



PLANNING COMMISSION MEETING SWITCHED TO ZOOM January 11, 2022

Today's meeting has been switched to meeting by Zoom only.

Citizen Participation During Hearing

Click the link below to join the virtual meeting. During the public hearing portion, use the Q&A or raised hand features at the bottom of the screen and you will be called upon to speak at the appropriate time.

<https://greeleygov.zoom.us/j/88454026929?pwd=RFdSMY9SQVZmam8yRGowNnNlSTBXUT09>

Passcode: 744961

Livestream on YouTube:

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<https://www.youtube.com/CityofGreeley>.

Other options for sharing public comments:

E-mail – Submit to cd_admin_team@greeleygov.com

All comments submitted by e-mail will be read into the record at the appropriate points during the meeting in real time. Comments can be submitted up to and throughout the meeting.

Traditional Mail – Planning Commission, 1100 10th Street, Greeley, CO 80631

All written comments must be received no later than the day of the meeting. Written comments received by mail will also be read into the record in real time.

To download the agenda and agenda packet, click on the "Enter City Meeting Portal" button on the Planning Commission web page – <https://greeleygov.com/government/b-c/boards-and-commissions/planning>.

For more information about this meeting or to request reasonable accommodations, contact the administrative team at 970-350-9780 or by email at cd_admin_team@greeleygov.com.



Planning Commission

January 11, 2022 at 1:15 PM

1001 11th Avenue, City Center South, Greeley, CO 80631

Agenda

1. Call to Order
2. Roll Call
3. Approval of the Agenda

EXPEDITED AGENDA

The following items are routine in nature, fully described in the accompanying reports, And therefore staff summary presentations will be suspended unless requested by the Commission or member of the public in attendance at the meeting.

4. Approval of Minutes dated October 26, 2021
5. Public hearing to consider a Use by Special Review request to allow for a 42-bed medical care rehabilitation and recovery services hospital located at 6810 10th Street in the Commercial Low Intensity zone district
6. Public hearing to consider a request for a Preliminary Plat to plat 10 tracts and dedicate 19.715 acres of right-of-way on approximately 295 acres located north of US Highway 34 Business, east of 101st Avenue, and west of 95th Avenue

END OF EXPEDITED AGENDA

7. Election of Chair and Vice Chair
8. Planning Commissioner Roles
9. Designation of Location for Posting Notices
10. Staff Report
11. Adjournment

City of Greeley, Colorado
PLANNING COMMISSION PROCEEDINGS

October 26, 2021

1. Call to Order

Chair Yeater called the meeting to order at 1:15 p.m.

2. Roll Call

The hearing clerk called the roll.

PRESENT

Commissioner Erik Briscoe
Commissioner Jeff Carlson
Commissioner Brian Franzen
Commissioner Larry Modlin
Commissioner Christian Schulte
Chair Justin Yeater

ABSENT

Commissioner Chelsie Romulo

3. Approval of Agenda

Ms. Safarik advised that there were no additions or corrections to the agenda. The agenda was approved as presented.

4. Approval of September 28, 2021 Minutes

Commissioner Franzen moved to approve the minutes dated September 28, 2021. Commissioner Modlin seconded the motion. Motion carried 6-0.

5. Public hearing to consider a request to rezone 1.169 acres, including adjacent right-of-way to roadway centerline, from C-L (Commercial Low Intensity) to C-H (Commercial High Intensity) with a DCMP (Development Concept Master Plan), located at 2000 16th Street (Project No ZON2021-0008)

Chair Yeater introduced the item. Brittany Hathaway addressed the Commission and stated that the request is for a rezone from Commercial Low Intensity to Commercial High Intensity with a Development Concept Master Plan (DCMP). She advised that the DCMP would limit high intensity uses typically permitted in a commercial high district such as bars and gas stations. Ms. Hathaway stated that the site is proposed for a drive-through coffee shop. She noted that the property is currently zoned to allow for a coffee shop, adding that the drive-through component is only permitted in a commercial high zone district.

Ms. Hathaway reported that there is a site plan and subdivision under review pending approval of this request, adding that the conceptual site layout on the DCMP matches that on the site plan under review. She described the surrounding zoning as commercial low with residential dwellings located southwest of the site. She stated that the immediate area includes a church, medical offices, North Colorado Medical Center and single-family homes. Ms. Hathaway presented several photographs of the site and surrounding area and noted the parking lot that is separately owned in the southwest corner adjacent to the residential properties.

Ms. Hathaway presented a zoning boundary map and pointed out the parcel requested for rezoning as well as up to one-half of the 16th Street right-of-way. She presented a proposed DCMP with the conceptual site layout and a list of restricted uses. Ms. Hathaway noted that the drive-through is planned to be situated toward 16th Street with required buffering near the residential area. She added that the southern portion of the site containing a parking lot would back up to the existing nearby parking lot.

Ms. Hathaway advised that the request meets the applicable rezone criteria in Development Code Section 24-625, adding that the request was submitted prior to adoption of the new development code and is subject to the 1998 development code standards. She summarized the conformance criteria and stated that the zoning has been in place for over 15 years, noting that the site has been vacant for approximately 7 years. Ms. Hathaway advised that the DCMP is provided to help mitigate any potential use conflicts. She stated that notice of the hearing was accomplished and that two comments were received, with one in support and the other in opposition to the request to rezone. Ms. Hathaway reported that a neighborhood meeting was hosted by the applicant in July 2021. Staff recommended approval.

Commissioner Franzen asked for clarification of the restricted uses. Ms. Hathaway presented a slide showing the types of uses that would be restricted in the future pursuant to the DCMP. Commissioner Schulte asked what might occur if the coffee shop proposed for the site left and, specifically, whether something like a fast food restaurant could take its place. Ms. Hathaway advised that other businesses, including drive-through restaurants, could be allowed on the site if the rezoning proposal is approved. Responding to a question from Commissioner Briscoe, Ms. Hathaway reported that there are no restrictions regarding hours of operation. Upon question by Commissioner Franzen, Ms. Hathaway reported that access to the site would be off 16th Street from the shared access easement identified on the site plan. Commissioner Carlson asked whether there were any anticipated traffic impacts with emergency vehicle traffic at North Colorado Medical Center. Ms. Hathaway advised that a traffic study was submitted indicating that traffic generated by a drive-through coffee shop would be minimal, adding that staff would review in more detail with the site plan.

Krysta Houtchens with Entitlements and Engineering Solutions, 501 S. Cherry Street, Glendale, Colorado, addressed the Commission and described some of the restricted uses identified by Ms. Hathaway. Ms. Houtchens advised that a traffic impact study was completed and analyzed for a 2200-square-foot coffee shop with a drive-through. She added that while some new traffic might be generated, the majority of traffic to the site would be passerby traffic. Ms. Houtchens stated that

part of the rezone request includes a standard to restrict noise to a safe level per state code. She described the standard noise from a sound box at a drive-through, adding that there is a two-foot grade change and additional landscaping for buffering. Ms. Houtchens presented a conceptual landscape plan showing the proposed buffering.

Chair Yeater referred to earlier questions by the Commission as to what might happen if the proposal is approved and a different business moved in. Upon question by Chair Yeater, Ms. Houtchens advised that there is a formal contract in place with Starbucks. Chair Yeater asked about the term of the contract.

Herndon Luce, Verdad Real Estate, 2301 W. 45th Avenue, Denver, Colorado, addressed the Commission and advised that the arrangement with Starbucks includes a 15-year lease. Upon question by Commissioner Modlin, Mr. Luce advised that most quick service restaurants might look at the space and would fit on the site. He added that Starbucks has been interested in the site for a couple of years to capture the hospital traffic and that the company is committed to the project. Mr. Luce reported that Starbucks very rarely shuts stores, especially those with a drive-through, and that the risk of a different business coming in is low. Upon question by Chair Yeater, Mr. Luce stated that Starbucks does not have any contingencies outside of the lease if it is unable to obtain the appropriate permits.

Chair Yeater opened the public hearing at 1:31 p.m.

Kathy Ensz, 1611 21st Avenue, addressed the Commission and stated that she was very much against allowing installing a Starbucks on the site. She expressed concern about increased traffic, noting that a junior high school is located one block away. Ms. Ensz stated that 16th Street is very busy and was concerned about such a commercial business in the area, adding that she was fine if a medical building was on the site. She did not feel that a Starbucks was needed in the neighborhood.

The public hearing was closed at 1:33 p.m.

Chair Yeater invited Ms. Hathaway to respond to some of the questions posed, particular regarding how a crosswalk might work. Ms. Hathaway advised that staff would review the site plan submittal as well as the traffic impact analysis, at which time staff might make recommendations such as a crosswalk. She pointed out the nearby pedestrian bridge and traffic lights. Ms. Hathaway advised that a coffee shop could be placed on the site now without a drive-through. Upon question by Commissioner Modlin, Ms. Hathaway presented a map and pointed out the access to the site. Commissioner Schulte confirmed that the Commission is being asked to approve a zone change and that the actual plan will go through staff for site plan approval. Ms. Hathaway confirmed Commissioner Schulte's statement. Upon further question by Commissioner Schulte, Ms. Hathaway stated that staff has an option to require sound buffering around the residential corner, adding that there will be a required landscape buffer at the southwest boundary.

Commissioner Franzen moved that, based on the application received and the preceding analysis, the Planning Commission find that the proposed rezoning from C-L (Commercial Low Intensity) to C-H (Commercial High Intensity) with a DCM (Development Concept Master Plan) meets Development Code Section 24-625(c)(3) a, b, f and g; and, therefore, recommend approval of the rezone to the City Council. The motion failed for lack of a second.

Commissioner Schulte offered his thoughts that adding a drive-through element, as well as other potential uses that could come in the future in a Commercial High Zone, seemed too intense for this area. He noted that it is a small, but busy street and felt it could be overwhelming to the surrounding areas. Commissioner Briscoe agreed and noted the single right exit from the hospital on 16th Street that is immediately adjacent to the site. He stated that the proposed project is too intense for the area and that there were some problems with the proposed site plan as well as potential alternate uses that could be established on the site in the future.

6. Staff Report

Becky Safarik addressed the Commission and advised that staff would be presenting topics for future workshops. Mike Garrott, Planning Manager, thanked the commissioners for completing the survey and prioritizing topics that they would like to discuss. He advised that there might be opportunities for future trainings with the Department of Local Affairs (DOLA) in 2022. There was discussion about using case studies to discuss topics such as site planning, traffic and the impacts of larger developments on the community. Commissioner Briscoe noted the changes with the new development code and observed that it would be helpful to see a case study showing how a project might have been analyzed under the previous code as well as the new code. Ms. Safarik offered that it would also be helpful to bring back the "punch list" of items identified by the Commission for future review. Chair Yeater noted that another topic might be the city's policy around grass in public spaces and the "Life After Lawn" program.

Mr. Garrott advised that two planners, Caleb Jackson and Kira Stoller, had taken positions with other jurisdictions. He noted their hard work and contributions while working for the City.

7. Adjournment

With no further business before the Commission, Chair Yeater adjourned the meeting at 1:55 p.m.

Justin Yeater, Chair

Becky Safarik, Secretary

Planning Commission Agenda Summary

January 11, 2022

Key Staff Contact: Darrell Gesick, Planner III, 970-350-9822

Title:

Public hearing to consider a Use by Special Review request to allow for a 42-bed medical care rehabilitation and recovery services hospital located at 6810 10th Street in the Commercial Low Intensity zone district

Summary:

The City of Greeley is considering a request by the applicant, Anthony Lampasona, on behalf of CAH Developments, LLC, for approval of a USR (Use by Special Review) to allow for a medical care and rehabilitation and recovery services hospital in the C-L (Commercial Low Intensity) zone district. The subject site is located south of 10th Street, east of 71st Avenue, and north of Sheep Draw, specifically at 6810 10th Street. The site is 5.3 acres in size. The applicant is proposing a 48,500-square-foot building and would operate 24 hours a day, seven days a week. It is anticipated that there would be approximately 45 staff members on the first shift and approximately 15 staff members on the second shift. The City of Greeley Development Code states that hospitals, primarily because of the overnight stay, require a USR approval in the C-L zone district.

Recommended Action:

Approval -

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Use by Special Review for a Rehabilitation Hospital in the C-L (Commercial Low Intensity) Zone District is consistent with the 1998 Development Code criteria of Section 24-480(a) (Items 1 through 5), and; therefore, approve the Use by Special Review as submitted.

Denial –

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Use by Special Review for a Rehabilitation Hospital in the C-L (Commercial Low Intensity) Zone District is not consistent with the 1998 Development Code criteria of Section 24-480(a) (Items 1 through 5), and; therefore, deny the Use by Special Review as submitted.

Attachments:

Staff Report
Attachment A – Vicinity Map
Attachment B – Photo Aerial
Attachment C – Narrative
Attachment D – Site Plan

Attachment E – Landscaping Plan
Attachment F – Building Elevations
Attachment G – Notice Boundary Area

PLANNING COMMISSION SUMMARY

ITEM: Use by Special Review (USR) for a Medical Care and Rehabilitation and Recovery Services Hospital in the C-L (Commercial Low Intensity) Zone District

FILE NUMBER: USR2021-0008

PROJECT: Greeley Rehabilitation Hospital USR

LOCATION: 6810 10th Street – Located South of 10th Street, East of 71st Avenue, and North of Sheep Draw

APPLICANT: Anthony Lampasona, on behalf of CAH Developments, LLC

CASE PLANNER: Darrell Gesick, Planner III

PLANNING COMMISSION HEARING DATE: January 11, 2022

PLANNING COMMISSION FUNCTION:

Review the proposal for compliance with Section 24-480(a)1-5, Review Criteria/Uses by Special Review, of the City of Greeley Development Code and either approve, approve with conditions, deny, or table the consideration for future consideration.

EXECUTIVE SUMMARY

The City of Greeley is considering a request by the applicant, Anthony Lampasona, on behalf of CAH Developments, LLC, for approval of a USR (Use by Special Review) to allow for a medical care and rehabilitation and recovery services hospital in the C-L (Commercial Low Intensity) zone district (see Attachments A, B, and C).

A. REQUEST

The Applicant is requesting approval of a USR for a medical care and rehabilitation and recovery services hospital in the C-L (Commercial Low Intensity) zone district (see Attachment C).

B. STAFF RECOMMENDATION

Approval

C. LOCATION

The subject site is located south of 10th Street, east of 71st Avenue, and north of Sheep Draw, specifically at 6810 10th Street (see Attachment A).

Current Zoning:

C-L (Commercial Low Intensity)

Abutting Zoning:

North: C-H (Commercial High Intensity)

South: C-D (Conservation District)

East: R-H (Residential High Density)

West: C-H and R-E (Residential Estate)

Surrounding Land Uses:

North: Restaurant/Medical Office

South: Open Space/Sheep Draw Trail

East: Multi-Family

West: Medical Emergency Room

Site Characteristics:

The site is currently undeveloped land that gradually slopes down from the north to the south.

D. BACKGROUND

The subject site was annexed into the City of Greeley in 2000 as part of the “McCloskey Annexation” and was zoned H-A (Holding Agriculture) in 2001 (File No’s. A 22:00 and Z 9:01). There was a rezone of the site to R-H (Residential High Density) and C-H (Commercial High Intensity) (File No. Z 7:03 and Z 10:03) in 2003 and another rezone to C-L in 2013 (File No. Z 2:13).

The applicant intends to develop the 5.3 acre site with a 42-bed, rehabilitation and recovery hospital. The building would be approximately 48,500 square feet in size and would be one-story in height. The hospital would operate 24 hours a day, seven days a week. It is anticipated that there would be approximately 45 staff members on the first shift and approximately 15 staff members on the second shift. The building would be designed to blend in with the surrounding buildings in the area. The City of Greeley Development Code states that hospitals, primarily because of the overnight stay, require a USR approval in the C-L zone district.

The applicant is proposing to subdivide the Tract into a buildable Lot through the minor subdivision process. An application has been submitted, and is being reviewed concurrently with this USR application. Minor subdivisions are reviewed and approved administratively.

E. APPROVAL CRITERIA

Uses by Special Review: Uses by Special Review possess characteristics which require a public hearing to determine if a proposed use has the potential to adversely affect other land uses, transportation systems, public facilities, or the like in the surrounding neighborhood. The Planning Commission may require conditions of approval necessary to eliminate or mitigate, to an acceptable level, any potentially adverse effects of the proposed use.

Section 24-480 of the 1998 Development Code contains five criteria that are used to evaluate Uses by Special Review:

1. The proposed use shall be consistent with the Comprehensive Plan.

The following City of Greeley Imagine Greeley Comprehensive Plan policies apply to this request:

Comprehensive Plan Policy Objective EH-1.4, Health Services

Provide state-of-the-art and specialty health care services that support local residents and a larger regional population, particularly to the northeast to include Northeast Colorado, Western Nebraska, and Western Kansas.

Staff Comment: The proposed USR as submitted, would provide rehabilitation and recovery care for patients throughout the local and regional area. The facility would operate 24 hours a day, and would specialize in medical rehabilitation services.

This request complies with this Comprehensive Plan policy.

2. The location, size, design, and operating characteristics of the proposed use shall be compatible with the existing and future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity. Reasonable conditions may be placed on uses by special review to protect the public health, safety, and welfare by mitigating impacts to achieve compatibility and complementary design, especially where a nonresidential use is located adjacent to a residential use.

Staff Comment: The size, design, and operating characteristics of the proposed use has been designed to be compatible with existing and future uses in the area. The proposed use would be located within an area that is intended for commercial and institutional uses.

The proposed use should not create any significant noise that would impact adjacent uses. Any potential noise created by the proposed use would be regulated by the Development Code.

Traffic impacts have been accounted for in the submittal and found to be acceptable. The City of Greeley Public Works Transportation Division, Colorado Department of Transportation, and the Community Development Department staff have reviewed the plans and determined that the impacts to the roadway system are acceptable.

The proposed building design includes a variety of materials. The building includes wall articulation, varied roof lines, multiple building materials, and a covered entryway (see Attachment F). The proposed building would be designed to meet the architectural design standards of the 1998 Development Code. The 1998 City of Greeley Development Code allows for typical primary building materials to be, but not limited to, brick, stone, and stucco.

The applicant provided a landscape plan as part of the submittal, which shows a variety of types of landscaping that are proposed to be installed to mitigate any visual impact to surrounding properties. Landscaping would consist of a mixture of shade, ornamental, and evergreen trees, as well as a mixture of bushes and shrubs.

City services should not be impacted, since the surrounding area is already served by municipal services such as water and sewer. Police and Fire are already serving this area, since it is within the City of Greeley.

The proposal complies with this criterion.

3. The site shall be physically suitable for the type and intensity of the proposed land use.

Staff Comment: The site is approximately 5.32 acres in size and would be able to adequately contain all elements of parking, buildings, and landscaping that the applicant proposes on the subject site. The proposed use should be able to adequately achieve all the elements of the 1998 Development Code and other City standards for access and drainage.

The proposal complies with this criterion.

4. The proposed land use shall not adversely affect traffic flow or parking in the neighborhood.

Staff Comment: Direct access for the subject site would be off of 10th Street and 71st Avenue by the existing private drives. The proposed use would increase traffic somewhat; however, all the proposed parking would be on-site and should not affect traffic flow or parking in the surrounding area. There is not any on-street parking available in the area.

The traffic flow and impacts to parking in the area neighborhood should be minimal; therefore, this criterion is met.

5. The location of other approved uses by special review in the neighborhood shall be determined so that a concentration and/or cumulative effect of such uses can be evaluated.

Staff Comment: Several approved Use by Special Review projects exist in the surrounding area. The retail development of the King Soopers, a solar farm, and an oil and gas operations were required to obtain USR approval prior to establishment. The cumulative effect of these uses would not be detrimental to any property within the area.

The proposal complies with this criterion.

b) Use by Special Review applications shall also be reviewed to ensure that all of the applicable development standards of Article VI of Chapter 8 of this title have been met, as well as any applicable overlay district provisions.

Staff Comment: The Zoning District Development Standards found in Section 24-1021 mainly regulate open space, lot coverage, building and structure setbacks, and building height. The proposed plan and accompanying design meets these standards. There are no overlay district provisions for this property. The proposal complies with this criterion.

c) In addition to those criteria and requirements listed in Section 24-480, subsections (a) and (b), Use by Special Review applications shall meet all applicable General Performance Standards found in Chapter 9, Parking Standards in Chapter 10, Landscaping and Buffering Standards in Chapter 11, all applicable Design Review Performance Standards in Chapter 12, Accessory and Temporary Uses, Structures and Buildings in Chapter 15, if applicable, Areas of Ecological Significance in Chapter 13, Hillside Standards in Chapter 14, and Overlay Districts in Article III Chapter 8.

Staff Comment: The proposal demonstrates compliance with the applicable General Performance, Parking, Landscaping and Buffering, applicable Design Review Performance, and Structures and Buildings Standards.

Hillside Standards, Accessory and Temporary Uses, Areas of Ecological Significance, and Overlay District standards are not applicable to this proposal. The proposal complies with this criterion.

F. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The existing lot is currently Tract A of the McCloskey 5th Commercial Subdivision (File No. S 10:12) (Recording Number 3892022). Currently, the applicant is proposing to formerly plat the Tract to a developable Lot through a minor subdivision process. The Minor Subdivision application has been submitted and is being reviewed concurrently with this USR request (File No. SUB2021-0025). Minor subdivisions are reviewed and approved administratively.

2. HAZARDS

Staff is unaware of any potential hazards that presently exist on the site.

3. WILDLIFE

The subject site is located in an area identified for moderate or high wildlife impacts. The City of Greeley determined that there would not be any significant impact to wildlife or plants from this development since the overall development of the Northgate Shopping Center has already been development, with the exception of this parcel. There are no known impacts that would occur to wildlife if the site is developed.

Any active prairie dog holes that may exist within the development area must comply with Section 24-1213 of the City of Greeley's Development Code, as it relates to mitigation.

4. FLOODPLAIN

The southern portion of the proposed request is located within the 100-year floodplain but would not impact the design of the site. The proposal is not located within floodway, according to the adopted Federal Emergency Management Administration (FEMA) flood data.

5. DRAINAGE AND EROSION

On-site grading, including curb and gutter/valley pans, will be used to convey all stormwater runoff to a water quality and detention pond at the southeast corner of the site. This pond will attenuate stormwater flows to acceptable rates and discharge into an existing 24-inch stormwater main that runs along the eastern boundary of the property. A Drainage Report was included with this land use submittal that was reviewed and accepted by both Community Development staff and the City of Greeley Stormwater Division.

6. TRANSPORTATION

The subject site is connected to both 10th Street and 71st Avenue by way of a private drive. Traffic impacts have been accounted for through the preparation of a Transportation Impact Study (TIS) that was included with the land use submittal. According to the TIS, this site is anticipated to generate approximately 536 daily trips (including 45 trips in the AM peak hour and 49 in the PM peak hour). A level-of-service analysis for both short and long term traffic horizons showed total traffic to be within City of Greeley Design Criteria standards at all intersections within the required study area. Community Development staff, as well as the City of Greeley Traffic Division and the Colorado Department of Transportation have reviewed the Transportation Impact Study and accepted it.

G. SERVICES

1. WATER

The City of Greeley provides water service to the area. Water lines currently run in the private drive that is north of, and adjacent to, the subject site; and along the western and southwestern boundaries of the subject site.

2. SANITATION

The City of Greeley provides sanitation service to the area. There is a sewer line that runs in the private drive that is, north of, and adjacent to, the subject site.

3. EMERGENCY SERVICES

The subject site is serviced by the City of Greeley Fire and Police. The closest fire station, Fire Station #7, is located approximately 500 feet to the north of the subject site.

4. PARKS/OPEN SPACES

No public parks or open space areas are proposed with this request and it would not be creating any private parks or open space. The proposed request should have little to no impact on parks or open space in the community.

5. SCHOOLS

No public or private schools are proposed or located within the site. The proposed use would not create any impacts on a school district.

H. NEIGHBORHOOD IMPACTS

1. VISUAL

Any development plan application for the property would be reviewed for compliance with the City's Development Code requirements regarding visual impacts. The applicant provided a landscape plan as part of the submittal which shows a variety of types of landscaping that are proposed to be installed to mitigate any visual impact to surrounding properties and rights-of-way. Landscaping will consist of a mixture of shade, ornamental, and evergreen trees, as well as a mixture of bushes and shrubs.

2. NOISE

No noise impacts are anticipated with the USR request. Any potential noise created by future development will be regulated by the Municipal Code.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices were mailed to surrounding property owners on December 15, 2021, per Development Code requirements. A sign was posted on the site on December 15, 2021. No comments have been received.

J. PLANNING COMMISSION RECOMMENDED MOTION

Approval -

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Use by Special Review for a Rehabilitation Hospital in the C-L (Commercial Low Intensity) Zone District is consistent with the 1998 Development Code criteria of Section 24-480(a) (Items 1 through 5), and; therefore, approve the Use by Special Review as submitted.

Denial –

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Use by Special Review for a Rehabilitation Hospital in the C-L (Commercial Low Intensity) Zone District is not consistent with the 1998 Development Code criteria of Section 24-480(a) (Items 1 through 5), and; therefore, deny the Use by Special Review as submitted.

ATTACHMENTS

Attachment A – Zoning/Vicinity Map

Attachment B – Photo Aerial

Attachment C – Project Narrative

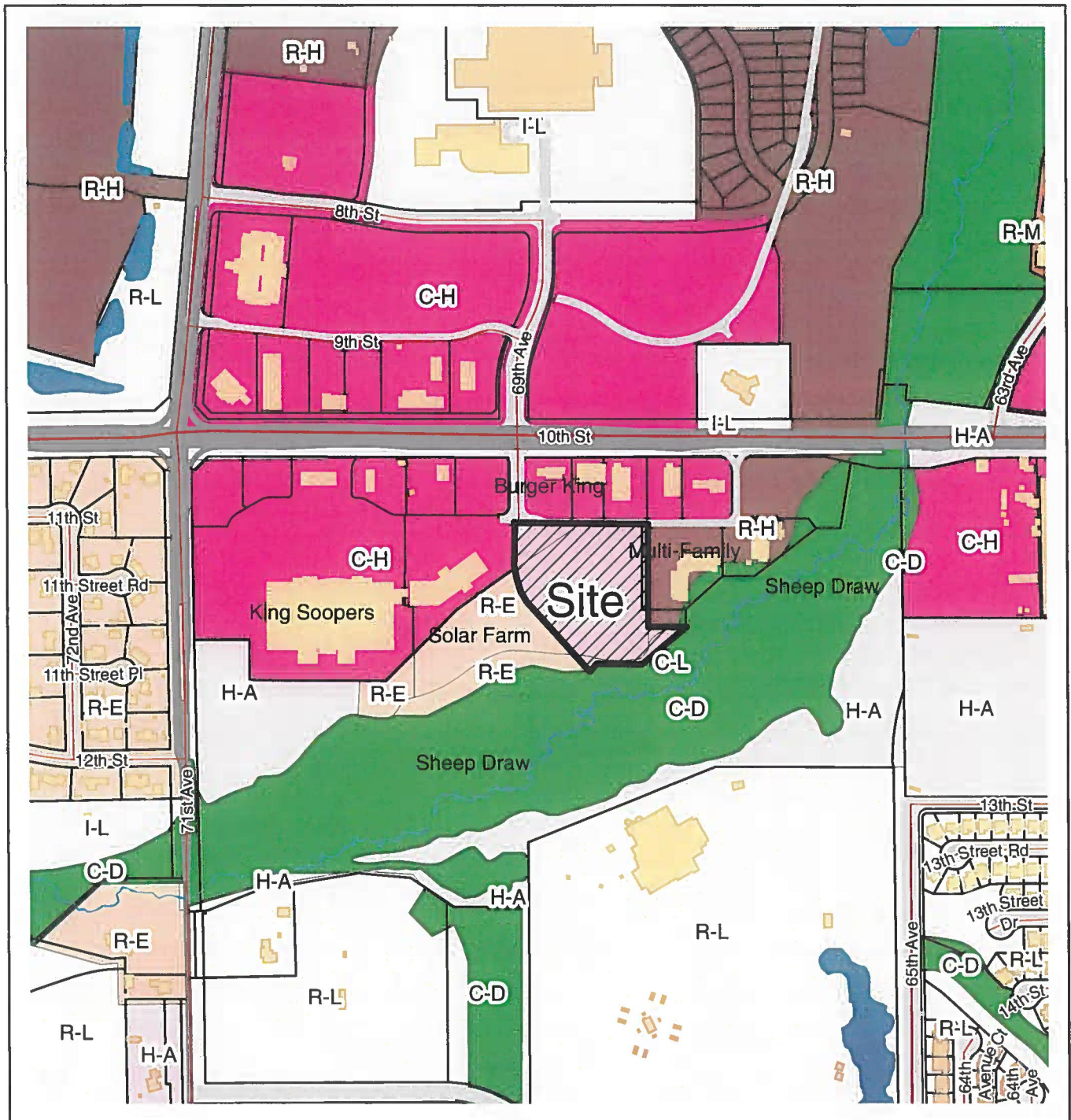
Attachment D – Site Plan

Attachment E – Landscaping Plan

Attachment F – Building Elevations

Attachment G – Neighborhood Notification Boundary Area

Zoning/Vicinity Map Greeley Rehabilitation Hospital



Legend

Structure

FEATURE SUBTYPE

Water Body

Weld Parcels

Road Centerline

Roads

0 500 1,000
Feet



USR2021-0008

Zoning/Vicinity Map Greeley Rehabilitation Hospital



USR2021-0008

Legend

FEATURE_SUBTYPE

- Water Body
- Weld Parcels
- Road Centerline
- Origin Cache Mask

0 500 1,000
Feet



PROJECT NARRATIVE
GREELEY REHABILITATION HOSPITAL

CAH Acquisitions, LLC is proposing to construct a Rehabilitation Hospital at a 5.3 acre vacant parcel located southeast of the intersection of W. 10th Street and 69th Avenue in the City of Greeley. The Rehabilitation Hospital is a 42-bed, 48,500 SF facility that will operate 24 hours a day. There are two operations shifts. The first shift (6am to 6pm) includes 45 clinical staff (7 days/week) and operational staff (M-F 8am to 5pm). The 2nd shift (6pm to 6am) is 15 clinical staff only. This Rehabilitation Hospital will provide patients medical care for rehabilitation and recovery services. The current zoning for the property is Commercial Low Intensity (C-L). A Rehabilitation Hospital is allowed after Use by Special Review approval.

The property is located in the Northgate Village Subdivision and is bordered by UCHealth Greeley Emergency and Surgery Center campus to the west, retail shops to the north, an apartment complex to the east, and the McCloskey Natural Area on the south.

Per code, 51 parking stalls are required based on 1 space per 2 beds (21 stalls) and 2 spaces per 3 employees in the largest shift (30 stalls). A total of 128 parking stalls are provided. The majority of stalls will be located to the west and south of the building with a few stalls southeast of the building.

Upon City of Greeley approval, construction will start. Construction is planned to begin in Winter of 2021 and be completed by 2023.

Although the hospital is a 24-hour facility, patients are typically dropped off and onsite for a week or more. Based on the Traffic Compliance Memo, the project is anticipated to generate a total of approximately 536 daily weekday trips, 45 AM total peak hour trips and 49 PM total peak hour trips. This is significantly less than the estimate of this area included in the Traffic Impact Study prepared for Northgate Village. In addition to traffic impacts, the development will contain site lighting consisting of cut off fixtures mounted on 15' and 12' poles. The Photometric Plan shows no spill over at the property line.

The development will meet the requirements of the City of Greeley 2021 Development Handbook, Design Criteria and Construction Specifications as well as the Landscape Code updated in February 2020. Stormwater Detention is proposed at the southeast corner of the site and will meet the Storm Drainage Criteria and Construction Specifications for dry detention.

The stormwater detention will provide storage to reduce peak flows to pre-development flow rates. This will provide protection for the McCloskey Natural Area located south of the project. Development will not extend into the 100-year floodplain located at the south end of the site.

Catalyst is looking forward to receiving approval on this exciting project. With the proximity to the UCHealth complex, the proposed Rehabilitation Hospital will be an asset to the Northgate Village Development.

GREELEY REHABILITATION HOSPITAL SITE PLAN

Greeley, CO

NO.	DATE	DESIGN BY	DESCRIPTION
1	10-29-21	MJC	CITY COMMENTS
2	12-6-21	MJC	CITY REVIEW COMMENTS

CEI PROJECT: 60-13105

DESIGN BY: MJC

DRAWN BY: MJC

CHECKED BY: RAT

DATE:
07/30/2021

SCALE:

 $1' = 40''$

SHEET NO:

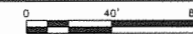
C300

SITE BENCHMARKS			
BENCHMARK ID	DESCRIPTION	LOCATION	ELEVATION
1	SET #5 REBAR WITH ALUMINUM CAP	NEAR NORTHWEST CORNER OF TRACT A	4763.40
2	NGS POINT U 136 BENCHMARK DISC	3.3 MILES FROM SITE	4674.08

COLLINS ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY, OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF COLLINS ENGINEERS, INC.

SITE PLAN

SCALE: 1" = 40'








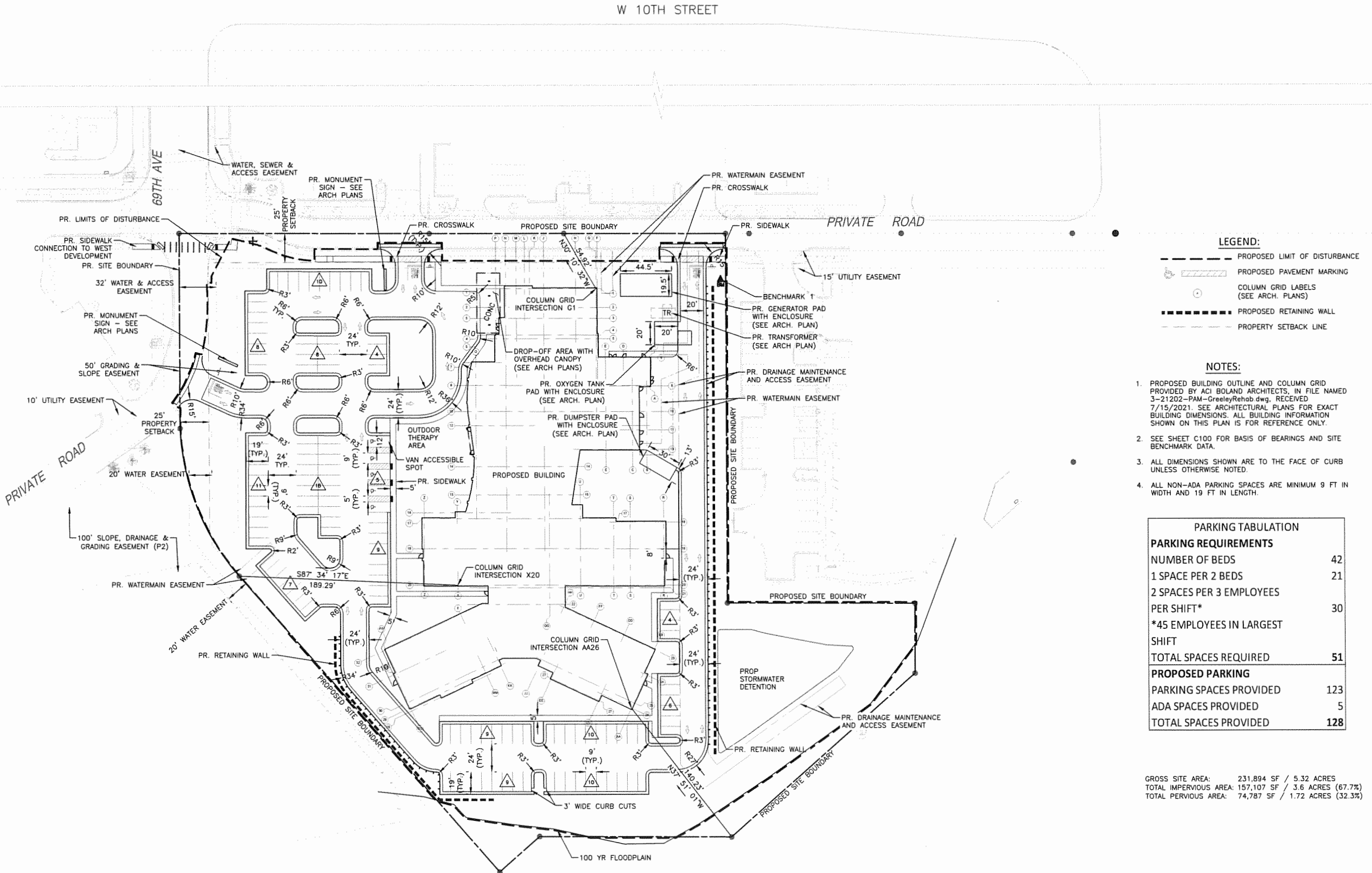
PARKING TABULATION	
PARKING REQUIREMENTS	
NUMBER OF BEDS	42
1 SPACE PER 2 BEDS	21
2 SPACES PER 3 EMPLOYEES PER SHIFT*	30
*45 EMPLOYEES IN LARGEST SHIFT	
TOTAL SPACES REQUIRED	51
PROPOSED PARKING	
PARKING SPACES PROVIDED	123
ADA SPACES PROVIDED	5
TOTAL SPACES PROVIDED	128

GROSS SITE AREA: 231,894 SF / 5.32 ACRES
TOTAL IMPERVIOUS AREA: 157,107 SF / 3.6 ACRES (67.7%)
TOTAL PERVIOUS AREA: 74,787 SF / 1.72 ACRES (32.3%)

- NOTES:**
1. PROPOSED BUILDING OUTLINE AND COLUMN GRID PROVIDED BY ACI BOLAND ARCHITECTS, IN FILE NAMED 3-21202-PAM-GreeleyRehab.dwg, RECEIVED 7/15/2021. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. ALL BUILDING INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
 2. SEE SHEET C100 FOR BASIS OF BEARINGS AND SITE BENCHMARK DATA.
 3. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 4. ALL NON-ADA PARKING SPACES ARE MINIMUM 9 FT IN WIDTH AND 19 FT IN LENGTH.

LEGEND:

-  PROPOSED LIMIT OF DISTURBANCE
 PROPOSED PAVEMENT MARKING
 COLUMN GRID LABELS
 (SEE ARCH. PLANS)
 PROPOSED RETAINING WALL
 PROPERTY SETBACK LINE

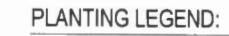










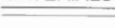
GREELEY REHABILITATION HOSPITAL

Greeley, CO







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L200



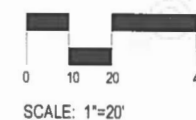
- | | |
|---|----------------------|
|  | DECIDUOUS SHADE TREE |
|  | ORNAMENTAL TREE |
|  | EVERGREEN SHRUB |
|  | DECIDUOUS SHRUB |
|  | ORNAMENTAL GRASS |
|  | PERENNIALS |
|  | BLUEGRASS SOD |
|  | NATIVE GRASS MIX A |
|  | NATIVE GRASS MIX B |

MATERIALS LEGEND:

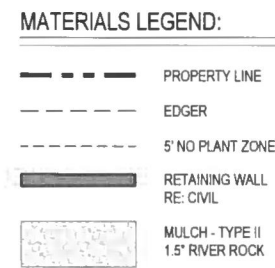
- | | |
|---|-----------------------------|
|  | PROPERTY LINE |
|  | EDGER |
|  | 5' NO PLANT ZONE |
|  | RETAINING WALL
RE: CIVIL |
|  | MULCH - TYPE II |
|  | 1.5' RIVER ROCK |

OWNER: _____ INITIALS / DATE _____

1 LANDSCAPE PLAN
L200 SCALE: 1" = 20"



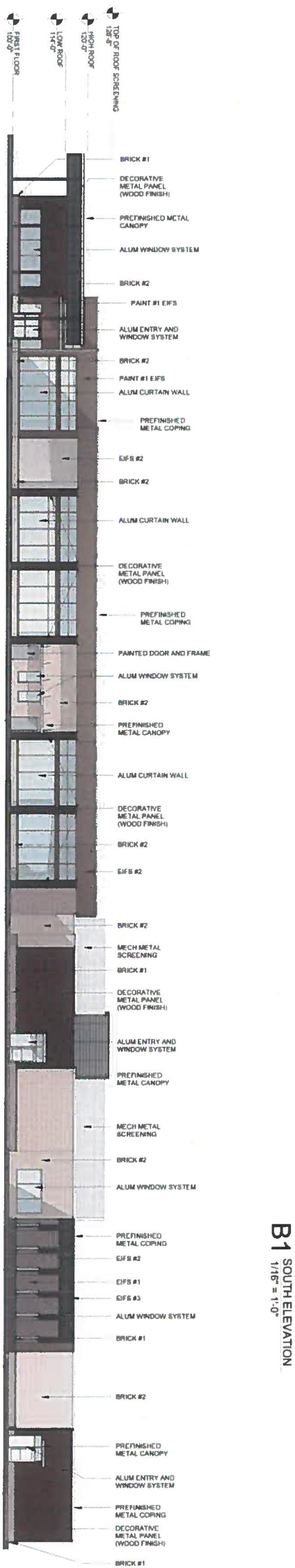
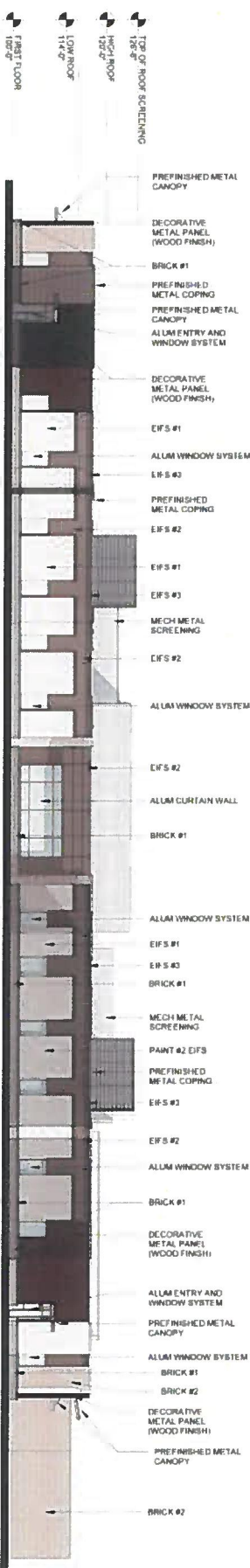
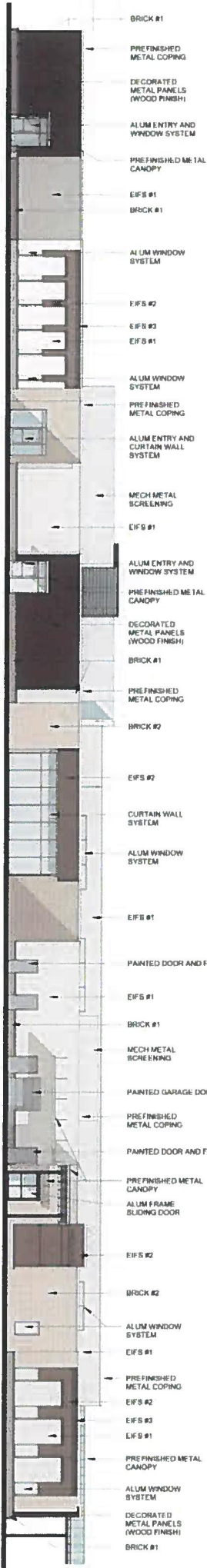
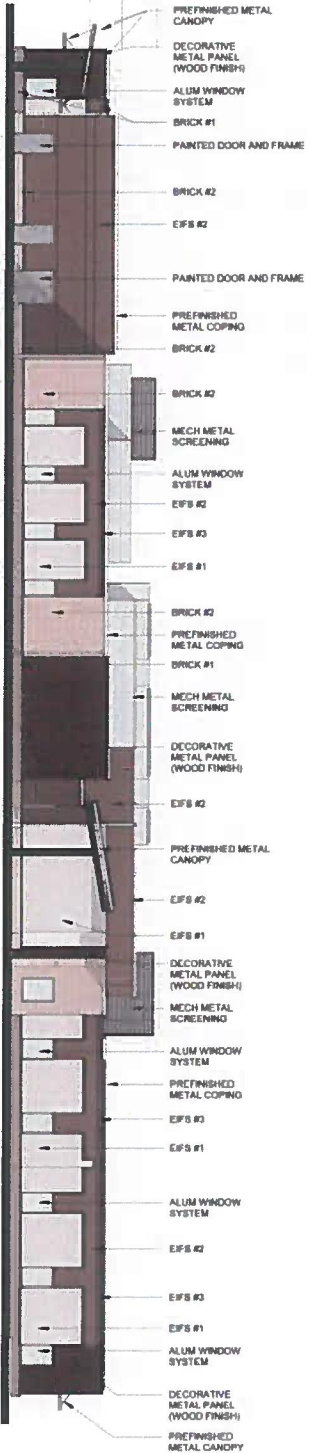
GREELEY REHABILITATION HOSPITAL
LANDSCAPE
PLAN
Greeley, CO

[illegible]

OWNER: _____ INITIALS / DATE _____

NORTH

10.7%	11.6%	6.1%	19.5%	13.5%
-------	-------	------	-------	-------



A1 WEST ELEVATION
1/16" = 1'-0"

C1 EAST ELEVATION
1/16" = 1'-0"

B1 SOUTH ELEVATION
1/16" = 1'-0"

Approval Certificate

ACI
BOLAND
ARCHITECTS

1710 Wyandotte
Kansas City, MO 64108
T: 816.763.9600

ACI/Boland, Inc.
Kansas City | St. Louis
Licensee's Certificate of Authority Number

CIVIL CONSULTANT
COLLINS ENGINEERS, INC.

2033 W. Howard Ave
Milwaukee, WI 53221

Phone Number: 414.282.6909

STRUCTURAL CONSULTANT

BSE STRUCTURAL ENGINEERS

11320 West 79th Street
Lenexa, KS 66214

Licensee's Certificate of Authorship

Phone Number: 913 492.7400

MEP CONSULTANT:

IMEG CORP

1600 Baltimore, Suite 300
Kansas City, MO 64108

Licensee's Certificate of Authority Number

Phone Number: 816.842.843

POST ACUTE MEDICAL
REHABILITATION
HOSPITAL
GREELY, CO

Date 07.30.2021

Job Number P-21202
Drawing By

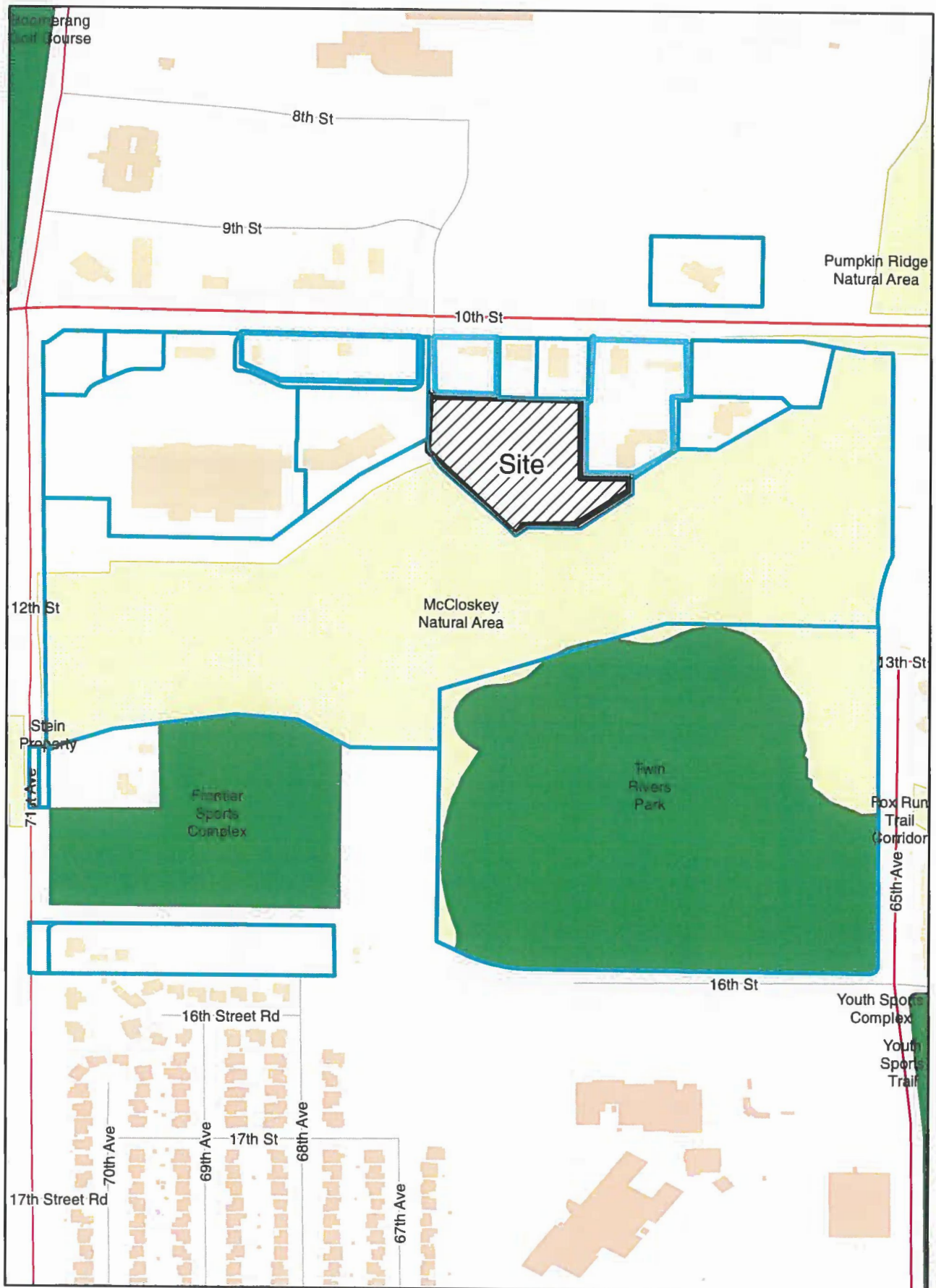
Drawn By _____
Checked By _____ JBE

100

Revision	Date	Description
Number		

AS.1

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ARCHITECTURAL REFERENCE
ELEVATIONS



Planning Commission Agenda Summary

January 11, 2022

Key Staff Contact: Brittany Hathaway, Planner III, 970-350-9823

Title:

Public hearing to consider a request for a Preliminary Plat to plat 10 tracts and dedicate 19.715 acres of right-of-way on approximately 295 acres located north of US Highway 34 Business, east of 101st Avenue, and west of 95th Avenue

Summary:

The applicant is requesting approval of a Preliminary Plat to plat 10 tracts and dedicate 19.715 acres of right-of-way which would include 5 roads. The proposed plat includes the street and utility infrastructure to serve the 10 tracts. Final design would be coordinated with the replat of the individual tracts once builders or developers have been confirmed and site designs or layouts are determined. The purpose of the plat in creating tracts is to provide pad-sites for builders and developers that follow the approved Lake Bluff PUD planning areas and land uses.

Recommended Action:

Approval

Attachments:

Staff Report

Attachment A –

Attachment B –

Attachment C –

Attachment D –

PLANNING COMMISSION SUMMARY

ITEMS: Preliminary Plat

FILE NUMBER: SUB2021-0026

PROJECT: Lake Bluff Preliminary Plat

LOCATION: North of US Highway 34 Business, east of 101st Avenue, and west of 95th Avenue.

APPLICANT: Andrew R. Klein on behalf of Greeley-Rothe, LLC

CASE PLANNER: Brittany Hathaway, Planner III

PLANNING COMMISSION HEARING DATE: January 11, 2022

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a motion to approve, approve with conditions, or deny the request based on the review criteria Section 24-203 of the 2021 Development Code.

EXECUTIVE SUMMARY

The City of Greeley is considering a request by Greeley-Roth LLC for a Preliminary Plat approval on approximately 295 acres located north of US-34 Business, east of 101st Avenue, and west of 95th Avenue.

A. REQUEST

The applicant is requesting approval of a Preliminary Plat to plat 10 tracts and dedicate 19.715 acres of right-of-way. The proposed plat includes the street and utility infrastructure to serve the 10 tracts. Final design would be coordinated with the replat of the individual tracts once builders or developers have been confirmed and site designs or layouts are determined. The purpose of the plat in creating tracts is to provide pad-sites for builders and developers that follow the approved Lake Bluff PUD planning areas and land uses. *See Attachment B – Narrative and Attachment C – Preliminary Plat.*

The request was submitted under the 2021 Development Code, which allows for preliminary subdivisions within an approved Planned Unit Development (PUD) to follow the major

subdivision procedures in Section 24-203 rather than a zoning action. This would include a public hearing and final decision by the Planning Commission.

On March 3, 2020, City Council approved the Lake Bluff PUD (PUD2018-0010), which may be found under Attachment D. This request for a subdivision is in substantial conformance with the approved Preliminary PUD Plan. All proposed land uses are permitted in the prescribed planning areas and dedicated tract uses, including parkland and school uses, comply with the approved Master Plan. General road and utility layouts are also in conformance with the approved PUD.

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning/Land Use:

North: R-L & Weld County zoning: A AG

South: H-A & PUD (Tri-Pointe/Promontory PUD)

East: PUD (The Cache PUD)

West: PUD (Original *expired* Lake Bluff PUD)*

**Poudre Heights Preliminary PUD under review by Staff*

Site Characteristics:

The site is largely undeveloped agricultural land. Oil and gas operations are located on the eastern side of the project adjacent to 95th Avenue. These existing well locations would encumber future development in the southeastern planning areas until such time they are capped and abandoned. A natural bluff area, known as the Poudre Bluffs is located at the northern boundary of the property.

Surrounding Land Uses:

North: Agricultural and a large lot single family residence.

South: Single-Family residential and agricultural. Promontory PUD (residential and commercial uses) is also located to the southwest of the project.

East: Agricultural (future mixed-use)

West: Agricultural (future mixed-use)

D. BACKGROUND

In 1985 a 1,701 acre property was annexed into the City, known as the Golden Triangle Second Annexation (Ordinance 1:85), which included the subject property. The entire annexed area was zoned PUD with a Conceptual PUD for a variety of approved land uses including residential,

commercial, industrial, recreation, and open space uses. In 1997, an application was approved to divide the 1,701 acre Golden Triangle PUD into six separate PUD tracts (PUD 11:97) while maintaining all of the underlying land uses. The subject site was included in the Golden Triangle PUD #3.

The Lake Bluff PUD went through Preliminary PUD approvals in 2009 and again in 2013. These iterations were not finalized through a Final PUD process and thus expired.

The current Lake Bluff Preliminary PUD (PUD2018-0010) was approved by City Council on March 3, 2020 (Ordinance 03, 2020). The Preliminary PUD provides land uses including a mix of residential and commercial with an approximate 10.9 acre school site provided within proposed Tract C. Parks and trails are also committed for the project including two park sites totaling 10.2 acres to be dedicated to the City of Greeley.

Included in the PUD was approximately 55 acres of bluff preservation that would be dedicated to the City. City staff including Planning, Engineering, and Natural Areas, met with the applicant on-site on November 9, 2021 to map out the required bluff preservation area to be dedicated to the City. The data gathered and related dedication would be provided on the replat that would be forthcoming to further subdivide the tracts into buildable lots. A future school site would also be dedicated at time of replat once subdivision layouts are known.

Dedication requirements are included on the preliminary plat under the “Land Use Breakdown” chart and included within the plat notes. These notes would be included on the administratively approved final plat to ensure dedication requirements are memorialized for future re-platting.

E. APPROVAL CRITERIA

In reaching recommendations and decisions on Preliminary Plats (Major Subdivisions), the Planning Commission shall determine if the preliminary plat criteria and procedures of Section 24-203 have been met.

The proposed Preliminary Plat meets applicable review criteria in Section 24-203 (a)-(i). Additionally, the proposed Preliminary Plat to create tracts, provide infrastructure for future development, and to provide dedication of public rights-of-way, substantially conforms to the approved Preliminary PUD.

F. PHYSICAL SITE CHARACTERISTICS

HAZARDS

The applicant has identified areas within the site that are impacted by significant slopes and existing oil and gas facilities, which may impact development. Setbacks have been identified within Preliminary PUD to protect sensitive bluff areas. Staff is unaware of any other hazards on the property.

WILDLIFE

The areas near and within the Poudre Bluffs are identified for moderate impacts to wildlife. To protect the existing habitat, the applicant intends to protect these sensitive areas by dedicating open space and requiring large building setbacks adjacent to the bluff area per the approved Preliminary PUD.

A biologist's report would be required to be submitted for any development that may occur near the impacted areas. As this Preliminary Plat would not create buildable lots and proposed roadways are located outside of impacted areas, the report would be required at time of replat.

FLOODPLAIN

The property is not located within the 100-year floodplain, according to the adopted Federal Emergency Management Administration (FEMA) flood data.

DRAINAGE AND EROSION

Increases in stormwater flows from development would be addressed with on-site and off-site detention ponds, which would be designed to limit runoff to historical flows and would be addressed at time of each filing. Another effort to minimize stormwater runoff would be to limit the amount of non-pervious surface, through best management practices.

Erosion control devices would be designed by the developer and reviewed by the City at time of construction to ensure that best management practices as utilized as the project progress.

TRANSPORTATION

The proposed plat provides dedication for 5 roadways, including 4th Street and 7th Street east-west extensions. Proposed roadways were designed in coordination with neighboring Cache PUD and the Transportation Master Plan to ensure alignment. Paving within 7th Street, 97th Avenue, portions of 101st Avenue, and 95th Avenue would be included with the first phase in 2022.

The City of Greeley's Transportation Planner and Traffic Engineer have reviewed the Traffic Study, which assumed both 2027 short term build out and 2040 long term plans of the City and CDOT. Included in the analysis was an assumed build out of up to 1,150 residential units, 425,000 square feet of commercial uses, and an elementary school site. Proposed

improvements were deemed sufficient to serve the development. Further analysis would be conducted once development plans are submitted.

G. SERVICES

WATER

The City of Greeley would provide water service to the site. A water main would be constructed by the applicant from 89th Avenue and 10th Street through the neighboring Cache PUD and looped through the Lake Bluff site. The extension would provide future stubs for the Cache PUD and Poudre Heights PUD (pending approval).

SANITATION

The City of Greeley would provide sanitary sewer services to the area. The applicant would construct the extension of the Poudre Trunk line within 7th Street, 4th Street, 95th Avenue and 97th Avenues with neighboring developments.

EMERGENCY SERVICES

The property is served by the City of Greeley's Police and Fire Departments. Fire Station #7 is located along 10th Street, approximately 2.3 miles east of Lake Bluff. Fire Station #6 located at the intersection of US Highway 34 Bypass and Promontory Parkway, is approximately 1.5 miles south of Lake Bluff.

PARKS AND OPEN SPACES

The proposal includes 11.5 acres to be dedicated for parks and pocket parks, including 10.2 acres of programmable park area to be dedicated to the City of Greeley at time of replat once lot and neighborhood layouts are known.

The applicant would also dedicate approximately 55 acres of bluff preservation open space to the City of Greeley for public use at time of replat.

SCHOOLS

The subject property is located within the Windsor-Severance (WE-4) School District. The applicants have ongoing discussions with the School District and would dedicate an approximate 10.9-acre elementary school site to serve the surrounding area. School site dedication would be determined once Tract C is re-platted and lot configuration is determined.

METROPOLITAN DISTRICT

The applicant intends to finance many of the on- and off-site improvements for the development by means of a Metropolitan District. The Lake Bluff Metropolitan District Nos. 1-3 was approved in 2018.

H. NEIGHBORHOOD IMPACTS

VISUAL

Visual impacts would be further reviewed against landscape and buffer requirements and the approved PUD at time of replat. Visual impacts resulting from residential development along the Poudre Bluffs and trail systems would be mitigated through significant building setbacks and open space dedications.

NOISE

Any potential noise created by future development will be regulated by the Municipal Code.

I. PUBLIC NOTICE AND COMMENT

Neighborhood courtesy notices for the hearing were mailed to surrounding property owners within 500 feet on December 17, 2021 and a notice was published in the newspaper and on the City's website per Development Code requirements. A sign was posted on the site on December 16, 2021. As of the finalization of this report no written comments have been received.

J. PLANNING COMMISSION RECOMMENDED MOTION

Based on the application received and the preceding analysis, the Planning Commission finds that the Lake Bluff Preliminary Subdivision is in compliance with the provisions of the Subdivision Regulations and Development Code criteria outlined in Section 24-203 and therefore approves the preliminary plat as presented.

ALTERNATIVE MOTION

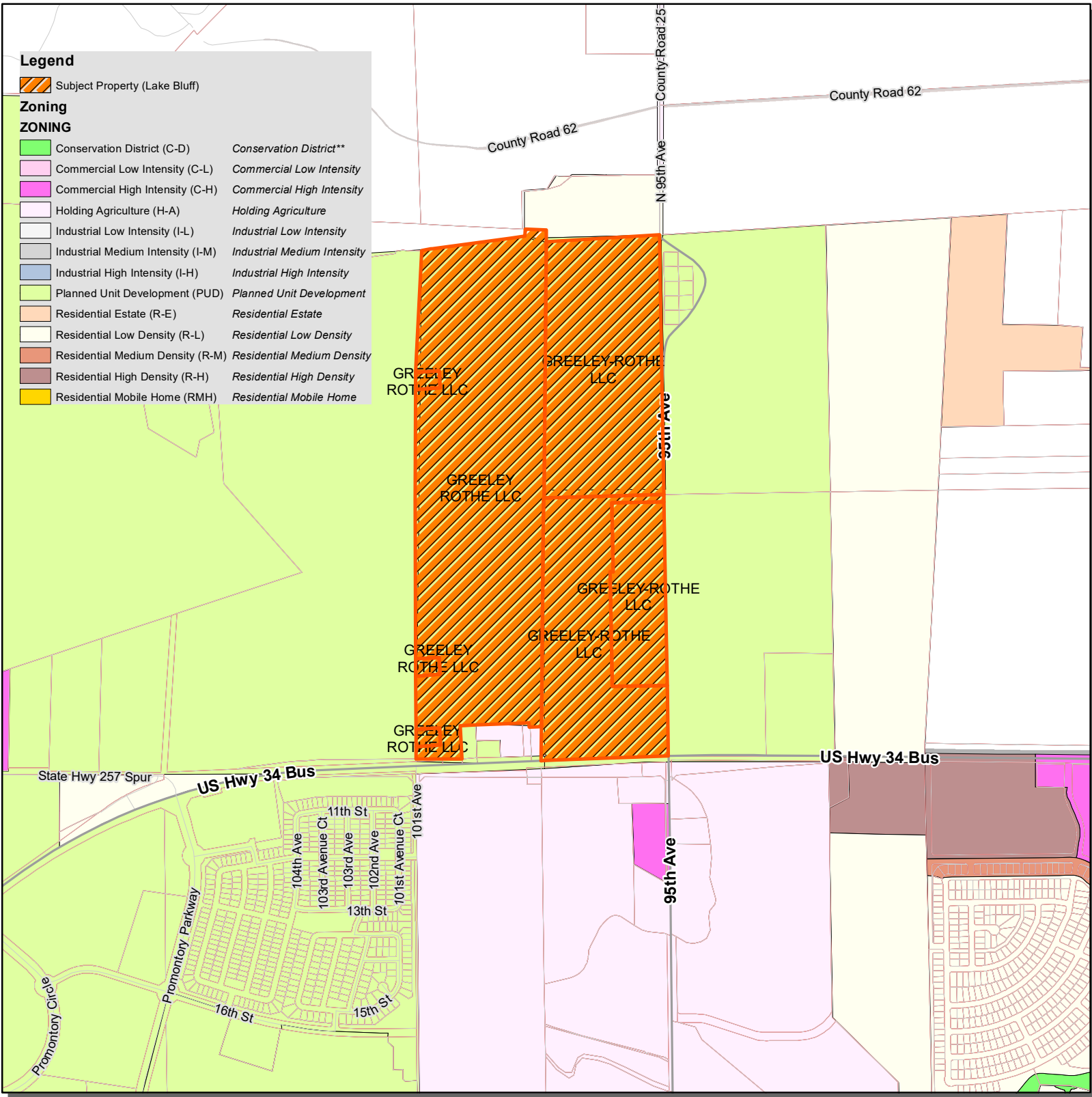
Based on the application received and the preceding analysis, the Planning Commission finds that the Lake Bluff Preliminary Subdivision is not in compliance with the provisions of the Subdivision Regulations and Development Code criteria outlined in Section 24-203 and therefore denies the preliminary plat as presented.

ATTACHMENTS

Attachment A – Zoning/Vicinity Map
Attachment B – Project Narrative
Attachment C – Proposed Preliminary Plat
Attachment D – Lake Bluff PUD

Vicinity Map

Lake Bluff Preliminary Subdivision



SUB2021-0026

**CITY OF GREELEY
NARRATIVE FOR PRELIMINARY
SUBDIVISION APPLICATION**

LAKE BLUFF

LOCATION

PART OF THE E ½ SECTION 1, TOWNSHIP 5N, RANGE 67W, WEST OF
THE 6TH PM
CITY OF GREELEY, STATE OF COLORADO
NORTHWEST OF THE INTERSECTION OF HIGHWAY 34 (10TH STREET)
AND 95TH AVENUE

SEPTEMBER 7, 2021

PREPARED BY:
LAMP RYNEARSON

PREPARED FOR:



Westside Investment Partners, Inc.

4100 EAST MISSISSIPPI AVE, STE 500
DENVER, CO 80246

PRELIMINARY SUBDIVISION PROJECT NARRATIVE

LAKE BLUFF PHASE 1

LOCATION

The property is located at the northwest corner of 95th Avenue and Hwy 34 (10th Street) and is comprised of approximately 146 acres of land zoned for PUD uses. The property is bordered to the north by future phase 2 of Lake Bluff, on the east by 95th Avenue and the future The Cache development, on the south by Highway 34 (10th Street) and on the west by the proposed extension of 101st Avenue and the future Poudre Heights development. The proposed development is situated in Section 1, Township 5 North, Range 67, West of the 6th PM.

PROPOSED DEVELOPMENT

The proposed Lake Bluff Phase 1 project will consist of the Right of Way (ROW) dedication of 5 roads and platting of 10 tracts. This ROW plat includes the street and utility infrastructure to serve the 10 tracts with sanitary sewer, storm sewer, paving, water and non-potable water. Dry utilities including electric and gas have been coordinated and final design will happen with the replat of the individual tracts. The purpose of this plat is to create 'pad site' ready tracts for sale to home builders and residential developers. The replat of tracts is intended to follow the concept of the approved Lake Bluff Planned Unit Development (PUD).

Similarly, the Lake Bluff community will eventually provide a mix of land uses consistent with the approved PUD. After the replats, it will provide a community amenity in the form of a future school, neighborhood parks and open space. The preservation of the existing bluffs in phase 2 will bring regional value in preserving the Poudre River Bluffs in perpetuity.

PROJECT PHASING

It is proposed to phase the construction and development of Lake Bluff into several phases. This submittal represents the first phase of infrastructure design and platting for the southern first phase of the project. Phase 1 is generally south of 4th street between 95th Avenue and 101st Avenue. Phase 2 is generally north of 4th Street between 95th Avenue and 101st Avenue. The replatting of individual tracts will be done by future developers. It is anticipated that phasing of the project will be as following:

Infrastructure Phasing:

- Phase 1A (2022):
 - Sanitary Sewer within 7th Street, 97th Avenue, 4th Street and 95th Avenue connecting to the Poudre Trunk Sewer. Stubs will be available for the future tracts, Poudre Heights, and The Cache developments.
 - Preliminary Plat – Sanitary Sewer Plan
 - Preliminary Hydraulic Analysis Report
 - Storm Sewer within 7th Street, 97th Avenue, 4th Street and 101st Avenue . Extended detention basins for phase 1 to be constructed southwest of the PDC Oil & Gas pad site; south of 7th Street, and northwest of the PDC Oil & Gas Pad site south of 4th Street. An offsite basin on the future Poudre Heights development shall be constructed to attenuate the offsite flows of the Sharktooth

draw and a temporary basin north of 4th Street will be used to detain parts of phase 1 that drain to phase 2. Stubs will be available for the future tracts and Poudre Heights.

- Preliminary Plat – Storm Sewer Plan
 - Preliminary Drainage Map
 - Preliminary Drainage Report
 - Water Main shall be constructed from 89th Avenue and 10th Street, through the future The Cache development, through Lake Bluff in 7th Street and back down to 10th Street connecting to existing water at Promontory Parkway and 10th Street. Water within 97th Avenue, 4th Street and 101st Avenue shall be looped throughout the site. Future stubs will be available for Poudre Heights and The Cache developments.
 - Preliminary Plat – Water Plan
 - Preliminary Hydraulic Analysis Report
 - Non-Potable Water System shall be constructed from the southeast corner of 95th Avenue and 10th Street and gravity drain to the extended detention pond southeast of the PDC Oil & Gas pad site. The pond shall also act as the non-potable water storage pond for Lake Bluff phase 1 development. A pump station shall distribute the non-potable water through the site and through 95th Avenue, 97th Avenue, 7th Street, 4th Street and 101st Avenue shall be looped throughout the site.
 - Preliminary Plat – Non-Potable Water Plan
 - Preliminary Hydraulic Analysis Report
 - Paving within 7th Street, 97th Avenue, 101st Avenue and 95th Avenue. Paving on 95th Avenue and 101st Avenue shall only be constructed to 7th Street.
 - Preliminary Plat – Paving Plan
 - Preliminary Plat – Street Plan and Profiles
- Phase 1B (2023):
 - Paving within 4th Street, 101st Avenue and 95th Avenue. Paving on 95th Avenue and 101st Avenue shall only be constructed north from 7th Street to 4th Street.
 - Phase 2 (2024):
 - Future Development of Lake Bluff Phase 2 north of 4th Street.

Building Phasing:

- Phase 1 Medium Density Residential, High Density Residential, Multi-family and future commercial per the approved PUD is anticipated to start construction in 2022 after the infrastructure construction noted above. Building phase shall include the replat of the individual tract lots and accompanying infrastructure improvements by other developers.

It is anticipated that each phase shall be 18 to 24 months in duration, the actual duration of construction will be dependent on market conditions and unit absorption.

UTILITIES AND STORMWATER DRAINAGE

Stormwater:

The development will discharge stormwater to the east side of the site. The proposed extended detention ponds on the east side of the site will be developed based on the approved PUD of Lake Bluff. The outfall for these ponds will flow north through the Shark tooth draw to existing CMP culverts which allow flows to pass underneath 95th and continue as done historically. A

detention pond offsite, on the proposed Poudre Heights development, will be constructed as part of phase 1. The outfall for the offsite detention pond will be through proposed storm sewer in 4th Street. There is also a proposed temporary pond north of 4th Street that serves the portion of phase 1 that drains to phase 2. The temporary pond is sized for phase 1 development only and will be converted to a larger basin when phase 2 is developed. The offsite and temporary basin outfall for these ponds will flow north through the Shark tooth draw to an existing drainage swale historic conditions.

Non-Potable Water:

For this development, it is proposed to provide a non-potable irrigation system to support the landscaping. It is proposed to design a non-potable irrigation pump station that will gain non-potable water from the Greeley Irrigation Ditch that is situated southeast of 95th Avenue and 10th Street.

Domestic Water:

Domestic water will be a looped system with 2 connection points provided to the existing water system at 89th Avenue and 10th Street and Promontory Parkway and 10th Street. Water valves will be placed per City regulations. Internal water lines shall be designed in accordance with Greeley development design standards.

Sanitary Sewer:

The Lake Bluff development internal sanitary sewer shall flow offsite to 95th Avenue and eventually connect to the Poudre Trunk Sewer designed by the City of Greeley. The Poudre Trunk Sewer is designed and will need to be constructed by the “first development” on site that drains to it.

The City of Greeley has asked for the development to upsize the sanitary sewer for future development. The upsize amount is compared in the hydraulic model. Sanitary sewer infrastructure is designed within 95th Avenue, 4th Street, 97th Avenue and 7th Street. The future developments of The Cache and Poudre Heights are to be served with stubs on 95th Avenue, 7th Street and 4th Street. Per the City of Greeley, no stubs are needed to 10th Street.

LANDSCAPING AND IRRIGATION

Street trees for the preliminary landscape plan shall not be constructed with this phase. Street trees will have final design concurrently with future replats of the tracts. Irrigation shall be designed to utilize the non-potable water system. Irrigation water will provide water for landscaping per the proposed PUD.

ZONING

The land is currently zoned Planned Unit Development (PUD). The uses proposed for the project consist of a mix of residential, commercial and a school.

VARIANCES

Variance requests include the following:

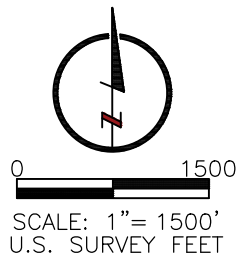
- The south leg of the 101st Avenue and 4th Street intersection is asking for a waiver on the 450' horizontal curve length and 150' tangent between curves. At the proposed 4-way stop intersection it is proposed to have a 300' horizontal curve length which results in a tangent from the intersection to the curve of only 110'. The variance eliminates an

orphaned lot, reduces the amount of offsite dedication and creates a safer intersection where it moves the intersection farther away from existing transmission lines.

LAKE BLUFF PRELIMINARY SUBDIVISION

PART OF THE EAST HALF OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY
SUB2021-0026

Attachment C



LEGAL DESCRIPTION

GREELEY-ROTHE LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER(S) IN FEE OF:

A TRACT OF LAND SITUATED IN THE EAST HALF (E1/2) OF SECTION ONE (1), TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO DESCRIBED AS FOLLOWS:

PARCEL A:

TRACT 1, JACKSON SUBDIVISION, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
EXCEPT THAT PORTION AS DESCRIBED IN DEED RECORDED NOVEMBER 13, 2007 AT RECEPTION NO. 3516969.

PARCEL B:

A PARCEL OF LAND BEING A PART OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND CONSISTING OF THE FOLLOWING 3 PARCELS OF LAND:

PARCEL 1:

THE E 1/2 OF LOT 1 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH/ P.M., COUNTY OF WELD, STATE OF COLORADO

PARCEL 2:

THE E 1/2 OF LOT 2 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH/ P.M., COUNTY OF WELD, STATE OF COLORADO

PARCEL 3:

PART OF THE E 1/2 OF THE SE 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH/ P.M., COUNTY OF WELD, STATE OF COLORADO

AND ALL OF THE ABOVE DESCRIBED PARCELS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SE CORNER OF THE SE 1/4 OF SAID SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO, AND ASSUMING THE SOUTH LINE OF SAID SE 1/4 AS BEARING S 87° 33' 03" W, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2007, A DISTANCE OF 2583.82 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO; FROM SAID SE CORNER THE E 1/4 CORNER OF SAID SECTION 1 BEARS N 00° 59' 03" W A DISTANCE OF 2662.93 FEET;

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

THENCE S 87° 33' 03" W ALONG THE SOUTH LINE OF SAID SE 1/4 A DISTANCE OF 1216.91 FEET;
THENCE N 26° 44' 17" W A DISTANCE OF 164.37 FEET TO THE WEST LINE OF THE E 1/2 OF THE SE ¼ OF SAID SECTION 1; THENCE N 00° 22' 29" E ALONG SAID WEST LINE A DISTANCE OF 2560.66 FEET TO THE CENTER-EAST 1/16 CORNER OF SAID SECTION 1; THENCE N 00° 22' 57" E ALONG THE WEST LINE OF THE E 1/2 OF SAID LOT 1 AND THE WEST LINE OF THE E 1/2 OF SAID LOT 2 OF THE NE 1/4 OF SAID SECTION 1 A DISTANCE OF 2724.16 FEET TO THE E 1/16 CORNER COMMON TO SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST AND SECTION 36, TOWNSHIP 6 NORTH, RANGE 67 WEST, ALL OF THE 6TH P.M.; THENCE S 87° 19' 42" E ALONG THE NORTH LINE OF SAID NE 1/4 A DISTANCE OF 1164.72 FEET TO THE NE CORNER OF SAID SECTION 1; THENCE S 00° 58' 53" E ALONG THE EAST LINE OF THE NE 1/4 OF SAID SECTION 1 A DISTANCE OF 2663.06 FEET TO THE E 1/4 CORNER OF SAID SECTION 1; THENCE S 00° 59' 03" E ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 1 A DISTANCE OF 2662.93 FEET TO THE POINT OF BEGINNING.

THE AS-SURVEYED PERIMETER OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 1 IN TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.) AND ASSUMING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 AS BEARING SOUTH 87°33'22" WEST A DISTANCE OF 2583.95 FEET AND WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE ON THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1 SOUTH 87°33'22" WEST A DISTANCE OF 1216.95 FEET;
THENCE NORTH 26°36'20" WEST A DISTANCE OF 165.09 FEET TO THE WEST LINE OF THE EAST HALF (E½) OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1;

THENCE ON SAID WEST LINE NORTH 00°22'27" EAST A DISTANCE OF 199.55 FEET TO THE MOST SOUTHEASTERLY CORNER OF SAID TRACT 1 OF JACKSON SUBDIVISION;

THENCE ON THE SOUTHERLY BOUNDARY OF SAID TRACT 1 THE FOLLOWING FOUR (4) COURSES:

1. SOUTH 87°32'32" WEST A DISTANCE OF 133.64 FEET;
2. NORTH 03°35'25" WEST A DISTANCE OF 43.50 FEET;
3. SOUTH 87°32'28" WEST A DISTANCE OF 705.52 FEET;
4. SOUTH 03°20'55" EAST A DISTANCE OF 347.26 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN A DEED RECORDED AS RECEPTION NO. 3516969;

THENCE ON THE NORTH LINE OF SAID PARCEL SOUTH 89°51'20" WEST A DISTANCE OF 470.39 FEET TO THE WEST BOUNDARY OF SAID TRACT 1 OF JACKSON SUBDIVISION;

THENCE ON THE WEST AND NORTH BOUNDARY OF SAID TRACT 1 THE FOLLOWING FIVE (5) COURSES:

1. NORTH 01°41'15" EAST A DISTANCE OF 2694.74 FEET TO THE CENTER QUARTER CORNER OF SECTION 1;
2. NORTH 01°41'06" EAST A DISTANCE OF 2539.17 FEET;
3. NORTH 82°08'59" EAST A DISTANCE OF 959.07 FEET;
4. NORTH 04°44'18" EAST A DISTANCE OF 72.48 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1;
5. SOUTH 87°19'51" EAST A DISTANCE OF 215.02 FEET ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1 TO THE EAST SIXTEENTH CORNER OF SECTION 1, TOWNSHIP 5 NORTH (T.5N) RANGE 67 WEST (R.67W) AND SECTION 36, TOWNSHIP 6 NORTH (T.6N) RANGE 67 WEST (R.67W);

THENCE ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SECTION 1 SOUTH 87°19'32" EAST A DISTANCE OF 1164.75 FEET TO THE NORTHEAST CORNER OF SECTION 1;

THENCE ON THE EAST LINE OF SECTION 1 FOR THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°58'44" EAST A DISTANCE OF 2663.07 FEET TO THE EAST QUARTER CORNER OF SECTION 1;
- SOUTH 00°59'10" EAST A DISTANCE OF 2663.04 FEET TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINS 12,834,326 SQUARE FEET, 294.636 ACRES, MORE OR LESS.

FLOOD_ZONE

UNSHADED ZONE X
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS ILLUSTRATED BY FLOOD INSURANCE RATE MAP (FIRM), WELD COUNTY, GREELEY, COLORADO.
MAP NUMBER 08123C1512E
MAP EFFECTIVE DATE: JANUARY 20, 2016
COMMUNITY NUMBER: 080184

FLOOD ZONE REQUIREMENTS MAY BE SUBJECT TO CHANGE OR MODIFICATION BY THE LOCAL GOVERNING AUTHORITY. CONTACT THE LOCAL FLOOD PLAIN MANAGER OR OTHER APPROPRIATE OFFICIAL TO DISCOVER LOCAL ORDINANCES OR CHANGES IN REGULATIONS, FUTURE OR PROPOSED.

STANDARD NOTES

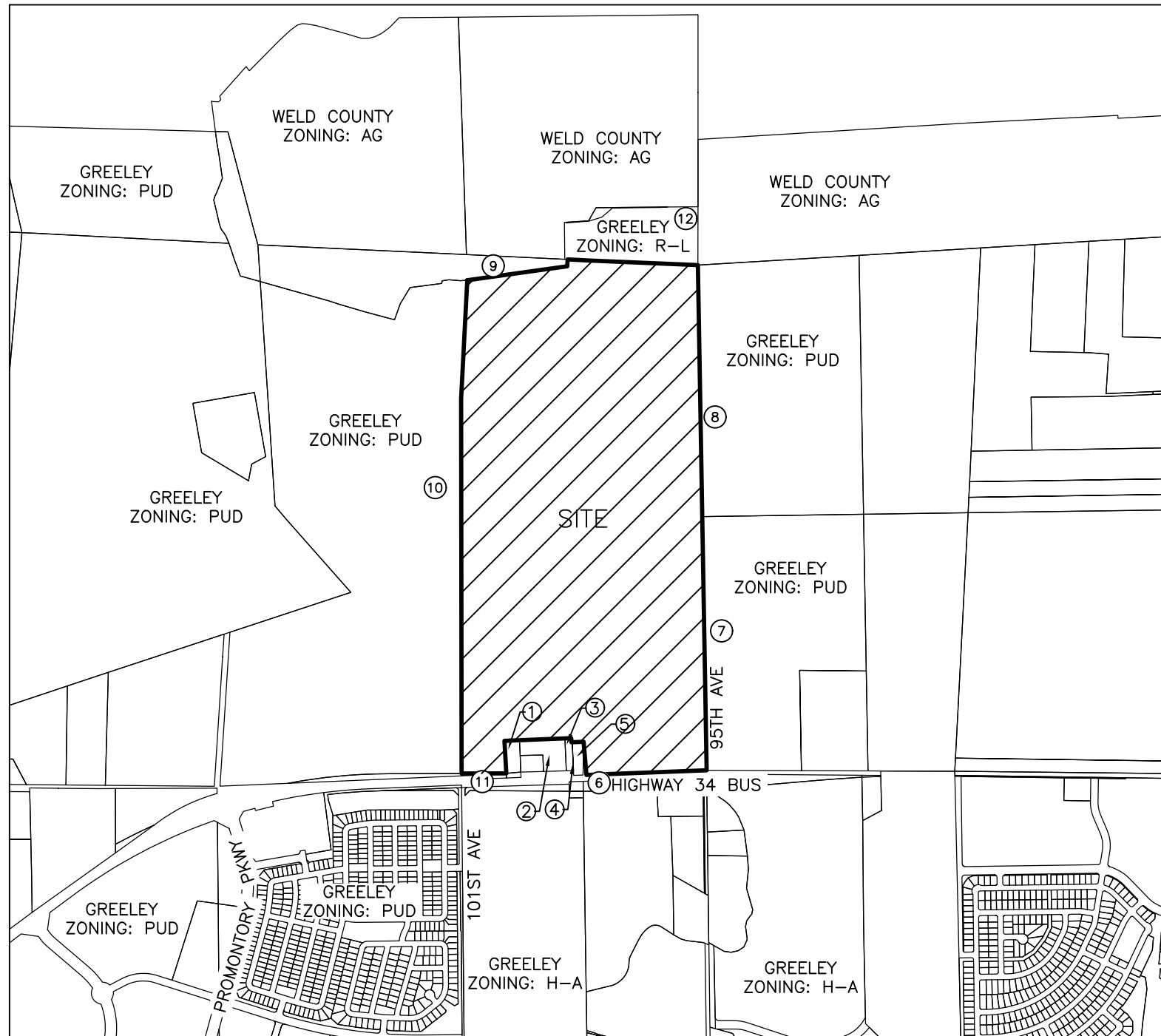
1. STREET MAINTENANCE. IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY THE CITY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND, PROVIDED THAT CONSTRUCTION OF SAID ROADWAY IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNER, DEVELOPER AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE CITY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.
2. DRIVES, PARKING AREAS AND UTILITY EASEMENTS MAINTENANCE. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER, HOMEOWNERS' ASSOCIATION OR OTHER ENTITY OTHER THAN THE CITY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS AND EASEMENTS (CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.).
3. DRAINAGE MAINTENANCE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE DEVELOPMENT AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORMWATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. THE CITY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE CITY SHALL NOTIFY THE PROPERTY OWNER IN WRITING AND SHALL INFORM THE OWNER THAT CORRECTIVE ACTION BY THE OWNER SHALL BE REQUIRED WITHIN TEN WORKING DAYS OF RECEIPT OF NOTIFICATION BY THE CITY, UNLESS AN EMERGENCY EXISTS, IN WHICH CASE CORRECTIVE ACTION SHALL BE TAKEN IMMEDIATELY UPON RECEIPT OF NOTIFICATION BY THE CITY. IF THE OWNER FAILS TO TAKE CORRECTIVE ACTION WITHIN TEN WORKING DAYS, THE CITY MAY PROVIDE THE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.
4. DRAINAGE LIABILITY. THE CITY DOES NOT ASSUME ANY LIABILITY FOR DRAINAGE FACILITIES IMPROPERLY DESIGNED OR CONSTRUCTED. THE CITY REVIEWS DRAINAGE PLANS BUT CANNOT, ON BEHALF OF ANY APPLICANT, OWNER OR DEVELOPER, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW AND APPROVAL BY THE CITY WILL RELIEVE SAID PERSON, HIS SUCCESSORS AND ASSIGNS, FROM LIABILITY DUE TO IMPROPER DESIGN. CITY APPROVAL OF A FINAL PLAT DOES NOT IMPLY APPROVAL OF THE DRAINAGE DESIGN WITHIN THAT PLAT.
5. LANDSCAPE MAINTENANCE. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER, HOMEOWNERS' ASSOCIATION OR ENTITY OTHER THAN THE CITY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING OR WALLS, LANDSCAPING AND LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST OR AN ENTITY OTHER THAN THE CITY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
6. SIGHT DISTANCE. THE CLEAR VISION ZONE OF A CORNER LOT, AS DETERMINED BY SECTION 24-1146 OF THE DEVELOPMENT CODE, SHALL BE FREE FROM SHRUBS, GROUND COVERS, BERMS, FENCES, SIGNS, STRUCTURES, PARKED VEHICLES OR OTHER MATERIALS OR ITEMS GREATER THAN 36 INCHES IN HEIGHT FROM THE STREET LEVEL.
7. PUBLIC SAFETY. ACCESS, WHETHER FOR EMERGENCY OR NONEMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
8. DRAINAGE MASTER PLAN. THE POLICY OF THE CITY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:
(i) DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE FINAL DRAINAGE REPORT AND PLAN AND THE STORMWATER MANAGEMENT PLAN.
(ii) DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY, SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGE WAY. THE CITY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFF-SITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE CITY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE CITY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
(iii) EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGE WAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGE WAY PLANS OR AS REQUIRED BY THE CITY AND DESIGNED IN THE FINAL DRAINAGE REPORT AND THE STORMWATER MANAGEMENT PLAN.
9. MAINTENANCE EASEMENTS. A MAINTENANCE EASEMENT IS REQUIRED FOR DEVELOPMENTS WITH ZERO SIDE SETBACKS, IF ONE STRUCTURE IS BUILT ON THE LOT LINE. IN ORDER TO MAINTAIN THE STRUCTURE WITH THE ZERO SIDE SETBACK, A MAINTENANCE EASEMENT MAY BE REQUIRED ON THE ADJACENT LOT TO ENABLE MAINTENANCE TO BE PERFORMED ON SAID STRUCTURE FROM THE ADJOINING PROPERTY. EACH LOT OWNER AGREES TO ALLOW ADJACENT LOT OWNERS ACCESS ACROSS THEIR LOT, WITHIN FIVE FEET OF THE COMMON LOT LINE, AS MAY BE NEEDED TO MAINTAIN AND REPAIR THE ADJACENT OWNER'S PRINCIPAL STRUCTURE. EACH ADJACENT OWNER AGREES TO REPAIR ANY DAMAGE WHICH MAY BE CAUSED TO THE LOT OWNER'S PROPERTY FROM THE ADJACENT OWNER'S USE OF THIS MAINTENANCE EASEMENT AND TO TAKE ALL NECESSARY STEPS TO AVOID CAUSING SUCH DAMAGE.
10. STREET LIGHTING. ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE RELATING TO STREET LIGHTING IN THIS SUBDIVISION. TOGETHER WITH RATES, RULES AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO, THE OWNERS OR THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY, AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE SUBDIVISION IN ACCORDANCE TO APPLICABLE RATES, RULES AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION.
11. WATER OR SEWER MAIN EASEMENTS. THERE SHALL BE NO PERMANENT STRUCTURES, FENCES, DETENTION PONDS, LANDSCAPING (PLANTINGS OR BERMS) GREATER THAN THREE FEET, TALL MATURE GROWTH, OR OTHER ENCUMBRANCES LOCATED IN WATER OR SEWER MAIN EASEMENTS.
12. WATER OR SEWER MAINS IN PRIVATE ROADS OR EASEMENTS. FOR PUBLIC WATER AND SEWER MAINS LOCATED IN PRIVATE ROADS OR EASEMENTS, FUTURE REPAIR OF PAVING OR OTHER IMPROVED SURFACES SUBSEQUENT TO THE REPAIR OF A WATER OR SEWER MAIN SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS' OR CONDOMINIUM ASSOCIATION. THE WATER AND SEWER DEPARTMENT WILL SAFELY BACKFILL THE TRENCH TO THE SURFACE, BUT NOT REBUILD ANY SURFACE IMPROVEMENTS.

PLAT NOTES

1. ACCORDING TO COLORADO LAW (13-80-105 CRS 2016) YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
2. ALL EASEMENTS AND RIGHTS OF WAY REFERENCED FROM NORTH AMERICAN TITLE INSURANCE COMPANY. TITLE COMMITMENT NUMBER PATE-19-47, DATED MAY 22, 2019 5:00 P.M.
3. BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1, T5N, R67W BEARS S87°33'22"W FOR 2583.95 FEET BETWEEN THE SOUTHEAST CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH A 3 1/4" ALUMINUM CAP, PLS 25381, 2010, AND THE SOUTH QUARTER CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH AN ILLEGIBLE 3 1/4" ALUMINUM CAP, BASED ON THE (NAD83) COLORADO NORTH 0501 STATE PLANE COORDINATE SYSTEM.
4. THE DEVELOPER OF EACH TRACT SHALL INSTALL AND MAINTAIN LANDSCAPING ADJACENT TO ANY PROPOSED DEVELOPMENT ON THE SITE. PROPOSED DEVELOPMENT SHALL BE CONSIDERED ADJACENT TO AREAS WHERE BUILDING PERMITS HAVE BEEN ISSUED AND ADJACENT TO PUBLIC ROADWAYS.
5. ONSITE DRAINAGE EASEMENTS SHALL BE OWNED AND MAINTAINED BY PROPERTY OWNER.
6. PLEASE REFER TO LAND SURVEY PLAT RECORDED AS REC. NO. 4705611 FOR ADDITIONAL CONFLICTING BOUNDARY EVIDENCE AND ANALYSIS.
7. A 40' RIGHT OF WAY FOR HIGHWAY 34 BUSINESS APPEARS TO BE CLAIMED BY CDOT AS EVIDENCED BY SEVERAL RIGHT OF WAY MONUMENTS ALONG A LINE 40' NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1. NO DOCUMENTATION CAN BE FOUND FOR SAID RIGHT OF WAY. THIS PLAT DEDICATES SAID RIGHT OF WAY TO THE CITY OF GREELEY.
8. TRACT C WILL DEDICATE A 10.9 ACRE SCHOOL SITE TO THE CITY OF GREELEY UPON THE FUTURE REPLAT OF TRACT C.
9. TRACT E WILL DEDICATE A 6.1 ACRE PARK SITE, AND AN ACCESS EASEMENT FROM THE PARK TO 4TH STREET THROUGH THE DETENTION POND SITE, TO THE CITY OF GREELEY UPON THE FUTURE REPLAT OF TRACT E.
10. TRACT A WILL DEDICATE BLUFF PRESERVATION OPEN SPACE AND A 4.1 ACRE PARK SITE TO THE CITY OF GREELEY UPON THE FUTURE REPLAT OF TRACT A.

OWNERS OF ADJOINING PARCELS

- ① 9955 10TH STREET
HAMDEH ABDOLMOHAMMAZADEH AND ZANDI AZIZ
REC NO. 3379896
ZONING: PUD
- ② 9873 10TH STREET A
EVA KRISTINA EHRENFEUCHT REVOCABLE TRUST
REC NO. 4035561
ZONING: H-A
- ③ 9851 10TH STREET
JOSEPH E. MALLARD
REC NO. 4444857
ZONING: H-A
- ④ OWNER UNKNOWN (SEE NOTE 6)
- ⑤ 9825 10TH STREET
MARY L. OHLMANN
REC NO. 3688550
ZONING: H-A
- ⑥ GREELEY-ROTHE LLC
BOOK 408 PAGE 230
ZONING: H-A
- ⑦ 1813 61ST AVE STE 200
CACHE LLC
REC NO. 4520928
ZONING: PUD
- ⑧ 1813 61ST AVE STE 200
CACHE LLC
REC NO. 4520928
ZONING: PUD
- ⑨ 1813 61ST AVE STE 200
POUDRE RIVER RANCH LLC
REC NO. 4684041
ZONING: AG
- ⑩ 10925 HW 257 SPUR GREELEY
DPR GREELEY LLC (43.89%)
AL'S RENTALS LLC (35.11%)
POUDRE BAY CAPITAL LLC (11%)
POUDRE BAY PARTNERS LLC (10%)
REC NO. 4369421
ZONING: PUD
- ⑪ CO DEPT OF TRANSPORTATION
REC #3516969
ZONING: PUD
- ⑫ 425 N 95TH AVE. GREELEY
SCHLACEL LEONARD AND SCHLAGEL JUNE
REC NO. 463151
ZONING: R-L



VICINITY/LOCATION MAP

ENGINEER

PATRICK HILLYER
LAMP RYNEARSON
4715 INNOVATION DRIVE
FORT COLLINS, CO 80525
PHONE: 970-226-0342

SURVEYOR

LAINE LANDAU
LAMP RYNEARSON
4715 INNOVATION DRIVE
FORT COLLINS, CO 80525
PHONE: 970-226-0342

OWNER

GREELEY-ROTHE, L.L.C., A
COLORADO LIMITED LIABILITY COMPANY
4100 E MISSISSIPPI AVE STE 500
GLENDALE, CO 80246

SUBDIVIDER

GREELEY-ROTHE, L.L.C., A
COLORADO LIMITED LIABILITY COMPANY
4100 E MISSISSIPPI AVE STE 500
GLENDALE, CO 80246

LAND USE BREAKDOWN		
TRACT	SIZE	LAND USE
TRACT A	6,547,511 SQ. FT. 150.310 AC.	FUTURE DEVELOPMENT, BLUFF PRESERVATION OPEN SPACE, & PARK (SEE NOTE 10)
TRACT B	208,997 SQ. FT. 4.798 AC.	FUTURE DEVELOPMENT
TRACT C	1,325,451 SQ. FT. 30.428 AC.	FUTURE DEVELOPMENT & SCHOOL (SEE NOTE B)
TRACT D	80,893 SQ. FT. 1.857 AC.	FUTURE DEVELOPMENT
TRACT E	873,590 SQ. FT. 20.055 AC.	FUTURE DEVELOPMENT & PARK (SEE NOTE 9)
TRACT F	860,516 SQ. FT. 19.755 AC.	FUTURE DEVELOPMENT
TRACT G	525,819 SQ. FT. 12.071 AC.	FUTURE DEVELOPMENT
TRACT H	601,114 SQ. FT. 13.800 AC.	FUTURE DEVELOPMENT
TRACT I	808,012 SQ. FT. 18.549 AC.	FUTURE DEVELOPMENT
TRACT J	143,619 SQ. FT. 3.297 AC.	FUTURE DEVELOPMENT
ROW	858,804 SQ. FT. 19.715 AC.	RIGHT OF WAY
TOTAL	12,834,326 SQ FT 294.636 AC	SEE ABOVE

SURVEYOR CERTIFICATE

I, LAINE A. LANDAU, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THIS LAND, INCLUDING ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION, IN ACCORDANCE WITH THE REGULATIONS OF THE STATE OF COLORADO.

LAINE A. LANDAU COLORADO PLS 31159
ON BEHALF OF LAMP RYNEARSON INC.
EMAIL ADDRESS: LAINE.LANDAU@LAMPRYNEARSON.COM

LAMP
RYNEARSON

LAMPRYNEARSON.COM

OMAHA, NEBRASKA
14710 W. DODGE RD., STE. 100 (402)496.2498
FORT COLLINS, COLORADO
4715 INNOVATION DR., STE. 100 (970)226.0342
KANSAS CITY, MISSOURI
9001 STATE LINE RD., STE. 200 (816)351.0440

LAKE BLUFF PRELIMINARY SUBDIVISION
PART OF THE EAST 1/2 OF SEC 1, T5N, R67W OF THE 6TH P.M.
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY, SUB2021-0026

LAKE BLUFF
GREELEY, COLORADO



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REVISIONS

10/21/21 INITIAL SUBMITTAL

11/19/21 RESUBMITTAL PER CITY COMMENTS

DESIGNER / DRAFTER

LAINE A. LANDAU / JAIME POMPA

DATE

11/19/2021

PROJECT NUMBER

0219035

BOOK AND PAGE

SHEET

1 OF 5

LEGEND

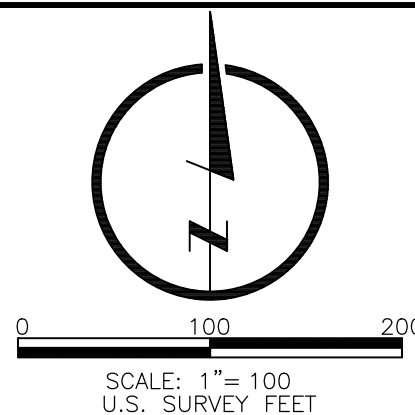
SECTION LINE
FUTURE RIGHT OF WAY
EASEMENT
PROPOSED EASEMENT
BOUNDARY
LOT LINE
ADJOINING PARCELS

LEASED PARCEL OIL & GAS
DRY UP AGREEMENT
WATER LINE
GAS LINE
IRRIGATION
CDOT MONUMENT
SITE TRIANGLE

FOUND #5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 31159"
SET #5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 31159"
MONUMENT FOUND AS DESCRIBED
PLSS SECTION MONUMENT AS DESCRIBED
OIL & GAS WELL - PLUGGED AND ABANDONED
OIL & GAS WELL - PRODUCING

LAKE BLUFF PRELIMINARY SUBDIVISION

PART OF THE EAST HALF OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY
SUB2021-0026



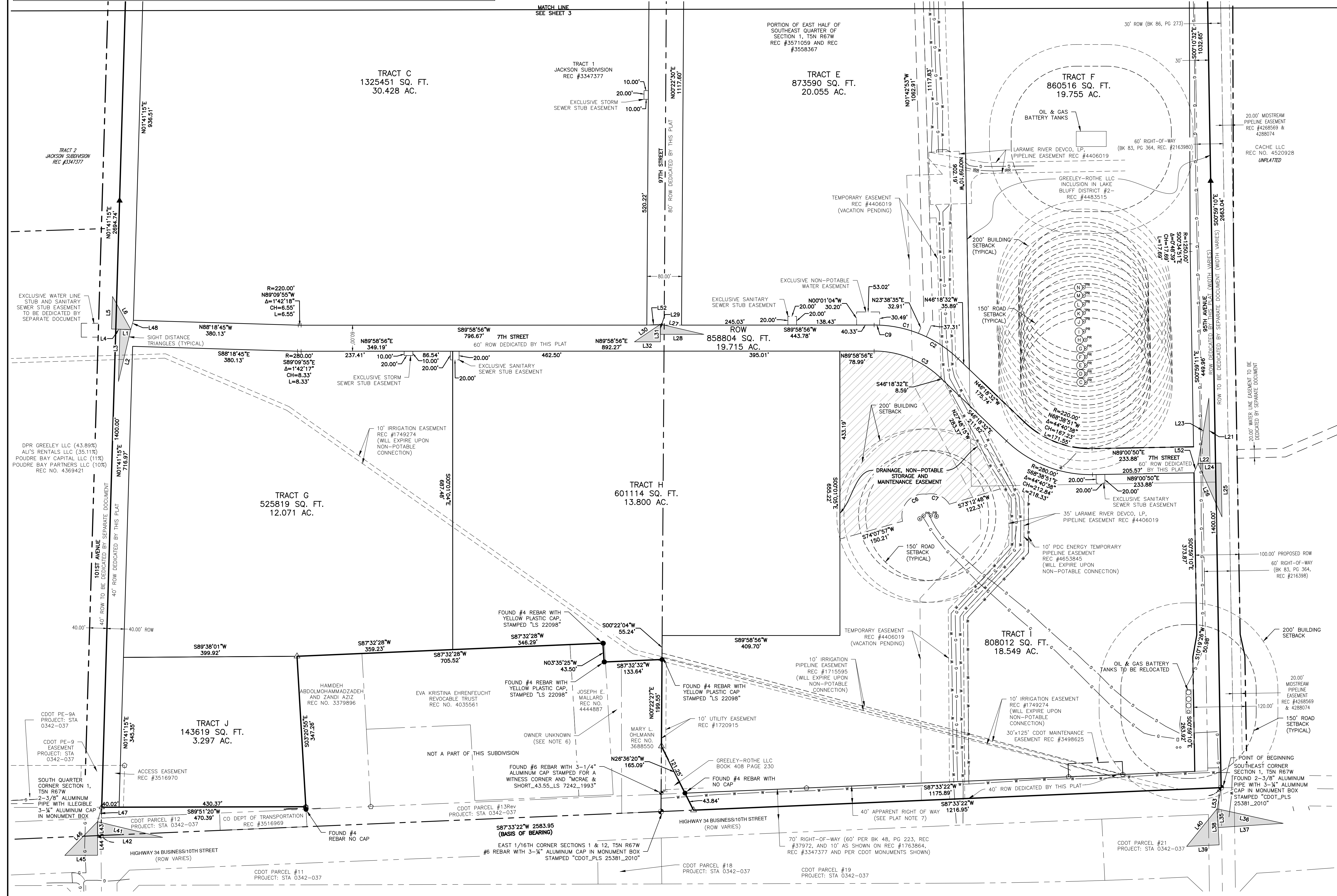
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9001 STATE LINE RD., STE. 200 (816)351.0440



LAKE BLUFF PRELIMINARY SUBDIVISION

PART OF THE EAST 1/2 OF SEC 1, T5N, R67W OF THE 6TH P.M.

CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO

10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY, SUB2021-0026

LAKE BLUFF
GREELEY, COLORADO

811

Know what's below.
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REVISIONS

DATE	DESCRIPTION
10/21/21	INITIAL SUBMITTAL
11/19/21	RESUBMITTAL PER CITY COMMENTS

DESIGNER / DRAFTER
LAINE A. LANDAU / JAIME POMPA

DATE
11/19/2021

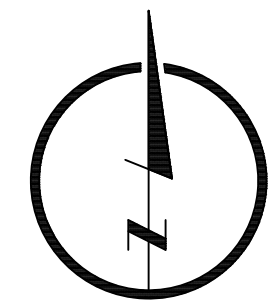
PROJECT NUMBER
0219035

BOOK AND PAGE

SHEET
2 OF 5

LAKE BLUFF PRELIMINARY SUBDIVISION

PART OF THE EAST HALF OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY
SUB2021-0026



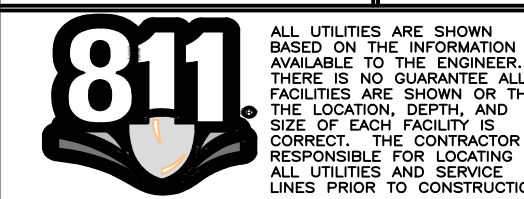
0 100 200
SCALE: 1"= 100
U.S. SURVEY FEET

**LAMP
RYNEARSON**

LAMPRYNEARSON.COM

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PART OF THE EAST 1/2 OF SEC 1, T5N, R67W OF THE 6TH P.M.
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY, SUB2021-0026



Know what's below.
Call before you dig.

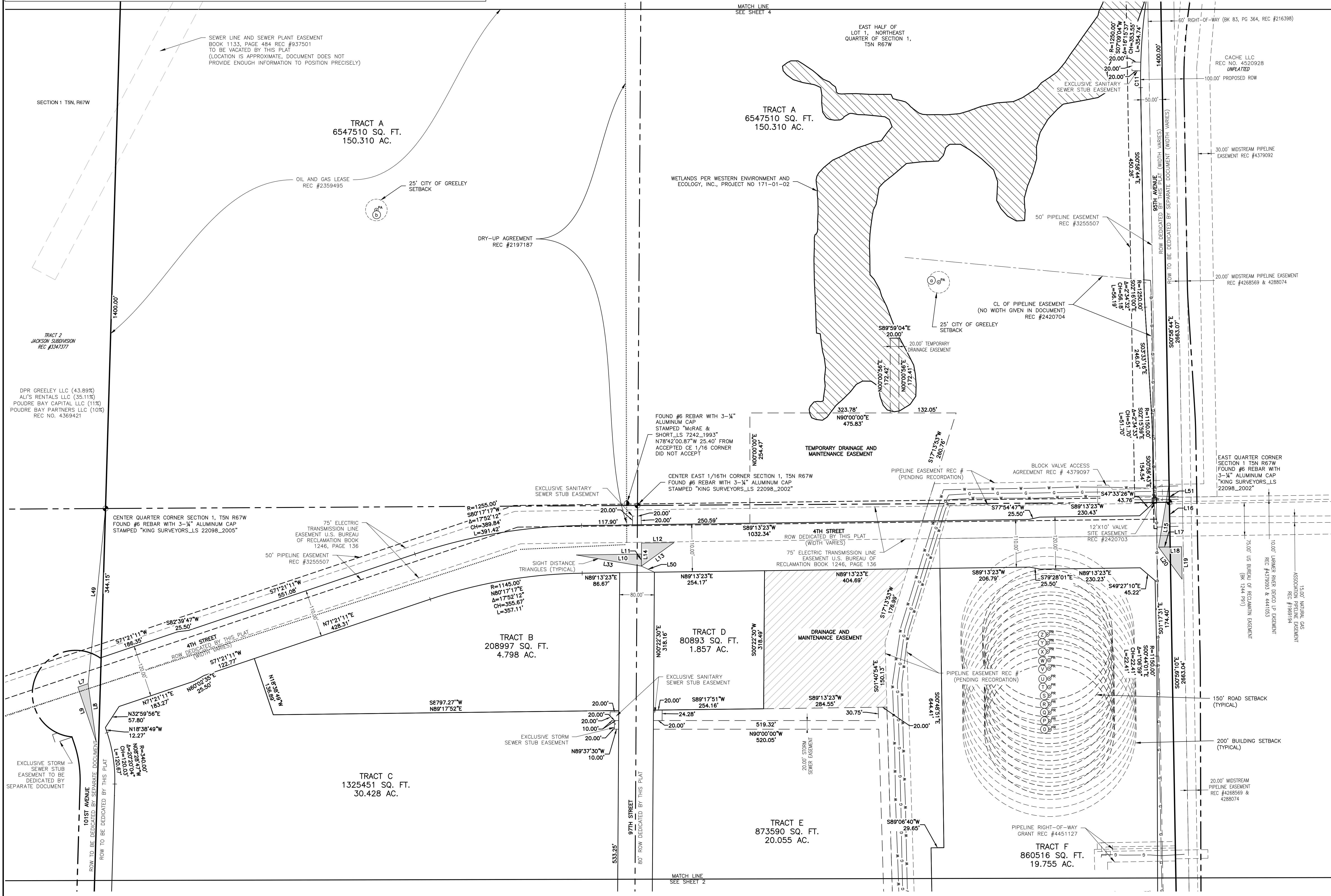
REVISIONS
10/21/21 INITIAL SUBMITTAL
11/19/21 RESUBMITTAL PER CITY COMMENTS

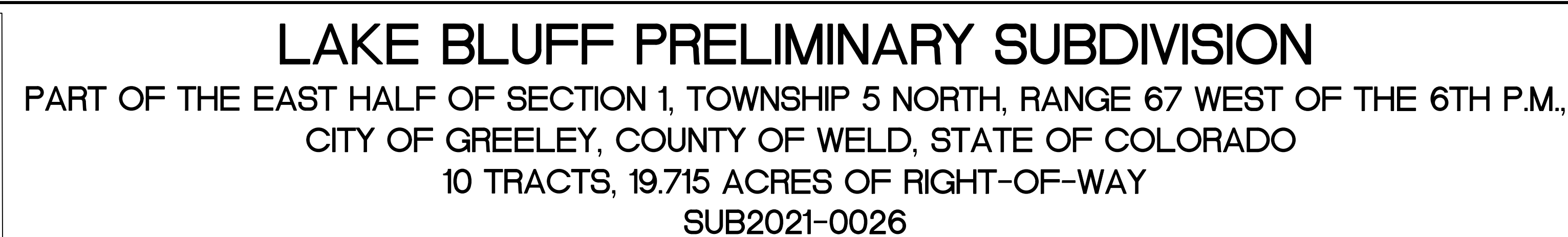
DESIGNER / DRAFTER
LAINE A. LANDAU / JAIME POMPA
DATE
11/19/2021
PROJECT NUMBER
0219035
BOOK AND PAGE

SHEET

3 OF 5

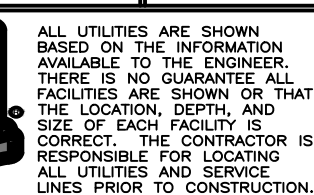
LEGEND		
SECTION LINE	LEASED PARCEL OIL & GAS	FOUND #5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 31159"
FUTURE RIGHT OF WAY	DRY UP AGREEMENT	SET #5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 31159"
EASEMENT	WATER LINE	MONUMENT FOUND AS DESCRIBED
PROPOSED EASEMENT	GAS LINE	PLSS SECTION MONUMENT AS DESCRIBED
BOUNDARY	IRRIGATION	OIL & GAS WELL - PLUGGED AND ABANDONED
LOT LINE	FOUND CDOT MONUMENT	OIL & GAS WELL - PRODUCING
ADJOINING PARCELS	SITE TRIANGLE	





NOT RELEASED FOR CONSTRUCTION

LAKE BLUFF
GREELEY, COLORADO



REVISIONS	
10/21/21	INITIAL SUBMITTAL
11/19/21	RESUBMITTAL PER CITY COMMENTS

SHEET

4 OF 5

LAKE BLUFF PRELIMINARY SUBDIVISION
PART OF THE EAST HALF OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY
SUB2021-0026

BOUNDARY LINE TABLE			BOUNDARY LINE TABLE			BOUNDARY LINE TABLE		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L1	N88°18'45"W	24.75'	L21	N0°59'11"W	150.00'	L42	N89°49'07"E	150.00'
L2	N13°20'28"E	122.53'	L22	N89°00'49"E	27.75'	L43	S0°09'52"E	36.50'
L3	S1°41'15"W	120.00'	L23	S9°29'41"W	152.55'	L44	S0°09'52"E	77.37'
L4	N88°18'45"W	44.25'	L24	N89°00'49"E	53.25'	L45	S89°50'50"W	75.59'
L5	N1°41'15"E	75.00'	L25	S0°59'11"E	124.09'	L46	N44°10'26"E	108.16'
L6	S28°51'12"E	87.08'	L26	N24°12'44"W	135.03'	L47	N16°16'50"E	34.67'
L7	S71°21'11"W	24.75'	L27	N76°55'44"W	102.67'	L48	N16°02'12"E	22.19'
L8	N7°59'17"W	135.08'	L28	N89°58'56"E	100.00'	L49	N5°41'29"E	406.04'
L9	S18°32'44"E	132.75'	L29	S0°01'04"E	23.25'	L50	S64°57'16"E	33.29'
L10	S89°11'54"W	150.00'	L30	N55°57'47"E	72.39'	L51	S0°04'32"E	47.19'
L11	N0°22'30"E	27.76'	L31	S0°01'04"E	40.50'	L52	S22°50'51"W	23.50'
L12	N89°13'23"E	75.00'	L32	S89°58'56"W	60.00'	L53	N10°43'57"E	49.60'
L13	S54°13'51"W	92.86'	L33	S80°16'53"E	151.98'			
L14	N0°22'30"E	53.26'	L35	S3°14'57"E	43.34'			
L15	S9°25'32"W	152.57'	L36	N77°35'27"W	155.78'			
L16	N0°59'10"W	150.00'	L37	N86°15'20"E	150.00'			
L17	N88°53'06"E	27.57'	L38	S3°14'57"E	83.17'			
L18	N88°56'49"E	53.08'	L39	S87°14'45"W	75.00'			
L19	S0°59'10"E	75.00'	L40	N39°00'59"E	111.51'			
L20	N36°17'54"W	91.83'	L41	N76°30'11"W	154.37'			

BOUNDARY CURVE TABLE				
CURVE #	RADIUS'	ARC LENGTH'	CHORD BEARING	CHORD LENGTH'
C1	280.00'	104.30'	S79°20'47"E	103.70'
C3	220.00'	167.83'	S68°09'48"E	163.79'
C6	50.00'	97.75'	S41°10'41"W	82.91'
C7	50.00'	61.77'	N66°29'57"W	57.92'
C11	1257.08'	38.86'	N0°05'27"W	38.86'

TIE FROM SOUTHEAST CORNER OF SECTION 1 TO WELL			
LINE #	DIRECTION	LENGTH	WELL NAME
(A)	N47°34'51"W	928.80'	GENESIS 9-2
(B)	N46°51'06"W	917.11'	GENESIS 3
(C)	N18°30'53"W	983.95'	GREELEY-ROTHE 34C-2-L
(D)	N18°09'48"W	1002.68'	GREELEY-ROTHE 34N-2B-L
(E)	N17°49'29"W	1021.45'	GREELEY-ROTHE FEDERAL 13N-2C-L
(F)	N17°29'55"W	1040.25'	GREELEY-ROTHE FEDERAL 13N-2B-L
(G)	N17°11'02"W	1059.08'	GREELEY-ROTHE FEDERAL 13C-2-L
(H)	N16°52'49"W	1077.95'	GREELEY-ROTHE FEDERAL 33N-2B-L
(I)	N16°45'05"W	1097.77'	GREELEY-ROTHE FEDERAL 33N-2C-L
(G)	N16°25'08"W	1119.83'	GREELEY-ROTHE FEDERAL 12C-2-L
(X)	N16°08'39"W	1138.77'	GREELEY-ROTHE FEDERAL 12N-2A-L
(I)	N15°52'42"W	1157.73'	GREELEY-ROTHE FEDERAL 12N-2C-L
(M)	N15°37'16"W	1176.72'	GREELEY-ROTHE FEDERAL 32N-2B-L
(N)	N15°22'20"W	1195.73'	GREELEY-ROTHE FEDERAL 32C-2-L

TIE FROM EAST 1/4 CORNER OF SECTION 1 TO WELL			
LINE #	DIRECTION	LENGTH	WELL NAME
(O)	S27°47'51"W	593.31'	BLUFF FEDERAL 32N-2C-L
(P)	S28°43'15"W	576.01'	BLUFF FEDERAL 32C-2-L
(O)	S29°42'05"W	556.88'	BLUFF FEDERAL 5N-2B-L
(R)	S30°44'36"W	541.91'	BLUFF FEDERAL 5N-2C-L
(S)	S31°51'09"W	525.14'	BLUFF FEDERAL 5C-2-L
(T)	S33°02'04"W	508.57'	BLUFF FEDERAL 31N-2B-L
(U)	S34°17'42"W	492.24'	BLUFF FEDERAL 31C-2-L
(V)	S35°52'30"W	473.51'	BLUFF FEDERAL 4N-2B-L
(W)	S37°19'52"W	457.76'	BLUFF FEDERAL 4N-2C-L
(X)	S39°13'05"W	444.41'	BLUFF FEDERAL 4N-2A-L
(Y)	S40°53'29"W	429.40'	BLUFF STATE 30C-2-L
(Z)	S42°41'04"W	414.79'	BLUFF STATE 30N-2B-L
(a)	N69°45'48"W	1950.08'	HERTZKE N 1-7
(b)	N49°48'30"W	2777.38'	HERTZKE N 1-12
(c)	N46°19'52"W	735.49'	ROTHE 1-14
(d)	N30°12'58"W	2016.81'	ROTHE 1-15
(e)	N18°43'39"W	2102.23'	ROTHE 1-11

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RYNEARSON

LAMPRYNEARSON.COM

OMAHA, NEBRASKA
14710 W. DODGE RD., STE. 100 (402)496.2498

FORT COLLINS, COLORADO
4715 INNOVATION DR., STE. 100 (970)228.0342

KANSAS CITY, MISSOURI
9001 STATE LINE RD., STE. 200 (816)351.0440

PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

LAKE BLUFF PRELIMINARY SUBDIVISION
PART OF THE EAST 1/2 OF SEC 1, T5N, R67W OF THE 6TH P.M.
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
10 TRACTS, 19.715 ACRES OF RIGHT-OF-WAY, SUB2021-0026

LAKE BLUFF
GREELEY, COLORADO



ALL UTILITIES ARE SHOWN
BASED ON THE INFORMATION
AVAILABLE TO THE ENGINEER.
THERE IS NO GUARANTEE ALL
UTILITIES ARE SHOWN OR THAT
THE LOCATION, DEPTH, AND
SIZE OF EACH FACILITY IS
CORRECT. THE CONTRACTOR IS
RESPONSIBLE FOR LOCATING
ALL UTILITIES AND SERVICE
LINES PRIOR TO CONSTRUCTION.

Know what's below.
Call before you dig.

REVISIONS
10/21/21 INITIAL SUBMITTAL
11/19/21 RESUBMITTAL PER CITY COMMENTS

DESIGNER / DRAFTER
LAINE A. LANDAU / JAIME POMPA
DATE
11/19/2021
PROJECT NUMBER
0219035
BOOK AND PAGE

SHEET

Lake Bluff

Preliminary Planned Unit Development Plan - Zoning

Attachment D
developer



Westside Investment
Partners, Inc.
4100 East Mississippi
Avenue, Suite 500
Denver, CO 80246

303.984.9800 tel.
contact: Mike Sandene

planner and
landscape architect



PO BOX 18287
Denver, CO 80218
303.531.4905 tel.

contact: Alan Cunningham

civil engineer



12596 W Bayaud Ave., Ste.
330, Lakewood, CO 80228
303.971.0030 tel.
contact: Tamara Graham

traffic engineer



Kimley-Horn
and Associates, Inc.

Kimley-Horn & Associates, Inc.
Suite 1050
950 Seventeenth Street
Denver, CO, 80202
303.228-2300 tel.
303.446-8678 fax
contact: Curtis Rowe

land surveyor



650 Garden Drive
Windsor, CO, 80550
970.686-5011 tel.
970.686-5821 fax
contact: Chuck Jones

cover sheet

sheet 1
January 9, 2020

project site background

The Lake Bluff Preliminary Planned Unit Development Plan provides land use regulations and standards for the design and development of the community comprising approximately 295 acres. The community is generally situated north of 10th Street (Hwy. 34 Bypass) with 95th Ave. running north along the Eastern edge of the community. Main access points to Lake Bluff from 10th Street will be located at 95th Ave and 101st Ave. On the North side, the community boundary is defined by the Poudre River Bluffs.

conceptual narrative

The information presented in the accompanying package will demonstrate that the Lake Bluff community will:

- Provide a mix of land uses and connectivity consistent with comprehensive plan policies;
- Provide a community amenity in the form of neighborhood parks and open space, with potential for connection to the Poudre Regional Trail System;
- Promote the implementation of the City's Comprehensive Plan, and long range planning;
- Preserve substantial open space of regional value in the form of the Poudre River Bluffs in perpetuity; and
- Help enable the Promontory office park to continue to attract additional employers and help the existing employers by providing an excellent master-planned community for their employees across the street.

The Lake Bluff community will contain a mix of uses and tax base generation through the incorporation of mixed-use commercial zoning at the intersection of W. 10th Street and 95th Avenue, as well as W. 10th & 101st Ave, and 95th Ave and the 4th St. extension. It is anticipated that this commercial zoning will provide much needed Neighborhood Commercial for both the Lake Bluff project and surrounding neighborhoods such as Promontory, which are lacking in this regard.

Further, the Lake Bluff community will provide a master planned community capable of supporting most of the residential needs of major employers in and to the west of Greeley. Lake Bluff will include a mix of residential types ranging from Multifamily Attached units to large Single Family Detached homes and lots, and will do so in a fashion that encourages diversity and enhancement of the socioeconomic mix that will inevitably be present.

Development Code Standards, and Code Standards as amended shall prevail if PUD standards do not apply

zoning

The current zoning on the property is P.U.D.

The uses proposed for the project consist of a mix of residential; commercial and a school. At the Master Plan level, PUD zoning will be utilized to define parcels and their associated uses. Allowable residential unit densities are defined for each parcel within the land use chart included herein. Units not constructed within any given parcels can be transferred into other land use parcels in support of mixed use strategies. There are no minimum unit requirements on a given parcel. In no event shall the maximum unit count of 1,150 units be exceeded at Lake Bluff without an amendment of the PUD and supporting documentation.

environmental
consultant



ERO Resources Corp.
1842 Clarkson Street
Denver, CO 80218
(303) 830-1188
Fax: 830-1199
Denver • Boise
www.eroresources.com
ero@eroresources.com

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PROPERTY BOUNDARY MAP

PART OF THE E 1/2 OF SECTION 1, T5N, R67W, 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO

AS-MEASURED PERIMETER DESCRIPTION:

A TRACT OF LAND SITUATED IN THE EAST HALF (E1/2) OF SECTION ONE (1), TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 1 IN TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.) AND ASSUMING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 AS BEARING SOUTH 87°33'22" WEST A DISTANCE OF 2583.95 FEET AND WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE ON THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1 SOUTH 87°33'22" WEST A DISTANCE OF 1216.95 FEET;

THENCE NORTH 26°36'20" WEST A DISTANCE OF 165.09 FEET TO THE WEST LINE OF THE EAST HALF (E½) OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1;

THENCE ON SAID WEST LINE NORTH 00°22'27" EAST A DISTANCE OF 199.55 FEET TO THE MOST SOUTHEASTERLY CORNER OF SAID TRACT 1 OF JACKSON SUBDIVISION;

THENCE ON THE SOUTHERLY BOUNDARY OF SAID TRACT 1 THE FOLLOWING FOUR (4) COURSES;

1. SOUTH 87°32'32" WEST A DISTANCE OF 133.64 FEET;
 2. NORTH 03°35'25" WEST A DISTANCE OF 43.50 FEET;
 3. SOUTH 87°32'28" WEST A DISTANCE OF 705.52 FEET;
 4. SOUTH 03°20'55" EAST A DISTANCE OF 347.26 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN A DEED RECORDED AS RECEPTION NO. 3516969;
- THENCE ON THE NORTH LINE OF SAID PARCEL SOUTH 89°51'20" WEST A DISTANCE OF 470.39 FEET TO THE WEST BOUNDARY OF SAID TRACT 1 OF JACKSON SUBDIVISION;
- THENCE ON THE WEST AND NORTH BOUNDARY OF SAID TRACT 1 THE FOLLOWING FIVE (5) COURSES:

1. NORTH 01°41'15" EAST A DISTANCE OF 2694.74 FEET TO THE CENTER QUARTER CORNER OF SECTION 1;
 2. NORTH 01°41'06" EAST A DISTANCE OF 2539.17 FEET;
 3. NORTH 82°08'59" EAST A DISTANCE OF 959.07 FEET;
 4. NORTH 04°44'18" EAST A DISTANCE OF 72.48 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1;
 5. SOUTH 87°19'51" EAST A DISTANCE OF 215.02 FEET ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1 TO THE EAST SIXTEENTH CORNER OF SECTION 1, TOWNSHIP 5 NORTH (T.5N) RANGE 67 WEST (R.67W) AND SECTION 36, TOWNSHIP 6 NORTH (T.6N) RANGE 67 WEST (R.67W);
- THENCE ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SECTION 1 SOUTH 87°19'32" EAST A DISTANCE OF 1164.75 FEET TO THE NORTHEAST CORNER OF SECTION 1;

THENCE ON THE EAST LINE OF SECTION 1 FOR THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°58'44" EAST A DISTANCE OF 2663.07 FEET TO THE EAST QUARTER CORNER OF SECTION 1;
2. SOUTH 00°59'10" EAST A DISTANCE OF 2663.04 FEET TO THE POINT OF BEGINNING;

THE ABOVE DESCRIBED PARCEL CONTAINS 294.635 ACRES.

BASIS OF BEARING:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1, T5N, R67W BEARS S87°33'22"W FOR 2583.95 FEET BETWEEN THE SOUTHEAST CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH A 3 1/4" ALUMINUM CAP, PLS 25381, 2010, AND THE SOUTH QUARTER CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH AN ILLEGIBLE 3 1/4" ALUMINUM CAP, BASED ON THE (NAD83) COLORADO NORTH OSO1 STATE PLANE COORDINATE SYSTEM.

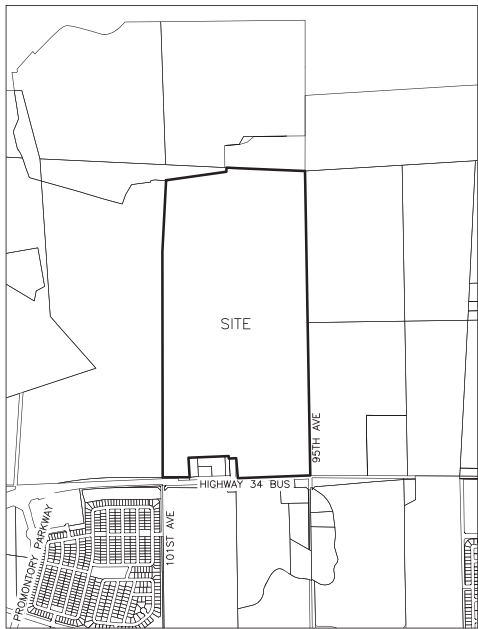
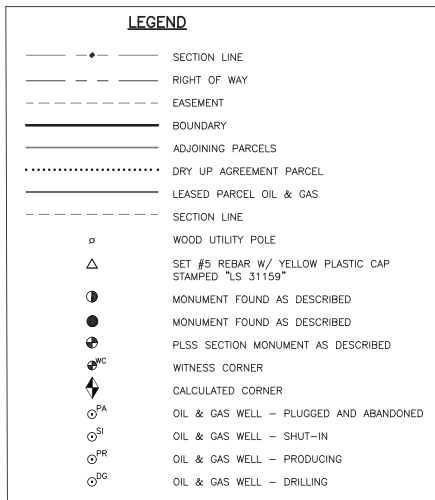
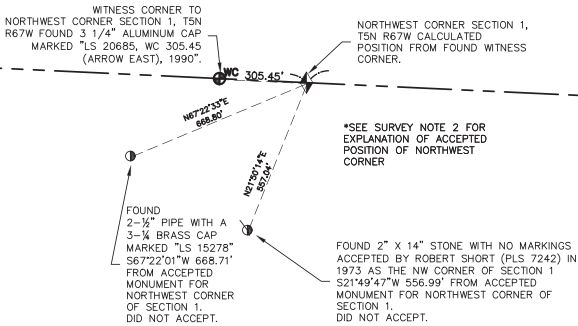
SURVEYOR CERTIFICATE

I HEREBY CERTIFY THAT THIS PROPERTY BOUNDARY MAP OF PART OF THE EAST HALF OF SECTION 1, T5N R67W, WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF COLORADO.

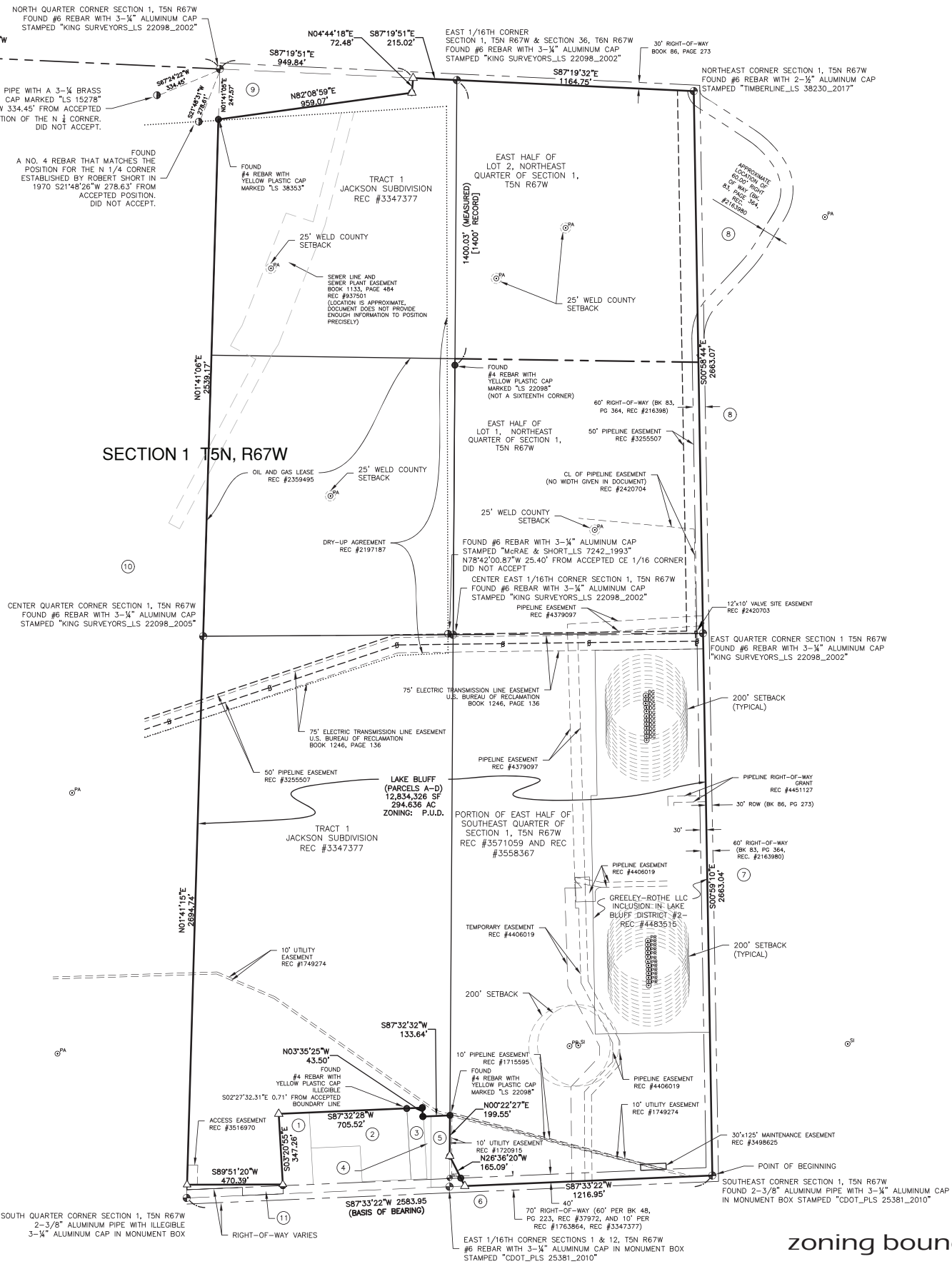
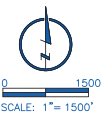
LAINIE A. LANDAU COLORADO PLS 31159
ON BEHALF OF LAMP RYNARSON & ASSOCIATES, INC.
EMAIL ADDRESS: LAINE.LANDAU@LAMPRYNARSON.COM

OWNERS OF ADJOINING PARCELS

- ① 9955 10TH STREET
HAMDEH ABDOLMOHAMMADZADEH AND ZANDI AZIZ
REC NO. 3379896
- ② 9873 10TH STREET A
EVA KRISTINA EHRENFUCHT REVOCABLE TRUST
REC NO. 4035561
- ③ 9851 10TH STREET
JOSEPH E. MALLARD
REC NO. 4444887
- ④ OWNER UNKNOWN
- ⑤ 9825 10TH STREET
MARY L. OHLMANN
REC NO. 3688550
- ⑥ GREELEY-ROTHE LLC
BOOK 408 PAGE 230
- ⑦ 9333 10TH STREET
ED ORR AND SUSIE ANN ORR
REC NO. 4200718
- ⑧ 9333 10TH STREET
ED ORR AND SUSIE ANN ORR
REC NO. 4074028
- ⑨ 9955 10TH STREET
ED ORR AND SUSIE ANN ORR
REC NO. 3403871
- ⑩ 10925 HW 257 SPUR GREELEY
DPR GREELEY LLC (43.89%)
ALU'S RENTALS LLC (35.11%)
POUDRE BAY CAPITAL LLC (11%)
POUDRE BAY PARTNERS LLC (10%)
REC NO. 4369421
- ⑪ CO DEPT OF TRANSPORTATION
REC #3516969



VICINITY MAP







zoning boundary map

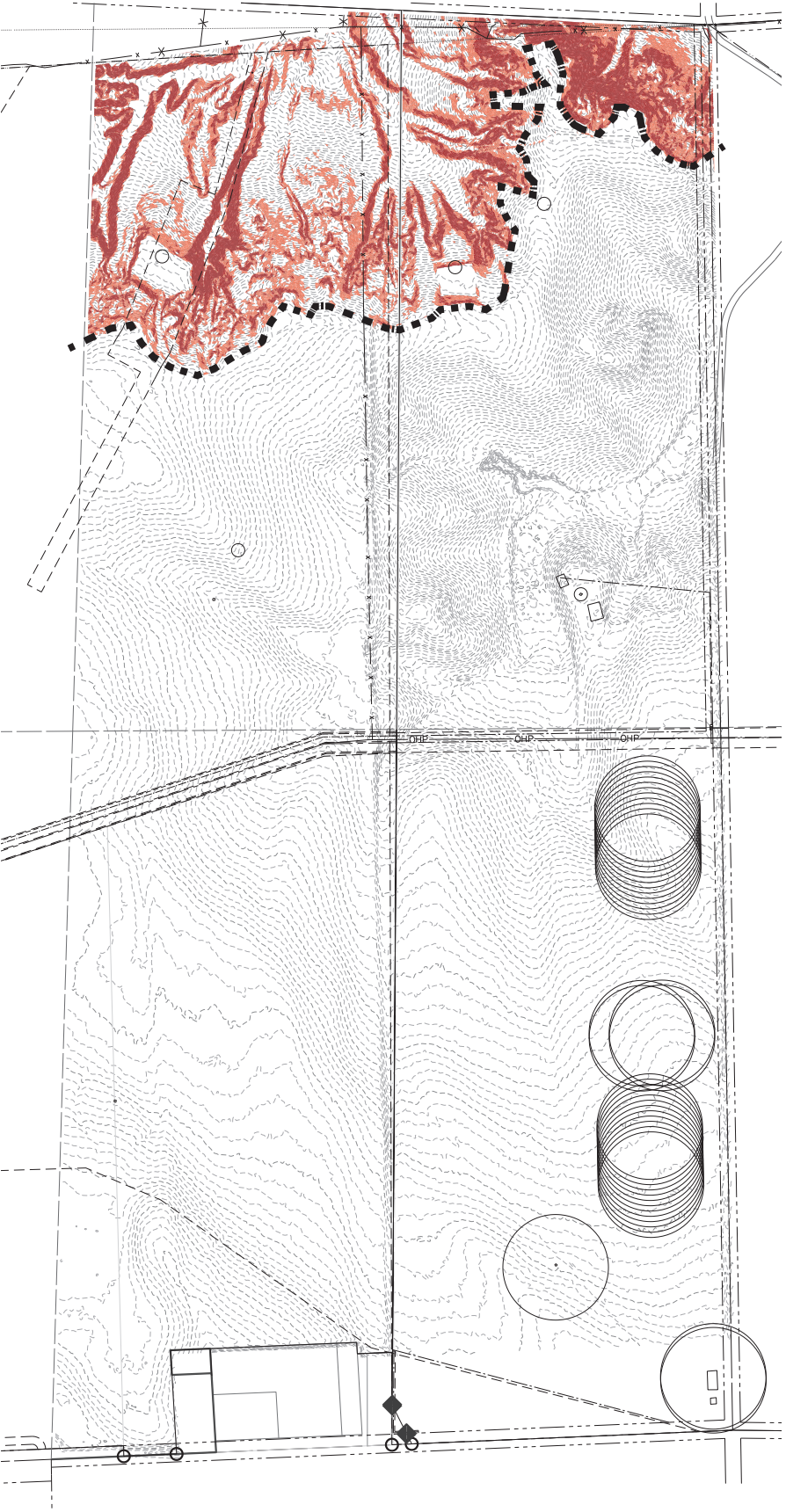
sheet 2
January 9, 2024

BENCHMARK:
DISK IN TOP OF CONCRETE MONUMENT STAMPED NN 169
1960, LOCATED NEAR THE INTERSECTION OF HIGHWAY 257
AND HIGHWAY 257 SPUR. ELEVATION 4884.32 (NAVD 1988
DATUM)

NOTE:
FOR PROPERTY BOUNDARY LINE BEARING AND LENGTH
INFORMATION, REFER TO THE PROPERTY BOUNDARY MAP
SHEET NUMBER 2 IN THIS SET.

Qualifying Slopes

SYM	DESCRIPTION
	Slopes Under 15%
	Slopes 15%-25%
	Slopes Over 25%
	Approximate Top of Bluffs



The slope map is depicting Qualifying Slopes as defined within the general provisions on sheet 5 of this P.U.D., and is based upon GIS topography provided by the City of Greeley. A survey will be performed and more current topography will be utilized to determine actual Qualifying Slopes at the time of final P.U.D. and preliminary plan.



Proposed Land use Chart

PUD Submittal Plan							
Land Use Chart							
Parcel	Acreage	Unit Range	Zoned Density (DU/Ac)	Maximum Unit Cap	Maximum Density	Max F.A.R	% of Site
Lake Bluff Property							
PA-2 - LDR - Low Density Residential	5.1	15 - 25	3 - 5	25	4.9		1.7%
PA-3 - LDR - Low Density Residential	1.5	4 - 7	3 - 5	7	4.7		0.5%
PA-4 - LDR - Low Density Residential	4.0	12 - 20	3 - 5	20	5.0		1.4%
PA-5 - LDR - Low Density Residential	7.8	23 - 39	3 - 5	39	5.0		2.6%
PA-6 - LDR - Low Density Residential	11.9	48 - 71	4 - 6	71	6.0		4.0%
PA-7 - LDR - Low Density Residential	7.5	30 - 45	4 - 6	45	6.0		2.5%
PA-9 - LDR - Low Density Residential	10.5	42 - 63	4 - 6	63	6.0		3.6%
PA-10 - LDR - Low Density Residential	1.2	4 - 7	4 - 6	7	5.8		0.4%
PA-11 - MDR - Medium Density Residential	5.7	22 - 46	4 - 8	46	8.1		1.9%
PA-13 - MDR - Medium Density Residential	3.2	12 - 26	4 - 8	26	8.1		1.1%
PA-17 - MDR - Medium Density Residential	4.7	18 - 38	4 - 8	38	8.1		1.6%
PA-18 - MDR - Medium Density Residential	3.8	19 - 38	5 - 10	38	10.0		1.3%
PA-20 - MDR - Medium Density Residential	1.8	9 - 18	5 - 10	18	10.0		0.6%
PA-24 - MDR - Medium Density Residential	6.3	31 - 63	5 - 10	63	10.0		2.1%
PA-25 - MDR - Medium Density Residential	9.0	45 - 90	5 - 10	90	10.0		3.1%
PA-29 - MDR - Medium Density Residential	2.6	13 - 26	5 - 10	26	10.0		0.9%
PA-31 - MDR - Medium Density Residential	2.3	11 - 23	5 - 10	23	10.0		0.8%
PA-33 - MDR - Medium Density Residential	13.8	110 - 207	8 - 15	207	15.0		4.7%
Sub-total Single Family Attached/Detached Lots	102.7	468 - 852					43.0%
PA-32 - HDR - High Density Residential	11.9	178 - 298	15 - 25	298	25.0		4.0%
Sub-total Other Residential Parcels	11.9	178 - 298					4.0%
Sub-total of all Residential Parcels	114.6	646 - 1150		1150	10.0		46.8%
PA-16 - MU/CL - Mixed Use Commercial Low	11.3					0.35	3.8%
PA-22 - MU/CL - Mixed Use Commercial Low	20.7					0.35	7.0%
PA-35 - MU/CH - Mixed Use Commercial High	15.8					0.50	5.4%
PA-36 - MU/CH - Mixed Use Commercial High	3.2					0.50	1.1%
PA-27 - Elementary School	10.9						3.7%
Sub-total Non-Residential Parcels	61.9						21.0%
Sub-total of Development Parcels	176.5						
PA-1 - Bluff Preservation & Open Space	54.7						18.6%
PA-8 - Park	4.1						1.4%
PA-12 - Park	0.2						0.1%
PA-19 - Park	0.1						0.0%
PA-23 - Park	6.1						2.1%
PA-26 - Park	0.7						0.2%
PA-28 - Park	0.2						0.1%
PA-30 - Park	0.1						0.0%
Sub-total of Parks & OS Parcels	66.2						22.5%
PA-14 - Detention	8.0						2.7%
PA-15 - Detention	2.7						0.9%
PA-21 - Detention	2.9						1.0%
PA-34 - Detention	1.8						0.6%
Sub-total of Detention Ponds	15.4						5.2%
Road Right-of-Way (outside of PA areas)	36.5						12.4%
Sub-total R.O.W.	36.5						12.4%
Property Total	294.6	646 - 1150					100%

Density & Open Space Calculations

Total Maximum Unit Count	1150
Total Residential Acreage	114.6
Residential Density	10.0
Parks and Open Space Acreage	66.2
Total Residential Acreage	114.6
Open Space as a Percentage of Residential Area	58%



land use plan
scale: nts



The acreage, proposed uses, residential densities and floor area ratios (FARs) have been identified for each planning area. Planning area acreages shall be allowed to change by up to 20% as neighborhood designs are finalized, without the need to amend this PUD. (A range of unit counts for each parcel are defined in the land use chart. The goal of defining a range of different densities on parcels is to promote creativity and flexibility within the residential component of the Lake Bluff community), while still providing a relative transition of density from the commercial areas in the South to the more sensitive Bluff and open space areas to the North. Residential units that are not utilized within a defined parcel can be transferred into other land use parcels up to the maximum allowable density on the receiving parcel. There are no minimum unit requirements on a given parcel. In no event will a total unit count of 1,150 units be exceeded at Lake Bluff without an amendment of the PUD and supporting documentation.

general provisions

A. Conformance
Development of this planned community shall conform to all restrictions, regulations and procedures adopted by Ordinance by the City of Greeley, at the time of platting and building permit application, except as expressly provided otherwise in this Planned Unit Development Plan (PUD).

The provisions of this PUD shall prevail and govern the development of this planned community, except where the provisions of the PUD do not clearly address a specific subject. For subjects not addressed herein, the appropriate jurisdictional regulations and codes shall take precedence, and the most restrictive standards, and code standards as amended shall apply.



- B. Effect of the City of Greeley Zoning Ordinance**
The provisions of this PUD shall prevail and govern the development of Lake Bluff provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the City of Greeley Zoning Ordinance or any other applicable ordinances, resolutions or regulations of the City of Greeley Development Code standards, and code standards as amended, shall prevail.
- C. Density Variations**
In no event shall the total number of 1,150 residential Dwelling Units within all Land Use Parcels as set forth in the Planned Unit Development Plan for Lake Bluff be exceeded. The total number of Dwelling Units actually developed in a Land Use Parcel may be less than the number established on the Planned Unit Development Plan. Remaining units may be transferred to other parcels in whole or in part, in support of the mixed-use concept. Any residential Land Use Parcel may contain up to the maximum density allowed for the receiving parcel as set forth in the Planned Unit Development Plan and as determined by the Developer, without the need to amend this PUD.
- In support of a mixed use concept, and for parcels zoned Commercial, dwelling units may be transferred in at the Site Plan stage up to a maximum density of 25 Du/Ac. This increase in the number of permitted Dwelling Units within a commercial Land Use Parcel may be accomplished through a transfer of Dwelling Units from any other Land Use Parcel administratively.
- D. Land Use Parcel Boundaries**
Parcel boundaries are shown on the PUD, and are generally determined by their relationship to roads, open space and adjacent land uses. Modifications in Land Use Parcel boundaries and streets are permitted and will occur with planning and engineering refinement. Final parcel boundaries and road alignments shall be determined and shown on a Final PUD, Site Plan or Plat, without any amendment to the PUD being required; provided the changes in the Land Use Parcel area do not exceed 20 percent of the defined parcel.
- E. Construction Standards**
Construction shall comply with applicable provisions of the International Building and Mechanical Code, the National Electrical Code, the Colorado Plumbing Code, and other such Codes and the successors thereof, setting for the construction standards as promulgated by the International Conference of Building Officials or other standards-establishing bodies, as are adopted by the City of Greeley.
- All future build out shall meet all applicable City of Greeley Codes, Ordinances, Resolutions, Design Criteria, etc. It is also hereby understood that all future build out is subject to additional future City of Greeley reviews and comments prior to final approval and/ or acceptance.

- F. Underground Utility Requirements**
All new electrical and communications distribution lines shall be placed underground. All new transmission lines shall be underground unless same cannot be accomplished by direct burial.
- G. Soil Tests**
Soil tests for building sites shall be provided at the time of building permit application for the purpose of establishing engineering criteria for building foundation design.
- H. Homeowner Associations**
Homeowner Associations (HOAs) composed of property owners in residential areas may be created for the following purposes: a) to provide for the continued development, improvement and maintenance of properties and facilities which it owns or administers, and b) to protect the investment, enhance the value, and control the use of property owned by its members in perpetuity.
- Homeowner's Associations shall be created in residential areas where common lands or facilities are to be owned and maintained by the Homeowner's Association.
- I. Metropolitan Districts**
The District is a quasi-governmental agency, separate and distinct from the City, and, except as may otherwise be provided for by State or local law or its Service Plan, its activities are subject to review by the City only insofar as they may deviate in a material matter from the requirements of the Service Plan, the Municipal Code, or the Intergovernmental Agreement. It is intended that the District will provide a part or all of the Public Improvements for the use and benefit of all anticipated inhabitants and taxpayers of the District. The primary purpose of the District will be to finance the construction of District Improvements.
- The District has also been created to provide ongoing operations and maintenance services as specifically set forth in its Service Plan and as may be stated in any applicable Intergovernmental Agreement.
- J. Administrative Changes**
The graphic drawings contained within the Planned Unit Development Plan are intended to depict general locations and illustrate concepts expressed in the narrative provisions of the PUD. They are not intended to be final nor to represent the ultimate build out of Lake Bluff, but rather, they are included to depict potential design solutions that may evolve within the community.
- It is the goal of this PUD to serve as a guiding document for the appropriate build out of the Lake Bluff Community. Given the scale of this project, and the associated timeline it will take to develop, it is essential that this PUD be approved with an understanding of inherent flexibility.
- In granting final plan approval the City shall allow variations for the purpose of establishing:

1. Final road alignments
 2. Final configuration of Lot and tract sizes and shapes;
 3. Final Building envelopes;
 4. Final access and parking locations;
 5. Final parcel definitions;
 6. Final signage / monument design; and
 7. Landscaping adjustments
- K. Hillside Development**
The contiguous bluff area on the northern portion of the property will be preserved in keeping with the City of Greeley Hillside Development Standards and represents approximately 54.7 acres of hillside preservation. Other areas on the property, where slopes over 15% exist, are isolated, not natural and generally related to man-made elements such as farming roads or previous oil and gas infrastructure sites. These isolated areas south of the bluffs will not be considered as qualifying slopes under the Hillside Development Standards and will be allowed to be graded during development, within the land use and open space parcels defined on this PUD.
- L. Roadway Design**
The roadways shall comply with the City's current roadway standards.
- M. Amendments to Approved Plans**
Major amendments to this Preliminary PUD shall be considered by the City with the subject site property owner acting as the sole applicant. Other property owners within the Lake Bluff Community shall not be required as applicants, nor shall they be required to provide prior approval for the PUD amendment application to proceed. The applicant shall notify all property owners within the Lake Bluff PUD boundaries and the adjacent owners of the proposed PUD amendment(s) under consideration. Notifications to adjacent property owners shall occur 500' from the subject property.

setting of property

The Lake Bluff property is located generally north of W. 10th Street, and extends from east of 95th Avenue out to 101st Ave to the west. The southern boundary of the property is W. 10th Street.

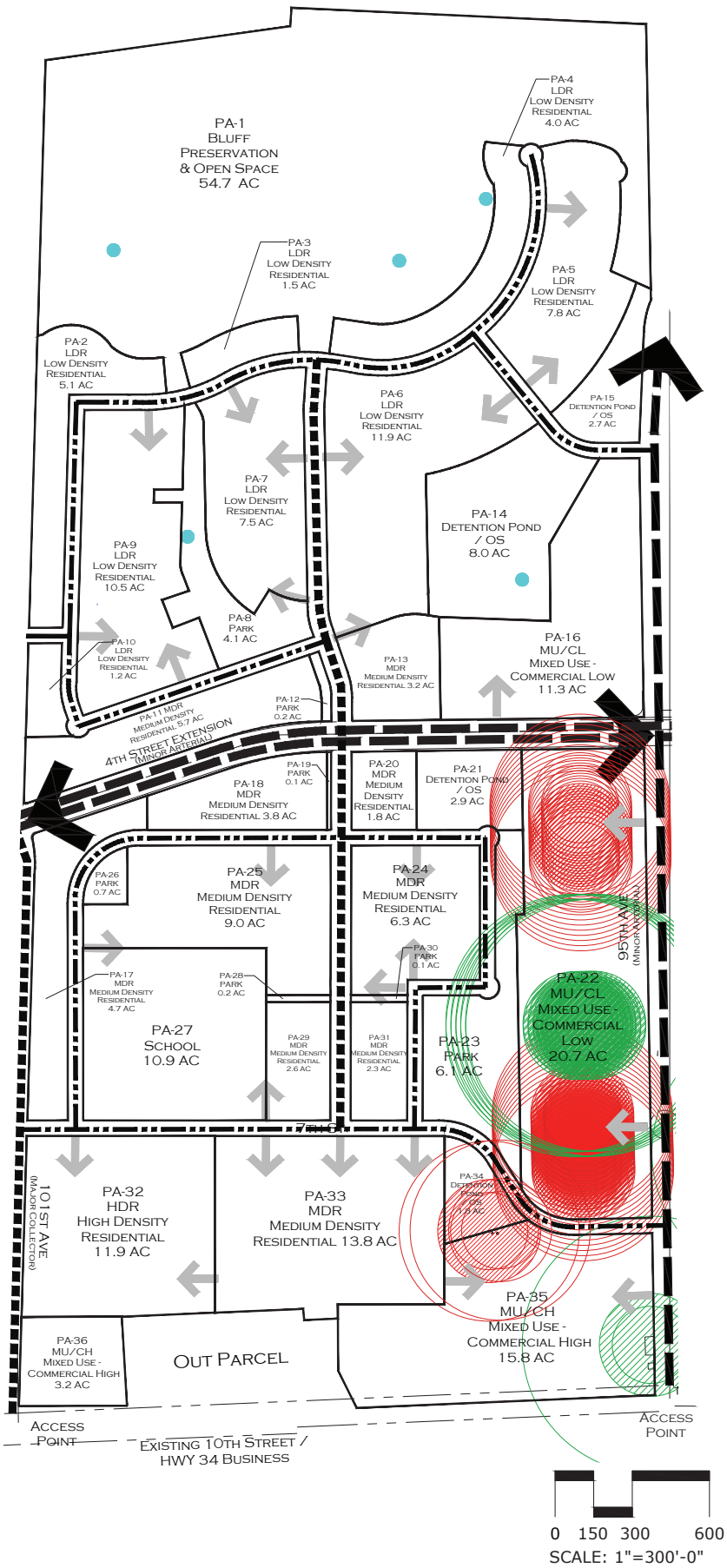
The two main access points to Lake Bluff will occur at 95th Ave. (a 2-lane Minor Arterial) and 101st Ave. (Major Collector), with the extension of 4th Street (a 4-lane Minor Arterial) essentially bisecting the site, in the East West direction. With W. 10th Street, 95th Ave., and W. 4th Street all anticipated to be classified as arterial roadways, this site is well situated for development and extension of infrastructure. The Lake Bluff Metropolitan Districts being formed in conjunction with this application will contain all the land within the project. The District will also be the financing mechanism for extending the infrastructure to the site and construction of trunk infrastructure on site.

The Lake Bluff property is uniquely situated in North West Greeley from two other aspects as well. It is located just after the bend that essentially defines the entrance to the City along the Highway 34 Bypass road. In this regard, the project will serve as a front door to Greeley for any visitors approaching along this route. Also, the Northern boundary of the property is defined by the Poudre River Bluffs, which will be dedicated as open space in perpetuity, and include a trail system with the potential for connection to the Poudre River Trail.



Legend

SYM	DESCRIPTION
	EXISTING WELL LOCATIONS
	ABANDONED AND CAPPED WELL LOCATION
	TANK BATTERY LOCATIONS
	PROPOSED MINOR ARTERIAL
	PROPOSED COLLECTOR (MAJOR OR MINOR)
	PROPOSED MAJOR LOCAL
	PROPOSED ACCESS LOCATION
	25' SETBACK
	350' SETBACK (BUILDINGS OF PUBLIC ASSEMBLY) 200' SETBACK (BUILDINGS) 150' SETBACK (ROADS)
	500' SETBACK (BUILDINGS OF PUBLIC ASSEMBLY) 200' SETBACK (BUILDINGS) 150' SETBACK (ROADS)



LAND USE DESIGNATION MATRIX

LEGEND	
P	Principal Permitted Use
A	Accessory Use
S	Special Review
•	Excluded Use

Land Use / Districts	Zone Category						
	LDR	MDR	HDR	MU/CL	MU/CH	OS	Park
Residential							
Single Family Dwelling Units	P	P	P	P	•	•	•
Duplexes (with minimum lot size of 2,500 sf per unit)	P	P	P	P	•	•	•
Single-family attached dwelling unit including: townhome, cluster development, patio homes	P	P	P	P	P	•	•
Multi-Family Dwellings (can include rental or for-sale units)	•	P	P	P	P	•	•
Boarding & rooming houses, Dormitories, group quarters, etc.	•	S	P	P	P	•	•
Farming	P	P	P	P	P	P	P
Group Homes	•	S	P	P	P	•	•
Assisted Living Facilities	•	S	P	P	P	•	•
Skilled Nursing Facilities	•	S	P	P	P	•	•
Live / work units	•	•	P	P	P	•	•
Institutional							
Child care, day care centers, preschools	S	S	P	P	P	•	•
Churches / synagogues / places of worship	P	P	P	P	P	•	•
Hospitals or other public health facilities	•	•	•	P	P	•	•
Intermediate & Long term care, assisted living units, Group Homes - more than 8 residents	•	S	P	P	P	•	•
Rehabilitation Centers	•	•	•	P	P	•	•
Libraries, museums, public or quasi-public	•	P	P	P	P	P	P
police, fire stations, ambulance dispatch and storage	•	P	P	P	P	•	•
Recreation Buildings - community centers	P	P	P	P	P	P	P
Schools	P	P	P	P	P	•	•
Schools - adult (business, trade)	•	•	•	P	P	•	•
Universities, colleges	•	•	•	S	P	•	•
Recreation							
Community / neighborhood recreation center & associated indoor facilities	P	P	P	P	P	P	P
Community pool facility (indoor / outdoor)	P	P	P	P	P	P	P
Indoor intensive - Ice Arenas, bowling alleys, etc.	•	•	•	P	P	P	P
Membership clubs, health clubs, martial arts studios	•	•	•	P	P	P	P
Open space	P	P	P	P	P	P	P
Open space/pedestrian plazas	P	P	P	P	P	P	P
Outdoor recreation	P	P	P	P	P	P	P
Parks (pocket)	P	P	P	P	P	P	P
Parks (neighborhood)	P	P	P	P	P	P	P
Parks (community)	P	P	P	P	P	P	P
Sports fields - soccer, baseball, football, track & field, etc.	P	P	P	P	P	P	P
Commercial							
24-hour convenience retail operation	•	•	•	P	P	•	•
Administrative and executive offices	•	•	•	P	P	•	•
Animal hospital and veterinary clinic -small animal facilities (no outdoor kennels)	•	•	•	P	P	•	•
Appliance store	•	•	•	S	P	•	•
Appurtenant retail uses	•	•	•	P	P	•	•
Banks, Savings & Loans, financial institutions, ATMs, drive up windows	•	•	•	P	P	•	•
Bars, taverns, lounges, Brew pubs	•	•	•	P	P	•	•
Bed & Breakfasts	•	•	•	P	P	•	•
Big Box, Large format retail	•	•	•	•	P	•	•
Bowling alley, tennis club, skating rink, health club, etc.	•	•	•	P	P	•	•
Call center	•	•	•	•	P	•	•
Car wash and/or auto detailing	•	•	•	S	P	•	•
Wireless Communication Facilities (height and location to be reviewed) *	•	•	•	P	P	•	•
Consulting service offices	•	•	•	P	P	•	•
Convenience commercial stores (with gas sales)	•	•	•	P	P	•	•
Drive through restaurants	•	•	•	P	P	•	•
Dry cleaning (no cleaning on site)	•	•	•	P	P	•	•

Note:
The provisions of this PUD shall prevail and govern the development of Lake Bluff provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the City of Greeley Zoning Ordinance or any other applicable ordinances, resolutions or regulations and Development Code standards as amended shall prevail.

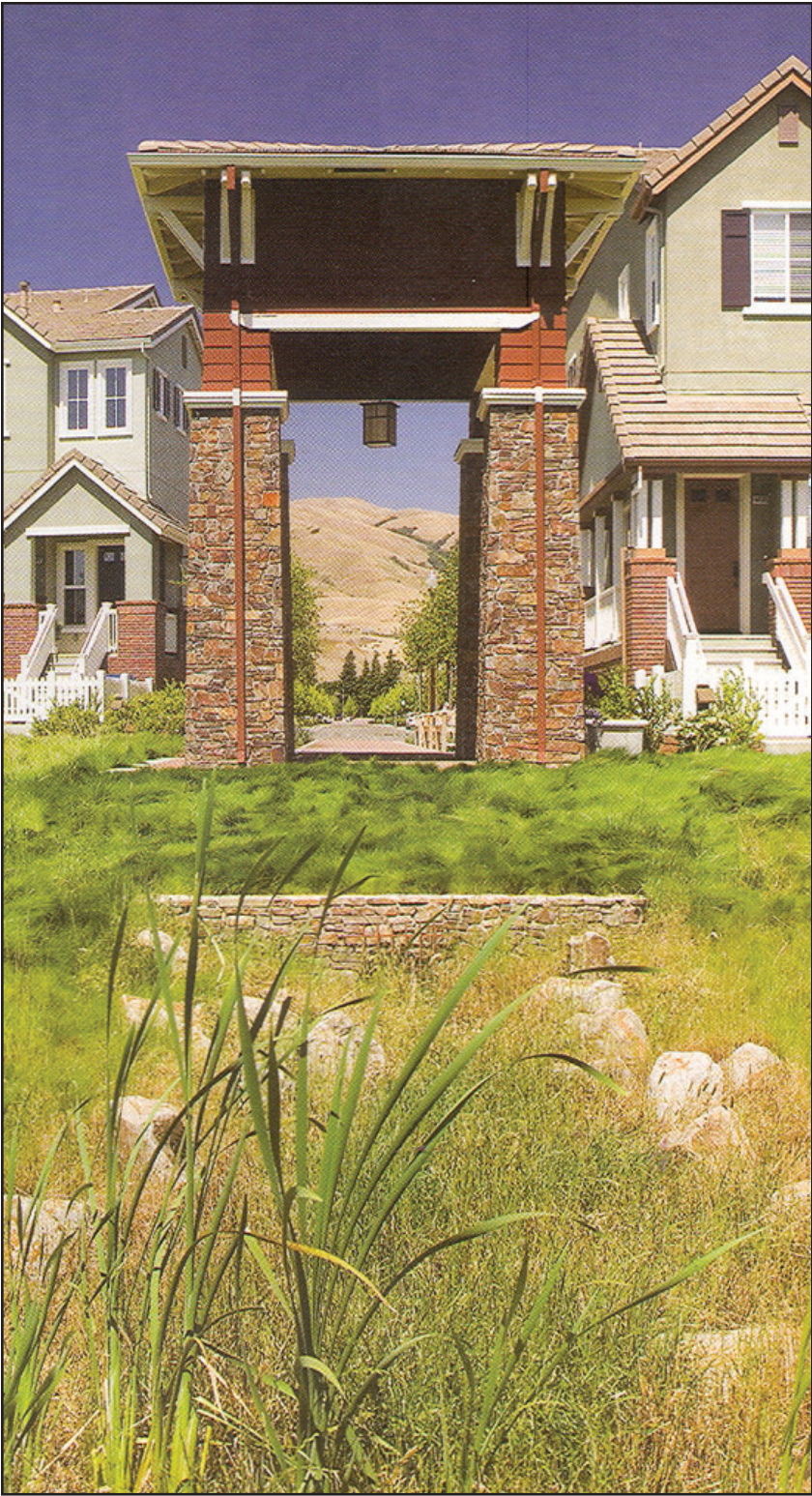
Accessory units not defined within the scope of this Preliminary PUD document or proposed within alternative land use categories shall be governed by the City of Greeley Development Code, as amended.

Any use not listed in the land use designation matrix, shall not be permitted.

Land Use / Districts	Zone Category						
	LDR	MDR	HDR	MU/CL	MU/CH	OS	Park
Commercial							
Entertainment facilities (indoor)	•	•	•	P	P	•	•
Farmers markets - outdoor (no more than 12 times annually for the same establishment)	•	•	•	P	P	P	P
Financial institutions	•	•	•	P	P	•	•
Furniture store (following size restrictions)	•	•	•	P	P	•	•
Gasoline service station, including car wash and small convenience store	•	•	•	P	P	•	•
Gardening (community)	P	P	P	P	P	P	P
General office	•	•	•	P	P	•	•
Greenhouses and nurseries	•	•	•	P	P	•	P
Ground floor retail commercial with multifamily housing or office space located above	•	S	P	P	P	•	•
Hotel / motel	•	•	•	•	P	•	•
Insurance and investment offices, etc.	•	•	•	P	P	•	•
Liquor stores	•	•	•	•	P	•	•
Local retail greenhouses, garden centers or fruit/vegetable stands	•	•	•	•	P	•	•
Medical, dental and small animal veterinary offices	•	•	•	P	P	•	•
Mini-warehouse/self storage/outdoor storage	•	•	•	•	P	•	•
Neighborhood retail uses (ie.dry cleaning, coin operated laundry)	•	•	•	P	P	•	•
New and used car sales and service, boat and trailer rental and sales, automobile	•	•	•	•	P	•	•
Office/Showroom/Warehouse (following size restrictions)	•	•	•	•	P	•	•
Offices	•	•	•	P	P	•	•
Outdoor storage associated with an outdoor retail/commercial use	•	•	•	•	P	•	•
Parking lots & structures	•	•	•	P	P	•	P
Pedestrian plazas or pedestrian malls	P	P	P	P	P	P	P
Personal Service Shops (beauty, barber, tanning, nail salons, shoe repair)	•	•	•	P	P	•	•
Printing, Copying shops, mail & office centers	•	•	•	•	P	•	•
Private lodges and clubs	•	•	•	P	P	•	•
Professional services/offices	•	•	•	P	P	•	•
Public transportation terminals	•	•	•	•	P	•	•
Rental Service (equipment, small tools, supplies, appliances, home furnishings)	•	•	•	•	P	•	•
Repair Shops	•	•	•	•	P	•	•
Restaurants - Cafes & other eating establishments (indoor & outdoor seating)	•	•	S	P	P	•	•
Restaurants - drive-in or drive-thru facilities (with outdoor seating areas)	•	•	•	P	P	•	•
Retail Sales - under 3000 s.f. GFA (one user)	•	•	•	P	P	•	•
Retail Sales - 3000 - 20,000 s.f. GFA (one user)	•	•	•	P	P	•	•
Retail Sales - large retail over 20,000 s.f. GFA (one user)	•	•	•	•	P	•	•
Sales from a movable structure, vacant lot or parking lot	•	•	P	P	P	•	P
Temporary construction offices subject to zoning approval	P	P	P	P	P	P	P
Temporary office subject to zoning approval	P	P	P	P	P	P	P
calendar year, per shopping center subject to zoning approval							
Temporary signage subject to zoning approval	P	P	P	P	P	P	P
Water wells	S	S	S	S	S	S	S
Wholesale business, storage or warehousing	•	•	•	•	P	•	•
Oil and Gas production wells including storage tanks and flowage lines	S	S	S	S	S	S	S

*Per City of Greeley Standards

Legend
LDR = Residential Low
MDR = Residential Medium
HDR = Residential High
MU/CL = Mixed Use / Commercial Low
MU/CH = Mixed Use / Commercial High
OS = Open Space



Open Space Connections are an important component of the Lake Bluff Community that can be utilized for both pedestrian connection, as well as stormwater management opportunities. Such connections shall be permitted within any of the land use parcels at Lake Bluff.



Residential Land Use Development Standards Matrix

Single Family Detached Residential		
Standards	MDR	LDR
Minimum Lot Size (1)	3200	4500
Minimum Lot Frontage (5) (7)	35'	45'
Minimum Corner Lot Frontage	45'	55'
Parking Requirement (4)	2 / unit	2 / unit
Max. Height	35'	30'
Floor Area Min.	N/A	N/A
Primary Use		
Front Setback to Living Space (15)	10'	15'
Front Setback to Garage	18'	18'
Front Setback to Side Load Garage	10'	15'
Side Setback Minimum (14)	5'	5'
Side Setback with Access Easement (6)	0'	0'
Building Separation (6)	10'	10'
Rear Setback - Front Load (14)	15'	15'
Rear Setback - Alley Load	4'	4'
Rear Setback - Bluffs (14)	N/A	50'
Side (Corner) Setback (14)	10'	10'
Side (Corner) Setback to Garage Door	18'	18'
Accessory Use (8)		
Max Height	15'	15'
Front Setback	20'	20'
Side Setback	3'	5'
Rear Setback	5'	5'
Rear Setback (alley load garage)	4'	4'
Side (Corner) Setback	15'	15'

Residential Land Use Development Standards Matrix

Single Family Attached Residential (Townhome/Duplex) (9)			
Standards	HDR	MDR	MU/CL
Minimum Lot Size	1200 sf	1200 sf	1200 sf
Lot Frontage (5)	20'	20'	20'
Corner Lot Frontage	30'	30'	30'
Parking Requirement (3) (4)	2 / unit	2 / unit	2 / unit
Guest Parking Requirement (3) (4)	0.25 / unit	0.25 / unit	0.25 / unit
Max. Height	40'	35'	35'
Floor Area Min.	750 SF	900 SF	500 SF
Max. Number of Units Attached	24	16	24
Principal Use			
Front Setback to Living Space (15)	10'	12'	12'
Front Setback to Garage	18'	18'	18'
Side Setback Minimum (14)	5'	5'	5'
Side Setback with Easement (6)	0'	0'	0'
Building Separation	10'	10'	10'
Rear Setback (14)	10'	10'	10'
Rear Setback - Alley Load Garage	4'	4'	4'
Side (Corner) Setback	10'	12'	12'
Accessory Use (8)			
Max Height	15'	15'	15'
Front Setback	20'	20'	20'
Side Setback	5'	5'	5'
Rear Setback (non-garage)	5'	5'	5'
Rear Setback (garage)	4'	4'	4'
Side (Corner) Setback	15'	15'	15'

Residential Land Use Development Standards Matrix

Multi-Family Residential (10)				
Standards	HDR	MDR	MU/CL	MU/CH
Minimum Lot Size	NONE	NONE	NONE	NONE
Lot Frontage (5)	No Minimum	No Minimum	No Minimum	No Minimum
Parking Requirement (2) (3)	(2)	(2)	(2)	(2)
Max. Height	40'	35'	35'	40'
Max. Number of Units Attached	24	16	16	24
Principal Use				
Setback from Local (6) (10)	10'	10'	10'	10'
Setback from Private	10'	10'	10'	10'
Setback from Parking Lot (11)	10'	10'	10'	10'
Setback from Property Line (6)	10'	10'	10'	10'
Building Separation	20'	20'	20'	20'
Open Parking Setback from ROW	15'	15'	15'	15'
Accessory Use				
Max Height	15'	15'	15'	15'
Setback from Local (6) (10)	15'	15'	15'	15'
Setback from Private	10'	10'	10'	10'
Setback from Parking Lot (11)	5'	5'	5'	5'
Setback from Property Line (6)	20'	20'	20'	20'
Building Separation	10'	10'	10'	10'

Land Use Development Standards Matrix

- Notes:
- (1) Min. lot size shown for single family detached.
- (2) Required parking shall meet the City of Greeley Land Development Code Parking Standards, as amended, if not covered by these guidelines. Shared parking shall be allowed in instances where appropriate.
- (3) Studio and 1 bedroom units require 1.5 parking spaces per unit and .25 guest spaces per unit. 2 bedrooms units require 2.0 parking spaces per unit and .25 guest spaces per unit. 3+ bedrooms units require 2.0 parking spaces per unit and .25 guest spaces per unit.
- (4) Parking includes a minimum of one space in a garage and one space in the driveway. Guest parking spaces for SFD shall be accommodated in the driveway, in a 2-car garage, and/or on-street.
- (5) Lot frontage measured at setback.
- (6) A zero lot line may be utilized when a maintenance easement and side yard easement are executed, subject to IBC requirements.
- (7) Lot frontage on a cul-de-sac may be reduced by five feet.
- (8) An accessory use in this application of the term, shall not include a living space.
- (9) Standards are provided for duplex and townhome uses accommodating 6 - 18 Du/Ac. Higher density apartment and condo products shall follow the multi-family standards below.
- (10) Multi-family standards are provided for apartment and condo products ranging from 15 - 25 DU/AC. Standards for duplex and townhome product are provided above within the SFA standards.
- (11) Parking lot is defined as an area with contiguous spaces for ten (10) or more vehicles that is accessed by one or more drives.
- (12) Non-residential parking requirements will follow the City of Greeley Land Development Code, as amended.
- (13) All setbacks are measured from R.O.W. or property line.
- (14) Allowed side & rear encroachments: Decks, Stairs, Counterforts & Window Wells (3') - Eaves & Bay Windows (2') - Siding & Cladding (0.5')
- (15) Allowed front encroachments: Porches, Decks & Stairs (5') - Eaves & Bay Windows (2') - Siding & Cladding (0.5')

Non-Residential Land Use Development Standards Matrix

Non-Residential		
Standards	MU/CL(6)	MU/CH(6)
Maximum Floor Area Ratio	0.35	0.5
Unobstructed Open Space	20%	20%
Parking	(12)	(12)
Principal Use		
Height	40'	50'
Setback from Arterial from ROW	50'	50'
Setback from Collector from ROW	30'	30'
Setback from Local from ROW	15'	15'
Setback from Private	10'	10'
Setback from Parking Lot	10'	10'
Setback from Property Line	20'	20'
Building Separation	20'	20'
Surface Parking Setback from ROW	20'	20'
Setback from Single Family Detached	40'	40'
Setback from Single Family Attached	20'	20'
Setback from Multi-Family	20'	20'
Accessory Use		
Height	25'	25'
Setback from Collector	30'	30'
Setback from Local	15'	15'
Setback from Private	10'	10'
Setback from Parking Lot	10'	10'
Setback from Property Line	35'	35'

Legend

LDR = Residential Low

MDR = Residential Medium

HDR = Residential High

MU/CL = Mixed Use / Commercial Low

MU/CH = Mixed Use / Commercial High

single family detached residential development standards

Lake Bluff has established an architectural scoring system to provide a vehicle for individual design while ensuring quality and compatibility with the community. All homes in Lake Bluff shall incorporate the following 4 architectural features:

- 1. At least two different materials on the front elevation and any elevation visible from a road. Options include brick, simulated or real stone, stucco, siding or other appropriate materials.
- 2. Use of at least three different colors including trim, accent for front door and shutters (if selected), and base. A minimum of four color packages shall be offered. No two adjacent houses may share the same color package.
- 3. Front yard irrigation and landscaping shall be installed by the builder.
 - a. Builder shall install at least one deciduous tree (2 1/2" caliper minimum) or one evergreen tree (6' tall minimum) and five 5-gallon shrubs in the front setback. Placement of trees on adjacent lots shall vary.
 - b. Wing fencing to be installed by builder with front yard landscaping and shall be consistent in style with all on lot fencing.
- 4. Permanent foundations shall be required.

*Note: These graphic depictions are for illustrative purposes only and are subject to change.



elevation 1



elevation 2



elevation 3

In addition to the required architectural features, builders must select at least six (6) options from the following list of architectural features:

- 1. At least two different materials on all four elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding or other appropriate material. Masonry may be used as an exclusive material on the front elevation, but the other three elevations must use at least two other treatments. If masonry is used on the front elevation, it must wrap around to a natural break point (with a min. of 2' of wrap) or side-yard fence.
- 2. Use of at least three distinct architectural styles for each product (ie: craftsman, prairie, mountain, traditional, etc.)
- 3. Varying locations and proportions of front porch in a series of four houses on the same block and side of a street.
- 4. Varying location and proportions of garage doors in a series of four houses on the same block and side of a street.
- 5. The width of front elevation differing by more than 2' in a series of four houses on the same block and side of a street.
- 6. Variations in the front plane and roofline.
- 7. Use of roof dormers.
- 8. Variation of building types: ranch, two-story and split level.
- 9. Walkout basements.
- 10. Window shapes that are substantially different, including bay windows.
- 11. At least one bay window on front elevation or any elevation visible from a street.
- 12. Windows with grids or other enhanced treatment on all four elevations.
- 13. At least 2 clerestory windows, or windows w/ transoms above the main window.
- 14. Front door w/ at least one sidelight, transom window, or double door.
- 15. Garage door with a minimum of 3 windows per door.

Differentiation between architectural styles (ie. craftsman, prairie, traditional, etc) should be distinct enough to ensure variety along a streetscape in which multiple elevations are chosen.

- 16. A home design where garage doors do not appear on the front elevation.
- 17. For non-alternately loaded garages; garages that do not protrude more than 5' from main facade.
- 18. Main roof w/ a slope of 6:12 min.
- 19. Front or side porch w/ a min. depth of 5' and a min. floor area of 50 SF.
- 20. Front or side porch w/ at least 2 columns w/ a min. cross section of 8" each.
- 21. Decorative shutters on 80% of the street-facing windows.
- 22. Second story porch, front or side porch of at least 25 SF.
- 23. Rear or side deck of at least 50 SF.
- 24. At least a 16" roof overhang on the front elevation w/ decorative brackets, beams, or exposed rafter ends.
- 25. Decorative material treatment on at least one gable end facing the street.
- 26. At least 100 SF of patterned paving on the subject property.
- 27. Real or simulated chimneys on elevation facing street.
- 28. Front porch lights with 40 watt fixtures or coach lights on posts on all houses.
- 29. Partial basement.
- 30. Rear yard landscaping installed by builder, provided that a rear yard landscape plan is provided as part of the building permit.
- 31. Entire yard fenced by builder prior to certificate of occupancy.
- 32. Additional tree or five 5-gallon shrubs for front yard landscaping.
- 33. 50% of all homes shall have an entry walk from porch/front door to street.
- 34. Minimum of two planes on rear elevations, each plane to have a min. 1' depth variation.
- 35. More than one treatment for the predominant siding (i.e. vinyl, cedar, or other siding material).
- 36. Roofs may be high profile composition shingles such as slate, clay or concrete tile, architectural metal, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a minimum 20-year warranty.
- 37. 15% minimum windows and door openings on the front elevation.

On homes fronting collectors, pocket parks, schools, and entry ways to neighborhoods, at least four of the architectural features must be included on the front elevation. The other two architectural features may be on the rear or sides of the homes.



single family attached (townhome/duplex) residential development standards

All homes shall embody the following architectural features, at a minimum:

- 1. At least two (2) different materials on front elevation and any elevation visible from a public street. Options include brick, simulated or real stone, stucco, siding, or other appropriate materials
- 2. More than one treatment for predominant siding (ie: vinyl, cedar, other)
- 3. Use of at least three (3) different colors, including trim (1 color), accent for front door and shutters (1 color) and base (at least two complimentary colors or contrasting shades). A minimum of four (4) color packages shall be offered. No two adjacent houses shall share the same color package.
- 4. Roofs shall be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a minimum 30-year warranty.
- 5. Front yard irrigation and landscaping to be installed by builder.

In addition to the minimum architectural requirements, builders must select six (6) options from the following list of architectural features:

- 1. At least two (2) different materials on all four (4) elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding, or other appropriate materials. Use of masonry only may be used on front elevation, but the other three (3) elevations must use at least two (2) other treatments. If masonry used on front elevation, it must wrap around until a natural break line or side yard fence. Minimum 2ft of wrap is required.
- 2. Varying locations and proportions of front porches for each unit within a building.
- 3. In a series of four (4) units or more within one building, width of front elevation of two adjacent units differing by more than 2ft
- 4. Variations in the front plane and roofline
- 5. Use of roof dormers
- 6. Variation of building types: i.e. one story on the ends with two-story in the center
- 7. Walk-out basements
- 8. Window shapes that are substantially different, including bay windows
- 9. At least one bay window on front elevation or any elevation visible from a street
- 10. Windows with grids on all four elevations
- 11. Front door w/ at least one sidelight, transom window, or double door
- 12. Clay or concrete tile roofs
- 13. Garage door w/ windows and at least 6 panels
- 14. A building design where garage doors do not appear on the front elevation
- 15. Main roof with a slope of 6:12 min.
- 16. Front or side porch w/ a min. depth of 5', width of 8' and a min. floor area of 40 SF.



Multiple materials and colors, along with high profile composition shingle roofs and builder installed front yard landscaping shall be required.



Single family attached (townhomes/duplexes) residents that are designed to resemble large single family detached homes (such as manor homes) are encouraged to be included within the community to provide diversity; both architecturally and for varying home ownership opportunities.



Single family attached (townhomes/duplexes) architecture will include elements to provide visual interest and differentiation such as: a variety of styles and materials, varying roof lines and heights of units within the building, a variety in the width of adjacent units. Varying location and proportion of front porches, window shapes that are substantially different, front doors with sidelights or transoms, and front elevations where garage doors do not appear.

- 17. Front or side porch w/ at least 2 columns with a min. cross section of 8" each
- 18. Decorative shutters on all street facing windows
- 19. Second story porch front or side porch of at least 25 SF
- 20. Rear or side deck of at least 50 SF
- 21. At least a 16 inch roof overhang on the front elevation with decorative brackets, beams, or exposed rafter ends
- 22. Decorative material treatment on at least one gable end facing the street
- 23. At least 10 lineal feet of masonry privacy walls on the subject property
- 24. At least 100 SF of patterned paving on the subject property
- 25. Real or simulated chimneys
- 26. Front porch lights with 40 watt fixtures or coach lights on posts on all houses
- 27. Partial basement
- 28. 50% of all homes shall have an entry walk from porch/front door to street
- 29. Minimum of two planes on rear elevations, each plane to have a min. 1ft depth variation
- 30. Minimum private yard or courtyard of at least 80 SF.
- 31. Non-repetitive front elevation for adjacent units within a building.



*Note: These graphic depictions are for illustrative purposes only and are subject to change.

multi-family residential development standards

All buildings shall embody the following architectural features, at a minimum:

- 1. At least two (2) different materials on front elevation and any elevation visible from a public street. Options include brick, simulated or real stone, stucco, siding, or other appropriate materials
- 2. More than one treatment for predominant siding (ie: vinyl, cedar, other)
- 3. Use of at least three (3) different complimentary colors throughout the project.
- 4. Roofs shall be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a 30-year minimum warranty
- 5. A minimum of two planes for the front elevation

Builders must select four (4) options from the following list of architectural features:

- 1. At least two (2) different materials on all four elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding, or other appropriate materials. Use of masonry only may be used on front elevation, but other three (3) elevations must use at least two other treatments. If masonry used on front elevation, it must wrap around until natural breakline or side yard fence
- 2. Porches and balconies for at least 50% of the units
- 3. Utilizing covered parking for a minimum of 50% of the required parking
- 4. Variations in the front plane and roofline
- 5. Use of roof dormers
- 6. Use of one (1) and two (2) story variations within the same building
- 7. Window shapes that are substantially different, including bay windows
- 8. At least one (1) bay window on front elevation or any elevation visible from a street
- 9. Windows with grids on all four elevations
- 10. Clay or concrete tile roofs
- 11. At least two (2) distinct roof lines
- 12. Decorative shutters on all street facing windows
- 13. At least a 16 inch roof overhang on the front elevation w/ decorative brackets, beams, or exposed rafter ends
- 14. Decorative material treatment on at least one gable end facing the street
- 15. Real or simulated chimneys
- 16. Minimum of two (2) planes on rear and side elevations, each plane to have a min. 1ft depth variation



A variety of different materials and color combination are encouraged within multi-family developments, as are porches and balconies to break down the scale of the buildings.



On larger multi-family buildings, architectural elements such as: variation in building elevation plane, incorporation of high profile roofing materials, real or simulated chimneys and decorative shutters shall be required.



Individual multi-family developments in excess of 200 units shall include amenities such as swimming pools and exercise facilities for their residents.



Creative architecture shall be embraced within the higher density portions of Lake Bluff to ensure interest and diversity within the community.



Note: These graphic depictions are for illustrative purposes only and are subject to change.

Note: These graphic depictions are for illustrative purposes only and are subject to change.



At individual neighborhood entries throughout the community, the master developer / metropolitan district shall be responsible for the installation of site walls, neighborhood monumentation, landscape and median islands to ensure a consistent look throughout Lake Bluff.



Variety in color palettes and architectural styles shall be required within given neighborhoods.

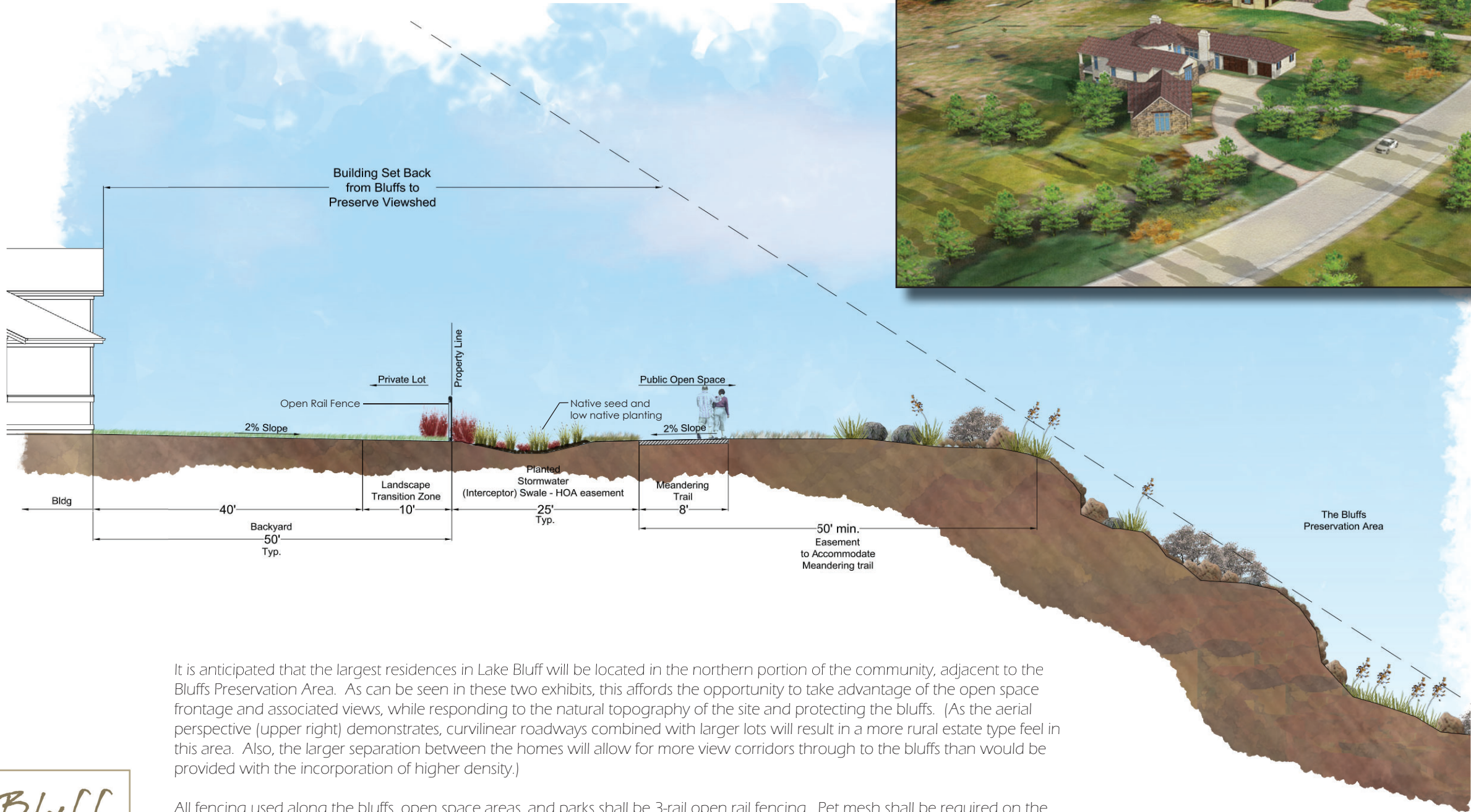
The single family residential design standards included within this PUD are intended to ensure diversity and interest throughout the Lake Bluff Community. From a design standpoint, the quality of the streetscapes and the associated sense of place that they produce are equally important as the individual building standards, and are intended to work in concert with each other to create an appealing community that is comprised of unique neighborhoods that still work together.



In areas of the community where the backs of houses face collector or arterial streets, enhanced rear elevations that include elements such as: multiple colors and materials, roof line variation, the inclusion of roof dormers, and windows of substantially different shapes and sizes shall be required. Also, increased areas of builder installed community landscaping shall be encouraged as buffer zones adjacent to these residential areas.

Lake Bluff

Typical Bluff Trail Cross Section



Note: This graphic depiction is for illustrative purposes only and is subject to change. It has been included to represent typical community design elements that may be used and are encouraged within Lake Bluff.

Lighting:
All lighting used along the bluffs including the rear yards of the adjoining homes shall be International Dark Sky Association certified in-order to reduce the impacts of wildlife.

It is anticipated that the largest residences in Lake Bluff will be located in the northern portion of the community, adjacent to the Bluffs Preservation Area. As can be seen in these two exhibits, this affords the opportunity to take advantage of the open space frontage and associated views, while responding to the natural topography of the site and protecting the bluffs. (As the aerial perspective (upper right) demonstrates, curvilinear roadways combined with larger lots will result in a more rural estate type feel in this area. Also, the larger separation between the homes will allow for more view corridors through to the bluffs than would be provided with the incorporation of higher density.)

All fencing used along the bluffs, open space areas, and parks shall be 3-rail open rail fencing. Pet mesh shall be required on the interior side of the fence.

The Bluff Preservation Area shall incorporate an average of 50' trail easement and a 25' HOA maintained stormwater swale easement with a meandering trail along the top of the bluffs, as can be seen in this section. This provides an average of 75' from the rear yard line to the top of the bluffs. This setback combined with the 50' rear yard setback to the homes will ensure that any possible "ridgeline effect" associated with the home building envelope in this area will be minimized. Landscape shall be added between the trail and the home in conjunction with a stormwater swale to catch any runoff from the lots before the top of the bluffs. The landscape located in the 25' stormwater swale and in the 10' Landscape Transition Zone shall be made up of native, non-invasive plant material.



landscape standards

SUSTAINABLE LANDSCAPE DESIGN GUIDELINES

These landscape guidelines are intended to compliment the Neighborhood and Architectural Standards included in this PUD document. It is the goal of these standards to help promote sustainable development at Lake Bluff by outlining essential landscape components that complement and enhance community character. Where not specified differently herein, specific planting requirements shall adhere to the City of Greeley Development Code, as amended.

Guiding Principles

The landscape design standards have been created within the context of the western high-plains semi-arid climate in which Lake Bluff is located. The responsible use of natural resources and native materials within this geographic context is important as we develop visually appealing landscape designs to grow with the Lake Bluff community over time. Due to the semi-arid nature of the western high plains, the responsible use of water is essential.

Stewardship – Demonstrate a water conservation landscape approach that successfully blends aesthetic appeal with ecological constraints through a commitment to the use of appropriate plant materials and site sensitive design.

Innovation – Continue to encourage new and flexible landscape solutions that foster sustainable landscapes within the community.

Cost effectiveness – implement design strategies that respect the use of drought tolerant / native plant materials that are



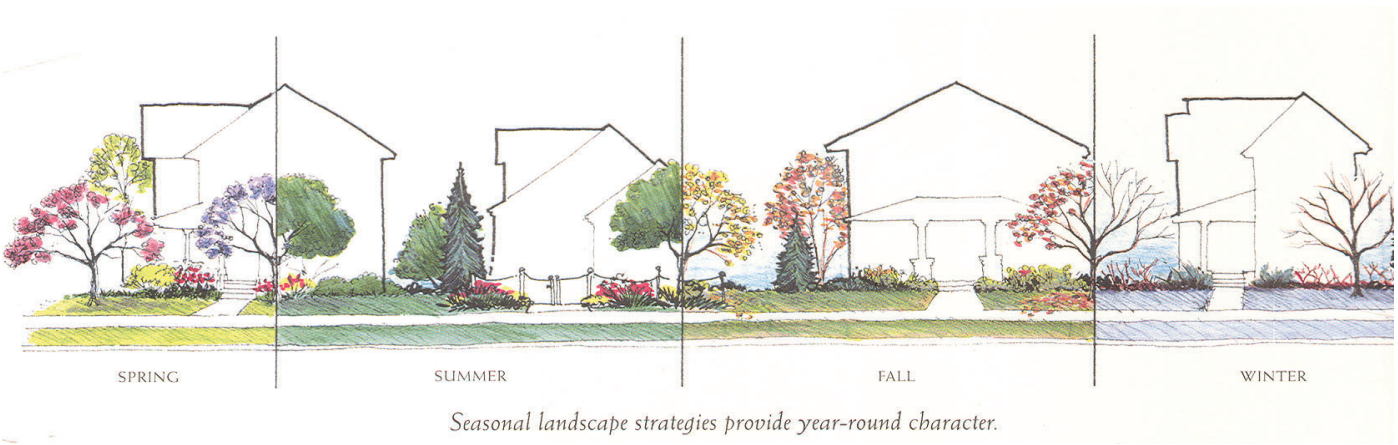
also to ensure diversity with in the plant communities as a means of ensuring resistance to pests commonly associated with monocultures.

As a design inspiration that can be pulled from the prairie, large groupings of native and ornamental



grasses, shrubs, perennials, wildflowers and ground covers are encouraged to be used at Lake Bluff.

These plantings should be arranged to provide strong images of texture, color and contrast in response to their specific setting. In addition, the landscape design utilized throughout the community should reinforce the transitions that occur with respect to both land use and open space. For instance, in areas of higher density and commercial use, a more cultivated formal approach to planting design will provide a complimentary arrangement to the architecture. This approach emphasizes structured and geometric planting patterns that correspond to the site design while creating year round impact. As the community transitions to areas of lower density, a more informal or naturalized landscape pattern shall be encouraged. This approach is characterized by the loose and organic nature of the planting design; while still considering the integration of plant size and texture, as well as seasonal interest and color.



Design Techniques

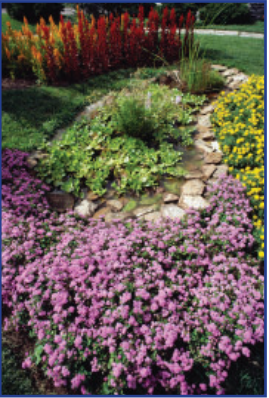
These design techniques are intended to provide a framework for the implementation of the desired sustainable landscape character.

- Turf grass should be used responsibly to serve a functional purpose as part of a front yard composition. As such, usable lawn areas shall



be designed in combination with planter beds and native ground covers, as opposed to yards that are exclusively composed of turf grass.

- The planter beds used to frame turf grass areas should be predominantly drifts of color and texture with a layered effect from smaller ground covers in the front, to larger shrubs in the back. These planters should be utilized in both front and side yards that are visible



from the street.

- Architecture should be framed by locating trees in the front yards between houses, or along architectural breaks in continuous facades.
- Planting should enhance architectural features such as entrances and bay windows; ornamental trees and perennials should be used to punctuate the entrance sequence; and evergreen vegetation should be utilized



adaptable to the site conditions in which they are used as a means of conserving water and reducing on going maintenance costs.

Generally speaking, the use of native and naturalized plant communities commonly associated with the western high plains region are encouraged. While it is important that we respect this baseline community, it is also essential that additional plant variety be incorporated, not only for aesthetic purposes but

landscape standards

Community Wide Standards

- Planting plans should respond to the architectural style of the associated building, both in terms of plant palette and design style, while not sacrificing the overall streetscape / community feel.

Horizontal Layering:

Horizontal layering shall be encouraged in the landscape design



of Lake Bluff to respond to the differences between the private and public realms. In essence, it should be used to ensure that public space expresses neighborhood identity and safety, while private space relates to the architecture and creates spaces for outdoor living. Through the use of horizontal layering a series of layers can be created to provide clear distinction between public, semi-public and semi-private space. This strategy will also act to create a pedestrian friendly environment through understandable way-finding and the clear articulation of entrances to buildings and public spaces.

Vertical Layering:

Vertical layering in the landscape can also be used to define outdoor spaces and the transition between private and public realms; as well as enhancing the pedestrian experience. Large deciduous trees provide spatial structure and shade. Their canopies provide a sense of enclosure within the street and create the framework for the neighborhoods in which they are planted. Eye level elements provide

a second layer and add human scaled definition through the incorporation of ornamental trees, shrubs, hedges, walls and fences. They are used to provide accents in the landscape

and to create outdoor rooms, spaces and sequences. They also help to link buildings to the ground and can be used as important components in architectural and site entrance sequences. Ground level elements such as paving, ground cover, perennials and turf grass provide the final component in the vertical layering process. They are a critical component in the functioning of outdoor space and their detailing can add to the success of both public and private spaces, as well as the tying of landscape and architecture together.

Water Considerations:

- Rain gardens are encouraged to be integrated into residential landscapes to accommodate the infiltration of rainwater runoff into the landscape.
- Plants should be grouped into planting areas with similar water requirements to promote efficiency with respect to irrigation and management.
- Low water use and native plants shall be used within all plant palettes.
- Plan for efficient irrigation systems, using drip systems whenever feasible.
- Design for a low water, low-maintenance approach.
- Select plant material that will naturalize requiring water on an as-needed basis.
- The use of mulches to retain moisture in the soil shall be required.
- Plants must be selected from www.watersmartplants.com/gre



Street tree requirements

Street tree planting is required along all public streets, with spacing of 40' on center, and a minimum size of 2" caliper. Builders must provide deciduous canopy trees aligned parallel to the curb and centered in tree lawn, planter, or median as applicable. Tree species should be chosen for the location in which they are being placed. For instance, median trees should be more tolerant of harsh and dryer conditions, while trees located within storm water improvement areas should be tolerant of moist conditions.

An overall street tree planting plan shall be designed for each neighborhood at Lake Bluff to ensure that an appropriate mix of character and species diversity is achieved throughout the community. Builders shall be required to plant trees in accordance with the applicable neighborhood planting plan. The builder is required to notify all utility companies prior to excavation and installation of street trees. When feasible, street trees shall be located at least 10' away from adjacent light poles and utility structures.

Drip irrigation shall be provided to all street trees in tree lawns and medians, that do not receive overspray from turf grass areas.



In an effort to reinforce the important open space areas integrated throughout the community, in areas with public streets adjacent to naturalized open space, variety in the street tree spacing shall be encouraged. Groupings of trees shall be placed in random patterns in groups of odd numbered quantities to correspond to the interface between the street and the open space area. The number of trees required in such groupings shall be determined by dividing the linear frontage of street adjacent to the open space by 40.

Massing & Order

In public spaces at Lake Bluff, trees, shrubs, perennials, ornamental grasses, ground covers and vines should be massed to define outdoor spaces, reinforce the primary entry and enhance the architectural design, the street and the neighborhood. Massing of plants into cohesive groups is highly recommended to provide strong images of texture, color and contrast throughout the community. In private residential spaces and courtyards, the planting design may be more diverse



and varied in response to the scale and intimacy of the space. Generally speaking, larger outdoor spaces should use massing of plant species to create drifts of form, color and texture, while smaller spaces should utilize more detailed planting design, in response to the scale of the space.

Seasonal Landscape

Public space planting zones should be designed to provide seasonal color and interest throughout the year. In making proper plant selections, ensure that plant groupings have the maximum amount of bloom coverage throughout each season. Refer to the included plant list for blooming / seasonal interest information. Use evergreen plant material as accents to punctuate entrances, screen utilities and provide year color and interest.



landscape standards

Soils

Along with proper plant selection and watering schedule, soil preparation is essential for success of newly installed landscapes. Planting beds must be treated and prepared before installation of landscape and irrigation system. Generally speaking, proper soil preparation includes the following:

- Test existing soil in landscape area for mineral and organic matter content to determine proper soil amendments based on results of soil test.
- Till existing soil in landscape area to approximately 6" (inch) depth to aerate soil compacted during construction.
- Apply soil amendments evenly over landscape area to a depth of 2"-3" (inches) of compost, fertilizer or appropriate organic material. Till soil amendments into the existing soil to a depth of 3"-5" (inches).
- Modify non-percolating tree pits in order to provide adequate drainage.

Site specific soil preparation specifications will be provided on individual landscape plans that respond to the conditions of the site.



Mulching

Mulching is required to assist with moisture retention in planting beds. Mulching also helps to establish healthy root systems in newly planted landscapes, reduce weeds, and protect plants for maintenance damage.



Due to the organic composition and water retention capabilities, fibrous wood mulch is the preferred mulching material for planting beds. However, it is recognized that various site conditions such as drainage and wind, not to mention aesthetic reasons, may preclude the use of wood mulch in all areas. As such, some

landscape areas may be better suited to alternative mulching applications such as natural colored rock mulch, river cobble mulch, and recycled rubber mulch. Use of these materials should be considered only in areas not well suited for fibrous wood mulch, since they are less hospitable to plant growth.

A continuous edger shall be installed between all planting beds and adjacent turf grass areas. When a lawn is not present, an edger is not required.

Continuous commercial grade weed barrier shall be installed in planting beds at the time of planting, where appropriate.

Canopy, ornamental and evergreen trees shall have a mulch ring installed at the base of the tree at the time of planting. This mulch ring shall have a minimum radius of 2 feet as measured from the center of the tree trunk, and it should be of organic material to a minimum depth of 3 inches.

Irrigation

All properties at Lake Bluff shall be equipped with an automatic irrigation system. On residential properties this irrigation system shall be builder installed in conjunction with the front yard landscaping. The system shall include an automatic irrigation controller and shall be expandable to include any side and rear lot landscaping added by the homeowner.

All trees, shrub and perennial beds and ground cover areas shall be irrigated with a drip or sub-surface drip irrigation system. Lawn areas shall be irrigated with a pop up spray system, but should be minimized as much as is practicable.

Use of rain / moisture sensors with automatic control systems shall be utilized for the irrigation of all public spaces.

If it is determined that a non-potable irrigation system is a feasible option for inclusion within the Lake Bluff community, such integration shall be used.

Materials required by local codes shall be utilized for installation of all potable and non-potable water meter and vault, tap and associated piping.



Property Definition

a) Hedges - Hedges are optional for use in defining property at Lake Bluff. When used, they must be continuous along the front and side property lines along a street. In portions of the property in front of the architectural plane of the house closest to the street, the maximum allowable height of any hedge is 36" (inches). Along side and rear property lines (behind the front plane of the house), the maximum allowable height of any hedge is 60" (inches).



b) Walls – Walls may be used to create privacy and extend architectural character elements into the landscape. The use of walls are optional at Lake Bluff, but may be utilized to create courtyard spaces both in association with commercial and residential applications. Also, they may be used define property ownership under certain conditions

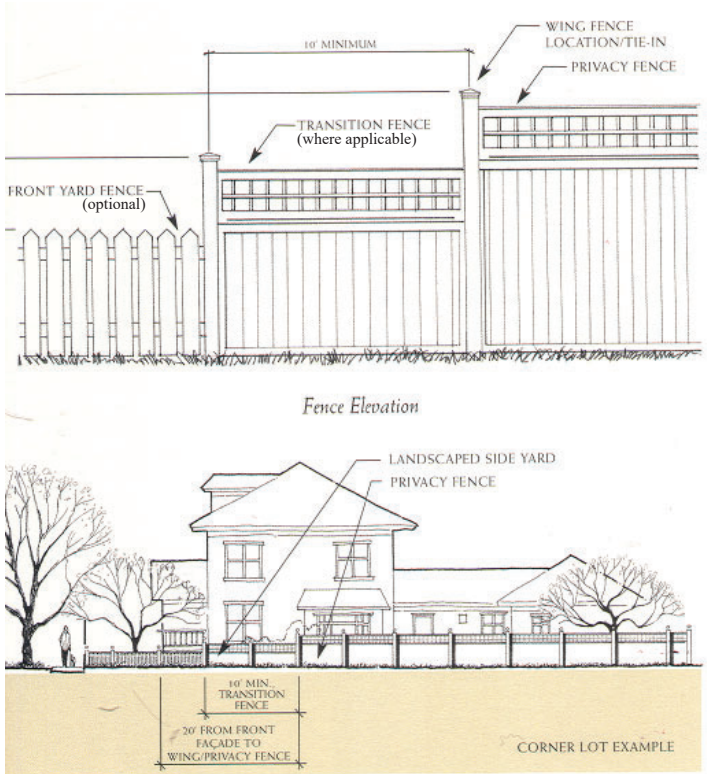
In residential applications on portions of the property in front of the architectural plane of the house closest to the street, the maximum allowable height of any wall is 36" (inches). Decorative metal fencing may be added to the top of the low wall to define the public and semi-public realm, but the combined height of the wall and fencing shall not exceed 36" (inches) in height. Along side property lines (adjacent to the principal structure of the house), the maximum allowable height of any wall is 54" (inches). Along the side and rear

property lines (behind the rear façade of the principal structure), the maximum allowable height of any wall is 72" (inches).

All proposed wall designs must use stone, masonry, or appropriate principal building materials and are subject to review and approval by the Design Review Committee.

c) Fencing – Fencing further defines private space around residential structures, and should be designed to coordinate with the architectural style, color, and materials of the house as much as possible.

Ensure that the design and installation of front, side, and rear yard fencing, as well as low walls and hedges does not interfere with intersection site distance triangles or AASHTO's stopping site distance requirements.



No plant material with mature growth greater than three (3) feet in height shall be planted within potable water, sanitary sewer, or non-potable irrigation easements. [Volume III, Section 2.05(A)]

No shrubs shall be planted within five (5) feet or trees within ten (10) feet of potable and non-potable water meters, fire hydrants, sanitary sewer manholes, or potable water, sanitary sewer, and non-potable irrigation mains and services. [Volume III, Section 2.05(B)]

Automatic irrigation system shall be equipped with an automatic rain detection device. [Chapter 18.44.100.3.b]

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landscape standards

Fencing Location & Specifications:

- Wing Fencing – at least 3’ back from the front building façade; or at an appropriate architectural feature perpendicular to the house.
- Wing Fencing on Corner Lot – at least 5’ back from the front building façade; or at an appropriate architectural feature perpendicular to the house.
- Rear Yard – on property line or within 4’ of property line.
- Side Yard – on property line or where appropriately located in conjunction with zero lot line product and associated shared use easements.
- Maximum Height
 - Front yard fence = 36” maximum
 - Wing & Transition fence = 54” maximum
 - Rear and side yard fence = 72” maximum
- Material – Wood, Vinyl, Masonry or Iron
- Finish – semi-transparent or solid color stain, latex acrylic stain, or suitable outdoor paint.
- Privacy fencing must incorporate a gate to access the rear yard on front loaded lots, and an additional gate to access the alley on alley loaded lots.
- Incorporation of an articulation change in the top 12” – 18” of a fence facing a public street or alley is encouraged.
- On sloping sites, fencing shall be level along the top of the fence with adjustment for grades being made either along the bottom rail, or by stepping fence sections.
- Open rail fencing shall be utilized adjacent to all open space and parks.
- A 10’ min. fence transition shall be provided between rear yard fencing and front yard fencing where applicable.

Bike Racks:



Bike racks should be located through out the community especially at gathering locations such as parks, schools and commercial areas.

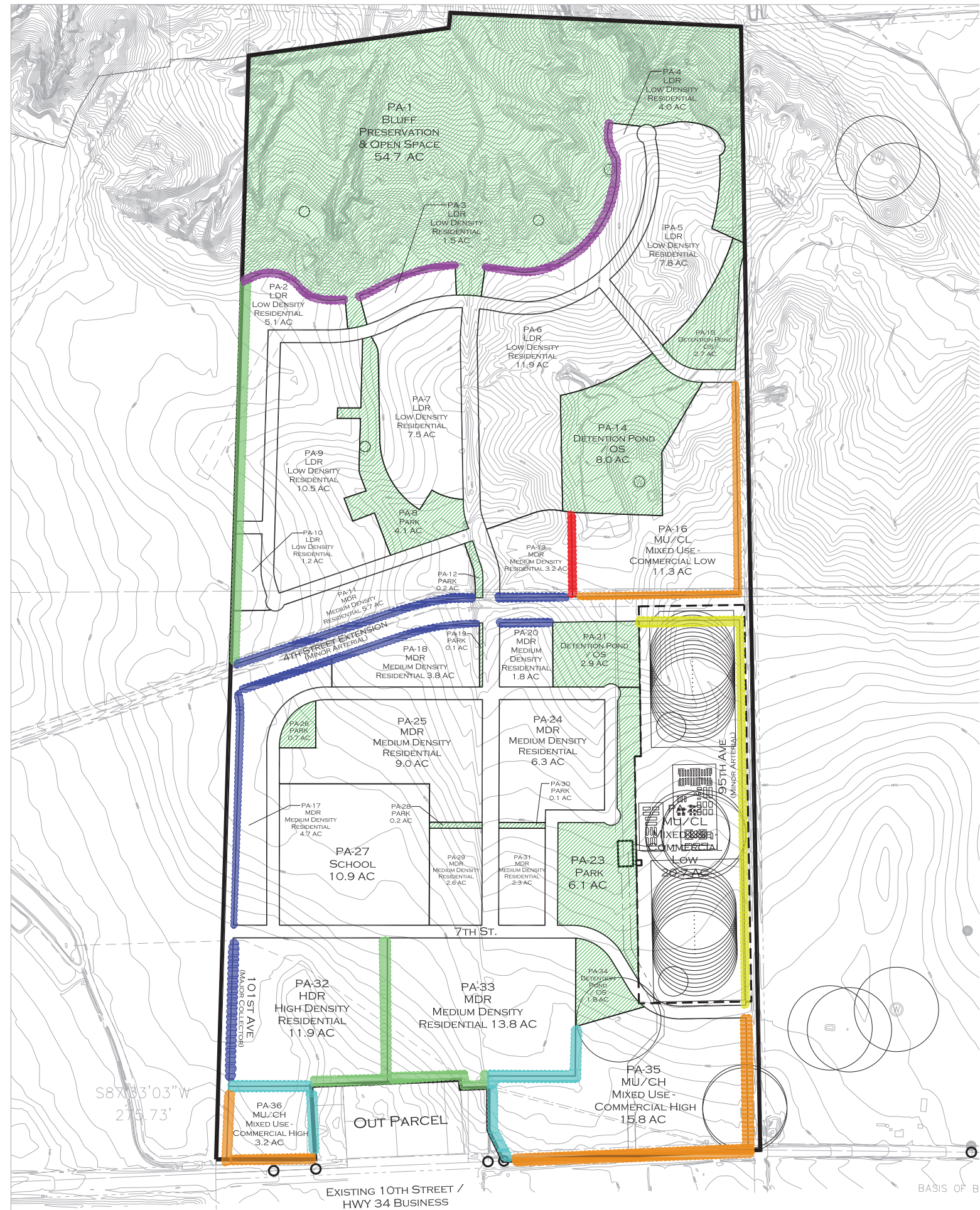
Bike racks will be required at prograded activity areas located in parks. Quantities and location of bike racks to be determined with the City of Greeley Parks Department.

The location and quantity of bike racks at school locations will be coordinated with the Windsor School District.

Commercial buildings under 50,000sq ft. shall have 1 bike parking space per 5,000 sq. ft. GFA. Commercial buildings 50,000sq ft. or grater hall have 1 bike parking space per 7,000 sq ft. GFA. Minimum requirement is 2 spaces.

Development Commitments Matrix					
Area / Improvement	Plan Preparation and Approval	Construction Timing	Construction Responsibility	Maintenance Responsibility	Ownership
Bluff Preservation Open Space	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	T.B.D	T.B.D	City of Greeley	City of Greeley
Regional Trail in Bluff Preservation Area (8' Soft Surface)	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Regional Trail should be constructed when 50% of the lots in PA-3 & PA-4 have building permits in place.	T.B.D	City of Greeley	City of Greeley
City Park PA-23	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Neighborhood Park in PA-23 should be constructed when 50% of the lots in PA-24 & PA-31 have building permits in place.	T.B.D	City of Greeley	City of Greeley
City Park PA-8	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Neighborhood Park in PA-8 should be constructed when 50% of the lots in PA-7 & PA-9 have building permits in place.	T.B.D	City of Greeley	City of Greeley
Pocket Parks	Final landscape plans will be completed in conjunction with the final plan as required for each specific portion of Lake Bluff being developed at that time.	Pocket parks will be constructed when 50% of the building permits are in place within the PA parcel where the respective pocket park exists.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.
Internal Community Trails	Final landscape plans will be completed in conjunction with the final plan as required for each specific portion of Lake Bluff being developed at that time.	Internal community trails will be constructed concurrent with the parks and adjacent infrastructure to them.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.
10th Street Road and Signal Improvements	Final roadway plans will be prepared per CDOT standards for the 10th St. ROW.	Work to be completed per the triggers specified in the Traffic Impact Study and/or as identified by CDOT.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Roadways	Final roadway plans will be prepared per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Roadways shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Utilities	Utilities will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Utilities shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Storm Sewer Facilities	Storm Sewer will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Storm Sewer shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Storm Sewer Facilities (Ponds)	Ponds will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Ponds shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.





- BUFFER 'A'
PER CHAPTER 18.44
- BUFFER 'B'
PER CHAPTER 18.44
- BUFFER 'D'
PER CHAPTER 18.44
- BUFFER 'BLUFFS'
PER PUD
- BUFFER BY OTHERS
- PERIMETER
TREATMENT COMMERCIAL
PER CHAPTER 18.44
- PERIMETER
TREATMENT 'RESIDENTIAL'
PER CHAPTER 18.44
- PARK & OPEN SPACE

preliminary landscape plan
scale: nts



Note: Specific buffer and perimeter planting requirements shall adhere to the City of Greeley Development Code, as amended.

SYM	DESCRIPTION
---	TRAIL CIRCULATION (6' TYP)
---	TRAIL CIRCULATION (8' TYP, SOFT SURFACE)
---	PEDESTRIAN SIDEWALK CIRCULATION (SEE STREET SECTIONS)
---	10' SIDE PATH

Possible off site
trail connection



pedestrian circulation system

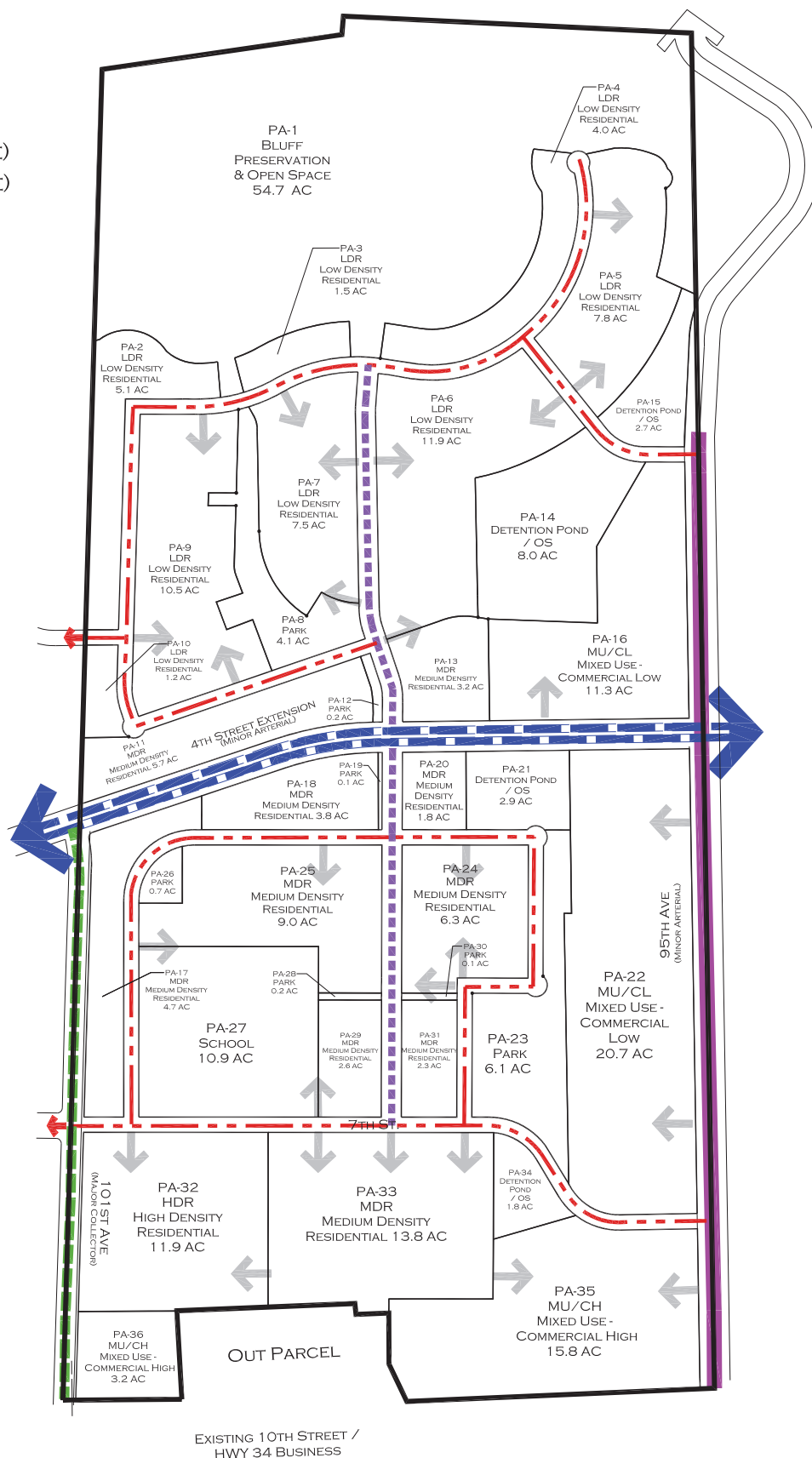
Planning for a successful vehicular and pedestrian circulation system is a fundamental component of the design of Lake Bluff. The creation of active, pedestrian friendly streets is instrumental in the success of this project. The circulation system is made up of an interconnected network of streets and walks that create multiple routes for cars, bikes, and pedestrians to move throughout the community. Sidewalks, walkways, and trails are the most basic element of pedestrian friendly environments, and we have worked to ensure a connectedness between all of these elements at Lake Bluff. The proposed street sections accommodate generous sidewalks and bike lane connections at many levels. The open space system and planned trail corridors add a further layer of pedestrian connectivity to the community. At Lake Bluff we realize that vehicular travel will play an important role in our resident’s lives, but we are also striving to provide a pleasant and safe environment for alternative modes of travel that are supportive of the mix of uses present within the community. Trails will be dedicated per the Commitment Matrix.

street and circulation system

The street and vehicular circulation system at Lake Bluff will be a modified grid system. In this regard, it will provide the benefits associated with a grid system while responding to the natural topography of the site.

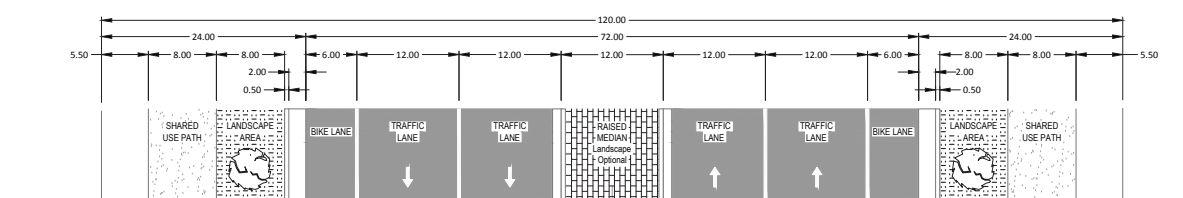
Also, there will be a definitive hierarchy present within the street system. Per the North Front Range Metropolitan Planning Organization's long range traffic and planning study, Lake Bluff will contain an east-west minor arterial in the form of the 4th Street extension from 10th Street; as well as a north-south minor arterial in 95th Avenue. The project will also include an anticipated collector roadway in 101st Ave, which will connect to the eastern most Promontory entrance. In this regard, the network of local streets utilized throughout the Lake Bluff community will have multiple points of connection and outstanding access to the greater Greeley and Weld County area.

Connection of 7th Street east to 95th Ave may require abandonment of existing oil & gas facilities, and as such, may occur well into the future.

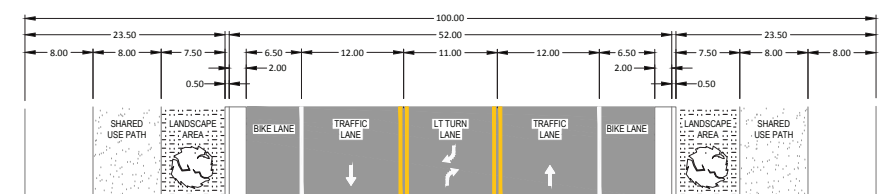


Max cross slopes for roads to be 2%

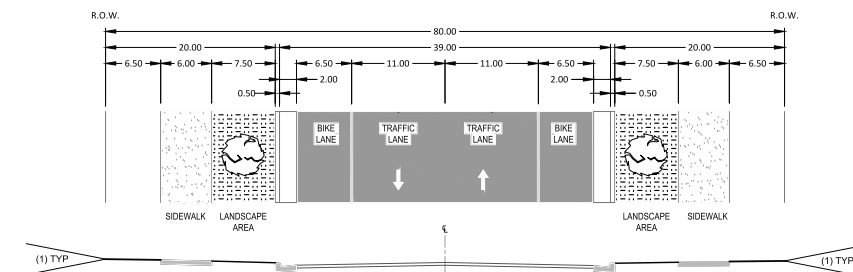
Road centerline slopes: Min = 0.7%, Max = 7%



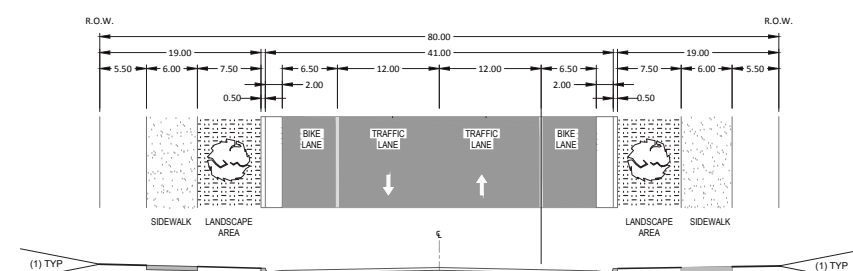
Minor Arterial 4-Lane with Raised Median
R.O.W. IMPROVEMENT



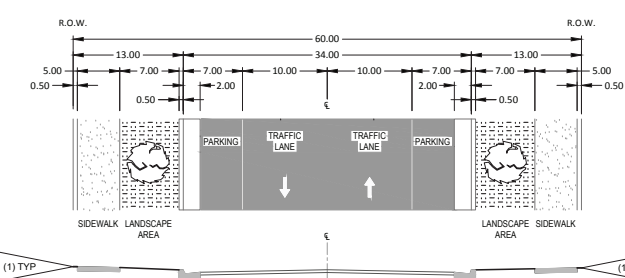
Minor Arterial 2-Lane with Continuous Left Turn
R.O.W. IMPROVEMENT



Major Collector 2-Lane Without Parking
R.O.W. IMPROVEMENT



Minor Collector 2-Lane Without Parking
R.O.W. IMPROVEMENT



Local Residential - Up to 1,500 Vehicles Per Day
R.O.W. IMPROVEMENT

NOTES:

1. ADDITIONAL RIGHT-OF-WAY NEEDED IF MEDIAN WIDTH IS INCREASED.
2. MEDIAN SHALL HAVE A BREAK EVERY 500 FEET FOR VEHICULAR TRAFFIC.
3. CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 4:1.
4. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
5. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.
6. ADDITIONAL RIGHT-OF-WAY WILL BE NEEDED FOR RIGHT TURN LANES WHERE WARRANTED.

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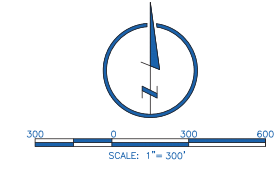
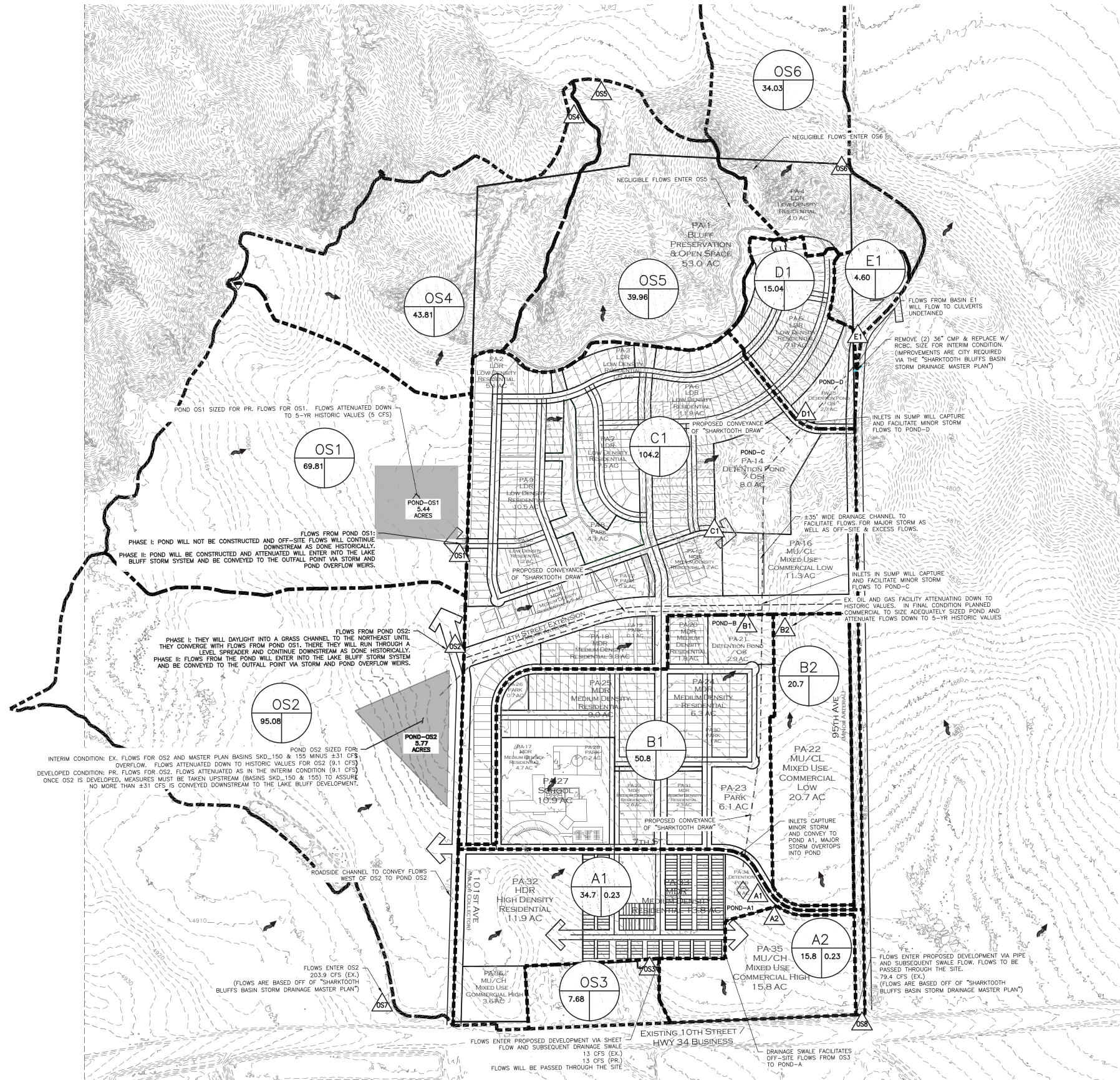
NOTES:

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2. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
3. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.
4. VERTICAL FACE CURB AND GUTTER IS REQUIRED ON ALL NEW LOCAL STREETS IN NEW SUBDIVISIONS.

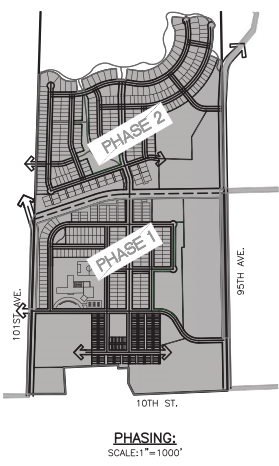
access and circulation

sheet 20

January 9, 20

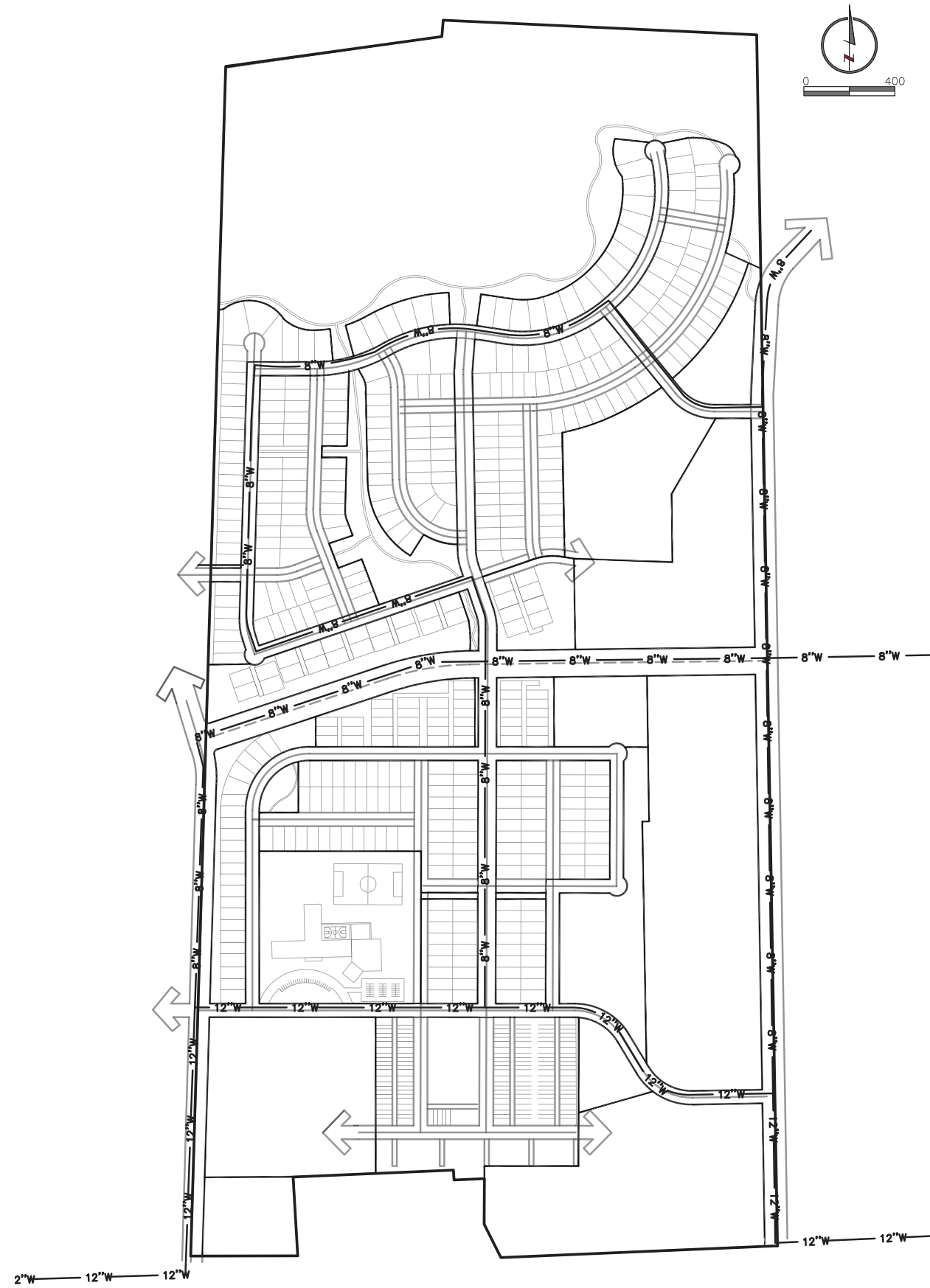


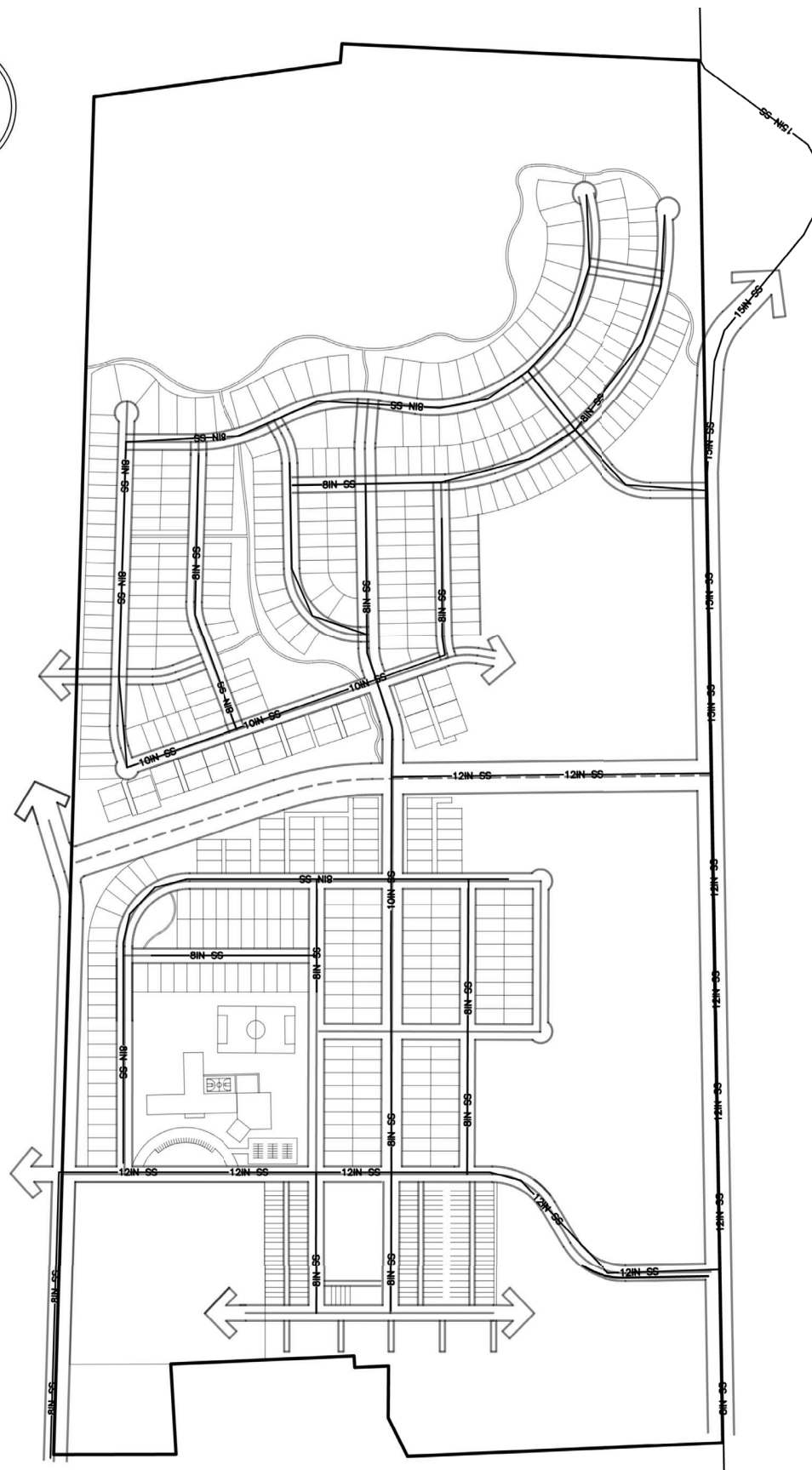
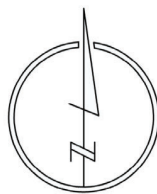
- DRAINAGE LEGEND:**
- DRAINAGE SUBBASIN BOUNDARY
 - PR CONVEYANCE OF "SHARKTOOTH DRAW" FLOW UTILIZES DESIGNED STORMWATER CONVEYANCES INCLUDING STORM PIPE, STREET FLOW, CHANNELS AND DETENTION PONDS.
 - △ B4 DRAINAGE BASIN DESIGN POINT
 - B4 DRAINAGE SUBBASIN NAME DRAINAGE BASIN AREA
 - CHANNEL FLOW ARROW
 - OVERLAND FLOW ARROW
 - PROPOSED CONTOUR
 - EXISTING CONTOUR





Lake Bluff

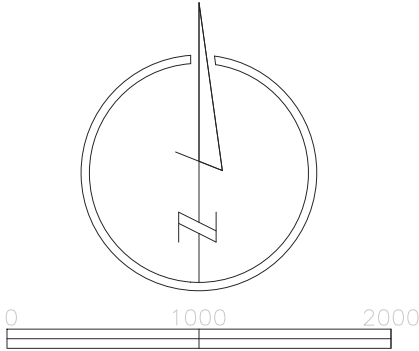
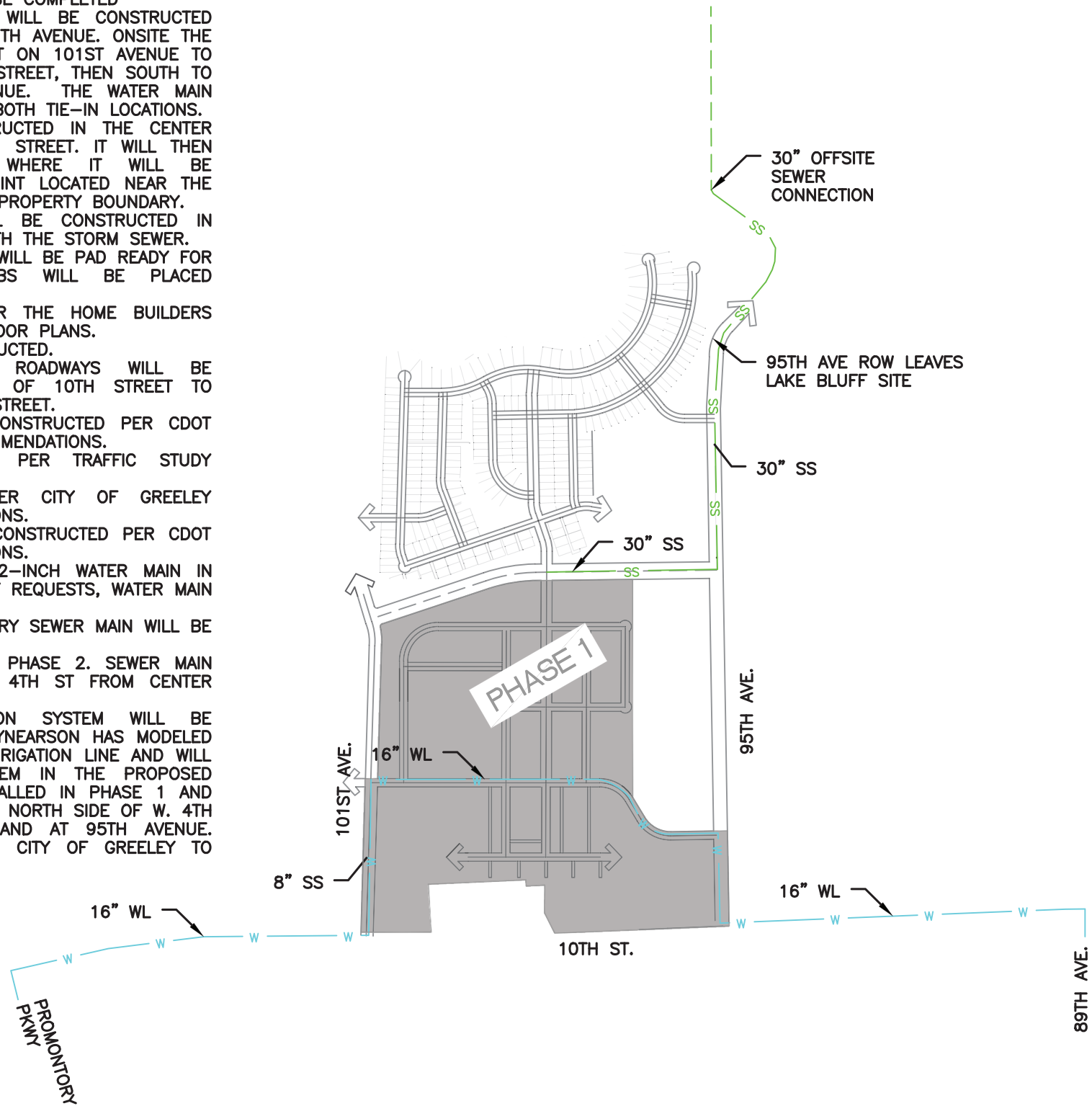




Lake Bluff

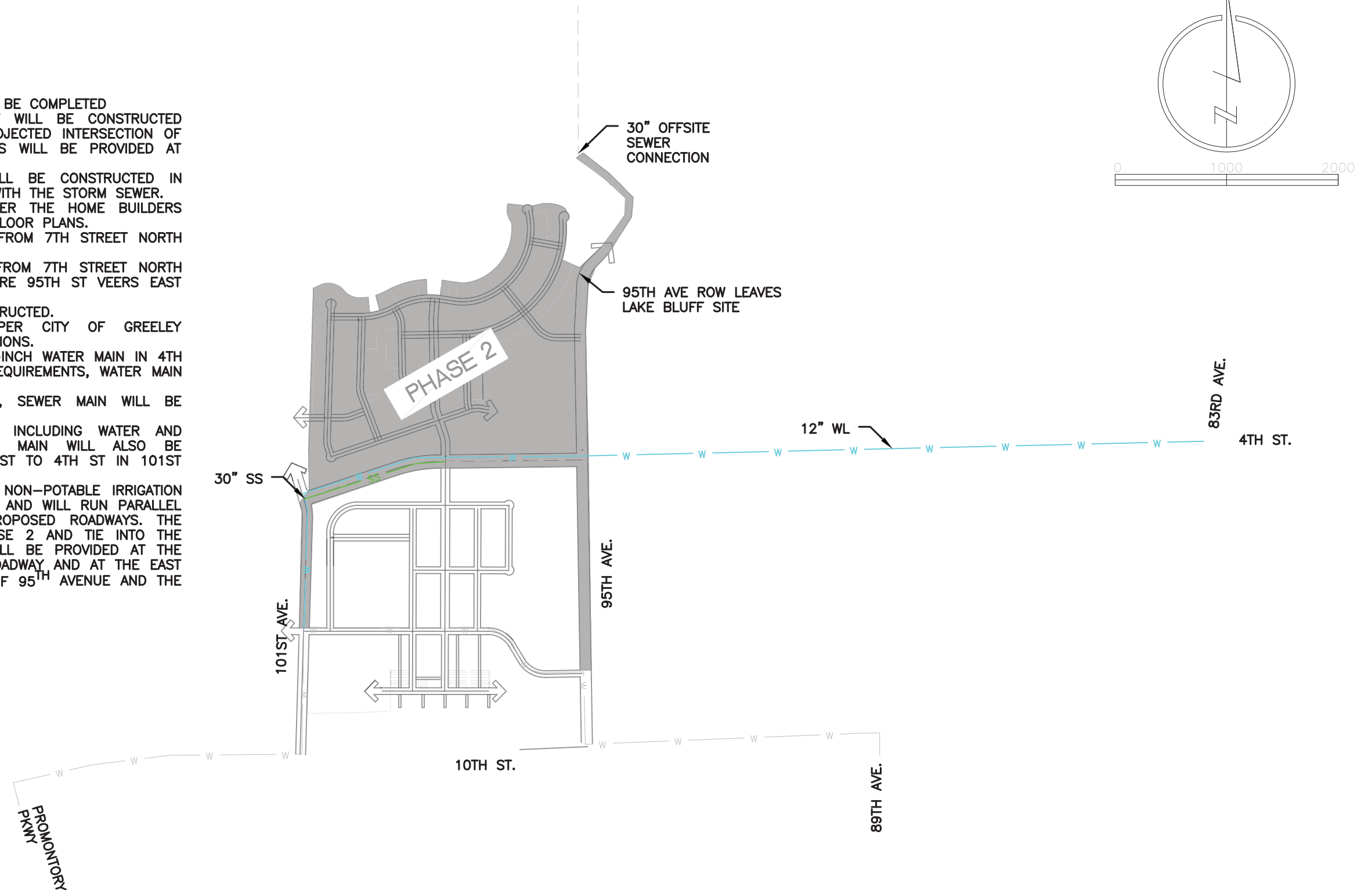
PHASE 1 EXPLANATION OF DESIGN WORK TO BE COMPLETED

1. 16-INCH WATER MAIN IN 10TH STREET WILL BE CONSTRUCTED FROM PROMONTORY PARKWAY EAST TO 89TH AVENUE. ONSITE THE MAIN WILL GO NORTH FROM 10TH STREET ON 101ST AVENUE TO 7TH STREET, ALONG 7TH EAST TO 95TH STREET, THEN SOUTH TO 10TH STREET THEN EAST TO 89TH AVENUE. THE WATER MAIN WILL BE BORED UNDER 10TH STREET AT BOTH TIE-IN LOCATIONS.
2. SANITARY SEWER MAIN WILL BE CONSTRUCTED IN THE CENTER ROAD FROM 7TH STREET NORTH TO 4TH STREET. IT WILL THEN CONNECT OVER TO 95TH AVENUE WHERE IT WILL BE CONSTRUCTED NORTH TO THE TIE-IN POINT LOCATED NEAR THE NORTHEAST CORNER OF THE LAKE BLUFF PROPERTY BOUNDARY.
3. ALL UTILITY MAINS AND SERVICES WILL BE CONSTRUCTED IN PHASE 1 AND ANY PONDS ASSOCIATED WITH THE STORM SEWER.
4. COMMERCIAL SITES WILL BE GRADED AND WILL BE PAD READY FOR FUTURE LAND OWNERS. UTILITY STUBS WILL BE PLACED APPROXIMATELY 5- FEET INTO THE LOTS.
5. RESIDENTIAL LOTS WILL BE GRADED PER THE HOME BUILDERS REQUEST TO ACCOMMODATE PROPOSED FLOOR PLANS.
6. ALL INTERNAL ROADWAYS WILL BE CONSTRUCTED.
7. 101ST AVENUE AND 95TH AVENUE ROADWAYS WILL BE CONSTRUCTED FROM THE INTERSECTION OF 10TH STREET TO APPROXIMATELY 10 FEET NORTH OF 7TH STREET.
8. INTERSECTIONS ON 10TH ST WILL BE CONSTRUCTED PER CDOT REQUIREMENTS AND TRAFFIC STUDY RECOMMENDATIONS.
9. TRAFFIC SIGNALS WILL BE INSTALLED PER TRAFFIC STUDY RECOMMENDATIONS.
10. ALL WORK TO BE CONSTRUCTED PER CITY OF GREELEY ENGINEERING STANDARDS AND SPECIFICATIONS.
11. WORK IN ROW ON 10TH ST WILL BE CONSTRUCTED PER CDOT ENGINEERING STANDARDS AND SPECIFICATIONS.
12. CALCULATIONS FOR SITE DETERMINED 12-INCH WATER MAIN IN 10TH ST REQUIRED. PER CITY OF GREELEY REQUESTS, WATER MAIN WILL BE UPSIZED TO 16-INCH LINE.
13. PER CITY OF GREELEY REQUESTS, SANITARY SEWER MAIN WILL BE UPSIZED TO 30-INCH LINE.
14. 4TH STREET WILL BE CONSTRUCTED IN PHASE 2. SEWER MAIN WILL BE CONSTRUCTED IN PHASE 1 IN 4TH ST FROM CENTER ROAD TO 95TH AVE.
15. A SEPARATE NON-POTABLE IRRIGATION SYSTEM WILL BE DESIGNED FOR THE ENTIRE SITE. LAMP RYNEARSON HAS MODELED THE LINE TO BE A PROPOSED 8-INCH IRRIGATION LINE AND WILL RUN PARALLEL TO THE POTABLE SYSTEM IN THE PROPOSED ROADWAYS. THE IRRIGATION WILL BE INSTALLED IN PHASE 1 AND THE STUB-OUTS WILL BE PLACED ON THE NORTH SIDE OF W. 4TH STREET AT THE CENTER LOCAL ROAD AND AT 95TH AVENUE. COORDINATION WILL BE DONE WITH THE CITY OF GREELEY TO ENSURE PROPER CRITERIA IS MET.



1.12-INCH WATER MAIN IN 4TH STREET WILL BE CONSTRUCTED FROM 101ST AVENUE EAST TO THE PROJECTED INTERSECTION OF 83RD AVENUE AND 4TH STREET. STUBS WILL BE PROVIDED AT BOTH ENDS FOR FUTURE EXTENSIONS.

1. 12-INCH WATER MAIN IN 4TH STREET WILL BE CONSTRUCTED FROM 101ST AVENUE EAST TO THE PROJECTED INTERSECTION OF 83RD AVENUE AND 4TH STREET. STUBS WILL BE PROVIDED AT BOTH ENDS FOR FUTURE EXTENSIONS.
2. ALL UTILITY MAINS AND SERVICES WILL BE CONSTRUCTED IN PHASE 2 AND ANY PONDS ASSOCIATED WITH THE STORM SEWER.
3. RESIDENTIAL LOTS WILL BE GRADED PER THE HOME BUILDERS REQUEST TO ACCOMMODATE PROPOSED FLOOR PLANS.
4. 101ST AVENUE WILL BE CONSTRUCTED FROM 7TH STREET NORTH TO 4TH STREET
5. 95TH AVENUE WILL BE CONSTRUCTED FROM 7TH STREET NORTH TO THE NE CORNER OF THE SITE WHERE 95TH ST VEERS EAST FROM SITE.
6. ALL INTERNAL ROADWAYS WILL BE CONSTRUCTED.
7. ALL WORK TO BE CONSTRUCTED PER CITY OF GREELEY ENGINEERING STANDARDS AND SPECIFICATIONS.
8. CALCULATIONS FOR SITE DETERMINED 8-INCH WATER MAIN IN 4TH ST REQUIRED. PER CITY OF GREELEY REQUIREMENTS, WATER MAIN WILL BE UPSIZED TO 12-INCH LINE.
9. PER CITY OF GREELEY REQUIREMENTS, SEWER MAIN WILL BE UPSIZED TO 30-INCH LINE.
10. 4TH STREET WILL BE CONSTRUCTED INCLUDING WATER AND SEWER MAINS IN PHASE 2. WATER MAIN WILL ALSO BE CONSTRUCTED IN PHASE 2 FROM 7TH ST TO 4TH ST IN 101ST AVE.
11. LAMP RYNARSON HAS MODELED THE NON-POTABLE IRRIGATION LINE TO BE A PROPOSED 8-INCH LINE, AND WILL RUN PARALLEL TO THE POTABLE SYSTEM IN THE PROPOSED ROADWAYS. THE IRRIGATION WILL BE INSTALLED IN PHASE 2 AND TIE INTO THE STUBS FROM PHASE 1. STUB-OUTS WILL BE PROVIDED AT THE WEST PROPERTY LINE IN THE LOCAL ROADWAY AND AT THE EAST PROPERTY LINE AT THE INTERSECTION OF 95TH AVENUE AND THE PROPOSED LOCAL ROAD.





DATE: January 11, 2022
TO: Planning Commission
FROM: Mike Garrott, Planning Manager
RE: Election of Officers

Each January, the Planning Commission must nominate and elect a Chair to preside over meetings of the Planning Commission, Zoning Board of Appeals and Air Quality and Natural Resources Commission for the upcoming year. The Commission must also nominate and elect a Vice Chair to preside during the Chair's absence. Separate motions are required for each.



DATE: January 11, 2022
TO: Planning Commission
FROM: Mike Garrott, Planning Manager
RE: Roles and Responsibilities of Planning Commission

Historically, members of the Planning Commission also serve as members of the Zoning Board of Appeals (ZBA) and the Air Quality and Natural Resources Commission (AQC). The ZBA and AQC meet on an as needed basis. The ZBA hears items regarding variances to requirements set forth in the Development Code. The AQC hears items regarding odor-related complaints.

Recommended Motion:

Motion that members of the Planning Commission also serve as members of the Zoning Board of Appeals and the Air Quality and Natural Resources Commission.



DATE: January 11, 2022
TO: Planning Commission
FROM: Mike Garrott, Planning Manager
RE: Designation of location for posting notices

Per State Statute, C.R.S. 24-6-402(2)(c)(I) and C.R.S. 24-60402(2)(c)(III), the Planning Commission, Zoning Board of Appeals, and Air Quality and Natural Resources Commission ("Commission") should designate a site for posting notices of meetings at the first meeting of the year. The Commission should also designate a back-up location for posting notices in the event of power/internet outage.

Recommended Motion:

Motion to designate the City of Greeley meeting portal, greeley-co.municodemeetings.com, as the official posting site for meeting notices of the Planning Commission, Zoning Board of Appeals, and Air Quality and Natural Resources Commission, and the public lobby of City Center South, 1100 10th Street, Greeley, Colorado, as the back-up location for such postings.