



GRASS VALLEY

Planning Commission Meeting

Tuesday, January 16, 2024 at 7:00 PM
Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California
Telephone: (530) 274-4310 - Fax: (530) 274-4399
E-Mail: info@cityofgrassvalley.com Web Site: www.cityofgrassvalley.com

AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

COMMISSIONERS

Chair Eric Robins, Vice Chair Greg Bulanti, Commissioner Justin Gross, Commissioner Liz Coots, Commissioner Ari Brouillette

MEETING NOTICE

Planning Commission welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 7:00 p.m. on the 3rd Tuesday of each month. Your interest is encouraged and appreciated.

This meeting is being broadcast "live" on Comcast Channel 17 by Nevada County Media, on the internet at www.cityofgrassvalley.com, or on the City of Grass Valley YouTube channel at <https://www.youtube.com/@cityofgrassvalley.com>.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 5pm. Comments received after that will be addressed during the item and/or at the end of the meeting. Commission will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Commission after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Please note, individuals who disrupt, disturb, impede, or render infeasible the orderly conduct of a meeting will receive one warning that, if they do not cease such behavior, they may be removed from the meeting. The chair has authority to order individuals removed if they do not cease their disruptive behavior following this warning. No warning is required before an individual is removed if that individual engages in a use of force or makes a true threat of force. (Gov. Code, § 54957.95.)

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

AGENDA APPROVAL

ACTION MINUTES APPROVAL

1. Minutes for December 19, 2023.

PUBLIC COMMENT - *Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 5pm. Comments received after that will be addressed during the item and/or at the end of the meeting. The Planning Commission will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.*

PUBLIC HEARING ITEMS

2. Sierra Guest Home Expansion at 131 Glenwood Avenue (**23PLN-28, Continued from December 19, 2023**): Variance application to consider the Sierra Guest Home addition into the 20-foot rear setback and in excess of the 50% site coverage limit.
3. Holiday Inn Express project at 961 Plaza Drive (**22PLN-37**): Development Review application for the construction of a three-story, ±42,000 square foot/80 room Holiday Inn Express on a 2.74 acre portion of an 11.77 acre parcel on land zoned Central Business District (C-2)

OTHER BUSINESS

4. Review of City Council Items.
5. Future Meetings, Hearings and Study Sessions

BRIEF REPORTS BY COMMISSIONERS

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a Planning Commission Meeting, scheduled for Tuesday, January 16, 2024 at 7:00 PM was posted at city hall, easily accessible to the public, as of 5:00 p.m. Friday, January 12, 2024.

Taylor Day, City Clerk



GRASS VALLEY
Planning Commission Meeting

Tuesday, December 19, 2023 at 7:00 PM
Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California
Telephone: (530) 274-4310 - Fax: (530) 274-4399
E-Mail: info@cityofgrassvalley.com Web Site: www.cityofgrassvalley.com

MINUTES

COMMISSIONERS

Chair Eric Robins, Vice-Chair Greg Bulanti, Commissioner Justin Gross, Commissioner Liz Coots, Commissioner Ari Brouillette

CALL TO ORDER

Meeting called to order at 7:00PM.

PLEDGE OF ALLEGIANCE

Pledge of allegiance led by Commissioner Coots.

ROLL CALL

PRESENT

Commissioner Ari Brouillette
Commissioner Greg Bulanti
Commissioner Liz Coots
Commissioner Justin Gross
Chairman Eric Robins

AGENDA APPROVAL

Motion made to approve the agenda as submitted by Commissioner Coots, Seconded by Commissioner Bulanti.

Voting Yea: Commissioner Brouillette, Commissioner Bulanti, Commissioner Coots, Commissioner Gross, Chairman Robins

ACTION MINUTES APPROVAL

PUBLIC COMMENT

BUSINESS

1. **Master Sign Program amendment for McKnight Crossing shopping center (23PLN-42)** Location: 101, 111 through 151 W McKnight Way (APN: 029-350-007, -008, -009 & -010. Environmental Status: Categorical Exemption

Recommendation: That the Planning Commission approve the Master Sign Program amendment at the McKnight Crossing shopping center as presented, or as may be modified by the Planning Commission, which includes the following actions: a.

Recommend that the Planning Commission determine the project Categorically Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the Staff Report; b. Recommend that the Planning Commission adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and, c. Recommend that the Planning Commission approve the Development Review Permit in accordance with the Conditions of Approval, as presented in this Staff Report.

Senior Planner, Lucy Rollins, gave presentation to the Commission.

Jim Fitzpatrick, Solutioneer with Mesa Management, gave presentation via Zoom.

Motion made to approve the Master Sign Program amendment at the McKnight Crossing shopping center as presented, or as may be modified by the Planning Commission, which includes the following actions: a. Recommend that the Planning Commission determine the project Categorically Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the Staff Report; b. Recommend that the Planning Commission adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and, c. Recommend that the Planning Commission approve the Development Review Permit in accordance with the Conditions of Approval, as presented in this Staff Report. by Commissioner Coots, Seconded by Commissioner Gross.

Voting Yea: Commissioner Brouillette, Commissioner Bulanti, Commissioner Coots, Commissioner Gross, Chairman Robins

PUBLIC HEARING ITEMS

2. **Development Review and Variance Request for the Sierra Guest Home Expansion for a total of 27 rooms, including two full apartment units, for Supportive Housing use consistent with state requirements. The Variance request is for encroachment of a rear addition into the 20-foot rear setback and exceeding the 50% lot coverage limit (23PLN-28) Location: 131 Glenwood Avenue (APN: 035-270-035) Environmental Status: Categorical Exemption**

Recommendation: That the Planning Commission approve the Development Review and Variance applications for the expansion of the Sierra Guest Home at 131 Glenwood Avenue as presented, or as modified by the Development Review Committee, which includes the following actions: a. Determine the project Categorically Exempt pursuant to Section 15305, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report; b. Adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; c. Approve the Development Review Permit for the expansion of the Sierra Guest Home in accordance with the Conditions of Approval, attached to the Staff Report; and d. Approve the Variance request for encroachment of a rear addition into the 20- foot rear setback, and exceeding the 50% lot coverage limit

City Planner, Amy Wolfson, gave presentation. Architect, Robert Wallis, gave presentation and gave background on the project. Commissioners asked questions about parking and road maintenance.

Public Comment: Wayne Cooley, Rickey Colby, Jason Dan.

City Planner, Amy Wolfson, clarified what is being asked of the Planning Commission on this specific item.

Motion made continue the item to the January 16th, 2024 Planning Commission meeting by Commissioner Brouillette, Seconded by Commissioner Gross.

Voting Yea: Commissioner Brouillette, Commissioner Bulanti, Commissioner Coots, Commissioner Gross, Chairman Robins

3. **Tentative Parcel Map for the division of a ±11.77-acre (County GIS shows 11.83) parcel into two parcels of ±2.74 and ±9.03 acres to accommodate a hotel development. (22PLN-37) Location: 961 Plaza Drive (APN: 035-480-039) Environmental Status: Categorical Exemption**

Recommendation: That the Planning Commission approve the Tentative Parcel Map application for the two-parcel lot split as presented, or as may be modified at the public hearing, which includes the following actions: a. A recommendation that the Tentative Parcel Map project are Categorically Exempt pursuant to Section 15315, Class 15, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report; and b. Adopt Findings of Fact for approval of the Tentative Map Application as presented in the Staff Report; and c. Approve the Tentative Map for the subdivision of ±11.77 parcel into two parcels of ±2.74 and ±9.03 acres as presented in accordance with the Conditions of Approval, attached to the Staff Report.

City Planner, Amy Wolfson, and applicant, Jeffery Morrish, gave presentation to the Commission.

Public Comment: Lance

Motion made by Commissioner Bulanti, Seconded by Commissioner Coots.

Voting Yea: Commissioner Brouillette, Commissioner Bulanti, Commissioner Coots, Commissioner Gross, Chairman Robins

ADMINISTRATIVE

4. **Recommendation to change the Regular Planning Commission time to 6PM**

Recommendation: That the Planning Commission recommend that City Council adopt the attached draft Resolution to change the regular meetings of the Planning Commission to 6 p.m. on the third Thursday of each calendar month beginning February 1, 2024

Correction to the agenda, this would be on the third Tuesday, not Thursday as written in the recommendation.

Motion made to recommend that City Council adopt the attached draft Resolution to change the regular meetings of the Planning Commission to 6 p.m. on the third Tuesday of each calendar month beginning February 1, 2024 by Chairman Robins, Seconded by Commissioner Gross.

Voting Yea: Commissioner Brouillette, Commissioner Gross, Chairman Robins

Voting Nay: Commissioner Bulanti, Commissioner Coots.

OTHER BUSINESS

5. Review of City Council Items.
6. Future Meetings, Hearings and Study Sessions

BRIEF REPORTS BY COMMISSIONERS

ADJOURN

Meeting adjourned at 9:01PM.

Eric Robins, Chair

Taylor Day, City Clerk

Adopted on: _____

Miranda Bacon

From: Katie Bath <[REDACTED]>
Sent: Monday, December 18, 2023 7:24 PM
To: Public Comments
Subject: Variance Request 131 Glenwood

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Good evening,

My name is Katie Adams and my husband and I reside at 142 Glenwood Ave. in Grass Valley. I am unable to attend the meeting as my husband is working nights. And I work early for Nevada County animal control. Though we are unable to make it I did want to bring a question forward, to both the city and the Hospitality House.

Due to the adding of beds/units causes increased traffic of not only residents, guests, employees, county social workers which is significant traffic. But the contractors, city employees and emergency personnel tending to residents at the home as well brings concern to the condition of the road. There is also city infrastructure beneath the road that may be damaged by the continued traffic.

My question is would the city be willing to turn Glenwood Ave into a city street? To aid in the maintenance and stability of the road and aid the residents and operations of Hospitality House with fulfilling their duties to their residents.

Our home has been in my husbands family for over 50 years and this has always been a residential road. The rest home when previously owned always had 10 residents or less and there was nowhere near the traffic the road has now.

If the city is not willing to turn the road into a city street and aid with paving and maintenance. I want to make a point that if the Hospitality House were to be granted this variance, that they agree in writing to pave and maintain the road due to the main source of the traffic coming from their establishment.

I hope you please take into account the thoughts and concerns of us in the neighborhood whose property values have already been affected by a homeless shelter moving in without warning. We would really appreciate the necessary action being taken to correct the previous and continuous wear damaging the road.

Please respond to confirm that you have received my email.

Thank you and Happy Holidays,

Daniel and Katie Adams
142 Glenwood Ave.

Miranda Bacon

From: Nicholas Koch Correia <[REDACTED]>
Sent: Tuesday, December 19, 2023 1:11 PM
To: Public Comments
Subject: Opposition to Proposed Subsidized Housing Facility Expansion (APN 035-270-035)

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Members of the Grass Valley Planning Commission,

This letter is a supplement to my previous letter in opposition to the above referenced proposed 27 residential units development. In addition to the points of opposition in my letter of 12/12/23, I am hereby raising the following additional opposition concerns:

1. Environmental Status: Your December 19, 2023 Staff Report for Application #23PLN-28 for "Development Review and Variance Request for the Sierra Guest Home Expansion, for a total of 27 Rooms, Including Two Full Apartment Units for Supportive Housing Use Consistent With State Requirements":

- a. States: at page 1 "Data Summary: Environmental Status: Categorical Exemption".
- b. States at page 4 "Environmental Determination - The Variance request qualifies for a Categorical Exemption pursuant to Section 15305 Class 5 of the California Environmental Quality Act (CEQA) and Guidelines. A Class 5 Categorical Exemption consists of minor alterations to land use limitations where the site has an average slope not exceeding 20% and there is no change in land use density (emphasis added)...."
- c. The County of Nevada Parcel Report (as of 11/27/23 included with the Planning Commission report) lists the parcel 035-270-035's Acreage as 0.20.
 - i. Therefore, the site's current density is: 75 dwelling units per acre (15 current dwelling units ÷ 0.20 acres = 75 dwelling units per acre).
 - ii. The site's proposed density is: 135 dwelling units per acre (27 proposed dwelling units ÷ 0.20 acres = 135 dwelling units per acre).
- d. This development is proposing a change in land use density from 15 to 27 dwelling units per 0.20 acre. Thus the proposed Variance Request #23PLN-28 does not qualify for a Categorical Exemption pursuant to CEQA and its Guidelines because there is a substantial proposed change in dwelling units per acre land use density.

2. Parking Congestion: Current parking for this development seems to consist of across-the-street approximately seven unpainted spaces posted with "no parking - Sierra only" signs. There does not seem to be any additional on-site parking on the proposed project's site plan. The proposed development's minimal parking seems inadequate given the proposed increased density not only of residents but also of visiting doctors, health personnel, family and friends, custodians, plus facility management. This lack of adequate parking will result in on-street parking congestion which seems an unfair burden to impose on the other residents of our neighborhood/street.

3. Design Concerns: Also, I suggest further consideration of the following tenant issues:

- a. Lack of adequate number of toilets for proposed elderly in need of supportive housing: The site plan shows 25 non-apartment residential units for seniors with ten available toilets. This seems inadequate given the target population, many of

whom may or will suffer from incontinence. More toilets would seem a humane requirement.

b. The dwelling units are very small: They range from 92 to 138 square feet, with approximately 100 square feet being the typical dwelling unit size. When a bed and closet are installed, there will be very little living space within individual units.

c. Lack of adequate open space for tenant use/enjoyment: The proposed 20 foot rear extension of the building would seem to eliminate the site's current rear open space and will deprive the residents of their yard space to sit outside.

4. Relocation Payments Due to Displaced Tenants: The subject report at page 2, paragraph 6 "Project description", references "...abatement of lead and asbestos within the existing structure." Certainly residents will need to be relocated and housed elsewhere during the lead and asbestos remediation work. However, the subject report does not address whether and how tenant relocation will be addressed nor how the lead and asbestos will be environmentally disposed of.

5. Possible Payment of State and/or Federal Prevailing Wages: The subject report does not address whether the proposed work will utilize public funds either from the State of California and/or the federal government and if so, whether the project will pay the required State Prevailing Wages or the federal Davis Bacon Prevailing Wages.

6. Lack of Meeting Notice to Neighborhood Residents: Finally, let me note my disappointment that the Grass Valley Planning Commission did not provide me with actual notice of this meeting's proposed action nor did they provide me with notice of the, (as stated in page 4's Findings #2), Grass Valley Development Review Committee November 14, 2023 meeting to review the project's application. I learned of this meeting via a discussion with a concerned neighbor. In fairness, neighbors within 300 feet of important land use proposed sites should be given actual notice of public meetings via mail or email.

Sincerely,
Nicholas Correia

P.S. Please redact my phone number and address from my December 12, 2023 letter that has been posted on your website. Thank you.



**PLANNING COMMISSION
STAFF REPORT
JANUARY 16, 2024**

Prepared by: Amy Wolfson, City Planner

DATA SUMMARY

Application Number: 23PLN-28
Subject: Development Review and Variance Request for the Sierra Guest Home Expansion for a total of 27 rooms, including two full apartment units, for Supportive Housing use consistent with state requirements. The Variance request is for encroachment of a rear addition into the 20-foot rear setback and exceeding the 50% lot coverage limit
Location/APNs: 131 Glenwood Avenue/035-270-035
Applicant: Foothill House of Hospitality
Representative: Nancy Baglietto
Zoning/General Plan: Single-Family Residential (R-1)/Urban Low Density (ULD)
Entitlement: Development Review Permit, Variance
Environmental Status: Categorical Exemption

RECOMMENDATION:

1. That the Planning Commission approve the Development Review and Variance applications for the expansion of the Sierra Guest Home at 131 Glenwood Avenue as presented, or as modified by the Development Review Committee, which includes the following actions:
 - a. Determine the project Categorical Exempt pursuant to Section 15305, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report;
 - b. Adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report;
 - c. Approve the Development Review Permit for the expansion of the Sierra Guest Home in accordance with the Conditions of Approval, attached to the Staff Report; and
 - d. Approve the Variance request for encroachment of a rear addition into the 20-foot rear setback, and exceeding the 50% lot coverage limit

BACKGROUND:

The existing residence is 5,274 square feet and was constructed in 1957 according to Assessor records. The building has operated as a Senior Care Facility, licensed by the State since April

1989. The Foothill House of Hospitality purchased the facility in 2021 and has operated it as a supportive housing facility as defined by the state in Government Code Section 65582, serving the target population as defined in that same section.

The Development Review Committee reviewed the project at their November 14, 2023 meeting and recommended approval (4 to 0, Hutchins absent) of the project with the following requests to be completed prior to going before the Planning Commission:

- Provide an arborist report in order to provide additional justification for the Variance request and condition of the existing overhanging tree.
 - *Applicant submitted an Arborist Report by Greg Matuzak dated November 30, 2023, which concludes that the health of the tree would be compromised by limb removal.*
- Consider additional aesthetic treatments to the rear elevation.
 - *Applicant has amended the rear elevation with added window shutters, altered the siding to include both horizontal lap and vertical siding, and included a color change that corresponds to the siding change.*
- Consider a screening treatment for the trash cans.
 - *Applicant added a fencing screen for the trash cans.*

The planning commission heard the Variance proposal at their meeting held on December 19, 2023. The commission continued the hearing to the regular meeting of January 16, 2024 and asked the applicant to provide more design information for the two-story scenario that would meet the setback and lot coverage standards. They also requested that the coverage limit percentage calculated for the one-story scenario be double-checked. The applicant has updated their plans (attachment 6) to include a lot coverage diagram and calculations for existing coverage and proposed coverage (sheet 12). According to their comparison, the site coverage is actually greater for the existing development than the proposed development due to proposed conversion of hardscape to pervious paver or decking material, and the addition of a small area of landscaping. It is also worth noting that the 2-story scenario shows a total of 33 supportive housing units as opposed to the 27 units proposed under the one-story expansion as currently proposed.

PROJECT PROPOSAL:

Project description: This Development Review Permit application is for an expansion of the facility from 17 to 27-bedroom units and to 9,578 sq ft. Two of the units will be studio apartments, replacing two existing apartment units that are proposed for demolition. The proposed apartment units will be used to house tenants seeking more independent living situations such as an on-site manager or recuperative care tenants. Along with the expansion, the building will be remodeled which will include abatement of lead and asbestos within the existing structure. New exterior finishes include painted horizontal lap siding, shake shingles, and new asphalt shingle roofing.

Supportive Housing Use: Pursuant to Table 2-7 of the Grass Valley Municipal Code, Supportive Housing is a permitted use in the single-residential (R-1) zoning district. Government Code Section 65583(a)(5) states that "Transitional housing and supportive

housing shall be considered a residential use of property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone." There are no restrictions in the current development code that would disallow the proposed development as a single-family residence except with respect to the requested Variance (discussed below) and with respect to the second studio apartment (one studio could be considered an allowed Accessory Dwelling Unit (ADU). However, the combined square footage of the two studios could qualify under the city's size restrictions for an ADU. The applicant has indicated in the project description that these would be converted to a single unit and one of the kitchenettes removed upon conversion of the facility to a use other than supportive housing. Because the use of the apartments to serve tenants with more independent needs is a use that is integral to the services needed to meet the goals of the supportive housing facility, staff is suggesting that the planning commission make a finding to support the second apartment unit based on its use to serve the supportive housing use and the commitment by the applicant to remove one at such time the facility is no longer used for supportive housing. It should also be noted that the applicant is proposing to remove a detached two-apartment structure as part of this application, but staff has been unable to substantiate whether they were constructed legally.

Variance: Pursuant to section 17.72.070, the purpose of a Variance process is to consider requests to waive or modify standards in the development code due to special circumstances applicable to the property. In this case, the applicant is intending to avoid a second story addition, which they could provide in compliance with the existing setback and lot coverage standards. However, the construction of a second story would compromise an existing oak tree on the neighboring property, that hangs over the subject building. Additionally, neighboring property owners have expressed a preference for the one-story addition due to concerns that a two-story addition would not fit as well with the character of the neighborhood.

The rear setback for R-1 designated properties is 20% of the lot depth, up to a maximum of 20-feet. The 150-foot lot depth of this property sets the rear setback at 20-feet. The rear addition is proposed to be as close as 6 feet, 7 inches from the rear property line. The site coverage limit for R-1 is 50% and includes all the impervious surfaces on a lot. The proposed development will have impervious coverage up to 67% of the site. Again, both the coverage limits and the setbacks standards could be met with a second-story, as opposed to the proposed single-story addition. The applicant is requesting that the commission consider the health of the tree that would be compromised with a second-story proposal, as a special circumstance that deprives the property owners the ability to build out in compliance with setback and lot coverage standards.

At the DRC's request, the applicant provided an Arborist and Tree Survey, dated November 30, 2023 that considers impacts of the development to the overhanging blue oak tree. Biologist, Greg Matuzak concludes that additional removal of branches of the native tree could ultimately cause hazards such as tree death or impacts to structural foundations due to the root system becoming unstable. Matuzak recommends the one-story development scenario as proposed in order to best preserve the tree.

GENERAL PLAN AND ZONING:

General Plan: The Urban Low Density (ULD) General Plan designation includes a density range of 1 to 4 dwelling units per acre. ULD is intended primarily for single family detached houses, although higher density single family patio homes or Town houses could be

accommodated, if offset with sufficient open space to maintain the gross density within the indicated range. ULD is most compatible with the following Zoning districts: Single Family Residential (R-1) and Two-Family Residence (R-2) districts.

Zoning: The Single-Residential Zone (R-1). The R-1 zone is applied to areas of the city that are appropriate for neighborhoods of single dwellings on standard urban lots, surrounding the more densely developed city core. The r-1 zone is consistent with and implements the urban low density (ULD) designation of the general plan.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The subject site is located within a single-family neighborhood on Glenwood Avenue, primarily consisting of one-story homes. Many of the homes were constructed in the late 1930s/ early 1940s, prior to 1962 building code requirements and land use development standards. Several neighboring homes encroach into setbacks applicable under the current development code. The site drains from south to north and has an approximate slope of 7%. There are no waterbodies or streams located on the property.

ENVIRONMENTAL DETERMINATION:

Use of the site for supportive housing is permissible under the Grass Valley Municipal Code and considered a ministerial project and therefore not subject to the California Environmental Quality Act (CEQA). The Variance request qualifies for a Categorical Exemption pursuant to Section 15305, Class 5, of the California Environmental Quality Act (CEQA) and Guidelines. A Class 5 Categorical Exemption consists of minor alterations to land use limitations where the site has an average slope not exceeding 20% and there is no change in land use density "including set back variances not resulting in the creation of any new parcel."

FINDINGS:

1. The City received a complete application for Development Review Application 23PLN-28.
2. The Grass Valley Development Review Committee reviewed Development Review Application 23PLN-28 at their regular meeting on November 14, 2023.
3. The Development Review Committee reviewed the project in compliance with the California Environmental Quality Act and concluded that the project qualifies for a Class 5, Categorical Exemption in accordance with the California Environmental Quality Act and CEQA Guidelines.
4. The project is consistent with the applicable sections and development standards in the Development Code.
5. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
6. The two proposed studio apartments may be permitted as an integral part of the supportive housing facility for which the applicant has committed to converting to a single ADU with removal of one kitchenette upon any conversion of the use to anything other than a supportive housing use.

7. The proposed project is consistent with the general plan and any applicable specific plan
8. The proposed project is allowed within the applicable zone and complies with all other applicable provisions of this development code and the Municipal Code; and
9. The design, location, size, and characteristics of the proposed project are in compliance with any project-specific design standards in effect and any standards and guidelines for development review permits which may be established from time to time by the council.
10. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, such as the tree which prevents second story expansion, so that the strict application of this development code deprives the property of privileges enjoyed by other properties in the vicinity and within the same zone
11. The approval of the variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and
12. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

RECOMMENDED CONDITIONS:

1. The approval date for planning commission review is December 19, 2023 with an effective date of Thursday, January 4, 2023 pursuant to Section 17.74.020 GVMC. This project is approved for a period of one year and shall expire on January 4, 2024 unless the project has been effectuated or the applicant requests a time extension that is approved by the Development Review Committee pursuant to the Development Code.
2. The final design shall be consistent with the Development Review application and plans provided by the applicant and approved by the planning commission (23PLN-28). The project is approved subject to plans on file with the Community Development Department. The Community Development Director may approve minor changes as determined appropriate.
3. All commitments made by the applicant as part of the presented project shall be upheld by future/successor heirs/owners.
4. Prior to any work occurring, building permits shall be obtained from the Community Development Department, Building Division.
5. Prior to issuance of building or grading permits, the applicant shall conduct a "Water Demand Analysis" as required by the Nevada Irrigation District (NID) to evaluate the existing $\frac{3}{4}$ -inch domestic meter is adequate for the demand of the project. An NID will-serve letter shall be provided to the City Planner.
6. The project shall be designed in accordance with the requirements of all applicable codes, standards, and local ordinances, including but not limited to; 2022 CFC, NFPA 13-22

(standard for the installation, testing, and maintenance of fire sprinkler systems), and NFPA 72-22 (standard for the installation, testing, and maintenance of fire alarm systems).

7. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.
8. The requirements of the 2022 CBC, CMC, CPC, CEC, and CFC apply.
9. Maximum openings on exterior walls shall be per CBC 705.8
10. Plans shall include architectural, structural, mechanical, electrical and plumbing plans.
11. Applicable energy conservation compliance forms are required.
12. Calgreen compliance is required.
13. Plans, specifications and calculations must be prepared by or under the direct supervision of an architect or a civil or structural engineer licensed by the state of California.

ATTACHMENTS:

1. Aerial Map
2. Vicinity Map
3. Applications
4. Architectural Plans
5. Arborist and Tree Survey Report

**Sierra Guest Home Expansion
at 131 Glenwood Avenue**

Project Submittal Attachment List

1. Vicinity Map
2. Aerial Map
3. Applications (includes applicant and architect statements)
4. Sierra Guest Home Plans (renderings, site plan, floor plans, etc)
 - a. Items requested by planning commission:
 - i. Site Coverage Clarification (catalogs calculations of various surfaces for both the existing and proposed development)
 - ii. Two-Story Design Scenario (includes elevation sheets, floor plan, and rendering)
5. Arborist and Tree Survey report, 11/3/23 - Greg Matuzak

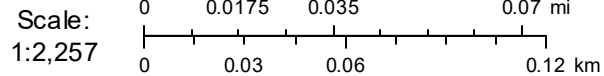
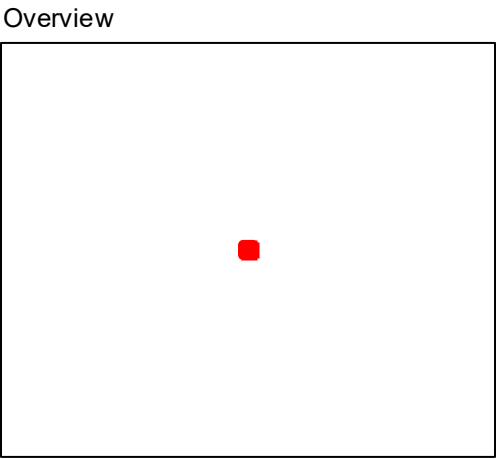
131 Glenwood - Vicinity Map

Item # 2.



Parcel APN: 035-270-035
131 GLENWOOD AVENUE

Land Value: \$102,000.00
Improvement Value: \$586,500.00
Acreage: Unknown
Zoning: R-1 GVCity
General Plan: ULD GVCity
Fire District: Grass Valley
Elementary Sch. Dist: Grass Valley
Water District:
Nevada Irrigation Dist: NID Water - Zone 1.0
Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 49 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,657 feet



131 Glenwood - Aerial Map

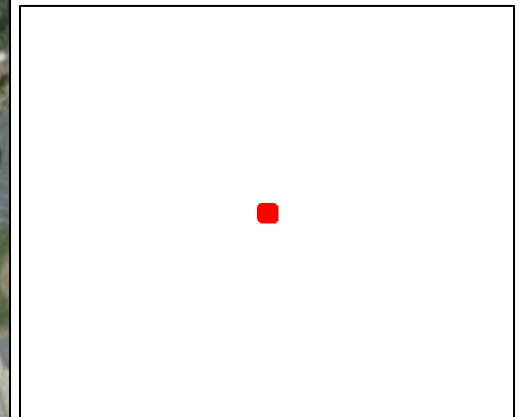
Item # 2.



Parcel APN: 035-270-035
131 GLENWOOD AVENUE

Land Value: \$102,000.00
Improvement Value: \$586,500.00
Acreage: Unknown
Zoning: R-1 GVCity
General Plan: ULD GVCity
Fire District: Grass Valley
Elementary Sch. Dist: Grass Valley
Water District:
Nevada Irrigation Dist: NID Water - Zone 1.0
Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 49 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,657 feet

Overview



UNIVERSAL PLANNING APPLICATION
 * DUE WITH EVERY PLANNING APPLICATION *



Application Types

Administrative

- Limited Term Permit \$6 .00
- Zoning Interpretation \$224.00

Development Review

- Minor Development Review – 10,000 or less sq. ft. \$1, 13.00
- Major Development Review – over 10,000 sq. ft. \$3,2 3.00
- Conceptual Review - Minor \$45 .00
- Conceptual Review – Major \$7 2.00
- Plan Revisions – Staff Review \$316.00
- Plan Revisions – DRC / PC Review \$ 31.00
- Extensions of Time – Staff Review \$2 2.00
- Extensions of Time – DRC / PC Review \$6 7.00

Entitlements

- Annexation 7, 43. (deposit)
- Condominium Conversion 4, 23. (deposit)
- Development Agreement Review 1 ,463. (deposit)
- Development Agreement Revision 6, 3.
- General Plan Amendment 7,377.
- Planned Unit Development .15 . (minimum charge) 1 . dwelling unit and or 1 every 1, sq. ft. commercial floor area
- Specific Plan Review - New actual costs - 16, 66. (deposit)
- Specific Plan Review - Amendments Revisions actual costs - 6, 6. (deposit)
- Zoning Text Amendment 3,1 2.
- Zoning Map Amendment 5, 73.

Environmental

- Environmental Review – Initial Study \$1,713.00
- Environmental Review – EIR Preparation \$31,6 4.00 (deposit)
- Environmental Review - Notice of Determination \$14 .00 (+ Dept. of Fish and Game Fees)
- Environmental Review - Notice of Exemption 14 . (+ County Filing Fee)

Sign Reviews

- Minor D C, historic District, Monument Signs or other districts having specific design criteria 313.
- Major Master Sign Programs 1,27 .
- Exception to Sign Ordinance 64.

Subdivisions

- Tentative Map (4 or fewer lots) 3,4 3.
- Tentative Map (5 to 10 lots) 4, 57.
- Tentative Map (11 to 25 lots) 6,5 3.
- Tentative Map (26 to 50 lots) , 15.
- Tentative Map (51 lots or more) 13, 4 .
- Minor Amendment to Approved Map (staff) 1,114.
- Major Amendment to Approved Map (Public Hearing) 2,436.
- Reversion to Create 765.
- Tentative Map Extensions 1, 47.
- Tentative Map - Lot Line Adjustments 1,2 .

Use Permits

- Minor Use Permit - Staff Review 4 .
- Major Use Permit - Planning Commission Review 3, 35.

Variations

- Minor Variance - Staff Review 51 .
- Major Variance - Planning Commission Review 2, 2 .

<u>Application</u>	<u>Fee</u>
Major Use Permit	\$3,035
Major Variance	\$2,029
Total:	\$5,064

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at www.cityofgrassvalley.com regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1st** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

<u>Applicant/Representative</u>	<u>Property Owner</u>	Item # 2.
Name: Nancy Baglietto	Name: Foothill House of Hospitality	
Address: 488 Crown Point Circle	Address: 488 Crown Point Circle	
Grass Valley, California 95945	Grass Valley, California 95945	
Phone: 530-615-0807	Phone: 530-615-0807	
E-mail: nbaglietto@hhshelter.org	E-mail: nbaglietto@hhshelter.org	

<u>Architect</u>	<u>Engineer</u>
Name: Robert Wallis	Name: Jon Martin
Address: 415 W Main St	Address: 2204 Plaza Drive, Suite 130
Grass Valley, CA 95945	Rocklin, CA 95765
Phone: 530-264-7010	Phone: 916-256-4816
E-mail: robert.wallis@wdsa.us	E-mail: jonm@martinconsultinggroup.biz

1. Project Information

- a. Project Name Sierra Guest Home Expansion
- b. Project Address 131 Glenwood Ave, Grass Valley, CA 95945
- c. Assessor's Parcel No(s) 035-270-035
(include APN page(s))
- d. Lot Size 20 Acres

2. Project Description Project consists of demolition of two existing out buildings on site, as well as a previous (existing) addition to the main building at the back of the lot. Demolition will also include abatement of lead and asbestos within the existing structure. New finishes will be added to the exterior of the building, consisting of painted horizontal lap siding, shake shingles, and new asphalt shingle roofing. A new addition to the rear and west of the building will include 10 dorm-style bedrooms with two shared bathrooms and shower rooms, as well as two studio apartments.

3. General Plan Land Use: ULD GVCity **4. Zoning District:** R-1 GVCity

4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y _____ N x_____

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney’s fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney’s fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16th day following the date by the appropriate review authority, where no appeal of the review authority’s action has been filed in compliance with Chapter 17.91 of the City’s Development Code.

The 15-day period (also known as the “appeal” period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15th day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/*Representative Signature: _____

****Property owner must provide a consent letter allowing representative to sign on their behalf.***

Applicant Signature: _____

--OFFICE USE ONLY--	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	

VARIANCE



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE
USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

- I. Provide a written response for the variance request and provide a written justification statement to support findings listed in Section 17.72.070 F of the Development Code, including the following:
 - A. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, so that the strict application of this Development Code deprives the property of privileges enjoyed by other property in the vicinity and within the same zone;
 - B. The approval of the Variance or Minor Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and,
 - C. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

II. Project Characteristics:

A. Describe all existing buildings and uses of the property: Main building consists of 17 dorm style bedrooms main building at the back of the lot. Demolition will also include abatement of lead and asbestos within the existing structure. New finishes will be added to the exterior of the building, consisting of painted horizontal lap siding,shake shingles, and new asphalt shingle roofing. A new addition to the rear and west of the building will include 10 dorm-style bedrooms with two shared bathrooms and shower rooms, as well as two studio apartments.

B. Describe surrounding land uses:

North: Private Road (Single family residence across street)
South: Undeveloped land
East: Single family residence
West: Single family residence

SITE PLAN REQUIREMENTS

A site plan is a scale drawing that depicts a property's size and shape, existing improvements on the property, and improvements or additions which are intended to be added. The site plan should be as complete and accurate as possible since it will be used by several City departments to check various requirements of the development application. Please place a check or N/A on the line provided in the below checklist. Submit this page along with the map and application packet.

A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

B. Site Plan Submittal:

- Site Plan size – one 8-1/2" x 11", 15 larger folded copies (folded to 9" x 12") with one 8.5 x 11" reduced copy and e-mail electronic .pdf file.
- Graphic scale and north arrow.
- Vicinity map (showing property location to major roads or major landmarks).
- Show location and dimensions of existing and proposed structures and walls.
- (Identify existing as a solid line and proposed as a dashed line).
- Label the use of all existing and proposed structures or area.
- Show the distance between structures and to the property lines.
- Show site access, location and dimensions of adjacent street right-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking facilities, including parking area and layout, loading areas trash storage areas, dimensions and numbers of individual parking spaces (including handicapped spaces) and aisles.

Pathways to Housing  **Hospitality House**

October 26, 2023

Board of Directors

David Langness
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Catherine Ayers
Vice-President

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Board Treasurer

Fran Haulman Herbst
Secretary

Jeff Dellis
Board Member

Michael McDonald
Board Member

Larry Messer
Board Member

David Reader
Board Member

Reed Schreiter
Board Member

Mark Vieaux
Board Member

Jamal Walker
Board Member

Nancy S. Baglietto, MSW
Executive Director

Amy Wolfson
City Planner
City of Grass Valley
Development Review Committee
125 East Main Street
Grass Valley, CA 95945

Dear Ms. Wolfson:

I am writing this letter in reference to Hospitality House’s application number: 23PLN-28 for the Development Review and Variance Request for the Sierra Guest Home Expansion located at 131 Glenwood Avenue.

As we have discussed, Hospitality House seeks to increase the building for a total of 27 rooms, including two full apartment units. All of the units are part of a permanent supportive housing project that is consistent with state requirements as defined by Government Code Section 65582. Through the expansion of the Sierra Guest Home, Hospitality House will be able to continue serving this same target population as defined in that same section, albeit in greater numbers to help meet the growing number of people needing housing.

Ensuring that two of the additional units are complete Accessory Dwelling Units (ADUs) with a separate kitchen is integral to Hospitality House’s supportive housing use. Both units will be used for residents needing independent living space which may include for psychosocial reasons or because of physical limitations, or both. Hospitality House understands that if the Sierra Guest Home ceases to operate as a permanent supportive housing program, one of the ADUs would have to have the kitchen removed. This said, permanent supportive housing is core to Hospitality House’s mission.

If I can provide any additional information, please do not hesitate to contact me. I would be pleased to assist in any way that I can.

Sincerely,



Nancy S. Baglietto
Executive Director/CEO



WALLIS DESIGN STUDIO ARCHITECTS

Listening. From design to completion.

www.wallisdesignstudio.com

SIERRA GUEST HOME – VARIANCE JUSTIFICATION

Dear Amy Wolfson,

We are requesting a variance for the property of 131 Glenwood Ave. This variance will pertain to both the rear yard setback, as well as the impervious surface calculations at the site.

The request for the exception of the rear yard setback is due to a large oak tree that sits on the property line to the West of the current building on site. The oak tree will not allow for a two-story building to be located underneath it without its removal. In order to avoid its removal, we have proposed a one-story option that allows the same number of units to be included in the proposed addition. We would like to avoid removal of the tree due to its large size. There is concern that removing the tree will cause the roots to rot and cause damage to the neighboring property and significantly impact the neighbor's pool.

Our proposed impervious coverage is 67%, while the limit is 50%. This requested increase is to allow for an accessible path to be added that connects to the rear of the building. These ADA paths are an egress requirement to ensure safety for residence who are served by this addition to the supportive housing facility. We are using pervious materials (decking, pervious pavers) where we can in order to reduce our impervious surface coverage as much as possible. The requested increase in the impervious coverage limit could be avoided by expanding vertically, as opposed to the one-story proposed design to avoid removal of the tree mentioned above.

Sincerely,

Robert Wallis

Wallis Design Studio Architects
Listening from Design to Completion

(530) 264-7010 voice

WallisDesignStudio.com





SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF HOSPITALITY
131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

PLANNING SUBMITTAL
Stamp:

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No.	Description	Date

Proj. No.: 2022003

Date: 03/05/2024

Scale: 1" = 1'-0"

Drawn By: CF

Drawing Title:
COVER SHEET

Drawing Number:
00

SHEET INDEX

GENERAL	
00	COVER SHEET
01	PERSPECTIVES
02	SITE PLAN
03	PHOTO SURVEY
04	1ST FLOOR EXISTING & DEMO
05	2ND FLOOR EXISTING & DEMO
06	BASEMENT FLOOR PLAN
07	1ST FLOOR PLAN
08	2ND FLOOR PLAN
09	ROOF PLAN
10	EXTERIOR ELEVATIONS
11	EXTERIOR ELEVATIONS
12	IMPERVIOUS COVERAGE CALCULATIONS
13	2-STORY PERSPECTIVES
14	2-STORY SITE PLAN
15	2-STORY 1ST FLOOR PLAN
16	2-STORY 2ND FLOOR PLAN
17	2-STORY ROOF PLAN
18	EXTERIOR ELEVATIONS
19	2-STORY OPTION HEIGHT

PROJECT TEAM

OWNER	ARCHITECT
NANCY BAGLIETTO HOSPITALITY HOUSE 488 CROWN POINT CIRCLE, SUITE 100 GRASS VALLEY, CA 95945 (530) 499-4944	WALLIS DESIGN STUDIO ARCHITECTS 415 WEST MAIN ST GRASS VALLEY, CA 95945 ROBERT WALLIS, AIA (530) 264-7020 robert.wallis@wdsa.us
STRUCTURAL ENGINEER	ENERGY CONSULTANT
MARTIN CONSULTING GROUP, INC. 2204 PLAZA DRIVE, SUITE 130 ROCKLIN, CA 95765	CHRISTINE FANTLE (530) 264-7020 christine.fantle@wdsa.us
CIVIL ENGINEER	GENERAL CONTRACTOR
JON MARTIN (916) 256-4816 jonm@martinconsultinggroup.biz	MELAS ENERGY ENGINEERING 547 UREN STREET NEVADA CITY, CA 95959
DUNDAS GEOMATICS, INC. 159 SOUTH AUBURN ST. GRASS VALLEY, CA 95945	MICHAEL MELAS (530) 265-2492 michael@melasenergy.com
ROBERT LAWLESS (530) 263-4757 rlawless@ddgeo.com	CREEK SIDE 3131 PEACEKEEPER WAY, SUITE 400 MCLELLAN, CA 95652
ELECTRICAL ENGINEER	CODY SOSNER (916) 783-8080 VOICE (916) 783-9064 FAX CODY@CREEKSIDEINC.NET
UP-LIGHT ELECTRICAL ENGINEERING, INC. 3130 TWITCHELL ISLAND ROAD WEST SACRAMENTO, CA 95691	JIM PUGA (916) 371-3202 JPUGA@UPLIGHTEE.COM

PROJECT INFORMATION

GENERAL SITE INFORMATION
LOCATION: 131 GLENWOOD AVE, GRASS VALLEY, CA 95945

GENERAL SCOPE OF WORK
PROJECT CONSIST OF ADDITION AT REAR OF PROPERTY HOLDING 10 NEW UNITS, AS WELL AS A REMODEL AND EXPANSION OF THE EXISTING KITCHEN IN IMPROVEMENTS TO THE SITE AT THE FRONT OF THE BUILDING.

EXISTING BUILDING INFORMATION
APN: 035-270-025
ZONING: R-1 GCV CITY
LAND USE: RESIDENTIAL
BUILDING USE: STANDARD SINGLE FAMILY

OCCUPANCY TYPE: R-2
TYPE OF CONSTRUCTION: TYPE V-B
EXISTING BUILDING HEIGHT: 20'-6" +/-
EXISTING NUMBER OF STORIES: 2
EXISTING FLOOR AREA: 5,274 SF

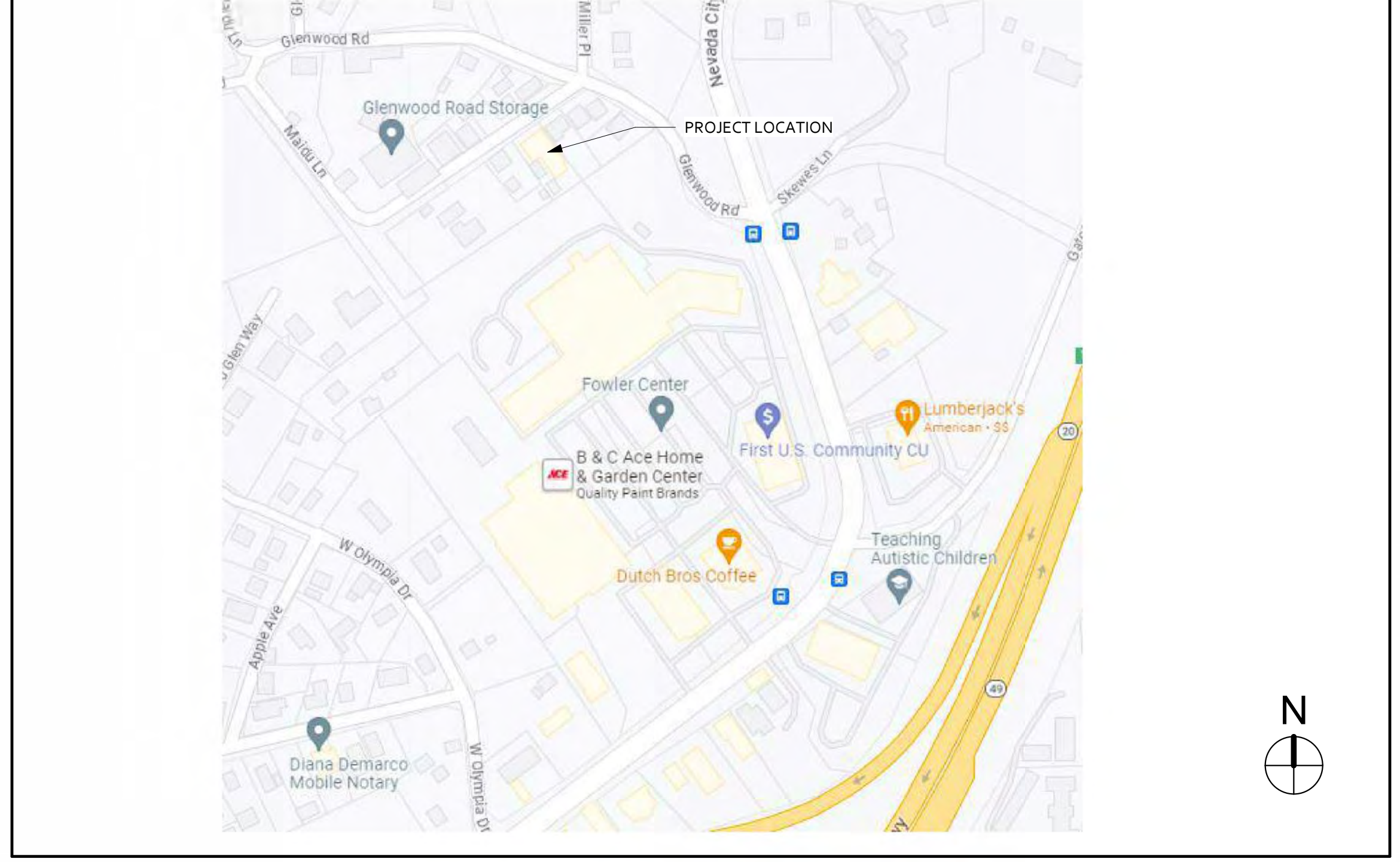
NEW BUILDING INFORMATION
EXISTING 1ST FLOOR AREA: 3,596 SF
NEW 1ST FLOOR AREA: 2,662 SF
EXISTING SECOND FLOOR AREA: 910 SF
TOTAL FLOOR AREA: 7,168 SF

BUILDING HEIGHT: 20'-6" +/-
OCCUPANCY TYPE: R-2
FIRE SPRINKLERS: YES

BUILDING CONSTRUCTION DESCRIPTION
EXISTING BUILDING: WOOD FRAMED STRUCTURE WITH FIBER CEMENT HORIZONTAL LAP SIDING AND ASPHALT COMPOSITION ROOF.
NEW BUILDING: WOOD FRAMED STRUCTURE WITH FIBER CEMENT HORIZONTAL LAP SIDING AND ASPHALT COMPOSITION ROOF.



PROJECT VICINITY MAP



AGENCIES & UTILITIES

CITY OF GRASS VALLEY
CITY OF GRASS VALLEY
125 EAST MAIN ST.
GRASS VALLEY, CA 95945

JON MAY, BUILDING OFFICIAL
EMAIL: BLDG@CITYOFGRASSVALLEY.COM
PHONE: (530) 274-4347

AMY KESLER-WOLFSON, CITY PLANNER
EMAIL: AWOLFSON@CITYOFGRASSVALLEY.COM
PHONE: (530) 274-4731

TREVER VAN NOORT, P. E., UTILITIES SUPERINTENDENT
EMAIL: INFO@CITYOFGRASSVALLEY.COM
PHONE: (530) 274-4371

NEVADA COUNTY CONSOLIDATED FIRE DISTRICT
PATRICK MASON, FIRE MARSHAL
11329 MCCOURTNEY ROAD
GRASS VALLEY, CA 95949
EMAIL: NCCFIRE@NCCFIRE.COM
PHONE: (530) 265-4431

LEGEND

	AGGREGATE FILL
	EARTH
	CONCRETE
	CONCRETE UNIT MASONRY
	BATT INSULATION
	RIGID INSULATION
	STRUCTURAL SHEATHING
	WOOD FRAMING, CONTINUOUS
	WOOD FRAMING, BLOCKING
	GYPSUM BOARD
	WOOD FINISH

SYMBOLS

	SECTION VIEW
	GRID LINE
	WALL TYPE
	SHEET NOTE
	KEY NOTE
	DOOR TAG
	WINDOW TAG
	DETAIL NUMBER
	SHEET NUMBER
	CENTER LINE
	AFF REFERENCE HEIGHT
	ACCESSORY DESIGNATION

APPROVALS

A. NONE

CONTRACTOR RESPONSIBILITIES

A. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND PRIOR TO PROCEEDING WITH THE WORK IN UNCERTAINTY.
B. THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN UNCERTAINTY.
C. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATING.
D. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT AND/OR LOCATIONS OF EXISTING UTILITIES ABOVE OR BELOW GRADE WITH THE RESPECTIVE UTILITY COMPANIES.
E. THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN STREET RIGHT-OF-WAYS ACCORDING TO THE APPROVED STANDARD PLANS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION.
F. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ALL WORK IN CITY ROAD.
G. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORES, AND GUYRS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-WAYS MAY BE SUBJECT DURING CONSTRUCTION.
H. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR CIVIL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.

TYPICAL NOTES

A. SIMILAR - MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTES. VERIFY DIMENSIONS AND/OR ORIENTATIONS ON PLANS AND/OR ELEVATIONS.
B. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT IN WRITING.
C. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS, PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT AND AT NO ADDITIONAL COST AND NO TIME EXTENSION OF THE PROJECT.
D. UNDERCUT ALL DOORS TO CLEAR TOP OF FLOOR FINISH AND/OR THRESHOLD $\frac{3}{4}$ INCH MAXIMUM AND IN COMPLIANCE WITH RATED DOOR/FRAME GUIDELINES.
E. USE WATER RESISTANT GLASS FIBER FACED GYPSUM WALLBOARD ON ALL WALL FACES WHICH ARE EXPOSED TO WATER OR MOISTURE AS WELL AS THOSE USED FOR JANITOR, TOILET AND SHOWER WALLS, COORDINATE WITH SPECIFICATIONS.
F. SEE DRAWINGS AND DETAILS FOR TYPICAL NOTES.

CODES AND STANDARDS

ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA CODE OF REGULATIONS, TITLE 24, CALIFORNIA BUILDING STANDARDS COMMISSION (CBCS) - PARTS 1 THRU PART 12

A. PART 1 - CALIFORNIA ADMINISTRATIVE CODE
B. PART 2, VOLUME 1 OF 2 - CALIFORNIA BUILDING CODE (CBC)
C. PART 2, VOLUME 2 OF 2 - CALIFORNIA BUILDING CODE (CBC)
D. PART 3 - CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
E. PART 3 - CALIFORNIA ELECTRICAL CODE (CEC)
F. PART 4 - CALIFORNIA MECHANICAL CODE (CMC)
G. PART 5 - CALIFORNIA PLUMBING CODE (CPC)
H. PART 6 - CALIFORNIA ENERGY CODE
I. PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
J. PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
K. PART 9 - CALIFORNIA FIRE CODE
L. PART 10 - CALIFORNIA CODE FOR BUILDING CONSERVATION
M. PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
N. PART 12 - CALIFORNIA REFERENCED STANDARDS CODE (CALGreen)

ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE CALIFORNIA CODE OF REGULATIONS (CCR), OFFICE OF ADMINISTRATIVE LAW.

A. TITLE 19 C.C.R., PUBLIC SAFETY
B. TITLE 24 C.C.R., BUILDING STANDARDS CODE

ALL WORK SHALL COMPLY WITH THE CURRENT FOLLOWING AUTHORITIES AND THEIR STANDARDS:

A. BUILDING & SAFETY DIVISION
B. PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
C. PUBLIC WORKS DEPARTMENT
D. FIRE DEPARTMENT
E. AMERICANS WITH DISABILITIES ACT - (ADA)

COMPLIANCE WITH DOCUMENTS

A. DIMENSIONS:
1. DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
2. ALL DIMENSIONS TO OPENINGS ARE TO THE ROUGH OPENING UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF FRAMING UNLESS NOTED OTHERWISE.
4. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FINISH FACE OF CEILING.
5. WHERE INDICATED, DIMENSIONS SHALL BE TO CENTER / GRID LINES.
6. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
7. ACCESSIBILITY DIMENSIONS SHALL BE MEASURED TO FACE OF WALL FINISH, CLEAR OPENING AND AS INDICATED ON ENLARGED PLAN, MOUNTING HEIGHTS SHEET, TOILET ROOM ELEVATIONS AND STANDARD DETAILS DRAWING SHEET.
8. DIMENSIONING PROTOCOLS / HIERARCHY:
a. "ENLARGED PLAN" INCLUDE ALL DIMENSIONING ASSOCIATED WITH THE GRAPHICS SHOWING.
b. OVERALL PLANS SHOW DIMENSIONS NOT INDICATED ON "PARTIAL DIMENSIONING PLANS."

B. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OR CONSTRUCTIONS ON THE PROJECT AND IF NOT CLEAR A REQUEST FOR INFORMATION (RFI) SHALL BE ISSUED TO ARCHITECT FOR CLARIFICATION.

C. ROOF COVERING AND ROOFING MATERIALS SHALL BE FIRE RETARDANT AND SHALL COMPLY WITH THE UNDERWRITERS LABORATORIES, INC. AND CLASSIFIED AS CLASS A U.L. FIRE HAZARD, MINIMUM UNLESS NOTED OTHERWISE ON DRAWINGS OR IN SPECIFICATIONS AND SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE INCLUDING CHAPTER 15.

D. PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR FIRE SPRINKLERS, PIPING, LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT AND CEILING TRACKS AS REQUIRED FOR A COMPLETE INSTALLATION.

E. PROVIDE 36 INCHES MAXIMUM UNOBSTRUCTED WORKING SPACE IN FRONT OF ALL PANEL BOARDS AND CONTROL EQUIPMENT.

F. DOOR SIZES INDICATED ON DOOR SCHEDULE ARE OPENING DIMENSIONS. ALLOWANCES FOR THRESHOLDS, FLOOR FINISHES, ETC. SHALL BE TAKEN OFF DOOR.

G. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE LOCATED 4 1/2" INCHES FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.

H. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS, LOUVERS AND WINDOW OPENINGS SHALL BE DETERMINED BY ARCHITECTURAL PLANS AND DETAILS. OTHER WALL AND FLOOR OPENINGS AS REQUIRED BY MECHANICAL OR ELECTRICAL SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED, AND IF NOT CLEAR AN RFI SHALL BE ISSUED TO ARCHITECT FOR CLARIFICATION.

I. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATING LIGHT FIXTURES, DIFFUSERS AND WALL MOUNTED FIXTURES.



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No.	Description	Date

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Date: 03/05/2024

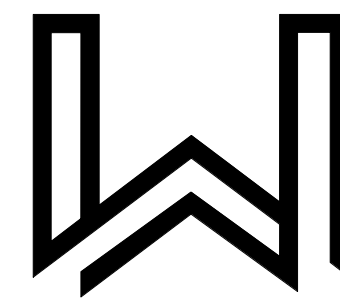
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Drawn By: CF

Drawing Title:
PERSPECTIVES

Drawing Number:

01



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Date: 03/05/2024

Scale: As indicated

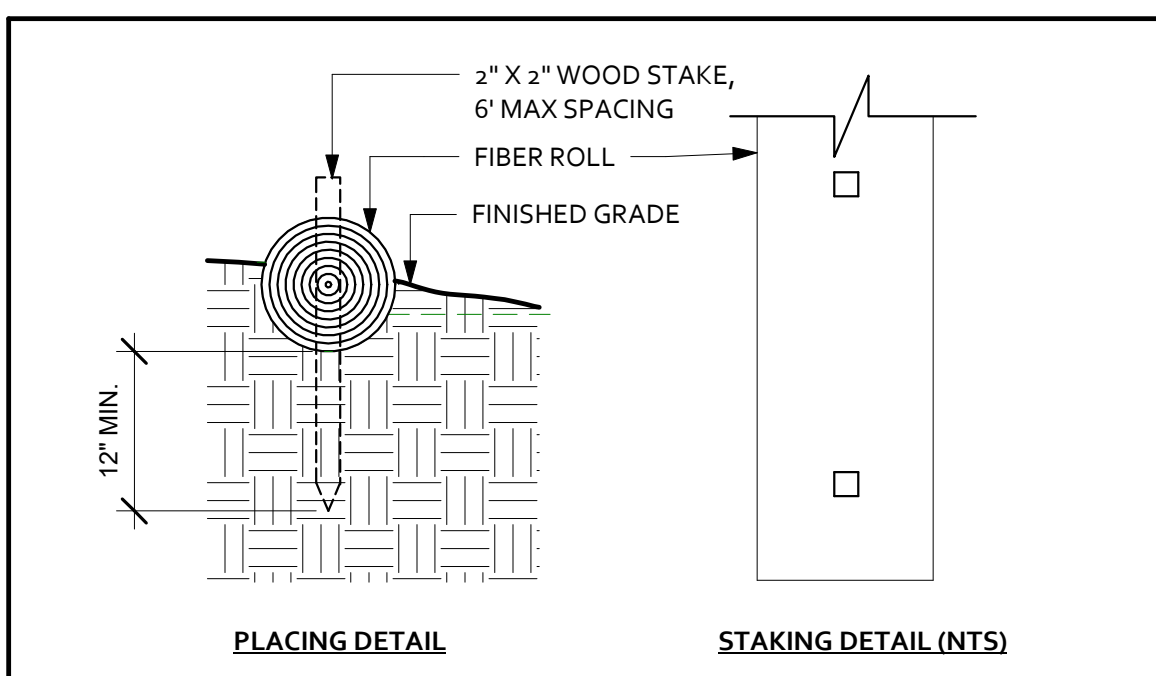
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Drawing Title:

SITE PLAN

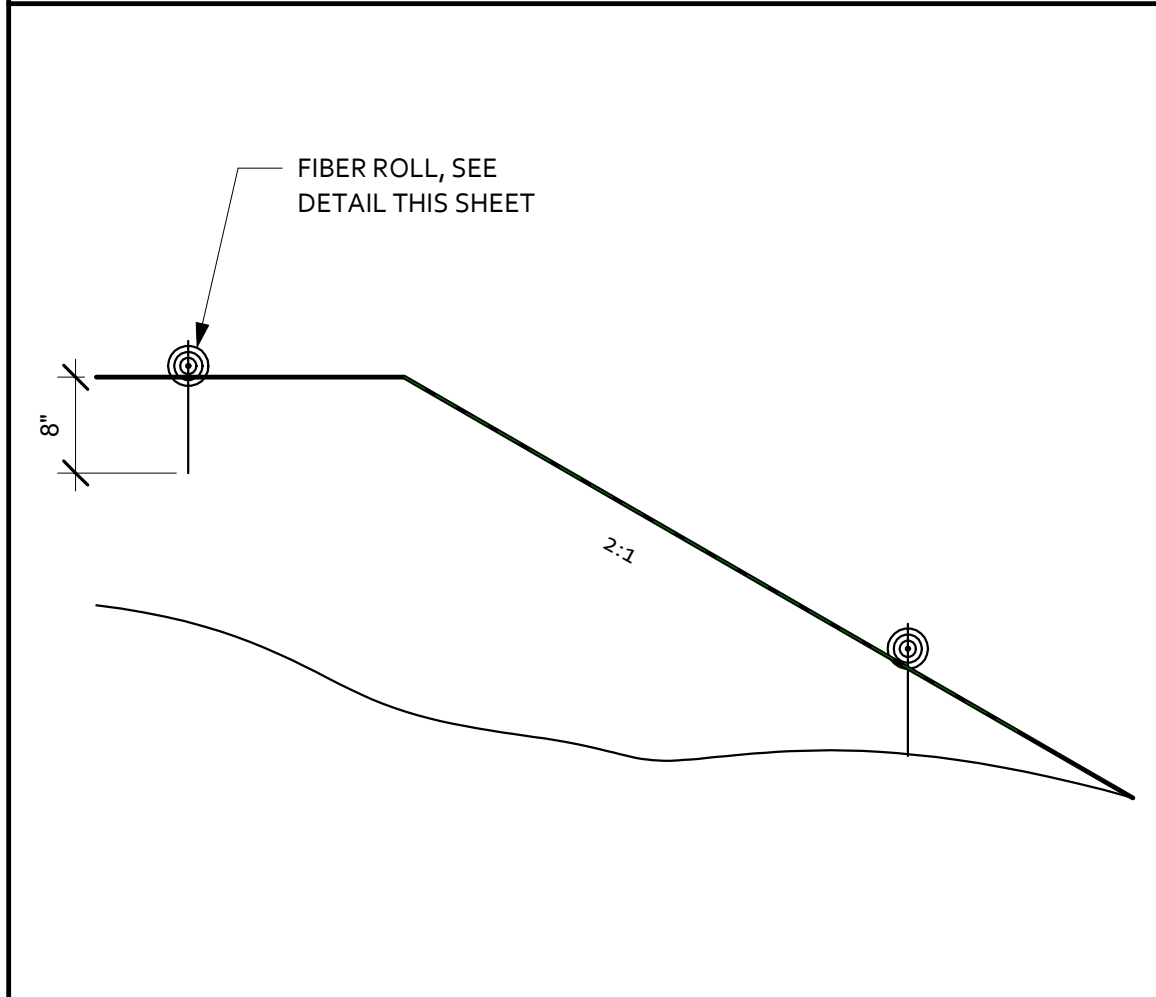
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02

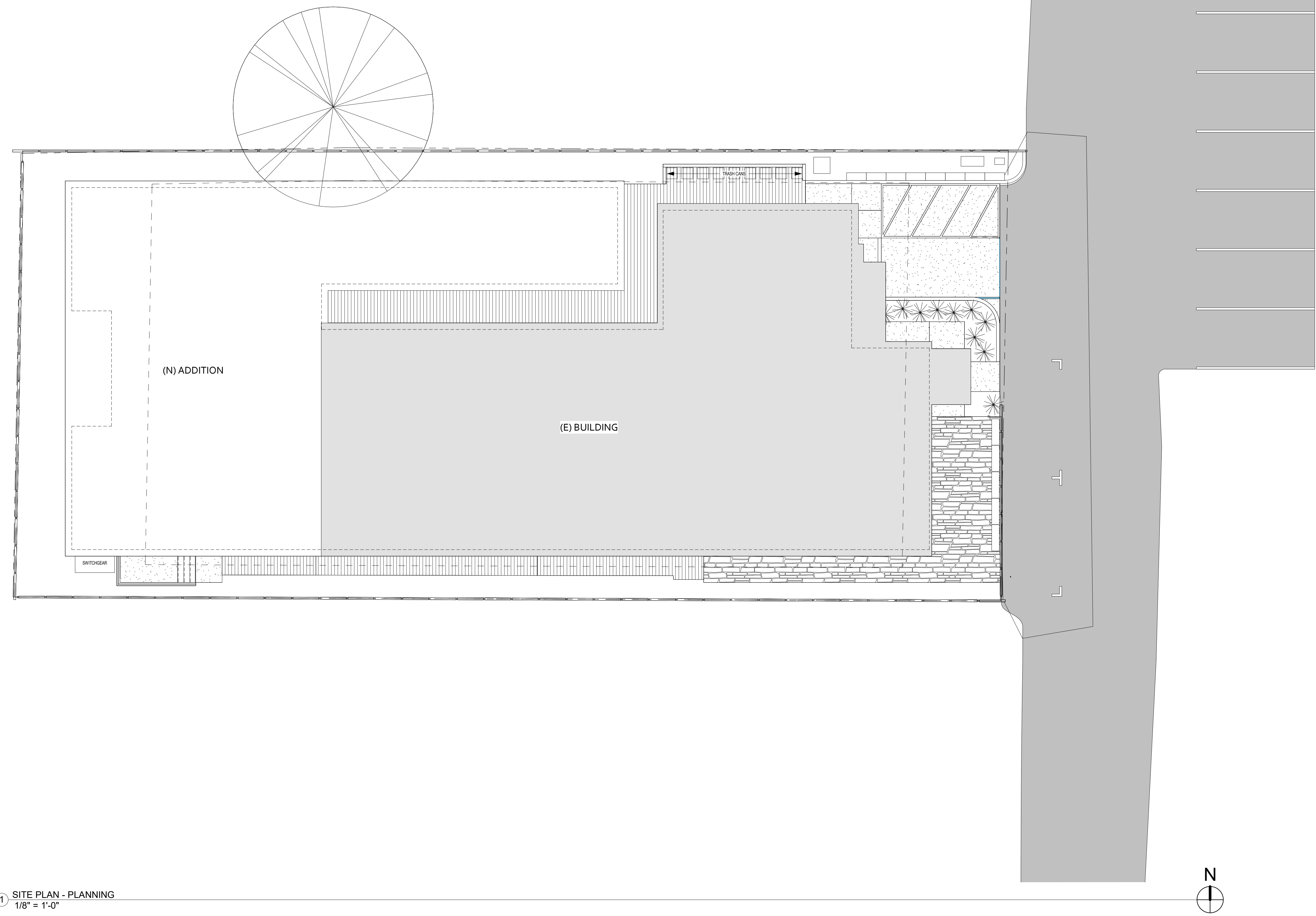


- NOTES:
- FIBER ROLLS ARE TUBES MADE FROM BIO-DEGRADABLE EXCELSIOR WITH PHOTO DEGRADABLE NETTING. THEY ARE 9"-20" IN DIAMETER AND AS LONG AS CAN BE CONVENIENTLY PLACED.
 - INSTALL PARALLEL TO CONTOURS.
 - VERTICAL SPACING IS MEASURED ALONG THE FACE OF SLOPE.
 - IF PLACED IN ROW, ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED.

2 SITE - FIBER ROLL PLACING/STAKING 1
1" = 1'-0"



3 SITE - FIBER ROLLS 1
3/4" = 1'-0"



1 SITE PLAN - PLANNING
1/8" = 1'-0"

- LEGEND**
- (E) EXISTING FLOOR AREA
 - (N) PROPOSED FLOOR AREA
 - CONCRETE FLATWORK
 - PERMEABLE PAVERS
 - PROPERTY LINE
 - SETBACK LINE
 - WATER LINE

- GENERAL NOTES**
- ALL TREES AND PLANTS ARE (E) AND TO BE RETAINED, UON.
 - OWNER TO PROVIDE A BOUNDARY LINE VERIFICATION FORM TO THE BUILDING INSPECTOR, PREPARED BY A LICENSED LAND SURVEYOR FOR BUILDING LINES WITHIN TEN FEET OF PROPERTY LINE SETBACK, WHICH SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR PRIOR TO FIRST INSPECTIONS.
 - REFER TO "100 FT VEGETATIVE MANAGEMENT CLEARANCE REQUIREMENTS" ON SHEET A0.1.
 - ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
 - SEPERATE BUILDING PERMITS ARE REQUIRED FOR GRADING, AS-BUILT STRUCTURES, RETAINING WALLS, SWIMMING POOLS, DEMOLITION, DETACHED ACCESSORY STRUCTURES, OUTDOOR COOKING FACILITIES, ECT.

IMPERVIOUS SURFACE COVERAGE CALCULATION

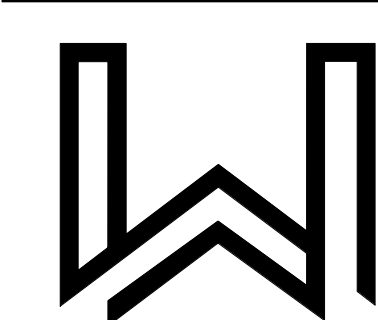
A. BUILDING AREA:	6,218 SF
B. PAVED AREA:	700 SF
TOTAL	6,918 SF

LOT COVERAGE/LOT AREA: 6,918/10,249 (67% IMPERVIOUS SURFACE)

PERVIOUS SURFACE MATERIALS

A. DECK AREA:	1,010 SF
B. PERVIOUS PAVERS:	447 SF

- SHEET NOTES**
- NONE



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Date: 01/05/2024

Scale:

Drawn By: CF

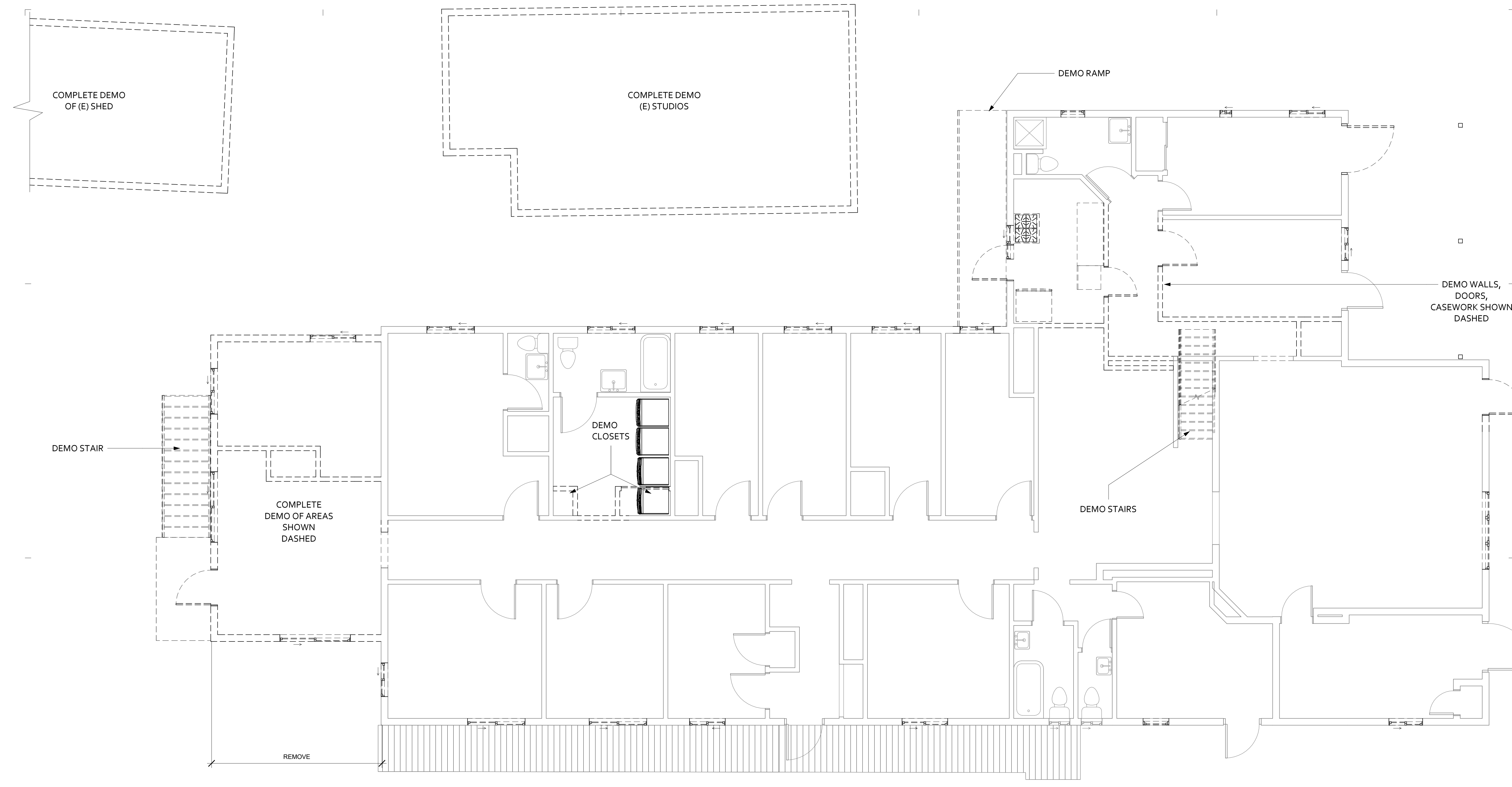
Drawing Title:
PHOTO SURVEY

Drawing Number:

03

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1 1ST FLOOR DEMOLITION - PLANNING
1/4" = 1'-0"

LEGEND

- [Solid Line] EXISTING WALL LOCATION TO REMAIN
- [Dashed Line] EXISTING WALL LOCATION TO BE REMOVED

GENERAL NOTES

- A. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION. THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, RECYCLING, STORAGE AND PROTECTION OF ALL ITEMS WITHIN THE PROJECT AREA.
- B. DEMOLITION WORK SHALL COMPLY WITH LOCAL ORDINANCES AND SAFETY CODES OF STATE OF CALIFORNIA AND RULES AND REGULATIONS OF INDUSTRIAL ACCIDENT COMMISSION OF STATE OF CALIFORNIA APPLICABLE TO DEMOLITION WORK.
- C. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE OWNER AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE OWNER AND AGENCIES HAVING JURISDICTION.
- D. CONTRACTOR IS ADVISED THAT THERE MAY BE UNDERGROUND OR OTHERWISE CONCEALED PIPE LINES, ELECTRICAL/TELEPHONE WIRES, COLUMNS, BEAMS, FOOTINGS OR OTHER STRUCTURAL, MECHANICAL OR ELECTRICAL ITEMS. ALTHOUGH THE DRAWINGS PRODUCED BY THE ARCHITECT AND HIS CONSULTANTS ARE BELIEVED TO BE SUBSTANTIALLY CORRECT, THE ARCHITECT AND OWNER DO NOT GUARANTEE THE LOCATION OR EXISTENCE OF ANY CONCEALED ITEMS. CONTRACTORS MUST PROCEED WITH CAUTION DURING DEMOLITION AND CONSTRUCTION AND MUST MAKE THEIR OWN DETERMINATION, MEASUREMENTS, AND EVALUATION OF THE WORKING CONDITION OF EXISTING CONCEALED ITEMS.
- E. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- F. ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION.

- G. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTAINERIZED DEBRIS REMOVAL AND RECYCLING SERVICE OF ALL DEBRIS FROM ALL TRADES AND ALL WORK RELATING TO THE PROJECT. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH OWNER PRIOR TO PLACEMENT.
- H. CONTRACTOR IS TO USE ADEQUATE MEANS AND METHODS OF DEMOLITION AND REMOVAL FOR THE TYPE OF WORK PERFORMED.
- I. PERFORM DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT DAMAGE TO EXISTING FACILITIES TO REMAIN OR TO BE SALVAGED, AND TO PREVENT INJURY TO PUBLIC AND WORKMEN ENGAGED ON SITE UNDER THIS OR OTHER CONTRACTS.
- J. THE CONTRACTOR SHALL PROTECT THE BUILDING EXTERIOR, ROADWAY AND LANDSCAPE FROM DAMAGE DURING THE DEMOLITION. ALL DAMAGE SHALL BE REPAIRED BY CONTRACTOR AT THEIR EXPENSE AND APPROVED BY OWNER.
- K. THE CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF DEMOLISHING ITEMS NOT SPECIFIED ON THE PLANS.
- L. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DEVIATIONS TO DEMOLITION PLANS. NOTIFY ARCHITECT OF ANY DEVIATIONS TO DEMOLITION PLANS.
- M. ALL DOORS, WINDOWS, SIGNAGE, APPLIANCES AND LIGHT FIXTURES TO BE SALVAGED AND STORED PER OWNER'S INSTRUCTIONS.
- N. WHERE FLOORING IS REMOVED, CONCRETE SLAB TO BE PREPARED FOR INSTALLATION OF NEW FLOORING MATERIAL, PER MANUFACTURER'S REQUIREMENTS.
- O. ABANDONED PLUMBING PIPING & UTILITY CONDUITS TO BE DISCONNECTED & SEALED.
- P. REFER TO EXTERIOR ELEVATIONS FOR ADDITION INFORMATION.

DEMOLITION NOTICE REQUIRED

- A. THE ASBESTOS NESHAP REGULATION, 40 CFR, SUBPART M SECTION 61.145 REQUIRES WRITTEN NOTIFICATION OF DEMOLITION OR RENOVATION OPERATIONS.
- B. CONTRACTOR SHALL MAKE ALL REQUIRED NOTIFICATIONS.
- C. CALIFORNIA AIR BOARD ASBESTOS FORM CAN BE DOWNLOADED AT:
<http://www.arb.ca.gov/enf/asbestos/asbestosform.pdf>

SHEET NOTES

KEYNOTES

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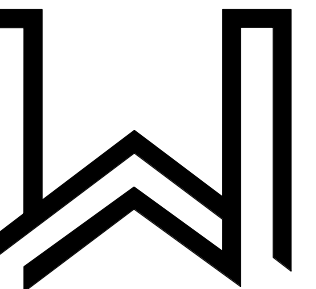
Date	Description	No.

Proj. No.: 2022003
 Date: 01/05/2024
 Scale: 1/4" = 1'-0"
 Drawn By: CF

Drawing Title:
1ST FLOOR EXISTING & DEMO

Drawing Number:
04

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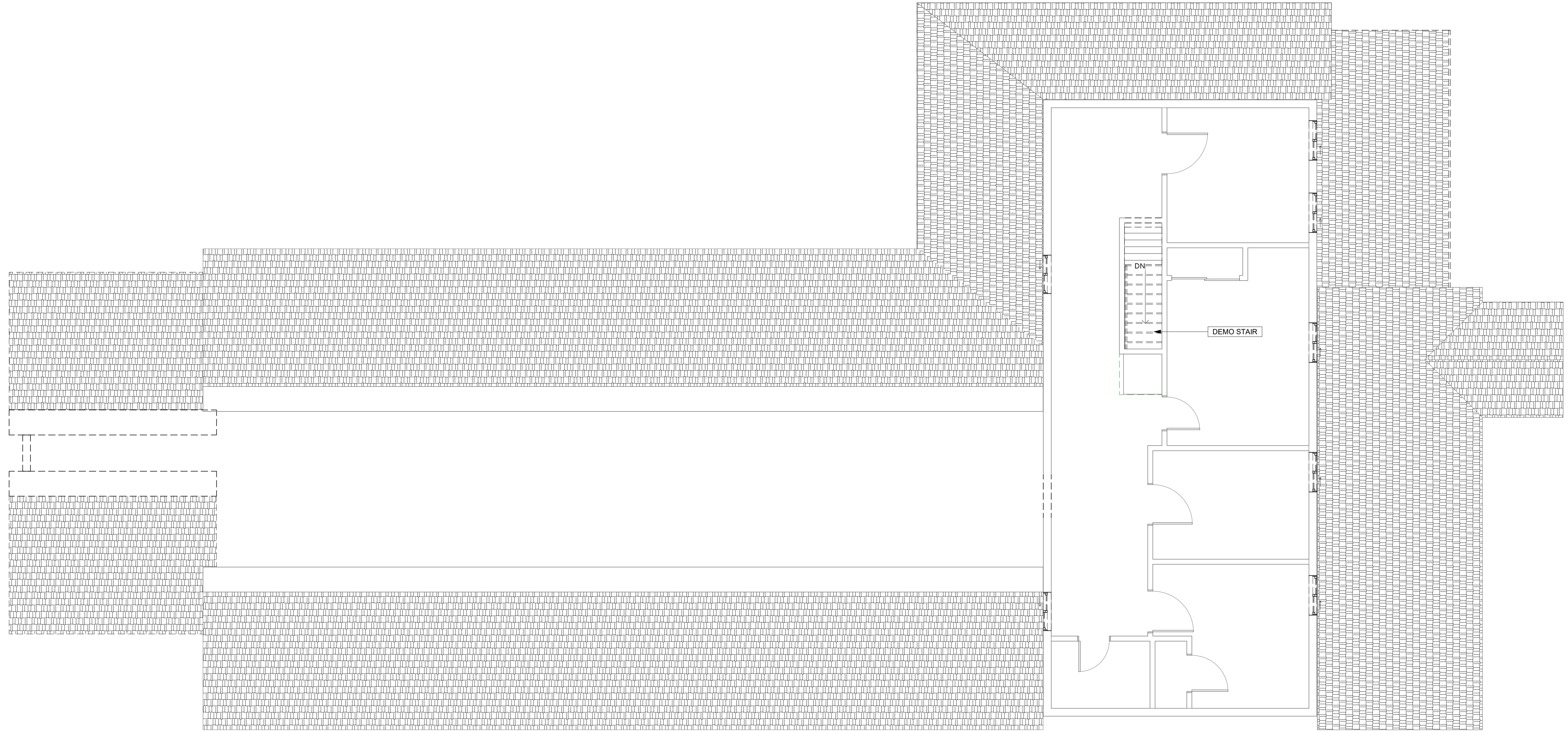
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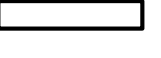
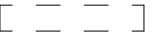


① 2ND FLOOR DEMOLITION - PLANNING
1/4" = 1'-0"

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No.	Description	Date

Proj. No.: 2022003
Date: 03/05/2024
Scale: 1/4" = 1'-0"
Drawn By: CF

LEGEND
 EXISTING WALL LOCATION TO REMAIN
 EXISTING WALL LOCATION TO BE REMOVED

GENERAL NOTES

A. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION. THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, RECYCLING, STORAGE AND PROTECTION OF ALL ITEMS WITHIN THE PROJECT AREA.

B. DEMOLITION WORK SHALL COMPLY WITH LOCAL ORDINANCES AND SAFETY CODES OF STATE OF CALIFORNIA AND RULES AND REGULATIONS OF INDUSTRIAL ACCIDENT COMMISSION OF STATE OF CALIFORNIA APPLICABLE TO DEMOLITION WORK.

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J. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DEVIATIONS TO DEMOLITION PLANS. NOTIFY ARCHITECT OF ANY DEVIATIONS TO DEMOLITION PLANS.

K. ALL DOORS, WINDOWS, SIGNAGE, APPLIANCES AND LIGHT FIXTURES TO BE SALVAGED AND STORED PER OWNER'S INSTRUCTIONS.

L. WHERE FLOORING IS REMOVED, CONCRETE SLAB TO BE PREPARED FOR INSTALLATION OF NEW FLOORING MATERIAL, PER MANUFACTURER'S REQUIREMENTS.

M. ABANDONED PLUMBING PIPING & UTILITY CONDUITS TO BE DISCONNECTED & SEALED.

N. REFER TO EXTERIOR ELEVATIONS FOR ADDITION INFORMATION.

DEMOLITION NOTICE REQUIRED

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B. CONTRACTOR SHALL MAKE ALL REQUIRED NOTIFICATIONS.

C. CALIFORNIA AIR BOARD ASBESTOS FORM CAN BE DOWNLOADED AT:
<http://www.arb.ca.gov/enf/asbestos/asbestosform.pdf>

Drawing Title:
**2ND FLOOR
EXISTING &
DEMO**

Drawing Number:
05



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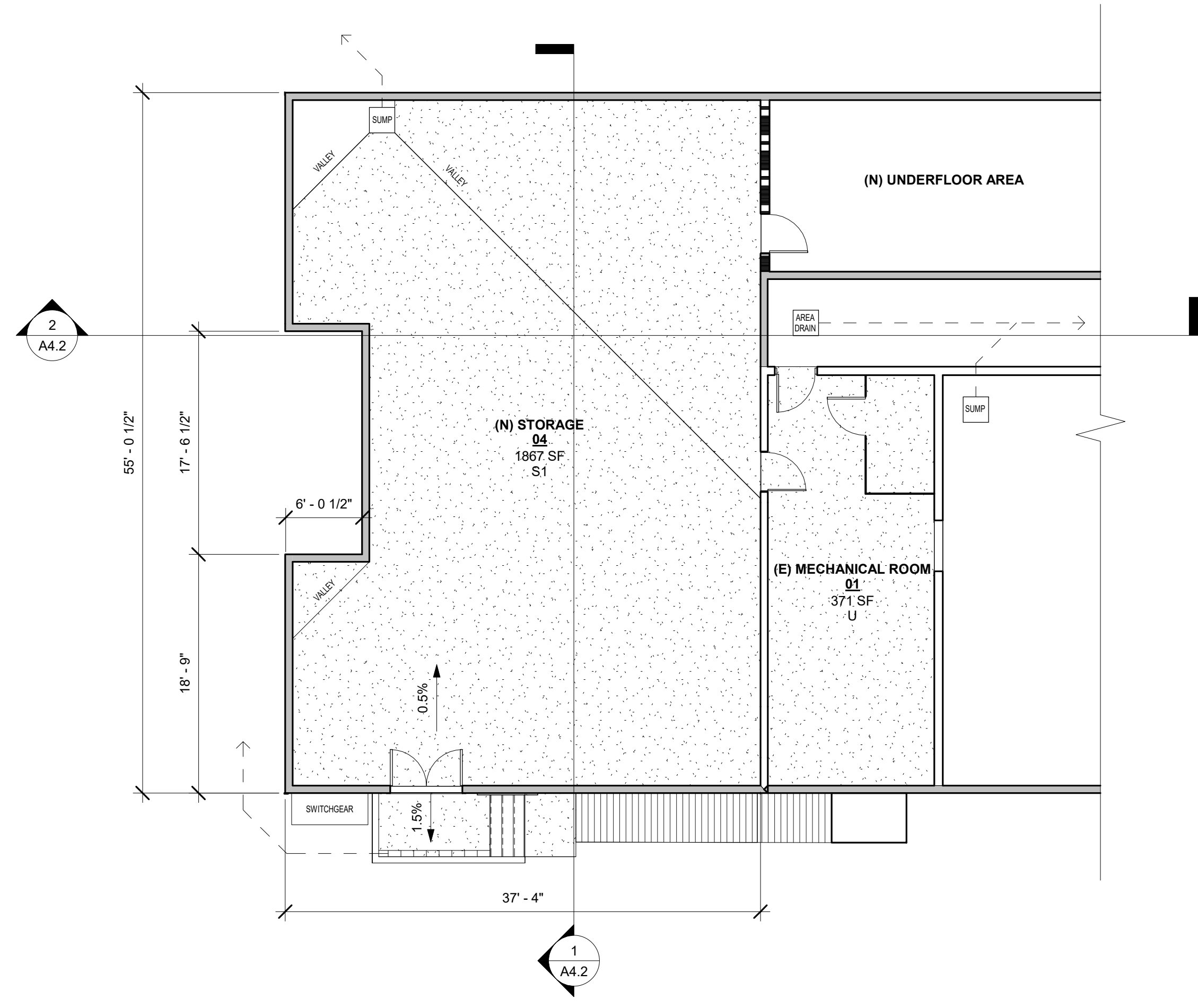
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Drawn By: CF

Drawing Title:
BASEMENT FLOOR PLAN

Drawing Number:
06

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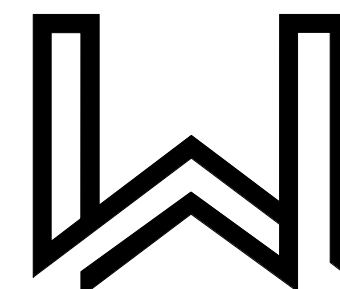
1 BASEMENT FLOOR PLAN - PLANNING
 1/8" = 1'-0"

LEGEND

- (±-HR) WALL LOCATION
- (N) WALL LOCATION
- WALL BELOW

SHEET NOTES

1. (N) AREA DRAIN UNDER DECK
2. (N) SUMP



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Date: 03/05/2024

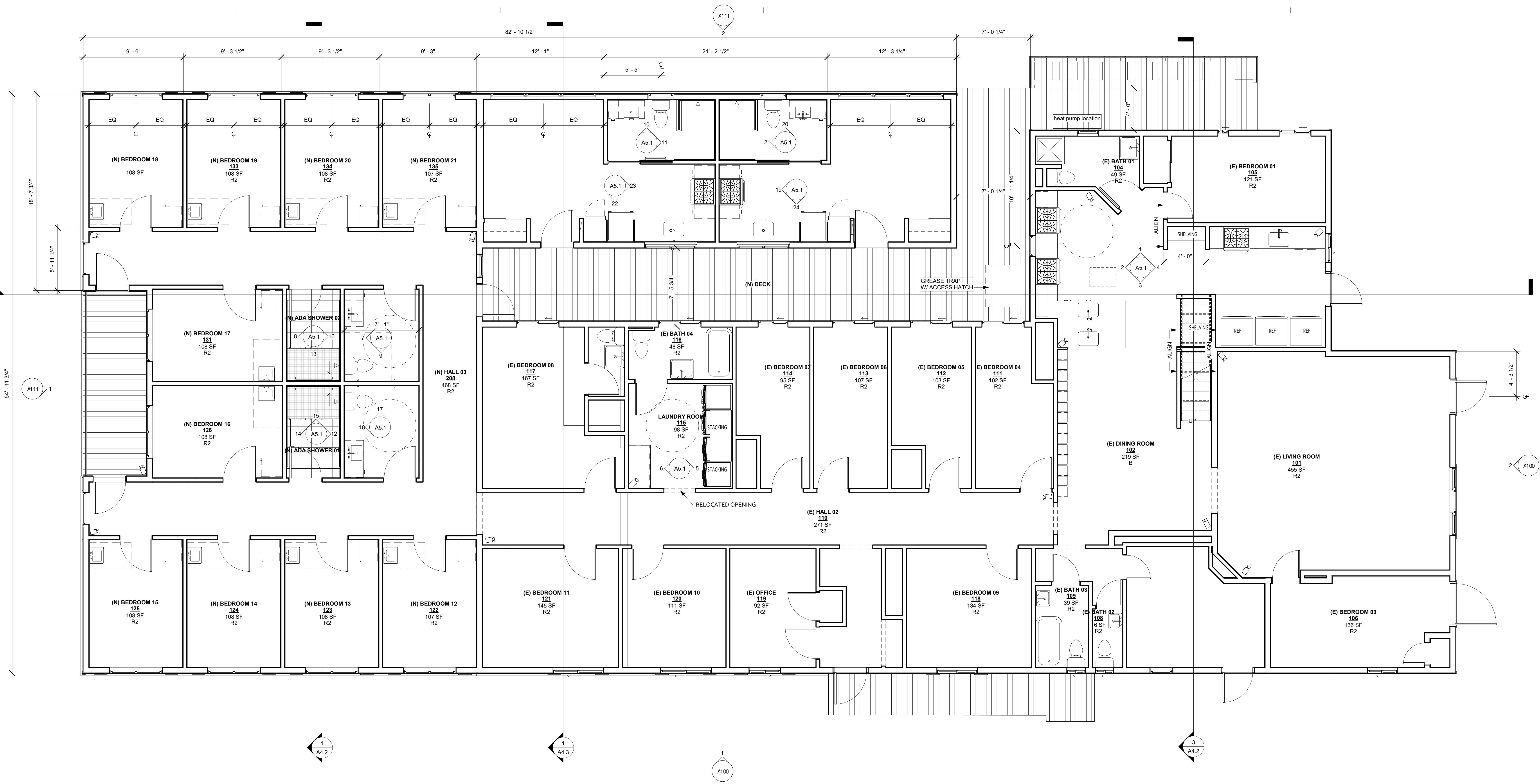
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Drawn By: CF

Drawing Title:

1ST FLOOR
PLAN

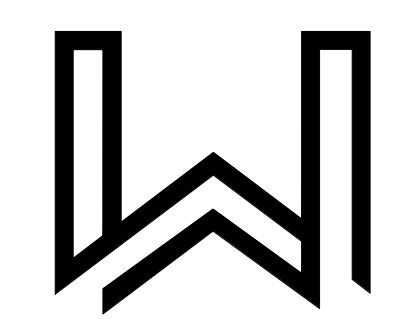
Drawing Number:



2 1ST FLOOR - PLANNING
1/4" = 1'-0"

LEGEND

- (3-HR) WALL LOCATION
- (N) WALL LOCATION
- WALL BELOW



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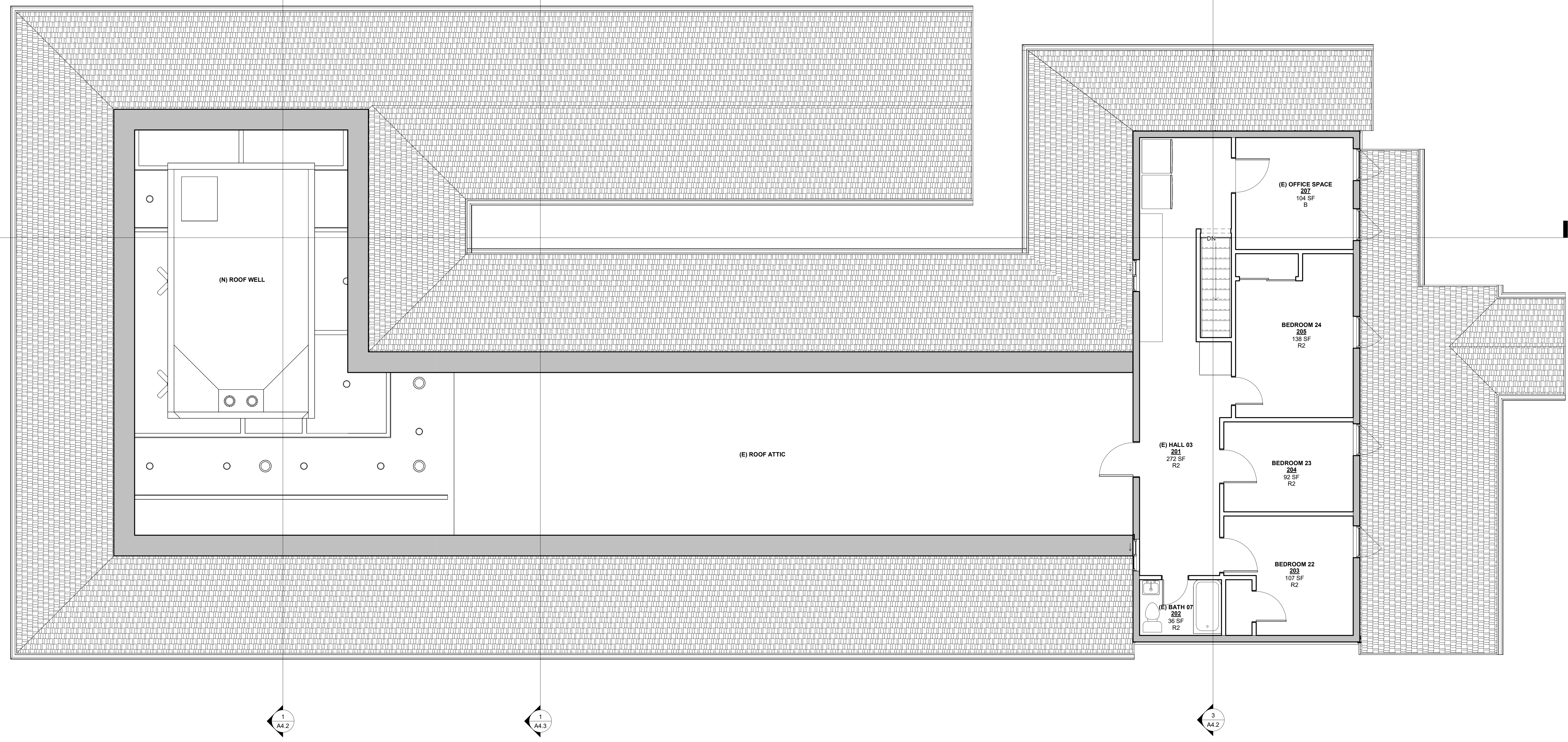
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Drawing Number:

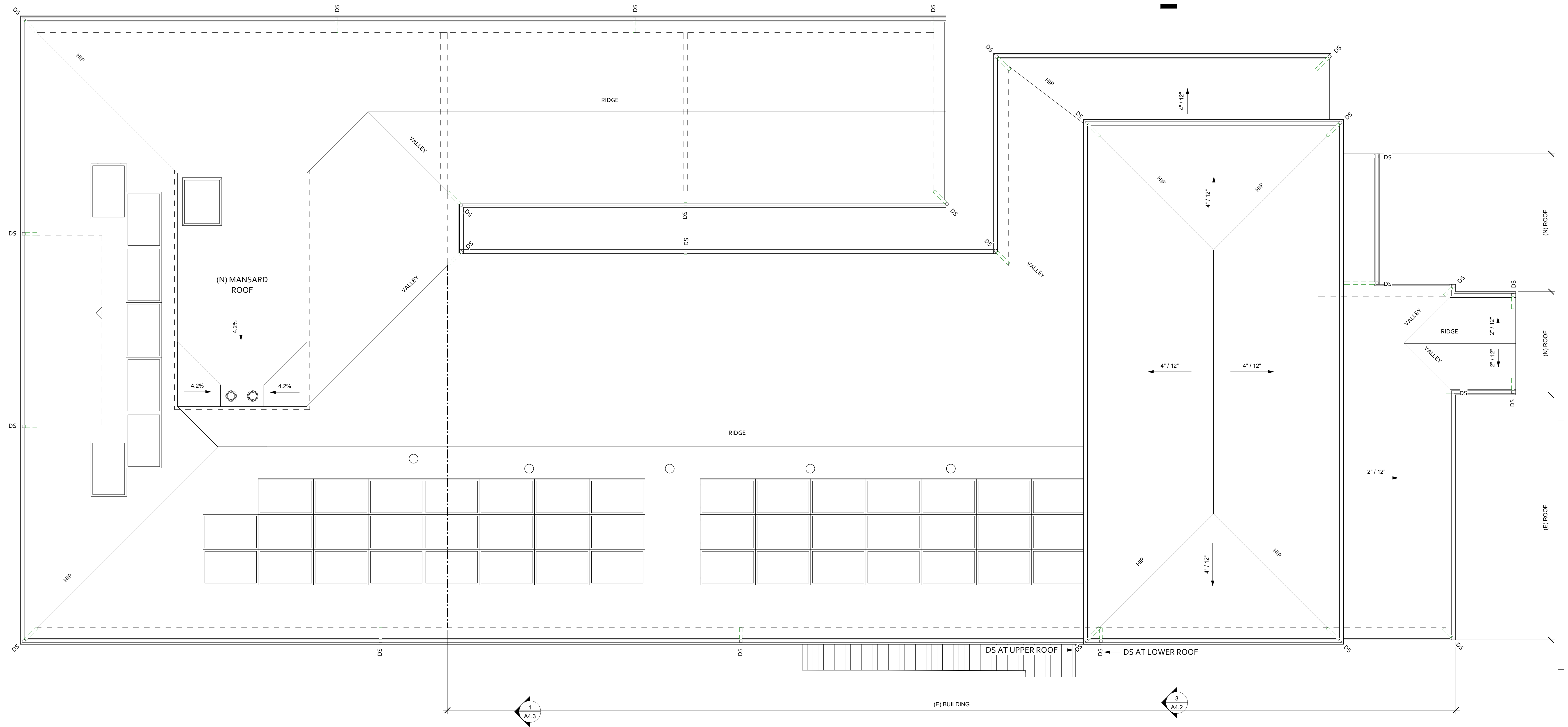
08



1 2ND FLOOR PLAN - PLANNING
1/4" = 1'-0"

LEGEND

- (G-HR) WALL LOCATION
- (N) WALL LOCATION
- WALL BELOW



1 ROOF PLAN - PLANNING
 1/4" = 1'-0"

- LEGEND**
- WALL BELOW
 - UN-VENTED ATTIC AREA
 - 1-HOUR RATED WALL BELOW
 - DS DOWNSPOUT LOCATION
 - OF OVERFLOW OUTLET IN SOFFIT
 - DRAFT STOP LOCATION

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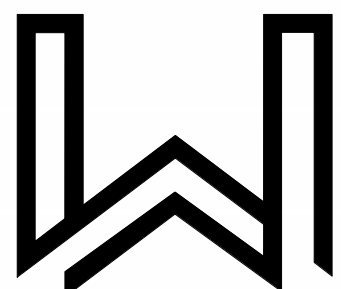
Date: 03/05/2024

Scale: 1/4" = 1'-0"

Drawn By: CF

Drawing Title:
ROOF PLAN

Drawing Number:



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No.	Description	Date

Proj. No.: 2022003

Date: 03/05/2024

Scale: 1/4" = 1'-0"

Drawn By: CF

Drawing Title:

EXTERIOR ELEVATIONS

Drawing Number:

10



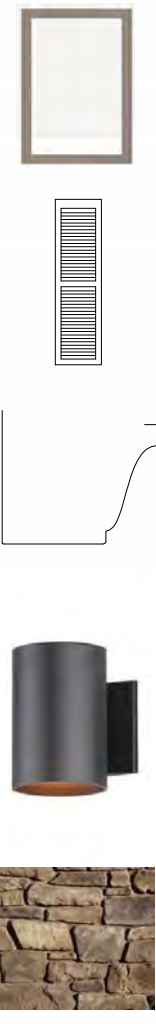
1 EAST ELEVATION C - PLANNING
1/4" = 1'-0"



2 NORTH ELEVATION - PLANNING
1/4" = 1'-0"

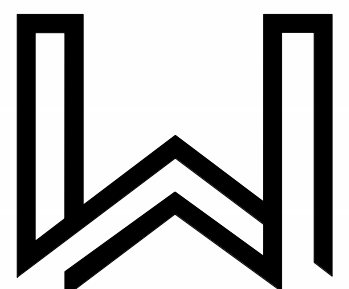
LEGEND

- F1** ROOF
MANUFACTURE: OWENS CORNING
TYPE: TruDefinition DURATION COOL PLUS
FINISH: PRAIRIE WOOD
- F2** WALL - TYPICAL
MANUFACTURE: JAMES HARDIE
TYPE: HARDIE® PLANK LAP SIDING
PRODUCT: SMOOTH
COLOR: BENJAMIN MOORE LOUISBURG GREEN HC-113
- F3** WALL - ACCENT
MANUFACTURE: JAMES HARDIE
TYPE: HARDIE® SHINGLE SIDING
PRODUCT: STAGGERED EDGE PANEL
COLOR: BENJAMIN MOORE COASTAL FOG 976
- F4** TRIM
MANUFACTURE: WESTLAKE ROYAL BUILDING PRODUCTS
TYPE: FASCIA, TRIM AND SOFFIT
PRODUCT: TRU-EXTERIOR
SIZE: 2X4, 2X6, 2X8, 2X10, 2X12
COLOR: BENJAMIN MOORE CASTLE PEAK GRAY 1561
- F5** WALL - ACCENT
MANUFACTURE: JAMES HARDIE
TYPE: HARDIE® PANEL VERTICAL SIDING
PRODUCT: SIERRA 8
COLOR: BENJAMIN MOORE CASTLE PEAK GRAY 1561



- F6** WINDOWS
MANUFACTURE: ANDERSEN
TYPE: 100 SERIES WINDOWS
EXT FINISH: SANDSTONE
INT FINISH: WHITE
HARDWARE: WHITE
- F7** SHUTTERS
MANUFACTURE: TBD
COLOR: BENJAMIN MOORE CASTLE PEAK GRAY 1561
- F8** GUTTER AND DOWNSPOUT
MANUFACTURE: TBD
STYLE: 5" OGEE
- F9** LIGHTING FIXTURE
MANUFACTURE: WILSON LIGHTING
MODEL: ONE LIGHT OUTDOOR WALL SCENCE
NUMBER: 8474376
- F10** WALL - ACCENT
MANUFACTURE: ELDORADO STONE
TYPE: FIELDLEDGE
PRODUCT: PADOVA

KEYNOTES



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SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF
HOSPITALITY

131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

PLANNING SUBMITTAL

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No.	Description	Date

Proj. No.: 2022003

Date: 03/05/2024

Scale: 1/4" = 1'-0"

Drawn By: CF

Drawing Title:

EXTERIOR
ELEVATIONS

Drawing Number:

11



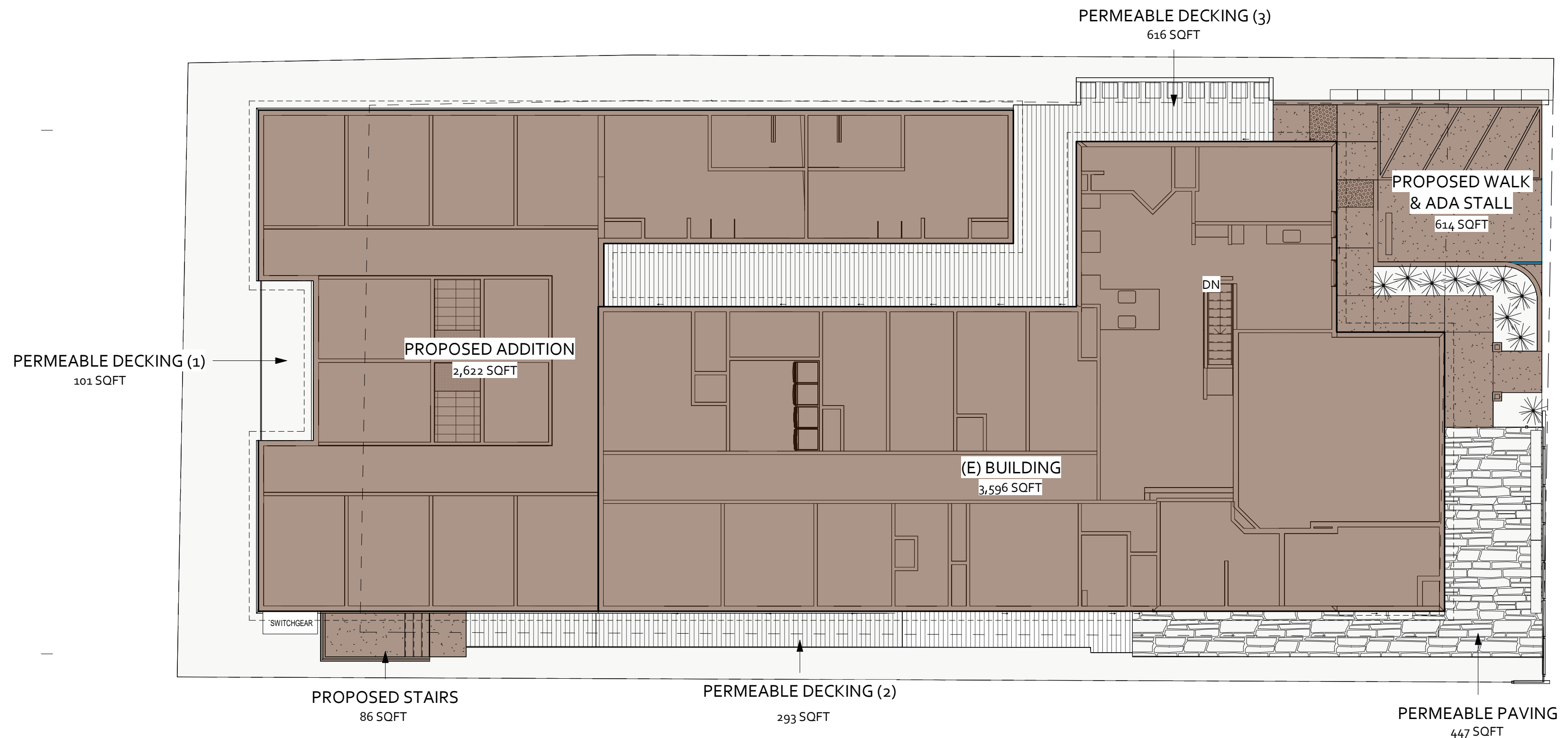
② WEST ELEVATION - PLANNING
1/4" = 1'-0"



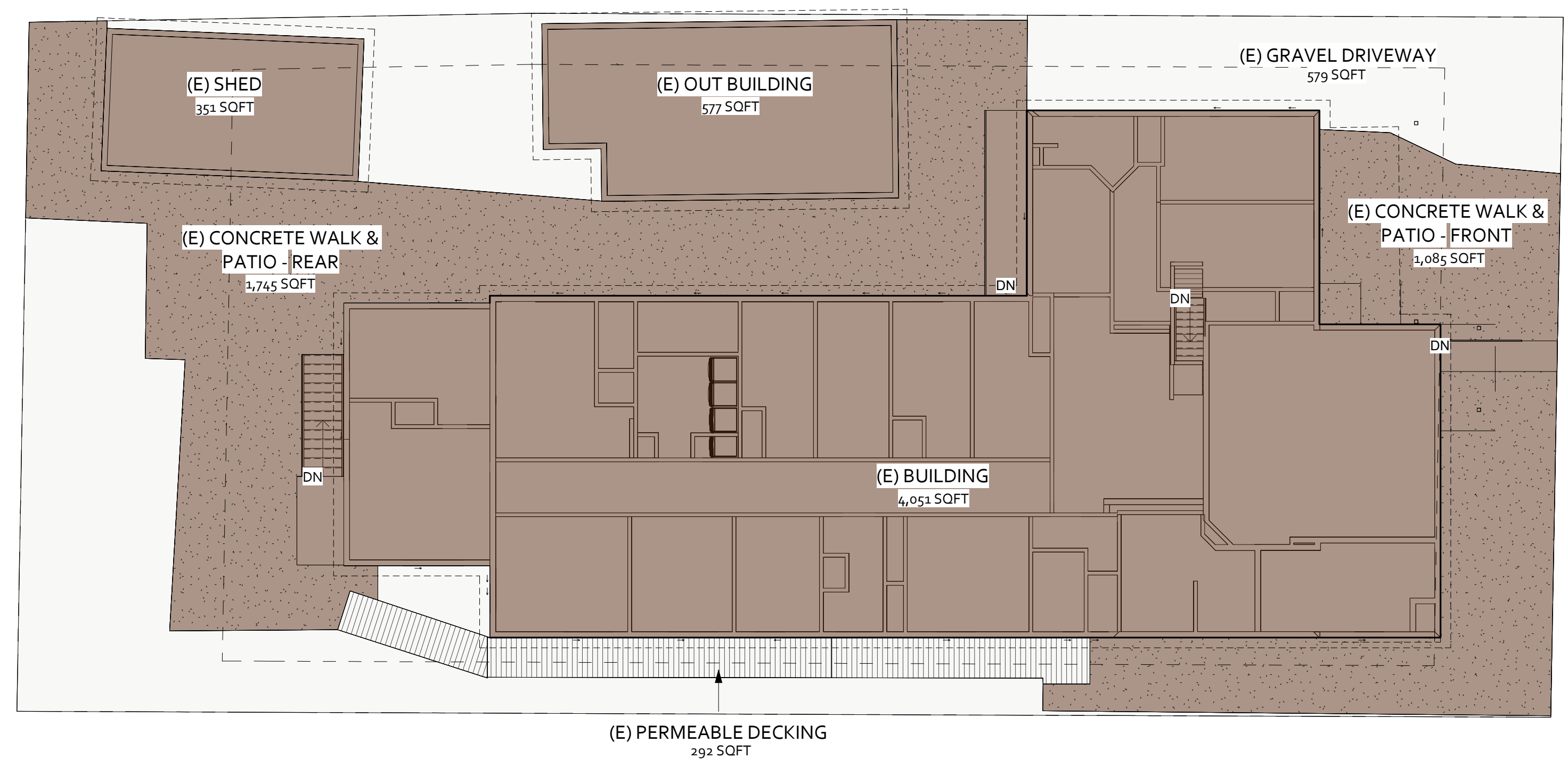
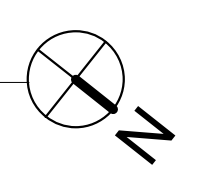
① SOUTH ELEVATION C - PLANNING
1/4" = 1'-0"

LEGEND

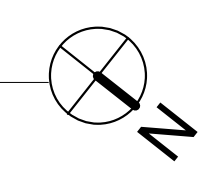
	F1	ROOF MANUFACTURE: OWENS CORNING TYPE: TruDefinition DURATION COOL PLUS FINISH: PRAIRIE WOOD		F8	WINDOWS MANUFACTURE: ANDERSEN TYPE: 100 SERIES WINDOWS EXT FINISH: SANDSTONE INT FINISH: WHITE HARDWARE: WHITE
	F2	WALL - TYPICAL MANUFACTURE: JAMES HARDIE TYPE: HARDIE® PLANK LAP SIDING PRODUCT: SMOOTH COLOR: BENJAMIN MOORE LOUISBURG GREEN HC-113		F7	SHUTTERS MANUFACTURE: TBD COLOR: BENJAMIN MOORE CASTLE PEAK GRAY 1561
	F3	WALL - ACCENT MANUFACTURE: JAMES HARDIE TYPE: HARDIE® SHINGLE SIDING PRODUCT: STAGGERED EDGE PANEL COLOR: BENJAMIN MOORE COASTAL FOG 976		F6	GUTTER AND DOWNSPOUT MANUFACTURE: TBD STYLE: 5" OGEE
	F4	TRIM MANUFACTURE: WESTLAKE ROYAL BUILDING PRODUCTS TYPE: FASCIA, TRIM AND SOFFIT PRODUCT: TRU-EXTERIOR SIZE: 2x4, 2x6, 2x8, 2x10, 2x12 COLOR: BENJAMIN MOORE CASTLE PEAK GRAY 1561		F9	LIGHTING FIXTURE MANUFACTURE: WILSON LIGHTING MODEL: ONE LIGHT OUTDOOR WALL SCONCE NUMBER: 8674176
	F5	WALL - ACCENT MANUFACTURE: JAMES HARDIE TYPE: HARDIE® PANEL VERTICAL SIDING PRODUCT: SIERRA 8 COLOR: BENJAMIN MOORE CASTLE PEAK GRAY 1561		F10	WALL - ACCENT MANUFACTURE: ELDORADO STONE TYPE: FIELDLEDGE PRODUCT: PADOVA



1 SITE PLAN - PROPOSED LOT COVERAGE
1" = 10'-0"



2 SITE PLAN - LOT COVERAGE Copy 1
1" = 10'-0"



SITE COVERAGE CALCULATIONS

IMPERVIOUS COVERAGE

(E) BUILDING COVERAGE TO REMAIN:	3,596 SQFT
PROPOSED BUILDING:	2,622 SQFT
PROPOSED STAIRS:	86 SQFT
PROPOSED WALK & ADA STALL:	614 SQFT
TOTAL COVERAGE:	6,918 SQFT

PERMEABLE SURFACES

PERMEABLE DECKING (1):	101 SQFT
PERMEABLE DECKING (2):	293 SQFT
PERMEABLE DECKING (3):	616 SQFT
PERMEABLE PAVING:	447 SQFT
TOTAL COVERAGE:	1,457 SQFT

UNCOVERED AREA

BACK & SIDE YARDS:	1,735 SQFT
FRONT PLANTERS:	139 SQFT
TOTAL COVERAGE:	1,874 SQFT

IMPERVIOUS COVERAGE + PERMEABLE SURFACES + UNCOVERED AREA = TOTAL SITE AREA
6,918 SQFT + 1,457 SQFT + 1,874 SQFT = 10,249 SQFT

IMPERVIOUS COVERAGE / TOTAL SITE AREA = SITE COVERAGE PERCENTAGE
6,918 SQFT / 10,249 SQFT = 67%

SITE COVERAGE CALCULATIONS

IMPERVIOUS COVERAGE

(E) BUILDING COVERAGE:	4,051 SQFT
(E) SHED:	351 SQFT
(E) OUT BUILDING:	577 SQFT
(E) WALK & PATIO - FRONT:	1,085 SQFT
(E) WALK & PATIO - REAR:	1,745 SQFT
TOTAL COVERAGE:	7,809 SQFT

PERMEABLE SURFACES

(E) GRAVEL DRIVEWAY:	579 SQFT
(E) PERMEABLE DECKING:	292 SQFT
TOTAL COVERAGE:	871 SQFT

UNCOVERED AREA

BACK & SIDE YARDS:	1,569 SQFT
TOTAL COVERAGE:	1,569 SQFT

IMPERVIOUS COVERAGE + PERMEABLE SURFACES + UNCOVERED AREA = TOTAL SITE AREA
7,809 SQFT + 871 SQFT + 1,569 SQFT = 10,249 SQFT

IMPERVIOUS COVERAGE / TOTAL SITE AREA = SITE COVERAGE PERCENTAGE
7,809 SQFT / 10,249 SQFT = 76%

CALCULATION JUSTIFICATION

IMPERVIOUS COVERAGE ON THE SITE IS CALCULATED TO INCLUDE ALL IMPERVIOUS MATERIALS INCLUDING CONCRETE PAVING AND THE BUILDING FOOTPRINT AS DEFINED BY THE "SITE COVERAGE DEFINITION IN THE GRASS VALLEY DEVELOPMENT CODE: "SITE COVERAGE." THE PERCENTAGE OF TOTAL SITE AREA OCCUPIED BY STRUCTURES AND ALL IMPERVIOUS SURFACES. STRUCTURE/BUILDING COVERAGE IS MEASURED FROM EXTERIOR WALL TO EXTERIOR WALL."

THIS IMPERVIOUS CALCULATION DOES NOT INCLUDE SITE AREA THAT IS COVERED BY ANY MATERIALS DEFINED AS PERVIOUS BY THE GRASS VALLEY DEVELOPMENT CODE. THE CODE STATES THAT "LANDSCAPED SOIL AND PERVIOUS PAVEMENT, INCLUDING PAVERS WITH PERVIOUS OPENINGS AND SEAMS, UNDERLAIN WITH PERVIOUS SOIL OR PERVIOUS STORAGE MATERIAL, SUCH AS A GRAVEL LAYER SUFFICIENT TO HOLD THE SPECIFIED VOLUME OF RAINFALL RUNOFF ARE NOT IMPERVIOUS SURFACES." THEREFORE, THE DECK SPACES THROUGH THE SITE AND THE PERVIOUS PAVEMENT LOCATED AT THE FRONT PATIO ARE NOT INCLUDED IN THIS CALCULATION AS THEY ALLOW RAIN INFILTRATION IN THESE LOCATIONS.

BASED ON THESE CALCULATIONS, THE EXISTING IMPERVIOUS COVERAGE ON THE SITE IS 76%, WITH 4,979 SQFT OF THAT COVERAGE BEING THE FOOTPRINT OF THE EXISTING BUILDING, AND 2,830 SQFT BEING CONCRETE OR ASPHALT COVERING. OUR ONE STORY PROPOSED DESIGN INCLUDES 67% IMPERVIOUS SITE COVERAGE, INCLUDING 6,218 SQFT FOR THE BUILDING FOOTPRINT, AND 700 SQFT FOR CONCRETE COVERING ON SITE.

SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF HOSPITALITY
131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

PLANNING SUBMITTAL
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No.	Description	Date

Proj. No.: 2022003

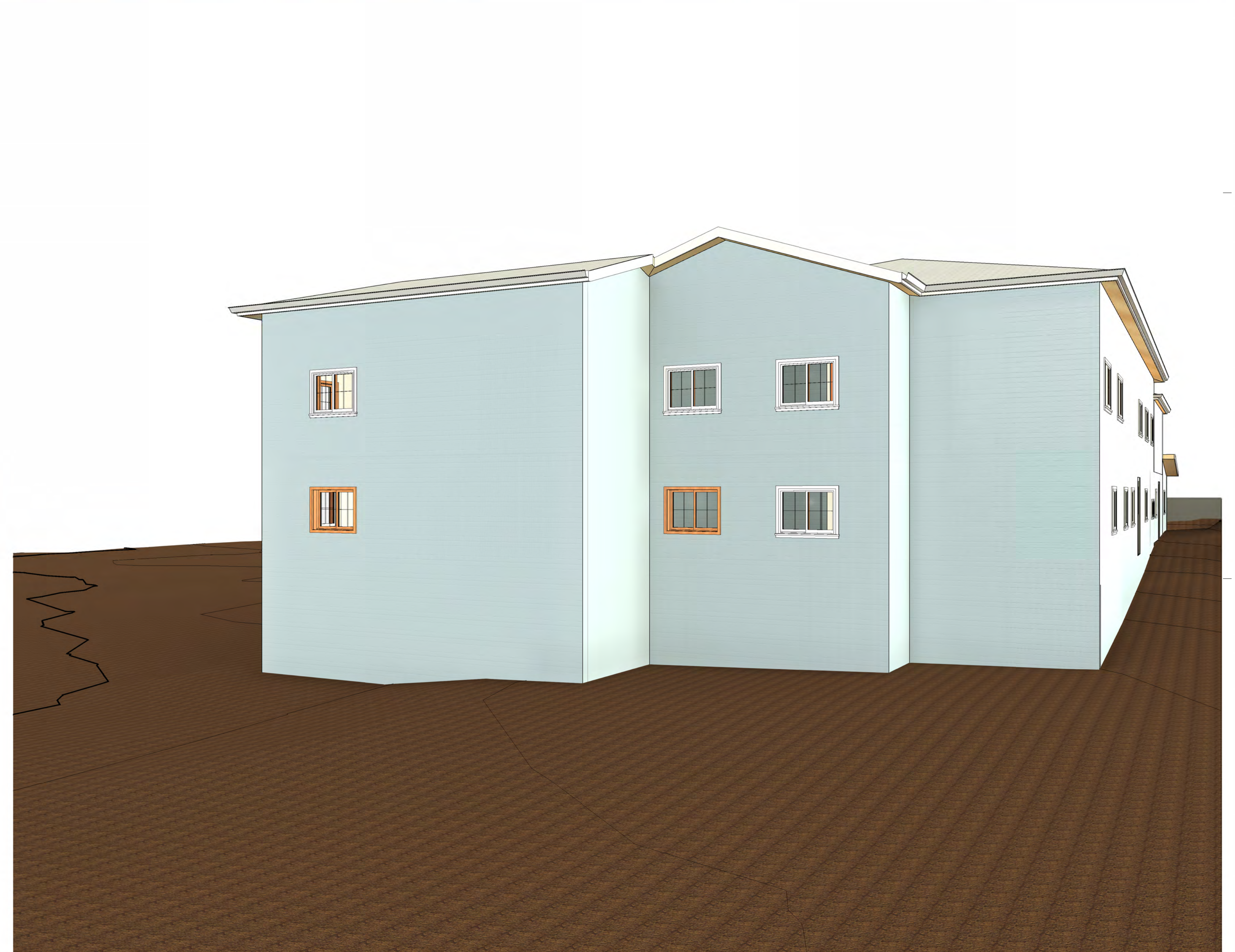
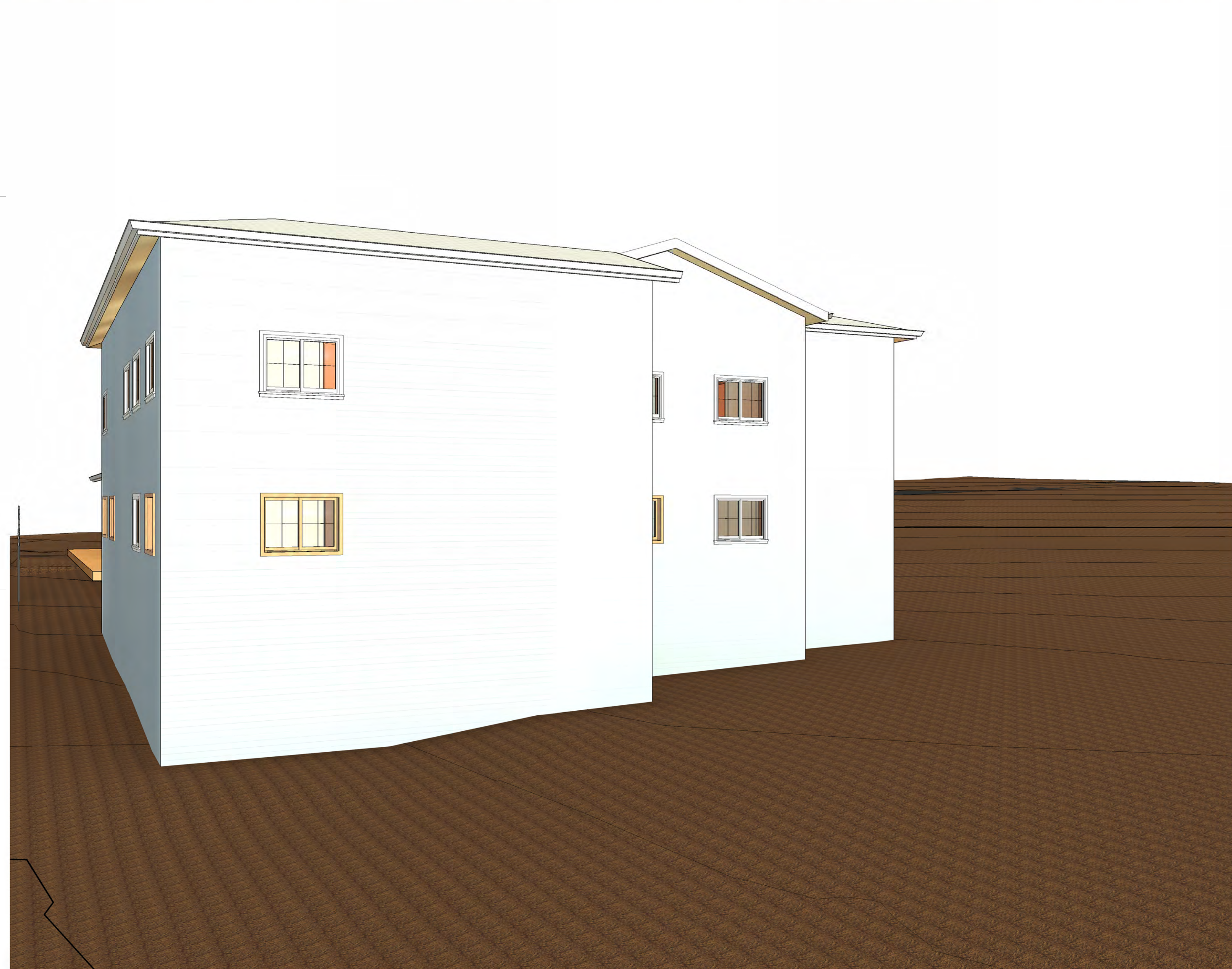
Date: 03/05/2024

Scale: 1" = 10'-0"

Drawn By: CF

Drawing Title:
IMPERVIOUS COVERAGE CALCULATIONS

Drawing Number:



SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF
HOSPITALITY

131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

SCHEMATIC DESIGN

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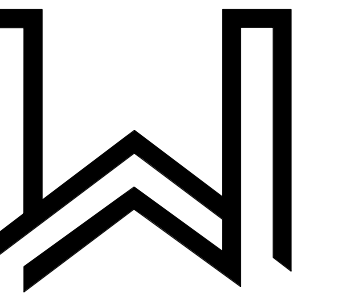
Date: 03/05/2024

Scale:

Drawn By: CF

Drawing Title:
**2-STORY
PERSPECTIVES**

Drawing Number:



SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF
HOSPITALITY

131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

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No.	Description	Date

Proj. No.: 2022003

Date: 01/05/2024

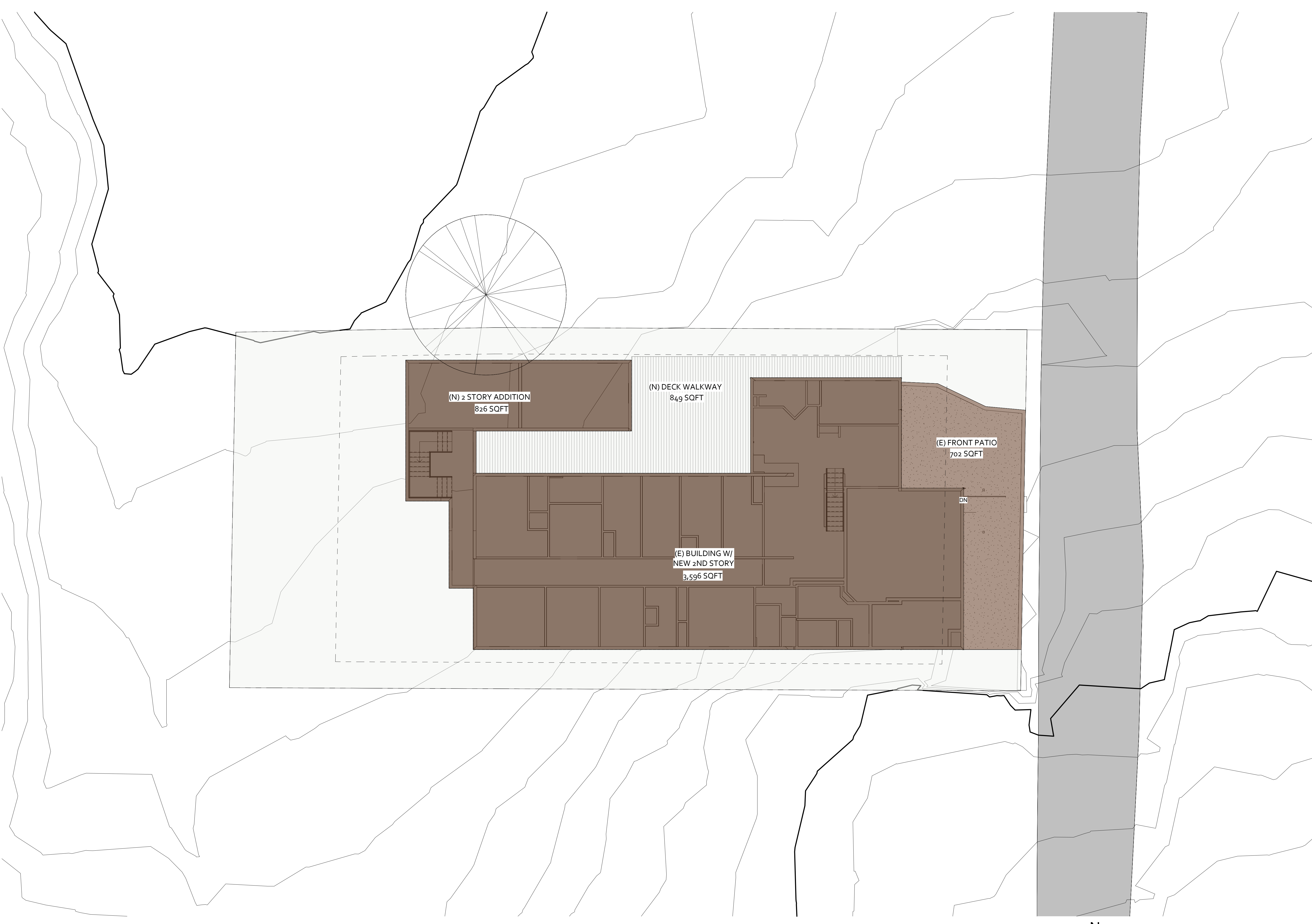
Scale: As indicated

Drawn By: CF

Drawing Title:

2-STORY SITE
PLAN

Drawing Number:



1 SITE PLAN - 2-STORY
1/8" = 1'-0"

LEGEND

- (E) EXISTING FLOOR AREA
- (N) PROPOSED FLOOR AREA
- CONCRETE FLATWORK
- PERMEABLE PAVERS
- PROPERTY LINE
- SETBACK LINE
- WATER LINE

BUILDING INFORMATION

(N) 2-STORY ADDITION WITH ADDITIONAL UNITS OVER (E) FIRST FLOOR SPACE.

BEDROOM COUNT	
1ST FLOOR:	12
2ND FLOOR:	19
STUDIO UNITS:	2
TOTAL	33

SITE COVERAGE CALCULATIONS

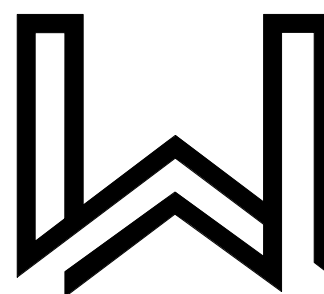
IMPERVIOUS COVERAGE
 (E) BUILDING COVERAGE TO REMAIN: 3,596 SQFT
 PROPOSED BUILDING: 826 SQFT
 (E) FRONT PATIO: 702 SQFT
TOTAL COVERAGE: 5,124 SQFT

PERMEABLE SURFACES
 (E) DECK WALKWAY: 849 SQFT
TOTAL COVERAGE: 849 SQFT

UNCOVERED AREA
 BACK & SIDE YARDS: 3,978 SQFT
 (E) GRAVEL DRIVEWAY: 298 SQFT
TOTAL COVERAGE: 4,276 SQFT

IMPERVIOUS COVERAGE + PERMEABLE SURFACES + UNCOVERED AREA = TOTAL SITE AREA
 5,124 SQFT + 849 SQFT + 4,276 SQFT = 10,249 SQFT

IMPERVIOUS COVERAGE / TOTAL SITE AREA = SITE COVERAGE PERCENTAGE
 5,124 SQFT / 10,249 SQFT = 50%



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Date: 01/05/2024

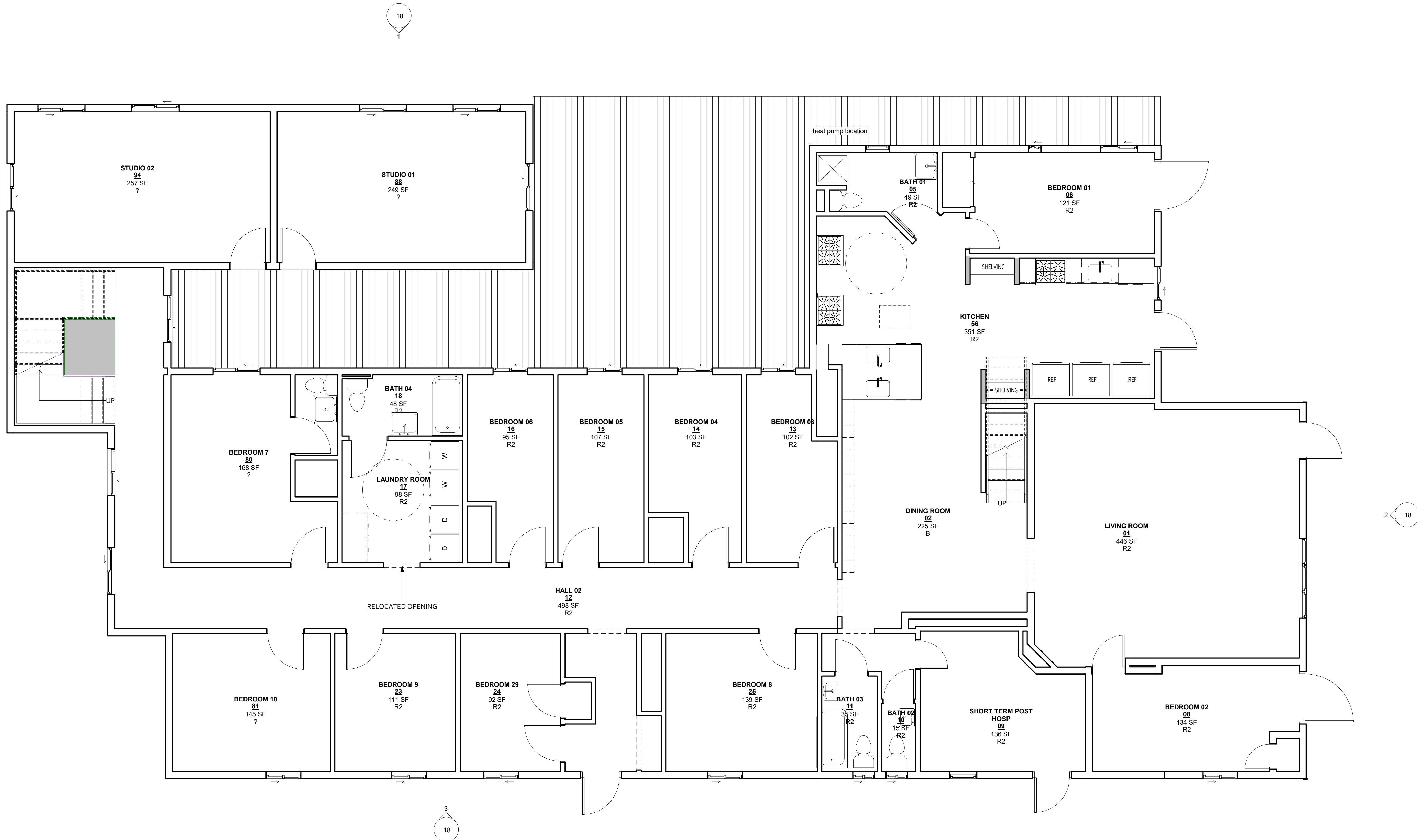
Scale: 1/4" = 1'-0"

Drawn By: CF

Drawing Title:

2-STORY 1ST
FLOOR PLAN

Drawing Number:

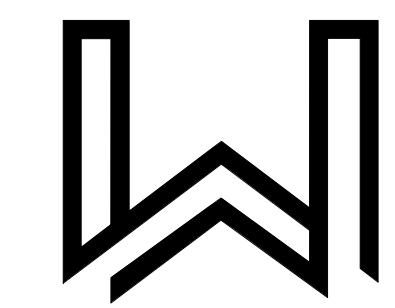


18 4

2 18

3 18

1 1ST FLOOR - 2-STORY DESIGN
1/4" = 1'-0"



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① 2ND FLOOR - 2 STORY DESIGN
1/4" = 1'-0"

SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF HOSPITALITY

131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

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No.	Description	Date

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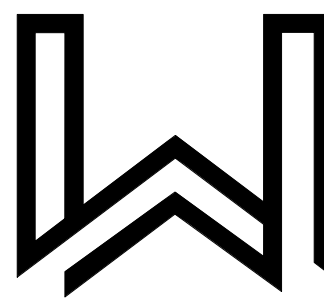
Date: 01/05/2024

Scale: 1/4" = 1'-0"

Drawn By: CF

Drawing Title:
2-STORY 2ND FLOOR PLAN

Drawing Number:



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SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF
HOSPITALITY

131 GLENWOOD AVENUE
GRASS VALLEY, CA 95945

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Proj. No.: 2022003

Date: 03/05/2024

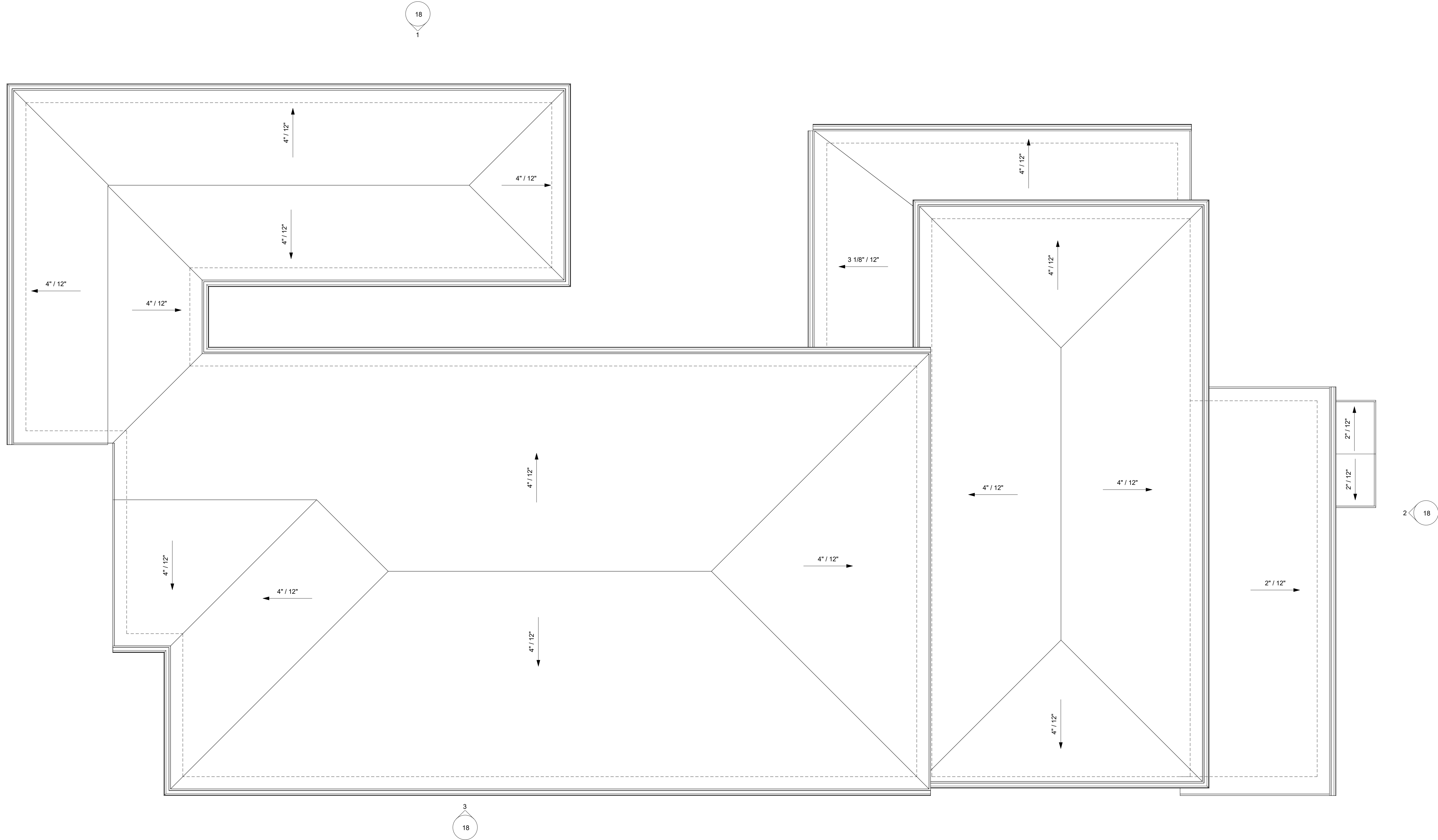
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Drawn By: Author

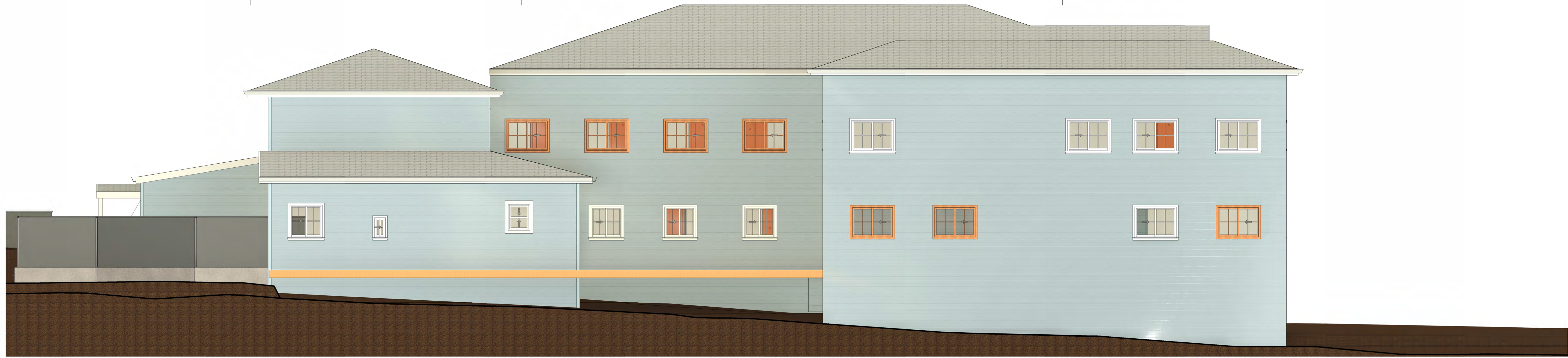
Drawing Title:

2- STORY ROOF
PLAN

Drawing Number:



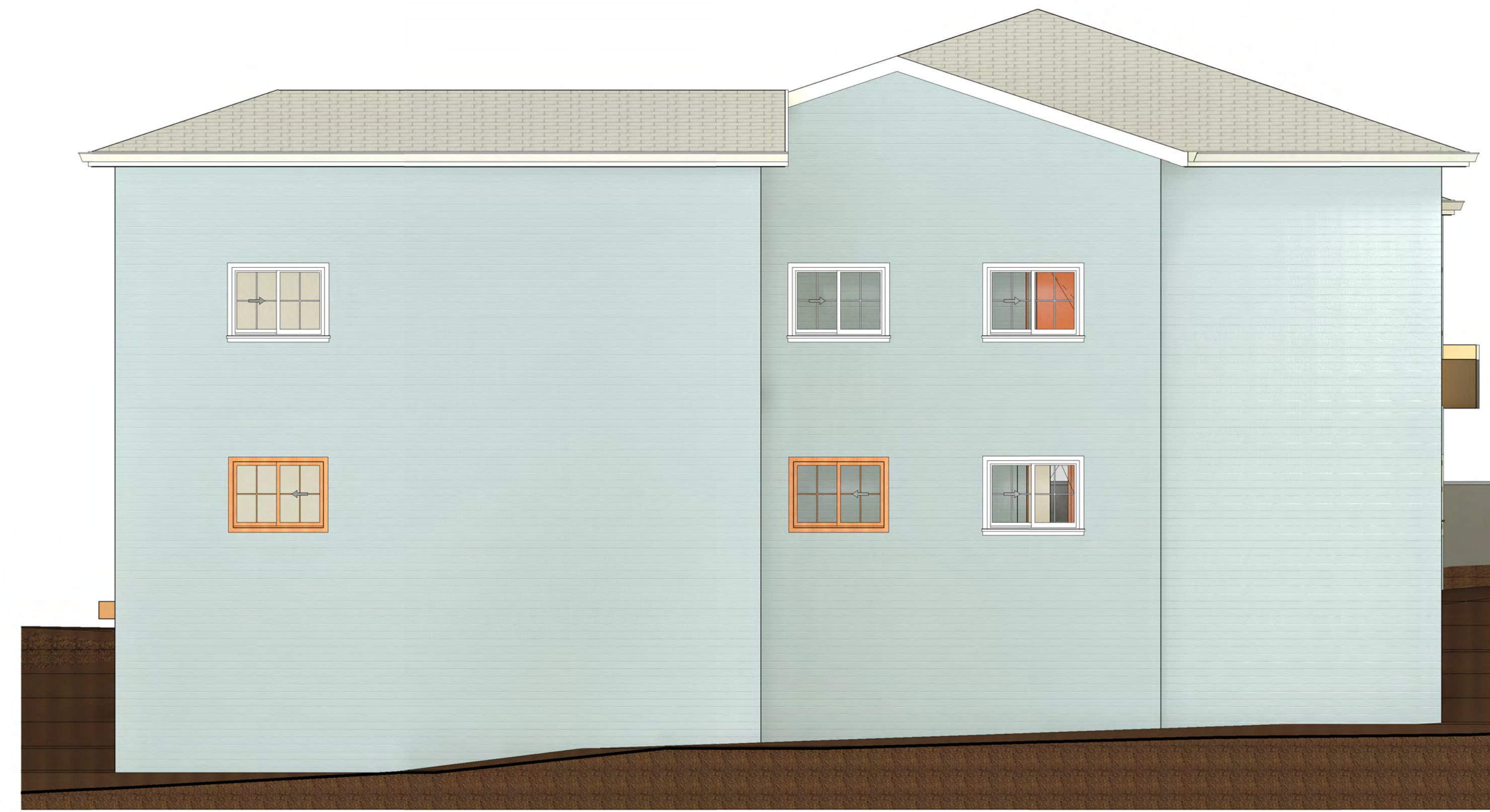
1 ROOF Copy 1
1/4" = 1'-0"



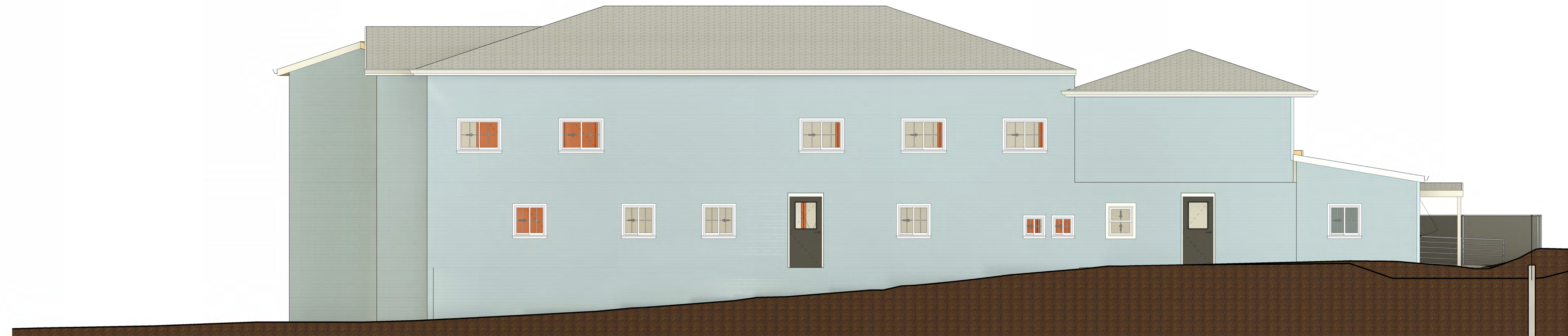
① ELEVATION 'A' - 2-STORY DESIGN
1/4" = 1'-0"



② ELEVATION 'B' - 2-STORY DESIGN
1/4" = 1'-0"



④ ELEVATION 'D' - 2-STORY DESIGN
1/4" = 1'-0"



③ ELEVATION 'C' - 2-STORY DESIGN
1/4" = 1'-0"

No.	Description	Date

Proj. No.: 2022003

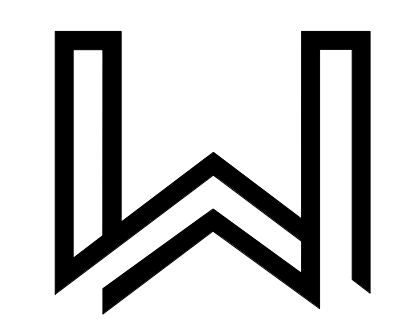
Date: 03/05/2024

Scale: 1/4" = 1'-0"

Drawn By: CF

Drawing Title:
**EXTERIOR
ELEVATIONS**

Drawing Number:



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SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF HOSPITALITY

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No.	Description	Date

Proj. No.: 2022003

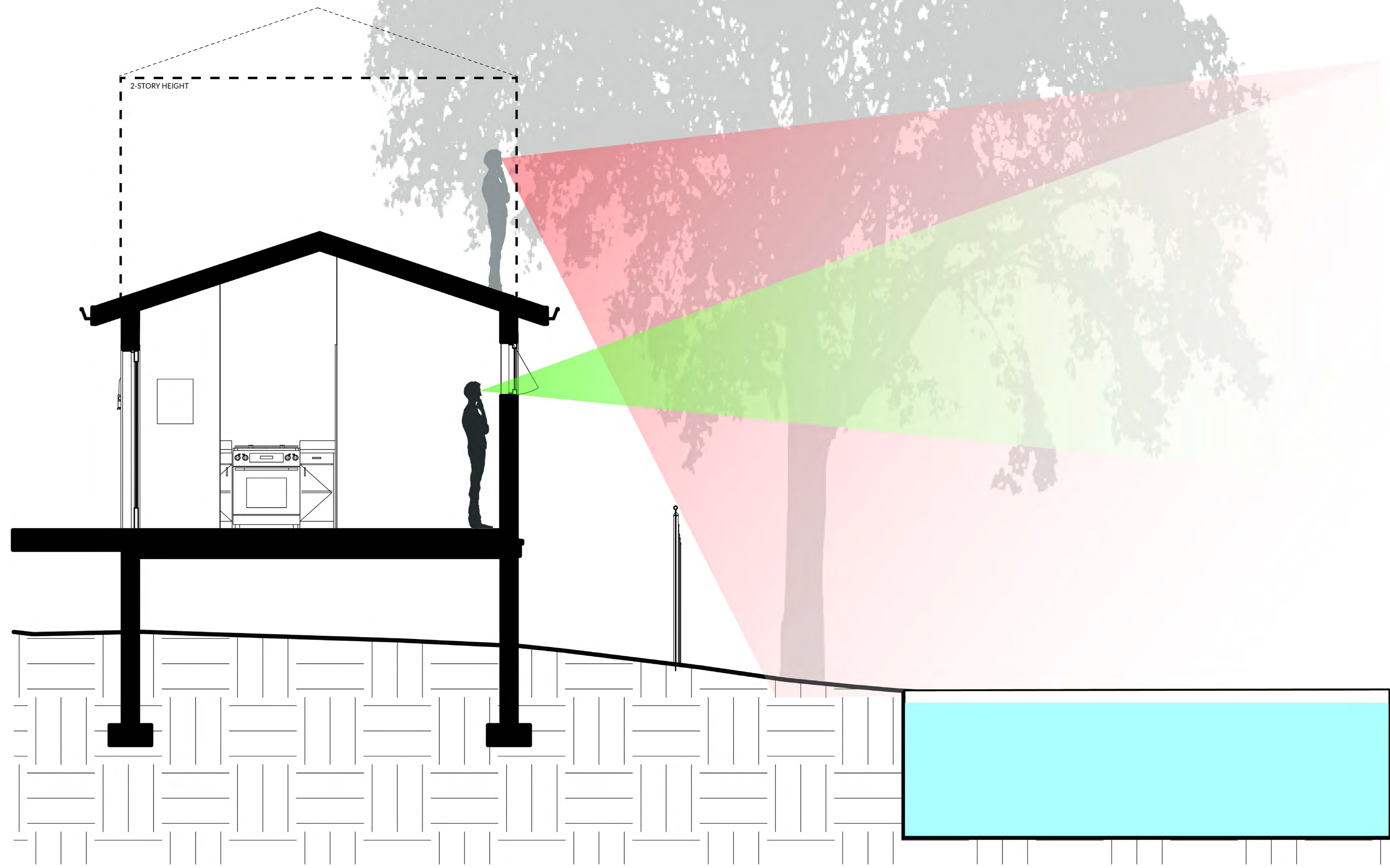
Date: 03/05/2024

Scale:

Drawn By: CF

Drawing Title:
2-STORY
OPTION HEIGHT

Drawing Number:



From: Greg Matuzak, Principal Biologist
Greg Matuzak Environmental Consulting LLC
P.O. Box 2016
Nevada City, CA 95959
Phone: (530) 557-5077
Email: gmatuzak@gmail.com

To: Robert Wallis
Wallis Design Studio Architects
415 W. Main Street
Grass Valley, CA 95945
accounts@wdsa.us
mystery.wallis@wdsa.us

Date: November 30, 2023

Re: **Arborist and Tree Survey Report for the Sierra Guest House Project Located at 131 Glenwood Avenue in Grass Valley, CA**

Project Background

This Arborist and Tree Survey Report (ATSR) has been developed for submission to the City of Grass Valley Planning Department for the proposed Sierra Guest House building permit application project (Project). Sierra Guest House is an assisted living facility. The proposed Project would include a new 7,254 square foot building as well as a partial remodel of the existing residence within the parcel. The new building is proposed to be a single-story building (see attached design drawings and a comprehensive site plan). The subject parcel is located at 131 Glenwood Avenue within the Brunswick Basin area of the City of Grass Valley, CA 95945. The subject parcel includes the following APN: 035-270-035 and the subject parcel is 0.20 acres in size.

The development of a single-story building would require a variance given the required dimensions of the structure within the subject parcel do not meet the typical building standards of the City of Grass Valley. An alternative design of the new building would be to construct a two-story building. However, given Sierra Guest House is an assisted living facility it would be safer for those living within the facility to not have a two-story facility. Additionally, as described within this ATSR, a two-story facility would have an impact on an existing native oak tree that could cause a hazardous tree situation.

As designed, the Project consists of an addition within the rear section of the property with a proposal ten (10) new units to be included in the rear section construction. Additionally, a remodel and expansion of the existing kitchen and improvement to the site within the front of the building are proposed. The existing building consists of a wood framed structure with fiber cement horizontal lap siding and asphalt composite roof. The proposed

new building will include a wood framed structure with fiber cement horizontal lap siding and asphalt composition roof as well. See the attached Comprehensive Site Plan detailing the proposed construction within the subject parcel.

The subject parcel includes a large native blue oak tree along the southern border of the subject parcel and site development could impact the native oak tree directly and/or indirectly depending on the site design selected for the final Project within the subject parcel. The native oak tree in question is rooted within the neighboring parcel to the south of the subject parcel and several of its branches hang over into the subject parcel.

Therefore, this ATSR includes a recommendation to have select the final Project design that would include no additional impacts to the native blue oak tree along the property line given any additional removal of branches could create a hazard situation. Potential hazards from the removal of additional branches of the native blue oak tree could include, but are not limited, to the following: the tree dies and falls or the root system becomes unstable and impacts the foundations of either or both properties as well as the existing pool located within the parcel immediately adjacent to the subject parcel and Project area.

City of Grass Valley Tree Preservation and Protection Ordinance

The City of Grass Valley Tree Preservation and Protection Ordinance (Chapter 12.36 within the City of Grass Valley Code of Ordinances) includes the following:

- The City of Grass Valley acknowledges the importance of trees to the community's health, safety, welfare, and tranquility. Trees increase property values, provide visual continuity, provide shade and cooling, decrease wind velocities, control erosion, conserve energy, reduce stormwater runoff, filter airborne pollutants, reduce noise, provide privacy, provide habitat and food value, and release oxygen. In December 2005, the City Council adopted the Tree Ordinance, Chapter 12.36 of the Municipal Code, to ensure that the community trees would be prudently protected and managed so as to ensure these multiple civic benefits.

What Types of Trees Are Protected Under This Ordinance?

- **Tree:** Any woody plant having a trunk ten (10) caliper inches or larger in Diameter at Breast Height (DBH) (54" above ground height) and as further defined within the definitions section of the Tree Preservation and Protection Ordinance, Chapter 12.36.
- **Significant Tree:** Any tree which measures twenty-four (24) caliper inches or larger in Diameter at Breast Height (DBH) (54" above ground height).

- **Heritage Trees:**

Any tree listed on the official City of Grass Valley heritage tree list adopted by the City Council due to distinctive form, size, age, location, species, unique qualities, or historical significance.

- **Street Trees:**

Any tree within the public right-of-way.

When Are Permits Required?

The pruning or removal of any of the types of protected trees listed above (including the modification of surrounding area) may require review and/or permitting, depending on the nature of the proposed work. The matrix on the opposite side of this page presents the basic review process for tree permits in the City of Grass Valley. It is the responsibility of property owners and/or residents of the City of Grass Valley to be aware of tree-related regulations before engaging in any planning or activity that may require new tree planting or removal; or may impact existing trees. The City of Grass Valley is not responsible for location of trees marked for removal. All property lines should be verified before submitting your application. It shall be the responsibility of all licensed tree cutters or any other person who is removing the tree to have a copy of the applicable tree permit, a valid city business license and any required state licenses in his or her possession and available for inspection upon request.

Arborist and Tree Survey and Results

An arborist and tree survey was conducted on foot within the entirety of the 0.20-acre subject parcel. The arborist and tree survey was conducted by Greg Matuzak, Principal Biologist with Greg Matuzak Environmental Consulting and a Qualified Biologist on the City of Grass Valley's list of such qualified biologists. Additionally, Mr. Matuzak is a certified arborist and has conducted similar arborist and tree surveys for many projects within Nevada County, Nevada City, and the City of Grass Valley.

The site visit and arborist and tree survey was conducted on November 28, 2023. A Photo Log is included in the attachments, which documents the subject parcel during the site visit and arborist and tree survey. The subject parcel does not contain any trees per the definition of the City of Grass Valley Tree Preservation and Protection Ordinance given there are no trees within the subject parcel that have a minimum diameter trunk at breast height (DBH) of 10 inches or greater. However, two (2) trees rooted within the neighboring parcel immediately to the south of the subject parcel (located within the parcel at 139 Glenwood Avenue) and those 2 trees encroach within the subject parcel with branches hanging over into the subject parcel. The 2 trees include a native blue oak (*Quercus douglasii*) with a 22-inch DBH and a Mediterranean cypress (*Cupressus sempervirens*) with a 14-inch trunk DBH. Given both

trees have a DBH greater than 10 inches but less than 24 inches they would both be identified as a Tree by the City of Grass Valley. However, it could be argued that there would be an exemption to remove the Mediterranean cypress given it appears to have been planted as a hedge to block off the parcel boundary view but has since grown to over 40 feet tall. The

The native blue oak tree is in moderately good condition; however, historically a few smaller branches were removed from the tree apparently given the lower, smaller branches were a nuisance to the subject parcel. The non-native Mediterranean cypress is in good condition, but it is growing up against the existing structure within the subject parcel (see attached Photo Log).

Arborist and Tree Survey Recommendations

The native blue oak tree is in moderately good condition; however, based on the remaining existing branches that grow above and over the existing structure along the southern side of the subject parcel (see attached Photo Log), any required removal of those branches as part of the proposed Project could create a hazard for the tree and the neighboring parcel. It is my understanding from discussions with the Project design team that the development of a two-story structure would require the removal of additional branches that remain above and over the existing structure within the subject parcel given the height of a two-story structure would be higher than the existing building. Therefore, the recommendation of this ATSR is the following:

- The design team should incorporate a single-story structure that would avoid the need to remove any additional branches from the existing native blue oak tree. This would allow the relatively healthy blue oak tree to remain in its present condition with no further degradation to it. This would also eliminate the need to apply for a Tree Removal Permit for any trimming or removal of the native blue oak tree.
- If a two-story structure is selected as the final design several additional branches along the northern side of the native blue oak tree would need to be removed given a two-story structure would be higher than the existing structure. This would most likely require the need to apply for a Tree Removal Permit for any trimming or removal of the native blue oak tree and mitigation for impacts to the native blue oak tree could also be required.
- The removal of additional branches could make the native blue oak unbalanced and through time it could begin to sustain a decline in its ability to support itself. The tree could eventually deteriorate and/or fall, or the root structure of the tree could begin to negatively impact the foundations of the buildings adjacent to it and the pool that is also adjacent to it.

- The non-native Mediterranean cypress should be removed given it is growing up along the side of the existing building within the subject parcel. Such non-native trees pose a fire hazard given their dry nature and shape. Additionally, the tree as seen within the attached Photo Log is a nuisance to the structure within the subject parcel. Given it is a non-native tree and most likely planted initially as a hedge along the parcel boundary to increase privacy within the adjacent parcel, it is recommended that it be removed and most likely would meet the exemption policy of the City of Grass Valley and would not require a Tree Removal Permit for its removal.

If a Tree Permit is Required for the Timming of Branches and/or Tree Removal

It is my understanding from discussions with the Project design team that the development of a two-story structure would require the removal of additional branches that remain above and over the existing structure within the subject parcel given the height of a two-story structure would be higher than the existing building. Additionally, it is recommended that the Mediterranean cypress be removed. Therefore, the City of Grass Valley has specific criteria for the removal of trees and they are outlined below.

Per the City of Grass Valley Ordinance No. 726, § 1, 4-12-2011, the following process would be required if 1) either tree needed to be removed or branches trimmed and 2) the City of Grass Valley requires a Tree Removal Permit for such actions regarding either tree.

12.36.080 - Criteria for issuance of tree removal permit.

An applicant for a tree removal permit shall demonstrate that the following criteria are satisfied. The tree permit administrator may require an arborist's report to substantiate the criteria for a permit.

- A. Hazard Tree. The tree permit administrator shall issue a tree removal permit for a hazard tree if the applicant demonstrates that a tree is a hazard and warrants removal:
 1. A hazard tree is a tree that is physically damaged to the degree that it is clear that it is likely to fall and injure persons or property. A hazard tree may also include a tree that is located within public rights-of-way and is causing damage to existing public or private facilities or services and such facilities or services cannot be relocated or the damage alleviated. The applicant must

demonstrate that the condition or location of the tree presents a clear public safety hazard or a foreseeable danger of property damage to an existing structure and such hazard or danger cannot reasonably be alleviated by treatment or pruning.

2. The city may require the applicant to mitigate for the removal of each hazard tree pursuant to Section 12.36.085 of this chapter (outlined below). Such mitigation requirements shall be a condition of approval of the permit.
- B. Tree that is Not a Hazard. The city shall issue a tree removal permit for a tree that is not a hazard if the applicant demonstrates one of the following two options:
1. The tree is proposed for removal in order for the property to achieve compliance with other applicable city requirements and standards (i.e., other applicable site design and use standards). The tree permit administrator may require the building footprint of an improvement that would prompt the removal of a tree to be staked on the property prior to removal of the tree;
 2. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks;

Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within two hundred feet of the subject property. The city shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted by the city zoning ordinances. In making this determination, the city may consider alternative site plans or placement of structures or alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with other provisions of the city zoning ordinance.

The city shall require the applicant to mitigate for the removal of each tree granted approval pursuant to Section 12.36.085 outlined below. Such mitigation requirements shall be a condition of approval of the permit.

12.36.085 - Mitigation required.

An applicant may be required to provide mitigation for any tree approved for removal. The mitigation requirement shall be satisfied by one or more of the following:

- A. Replanting On-site. The applicant shall plant either a minimum one and one-half-inch caliper healthy and well-branched deciduous tree or a five- to six-foot tall evergreen tree for each tree removed. The replanted tree shall be of a species that will eventually equal or exceed the removed tree in size if appropriate for the new location. The tree shall be planted and maintained in accordance with city policies and standards or recommendations provided by an arborist.
- B. Replanting Off-site. If in the city's determination there is insufficient available space on the subject property, the replanting required in subsection A of this section shall occur on other property in the applicant's ownership or control within the city, in an open space tract that is part of the same subdivision, or in a city- owned or dedicated open space or park. Such mitigation planting is subject to the approval of the authorized property owners. If planting on city-owned or dedicated property, the city may specify the species and size of the tree. Nothing in this section shall be construed as an obligation of the city to allow trees to be planted on city-owned or dedicated property.
- C. Payment in Lieu of Planting. If in the city's determination no feasible alternative exists to plant the required mitigation, the applicant shall pay into the tree account an amount as established by resolution of the city council.

Conclusions

The site survey and arborist and tree inventory survey identified 2 trees. One native blue oak tree that is in moderately good condition and a non-native Mediterranean cypress that is in good condition. Both of the trees are located along the southern border of the subject parcel and rooted in the adjacent parcel directly to the south of the subject parcel and structure to be removed and replaced with a

proposes single-story structure.

Based on the remaining existing branches of the native blue oak tree that grow above and over the existing structure along the southern side of the subject parcel (see attached Photo Log), any required removal of those branches as part of the proposed Project could create a hazard for the tree and the neighboring parcel. Therefore, it is recommended that the blue oak tree be avoided and thus no tree removal or branch removal would be required. If the development of a two-story structure is selected it would require the removal of additional branches that remain above and over the existing structure within the subject parcel given the height of a two-story structure would be higher than the existing building and thus a City of Grass Valley Tree Removal Permit would be required.

The tall Mediterranean cypress should be removed given it is a non-native species and is growing up along the side of the existing building along the southern border of the subject parcel. Given the tall and dry conditions of the cypress it represents a hazard from potential fire and a hazard to the existing building and the proposed construction of a new building at that location. Given the cypress was most likely planted as a hedge to create more backyard privacy within the parcel directly to the south of the subject parcel, it cypress most likely would meet the exemption definition outlined within the City of Grass Valley Tree Preservation and Protection Ordinance. Whether a Tree Removal Permit is required or not, the tree should be removed and given it is not a significant or heritage tree and it is a non-native tree, no mitigation should be required for the removal of the cypress.

Lastly, if a two-story structure is developed within the subject parcel and it encroaches into the branches of the native blue oak tree, a Tree Removal Permit would be required most likely by the City of Grass Valley. Though the tree is not a significant tree or heritage tree, removal or trimming of the tree could require the Tree Removal Permit. If such a permit is required, mitigation for the trimming or removal of the tree shall be through the tree preservation fund established for the City of Grass Valley given there is no on-site location for mitigation planting and the Project applicant would not want to conduct an off-site mitigation project for the removal or impact of any tree. The payment through the tree preservation fund is to be directed towards planting of trees on publicly owned property, easements, or within rights-of-way.

The Project shall comply with Section 12.36.160 of the City's Ordinance for activities within drip lines of trees. Grading, irrigation, and paving beneath trees to be retained shall be given special attention. Every reasonable effort shall be made to avoid creating conditions adverse to the tree's health. Given the subject parcel is already paved and developed, no additional impacts will occur within the drip line of any tree located adjacent to the subject parcel.

Attachments



County of Nevada

Nevada County, CA Parcel Report
Data current as of: 11/27/2023

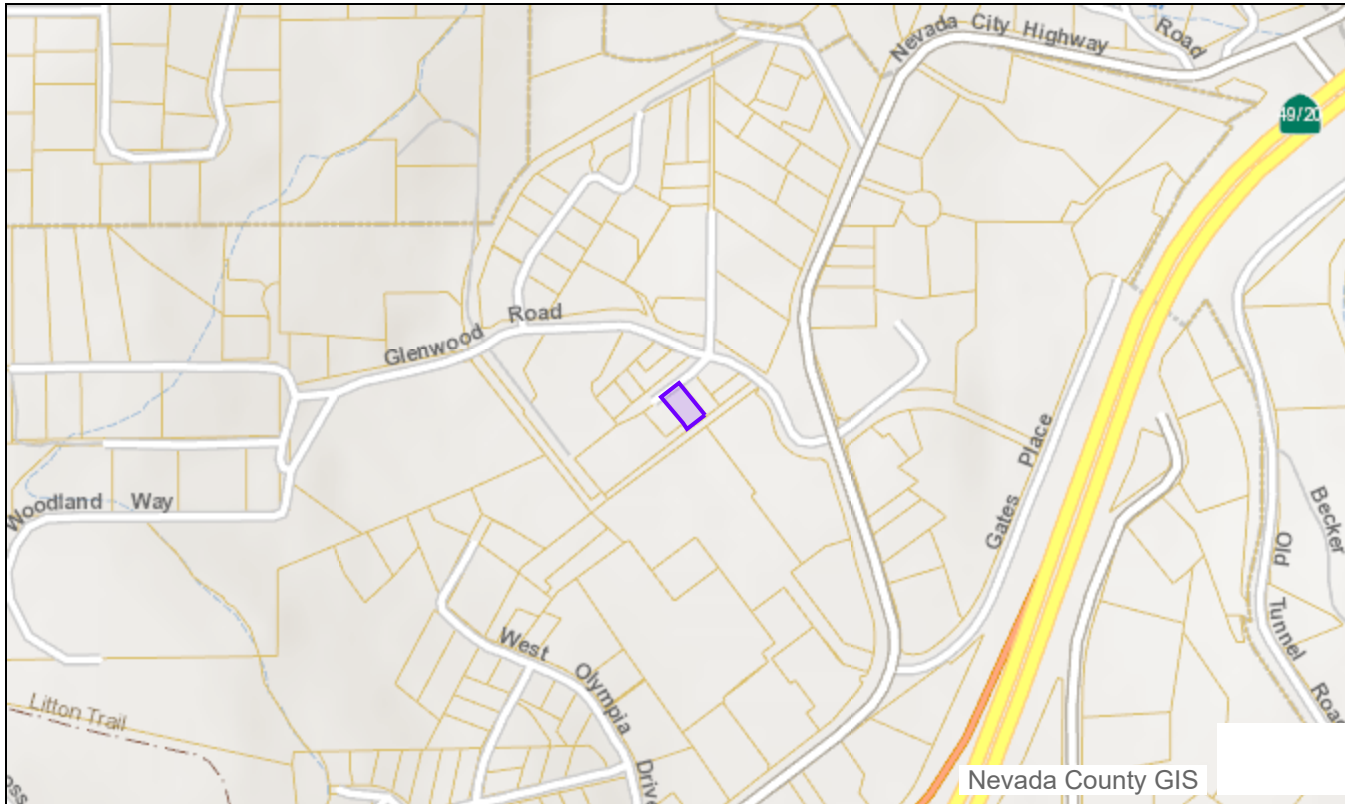
Description: The Parcel Report displays information from a variety of sources – Assessor, Building, Code Enforcement, Environmental Health, and Planning departments to list a few. The report is maintained by the County GIS Division.

Item #2.

Search by Assessor's Parcel Number (APN):

035-270-035-000

Search



[View Assessor's Parcel Map PDF](#)

[Site Information](#)

[Property Details](#)

[Districts](#)

[Permits](#)

[Unrecorded Maps](#)

Site Address

131 GLENWOOD AVENUE

Jurisdiction

GRASS VALLEY CITY

Legal Description

PTN NE 1/4 23-16-8

Item # 2.

Property Summary

Assessor's Parcel Number	Acreage	Land Value	Improvement Value	Tax Rate Area
035-270-035-000	0.20	\$102,000.00	\$586,500.00	001-056

Property Context

Zoning	Zoning District Map	General Plan	Census Tract	Census Block Group	Max Elevation	Ground Snow Load (lbs/sqft)	Climate Zone	Wind Exposure
R-1 GVCity	52c	ULD GVCity	5.01	2	2,667	49	11	C

GENERAL NOTES:

1. ALL WORK, DETAILS OF DESIGN, WORKMANSHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2022 CBC AND CBCSC, AND THE CURRENT NEVADA COUNTY GRADING ORDINANCE.
2. DUNDAS GEOMATICS INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF DUNDAS GEOMATICS INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD DUNDAS GEOMATICS INC. HARMLESS.
3. DUNDAS GEOMATICS INC. RESERVES THE RIGHT TO PERFORM OBSERVATION VISITS TO THE SITE AT ANY TIME. OBSERVATIONS ARE PERFORMED SOLELY FOR THE PURPOSE OF DETERMINING IF THE CONTRACTOR UNDERSTANDS DESIGN INTENT CONVEYED IN THE PLANS. OBSERVATIONS DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF THE PROJECT.
4. ALL INSPECTIONS REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR BY THESE PLANS SHALL BE PROVIDED BY AN INDEPENDENT INSPECTION COMPANY OR THE BUILDING DEPARTMENT. SITE VISITS BY THE ENGINEER OR RECORD DO NOT CONSTITUTE AN INSPECTION, UNLESS SPECIFICALLY CONTRACTED.
5. IN THE EVENT THAT CERTAIN EXISTING DIMENSIONS OR CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO THAT THE PROPER REVISIONS CAN BE MADE IF NECESSARY. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY DUNDAS GEOMATICS INC. OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
6. THE DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. NO DEVIATIONS FROM DETAILS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF DUNDAS GEOMATICS INC.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
8. THESE PLANS HAVE BEEN PREPARED USING STANDARDS OF CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. THEY NECESSARILY ASSUME THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS OR CAN BE EXPLICITLY SHOWN ON THESE DRAWINGS, IT IS UNDERSTOOD THAT THE CONTRACTOR WILL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR ALL MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
9. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.

SITE WORK:

1. DUNDAS GEOMATICS INC. HAS NOT MADE A GEOTECHNICAL REVIEW OF THE BUILDING SITE AND IS NOT RESPONSIBLE FOR GENERAL SITE STABILITY OR SOIL SUSTAINABILITY FOR THE PROPOSED PROJECT.
2. BUILDING SITES ARE ASSUMED TO BE GRADED AND FREE OF CLAY OR EXPANSIVE SOIL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT. ANY DAMAGE TO AN EXISTING STRUCTURE AS A RESULT OF ANY ACTION OF THE CONTRACTOR SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
4. ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM SITE AND DISPOSED OF BY THE CONTRACTOR, UNLESS OTHERWISE INSTRUCTED BY OWNER.
5. CONTRACTOR SHALL PROTECT FARRICADES, WARNING SIGN, ETC. AS REQUIRED BY LOCAL CODES.
6. CONTRACTOR SHALL LOCATE AND CLEARLY MARK THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL RELOCATE UTILITY LINES AS REQUIRED.
7. NO CUTS OR FILLS ARE ALLOWED WITHIN 2' OF THE PROPERTY LINE.
8. CONTRACTORS AND CONSTRUCTION PERSONNEL INVOLVED IN ANY FORM OF GROUND DISTURBANCE (I.E. UTILITY PLACEMENT OR MAINTENANCE, OR ETC.) SHALL BE ADVISED OF THE REMOTE POSSIBILITY OF ENCOUNTERING SUBSURFACE CULTURAL RESOURCES. IF SUCH RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED IMMEDIATELY. THE NEVADA COUNTY CORNER AND THE NATIVE AMERICAN HERITAGE ORGANIZATIONS AND INDIVIDUALS RECOGNIZED BY THE COUNTY SHALL BE NOTIFIED AND GIVEN THE OPPORTUNITY TO PARTICIPATE IN THE TREATMENT PRIOR TO ANY DEMOLITION APPROVAL. THE PROPERTY SHALL BE COORDINATED WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND LOCAL ENFORCEMENT AGENCY.
9. ALL FILL MATERIAL SHALL BE CLEAN AND FREE OF DEBRIS GREATER THAN 1/2 INCHES IN DIAMETER, NEVADA COUNTY LAND USE ORDINANCE 15.11.01.01. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT OF RELATIVE COMPACTION WITH A COMPACTION REPORT ON SITE AT TIME OF INSPECTION. NEVADA COUNTY LAND USE ORDINANCE 15.13.01.01.
10. THE ENGINEER OF RECORD SHALL SUBMIT A LETTER CERTIFYING THAT ALL GRADING AND EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN COMPLETED PER THE APPROVED PLANS PRIOR TO THE PERMIT FINAL.

NOTES

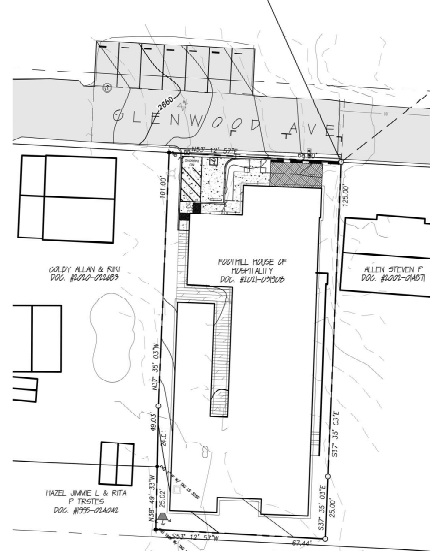
1. CONTINUED INTERVAL - 1' IF
2. ALL DISTURBED SOIL / GRADING AREAS NOT RECEIVING HARDSCAPE MATERIALS SUCH AS ASPHALT, CONCRETE, ROCK, OR GRAVEL SHALL BE REVEGETATED.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MANAGEMENT OF EROSION CONTROL MEASURES INCLUDING FIBER ROLLS, SILT FENCING AND ANY OTHER MEASURES DEEMED NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE. CONTRACTOR IS ADVISED TO REFERENCE CALIFORNIA STORM WATER QUALITY ASSOCIATION CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP MANUAL).
4. CONTRACTOR SHALL TAKE CARE TO PREVENT SOIL TRACKING INTO ROADWAY. FLUTTIE DUST/SOIL IF TRACKED INTO THE ROADWAY SHALL BE SWEEP AND REMOVED.
5. ALL SITE WORK SHALL CONFORM TO CURRENT CODE EDITIONS (2019 CBC, CBCSC AND NEVADA COUNTY GRADING ORDINANCE).

EROSION CONTROL NOTES

1. ALL EXCAVATED AREAS SHALL BE LEFT WATERED OR COVERED WITH A PALLIATIVE TO PREVENT EROSION. EROSION CONTROL AND SEDIMENT CONTROL SHALL BE PROVIDED AT ALL TIMES INCLUDING EROSION, WEEDING AND WEEDING. A 100 GPM WATER NOZZLE UNIT WITH A MINIMUM CAPACITY OF 1000 GALLONS SHALL BE AVAILABLE AT ALL TIMES FOR APPLYING WATER ON THE AFFECTED AREAS. WATER SHALL BE OBTAINED FROM A SOURCE APPROVED BY THE NORTHERN SIERRA AIR QUALITY MANAGEMENT DISTRICT.
2. SEED, FERTILIZER, AND MULCH SHALL BE APPLIED BETWEEN SEPTEMBER 1 AND OCTOBER 15. REMOVAL OF NATIVE VEGETATION SHALL BE MINIMIZED.
3. SEED, FERTILIZER, AND MULCH SHALL BE APPLIED TO ALL DISTURBED SOILS AND ALL EXPOSED CUT AND FILL SLOPES NOT PROTECTED BY ROCK IN THE FOLLOWING RATIOS:
SEED MIX: BLANDO BROME 11.18 TONS/AC
ZYRNO ANTLI FESCUE 14.18 TONS/AC
HYKON ROSE CLOVER (INOCULATED) 9.18 TONS/AC
SEED MIX: AMMONIUM PHOSPHATE (16-20-0) 30 TONS/AC
SEED MIX: CLEAN STRAW 2.0 TONS/AC
*SLOPES WITH GLAZED OR SMOOTH SURFACES SHALL BE SCARIFIED TO A DEPTH OF 3/4 INCHES TO PROVIDE AN ADEQUATE SEED BED.
**SEEDS SHALL BE INOCULATED WITH APPROPRIATE BACTERIA AT ACCEPTED RATES AT TIME OF SEEDING.
SEED AND FERTILIZER SHALL BE APPLIED USING BROADCAST METHOD ON SLOPES GREATER THAN 2:1. OTHER MEASURES SUCH AS NETTING OR TACKERS SHALL BE UTILIZED TO HOLD MATERIALS IN PLACE UNTIL VEGETATION IS ESTABLISHED.
4. IF PERMANENT EROSION CONTROL MEASURES ARE NOT INSTALLED BY OCTOBER 15 OF CONSTRUCTION SEASON, TEMPORARY MEASURES SUCH AS STEEL ROLL SEDIMENT BARRIERS, CHECK DAMS, SEDIMENT TRAPS SHALL BE EMPLOYED NO LATER THAN NOVEMBER 1. THE EXACT LOCATIONS FOR SPECIFIC MEASURES MAY BE DETERMINED IN THE FIELD AFTER CONSULTING WITH THE NEVADA COUNTY RESOURCE CONSERVATION DISTRICT.
5. APPROVAL SHALL BE OBTAINED FROM THE BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY OCCURRING BETWEEN OCTOBER 15th - APRIL 15th.

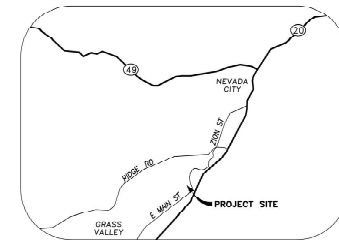
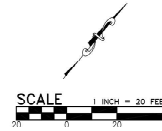
COMPREHENSIVE SITE PLAN

FOR:
FOOTHILL HOUSE OF HOSPITALITY
APN # 035-270-035



LEGEND

- FOUND MONUMENT AS NOTED
- NOTHING FOUND, NOTHING SET
- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - UNDERGROUND WATER LINE
- - - SEWER SANITATION LINE
- WATER BOX
- SEWER SANITATION BOX
- CATCH/STAIN GUT TO ROAD
- ACTUAL DRIVEWAY SURFACE
- V-DITCH
- FLOOR ROLLS
- FLOW LINE



VICINITY MAP
SCALE: NTS

OWNER
FOOTHILL HOUSE OF HOSPITALITY
1202 SUTTON WAY
GRASS VALLEY, CA 95945
PHONE: (530) 777-7777

PROPERTY ADDRESS
131 GLENWOOD AVE
GRASS VALLEY, CA 95945

MAP PREPARED BY
DUNDAS GEOMATICS INC.
139 SOUTH ALBURN ST.
GRASS VALLEY, CA 95945
(530) 274-1016
CONTACT: ROBERT LAWLESS, P.E., P.L.S.

ASSESSOR'S PARCEL NUMBER
035-270-035

LOT AREA
0.3 ACRES OR 8,712 S.F.

ZONING & G.P.
ZONING: R-1 GVCITY
G.P.: ULD GVCITY

SERVICES
ELECTRICITY: PG&E
TELEPHONE: AT&T
WATER: NLD
SEWER: ULD GVCITY

BASIS OF BEARING

THE MERIDIAN OF THIS SURVEY IS BASED ON ROAD 83 CALIFORNIA STATE PLANE COORDINATE SYSTEM ZONE 2. DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET AND DECIMALS THEREOF.

VERTICAL DATUM:

NAVD 88 STATIC GPS OBSERVATION.

TABLE OF CONTENTS

- SHT - 1 COVER SHEET
- SHT - 2 DEMOLITION PLAN
- SHT - 3 SITE PLAN & DETAILS
- SHT - 4 SECTIONS & DETAIL VIEWS

EARTHWORK QUANTITIES:

DRIVEWAY & WALKWAYS - 900 S.F.
HOUSE ADDITION - 2,430 S.F.
MISC. GRADING - 2,475 S.F.
AREA OF DISTURBANCE - 3,907 S.F.
EXCAVATION FILL QUANTITIES:
CUT: 08 CUBIC YARDS GROSS
FILL: 106 CUBIC YARDS GROSS

SIERRA GUEST HOME EXPANSION

FOOTHILL HOUSE OF HOSPITALITY

131 GLENWOOD AVE
GRASS VALLEY, CA 95945

DESIGN REVIEW



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Date	Description

Proj. No.: 2022003

Date: 11/7/2023

Scale:

Drawn By: Aull/Kay

Drawing Title:

COVER

Sheet Number:



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Date:	
Drawn by:	
Checked by:	
Appr'd by:	
Scale:	
Proj No:	20021003
Date:	11/7/2023
Drawn by:	AJL/ML

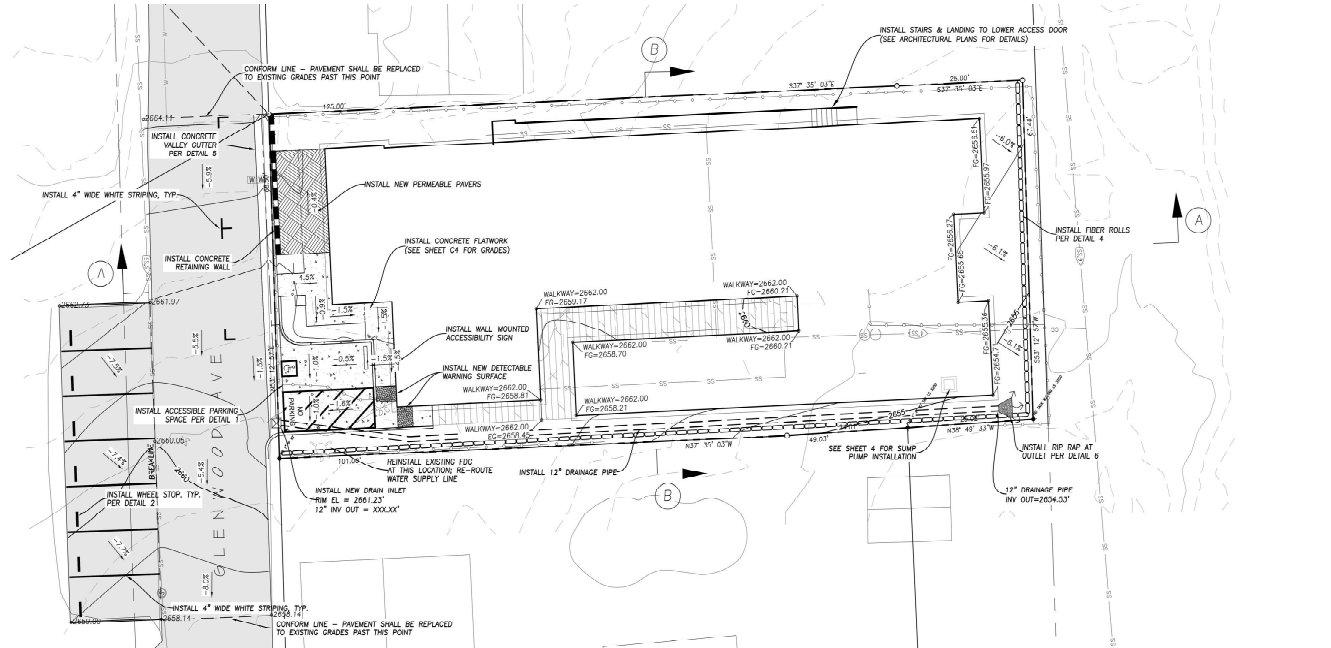
Proj No: 20021003

Date: 11/7/2023

Drawn by: AJL/ML

Drawing Title: SITE PLAN & DETAILS

Drawing Number:

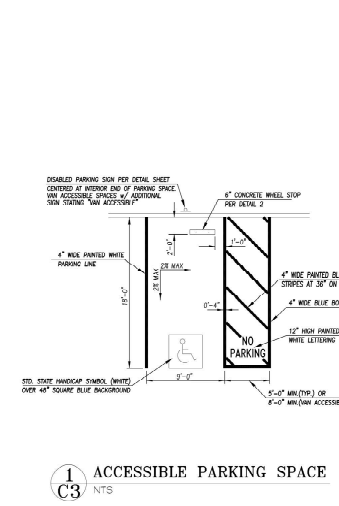
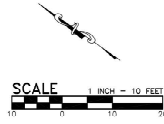


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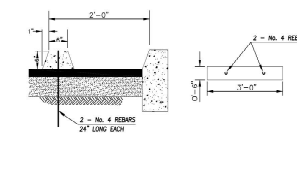
- FOUND MONUMENT AS NOTED
- NOTHING FOUND, NOTHING SET
- - - PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - UNDERGROUND WATER LINE
- - - SLOWLY SANITATION LINE
- ⊕ FIRE DEPARTMENT CONNECTION
- W WATER METER
- ⊕ DRAIN INLET
- ⊕ SINK
- ▨ ASPHALT DRIVEWAY SURFACE
- ▨ CONCRETE SURFACING
- ▨ V-SLOTT
- ▨ FLOW LINE
- ▨ FIBER ROLLS
- ▨ ADA PATH-OF-TRAVEL
- ▨ DETAINING WALLS
- ▨ FENCING

CONSTRUCTION NOTES:

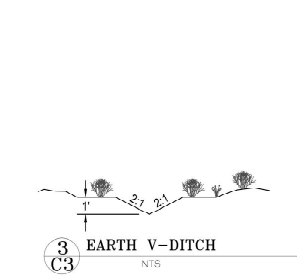
1. SEE SHEET 4 FOR ELEVATIONS OF PROPOSED LANDSCAPING.
2. THE ENTIRE ROAD SHALL BE FINISH WHERE THE EXISTING PAVEMENT WAS REMOVED. THE GRADES FOR THE NEW PAVEMENT SHALL MATCH THE EXISTING GRADES, EXCEPT WHERE OTHERWISE NOTED.
3. SEE SHEET 4 FOR ADDITIONAL WORK IN THE BASEMENT.



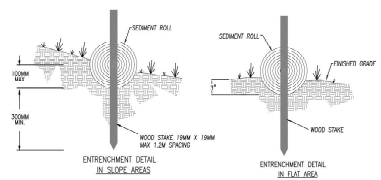
1 C3 NTS
ACCESSIBLE PARKING SPACE



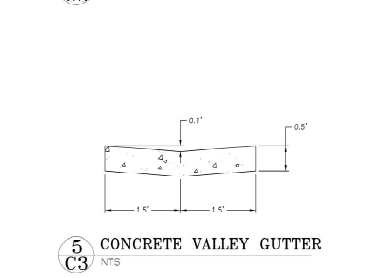
2 C3 NTS
WHEEL STOP



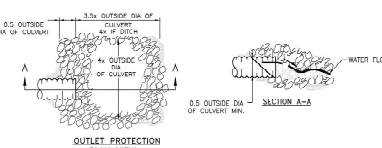
3 C3 NTS
EARTH V-DITCH



4 C3 NTS
FIBER ROLL DETAIL



5 C3 NTS
CONCRETE VALLEY GUTTER



- NOTES:
1. FIBER ROLL BACK.
 2. ALL ROADS SHALL BE FINISH AND HAVE TWO STRIPS.
 3. WHERE SLOPES OF OUTLET EXCEEDS 6% A CONCRETE SLOPE OR ENERGY DISSIPATOR SHALL BE INSTALLED.
 4. BLOCK SIGN PROTECTION SHALL BE INSTALLED AT A MINIMUM 15' FROM OR 10' OF CURB.
 5. ALL CURBS OF 48\"/>

6 C3 NTS
OUTLET PROTECTION DETAIL

Photo Log of the Project Area During the Site Survey on November 27th, 2023



Photo 1: Existing access into the subject parcel off of Glenwood Avenue. The hedges to the right are along the parcel border. Two trees along the parcel border are a concern.



Photo 2: The existing large non-native tree along the parcel border is a hazard tree given it is a fire danger and a danger to infrastructure within the subject parcel.



Photo 3: The native blue oak tree to the left would be impacted significantly by a two-story development. A single story development would avoid the tree's canopy.

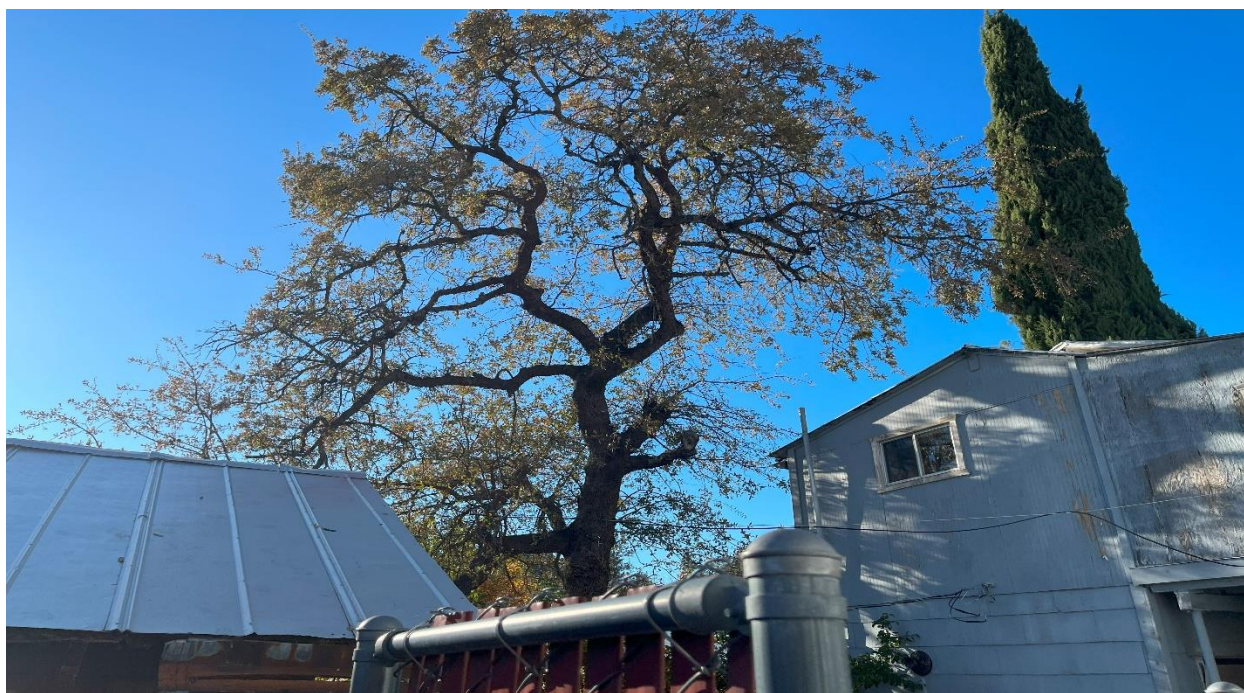


Photo 4: It is recommended the tall non-native tree behind the structure be removed as it is a fire and structural hazard, while it is recommended the oak tree not be impacted.



Photo 5: The large native blue oak tree would require branch removal for a two-story structure, which would create a hazard for the neighboring parcel where tree is rooted.



Photo 6: A two-story structure would require overhanging branches to be removed. The tree would be side heavy to the left and could fall or damage the foundation and/or the neighboring pool where the tree is rooted within the adjacent parcel to the Project.



Photo 7: Back of the existing site development where future expansion will occur. No trees are located within the parcel except for the native oak and non-native tree.



Photo 8: Cottonwood trees are located within the adjacent parcel behind the subject parcel and will not be impacted by the Project.



Photo 9: Existing structure within the subject parcel from along Glenwood Avenue. Only the tall non-native tree in photo and the blue oak tree encroach within the parcel.



Photo 10: Far side of the subject parcel with no native trees or encroachment of trees within the parcel.

Prepared by: Amy Wolfson, City Planner

DATA SUMMARY:

Application Number: 22PLN-37
Subject: Development Review Permit for the construction of a three-story, ±42,000 square foot/80 room Holiday Inn Express on a 2.74 acre portion of an 11.77 acre parcel
Location/APN: 961 Plaza Drive/035-480-039
Owner: Rajinder Singh, Grass Valley Hospitality, Inc.
Applicant: Jeff Morrish, NST Engineering, Inc.
Zoning/General Plan: Central Business (C-2) Zone/Commercial
Entitlements: Development Review Permit

RECOMMENDATION:

1. That the Planning Commission approve the Development Review Permit for the ±42,000 square foot, 80-room hotel project as presented, as may be modified and, which includes the following actions:
 - a. A finding that the Development Review project is Categorically Exempt pursuant to Section 15332, Class 32 (In-fill) of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report; and
 - b. Adoption of Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and
 - c. Approval of the Development Review Permit for the ±42,000 square foot, 80-room hotel project on 2.74 acres as presented in accordance with the Conditions of Approval, attached to the Staff Report.

BACKGROUND:

In 2002, the City adopted a Mitigated Negative Declaration and approved the Olympia Plaza II Project. The project included the construction of six buildings on ±4.7 acres of the ±12-acre site. In total, ±52,000 square feet of commercial/office floor area was approved with 40 apartments, many of which would have included second and third floors above the commercial spaces. That project expired in 2005. While the development never came to fruition, as a result of that proposal, open space areas were reserved on the properties at both the north and south ends for preservation of trees and/or biological resources.

Staff presented a preliminary project design for the proposed Holiday Inn Express at the May 23, 2023 DRC meeting to obtain feedback on the proposed development. At that meeting the committee recommended that the applicant refine the design to be more consistent with Gold Country architecture and the City's Community Design Guidelines. Specific recommendations from that meeting are included in the May 24, 2023 letter sent to the applicant (Attachment 7).

The applicant has been working diligently with staff to make the recommended design modifications and also correct the plans to be compliant with the city municipal code. The proposed project is the result of responses to several staff requests for modifications.

Staff returned to DRC with a revised project on December 12, 2023, at which time the committee recommended approval of the revised design to the planning commission. They did request that the applicant provide additional detail for the decorative feature to be placed on the span of exterior rear elevation that serves the elevator shaft and also that they provide the commission with the selected materials for the retaining wall. Attachment 6, which included color and material selections, has been updated with this information, including an option for either a split-faced or smooth finish retaining wall (see attachment 6.d). The DRC also recommended that condition of approval no 9 be added requiring that the applicant install snow cleats on the roof.

PROJECT DESCRIPTION:

Development Review Permit – The Development Review Permit is for the Holiday Inn Express hotel proposed to be located on a 2.74-acre portion of the parcel at 961 Plaza Drive. A tentative map was processed concurrently, approved by the planning commission at their December meeting, which will separate the hotel development from the remaining vacant 9.03 acres. The site is proposed to be developed with a ±42,000 square foot, 80-room hotel. The project is in the Central Business District (C-2) Zone, which allows hotel use as a permitted use contingent upon approval of a Development Review Permit (i.e. Design Review) for site plan and architectural building design in accordance with the City’s Design Guidelines, and development standards of the City Municipal Code. The project plans include the following Development Review details:

Site Plan & Setbacks – The three-story, 80-room hotel is proposed to be located in the center of the northerly 2.74-acre development area with parking located primarily to the south of the proposed building. The building is setback approximately 230 feet from the northern property line, running along Brunswick Road, with the outdoor pool setback 200-feet. The building is setback approximately ±25 feet from the eastern property line, adjacent to Timeberwood Estates, 150-feet from the proposed southern property line, and between 45 and 100 feet along the west property line fronting Sutton Way fronting. The project complies with the City’s setbacks for the C-2 Zone, which are 0 feet in the front; 10 feet on an interior side where abutting a residential zone; 0 feet on a street side yard; and 25 feet in the rear.

Access & Circulation – Access to the property is proposed at two locations at the north end and at the south end of the resulting lot, both providing two-way access to/from Plaza Drive. All the internal drive aisles are a minimum of 25-feet wide, which provide two-way traffic. Full road improvements are required along the Plaza Drive property frontage, including sidewalk, curb and gutter and commercial driveways (See Condition no. 8 and 15).

Parking – A total of 83 on-site parking spaces are provided, including 4 ADA accessible parking spaces; and 4 Electric Vehicle spaces. In addition to the 83 automobile spaces, the applicant is providing 5 motorcycle spaces. The standard parking spaces meet the minimum dimensions of 9 feet by 18 feet with minimum backing distances of 25 feet in compliance with City Parking Standards. Table 3-3 of the City’s Development Code requires 1 space for each unit, plus 2

spaces for the manager or owner for the hotel requiring a total of 82 parking spaces. The development is in compliance with city parking standards.

Landscaping – Landscaping is provided around the perimeter of the proposed development area. Total landscaped area of the development is 14,575 square feet (0.3 acres) or 17% of the total site. The landscaping includes existing trees to be preserved along the eastern property line to help buffer the Timberwood residential development. There is also a 0.3 acre area in the northeast corner devoted to open space where natural vegetation will be maintained, for a total of 0.6 acres of pervious surface on the resulting parcel. The C-2 zone has no limit for site coverage other than what is required to meet landscaping standards.

Hotel Architectural Design – In addition to the 80 lodging rooms, the hotel includes a registration lobby, a breakfast dining area, a fitness center, an outdoor pool, a conference room, and laundry facilities. The total square footage of the building is ±42,542 square feet with ±14,000 square feet on each floor. The building has similar architectural design and material elements as other buildings in the Brunswick Basin, including:

- Siding:
 - Fiber cement lap siding
 - Fiber-cement Board and Batten, 16 inches on center
 - Stone Veneer
- Roofing:
 - Primarily standing Seam metal
 - Small area of single-ply, waterproof membrane at HVAC Screen
 - Combination of 8:12, 4:12, and 3/12 pitches
- Varying wall planes and drive-through Porte Cochere;
- Gooseneck wall lighting.



Proposed Holiday Inn Express rendering

Trash Enclosure – A trash enclosure is located east of the proposed building within the parking area, and 20-feet from the side property line adjoining the Timberwood subdivision, consistent

with Community Design Guidelines. The materials of the trash enclosure includes a 6-foot high, split-faced CMU enclosure with a 1/12 shed roof and metal gates.

Lighting - Lighting proposed for the project site includes 20-foot parking lot pole lighting, and gooseneck wall fixtures on the building. Section 17.30.060 of the City Municipal Code provides standards for outdoor lighting. Subsection A states that a fixture shall not exceed eight feet where adjacent to a residential area, though the development review action body can allow fixtures to reach up to twenty feet in height where it determines the additional height will comply with all other standards (see finding 9). The applicant has provided further justification for the pole heights in the “Applicant Statement (Attachment 2).” The applicant has provided photometric plan that shows lighting won’t exceed 0.5 footcandles at the property line, which is consistent with the City’s lighting requirements with respect to light intensity and spillover. All lighting fixtures contain shields to direct lighting downward. The DRC supported the 20-foot light poles as proposed because they are located away from the residential property line and due to an understanding that they will be below sight lines once building elevations are achieved.

Residential Screening – Section 7.30.040 (F.1.a) of the municipal code requires screening between commercial and single-family residential land uses in the form of a 6-foot high solid, masonry wall. The applicant is requesting that the city consider allowing the proposed metal fence due to the topography of the adjacent residential use and building pads located nearly 15 feet above the adjoining property line, with further consideration of the 4 to 6 foot retaining wall that will be located along this property line. The DRC was supportive of the metal fence as proposed (see finding 10).

Grading and Retaining Walls – The project site slopes from northeast to southwest toward Olympia Creek, with the area of proposed development ranging in slope between 2% and 10%. To comply with Americans with Disabilities Act (ADA) requirements, the site must be graded relatively flat with slopes less than 5% gradient. Accordingly, ±999.75 cubic yards of cut are required with ±30.95 cubic yards of fill resulting in an export of ±968.81 cubic yards of soil.

To accommodate the slopes, a 2.5 to 6 foot retaining wall is proposed at the southeast corner of the parking lot. A stepped 4-foot and 6-foot retaining wall is proposed to run along the eastern edge of the parking lot, transitioning to a 9-foot retaining wall behind the building, where it will be obscured from public view. Section 17.30.04 (D.3) of the municipal code requires that retaining walls be stepped when above a five-foot height. The Planning Commission may make a finding that the intent to visually soften a large retaining wall from the perspective of public views is met with the design as proposed since the 9-foot section of wall will be behind the hotel building (See finding 8).

Tree Removal – According to the site plan, a total of 20 trees between 10 and 22 inches DBH are proposed for removal to accommodate the project. Most of the trees being removed are along the rear property line, including mostly pines, but also including oaks, cedars, and one redwood. Chapter 12.36 of the city municipal code provides standards for tree removal within the city boundaries. The ordinance requires a tree permit for the removal of any tree that has a trunk diameter of 10 inches or larger DBH, and categorize any tree with a diameter of 24 inches as “significant.” A Biological Resource Assessment was prepared for this project in September 2023 by Greg Matuzak of Greg Matuzak Environmental Consulting LLC, who recommends that

property lines be verified prior to tree removal and to obtain a construction related tree removal permit from the director of public works, the tree permit administrator. Furthermore, the city's tree preservation ordinance requires that tree protection measures be approved prior to any development activities including, but not limited to, clearing, grading, excavation or demolition work on a property or site which requires a planning action (See Condition 4 and 9).

Drainage – A preliminary drainage study was prepared for the project by *NST Engineering* dated February 10, 2023. The run-on (runoff from neighboring properties onto the subject property) potentially consists of stormwater crossing the site (east to northwest), 3.82 cfs for a 100-yr, 1-hr storm through the open space and into a 36-inch diameter culvert that crosses Plaza Drive in a southwesterly direction. The storm drain appears to tie into a storm drain system that runs through the existing commercial development west of Plaza Drive. The open space area located at the northern end of the site, acts as a containment basin and can contain 27,000 cf of storm run-off before it crosses over Plaza Drive. The 36-inch diameter culvert has a possible 70 cfs stormwater flow, well above the projected 5.01 cfs run-off from the proposed hotel site during a 100-yr, 1-hr storm. The remainder of the storm run-off from the hotel site presently flows down the east side of Plaza Drive. The flow will be increased from 0.68 cfs to 1.19 cfs during the 100-yr, 1-hr storm.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The project site is vacant, and generally dominated by ponderosa pine (*Pinus ponderosa*), incense cedar (*Calocedrus decurrens*), and sugar pine (*Pinus lambertiana*) trees within a mixed conifer forest habitat zone. However, within the open areas of the subject parcel and within the majority of the proposed areas of disturbance that make up the Project area within the subject parcel, non-native annual grassland is the dominant vegetation type. The natural parcel runoff within the northern section of the subject parcel is within the drainage feature that connects directly to the west side of Plaza Drive and drains underground towards the west where Olympia Creek is located (daylights from underground and flows south into the Loma Rica Phase I project area). Runoff within the western section of the subject parcel crosses under Timberwood Drive and flows towards Olympia Creek to the southwest of the subject parcel. Surrounding uses consist of a shopping and office center to the north, vacant land to the south, and offices and another shopping center to the east. A PG&E substation is located to the west of the site which fronts on Sutton Way.

GENERAL PLAN AND ZONING:

General Plan - The project area has a land use designation of Commercial according to the City of Grass Valley 2020 General Plan. The Commercial designation is a broad category intended to encompass all types of retail commercial and commercial service establishments.

Zoning - The property is within the Central Business (C-2) Zone. Hotels are permitted uses in the C – 2 Zone subject to Development Review Permit approval. The C-2 Zone implements and is consistent with the Commercial land use designation of the General Plan.

ENVIRONMENTAL DETERMINATION:

Pursuant to CEQA an Initial Study is required to be prepared in the absence of an applicable exemption pursuant to CEQA Guidelines. In this case, the hotel development on 2.74 acres is

consistent with Categorical Exemption Class 32, which consists of projects characterized by in-fill development meeting the conditions described in this section (city consistency response in italics):

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

Hotel use is a permitted use in the C-2 zoning designation and is consistent with the Commercial General Plan designation defined in the City of Grass Valley 2020 General Plan as serving a wide variety of service commercial establishments.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The hotel development is proposed on a project site of 2.74 acres. Surrounding uses include the Gold Country Center (Safeway shopping center) to the north, medium density residential (Timberwood Estates) to the east, high density housing along Sutton Way and a PG&E substation to the south, and Olympia Plaza (shopping center with car repair, restaurant, and dry-cleaning services) to the west.

(c) The project site has no value as habitat for endangered, rare or threatened species.

A Biological Resource Assessment, dated September 2023, was prepared by Greg Matuzak, Principle Biologist at Greg Matuzak Environmental Consulting LLC. The Assessment indicates that Special-status species were considered in the preparation of the Biological Inventory and is based on a current review of the California Natural Diversity Data Base (CNDDDB) and database information provided by the United States Fish and Wildlife Service for the subject parcel. The database searches revealed eleven (11) species, including Brandegee's clarkia, Scadden Flat checkerbloom, Pine Hill Flannelbush, finger rush, dubious pea, brownish beaked-rush, coast horned lizard, Townsend's big-eared bat, yellow-breasted chat, foothill yellow-legged frog, and California black rail that have been previously identified within 3 miles of the subject parcel. However, none of the species were observed during field surveys and Matuzak further concluded that the subject site offers only marginal habitat or no suitable habitat for each of these species. Additionally, there is no federally mapped Designated Critical Habitat (DCH) within 3 miles of the subject parcel (USFWS 2023).

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

Traffic:

Level of Service (LOS): The average trip generation rate per hotel room (per the Trip Generation Manual) is .70. For the proposed 80 room hotel, that means 56 peak hour trips which is below the City's threshold of 63 PM peak hour trips and is therefore considered a less than significant impact.

Vehicle Miles Traveled (VMT): The Traffic Study concludes that hotel guests from out of town will average 25 to 50 miles per trip and that miles traveled while staying at the hotel will be less than

five miles. A weekend stay at the hotel would average 95 to 145 vehicle miles traveled per guest, per day. At an expected average 60% occupancy, the entire hotel would average approximately 1,540 to 2,300 VMT per day. The study concludes that VMT will be reduced by an average of 25 VMT per guest who can stay at the hotel as opposed to driving the 25 to 50 miles back to their starting destination. Pursuant to CEQA Guidelines Section 15064.3(b.1), projects that decrease vehicle miles traveled in the project area are presumed to have a less than significant transportation impact.

Noise: The applicant provided a noise analysis prepared by NST Engineering, LLC, dated November 13, 2023. As a commercial zoning designation, the site is subject to a noise standard of 65 dbA pursuant to section 8.28.060 of the city municipal code. Construction noise is regulated under section 8.28.100 and prohibits construction adjacent to a residential zone to operate standard construction equipment between 7 pm and 7am, and on Sundays or legal holidays. The noise analysis has indicated that noise generating uses associated with the hotel use include hotel guests using the patio and pool area including potential music events, wall-mounted heat pumps, and roof-mounted HVAC units. Of these noise sources, only the HVAC units were found to have a potential impact above the 65 dbA standard and they will be mitigated to be below this threshold by a proposed parapet wall that is designed into the project.

Air Quality: The Northern Sierra Air Quality Management District (NSAQMD) has reviewed the project and determined that reasonable project guidelines based on a Dust Management Plan that the applicant has agreed to abide by, are adequate to mitigate air quality impacts related to the development.

Water Quality: There are no waterbodies on or traversing the 2.74-acre development area and no development will occur within 30-feet of Olympia Creek. Drainage from the site is directed toward a bio-swale and toward the northern open space area and is directed toward a 32 inch culvert that crosses Plaza Drive and ties into an existing storm drain system on the adjacent commercial development.

(e) The site can be adequately served by all required utilities and public services.

All utilities, including NID water, PG&E power lines, and city sewer lines are located in close proximity to the project, as they serve the adjacent commercial shopping center. Extension of these services are contingent upon the applicant extending infrastructure as needed and working with the respective agencies to hook up to their utility infrastructure. A will-serve letter will be required from NID prior to grading permit issuance. No utility agency has expressed concern in their capacity for serving the project as proposed.

FINDINGS:

In accordance with Sections 17.72.30 J (Development Review Permit) of the Development Code, the Planning Commission is required to make the following specific findings before it approves the Development Review permit.

1. The City received a complete application for the Holiday Inn Express Project (22PLN-37).
2. The Development Review Committee reviewed the project in compliance with the California Environmental Quality Act and recommends that the Planning Commission find the project

qualifies for a Class 32, Categorical Exemption (In-fill) in accordance with the California Environmental Quality Act and CEQA Guidelines.

3. The 2020 General Plan designates the project site as Commercial. The Holiday Inn Express Project is consistent with the General Plan or any applicable Specific Plan.
4. The proposed project is allowed within the applicable zone and complies with all other applicable provisions of the Development Code and the City Municipal Code.
5. The design, location, size, and characteristics of the proposed project is in compliance with any project-specific design standards in effect and any standards and guidelines for Development Review Permits.
6. The project complies with all applicable provisions of the City's Design Guidelines.
7. The project can be adequately, conveniently, and reasonably served by public facilities, services, and utilities.
8. That the intent of Municipal Code Section 17.30.04 (D.3) requiring that retaining walls be stepped when above a five-foot height in order to visually soften a large retaining wall from the perspective of public views is met with the design as proposed since the 9-foot section of wall will be behind the hotel building.
9. The 20-foot height of the parking lot lighting is appropriate in order to comply with all other outdoor lighting requirements as outlined in section 17.30.060 of the city municipal code.
10. That the project is effectively meeting the residential screening requirement pursuant to Section 7.30.040 (F.1.a) of the Municipal Code by placing a metal fence as proposed between the hotel property and the Timberwood Estates properties to the east because the topography of the adjacent residential use and building pads is located nearly 15 feet above the adjoining property line and because a 4 to 6 foot retaining wall will be located along the property line.

RECOMMENDED CONDITIONS OF APPROVAL:

PLANNING

1. The approval date for Development Review is January 19, 2024 with an effective date of Thursday, February 3, 2024 pursuant to Section 17.74.020 GVMC. This project is approved for a period of one year and shall expire on February 3, 2025 unless the project has been effectuated or the applicant requests a time extension that is approved by the Development Review Committee pursuant to the Development Code.
2. The final design shall be consistent with the Development Review application and plans provided by the applicant and approved by the Development Review Committee (22PLN-37). The project is approved subject to plans on file with the Community Development Department. The Community Development Director may approve minor changes as determined appropriate.
3. If tree or vegetation removal is proposed within the bird breeding season (between March 1 and August 31) a pre-construction survey within 250 feet of the disturbance area shall be

required pursuant to the Biological Resource Analysis prepared by Greg Matuzak, dated September 2023 and prepared for the applicant.

4. Property lines shall be verified prior to tree removal, pursuant to the Biological Resource Analysis prepared by Greg Matuzak, dated September 2023 and prepared for the applicant.
5. In the event of inadvertent discovery of previously unidentified cultural material, archeological consultation shall be sought immediately.
6. In the event that human remains are inadvertently encountered during ground-disturbing activity or at any time subsequently, State law shall be followed, which includes, but is not limited to, immediately contacting the County Coroner's office upon any discovery of human remains.
7. The applicant shall file for a sign permit prior to erecting signage.
8. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval
9. Prior to building permit issuance, a note shall be placed on the plans indicating that snow cleats will be installed on metal roof structures.

ENGINEERING:

10. Prior to recording the concurrent Parcel Map, a Grading Permit shall be issued by the City Engineer and all improvements described on the plans shall be completed or the applicant shall enter into an agreement with the City Engineer to complete the grading and public improvements.
11. The applicant shall submit to the Building Department for review and approval, an improvements and grading plan prepared by a Registered Civil Engineer; shall obtain a Grading Permit; and shall pay all appropriate fees for plan check and inspection. The grading and improvement plans shall include but not be limited to roadway/driveway/parking lot slopes and elevations, curb, gutters, sidewalks, striping and signing, paving, water and sewer pipelines, storm drains, street/parking lots lights, accessible access from the sidewalk to the building and from the accessible parking spaces to the building, retaining walls, any necessary alteration of existing utilities, and all easements, in accordance with City Improvement Standards.
12. If trees to be removed are 6" or greater in diameter, are classified to be in Group A or B per the California Forest Practice Rules, and are on timberland, the applicant shall obtain one of the following harvest document(s) from the California Department of Forestry and Fire Protection and submit a copy of the approved document to the City: a. Less than 3 Acre Conversion Exemption. Any project with less than 3 acres of land disturbance may qualify (see 14 CCR 1104.1 (a)(2) for conditions). b. Timberland Conversion (PRC4621) and Timber Harvest Plan (PRC4581). Any project with 3 Acres or greater or that do not meet the conditions in 14 CCR 1104.1 (a)(2).

13. Prior to any ground-disturbing activities, the applicant shall submit to the Building Department for review and acceptance two copies of a detailed Soils Engineering Report and Engineering Geology Report certified by a Civil Engineer registered in the State of California. In addition to the California Building Code requirements, the report shall specify the pavement structural sections for the proposed roadways in relation to the proposed traffic indexes. The improvements and grading plans shall incorporate the recommendations of the approved Soils Engineering Report and Engineering Geology Report. The project developer shall retain a civil engineer, soils engineer, and engineering geologist to provide professional inspection of the grading operations. If work is observed as not being in compliance with the California Building Code and the approved improvements and grading plans, the discrepancies shall be reported immediately in writing to the permittee, the building official, and the Engineering Division.
14. The applicant shall submit a Storm Water Pollution Prevention Plan (SWPPP) to the City for acceptance, file a Notice of Intent with the California Water Quality Control Board and comply with all provisions of the Clean Water Act. The applicant shall submit the Waste Discharge Identification (WDID) number, issued by the State, to the Engineering Division.
15. The applicant shall submit to the City Engineer for review and approval, drainage plans and hydrologic and hydraulic calculations in accordance with the City of Grass Valley Improvement Standards and Storm Drainage Master Plan & Criteria.
16. Measures must be implemented for site design, source control, runoff reduction, storm water treatment and baseline hydromodification management measures per the City of Grass Valley Design Standards.
17. The applicant shall submit sewer calculations for the proposed development and any calculations necessary to verify the existing sewer system's ability to carry the additional flow created by the development.
18. Sidewalk, curb and gutter and commercial driveways will be required along the full frontage of the developed parcel.

NEVADA IRRIGATION DISTRICT:

19. Prior to issuance of a grading permit or building permit, the applicant shall provide a copy of a will-serve letter from NID confirming ability to serve the project and shall also provide confirmation of available fire flow to the Planning Department.
20. If a domestic meter is requested to serve the project, prior to issuance of a grading permit or a building permit the applicant shall perform a Water Demand Analysis to determine meter size and fees.
21. Appropriate backflow prevention will be required.

NORTHERN SIERRA AIR QUALITY MANAGEMENT DISTRICT:

22. The applicant shall abide by the Dust Management Plan Descriptions of NSAQMD Rule 226 pursuant to the signed agreement by Grass Valley Hospitality on November 27, 2023.

ATTACHMENTS:

1. Aerial and Vicinity Maps
2. Applicant Statement
3. Tentative Map
4. Sewer Calculations
5. Improvement Plans
6. Color Renderings and Material / Color Selections
7. May 23, 2023 DRC Recommendations

Special Studies available on the city's website (see attachment for link)

Holiday Inn Express Proposed at 961 Plaza Drive

Project Submittal Attachment List

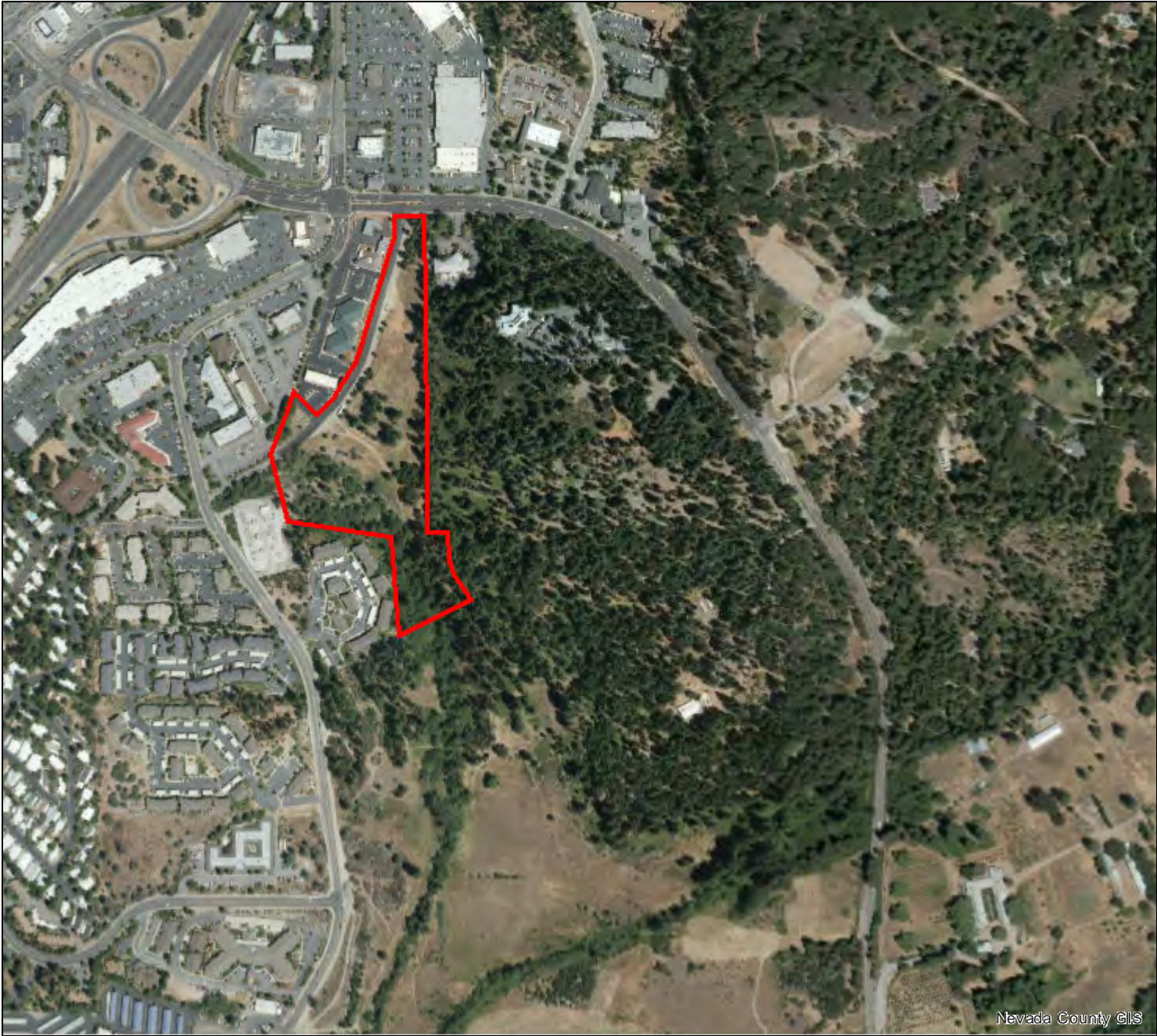
1. Aerial and Vicinity Maps
2. Applicant Statement
3. Tentative Map
4. Sewer Calculations
5. Improvement Plans
 - a. Building Elevations and Floor Plans
 - b. Site Plan
 - c. Grading Plan and Drainage Study
 - d. Utility Plan
 - e. Fire Access Plan
 - f. Lighting Plan
 - g. Striping Plan
 - h. Conceptual Landscaping Plan
6. Color Renderings Material/Color Selections
 - a. rendering
 - b. color selections
 - c. decorative metal feature (per DRC request)
 - d. retaining wall material options (per DRC request)
7. May 23, 2023 DRC Recommendations

Special Studies including the following can be found on the city's website at the following link:

- Noise Analysis
- Traffic Study
- Biological Inventory
- Cultural Resource Inventory
- Geotechnical Report
- Hydrology Report

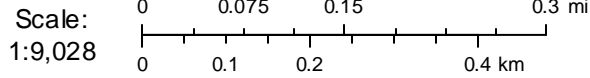
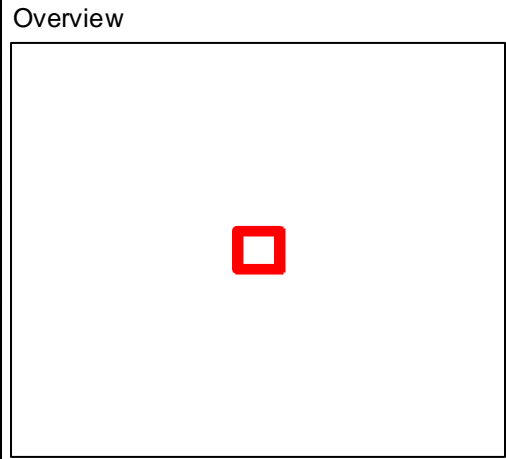
961 Plaza Drive

Item # 3.



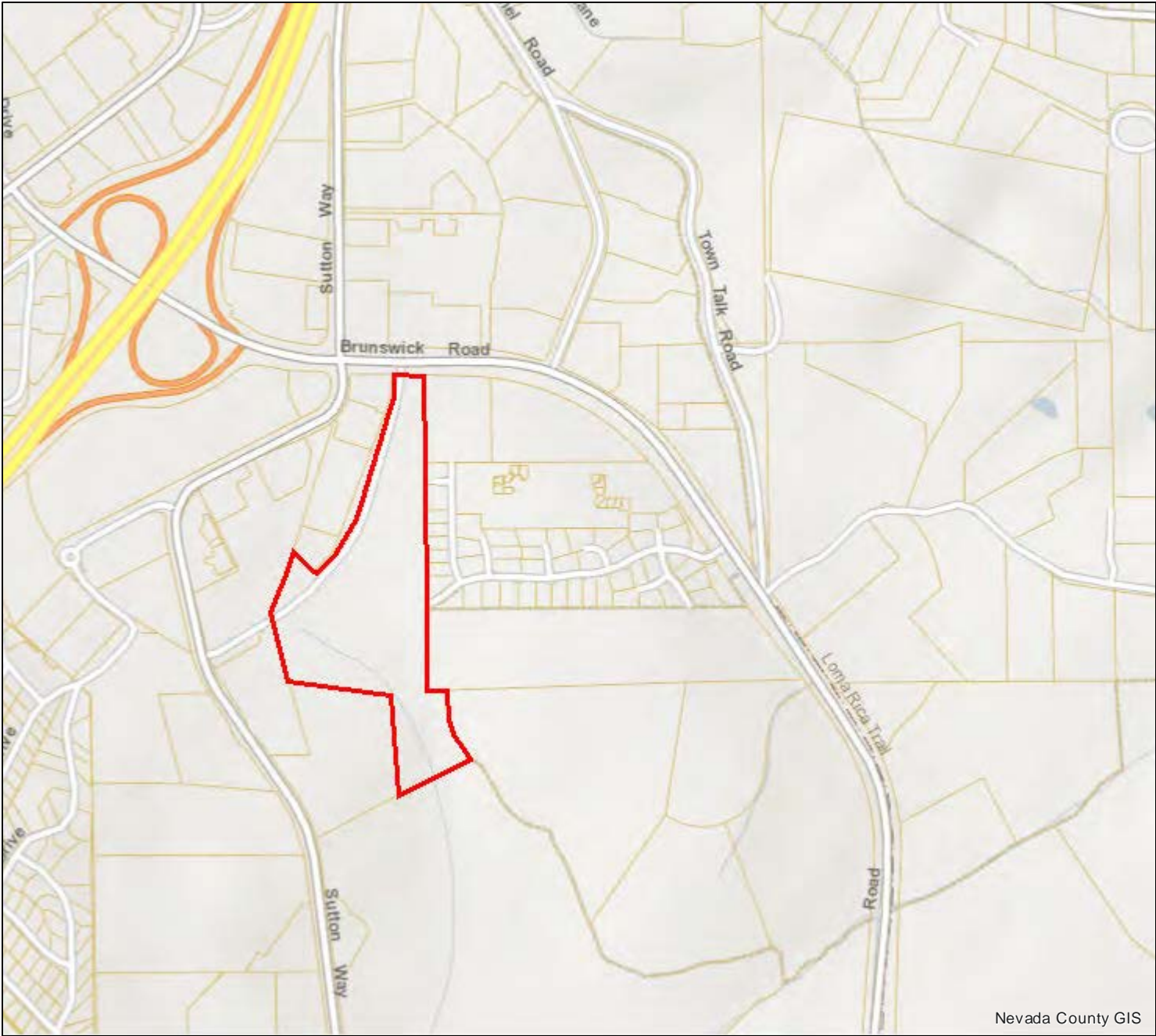
Parcel APN: 035-480-039
961 PLAZA DRIVE

Land Value: \$1,577,800.00
Improvement Value: \$0.00
Acreage: Unknown
Zoning: C-2 GVCity,OS GVCity,R-2A GVCity
General Plan: C GVCity,OS GVCity,UMD GVCity
Fire District: Grass Valley
Elementary Sch. Dist: Grass Valley
Water District:
Nevada Irrigation Dist: NID Water - Zone 1.0
Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 49 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,578 feet



961 Plaza Drive

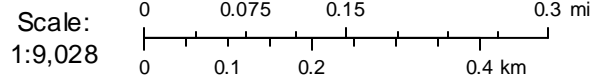
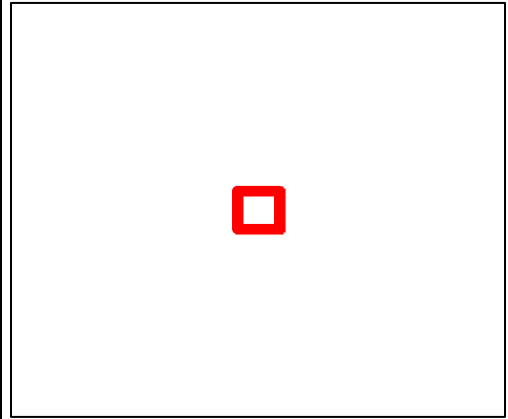
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Parcel APN: 035-480-039
961 PLAZA DRIVE

Land Value: \$1,577,800.00
Improvement Value: \$0.00
Acreage: Unknown
Zoning: C-2 GVCity, OS GVCity, R-2A GVCity
General Plan: C GVCity, OS GVCity, UMD GVCity
Fire District: Grass Valley
Elementary Sch. Dist: Grass Valley
Water District:
Nevada Irrigation Dist: NID Water - Zone 1.0
Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 49 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,578 feet

Overview





NST ENGINEERING, INC.

1495 Riverside Drive • Susanville, CA 96130
 (530) 257-5173 • FAX (530) 257-6272

Jeffery A. Morrish, R.C.E.
 Vernon H. Templeton, R.L.S.

September 5, 2023

Amy Wolfson, City Planner
 City of Grass Valley
 125 East Main Street
 Grass Valley, CA 95945

Re: 22PLN-37
 Holiday Inn Express
 961 Plaza Drive
 Grass Valley, CA

Amy,

Here are the revised plans and my responses to your August 14, 2023 letter:

Planning:

1. The stamped concrete in the porte cochere and rear patio will be tan.
2. The metal art on the rear exterior elevation will be constructed of tubular steel and will be colored black. The art is transparent and will be attached to the wall. The wall color behind the art will be exposed. The art piece will be connected to the wall in such a way that it will set away from the wall plane so that a shadow affect will be created.
3. The color rendering shows the proper colors of the exterior elevations.
4. Light Fixture Height
 Section 5.2 (b) states that parking and vehicle circulation area light standards should not exceed twelve (12) feet in height. We have proposed a twenty (20) foot high light standard in order to minimize the number of light fixtures and maximize the number of trees in the parking lot. The cut-off 'down' light standards will reduce light spillage and glare in adjacent properties as shown on Sheets C5 and C5.1 (under 0.5 footcandles at property line). The taller light standards in the parking lot allows for a better light pattern across the aisle and parking spaces than a lower, higher intensity light. As noted before, there will be a reduced number of light standards, especially after the trees start to grow and increase in height. The pedestrian walkway lighting will be provided from wall mounted 'down' lighting and should give adequate lighting and splash the exterior walls for aesthetic purposes. Any free standing light fixtures along the pedestrian walks will be less than eight (8) feet high.

5. The easterly and southerly retaining walls vary in height. Some of the individual walls are up to six (6) feet in height. There are some nine (9) foot high retaining walls behind the hotel on the east property line. These walls are not visible to the public from the street or neighboring parcels. They allow us to maximize access to the rear patio for hotel customers. This also allows us to have seven feet between the property line and retaining wall for a drainage swale and planter area that will create a good buffer between the hotel and residential properties to the east. The walls on the southeast property line along the parking lot are designed to be 'benched' (3.5 to 5 feet on the lower wall and 0 to 4 feet for the upper wall) where visible by the public from Plaza Drive. I believe this wall gives a potential landscape area and creates a visual break along the retaining wall.
6. The area behind the trash enclosure is landscaped.
7. See Sheet A1 for the overall building height and maximum height to the roof eave of 29'-11" for Fire Accessibility.
8. Sheets C3, C4, and C6 show the EV charging spaces.
9. The Geotechnical Engineering Study and Cultural Resource Inventory Survey are attached.

Engineering:

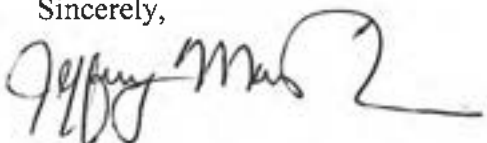
10. The SWPPP is being prepared
11. The Site Drainage plan and hydraulic calculations were attached previously, see Sheet C2 and C2.1
12. See Sheet C2 and C2.1. Hydro-modification to be determined.
13. See attached sewer calculations

Fire:

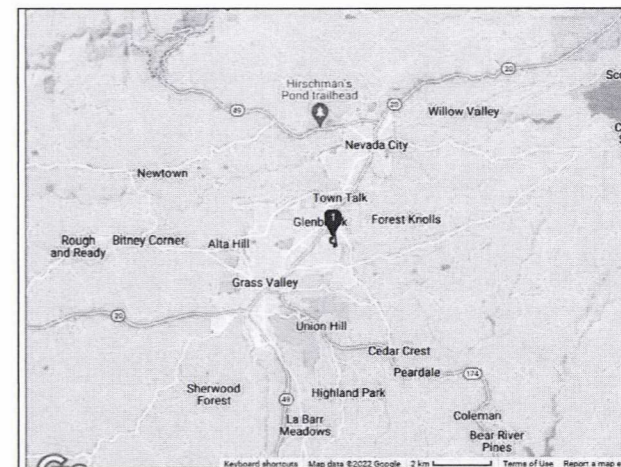
14.
 - a. The fire access road north of the pool and at the southeast corner of the hotel are both designed for twenty (20) feet wide with a twenty foot gate the pool enclosure.
 - b. The exterior elevations have been revised so that the roof eave height is shown as 29'-11" along the west and east elevations allowing access to the entire roof. The parapet walls that enclose the roof mounted equipment are moved back from the roof eaves six (6) feet. The equipment is accessible from the roof along its north, south, and west sides. The gable roofs that were in the second iteration or submittal of our design have been raised about eighteen (18) inches at the eave for aesthetic reasons. These gable roofs are still accessible from the main roof structure and its eave, allowing total accessibility of the roof by a ladder at the roof eave.

If you have any questions, please call.

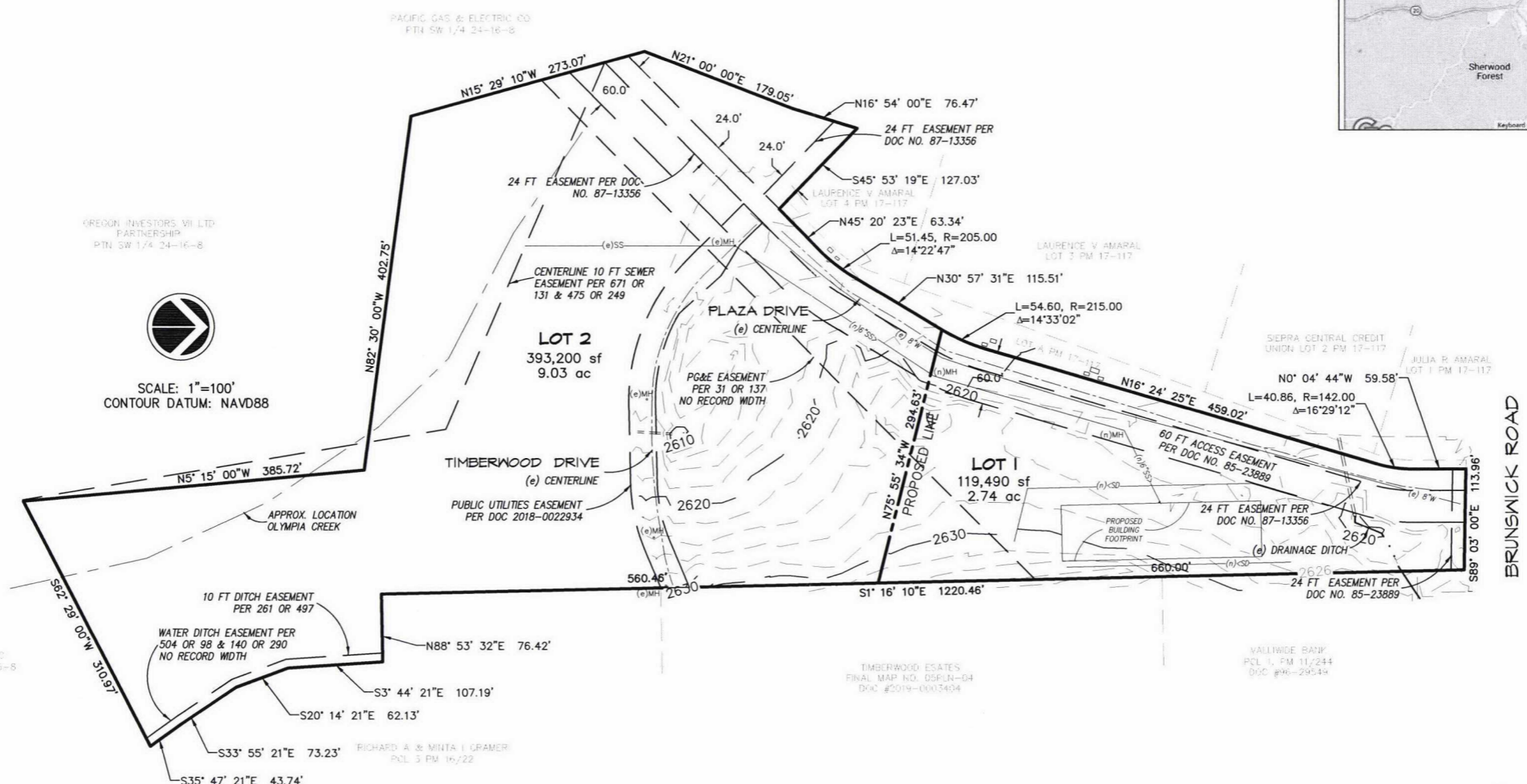
Sincerely,



Jeff Morrish
RCE 36929



VICINITY MAP
(NOT TO SCALE)



OREGON INVESTORS VII LTD.
PARTNERSHIP
PTN SW 1/4 24-16-8

SCALE: 1"=100'
CONTOUR DATUM: NAVD88

NOTES:

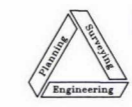
RECORD OWNER:
AMARAL FAMILY TRUST
PO BOX 1657
NEVADA CITY, CA 95959

APN: 035-480-039
SUBDIVIDER: RAJINDER SINGH
7858 COOK RIOLO RD
ANTELOPE, CA 95843

PREPARED BY: VERN TEMPLETON,
NST ENGINEERING, INC
1495 RIVERSIDE DR
SUSANVILLE, CA

WATER SUPPLY: NEVADA IRRIGATION DISTRICT
SEWAGE DISPOSAL: CITY OF GRASS VALLEY
FIRE PROTECTION AGENCY: CITY OF GRASS VALLEY
PUBLIC UTILITIES: PG&E

P/M NO. XX-XXX
PARCEL MAP
FOR
AMARAL FAMILY TRUST
IN PORTION SECTION 23 & 24, T.16 N., R.8 E., M.D.B. & M
CITY OF GRASS VALLEY
NEVADA COUNTY, CALIFORNIA



NST Engineering, Inc.
1495 Riverside Drive
Susanville, CA 96130
(530) 257-5173

8/25/22

2022-90

SHEET 2 OF 2

NST ENGINEERING, INC.
 Engineering • Planning • Surveying
 1495 Riverside Drive
 Susanville, CA 96130
 (530) 257-5173

961 Playa Drive, Grass Valley

JOB HOLIDAY INN EXPRESS

Item # 3.

SHEET NO. _____ OF _____

CALCULATED BY J. MORRISH DATE 9/23

CHECKED BY _____ DATE _____

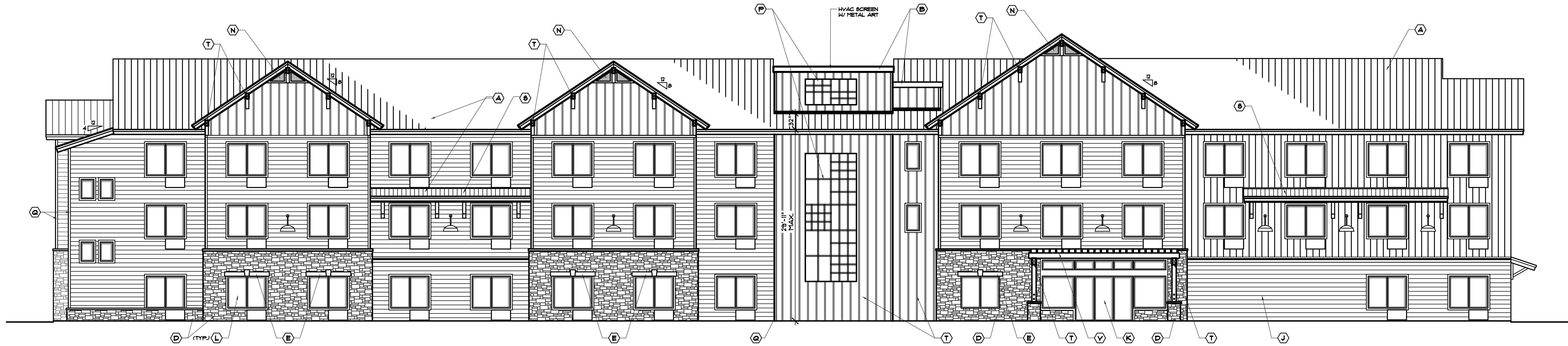
SCALE _____

	SEWER			COLD WATER			HOT WATER		
	Quantity	Fixture Units	Total Units	Qty.	Fixture Units	Total Units	Qty.	Fixture Units	Total Units
WC-1	76	3	228	76	3	228	-	-	-
WC-2	3	4	12	3	4	12	-	-	-
WC-2 public	4	3	12	4	3	12	-	-	-
WC-2 private									
SH-1	80	2	160	80	2	160	80	2	160
LV-1	80	1	80	80	1	80	80	1	80
LV-2	3	1	3	3	1	3	3	1	3
S-1	1	2	2	1	2	2	1	2	2
HS-1	1	1	1	1	1	1	1	1	1
P-1	1	2	2	1	2	2	1	2	2
TS-1	1	3	3	1	3	3	1	3	3
FD	3	2	6	-	-	-	-	-	-
FS	3	3	9	-	-	-	-	-	-
DF-1	4	0.5	2	4	0.5	2	-	-	-
MS-1	3	3	9	3	3	9	3	3	9
WASHER	2	5	10	2	5	10	2	5	10
FHB	5	-	-	5	2.5/1.0	7	-	-	-
TOTAL			539			531			(075) 270

Use 6" SDR35 LINE
 539 f.u. < 720 f.u. allow.

Use 2" meter and 3" bldg. supply
 531 f.u. < 535 f.u. allow.
 < 60 psi pressure.

Use 2" hot water supply
 203 f.u. < 368



REAR ELEVATION - East
SCALE 1/8" = 1'-0"



SIDE ELEVATION - North
SCALE 1/8" = 1'-0"



SIDE ELEVATION - South
SCALE 1/8" = 1'-0"



FRONT ELEVATION - West
SCALE 1/8" = 1'-0"

EXTERIOR FINISH KEY :

(A) 25 GA. METAL ROOFING OVER 1/2" FLYTD. SHEATHING	(H) HARDIE PANEL SIDING (NO GROOVES) OVER TYVEK INFILTRATION BARRIER & 1/4" OSB SHEATHING @ 16" O.C.	(P) WALL MOUNTED METAL ART (VERIFY IN FIELD)
(B) SINGLE PLY WATERPROOF ROOFING OVER 1/2" FLYTD. SHEATHING & 1/4" OSB SHEATHING	(J) HARDIE HARDIE PLANK SIDING OVER TYVEK INFILTRATION BARRIER & 1/4" OSB SHEATHING	(Q) 5/4 x 4 @ 12" TRIM @ EXTERIOR
(C) GALV. IRON FLASHING AND/OR ICE-DAM FLASHING.	(K) STOREFRONT GLASS DR. W/ METAL FRAME	(R) ROUGH-CUT POSTS
(D) STONE VENEER OVER SCRATCH COAT, WIRE MESH & 3/8" FELT OVER NEURA FANGE COAT (PRECAST CONCR) OVER TOP OF NEURA DAMPROOFING / WATERPROOFING MEMBRANE	(L) WINDOW (TEMP. WHERE NOTED)	(S) WOOD FRAMED RAISING W/ ROUGH-CUT KNEE BRACES
(E) STONE LINTEL ABOVE WINDOW	(M) 2ND BARGE RAFTER OR FASCIA W/ METAL CORN EDGE	(T) EXPOSED BEAMS W/ GALV. CAP
(F) 2ND BARGE RAFTER OR FASCIA W/ METAL CORN EDGE	(N) TRIANGULAR ATTIC VENTS W/ INSECT SCREENS	(U) METAL GOOSENECK EXTERIOR LIGHTS
(G) ADVERTISEMENT SIGN (VERIFY W/ OWNER)		(V) WOOD FRAMED PERGOLA

Revisions:

Engineer:

Project Title: PROPOSED HOTEL for:
HOLIDAY INN EXPRESS HOTEL
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA

NST ENGINEERING, INC.
 1485 Riverside Drive • Susanville, CA 96130
 Engineering • Planning • Surveying
 Phone: (530) 257-5173 Fax: (530) 257-5272

Date: 11/3/2022
 Drawn: TM
 Checked: JM

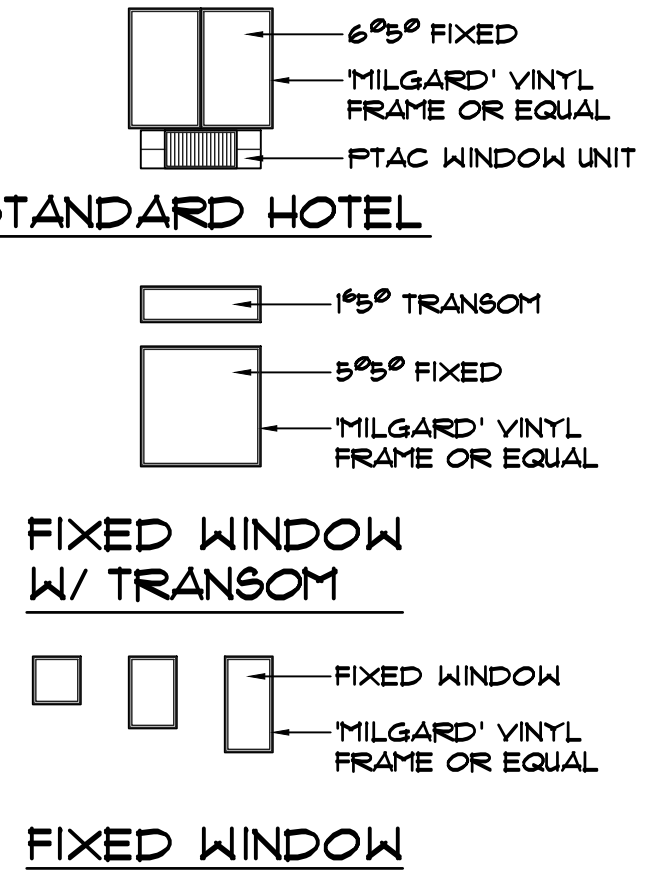
Sheet No.
A1
 Of 2 Sheets

Job No. 2022-90
 File No. PRELIMS

DOOR PRODUCT SELECTION SCHEDULE

Automatic Sliding Door, Exterior Automatic Sliding Door, Interior Automatic Sliding Door, Accessories, Card Reader, Door Closer, Door Interior, Door Exterior, Door Hold Open Device, Exit Device, Exterior Doors, Exterior Doors with Card Reader Access, Exterior Latchset, Interior Doors, Interior Doors with Card Reader Access, Frames, Gaskets, Hinges, Locksets/Latchset/Handles, Plates, Door Stop, Threshold, Keying

WINDOW ELEVATION



DOOR SCHEDULE

Table with columns: SYM., WIDTH, HEIGHT, TYPE, DOOR, FRAME, HARDWARE, FIRE RATING, REMARKS. Lists 20 door types and specifications.

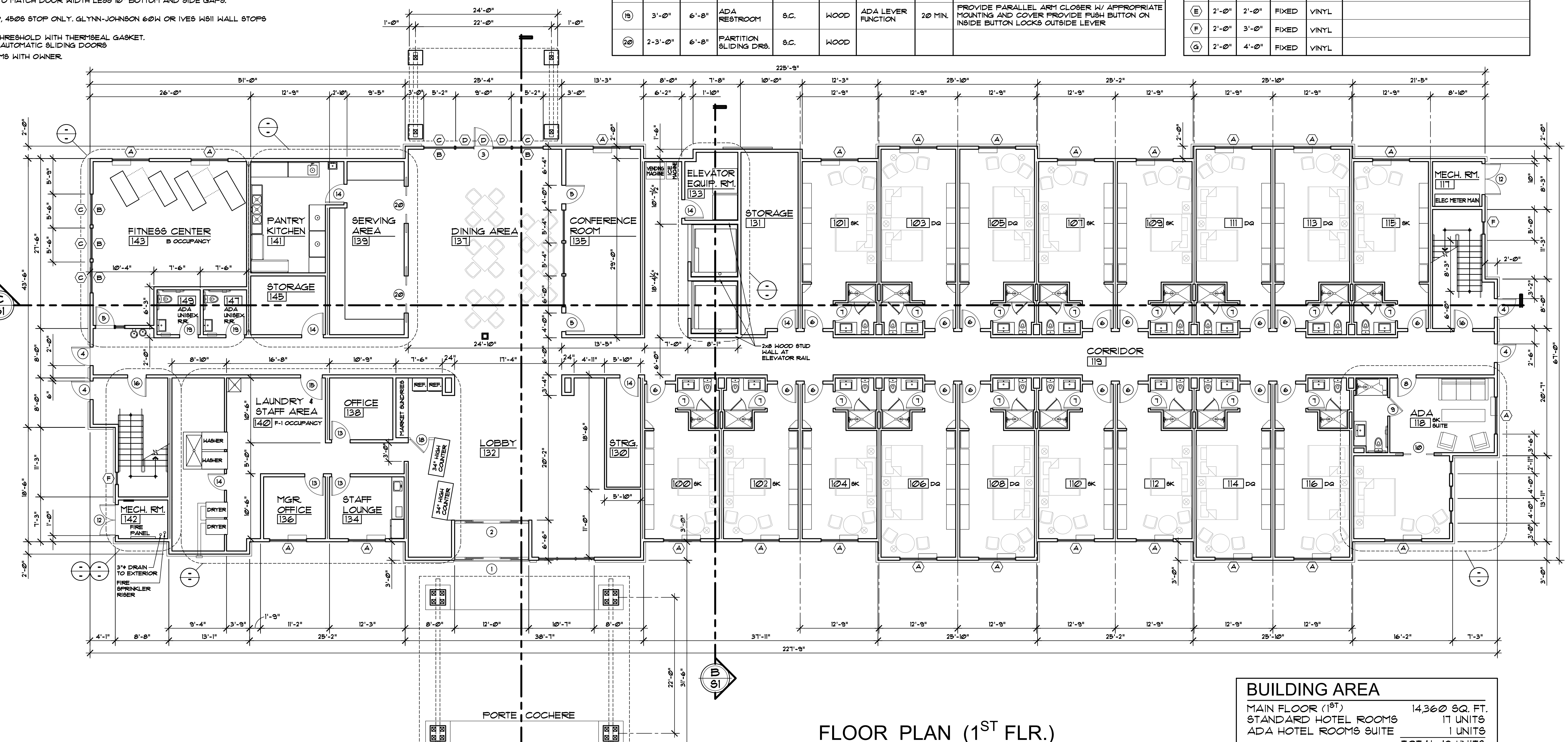
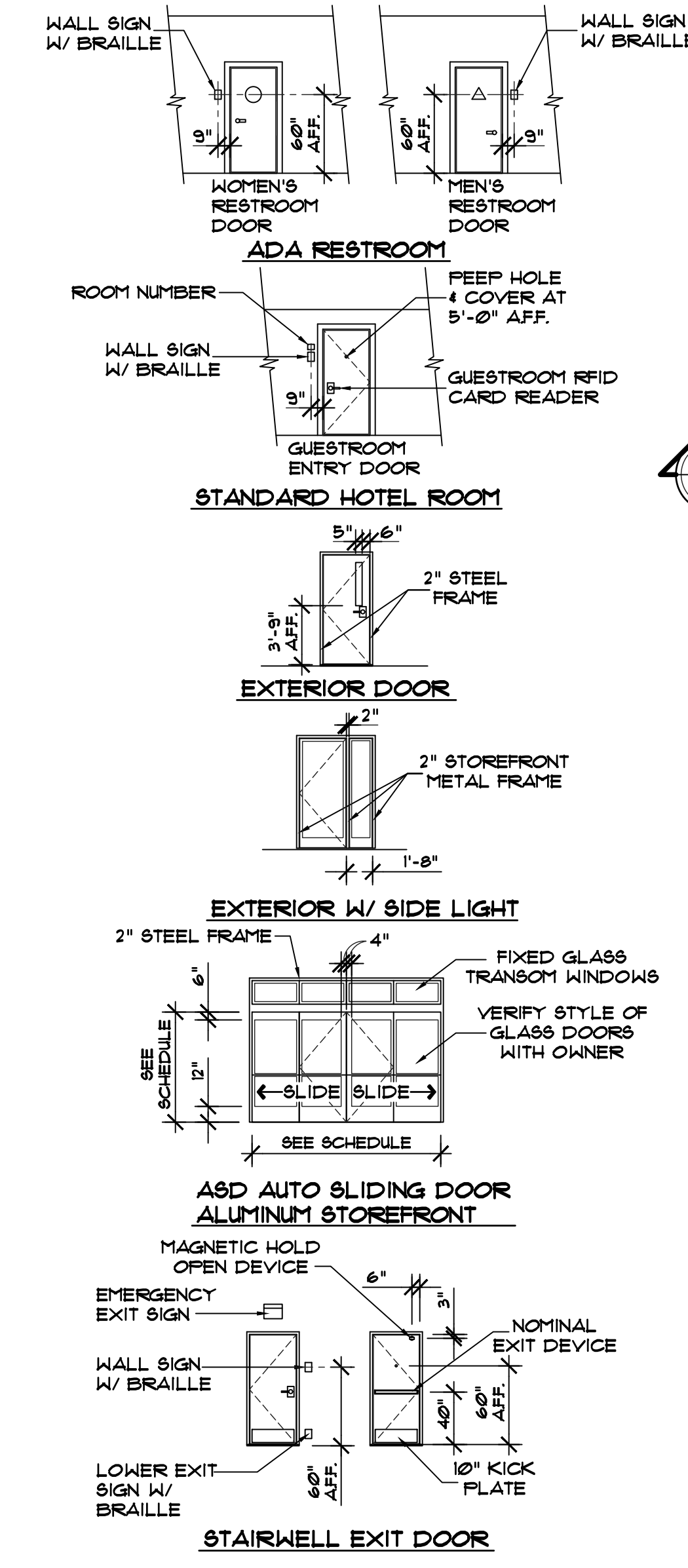
ROOM FINISH SCHEDULE

Table with columns: ROOM TYPE / NAME, FINISHES, CLG. HEIGHT, WALL LEGEND, SOUND TRANSMISSION. Lists finishes for various rooms.

WINDOW SCHEDULE

Table with columns: SYM., WIDTH, HEIGHT, TYPE, FRAME, REMARKS. Lists window specifications.

DOOR ELEVATIONS



FLOOR PLAN (1ST FLR.)

SCALE 1/8" = 1'-0"

ROOM FINISH SCHEDULE

Table with columns: FLOOR FINISH, BASES, WALLS, CEILING. Lists finish specifications for different areas.

WALL LEGEND

Table with columns: SYM., WIDTH. Defines wall symbols and their properties.

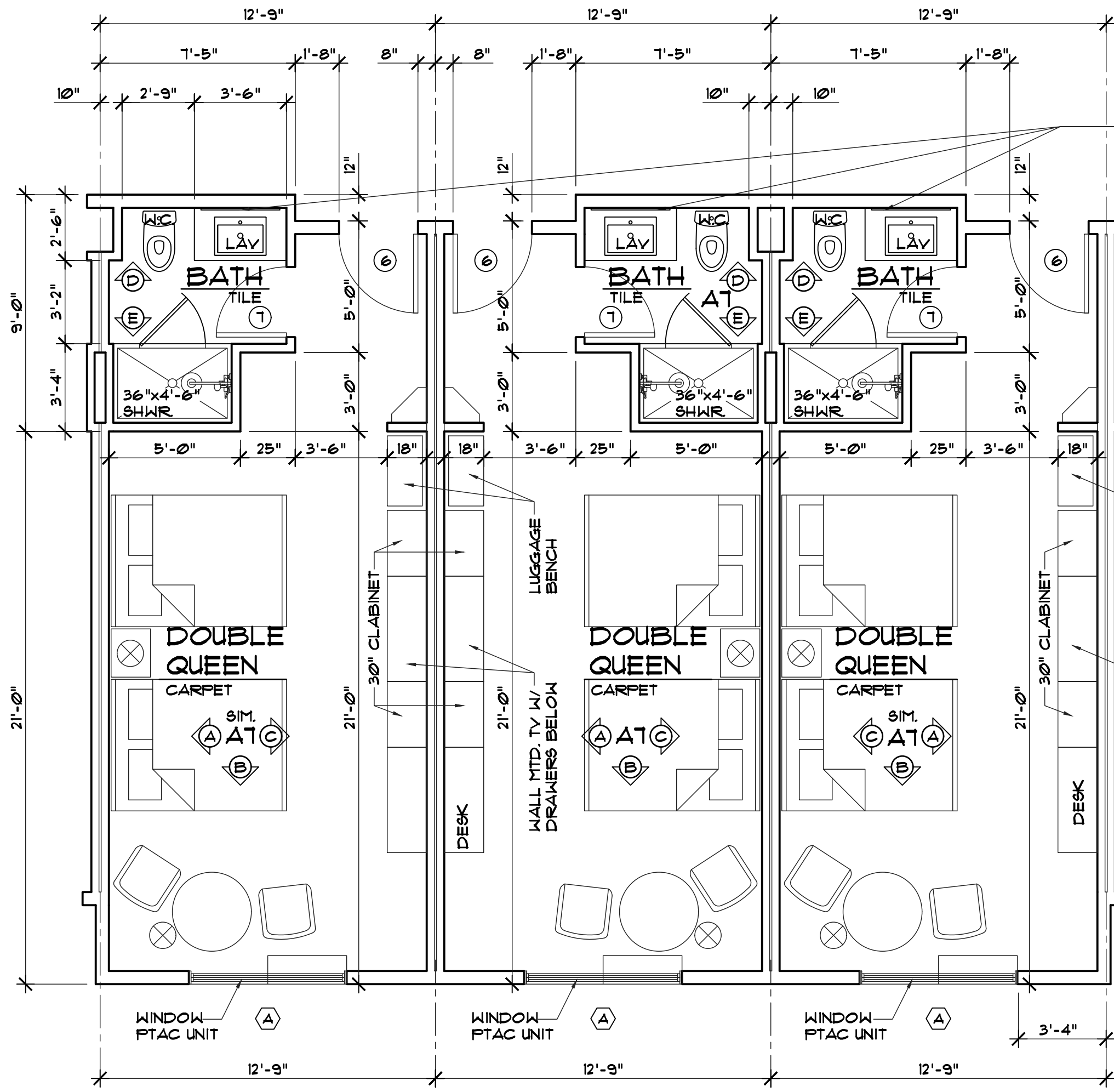
ADA SCHEDULE

Table with columns: REQ'D, PROVIDED, ROOM. Lists ADA requirements for various rooms.

BUILDING AREA

Table showing building area statistics for Main Floor, Second Floor, and Total.

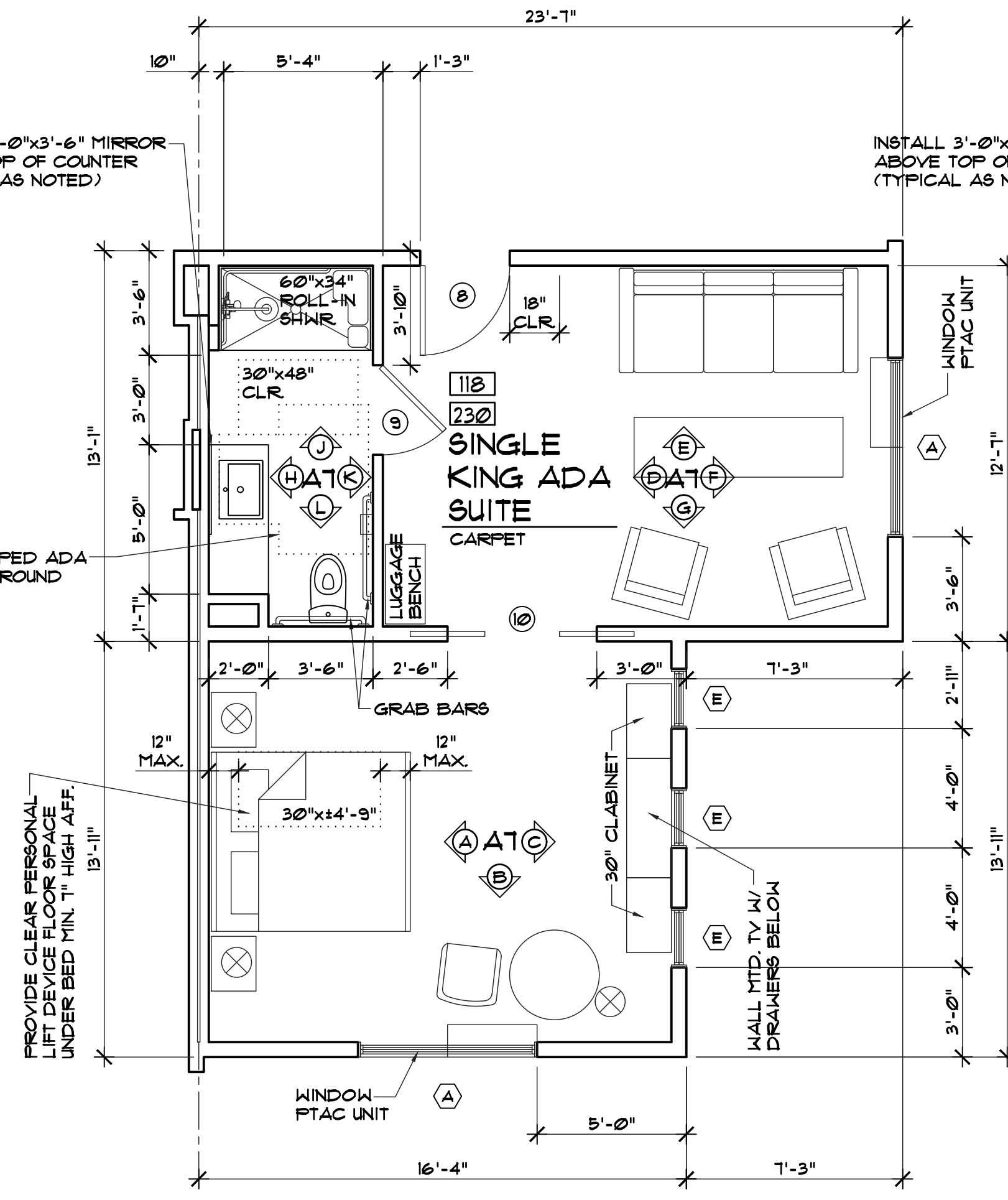
Vertical sidebar containing project title (HOLIDAY INN EXPRESS HOTEL), company name (NST ENGINEERING, INC.), date (11/3/2022), sheet number (A2), and other project information.



DBL. QUEEN FLOOR PLAN

SCALE: 1/4" = 1'-0"

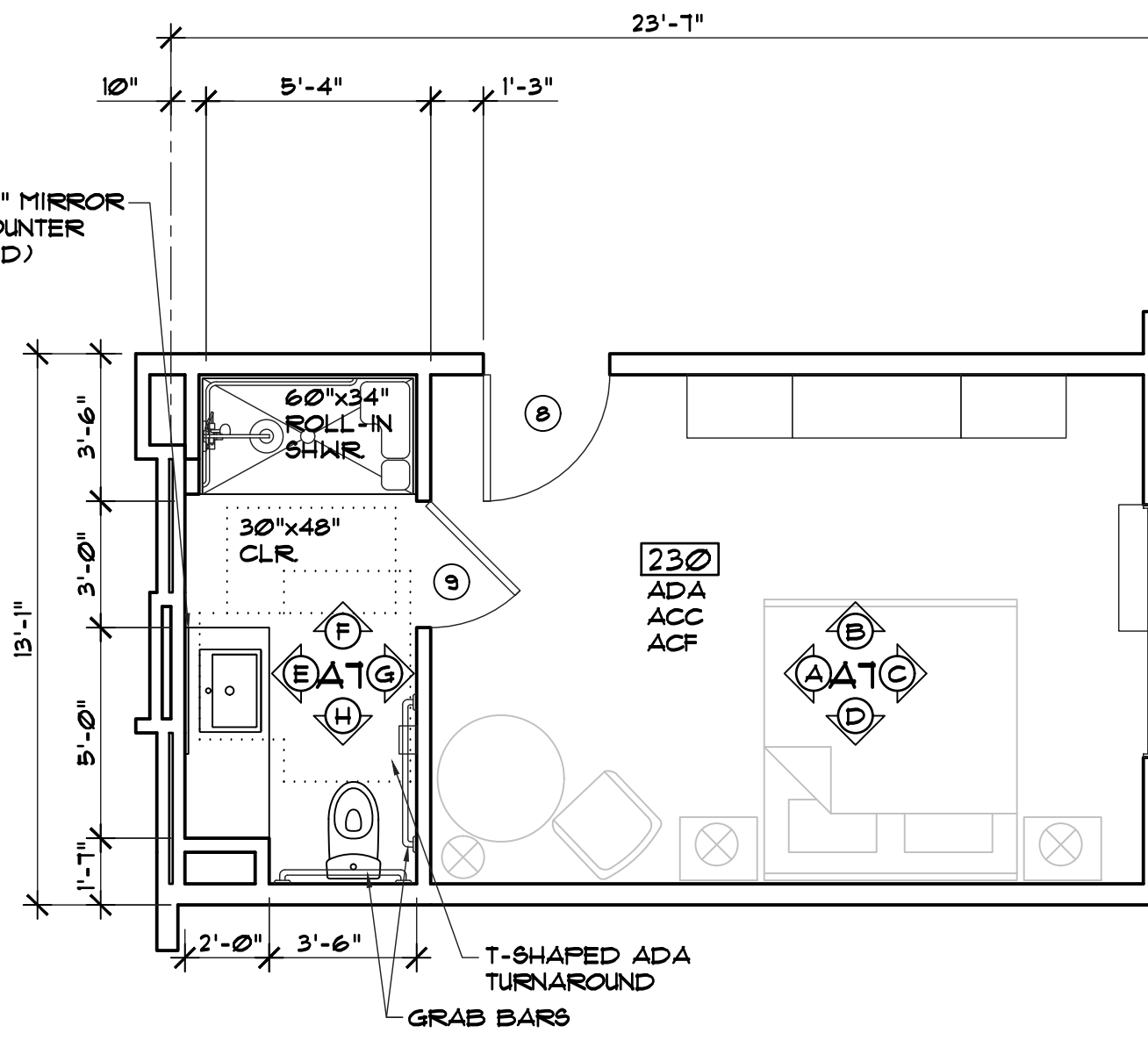
1
A3



SINGLE KING ADA SUITE FLOOR PLAN

SCALE: 1/4" = 1'-0"

2
A3

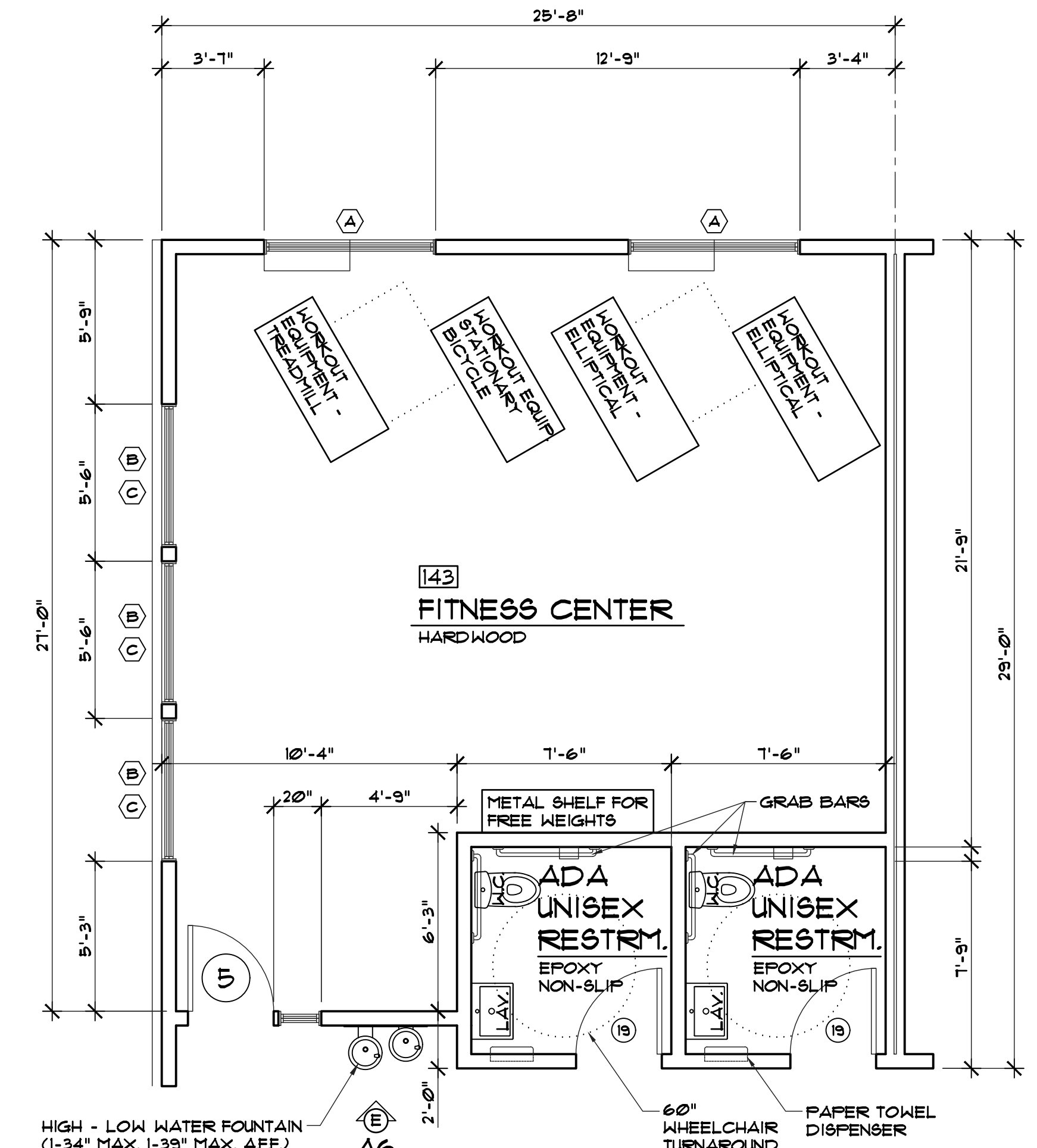


SINGLE KING ADA FLOOR PLAN

SCALE: 1/4" = 1'-0"

3
A3

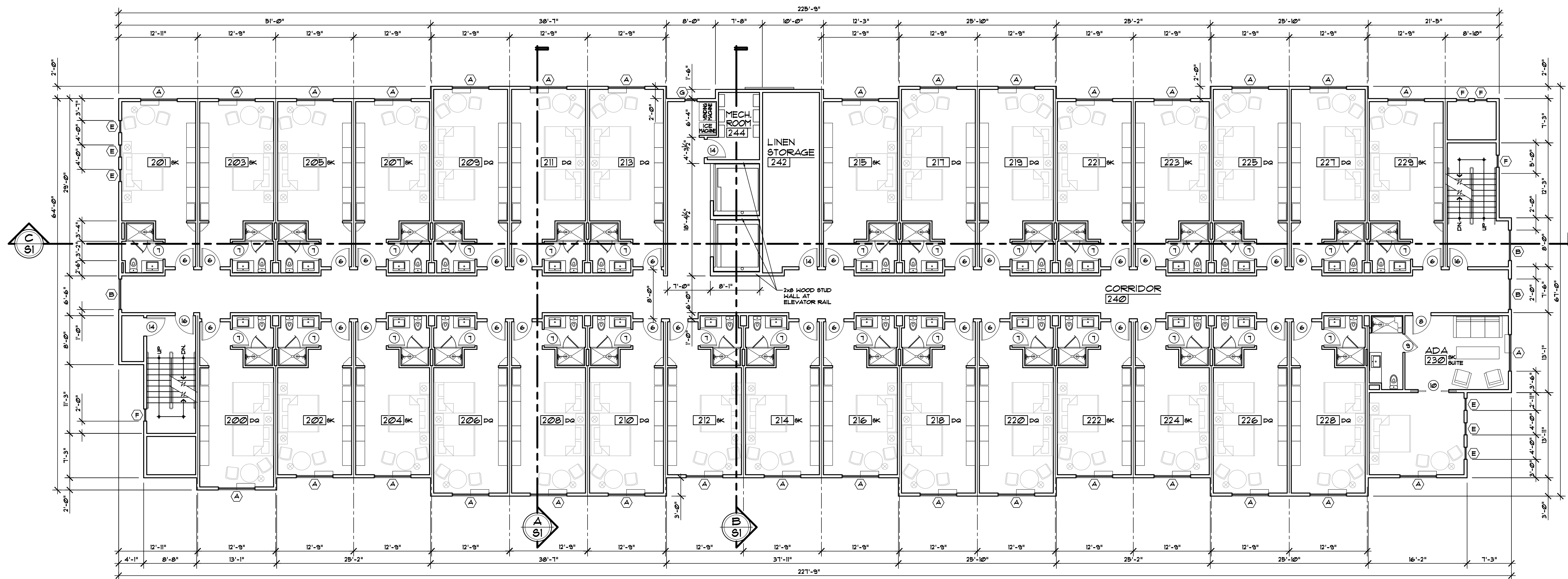
- PROVIDE THE FOLLOWING IN (1) UNIT FOR THE HEARING IMPAIRED. GUEST ROOMS REQUIRED TO PROVIDE COMMUNICATION FEATURES SHALL COMPLY WITH SECTION 11B-806.3
- 11B-806.3.2 - VISIBLE NOTIFICATION DEVICES SHALL ALSO BE PROVIDED TO ALERT THE ROOM OCCUPANTS OF INCOMING TELEPHONE CALLS AND A DOOR KNOCK OR BELL NOTIFICATION DEVICES SHALL NOT BE CONNECTED TO VISUAL ALARM SIGNAL APPLIANCES. TELEPHONES SHALL HAVE VOLUME CONTROLS COMPATIBLE WITH THE TELEPHONE SYSTEM AND SHALL COMPLY WITH SECTION 11B-104.3. TELEPHONES SHALL BE SERVED BY AN ELECTRICAL OUTLET COMPLYING WITH SECTION 11B-309 LOCATED WITHIN 40 INCHES OF THE TELEPHONE TO FACILITATE THE USE OF A TTY.
- 2 - TELEPHONES SHALL BE EQUIPPED WITH A RECEIVER THAT GENERATES A MAGNETIC FIELD IN THE AREA OF THE RECEIVER CAP. SUCH TELEPHONES SHALL BE CAPABLE OF A MINIMUM OF 12 dba AND A MAXIMUM OF 18 dba ABOVE NORMAL. IF AN AUTOMATIC RESET IS PROVIDED, 18 dba MAY BE EXCEEDED. PUBLIC TELEPHONES WITH A VOLUME CONTROL SHALL BE HEARING AID COMPATIBLE AND SHALL BE IDENTIFIED BY A SIGN CONTAINING A DEPICTION OF A TELEPHONE HANDBET WITH RADIATING SOUND WAVES.
- 3 - EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. EMERGENCY WARNING SYSTEMS AS PART OF THE FIRE-PROTECTIVE SIGNALING SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH HFFA-10 AND 12G AS AMENDED IN CHAPTER 60, SECTIONS 6003 AND 6004 OF THIS CODE.



FITNESS CENTER & ADA RESTROOM FLOOR PLAN

SCALE: 1/4" = 1'-0"

4
A3



PROPOSED FLOOR PLAN (2nd FLR.)

SCALE: 1/8" = 1'-0"

Revisions:

Engineer:

A.P.N.

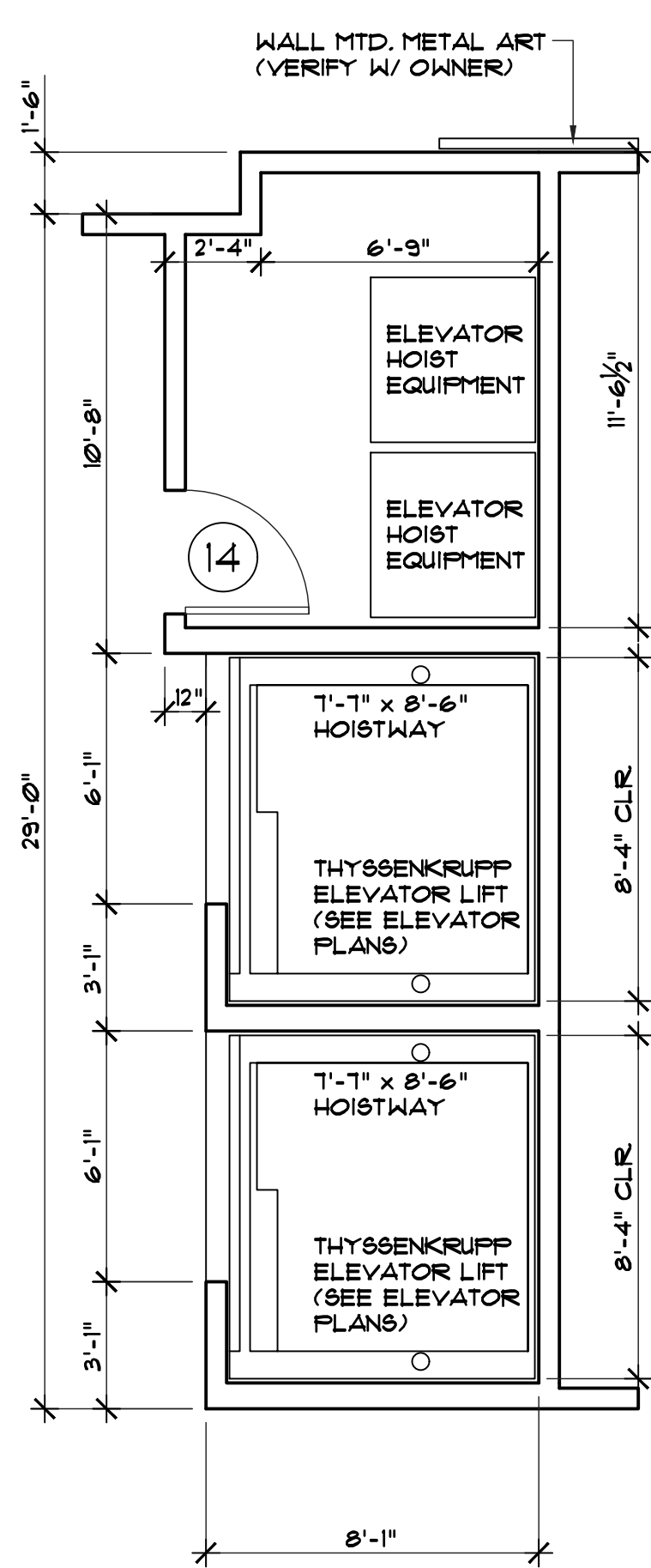
Project Title:
PROPOSED HOTEL for:
HOLIDAY INN EXPRESS HOTEL
GRASS VALLEY
NEVADA COUNTY, CALIFORNIA

NST ENGINEERING, INC.
1495 Riverside Drive • Susanville, CA 96130
Engineering • Planning • Surveying
Phone: (530) 257-5173 Fax: (530) 257-6272

Date: 11/3/2022
Drawn: TM
Checked: JM

Sheet No.
A3
Of 2 Sheets

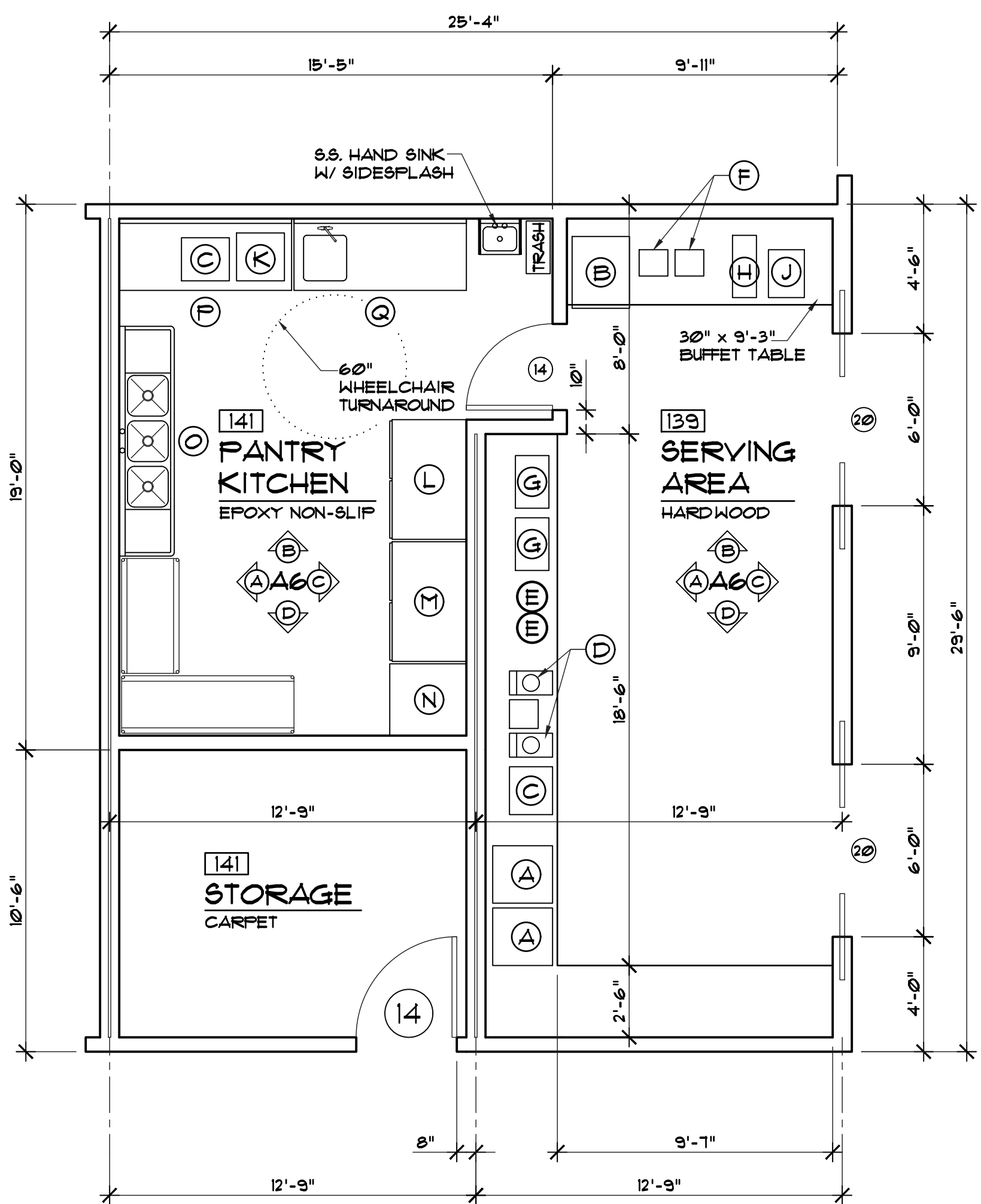
Job No. 2022-90
File No. PRELIMS



ELEVATOR SHAFT & MECH. ROOM FLOOR PLAN

SCALE : 1/4" = 1'-0"

1
A4

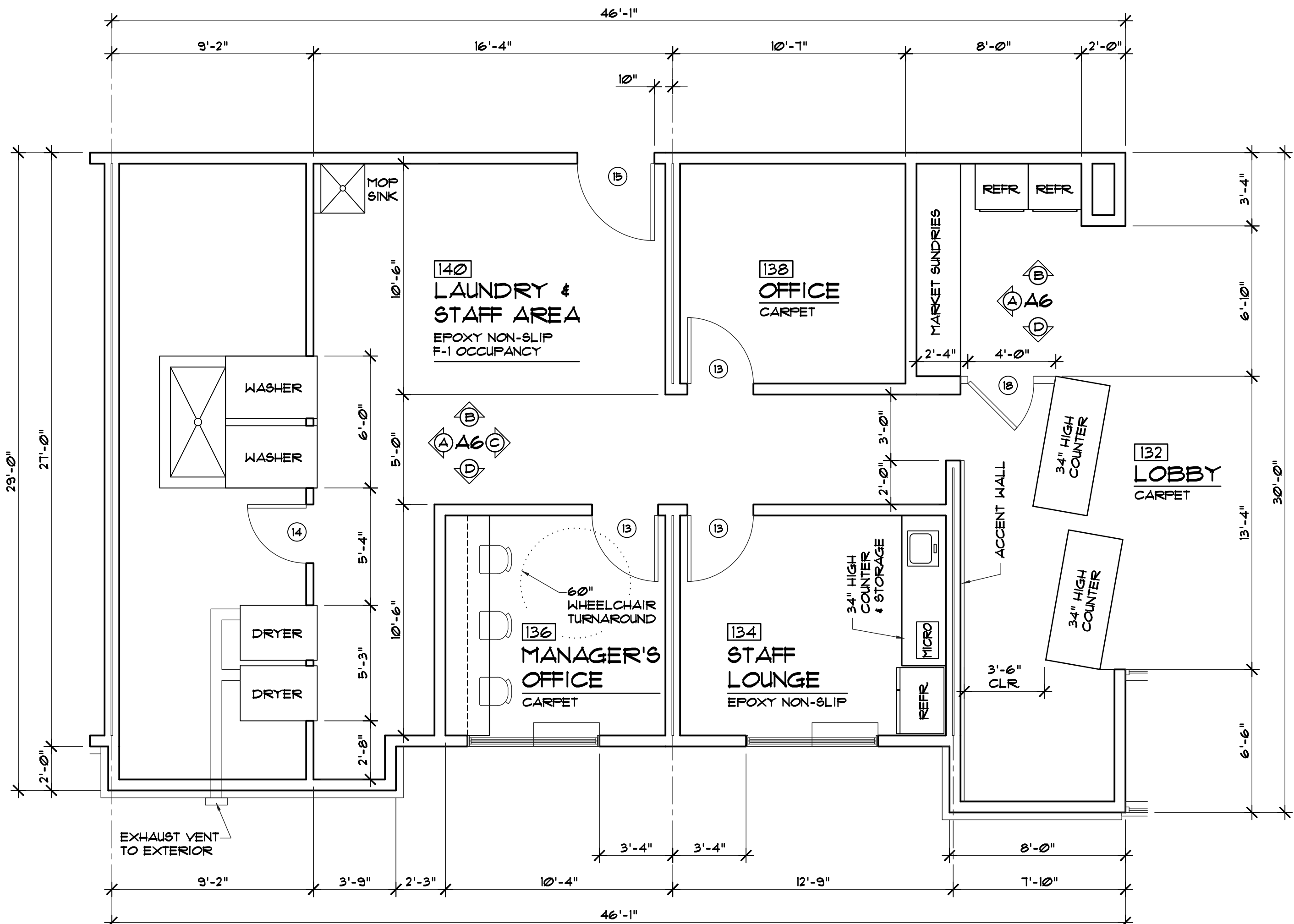


PANTRY KITCHEN & SERVING AREA FLOOR PLAN

SCALE : 1/4" = 1'-0"

2
A4

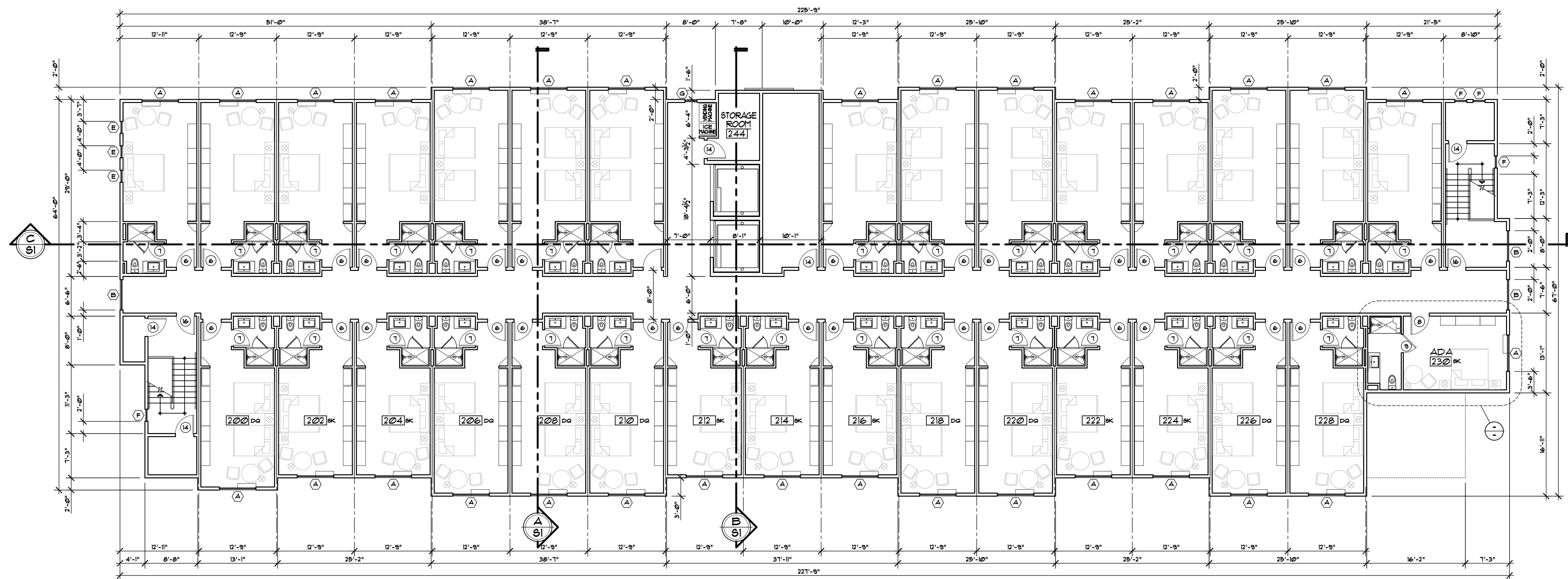
BREAKFAST EQUIP. SCHEDULE	
SYM.	DESCRIPTION
(A)	COUNTERTOP DISPLAY REFRIGERATOR WITH GLASS SWING DOOR (OR EQUAL) (120V, 18 AMP)
(B)	BEVERAGE REFRIGERATOR WITH GLASS DOOR (OR EQUAL) (120V, 5 AMP)
(C)	MICROWAVE STAINLESS STEEL COMMERCIAL HEAVY-DUTY WITH PUSH BUTTON CONTROLS (OR EQUAL) (120V, 16.5 AMP)
(D)	NETCO 7020A BELGIAN WAFFLE MAKER (OR EQUAL) (120V, 8.2 AMP)
(E)	AVANTCO 830 11 QT. ROUND FOOD KETTLE OATMEAL WARMER (OR EQUAL) (120V, 3.3 AMP)
(F)	WARING WCT850RC 4-SLICE COMMERCIAL TOASTER (OR EQUAL) (120V, 15 AMP)
(G)	VOLLRATH 46523 9-QUART RETRACTABLE ELECTRIC CHAFER (OR EQUAL) (120V, 4.5 AMP)
(H)	BUNN JDF-25 2 FLAVOR COLD BEVERAGE JUICE DISPENSER 1 GALLON PER COMPARTMENT (OR EQUAL) (120V, 4.5 AMP)
(J)	CURTIS CAFE SERIES PRIMO FC4 CAPPUCCINO / ESPRESSO MACHINE DISPENSER WITH 4 HOPPERS (OR EQUAL) (120V, 15 AMP)
(K)	CURTIS TP1210A100 THERMO PRO TWIN 15 GALLON COFFEE BREWER WITH THERMAL FRESHTRAC DISPENSER (OR EQUAL) (220V, 23-34.5 AMP) 3 GALLON CAPACITY
(L)	AVANTCO 88-2R-HC DBL. DOOR REACH-IN REFRIGERATOR (OR EQUAL) (120V, 3.8 AMP)
(M)	AVANTCO 88-2R-HC DBL. DOOR REACH-IN FREEZER (OR EQUAL) (120V, 3.8 AMP)
(N)	30" AVANTCO ICE MACHINE, OR EQ.
(O)	5.5, 34" TRIPLE COMPARTMENT SINK W/ 2-DRAINBEDS
(P)	30"x6'-0" 5.5. PREP TABLE
(Q)	30"x12" 5.5. PREP TABLE W/ SINK
(R)	METRO SHELVING



RECEPTION, LAUNDRY, OFFICE & STAFF LOUNGE FLOOR PLAN

SCALE : 1/4" = 1'-0"

3
A4



PROPOSED FLOOR PLAN (3rd FLR.)

SCALE : 1/8" = 1'-0"

Item # 3.

Revisions:

Engineer:

A.P.N.

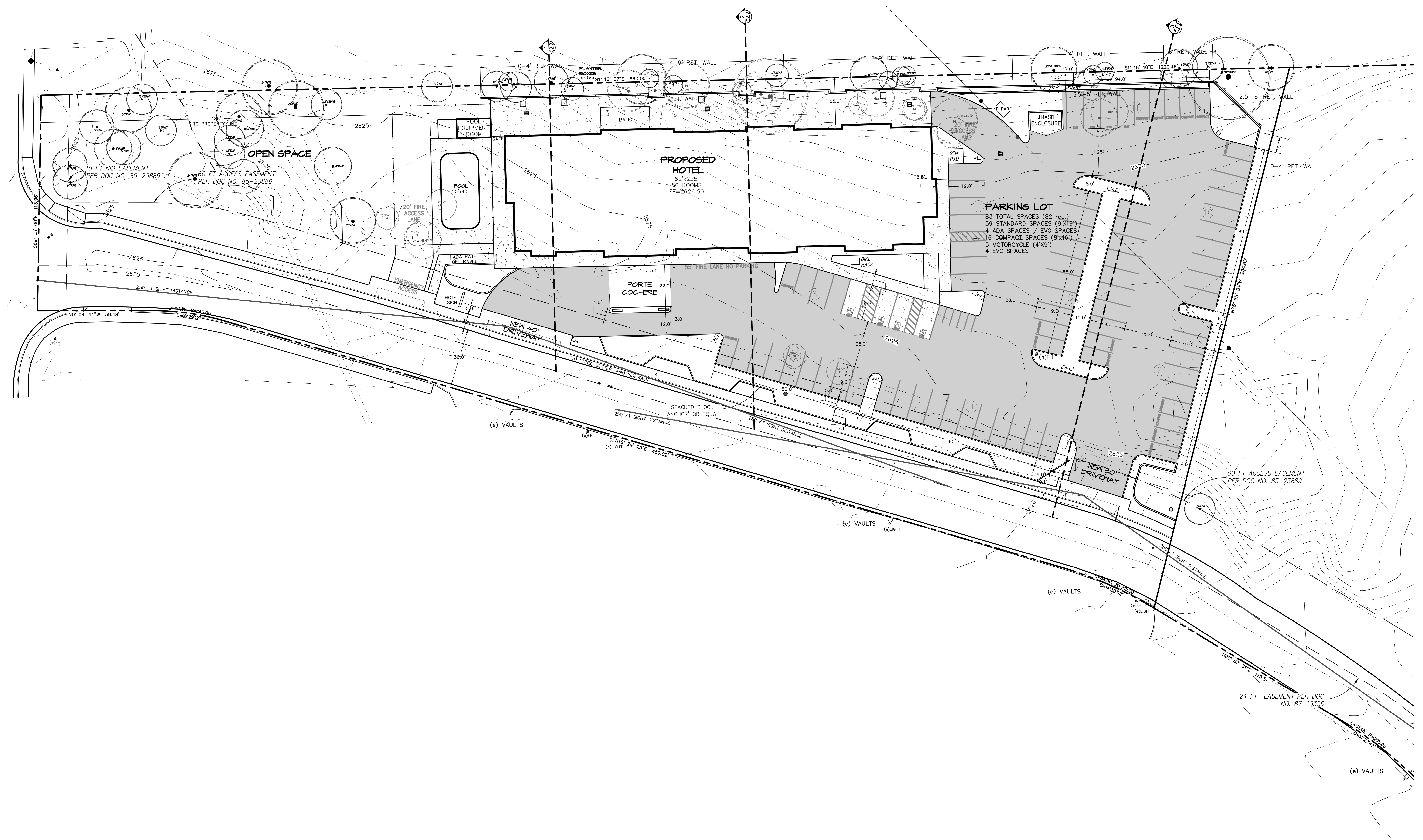
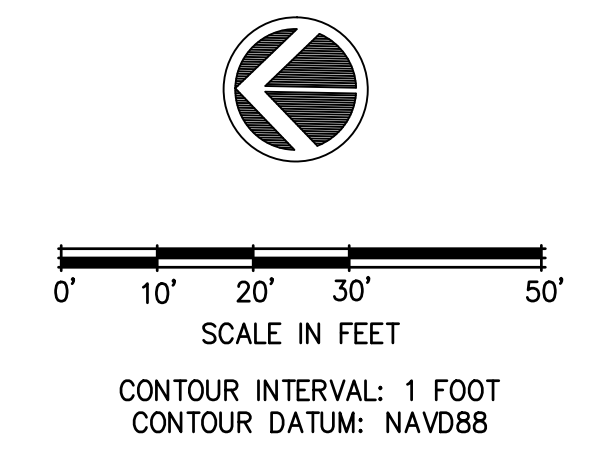
Project Title: PROPOSED HOTEL for: **HOLIDAY INN EXPRESS HOTEL**
GRASS VALLEY, CALIFORNIA

NST ENGINEERING, INC.
1495 Riverside Drive * Susanville, CA 96130
Engineering * Planning * Surveying
Phone: (530) 257-5173 Fax: (530) 257-6272

Date: 11/3/2022
Drawn: TM
Checked: JM

Sheet No. **A4**
Of 2 Sheets

Job No. 2022-90
File No. PRELIMS



Revisions:

Engineer:

Project Title:
 PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-039

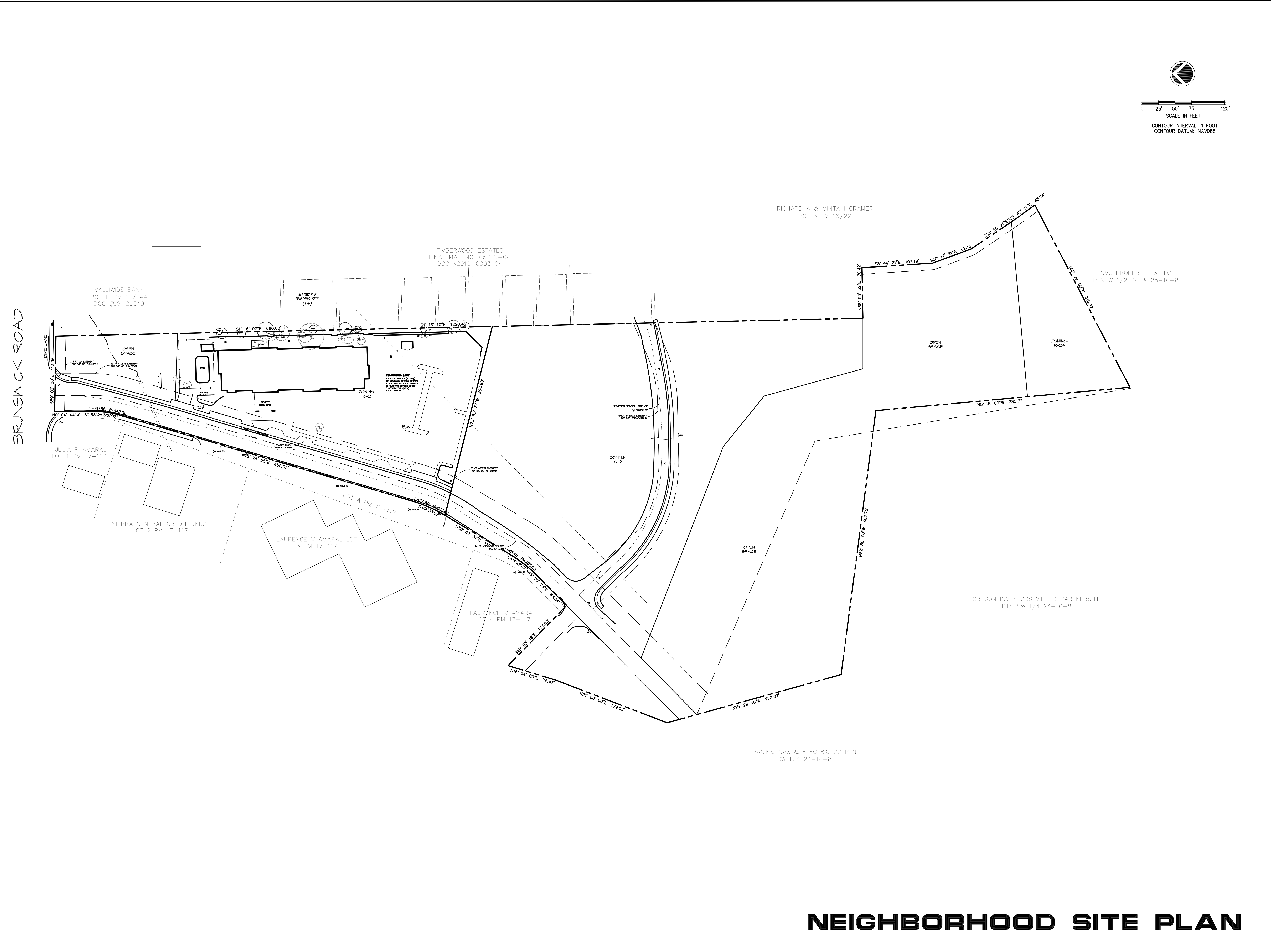
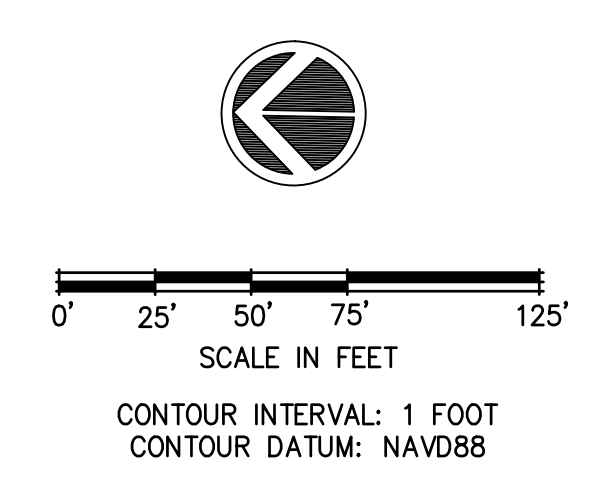
NST ENGINEERING, INC.
 1445 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 251-5173 Fax: (530) 251-6272

Date: 8/29/23
 Drawn: JB
 Checked: JM

Sheet No.
C1
 Of 6 Sheets

Job No. 22-90
 File No. SITE 31

SITE PLAN



Revisions:

Engineer:

Project Title:
 PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-039

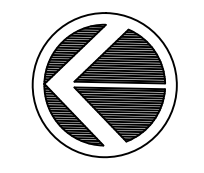
NST ENGINEERING, INC.
 1445 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 251-5173 Fax: (530) 251-6272

Date: 8/29/23
 Drawn: JB
 Checked: JM

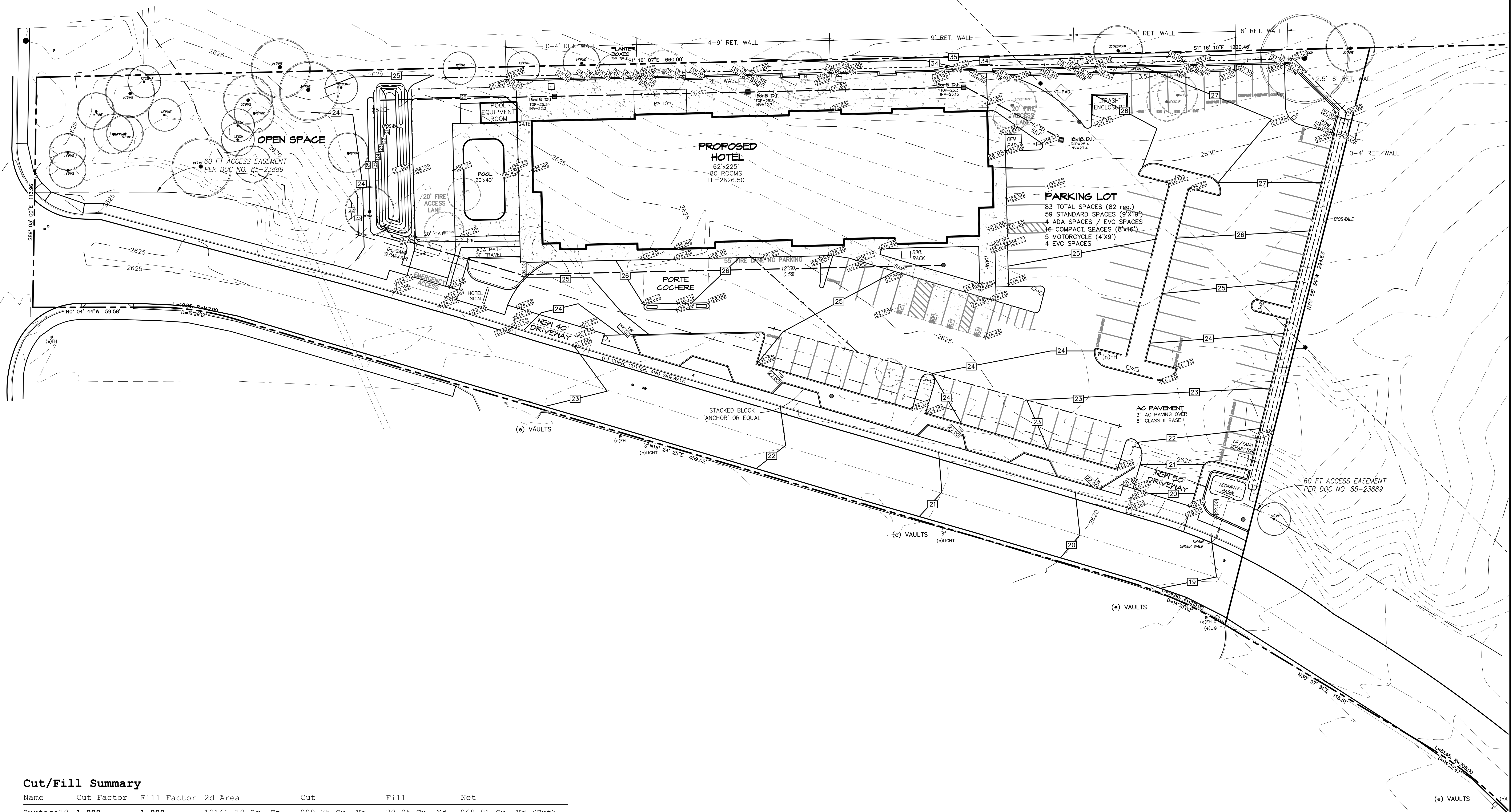
Sheet No.
C1.1
 Of 6 Sheets

Job No. 22-90
 File No. SITE 3

NEIGHBORHOOD SITE PLAN



0' 10' 20' 30' 50'
SCALE IN FEET
CONTOUR INTERVAL: 1 FOOT
CONTOUR DATUM: NAVD88



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Surface10	1.000	1.000	12161.10 Sq. Ft.	999.75 Cu. Yd.	30.95 Cu. Yd.	968.81 Cu. Yd.<Cut>
Totals			12161.10 Sq. Ft.	999.75 Cu. Yd.	30.95 Cu. Yd.	968.81 Cu. Yd.<Cut>

Revisions:

Engineer:

Project Title:
**PROPOSED SITE PLAN FOR:
 HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA**
 APN: 035-480-039

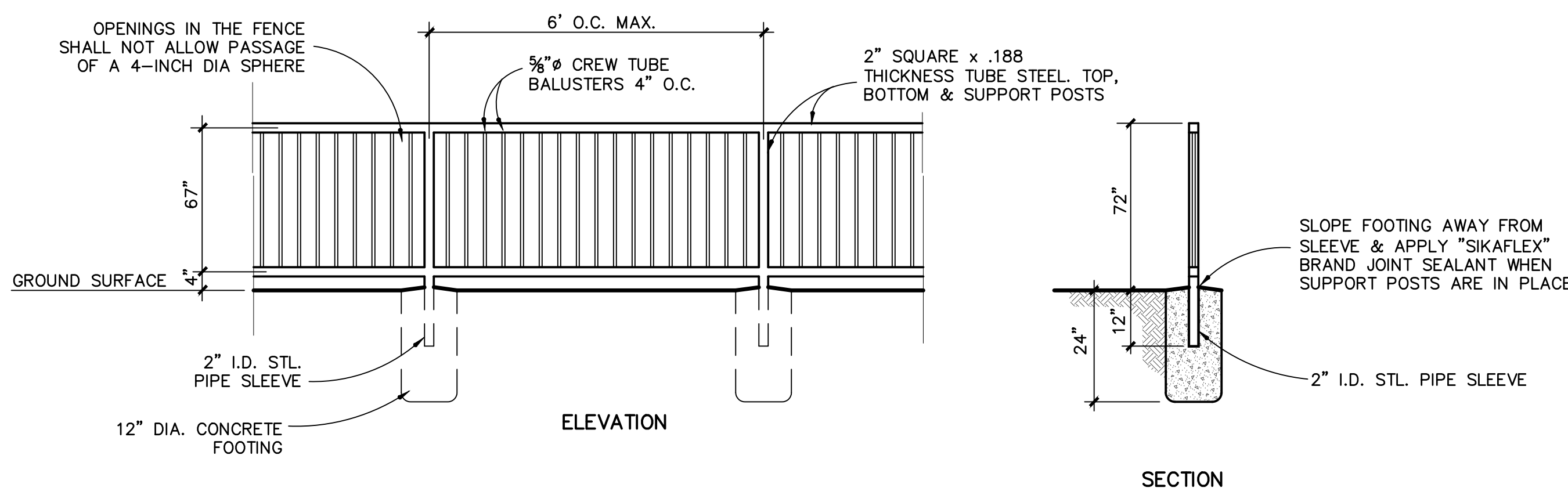
NST ENGINEERING, INC.
 1495 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 257-5173 Fax: (530) 257-6212

Date: 8/29/23
 Drawn: JB
 Checked: JM

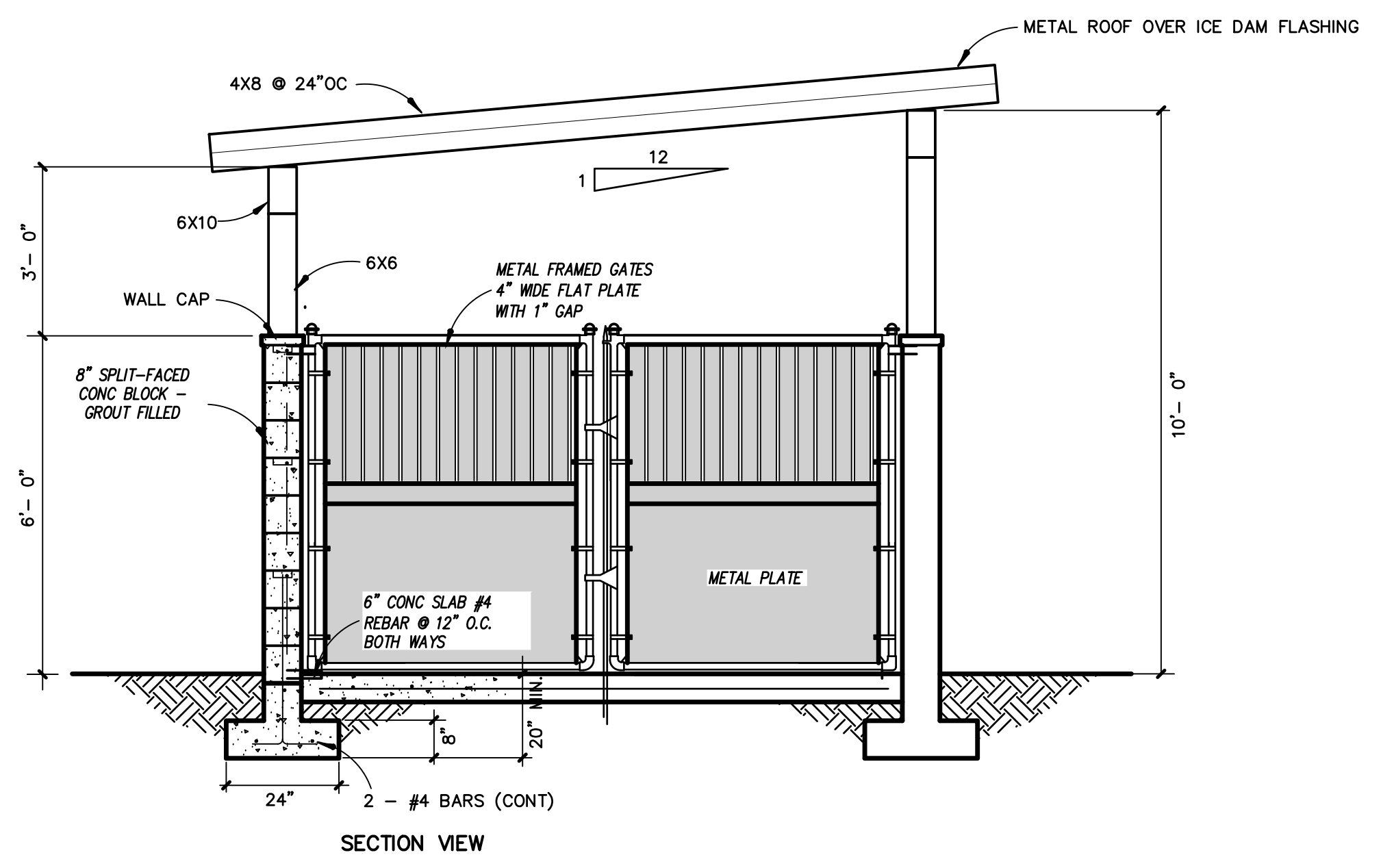
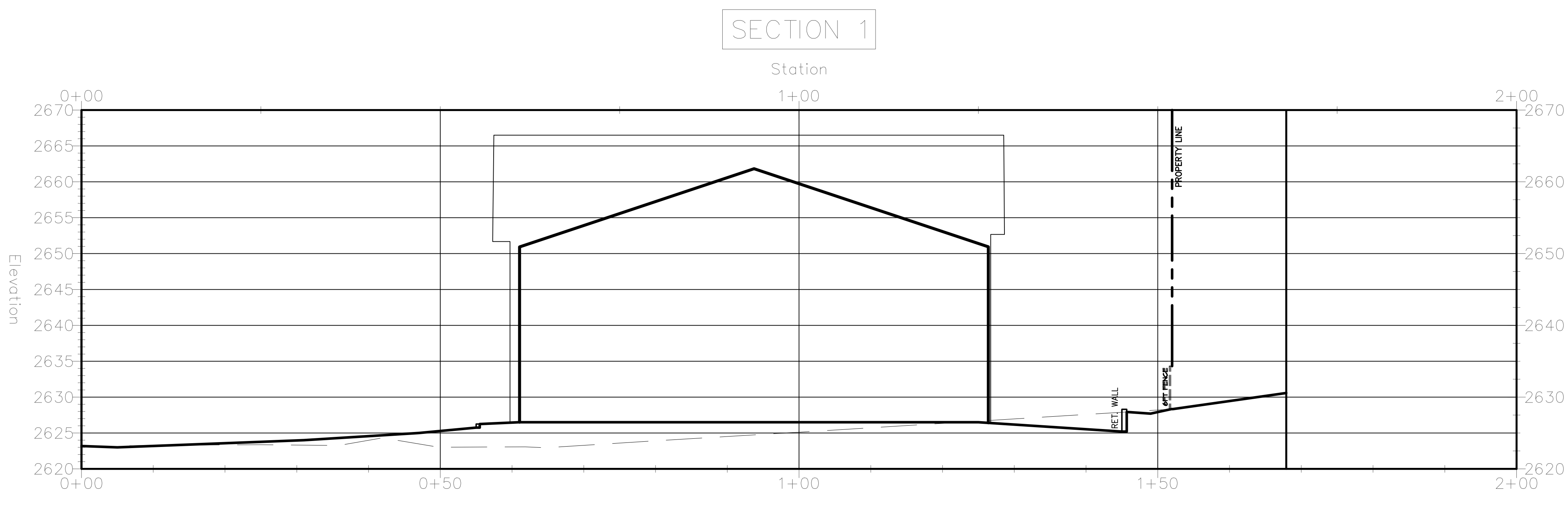
Sheet No.
02
 Of 6 Sheets

Job No. 2022-90
 File No. SITE 3

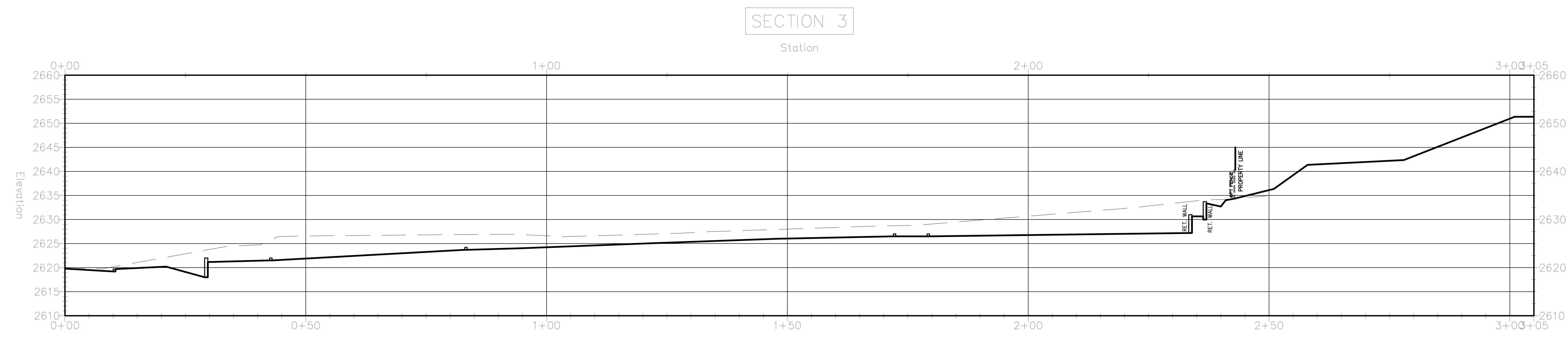
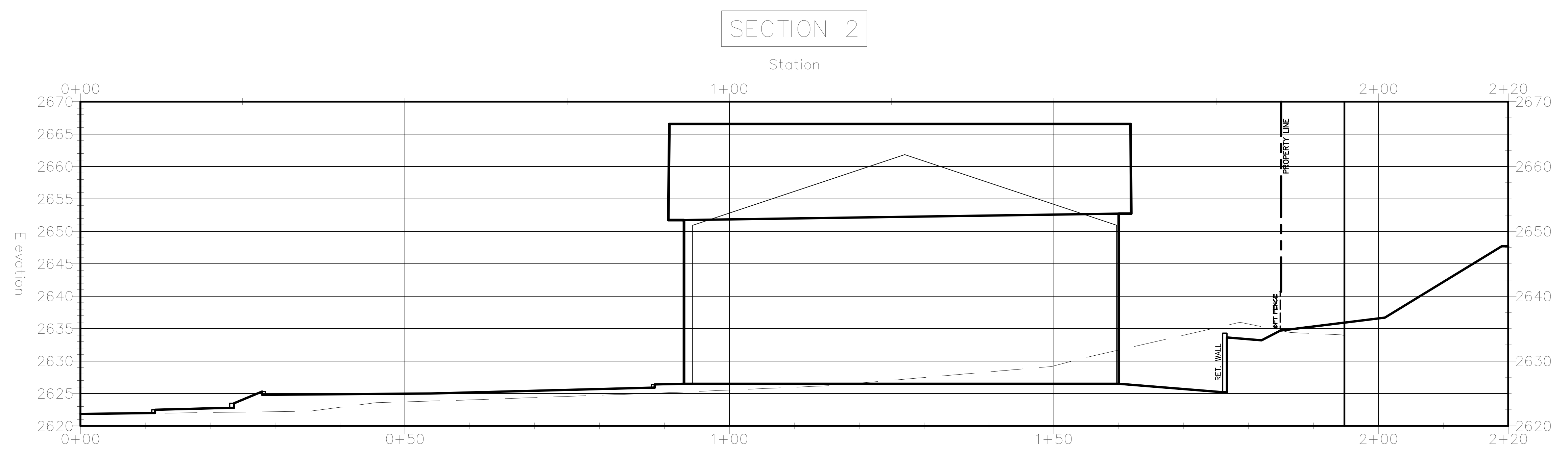
SITE GRADING PLAN



FENCE ALONG PROPERTY LINE (1) (C2.2)



TRASH ENCLOSURE ROOF SECTION (2) (C2.2)



HORIZ: 1"=10'
VERT: 1"=10'

GRADING PROFILES

Item # 3.

Revisions:	

Engineer:

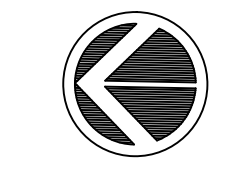
Project Title:
 PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-0394

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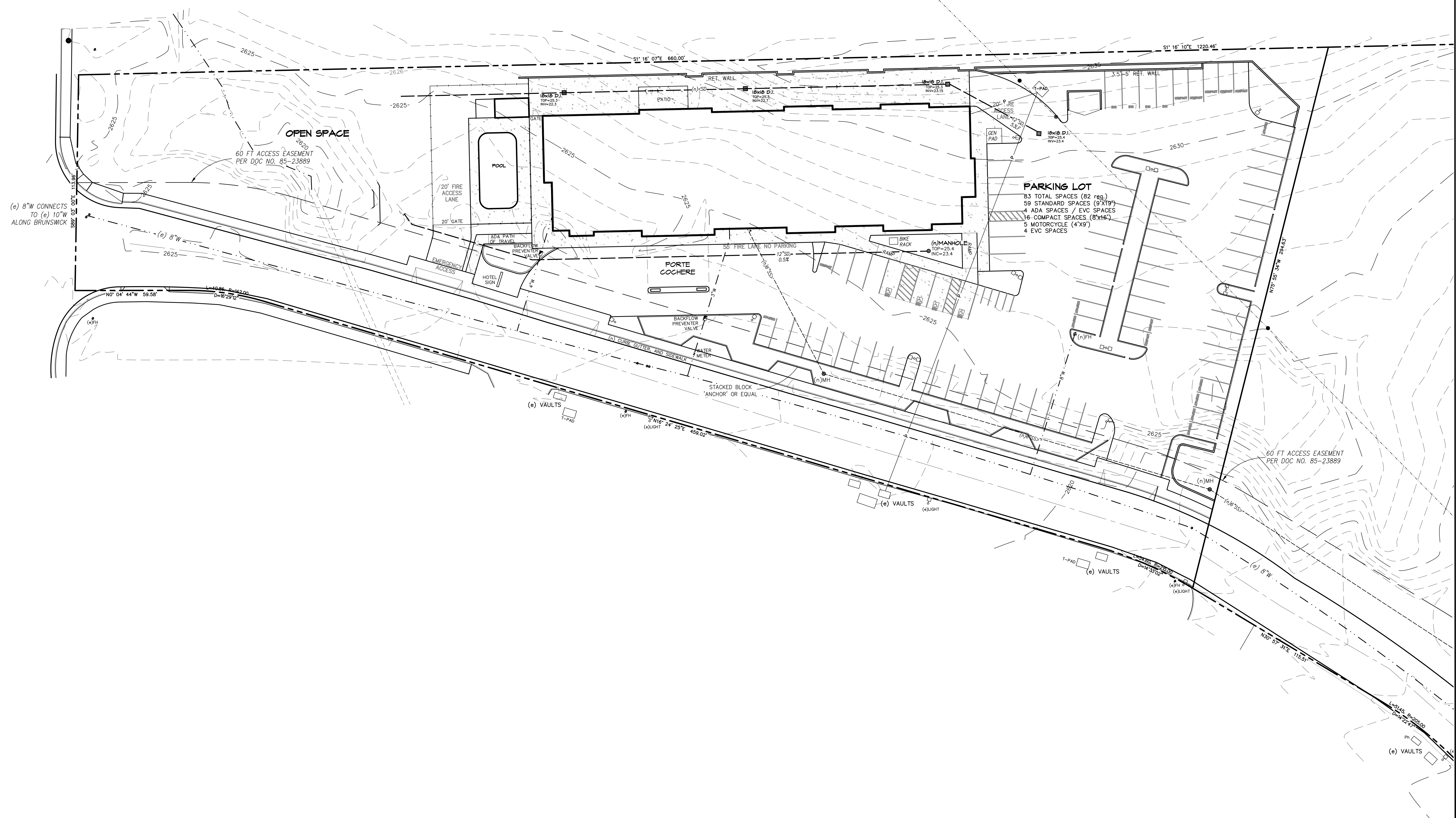
Date: 8/29/23
 Drawn: JB
 Checked: JM

Sheet No.
C2.2
 Of 6 Sheets

Job No. 2022-90
 File No. SITE 3



SCALE IN FEET
0' 10' 20' 30' 50'
CONTOUR INTERVAL: 1 FOOT
CONTOUR DATUM: NAVD88



Revisions:

Engineer:

Project Title:
PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
961 PLAZA DRIVE
GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
APN: 035-480-039

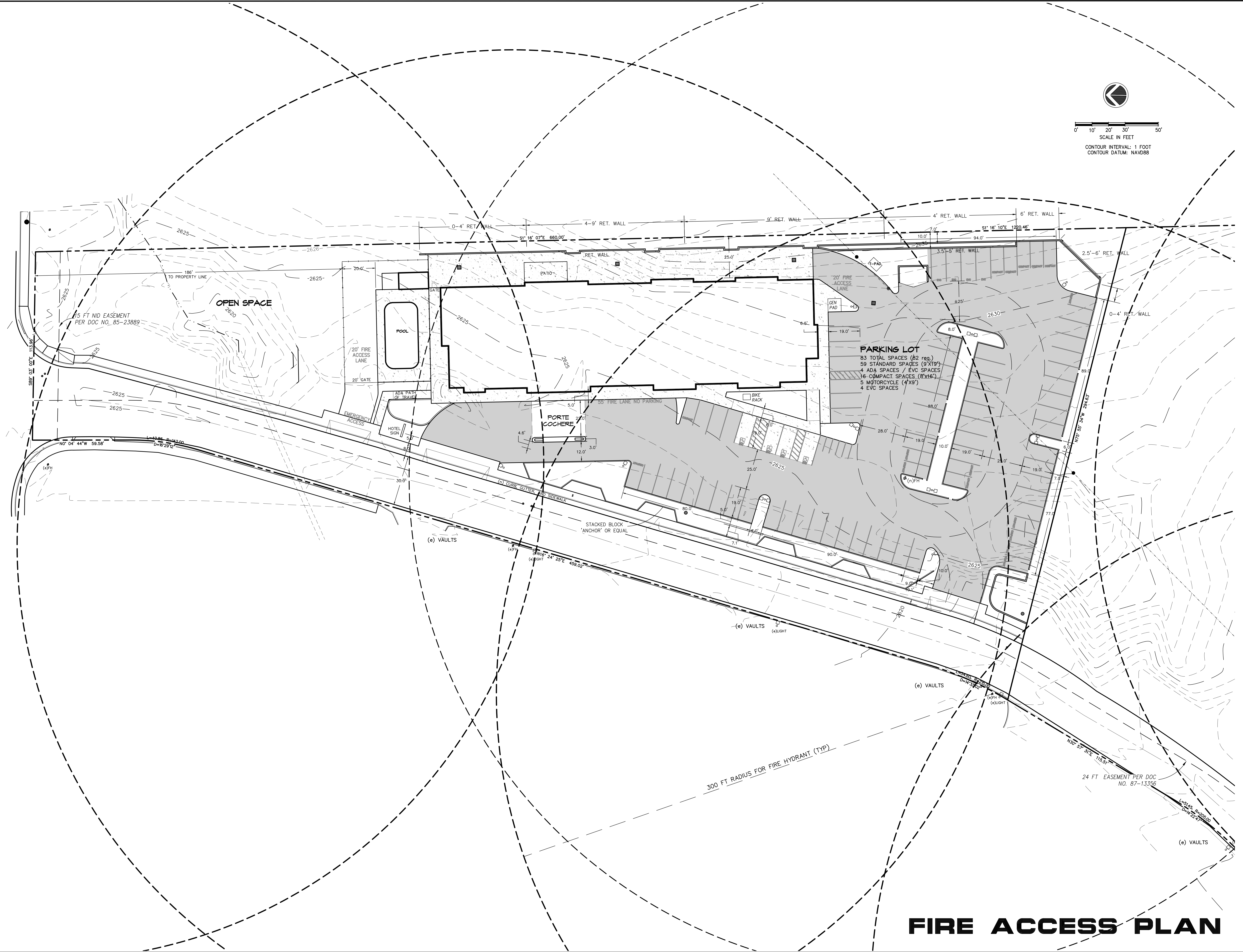
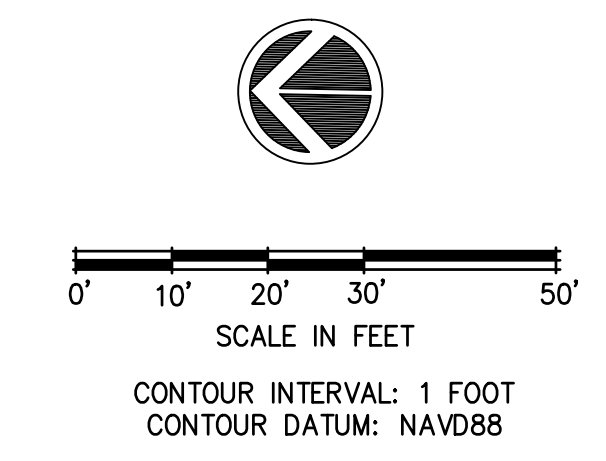
NST ENGINEERING, INC.
1495 Riverside Drive * Susanville, CA 96130
Engineering * Planning * Surveying
Phone: (530) 257-5173 Fax: (530) 257-6272

Date: 8/24/23
Drawn: JB
Checked: JM

Sheet No.
C3
Of 6 Sheets

Job No. 2022-90
File No. SITE 3

SITE UTILITY PLAN



Revisions:

Engineer:

Project Title:
 PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-039

NST ENGINEERING, INC.
 1445 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 251-5173 Fax: (530) 251-6272

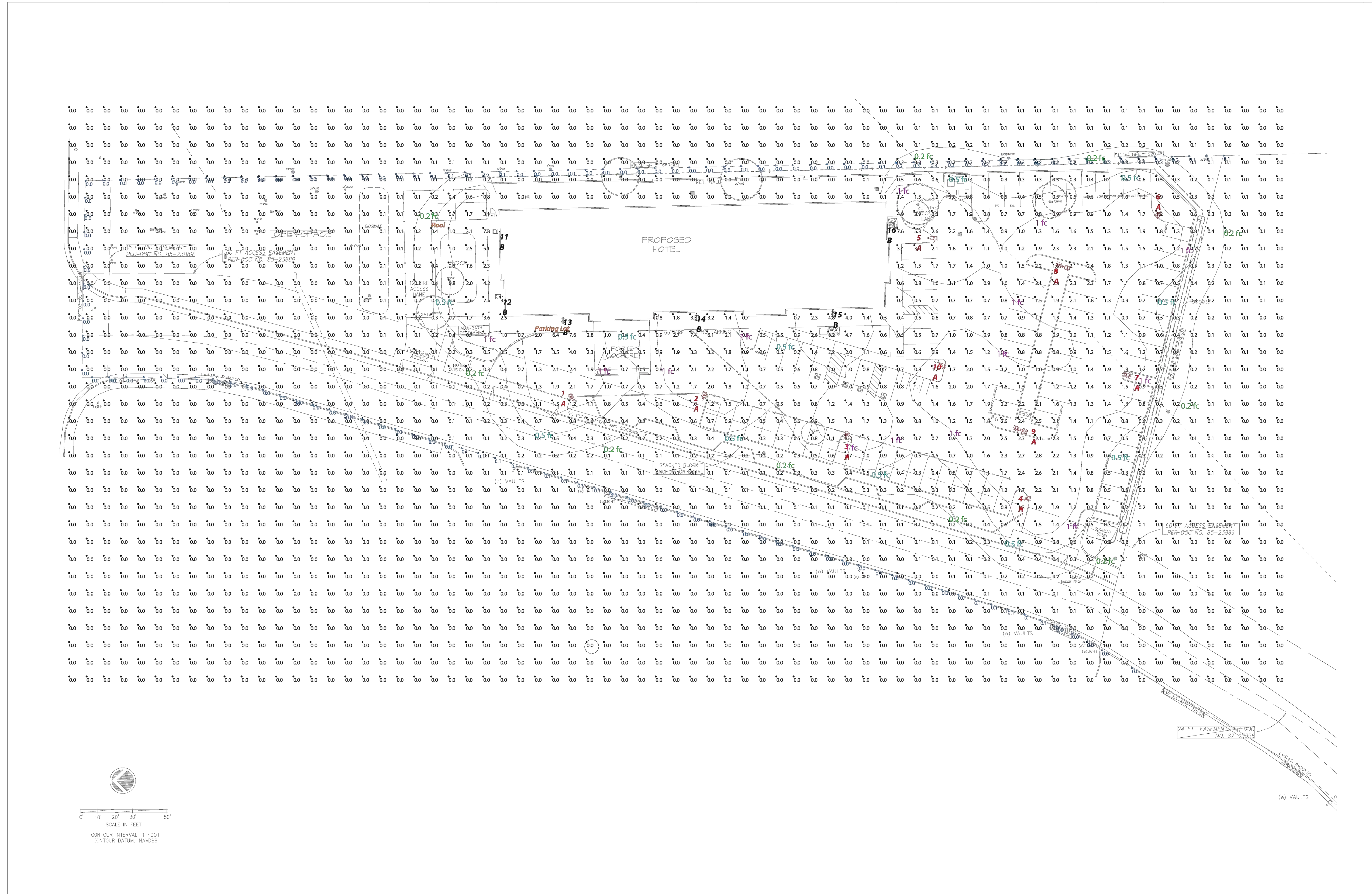
Date: 8/29/23
 Drawn: JB
 Checked: JM

Sheet No.
C4
 Of 6 Sheets

Job No. 22-90
 File No. SITE 3

FIRE ACCESS PLAN

PLOT TO 24"x36" PAGE



Scale: 1 inch= 30 Ft.

The Lighting Analysis, Electrical Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design criteria and information provided by others. RAB does not warrant, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements or other regulatory requirements. RAB does not warrant, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements or other regulatory requirements. RAB does not warrant, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements or other regulatory requirements. RAB does not warrant, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements or other regulatory requirements.

PROJECT #206390
 CASE #1035549
 Filename: Grass Valley Hotel Lig Layout_1035549.AGI
 Drawn By: dventio

Job Name:
 Grass Valley Hotel
 Grass Valley, CA
 Lighting Layout
 Version A

Prepared For:
 ElectroRep
 2015 Bridgeway # 201
 Sausalito, CA 94965
 Tel: 415-332-4100

RAB
 RAB Lighting Inc.
 4800 Hub Drive, New York, NY 10008
 212-490-9900

Revisions:

Engineer:

Project Title:
 PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-039

NST ENGINEERING, INC.
 1495 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 257-5173 Fax: (530) 257-6212

Date: 8/29/23
 Drawn: JB
 Checked: JM

Sheet No.
C5
 Of 6 Sheets

Job No. 2022-90
 File No. SITE 5

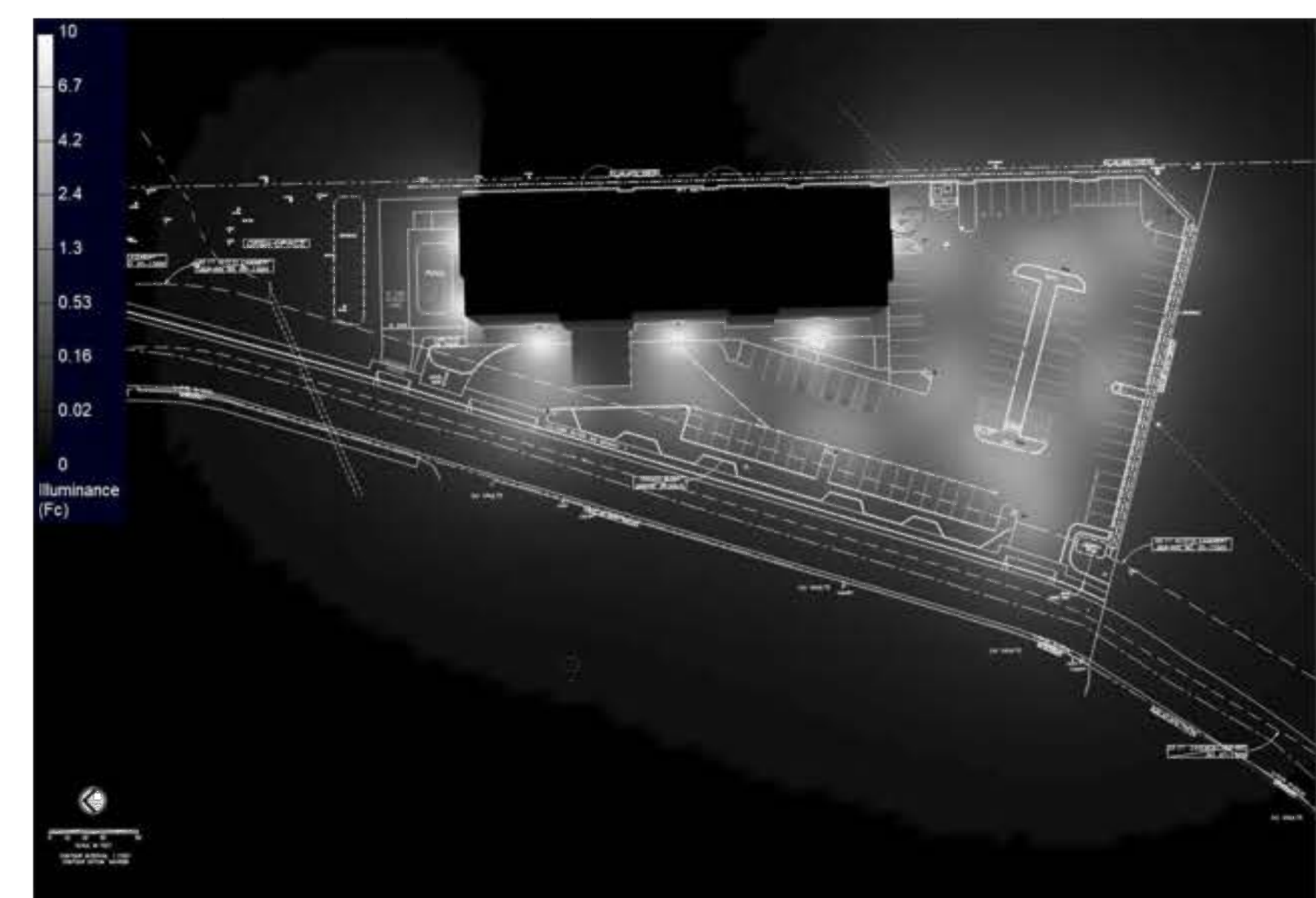
LIGHTING PLAN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpctb	Meter Type
Property Line	Illuminance	Fc	0.05	0.3	0.0	N.A.	N.A.	Readings taken at grade	10	N.A.	Horizontal
Site Lighting	Illuminance	Fc	0.33	7.8	0.0	N.A.	N.A.	Readings taken at grade	10	10	Horizontal
Parking Lot	Illuminance	Fc	1.23	7.4	0.2	6.15	37.00	Readings taken at grade			
Pool	Illuminance	Fc	2.73	7.8	0.7	3.90	11.14	Readings taken at grade			

Luminaire Schedule All quotes/orders generated from this layout must be forwarded to the Local Rep Agency										
Symbol	Qty	Tag	Label	Arrangement	LLF	Lum. Lumens	Description	Lum. Watts	BUG Rating	
	2	A	IVAT4-45LPA730ZU WS2 x 2	Back-Back	1.000	4533	POLE MOUNT	37.3576	B1-U0-G2	
	8	A	IVAT4-45LPA730ZU WS2	Single	1.000	4533	POLE MOUNT	37.3576	B1-U0-G2	
	6	B	IVAF7-45LWM730ZU	Single	1.000	4639	WALL MOUNT	37.9154	B1-U0-G2	

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	288.003	240.235	22	116.712	0
2	A	363.002	241.229	22	67.282	0
3	A	445.995	218.151	22	73.175	0
4	A	549.128	182.905	22	7.805	0
5	A	494.786	334.044	22	359.956	0
6	A	628.494	349.472	22	226.706	0
7	A	611.282	254.016	22	160.55	0
8	A	571.967	317.98	22	338.303	0
8	A	571.967	317.98	22	518.303	0
9	A	547.028	223.091	22	338.303	0
9	A	547.028	223.091	22	518.303	0
10	A	500.036	261.483	22	326.952	0
11	B	245.377	338.201	12	180.585	0
12	B	246.998	300.474	12	180.627	0
13	B	282.185	288.72	12	270	0
14	B	359.609	290.626	12	270	0
15	B	438.766	293.047	12	270.254	0
16	B	469.865	342.112	12	0.402	0

Total Quantity: 18



NOTES:

- * The light loss factor (LLF) is a product of many variables. RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.
- * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- * Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- * RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("EPA") of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.
- * The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- * Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.
- * RAB Lighting Inc. luminaire and product designs are protected under U.S. and International Intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/ip.
- * The Lighting Analysis, EZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.
- * RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.
- * RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.
- * Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

PLOT TO 24"x36"PA0

Scale: as noted PROJECT #206390
 Date: 2/17/2023 CASE #1035849
 Filename: Grass Valley Hotel Ltg Layout_1035849A.dwg
 Drawn By: dvento

Job Name: Grass Valley Hotel
 Grass Valley, CA
 Lighting Layout
 Version A

Prepared For: Elmer Pao
 2015 Bridgeway # 201
 Sausalito, CA 94965
 Tel: 415-332-4100

Filename: Z:\Job Files\Electrop/EEdges Electrical Group\Susamville_111820\grass valley hotel\Working Files\AGI\Grass Valley Hotel Ltg Layout_1035849A.dwg

Revisions:

Engineer:

Project Title:
**PROPOSED SITE PLAN FOR:
 HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-039**

NST ENGINEERING, INC.
 1495 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 257-5173 Fax: (530) 257-6272

Date: 8/29/23
 Drawn: JB
 Checked: JM

Sheet No.
C5.1
 Of 6 Sheets

Job No. 2022-90
 File No. SITE 5

LIGHTING PLAN

IVAT4-45LPA730ZU/WS2

RAB



Project: _____ Type: _____
Prepared By: _____ Date: _____
Driver Info: Type 120V, Constant Current 0.33A, Watts 200W, Color Temp 3000K (Warm)
LED Info: Watts 38W, Color Accuracy 80 CRI, L70 L85span 100,000 Hours, Lumens 4,533 lm, Efficacy 121.2 lm/W

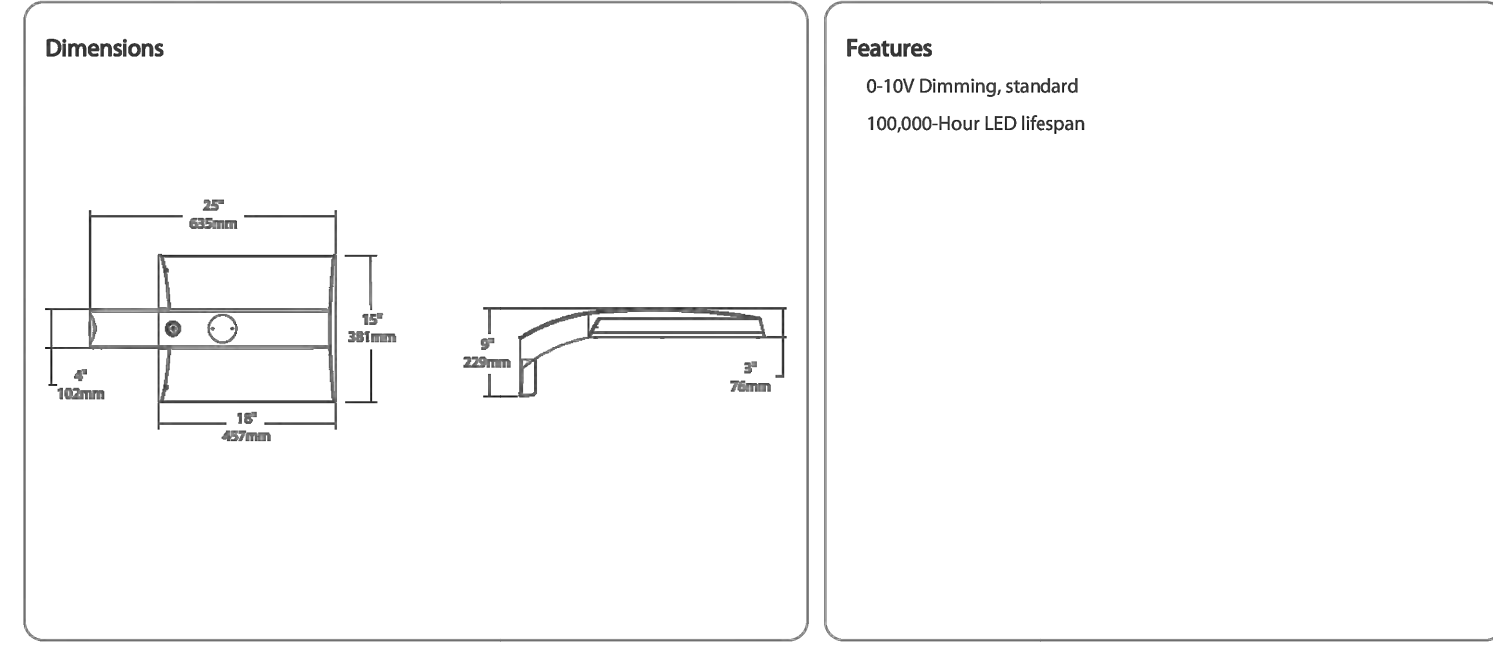
Technical Specifications
Compliance: UL Listed, Suitable for wet locations, IESNA LM-79 & LM-80 Testing, IP Rating: Ingress protection rating of IP66 for dust and water, California Title 24: Can be used to conform with the requirements of California Title 24 Part 6.
Electrical: Driver: Class 2, 50/60Hz, 120-277V, 4W standard, 10W optional, Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems.
Wattage Equivalency: Equivalent to 100W Pulse Start Metal Halide

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com

IVAT4-45LPA730ZU/WS2

RAB

Technical Specifications (continued)
Construction: Precision die-cast aluminum
Lens: Diffused Polymethyl Methacrylate (PMMA)
Optical: BUG Rating: B1 I0 G2
Effective Projected Area: EPA = 0.61
Maximum Ambient Temperature: Suitable for use in up to 40°C (104°F)
Housing: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free, RoHS-compliant components.
Sensor Specifications: Multi Level Motion Sensor: 40" ft. diameter coverage from 20 ft. height.
Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.



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IVAT4-45LPA730ZU/WS2

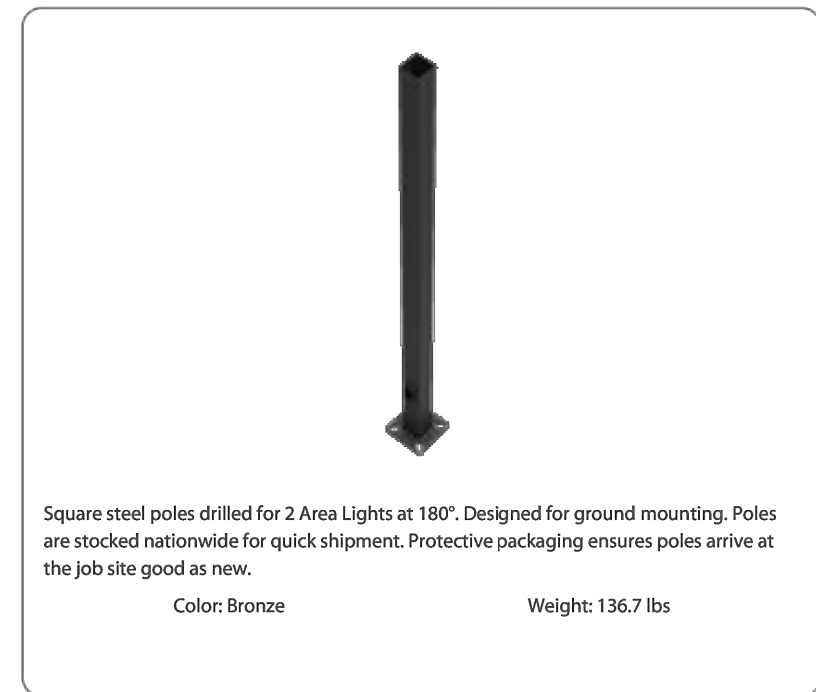
RAB

Ordering Matrix table with columns: Family, Distribution, Lumen Output, Mounting, CR/Color Temp, Finish, Voltage/Driver, Sensor Options, Lightcloud Option. Includes rows for IVA, T4, 45L, PA, 730, Z, U, /WS2.

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PS4-11-20D2

RAB



Project: _____ Type: _____
Prepared By: _____ Date: _____

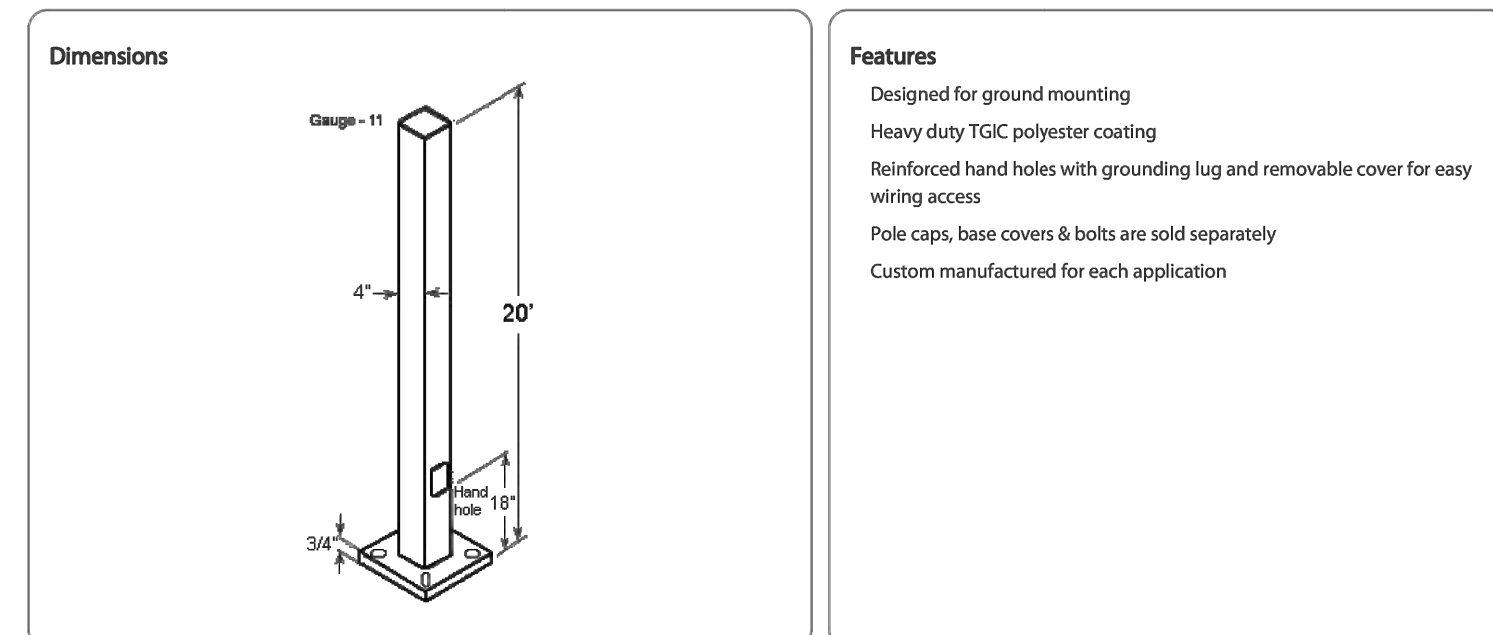
Technical Specifications
Compliance: CSA Listed, Suitable for wet locations, Construction: 46,000 p.s.i. minimum yield, Hand Holes: Reinforced with grounding lug and removable cover, Base Plates: Stained base plates 36,000 p.s.i.
Color: Bronze powder coating
Shaft Size: 4"
Hand Hole Dimensions: 3" x 5"
Weight: 137 lbs
Bolt Circle: 8 1/2"
Gauge: 11
Wall Thickness: 1/8"
Base Dimension: 8"

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PS4-11-20D2

RAB

Technical Specifications (continued)
Construction: Anchor Bolt: Galvanized anchor bolts and galvanized hardware and anchor bolt template.
Pre-Shipped Anchor Bolts: Bolts can be pre-shipped upon request for additional freight charge.
Max EPA's/Max Weights: 70MPH 10.7 ft./350 lb., 88MPH 7.0 ft./250 lb., 90MPH 4.3 ft./350 lb., 100MPH 2.5 ft./350 lb., 110MPH 1.1 ft./350 lb., 120MPH 0.1 ft./340lb



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IVAF7-45LWM730ZU

RAB



Project: _____ Type: _____
Prepared By: _____ Date: _____
Driver Info: Type 120V, Constant Current 0.33A, Watts 200W, Color Temp 3000K (Warm)
LED Info: Watts 38W, Color Accuracy 80 CRI, L70 L85span 100,000 Hours, Lumens 4,533 lm, Efficacy 122.4 lm/W

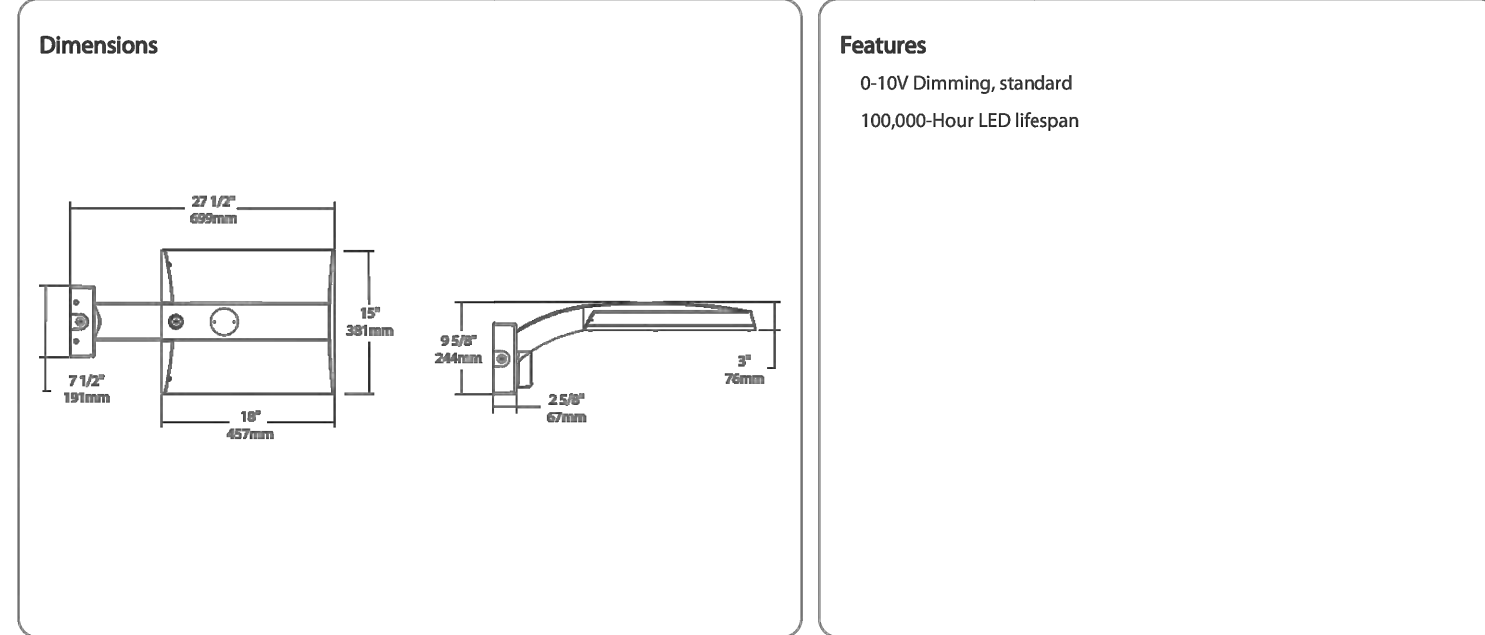
Technical Specifications
Compliance: UL Listed, Suitable for wet locations, IESNA LM-79 & LM-80 Testing, IP Rating: Ingress protection rating of IP66 for dust and water, California Title 24: This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.
Electrical: Driver: Class 2, 50/60Hz, 120-277V, 4W standard, 10W optional, Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems.
LED Characteristics: Long-life, high-efficiency, surface-mount LEDs, LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

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IVAF7-45LWM730ZU

RAB

Technical Specifications (continued)
Construction: Maximum Ambient Temperature: Suitable for use in up to 40°C (104°F)
Housing: Precision die-cast aluminum
IES Classification: The Forward Throw distribution is especially suited for mounting on the sides of buildings and walkways, and for illuminating the perimeter of parking areas.
Effective Projected Area: EPA = 0.61
Finish: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free, RoHS-compliant components.
Installation: Wall mount
Optical: BUG Rating: B1 I0 G2
Other: Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.
Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.



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IVAF7-45LWM730ZU

RAB

Ordering Matrix table with columns: Family, Distribution, Lumen Output, Mounting, CR/Color Temp, Finish, Voltage/Driver, Sensor Options, Lightcloud Option. Includes rows for IVA, FT, 45L, WM, 730, Z, U, /WS2.

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com

Revisions table with columns for revision number, description, and date.

Engineer: _____

Project Title: PROPOSED SITE PLAN FOR: HOLIDAY INN EXPRESS 961 PLAZA DRIVE GRASS VALLEY, NEVADA COUNTY, CALIFORNIA APN: 035-460-039

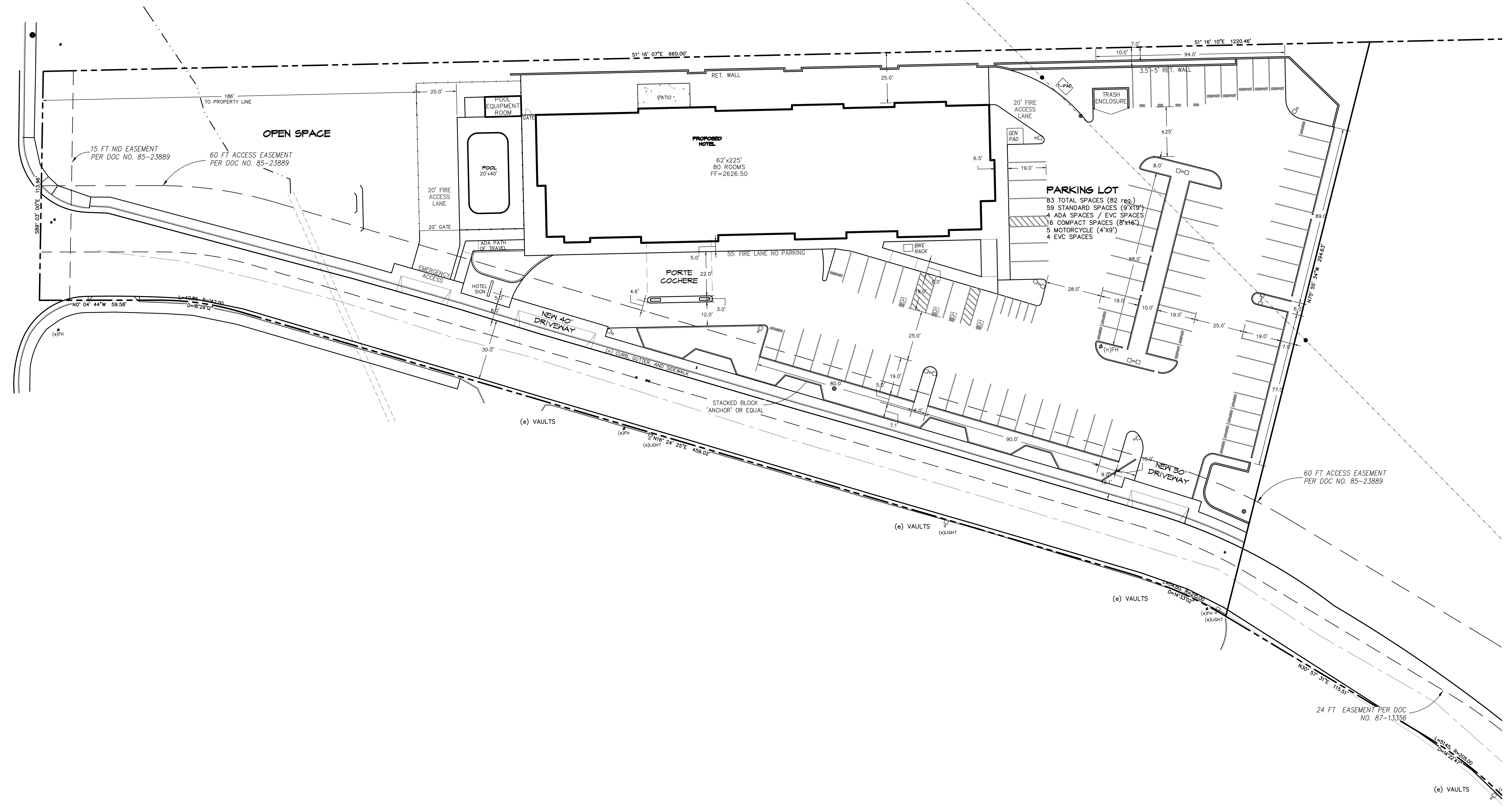
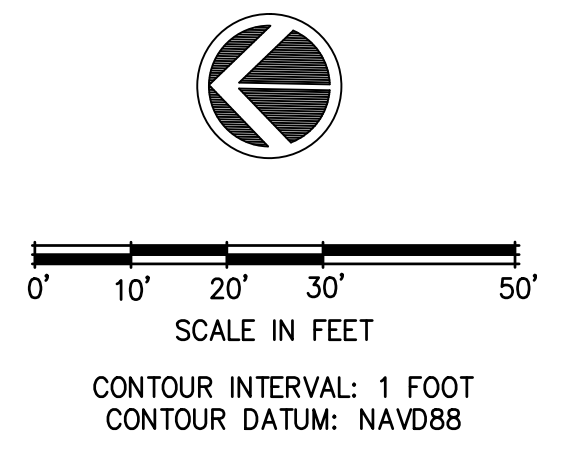
NST ENGINEERING, INC. 1495 Riverside Drive * Susanville, CA 96180 Engineering * Planning * Surveying Phone: (530) 257-5178 Fax: (530) 257-6212

Date: 8/29/23 Drawn: JB Checked: JM

Sheet No. C5.2 Of 6 Sheets

Job No. 2022-90 File No. SITE 5

LIGHTING SPECIFICATIONS



Revisions:

Engineer:

Project Title:
 PROPOSED SITE PLAN FOR:
HOLIDAY INN EXPRESS
 961 PLAZA DRIVE
 GRASS VALLEY, NEVADA COUNTY, CALIFORNIA
 APN: 035-480-039

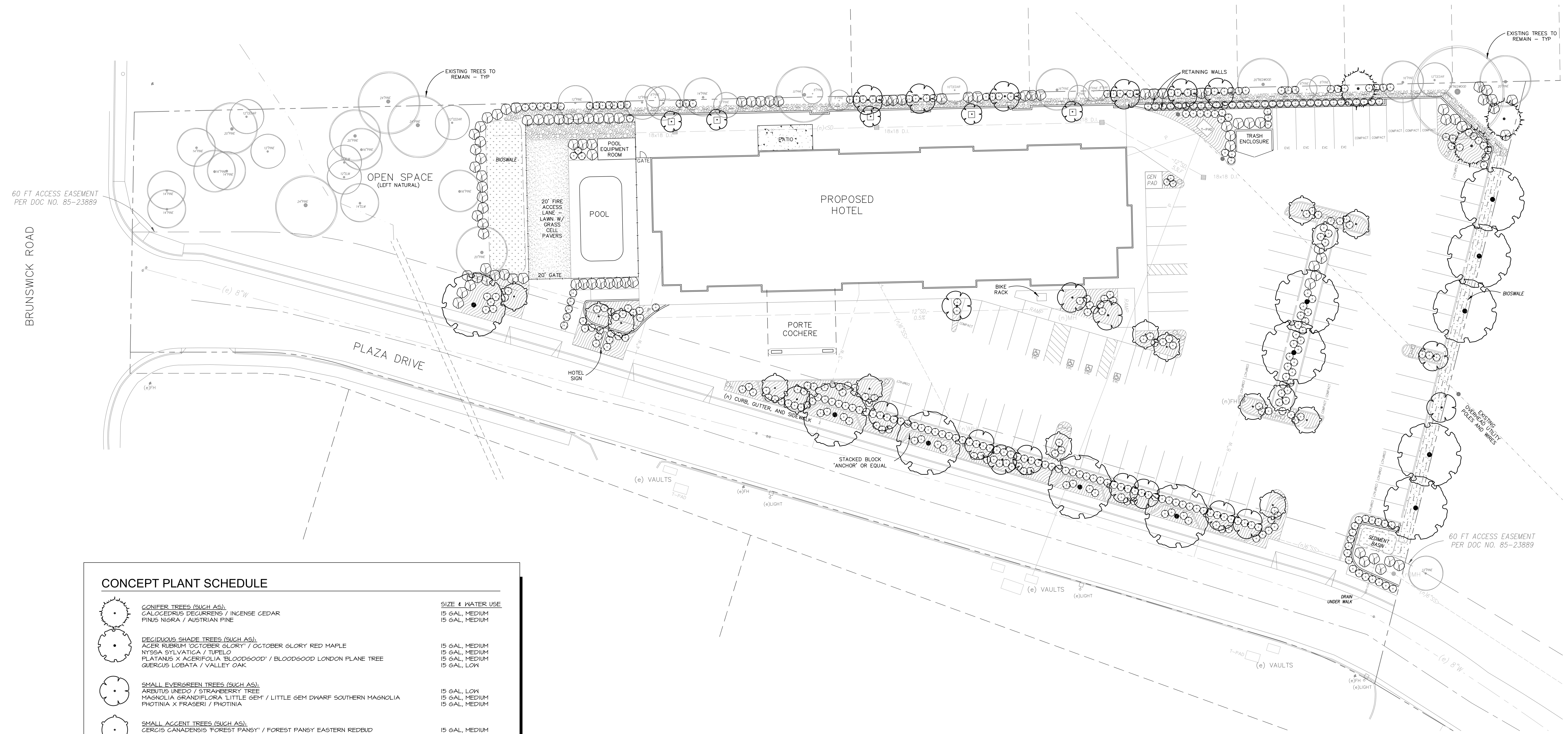
NST ENGINEERING, INC.
 1445 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 251-5173 Fax: (530) 251-6272

Date: 8/29/23
 Drawn: JB
 Checked: JM

Sheet No.
C6
 Of 6 Sheets

Job No. 22-90
 File No. SITE 3

STRIPING PLAN



CONCEPT PLANT SCHEDULE

Symbol	Plant Name	Size & Water Use
●	CONIFER TREES (SUCH AS): CALOCEDRUS DECURRENS / INCENSE CEDAR PRUNUS NIGRA / AUSTRIAN PINE	15 GAL, MEDIUM 15 GAL, MEDIUM
○	DECIDUOUS SHADE TREES (SUCH AS): ACER RUBRUM / OCTOBER GLORY / OCTOBER GLORY RED MAPLE NYSSA SYLVATICA / TUPELO PLATANUS X ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANE TREE QUERCUS LOBATA / VALLEY OAK	15 GAL, MEDIUM 15 GAL, MEDIUM 15 GAL, MEDIUM 15 GAL, LOW
○	SMALL EVERGREEN TREES (SUCH AS): ARBUTUS UNEDO / STRAWBERRY TREE MAGNOLIA GRANDIFLORA LITTLE GEM / LITTLE GEM DWARF SOUTHERN MAGNOLIA RHODINIA X FRASERI / RHODINIA	15 GAL, LOW 15 GAL, MEDIUM 15 GAL, MEDIUM 15 GAL, MEDIUM
○	SMALL ACCENT TREES (SUCH AS): CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD CORNUS FLORIDA 'RUBRA' / RED FLOWERING DOGWOOD LAGERSTROEMIA X TUSCANORA / TUSCANORA GRAPE MYRTLE PRUNUS CERASIFERA 'KRAUTER VESUVIUS' / PURPLE LEAF PLUM	15 GAL, MEDIUM 15 GAL, MEDIUM 15 GAL, LOW 15 GAL, MEDIUM
○	ACCENT SHRUBS (SUCH AS): ABELIA X GRANDIFLORA / GLOSSY ABELIA CAMELLIA JAPONICA / CAMELLIA CISTUS X PURPUREUS / ORCHID ROCKROSE CORONIS STOLONIFERA / RED TRING DOGWOOD MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE MUELENBERGIA CAPILLARIS 'PINK CLOUD' / PINK CLOUD PINK MUHLY GRASS MYRSINE AFRICANA / AFRICAN BOXWOOD NANDINA DOMESTICA 'COMPACTA' / DWARF HEAVENLY BAMBOO PENNESETUM X 'EATON CANYON' / EATON CANYON FOUNTAIN GRASS PHORRHIZUM TENAX 'BRONZE BABY' / BRONZE BABY NEW ZEALAND FLAX POLYSTICHUM MUNITUM / WESTERN SWORD FERN WOODWARDIA FIMBRIATA / GIANT CHAIN FERN	5 GAL, MEDIUM 5 GAL, MEDIUM 5 GAL, LOW 5 GAL, MEDIUM 5 GAL, MEDIUM 5 GAL, LOW 5 GAL, LOW 5 GAL, LOW 5 GAL, LOW 5 GAL, MEDIUM 5 GAL, MEDIUM
○	SCREEN SHRUBS (SUCH AS): ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN VINE HILL MANZANITA CEANOTHUS X 'JULIA PHELPS' / JULIA PHELPS MILD LILAC ELAEAGNUS X 'EBBINGE' 'SILT EDGE' / SILT EDGE SILVERBERRY GREVILLEA X 'WELLII' / NOEL GREVILLEA HETEROMELES ARBUTIFOLIA / TOYON	5 GAL, LOW 5 GAL, LOW 5 GAL, LOW 5 GAL, LOW 5 GAL, LOW
■	GRAVEL OR COBBLE AREAS: DECORATIVE GRAVEL AREA / OR SMALL RIVER WASHED COBBLE AREA	-
■	BIO-SWALE & BASIN AREAS: BIO-FILTRATION GRASSES	SOD, MEDIUM
■	GROUND COVERS (SUCH AS): ARCTOSTAPHYLOS X 'JOHN DOURLEY' / JOHN DOURLEY MANZANITA CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT' / YANKEE POINT CARMEL CREEPER COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY VINCA MINOR / COMMON PERIWINKLE	1 GAL, LOW 1 GAL, LOW 1 GAL, LOW 1 GAL, LOW 1 GAL, LOW
■	LAWN AREA: LAWN WITH GRASS CELL PAVERS	SOD, HIGH

CONCEPTUAL LANDSCAPE PLAN NOTES

- THIS CONCEPTUAL LANDSCAPE DESIGN IS BASED ON THE PRELIMINARY SITE DESIGN BY NST ENGINEERING, INC. DURING THE CONSTRUCTION DRAWINGS PHASE, COORDINATION WITH CHANGES TO THE SITE PLAN FROM ARCHITECTURAL AND ENGINEERING IMPROVEMENTS, INCLUDING SITE UTILITIES, MAY CAUSE CHANGES TO THE LANDSCAPE AREAS AND REQUIRE CHANGES TO THIS PROPOSED DESIGN.
- LANDSCAPE CONSTRUCTION IRRIGATION AND PLANTING PLANS SHALL CONFORM TO THE WATER USE REQUIREMENTS OF THE CITY OF GRASS VALLEY AND STATE OF CALIFORNIA'S AB1601. CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED AFTER APPROVAL OF THE CONCEPTUAL LANDSCAPE PLAN.
- ALL PLANTING AREAS SHALL BE IRRIGATED WITH A FULLY AUTOMATED IRRIGATION SYSTEM DESIGNED DURING THE CONSTRUCTION DOCUMENTS PHASE. DRIP IRRIGATION SHALL BE USED TO THE EXTENT APPROPRIATE.
- PLANTS WITH SIMILAR WATER NEEDS SHALL BE GROUPED WITHIN HYDROZONES CONTROLLED BY SEPARATE IRRIGATION VALVES PER THE IRRIGATION PLAN DEVELOPED DURING THE CONSTRUCTION DOCUMENTS PHASE.
- PLANTING BED SOIL SHALL BE AMENDED TO CORRECT IN-PLACE SOIL DEFICIENCIES TO SUPPORT THE NEEDS OF THE SPECIFIED PLANTS PER THE SOIL'S REPORT PROVIDED FOR DURING THE CONSTRUCTION DOCUMENTS PHASE.
- ALL SHRUB BEDS SHALL HAVE A THREE-INCH LAYER OF BARK MULCH DRESSING.
- ENHANCED LANDSCAPE TREATMENT WITH ACCENT SHRUBS AND GROUND COVERS SHALL BE PROVIDED AT THE PROJECT STREET ENTRIES.
- EXISTING TREES, SHOWN ON THE PLAN, ARE TO REMAIN IF DETERMINED TO BE HEALTHY BY AN ARBORIST.
- REFER TO THE ARCHITECTURAL AND CIVIL ENGINEERING PLANS FOR BUILDINGS, PAVING, UTILITIES, AND SITE IMPROVEMENTS.

CONCEPTUAL WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ETO): **48.0**

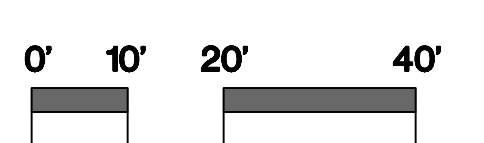
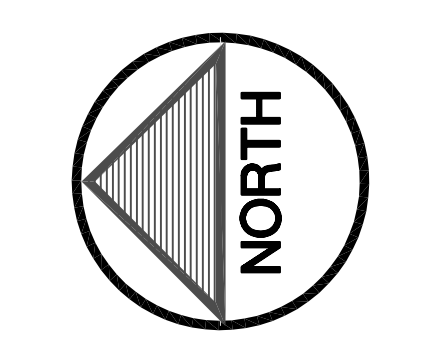
HYDROZONE #	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU) IN GALLONS/YEAR
REGULAR LANDSCAPE AREAS							
1 - MED. W.U.	0.5	DRIP	0.81	0.62	5,120	3,174	94,470
2 - LOW W.U.	0.2	DRIP	0.81	0.25	8,135	2,034	60,524
4 - HIGH W.U.	0.8	SPRAY	0.75	1.07	1,320	1,412	42,033
TOTALS:						14,575	6,621
ETWU TOTAL:							197,028
MAXIMUM APPLIED WATER ALLOWANCE (MAWA):							195,188
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)							
WHERE MAWA = (ETO) (0.62) (ETAF x LA)							
MAWA: (48.0) (0.62) (0.45 x 14,575) = 195,188 GALLONS PER YEAR							
ETAF CALCULATIONS							
REGULAR LANDSCAPE AREAS							
TOTAL ETAF x AREA	6,621						
TOTAL AREA	14,575						
AVERAGE ETAF	0.45						

NOTE:
AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS IS 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.



CONCEPTUAL LANDSCAPE PLAN

HOLIDAY INN EXPRESS
961 PLAZA DRIVE, GRASS VALLEY, CA



SCALE: 1" = 20'-0"
C-101-23
SEPT. 5, 2023





HOLIDAY INN EXPRESS HOTEL
COLOR BOARD
961 PLAZA DRIVE
GRASS VALLEY, CA

<u>Siding</u>			
Sherwin Williams Shoji White or Matte Sandstone	Sherwin Williams Smoky Beige or Matte Desert Tan	Sherwin Williams Half-Caff or Matte Mansard Brown	Matte Orange

<u>Stone</u>	<u>Roofing</u>	<u>Stamped Concrete</u>
El Dorado Stone Cliffstone in Montecito	Terra Cotta	Matte Desert Tan

MATTE COLORS:



Matte Regal White*



Matte Sandstone*



Matte Desert Tan*



Matte Slate Gray*



Matte Musket Gray



Matte Zinc Metallic®



Matte Patina®



Matte Charcoal Gray



Matte Burnished Slate*



Matte Mansard Brown*



Matte Medium Bronze



Matte Dark Bronze



Matte Midnight Black



Matte Black



Matte Classic Green*



Matte Colonial Red*



Matte Orange



PLEASE NOTE: * Minimum Order of 2500 SQ. FT. MIN. / 4-8 Week Lead Time
Colors represented on this chart may not exactly match actual material. All colors should be verified using actual metal samples.

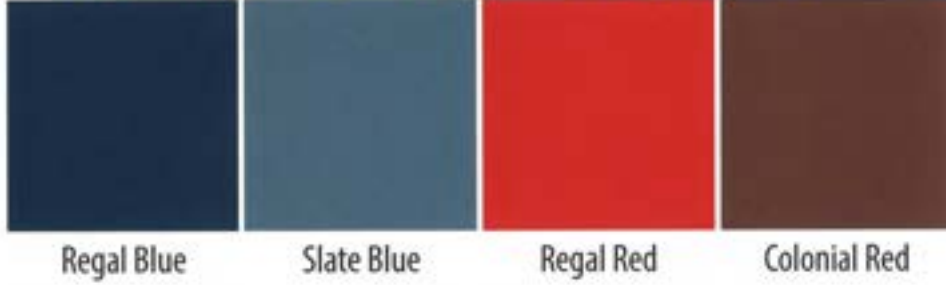
— ALUMINUM - STANDARD COLORS:



— SPECIALTY PRINT:

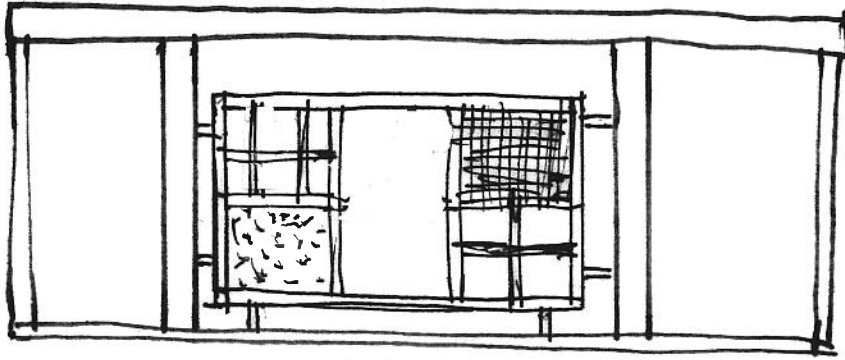


— ALUMINUM - SPECIAL ORDER COLORS (500 SQ. FT. MIN.):

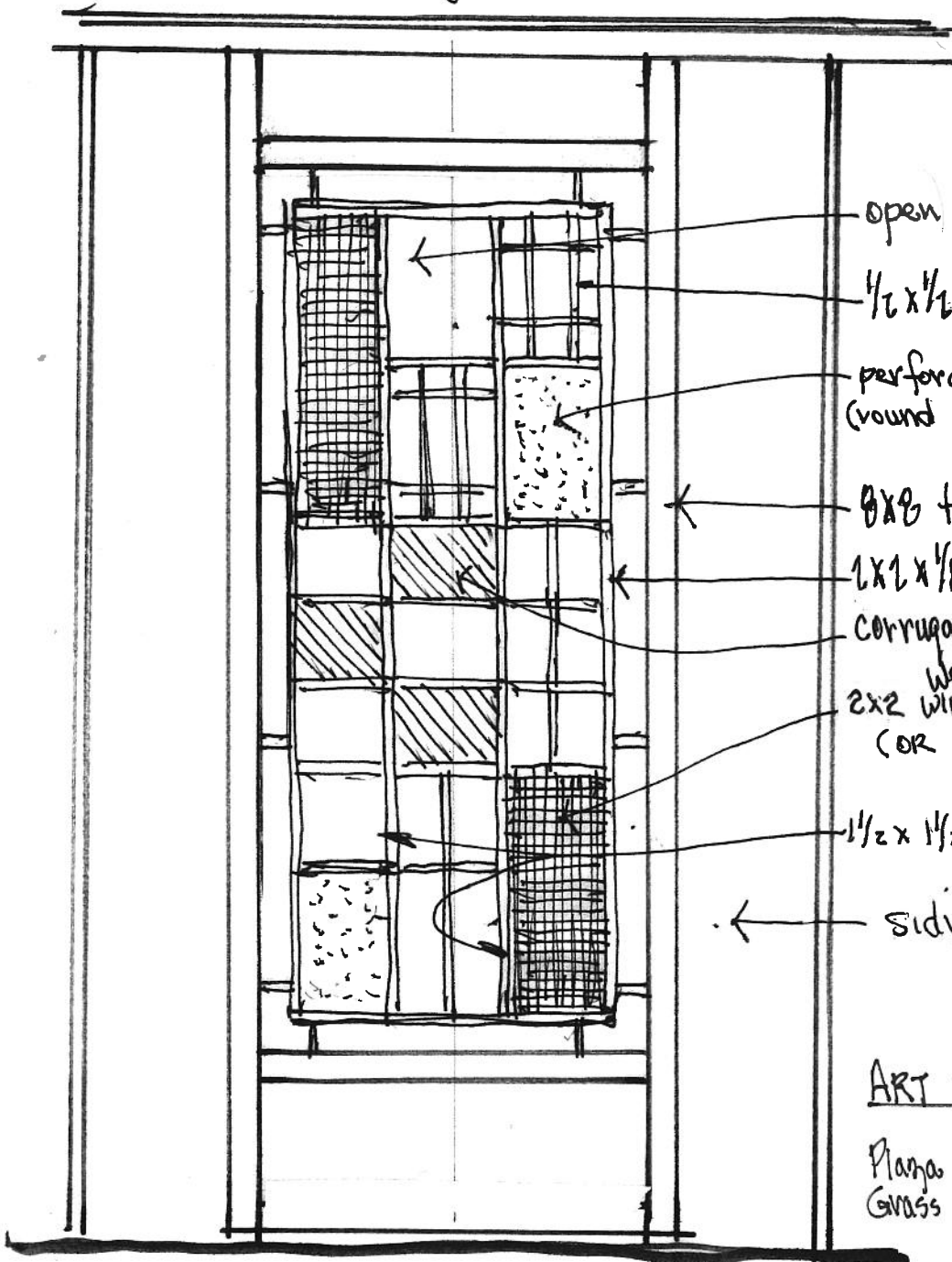


PLEASE NOTE: *†This material is batch sensitive and directional. Do not mix batches or coil lots. Premium Colors. Slightly higher prices. Colors represented on this chart may not exactly match actual material. All colors should be verified using actual metal samples.*





Roofing



open panels

1/2 x 1/2 steel tubing

perforated metal
(round hole patterns)

8x8 trim

1x1 x 1/8 steel tubing

corrugated stl. siding (diagonal)

2x2 welded
wire mesh
(OR 1x1)

1 1/2 x 1 1/2 x 1/8 steel tubing

siding

ART SCULPTURE

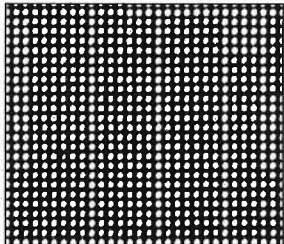
Plaza Drive
Grass Valley, Ca.

Perforated Metal

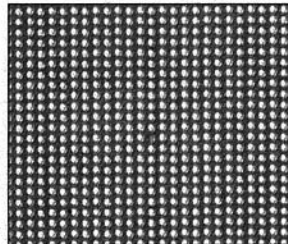
Round Hole Patterns

Stock list p. 3 shows product availability.

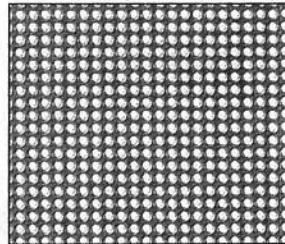
All available patterns are not shown—please consult a Customer Service Specialist for more details.



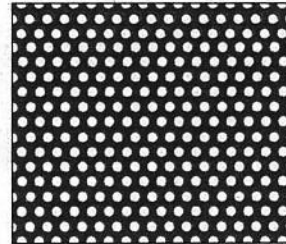
.027" Dia. .050" Str. Ctrs.
400 HPSI 23% O/A



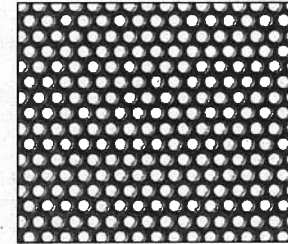
.033" Dia. .055" Str. Ctrs.
331 HPSI 28% O/A



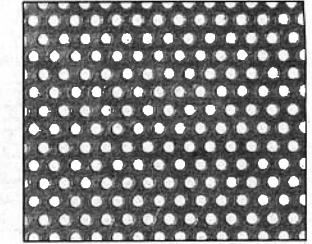
.045" Dia. .066" Str. Ctrs.
230 HPSI 36% O/A



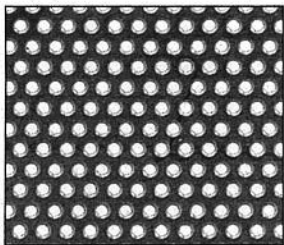
.045" Dia. .088" Stg. Ctrs.
172 HPSI 24% O/A



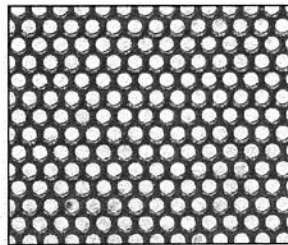
1/16" Dia. 3/32" Stg. Ctrs.
132 HPSI 41% O/A



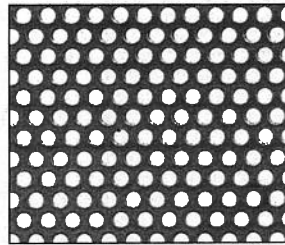
1/16" Dia. 7/64" Stg. Ctrs.
96 HPSI 30% O/A



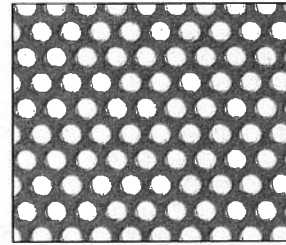
1/16" Dia. 1/8" Stg. Ctrs.
75 HPSI 23% O/A



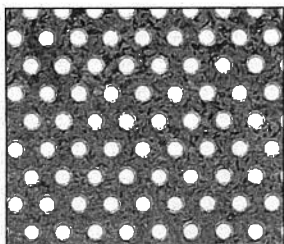
5/64" Dia. 7/64" Stg. Ctrs.
96 HPSI 46% O/A



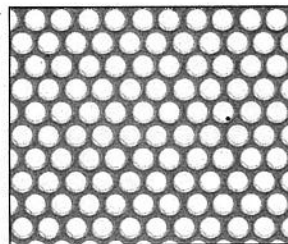
5/64" Dia. 1/8" Stg. Ctrs.
75 HPSI 36% O/A



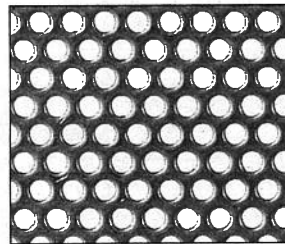
3/32" Dia. 5/32" Stg. Ctrs.
47 HPSI 33% O/A



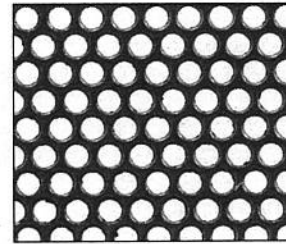
3/32" Dia. 3/16" Stg. Ctrs.
33 HPSI 23% O/A



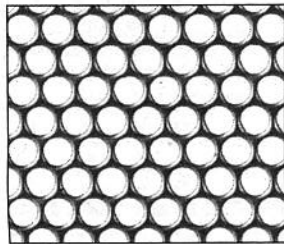
.117" Dia. 5/32" Stg. Ctrs.
38 HPSI 51% O/A



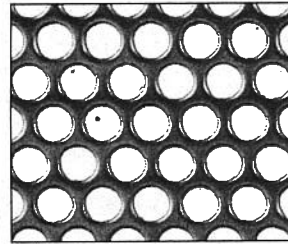
1/8" Dia. 3/16" Stg. Ctrs.
33 HPSI 40% O/A



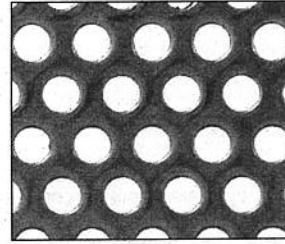
9/64" Dia. 3/16" Stg. Ctrs.
33 HPSI 51% O/A



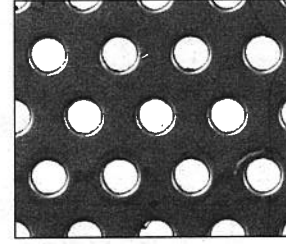
5/32" Dia. 3/16" Stg. Ctrs.
32 HPSI 63% O/A



3/16" Dia. 1/4" Stg. Ctrs.
18.5 Holes PSI 50% O/A



3/16" Dia. 5/16" Stg. Ctrs.
12 HPSI 33% O/A



3/16" Dia. 3/8" Stg. Ctrs.
8 HPSI 23% O/A

Flex Angle. Slotted Angle System

CONSTRUCTION: Slotted Angle—Holes are punched after material has been galvanized

MATERIAL: Pre-Galvanized Steel (with zinc coating thickness of at least .001")

SIZES: 1-1/2" x 1-1/2", 2-1/4" or 3"

PACKAGE: 10 lengths of angle, 75 nuts and bolts

Catalog Number	Ga.	Outside Dimensions x Length	Feet/ Pkg.	Ship Wt.
SA-14-100-PG	14	.080 x 1-1/2" x 1-1/2" x 10'	100 ft.	78#
SA-14-120-PG	14	.080 x 1-1/2" x 1-1/2" x 12'	120 ft.	95#
10F-14-100-PG	14	.080 x 1-1/2" x 2-1/4" x 10'	100 ft.	95#
12F-14-120-PG	12	.104 x 1-1/2" x 3" x 12'	120 ft.	162#
12F-12-120-PG	14	.080 x 1-1/2" x 2-1/4" x 12'	120 ft.	113#

Wire Cloth Welded

APPLICATIONS

- Security Guards
- Pallets/Bins
- Screens/Grilles
- Suspended Ceilings
- Machine Guards
- Fencing/Gates
- Lockers
- Balustrading
- Catwalk Guards
- Safety Barriers
- Racking/Shelving
- Containers
- Stairway Guards
- Screened Partitions

Material/Gauges:

Plain Steel—Gauges Greater than .156

Plain Steel—Copper Washed Finish available gauges: .156 and lighter

Hot Dip Galvanized—Smooth Finish

Stainless Steel Type 304 by special order

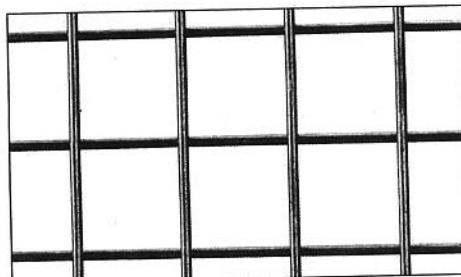
Standard Panels or Cut-to-size

(Edge condition must be clarified for cut-to-size or non-standard panel orders.)

Weldmesh® STEEL GA.	PRODUCT MESH	DETAILS #/SF
.188	3" x 3"	0.80
	2" x 2"	1.18
.185	2" x 2"	1.13
.159	2" x 2"	0.84
.156	2" x 2"	0.80
.135	2" x 2"	0.63
.118	2" x 2"	0.53
	2" x 1"	0.70
	1" x 1"	1.00
.097	2" x 2"	0.30
	1" x 1"	0.60
.080	1" x 1"	0.42
.063	1/2" x 1"	0.40
	2" x 2"	0.63
.041	2" x 2"	0.22

Hot dip galvanizing can increase the wire diameter thickness by 3-4 thousands of an inch.

Weldmesh®



This is a sample of welded wire cloth.

High Strength

Flush Edge Finish

Solid Construction

Easy Handling

Easy Cutting

Weldmesh® is one of the most versatile of all Wire Cloth products. Weldmesh® is a welded steel wire mesh manufactured from bright drawn mild steel wire, electrically welded at all intersections. It is produced with a copper washed finish and can be hot dip galvanized after manufacture. Because it's welded, it can be cut or bent to the shape required without the wires falling apart and forms its own selvaige when cut flush.

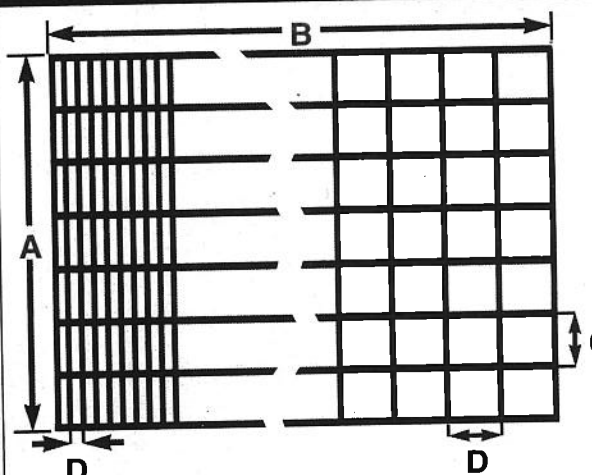
Weldmesh® is available in panels in a variety of wire diameters and meshes up to 3".

The physical properties of the wires used are rigidly controlled to produce a welded mesh which has a maximum weld strength. Please call us for product assistance!

Please see diagram at top left in the How to Order section. The Diagram shows a finished edge on all four sides of a standard panel.

Note: for cut-to-size or non-standard panel sizes, there may be stubs on one or more sides.

HOW TO ORDER/SPECIFY



Rectangular Mesh Shown Above

Square Mesh Shown Above

A = Panel Width
B = Panel Length

C = Mesh Size on Width (center to center of wire)
D = Mesh Size on Length (center to center of wire)

McNICHOLS® Welded Wire Cloth should be specified as "Trimmed" or "Untrimmed" and stub options required. Please see the following examples for assistance in specifying or ordering welded wire cloth.

Note: Please specify if clear opening is required instead of mesh. For cut-to-size or non-standard panel sizes, there may be stubs on one or more sides.

Example of: "Trimmed"

Stub Option: Minimum on all four sides—approximately 1/16"-1/8" long. Trimmed flush (no stubs) must be specified when required.

Example of: "Untrimmed Balanced Stubs"

Stub Option: Equal stubs on opposite sides only. Stubs will not exceed opening unless specified.

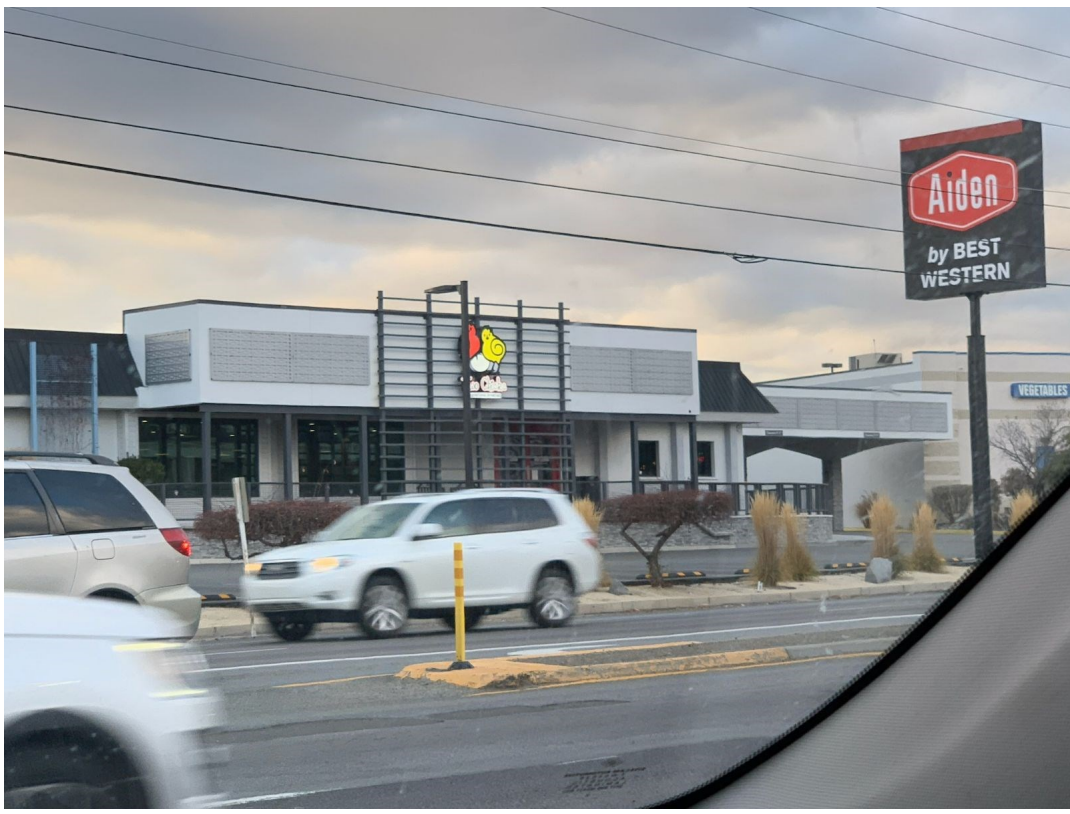
Example of: "Balanced Stubs with Edge Wire"

Stub Option: Equal stubs on opposite sides with welded edge wire.

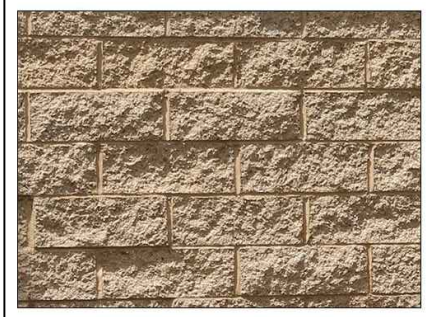

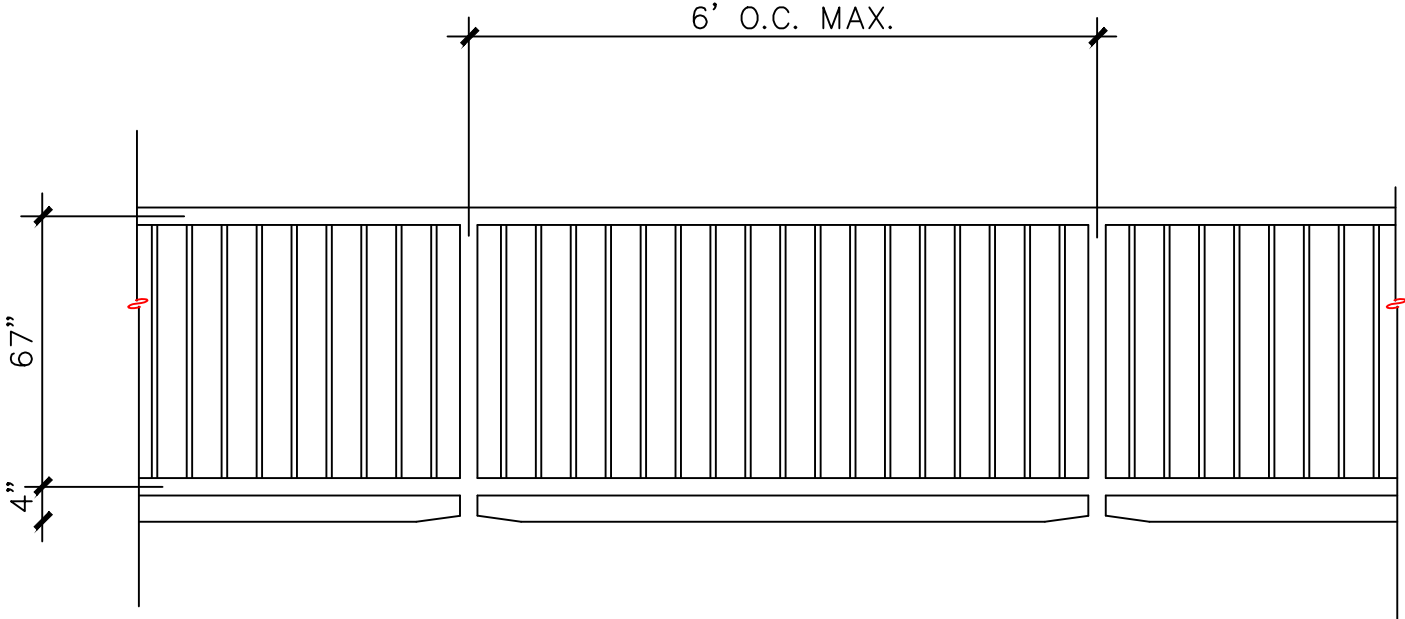
Example of: "Untrimmed Random Stubs"

Stub Option: Varies on all four sides. Results from shearing a larger sheet, pieces will not be identical.

Examples of similar decorative metal features



GRASS VALLEY HOTEL

RETAINING WALL	SPLIT FACE BLOCK TAN	
	SMOOTH FACE BLOCK TAN (OPTIONAL)	
6' HIGH PERIMETER FENCE (ALONG PROPERTY LINE)		

GRASS VALLEY HOTEL
961 PLAZA DRIVE, GRASS VALLEY
APN: 035-480-039, PLACER COUNTY



CITY OF GRASS VALLEY
Community Development Department
Thomas Last, Community Development Director

125 East Main Street
Grass Valley, CA 95945

Building Division
530-274-4340
Planning Division
530-274-4330
530-274-4399 fax

May 24, 2023

NST Engineering, Inc.
1495 Riverside Drive
Susanville, CA 96130
Attn: Jeff Morrish
(Via email)

RE: Development Review Committee Comments on Tentative Parcel Map and Development Review Permit (22PLN-37) for the division of a ±11.66 acre parcel and construction of three-story ±42,000 square foot/80 room Holiday Inn Express (APN: 35-480-039).

Dear Mr. Morrish,

At its meeting of May 23, 2023, the Development Review Committee had the following comments on the project noted above.

1. Decorative paving should be added to both the entrance locations on Plaza Drive, at the Porte Coche, and rear patio area. The depth of the decorative paving at the drive isles and Porte Coche should be a minimum of 15 feet.
2. Electric Vehicle parking spaces should also be provided in the parking calculations.
3. The building design shall be completed by a licensed Architect or building design professional pursuant to State law.
4. Architectural detailing in accordance with the Gold Country Architectural Standards and consistent with the City's Community Design Guidelines and recently approved projects in the Brunswick Basin should be added, including, but not limited to:
 - a. The Porte Coche should be more substantial as an entryway feature and include a gable end with heavy timber elements in its design. Note fire department requires a minimum 12-foot drive isle for access along the frontage.
 - b. Vertical and horizontal wall articulation, such as variation in the wall plane, color changes, or material use, should be used to visually divide the building into small sections.
 - c. Siding materials should be extended to the outside edge on all elevations.
 - d. Stucco siding should be reduced and replaced with natural materials on all elevations. Vertical and horizontal siding should be the predominate finish material.

- e. Shed roofs should be added over select windows on the front and rear elevations.
 - f. Varying roof lines, roof types and roof slopes should be provided (e.g. gable, hip, shed roof, 6/12-8/12, etc.) (Note fire department access requirements limits the height of the building to 29 feet 11 inches).
 - g. The rear wall line should be broken up vs. one linear wall line. A Cross Section shall also be provided to illustrate how the rear property line is improved relative to adjoining uses.
 - h. Material/Color Boards shall be provided. Color scheme is not cohesive and should be further refined.
 - i. Graphic renderings shall be better quality and true representation of the building architecture.
5. Additional landscaping should be installed along the rear of the property adjoining single family dwellings to the east. The landscaping should include ground cover, shrubs and decorative trees at 25 foot on center along the entire length of the rear property line. The landscaped buffer should be a minimum of ten-foot between the parking area and the property line; provided that the review authority (i.e. Planning Commission) may reduce this requirement where it determines that the site area is severely constrained.
 6. Additional landscaping should also be provided in the parking lot south and west of the building at a ratio of one tree per 5 parking spaces.
 7. A tree removal plan should be included showing all of the trees to be removed from the site. Preservation of as many trees as possible along the east property line is recommended.
 8. The trash enclosure shall not be placed within twenty feet of abutting residential properties. Enclosures shall also be located remotely from project entrances, building entrances, public view corridors and main circulation paths.
 9. The trash enclosure shall incorporate metal doors into the design. Enclosure finishes should match the building in color and texture and shall include a minimum three-foot landscape buffer on all non-accessible sides.
 10. Parking lot pole lighting should not exceed 20 feet in height. Building lighting should consist of gooseneck lighting or equivalent.
 11. To separate commercial from residential land uses, a 6-foot-tall CMU retaining wall is required along the eastern property line.
 12. Sight distance exhibits shall be provided for the driveways.
 13. An oil/sand separator shall be installed in the parking lot.

If you have any questions, please contact me at (530) 274-4712 or lancel@cityofgrassvalley.com

I thank you for your time and consideration in this matter.

Sincerely,


Lance E. Lowe, AICP
Principal Planner