



Historic Preservation Commission

November 21, 2022 at 4:00 PM

1001 11th Avenue, City Center South, Greeley, CO 80631

Agenda

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Approval of the Minutes dated November 7, 2022
5. Report from Historic Greeley Inc.
6. Public Hearing to consider a Request for Certificate of Approval for New Construction of a Greenhouse at 515 23rd Avenue
7. Commission Member Reports
8. Staff Report
9. Adjournment

Historic Preservation Public Hearing Procedure

Public Hearing to...

1. Chair introduce public hearing item
2. Historic Preservation Staff report
3. Applicant Presentation
4. Commission questions
5. Chair opens public hearing
6. Chair closes public hearing
7. Applicant rebuttal
8. Commission discussion and vote

City of Greeley, Colorado
HISTORIC PRESERVATION COMMISSION PROCEEDINGS
Regular Meeting

November 07, 2022

1. Call to Order

2. Roll Call

Chair Brunswig called the meeting to order at 4:00 p.m.

The hearing clerk called the roll.

PRESENT

Chair Bob Brunswig
Commissioner Doran Azari
Commissioner Christen DePetro
Commissioner Sean Jaehn
Commissioner Gabriel Llanas
Commissioner Melissa Sizemore

Commissioner Dan Podell was absent.

3. Approval of Agenda

Elizabeth Kellums, Planner III – Historic Preservation, indicated that there were no additions or corrections to the agenda, and it was approved as presented.

4. Approval of August 15, 2022, Minutes

Bob Brunswig indicated there was a grammatical error. Commissioner DePetro moved to approve the minutes as amended dated August 15, 2022. Commissioner Azari seconded the motion. Motion carried 6-0 (one Commissioner absent).

5. Chair and Vice-Chair Elections

Commissioner DePetro nominated Bob Brunswig to continue as Chair of the Commission. Commissioner Azari seconded the motion. Motion carried 5-0 (one absent and Chair Brunswig abstained).

Commissioner Azari nominated Christen DePetro to continue as Vice-Chair of the

Commission. Commissioner Jaehn seconded the motion. Motion carried 6-0 (one Commissioner absent).

6. Report from Historic Greeley Inc.

Marshall Clough, 1619 14th Street, gave an update on Historic Greeley Inc. Mr. Clough announced that Historic Greeley Inc would be hosting their second annual Christmas Tea in December. It would be located at the Southard Gillespie House located at 11th St and 9th Ave. Mr. Clough gave a brief description of what the event would be like and of what would be on the menu.

7. A Public hearing to consider a Certificate of Approval for Exterior Alterations at 827 10th Street (stucco removal and various) (HPDR2022-0010)

Chair Brunswig called for conflicts of interest. Commissioner Jaehn disclosed he had a conflict of interest and stepped out for this public hearing.

Ms. Kellums addressed the commission and introduced the item as an application for a Certificate of Approval for exterior alteration at 827 10th Street. Ms. Kellums explained that the proposal of the project was to remove non historic stucco over the storefront and removal of the existing awning, to clean the brick, repoint mortar joints as needed, paint the sign band if needed, to replace the existing awning with a retractable awning, and install gooseneck light fixtures. Ms. Kellums mentioned the store shared a façade with Kingsford Law Office but at this point the project was just going to be at 827th Street. She presented several photographs showing the existing condition of the property as well as photographs with narratives describing the proposed changes.

Staff reviewed the application according to the criteria and the standards in Section 24-1003(j) of the Greeley Municipal Code and therefore staff recommends approval of the stucco removal, installation of the retractable awning and installation of gooseneck light fixtures. Staff further recommends conditional approval of the brick cleaning and mortar repointing with the applicant working with Staff to test the brick cleaner and determine if it will not damage the brick, as well as ensure the mortar mix for the repointing is compatible with the existing mortar. Staff recommends the applicant work with the staff to determine if painting of the sign band is needed. If determined to be needed, staff recommends approval of the painting of the sign band.

The applicant, Ashley Fusco 1319 15th Ave addressed the Commission, thanked Ms. Kellums for her presentation and offered to answer any questions. Commissioner Llanas asked if there was a window under the stucco and if it was going to be kept. Upon further review of the pictures, it was not a window but tile.

Chair Brunswig opened the public hearing at 4:18 p.m. There being no comment, the public hearing was closed at 4:18 p.m.

Commissioner Azari moved that based on the application received and the preceding analysis, the Commission finds that the proposed exterior alterations at 827 10th Street meets Criteria and standards A, C, E, F, and H of section 24-1003(j) of the Greeley Municipal Code and therefore approves the Certificate of Approval, with the condition of the brick cleaning and mortar repointing with the applicant working with Staff to test the brick cleaner and determine if it will not damage the brick and that all required permits be obtained. Commissioner DePetro seconded the motion. The motion carried 5-0. (one Commissioner absent and Commissioner Jaehn recused himself).

8. Public hearing to consider a Certificate of Approval for Exterior Alterations at 1303 9th Avenue (porch rehabilitation) (HPDR2022-0011)

Chair Brunswig called for conflicts of interest. No Commissioners disclosed conflicts of interest. Ms. Kellums addressed the Commission and introduced the item as an application for a Certificate of Approval for exterior alteration at 1303 9th Ave. Ms. Kellums explained that the applicant requests approval for a proposed porch rehabilitation project, which includes supporting the porch roof and post, deconstruction of the concrete block porch walls, repair of deteriorated features and replacement with like material and design. She presented several photographs showing the existing condition of the property as well as photographs with narratives describing the proposed changes.

Staff reviewed the application according to the criteria and the standards in Section 24-1003(j) of the Greeley Municipal Code and therefore staff recommended approval for a proposed porch rehabilitation project, which includes supporting the porch roof and post, deconstruction of the concrete block porch walls, repair of deteriorated features and replacement with like material and design.

The applicant, Paul Donaghey 204 5th Ave Longmont, CO addressed the commission, thanked Ms. Kellums for her presentation and offered to answer any questions. Commissioner Azari asked if the posts need replacement what they are going to use and if they are going to try to save as much of the original posts as they can. Mr. Donaghey answered that they would try to save as much as they can and are going to replace only when needed with similar material. He also stated they will be doing everything up to code.

Chair Brunswig opened the public hearing at 4:30 p.m. There being no comment, the public hearing was closed at 4:30 p.m.

Commissioner DePetro moved that based on the application received and the preceding analysis, the Commission finds that the proposed exterior alterations at 1303 9th Avenue meets Criteria and standards A, B, C, E, F, and H of section 24-1003(j) of the Greeley Municipal Code and therefore approves the Certificate of

Approval, with the condition that all required permits be obtained. Commissioner DePetro second the motion. The motion carried 6-0 (one Commissioner absent).

9. Commission Member Reports

Commissioner Azari mentioned he had gone to visit the facilities department at Greeley Evans School District 6. He mentioned they had a great collection of historical pictures and told the Commission it was be a great place to visit when they get a chance.

10. Staff Report

Ms. Kellums gave a reminder about the CPI conference for 2023 has been scheduled for February 8th though the 10th in Boulder. Ms. Kellums mentioned how the website for the conference was asking for people to participate in the conference planning committee and if the commissioners would be interested in participating. She also mentioned she would have another public hearing on November 21st, 2022.

11. Adjournment

With no further business before the Commission, Chair Brunswig adjourned the meeting at 4:41 p.m.

Bob Brunswig, Chair

Elizabeth Kellums, Secretary

Historic Preservation Commission Agenda Summary

November 21, 2022

Key Staff Contact: Elizabeth Kellums, Planner III – Historic Preservation, 970/350-9222

Title:

Public Hearing for Request for Certificate of Approval for New Construction of a Greenhouse at 515 23rd Avenue

Summary:

Caleb Bussard, applicant on behalf of owner West Greeley Conservation District, requests approval to construct a 72' x 42' greenhouse in the southwest corner of the Houston Gardens property.

Recommended Action:

Staff recommends approval conditional upon the applicant obtaining all required permits.

Attachments:

Staff Report

Attachment A – Application and Narrative for Certificate of Approval

Attachment B – Construction Documents

Attachment C – Site Photos

Attachment D – Existing Site Map

HISTORIC PRESERVATION COMMISSION SUMMARY

ITEM: Certificate of Approval

CASE NUMBER: HPDR2022-00012

PROJECT: New Construction – Greenhouse

LOCATION: 515 23rd Avenue

APPLICANT: Caleb Bussard, on behalf of owner West Greeley Conservation District

CASE HISTORIC PRESERVATIONIST: Elizabeth Kellums

HISTORIC PRESERVATION COMMISSION HEARING DATE: November 21, 2022

HISTORIC PRESERVATION COMMISSION FUNCTION:

Review the proposal for compliance with Criteria and Standards for altering designated properties or contributing properties in an historic district in Section 24-1003j of the City of Greeley Municipal Code and approve or deny the request.

PROJECT OVERVIEW AND BACKGROUND:

Proposed Project

On October 14, 2022, contractor representative Caleb Bussard of DS Constructors and architect Kelly Deitman, Halcyon Design, on behalf of owner West Greeley Conservation District submitted an application for a Certificate of Approval for new construction of a greenhouse at Houston Gardens at 515 23rd Avenue to the Historic Preservation Office. The applicant proposes to construct a 72'x42' greenhouse constructed of 8mm twin wall clear polycarbonate walls and roof with a concrete floor, two overhead doors, and one access door. It would be located 135' southwest of the house and 33'8" north of the south property line and 60' from the west property line. The area for the proposed greenhouse is currently open space. The Engineering Development Review staff requested a drainage memo from the project engineer indicating if the project will or will not change historic drainage patterns because of the increase in imperviousness. However, there were no other potential engineering concerns because no water or sewer mains or services are being added nor are there any streets being developed.

Please see the Application and Narrative for a Certificate of Approval (Attachment A), Construction Documents (Attachment B), Site Photos (Attachment C) and the Existing Site Map (Attachment D).

Existing Conditions

The site has a historic house and detached garage, and a non-historic restroom building. The area proposed for the greenhouse is a vacant unpaved area south of the dirt driveway and west of the community gardens. A shade shelter, approved by the HPC in March 2021, is located north of the proposed greenhouse location.

Background

The Historic Preservation Commission designated Houston Gardens at 515 23rd Avenue on the Greeley Historic Register in July 2002 for historical, architectural and geographical significance. The site is subject to review by the Historic Preservation Commission for major alterations and is subject to the Historic Preservation General Design Review Guidelines.

SITE DATA:

Legal Description:	GR 17300 PT NE4SE4 1 5 66 (WEST GREELEY ANNEX) BEG SE COR SEC N0D21'W 2009.47' S89D54'W 38' TO W LN 23 AVE & TRUE POB S0D21'E 367.58' TO NE COR 3RD ADD TO HOUSTON HTS S89D54'W 369.91' N0D05'W 367.57' N80D37'W 503.7' N08D38'E 51.63' S55D33'E 34.1' S79D33'E 504.66' S26D58'E 25.06' N89D54'E 321.55' TO BEG City of Greeley, County of Weld, State of Colorado
Neighborhood:	N/A
Designation:	Individually designated on the Greeley Historic Register
Year Property Built:	ca. 1920s
Architectural Style/Type:	Vernacular with Shingle Style Features
Zoning:	Residential – Low (R-L)
Dates of Significant Renovations:	Building Permit for construction of public restrooms; Owner: Community Foundation for Greeley and Weld County; Contractor: Brent Richter; Permit #07050123; Date: 4/23/2007. Certificate of Approval for new restroom building, 515 23 rd Avenue, 14x14, 2 rooms, concrete block with wood shingle siding, vinyl windows & asphalt shingle roof; Owner: Community Foundation; Applicant: Assistance League of Greeley;

Approved 5/14/2007, Recorded 5/30/2007,
Recording #3479439.

Permit for 6' + 1' chain link fence, 1 x 140- rolling
gate and 2 – 4 x 6 gates; Owner: Phylabe Houston;
Contractor: Everitt Lumber; Permit #760202; Date:
5/5/1976; Final: 1/10/1977.

Permit for 6' chain link with 3 strand barbed wire;
Contractor: Northern Colorado Fence; Permit
#770311; Date 7/13/1977.

Source: Building Permit File and Greeley Historic
Register property file for 515 23rd Avenue

KEY ISSUES AND ANALYSIS:

The proposed work is evaluated according to the relevant criteria for alteration of designated properties, defined in Section 24-1003j of the Greeley Municipal Code, as follows in the staff analysis.

Greeley Municipal Code, Section 24-1003j Criteria and Standards

1. Alterations. Criteria and standards for alterations to a designated property or a property in a historic district are as follows:

- (a) The effect of the alteration or construction upon the general historical or architectural character of the designated property.*
- (b) The architectural style, arrangement, texture and materials of existing and proposed construction, and their relationship to other buildings.*
- (c) The effects of the proposed work in creating, changing or destroying the exterior architectural features and details of the structure upon which the work shall be done.*
- (d) The compatibility of accessory structures and fences with the main structure on the site and with adjoining structures.*
- (e) The effect of the proposed work upon the protection, enhancement, perpetuation and use of the landmark or landmark district.*
- (f) Compliance with the current Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, as defined in 24-1003.m.*
- (g) If the property is a non-contributing property in a historic district, then alterations will be in accordance with the district designation plan as recommended by the Commission and approved by City Council.*

- (h) *Other requirements for alterations of a designated property or contributing property in a district as are required by the procedures and bylaws established by the Commission.*

Secretary of the Interior's Standards for Rehabilitation

- (1) *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*
- (2) *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
- (3) *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other buildings will not be undertaken.*
- (4) *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- (5) *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- (6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- (7) *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- (8) *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- (9) *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
- (10) *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Applicable Guidelines from the General Design Review Guidelines

New Alterations and Additions

When planning new alterations and additions, consider the effect on significant historic materials and features of the property. Loss of historic building fabric should be minimized. The addition should not affect the ability to perceive the historic character of the building, especially from public ways, such as streets, alleys, and parks.

Contemporary interpretation of the original structure is an appropriate alternative to a more replicative design. It needs to be compatible with the overall architecture but simplified in style and detailing and must appear newer.

34. Minimize negative technical effects upon original features.

- a. *Consider the technical impacts of new construction on a historic structure. For example a construction process may cause vibration that results in cracks in a historic masonry wall.*
- b. *New alterations should be accomplished in such a way that they can be removed without destroying original materials or features.*

37. Design additions and alterations to be compatible in size, scale, and appearance with the main building.

- a. *An addition or alteration should be visually subordinate to the main building.*
- b. *An addition or alteration should be simpler than the original structure. For example, incorporate simplified versions of character defining elements of the original structure.*
- c. *Use roof forms that are compatible with the original structure. The shape, pitch, and material should be similar to the original structure.*
- d. *Maintain the solid-to-void (wall to opening) ratio of the original structure.*

38. Use materials that are compatible with the primary structure.

In a district, materials similar to those of adjacent structures may also be considered.

Secondary Structures

Secondary structures, including carriage houses, garages, and sheds, are important elements of residential sites. They help establish a sense of scale and define yards. Their presence helps interpret how an entire site was used historically.

61. Locate new secondary structures to reinforce historical development patterns. Use guidelines for additions as a basis for design.

- a. *Place a garage or other secondary structure at the rear of the property.*
- b. *Reinforce historical patterns by using an alley to access a garage.*
- c. *Avoid making new curb cuts for driveways.*

Staff Analysis:

The proposed greenhouse project complies with the applicable criteria and standards for the following reasons:

The proposed greenhouse would have a neutral impact on the historic property, as it would be a polycarbonate structure that should not impact the historic structures on the property. The location of the greenhouse at the back of the property should minimize any impacts on the property. It would not obstruct views of historic architectural or landscape features and it would not touch or affect historic materials. The proposed greenhouse would be a compatible use with the site. The greenhouse would enhance the use of the site by allowing gardening during the winter and thus have a positive effect on the protection, enhancement, perpetuation, and use of the property. The proposed greenhouse does not impact the integrity of the site, as the site conveys significance with or without the greenhouse. For these reasons, the proposed shade shelter would meet the Criteria and Standards in Section 24-1003(j)(1)a, b, c, and e.

The proposed greenhouse would meet the Secretary's Standards #9 and 10, and therefore Criteria and Standard f in Section 24-1003(j), for alterations because it would be compatible with the house and garage and would not affect historic fabric. It would also not impact the historical integrity of the site, and if it is removed in the future, the site would not be changed and could continue to convey significance.

The proposed project would also meet the design guidelines for new alterations and additions and for secondary structures. The structure would be more than 60 feet to the southwest of the house and would not affect the house or historic fabric. The addition of the greenhouse to Houston Gardens would not affect or obscure historic features and if removed in the future, the site would not be adversely affected. The proposed greenhouse would be compatible and visually subordinate, as it would set back from the property line and behind the house to the southwest. The proposed greenhouse would also meet the guidelines for secondary structures with the location at the rear of the property, which visually minimizes the impact of the structure on the property as a whole. For these reasons, the proposed shade shelter project would meet the design guidelines and therefore Criteria and Standard h in Section 24-1003(j) of the Greeley Municipal Code.

In summary, for these reasons, the proposed greenhouse meets the Criteria and Standards in Section 24-1003(j) of the Greeley Municipal Code, including the Secretary of the Interior's Standards and the General Design Guidelines.

Section 24-1003(j) (1) Criteria and Standards Addressed: a, b, c, e, f, and h (Secretary's Standards #9, 10) and the Design Guidelines for New Alterations and Additions and Secondary Structures

PUBLIC NOTICE:

Greeley Municipal Code Section 24-1003(f) specifies public notification requirements for Certificate of Approval applications, specifically posting a sign at the property, readily visible by adjacent property owners and from the public right-of-way, no less than 14 days prior to the public hearing. The applicant posted notice at this property on November 3, 2022. On October 31, 2022, Staff emailed a letter of notification to the applicant with the date, time and location of the public hearing. No inquiries have been received as of November 15, 2022.

STAFF RECOMMENDATION:

Approval, with the condition that all required permits be obtained.

RECOMMENDED MOTION:

A motion that, based on the application received and the preceding analysis, the Commission finds that the proposed greenhouse at Houston Gardens at 515 23rd Avenue meets (1) Criteria and Standards a, b, c, e, f, and h, including Secretary of the Interior's Standards #9, 10 of Section 24-1003(j)(1) of the Greeley Municipal Code, and therefore approves the Certificate of Approval, with the condition that all required permits be obtained.

ATTACHMENTS:

Attachment A – Application & Narrative for Certificate of Approval

Attachment B – Construction Documents

Attachment C – Site Photos

Attachment D – Existing Site Map



City of Greeley
 Community Development Department
 Historic Preservation Office
 1100 10th Street
 Greeley, CO 80631
 970.350.9222
www.greeleygov.com/hp

PROCEDURES FOR MAJOR ALTERATIONS TO A HISTORIC PROPERTY

Application Packet

The City of Greeley's Historic Preservation Code, Section 24-1003 of the Greeley Municipal Code, requires that no major exterior alteration be made to any designated historic property or any property within a designated historic district without a Certificate of Approval issued by the Historic Preservation Commission. Alteration means any act or process requiring a building permit, moving permit, demolition permit or sign permit for the reconstruction, moving, improvement or demolition of any designated property or district; or any other action in which a review by either the Historic Preservation Commission or the Historic Preservation Specialist is necessary under the Historic Preservation Code and/or the district designation plan and in accordance with the definitions of major and minor alterations. The Historic Preservation Commission issues Certificates of Approval to indicate its approval of major alterations. Major alteration means a modification to a structure that has potential to significantly alter the character of the property and includes, but is not limited to, window replacement; building addition; porch enclosure; reconstruction of a portion of the primary building; addition of dormers or other alteration to the roofline; reconstruction of features on a building; material replacement with a different material (e.g., siding); alteration or replacement of a character-defining feature; demolition; relocation; and new construction. Major alteration includes any modification that is not considered maintenance or a minor alteration. The Historic Preservation Commission makes all Certificate of Approval decisions for major alterations, which may be appealed to City Council. The Commission may approve, approve with conditions or deny applications.

The Commission will review the Certificate of Approval applications according to the following criteria and standards in Section 24-1003j of the Greeley Municipal Code:

- (1) Criteria and standards for alterations to a designated property or a property in a historic district are as follows:
 - (a) The effect of the alteration or construction upon the general historical or architectural character of the designated property.
 - (b) The architectural style, arrangement, texture and materials of existing and proposed construction, and their relationship to the other buildings.
 - (c) The effects of the proposed work in creating, changing or destroying the exterior architectural features and details of the structure upon which the work shall be done.
 - (d) The compatibility of accessory structures and fences with the main structure on the site and with adjoining structures.
 - (e) The effect of the proposed work upon the protection, enhancement, perpetuation and use of the landmark or landmark district.
 - (f) Compliance with the current Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, as defined in 24-1003(m).

- (g) If the property is a noncontributing property in a historic district, then alterations will be in accordance with the district designation plan as recommended by the Commission and approved by City Council.
- (h) Other requirements for alterations of a designated property or contributing property in a district as are required by the procedures and bylaws established by the Commission.

DEFINITIONS

Alteration means any act or process requiring a building permit, moving permit, demolition permit or sign permit for the reconstruction, moving, improvement or demolition of any designated property or district; or any other action in which a review by either the Historic Preservation Commission or the Historic Preservation Specialist is necessary under this Chapter and/or the district designation plan and in accordance with the definitions of major and minor alterations, for the purposes of this Chapter.

Maintenance, as used in this Chapter, means measures to protect and stabilize a property, including ongoing upkeep, protection and repair of historic materials and features. *Maintenance* shall include the limited and responsive upgrading of mechanical, electrical and plumbing systems and other Code-required work to make a property safe and functional.

Major alteration, for the purposes of this Chapter, means a modification to a structure that has potential to significantly alter the character of the property and includes, but is not limited to, window replacement; building addition; porch enclosure; reconstruction of a portion of the primary building; addition of dormers or other alteration to the roofline; reconstruction of features on a building; material replacement with a different material (e.g., siding); alteration or replacement of a character-defining feature; demolition; relocation; and new construction. *Major alteration* includes any modification that is not considered maintenance or a minor alteration.

Minor alteration, for the purposes of this Chapter, means a modification to a structure that does not significantly alter the character of the property and includes, but is not limited to, replacement of roof; installation and repair or replacement of gutters if exterior trim elements are not altered; reconstruction and/or repair of portions of secondary structures; addition or replacement of storm windows and doors to existing windows and doors; repair or replacement of architectural elements with the same material, design, size, color and texture; replacement of less than fifty percent (50%) of a porch railing; replacement of original material with the same material (e.g., replacing a portion of wood siding with wood siding of the same size, profile and type); removal of nonoriginal material, such as vinyl, aluminum, etc.; adding awnings; repainting masonry; and signs requiring a permit.

CERTIFICATE OF APPROVAL PROCESS

Step 1. Pre-Application Conference

- Consult with Historic Preservation Staff @ e-mail: elizabeth.kellums@greeleygov.com) or (970) 350-9222
- Receive Application Form for Certificate of Approval
- Review requirements with Historic Preservation Staff

Step 2. Formal Application

- Submit Application Form for Certificate of Approval and all required information through eTRAKiT on the City of Greeley website: <http://greeleygov.com/services/etrakit>
- Application requires owner signature if owner is not the applicant.
- Special information may be requested by the Commission if required for use by persons or groups providing advisory assistance.
- Incomplete applications will hold up the process. Additional information may be requested.

Step 3. Notification, Scheduling and Posting

- **Allow a minimum of 21 days from the receipt of the application to the date of the public hearing.** Additional time may be required on a case-by-case basis.
- The City will mail or email a notice of the hearing to the applicant and property owner no less than seven days prior to the hearing. The Historic Preservation Commission will hold the public hearing at a regularly scheduled meeting. They meet on the first and third Mondays of each month at 4:00 p.m.
- The City will post a sign at the property seven days prior to the hearing.

Step 4. Public Hearing

- Attend the Certificate of Approval Hearing. The formal hearing will follow a pre-written agenda as follows:
 - a. Chair Introduces Public Hearing Agenda Item
 - b. Historic Preservation Staff Report
 - c. Applicant presentation
 - d. Public comment.
Names and addresses for the record
 - e. Applicant rebuttal
 - f. Chairman calls for motion and Commission discussion

Step 5. Disposition

- Approval or denial of the Application for Certificate of Approval shall be granted after the Commission has heard all interested parties and relevant evidence.
- If the Application is approved, alteration, relocation or demolition of the structure may not commence until the Certificate of Approval has been filed with the Weld County Clerk and Recorder and all required permits have been issued. ***The City will get the Certificate of Approval and required attachments, such as architectural drawings, recorded by the Clerk and Recorder.***
- ***If approved, work shall be completed within twelve (12) months of the date of Commission approval, with the option for two (2) six-month extensions, as approved by the Community Development Director.***

***The applicant is responsible to pay all required recording fees. The Historic Preservation Staff will input the fee into TRAKiT and will inform the applicant of the cost of recording. Please provide payment in the form of electronic check or credit card through the eTRAKiT portal.** Recording fees are \$15 for the first page that is 8 ½” x 11” (letter) or 8 ½” x 14” (legal) and \$5 for each additional page. For questions about what the recording fee will be, please contact the Historic Preservation Staff at 970.350.9222.



City of Greeley Community Development Department, Historic Preservation Office, 1100 10th Street, Greeley, CO 80631 970.350.9222
www.greeleygov.com/hp

**APPLICATION FORM FOR CERTIFICATE OF APPROVAL, 4L
 MAJOR ALTERATIONS**

The City of Greeley's Historic Preservation Code, Section 24-1003 of the Municipal Code, requires that no exterior major alteration is permitted of any designated historic property or property within a designated historic district without a Certificate of Approval issued by the Historic Preservation Commission. Please complete pages 5, 7, and 8 and add additional sheets as necessary.

PROPERTY OWNER(S)

Name: Kandee Nourse. West Greeley Conservation District
 Address: 4302 9th St Rd
Greeley, CO 80634
 Phone: 970.534.2317
 Cell phone: _____
 Email: kandee.nourse@wgcd.org

**APPLICANT (if different
 From property owner)**

Name: Caleb Bussard. OS Constructors
 Address: 903 N. Cleveland Ave.
Loveland CO 80537
 Phone: _____
 Cell phone: 970.635.3534
 Email: cbussard@dsconstructors.com

HISTORIC PROPERTY

Name: Houston Gardens
 Address: 515 23rd
 Ave.
 Historic District (if applicable): Ave.

Legal Description: GR 17300 PT NE4SE4 1 5 66 (WEST GREELEY ANNEX) BEG SE COR
SEC N0D21'W 2009'.47 S89O54'W 38' IOWL N23 AVE&TRUE POB
S0D21'E 367.68' TO NE COR 3RD ADD TO HOUSTON I-ITS S89D54'W
369.91' N0D05'W 367.57 N80D37'W 503.7' N08D38'E 51.63' S55D33'E 34.1'

Certification: I certify that the information W@e,♦♦Bil's-♦♦♦♦%f,MRi:♦♦♦it2a1M' l&Hl.fa> to the best of my knowledge.

Applicant (Print): OS Constructors

Telephone: 970.635.3534

Signature: C.d&:£-i-z Z

Date: 10.12.22

Property owner's signature required. If applicant is other than property owner, property owner approves of the applicant's proposed project.

Owner (Print): Kandee Nourse

Telephone: 970, 635-1.£3/7

Signature: Kandee Nourse

Date: Orl:uW \ ? oi):)a-

Certificate of Approval Major Alterations
 Greeley Historic Register

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MAJOR ALTERATIONS CERTIFICATE OF APPROVAL SUBMITTAL CHECKLIST

Include all pertinent information identified on the following page(s), as well as special information requested by Historic Preservation Staff. Add additional sheets for narrative/information as necessary. Additional copies may be requested by Staff, if required for use by persons or groups providing advisory assistance. Submit this application and all required attachments through the City of Greeley website project module of eTRAKiT:

<http://greeleygov.com/services/etrakit>

The need for additional documents, as listed below, will be determined in a consultation with Historic Preservation Staff and may include:

ALTERATIONS

- ☐ Pre-application Conference (in person or phone) (not required) 10-11-2022
Date
- ☒ Application Form signed by applicant and owner (if different)
- ☒ For projects involving architectural drawings, one set 11"x17" (and larger if requested) scaled project drawing(s), including name, date, project address, north arrow, graphic scale, date of drawings, and name, address & phone of owner and designer (if drawings are needed); or
- ☐ Mock-Up of signs or awnings, as needed N/A
- ☒ Product literature, if applicable, such as for window, roof projects, etc.
- ☐ If the proposal is for replacement of historic material, such as windows or siding, provide estimates from qualified contractors for repair and restoration and for replacement. N/A
- ☒ Digital photos accurately representing existing materials, colors, and textures of each side of the building, site or structure to be affected. Date the photographs. Provide information about the view (such as view looking to the north), name of the photographer and about the subject of the photo.
- ☒ Narrative of the proposed project (please type or print legibly on a separate page) Please include responses to the following:
- a. What is the proposed project? Include detailed information about materials, design, measurements, location on the building or property.

The project scope includes construction of a new, 72'x42' Green house. The green house is composed of a concrete foundation with interior concrete floor, concrete exterior approach aprons and landings. The green house exterior walls and roof are composed of 8mm Twin Wall Clear Polycarbonate. 2 Overhead coiling doors and one access door. The Proposed green house is located approximately 135' South West of the existing historic structure which is not utilized as an administrative office.

b. Time constraints on the project/Project urgency?

DS Constructors is under contract and the project is awaiting approval to begin construction.

- c. **Identify which design guidelines relate to the project. Explain how the proposed project meets the guidelines. Provide justification if the proposed project does not meet the guidelines.**

Guidelines are available for download on the City's historic preservation website,
<http://greeleygov.com/services/historic-preservation/documents>

General guidelines are relevant for individually designated properties. District guidelines are also available for properties located with Greeley Historic Register designated districts.

Contact the Historic Preservation Office at 970.350.9222 or elizabeth.kellums@greeleygov.com for more information or for assistance.

Design Guidelines Section IV

Appropriateness of Use: The new green house will allow the ability to garden year round, and in inclement weather.

Preservation of Original Features: Existing structures on the site will not be affected or changed by the erection of the new green house. The new structure will have a 10'-3" Wall Height with the gable peak being 21' -0" to maintain scale with existing buildings.

Exterior General: Existing structures on the site will not be affected or changed by the erection of the new green house.

Masonry: No masonry is proposed for use on this project. There is no exterior masonry on existing structures.

Wood: No wood features will be used on the New Greenhouse.

Roofs: The roof will be composed of 8mm Twin Wall Clear Polycarbonate with one operable Vent section.

Doors and Entrances: There are 2 overhead coiling doors with one Man door access door.

Windows: There are no windows proposed for the green house. The clear polycarbonate acts as one big window.

Site Features: Existing site features will not be disturbed. The Greenhouse occupies an area that is clear.

Replacement or Substitution of Original Features: Existing structures on the site will not be affected or changed by the erection of the new green house.

Mechanical Equipment: There are visible exhaust fan shrouds on the East wall of the greenhouse.

Existing Alterations on Historic Buildings: Existing structures on the site will not be affected or changed by the erection of the new green house.

New Alterations and Additions: Existing structures on the site will not be affected or changed by the erection of the new green house.

Guidelines Related to Residential Structures have not been addressed as this is not a residential property.

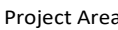
Greenhouse

515 23rd Ave.

Greeley, CO 80634



Not to Scale



Not to Scale



DS
CONSTRUCTORS
WORKING TOGETHER TO BUILD THE FUTURE

3780 Garfield Ave.

Loveland, CO 80538



Attachment B

Halcyon Design LLC

PO Box 684
LaSalle, CO 80645

Civil Engineer:

i2 Consultants

16911 Potts Place
Mead, CO 80504

Structural Engineer:

LT Engineering

5620 Zuni St

Denver, CO 80221

Mechanical/Electrical/ Plumbing Engineer:



7344 Greenridge Rd. Ste B

Windsor, CO 80550

ALL CONSTRUCTION SHALL CONFORM TO CURRENT INTERNATIONAL BUILDING CODE AND ALL OTHER APPLICABLE CODES.

DO NOT SCALE DRAWINGS FOR DIMENSIONS.

Houston Gardens Greenhouse

515 23rd Ave.

Greeley, CO 80634



PO Box 684

LaSalle, CO 80645
303.906.2617



DATE _____

9.7.22

REVISIONS

SHEET TITLE

Cover Sheet

SHEET NUMBER

A00

Project No. 2118

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR EASEMENT SHALL CONFORM TO THE CITY OF GREELEY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT. A PERMIT FROM PUBLIC WORKS DEPARTMENT IS REQUIRED FOR ALL CONSTRUCTION IN PUBLIC RIGHT-OF-WAY OR EASEMENTS. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY REPRESENTATIVES BEFORE A PERMIT WILL BE ISSUED. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 FOR UTILITY LOCATES AT LEAST 14 BUSINESS DAYS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF GREELEY AT 970-350-9539 AT LEAST 24 HOURS PRIOR TO ANY REQUIRED INSPECTION.
4. IT IS THE CONTRACTORS' RESPONSIBILITY TO NOTIFY THE OWNER/ DEVELOPER, AND THE CITY, OF ANY PROBLEMS IN CONFORMING TO THE ACCEPTED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
5. IT IS THE RESPONSIBILITY OF THE DEVELOPER DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS, OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROJECT. IF, IN THE OPINION OF THE CITY, THE PROBLEMS PROPOSED BY THE DEVELOPER, TO THE ACCEPTED PLANS, INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR RE-SUBMITTING THE REVISED PLANS TO THE CITY OF GREELEY FOR ACCEPTANCE. ANY CHANGES TO THE PROJECT RELATED TO THAT WHICH THE CITY OF GREELEY HAS DETERMINED IMPROVEMENTS NOT CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED PLANS, OR THE ACCEPTED REVISED PLANS, SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO THE APPROVED PLAN.
6. THE CONTRACTOR SHALL SOLELY BE RESPONSIBLE AND CONSISTENT FOR THE CONDITIONS AT AND ADJACENT TO THE PROJECT SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE PROJECT SITE.
7. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND ANY NECESSARY SUPPLEMENTS TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS. ANY MONUMENT THAT MUST BE DESTROYED FOR CONSTRUCTION SHALL BE REPLACED. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL LICENSED SURVEYOR (PLS) PRIOR TO DISTURBING ANY MONUMENTS.
9. PROTECT OR REPAIR OR SURFACE PAVEMENT. ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND CURB LINE, WHEN ALLOWED BY THE UTILITY. SERVICE FROM PUBLIC UTILITIES AND FROM SANITARY SEWERS SHALL BE MADE AVAILABLE FOR EACH LOT IN SUCH A MANNER THAT WILL NOT BE NECESSARY TO DISTURB THE STREET PAVEMENT, CURB, GUTTER, AND SIDEWALK WHEN CONNECTIONS ARE MADE.
10. A. A FINAL GRADING PLAN HAS BEEN PREPARED FOR THE PROJECT. THE CONTRACTOR SHALL PROTECT OR RIGHT-OF-WAY GRADING AND PAVING. REFER TO GEOTECHNICAL REPORT FOR ANY REQUIREMENTS EXCEEDING CITY STANDARDS. A FINAL PAVEMENT DESIGN REPORT IS ALSO REQUIRED. THE SOIL INVESTIGATION FOR THIS REPORT SHALL OCCUR AFTER UTILITY LOCATES AND BEFORE ANY GRADING OR PAVING OF STREETS IS COMPLETED. WITHIN 60 DAYS OF ANTICIPATED COMPLETION OF THE PAVEMENT DESIGN REPORT SHALL BE ACCEPTED BY THE CITY OF GREELEY PRIOR TO ANY NON-STRUCTURAL CONCRETE, PAVEMENT OR SUBGRADE INSTALLATION.
11. THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 6:00AM AND 6:00PM ON NORMAL CITY OF GREELEY BUSINESS DAYS. UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.

1. ALL CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY SHALL CONFORM TO THE CITY OF GREELEY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.

2. ALL OVER/LOT GRADING IN THE RIGHT-OF-WAY OR EASEMENT SHALL BE COMPLETED PRIOR TO INSTALLING POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION MAINS AND SERVICE LINES PRIOR TO CONSTRUCTION. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR DIAL 811 FOR UTILITY LOCATES 48 HOURS PRIOR TO ANY EXCAVATION WORK.

3. MAINTAIN A MINIMUM OF TEN (10) FEET HORIZONTAL CLEAR DISTANCE SEPARATION BETWEEN POTABLE WATER MAINS/SERVICES AND SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. POTABLE WATER MAINS/SERVICES ARE TO BE LOCATED 18" INCHES MINIMUM ABOVE SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS AND THE SANITARY SEWER OR NON-POTABLE MAINS/ SERVICES CANNOT BE LOCATED BELOW THE WATER MAIN OR SERVICE, A CLEAR VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BELOW CANNOT BE MAINTAINED, OR A MINIMUM TEN (10) FOOT HORIZONTAL SEPARATION CANNOT BE ACHIEVED, THE CITY SHALL BE CONTACTED IMMEDIATELY TO REVIEW THE SITUATION.

4. IF A CHANGED WATER LINE LOWERING OR DEEPENING IS REQUIRED, THE CITY ENGINEER IS REQUIRED TO UNIFORM FIELD CONDITIONS. A DETAILED DRAWING SHALL BE PROVIDED TO THE CITY FOR ACCEPTANCE PRIOR TO PERFORMING THE WORK.

5. WHERE POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION LINES ARE LOCATED IN COMMON UTILITY EASEMENT AREAS, THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR OF ANY CHANGES TO THE CONSTRUCTION OF THE EASEMENT.

6. THE CONTRACTOR SHALL NOTIFY THE CITY ONE (1) WEEK PRIOR TO COMMENCING WORK AFTER CITY ACCEPTED CONSTRUCTION DRAWINGS HAVE BEEN DISTRIBUTED AND A PRECONSTRUCTION MEETING HAS BEEN HELD WITH THE CITY.

7. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO BE CROSSED BY POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES AT LEAST 24 HOURS PRIOR TO CONSTRUCTION OF ANY POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION CLEAR FOR BORED CROSSINGS, HORIZONTAL AND VERTICAL LOCATION OF CROSSED EXISTING UTILITIES SHALL BE RECORDED ON THE AS-CONSTRUCTED RECORD DRAWINGS.

8. SANITARY SEWER, POTABLE WATER, AND NON-POTABLE IRRIGATION LINES DURING CONSTRUCTION TO THE POTABLE WATER DISTRIBUTION, SANITARY SEWER COLLECTION, OR NON-POTABLE IRRIGATION SYSTEM DESIGNS BE CONSIDERED, NOTICE MUST FIRST BE GIVEN TO THE CITY TO DETERMINE IF IT NEEDS ACCEPTANCE BY THE CITY. IF SO, A NEW PLAN SHALL BE DRAWN AND SUBMITTED TO THE CITY FOR ACCEPTANCE BY THE DESIGN ENGINEER 72 HOURS PRIOR TO CONSTRUCTION.

10. ALL PLANS ARE VALID FOR CONSTRUCTION ONE (1) YEAR FROM THE DATE OF CITY SIGNATURE ACCEPTANCE.

11. ALL POTABLE WATER MAINS, SERVICES, AND HYDRANT LINES SHALL HAVE A MINIMUM COVER OF FIVE (5) FEET AND A MAXIMUM COVER OF SIX (6) FEET UNLESS OTHERWISE INDICATED ON THE ACCEPTED CONSTRUCTION DRAWINGS.

12. ALL NON-POTABLE WATER MAINS AND SERVICES SHALL HAVE A MINIMUM COVER OF THREE AND A HALF (3.5) FEET AND A MAXIMUM COVER OF SIX (6) FEET UNLESS OTHERWISE INDICATED ON THE ACCEPTED CONSTRUCTION DRAWINGS.

13. ALL NEW WATER MAINS SHALL BE BULKHEADED AND TIED AND APPROVED PRIOR TO CONNECTION TO THE EXISTING WATER SYSTEM, VALVES WHICH PASS TESTING FOR PRESSURE AND LEAKAGE AT THE TIME OF INSTALLATION AND THE TESTING WAS PERFORMED IN THE PRESENCE OF THE CITY MAY BE CONSIDERED AS A BULK HEAD.

14. ALL UTILITY CROSSLINGS OF POTABLE WATER, SANITARY SEWER AND NON-POTABLE IRRIGATION LINES SHALL BE ENCASED IN HIGH DENSITY POLYETHYLENE (HOPE) PIPE, WITH A MINIMUM STANDARD DIMENSION RATIO (SDR) 11 ACROSS THE ENTIRE EASEMENT OR RIGHT-OF-WAY WIDTH. THE EASEMENT JOINT SHALL BE BUTT FUSED. FLEXIBLE JOINTS ARE NOT ALLOWED.

15. WET TAPS SHALL BE DRILLED BY THE CITY FOR A FEE. CALL 970-355-9810 AT LEAST 48 HOURS IN ADVANCE TO PAY FEES AND SCHEDULE TAP.

17. ABANDONMENT OF EXISTING WATER SERVICE SHALL BE PER CITY OF GREELEY WATER AND SEWER SPECIFICATIONS. A CITY OF GREELEY REPRESENTATIVE SHALL BE PRESENT TO VERIFY THE ABANDONMENT OF THE SERVICE.

18. PRIOR TO EXCAVATION AND CONSTRUCTION OVER AND NEAR THE EXISTING WATER AND SEWER MAINS, PLEASE CONTACT THE WATER AND SEWER DEPARTMENT RIGHT-OF-WAY STAFF AT (970) 350-8539, TO COMPLETE THE APPLICABLE DOCUMENTATION TO WORK WITHIN THE RIGHT OF WAY AND EASEMENTS.

19. ALL CITY-APPROVED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED ON EACH DOMESTIC WATER SERVICE LINE (WATER SERVICE, DEDICATED FIRE LINE, IRRIGATION SERVICE) IMMEDIATELY AFTER IT ENTERS THE BUILDING. INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BY FEDERAL AND STATE HEALTH REGULATIONS. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE A REDUCED PRESSURE ZONE (RPZ) DEVICE AND SHALL BE LOCATED NEAR THE FLOOR DRAIN. THIS ASSEMBLY MUST BE TESTED BY A CERTIFIED TESTER UPON INSTALLATION AND THEREAFTER ON AN ANNUAL BASIS TO MAINTAIN CITY OF GREELEY COMPLIANCE WITH THE DEPARTMENT OF HEALTH REGULATIONS. CITY-DESIGNED AND CITY-TESTED TESTERS FOR BACKFLOW ASSEMBLIES: <http://GREELEYCO.ORG/SEWER/CE/S&E/IB/EP/QUANT/CROSS/CONNECTION/ALL/BACKFLOW/PREVENT110N>

20. BACKFLOW ASSEMBLY TEST AND MAINTENANCE REPORTS CAN BE MAILED TO THE CITY OF GREELEY WATER AND SEWER DEPARTMENT AT 100 11TH AVE. AND THE FLOOR, GREELEY CO 80631, FAXED TO 970-350-9805, OR EMAILED TO DEREK.HANN@GREELEYCO.OM. ALL BACKFLOW TEST REPORTS NEED TO BE

1. BEDDING FOR ALL STORM DRAIN SHALL BE PER THE STANDARD STORM DRAIN BEDDING DETAILS - DETAILS 6-6 AND 6-7 FOR REINFORCED CONCRETE PIPE AND POLYWRAPPED DUCTILE IRON PIPE.
2. ALL PRELIMINARY CONSTRUCTION SHALL CONFORM TO THE CITY OF GREELEY'S MOST RECENT STORM DRAINAGE SPECIFICATIONS. A COPY OF THE SPECIFICATIONS MAY BE OBTAINED FROM THE CITY OR FOUND ON THE CITY'S WEB PAGE - GREELEYGOV.COM.
3. RCP SHALL HAVE FLEXIBLE GASKET MATERIAL (WATER TIGHT RUBBER GASKETS) MEETING ASTM C443 AND TYPE 4-B GELL AND SPIGOT JOINTS. DUCTILE IRON PIPE SHALL BE POLYTRIPRA BEDDING IN ACCORDANCE WITH AWWA STANDARD C-105.
4. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY. THERE SHALL BE NO COHESIVE GRANULAR MATERIAL, FREE OF ROCKS, FROZEN LUMPS, FROZEN PIPE MATERIAL OR STONES GREATER THAN 3" IN ANY DIMENSION, AGGREGATE BASE COURSE, OR FLOWFILL. REMOVE ALL DEBRIS INCLUDING SODA CANS, ROP, PIPE HANDING MATERIAL, ETC. FROM THE PIPE TRENCH BEFORE BACKFILLING.
5. ALL AREAS IMPACTED BY THE CONSTRUCTION SHALL BE CLEARED OF PROJECT GENERATED DEBRIS BY THE CONTRACTOR AT THE EARLIEST OPPORTUNITY. NO CASE SHALL ANY ROADS OR WALKWAYS BE LEFT UNCLEAN AFTER THE COMPLETION OF THE DAYS WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE NECESSARY CURE OF THE ROADWAY TO SATISFACTORILY CLEAN THE ROADWAYS.
6. THE CONTRACTOR SHALL BE REQUIRED TO STREET SWEEP IMPACTED STREETS DAILY, IF THE CITY DEMS IT NECESSARY, TO KEEP THE STREETS FREE OF AND OTHER DEBRIS DUE TO HAULING OPERATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE NECESSARY EQUIPMENT TO CONTROL DUST TO SATISFACTORILY CLEAN THE ROADWAYS.
8. MATERIALS TO SATISFACTORILY CONTROL DUST AT ALL TIMES, AND AS DIRECTED BY THE CITY. WATER SHALL BE USED AS THE DUST PALLIATIVE WHERE REQUIRED. THE CONTRACTOR SHALL FURNISH AND SPREAD WATER AT NO ADDITIONAL COST TO THE PROJECT.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE CITY OF GREELEY'S PUBLIC WORKS DEPARTMENT.
10. THE CONTRACTOR IS REQUIRED TO HAVE A CURRENT CITY OF GREELEY CONTRACTORS LICENSE TO PERFORM ANY WORK IN THE PUBLIC RIGHT-OF-WAY EASEMENT.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT. A PERMIT FROM PUBLIC WORKS IS REQUIRED FOR ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY OR EASEMENTS. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY REPRESENTATIVES BEFORE A PERMIT WILL BE ISSUED.
12. THE CONTRACTOR SHALL BE FULLY AND COMPLETELY RESPONSIBLE FOR ALL CONDITIONS AT AND ADJACENT TO THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. DURING THE PERFORMANCE OF THE WORK, THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS (7 AM-6 PM). THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTEND TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
13. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, FLAG PERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE PUBLIC SAFETY IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE GREELEY SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL.
14. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO ATOMS ENERGY, CENTURY LINK, XCEL ENERGY, COMCAST CABLE AND THE CITY OF GREELEY'S WATER AND SEWER DEPARTMENT, PRIOR TO COMMENCING CONSTRUCTION, TO HAVE ALL EXISTING LINES AND CONDUITS FIELD LOCATED.
15. THE LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO LOCATE ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK BEFORE COMMENCING CONSTRUCTION.

OWNER:		CIVIL ENGINEER:	
	HOUSTON GARDENS 515 23RD AVENUE GREELEY, CO 80634 970.518.2483		IZ CONSULTANTS, INC. TROY W. CAMPBELL, P.E. 169 11 POTTS PLACE MEAD, CO 805 42 970. 217.9148
ARCHITECT:		SURVEYOR:	
	HALCYON DESIGN LLC KELLY DEITMAN PO BOX 68 4 LASALLE, CO 80645 303.906.2617		MAJESTIC SURVEYING STEVEN PARKS, PLS 1111 DIAMOND VALLEY DRIVE #104 WINDSOR, CO 80550 970.443.0882

HORIZONTAL DATUM:
MODIFIED NAD83 / 2011 COLORADO STATE PLANE COORDINATE
SYSTEM NORTH ZONE
SCALE FACTOR: 0.99973963 (1.000260437)

CITY OF GREELEY VERTICAL BENCHMARK RULLI
ELEVATION - 4791.00 (NAVD88 VERTICAL DATUM)

POINT NO. 1
CP - GRASS
N- 140 0025. 61
E- 3 219039. 84
ELEVATION - 4703.38

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____
FIRE MARSHAL _____ DATE _____

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/ CIVIL
IN SPECTION S MANAGER

Design	TWC	Drown
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Checked TWC	Checked TWC
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Date SEPTEMBER 2, 2022

Job No. 1052-2

0- HCC_CV

SHEET
C-1

1 OF XX SHEETS

MM-1

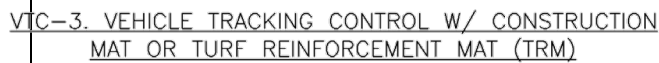


CWA INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (18 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREPARED/CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District CWA-3
Urban Storm Drainage Criteria Manual Volume 3

SM-4



November 2010	Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3	VTC-5
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Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

4. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 5. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 6. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 7. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 8. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 9. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 10. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MOW OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE TO AUTOCAD)

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4
Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3
November 2010

Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR
 - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
 - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, OR WHEN PERFORMING NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRAPPED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6	Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3	November 2010
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SC-2



November 2015
Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3
SCL-3

Sediment Control Log (SCL)

SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED FIRST TO ANY UPGRADED LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR OR COCONUT FIBER AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY $\frac{1}{2}$ OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
6. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILL MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. IF THE STAKE IS BROKEN OR MISSING, THE STAKE TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.

SEDIMENT CONTROL LOG MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY $\frac{1}{2}$ OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION/COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA OF THE COMPOSTURE AREAS EXPOSED AFTER REMOVAL. THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SCL-6
Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3
November 2015

**i2
Consultants,
Inc.**
16911 Potts Place
Mead, Colorado
970.217.9148

DETAIL SHEET 1

[illegible]

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ALL CONSTRUCTION SHALL CONFORM TO CURRENT INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES.

DO NOT SCALE DRAWINGS FOR DIMENSIONS

Houston Gardens Greenhouse

515 23rd Ave.
Greeley, CO

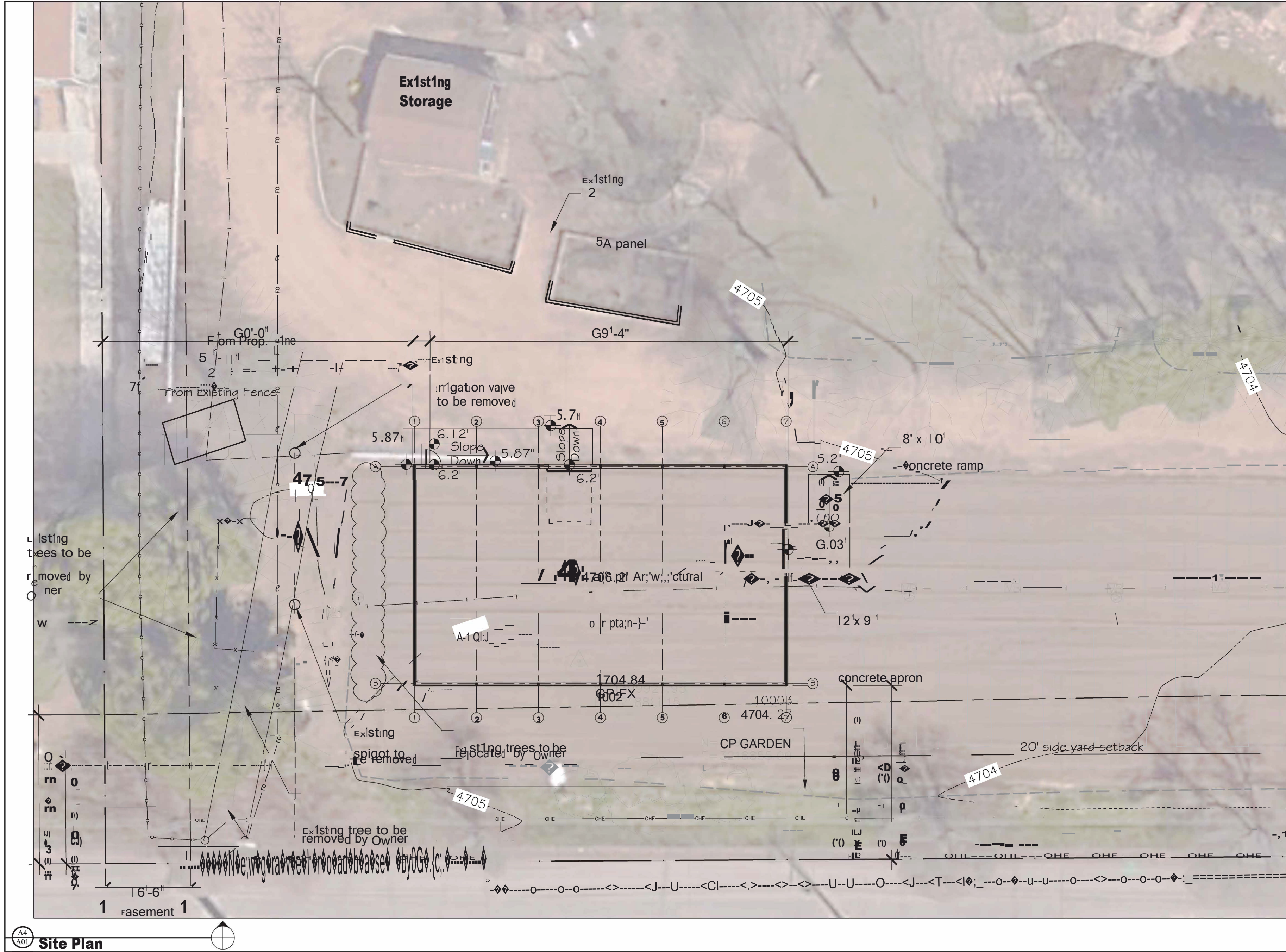


DATE
9.7.22

REVISIONS

SHEET TITLE
Preliminary Site Plan
SHEET NUMBER

A01



Site Plan
Scale: 1/16" = 1'-0"

2118 Houston Gardens Greenhouse
Code Analysis
2018 IBC, 2018 IECC, ANSI A117.1-2009

Project Description:
This project consists of a new greenhouse for staff and occasional volunteer use on a seasonal basis. Two overhead doors will be provided to permit the passage of large carts. An accessible exit door will be provided.

Building Floor Areas, Net Interior:
Main Floor, Group U = 2,937 s.f.

Distance to Property Lines (building, not hoop houses):
East = 271'
West = 63'-4"
South = 33'-8"
North = 290'

2018 International Building Code
Chapter 3 Occupancy Classification
Group U Utility

Chapter 4 Special Requirements Based on Occupancy
406.2.2 Clear height of floor area shall not be less than 7'
406.2.4 Floor surfaces shall be concrete or similar, sloped to facilitate movement of liquids to a drain or doorway

Chapter 5 General Building Heights & Areas
Table 504.3 Allowable Building Height, Type V-B, non-sprinklered
Group U = 40'

Table 504.4 Allowable Number of Stories, Type V-B, non-sprinklered
Group U Allowed = maximum 1 story
Group U Proposed = 1 story

Table 506.2 Allowable Area, Type V-B, non-sprinklered
Group U Allowed = 5,500 s.f. per story
Group U Proposed = 2,937 s.f.

Chapter 6 Types of Construction
Assume Type V-B Construction
Table 601 Building Element Protection = 0 all categories
Table 602 fire separation distance >30' to property line, no fire rating requirement

Chapter 7 Fire Resistance Rated Construction

Table 705.8 >30' distance to property lines, unlimited openings
705.11(1) Parapets not required if exterior walls are not required to be fire rated
720.2 Concealed insulation shall have flame spread index <25, smoke index <450

Chapter 8 Interior Finishes
Table 803.13 Group U Rating C for rooms: no restrictions

Chapter 9 Fire Protection
903.2.4 Automatic fire sprinkler system not explicitly required for Group U Buildings
Table 906.3(1) 2-A fire extinguishers every 3,000 s.f., or every 15,000 s.f. for 10# ABC extinguisher, max. travel distance of 75'

Chapter 10 Means of Egress
1003.2 Ceiling height shall not be less than 7'-6" at means of egress
Table 1004.1.2 Building Occupant Load, see also Life Safety Plans
Group U Area = Area/300 = 10 occupants
1005.3.2 Means of egress width = occupant load x0.2"
Table 1006.2.1 One exit permitted max. occupant load <49
Table 1006.3.2 Minimum one accessible means of egress required
1008 Means of egress illumination required with emergency power at exits
1009.1 Minimum one accessible means of egress required
1010.1.5 Doors on an accessible route shall have a floor or landing on each side, exterior landings permitted to slope 2%
1010.1.6 Landings shall extend min. 44" in the direction of travel
1010.1.7 Landings at exterior egress doors shall not have threshold >1/2"
1010.1.9 Egress doors shall be openable from egress side without key or special knowledge
1010.1.10 Egress doors in Group U not explicitly required to have panic devices
Table 1017.2 Exit access travel distance max. 300', worst case exit distance = 110'
1028.1 Exits shall discharge directly to the exterior of the building

Chapter 11 Accessibility
1104 At least one accessible route shall connect all accessible areas and shall coincide with circulation path

Chapter 12 Interior Environment
See Mechanical Design for ventilation requirements
See Electrical Design for lighting requirements

Chapter 17 Special Inspections and Tests

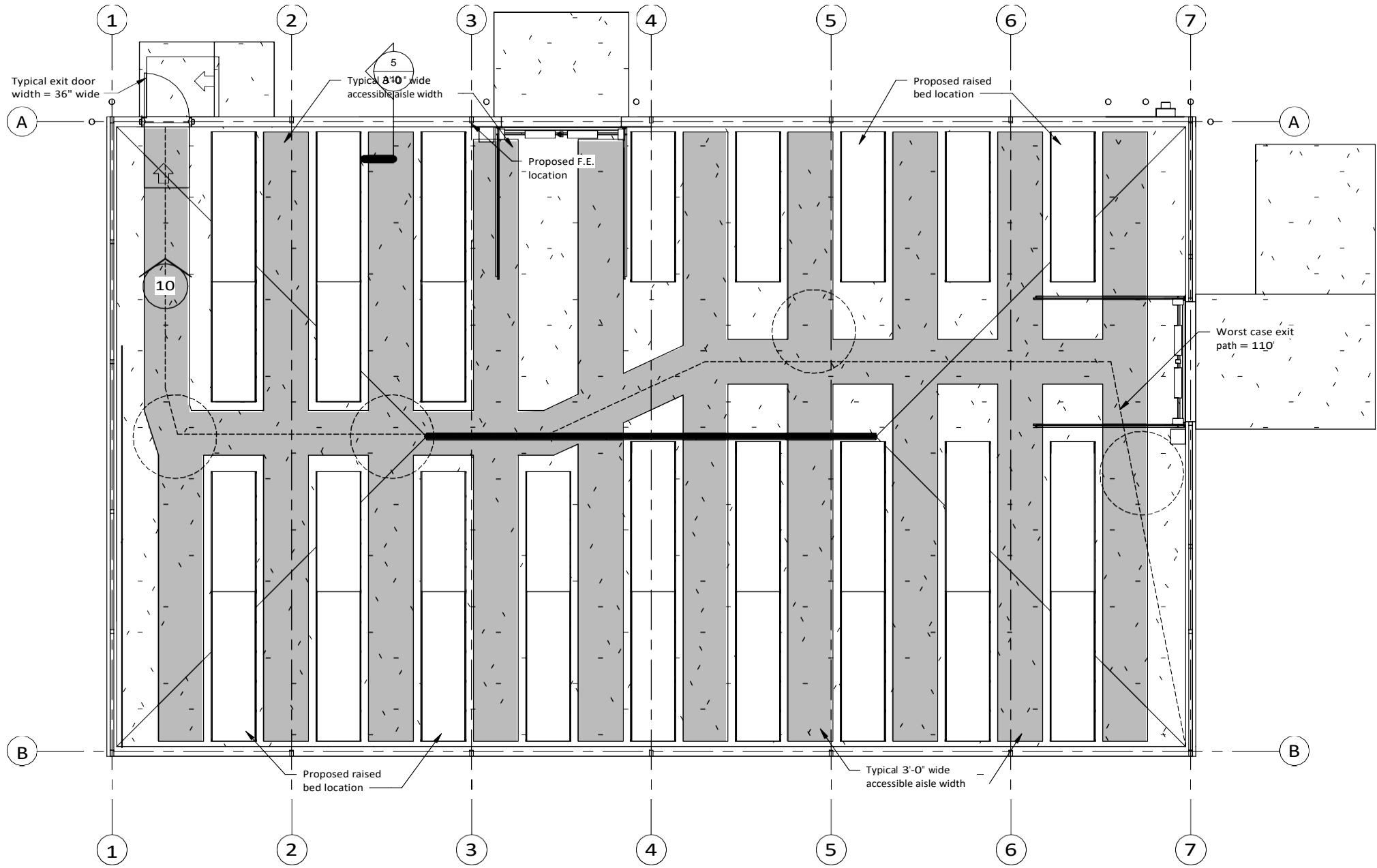
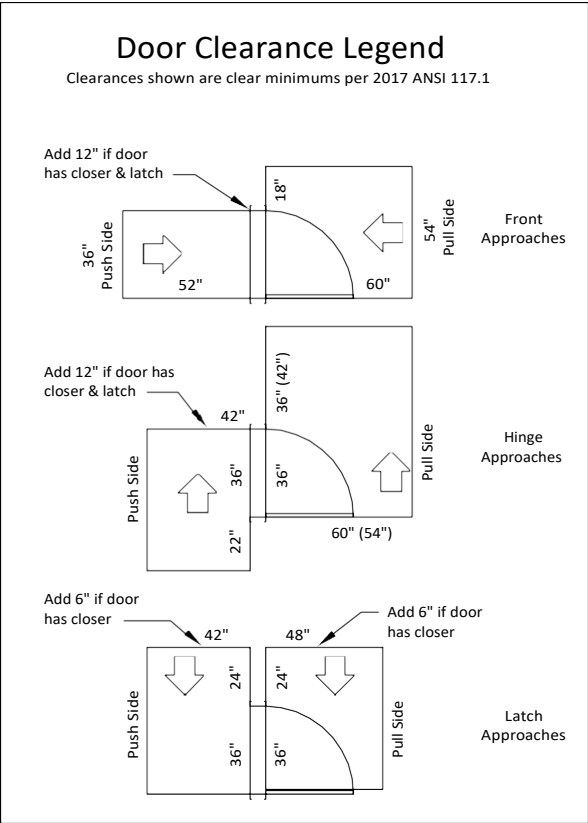
Special inspections as required by Table 1705.3:

- Reinforcing steel, size & placement, design compliance, ACI 318: 20, 25.2, 25.3, 26.2.2-26.6.3, IBC 1908.4, by Structural Engineer or 3rd party testing (by Owner)
- Verifying use of required concrete design mix, ACI 318: 19, 26.4.3, 26.4.4, IBC 1904.1, 1904.2, 1908.2, 1908.3, by Structural Engineer
- Slump, air content, temperature tests for concrete, break test (strength), ASTM C172, C31, ACI 318: 26.4, 26.12, IBC 1908.10, 3rd Party testing (by Owner)
- Concrete placement, ACI 318: 26.5, IBC 1908.6, 1908.7, 1908.8, 3rd Party testing (by Owner)
- Concrete curing temperature and technique, ACI 318: 26.5, IBC 1908.9, 3rd Party testing (by Owner)
- Concrete formwork, design compliance, ACI 318: 26.11.2, by Structural Engineer
- Open holes inspection of soil bearing capacity, 3rd Party testing (by Owner)
- Excavation depth and soil condition, 3rd Party testing (by Owner)
- Compacted fill testing and classification, 3rd Party testing (by Owner)
- Compacted fill densities and lift thicknesses, 3rd Party testing (by Owner)
- Subgrade and site preparation, 3rd Party testing (by Owner)

Reinforcing and Concrete special inspections not required by IBC 1705.3 Exceptions 1 thru 5 but are required by Architect and Structural Engineer.

2018 International Energy Conservation Code
C402.1.1 Greenhouse is considered a low-energy building and, as such, is not required to comply with building thermal envelope requirements.

Door insulation and foundation insulation as noted on Drawings is intended to extend the cold-weather growing season of greenhouse and is not required as noted above.



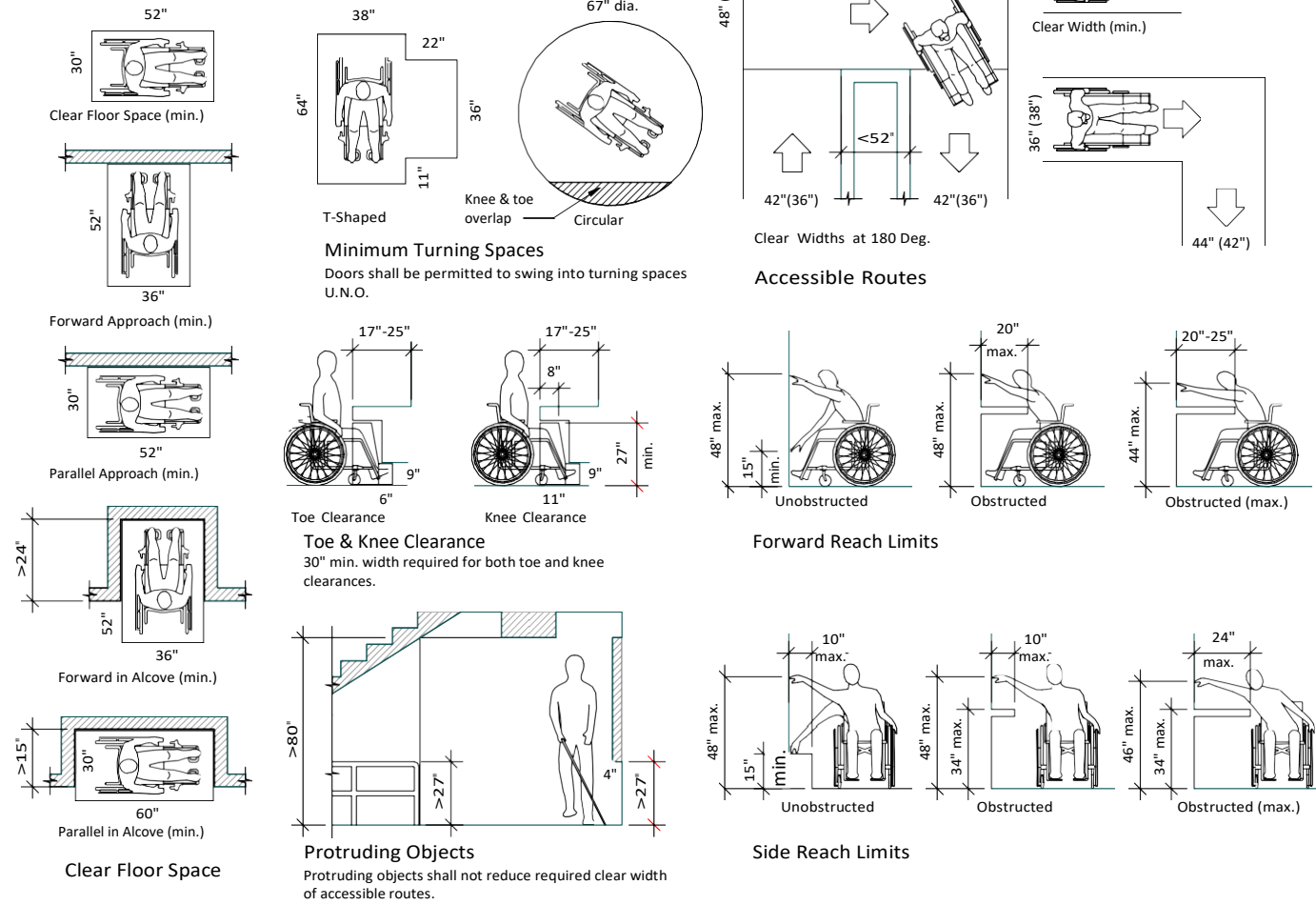
Life Safety Plan

3/16' = 1'-0"

- General Code Compliance and Accessibility Notes:
- Fire Marshall to verify location of one (1) fire extinguisher - see Plan this sheet for proposed locations. Provide wall hung fire extinguisher with bracket.
 - Provide accessibility complying with the Americans with Disabilities Act "ADA," ANSI 117.A and all local accessibility codes.
 - Occupant load is based on aggregate areas for proposed use.
 - Plan illustrates accessible floor clearances required at doors as well as other required accessibility features of the building.
 - Proposed raised bed locations are schematic. Owner may install alternately-sized beds in different arrangement. Proposed layout illustrates accessibility criteria for future arrangement by Owner

Accessibility Clearances

Clearances shown are clear minimums per 2017 ICC A117.1



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DO NOT SCALE DRAWINGS FOR DIMENSIONS.

Houston Gardens Greenhouse
515 23rd Ave.
Greeley, CO 80634



PO Box 684
LaSalle, CO 80645
303.906.2617



DATE
9.7.22

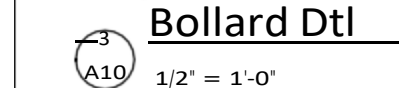
REVISIONS

SHEET TITLE
Compliance

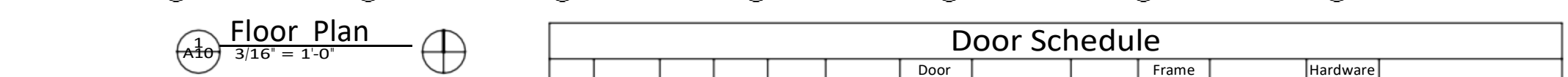
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A02

Project No. 2118

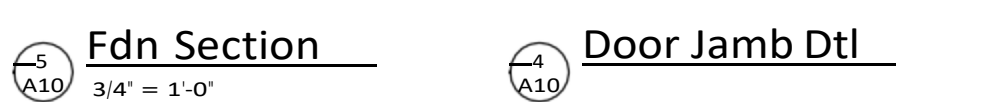


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Houston Gardens Greenhouse

515 23rd Ave.

Greeley, CO 80634



PO Box 684
LaSalle, CO 80645
303.906.2617



DATE
9.7.22

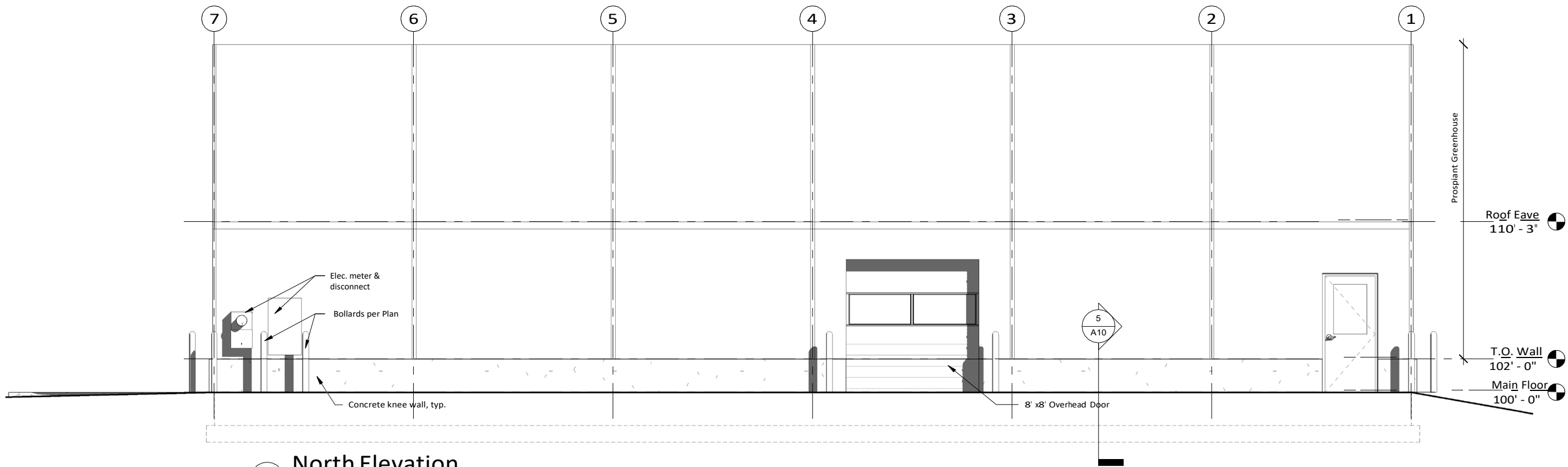
REVISIONS

SHEET TITLE
Elevations

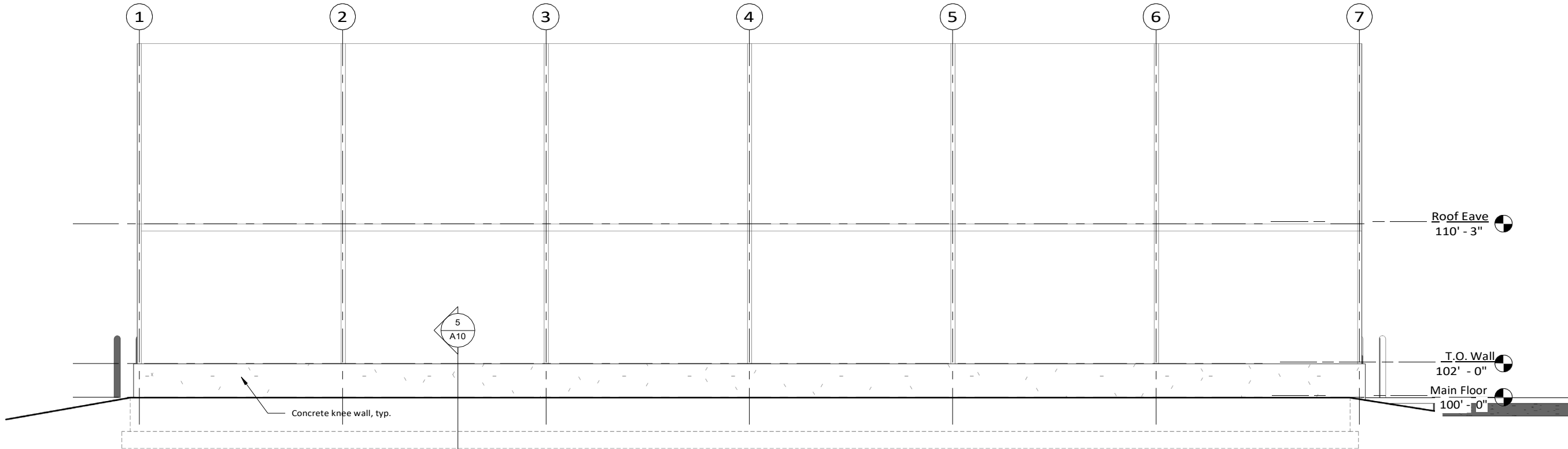
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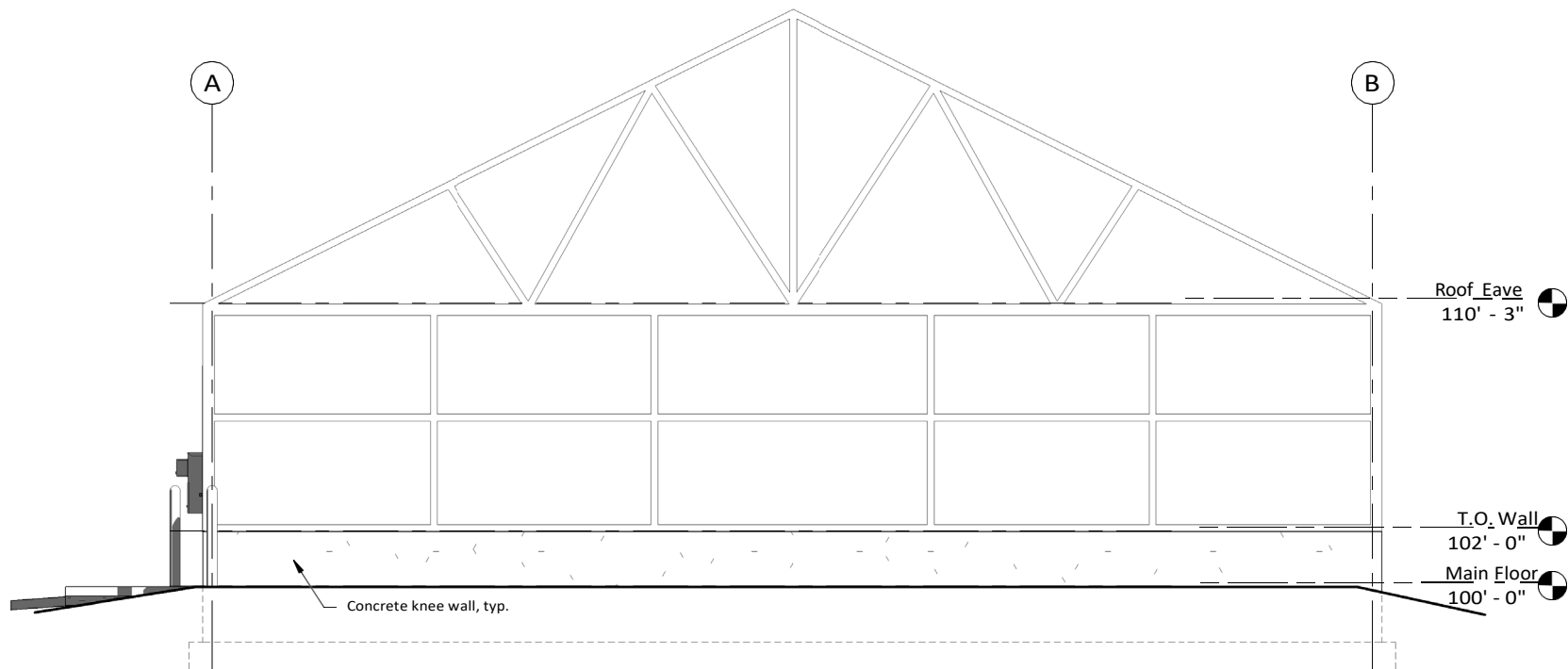
Project No. 2118



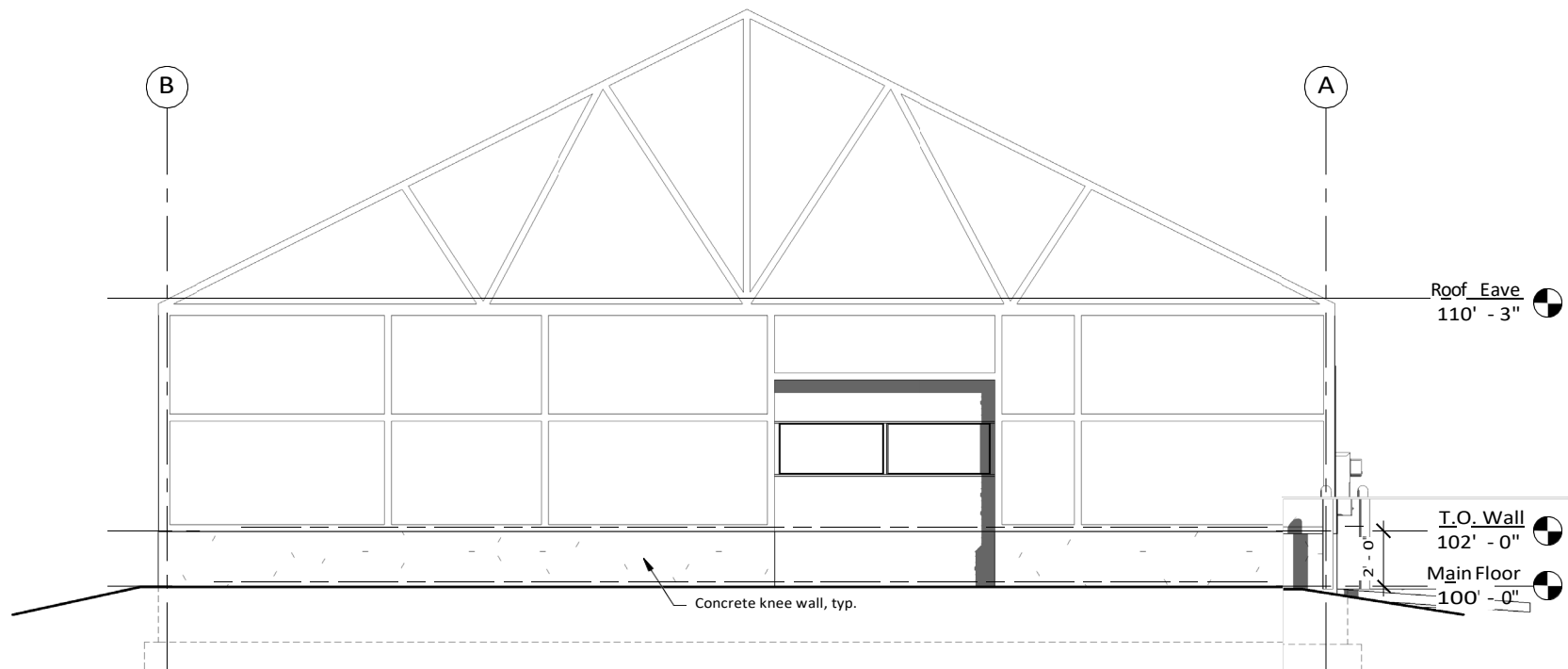
1
A30
North Elevation
1/4" = 1'-0"



2
A30
South Elevation
1/4" = 1'-0"



4
A30
West Elevation
1/4" = 1'-0"



3
A30
East Elevation
1/4" = 1'-0"

SPECIAL INSPECTION SCHEDULE {IBC Chapter 17}

- a. Special inspections and structural testing all be provided by an independent agency employed by the Owner for the items identified in this section and in other areas of the approved

construction plans and specifications, unless waived by the Building Official. This statement of

Special Inspections is intended to apply only to items within the scope of work of the Structural Engineer. See Statement of Special Inspections prepared by the design professional in The names and credentials of the Special Inspectors performing the work should be submitted to responsible charge for other disciplines.

the Building Official for approval.

- c. Duties of the Special Inspector:**
The Special Inspector shall review all work listed below for conformance with the approved construction plans and specifications and the IBC.

The Special Inspector shall furnish special inspection reports to the EOR, Contractor,

Owner, and Building Official for each visit or as required by the Building Official. All items not in compliance shall be brought to the immediate attention of the Contractor for

correction, and if uncorrected, to the EOR and the Building Official

Once corrections have been made by the Contractor, the Special Inspector shall submit a

final signed report to the Building Official stating that the work, to the best of the Special Inspector's knowledge, was in conformance with the approved construction plans and specifications as well as the applicable workmanship provisions of the IBC.

inspection as agreed upon by the Special
All work requiring special inspection shall
observed by the Special Inspector.

Building Official will:
- Review and approve the qualifications of the Special Inspectors

qualified and are performing their duties as required in this State.

- d. Duties and responsibilities of the Contractor:
The Contractor shall submit a written statement of responsibility to the Owner and the Building Official prior to the commencement of work. In accordance with IBC 1704.4, the

Verification and Inspection	Frequency C: Continuous P: Periodic	Comments
	C	If fabricator is approved, on-site inspection is not required but a certification of completion must be provided to the Building Official (IBC 1704.2.5.2)
Verify adequate materials below		Verify per soils report prior placement of
1705.6 Soils	p	b
Excavation extend proper		Verify per soils report and prior to placement compacted fill or concrete.
depth and materials		
Classi cation and testing of fill materials	P	Check classification and gradations at each lift, but not less than once for each 10,000 sf of
	P	
<p>ei o fill materials, lit thickness and in-place ensities</p> <p>Verify properly prepared site and subgrade</p> <p>0. S u r l</p> <p>ei ording st el placement</p> <p>R nf a e e f d be</p> <p>m de p s</p>	P	<p>surface area</p> <p>Verify per soils report and prior to placement compacted fill or concrete.</p> <p>of</p>
	C	Verify per soils report prior to placement of concrete.
	P	U
		ASTM 318 20, 25.2, 25.3, 26.6.1-26.6.3
		WS D1.4, verify ASTM A706 reinforcing steel
		0 .
		C 1 17 8 2
	P	
ei ording st el iel ndina	P	1 13.2 8
E bed d bolts or late	C	A 13 . . .
Verify required design		ASTM 318, 19, 26.4.3, 26.4.4, IBC 1904.1, 1904.2
1705.7 Concrete Construction		
fc = 5,000 psi	100 cy/mix/day	ASTM C172 Obtain at point of placement. Adjust frequency as required to provide minimum 5 total tests per mix but not more than one sample per truck load.
Slump/slump flow	each sample	<p>AT C 4 (m) o A M C1611 (slump flow)</p> <p>S S M s 3 (supar) ST b</p> <p>pecified lump sh l be as su mited in the mix</p> <p>desired 500-900 additional tests when</p> <p>231 pressure met d (NWC)</p> <p>ASTM C1611 Report when temperature is</p>
Air content when specified		temperatures during curing period when slab
wi Temperature		
Co Co d w ther Cing		

Statement of responsibility shall contain acknowledgment of the special inspection requirements outlined within this "Statement of Special Inspections."
The Contractor shall notify the responsible Special Inspector that work is ready for

- e. Please see the "Special Inspection Items requiring special inspection."
- f. This Statement of Special

specific
the

inspection

job site to assure

Inspectors are

- Perform inspections as required by IBC Section 110 and the local building code.

activities on the

the Special

- Monitor special

inspection Schedule for the types, extents, and frequency of special inspections and structural tests as part of this project.
Inspection has been developed with the understanding that

Class D (default)
 $\phi S = 0.15g$; $SD1 = 0.08g$
 Steel Moment Frame or
 Steel Braced Frame
 per Building Manufacturer
 per Building
 Equivalent Lateral Force
 shall conform to governing
 determination of quantities, lengths, or fit of materials.

c. Principal openings are shown on the drawings. See
 Architecture (), Mechanical, and Electrical drawings for

b. Plans, sections, and details are not to be scaled for
 sleeves, curbs, inserts, etc.

and braced.

T E contra ctor, in the proper sequence, shall provide

b. shoring and bracing as may be required during construction not include inspection of the shoring and bracing elements.

STRUC TURAL CONCRETE shall conform to ASTM F153. Bolt size shall be 3/4", unless noted other wise on the drawings.

Provide washes as per Manual of Steel

CAS E **REINFORCED CONCRETE** shall conform to the following

a. All concrete shall be based on the Building Code.

b. Requirements for Reinforced Concrete (ACI 318-11).

c. All structural concrete shall have compressive strength(s):

Element fc (psi) w/c max. air % Exposure

5 F2, SO, WO, C1

a. All light-gauge steel members erected in accordance with Members' and its "Standard for Cold-Formed Steel Decking" - General Provisions"

c. adequate bracing and as required by all members designated on the plans from steel that conforms to ASTM 570-79 with a 50,000 psi minimum yield strength. from steel that conforms to ASTM A446 gr. psi minimum yield strength. paint, or similar rust-inhibitive material hot-dipped galvanized.

SPECIAL INSPECTION SCHEDULE

Specification for the Design of Cold-Formed Steel Structural

m. Provide continuous shear keys at vertical cold joints and

relieve the contractor from conforming to the contract documents. Struc ua l Engine er is not responsible for omissions, quantities, or dimensions.

adequately supported by concrete is provided. It shall be secured against displacement within tolerances permitted in Section 1907.5.2 of the I.B.C.

REINFORCING STEEL:
W 4 x 13, Bat A706-82a, Grade 60
Reinforcing Bars ASTM A615-79, Grade 60
Welded Wire Fabric ASTM A-185

a. All detailing, fabrication, and placement of reinforcing steel shall be in accordance with the ACI P ractice.

b. At reinforcing steel splices in column diameters, Lap weld fabric one full panel and tie the ends. At beams, the reinforcement is staggered or provide constant moment frames without a control joint.

c. Above opening conditions in walls, reinforcement in slab. At

re-entrant comers in slabs-on-deck, provide (2) #3 x 4'-0"

- b. Light-gage subcontractor shall provide bridging and blocking as required for stability and stiffness of the final diaphragm assembly, wherever sheathing does not provide adequate bracing and thicker structural members shall be provided.
- c. All 43 mil and thinner structural members shall be formed.
- f. All structural members shall be coated with red zinc oxide.

Building Official, the Owner shall employ on or more
Special Inspectors who shall provide tests and inspections
during construction. See section 1703 for the qualifications,
1. Inspection of fabricators (certificate)
High Strength Bolts (IBC 1704.3.3, Periodic, bearing)

- Details (Table 1704.4)
4 Masonry Construction (Table 1704.5.1, Level 1)
5. Soils (Table 1704.7)
d Unless noted othw ise- U.N.Q
e. Discrepancies betweena wingd specifications shall be
confirmed with Structualengineer andthe Architect.

318/318R.

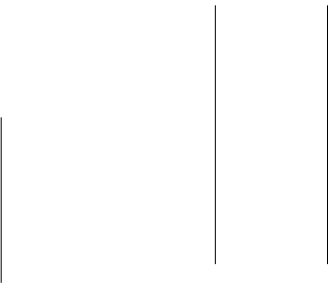
2. Submittals (see 9100)
6. Walling (see 9100)
3. Concrete Construction Materials (ACI)
Electrical Ground special inspection requirements)



Footings
Walls .5 , .45
Int. Slabs 4,000, NW 0.50
F0, S0, WO, C1
F0, S0, WO, C1

diagonal in slab.
d. Exc as noted on the dawings, minimum concr e
protection 6 r reinforcement shall be in accordance with ACI

- g. Only lightg age members 54 mil and thicker may be welded.
- h. All field welded joints or ground areas shall be touched up with a similar rust-inhibitive material.



TOTAL

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Halcyon
Design LLC

PO Box G84
LaSalle, CO 80G45
303.90G.2G 17

DATE
09.07.2022

REVISIONS

SHEET TITLE
GENERAL NOTES

SHEET NUMBER

so.a

Pro egt No. 21 18



HHouston Gardens Greenhouse

515515 23rd Ave.
Greeley, CO

Halcyon Design LLC
PO Box G84
LaSalle, CO 80G45
303.906.2617

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09.07.2022

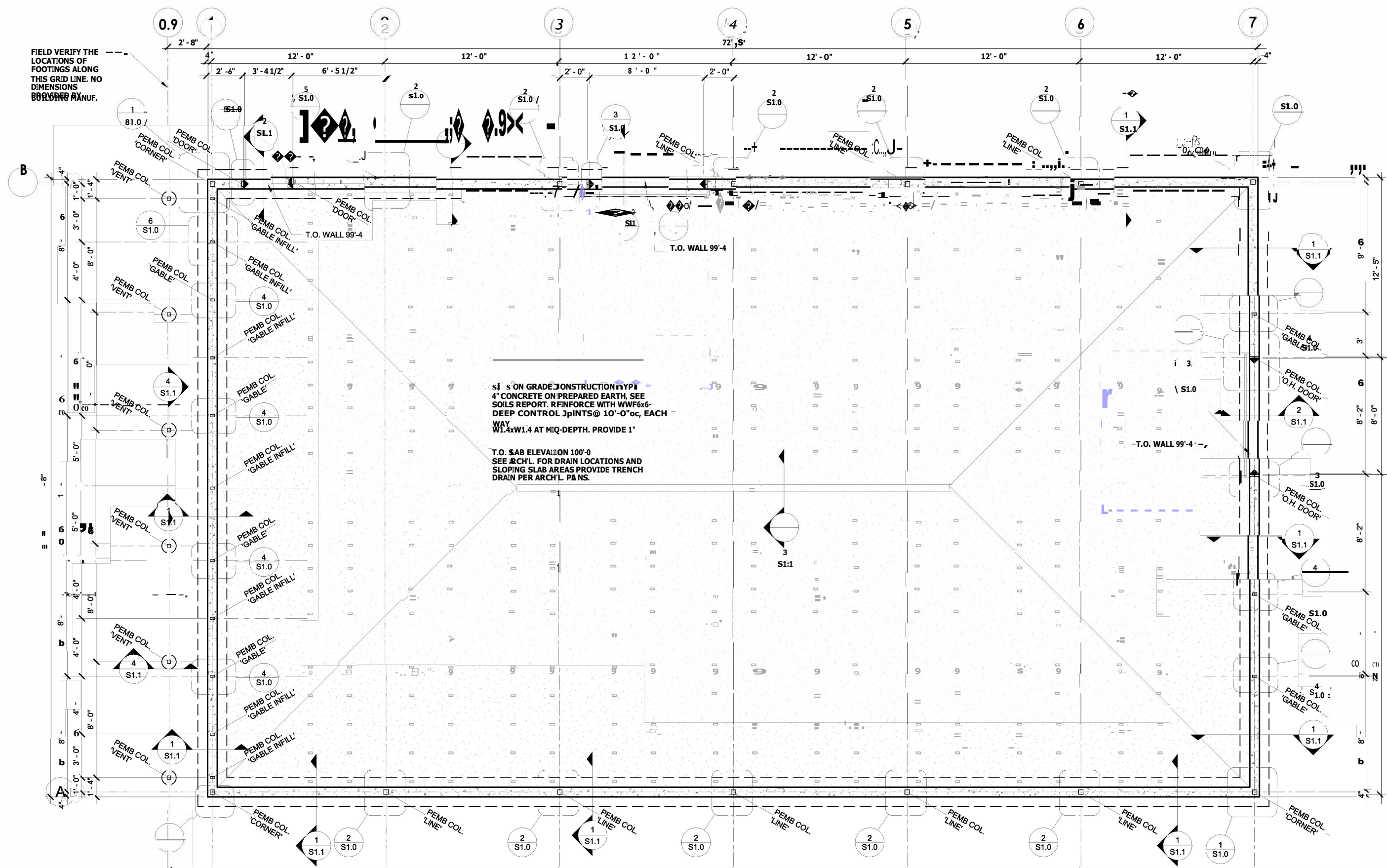
REVISIONS

SHEET TITLE
FOUNDATION PLAN

SHEET NUMBER

S1.0

Project No. 2118

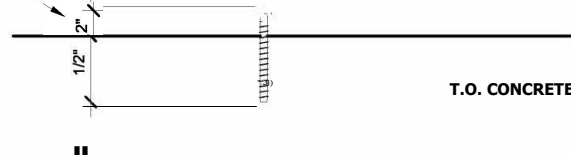


FOUNDATION PLAN

1/4" = 1'-0"

- PLAN NOTES:
- SCOPE: DESIGN OF FOUNDATION FOR GREENHOUSE BUILDING. FOUNDATION DESIGN IS BASED UPON ENGINEERED METAL BUILDING DRAWINGS AND CALCULATIONS PROVIDED BY RELEASED OSPIANT, INC. DATED AUGUST 25, 2022. STAMPED CALCULATIONS HAVE NOT BEEN PROVIDED AND THE CONSTRUCTION TIMELINE REQUIRES THE FOUNDATION DESIGN TO BE WITHOUT THIS INFORMATION. DESIGN OF BUILDING IS BY OTHERS.
 - ALL COLUMN ANCHORS ARE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL INSTALL ALL REINFORCEMENT AS NOTED BY THE CONTRACTOR.
 - DRAWINGS FOR FINAL ANCHOR BOLT LOCATIONS.
 - FOOTING ELEVATION 97'-0".
 - TOP OF WALL ELEVATION 102'-0", TYPICALLY, UNLESS NOTED: T.O. WALL 'ELEV.'
 - PROVIDE 1/2" MIN. STEEL SHIM AND GROUT BELOW ALL BASE PLATES FOR FULL BEARING ON CONCRETE.
 - SEE SECTION 7/S1.0 FOR ANCHOR BOLT REQUIREMENTS.

OR AS REQUIRED BY BUILDING MANUF.



1/2" ANCHOR

STM 1554 Gr. 36 W/ WASHER
D NUT POST INSTALLED
ANCHOR BOLT SET-3G OR

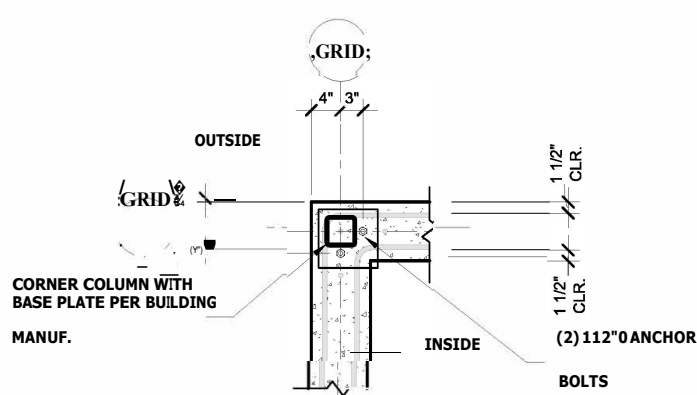
ANCHOR BOLTS
S1.0 1/2" = 1'-0"

LT
engineering, LLC
Structural Consultants

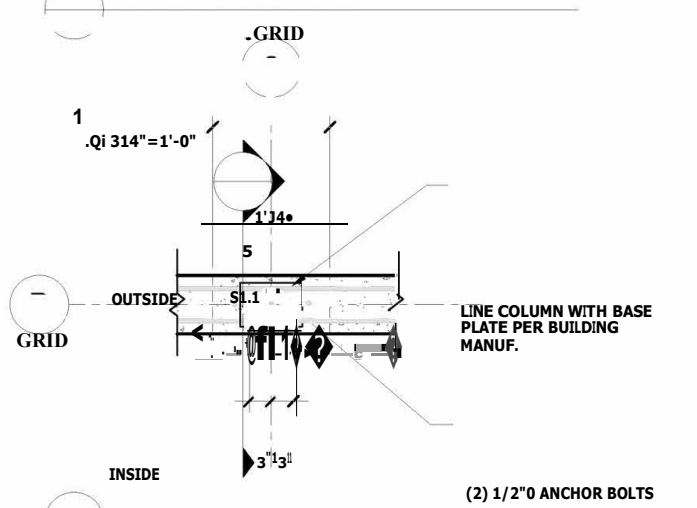
5620 Zuni
leann@ltengr.com
720.319.0503

29922
09.07.22
PROFESSIONAL ENGINEER

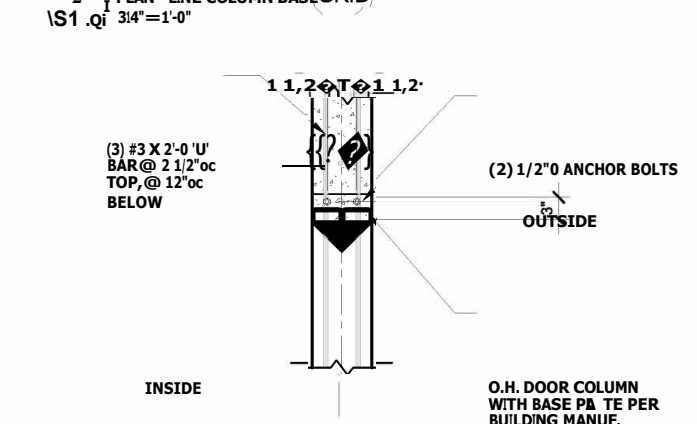
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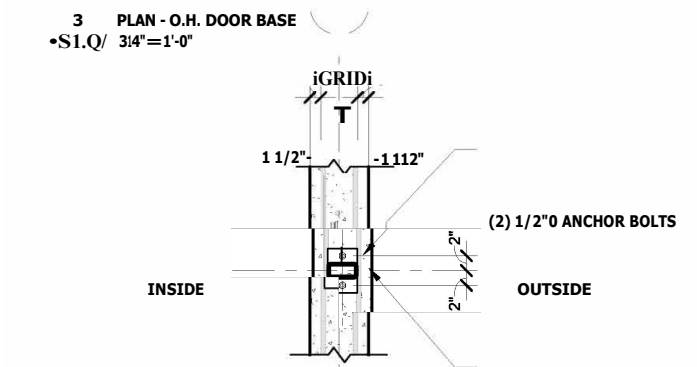
PLAN - CORNER COLUMN BASE



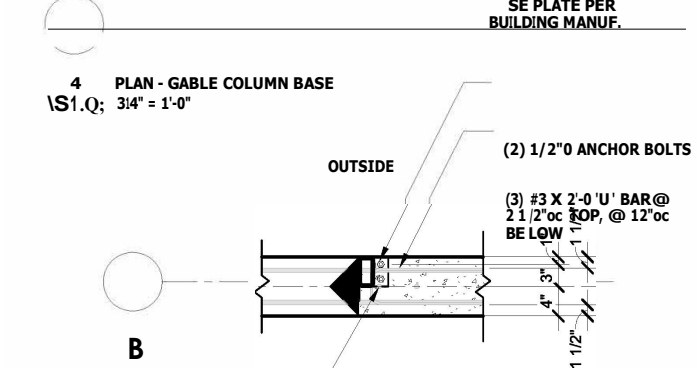
PLAN - LINE COLUMN BASE



PLAN - O.H. DOOR BASE



PLAN - GABLE COLUMN BASE



PLAN - DOOR BASE



PLAN - GABLE INFILL COLUMN BASE



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SIGNATURE AND DATE

DO NOT SCALE DRAWINGS FOR DIMENSIONS.

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303.90G.2G | 7

Project No. 21 18

(NOTE: ALL ITEMS DO NOT NECESSARILY PERTAIN TO THIS PROJECT)

Houston Gardens Greenhouse
515 23rd Ave.
Greeley, CO



SHEET NUMBER

Project No. 22-043

COORDINATE WITH THE MISCELLANEOUS SUPPORT AND FRAMING REQUIRED FOR THE MECHANICAL EQUIPMENT PROVIDED BY OTHERS.

2. COORDINATE AND VERIFY ALL OPENINGS IN STRUCTURAL WALLS, ABOVE CEILINGS AND FLOORS WITH THE STRUCTURAL CONTRACTOR.

22. ALL SUPPLY AND RETURN DUCTWORK UNLESS SPECIFICALLY INDICATED SHALL BE IN ASTM A527 LOCK FRAMING QUALITY GALVANIZED SHEET METAL WITH ASTM A525 G30 ZINC COATING INSTALLED IN ACCORDANCE WITH CHAPTER 6 OF THE 2012 IMC AND THE SMARNA DUCT CONSTRUCTION STANDARDS, FOR PRESSURE CLASS "A" FOR 3" SP AND ABOVE, CLASS "B" FOR 2" TO 3" SP AND CLASS "C" FOR 0.5" TO 2" SP, WITH "TIGER CAST" SEALED JOINTS. THE USE OF PRESSURE SENSITIVE TAPE WILL NOT BE ACCEPTABLE. DIMENSIONS SHOWN ARE ALWAYS DIMENSIONS.

23. EXTERNALLY INSULATE ALL RECTANGULAR SUPPLY AND RETURN AIR DUCTWORK WITH A MINIMUM 1.5" R DENSITY FIBERGLASS. ALL INSULATION SHALL HAVE MINIMUM INSTALLATION VALUE OF 12.0. FAN SPREAD SHALL BE 25 OR LESS. SMOKE DEVELOPED INDEX OF 30 OR LESS AND WATER-LOG RATED FOR OPENING TEMPERATURES UP TO 250°F. LINE ALL EXHAUST, SUPPLY & RETURN DUCTWORK FOR 15 LF FROM FAN/DRUM/UNIT. ALL SHALL HAVE AN ACCEPTED COATING OR SURFACE IN CONTACT WITH THE AIR STREAM. DUCT WRAP SHALL HAVE AN ALUMINUM FOIL FACING.

24. ALL RETURN SE & RA DUCTS TO BE INSULATED WITH 1-1/2" "INSULSLEEVE" THAT HAS A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX NOT MORE THAN 50 (ASTM E 84) WITH VAPOR BARRIER (R VALUE = 8.0). ALL DUCT INSULATE EXPOSED SPIRAL DUCTWORK AND HANGERS.

25. ALL DUCT PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS, EXISTING WALLS TO HAVE APPROVED AUTOMATIC FIRE DAMPERS OR TO PROVIDE APPROPRIATE FIRE RATED SHAFTS FOR ALL SUCH PENETRATIONS. VERIFY WITH IBC/CM/LE AND RESPECTIVE CITY.

26. ALL CONCEALED, ROUND SUPPLY AIR DUCTS 12" AND SMALLER SHALL BE GALVANIZED SHEET METAL SMAR-LOCK ROUND SUPPLY DUCT GREATER THAN 12" SHALL BE GALVANIZED SHEET METAL SPIRAL INSULATED FLEXIBLE DUCT MAY BE USED FOR THE CONNECTION TO THE AIR OUTLET PROVIDED THE LENGTH OF THE FLEXIBLE DUCT DOES NOT EXCEED 6 LINEAR FEET.

27. ALL BRANCH DUCT CONNECTIONS TO AIR OUTLETS AND AIR INLETS SHALL BE THE SAME SIZE AS THE DEVICE NEAR UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

28. PROVIDE EQUIPMENT VIBRATION ISOLATION FOR STRUCTURAL AND ASSOCIATED DUCT/PIPE SYSTEMS.

29. ALL HANGING SHALL BE COMPLETED BY AN INDEPENDENT QUALIFIED AND CERTIFIED TECHNICIAN (TABB, NEEB OR SIMILAR) WITH FIVE (5) OR MORE YEARS EXPERIENCE IN TESTING, ADJUSTING AND BALANCING HVAC AND HYDRAULIC SYSTEMS. ADJUST VALVES AND DAMPERS AS NECESSARY TO OBTAIN AIR AND WATER QUANTITIES SHOWN. PROVIDE COMPLETE WATER TEST AND BALANCE REPORT INDICATING QUANTITIES AT INLET AND OUTLET. USE VOLUME DAMPERS FOR ALL REGISTERS FOR BALANCING OF THE SYSTEMS. AIR DISTRIBUTION SHALL BE BALANCED FOR WITHIN 5% OF INDICATED VALUES.

30. EXAMINE THE AREAS TO BE EXCAVATED AND THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. REMOVE ALL ROCK AND Boulders FROM EXCAVATION BEFORE INSTALLING MECHANICAL WORK. SLOPE SIDES OF EXCAVATIONS AS REQUIRED FOR STABILITY, OR PROVIDE NECESSARY SHORING. LOCATE AND PROTECT EXISTING UTILITIES AND OTHER UNDERGROUND WORK IN A MANNER WHICH WILL ENSURE THAT NO DAMAGE OR SERVICE INTERRUPTION WILL RESULT FROM EXCAVATING AND BACKFILLING. DO NOT INSTALL MECHANICAL WORK OR EXPOSE EXCAVATION BASES OR SUB-BASES. MAIN AIR DUCT EXCAVATIONS FOR MECHANICAL WORK BY REMOVING EXISTING PROJECT EXCAVATION FROM EXCAVATION OF SURFACE WATER. PUMP MAJOR A LOW OF EXCESS WATER FROM EXCAVATIONS. MATERIAL (TEMPORARILY) NEAR THE EXCAVATION. RETAIN EXCAVATED MATERIAL WHICH COMPLES WITH THE REQUIREMENTS FOR BACKFILL MATERIAL. DO NOT BACKFILL UNTIL INSTALLED MECHANICAL WORK HAS BEEN TESTED AND ACCEPTED. COMPACT BACKFILL MATERIAL BY EITHER DRYING OR ADDING WATER UNIFORMITY TO FACILITATE COMPACTION TO ACCEPTABLE DENSITIES. BACKFILL TO ELEVATIONS MATCHING ADJACENT GRADES. BACKFILL EXCAVATIONS IN 8" HIGH COURSES OF BACKFILL MATERIAL, UNIFORMLY COMPACTED USING POWER-DRIVEN OR HAND-OPERATED COMPACTION EQUIPMENT.

31. COORDINATE WITH THE GENERAL CONTRACTOR TO PROVIDE OPENINGS THROUGH CONCRETE FOR PIPE, PIPE RATION AND SIMILAR SERVICES BY CORE DRILLING AND SAWING. REVIEW THE PROPOSED CUTTING WITH THE INSTALLER OF THE WORK TO BE CUT AND COMPLY WITH HIS RECOMMENDATIONS TO MINIMIZE DAMAGE.

32. INSTALL IONIZATION TYPE SMOKE DETECTION AND SAMPLING TUBE IN THE RETURN & SUPPLY AIR DUCT FROM THE RTD'S OR AHU'S (IF/WHERE INDICATED ON THE DRAWINGS). THE DETECTOR SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR AND SHALL HAVE AN AUXILIARY SET OF CONTACTS FOR CONNECTION TO THE FIRE ALARM CONTROL PANEL. THE DETECTOR SHALL BE WELDED TO SHUT DOWN THE UNIT SUPPLY FAN.

33. ALL DUCT, PIPING AND EQUIPMENT LOCATIONS INDICATED ON THESE DOCUMENTS ARE FOR REFERENCE ONLY AND SHALL BE USED AS A GUIDE. ALL TOLERANCES AND TOLERANCE TOLERANCE SHALL BE VERIFIED PRIOR TO FABRICATION AND/OR INSTALLATION OF ANY DUCT OR PIPING SYSTEM.

34. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE MECHANICAL REQUIREMENTS FOR ALL CUTTING AND PATCHING OF EXISTING FACILITIES TO BE COMPLETED BY THE GENERAL CONTRACTOR OR OTHERS.

35. USE ADJUSTABLE PIPE HANGERS ON SUSPENDED PIPE. ISOLATE HANGERS COMING IN CONTACT WITH BASE COOPER PIPE WITH DIELECTRIC HANGER LINES. PROVIDE SUPPORTS BETWEEN PIPING AND BUILDING STRUCTURE WHERE NECESSARY TO PREVENT SWAYING. CONFORM TO THE INTERNATIONAL PLUMBING AND MECHANICAL CODE FOR HANGER SIZES AND SPACING. DO NOT SUPPORT PIPE FROM OTHER PIPE OR DUCT SYSTEMS. INSTALL HANGERS AND SUPPORTS TO ALLOW CONTROLLED MOVEMENT OF PIPING SYSTEM AND TO PERMIT PROPER MOVEMENT BETWEEN PIPE HANGERS.

36. INSTALL PIPE, TUBE AND FITTINGS IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES WHICH WILL ACHIEVE PERMANENT-LEAKPROOF. INSTALL PIPING SYSTEMS, WHETHER OF PERFORMING AND INDICATED SURVEY WITHOUT PIPE FAILURE. INSTALL EACH RUN WITH A MINIMUM OF JOINTS AND COUPLINGS. JET WITH ADEQUATE AND ACCESSIBLE JOINTS FOR DISASSEMBLY, MAINTENANCE OR REPLACEMENT OF VALVES AND EQUIPMENT. REDUCE SIZES BY USE OF REDUCING FITTINGS. INSTALL PIPING WITHOUT SPRING OR FORCING. SUPPORT PIPING INDEPENDENTLY AT EQUIPMENT. SIZES WHICH WILL NOT BE SUPPORTED BY THE EQUIPMENT. FURNISH ALL DEVICES NECESSARY FOR FINAL CONNECTION, INCLUDING BUT NOT LIMITED TO TAIL PIECES, STOPS AND SUPPLIES. LOCATE PIPING RUNS EXCEPT AS OTHERWISE INDICATED VERTICALLY AND HORIZONTALLY. AVOID DIAGONAL RUNS WHEREVER POSSIBLE. ORIENT HORIZONTAL RUNS PARALLEL WITH WALLS AND COLUMN LINES. HOLD PIPING CLOSE TO WALLS, OVERHEAD CONSTRUCTION, COLUMN AND OTHER STRUCTURAL AND PERMANENT-ENCLOSURE ELEMENTS OF THE BUILDING. LIFT CLEARANCE OF 0.5" WHERE FURRING IS SHOWN FOR ENCLOSURE OR CONCEALMENT OF PIPING, BUT ALLOW FOR INSULATION THICKNESS. IF ANY. WHERE POSSIBLE, LOCATE INSULATED PIPING FOR 1.0" CLEARANCE OUTSIDE INSULATION. WHEREVER POSSIBLE IN FINISHED AND OCCUPIED SPACES, CONCEAL PIPING FROM VIEW BY LOCATING IN COLUMN ENCLOSURES, IN HOLLOW WALL CONSTRUCTION OR ABOVE SUSPENDED CEILINGS.

37. FLUSH OUT PIPING SYSTEMS WITH CLEAN WATER BEFORE PROCEEDING WITH THE REQUIRED TESTS. PROVIDE TEMPORARY EQUIPMENT FOR TESTING INCLUDING PUMP AND GAUGES. TEST PIPING SYSTEM BEFORE INSULATION IS INSTALLED WHEREVER FEASIBLE. TEST EACH NATURAL SECTION OF EACH PIPING SYSTEM INDEPENDENTLY, BUT DO NOT USE PIPING SYSTEM VALVES TO ISOLATE SECTIONS WHERE TEST PRESSURE EXCEEDS VALVE PRESSURE RATING. FILL EACH SECTION OF WATER DRAIN OR VENT PIPING WITH WATER AND PRESSURE FOR 120 HOURS AT 150% OF OPERATING PRESSURE, BUT NOT LESS THAN 50 PSI FOR PRESSURE PIPING AND TEN FEET FOR DRAIN AND VENT PIPING. TEST ALL LEAKAGE IS OBSERVED OR IF PRESSURE DROPS EXCEEDS 5% OF TEST PRESSURE. REPAIR PIPING SYSTEM SECTIONS WHICH FAIL BY DISASSEMBLY AND RE-INSTALLATIONS, USING NEW MATERIALS TO THE EXTENT REQUIRED TO CORRECTLY REPAIR. DO NOT USE GLUED JOINTS, GASKETS, COMPOUNDS, MASTICS OR OTHER TEMPORARY REPAIR METHODS. AFTER TESTING AND REPAIR WORK HAVE BEEN COMPLETED, DRAIN TEST WATER FROM PIPING SYSTEMS.

38. FILL ALL DOMESTIC WATER LINES WITH A CHLORINE WATER SOLUTION OF 50 PARTS PER MILLION MINIMUM. FILL SOLUTION IN PIPE FOR AT LEAST 24 HOURS. OPEN AND CLOSE ALL VALVES 3 TIMES DURING CHLORINATION. WASTE CHLORINE SOLUTION FROM EACH LOCATION. MEASURE SOLUTION AT EACH. IF NOT TO SPECIFIED, ALL RATED WATER SYSTEMS SHALL BE OPENED AS SPECIFIED. PROVIDE TESTS FOR APPLICATION OF INSULATION. COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS OR OTHERWISE CITY DEPARTMENT OF HEALTH REQUIREMENTS WHICHEVER IS MORE STRINGENT.

39. BALL VALVES 1" AND SMALLER: NIBCO 1585 (THREADED ENDS) OR NIBCO 5585 (SOLDERED ENDS), RATED FOR 150 PSI NON-SHOCK WOC 2-PIECE CAST BRONZE BODIES, TFE SEAT, FULL PORT, BRONZE TRIM, BLOWOUT PROOF STAIN BRASS/BRONZE BALL. VALVE ENDS SHALL HAVE FULL DEPTH AND THREADS OR EXTENDED SOLDER CONNECTIONS.

CHECK VALVES 2, 1/2" AND SMALLER: NIBCO 7413 (THREADED ENDS) OR NIBCO 5413 (SOLDERED ENDS).



MEP, Civil & Environmental Engineering Services

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GENERAL NOTES

- UPON COMPLETION OF JOB, FURNISH OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. MEET WITH OWNER OR OWNER'S REPRESENTATIVE TO INSTRUCT ON OPERATIONS PROCEDURES.
- COORDINATE EXACT LOCATIONS AND ELEVATIONS FOR ALL PLUMBING PIPING SYSTEMS AND EQUIPMENT WITH STRUCTURE FOUNDATION AND ALL OTHER TRADES AS REQUIRED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE CITY OF GREELEY BUILDING DEPARTMENT, THE INTERNATIONAL PLUMBING CODE, AND THE INTERNATIONAL BUILDING AND MECHANICAL CODES.
- REINFORCEMENT OF STRUCTURE FOR ALL NEW EQUIPMENT IS TO BE (DESIGN), PROVIDED AND INSTALLED BY OTHERS.
- MAINTAIN MINIMUM 10"-0" SEPARATION BETWEEN PLUMBING VENTS AND OUTSIDE AIR INLETS.
- PLUMBING PLANS ARE DIAGRAMMATIC AND SCHEMATIC IN NATURE. COORDINATE ALL PIPE ROUTING AND EQUIPMENT LOCATIONS WITH STRUCTURE. FIELD VERIFY REQUIREMENTS.
- ALL PLUMBING EQUIPMENT & MATERIALS SELECTIONS SCHEDULED ON THESE DRAWINGS ARE USED FOR THE DESIGN BASIS OF THE PLUMBING SYSTEMS. MANUFACTURER SUBSTITUTIONS OF EQUIPMENT & MATERIALS MUST ACQUIRE THE ENGINEER'S APPROVAL AT OR BEFORE THE EQUIPMENT SUBMITTAL PHASE OF PROJECT.

PLUMBING FIXTURE SCHEDULE

TAG	DESCRIPTION
UH-1	UNIT HEATER (PROVISED BY OTHERS) MFG. LENOX MODEL J725-200A ALUMINIZED STEEL UNIT HEATER - 2004BH INPUT, 1334BH OUTPUT AT 5000. PROVIDE 1" FLEXIBLE CONNECTION, GAS SHUT OFF VALVE AND 1/2" DRAIN TIE. PROVIDE HORIZONTAL DISCHARGE VENT (INCLUDING HORIZONTAL DRAIN SECTION, WALL THIMBLE AND TERMINATION TEE). CONNECT FLEX TUBING TO HORIZONTAL DRAIN AND DISCHARGE TO AN APPROPRIATE LOCATION. 1/2" GAS PIPE, 1/2" FAN, 122V/15, 7.0 FLA, NGA 15, 1/3-P, 6" FUE.
RBP-1	REDUCED PRESSURE BACKFLOW PREVENTER (GREENHOUSE WET BALL) WILKINS MODEL 875X12-S, LOW-HEAD SIZE 1/2", PROVIDE MODEL 40-S AIR GAP FITTING. (OR APPROVED EQUAL)
WPRV-1	WATER PRESSURE REDUCING VALVE WILKINS MODEL 240X1 BRONZE BODY, STAINLESS STEEL DIAPHRAGM AND DISC, 1/2" (OR APPROVED EQUAL)
TD-1	TRENCH DRAIN WATTS MODEL "DEAD LEVEL" 1' x 30" LONG x 6" WIDE IN MULTIPLE SECTIONS, 1/8" FRS-SLOPED COMPOSITE TRENCH WITH RADIUS BOTTOM, STEEL ANGLE FRAME, END/SIDE OUTLET, GRATE LOCK DOWN ASSEMBLY, DUCTILE IRON GRATE. (OR APPROVED EQUAL)
AD-1	AREA DRAIN ZURN, MODEL 2662-HP-YA, 1/4"x16", DURA-COATED CAST IRON BODY DRAIN WITH DUCTILE IRON TOP, BOTTOM OUTLET, AND SEDIMENT BUCKET, SIZING PER PLANS. (OR APPROVED EQUAL)
GPRV-1	GAS PRESSURE REDUCING VALVE WATKINS, MODEL 325 OR 210, 2/3" GAS TO 1/2" W.G. WITH VENT PROTECTOR FOR OUTDOOR APPLICATIONS, AIR VENT LIMITER FOR INDOOR APPLICATIONS, SIZING PER PLANS. (OR APPROVED EQUAL)
FCO	FLOOR CLEANOUT ZURN, MODEL ZH-1400 WITH NICKEL BRONZE TOP IN FINISHED AREAS. (OR APPROVED EQUAL)
GCO	GRADE CLEAN-OUT J.R. SMITH, MODEL 4323, CAST IRON WITH DOUBLE FLANGED HOUSING AND SECURED SCORATED CAST IRON COVER WITH LIFTING DEVICE. (OR APPROVED EQUAL)

DESIGN CRITERIA

PROJECT SITE:	GREELEY, COLORADO
CODES:	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE

DRAWING INDEX

NUMBER	DRAWING TITLE	10/23/2022	10/24/2022	10/25/2022	10/27/2022
PM-1	GENERAL MECHANICAL NOTES AND OUTLINE SPECIFICATIONS.	*	*	*	*
P-0	GENERAL NOTES, LEGEND, SCHEDULES AND DIAGRAMS.	*	*	*	*
P-1.0	DOMESTIC WATER AND GAS PLAN	*	*	*	*
M-1.0	MECHANICAL FLOOR PLAN		*	*	*

LEGEND

--- V ---	SANITARY SEWER VENT PIPING
--- GSS ---	GREASE SANITARY SEWER PIPING
--- SS ---	SANITARY SEWER PIPING
--- CW ---	DOMESTIC COLD WATER PIPING
--- HW ---	DOMESTIC HOT WATER PIPING
--- NP ---	NON-POTABLE WATER PIPING
--- G ---	NATURAL GAS PIPING
--- (E) ---	EXISTING PIPING
--- (N) ---	NEW PIPING
--- (X) ---	PIPE CAP
--- (X) ---	GAS COCK
--- (X) ---	UNION
--- (X) ---	INCREASER/REDUCER
--- (X) ---	CHECK VALVE
--- (X) ---	RAIL VALVE
--- (X) ---	PRESSURE REDUCING VALVE
--- (X) ---	RELIEF VALVE
--- (X) ---	REDUCED PRESSURE BACKFLOW PREVENTER
--- (X) ---	PIPE OFFSET UP
--- (X) ---	PIPE OFFSET DOWN
--- (X) ---	MINIMUM PIPING SLOPE IN DIRECTION OF FLOW
--- (X) ---	PIPE ELBOW DOWN
--- (X) ---	PIPE ELBOW UP
--- (X) ---	TEE OFF BOTTOM OF PIPE
--- (X) ---	TEE OFF TOP OF PIPE
--- (X) ---	POINT OF NEW CONNECTION
AFF	ABOVE FINISHED FLOOR
WCO	WALL CLEAN-OUT
FCO	FLOOR CLEAN-OUT
GCO	GRADE CLEAN-OUT
VTR	VENT THROUGH ROOF
CW	COLD WATER
HW	HOT WATER
(E)	EXISTING
(N)	NEW
(X)	DIAGRAM OR RISER
(X)	SHEET NUMBER

PROJECT NOTES

- PLUMBING CONSULTOR TO CLARIFY ANY PLUMBING OPENING CONFLICTS WITH MECHANICAL, ELECTRICAL, ARCHITECT & STRUCTURAL ENGINEER VIA REQUEST FOR INFORMATION OR SUBMITTAL PACKAGE PRIOR TO FABRICATION AND INSTALLATION.
- PROVIDE ISOLATION AS REQUIRED BY THE INTERNATIONAL BUILDING CODES FOR ALL PIPING PENETRATIONS THROUGH THE FLOOR SLAB.

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ALL CONSTRUCTION SHALL CONFORM TO CURRENT INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES.
DO NOT SCALE DRAWINGS FOR DIMENSIONS

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303.906.2617



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09.07.22

REVISIONS

SHEET TITLE
LEGEND, INDEX, NOTES
AND SCHEDULES

SHEET NUMBER

P-0

Project No. 22-043



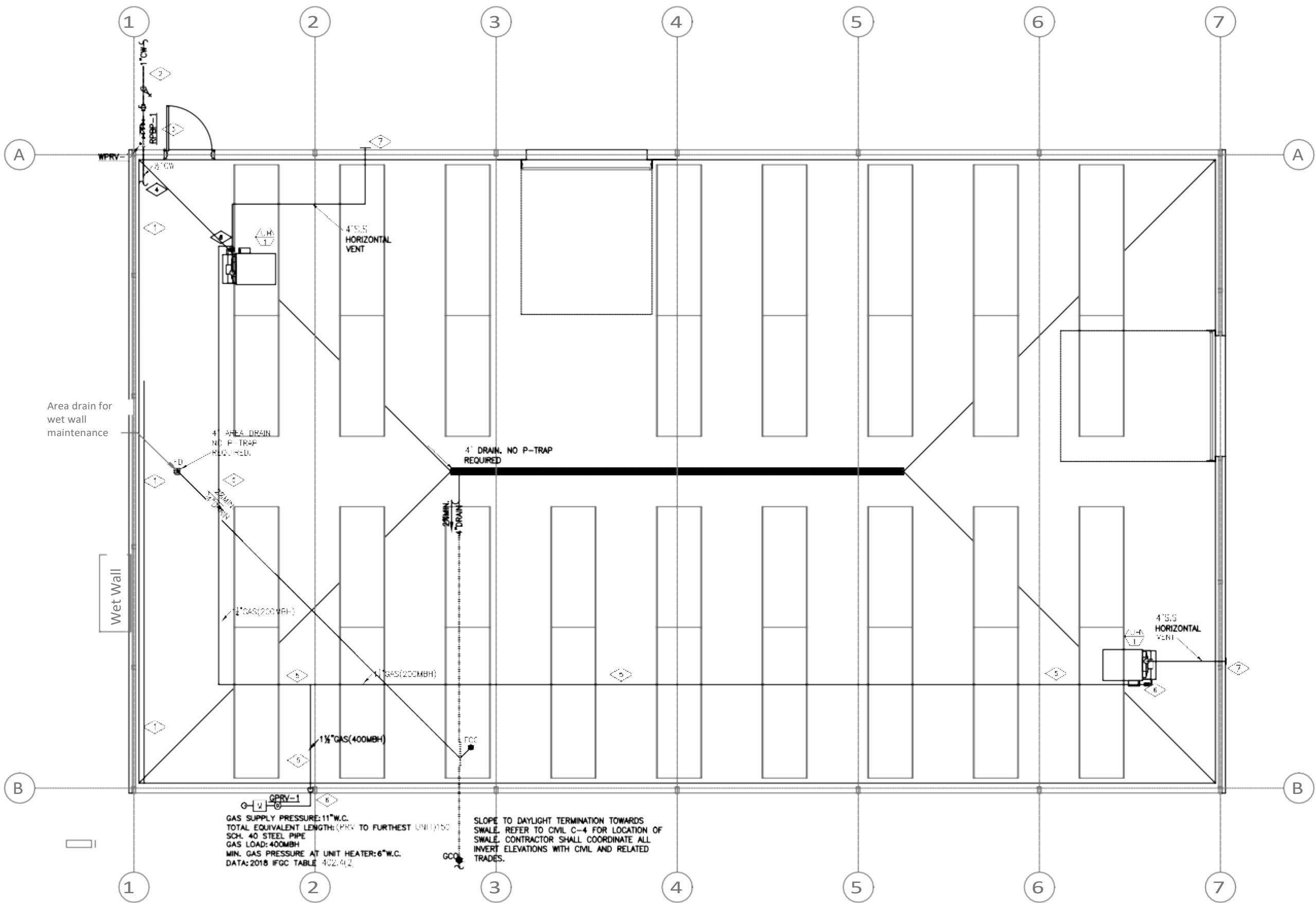
GENERAL CONSTRUCTION NOTES:

1. GAS PIPING SHALL BE INSPECTED, TESTED AND PURGED AS PER 2018 IFGC SECTION 406. ALL METALLIC GAS PIPING SHALL BE COATED WITH A CORROSION INHIBITOR.
2. CONTRACTOR SHALL VERIFY GAS SUPPLY AVAILABLE FOR GREENHOUSE. IF THE AVAILABLE GAS SUPPLY PRESSURE IS LESS THAN 7" W.C. THEY SHALL CONTACT ENGINEER FOR RESOLUTION BEFORE PROCEEDING.
3. SCHEDULE 40 STEEL PIPE IS THE DESIGN BASIS. CORRUGATED STAINLESS STEEL PIPE IS NOT ALLOWED.
4. ALL HORIZONTAL AND VERTICAL GAS PIPING SHALL BE SUPPORTED AS PER 2018 IMC TABLE 305.4
5. LOCATION OF DOMESTIC WATER ENTRY POINT AND NATURAL GAS ENTRY POINT IS SCHEMATIC IN NATURE. CONTRACTOR SHALL COORDINATE WITH CIVIL FOR EXACT LOCATIONS.

KEY NOTES

(THIS SHEET ONLY)

1. EVAPORATIVE PAD WALL-BY OTHERS.
2. 1" BUILDING SERVICE FROM METER AND TAP. SEE CIVIL FOR CONTINUATION.
3. PROVIDE DRIP FUNNEL BELOW RPPB AND ROUTE FULL-SIZE DRAIN PIPING TO DRAIN. PROVIDE AIR-GAP FITTING.
4. 1/2" CW TO EVAPORATIVE COOLING SYSTEM. 1.0 GPM MAXIMUM EVAPORATION RATE. CONNECT TO MAKE UP VALVE AS PER MFG'S INSTALLATION INSTRUCTIONS.
5. RUN GAS PIPING AS HIGH AS PRACTICAL AND SUPPORT FROM STRUCTURE. DO NOT ATTACH GAS PIPING TO CONDUIT, VENTS, CABLE TRAYS ETC.
6. CONNECTIONS TO EQUIPMENT SHALL INCLUDE UL RATED 1/2" FLEXIBLE CONDUIT OR 1/2" DRIP LET AND GAS SHUT-OFF VALVE.
7. INSTALL WITH STAINLESS STEEL HORIZONTAL VENT KIT INCLUDING WALL THIMBLE AND TERMINATION TEE. VENT TERMINATION SHALL BE 10' HORIZONTALLY OR 3' ABOVE ANY OPENINGS INTO GREENHOUSE.



GAS SUPPLY PRESSURE: 11" W.C.
TOTAL EQUIVALENT LENGTH: (PRV TO FURTHEST UNIT) 150'
SCH. 40 STEEL PIPE
GAS LOAD: 400 MBH
MIN. GAS PRESSURE AT UNIT HEATER: 6" W.C.
DATA: 2018 IFGC TABLE 402.4.2

SLOPE TO DAYLIGHT TERMINATION TOWARDS SWALE. REFER TO CIVIL C-4 FOR LOCATION OF SWALE. CONTRACTOR SHALL COORDINATE ALL INVERT ELEVATIONS WITH CIVIL AND RELATED TRADES.



DOMESTIC WATER, DRAIN AND GAS PLAN

SCALE = 1/4" = 1'-0"



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SHEET TITLE
DOMESTIC WATER, DRAIN
AND GAS PLAN

SHEET NUMBER

P-1.0

Project No. 22-043

GENERAL CONSTRUCTION NOTES:

1. GAS PIPING SHALL BE INSTALLED, TESTED AND PURGED AS PER 2018 IFGC SECTION 408. ALL METALLIC GAS PIPING SHALL BE COATED WITH A CORROSION INHIBITOR.
2. ALL VENT TERMINATIONS SHALL BE 10" HORIZONTALLY OR 3' VERTICALLY ABOVE ANY OPENINGS INTO BUILDING.
3. INSTALL VENT PIPING AS PER MFG'S INSTALLATION INSTRUCTIONS.

KEY NOTES

(THIS SHEET ONLY)

- ◇ INSTALL WITH STAINLESS STEEL HORIZONTAL VENT KIT INCLUDING WALL THIMBLE AND TERMINATION TEE. VENT TERMINATION SHALL BE 10" HORIZONTALLY OR 3' ABOVE ANY OPENINGS INTO GREENHOUSE.
- ② INSTALL PVC TUBING TO HORIZONTAL DRAIN SECTION DISCHARGE AND ROUTE TO APPROVED LOCATION.

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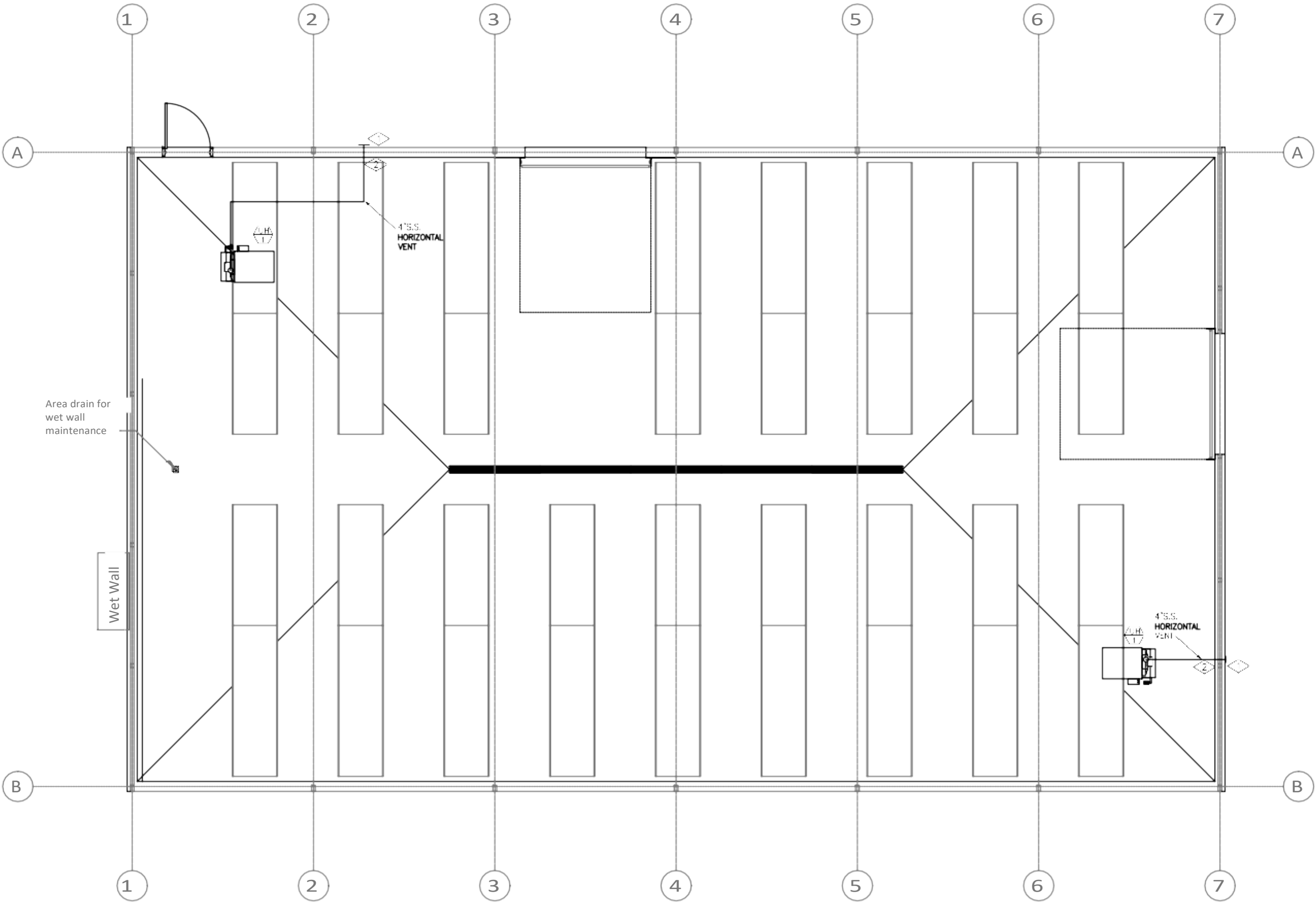
REVISIONS

SHEET TITLE
MECHANICAL FLOOR PLAN

SHEET NUMBER

M-1.0

Project No. 22-043



MECHANICAL FLCCR PLAN
SCALE = 1/4" = 1'-0"



GENERAL LIGHTING NOTES:

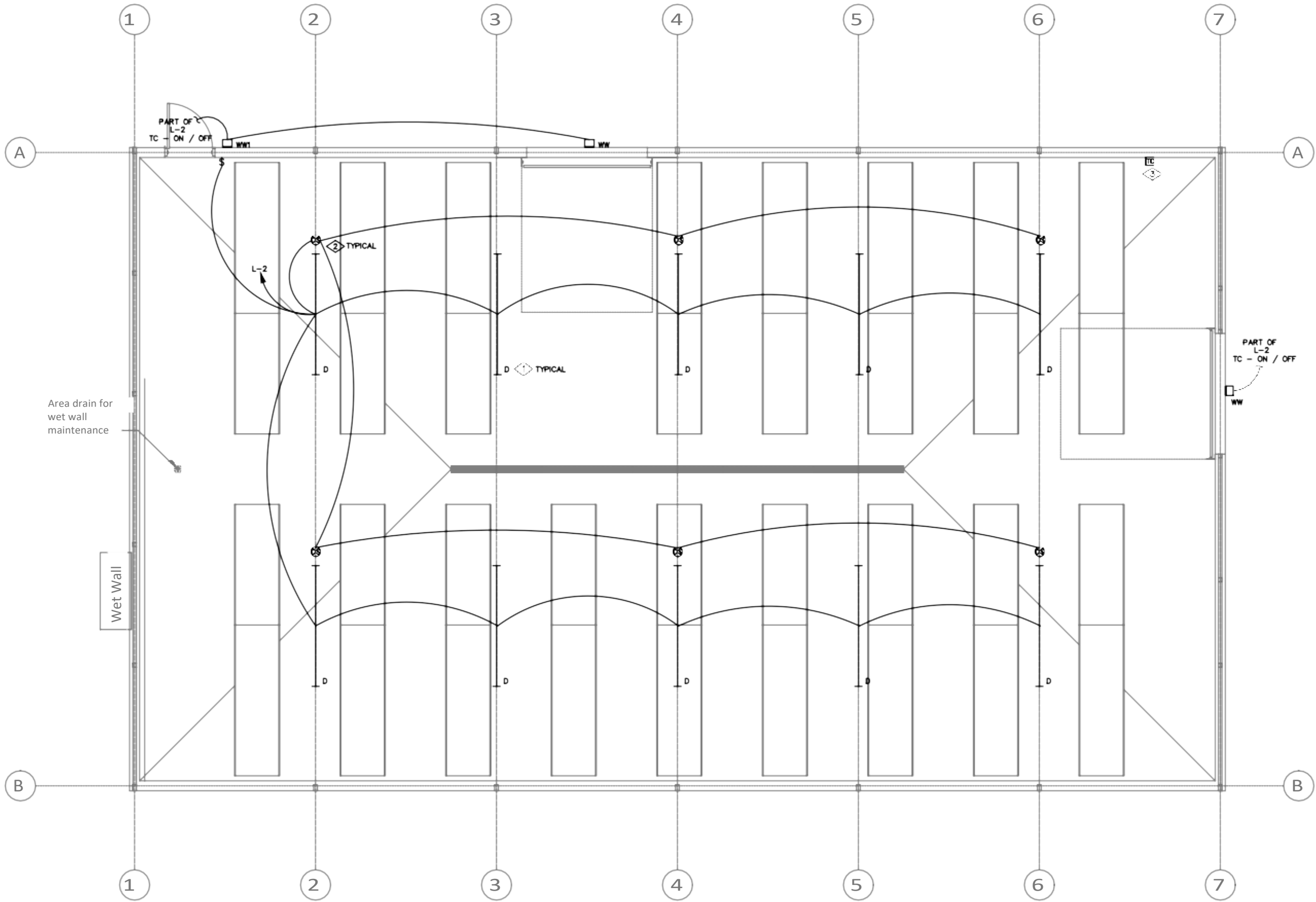
1. CONNECT ALL EXIT AND EM LIGHTS TO CIRCUITS SHOWN AHEAD OF LOCAL SWITCHING.
2. LUMINAIRES DENOTED "NL" SHALL BE CONNECTED AHEAD OF LOCAL SWITCHING.
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LIGHTING FIXTURE LOCATIONS.
4. ALL CONDUCTORS SHALL BE COPPER AND #12 UNLESS OTHERWISE NOTED.
5. ALL SWITCHES CONVENIENCE RECEPTACLES AND PLATES SHALL BE WHITE NONMETALLIC UNLESS NOTED. CONFIRM COLOR WITH ARCHITECT PRIOR TO ORDERING DEVICES.
6. COPIES OF ALL INSTALLATION, OPERATIONAL AND MAINTENANCE MATERIALS ARE TO BE SAVED AND PROVIDED TO THE PROJECT MANAGER FOR ASSEMBLY AND DELIVERY TO THE CONTRACTOR AND OWNER.
7. LABEL ALL JUNCTION BOXES WITH CIRCUIT NUMBERING DURING ROUGH-IN OF CONDUIT SYSTEM.
8. THE ELECTRICAL CONTRACTOR JOB FOREMAN SHALL DOCUMENT ALL UNDERGROUND FEEDERS AS WELL AS ANY DEVIATIONS TO THE CONSTRUCTION DOCUMENTS ON THE RECORD DRAWINGS. SHOW DIMENSIONS ONLY WHEN ACCURACY CAN BE ASSURED.
9. ALL EXPOSED CONDUIT IN CEILING TO BE PAINTED TO MATCH CEILING.

KEY NOTES

(THIS SHEET ONLY)

- ◇ TYPE 'D' FIXTURES TO BE INSTALLED AT ~10' A.F.F.
- ◇ OCCUPANCY SENSORS TO BE SENSOR SWITCH 5804 OUTDOOR RATED SERIES MOUNTED ON J-BOX SUSPENDED AT ~10' A.F.F.
- ◇ PROVIDE 7-DAY ASTRONOMICAL TIME CLOCK FOR EXTERIOR LIGHTING CONTROL.

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LIGHTING PLAN
SCALE = 1/4" = 1'-0"



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SHEET TITLE
LIGHTING PLAN

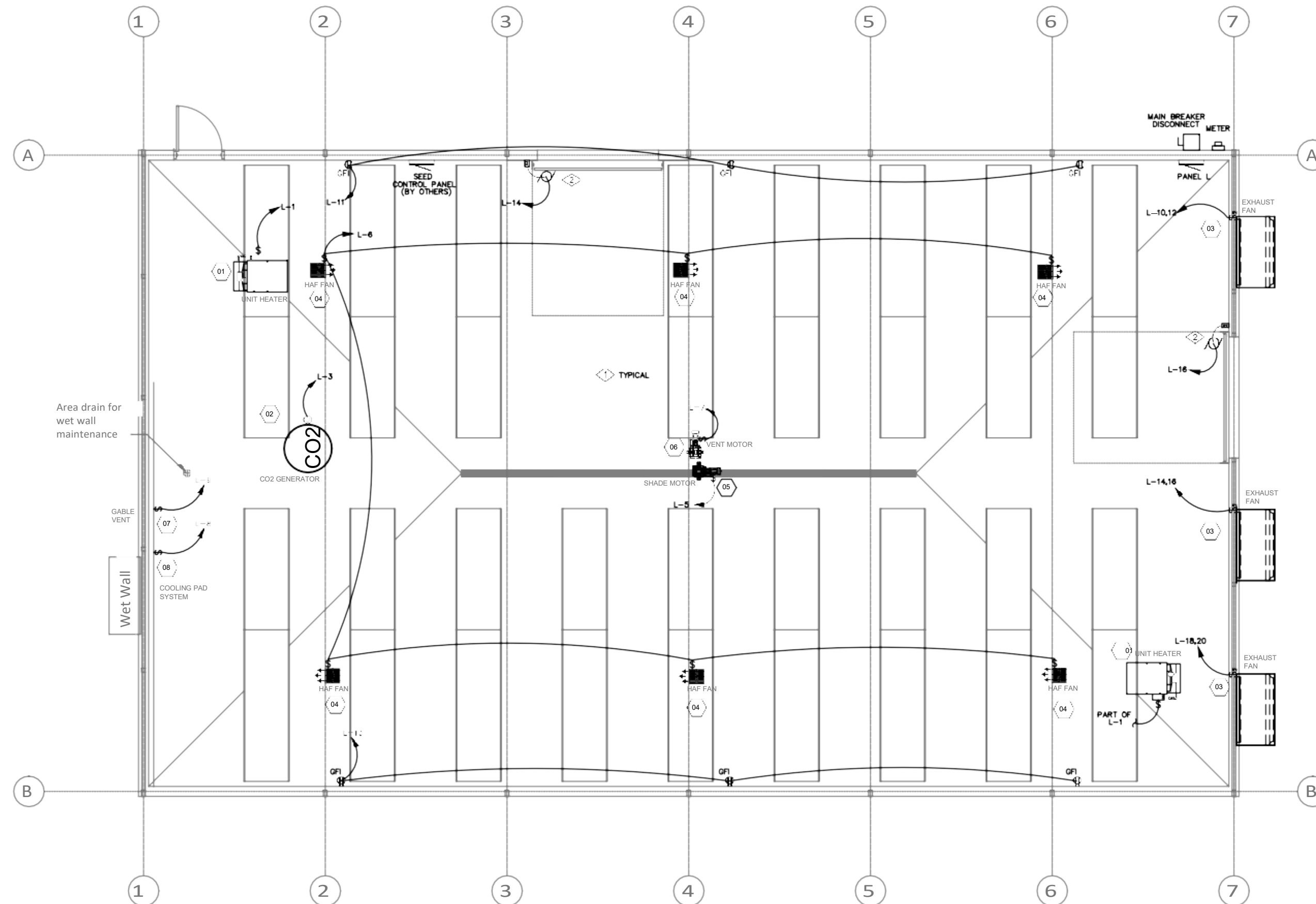
SHEET NUMBER

E-2.0

Project No. 22-043

1. REFER TO MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT.
2. ALL CONDUCTORS SHALL BE COPPER AND #12 UNLESS OTHERWISE NOTED.
3. ALL SWITCHES, CONVENIENCE RECEPTACLES, AND PLATES SHALL BE WHITE NONMETALLIC UNLESS NOTED. CONFIRM COLOR WITH ARCHITECT PRIOR TO ORDERING DEVICES.
4. PROVIDE POWER TO VVTS AS REQUIRED BY M.C. (REFER TO MECHANICAL PLANS).
5. COPIES OF ALL INSTALLATION, OPERATIONAL AND MAINTENANCE MATERIALS ARE TO BE SAVED AND PROVIDED TO THE PROJECT MANAGER FOR ASSEMBLY AND DELIVERY TO THE CONTRACTOR AND OWNER.
6. LABEL ALL JUNCTION BOXES WITH CIRCUIT NUMBERING DURING ROUGH-IN OF CONDUIT SYSTEMS.
7. THE ELECTRICAL CONTRACTOR JOB FOREMAN SHALL DOCUMENT ALL UNDERGROUND FEEDERS AS WELL AS ANY DEVIATIONS TO THE CONSTRUCTION DOCUMENTS ON THE RECORD DRAWINGS. SHOW DIMENSIONS ONLY WHEN ACCURACY CAN BE ASSURED.
8. FIRE ALARM DEVICES ARE NOT SHOWN ON DRAWINGS AT THIS TIME. FIRE ALARM SHOP DRAWINGS SHALL BE PROVIDED BY A LICENSED FIRE ALARM CONTRACTOR AND SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.
9. ALL EXPOSED CONDUIT IN CEILING TO BE PAINTED TO MATCH CEILING.

- ① COORDINATE ALL EQUIPMENT AND CONTROL PANEL CONNECTIONS AND FINAL LOCATIONS WITH OWNER, D.C. AND EQUIPMENT PROVIDER.
- ② COORDINATE OVERHEAD DOOR OPENER REQUIREMENTS WITH EQUIPMENT VENDOR.



POWER PLAN
SCALE = 1/4" = 1'-0"



Houston Gardens Greenhouse
515 23rd Ave.
Greeley, CO



PO Box 684
LaSalle, CO 80645
303.906.2617



DATE
09.07.22

REVISIONS

SHEET TITLE
POWER PLAN

SHEET NUMBER

E-3.0

Project No. 22-043

Houston Gardens historic structures photos

October 2022, photos provided by Caleb Bussard, DS Constructors, applicant



515 23rd Avenue
Vicinity Map

Attachment D



515 23rd Ave.



Greeley Parcels

R-L (Residential Low Density) Zoning



COMMUNITY DEVELOPMENT