such as but not limited to fire lanes; or blocking fire hydrants; in Americans with Disabilities Act (ADA) accessible parking spaces and/or accessible ramps; on an unimproved surface (e.g., dirt, sand, vacant lot, etc.); or, in any driveway aisles, "no parking" zones, or loading-only areas.
- (8) No mobile food dispensing vehicle shall operate within five hundred (500) feet of the grounds of any childcare center/preschool facility or elementary, middle

- or high school between one (1) hour prior to the start of the school day and one (1) hour after dismissal at the end of the school day.
- (9) No mobile food dispensing vehicle shall operate in such a way as would restrict or interfere with the ingress or egress of the abutting property owner or tenant; create or become a public nuisance; increase traffic congestion or delay or constitute a hazard to traffic; constitute a hazard to life or property; or, obstruct adequate access by fire/medic, police or sanitation vehicles.
  - (10) Mobile food dispensing vehicles shall not display its products off of the mobile food dispensing vehicle.
  - (11) Mobile food dispensing vehicles shall not provide or make use of tables, seats, umbrellas or similar furnishings for customers, with exception of waste receptacles.
  - (12) All mobile food dispensing vehicles must provide for their own waste collection and removal such that no waste remains on the property upon which the vehicle operated. Mobile food dispensing vehicles are prohibited from utilizing city-owned receptacles for collection or disposal of waste.
  - (13) Mobile food dispensing vehicles shall not post or utilize any advertising, except that the prices, product descriptions and name of the mobile food dispensing vehicle may be posted on the vehicle. Mobile food dispensing vehicles shall not post or utilize any freestanding advertisements, flags, balloons, streamers, flashing lights, banners, or other similar attraction devices or utilize a person(s) to advertise the mobile food dispensing vehicle. Mobile food dispensing vehicles shall not use a public address system(s) or amplified music.
  - (14) Mobile food dispensing vehicles shall not sell or dispense food to customers in a moving vehicle or otherwise engaging in drive-up sales.
  - (15) No alcohol may be sold, dispensed or provided by the mobile food dispensing vehicle.
  - (16) Mobile food dispensing vehicles operating within residential zoning districts shall only operate within designated common areas of properties owned or operated by a Homeowners Association (HOA) or Property Owners Association (POA) as defined and depicted on the approved site and development plan, for a maximum of one (1) calendar day per month within a 12-month period.
- (f) Mobile vendors, who do not utilize a mobile food dispensing vehicle, may operate within the city upon obtaining a temporary use permit pursuant to section 16-718 from the city; however, the mobile vendor shall be subject to the same requirements ~~set forth in~~ of subsection (c) annual fire department safety inspection, subsection (e) operational criteria above for mobile food dispensing vehicles (as applicable), and any other terms and conditions of the temporary use permit.

***[Section 16-722 through 16-735 have been omitted for brevity.]***

**SECTION 4. Repeal of Conflicting Ordinances.** All other ordinances or parts thereof or parts of the Code conflicting or inconsistent with this ordinance are hereby cancelled, repealed or revised to be consistent with provisions and elements of this Ordinance.

**SECTION 5. Severability.** If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

**SECTION 6. Inclusion in the Code.** It is the intention of the City Council, entered as hereby ordained, that the provisions of this Ordinance shall become and be made a part of the Code of Ordinances of the City of Greenacres, Florida; that the Section(s) of this Ordinance may be renumbered or re-lettered to accomplish such intention, and that the word "Ordinance" may be changed to "Section", "Article" or another word.

**SECTION 7. Effective Date.** The provisions of this Ordinance shall become effective immediately upon adoption.

Passed on the first reading this \_\_ day of \_\_, 2025.

PASSED AND ADOPTED on the second reading this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
**Chuck Shaw**, Mayor

**Attest:**

\_\_\_\_\_  
**Quintella Moorer**, City Clerk

*Voted:*

\_\_\_\_\_  
**Judith Dugo**, Deputy Mayor, *District III*

*Voted:*

\_\_\_\_\_  
**John Tharp**, Council Member, *District I*

*Voted:*

\_\_\_\_\_  
**Peter Noble**, Council Member, *District II*

*Voted:*

\_\_\_\_\_  
**Susy Diaz**, Council Member, *District IV*

*Voted:*

\_\_\_\_\_  
**Paula Bousquet**, Council Member, *District V*

**Approved as to Form and Legal Sufficiency:**

\_\_\_\_\_  
**Glen J. Torcivia**, City Attorney

# **Business Impact Estimate**

Proposed ordinance's title/reference:

## **Ordinance No. 2025-04**

**AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA AMENDING THE CODE OF ORDINANCES AT ARTICLE I, IN GENERAL; ARTICLE III, DISTRICT REGULATIONS; AND ARTICLE IV SUPPLEMENTAL DISTRICT REGULATIONS; ALL OF CHAPTER 16, ZONING REGULATIONS, TO DEFINE LIVE ENTERTAINMENT AND NIGHTCLUBS; TO REVISE THE DEFINITIONS OF RESTAURANTS; TO REVISE THE STANDARDS AND CRITERIA ASSOCIATED WITH LIVE ENTERTAINMENT PERMITS AND MOBILE FOOD DISPENSING VEHICLES; TO CLARIFY PERMITTED USES; AND FOR OTHER PURPOSES; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN CODE; AND PROVIDING FOR AN EFFECTIVE DATE.**

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. This Business Impact Estimate may be revised following its initial posting.

In accordance with the provisions of controlling law, even notwithstanding the fact that an exemption may apply, the City hereby publishes the following information:

1. Summary of the proposed ordinance (must include a statement of the public purpose, such as serving the public health, safety, morals and welfare):

The proposed ordinance is a City-initiated amendment designed to serve a public purpose by adding definitions for Live Entertainment and Nightclub, revising the definitions for restaurants, clarifying the standards and criteria related to Live Entertainment Permits and Mobile Food Dispensing Vehicles, and clarifying permitted uses.

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the City, if any:

The proposed ordinance does not impose any new fee or cost and is not expected to have a direct economic impact on private for-profit businesses or the City's regulatory costs.

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

The proposed ordinance would require all businesses within the City to comply with land development regulations related to the proposed standards and criteria established for Live Entertainment Permits and Mobile Food Dispensing Vehicles.

4. Additional information the governing body deems useful (if any):

Not applicable.





## ITEM SUMMARY

**MEETING DATE:** April 7, 2025

**FROM:** Denise Malone, AICP, Director Development and Neighborhood Services

**SUBJECT:** **Resolution 2025-11, SP-23-03**  
Garden Square Townhouse Development Site & Development Plans

### BACKGROUND

Jeanne Ducharme of Coteleur & Hearing, agent for the owners, MF Associates Greenacres, LLC, is requesting approval for Site and Development Plans to construct forty-four (44) two-story townhouse residential units. The site is located approximately 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645 Chickasaw Road.

The Development Review Committee has reviewed this proposal and recommended approval, followed by the Planning and Zoning Board of Appeals which recommended approval by a vote of 4-0 at their meeting on March 13, 2025.

### ANALYSIS

The applicant is requesting approval for the Site and Development Plans to construct a Townhouse Development consisting of forty-four (44) two-story townhouse units on a 4.99-acre site. The development will feature townhouses designed with four (4) buildings typologies consisting of five-units and six (6) building typologies consisting of four-units, two-story building configuration, each unit consisting of four (4) bedrooms and two (2) bathrooms and one (1) powder room for a total of ten (10) building groupings. A Homeowners Association will maintain the common areas of the project to include the private amenity, which is a 3,403 square foot tot lot playground area.

The site will have one (1) ingress and egress point onto Chickasaw Road for vehicular access with pedestrian access by sidewalk connections on both sides of the ingress and egress points; the applicant has provided concrete crosswalks within the development. The parking for the development consists of a total of 174 parking spaces. Parking for the townhouses includes three (3) to four (4) parking spaces located at each unit, comprising one (1) and two (2) garage parking space(s) and two (2) driveway parking spaces per unit.

The proposal has satisfied the City Code requirements for approval of the Site and Development Plans and Staff's findings of fact are indicated in the staff report with twenty-nine (29) conditions of approval. Specifically, the proposed project meets yard setback requirements, and the buildings do not exceed the allowable height. The applicant has obtained all outside agency concurrency requirements, including the Traffic Performance Standards from Palm Beach County, which has a build-out date of December 31, 2027.

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**FINANCIAL INFORMATION**

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Prior to the issuance of any Building Permits, the applicant will be required to pay all applicable impact fees including amounts due under the City's Arts in Public Places (AIPP) Program.

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**LEGAL**

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Resolution 2025-11 was prepared in accordance with all applicable State Statutes and City Code requirements. The document has been reviewed for legal sufficiency.

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**STAFF RECOMMENDATION**

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*Approval of SP-23-03 through the adoption of Resolution 2025-11.*

**RESOLUTION NO. 2025-11**

**A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, APPROVING THE APPLICATION FOR SITE AND DEVELOPMENT PLANS TO CONSTRUCT FORTY-FOUR (44) TWO-STORY TOWNHOUSES WITHIN A RESIDENTIAL HIGH DENSITY ZONING DISTRICT, LOCATED APPROXIMATELY 1,384 FEET WEST OF JOG ROAD ON THE NORTH SIDE OF CHICKASAW ROAD AT 6645 CHICKASAW ROAD, AS REQUESTED BY THE APPLICANT, JEANNE DUCHARME OF COTLEUR & HEARING, AGENT FOR THE OWNERS, MF ASSOCIATES GREENACRES, LLC; PROVIDING FOR REPEAL OF CONFLICTING RESOLUTIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Applicant, Jeanne Ducharme of Cotleur & Hearing, as agent for the property owners, MF Associates Greenacres, LLC, has made an application for Site & Development Plans approval for the construction of forty-four (44) two-story townhouses within a Residential High Density zoning district, located approximately 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645 Chickasaw Road; and

**WHEREAS**, the applicant presented this matter to the Development Review Committee of the City of Greenacres which provided comments to the Planning, Engineering, and GIS Division which, in turn, recommended approval of the Site Plan to allow for construction of a forty-four (44) two-story townhouses located 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645 Road, with the conditions identified herein; and

**WHEREAS**, the Planning and Zoning Board of Appeals held a public hearing March 13, 2025, reviewed the applicant's request, and made a recommendation on the application with a vote of 4 to 0; and

**WHEREAS**, this matter has been presented to the City Council for final approval, and the Council has voted to approve the Site & Development Plan for the construction of forty-four (44) two-story townhouses within a Residential High Density zoning district, located approximately 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645

Chickasaw Road, subject to the conditions of approval and staff recommendation at the April 07, 2025 Public Hearing.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:**

**SECTION 1.** The Application, SP-23-03, a Site & Development Plan is hereby APPROVED for construction of forty-four (44) two-story townhouses within a Residential High Density zoning district, located approximately 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645 Chickasaw Road, subject to the conditions of approval contained herein, which are in addition to the general requirements otherwise provided by resolution for real property as follows:

**Legal Description**

TRACT 36 BLOCK 22, "PALM BEACH FARMS COMPANYS PLAT NO. 3 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK : PAGES 45 THROUGH 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA AND CONTAIN 4.993 ACRES, MORE OR LESS.



**Subject site is outlined in red**

**SECTION 2.** All resolutions in conflict herewith are hereby repealed.

**SECTION 3.** This resolution shall be effective upon its adoption subject to the following conditions, which shall be responsibility of and binding upon the Applicant, its successors, or assigns:

1. The most stringent requirements of this DNS Staff Report and Recommendation dated March 10, 2025, and strict compliance with the Site and Development Plan exhibits stamped approved by the City of Greenacres and listed below, which are attached hereto and made part hereof as Exhibit "A"
  - A. SP-23-03 Garden Square Townhouse Development **Final Site Plan**, Sheets FSP-1 through FSP-3, received by DNS on March 07, 2025, and prepared by RO/JS/DEH Donaldson Coutleur & Hearing
  - B. SP-23-03 Garden Square Townhouse Development **Landscape Plans**, Sheets LP-1 of 9 through LP-2 of 9 (total 9 sheets misnumbered), received by DNS on March 10, 2025, and prepared by HK/DEH Donaldson Hearing of Cotleur & Hearing

- C. SP-23-06 SP-23-03 Garden Square Townhouse Development **Photometric Plan**, Sheet PH-1, received by DNS on February 03, 2025, and prepared by Bradley Lane Brown, P.E. of KAMM Consulting
  - D. SP-23-03 Garden Square Townhouse Development **Architectural Plans** and Elevations, Sheets CS, A1.0 through A.2.0 for 5-unit plans and 4-units plans (18 sheets total), received by DNS on March 07, 2025, and prepared by Casey Najjar, P.E. of CDN Engineering, Inc.
  - E. SP-23-03 Garden Square Townhouse Development **Civil/Engineering Plans**, Sheets C0.0 through C9.1, received by DNS on March 7, 2025, and prepared by Gabriel D. Burden of Civil Design, Inc
2. The project shall be subject to the City's required parks and recreation and governmental services land dedication in accordance with Article IV of the Subdivision Regulations. The requirements are 2 acres per 1,000 population for governmental services and 5 acres per 1,000 population for parks and recreation. Based upon 44 townhouse units x 2.2 persons per unit = 96.8 /1,000 = .097 x (5 + 2) – the 10% credit to the parks and recreation dedication for the private recreation = a total land dedication of 0.63 acres. In lieu of land dedication, the developer shall be required to pay a fee equal to the combined value of the required land dedication to be determined in accordance with Sections 12-83 and 12-93 of the City's Subdivision Regulations. The fee shall be paid prior to the issuance of Building Permits. (Engineering)
  3. The project shall be required to pay the City's Arts in Public Places (AIPP) public art fee if the total construction costs are two hundred fifty thousand dollars (\$250,000) or greater, in accordance with Section 16-661. The public art fee is calculated at one (1) percent of the total construction costs of the project. The contribution shall be placed in the city's public art fee fund and the contributor shall have no input in the use of such funds. The contribution shall be divided into two (2) payments as follows:
    - A. Prior to Building Permit Issuance: The developer shall submit to the building division/finance department a preliminary certification of the total construction costs. This preliminary certification shall be used to calculate the developer's initial payment of thirty (30) percent of the contribution. The developer shall make this initial payment to the building division/finance department prior to the issuance of the building permit.
    - B. Prior to Issuance of the Final Certificate of Occupancy: The developer shall submit to the building division/finance department a final certification of the total construction costs. This final certification shall be used to calculate the outstanding portion of the contribution. The developer shall pay the outstanding portion of the contribution prior to the issuance of the final certificate of occupancy for the project. (Building and Planning)

4. Any site permits required and/or obtained shall be maintained in an active status with the respective permitting agency until all the work covered by the permit is satisfactorily completed, any applicable inspections passed and officially closed out with the City. (Building, Planning, Engineering and Public Works)
5. Permits from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), and Palm Beach County Land Development, as required, for the stormwater management system, must be obtained prior to the issuance of an Engineering Permit. (Engineering)
6. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
7. An Engineering Permit, issued by the City of Greenacres, is required prior to any sitework or construction activities outside of the proposed structures and work related to subdivision and/or development improvements taking place. The Engineering Permit must be closed out prior to the Certificate of Occupancy (CO) for the 39<sup>th</sup> townhouse dwelling unit being issued. No Engineering Permit shall be issued for construction or work until an approved cost estimate and a bond for all sitework has been posted. (Engineering)
8. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD and City of Greenacres must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test. Additionally, documentation detailing the maximum impervious surface allowances for both the overall community and individual lots, as acceptable to the City Engineer, must be provided. All required documents must be submitted with the application for Engineering Permits. (Engineering)
9. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of **December 31, 2027**, unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
10. The site must be platted prior to the issuance of Engineering Permits. Any unused existing easements and rights-of-way on the subject property shall be abandoned prior to platting. (Engineering)
11. Driveway connection and/or right-of-way construction permits from Palm Beach County Land Development must be obtained prior to the approval of the Final Plat. Any existing driveway connections on site which will become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering)

12. Documentation establishing a Homeowner's Association governing all exterior elements of the project including but not limited to uniformity of exterior elevations, coordinated roof replacement, access and maintenance to the private road right-of-way and parking, common area maintenance, uniformity in fencing and accessory structures such as screen enclosures, ensuring any fencing including privately owned fences along the property line will not conflict with or impact the development's required landscaping or the ability of the HOA to access and maintain such landscaping, prohibition of habitable space additions, enforcement of parking regulations, prohibitions on the expansion of driveways, and prohibitions on the expansion of impervious surfaces in accordance with Condition #9 shall be provided to the City in a form acceptable to the City Attorney prior to approval of the Final Plat. (Engineering and City Attorney)
13. In accordance with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. An NPDES Permit shall be provided to the City, prior to any site activity, as part of the Engineering Permit. (Planning, Engineering, Building and Public Works)
14. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning, Engineering and Building)
15. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
16. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened from view. No equipment shall be taller than the proposed screening. (Planning and Building)
17. Landscaping shall be maintained in perpetuity in accordance with the City's Landscaping Regulations and the approved Landscaping Plan, including specifications for plant size, number, location, and type of landscaping material. All plant life shown on an approved landscape plan shall be replaced if it dies, is seriously damaged, or removed. All plant material shall be kept reasonably free of visible signs of pests, infestation, or disease. (Planning)
18. A certified cost estimate by a FL Registered Landscape Architect or Engineer, for the project's landscape materials, installation, irrigation and labor to establish a 1-year maintenance financial guarantee or financial security in a form acceptable to the City Attorney in the amount of 110% of the estimate shall be posted for the project's landscaping, in addition to the other bonds required for site improvements. The owner shall provide this financial guarantee or financial security before the City performs any



landscape inspection or issues a Certificate of Occupancy. If the project's landscaping is not maintained, the City may use the financial guarantee or financial security to maintain or replace dead or unacceptable landscape materials and irrigation components after providing written notice to the property owner. (Planning and Engineering)

- a. The project Landscape Architect shall conduct a field inspection at substantial completion of the project to verify that the landscape and irrigation installation complies with the approved plans and is healthy and flourishing before the project's 1-year maintenance financial guarantee/security period begins. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City inspection of the landscape installation.
  - b. The project Landscape Architect shall conduct an interim field inspection near the 6-month mark of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request an interim City re-inspection of the maintained landscaping at the 6-month mark of the maintenance financial guarantee/security period.
  - c. The project Landscape Architect shall conduct a field inspection near the completion of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City re-inspection of the maintained landscaping 30 days prior to the end of the maintenance financial guarantee/security period.
  - d. Upon passing the final re-inspection, the property owner may request in writing the release and return of any remaining financial guarantee/security. If the location fails the final re-inspection, the financial guarantee/security shall not be released to the property owner. Once the property owner completes the required improvements, the financial guarantee/security shall be released. If these necessary improvements do not occur, the City may use the financial guarantee/security to maintain or replace landscape items as necessary.
19. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Landscaping Plan additions may be necessary to meet Code requirements if existing material is unsuitable to remain. (Planning)
20. By the initial landscape inspection, all existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants in perpetuity. (Planning)

21. Fences shall not be allowed in any front yards. Fences shall be constructed in accordance with the 6ft Privacy PVC fence as detailed on the Detail Plan, Sheet LP-4. Fencing shall not conflict with or impact the development's required landscaping, ensuring that all required landscaping elements, including trees, shrubs, and groundcover, remain intact. Fencing shall not impede the HOA's ability to access and maintain the required landscaping or any easements. (Planning and Building)
22. Screen enclosures with screen roofs and open patios may only be located in the rear yard and shall provide a minimum rear setback of 5' and may have a minimum side setback of 0' on the zero-lot line(s) and shall not extend beyond the unit side wall on end units. All screen enclosures shall be consistent in color, materials, and style. Hard roof enclosures are not allowed. (Planning)
23. The developer shall enter into a Traffic Control Jurisdiction Agreement with the City of Greenacres to provide for the enforcement of parking and traffic regulations within the development. This agreement must be approved by the City prior to the issuance of any residential Certificates of Occupancy. (Building and Planning)
24. The expansion of driveways beyond the dimensions depicted in the Site and Development Plan is strictly prohibited. (Planning)
25. No more than 11 Certificates of Occupancy (25% of project total) shall be issued prior to the start of construction of the recreation amenities and no more than 22 Certificates of Occupancy (50% of project total) prior to the completion of the recreation amenities. (Planning and Building)
26. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
27. Non-compliance with any of the conditions of approval will result in the withholding of the issuance of building permits and a Certificate of Occupancy. (Planning, Engineering, and Building)
28. The Site and Development Plan shall be revised as necessary and as otherwise noted herein to reflect all conditions of approval and re-submitted, prior to the Final Plat. (Planning, Building, Engineering and Public Works)
29. The conditions of approval herein shall apply to the Owner, Applicant, and their successors and assigns. Deviation from any portion of the approved Site and Development Plans, or failure to comply with any requirement, condition or safeguard imposed by the City during the approval procedure shall render the Site and Development Plans approval null, void, and of no further effect upon determination by the City Council. (Planning)

**30. CITY ADVISORY NOTICES:**

- (1) **Development permits and orders.** As provided by subsection 166.033(6), Florida Statutes, issuance of a development permit by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- (2) **No Guarantee by City.** It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.
- (3) **Indemnification.** The Owner/Developer shall indemnify and hold the City harmless from any and all claims, demands, disputes, costs, expenses, (to include attorney's fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the use or development of the Property, except those claims or liabilities by or arising from gross negligence or intentional acts of the City, or its employees, contractors or agents.

RESOLVED AND ADOPTED this 7<sup>th</sup> of day of April, 2025

\_\_\_\_\_  
**Chuck Shaw**, Mayor

\_\_\_\_\_  
*Voted:*  
**Judith Dugo**, Deputy Mayor

**Attest:**

\_\_\_\_\_  
**Quintella Moorer**, City Clerk

\_\_\_\_\_  
*Voted:*  
**John Tharp**, Council Member *District I*

\_\_\_\_\_  
*Voted:*  
**Peter Noble**, Council Member, *District II*

\_\_\_\_\_  
*Voted:*  
**Susy Diaz**, Council Member, *District IV*

\_\_\_\_\_  
*Voted:*  
**Paula Bousquet**, Council Member, *District V*

**Approved as to Form and Legal Sufficiency:**

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**Glen J. Torcivia, City Attorney**

SP-23-03  
Resolution 2025-11  
Date: March 07, 2025

Revised: 03/13/2025

	DEVELOPMENT & NEIGHBORHOOD SERVICES STAFF REPORT AND RECOMMENDATION
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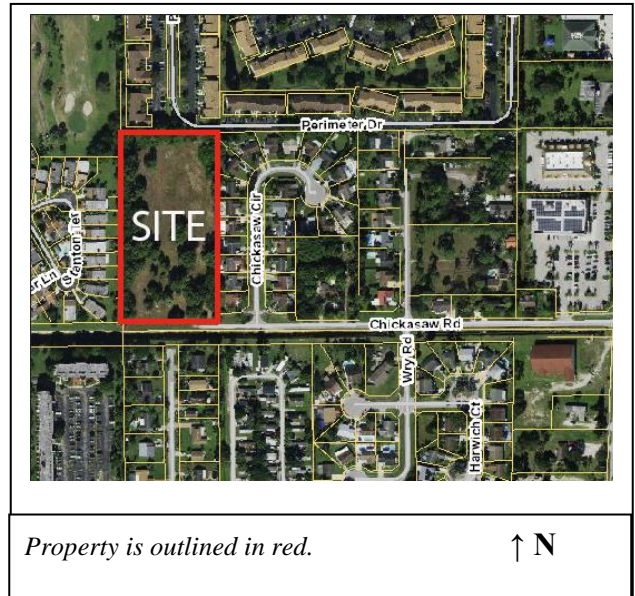
**I. Project Description:**

**Project:** Garden Square Townhouse Development  
(Site and Development Plans Request)

**Applicant:** Jeanne Ducharme  
Cotleur & Hearing  
1934 Commerce Lane, Suite 1  
Jupiter, FL 33458  
Agent for the owners:  
MF Associates Greenacres, LLC

**Request:** Site and Development Plans including approval to construct forty-four (44) two-story townhouse residential units.

**Location:** 6645 Chickasaw Road



**Project Manager:** Linda Mia Franco, AICP, Zoning Administrator

**II. Site Data:**

<b>Existing Use:</b>	Vacant Parcel
<b>Proposed Use:</b>	Townhouses
<b>Parcel Control Numbers:</b>	18-42-43-27-05-022-0360
<b>Parcel Size:</b>	217,710 square feet (4.99 acres)
<b>Existing Future Land Use Designation:</b>	Residential – High Density (RS-HD) (Future Land Use Map Amendment: CPA-23-02, adopted July 17, 2023, through Ordinance 2023-06)
<b>Existing Zoning District:</b>	Residential High Density (RH) (Rezoning: ZC-23-01, adopted July 17, 2023, through Ordinance 2023-07)

<b>Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:</b>			
<b>Direction</b>	<b>Existing Land Use</b>	<b>Future Land Use</b>	<b>Zoning District</b>
<i>North</i>	Multi-Family (Park Pointe Condominiums)	Residential Medium (RS-MD)	Residential Medium (RM-2)
<i>South</i>	Single Family Residences (Sunset Ridge)	PBC Low Residential (LR-3)	PBC Agricultural Residential (AR)
<i>East</i>	Single Family Residences (Chickasaw Manor)	Residential Medium (RS-MD)	Residential Low -3 (LR-3)
<i>West</i>	Multi-Family (Poinciana Place Phase II)	PBC Residential High 12 (HR-12)	PBC Residential (RS)

**III. Annexation/Zoning History:**

The subject site is 4.99 acres and is currently vacant. It was granted approval for annexation into the City (ANX 04-03) through Ordinance 2004-12, a change in future land use designation from Palm Beach County Low Residential 3 (LR-3) to City Residential Medium Density (RS-MD) (CPA 04-03) through Ordinance 2004-14, a rezoning from Palm Beach County Agricultural Residential (AR) to City Residential Medium -2 (RM-2) (ZC 04-02) through Ordinance 2004-15 and site plan approval for the construction of twenty-five (25) detached single-family residences (SP 04-01) were approved by the City Council on October 4, 2004. The project was never platted, and the development order expired on October 4, 2006. Subsequently, a revised Site Plan petition for approval of the Sunset Springs project, which consisted of twenty-five single-family homes (SP 21-01), was approved by the City Council through Resolution 2022-12 on March 22, 2022. The Sunset Springs project was not platted or permitted and without a request for extension, the development order expired on March 22, 2024. The previously approved zoning application (Ordinance 2004-15) included a maximum development capacity for the site of 25 dwelling units.

In December 2022, the ownership was transferred to MF Associates Greenacres LLC, where analysis was conducted for alternative development potential and maximize opportunities. Consequently, in circa 2023, the applicant requested a Rezoning (ZC-23-01) from Residential-Medium Density (RS-MD) (7 units per acre) to Residential - High Density (RH) (10 units per acre) and a Small-Scale Future Land Use Map Amendment (CPA-23-02) from Residential Medium Density to Residential High Density (RS-HD). The Rezoning (ZC-23-01) and Small-Scale Future Land Use Map Amendment (CPA-23-02) were approved on July 17, 2023, through Ordinance 2023-06 and Ordinance 2023-07, respectively.

**IV. Applicable Code Provisions:**

- Sections 16-196 through 16-202** pertaining to Site and Development Plans
- Sections 16-361 through 16-373** pertaining to the Residential High Density (RH) zoning district
- Sections 16-856 through 16-863** pertaining to Townhouse Development
- Sections 16-931 through 16-997** pertaining to sign regulations
- Sections 16-1241 through 16-1312** pertaining to landscaping
- Sections 16-1331 through 16-1340** pertaining to off-street parking

**V. Summary of Proposed Site and Development Plans Details:**

The applicant’s Site and Development Plans date stamped as received by the City on March 7, 2025, depict the following:

1. A total land area of 4.99 acres (217,710 square feet).
2. Forty-four (44) two-story townhouse residential units.
3. A 3,403 square foot tot lot.
4. A total of 174 parking spaces. This consists of 64 garage spaces, 88 driveway spaces, 22 guest standard spaces, including two (2) Americans with Disabilities Act (ADA) accessible parking spaces at the tot lot playground area, in addition to 8 bicycle parking spaces.
5. A density of 8.82 units per acre.
6. One (1) ingress and egress point onto Chickasaw Road for vehicles and two (2) sidewalk connections to Chickasaw Road.
7. Landscape Plan.
8. Architectural Plans and Elevations.
9. Photometric Plan.
10. Preliminary Engineering Plan.
11. Boundary Survey.

<b>Table 2: Proposed Site Data:</b>			
<b>Area:</b>	<b>Square Footage:</b>	<b>Acreage:</b>	<b>Percentage:</b>
Building Lot Coverage (including covered canopies)	48,080	1.10	22.08%
Site Impervious Area (excluding building lot coverage)	65,914	1.51	30.28%
Site Landscape Area	103,716	2.38	47.64%
<i>Total</i>	<i>217,710</i>	<i>4.99</i>	<i>100%</i>

**VI. Staff Analysis:**

***Background:***

The applicant is requesting approval for the Site and Development Plans to construct a Townhouse Development consisting of forty-four (44) two-story townhouse units on a 4.99-acre site. The development will feature townhouses designed with four (4) buildings typologies consisting of five-units and six (6) building typologies consisting of four-units, two-story building configuration, each unit consisting of four (4) bedrooms and two (2) bathrooms and one (1) powder room for a total of ten (10) building groupings. A Homeowners Association will maintain the common areas of the project to include the private amenity, which is a 3,403 square foot tot lot playground area.

The site will have one (1) ingress and egress point onto Chickasaw Road for vehicular access with pedestrian access by sidewalk connections on both sides of the ingress and egress points; the applicant has provided concrete crosswalks within the development. The parking for the development consists of a total of 174 parking spaces. Parking for the townhouses includes three (3) to four (4) parking spaces located at each unit, comprising one (1) to two (2) garage parking space(s) and two (2) driveway parking spaces per unit.



Twenty-two (22) spaces are distributed throughout the development as guest parking spaces, including two (2) Americans with Disabilities Act (ADA) accessible parking spaces at the tot lot playground area.

The townhouses have a front and rear entrance covered by the upper floor from the elements and each building will feature architectural detail on all four elevations and will be finished with roofing, colors and materials to be compatible with the adjacent housing developments. Air-conditioning equipment will be effectively screened on the ground to the rear of the buildings, instead of being placed on the roof of the buildings. The site will be landscaped in accordance with the landscape plan and city code with some existing material to be preserved, a variety of landscape materials are provided in the front of the units to avoid monotony and break up the driveways in the front with landscaping material.

Based on the land dedication requirements outlined in Chapter 12 of the City Code, the proposed development must dedicate a total of 0.678 acres to the City, a 10% credit for the private amenities being provided on-site, for a reduced total dedication of 0.63 acres. Per Section 12-82, which requires 5 acres per 1000 residents for recreational purposes, the required dedication is calculated as follows: with 44 residential units and an estimated household size of 2.2 persons per unit, resulting in a total estimated population of 96.8 persons, the formula  $(44 \times 2.2) / 1,000 \times 5$  results in a 0.484-acre parks and recreation land dedication requirement. Section 12-84 allows a credit for on-site private recreational amenities; the proposed development will include a 3,403 square foot tot lot allowing a 10% credit. A total of 10% credit or reduction will be applied to the required parks and recreation land dedication of 0.484 acres, which reduces the required parks and recreation land dedication to 0.436 acres. Additionally, Section 12-92, requires 2 acres per 1000 residents for city government purposes, the formula  $(44 \times 2.2) / 1,000 \times 2$  results in an additional 0.194-acre dedication, bringing the total dedication requirement to 0.63 acres considering the 0.436-acres reduced with credit required for the parks and recreation land dedication. The applicant will pay for the entire 0.63 acres in lieu of dedication to the City, consistent with Sections 12-83 and 12-93, which recommend that the City Council consider payment in lieu of dedication to the City for sites to be dedicated that are under one (1) acre in size, as shown below in condition #2.

On August 20, 2024, with last review on March 10, 2025, the Development Review Committee (DRC) reviewed this application and recommended approval with the comments as noted herein and subject to the conditions of approval listed below.

**Standards and Staff Findings:**

- 1. Minimum Lot Requirement: The proposed Townhouse Development **meets** the lot size requirement of 6,000 square feet.
- 2. Maximum Lot Coverage: Building lot coverage of 22.08% **does not exceed** the maximum allowable lot coverage of 40% for a Townhouse Development.
- 3. Minimum Yard Requirements: Building setbacks **meet** all yard requirements of 25' front, 20' side, and 20' rear.
- 4. Height Restrictions: The building height of 27.5' **does not exceed** the allowable height of 35'.

5. Off-Street Parking & Loading: The 174 parking spaces provided **meets** the minimum code requirement based on 3 spaces required for each 3-bedroom unit and guest parking at ½ space per unit.
6. Landscaping: The landscaping plan **complies** with the Landscape Code requirements. (See Landscaping Plans)
7. Lighting: The photometric plan **complies** with the code requirements for lighting. (See Photometric Plans)
8. Sign Regulations: The applicant has indicated they are not proposing any signage on site. Prior to any signage being installed, a Master Sign Plan is required and any permits **shall be obtained**.
9. Utilities: The proposed water, sanitary sewer and drainage systems **meet** preliminary engineering and code requirements subject to final approval of an Engineering Permit and prior to the issuance of a Building Permit.
10. Concurrency: Project **meets** traffic concurrency. Water and Sewer service and capacities **are available** to serve the site.
11. Comprehensive Plan: The proposed development's density of 8.82 units per acre **does not exceed** the maximum density of 10 dwelling units per acre allowed within the Residential-High Density (RS-HD) future land use designation.
12. Color Scheme: The color of the building **shall be** in accordance with the approved Site and Development Plans.
13. Site and Building Design: The project layout and architectural design **comply** with the site and building design requirements of the Code. The townhouses have a front entryway that is sheltered by the upper floor in a foyer setting and will feature architectural detailing on all four sides and are finished with roofing, colors, and materials that complement adjacent developments.

## **VII. Staff Recommendation:**

*Approval* of SP-23-03 with the following conditions:

1. The most stringent requirements of this DNS Staff Report and Recommendation dated March 10, 2025, and strict compliance with the Site and Development Plan exhibits stamped approved by the City of Greenacres and listed below, which are attached hereto and made part hereof as Exhibit "A"

- A. SP-23-03 Garden Square Townhouse Development **Final Site Plan**, Sheets FSP-1 through FSP-3, received by DNS on March 07, 2025, and prepared by RO/JS/DEH Donaldson Coutleur & Hearing
  - B. SP-23-03 Garden Square Townhouse Development **Landscape Plans**, Sheets LP-1 of 9 through LP-2 of 9 (total 9 sheets misnumbered), received by DNS on March 10, 2025, and prepared by HK/DEH Donaldson Hearing of Cotleur & Hearing
  - C. SP-23-06 SP-23-03 Garden Square Townhouse Development **Photometric Plan**, Sheet PH-1, received by DNS on February 03, 2025, and prepared by Bradley Lane Brown, P.E. of KAMM Consulting
  - D. SP-23-03 Garden Square Townhouse Development **Architectural Plans and Elevations**, Sheets CS, A1.0 through A.2.0 for 5-unit plans and 4-units plans (18 sheets total), received by DNS on March 07, 2025, and prepared by Casey Najjar, P.E. of CDN Engineering, Inc.
  - E. SP-23-03 Garden Square Townhouse Development **Civil/Engineering Plans**, Sheets C0.0 through C9.1, received by DNS on March 7, 2025, and prepared by Gabriel D. Burden of Civil Design, Inc
2. The project shall be subject to the City's required parks and recreation and governmental services land dedication in accordance with Article IV of the Subdivision Regulations. The requirements are 2 acres per 1,000 population for governmental services and 5 acres per 1,000 population for parks and recreation. Based upon 44 townhouse units x 2.2 persons per unit = 96.8 /1,000 = .097 x (5 + 2) – the 10% credit to the parks and recreation dedication for the private recreation = a **total land dedication of 0.63 acres. In lieu of land dedication, the developer shall be required to pay a fee equal to the combined value of the required land dedication** to be determined in accordance with Sections 12-83 and 12-93 of the City's Subdivision Regulations. The fee shall be paid prior to the issuance of Building Permits. (Engineering)
3. The project shall be required to pay the City's Arts in Public Places (AIPP) public art fee if the total construction costs are two hundred fifty thousand dollars (\$250,000) or greater, in accordance with Section 16-661. The public art fee is calculated at one (1) percent of the total construction costs of the project. The contribution shall be placed in the city's public art fee fund and the contributor shall have no input in the use of such funds. The contribution shall be divided into two (2) payments as follows:
- A. **Prior to Building Permit Issuance:** The developer shall submit to the building division/finance department a preliminary certification of the total construction costs. This preliminary certification shall be used to calculate the developer's initial payment of thirty (30) percent of the contribution. The developer shall make this initial payment to the building division/finance department prior to the issuance of the building permit.
  - B. **Prior to Issuance of the Final Certificate of Occupancy:** The developer shall submit to the building division/finance department a final certification of the total construction costs. This final certification shall be used to calculate the outstanding portion of the contribution. The developer shall pay the outstanding portion of the contribution prior to the issuance of the final certificate of occupancy for the project. (Building and Planning)

4. Any site permits required and/or obtained shall be maintained in an active status with the respective permitting agency until all the work covered by the permit is satisfactorily completed, any applicable inspections passed, and officially closed out with the City. (Building, Planning, Engineering and Public Works)
5. Permits from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), and Palm Beach County Land Development, as required, for the stormwater management system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
6. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
7. An Engineering Permit, issued by the City of Greenacres, is required prior to any sitework or construction activities outside of the proposed structures and work related to subdivision and/or development improvements taking place. The Engineering Permit must be closed out prior to the Certificate of Occupancy (CO) for the 39<sup>th</sup> townhouse dwelling unit being issued. No Engineering Permit shall be issued for construction or work until an approved cost estimate and a bond for all sitework has been posted. (Engineering)
8. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD and City of Greenacres must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test. Additionally, documentation detailing the maximum impervious surface allowances for both the overall community and individual lots, as acceptable to the City Engineer, must be provided. All required documents must be submitted with the application for Engineering Permits. The percentage of building footprint and impervious area outside of the building footprint shall be depicted in a table on the Site and Development Plan and the Paving, Grading, and Drainage Plan. (Engineering)
9. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of **December 31, 2027**, unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
10. The site must be platted prior to the issuance of Engineering Permits. Any unused existing easements and rights-of-way on the subject property shall be abandoned prior to platting. (Engineering)
11. Driveway connection and/or right-of-way construction permits from Palm Beach County Land Development must be obtained prior to the approval of the final plat. Any existing driveway connections on site which will become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering)
12. Documentation establishing a Homeowner's Association governing all exterior elements of the project including but not limited to uniformity of exterior elevations, coordinated roof replacement, access and maintenance to the private road right-of-way and parking, common area

maintenance, uniformity in fencing and accessory structures such as screen enclosures, ensuring any fencing including privately owned fences along the property line will not conflict with or impact the development's required landscaping or the ability of the HOA to access and maintain such landscaping, prohibition of habitable space additions, enforcement of parking regulations, prohibitions on the expansion of driveways, and prohibitions on the expansion of impervious surfaces in accordance with Condition #9 shall be provided to the City in a form acceptable to the City Attorney prior to approval of the Final Plat. (Engineering and City Attorney)

13. In accordance with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. An NPDES Permit shall be provided to the City, prior to any site activity, as part of the Engineering Permit. (Planning, Engineering, Building and Public Works)
14. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning, Engineering and Building)
15. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
16. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened from view. No equipment shall be taller than the proposed screening. (Planning and Building)
17. Landscaping shall be maintained in perpetuity in accordance with the City's Landscaping Regulations and the approved Landscaping Plan, including specifications for plant size, number, location, and type of landscaping material. All plant life shown on an approved landscape plan shall be replaced if it dies, is seriously damaged, or removed. All plant material shall be kept reasonably free of visible signs of pests, infestation, or disease. (Planning)
18. A certified cost estimate by a FL Registered Landscape Architect or Engineer, for the project's landscape materials, installation, irrigation and labor to establish a 1-year maintenance financial guarantee or financial security in a form acceptable to the City Attorney in the amount of 110% of the estimate shall be posted for the project's landscaping, in addition to the other bonds required for site improvements. The owner shall provide this financial guarantee or financial security before the City performs any landscape inspection or issues a Certificate of Occupancy. If project's landscaping is not maintained, the City may use the financial guarantee or financial security to maintain or replace dead or unacceptable landscape materials and irrigation components after providing written notice to the property owner. (Planning and Engineering)
  - a. The project Landscape Architect shall conduct a field inspection at substantial completion of the project to verify that the landscape and irrigation installation complies with the approved plans and is healthy and flourishing before the project's 1-year maintenance financial guarantee/security period begins. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City inspection of the landscape installation.

- b. The project Landscape Architect shall conduct an interim field inspection near the 6-month mark of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request an interim City re-inspection of the maintained landscaping at the 6-month mark of the maintenance financial guarantee/security period.
  - c. The project Landscape Architect shall conduct a field inspection near the completion of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City re-inspection of the maintained landscaping 30 days prior to the end of the maintenance financial guarantee/security period.
  - d. Upon passing the final re-inspection, the property owner may request in writing the release and return of any remaining financial guarantee/security. If the location fails the final re-inspection, the financial guarantee/security shall not be released to the property owner. Once the property owner completes the required improvements, the financial guarantee/security shall be released. If these necessary improvements do not occur, the City may use the financial guarantee/security to maintain or replace landscape items as necessary.
19. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Landscaping Plan additions may be necessary to meet Code requirements if existing material is unsuitable to remain. (Planning)
20. By the initial landscape inspection, all existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants in perpetuity. (Planning)
21. Fences shall not be allowed in any front yards. Fences shall be constructed in accordance with the 6ft Privacy PVC fence as detailed on the Detail Plan, Sheet LP-4. Fencing shall not conflict with or impact the development's required landscaping, ensuring that all required landscaping elements, including trees, shrubs, and groundcover, remain intact. Fencing shall not impede the HOA's ability to access and maintain the required landscaping or any easements. (Planning and Building)
22. Screen enclosures with screen roofs and open patios may only be located in the rear yard and shall provide a minimum rear setback of 5' and may have a minimum side setback of 0' on the zero-lot line(s), and shall not extend beyond the unit side wall on end units. All screen enclosures shall be consistent in color, materials, and style. Hard roof enclosures are not allowed. (Planning)
23. The developer shall enter into a Traffic Control Jurisdiction Agreement with the City of Greenacres to provide for the enforcement of parking and traffic regulations within the development. This agreement must be approved by the City prior to the issuance of any residential Certificates of Occupancy. (Building and Planning)

24. The expansion of driveways beyond the dimensions depicted in the Site and Development Plan is strictly prohibited. (Planning)
25. No more than 11 Certificates of Occupancy (25% of project total) shall be issued prior to start of construction of the recreation amenities and no more than 22 Certificates of Occupancy (50% of project total) prior to the completion of the recreation amenities. (Planning and Building)
26. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
27. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits and a Certificate of Occupancy. (Planning, Engineering, and Building)
28. The Site and Development Plan shall be revised as necessary and as otherwise noted herein to reflect all conditions of approval and re-submitted, prior to the Final Plat. (Planning, Building, Engineering and Public Works)
29. The conditions of approval herein shall apply to the Owner, Applicant, and their successors and assigns. Deviation from any portion of the approved Site and Development Plans, or failure to comply with any requirement, condition or safeguard imposed by the City during the approval procedure shall render the Site and Development Plans approval null, void, and of no further effect upon determination by the City Council. (Planning)

**30. CITY ADVISORY NOTICES:**

- (1) **Development permits and orders.** As provided by subsection 166.033(6), Florida Statutes, issuance of a development permit by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- (2) **No Guarantee by City.** It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.
- (3) **Indemnification.** The Owner/Developer shall indemnify and hold the City harmless from any and all claims, demands, disputes, costs, expenses, (to include attorney's fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the use or development of the Property, except those claims or liabilities by or arising from gross negligence or intentional acts of the City, or its employees, contractors or agents.

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**PLANNING & ZONING BOARD OF APPEALS RECOMMENDATION – March 13, 2025**

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The Planning and Zoning Board of Appeals on a motion made by Board Member Hayes and Seconded by Board Member Robarts, voting four (4) to zero (0), ***recommended approval*** of the Site & Development Plans for Garden Square Townhouse Development (**SP-23-03**), as presented by staff.

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**CITY COUNCIL ACTION – April 7, 2025**

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Exhibit:

- A. Site and Development Plans







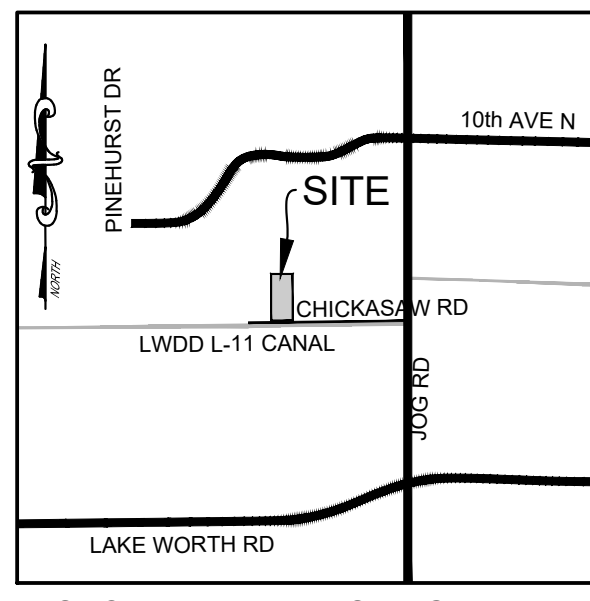




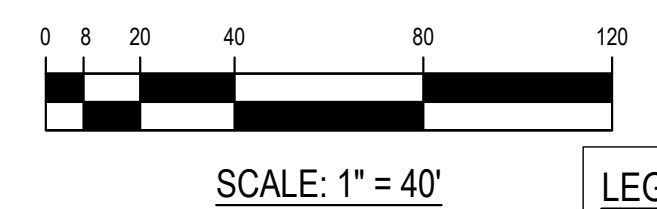




DATUM = NAVD '88  
ADD 1.53' FOR NGVD '29



SEC. 27 - TWP. 43S - RGE. 42E  
LOCATION MAP  
N.T.S.



**LEGEND**

EXISTING WATERMAIN — EXWM — EXWM — EXWM

EXISTING FORCEMAIN — EXFM — EXFM — EXFM

EXISTING SANITARY SEWER — EXSAN — EXSAN — EXSAN

EXISTING STORM DRAINAGE — EXSTM — EXSTM — EXSTM

STRUCTURE NUMBER  
RIM ELEVATION  
INVERT  
STRUCTURE BOTTOM

PROPOSED STORM DRAINAGE LINE  
W/ STORM STRUCTURE

PROPOSED SANITARY SEWER

PROPOSED WATERMAIN

PROPOSED FORCEMAIN

PROPOSED PAVEMENT

PROPOSED CONCRETE

PROPOSED CONCRETE PAVERS

PROPOSED BUILDING

PROPOSED MILL & RESURFACE

BUFFER EASEMENT — B.E.

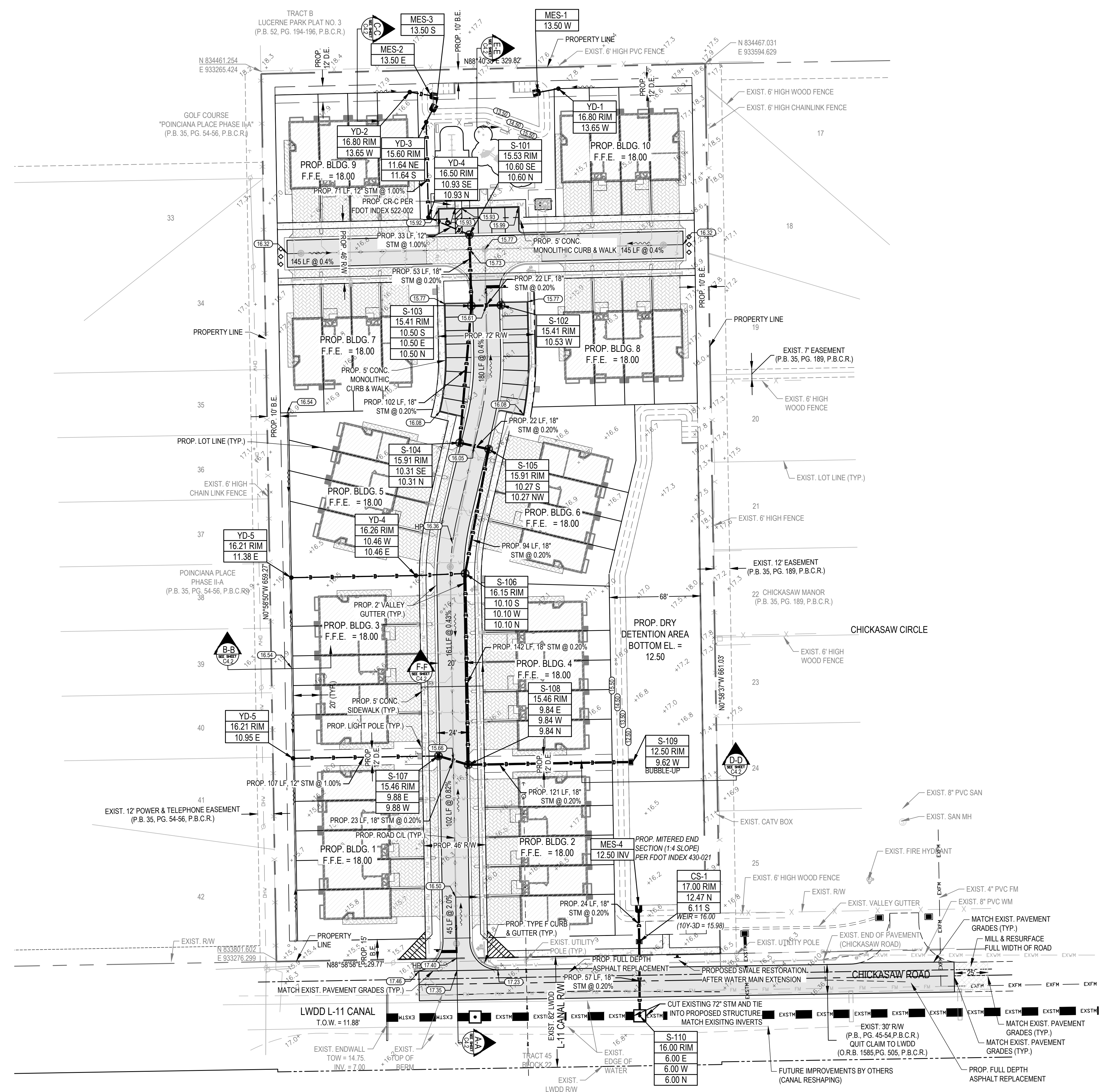
DRAINAGE EASEMENT — D.E.

PROPOSED ELEVATION

EXISTING ELEVATION

DIRECTION OF FLOW

- NOTES:**
- ALL ELEVATIONS REFER TO NAVD '88.
  - ALL DRAINAGE STRUCTURES DESIGNATED U.S.F. 170 MANHOLE LIDS TO BE LABELED "STORM".
  - CONTRACTOR IS ADVISED THAT THE EXISTING UTILITIES SHOWN ARE BASED ON SURVEY AND ASBUILT DATA AVAILABLE AT TIME OF DESIGN. CONTRACTOR TO POT-HOLE & LOCATE ALL EXISTING UTILITIES PRIOR TO SUBMITTAL OF SHOP DRAWINGS OR COMMENCEMENT OF CONSTRUCTION. PROVIDE WRITTEN CONFIRMATION DIAGRAMS OF ALL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION OR ANTICIPATED CONSTRUCTION (HORIZONTAL & VERTICAL LOCATIONS, PIPE SIZES, ETC.). IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND SUPPORT THESE EXISTING UTILITIES AND MAINTAIN CONTINUOUS SERVICE OF ALL UTILITIES PARTICULARLY WATER AND SEWER DURING THE ENTIRE COURSE OF CONSTRUCTION.
  - DISCHARGE TO COUNTY DRAINAGE SYSTEMS SHALL CONSIST SOLELY OF STORMWATER AND SHALL CONTAIN NO OIL, GREASE, FLOATING SOLIDS, SETTLEABLE SOLIDS, FLAMMABLE LIQUIDS, OR DOMESTIC OR INDUSTRIAL WASTEWATER WHICH WOULD CAUSE OR CONTRIBUTE TO CONTRAVENTION OF STATE WATER QUALITY STANDARDS IN THE RECEIVING WATER BODIES.
  - CONTRACTOR TO LIMIT SOIL COMPACTION IN THE PERVIOUS AREAS TO BE CONSISTENT WITH THE 25% COMPACTION UTILIZED IN THE SOIL STORAGE CALCULATIONS.



# GARDEN SQUARE TOWNHOUSE DEVELOPMENT

6645 CHICKASAW ROAD  
GREENACRES, FL 33467

APPROVED BY:

GABRIEL BURDEN  
LICENSE  
NO. 75425  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GABRIEL BURDEN, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Gabriel Burden, P.E.  
Florida License No. 75425

CDI PROJECT NO.  
23805-01

DATE: 11/08/2024

DESIGNED: CDI

DRAWN: CDI

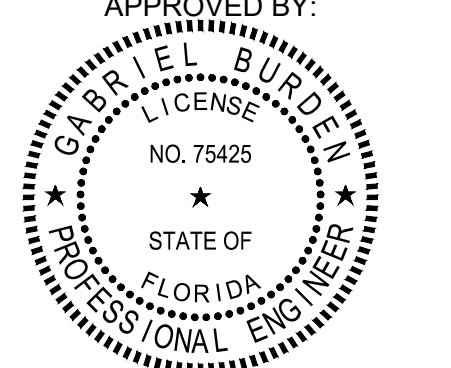
NO.	DATE	REVISION DESCRIPTION
1	9/6/2023	CROSS SECTIONS ADDED
2	9/30/2024	SITE PLAN AMENDMENT
3	11/6/2025	SITE PLAN AMENDMENT
4	2/21/2025	SITE PLAN AMENDMENT

## PAVING, GRADING & DRAINAGE PLAN

# C3.1

**GARDEN SQUARE TOWNHOUSE DEVELOPMENT**

6645 CHICKASAW ROAD  
 GREENACRES, FL 33467

APPROVED BY:  
  
 Gabriel Burden, P.E.  
 Florida License No. 75425

CDI PROJECT NO.  
 23805-01

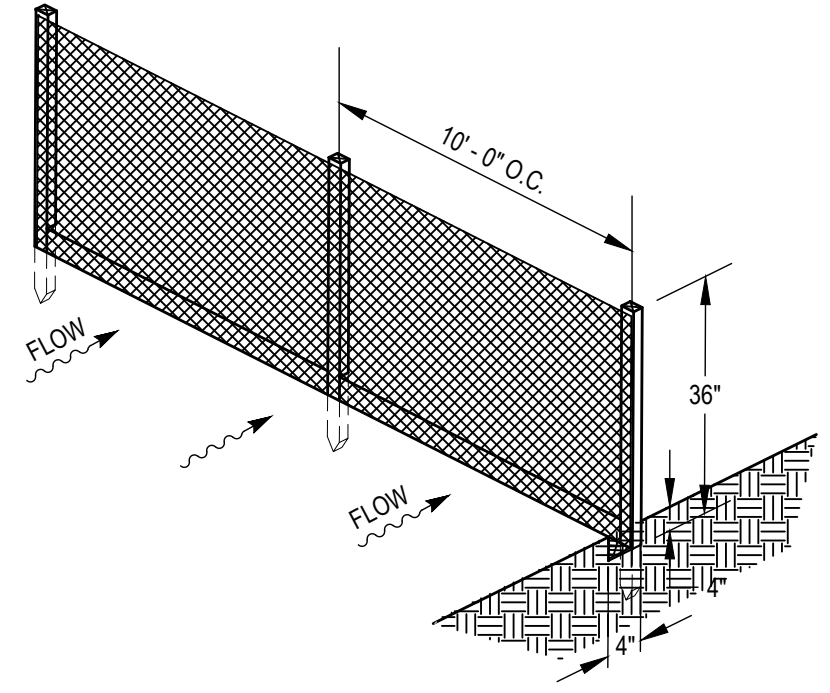
DATE: 11/08/2024

DESIGNED: CDI  
 DRAWN: CDI

NO.	DATE	REVISION DESCRIPTION
2	9/30/2024	SITE PLAN AMENDMENT
3	1/16/2025	SITE PLAN AMENDMENT
4	2/21/2025	SITE PLAN AMENDMENT

**PAVING, GRADING & DRAINAGE DETAILS**

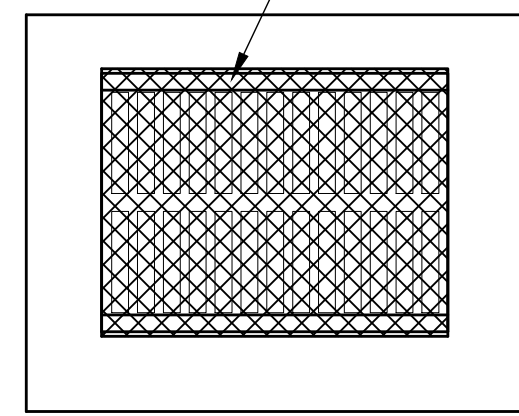
**C4.1**



**NOTES:**

- MESH TO BE BENT, LAID FLAT ON BOTTOM OF TRENCH AND BACKFILLED.
- POSTS TO BE DRIVEN A MINIMUM OF TWO (2) FEET INTO THE GROUND.
- SILT FENCE TO BE PLACED ALL AROUND CLEARING PERIMETERS.

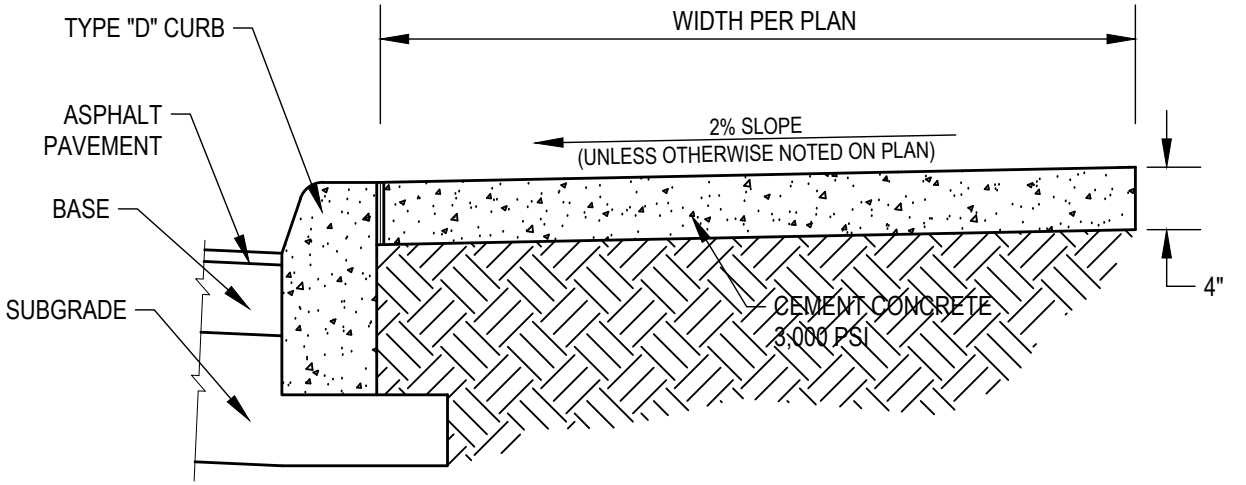
N.T.S. DETAIL 1



**NOTES:**

- PROTECT ALL EXISTING AND PROPOSED INLETS DURING CONSTRUCTION.
- SWEEP ROADS AND CONSTRUCTION SITE PERIODICALLY TO REMOVE CONSTRUCTION DEBRIS AND SEDIMENT.
- STORM DRAINAGE TO BE SEDIMENT AND SILT FREE DURING CONSTRUCTION AND AT FINAL SITE WALK THROUGH.

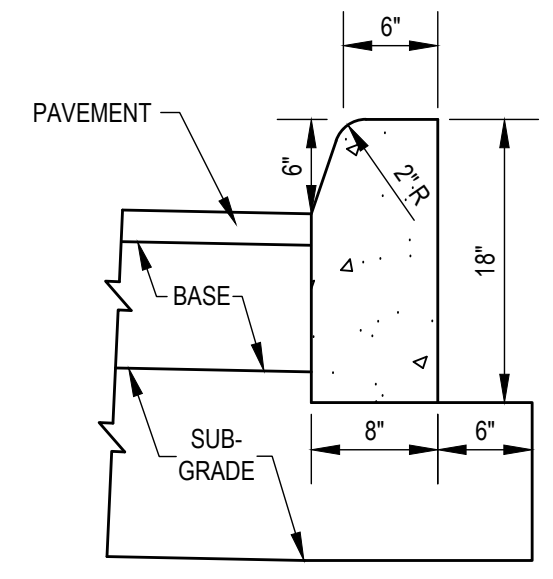
N.T.S. DETAIL 2



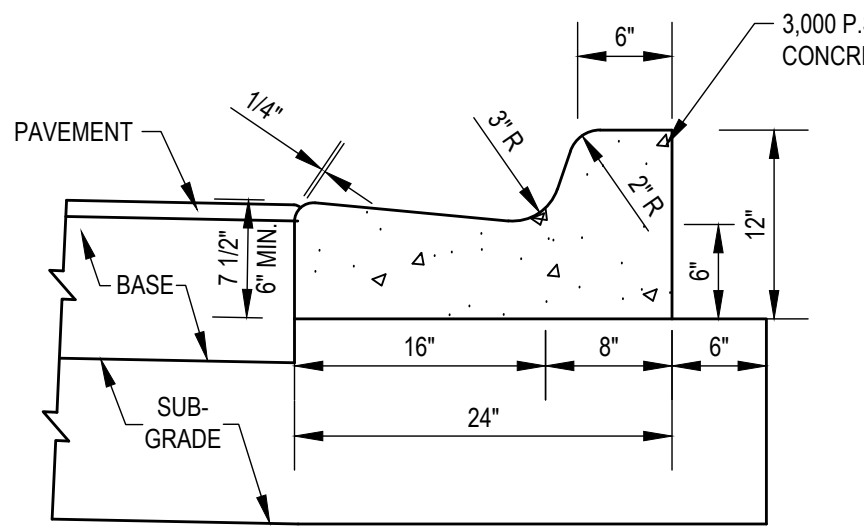
**NOTE:**

- 4" THICK CONCRETE (3,000 PSI) ON 12" THICK COMPACTED SUBGRADE (98% AASHTO T-180). SIDEWALKS SHALL BE 6" THICK AT DRIVEWAYS & TRAFFIC AREAS.
- SIDEWALKS TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED EQUALLY ON CENTER PER ACI 309. JOINTS TO BE CUT WITHIN 4 TO 12 HOURS OF PLACEMENT. JOINTS TO BE NO FURTHER APART THAN 30 TIMES SLAB THICKNESS.
- EXPANSION JOINTS REQUIRED EVERY 50 FEET (120 LF MAX), AT EACH CHANGE OF DIRECTION, AND WHEN SIDEWALK ABUTS BUILDING.
- "V" TOOL JOINT TO BE USED AT BACK OF CURB.

N.T.S. DETAIL 3

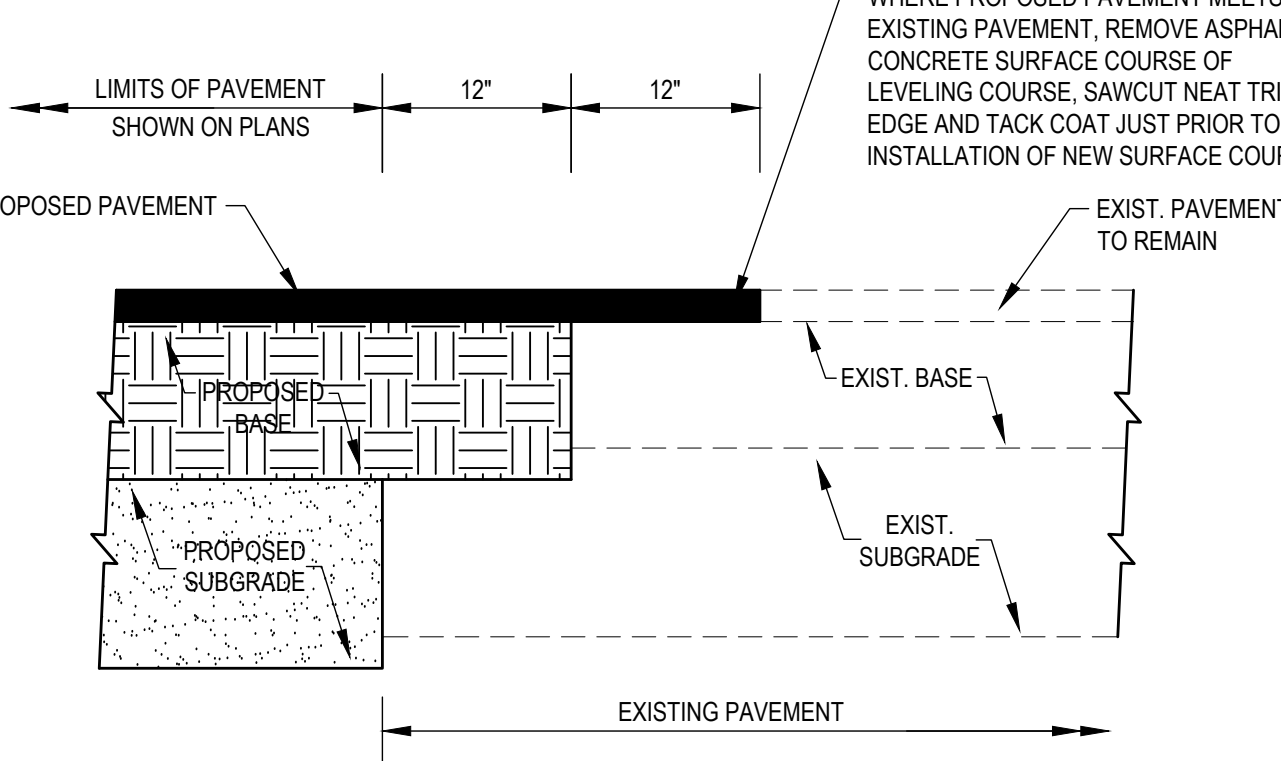


N.T.S. DETAIL 4



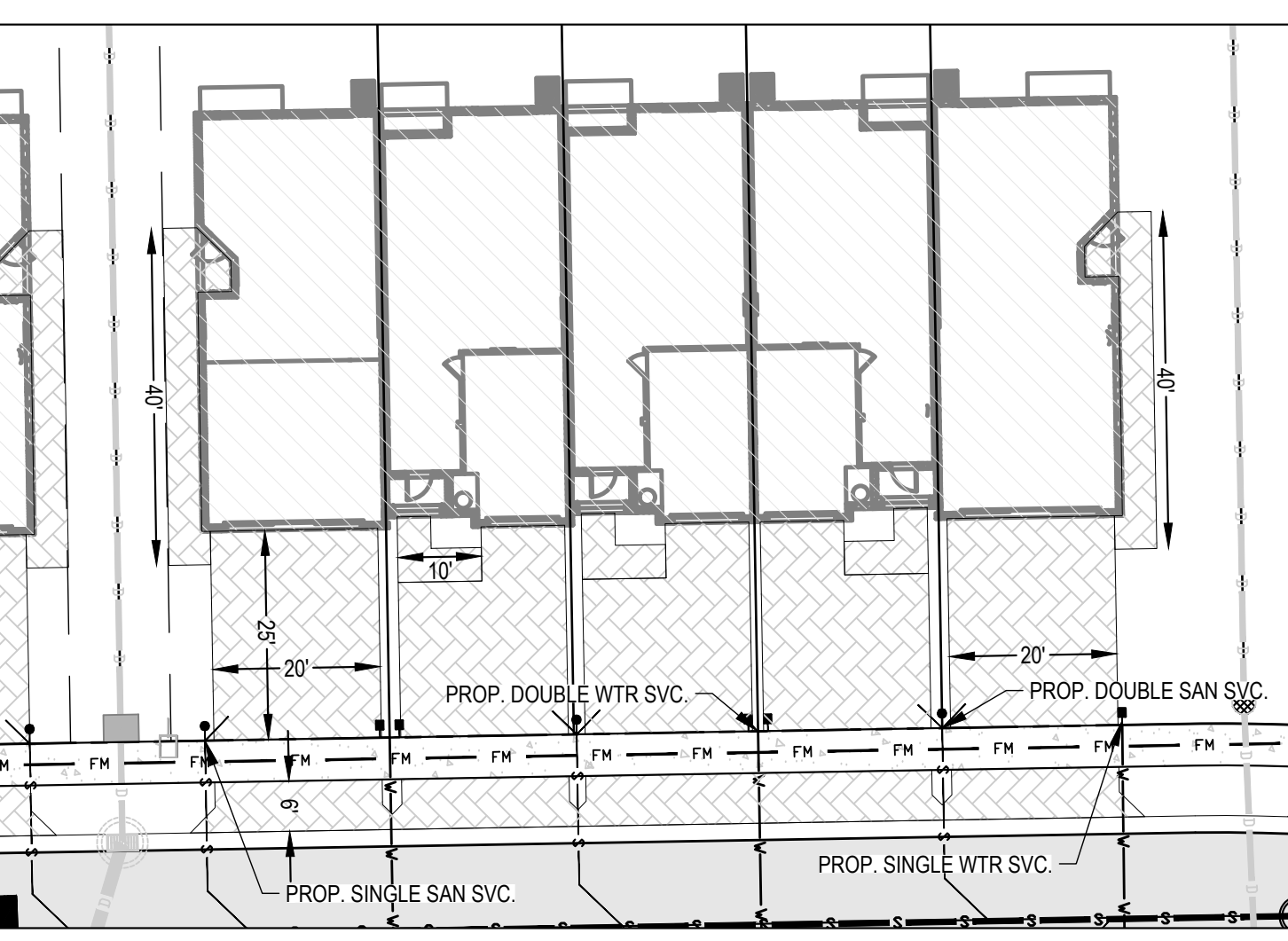
**NOTE:**  
 WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE SLOPE OF ADJACENT PAVEMENT AND THICKNESS OF THE LIP SHALL BE 6 INCHES.

N.T.S. DETAIL 5



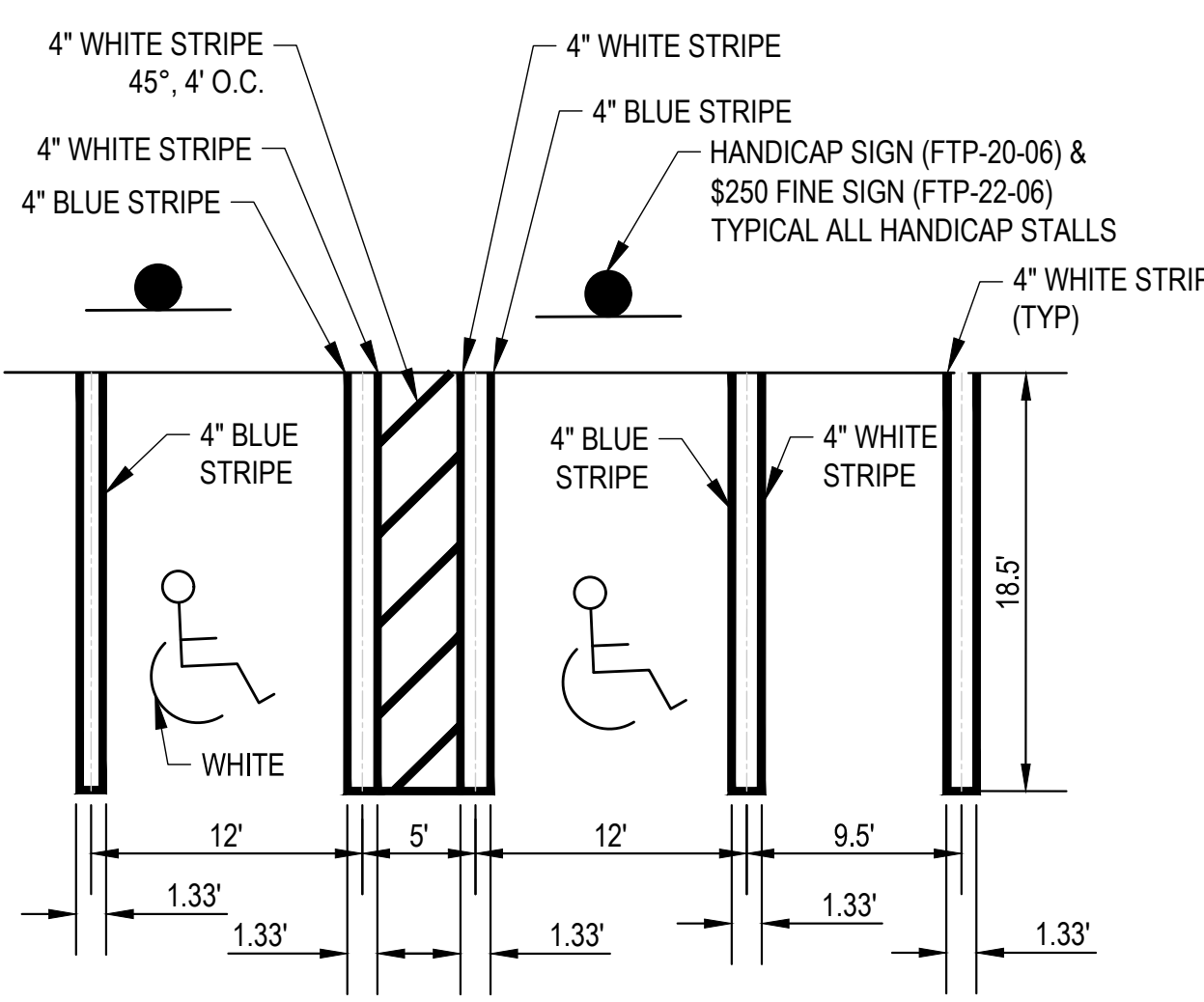
**NOTE:**  
 REFER TO PAVEMENT SECTIONS FOR MATERIAL THICKNESS

N.T.S. DETAIL 6



SCALE: 1" = 20'

N.T.S. DETAIL 7



**NOTE:** MAXIMUM 2.0% SLOPE IN ANY DIRECTION

SCALE: 1" = 10'

N.T.S. DETAIL 8

**GENERAL NOTES:**

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".

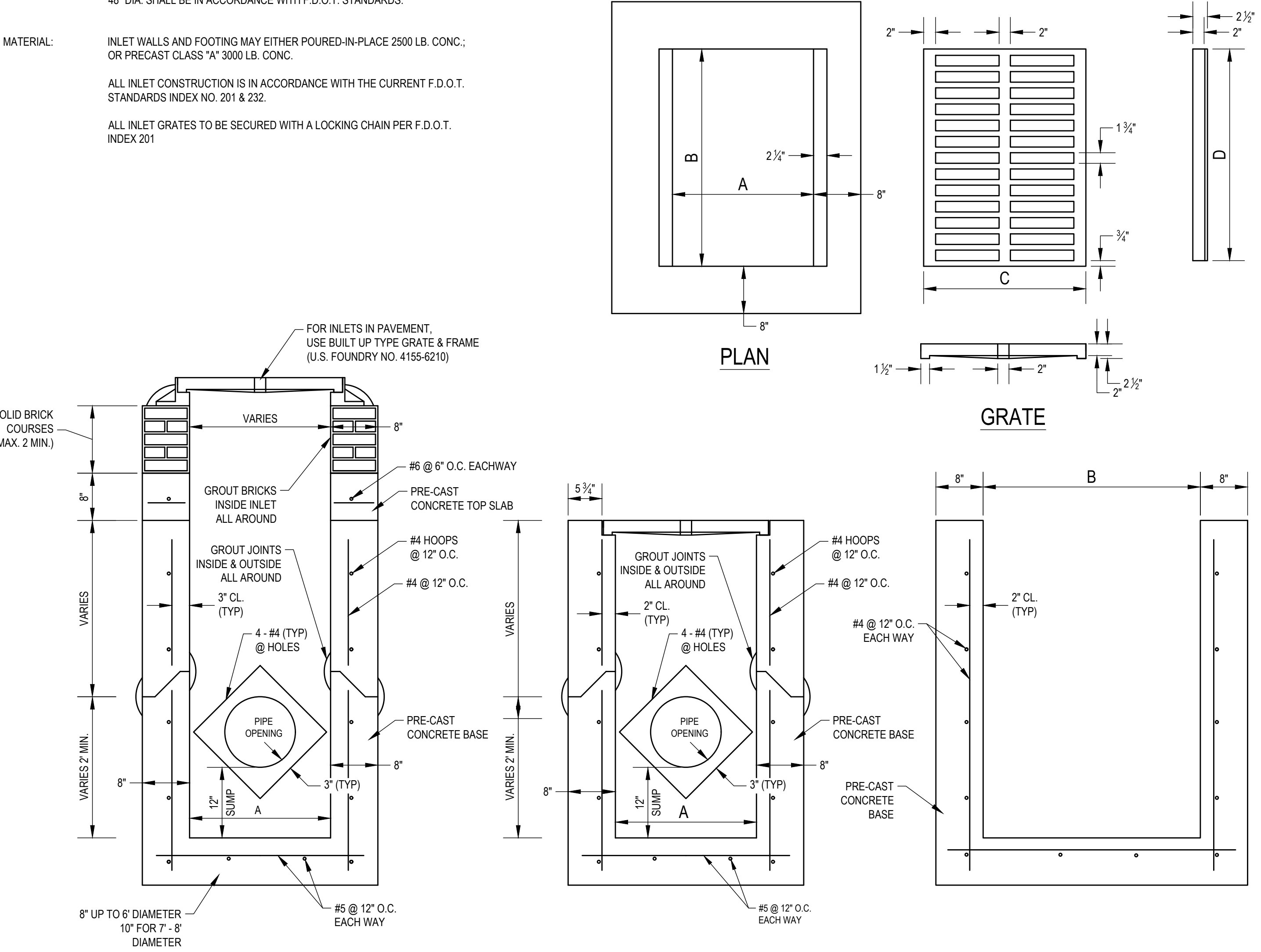
FOUNDATION: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED AT FLOW LINE, OMIT FLOOR AND CARRY WALLS DOWN TO SATISFACTORY FOUNDATION. BACKFILL TO FLOW LINE WITH CLEAN SAND.

MATERIAL: INLET WALLS AND FOOTING MAY EITHER POURED-IN-PLACE 2500 LB. CONC.; OR PRECAST CLASS "A" 3000 LB. CONC.

ALL INLET CONSTRUCTION IS IN ACCORDANCE WITH THE CURRENT F.D.O.T. STANDARDS INDEX NO. 201 & 232.

ALL INLET GRATES TO BE SECURED WITH A LOCKING CHAIN PER F.D.O.T. INDEX 201

FOR INLETS IN PAVEMENT, USE BUILT UP TYPE GRATE & FRAME (U.S. FOUNDRY NO. 4155-6210)



N.T.S. DETAIL 9

**CDI CIVIL DESIGN, INC.**  
Service Driven Design - Engineered Results

1400 Centrepark Blvd, Suite 905  
West Palm Beach, FL 33401  
T: 561.659.5760 F: 561.659.5772  
www.civil-design.com

# GARDEN SQUARE TOWNHOUSE DEVELOPMENT

6645 CHICKASAW ROAD  
GREENACRES, FL 33467

APPROVED BY:

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Gabriel Burden, P.E.  
Florida License No. 75425

CDI PROJECT NO. 23805-01

DATE: 11/08/2024

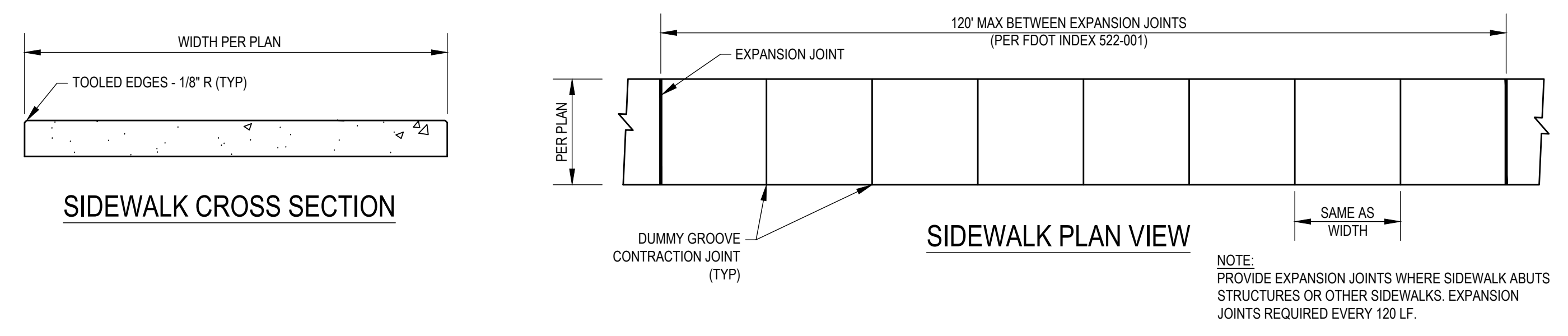
DESIGNED: CDI

DRAWN: CDI

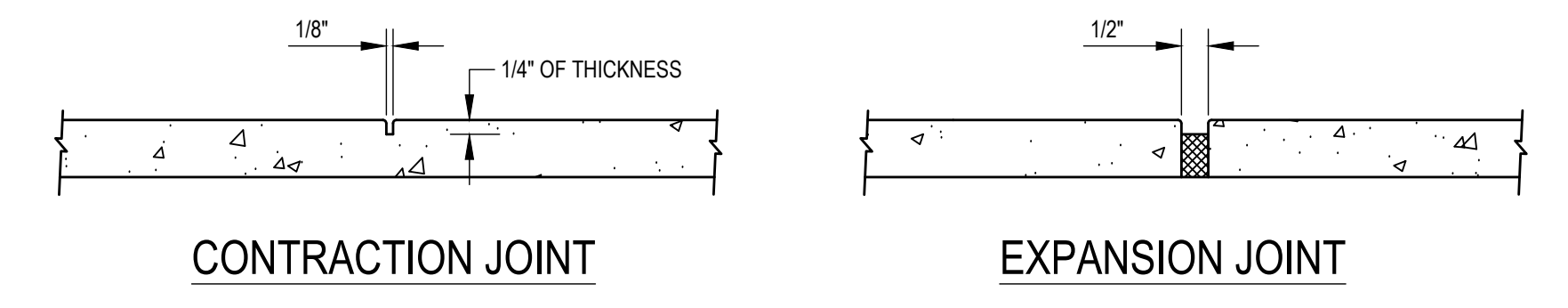
NO.	DATE	REVISION DESCRIPTION
1	9/6/2023	CROSS SECTIONS ADDED
2	9/30/2024	SITE PLAN AMENDMENT
4	2/21/2025	SITE PLAN AMENDMENT

## PAVING, GRADING & DRAINAGE DETAILS

# C4.2



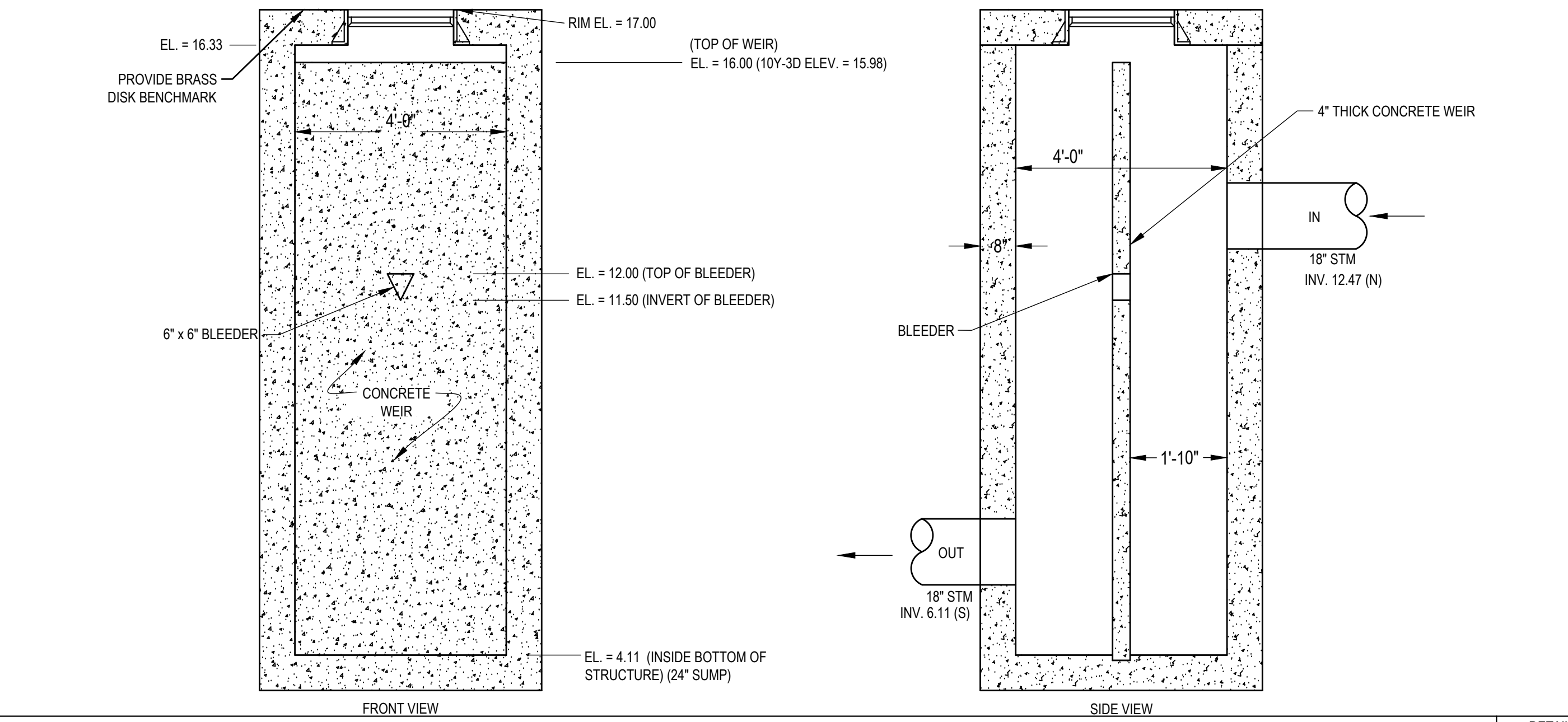
- NOTES:
- 4" THICK CONCRETE (3,000 PSI) ON 12" THICK COMPACTED SUBGRADE (98% AASHTO T-180). SIDEWALKS SHALL BE 6" THICK AT DRIVEWAYS & TRAFFIC AREAS.
  - SIDEWALKS TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED EQUALLY ON CENTER PER ACI 309. JOINTS TO BE CUT WITHIN 4 TO 12 HOURS OF PLACEMENT. JOINTS TO BE NO FURTHER APART THAN 30 TIMES SLAB THICKNESS.
  - EXPANSION JOINTS REQUIRED EVERY 50 FEET (120 LF MAX), AT EACH CHANGE OF DIRECTION, AND WHEN SIDEWALK ABUTS BUILDING.



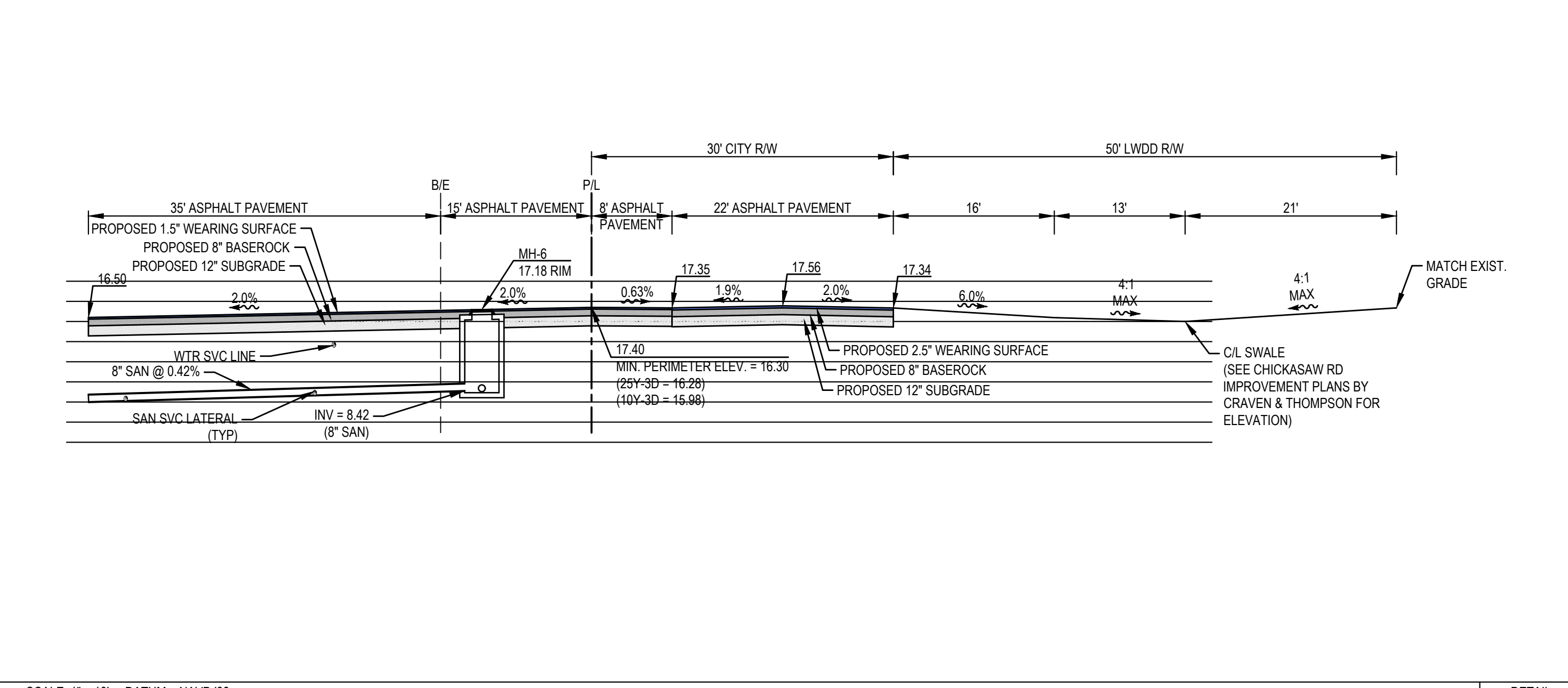
TYPICAL CONCRETE SIDEWALK 10

TYPE	WEARING SURFACE	BASE	SUBGRADE
OFFSITE PAVEMENT - FULL DEPTH	1" FRICTION COURSE FC 9.5 OVER 1.5" SP STRUCTURAL COURSE (TRAFFIC LEVEL C) WITH TACK COAT	OPTIONAL BASE GROUP 13 WITH PRIME COAT COMPACTED TO 98% MAXIMUM DRY DENSITY AASHTO T-180.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY AASHTO T-180.
ONSITE PAVEMENT	1.5" SP STRUCTURAL COURSE (TRAFFIC LEVEL A) WITH TACK COAT	OPTIONAL BASE GROUP 8 WITH PRIME COAT COMPACTED TO 98% MAXIMUM DRY DENSITY AASHTO T-180.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY AASHTO T-180.

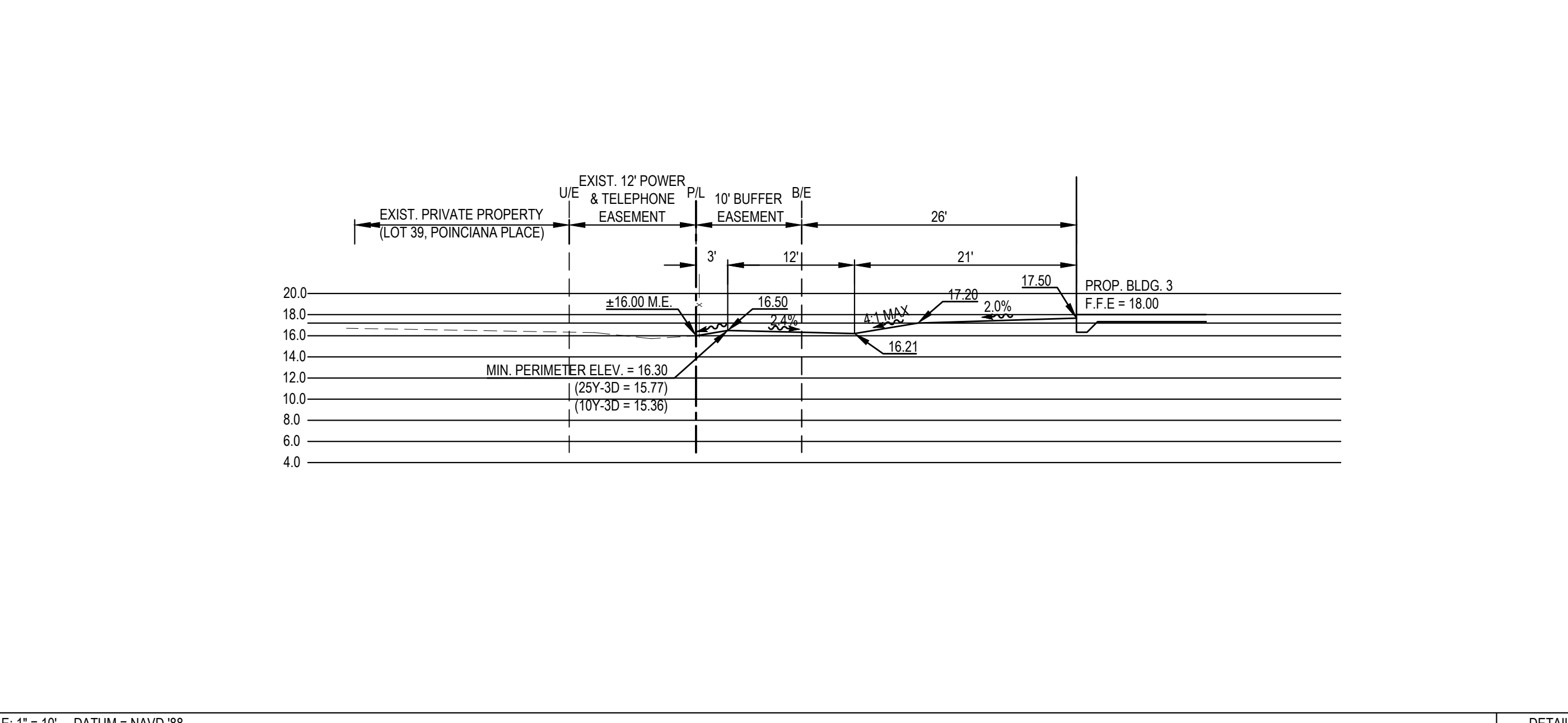
PAVING SPECIFICATIONS 11



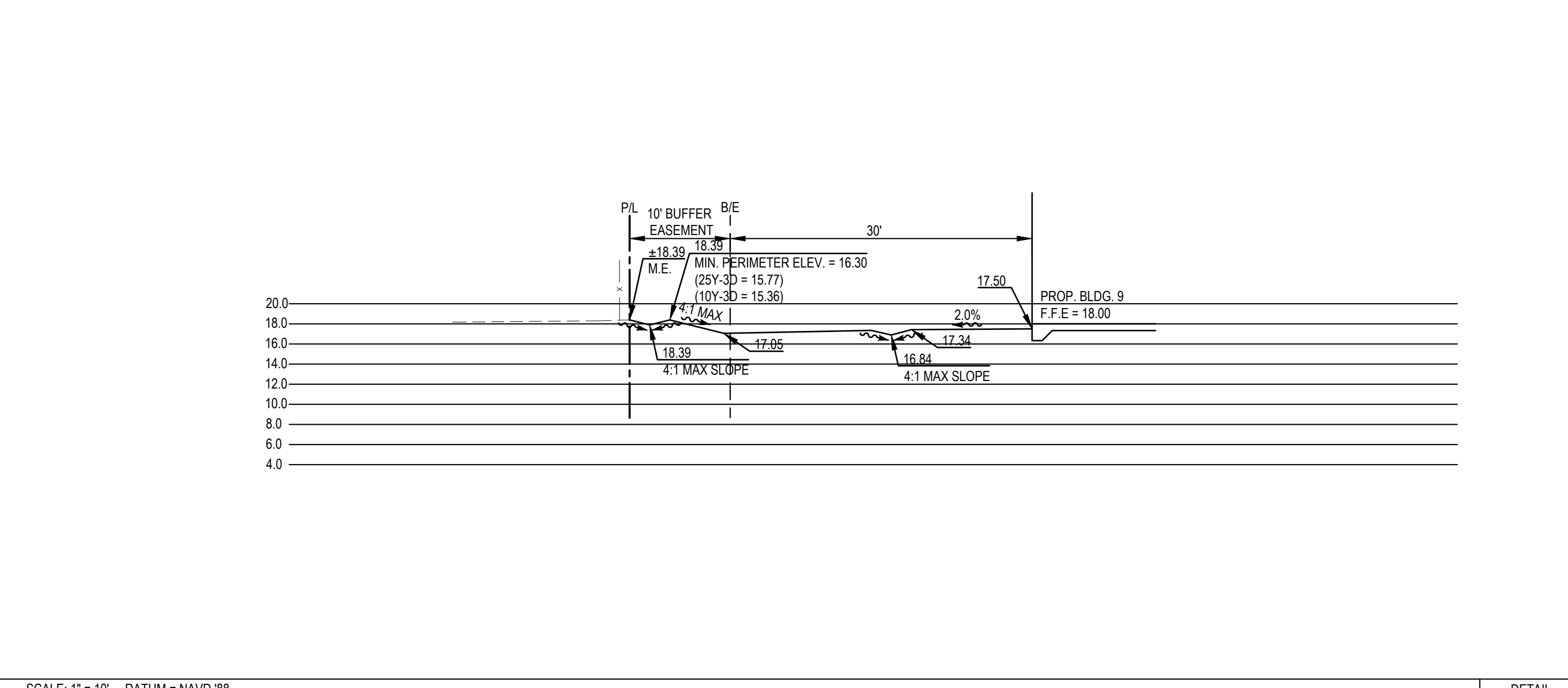
CONTROL STRUCTURE DETAIL 12



SECTION A-A (ENTRANCE - SOUTH PROPERTY LINE) 13



SECTION B-B (WEST PROPERTY LINE) 14



SECTION C-C (NORTH PROPERTY LINE) 15

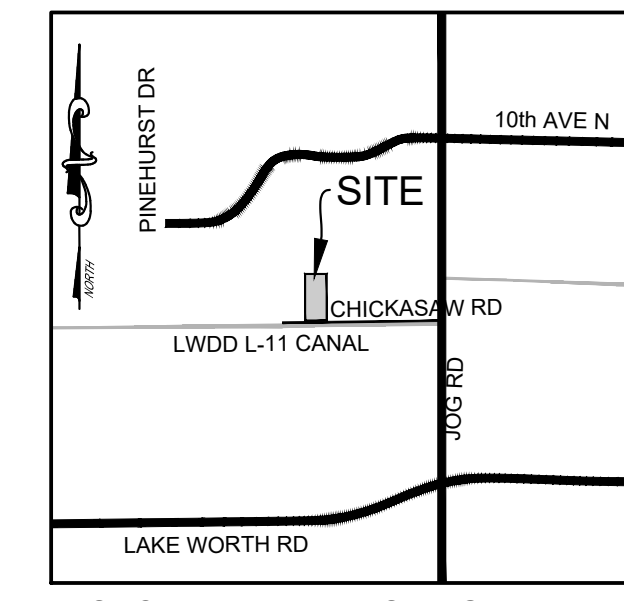






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www.civil-design.com

DATUM = NAVD '88  
ADD 1.53' FOR NGVD '29



SEC. 27 - TWP. 43S - RGE. 42E  
LOCATION MAP  
N.T.S.



**LEGEND**

EXISTING WATERMAIN — EXWM — EXWM — EXWM —

EXISTING FORCEMAIN — EXFM — EXFM — EXFM —

EXISTING SANITARY SEWER — EXSAN — EXSAN — EXSAN —

EXISTING STORM DRAINAGE — EXSTH — EXSTH — EXSTH —

PROPOSED STORM DRAINAGE LINE W/ STORM STRUCTURE

STRUCTURE NUMBER  
RIM ELEVATION  
INVERT

PROPOSED SANITARY SEWER

PROPOSED WATERMAIN

PROPOSED FORCEMAIN

PROPOSED PAVEMENT

PROPOSED CONCRETE

PROPOSED CONCRETE PAVERS

PROPOSED BUILDING

**CROSSING 1**  
FN. GRD. 16.22  
BOP. 12' STM = 10.72  
TOP. 4' FM = 9.72

**CROSSING 2**  
FN. GRD. 15.82  
BOP. 4' FM = 9.38  
TOP. 8' SAN PVC = 6.91

**CROSSING 3**  
FN. GRD. 15.78  
BOP. 8' DIP WM = 8.57  
TOP. 4' FM = 7.57

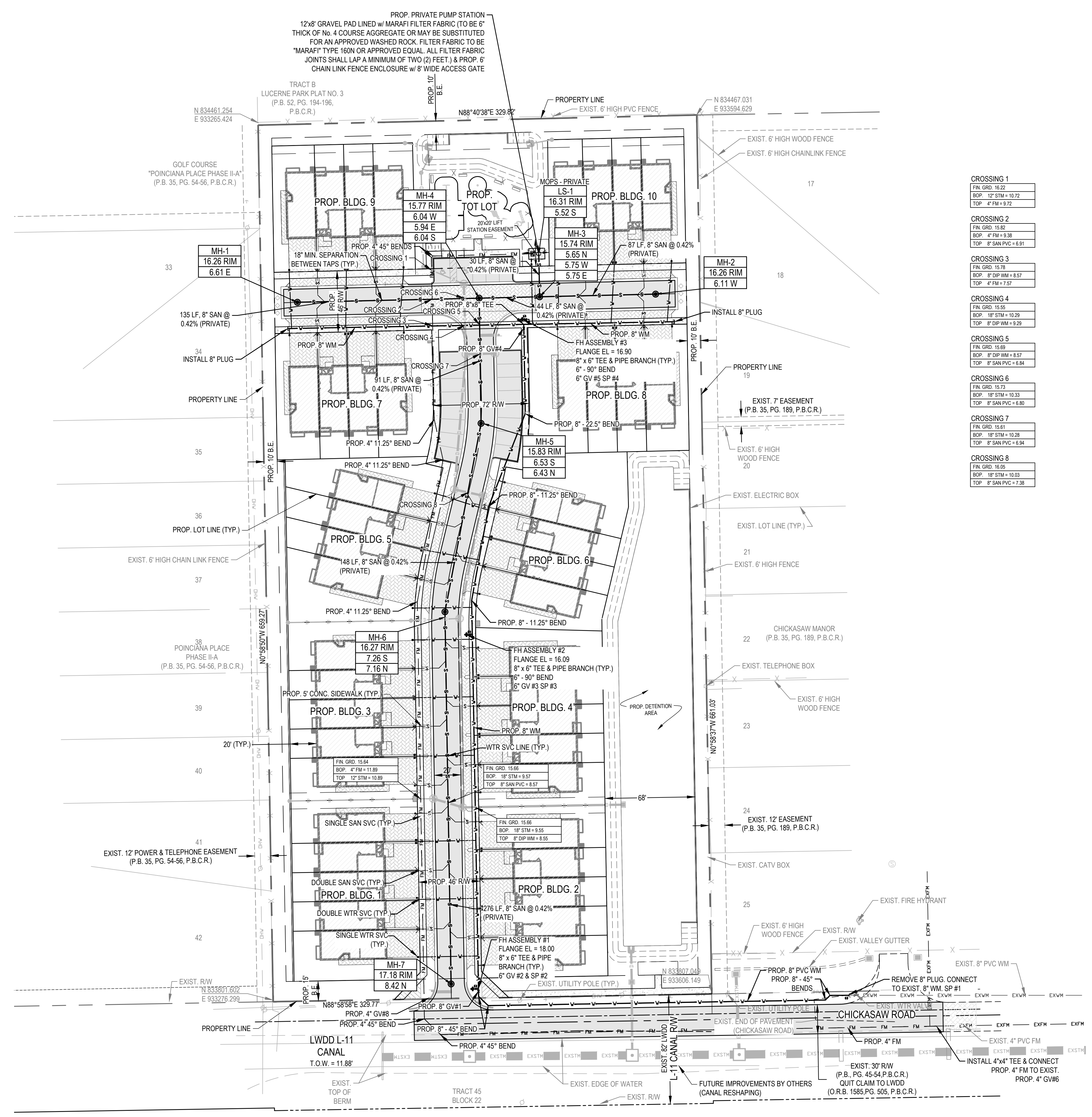
**CROSSING 4**  
FN. GRD. 15.55  
BOP. 18' STM = 10.29  
TOP. 8' DIP WM = 9.29

**CROSSING 5**  
FN. GRD. 15.89  
BOP. 8' DIP WM = 8.57  
TOP. 8' SAN PVC = 6.84

**CROSSING 6**  
FN. GRD. 15.73  
BOP. 18' STM = 10.33  
TOP. 8' SAN PVC = 6.80

**CROSSING 7**  
FN. GRD. 15.61  
BOP. 18' STM = 10.28  
TOP. 8' SAN PVC = 6.94

**CROSSING 8**  
FN. GRD. 16.05  
BOP. 18' STM = 10.03  
TOP. 8' SAN PVC = 7.38



- NOTES**
- PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
  - ALL SANITARY SEWER SHALL BE P.V.C. SDR 26 (UNLESS OTHERWISE NOTED).
  - ALL WATER MAINS & FORCE MAINS SHALL BE P.V.C. (C-900) UNLESS OTHERWISE NOTED.
  - FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 7' AND A MAXIMUM OF 12' FROM EDGE OF PAVEMENT.
  - ALL PRESSURE PIPES ARE TO BE RESTRAINED PER THE PIPE RESTRAINT FOR PRESSURE PIPE DETAIL.
  - VALVES SHALL NOT BE PLACED IN CURBS.
  - ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
  - MAGNETIC TAPE IS REQUIRED FOR ALL WATER & FORCE MAINS AND SHALL BE 6" WIDE, IMPRINTED WITH 2" HIGH LETTERING READING "CAUTION - WATER MAIN BURIED BELOW" OR "CAUTION - FORCE MAIN BURIED BELOW", AS REQUIRED.
  - RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL NON-PERPENDICULAR WATER MAIN SERVICES.
  - PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW PALM SPRINGS UTILITIES DEPARTMENT MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS LATEST EDITION.
  - ALL WATERMANS TO CROSS OVER SANITARY SEWER SERVICES, WHERE 18" MINIMUM CLEARANCE, CANNOT BE MAINTAINED, 20 LINEAR FEET OF DUCTILE IRON WATERMAIN SHALL BE CENTERED ON THE CROSSING AND THE SEWER SERVICE SHALL BE C-900, SDR-18. IN NO CASE SHALL THERE BE LESS THAN 6" CLEARANCE.
  - ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER CONSTRUCTION PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE. SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL, AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE. THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED IN ACCORDANCE WITH SUBSECTION 62-555.32(10), F.A.C., AND ALL OTHER ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
  - ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY STANDARDS.

# GARDEN SQUARE TOWNHOUSE DEVELOPMENT

6645 CHICKASAW ROAD  
GREENACRES, FL 33467

APPROVED BY:

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Gabriel Burden, P.E.  
Florida License No. 75425

CDI PROJECT NO. 23805-01

DATE: 11/08/2024  
DESIGNED: CDI  
DRAWN: CDI

NO.	DATE	REVISION DESCRIPTION
2	9/30/2024	SITE PLAN AMENDMENT
3	1/16/2025	SITE PLAN AMENDMENT

## POTABLE WATER & SANITARY SEWER PLAN

# C5.1

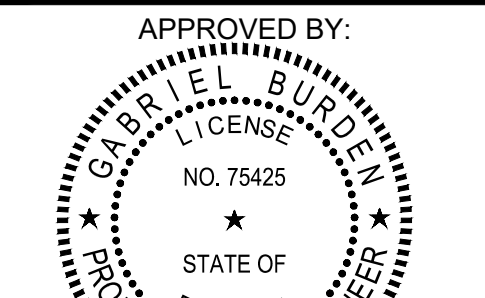




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CDI PROJECT NO. 23805-01

DATE: 11/08/2024

DESIGNED: CDI

DRAWN: CDI

NO.	DATE	REVISION DESCRIPTION

WUD PROJECT NO. 00-000

WUD PROJECT NAME

WATER UTILITIES DEPARTMENT  
P.O. BOX 16097  
WEST PALM BEACH, FL 33416  
(561)483-6000

STANDARD DETAILS SHEET NUMBER 0 OF 0

CONSULTANT: WUD

DESIGNED BY: M. BUCKNER  
CHECKED BY: J. LAMMERT  
APPROVED BY: WUD

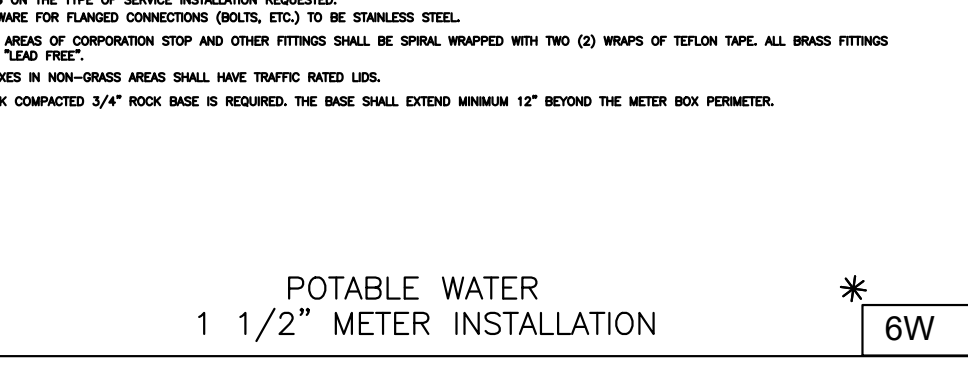
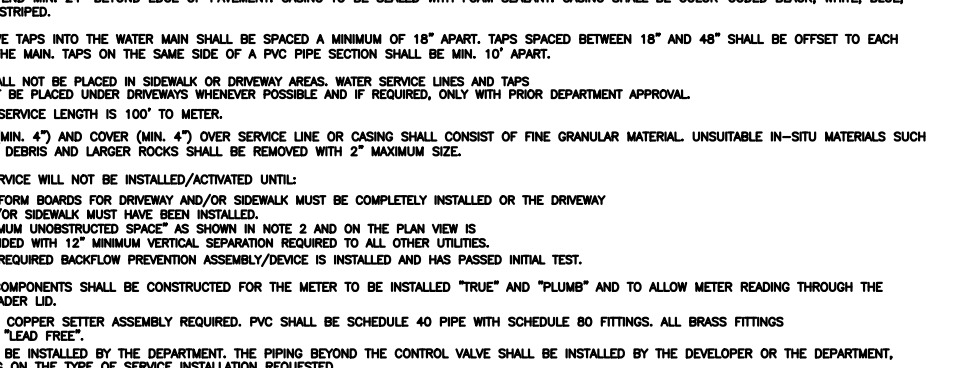
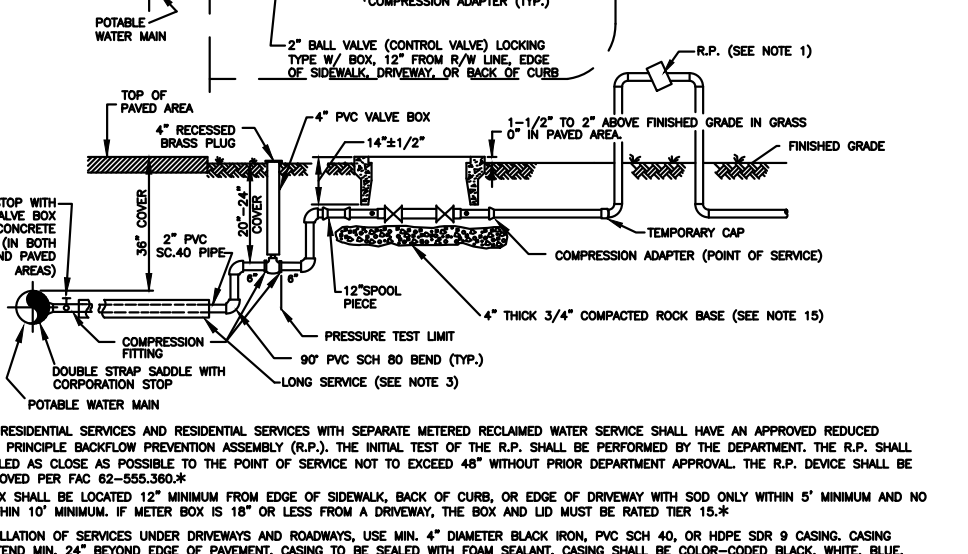
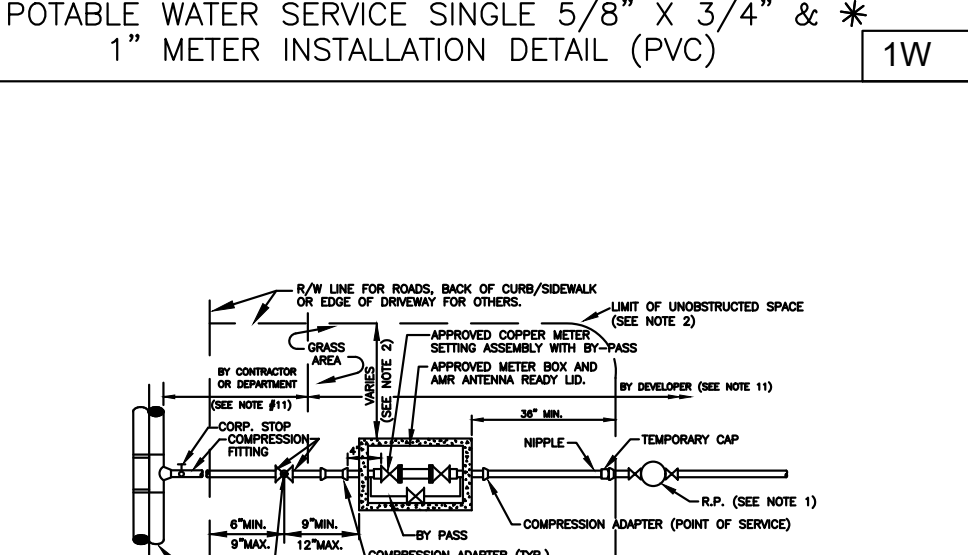
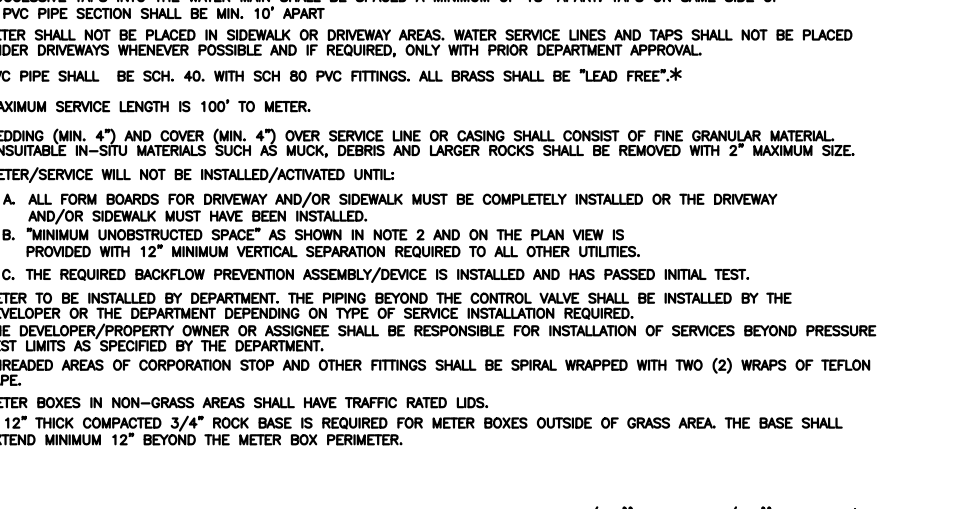
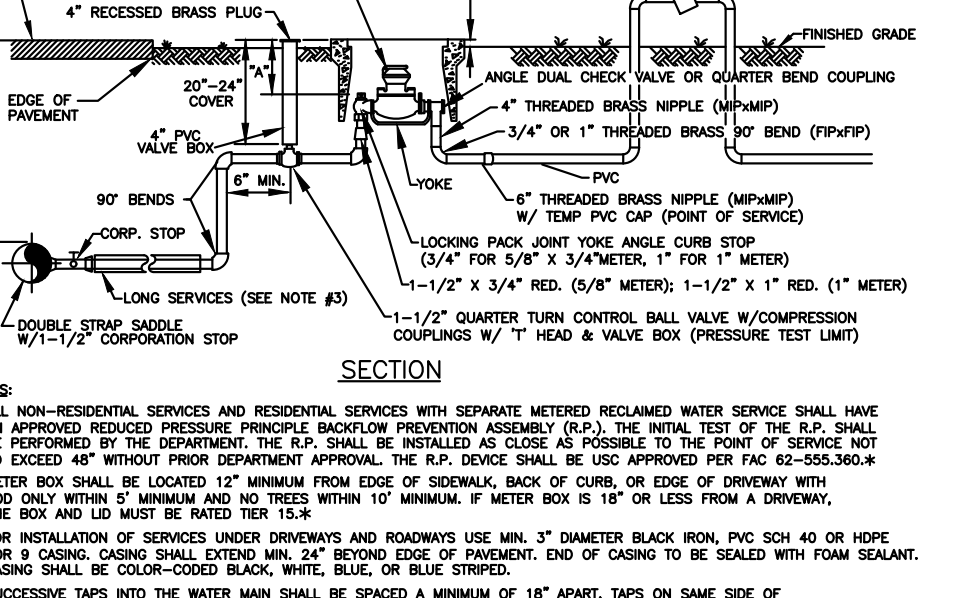
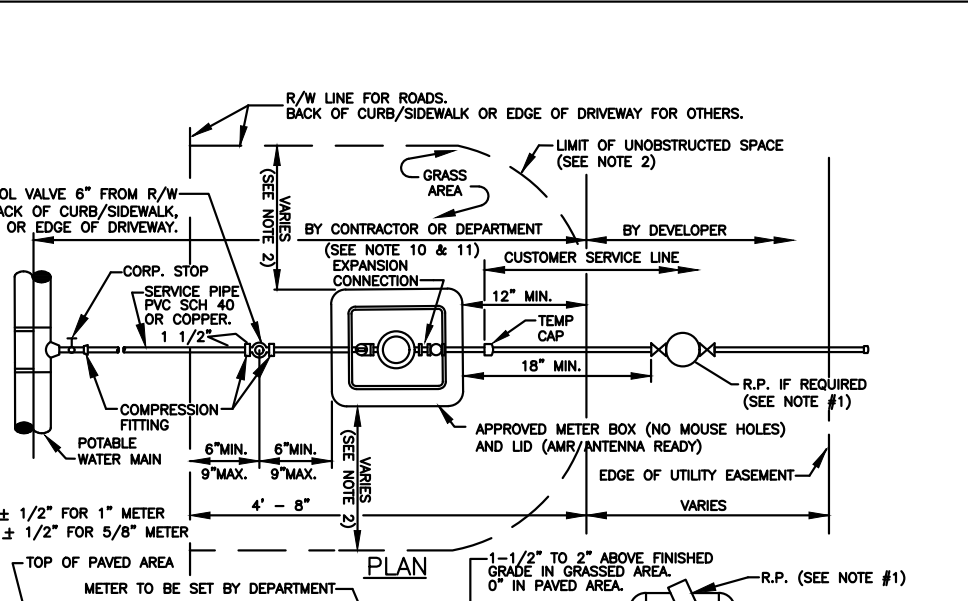
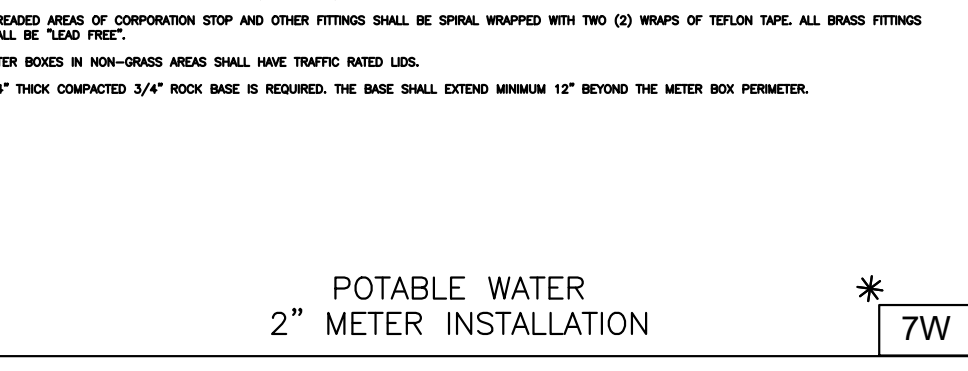
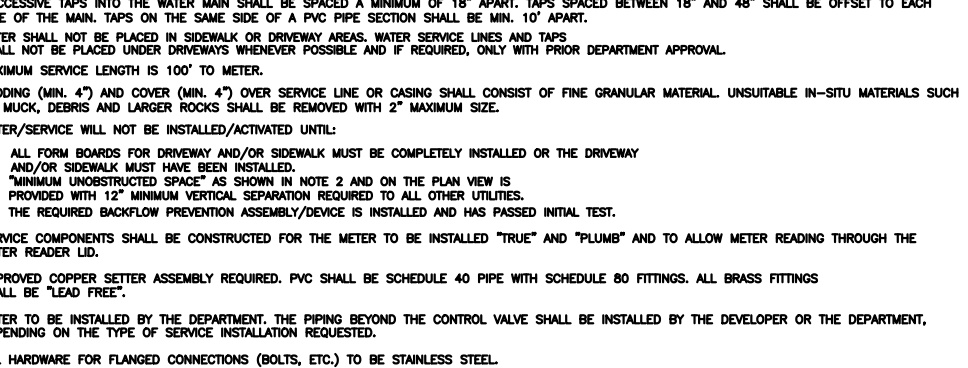
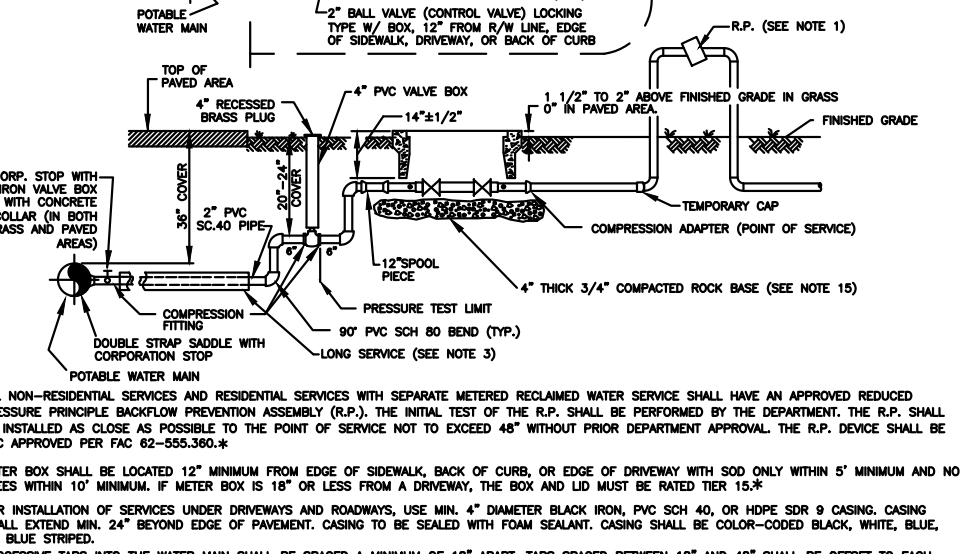
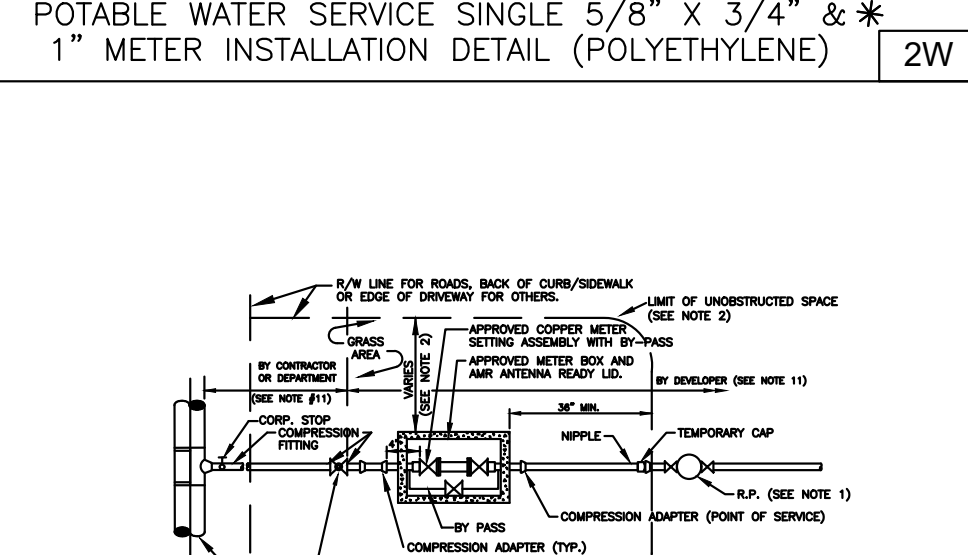
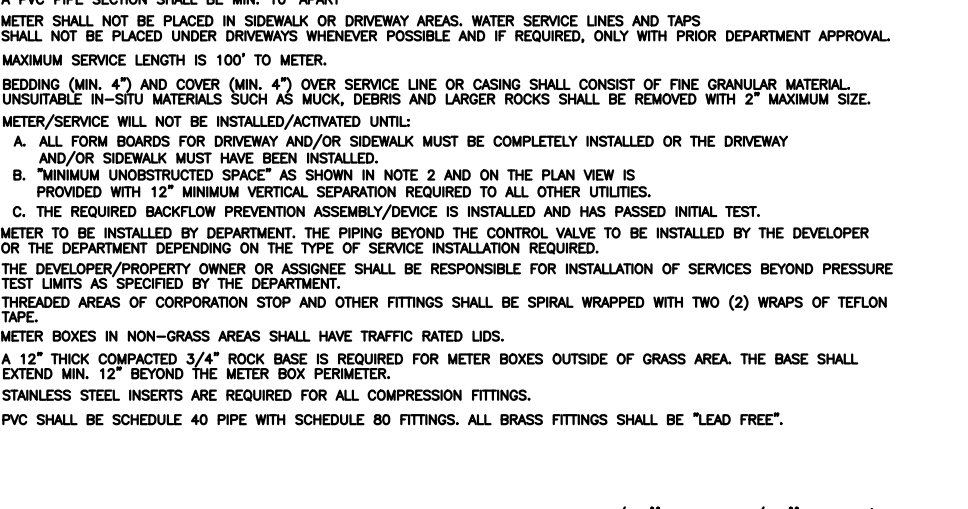
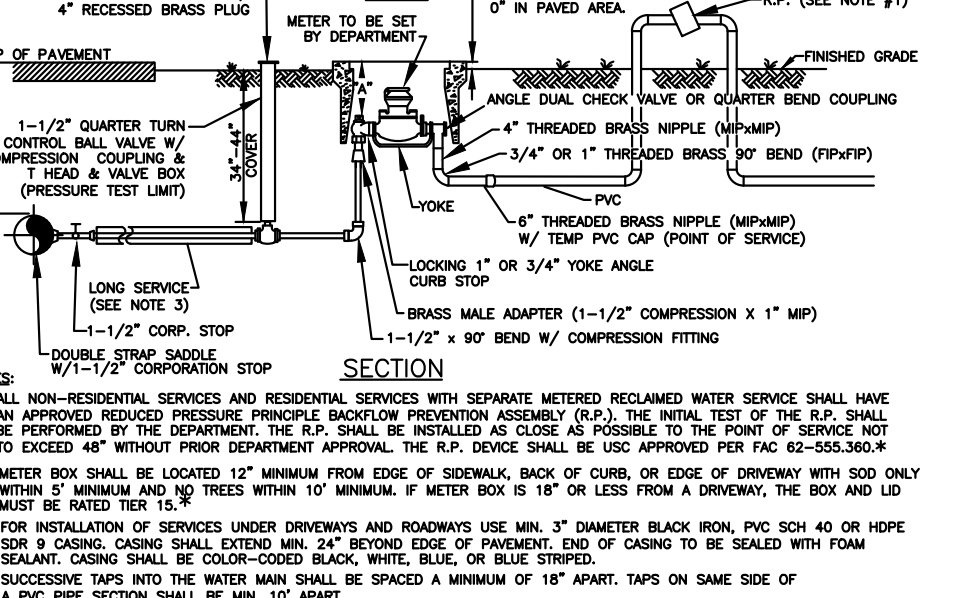
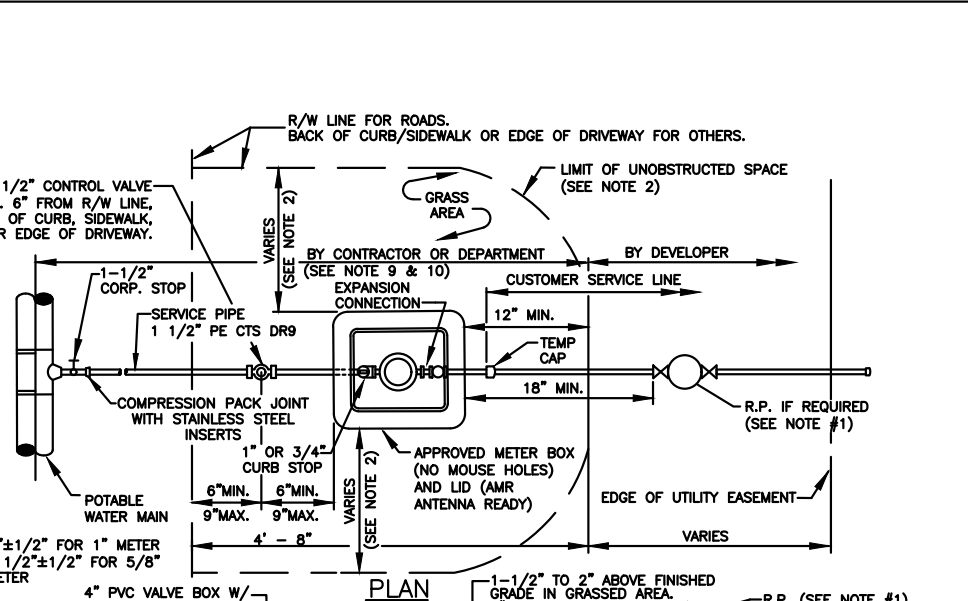
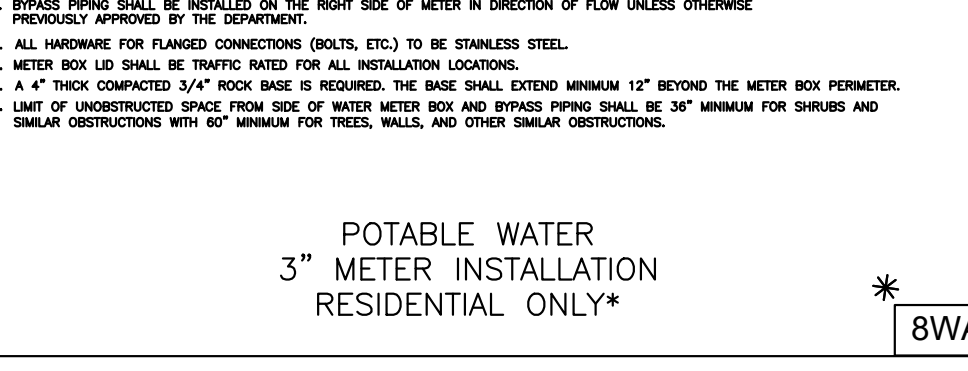
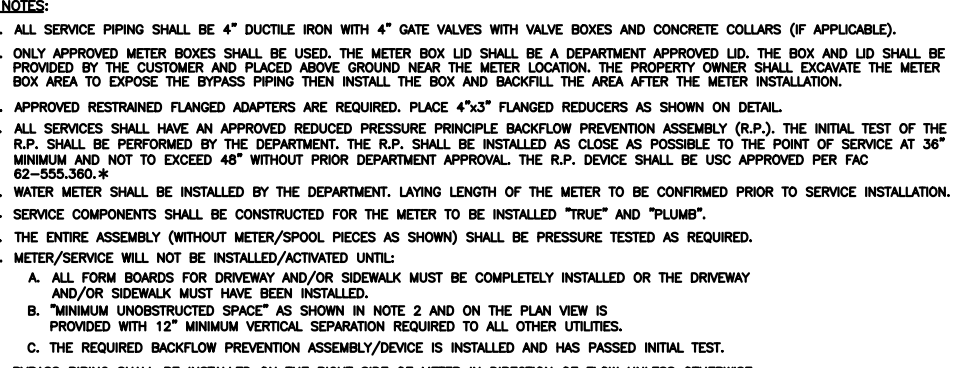
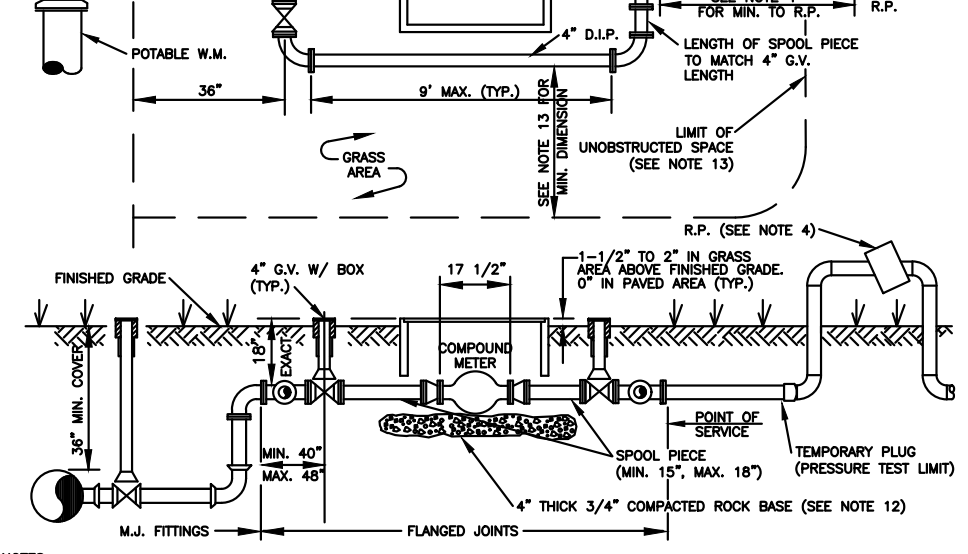
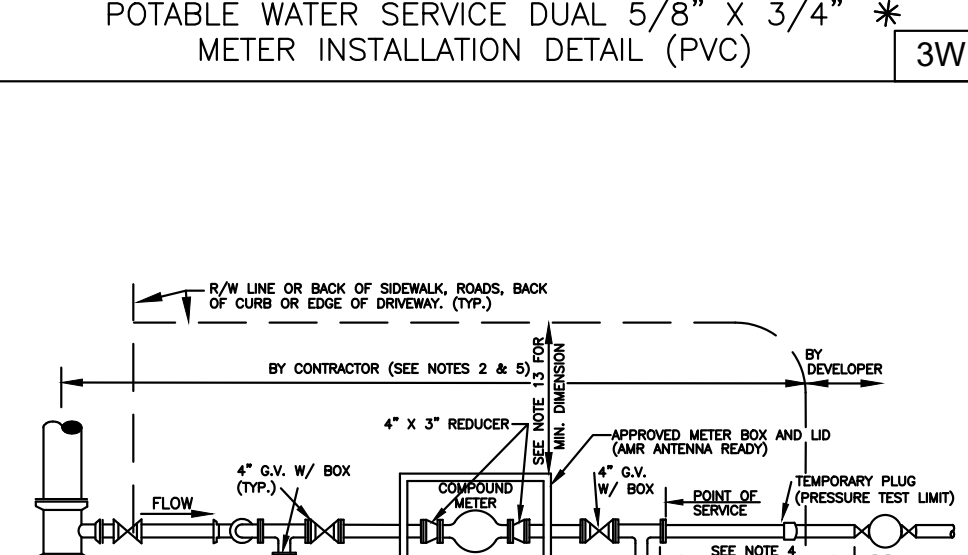
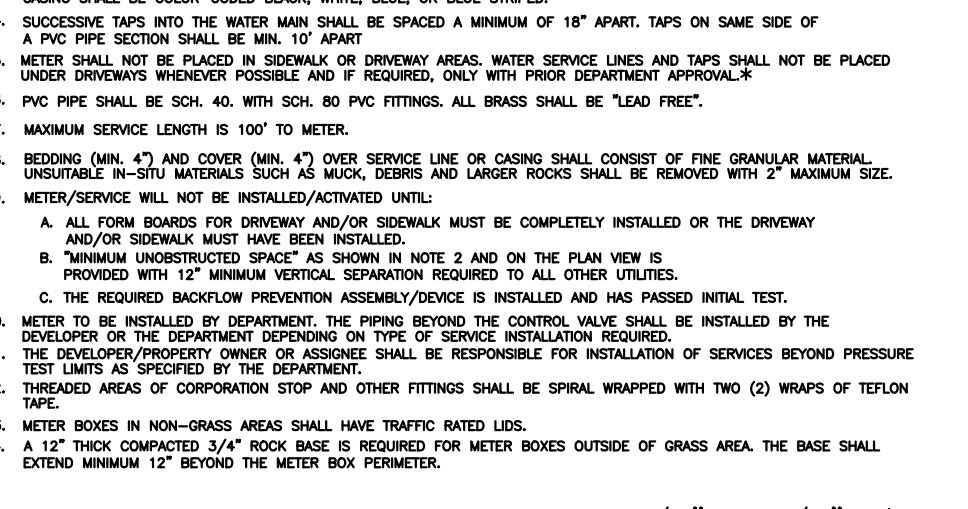
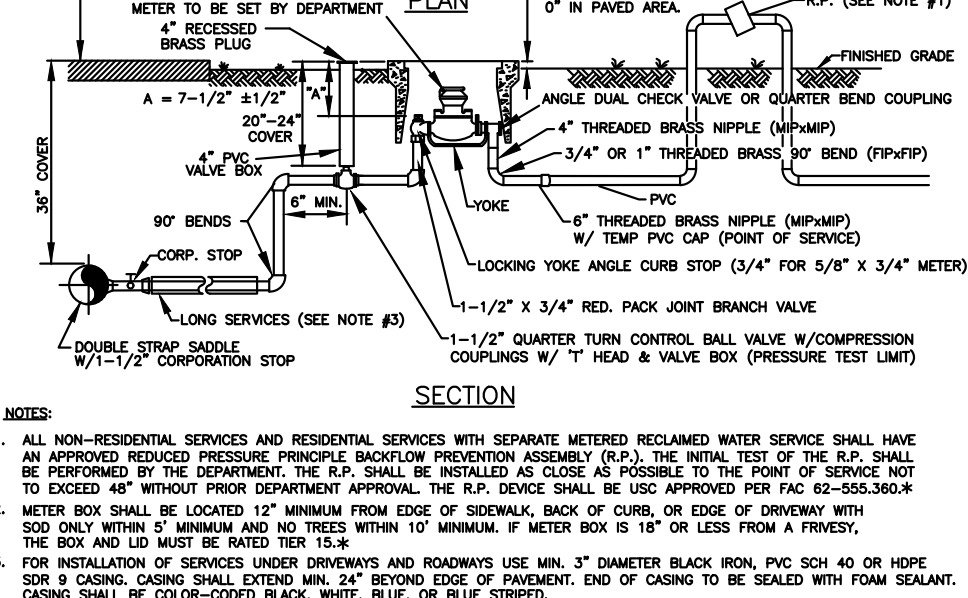
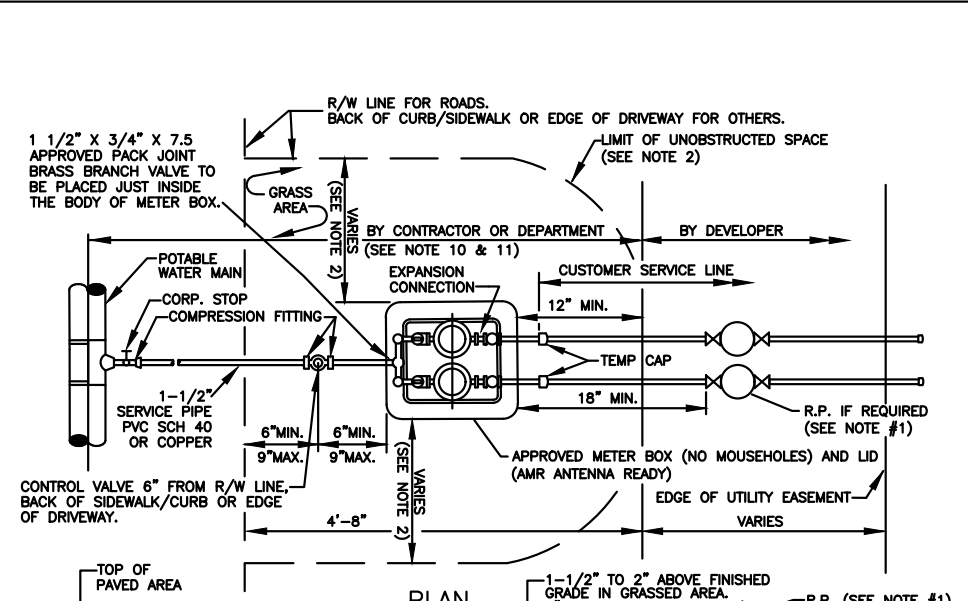
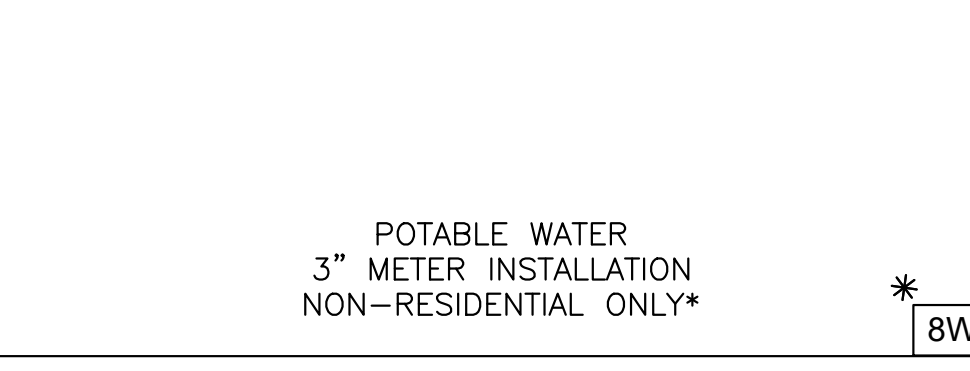
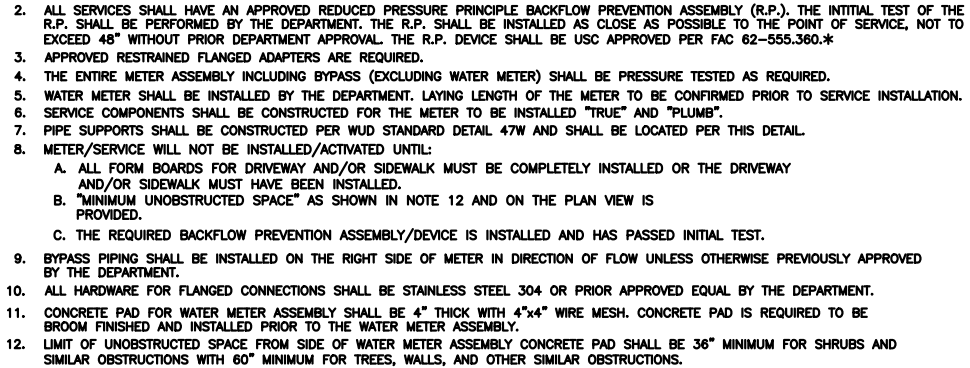
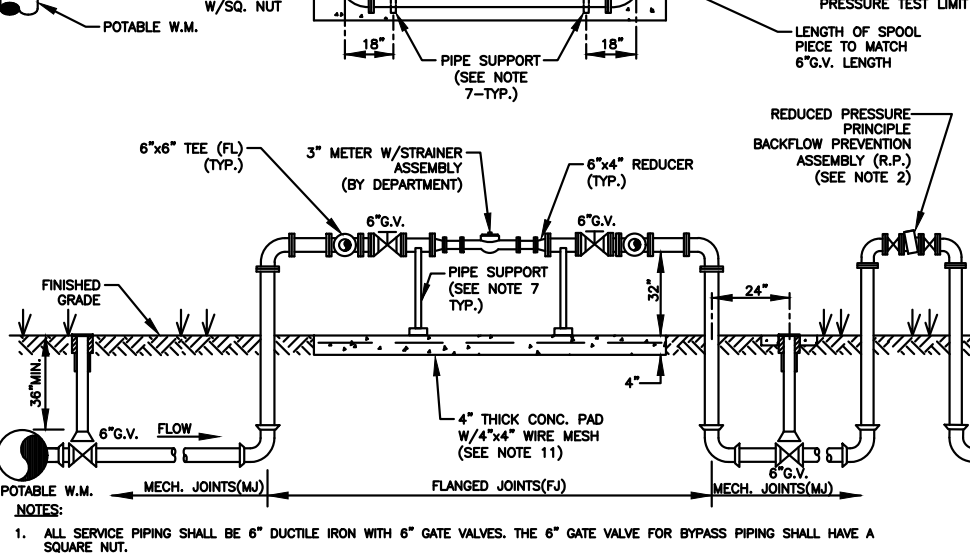
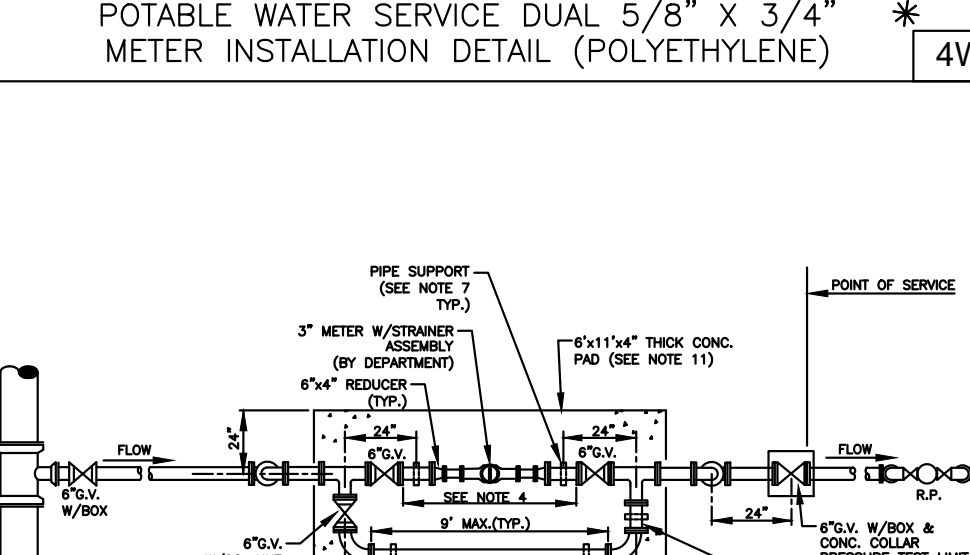
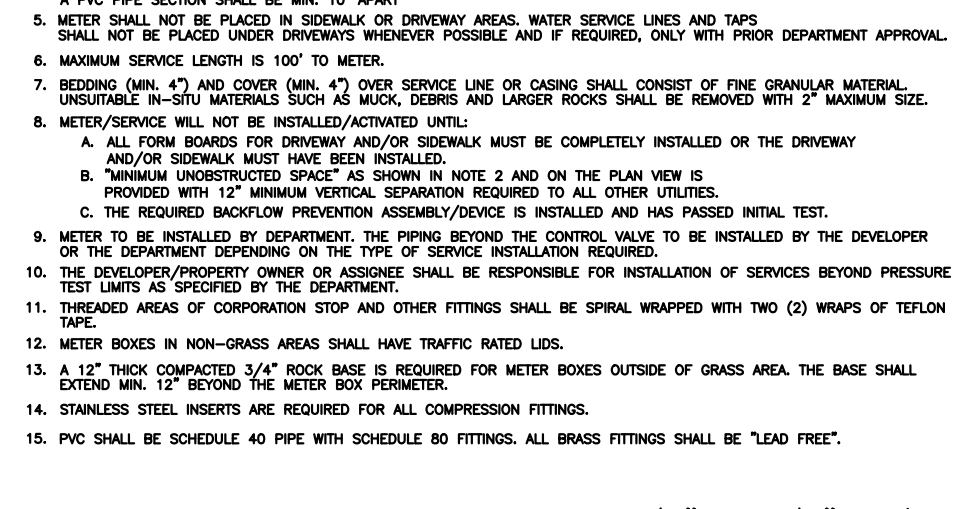
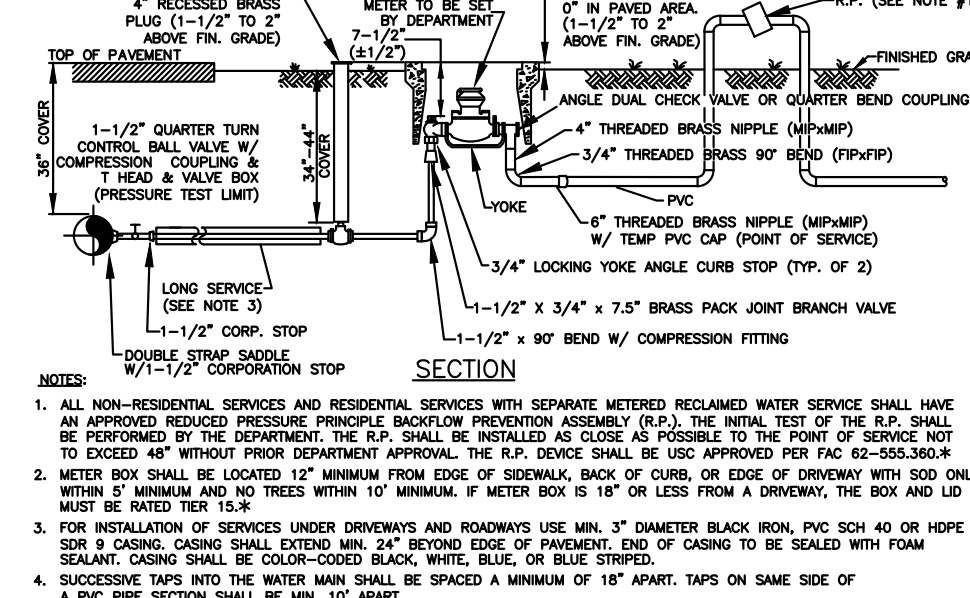
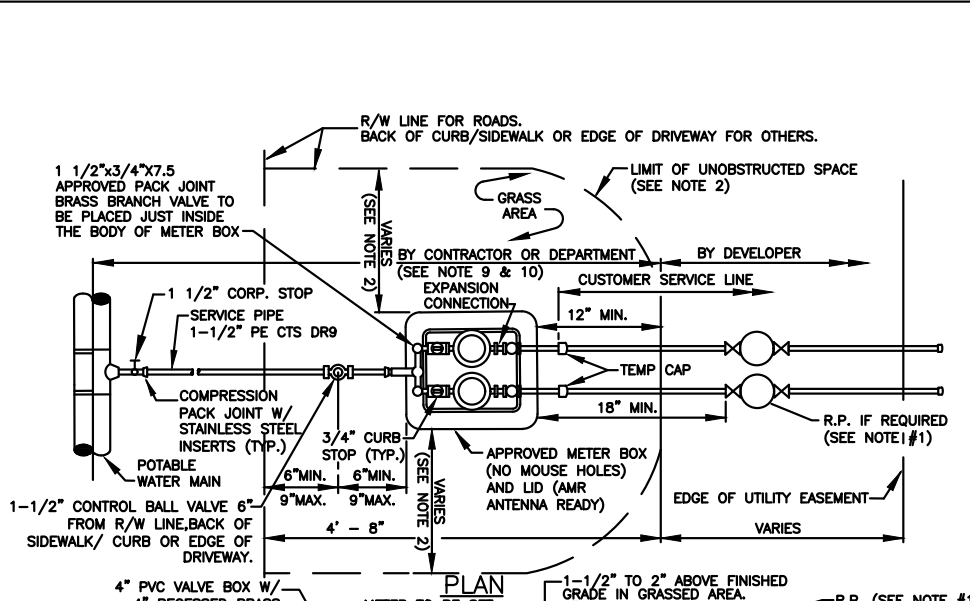
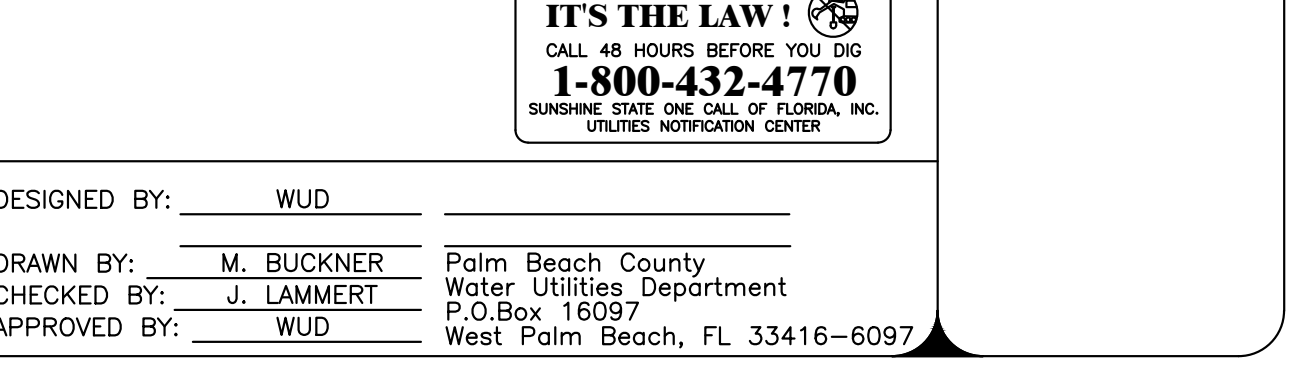
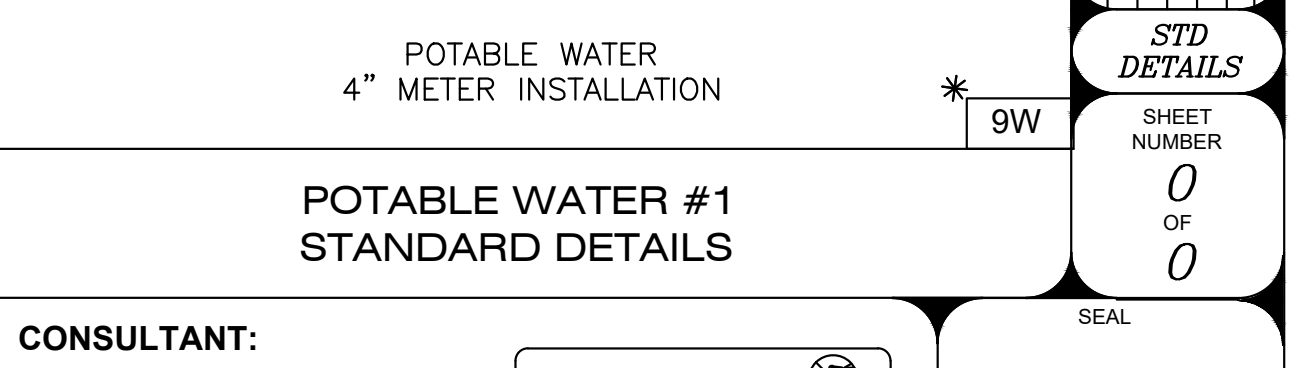
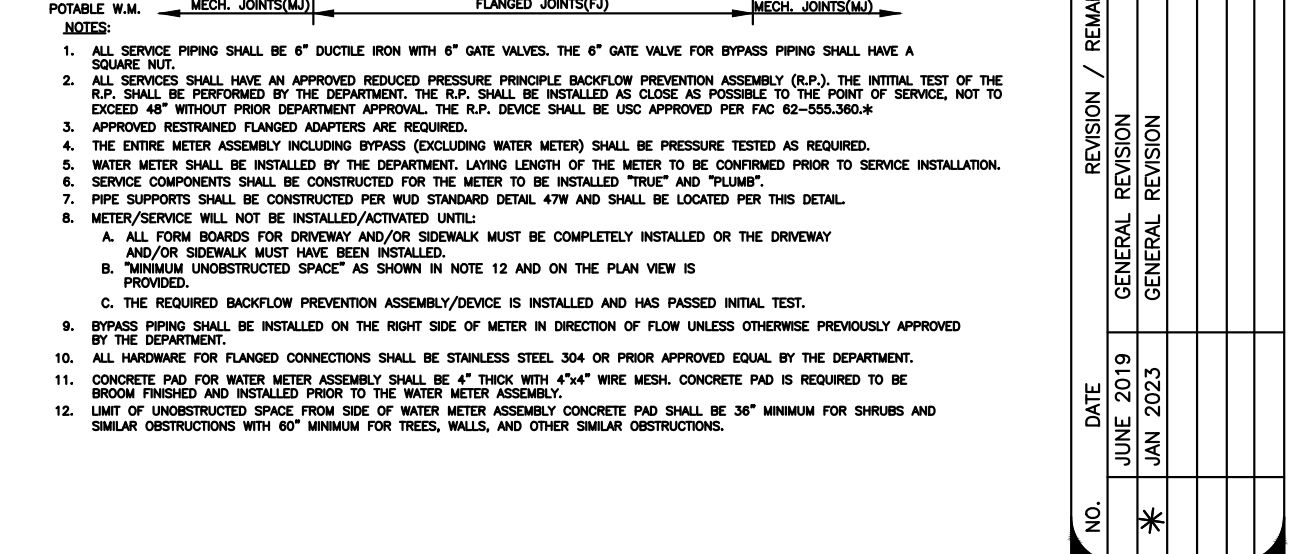
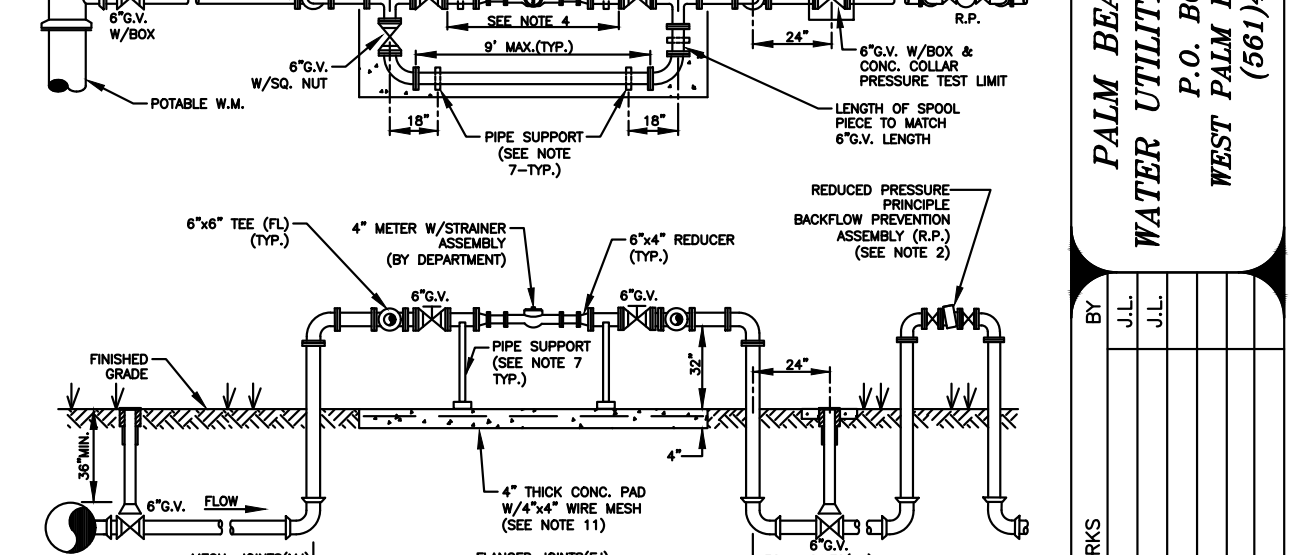
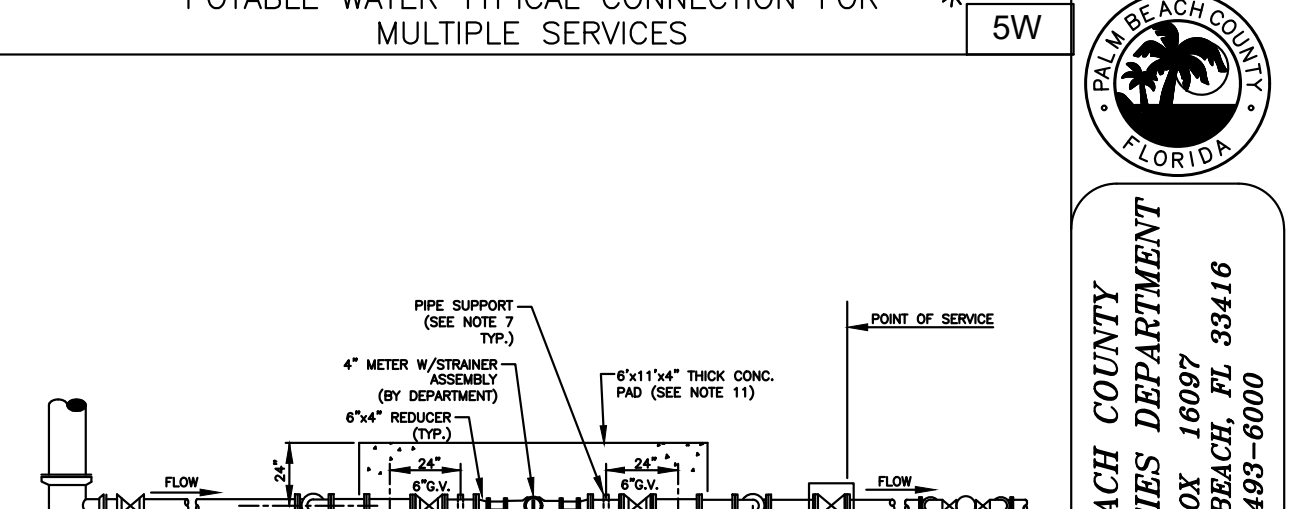
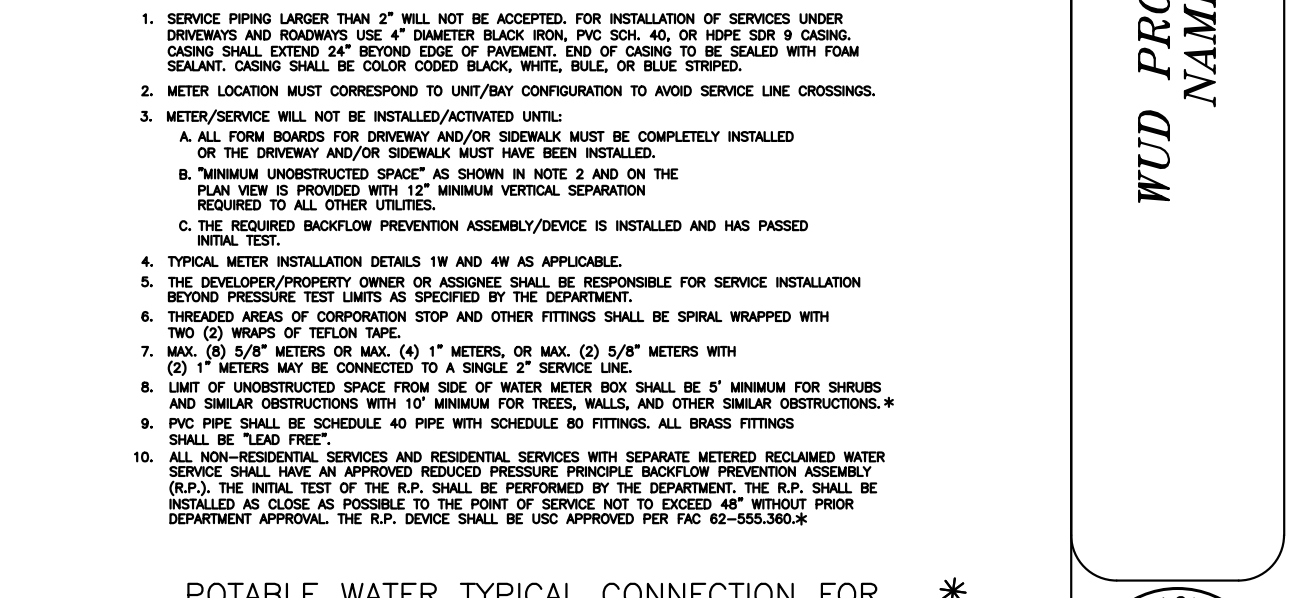
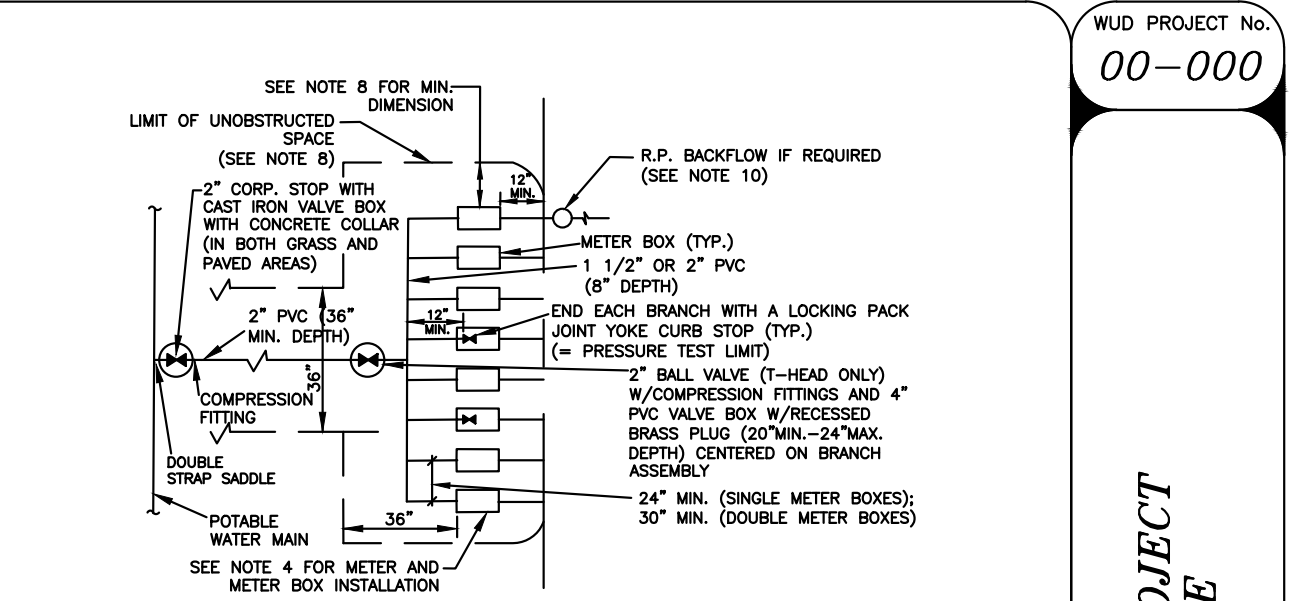
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CALL 48 HOURS BEFORE YOU DIG  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.  
UTILITIES NOTIFICATION CENTER

DESIGNED BY: WUD  
DRAWN BY: M. BUCKNER  
CHECKED BY: J. LAMMERT  
APPROVED BY: WUD

Palm Beach County  
Water Utilities Department  
P.O. Box 16097  
West Palm Beach, FL 33416-6097

## WATER & SEWER DETAILS

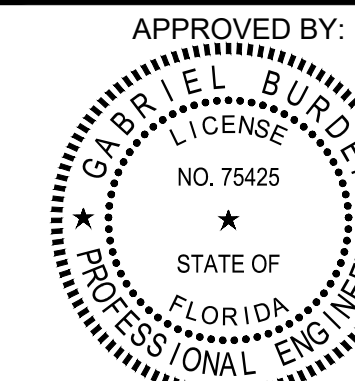
# C7.1





**GARDEN SQUARE TOWNHOUSE DEVELOPMENT**

6645 CHICKASAW ROAD  
 GREENACRES, FL 33467



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CDI PROJECT NO.  
 23805-01

DATE: 11/08/2024

DESIGNED: CDI

DRAWN: CDI

NO. DATE REVISION DESCRIPTION

NO.	DATE	REVISION DESCRIPTION

WUD PROJECT No.  
 00-000

WUD PROJECT NAME

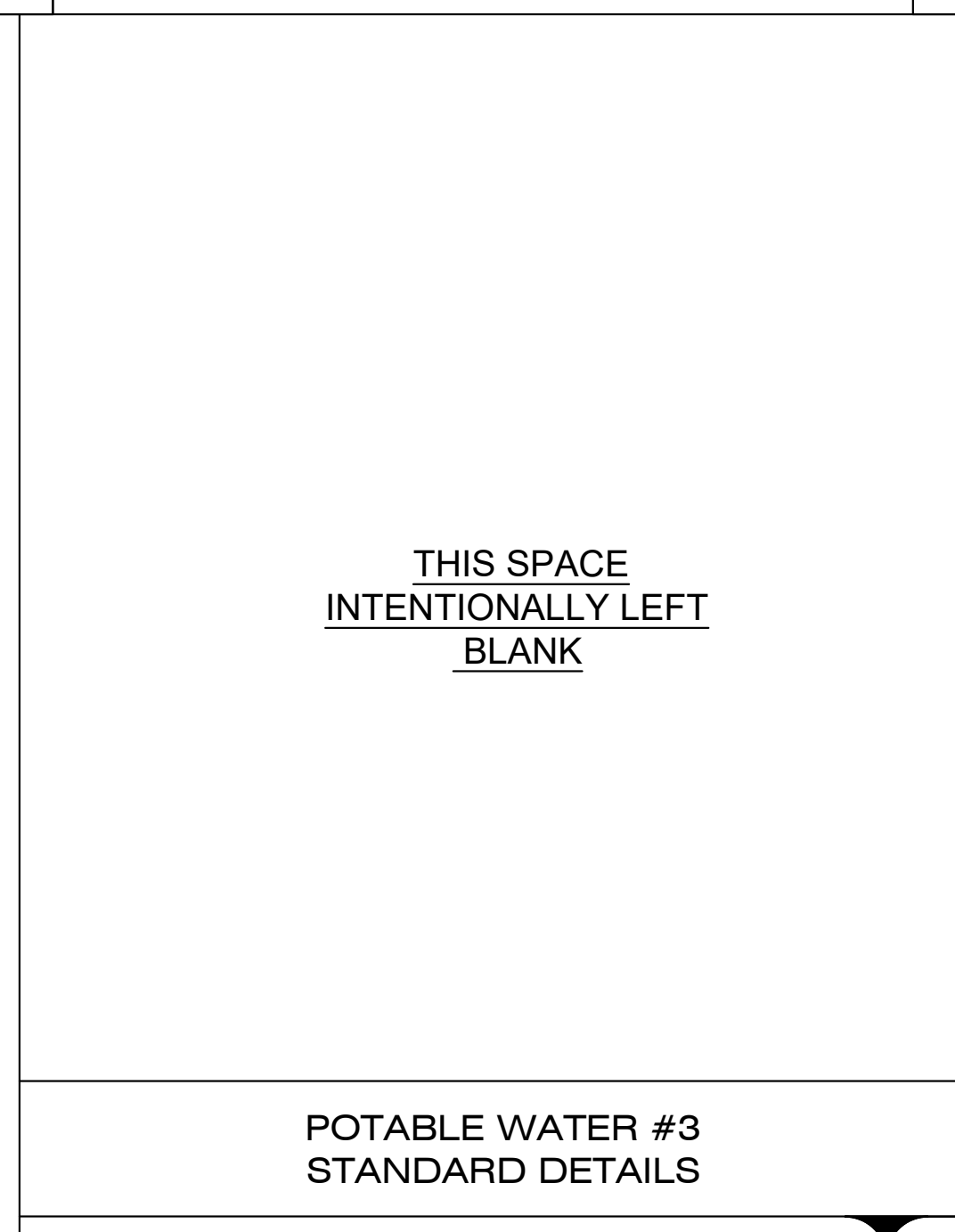
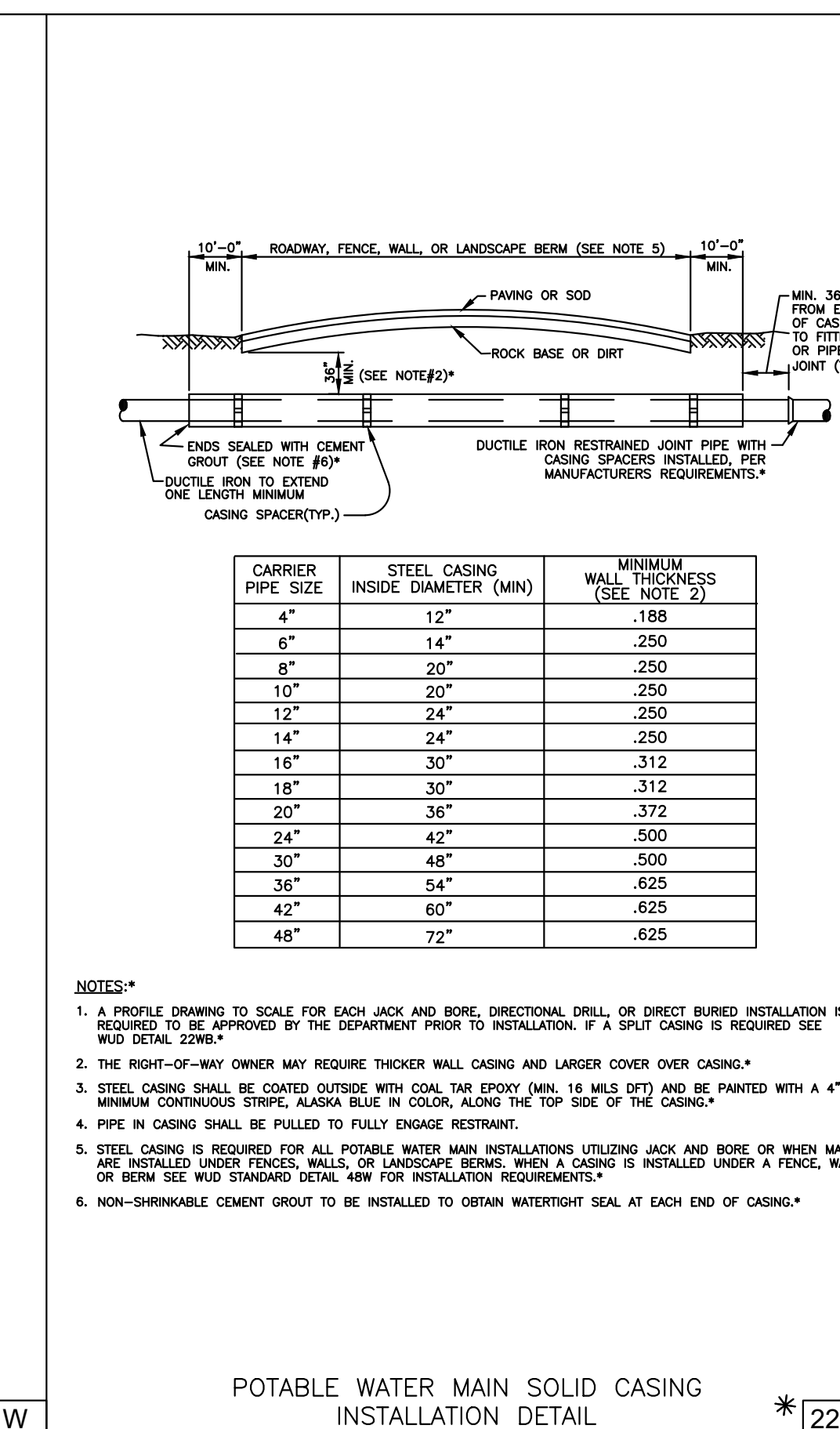


PALM BEACH COUNTY  
 WATER UTILITIES DEPARTMENT  
 P.O. BOX 16097  
 WEST PALM BEACH, FL 33418  
 (561)498-8000

NO.	DATE	REVISION / REMARKS

STD DETAILS  
 SHEET NUMBER  
 0  
 OF  
 0

SEAL



**POTABLE WATER #3 STANDARD DETAILS**

CONSULTANT: \_\_\_\_\_

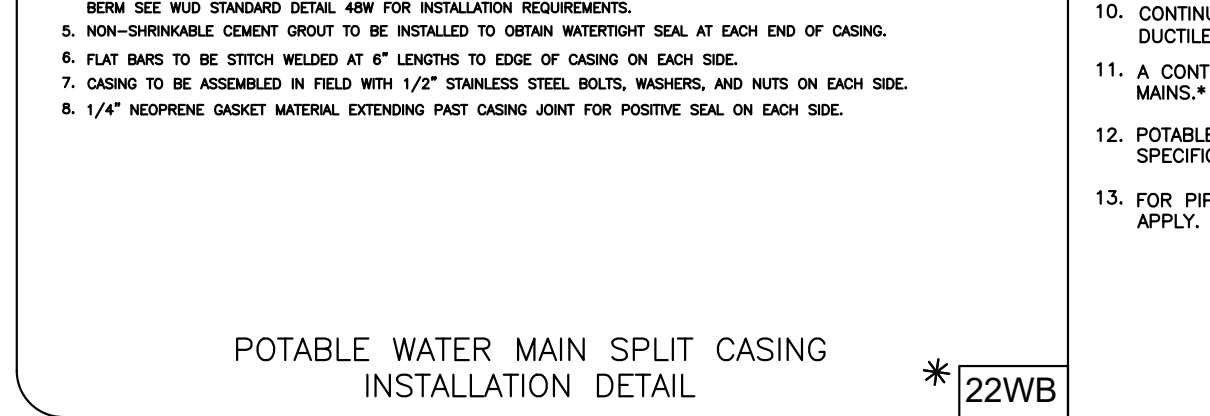
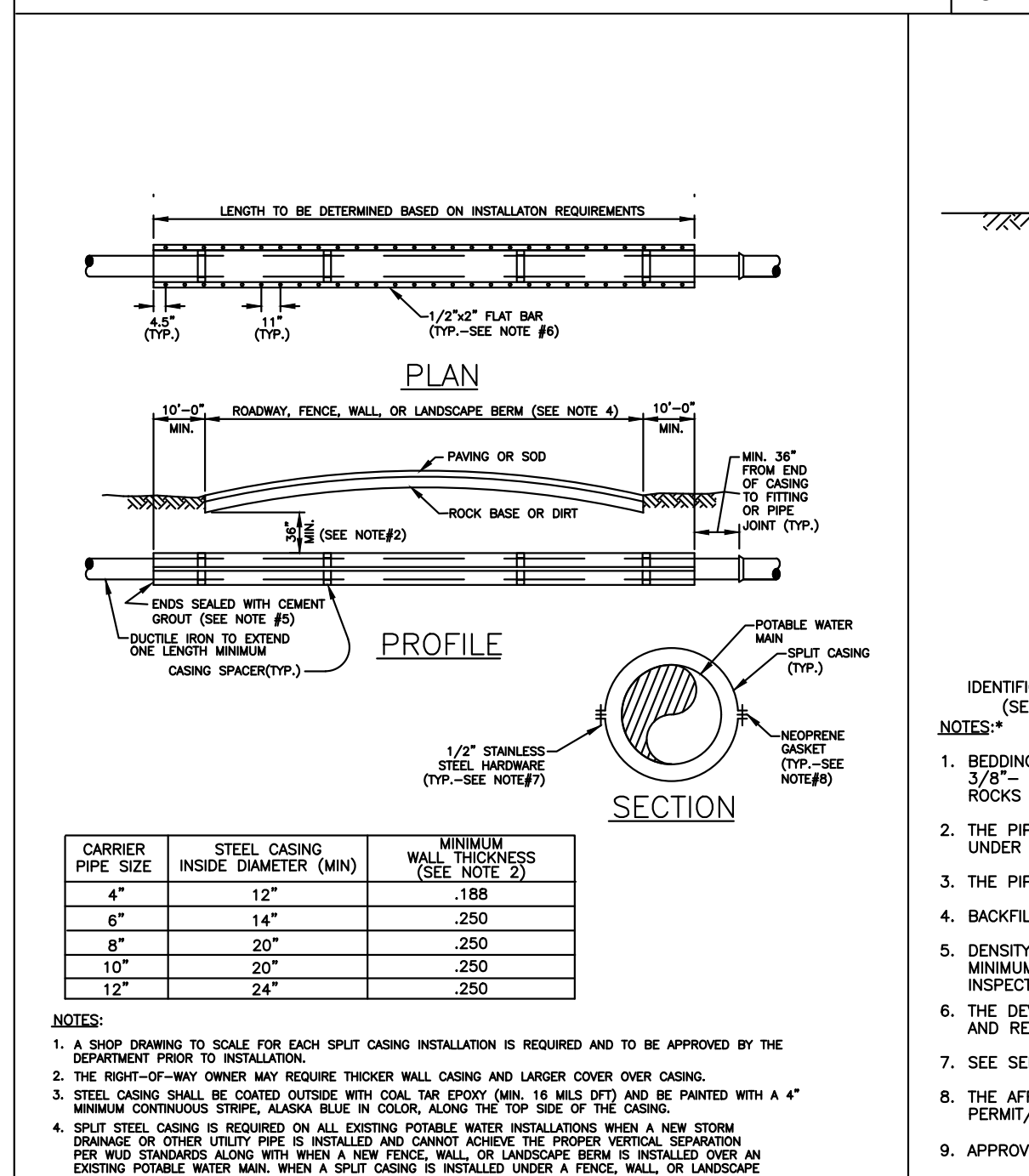
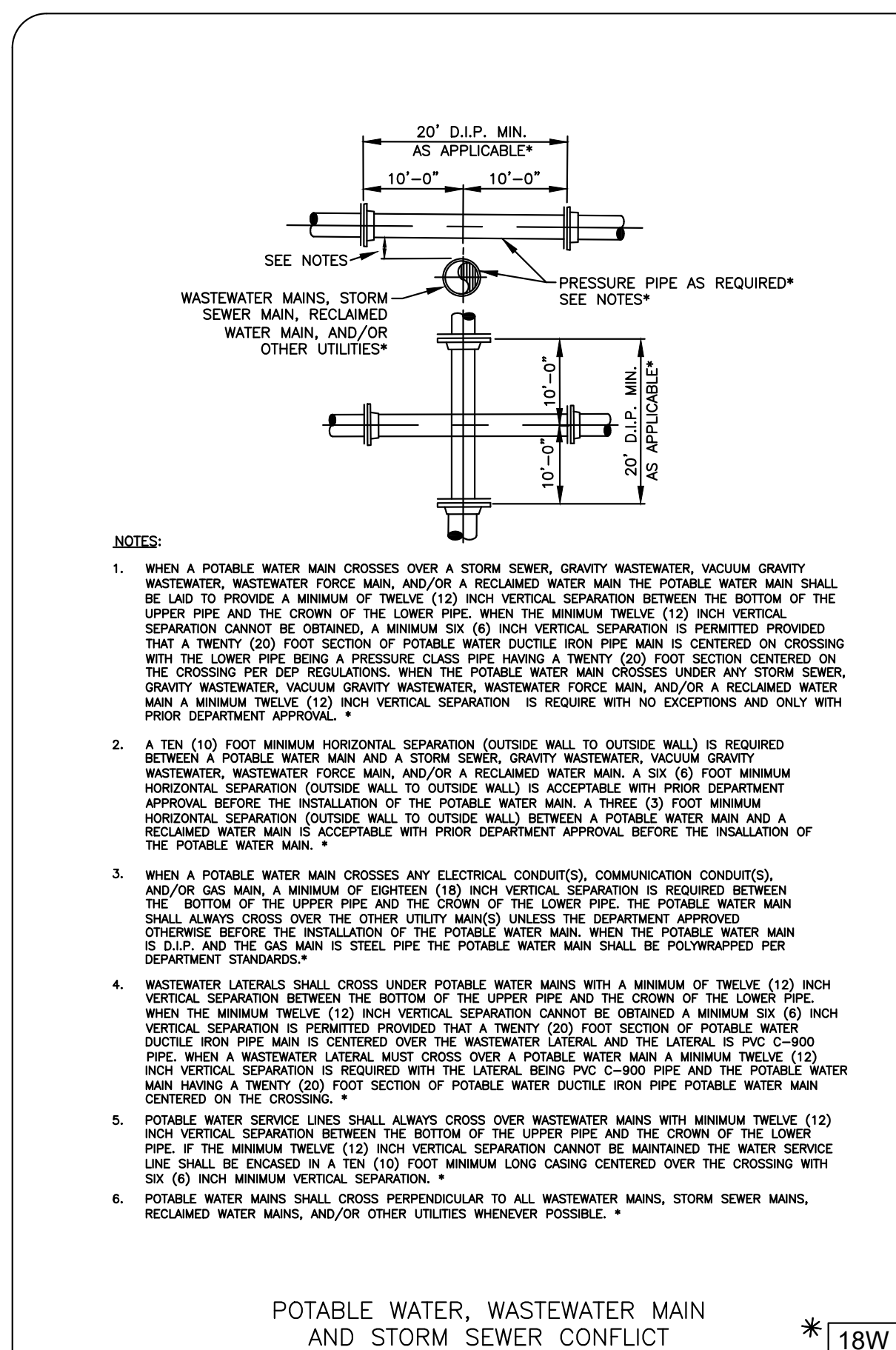
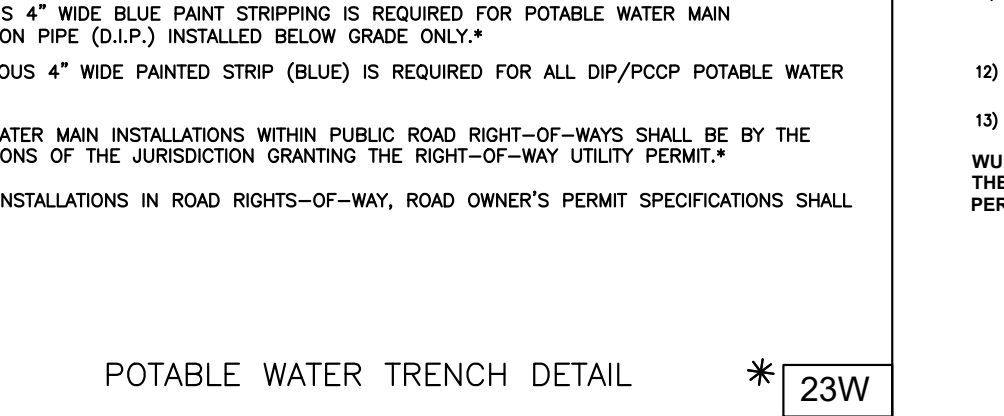
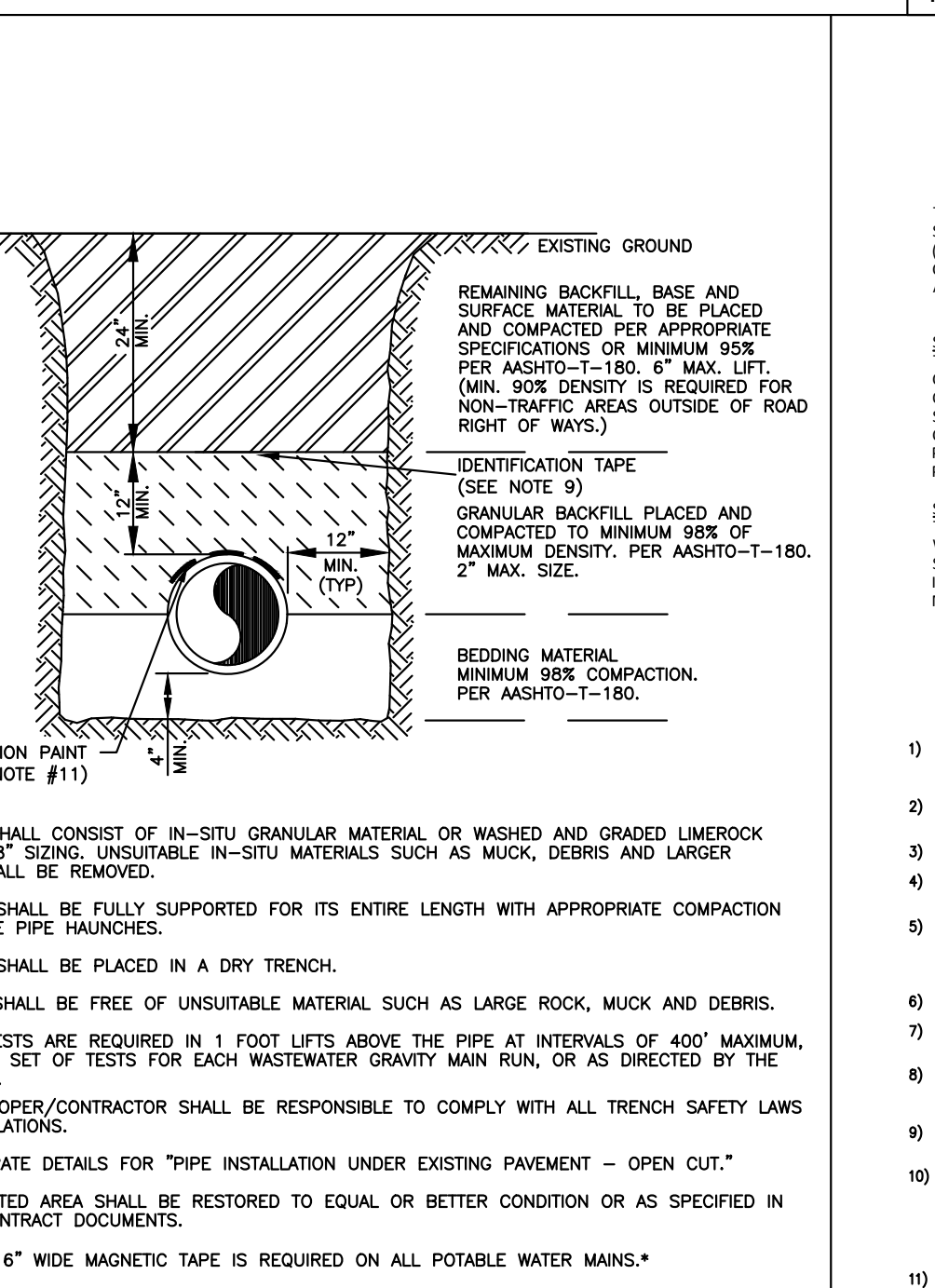
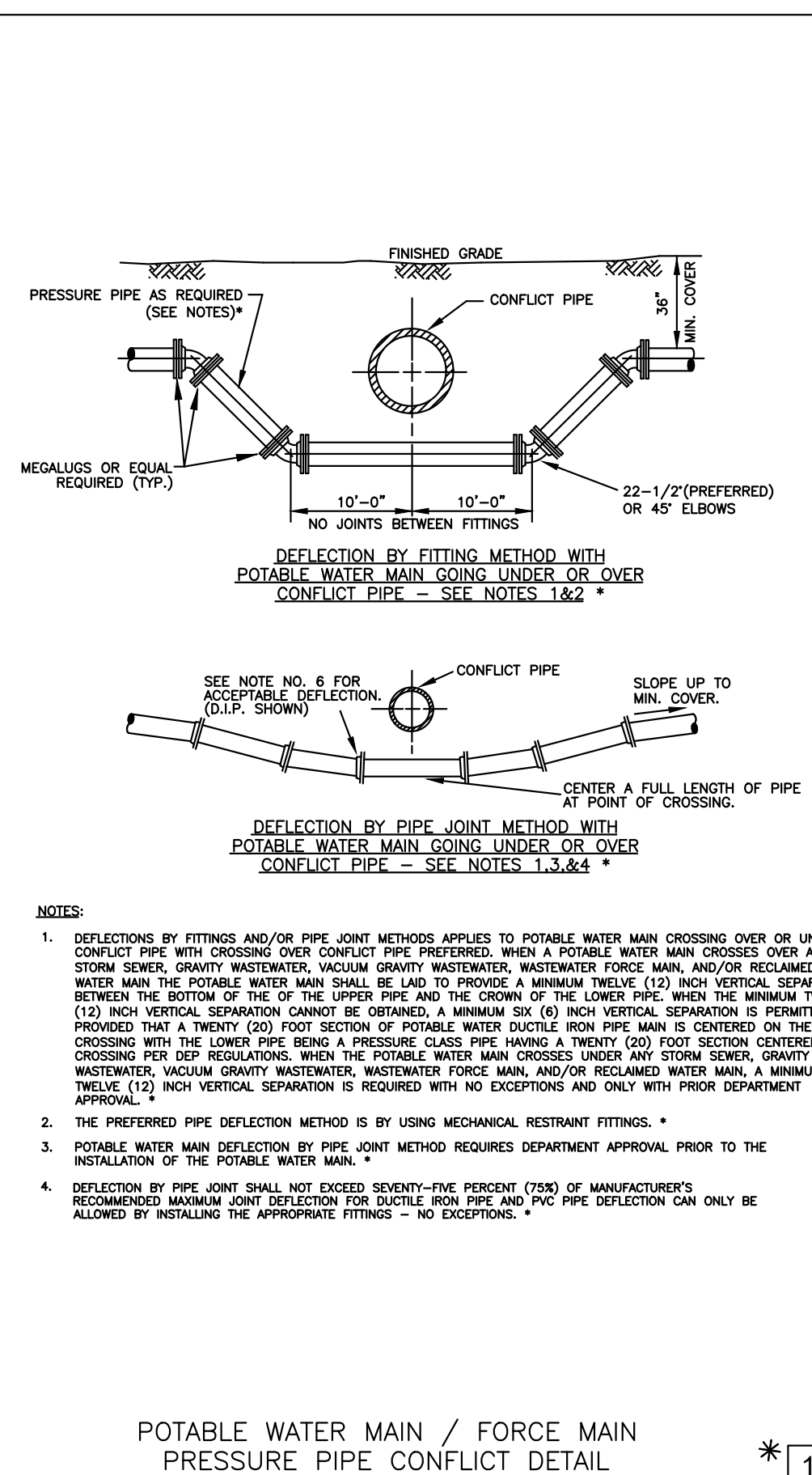
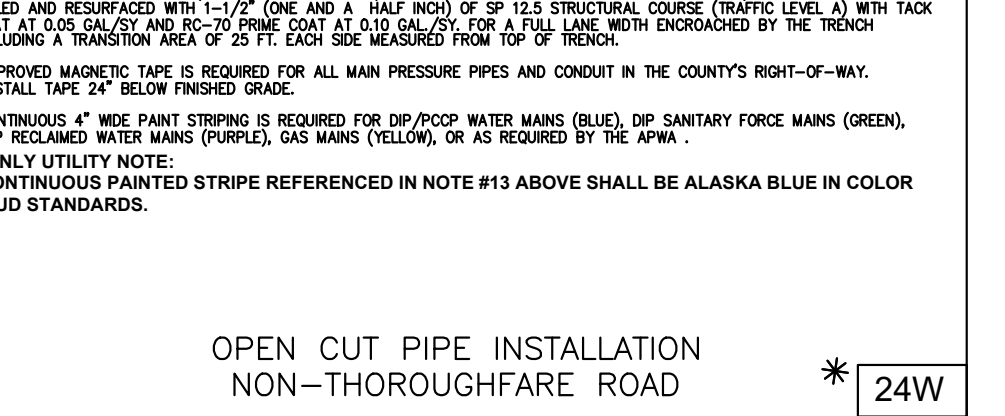
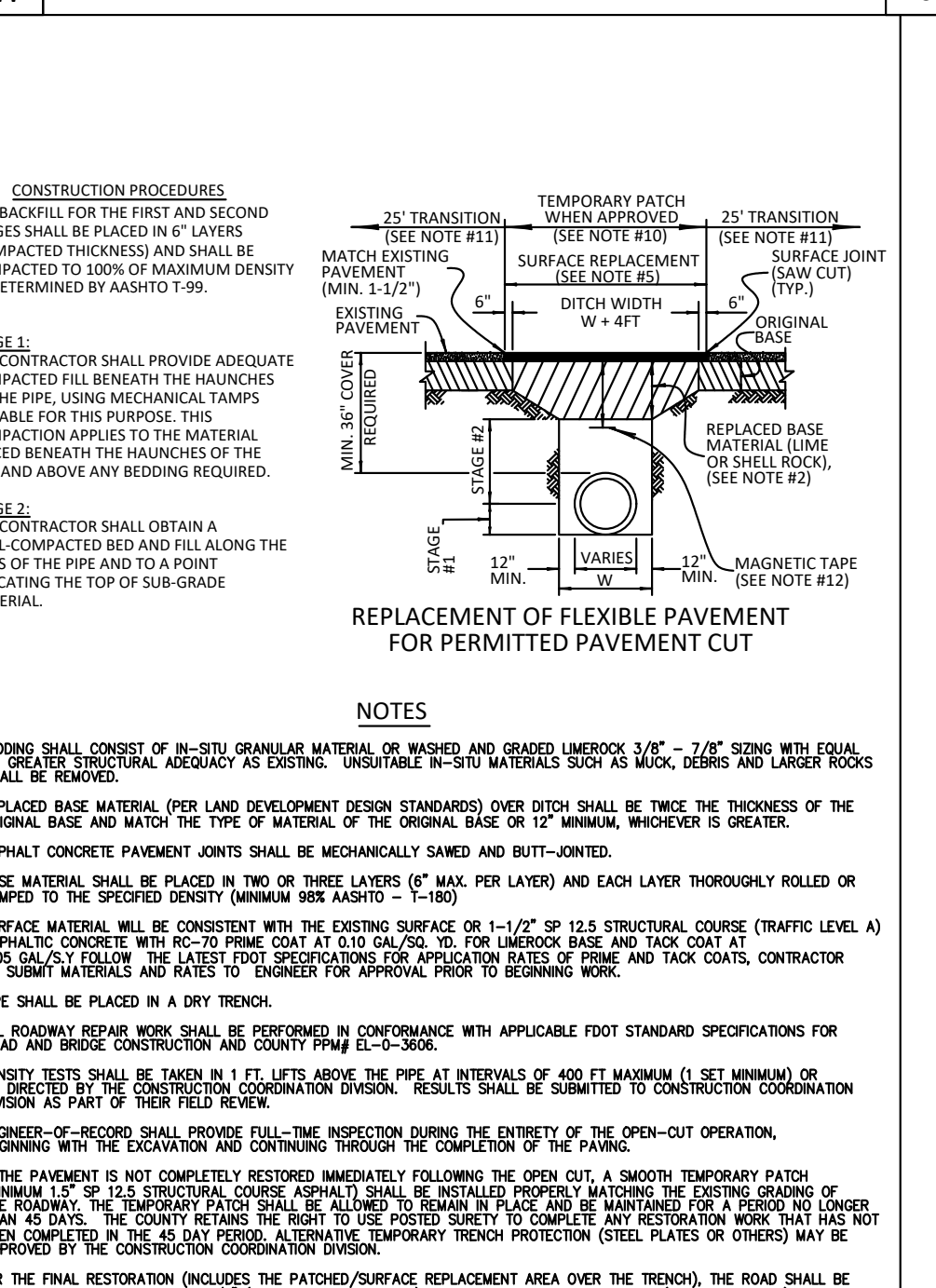
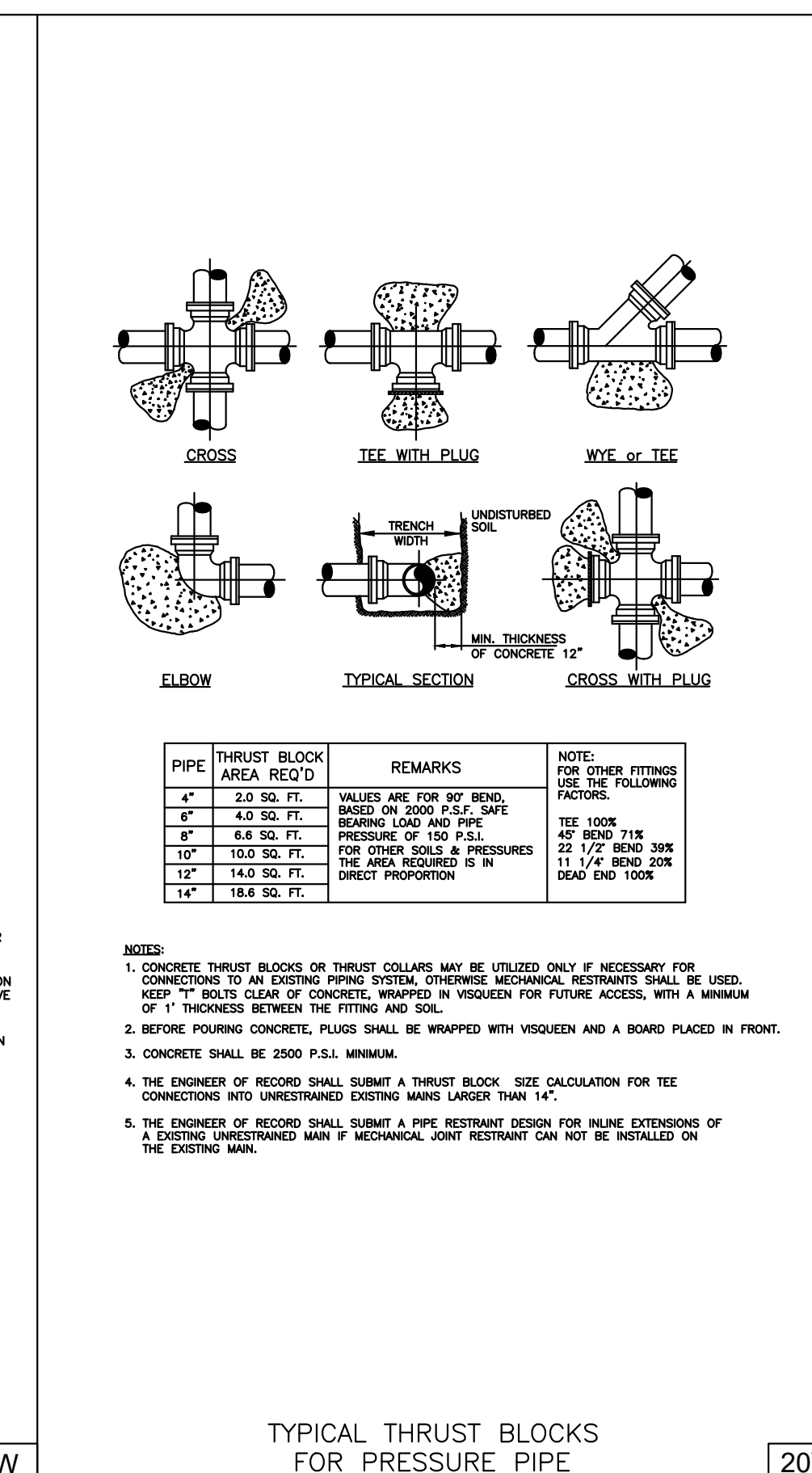
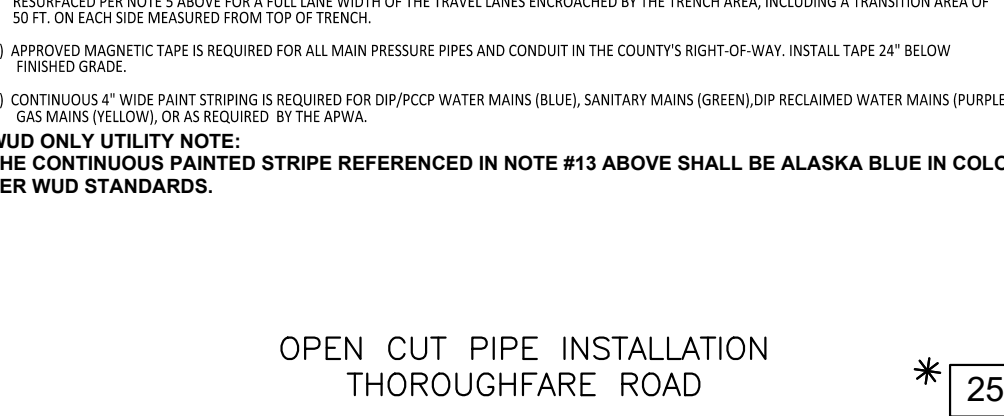
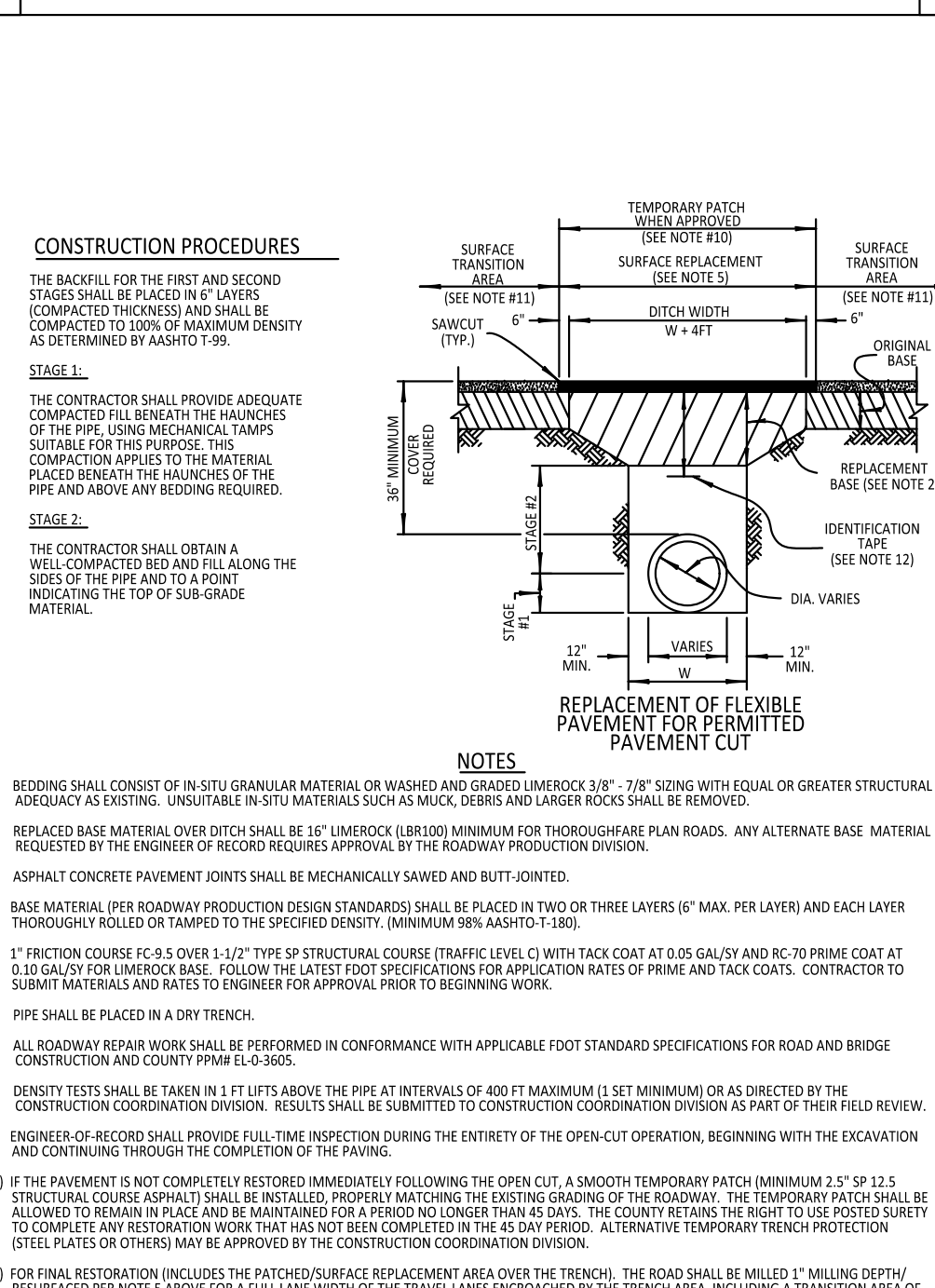
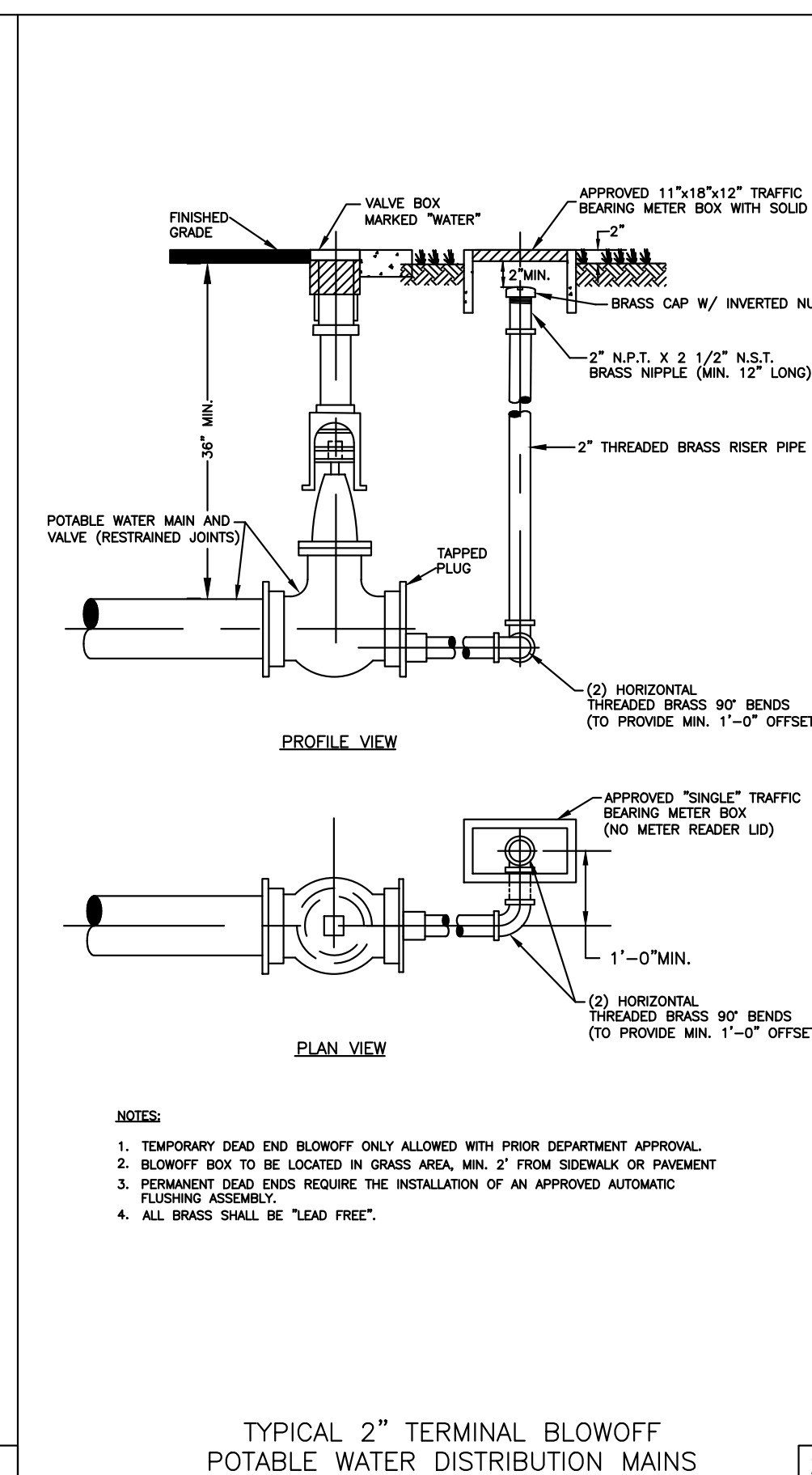
DESIGNED BY: WUD

DRAWN BY: M. BUCKNER  
 J. LAMBERT

APPROVED BY: WUD

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 Water Utilities Department  
 P.O. Box 16097  
 West Palm Beach, FL 33416-6097











**GARDEN SQUARE TOWNHOUSE DEVELOPMENT**

6645 CHICKASAW ROAD  
 GREENACRES, FL 33467



APPROVED BY:  
 GABRIEL BURDEN  
 P.E. NO. 75425  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GABRIEL BURDEN, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Gabriel Burden, P.E.  
 Florida License No. 75425

CDI PROJECT NO.  
 23805-01

DATE: 11/08/2024

DESIGNED: CDI

DRAWN: CDI

NO.	DATE	REVISION DESCRIPTION

WUD PROJECT NO.  
 00-000

WUD PROJECT NAME



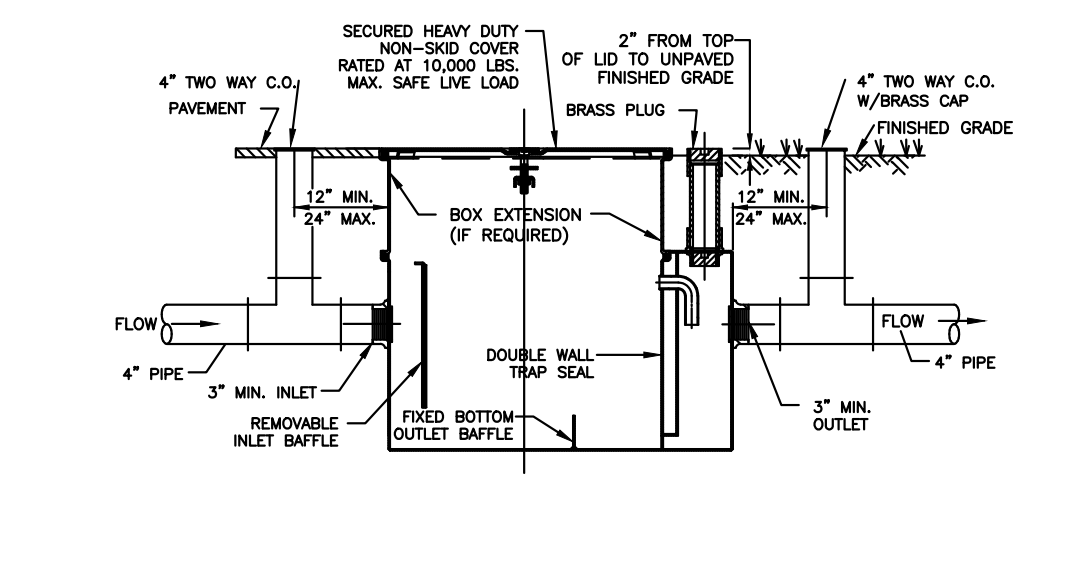
PALM BEACH COUNTY  
 WATER UTILITIES DEPARTMENT  
 P.O. BOX 16007  
 WEST PALM BEACH, FL 33416  
 (561) 960-0000

BY: J.L. J.L.  
 DATE: DEC 2021  
 JUN 2023

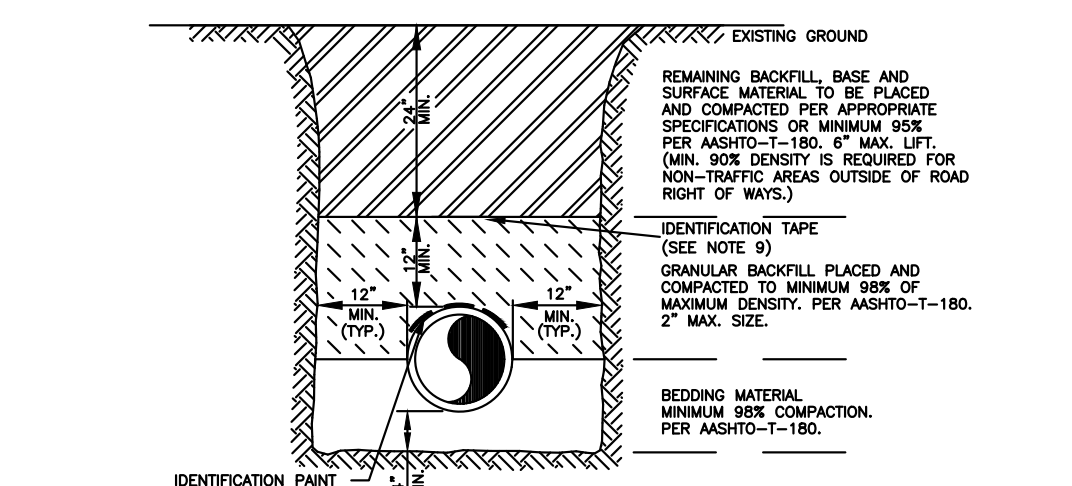
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STD DETAILS  
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SEAL



- NOTES:**
1. THE GREASE TRAP SHALL BE WATER TIGHT AND GAS TIGHT AND SHALL BE FABRICATED FROM STEEL, ACID RESISTANT COATED INTERIOR AND EXTERIOR.
  2. THE GREASE TRAP SHALL BE CERTIFIED AND TAGGED BY THE SEAL OF THE PLUMBING AND DRAINAGE INSTITUTE (PDI), AND PDI RATED AT 50 GPM FLOW RATE AND 100 LBS. GREASE CAPACITY. THE GREASE TRAP SIZE, DESIGN AND INSTALLATION MUST COMPLY OR EXCEED THE APPLICABLE BUILDING CODES AND REGULATIONS.
  3. THE GREASE TRAP MAY BE USED IF AN OIL/GREASE INTERCEPTOR IS NOT REQUIRED AND ONLY FOR APPLICATIONS UP TO 25 GPM FLOW RATE (ONE MINUTE FLOW) OR 50 GPM (TWO MINUTE FLOW), DETERMINED USING THE PDI C-101 STANDARD. FOR HIGHER FLOW RATES OR GREASE CAPACITY GREATER THAN 100 LBS., AN APPROVED OIL/GREASE INTERCEPTOR WILL BE REQUIRED. A DESIGN CALCULATION SHALL BE SUBMITTED FOR APPROVAL, WITH A SHOP DRAWING PRIOR TO PRE-CONSTRUCTION MEETING. THE SHOP DRAWING SHALL BE SIGNED BY THE DESIGN ENGINEER AND BY THE CONTRACTOR. THE PROJECT NAME WITH STREET ADDRESS OF THE FACILITY (IF AVAILABLE) SHALL BE SHOWN ON THE SHOP DRAWING. OTHER DESIGNS MAY BE USED UPON APPROVAL OF SHOP DRAWINGS.
  4. THE GREASE TRAP SHALL BE LOCATED OUTDOORS, EASY ACCESSIBLE FOR MAINTENANCE AND SAMPLING, PREFERABLY IN GRASS AREA, NOT IN TRAFFIC AREA, MIN-MANHOLES ARE REQUIRED TO BE INSTALLED ON THE SURFACE SURROUNDING THE GREASE TRAP. THE SURFACE SURROUNDING THE INTERCEPTOR SHALL BE SLOPED TO DRAIN STORM WATER AWAY FROM THE INTERCEPTOR.
  5. THE GREASE TRAP SHALL NOT BE USED FOR THE PURPOSE OF INTERCEPTING SAND AND OIL FROM NON-FOOD HANDLING ESTABLISHMENTS.
  6. THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE GREASE TRAP.
  7. EACH FACILITY WITH A GREASE TRAP SHALL BE INDIVIDUALLY METERED THROUGH THE DEPARTMENT.
  8. EACH FACILITY WHICH IS REQUIRED TO INSTALL A GREASE TRAP SHALL HAVE A SEPARATE (NOT SHARED) GREASE TRAP.
  9. INSPECTION PORTS (CLEANOUTS) ARE REQUIRED TO BE INSTALLED AT EACH END OF ANY TYPE OF INTERCEPTOR WITH PORTS TO REMAIN EASILY ACCESSIBLE FOR UTILITY INSPECTION AND SAMPLING.
  10. A "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAINAGE FROM FIXTURES AND EQUIPMENT (SINKS, DISHWASHERS, FOOD DRAINS, CAN WASH BASINS, ETC.) WITH GREASE LOADED WASTE LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTELS, KITCHENS, HOSPITALS, SCHOOLS, KITCHENS, BARS, FACTORY CAFETERIAS, GULFS, ETC.
  11. THE "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE LOCATED AS CLOSE PRACTICALLY POSSIBLE TO THE FIXTURES AND EQUIPMENT GENERATING GREASE.
  12. GREASE TRAPS SHALL BE EQUIPPED WITH DEVICES TO CONTROL THE RATE OF FLOW, SO THE RATE OF THE FLOW DO NOT EXCEED 25 GPM. THE FLOW CONTROL DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE AND MANUFACTURER'S INSTRUCTIONS.
  13. A "SOLIDS INTERCEPTOR" SHALL BE CONSIDERED TO BE INSTALLED UPSTREAM OF A "GREASE TRAP" WHERE SUBSTANTIAL AMOUNT OF SOLIDS FROM FOOD GRINDERS, DISPOSALS MAY BE PRESENT.

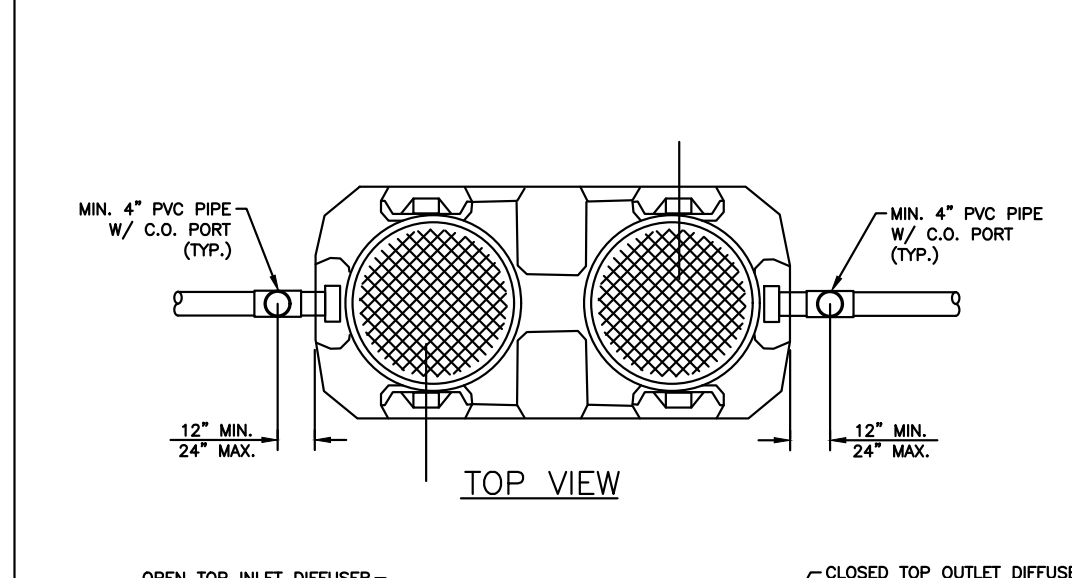


- NOTES:**
1. BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK (SANDY) 2" TO 4" DEPTH.
  2. THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DETAILS.
  3. THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE MANHOLES.
  4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK AND DEBRIS.
  5. DENSITY TESTS ARE REQUIRED IN 1' FOOT LIFTS ABOVE THE PIPE AT INTERVALS OF 400' MAXIMUM, MINIMUM 1 SET OF TESTS FOR EACH WASTEWATER GRAVITY MAIN RUN, OR AS DIRECTED BY THE INSPECTOR.
  6. THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL TRENDY SAFETY LAWS AND REGULATIONS.
  7. SEE SEPARATE DETAILS FOR "PIPE INSTALLATION UNDER EXISTING PAVEMENT - OPEN CUT".
  8. WASTEWATER MAIN INSTALLATIONS WITH PUBLIC ROAD RIGHTS-OF-WAY SHALL BE BY THE SPECIFICATIONS OF THE JURISDICTION GRANTING THE RIGHT-OF-WAY UTILITY PERMIT.
  9. A CONTINUOUS 4" WIDE PAINTED STRIP (GREEN) IS REQUIRED FOR ALL DIP SEWER (FORCE OR GRAVITY) MAINS.
  10. APPROVED 6" WIDE MAGNETIC TAPE IS REQUIRED ON ALL FORCE MAINS.
  11. APPROVED 4" (4) INCH WIDE GREEN PAINT STRIPPING IS REQUIRED FOR FORCE MAIN DUCTILE IRON PIPE (D.I.P.) INSTALLED BELOW GRADE ONLY.
  12. WASTEWATER MAIN INSTALLATIONS WITH PUBLIC ROAD RIGHTS-OF-WAY SHALL BE BY THE SPECIFICATIONS OF THE JURISDICTION GRANTING THE RIGHT-OF-WAY UTILITY PERMIT.
  13. FOR PIPE INSTALLATIONS IN ROAD RIGHTS-OF-WAY, ROAD OWNER'S PERMIT SPECIFICATIONS SHALL APPLY.

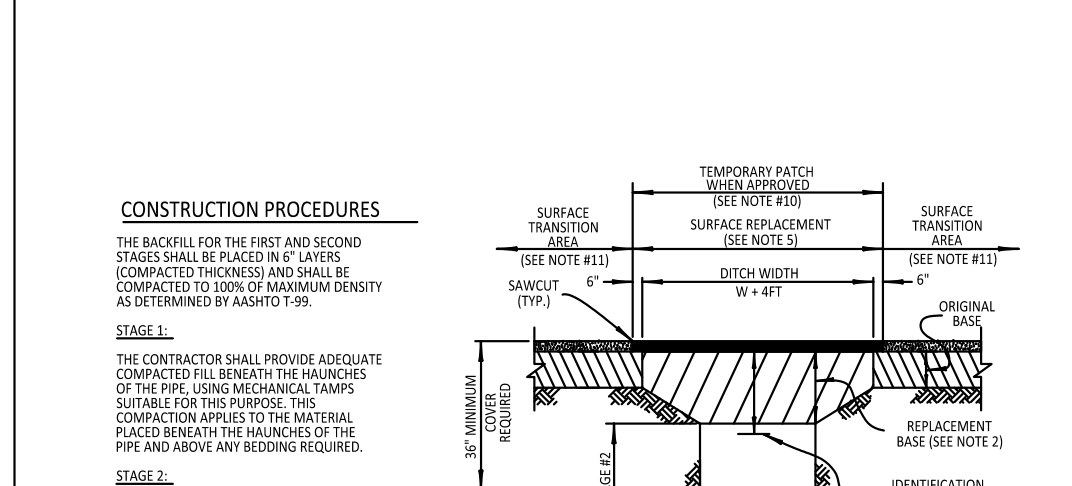
DESIGNED BY: WUD  
 DRAWN BY: M. BUCKNER  
 CHECKED BY: J. LAMMERT  
 APPROVED BY: WUD

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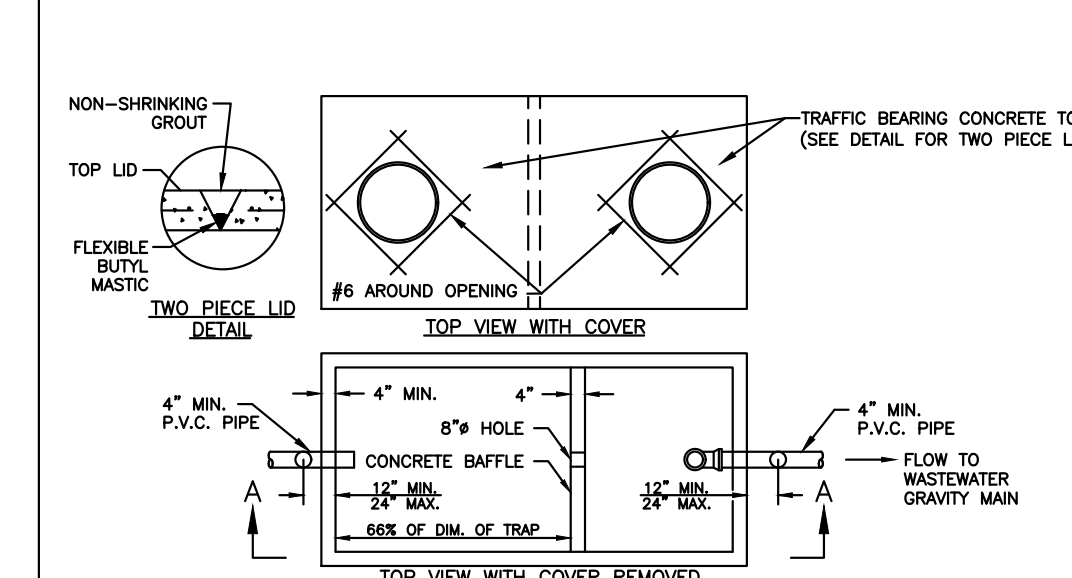


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  6. SEE WUD STANDARD DETAIL 25A FOR CONCRETE STRUCTURE TYPE SAND/OIL INTERCEPTOR INSTALLATIONS.

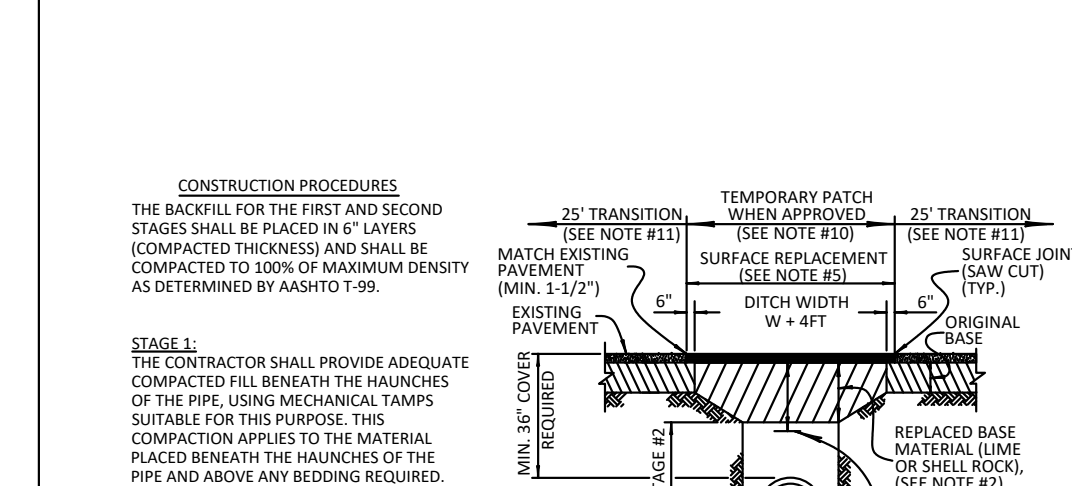


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  3. THE CONTRACTOR SHALL OBTAIN A WELL COMPACTED BED AND FILL ALONG THE SIDES OF THE PIPE AND 2' AWAY INDICATING THE TOP OF SUB-GRADE MATERIAL.
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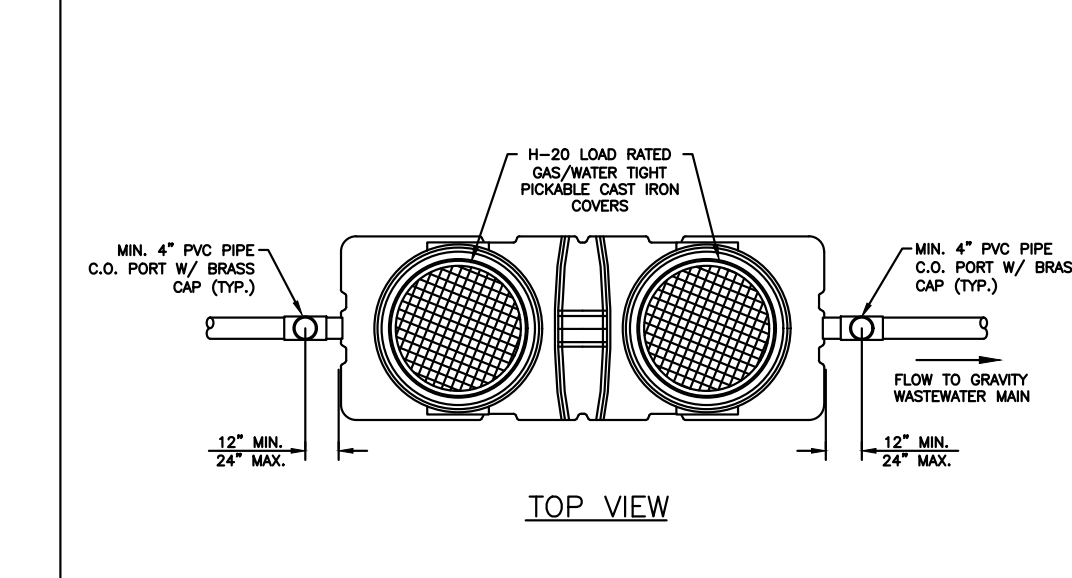


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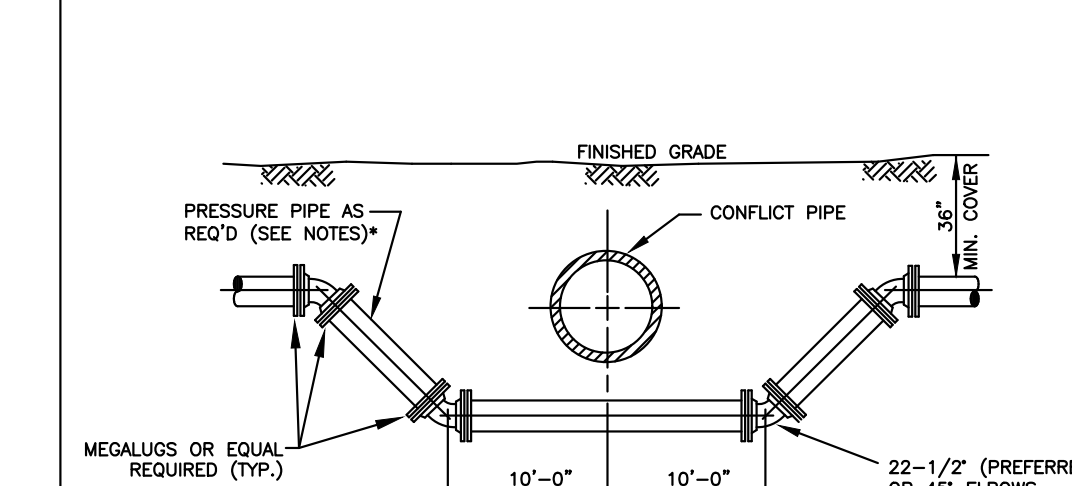


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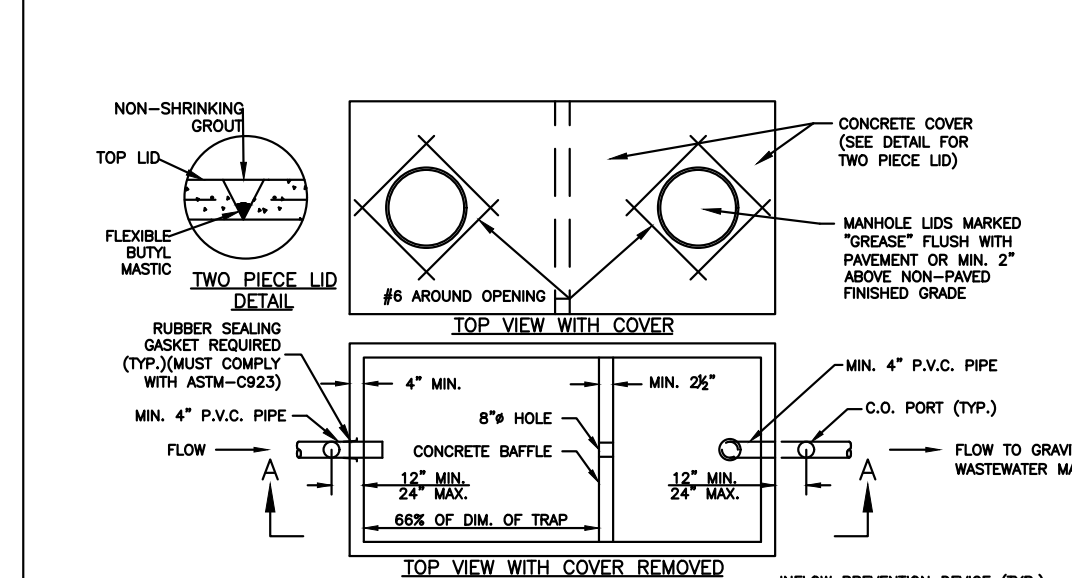


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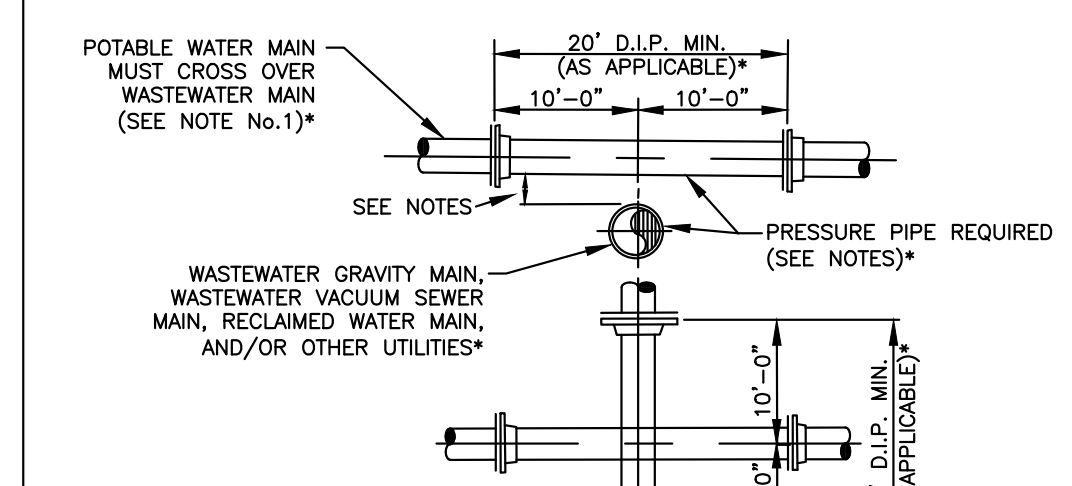


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  9. THE CONTRACTOR SHALL OBTAIN A WELL COMPACTED BED AND FILL ALONG THE SIDES OF THE PIPE AND 2' AWAY INDICATING THE TOP OF SUB-GRADE MATERIAL.
  10. THE CONTRACTOR SHALL OBTAIN A WELL COMPACTED BED AND FILL ALONG THE SIDES OF THE PIPE AND 2' AWAY INDICATING THE TOP OF SUB-GRADE MATERIAL.

DESIGNED BY: WUD  
 DRAWN BY: M. BUCKNER  
 CHECKED BY: J. LAMMERT  
 APPROVED BY: WUD

DESIGNED BY: WUD  
 DRAWN BY: M. BUCKNER  
 CHECKED BY: J. LAMMERT  
 APPROVED BY: WUD

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 DRAWN BY: M. BUCKNER  
 CHECKED BY: J. LAMMERT  
 APPROVED BY: WUD







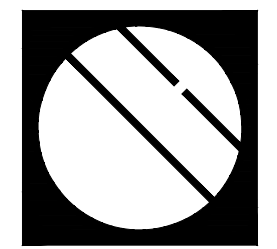












# Cotleur & Hearing

Landscape Architects  
Land Planners  
Environmental Consultants  
1934 Commerce Lane  
Suite 1  
Jupiter, Florida 33458  
561.747.6336 • Fax 747.1377  
www.cotleurhearing.com  
Lic# LC-26000535

## Garden Square Townhouse Development Final Site Plan Greenacres, Florida

### PROJECT TEAM

OWNER/CLIENT:  
MF ASSOCIATES GREENACRES LLC  
5301 N FEDERAL HWY, SUITE 190  
BOCA RATON, FL 33487

CONTRACT PURCHASER:  
LENNAR HOMES LLC  
5505 WATERFORD DISTRICT DRIVE  
MIAMI, FL 33126

ARCHITECT:  
CDM ENGINEERING INC  
3200 N. FEDERAL HWY, SUITE 226  
BOCA RATON, FL 33431

ENGINEER:  
CIVIL DESIGN INC  
1400 CENTRE PARK BLVD, SUITE 905  
WEST PALM BEACH, FL 33401

SURVEYOR:  
CAULFIELD & WHEELER INC  
7900 GLADES RD SUITE 100  
BOCA RATON, FLORIDA 33434

PLANNER/ LANDSCAPE ARCHITECT:  
COTLEUR & HEARING  
1934 COMMERCE LANE, SUITE 1  
JUPITER, FL 33458

PHOTOMETRICS:  
KAMM CONSULTING  
405 ANGLE RD.  
FORT PIERCE, FL 34947

### SITE DATA

NAME OF PROJECT	GARDEN SQUARE TOWNHOUSE DEVELOPMENT		
PROPERTY CONTROL NUMBERS	18-42-43-22-05-022-0300		
FEMA FLOOD ZONE	X & AE (16.3)		
EXISTING LAND USE DESIGNATION	RESIDENTIAL HIGH (RH)		
EXISTING ZONING DISTRICT	RESIDENTIAL HIGH (RH)		
MAXIMUM BUILDING HEIGHT	20 FT		
REQ	PROV		
NUMBER OF STORIES/HEIGHT	35	27'-5"/2 STORIES	
NUMBER OF BUILDINGS	10		
GROSS SITE AREA	5.00 AC	217,710 SF	
TOTAL R.O.W. AREA	0.63 AC	27,573 SF	
NET SITE AREA	4.37 AC	190,137 SF	
<b>BUILDING DATA</b>			
TOT LOT	3,848 SF	R/O	
TOTAL OF UNITS	44 UNITS		
4 UNITS (6)	24 UNITS		
5 UNITS (4)	20 UNITS		
DENSITY	10 DU/D		
<b>LAND USE</b>			
BUILDING LOT COVERAGE	48,080	1.10	22.08%
VEHICULAR USE AREA	50,461	1.16	23.18%
SIDEWALKS & HARDSCAPE	15,453	0.35	7.10%
OPEN SPACE	103,716	2.38	47.64%
TOTAL	217,710	5.00	100.00%
<b>OPEN SPACE</b>			
MHI	20%	PROV	47.64%
<b>LOT COVERAGE</b>			
IMPERVIOUS AREA	48,080	1.10	22.08%
BUILDING LOT COVERAGE	48,080	1.10	22.08%
VEHICULAR USE AREA	50,461	1.16	23.18%
SIDEWALKS & HARDSCAPE	15,453	0.35	7.10%
TOTAL IMPERVIOUS AREA	113,994	2.62	52.36%
<b>PERVIOUS AREA</b>			
BUFFER AREA	15,408	0.45	8.91%
GREEN SPACE	57,265	1.31	26.30%
DRY DETENTION	27,043	0.62	12.42%
TOTAL PERVIOUS AREA	103,716	2.38	47.64%
TOTAL SITE AREA	217,710	5.00	100.00%

<b>PARKING DATA Sec. 16-1336</b>			
4 UNITS (1 OR 2 CAR GARAGES & 2 CAR DRIVEWAYS)	72	REQ	84
Buildings 5,6,7,8,9,10 (4 BEDROOMS PER UNIT)			
5 UNITS (1 OR 2 CAR GARAGES & 2 CAR DRIVEWAYS)	60	REQ	68
Buildings 1,2,3,4 (4 BEDROOMS PER UNIT)			
GUEST PARKING	22	REQ	22
ADA PARKING (INCLUDED IN TOTAL)	2	REQ	2
TOTAL	154	REQ	174
	8	PROV	8
<b>Sec. 16-1335(21) Bicycle Parking</b>			
	8	REQ	8
	40%	MAX	22%

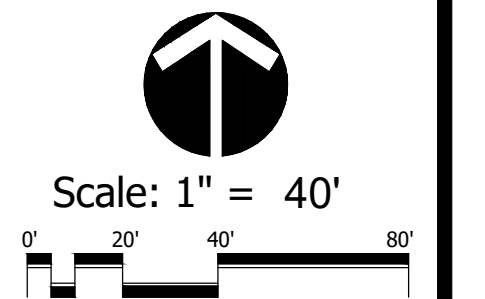
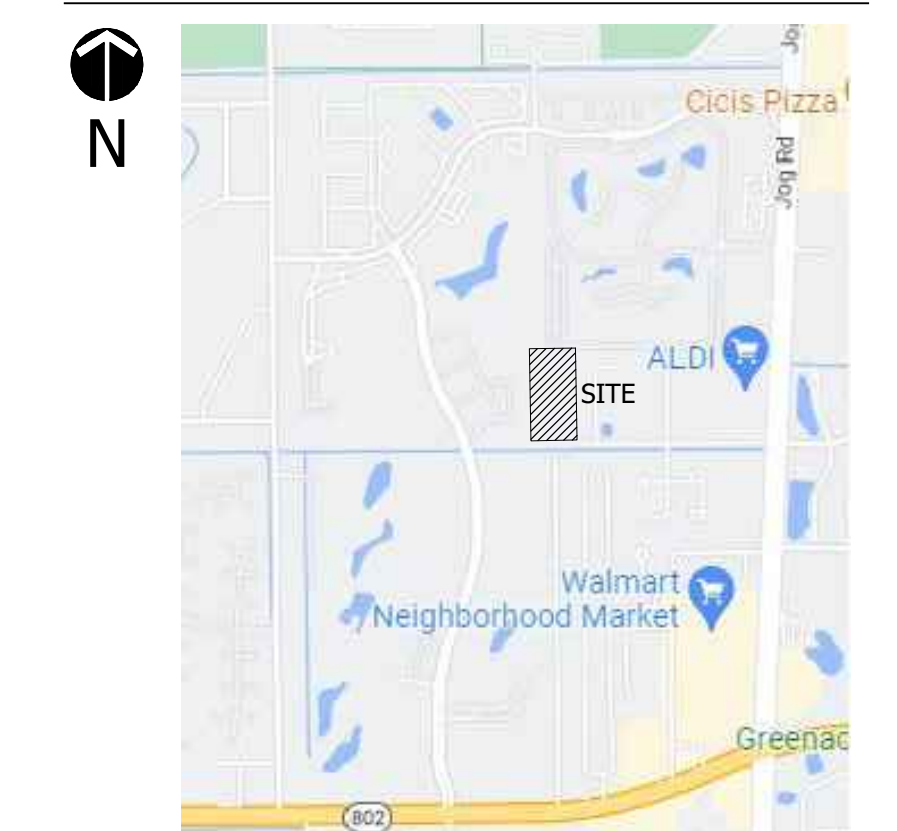
<b>Sec. 16-367-LOT REQUIREMENTS</b>			
WIDTH	50'	REQ	PROV
		1187'96"	
AREA	6,000 SF	12,868 SF	Building 1
		12,199 SF	Building 2
		12,741 SF	Building 3
		12,625 SF	Building 4
		12,956 SF	Building 5
		12,698 SF	Building 6
		11,479 SF	Building 7
		11,432 SF	Building 8
		10,072 SF	Building 9
		9,793 SF	Building 10

<b>Sec. 16-860 SETBACK</b>			
FRONT	25'	REQ	25'
SIDE (WEST)	20'	REQ	20'
SIDE (EAST)	20'	REQ	20'
REAR	20'	REQ	36'
<b>Sec. 16-1286 -LANDSCAPE BUFFER</b>			
NORTH	10'	REQ	10'
SOUTH	10'	REQ	10'
EAST	10'	REQ	10'
WEST	10'	REQ	10'

<b>LAND DEDICATION</b>			
REQUIRED RECREATION AREA (SAC/1000)	0.484 AC	REQUIRED	Reduced to 0.436 AC**
REQUIRED GOVERNMENT SERVICES (2 AC/1000)	0.194 AC		
TOTAL REQUIRED LAND DEDICATION	0.678 AC		Reduced to 0.63 AC**
PROVIDED PRIVATE RECREATION AREA	0.678 AC		

<b>PRIVATE RECREATION CREDIT (TABLE 12-84)</b>					
	Mn. size per 1000	Full Credit	Mn. amenity size for full credit	Provided Amenity Size(Square Feet)	Credit
44 Townhomes	0.0968	10%	2,420	3,403	10%
Tot Lot	25,000				10%
Total Credit					10%

### LOCATION MAP

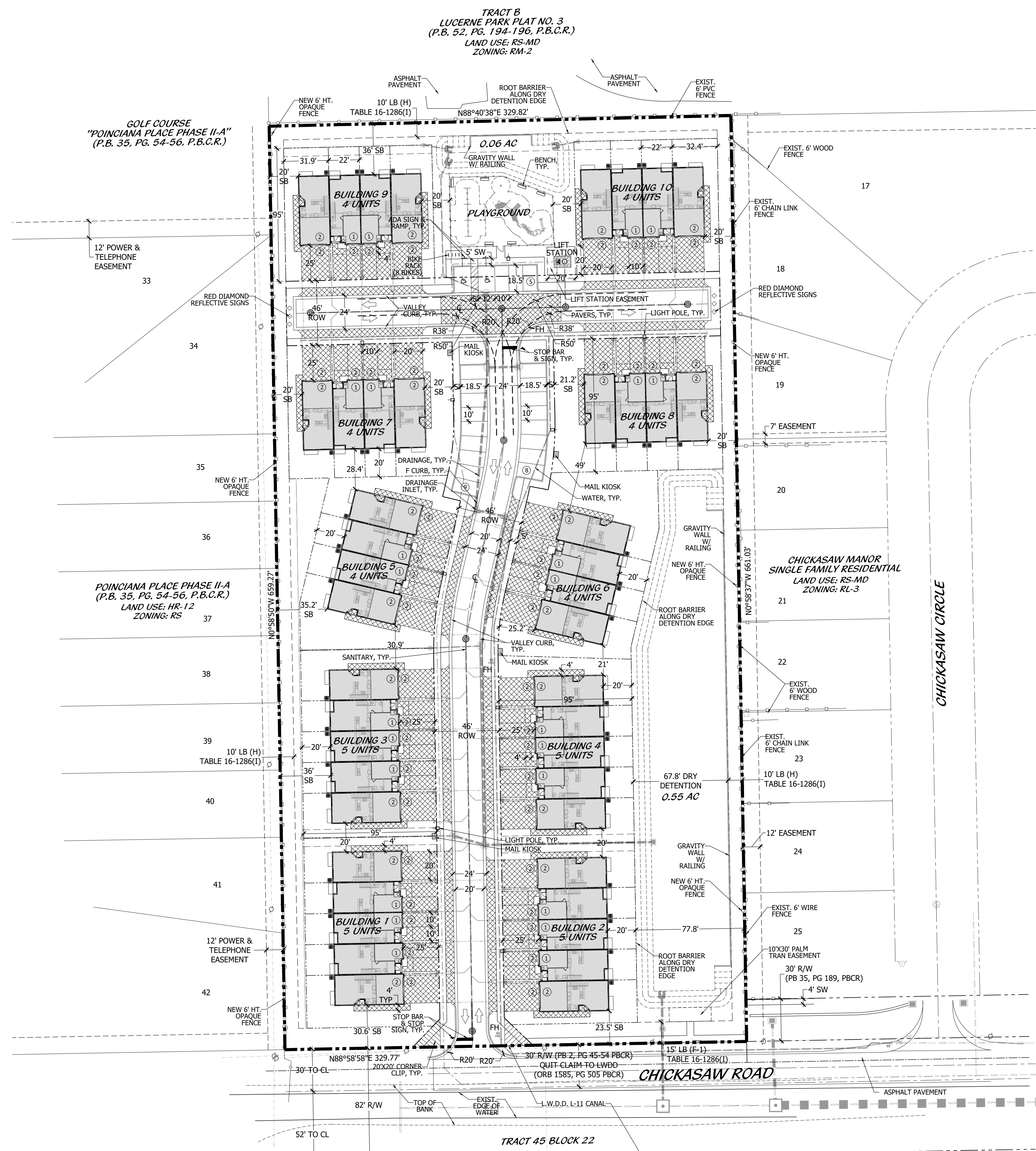


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DRAWN	ROUJS
APPROVED	DEH
JOB NUMBER	22-1019
DATE	04-04-23
REVISIONS	11-13-23
	02-28-24
	04-01-24
	10-31-24
	01-03-25

March 06, 2025 8:44:41 a.m.  
Drawing: 22-1019\_SP.DWG

SHEET FSP 1 OF 3

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### LEGAL DESCRIPTION

TRACT 36 BLOCK 22, "PALM BEACH FARMS COMPANY'S PLAT NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA AND CONTAIN 4.993 ACRES, MORE OR LESS.

### GENERAL NOTES

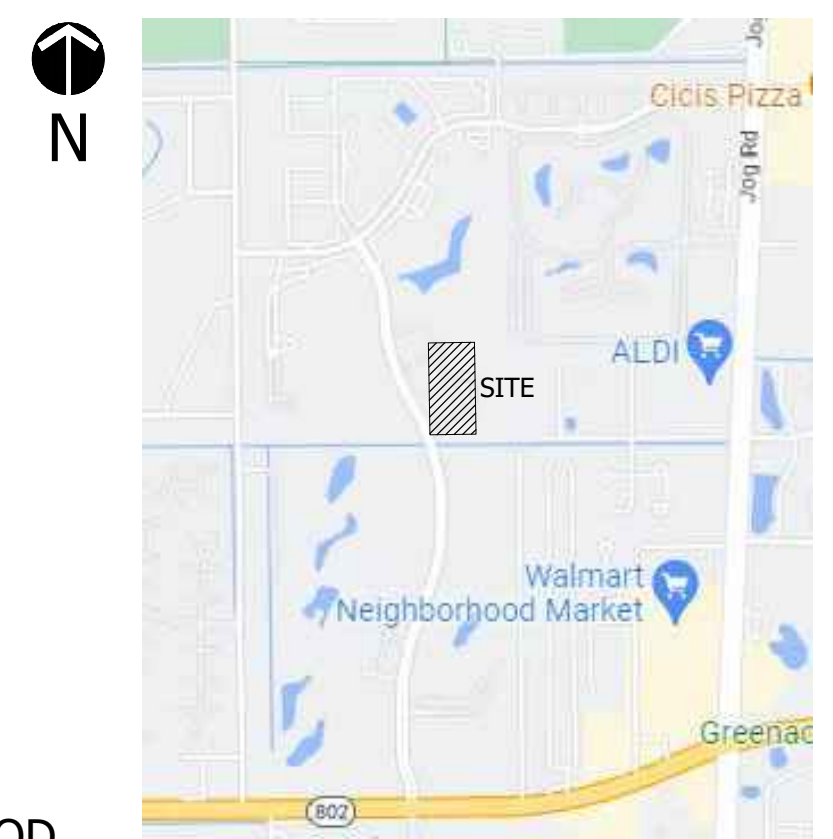
- REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING AS SHOWN ON THE SITE PLAN.
- 10' X 30' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS.
- TYPE D OR F RAISED CONCRETE CURBING SHALL BE PROVIDED AROUND ALL PLANTING ISLANDS WITHIN VEHICULAR USE AREAS.
- ON STREET PARKING IS UTILIZED IN THE CALCULATION FOR REQUIRED PARKING IN ACCORDANCE WITH THE PROVISIONS OF THE APPLICABLE CODE.
- RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.
- ALL A/C UNITS SHALL BE LOCATED TO THE REAR OR SIDE OF ALL BUILDINGS AND FULLY SCREENED ON THREE SIDES WITH LANDSCAPING.
- THE BUILDING, LANDSCAPE AND LIGHTING DESIGN SHALL MAXIMIZE THE USE OF CPTED DESIGN PRINCIPLES.
- MINIMUM TYPE CONSTRUCTION FOR ALLOWABLE HEIGHT & BUILDING AREA MUST BE COMPLIANCE WITH THE FLORIDA BUILDING CODE T-500 (AFTER OCT. 1, 2005 FBC 2004)
- ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF GREENACRES CODE.
- \*PEDESTRIAN XING\* SIGNS SHALL BE PROVIDED FOR ALL MID-BLOCK CROSSINGS.
- GARAGES MUST BE ENCLOSED AND MUST BE AVAILABLE FOR PARKING.

### LEGEND

- HC HANDICAP
- LB LANDSCAPE BUFFER
- R RADIUS
- SB SETBACK
- SW SIDEWALK
- TYP TYPICAL
- ROW RIGHT OF WAY
- EXIST. EXISTING
- C CENTER LINE
- L.W.D.D. LAKE WORTH DRAINAGE DISTRICT
- HC SIGN
- STOP SIGN
- RED DIAMOND REFLECTIVE SIGN
- LIGHT POLES

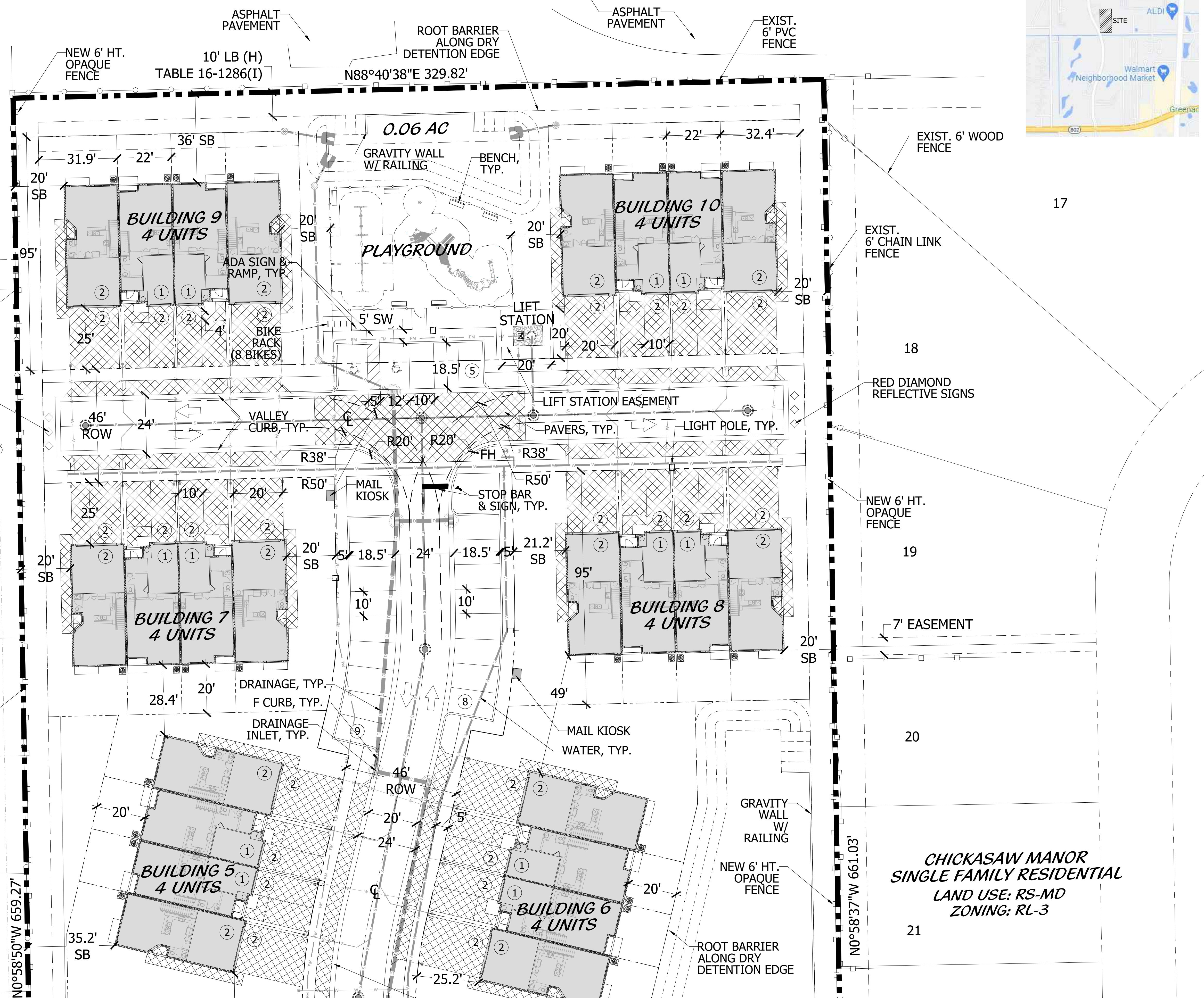
TRACT B  
LUCERNE PARK PLAT NO. 3  
(P.B. 52, PG. 194-196, P.B.C.R.)  
LAND USE: RS-MD  
ZONING: RM-2

LOCATION MAP



GOLF COURSE  
"POINCIANA PLACE PHASE II-A"  
(P.B. 35, PG. 54-56, P.B.C.R.)

12' POWER &  
TELEPHONE  
EASEMENT



RED DIAMOND  
REFLECTIVE SIGNS

34

NEW 6' HT.  
OPAQUE  
FENCE

36

POINCIANA PLACE PHASE II-A  
(P.B. 35, PG. 54-56, P.B.C.R.)  
LAND USE: HR-12  
ZONING: RS

37

CHICKASAW MANOR  
SINGLE FAMILY RESIDENTIAL  
LAND USE: RS-MD  
ZONING: RL-3

21

Garden Square Townhouse Development  
Final Site Plan  
Greenacres, Florida

Cotleur & Hearing  
Landscape Architects  
Land Planners  
Environmental Consultants  
1934 Commerce Lane  
Suite 1  
Jupiter, Florida 33458  
561.747.6336 • Fax 747.1377  
www.cotleurhearing.com  
Lic# LC-26000535

Scale: 1" = 20'

DESIGNED	DEH
DRAWN	ROJS
APPROVED	DEH
JOB NUMBER	22-1019
DATE	04-04-23
REVISIONS	11-13-23
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March 06, 2025 8:44:41 a.m.  
Drawing: 22-1019\_SP.DWG

SHEET FSP 2 OF 3

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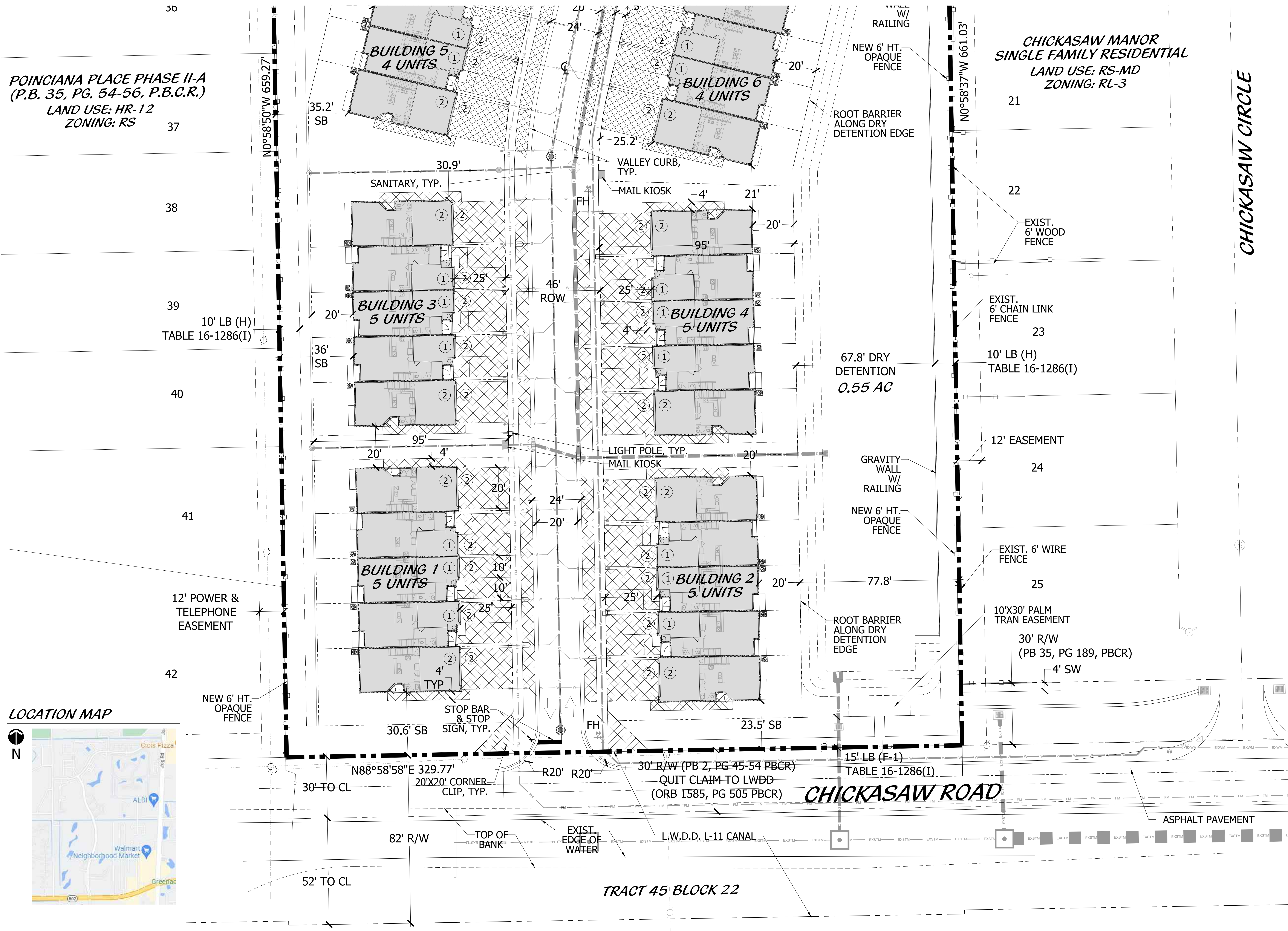
POINCIANA PLACE PHASE II-A  
(P.B. 35, PG. 54-56, P.B.C.R.)  
LAND USE: HR-12  
ZONING: RS

CHICKASAW MANOR  
SINGLE FAMILY RESIDENTIAL  
LAND USE: RS-MD  
ZONING: RL-3

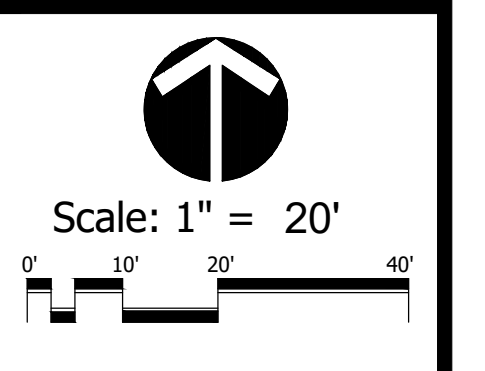
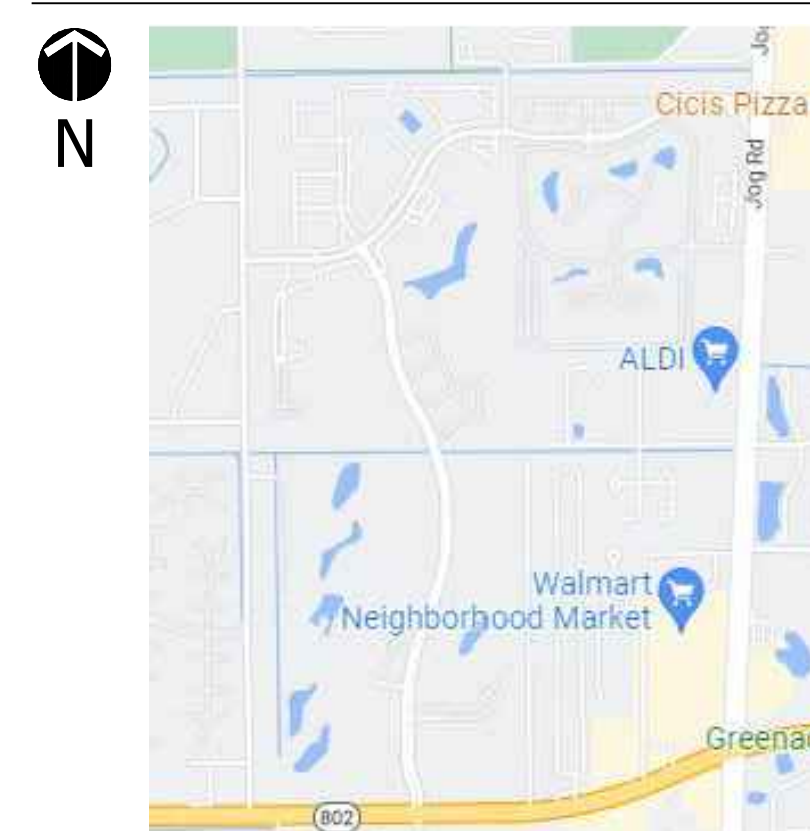


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*Garden Square Townhouse Development*  
**Final Site Plan**  
Greenacres, Florida



**LOCATION MAP**



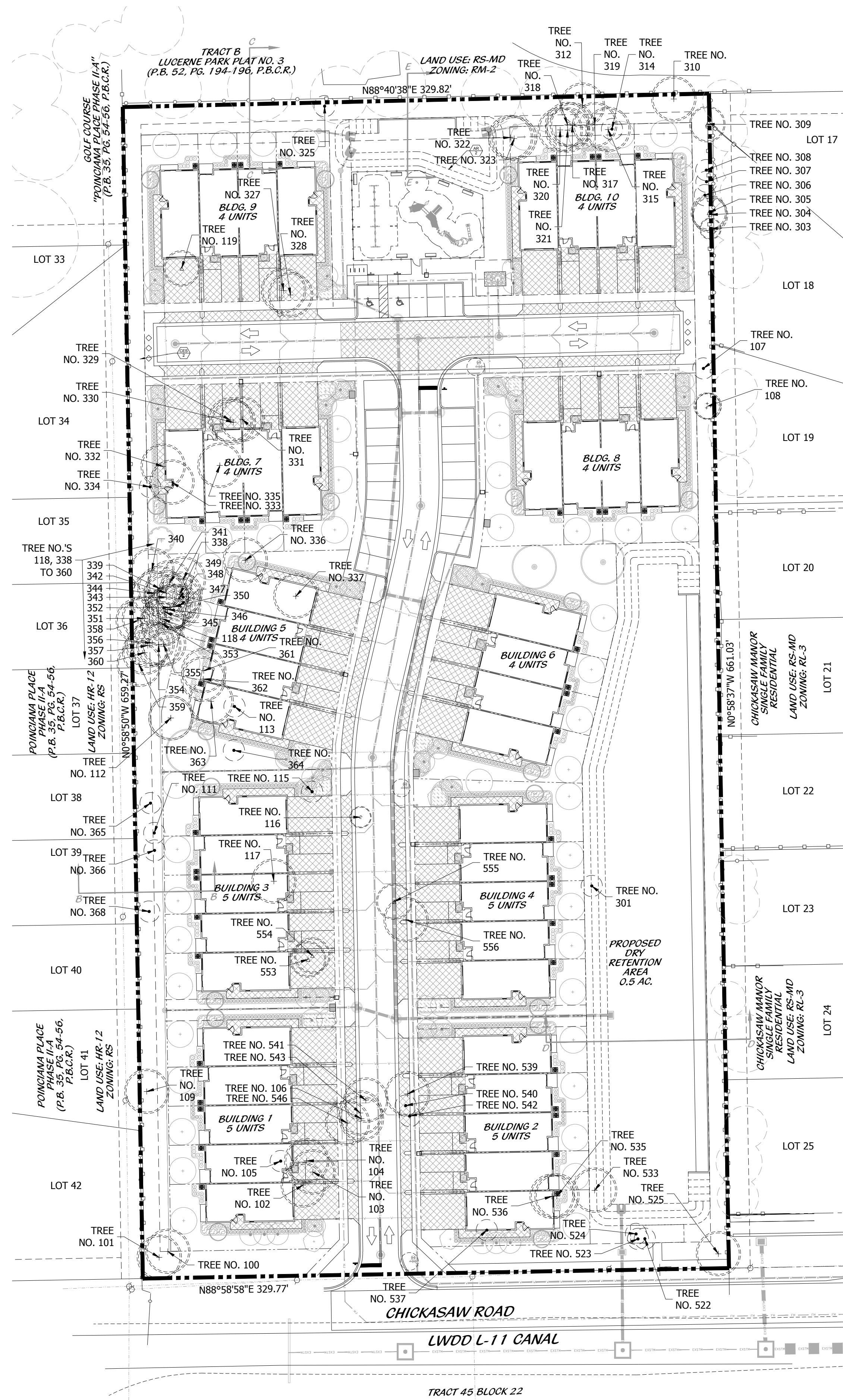
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Drawing: 22-1019\_SP.DWG

SHEET FSP 3 OF 3

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# Tree Disposition Plan



# Tree Disposition Chart

TREE NO.	DIAMETER (IN.)	CANOPY (FT.)	BOTANICAL NAME	COMMON NAME	DISPOSITION	NOTES	REMOVED TREES** (DEBITS)	REMOVED PALMS** (DEBITS)	REMOVED INVASIVES	RELOCATED TREES* (CREDITS)	RELOCATED PALMS* (CREDITS)	TREES TO REMAIN (CREDITS PER DIAMETER)	PALMS TO REMAIN (CREDITS PER CANOPY)
100	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
101	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
102	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
103	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
104	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
105	6	12	SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA				1			
106	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
107	6	15	SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
108	120		BAMBOO CLUSTER	BAMBOO CLUSTER	TO BE REMOVED	INVASIVE			1				
109	10		QUERCUS SP.	OAK	TO BE RELOCATED	IN DEVELOPED AREA				1			
111	6	12	SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED NEAR PERIMETER AT ELEVATION GREATER THAN 16'						1	
112	6		QUERCUS SP.	OAK	TO BE RELOCATED	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'				1			
113	10		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA				1			
115	12		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA				1			
116	6	12	PALM	PALM	TO BE REMOVED	IN DEVELOPED AREA		1					
117	6		QUERCUS SP.	OAK	TO BE RELOCATED	IN DEVELOPED AREA				1			
118	6		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
119	10		PINE CLUMP	PINE CLUMP	TO BE REMOVED	IN DEVELOPED AREA	1						
301	6	14	SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA					1		
303	6	24	PALM	PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
304	10		PINUS SP.	PINE	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
305	10		PINUS SP.	PINE	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
306	6	12	SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
307	6	16	SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
308	6	12	SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
309	2		PINUS SP.	PINE	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
310	10		EXOTIC SHADE	EXOTIC SHADE	TO BE REMOVED	INVASIVE			1				
312	8		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
314	6	14	SABAL PALMETTO	CABBAGE PALM	TO BE REMOVED	IN DEVELOPED AREA		1					
315	8		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
317	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
318	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
319	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
320	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
321	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
322	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
323	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
325	6	14	SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
327	10		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
328	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
329	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
330	8		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
331	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
332	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
333	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
334	6	14	CABBAGE PALM	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA				1			
335	6		QUERCUS SP.	OAK	TO BE RELOCATED	IN DEVELOPED AREA				1			
336	14		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
337	8		QUERCUS SP.	OAK	TO BE RELOCATED	IN DEVELOPED AREA				1			
338	8		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
339	8		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
340	6		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
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343	6		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
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360	8		QUERCUS SP.	OAK	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						2	
361	8		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
362	8		QUERCUS SP.	3 TRUNK OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
363	8		QUERCUS SP.	3 TRUNK OAK	TO BE RELOCATED	IN DEVELOPED AREA				1			
364	15		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA					1		
365	15		SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
366	12		SABAL PALMETTO	CABBAGE PALM	TO REMAIN	LOCATED IN PERIMETER AT ELEVATION GREATER THAN 16'						1	
368	20		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA					1		
522	12		SABAL PALMETTO	CABBAGE PALM	TO BE REMOVED	IN DEVELOPED AREA		1					
523	12		SABAL PALMETTO	CABBAGE PALM	TO BE REMOVED	IN DEVELOPED AREA		1					
524	14		SABAL PALMETTO	CABBAGE PALM	TO BE REMOVED	IN DEVELOPED AREA		1					
525	14		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
533	12		QUERCUS SP.	3 TRUNK OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
535	8		QUERCUS SP.	3 TRUNK OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
536	8		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
537	14		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA					1		
538	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
540	8		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA					1		
541	10		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
542	14		SABAL PALMETTO	CABBAGE PALM	TO BE RELOCATED	IN DEVELOPED AREA					1		
543	10		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
546	6		QUERCUS SP.	OAK	TO BE REMOVED	IN DEVELOPED AREA	1						
553	6		PINUS SP.	PINE	TO BE REMOVED	IN DEVELOPED AREA	1						
554	7		PINUS SP.	PINE	TO BE REMOVED	IN DEVELOPED AREA	1						
555	7		PINUS SP.	PINE	TO BE REMOVED	IN DEVELOPED AREA	1						
556	12		EXOTIC SHADE	EXOTIC SHADE	TO BE REMOVED	IN DEVELOPED AREA	1						

NOTES:

- EACH TREE REMOVED MUST BE REPLACED WITH A NEW TREE THAT MEETS CURRENT CITY CODE REQUIREMENTS IF REMOVAL REDUCES THE NUMBER OF TREES ON THE LOT BELOW CODE MINIMUM FOR QUANTITY. REPLACEMENT SHALL BE ON THE AFFECTED LOT.
- TREES WITH A TRUNK LESS THAN ONE (1) INCH IN DIAMETER, MEASURED AT A POINT WHICH IS AT LEAST FOUR AND ONE-HALF (4 1/2) FEET ABOVE FINISHED GRADE, MAY BE REMOVED WITHOUT A PERMIT.
- ONE (1) TREE CREDIT SHALL BE GRANTED FOR THE RELOCATION OF EACH NATIVE, DROUGHT TOLERANT TREE SPECIES WITH A SIX (6) INCH DIAMETER OR LESS AT A POINT THAT IS AT LEAST FOUR AND ONE-HALF (4 1/2) FEET ABOVE GRADE.
- CREDIT FOR PRESERVED PLANT MATERIAL:
 

CROWN SPREAD	DIAMETER OF TREE <sup>1</sup>	TREE CREDITS <sup>2</sup>
90 FT. OR GREATER	36 IN. OR GREATER	7
60 TO 89 FT.	30 TO 35 IN.	6
50 TO 59 FT.	26 TO 29 IN.	5
40 TO 49 FT.	20 TO 25 IN.	4
30 TO 39 FT.	13 TO 19 IN.	3
20 TO 29 FT.	8 TO 12 IN.	2
10 TO 19 FT.	2 TO 7 IN.	1
LESS THAN 10 FT.	LESS THAN 2 IN.	0

<sup>1</sup> MEASUREMENTS TAKEN AT 4 1/2 FEET ABOVE NATURAL GRADE.  
<sup>2</sup> ONE (1) CREDIT CORRESPONDS TO ONE (1) TREE AS REQUIRED PER THE PROVISIONS OF THIS CODE.

(\*) NOTE: RECEPTOR LOCATIONS FOR RELOCATED TREES AND PALMS ARE LOCATED IN THE NORTH AND EAST BUFFER AREAS. IF IT IS DETERMINED THAT A TREE CAN NOT BE RELOCATED, A NEW OAK OR GUMBO LIMBO TREE (MIN. 12' HT. X 5' SPREAD, 2 IN. CAL.) SHALL BE PLANTED IN THE RECEPTOR LOCATION. IF IT IS DETERMINED THAT A PALM CAN NOT BE RELOCATED, A NEW SABAL PALM (MIN. 12' C.T.). SHALL BE PLANTED IN THE RECEPTOR LOCATION. RECEPTOR LOCATION ARE SHOWN WITH THE (\*\*\*) NOTE: TREES AND PALMS PROPOSED FOR MITIGATION OF REMOVED TREES AND PALMS ARE SHOWN WITH THE "M" PREFIX IN THEIR PLANT TAG.

TOTAL DEBITS = 42  
 TOTAL CREDITS = 61  
 REPLACEMENTS REQUIRED = 0  
 (CREDITS EXCEED DEBITS)

**Cotleur & Hearing**  
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 www.cotleurhearing.com  
 Lic# LC-26000535

*Garden Square Townhouse Development*  
**Tree Disposition Plan**  
 Greenacres, Florida

Scale: 1" = 40'

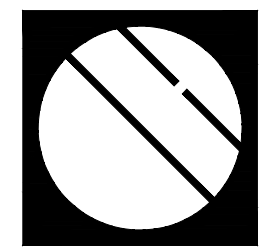
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 APPROVED: DEH  
 JOB NUMBER: 22-1019  
 DATE: 07-02-24  
 REVISIONS: 01-31-25  
 03-07-25

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 Drawing: 22-1019\_LP.DWG

SHEET LP-1 of 9

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# Tree Disposition Plan



# Cotleur & Hearing

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Lic# LC-26000535

## Garden Square Townhouse Development Open Space Landscape Plan Greenacres, Florida



Scale: 1" = 20'  
0' 10' 20' 40'

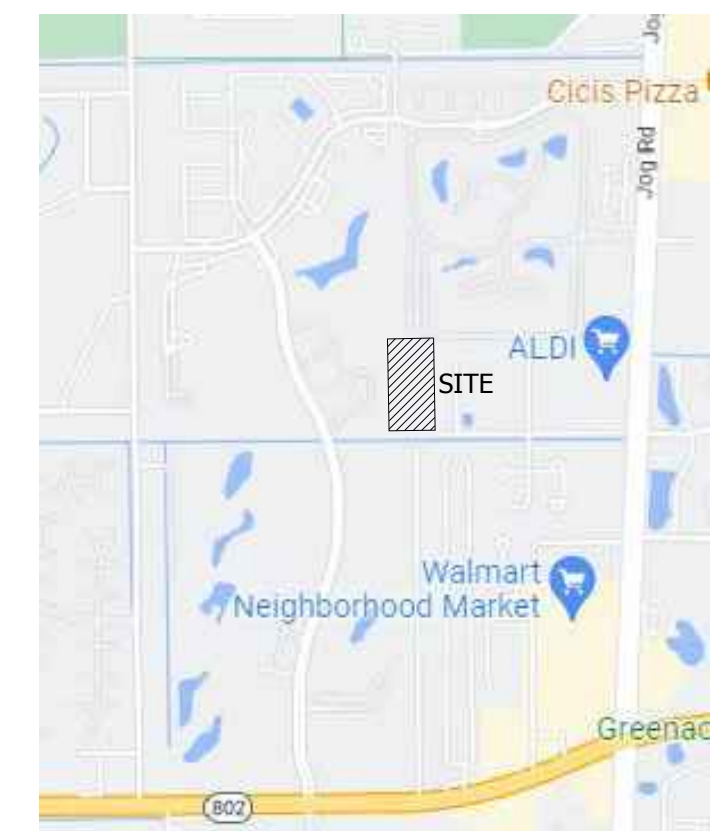
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DRAWN	HK
APPROVED	DEH
JOB NUMBER	22-1019
DATE	07-02-24
REVISIONS	10-24-24 01-31-25 03-07-25

March 07, 2025 10:20:11 a.m.  
Drawing: 22-1019\_LP.DWG

### Landscape Data

PROJECT DATA			
NAME OF PROJECT	GARDEN SQUARE TOWNHOUSE DEVELOPMENT		
PROPERTY CONTROL NUMBERS	18-42-43-27-05-022-0360		
FEMA FLOOD ZONE	X & AE (16.3)		
EXISTING LAND USE DESIGNATION	RESIDENTIAL HIGH (RH)		
EXISTING ZONING DISTRICT	RESIDENTIAL HIGH (RH)		
MAXIMUM BUILDING HEIGHT	20 FT.		
NUMBER OF STORIES	2		
NUMBER OF BUILDINGS	10		
SITE AREA			
	5.00	AC.	
	217,709.86	SQ. FT.	
LAND USE AREAS			
BUILDING LOT COVERAGE	48,079.56	1.10	22.08%
VEHICULAR USE AREA	50,460.70	1.16	23.18%
SIDEWALKS & HARDSCAPE AREA	15,453.31	0.35	7.10%
OPEN SPACE AREA	103,716.29	2.38	47.64%
<b>TOTAL</b>	<b>217,709.86</b>	<b>5.00</b>	<b>100.00%</b>
OPEN SPACE PERCENTAGE			
	MINIMUM	PROVIDED	
	20.00%	47.64%	
LOT COVERAGE			
IMPERVIOUS AREAS			
	SQ. FT.	AC.	%
BUILDING LOT COVERAGE	48,079.56	1.10	22.08%
VEHICULAR USE AREA	50,460.70	1.16	23.18%
SIDEWALKS & HARDSCAPE AREA	15,453.31	0.35	7.10%
<b>TOTAL AREA OF IMPERVIOUS</b>	<b>113,993.57</b>	<b>2.62</b>	<b>52.36%</b>
PERVIOUS AREA			
	SQ. FT.	AC.	%
BUFFER AREA	19,407.69	0.45	8.91%
LANDSCAPE AREA	57,265.19	1.31	26.30%
DRY DETENTION AREA	27,043.41	0.62	12.42%
<b>TOTAL PERVIOUS AREA</b>	<b>103,716.29</b>	<b>2.38</b>	<b>47.64%</b>
<b>TOTAL SITE AREA</b>	<b>217,709.86</b>	<b>5.00</b>	<b>100.00%</b>
LANDSCAPE BUFFER REQUIREMENTS			
<b>329.82 L.F. NORTH (BUFFER TYPE H, ADJ. TO RESIDENTIAL)</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
	10'	10'	
1 TREE PER EA. 25'	14	14	
CANOPY TREES (PE, EX. QV & RELOCATED QV)		12	
3:1 PALM GROUPINGS (EX. SP & RELOCATED SP)		2	
PERCENTAGE PALMS (SADAL PALS OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)	MAX 30%	14.29%	
CONTINUOUS 24" TALL HEDGE (FS)			
<b>329.77 L.F. SOUTH (BUFFER TYPE F-1, ADJ. TO MINOR ROADWAY)</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
	15'	15'	
2 ROWS OF TREES, EACH ROW WITH 1 TREE PER EA. 35'	19	19	
CANOPY TREES, ADJACENT TO POWER LINES (MF & LIM)		19	
(TREES OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)			
CONTINUOUS 24" TALL HEDGE (CI)			
<b>661.03 L.F. EAST (BUFFER TYPE H, ADJ. TO RESIDENTIAL)</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
	10'	10'	
1 TREE PER EA. 25'	27	27	
CANOPY TREES (IC, PE, EX. QV & RELOCATED QV)		25	
3:1 PALM GROUPINGS (SP)		2	
PERCENTAGE PALMS (TREES OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)	MAX 30%	7.41%	
CONTINUOUS 24" TALL HEDGE (FS)			
<b>659.27 L.F. WEST (BUFFER TYPE H, ADJ. TO RESIDENTIAL)</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
	10'	10'	
1 TREE PER EA. 25'	27	27	
CANOPY TREES, SOME ADJACENT TO POWER LINES (CES & EX. QV)		26	
3:1 PALM GROUPINGS (SP)		1	
PERCENTAGE PALMS (TREES OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)	MAX 30%	3.70%	
CONTINUOUS 24" TALL HEDGE (FS)			
INTERIOR LANDSCAPE REQUIREMENTS			
INTERIOR OPEN SPACE AREA = 56,636.09 SQ. FT.	<b>REQUIRED</b>	<b>PROVIDED</b>	
	1 TREE PER EA. 2,500 SQ. FT.	23	48
CANOPY TREES (AR, EX. QV, PE, EX. PE, RE & TD)			45
3:1 PALMS (SP, E-SP, R-SP & EX-SR)			3
3 SHRUBS PER EA. 2,500 SQ. FT.		69	1228

### Location Map



### Project Team

**OWNER/CLIENT:**  
MF ASSOCIATES GREENACRES LLC  
5301 N FEDERAL HIGHWAY, SUITE 190  
BOCA RATON, FL 33487

**LANDSCAPE ARCHITECT/PLANNER:**  
COTLEUR & HEARING, INC.  
1934 COMMERCE LANE, SUITE 1  
JUPITER, FL 33458

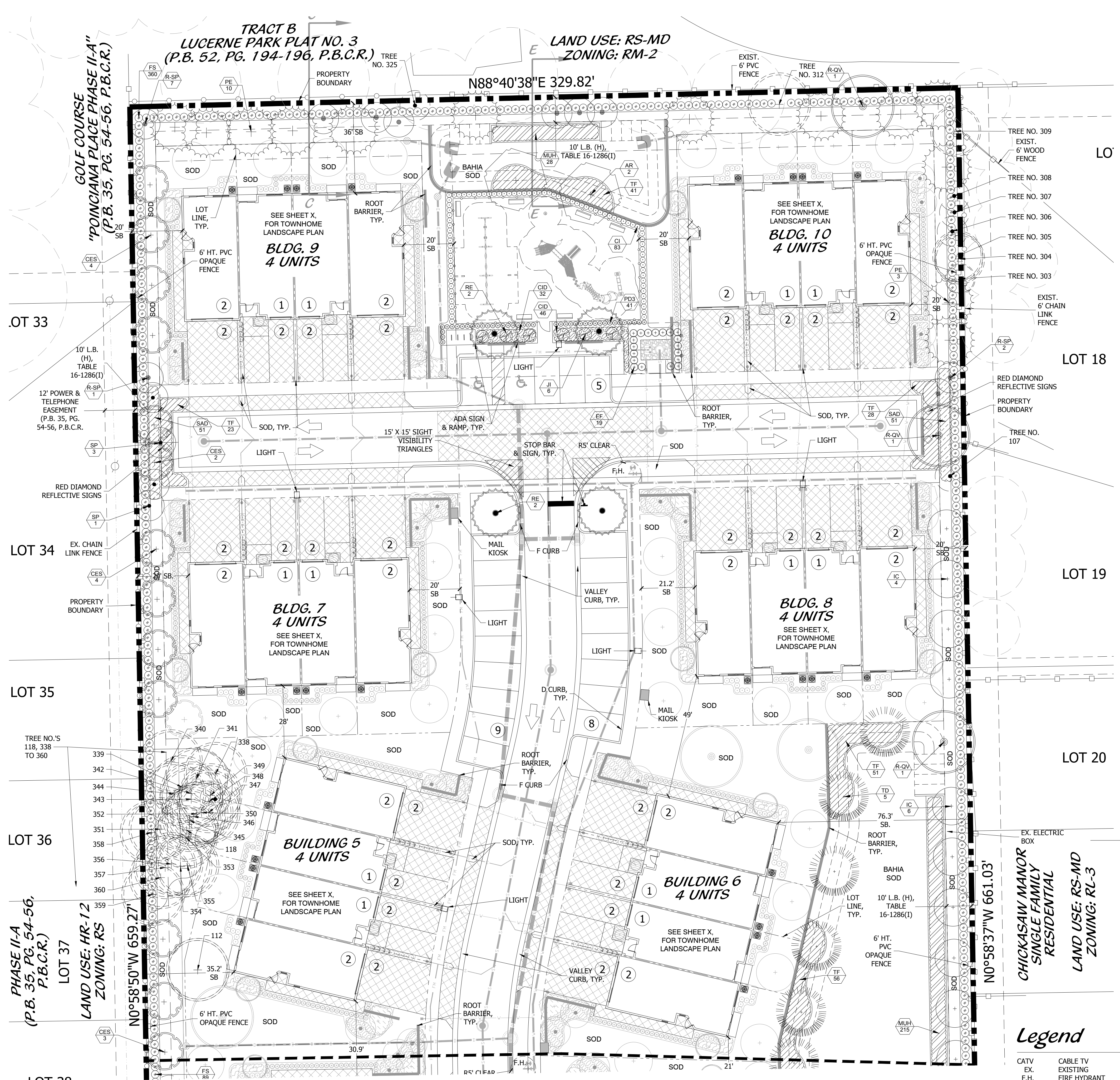
**ARCHITECT:**  
SPECIALTY ENGINEERING CONSULTANTS, INC.  
1599 SW 30TH AVENUE, SUITE 20  
BOYNTON BEACH, FL 33426

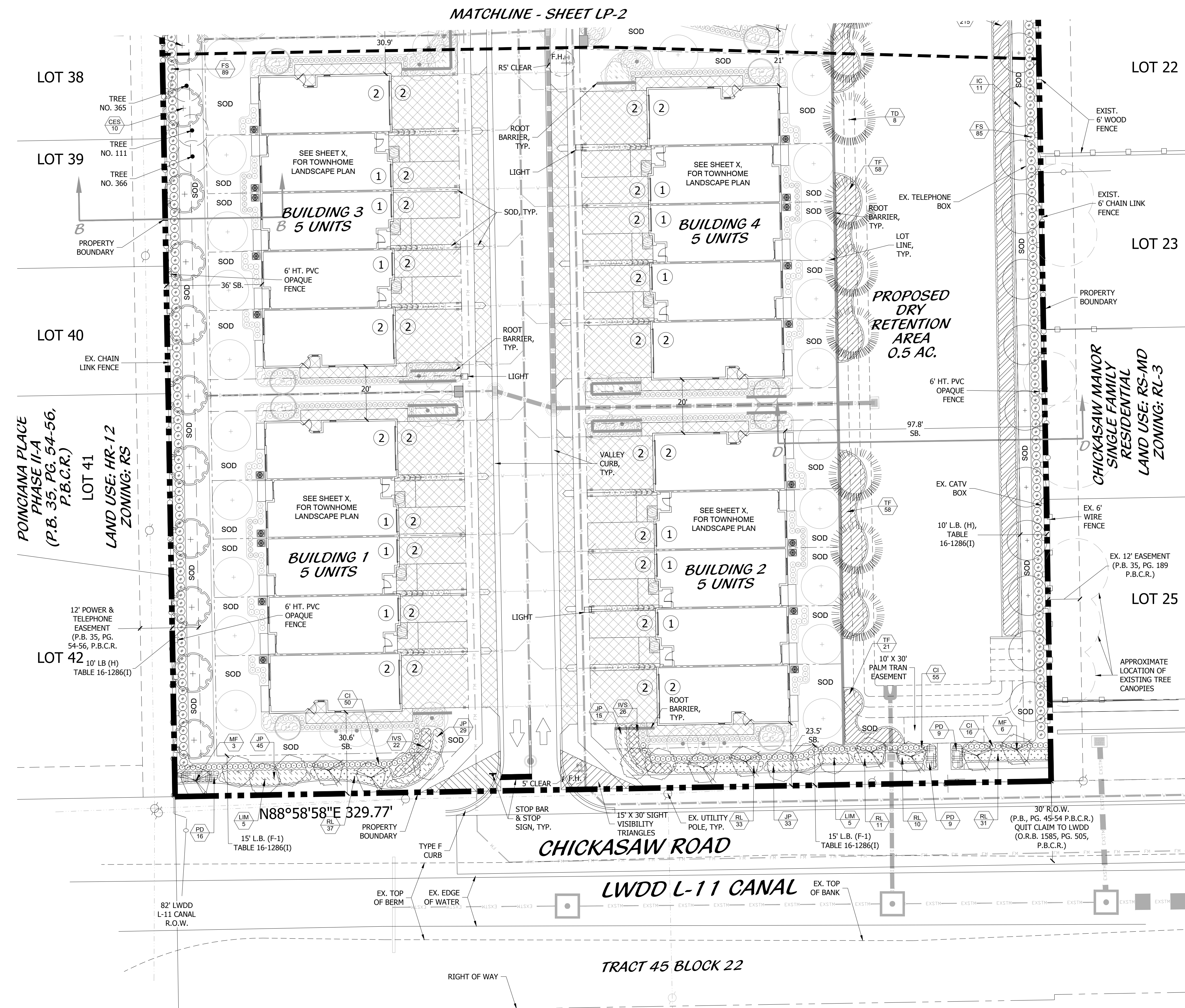
**SURVEYOR:**  
PERIMETER SURVEYING & MAPPING  
947 CLINT MOORE ROAD  
BOCA RATON, FL 33487

**ENGINEERING:**  
CIVIL DESIGN, INC.  
1400 CENTRE PARK BOULEVARD  
SUITE 905  
WEST PALM BEACH, FL 33401

### Legend

- CATV CABLE TV
- EX. EXISTING
- F.H. FIRE HYDRANT
- L.B. LANDSCAPE BUFFER
- OHW OVERHEAD WIRE
- P.B. PLAT BOOK
- PG. PAGE
- TYP. TYPICAL





Landscape Data

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<b>TOTAL</b>	<b>217,709.86</b>	<b>5.00</b>	<b>100.00%</b>
OPEN SPACE PERCENTAGE			
	MINIMUM	PROVIDED	
	20.00%	47.64%	
LOT COVERAGE			
IMPERVIOUS AREAS			
	SQ. FT.	AC.	%
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<b>TOTAL SITE AREA</b>	<b>217,709.86</b>	<b>5.00</b>	<b>100.00%</b>
LANDSCAPE BUFFER REQUIREMENTS			
	REQUIRED	PROVIDED	
<b>329.82 L.F. NORTH (BUFFER TYPE H, ADJ. TO RESIDENTIAL)</b>	<b>10'</b>	<b>10'</b>	
1 TREE PER EA. 25'	14	14	
CANOPY TREES (PE, EX. QV & RELOCATED QV)		12	
3:1 PALM GROUPINGS (EX. SP & RELOCATED SP)		2	
PERCENTAGE PALMS	MAX 30%	14.29%	
(TREES OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)			
CONTINUOUS 24" TALL HEDGE (FS)			
<b>329.77 L.F. SOUTH (BUFFER TYPE F-1, ADJ. TO MINOR ROADWAY)</b>	<b>15'</b>	<b>15'</b>	
2 ROWS OF TREES, EACH ROW WITH 1 TREE PER EA. 35'	19	19	
CANOPY TREES, ADJACENT TO POWER LINES (MF & LIM)		19	
(TREES OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)			
CONTINUOUS 24" TALL HEDGE (CI)			
<b>661.03 L.F. EAST (BUFFER TYPE H, ADJ. TO RESIDENTIAL)</b>	<b>10'</b>	<b>10'</b>	
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CANOPY TREES (IC, PE, EX. QV & RELOCATED QV)		25	
3:1 PALM GROUPINGS (SP)		2	
PERCENTAGE PALMS	MAX 30%	7.41%	
(TREES OVER REQUIRED COUNTED TOWARD INTERIOR TREES PROVIDED)			
CONTINUOUS 24" TALL HEDGE (FS)			
<b>659.27 L.F. WEST (BUFFER TYPE H, ADJ. TO RESIDENTIAL)</b>	<b>10'</b>	<b>10'</b>	
1 TREE PER EA. 25'	27	27	
CANOPY TREES, SOME ADJACENT TO POWER LINES (CES & EX. QV)		26	
3:1 PALM GROUPINGS (SP)		1	
PERCENTAGE PALMS	MAX 30%	3.70%	
(TREES & PALMS OVER REQ. COUNTED TOWARD INTERIOR TREES PROVIDED)			
CONTINUOUS 24" TALL HEDGE (FS)			
INTERIOR LANDSCAPE REQUIREMENTS			
	REQUIRED	PROVIDED	
INTERIOR OPEN SPACE AREA = 56,636.09 SQ. FT.			
1 TREE PER EA. 2,500 SQ. FT.	23	48	
CANOPY TREES (AR, EX. QV, PE, EX. PE, RE & TD)		45	
3:1 PALMS (SP, E-SP, R-SP & EX-SR)		3	
3 SHRUBS PER EA. 2,500 SQ. FT.	69	1228	

Legend

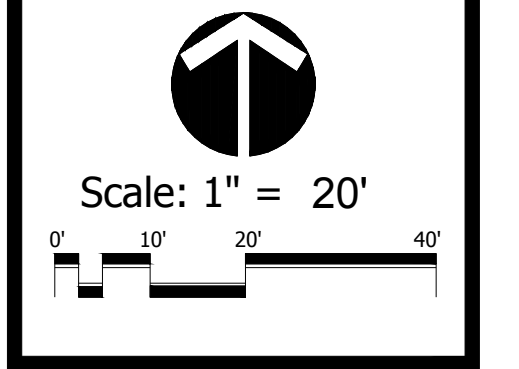
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- L.B. LANDSCAPE BUFFER
- OHW OVERHEAD WIRE
- P.B. PLAT BOOK
- PG. PAGE
- TYP. TYPICAL

Note:

STORMWATER MANAGEMENT AREAS ARE TO BE MAINTAINED WITH PLANTED NATIVE VEGETATION, IN PERPETUITY.

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Lic# LC-26000535

Garden Square Townhouse Development  
Open Space Landscape Plan  
Greenacres, Florida

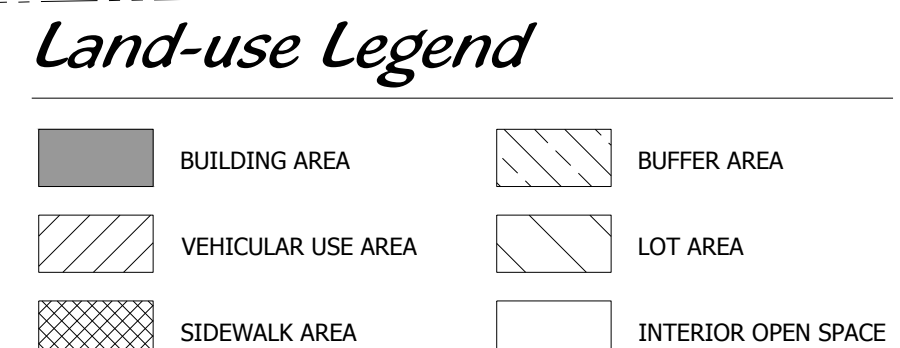
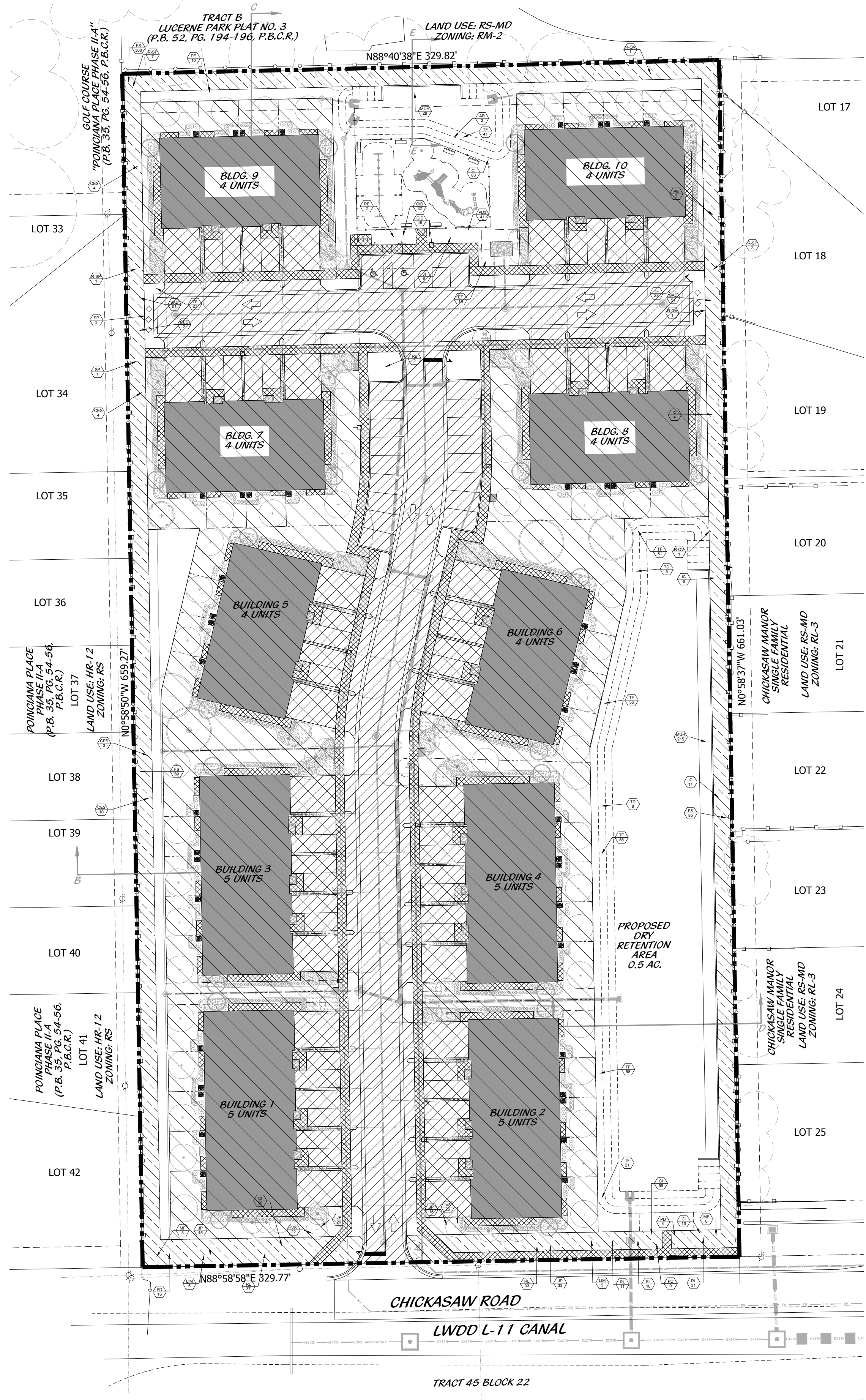


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APPROVED	DEH
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Landscape Plan

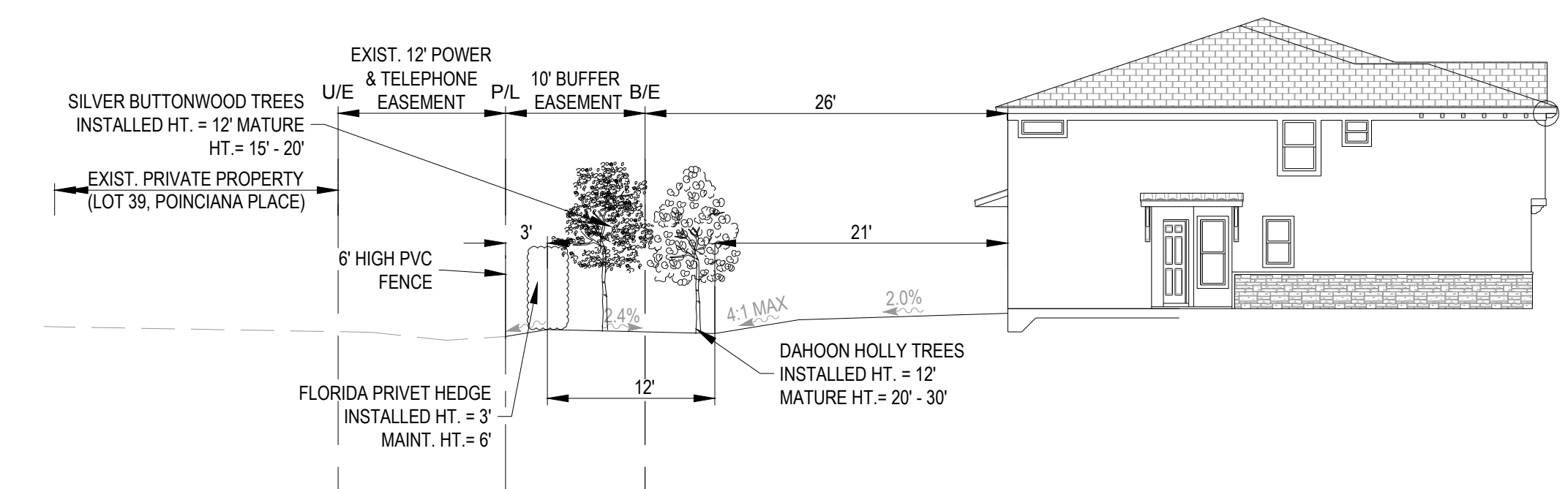
Land-use Area Diagram



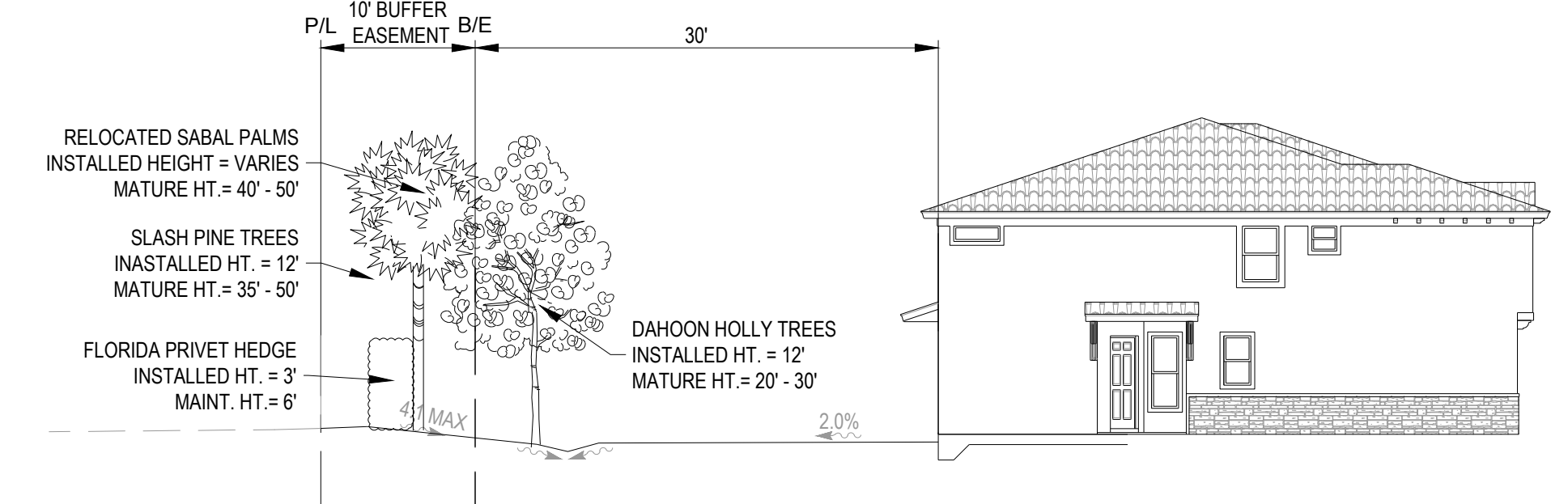
Open Space Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
J1	6	JATROPHA INTEGERRIMA 'COMPACTA'	JATROPHA TREE	15 GAL.	---	5' HT.	N	FULL CANOPY
<b>CANOPY TREES</b>								
AR	2	ACER RUBRUM	RED MAPLE	45 GAL. OR F.G.	2.5' CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY
CES	23	CONCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	30 GAL.	2" CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
IC	21	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5' CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	10	LAGERSTROEMIA INDICA MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
MF	9	MYRSANTHES FRAGRANS	SIMPSON'S STOPPER	45 GAL. MIN.	2' CAL. MIN.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
PE	13	PINUS ELLIOTII	SLASH PINE	45 GAL. OR F.G.	3" CAL.	12' HT. X 5' SPRD.	Y	FULL
R-QV	3	RELOCATED QUERCUS VIRGINIANA	RELOCATED LIVE OAK	---	VARIES	VARIES	Y	RELOCATED FROM ON-SITE
TD	13	TAXODIUM DISTICHUM	BALD CYPRESS	45 GAL.	2.5' CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY
<b>PALM TREES</b>								
R-SP	10	RELOCATED SABAL PALMETTO	RELOCATED SABAL PALM	---	VARIES	VARIES	Y	RELOCATED FROM ON-SITE
RE	4	ROYSTONIA ELATA	ROYAL PALM	F.G.	---	10' G.W.	Y	FULL CANOPY
SP	4	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
<b>CODE QTY BOTANICAL NAME COMMON NAME CONT SIZE SPACE NATIVE REMARKS</b>								
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	204	CHRYSOBALANU ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
EF	19	EUGENIA FOETIDA	SPANISH STOPPER	7 GAL.	4' X 2.5'	3' O.C.	Y	FULL & THICK
FS	534	FORESTIERA SEGREGATA	FLORIDA PRIVET	7 GAL.	3' X 3'	3' O.C.	Y	FULL & THICK
<b>SMALL SHRUBS</b>								
PD3	41	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
<b>MEDIUM AND LARGE SHRUBS</b>								
SAD	102	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	78	CHRYSOBALANU ICACO 'HORIZONTALIS'	DWARF COCOPLUS	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
IVS	48	ILEX VOMITORIA 'SCHILLINGS DWARF'	DWARF YAUAPON HOLLY	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
JP	122	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
MUH	243	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.	18" X 18"	36" O.C.	Y	FULL & THICK
PD	34	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	24" O.C.	N	FULL & THICK
RL	122	RONDELETTA LEUCOPHYLLA	PANAMA ROSE	3 GAL.	18" X 18"	24" O.C.	N	FULL & THICK
TF	336	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL.	24" X 24"	36" O.C.	Y	FULL & THICK

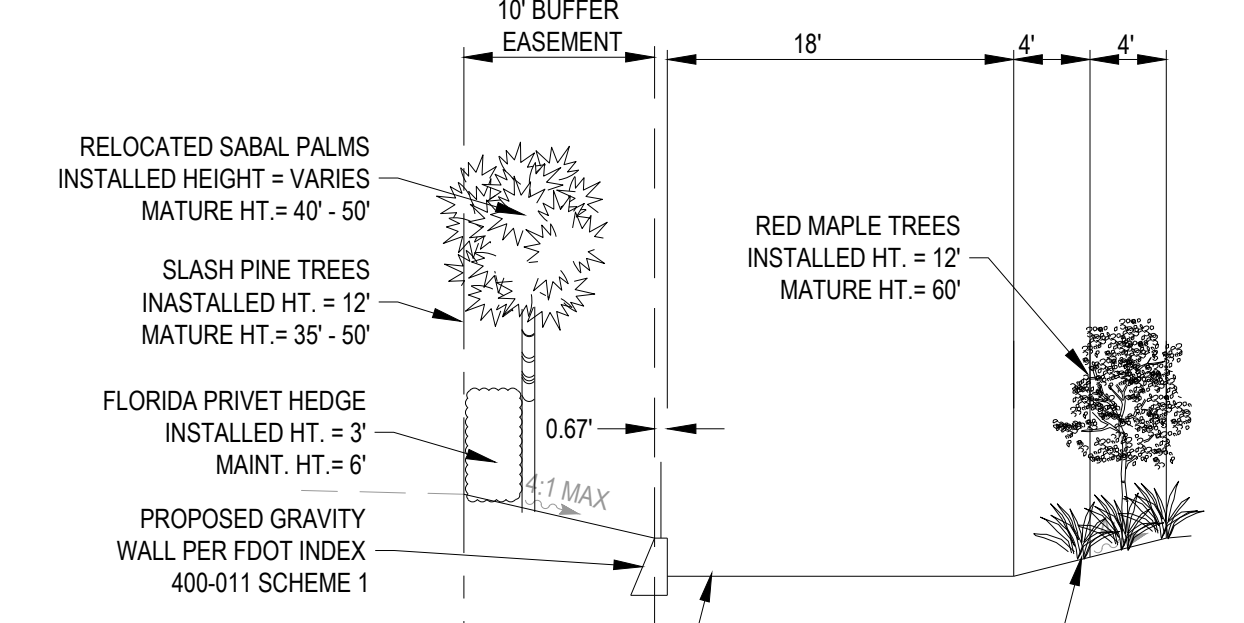
Section B-B



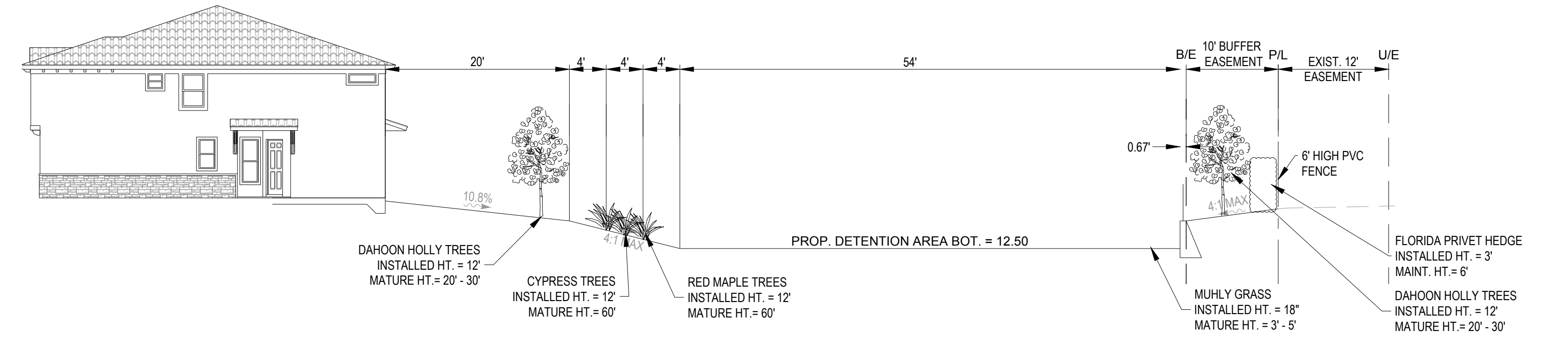
Section C-C



Section E-E



Section D-D



Plant List, Sections & Land-use Area Plan

Item # 10.

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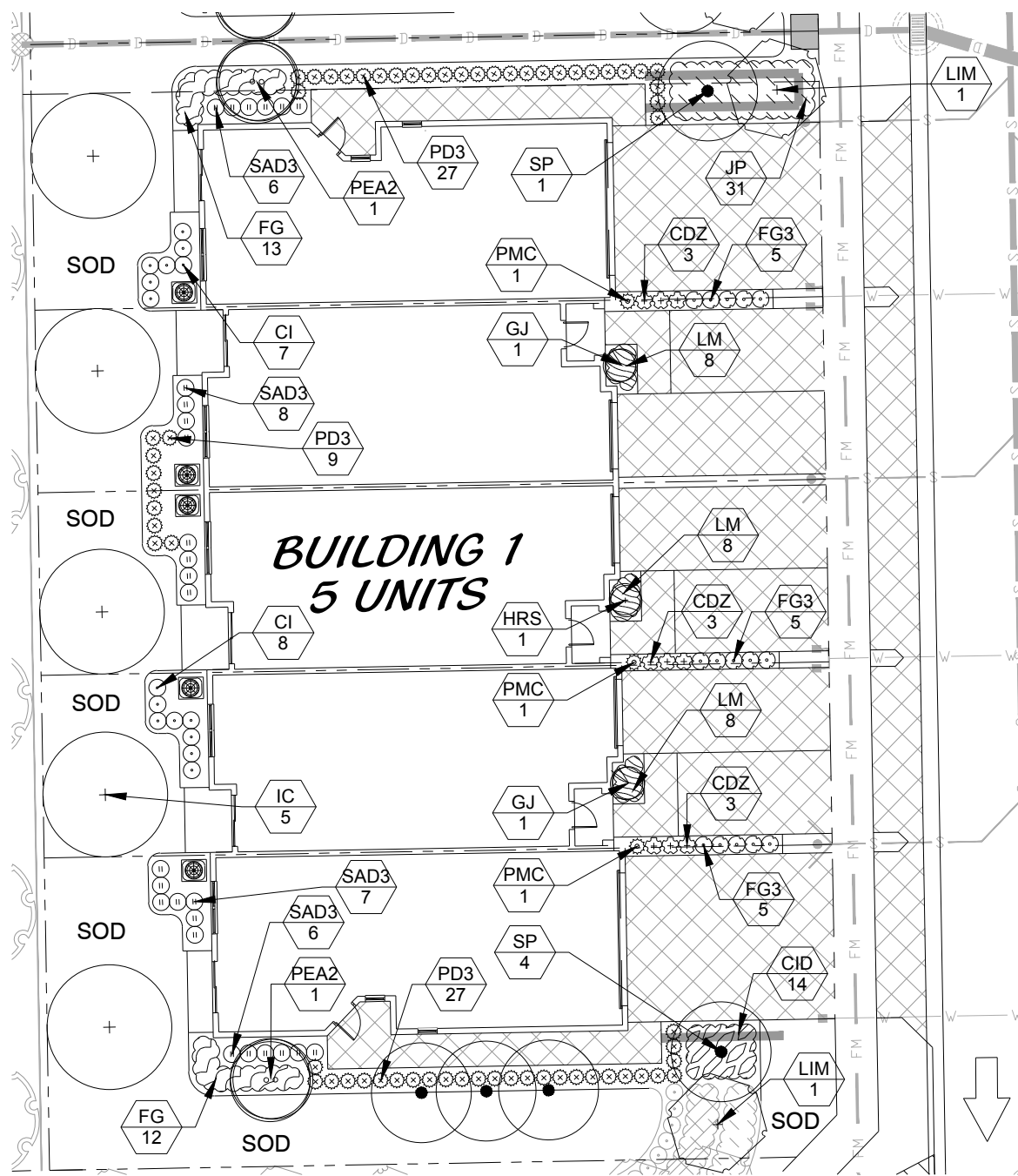
Garden Square Townhouse Development  
 Plant List, Sections & Land-use Area Plan  
 Greenacres, Florida

Scale: 1" = 40'

DESIGNED	HK/DEH
DRAWN	HK
APPROVED	DEH
JOB NUMBER	22-1019
DATE	07-02-24
REVISIONS	01-24-24
	01-31-25
	03-07-25



### Building One - Landscape Plan



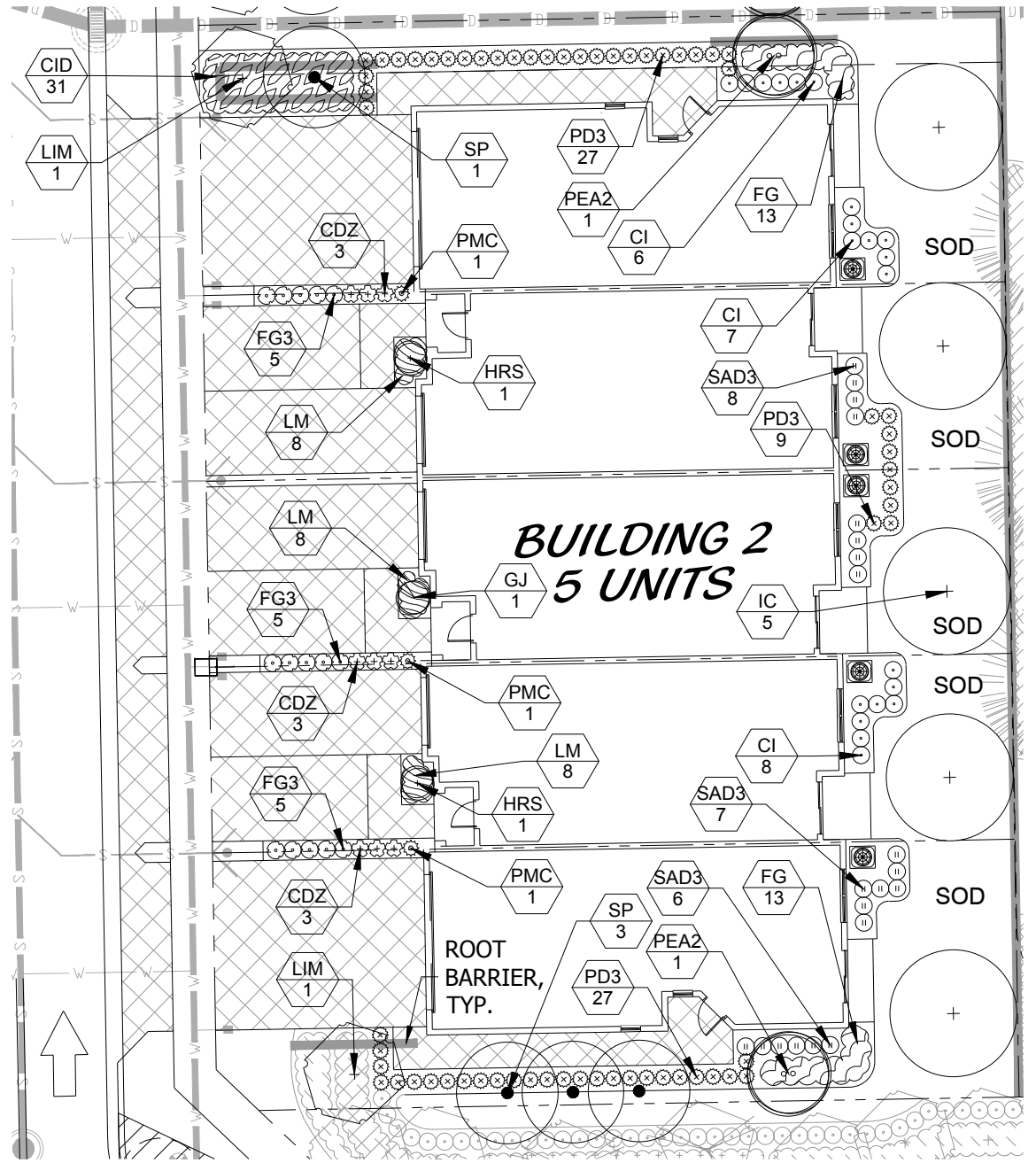
### Building One - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	2	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	5	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	5	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	15	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	---	2' X 2' 2' O.C.	N	FULL & THICK
CDZ	9	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	---	2' X 2' 2' O.C.	---	FULL & THICK
PMC	3	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	---	4' X 2' A.S.	N	FULL & THICK
SAD3	27	SCHIEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	---	2' X 2' 2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	15	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	---	12" X 18"	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	---	18" X 18"	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	14	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	---	12" X 18" 24" O.C.	Y	FULL & THICK
FG	25	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	---	12" X 18" 24" O.C.	N	FULL & THICK
JP	31	JUNIPERUS CHINENSIS 'PARSONI'	PARSONS JUNIPER	3 GAL.	---	12" X 18" 24" O.C.	N	FULL & THICK
LM	24	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	---	12" X 12" 18" O.C.	N	FULL & THICK

### Building One - Landscape Data

<b>BUILDING ONE</b>			
LOT AREA =	12,868.20		
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
CANOPY TREES (IC & LIM)	9	9	
PALM TREES @3:1 (PEA & SP)		7	
PERCENTAGE PALMS	MAX 30%	22.22%	
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>	<b>26</b>	<b>&gt;26</b>	

### Building Two - Landscape Plan



### Building Two - Plant List

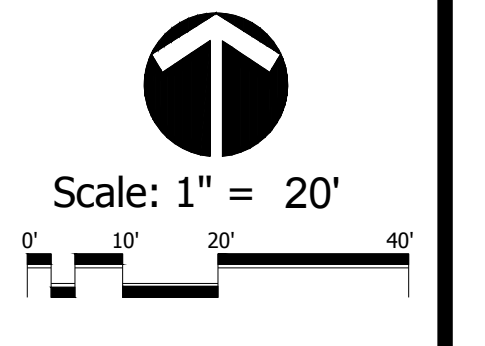
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	2	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	5	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	4	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	21	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	---	2' X 2' 2' O.C.	N	FULL & THICK
CDZ	9	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	---	2' X 2' 2' O.C.	---	FULL & THICK
PMC	3	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	---	4' X 2' A.S.	N	FULL & THICK
SAD3	21	SCHIEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	---	2' X 2' 2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	15	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	---	12" X 18"	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	---	18" X 18"	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	31	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	---	12" X 18" 24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	---	12" X 18" 24" O.C.	N	FULL & THICK
LM	24	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	---	12" X 12" 18" O.C.	N	FULL & THICK

### Building Two - Landscape Data

<b>BUILDING TWO</b>			
LOT AREA =	12,119.48		
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
CANOPY TREES (IC & LIM)	9	9	
PALM TREES @3:1 (PEA & SP)		7	
PERCENTAGE PALMS	MAX 30%	22.22%	
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>	<b>25</b>	<b>&gt;25</b>	

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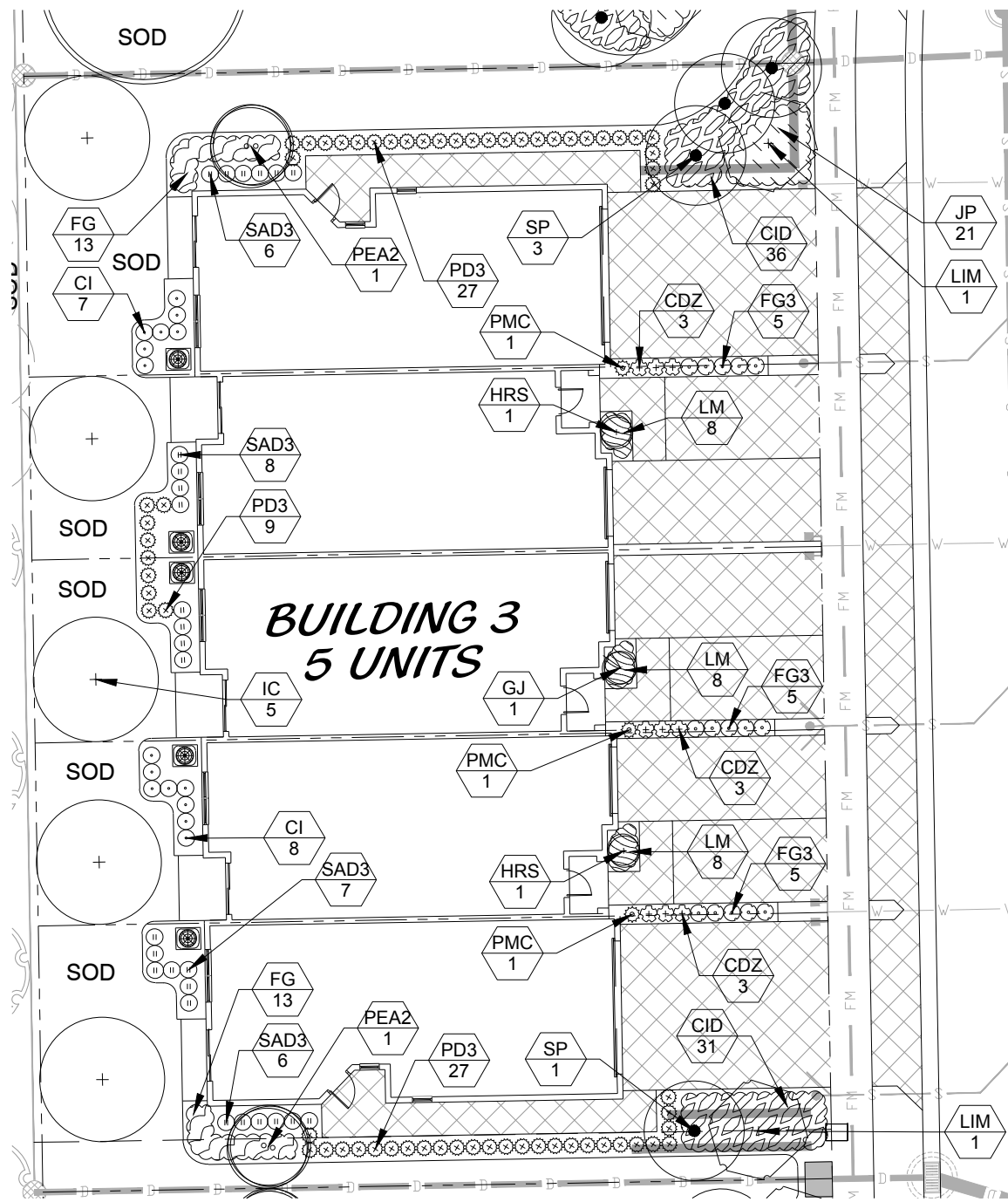
**Garden Square Townhouse Development**  
Town Home Landscape Plans  
Greenacres, Florida



DESIGNED	HK/DEH
DRAWN	HK
APPROVED	DEH
JOB NUMBER	22-1019
DATE	07-02-24
REVISIONS	10-24-24 01-31-25 03-07-25

March 07, 2025 10:20:11 a.m.  
Drawing: 22-1019\_LP.DWG

### Building Three - Landscape Plan



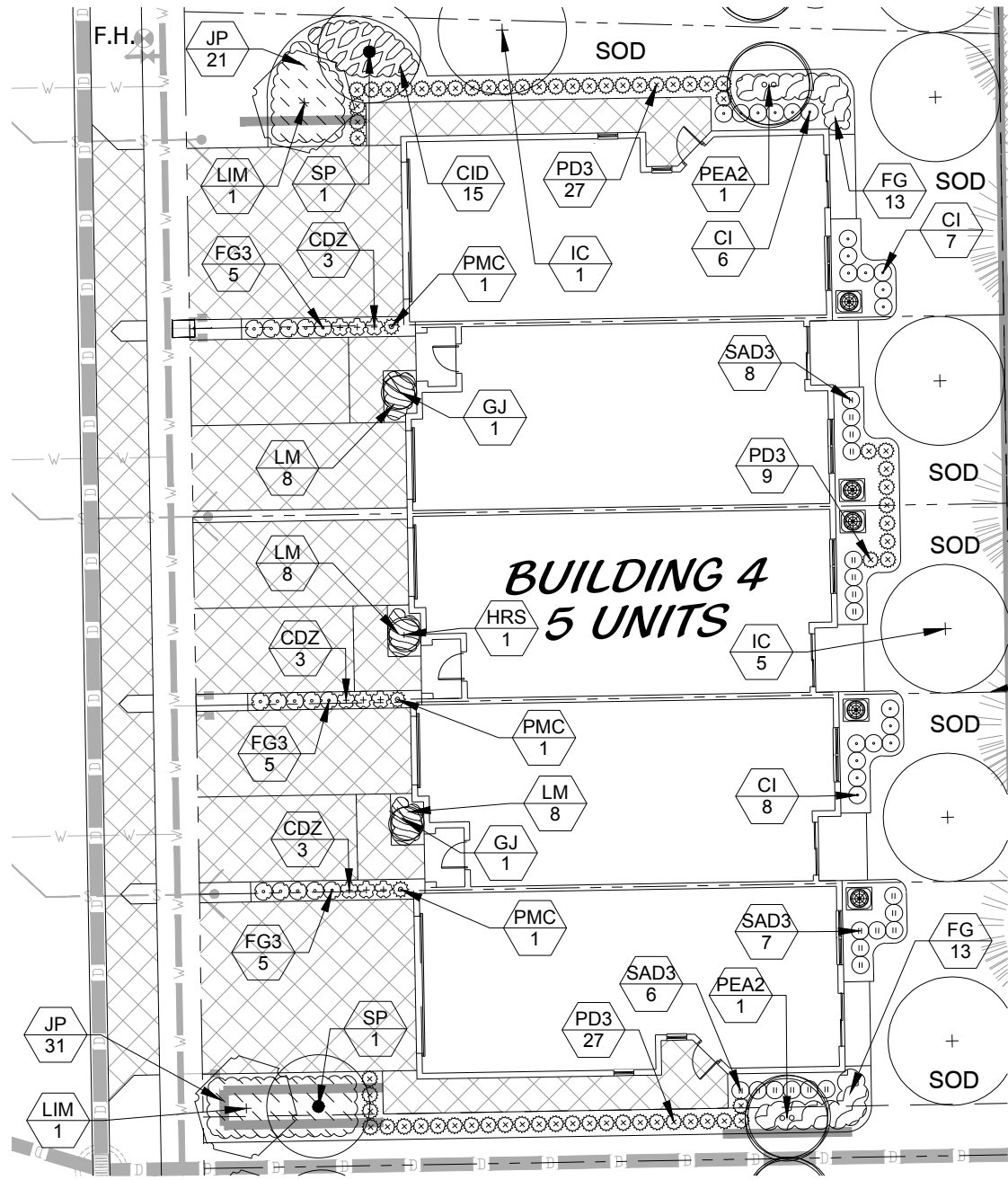
### Building Three - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	2	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	5	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	4	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	15	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	9	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	3	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	27	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	15	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	67	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	21	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	24	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Three - Landscape Data

<b>BUILDING THREE</b>		
LOT AREA =	12,740.83	
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
CANOPY TREES (IC & LIM)	9	9
PALM TREES @3:1 (PEA & SP)		7
PERCENTAGE PALMS	MAX 30%	22.22%
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>	<b>26</b>	<b>&gt;26</b>

### Building Four - Landscape Plan



### Building Four - Plant List

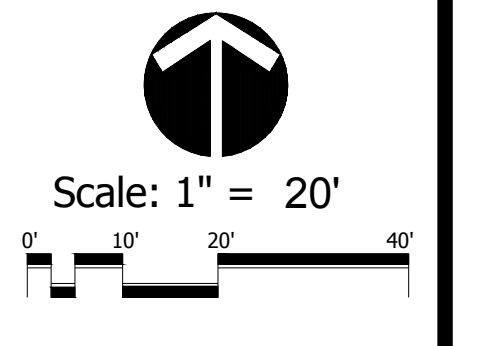
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	2	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	6	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	2	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	21	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	9	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	3	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	21	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	15	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	15	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	52	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	24	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Four - Landscape Data

<b>BUILDING FOUR</b>		
LOT AREA =	12,624.69	
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
CANOPY TREES (IC & LIM)	9	8
PALM TREES @3:1 (PEA & SP)		1
PERCENTAGE PALMS	MAX 30%	11.11%
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>	<b>26</b>	<b>&gt;26</b>

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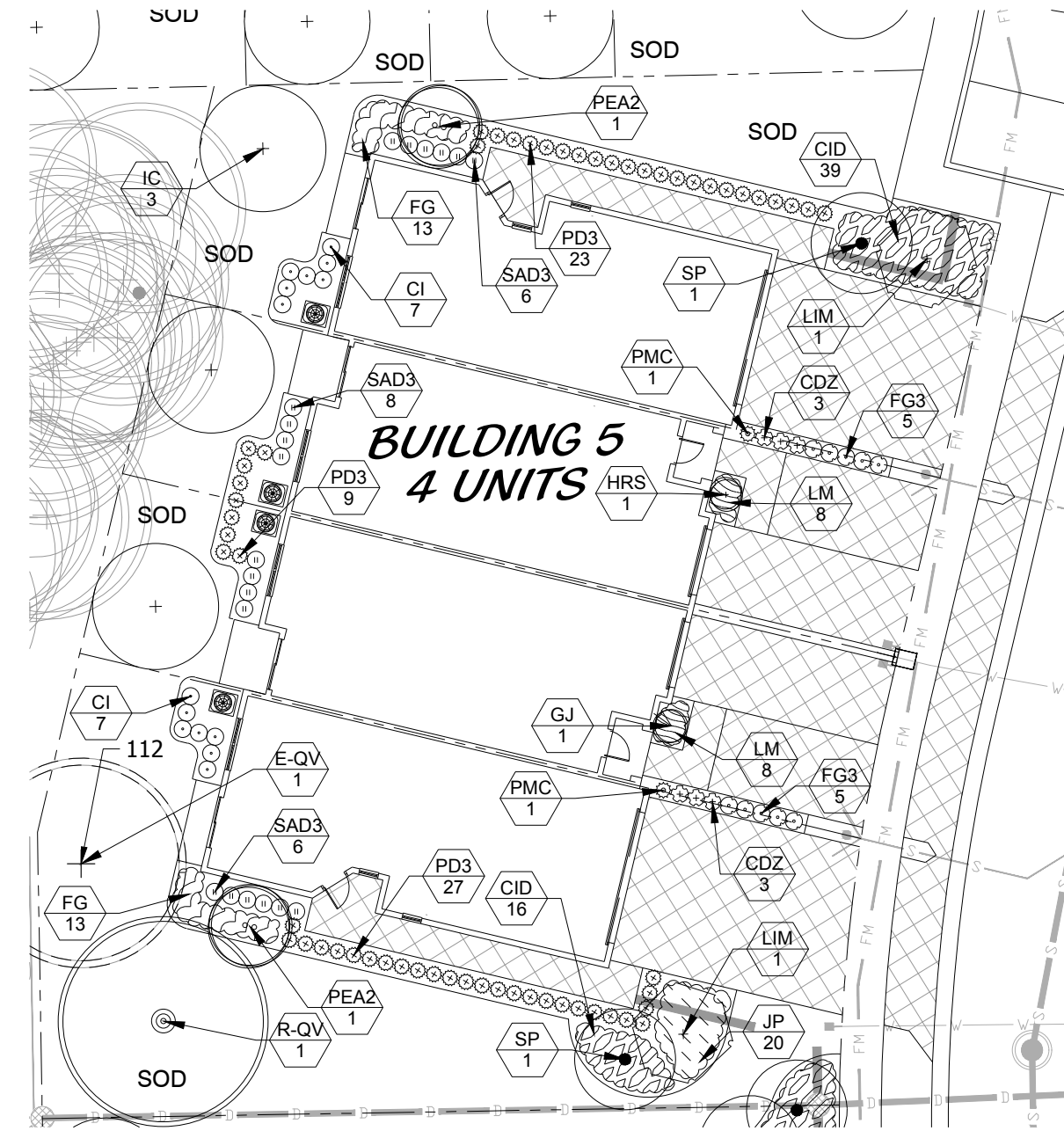
**Garden Square Townhouse Development**  
**Town Home Landscape Plans**  
 Greenacres, Florida



DESIGNED	HK/DEH
DRAWN	HK
APPROVED	DEH
JOB NUMBER	22-1019
DATE	07-02-24
REVISIONS	10-24-24
	01-31-25
	03-07-25

March 07, 2025 10:20:11 a.m.  
 Drawing: 22-1019\_LP.DWG

### Building Five - Landscape Plan



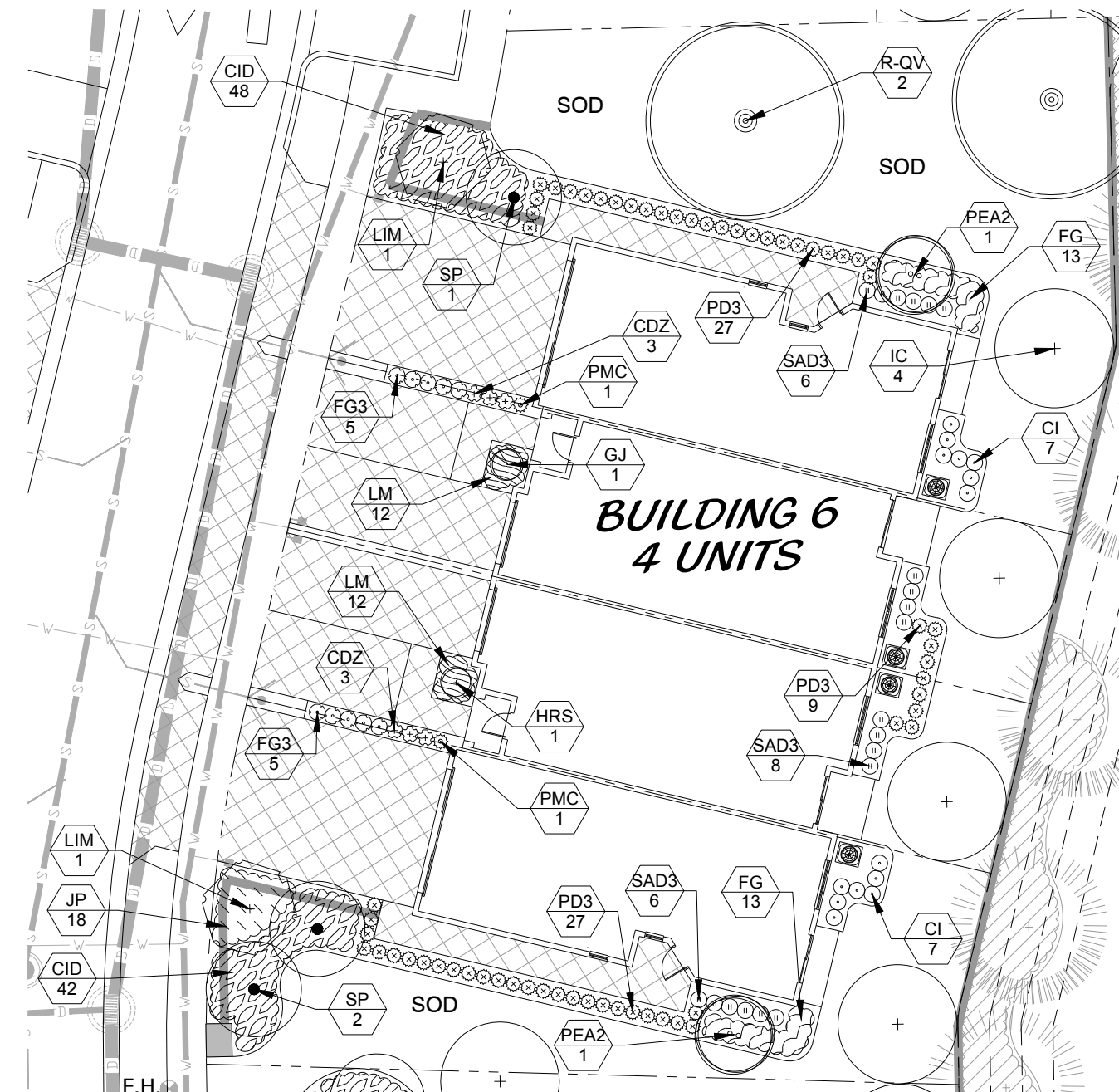
### Building Five - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
TREES								
E-QV	1	EXISTING QUERCUS SP.	EXISTING LIVE OAK	EXISTING	---	SEE TREE DISPOSITION CHART	Y	EXISTING OAK TREE. SEE TREE DISPOSITION CHART FOR DISPOSITION
ACCENT TREES								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
CANOPY TREES								
IC	3	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL.	12" HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12" HT. X 6' SPRD.	N	FULL CANOPY, MULTI
R-QV	1	RELOCATED QUERCUS VIRGINIANA	RELOCATED LIVE OAK	---	VARIES	VARIES	Y	RELOCATED FROM ON-SITE
PALM TREES								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12" O.A.	N	FULL CANOPY, DOUBLE STEM
SP	2	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12", 18" AND 24" C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
MEDIUM AND LARGE SHRUBS								
CI	14	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	6	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	2	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	20	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
SMALL SHRUBS								
FG3	10	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	59	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
SMALL SHRUBS AND GROUNDCOVERS								
CID	55	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	20	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	16	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Five - Landscape Data

<b>BUILDING FIVE</b>				
LOT AREA =	11,776.92			
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>		<b>REQUIRED</b>	<b>PROVIDED</b>	
CANOPY TREES (IC, LIM & EX. QV)		8	8	
PALM TREES @3:1 (SP)			1	
PERCENTAGE PALMS		MAX 30%	12.50%	
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>		24	>24	

### Building Six - Landscape Plan



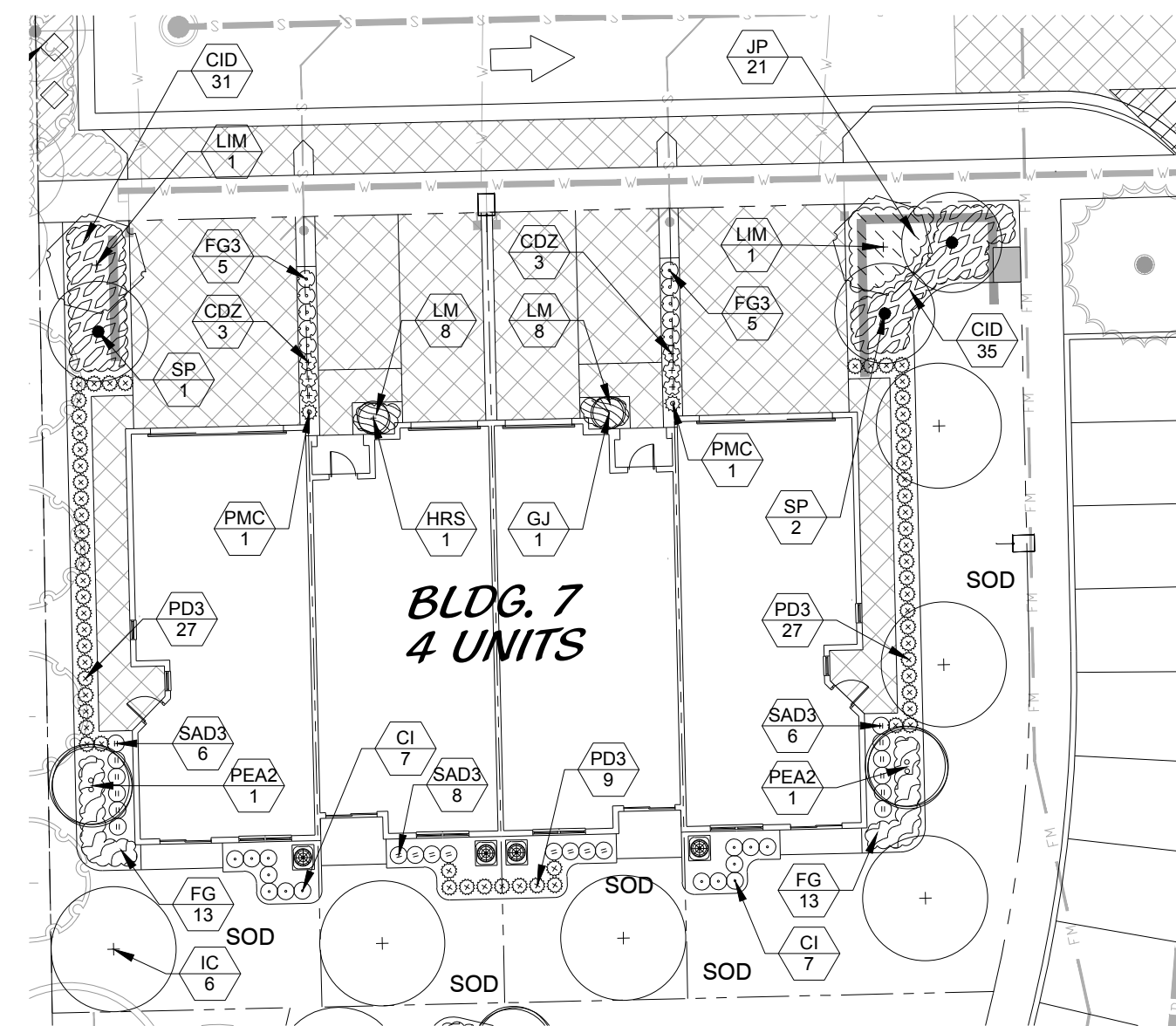
### Building Six - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
ACCENT TREES								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
CANOPY TREES								
IC	4	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL.	12" HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12" HT. X 6' SPRD.	N	FULL CANOPY, MULTI
R-QV	2	RELOCATED QUERCUS VIRGINIANA	RELOCATED LIVE OAK	---	VARIES	VARIES	Y	RELOCATED FROM ON-SITE
PALM TREES								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12" O.A.	N	FULL CANOPY, DOUBLE STEM
SP	3	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12", 18" AND 24" C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
MEDIUM AND LARGE SHRUBS								
CI	14	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	6	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	2	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	20	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
SMALL SHRUBS								
FG3	10	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
SMALL SHRUBS AND GROUNDCOVERS								
CID	90	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	18	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	24	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Six - Landscape Data

<b>BUILDING SIX</b>				
LOT AREA =	12,700.85			
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>		<b>REQUIRED</b>	<b>PROVIDED</b>	
CANOPY TREES (IC, LIM & QV)		9	9	
PALM TREES @3:1 (SP)			8	
PERCENTAGE PALMS		MAX 30%	11.11%	
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>		26	>26	

### Building Seven - Landscape Plan



### Building Seven - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
ACCENT TREES								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
CANOPY TREES								
IC	6	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5" CAL.	12" HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12" HT. X 6' SPRD.	N	FULL CANOPY, MULTI
PALM TREES								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12" O.A.	N	FULL CANOPY, DOUBLE STEM
SP	3	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12", 18" AND 24" C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
MEDIUM AND LARGE SHRUBS								
CI	14	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	6	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	2	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	20	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
SMALL SHRUBS								
FG3	10	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
SMALL SHRUBS AND GROUNDCOVERS								
CID	66	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	21	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	16	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Seven - Landscape Data

<b>BUILDING SEVEN</b>				
LOT AREA =	11,151.51			
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>		<b>REQUIRED</b>	<b>PROVIDED</b>	
CANOPY TREES (IC & LIM)		8	8	
PERCENTAGE PALMS		MAX 30%	0.00%	
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>		23	>23	

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**Garden Square Townhouse Development**  
Town Home Landscape Plans  
Greenacres, Florida

Scale: 1" = 20'

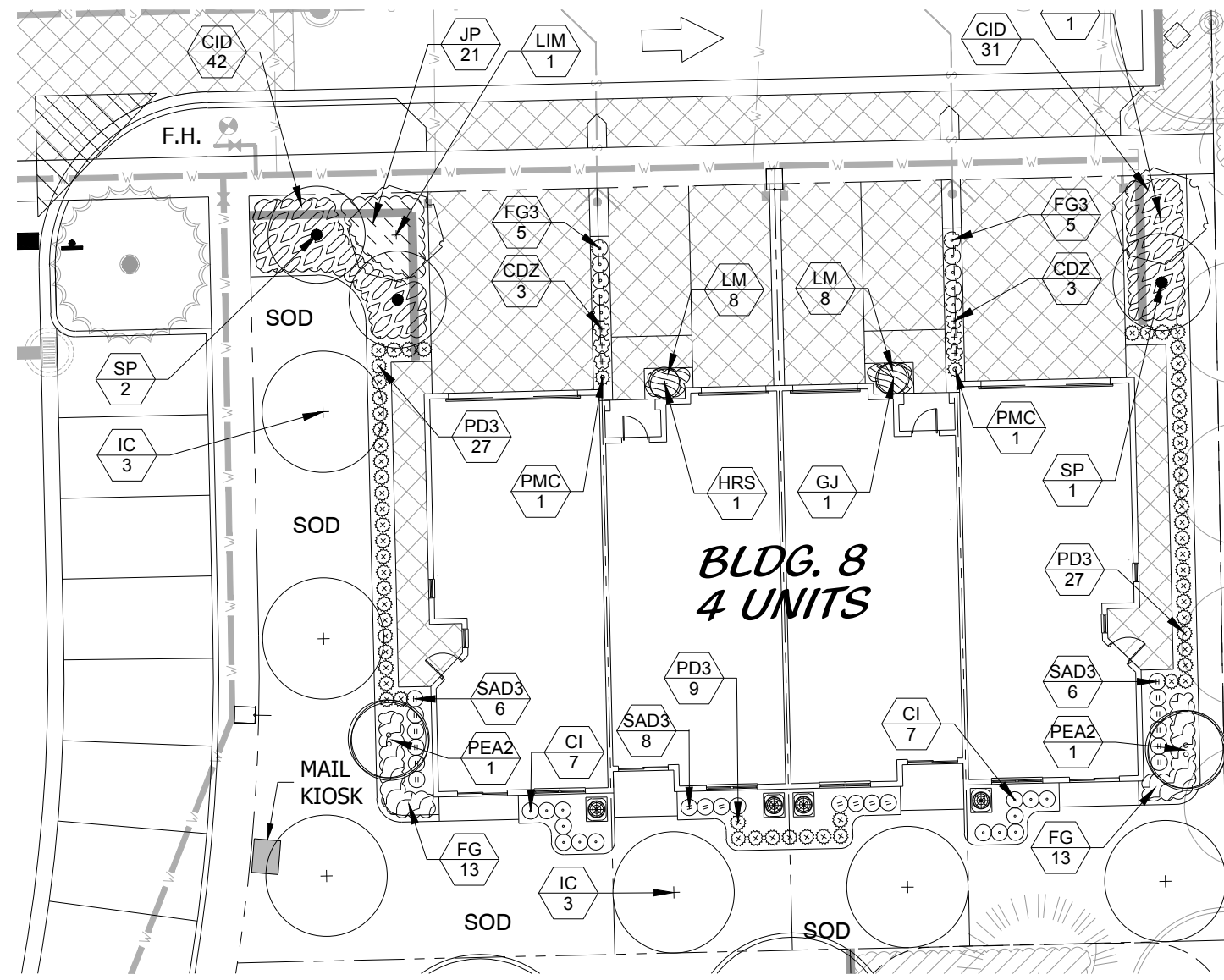
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DRAWN: HK  
APPROVED: DEH  
JOB NUMBER: 22-1019  
DATE: 07-02-24  
REVISIONS: 10-24-24  
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03-07-25

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Drawing: 22-1019\_LP.DWG

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### Building Eight - Landscape Plan



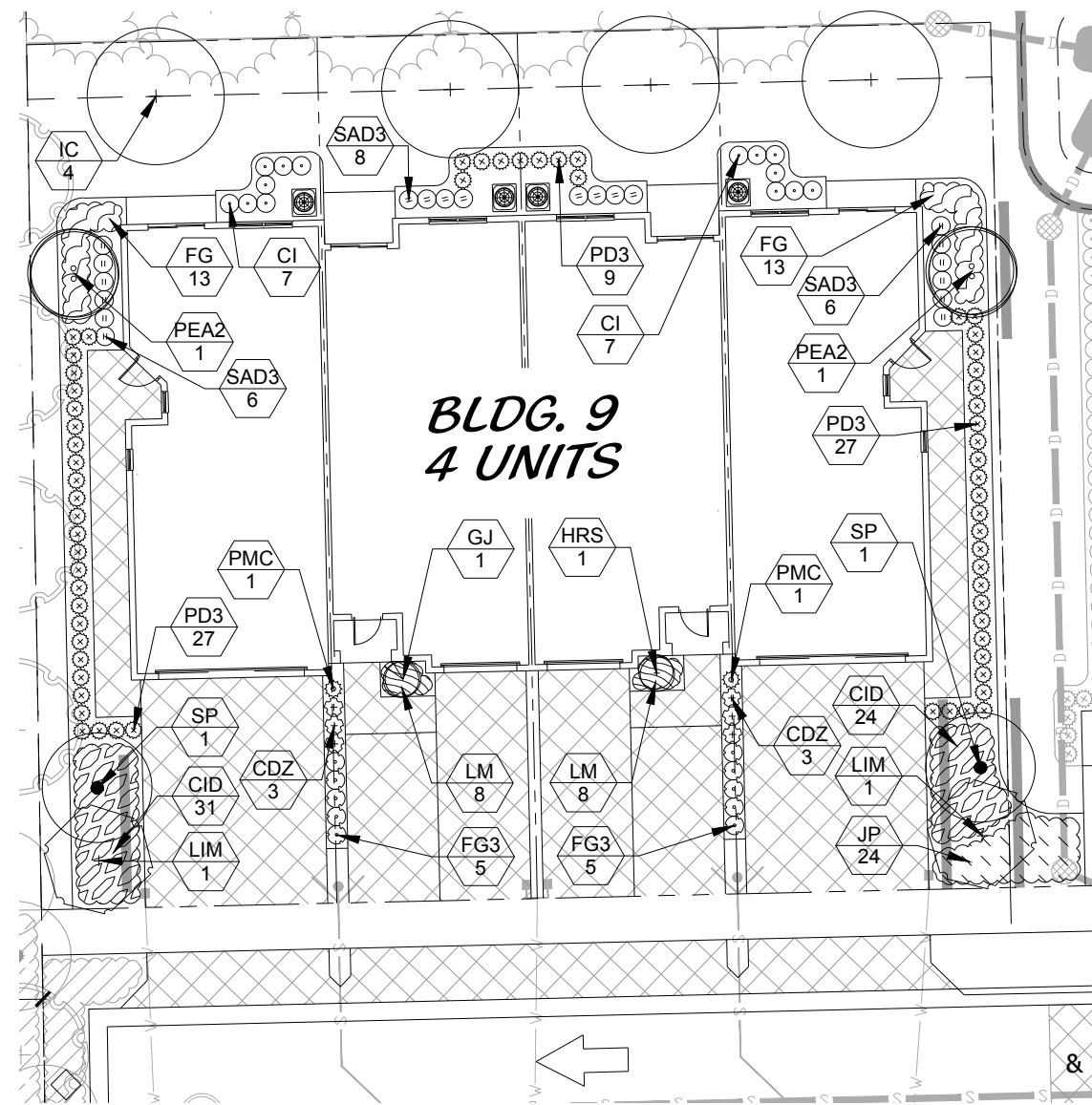
### Building Eight - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	6	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5' CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	3	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	14	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	6	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	2	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	20	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	10	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	73	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	21	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	16	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Eight - Landscape Data

<b>BUILDING EIGHT</b>			
LOT AREA =	11,381.73		
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
CANOPY TREES (IC & LIM)		8	8
PERCENTAGE PALMS		MAX 30%	0.00%
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>		23	>23

### Building Nine - Landscape Plan



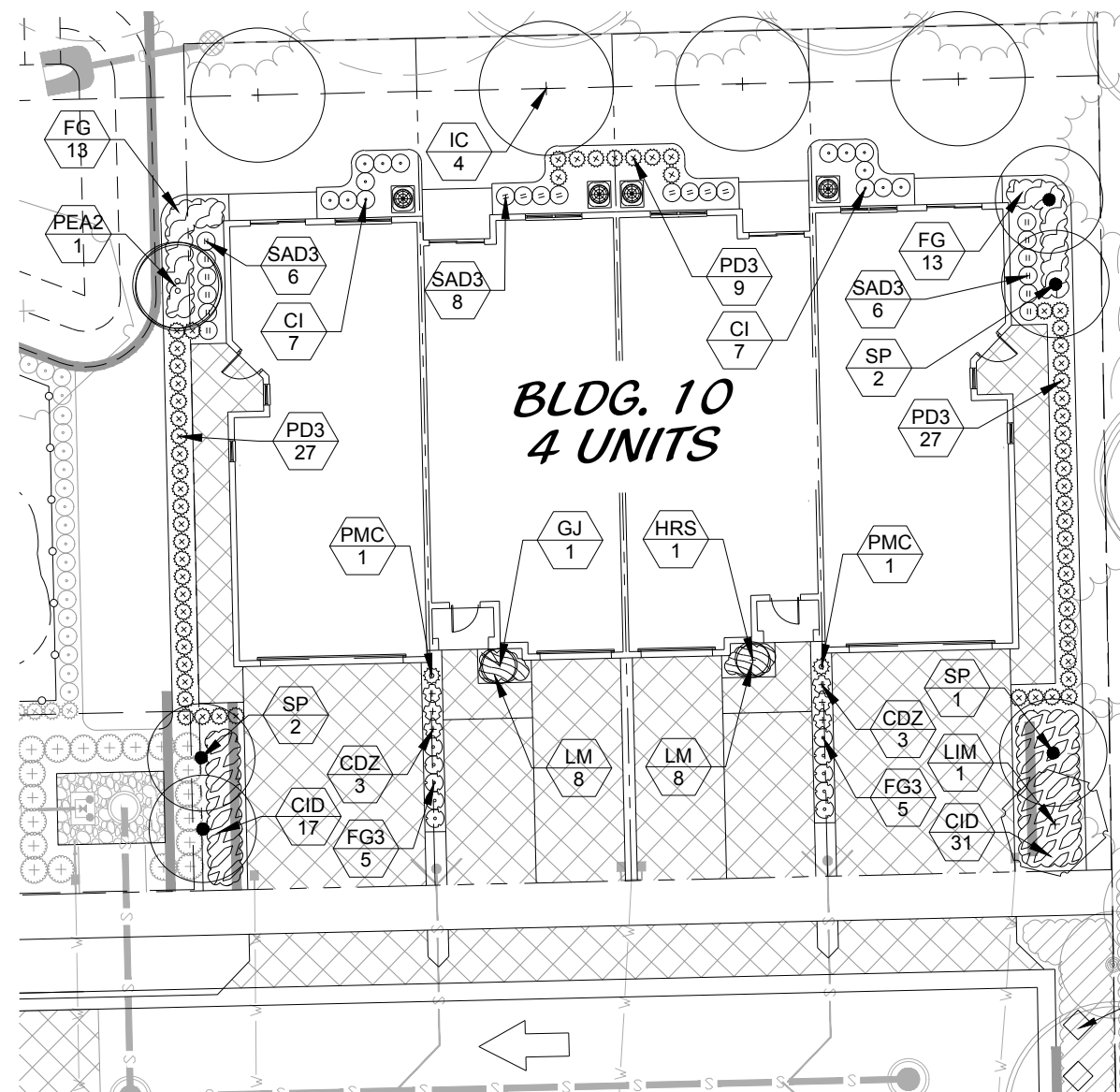
### Building Nine - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	4	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5' CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	2	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	14	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	6	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	2	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	20	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	10	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	55	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
JP	24	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	16	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Nine - Landscape Data

<b>BUILDING NINE</b>			
LOT AREA =	10,079.29		
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
CANOPY TREES (IC & LIM)		7	7
PALM TREES @3:1 (PEA2 & SP)			6
PERCENTAGE PALMS		MAX 30%	14.29%
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>		21	>21

### Building Ten - Landscape Plan



### Building Ten - Plant List

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>ACCENT TREES</b>								
GJ	1	GARDENIA JASMINODES	MIAMI SUPREME GARDENIA	15 GAL.	---	5' HT.	N	FULL CANOPY, STANDARD
HRS	1	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	15 GAL.	---	4'-5' HT. X 2'-3' SPRD.	N	FULL CANOPY, STANDARD
<b>CANOPY TREES</b>								
IC	4	ILEX CASSINE	DAHOON HOLLY	45 GAL. OR F.G.	2.5' CAL.	12' HT. X 5' SPRD.	Y	FULL CANOPY, STANDARD
LIM	1	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CREPE MYRTLE	45 GAL.	---	12' HT. X 6' SPRD.	N	FULL CANOPY, MULTI
<b>PALM TREES</b>								
PEA2	1	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	45 GAL. OR F.G.	---	12' O.A.	N	FULL CANOPY, DOUBLE STEM
SP	5	SABAL PALMETTO	SABAL PALM	F.G.	---	SEE REMARKS	Y	12', 18' AND 24' C.T., STGG. HTS., 1/3 EACH SIZE, SLICK TRUNKS
<b>MEDIUM AND LARGE SHRUBS</b>								
CI	14	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUS	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
CDZ	6	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL.	2' X 2'	2' O.C.	---	FULL & THICK
PMC	2	PODOCARPUS MACROPHYLLUS 'MAKI'	PODOCARPUS COLUMN	7 GAL.	4' X 2'	A.S.	N	FULL & THICK
SAD3	20	SCHEFFLERA ARBORICOLA 'DAZZLE'	DWARF VARIEGATED SCHEFFLERA	3 GAL.	2' X 2'	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS</b>								
FG3	10	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	2' O.C.	N	FULL & THICK
PD3	63	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PODOCARPUS	3 GAL.	18" X 18"	2' O.C.	N	FULL & THICK
<b>SMALL SHRUBS AND GROUNDCOVERS</b>								
CID	48	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL.	12" X 18"	24" O.C.	Y	FULL & THICK
FG	26	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.	12" X 18"	24" O.C.	N	FULL & THICK
LM	16	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LILYTURF	1 GAL.	12" X 12"	18" O.C.	N	FULL & THICK

### Building Ten - Landscape Data

<b>BUILDING TEN</b>			
LOT AREA =	9,692.68		
<b>TREES 1 TREE PER EA. 1,500 SQ.FT.</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
CANOPY TREES (IC & LIM)		7	7
PALM TREES @3:1 (PEA2 & SP)			5
PERCENTAGE PALMS		MAX 30%	28.57%
<b>SHRUBS 3 SHRUBS PER EA. 1,500 SQ.FT.</b>		20	>20

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**Garden Square Townhouse Development**  
 Town Home Landscape Plans  
 Greenacres, Florida

Scale: 1" = 20'

DESIGNED	HK/DEH
DRAWN	HK
APPROVED	DEH
JOB NUMBER	22-1019
DATE	07-02-24
REVISIONS	10-24-24
	01-31-25
	03-07-25

March 07, 2025 10:20:11 a.m.  
 Drawing: 22-1019\_LP.DWG

SHEET LP-2 OF 9

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# Landscape Specifications

## 1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

### PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS: PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS, NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS 1 & 11, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING NATIVE SOIL.

REPLACEMENT SOIL SHALL BE USED AS SPECIFIED TO REPLACE EXISTING SOILS THAT ARE DETERMINED BY THE LANDSCAPE ARCHITECT TO BE UNSUITABLE FOR PLANTING, IE. ROAD BASE, PAVEMENT, ETC. REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MUCK. SAND SHALL BE 100% CLEAN NATIVE SAND SCREENED TO 1/4" AND MUCK SHALL BE 100% CLEAN ORGANIC NATIVE MUCK SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE.

MULCH SHALL BE SHREDDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

### FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	16-7-12	AGRIFORM TABLETS (21 GRAM)
1 GAL.	1/4 LB.	1
3 GAL.	1/2 LB.	3
7-15 GAL.	1/2 LB.	6
1"-6" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

## 2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS.

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

## 3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH EXCEPT WITHIN 3" OF STEMS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

# Landscape Notes

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'GRADES AND STANDARDS' LATEST EDITION.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR CHANGES WITHOUT THE AUTHORIZATION OF THE CITY OF GREENACRES, THE OWNER AND THE LANDSCAPE ARCHITECT.

ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SITE LIGHTING AND STREET SIGNS.

ALL SOD SHALL BE STENOTAPHRUM SECUNDATUS "FLORITAM" (ST. AUGUSTINE SOD)

TREES WITHIN PLANTING ISLANDS LESS THAN FIVE (5) FEET IN WIDTH SHALL BE LOCATED TO AVOID CONFLICTS WITH THE OVERHANG OF VEHICLES.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF GREENACRES LDR'S.

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND THE LIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL EXTEND ONE FOOT HIGHER THAN THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING.

PLANTING OF ANY TREES WITHIN TEN (10) FEET OF ANY ABOVE-GROUND POWER OR UTILITY LINES SHALL CONFORM TO THE CRITERIA LISTED IN "PLANT THE RIGHT TREE IN THE RIGHT PLACE" DOCUMENT ISSUED BY FLORIDA POWER & LIGHT.

A PROGRAM SHALL BE IMPLEMENTED TO ERADICATE AND PREVENT THE RE-ESTABLISHMENT OF PROHIBITED PLANT SPECIES LISTED IN SECTION 16-1312.

TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACK FROM UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOWN HEREON.

ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCRACH INTO A PBC UE AND ONLY SOD CAN BE INSTALLED WITHIN 10' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A PROTECTIVE BARRIER SHALL BE INSTALLED AND MAINTAINED AROUND ANY TREE, STAND OF TREES, ECOLOGICAL COMMUNITY, NATIVE HABITAT OR NATURAL FEATURE WHICH ARE TO BE PRESERVED UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES ON SITE.

A BARRIER SHALL BE CONSTRUCTED OUTSIDE OF THE DRIP LINE OF THE TREE(S) TO BE PRESERVED USING EITHER METAL RODS, OR WOODEN STAKES AT LEAST TWO (2) INCHES x FOUR (4) INCHES x EIGHT (8) FEET LONG, SPACED A MAXIMUM OF TEN (10) FEET APART, AND CONNECTED WITH BRIGHTLY COLORED RIBBON OR TEMPORARY FENCING FROM STAKE TO STAKE AT A HEIGHT OF AT LEAST FOUR (4) FEET.

DURING SITE DEVELOPMENT, NO SOIL SHALL BE ADDED OR REMOVED OR OTHERWISE DISTURBED, NOR SHALL ANY CONSTRUCTION EQUIPMENT, LIQUIDS, DEBRIS OR MATERIALS, BE LOCATED WITHIN THE PRESERVE AREA.

NO ATTACHMENTS OR WIRES SHALL BE ATTACHED TO ANY VEGETATION DURING THE SITE DEVELOPMENT PROCESS.

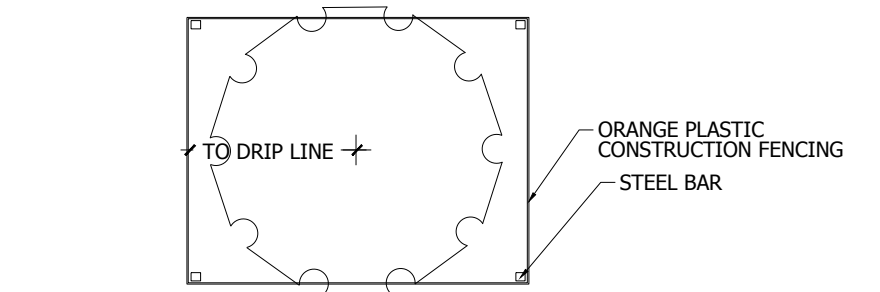
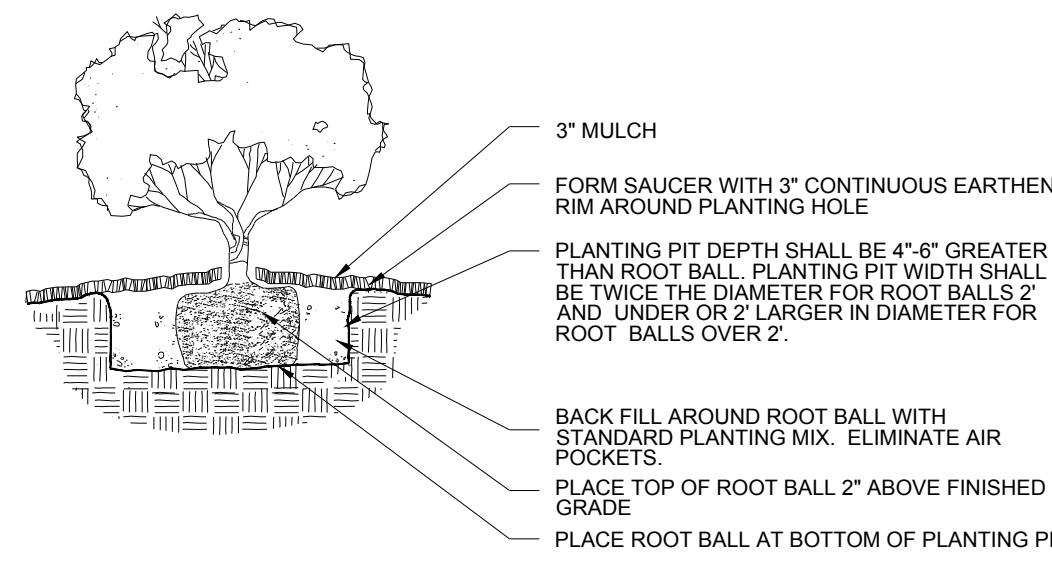
THE PROTECTIVE BARRIER SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED ON SITE; UNTIL A FINAL LANDSCAPING INSPECTION IS MADE; OR UNTIL AUTHORIZATION IS GRANTED BY THE CITY TO REMOVE THE PROTECTIVE BARRIER.

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE COVERAGE TO ALL LANDSCAPE AND SOD AREAS. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/CUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS THE CITY OF GREENACRES.

ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL, OR IN SPECIAL CASES MANUALLY OPERATED SYSTEMS IF APPROVED BY THE CITY OF GREENACRES, BETWEEN THE HOURS OF 5:00 P.M. TO 8:00 A.M.

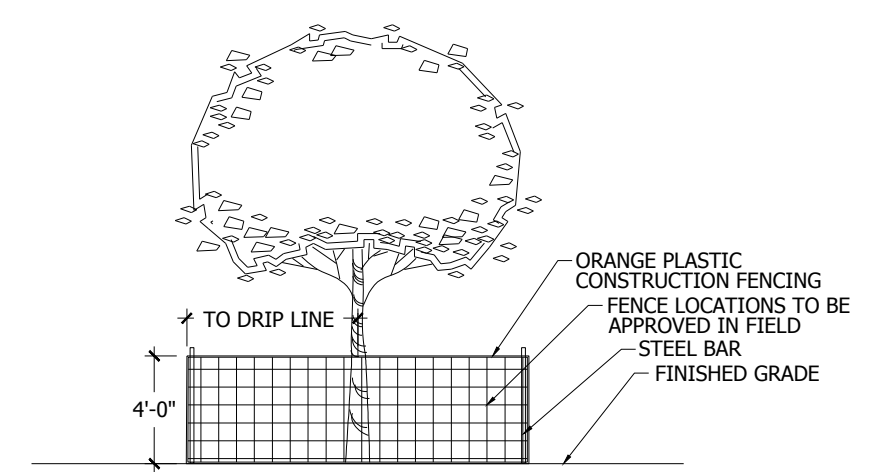
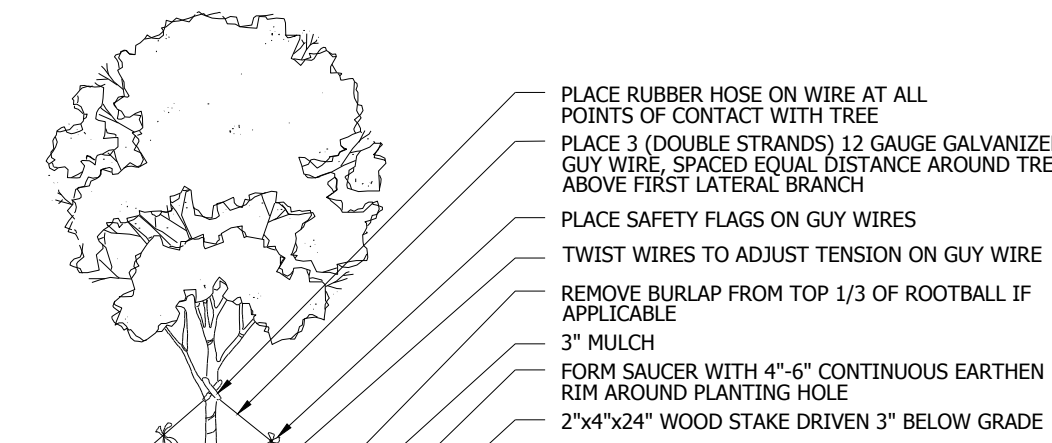
ALL WELL WATER IRRIGATION SYSTEMS MUST BE DESIGNED AND MAINTAINED IN SUCH A MANNER THAT STAINING OF BUILDINGS, WALLS, WALKS, PLANTS AND THE LIKE DOES NOT OCCUR.

# Planting Details



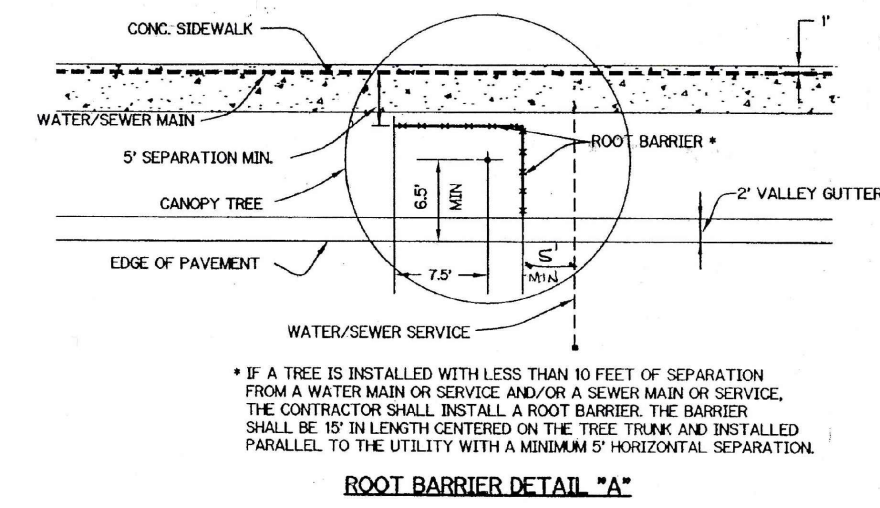
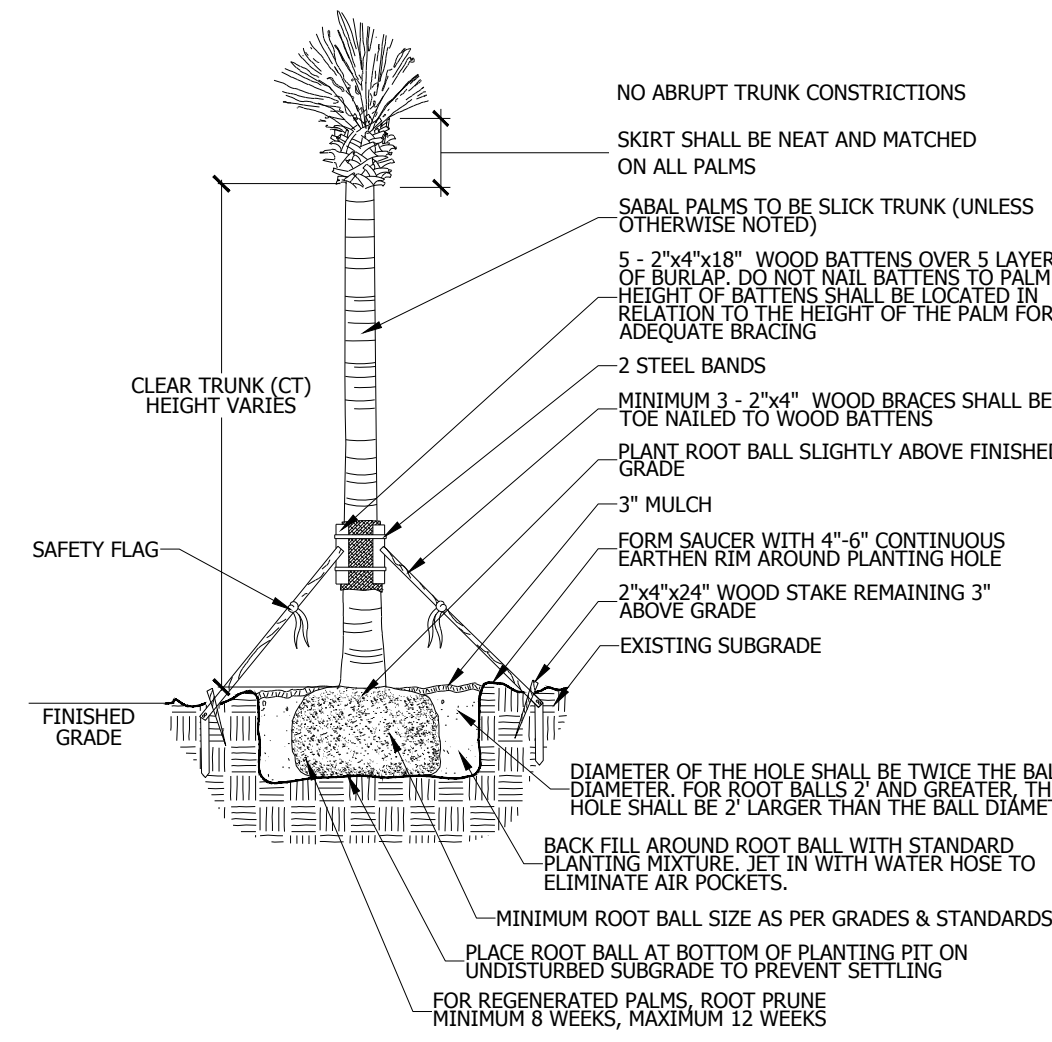
TREE PROTECTION DETAIL PLAN VIEW NTS

## SHRUB/GROUNDCOVER PLANTING DETAIL



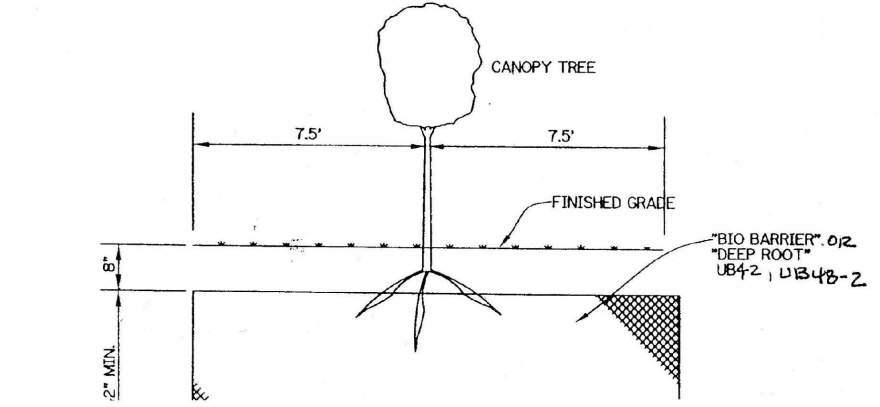
TREE PROTECTION DETAIL SECTION VIEW NTS

## LARGE TREE PLANTING DETAIL



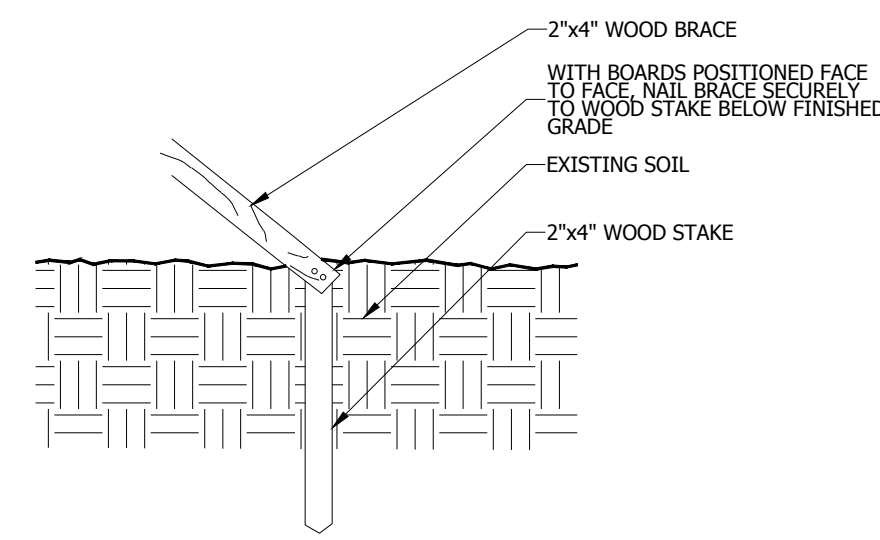
ROOT BARRIER DETAIL "A" PLAN VIEW NTS

## PALM PLANTING DETAIL



ROOT BARRIER DETAIL SECTION VIEW NTS

## WOOD STAKING DETAIL



WOOD STAKING DETAIL NTS

**Cotleur & Hearing**  
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Lic# LC-26000535

# Garden Square Townhouse Development Landscape Details Greenacres, Florida



DESIGNED	HK/DEH
DRAWN	HK
APPROVED	DEH
JOB NUMBER	22-1019
DATE	07-02-24
REVISIONS	10-24-24
	01-31-25
	03-07-25

March 07, 2025 10:20:11 a.m.  
Drawing: 22-1019\_LP.DWG

SHEET LP-5 OF 9  
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# Landscape Details

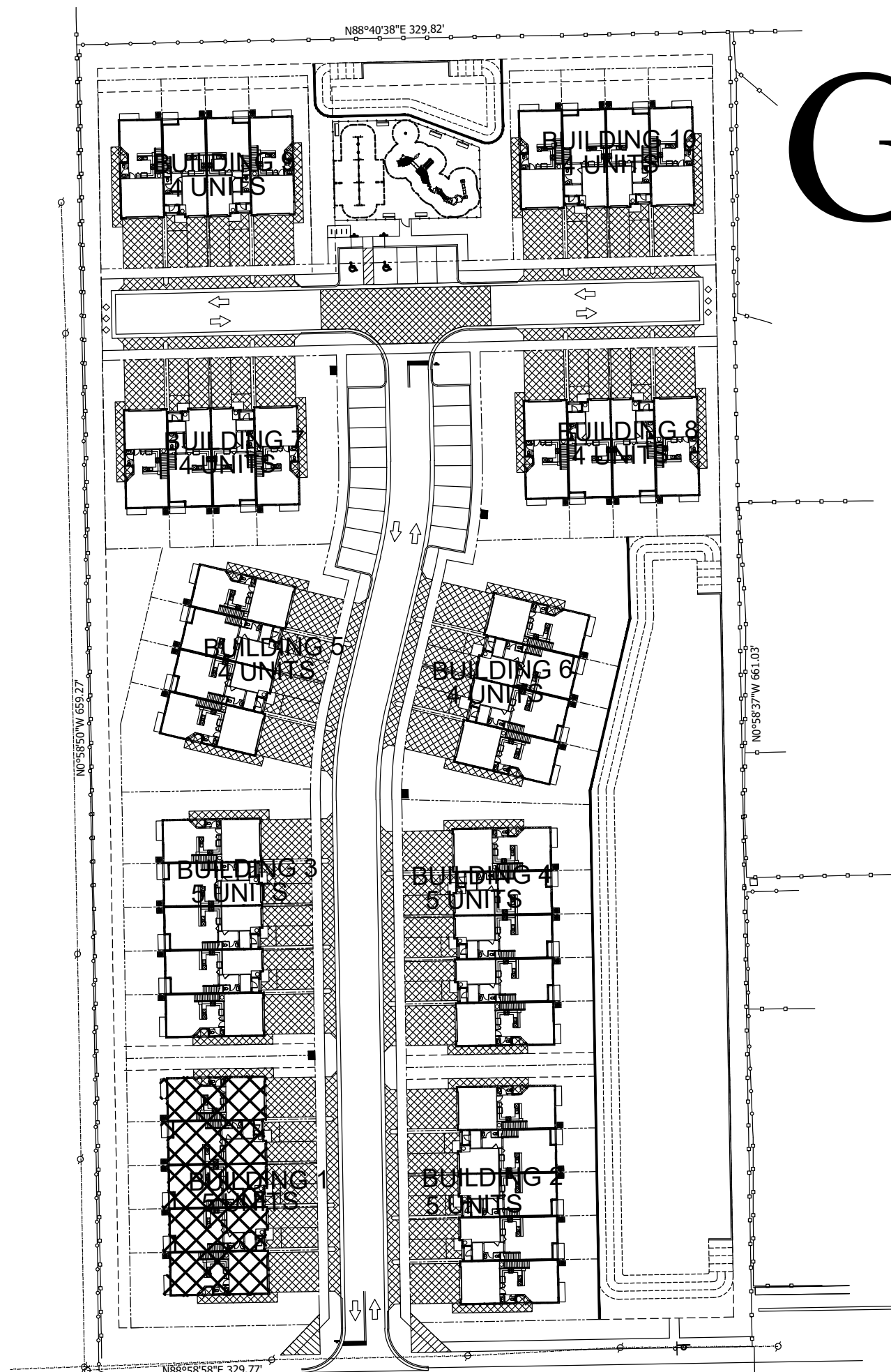
# 5 UNIT BUILDING 1

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



PARTIAL SITE PLAN  
KEY PLAN

### DRAWING INDEX

- CS - COVER SHEET
- A1.0 - UNIT MIX PLAN
- A2.0 - UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

CODE EDITION:  
 FLORIDA BUILDING CODE 8th EDITION (2023)  
 THE 8TH EDITION OF THE FLORIDA RESIDENTIAL BUILDING CODE  
 THE NATIONAL ELECTRICAL CODE, NFPA 70-20  
 THIS PLAN COMPLIES WITH THE REQUIREMENTS OF TMS 402-16 AND 602-16,  
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 WIND LOAD PROVISIONS OF ASCE 7-22  
 NFPA FLORIDA FIRE PREVENTION CODE 8TH EDITION

ASCE 7-22 | EXPOSURE CONDITION INDICATE C  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
 (DETERMINED BY BUILDING USE/ OCCUPANCY,  
 REFER TO ASCE 7-22 TABLE 15-1)

INTERNAL PRESSURE COEFFICIENT:  
+1.0 (ENCLOSED BUILDING)

BASIC WIND VELOCITY PRESSURES:  
 APPROPRIATE POSITIVE / NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN  
 APPLIED TO MAIN WIND FORCE RESISTING SYSTEM AND BUILDING ENVELOPE  
 COMPONENTS AND CLADDING AS APPLICABLE.

WIND SPEED 110 (3 SEC. GUST) BASIC VELOCITY PRESSURE 25.41 PSF

ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
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SOIL BEARING CAPACITY 2500 PSF

Rev	Date	Document History

**LENNAR**

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #5

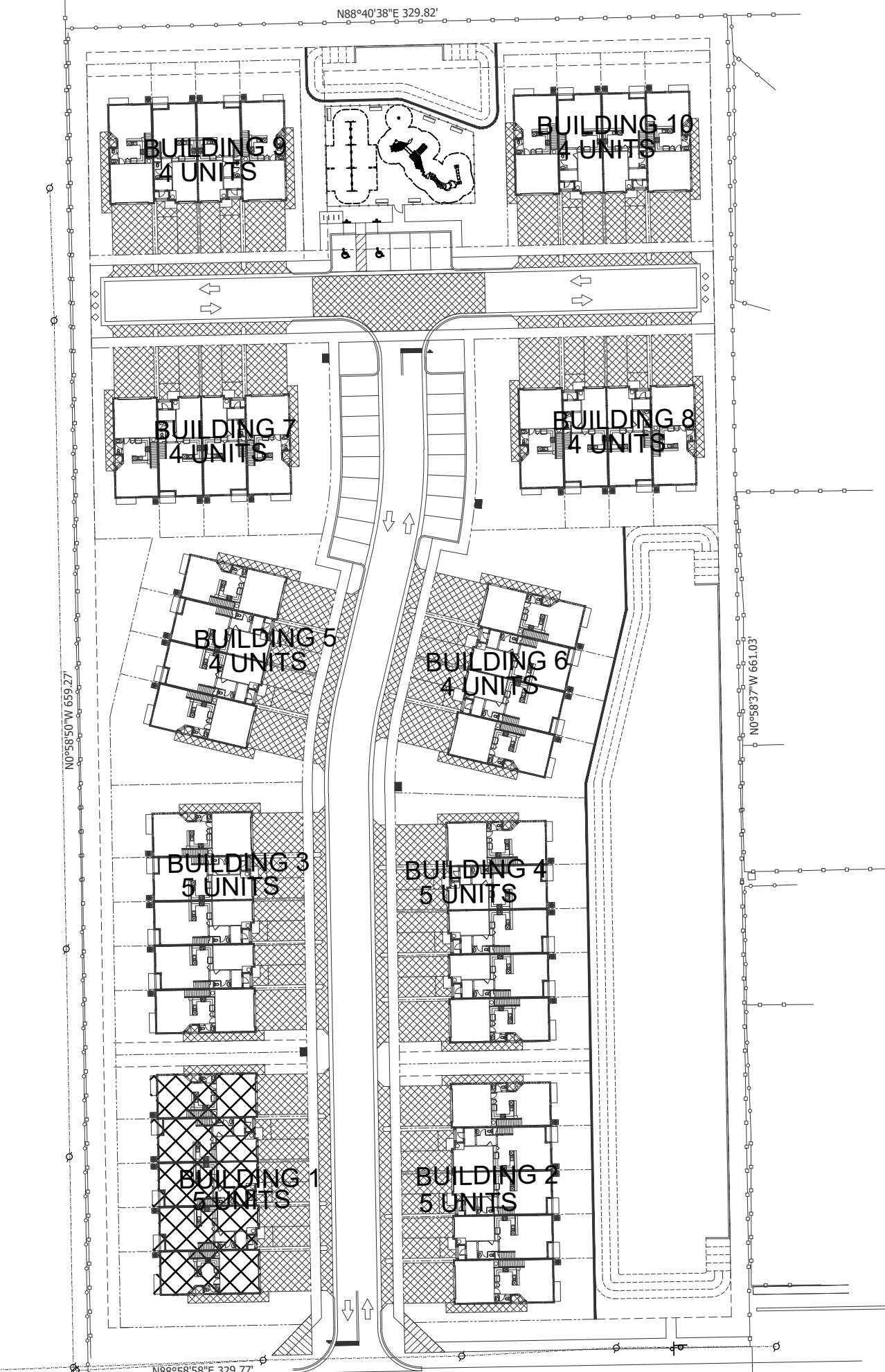
COVER SHEET

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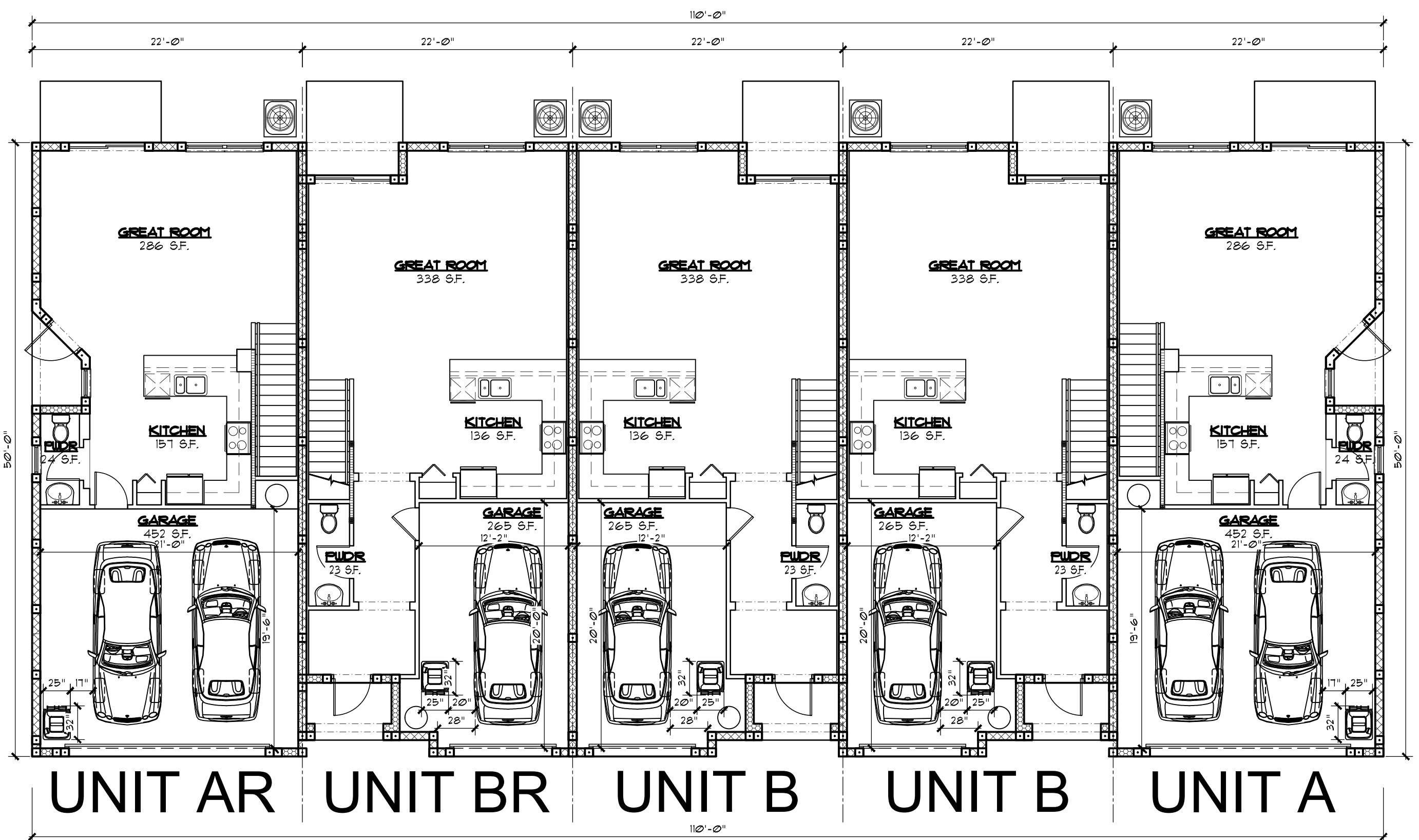
PARTIAL SITE PLAN  
KEY PLAN

AREA CALCULATIONS  
UNITS A / AR

1st FLOOR LIVING:	625 S.F.
2nd FLOOR LIVING:	1129 S.F.
TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

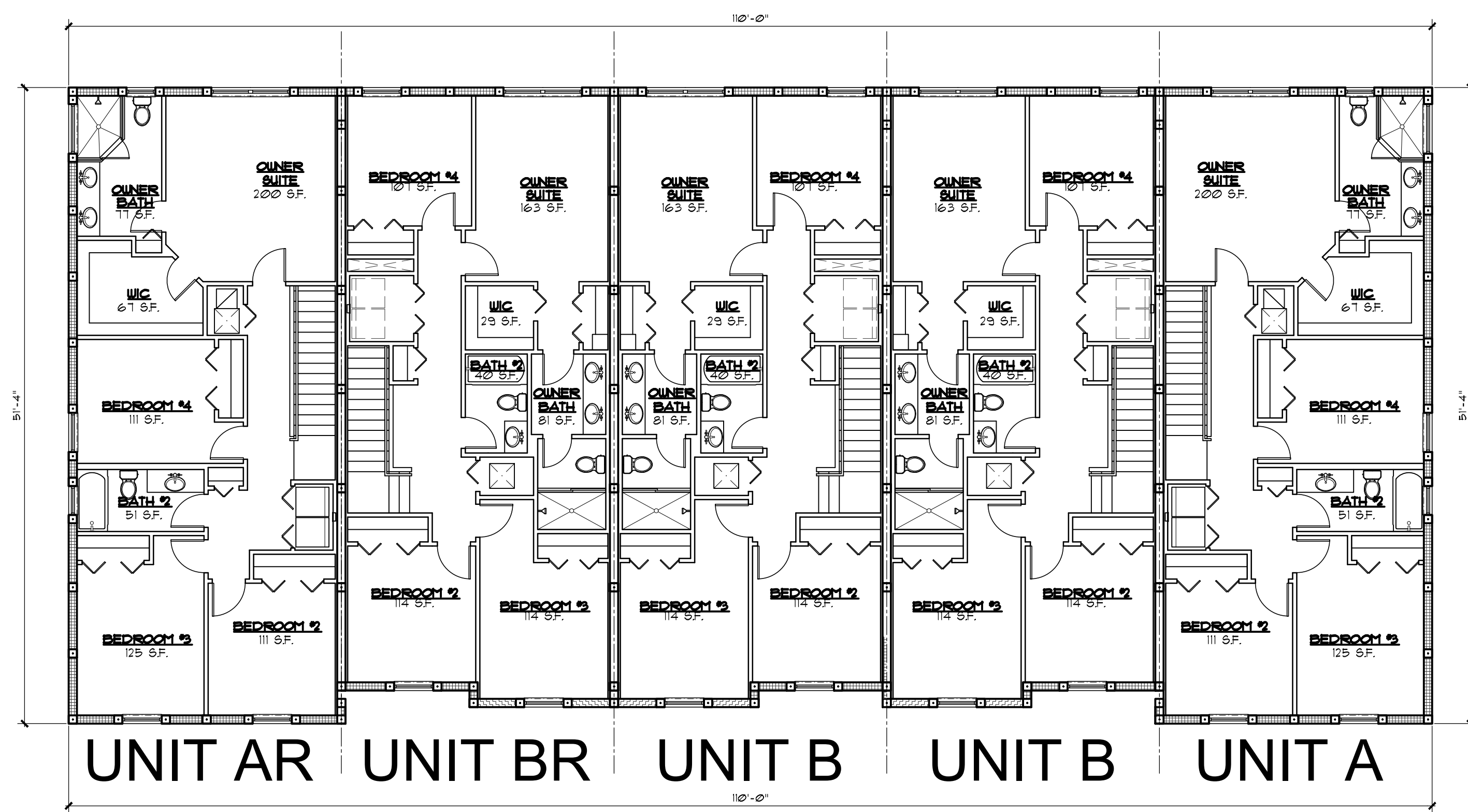
AREA CALCULATIONS  
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5-UNIT FIRST FLOOR MIX PLAN

SCALE: 1/8" = 1'-0"



5-UNIT SECOND FLOOR MIX PLAN

SCALE: 1/8" = 1'-0"

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5-UNIT MIX PLAN  
Garden Square Townhouse Development  
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Lot #:

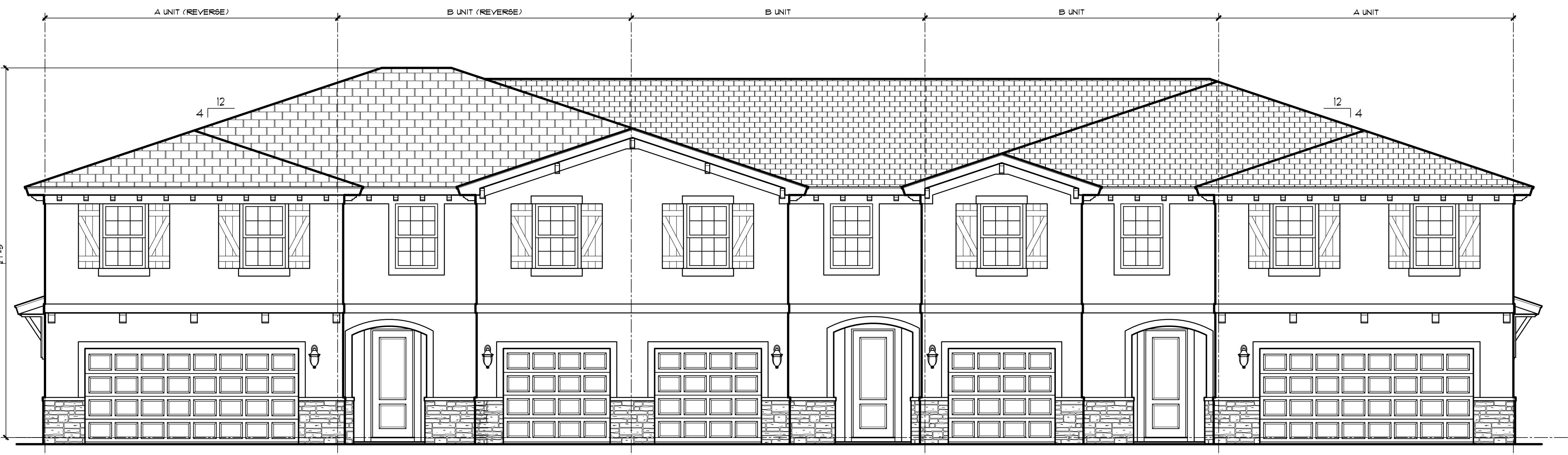
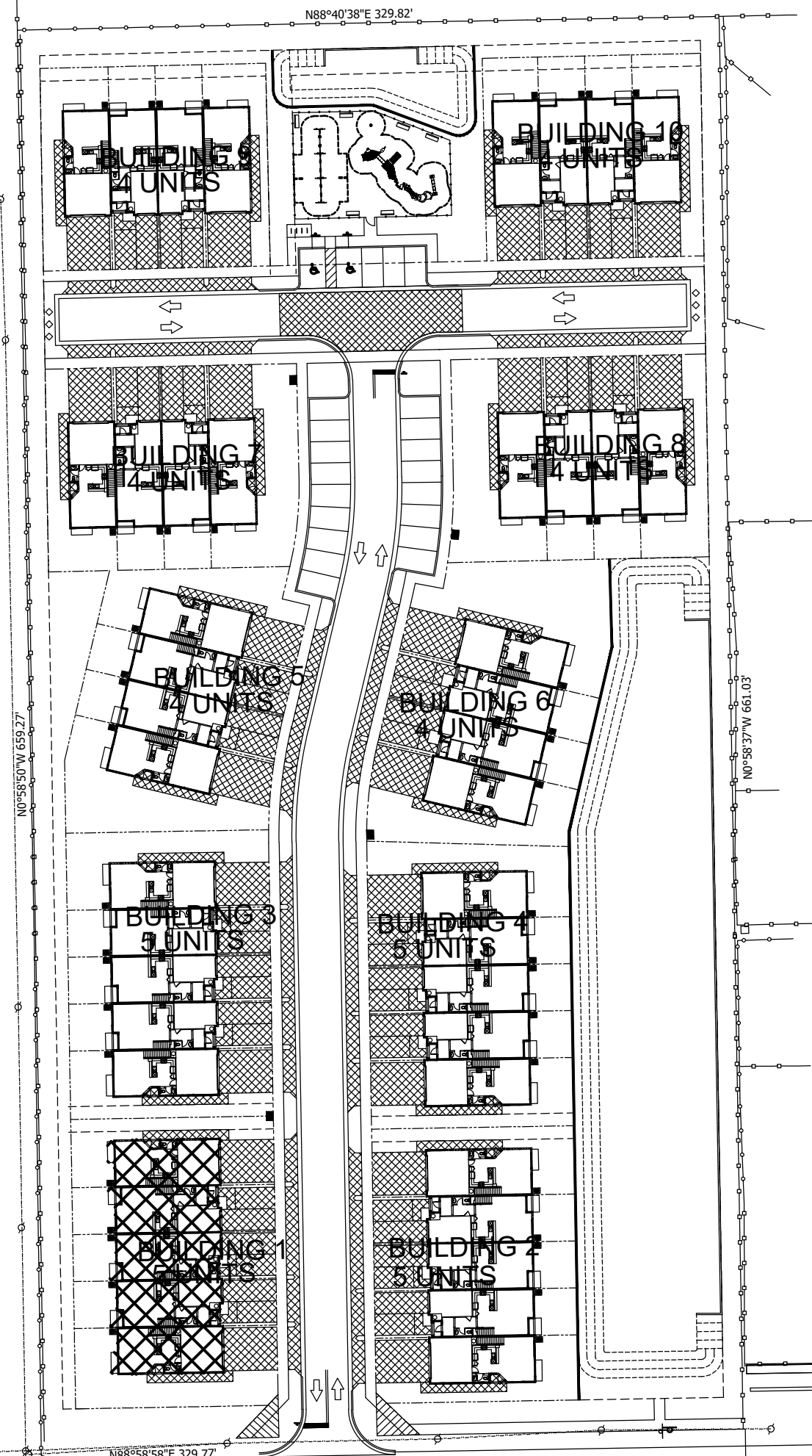
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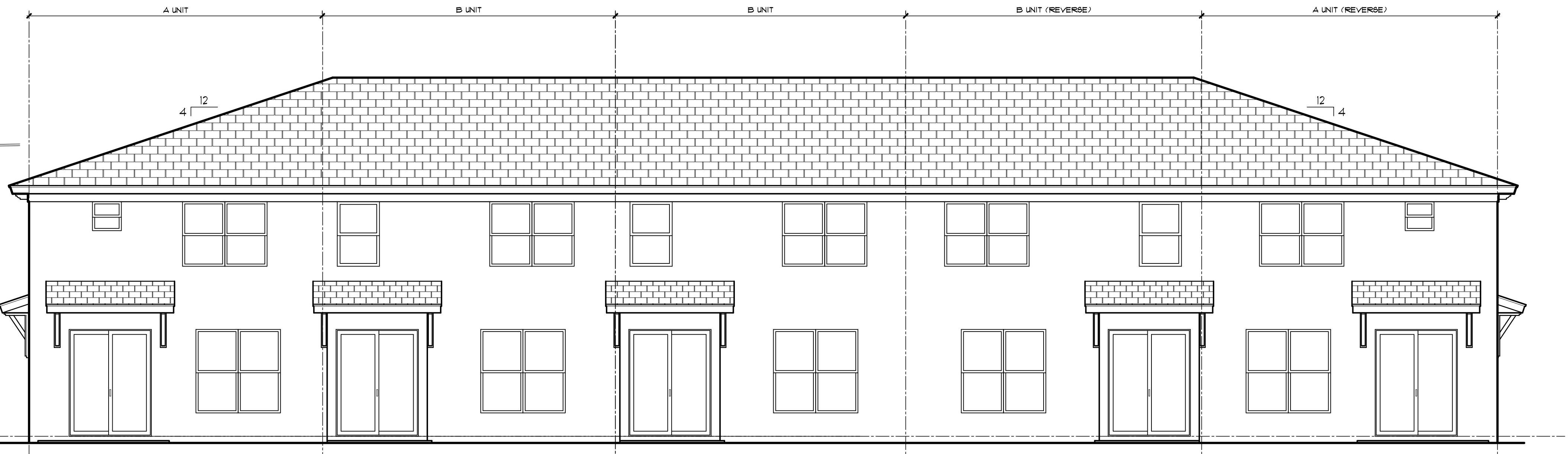
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Rev	Date
	Document History



FRONT ELEVATION EAST ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION WEST ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



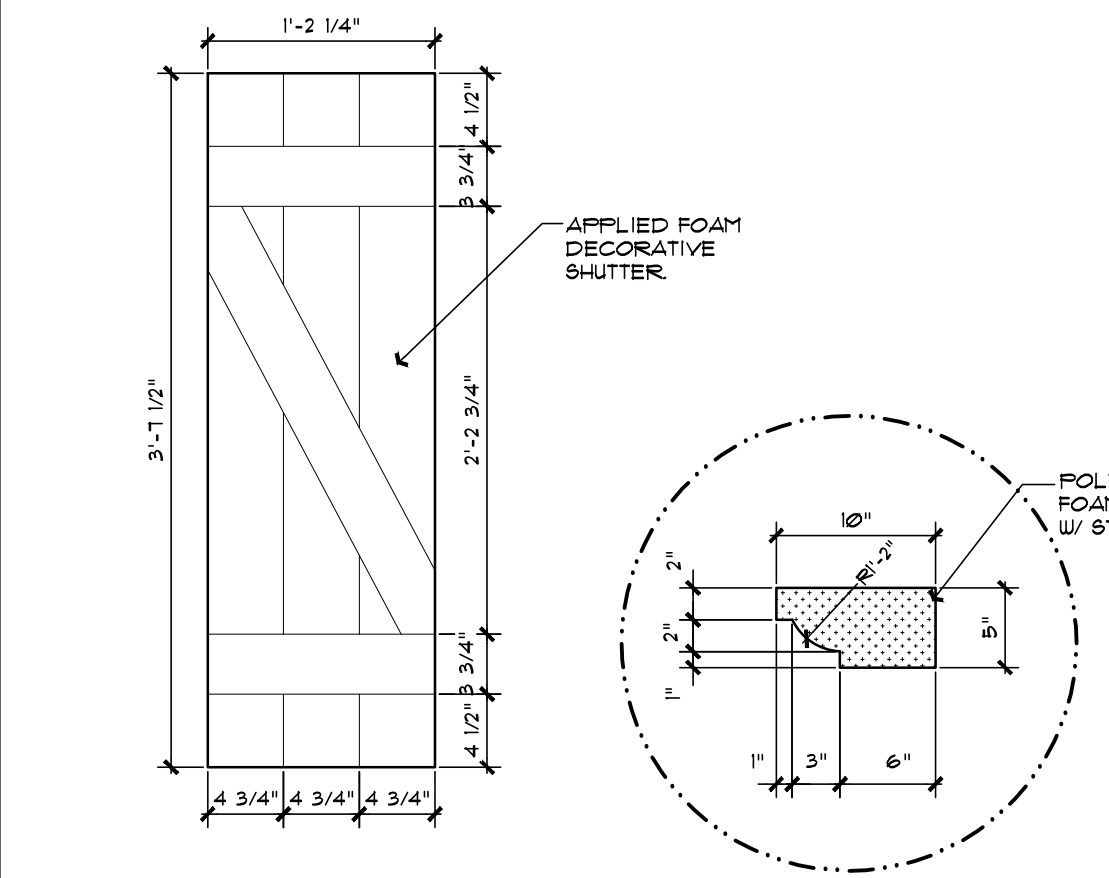
RIGHT SIDE ELEVATION NORTH ELEVATION

SCALE: 1/8" = 1'-0"

**SCHEME 1**

- ROOF SHINGLES:** GAF WEATHERED WOOD
- TRIM & COLUMNS:** PAPERWHITE SW7105
- BODY:** PEARL GRAY SW0552
- FAUX SIDING:** WHITE HYACINTH SW0046
- FRONT DOOR:** WHITE HYACINTH SW0046
- SHUTTERS:** SEASIDE WHITE SW7620
- FASCIA:** WHITE HYACINTH SW0046
- GARAGE DOOR:** WHITE HYACINTH SW0046
- ACCENT STONE:** BORAL CULTURED STONE - WINTER HAVEN PRO-FIT ALPINE EDGESTONE

**PARTIAL SITE PLAN**  
KEY PLAN



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5-UNIT ELEVATIONS  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

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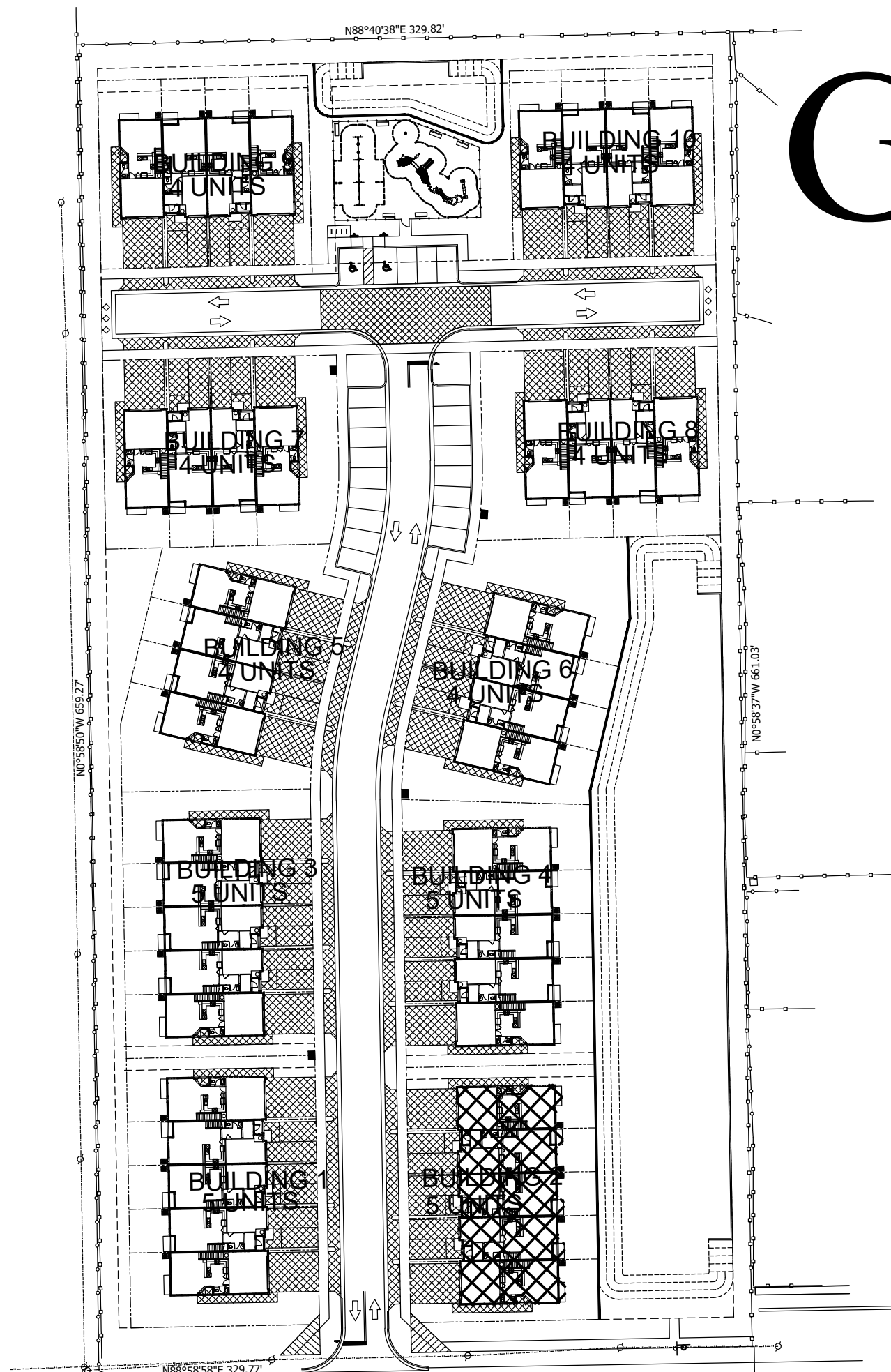
# 5 UNIT BUILDING 2

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN

### DRAWING INDEX

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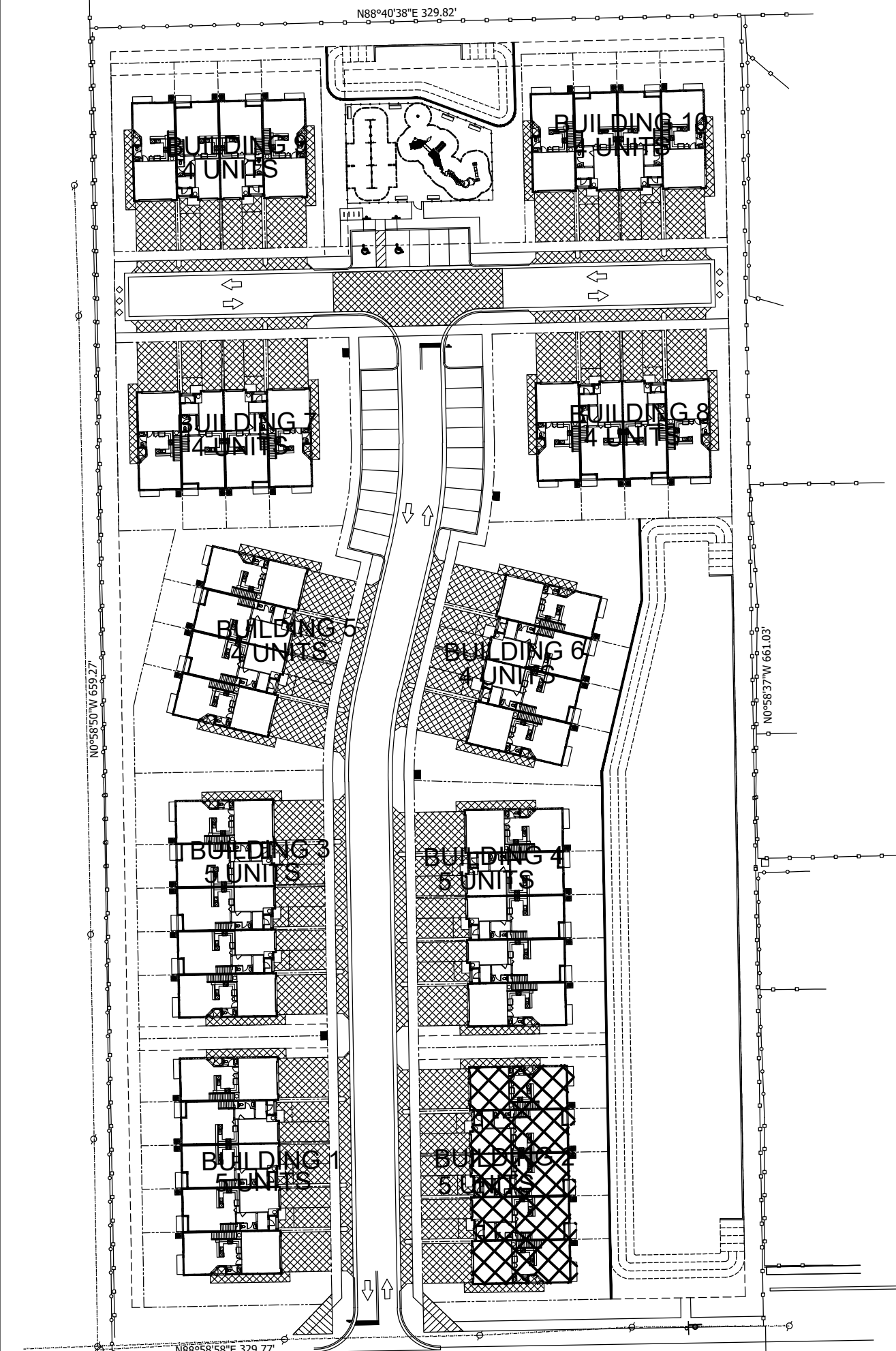
COVER SHEET

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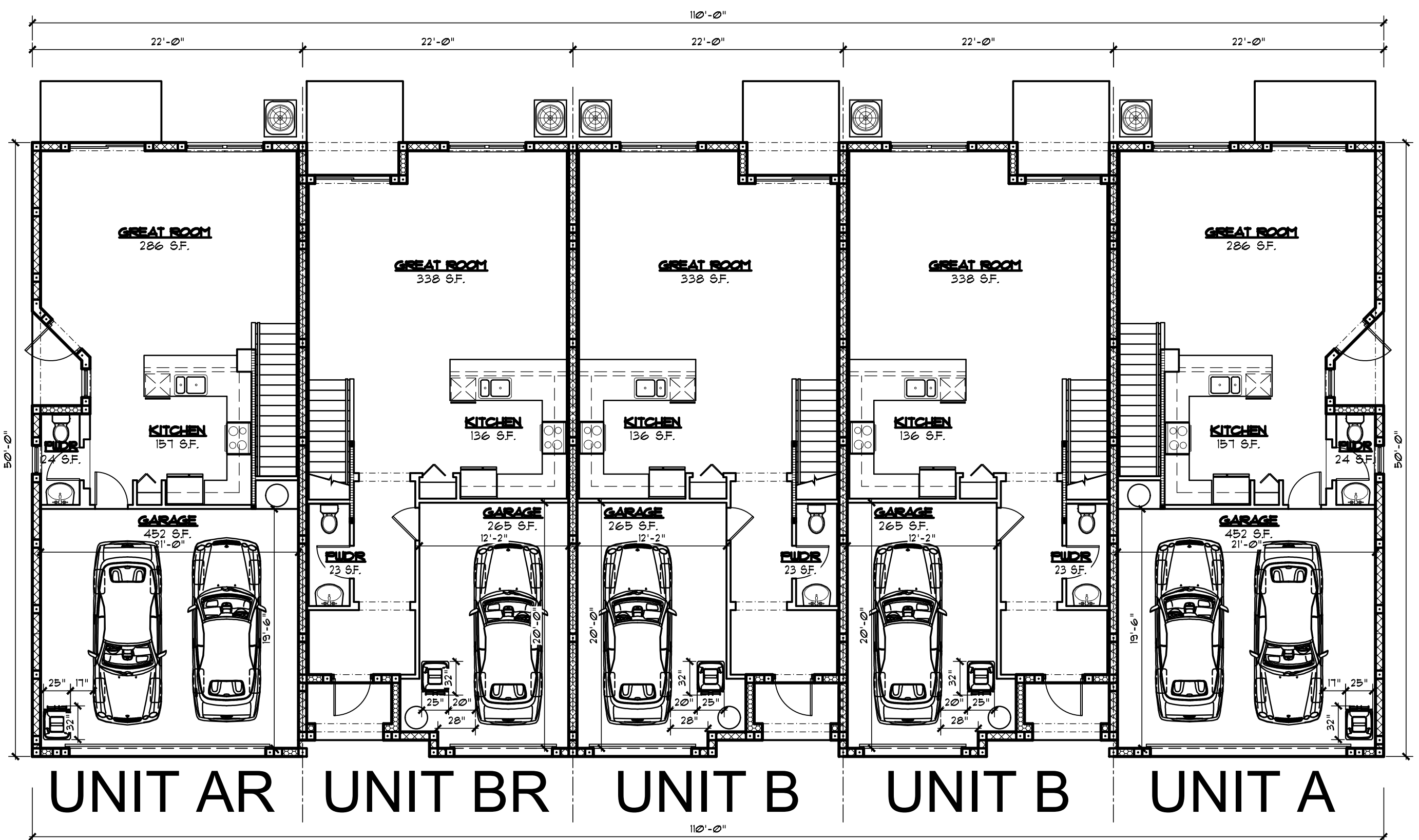
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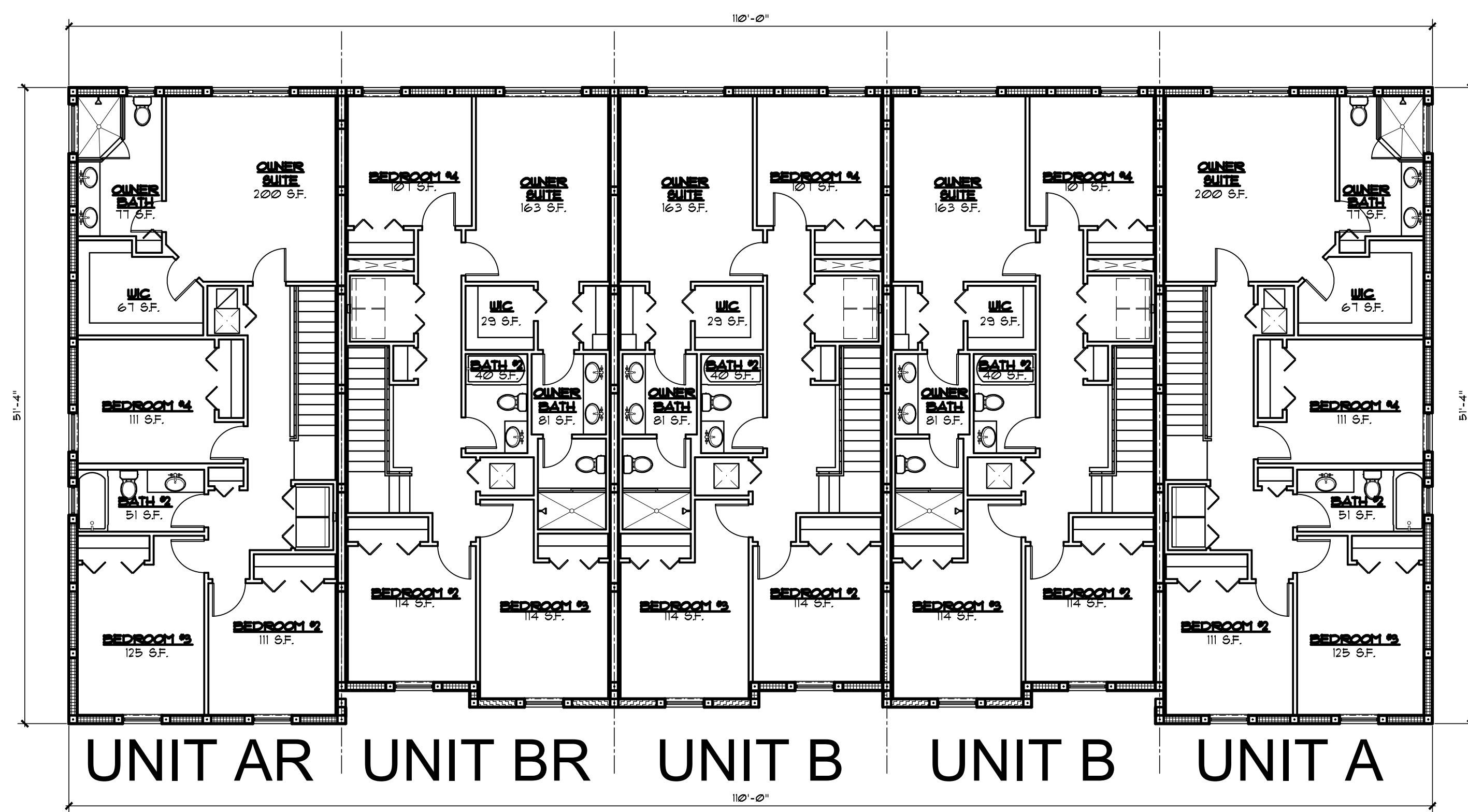
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**5-UNIT FIRST FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0" **N**



**5-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

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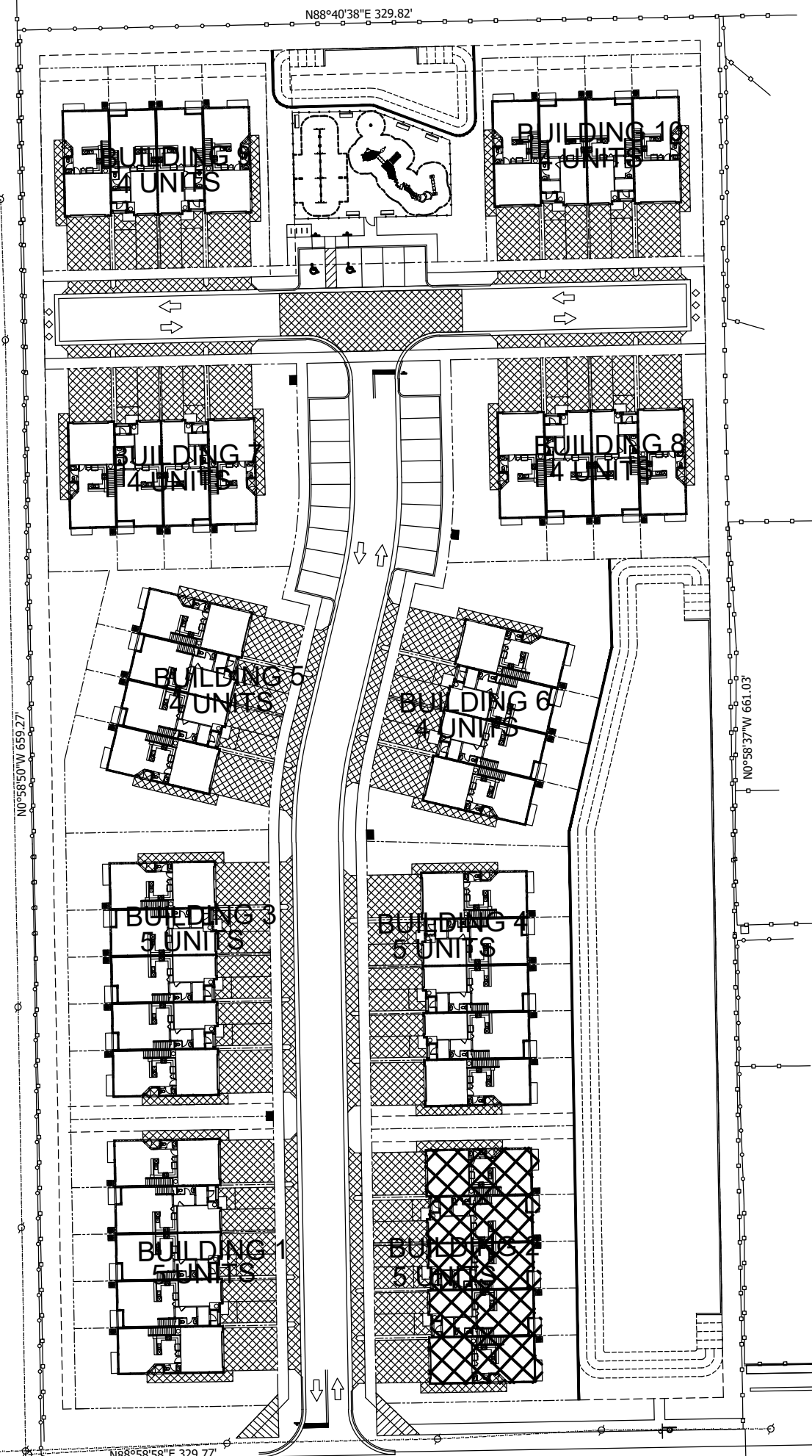
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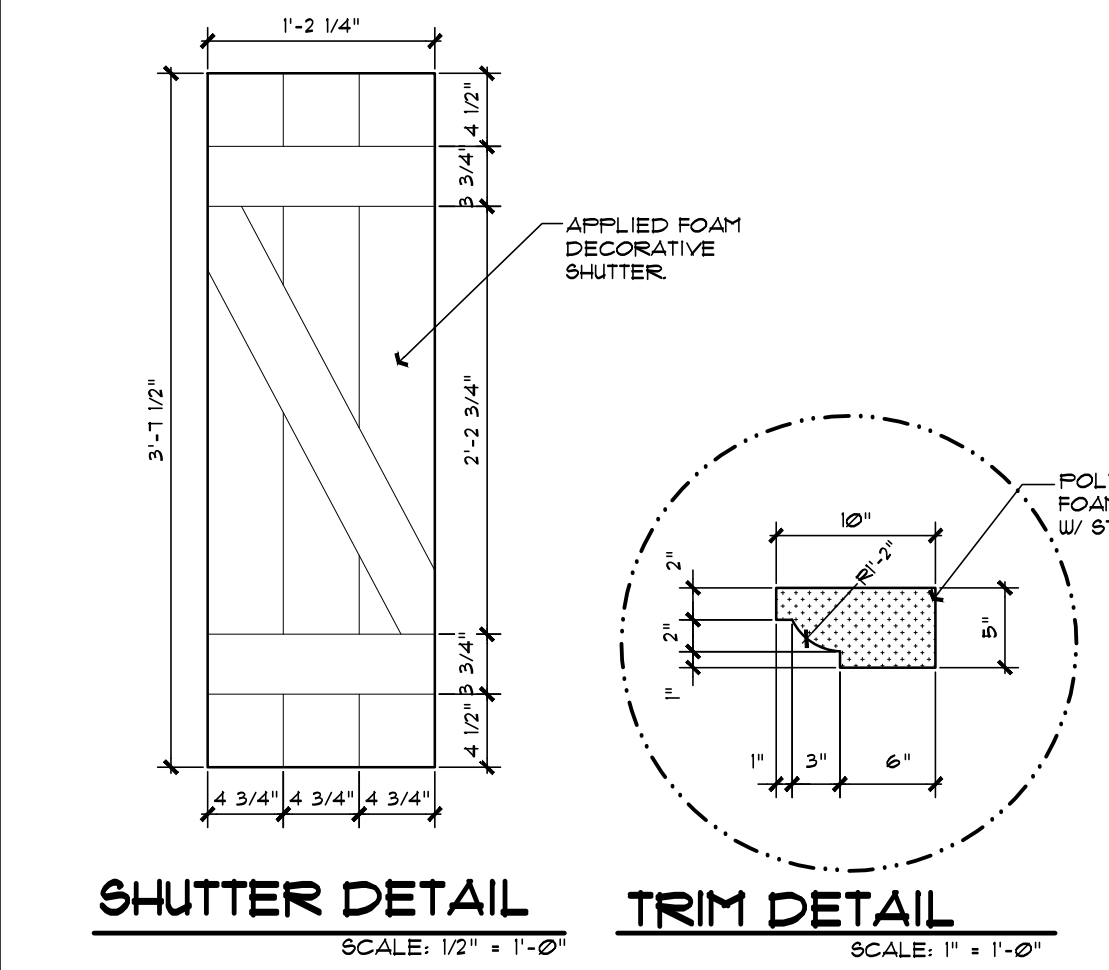
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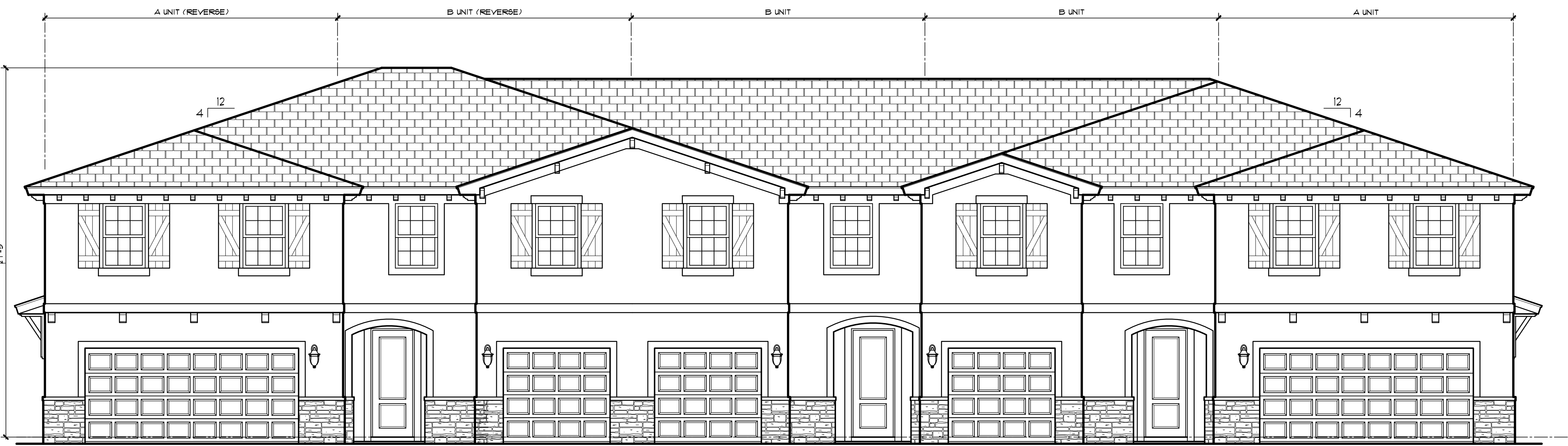
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**A1.0**  
5 of 18 Sheets



**PARTIAL SITE PLAN**  
KEY PLAN

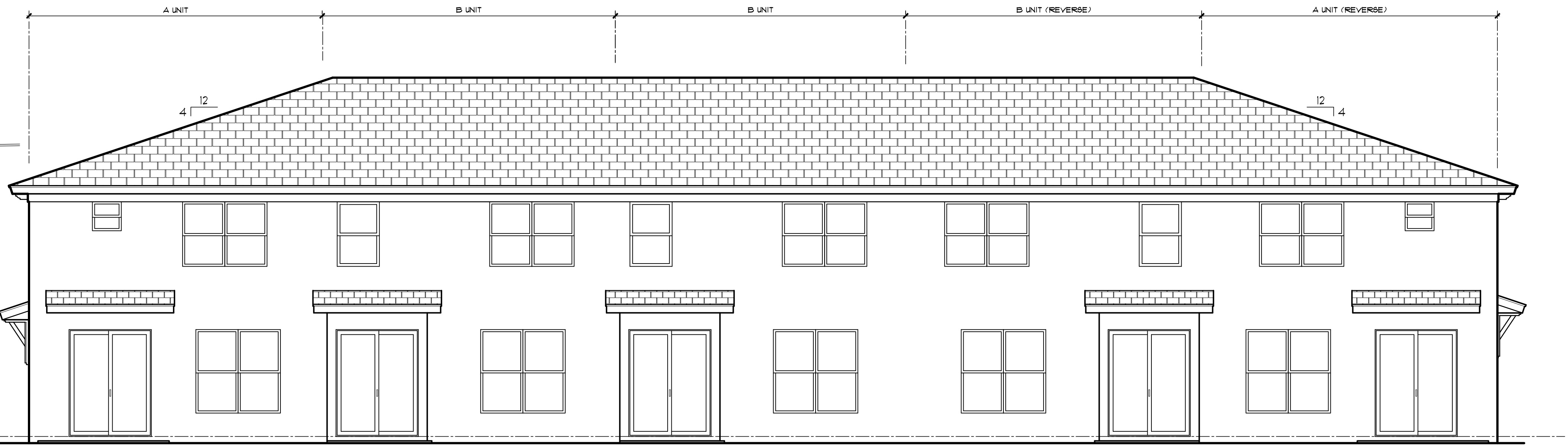


**SHUTTER DETAIL** SCALE: 1/2" = 1'-0"  
**TRIM DETAIL** SCALE: 1" = 1'-0"



**FRONT ELEVATION WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

**SCHEME 2**

<b>ROOF SHINGLES</b>		GAF WEATHERED WOOD
<b>TRIM &amp; COLUMNS</b>		ALABASTER SW7088
<b>BODY</b>		COMFORT GRAY SW6205
<b>FAUX SIDING</b>		ALABASTER SW7088
<b>FRONT DOOR</b>		HICKWOOD RED SW2862
<b>SHUTTERS</b>		REGATTA SW6517
<b>FASCIA</b>		ALABASTER SW7088
<b>GARAGE DOOR</b>		ALABASTER SW7088
<b>ACCENT STONE</b>		BORAL CULTURED STONE-WINTER HAVEN PRO-FIT ALPINE EGGSTONE

Rev	Date	Document History

**5-UNIT ELEVATIONS**

**LENNAR®**

Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

**CDN**  
ENGINEERING INC.

Casey Najjar P.E.  
3200 N. Federal Hwy | Suite 226  
Boca Raton, Florida 33431  
Office: 561.362.0237  
www.cdneng.com  
PE # 87108 • CA # 34513

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**Document Information**

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Checked	JHL

Sheet #

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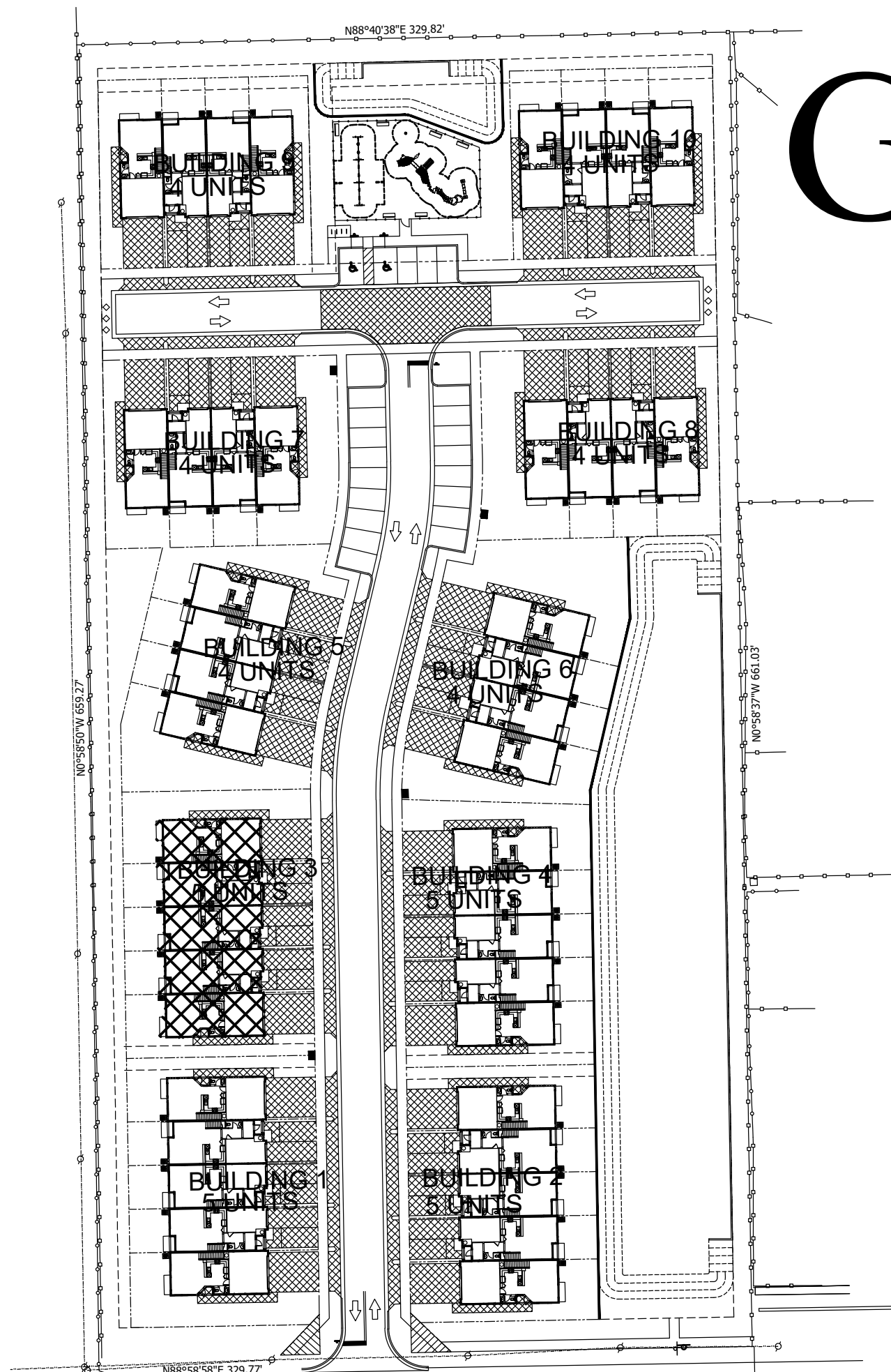
# 5 UNIT BUILDING 3

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN



### DRAWING INDEX

- CS - COVER SHEET
- A1.0 - UNIT MIX PLAN
- A2.0 - UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

CODE EDITION:  
 FLORIDA BUILDING CODE 8th EDITION (2023)  
 THE 8TH EDITION OF THE FLORIDA RESIDENTIAL BUILDING CODE  
 THE NATIONAL ELECTRICAL CODE, NFPA 70-20  
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 FOR THE DESIGN OF MASONRY STRUCTURES.  
 WIND LOAD PROVISIONS OF ASCE 7-22  
 NFPA FLORIDA FIRE PREVENTION CODE 8TH EDITION

ASCE 7-22 | EXPOSURE CONDITION INDICATE C  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
 (DETERMINED BY BUILDING USE/ OCCUPANCY,  
 REFER TO ASCE 7-22 TABLE 15-1)

INTERNAL PRESSURE COEFFICIENT:  
+1.0 (ENCLOSED BUILDING)

BASIC WIND VELOCITY PRESSURES:  
 APPROPRIATE POSITIVE / NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN  
 APPLIED TO MAIN WIND FORCE RESISTING SYSTEM AND BUILDING ENVELOPE  
 COMPONENTS AND CLADDING AS APPLICABLE.

WIND SPEED 110 (3 SEC. GUST) BASIC VELOCITY PRESSURE 25.41 PSF

ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
 FLOOR TRUSS LIVE LOAD 40 PSF FOR TOP CHORD  
 FLOOR TRUSS DEAD LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

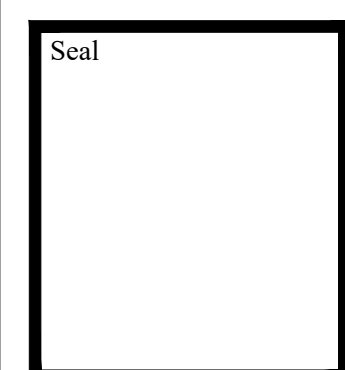
Rev	Date	Document History

**LENNAR**

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #s:

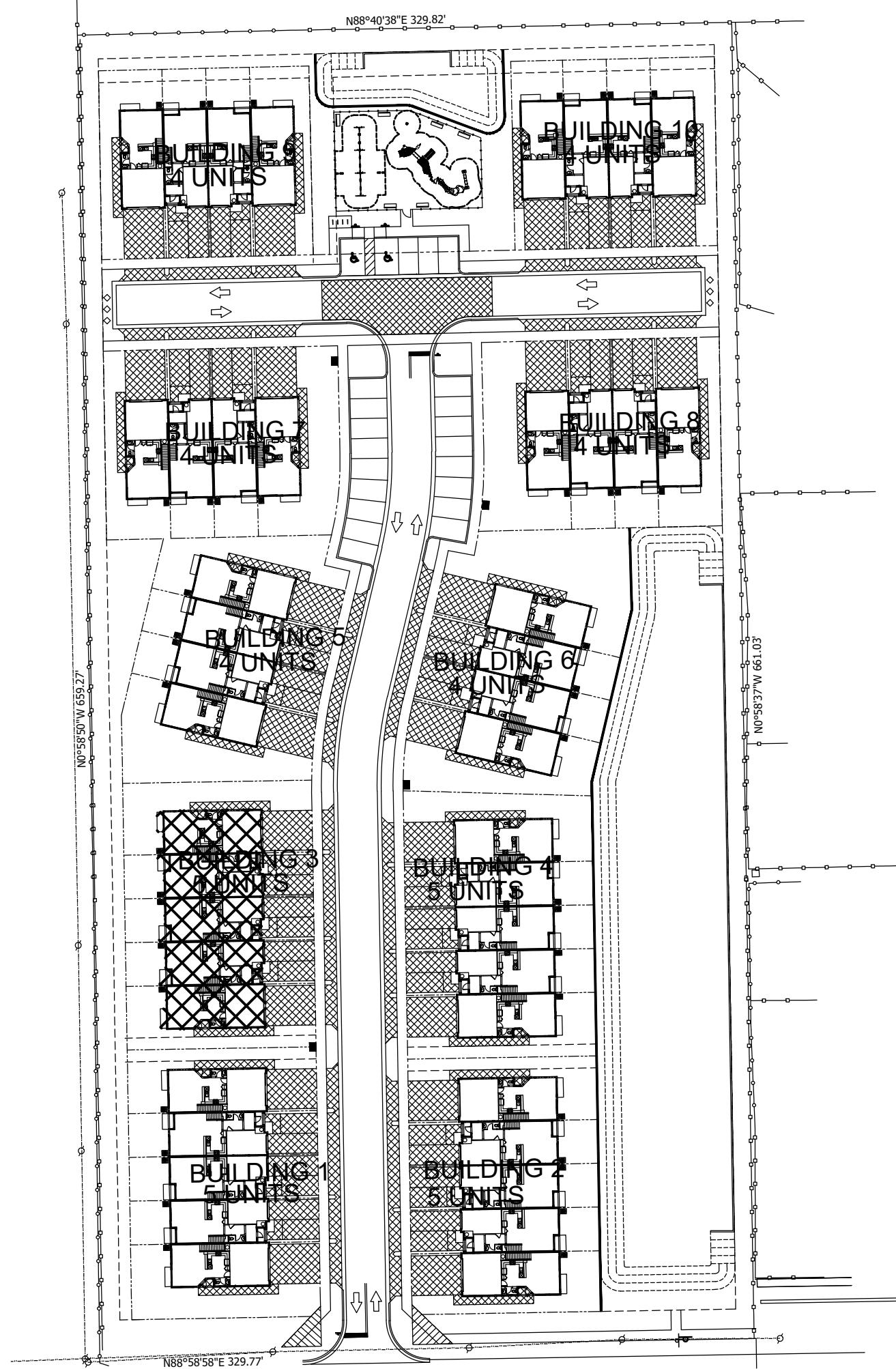
COVER SHEET

**CDN**  
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 Boca Raton, Florida 33431  
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 Project #: Garden Square  
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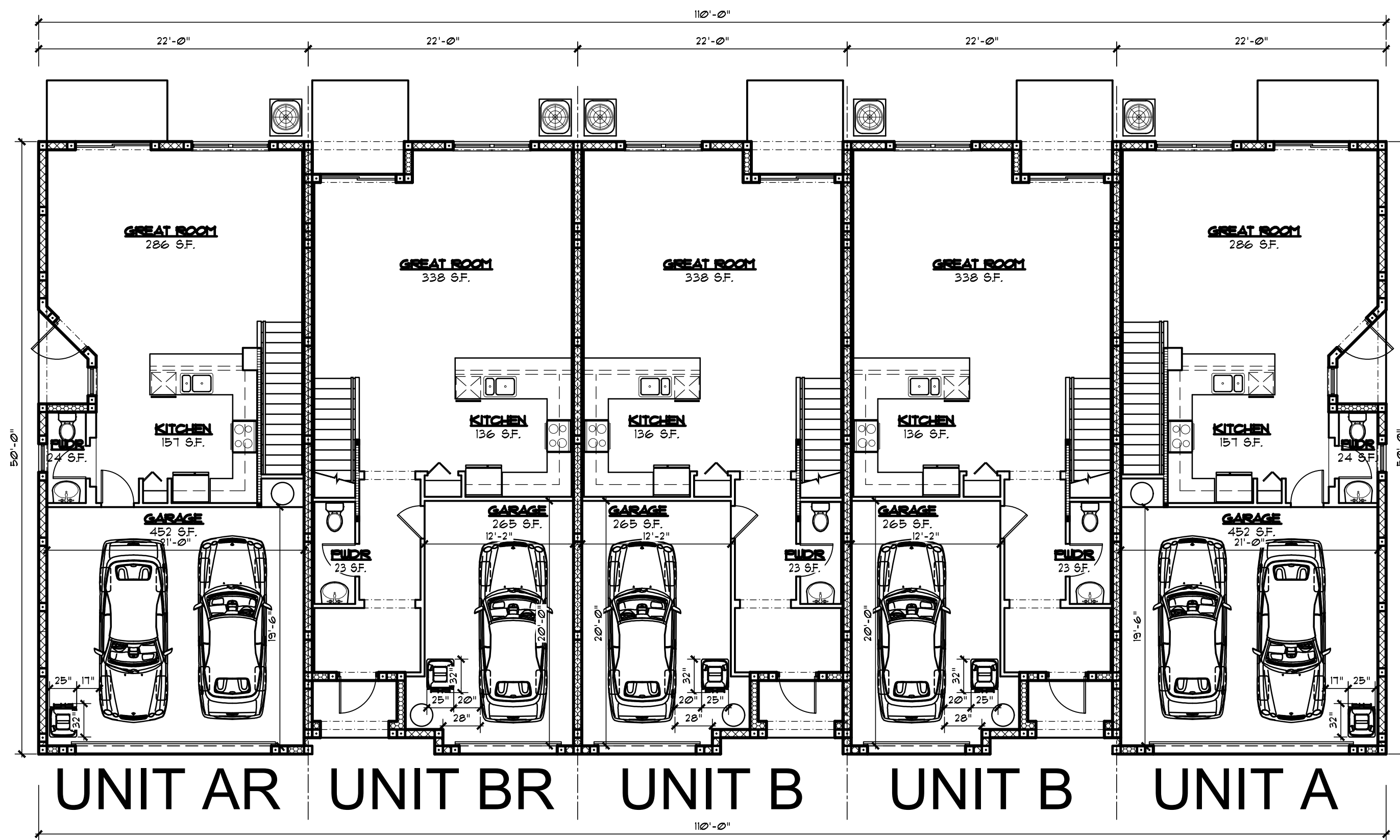
**PARTIAL SITE PLAN**  
KEY PLAN

**AREA CALCULATIONS  
UNITS A / AR**

1st FLOOR LIVING:	625 S.F.
2nd FLOOR LIVING:	1129 S.F.
TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

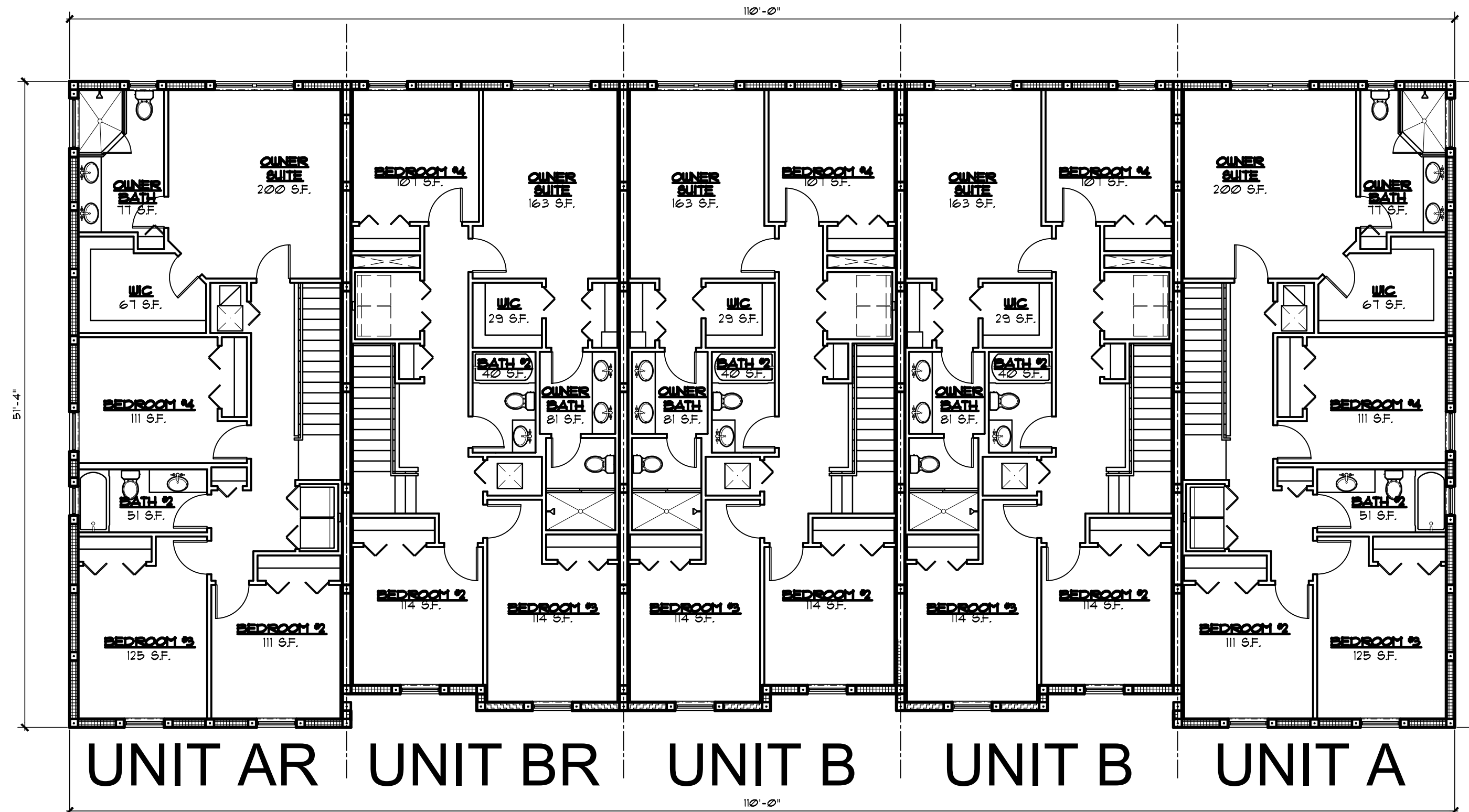
**AREA CALCULATIONS  
UNITS B / BR**

1st FLOOR LIVING:	163 S.F.
2nd FLOOR LIVING:	1026 S.F.
TOTAL LIVING:	1189 S.F.
GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2110 S.F.



**5-UNIT FIRST FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"



**5-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Int	
Rev	Date

**LENNAR**

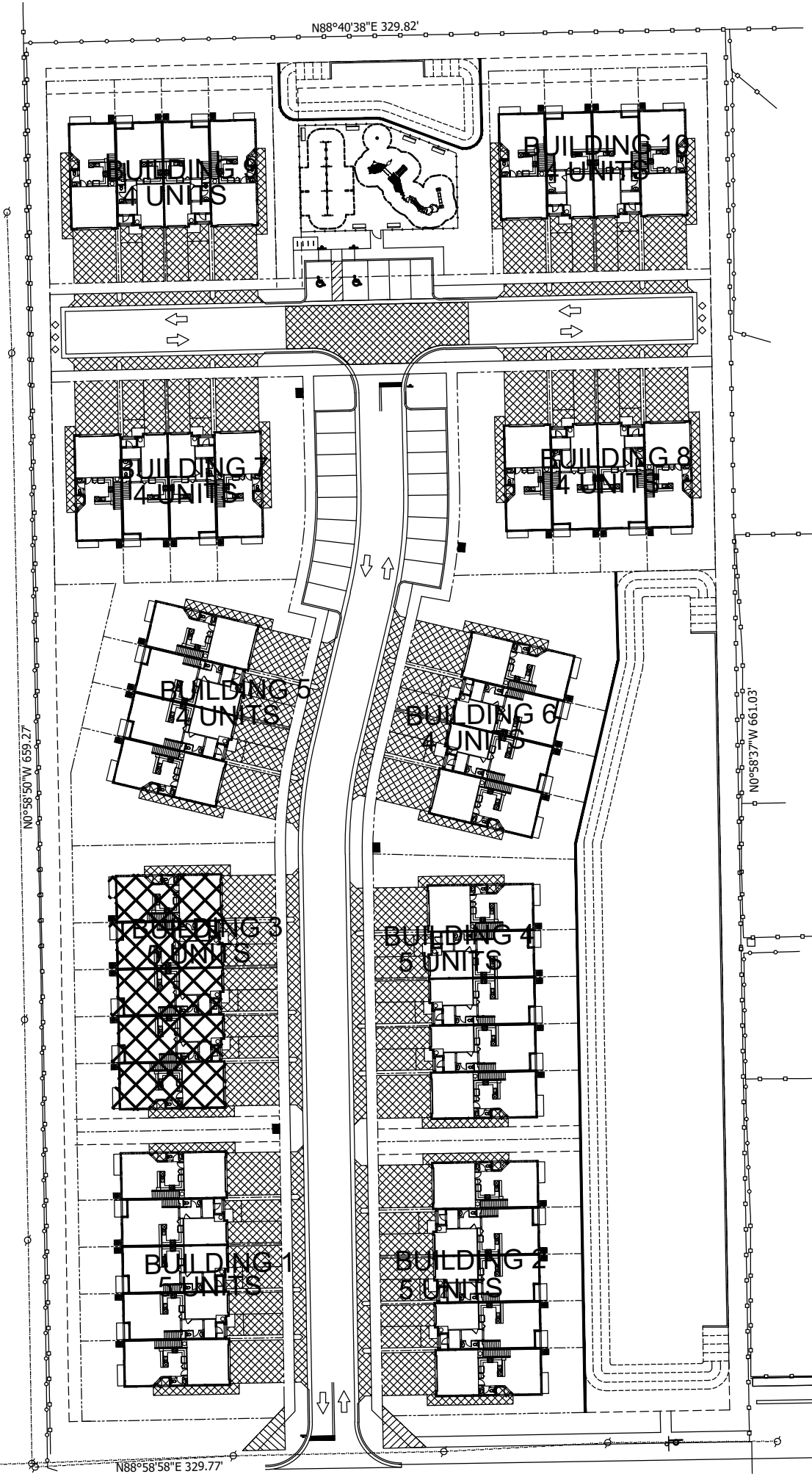
5-UNIT MIX PLAN  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

**CDN**  
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3200 N. Federal Hwy., Suite 226  
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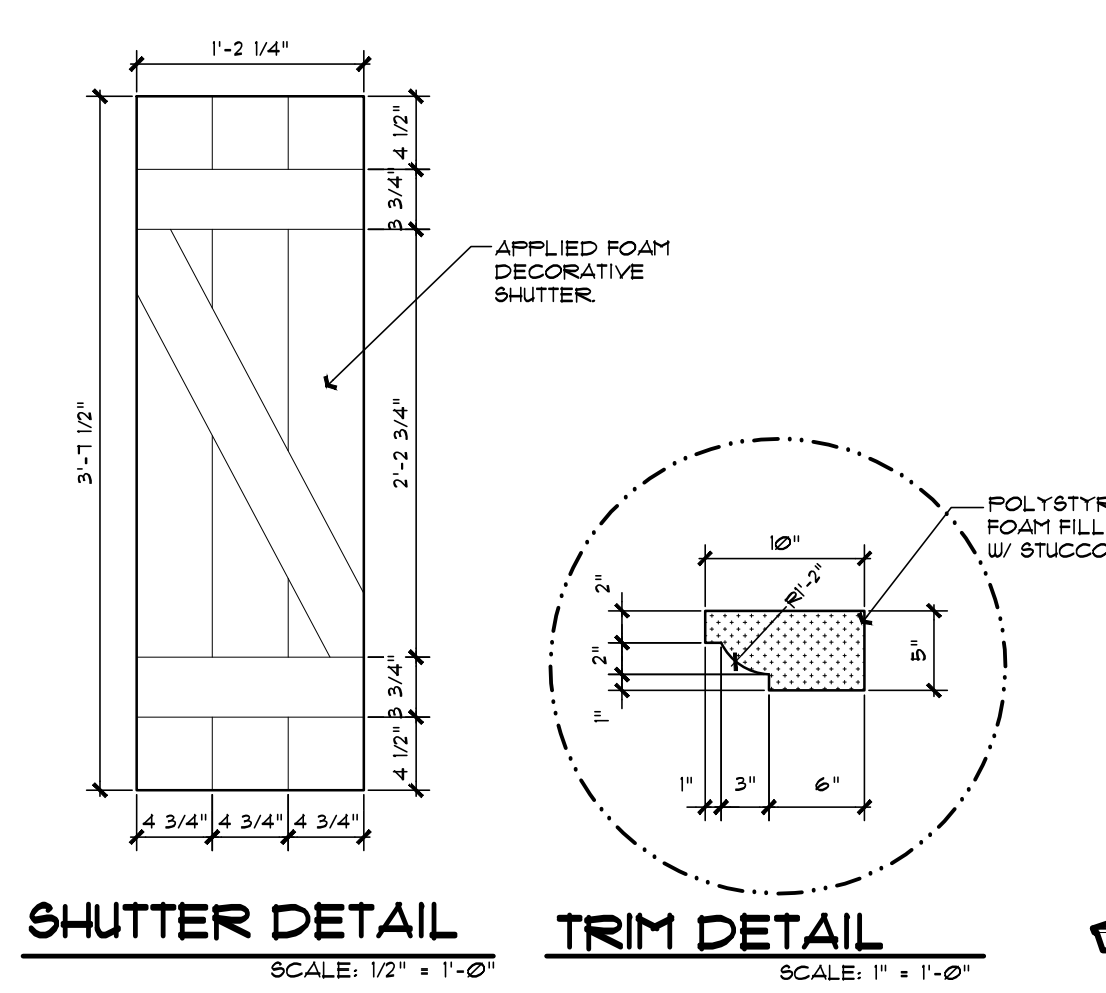
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Project #: Garden Square  
Date: 01/25/2024  
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PARTIAL SITE PLAN  
KEY PLAN

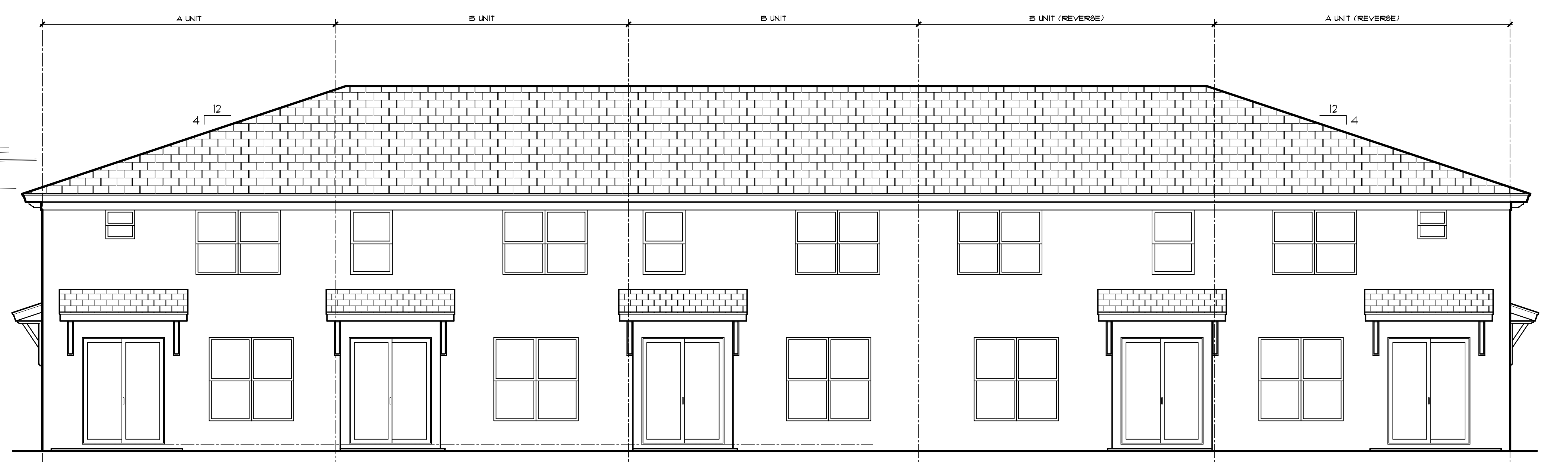


SHUTTER DETAIL SCALE: 1/2" = 1'-0"  
TRIM DETAIL SCALE: 1" = 1'-0"



FRONT ELEVATION EAST ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION WEST ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SCHEME 3	
ROOF SHINGLES	GAZ WEATHERED WOOD
TRIM & COLUMNS	COTTON WHITE SW7304
BODY	COTTON WHITE SW7304
FAUX SIDING	COTTON WHITE SW7304
FRONT DOOR	BLACK MAGIC SW6991
SHUTTERS	BLACK MAGIC SW6991
FASCIA	COTTON WHITE SW7304
GARAGE DOOR	COTTON WHITE SW7304
ACCENT STONE	BORAL CULTURED STONE - WINTER HAVEN PRO-FIT ALPINE EDGESTONE

Rev	Date	Document History

**LENNAR**  
5-UNIT ELEVATIONS  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

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PE # 87108 • CA # 34513

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Date: 01/25/2024
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Checked: JHL

Sheet #
<b>A2.0</b>
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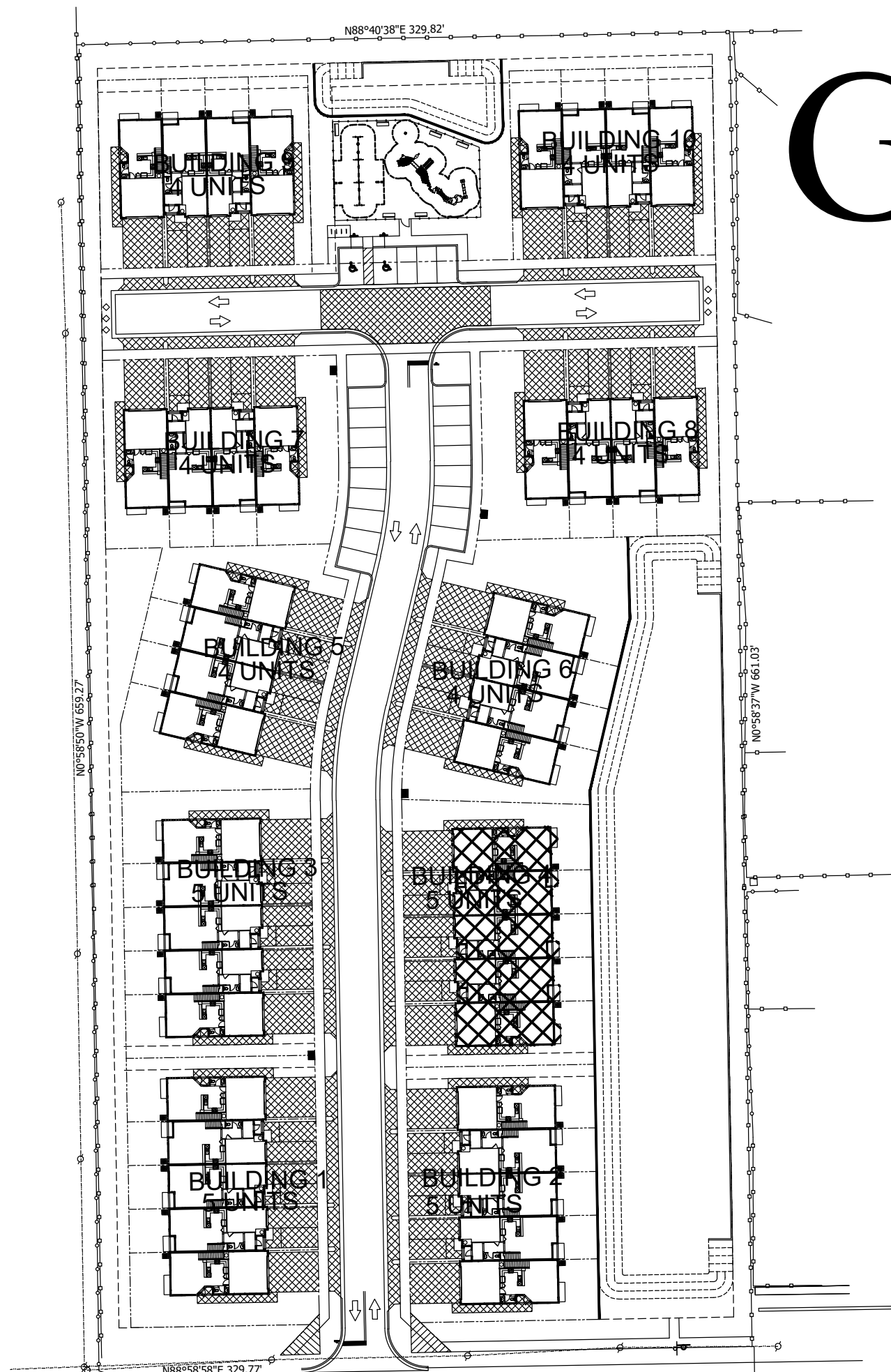
# 5 UNIT BUILDING 4

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN

DRAWING INDEX	
CS	- COVER SHEET
A1.0	- UNIT MIX PLAN
A2.0	- UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

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 NFPA FLORIDA FIRE PREVENTION CODE 8TH EDITION

ASCE 7-22 | EXPOSURE CONDITION INDICATE C  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
 (DETERMINED BY BUILDING USE/ OCCUPANCY,  
 REFER TO ASCE 7-22 TABLE 15-1)

INTERNAL PRESSURE COEFFICIENT:  
+1.0 (ENCLOSED BUILDING)

BASIC WIND VELOCITY PRESSURES:  
 APPROPRIATE POSITIVE / NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN  
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 COMPONENTS AND CLADDING AS APPLICABLE.

WIND SPEED 110 (3 SEC. GUST) BASIC VELOCITY PRESSURE 25.41 PSF

ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
 FLOOR TRUSS LIVE LOAD 40 PSF FOR TOP CHORD  
 FLOOR TRUSS DEAD LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

Rev	Date	Document History

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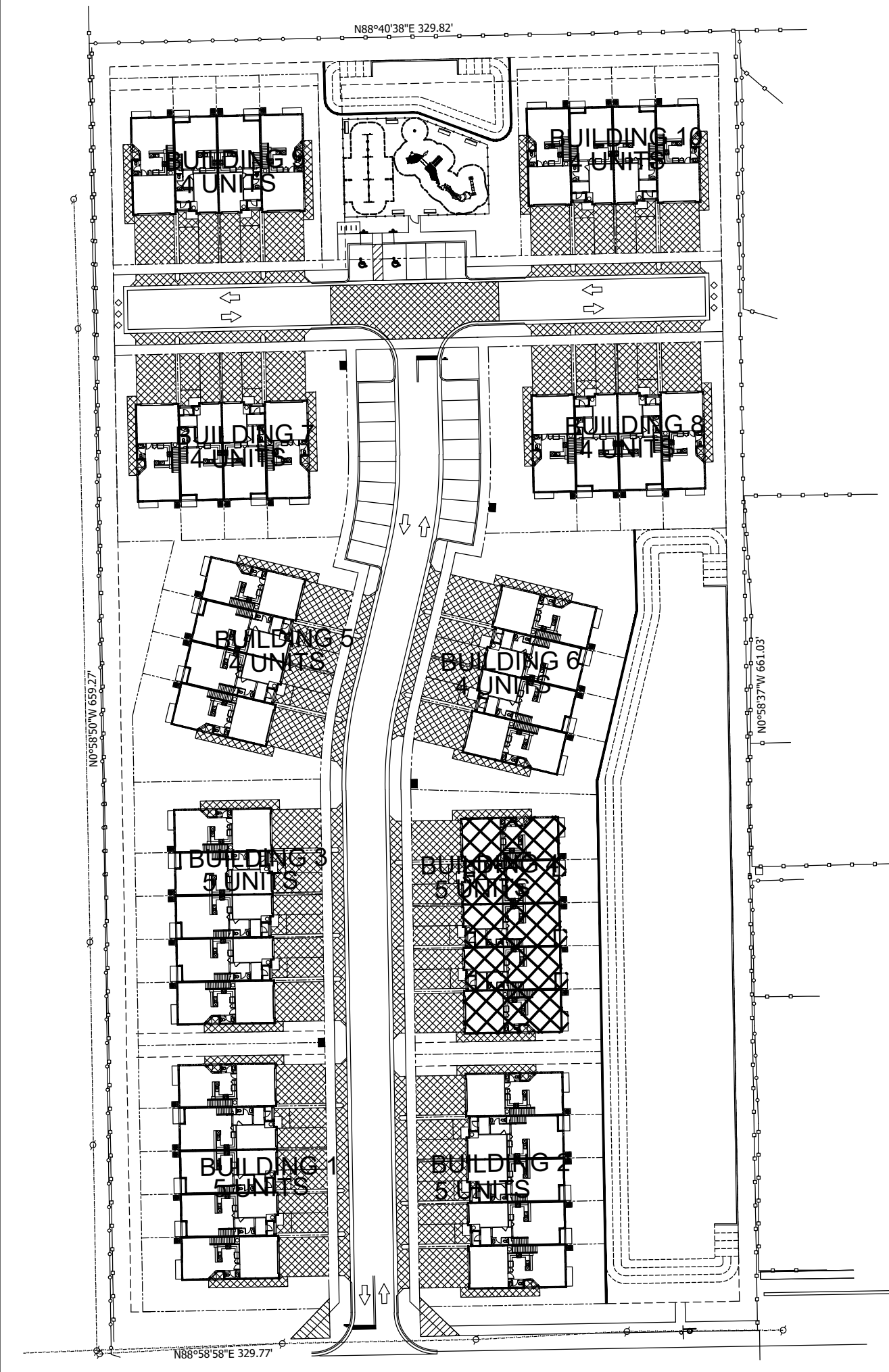
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 Plan A = 1752 | Plan B = 1814  
 Lot #s:

**CDN**  
 ENGINEERING INC.  
 Casey Najjar P.E.  
 3200 N. Federal Hwy, Suite 226  
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Sheet #  
**CS**  
 1 of 18 Sheets



**PARTIAL SITE PLAN**  
KEY PLAN

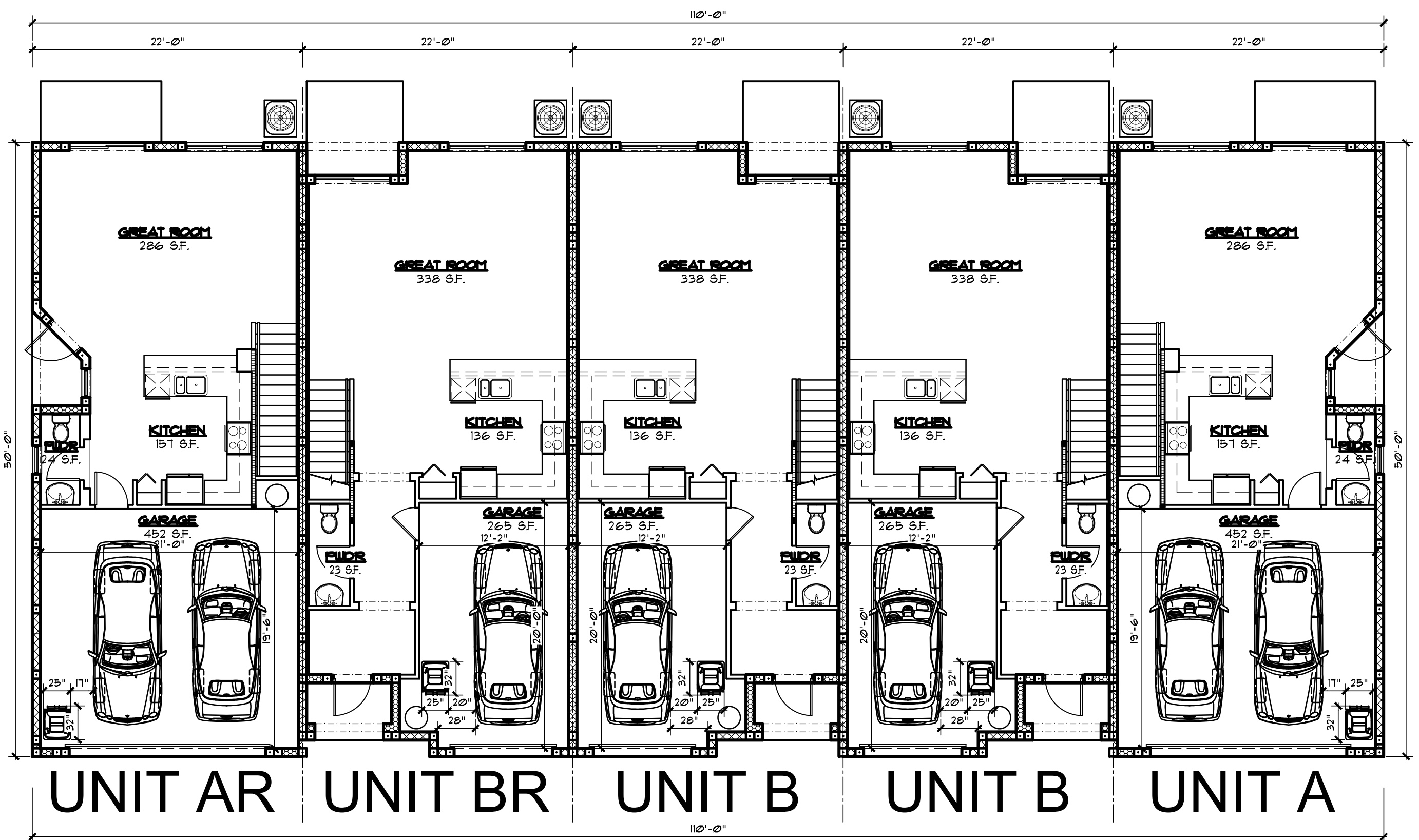


**AREA CALCULATIONS  
UNITS A / AR**

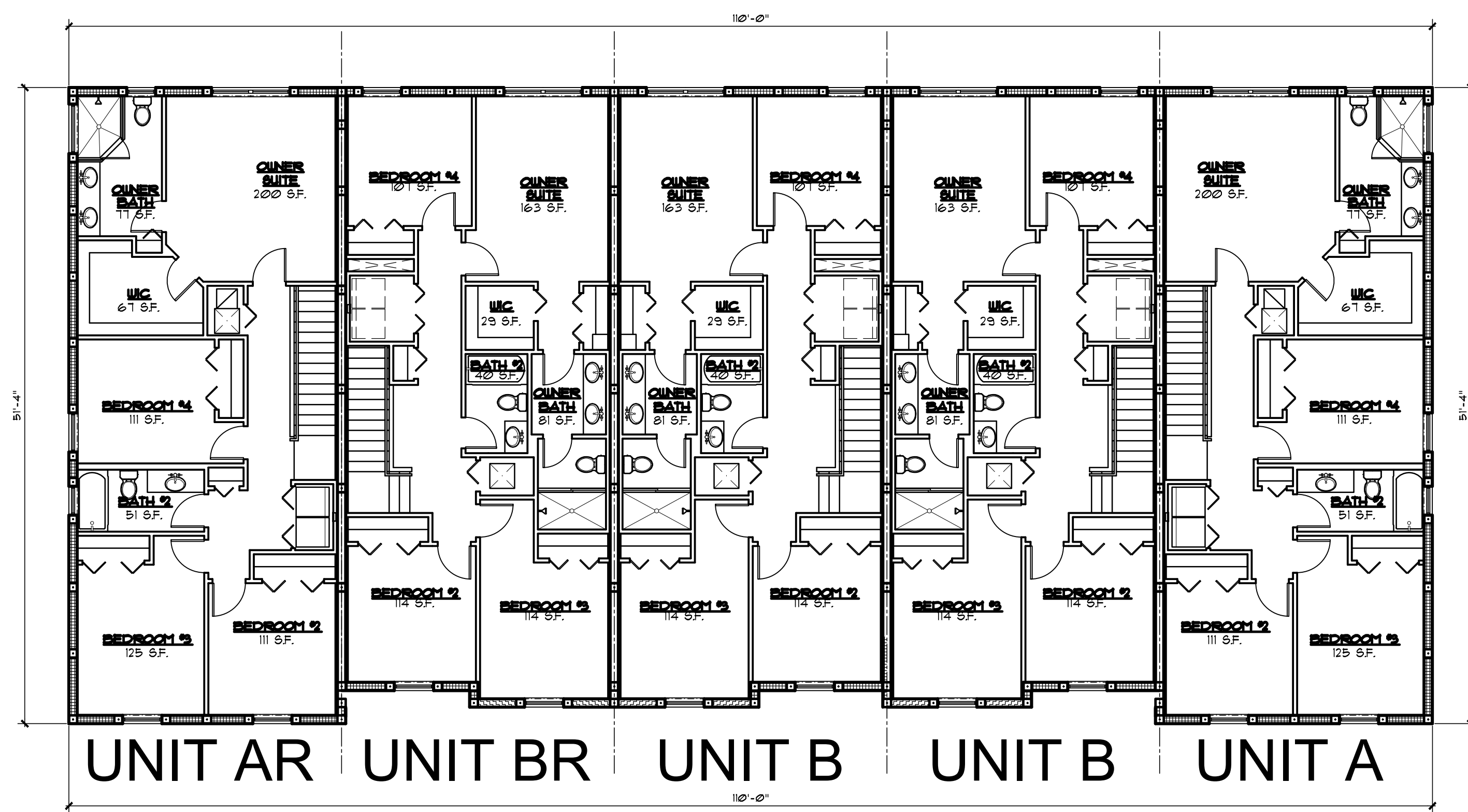
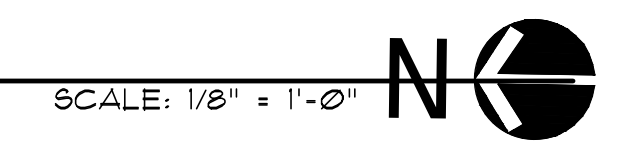
1st FLOOR LIVING:	625 S.F.
2nd FLOOR LIVING:	1129 S.F.
TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

**AREA CALCULATIONS  
UNITS B / BR**

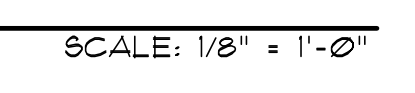
1st FLOOR LIVING:	763 S.F.
2nd FLOOR LIVING:	1006 S.F.
TOTAL LIVING:	1849 S.F.
GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2170 S.F.



**5-UNIT FIRST FLOOR MIX PLAN**



**5-UNIT SECOND FLOOR MIX PLAN**

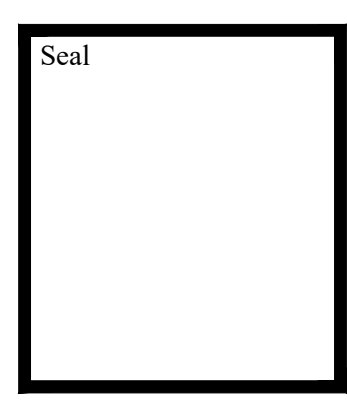


Rev	Date	Document History

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**5-UNIT MIX PLAN**  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

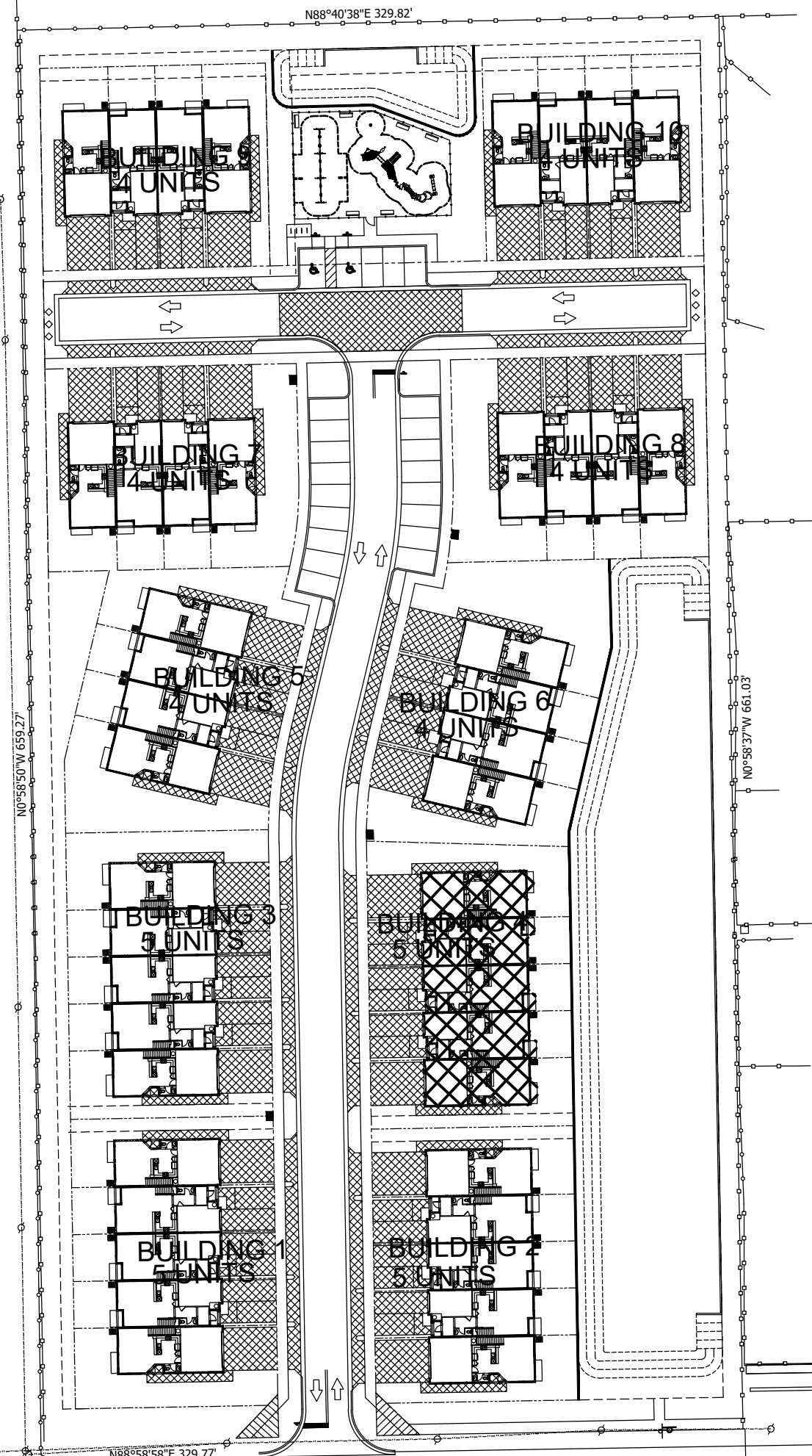
**CDN**  
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Casey Najjar P.E.  
3200 N. Federal Hwy | Suite 226  
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Office: 561.362.0237  
www.cdneng.com  
PE # 87106 • CA # 34513



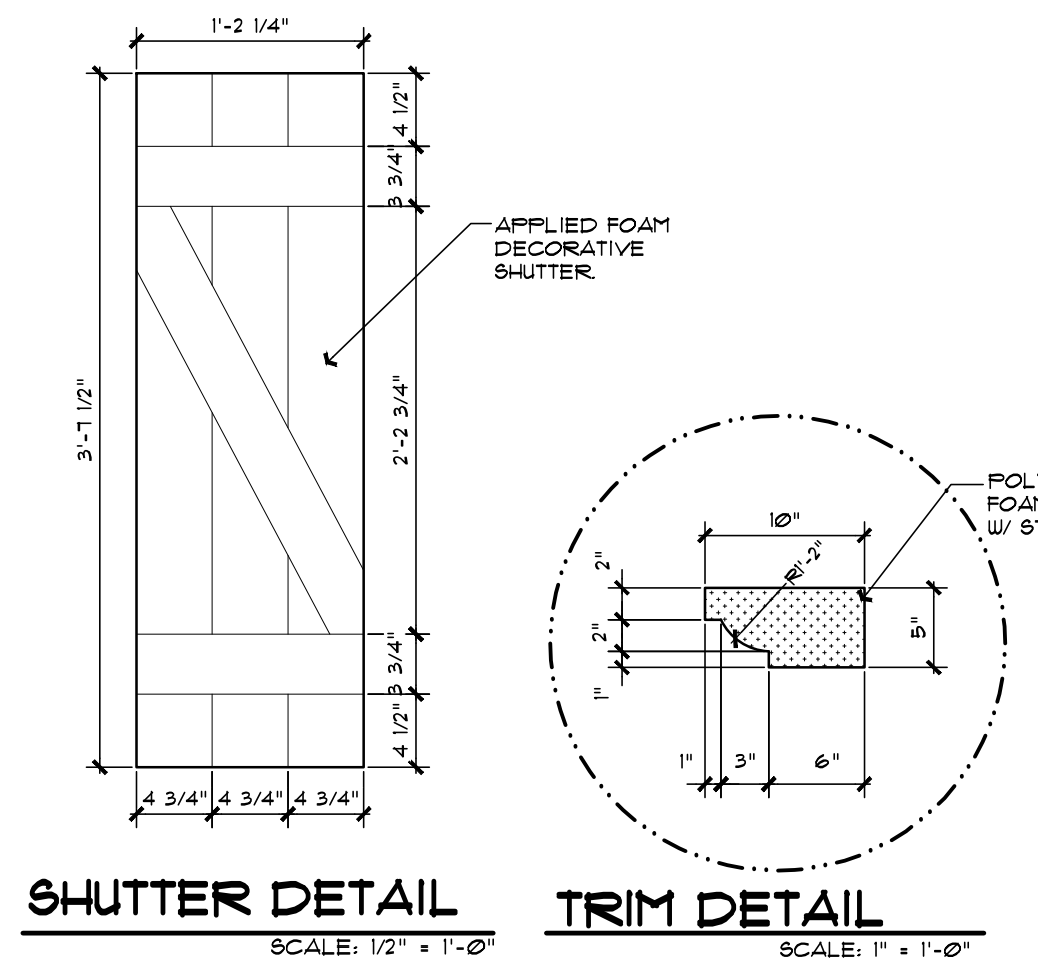
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Date: 01/25/2024  
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**A1.0**  
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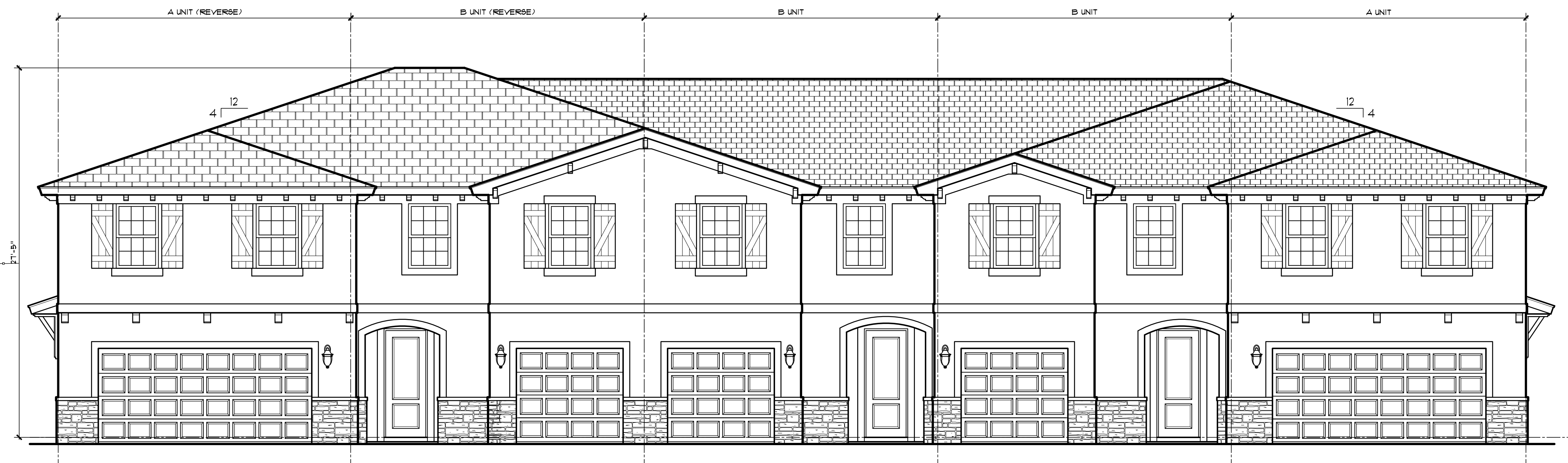




**PARTIAL SITE PLAN**  
KEY PLAN

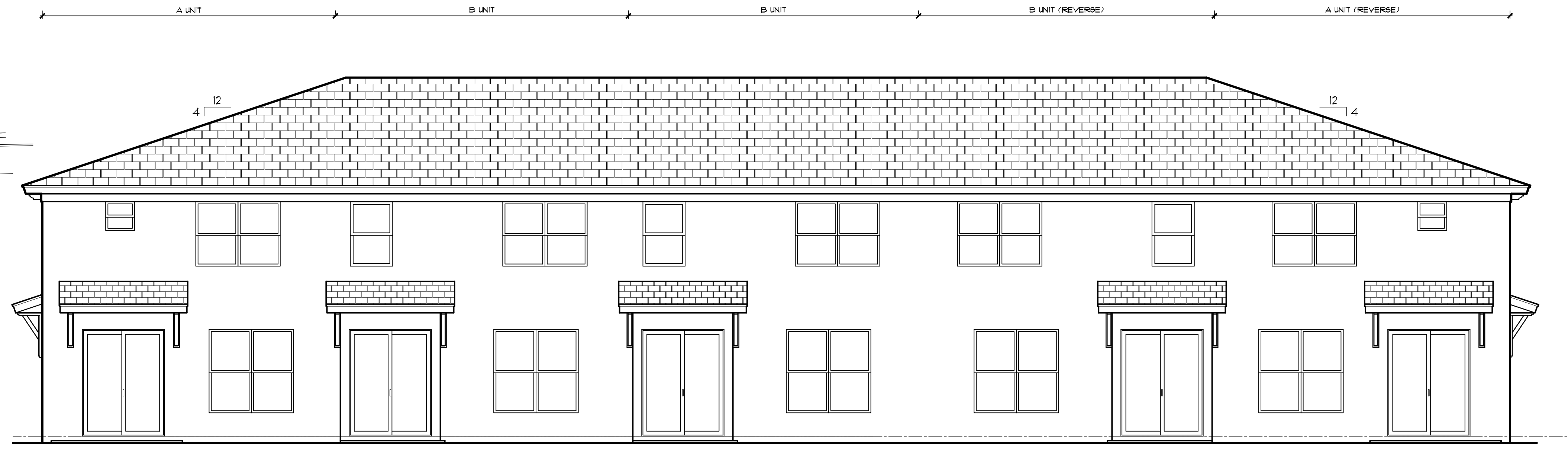


**SHUTTER DETAIL** SCALE: 1/2" = 1'-0"  
**TRIM DETAIL** SCALE: 1" = 1'-0"



**FRONT ELEVATION WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

**SCHEME 1**

- ROOF SHINGLES:** GRAY WEATHERED WOOD
- TRIM & COLUMNS:** PAPERWHITE SW7105
- BODY:** PEARL GRAY SW0052
- FAUX SIDING:** WHITE HYACINTH SW0046
- FRONT DOOR:** WHITE HYACINTH SW0046
- SHUTTERS:** SEAWORTHY SW0029
- FASCIA:** WHITE HYACINTH SW0046
- GARAGE DOOR:** WHITE HYACINTH SW0046
- ACCENT STONE:** BORAL CULTURED STONE-WINTER HAVEN PRO-FIT ALPINE EDGESTONE

Rev	Date	Document History

**LENNAR**

5-UNIT ELEVATIONS  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

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Project #: Garden Square  
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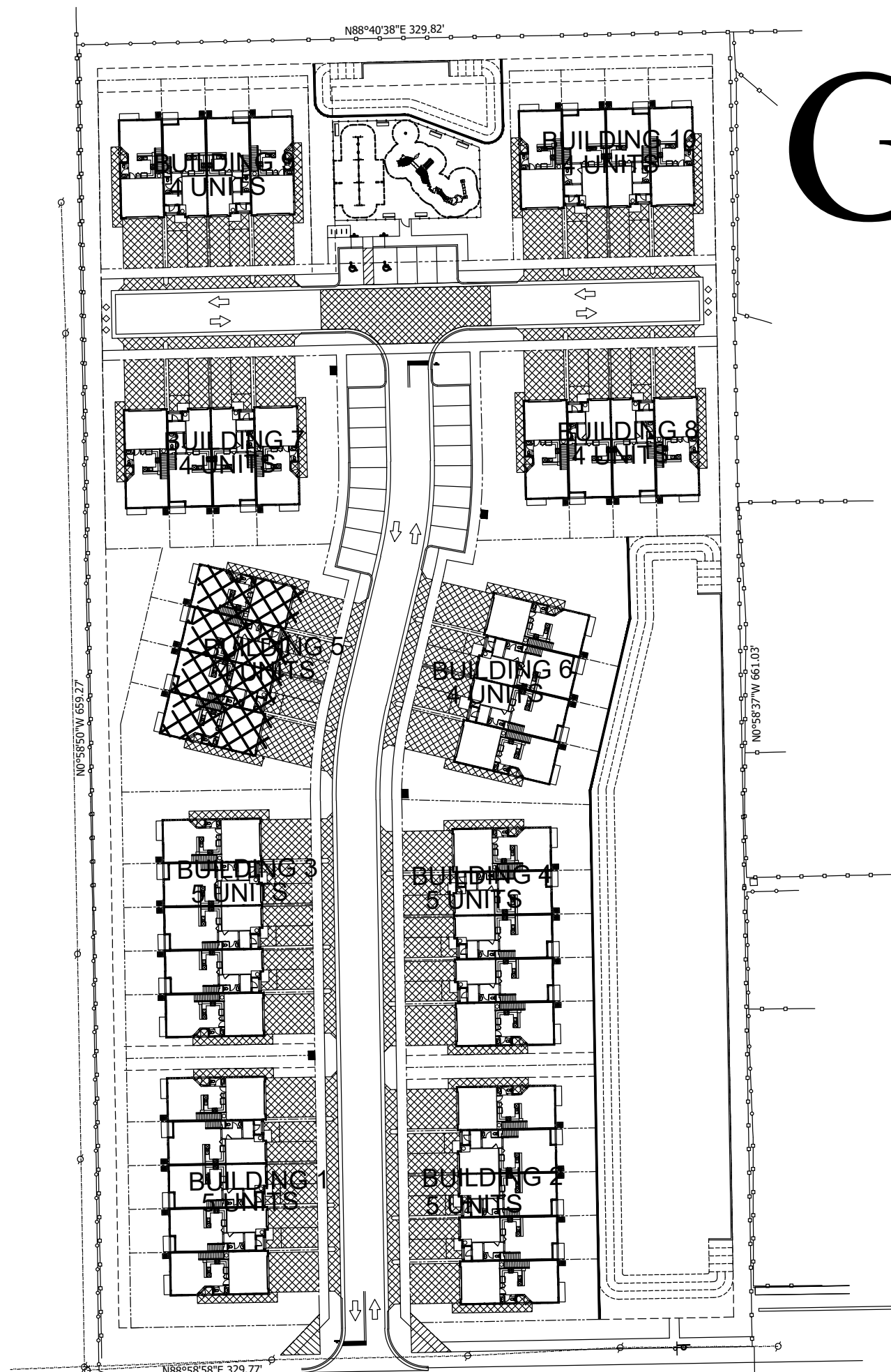
# 4 UNIT BUILDING 5

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN



### DRAWING INDEX

- CS - COVER SHEET
- A1.0 - UNIT MIX PLAN
- A2.0 - UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

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 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
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+1.0 (ENCLOSED BUILDING)

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 COMPONENTS AND CLADDING AS APPLICABLE.

WIND SPEED 110 (3 SEC. GUST) BASIC VELOCITY PRESSURE 25.41 PSF

ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
 FLOOR TRUSS LIVE LOAD 40 PSF FOR TOP CHORD  
 FLOOR TRUSS DEAD LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

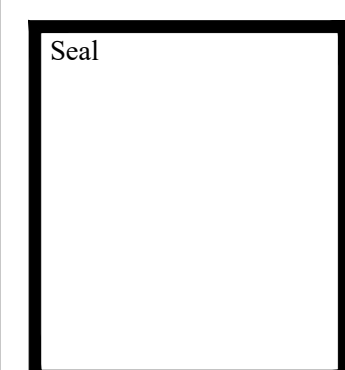
Rev	Date	Document History

**LENNAR**

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #5

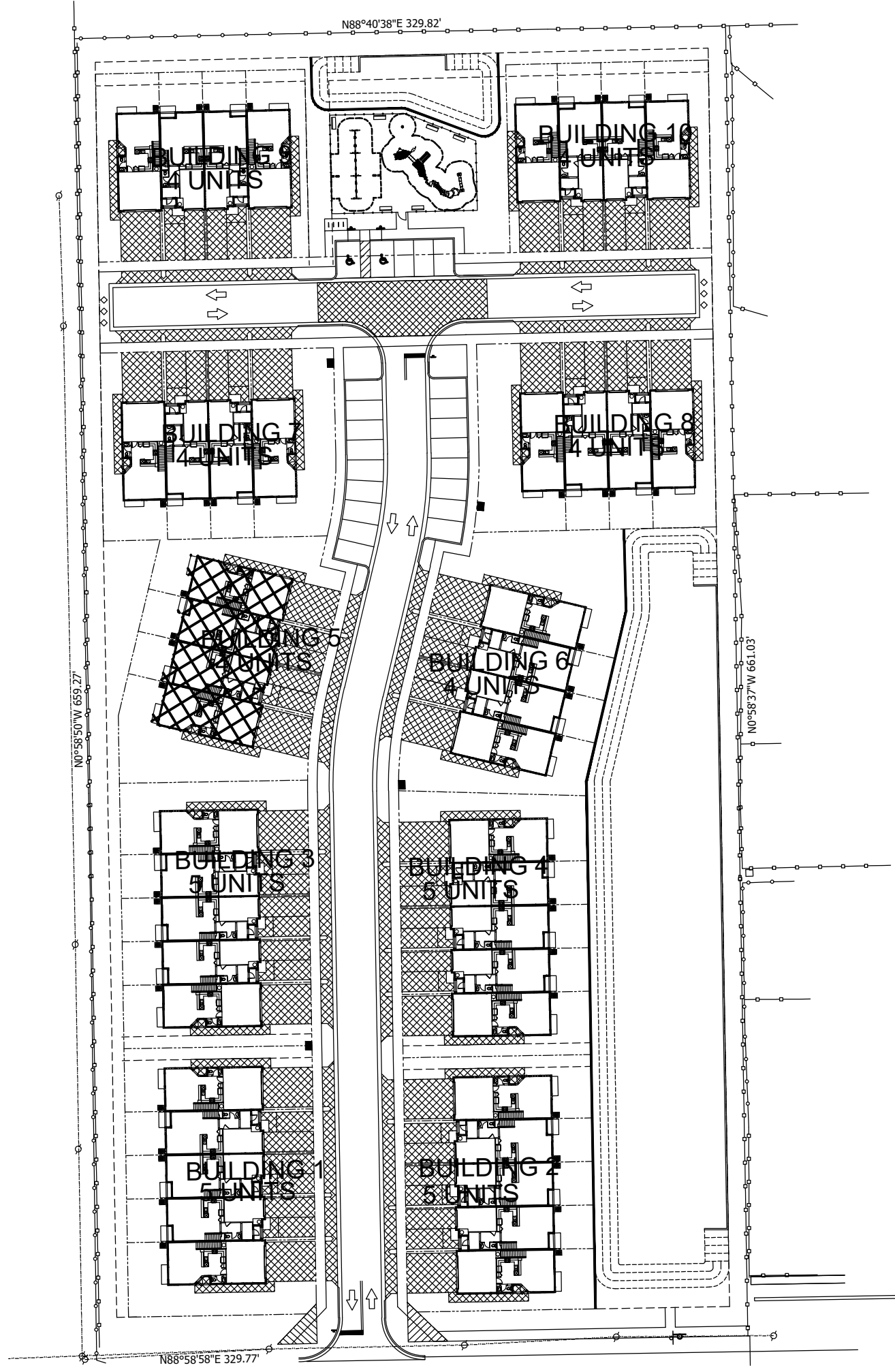
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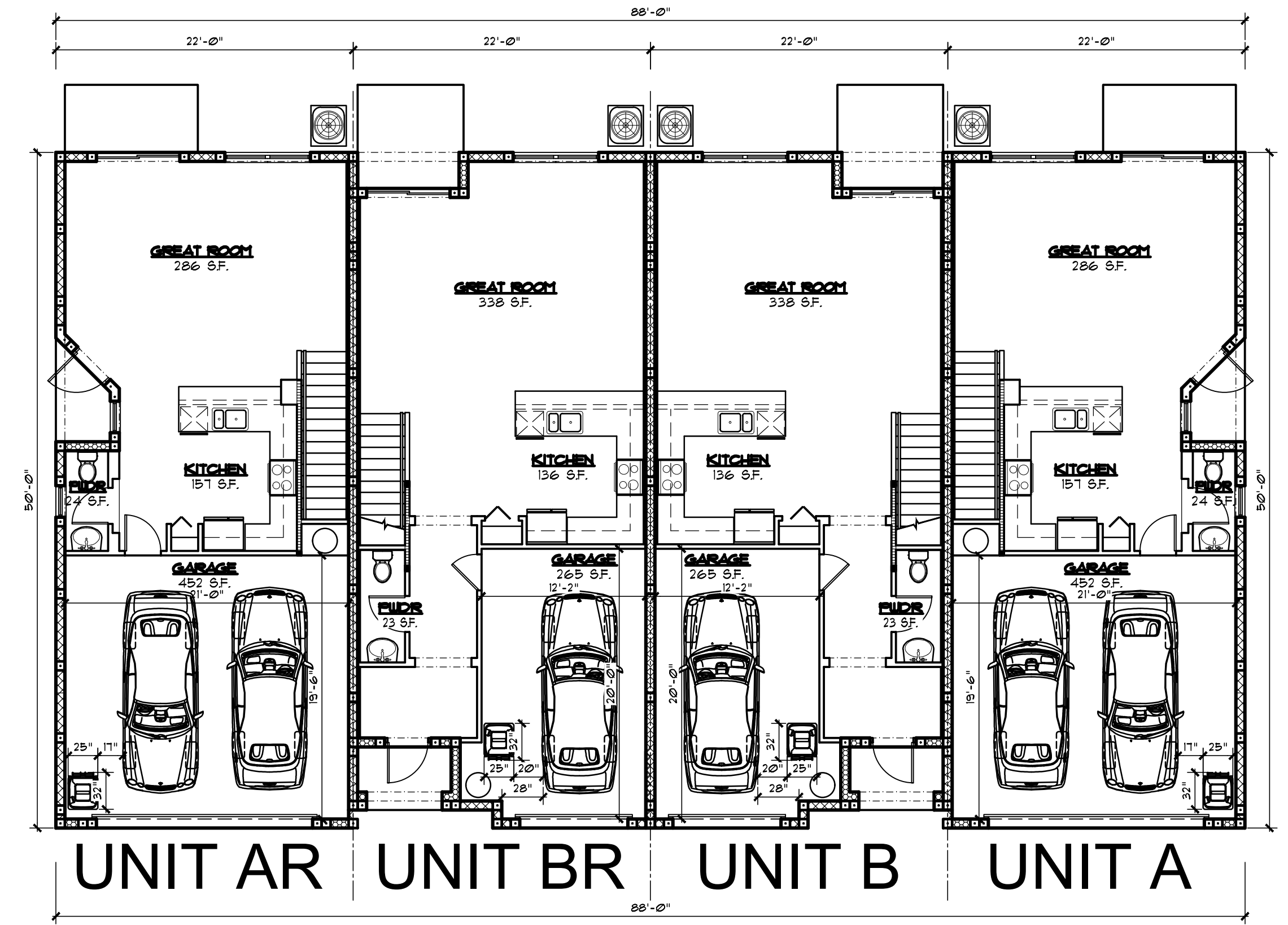
**AREA CALCULATIONS  
UNITS A / AR**

1st FLOOR LIVING:	625 S.F.
2nd FLOOR LIVING:	1129 S.F.
TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

**AREA CALCULATIONS  
UNITS B / BR**

1st FLOOR LIVING:	763 S.F.
2nd FLOOR LIVING:	1086 S.F.
TOTAL LIVING:	1849 S.F.
GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2170 S.F.

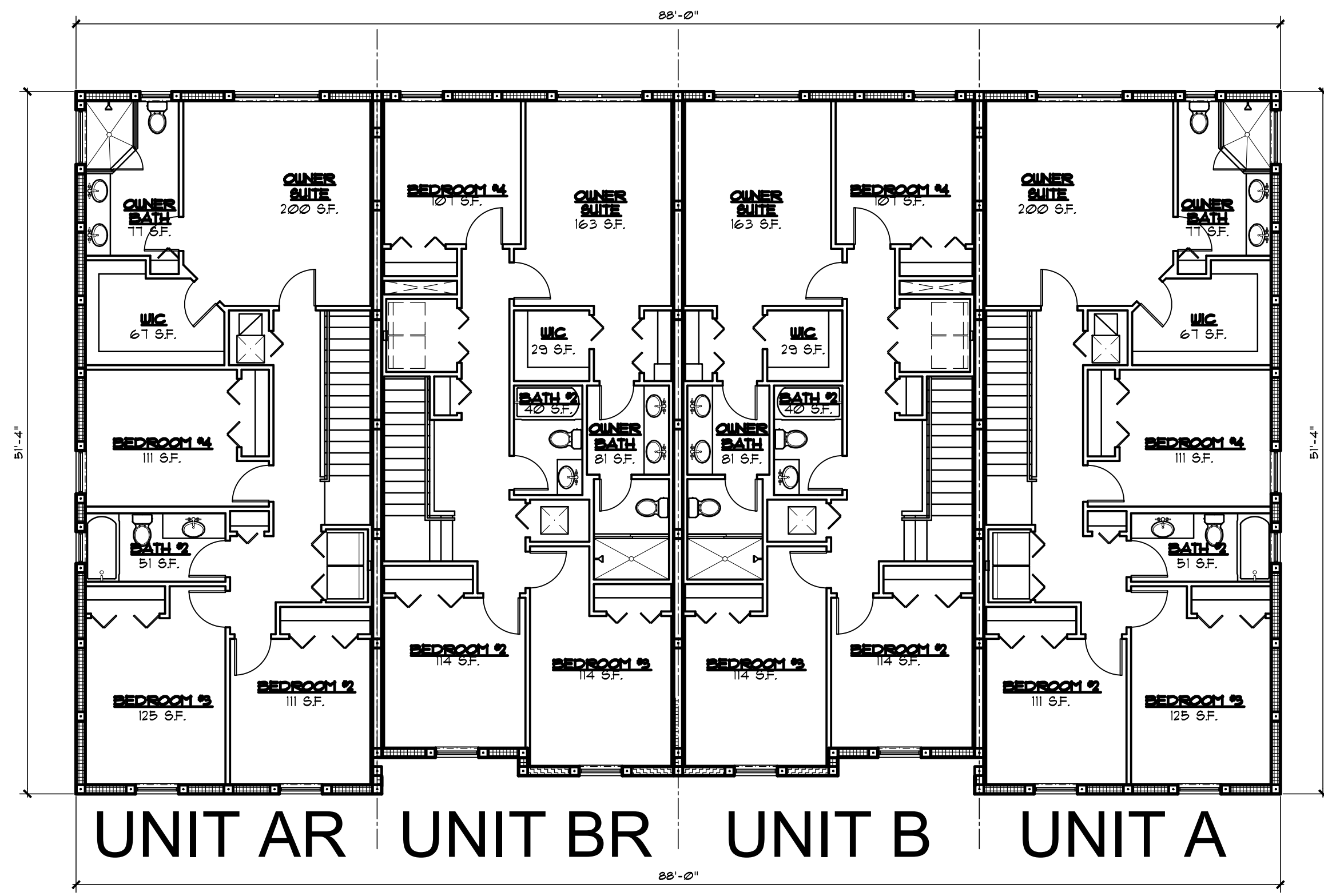
**PARTIAL SITE PLAN**  
KEY PLAN



**UNIT AR | UNIT BR | UNIT B | UNIT A**

**4-UNIT FIRST FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"



**UNIT AR | UNIT BR | UNIT B | UNIT A**

**4-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Rev	Date	Document History

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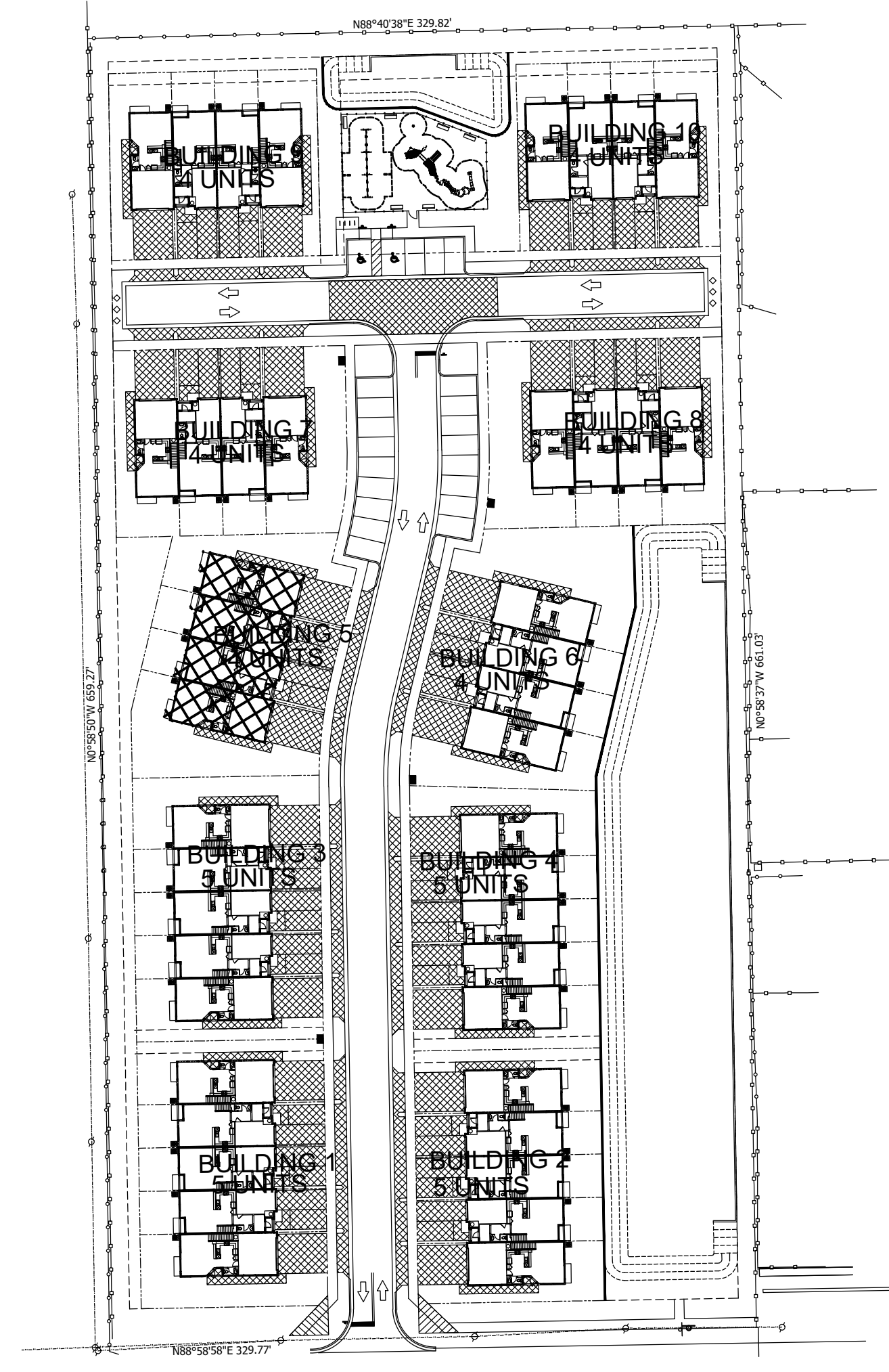
**4-UNIT MIX PLAN**  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

**CDN**  
ENGINEERING INC.  
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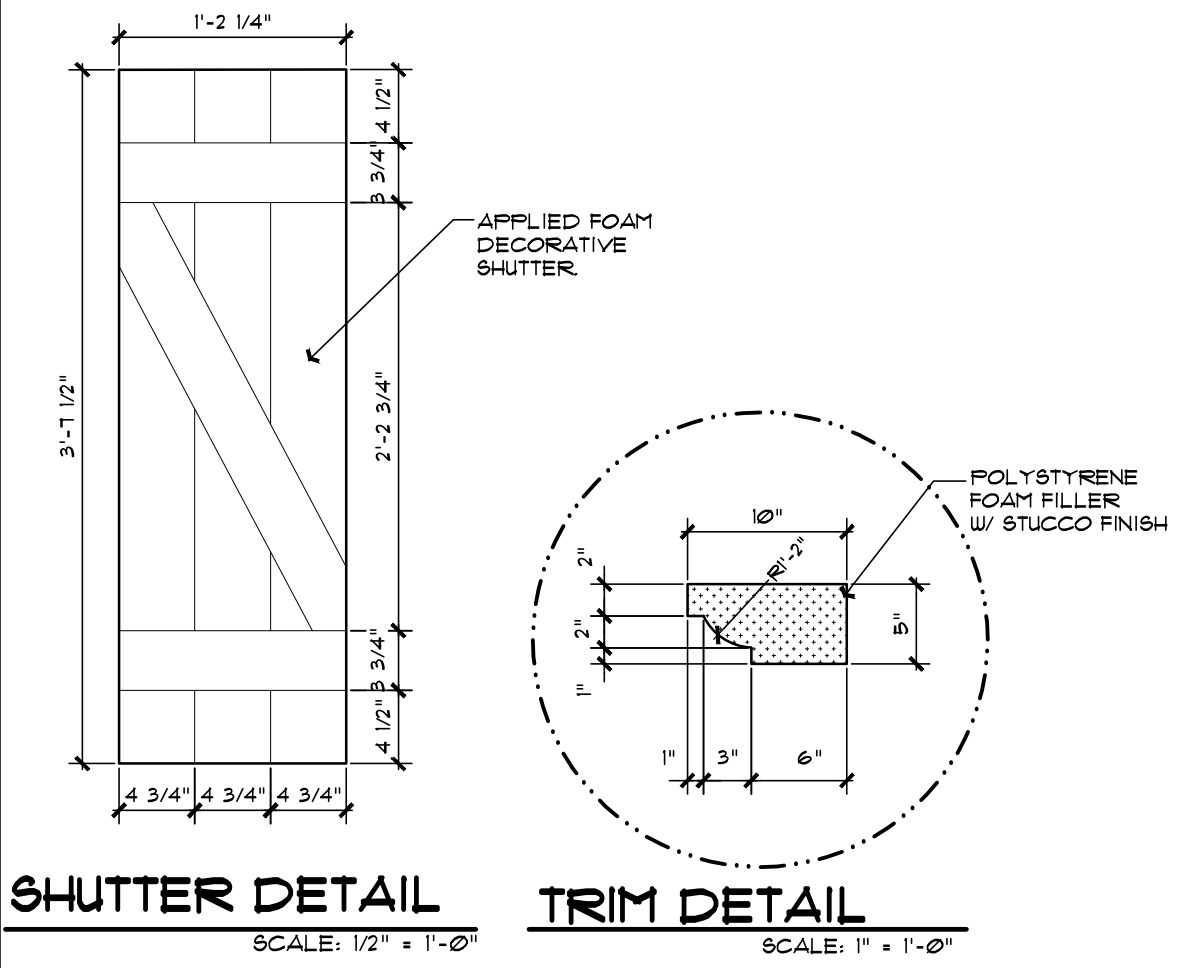
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Project #: Garden Square  
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Checked: JHL

Sheet #  
**A1.0**  
5 of 18 Sheets



**PARTIAL SITE PLAN**  
KEY PLAN

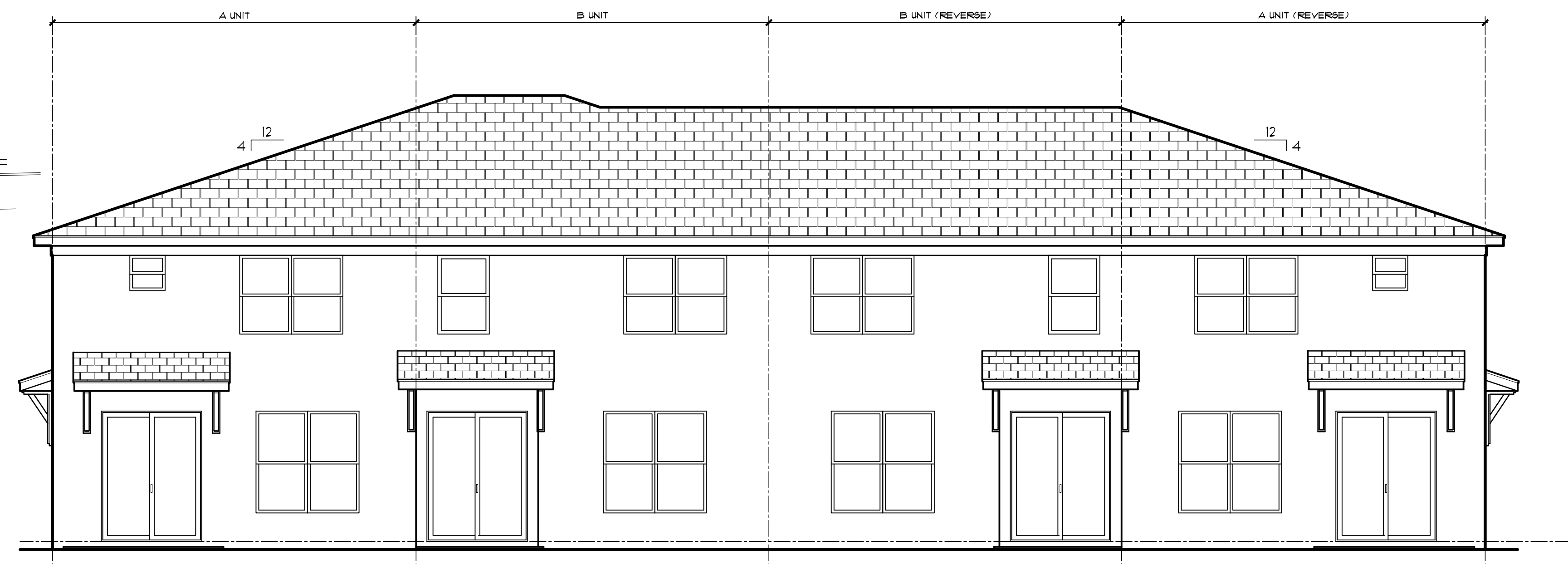


**SHUTTER DETAIL** SCALE: 1/2" = 1'-0"  
**TRIM DETAIL** SCALE: 1" = 1'-0"



**FRONT ELEVATION EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

SCHEME 2	
<b>ROOF SHINGLES</b>	GAF WEATHERED WOOD
<b>TRIM &amp; COLUMNS</b>	ALABASTER SW7008
<b>BODY</b>	COMFORT GRAY SW6205
<b>FAUX SIDING</b>	ALABASTER SW7008
<b>FRONT DOOR</b>	ROCKWOOD RED SW2802
<b>SHUTTERS</b>	REGATTA SW6517
<b>FASCIA</b>	ALABASTER SW7008
<b>GARAGE DOOR</b>	ALABASTER SW7008
<b>ACCENT STONE</b>	BORAL CULTURED STONE - WINTER HAVEN PRO-FIT ALPINE EGGESTONE

Rev	Date	Document History

**4-UNIT ELEVATIONS**

**LENNAR®**

Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

**CDN**  
ENGINEERING INC.

Casey Najjar P.E.  
3200 N. Federal Hwy | Suite 226  
Boca Raton, Florida 33431  
Office: 561.362.0237  
www.cdneng.com  
PE # 87108 • CA # 34513

Scale
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<b>Document Information</b>
Project #: Garden Square
Date: 01/25/2024
Drawn: JHL   TRS   TLP
Checked: JHL

Sheet #
<b>A2.0</b>
6 of 18 Sheets

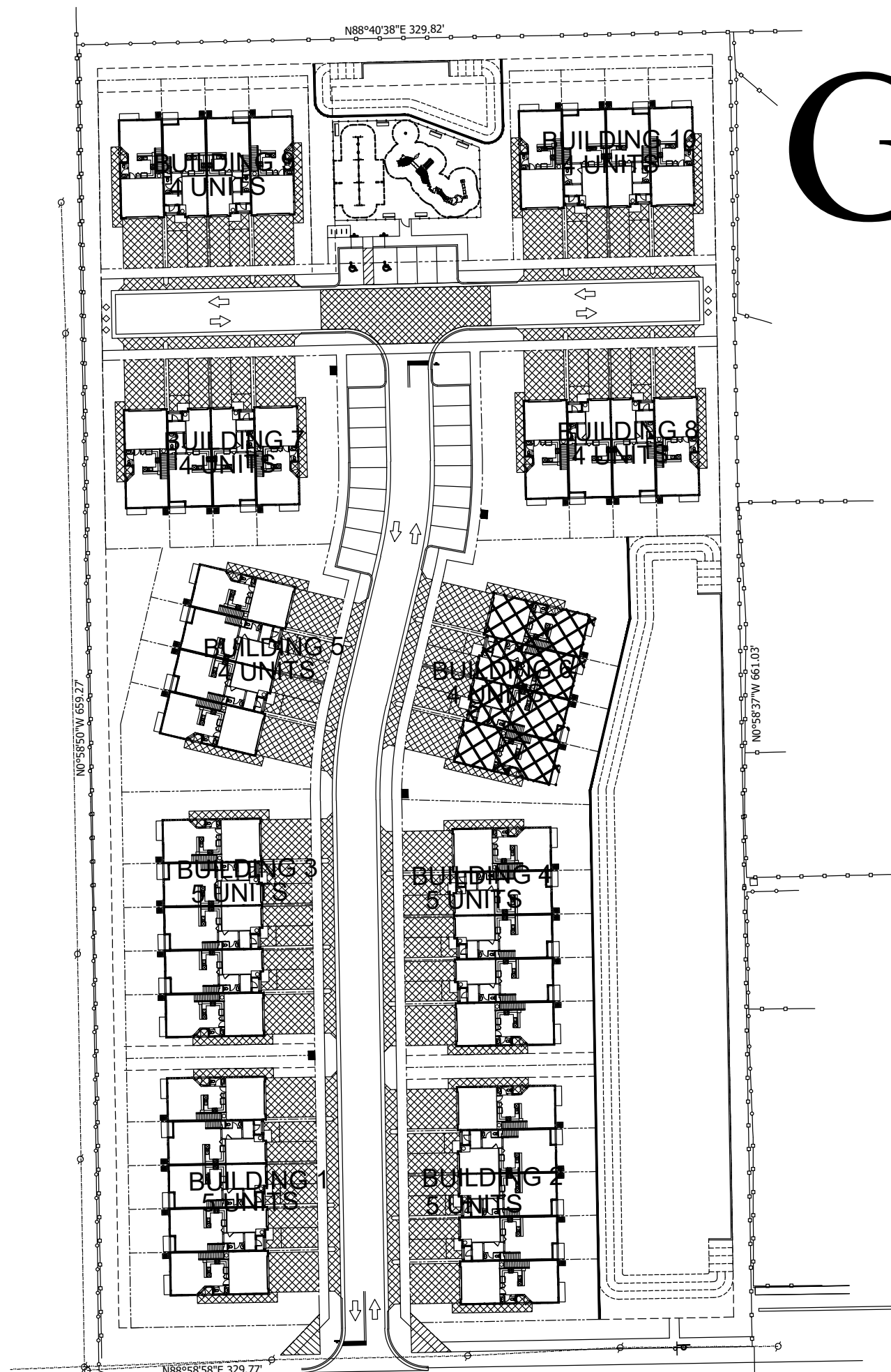
# 4 UNIT BUILDING 6

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN

### DRAWING INDEX

- CS - COVER SHEET
- A1.0 - UNIT MIX PLAN
- A2.0 - UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

CODE EDITION:  
 FLORIDA BUILDING CODE 8th EDITION (2023)  
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 WIND LOAD PROVISIONS OF ASCE 7-22  
 NFPA FLORIDA FIRE PREVENTION CODE 8TH EDITION

ASCE 7-22 | EXPOSURE CONDITION INDICATE C  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
 (DETERMINED BY BUILDING USE/ OCCUPANCY,  
 REFER TO ASCE 7-22 TABLE 15-1)

INTERNAL PRESSURE COEFFICIENT:  
+1.0 (ENCLOSED BUILDING)

BASIC WIND VELOCITY PRESSURES:  
 APPROPRIATE POSITIVE / NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN  
 APPLIED TO MAIN WIND FORCE RESISTING SYSTEM AND BUILDING ENVELOPE  
 COMPONENTS AND CLADDING AS APPLICABLE.

WIND SPEED 110 (3 SEC. GUST) BASIC VELOCITY PRESSURE 25.41 PSF

ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
 FLOOR TRUSS LIVE LOAD 40 PSF FOR TOP CHORD  
 FLOOR TRUSS DEAD LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

Rev	Date	Document History

**LENNAR**<sup>®</sup>

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #5

COVER SHEET

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 3200 N. Federal Hwy, Suite 226  
 Boca Raton, Florida 33431  
 Office: 561.352.0237  
 www.cdneng.com

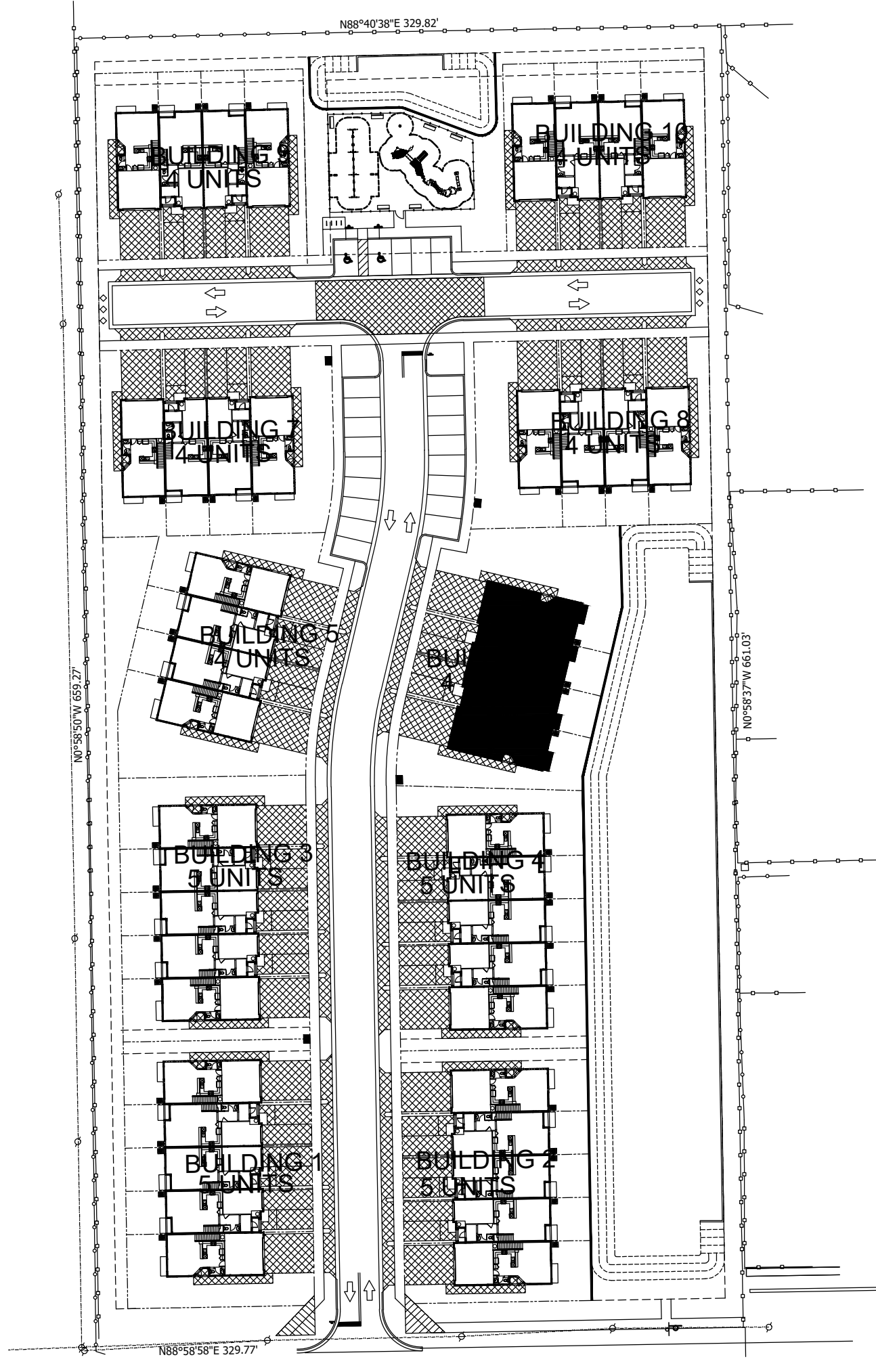
PE # 87108 • CA # 34513

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 1 of 18 Sheets



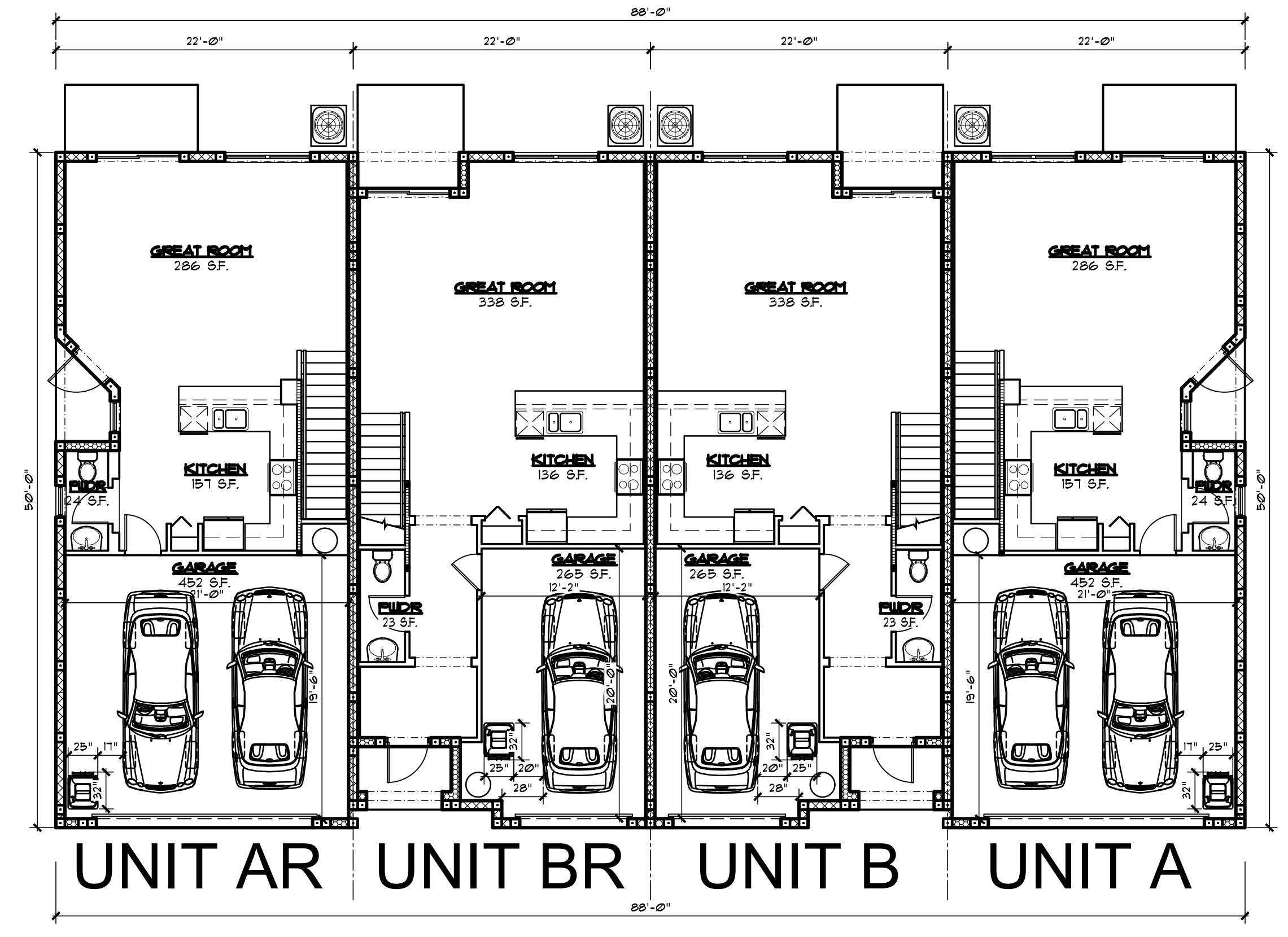
**AREA CALCULATIONS  
UNITS A / AR**

1st FLOOR LIVING:	625 S.F.
2nd FLOOR LIVING:	1129 S.F.
TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

**AREA CALCULATIONS  
UNITS B / BR**

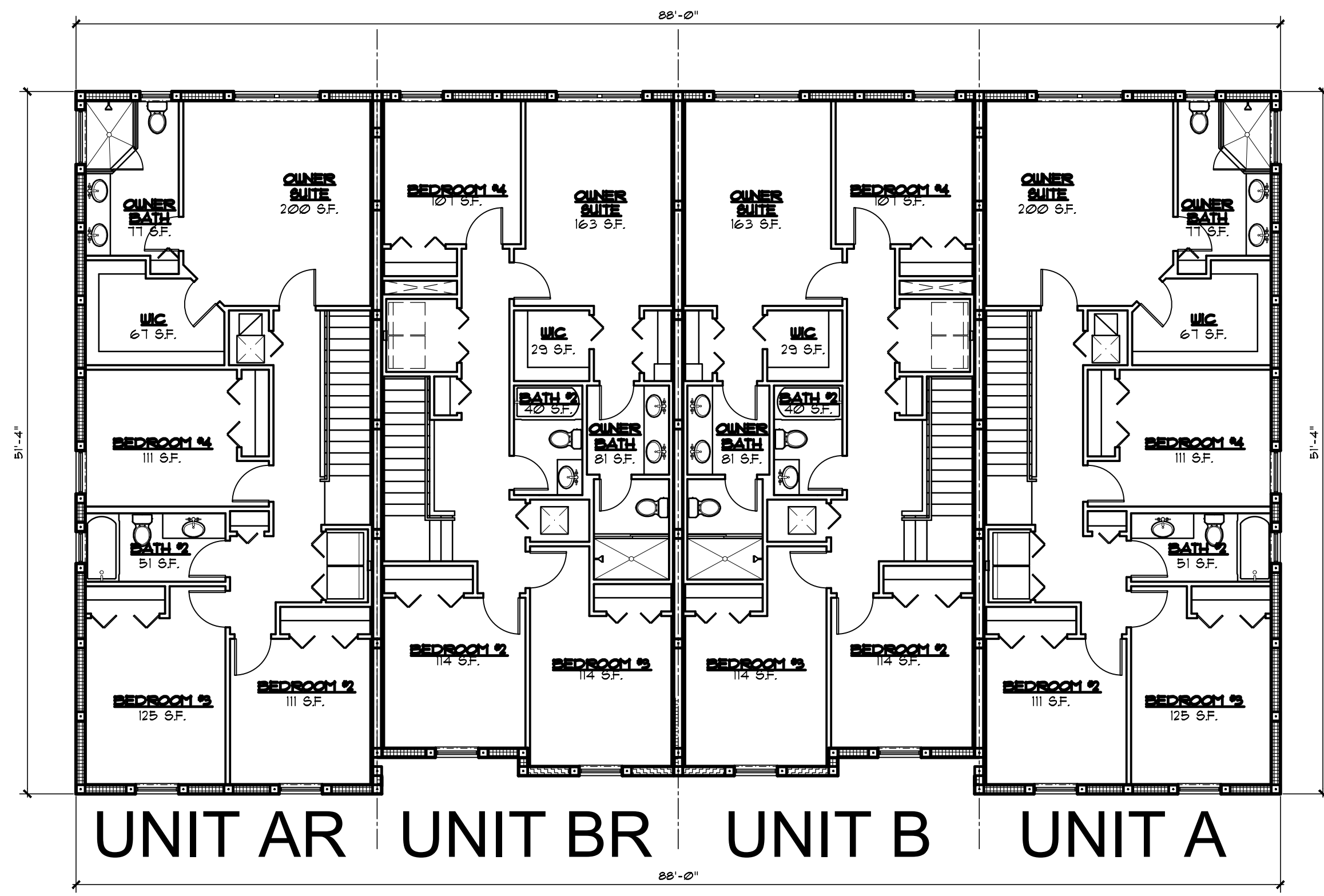
1st FLOOR LIVING:	763 S.F.
2nd FLOOR LIVING:	1086 S.F.
TOTAL LIVING:	1849 S.F.
GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2170 S.F.

**PARTIAL SITE PLAN**  
KEY PLAN



**4-UNIT FIRST FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0" N



**4-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Rev	Date	Document History

**LENNAR®**

**4-UNIT MIX PLAN**  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

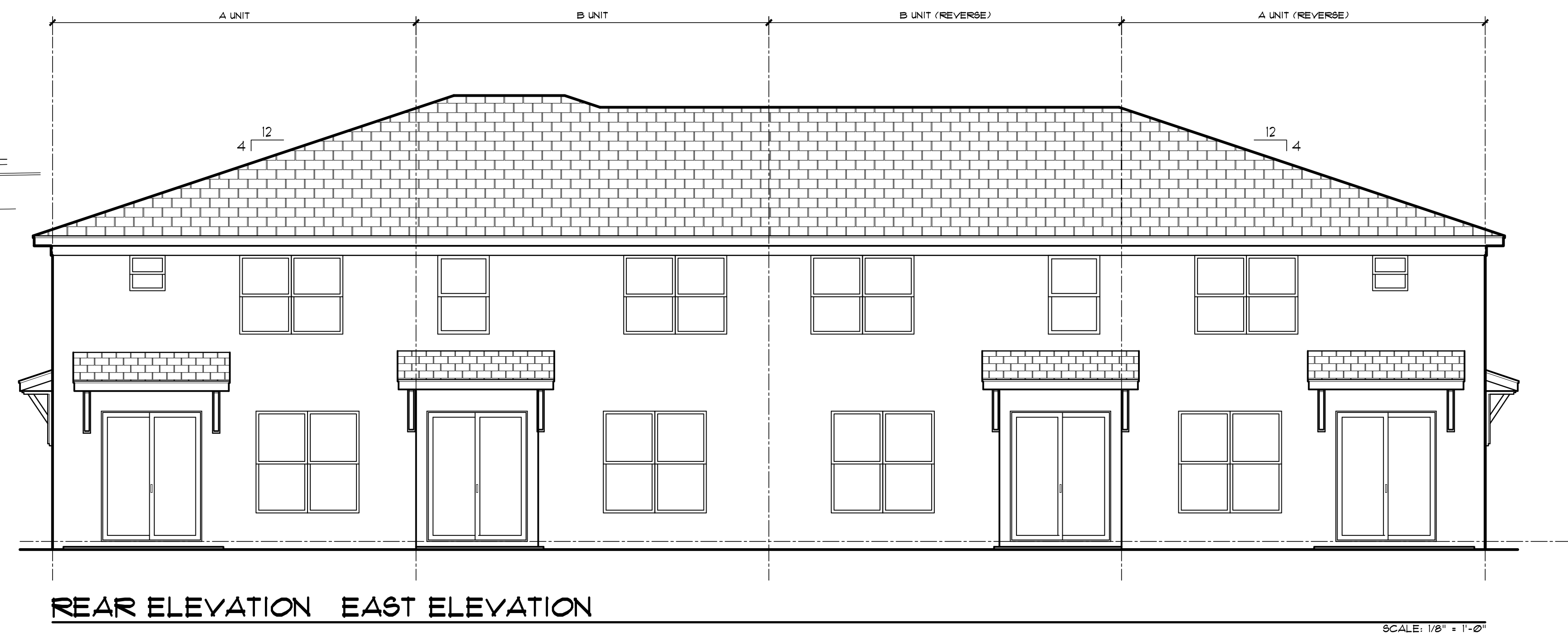
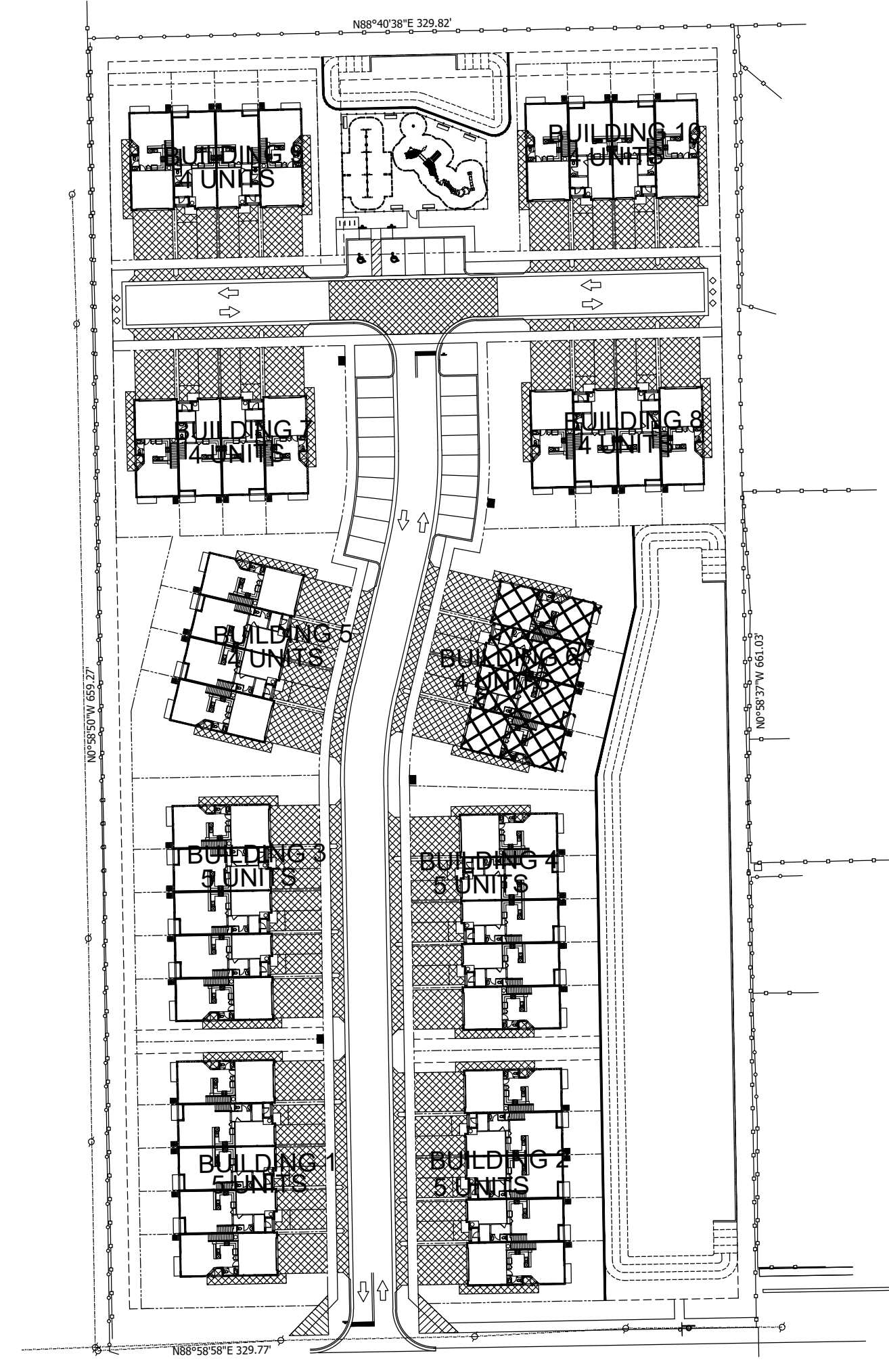
**CDN**  
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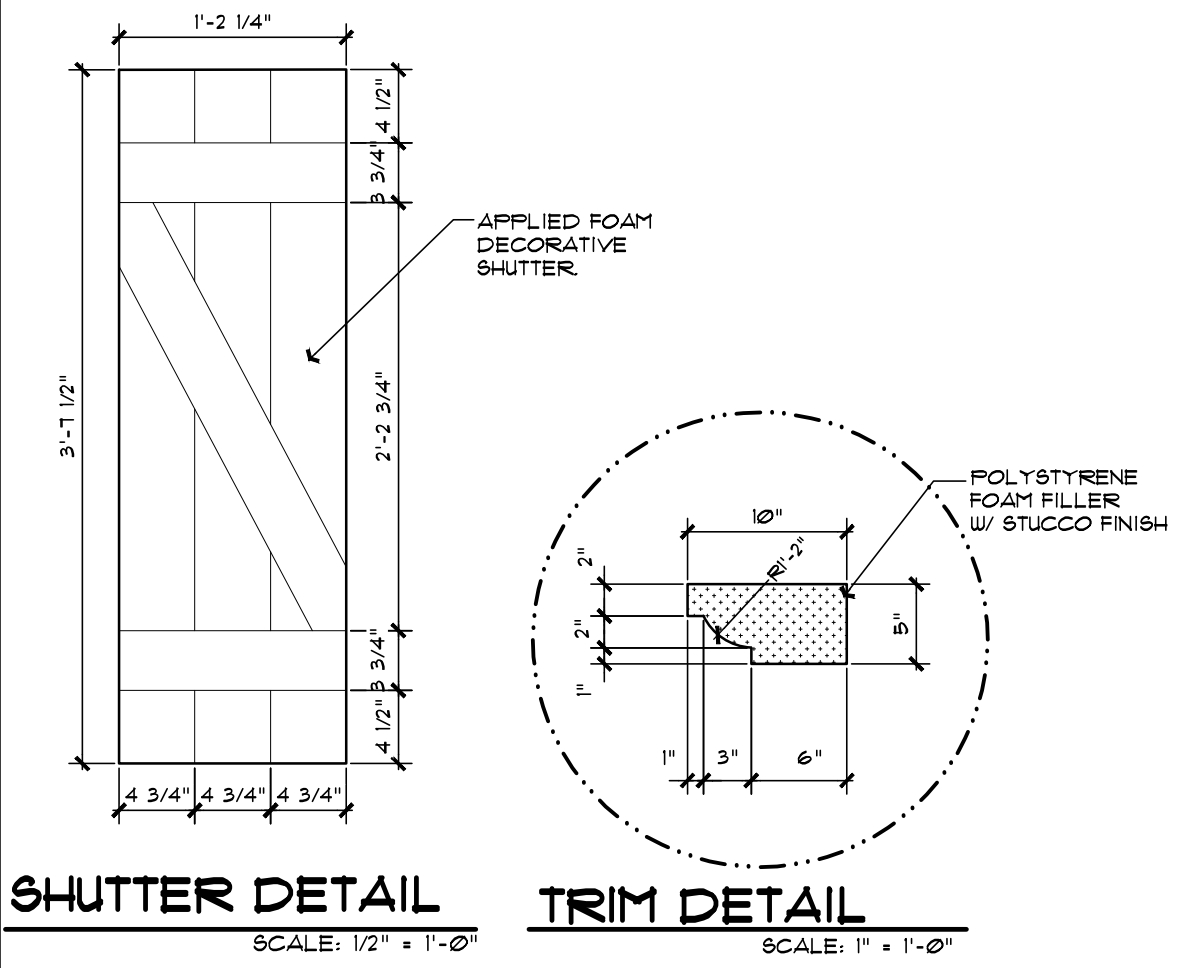
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Date
Document History



**SCHEME 3**

ROOF SHINGLES	GAF WEATHERED WOOD
TRIM & COLUMNS	COTTON WHITE SW7104
BODY	COTTON WHITE SW7104
FAUX SIDING	COTTON WHITE SW7104
FRONT DOOR	BLACK MAGIC SW6991
SHUTTERS	BLACK MAGIC SW6991
FASCIA	COTTON WHITE SW7104
GARAGE DOOR	COTTON WHITE SW7104
ACCENT STONE	BORAL CULTURED STONE - WINTER HAVEN PRO-FIT ALPINE EDGESTONE



**LENNAR**

4-UNIT ELEVATIONS

Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

**CDN**  
ENGINEERING INC.

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3200 N. Federal Hwy | Suite 226  
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PE # 87108 - CA # 34513

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Drawn: JHL   TRS   TLP
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Sheet #
<b>A2.0</b>
6 of 18 Sheets

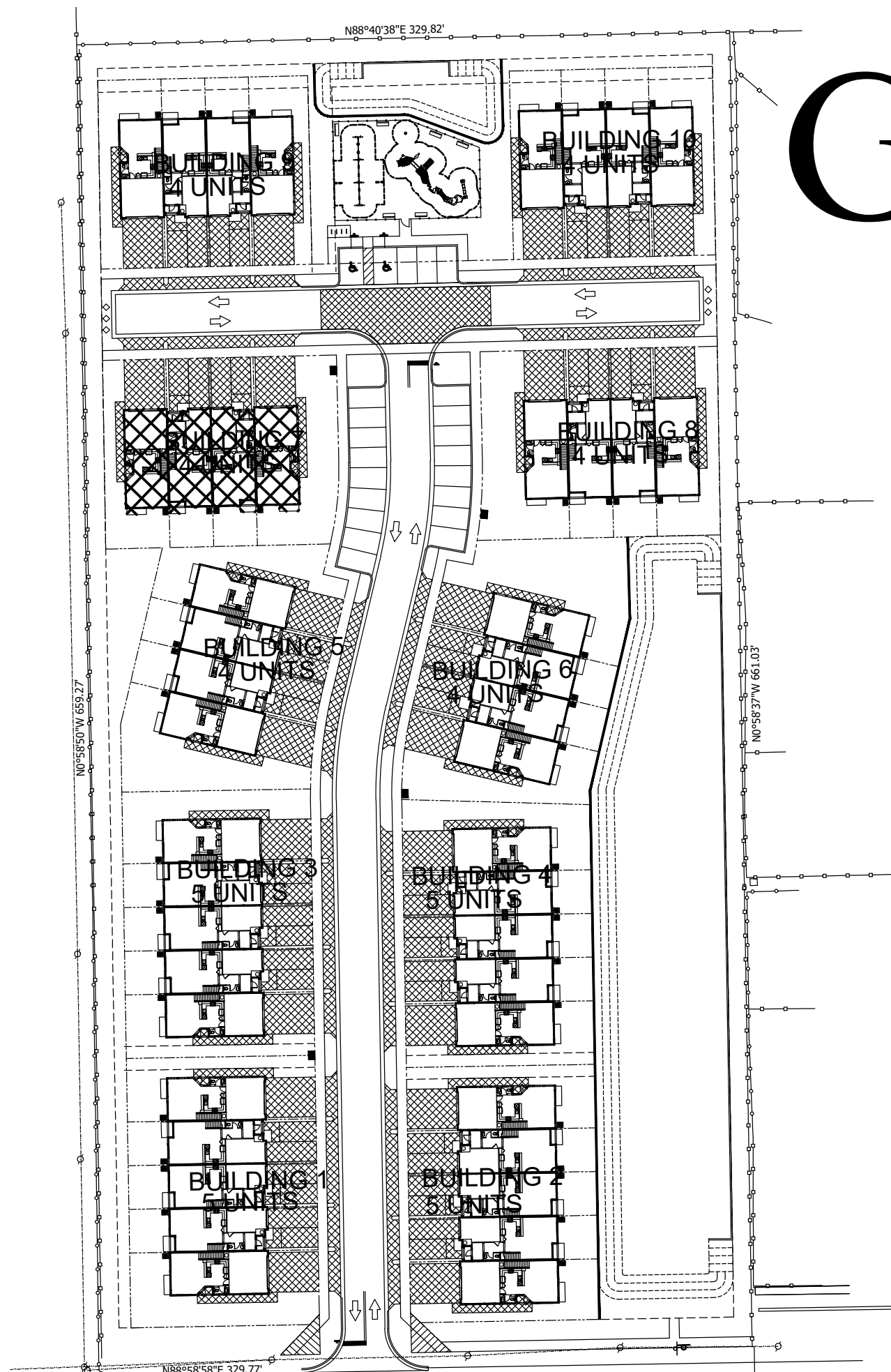
# 4 UNIT BUILDING 7

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN

DRAWING INDEX	
CS	- COVER SHEET
A1.0	- UNIT MIX PLAN
A2.0	- UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

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 NFPA FLORIDA FIRE PREVENTION CODE 8TH EDITION

ASCE 7-22 | EXPOSURE CONDITION INDICATE C  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
 (DETERMINED BY BUILDING USE/ OCCUPANCY,  
 REFER TO ASCE 7-22 TABLE 15-1)

INTERNAL PRESSURE COEFFICIENT:  
+1.0 (ENCLOSED BUILDING)

BASIC WIND VELOCITY PRESSURES:  
 APPROPRIATE POSITIVE / NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN  
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 COMPONENTS AND CLADDING AS APPLICABLE.

WIND SPEED 110 (3 SEC. GUST) BASIC VELOCITY PRESSURE 25.41 PSF

ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
 FLOOR TRUSS LIVE LOAD 40 PSF FOR TOP CHORD  
 FLOOR TRUSS DEAD LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

Rev	Date	Document History

**LENNAR**

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #s:

COVER SHEET

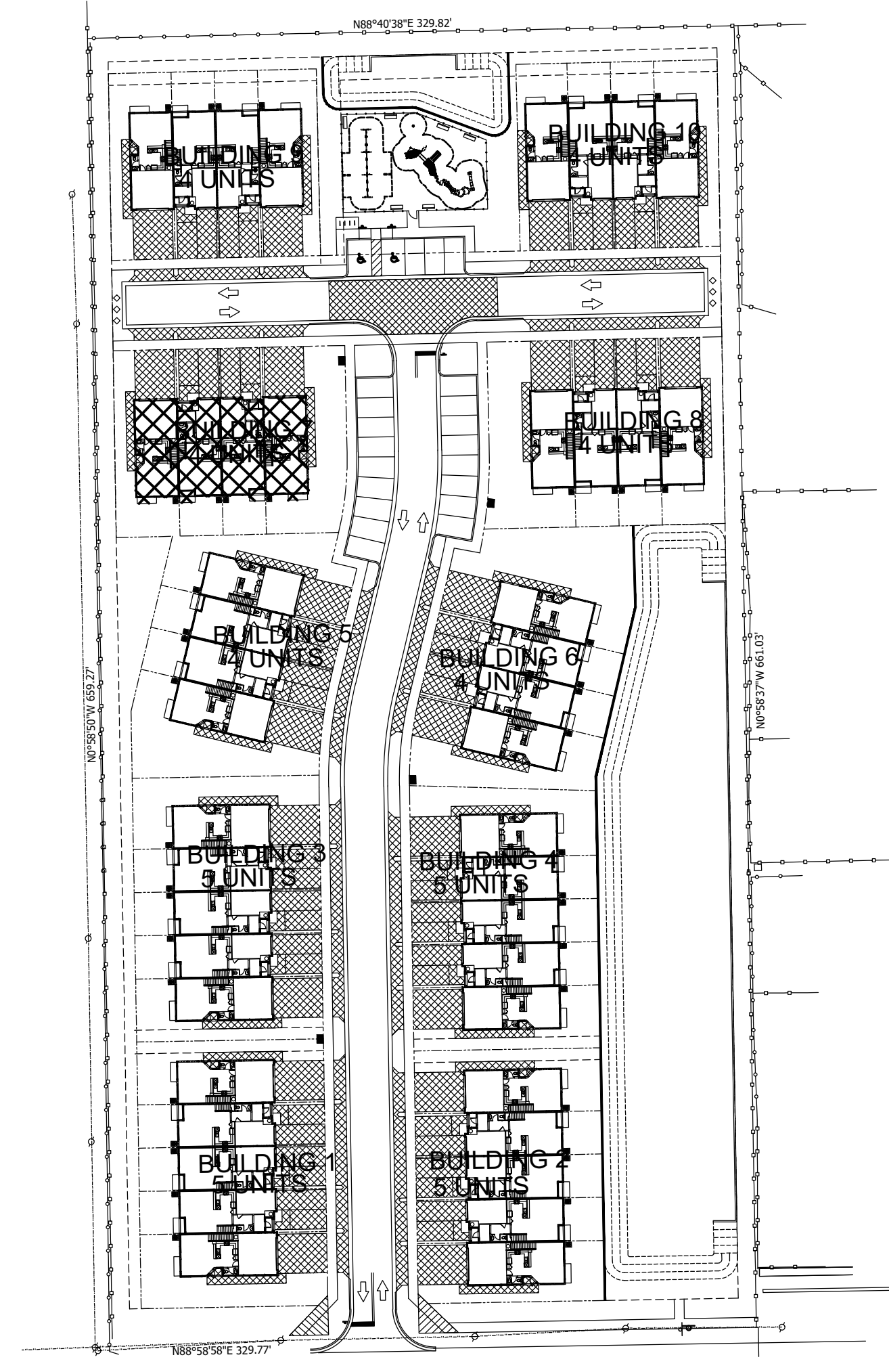
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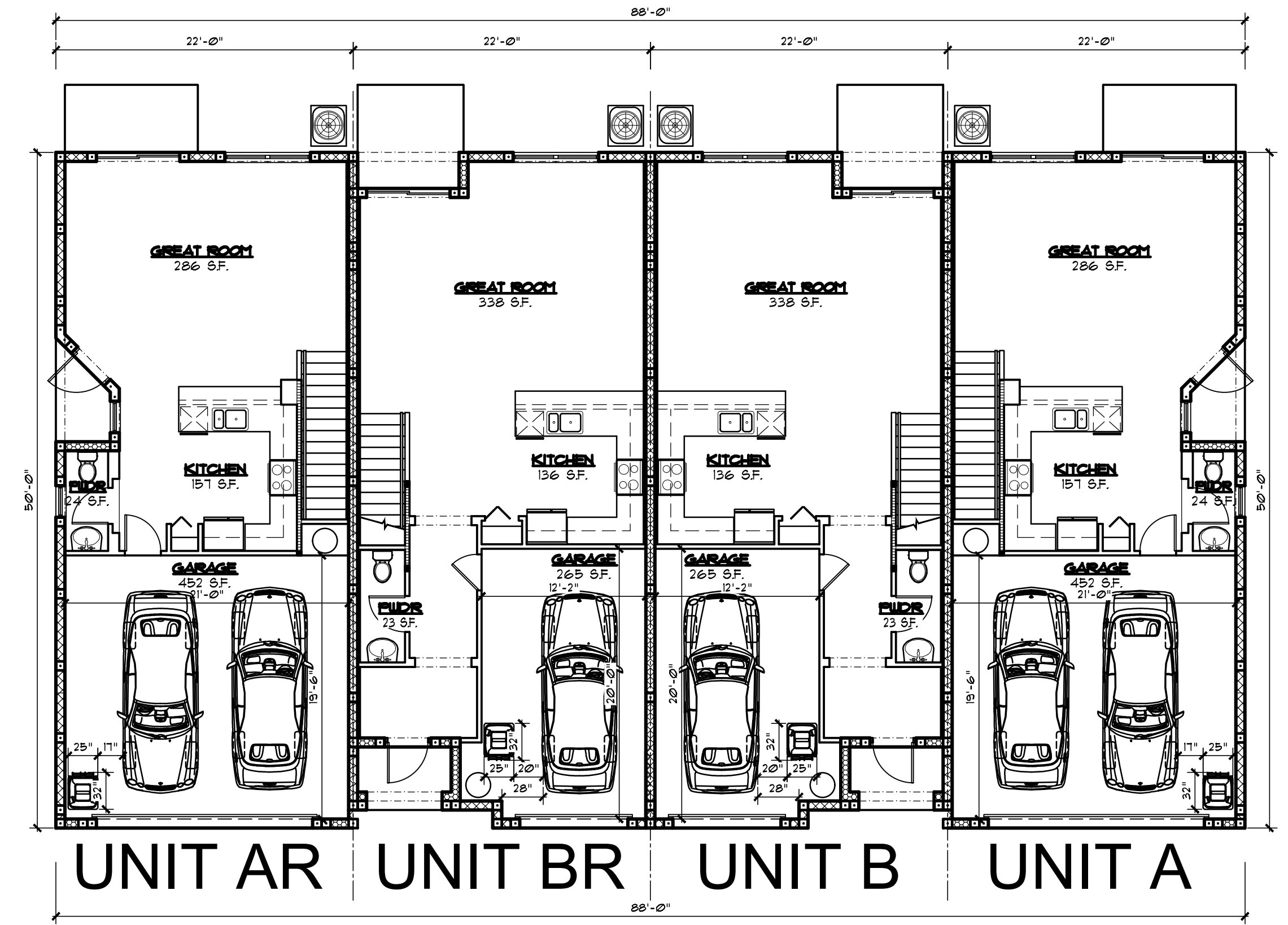
**AREA CALCULATIONS  
UNITS A / AR**

1st FLOOR LIVING:	625 S.F.
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TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

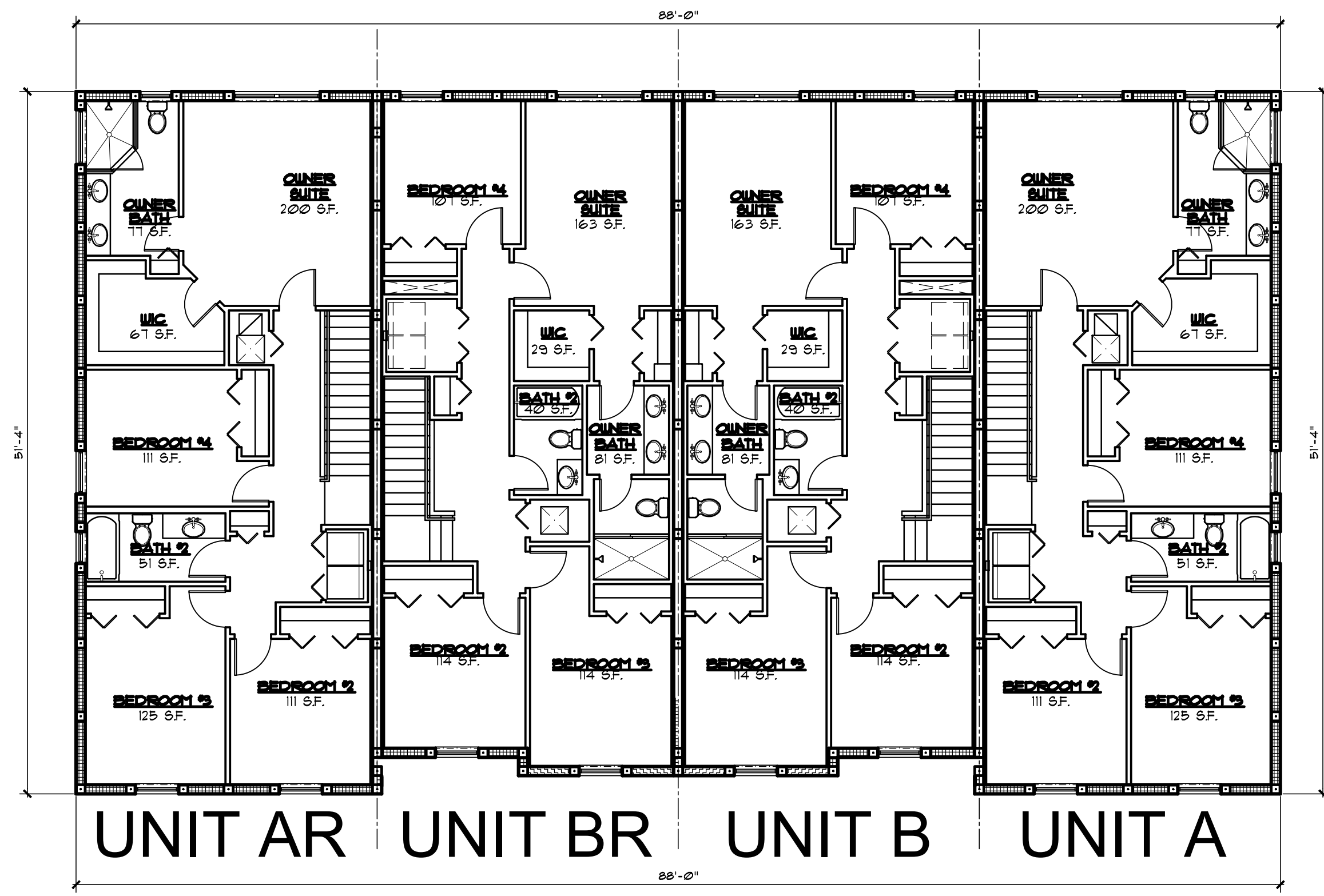
**AREA CALCULATIONS  
UNITS B / BR**

1st FLOOR LIVING:	763 S.F.
2nd FLOOR LIVING:	1086 S.F.
TOTAL LIVING:	1849 S.F.
GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2170 S.F.

**PARTIAL SITE PLAN**  
KEY PLAN



**4-UNIT FIRST FLOOR MIX PLAN**



**4-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Rev	Date	Document History

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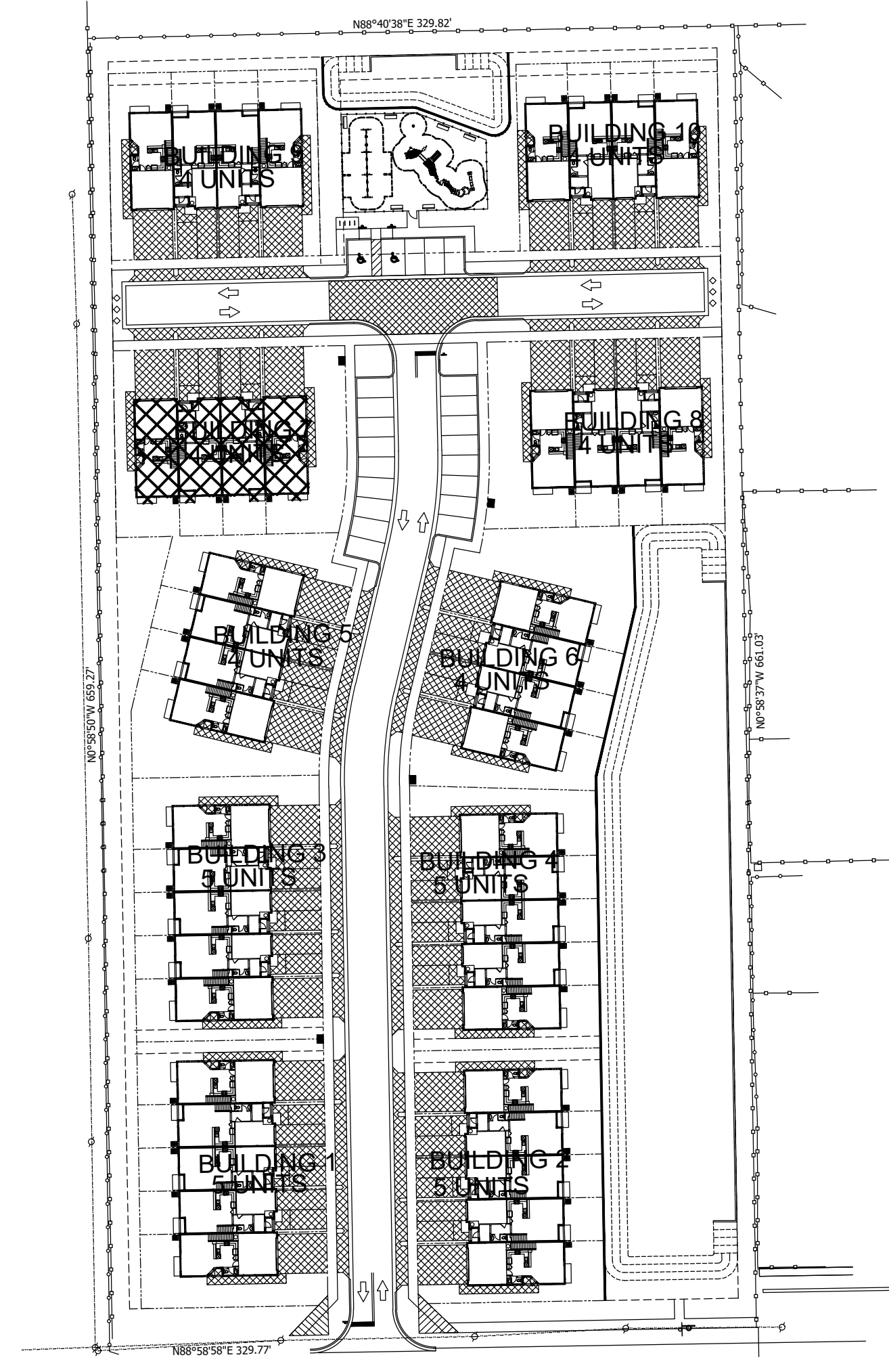
**4-UNIT MIX PLAN**  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #5

**CDN**  
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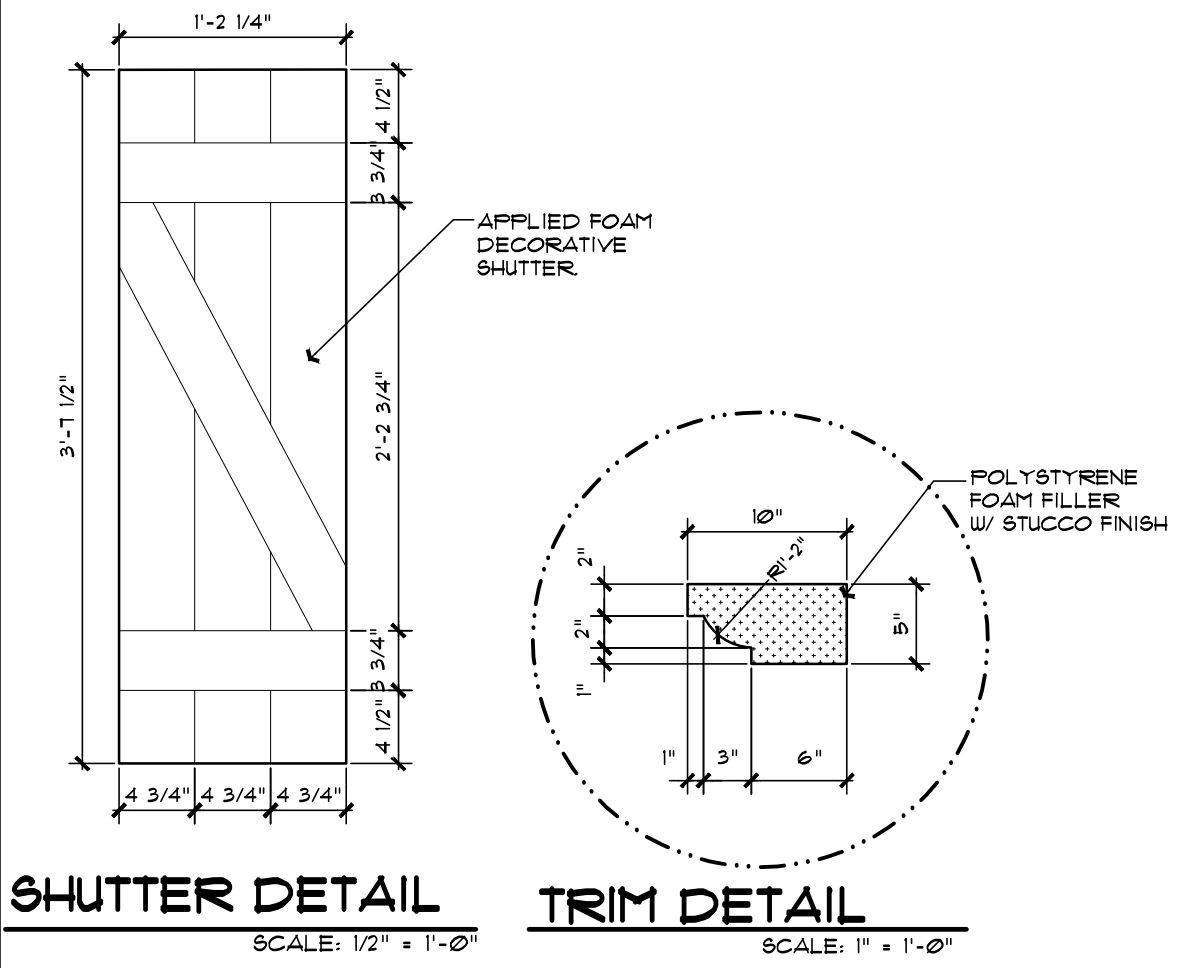
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**PARTIAL SITE PLAN**  
KEY PLAN

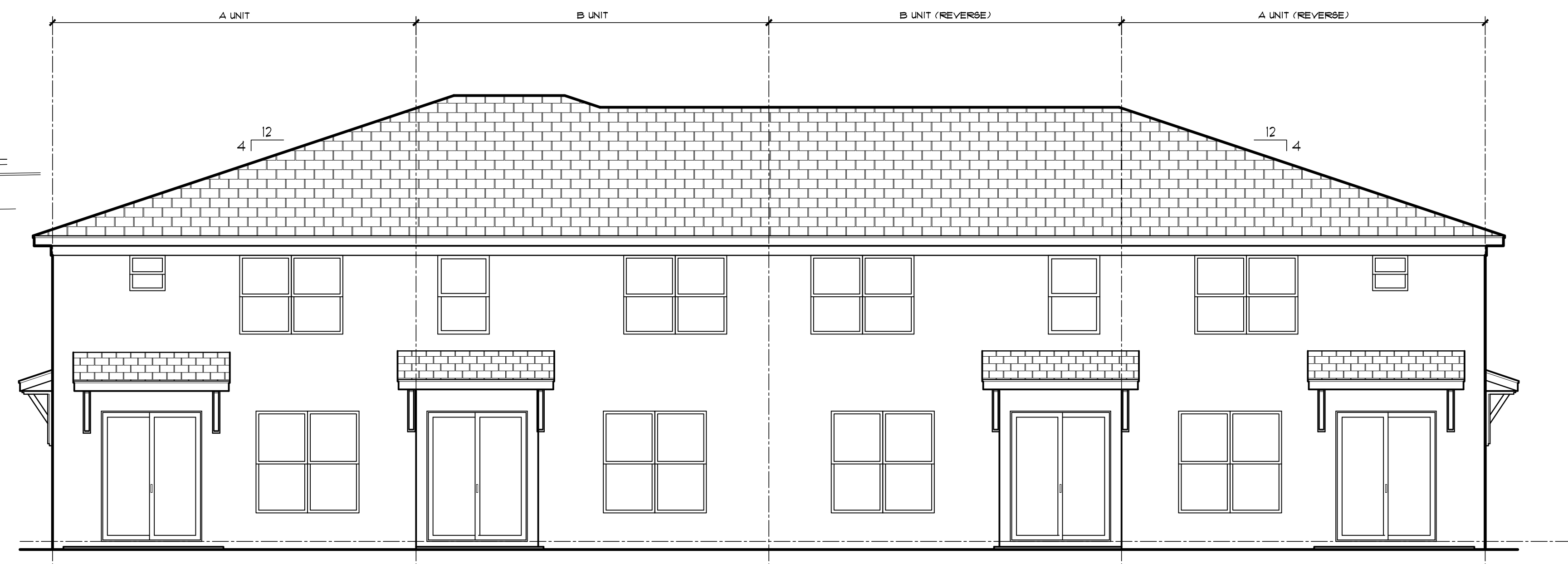


**SHUTTER DETAIL** SCALE: 1/2" = 1'-0"  
**TRIM DETAIL** SCALE: 1" = 1'-0"



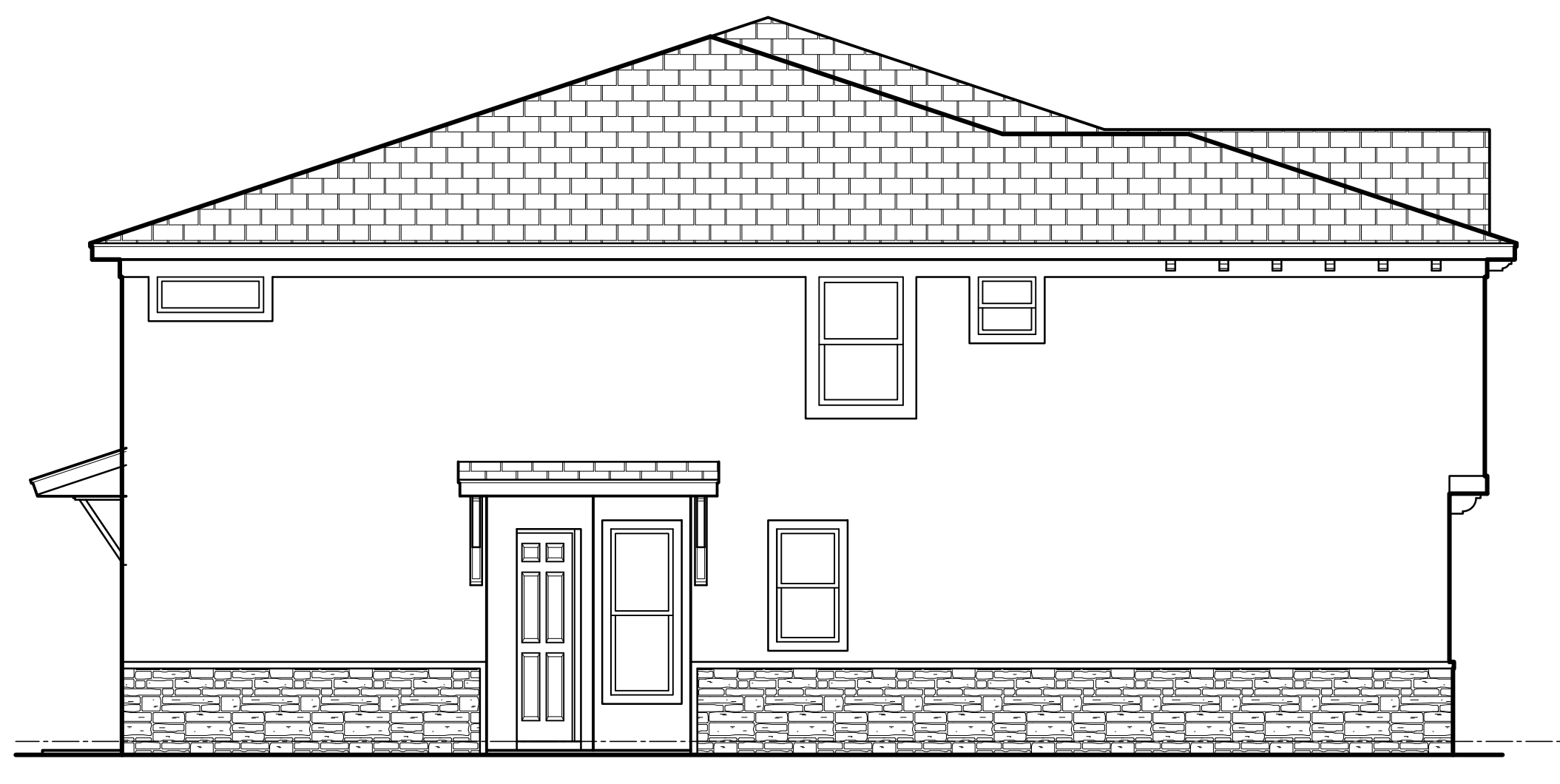
**FRONT ELEVATION NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION WEST ELEVATION**

SCALE: 1/8" = 1'-0"

SCHEME 1	
<b>ROOF SHINGLES</b>	GAF WEATHERED WOOD
<b>TRIM &amp; COLUMNS</b>	PAPERWHITE SW7055
<b>BODY</b>	PEARL GRAY SW0052
<b>FAUX SIDING</b>	WHITE HYACINTH SW0046
<b>FRONT DOOR</b>	WHITE HYACINTH SW0046
<b>SHUTTERS</b>	SEAWORTHY SW7620
<b>FASCIA</b>	WHITE HYACINTH SW0046
<b>GARAGE DOOR</b>	WHITE HYACINTH SW0046
<b>ACCENT STONE</b>	BORAL CULTURED STONE - WATER HAVEN PRO-FIT ALPINE EDGESTONE

Rev	Date	Document History

**LENNAR**  
 4-UNIT ELEVATIONS  
 Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #S

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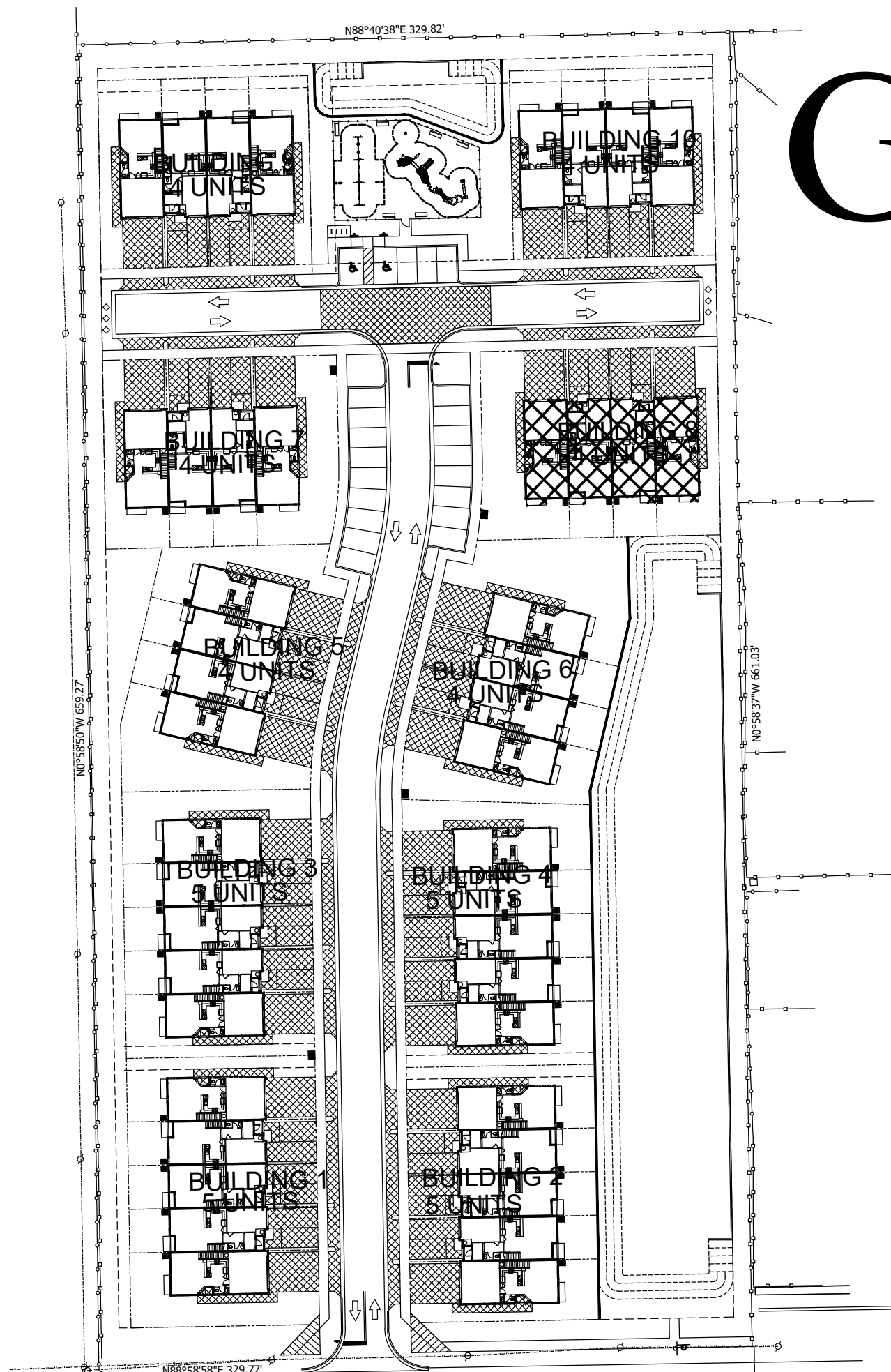
# 4 UNIT BUILDING 8

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN

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- CS - COVER SHEET
- A1.0 - UNIT MIX PLAN
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 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
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 FLOOR TRUSS DEAD LOAD 20 PSF FOR TOP CHORD  
 2 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

Rev	Date	Document History

**LENNAR**

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #5

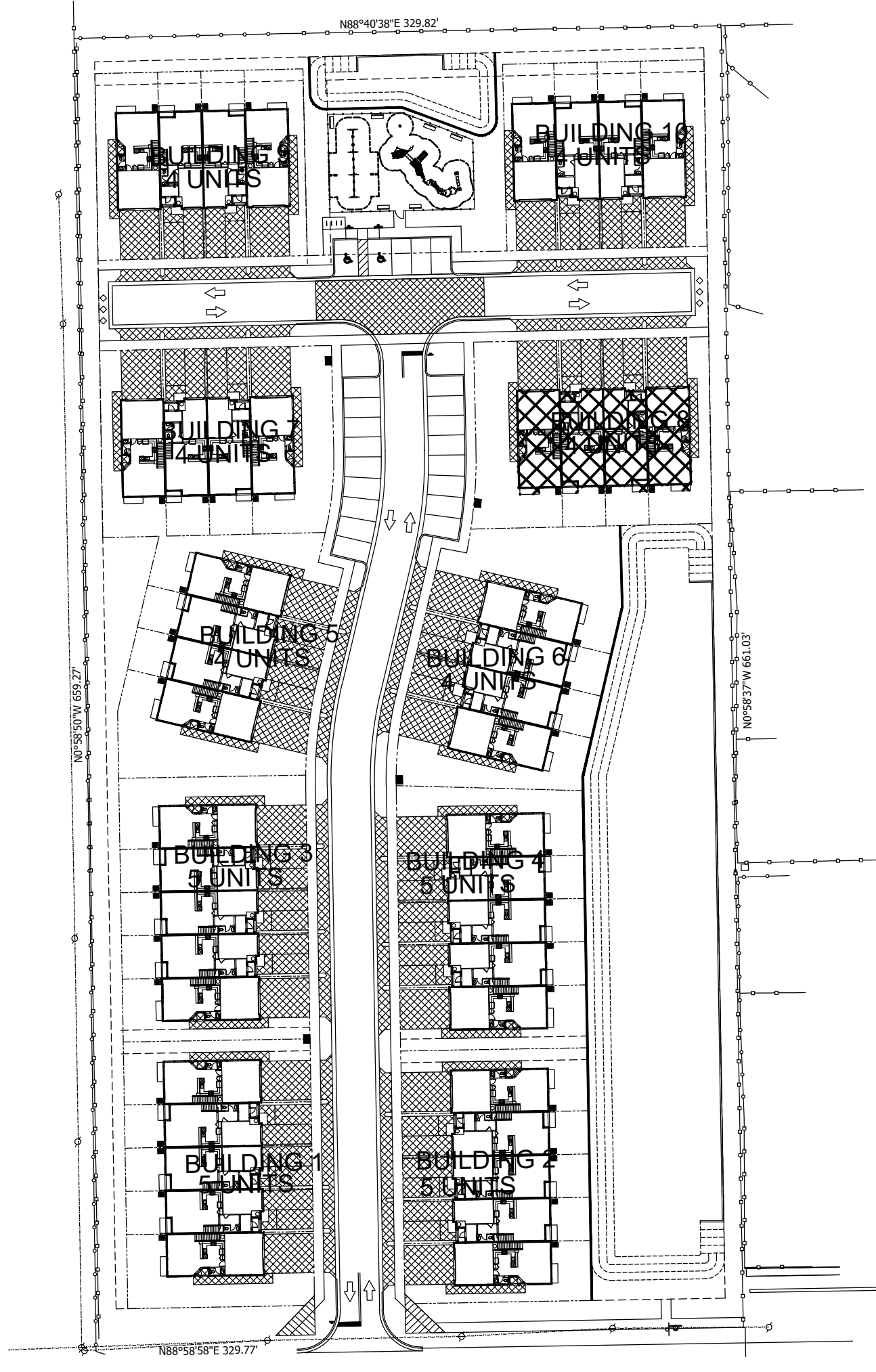
COVER SHEET

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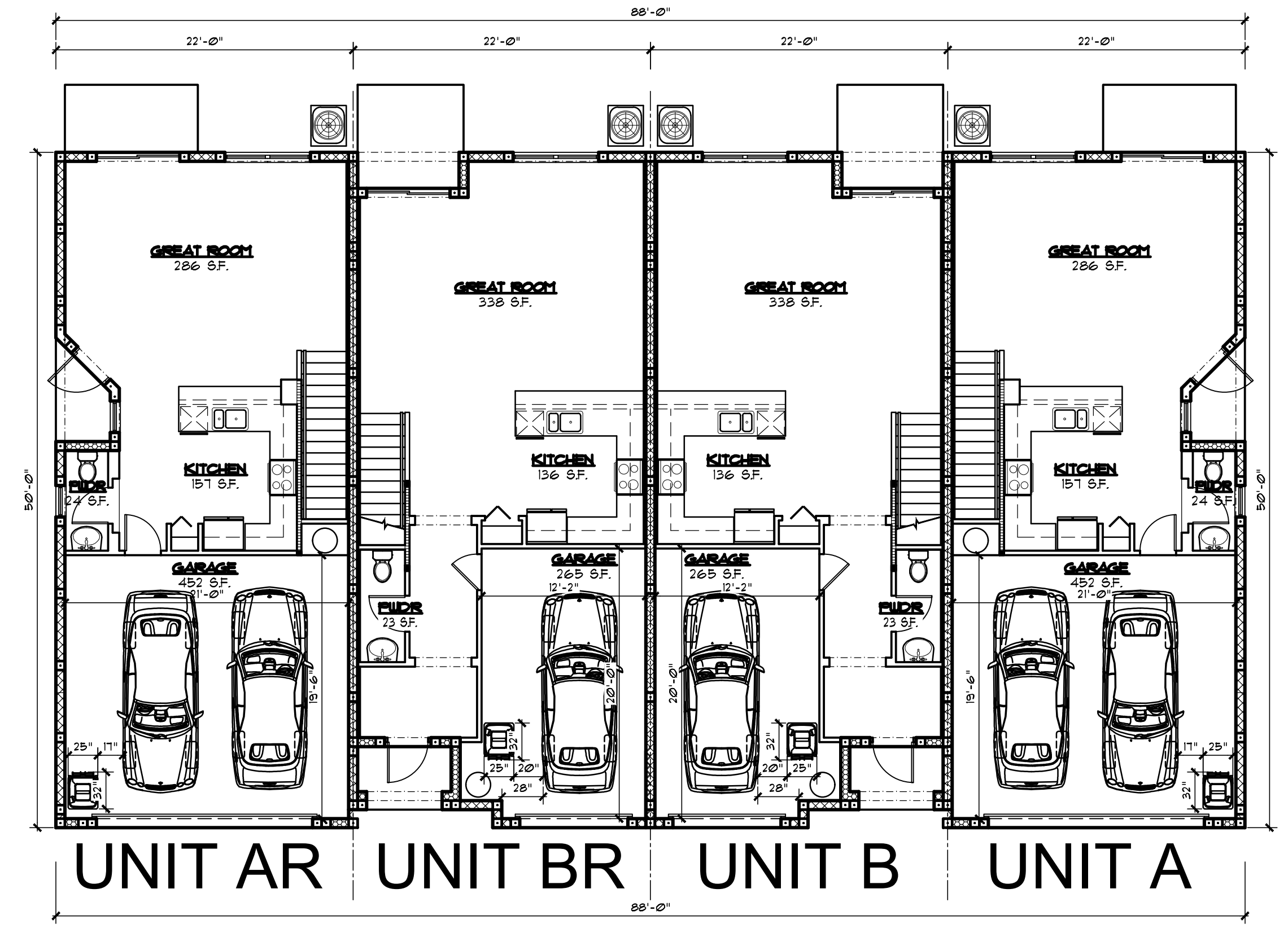
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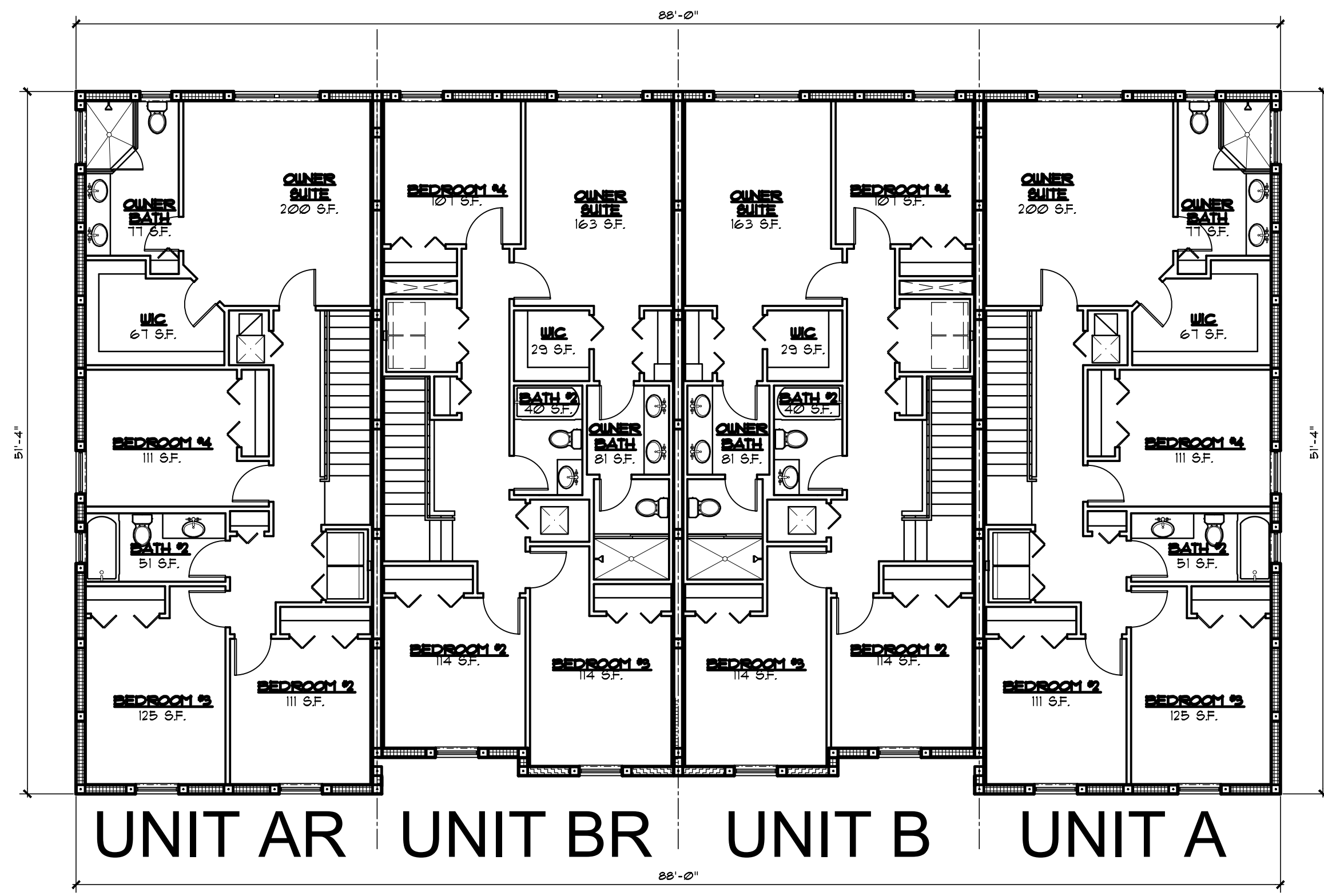
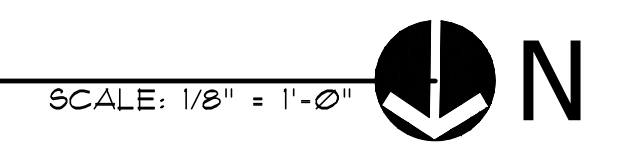
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UNITS B / BR**

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GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2170 S.F.

**PARTIAL SITE PLAN**  
KEY PLAN



**4-UNIT FIRST FLOOR MIX PLAN**



**4-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Int	
Rev	Date
	Document History

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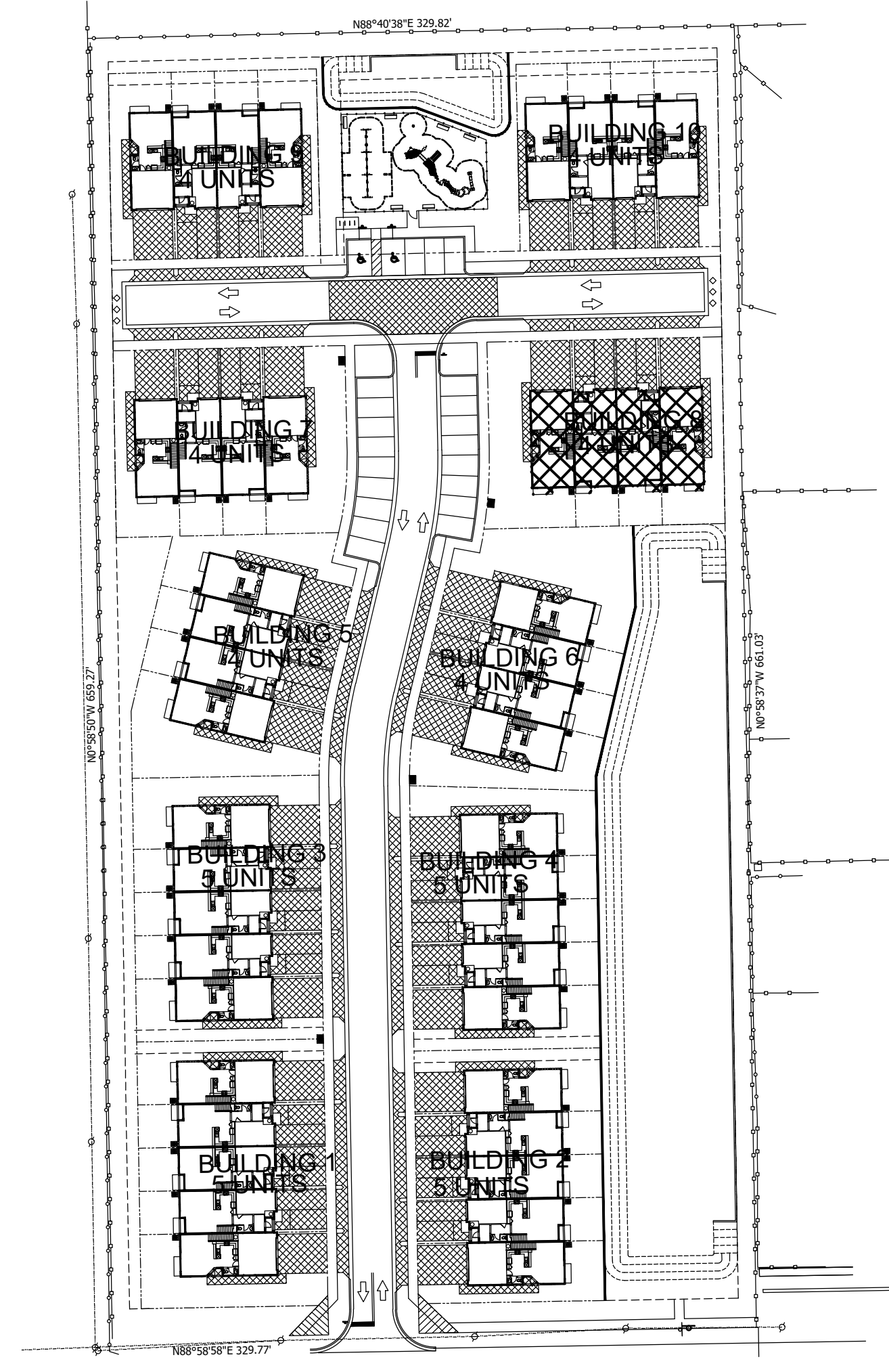
**4-UNIT MIX PLAN**  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

**CDN**  
ENGINEERING INC.  
Casey Najjar P.E.  
3200 N. Federal Hwy | Suite 226  
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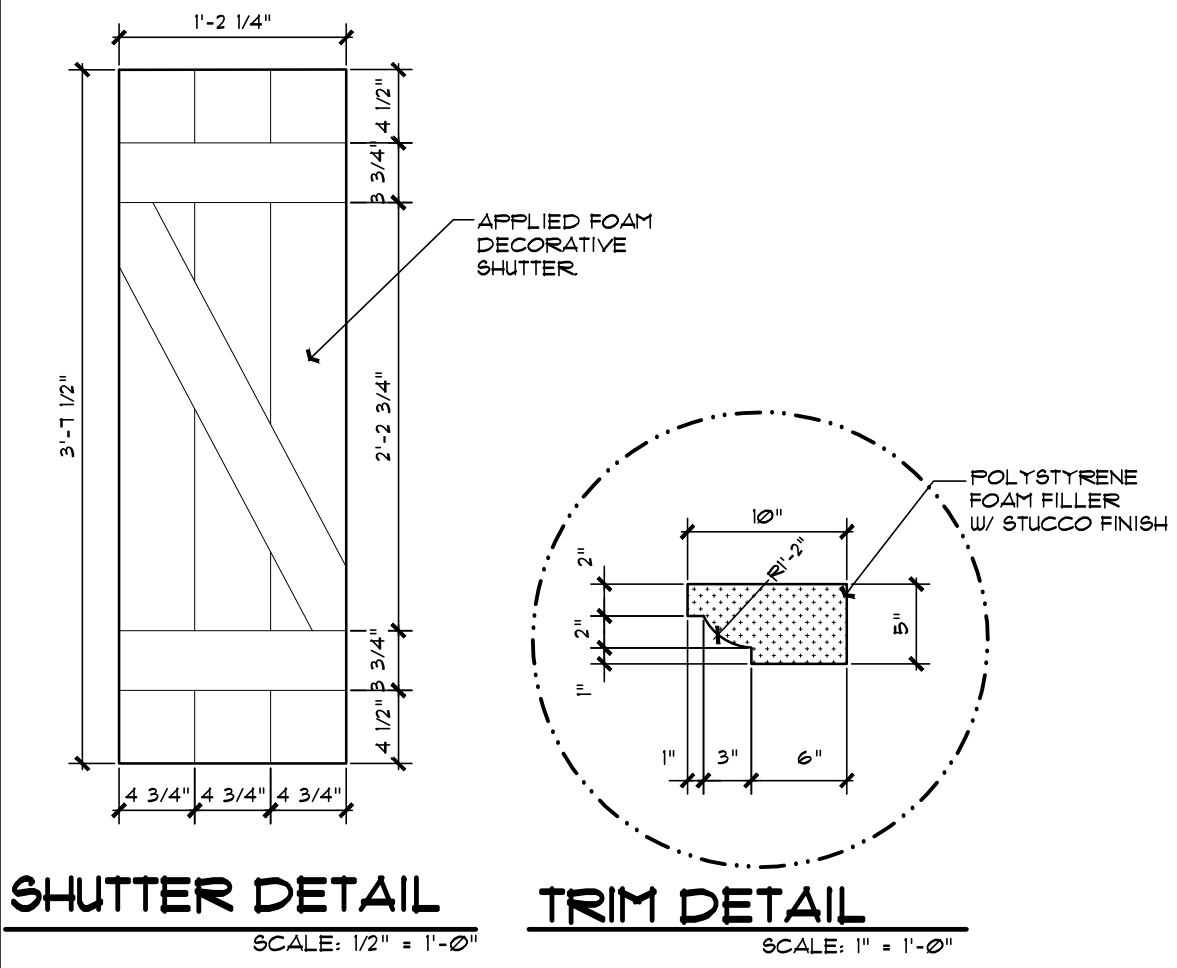
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Sheet #  
**A1.0**  
5 of 18 Sheets



**PARTIAL SITE PLAN**  
KEY PLAN

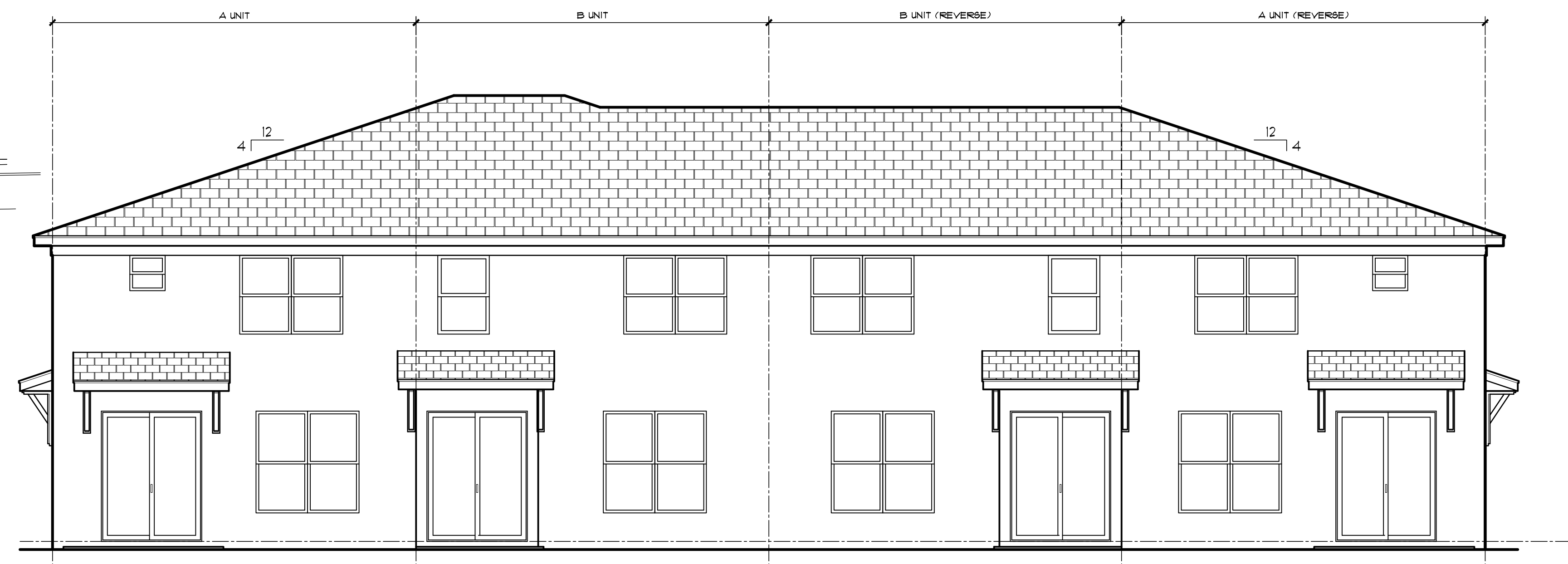


**SHUTTER DETAIL** SCALE: 1/2" = 1'-0"  
**TRIM DETAIL** SCALE: 1" = 1'-0"



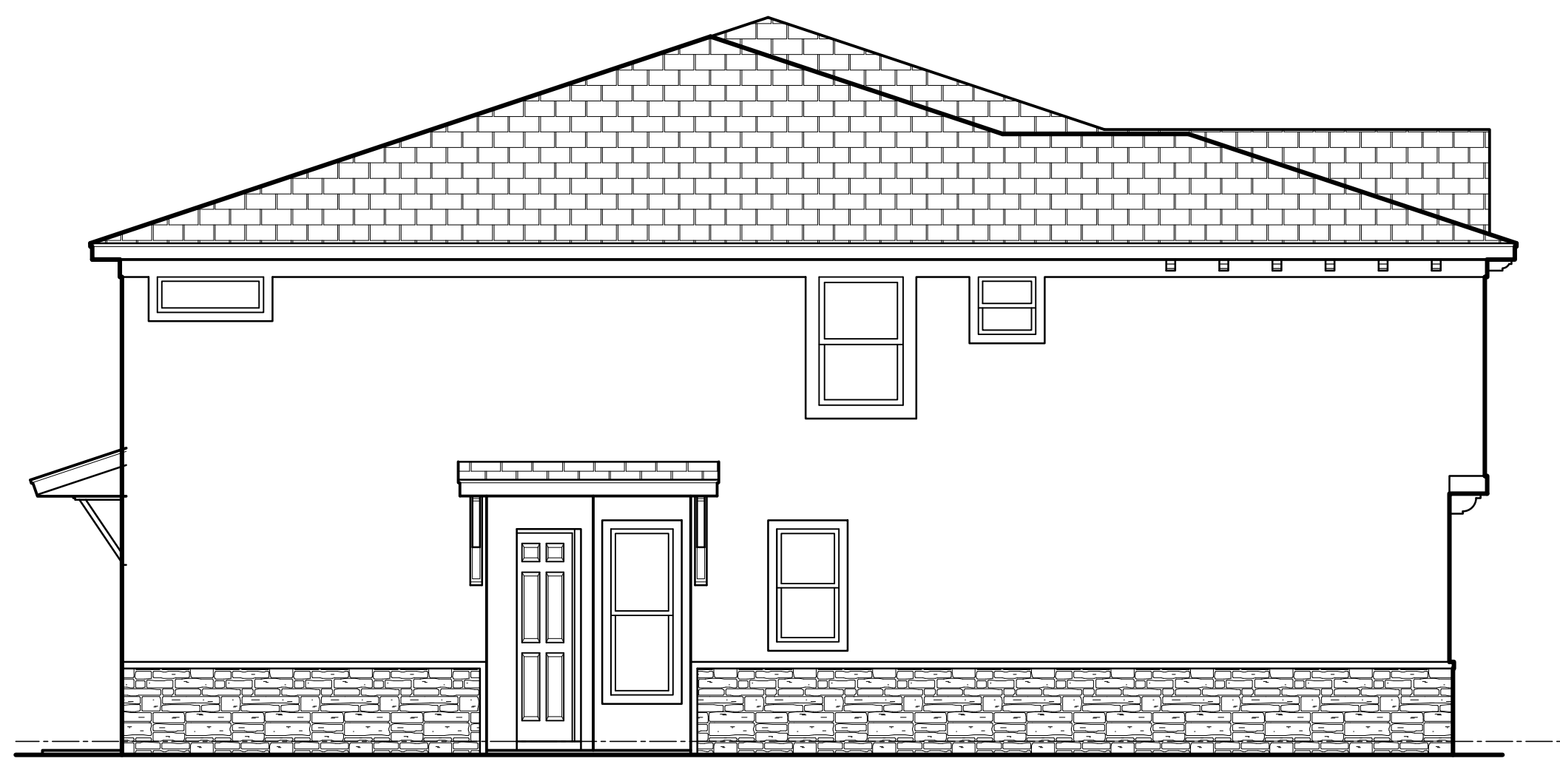
**FRONT ELEVATION NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION WEST ELEVATION**

SCALE: 1/8" = 1'-0"

SCHEME 2	
<b>ROOF SHINGLES</b>	GAJ WEATHERED WOOD
<b>TRIM &amp; COLUMNS</b>	ALABASTER SW7008
<b>BODY</b>	COMFORT GRAY SW9206
<b>FAUX SIDING</b>	ALABASTER SW7008
<b>FRONT DOOR</b>	ROCKWOOD RED SW2802
<b>SHUTTERS</b>	REGATTA SW5517
<b>FASCIA</b>	ALABASTER SW7008
<b>GARAGE DOOR</b>	ALABASTER SW7008
<b>ACCENT STONE</b>	BORAL CULTURED STONE - WINTER HAVEN PRO-FIT ALPINE EGGSTONE

Rev	Date	Document History

**4-UNIT ELEVATIONS**  
**LENNAR®**  
 Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #S

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 Office: 561.362.0237  
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Document Information
Project #: Garden Square
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<b>A2.0</b>
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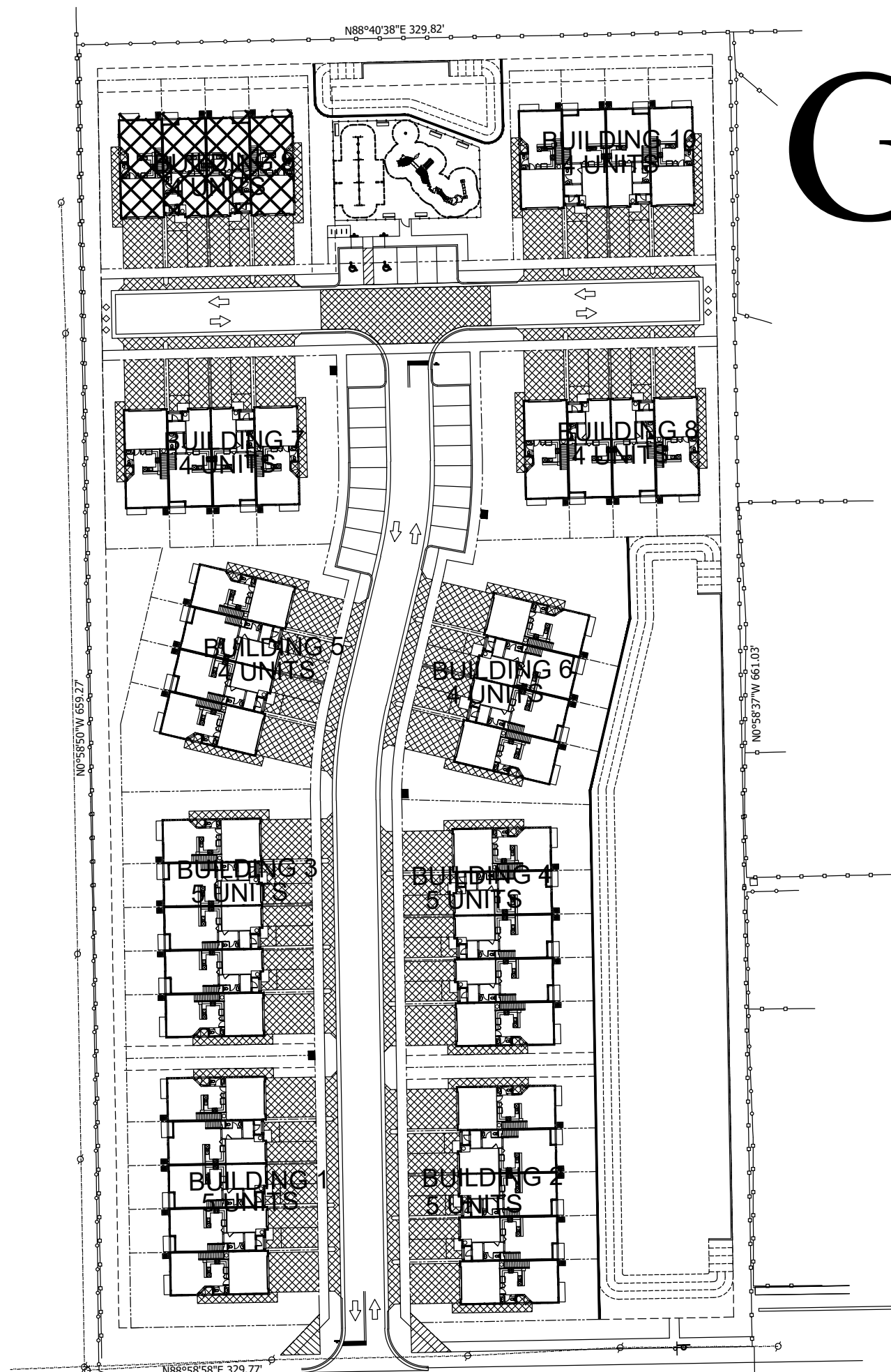
# 4 UNIT BUILDING 9

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
KEY PLAN

DRAWING INDEX	
CS	- COVER SHEET
A1.0	- UNIT MIX PLAN
A2.0	- UNIT EXTERIOR ELEVATIONS

**DESIGN PARAMETERS & ASSUMPTIONS**

CODE EDITION:  
 FLORIDA BUILDING CODE 8th EDITION (2023)  
 THE 8TH EDITION OF THE FLORIDA RESIDENTIAL BUILDING CODE  
 THE NATIONAL ELECTRICAL CODE, NFPA 70-20  
 THIS PLAN COMPLIES WITH THE REQUIREMENTS OF TMS 402-16 AND 602-16,  
 FOR THE DESIGN OF MASONRY STRUCTURES.  
 WIND LOAD PROVISIONS OF ASCE 7-22  
 NFPA FLORIDA FIRE PREVENTION CODE 8TH EDITION

ASCE 7-22 | EXPOSURE CONDITION INDICATE C  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3

RISK FACTOR II:  
 (DETERMINED BY BUILDING USE/ OCCUPANCY,  
 REFER TO ASCE 7-22 TABLE 15-1)

INTERNAL PRESSURE COEFFICIENT:  
+1.0 (ENCLOSED BUILDING)

BASIC WIND VELOCITY PRESSURES:  
 APPROPRIATE POSITIVE / NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN  
 APPLIED TO MAIN WIND FORCE RESISTING SYSTEM AND BUILDING ENVELOPE  
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ROOF TRUSS LIVE LOAD 20 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD 15 PSF FOR TOP CHORD  
 10 PSF FOR BOTTOM CHORD

ROOF TRUSS DEAD LOAD TO RESIST WIND UPLIFT 6 PSF TOTAL

FLOOR TRUSS LOADS (APPLICABLE FOR ALL 2 STORY MODELS):  
 FLOOR TRUSS LIVE LOAD 40 PSF FOR TOP CHORD  
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 10 PSF FOR BOTTOM CHORD

SOIL BEARING CAPACITY 2500 PSF

Rev	Date	Document History

**LENNAR**<sup>®</sup>

Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #5

COVER SHEET

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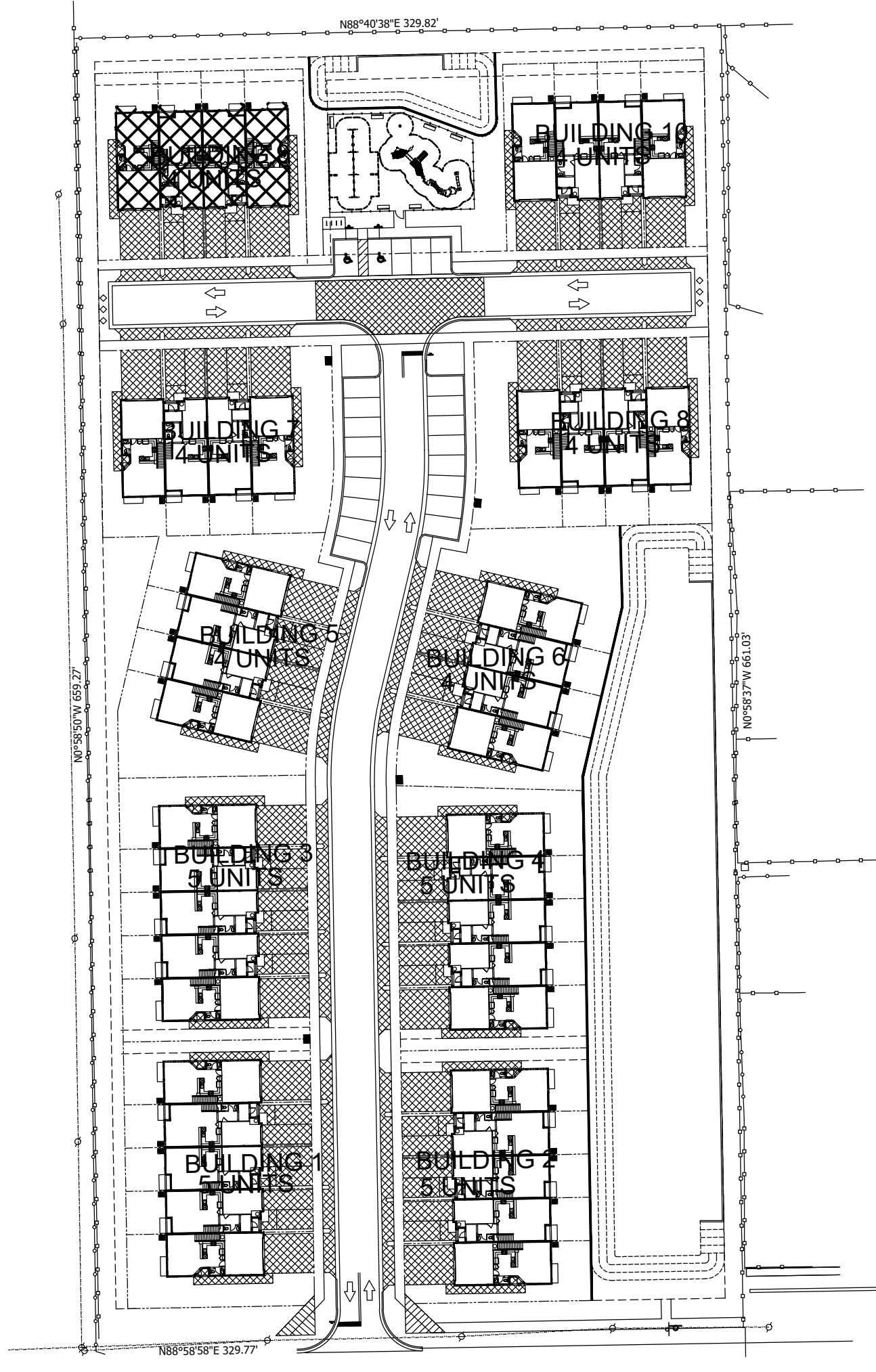
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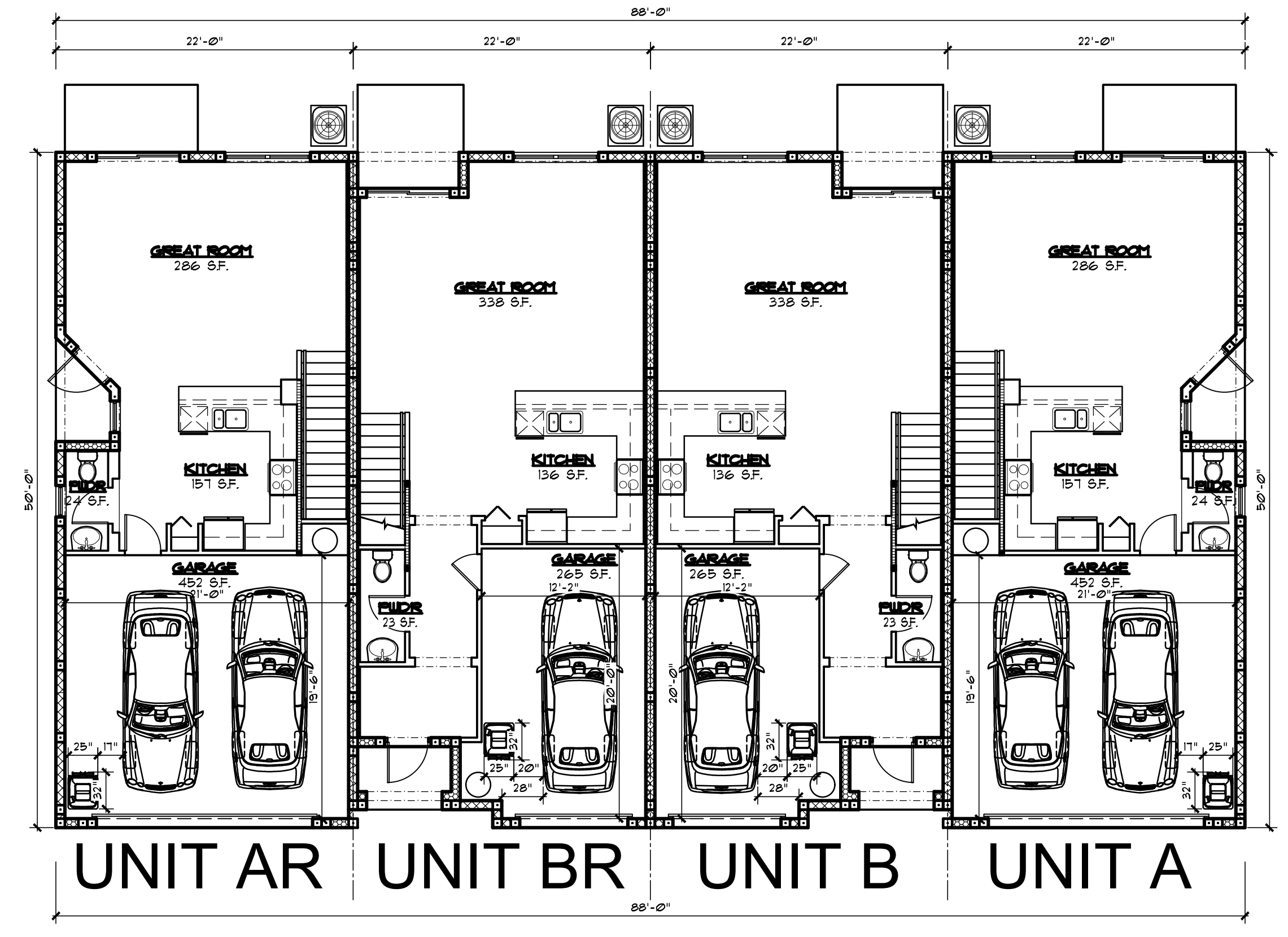
**AREA CALCULATIONS  
UNITS A / AR**

1st FLOOR LIVING:	625 S.F.
2nd FLOOR LIVING:	1129 S.F.
TOTAL LIVING:	1754 S.F.
GARAGE:	452 S.F.
COVERED ENTRY:	23 S.F.
TOTAL:	2229 S.F.

**AREA CALCULATIONS  
UNITS B / BR**

1st FLOOR LIVING:	763 S.F.
2nd FLOOR LIVING:	1086 S.F.
TOTAL LIVING:	1849 S.F.
GARAGE:	265 S.F.
COVERED ENTRY & LANAI:	56 S.F.
TOTAL:	2170 S.F.

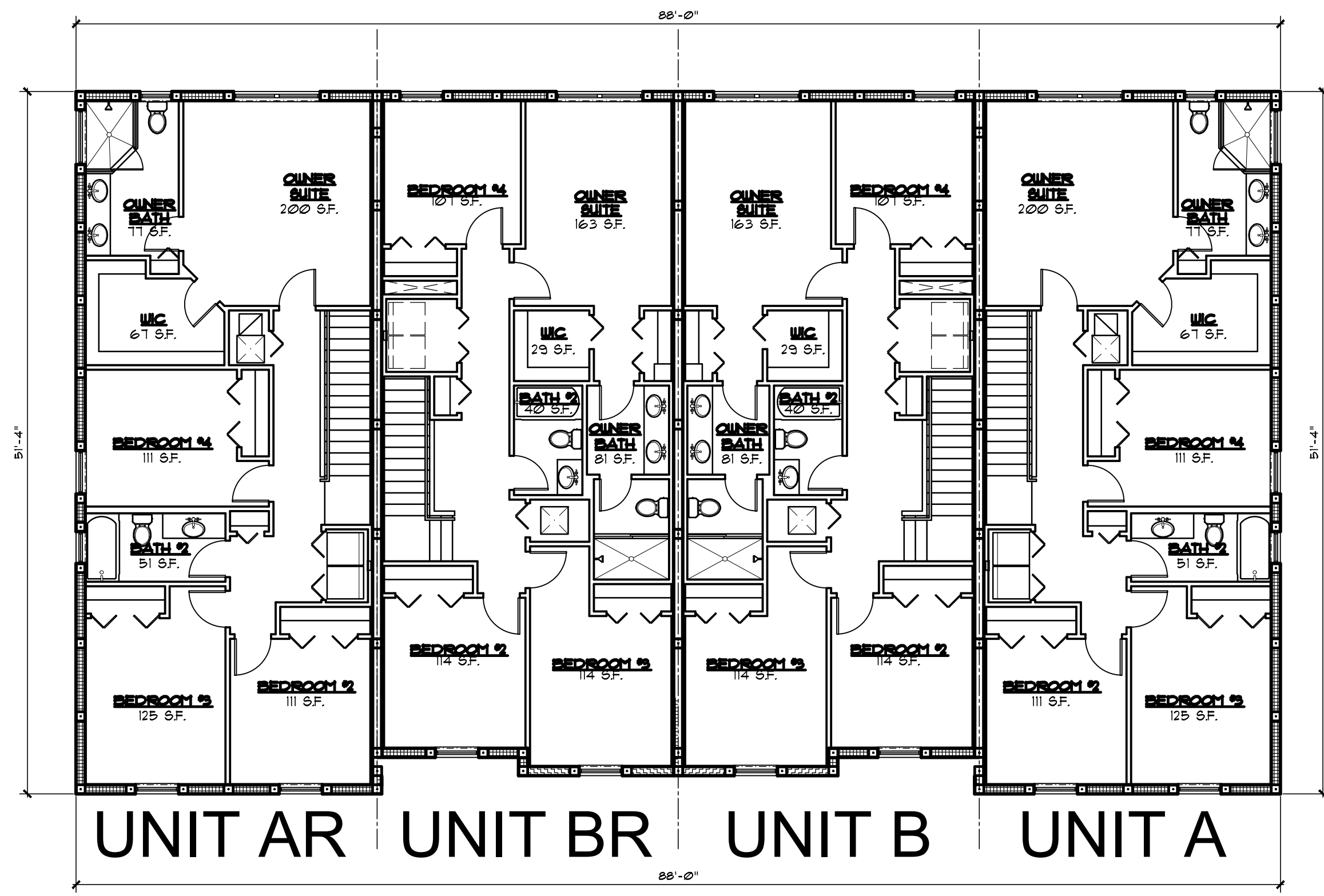
**PARTIAL SITE PLAN**  
KEY PLAN



**UNIT AR | UNIT BR | UNIT B | UNIT A**

**4-UNIT FIRST FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0" N



**UNIT AR | UNIT BR | UNIT B | UNIT A**

**4-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Rev	Date	Document History

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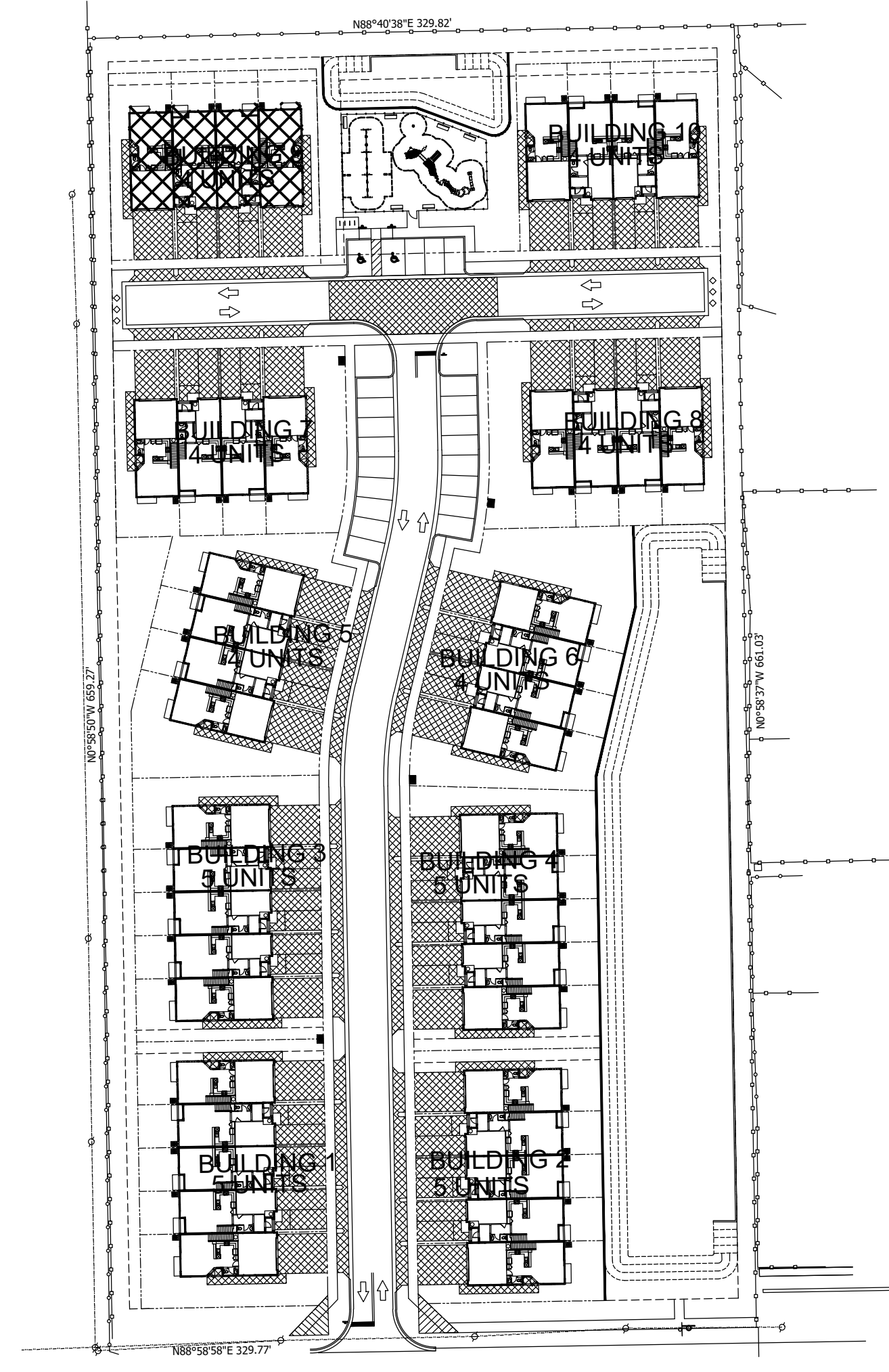
**4-UNIT MIX PLAN**  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot # 5

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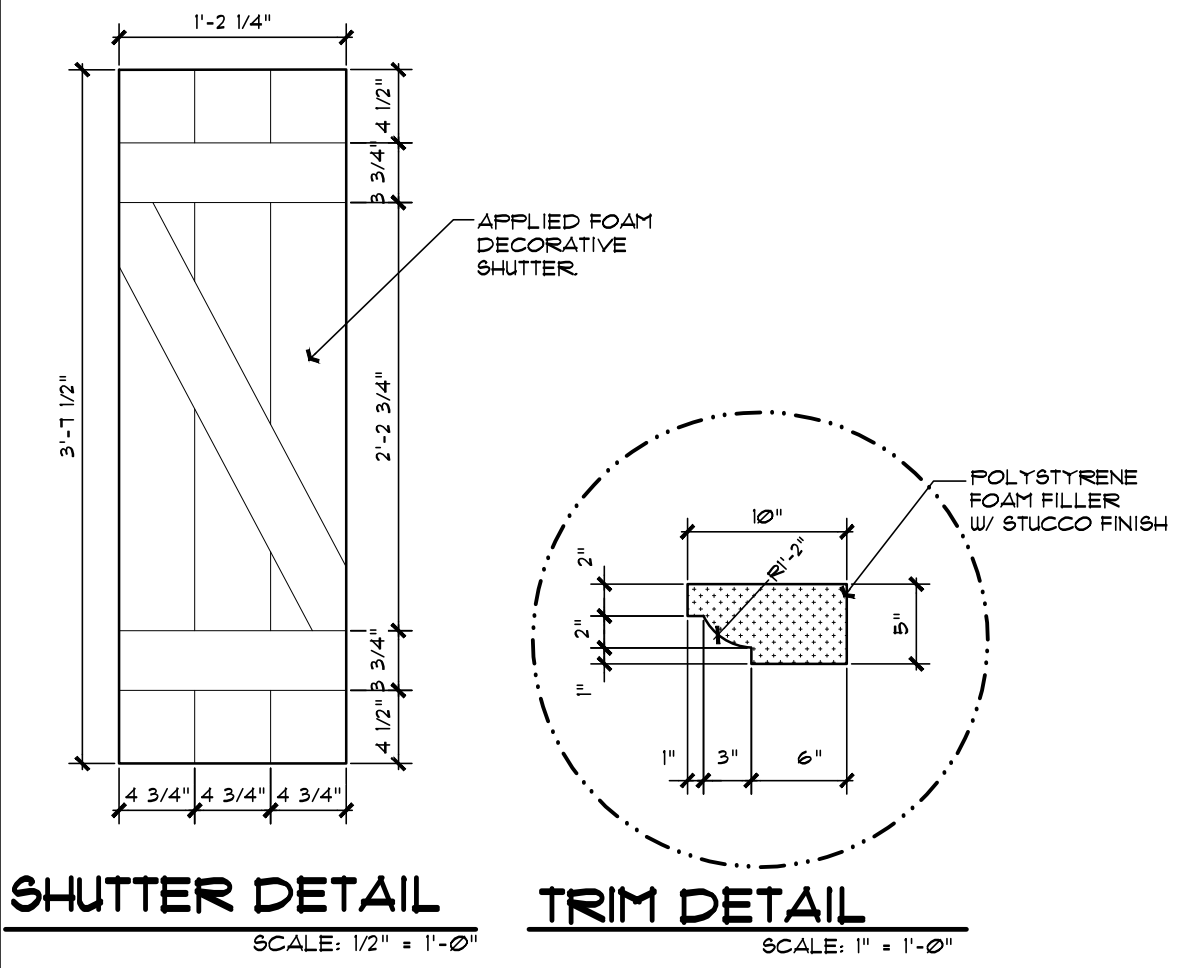
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**A1.0**  
5 of 18 Sheets



**PARTIAL SITE PLAN**  
KEY PLAN



**SHUTTER DETAIL** SCALE: 1/2" = 1'-0"  
**TRIM DETAIL** SCALE: 1" = 1'-0"



**FRONT ELEVATION SOUTH ELEVATION**

SCALE: 1/8" = 1'-0" N



**REAR ELEVATION NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION EAST ELEVATION**

SCHEME 3	
ROOF SHINGLES	GRY WEATHERED WOOD
TRIM & COLUMNS	COTTON WHITE SW7J04
BODY	COTTON WHITE SW7J04
FAUX SIDING	COTTON WHITE SW7J04
FRONT DOOR	BLACK MAGIC SW6991
SHUTTERS	BLACK MAGIC SW6991
FASCIA	COTTON WHITE SW7J04
GARAGE DOOR	COTTON WHITE SW7J04
ACCENT STONE	BORAL CULTURED STONE-WINTER HAVEN PRO-FIT ALPINE EDGESTONE

Rev	Date	Document History

**LENNAR**  
4-UNIT ELEVATIONS  
Garden Square Townhouse Development  
Plan A = 1752 | Plan B = 1814  
Lot #:

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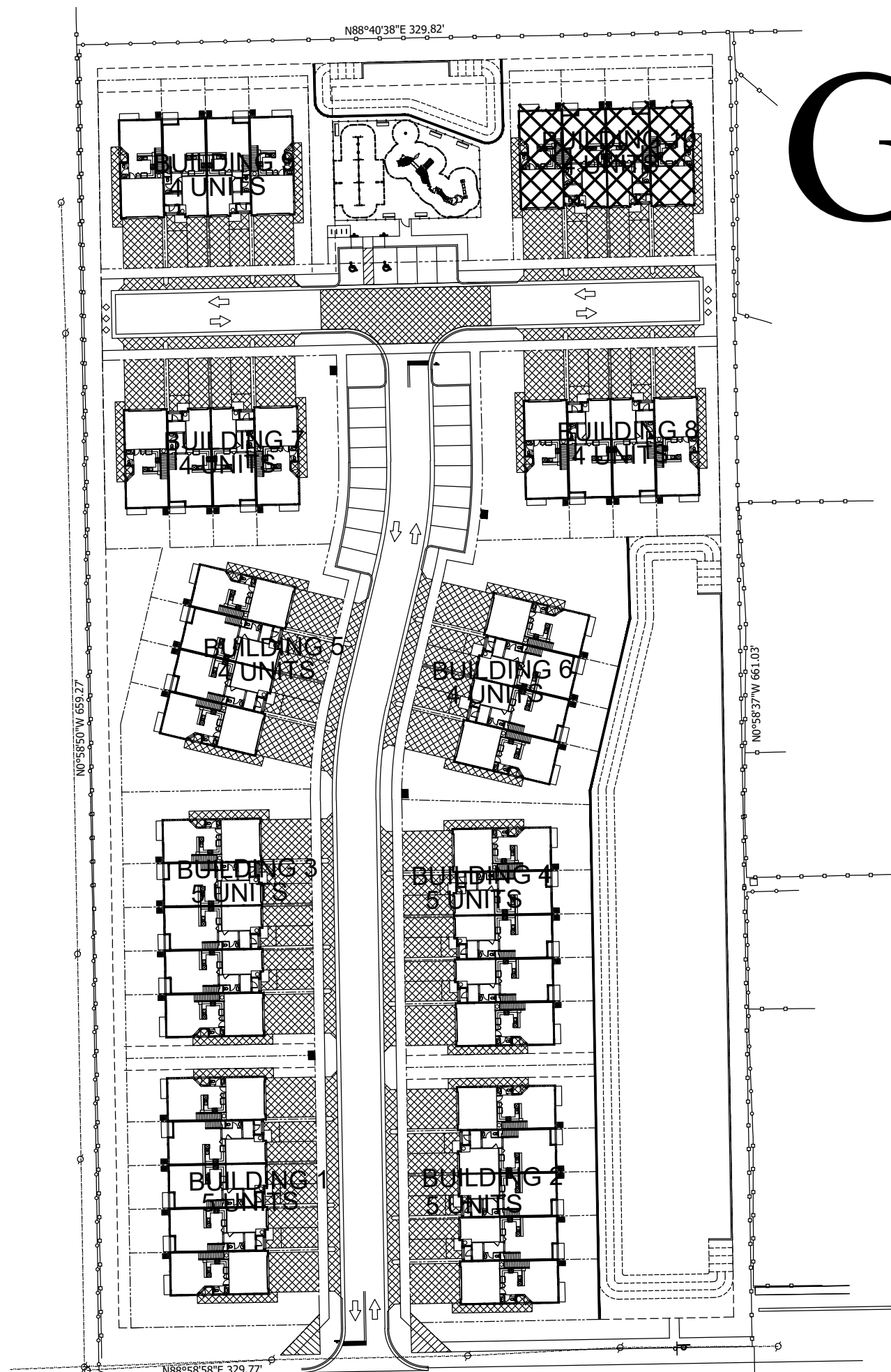
# 4 UNIT BUILDING 10

# GARDEN SQUARE

# TOWNHOUSE

# DEVELOPMENT

## GREENACRES, FLORIDA



**PARTIAL SITE PLAN**  
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SOIL BEARING CAPACITY 2500 PSF

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Garden Square Townhouse Development  
 Plan A = 1752 | Plan B = 1814  
 Lot #5

COVER SHEET

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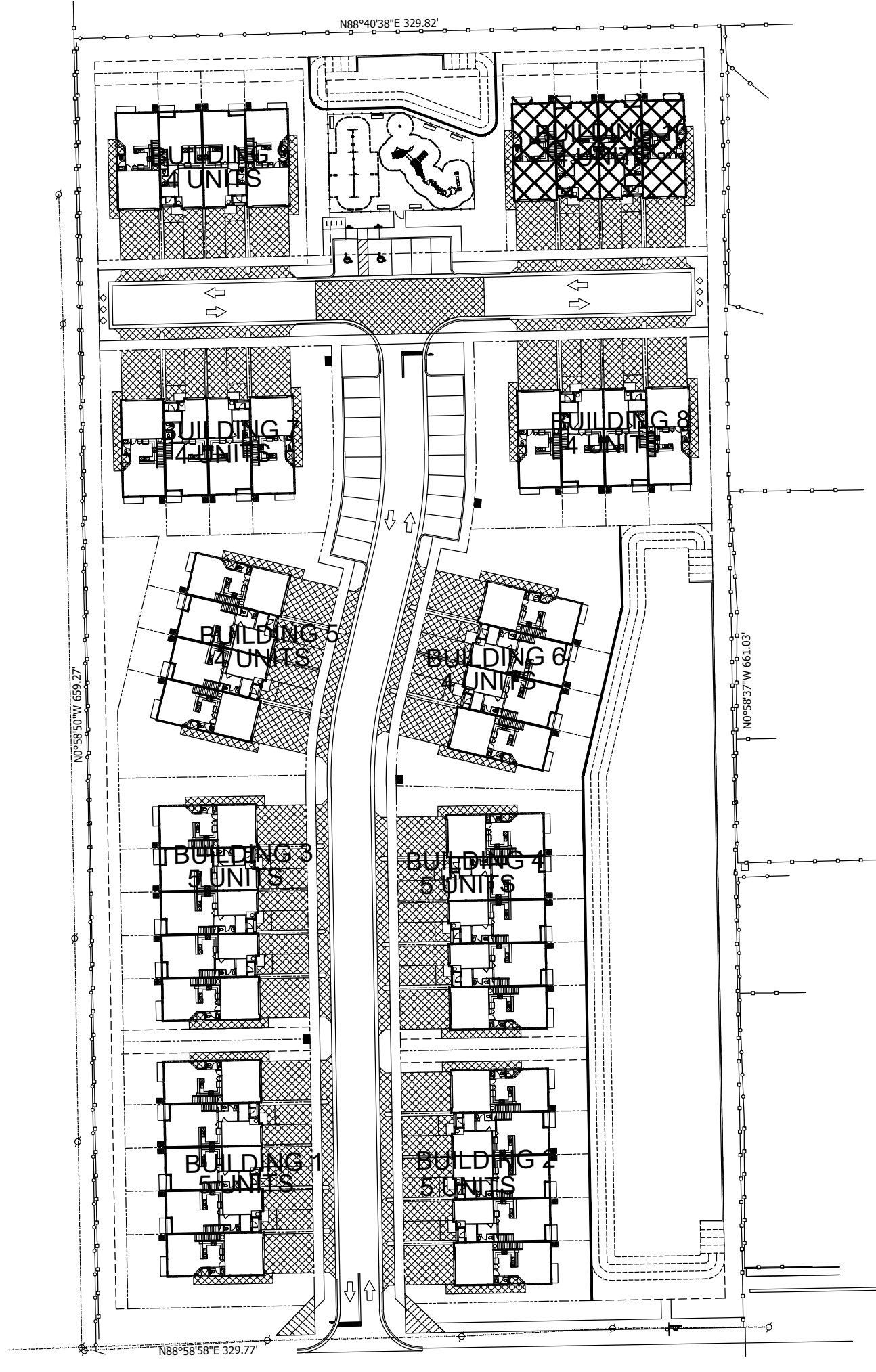
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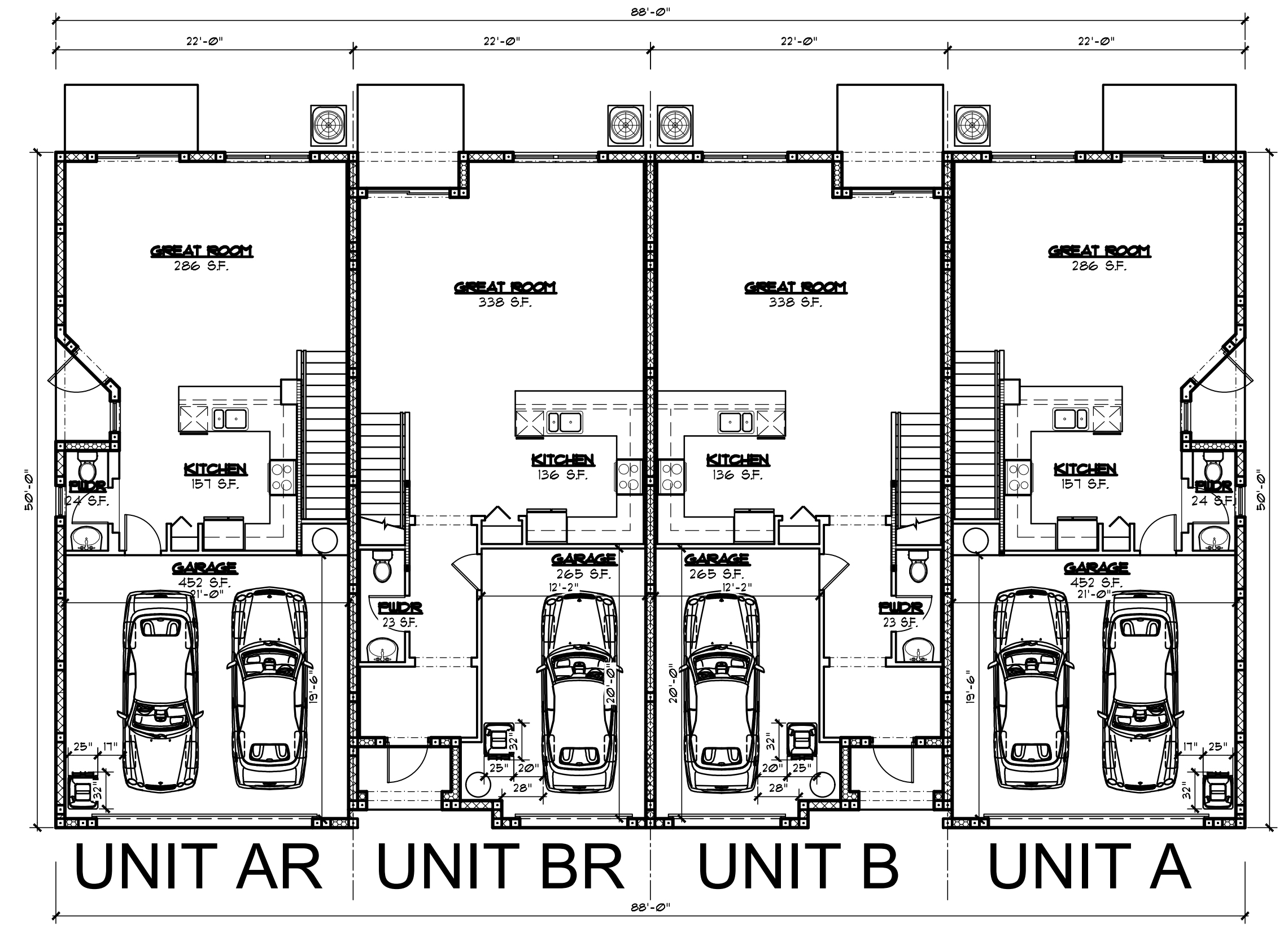
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TOTAL:	2229 S.F.

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UNITS B / BR**

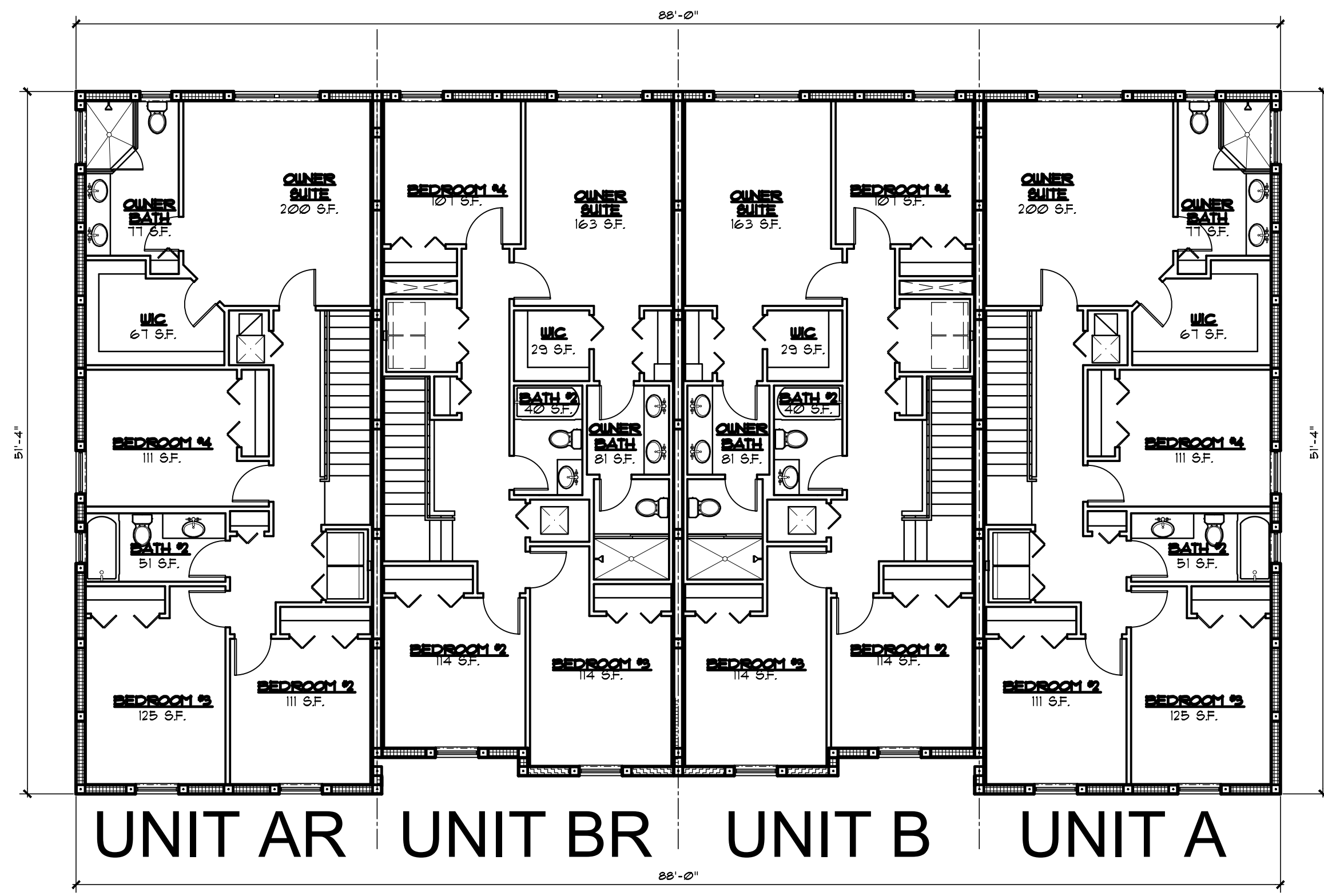
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TOTAL LIVING:	1849 S.F.
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TOTAL:	2170 S.F.

**PARTIAL SITE PLAN**  
KEY PLAN



**4-UNIT FIRST FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0" N



**4-UNIT SECOND FLOOR MIX PLAN**

SCALE: 1/8" = 1'-0"

Rev	Date	Document History

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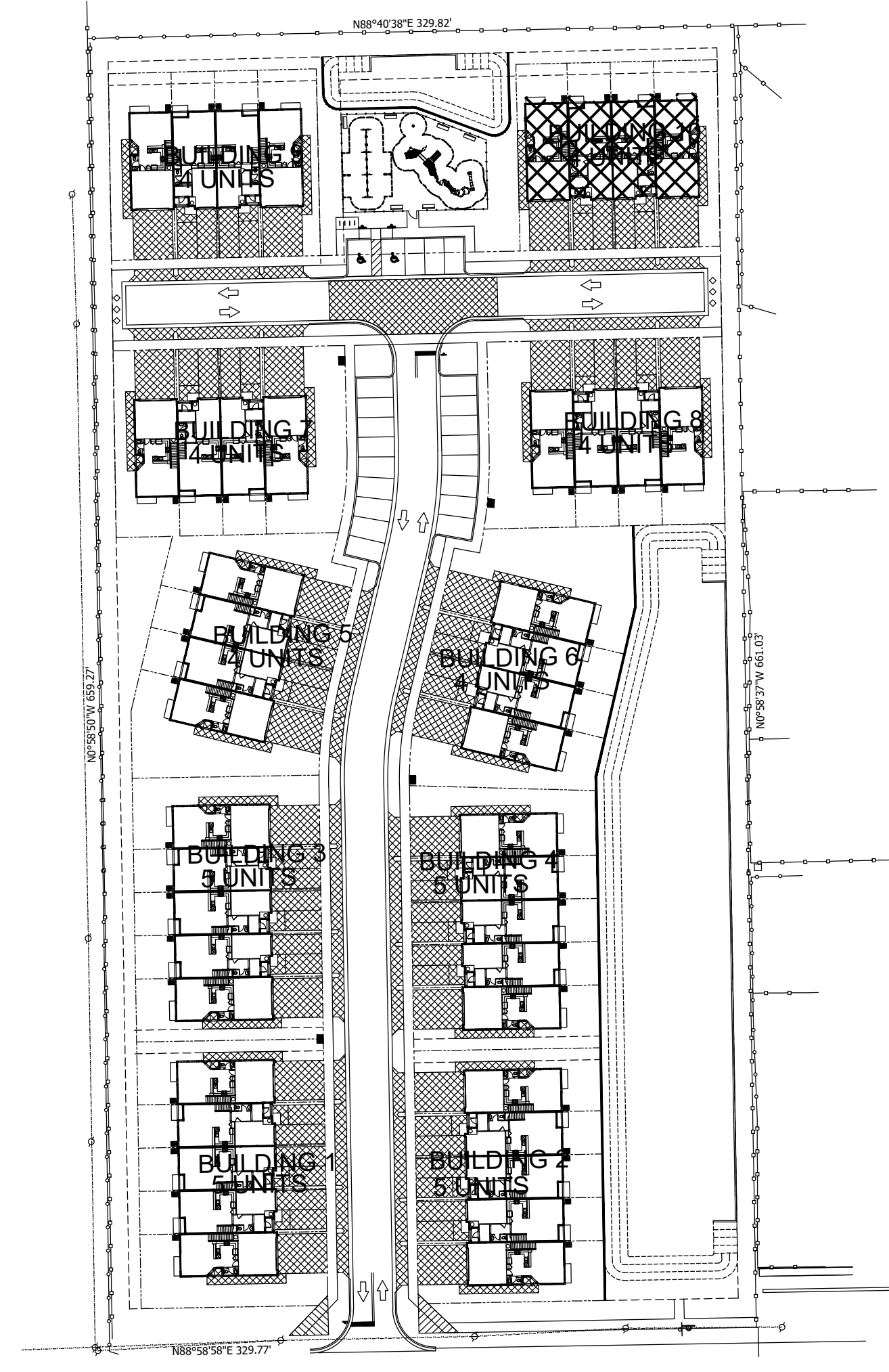
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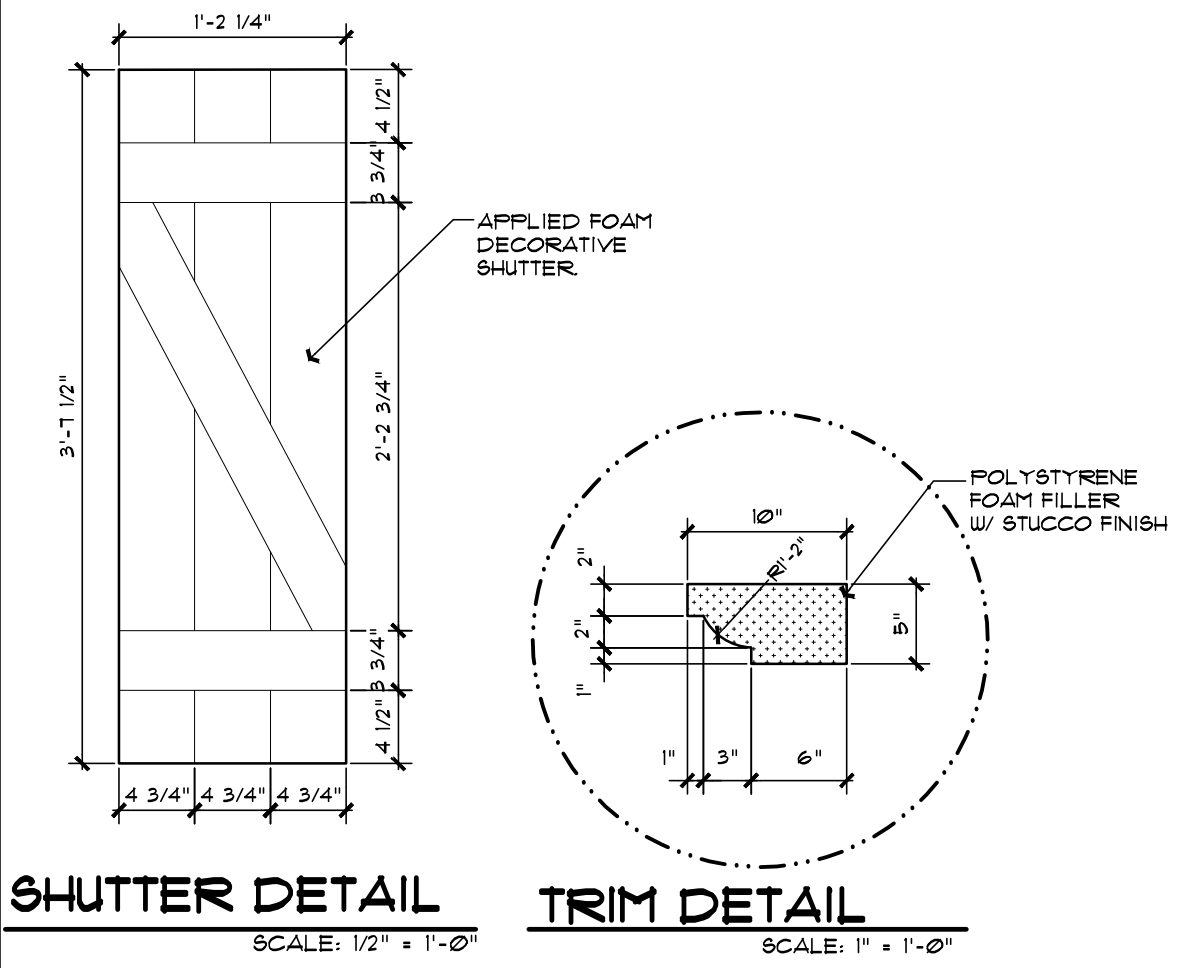
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5 of 18 Sheets



**SCHEME 1**

<b>ROOF SHINGLES</b>	GRAY WEATHERED WOOD
<b>TRIM &amp; COLUMNS</b>	PAPERWHITE SW7105
<b>BODY</b>	PEARL GRAY SW9052
<b>FAUX SIDING</b>	WHITE HYACINTH SW0046
<b>FRONT DOOR</b>	WHITE HYACINTH SW0046
<b>SHUTTERS</b>	SEAWORTHY SW7930
<b>FASCIA</b>	WHITE HYACINTH SW0046
<b>GARAGE DOOR</b>	WHITE HYACINTH SW0046
<b>ACCENT STONE</b>	BORAL CULTURED STONE-WINTER HAVEN PRO-FIT ALPINE EDGESTONE



Rev	Date	Document History

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4-UNIT ELEVATIONS  
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Lot #:

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6 of 18 Sheets



## ITEM SUMMARY

**MEETING DATE:** April 7, 2025

**FROM:** Denise Malone, AICP, Director Development and Neighborhood Services

**SUBJECT:** **Preliminary Plat (PLT-24-01) Approval for C&C Legacy Plaza  
Resolution 2025-12**

### BACKGROUND

This item seeks approval of a Preliminary Plat (PLT-24-01) application for C&C Legacy Plaza to be located on the east side of Jog Road, approximately 650 feet north of Woodlake Boulevard. The project will consist of a one-story 2,598 square foot office building and three (3) two-story townhouse residential units. The Preliminary Plat was submitted pursuant to the requirements of the City Code and is consistent with the Site and Development Plans (SP-24-01) that were approved by the City Council on September 16, 2024.

### ANALYSIS

The Preliminary Plat was reviewed by the City's Consulting Engineer and Surveyor. The review indicates that the attached Preliminary Plat accurately reflects the Site and Development Plans (SP-24-01) and complies with the City's Chapter 12, Subdivision and Land Development Regulations and Chapter 177, Florida Statutes.

### FINANCIAL INFORMATION

Prior to the issuance of any residential Building Permits, the developer is required to pay the Parks and Recreation fee and the Government Services fee, either as a one-time lump sum payment or as a portion per unit prior to the issuance of each building permit, in accordance with the respective Parks & Recreation and Government Services sections contained in Article IV of the Subdivision and Land Development Regulations. Prior to the approval of the Final Plat, the developer must provide both the property's purchase price or an appraisal. The Parks and Recreation fee and the Government Services fee will be based on the greater of the two amounts. Additionally, the development is required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201 prior to the issuance of any non-residential building permits.

### LEGAL

The Preliminary Plat has been reviewed in accordance with the requirements of Chapter 12, Subdivision and Land Development Regulations and Chapter 177, Florida Statutes. The document has been reviewed for legal sufficiency.

### STAFF RECOMMENDATION

*Approval of the Preliminary Plat for C&C Legacy Plaza through Resolution 2025-12.*

**RESOLUTION NO. 2025-12**

**A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA APPROVING THE C&C LEGACY PLAZA PRELIMINARY PLAT, BEING A PARCEL OF LAND LYING WITHIN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Applicant, Steven Gaynair of Nest Plans, agent for the property owners, C&C Petro Investments LLC, has requested approval for the Preliminary Plat of C&C Legacy Plaza, being a portion of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of the Northeast Quarter (NE 1/4) of Section 22, Township 44 South, Range 42 East, City of Greenacres, Palm Beach County, Florida, containing approximately 0.78 acres as described in Exhibit "A", attached hereto; and

**WHEREAS**, the Preliminary Plat has been reviewed by a Professional Surveyor and Mapper for the City of Greenacres, and said Surveyor and Mapper has found the Preliminary Plat to be consistent with the requirements under Florida Statutes, Chapter 177; and

**WHEREAS**, Section 12-43 of the Code of Ordinances of the City of Greenacres provides for the approval of Preliminary Plats by the City Council; and

**WHEREAS**, the City Council desires to approve the C&C Legacy Plaza Preliminary Plat.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AS FOLLOWS:**

**Section 1.** The foregoing "Whereas" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution upon adoption hereof.

**Section 2.** The City Council finds that the C&C Legacy Plaza Preliminary Plat application is consistent with the City's Comprehensive Plan and the City's Land Development Regulations.

**Section 3.** The City Council for the City of Greenacres hereby approves the preliminary plat, "Exhibit A", containing approximately 0.78 acres, which is located in the City of Greenacres, Palm Beach County, Florida.

**Section 4.** The associated Preliminary Plat sheets are attached hereto and made a part of this resolution as Exhibit "A".

**Section 5. Repeal of Conflicting Resolutions**

All resolutions or parts thereof in conflict with this resolution are hereby repealed to the extent of such conflict.

**Section 6. Severability**

If any clause, section, other part or application of this Resolution is held by any court of competent jurisdiction to be unconstitutional or invalid, in part or application, it shall not affect the validity of the remaining portions or applications of this Resolution.

**Section 7. Effective Date**

The provisions of this Resolution shall become effective upon adoption.

**RESOLVED AND ADOPTED on this 7 day of April, 2025.**

\_\_\_\_\_  
**Chuck Shaw**, Mayor

\_\_\_\_\_  
*Voted:*  
**Judith Dugo**, Deputy Mayor

**Attest:**

\_\_\_\_\_  
**Quintella Moorer**, City Clerk

\_\_\_\_\_  
*Voted:*  
**John Tharp**, Council Member, *District I*

\_\_\_\_\_  
*Voted:*  
**Peter Noble**, Council Member, *District II*

\_\_\_\_\_  
*Voted:*  
**Susy Diaz**, Council Member, *District IV*

\_\_\_\_\_  
*Voted:*  
**Paula Bousquet**, Council Member, *District V*

**Approved as to Form and Legal Sufficiency:**

\_\_\_\_\_  
**Glen J. Torcivia**, City Attorney

# C&C LEGACY PLAZA

## A SUBDIVISION OF A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA.

### DEDICATION AND RESERVATIONS:

KNOW ALL MEN BY THESE PRESENTS THAT C&C PETRO-INVESTMENTS LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LAND SHOWN HEREON AS "C&C LEGACY PLAZA", BEING A SUBDIVISION OF A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE SOUTH 132 FEET OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, LESS THEREFROM THE WEST 80 FEET FOR THE RIGHT-OF-WAY OF JOG ROAD.

SAID LANDS LYING AND BEING IN THE CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA AND CONTAINING 0.783 ACRES, MORE OR LESS.

HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DEDICATE AND RESERVE AS FOLLOWS:

1. TRACT "A" AS SHOWN HEREON, IS HEREBY RESERVED FOR C&C PETRO-INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS, FOR PURPOSES CONSISTENT WITH THE ZONING REGULATIONS OF CITY OF GREENACRES, FLORIDA, AND THE PERPETUAL MAINTENANCE OBLIGATION OF C&C LEGACY PLAZA PROPERTY OWNERS' ASSOCIATION, INC., ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE CITY OF GREENACRES.

2. THE LIMITED ACCESS EASEMENTS AS SHOWN HERE ARE HEREBY DEDICATED TO THE CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA FOR THE CONTROL AND JURISDICTION OVER ACCESS RIGHTS.

3. THE CANAL MAINTENANCE EASEMENT AS SHOWN HEREON IS RESERVED FOR THE LAKE WORTH DRAINAGE DISTRICT, FOR ACCESS TO WATER MANAGEMENT AND DRAINAGE FACILITIES.

4. THE DRAINAGE EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED IN PERPETUITY FOR DRAINAGE PURPOSES. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED THEREIN SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF C&C LEGACY PLAZA PROPERTY OWNERS' ASSOCIATION, INC., ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE CITY OF GREENACRES.

THE CITY OF GREENACRES, SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO CONSTRUCT AND MAINTAIN ANY PORTION OF THE DRAINAGE SYSTEM ENCOMPASSED BY THIS PLAT WHICH IS ASSOCIATED WITH THE DRAINAGE OF PUBLIC STREETS, INCLUDING THE RIGHT TO UTILIZE FOR PROPER PURPOSES ANY AND ALL DRAINAGE, LAKE MAINTENANCE, AND LAKE MAINTENANCE ACCESS EASEMENTS, AND PRIVATE STREETS ASSOCIATED WITH SAID DRAINAGE SYSTEM.

5. THE ACCESS EASEMENT, AS SHOWN HEREON, IS HEREBY RESERVED FOR THE C&C LEGACY PLAZA PROPERTY OWNERS' ASSOCIATION, INC., ITS SUCCESSORS AND ASSIGNS, FOR PRIVATE STREET PURPOSES AND OTHER PURPOSES NOT INCONSISTENT WITH THIS RESERVATION AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE CITY OF GREENACRES.

6. THE LIFT STATION EASEMENT IDENTIFIED ON THE PLAT HEREON IS AN EXCLUSIVE EASEMENT AND IS HEREBY DEDICATED IN PERPETUITY TO PALM BEACH COUNTY, ITS SUCCESSORS AND ASSIGNS, FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, EXPANSION AND REPLACEMENT OF A WASTEWATER LIFT STATION AND RELATED APPURTENANCES. THE EASEMENT MAY BE FENCED IN BY PALM BEACH COUNTY FOR ACCESS CONTROL PURPOSES. THE MAINTENANCE OF THE UNFENCED PORTIONS OF THE LAND UNDERLYING THE EASEMENT SHALL BE THE PERPETUAL OBLIGATION OF THE C&C LEGACY PLAZA PROPERTY OWNERS' ASSOCIATION, INC. IF OTHERWISE APPROVED BY PALM BEACH COUNTY, NO BUILDINGS, STRUCTURES, IMPROVEMENTS, TREES, WALLS OR FENCES SHALL BE INSTALLED WITHIN THIS EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT, ITS SUCCESSORS AND ASSIGNS.

7. THE UTILITY EASEMENT AS SHOWN HEREON, IS A NONEXCLUSIVE EASEMENT AND IS HEREBY DEDICATED IN PERPETUITY FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, EXPANSION AND REPLACEMENT OF UTILITIES, INCLUDING, BUT NOT LIMITED TO, POTABLE WATER PIPELINES, RAW WATER PIPELINES, WASTEWATER PIPELINES, RECLAIMED WATER PIPELINES, ELECTRIC POWER LINES, TELECOMMUNICATIONS LINES, CABLE TELEVISION LINES, GAS LINES, AND RELATED APPURTENANCES. THE INSTALLATION OF CABLE TELEVISION SYSTEMS SHALL NOT INTERFERE WITH THE CONSTRUCTION AND MAINTENANCE OF OTHER UTILITIES. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. IF OTHERWISE APPROVED BY PALM BEACH COUNTY, NO BUILDINGS, STRUCTURES, IMPROVEMENTS, TREES, WALLS OR FENCES SHALL BE INSTALLED WITHIN THESE EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT, ITS SUCCESSORS AND ASSIGNS.

IN WITNESS WHEREOF, THE ABOVE-NAMED COMPANY HAS CAUSED THESE PRESENT TO BE SIGNED BY ITS AUTHORIZED REPRESENTATIVE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

WITNESS: \_\_\_\_\_ C&C PETRO-INVESTMENTS LLC  
(SIGNATURE) A FLORIDA LIMITED LIABILITY COMPANY  
PRINT NAME: \_\_\_\_\_ BY: CLARA GONZALEZ  
MANAGER

WITNESS: \_\_\_\_\_  
(SIGNATURE)  
PRINT NAME: \_\_\_\_\_

### ACKNOWLEDGMENT:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF [ ] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_, BY CLARA GONZALEZ, AS MANAGER OF C&C PETRO-INVESTMENTS LLC, A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY, WHO IS [ ] PERSONALLY KNOWN TO ME OR [ ] HAS PRODUCED \_\_\_\_\_ AS IDENTIFICATION.

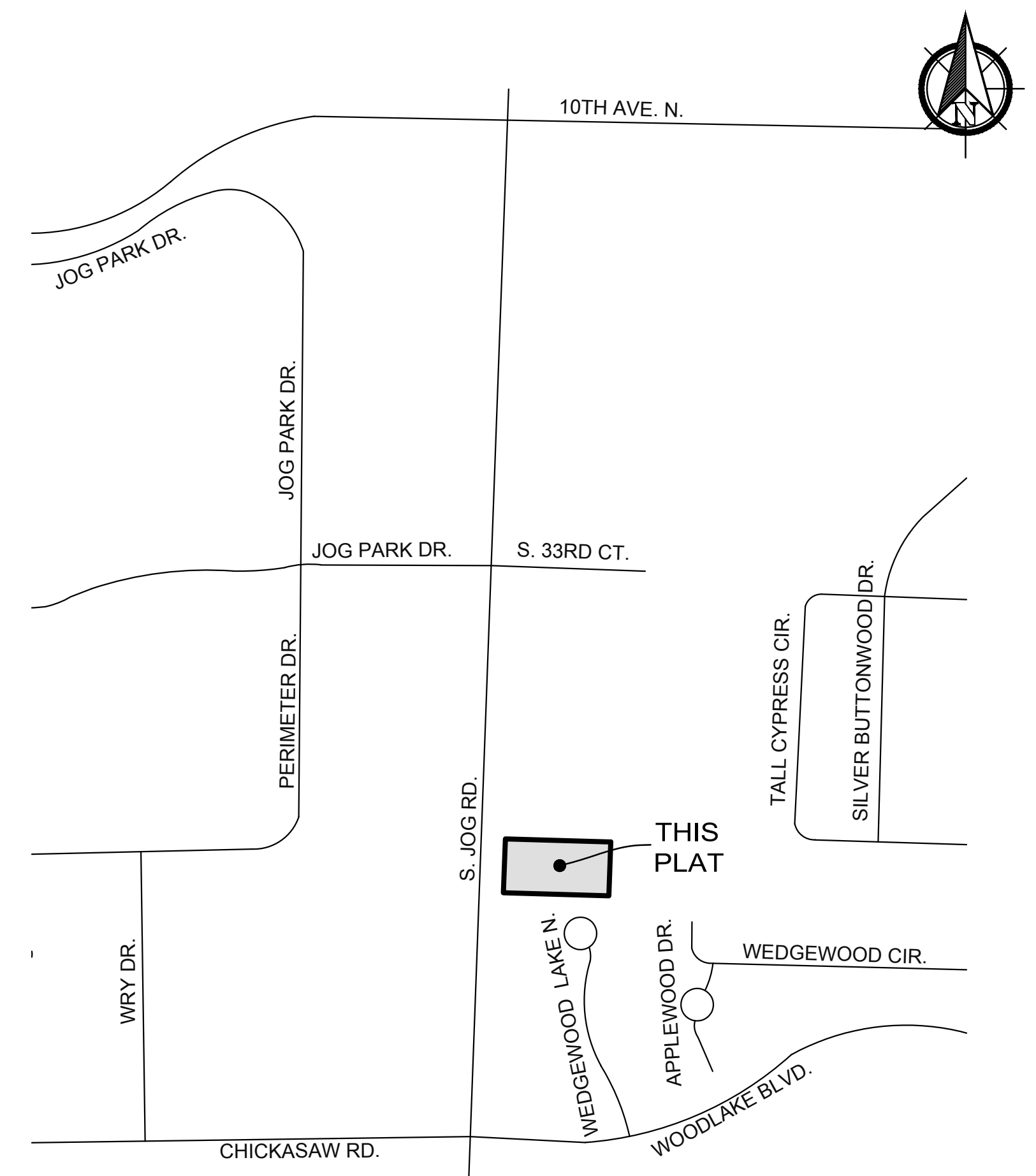
MY COMMISSION EXPIRES: \_\_\_\_\_  
SIGNATURE - NOTARY PUBLIC \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_

THIS INSTRUMENT WAS PREPARED BY  
JOHN F. PULICE OF

### PULICE LAND SURVEYORS, INC.

CERTIFICATE OF AUTHORIZATION NO. LB3870  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351

JULY 2024



LOCATION MAP  
NOT TO SCALE

### TITLE CERTIFICATION:

STATE OF FLORIDA )  
COUNTY OF PALM BEACH ) ss

I, \_\_\_\_\_, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED IN C&C PETRO-INVESTMENTS LLC, A FLORIDA LIMITED LIABILITY COMPANY; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
NAME: \_\_\_\_\_ ATTORNEY AT LAW LICENSED IN FLORIDA  
FLORIDA BAR NUMBER \_\_\_\_\_

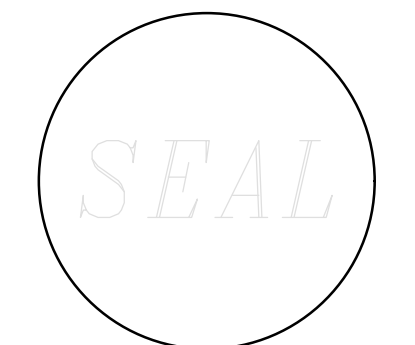
STATE OF FLORIDA  
COUNTY OF PALM BEACH

THIS PLAT WAS FILED FOR RECORD AT \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND DULY RECORDED IN PLAT BOOK \_\_\_\_\_, ON PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_.

JOSEPH ABRUZZO, CLERK OF THE CIRCUIT COURT & COMPTROLLER

BY: \_\_\_\_\_  
DEPUTY CLERK

SHEET 1 OF 2 SHEETS



CLERK OF THE CIRCUIT COURT & COMPTROLLER

### NOTES:

- NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT WRITTEN CONSENT OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE COUNTY APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENTS.
- IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY USE RIGHTS GRANTED.
- BUILDING SETBACK LINES SHALL BE AS REQUIRED BY CURRENT CITY OF GREENACRES ZONING REGULATIONS.
- ALL RECORDED DOCUMENTS ARE PER PALM BEACH COUNTY PUBLIC RECORDS, FLORIDA.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FLORIDA EAST ZONE, HAVING A REFERENCE BEARING OF NORTH 02°07'04" EAST ALONG A LINE BETWEEN TWO FOUND PERMANENT REFERENCE MONUMENTS 1.00' OFFSET EAST OF THE EAST LINE OF TRACT "A", ARBOR OAKS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 86, PAGE 9 IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

### CITY OF GREENACRES APPROVAL:

THIS PLAT OF "C&C LEGACY PLAZA" IS HEREBY APPROVED FOR RECORD PURSUANT TO THE ORDINANCES OF THE CITY OF GREENACRES, FLORIDA, AND IN ACCORDANCE WITH CHAPTER 12, LAND DEVELOPMENT REGULATIONS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

THIS PLAT IS HEREBY APPROVED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

BY: \_\_\_\_\_  
CHUCK SHAW, MAYOR

BY: \_\_\_\_\_  
ANDREA McCUE, CITY MANAGER

BY: \_\_\_\_\_  
PATRICK J. GIBNEY, CITY ENGINEER

ATTEST (AS TO BOTH): \_\_\_\_\_  
QUINTELLA MOORER, CMC, CITY CLERK

### REVIEWING SURVEYOR

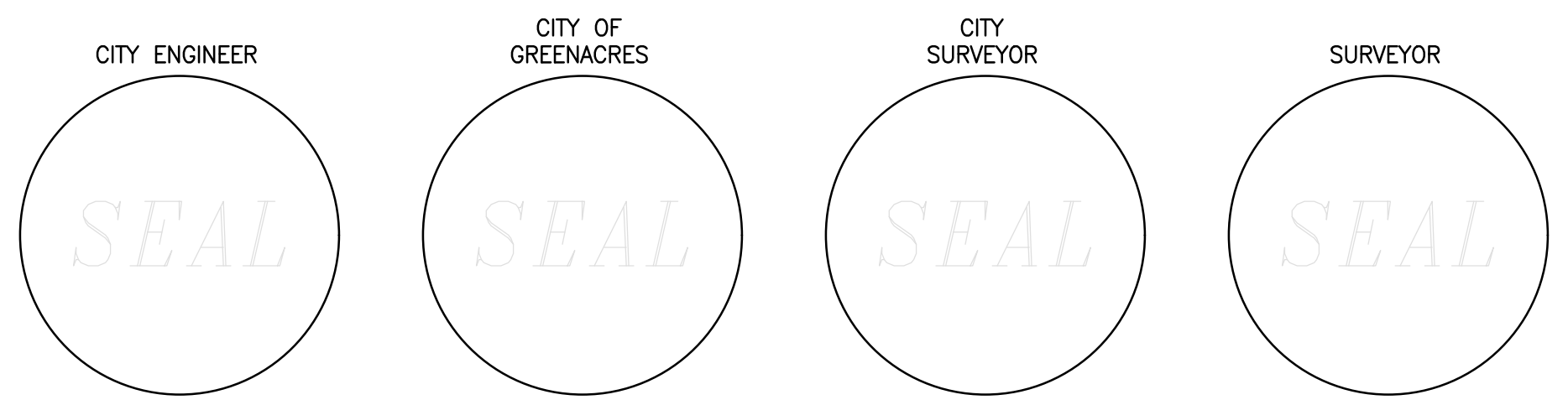
IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED PROFESSIONAL SURVEYOR FOR THE CITY OF GREENACRES AND DULY LICENSED IN THE STATE OF FLORIDA, HAS REVIEWED THE PLAT FOR CONFORMITY WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES.

DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
NAME: RAYMOND YOUNG  
FLORIDA REGISTRATION NO. 5799  
FIRM: CRAVEN THOMPSON & ASSOCIATES, INC.  
ADDRESS: 3563 N.W. 53RD STREET, FORT LAUDERDALE, FL. 33309  
CERTIFICATE OF AUTHORIZATION NO. LB 271

### SURVEYOR AND MAPPER'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.'S") HAVE BEEN PLACED AS REQUIRED BY LAW; AND FURTHER THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND ORDINANCES OF THE CITY OF GREENACRES, FLORIDA.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
JOHN F. PULICE PROFESSIONAL SURVEYOR AND MAPPER NO. LS2691  
STATE OF FLORIDA  
PULICE LAND SURVEYORS, INC.  
5381 NOB HILL ROAD  
SUNRISE, FL 33351  
CERTIFICATE OF AUTHORIZATION NO. LB3870





# C&C LEGACY PLAZA

A SUBDIVISION OF A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA.

THIS INSTRUMENT WAS PREPARED BY  
JOHN F. PULICE OF  
**PULICE LAND SURVEYORS, INC.**

CERTIFICATE OF AUTHORIZATION NO. LB3870  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
954-572-1777

JULY 2024

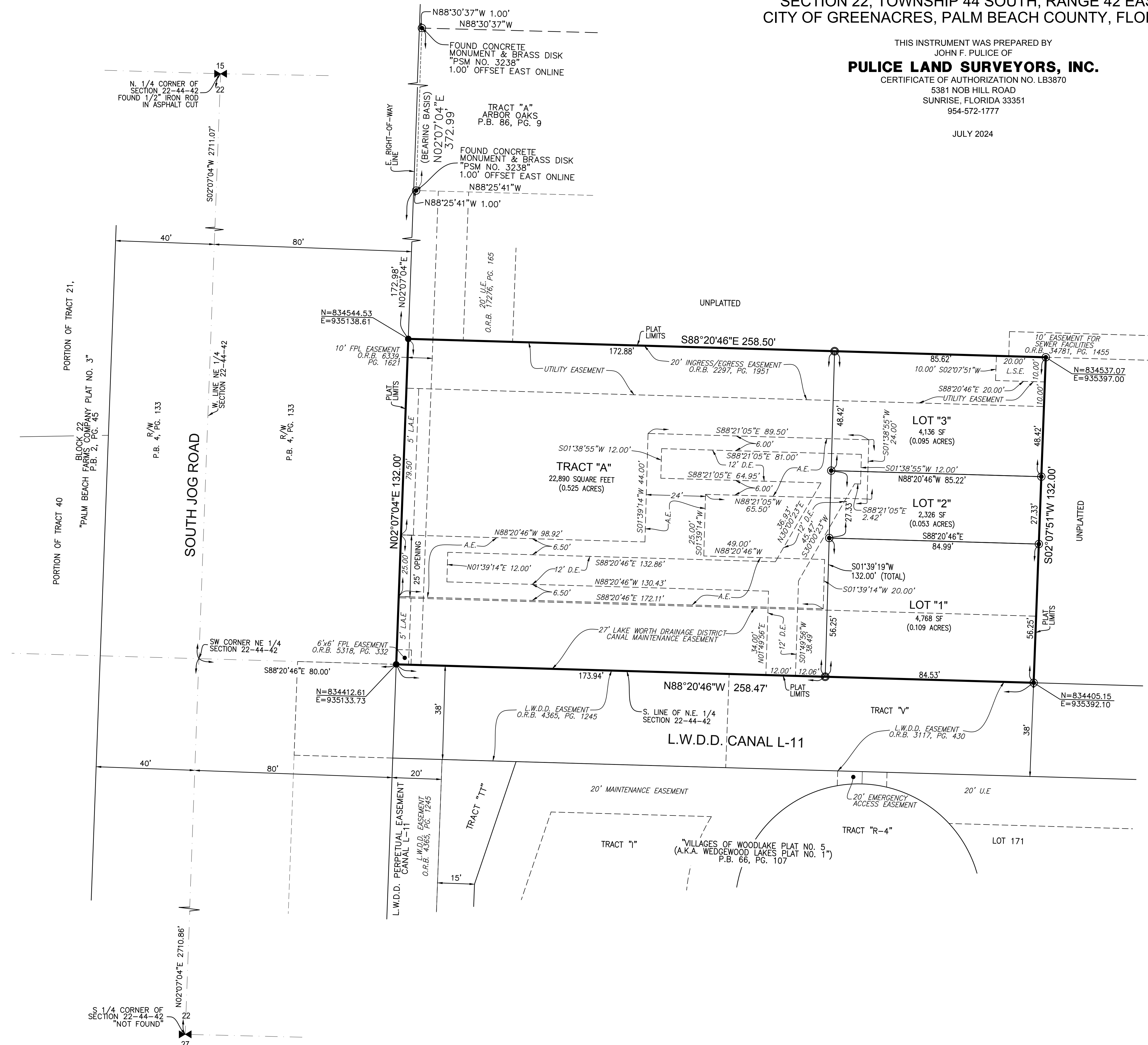
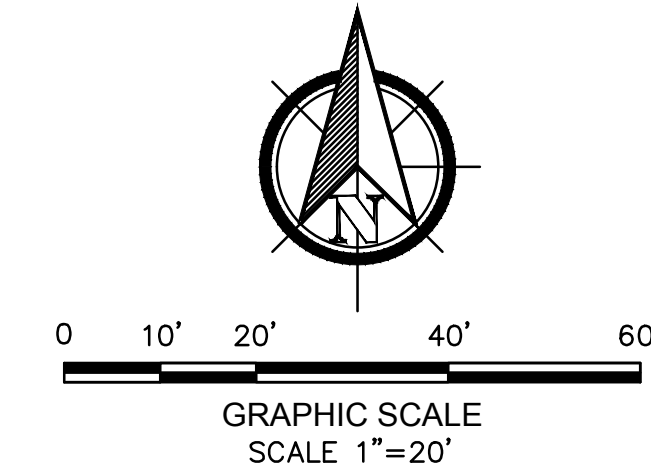
STATE OF FLORIDA  
COUNTY OF PALM BEACH

THIS PLAT WAS FILED FOR RECORD AT  
\_\_\_\_\_ M., THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND DULY  
RECORDED IN PLAT BOOK \_\_\_\_\_ ON  
PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_.

JOSEPH ABRUZZO, CLERK OF THE  
CIRCUIT COURT & COMPTROLLER

By: \_\_\_\_\_  
DEPUTY CLERK

SHEET 2 OF 2 SHEETS



TABULAR DATA		
PARCEL	SQUARE FOOTAGE	ACRES
TRACT "A"	22,890	0.526
LOT "1"	4,768	0.109
LOT "2"	2,326	0.053
LOT "3"	4,136	0.095
TOTAL	34,120	0.783

### LEGEND & ABBREVIATIONS:

- = SET PERMANENT REFERENCE MONUMENT (PRM)  
4"X4"X24" CONCRETE MONUMENT WITH  
ALUMINUM DISK "PRM LB3870" UNLESS  
OTHERWISE NOTED
- = SET NAIL & BRASS DISK "PRM LB3870"  
UNLESS OTHERWISE NOTED
- = SET 1/2" IRON PIPE & CAP LB3870
- A.E. = ACCESS EASEMENT
- A.K.A. = ALSO KNOWN AS
- D.E. = DRAINAGE EASEMENT
- FPL = FLORIDA POWER & LIGHT COMPANY
- L.A.E. = LIMITED ACCESS EASEMENT
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- L.S.E. = LIFT STATION EASEMENT
- L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
- NO. = NUMBER
- O.R.B. = OFFICIAL RECORDS BOOK
- P.B. = PLAT BOOK
- PG. = PAGE
- PRM = PERMANENT REFERENCE MONUMENT
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
- R/W = RIGHT-OF-WAY
- SF = SQUARE FEET
- U.E. = UTILITY EASEMENT



## ITEM SUMMARY

**MEETING DATE:** April 1, 2025  
**FROM:** Andrea McCue, City Manager  
**SUBJECT:** Designation of Deputy Mayor

### BACKGROUND

Ordinance 2022-12 adopted by the City Council amended Chapter 2, Article II creating a new Section 2-19 entitled Appointment Process for Deputy Mayor providing that Beginning with the first meeting in April 2023, the appointment of the Deputy Mayor shall rotate annually among the Councilmembers with the initial appointment to Council Seat 2. Any Councilmember in his/her first term will defer the appointment as Deputy Mayor for a one (1) year period, at which point the appointment will be assigned to the next sequential Council seat and the deferring Councilmember shall serve the subsequent year. Should any Councilmember decline the appointment, the appointment will go to the next sequential Council seat and the deferring Council member will not be appointed until the rotation returns to his/her seat. Should the Councilmember serving as Deputy Mayor vacate his/her Council seat for any reason, the Deputy Mayor appointment will rotate to the next sequential Council seat and the incumbent therein shall complete the unexpired term followed by his/her own term as Deputy Mayor. In the event the Deputy Mayor is serving as Mayor pro-tem pursuant to Article II, Section 3 of the Charter, the Deputy Mayor's position will not rotate until a new Mayor is elected

### ANALYSIS

The appointment of Deputy Mayor is done the first city council meeting in April of each year. Councilmember Judith Dugo (District III) served from 2024-2025.

### FINANCIAL INFORMATION

There are no adverse financial impacts associated with this item.

### LEGAL

The item has been reviewed for legal sufficiency.

### STAFF RECOMMENDATION

Staff recommends a designation of a Deputy Mayor to serve from 2025-2026 as outlined in Ordinance 2022-12.



## ITEM SUMMARY

**MEETING DATE:** April 7, 2025

**FROM:** Andrea McCue, City Manager, Administration

**SUBJECT:** Palm Beach Transportation Planning Agency Governing Board Appointment

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### BACKGROUND

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The Palm Beach Transportation Planning Agency (TPA) Governing Board is comprised of 21 locally elected officials – 15 elected officials from the 13 largest municipalities, five of the seven Palm Beach County Commissioners, and one Port of Palm Beach Commissioner.

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### ANALYSIS

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Mayor Shaw is the appointed official and Deputy Mayor Dugo is the alternate.

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### FINANCIAL INFORMATION

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N/A

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### LEGAL

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The City Attorney has reviewed the item and all supporting documents for legal sufficiency and compliance.

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### STAFF RECOMMENDATION

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Staff is recommending that the City Council reappoint the current appointed member and alternate or appoint new members to the TPA Governing Board.