## **AGENDA**

## **Mayor and City Council**

Chuck Shaw, Mayor
Susy Diaz, Deputy Mayor
John Tharp, Councilmember, District I
Peter Noble, Councilmember District II
Judith Dugo, Councilmember, District III
Paula Bousquet, Councilmember, District V

#### Administration

Andrea McCue, City Manager Christy Goddeau, City Attorney Glen J. Torcivia, City Attorney Tanya Earley, City Attorney Quintella Moorer, City Clerk

CALL TO ORDER AND ROLL CALL

PLEDGE OF ALLEGIANCE

**AGENDA APPROVAL** 

## COMMENTS FROM THE PUBLIC FOR AGENDA ITEMS ONLY

### **SPECIAL BUSINESS**

- 1. <u>Proclamation:</u> After School Professional's Week, April 21-25, 2025. Benjamin Dexter, Assistant Director of Youth Programs.
- 2. Proclamation: Earth Day, April 22, 2025. Marco Cassio, EarthDay.org.
- 3. <u>Presentation:</u> School Zone Speed Safety Solution. Matt Reich, Reginal Account Executive and Silvia Castellanos, Manager, Verra Mobility.

#### **CONSENT AGENDA**

- Official City Council Meeting Minutes: City Council Meeting Minutes, April 7, 2025. Quintella L. Moorer, City Clerk.
- <u>Resolution 2025-14:</u> Satisfying certain liens imposed against residential property, pursuant to Section 15-31, City of Greenacres Code. - Teri Beiriger, Director of Finance.

#### **REGULAR AGENDA**

- 6. PUBLIC HEARING: Ordinance 2025-08: Second Reading: Amending the City of Greenacres' Budget for the Fiscal Year beginning October 1, 2024, and ending September 30, 2025, inclusive; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date. Teri Beiriger, Director of Finance.
- 7. QUASI-JUDICIAL: PUBLIC HEARING: Resolution 2025-15: Approving an application for a Special Exception to allow a convenience store with fuel sales located within the

Commercial Intensive zoning district, approximately 1,100 feet east of the intersection of Forest Hill Boulevard and Jog Road, on the south side of Forest Hill Boulevard at 6270 Forest Hill Boulevard, as requested by the applicant, Amber Rebert of CPH, LLC, agent for the owner, ARL FHJ, LLC; providing for repeal of conflicting resolutions; and providing for an effective date. - Gionni Gallier, Assistant Director of DNS.

AGENDA

- 8. QUASI-JUDICIAL: PUBLIC HEARING: Resolution 2025-16: Approving an application for Site and Development Plans approval including a Master Sign Plan to construct a 2,824 square-foot convenience store and associated overhead canopy and six (6) dual sided fuel dispensing pumps serving twelve (12) fueling stations within a Commercial Intensive zoning district, located approximately 1,100 feet east of the intersection of Forest Hill Boulevard and Jog Road, on the south side of Forest Hill Boulevard at 6270 Forest Hill Boulevard, as requested by the applicant, Amber Rebert of CPH, LLC, agent for the owner, ARL FHJ, LLC; providing for repeal of conflicting resolutions; and providing for an effective date. Gionni Gallier, Assistant Director of DNS.
- 9. PUBLIC HEARING: Ordinance 2025-04: Second Reading: Amending the Code of Ordinances at Article I, in General; Article 3, District Regulations; and Article 4 Supplemental District Regulations; all of Chapter 16, Zoning Regulations, to define Live Entertainment and Nightclubs; to revise the definitions of restaurants; to revise the standards and criteria associated with live entertainment permits and mobile food dispensing vehicles; to clarify permitted uses; and for other purposes; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in code; and providing for an effective date. Millie Rivera, Planner. [ITEM POSTPONED TBA]

#### **DISCUSSION ITEM - None.**

## COMMENTS FROM THE PUBLIC ON NON-AGENDA ITEMS CITY MANAGER'S REPORT

- 10. Community & Recreation Services Report.
- 11. Development and Neighborhood Services Report.
- 12. Economic Development Report.
- 13. Finance Report.
- 14. Fire Rescue Report.
- 15. Information Technology Report
- 16. Palm Beach Sheriff's Office District 16 Report.
- 17. Public Works Report.
- 18. Purchasing Report.
- 19. Youth Programs Report.

# CITY ATTORNEY'S REPORT MAYOR AND CITY COUNCIL REPORT ADJOURNMENT

## **Future City Council Meetings**

May 5, 2025.

May 19, 2025.

## **Meeting Records Request**

Any person requesting the appeal of a decision of the City Council will require a verbatim record of the proceedings and for that purpose will need to ensure that such verbatim record is made. Pursuant to FS. 286.0105, the record must include the testimony and evidence upon which the appeal is to be based. The City of Greenacres does not prepare or provide such verbatim record.

## **Notice of Council Meetings and Agendas**

The first and third Monday of each month are regular meeting dates for the City Council; special or workshop meetings may be called, whenever necessary. Council Agendas are posted on the City's website on the Friday prior to each Council meeting. A copy of the meeting audio and the complete agenda may be requested at CityClerk@greenacresfl.gov or 561-642-2006.

#### **Americans with Disabilities Act**

In accordance with the provisions of the Americans with Disabilities Act (ADA), this document can be made available in an alternate format upon request. Special accommodations can be provided upon request with three (3) days advance notice of any meeting, by contacting City Clerk Quintella Moorer at Greenacres City Hall, 5800 Melaleuca Lane, Greenacres, Florida. Phone No. 561-642-2006. Hearing Assistance: If any person wishes to use a Listen Aid Hearing Device, please contact the City Clerk prior to any meeting held in the Council Chambers.



## **Greenacres, Florida**

**School Zone Speed Safety Solution** 

> Matt Reich

Regional Account Executive, Government Solutions

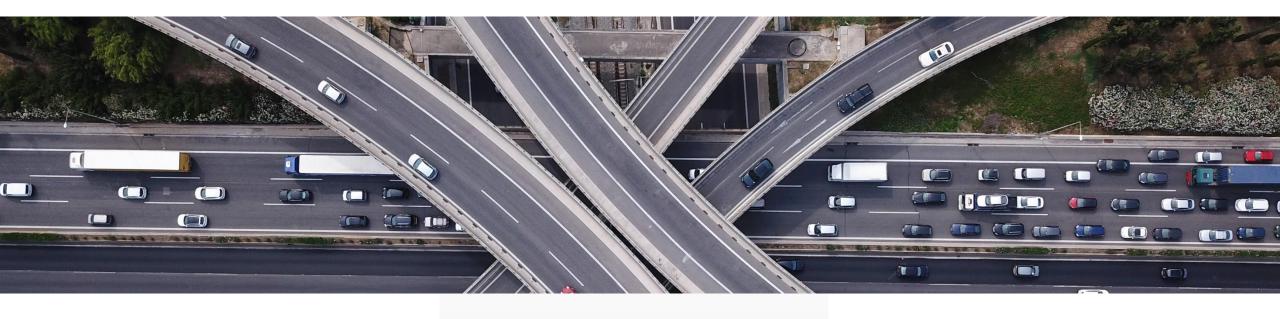
> Silvia Castellanos

Strategic Partnerships, Government Solutions



Join us in our mission to make our roads safer for everyone.

## **Qualifications and Experience**



## **300+ CUSTOMERS**

including cities, towns, transportation agencies, and school districts in North America, **Europe, Asia, and Australia.** 

## **#1 PROVIDER**

of road safety camera systems worldwide, processing more than 40 million events on behalf of clients globally each month.

## **10K+ SYSTEMS**









**SPEED SAFETY**  **RED-LIGHT SAFETY** 

**SCHOOL SAFETY** 

**BUS LANE MOBILITY** 



## ZER NIN ON SAFETY

## State-Wide, Safety-Driven Partnerships

#### **FLORIDA**





## **Experience**

Florida's leading safety camera provider.



## Leadership

**#1** provider of automated enforcement systems in U.S.



### **Execution**

Vast resources and capabilities state-wide.



## **Performance**

Leading technology and software solutions.



90 SPEED ENFORCEMENT PROGRAMS NATIONALLY



3500+
Speed safety
cameras active



Page 6

## ZER D IN ON SAFETY

## **National Statistics Sound the Alarm**



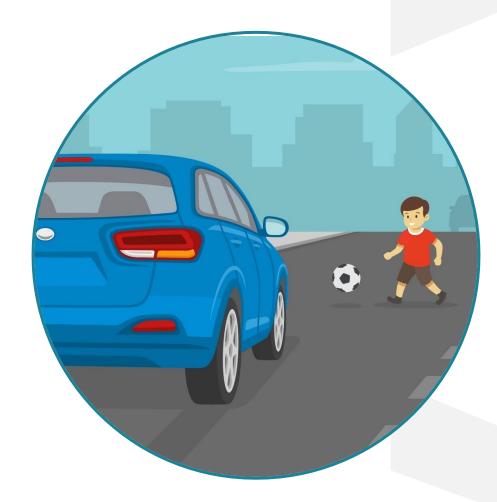
### **4X MORE DANGEROUS**

City school roads are four times more dangerous than rural school roads.<sup>1</sup>



## **DANGER IN DROP-OFFS**

The worst and most dangerous hours are pickup and drop-off times: 7-8 AM and 3-4 PM.<sup>1</sup>





### PEDESTRIAN DEATHS

surged 19% from 2019 to 2022, increasing faster than all other traffic fatalities .<sup>2</sup>



## **5 TEEN PEDESTRIANS**

are killed every week in the United States. Distracted walking and driving are on the rise.<sup>3</sup>



- 1. Zendrive School Safety Snapshot 2018
- 2. GHSA Pedestrian Traffic Fatalities by State (Jan-June 2022 Preliminary Data) https://www.ghsa.org/resources/Pedestrians23
  - Safe Kids Worldwide: Alarming Dangers in School Zones, October 2016

## **Cities Turn to Speed Safety Solutions**





### **CHANGE DRIVER BEHAVIOR**

Reduce crashes, injuries, and fatalities on the road by enforcing traffic compliance.



## **RAISE AWARENESS**

Launch a public relations campaign to better educate drivers about school zone safety.





### **ENHANCE SAFETY**

Reduce dangerous driving, making school zones safer for drivers, pedestrians, and cyclists.



## **INCREASE EFFICIENCY**

Reduce the workload burden on law enforcement officers to cover more ground with less effort.



## ZER > IN ON SAFETY

## **SPEED STUDY DEMO SUMMARY**

## Greenacres, FL

Location ID	School	Direction	Block	Enforcement Times (Start/Stop- AM/PM)	Total Potential Violations	Total During Beacon	Total Between Beacon	Potential Violation %	Traffic	Study Date
1	John I Leonard High	Eastbound	4707 10th Ave N	6:50 AM - 7:40 AM & 2:30 PM - 3:20 PM	101	66	35	0.8%	13,303	2/18, 2/19, 2/20
2	John I Leonard High	Westbound	4681 10th Ave N	6:50 AM - 7:40 AM & 2:30 PM - 3:20 PM	340	187	153	2.2%	15,232	2/18, 2/19, 2/20
3	Heritage Elementary	Eastbound	5168 Melaeuca Ln	7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM	151	100	51	1.2%	12,244	2/18, 2/19, 2/20
4	Heritage Elementary	Westbound	4842 Melaleuca Ln	7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM	229	213	16	2.0%	11,302	2/18, 2/19, 2/20
5	Diamond View Elementary	Northbound	5400 S Haverhill Rd	7:25 AM - 8:25 AM & 2:20 PM - 3:20 PM	256	132	124	2.7%	9,465	2/18, 2/19, 2/20
6	Diamond View Elementary	Southbound	5300 S Haverhill Rd	7:25 AM - 8:25 AM & 2:20 PM - 3:20 PM	75	41	34	1.0%	7,551	2/18, 2/19, 2/20
7	Tradewinds Middle	Northbound	5100 S Haverhill Rd	8:35 AM - 9:35 AM & 3:45 PM - 4:45 PM	216	140	76	2.2%	9,715	2/18, 2/19, 2/20
8	Tradewinds Middle	Southbound	5000 S Haverhill Rd	8:35 AM - 9:35 AM & 3:45 PM - 4:45 PM	109	105	4	1.7%	6,460	2/18, 2/19, 2/20
9	Cholee Lake Elementary	Eastbound	6850 Dillman Rd	7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM	9	7	2	1.1%	800	2/18, 2/19, 2/20
10	Cholee Lake Elementary	Westbound	6600 Dillman Rd	7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM	527	331	196	19.3%	2,730	2/18, 2/19, 2/20
11	Liberty Park Elementary	Northbound	*3064 Jog Rd	7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM	4	0	4	0.0%	16,066	2/18, 2/19, 2/20
12	Liberty Park Elementary	Southbound	*2995 Jog Rd	7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM	6	1	5	0.0%	14,800	2/18, 2/19, 2/20
13	Okeeheelee Middle	Northbound	2008 Pinehurst Dr	8:30 AM - 9:30 AM & 3:45 PM - 4:45 PM	168	139	29	1.9%	8,723	2/18, 2/19, 2/20
14	Okeeheelee Middle	Southbound	1805 Pinehurst Dr	8:30 AM - 9:30 AM & 3:45 PM - 4:45 PM	76	65	11	0.7%	10,849	2/18, 2/19, 2/20
15	Greenacres Elementary	Northbound	352 Jackson Ave	7:05 AM - 8:05 AM & 1:45 PM - 2:45 PM	23	20	3	5.9%	393	2/18, 2/19, 2/20
16	Greenacres Elementary	Southbound	446 Jackson Ave	7:05 AM - 8:05 AM & 1:45 PM - 2:45 PM	12	1	11	2.3%	531	2/18, 2/19, 2/20
17	Greenacres Christian Academy	Northbound	**3540 Haverhill Rd	8:00 AM - 9:30 AM & 2:30 PM - 3:30 PM	141	29	112	2.0%	6,952	2/18, 2/19, 2/20
18	Greenacres Christian Academy	Southbound	**3400 Haverhill Rd	8:00 AM - 9:30 AM & 2:30 PM - 3:30 PM	371	41	330	3.4%	10,906	2/18, 2/19, 2/20
19	LC Swain Middle	Eastbound	5346 Lake Worth Rd / SR 802	8:25 AM - 9:25 AM & 3:45 PM - 4:45 PM	263	215	48	1.4%	19,411	2/18, 2/19, 2/20
20	LC Swain Middle	Westbound	5153 Lake Worth Rd / SR 802	8:25 AM - 9:25 AM & 3:45 PM - 4:45 PM	161	159	2	1.0%	16,374	2/18, 2/19, 2/20



## ZER D IN ON SAFETY

## **Highlighted School – Cholee Lake Elementary**

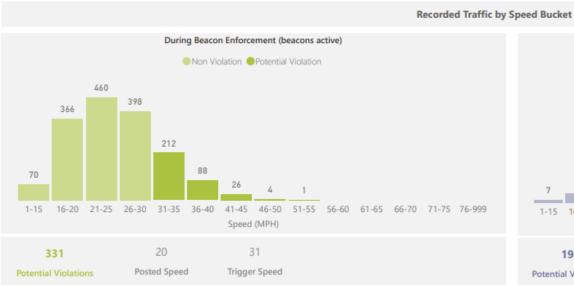
## **Cholee Lake Elementary**

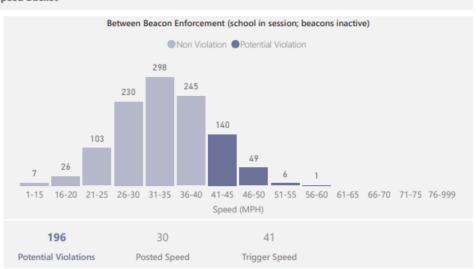
6600 Dillman Rd Block Westbound Direction

Flashing Beacon Times (Start/Stop-AM/PM)
7:05 AM - 8:05 AM & 1:50 PM - 2:50 PM

#### Speed Study Recorded Activity, by Enforcement Period

Enforcement Period	Beacor	n Enforcement	Between Beacon Enforcement		
Date	Traffic	Potential Violations	Traffic	Potential Violations	
Tuesday, February 18, 2025	537	113	338	51	
Wednesday, February 19, 2025	550	118	382	72	
Thursday, February 20, 2025	538	100	385	73	
Total	1,625	331	1,105	196	











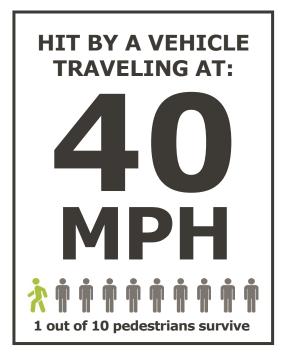
## **Enforce Speeds to Slow Traffic**

- 1
- 3,238 Potential Violations recorded in 3-day study of 11 Greenacres schools
- 2

Over 50 violations alone traveling in excess of **25 MPH** over the speed limit.









## **Proven End-To-End Turnkey Program Services**





## **Total Program Support**

From installation and calibration to payment processing, court support and beyond, we've got you covered.



## **Implementation**

- Equipment
- Installation
- > PR & Awareness
- Training

## **Ongoing Support**

- Management
- Event Processing
- Citation Issuing
- Automatic Self testing

- Maintenance
- Reporting
- Payment Support
- Court Support

## **Enhancing Safety with Artificial Intelligence**





Object Recognition

## Machine Learning

Halo 3 uses machine-learning models, performing real-time analysis of video feeds to enhance detection and ensure accuracy.

## Software-Defined Edge

Clients can adapt the Halo 3 system to the changing needs of traffic regulations without the need for hardware upgrades.



## > Technology Roadmap

By partnering with Verra Mobility, cities will not only stay ahead of the curve in traffic management but will also be at the forefront of safe, smart, and ethical urban development.



## **AI-Driven Safety Camera Solution**



## Integrated School Zone Solutions

- Speed enforcement adjustable school zone enforcement
- Flock Falcon ALPR Technology
- o Simultaneous 24-7 video surveillance

## Leading Edge Technology

- Advanced radar-based detection
- 4K Video-based plate recognition technology
- Integrated with Flock and other data providers
- IR illumination to avoid driver distraction
- Built-in AI machine learning
- Secondary speed verification
- o Compact design with a small footprint
- o Real-time video streaming with DVR

## > Optimal enforcement

Detect 100+ vehicles across up to **six** lanes, including approaching and departing traffic in **all weather** conditions.

## > Growth Platform

Add new safety camera features and functionalities from over-the-air software updates to the camera system.



## SCHOOL ZONE SPEED SAFETY CAMERA SYSTEM

HOW IT WORKS

Step 1: The system identifies any vehicle traveling at the enforceable speed limit.

Step 2: The first image shows the vehicle driving in excess of the speed limit.

itep 3: The second image shows a close-up plate image and the distance and time the vehicle has traveled.

Additional data collected includes a video, date, posted speed, vehicle speed, location, lane, and direction of travel.



## **ALPR**









- Edge recognition
- ➤ Real-time alerts
- Day/night capture
- > Intuitive web interface

- > High-definition video
- Customizable hotlists
- > Multi-lane coverage
- Solar options available









Verra Mobility offers Automatic License Plate Reader (ALPR) solutions powered by two national providers under a subscription pricing model for all hardware, software, support, and maintenance.

ALPR PARTNERS

- REKOR
- FLOCK SAFETY







- MAKE
- MODEL
- O COLOR
- ✓ PLATE
- STATE OF ORIGIN





## **Safety & Mobility Platform & Tools**





- Customer Payment Portal
- Event Processing Platform
- Power BI Reporting



## **Event Workflow | School Zone Speed Enforcement ZER® NON SAFETY**



## 2. Plate Crop

The license plate is cropped from one of the original images and reads the plate using Optical Character Reader (OCR). After confirmation that the values entered are correct, the event is processed in accordance with the business rules.

**Software** Axsis

## 4. PD Review

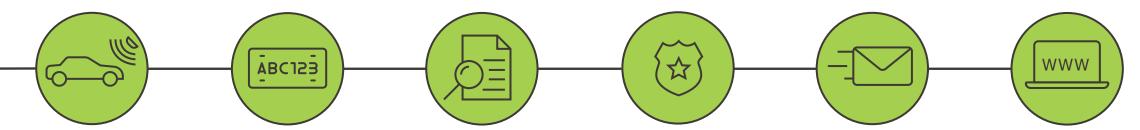
The event is available for law enforcement to review and approve or reject based on the agency's business rules and the law.

**Software** Axsis

## 6. Pay/Dispute

The citation recipient receives the notice, and either pays the fine through one of the available payment channels, requests a hearing, or returns the notice for re-processing (Transfer of Liability).

**Platform** ViolationInfo.com



## 1. Evidence Capture

Event images and video are automatically pulled from the camera system using a secure connection.

**Technology** Camera System

## 3. Registration Data

Owner registration data is automatically obtained through other states' DMV interfaces and Nlets. Information is reviewed and revised, if needed. Notices of violation are brought back to this step if further review is necessary.

**Software** Axsis

## 5. Notice Generation

Once law enforcement determines the event is a violation and approves it, a notice is generated and mailed to the registered owner.

**Software** Axsis



## Secure, Easy Program Operations Portal







- **Familiar to Local Jurisdictions**
- **Driven by Client End User experience**

## Smart Mobility Platform

Operated by cities (including Orange Park & Tampa), DOTs, and school districts nationwide, Verra Mobility's processing platform transforms raw roadside data into actionable solutions.

## Features

- Automated event image loading & cropping
- Automated license plate entry with OCR
- Accessibility to all 50 states, four Canadian provinces & Puerto Rico
- Payment processing & tracking, remittance to the City
- Inbound & outbound customer correspondence management
- Hearing & adjudication support (appeals process)
- Escalation processes for overdue & unpaid citations
- Statistical, financial & operational report generation
- Archiving, data management & security
- Annual SOC 2 audit and an ISO 27001 certification





## **Automated Evidence Packages**

Event Date Time: 11-27-2023 03:31:07.053 PM

Speed: 51 mph Direction : R Frame : A\_OVERVIEW

Site Id : G

Location: NB

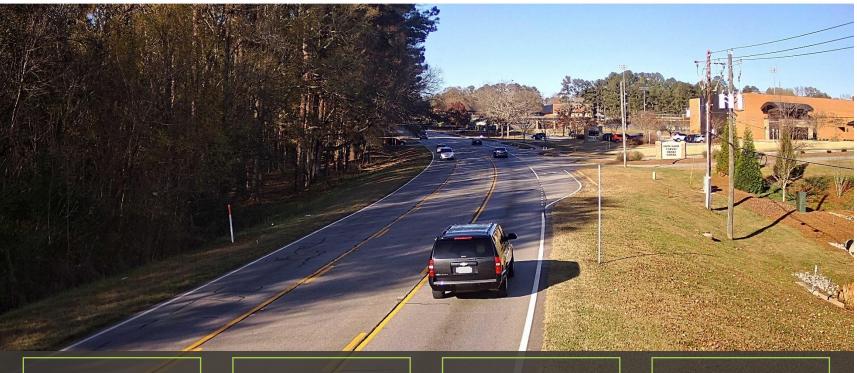
ST /

HIGH SCHOOL

Event Type : Maximum Speed Speed Limit : 30 mph

Sensor Serial Number : 0x000 Snapshot Interval : 0ms





SHOT SHOT

**PLATE** SHOT









## ViolationInfo.com





## > Features include:

- Full evidence package available including video and still images
- > Multiple Payment options
- > Options to Contest
- > Court Scheduling
- > Transfer of Liability Affidavit
- > No-interest fee payment plans

## **Seamless Implementation**

No provider can match Verra Mobility's design, installation, and operational experience in the State of Florida.



## **Kickoff**



- Identify key stakeholders
  - Assign project responsibilities
  - Leverage Past Program Experiences
  - Review project plan
  - Confirm schedule
  - Set business rules

2

## **Site Design**

- In-house & local subcontractor
- Draw and design plans
- Obtain permits
- South Florida DOT relationships

3

## **Deployment**

- Fixed site construction
- Comprehensive testing
- Backend interfaces built
- Cameras go live

4

## **Training & Public Awareness**

- City and stakeholder training
- Community awareness launch

## ZER D

## **Community Awareness Efforts**

Drawing from our long-standing partnership, homegrown Florida experience, and past successes, we will partner with the City of Jacksonville to support its public awareness and community education efforts to best communicate the life-saving benefits of your School Zone Speed Enforcement program.

- Coalition building and ally outreach
- Community awareness materials and custom content creation
- Expert social media support
- Media outreach strategies, draft materials, and supporting content
- How-it-Works images and video
- Safety program statistics and reporting
- Continued partnership with City and PIO using successful past campaign strategies





## **PUBLIC EDUCATION**

**School Zone Speed Safety Programs - Client Examples** 









**Media Support**Press releases, press conferences, talking points, journalist outreach





## **Website Content**

Website text, images, FAQs, translation services





## **Social Media**

Verbiage, best practices, graphic design, evidence-based posts





## **Collateral**

How it works graphics, program video, PSA support







## **Verra Mobility Key Differentiators**

## Leading Edge technology

Capture events using advanced radar and high-resolution, video-based, license plate recognition technology for continuous, 24-7 traffic safety management with live feed.

## Optimal Enforcement

Detect 100+ vehicles across up to 6 lanes including approaching and departing traffic. This best-in-class 4DHD imaging radar captures vertical information, distance, direction, and doplar as well as includes a **secondary speed verification** calculation to ensure the most accurate results.

## Crystal clear picture anytime

With advanced lighting and heating options, our cameras can produce clear and accurate pictures in any condition – rain, shine, snow, fog, day, or night. These self-contained all-weather units are IP67 rates and EMC certified.

## Hands-off testing and upgrades

Our Camera system employs remote self-testing, ensuring calibration at all times. In addition, as legislation opens new enforcement options, we can remotely enable these enforcement types without additional hardware or downtime.

## True end-to-end experience

We take pride in reducing headaches for our customers and take the time to truly understand your legislation. From conducting studies, installation, and maintenance to event processing, court support, and even PR campaigns, we handle all the red tape for you.





## **Speed Enforcement | Results**





## **Speed Reductions**

Studies of cameras on residential roads in Maryland, on a high-speed roadway in Arizona and on city streets in the District of Columbia found that the proportion of drivers exceeding speed limits by more than 10 mph **declined by 70%, 88% and 82%**, respectively, six to eight months after cameras were introduced.<sup>1</sup>

Speed camera enforcement in Montgomery County resulted in a **19% reduction** in the likelihood that a crash involved an incapacitating or fatal injury. <sup>2</sup>

80% SPEED REDUCT

19% FATAL INJURY REDUCTIO



<sup>.</sup> Insurance Institute for Highway Safety Website: Retting et al., 2008; Retting et al., 2008; Retting & Farmer, 2003

# Why Verra M Item # 3. ZER > IN ON SAFETY

## Let's Zero In On Safety



## **ZERO IN ON SAFETY**

- Local leadership & vast program resources
- > Proven operating model and seamless implementation
- > AI-driven tech capable of evolving as your program grows
- > Multilingual management & community awareness efforts
- > #1 Choice for Speed Enforcement Camera Provider in major U.S. cities

Safety belongs to all of us. And it will take all of us to realize a future with zero traffic-related deaths.









linkedin.com/ company/VerraMobility



facebook.com/ VerraMobility



youtube.com/ VerraMobility



twitter.com/ VerraMobility



verramobility.com/ news





## **MINUTES**

## **Mayor and City Council**

Chuck Shaw, Mayor
Judith Dugo, Deputy Mayor
John Tharp, Councilmember, District I
Peter Noble, Councilmember District II
Susy Diaz, Councilmember, District IV
Paula Bousquet, Councilmember, District V

#### Administration

Andrea McCue, City Manager Christy Goddeau, City Attorney Glen J. Torcivia, City Attorney Tanya Earley, City Attorney Quintella Moorer, City Clerk

#### CALL TO ORDER AND ROLL CALL

Mayor Shaw called the meeting to order at 6PM. All Council were present.

#### PLEDGE OF ALLEGIANCE

#### AGENDA APPROVAL

Motion made by Councilmember Diaz, Seconded by Deputy Mayor Dugo to approve the Agenda.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

## COMMENTS FROM THE PUBLIC FOR AGENDA ITEMS ONLY

None.

#### **SPECIAL BUSINESS**

 <u>Presentation:</u> Certificate of Recognition to Mr. Jim Howell, John I. Leonard High School, Athletic Director, induction into the Palm Beach County Sports Commission Hall of Fame.
 Councilmember Diaz.

Councilmember Diaz presented the Certificate of Recognition and Achievement to Mr. Howell. A video clip was presented to the public.

Mr. Howell thanked the City and the Council. He was honored.

Photos were taken.

<u>2.</u> <u>Presentation:</u> Hometown Health Award. - Suzanne Skidmore, Director of Human Resources and Risk Management.

Ms. Lindsey Fisher and Ms. Gwen Mahabir, Hometown Health representatives, presented the City with a \$25,000 check for outstanding achievement related to health and wellness amongst city employees.

- <u>3.</u> <u>Proclamation:</u> National Autism Awareness Month April 2025. Dr. Robin Jones, Loden Coleman, and Howard Thomas of Els for Autism Foundation.
  - Ms. McCue read the proclamation by title.
  - Mr. Thomas thanked the Council for their support.

Photos were taken.

- **4. Presentation:** Presidential Volunteer Service Awards Jowie Mohammad, Director of Youth Programs.
  - Mr. Mohammed and Staff recognized forty-one volunteers from Youth Programs, with service hours ranging from 54- 200 hours per volunteer.
  - Ms. Michele Thompson, Director of Community Recreation Services, recognized various volunteer service members, who have earned a range of hours from 100 to 350 hours.

Photos were taken.

<u>5.</u> <u>Presentation:</u> Palm Beach County Commission on Ethics overview. - S. Lizabeth Martin, Education & Communications Manager.

Ms. Martin highlighted some upcoming events and the Commission's role. She mentioned training was available, she welcomed any questions and provided some handouts.

#### **CONSENT AGENDA**

- Official City Council Meeting Minutes: City Council Meeting Minutes, March 17, 2025.
   Quintella L. Moorer, City Clerk.
- <u>7.</u> <u>EMS Write-Off:</u> Approval of fifteen aged uncollectible patient accounts. Teri Beiriger, Director of Finance.

Motion made by Deputy Mayor Dugo, Seconded by Councilmember Tharp to approve the Consent

Agenda.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

#### **REGULAR AGENDA**

- **8.** Ordinance 2025-08: First Reading: Amending the City of Greenacres' Budget for the Fiscal Year beginning October 1, 2024, and ending September 30, 2025, inclusive; providing for repeal of conflicting ordinances; providing for severability; and providing for an effective date. Teri Beiriger, Director of Finance.
  - Ms. Moorer read the ordinance by title.

Ms. Beiriger explained the adjustment was for the Safe Street Project which was not budgeted and the Youth Programs building furniture which was not budgeted. She stated the total adjustment amount was \$880,000.

Motion made by Councilmember Noble, Seconded by Councilmember Tharp to approve Ordinance 2025-08 on First Reading.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

9. PUBLIC HEARING: Ordinance 2025-04: First Reading: Amending the Code of Ordinances at Article I, in General; Article 3, District Regulations; and Article 4 Supplemental District Regulations; all of Chapter 16, Zoning Regulations, to define Live Entertainment and Nightclubs; to revise the definitions of restaurants; to revise the standards and criteria associated with live entertainment permits and mobile food dispensing vehicles; to clarify permitted uses; and for other purposes; providing for repeal of conflicting ordinances; providing for severability; providing for inclusion in code; and providing for an effective date. - Millie Rivera, Planner.

Ms. Moorer read the ordinance by title.

Ms. Rivera stated a task force was created to review and gain clarity of reported businesses operating as nightclubs. She stated due to the various violations definitions and clarity were needed and added to assist Staff, residents and owners to better understand the City's Code. She stated re-education of the Code would be provided by Staff to ensure owners were complying.

Councilmember Diaz was conflicted and worried about the new language relating to dancing as a definition and suggested inviting local business owners to the discussion. Councilmember Tharp agreed with Councilmember Diaz. He suggested adding something with the application proceeding to dancing.

Ms. Linda Franco, Zoning Administrator, stated the definition clarification was needed for public safety, closing hours and the concern was with converting restaurants into nightclubs. She also stated Staff reviewed other cities policies and the uses were different based on nightclub and live entertainment and designed areas.

Councilmember Diaz stated she was struggling with the changes that appear to affect a direct demographic. She encourages inviting businesses to the Second reading, so they were not blind sighted and were included in the discussion.

Councilmember Bousquet agreed with Councilmember Diaz and suggested business owners respond.

Ms. McCue stated staff could go back and review the definitions. She also stated the concern was not dancing, it was converting restaurants into full nightclubs, which was prohibited. She felt the perimeters would protect the residents and the city.

Motion made by Deputy Mayor Dugo, Seconded by Councilmember Noble to approve Ordinance 2025-04 on First Reading which included staff addressing concerns and issues discussed during the public hearing.

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, and Councilmember Bousquet.

Voting Nay: Councilmember Diaz

10. QUASI-JUDICIAL: PUBLIC HEARING: Resolution 2025-11: Approving the Application for Site and Development Plans to construct forty-four (44) two-story townhouses within a Residential High Density Zoning District, located approximately 1,384 feet west of Jog Road on the north side of Chickasaw Road at 6645 Chickasaw Road, as requested by the applicant, Jeanne Ducharme, Cotleur & Hearing, agent for the owner, MF Associates

Greenacres, LLC; providing for repeal of conflicting resolutions; and providing for an effective date. - Linda Mia Franco, Zoning Administrator.

Ms. Rivera read the Quasi proceedings.

Ms. Moorer swore in five people.

Ms. Moorer read the resolution by title.

There was no ex-parte communication from the Council.

Ms. Franco provided some details of the construction and mentioned all conditions and construction was approved by all required boards.

Ms. Ducharme highlighted some of the details of the site plan. She mentioned the request was consistent with the City's plan and the City's Code.

The Council discussed cost, density, impact windows and the maintenance of condos and affordability.

Mr. Brent Brown questioned the accessibility of fire trucks. Mayor Shaw was concerned about the issue that was addressed.

Motion made by Councilmember Diaz, Seconded by Councilmember Bousquet to approve Resolution 2025-11.

Voting Yea: Deputy Mayor Dugo, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet. Voting Nay: Councilmember Noble.

11. QUASI-JUDICIAL: PUBLIC HEARING: Resolution 2025-12: Approval of Preliminary Plat for C&C Legacy Plaza located on the east side of Jog Road, approximately 650 feet north of Woodlake Boulevard. The project will consist of a one-story 2,598 square foot office building and three (3) two-story townhouse residential units. - Gionni Gallier, Senior Planner.

Ms. Moorer read the resolution by title.

There were no ex-parte communications.

Mr. Gallier stated the plat was for the C&C Legacy Plaza, which would consist of office buildings and townhouse units. The site plan was approved last year.

Mr. Gallier showed the plat map for reference. The plat was compliant with all requirements. Staff recommended approval.

Mr. Stuart Robin stated the site had been a challenge with the county but he was looking forward to progress.

Motion made by Councilmember Tharp, Seconded by Councilmember Diaz to approve Resolution 2025-12

Voting Yea: Deputy Mayor Dugo, Councilmember Noble, Councilmember Tharp, Councilmember Diaz, and Councilmember Bousquet.

## **12. Appointment of Deputy Mayor** - Mayor Shaw.

Mayor Shaw thanked Deputy Mayor Dugo for her service. Councilmember Diaz was appointed in conjunction with the City's policy as the City's new Deputy Mayor from April 2025 to April 2026.

Deputy Mayor Diaz thanked the Council for putting the city first and working well together.

## 13. Appointment of Representative and Alternate to the Palm Beach Transportation Planning Agency (TPA) - Andrea McCue, City Manager.

Ms. McCue explained the TPA board and the layout of the board members.

Deputy Mayor Diaz was appointed as the Representative and Councilmember Dugo was appointed as the Alternate representative.

#### **DISCUSSION ITEM - None.**

#### COMMENTS FROM THE PUBLIC ON NON-AGENDA ITEMS

Mr. Brent Brown updated the Council on the Historic Society's progress, which included a presentation for volunteers, appointing a new director, updating census funds. He said they started a new program called the First Families of Greenacres.

#### **CITY MANAGER'S REPORT**

Ms. McCue reminded the Council to check the League's Bill update, and the Monday morning calls regarding Bill updates.

She stated the County was not in agreement with adding a traffic light on Chickasaw next to Aldi. She would follow up again.

She also mentioned some upcoming city events, such as: Community Conversations, Egg' extravaganza and she welcomed Dr. Philip Harris, Director of Economic Development.

#### **CITY ATTORNEY'S REPORT**

No report.

### MAYOR AND CITY COUNCIL REPORT

Councilmember Tharp: thanked PBSO and Fire Rescue on the Crash Event at John I Leonard.

<u>Councilmember Bousquet:</u> thanked Tyler Wallock and the fire presentation in her community.

<u>Mayor Shaw:</u> stated Chick-fil-a, opening was doing great, and staff did great with the process. He was appointed as a member of the Florida Trust.

#### **ADJOURNMENT**

7:49PM.

Chuck Shaw Mayor	Quintella Moorer, MMC City Clerk
	Date Approved:



## **ITEM SUMMARY**

MEETING DATE: April 21, 2025

**FROM:** Teri Lea Beiriger, Finance Director, Department of Finance

**SUBJECT:** Resolution No. 2025-14 Release of Liens for Solid Waste Collection

#### **BACKGROUND**

Section 15-30, City of Greenacres Code, provides for the imposition of liens upon residential properties for the non-payment of City solid waste bills. Section 15-32, City of Greenacres Code, provides for release of the liens when accounts are paid in full.

#### **ANALYSIS**

Nine (9) liens on two (2) solid waste accounts totaling \$1,875.14 have been paid in full. The attached Resolution No. 2025-14 releases these nine (9) liens on two (2) solid waste accounts.

### FINANCIAL INFORMATION

Liens amounting to \$1,875.14 have been paid in full and are proposed for release.

#### **LEGAL**

The resolution has been prepared in accordance with all applicable City regulations.

### STAFF RECOMMENDATION

Approval of Resolution No. 2025-14.

#### **RESOLUTION NO. 2025-14**

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, SATISFYING CERTAIN LIENS IMPOSED AGAINST RESIDENTIAL PROPERTY, PURSUANT TO SECTION 15-31, CITY OF GREENACRES CODE.

**WHEREAS**, the City Council of Greenacres, Florida, adopted Resolutions contained in the list, attached hereto as Exhibit "A", imposing liens upon certain residential properties for the owners' failure to pay for the collection and disposal of garbage, recyclable materials and vegetative waste as required by Section 15-26, City of Greenacres Code; and

**WHEREAS**, the owners of the residential properties contained in Exhibit "A", have brought their accounts current for the payment of the debts and charges for the collection and disposal of garbage, recyclable materials and vegetative waste, plus applicable interest, and administrative fees.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:

**SECTION 1.** Under the terms of Section 15-32, City of Greenacres Code, residential properties contained in the list supplied by the Finance Department of Greenacres, Florida, attached to this Resolution as Exhibit "A", have satisfied their imposed liens as recorded with the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Official Records Book.

**SECTION 2.** This Resolution shall be recorded in the Public Records of Palm Beach County, Florida, and shall have the effect of releasing said liens against those residential properties contained in the list attached hereto as Exhibit "A" only.

## Resolution No. 2025-14 | Release of Solid Waste Liens Page No. 2

## **RESOLVED AND ADOPTED on this 21st of day of April 2025.**

	Voted:
Chuck Shaw, Mayor	Susy Diaz, Deputy Mayor
Attest:	
	Voted:
Quintella Moorer, City Clerk	John Tharp, Council Member, District I
	Voted:
	Peter A. Noble, Council Member, District II
	Voted:
	Judith Dugo, Council Member, District III
	Voted:
	Paula Bousquet, Council Member, District V
Approved as to Form and Legal Sufficiency:	
Glen J. Torcivia, City Attorney	

# City of Greenacres Solid Waste Collections RELEASE OF LIENS Resolution #2025-14

Through March 31, 2025

Account Number	PCN	Customer Name	Property Address	Legal Description	Lien #	Lien Amount	Book/Pg	Lien Pd
03038-001	18-42-44-25-18-006-0201	Ramirez, George & Diane	4748 Chariot Cir, Greenacres, FI 33463	PALM BEACH VILLAS II N 40 FT OF LT 20 BLK 6	2013-36	\$ 148.10	26332 / 1573	by 3/31/25
03038-001	18-42-44-25-18-006-0201	Ramirez, George & Diane	4748 Chariot Cir, Greenacres, FI 33463	PALM BEACH VILLAS II N 40 FT OF LT 20 BLK 6	2014-29	\$ 173.29	27047 / 0885	by 3/31/25
03038-001	18-42-44-25-18-006-0201	Ramirez, George & Diane	4748 Chariot Cir, Greenacres, FI 33463	PALM BEACH VILLAS II N 40 FT OF LT 20 BLK 6	2015-46	\$ 202.72	27923 / 0003	by 3/31/25
03038-001	18-42-44-25-18-006-0201	Ramirez, George & Diana	4748 Chariot Cir, Greenacres, FI 33463	PALM BEACH VILLAS II N 40 FT OF LT 20 BLK 6	2017-14	\$ 319.51	29007 / 0139	by 3/31/25
03038-001	18-42-44-25-18-006-0201	Ramirez, George & Diana	4748 Chariot Cir, Greenacres, FI 33463	PALM BEACH VILLAS II N 40 FT OF LT 20 BLK 6	2018-10	\$ 264.37	29739 / 1807	by 3/31/25
07548-001	18-42-44-35-12-000-0660	Jean Louise, Gracia	5029 Nautica Lake Cir, Greenacres, Fl 33463	NAUTICA ISLES PL 2 LT 66	2014-29	\$ 98.72	27047 / 0885	by 3/31/25
07548-001	18-42-44-35-12-000-0660	Jean Louise, Gracia	5029 Nautica Lake Cir, Greenacres, Fl 33463	NAUTICA ISLES PL 2 LT 66	2015-46	\$ 171.99	27923 / 0003	by 3/31/25
07548-001	18-42-44-35-12-000-0660	Jean Louise, Gracia	5029 Nautica Lake Cir, Greenacres, Fl 33463	NAUTICA ISLES PL 2 LT 66	2017-14	\$ 270.12	29007 / 0139	by 3/31/25
07548-001	18-42-44-35-12-000-0660	Jean Louise, Gracia	5029 Nautica Lake Cir, Greenacres, Fl 33463	NAUTICA ISLES PL 2 LT 66	2018-10	\$ 226.32	29739 / 1807	by 3/31/25

2 accounts 9 liens \$ 1,875.14



# **ITEM SUMMARY**

MEETING DATE: April 21st, 2025

**FROM:** Teri Lea Beiriger, Director of Finance

**SUBJECT:** Ord. No. 2025-08 Budget Adjustment – 301 New Growth- Safe Streets and

306 Youth Program Blg.

#### **BACKGROUND**

Council Policy No. 6 requires City Council action to authorize budget adjustments between cost centers, departments, and funds. A budget adjustment is required to account for the under-budget in the Safe Street Project and Youth Program Building Project. This affects New Growth (301) fund and the American Rescue Plan (306) fund.

**New Growth (301)** fund requires a budget adjustment from fund balance in the amount of \$50,000. The City was awarded a grant in the amount of \$200,000 for the development of a safety action plan. The City portion of the grant, \$50,000, was not accounted for in the budget. The adjusted increase will be \$50,000 to account 301-40-42-63-14 CIP-239 Safe Streets & Roads.

American Rescue Fund – Youth Program (306) fund requires a budget adjustment from fund balance of \$879,261. This adjustment includes: \$391,229 for furniture not budgeted, \$368,032 for IT network and \$120,000 for miscellaneous expenses such as permitting.

#### **ANAYSIS**

Ordinance 2025-08 is to authorize the net budget adjustment for the total amount of \$930,000 that documents the movement of the funds from the two CIP funds to cover the unbudgeted item.

#### FINANCIAL INFORMATION

The proposed ordinance increases the expenditure by \$930,000 in FY 2025, with a net effect of \$930,000.

#### **LEGAL**

The proposed Budget Amendment has been prepared in accordance with the applicable State Statues and City Code Requirements

#### STAFF RECOMMENDATION

Approval of Ordinance 2025-08.

#### ORDINANCE NO. 2025-08

AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, AMENDING THE CITY OF GREENACRES' BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024, AND ENDING SEPTEMBER 30, 2025, INCLUSIVE; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Greenacres, Florida adopted a budget for the 2024/2025 Fiscal Year; and

WHEREAS, the City Council has determined that an amendment needs to be made to the previously adopted Fiscal Year Budget; and

WHEREAS, the City Council deems approval of this Ordinance to be in the best interest of the residents and citizens of the City of Greenacres.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF GREENACRES, FLORIDA, AS FOLLOWS:

Section 1. The City Council hereby amends the expenditures in the New Growth (301) fund, and expenditures in the ARPA Youth Building (306) fund and the balances listed in attached Exhibit "A" and adopts such amendments to the Budget of the City of Greenacres for the Fiscal Year October 1, 2024, through September 30, 2025, inclusive.

# Section 2. Repeal of Conflicting Ordinances.

All ordinances or parts thereof or parts of the Code conflicting or inconsistent with the provisions of this ordinance are hereby repealed.



# Section 3. Severability.

If any section, part of a section, paragraph, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holdings of invalidity shall not affect the remaining portion of this Ordinance and it shall be construed to have been the legislative intent to pass the Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts shall be deemed to be held valid as if such part or parts had not been included therein, or if this Ordinance or any of the provisions thereof shall be held inapplicable to any person, group of persons, property, kind of property, circumstances, or set of circumstances, such holdings shall not affect the applicability thereof to any other person, property or circumstances.

## **Section 4. Effective Date.**

The provisions of this Ordinance shall become effective upon adoption.

# Passed on the first reading this 21st day of April 2025.

	Voted:
Chuck Shaw, Mayor	Susy Diaz, Deputy Mayor
Attest:	
	Voted:
Quintella Moorer, City Clerk	John Tharp, Council Member, District I
	Voted:
	Peter Noble, Council Member, District II
	Voted:
	Judith Dugo, Council Member, District III
	Voted:
	Paula Bousquet, Council Member, District V

Approved as to Form and Legal Sufficiency:

Glen J. Torcivia, City Attorney

# FYE 9/30/2025 Exhibit "A"

Expense		Increas	se (Decrease)
CIP 239 Safe Street and Roads	301-40-42-63-14	:	\$ 50,000
301 Fund Balance	(\$ 50,000)		
301 Net Fun	(\$ 50,000)		
Expense			
CIP 236 Youth Building	306-60-42-62-43	\$	880,000
306 Fund Balance		(\$	880,000)
306 Net Fun	d(s) Balance Change	(\$	880,000)



# **ITEM SUMMARY**

MEETING DATE: April 21, 2025

**FROM:** Denise Malone, AICP, Director Development and Neighborhood Services

SUBJECT: Resolution 2025-15, SE-23-05

Special Exception for Murphy USA

## **BACKGROUND**

Amber Rebert, agent for the owners, ARL FHJ, LLC is requesting approval for a Special Exception to allow for a proposed Convenience Store with Fuel Sales within a Commercial Intensive zoning district. The site is located on the south side of Forest Hill Boulevard at 6270 Forest Hill Boulevard, approximately 1,100 feet east of Jog Road.

The Development Review Committee has reviewed this proposal and recommended approval, followed by the Planning and Zoning Board, which recommended approval by a vote of 5-0 at their meeting on April 10, 2025.

#### **ANALYSIS**

The request is for the approval of a Special Exception to allow a Convenience Store with Fuel Sales within the Commercial Intensive zoning district. Concurrently, an application for the Site and Development Plans (SP-23-07) including a Master Sign Plan (MSP-24-06) is also being processed and complies with all applicable City Code requirements. The proposed site layout includes 15 parking spaces, exceeding the minimum City Code requirement of 14 spaces based on the size of the convenience store. The site design incorporates enhanced landscaping and a masonry buffer wall along the eastern property boundary, ensuring compatibility and sufficient screening from the adjacent residential. Architectural plans demonstrate compatibility with the existing commercial character of the area, utilizing complementary materials, colors, and design features.

There are two (2) ingress and egress points, one located on Forest Hill Boulevard and one on the adjacent Walmart access drive to the west. Pedestrian access is provided by a sidewalk connection to Forest Hill Boulevard and includes pavered crosswalks, facilitating safe pedestrian movements.

The applicant has obtained all outside agency concurrency requirements including the Traffic Performance Standards from Palm Beach County which has a build-out date of December 31, 2025. The proposal has satisfied the applicable City Code requirements for approval of the Special Exception and Staff's findings of fact are indicated in the staff report with thirty (30) conditions of approval.

## **FINANCIAL INFORMATION**

Prior to the issuance of any Building Permits, the applicant shall be required to pay all applicable impact fees, including the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201, as well as the amounts due under the City's Arts in Public Places (AIPP) Program.

## **LEGAL**

Resolution 2025-15 was prepared in accordance with all applicable State Statutes and City Code requirements. The document has been reviewed for legal sufficiency.

### STAFF RECOMMENDATION

Approval of SE-23-05 through the adoption of Resolution 2025-15.

#### **RESOLUTION NO. 2025-15**

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, APPROVING AN APPLICATION FOR A SPECIAL EXCEPTION TO ALLOW A CONVENIENCE STORE WITH FUEL SALES LOCATED WITHIN THE COMMERCIAL INTENSIVE ZONING DISTRICT, APPROXIMATELY 1,100 FEET EAST OF THE INTERSECTION OF FOREST HILL BOULEVARD AND JOG ROAD, ON THE SOUTH SIDE OF FOREST HILL BOULEVARD AT 6270 FOREST HILL BOULEVARD, AS REQUESTED BY THE APPLICANT, AMBER REBERT OF CPH, LLC, AGENT FOR THE OWNER, ARL FHJ, LLC; PROVIDING FOR REPEAL OF CONFLICTING RESOLUTIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Applicant, Amber Rebert of CPH, LLC, as agent for the property owner, ARL FHJ, LLC, has submitted an application for Special Exception approval to allow a Convenience Store with Fuel Sales to be located within a Commercial Intensive (CI) zoning district, located at 6270 Forest Hill Boulevard, pursuant to Section 16-499(17), Commercial Intensive (CI) regulations of the Zoning Code; and

WHEREAS, the applicant presented this matter to the Development Review Committee of the City of Greenacres which provided comments to the Planning, Engineering, and GIS Division which, in turn, recommended approval of the Special Exception to allow for a Convenience Store with Fuel Sales within a Commercial Intensive (CI) zoning district, located 1,100 feet east of Jog Road on the South Side of Forest Hill Boulevard at 6270 Forest Hill Boulevard with the conditions identified herein; and

WHEREAS, the Planning and Zoning Board held a public hearing April 10, 2025, reviewed the applicant's request, and made a recommendation on the application with a vote of 5 to 0; and

WHEREAS, this matter has been presented to the City Council for final approval, and the Council has voted to approve the Special Exception to allow for a Convenience Store with

Fuel Sales within a Commercial Intensive (CI) zoning district, subject to the conditions of approval and staff recommendation at the April 21, 2025, Public Hearing.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:

**SECTION 1.** The Application, SE-23-05, a Special Exception to allow for a Convenience Store with Fuel Sales within a Commercial Intensive (CI) zoning district is hereby APPROVED, subject to the conditions of approval contained herein, which are in addition to the general requirements otherwise provided by resolution for real property as follows:

# **Legal Description**

# PCN: 18-42-44-10-00-000-5020

10-44-42, NLY 277.21 FT OF E 220 FT OF W 1/2 OF SE 1/4 LYG S OF & ADJ TO FOREST HILL BLVD R/W

CONTAINING A TOTAL OF 1.17 ACRES MORE OR LESS.



Subject site outlined in red line

**SECTION 2.** All resolutions in conflict herewith are hereby repealed.

**SECTION 3.** This resolution shall be effective upon its adoption subject to the following conditions, which shall be responsibility of and binding upon the Applicant, its successors, or assigns:

1. The most stringent requirements of this DNS Staff Report and Recommendation dated March 26, 2025, and strict compliance with the Site and Development Plans exhibits stamped approved by the City of Greenacres on April 21, 2025, and listed below, which are attached hereto and made part hereof as Exhibit "A"

- A. SP-23-07 Murphy's (Forest Hill Blvd) Site Plan, Sheets SP-0 through SP-14, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- B. SP-23-07 Murphy's (Forest Hill Blvd) **Landscape Plan**, Sheets LP-1 through LP-4, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- C. SP-23-07 Murphy's (Forest Hill Blvd) **Tree Removal Plan,** Sheet TR-1, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- D. SP-23-07 Murphy's (Forest Hill Blvd) Irrigation Plan, Sheets IR-1 through IR-3, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- E. SP-23-07 Murphy's (Forest Hill Blvd) **Photometric Plan,** Sheet L-1.0, received by DNS on April 10, 2025, and prepared by JWG of Galloway
- F. SP-23-07 Murphy's (Forest Hill Blvd) **Architectural Plan,** Sheets 1 through 4, received by DNS on April 10, 2025, and prepared by Scott Loikits of GreenbergFarrow
- G. SP-23-07 Murphy's (Forest Hill Blvd) **Master Sign Plan,** Sheets MSP-1, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- H. SP-23-07 Murphy's (Forest Hill Blvd) Civil/Engineering Plan, Sheets C-2 through C-13, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- 2. The project shall be required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201. The amount of **\$7,907.20** shall be paid prior to the issuance of any Building Permits. (Planning, Engineering, and Building)
- 3. The project shall be required to pay the City's Arts in Public Places (AIPP) public art fee if the total construction costs is two hundred fifty thousand dollars (\$250,000) or greater, in accordance with Section 16-661. If applicable, the public art fee shall be equal to one (1) percent of the total construction costs of the project. The contribution shall be placed in the city's public art fee fund and the contributor shall have no input in the use of such funds. The contribution shall be divided into two (2) payments as follows:
  - A. Prior to Building Permit Issuance: The developer shall submit to the building division/finance department a preliminary certification of the total construction costs. This preliminary certification shall be used to calculate the developer's initial payment of thirty (30) percent of the contribution. The developer shall make this initial payment to the building division/finance department prior to the issuance of any building permit.
  - B. **Prior to Issuance of the Final Certificate of Occupancy**: The developer shall submit to the building division/finance department a final certification of the total construction costs. This final certification shall be used to calculate the outstanding portion of the contribution. The developer shall pay the outstanding portion of the contribution prior to the issuance of the final certificate of occupancy for the project.

- 4. The project shall participate in the City Tree Dedication Program per Section 16-1293; prior to the issuance of any Building Permits, one (1) tree to be donated per 1,000 sq. ft. of building area or fraction thereof, therefore **seven (7) Live Oaks or equivalent cash payment** shall be donated to the City subject to the following specification: Live Oak, Florida Grade #1 Container Grown; minimum 12 ft. high; 2 inch diameter trunk at 4 ft.; and 5 ft. spread. (Planning and Building)
- 5. Any site permits required and/or obtained shall be maintained in an active status with the respective permitting agency until all the work covered by the permit is satisfactorily completed, any applicable inspections passed, and officially closed out with the City. (Building, Planning, Engineering and Public Works)
- 6. Permits from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), and Palm Beach County Land Development, as required, for the stormwater management system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 7. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 8. The required masonry wall along the east property line shall be a minimum of 8 feet in height, measured from the highest adjacent grade, and shall be finished with stucco on both sides. The following shall also apply:
  - A. The stucco shall be painted to match and harmonize with the building's exterior walls.
  - B. Landscaping shall be installed in front of the wall in accordance with the City's Zoning Code.
  - C. The property owner shall continue to coordinate with the owner of the adjacent residential property to the east regarding the existing 6-foot wall, with the objective of either constructing a continuous 8-foot-tall wall or ensuring that no gap exists between the existing wall and the proposed wall that could present safety or maintenance concerns.
  - D. The wall design, including all relevant details, shall be reflected on all applicable plan sheets and submitted for review and approval as part of the Engineering Permit submission.
  - E. The property owner shall obtain and submit for review and approval a written legal authorization or easement agreement from the owner of the adjacent residential property to the east, confirming the coordination and consent for any work to be conducted on the adjacent property as part of the Engineering Permit submission.
  - F. The property owner shall remain solely responsible for the maintenance of the wall. (Planning, Engineering, and Building)
- 9. An Engineering Permit, issued by the City of Greenacres, is required prior to any sitework or construction activities outside of the proposed structures and work related to subdivision and/or development improvements taking place. The Engineering Permit must be closed out before any Certificates of Occupancy (CO) are issued for any buildings or structures.

No Engineering Permit shall be issued for construction or work until an approved cost estimate and a bond for all sitework has been posted. Once site work is complete, a maintenance bond will be required prior to the close out of the engineering permit. (Engineering)

- 10. Upon completion of all required improvements, the developer/property owner shall direct the civil engineer of record to prepare as-built drawings for all project plans and submit the project baseline data for all relevant layers to the Development & Neighborhood Services Department. The data must be provided in one of the following formats: (a) AutoCAD DXF, (b) GIS shapefile (comprising the ESRI extensions .shp, .shx, and .dbf), or (c) Geodatabase (with the ESRI .gdb extension). The timeline for submitting the as-built plans will be determined by the City Engineer, and submission must occur prior to the acceptance of improvements and the release of the bond for sitework. (Planning and Engineering)
- 11. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD and City of Greenacres must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test. Additionally, documentation detailing the maximum impervious surface allowances for the overall project, as acceptable to the City Engineer, must be provided. All required documents must be submitted with the application for Engineering Permits. (Engineering)
- 12. The establishment may operate 24 hours a day, 7 days a week. Should any issues arise regarding the operation hours, the City Manager or their designee reserves the right to modify the hours of operation. The establishment shall otherwise comply with Sec. 8-27. Hours of Sale, as amended, which prohibits the sale or dispensing of alcoholic beverages between the hours of 2:00 a.m. and 7:00 a.m. of each day. (Planning)
- 13. No outdoor speakers shall be permitted. (Planning and Building)
- 14. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of **December 31, 2025**, unless a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
- 15. Any unused existing easements and rights-of-way on the subject property shall be abandoned prior to the issuance of Engineering Permits. (Engineering)
- 16. Driveway connection and/or right-of-way construction permits from Palm Beach County Land Development and/or FDOT must be obtained prior to the issuance of Engineering Permits. Any existing driveway connections on site which will become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering)
- 17. In accordance with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. An NPDES Permit shall be provided to the City, prior to any site

- activity, as part of the Engineering Permit. (Planning, Engineering, Building and Public Works)
- 18. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning, Engineering and Building)
- 19. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
- 20. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened from view. No equipment shall be taller than the proposed screening. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning and Building)
- 21. Landscaping shall be maintained in perpetuity in accordance with the City's Landscaping Regulations and the approved Landscaping Plan, including specifications for plant size, number, location, and type of landscaping material. All plant life shown on an approved landscape plan shall be replaced if it dies, is seriously damaged, or removed. All plant material shall be kept reasonably free of visible signs of pests, infestation, or disease. (Planning)
- 22. A certified cost estimate by a FL Registered Landscape Architect or Engineer, for the project's landscape materials, installation, irrigation and labor to establish a 1-year maintenance financial guarantee or financial security in a form acceptable to the City Attorney in the amount of 110% of the estimate shall be posted for the project's landscaping, in addition to the other bonds required for site improvements. The owner shall provide this financial guarantee or financial security before the City performs any landscape inspection or issues a Certificate of Occupancy. If project's landscaping is not maintained, the City may use the financial guarantee or financial security to maintain or replace dead or unacceptable landscape materials and irrigation components after providing written notice to the property owner. (Planning and Engineering)
  - a. The project Landscape Architect shall conduct a field inspection at substantial completion of the project to verify that the landscape and irrigation installation complies with the approved plans and is healthy and flourishing before the project's 1-year maintenance financial guarantee/security period begins. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City inspection of the landscape installation.
  - b. The project Landscape Architect shall conduct an interim field inspection near the 6-month mark of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of

Page No. 9

- Compliance letter to the City of Greenacres and request an interim City re-inspection of the maintained landscaping at the 6-month mark of the maintenance financial guarantee/security period.
- c. The project Landscape Architect shall conduct a field inspection near the completion of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City re-inspection of the maintained landscaping 30 days prior to the end of the maintenance financial guarantee/security period.
- d. Upon passing the final re-inspection, the property owner may request in writing the release and return of any remaining financial guarantee/security. If the location fails the final re-inspection, the financial guarantee/security shall not be released to the property owner. Once the property owner completes the required improvements, the financial guarantee/security shall be released. If these necessary improvements do not occur, the City may use the financial guarantee/security to maintain or replace landscape items as necessary.
- 23. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Landscaping Plan additions may be necessary to meet Code requirements if existing material is unsuitable to remain. (Planning)
- 24. By the initial landscape inspection, all existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants in perpetuity. (Planning)
- 25. For roofing materials, all exterior roof surfaces shall be either rated by the Cool Roof Rating Council or labeled as an Energy Star qualified roof product and be in accordance with the Florida Building Code. This excludes portions of the roof acting as a rooftop deck, green roof, or any area of a roof utilized by photovoltaic and solar equipment. Product specifications for roofing materials must be submitted and approved as part of the roofing-related Building Permit submittals.
- 26. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
- 27. The Site and Development Plan shall be revised as necessary and as otherwise noted herein to reflect all conditions of approval and re-submitted, prior to the issuance of Engineering Permits. (Planning, Building, Engineering and Public Works)

- 28. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits and a Certificate of Occupancy. (Planning, Engineering, and Building)
- 29. The conditions of approval herein shall apply to the Owner, Applicant, and their successors and assigns. Deviation from any portion of the approved Site and Development Plans, Special Exception, or failure to comply with any requirement, condition or safeguard imposed by the City during the approval procedure shall render the Site and Development Plans and Special Exception approval null, void, and of no further effect upon determination by the City Council. (Planning)

#### **30. CITY ADVISORY NOTICES:**

- (1) Development permits and orders. As provided by subsection 166.033(6), Florida Statutes, issuance of a development permit by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- (2) **No Guarantee by City.** It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.
- (3) Indemnification. The Owner/Developer shall indemnify and hold the City harmless from any and all claims, demands, disputes, costs, expenses, (to include attorney's fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the use or development of the Property, except those claims or liabilities by or arising from gross negligence or intentional acts of the City, or its employees, contractors or agents.

# RESOLVED AND ADOPTED this 21st of day of April, 2025

	Voted:
Chuck Shaw, Mayor	John Tharp, Council Member, District I
Attest:	
	Voted:
Quintella Moorer, City Clerk	Peter Noble, Council Member, District II
	Voted:
	Judith Dugo, Council Member, District III
	Voted:
	Susy Diaz, Deputy Mayor
	Voted:
	Paula Bousquet, Council Member, District V
Approved as to Form and Legal Sufficiency:	
Glen J. Torcivia, City Attorney	

(SE-23-05 | Resolution 2025-15)

(SP-23-07 and MSP-24-06 | Resolution 2025-16)

Date: March 26, 2025



## **DEVELOPMENT & NEIGHBORHOOD SERVICES STAFF REPORT AND RECOMMENDATION**

Revised:

# **I.** Project Description:

**Project:** Murphys USA

**Applicant:** Amber Rebert of CPH, LLC

500 W Fulton Street Sanford, FL 32771

Authorized agent for the owners:

ARL FHJ, LLC

**Request:** Special Exception, along with Site and

Development Plans including a Master Sign Plan approval to allow for the construction of a Convenience Store with

Fuel Sales.

**Location:** 6270 Forest Hill Boulevard, south side of

Forest Hill Boulevard, approximately

1,100 feet east of Jog Road.

Project Manager: Gionni Gallier, Senior Planner



Subject property is outlined in red.  $\uparrow N$ Existing convenience store with fuel sales for the Variance consideration is outlined in yellow.

# II. Site Data:

**Existing Use:** Retail

**Proposed Use:** Convenience Store with Fuel Sales

**Parcel Control Number:** 18-42-44-10-00-000-5020

**Parcel Size:** 51,111 square feet (1.17 acres)

**Existing Future Land Use Designation:** Commercial (CM)

**Existing Zoning District:** Commercial Intensive (CI)

Table 1: Surrounding Land Use, Future Land Use Designation, and Zoning District:				
Direction	Existing Land Use	Future Land Use Designation	Zoning District	
North	Casa Del Monte MHP (Unincorporated PBC - Residential)	PBC - Residential High (PBC HR-12)	PBC – Agricultural Residential (PBC AR)	
South	Walmart Supercenter	Commercial (CM)	Commercial Intensive (CI)	
East	Palo Verde Apartments (Unincorporated PBC - Residential)	PBC - Residential High (PBC HR-18)	PBC - Residential High (PBC RH)	
West	Walmart Supercenter	Commercial (CM)	Commercial Intensive (CI)	

## **III.** Annexation/Zoning History:

The subject property was annexed into the City of Greenacres on February 25, 1974, through Ordinance 176, at which time it was designated as General Commercial (GC) by the City Council. On July 14, 1986, the property was rezoned to Commercial Intensive (CI) through the City-wide rezoning of ZTA-86-24 by Ordinance 86-15. The existing commercial strip center was approved under Palm Beach County Building Permit #B-62096, issued on January 18, 1974, and subsequently underwent final inspection and closeout by the Palm Beach County Zoning and Building Department.

#### **IV.** Applicable Code Provisions:

Sections 16-171 through 16-178 pertaining to Special Exceptions

Sections 16-196 through 16-202 pertaining to Site and Development Plans

Sections 16-496 through 16-520 pertaining to the Commercial Intensive (CI) zoning district

Sections 16-931 through 16-997 pertaining to Sign Regulations

Sections 16-1241 through 16-1312 pertaining to Landscaping

Sections 16-1331 through 16-1340 pertaining to Off-Street Parking and Loading

### V. Summary of Proposed Site and Development Plans Details:

The applicant's Site and Development Plans date-stamped March 04, 2025, depict the following:

- 1. A total land area of 1.17 acres (51,111 square feet).
- 2. One (1) 2,824-sq. ft. convenience store and associated overhead canopy featuring six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations.
- 3. A total of 15 parking spaces including one (1) Americans with Disabilities Act (ADA) accessible parking space.
- 4. A Floor Area Ratio (FAR) intensity of 0.065 based on the convenience store's area.
- 5. Two (2) ingress and egress points for vehicles, one (1) onto Forest Hill Boulevard and one (1) on the adjacent Wal-Mart access drive to the west of the property. One (1) sidewalk connection to Forest Hill Boulevard.
- 6. A dumpster enclosure with dumpster elevations constructed of block, finished with stucco painted to match the building, and equipped with the required gates.
- 7. Landscape Plan.
- 8. Architectural Plans and Elevations.
- 9. Photometric Plan.
- 10. Preliminary Engineering Plan.
- 11. Master Sign Plan (MSP-24-06), depicting freestanding identification sign, fuel canopy signage, and building wall signage.
- 12. Boundary Survey.

Table 2: Proposed Site Data:					
Area:	Square Footage:	Acreage:	Percentage:		
Building Lot Coverage (including covered canopies)	6,680	0.155	13.1%		
Site Impervious Area (excluding building lot coverage)	27,726	0.636	54.2%		
Site Landscape Area	16,705	0.383	32.7%		
Total	51,111	1.17	100%		
Total Floor Area	2,824	0.065	5.53%		

(SE-23-05 | Resolution 2025-15)

(SP-23-07 and MSP-24-06 | Resolution 2025-16)

#### VI. Staff Analysis:

## Background:

The applicant is requesting approval for a Special Exception (SE-23-05) and Site and Development Plans (SP-23-07) including a Master Sign Plan (MSP-24-06) to redevelop the existing 1.17-acre commercial strip center site into a 2,824-square-foot convenience store with an associated overhead canopy and six (6) dual sided fuel dispensing pumps serving twelve (12) fueling stations. The Site Plan includes a total of 15 parking spaces, including one (1) designated Americans with Disabilities Act (ADA) accessible parking space. The design includes two (2) vehicle ingress and egress points – one (1) onto Forest Hill Boulevard and one (1) onto the adjacent Wal-Mart access drive located west of the subject site. Additionally, a sidewalk with paver crossings from Forest Hill Boulevard to the convenience store has been incorporated to guide pedestrian traffic and enhance the provided pedestrian- and bike-friendly amenities. The subject site is also proposing landscaping that exceeds the minimum code requirements. The proposed facility is requesting to operate 24 hours a day, 7 days a week. The subject site currently functions as a multi-tenant commercial strip center, which has neither any historic nor architecturally significant characteristics, and currently includes check cashing services, a pizza restaurant, a barbershop, a cell phone store, and a convenience store.

Concurrently, a Special Exception application (SE-23-05) for a Convenience Store with Fuel Sales is being processed alongside the Site and Development Plans. An application for a Master Sign Plan (MSP-24-06) is also being processed together with the Site and Development Plans and complies with all applicable City Code requirements. The proposed signage package, including its number, design, size, illumination, and location, aligns with the overall architectural intent and meets the required standards. A Variance request (BA-23-08), addressing the separation distance requirements specified in Sec. 16-499(17)(f) and Sec. 16-499(19)(a), was approved by the Planning and Zoning Board on March 13, 2025, allowing a reduction to 768 feet from the required 1,500-foot separation between any two (2) convenience stores and between any two (2) fuel stations.

The site will be landscaped in accordance with the submitted Landscape Plan and City Code. A variety of landscaping materials have been provided, and the design strategically integrates the landscaping to screen and soften the appearance of surface parking areas. This approach meets the provision requiring that convenience stores meet or exceed the landscaping standards of the City Code. Staff and the applicant have collaborated to incorporate additional Crape Myrtle, Christmas Palm, extensive shrubs, and groundcover to enhance the landscaping beyond the minimum requirements. It is important to note that the existing site is currently nonconforming with respect to landscaping, given the limited presence of plantings aside from a few shrubs and nine (9) palm trees, of which eight (8) will be preserved.

The architectural elevations are well-suited to the proposed use and will not significantly detract from the surrounding environment. The canopy has been designed to blend with the façade of the proposed structure, utilizing a palette of complementary colors, materials, and textures. The earth tones and wall material of the proposed structure are also consistent with the existing context and surrounding structures.

The development is required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201. Therefore, an amount of **\$7,907.20** shall be paid prior to the issuance of Building Permits based on the building square footage of 2,824 square feet.

On February 15, 2024, the Development Review Committee (DRC) reviewed this application and recommended approval subject to the comments noted herein and the conditions of approval listed below.

# Standards for Site and Development Plans and Staff Findings:

1.	Minimum Lot Requirement:	Since the subject lot was legally cre	eated and approved by
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the City prior to the applicability of the City's Zoning Code, in accordance with Section 16-1360(a), the 1.17-acre site meets the minimum area requirement of 2.0

acres for the CI zoning district.

2. Maximum Lot Coverage: Building coverage of 13.1% does not exceed the

maximum of 30%.

3. Minimum Yard Requirements: Setbacks **meet** all requirements of 50' front, 25' side

corner, 20' side interior and 30' rear.

4. Height Restrictions: The 1-story building height of 18.5' for the Murphy's

convenience store building and the canopy height of 18.75' **does not exceed** the allowable height of 35'.

5. Off-Street Parking & Loading: The 15 parking spaces provided **exceeds** the minimum

required 14 parking spaces, based on the code requirement of 1 space per 200 square feet of the

convenience store.

6. Landscaping: The landscaping plan **complies** with the Landscape Code

requirements. (See Landscaping Plans)

7. Lighting: The photometric plan **complies** with the applicable City

Code requirements for lighting. (See Photometric Plans)

8. Sign Regulations: Signs on-site, as detailed in Master Sign Plan MSP-24-

06, **meet** the required applicable City Code requirements.

(Refer to Sign Plan on Sheet MSP-1)

9. Utilities: The proposed water, sanitary sewer, and drainage

systems **meet** preliminary engineering and City Code requirements, subject to final approval of an Engineering Permit and prior to the issuance of a Building Permit.

10. Concurrency: Project **meets** traffic concurrency. Water and Sewer

service and capacity **are available** to serve the site.

11. Comprehensive Plan: The proposed development **is consistent** with the

Commercial (CM) future land use category, and the

proposed intensity of 0.065 FAR **does not exceed** the maximum allowable intensity of 0.35 FAR.

12. Color Scheme: The color of the building **shall be** in accordance with the

approved Site and Development Plans.

13. Site and Building Design: The project layout and architectural design **comply** with

the site and building design requirements of the Code and are appropriately scaled for this development type. The canopy and façade treatments are compatible with and complement the adjacent developments. In addition, the Landscape Plan enhanced plantings that exceed the

minimum City Code landscaping standards.

14. Hours of Operation: The proposed hours of operation, 24 hours a day, 7 days

a week, **are compatible** with the surrounding land uses, given the adjacent commercial context to the west and south, the sites location along Forest Hill Boulevard — a major arterial thoroughfare, and the adequate buffer provided to neighboring residential area to the east. The establishment shall otherwise comply with Sec. 8-27. - Hours of Sale, as amended, which prohibits the sale or dispensing of alcoholic beverages between the hours of

2:00 a.m. and 7:00 a.m. of each day.

## **VII.** Special Exception Criteria and Findings of Fact:

1. The proposed use complies with all relevant elements of the Comprehensive Plan;

**Finding:** The proposed Convenience Store with Fuel Sales complies with all the relevant elements of the City of Greenacres' Comprehensive Plan and aligns with the goals, objectives, and policies outlined in the Comprehensive Plan, which is designed to direct growth and development towards suitable areas within the City. A Convenience Store with Fuel requires Special Exception approval within the Commercial Intensive (CI) Zoning District to ensure that any potential impacts arising from the use and operation are thoroughly addressed and adequately mitigated.

2. Ingress and egress to the property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe will not be adversely affected by the proposed special exception;

Finding: The site provides adequate ingress and egress through two (2) access points—one (1) on Forest Hill Boulevard and one (1) on the adjacent Walmart access drive to the west. The site also includes a sidewalk connection to Forest Hill Boulevard for pedestrian access. Staff, including the City's traffic engineering consultant, have reviewed the plan regarding automobile, pedestrian, fire safety, traffic flow, and control, and have confirmed compliance with all applicable City Code requirements.

3. Off-street parking and loading is provided where required, with particular attention to the items in (2) above will not adversely affect public health and safety;

*Finding:* The off-street parking provided on the site meets the minimum parking requirements. The site also includes designated loading areas to ensure efficient deliveries and operations.

4. Refuse and service areas provided with particular reference to items (2) & (3) above will not adversely affect public health and safety;

**Finding:** The City's franchise hauler will serve the site for all refuse collection. The dumpster and recycling provisions meets all City Code requirements of screening and access and will provide an adequate storage area for refuse and will not adversely affect public health and safety.

5. The proposed use will not create a nuisance factor detrimental to adjacent and nearby properties and the City as a whole;

**Finding:** The proposal is adjacent to existing commercial uses to the west and south and is consistent with the established commercial nature along Forest Hill Boulevard, which includes a mix of high-intensity retail and service uses. The project incorporates landscape buffers exceeding minimum code requirements, minimizing potential adverse impacts. The building setbacks comply with zoning regulations, and all site elements have been designed to prevent any nuisance or adverse effects.

6. The location, availability and compatibility of utilities for the requested use will not adversely affect public health and safety;

*Finding:* The project will be fully served by underground utilities, including water and sewer services provided by the Palm Beach County Water Utilities Department. All required utility connections are available on-site, and the project meets the Level of Service (LOS) standards established in the City's Comprehensive Plan.

7. The screening and buffering of the requested use are consistent with the applicable zoning requirements relative to type, dimension and character;

*Finding:* The proposed development's landscaping complies with CI zoning district requirements, with additional plantings provided beyond the required amount and includes buffer areas that meet or exceed minimum width requirements. These landscape buffers will enhance compatibility with adjacent properties while ensuring a visually appealing and well-screened development.

8. Signs and proposed exterior lighting are provided with reference to glare, traffic safety and economic effect, and compatibility and harmony with properties in the district;

*Finding:* The Master Sign Plan (MSP-24-06) includes a signage package which meets the requirements of the City's Code. The provided Photometric Plan shows all exterior lighting meets the City Code requirements for limiting spill onto adjacent neighboring property and onto major roads.

# 9. The requested use appears to meet the required yards and other open space;

**Finding:** The project complies with all landscaping and setback requirements of the Zoning Code. The proposed lot coverage of 13.1% is below the maximum allowable 30%, ensuring that adequate open space and landscaped areas are maintained. All building setbacks comply with the Commercial Intensive (CI) Zoning District's requirements.

# 10. Proposed general use is compatible with adjoining properties and other property in the district;

**Finding:** The proposed commercial use is compatible with the existing high-intensity commercial nature along this corridor and adjacent uses. The subject site is surrounded by commercial uses and the residential community to the east is buffered by additional setbacks and enhanced landscaping. A six (6)-foot-high concrete wall currently exists on the residential property, and the applicant is proposing to construct a new concrete buffer wall on the commercial site, as required by City Code, to further mitigate potential impacts.

## 11. The change suggested is not out-of-scale with the needs of the neighborhood or the City;

*Finding:* The proposed Convenience Store with Fuel Sales is appropriately scaled for its location and is consistent with the size and intensity of surrounding commercial developments. The project aligns with the existing retail and service-oriented uses along this segment of Forest Hill Boulevard, ensuring that it meets the needs of the local community without creating an excessive burden on infrastructure or traffic.

# 12. The requested use and structure is consistent with any special requirements set out in the Schedule of District Regulations for the particular use and structure involved;

*Finding:* The proposed use complies with the special requirements as outlined in the Special Exception criteria for a Convenience Store with Fuel Sales within the Commercial Intensive (CI) zoning district. The separation distance requirements are satisfied via the approval of Variance (BA-23-08), which was approved by the Planning and Zoning Board on March 13, 2025.

## **VIII. Staff Recommendation:**

*Approval* of SE-23-05, SP-23-07, and MSP-24-06 with the following conditions:

- 1. The most stringent requirements of this DNS Staff Report and Recommendation dated March 26, 2025, and strict compliance with the Site and Development Plans exhibits stamped approved by the City of Greenacres on April 21, 2025, and listed below, which are attached hereto and made part hereof as Exhibit "A"
  - A. SP-23-07 Murphy's (Forest Hill Blvd) **Site Plan**, Sheets SP-0 through SP-14, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
  - B. SP-23-07 Murphy's (Forest Hill Blvd) **Landscape Plan**, Sheets LP-1 through LP-4, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC

- C. SP-23-07 Murphy's (Forest Hill Blvd) **Tree Removal Plan**, Sheet TR-1, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- D. SP-23-07 Murphy's (Forest Hill Blvd) **Irrigation Plan,** Sheets IR-1 through IR-3, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- E. SP-23-07 Murphy's (Forest Hill Blvd) **Photometric Plan,** Sheet L-1.0, received by DNS on April 10, 2025, and prepared by JWG of Galloway
- F. SP-23-07 Murphy's (Forest Hill Blvd) **Architectural Plan,** Sheets 1 through 4, received by DNS on April 10, 2025, and prepared by Scott Loikits of GreenbergFarrow
- G. SP-23-07 Murphy's (Forest Hill Blvd) **Master Sign Plan**, Sheets MSP-1, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- H. SP-23-07 Murphy's (Forest Hill Blvd) Civil/Engineering Plan, Sheets C-2 through C-13, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- 2. The project shall be required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201. The amount of \$7,907.20 shall be paid prior to the issuance of any Building Permits. (Planning, Engineering, and Building)
- 3. The project shall be required to pay the City's Arts in Public Places (AIPP) public art fee if the total construction costs is two hundred fifty thousand dollars (\$250,000) or greater, in accordance with Section 16-661. If applicable, the public art fee shall be equal to one (1) percent of the total construction costs of the project. The contribution shall be placed in the city's public art fee fund and the contributor shall have no input in the use of such funds. The contribution shall be divided into two (2) payments as follows:
  - A. **Prior to Building Permit Issuance**: The developer shall submit to the building division/finance department a preliminary certification of the total construction costs. This preliminary certification shall be used to calculate the developer's initial payment of thirty (30) percent of the contribution. The developer shall make this initial payment to the building division/finance department prior to the issuance of any building permit.
  - B. **Prior to Issuance of the Final Certificate of Occupancy**: The developer shall submit to the building division/finance department a final certification of the total construction costs. This final certification shall be used to calculate the outstanding portion of the contribution. The developer shall pay the outstanding portion of the contribution prior to the issuance of the final certificate of occupancy for the project.
- 4. The project shall participate in the City Tree Dedication Program per Section 16-1293; prior to the issuance of any Building Permits, one (1) tree to be donated per 1,000 sq. ft. of building area or fraction thereof, therefore **seven (7) Live Oaks or equivalent cash payment** shall be donated to the City subject to the following specification: Live Oak, Florida Grade #1 Container Grown; minimum 12 ft. high; 2 inch diameter trunk at 4 ft.; and 5 ft. spread. (Planning and Building)
- 5. Any site permits required and/or obtained shall be maintained in an active status with the respective permitting agency until all the work covered by the permit is satisfactorily completed, any applicable inspections passed, and officially closed out with the City. (Building, Planning, Engineering and Public Works)

- 6. Permits from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), and Palm Beach County Land Development, as required, for the stormwater management system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 7. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 8. The required masonry wall along the east property line shall be a minimum of 8 feet in height, measured from the highest adjacent grade, and shall be finished with stucco on both sides. The following shall also apply:
  - A. The stucco shall be painted to match and harmonize with the building's exterior walls.
  - B. Landscaping shall be installed in front of the wall in accordance with the City's Zoning Code.
  - C. The property owner shall continue to coordinate with the owner of the adjacent residential property to the east regarding the existing 6-foot wall, with the objective of either constructing a continuous 8-foot-tall wall or ensuring that no gap exists between the existing wall and the proposed wall that could present safety or maintenance concerns.
  - D. The wall design, including all relevant details, shall be reflected on all applicable plan sheets and submitted for review and approval as part of the Engineering Permit submission.
  - E. The property owner shall obtain and submit for review and approval a written legal authorization or easement agreement from the owner of the adjacent residential property to the east, confirming the coordination and consent for any work to be conducted on the adjacent property as part of the Engineering Permit submission.
  - F. The property owner shall remain solely responsible for the maintenance of the wall. (Planning, Engineering, and Building)
- 9. An Engineering Permit, issued by the City of Greenacres, is required prior to any sitework or construction activities outside of the proposed structures and work related to subdivision and/or development improvements taking place. The Engineering Permit must be closed out before any Certificates of Occupancy (CO) are issued for any buildings or structures. No Engineering Permit shall be issued for construction or work until an approved cost estimate and a bond for all sitework has been posted. Once site work is complete, a maintenance bond will be required prior to the close out of the engineering permit. (Engineering)
- 10. Upon completion of all required improvements, the developer/property owner shall direct the civil engineer of record to prepare as-built drawings for all project plans and submit the project baseline data for all relevant layers to the Development & Neighborhood Services Department. The data must be provided in one of the following formats: (a) AutoCAD DXF, (b) GIS shapefile (comprising the ESRI extensions .shp, .shx, and .dbf), or (c) Geodatabase (with the ESRI .gdb extension). The timeline for submitting the as-built plans will be determined by the City Engineer, and submission must occur prior to the acceptance of improvements and the release of the bond for sitework. (Planning and Engineering)

- 11. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD and City of Greenacres must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test. Additionally, documentation detailing the maximum impervious surface allowances for the overall project, as acceptable to the City Engineer, must be provided. All required documents must be submitted with the application for Engineering Permits. (Engineering)
- 12. The establishment may operate 24 hours a day, 7 days a week. Should any issues arise regarding the operation hours, the City Manager or their designee reserves the right to modify the hours of operation. The establishment shall otherwise comply with Sec. 8-27. Hours of Sale, as amended, which prohibits the sale or dispensing of alcoholic beverages between the hours of 2:00 a.m. and 7:00 a.m. of each day. (Planning)
- 13. No outdoor speakers shall be permitted. (Planning and Building)
- 14. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of **December 31, 2025**, unless a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
- 15. Any unused existing easements and rights-of-way on the subject property shall be abandoned prior to the issuance of Engineering Permits. (Engineering)
- 16. Driveway connection and/or right-of-way construction permits from Palm Beach County Land Development and/or FDOT must be obtained prior to the issuance of Engineering Permits. Any existing driveway connections on site which will become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering)
- 17. In accordance with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. An NPDES Permit shall be provided to the City, prior to any site activity, as part of the Engineering Permit. (Planning, Engineering, Building and Public Works)
- 18. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning, Engineering and Building)
- 19. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
- 20. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened from view. No equipment shall be taller than the proposed screening. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning and Building)

- 21. Landscaping shall be maintained in perpetuity in accordance with the City's Landscaping Regulations and the approved Landscaping Plan, including specifications for plant size, number, location, and type of landscaping material. All plant life shown on an approved landscape plan shall be replaced if it dies, is seriously damaged, or removed. All plant material shall be kept reasonably free of visible signs of pests, infestation, or disease. (Planning)
- 22. A certified cost estimate by a FL Registered Landscape Architect or Engineer, for the project's landscape materials, installation, irrigation and labor to establish a 1-year maintenance financial guarantee or financial security in a form acceptable to the City Attorney in the amount of 110% of the estimate shall be posted for the project's landscaping, in addition to the other bonds required for site improvements. The owner shall provide this financial guarantee or financial security before the City performs any landscape inspection or issues a Certificate of Occupancy. If project's landscaping is not maintained, the City may use the financial guarantee or financial security to maintain or replace dead or unacceptable landscape materials and irrigation components after providing written notice to the property owner. (Planning and Engineering)
  - A. The project Landscape Architect shall conduct a field inspection at substantial completion of the project to verify that the landscape and irrigation installation complies with the approved plans and is healthy and flourishing before the project's 1-year maintenance financial guarantee/security period begins. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City inspection of the landscape installation.
  - B. The project Landscape Architect shall conduct an interim field inspection near the 6-month mark of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request an interim City re-inspection of the maintained landscaping at the 6-month mark of the maintenance financial guarantee/security period.
  - C. The project Landscape Architect shall conduct a field inspection near the completion of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City re-inspection of the maintained landscaping 30 days prior to the end of the maintenance financial guarantee/security period.
  - D. Upon passing the final re-inspection, the property owner may request in writing the release and return of any remaining financial guarantee/security. If the location fails the final re-inspection, the financial guarantee/security shall not be released to the property owner. Once the property owner completes the required improvements, the financial guarantee/security shall be released. If these necessary improvements do not occur, the City may use the financial guarantee/security to maintain or replace landscape items as necessary.
- 23. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Landscaping Plan additions

- may be necessary to meet Code requirements if existing material is unsuitable to remain. (Planning)
- 24. By the initial landscape inspection, all existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants in perpetuity. (Planning)
- 25. For roofing materials, all exterior roof surfaces shall be either rated by the Cool Roof Rating Council or labeled as an Energy Star qualified roof product and be in accordance with the Florida Building Code. This excludes portions of the roof acting as a rooftop deck, green roof, or any area of a roof utilized by photovoltaic and solar equipment. Product specifications for roofing materials must be submitted and approved as part of the roofing-related Building Permit submittals.
- 26. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
- 27. The Site and Development Plan shall be revised as necessary and as otherwise noted herein to reflect all conditions of approval and re-submitted, prior to the issuance of Engineering Permits. (Planning, Building, Engineering and Public Works)
- 28. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits and a Certificate of Occupancy. (Planning, Engineering, and Building)
- 29. The conditions of approval herein shall apply to the Owner, Applicant, and their successors and assigns. Deviation from any portion of the approved Site and Development Plans, Special Exception, or failure to comply with any requirement, condition or safeguard imposed by the City during the approval procedure shall render the Site and Development Plans and Special Exception approval null, void, and of no further effect upon determination by the City Council. (Planning)

#### **30. CITY ADVISORY NOTICES:**

- (1) **Development permits and orders.** As provided by subsection 166.033(6), Florida Statutes, issuance of a development permit by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- (2) **No Guarantee by City.** It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.
- (3) **Indemnification.** The Owner/Developer shall indemnify and hold the City harmless from any and all claims, demands, disputes, costs, expenses, (to include attorney's fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the use or development of the Property, except

those claims or liabilities by or arising from gross negligence or intentional acts of the City, or its employees, contractors or agents.

# PLANNING & ZONING BOARD ACTION – March 13, 2025

POSTPONED TO NEXT MEETING APRIL 10, 2025

### PLANNING & ZONING BOARD ACTION – April 10, 2025

(SE-23-05)

The Planning and Zoning Board on a motion made by Board Member Litowsky and seconded by Board Member Robarts, by a vote of five (5) to zero (0) *recommended approval* of the Special Exception for *Murphy USA* (*SE-23-05*) as presented by staff.

#### (SP-23-07 and MSP-24-06)

The Planning and Zoning Board on a motion made by Board Member Robarts and seconded by Board Member Edmundson, by a vote of five (5) to zero (0) *recommended approval* of the Site & Development Plans including the Master Sign Plan for *Murphy USA* (*SP-23-07 and MSP-24-06*) as presented by staff.

# CITY COUNCIL ACTION – April 21, 2025

#### Attachments:

- 1. Proposed Site and Development Plans (SP-23-07)
- 2. Proposed Master Sign Plan (MSP-24-06)



# **ITEM SUMMARY**

MEETING DATE: April 21, 2025

**FROM:** Denise Malone, AICP, Director Development and Neighborhood Services

**SUBJECT:** Resolution 2025-16, SP-23-07 and MSP-24-06

Site & Development Plans and Master Sign Plan for Murphy USA

#### **BACKGROUND**

Amber Rebert, agent for the owners, ARL FHJ, LLC is requesting approval of the Site and Development Plans including a Master Sign Plan to construct a 2,824 square-foot Convenience Store and associated overhead canopy and six (6) dual sided fuel dispensing pumps serving twelve (12) fueling stations. The site is located on the south side of Forest Hill Boulevard at 6270 Forest Hill Boulevard, approximately 1,100 feet east of Jog Road.

The Development Review Committee has reviewed this proposal and recommended approval, followed by the Planning and Zoning Board, which recommended approval by a vote of 5-0 at their meeting on April 10, 2025.

#### **ANALYSIS**

The request is for approval of the Site and Development Plans including a Master Sign Plan to construct 2,824 square-foot Convenience Store and associated overhead canopy and six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations. Concurrently, a Special Exception application (SE-23-05) to allow for the Convenience Store with Fuel Sales. The proposed site layout includes 15 parking spaces, exceeding the minimum City Code requirement of 14 spaces based on the size of the convenience store. The site design incorporates enhanced landscaping and a masonry buffer wall along the eastern property boundary, ensuring compatibility and sufficient screening from the adjacent residential. Architectural plans demonstrate compatibility with the existing commercial character in the area, utilizing complementary materials, colors, and design features.

There are two (2) ingress and egress points, one located on Forest Hill Boulevard and one on the adjacent Walmart access drive to the west. Pedestrian access is provided by a sidewalk connection to Forest Hill Boulevard and includes pavered crosswalks, facilitating safe pedestrian movements.

The applicant has obtained all outside agency concurrency requirements including the Traffic Performance Standards from Palm Beach County which has a build-out date of December 31, 2025. The proposal has satisfied code requirements for approval of the Site and Development Plans including a Master Sign Plan and Staff's findings of fact are indicated in the staff report with thirty (30) conditions of approval.

# FINANCIAL INFORMATION

Prior to the issuance of any Building Permits, the applicant shall be required to pay all applicable impact fees, including the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201, as well as the amounts due under the City's Arts in Public Places (AIPP) Program.

#### **LEGAL**

Resolution 2025-16 was prepared in accordance with all applicable State Statutes and City Code requirements. The document has been reviewed for legal sufficiency.

## STAFF RECOMMENDATION

Approval of SP-23-07 and MSP-24-06 through the adoption of Resolution 2025-16.

#### **RESOLUTION NO. 2025-16**

A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, APPROVING AN APPLICATION FOR SITE AND DEVELOPMENT PLANS INCLUDING A MASTER SIGN PLAN TO CONSTRUCT A 2,824-SQUARE-FOOT CONVENIENCE STORE WITH AN OVERHEAD CANOPY AND SIX (6) DUAL-SIDED FUEL DISPENSING PUMPS SERVING TWELVE (12) FUELING STATIONS, WITHIN THE COMMERCIAL INTENSIVE (CI) ZONING DISTRICT, APPROXIMATELY 1,100 FEET EAST OF THE INTERSECTION OF FOREST HILL BOULEVARD AND JOG ROAD, ON THE SOUTH SIDE OF FOREST HILL BOULEVARD AT 6270 FOREST HILL BOULEVARD, AS REQUESTED BY THE APPLICANT, AMBER REBERT OF CPH, LLC, AGENT FOR THE OWNER, ARL FHJ, LLC; PROVIDING FOR REPEAL OF CONFLICTING RESOLUTIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Applicant, Amber Rebert of CPH, LLC, as agent for the property owner, ARL FHJ, LLC, has submitted an application for approval of the Site and Development Plans including a Master Sign Plan to allow for the construction of a 2,824-square-foot convenience store with an overhead canopy and six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations, to be located within a Commercial Intensive (CI) zoning district, located at 6270 Forest Hill Boulevard; and

WHEREAS, the applicant presented this matter to the Development Review Committee of the City of Greenacres which provided comments to the Planning, Engineering, and GIS Division which, in turn, recommended approval of the Site and Development Plans including a Master Sign Plan to allow for the construction of a 2,824-square-foot convenience store with an overhead canopy and six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations within a Commercial Intensive (CI) zoning district, located 1,100 feet east of Jog Road on the South Side of Forest Hill Boulevard at 6270 Forest Hill Boulevard with the conditions identified herein; and

**WHEREAS,** the Planning and Zoning Board held a public hearing April 10, 2025, reviewed the applicant's request, and made a recommendation on the application with a vote of 5 to 0; and

WHEREAS, this matter has been presented to the City Council for final approval, and the Council has voted to approve the Site and Development Plans including a Master Sign Plan to allow for the construction of a 2,824-square-foot convenience store with an overhead canopy and six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations within a Commercial Intensive (CI) zoning district, subject to the conditions of approval and staff recommendation at the April 21, 2025, Public Hearing.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREENACRES, FLORIDA, THAT:

SECTION 1. The Application, SP-23-07, the Site and Development Plans including a Master Sign Plan (MSP-24-06) to allow for the construction of a 2,824-square-foot convenience store with an overhead canopy and six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations within a Commercial Intensive (CI) zoning district is hereby APPROVED, subject to the conditions of approval contained herein, which are in addition to the general requirements otherwise provided by resolution for real property as follows:

#### **Legal Description**

#### PCN: 18-42-44-10-00-000-5020

10-44-42, NLY 277.21 FT OF E 220 FT OF W 1/2 OF SE 1/4 LYG S OF & ADJ TO FOREST HILL BLVD R/W

CONTAINING A TOTAL OF 1.17 ACRES MORE OR LESS.



Subject site outlined in red line

**SECTION 2.** All resolutions in conflict herewith are hereby repealed.

**SECTION 3.** This resolution shall be effective upon its adoption subject to the following conditions, which shall be responsibility of and binding upon the Applicant, its successors, or assigns:

1. The most stringent requirements of this DNS Staff Report and Recommendation dated March 26, 2025, and strict compliance with the Site and Development Plans exhibits stamped approved by the City of Greenacres on April 21, 2025, and listed below, which are attached hereto and made part hereof as Exhibit "A"

- A. SP-23-07 Murphy's (Forest Hill Blvd) Site Plan, Sheets SP-0 through SP-14, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- B. SP-23-07 Murphy's (Forest Hill Blvd) **Landscape Plan**, Sheets LP-1 through LP-4, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- C. SP-23-07 Murphy's (Forest Hill Blvd) **Tree Removal Plan,** Sheet TR-1, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- D. SP-23-07 Murphy's (Forest Hill Blvd) Irrigation Plan, Sheets IR-1 through IR-3, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- E. SP-23-07 Murphy's (Forest Hill Blvd) **Photometric Plan,** Sheet L-1.0, received by DNS on April 10, 2025, and prepared by JWG of Galloway
- F. SP-23-07 Murphy's (Forest Hill Blvd) **Architectural Plan,** Sheets 1 through 4, received by DNS on April 10, 2025, and prepared by Scott Loikits of GreenbergFarrow
- G. SP-23-07 Murphy's (Forest Hill Blvd) **Master Sign Plan,** Sheets MSP-1, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- H. SP-23-07 Murphy's (Forest Hill Blvd) Civil/Engineering Plan, Sheets C-2 through C-13, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- 2. The project shall be required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201. The amount of **\$7,907.20** shall be paid prior to the issuance of any Building Permits. (Planning, Engineering, and Building)
- 3. The project shall be required to pay the City's Arts in Public Places (AIPP) public art fee if the total construction costs is two hundred fifty thousand dollars (\$250,000) or greater, in accordance with Section 16-661. If applicable, the public art fee shall be equal to one (1) percent of the total construction costs of the project. The contribution shall be placed in the city's public art fee fund and the contributor shall have no input in the use of such funds. The contribution shall be divided into two (2) payments as follows:
  - A. Prior to Building Permit Issuance: The developer shall submit to the building division/finance department a preliminary certification of the total construction costs. This preliminary certification shall be used to calculate the developer's initial payment of thirty (30) percent of the contribution. The developer shall make this initial payment to the building division/finance department prior to the issuance of any building permit.
  - B. **Prior to Issuance of the Final Certificate of Occupancy**: The developer shall submit to the building division/finance department a final certification of the total construction costs. This final certification shall be used to calculate the outstanding portion of the contribution. The developer shall pay the outstanding portion of the contribution prior to the issuance of the final certificate of occupancy for the project.

# **Resolution No. 2025-16 | SP-23-07 and MSP-24-06 Murphy USA Page No. 6**

- 4. The project shall participate in the City Tree Dedication Program per Section 16-1293; prior to the issuance of any Building Permits, one (1) tree to be donated per 1,000 sq. ft. of building area or fraction thereof, therefore **seven (7) Live Oaks or equivalent cash payment** shall be donated to the City subject to the following specification: Live Oak, Florida Grade #1 Container Grown; minimum 12 ft. high; 2 inch diameter trunk at 4 ft.; and 5 ft. spread. (Planning and Building)
- 5. Any site permits required and/or obtained shall be maintained in an active status with the respective permitting agency until all the work covered by the permit is satisfactorily completed, any applicable inspections passed, and officially closed out with the City. (Building, Planning, Engineering and Public Works)
- 6. Permits from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), and Palm Beach County Land Development, as required, for the stormwater management system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 7. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 8. The required masonry wall along the east property line shall be a minimum of 8 feet in height, measured from the highest adjacent grade, and shall be finished with stucco on both sides. The following shall also apply:
  - A. The stucco shall be painted to match and harmonize with the building's exterior walls.
  - B. Landscaping shall be installed in front of the wall in accordance with the City's Zoning Code.
  - C. The property owner shall continue to coordinate with the owner of the adjacent residential property to the east regarding the existing 6-foot wall, with the objective of either constructing a continuous 8-foot-tall wall or ensuring that no gap exists between the existing wall and the proposed wall that could present safety or maintenance concerns.
  - D. The wall design, including all relevant details, shall be reflected on all applicable plan sheets and submitted for review and approval as part of the Engineering Permit submission.
  - E. The property owner shall obtain and submit for review and approval a written legal authorization or easement agreement from the owner of the adjacent residential property to the east, confirming the coordination and consent for any work to be conducted on the adjacent property as part of the Engineering Permit submission.
  - F. The property owner shall remain solely responsible for the maintenance of the wall. (Planning, Engineering, and Building)
- 9. An Engineering Permit, issued by the City of Greenacres, is required prior to any sitework or construction activities outside of the proposed structures and work related to subdivision and/or development improvements taking place. The Engineering Permit must be closed out before any Certificates of Occupancy (CO) are issued for any buildings or structures.

No Engineering Permit shall be issued for construction or work until an approved cost estimate and a bond for all sitework has been posted. Once site work is complete, a maintenance bond will be required prior to the close out of the engineering permit. (Engineering)

- 10. Upon completion of all required improvements, the developer/property owner shall direct the civil engineer of record to prepare as-built drawings for all project plans and submit the project baseline data for all relevant layers to the Development & Neighborhood Services Department. The data must be provided in one of the following formats: (a) AutoCAD DXF, (b) GIS shapefile (comprising the ESRI extensions .shp, .shx, and .dbf), or (c) Geodatabase (with the ESRI .gdb extension). The timeline for submitting the as-built plans will be determined by the City Engineer, and submission must occur prior to the acceptance of improvements and the release of the bond for sitework. (Planning and Engineering)
- 11. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD and City of Greenacres must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test. Additionally, documentation detailing the maximum impervious surface allowances for the overall project, as acceptable to the City Engineer, must be provided. All required documents must be submitted with the application for Engineering Permits. (Engineering)
- 12. The establishment may operate 24 hours a day, 7 days a week. Should any issues arise regarding the operation hours, the City Manager or their designee reserves the right to modify the hours of operation. The establishment shall otherwise comply with Sec. 8-27. Hours of Sale, as amended, which prohibits the sale or dispensing of alcoholic beverages between the hours of 2:00 a.m. and 7:00 a.m. of each day. (Planning)
- 13. No outdoor speakers shall be permitted. (Planning and Building)
- 14. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of **December 31, 2025**, unless a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
- 15. Any unused existing easements and rights-of-way on the subject property shall be abandoned prior to the issuance of Engineering Permits. (Engineering)
- 16. Driveway connection and/or right-of-way construction permits from Palm Beach County Land Development and/or FDOT must be obtained prior to the issuance of Engineering Permits. Any existing driveway connections on site which will become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering)
- 17. In accordance with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. An NPDES Permit shall be provided to the City, prior to any site

- activity, as part of the Engineering Permit. (Planning, Engineering, Building and Public Works)
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- 27. The Site and Development Plan shall be revised as necessary and as otherwise noted herein to reflect all conditions of approval and re-submitted, prior to the issuance of Engineering Permits. (Planning, Building, Engineering and Public Works)

- 28. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits and a Certificate of Occupancy. (Planning, Engineering, and Building)
- 29. The conditions of approval herein shall apply to the Owner, Applicant, and their successors and assigns. Deviation from any portion of the approved Site and Development Plans, Special Exception, or failure to comply with any requirement, condition or safeguard imposed by the City during the approval procedure shall render the Site and Development Plans and Special Exception approval null, void, and of no further effect upon determination by the City Council. (Planning)

#### **30. CITY ADVISORY NOTICES:**

- (1) Development permits and orders. As provided by subsection 166.033(6), Florida Statutes, issuance of a development permit by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- (2) **No Guarantee by City.** It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.
- (3) Indemnification. The Owner/Developer shall indemnify and hold the City harmless from any and all claims, demands, disputes, costs, expenses, (to include attorney's fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the use or development of the Property, except those claims or liabilities by or arising from gross negligence or intentional acts of the City, or its employees, contractors or agents.

#### RESOLVED AND ADOPTED this 21st of day of April, 2025

	Voted:
Chuck Shaw, Mayor	John Tharp, Council Member, District I
Attest:	
	Voted:
Quintella Moorer, City Clerk	Peter Noble, Council Member, District II
	Voted:
	Judith Dugo, Council Member, District III
	Voted:
	Susy Diaz, Deputy Mayor
	Voted:
	Paula Bousquet, Council Member, District V
Approved as to Form and Legal Sufficiency:	
Glen J. Torcivia, City Attorney	

(SE-23-05 | Resolution 2025-15)

(SP-23-07 and MSP-24-06 | Resolution 2025-16)

Date: March 26, 2025



#### **DEVELOPMENT & NEIGHBORHOOD SERVICES STAFF REPORT AND RECOMMENDATION**

Revised:

#### **I.** Project Description:

**Project:** Murphys USA

**Applicant:** Amber Rebert of CPH, LLC

500 W Fulton Street Sanford, FL 32771

Authorized agent for the owners:

ARL FHJ, LLC

Request: Special Exception, along with Site and

Development Plans including a Master Sign Plan approval to allow for the construction of a Convenience Store with

Fuel Sales.

**Location:** 6270 Forest Hill Boulevard, south side of

Forest Hill Boulevard, approximately

1,100 feet east of Jog Road.

Project Manager: Gionni Gallier, Senior Planner



Subject property is outlined in red.  $\uparrow N$ Existing convenience store with fuel sales for the Variance consideration is outlined in yellow.

#### II. Site Data:

**Existing Use:** Retail

**Proposed Use:** Convenience Store with Fuel Sales

**Parcel Control Number:** 18-42-44-10-00-000-5020

**Parcel Size:** 51,111 square feet (1.17 acres)

**Existing Future Land Use Designation:** Commercial (CM)

**Existing Zoning District:** Commercial Intensive (CI)

Table 1:	Table 1: Surrounding Land Use, Future Land Use Designation, and Zoning District:						
Direction	Existing Land Use	Future Land Use Designation	Zoning District				
North	Casa Del Monte MHP (Unincorporated PBC - Residential)	PBC - Residential High (PBC HR-12)	PBC – Agricultural Residential (PBC AR)				
South	Walmart Supercenter	Commercial (CM)	Commercial Intensive (CI)				
East	Palo Verde Apartments (Unincorporated PBC - Residential)	PBC - Residential High (PBC HR-18)	PBC - Residential High (PBC RH)				
West	Walmart Supercenter	Commercial (CM)	Commercial Intensive (CI)				

#### **III.** Annexation/Zoning History:

The subject property was annexed into the City of Greenacres on February 25, 1974, through Ordinance 176, at which time it was designated as General Commercial (GC) by the City Council. On July 14, 1986, the property was rezoned to Commercial Intensive (CI) through the City-wide rezoning of ZTA-86-24 by Ordinance 86-15. The existing commercial strip center was approved under Palm Beach County Building Permit #B-62096, issued on January 18, 1974, and subsequently underwent final inspection and closeout by the Palm Beach County Zoning and Building Department.

#### IV. Applicable Code Provisions:

Sections 16-171 through 16-178 pertaining to Special Exceptions

Sections 16-196 through 16-202 pertaining to Site and Development Plans

Sections 16-496 through 16-520 pertaining to the Commercial Intensive (CI) zoning district

Sections 16-931 through 16-997 pertaining to Sign Regulations

Sections 16-1241 through 16-1312 pertaining to Landscaping

Sections 16-1331 through 16-1340 pertaining to Off-Street Parking and Loading

#### V. Summary of Proposed Site and Development Plans Details:

The applicant's Site and Development Plans date-stamped March 04, 2025, depict the following:

- 1. A total land area of 1.17 acres (51,111 square feet).
- 2. One (1) 2,824-sq. ft. convenience store and associated overhead canopy featuring six (6) dual-sided fuel dispensing pumps serving twelve (12) fueling stations.
- 3. A total of 15 parking spaces including one (1) Americans with Disabilities Act (ADA) accessible parking space.
- 4. A Floor Area Ratio (FAR) intensity of 0.065 based on the convenience store's area.
- 5. Two (2) ingress and egress points for vehicles, one (1) onto Forest Hill Boulevard and one (1) on the adjacent Wal-Mart access drive to the west of the property. One (1) sidewalk connection to Forest Hill Boulevard.
- 6. A dumpster enclosure with dumpster elevations constructed of block, finished with stucco painted to match the building, and equipped with the required gates.
- 7. Landscape Plan.
- 8. Architectural Plans and Elevations.
- 9. Photometric Plan.
- 10. Preliminary Engineering Plan.
- 11. Master Sign Plan (MSP-24-06), depicting freestanding identification sign, fuel canopy signage, and building wall signage.
- 12. Boundary Survey.

Table 2: Proposed Site Data:						
Area:	Square Footage:	Acreage:	Percentage:			
Building Lot Coverage (including covered canopies)	6,680	0.155	13.1%			
Site Impervious Area (excluding building lot coverage)	27,726	0.636	54.2%			
Site Landscape Area	16,705	0.383	32.7%			
Total	51,111	1.17	100%			
Total Floor Area	2,824	0.065	5.53%			

(SE-23-05 | Resolution 2025-15)

(SP-23-07 and MSP-24-06 | Resolution 2025-16)

#### VI. Staff Analysis:

#### Background:

The applicant is requesting approval for a Special Exception (SE-23-05) and Site and Development Plans (SP-23-07) including a Master Sign Plan (MSP-24-06) to redevelop the existing 1.17-acre commercial strip center site into a 2,824-square-foot convenience store with an associated overhead canopy and six (6) dual sided fuel dispensing pumps serving twelve (12) fueling stations. The Site Plan includes a total of 15 parking spaces, including one (1) designated Americans with Disabilities Act (ADA) accessible parking space. The design includes two (2) vehicle ingress and egress points – one (1) onto Forest Hill Boulevard and one (1) onto the adjacent Wal-Mart access drive located west of the subject site. Additionally, a sidewalk with paver crossings from Forest Hill Boulevard to the convenience store has been incorporated to guide pedestrian traffic and enhance the provided pedestrian- and bike-friendly amenities. The subject site is also proposing landscaping that exceeds the minimum code requirements. The proposed facility is requesting to operate 24 hours a day, 7 days a week. The subject site currently functions as a multi-tenant commercial strip center, which has neither any historic nor architecturally significant characteristics, and currently includes check cashing services, a pizza restaurant, a barbershop, a cell phone store, and a convenience store.

Concurrently, a Special Exception application (SE-23-05) for a Convenience Store with Fuel Sales is being processed alongside the Site and Development Plans. An application for a Master Sign Plan (MSP-24-06) is also being processed together with the Site and Development Plans and complies with all applicable City Code requirements. The proposed signage package, including its number, design, size, illumination, and location, aligns with the overall architectural intent and meets the required standards. A Variance request (BA-23-08), addressing the separation distance requirements specified in Sec. 16-499(17)(f) and Sec. 16-499(19)(a), was approved by the Planning and Zoning Board on March 13, 2025, allowing a reduction to 768 feet from the required 1,500-foot separation between any two (2) convenience stores and between any two (2) fuel stations.

The site will be landscaped in accordance with the submitted Landscape Plan and City Code. A variety of landscaping materials have been provided, and the design strategically integrates the landscaping to screen and soften the appearance of surface parking areas. This approach meets the provision requiring that convenience stores meet or exceed the landscaping standards of the City Code. Staff and the applicant have collaborated to incorporate additional Crape Myrtle, Christmas Palm, extensive shrubs, and groundcover to enhance the landscaping beyond the minimum requirements. It is important to note that the existing site is currently nonconforming with respect to landscaping, given the limited presence of plantings aside from a few shrubs and nine (9) palm trees, of which eight (8) will be preserved.

The architectural elevations are well-suited to the proposed use and will not significantly detract from the surrounding environment. The canopy has been designed to blend with the façade of the proposed structure, utilizing a palette of complementary colors, materials, and textures. The earth tones and wall material of the proposed structure are also consistent with the existing context and surrounding structures.

The development is required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201. Therefore, an amount of **\$7,907.20** shall be paid prior to the issuance of Building Permits based on the building square footage of 2,824 square feet.

On February 15, 2024, the Development Review Committee (DRC) reviewed this application and recommended approval subject to the comments noted herein and the conditions of approval listed below.

#### Standards for Site and Development Plans and Staff Findings:

1.	Minimum Lot Requirement:	Sino	ce the	e subjec	t lot wa	s legall	ly creat	ed an	d appı	oved	by

the City prior to the applicability of the City's Zoning Code, in accordance with Section 16-1360(a), the 1.17-acre site meets the minimum area requirement of 2.0

acres for the CI zoning district.

2. Maximum Lot Coverage: Building coverage of 13.1% does not exceed the

maximum of 30%.

3. Minimum Yard Requirements: Setbacks **meet** all requirements of 50' front, 25' side

corner, 20' side interior and 30' rear.

4. Height Restrictions: The 1-story building height of 18.5' for the Murphy's

convenience store building and the canopy height of 18.75' **does not exceed** the allowable height of 35'.

5. Off-Street Parking & Loading: The 15 parking spaces provided **exceeds** the minimum

required 14 parking spaces, based on the code requirement of 1 space per 200 square feet of the

convenience store.

6. Landscaping: The landscaping plan **complies** with the Landscape Code

requirements. (See Landscaping Plans)

7. Lighting: The photometric plan **complies** with the applicable City

Code requirements for lighting. (See Photometric Plans)

8. Sign Regulations: Signs on-site, as detailed in Master Sign Plan MSP-24-

06, **meet** the required applicable City Code requirements.

(Refer to Sign Plan on Sheet MSP-1)

9. Utilities: The proposed water, sanitary sewer, and drainage

systems **meet** preliminary engineering and City Code requirements, subject to final approval of an Engineering Permit and prior to the issuance of a Building Permit.

10. Concurrency: Project **meets** traffic concurrency. Water and Sewer

service and capacity **are available** to serve the site.

11. Comprehensive Plan: The proposed development **is consistent** with the

Commercial (CM) future land use category, and the

proposed intensity of 0.065 FAR **does not exceed** the maximum allowable intensity of 0.35 FAR.

12. Color Scheme: The color of the building **shall be** in accordance with the

approved Site and Development Plans.

13. Site and Building Design: The project layout and architectural design **comply** with

the site and building design requirements of the Code and are appropriately scaled for this development type. The canopy and façade treatments are compatible with and complement the adjacent developments. In addition, the Landscape Plan enhanced plantings that exceed the

minimum City Code landscaping standards.

14. Hours of Operation: The proposed hours of operation, 24 hours a day, 7 days

a week, **are compatible** with the surrounding land uses, given the adjacent commercial context to the west and south, the sites location along Forest Hill Boulevard — a major arterial thoroughfare, and the adequate buffer provided to neighboring residential area to the east. The establishment shall otherwise comply with Sec. 8-27. - Hours of Sale, as amended, which prohibits the sale or dispensing of alcoholic beverages between the hours of

2:00 a.m. and 7:00 a.m. of each day.

#### VII. Special Exception Criteria and Findings of Fact:

1. The proposed use complies with all relevant elements of the Comprehensive Plan;

**Finding:** The proposed Convenience Store with Fuel Sales complies with all the relevant elements of the City of Greenacres' Comprehensive Plan and aligns with the goals, objectives, and policies outlined in the Comprehensive Plan, which is designed to direct growth and development towards suitable areas within the City. A Convenience Store with Fuel requires Special Exception approval within the Commercial Intensive (CI) Zoning District to ensure that any potential impacts arising from the use and operation are thoroughly addressed and adequately mitigated.

2. Ingress and egress to the property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe will not be adversely affected by the proposed special exception;

Finding: The site provides adequate ingress and egress through two (2) access points—one (1) on Forest Hill Boulevard and one (1) on the adjacent Walmart access drive to the west. The site also includes a sidewalk connection to Forest Hill Boulevard for pedestrian access. Staff, including the City's traffic engineering consultant, have reviewed the plan regarding automobile, pedestrian, fire safety, traffic flow, and control, and have confirmed compliance with all applicable City Code requirements.

3. Off-street parking and loading is provided where required, with particular attention to the items in (2) above will not adversely affect public health and safety;

*Finding:* The off-street parking provided on the site meets the minimum parking requirements. The site also includes designated loading areas to ensure efficient deliveries and operations.

4. Refuse and service areas provided with particular reference to items (2) & (3) above will not adversely affect public health and safety;

*Finding:* The City's franchise hauler will serve the site for all refuse collection. The dumpster and recycling provisions meets all City Code requirements of screening and access and will provide an adequate storage area for refuse and will not adversely affect public health and safety.

5. The proposed use will not create a nuisance factor detrimental to adjacent and nearby properties and the City as a whole;

**Finding:** The proposal is adjacent to existing commercial uses to the west and south and is consistent with the established commercial nature along Forest Hill Boulevard, which includes a mix of high-intensity retail and service uses. The project incorporates landscape buffers exceeding minimum code requirements, minimizing potential adverse impacts. The building setbacks comply with zoning regulations, and all site elements have been designed to prevent any nuisance or adverse effects.

6. The location, availability and compatibility of utilities for the requested use will not adversely affect public health and safety;

*Finding:* The project will be fully served by underground utilities, including water and sewer services provided by the Palm Beach County Water Utilities Department. All required utility connections are available on-site, and the project meets the Level of Service (LOS) standards established in the City's Comprehensive Plan.

7. The screening and buffering of the requested use are consistent with the applicable zoning requirements relative to type, dimension and character;

*Finding:* The proposed development's landscaping complies with CI zoning district requirements, with additional plantings provided beyond the required amount and includes buffer areas that meet or exceed minimum width requirements. These landscape buffers will enhance compatibility with adjacent properties while ensuring a visually appealing and well-screened development.

8. Signs and proposed exterior lighting are provided with reference to glare, traffic safety and economic effect, and compatibility and harmony with properties in the district;

*Finding:* The Master Sign Plan (MSP-24-06) includes a signage package which meets the requirements of the City's Code. The provided Photometric Plan shows all exterior lighting meets the City Code requirements for limiting spill onto adjacent neighboring property and onto major roads.

#### 9. The requested use appears to meet the required yards and other open space;

*Finding:* The project complies with all landscaping and setback requirements of the Zoning Code. The proposed lot coverage of 13.1% is below the maximum allowable 30%, ensuring that adequate open space and landscaped areas are maintained. All building setbacks comply with the Commercial Intensive (CI) Zoning District's requirements.

# 10. Proposed general use is compatible with adjoining properties and other property in the district;

**Finding:** The proposed commercial use is compatible with the existing high-intensity commercial nature along this corridor and adjacent uses. The subject site is surrounded by commercial uses and the residential community to the east is buffered by additional setbacks and enhanced landscaping. A six (6)-foot-high concrete wall currently exists on the residential property, and the applicant is proposing to construct a new concrete buffer wall on the commercial site, as required by City Code, to further mitigate potential impacts.

#### 11. The change suggested is not out-of-scale with the needs of the neighborhood or the City;

*Finding:* The proposed Convenience Store with Fuel Sales is appropriately scaled for its location and is consistent with the size and intensity of surrounding commercial developments. The project aligns with the existing retail and service-oriented uses along this segment of Forest Hill Boulevard, ensuring that it meets the needs of the local community without creating an excessive burden on infrastructure or traffic.

# 12. The requested use and structure is consistent with any special requirements set out in the Schedule of District Regulations for the particular use and structure involved;

*Finding:* The proposed use complies with the special requirements as outlined in the Special Exception criteria for a Convenience Store with Fuel Sales within the Commercial Intensive (CI) zoning district. The separation distance requirements are satisfied via the approval of Variance (BA-23-08), which was approved by the Planning and Zoning Board on March 13, 2025.

#### **VIII. Staff Recommendation:**

Approval of SE-23-05, SP-23-07, and MSP-24-06 with the following conditions:

- 1. The most stringent requirements of this DNS Staff Report and Recommendation dated March 26, 2025, and strict compliance with the Site and Development Plans exhibits stamped approved by the City of Greenacres on April 21, 2025, and listed below, which are attached hereto and made part hereof as Exhibit "A"
  - A. SP-23-07 Murphy's (Forest Hill Blvd) **Site Plan**, Sheets SP-0 through SP-14, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
  - B. SP-23-07 Murphy's (Forest Hill Blvd) **Landscape Plan**, Sheets LP-1 through LP-4, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC

- C. SP-23-07 Murphy's (Forest Hill Blvd) **Tree Removal Plan**, Sheet TR-1, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- D. SP-23-07 Murphy's (Forest Hill Blvd) **Irrigation Plan,** Sheets IR-1 through IR-3, received by DNS on April 10, 2025, and prepared by Danita Roberts Bryant of CPH, LLC
- E. SP-23-07 Murphy's (Forest Hill Blvd) **Photometric Plan,** Sheet L-1.0, received by DNS on April 10, 2025, and prepared by JWG of Galloway
- F. SP-23-07 Murphy's (Forest Hill Blvd) **Architectural Plan,** Sheets 1 through 4, received by DNS on April 10, 2025, and prepared by Scott Loikits of GreenbergFarrow
- G. SP-23-07 Murphy's (Forest Hill Blvd) **Master Sign Plan**, Sheets MSP-1, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- H. SP-23-07 Murphy's (Forest Hill Blvd) Civil/Engineering Plan, Sheets C-2 through C-13, received by DNS on April 10, 2025, and prepared by Todd Harland Hendrix of CPH, LLC
- 2. The project shall be required to pay the City's impact fee of \$2.80 per square foot of gross non-residential floor area per Section 16-201. The amount of \$7,907.20 shall be paid prior to the issuance of any Building Permits. (Planning, Engineering, and Building)
- 3. The project shall be required to pay the City's Arts in Public Places (AIPP) public art fee if the total construction costs is two hundred fifty thousand dollars (\$250,000) or greater, in accordance with Section 16-661. If applicable, the public art fee shall be equal to one (1) percent of the total construction costs of the project. The contribution shall be placed in the city's public art fee fund and the contributor shall have no input in the use of such funds. The contribution shall be divided into two (2) payments as follows:
  - A. **Prior to Building Permit Issuance**: The developer shall submit to the building division/finance department a preliminary certification of the total construction costs. This preliminary certification shall be used to calculate the developer's initial payment of thirty (30) percent of the contribution. The developer shall make this initial payment to the building division/finance department prior to the issuance of any building permit.
  - B. **Prior to Issuance of the Final Certificate of Occupancy**: The developer shall submit to the building division/finance department a final certification of the total construction costs. This final certification shall be used to calculate the outstanding portion of the contribution. The developer shall pay the outstanding portion of the contribution prior to the issuance of the final certificate of occupancy for the project.
- 4. The project shall participate in the City Tree Dedication Program per Section 16-1293; prior to the issuance of any Building Permits, one (1) tree to be donated per 1,000 sq. ft. of building area or fraction thereof, therefore **seven (7) Live Oaks or equivalent cash payment** shall be donated to the City subject to the following specification: Live Oak, Florida Grade #1 Container Grown; minimum 12 ft. high; 2 inch diameter trunk at 4 ft.; and 5 ft. spread. (Planning and Building)
- 5. Any site permits required and/or obtained shall be maintained in an active status with the respective permitting agency until all the work covered by the permit is satisfactorily completed, any applicable inspections passed, and officially closed out with the City. (Building, Planning, Engineering and Public Works)

- 6. Permits from the South Florida Water Management District (SFWMD), Lake Worth Drainage District (LWDD), and Palm Beach County Land Development, as required, for the stormwater management system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 7. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of an Engineering Permit. (Engineering)
- 8. The required masonry wall along the east property line shall be a minimum of 8 feet in height, measured from the highest adjacent grade, and shall be finished with stucco on both sides. The following shall also apply:
  - A. The stucco shall be painted to match and harmonize with the building's exterior walls.
  - B. Landscaping shall be installed in front of the wall in accordance with the City's Zoning Code.
  - C. The property owner shall continue to coordinate with the owner of the adjacent residential property to the east regarding the existing 6-foot wall, with the objective of either constructing a continuous 8-foot-tall wall or ensuring that no gap exists between the existing wall and the proposed wall that could present safety or maintenance concerns.
  - D. The wall design, including all relevant details, shall be reflected on all applicable plan sheets and submitted for review and approval as part of the Engineering Permit submission.
  - E. The property owner shall obtain and submit for review and approval a written legal authorization or easement agreement from the owner of the adjacent residential property to the east, confirming the coordination and consent for any work to be conducted on the adjacent property as part of the Engineering Permit submission.
  - F. The property owner shall remain solely responsible for the maintenance of the wall. (Planning, Engineering, and Building)
- 9. An Engineering Permit, issued by the City of Greenacres, is required prior to any sitework or construction activities outside of the proposed structures and work related to subdivision and/or development improvements taking place. The Engineering Permit must be closed out before any Certificates of Occupancy (CO) are issued for any buildings or structures. No Engineering Permit shall be issued for construction or work until an approved cost estimate and a bond for all sitework has been posted. Once site work is complete, a maintenance bond will be required prior to the close out of the engineering permit. (Engineering)
- 10. Upon completion of all required improvements, the developer/property owner shall direct the civil engineer of record to prepare as-built drawings for all project plans and submit the project baseline data for all relevant layers to the Development & Neighborhood Services Department. The data must be provided in one of the following formats: (a) AutoCAD DXF, (b) GIS shapefile (comprising the ESRI extensions .shp, .shx, and .dbf), or (c) Geodatabase (with the ESRI .gdb extension). The timeline for submitting the as-built plans will be determined by the City Engineer, and submission must occur prior to the acceptance of improvements and the release of the bond for sitework. (Planning and Engineering)

- 11. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD and City of Greenacres must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test. Additionally, documentation detailing the maximum impervious surface allowances for the overall project, as acceptable to the City Engineer, must be provided. All required documents must be submitted with the application for Engineering Permits. (Engineering)
- 12. The establishment may operate 24 hours a day, 7 days a week. Should any issues arise regarding the operation hours, the City Manager or their designee reserves the right to modify the hours of operation. The establishment shall otherwise comply with Sec. 8-27. Hours of Sale, as amended, which prohibits the sale or dispensing of alcoholic beverages between the hours of 2:00 a.m. and 7:00 a.m. of each day. (Planning)
- 13. No outdoor speakers shall be permitted. (Planning and Building)
- 14. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of **December 31, 2025**, unless a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (Planning and Building)
- 15. Any unused existing easements and rights-of-way on the subject property shall be abandoned prior to the issuance of Engineering Permits. (Engineering)
- 16. Driveway connection and/or right-of-way construction permits from Palm Beach County Land Development and/or FDOT must be obtained prior to the issuance of Engineering Permits. Any existing driveway connections on site which will become redundant shall be removed and replaced with curbing, etc. to match adjacent conditions. (Engineering)
- 17. In accordance with the requirements of the National Pollution Discharge Elimination System (NPDES), best management practices shall be used to control runoff from construction activities. An NPDES Permit shall be provided to the City, prior to any site activity, as part of the Engineering Permit. (Planning, Engineering, Building and Public Works)
- 18. Utilities shall be provided underground and sufficient in size to properly serve the site. Appurtenances to these systems which require above-ground installation must be effectively screened from view. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning, Engineering and Building)
- 19. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (Engineering and Building)
- 20. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened from view. No equipment shall be taller than the proposed screening. If it is determined by the City that the screening does not effectively mitigate the impact, additional screening may be required. (Planning and Building)

- 21. Landscaping shall be maintained in perpetuity in accordance with the City's Landscaping Regulations and the approved Landscaping Plan, including specifications for plant size, number, location, and type of landscaping material. All plant life shown on an approved landscape plan shall be replaced if it dies, is seriously damaged, or removed. All plant material shall be kept reasonably free of visible signs of pests, infestation, or disease. (Planning)
- 22. A certified cost estimate by a FL Registered Landscape Architect or Engineer, for the project's landscape materials, installation, irrigation and labor to establish a 1-year maintenance financial guarantee or financial security in a form acceptable to the City Attorney in the amount of 110% of the estimate shall be posted for the project's landscaping, in addition to the other bonds required for site improvements. The owner shall provide this financial guarantee or financial security before the City performs any landscape inspection or issues a Certificate of Occupancy. If project's landscaping is not maintained, the City may use the financial guarantee or financial security to maintain or replace dead or unacceptable landscape materials and irrigation components after providing written notice to the property owner. (Planning and Engineering)
  - A. The project Landscape Architect shall conduct a field inspection at substantial completion of the project to verify that the landscape and irrigation installation complies with the approved plans and is healthy and flourishing before the project's 1-year maintenance financial guarantee/security period begins. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City inspection of the landscape installation.
  - B. The project Landscape Architect shall conduct an interim field inspection near the 6-month mark of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request an interim City re-inspection of the maintained landscaping at the 6-month mark of the maintenance financial guarantee/security period.
  - C. The project Landscape Architect shall conduct a field inspection near the completion of the project's 1-year maintenance period to verify that the landscape and irrigation installation continues to comply with the approved plans and is healthy and flourishing. The project Landscape Architect shall then submit a Certificate of Compliance letter to the City of Greenacres and request a final City re-inspection of the maintained landscaping 30 days prior to the end of the maintenance financial guarantee/security period.
  - D. Upon passing the final re-inspection, the property owner may request in writing the release and return of any remaining financial guarantee/security. If the location fails the final re-inspection, the financial guarantee/security shall not be released to the property owner. Once the property owner completes the required improvements, the financial guarantee/security shall be released. If these necessary improvements do not occur, the City may use the financial guarantee/security to maintain or replace landscape items as necessary.
- 23. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Landscaping Plan additions

- may be necessary to meet Code requirements if existing material is unsuitable to remain. (Planning)
- 24. By the initial landscape inspection, all existing invasive non-native plants shall be removed from the property. It shall be the responsibility of the property owner to maintain the site free from invasive plants in perpetuity. (Planning)
- 25. For roofing materials, all exterior roof surfaces shall be either rated by the Cool Roof Rating Council or labeled as an Energy Star qualified roof product and be in accordance with the Florida Building Code. This excludes portions of the roof acting as a rooftop deck, green roof, or any area of a roof utilized by photovoltaic and solar equipment. Product specifications for roofing materials must be submitted and approved as part of the roofing-related Building Permit submittals.
- 26. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "City of Greenacres". (Planning)
- 27. The Site and Development Plan shall be revised as necessary and as otherwise noted herein to reflect all conditions of approval and re-submitted, prior to the issuance of Engineering Permits. (Planning, Building, Engineering and Public Works)
- 28. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits and a Certificate of Occupancy. (Planning, Engineering, and Building)
- 29. The conditions of approval herein shall apply to the Owner, Applicant, and their successors and assigns. Deviation from any portion of the approved Site and Development Plans, Special Exception, or failure to comply with any requirement, condition or safeguard imposed by the City during the approval procedure shall render the Site and Development Plans and Special Exception approval null, void, and of no further effect upon determination by the City Council. (Planning)

#### **30. CITY ADVISORY NOTICES:**

- (1) **Development permits and orders.** As provided by subsection 166.033(6), Florida Statutes, issuance of a development permit by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- (2) **No Guarantee by City.** It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.
- (3) **Indemnification.** The Owner/Developer shall indemnify and hold the City harmless from any and all claims, demands, disputes, costs, expenses, (to include attorney's fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the use or development of the Property, except

those claims or liabilities by or arising from gross negligence or intentional acts of the City, or its employees, contractors or agents.

#### PLANNING & ZONING BOARD ACTION – March 13, 2025

POSTPONED TO NEXT MEETING APRIL 10, 2025

#### PLANNING & ZONING BOARD ACTION – April 10, 2025

(SE-23-05)

The Planning and Zoning Board on a motion made by Board Member Litowsky and seconded by Board Member Robarts, by a vote of five (5) to zero (0) *recommended approval* of the Special Exception for *Murphy USA* (*SE-23-05*) as presented by staff.

#### (SP-23-07 and MSP-24-06)

The Planning and Zoning Board on a motion made by Board Member Robarts and seconded by Board Member Edmundson, by a vote of five (5) to zero (0) *recommended approval* of the Site & Development Plans including the Master Sign Plan for *Murphy USA* (*SP-23-07 and MSP-24-06*) as presented by staff.

#### **CITY COUNCIL ACTION – April 21, 2025**

#### Attachments:

- 1. Proposed Site and Development Plans (SP-23-07)
- 2. Proposed Master Sign Plan (MSP-24-06)

#### **GENERAL NOTES:**

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DÉMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY
- SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY AND SECURITY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- G. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED
- H. CONSTRUCTION AND INSTALLATION OF 2.824 SF BUILDING, ALL UTILITY ENTRANCES AND (1) 25,000 GALLON & (1) 26,000 GALLON UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- I. THE GENERAL CONTRACTOR TO COORDINATE THE CANOPY SIGN LOCATIONS AND FREE-STANDING SIGNAGE WITH MURPHY'S DEVELOPMENT PROJECT MANAGER AND SIGN COMPANY
- J. STAGE II VAPOR RECOVERY SYSTEM IS NOT REQUIRED.

#### NOTES TO CONTRACTOR

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT. C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD OF ANY
- DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FOR THE ISSUING AUTHORITY.
- F. IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING OF THE SURVEY WITH THE CIVIL CONSULTANT PRIOR TO DEADLINE FOR OBTAINING THE C.O. AND AFTER NECESSARY COMPLETED WORK TO BE SHOWN ON

#### **WETLANDS NOTE:**

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

# FLOOD CERTIFICATION:

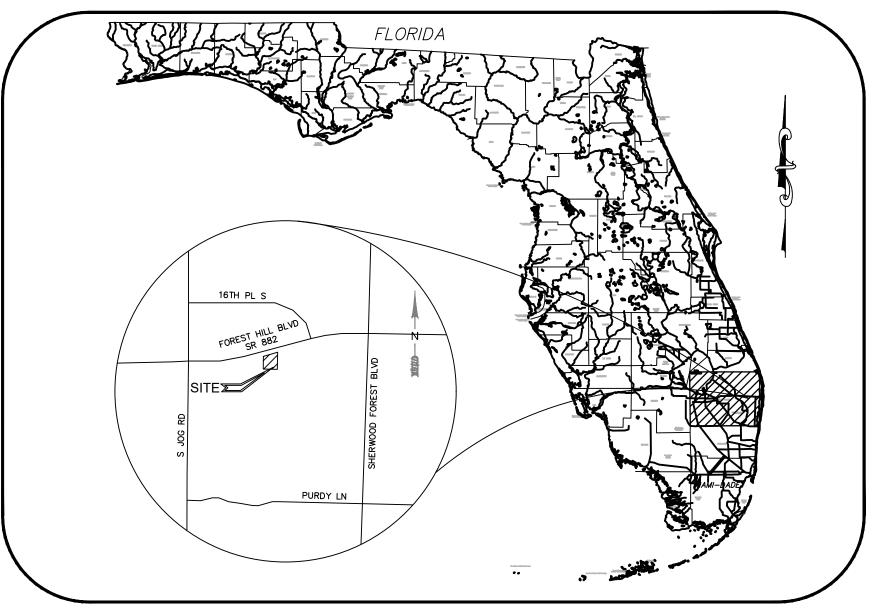
THIS PROPERTY IS LOCATED WITHIN THE ESTABLISHED 100-YEAR FLOOD PLAIN. AS SHOWN BY THE FEDERAL MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA COMMUNITY PANEL NUMBER 12099C0569F, DATED 10/5/2017.

# NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID BE DIRECTED THROUGH MURPHY'S CONSTRUCTION WEBSITE (HTTPS://MURPHYUSA.PROJECTMATES.COM/) INCLUDING Q&A, RFI'S, BID SUBMISSION CHANGE ORDER REQUESTS, ETC. ONCE AWARDED THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S PROJECT MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.



# SITE DEVELOPMENT PLANS FOR MURPHY USA GREENACRES, FLORIDA 6270 FOREST HILL BOULEVARD, 33415



SEC 10 TWP 44S - RNG 42E

#### PLAN INDEX:

CPH (CIV	<u>/IL)</u>
SP-0	COVER SHEET
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SP-3	SITE PLAN
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C-4	GRADING PLAN
C-4.2	CANOPY AND BUILDING DRAINAGE PLAN
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C-12	CONCRETE SPECIFICATIONS
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SP-14	SECURITY PLAN
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L1.0	PHOTOMETRIC SITE PLAN
PROVIDED	SEPARATELY
T-1	TREE RETENTION PLAN
L-1	LANDSCAPE PLAN & LEGEND
L-5	NOTES, DETAILS, & PLANT LIST
I-1	IRRIGATION PLAN
I-5	IRRIGATION NOTES & DETAILS
	<del></del>

CPH, LLC 1992 SW 1ST STREET MIAMI. FLORIDA (305) 274-4805 CONTACT: TODD H. HENDRIX P.E.

(PER COMMITMENT FOR TITLE INSURANCE BY CHICAGO TITLE INSURANCE COMPANY, Legal Description: CUSTOMER'S FILE NO. 402101147TS, COMMITMENT DATE AUGUST 4, 2021)

LESSEE'S INTEREST IN THAT CERTAIN LEASE BY AND BETWEEN ARL FHJ, LLC, A FLORIDA LIMITED LIABILITY COMPANY, AS LESSOR, AND MURPHY OIL USA, INC., A DELAWARE CORPORATION, AS LESSEE, DATED \_\_\_\_\_, MEMORIALIZED BY THAT CERTAIN MEMORANDUM OF LEASE DATED \_\_\_\_\_, RECORDED \_\_\_\_\_ AT OFFICIAL RECORDS BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, OF THE PUBLIC RECORDS OF \_\_\_\_\_ COUNTY, FLORIDA, DEMISING THE FOLLOWING DESCRIBED LAND:

THAT PORTION OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 44 SOUTH, RANGE 42 EAST, LYING SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF FOREST HILL BOULEVARD AS NOW ESTABLISHED AND LYING NORTH OF THE NORTH RIGHT OF WAY LINE OF THE LAKE WORTH DRAINAGE DISTRICT LATERAL CANAL NO. 8, LESS AND EXCEPT THEREFROM THE WEST 40 FEET OF THE ABOVE DESCRIBED PROPERTY, SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA.

LESS AND EXCEPT THE LANDS CONVEYED TO PALM BEACH COUNTY BY RIGHT-OF-WAY WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 5550, PAGE 1071.

LESS AND EXCEPT THE LANDS CONVEYED TO WAL - MART STORES, INC., A DELAWARE CORPORATION BY WARRANTY DEED AS

LESS AND EXCEPT THE LANDS CONTAINED WITHIN THE PLAT OF WAL-MART AS RECORDED IN PLAT BOOK 64, PAGES 13-14, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

EASEMENT FOR INGRESS & EGRESS AS CREATED BY GRANT OF EASEMENT FROM WAL-MART STORES EAST, LP, A DELAWARE LIMITED PARTNERSHIP TO THE MURPHY OIL USA, INC., A DELAWARE CORPORATION OVER A PORTION OF THE FOLLOWING DESCRIBED PROPERTY AS FOLLOWS:

ALL OF PLAT OF WAL-MART, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 64, PAGE(S) 13-14, OF THE

#### **RESOURCE LIST:**

PLANNING AND ZONING CITY OF GREENACRES DEVELOPMENT & NEIGHBORHOOD SERVICES 5800 MELALEUCA LN. GREENACRRES, FL 33463

PHONE: (561)-642-2040 CONTACT: DENISE MALONE

**STORMWATER** 

ENVIRONMENTAL RESOURCE BUREAU 3301 GUN CLUB ROAD, WEST PALM BEACH, FL 33406 PHONE: (561)-682-2624

FLORIDA POWER AND LIGHT PHONE: (954)-956-2019 CONTACT: MIKÉ KEIGHTLEY

PALM BEACH COUNTY WATER UTILITIES 9045 S JOG RD, BOYNTON BEACH, FL 33472 PHONE: (561)-493-6229

FIRE PREVENTION CITY OF GREENACRES FIRE RESCUE 2995 S JOG RD, GREENACRES, FL 33467 PHONE: (561)-642-2141 CONTACT: MIGUEL ALEMAN

CODE ENFORCEMENT

CITY OF GREENACRES DEVELOPMENT & NEIGHBORHOOD SERVICES DEPT 5800 MELALEUCA LN. GREENACRRES, FL 33463 PHONE: (561)-642-2040 CONTACT: DENISE MALONE

HEALTH DEPT.

CONTACT: DARVIN RAMROOP

CPH, LLC 500 W FULTON ST SANFORD, FL 32771 (407) 322-6841 CONTACT: DANITA BRYANT

TANK AND PRODUCT PIPING GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, COLORADO 80111 CONTACT: DAVE JONES (303) 770-8884

MURPHY OIL USA, INC 200 PEACH STREET EL DORADO, AR 71730 PM: KARA RICKARDS (870) 314-1553

CPH, LLC 1992 SW 1ST STREET MIAMI, FL 33135 CONTACT: TODD H. HENDRIX (305) 274-4805

CIVIL ENGINEER/BUILDING DESIGN

**GEOTECHNICAL** UNITED CONSULTING 625 HOLCOMB BRIDGE RD. NORCROS, GA 30071 CONTACT: CHRIS ROBERDS (770) 209-0029

BUILDING CANOPY MANUFACTURER FREY MOSS STRUCTURES 1801 ROCKDALE INDUSTRIAL BLVD. CONYERS, GEORGIA 30012 CONTACT: JENNIFER GOODMAN (770) 483-7543 EXT. 151

BUILDING/CANOPY DESIGN GREENBERG FARROW 8600 W BRYN MAWR AVENUE, SUITE 800N. CHICAGO, IL 60631 PHONE: (224)-289-6618

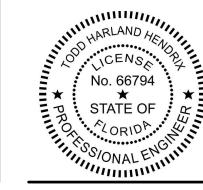
CONTACT: BEATA KLAK

DATE **AGENCY** CITY OF GREENACRES - SPECIAL EXEMPTION USE --/--/--CITY OF GREENACRES - VARIANCE PERMIT --/--/--CITY OF GREENACRES - SITE PLAN --/--/----/--/--FDOT - ACCESS & DRAINAGE --/--/--PALM BEACH COUNTY - WATER AND SEWER



BASED ON SURVEY BY: CPH LLC 500 WEST FULTON STREET, SANFORD, FL. 32771

EMAIL: PKATREK@CPHCORP.COM **PHONE:** (407) 322–6841 **DATE:** 10/20/2023



TODD HARLAND HENDRIX , P.E. FL. P.E. No. 66794

WUD# 24-577

DESCRIPTION

JOB NO.: M3699 09/21/23

SITE SUMMARY					
ONSITE					
DESCRIPTION	QTY	UNIT			
CONCRETE SIDEWALKS (4" THICKNESS)	440	LF			
CURB	271	LF			
HEAVY DUTY CONCRETE PAVEMENT DUMPSTER	720	SF			
HEAVY DUTY CONCRETE PAVEMENT TANK	1,444	SF			
STANDARD DUTY CONCRETE PAVEMENT	20,691	SF			
TRAFFIC SIGNS AND ADA SIGNS	2	EACH			
STORMWATER CATCH BASINS	6	EACH			

#### SITE DATA

## MURPHY USA CONVENIENCE STORE AND THE REQUIRED SITE SUPPORT ELEMENTS TO SERVE IT.

GREEANCRES, FLORIDA SEC. 10 TOWNSHIP 44 S. RANGE 42 E 18-42-44-10-0-000-5020 **TOTAL SITE AREA:** 51,111 S.F. (1.17 AC ±)

PROPOSED ZONING: CI (COMMERCIAL INTENSIVE) FUTURE LAND USE: COMMERCIAL (CM) PROPOSED LAND USE SERVICE STATION NUMBER OF STORIES:

CONVENIENCE STORE AREA: 2,824 S.F. CANOPY AREA: TOTAL BUILDING AREA: 6,680 S.F. **HOURS OF OPERATION:** 24 HOURS

NUMBER OF EMPLOYEES: NO SEATING PROVIDED WATER MANAGEMENT:

MAXIMUM BUILDING HEIGHT: PROPOSED BUILDING HEIGHT: PROPOSED CANOPY HEIGHT: MAXIMUM FLOOR AREA RATIO: 0.35 PROVIDED FLOOR AREA RATIO: 0.065

# SOUTH:

SOUTH:

(R-O-W) (R-O-W) SOUTH: COMMERCIAL EAST: WEST: (R-O-W)

# PARKING DATA

REQUIRED PARKING: 1 SPACE / 200 SF REQUIRED: (2,824 SF / 200) = 14 SPACES

PROVIDED(ADA): 1 SPACE

- CONCRETE UTILITY POLE - COUNTY ROAD SYMBOL — CROSSWALK SIGNAL POLE — DETECTABLE WARNING AREA

# **PROPOSED**

14,284 | 28

PRE-CONSTRUCTION

# POST-CONSTRUCTION

TOTAL SITE

PROPOSED SITE DATA:						
AREA	SQUARE FOOTAGE	ACREAGE	PERCENTAGE			
BUILDING LOT COVERAGE (INCLUDING COVERED (CANOPIES)	6,680 S.F.	0.15	13.1 %			
SITE IMPERVIOUS AREA (EXCLUDING BUILDING LOT COVERAGE)	27,726 S.F.	0.64	54.2 %			
SITE LANDSCAPE AREA	16,705 S.F.	0.38	32.7 %			
TOTAL	51,111	1.17	100 %			
TOTAL FLOOR AREA	2,824	0.065	5.53 %			

IMPERVIOUS SITE RATIO (ISR)				
	PROJECT TOTAL AREA			
AREA	SQUARE SF	%		
IMPERVIOUS OOF AND PAVING)	36,827	72		
ODEEN ODAGE	14 204	20		

51,111 100

SITE DETAILS

5F GUARD POST (SINGLE)

PROPOSED SITE DATA:					
AREA	SQUARE FOOTAGE ACREAGE		PERCENTAGE		
DING LOT COVERAGE ELUDING COVERED IOPIES)	6,680 S.F.	0.15	13.1 %		
IMPERVIOUS AREA CLUDING BUILDING LOT ERAGE)	27,726 S.F.	0.64	54.2 %		
TE LANDSCAPE AREA	16,705 S.F.	0.38	32.7 %		
TOTAL	51,111	1.17	100 %		
OTAL FLOOR AREA	2 824	0.065	5 53 %		

<sup>→</sup> – LIGHT POLE (TRIPLE)

⊐∯□ - LIGHT POLE (QUAD)

- NAIL & DISC (AS NOTED)

- PARKING SPACES (2)

- PULL BOX (AS NOTED)

- REVISION NUMBER (3)

- RECLAIMED WATER METER

- RECLAIMED WATER VALVE

- SANITARY SEWER MANHOLE

- SANITARY SEWER VALVE TITLE OR REPORT ITEM NUMBER

→ SECTION CORNER

— 5/8" IR&C LB #7143

- SITE BENCH MARK

D - STORM SEWER MANHOLE

TELEPHONE MANHOLE

- TEST HOLE

- STRIPING (DIRECTIONAL)

- TELEPHONE JUNCTION BOX

- WIRE HEIGHTS (SEE CHART)

(PIV) - POST INDICATOR VALVE

→ AIR RELEASE VALVE - BORING HOLE LOCATION

 CENTRAL ANGLE - CLEAN OUT ○ − COMMUNICATION MANHOLE

B - CONCRETE PAVERS

© - ELECTRICAL MANHOLE

[ - FIBER OPTIC MARKER

→ ELECTRICAL JUNCTION BOX

- ELECTRIC METER

□ - CONCRETE LIGHT POLE (QUAD)

續進 — CONCRETE □●□ - CONCRETE LIGHT POLE (DUAL) - CONCRETE LIGHT POLE (TRIPLE)

COMMERCIAL

REQUIRED(ADA): 1 SPACE

CONCRETE CURB AND GUTTER — — — — LANDSCAPE BUFFER LINE — — — — BUILDING SETBACK LINE

> 4" THICK CONCRETE SIDEWALK AROUND BUIDING LANDSCAPE

1A INTEGRAL CONCRETE CURB - SEE SHEET C-9

5B TRAFFIC SIGN IN BOLLARD - SHEET C-9

STANDARDS - SEE SHEET C-9

12H "STOP" SIGN (R1-1) - SEE SHEET C-9

PM - SEE SHEET C-9

DUMPSTER ENCLOSURE - SEE SHEET C-13

9U ACCESSIBLE PARKING SYMBOL - SEE SHEET C-9

10A TRAFFIC FLOW ARROW (TYP.) - SEE SHEET C-9

12D PARKING STRIPING PER THE CITY OF GREENACRES

13A SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR POLE

18G CONSTRUCTION CAMERA (COORDINATE LOCATION WITH

21G AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB - SEE SHEET

21P 7'X10' CONCRETE SLAB FOR PROPANE TANKS - SEE SHEET

21U 5'X7' ICE UNIT (SEE NUMBER INDICATED AT SYMBOL) - SEE

BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS.

12E "RIGHT TURN ONLY SIGN" R3-5R - SEE SHEET C-9

3K CONCRETE SIDEWALK AROUND BUILDING - SHEET C-11

ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN MOUNTED

PAVERED CROSSWALK PER CITY OF GREENACRES

— FIRE DEPARTMENT CONNECTION FIRE HYDRANT FOUND CONCRETE MONUMENT (AS NOTED) — FOUND IRON PIPE (AS NOTED) O – FOUND IRON REBAR (AS NOTED) — FOUND/SET NAIL (AS NOTED) GAS — GAS MARKER GAS VALVE — GOPHER TORTOISE HOLE — GRATE INLET GRAVEL/DIRT G – GREASE TRAP MANHOLE ← GROUND LIGHT ← − GUY ANCHOR 6 - HANDICAP PARKING SPACE 65 - INTERSTATE SYMBOL - IRRIGATION CONTROL VALVE

□⊕□ - LIGHT POLE (DUAL

GENERAL SITE NOTES

PUMP ISLAND DETAILS AND LAYOUT.

TRAFFIC SIGNAL SUPPORT POLE - UNKNOWN VALVE - VENT (AS NOTED) WATER METER WATER RISER WS - WATER SERVICE WATER SPRINKLER - WATER VALVE WETLAND FLAG √O? − WOOD UTILITY POLE (120) - WATER LINE MARKER

- UNKNOWN UTILITY MARKER - UTILITY FLAG (AS NOTED)

E CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS.

CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS. F. THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL

B. ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE

D. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE

PARKING LOT AREA AND ALL APPROACH DRIVES.SEE ASSOCIATED PLANS FOR CANOPY, COLUMN,

A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

ALL CURB AND GUTTER ADJACENT TO PAVING SHALL BE INSTALLED PER DETAIL.

REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.

G. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

H. CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL

I. ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

J. ACCESSIBLE ROUTE SHALL BE PROVIDED FROM PUBLIC R.O.W. TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE - FBCA 206.2.1 K. ACCESSIBLE ROUTE SHALL COMPLY WITH SLOPE AND LEVEL CHANGES REQUIREMENTS. SLOPES

FOR ACCESSIBLE ROUTES SHALL BE NO STEEPER THAN 1:20 (EXCEPT FOR RAMPS), AND 1:48 MAX CROSS SLOPE - FBCA 403.3. CHANGES IN LEVEL IN WALKING SURFACES MAY NOT EXCEED 1/4" VERTICALLY. CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 - FBCA 303.2 & 303.3. CHANGES IN LEVEL MORE THAN 1/2" SHALL BE RAMPED AND COMPLY W/ FBCA 405 OR 406 - FBCA 303.4.

M. DUMPSTER ENCLOSURE TO HAVE SEPARATE RECEPTACLES FOR WASTE AND RECYCLING.

#### SITE KEYNOTES

SHEET C-11

2G DRILL (4) 3/4" DIA. x 3" DEEP HOLES (1) EACH FOR OPEN & CLOSED POSITION OF GATES TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.

3A PROPOSED ACCESSIBLE ROUTE (MAX RUNNING SLOPE <5%. MAX CROSS SLOPE <2%).

3M DETECTABLE WARNING AREA PER FDOT 2023-24 STANDARD PLAN INDEX 522-002.

6T SIGHT DISTANCE TRIANGLE PER FDOT DESIGN MANUAL - CHAPTER 212.

10B 24" SOLID WHITE (THERMOPLASTIC) PER FDOT 2023-24 STANDARD PLANS INDEX

10C SOLID WHITE (THERMOPLASTIC) PAVEMENT MARKING / MESSAGE PER FDOT 2023-24

STANDARD PLANS INDEX 711-001. 10F 6" DOUBLE YELLOW (THERMOPLASTIC) PER FDOT 2023-24 STANDARD PLANS INDEX

10L 6" YELLOW STRIPE SKIP (2'-4') (THERMOPLASTIC) PER FDOT 2023-24 STANDARD PLANS

14J GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR

INSTALLATION REQUIREMENTS. 14K GC TO INSTALL (2) 4" PVC SLEEVE FOR FUTURE USE. SEE UTILITY PLAN FOR

INSTALLATION REQUIREMENTS. 16A MURPHY PYLON SIGN PER APPROVED ELEVATION.

8B OVERHEAD CANOPY - (TYP. PER CANOPY. PLANS)

21A TAPER CURB TO MATCH EXISTING CURB.

21B TYPE F CURB AND GUTTER PER FDOT 2023-24 STANDARD PLANS INDEX 520-001. 21D EDGE OF CONCRETE SLAB.

21E UNDERGROUND STORAGE TANKS (1 - 25,000 GAL. & 1 - 26,000 GAL.). 22B MATCH EXISTING SIDEWALK AND TYPE F CURB AND GUTTER.

51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL. 51C EXISTING LIFT STATION TO REMAIN.

52A SIDEWALK CURB RAMP (CR-F) PER FDOT 2023-24 STANDARD PLANS INDEX

52 V EXISTING CURB INLET TO REMAIN. 60C EXISTING POLICE MONITORING CAMERA

61W EXISTING FIRE HYDRANT. SECONDARY EXISTING HYDRANT TO BE 300' FRO INITIAL HYDRANT

62S PROPOSED 6' MASONRY WALL

63B PROPOSED BIKE RACK - SEE SHEET C-9

64G CITY OF GREENACRES SIGHT DISTANCE TRIANGLES

64T FDOT SIGHT DISTANCE TRIANGLES

STATE OF TODD H. HENDRIX , P.E. FL. P.E. No. 66794

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Architects Engineers Environmental Landscape Architects M/E/P

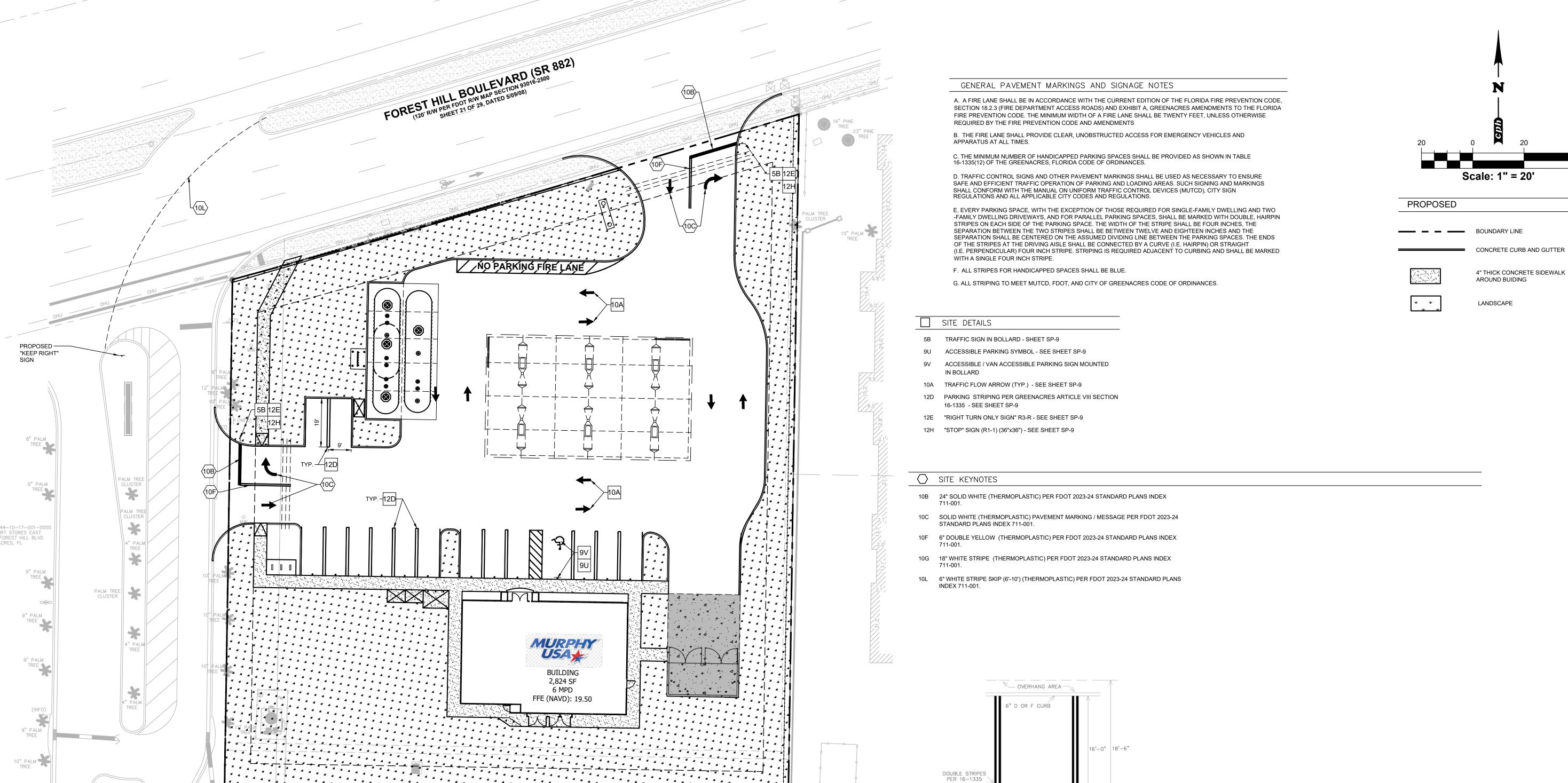
Planners Surveyors Traffic / Transportation Plans Prepared By:

1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805 Eng. C.O.A. No. 3215

Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

Z

TODD H. HENDRIX , P.E. FL. P.E. No. 66794



8" PALM TREE

10" PALM TREE

r-----

SEE 16-1337

**GREENACRES STANDARD** 

PARKING SYMBOL

N.T.S.

www.cphcorp.com A Full Service A & E Firm Architects Engineers Environmental Landscape Architects M/E/P

> Planners Surveyors Traffic / Transportation Plans Prepared By: CPH, LLC

1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805 Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

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Page 100

SEE SHEET C-4.2 FOR STORM DRAINAGE AND BUILDING **ROOF DRAINAGE AND CANOPY DRAINAGE** 

T.B.M.

SITE BENCHMARK #504 TOP OF PK NAIL & DISK WITH "BM" LB #7143 ELEV = 17.66 (NAVD '88) N: 843402.94 E: 936505.37

SITE BENCHMARK #506 TOP OF PK NAIL & DISK WITH "BM" LB #7143 ELEV = 17.33 (NAVD '88) N: 843280.98 E: 936654.72

**Graphic Scale in Feet** 

1 INCH = 20 FEET

#### 

- 10E DROP CURB PER FDOT STANDARD PLAN INDEX 520-001
- 18D MATCH EXISTING PAVEMENT ELEVATIONS
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TYPE F CURB AND GUTTER PER FDOT 2023-24 STANDARD PLANS INDEX 520-001.
- 22B EXISTING CURB AND GUTTER TO BE REMOVED.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
- 52A SIDEWALK CURB RAMP (CR-G) PER FDOT 2022-23 STANDARD PLANS INDEX 522-002.
- 52B SIDEWALK PER FDOT 2023-24 STANDARD PLANS INDEX 522-001.

## GRADING DETAILS

52C EXISTING RAISED SIDEWALK CURB TO REMAIN.

#### 28A STORM SEWER TRENCH & BEDDING

#### EXISTING IRON FOUND

## CONCRETE SURFACE

- 1/2" CAPPED REBAR SET ■ CONCRETE MONUMENT FOUND -\(\)\_\_ LIGHT POLE
- + NAIL AND WASHER SET ●C/O SANITARY SEWER CLEANOUT ▲ CALCULATED POINT—NOT MONUMENTED SANITARY SEWER MANHOLE
- ( ) DEED and/or PLAT CALL SS — SANITARY SEWER LINE P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING -F/O- BURIED FIBER OPTIC LINE
- R.O.W. RIGHT-OF-WAY FIBER OPTIC BOX —/— WOODEN PRIVACY FENCE M.B.L. MINIMUM BUILDING LINE ●w/v WATER VALVE UTILITY POLE W/ GUY WIRE UTILITY POLE W/O GUY WIRE □<sub>WM</sub> WATER METER
- —P— OVERHEAD POWER LINE FIRE HYDRANT -BP- BURIED POWER LINE ●<sub>R</sub> BOLLARD SIGN

#### PROPOSED

# **BOUNDARY LINE**

XX.XX

GRADE BREAK **CONTOUR ELEVATIONS** SPOT ELEVATIONS: XX.XX TC = TOP OF CURB XX.XX G = GUTTER XX.XX TOI = TOP OF ISLAND XX.XX = FINISHED GRADE

. . . . . .

DRAINAGE SLOPE AND DIRECTION

PROPOSED STORM PIPE

# FDOT STANDARD GENERAL NOTES

- A. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE FY 2023/2024 JULY EDITION OF THE FDOT STANDARD PLANS FOR ROADWAY CONSTRUCTION, THE JULY 2023 FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 2023 FLORIDA DESIGN MANUAL, 2018 FLORIDA GREENBOOK, AND THE 2016 MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD).
- B. ALL LANES MUST BE OPENED TO TRAFFIC WITHIN 12 HOURS AFTER RECEIVING NOTIFICATION OF A HURRICANE EVACUATION OR ANY OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE PERMITS MANAGER, C. ENGINEER SHALLL SCHEDULE AND HAVE ON-SITE PRE-WORK MEETING WITH REPRESENTATIVES FROM THE
- ENGINEERING FIRM, FDOT, QUALITY CONTROL TESTING LABORATORY, PRIME CONTRACTOR, AND ANY OTHER INTERESTED PARTY PRESENT
- D. PAVING CONTRACTOR SHALL SCHEDULE A PRE-PAVING MEETING WITH FDOT. PROPOSED ASPHALT MIX DESIGNS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO OR AT THE PRE-PAVING MEETING.
- E. CONTRACTOR MUST SUBMIT A QUALITY CONTROL PLAN FOR FDOT REVIEW AND APPROVAL BEFORE OR AT THE REQUIRED PRE-WORK MEETING. QUALITY CONTROL TESTING SHALL BE PERFORMED BY FDOT CERTIFIED TECHNICIANS AND TESTING LABORATORY. ALL TEST RESULTS SHALL BE PROVIDED TO FDOT AS
- F. SOD AREAS WITHIN 32" OD EDGE OF PAVEMENT & SLOPES GREATER THAN 1:3. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDRO-SEEDING. SEE FDOT STANDARD PLANS INDEX 570-010 AND SECTION 570 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- G. ALL STRIPPING WITHIN FDOT RIGHT OF WAY SHALL BE THERMOPLASTIC AND ADHERE TO FDOT STANDARD PLANS INDEX 711-001 AND SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. STANDARD SPEC 711-4.1 STATES "WAIT AT LEAST 14 DAYS AFTER CONSTRUCTION THE FINAL ASPHALT SURFACE COURSE TO PLACE THERMOPLASTIC PAVEMENT MARKINGS. INSTALLATION OF THERMOPLASTIC ON CONCRETE REQUIRES A CLEAN, DRY SURFACE, FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION FOR THERMOPLASTIC ON CONCRETE. PROVIDE TEMPORARY PAVEMENT MARKINGS DURING THE INTERIM PERIOD PRIOR TO OPENING THE ROAD TO
- H. ALL LANE AND SHOULDER CLOSURES MUST BE REQUESTED IN WRITING AND APPROVED A MINIMUM OF 48 HOURS PRIOR TO WORK STARTING. ALLOW UP TO 2 WEEKS FOR LANE CLOSURE APPROVAL PROCESS.
- I. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE SIDE DRAIN PIPES AT PROPER ELEVATIONS TO MATCH THE FLOWLINE OF THE DRAINAGE DITCH (NOT SEDIMENT BUILD-UP) TO ENSURE POSITIVE STORMWATER

ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.

**GRADES REFERENCED ON** THIS SHEET ARE IN NAVD 88

#### STORMWATER SCHEDULE

INV.= 12.00

- 72 LF TOTAL 15" HDPE N-12 STORM PIPE @ 0.0% SLOPE
- 159 LF TOTAL 15" HDPE N-12 STORM PIPE @ 0.0% SLOPE
- 150 LF PERFORATED PIPE WITH EXFILTRATION TRENCH 70 LF TOTAL 15" HDPE N-12 STORM PIPE @ 0.0% SLOPE
- 55 LF PERFORATED PIPE WITH EXFILTRATION TRENCH 99 LF TOTAL 15" HDPE N-12 STORM PIPE @ 0.0% SLOPE 25 LF PERFORATED PIPE WITH EXFILTRATION TRENCH
- 49 LF TOTAL 15" HDPE N-12 STORM PIPE @ 0.0% SLOPE
- 12" PIPE NYLOPLAST DRAINAGE BASIN RIM ELEV.= 15.00
- TYPE "D" CURB INLET PER FDOT STANDARD PLANS INDEX NO. 425-020 W/ MODIFIED TYPE J BOTTOM PER FDOT STANDARD PLANS INDEX 425.010 W/ TYPE II SKIMMER AND SUMP PER FDOT STANDARD PLAN INDEX 443-002 RIM ELEV.= 17.45 INV ELEV. (SE) = 12.00 INV ELEV. (E) = 12.00
- TYPE "D" CURB INLET PER FDOT STANDARD PLANS INDEX NO. 425-020 W/ MODIFIED TYPE J BOTTOM PER FDOT STANDARD PLANS INDEX 425.010 W/ TYPE II SKIMMER AND SUMP PER FDOT STANDARD PLAN INDEX 443-002 RIM ELEV.= 18.00 INV ELEV. (N) = 12.00 INV ELEV. (W) = 12.00
- TYPE "D" CURB INLET PER FDOT STANDARD PLANS INDEX NO. 425-020 W/ MODIFIED TYPE J BOTTOM PER FDOT STANDARD PLANS INDEX 425.010 W/ TYPE II SKIMMER AND SUMP PER FDOT STANDARD PLAN INDEX 443-002 RIM ELEV.= 17.65 INV ELEV. (W) = 12.00

INV ELEV. (S) = 12.00

INV ELEV. (W) = 12.00

- TYPE "D" CURB INLET PER FDOT STANDARD PLANS INDEX NO. 425-020 W/ MODIFIED TYPE J BOTTOM PER FDOT STANDARD PLANS INDEX 425.010 W/ TYPE II SKIMMER AND SUMP PER FDOT STANDARD PLAN INDEX 443-002 RIM ELEV.= 18.35 INV ELEV. (NE) = 12.00
- TYPE "E" CURB INLET PER FDOT STANDARD PLANS INDEX NO. 425-020 W/ MODIFIED TYPE J BOTTOM PER FDOT STANDARD PLANS INDEX 425.010 W/ TYPE II SKIMMER AND SUMP PER FDOT STANDARD PLAN INDEX 443-002 RIM ELEV.= 17.50 INV ELEV. (NE) = 14.00 INV ELEV. (SW) = 12.00



TODD H. HENDRIX , P.E. FL. P.E. No. 66794

A & E Firm

Architects

Engineers

Environmental

Landscape Architects

M/E/P

Planners

Surveyors

Traffic / Transportation

Plans Prepared By:

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Miami, FI 33135

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Eng. C.O.A. No. 3215

Survey L.B. No. 7143

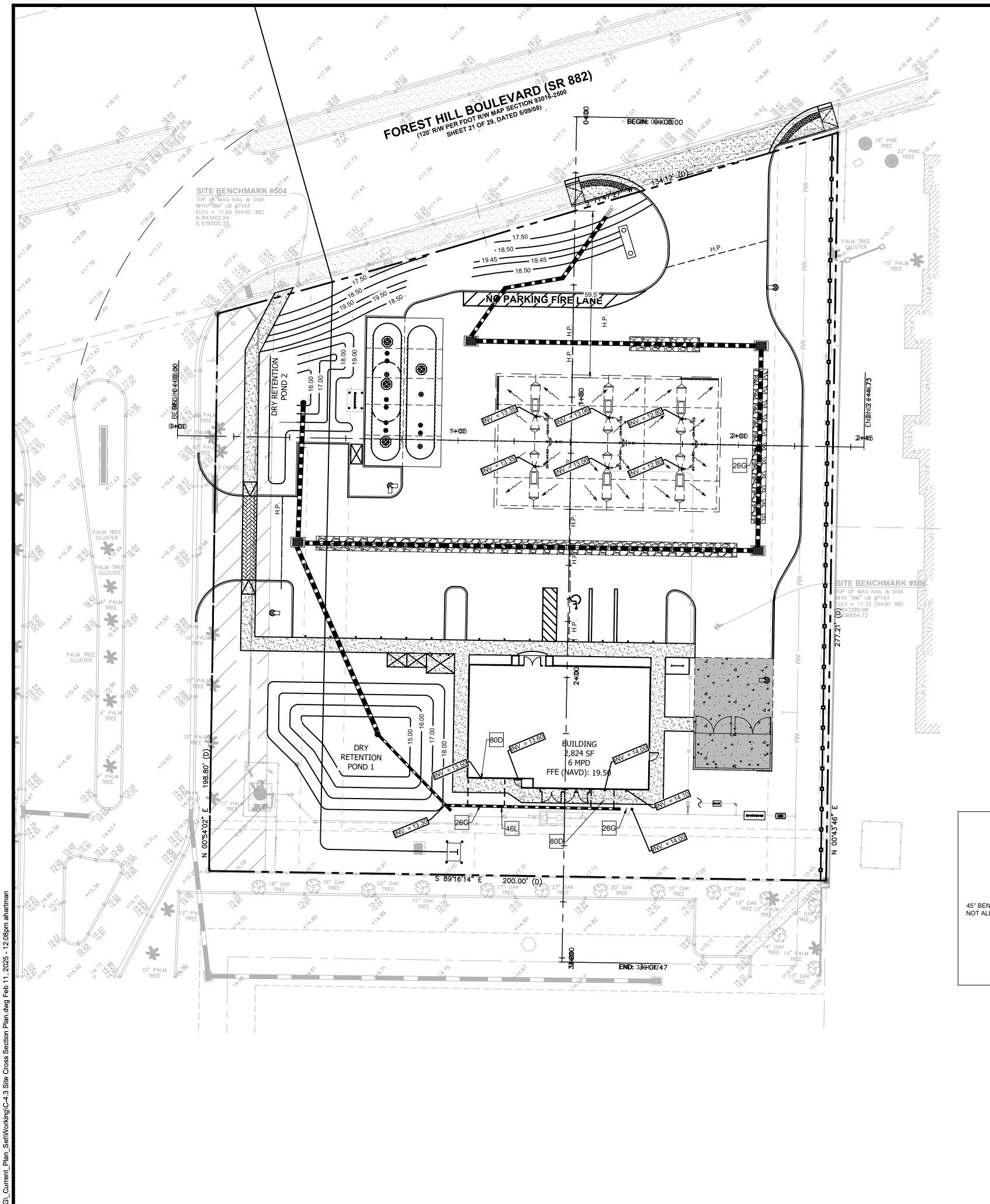
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- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT
- E. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING. BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE. BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS
- HDPE PIPE IN SANDY OR HIGHLY EROSIVE, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WE IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
- M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" ST IB PIPE FOUND IN THE ADS, INC. HAND BOOK, LATEST EDITION.
- H. IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
- WATER TIGHT AND WRAPPED WITH GEOTEXTILE FABRIC, LAPPED 18".
- BE TYPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS..
- L. CONTRACTOR SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION AFTER BUILDING SET
- M. CONTRACTOR TO CONFIRM BUILDING AND CANOPY FOOTER ELEVATIONS PRIOR TO

# GENERAL GRADING NOTES

- A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN, OR ANY OTHER OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- D. REFER TO GEOTECHINCAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
- G. ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" SHALL MEET ASTM F2648 (OR AASHTO DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATIONS FOR ADS N-12
- STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III UNLESS OTHERWISE INDICATED. JOINTS SHALL BE
- J. CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL
- K. CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDLING OF WATER, SPECIALLY IN PEDESTRIAN WALKWAYS. UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES
- AND NOTIFY ENGINEER OF RECORD AND PM WITHIN 48 HOURS OF ANY DISCREPANCY.
- BUILDING BEING SET.



EXISTING IRON FOUND 1/2" CAPPED REBAR SET CONCRETE SURFACE CONCRETE MONUMENT FOUND NAIL AND WASHER SET SANITARY SEWER CLEANOUT CALCULATED POINT-NOT MONUMENTED SANITARY SEWER MANHOLE DEED and/or PLAT CALL - SANITARY SEWER LINE POINT OF COMMENCEMENT POINT OF BEGINNING - Buried Fiber optic line RIGHT-OF-WAY FIBER OPTIC BOX WOODEN PRIVACY FENCE WATER LINE MINIMUM BUILDING LINE WATER VALVE UTILITY POLE W/ GUY WIRE UTILITY POLE W/O GUY WIRE WATER METER OVERHEAD POWER LINE FIRE HYDRANT - Buried Power Line **BOLLARD** PROPOSED **BOUNDARY LINE** GRADE BREAK

CONTOUR ELEVATIONS XX.XX

SPOT ELEVATIONS: XX.XX TC = TOP OF CURB XX.XX G = GUTTER XX.XX TOI = TOP OF ISLAND XX.XX = FINISHED GRADE

1000/0 DRAINAGE SLOPE AND DIRECTION . . . . . . PROPOSED STORM PIPE RETAINING WALL

GENERAL CANOPY DRAINAGE NOTES

1. DRAINAGE PIPING AND FITTINGS FOR CANOPY DRAINAGE SHALL BE SOLVENT

2. REFER TO CLEANOUT DETAIL FOR REQUIRED HEAVY DUTY COVER.

3. DRAINAGE PIPING SHALL BE ROUTED BELOW PRODUCT PIPING (MIN. 6" VERTICAL SEPARATION). COORDINATE WITH TANK/PIPING PLANS.

26G TEE CONNECTION WITH WATER TIGHT CONNECTION (INSERT A TEE BY ADS OR

**Graphic Scale in Feet** 1 INCH = 20 FEET

GRADES REFERENCED ON THIS SHEET ARE IN NAVD 88

> ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.

WELD PVC SCH. 40 (MIN.)

CANOPY DRAINAGE DETAILS

EQUIVALENT)

46L ROOF DRAIN DOWNSPOUT CONNECTION

80D DOWNSPOUT COLLECTOR

-PRODUCT PIPING -SEWER MAIN -WATER MAIN -ANY OTHER TYPE OF PIPING 45° BENDS (9<u>0° BENDS</u> NOT ALLOWED) TYPICAL PIPING CROSSING N.T.S.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ALL CANOPY DRAINAGE TO BE A MIN. OF 6" BELOW ALL PRODUCT PIPING.

CONTRACTOR TO VERIFY ALL **ELEVATIONS AND CONFLICTS** PRIOR TO INSTALLING BUILDING AND CANOPY DRAINAGE.

Landscape Architects M/E/P Planners Surveyors Traffic / Transportation Plans Prepared By:

> 1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805 Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926

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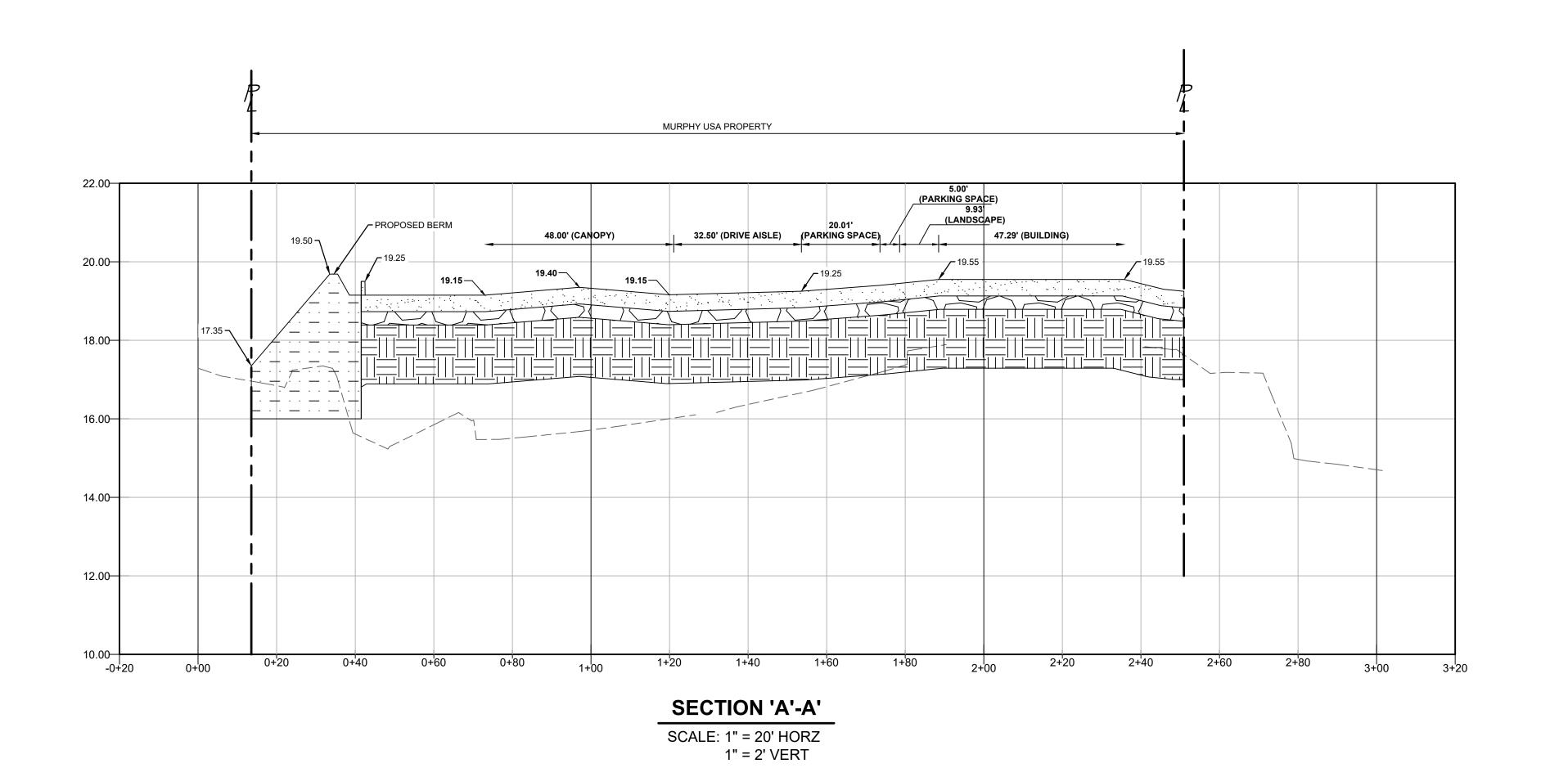
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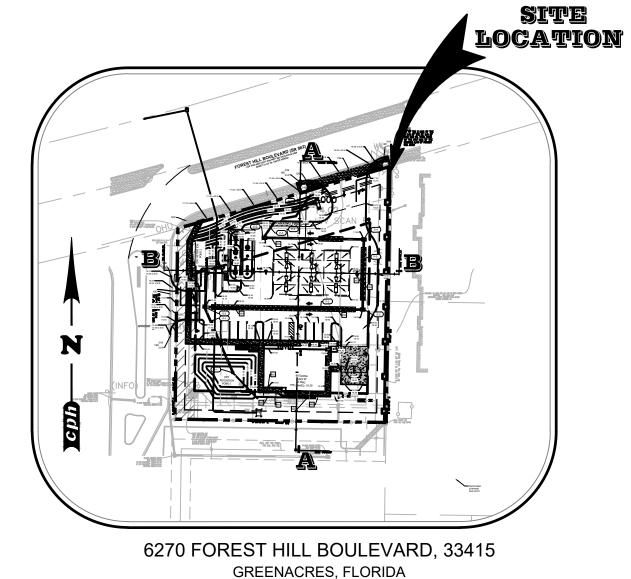
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★ ★ STATE OF February 11, 2025 TODD H. HENDRIX , P.E. FL. P.E. No. 66794

February 11, 2025

TODD H. HENDRIX , P.E. FL. P.E. No. 66794





GREENACRES, FLORIDA LOCATION SKETCH SCALE 1:100'

PROPOSED **BOUNDARY LINE** 

PROP. 5" 4,000 PSI REINFORCED CONCRETE

PROP. 4" FDOT GRADED AGGREGATE BASE STABILIZED TO MIN. LBR 100

PROP. 18" FREE-DRAINING SUB-GRADE STABILIZED TO MIN. LBR 40

PLEASE REFER TO LP-1 FOR

PLACEMENT OF ALL

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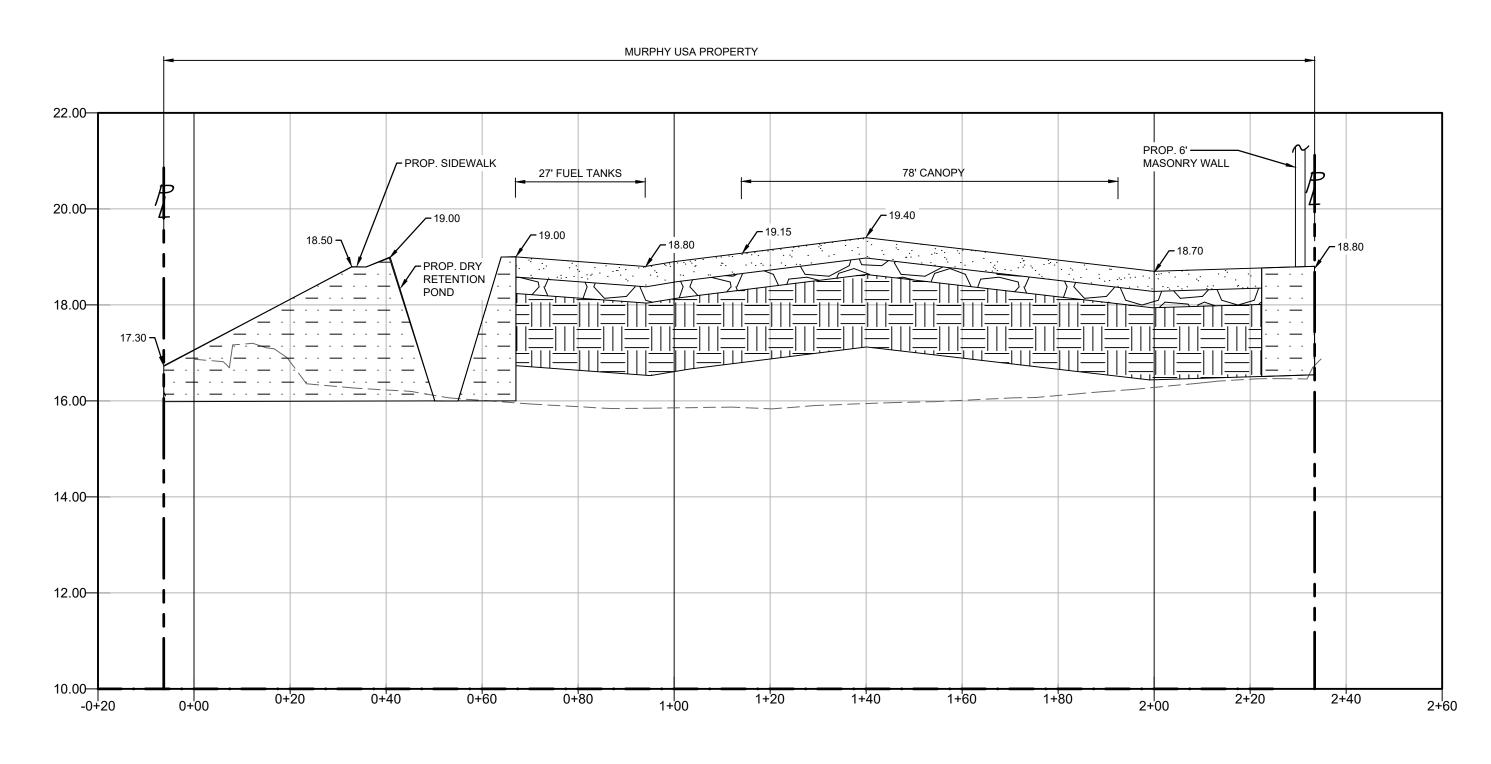
A & E Firm Architects Engineers Environmental Landscape Architects

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Plans Prepared By: CPH, LLC. 1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805

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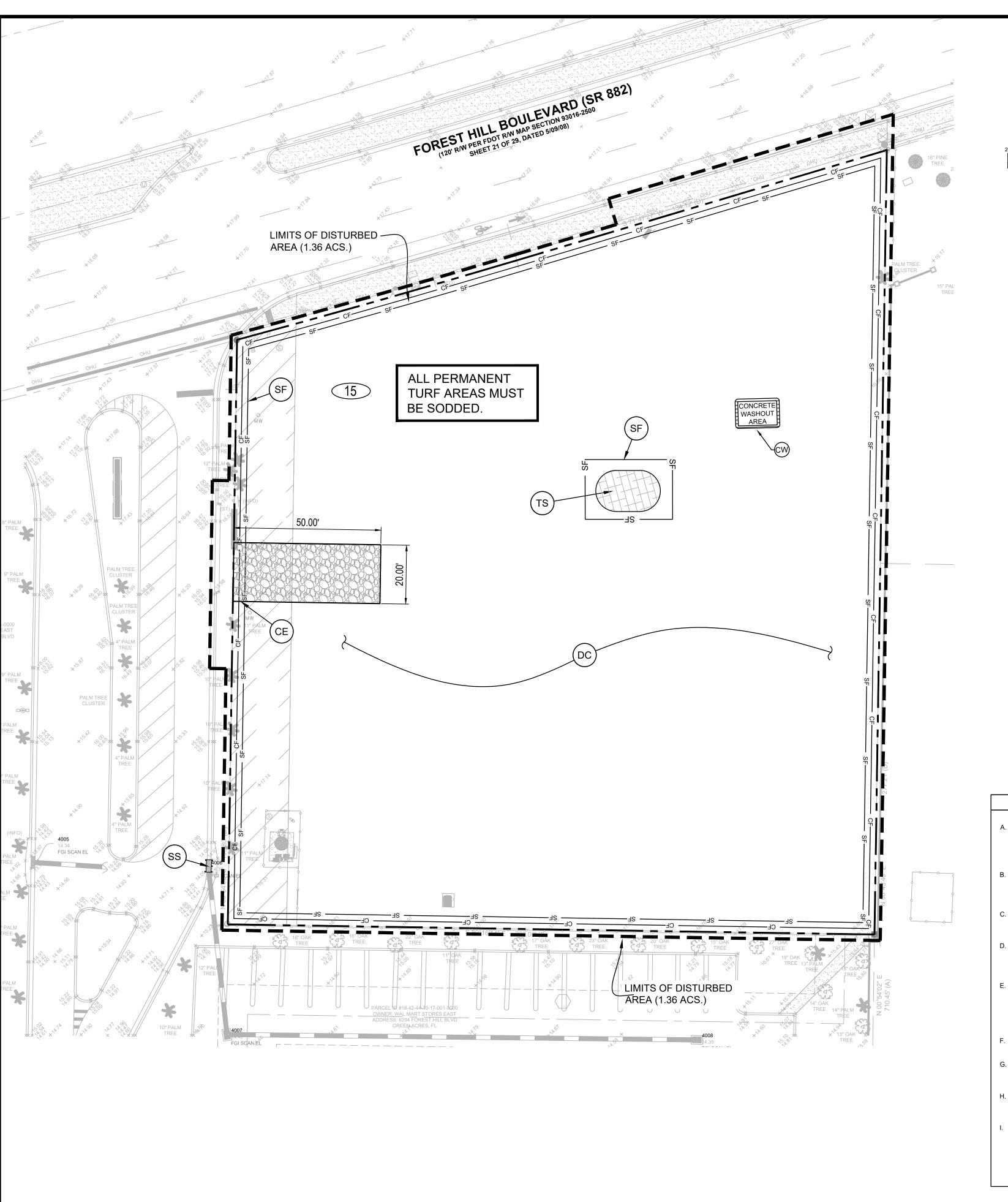
USA,



SECTION 'B'-B'

SCALE: 1" = 20' HORZ 1" = 2' VERT

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# 1 INCH = 20 FEET

	EXIS	STING		
	•	IRON FOUND		CONCRETE SURFACE
		1/2" CAPPED REBAR SET CONCRETE MONUMENT FOUND	*	LIGHT POLE
	+	NAIL AND WASHER SET CALCULATED POINT—NOT MONUMENTED	• <sub>c/o</sub>	SANITARY SEWER CLEANOU
	( )	DEED and/or PLAT CALL	©	SANITARY SEWER MANHOLE
	P.O.C. P.O.B.	POINT OF COMMENCEMENT POINT OF BEGINNING		- SANITARY SEWER LINE - BURIED FIBER OPTIC LINE
20 40			F	FIBER OPTIC BOX
	M.B.L.	MINIMUM BUILDING LINE	W	WATER LINE WATER VALVE
Feet		UTILITY POLE W/ GUY WIRE UTILITY POLE W/O GUY WIRE	□ <sub>WM</sub>	WATER METER
	—P—	OVERHEAD POWER LINE		FIRE HYDRANT

PROPOSED	
	BOUNDARY LINE CONTOUR ELEVATIONS
CF	CONSTRUCTION FENCE (SEE DETAIL SHEETS)
	LIMIT OF DISTURBED AREA URBAN LAND, 0 TO 2 PERCENT SLOPES

●<sub>B</sub> BOLLARD

#### PROJECT INFORMATION

RECEIVING WATER IS UNAMED LOCAL DEPRESSION. DEPRESSION EVENTUALLY CONNECTS TO \_\_\_\_\_ ± \_\_\_ MILES TO \_\_\_\_ OF PROJECT SITE.

PROPOSED PROJECT SITE MADE UP OF A SINGLE COMMERCIAL LOT. STORM RUN-OFF FROM SITE WILL PIPE INTO ON SITE DETENTION SYSTEM WHICH WILL ACCOMMODATE STORM RUN-OFF FOR THE GAS STATION LOT.

PROPOSED PROJECT IS CONSTRUCTING A GAS STATION CONSISTING OF \_\_\_\_\_ S.F. CONVENIENT STORE WITH \_\_ PUMP ISLANDS AND ASSOCIATED PARKING AREA. ANTICIPATED CONSTRUCTION START DATE IS  $\_\_\_$ , 20 $\_$  AND COMPLETION DATE IS

CONTRACTOR TO TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ESCAPING SITE AND ALL ACCUMULATED SEDIMENT SHALL BE CLEANED OUT AND REMOVED FROM

DOWNSTREAM CONDITION WILL NOT BE NEGATIVELY AFFECTED BY PROPOSED

#### EROSION DETAILS - SEE DETAIL SHEET C-5.2

CE STABILIZED CONSTRUCTION ACCESS

SF SEDIMENTATION / SILT FENCE WITH WIRE SUPPORT

DUST CONTROL (USING: PHASING OF THE PROJECT, MULCH, DC SPRINKLING WATER, SPRAY-ON-ADHESIVE, CALCIUM CHLORIDE,

SS SILT SACK

TS TEMPORARY TOPSOIL STOCKPILE

IP3 TEMPORARY GRAVEL INLET SEDIMENT FILTER

PS PS PERMAMENT STABILIZATION

## SITE SOILS

- URBAN LAND 0% TO 2% SLOPE

#### **GENERAL EROSION NOTES**

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES AS NEEDED.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE

- J. ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE. MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- C. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, OR STABILIZED AS SHOWN ON PLANS, NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE. O. ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE
- PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS. INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.

#### BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE

- 1. SILT DIKE PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED. MULCH SHALL BE UTILIZED WHERE EROSION OF DENUDED AREAS IS ANTICIPATED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND. PUBLIC RIGHT-OF-WAYS WILL BE CHECKED DAILY FOR MUD, IF MUD IS FOUND IT WILL BE CLEANED FROM PUBLIC RIGHT-OF-WAYS ON A DAILY BASIS.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS
- 6. IF THE STONES IN THE GRAVEL INLET SEDIMENTS FILTERS BECOME CLOGGED WITH SEDIMENT AND CAPACITY IS REDUCED BY HALF, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACE.
- 7. UPON SOLIDIFYING, CONCRETE SHALL BE REMOVED FROM WASHOUT AREA AND PROPERLY DISPOSED OF TO PREVENT RUNOFF.

#### SEQUENCE OF CONSTRUCTION

- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCES. PREPARE TEMPORARY PARKING AND STORAGE AREA. 3. CONSTRUCT THE SILT FENCES ON THE SITE.
- INSTALL ALL PERIMETER SEDIMENT MEASURES.
- 5. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROLS AS NEEDED 6. CLEAR AND GRUB THE SITE
- 7. BEGIN GRADING THE SITE.

- 8. START CONSTRUCTION OF BUILDING PAD, STRUCTURES, AND OFF-SITE IMPROVEMENTS.
- 9. TEMPORARILY SEED DENUDED AREAS. 10. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS,
- CURBS AND GUTTERS. 11. INSTALL INLET/FLUME PROTECTION DEVICES.
- 12. INSTALL RIP RAP AROUND OUTLET STRUCTURES. 13. PREPARE SITE FOR PAVING.
- 14. PAVE SITE. 15. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING
- 16. REMOVE EROSION AND TEMPORARY SEDIMENT CONTROL DEVICES AFTER FINAL STABILIZATION IS ACHIEVED.

#### **DISTURBED AREA:**

1. TOTAL SITE AREA = 1.17 ACS.

2. DISTURBED AREA = 1.36 ACS.

THE LOCATION OF THE SILT FENCE AND CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE SILT FENCE AND CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AS REQUIRED BY THE ENGINEER, PLANS, AND CITY REPRESENTATIVE. SILTATION CONTROL MEASURES SHALL BE INSPECTED PER THE NPDES PERMIT REQUIREMENTS. ANY DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY AND NO FURTHER WORK WILL PROCEED UNTIL SAID DEFICIENCIES ARE CORRECTED TO THE CITY ENGINEER'S APPROVAL.

EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES."

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE"



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#### EXISTING IRON FOUND CONCRETE SURFACE • 1/2" CAPPED REBAR SET LIGHT POLE CONCRETE MONUMENT FOUND + NAIL AND WASHER SET ●c/o SANITARY SEWER CLEANOUT ▲ CALCULATED POINT—NOT MONUMENTED SANITARY SEWER MANHOLE ( ) DEED and/or PLAT CALL ----SS--- SANITARY SEWER LINE P.O.C. POINT OF COMMENCEMEN P.O.B. POINT OF BEGINNING - F/O- BURIED FIBER OPTIC LINE R.O.W. RIGHT-OF-WAY FIBER OPTIC BOX —/— WOODEN PRIVACY FENCE ----W--- WATER LINE M.B.L. MINIMUM BUILDING LINE ⊕<sub>w/v</sub> WATER VALVE ← UTILITY POLE W/ GUY WIRE ITTLITY POLE W/O GLIY WIRE □<sub>WM</sub> WATER METER —P— OVERHEAD POWER LINE FIRE HYDRANT -BP- BURIED POWER LINE ●<sub>B</sub> BOLLARD

#### 

#### PROJECT INFORMATION

RECEIVING WATER IS UNAMED LOCAL DEPRESSION. DEPRESSION EVENTUALLY CONNECTS TO \_\_\_\_\_ ± \_\_\_\_ MILES TO \_\_\_\_\_ OF PROJECT SITE.

PROPOSED PROJECT SITE MADE UP OF A SINGLE COMMERCIAL LOT. STORM RUN-OFF FROM SITE WILL PIPE INTO ON SITE DETENTION SYSTEM WHICH WILL ACCOMMODATE STORM RUN-OFF FOR THE GAS STATION LOT.

PROPOSED PROJECT IS CONSTRUCTING A GAS STATION CONSISTING OF
\_\_\_\_\_ S.F. CONVENIENT STORE WITH \_\_ PUMP ISLANDS AND ASSOCIATED PARKING AREA.
ANTICIPATED CONSTRUCTION START DATE IS \_\_\_\_\_, 20\_\_ AND COMPLETION DATE IS

CONTRACTOR TO TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ESCAPING SITE AND ALL ACCUMULATED SEDIMENT SHALL BE CLEANED OUT AND REMOVED FROM

DOWNSTREAM CONDITION WILL NOT BE NEGATIVELY AFFECTED BY PROPOSED

#### EROSION DETAILS - SEE DETAIL SHEET C-5.2

#### KQXQXQ

- CE STABILIZED CONSTRUCTION ACCESS
- SF SEDIMENTATION / SILT FENCE WITH WIRE SUPPORT

  DUST CONTROL (USING: PHASING OF THE PROJECT, MULCH,
- DC SPRINKLING WATER, SPRAY-ON-ADHESIVE, CALCIUM CHLORIDE, BARRIERS, ETC.)

  SS SILT SACK
  - TS TEMPORARY TOPSOIL STOCKPILE
  - TO TEMPORARY FOR COLE OF COMMILEE

PS PS PERMAMENT STABILIZATION

IP3 TEMPORARY GRAVEL INLET SEDIMENT FILTER

#### SITE SOILS

- URBAN LAND 0% TO 2% SLOPE

#### GENERAL EROSION NOTES

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION
- B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES AS NEEDED.

GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING

- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE

- J. ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE. MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- K. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, OR STABILIZED AS SHOWN ON PLANS, NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
   O. ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE
- PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.

#### BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOIL OWING:

- 1. SILT DIKE PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED. MULCH SHALL BE UTILIZED WHERE EROSION OF DENUDED AREAS IS ANTICIPATED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND. PUBLIC RIGHT-OF-WAYS WILL BE CHECKED DAILY FOR MUD, IF MUD IS FOUND IT WILL BE CLEANED FROM PUBLIC RIGHT-OF-WAYS ON A DAILY BASIS.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 6. IF THE STONES IN THE GRAVEL INLET SEDIMENTS FILTERS BECOME CLOGGED WITH SEDIMENT AND CAPACITY IS REDUCED BY HALF, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACE.
- 7. UPON SOLIDIFYING, CONCRETE SHALL BE REMOVED FROM WASHOUT AREA AND PROPERLY DISPOSED OF TO PREVENT RUNOFF.

#### SEQUENCE OF CONSTRUCTION

#### PHASE I

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
   PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT THE SILT FENCES ON THE SITE.
   INSTALL ALL PERIMETER SEDIMENT MEASURES.
- 5. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROLS AS NEEDED.
- 6. CLEAR AND GRUB THE SITE7. BEGIN GRADING THE SITE.

#### PHASE II

- 8. START CONSTRUCTION OF BUILDING PAD, STRUCTURES, AND OFF-SITE IMPROVEMENTS.
- 9. TEMPORARILY SEED DENUDED AREAS.10. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS,
- CURBS AND GUTTERS.

  11. INSTALL INLET/FLUME PROTECTION DEVICES.
- 11. INSTALL INLET/FLUME PROTECTION DEVICES.12. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
- 13. PREPARE SITE FOR PAVING.14. PAVE SITE.15. COMPLETE GRADING AND INSTALL PERMANENT SEEDING
- AND PLANTING.

  16. REMOVE EROSION AND TEMPORARY SEDIMENT CONTROL

DEVICES AFTER FINAL STABILIZATION IS ACHIEVED.

- DISTURBED AREA:
- 4 TOTAL OITE ADEA 4 47 AC
- 1. TOTAL SITE AREA = 1.17 ACS. 2. DISTURBED AREA = 1.36 ACS.

THE LOCATION OF THE SILT FENCE AND CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE SILT FENCE AND CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AS REQUIRED BY THE ENGINEER, PLANS, AND CITY REPRESENTATIVE. SILTATION CONTROL MEASURES SHALL BE INSPECTED PER THE NPDES PERMIT REQUIREMENTS. ANY DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY AND NO FURTHER WORK WILL PROCEED UNTIL SAID DEFICIENCIES ARE CORRECTED TO THE CITY ENGINEER'S APPROVAL.

EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES."

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE"



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#### UTILITY FEE SCHEDULE

UTILITY FEE SCHEDULE (FEES TO BE PAID BY MURPHY)					
ELECTRIC		SEWER			
IMPACT FEE	\$XXX.XXX	IMPACT FEE	\$XXX.XXX		
DEPOSIT FEE	\$XXX.XXX	METER FEE	\$XXX.XXX		
CONNECTION FEE	\$XXX.XXX	TOTAL	\$XXX.XXX		
TOTAL	\$XXX.XXX				
WATER		INTERNET			
IMPACT FEE	\$XXX.XXX	IMPACT FEE	\$XXX.XXX		
TAP FEE	\$XXX.XXX	DEPOSIT FEE	\$XXX.XXX		
METER FEE	\$XXX.XXX	CONNECTION FEE	\$XXX.XXX		
TOTAL	\$XXX.XXX	TOTAL	\$XXX.XXX		

#### UTILITY INSTALLATION RESPONSIBILITIES

## WATER METERS TO BE PROVIDED AND INSTALLED BY WATER

 CONTRACTOR TO PROVIDE AND INSTALL WATER LINES, BACK FLOW DEVICES AND APPURTENANCES FROM METER TO

 CONTRACTOR TO CONNECT TO EXISTING STUB OUT, PROVIDE AND INSTALL SERVICE LINES AND CLEANOUTS FROM POINT OF CONNECTION TO BUILDING.

 CONTRACTOR TO PROVIDE & INSTALL 2-4" CONDUITS FROM POLE MOUNTED TRANSFORMER TO BUILDING INCLUDING SWEEPS (36" R.) AND SECONDARY WIRE.

GREASE.

INTERNET SERVICE:

CONTRACTOR TO INSTALL 2-2" CONDUITS WITH PULL STRING FROM BUILDING TO CONNECTION POINT.

CROSSINGS: ALL INVERTS AND SLOPES TO MAINTAIN A MINIMUM OF 1' BETWEEN STORM AND SEWER AND 0.5' BETWEEN SEWER AND

GC TO VERIFY LOCATION **CONNECTION POINT AND DEPTH OF EXISTING** UTILITIES PRIOR TO **INSTALLING PROPOSED** UTILITY.

SEE SHEET C-4.2 FOR **BUILDING ROOF DRAINAGE** AND CANOPY DRAINAGE

A. ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE

B. ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE

C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY

D. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATE WITH THE DESIGNATED UTILITY

E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN

F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN,

APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE

GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL

EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY

CROSSINGS AND INFORM CONSULTING ENGINEER(S) AND THE OWNER/DEVELOPER

OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. CONSULTANT AND

ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS

DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND

TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS,

SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS

G. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA

H. FREEZE LESS WATER BIBB TO BE LOCATED ON BUILDING SIDE OF CANOPY COLUMN.

I. WATER LINE SERVICE TO DISPENSER ISLAND TO BE  $\frac{3}{4}$ " SCH. 40 PVC.

SPECIFIED BY THE UTILITY COMPANY, PROVIDE 36" MINIMUM COVER.

SERVICES WITH ADJACENT PROPERTY OWNERS.

POLYETHYLENE (PE) PLASTIC TUBING MEETING ASTM D2737, AWWA C901, AND CSA

B137.1 SPECIFICATIONS AND SHALL BE RATED FOR USE WITH POTABLE WATER PER

GENERAL UTILITY NOTES

NSF ST. 61 WITH 36" MIN. COVER.

TO MAKE SUCH NOTIFICATION.

#### UTILITY INSTALLATION RESPONSIBILITIES

	UTILITY INSTALLATION RESPONSIBILITIES				
	ELECTRIC RESPONSIBILITY				
ΚX		GENERAL CONTRACTOR	UTILITY PROVIDER	N/A	
ΚX	CONDUIT TRENCH	Х			
ΚX	TRANSFORMER		Х		
	CONDUIT / TRANSFORMER PAD	Х			
	PRIMARY WIRE		Х		
ХХ	SECONDARY WIRE	X			
vv					

	GENERAL	UTILITY	
	CONTRACTOR	PROVIDER	N/A
TAP			Х
DOMESTIC WATER		Х	
DOMESTIC BFP	Х		
IRRIGATION METER		Х	
IRRIGATION BFP	х		
HYDRANT			Х

SEWER RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
TAP			Х
CONNECT TO EXIST. STUBOUT	Х		
		-	•

INTERNET RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
INTERNET CABLE	Х		
TRENCH	Х		
CONDUIT	Х		

#### ☐ UTILITY DETAILS

- 40E SANITARY SEWER SERVICE CONNECTION TO EXISTING SEWER STUB OUT 41A TRENCH DETAIL
- 42B SANITARY SEWER TRENCHING AND BEDDING
- 43A BACKFLOW PREVENTER
- 44A MAINTAIN MIN. 12" VERTICAL SEPARATION WATER OVER SEWER



**Location Map** SEC <u>10</u> TWP <u>44S</u> - RNG <u>42E</u>

	EXISTING	
/A	PROPERTY LINE	APD
	— AREA DRAIN OR CATCH BASIN	<b>(</b>
	→ −PROP. MON.	₽N.
		o <sup>GP</sup>
	o DOWN SPOUT	$\overset{GV}{\bowtie}$
	EM □ -ELECTRIC METER	4

▲ -ELECTRIC MARKER

PROPOSED

-ELECTRIC
UTILITY RISER

/TR=100.00' P -ELECTRIC MANHOLE & -HC PARKING O -STORM SEWER -TELEPHONE MANHOLE

> UNDERGROUND ELECTRIC SERVICE UNDERGROUND TELEPHONE SERVICE

Ø -POWER POLE

₩ - WATER VALVE



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11M EXISTING COMMUNICATION HANDHOLE TO BE REMOVED OR REPLACED WITH TRAFFIC RATED MANHOLE WITH STEEL RING AND COVER.

20A FREEZELESS YARD HYDRANT AT PUMP ISLAND (3/4" SCH. 40 PVC) 22L DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET)

23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS)

WATER SERVICE

24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE

24E PAD MOUNTED TRANSFORMER

26A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE

30D VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY

31A (2) 1" SIGNAGE CONDUITS TO BE FILED RUN BY CONTRACTOR

31D INSTALL (2) PVC SCH. 40 (D2665) SLEEVES 30" BELOW FINAL GRADE UNDER DRIVE WAY. EXTEND SLEEVES 2 FEET BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF EACH SLEEVE WITH CAPPED VERTICAL PVC PIPE, 12" ABOVE GRADE. DO NOT ALLOW SOIL OR WATER TO ENTER SLEEVES DURING OR AFTER CONSTRUCTION.

31E INSTALL (1) PVC SCH. 40 (D2665) SLEEVES 30" BELOW FINAL GRADE UNDER DRIVE WAY FOR IRRIGATION LINE. EXTEND SLEEVES 2 FEET BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF EACH SLEEVE WITH CAPPED VERTICAL PVC PIPE, 12" ABOVE GRADE. DO NOT ALLOW SOIL OR WATER TO ENTER SLEEVES DURING OR AFTER CONSTRUCTION.

32T EXISTING PAD-MOUNTED TRANSFORMER TO BE REPLACED WITH PAD-MOUNTED TRANSFORMER CAPABLE OF SERVING C-STORE WITH 120/240V 800 AMP SERVICE

33E 20' PBC UTILITY EASEMENT

# **UTILITY ROUTING NOTE:**

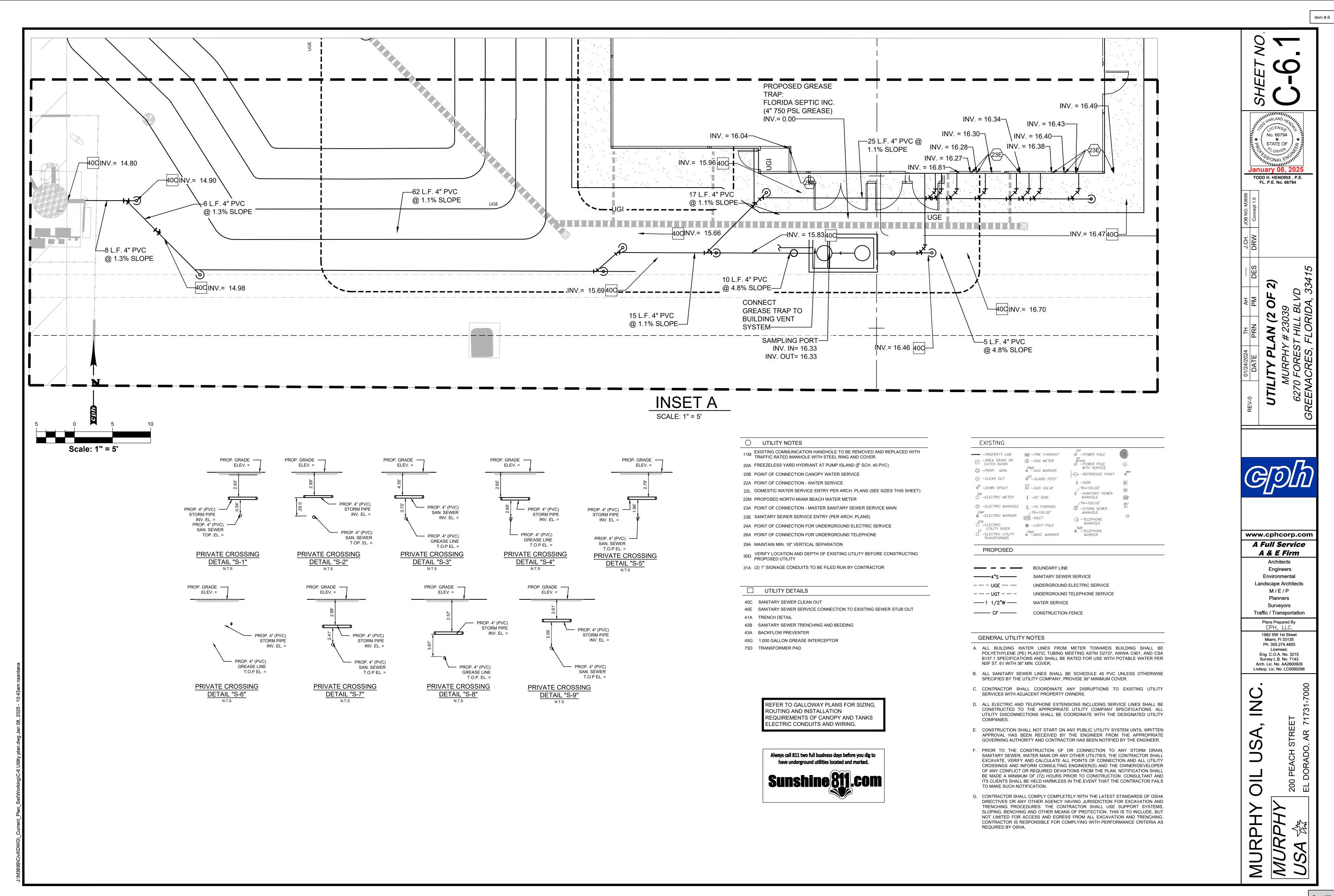
EXACT LOCATIONS OF UTILITY ENTRY POINTS TO BUILDING, ROUTING OF SEWER FLOWS, ETC.

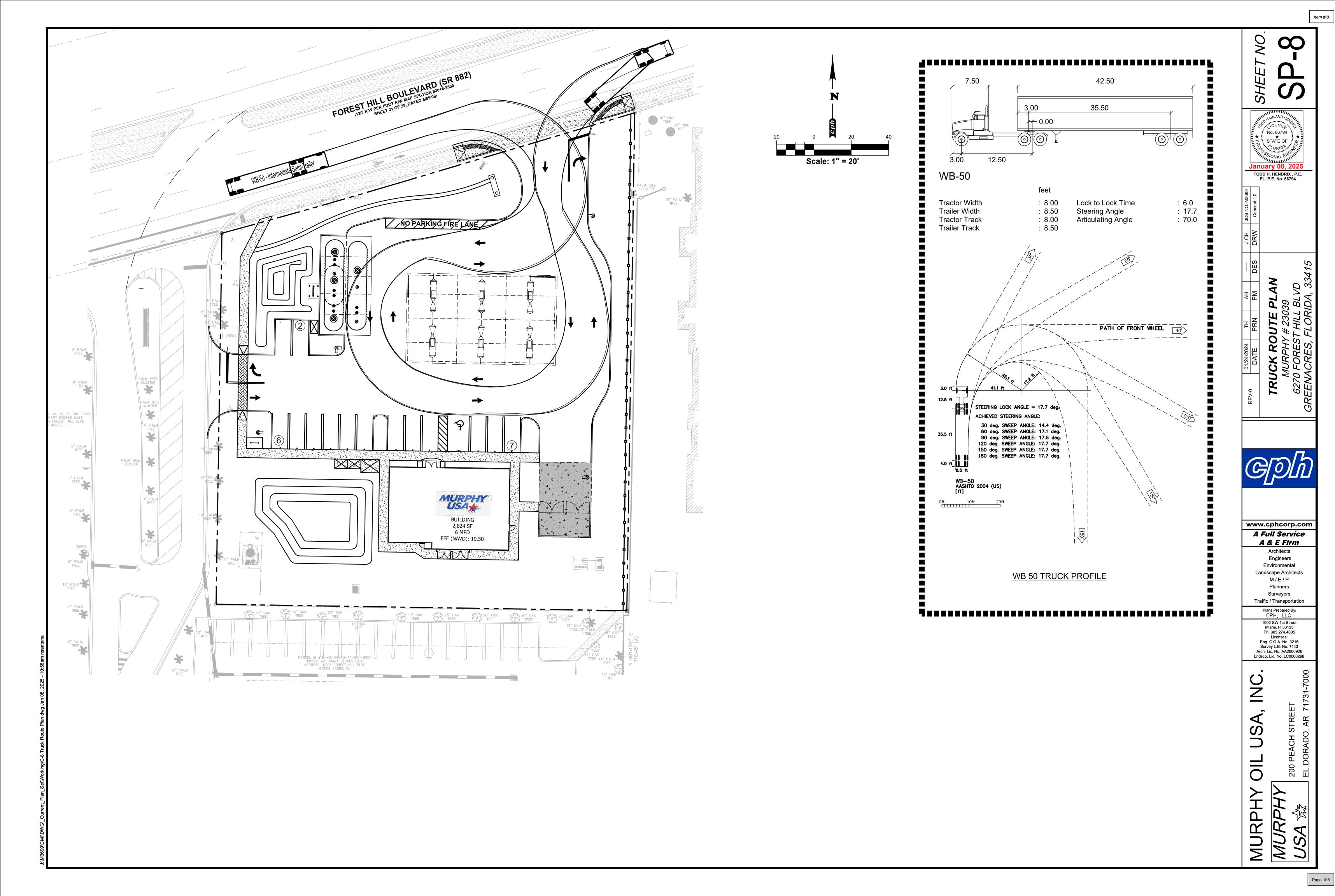
WUD# 24-577

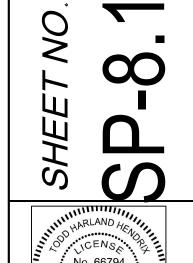
ALL UTILITY FEES TO BE PAID BY OWNER AND ARE NOT REQUIRED TO BE INCLUDED IN BID.

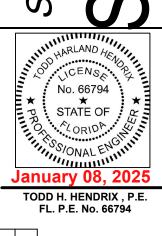
REFER TO PLUMBING PLAN (P1) FOR

REFER TO GALLOWAY PLANS FOR SIZING, ROUTING AND INSTALLATION REQUIREMENTS OF CANOPY AND TANKS ELECTRIC CONDUITS AND WIRING.









Gental

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Engineers Environmental Landscape Architects M/E/P Planners Surveyors

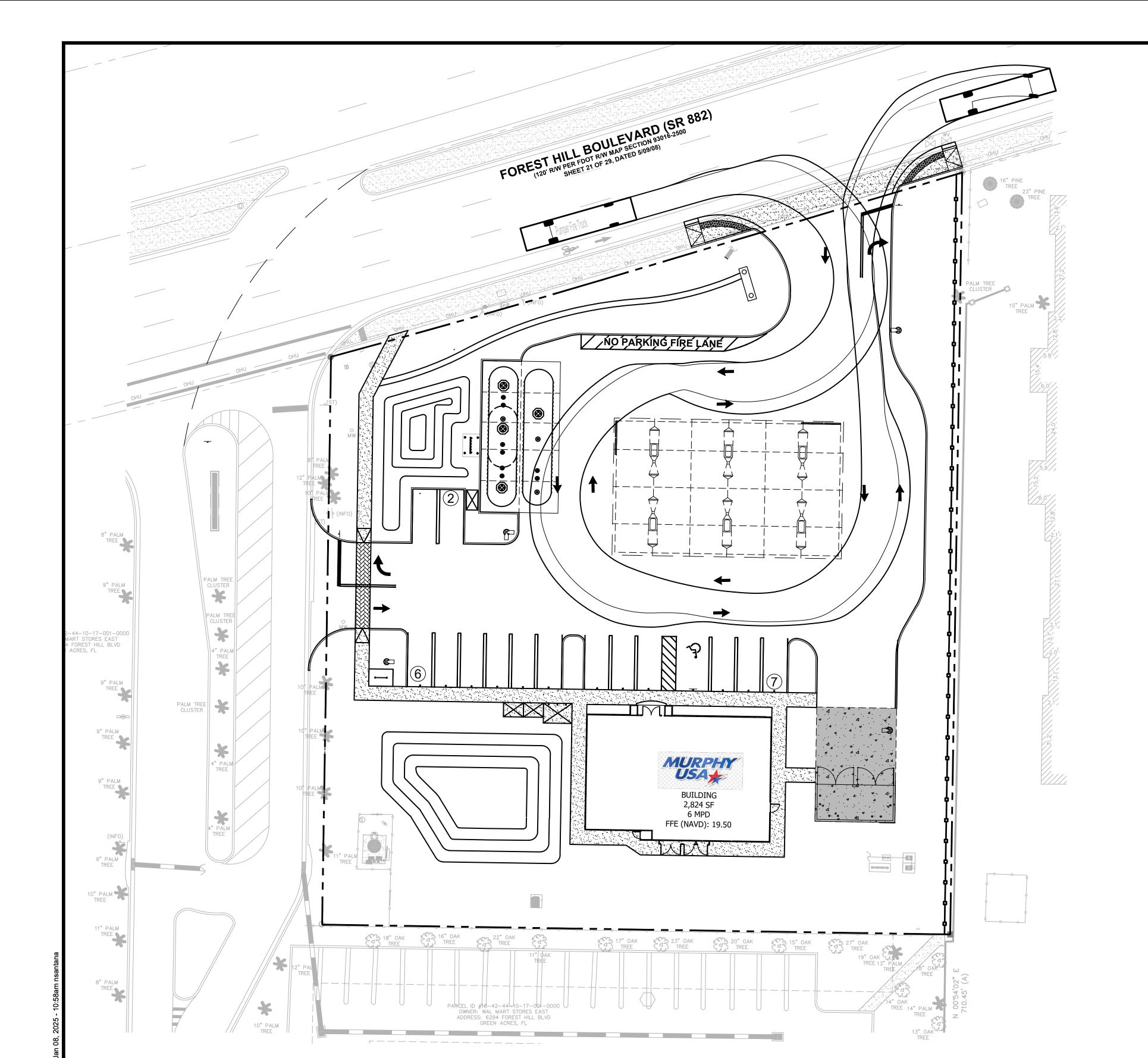
Traffic / Transportation Plans Prepared By: CPH, LLC.

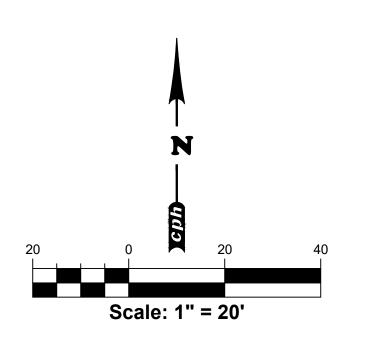
1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805 Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926

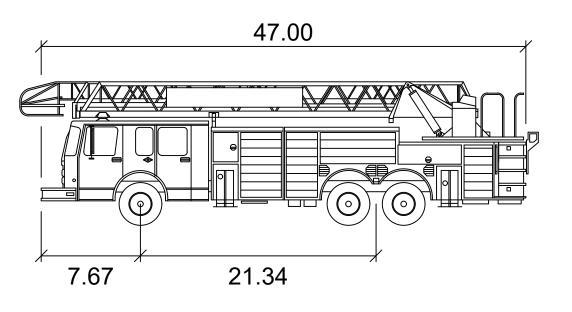
Lndscp. Lic. No. LC0000298 N N

USA, 

MURPHY
MURPHY
USA







# Fire Truck

feet

Width : 10.00 Track : 8.00 Lock to Lock Time Steering Angle : 6.0 : 40.0

TODD H. HENDRIX , P.E. FL. P.E. No. 66794

Item # 8.

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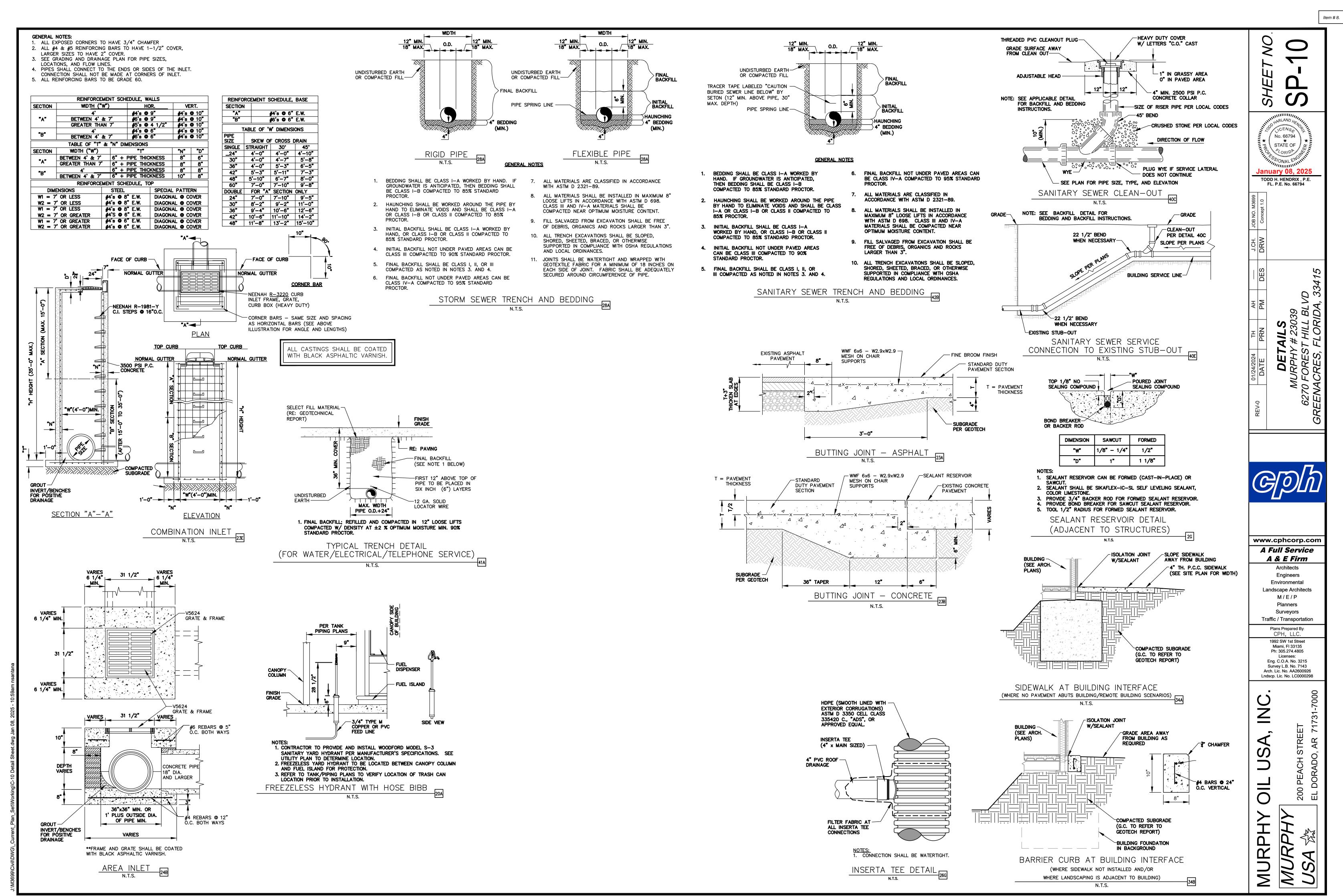
Traffic / Transportation Plans Prepared By: 1992 SW 1st Street Miami, FI 33135

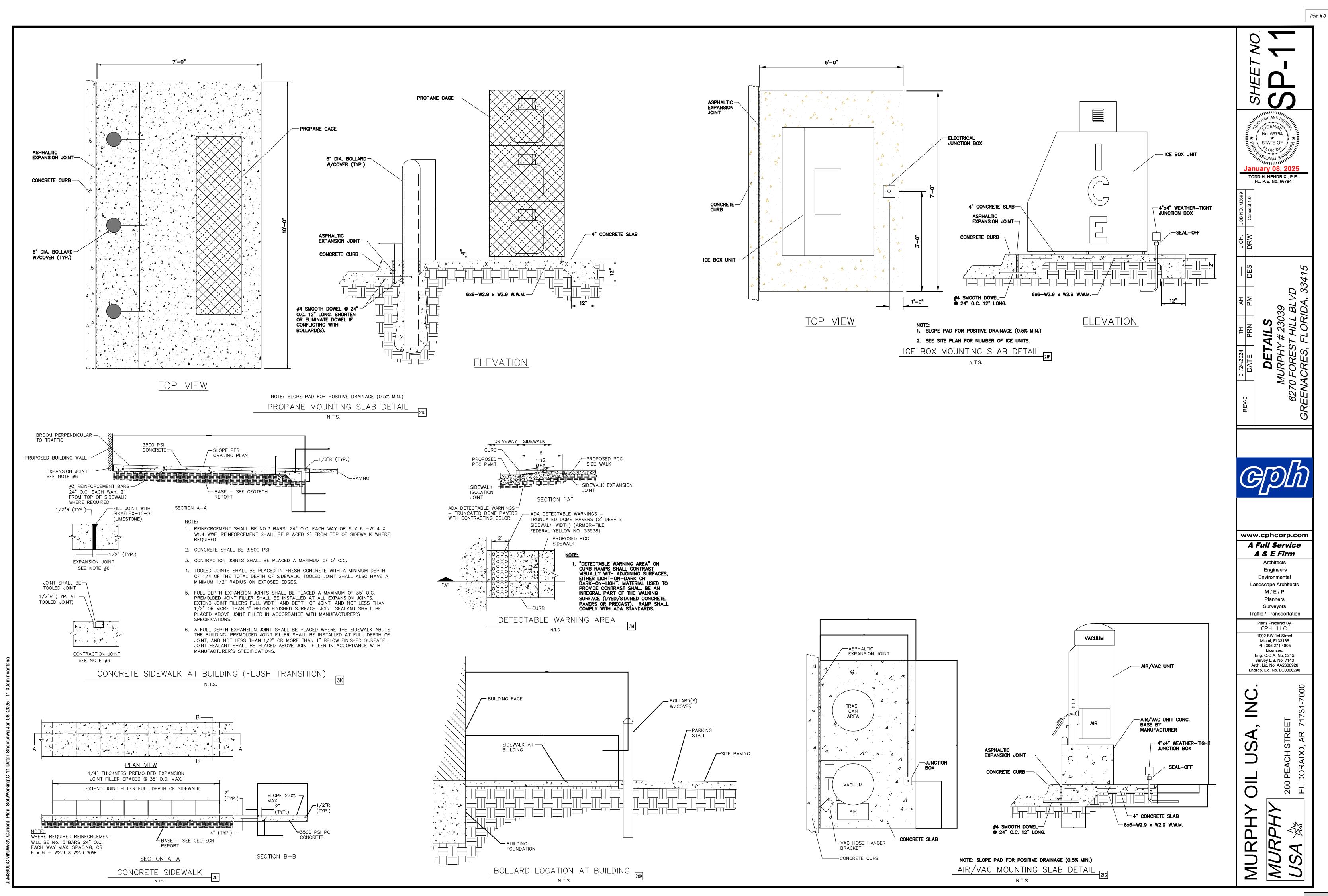
Ph: 305.274.4805 Licenses:
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Survey L.B. No. 7143
Arch. Lic. No. AA2600926

Lndscp. Lic. No. LC0000298

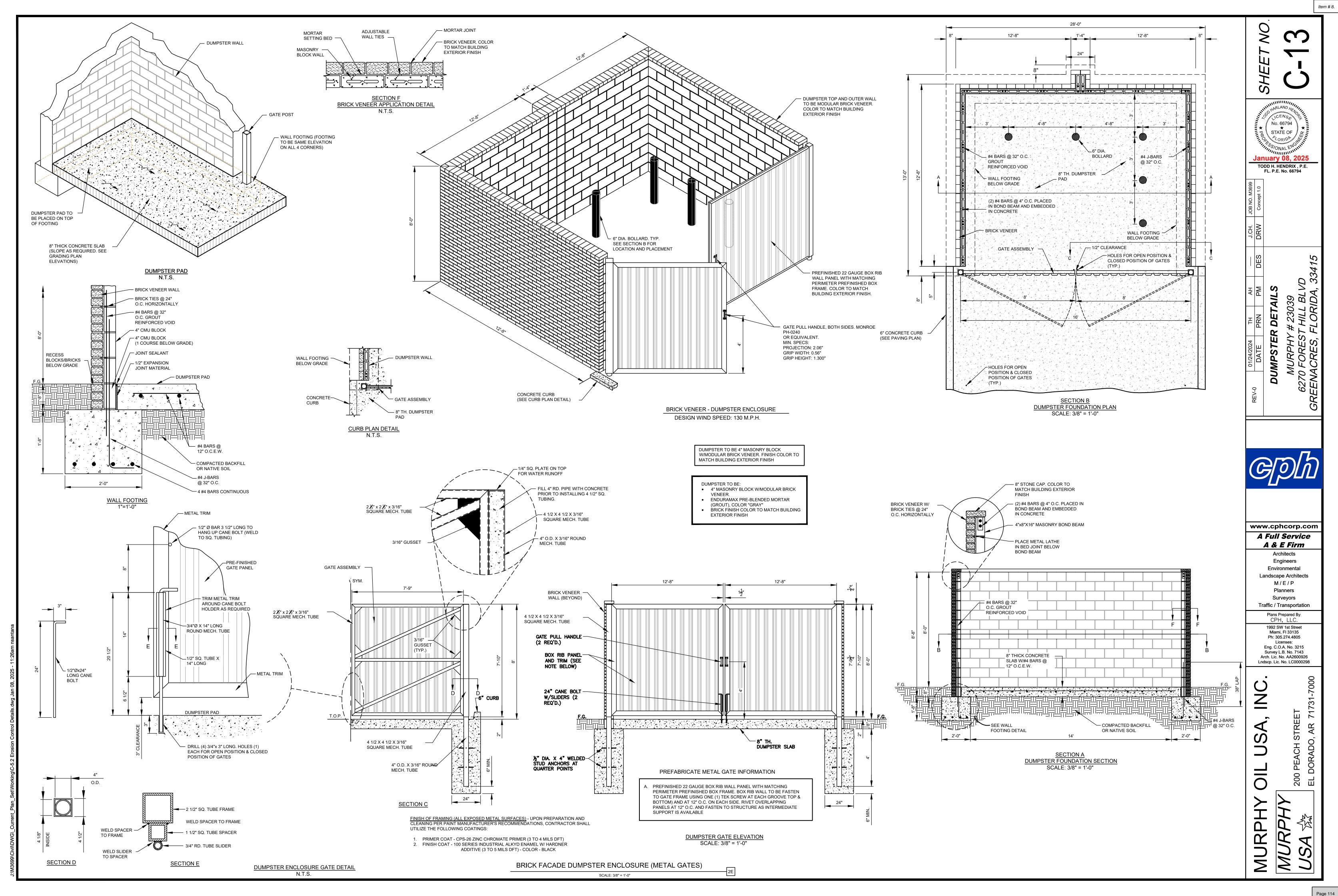
N USA,

MURPHY

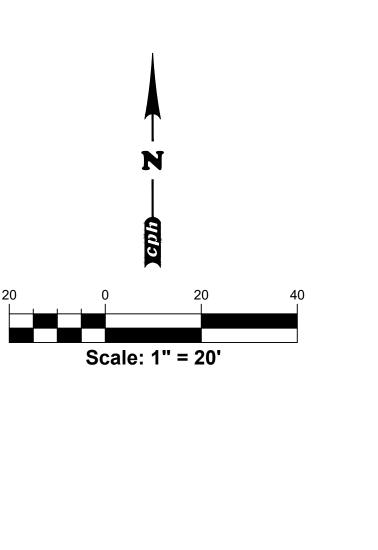




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This item has been digital signed and sealed by Danit R. Bryant on the date adjacent to the seal. Printe copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies



GENERAL SITE NOTES

A. A CCTV VIDEO SURVEILLANCE SYSTEM IS TO BE INSTALLED.

B. PHOTOMETRIC PLAN TO PROVIDE LIGHTING AROUND PERIMETER OF ALL SIDES OF PROPERTY AND PEDESTRIAN WALKWAY SURROUNDING THE BUILDING.

C. LIGHTING TO BE PROVIDED FOR STOREFRONT ENTRANCE.

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Traffic / Transportation Plans Prepared By:

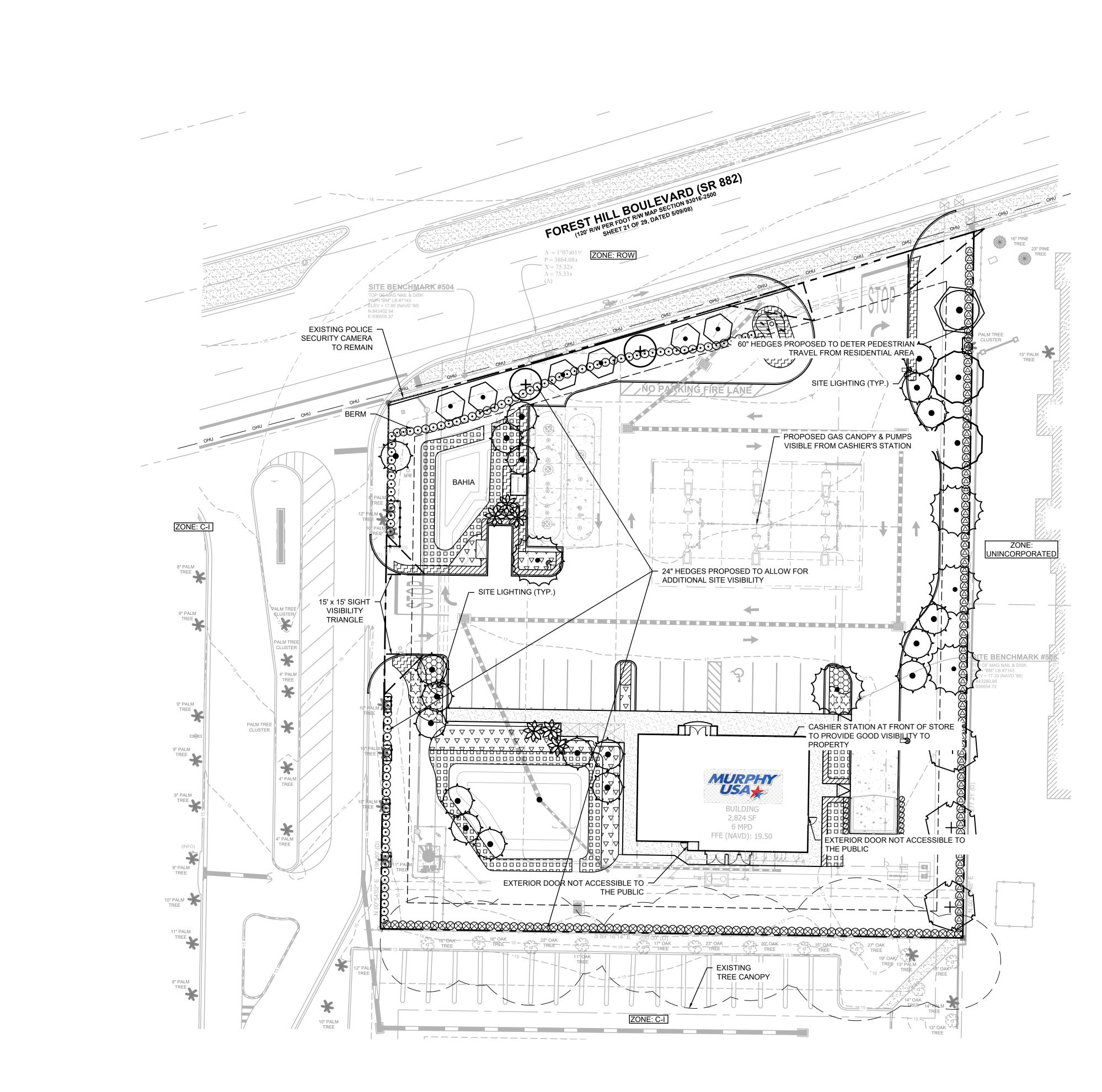
1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805

Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

NS'

MURPHY

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Architects Engineers Environmental Landscape Architects M/E/P Planners

Surveyors Traffic / Transportation Plans Prepared By: CPH ,LLC. 1992 SW 1st Street Miami, FI 33135 Ph: 305.274.4805

Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

NC NC

DRIPLINE OF TREE IS THE EXTENT OF ITS LIMITS 2' ORANGE FLAGGING TAPE @ 30" O.C. 4' H, 14.5 GAUGE WIRE MESH FENCE, 2" X 2" MESH, INSTALLED AT @ TREE DRIPLINE STEEL TEE POST W/ CAPS

# TREE PROTECTION DETAIL

TREE BARRICADE APPROVAL
OBTAIN CITY APPROVAL OF TREE BARRICADES PRIOR TO BEGINNING CLEARING OPERATIONS
OR ANY SITE DEVELOPMENTS

DRIVE INTO GROUND, 6' O.C. (ATTACH WIRE MESH W/ TWISTED WIRE

# TREE PROTECTION NOTES:

TREE LEGEND

= TREE TO REMAIN

= TREE TO BE REMOVED

= TREE TO BE RELOCATED

- 1. Four (4) foot high 14.5 guage wire 2"x2" mesh fencing shall be installed encompassing the drip line of each tree, or one foot in diameter for each inch of trunk diameter, whichever is greater. When surveyed fencing shall be moved to the edge of the tree protection area (TPA) as indicated on plans and be maintained through completion of construction.
- 2. Where the TPA occurs within 10 feet of the tree trunk, a trenching device shall be used to sever tree roots. Root raking shall not occur before roots have been cleanly severed.
- 3. All equipment and/or materials are prohibited within the TPA. Including but not limited to cement wash-out, chemicals, fuel or equipment
- 4. Grade changes shall not occur within the TPA. No fill shall be added, removed or stored within the TPA with exception of prescribed potting soil (see item 10). 5. Brush and weeds occuring within the TPA shall be cleared by hand or utilizing only the mower of a light wheeled farm tractor (less than
- 60 hp). During such activities soil profiles shall not be disturbed.
- 6. Roto-tilling, disking, root raking or other clearing methods that disturb the soil profile are expressly prohibited. 7. Utility lines and/or irrigation lines shall not occur within the TPA.
- 8. Saved trees shall be pruned to remove dead and damaged wood, correct structural defects and to provide access and visibility.
- 9. Pruning shall be completed under direct observation by the owner designated ISA certified arborist and be accomplished by an arborist with five years or more experience pruning trees to ISA standards. Arborist must obtain approval from the owner prior to commencement of pruning activities. Two week advance notification is required.
- 10. Landscaping within TPA shall not disturb existing soil profiles. Eight inches of potting soil shall be imported and evenly spread to provide a planting medium within TPA.

EXISTING TREE LIST						
IUMBER	NAME	D.B.H.	STATUS			
1001	PALM		RELOCATE			
1002	PALM	8"	REMAIN			
1003	PALM	12"	REMAIN			
1004	PALM	10"	REMAIN			
1005	PALM	11"	REMOVE			
1006	PALM	10"	REMAIN			
1007	PALM	10"	REMAIN			
1008	PALM	10"	REMAIN			
1009	PALM	11"	REMAIN			
1010	PINE	16"	OFFSITE			
1011	PINE	23"	OFFSITE			
1012	PALM	15"	OFFSITE			
1013	OAK	18"	OFFSITE			
1014	OAK	16"	OFFSITE			
1015	OAK	22"	OFFSITE			
1016	OAK	11"	OFFSITE			
1017	OAK	17"	OFFSITE			
1018	OAK	23"	OFFSITE			
1019	OAK	20"	OFFSITE			
1020	OAK	15"	OFFSITE			
1021	OAK	27"	OFFSITE			
1022	OAK	19"	OFFSITE			
1023	PALM	13"	OFFSITE			
		4.0"				

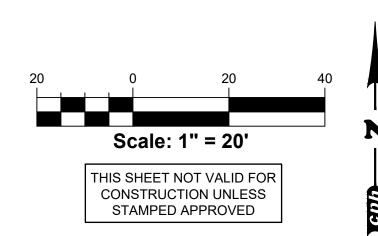
SAID SEC 10, T44S, R4: W/ THE S'LY LINE OF T

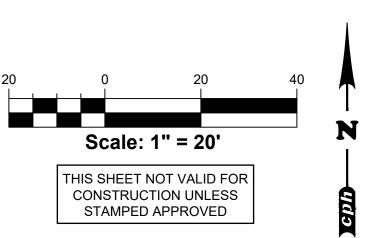
6' CLF (TYF

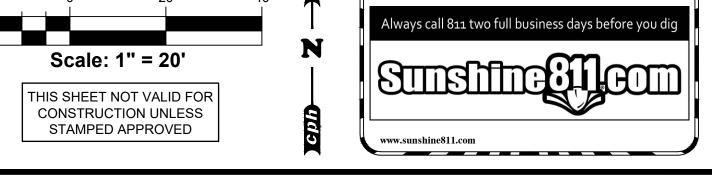
1024	OAK	18"	OFFSITE	
TDEE MITICA	TION			
TREE MITIGA				
TOTAL TREES	REMOVED:		1 PALM	
TOTAL REPLA	CEMENT TREE	S REQUIRED	): 1 PALM	
TOTAL REPLA	CEMENT TREE	S PROPOSE	D: 1 PALM	

16 CREDITS

**EXISTING TREE CREDITS:** 



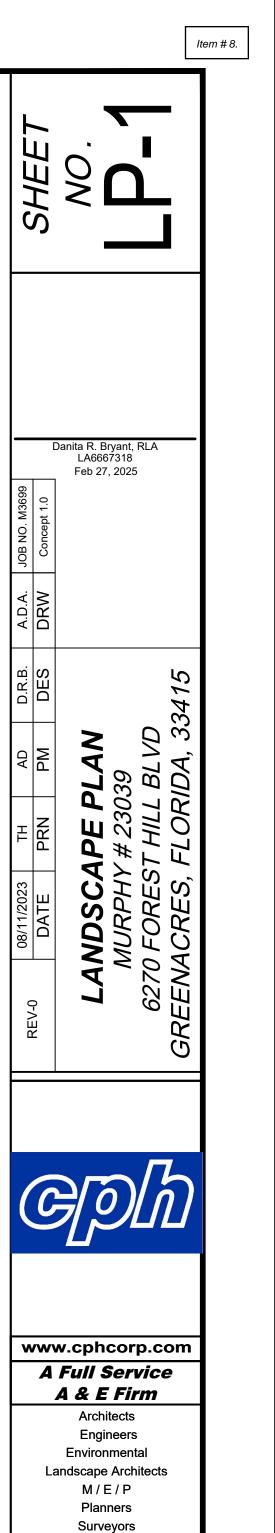




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# PALM TREE CLUSTER \* 9" PALM TREE REMOVE EXISTING 4" PALM TREE 9" PALM TREE 2,824 SF 6 MPD TREE PROTECTION FENCE (TYP.) FFE (NAVD): 19.50 **EXISTING TREE CANOPY** RECESSED PIPE TOP ELEV=14.39 S INV ELEV(18" CMP)=11.42 BOTTOM ELEV=11.42 11" PALM TREE 8" PALM TREE 10" PALM TREE FLATE GRATE INLET | r----L----

REMOVE EXISTING



Traffic / Transportation

Plans Prepared By:

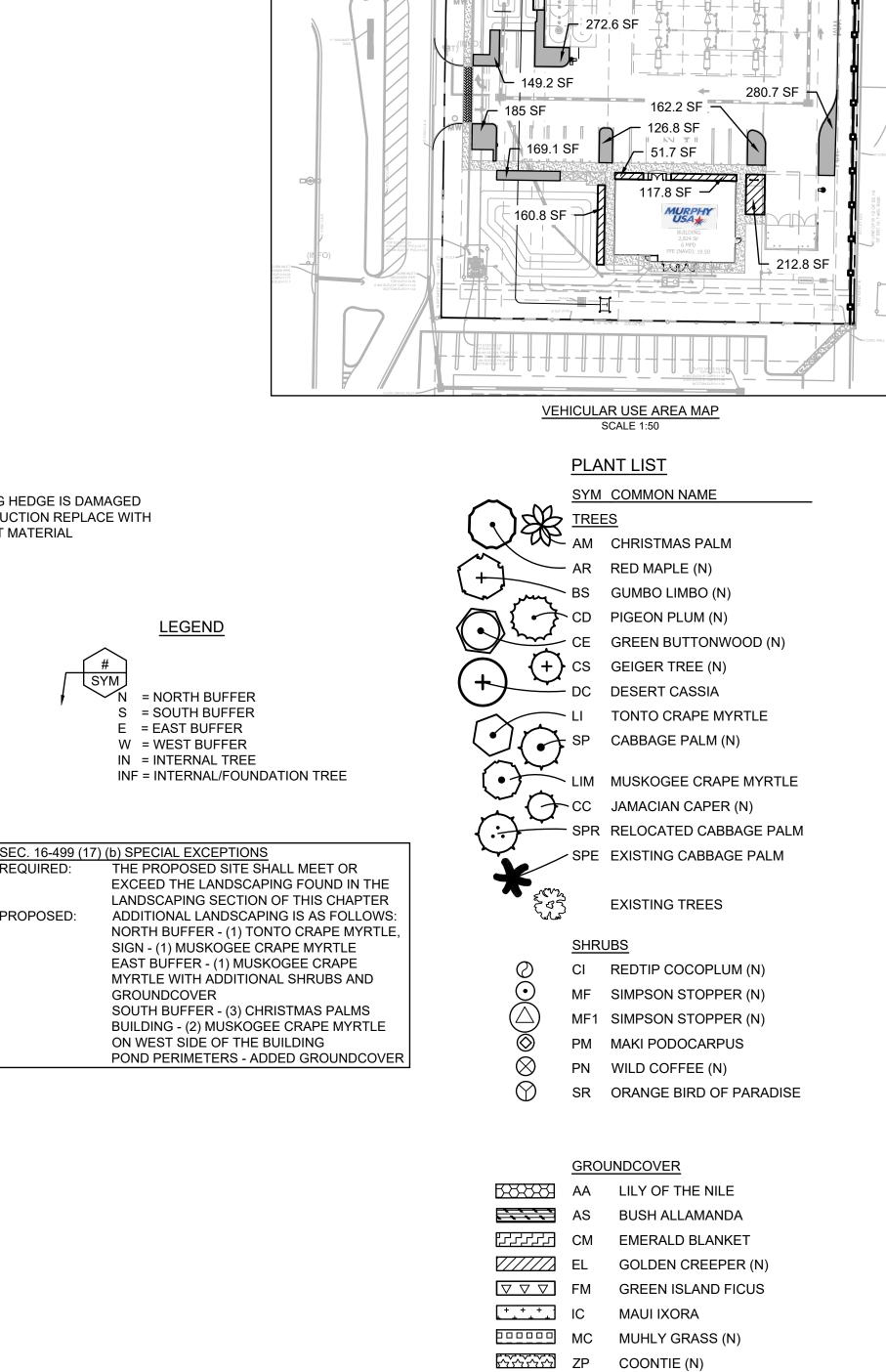
CPH LLC.

1992 SW 1st Street

Miami, FI 33135 Ph: 305.274.4805

Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926

Lndscp. Lic. No. LC0000298



TD FAKAHATCHEE GRASS (N)

BAHIA ARGENTINE BAHIA SOD

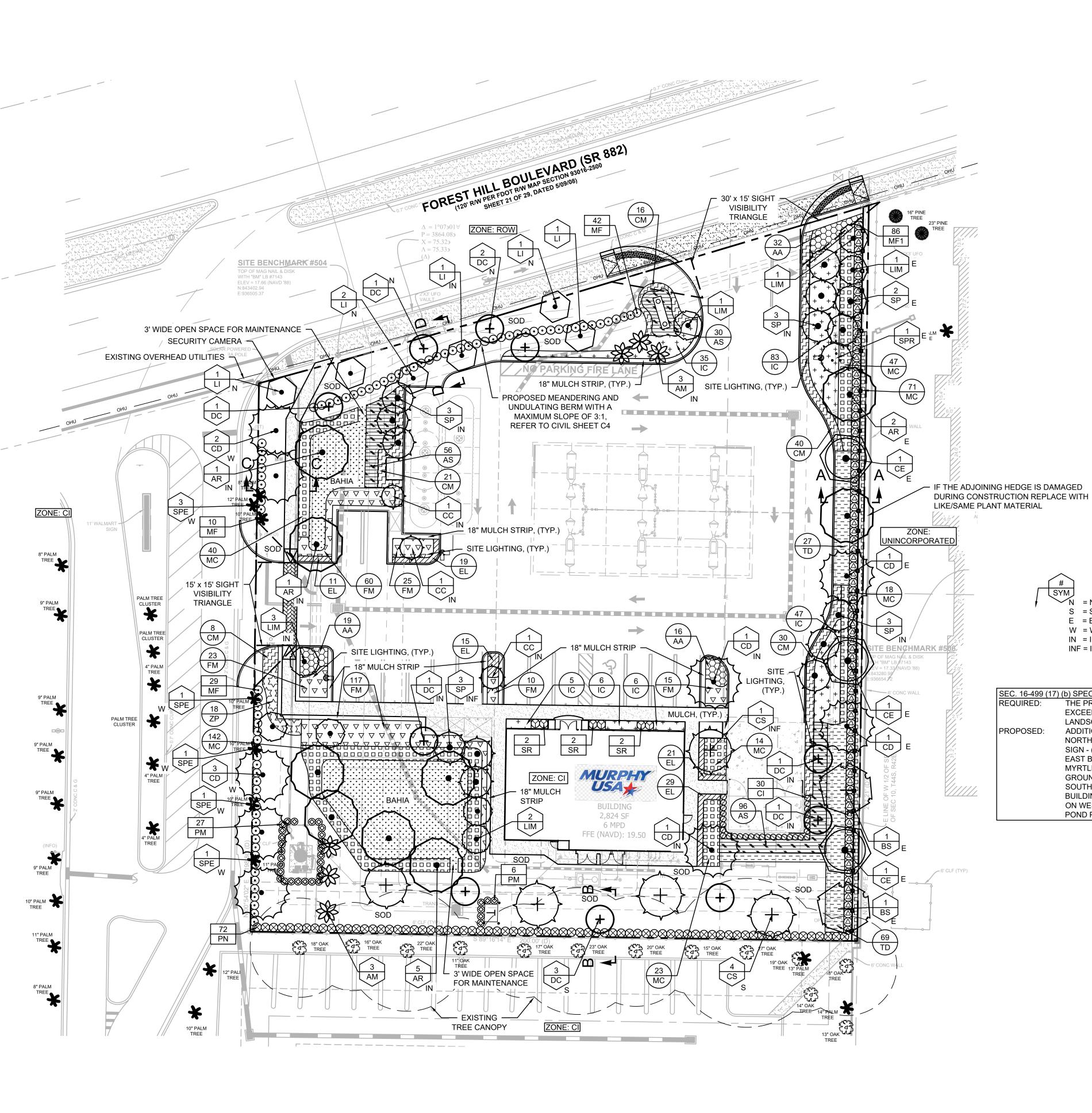
Scale: 1" = 20'

THIS SHEET NOT VALID FOR CONSTRUCTION UNLESS STAMPED APPROVED

SOD ST. AUGUSTINE GRASS

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# LANDSCAPE NOTES:

- 1. The landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- 2. The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface
- 3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor 1) to verify the locations of utility lines within and adjacent to the work area 2) to protect all utility lines during the construction period 3) to repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the construction 4) To field adjust the location of proposed trees and palms 10' off the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function
- 4. The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to ensure availability and proper location of irrigation items and plants
- 5. Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or large shrub locations to avoid any such obstructions.
- 6. Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
- 7. All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- 9. The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper. When the plant list description calls out DBH or caliper at DBH, it shall govern over the caliper definition in this note.
- 10. The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- 11. Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the
- 12. Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- 13. TOPSOIL
- Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsoil, objectionable weeds, litter, sods, stiff clay, stones larger than 1-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material. 6" Top Soil shall be placed
- 14. All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
- 15. The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered for plants to thrive as defined by Florida Grades and Standards for Nursery stock until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- 16. It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- 17. All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting
- 18. Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- 19. Sod shall be of a species specified on the drawings and originate from a commercial turf grower, whose farm is free of muck soils. Muck grown sod will not be approved. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots in rectangles 12 inch by 24 inch or in 12 inch wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be place adjacent to one another to avoid gaps and overlaps. Joints shall be staggered between the rows. Sod placed on slopes exceeding 3:1 shall be pinned with turf staples. Sod turf, shall have been mowed a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivars provided, last mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative
- 20. It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating of the quantity of sod for the original bid area.
- 21. The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- Locations containing unsuitable subsoil shall be treated by one or more of the following:
- A. Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A6 or A7, loosen such areas with spikes, discing, or other means to loosen soil to condition acceptable to Owner, Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat moss, sand, or organic matter into the subsoil to obtain adequate measures shall be considered as incidental, without additional cost to Owner.
- Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.
- Where unsuitability is deemed by Owner to be because natural subsoil falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
- D. Planting beds where existing subsoil is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.
- 23. The Landscape Contractor shall ensure that his work does not interrupt established or projected drainage patterns.
- 24. The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of Bidding.
- 25. Mulch All plant beds shall be top dressed with 3" shredded hardwood mulch (or approved equal). Cypress mulch not permitted. A 5' diameter mulch ring is to be placed around trees located in sod areas or outside of planting beds.
- 26. Transplanted Material The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.
- 27. MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:
- A. Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.
- B. Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
- C. During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.
- D. At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period

# **GUARANTEE AND REPLACEMENT:**

- All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.
- B. At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.
- All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.

PLANT LIST DESCRIPTION SYM COMMON NAME **BOTANICAL NAME** AM CHRISTMAS PALM 12' MIN. CT., TRIPLE TRUNK, CLEAN ADONIDIA MERRILLII RED MAPLE (N) ACER RUBRUM 2" CAL., 12' MIN. HT., 4' SPRD. GUMBO LIMBO (N) **BURSERA SIMARUBA** 2" CAL., 12' MIN. HT., 4' SPRD. COCCOLOBA DIVERSIFOLIA 2" CAL., 12' MIN. HT., 4' SPRD. CE GREEN BUTTONWOOD (N CONOCARPUS ERECTUS 2" CAL., 12' MIN. HT., 4' SPRD (+) CS GEIGER TREE (N) CORDIA SEBESTENA 2" CAL., 12' MIN. HT., 4' SPRD DC DESERT CASSIA SENNA POLYPHYLLA 2" CAL., 10' MIN. HT., 4' SPRD. LAGERSTROEMIA INDICA 'TONTO' 2" CAL., 12' MIN, HT., 4' SPRD., STD. CABBAGE PALM (N) SABAL PALMETTO 15' CT., CLEAN STRAIGHT TRUNK, BOOTS REMOVED, REG HEADS. LIM MUSKOGEE CRAPE MYRTLI LAGERSTROEMIA INDICA 'MUSKOGEE 2" CAL., 12' MIN. HT., 4' SPRD., MULTI. TRUNK 8 CC JAMACIAN CAPER (N) CAPPARIS CYNOPHALLOPHORA 2" CAL., 12' MIN. HT., 4' SPRD., STD. SPR RELOCATED CABBAGE PALM SABAL PALMETTO REFER TO SHEET TR-1 FOR DETAILS SPE EXISTING CABBAGE PALM REFER TO SHEET TR-1 FOR DETAILS SABAL PALMETTO **EXISTING TREES** 

# **SHRUBS**

	51111	<u>000</u>			
0	CI	REDTIP COCOPLUM (N)	CHRYSOBALANUS ICACO	3 GAL., 36" MIN. HT., 24" MIN. SPRD., 24" O.C.	30
$\odot$	MF	SIMPSON STOPPER (N)	MYRCIANTHES FRAGRANS	3 GAL., 24" MIN. HT., 12" MIN. SPRD., 36" O.C.	81
$(\triangle)$	MF1	SIMPSON STOPPER (N)	MYRCIANTHES FRAGRANS	7 GAL., 60" MIN. HT., 30" MIN. SPRD., 36" O.C.	86
$\bigotimes$	PM	MAKI PODOCARPUS	PODOCARPUS MACROPHYLLUS	7 GAL., 48" MIN. HT., 12" MIN. SPRD., 30" O.C.	33
$\otimes$	PN	WILD COFFEE (N)	PSYCHOTRIA NERVOSA	3 GAL., 24" MIN. HT., 8" MIN. SPRD., 36" O.C.	72
$\bigcirc$	SR	ORANGE BIRD OF PARADISE	STRELITZIA REGINAE	3 GAL., 36" MIN. HT., 24" MIN. SPRD., 36" O.C.	6

# **GROUNDCOVER**

	01100	INDOOVEIX			
	AA	LILY OF THE NILE	AGAPANTHUS AFRICANUS	3 GAL., 12" MIN. HT., 12" SPRD., 24" O.C.	67
	AS	BUSH ALLAMANDA	ALLAMANDA SCHOTTII	3 GAL., 24" MIN. HT., 18" SPRD., 24" O.C.	182
	CM	EMERALD BLANKET	CARISSA MACROCARPA 'EMERALD BLANKET'	3 GAL., 7" MIN. HT., 14" SPRD., 30" O.C.	115
	EL	GOLDEN CREEPER (N)	ERNODEA LITTORALIS	1 GAL., 3" MIN. HT., 8" SPRD., 18" O.C.	95
$\nabla \nabla \nabla$	FM	GREEN ISLAND FICUS	FICUS MICROCARPA 'GREEN ISLAND'	3 GAL., 24" MIN. HT., 18" SPRD., 24" O.C.	250
+ + + +	IC	MAUI IXORA	IXORA COCCINEA	3 GAL., 24" MIN HT., 12" SPRD., 30" O.C.	182
00000	MC	MUHLY GRASS (N)	MUHLENBERGIA CAPILLARIS	3 GAL., 15" MIN. HT., 10" SPRD., 30" O.C.	355
<del>}</del>	ZP	COONTIE (N)	ZAMIA PUMILA	3 GAL., 15" MIN. HT, 10" SPRD., 30" O.C.	18
	TD	FAKAHATCHEE GRASS (N)	TRIPSACUM FLORIDANUM	3 GAL., 24" MIN. HT, 18" SPRD., 36" O.C.	96
	SOD	ST. AUGUSTINE GRASS	STENOTAPHRUM SECUNDATUM	SOLID SOD, CONTRACTOR TO VERIFY QTY.	

PASPALUM NOTATUM 'ARGENTINE'

# (N) = NATIVE SPECIES

\* \* BAHIA ARGENTINE BAHIA SOD

# NOTE:

- 1. PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.
- 2. IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.
- 3. ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER. ALL STORMWATER MANAGEMENT AREAS ARE TO BE MAINTAINED WITH PLANTED NATIVE VEGETATION, IN
- 4. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL, SUCH SYSTEM SHALL INCLUDE A RAIN SENOR.
- 5. CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.
- 6. THIS PLAN HAS BEEN DESIGNED TO MEET THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED 'PLANT THE RIGHT TREE IN THE RIGHT PLACE.' FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES.
- 7. ROOT BARRIER TO BE PROVIDED WITHIN 5' OF UTILITY PIPE, CURBS, PAVEMENT, FOUNDATIONS AND OTHER INFRASTRUCTURE.

# MURPHY EXPRESS GENERAL LANDSCAPE NOTES

- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION
- B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- C. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. CONTRACTOR IS TO VERIFY IF APPLICABLE THE LOCATION OF THE MASTER DEVELOPMENT IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- E. CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- F. ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY THE OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICH EVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE
  - SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.

- G. ALL PERMANENT TURF AREAS SHALL BE SOD.
- H. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- I. SEE DEVELOPMENT PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED

SOLID SOD, CONTRACTOR TO VERIFY QTY.

- J. SINGLE PROCESSED NON-CYPRESS HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE
- K. ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.
- L. ALL TREES SHALL BE PLANTED PER DETAILS, SHEET L5.0.
- M. GC SHALL INCORPORATE PRE-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN ALL MULCH AND PLANTING AREAS.
- N. IF A CONFLICT ARISES BETWEEN THESE AND THE GENERAL LANDSCAPE NOTES, THESE WILL
- O. GC SHALL INCORPORATE PRE-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN ALL MULCH AND PLANTING AREAS.



10-42-44-10-0-000-3020		
Х		
SERVICE STATION		
or (online row is not since of		
35'		
51,111 SQ. FT.	1.17 AC	
SQ. FT.	AC.	%
		13.1 54.2
16,705 SQ. FT.		32.7
51,111 SQ. FT.	1.17	100
MINIMUM	PROPOSED	
20%	32.6%	
SQ. FT.	AC.	%
6,680 SQ. FT.	0.15	13.1
27,726 SQ. FT.	0.64	54.2
34,406 SQ FT.	0.79	67.3
SQ. FT.	AC.	%
14,100 SQ. FT.	0.32	27.7
2,605 SQ. FT.	0.06	5
16,705 SQ. FT.	0.38	32.7 100
	15'	15'
	8	11
	REQUIRED	PROVIDE
	10'	10'
	7	7
	REQUIRED	PROVIDE
	10'	10'
		11
	11	9
	0	2
	MAX 30%	18%
	REQUIRED	PROVIDE
	10'	10'
	7	7
	-	5 2
	MAX 30%	29%
	REQUIRED	PROVIDE
	REQUIRED	PROPOSE
TS		2,257 SQ
22,527 SQ. FT.	2,252 SQ. FT.	FT.
	FT.	
	-	FT. 23
	FT. 23	23
	FT.	
	FT. 23 111 SQ. FT.	23 543 SQ. F
	FT. 23 111 SQ. FT.	23 543 SQ. F
	SERVICE STATION  CI (COMMERCIAL INTENSIVE)  35' 18.5' 1 1 1 51,111 SQ. FT. 6,680 SQ. FT. 27,726 SQ. FT. 16,705 SQ. FT. 51,111 SQ. FT.  MINIMUM 20%  SQ. FT. 6,680 SQ. FT. 34,406 SQ. FT. 27,726 SQ. FT.	GREENACRES MURPHY  18-42-44-10-0-000-5020  X  SERVICE STATION  CI (COMMERCIAL INTENSIVE)  35' 18.5' 1 1 1 51,111 SQ. FT. 1.17 AC  SQ. FT. 27,726 SQ. FT. 1.17  MINIMUM PROPOSED 20% 32.6%  SQ. FT. 4C. 6.680 SQ. FT. 1.17  MINIMUM PROPOSED 20% 32.6%  SQ. FT. 4.0.15 27,726 SQ. FT. 0.15 27,726 SQ. FT. 0.64 34,406 SQ FT. 0.79  SQ. FT. 4C. 14,100 SQ. FT. 0.32 2,605 SQ. FT. 0.06 16,705 SQ. FT. 0.06 16,705 SQ. FT. 0.38 51,111 SQ FT 1.17  SS REQUIRED  10' 7 REQUIRED  10' 11 11 0 MAX 30% REQUIRED



Danita R. Bryant, RLA LA6667318 Feb 27, 2025

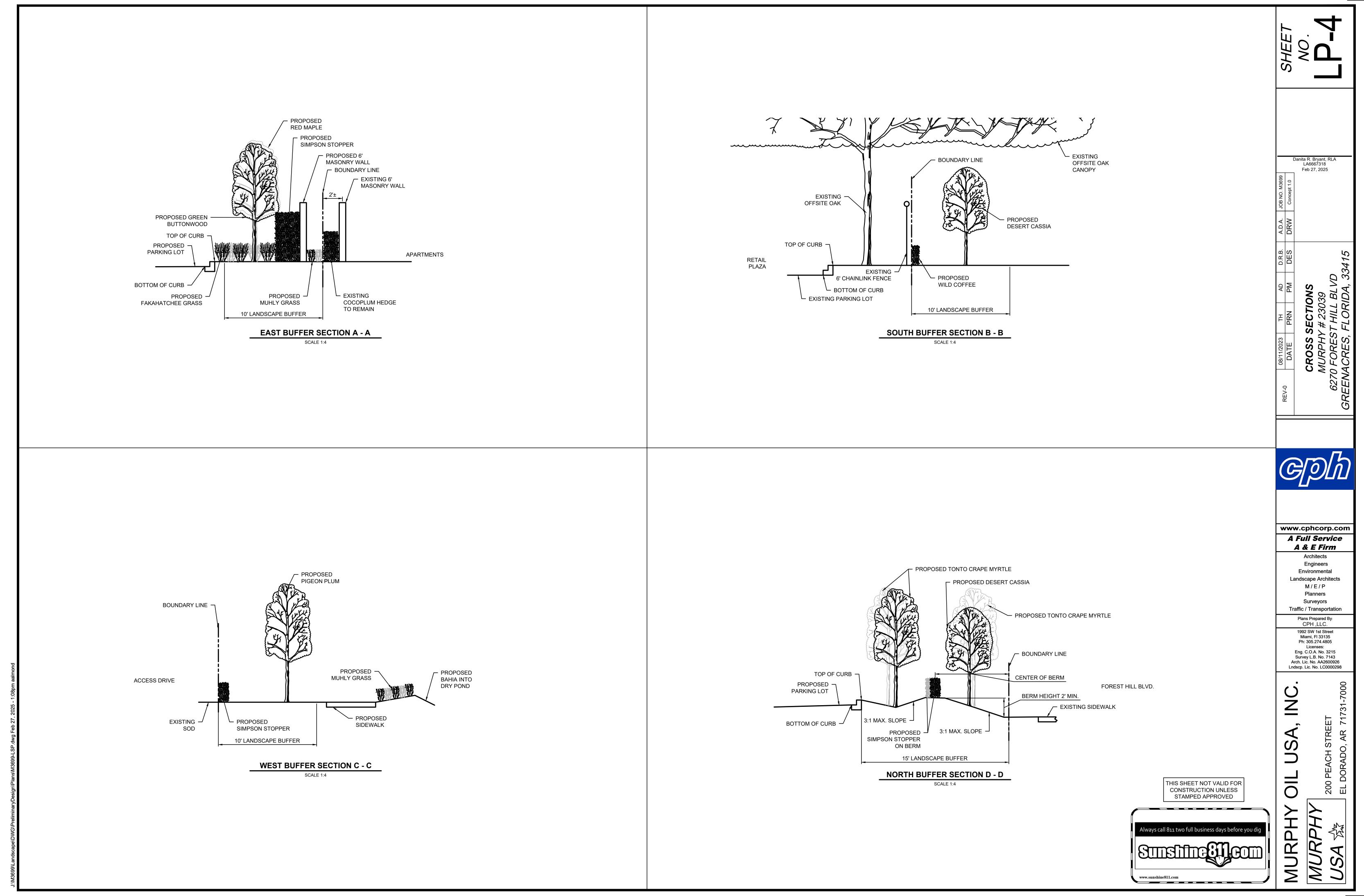
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Lndscp. Lic. No. LC0000298

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Item # 8.

Danita R. Bryant, RLA LA6667318 Feb 27, 2025

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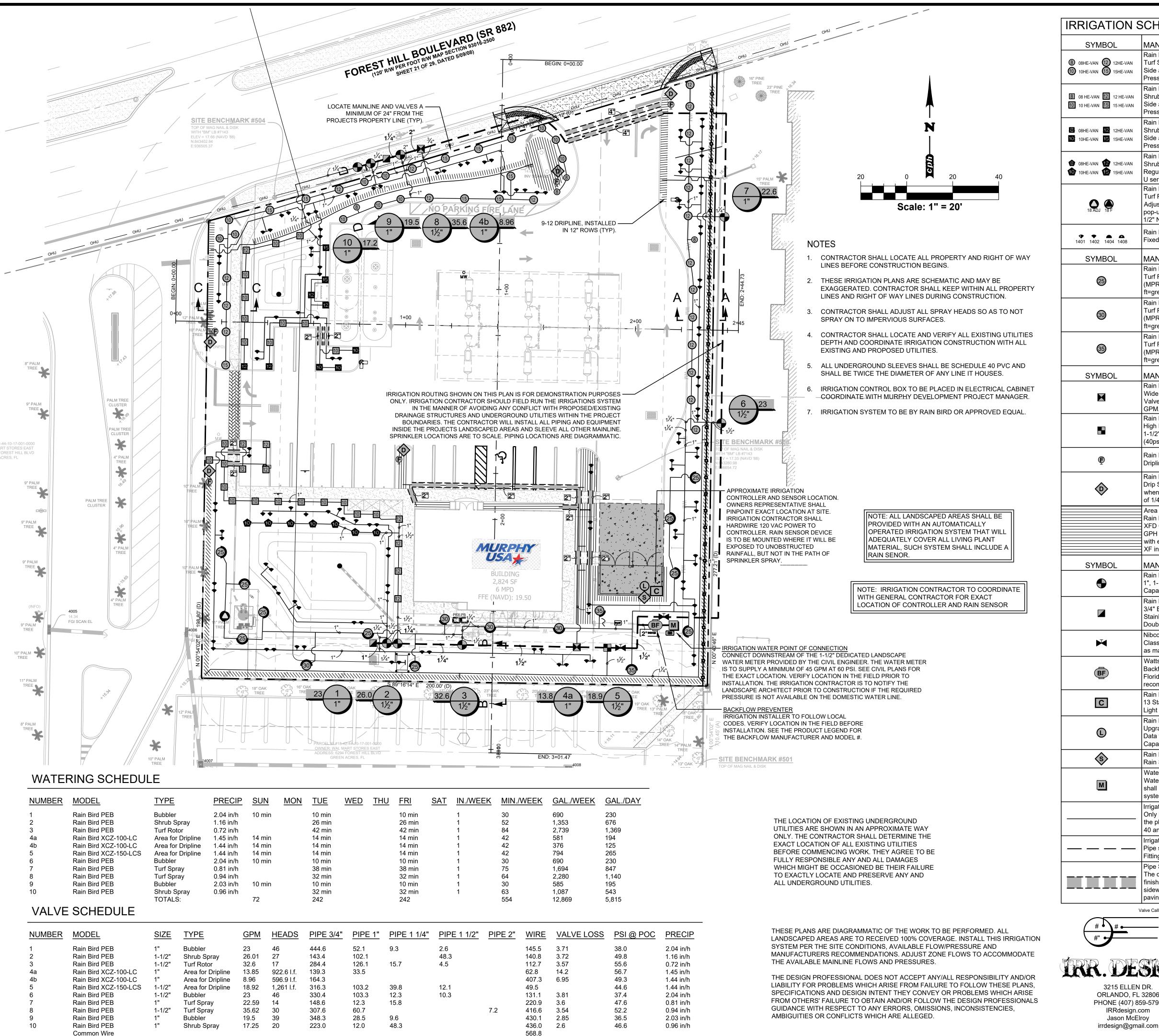
Planners

Surveyors

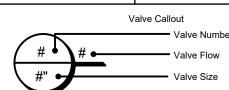
Traffic / Transportation Plans Prepared By

CPH LLC

1992 SW 1st Street Miami, FI 33135



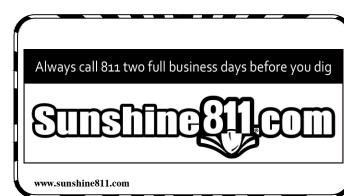
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	Rain Bird 1806-U-PRS HE-VAN Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	44	30	
8 08 HE-VAN 12 12 HE-VAN 10 10 HE-VAN 15 15 HE-VAN	Rain Bird 1806-PRS-U HE-VAN Series Shrub Spray, 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.  Rain Bird 1812-PRS-U HE-VAN Series	31	30	
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	Shrub Spray, 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.  Rain Bird PA-8S-PRS-U HE-VAN Series	9	30	
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	Shrub Spray on fixed riser with the PA-8S-PRS 30 psi Pressure Regulating Shrub Adapter. Use with 1/2in. MPT threaded risers. U series nozzles.	7	30	
18 ADJ 18 F	Rain Bird R-VAN18 1806-SAM-P45 Turf Rotary, 13`-18` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	1	35	
<b>♦ ♦ 1401</b> 1402 1404 1408	Rain Bird 1800-1400 Flood 1401 Fixed flow rate (0.25-2.0GPM), full circle bubbler, 1/2" FIPT.	131	20	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	RADIU
<b>2</b> 5	Rain Bird 5006-PC,FC-MPR 25 Turf Rotor, 6" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige.	10	35	24'
30	Rain Bird 5006-PC,FC-MPR 30 Turf Rotor, 6" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige.	4	35	30'
35)	Rain Bird 5006-PC,FC-MPR 35 Turf Rotor, 6" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige.	2	35	34'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION Rain Bird XCZ-100-LC	QTY		
×	Wide Flow Drip Control Kit, for Light Commercial Uses. 1in. PEB Valve, with 1in. Pressure Regulating 40psi Basket Filter. 0.3-20 GPM.	2		
•	Rain Bird XCZ-150-LCS High Flow Control Zone Kit, for Large Commercial Drip Zones. 1-1/2" PEB Globe Valve with single 1-1/2" Pressure Regulating (40psi) Quick-Check Basket Filters. Flow range: 15-62gpm.	1		
<b>(</b>	Rain Bird MDCFCAP Dripline Flush Valve cap in compression fitting coupler.	5		
<b>©</b>	Rain Bird OPERIND Drip System Operation Indicator, stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi. Includes 16" of 1/4" distribution tubing with connection fitting pre-installed.	5		
	Area to Receive Dripline Rain Bird XFD-09-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	2,780 s.f.		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY		
•	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.  Rain Bird 33-DLRC	8		
	3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.  Nibco T-113-K	2		
<b>M</b>	Class 125 bronze gate shut off valve with cross handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"  Watts 919QT 2"	2		
BF	Backflow reduced pressure zone - Installation by a licensed Florida Plumbing Contractor in accordance with Manufacturer`s recommendations and all federal, state and local codes.	1		
С	Rain Bird ESP4ME3 with (3) ESP-SM3 13 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready.	1		
<b>(</b>	Rain Bird LNK2WIFI Upgrades controllers (ESP-M, ESP-RZXe, ST8) to Have Weather Data for ET-Based Adjustments (WaterSense Approved) & WiFi Capabilities -	1		
\$	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	1		
М	Water Meter 1-1/2" Water meter requires 45 GPM @ 60 PSI. Irrigation contractor shall be responsible to verify the sources ability to service the systems requirements at site before starting construction.  Irrigation Lateral Line: PVC Class 200 SDR 21 Only lateral transition pine sizes 1" and above are indicated on	1		
	Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4" in size. Fittings shall be SCH 40 and molded. Install 12" below final grade.  Irrigation Mainline: PVC Class 200 SDR 21	3,720 l.f.		
	Irrigation Mainline: PVC Class 200 SDR 21 Pipe sizes 3" inch or smaller shall have bell and socket joints. Fittings shall be SCH 40 and molded. Install 18" below grade.  Pipe Sleeve: PVC Schedule 40	568.8 l.f.		
	The depth of the sleeves shall be a minimum 30" cover from finished grade under roadway crossings and 24" under all sidewalks and hardscapes. Extend sleeves 18" beyond edges of paving or construction, mark both ends with a 3" "V" in pavement.	218.7 l.f.		



# IRR. DESIGN

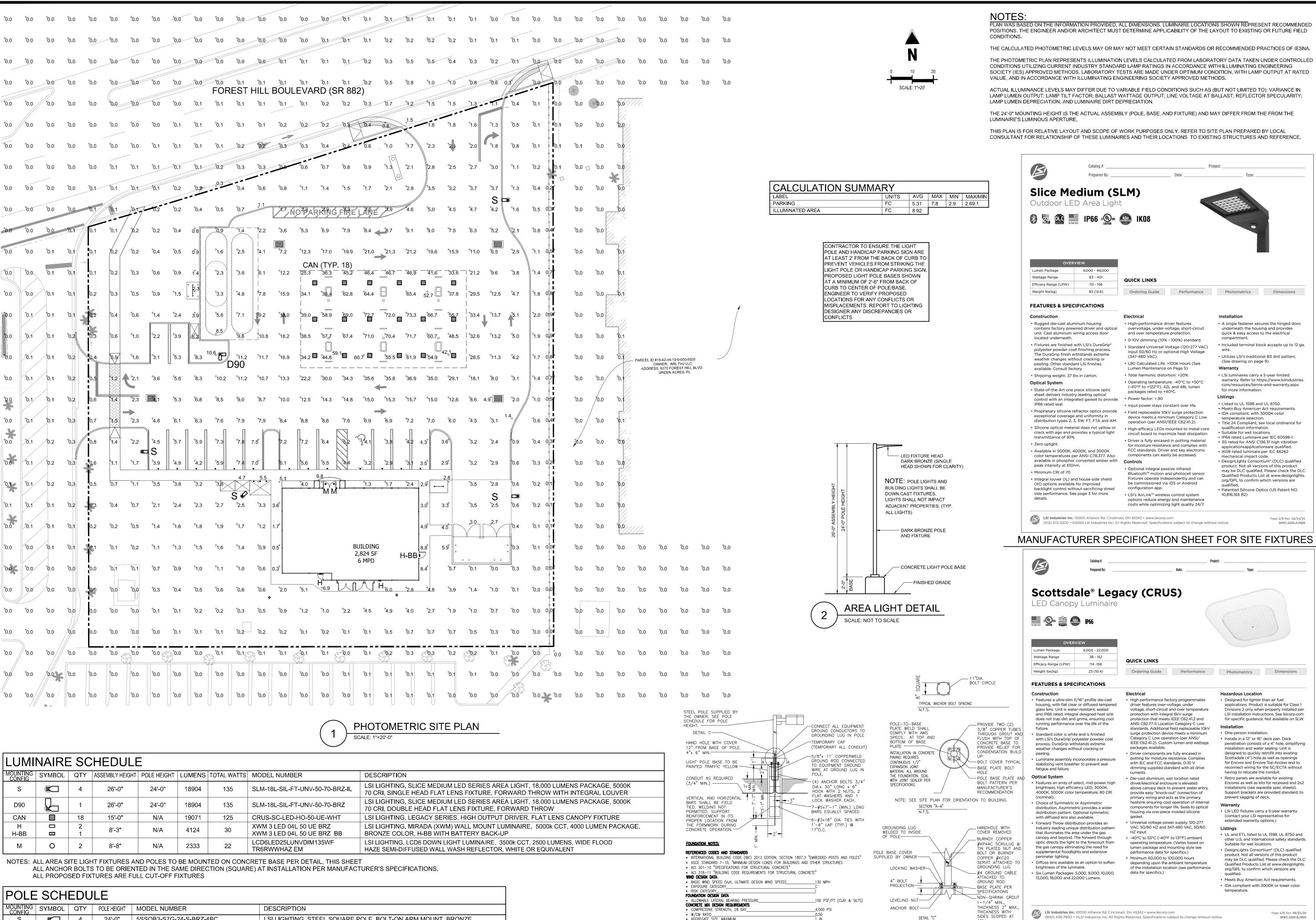
3215 ELLEN DR. ORLANDO, FL 32806 PHONE (407) 859-5790 IRRdesign.com Jason McElroy

THIS SHEET NOT VALID FOR CONSTRUCTION UNLESS STAMPED APPROVED



Ph: 305.274.4805 Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 S **=** MURP

Page 120



AIR CONTENT RANGE

TYPICAL LIGHT POLE BASE DETAIL

24'-0"

4

5SSQB3-S7G-24-S-BRZ-4BC

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL. THIS SHEET, POLES RATED TO 130 MPH WIND VELOCITY

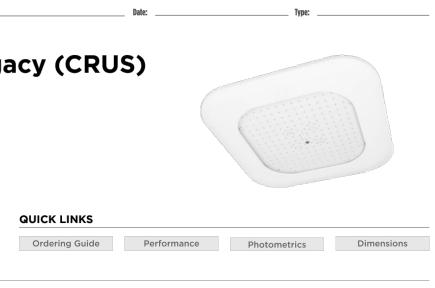
24'-0" | 5SSQB3-S7G-24-D90-BRZ-4BC

LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

0 O

# MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURES



**Hazardous Location**  Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See Isicorp.com for specific guidance. Not available on SLW.

Page 1/9 Rev. 12/14/21

· One-person installation. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying nstallation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without

having to relocate the conduit. Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

 LSI LED fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

· UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights. org/QPL to confirm which versions are

· Meets Buy American Act requirements. • IDA compliant with 3000K or lower color

Page 1/5 Rev. 09/21/22

**PHOTOMETRIC** 

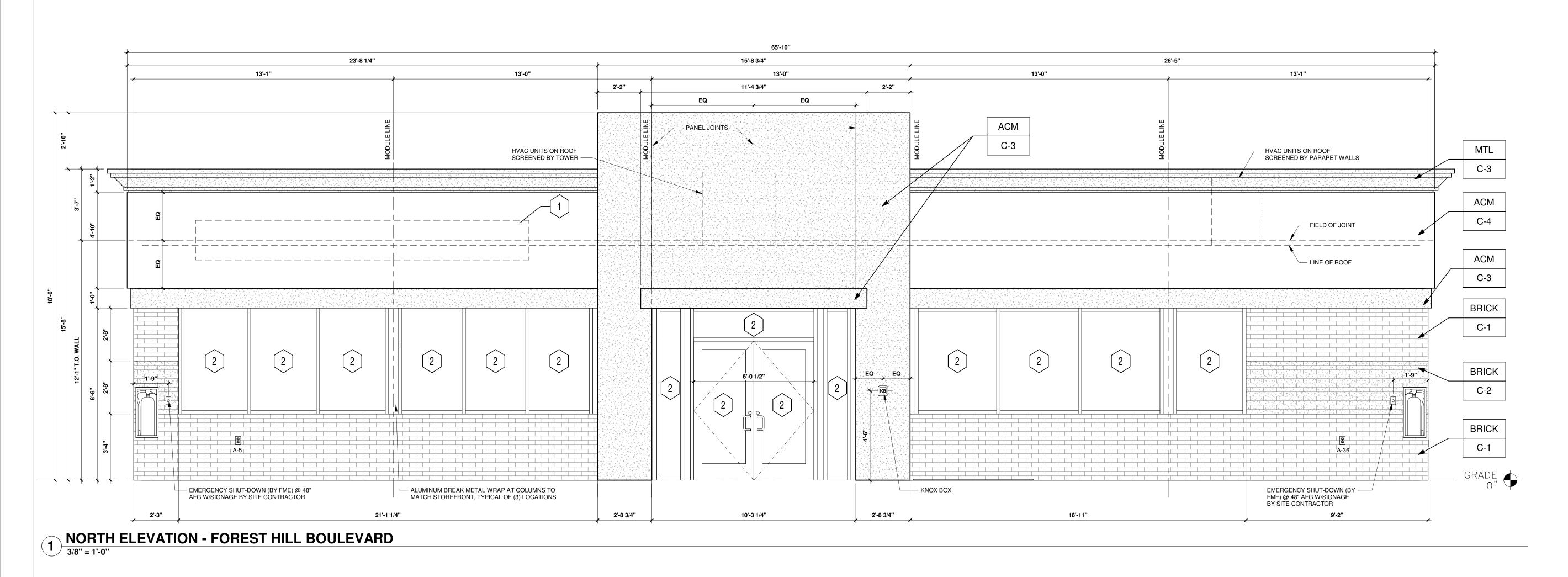
SITE PLAN

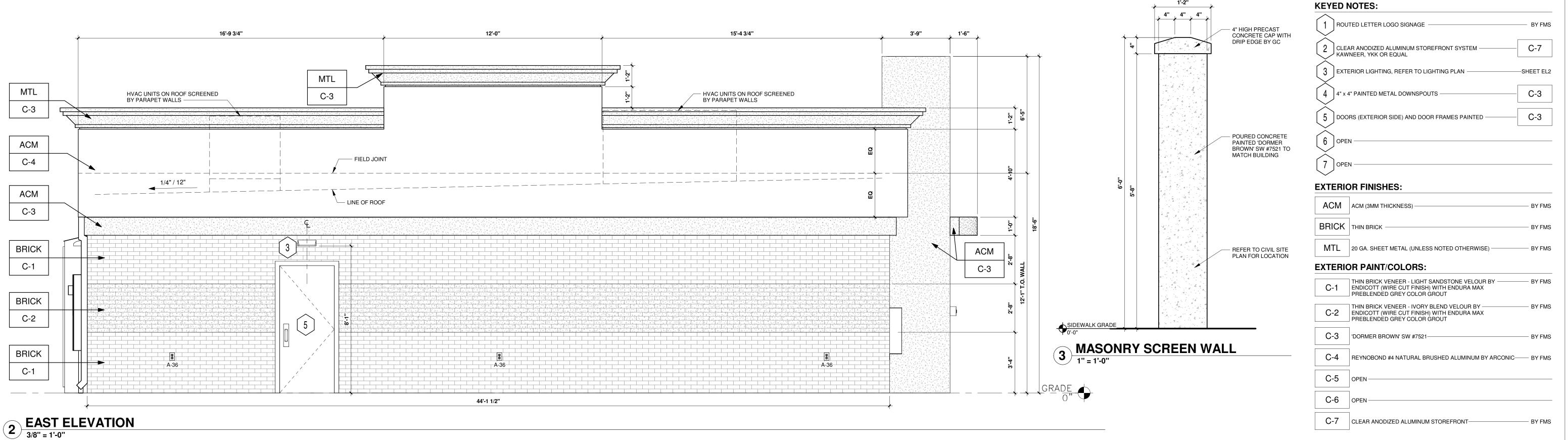
heet Scale:

MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE 

1"=20'-

November, 2





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PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

PROJECT MANAGER

QUALITY CONTROL CHRIS CERBO DRAWN BY

PROJECT NAME

CONVENIENCE **STORE** 

6270 FOREST HILL BLVD, **GREENACRES** FLORIDA 33145



1801 Rockdale Industrial Blvd. Conyers, Georgia 30012 Voice: (800) 366-6385

Fax: (770) 483-6037 FMS JOB NUMBER G25MU00042 FMS MODEL NUMBER

XXXXXX PROJECT NUMBER

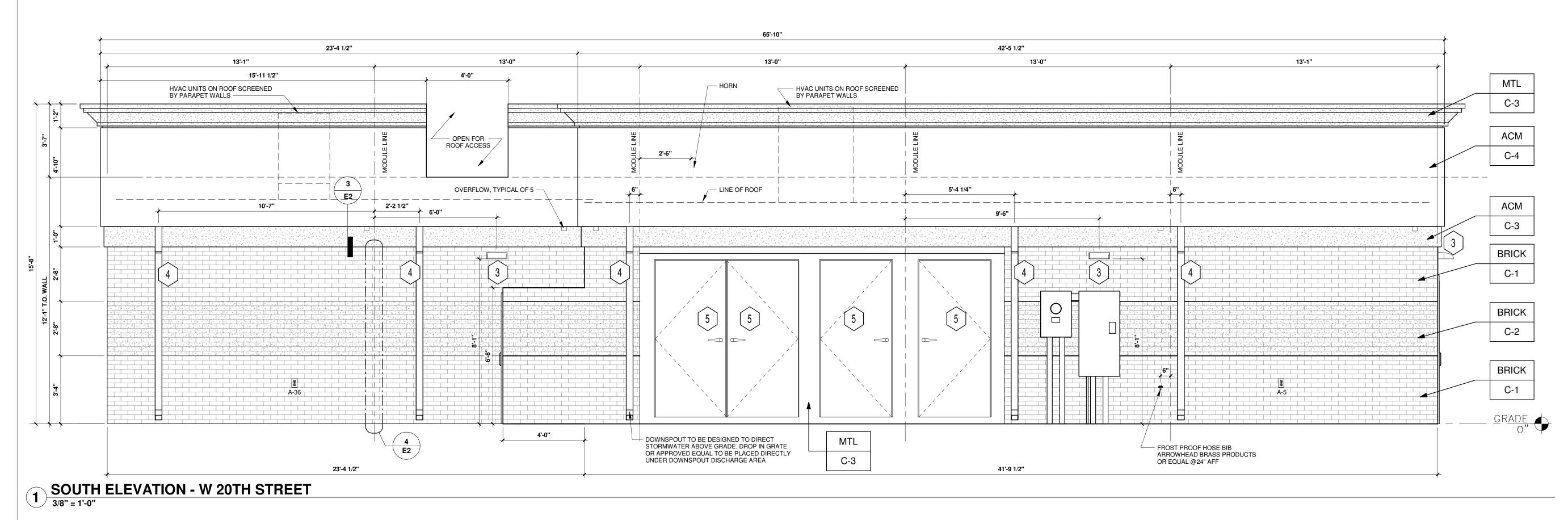
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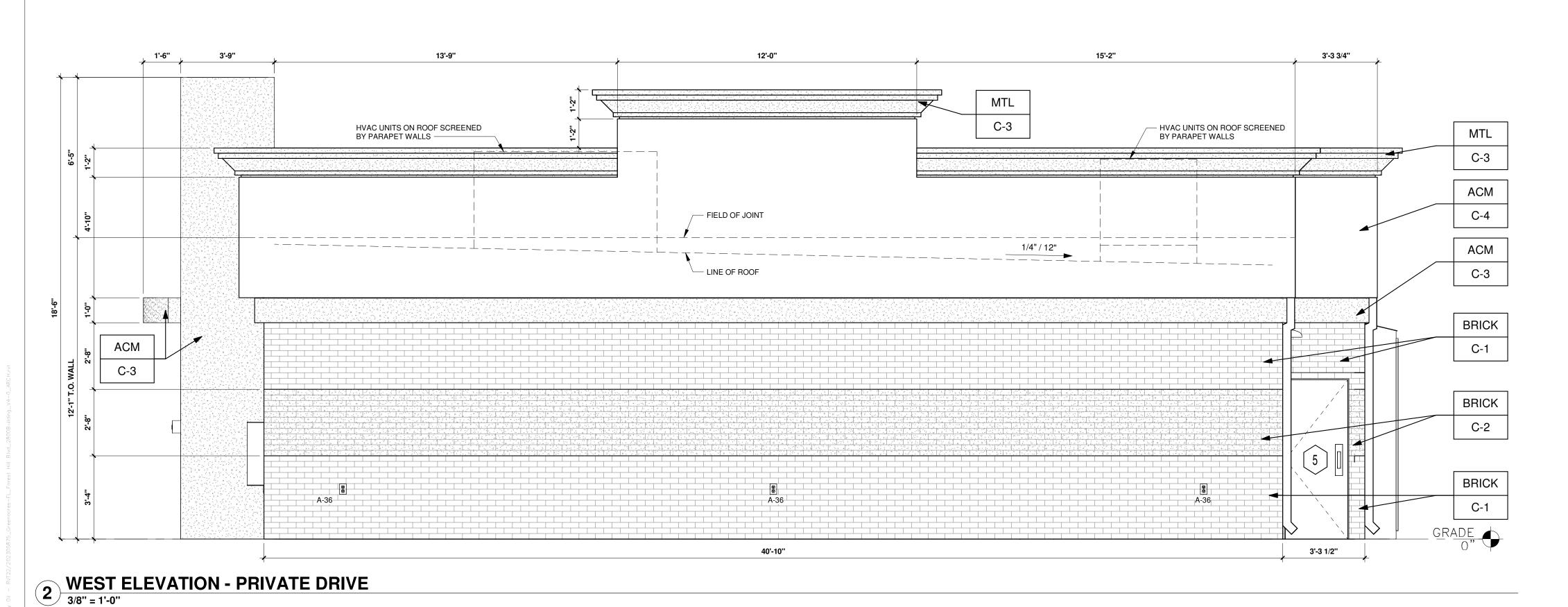
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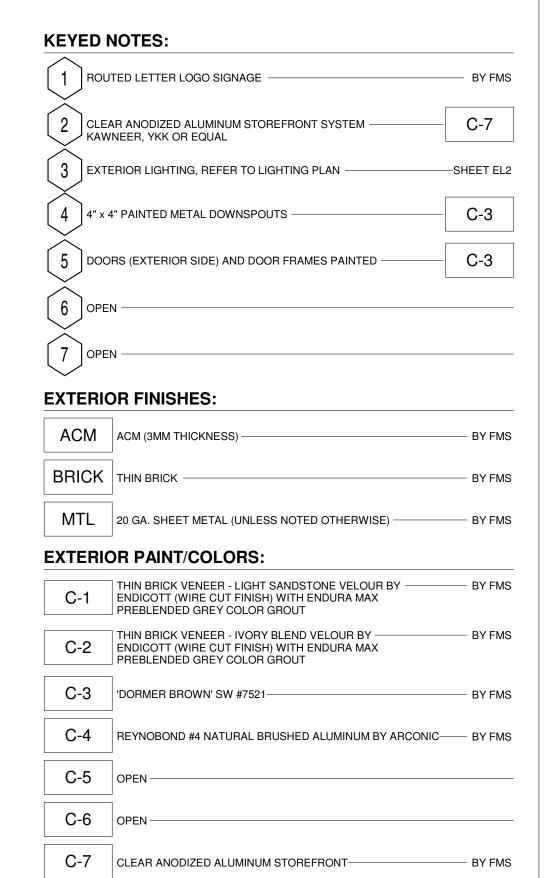
**ARCHITECTURAL ELEVATIONS** (BUILDING)

SHEET NUMBER

PROTO V4.0 06/28<u>/2024</u>







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PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

PROJECT MANAGER

QUALITY CONTROL CHRIS CERBO

DRAWN BY

PROJECT NAME

**CONVENIENCE STORE** 

6270 FOREST HILL BLVD, **GREENACRES** FLORIDA 33145



Conyers, Georgia 30012

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FMS MODEL NUMBER XXXXXX

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**ARCHITECTURAL ELEVATIONS** (BUILDING)

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PROFESSIONAL IN CHARGE

PROJECT MANAGER BEATA KLAK

QUALITY CONTROL CHRIS CERBO

DRAWN BY

PROJECT NAME

**FUEL FACILITY CANOPY** 

6270 FOREST HILL BVLD, **GREENACRES** FLORIDA 33145



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FMS MODEL NUMBER XXXXXX

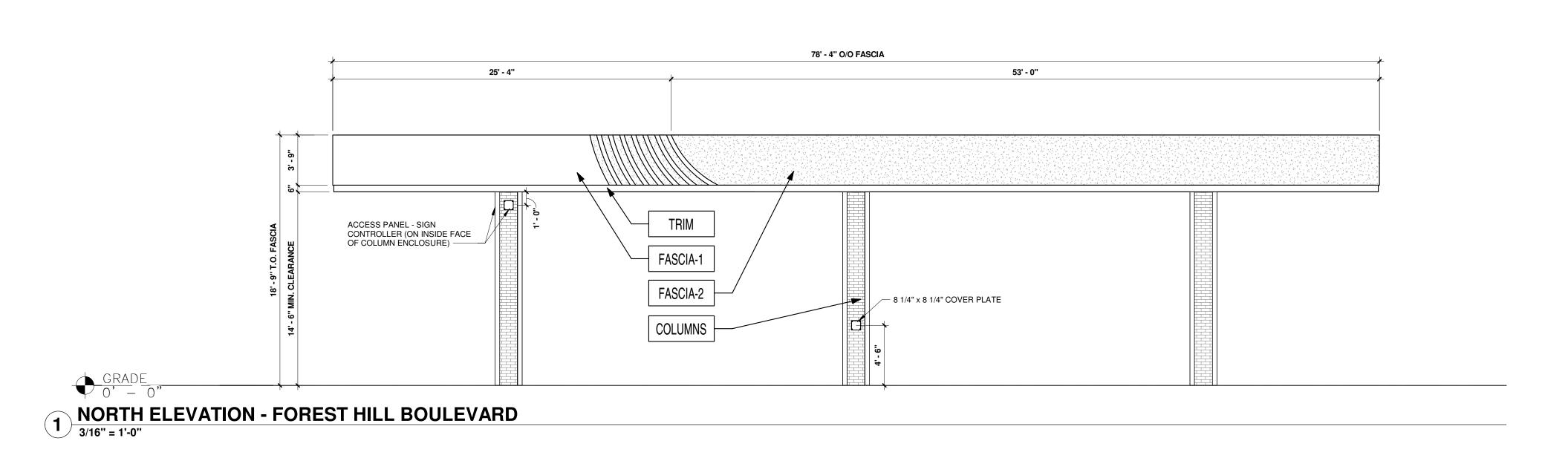
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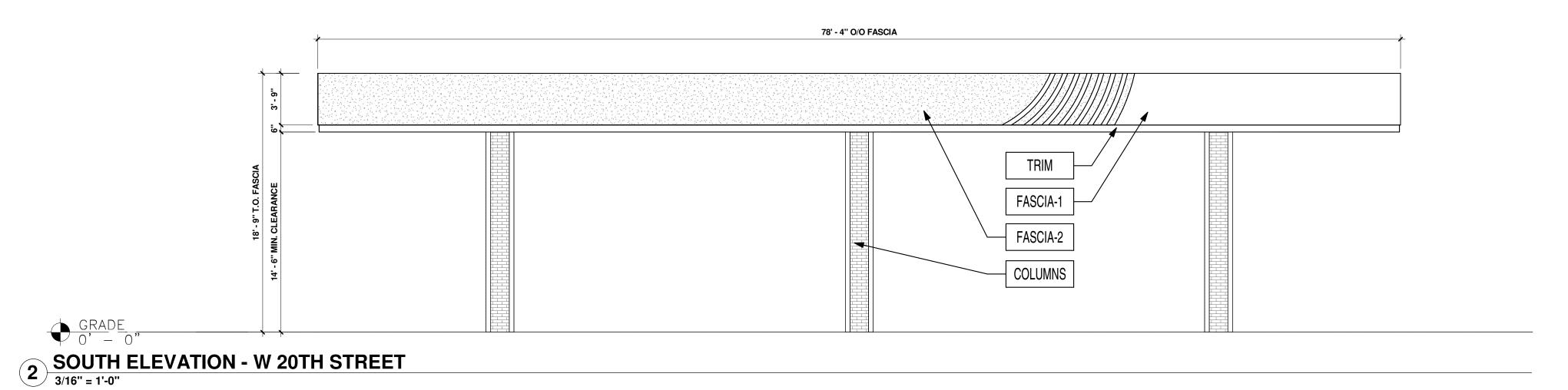
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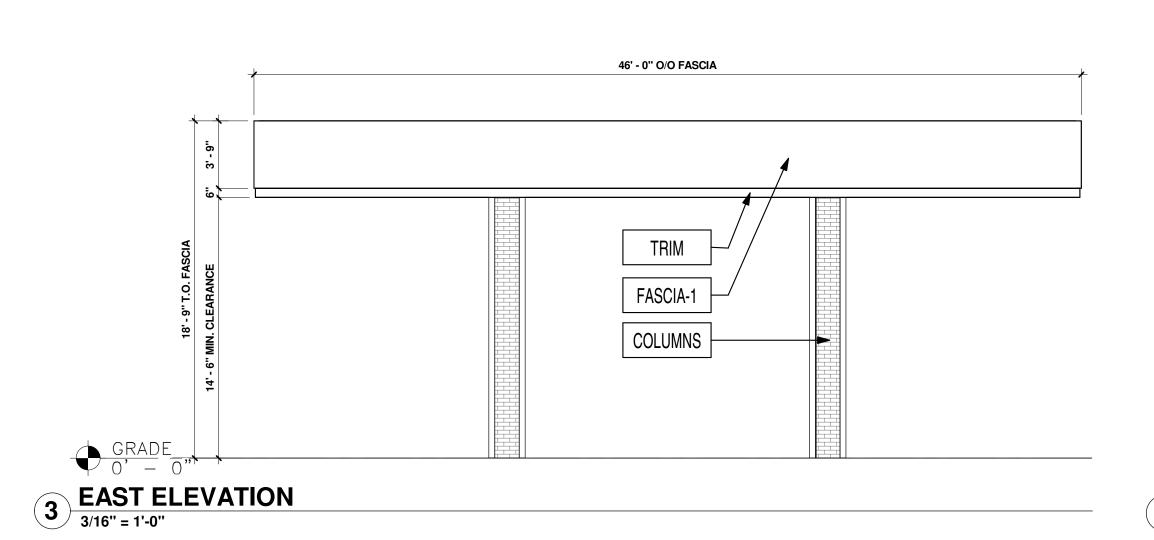
**ARCHITECTURAL ELEVATIONS** (CANOPY)

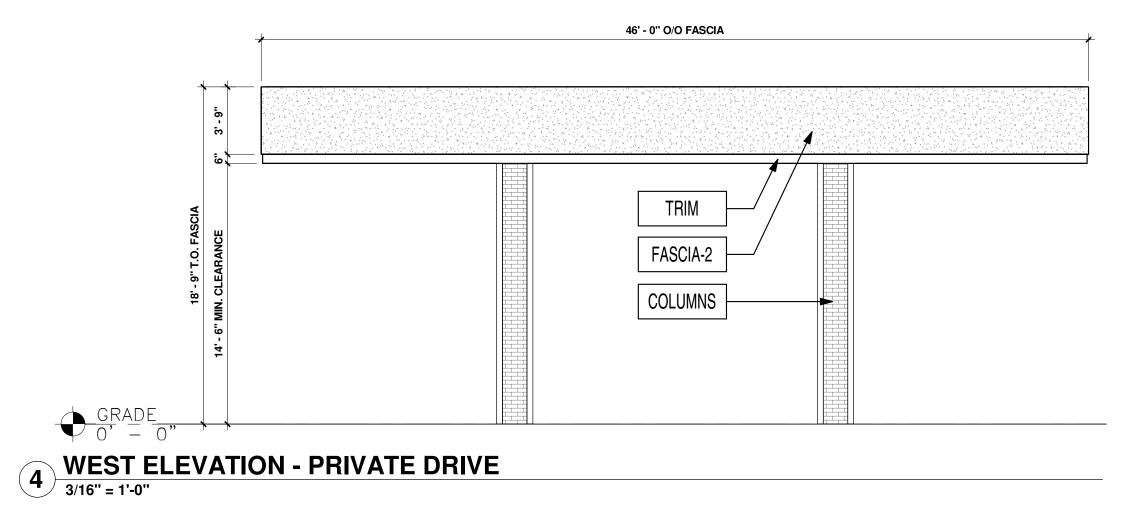
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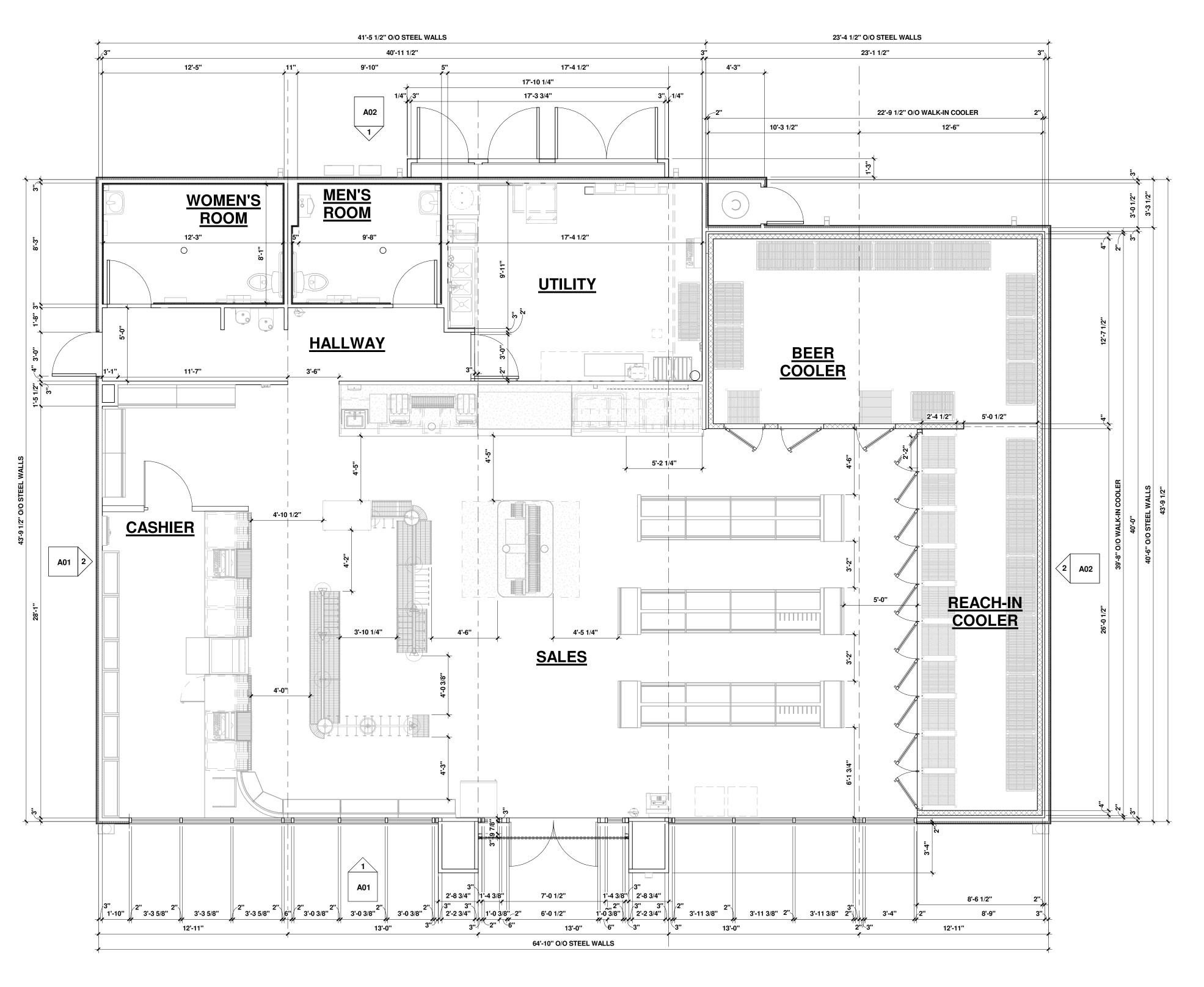
FINISH SCHEDULE FASCIA-1 ACM (ALUMINUM COMPOSITE MATERIAL) ACM FASCIA "BRUSHED ALUMINUM" BY ARCONIC FURNISHED & INSTALLED BY FMS FASCIA-2 ACM (ALUMINUM COMPOSITE MATERIAL) ACM FASCIA "DORMER BROWN" SW #7521 FURNISHED & INSTALLED BY FMS TRIM 20 GA. SHEET METAL 6" HT PRE-FINISHED METAL ACCENT BAND FURNISHED & INSTALLED BY FMS COLUMNS THIN BRICK VENEER 'LIGHT SANDSTONE VELOUR' BY ENDICOTT FURNISHED & INSTALLED BY FMS











1 FLOOR PLAN
1/4" = 1'-0"

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PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

PROJECT MANAGER BEATA KLAK

QUALITY CONTROL CHRIS CERBO

DRAWN BY

DRO LEGT N

PROJECT NAME



STORE 6270 FOREST HILL BLVD, GREENACRES

FLORIDA 33145



Conyers, Georgia 3001 Voice: (800) 366-6385 Fax: (770) 483-6037 FMS JOB NUMBER

FMS JOB NUMBER G25MU00042 FMS MODEL NUMBER

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PROJECT NUM

PROJECT NUMBER 20230587.5

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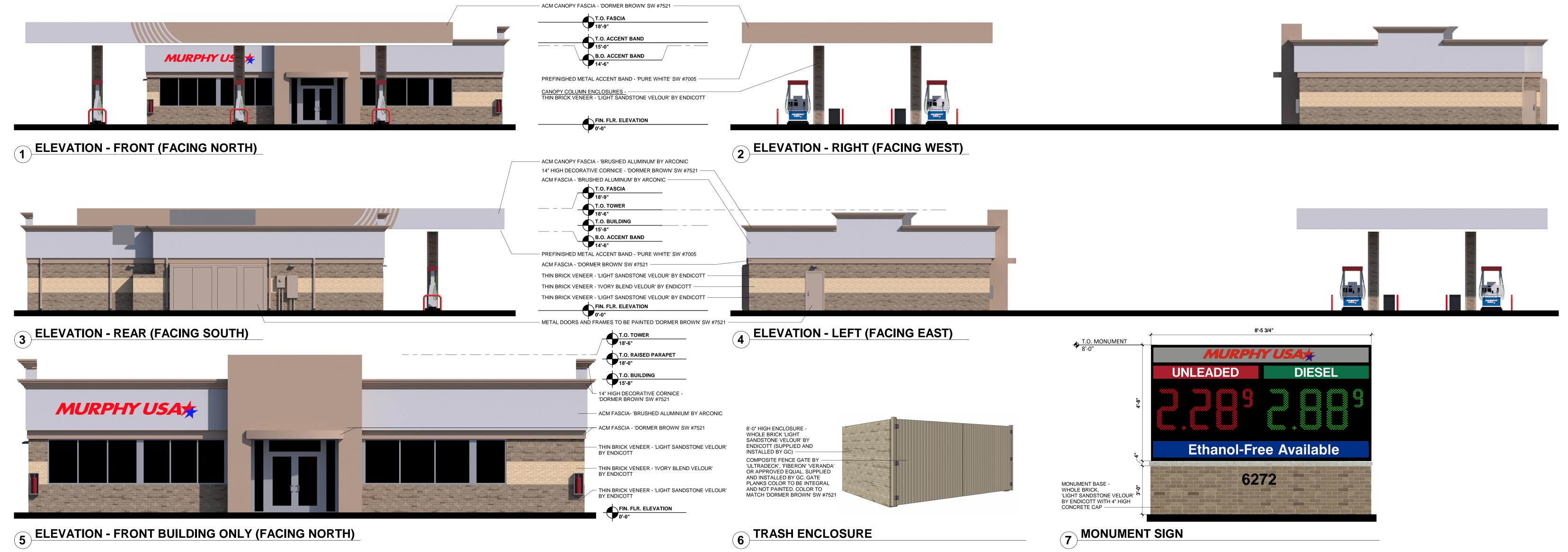
**FLOOR PLAN** 

SHEET NUMBER

**A04** 

PROTO V4.0 06/28/2024
2800 SQ. FT. BUILDIN Page 125







BUILDING - ROUTE INSTALLED BY FM		URNIS	SHED AND		
	BLUE	PANT	MAN BLUE, ONE 287 BLUE 330-87 ROYAL BLUE		
MURPHY USA	RED	RED PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED			
	WHITE	EAST	MAN WHITE		
MONUMENT - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR					
	BLUE		3M 3632-157		
MURPHY USA	RED		3M 3632-43		
STAR LOGO	SILVE	ĒR	3M 3630-121		
	CABI	NET	BLACK		
UNLEADED	RED		3M 3632-73		
	WHIT	Έ	3M 3632-20		
	DIGIT	-	RED/WHITE		
	CABI	NET	BLACK		
DIESEL	GREE	ΞN	3M 3632-26		
	WHIT	Έ	3M 3632-20		
	DIGIT	-	GREEN/WHITE		
	CABI	NET	BLACK		
ETHANOL FREE	BLUE		3M 3632-157		
	WHIT	Έ	3M 3632-20		
	DIGIT	•	BLUE/WHITE		
	_				

BUILDING & CANOPY SIGNS:	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.	
MURPHY USA BLDG. LOGO SIGN	1	GRAPH	IC AREA	33.54	33.54	
	BUILD	ING & CANOP	Y SIGNS TOTA	L SIGNAGE :	33.54 S.F.	
MONUMENT SIGN:						
LOGO / UNL / DSL / ETHANOL - FREE AVAILABLE	1	56.00"	101.75"	39.57	39.57	
MONUMENT SIGNS TOTAL SIGNAGE: 39.57 S.F.						
TOTAL SIGN AREA: 73.11 S					73.11 S.F.	







# **Department Report**

**MEETING DATE:** April 21, 2025

FROM: Michele Thompson, Director, Community & Recreation Services

SUBJECT: Community & Recreation Services Dept. – March Report

### **ADMINISTRATION**

PERFORMANCE MEASUREMENT	THIS PERIOD	FY 2025 TO DATE	FY 2025 BUDGET			
No. of Contracts Executed/Renewed	1	1	4			
No. of Collaborative Partnerships	3	42	40			
No. of Vendor/Independent Contractor Agreements	20	60	55			
No. of Educational Scholarship Applications R'cd	4	4	21			
No. of Community Events Coordinated	1	4	9			
No. of Event Participants	3,000	13,601	42,000			
No. of Little Free Libraries (LFL)*/ # Replacement Units / Story Walk Boards	#1/2	2/6	30/2			
No. of Business Sponsorships	1	10	20			
No. of Schools/Attendance for "Read for the Record"	-	16/1,625	16/1,500			

### **FACILITY RENTALS**

FACILITY RENTALS	THIS PERIOD	FY 2025 TO DATE	FY 2025 BUDGET
Fields/Concession Stands	61	439	800
Pavilions	34	175	520
Center Facility	64	3481	800
Monthly Center Attendance	3,514	24,237	4500

129¹ Additional Free Rentals: 53 Gym: YP/Open Gym/Bball League; 6 Banquet Hall: Ballroom/ PBSO; 20 Room 1: OAP; 2 Room 2: Spotlighters; 1 Room 3: AARP; 13 Room 4: ESOL/MHFA Training; 13 Comm. Park: PB Square Dance; 21 Freedom Park: Tai Chi

# **REVENUE**

FACILITY RENTALS REVENUE	THIS	FY 2025 TO	FY 2025
	PERIOD	DATE	PROJECTED
Total Rental Revenue Generated	\$16,479.50	\$92,179.19	\$182,155

# **ATHLETICS**

YOUTH ATHLETICS	THIS PERIOD	FY 2025 TO DATE	FY 2025 PROJECTED
FY25 Co-ed Fall Soccer (10/10/24-12/6/24)			
<ul> <li>Registration Period 8/1/24 – 9/20/24</li> </ul>	-	300	220
FY25 Co-ed Spring Soccer (3/6/25-5/16/25)			
<ul> <li>Registration Period 1/2/25 – 2/21/25</li> </ul>	26	287	280
FY25 Co-ed Winter Basketball (12/2/24-3/7/25)			
<ul> <li>Registration Period 9/3/24 – 11/2/24</li> </ul>	-	157	160
Co-ed Summer Basketball Skills Camp			
<ul> <li>Camp Week: 7/21/25 – 7/24/25</li> <li>Registration Period 5/19/25 – 6/30/25</li> </ul>	•	•	40

FOOD DISTRIBUTION	NO. SERVED
PBSO & Restoration Bridge – TBD	-

# **OLDER ADULT PROGRAMS**

SOCIAL ACTIVITIES	PARTNERS/SPONSORS	NO. OF PARTICIPANTS YTD
Daily Meal Program; Zumba Games/Bingo; Special Events; Educational Sessions	CanoHealth; Golden Friends; Firebush; Flipany; Sr, Dedicated Med. Ctr.; HealthSun; WellCare; Zumba	888
Mon Fri. (5 x 27)		

# **FY25 EVENTS & SPONSORSHIPS**

EVENTS	SPONSORS/PARTNERS	FY 2025 EXPENSE	FY 2025 ACTUAL	FY2025 ATTENDEES
Trunk or Treat	PBSO	N/A	N/A	4,500
Holiday in the Park (12/14/24)	FL Blue; WM; Renaissance Charter School (Wellington); Rosenthal, Levy, Simon & Sosa; PBSO	\$35,713	\$31,474	5,000
Fiesta de Pueblo (1/11/25)	Executed by Fiesta de Pueblo, Inc.	\$4,115	\$2,003	6,000
Daddy Daughter Dance (2/8/25)	N/A	\$5,619	\$2,515	101
Egg'stravaganza (4/19/25)	State Farm – Lily Vasconcelos; FL Blue	\$23,855	\$-	
Rock-n-Roll Sunday/FR Chili Cook-Off (3/2/25)	Coordinated w/ the Nam Knights Motorcycle Club of PBC	\$7,424	CRS \$3,131	3,000
Ignite the Night (7/4/25)	FPL – Kidz Zone Sponsor	\$81,219	\$-	
Back2School Supply Distribution		\$8,159	<b>\$</b> -	
(7/25/25) Senior Resource Fair (9/27/25)		\$500	<b>\$</b> -	
Sunday Sounds (9/28/25)		\$5,657		

FY25 Event Actuals = Direct + In-direct – Event Sponsors & Revenues



# **Department Report**

**MEETING DATE:** March 17, 2025

**FROM:** Denise Malone, AICP, Development & Neighborhood Services Director

**SUBJECT:** March 1, 2025, through March 31, 2025

# **Development & Neighborhood Services Department**

# My Government Online Software (MGO)

Implementation of new software online platform to replace New World and Energov for permitting, business tax receipts, contractor licensing, planning and zoning, and code enforcement. Staff continues working with MGO on workflow system mapping in preparation for module configurations.

# Planning, GIS & Engineering Division

### **NEW CASES**

# TU-2025-1358 – El Rey Del Taco

A request by Alan Casarrubias on behalf of El Rey Del Taco, for a temporary use permit to allow for two (2) storage containers at the rear of their business parking lot, while they expand/remodel the restaurant, at 5283 Lake Worth Road. This Temporary Use Permit is tied to Building Permit # 2024-00000488. All storage containers will be removed after completion of project. (Under staff review).

# **CURRENT PLANNING CASES**

Astoria Townhomes – 6240 Dodd Road and adjacent vacant parcel (CPA-23-04), (ZC-23-02), (SP-23-06), (BA-23-07), (PLT-24-02), and (MSP-24-02)

A request for a Future Land Use Map Amendment (CPA-23-04) from Residential Medium Density and Commercial to Residential High Density; a Rezoning (ZC-23-02) from Residential Medium Density and Commercial General to Residential High Density; Site and Development Plans (SP-23-06) including a Master Sign Plan (MSP-24-02) to construct a townhouse development of 60 units configured as 6-unit buildings; and a Variance (BA-23-07) from the minimum side yard setback of 20 ft. between end units, with the Variance approved by PZBA on August 8, 2024. The (CPA-23-04) and (ZC-23-02) were approved at the October 7, 2024, City Council Meeting. The Preliminary Plat (PLT-24-02) submittal was received on September 30, 2024, with initial comments provided on October 28, 2024, resubmittal received

December 4, 2024; comments were provided December 20, 2024, resubmittal received January 20, 2025, comments were provided January 28, 2025, resubmittal received February 7, 2025, and the plat was certified as sufficient by the City Engineer & City Surveyor on February 20, 2025. (Preliminary Plat, Site Plan, and Master Sign Plan was approved at City Council on March 3, 2025.)

# **Barclay Square – 2902-2994 Jog Road (MSP-24-08)**

A request for a Master Sign Plan (MSP-24-08) for the Barclay Square Plaza. (Sufficiency comments sent to applicant on December 9, 2024; follow up email sent on February 27, 2025; awaiting applicant's response to comments and resubmittal).

# Bethesda Tabernacle – 4901 Lake Worth Road (SP-99-04C) and (SE-23-01)

A request for Site and Development Plan (SP-99-04C) approval on a vacant parcel to modify the previously approved site plan and a Special Exception (SE-23-01) to develop a 28,930 sf House of Worship and accessory uses. (Resubmittal received on March 15, 2025, resubmittal comments sent to applicant on April 18, 2024; meeting with applicant was held on May 3, 2024; resubmittal received on February 14, 2025, comments were provided on March 25, 2025, and we are awaiting the resubmittal).

# **Buttonwood Plaza – 3016-3094 Jog Road (MSP-24-07)**

A request for a Master Sign Plan (MSP-24-07) for the Buttonwood Plaza. (Sufficiency comments sent to applicant on December 9, 2024; follow up email sent on February 27, 2025; awaiting applicant's response to comments and resubmittal

# C&C Legacy Plaza – 3494 South Jog Road (SP-24-01), (BA-24-01), (MSP-24-03) and (PLT-24-01)

A request for Site and Development Plans (SP-24-01) approval on a vacant parcel to construct a 2,598 sf one story office building and a two-story townhouse building with three townhouses; a Variance (BA-24-01) from the landscape code requirements for a one-story office building and a two-story townhouse building with three townhouses; and a Master Sign Plan (MSP-24-03; and a Plat (PLT-24-01). PZB approved the Variance request (BA-24-01) on August 8, 2024. The Site and Development Plans and Master Sign Plan were approved by City Council on September 16, 2024. Sufficiency letter was sent for the Plat (PLT-24-01) on September 12, 2024; resubmittal received October 30, 2024, comments provided November 18, 2024; resubmittal received February 3, 2025, comments were provided February 14, 2025; Resubmittal received March 14, 2025, and the plat was certified as sufficient by the City Engineer & City Surveyor on March 25, 2025. (Scheduled for April 7, 2025, City Council meeting.)

# City-initiated Chickasaw and Wry Roads Annexations (ANX-24-01), (CPA-24-05), and ZC-24-05)

Annexation of an enclave located on Chickasaw and Wry Road into the City through an Interlocal Agreement with Palm Beach County. A Future Land Use map amendment and Rezoning for the sixteen parcels that will be annexed into the City will be processed concurrently through the City. The properties are located on the north side of Chickasaw and along Wry Road. (Staff is processing the necessary documentation to provide to Palm Beach County for review/approval as an enclave annexation. On November 20, 2024, the Draft Interlocal Agreement was sent to Palm Beach County for review. On December 16, 2024, Palm Beach County provided

comments that are under review by legal and staff. January 2025, revisions were approved by legal. February 2025, coordination with legal documents for notice of letters currently underway, once completed, the official packet will be sent to PBC for further notice and processing. In addition, per 197.3632, Florida Statutes, subsection (4)(a)(3), and legal's recommendation, a letter will need to be sent to each property owner to be annexed for notification, and also send a letter to request written consent for the solid waste assessment. Coordination with legal will continue to ensure documents and process are met.)

# Garden Square – 6645 Chickasaw Road (SP-23-03)

A request for Site and Development Plans approval to construct four (4) five-unit townhomes and six (6) four-unit townhomes (total of 44 units). (DRC comments provided on August 20, 2024. On September 20, 2024, staff met with applicant for follow-up to DRC comments. Resubmittal was received on November 14, 2024. DRC comments sent on December 17, 2024. Resubmittal received on February 03, 2025; comments were provided on February 24, 2025. Applicant resubmitted and addressed outstanding comments in early March. (The site plan was approved on March 13, 2025 at the PZBA meeting and scheduled for City Council on April 7, 2025).

### Greenacres Bowl - 6126 Lake Worth Road (BA-24-04)

A request for an Administrative Variance to replace the existing concrete slatted wall with an opaque PVC fence and landscaping for an approximately 340ft portion along the southern property line. (300ft notice sent out March 12, 2025. The application was deemed approved on March 24, 2025.)

# **Greenacres Sunoco and Offices - 3067 South Jog Road (SP-24-02)**

A request for Site and Development Plans (SP-24-02) approval to construct a 6,000 sq ft office/retail building with a 798 sq. ft. mezzanine. (Sufficiency letter sent March 11, 2024, resubmittal received September 30, 2024, comments were provided on November 1, 2024. Awaiting applicant's response to comments and resubmittal.)

# Ice Cream La Bendicion – 560 Jackson Avenue (SP-24-04)

A request for Site and Development Plans (SP-24-04) approval to construct an 882 sq ft two story building with ice cream/raspado shop on the ground floor and one dwelling unit on the second floor. (Awaiting receipt of applicant's response to the sufficiency letter provided on July 5, 2024, staff had ongoing discussions with applicant regarding the required items. Partial resubmittal received, February 21, 2025, the full resubmittal received on March 10, 2025, comments were provided on March 24, 2025. Awaiting applicant's response to comments and resubmittal.)

# Iglesia Bautista Libre Emmanuel – 5083 Lake Worth Road (SE-22-04), (BA-22-01), and (SP-22-05A)

A Special Exception request (SE-22-04) to allow a House of Worship within an existing building located in the Commercial Intensive (CI) zoning district, a Variance (BA-22-01) to allow for a reduction in the front and rear landscape buffers, and a Major Site and Development Plan Amendment (SP-22-05A). Staff has been coordinating with Code Enforcement on code enforcement case for work without permit and operating without an approved Special Exception. (DRC comments sent to applicant on June 6, 2024; meeting with applicant held on June 17, November 5, and December 5, 2024; meeting with property owner held on December 1, 2024;

meeting with property owner and agent held on December 5, 2024; property owner and applicant no-showed the Special Magistrate Hearing held on November 20, 2024, for subject parcel 5057 Lake Worth Road pending Unity of Title, with Board Order Finding Violation to comply by December 21, 2024. The property has not come into compliance and is subject to a fine of \$100 per day; resubmittal received on December 23, 2024; insufficiency comments sent to applicant on January 29, 2025; awaiting applicant's response to comments and resubmittal).

# Kids in Care – Buttonwood Plaza – 3032 South Jog Road (SP-84-05I), (SE-24-02), and (BA-24-02)

The Zoning Text Amendment (ZTA 25-01), to define Prescribed Pediatric Extended Care (PPEC), add such as a permitted use, and establish standards and criteria under Article III, District Regulations, was approved by PZBA on February 13, 2025, and City Council – 1<sup>st</sup> Reading on March 03, 2025, and 2<sup>nd</sup> Reading on March 17, 2025. The project is being withdrawn as it is no longer required. Staff is working with the applicant to update the establishments BTR and the required associated paperwork to meet criteria for PPEC use.

# Lake Worth Plaza West – 6404 Lake Worth Road (MSP-24-01)

A request for a Master Sign Plan for Lake Worth Plaza West. (Sufficiency comments sent to applicant on July 9, 2024; staff is working with the new Property Manager to finalize Master Sign Plan for the entire plaza; awaiting applicant's response to comments and resubmittal; follow up email sent on December 26, 2024. Staff has been having discussions related to the implementation of the Master Sign Plan and amortizations in conjunction with the pending ZTA).

# Mil Lake Plaza – 4507-4639 Lake Worth Road (MSP-24-09)

A request for a Master Sign Plan (MSP-24-09) for the Mil Lake Plaza. (Sufficiency comments sent to applicant on December 12, 2024; staff is working with the new Property Manager to finalize Master Sign Plan for the entire plaza; follow up email sent on January 30, 2025; awaiting applicant's response to comments and resubmittal).

# Murphys USA Greenacres – 6270 Forest Hill Boulevard (SE-23-05), (BA-23-08), (SP-23-07), and (MSP-24-06)

A Special Exception (SE-23-05) request to allow a Convenience Store with Fuel Sales within the Commercial Intensive (CI) zoning district, a Variance (BA-23-08) from the required 1500ft separation of an existing gas station and convenience store to 768ft, Site and Development Plans (SP-23-07) request to construct a 2,824-square-foot convenience store and associated overhead canopy and six (6) dual sided fuel dispensing pumps serving twelve (12) fueling stations, and a request for a Master Sign Plan (MSP-24-06). (Resubmittal received on January 14, 2025, comments were provided to applicant on January 30, 2025. Resubmittal received February 11, 2025. The variance was approved at PZB meeting on March 13, 2025 and the Special Exception, Site and Development Plans, and Master Sign Plan were postponed to the PZB meeting on April 10, 2025. Tentatively scheduled for the April 21, 2025 City Council meeting for the Special Exception, Site and Development Plans, and Master Sign Plan.)

Orchid Cove – 1105 South Jog Road (SP-23-01) and (BA-23-04)

A request for a Site and Development Plan (SP-23-01) approval to construct six (6) two-family units (Total of 12 units), and an Administrative Variance (BA-23-04) for a 5-ft reduction from the required rear and side street setbacks. (DRC comments provided on June 7, 2024; meeting with applicant was held on June 10 and in October of 2024; applicant notified staff they will be resubmitting soon on January 14, 2025. Follow-up email sent to applicant on February 24, 2025, awaiting applicant's response to comments and resubmittal).

# Perry Office – 3130 Perry Avenue (SP-22-03) and (BA-23-03)

A request for Site and Development Plans (SP-22-03) approval for a vacant parcel to construct a 6241 sq ft office totaling 4 bays for flexible office space use. The site is located on the northeast corner of Perry Avenue and 10<sup>th</sup> Avenue South. The request also includes a variance (BA-23-03) to reduce the landscape buffer on the eastern side of the site plan from 10 ft to 5 ft. (Resubmittal received on August 21, 2024, DRC was held on September 19, 2024, subsequent meetings and discussions with applicant and design team to include preliminary engineering considerations. DRC comments were provided on November 7, 2024. Follow-up email sent to applicant o February 2025, Awaiting applicant's response to comments.)

# Pentecostal Tabernacle – 6030 Lake Worth Road (BA-23-05)

A request for a Variance to allow for a fence to be located within the front yard of the House of Worship. (DRC meeting was held on July 18, 2024. Further information is needed for sufficiency to be scheduled for PZBA. Applicant is gathering additional information to substantiate the hardship and demonstrate why a variance is necessary. Staff is coordinating a code case due to the fence being installed without the proper approvals and permits).

# Walmart – 6294 Forest Hill Blvd (SP-88-06AA), (BA-24-03), and (MSP-25-01)

A request for a Major Site and Development Plan Amendment (SP-88-06AA) to add 3,370 sq ft and replace 12 designated customer pick-up parking spaces and 33 regular parking spaces with 33 designated customer pick-up parking spaces, a Variance (BA-24-03) to reduce the number of required parking spaces, and a Master Sign Plan (MSP-25-01). (Sufficiency comments sent to applicant on December 3, 2024; staff is working with the applicant to finalize Site Plan for the entire shopping center; resubmittal was received on February 12, 2025 comments were provided on March 24, 2025, awaiting applicant's response to comments and resubmittal).

### SITE PLAN AMENDMENTS

# Dunkin Donuts – Aloha Shopping Center – 4644 Lake Worth Road (SP-16-07A) and (MSP-24-04)

A request for a Minor Site and Development Plan Amendment (SP-16-07A) to modify the exterior façade of the Dunkin Donuts outparcel and a Master Sign Plan (MSP-24-04) for the entire Aloha Shopping Center. (Sufficiency comments sent to applicant on August 27, 2024; meeting held with applicant on November 19, 2024; resubmittal received on December 17, 2024; Sufficiency comments sent to applicant on December 27, 2024; meeting with property owner and applicant held on January 9, 2025; awaiting applicant's response to comments and resubmittal).

# Ministries in Bethel – 3950 South 57th Avenue (SP-84-12E)

A request for a Minor Site and Development Plan Amendment and Engineering Permit revision to relocate parking spaces and update ramp to meet ADA. (Awaiting receipt of applicant's response to sufficiency comments provided on June 27, 2024. City Engineer spoke with applicant's team on November 22, 2024, to clarify for final submittal. Resubmittal received on February 28, 2025; updates have been deemed sufficient by the City Engineer. The application was deemed approved on March 31, 2025, and the approval memo is being sent.)

# Nautica Isles HOA (SP-84-12E)

A request for a Minor Site and Development Plan Amendment to add speed humps within the neighborhood. (Awaiting receipt of applicant's response to the sufficiency letter provided on March 18, 2025.)

# Palm Beach Christian Preparatory School – Church in the Palms – 3812 South Jog Road (SP-02-08C)

A request for a Major Site and Development Plan Amendment to establish a private school (Palm Beach Christian Preparatory School) in the Commercial Intensive (CI) zoning district. (Sufficiency comments sent to applicant on June 10, 2024; awaiting applicant's response to comments and resubmittal; follow up email sent on August 12, September 12, and October 8, 2024, and January 27, 2025. Coordinating with Code Enforcement for violation; case was heard at the Special Magistrate Hearing held on November 20, 2024, Code Enforcement requested a Finding of Fact).

# Woodlake Plaza – 5815 Lake Worth Road (PCD-84-02DD)

A request for a Minor Site and Development Plan Amendment (PCD-84-02DD) to change color of the building awnings. (Awaiting receipt of applicant's response to sufficiency comments provided on August 8, 2024. Follow up email sent on December 26, 2024 by City Staff).

### **ZONING TEXT AMENDMENTS**

### **ZTA-25-04 Pervious Surface and Driveways**

A City-initiated request for a Zoning Text Amendment to provide updated standards for overall impervious coverage on residential lots, ensuring consistency with standards governing lot coverage for residential lots, as well as limits on driveways expansions. (Recommended for approval by the PZBA on April 11, 2024. Additional review and analysis of proposed changes needed to address certain City neighborhood conditions and ongoing which will result in additional ZTA language changes. Scheduled for the PZB meeting on April 10, 2025, and City Council meetings for 1st Reading on May 5, 2025, and 2nd Reading on May 19, 2025.)

# **ZTA-25-02 Live Entertainment and Nightclubs**

A City-initiated request for a Zoning Text Amendment to define Live Entertainment and Nightclub, and revise the definitions under Article I, In General; clarify permitted uses under Article III, District Regulations; and clarify the standards and criteria associated with Live Entertainment Permits and Mobile Food Dispensing Vehicles under Article IV, Supplementary District Regulations. (Scheduled for the PZBA meeting on March 13, 2025, and City Council meetings for 1st Reading on April 7, 2025, and 2nd Reading on April 21, 2025.)

# ZTA-25-03 Signage Regulations and Master Sign Plans

A City-initiated request for a Zoning Text Amendment to Chapter 16, Article V, Division 9 - Planned Commercial Development and Article VI - Sign Regulations to update regulations related to temporary and election signage, signage amortization, Master Sign Plans, conflicts between Planned Commercial Development (PCD) and general sign regulations, and general sign standards including by zoning district. (Scheduled for the PZB meeting on April 10, 2025, and City Council meetings for 1st Reading on May 5, 2025, and 2nd Reading on May 19, 2025.)

# **RESIDENTIAL DEVELOPMENT PROJECTS**

# **Blossom Trail (Nash Trail)**

Plat application received on July 8, 2022. Plat was approved by City Council on November 18, 2024. Complete application submittal with all outside agency approvals received November 5, 2024. Final Engineering Permit issued, Construction Bond and Contract in place. Master Building Permits have been applied for the Townhouse and Single-Family units.

### **Ranchette Road Townhomes**

Approved for 74 Townhomes. 73 Certificate of Completion issued to date. Traffic Control Jurisdiction Agreement (TCJA) approved. Approved Construction Bond in place, received August 26, 2021. Reduced Construction Bond received April 20, 2023. (May 2024, Engineering, Zach provided comments regarding outstanding items that need to be repaired to developer. Zach sent a follow-up email on October 11, 2024, to developer to remedy and schedule inspection prior to release of the bond. December 2024 Engineering Civil inspection was completed with contractor. Zoning had been working with applicant to address outstanding issues with revising plans to reflect required lake littoral Plantings. Applicant has indicated they will not be installing the required littoral Planting and will be turning the project over to HOA. Legal has advised staff that a Code Enforcement case will have to be created, to rectify the issue with not meeting Code requirements and bond will need to be released if Engineering inspection is approved. Staff will reach out to developer to get some compliance with littoral planting requirements, so that HOA can get some relief from cost to meet Code requirements. Staff is also coordinating with Code Enforcement, in the event the Developer/HOA do not want to comply.)

### NON-RESIDENTAL DEVELOPMENT PROJECTS

### Chick Fil A (SP-85-12RR) - 6860 Forest Hill Boulevard

The Building Permit and Engineering Permit have been issued. The site is located within the River Bridge Centre on the southwest corner of the intersection of South Jog Road and Forest Hill Boulevard. (Preconstruction meeting held on May 16, 2024. Letter of credit received for civil work which expires February 28, 2025. Staff is monitoring the site work and engineering inspections are being conducted. Staff is in discussion seeking resolve regarding site issues including construction crew damage to the oak trees. Staff met with applicant on-site on October 15, 2024, and continues working with applicant on landscape plans to include a combined landscape buffer plan with adjacent IHOP. Since November 2024, Staff has had multiple discussions and coordination with

the applicant to resolve pending items. Staff is waiting for Landscape Plan amendment and permit application submittals from applicant. Legal has been coordinating with their legal team to get property owner's consent or obtain proper legal documentation approved to allow lease holder of IHOP to agree to the Landscape Easement agreement. This documentation is necessary to move forward with said agreement and property owner's consent for amendment applications to finalized outstanding landscape issues required per Code and Building Permit. Additionally, CFA has obtained approval of building permit and Temporary Use Permit to install Container office and use it for restaurant planning and hiring purposes, prior to opening the restaurant. The FDOT permits have been completed to obtain electricity to the site as part of the building permit requirements for the project. Temporary Certificate of Occupancy was issued on March 22, 2025, with stipulations and conditions. Staff continues to work with the applicant and developer to comply with said items. Grand opening of the Restaurant was April 3, 2025.)

# Church of God 7<sup>th</sup> Day of Palm Beach – 3535 S. Jog Road

The building permit and engineering permit expired. New permit applications and outside agency approvals would be required to be submitted in order to obtain development approval. Additionally, Code Enforcement provided a time certain of July 19, 2024, to bring the exterior code maintenance items into compliance. Applicant complied. (Meeting with staff to discuss the site was held on September 12, 2024. Currently expired permits, site maintenance issues, and building items are being addressed through Code Enforcement. Adjacent single-family house has code enforcement case, Special Magistrate in November, fines accruing \$100/day. House of Worship site has code enforcement case, Special Magistrate in March, 6/25 compliance date by magistrate for maintenance items and 7/24 compliance date for project approvals or demo to pre-development conditions, or fines of \$250/day/violation will commence.)

### El Car Wash (6200 Lake Worth Road) (SP-22-02B)

The Special Exception and Site and Development Plans were approved by City Council on December 19, 2022. Preconstruction meeting held April 26, 2024. The Engineering Permit was issued on April 26, 2024. Engineering Permit was closed out on February 13, 2025. Maintenance bond took effect on February 13, 2025. A TCO was issued on February 25, 2025. The owner is coordinating with the adjacent HOA to remove the fence and install a buffer wall along the property line for a better outcome.

# Mint Eco Car Wash (4840 Lake Worth Road) (SP-22-04A)

The Special Exception and Site and Development Plans were approved by City Council on March 6, 2023. The Engineering Permit was applied for in December 2023. Comments were provided on March 12, 2024. Awaiting applicant's response to comments including bond. On September 23, 2024, staff provided a determination of a time extension for the Special Exception which now expires 06/29/2027. A demolition permit for the existing main building on site was approved on December 23, 2024, and the permit has been deemed complete as of February 4, 2025. The site is actively being marketed for sale.

### The Pickleball Club (5200 S Haverhill Road) (SP-23-05)

Application for the Pickleball Club was received on 11/20/2023. The Special Exception and Site and Development Plans were approved by City Council on February 5, 2024,

and Administrative Variance approved on February 26, 2024. Property was under contract with The Pickleball Club. Future remains uncertain. On February 3, 2025, staff processed and provided a determination of a time extension for the approvals, the Special Exception (SE-23-02), now expires on 7/2/2029; the Administrative Variance (BA-23-06), now expires on 7/23/2029; and the Site and Development Plans (SP-23-05), now expire on 7/1/2030.

### GIS

### **Blossom Trail Addresses**

On February 19, 2025, the developer submitted a formal request for the City to establish addresses for the entire community. DNS has developed an addressing plan and is coordinating with all relevant external agencies.

# **GIS Database**

DNS continues implementing a clear, organized hierarchy that separates different stages of data management and processing including addressing. This structure is designed to ensure easy access for all departments, enhance collaboration, and streamline maintenance.

# Safe Streets for All (SS4A)

DNS is actively collecting and processing data for the SS4A Action Plan in accordance with the Interlocal Agreement with Treasure Coast Regional Planning Council. Attending meetings as applicable.

### LIVE ENTERTAINMENT PERMITS

# <u>LE-2024-2729 – El Valle Hondu-Mex Restaurant – 4992 10th Ave N (In Process)</u>

A request from El Valle Hondu-Mex Restaurant for a "Live Entertainment Permit" for DJs/Karaoke/Live local artists for Friday and Saturdays from 9:00 pm to 1:30 am and for scheduled sports games. Went to September 19, 2024, DRC meeting. (DRC comments provided on October 31, 2024; meeting held with applicant on November 1, 2024; awaiting applicant's response to comments and resubmittal).

# <u>LE-2025-0704 – El Centenario (C & O Restaurant Group Inc.) – 6376 Forest Hill Boulevard (In Process)</u>

A request from El Centenario Restaurant for a "Live Entertainment Permit" for DJs/Karaoke/Live local artists for Friday and Saturdays from 9:00 PM to 1:30 AM. (DRC meeting was held on January 16, 2025; DRC comments sent to applicant on January 30, 2025; awaiting applicant's response to comments and resubmittal)

# <u>LE-2025-0709 – Caribbean Tease Restaurant – 6295 Lake Worth Road (In Process)</u>

A request by Wayne Vassell on behalf of Caribbean Tease for a "Live Entertainment Permit" for DJ and Live Band for Friday, Saturday and/or Sunday from 3:00 PM to 11:00 PM and for scheduled special occasions. (DRC meeting was held on January 16, 2025; DRC comments sent to applicant on January 30, 2025; awaiting applicant's response to comments and resubmittal).

### **TEMPORARY USE PERMITS**

<u>TU-2025-1452 – Chick-fil-A – 6860 Forest Hill Boulevard – (Approved)</u> Temporary Use Permit TU 2025-01452 – Chick-fil-A Grand Opening Building Banner Sign – 6860 Forest Hill Blvd - A temporary use permit request from Josh Markham of Chick-fil-A for a Grand Opening Wall Banner Sign from Friday, March 28, 2025, for 20 days after approval, located at 6860 Forest Hill Boulevard.

	FY 2025 [	Data:	
Case Approvals Issued	<b>Current Period</b>	FY 2025 to Date	FY 2025 Budget*
Annexation	0	0	2
Comprehensive Plan Amendment	0	0	3
Zoning Changes	0	0	3
Special Exceptions	0	0	4
Site Plans	1	1	5
Site Plan Amendments	0	0	10
Variances	2	2	3
Zoning Text Amendments	2	2	3
Master Sign Plan	0	0	2

Inspection Type	Current Period	FY 2025 to Date	FY 2025 Budget
Landscaping	3	18	80
Zoning	6	18	45
Engineering	5	40	75

<sup>\*</sup> Assumes progress of proposed Developments such that inspections are requested.

# **Building Division**

# Building Department Report (March 1, 2025 – March 31, 2025)

# 1) ADMINISTRATION:

- a) Researched and completed Eighty-Five (85) lien searches providing open and/or expired permit information.
- b) Researched and completed Thirty-One (31) records requests for historical permits.

# 2) PERMITS/INSPECTIONS:

PERMITS/INSPECTIONS	DURING THIS PERIOD	FYTD 2025
New Applications Received / Permits Created	307	1,362
Applications Approved	171	766
Applications Canceled	5	23
Applications Denied	3	5
Applications Reopened	2	7
Permits Issued	318	1,270
Permits Completed	221	1,246
Permits Canceled	15	43
Permits Reopened	27	262
Permits Expired	9	90
Inspections Performed	622	3,425
Construction Value of Permits Issued	\$3,436,295.37	\$18,492,178.84
Construction Reinspection Fees	\$450.00	\$4,050
Extension/Renewal Fees	\$3,848.15	\$13,732.94
CO's Issued	3	14
CC's Issued	0	2
Temporary CO's Issued	1	2

# 3) BUSINESS AND CONTRACTOR REGISTRATION:

(See Attached Summary Reports)

# 4) PERMIT APPLICATIONS IN PLAN REVIEW - PRINCIPAL NEW OR REMODEL PROJECTS:

PROJECT	ADDRESS	SIZE	DESCRIPTION	PERMIT#
Juici Patties	4815 S Military Trl	1200	Interior Remodel	2025-1359
Absolute Bet Ins.	3080 S Jog Rd		Interior Renovations	2025-1102
SFH	121 Swain Blvd	2143	New SFH	2025-1168
SFH	117 Swain Blvd	1875	New SFH	2025-1173
SFH	113 Swain Blvd	1875	New SFH	2025-1166
Blossom Trail	5595 S Haverhill Blossom Trl		New TWH Master 8 Units	2025-0823
Blossom Trail	5595 S Haverhill Blossom Trl		New TWH Master 7 Units	2025-0822
Blossom Trail	5595 S Haverhill Blossom Trl		New TWH Master 5 Units	2025-0809
Blossom Trail	5595 S Haverhill Blossom Trl		New TWH Master 6 Units	2025-0821
La Tapatia Market	2962 S Jog Rd	15705	Interior Renovation	2025-0799
La Tapatia Market	2980 S Jog Rd	3879	Interior Renovation	2025-0769
SFH	229 Martin Ave	3393	New SFH	2025-0173
SFH	145 Walker Ave	2,051	New SFH	2025-0146

# 5) PROJECTS IN PROGRESS - PRINCIPAL REMODELING/RENOVATION:

PROJECT	ADDRESS	SIZE	DESCRIPTION	PERMIT #
El Rey Del Taco	5283 Lake Worth Rd	2,857	Interior Renovation	2025-0488

Dress 4 Success	6832 Forest Hill Blvd	6174	Interior Renovation	2025-0182
WIC (City Job)	5985 10 <sup>th</sup> Ave N		Bathroom Renovation	2025-0174
Duffy's	6848 Forest Hill Blvd	1,530	Interior Remodel	2025-0275
Medimore Md	6334 Forest Hill Blvd	1,130	Interior Remodel	2024-2513
El Car Wash	6200 Lake Worth Rd	3,724	Construct Car Wash	2023-2487
Chik fil A	6802 Forest Hill Blvd	4,997	New Construction	2024-0270
Gastro Health	6125 Lake Worth Rd	238	Interior Renovation	2024-0874
Aaxon Laundry	3989 S Jog Rd	2633	Interior Renovation	2024-0587
Retro Fitness	4558 Lake Worth Rd	1547	Interior Renovation	2024-0783
Certified Spine	6415 Lake Worth Rd #307	1598	Tennant Improvement	2023-2290
Ministries in Bethel	3950 S 57 <sup>th</sup> Ave	6,939	House of Workship	2021-0365

# CITY OF GREENACRES

# Licensing Revenue Summary Report Licensing Revenue Summary Report - Summary From Date: 03/01/2025 - To Date: 03/31/2025

Charna Code No. of Billing Transactions	From Date: 05/01/2025 - 10 Date: 05/51/2025 - setions No. of Adjustment Transactions	Billed Amount	Adiustments	Net Billed
	1			
License Type: Food Service-Food Service / Bar / Lounge				
Food-Food Service	2 0	\$255.26	\$0.00	\$255.26
Food Per Seat-Food Per Seat	2 0	\$407.96	\$0.00	\$407.96
Zoning Review-Zoning Use Review Fees (BTR)	2 0	\$100.00	\$0.00	\$100.00
Com Inspection-Commercial Inspection	-0	\$75.00	\$0.00	\$75.00
License Type Food Service-Food Service / Bar / Lounge Totals	2	\$838.22	\$0.00	\$838.22
License Type: General Retail-General Retail				
General Retail-General Retail Sq Feet	0	\$162.89	\$0.00	\$162,89
License Type General Retail-General Retail Totals	0	\$162.89	\$0.00	\$162.89
License Type: General Service-General Service				
General Service-General Service	7	\$801.92	\$0.00	\$801.92
Com Inspection-Commercial Inspection	3	\$225.00	\$0.00	\$225.00
Zoning Review-Zoning Use Review Fees (BTR)	0	\$200.00	\$0.00	\$200.00
Collection Fee-Collection Fee	1 0	\$25.00	\$0.00	\$25.00
Definquent > 150-Definquent Over 150 Days	0	\$100.00	\$0.00	\$100,00
License Type General Service-General Service Totals	16 0	\$1,351.92	\$0.00	\$1,351.92
License Type: General Svc Reg-General Service Registration				
General Svc Reg-General Service Registration	0	\$25.00	80.00	\$25.00
License Type General Svc Reg-General Service Registration Totals	0	\$25.00	\$0.00	\$25.00
License Type: Home-Home Based Business				
Home-Home Based Business	9	\$412.95	\$0.00	\$412.95
Com Inspection-Commercial Inspection	1	\$69.00	\$0.00	\$69.00
Zoning Review-Zoning Use Review Fees (BTR)	0	\$200.00	\$0.00	\$200,00
License Type Home-Home Based Business Totals	10 0	\$681.95	\$0.00	\$681.95
License Type: Professional-Professional				
Professional-Professional	2 0	\$294.06	\$0.00	\$294.06
Cosmetology-Cosmetology / Barber	0	\$40.61	\$0.00	\$40.61
Real Estate-Real Estate Broker / Ins Agents	0	\$97.65	80.00	\$97.65
Cam Inspection-Commercial Inspection	1	\$75.00	\$0.00	\$75.00
Transfer-Transfer	0	\$12.20	\$0.00	\$12,20

	,				
Collection Fee-Collection Fee	-	0	\$25.00	\$0.00	\$25.00
Delinquent > 150-Delinquent Over 150 Days	-	0	\$100.00	\$0.00	\$100,00
License Type Professional-Professional Totals	80	0	\$644.52	\$0.00	\$644.52
License Type: Rental Unit-Rental Unit					
Rental Unit-Rental Unit	20	0	\$820.28	\$0.00	\$820,28
Collection Fee-Collection Fee	ŝ	0	\$125.00	\$0.00	\$125.00
Delinquent >150-Delinquent Over 150 Days	9	0	\$500.00	\$0.00	\$500.00
25% Penalty-25% Penalty	2	0	\$20.30	\$0.00	\$20,30
License Type Rental Unit-Rental Unit Totals	32	0	\$1,465,58	\$0.00	\$1,465.58



License Activity Report
Activity Date Range 03/01/25 - 03/31/25
Summary Listing

		Application	Application	Application	New License	License	License	License
License Type	Category	Received	Denled	Approved	Issued	Renewed	Revoked	Canceled
Food Service - Food Service / Bar / Lounge	Business	2	0	0	2	0	0	0
General Service - General Service	Business	9	0	0	м	Э	0	0
General Svc Reg - General Service Registration	Business	2	0	0	П	0	0	0
Home - Home Based Business	Business	ıo	0	0	М	1	0	0
Professional - Professional	Business	m	0	0	2	0	0	0
Rental Unit - Rental Unit	Business	12	0	0	12	6	0	0
	Grand Totals	30	0	0	23	13	0	0

# **Code Enforcement Division**

# Code Division Report (February 1, 2025 – February 28, 2025)

CODE ENFORCEMENT	DURING THIS PERIOD	FYTD 2025
Inspections Related to Active Code Cases	185	1112
New Cases Started	93	444
Cases Complied	44	300
Current Open Cases	352	1725
Notices Sent	143	779
Illegal Signs Removed from right-of-way	367	2552
Inspections Not Related to Active Code Cases	185	1112
Complaints Received and Investigated	10	56
Warning Tickets	2	59

# **Code Enforcement - STATS FY 2025**

	NOTICES MAILED	SIGNS	INSPECTIONS	COMPLAINTS	WRITTEN WARNINGS
OCTOBER 2024	232	267	284	10	35
NOVEMBER 2024	110	727	134	12	3
DECEMBER 2024	162	527	164	15	42
JANUARY 2025	134	438	202	9	6
FEBRUARY 2025	159	280	233	8	4
MARCH 2025	143	367	185	10	2
MARCH 2025	143	367	185	10	2

**APRIL 2025** 

**MAY 2025** 

**JUNE 2025** 

**JULY 2025** 

AUGUST 2025

SEPTEMBER 2025



**MEETING DATE:** May 19, 2025

FROM: Dr. Philip C. Harris, D.B.A., Director, Economic Development

**SUBJECT:** Monthly Report – April 2025

#### **BACKGROUND**

The Economic Development Department continued to prioritize inclusive economic growth, small business engagement, strategic partnerships, and resource development throughout April 2025. Efforts were made to strengthen relationships with local organizations, provide on-the-ground business support, and pursue external funding opportunities that align with the City's long-term goals around equity, innovation, and economic resilience.

#### 1. Grant Management:

National League of Cities (NLC) Southern Cities Economic Inclusion Initiative

The City of Greenacres has submitted a proposal to the NLC's Southern Cities Economic Inclusion Initiative, which is designed to enhance access to workforce development, entrepreneurship, and small business support. If awarded, the \$15,000 mini-grant will be used to expand economic opportunities for residents by strengthening job training pathways, providing technical assistance for small businesses, and deepening strategic community partnerships.

• International City/County Management Association (ICMA) Economic Mobility and Opportunity (EMO) Peer Learning Cohort and Mini-Grant

The City has also applied for the ICMA 2025 EMO Peer Learning Cohort and Mini-Grant Program. This initiative supports municipalities in advancing upward mobility through capacity-building, strategic planning, and peer collaboration. If awarded, the \$20,000 mini-grant will support a comprehensive set of initiatives including:

- A Community Workforce Assessment to identify local employment barriers and opportunities,
- Job Readiness and Skills Training in high-demand fields,
- o Youth Internships and Apprenticeships to provide early career exposure,
- Small Business Development Support through workshops and mentorship, and
- Neighborhood Beautification Projects that improve livability and encourage economic activity.

Together, these grant opportunities align with the City's strategic goals to foster inclusive economic growth and enhance the quality of life for all Greenacres residents.

#### 2. Building Strategic Partnerships:

Strategic partnerships play a critical role in extending the reach and impact of the Department's goals. During April, meetings were held with:

- Central Palm Beach County Chamber of Commerce: Discussed opportunities for collaboration, including the City's support for and active participation in the Chamber's Economic Development & Government Affairs Committee to strengthen regional advocacy and business development efforts.
- Latino Leadership Institute: Held discussions on the program overviews of the Ignite Program, the Latino Entrepreneur Access Program (LEAP), and Cumbre Connect, with a focus on opportunities for collaboration to

support Latino entrepreneurs and emerging leaders in Greenacres.

Item # 12.

- APEX Accelerator / Florida SBDC: Discussed planning efforts for a government contracting workshop, annead helping local small businesses become certified vendors for local and federal procurement.
- **Hispanic Chamber of Commerce of Palm Beach County:** Explored opportunities for joint marketing initiatives and collaborative workshops aimed at supporting Hispanic-owned businesses in the Greenacres area. Additionally, discussed the City's involvement in and support for the Chamber's 25th Annual Triunfo Awards Gala.

#### 3. Business Assistance:

#### Chick-fil-A Ribbon Cutting Ceremony

The department facilitated the grand opening of a new Chick-fil-A location in the City. The event was well-attended by Mayor Chuck Shaw, Deputy Mayor Judy Dugo, Palm Beach County Commissioner Joel Flores, City Manager Andrea McCue, and Charisma Kendrick-Adams, Economic Development Director for U.S. Representative Sheila Cherfilus-McCormick, City staff, and the business community, highlighting the City's commitment to welcoming and supporting new employers. The establishment is projected to bring approximately 120 new jobs to the area, including entry-level and management roles.

#### Pop-Up Business Assistance Events

In collaboration with Prospera USA, the department hosted its monthly "Pop-Up Business Assistance" event, offering walk-in support for entrepreneurs and small business owners. Services included business diagnostics, startup guidance, and access to microloan referrals.

• Small Business Recognition Program (In Progress)

Staff began outlining a Small Business Spotlight Program to recognize businesses that contribute positively to the community through hiring practices, community service, or innovation. The goal is to boost visibility and morale among local entrepreneurs.



MEETING DATE: April 21, 2025

FROM: Teri Lea Beiriger, Director of Finance

SUBJECT: Department of Finance Activity Report

#### **DEPARTMENT HIGHLIGHTS**

The following report provides activity within the Department of Finance for the reporting period from March 1 through March 31, 2025:

- Continued to work on efficiencies to better serve our internal and external customers.
- General Operations
  - o Worked with auditor's request for the Annual Comprehensive Financial Report.
  - o Implemented pass-through credit card transaction fee to the user.
  - Provided FY2026 budget instructions to departments for the FY2026 budget preparation.
- Grants
  - Submitted applications for the following grants:
    - CDBG 2023 Original Sewer Phase IV
    - Palm Beach County Youth Services
    - ICMA EMO Peer Learning Cohort & Mini-Grant Program
    - NLC Southern Cities Economic Inclusion Initiative



**MEETING DATE:** April 21, 2025 **FROM:** Brian Fuller, Fire Chief

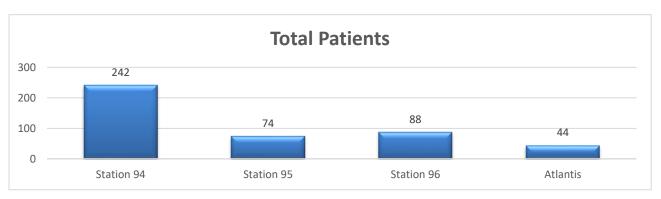
**SUBJECT:** Fire Rescue March

#### **FR CALLS**

CALLS	MONTHLY TOTALS
Total Alarms dispatched in March	577
Average alarms per day	20.61
Total calls this fiscal year	3,625

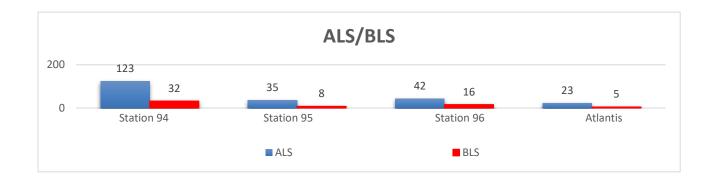
In March 2025, 404 patients were treated for Emergency Medical related services. Of those patients, 44 were in the City of Atlantis. These requests vary from a single unit responding to help an individual who has fallen to the floor, to a cardiac arrest necessitating multiple units, along with a mix of personnel, advanced skills and equipment.

Service Calls, Cancels, and Public Assists totaled 60. The requests include, but are not limited to, persons locked out of home, water evacuation, animal problem, police assist, defective elevator, and canceled due to wrong address.



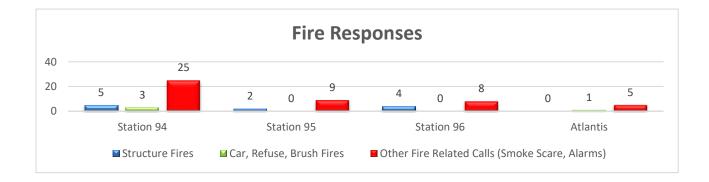
#### **ALS/BLS**

Fire Rescue transported 256 patients to a hospital or 63% of the patients we were called to treat. The majority of those (200) required Advanced Life Support procedures. ALS emergencies require additional personnel, specialized equipment, and skills. Often, an EMT or Paramedic will be taken from the ALS Engine to accompany the one person in the rear of the Rescue to assist with life-saving therapies.

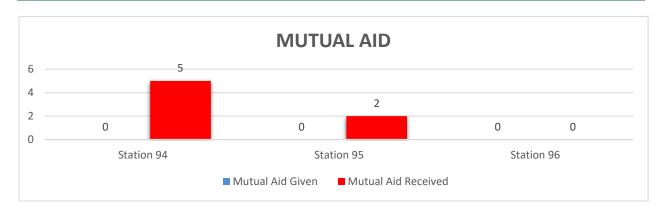


#### **FIRE RESPONSES**

Fire Rescue responded to 47 calls for a fire or smoke related emergency. There were three (3) requiring an escalated response to a car, brush, or refuse fire; eleven (11) were in a residential or commercial structure.



#### **MUTUAL AID**



Mutual aid is the sending or receiving of emergency resources (apparatus, personnel) to or from another entity or agency upon request. No community has sufficient resources to handle every emergency of all sizes. Therefore, neighboring agencies work together through a system called Mutual Aid. That system is designed to be limited to large events that tax the resources beyond the normal capabilities of the community.

#### **FIRE MARSHAL**

Fire Prevention and Protection focuses on protecting people and property from fire through fire safety inspections, fire plans review, fire cause and origin investigations, and public education. In addition, the Fire Marshal provides fire safety lectures, attends land development meetings, and testifies at code enforcement hearings.

Inspections	157
Plans Review	31
Dollar Loss due to fire	\$0



#### **SPECIAL SERVICES**

Blood Pressure Screenings	0
Presentations, Station Tours/Attendees	2/382
Persons Trained in CPR	0



MEETING DATE: April 21, 2025

**FROM:** Georges Bayard, Director, Information Technology

**SUBJECT:** Department of Information Technology – March 2025 Activity Report

#### **DEPARTMENT HIGHLIGHTS**

The following report provides the highlights of activity within the Information Technology Department for the reporting period from March 1, 2025 – March 31, 2025.

- 1. Continuing the network segmentation project for the Municipal Complex, to separate workstations and critical equipment e.g. servers and switches into distinct subnetworks, a best practice adding another security layer to the City's information systems.
- 2. MyGovernmentOnline implementation project continues with the Development & Neighborhood Services Department, to manage all Permitting, Planning & Zoning, Code Enforcement and BTR activities. Staged Go-Live is planned for early summer this year.
- 3. Preparing Access Rights Management reports for distribution to department heads, to verify that permissions to access City data is correctly allocated.
- 4. Worked with Purchasing Dept. to publish RFP 25-004 for an Audio Visual (A/V) hardware refresh in the Council Chamber and projector and screen replacement in the Community Center banquet hall.
- 5. Enabled the voicemail-to-email feature on select phone lines provided by Palm Beach County Network Services.
- 6. Ran a new network cable from the FuelMaster unit at City Hall to the network rack in the electrical room, to resolve intermittent failures of the point-to-point wireless connection.

# **SERVICE DESK REQUESTS**

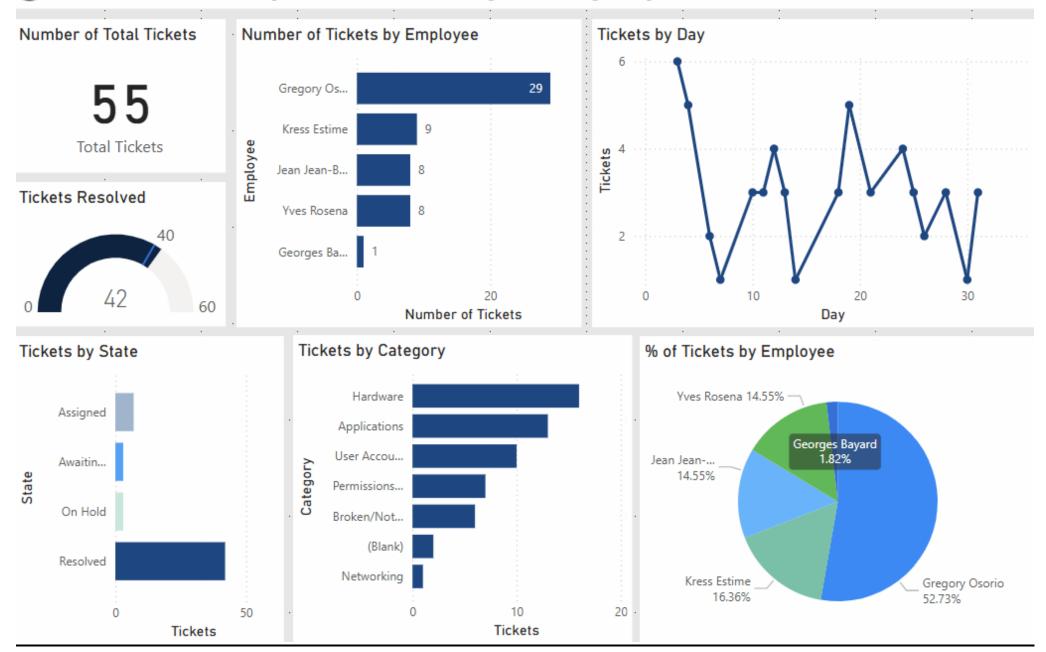
# **March 2025**

DEPARTMENT	CURRENT PERIOD	FY 2025 YTD	FY 2025 BUDGET
Administration	14	79	-
Community & Recreation Services	4	35	-
Development & Neighborhood Svcs.	8	50	-
Finance	2	20	-
Fire Rescue	8	32	-
Information Technology	1	23	-
Public Works	11	28	-
Purchasing	1	8	-
Youth Programs	6	34	-
Total Service Desk Requests	55	309	800





# IT Department Monthly Activity Report - March, 2025





MEETING DATE: April 21, 2025

FROM: Captain Craig Turner, PBSO District 16

SUBJECT: PBSO District 16 Report - March 2025

#### **CAD CALLS**

CAD CALLS	MONTHLY TOTALS
Business / Residence Checks	1,563
Traffic Stops	894
Calls for Service	1,897
All CAD Calls - Total	4,354
Total Calls for Service – FY 2025 (October 2024 – September 2025)	22,982

Data Source: CADS/Premier 1
\*Omit Miscellaneous Calls

Note: P1 is a dynamic system. Meaning that #'s can change from what was previously reported in the event there is a location or call type re-classification/modification.

#### **SUMMARY**

During the month, there were 4,354 generated calls within the District and 56% of these calls were self-initiated.

### TRAFFIC ACTIVITY

DISTRICT 16	PERSONNEL
Total Citations	Total Warnings
242	287

Data Source: CAU / TraCS

PBSO MO	TORS UNIT
Total Citations	Total Warnings
632	306

Data Source: Traffic Unit

#### **COMMUNITY POLICING EVENTS**

- 03/02/25: Chili Cook-Off Event
- 03/02/25: Palm Beach County Sheriff's Office Foundation Youth Program Awards Banquet
- 03/06/25: Criminal Justice Day at Keiser University
- 03/07/25: Career Day at Cholee Lake Elementary School
- 03/17/25: Field Day at Liberty Park Elementary
- 03/19/25: House of Grace Food Distribution at the Pickwick Mobile Home Park
- 03/19/25: Visited the A Place for You Adult Day Care and Rehab Center
- 03/20/25: Career Day at Greenacres Elementary School
- 03/20/25: Career Day at Diamond View Elementary School

#### STREET CRIMES UNIT

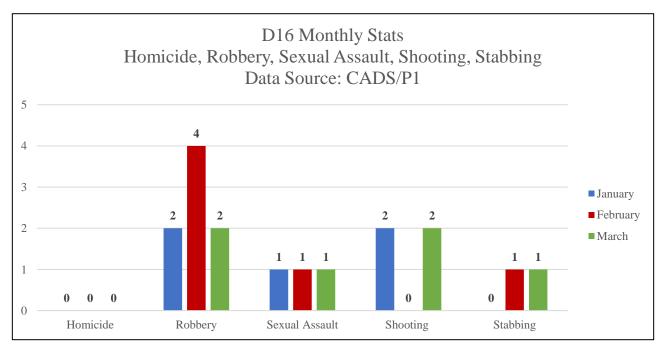
- The District 16 Street Crimes Unit responded to an arson call in which two suspects started a fire and then fled on foot. Witnesses on scene were able to provide descriptions of the subjects. The District 16 Street Crimes Unit located the subjects and apprehended them. Both suspects were charged accordingly.
- The District 16 Street Crimes Unit conducted a traffic stop with license plates not belonging to the vehicle. A search of the vehicle revealed \$785 cash, oxycodone pills, and three cell phones. The driver, post Miranda, admitted to owning the pills without a prescription and was charged accordingly.
- The District 16 Street Crimes Unit attempted a traffic stop. The vehicle originally stopped then fled. The vehicle was reacquired, where the driver fled on foot but was quickly apprehended without incident, and post Miranda admitted to driving and fleeing. A search of the vehicle discovered illegal narcotics. The driver who was currently out on bond for drug charges was charged accordingly.

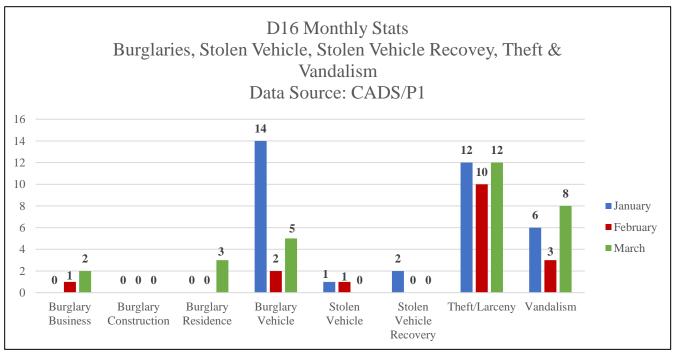
#### PROPERTY DETECTIVES

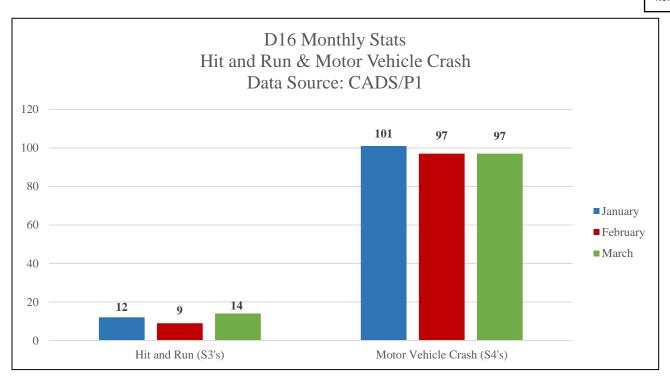
- A victim had two packages stolen from their porch. After gathering video surveillance, a suspect vehicle was developed. The vehicle was located at a residence and a residential search warrant was drafted and executed. Evidence was recovered, probable cause was established, and this case was cleared by arrest.
- The victim reported that they woke up to find the front door of their residence open, along with their purse and iPad missing. The victim's iPad pinged at a gas, where Detectives responded, and after a lengthy search located the stolen items inside a dumpster where they had been discarded by the suspect. Probable cause was established and the District 16 Street Crimes Unit located and apprehended the suspect. This case was cleared by arrest.
- The victim reported an ex-tenant dumping tar all over their driveway that is made of pavers. The victim further advised it would be over \$1,000 to properly fix the driveway. Probable cause was developed for the ex-tenant, a full confession was obtained, and this case was cleared by arrest.

#### **DATA ANALYSIS**

The data included in this report is charted and graphed to illustrate and compare changes over a specific time period. These charts and graphs are utilized to assist in determining crime trends and to measure enforcement efforts. This data is utilized in conjunction with other analysis to develop directed patrol and various enforcement activities. The analysis included on these pages is presented as a brief highlight to explain the salient points of this report.







### **TOP ACCIDENT LOCATIONS FOR MARCH 2025 - CASE NUMBER INCIDENTS**

Location	Case Number Count
S Jog Road / Lake Worth Road	10
S Jog Road / Meadowlake Drive	7
Lake Worth Road / S Military Trail	7
Forest Hill Boulevard / S Jog Road	6
Lake Worth Road / S Haverhill Road	6



**MEETING DATE:** April 21, 2025

FROM: Carlos Cedeño, Public Works Director

**SUBJECT:** Public Works Department Report

#### **DEPARTMENT HIGHLIGHTS**

Listed below is a brief summary of the activities undertaken by the Public Works Department during the period of March 1, 2025 through March 31, 2025.

#### 1. ADMINISTRATION:

- Thirty-nine (39) applications received for the *Property Enhancement Grant Program*. Twenty-three (23) residential and two (2) commercial properties were awarded. Projects have one year to be completed.
- CIP updates:
  - Chickasaw Rd (CIP-233): Final engineering inspections were completed, project accepted by the City and closed out by SFWMD and PBC. The fence north of the Briarwood Mobile Home Park was installed.
  - Youth Programs Building (CIP-236): Concrete wall panels were been poured.
  - Gladiator Lake Drainage Enhancements (CIP-226): Final grading ongoing and seawall installation is in progress. Overall project is 66% complete.

#### 2. ROADS AND DRAINAGE MAINTENANCE

- Live Oak trees on medians at Lake Worth Rd, Jog Rd, 10<sup>th</sup> Ave, and Forest Hill Blvd were trimmed.
- One (1) LED radar sign on S. 57<sup>th</sup> Ave was replaced due to a vehicle accident.
- Trees were trimmed back and some removed in preparation for the fence removal and reinstallation at the Ramblewood retention area.

#### 3. VEHICLE MAINTENANCE

- Bus Safety Inspections were conducted.
- Staff attended the "Generational Differences in the Workplace" training hosted by Human Resources.
- Received and prepared new Ford F-150 vehicle for the Assistant Fire Chief.
- Received order of a new Forklift and a new trailer for sports turf refurbishment.
- Staff coordinated the installation of a radio equipment system at Ira Van Bullock.

#### 4. BUILDING SERVICES

- Coordinated the installation of a replacement HVAC unit at the Community Center.
- Staff attended the "Generational Differences in the Workplace" training hosted by Human Resources.

#### 5. PARKS MAINTENANCE

• Staff assisted with the set up and take down of the Chili Cookoff Event.



MEETING DATE: April 21, 2025

**FROM:** Monica Powery, Director, Purchasing

**SUBJECT:** Department of Purchasing Activity Report

### **DEPARTMENT HIGHLIGHTS**

The following report provides the highlights of activity within the Department of Purchasing for the reporting period from March 1 through March 30.

- a. <u>24-021 Progressive Design/Build- Emergency Operations Center</u> Request for Qualifications was advertised on May 29, 2024 and closed on July 1, 2024 with eight (8) proposals received. The Selection Committee met on July 25, 2024, to review, discuss and shortlist the proposals received. Three (3) proposers were shortlisted. On August 6, 2024, the Selection Committee conducted site visits of EOCs completed by each proposer. On August 8, 2024, the Selection Committee met for presentations and the final evaluation. The Selection Committee has recommended awarding the project to Kaufman Lynn Construction, Inc. Legal is currently in the process of drafting the agreement.
- b. 25-001 Continuing Professional Consulting Services (CCNA) Request for Qualifications for Continuing Professional Consulting Services was advertised on September 1, 2024, and closed on October 3, 2024 with thirty-one (31) companies submitting proposals. The Selection Committee met on November 20, 2024 to review, discuss and shortlist the proposals received. The Selection Committee Meeting met on December 4, 2024 to disclose the short-list tabulation and determine the final number of companies to be short-listed for each discipline. Per the RFQ, the Selection Committee may choose to either have the shortlisted companies present or provide a written response to follow-up questions. The Committee chose to have presentations for the following disciplines: Architectural Design; Civil Engineering; Landscape Architect (Includes Land Planning); and Transportation Engineering. The Committee chose to ask follow up questions for the following disciplines: Construction Engineering and Inspection (CEI) Services; Geo-Technical, Construction Materials Testing and Inspection Services; Structural Engineering Design and Consulting; and Surveying and Mapping Services. The Selection Committee Meeting met on December 20, 2024 to discuss the presentations and decided whether or not to move forward with the final evaluation. The Committee decided to move forward with the final evaluation for Architectural Design; Civil Engineering; and Landscape Architect (Includes Land Planning). The Committee needed further information from the companies that submitted for Transportation Engineering. The Selection Committee will meet at least two more times in January. The Selection Committee met on January 13, 2025 discuss the shortlisted proposers for the following disciplines: Construction Engineering and Inspection (CEI) Services; Geo-Technical, Construction Materials Testing and Inspection Services; Structural Engineering Design & Consulting and Surveying and Mapping Services. The Selection Committee also continued the discussion on the Transportation Engineering discipline. The Committee decided to move forward with the final evaluation for Construction Engineering and Inspection (CEI) Services; Geo-Technical, Construction Materials Testing

Inspection Services; Structural Engineering Design & Consulting; Surveying and Mapping Services and Transportation Engineering. The Selection Committee Meeting met on January 22, 2025 to disclose the final evaluation tabulation for all disciplines. The attached tabulation sheet summarizes the committee's final evaluation ranking and number of awarded firms per discipline. The City Council approved the award during their meeting on March 3, 2025.

- c. <u>25-002 Parks Master Plan</u> Request for Proposal was advertised on March 6, 2025 and closes on April 11, 2025.
- d. <u>25-003 Fireworks Display</u> Request for Proposal was advertised on March 9, 2025 and closes on April 9, 2025.
- e. <u>25-004 AV System Upgrade and Equipment Replacement</u> RFP was advertised on March 16, 2025 and closes on April 18, 2025.
- f. <u>25-005 Rehabilitation of Municipal Complex Pathway</u> Bid was advertised on March 16, 2025 and opens on April 18, 2025.
- g. <u>25-006 Rehabilitation of Community Park Pathway</u> Bid was advertised on March 16, 2025 and opens on April 18, 2025.
- h. <u>25-007 Original Section Sewer Swain Boulevard North Phase 3</u> Bid was advertised on March 23, 2025 and opens on April 24, 2025.
- Solicitations In Progress Furniture for New Youth Programs Building and Technology for New Youth Programs Building; and Background Screening Services.
- j. <u>RFQ 25-004/ADMIN Car Wash Services</u> Request for Quote was issued on February 19, 2025 and opened on March 3, 2025 with three (3) quotes received. The City Manager approved award to Able Business Services, Inc as the lowest responsive and responsible bidder.
- k. <u>RFQ25-005/PW HVAC Unit Wiring at WIC Building</u> Request for Quote was issued on March 6, 2025 and opens on March 13, 2025 in accordance with The School District of Palm Beach County Contract No. 24C-47M. City Manager approved award to Paragon Electrical Contractors, Inc. as the lowest responsive and responsible bidder.
- I. <u>Training</u> The Senior Buyer conducted a P-Card training for one (1) new user.

#### **DEPARTMENT ACTIVITY**

ACTIVITY	CURRENT PERIOD	FY 2025 YTD
	CORREINI PERIOD	F1 2023 11D
Purchase Orders Issued	29	351
Purchase Order Amounts	\$ 297,134.17	\$ 32,556,819.12
Solicitations Issued	7	11
Solicitations in Progress	8	-
Central Store Requests	4	21
Contracts Managed	78	78
Purchasing Card Purchases	291	1,694
Purchasing Card Transactions	\$ 48,516.99	\$ 280,057.02
No. of Training Sessions Conducted	1	4
Towing Revenue	\$ 2,613.00	\$ 18,291.

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# **Youth Programs Department Monthly Report**

MEETING DATE: April 21, 2025

**FROM:** Jowie Mohammed, Director of Youth Programs

SUBJECT: March 2025 Department Report

#### **PROGRAMMING**

Youth Programs provided daily transportation from the following schools:

o Elementary: Greenacres, Liberty Park, and Heritage.

Middle: L.C. Swain and Okeeheelee.

o High: John I Leonard (on rainy days).

 March – Fifteen (15) days of after-school provided & six (6); full days of Spring Camp programming from 7:30a.m. - 5:30p.m., including field trips and (3) meals served daily.

#### PERFORMANCE MEASURMENTS

PERFORMANCE MEASUREMENT	AVERAGE THIS PERIOD	FY 2025 TO DATE
# of Participants	118	121
# of Participants in Sierra Club ICO	15	15
# of Licenses Coordinated	1	1
# of MOU's Coordinated	1	1
# of Part.'s in Teen Advisory Council (TAC)	8	8
# of Part's in TOP Program	40	40
# of Part.'s in Garden Club	34	34
# of Presidential Volunteer Service Hours	452	2651

#### FINANCIAL INFORMATION

GRANTS COORDINATED	AVERAGE THIS PERIOD	FY 2025 TO DATE
Early Learning Coalition	\$12,364.88	\$76,143.39
Parent & Registration Fees	\$12,887.21	\$68,398.21
Youth Services Department SEL Grant	\$7,700.80	\$38,504.00
Textile Funds	\$00.00	\$660.00

### **C.A.R.E.S REPORT**

- On 03/27/25 our 2<sup>nd</sup>- 3<sup>rd</sup> grade group was able to participate in an intergenerational activity
  with Elison Independent Living Facility where the Seniors did various activities with the
  youth such as the reading of a Butterfly book, coloring activities, teaching about the
  lifecycle of caterpillars, and a tour of their Garden.
- During the month of March, the CARES Junior Garden Club has been able to see the fruits of their labor. The garden is in full bloom with various herbs, fruits, and vegetables. This year we have potatoes, peppers, egg plants, kale, lettuce, cabbage, collards, green onions, tomatoes, rosemary, dill, mint, chives, Cuban oregano, and a few other plants that are bearing edible product.

#### **TEEN PROGRAMS REPORT**

- Our youth actively participated in Relay for Life, a community-based fundraising event for the American Cancer Society. Teens contributed by volunteering at booths, assisting with event logistics, and showing support for cancer survivors. This event fostered a spirit of teamwork, compassion, and service while allowing teens to engage with the larger community.
- Upcoming: Earth Month Celebration Volunteer Sign-Ups- In preparation for April's Earth Month Celebration, teens have begun signing up for volunteer opportunities. They will participate in community clean-up events, tree planting, and environmental awareness campaigns. This initiative will encourage a sense of environmental responsibility and civic engagement.