



GRASS VALLEY

Development Review Committee Meeting

Tuesday, June 14, 2022 at 9:00 AM

Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California

Telephone: (530) 274-4310 - Fax: (530) 274-4399

E-Mail: info@cityofgrassvalley.com

Web Site: www.cityofgrassvalley.com

AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

MEETING NOTICE

Development Review Committee welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 9:00 a.m. on the 2nd and 4th Tuesday of each month. Your interest is encouraged and appreciated.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 9 am. Comments received after that will be addressed during the item and/or at the end of the meeting. The committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Committee after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

VIRTUAL LINK TO THE MEETING

Join from a

device: <https://us06web.zoom.us/j/87497967624?pwd=bEs4RFR0UmttYkl4VEpGakRVSFhSZz09>

Meeting ID: 874 9796 7624

Passcode: DRCmtg22!

One tap mobile: +12532158782,,87497967624#,,, *147588979# US
(Tacoma) +13462487799,,87497967624#,,, *147588979# US (Houston)

Dial by your location: +1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston) +1 720 707 2699 US (Denver) +1 301 715 8592 US (Washington DC) +1 312 626 6799 US (Chicago) +1 646 558 8656 US (New York)

Meeting ID: 874 9796 7624

Passcode: 147588979

Find your local number: <https://us06web.zoom.us/j/87497967624>

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS, AGENDA REVIEW AND CHANGES

PUBLIC COMMENT - *Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. There is a time limitation of three minutes per person. For items not on the agenda and within the jurisdiction or interest of the City, please address the Development Review Committee at this time. For items on the agenda please address the Development Review Committee when the number and subject matter are announced. Comments will be reviewed and distributed before the meeting if received by 9AM. Comments received after that will be addressed during the item and/or at the end of the meeting. The Development Review Committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.*

GENERAL APPLICATION FOR REVIEW

- 1.** Development Review Permit (22PLN-12) for the development of a ±0.33-acre parcel consisting of ±1,149 square foot Tri-plex units with a ±1,000 square foot Accessory Dwelling Unit in the Medium Density Residential (R-2A) Zone. The project is located East of 321 Dorsey Drive (Dorsey Drive Senior Apartments (APN: 009-660-025). Environmental Determination: Categorical Exemption.

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a meeting of a Development Review Committee Meeting, scheduled for Tuesday, June 14, 2022 at 9:00 AM was posted at city hall, easily accessible to the public, as of 5:00 p.m. Friday, June 10, 2022.

Taylor Day, Deputy City Clerk



**DEVELOPMENT REVIEW
COMMITTEE
STAFF REPORT
June 14, 2022**

Prepared by: Lance E. Lowe, AICP, Principal Planner
Reviewed by: Thomas Last, Community Development Director

DATA SUMMARY:

Application Number: 22PLN-12
Subject: Development Review Permit for the development of a ± 0.33 -acre parcel consisting of $\pm 1,149$ square foot Tri-plex units with a $\pm 1,000$ square foot attached Accessory Dwelling Unit.
Location/APN: East of 321 Dorsey Drive (Dorsey Drive Senior Apartments)/009-660-025
Applicant/Owner: Robert & Elesa St. Germain
Zoning/General Plan: Medium Density Residential (R-2A) Zone/Medium Density Residential
Entitlement: Development Review Permit
Environmental Status: Categorical Exemption

RECOMMENDATION:

The Development Review Committee approve the Dorsey Drive Townhomes project as presented, or as modified by the Development Review Committee, which includes the following actions:

1. Determine the project Categorically Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines;
2. Adoption of Findings of Fact for approval of the Dorsey Drive Townhomes project as presented in the Staff Report; and,
3. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report.

BACKGROUND:

The project site was formally owned and used as a park for the Dorsey Drive Senior Apartments, which adjoins the property to the west. Remnants of a drinking fountain and park benches still exist on the property. The property has a four-foot-tall chain link fence around the perimeter; however, the fencing does not align with the property boundaries.

The property was purchased by the applicant in 2021 from the Dorsey Drive Senior Apartments management company.

PROJECT DESCRIPTION:

The applicant is requesting a Development Review Permit for the development of a ±0.33-acre parcel consisting of ±1,149 square foot Tri-plex units with a ±1,000 square foot attached Accessory Dwelling Unit and related site improvements in the Medium Density Residential (R-2A) Zone.

The Dorsey Drive Townhome project plans include the following details:

Site Plan – The multiple family building is located at the northwest corner of the property ±11 feet from the westerly property line adjoining the Dorsey Drive Senior Apartments parking lot. The building is setback ±15 feet from the front property line along Dorsey Drive and ±20 feet from the rear property line adjoining Grass Valley Self Storage.

Access, Parking & Circulation – Access to the site is via a 20-foot-wide driveway at the east end of the property from Dorsey Drive. The sole driveway provides access to each of the four-two car garages. Backing distances for each of the garages is 24 feet.

One nine foot by eighteen-foot guest parking space is located immediately south of the units.

Grading and Retaining Walls – An existing ±7 foot retaining wall is situated along the south property line. New retaining walls of ±4 to ±7 feet are proposed along the west and south property lines respectively. Two foot retaining walls are proposed on the east side of the property. No retaining wall construction details are provided.

Landscaping – A preliminary landscaping plan has been submitted with the project plans. The landscaping consists of a combination of trees, shrubs and ground cover including White Dogwood, Japanese Maple, Butterfly Bush, Creeping Manzanita, Red Autumn Sage, Feather Reed Grass, Wall Germander, and Berkely Sedge. Total landscaped area represents ±5,000 square feet or 34% of the ±0.33-acre site.

Architectural Design – Architectural plans and detailing includes the following design components:

- Hardi-plank horizontal siding “Ironwood”
- 1x4 trim “Malibu Beige”
- Front door with transom window “Winter Solstice”
- 3°6° windows on front elevation
- 3°6° and 4°6° windows on rear elevation
- 6/12 gable roof with Dutch hip ends and Dutch hip over garages

Lighting – Lighting consists of a combination of front and rear patio and soffit lighting. A photometric plan has not been submitted with the development review application.

Fencing – No new fencing is proposed with the project. An existing four-foot chain link fence is located around the perimeter of the property.

Drainage – A preliminary drainage report has been prepared for the project. The proposed improvements include stormwater detention chambers at the north and south ends of the property.

A 50 gallon per minute oil sand separator will be used to minimize sediment and oil from moving off site.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The project site is elevated above the street approximately four to six feet with Scattered Pine and Cedar trees along with a water fountain and park bench remnants. A large retaining wall is located along the rear of the property separating what apparently was a railroad right-of-way. Chain link fencing has been constructed around the perimeter (**Attachment 3 – Site Photographs**).

ENVIRONMENTAL DETERMINATION:

The project qualifies for a Class 32 Categorical Exemption. A Class 32 consists of projects characterized as in-fill development meeting the following conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) the site is adequately served by all required utilities and public services.

GENERAL PLAN AND ZONING:

General Plan: The project area has a land use designation of Urban Medium Density Residential (UMDR) according to the City of Grass Valley 2020 General Plan. The UMDR land use designation requires between 4.01 and 8.0 residential units per gross acre. UMDR is intended to accommodate single family detached and attached homes, single family patio homes, duplexes, and town homes.

The Dorsey Drive Townhome Project at ±0.33-acres and three units ($0.33 \times 8 = 2.64=3$ units) is at a density consistent with the UMDR land use designation. The fourth unit identified as an Accessory Dwelling Unit does not count toward density in accordance with State law.

Multiple 2020 General Plan policies, goals, and objectives support both in-fill development and preservation of existing neighborhoods including, but not limited to:

3-LUO – Reduction in the amount of land necessary to accommodate future growth.

- 3-CG – Provide for the safe and efficient movement of people and goods in a manner that respects existing neighborhoods and the natural environment.
- 3-COSP – Encourage clustering, density averaging, and other techniques in large-scale new developments, as a means of preserving open space and natural systems.
- 4-LUG – Protect and enhance the character of established single-family neighborhoods.
- 5-LUG – Provide for a broad range of housing opportunities, including opportunities for low-, moderate- and middle-income households.
- 8-LUO – Provision of a full range of housing opportunities and types.
- 10-LUO – Preservation of existing neighborhoods.
- 12-LUO – Designation of residential building sites sufficient in number and variety to meet projected demand.
- 12-CDP – Provide a mixture of residential unit designs in all major new residential developments.
- 12-LUP – Permit increases in residential density (clustering) on portions of development areas while maintaining high design standards.
- 13-LUO – Provision of sufficient affordable housing units for those working in Grass Valley.
- 23-LUP – Encourage mixed developments incorporating a variety of densities on infill sites and in areas proposed for annexation.
- 24-LUP – On large parcels, encourage clustering of residential units on the most developable portions of the site in order to reduce infrastructure and other housing-related construction costs.

Zoning: The property is within the Medium Density Residential (R-2A) Zone District. The R-2A Zone implements the Medium Density General Plan land use designation. Per Table 2 – 7 Dwellings – Multi-family, Duplex, Triplex, and Fourplex are permitted uses in the R-2A zone.

ANALYSIS:

Per Table 7 – 2 of the City's Development Code, the Development Review Committee is authorized to approve Duplex or multi-family unit projects with no more than four dwellings, subject to design review in accordance with Section 17.44.160 of the Development Code and Community Design Guidelines.

A brief analysis of the Dorsey Drive Townhome design follows:

Development Code – The City's Development Code Chapter 17.44.160 requires development standards such as building facades adjacent to the street, limited paving in the front yards, off-street parking to be not visible from the street, open space provisions, outdoor lighting, and window orientation.

The site plan and architectural renderings comply with the City's Development Code Standards and Design Guidelines, as conditioned.

Sight Distance – Sight distance for egress does not comply with City standards according to the site distance exhibit provided by the applicant. Condition of Approval B – 12 requires a right in/right out driveway with the construction of a center median to prevent left turning movements onto Dorsey Drive.

Landscaping – Conditions of Approval F1 – 4 requires the final landscaping to comply with the State's Model Water Efficiency Landscape Ordinance.

Parking – The City's Development Code requires two covered spaces for each unit, plus 1 space for each five units for guest parking or a total of 9 parking spaces. The project complies with the minimum parking standards of the City's Development Code.

Retaining Walls – No retaining wall details are provided with the application. Condition of Approval A – 6 requires all exposed portions of retaining walls to be constructed of split face, slump stone or other decorative block. Colors shall be earth tone consistent with the architectural design of the buildings subject to the approval of the Director of Public Works and the Community Development Director.

Architectural Design – The proposed building design contains architectural components similar to buildings in the area, with compatible materials and architectural features. Condition of Approval No. A – 3 requires the garage shall be setback a minimum of 5 feet from the front façade per Table 2 –9 of the City's Development Code. This could be achieved by extending the patio area with a courtyard and/or extending the roofline for the patio area. Further discussion and recommendation by the DRC is warranted to comply with Condition of Approval A – 3.

Fencing – Condition of Approval No. A – 4 requires the chain link fencing to be replaced with six-foot residential wood fencing along the west, south and east property lines. Fencing shall not exceed three (3) feet in height in the front yard. Fencing shall be constructed of cedar or redwood and shall not exceed six (6) feet in height in the side and rear yards. Fencing shall be completed prior to the issuance of a Certificate of Occupancy for the project.

Lighting – Condition of Approval No. A – 5 requires a photometric plan be prepared together with the building plans to show the type of fixture and foot-candle in accordance with City of Grass Valley Standards.

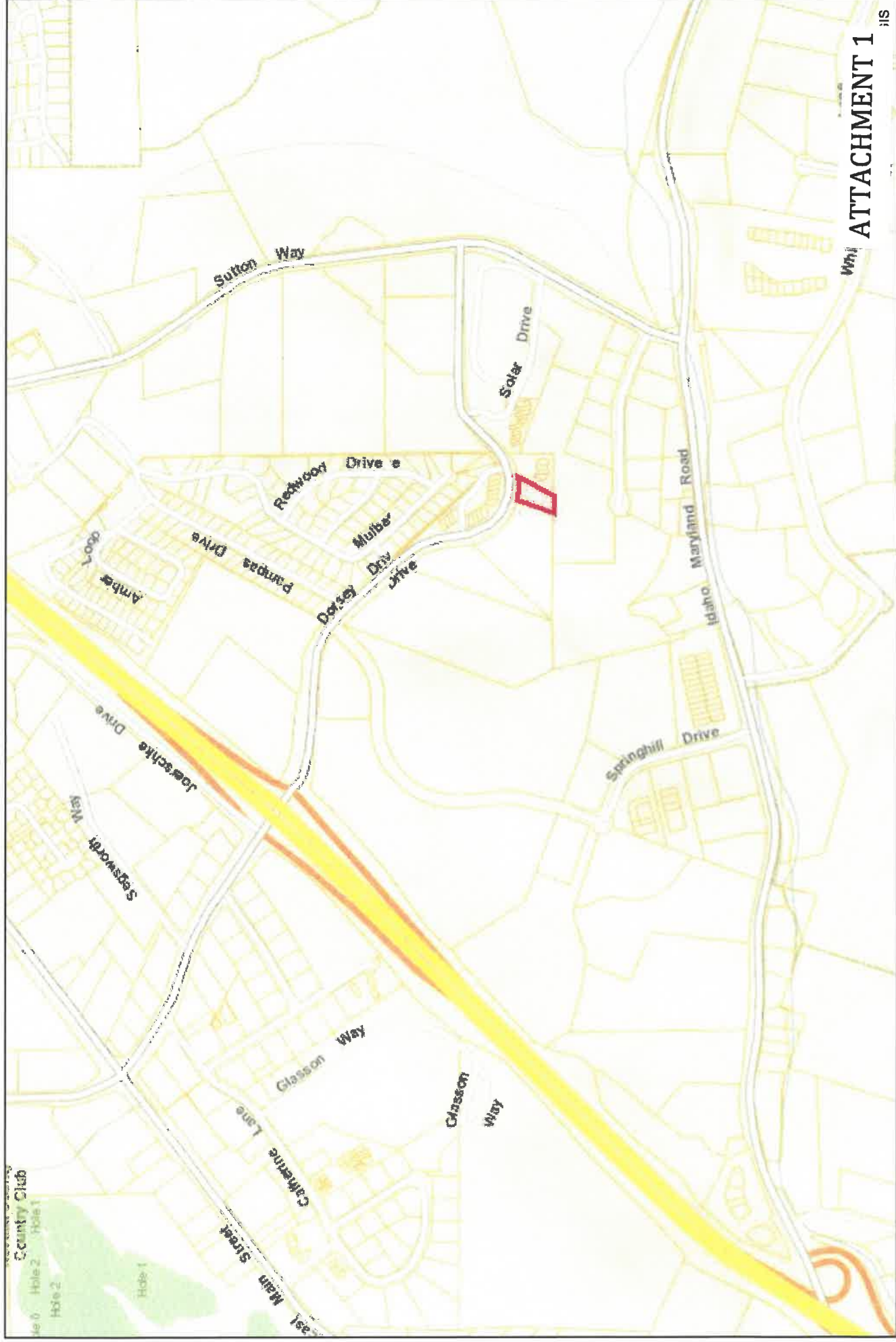
ATTACHMENTS:

- Attachment 1** – Vicinity Map
- Attachment 2** – Aerial Photograph
- Attachment 3** – Site Photographs
- Attachment 4** – Findings and Conditions of Approval
- Attachment 5** – Dorsey Drive Townhome Project Plans

ATTACHMENTS



Dorsey Drive Townhomes

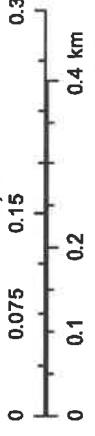


ATTACHMENT 1

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May 31, 2022

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Item # 1.

An aerial photograph showing a property outlined in red. The property is situated in a commercial or industrial area. To the left of the property is a residential neighborhood with several houses and a curved road. To the right of the property are large industrial buildings with long, low roofs. The property itself is mostly covered in trees and shrubs, with some bare ground visible. A parking lot with several cars is located to the left of the property. The overall scene is a mix of residential, commercial, and industrial development.

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ATTACHMENT



**FINDINGS & CONDITIONS OF APPROVAL
DORSEY DRIVE TOWNHOMES DEVELOPMENT REVIEW PERMIT
(22PLN-12)**

FINDINGS:

In accordance with Section 17.81.060 of the Development Code, the Development Review Committee is required to make specific findings before it approves a Development Review Permit.

1. The City received a complete application for Development Review Application 22PLN-12.
2. The Community Development Department determined the project is Categorically Exempt as the appropriate environmental review in accordance with the California Environmental Quality Act (CEQA).
3. The Grass Valley Development Review Committee reviewed the application at its regularly scheduled meeting on June 14, 2022.
4. The project is consistent with the applicable sections and development standards in the Development Code.
5. The project, as conditioned, complies with the City of Grass Valley Community Design Guidelines.
6. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
7. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.

A. GENERAL CONDITIONS:

1. The approval date for this project is June 14, 2022. The Development Review Permit is approved for a period of 1 year and shall expire on June 14, 2023, unless the project has been effectuated (i.e., building permit has been obtained) or the applicant requests a time extension that is approved by the Grass Valley Development Review Committee pursuant to the Development Code.
2. The project shall be constructed in accordance with the plans approved by the Development Review Committee for Development Review Permit 22PLN-12 unless changes are approved by the Development Review Committee prior to commencing such changes. Minor design changes may be approved by the Community Development Department as determined appropriate by the Community Development Director. Major changes, as determined by the Community Development Director, shall be approved by the Development Review Committee.

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3. Per the Development Code Standards in the R-2A Zone, Table 2 – 9 the garage shall be setback a minimum of 5 feet from the front façade.
4. Prior to the issuance of a Certificate of Occupancy for the project, fencing shall be installed along the west, south and east property lines. Fencing shall not exceed three (3) feet in height in the front yard. Fencing shall be constructed of cedar or redwood and shall not exceed six (6) feet in height in the side and rear yards.
5. Prior to the issuance of a building permit, a photometric plan shall be submitted in compliance with Chapter 17.30.060 of the City's Development Code.
6. The maximum exposed height of retaining walls shall be 6 feet. Retaining walls shall be stepped, with a minimum separation of 5 feet between walls. The design for any retaining walls abutting the public right-of-way shall be shown on the improvement plans. All exposed portions of the retaining wall shall be constructed of split face, slump stone or other decorative block. Colors shall be earth tone consistent with the architectural design of the buildings subject to the approval of the Director of Public Works and the Community Development Director.
7. Prior to the installation of the monument or building signage, the applicant shall obtain a sign permit from the Community Development Department.
8. All trash and storage areas, mechanical equipment, and all other building appurtenances (i.e., utility meters, electrical boxes, air conditioners, fire sprinkler backflow valves, etc.) shall be screened from public view and adjacent properties. Details shall be shown on the final construction and/or improvement plans. All screening materials shall be consistent with the main building materials and colors. Roof-mounted screens and vents shall be compatible with the final roof materials and colors.
9. Energy efficient LED lighting and high efficiency HVAC and appliances shall be used for the project.
10. Prior to construction, the applicant shall obtain the requisite building, plumbing, mechanical and electrical permits from the building division, in compliance with the California Codes.
11. The applicant shall pay all City impact fees prior to issuance of a grading and/or building permit or issuance of a Certificate of Occupancy, as applicable.
12. With five (5) days of approval of the project, the applicant shall record the Notice of Exemption (NOE) with the Nevada County Clerk/Recorder.

**FINDINGS & CONDITIONS OF APPROVAL
DORSEY DRIVE TOWNHOMES DEVELOPMENT REVIEW PERMIT
(22PLN-12)**

13. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

B. PRIOR TO ISSUANCE OF GRADING PERMIT, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. The applicant shall submit to the City Engineer for review and approval, an improvements and grading plan prepared by a Registered Civil Engineer; shall obtain a Grading Permit; and shall pay all appropriate fees for plan check and inspection. The grading and improvement plans shall include but not be limited to roadway/driveway/parking lot slopes and elevations, curb, gutters, sidewalks, striping and signing, paving, water and sewer pipelines, storm drains, street/parking lot lights, accessible access from the sidewalk to the building and from the accessible parking spaces to the building, retaining walls, any necessary alteration of existing utilities, and all easements, in accordance with City Improvement Standards.
2. The proposed driveway is not constructed to City standards. The driveway shall be constructed to a new commercial driveway per City Standard Detail ST-9.
3. The applicant shall submit to the City Engineer for review and acceptance two copies of a detailed Soils Engineering Report and Engineering Geology Report certified by a Civil Engineer registered in the State of California. In addition to the California Building Code requirements, the report shall specify the pavement structural sections for the proposed roadways in relation to the proposed traffic indexes. The improvements and grading plans shall incorporate the recommendations of the approved Soils Engineering Report and Engineering Geology Report. The project developer shall retain a civil engineer, soils engineer, and engineering geologist to provide professional inspection of the grading operations. If work is observed as not being in compliance with the California Building Code and the approved improvements and grading plans, the discrepancies shall be reported immediately in writing to the permittee, the building official, and the Engineering Division.
4. The applicant shall submit to the City Engineer for review and approval, drainage plans and hydrologic and hydraulic calculations in accordance with the City of Grass Valley Improvement Standards and Storm Drainage Master Plan & Criteria. All on-site drainage shall be treated prior to discharge to the City drainage system to eliminate the potential for any toxins to reach local waterways.
5. If the project creates and/or replaces 5,000 sf. or more of impervious surfaces, measures must be implemented for site design, source control, runoff reduction, storm water treatment and baseline hydro modification management measures per the City of Grass Valley Design Standards.

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6. If more than 50 cubic yards of soil is disturbed with the project, a detailed grading, permanent erosion control and landscaping plan shall be submitted for review and approval by the Engineering Division prior to commencing grading. Erosion control measures shall be implemented in accordance with the approved plans. Any expenses made by the City to enforce the required erosion control measures will be paid by deposit.
7. If any retaining walls or other wall structures equal to or greater than four feet in height (from the base of the footing to the top of the wall) are identified on the grading/improvement plans, the applicant shall:
 - a. Place a note on the grading/improvement plans stating that any walls equal to or greater than four feet in height wall require a building permit prior to construction.
 - b. Submit design calculations for the walls for review and acceptance.
 - c. If the proposed walls are to be constructed against a cut slope that cannot be graded back per the California Building Code, submit:
 1. A signed and stamped letter from a Licensed Civil Engineer or Geotechnical Engineer identifying a temporary shoring plan and how the cut slopes for the walls will be protected from the weather during construction.
 2. A signed and stamped letter from a Licensed Civil Engineer or Geotechnical Engineer stating that a copy of the required OSHA Permit will be supplied to the City prior to any excavation on the site and that a qualified OSHA Approved Inspector or Professional Civil Engineer will:
 - i) Be onsite during exaction for and construction of the retaining walls;
 - ii) Be onsite at least once a day during inclement weather;
 - iii) Will submit daily reports to the City.
8. The improvements and grading plans shall be signed by all other jurisdictional agencies involved (i.e., NID), prior to receiving City Engineer approval.
9. Per the Development Code, the Grading Permit shall expire one (1) year from the effective date of the permit unless an extension is granted by the City Engineer (for up to 180 days).
10. All sidewalk fronting the property with cracks greater than ¼ inch in width and ½ or more vertical displacement shall be replaced.
11. The applicant shall obtain a tree removal permit from the City of Grass Valley Public Works Department.
12. A sight distance exhibit that was provided is unable to meet the sight distance requirements turning left out of the project site. Therefore, a right in/right out driveway will be required with the installation of a center median to prevent left turning movements.
13. Although parking requirements are deemed by the Development Code to have been met, a second on-site parking space is recommended. Currently, there is parking

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allowed on Dorsey Drive, but there is the potential for the traffic volumes to increase if the Dorsey Drive Marketplace is completed. Should that occur, there is the potential for both sides of Dorsey Drive to be marked "No parking" so that a center tow-way turn lane can be installed.

14. The applicant shall submit final landscape and irrigation plans, prepared by a licensed landscape architect, for review and approval by the Planning and Engineering Divisions. Landscaping design shall comply with all provisions of the City's Water Efficient Landscape Ordinance.

C. PRIOR TO INITIATING GRADING AND/OR CONSTRUCTION OF THE SITE IMPROVEMENTS FOR THE PROJECT, THE DEVELOPER SHALL COMPLETE THE FOLLOWING:

1. Prior to any work being conducted within the State, County or City right-of-way, the applicant shall obtain an Encroachment Permit from the appropriate Agency(s).
2. A minimum of forty-eight (48) hours prior to commencement of grading activities, the developer's contractor shall notify both the Community Development Department and Engineering Division of the intent to begin grading operations. Prior to notification, all grade stakes shall be in place identifying limits of all cut and fill activities. After notification, Community Development and Engineering staff shall be provided the opportunity to field review the grading limits to ensure conformity with the approved improvement and grading plans. If differences are noted in the field, grading activities shall be delayed until the issues are resolved.
3. The applicant shall submit two copies to the Engineering Division of the signed improvement/grading plans.

D. DURING CONSTRUCTION, THE FOLLOWING CONDITIONS SHALL APPLY:

1. If prehistoric or historic-period archaeological resources or human remains are encountered during grading or excavation, work shall avoid altering the materials and their context until a qualified professional has evaluated, recorded, and determined appropriate treatment of the resource, in consultation with the City. Project personnel shall not collect cultural resources. Cultural resources shall be recorded on DPR 523 historic resource recordation forms. If it is determined that the proposed development could damage a unique archaeological resource, mitigation shall be implemented in accordance with Public Resources Code Section 21083.2 and Section 15126.4 of the CEQA Guidelines, with a preference for preservation in place. If human remains are discovered, mitigation shall be implemented in compliance with CEQA section 15064.5.
2. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Nevada County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector

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(22PLN-12)**

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shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.

3. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period.
4. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted by the applicant, for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
5. Where trucks may transport excavated material off-site unless the loads are adequately wetted and either covered with tarps or loaded such that the material does not touch the front, back or sides of the cargo compartment at any point less than six inches to the top of the cargo compartment. Also, all excavated material must be properly disposed of in accordance with the City's Standard Specifications.
6. The contractor shall comply with all Occupational Safety & Health Administration (OSHA) requirements.
7. Construction and demolition waste recycling shall occur in accordance with Waste Management requirements.
8. For any public work, the contractor shall comply with all Department of Industrial relations (DIR) requirements including complying with prevailing wage requirements.

E. PRIOR TO ACCEPTANCE OF PUBLIC IMPROVEMENTS AND/OR EXONERATION OF BONDS, OR OTHER FORM OF SECURITY, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. An Improvement Performance Security shall be submitted. The amount of the security shall be for the sum of: 1) 100% of the cost of the public improvements necessary to restore the public right of way back to existing conditions or the cost of the public improvements, whichever is less; 2) 10% of the cost of erosion and sedimentation control necessary to stabilize the site; 3) 10% of the cost of tree replacement; and 4) 100% of the cost to address any features which could cause a hazard to the public or neighboring property owners if left in an incomplete state. The minimum-security amount shall be \$500.00. The cost estimate shall be provided to the Engineering Division for review and approval as part of plan submittal. All costs shall include a ten percent contingency.
2. The applicant shall offer to dedicate to the City for public use, all the public streets right-of-way or easements necessary to install, maintain, and re-install all public

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improvements described on the improvements and grading plans. All offers of dedication must be recorded and a copy provided to the Engineering Division.

3. The Applicant shall sign and record a covenant and agreement to ensure that the onsite storm water facilities will be maintained by the property owner(s).
4. "As-built" plans, signed by the Engineer of Record, must be submitted to the Engineering Division on Mylar and a CD with an AutoCAD (or equivalent) drawing of the public improvements.
5. A final report prepared by the soils engineer, in accordance with the California Building Code, must be submitted to the Engineering Division.
6. The grading contractor shall submit a statement of conformance to the as-built plans and specifications. Statement must meet intent of the California Building Code. An example follows: "As the grading contractor, I confirm that all improvements were constructed as shown on these improvement plans." Include the signature, company, and date.

F. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY:

1. The applicant shall obtain final approval from the City of Grass Valley, fire, planning, engineering, and building divisions.
2. The applicant's landscape architect shall submit a letter specifying that the landscaping and irrigation has been installed in accordance with the approved landscape plans.
3. The applicant's landscape architect or landscape contractor shall submit to the City for approval the "certificate of completion" form as required by MWELo.
4. The applicant shall conduct an irrigation audit pursuant to the requirements of the MWELo. This shall be conducted by a third-party certified landscape irrigation auditor that did not install or design the landscape and irrigation. Prior to the audit City must confirm the selected auditor complies with MWELo requirements.

G. NEVADA IRRIGATION DISTRICT:

1. A Water Demand Analysis is required to be approved by NID to confirm that the existing meter is adequate for the proposed use. If upsizing is required, applicant is responsible for any and all fees associated with upsizing the meter.
2. The appropriate backflow prevention will be required on any and all connections to NID's system at applicant's expense.
3. Applicant should include existing PUE's and utility easements on site plans.

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(22PLN-12)**

Item # 1.

4. Applicant is required to provide new easements, acceptable to NID, adequate to cover any proposed NID facilities not located within the existing right-of-way.
5. NID recommends the applicant request a Fire Flow letter.
6. If a private Fire Service is requested, NID requires improvement plans to be submitted for approval.

STANDARD GRADING NOTES

1. ALL GRADING SHALL CONFORM WITH THE CITY OF GRASS VALLEY STANDARDS AND REQUIREMENTS PERTAINING THERETO, THESE CONSTRUCTION DOCUMENTS, AND THE RECOMMENDATIONS OF THE PROJECT SOILS OR GEOTECHNICAL ENGINEER.
2. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND THE SOIL ENGINEER AT LEAST 48 HRS. BEFORE START OF ANY GRADING WORK. THEY SHALL BE NOTIFIED OF THE TIME AND LOCATION OF THE PRE-CONSTRUCTION CONFERENCE FOR THE PROJECT.
3. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS, OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST RESULTING FROM HIS GRADING OPERATIONS. CONTRACTOR SHALL ACCOMMODATE ALL REQUESTS FOR THE DUST CONTROL, MADE BY THE CITY INSPECTOR. IF DUST CAN NOT BE CONTROLLED TO THE SATISFACTION OF THE INSPECTOR, THEN A SUITABLE DUST PALLIATIVE SHALL BE USED PER THE DIRECTION OF THE INSPECTOR.
4. BEFORE BEGINNING WORK REQUIRED EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEERING DEPARTMENT FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOIL ON CITY STREETS. GRADING INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR. THE CONTRACTOR SHALL CLEAN THE PUBLIC RIGHT OF WAY IMPACTED TO THE SATISFACTION OF THIS INSPECTOR.
5. THE SOIL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTHWORK WAS PROPERLY COMPLETED AND IS SUBSTANTIALLY IN CONFORMANCE WITH THE REQUIREMENTS OF THE CITY GRADING ORDINANCE. TEST RESULTS SHALL BE MADE AVAILABLE TO THE CITY UPON COMPLETION OF TESTS AND PRIOR TO FINAL REPORT.
6. A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSIONS PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE SOIL ENGINEER. NEVADA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT SHALL BE CONTACTED UPON EACH SUCH DISCOVERY AND SHALL BE GIVEN OPPORTUNITY TO WITNESS REMOVAL.
7. AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHMARKED. A KEYWAY SHALL BE PLACED AT THE TOE OF ALL FILL SLOPES AND EXTENDED THROUGH THE LOOSE SURFACE SOILS. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE SOILS ENGINEER'S RECOMMENDATION.
8. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 8 IN. IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED TO 3 LAYERS) OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTION TO A GREATER DENSITY AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS.
9. THE SOILS OR GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATIONS, TESTS AND REPORTS OF ALL EARTHWORK AND PROVIDE COPIES OF THE REPORTS TO THE ENGINEERING DEPARTMENT. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18 IN. OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL.
10. FINISH CUT SLOPES SHALL NOT EXCEED A GRADE OF 2 HORIZONTAL TO 1 VERTICAL. FINISH FILL AND COMBINATION SLOPES SHALL NOT EXCEED 2 HORIZONTALS TO 1 VERTICAL. SLOPES OVER 3 FT. IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL VEGETATION TO BE DENSE AND GROWING PRIOR TO FINAL INSPECTION. CUT AND FILL SLOPES MAY BE INCREASED IF APPROVED BY THE SOILS ENGINEER.
11. SURFACE DRAINAGE SHALL NOT BE LESS THAN 1% EXCEPT FOR PAVED SURFACES. A MINIMUM OF 2% FOR 5 FT. AWAY FROM THE FOUNDATION LINE OF ANY STRUCTURE IS REQUIRED.
12. ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED DURING GRADING OPERATIONS.
13. EARTHWORK ESTIMATED:
EXCAVATION: 893 CUBIC YARDS
EMBANKMENT: 115 CUBIC YARDS
EXPORT: 744 CUBIC YARDS
IMPORT: 0 CUBIC YARDS
14. DRAIN PIPES SHALL CONFORM TO THE CITY STANDARDS SPECIFICATIONS, EXCEPT THAT ASP IS NOT PERMITTED. HIGH DENSITY POLYETHYLENE (HDPE) NOT ALLOWED IN PUBLIC RIGHT-OF-WAY.
15. IF GRADING OR OTHER CONSTRUCTION OPERATIONS UNEARTH ARCHEOLOGICAL OR HISTORIC ARTIFACTS OR RESOURCES, CONSTRUCTION ACTIVITIES SHALL CEASE. THE PLANNING DEPARTMENT SHALL BE NOTIFIED OF THE EXTENT AND LOCATION OF DISCOVERED MATERIALS SO THAT THEY MAY BE RECORDED BY A QUALIFIED ARCHEOLOGIST. DISPOSITION OF ARTIFACTS SHALL COMPLY WITH STATE AND FEDERAL LAWS.
16. ALL MATERIAL EXCAVATED, STOCKPILED, OR GRADED SHALL BE SUFFICIENTLY WATERED, TREATED, OR COVERED TO PREVENT DUST FROM LEAVING THE PROPERTY BOUNDARIES AND CAUSING A PUBLIC NUISANCE OR A VIOLATION OF AN AMBIENT AIR STANDARD. WATERING SHOULD OCCUR AT LEAST TWICE DAILY, WITH COMPLETE SITE COVERAGE.
17. ALL AREAS WITH VEHICLE TRAFFIC SHALL BE WATERED OR HAVE DUST PALLIATIVE APPLIED AS NECESSARY FOR REGULAR STABILIZATION OF DUST EMISSIONS.
18. ALL LAND CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES ON THE PROJECT SHALL BE SUSPENDED AS NECESSARY TO PREVENT EXCESSIVE WINDBLOWN DUST WHEN WINDS ARE EXPECTED TO EXCEED 20 MPH.
19. ALL INACTIVE PORTIONS OF THE DEVELOPMENT SITE SHALL BE COVERED, SEEDED, OR WATERED UNTIL A SUITABLE COVER IS ESTABLISHED. ALTERNATIVELY, THE APPLICANT SHALL BE RESPONSIBLE FOR APPLYING COUNTY APPROVED NON-TOXIC SOIL STABILIZERS (ACCORDING TO MANUFACTURERS SPECIFICATIONS) TO ALL INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS WHICH REMAIN INACTIVE FOR 96 HOURS) IN ACCORDANCE WITH THE LOCAL GRADING ORDINANCE.
20. ALL MATERIAL TRANSPORTED OFF-SITE SHALL BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT PUBLIC NUISANCE.
21. PAVED STREETS ADJACENT TO THE PROJECT SHALL BE SWEEPED AT THE END OF THE DAY, OR AS REQUIRED TO REMOVE EXCESSIVE ACCUMULATIONS OF SILT AND/OR MUD WHICH MAY HAVE RESULTED FROM ACTIVITIES AT THE PROJECT SITE.

STD. GRADING NOTES (CONT.)

22. CONSTRUCTION VEHICLE SPEED AT THE WORK SITE MUST BE LIMITED TO FIFTEEN (15) MILES PER HOUR OR LESS.
23. EQUIPMENT MUST BE CLEANED BEFORE MOVING FROM THE PROPERTY ONTO A PAVED PUBLIC ROAD.
24. IDENTIFY AN EQUIPMENT EXCLUSION ZONE ON THE GRADING PLAN AND HAVE THIS AREA FENCED DURING CONSTRUCTION TO RETAIN EXISTING VEGETATION OUTSIDE THE PROJECT AREA.
25. IF ANY BLASTING OCCURS TO ACCOMMODATE THE PROJECT THE FOLLOWING MEASURE SHALL BE INSTITUTED:
a. VIBRATION MONITORING STATIONS SHALL BE SET UP WITHIN 20 FEET OF THE RESIDENTIAL PROPERTIES TO THE NORTH OF THE SITE.
b. RECORDING KEEPING SHALL INCLUDE CHARGE WEIGHT, BLAST LOCATION, DELAYS AND MONITORING RECORDS FOR EACH BLAST.
c. BLASTING CONTRACTOR SHALL DEMONSTRATE THAT HE METHOD OF BLASTING WILL NOT RESULT IN PARTICLE VELOCITIES OVER INCHES/SEC.
d. CATHERINE LANE SHALL NOT BE USED AS AN INGRESS/EGRESS FOR THE TRANSPORT OF EXPLOSIVES TO THE PROJECT SITE. 2B. CONSTRUCTION OPERATIONS SHALL BE RESTRICTED TO THE HOURS OF 7:30 AM TO 4:30 P.M.
26. NO WORK SHALL BE DONE ON SATURDAYS, SUNDAYS OR NATIONAL HOLIDAYS.
27. ALL CONSTRUCTION VEHICLES AND EQUIPMENT SHALL BE PROPERLY MUFFLED.

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOT BEGIN ANY WORK SHOWN ON THESE PLANS UNTIL THE CITY ENGINEER'S SIGNATURE OF APPROVAL IS AFFIXED HEREON AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED. THERE SHALL BE AN APPROVED SET OF PLANS ON THE JOB DURING ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL CONTACT THE CITY OF GRASS VALLEY ENGINEERING DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST TEN (10) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION (TELEPHONE 530-274-4373).
3. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE INTENTIONAL NEGLIGENCE OF THE OWNER OR ENGINEER.
4. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF ALL UNDERGROUND FACILITIES WHERE SUCH FACILITIES MAY CONFLICT WITH PLACEMENT OF IMPROVEMENTS SHOWN ON THIS PLAN. CALL UNDERGROUND SERVICE ALERT AT 800-842-2444 PRIOR TO ANY EXCAVATION.
5. THE LOCATIONS OF ALL UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES. HOWEVER, THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HEREON OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES AND IMMEDIATELY NOTIFY THE DESIGN ENGINEER IF ANY SUCH FACILITIES INTERFERE WITH THE CONSTRUCTION OF IMPROVEMENTS. IF SO DIRECTED BY THE DESIGN ENGINEER, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY UNTIL REMEDIAL ACTION CAN BE TAKEN. ANY COST RESULTING FROM THE CONTRACTORS FAILURE TO REPORT FAILURE TO STOP WORK AS DIRECTED, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING FOR ANY PARTICULAR PHASE OF WORK NO LESS THAN TWO WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL REQUEST A FORM OR GRADE STAKE PRIOR TO PLACING OF IMPROVEMENTS.
7. PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY DUE TO STAKING ERRORS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER FOR VERIFICATION AND RESTAKING.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
9. ALL SEWER HOUSE SERVICES SHALL BE STAKED BY THE DESIGN ENGINEER. ALL SEWER HOUSE SERVICES DELINEATED ON THE PLANS SHALL SHOW THE FLOW LINE ELEVATION.
10. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF AS-BUILT CHANGES. THE CHANGES SHALL BE PLACED ON A CLEAN SET OF MYLAR DRAWINGS, AND GIVEN TO THE DESIGN ENGINEER AT JOB COMPLETION.
11. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE ALL PERMITS, CERTIFICATES, AND LICENSES REQUIRED BY LAW.

EARTHWORK AND GRADING:

1. THE CONTRACTOR SHALL CONTACT THE CITY OF GRASS VALLEY ENGINEERING DEPARTMENT 48 HOURS PRIOR TO THE START OF EARTHWORK AND GRADING CONSTRUCTION.
2. THE OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED SOILS ENGINEER TO EVALUATE GEOLOGIC AND SOILS CONDITIONS ON THE SITE. PROVIDE CONSTRUCTION AND COMPACTION RECOMMENDATIONS SUBJECT TO CITY APPROVAL. INSPECT THE CONTRACTOR'S GRADING OPERATION AND CERTIFY THE CONTRACTOR'S COMPLIANCE WITH THE APPROVED RECOMMENDATIONS.
3. THE CONTRACTOR SHALL PERFORM ALL GRADING, EXCAVATION, EMBANKMENT AND COMPACTION OPERATIONS IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS UNDER THE INSPECTION OF THE SOILS ENGINEER.
4. EROSION CONTROL SEEDING SHALL BE APPLIED TO ALL GRADED AND DISTURBED SOILS WITHIN THE WORK AREA PRIOR TO OCTOBER 15 OF GIVEN YEAR WHETHER THE PROJECT IS COMPLETE OR NOT (CONTRACTOR IS TO NOTIFY THE ENGINEERING DEPARTMENT IMMEDIATELY AFTER APPLICATIONS FOR INSPECTION PURPOSES).
5. ALL FILLS SHALL BE CONSTRUCTED TO 90% RELATIVE COMPACTION, EXCEPTING THE UPPER 6" SHALL BE CONSTRUCTED TO 95% RELATIVE COMPACTION. ALL EXCAVATION AREAS SHALL BE SCRAPPED TO 6" BELOW SUBGRADE AND REPLACED AT 95% RELATIVE COMPACTION. COMPACTION TESTING SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
6. IF GRADING OR OTHER CONSTRUCTION OPERATIONS UNEARTH ARCHEOLOGICAL OR HISTORIC ARTIFACTS OR RESOURCES, CONSTRUCTION ACTIVITIES SHALL CEASE AND THE CONTRACTOR NOTIFY THE CITY OF GRASS VALLEY PLANNING DEPARTMENT, AT (530) 274-4330.

08/10/2007					
DATE: R.P.E.	▲				
DESIGN BY: R.S.	▲				
DRAWING BY: R.P.E.	▲				
CHECKED BY:	NO.	BY	DATE	REVISIONS	

TBM: 2200
(CLOSE TO USGS MAP,
BUT NOT EXACTLY MATCHING)

DESCRIPTION:
3/4 INCH IRON PIPE
(NW PROPERTY CORNER)

ENGINEER/SURVEYOR:
RICHARD P. EACOBACCI
P. O. BOX 128
NEVADA CITY, CA 95959
(530)265-6715 OR 615-6870



OWNER

ROBERT ST. GERMAIN
20376 RED DOG ROAD
NEVADA CITY, CA 95959
(530)320-3487

SHEET TITLE

PRELIMINARY
IMPROVEMENT PLAN
DORSEY DRIVE
GRASS VALLEY, CA 95945
APN 009-660-025

SHEET CONTENT

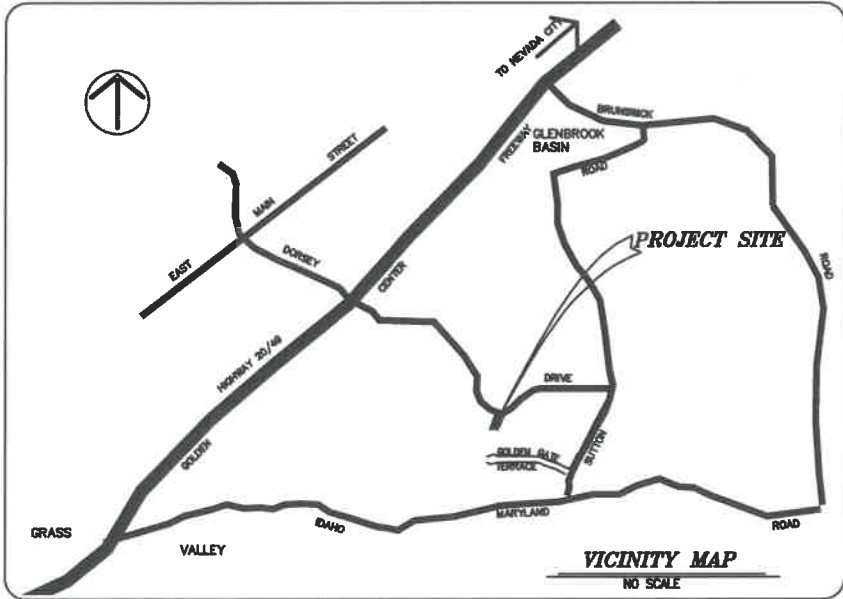
MISCELLANEOUS NOTES
VICINITY AND AREA MAPS
LEGEND AND ABBREVIATIONS
SHEET INDEX

IMPROVEMENT PLANS

FOR:

ROBERT ST. GERMAIN

GRASS VALLEY, CALIFORNIA



EARTHWORK AND GRADING: (CONT.)

7. WINTERIZATION NOTE: THE FOLLOWING MEASURES ARE REQUIRED IF GRADING AND CLEARING IMPROVEMENTS ARE INCOMPLETE BY OCTOBER 15:
EROSION PROTECTION ON SLOPES 10:1 OR STEEPER AND SNALES WITH SLOPES 2% OR GREATER.
MINIMAL SEDIMENT SHALL LEAVE THE PROJECT AREA.
OUTTER S40 POINTS SHALL DRAIN. PROVIDE FOR DRAINAGE FROM ENDS OF IMPROVEMENTS TO OUTFALL.
MINIMIZE SEDIMENTATION IN EXISTING STORM DRAIN SYSTEM AND FLUSH PIPES.
8. EROSION CONTROL PRACTICES SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE EROSION & SEDIMENT CONTROL GUIDELINES FOR DEVELOPING AREAS OF THE SIERRA FOOTHILLS AND MOUNTAINS PREPARED BY THE HIGH SIERRA RC & D COUNCIL.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN WINTERIZATION FACILITIES AT ALL TIMES OR UNTIL THE IMPROVEMENTS ARE FINAL.
10. THE CONTRACTOR SHALL NOT ALLOW STACKING OF CONSTRUCTION MATERIALS, PARKING OF CONSTRUCTION EQUIPMENT AND VEHICLES, GRADING, TRENCHING, CUTTING OR FILLING WITHIN A TREE DRUPLINE UNLESS OTHERWISE SHOWN ON THESE PLANS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND REVEGETATION OF ALL DISTURBED AREAS AT ALL TIMES, TO THE SATISFACTION OF THE CITY ENGINEER.

MONUMENTATION:

1. ALL SURVEY MONUMENTS SHALL BE SET PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PUBLIC IMPROVEMENTS. MONUMENTS BOXES SHALL BE FORM IRONSIDES 18" BODY WITH IL-LID MARKED "MONUMENT" OR APPROVED EQUAL.

STREETS / PIPELINES:

1. ALL STREET, PIPELINES, AND SURFACE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, THE DETAILS SHOWN HEREON, AND THE IMPROVEMENT STANDARDS OF THE CITY OF GRASS VALLEY'S LATEST EDITION.

TREES:

1. THE CONTRACTOR SHALL MAKE EVERY EFFORT POSSIBLE TO SAVE ANY TREE WITHIN TWO FEET HORIZONTALLY OF THE TOP OF CUT OR TOE OF FILL. NO MECHANICAL TRENCHING WHATSOEVER SHALL BE ALLOWED WITHIN THE DRUPLINE OF TREES TO BE PRESERVED.

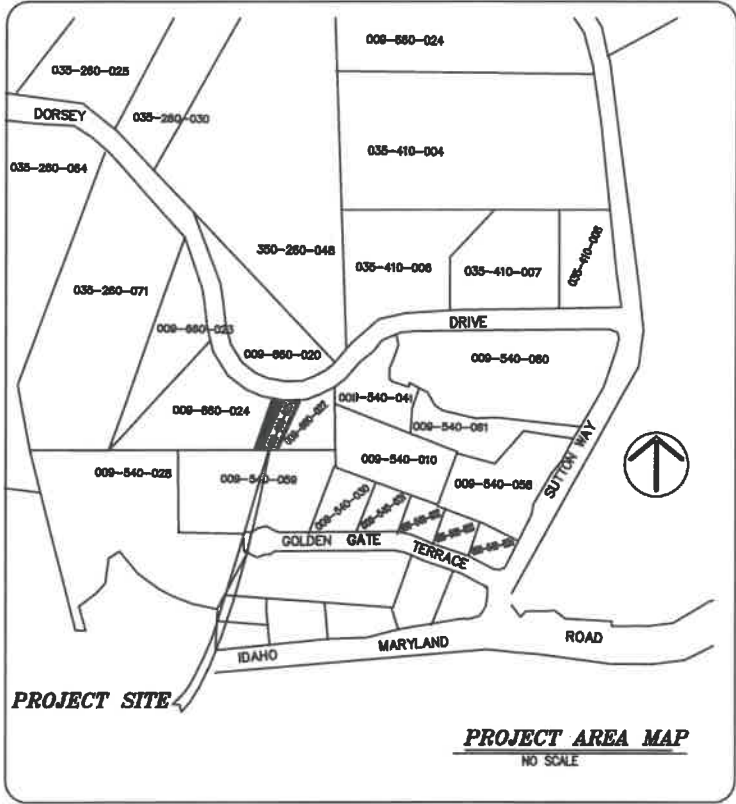
REFERENCE:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF GRASS VALLEY STANDARD CONSTRUCTION SPECIFICATIONS AND CITY OF GRASS VALLEY IMPROVEMENT STANDARDS.

SAFETY:

1. THE CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH ENFORCES THE REQUIREMENT THAT BUILDING AND CONSTRUCTION CONTRACTORS OBTAIN A PERMIT PRIOR TO COMMENCING CERTAIN TYPE OF HAZARDOUS ACTIVITY, AS SPECIFIED IN SECTION 6500 OF THE STATE LABOR CODE AND SECTION 341 OF TITLE 8 OF THE CALIFORNIA CODE OF REGULATIONS. THESE ACTIVITIES INCLUDE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER AND INTO WHICH A PERSON IS REQUIRED TO DESCEND, THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE FALSEWORK, OR SCAFFOLDING MORE THAN THREE STORIES HIGH OR THE EQUIVALENT HEIGHT AND THE UNDERGROUND USE OF DIESEL ENGINES IN WORK IN MINES AND TUNNELS. CONSTRUCTION PERMITS ARE ISSUED BY DISTRICT OFFICES OF THE DIVISION. THE SACRAMENTO OFFICE IS LOCATED AT:

STATE OF CALIFORNIA
INDUSTRIAL RELATIONS DEPARTMENT
DIVISION OF OCCUPATIONAL SAFETY AND HEALTH
2422 ARDEN WAY, #8-35
SACRAMENTO, CALIFORNIA 95825
(916) 820-6123



PROJECT AREA MAP
NO SCALE

SHEET INDEX:

1. TITLE SHEET
2. SITE AND GRADING PLAN
3. SECTIONS AND DETAILS
4. RETAINING WALL DETAILS & PROFILES

STATISTICS:

TOTAL PARCEL SIZE.....14521 SQ FEET
AREA OF NEW BUILDING.....4322 SQ FEET
AREA OF PAVING.....4187 SQ FEET
AREA OF RETAINING WALLS.....200 SQ FEET
AREA OF PATIO.....180 SQ FEET
4TH UNIT AREA EXEMPTION.....1777 SQ FEET

PERCENT COVERAGE (4322+4187+200+180
-1777)/14520= .4888 OR 49%

SUPERVISING CIVIL ENGINEER

THE UNDERSIGNED CIVIL ENGINEER CERTIFIES
THIS GRADING WORK WILL BE SUPERVISED IN
ACCORDANCE WITH THE CITY OF GRASS VALLEY
GRADING ORDINANCE.

ENGINEERING DEPARTMENT CITY OF GRASS VALLEY		
PROJECT NAME: DORSEY		
DRWN BY: R.P.E.	DES. BY: R.P.E.	CK'D BY: R.R.S.
PROJECT ENGINEER:		
APPROVED BY:		
CITY ENGINEER	58534 RCE NUMBER	DATE
PROJECT NUMBER	GP 21--??	
SHEET C1 OF 4	DRWG NO.	

NO.	BY	DATE	REVISIONS
▽			
▽			
▽			
▽			

DESCRIPTION:
3/4 INCH IRON PIPE
(NW PROPERTY CORNER)

ENGINEER/SURVEYOR
RICHARD P. EACOBACCI
NEVADA CITY, CA 95959
(530)265-6715 OR 615-6870

ROBERT ST. GERMAIN
20376 RED DOG ROAD
NEVADA CITY, CA 95959
(530) 320-3487



**PRELIMINARY
IMPROVEMENT PLAN
DORSEY DRIVE
GRASS VALLEY, CA 95945
APN 009-660-025**

SHEET CONTENT
SITE-GRADING PLAN
SECTIONS

ENGINEERING DEPARTMENT		CITY OF GRASS VALLEY	
PROJECT NAME: DORSEY			
OWN BY: R.R.	DES. BY: R.R.	CKD BY: R.R.	
PROJECT ENGINEER:			
APPROVED BY:			
CITY ENGINEER		R.R. NUMBER	
DATE		GP 21-11	
DRAWING NO.		SHEET 02 OF 4	

FEATURE LEGEND

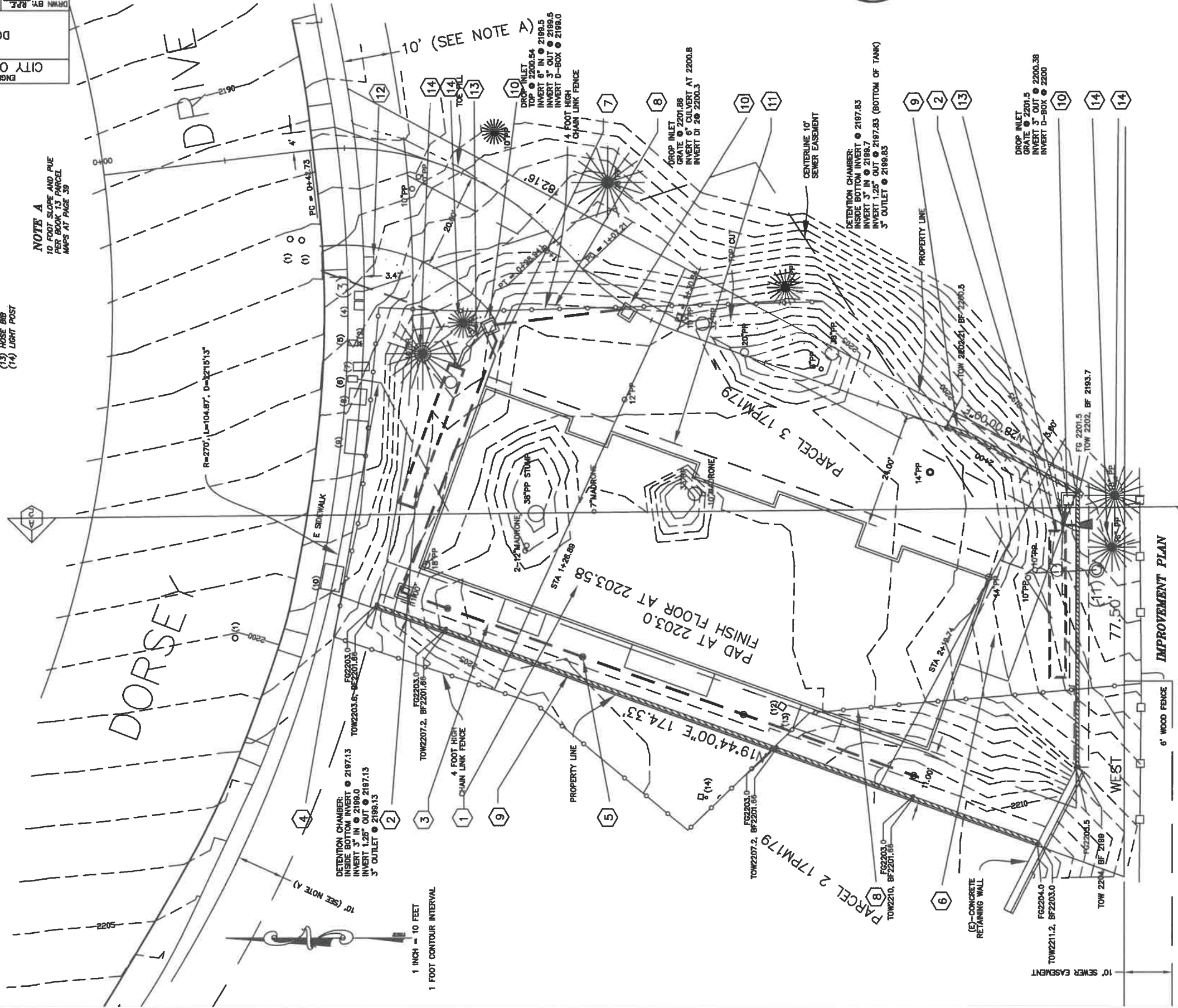
(1)	1 1/2 INCH DIAMETER WATER VALVE BOX,
(2)	FIRE HYDRANT
(3)	1 1/2 INCH X 2 FOOT WATER VALVE BOX
(4)	1 1/2 INCH X 2 FOOT WATER VALVE BOX
(5)	1 1/2 INCH X 2 1/2 INCH WATER VALVE
(6)	1 1/2 INCH X 2 1/2 INCH WATER VALVE
(7)	1 1/2 INCH X 2 1/2 INCH WATER VALVE
(8)	21 INCH X 40 INCH TELEPHONE VALVE
(9)	40 INCH X 43 INCH ELECTRIC VALVE, FLUSH
(10)	83 INCH X 52 INCH VALVE, FLUSH
(11)	65 INCH X 49 INCH VALVE, FLUSH
(12)	26 INCH DIAMETER SEWER MANHOLE
(13)	26 INCH DIAMETER
(14)	HOSE BIB
(15)	LIGHT POST

LEGEND

FS FINISH GRADE
TOW TOP OF WALL
BF BOTTOM OF FOOTING
PP PONDROSA PINE
E EXISTING
PUE PUBLIC UTILITY EASEMENT

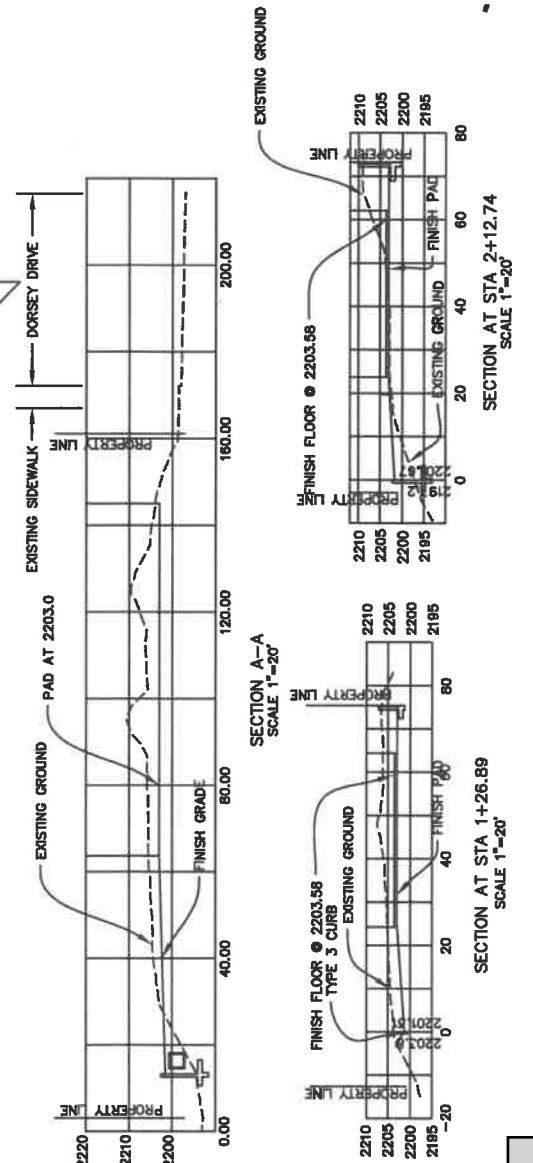
ESTIMATE QUANTITIES	QUANTITIES
EXCAVATION	893 CY
PILE	115 CY
CLEARING	2400 SQ
PAVING	4587 SQ
DRIVEWAY APPROACH	1 EACH
DROP INLETS	4 EACH
GARDEN DRAINS	3 EACH
6" DRAIN PIPE	171 LF
4" SEWER PIPE	133 LF
1000 GAL DETENTION TANK	2 EACH
SOIL/SEDIMENT INTERCEPTOR	2 EACH
RETAINING WALL	230 LF
LANDSCAPE AREA	551 SQ

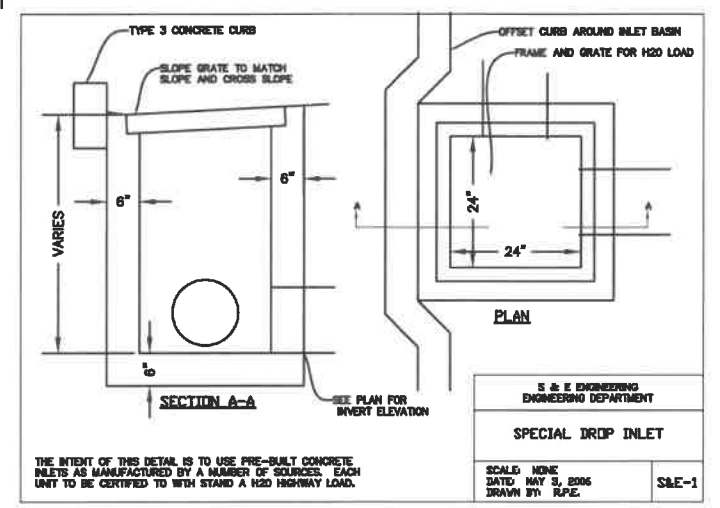
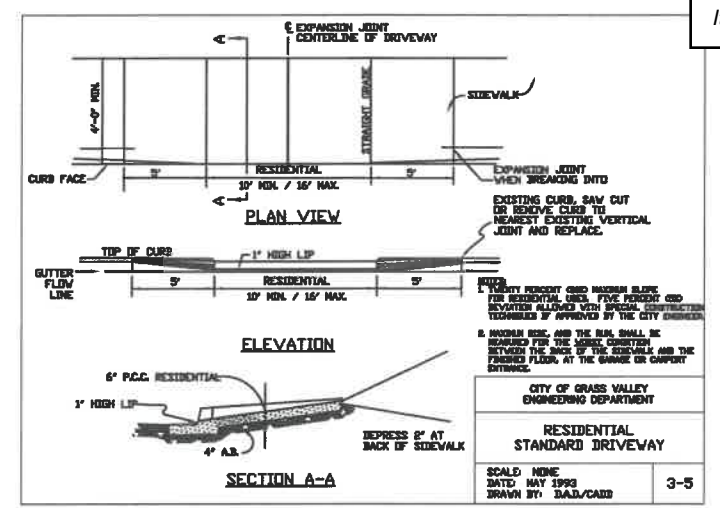
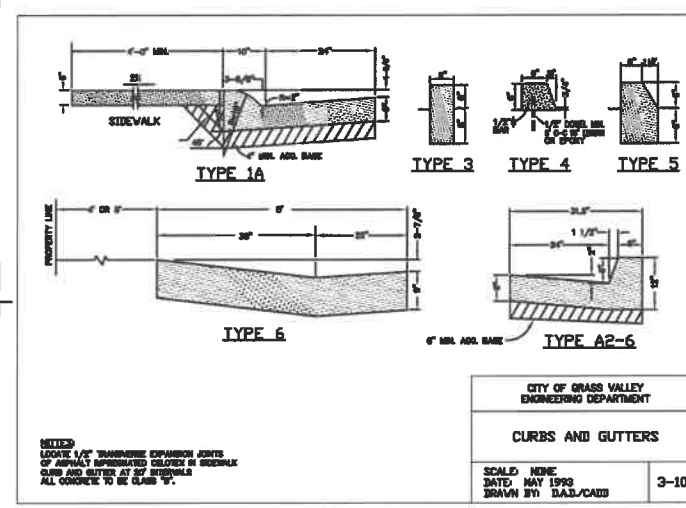
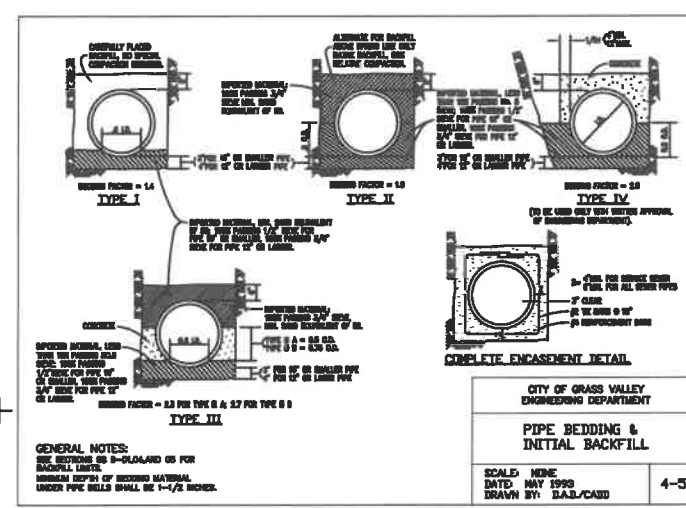
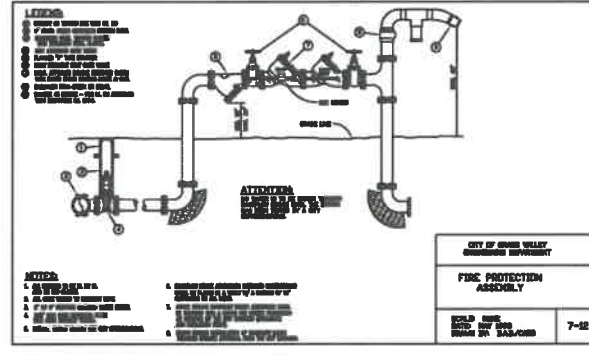
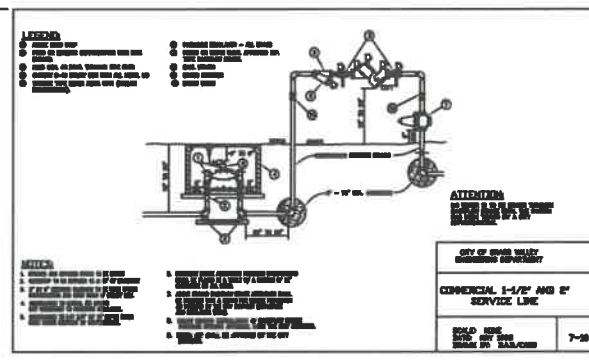
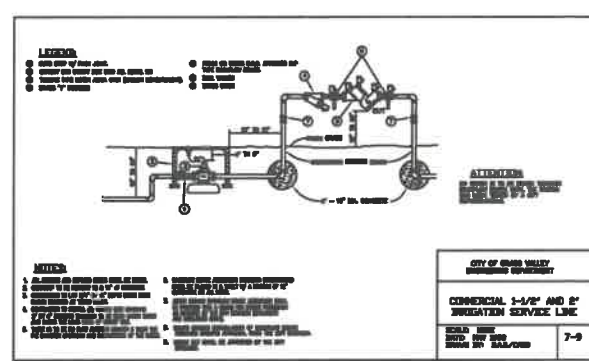
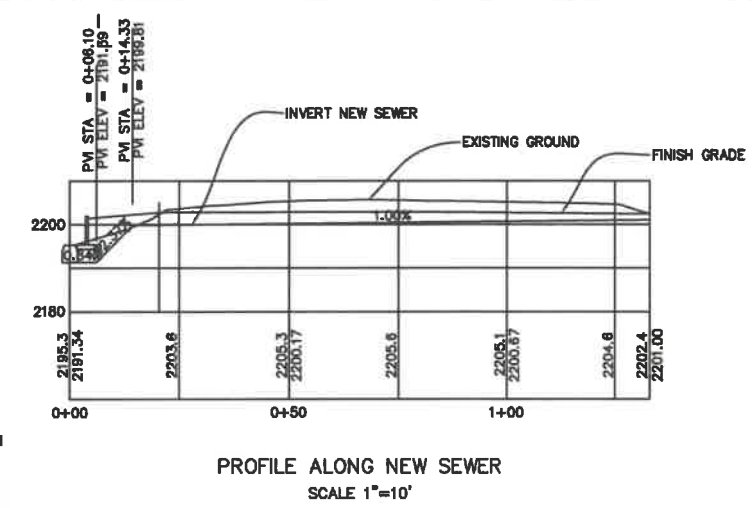
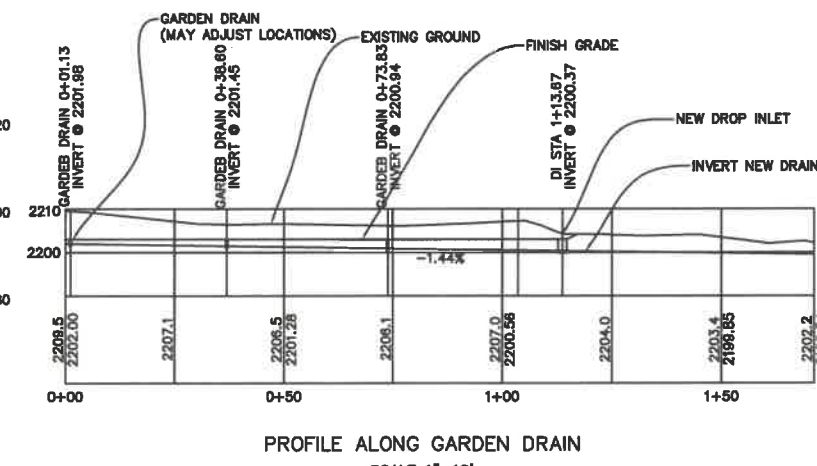
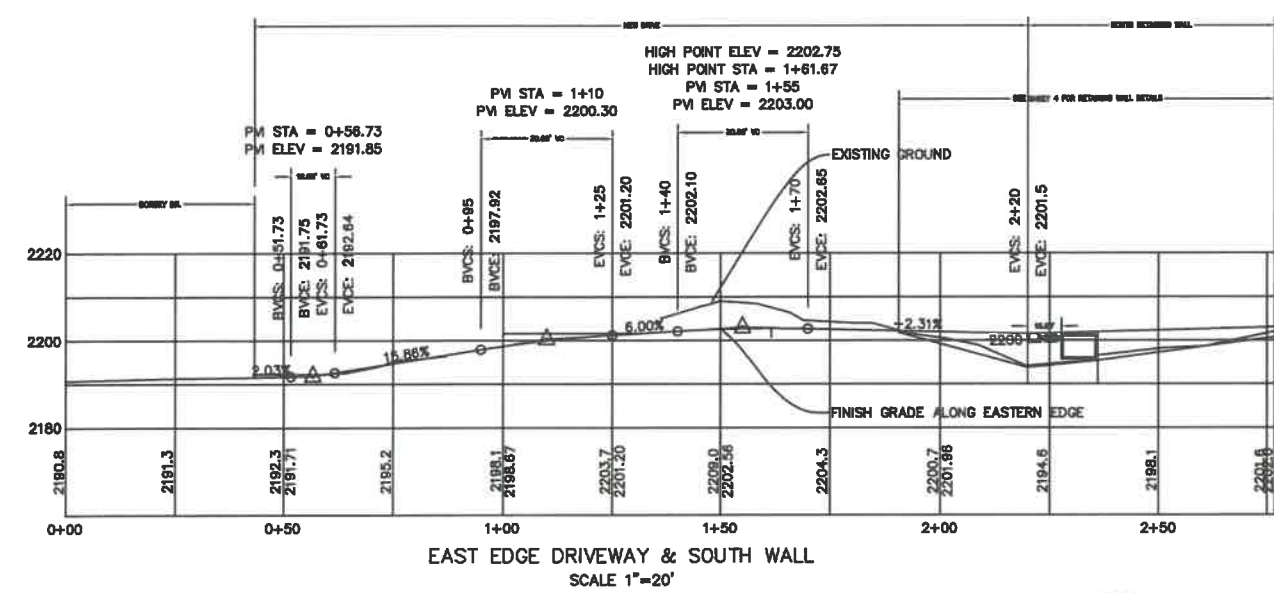
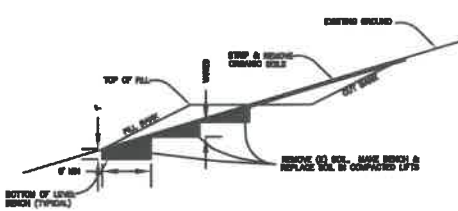
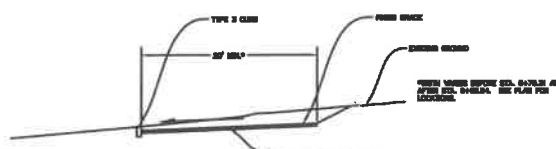
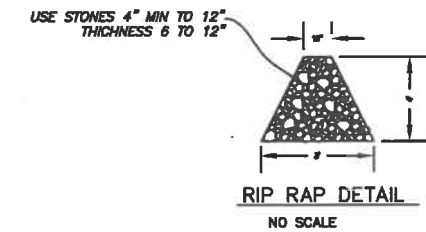
NOTE A
10 FOOT SLOPE AND PUE
PER BOOK 13 PARCEL
MAPS AT PAGE 10



IMPROVEMENT LEDGEND

- | | |
|----|--|
| 1 | NEW 4 UNIT APARTMENT (SEE ARCHITECTURAL PLANS) |
| 2 | NEW DETENTION CHAMBER |
| 3 | NEW 6 INCH CULVERT (SEE SHEET 3 FOR DETAILS) |
| 4 | NEW WATER SERVICE |
| 5 | NEW GARDEN DRAINS (3 EACH) |
| 6 | NEW GUEST PARKING AREA |
| 7 | TYPE 3 CURB FROM BLD TO DI |
| 8 | REMOVE E FENCE TO PROPERTY LINE |
| 9 | NEW RETAINING WALL (SEE SHEET 4 FOR DETAILS) |
| 10 | DROP INLET |
| 11 | NEW SEWER TO E-MANHOLE** |
| 12 | NEW MAIL BOX (4 EACH) |
| 13 | NEW OIL/SEDIMENT INTERCEPTOR |
| 14 | SAVE TREE |





08/10/2007	DATE	
R.P.E.	DESIGN BY	
R.S.	DRAWING BY	
R.P.E.	CHECKED BY	
NO.	BY	DATE
REVISIONS		

TBM: 2200
(CLOSE TO USGS MAP,
BUT NOT EXACTLY MATCHING)

DESCRIPTION:
3/4 INCH IRON PIPE
(NW PROPERTY CORNER)

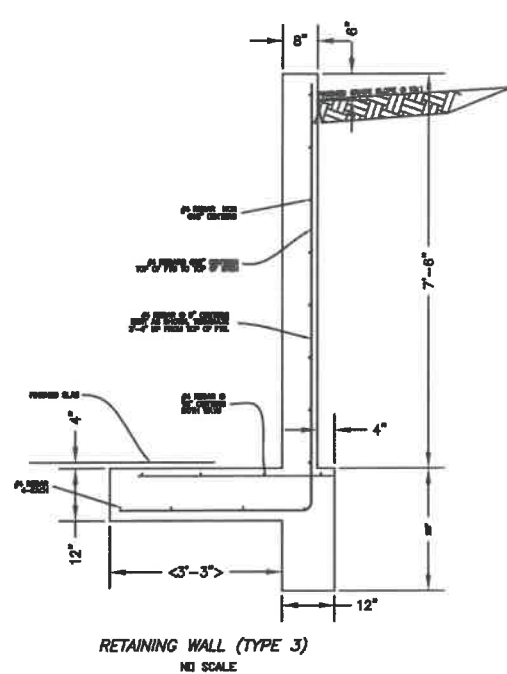
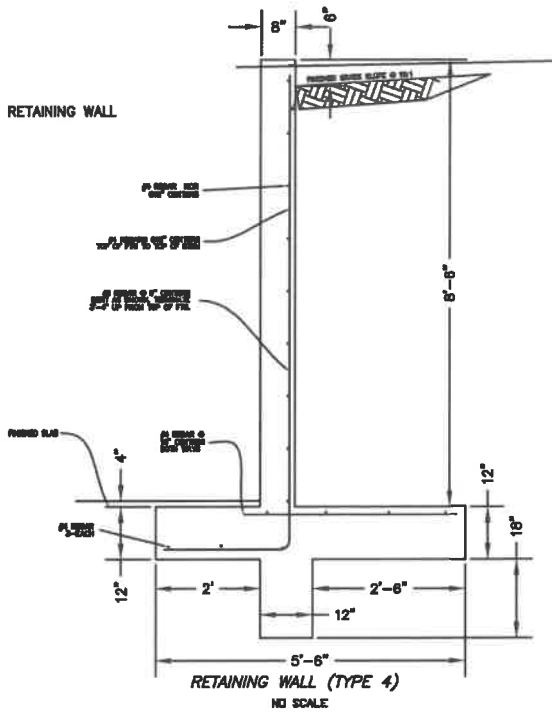
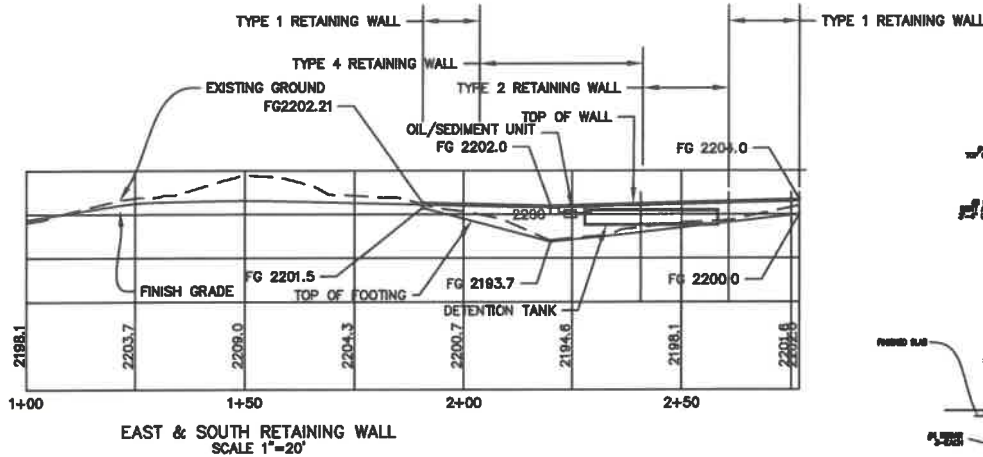
ENGINEER/SURVEYOR:
RICHARD P. EACOBACCI
P. O. BOX 128
NEVADA CITY, CA 95959
(530)265-6715 OR 615-6870

OWNER
ROBERT ST. GERMAIN
20376 RED DOG ROAD
NEVADA CITY, CA 95959
(530)320-3487

SHEET TITLE
PRELIMINARY
IMPROVEMENT PLAN
DORSEY DRIVE
GRASS VALLEY, CA 95945
APN 009-660-025

SHEET CONTENT
CITY STANDARD DETAILS
PROFILES & SECTIONS

ENGINEERING DEPARTMENT CITY OF GRASS VALLEY		
PROJECT NAME: DORSEY		
DRWN BY: R.P.E.	DES. BY: R.P.E.	CK'D BY: R.R.S.
PROJECT ENGINEER:		
APPROVED BY:	58334	DATE
CITY ENGINEER	TRC NUMBER	
PROJECT NUMBER	GP 21-??	
SHEET C3 OF 4	DRWG NO.	



RETAINING WALL NOTES:

1. PROVIDE WEAP HOLE OR DRIVE FOR ALL WALLS. DRIVE LINES SHALL BE LOCATED TO EXTERIOR AT A CONTINUOUS DISTANCE. WEAP HOLE TO BE LOCATED 6" TO 8" FROM FINISH GRADE.
2. PROVIDE WEAPHOODING FOR ALL WALLS ADJACENT TO LIVING AREAS.
3. BACKFILL BEHIND WALLS SHALL BE FREE DRAINING MATERIAL.

CONCRETE REQUIREMENTS

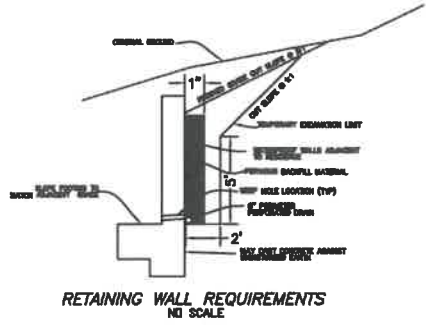
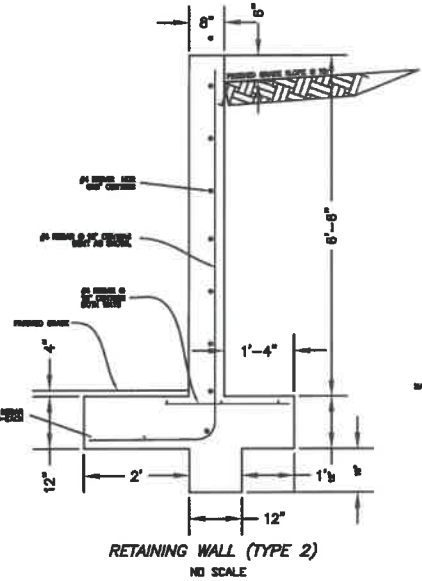
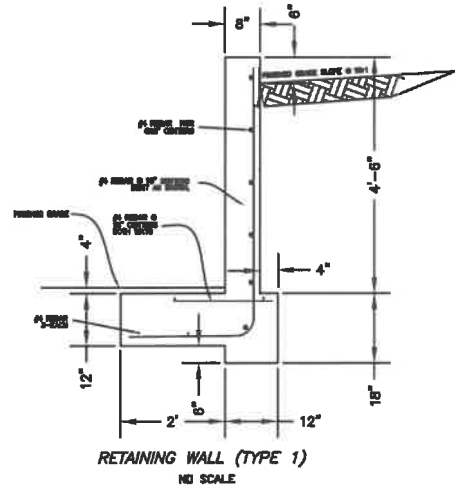
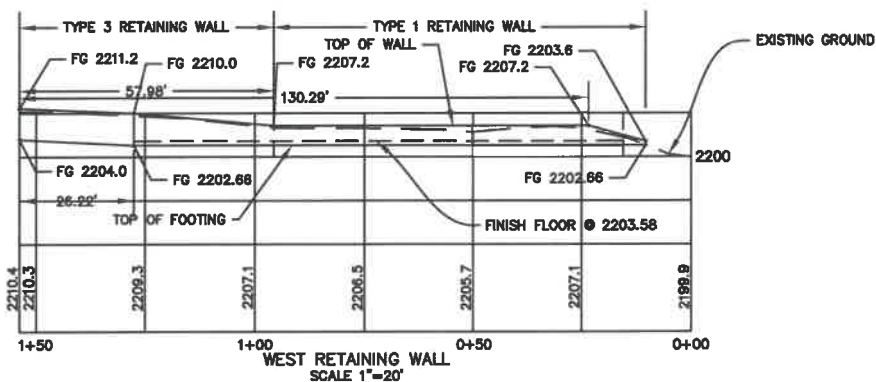
1. Concrete construction shall conform to "Specifications for Structural Concrete for Buildings" (AC308). Concrete shall have a minimum 28-day field cured compressive strength of 2000 psi (14 MPa). Air-entrained concrete (ACI 308.3R) shall be used for concrete exposed to the finished work, when freezing temperatures might apply. Admixtures containing chloride salts shall not be used.
2. Concrete shall be of "Ready-Mixed concrete" and shall conform to ASTM C394. At time of placement, concrete shall have a max. slump of 4 inches (per ASTM C143). All concrete shall be thoroughly consolidated during placement.
3. The design, fabrication, installation, and removal of concrete form work is solely the responsibility of the contractor.
4. Anchor bolts cast in concrete shall conform to ASTM A307.

REBAR REQUIREMENTS

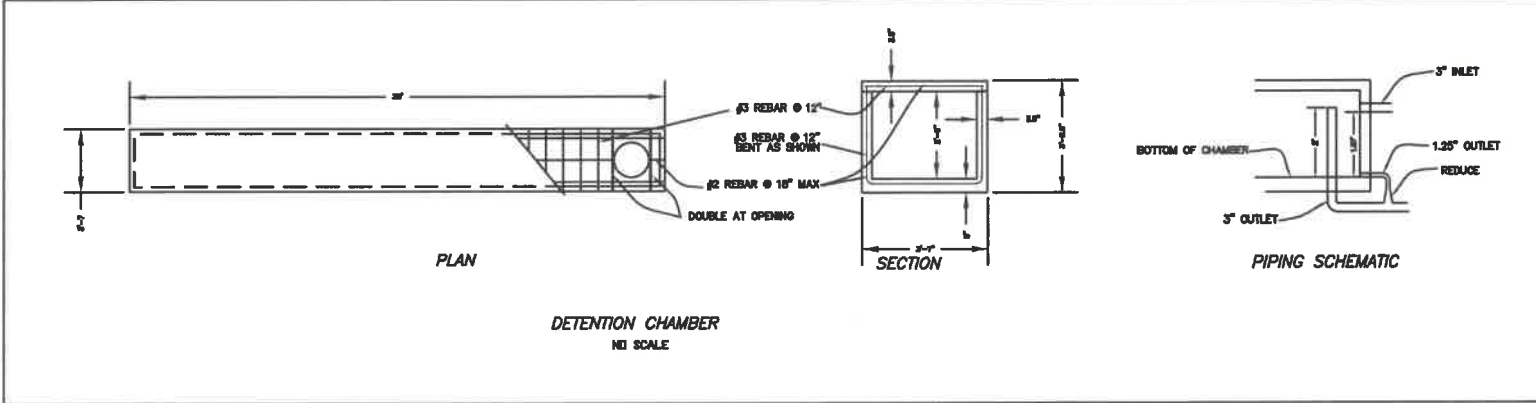
1. Mild steel reinforcement for concrete or masonry construction shall be manufactured, detailed, fabricated, and placed in accordance with the "Building Code Requirements for Reinforced Concrete" (AC308) and the "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (AC308.1) and shall be deformed steel bars conforming to ASTM A615, Grade 40. Ties, stirrups, and laps shall conform to ASTM A615, Grade 40. Reinforcement shall not be bent in the field unless the bars are Grade 40 and are of size #6 or smaller. If Grade 60 reinforcement is specified Grade 40 may be used if bars are lapped by a ratio of 1-1/2 to 1.
2. Reinforcement in concrete and masonry shall have lap splices as follows:

BAR SIZE	LENGTH IN CONCRETE	LENGTH IN MASONRY
#3	18"	18"
#4	18"	20"
#5	18"	20"
#6	18"	20"
#7	20"	25"
#8	24"	40"

3. Reinforcement shall be bent cold and shall not be welded.
4. Reinforcement shall be accurately placed and adequately supported by concrete, masonry or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement.
5. As a minimum, reinforcement in concrete shall have concrete cover as follows: (use values shown on plans or calculations if more restrictive)
 - a) Concrete cast against and permanently exposed to earth...3"
 - b) Formed concrete exposed to earth or weather...2" for #6 & over, 1 1/2" for #6 & smaller
 - c) Concrete not exposed to weather or in contact with ground...3/4"



PERMIT REQUIREMENT:
ANY RETAINING WALL OVER FOUR FEET REQUIRES A BUILDING PERMIT.



08/10/2007	DATE	REVISIONS
R.P.E.	DESIGN BY	
R.S.	DRAWING BY	
R.P.E.	CHECKED BY	
NO.	BY	DATE

TBM: 2200
(CLOSE TO USGS MAP,
BUT NOT EXACTLY MATCHING)

DESCRIPTION:
3/4 INCH IRON PIPE
(NW PROPERTY CORNER)



ENGINEER/SURVEYOR:
RICHARD P. EACOBACCI
NEVADA CITY, CA 95959
(530)265-6715 OR 615-6870

OWNER
ROBERT ST. GERMAIN
20376 RED OAK ROAD
NEVADA CITY, CA 95959
(530)320-3487

SHEET TITLE
PRELIMINARY
IMPROVEMENT PLAN
DORSEY DRIVE
GRASS VALLEY, CA 95945
APN 009-860-025

SHEET CONTENT
DETENTION CHAMBER
DETAILS
RETAINING WALL DETAILS
PROFILES & SECTIONS

ENGINEERING DEPARTMENT CITY OF GRASS VALLEY
PROJECT NAME: DORSEY
DRWN BY: R.P.E. DES. BY: R.P.E. CK'D BY: R.P.S.
PROJECT ENGINEER:
APPROVED BY:
CITY ENGINEER: 58534 RDE NUMBER DATE
PROJECT NUMBER: GP 21-??
SHEET C4 OF 4 DRWG NO.

ADDED FEATURES

OPERATING SPECIFICATIONS

ELECTRICAL SPECIFICATIONS

SPECIFYING INFORMATION

MODELS

DIMENSIONS

OPTIONAL ACCESSORIES

Pressure Loss Data

Flow Rate - GPM	1"	1.5"	2"	3"	4"	6"	8"	10"
1"	5.00	4.00	3.50	3.00	2.50	2.00	1.50	1.00
1.5"	5.00	4.00	3.50	3.00	2.50	2.00	1.50	1.00

Pressure loss data are based on data supplied by the manufacturer. The actual pressure loss may vary.

Pressure Loss Data

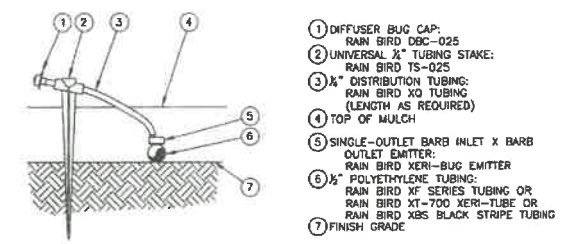
Flow Rate - GPM	1"	1.5"	2"	3"	4"	6"	8"	10"
1"	5.00	4.00	3.50	3.00	2.50	2.00	1.50	1.00
1.5"	5.00	4.00	3.50	3.00	2.50	2.00	1.50	1.00

Pressure loss data are based on data supplied by the manufacturer. The actual pressure loss may vary.

Pressure Loss Data

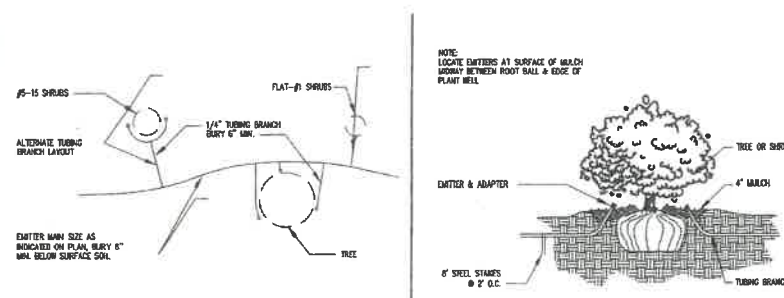
Flow Rate - GPM	1"	1.5"	2"	3"	4"	6"	8"	10"
1"	5.00	4.00	3.50	3.00	2.50	2.00	1.50	1.00
1.5"	5.00	4.00	3.50	3.00	2.50	2.00	1.50	1.00

Pressure loss data are based on data supplied by the manufacturer. The actual pressure loss may vary.

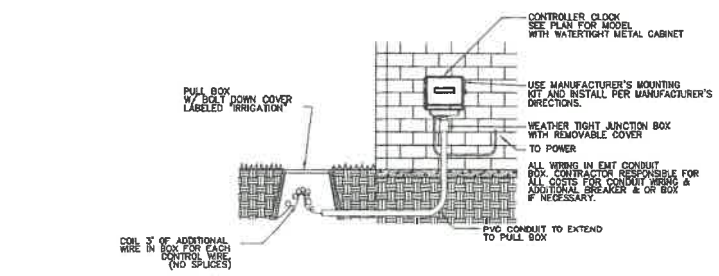


NOTES:
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING.
2. RAIN BIRD X-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
XB-05PC 0.5 GPH XB-10PC 1.0 GPH XB-20PC 2.0 GPH

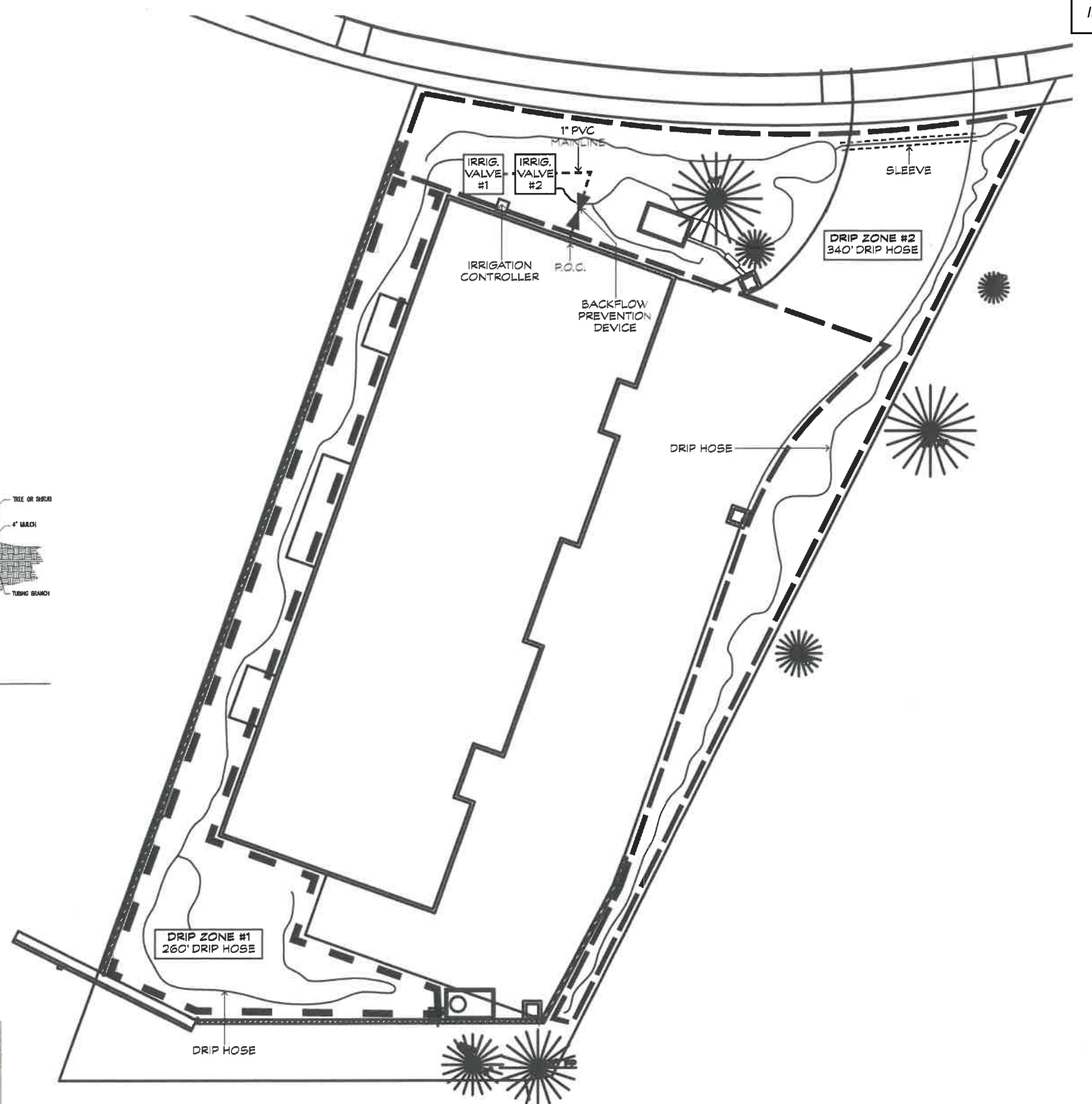
XERI-BUG INTO 1/2-INCH TUBING WITH 1/4" TUBING, STAKE AND BUG CAP
N.T.S.



DRIP EMITTER LOCATION PLAN
SHRUB IRRIGATION



WALL MOUNT IRRIGATION CONTROLLER
SCALE: NOT TO SCALE





SCALE: 1"=10'-0"

ROBERT ST. GERMAIN
DORSEY DR.
IRRIGATION PLAN & DETAILS

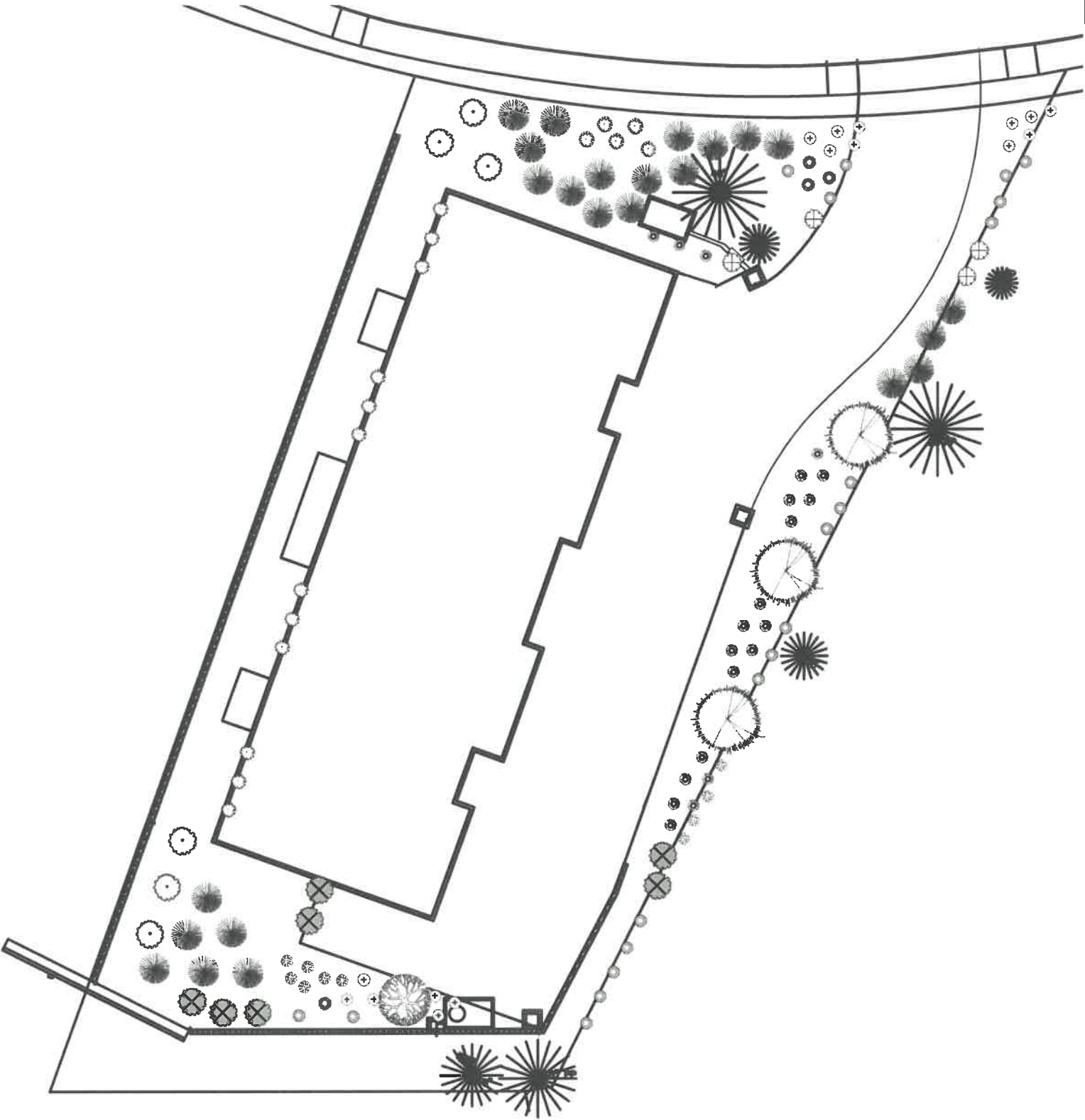
PLANT LEGEND

TREES

	CORNUS 'EDDIES WHITE WONDER'	WHITE DOGWOOD	15 GAL.	3 TOTAL
	ACER PALMATUM 'SANGOKAKU'	JAPANESE MAPLE	15 GAL.	1 TOTAL

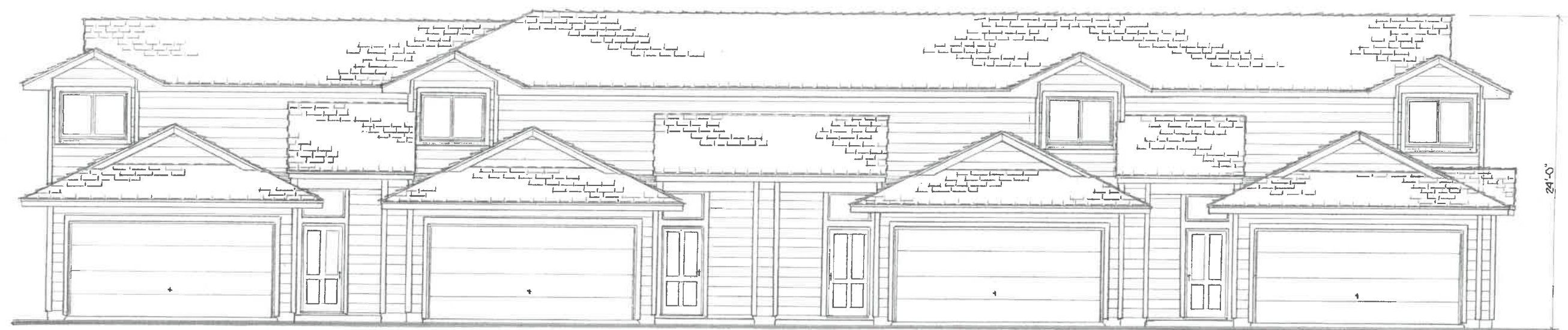
SHRUBS

	OSMANTHUS 'GULF TIDE'	GULF TIDE OSMANTHUS	5 GAL.	7 TOTAL
	BUDDLEJA DAVIDII 'BLACK KNIGHT'	BUTTERFLY BUSH	5 GAL.	6 TOTAL
	ARCTOSTAPHYLOS 'MASSACHUSETTS'	CREEPING MANZANITA	5 GAL.	20 TOTAL
	SPIRAEA BUMALDA 'LIMEMOUND'	LIMEMOUND SPIRAEA	5 GAL.	4 TOTAL
	SALVIA GREGGII 'LIPSTICK'	RED AUTUMN SAGE	5 GAL.	17 TOTAL
	CALAMOGRSTIS 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	24 TOTAL
	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL.	21 TOTAL
	TEUCRIUM CHAMAEDRYS	WALL GERMANDER	1 GAL.	16 TOTAL
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.	10 TOTAL

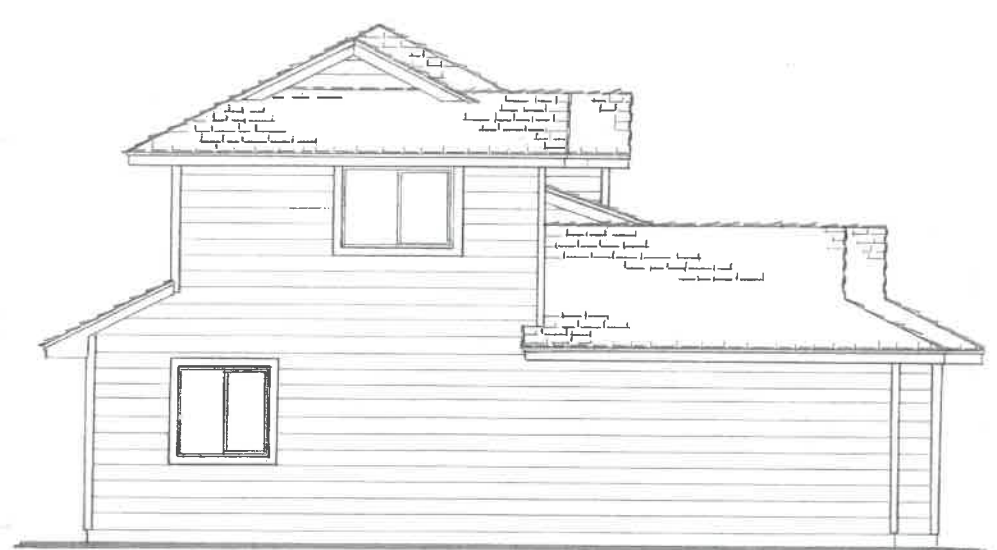


SCALE: 1"=10'-0"

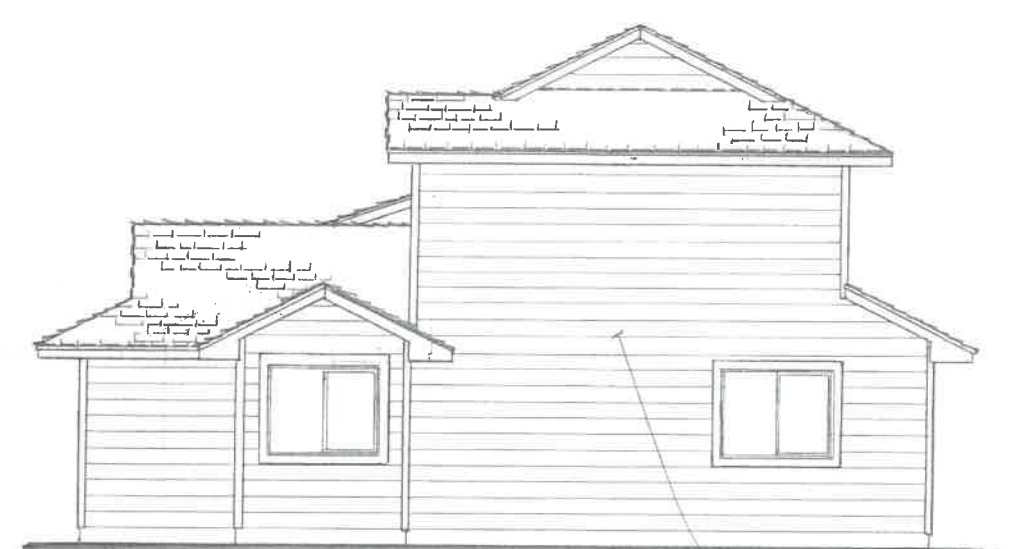
ROBERT ST. GERMAIN
DORSEY DR.
PLANTING PLAN



EAST ELEV.

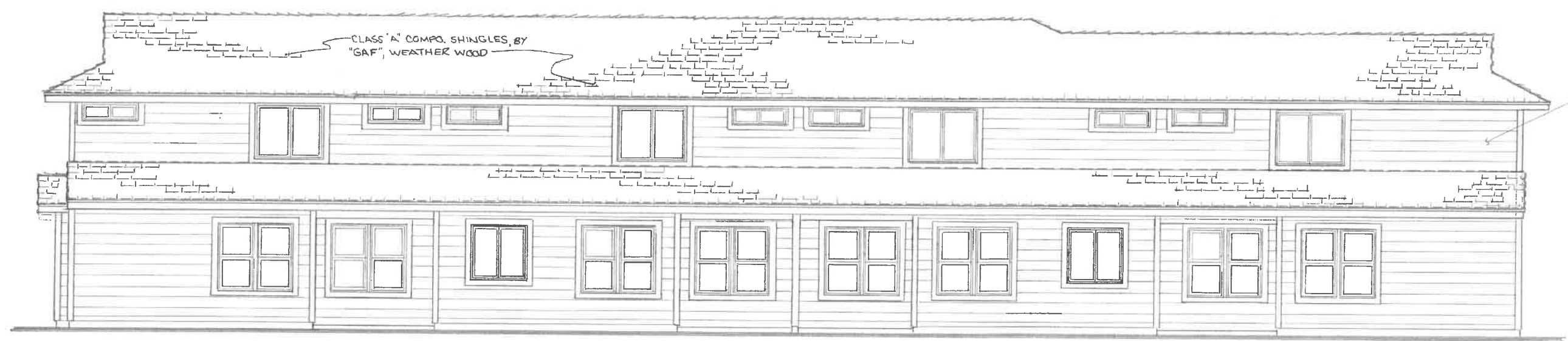


SOUTH ELEV.



NORTH ELEV.

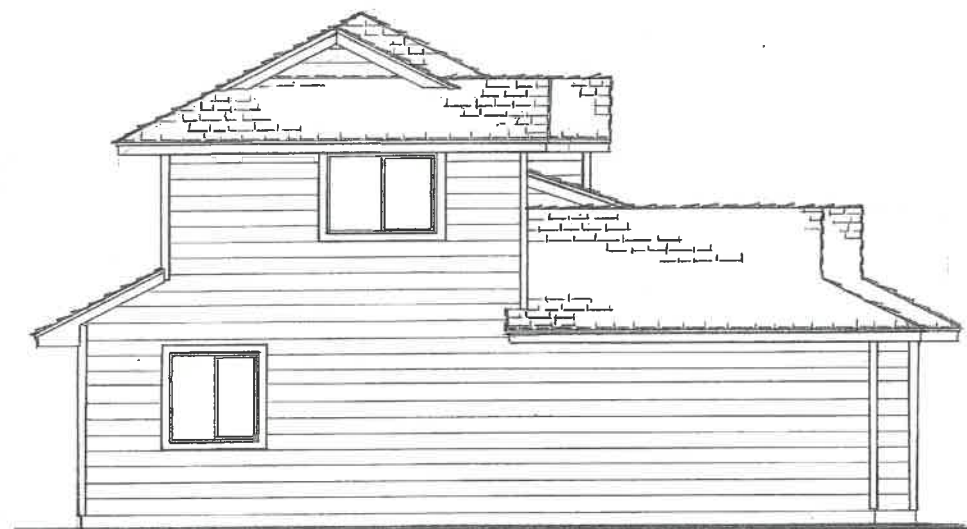
"HARDI-PLANK" SIDING, TYP.



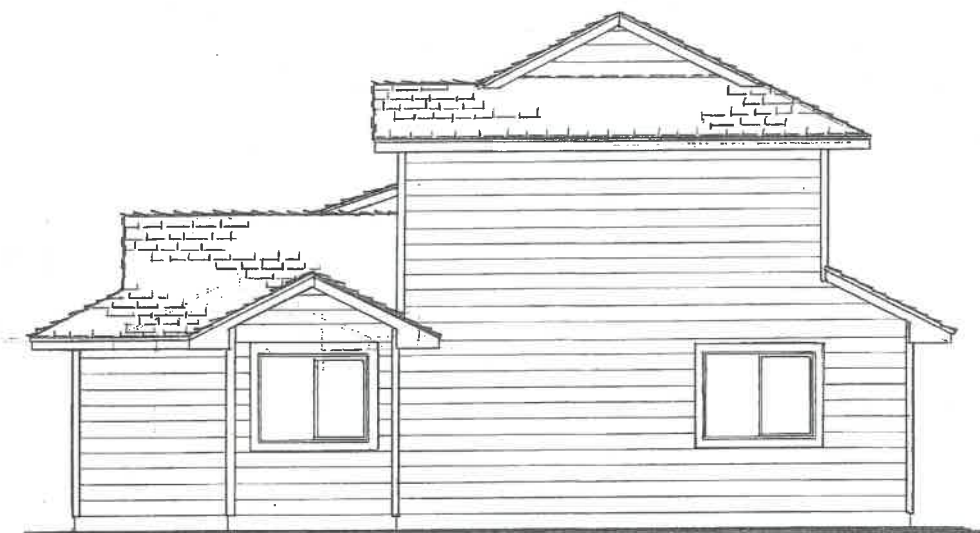
WEST ELEV.



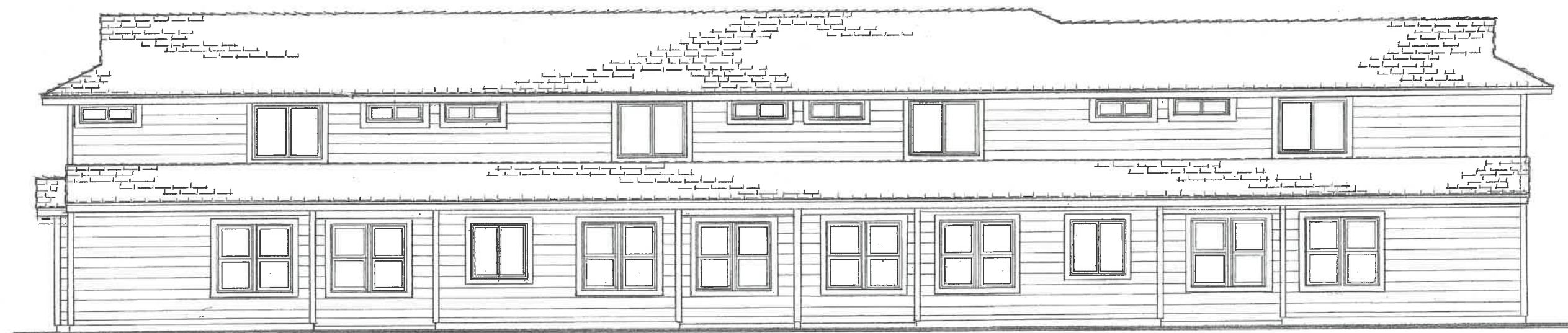
EAST ELEV.



SOUTH ELEV.



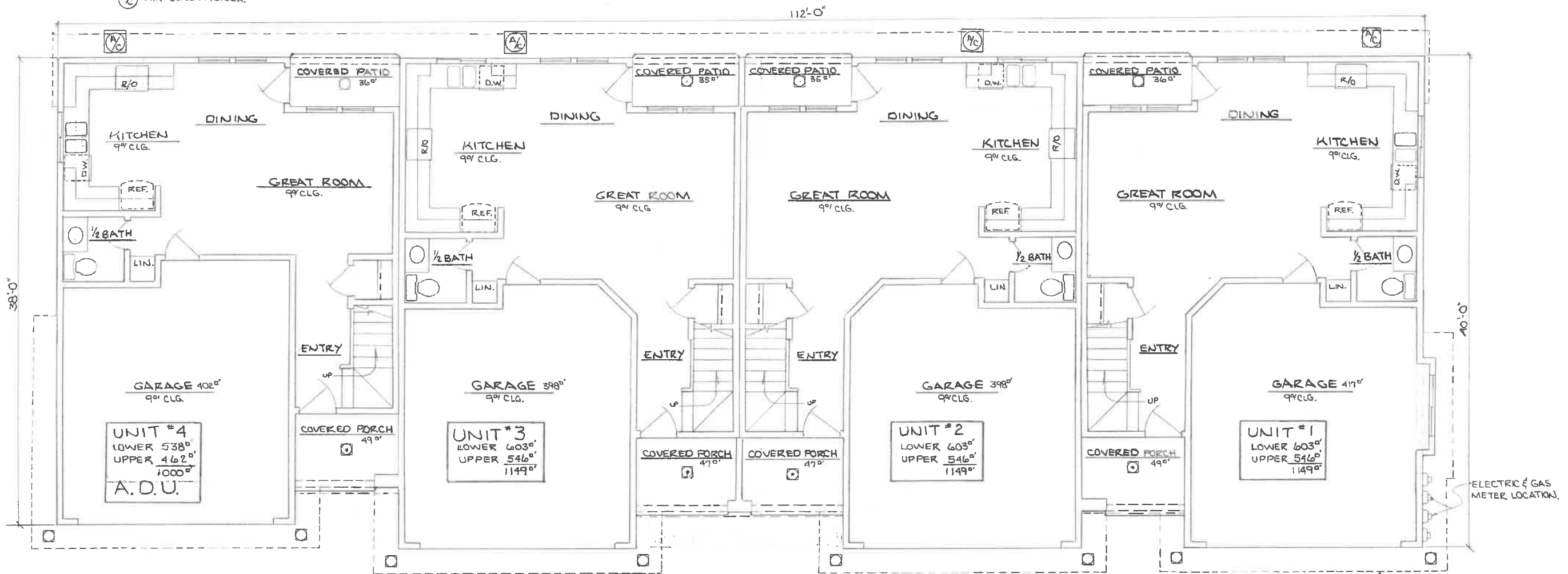
NORTH ELEV.



WEST ELEV.

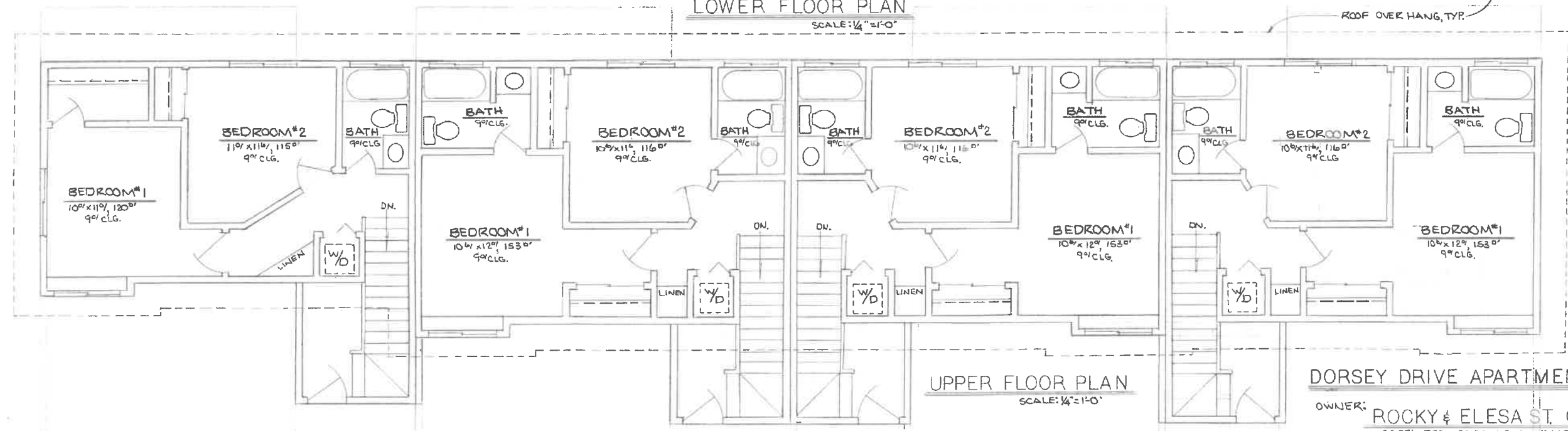
EXTERIOR LIGHTING SYMBOLS

- "HALO" EXTERIOR CAN LIGHTS *RL56049SIEWHR.
- "HALO" EXTERIOR CAN LIGHTS *RL56099SIEWHR.
- Ⓐ AIR CONDITIONER.



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

DORSEY DRIVE APARTMENT PROJECT

OWNER: ROCKY & ELESIA ST. GERMAIN
20576 RED DOG RD, GRASS VALLEY, CA (530) 273-3015
PROJECT A.P.N. 052-101-012