



GRASS VALLEY

Development Review Committee Meeting

Tuesday, March 14, 2023 at 9:00 AM

Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California

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AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

MEETING NOTICE

Development Review Committee welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 9:00 a.m. on the 2nd and 4th Tuesday of each month. Your interest is encouraged and appreciated. Meetings can be watched lived on The City of Grass Valley Youtube Channel under live streams.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 9 am. Comments received after that will be addressed during the item and/or at the end of the meeting. The committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Committee after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

REGISTRATION FOR VIRTUAL MEETING

<https://us06web.zoom.us/meeting/register/tZlpc-ypqDgiHdOHtoD5p55zN18znEnQn77r> (Please note that to register for the virtual meeting you will be required to provide an email address. If you wish to participate in the meeting without providing an email address, you may attend the meeting in person at 125 East Main Street, Grass Valley, CA 95945 in the Council Chambers.)

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS, AGENDA REVIEW AND CHANGES

PUBLIC COMMENT - *Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. There is a time limitation of three minutes per person. For items not on the agenda and within the jurisdiction or interest of the City, please address the Development Review Committee at this time. For items on the agenda please address the Development Review Committee when the number and subject matter are announced. Comments will be reviewed and distributed before the meeting if received by 9AM. Comments received after that will be addressed during the item and/or at the end of the meeting. The Development Review Committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.*

GENERAL APPLICATION FOR REVIEW

- 1.** **Development Review and Use Permits (21PLN-58)** for the redevelopment of the Mobil Gas Station and Gold Rush Car Wash properties including a ±4,000 sq ft fueling canopy, ±3,200 sq ft convenience store, ±1,740 sq ft restaurant with drive-through and ±2,400 sq ft express car wash drive-through. Location: 1912 and 1924 Nevada City Highway/035-300-007 & 035-300-050. Environmental Status: Categorical Exemptions. **Recommendation:** 1. The Development Review Committee review and comment on the project and recommended Conditions of Approval and direct the applicant to revise the plans, based upon the DRC's comments, and bring back the project for further DRC consideration. 2. Alternatively, the Development Review Committee recommend that the Planning Commission approve the Mobil Gas Station redevelopment project as presented, or as modified by the Development Review Committee, which includes the following actions: a. Determine the project Categorically Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines; b. Adoption of Findings of Fact for approval of the Mobil Gas Station Redevelopment Project as presented in the Staff Report; and, c. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report.
- 2.** **Development Review (23PLN-06)** to convert a temporary outdoor patio cover and seating area into a permanent structure within the parking lot of Maria's Restaurant. Location: 226 East Main Street/008-350-030. Environmental Status: Categorical Exemption **Recommendation:** Staff recommends the Development Review Committee approve the project subject to the findings and conditions listed in this report.

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a meeting of a Development Review Committee Meeting, scheduled for Tuesday, March 14, 2023 at 9:00 AM was posted at city hall, easily accessible to the public, as of 5:00 p.m. Thursday, March 9, 2023.

Taylor Day, City Clerk



**DEVELOPMENT REVIEW COMMITTEE
STAFF REPORT
March 14, 2023**

Prepared by: Lance E. Lowe, AICP, Principal Planner
Reviewed by: Thomas Last, Community Development Director

DATA SUMMARY:

Application Number: 21PLN-58
Subject: Development Review and Use Permits for the redevelopment of the Mobil Gas Station and Gold Rush Car Wash properties including a ±4,000 sq ft fueling canopy, ±3,200 sq ft convenience store, ±1,740 sq ft restaurant with drive-through and ±2,400 sq ft express car wash drive-through.
Location/APNs: 1912 and 1924 Nevada City Highway/035-300-007 & 035-300-050
Applicant: Zaman Hamim, Boulevard Construction
Zoning/General Plan: Central Business (C-2) Zone/Commercial
Entitlements: Development Review & Use Permits
Environmental Status: Categorical Exemptions

RECOMMENDATION:

1. The Development Review Committee review and comment on the project and recommended Conditions of Approval and direct the applicant to revise the plans, based upon the DRC's comments, and bring back the project for further DRC consideration.

2. Alternatively, the Development Review Committee recommend that the Planning Commission approve the Mobil Gas Station redevelopment project as presented, or as modified by the Development Review Committee, which includes the following actions:
 - a. Determine the project Categorical Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines;

 - b. Adoption of Findings of Fact for approval of the Mobil Gas Station Redevelopment Project as presented in the Staff Report; and,

 - c. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report.

BACKGROUND:

The Mobile Gas Station and adjoining Gold Country Car Wash properties consists of ±1.29 acres. Existing improvements include a ±3,600 sq. ft. Mobil Gas Station, including a ±3,600

sq. ft. fueling canopy, ±2,400 sq. ft. self-serve car wash, ±900 sq. ft. detailing/window tinting shop, and ±100 sq. ft. El Taco Feliz mobile food vendor approved by Limited Term Permit. The two properties combined include ±11,600 sq. ft. of building improvements.

The property also accommodates parking and signage, including a 90-foot-tall pylon sign that is to be removed as part of the redevelopment of the properties.

Across the street on West Olympia Drive, the Olympia Park 76 room Hotel Project was approved with construction anticipated to start in May 2023.

PROJECT DESCRIPTION:

The applicant is requesting a Development Review and Use Permits for redevelopment of the Mobil Gas Station and Gold Rush Car Wash sites. Proposed improvements include the construction of a six pump ±4,000 square foot fueling canopy, ±3,200 sq ft convenience store, ±1,740 sq ft restaurant with drive-through, ±2,400 sq ft express car wash drive-through and ±440 square foot detailing/window tinting shop. Proposed building improvements total ±11,780 square feet.

Redevelopment of the site also includes the requisite parking and landscaping in accordance with City Development Code Standards.

The project plans include the following Development Review Permit (i.e., Design Review) details:

Site Plan – Redevelopment of the ±1.29-acre site includes the complete and/or partial demolition of the existing improvements and Lot Merger resulting in one ±1.29-acre parcel with the following improvements:

The ±4,940 square foot convenience store/restaurant building is located at the northwest center of the property ±22 and ±60 feet respectively from the side and rear property lines. The building is setback ±100 feet from the front property line along Nevada City Highway.

The fueling canopy is to be enlarged from ±3,600 to ±4,000 square feet with setbacks of ±45 and ±10 feet from the building and Nevada City Highway respectively.

The ±2,400 square foot express car wash is located ±20 and ±50 from the east and front property lines. The building is ±40 feet from the convenience store building.

The ±440 square foot detail shop/window tinting shop is in the rear of the property ±10 feet from West Olympia Drive and adjoining the drive-through.

Access, Parking & Circulation – The subject property is located at the junction of Nevada City Highway, Brunswick Road, and West Olympia Drive. The former are east/west and north/south arterials in the Brunswick Basin. The latter is a local street serving single family residential to the north.

Nevada City Highway is a four-lane roadway with two center left turn lanes within an approximate 100-foot right-of-way. The road includes curb, gutter and sidewalk on both sides of the street. The driveway on Nevada City Highway closest to the intersection will be removed. The three driveways on Nevada City Highway and West Olympia Drive will remain and be improved to City Commercial Driveway Standards. The driveways on Nevada City Highway also include decorative paving.

No new roadway improvements of Nevada City Highway are proposed along the property frontage. Improvements to West Olympia Drive are to be completed with the Olympia Park Hotel Project with construction to start tentatively in May 2023.

Parking – A total of 32 parking spaces, including two accessible and two clear air/van pool parking spaces are proposed. The parking space total includes 12 parking spaces at the fueling pumps. The parking space dimensions are 9 feet by 18 feet with drive isles and backing distances of 24 to 26 feet. The required parking calculations are as follows:

Building/Use	Standard	Parking Required
1,760 sq. ft. restaurant with drive-through	1 space per 60 feet of dining area with ± 300 square feet of dining area proposed.	$300/60= 5$
3,200 sq ft. Convenience Store	1 space per 250 sq. ft. of floor area	$3200/250=12.8=13$
2,400 sq. ft. express car wash	4 spaces for each bay, plus spaces for office.	(1 bay +1 for office)=5 spaces
440 sq. ft. detail/window tinting shop	1 space for employee and 1 space for patron	2 spaces
	Total:	25 spaces

A bike rack is located at the west end of the parking lot adjoining the drive-through.

Grading/Retaining Walls – The property slopes from front to rear with elevations differences of ± 22 feet. Grades vary from 2,632 at the front of the property to 2,654 at the rear of the property. Except for the rear of the property adjoining the convenience store, the property is relatively flat, graded and paved. The rear foundation of the convenience store includes the existing ± 3 -foot CMU retaining wall to accommodate the grade differential from rear to front.

Landscaping – A landscaping plan is provided with the project plans (Sheet L1) showing the planted areas within the project site. A landscape planter 10-feet in width is proposed at the West Olympia Drive/Nevada City Highway intersection. The front planter is reduced to 5 feet in width adjoining the fueling canopy and widens at the driveway along Nevada

City Highway. In addition, a 5 – 6-foot planter is proposed along the east property line with a 9-foot planter along the rear of the property. The planter along West Olympia Drive varies in width from 9 to 25-feet and includes existing trees to be preserved.

The proposed landscaping consists of a combination of grasses/shrubs/perennials, shade, and ornamental trees (Pacific Sunset Maple, Incense Cedar, October Glory Rad Maple, Japanese Maple, Dwarf Yaupon Holly, Howard McMinn Vine Hill Manzanita, Fortnight Lily, Emerald Carpet Manzanita and Creeping Sage). Total landscaped area represents $\pm 8,131$ square feet or 14% of the ± 1.29 -acre site.

Architectural Design – The proposed $\pm 4,940$ square foot convenience store/restaurant consists of a single-story building with setbacks and heights consistent the Central Business (C-2) Zone. The proposed building design is similar to buildings in the area, with compatible materials and architectural features. Architectural design elements include, but are not limited to:

Convenience Store:

- Cement plaster walls;
- Heavy timber elements at the entryway with wood trellis elements at each end of the building;
- Two store front entryways with large windows on the front façade;
- Metal shed canopy roofs at either side of the entryway;
- Varying wall lines with Montana Dry Stack Stone panels on the south, east and west elevations;
- Trellis architectural elements on east and west facades;
- CMU wainscoting on the north, east and west elevations;
- Gable roof at entryway with parapet around perimeter;
- Seamless Metal roofing; and,
- Colors are Behr Native Soil, Red Chipotel and Antique Treasure.

Fueling Canopy:

- 4-foot fascia with hipped roof;
- 3-1 foot 8 inch posts wrapped with Montana Dry State Stone 12-feet in height; and,
- Colors are Chevron colors of high gloss blue and silver.

Drive-Through:

- Cement plaster walls;
- Heavy timber elements at entryway;
- Windows on second story fronting Nevada City Highway;
- Windows on lower and second story on east elevation;
- Windows and CMU wall with Montana Dry Stack Stone on corners;
- Seamless Metal roofing.
- Colors are Behr Native Soil, Red Chipotel and Antique Treasure.

Lighting – Lighting for the project site will be achieved by a combination of LED fixtures including area lighting fixtures and exterior wall pack fixtures on the building facades. Area and Parking Lot lighting is spaced throughout the site with light poles not exceeding ±15 feet in height. Exterior wall lighting fixtures are located at building entryways along the north and east elevations. All light fixtures will have light shields.

A photometric plan has also been prepared together with the building plans to show the type of fixture and foot-candle in accordance with City of Grass Valley Standards. The photometric plan is generally consistent with the City's Community Design Guidelines with respect to light intensity and spillover onto adjoining properties (See Sheet CE – 1.0).

Trash Enclosure – A trash enclosure is proposed at the west end of the site adjacent to the drive-through exit. The trash enclosure materials include CMU with metal gates. The colors will match the proposed building colors. Landscaping is proposed on all non-accessible sides.

Signage – The 90-foot pylon sign will be removed. The existing electronic monument sign is to be relocated, within the planter, further back from West Olympian Drive/Nevada City Highway intersection.

The wall signage consists of a small sign above the convenience store door. Additional Chevron signage is proposed on the fueling canopy fascia.

No drive-through signage is shown on the plans.

Drainage – The property drains from north to south with a proposed drainage inlet located at the southwest corner of the property. Drainage systems will be required to convey 24-hour storms events and mitigate any potential runoff increases as outlined in the City of Grass Valley Standards.

Fencing – A proposed 6-foot-high fence for screening of the residential property adjoining is the rear property line is proposed. An existing chain-link fence is located between the driveway and McDonald's Drive-through. This fence is proposed to be maintained without upgrade.

Utilities – A proposed propane tank is located at the corner of West Olympia Drive/Nevada City Highway.

Use Permit – A Use Permit is required for Vehicle Services, including car washes and facilities. The City's Development Code permits a Drive-through in the C-2 Zone contingent upon approval of a Use Permit by the Planning Commission subject to the Development Standards contained in Section 17.44.090 A – D and noted below.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The ±1.29-acre site is fully developed with a Mobile Gas Station, Self-serve car wash, car detailing/window tinting and mobile food vendor. Except for trees along West Olympia Drive and in the rear of the property, the entire site is developed with improvements. (**Attachment 3 – Site Photographs**).

ENVIRONMENTAL DETERMINATION:

The project qualifies for Class 2, Class 3, and Class 32 Categorical Exemptions. A Class 2 consists of the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced, including but not limited to: (b) Replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.

A Class 3 Categorical Exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures. Examples include: (c) A restaurant or similar structure not involving the use of significant amount of hazardous substances, and not exceeding 2,500 square feet in floor area.

A Class 32 consists of projects characterized as in-fill development meeting the following conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) the site is adequately served by all required utilities and public services.

GENERAL PLAN AND ZONING:

General Plan: The project area has a land use designation of Commercial according to the City of Grass Valley 2020 General Plan. The Commercial designation is a broad category intended to encompass all types of retail commercial and commercial service establishments.

Zoning: The property is within the Central Business (C-2) Zone District. The C-2 Zone implements the Commercial General Plan land use designation. Per Table 2-10, Drive-through facilities are permitted subject to the approval of a Use Permit subject to the design standards in Section 17.44.090.

ANALYSIS:

With the recent approval of the West Olympia 76-room Hotel Project at the opposing corner, the project properties constitute one of the last remaining properties in the area to

redevelop. Redevelopment of the project site consistent with the surrounding properties is greatly desired and a vast improvement over the current 1970's site plan and architectural design.

The project plans outline several development improvements consistent with the City's Community Design Guidelines and Development Code. However, staff recommends that further adjustment/upgrade to the project plans is necessary to assure that the site develops in accordance with the Community Design Guidelines and City Development Code.

To date, several iterations of the project plans have occurred with the project based upon staff's comments for completeness of the application. Comments reflecting these reviews have been incorporated into the project plans as requested. In this regard, staff requests the Development Review Committee provide further comment on the project and direct the applicant to make the recommended project modifications and bring back the project at a subsequent DRC meeting for further review. Alternatively, the DRC may recommend the Planning Commission approve the project as conditioned with the appropriate modifications as recommended by the DRC.

Site Plan – With an additional two fueling pumps, a convenience store with restaurant and two drive-throughs, it is staff's opinion that perhaps too many uses may be proposed on the ±1.29-acre site resulting in:

- Vehicle movements are constrained/tight;
- Turning radius for car wash drive-through is severe;
- Two drive-throughs on one ±1.29-acre site may be excessive;
- Parking and vehicle movement conflicts exist.
- Excessive pavement reduces the overall landscaping of the site.

Specific DRC considerations should include eliminating the drive-through for the restaurant and shifting the car wash building to the west so that the turning movements for the car wash are less severe. This would also allow more landscaping of the site with better vehicle movement throughout. In support of this consideration, findings for approval of the drive-through require that the Planning Commission conclude that:

“A drive-through facility shall only be permitted if the review authority first determines that the design and operation will avoid congestion...”

Considering the size of the parcel coupled with the proposed uses, it is staff's opinion, that removal of the restaurant drive-through may be needed to avoid site congestion and improve site functionality. Accordingly, Condition of Approval No. A – 3 requires that the proposed restaurant drive-through be removed from the project. In turn, the car wash building can be located further west to reduce the turning movements of the car wash drive-through. Moreover, the drive isle between the convenience store and car wash may

provide for two-way traffic. The site amendments shall be to the satisfaction of the City Engineer and Community Development Director.

Architectural Elevations – Condition of Approval A – 4 requires the following architectural elements shall be incorporated into the project plans:

- a. On the east and west elevations, the Montana Dry Stack Wall Panels shall be increased on height and terminate at the parapet;
- b. The trellises on the east elevation shall be centered between the panels;
- c. To break up the stucco on all elevations, vertical or horizontal Hardi-board siding shall be added to all elevations.

Landscaping – Landscape Planters of 10 and 6 feet are required at the front, sides, and rear of the property respectively. The review authority (i.e., Planning Commission) may reduce the planter width due to site constraints.

In accordance with Section 17.34.030 D1 of the City's landscape ordinance, a minimum of 10 percent of the parking lot shall be in landscaping. In addition, at a minimum, one shade tree shall be planted for every five parking spaces. The proposed landscape plan generally complies with the City's Landscape Regulations. Condition of Approval A – 5 requires the landscaping within the development shall be consistent with the landscaping plans submitted. The final landscape plans shall incorporate the following:

- a. An additional planter island shall be added to the southwest end of the parking lot, adjacent to the bike rack.
- b. The trees along the property frontage shall be a species that grows to a height and width so as not to interfere with the fueling canopy.
- c. The landscaping along the rear property line shall be a species and be spaced such that the landscaping fully shields the adjoining residential property.

Conditions of Approval I 3 & 4 requires the final landscaping to comply with the State's Model Water Efficiency Landscape Ordinance.

Trash Enclosure – A trash enclosure is proposed to be located at the west end of the site adjoining the drive-through exit. The trash enclosure details are contained on Sheet L – 1. The materials of the trash enclosure include split face CMU with metal doors. All non-accessible sides are landscaped. The trash enclosure colors will match the proposed building colors.

Lighting – Lighting fixtures consist of parking lot lighting and building wall lamps. Parking lot lighting consists of Madadam District Post Top Style Luminaire Poles ±15 feet in height. Condition of Approval A – 7 requires the height of the parking lot light fixtures shall not exceed 15 feet. Wall pack lighting appears more contemporary than approved with adjacent buildings. The building wall pack fixtures shall be exchanged for gooseneck or equivalent light fixtures. The final design of the light fixtures shall be complementary of the

building architecture to the satisfaction of the Community Development Director. The photometric plan shall be in accordance with Chapter 17.30.060 of the City's Development Code.

Signage – Condition of Approval A – 8 requires that concurrently with demolition of the site improvements, the 90-foot pylon sign shall be removed. The removal shall be completed prior to the issuance of a building permit for the project. The replaced monument sign to contain a veneer base consistent with the building and be up-lighted or back-lighted. The wall signage shall be externally illuminated with individual channel letters with total signage not to exceed 100 square feet for the project. Prior to the installation of the monument or building signage, the applicant shall obtain a sign permit from the Community Development Department.

Fencing – Condition of Approval A – 9 requires the chain-link fence along the eastern property line between the project site and McDonalds Drive-through to be replaced with black metal or similar type fencing. The fencing shall be consistent with the sight visibility triangle. The proposed fence along the rear property line shall be split face CMU or equivalent.

Utilities – Condition of Approval A – 12 requires the propane tank located at the junction of West Olympia Drive and Nevada City Highway shall be relocated away from public view. The final location shall be to the satisfaction of the Community Development Director.

Use Permit – The City's Development Code permits a Drive-through in the C-2 Zone contingent upon approval of a Use Permit approved by the Planning Commission subject to the Development Standards contained in Section 17.44.090 A – D and noted below.

- A. **Design Objectives.** A drive-through facility shall only be permitted if the review authority first determines that the design and operation will avoid congestion, excessive pavement, litter, and noise.

Compliance: Eliminating the restaurant drive-through allows the car wash to be relocated further west thereby reducing the turning movements of the car wash drive-through. The car wash drive-through design and operation are separated from the remaining retail uses and other vehicle barriers.

The two-lane drive-through has also been designed to allow stacking of an estimated 11 vehicles thus avoiding site congestion.

- B. **Limitation on Location.** The drive-through facility shall only be located along a building façade away from a street frontage.

Compliance: The drive-through is located on the east side of the property away from the street frontage of Nevada City Highway in compliance with the City's Design Standard.

C. **On-site circulation standards.** The drive-through facility shall be provided internal circulation and traffic control as follows:

1. **Aisle design.**

- a. The entrance/exit of any drive aisle shall be a minimum of 50 feet from an intersection of public rights-of-way (measured at the closest intersecting curbs) and at least 25 feet from the edge of any driveway on an adjoining parcel.
- b. The drive aisle shall be designed with a minimum of 10-foot interior radius at curves and a minimum 10-foot width.

Compliance: The drive-through ingress/egress is \pm 300 feet from the corner of Nevada City Highway/Brunswick Road and 10 feet from the drive-through egress of McDonalds. However, the driveways are existing driveways to be reconstructed to City Standards.

Relocating the car wash further west will reduce the turning movements in compliance with the City's Development Code.

2. **Stacking area.** A clearly identified area shall be provided for vehicles waiting for drive-up or drive-through service that is physically separated from other on-site traffic circulations.

- a. The stacking area shall accommodate a minimum of three cars for each drive-up or drive through window in addition to the vehicle received service.
- b. The stacking area shall be located at and before the service window (e.g., pharmacy, teller, etc.).
- c. Separation of the stacking area from the other traffic shall be by concrete curbing or paint striping on at least one side of the lane.
- d. Stacking areas adjacent and parallel to streets or public rights-of-ways shall be prohibited.

Compliance: The drive-through design more than meets the City's minimum car stacking requirements. The layout design of the drive-through is consistent with the above noted standards as shown on the project plans.

3. **Walkways.** An on-site pedestrian walkway shall not intersect a drive-through aisle.

Compliance: With elimination of the restaurant drive-through, no pedestrian walkways will intersect a drive-isle.

4. **Visual buffer.** The drive-through aisle shall be screened from the sidewalk or street with landscaping or walls and berms.

Compliance: The drive-throughs are designed so that the drive-ises are perpendicular to the street, thereby reducing the visual impact of car stacking areas.

- D. **Signs.** Each entrance to, and exit from, a drive-through aisle shall be clearly marked to show the direction of traffic flow by signs and pavement markings or raised curbs. Signage shall also be provided to indicate whether the drive-through facility is open or closed.

Compliance: Condition of Approval No. A – 13 has been imposed to require signage for the drive-through.

ATTACHMENTS:

Attachment 1 – Vicinity Map

Attachment 2 – Aerial Photograph

Attachment 3 – Site Photographs

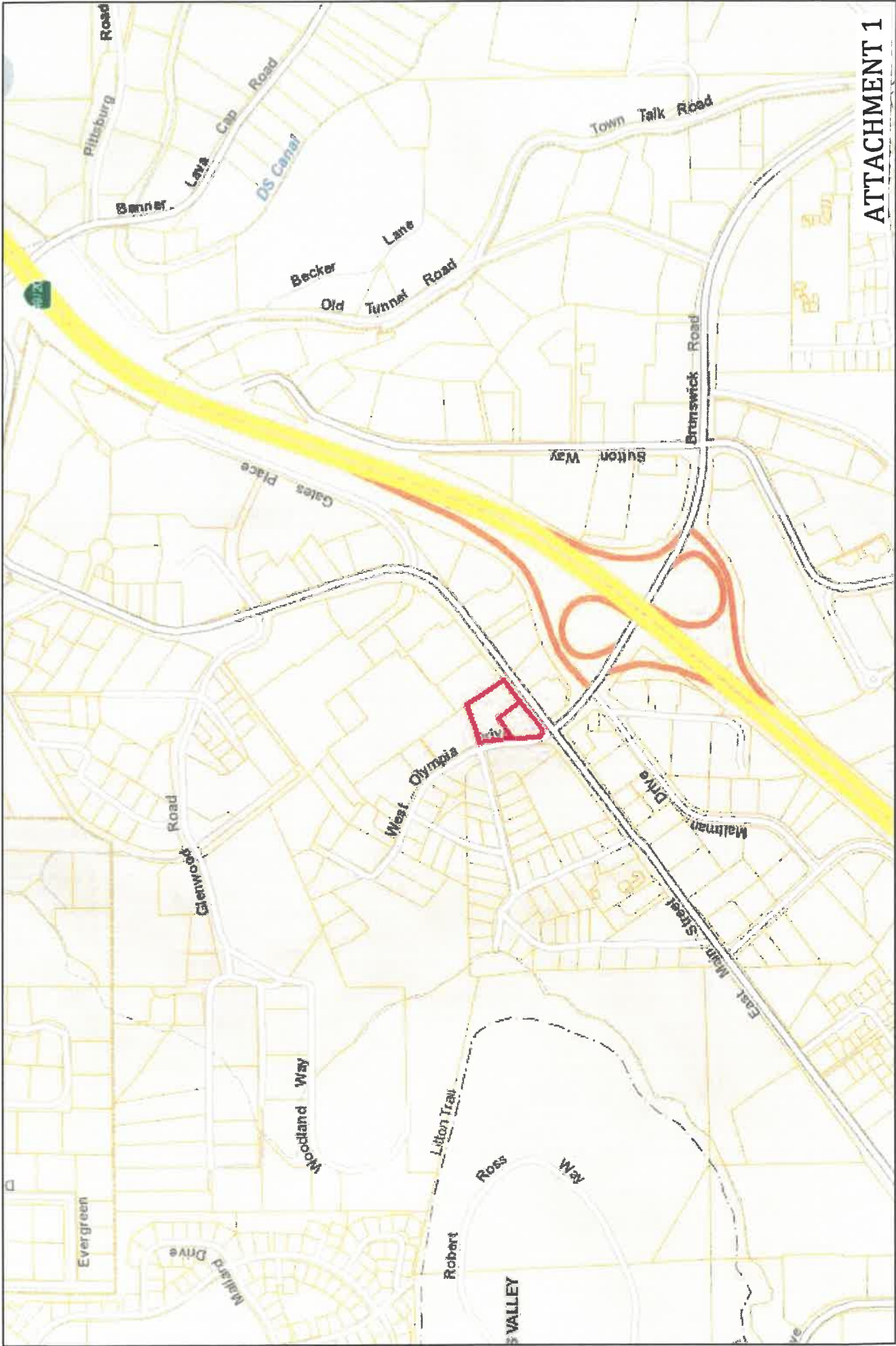
Attachment 4 – Findings and Conditions of Approval

Attachment 5 – Project Plans dated December 14, 2022

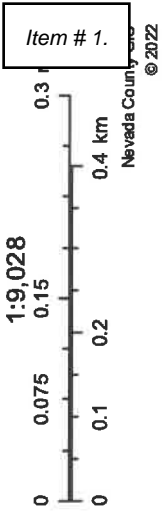
ATTACHMENTS



1912 & 1924 Nevada City Highway



ATTACHMENT 1



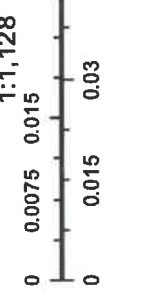
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1912 & 1924 Nevada City Highway



ATTACHMENT 2

Item # 1.



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ATTACHMENT

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

FINDINGS:

In accordance with Sections 17.81.060 and 17.72.030 and of the Development Code the Planning Commission is required to make specific findings before it approves a Development Review and Use Permits.

1. The City received a complete application for Development Review Application 21PLN-58.
2. The Community Development Department determined the project qualifies for Categorical Exemptions as the appropriate environmental review in accordance with the California Environmental Quality Act (CEQA).
3. The Grass Valley Development Review Committee reviewed the application at its regularly scheduled meeting on March 14, 2023.
4. The Planning Commission has considered the recommendations of the Development Review Committee, including the determination that the project qualifies for Categorical Exemptions.
5. The project is consistent with the applicable sections and development standards in the Development Code.
6. The project, as conditioned, complies with the City of Grass Valley Community Design Guidelines.
7. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
8. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.

A. GENERAL CONDITIONS:

1. The approval date for this project is April 18, 2023. The Development Review and Use Permit are approved for a period of 1 year for the Design Review Permit and shall expire on April 18, 2024, unless the project has been effectuated (i.e. building permit has been obtained) or the applicant requests a time extension that is approved by the Grass Valley Planning Commission pursuant to the Development Code.
2. The project shall be constructed in accordance with the plans approved by the Planning Commission for Development Review Permit 21PLN-58 unless changes are approved by the Planning Commission prior to commencing such changes. Minor design changes may be approved by the Community Development Department as determined appropriate by the Community Development Director.

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

Major changes, as determined by the Community Development Director, shall be approved by the Planning Commission.

3. The proposed restaurant drive-through shall be removed from the project. In turn, the car wash building shall be located further west to reduce the turning movements of the car wash. Moreover, the drive isle between the convenience store and car wash shall provide for two-way traffic. The site amendments shall be to the satisfaction of the City Engineer and Community Development Director.
4. The following architectural elements shall be incorporated into the project plans:
 - a. On the east and west elevations, the Montana Dry Stack Wall Panels shall be increased on height and terminate at the parapet;
 - b. The trellises on the east elevation shall be centered between the panels;
 - c. To break up the stucco on all elevations, vertical or horizontal Hardi-board siding shall be added to all elevations.
5. The landscaping within the development shall be consistent with the landscaping plans submitted. The final landscape plans shall incorporate the following:
 - a. An additional planter island shall be added to the southwest end of the parking lot, adjacent to the bike rack.
 - b. The trees along the property frontage shall be a species that grows to a height and width so as not to interfere with the fueling canopy.
 - c. The landscaping along the rear property line shall be a species and be spaced such that the landscaping fully shields the adjoining residential property.
6. The trash enclosure materials will consist of split face CMU with solid metal doors. Landscaping will be planted on all non-accessible sides. The colors will match the proposed building colors.
7. The height of the parking lot light fixtures shall not exceed 15 feet. The building wall pack fixtures shall be exchanged for gooseneck or equivalent light fixtures. The final design of the light fixtures shall be complementary of the building architecture to the satisfaction of the Community Development Director. The photometric plan shall be in accordance with Chapter 17.30.060 of the City's Development Code.
8. Concurrently with demolition of the site improvements, the 90-foot pylon sign shall be removed. The removal shall be completed prior to the issuance of a building permit for the project. The replaced monument sign to contain a veneer base consistent with the building and be up-lighted or back-lighted. The wall signage shall be externally illuminated with individual channel letters with total signage not to exceed 100 square feet for the project. Prior to the installation of the monument or building signage, the applicant shall obtain a sign permit from the Community Development Department.

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

9. The chain-link fence along the eastern property line between the project site and McDonalds Drive-through shall be replaced with black metal or similar type fencing. The fencing shall be consistent with the sight visibility triangle. The proposed fence along the rear property line shall be split face CMU or equivalent.
10. All trash and storage areas, mechanical equipment, and all other building appurtenances (i.e. utility meters, electrical boxes, air conditioners, fire sprinkler backflow valves, etc.) shall be screened from public view and adjacent properties. Details shall be shown on the final construction and/or improvement plans. All screening materials shall be consistent with the main building materials and colors. Roof-mounted screens and vents shall be compatible with the final roof materials and colors.
11. Energy efficient LED lighting and high efficiency HVAC and appliances shall be used for the project.
12. The propane tank located at the junction of W Olympia Drive and Nevada City Highway shall be relocated away from public view. The final location shall be to the satisfaction of the Community Development Director.
13. Each entrance to, and exit from, a drive-through aisle shall be clearly marked to show the direction of traffic flow by signs and pavement markings or raised curbs. Signage shall also be provided to indicate whether the drive-through facility is open or closed.
14. Prior to construction, the applicant shall obtain the requisite building, plumbing, mechanical and electrical permits from the building division, in compliance with the California Codes.
15. The applicant shall pay all City impact fees prior to issuance of a grading and/or building permit or issuance of a Certificate of Occupancy, as applicable.
16. With five (5) days of approval of the project, the applicant shall record the Notice of Exemption (NOE) with the Nevada County Clerk/Recorder's Office.
17. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

B. PRIOR TO ISSUANCE OF GRADING PERMIT, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. The existing driveway closest to the corner on Nevada City Highway shall be removed as shown on the drawings.
2. The two existing driveways shall be constructed to new commercial driveway

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

standards per City Standard Detail ST-9.

3. All sidewalk fronting the property with cracks greater than ¼ inch in width and ½ or more in vertical displacement shall be replaced.
4. The construction of a curb ramp that will lead pedestrian traffic directly across Olympia Park Circle is required. The recently approved project for the West Olympia Hotel includes the installation of a curb ramp and sidewalk along the Brunswick frontage of the property. Therefore, the installation of a curb ramp on this corner will eliminate a gap in the pedestrian path of travel from the Fowler Center towards Dorsey on Brunswick.
5. The applicant shall submit to the City Engineer for review and approval, an improvements and grading plan prepared by a Registered Civil Engineer; shall obtain a Grading Permit; and shall pay all appropriate fees for plan check and inspection. The grading and improvement plans shall include but not be limited to roadway/driveway/parking lot slopes and elevations, curb, gutters, sidewalks, striping and signing, paving, water and sewer pipelines, storm drains, street/parking lot lights, accessible access from the sidewalk to the building and from the accessible parking spaces to the building, retaining walls, any necessary alteration of existing utilities, and all easements, in accordance with City Improvement Standards.
6. The project plans shall include the following note:

All trees to be saved shall be enclosed by a construction barrier placed around the dripline zone of the tree. The construction barrier shall consist of four-foot-tall mesh safety fencing in a bright color. The fencing shall be tied to six-foot tall metal poles spaced a maximum of twenty feet apart. Each pole shall be placed with two feet below the surface of the ground.
7. The applicant shall obtain a tree removal permit from the City of Grass Valley Public Works Department.
8. The applicant shall submit to the City Engineer for review and acceptance two copies of a detailed Soils Engineering Report and Engineering Geology Report certified by a Civil Engineer registered in the State of California. In addition to the California Building Code requirements, the report shall specify the pavement structural sections for the proposed roadways in relation to the proposed traffic indexes. The improvements and grading plans shall incorporate the recommendations of the approved Soils Engineering Report and Engineering Geology Report. The project developer shall retain a civil engineer, soils engineer, and engineering geologist to provide professional inspection of the grading operations. If work is observed as not being in compliance with the California Building Code and the approved improvements and grading plans, the discrepancies shall be reported immediately in writing to the permittee, the building official, and the Engineering Division.

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

Item # 1.

9. If any retaining walls or other wall structures equal to or greater than four feet in height (from the base of the footing to the top of the wall) are identified on the grading/improvement plans, the applicant shall:
 - a. Place a note on the grading/improvement plans stating that any walls equal to or greater than four feet in height will require a Building Permit prior to being constructed.
 - b. Submit design calculations for the walls for review and acceptance.
 - c. If the proposed walls are to be constructed against a cut slope that cannot be graded back per the California Building Code, submit:
 - i. A signed and stamped letter from a Licensed Civil Engineer or Geotechnical Engineer identifying a temporary shoring plan and how the cut slopes for the walls will be protected from the weather during construction.
 - ii. A signed and stamped letter from a Licensed Civil Engineer or Geotechnical Engineer stating that a copy of the required OSHA Permit will be supplied to the City prior to any excavation on the site and that a qualified OSHA Approved Inspector or Professional Civil Engineer will:
 - a. be onsite during excavation for and construction of the retaining walls;
 - b. be onsite at least once a day during inclement weather; and
 - c. will submit daily reports to the City.
10. If over 1 acre of disturbed area) The applicant shall submit a Storm Water Pollution Prevention Plan (SWPPP) to the City for acceptance, file a Notice of Intent with the California Water Quality Control Board and comply with all provisions of the Clean Water Act. The applicant shall submit the Waste Discharge Identification (WDID) number, issued by the state, to the Engineering Division.
11. The applicant shall submit to the City Engineer for review and approval, drainage plans and hydrologic and hydraulic calculations in accordance with the City of Grass Valley Improvement Standards and Storm Drainage Master Plan & Criteria.
12. (If creates and/or replaces 5,000 sf. or more of impervious surfaces) Measures must be implemented for site design, source control, runoff reduction, storm water treatment and baseline hydro modification management measures per the City of Grass Valley Design Standards.
13. An Improvement Performance Security shall be submitted (if a subdivision improvement agreement is not in place). The amount of the security shall be for the sum of: 1) 100% of the cost of public improvements necessary to restore the public right of way back to existing conditions or the cost of the public improvements, whichever is less; 2) 10 % of the cost of erosion and sedimentation control necessary to stabilize the site; 3) 10% of the cost of tree replacement; and 4) 100% of the cost to address any features which could cause a hazard to the public or neighboring property owners if left in an incomplete state. The minimum security amount shall be \$500.00. The cost estimate shall be provided to the Engineering Division for

FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)

review and approval as a part of plan submittal. All costs shall include a ten (10) percent contingency.

14. A detailed grading, permanent erosion control and landscaping plan shall be submitted for review and approval by the Engineering Division prior to commencing grading. Erosion control measures shall be implemented in accordance with the approved plans. Any expenses made by the City to enforce the required erosion control measures will be paid by the deposit.

15. (if over 1 acre of disturbance) The applicant shall submit a Dust Mitigation Plan for review and approval by the Northern Sierra Air Quality Management District and City Engineer. Dust mitigation measures shall be implemented in accordance with the approved Dust Mitigation Plan. The dust mitigation plan shall include the following:
 - a. The applicant shall be responsible for ensuring that all adequate dust control measures are implemented in a timely manner during all phases of project development and construction.
 - b. All material excavated, stockpiled, or graded shall be sufficiently watered, treated, or covered to prevent dust from leaving the property boundaries and causing a public nuisance or a violation of an ambient air standard. Watering should occur at least twice daily, with complete site coverage.
 - c. All land clearing, grading, earth moving, or excavation activities on the project shall be suspended as necessary to prevent excessive windblown dust when winds are expected to exceed 20 mph.
 - d. All inactive portions of the development site shall be covered, seeded, or watered until a suitable cover is established. Alternatively, the applicant shall be responsible for applying City approved non-toxic soil stabilizers (according to manufactures specifications) to all inactive construction areas (previously graded areas which remain inactive for 96 hours) in accordance with the local grading ordinance.
 - e. All areas with vehicle traffic shall be watered or have dust palliative applied as necessary for regular stabilization of dust emissions.
 - f. All material transported off-site shall be either sufficiently watered or securely covered to prevent public nuisance.
 - g. Paved streets adjacent to the project shall be swept at the end of each day, or as required to remove excessive accumulations of silt and/or mud which may have resulted from activities at the project site.
 - h. No burning of waste material or vegetation shall take place on-site unless alternatives to burning are deemed infeasible by the District. Alternatives to burning include chipping, mulching or converting to biomass.

16. The improvements and grading plans shall be signed by all other jurisdictional agencies involved (i.e. NID), prior to receiving City Engineer approval.

17. Per the Development Code, the Grading Permit shall expire one (1) year from the effective date of the permit unless an extension is granted by the City Engineer (for up to 180 days).

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

18. The applicant shall submit final landscape and irrigation plans, prepared by a licensed landscape architect, for review and approval by the Planning and Engineering Divisions. Landscaping design shall comply with all provisions of the City's Water Efficient Landscape Ordinance.

C. PRIOR TO INITIATING GRADING AND/OR CONSTRUCTION OF THE SITE IMPROVEMENTS FOR THE PROJECT, THE DEVELOPER SHALL COMPLETE THE FOLLOWING:

1. That prior to any work being conducted within the State, County or City right-of-way, the applicant shall obtain an Encroachment Permit from the appropriate Agency(s).
2. A minimum of forty-eight (48) hours prior to commencement of grading activities, the developer's contractor shall notify both the Community Development Department and Engineering Division of the intent to begin grading operations. Prior to notification, all grade stakes shall be in place identifying limits of all cut and fill activities. After notification, Community Development and Engineering staff shall be provided the opportunity to field review the grading limits to ensure conformity with the approved improvement and grading plans. If differences are noted in the field, grading activities shall be delayed until the issues are resolved.
3. Placement of construction fencing around all trees designated to be preserved in the project.
4. Submit for review and approval by the Fire Department, a Fire Safety Plan.
5. Submittal of two copies to the Engineering Division of the signed improvement/grading plans.

D. DURING CONSTRUCTION, THE FOLLOWING CONDITIONS SHALL APPLY:

1. If prehistoric or historic-period archaeological resources or human remains are encountered during grading or excavation, work shall avoid altering the materials and their context until a qualified professional has evaluated, recorded and determined appropriate treatment of the resource, in consultation with the City. Project personnel shall not collect cultural resources. Cultural resources shall be recorded on DPR 523 historic resource recordation forms. If it is determined that the proposed development could damage a unique archaeological resource, mitigation shall be implemented in accordance with Public Resources Code Section 21083.2 and Section 15126.4 of the CEQA Guidelines, with a preference for preservation in place. If human remains are discovered, mitigation shall be implemented in compliance with CEQA section 15064.5.
2. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Nevada County Environmental Health

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

Item # 1.

Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.

3. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period.
4. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted by the applicant, for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
5. Where trucks may transport excavated material off-site unless the loads are adequately wetted and either covered with tarps or loaded such that the material does not touch the front, back or sides of the cargo compartment at any point less than six inches to the top of the cargo compartment. Also, all excavated material must be properly disposed of in accordance with the City's Standard Specifications.
6. The contractor shall comply with all Occupational Safety & Health Administration (OSHA) requirements.
7. Construction and demolition waste recycling shall occur in accordance with Waste Management requirements.
8. For any public work, the contractor shall comply with all Department of Industrial relations (DIR) requirements including complying with prevailing wage requirements.

E. PRIOR TO RECORDING THE FINAL/PARCEL MAP, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. (If grading/improvements included) A Grading Permit, as described above, shall be issued by the City Engineer and all improvements described on the plans shall be completed or the applicant shall enter into an agreement with the City Engineer to complete the grading and public improvements. Any necessary right-of-way required to complete the improvements will be acquired by the applicant at his/her expense.
2. (if previously issued grading permit) All conditions of approval associated with the Grading Permit and Development Review Application for the project shall be completed or the applicant shall enter into an agreement with the City Engineer to complete the grading and public improvements.

FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)

3. The applicant shall submit to the City Engineer for review and approval a Final/Parcel Map prepared by a Licensed Surveyor, or Registered Civil Engineer licensed to survey in the State of California, in accordance with the City's Subdivision Ordinance No. 180 N.S. and the California Subdivision Map Act; and shall pay all appropriate fees for map check and recording.
4. Prior to recordation of the final/parcel map, the subdivider shall provide to the Engineering Division an acceptable method, such as a property owners association, tenant agreement, and/or CC&R's to maintain the common areas. Common areas can include residential areas, landscape areas, ingress/egress accesses, monitoring wells, roadways and utilities, detention facilities and open space areas not accepted by the City. Documentation may be reviewed by the Community Development Director (for non-residential), City Engineer and City Attorney (if determined necessary). CC&R's must include a statement that they cannot be modified without the approval of the City of Grass Valley.
5. If the applicant desires to record the Final Map prior to completion of the grading and improvements as shown on the approved grading and improvement plans, the applicant shall enter into an agreement to complete the grading and public improvements; and shall post sufficient surety guaranteeing the construction of all of the improvements, in accordance with the City's Development Code and the California Subdivision Map Act. The applicant must supply the City with a cost estimate, prepared by a licensed Civil Engineer, for all improvements shown on the grading/improvement plans. The cost estimate must be approved by the Engineering Division. The City will then prepare an agreement which will require City Council approval and will be required to be recorded prior to Final Map approval.
6. (if no homeowners association) The Applicant shall sign and record a covenant and agreement to ensure that the onsite detention facilities will be maintained by the property owner(s).

F. PRIOR TO ACCEPTANCE OF PUBLIC IMPROVEMENTS AND/OR EXONERATION OF BONDS, OR OTHER FORM OF SECURITY, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. A Warranty and Guarantee security guaranteeing the public improvements for a period of one year shall be provided in the amount of 10% of the total improvement costs.
2. The applicant shall offer to dedicate to the City for public use, all the public streets right-of-way or easements necessary to install, maintain, and re-install all public improvements described on the improvements and grading plans. All offers of dedication must be recorded and a copy provided to the Engineering Division.
3. (If not addressed above) An acceptable method, such as a tenant agreement and/or CC&R's, must be provided to maintain the common areas, roadways, utilities,

FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)

Item # 1.

detention facilities and the open space. The developer shall provide the appropriate documentation for review by the Community Development Director and City Engineer (and City Attorney if determined necessary by the Community Development Director and/or City Engineer). CC&R's must include a statement that they cannot be modified without the approval of the City of Grass Valley.

4. (if no subdivision) The Applicant shall sign and record a covenant and agreement to ensure that the onsite storm water facilities will be maintained by the property owner(s).
5. "As-built" plans, signed by the Engineer of Record, must be submitted to the Engineering Division on Mylar and a CD with an AutoCAD (or equivalent) drawing of the public improvements.
6. A final report prepared by the soils engineer, in accordance with the California Building Code, must be submitted to the Engineering Division.
7. The grading contractor shall submit a statement of conformance to the as-built plans and specifications. Statement must meet intent of the California Building Code. An example follows:

"As the grading contractor, I confirm that all improvements were constructed as shown on these improvement plans." Include the signature, company, and date.

G. ENVIRONMENTAL HEALTH:

1. The applicant shall submit plans and obtain approval from the Certified United Program Agency (CUPA) for proposed modifications to the permitted underground storage tank (UST) system (piping and dispenser layout etc.).
2. The applicant shall submit plans and obtain approval from the Consumer Protection Division of Environmental Health for the proposed construction of the convenience store and restaurant.
3. The applicant and/or facility operator must adhere to all applicable codes and regulations regarding the storage of hazardous materials and the generation of hazardous wastes set forth in California Health and Safety Code Section 25500-25519 and 25100-25258.2 including the electronic reporting requirement to the California Environmental Reporting System (CERS). The applicant and/or facility operator must apply for and obtain a permit for the storage of hazardous materials and the generation of hazardous wastes from the Nevada County Department of Environmental Health (NCDEH), Certified Unified Program Agency (CUPA). The applicant and/or facility operator shall secure and annually renew the permit for this facility within 30 days of becoming subject to applicable regulations.

**FINDINGS & CONDITIONS OF APPROVAL
MOBIL GAS STATION DEVELOPMENT REVIEW AND USE PERMIT
(21PLN-58)**

Item # 1.

4. Demolition permits shall be obtained from the City of Grass Valley and all lead and/or asbestos requirements shall be adhered to.
5. Wastewater generated from the food facility and car wash shall be disposed of to the public sewer unless otherwise authorized by the California Regional Water Quality Control Board.

H. NEVADA IRRIGATION DISTRICT:

1. A Water Demand Analysis is required to be approved by NID to form that existing meters are adequate for proposed uses. If upsizing is required, applicant shall be responsible for any and all fees associated with upsizing the meter.
2. Appropriate backflow prevention will be required on any and all connections to NID's system, at applicant's expense.
3. Applicant should include exiting PUE's and utility easements on site plans.
4. Applicant is required to provide new easements, acceptable to NID, adequate to cover any proposed NID facilities not located within an existing right-of-way.
5. NID recommends the applicant request a Fire Flow letter from NID.
6. If a Private fire Service is requested, NID requires improvement plans to be submitted for approval.

I. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY:

1. The applicant shall obtain final approval from the City of Grass Valley, fire, planning, engineering and building divisions.
2. The applicant's landscape architect shall submit a letter specifying that the landscaping and irrigation has been installed in accordance with the approved landscape plans.
3. Prior to opening of the parking lot and issuance of a certificate of occupancy, the applicant's landscape architect or landscape contractor shall submit to the City for approval the "certificate of completion" form as required by MWELO.
4. Prior to opening of the parking lot and issuance of a certificate of occupancy, the applicant shall conduct an irrigation audit pursuant to the requirements of the MWELO. This shall be conducted by a third party certified landscape irrigation auditor that did not install or design the landscape and irrigation. Prior to the audit City must confirm the selected auditor complies with MWELO requirements.

ABBREVIATIONS:

Table with two columns of abbreviations and their corresponding full names, including terms like AB. ANCHOR BOLT, JAN. JANITOR, and others.

GENERAL NOTES:

CONTRACTOR RESPONSIBILITIES

- 1. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 3. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATING.
- 4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH UNDERGROUND SERVICE ALERT (USA), UTILITY PROVIDERS AND COUNTY.
- 5. THE CONTRACTOR SHALL COORDINATE REMOVAL, ABANDONMENT AND/OR RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRAND WITH THE RESPECTIVE UTILITY PROVIDER AND FACILITY OWNER.
- 6. THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN STREET TIGHT-OF-WAYS ACCORDING TO THE APPROVED CITY STANDARD PLANS AND SPECIFICATIONS.
- 7. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORES, AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES AND COMPONENTS, ADJACENT SOILS, AND STRUCTURES, UTILITIES, AND RIGHT-OF-WAYS MAY BE SUBJECT TO DURING CONSTRUCTION.
- 8. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DERESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, CONTRACTOR PROCEEDS WITH CONSTRUCTION.

CONSTRUCTION DOCUMENTS

- 1. ALL DRAWINGS, ISSUED SEPARATELY AS CONSTRUCTION PACKAGES INCLUDING ALL DETAILS, SPECIFICATIONS, AND SCHEDULES, BOUND SEPARATELY, ARE PART OF THE CONTRACT DRAWINGS.
- 2. ITEMS MARKED "N.I.C." ARE NOT IN CONTRACT. SUCH ITEMS ARE INCLUDING IN THE DOCUMENTS WHEN CONTRACTORS COORDINATION FOR CONSTRUCTION IS REQUIRED.
- 3. DIMENSIONS: A) IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWING. B) ALL DIMENSIONS TO OPENINGS ARE TO THE FINISHED FACE UNLESS NOTED OTHERWISE. C) ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF FINISH UNLESS NOTED F.O.S. (FACE OF STUD). D) CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FINISH FACE OF CEILING. E) ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
- 4. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.
- 5. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING, OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- 6. PROVIDE AND INSTALL U.L. APPROVED FIRE STOPPING AND WRAPS AT ALL PENETRATIONS PER CHAPTER 7 OF THE CALIFORNIA BUILDING CODE AND THE CA FIRE CODE. SEE DRAWINGS FOR TYPICAL DETAILS.
- 7. DOOR SIZES INDICATED ON DOOR SCHEDULE ARE DOOR DIMENSIONS. ALLOWANCES FOR THRESH HOLDS SHALL BE TAKEN OFF DOOR HEIGHT.
- 8. REGARDLESS OF OCCUPANT LOAD, THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF THE DOOR. THE FLOOR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESH HOLD OF THE DOORWAY.
- 9. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOOR LOUVERS AND WINDOW OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL PLANS AND DETAILS. OTHER WALL AND FLOOR OPENINGS AS REQUIRED BY MECHANICAL, ELECTRICAL, OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED.
- 10. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 5" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
- 11. SEE ARCHITECTURAL CEILING PLANS FOR DIMENSIONS LOCATED LIGHT FIXTURES, DIFFUSERS, AND SPEAKERS. ARCHITECTURAL REFLECTED CEILING PLANS DO NOT INDICATE WALL MOUNTED FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING FIXTURE - RECESSED, SURFACE, OR WALL MOUNTED.
- 12. CEILING SUSPENSION SYSTEM SHALL PROVIDE FOR CEILING SYSTEM ONLY. ADDITIONAL INDEPENDENT FRAMING FOR LIGHTING FIXTURE, EXIT SIGNS, GRILLES, AIRBARS, AND AIR CONDITIONING DIFFUSERS SHALL BE REQUIRED. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK IS PROHIBITED.
- 13. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER DUCTS, PIPING, CONDUITS, ETC., THE LARGER STUD SIZE OR FURRING TO EXTEND FULL WIDTH OF WALL SURFACE WHERE FURRING OCCURS.
- 14. PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR FIRE SPRINKLERS, PIPING, LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT, DRAPERY, AND CEILING TRACKS AS REQUIRED FOR A COMPLETE INSTALLATION.
- 15. ALL CABINETS RECESSED INTO CORRIDOR WALLS SHALL BE BACKED WITH ONE HOUR OR TWO HOURS FIRE RESISTIVE CONSTRUCTION AS REQUIRED. ELECTRICAL PANELS AND/OR WIRING SYSTEMS SHALL NOT BE LOCATED IN CORRIDOR OR SHAFT WALLS.
- 16. ALL STEEL STUD SIZES AND SPACING IN GYPSUM BOARD WALLS SHALL BE IN ACCORDANCE WITH UNDERWRITER LABORATORIES, INC. FOR RATED ASSEMBLIES. SUBMIT DATA FOR APPROVAL.
- 17. ALL SINGLE LAYER GYPSUM BOARD WALLS CONTIGUOUS AND CONTIGUOUS WITH DOUBLE LAYER GYPSUM BOARD SHALL MAINTAIN ONE CONTINUOUS OUTER LAYER OF GYPSUM BOARD AT THE SAME FACE OF FINISH. METAL STUDS AND FURRING CHANNELS SHALL BE OFFSET ACCORDINGLY.
- 18. WALL AND COLUMN GYPSUM BOARD FACING ON OTHER THAN FIRE AND SOUND RATED WALLS SHALL EXTEND 6" MINIMUM ABLE CEILING HEIGHT.
- 19. GYPSUM BOARD ON INTERIOR METAL STUDS SHALL BE 3/8" THICK UNLESS NOTED OTHERWISE.

MECHANICAL AND PLUMBING

- 1. CEILING ACCESS PANELS SHALL BE PROVIDED BY THE MECHANICAL FIRE SPRINKLER AND PLUMBING CONTRACTORS AND LOCATED BELOW ALL VALVES, DUCTWORK, FIRE DAMPERS, ETC., AND AS REQUIRED OR AS DIRECTED BY THE ARCHITECT.
- 2. FIRE SPRINKLERS SHALL BE REVIEWED AND APPROVED BY THE FIRE MARSHALL AND DESIGN TEAM PRIOR TO INSTALLATION.
- 3. PIPE SLEEVES IN MECHANICAL EQUIPMENT ROOMS SHALL EXTEND 2" ABOVE THE FLOOR LINE. ELECTROLYSIS PROTECTION SHALL BE PROVIDED BETWEEN ALL DISSIMILAR METALS WHEREVER THE TWO ARE IN CONTACT.

TYPICAL NOTES

- 1. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND/OR ORIENTATIONS ON PLAN AND/OR ELEVATIONS.
- 2. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT IN WRITING.
- 3. UNDERCUT ALL DOORS TO CLEAR TOP OF CARPET 1/4" MAXIMUM.

CONTINUALLY OF ABBREVIATION:

Table listing abbreviations and their meanings, such as W/D WINDOW, Y.D. YARD, and others.

SYMBOLS:

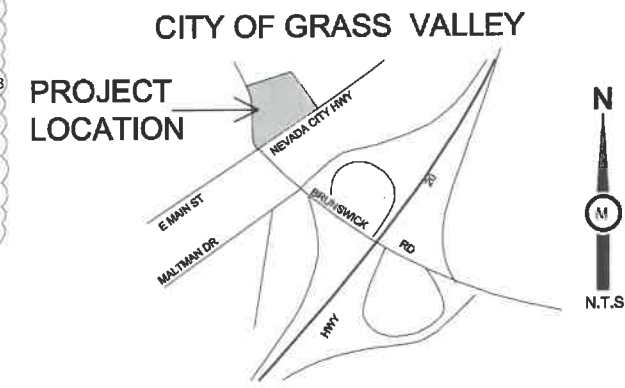
Table of symbols and their meanings, including symbols for column lines, door symbols, work points, revisions, section identification, detail identification, interior elevations, room identification, and occupancy.

MATERIALS:

Table showing material samples and their descriptions, such as Earth, Rock Fill, Sand/Mortar/Plaster, Concrete Cost-in-Place, Wood Framing, Wood Finish, Plywood, Glass, Acoustical Tile or Board, Gypsum Board, and Insulation, Batt.

PARKING:

- ACCESSIBLE STALLS REQUIRED -2
- STANDARD STALLS -6
- EV, PARKING -2
- DETAIL GARAGE PARKING -2 SPACES
- EXPRESS CAR-WASH VACUUM STATION
- PARKING -8 SPACES
- MPD, PARKING -12
- DRIVE THRU RESTAURANT PARKING 8
- TOTAL PARKING -40 STALLS
- DRIVE THRU RESTAURANT STALL PARKING - 8
- C-STORE BUILDING AREA 3200/250 SF
- REQUIRED PARKING 12 STALL
- EXPRESS CARWASH AREA 2,400 SF
- 4 SPACE FOR EACH SERVICE
- 1 SPACE FOR OFFICE
- DRIVE TRUE RESTAURANTS 1,740 SF



SHEET INDEX:

Table with columns for Sheet Number and Sheet Title, listing sheets T-1.0 through G-1.0 and their corresponding titles.

Table listing electrical, mechanical, and plumbing notes and specifications for various sheets.

APPLICABLE CODES:

- 2021 CALIFORNIA BUILDING CODE
- 2021 CALIFORNIA MECHANICAL CODE
- 2021 CALIFORNIA ELECTRICAL CODE
- 2021 CALIFORNIA PLUMBING CODE
- 2021 CALIFORNIA FIRE CODE
- 2021 CALIFORNIA ENERGY CODE
- 2021 CALIFORNIA GREEN BUILDING STANDARDS SACRAMENTO CITY ORDINANCE NO. 2020-0029
- 2018 NFPA 10 STANDARDS FOR PORTABLE FIRE EXTINGUISHER
- 2016 NFPA 13 STANDARD FOR INSTALLATION OF FIRE SPRINKLERS
- 2016 EDITION NFPA 24 INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES

AUTHORITIES HAVING JURISDICTION:

CITY OF GRASS VALLEY

PROJECT TEAM:

OWNER:1
S7 Grass Valley LLC.
2649 GIOMO WAY
LOT SQ FT 18731
OWNER: 2
Dn & B Inc
1912 Nevada City Hwy, Grass Valley, CA
95945-9385, Nevada County
APPLICANT/ENGINEER:
BOULEVARD CONSTRUCTION INC.
4080 Truxel Road
Sacramento, CA 95834
Phone: 916-529-3982
pm@theboulevard.us

PROJECT INFORMATION:

APN: 035-300-007-000
035-300-050-000
ZONING: X
SUMMARY:
DEMOLITION OF EXISTING C-STORE, CAR SERVICE STATION AND EXTENSION OF MPD FROM THREE TO SIX MPD, EXTENSION OF CANOPY UP TO 2912 SF, EXTENSION OF C-STORE BUILDING UP TO 4286 SF, CONSTRUCTION OF NEW AUTO EXPRESS CAR WASH WITH 100FT TUNNEL, NEW CSR.

PROJECT AREA:

EXISTING BUILDING AREA (SF): -2,086 SF
C-STORE BUILDING AREA -3200 SF
DRIVE TRUE RESTAURANTS -1740 SF
EXPRESS CARWASH AREA -2400 SF
DETAILING SHOP BUILDING -543 SF
VACUUM PARKING CANOPY -2875 SF
1- LOT AREA (SF): -18,731 SF
2- LOT AREA (SF): -37462 SF
TOTAL LOT AREA -56199 SF

OCCUPANCY GROUP: M-B
CONSTRUCTION TYPE: Type -V
SPRINKLER EXIST YES
NUMBER OF STORIES: 1 AND 2



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca 95834
(916) 529-3982
zaman_hamim@yahoo.com



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FAX: (916) 283-7501
pm@theboulevard.us
www.theboulevard.us

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

Table for revisions with columns for Date, Description, and Revisions.

CURRENT ISSUE DATE:
12/14/22
ISSUED FOR:
PERMIT REVIEW

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:
SHEET TITLE:
TITLE AND CODE SHEET

SHEET #
T-1.0

CITY OF GRASS VALLEY DEPARTMENT OF UTILITIES STANDARD EROSION AND SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR SHALL FOLLOW THE GUIDELINES FOR THE CITY OF SACRAMENTO'S 'ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING AND EROSION AND SEDIMENT CONTROL' FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
2. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM. CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.

GENERAL CONDITIONS

- 1. ALL WORK SHALL COMPLY WITH LOCAL CODES AND ORDINANCES. EXCLUSION OF SAID ITEMS FROM DRAWINGS OR SPECIFICATIONS DOES NOT RELEASE THE CONTRACTOR FROM COMPLIANCE WITH ABOVE MENTIONED CODES AND ORDINANCES.
2. VERIFY ALL CONDITIONS ON SITE. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCY BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON DRAWINGS.
3. ALL NAILING PER CBC CURRENT EDITION.

MANDATORY NOTES: ON-SITE

GENERAL NOTES

- 1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS, DATED NOVEMBER 2020. THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
3. FOR ALL TRENCH EXCAVATIONS 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY (2422 ARDEN WAY, SUITE 145, SACRAMENTO, PHONE 265-2800) PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

GRADING NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE LATEST EDITION OF THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS NOVEMBER 2020, WHICH IS AT CITY WEB-SITE: HTTP://WWW.CITYOF.SACRAMENTO.CA/UTILITIES/STANDARD-SPECIFICATIONS-AND-DRAWINGS
2. THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
3. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PHA STANDARDS.

GENERAL WATER NOTES

- 1. TYPE OF WATER SOURCE(S) IN USE: SURFACE WATER
2. NAME & GENERAL LOCATION OF SOURCE(S): LITTLE DEER CREEK WATERSHED, NEVADA IRRIGATION DISTRICT DS CANAL
3. DRINKING WATER SOURCE ASSESSMENT INFORMATION:
4. THE CITY OF NEVADA CITY WATER SYSTEM IS LOCATED IN NEVADA COUNTY CA, SERVING A POPULATION OF 3,010, WITH APPROXIMATELY 1,252 SERVICE CONNECTIONS. WATER FOR THE SYSTEM IS PROVIDED BY SURFACE WATER IN LITTLE DEER CREEK WATERSHED, AND BY THE NEVADA IRRIGATION DISTRICT'S DS CANAL. GENERAL LAND USES IN THE WATERSHED ARE RESIDENTIAL DWELLINGS, MANAGED FORESTS AND UNDEVELOPED LAND. A SURFACE WATER SOURCE ASSESSMENT WAS COMPLETED FOR THE LITTLE DEER CREEK WATERSHED IN FEBRUARY 2012. THIS SURFACE WATER SOURCE IS CONSIDERED TO BE VULNERABLE TO STORM DRAIN DISCHARGE, HISTORIC MINING, PROPANE STORAGE TANKS, SEPTIC SYSTEMS, USE OF PESTICIDES AND HERBICIDES, FERTILIZERS, MANAGED FORESTS, STREETS, ROADS, AND WATER SUPPLY WELLS. A COMPLETE COPY OF MID'S COMPLETE ASSESSMENT IS AVAILABLE FOR REVIEW AT NEVADA CITY HALL, 317 BROAD ST., NEVADA CITY CA 89569. YOU MAY ALSO CONTACT THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF DRINKING WATER, 1001 I STREET, SACRAMENTO, CA, 95814 TO REVIEW EITHER OF THE SOURCE WATER ASSESSMENT REPORTS.



ACCESSIBILITY NOTES

- 1. THE ARCHITECT HAS VERIFIED THAT THE ENTIRE IS GRADED/PAVED TO FULLY COMPLIANT WITH THE CODE ACCESSIBILITY REQUIREMENTS, INCLUDING THE MAXIMUM SLOPE IN ANY DIRECTION BEING 1.5% OR LESS. THEREFORE, SUCH SITE IS CONSIDERED TO HAVE ACCESSIBLE ROUTES THROUGHOUT THE ENTIRE AREAS.
2. POT INDICATED ON THE SITE PLAN IS THE MOST PRACTICAL AND DIRECT ROUTE BETWEEN SITE ARRIVAL POINT AND ALL EXTERIOR PEDESTRIAN DOORS AT NEW BUILDING. EXACT LOCATION OF POT MUST BE FIELD VERIFIED, RELOCATED OR RECONFIGURED IF NEEDED.
3. POT INDICATED ON THE SITE PLAN IS ALSO THE MOST PRACTICAL AND DIRECT ROUTE BETWEEN ACCESSIBLE PARKING AND ALL EXTERIOR PEDESTRIAN DOORS AT NEW BUILDING. EXACT LOCATION OF POT MUST BE FIELD VERIFIED, RELOCATED OR RECONFIGURED IF NEEDED.



PROJECT MANAGER: Zoran Hamrim, 4080 Truxel Road, Sacramento, Ca. 95834, (916) 529-3982, zoran.hamrim@yahoo.com

ARCHITECT OF RECORD: BOULEVARD Construction, 4080 TRUXEL ROAD, SACRAMENTO, CA 95834, PHONE: (916) 892-9949, FAX: (916) 283-7501, pm@theboulevard.us, www.boulevard.com

PROJECT: PROPOSED GAS STATION / EXPRESS CARWASH CENTER, 1912 NEVADA CITY HWY, GRASS VALLEY, CA 95945

Table with columns: REVISIONS, DATE, DESCRIPTION, BY. Includes revision 1 on 01/10/22 for revision 0.

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DRAWN BY: BOULEVARD

CHECKED: APPROVED:

SHEET TITLE: GENERAL INFORMATION

SHEET #

G-1.0

TOPOGRAPHIC SURVEY 1912 & 1924 NEVADA CITY HWY, GRASS VALLEY

COUNTY OF NEVADA
STATE OF CALIFORNIA
APN: 035-300-050 & -007

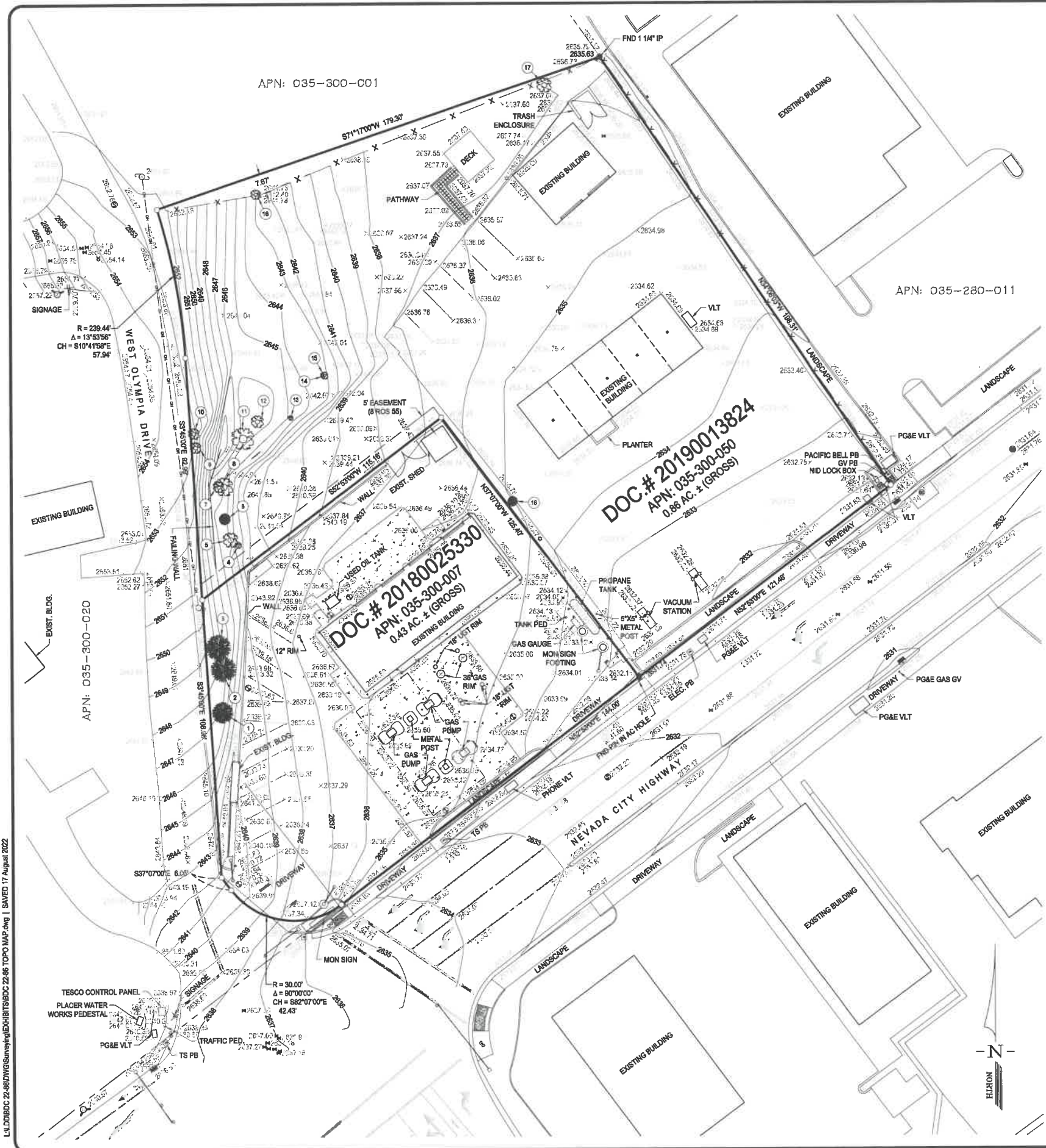
SURVEYED	R. O'CONNOR
DRAWN	J. VIRAY
CHECKED	T. BLAIR
DATE	06-17-2022
SCALE	1" = 20'

REV NO	REVISION DESCRIPTION	DATE	BY

**1912 & 1924 NEVADA CITY HWY, GRASS VALLEY
TOPOGRAPHIC SURVEY**
A.P.N.: 035-300-050 & -007
COUNTY OF NEVADA,
CALIFORNIA

SGI COMPANIES
SGI CIVIL • SGI 3D • SURVEYORS GROUP, INC.
9001 Piedmont Blvd., Suite 170
Grass Valley, CA 95945
(530) 799-0822 (616) 799-0824 (Fax)
www.sgicompanies.com

SHEET 1 OF 1
JOB NO. BDC 22-86



LEGEND

- BOLLARD
- CURB INLET WITH GRATE
- DIMENSION POINT
- NOTHING FOUND, NOTHING SET
- DRAIN INLET
- FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- GATE
- GATE VALVE
- GROUND SHOTS
- LIGHT
- MONITORING WELL
- POWER POLE
- PULL BOX
- ROLL UP DOOR
- SANITARY SEWER MANHOLE
- SIGN
- STORM DRAIN MANHOLE
- TRAFFIC SIGNAL
- TREE
- TRUNCATED DOME
- UTILITY AS NOTED
- WATER METER
- CONCRETE
- ADJACENT PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- FENCE
- MAJOR CONTOUR
- MINOR CONTOUR
- OVERHANG ROOF
- OVERHEAD POWER LINES
- PROPERTY LINE
- RIGHT OF WAY

ABBREVIATIONS

- AC - ASPHALT CONCRETE
- AC. - ACRE
- APN - ASSESSOR PARCEL NUMBER
- DOC# - DOCUMENT NUMBER
- BLDG. - BUILDING
- ELEC. - ELECTRICAL
- EXIST. - EXISTING
- FND - FOUND
- GV - GATE VALVE
- IP - IRON PIPE
- MON - MONUMENT
- PB - PULL BOX
- PED - PEDESTAL
- ROS - RECORD OF SURVEY
- TS - TRAFFIC SIGNAL
- UGT - UNDERGROUND GAS TANK
- VLT - VAULT

NO.	DESCRIPTION	DIAMETER	NO.	DESCRIPTION	DIAMETER	NO.	DESCRIPTION	DIAMETER
1	PINE	30"	8	REDWOOD	30"	14	TREE	6"
2-3	PINE	36"	9	TREE	18"	15	X2 TREE	12"
4	TREE	10"	10	OAK	18"	16	TREE	16"
5	TREE	24"	11	REDWOOD	36"	17	TREE	24"
6	PINE	16"	12	TREE	20"	18	PINE	14"
7	X2 REDWOOD	18"	13	TREE	8"			

BENCHMARK:

BM ID: KS0833
ELEV. = 2413.88' (NAVD 88)

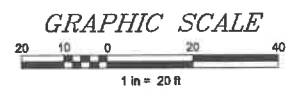
A STANDARD DISK, STAMPED GRASS VALLEY 1934 AND SET VERTICALLY. THE BUILDING THE MARK IS SET IN IS NO LONGER THE POST OFFICE. IS IT NOW MARKED "OLD POST OFFICE" AND "JBS PAINE WEBBER" AND IS LOCATED AT THE NE CORNER OF BANK STREET AND S. AUBURN STREET IN GRASS VALLEY. TO REACH FROM THE NEW POST OFFICE, PROCEED WEST ON THE MAIN STREET, TURN LEFT ON S. AUBURN, MARK IN ON THE LEFT. GRAVITY BASE STATION "GRASS VALLEY", C 95, WAS 1.4 FEET BELOW DISK UNTIL INSTALLATION OF HANDICAP RAMP.

BASIS OF BEARINGS:

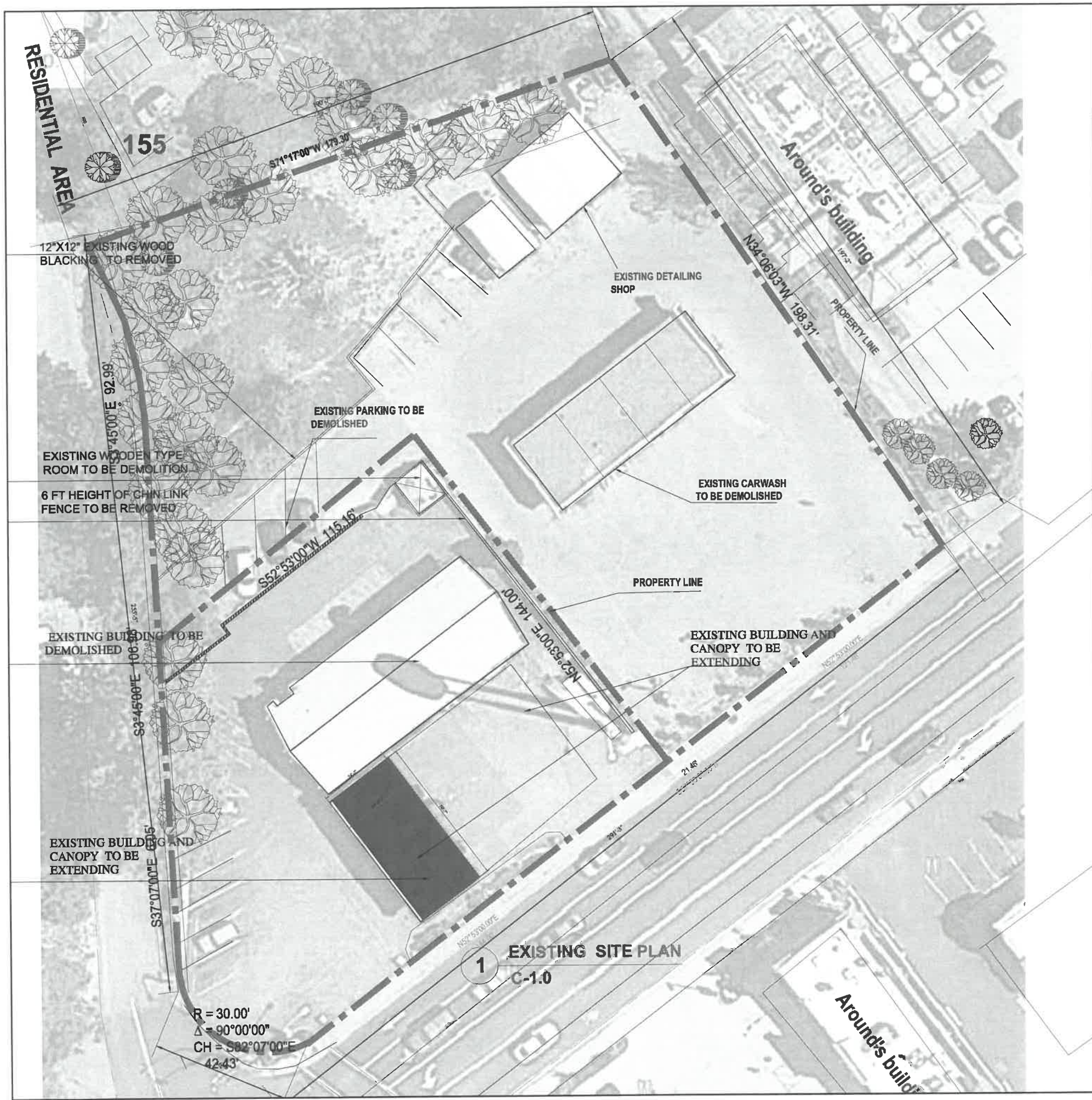
THE BASIS OF BEARINGS OF THIS SURVEY IS IDENTICAL TO THAT CERTAIN RECORD OF SURVEYS RECORDED IN BOOK 8 OF SURVEY AT PAGE 55 NEVADA COUNTY RECORDS.

NOTE:

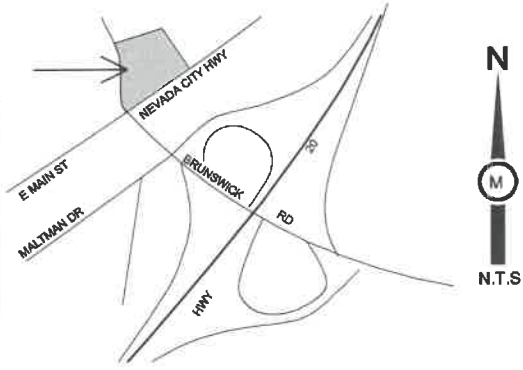
SOUTHWEST PROPERTY BOUNDARY IS NOT SHOWN ON RECORD MAP. BOUNDARY AND EASEMENT SHOWN ARE BEST INTERPRETATION OF PROVIDED TITLE REPORTS AND DEEDS. A RECORD OF SURVEY & FURTHER RESEARCH WILL BE REQUIRED TO RESOLVE AND LOCATE PRECISE POSITION OF BOUNDARY AND EASEMENTS.



L:\D\BDC 22-86\DWG\Survey\1912&1924\BDC 22-86 TOPO MAP.dwg | SAVED 17 August 2022



CITY OF GRASS VALLEY



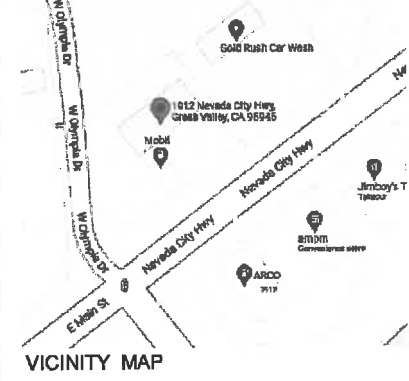
- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT/PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- NEW VACUUM STATION
- NEW PAY STATION
- NEW PAY FOR ORDER FOODS
- NEW OVERHEAD CANOPY. NOTE, SOLAR PANELS WILL BE MOUNTED ON TOP OF CANOPIES.
- NEW FUEL PUMP (4 MFD)
- ADJUST EXISTING LOT LINE
- REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL
- TACTILE
- ACCESSIBLE PARKING
- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- EXISTING ±90 FT PYLON SIGN TO BE REMOVED
- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE
- NEW EV CHARGING SPACES.
- NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24'X100'
- CONCRETE CRAB DRAINAGE



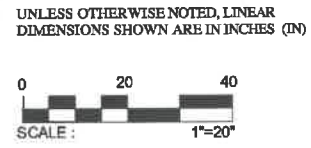
PROPERTY LINE

STORE FINISHES:
 WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL, PAINTED PLASTER,
 FLOOR: STORE, TILE Vinyl Plank
 Flooring / SEALED CONCRETE
 CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL
 WALLS: 240 IN' HIGH DRYWALL
 WALL: PAINTED PLASTER
 RESTROOM, CERAMIC TILE
 WALLU: KITCHEN, CERAMIC TILE
 CEILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

REALLY MAP



VICINITY MAP



LICENSED ARCHITECT
 ROBERT A. MASSETTI
 C-12848
 06-30-2023
 STATE OF CALIFORNIA
 Robert A. Massetti

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PROJECT:
**PROPOSED GAS STATION /
 EXPRESS CARWASH CENTER**
 1912 NEVADA CITY HWY
 GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION	BY:

CURRENT ISSUE DATE:
 02 /07 /2023
 ISSUED FOR :
 02 /07 /2023

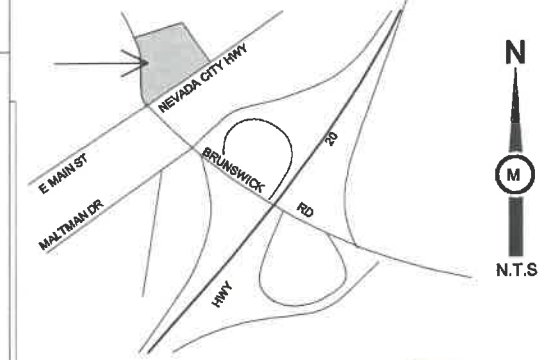
DRAWN BY: BOULEVARD
 CHECKED:
 APPROVED:
 SHEET TITLE:
EXISTING SITE PLAN
 SHEET #:
C-1.0



Measure distance
Click on the map to add to your path
Total distance: 200.92 ft (61.24 m)

NEIGHBORHOOD SITE PLAN
Scale : 1"=50'

CITY OF GRASS VALLEY



- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT/PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
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- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24"x100"
- CONCRETE CRAB DRAINAGE



PROPERTY LINE

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FLOOR: STORE, TILE Vinyl Plank Flooring / SEALED CONCRETE
CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL



WALLS: 240 IN HIGH DRYWALL
WALLT: PAINTED PLASTER
RESTROOM, CERAMIC TILE
WALLU: KITCHEN, CERAMIC TILE
CEILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)
SCALE : 1"=20'



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www.boulevardil.com

PROJECT:
PROPOSED GAS STATION / EXPRESS CARWASH CENTER 1912 NEVADA CITY HWY GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION:	BY:
	02/10/2023	ISSUED FOR :	
	02/10/2023		

CURRENT ISSUE DATE:
02/10/2023
ISSUED FOR :
02/10/2023

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
NEIGHBORHOOD SITE PLAN

SHEET #:
C-1.1

CITY OF GRASS VALLEY



PROJECT MANAGER:
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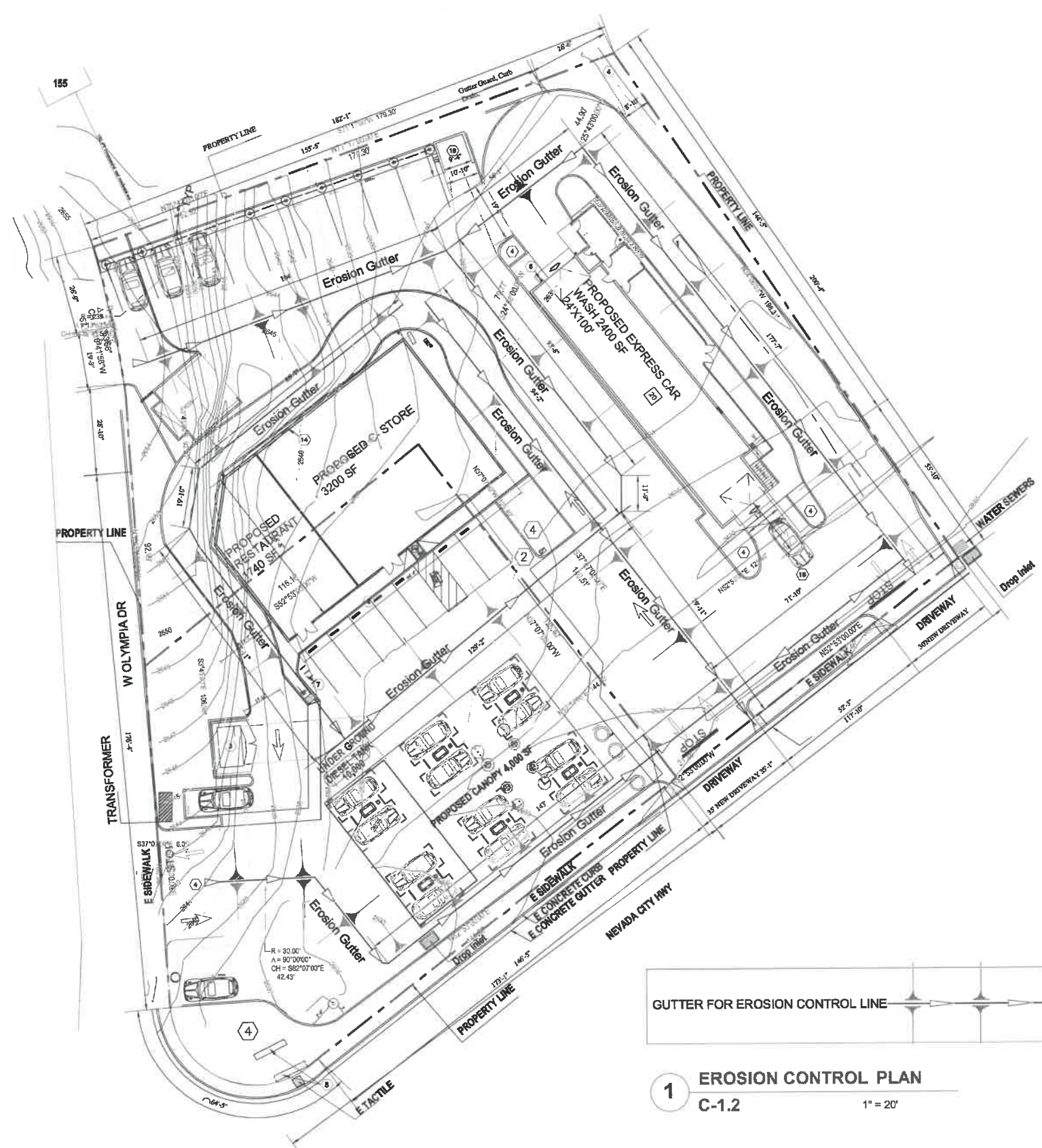
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PROJECT:
**PROPOSED GAS STATION /
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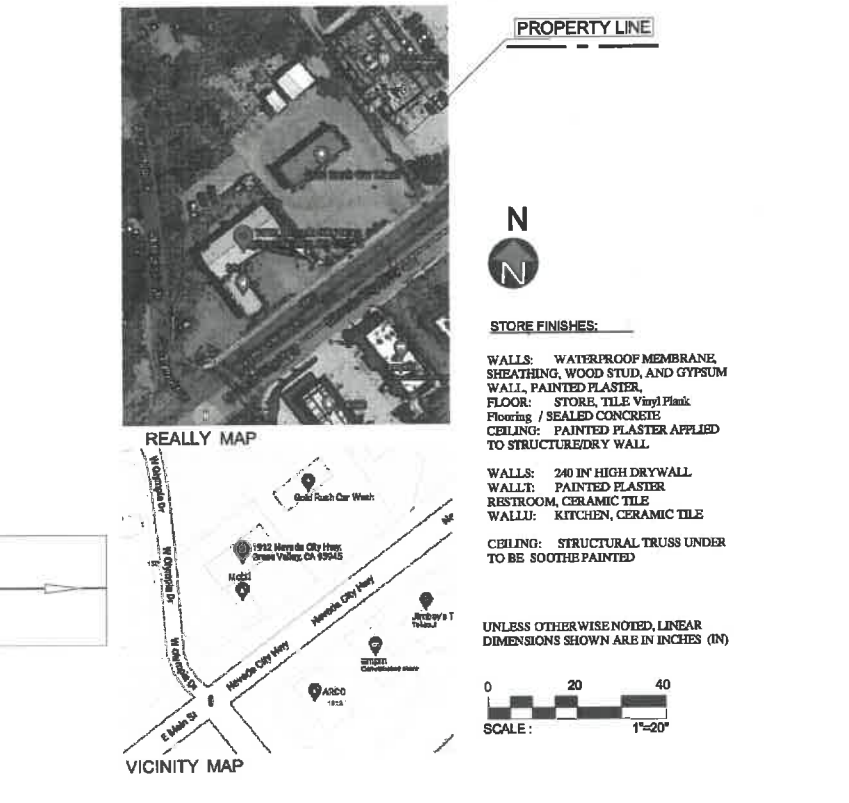
REVISIONS:	DATE:	DESCRIPTION:	BY:

CURRENT ISSUE DATE:
ISSUED FOR:
02 / 07 / 2023
DRAWN BY: **BOULEVARD**
CHECKED:
APPROVED:
SHEET TITLE:
EROSION PLAN
SHEET #

C-1.2



- EROSION CONTROL GENERAL NOTES**
1. THE EROSION CONTROL SYSTEMS SHALL BE CERTIFIED BY THE OWNER OF RECORD. EACH CONTROL SYSTEM SHALL BE COMPLETED, INSPECTED, AND IN PLACE NO LATER THAN OCTOBER 1, AND SHALL REMAIN IN PLACE AT ALL TIMES FOR ALL AREAS IN WHICH CONSTRUCTION SHALL BE SCHEDULED TO COMMENCE WITHIN THE NEXT SEVEN (7) DAYS. ALL EROSION CONTROL SYSTEMS SHALL REMAIN IN PLACE UNTIL NOV 1.
 2. THE CONTRACTOR, PERMITTEE OR OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION, MODIFICATION AND PROPER MAINTENANCE OF THE EROSION CONTROL DEVICES AS NECESSARY IN THE EVENT OF FAILURE OR REPAIRS. TO IMPROVELY MAINTAIN AND COVER THE CITY ENGINEER SHALL EMERGENCY MAINTENANCE WORK TO BE DONE TO PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY, THE COST INCLUDING AN INITIAL INSPECTION AND REPORT SHALL BE BORNE BY THE OWNER.
 3. ALL EROSION CONTROL MEASURES REQUIRED TO BE INSTALLED ON SITE AND TO BE MAINTAINED DURING THE INITIAL CONSTRUCTION PHASE OF THE PROJECT.
 4. THE CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL SYSTEMS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED EROSION CONTROL PLAN.
 5. TEMPORARY EROSION CONTROL DEVICES INSTALLED ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS THE WORK PROGRESSES AS RECOMMENDED BY THE ENGINEER OF RECORD AND AS APPROVED BY THE CITY ENGINEER.
 6. ALL REMOVABLE EROSION CONTROL DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
 7. EROSION CONTROL SYSTEMS SHALL BE SERVICED AND MAINTAINED TO PROVIDE CONTINUOUS CAPACITY AND ADEQUACY TO FUNCTION AS DESIGNED AFTER PREDEFINITION EXCESSIVE RAIN QUANTITIES WHICH IN ANY SINGLE PERIOD, OR UPON DIRECTION OF THE CITY ENGINEER, BUT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS AND DEBRIS TRAPS AND THE DAMS PUMPED DRY AND OTHERWISE RESTORED TO THE ORIGINAL DESIGN CONDITION.
 8. DEBRIS TRAPS SHALL BE CONSTRUCTED OF COMPACTED EARTH SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 90 PERCENT OF MAXIMUM DENSITY. EACH ENGINEERING REPORT INCLUDING THE TYPE OF FIELD TESTING PERFORMED, LOCATION AND RESULTS OF TESTING SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL UPON COMPLETION OF THE DEBRIS TRAP.
 9. EROSION CONTROL PROVISIONS SHALL INCLUDE AND COMPLEMENT GRASSING PATTERNS DURING THE CURRENT AND FUTURE PHASES OF GRADING THROUGHOUT THE ENTIRE EROSION CONTROL PLAN. THE CONTRACTOR, PERMITTEE, OR PROJECT OWNER SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRAFFIC ON TO AREAS WHERE INFILTRATED WATER CREATES A HAZARDOUS CONDITION. NECESSARY PRECAUTIONS MAY INCLUDE, BUT NOT BE LIMITED TO APPROPRIATE PERMITTER REVIEW OR 24-HOUR GUARD PREVENTING UNAUTHORIZED PERSONS FROM ENTERING THE AREAS.
 10. GRADED AREAS AROUND THE TRACT PERIMETER MUST BE MAINTAINED AT A MINIMUM OF 10% GRADE ABOVE THE SURFACE OF THE TRACT.
 11. GRADES AROUND THE TRACT PERIMETER MUST BE MAINTAINED AT A MINIMUM OF 10% GRADE ABOVE THE SURFACE OF THE TRACT.
 12. GRADES AROUND THE TRACT PERIMETER MUST BE MAINTAINED AT A MINIMUM OF 10% GRADE ABOVE THE SURFACE OF THE TRACT.
 13. GRADES AROUND THE TRACT PERIMETER MUST BE MAINTAINED AT A MINIMUM OF 10% GRADE ABOVE THE SURFACE OF THE TRACT.
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 16. GRADES AROUND THE TRACT PERIMETER MUST BE MAINTAINED AT A MINIMUM OF 10% GRADE ABOVE THE SURFACE OF THE TRACT.
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1 EROSION CONTROL PLAN
C-1.2 1" = 20'

STORE FINISHES:

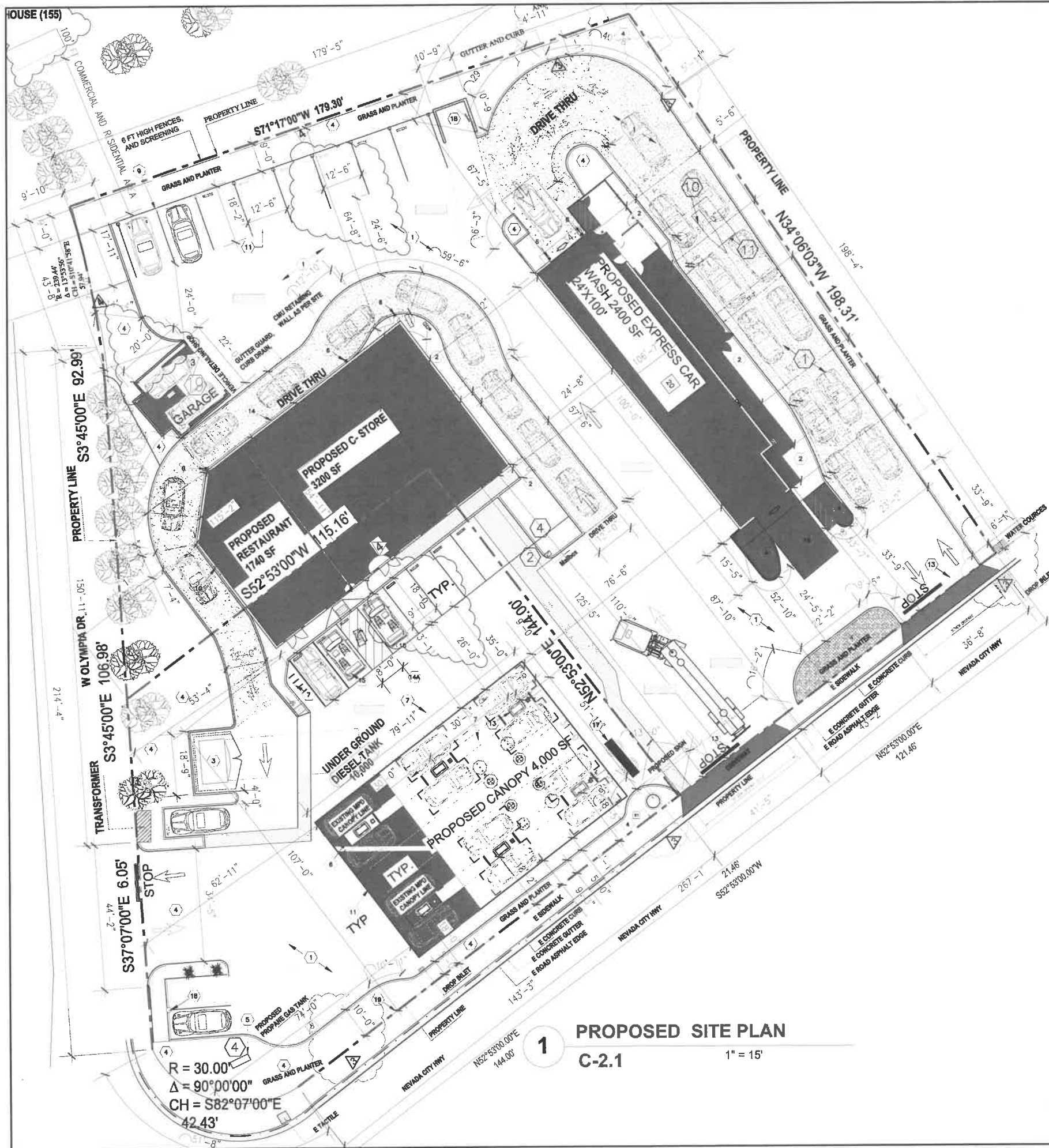
WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL, PAINTED PLASTER.
FLOOR: STONE TILE Vinyl Plank
Flooring / SEALED CONCRETE
CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL

WALLS: 240 IN HIGH DRY WALL
WALLS: PAINTED PLASTER
RESTROOM, CERAMIC TILE
WALLU: KITCHEN, CERAMIC TILE

CEILING: STRUCTURAL TRUSS UNDER TO BE SMOOTH PAINTED

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)

SCALE: 1"=20'

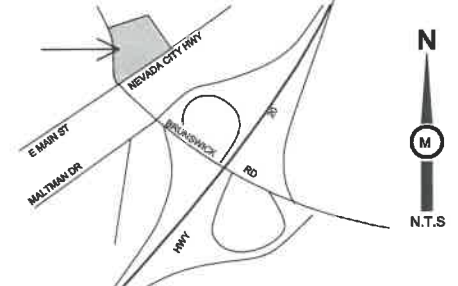


1 PROPOSED SITE PLAN
C-2.1 1" = 15'



2 SITE PHOTO
C-2.1

CITY OF GRASS VALLEY



- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT/PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- NEW VACUUM STATION
- NEW PAY STATION
- NEW PAY FOR ORDER FOODS
- NOT USED BE MOUNTED ON TOP OF CANOPIES.
- NEW FUEL PUMP (4 MPD)
- ADJUST EXISTING LOT LINE
- REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL.
- TACTILE
- ACCESSIBLE PARKING
- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- EXISTING 450 FT Pylon SIGN TO BE REMOVED
- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE
- NEW EV CHARGING SPACES.
- NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24'X100'
- CONCRETE CRAB DRAINAGE



PROPERTY LINE

STORE FINISHES:

WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL. PAINTED PLASTER.

FLOOR: STORE, TILE Vinyl Plank Flooring / SEALED CONCRETE

CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL

WALLS: 240 IN" HIGH DRYWALL

WALLS: PAINTED PLASTER

RESTROOM: CERAMIC TILE

WALLU: KITCHEN, CERAMIC TILE

CEILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

SCALE: 1"=20'

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)



VICINITY MAP



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PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

DATE:	DESCRIPTION	BY:
01/12/2023	REVISION-0	
02/07/2023	REVISION-3	

CURRENT ISSUE DATE:

ISSUED FOR:
02/07/2023

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE
PROPOSED SITE PLAN

SHEET #
C-2.1



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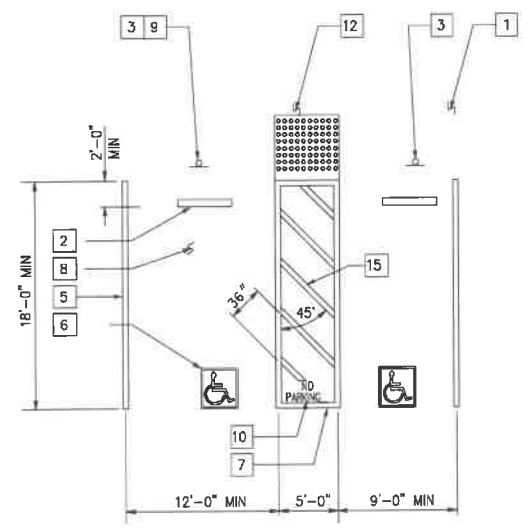
PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

REVISIONS:	DATE:	DESCRIPTION:	BY:
1	12/19/24	REVISION 01	

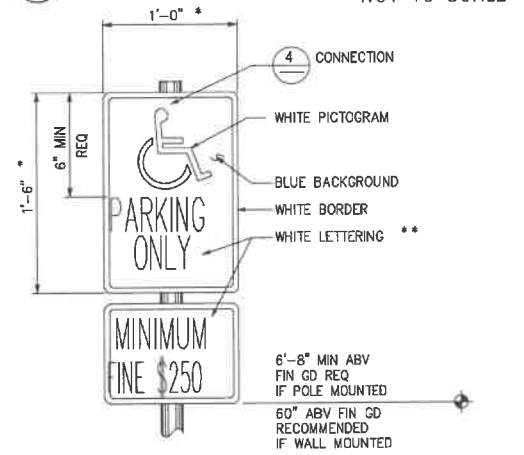
CURRENT ISSUE DATE:
02/07/23
ISSUED FOR:
PERMIT REVIEW

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:
SHEET TITLE:
ACCESSIBLE PARKING PLAN

SHEET #
C-2.0

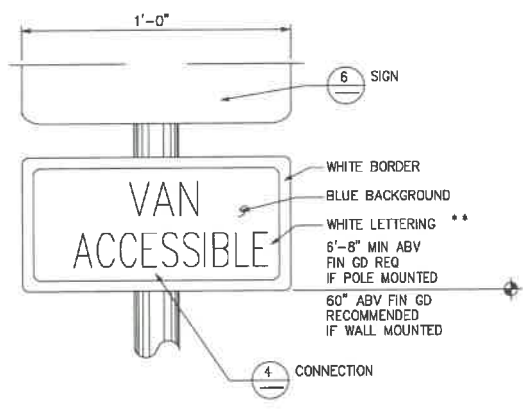


1 ACCESSIBLE PARKING STALL NOT TO SCALE

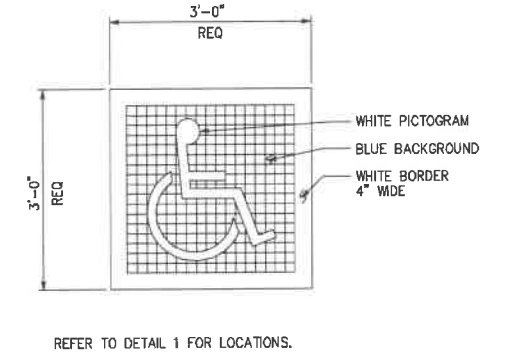


6 ACCESSIBLE PARKING SIGN NOT TO SCALE

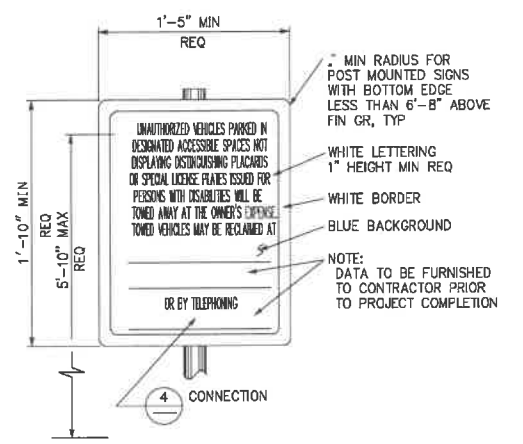
- KEYED NOTE LEGEND FOR DETAILS
- CONCRETE WALKWAY (WHERE OCCURS). SEE PLANS FOR WIDTH, LAYOUT (MAY VARY), FINISH, JOINTS AND ELEVATIONS.
 - PARKING BUMPER (AWAY FROM ACCESS AISLE). SEE SPECIFICATIONS.
 - ACCESSIBLE PARKING SPACE PAVEMENT MARKING. SEE DETAIL 8.
 - 4" WIDE WHITE PARKING STALL DESIGNATION STRIPE. SEE SITE PLAN(S) FOR ADDITIONAL STALL STRIPING.
 - ACCESSIBLE PARKING SURFACE IDENTIFICATION PAINTED ON PAVEMENT. SEE DETAIL 7.
 - 4" WIDE BLUE BORDER DESIGNATING NON-PARKING ACCESS AISLE TO CURB RAMP.
 - MAXIMUM SLOPE ON PARKING STALL AND ACCESS AISLE TO BE 2%.
 - VAN ACCESSIBLE SIGNAGE. SEE DETAIL 2. ACCESS AISLE SHALL BE ON PASSENGER SIDE ONLY.
 - "NO PARKING" IN MIN 12" HIGH WHITE LETTERS TO BE PLACED WITHIN ACCESS AISLE TO CURB RAMP. SEE DETAIL 8.
 - LEVEL LANDING -2% MAX SLOPE W/36" DEEP DETECTABLE WARNING SURFACE ADJOINING ACCESS AISLE OR VEHICULAR WAY.
 - DETECTABLE WARNING SURFACE TO EXTEND FULL WIDTH AND MIN 36" DEEP FROM FRONT EDGE OF SIDEWALK.
 - 4" WIDE WHITE HATCHED LINES TO CONTRAST WITH ASPHALT SURFACE. USE BLUE HATCHED LINES FOR LIGHT-COLOR CONCRETE SURFACE.



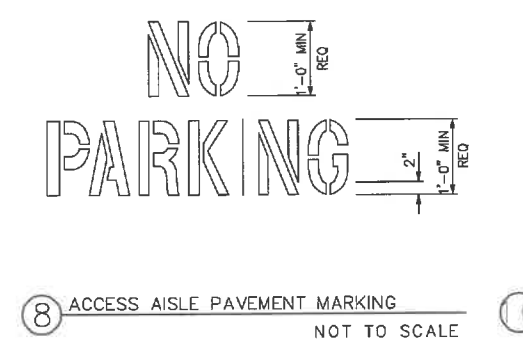
2 ACCESSIBLE VAN PARKING SIGN NOT TO SCALE



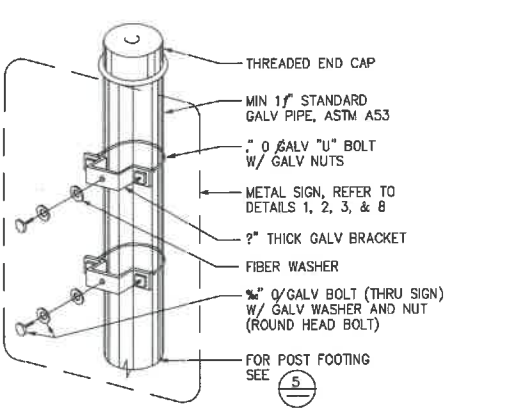
7 ACCESSIBLE PARKING SURFACE IDENTIFICATION NOT TO SCALE



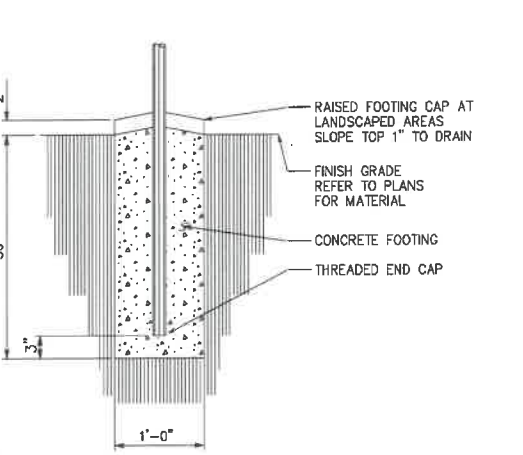
3 UNAUTHORIZED VEHICLES PARKING SIGN NOT TO SCALE



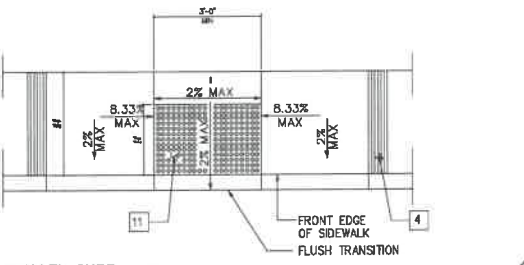
8 ACCESS AISLE PAVEMENT MARKING NOT TO SCALE



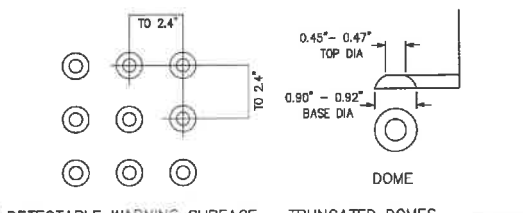
4 SIGN CONNECTION NOT TO SCALE



5 SIGN POST FOOTING NOT TO SCALE

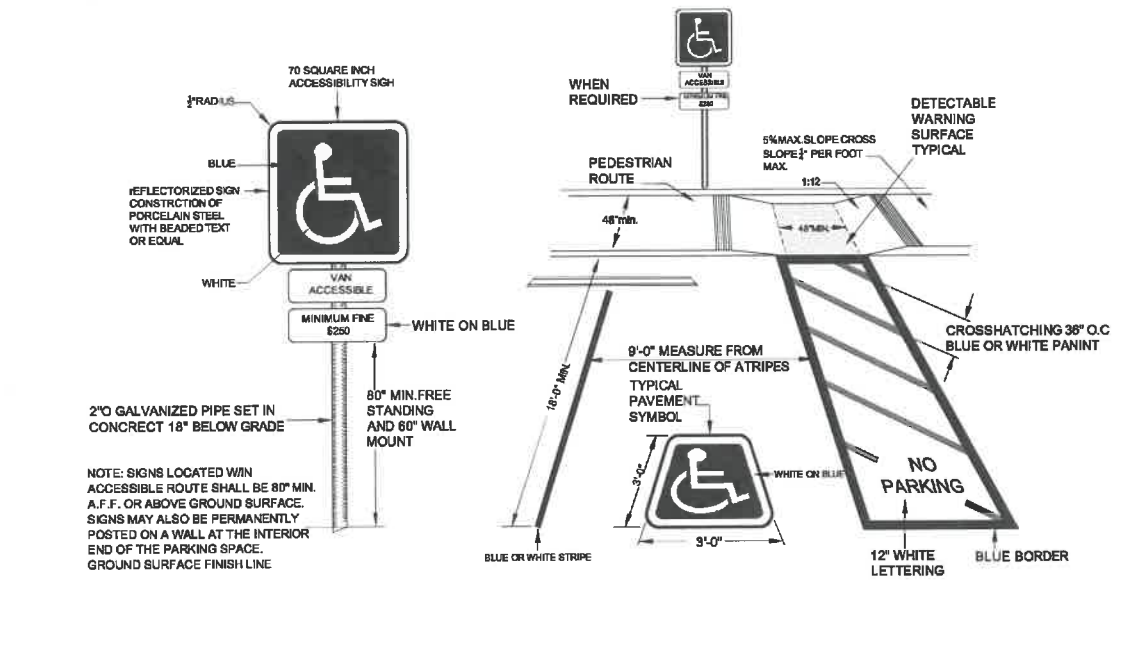


9 PARALLEL CURB RAMP



10 DETECTABLE WARNING SURFACE - TRUNCATED DOMES

ACCESSIBLE PARKING



9 ACCESSIBLE PARKING PLAN

1" = 10'-0"



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1912 NEVADA CITY HWY
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NO.	DATE	DESCRIPTION	BY:

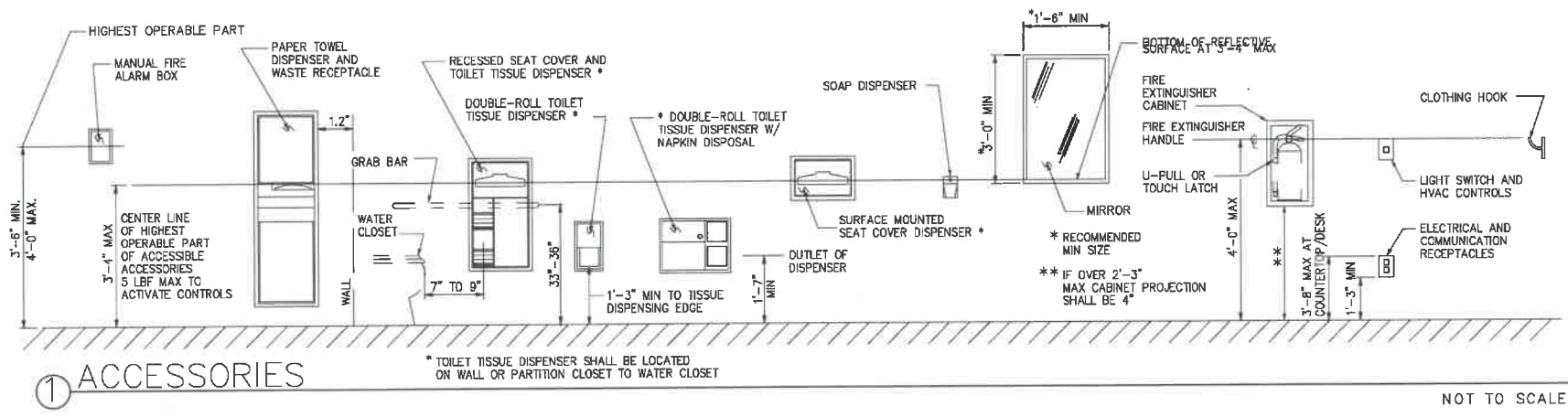
CURRENT ISSUE DATE:
02/07/23

ISSUED FOR:
PERMIT REVIEW

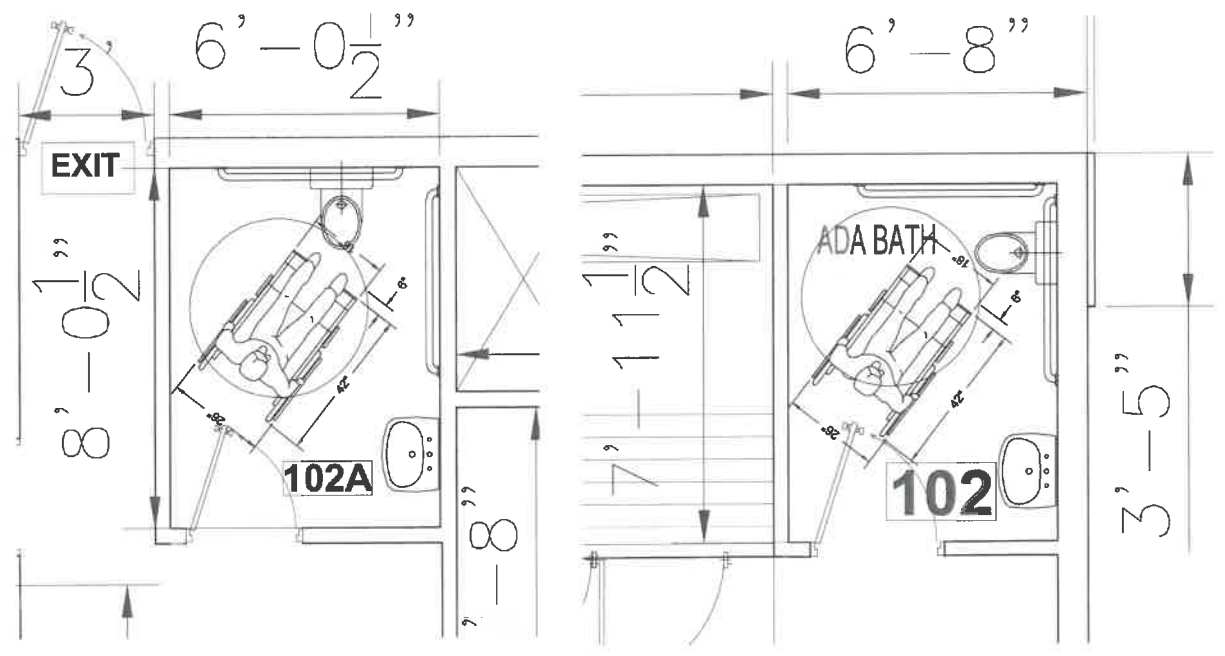
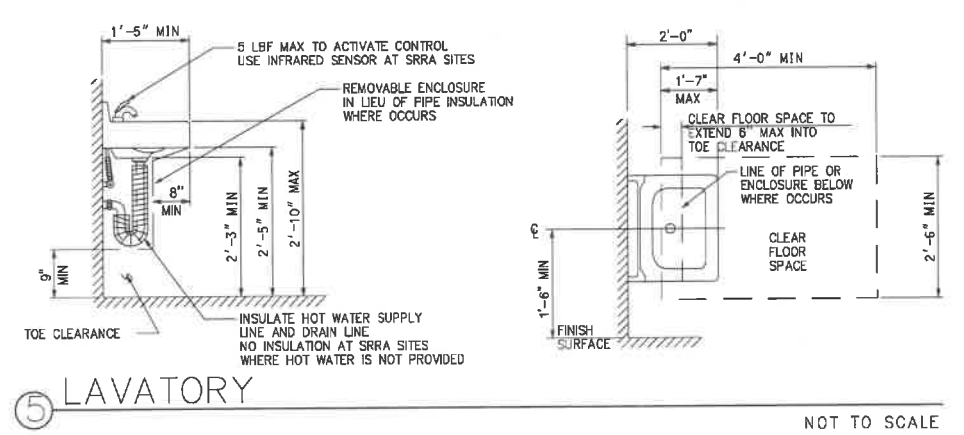
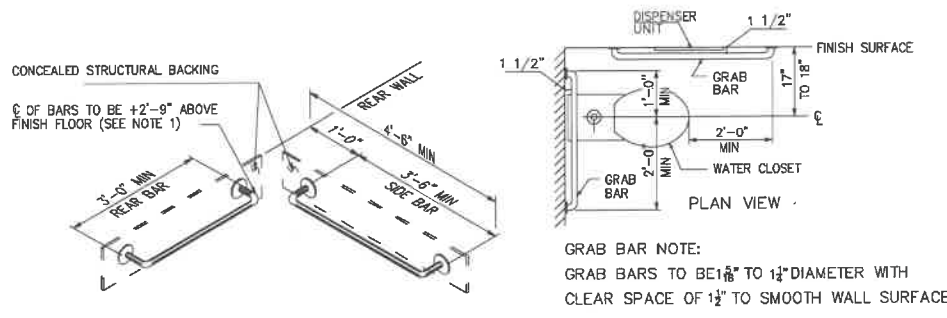
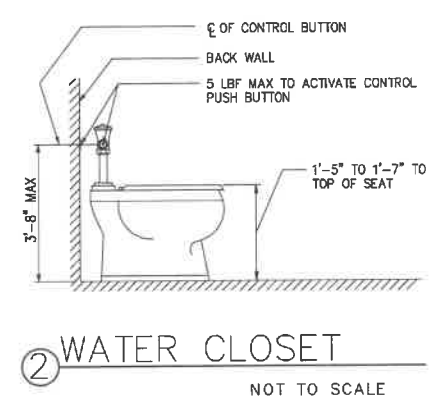
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
ADA COMPLIANCE Restroom

SHEET #
C-3.0



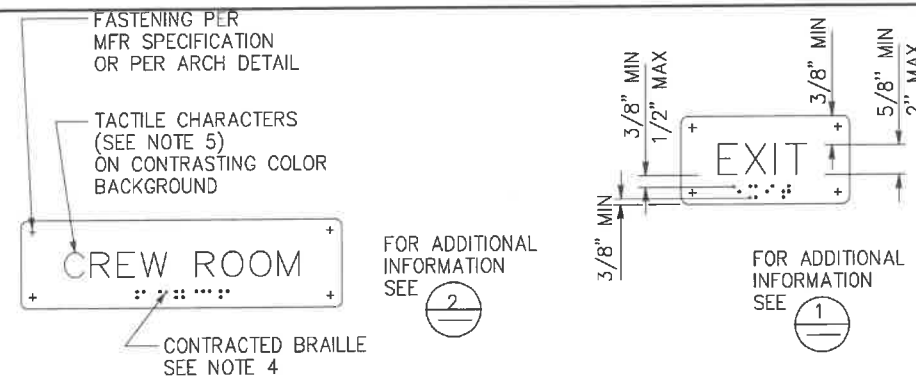
PLUMBING FIXTURE CALCULATION
PER CPC TABLE 4A AND TABLE 422.1
TOTAL AREA: 11,230 SF/700 = 16 SALES AND 1,532SF/300 OFFICE SF = 5
TOTAL REQUIRED TOILET ARE : 2 FOR MALE AND FEMALE



FOR ACCESSIBLE TOILET STALLS AND ABULATORY STALL
DOORS SHALL BE SELF-CLOSING WITH DOOR
HARDWARE COMPLYING WITH CBC SECTION 11B-309.4

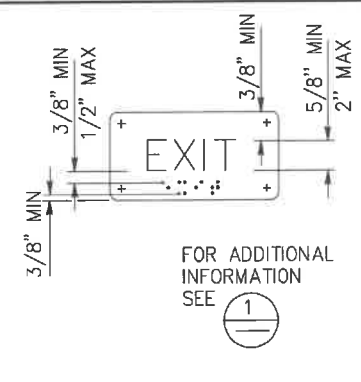
RESTROOM FLOOR PLAN

1/4" = 1'-0"



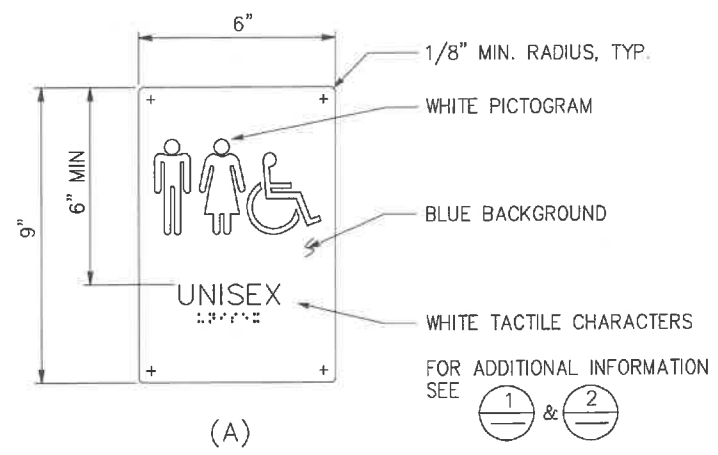
INSTALL PER DETAIL 5. TEXT VARIES. SEE PLANS, EXT ELEVATIONS, OR DOOR SCHEDULE FOR LOCATIONS AND TEXT. SEE DETAIL 7 FOR SIGN MOUNTING HEIGHTS.

1 ROOM IDENTIFICATION SIGN NOT TO SCALE

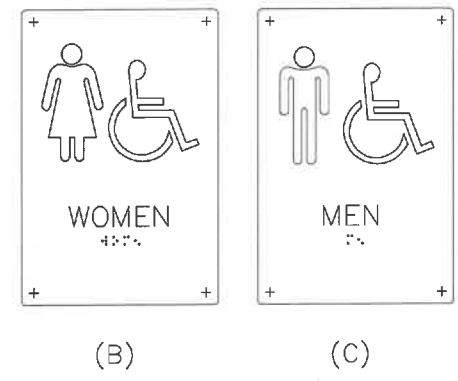


INSTALL PER DETAIL 5. TEXT MAY VARY. SEE PLANS, OR DOOR SCHEDULE FOR LOCATIONS AND TEXT. SEE DETAIL 7 FOR SIGN MOUNTING HEIGHTS.

2 INTERIOR EXIT SIGN NOT TO SCALE



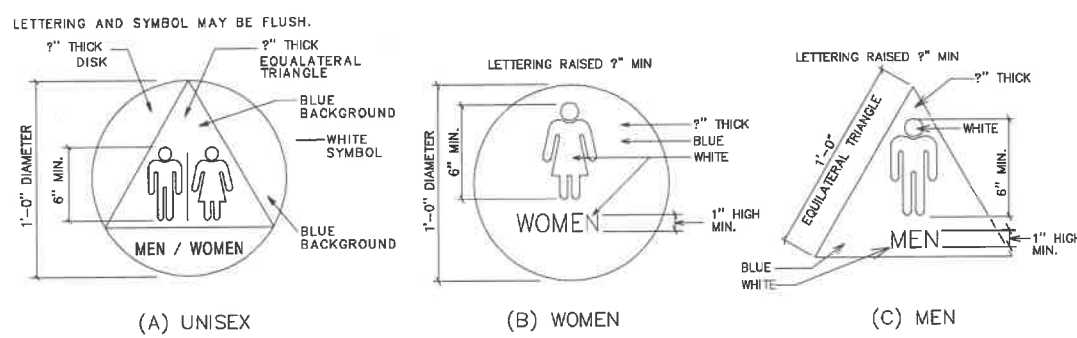
3 RESTROOM / SHOWER ROOM SIGNS NOT TO SCALE



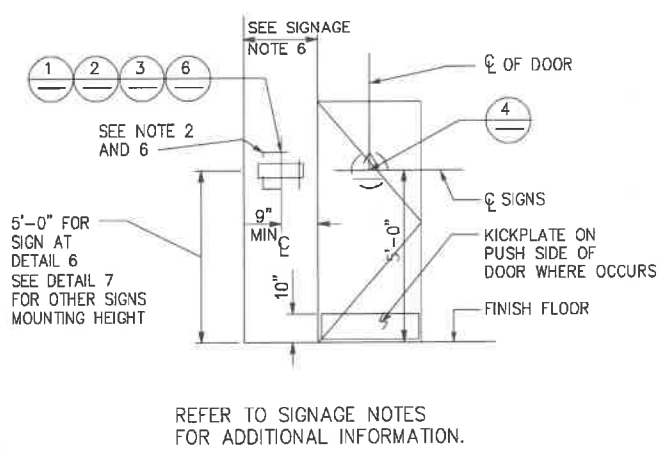
INSTALL PER DETAIL 5. SEE DETAIL 7 FOR SIGN MOUNTING HEIGHT.

SIGNAGE NOTES:

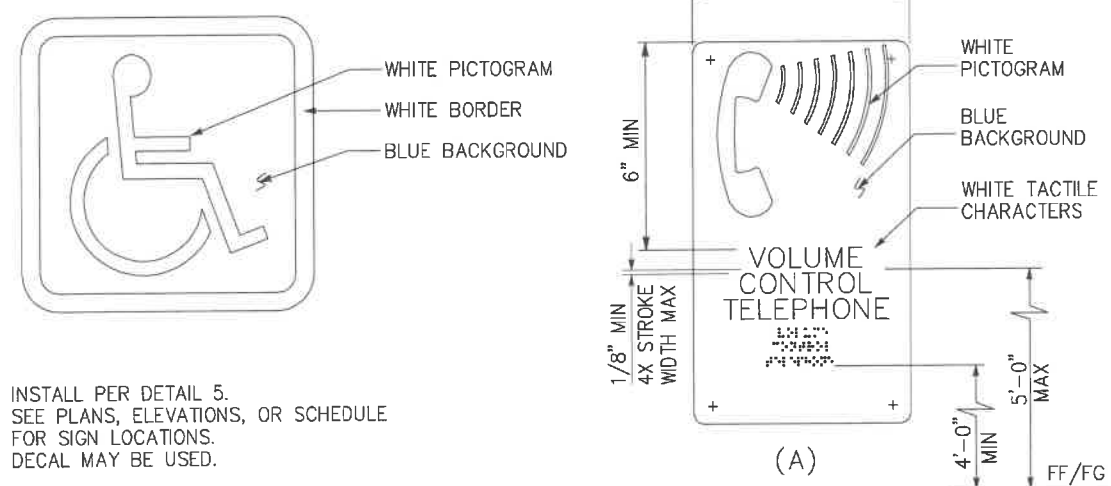
1. Locate room identification signs, exit signs, and restroom signs on wall adjacent to door on latch side. If wall space is not available on latch side, locate on nearest adjacent wall. Locate sign on inactive leaf at double doors, or to the right of right hand door at double doors with two active leaves.
2. Refer to specifications for sign material and other color selection. Except Detail 6, sign colors may vary from details.
3. See door schedule for text and sign location, UON.
4. Contracted Braille: dots shall be 1/10" OC in each cell with 2/10" space between cells measured from the second column of dots in the first cell to the first column of dots in the second cell. Dots shall be raised a minimum of 1/40" above the background. Dots shall be domed or rounded.
5. Tactile characters shall be uppercase sans serif raised 1/16" min. Fonts shall be selected where width of letter "O" is 60% min and 110% max of height of letter "I". Stroke thickness of letter "I" is 10% min and 20% max of height of the character.
6. Provide 18"x18" min clear floor space in front of and centered on any tactile sign.
7. Sign color shall have a minimum of 70% contrast to door or wall color. Text and pictogram shall have a minimum of 70% contrast to sign color.
8. Tactile character height is measured based on height of uppercase letter "I".



4 RESTROOM / SHOWER ROOM IDENTIFICATION SYMBOLS NOT TO SCALE

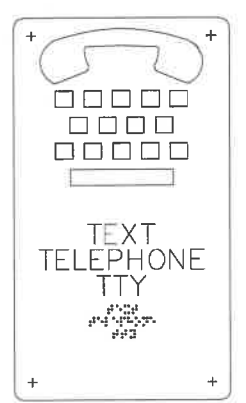


5 SIGN LOCATIONS NOT TO SCALE

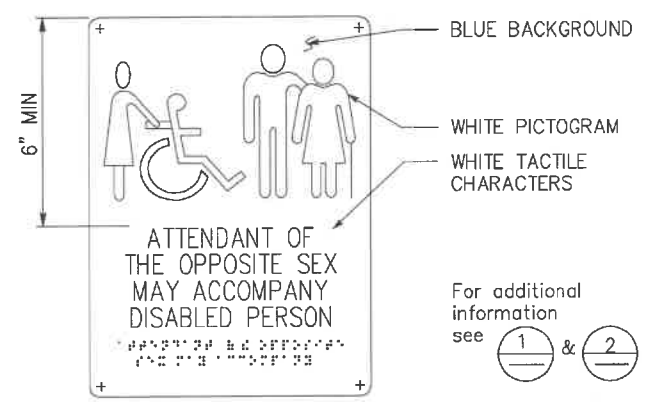


INSTALL PER DETAIL 5. SEE PLANS, ELEVATIONS, OR SCHEDULE FOR SIGN LOCATIONS. DECAL MAY BE USED.

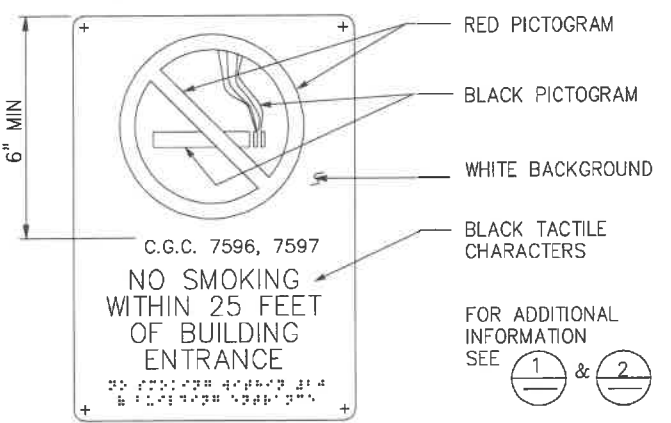
6 INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN NOT TO SCALE



7 TELEPHONE SIGNS NOT TO SCALE



8 RESTROOM ACCOMPANY SIGN NOT TO SCALE



9 NO SMOKING SIGN NOT TO SCALE

LICENSED ARCHITECT
 ROBERT A. MASSATTI
 C-12848
 06-30-2023
 STATE OF CALIFORNIA
Robert A. Massatti

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PROJECT:
PROPOSED GAS STATION / EXPRESS CARWASH CENTER
 1912 NEVADA CITY HWY
 GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION:

CURRENT ISSUE DATE:
 02/07/23

ISSUED FOR:
PERMIT REVIEW

JOB#

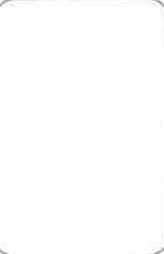
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 CHECKED BY:
 APPROVED:

SHEET TITLE:
 ADA INFORMATION

SHEET #

C-4.0

Sam Harned Landscape Architecture
 P.O. Box 2275
 Oakdale, CA 95361
 209-386-7376
 www.harned.com



Project:
GAS STATION AND CAR WASH
 1912 NEVADA CITY HWY, GRASS VALLEY, CA

Revision:
 No. Desc. Date

Date: 18 Nov 2022
 Drawn: RSH
 Checked: RSH
 Project No.: 22-059
 Scale: 1" = 20'-0"

Sheet:
Preliminary Landscape Plan

CONCEPT PLANT SCHEDULE

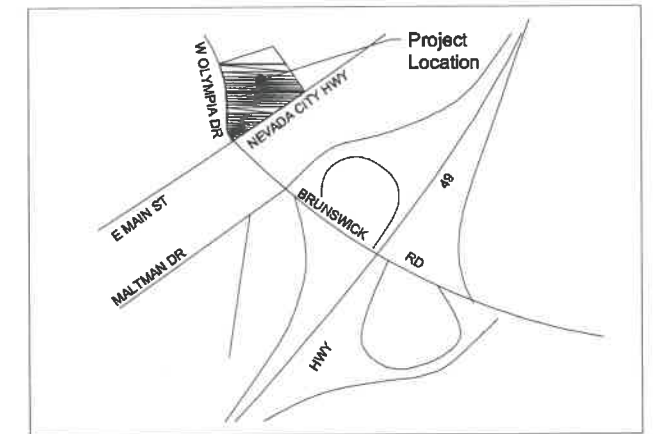
	PARKING LOT SHADE TREE Deciduous shade tree at parking areas to meet minimum City requirement (1 tree / 5 spaces) Acer truncatum x planifolius 'Warrenred' / Pacific Sunset® Maple Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	3	15 gal. 15 gal.
	SHADE / PERIMETER TREE Shade tree along perimeter to meet City requirements (1 tree @ 25' o.c.) Calocedrus decurrens / Incense Cedar Umbellularia californica / Bay Laurel	21	15 gal. 15 gal.
	STREET TREE Tree along street frontage to meet City minimum requirements (1 tree each 30') Acer rubrum 'October Glory' / October Glory Red Maple Lagerstroemia indica / Grape Myrtle	7	15 gal. 15 gal.
	ACCENT TREE Small to medium tree with interesting form or flowers. Acer palmatum / Japanese Maple Cercis occidentalis / Western Redbud	2	15 gal. 15 gal.
	EVERGREEN SHRUB / HEDGE Small to medium evergreen shrub, 3'-5' height Ilex vomitoria 'Nana' / Dwarf Yaupon Holly Rhapidolepis umbellata 'Minor' / Dwarf Yedda Hawthorn	174	5 gal. 5 gal.
	BUFFER SHRUB Medium to large shrubs for mass planting and buffers Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita Heteromeles arbutifolia / Toyon Rhamnus californica 'Eve Case' / Eve Case Coffeeberry	14	5 gal. 5 gal. 7 gal.
	ACCENT SHRUB Small to medium shrub with interesting form or color, for use at entries and high visibility areas. Dielsia iridifolia / Fortnight Lily Kniphofia uvaria / Red Hot Poker Salvia microphylla / Graham Sage Salvia x 'Celestial Blue' / Celestial Blue Sage	25	5 gal. 5 gal. 5 gal.
	INFILL SHRUB Small to medium shrub for mass planting Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush Muhlenbergia capillaris / Pink Muhly Grass Muhlenbergia rigens / Deer Grass	18	5 gal. 5 gal. 5 gal.
	LOW EVERGREEN GROUND COVER Evergreen ground cover for mass planting, 6"-18" tall Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita Baccharis pilularis 'Pigeon Point' / Pigeon Point Coyote Brush Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	1,792 sf	207 1 gal. 36" oc 75 1 gal. 60" oc 117 1 gal. 48" oc
	ACCENT GROUND COVER Ground cover with interesting flowers or texture, 12"-24" height Salvia sonomensis / Creeping Sage Zauschneria californica / California Fuchsia	739 sf	48 1 gal. 48" oc 86 1 gal. 36" oc

WELO COMPLIANCE

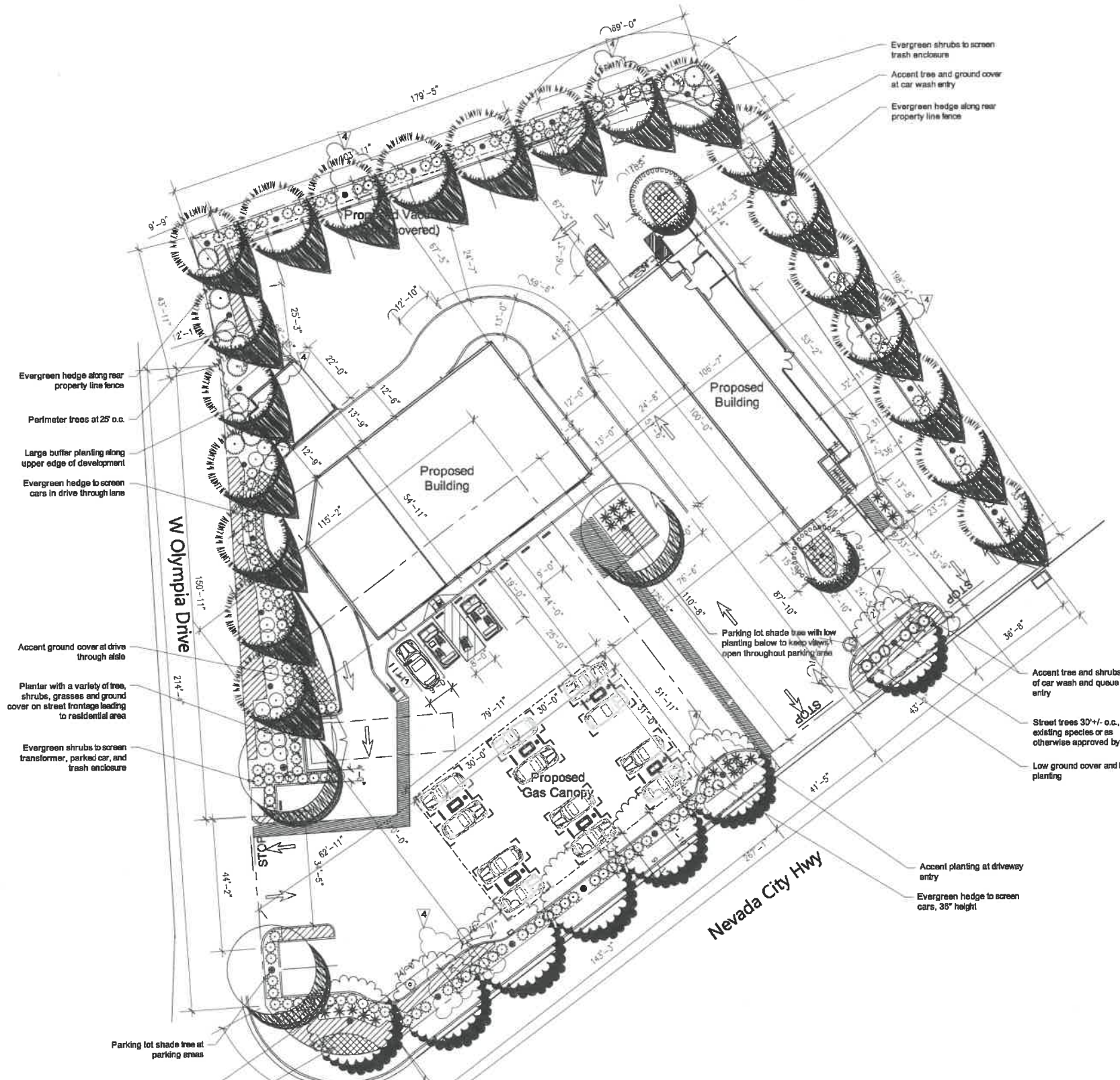
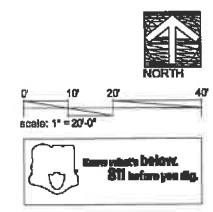
This project has been designed to conform with the State's Model Water Efficient Landscape Ordinance (MWELO).

IRRIGATION DESIGN
 The irrigation on the site will use drip irrigation, will meet the City's requirements, and will comply with the requirements of WELO. Equipment will include dedicated irrigation meter, smart controller, weather sensor, and efficient irrigation emitters, nozzles, and other equipment.

PLANTING DESIGN
 The landscape design uses water-wise plant species suitable for this region and that are low maintenance and durable, uses trees to shade paved areas, and plants have been grouped into hydro-zones. References used for the landscape design include published information from the local jurisdiction, Sunset Western Garden Book and WUCOLS.



VICINITY MAP : nts



LANDSCAPE AREA CALCULATIONS

Total Site Area:	56,192 sf.
Total Landscape Area:	8,131 sf.
Percentage of Total Site as Landscape:	14 %

PARKING LOT TREE REQUIREMENTS

Number parking spaces:	11
Req'd trees (1 tree per 5 parking spaces):	3
Trees Provided:	3

PRELIMINARY WELO CALCULATIONS

The calculations provided below are an initial estimate of water usage for the planting and irrigation design being proposed with this plan. Hydrozones are approximated and may change with the final design, but the overall intent will remain and compliance with WELO will be achieved.

City (ETo):	Grass Valley (47.7)				
Plant Type	Water Use (per WUCOLS)	Type of Irrigation (E)	Plant Factor	Hydrozone Area (sf)	ETWU (gal.)
Shrubs	Moderate	Drip (0.81)	0.5	2,557 sf	46,679
Shrubs	Low	Drip (0.81)	0.3	5,574 sf	61,054
Total:				8,131 sf	107,733
Estimated Total Water Use (ETWU):	107,733 gal.				
Maximum Applied Water Allowance (MAWA):	18,210 gal.				
Estimated Average ETAF:	0.45				
Maximum Allowable ETAF:	0.45				

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PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER**
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

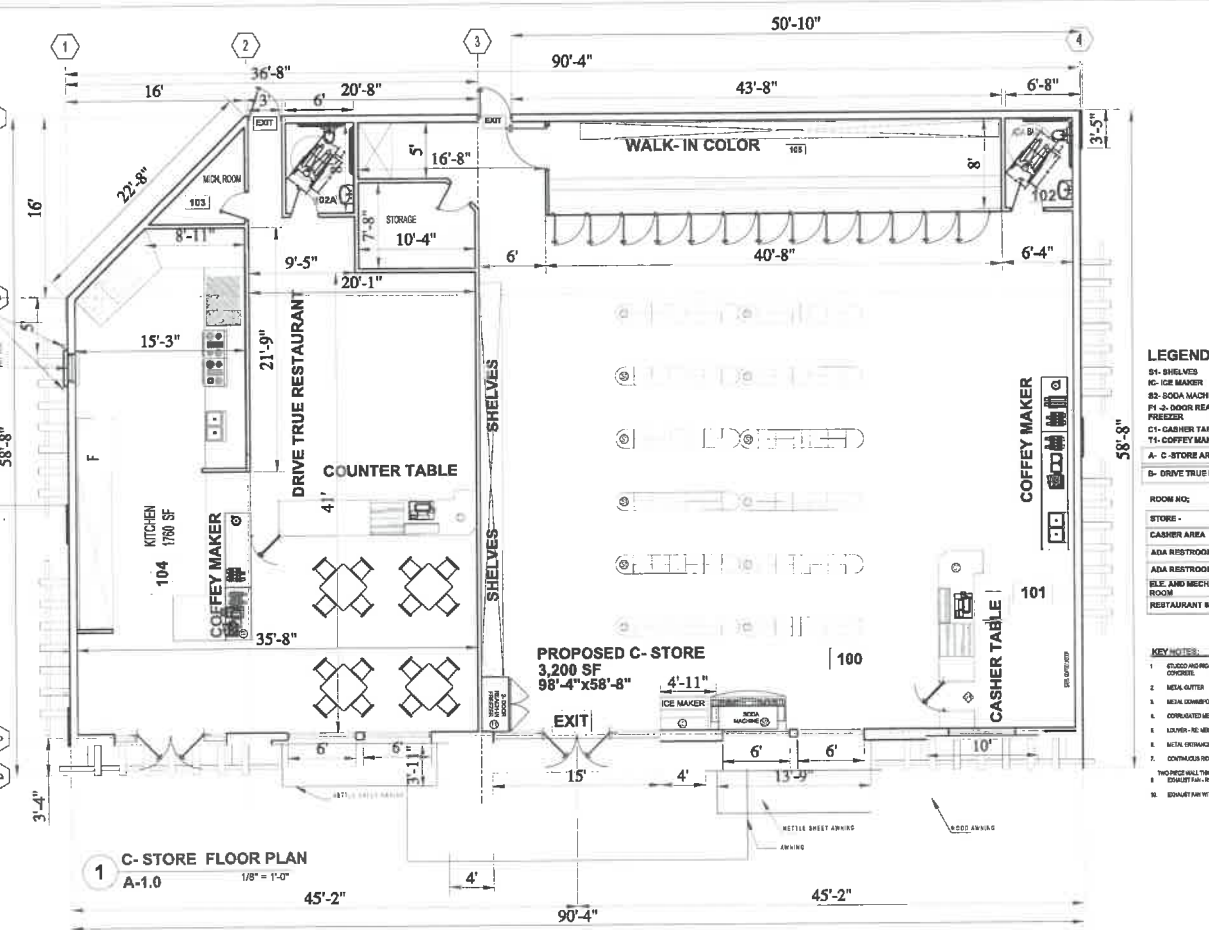
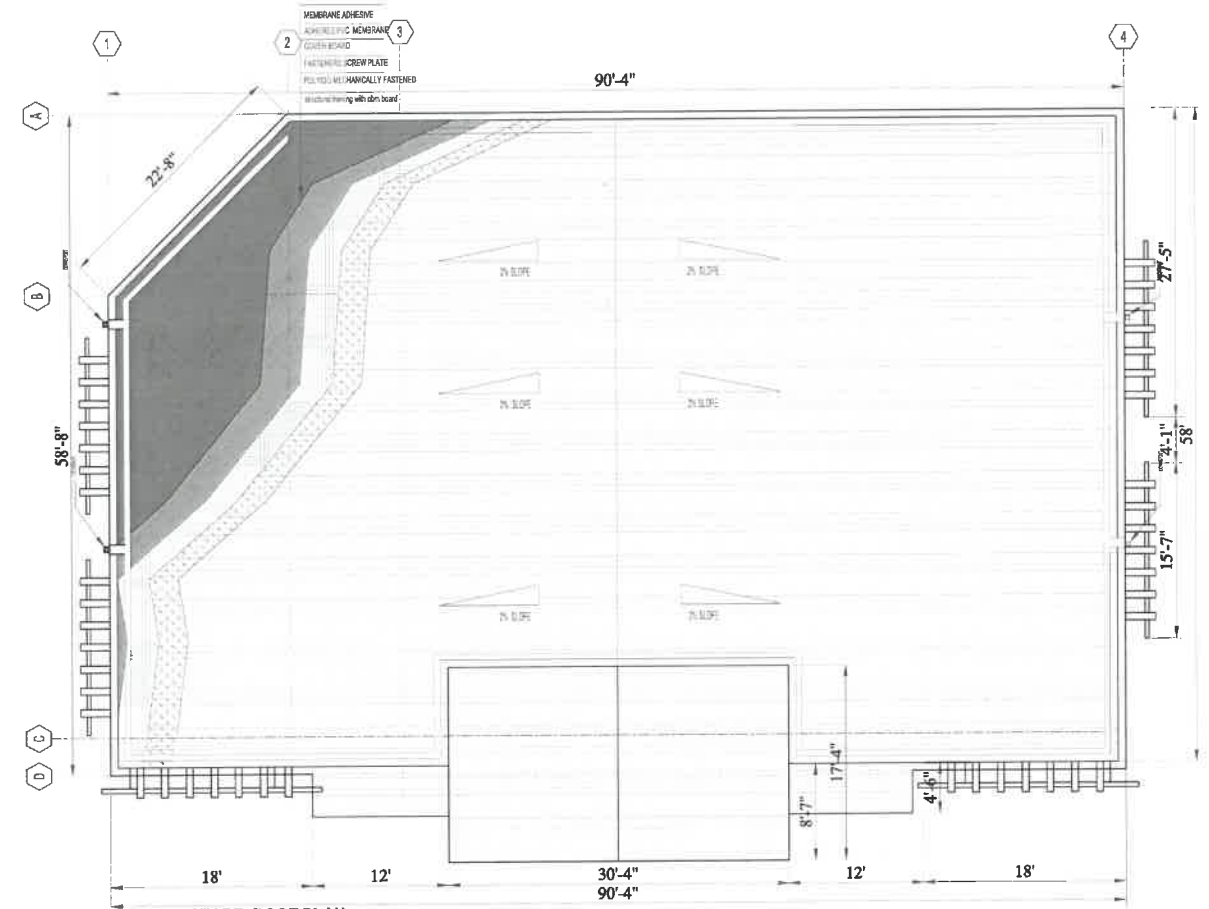
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CURRENT ISSUE DATE:
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01/26/2023
JOB #

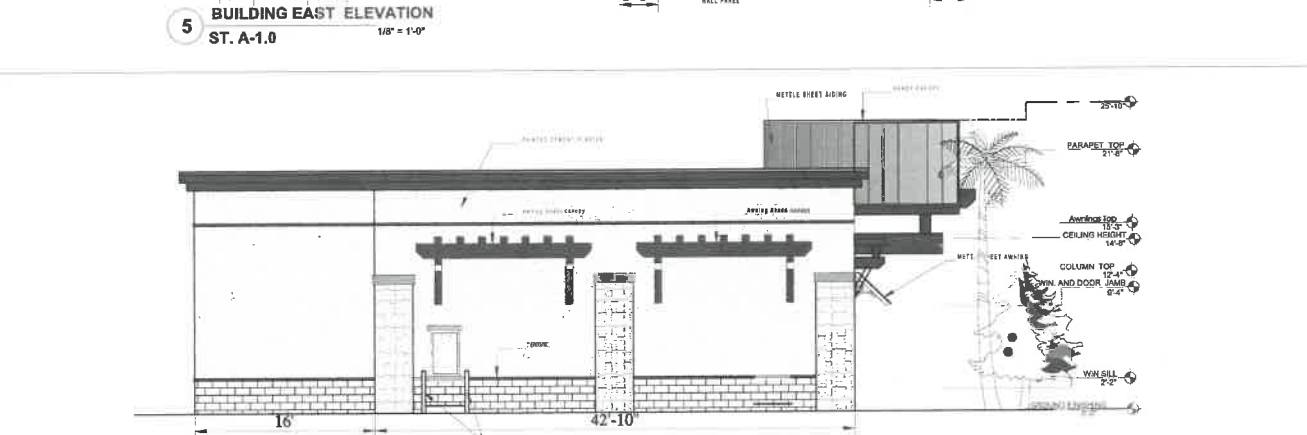
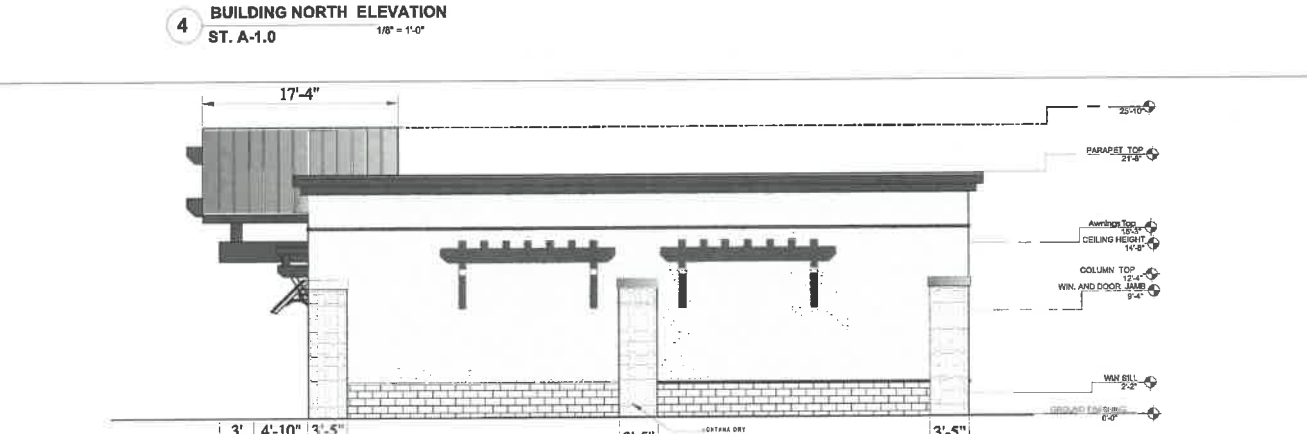
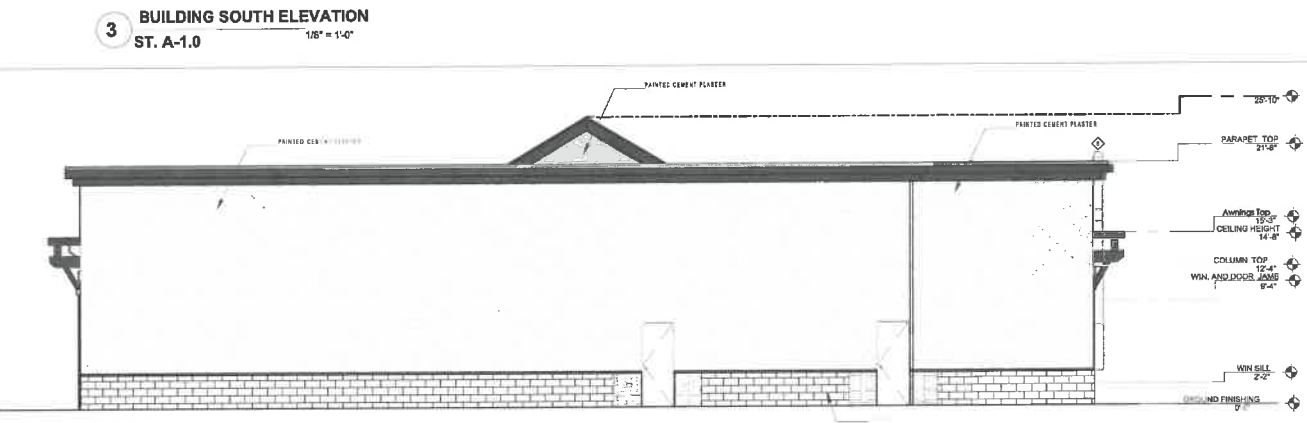
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
**C-Store Building plan, elevations &
roof plan and drive true restaurant**

SHEET #
A-1.0



- LEGEND :**
- S1- SHELVES
 - S2- ICE MAKERS
 - S3- SODA MACHINE
 - PL - DOOR REACH-IN FREEZER
 - C1- CASHIER TABLE
 - T1- COFFEE MAKER
- ROOMS:**
- A. C-STORE AREA 3200 SF
 - B. DRIVE TRUE RESTAURANT 1800 SF
- ROOMS AC:**
- STORAGE 140
 - CASHIER AREA 151
 - ADA RESTROOM 162
 - ADA RESTROOM 162
 - ELECT. AND MECHANICAL ROOM 154
 - RESTAURANT KITCHEN 154
- KEY NOTES:**
1. ELUCID AND/OR MELLOR SYSTEM OVER CONCRETE.
 2. MECA NOTED.
 3. MECA COMPARTMENT WITH SLURRY BLOCK.
 4. CORRAL/GUTTER METAL ROOF PANELS IN MECA ROOM.
 5. LUMBER-RE MECA.
 6. MECA BRIDGE GROUP.
 7. CONTAINERS NOTED.
 8. TRUCKS WILL TOWEL AND TRUCK PLATE FOR OFFICE.
 9. CONCRETE FOR MECA.
 10. SHOWER PAN WITH SLOPE TO DRAIN TO MECA.



- KEYNOTE :**
- A- BATT INSULATION
 - B- WOOD FRAMING
 - C- EXTERIOR GRADE SHEATHING
 - D- LAYERS OF WRB.
 - E- LATH
 - F- LATH FASTENERS- TYPES & SPACING PER PART C- 1303
 - G- MORTAR BEDDING COAT
 - H- MORTAR BEDDING BED
 - I- ADHERED CONCRETE MASONRY VENEER
 - J- MORTAR JOINT
 - K- WRB LAPPED OVER WRB SCREEN
 - L- WEEP SCREEN
 - M- WOOD SIDING
 - N- STEEL COATED LADDER
 - O- FLASHING METAL SIDING WITH PAINT

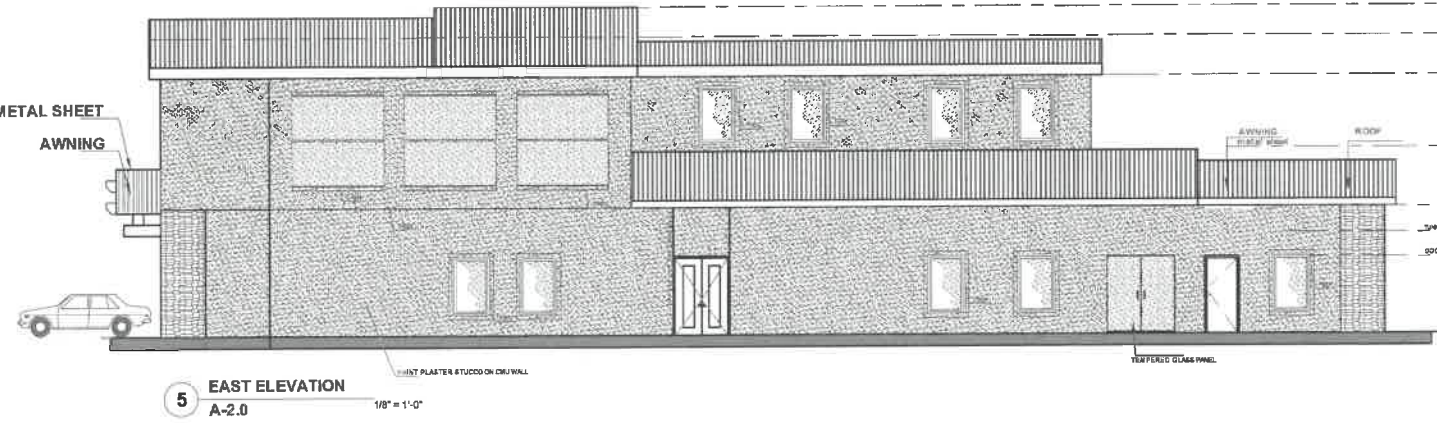
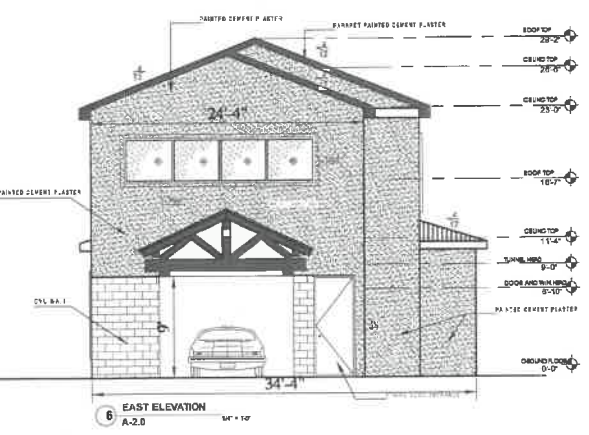
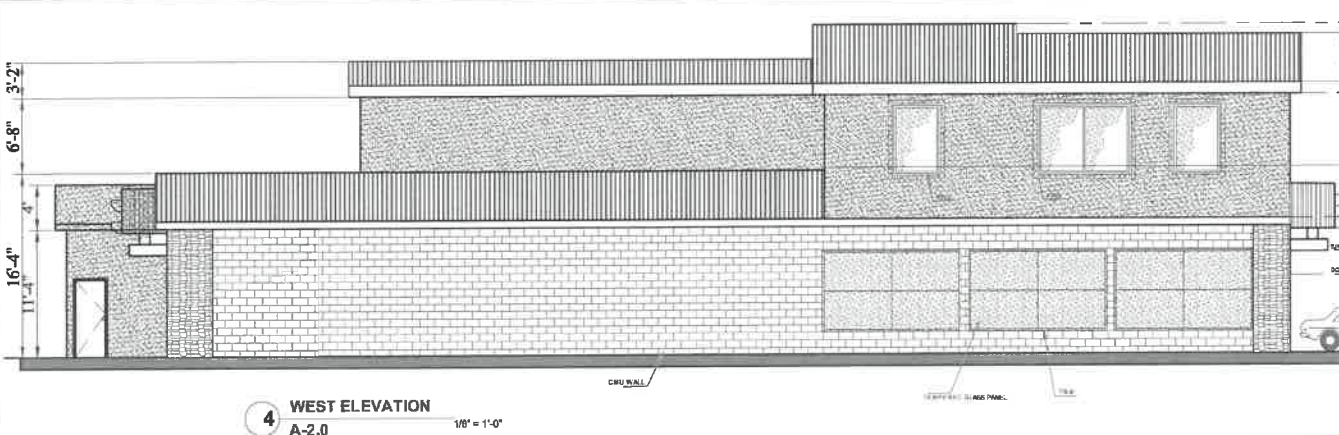
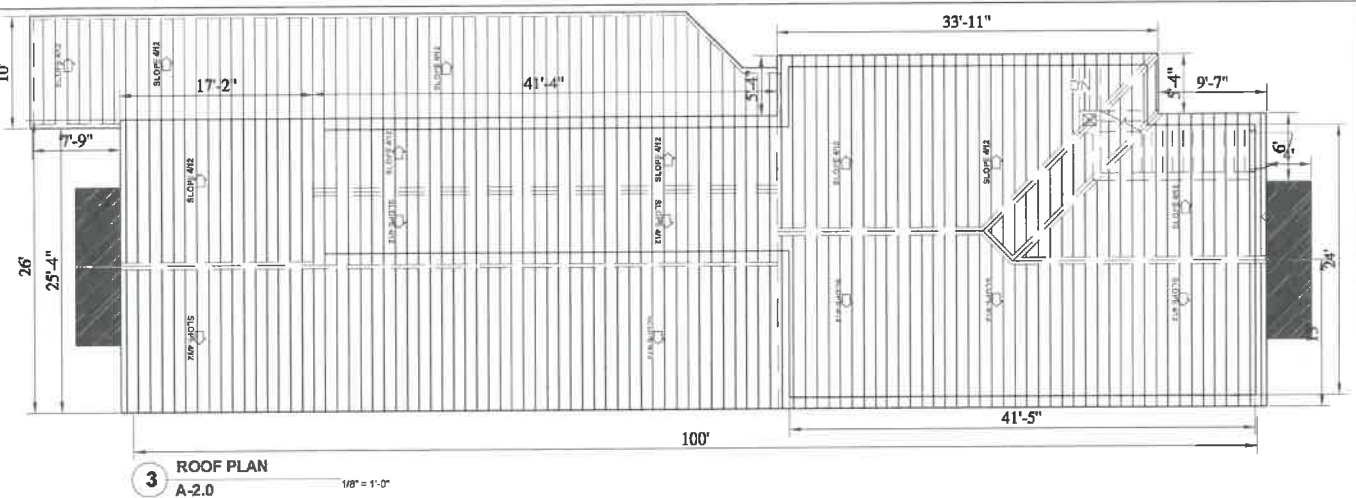
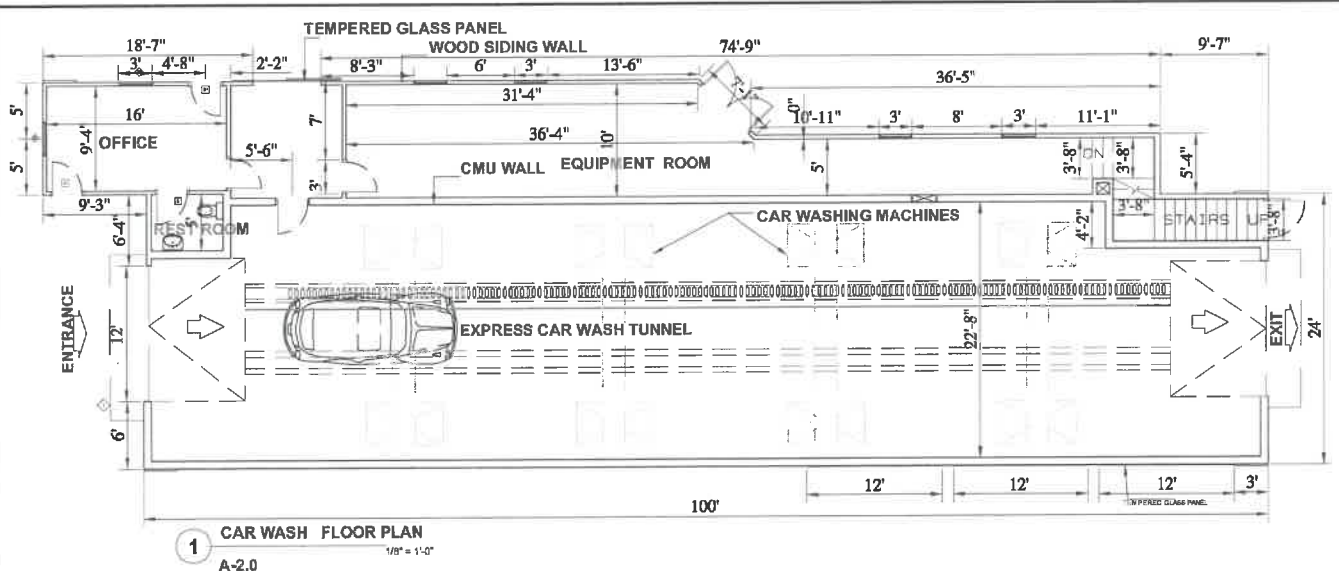
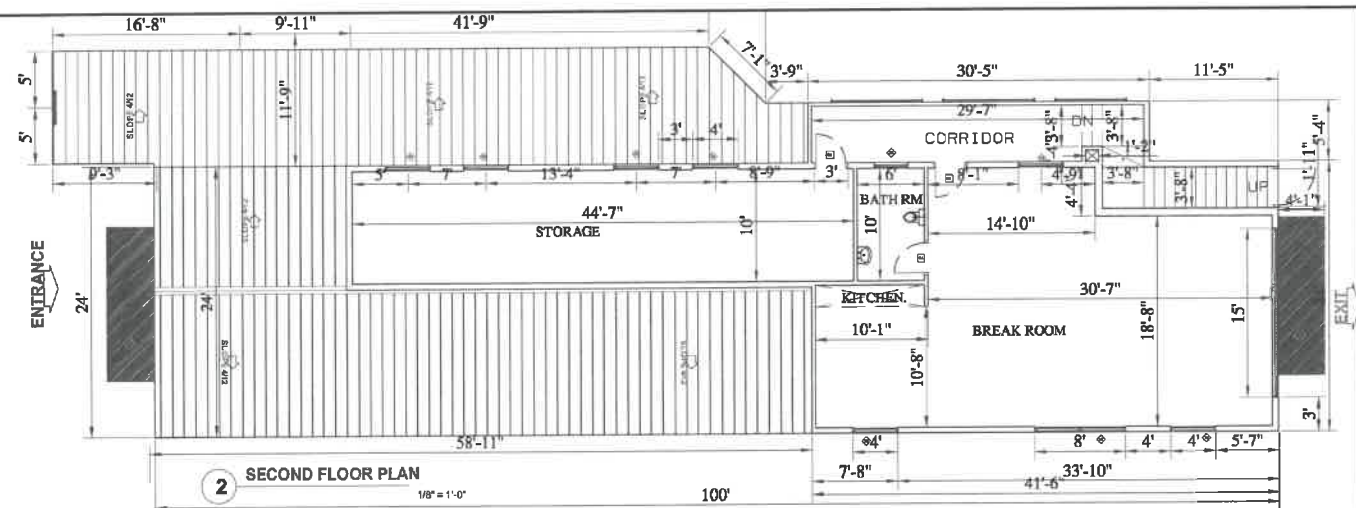




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PROJECT:
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GRASS VALLEY, CA 95945



DATE	DESCRIPTION	BY
01/12/2022	REVISION 4	

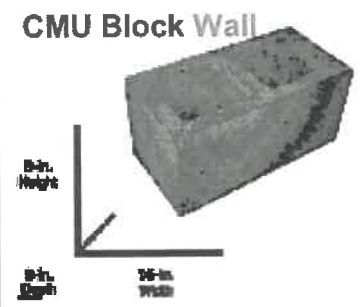
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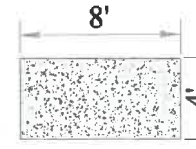
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
Expr. Carwash Building
plan, elevations & roof plan

SHEET #
A-2.0



- 1 CRISP LINEN MQS-13
- 2 RED CHIPOTEL S180-7 (1/E)
- 3 COLOR NATIVE SOIL PPU7-24 (1)
- 4 ANTIQUE TREASURE N 280-5
- 5 RED CHIPOTEL S180-7 (1/E)
- 6 ANTIQUE TREASURE N 280-5
- 7 15/32" OSB SHEATHING
- 8 CONTINUOUS ROOF VENT
- 9 METAL DRIP EDGE
- 10 RIDGED VENT
- 11 CONTINUOUS ROOF VENT
- 12 ROLL UP GARAGE DOOR
- 13 ROOFING
- 14 INSULTY CONCRETE FUL F/W FIBERGLASS W/ROCK WOOL
- 15 FLASHING METAL SIDING WITH PINT



LEGEND:
Large Pine Shalf or Porch Bracket
Large cove-shaped bracket adds period charm throughout the carwash.
ASPHALT ROOF'S ASPHALT ROOF IS THE MOST POPULAR AND PREFERRED CHOICE AMONG PEOPLE FOR RESIDENTIAL HOME. THESE TYPES OF ROOFS ARE VERY EASY TO INSTALL. IT COMES WITH WIDE VARIETY OF COLORS AND IT'S HIGHLY FIRE AND WIND RESISTANT.

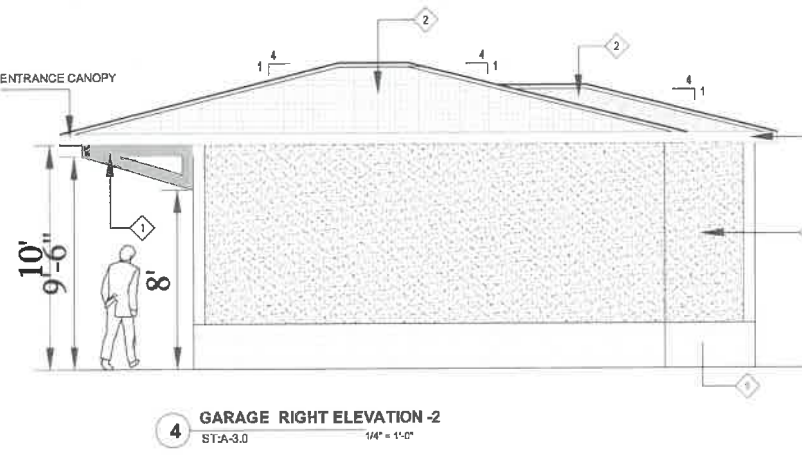
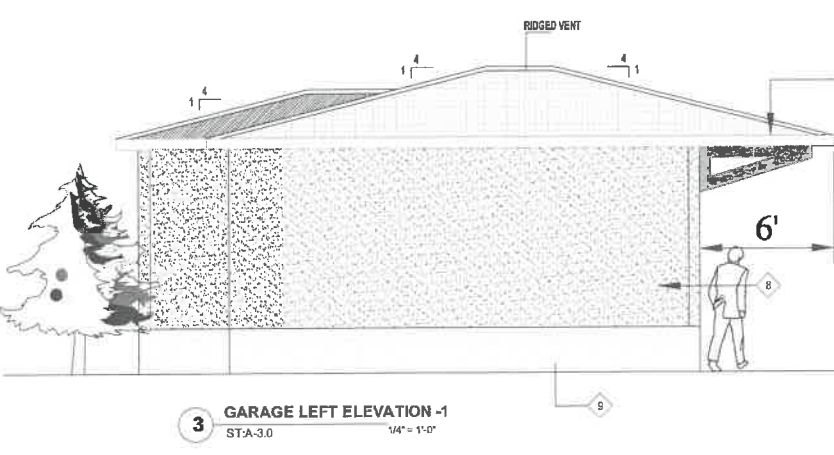
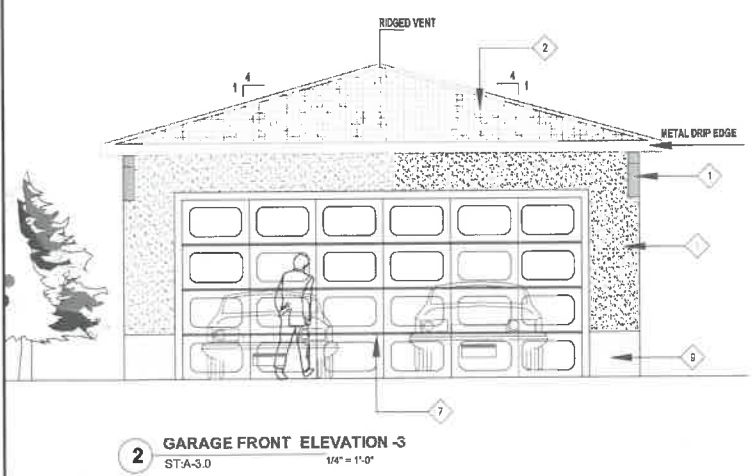
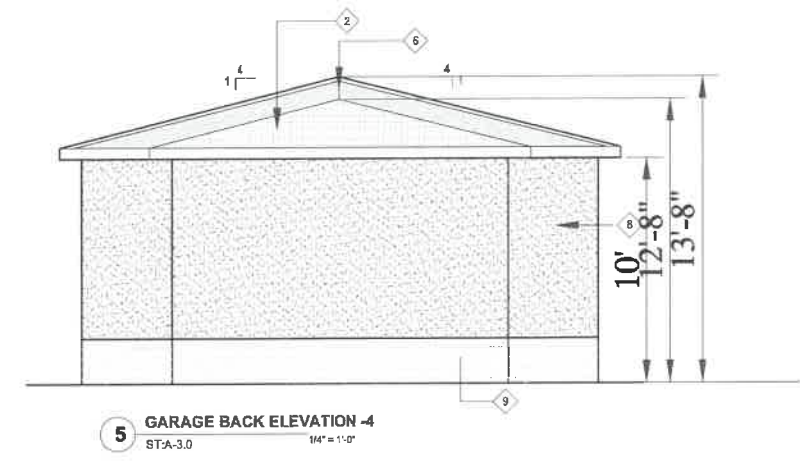
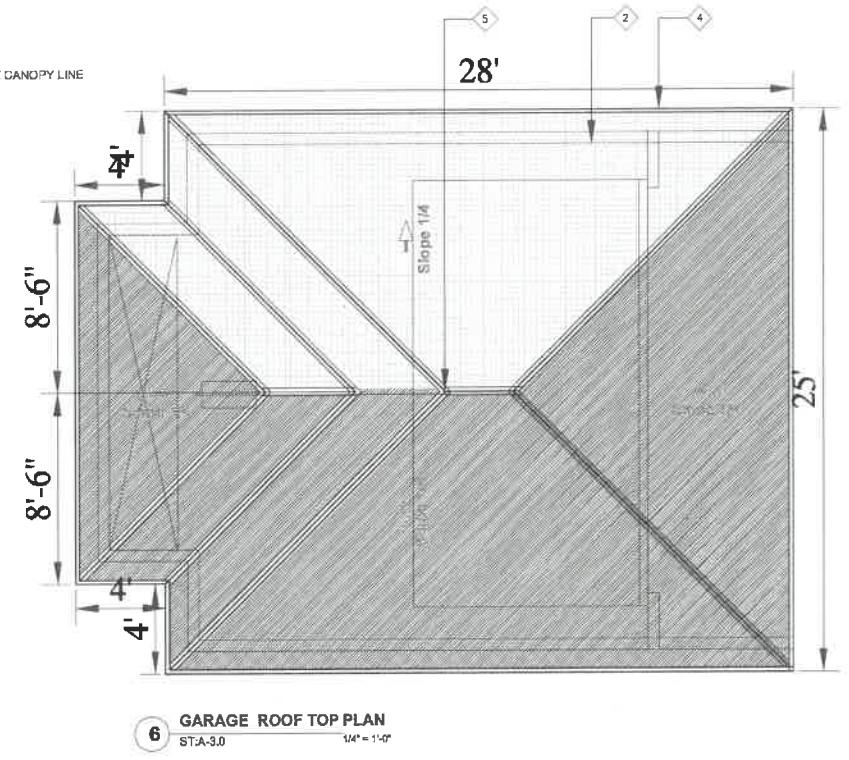
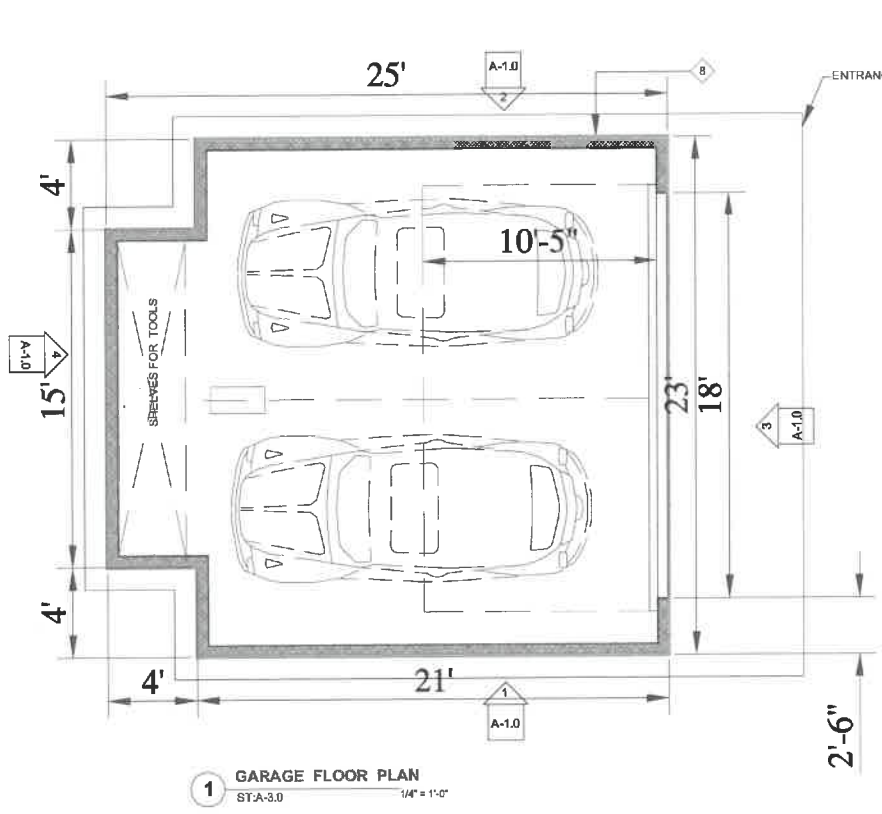




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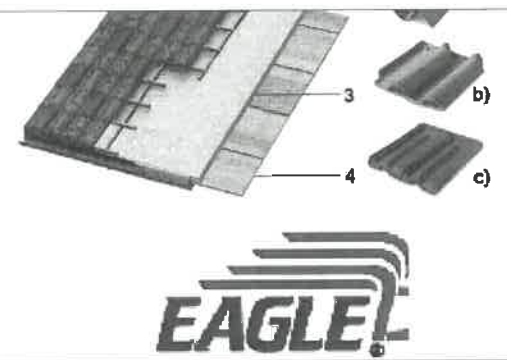


- LEGEND :**
- 1 Large Pine Shelf or Porch Bracket 6" x 6" x 2"
Large cove-shaped bracket adds period charm throughout the Garage.
 - 2 ASPHALT ROOFS ASPHALT ROOFS IS THE MOST POPULAR AND PREFERRED CHOICE AMONG PEOPLE FOR RESIDENTIAL HOME. THESE TYPES OF ROOFS ARE VERY EASY TO INSTALL. IT COMES WITH WIDE VARIETY OF COLORS AND IT IS HIGHLY FIRE AND WIND RESISTANT.
 - 3 CONTINUOUS RIDGE VENT
 - 4 METAL DRIP EDGE
 - 5 RIDGED VENT
 - 6 CONTINUOUS RIDGE VENT
 - 7 ROLL UP GARAGE DOOR
 - 8 15 /32" OSB SHEATHING WITH PAINTED PLASTER
 - 9 MASONRY CONCRETE WALL FLASHING HEIGHT 6" ABOVE GROUND

BEHR PREMIUM PLUS 5 gal. RANGE 13 Chip Lithium Base Em.

CRISP LINEN MQ3-13 RED CHIPOTEL S160-7 (I/E) COLOR NATIVE SOIL PPU7 -24 (1) ANTIQUE TREASURE N 280-5 RED CHIPOTEL S160-7 (I/E) ANTIQUE TREASURE N 280-5 15 /32" OSB SHEATHING

1 CONTINUOUS RIDGE VENT 2 METAL DRIP EDGE 3 RIDGED VENT 4 CONTINUOUS RIDGE VENT 5 ROLL UP GARAGE DOOR 6 WOODSIDE 7 MASONRY CONCRETE WALL 4"X8"X16" HEIGHT 6" ABOVE GROUND 8 FLASHING METAL SIDING WITH PINT



REVISIONS:

DATE:	DESCRIPTION:	BY:
11/12/2022	REVISED	

CURRENT ISSUE DATE:

ISSUED FOR :
02 /07/2023

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APPROVED:

SHEET TITLE:
DETAILING GARAGE PLAN
ROOF PLAN & ELEVATIONS

SHEET #
A-3.0



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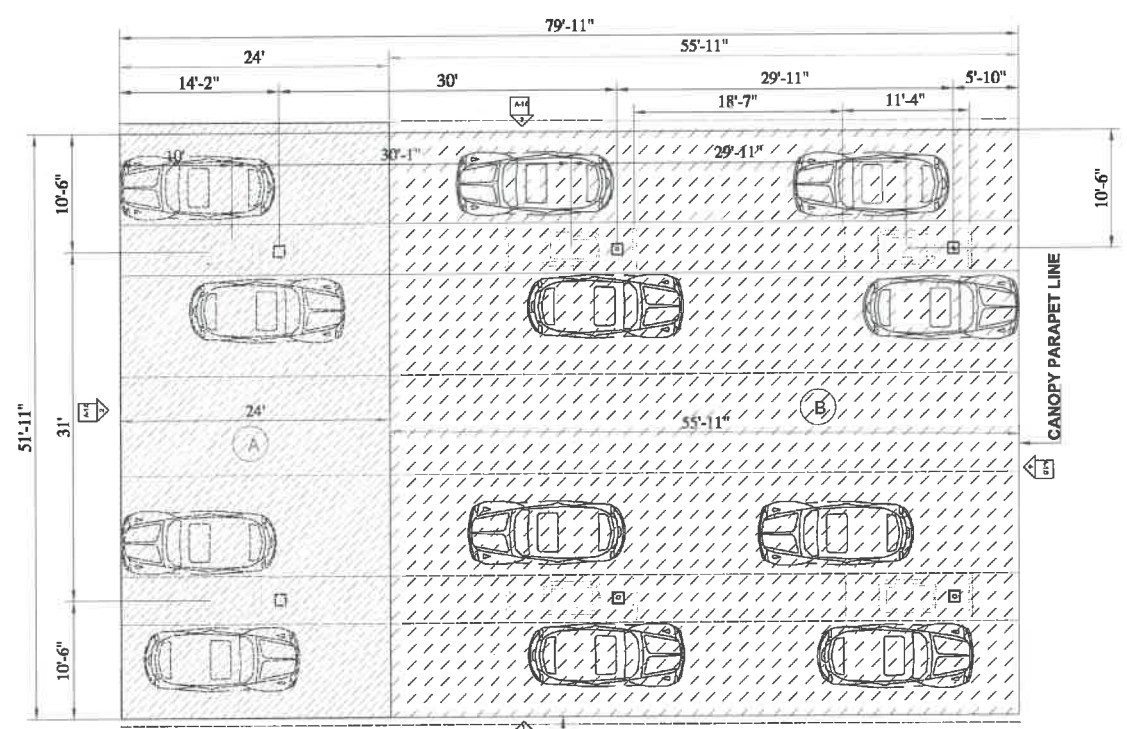
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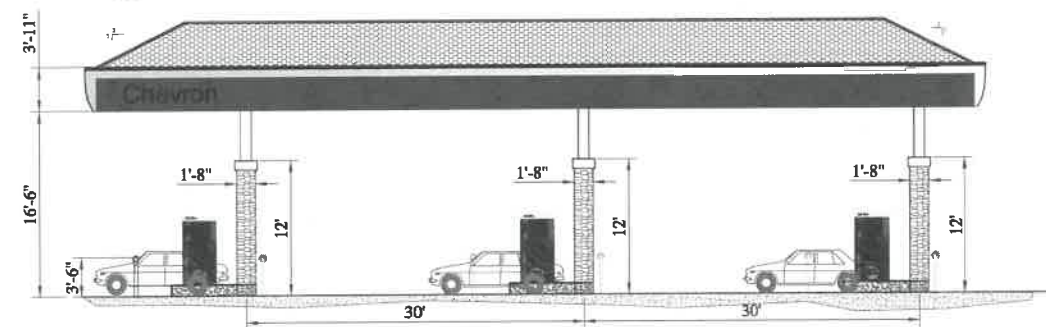
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APPROVED:

SHEET TITLE:
GAS STATION PLAN, &
ELEVATIONS

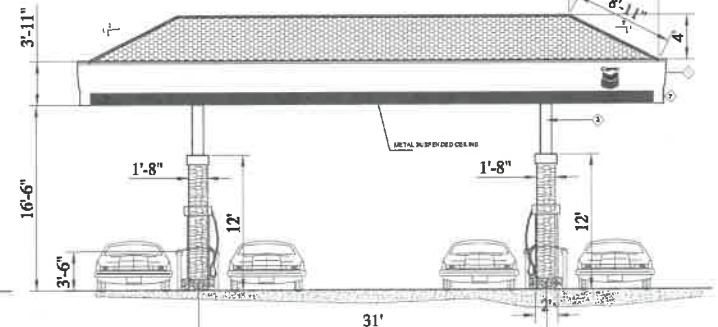
SHEET #
A-4.0



1 GAS STATION PLAN
ST. A-1.0 1/4" = 1'-0"



2 ELEVATION -1 AND 3
ST. A-1.0 1/4" = 1'-0"



2 ELEVATION -2 AND 4
ST. A-1.0 1/4" = 1'-0"

NOTE:

A- EXISTING MPD AREA = 1248 SF

B- PROPOSED MPD AREA = 1012 SF

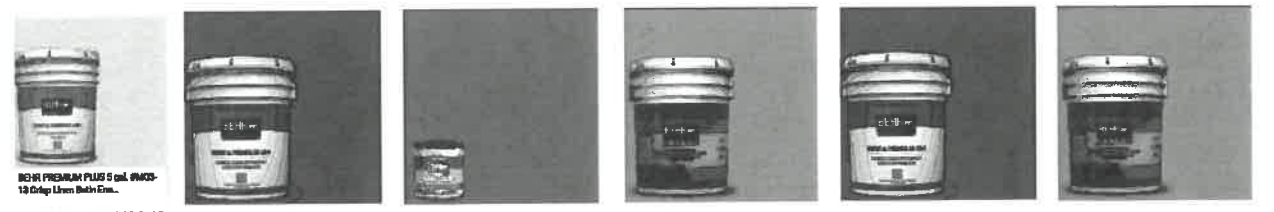
LEGEND:

- 1- FLASHING METAL SHEET SIDING QD METAL PAINT COLOR HIGH GLASS BLUE
- 2- STAINLESS STEEL FLASHING METAL SIDING
- 3- STEEL TUBE COLUMN 60"
- 4- METAL SUSPENDED CEILING

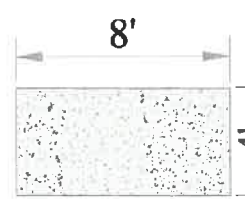
QD 90 Metal Paint Colour Chart

High gloss black	High gloss blue	High gloss green	High gloss grey
Lendover brown	High gloss red	High gloss silver	High gloss white
High gloss yellow			

PAINT COLOR CHART

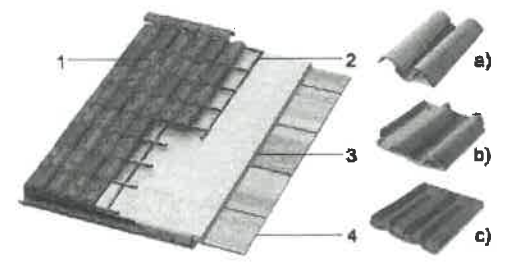


- 3 CONTINUOUS RIDGE VENT
- 4 METAL DRIP EDGE
- 5 RIDGED VENT
- 6 CONTINUOUS RIDGE VENT
- 7 ROLL UP GARAGE DOOR
- 8 WOODSIDE
- 9 MASONRY CONCRETE WALL 4"X12" X16" HEIGHT IS 24" ABOVE IN GROUND
- 10 FLASHING METAL SIDING WITH PINT



LEGEND :

- 1 Large Pine Shelf or Porch Bracket
Large cove-shaped bracket adds period charm throughout the carwash.
- 2 ASPHALT ROOFS ASPHALT ROOFS IS THE MOST POPULAR AND PREFERRED CHOICE AMONG PEOPLE FOR RESIDENTIAL HOME. THESE TYPES OF ROOFS ARE VERY EASY TO INSTALL. IT COMES WITH WIDE VARIETY OF COLORS AND IT IS HIGHLY FIRE AND WIND RESISTANT.





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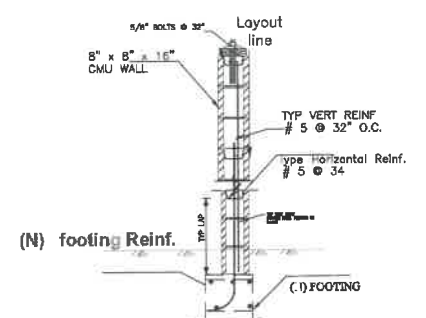
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	12/18/2021	REVISED	

CURRENT ISSUE DATE:
ISSUED FOR :
02/07/2023

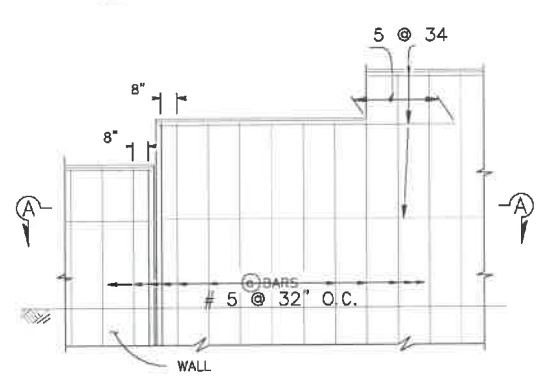
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
TRASH ENCLOSURE
DETAILS

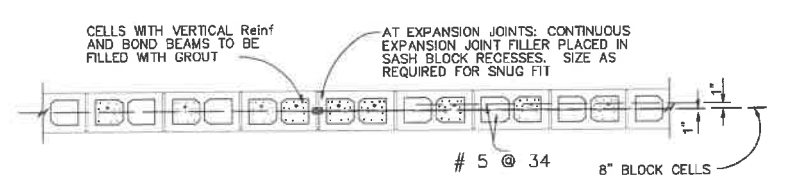
SHEET #
A-5.0



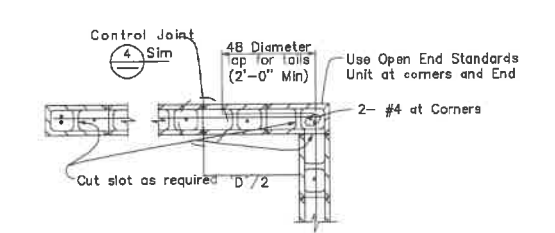
1 CMU WALL REINFORCEMENT DETAILS
A-5.0 1/8" = 1'-0"



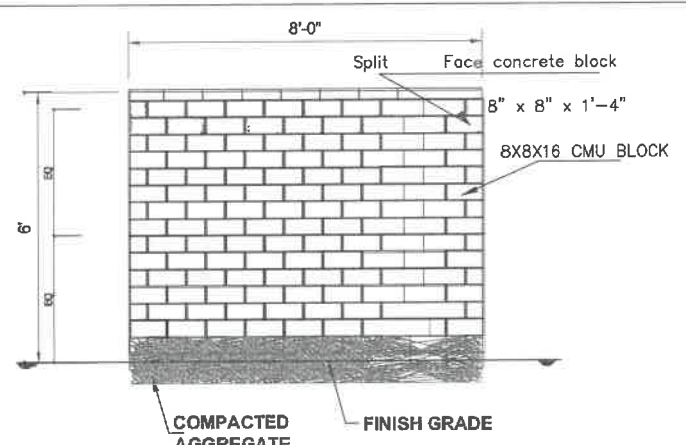
6 PART ELEVATION
A-5.0 1/8" = 1'-0"



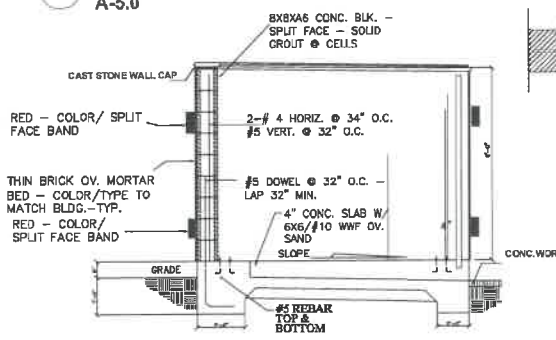
7 SECTION A-A
A-5.0 1/8" = 1'-0"



8 INTRSECTION WALL DETAILS
A-5.0 1/8" = 1'-0"

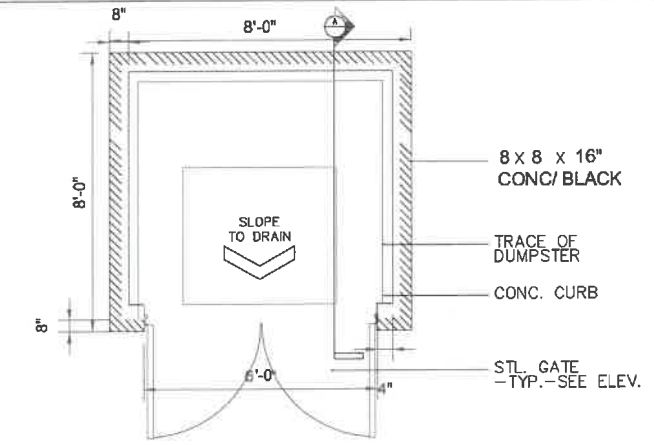


2 CMU WALL ELEV. DETAILS
A-5.0 1/8" = 1'-0"

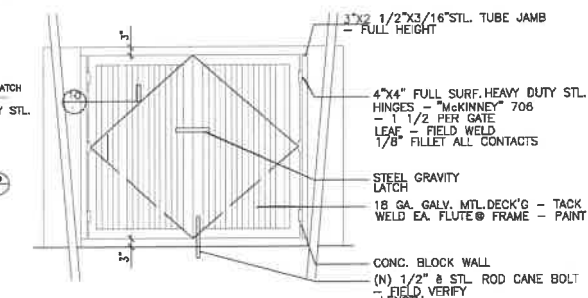


4 TRASH ENCLOSURE SECTION
A-5.0 1/8" = 1'-0"

TRASH ENCLOSURE - SECTION



3 TRASH ENCLOSURE
A-5.0 1/8" = 1'-0"



5 TRASH ENCLOSURE ELE.
A-5.0 1/8" = 1'-0"



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REVISIONS:	DATE:	DESCRIPTION:
1	10/13/2021	REVISION 4

CURRENT ISSUE DATE:

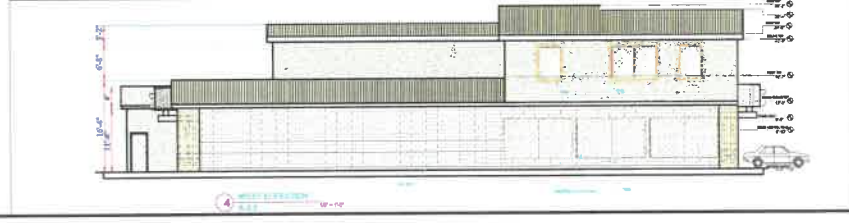
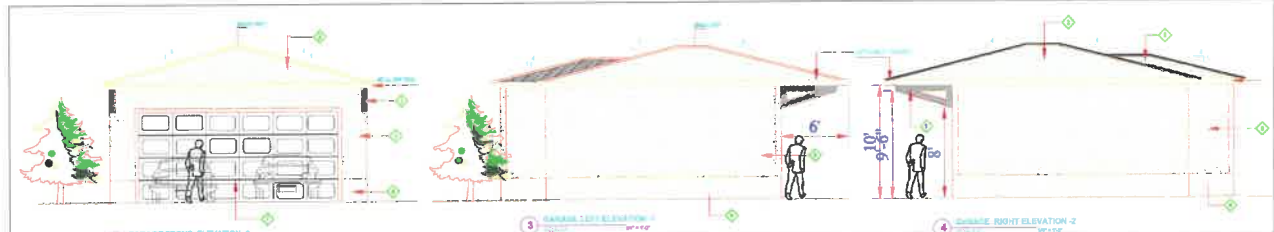
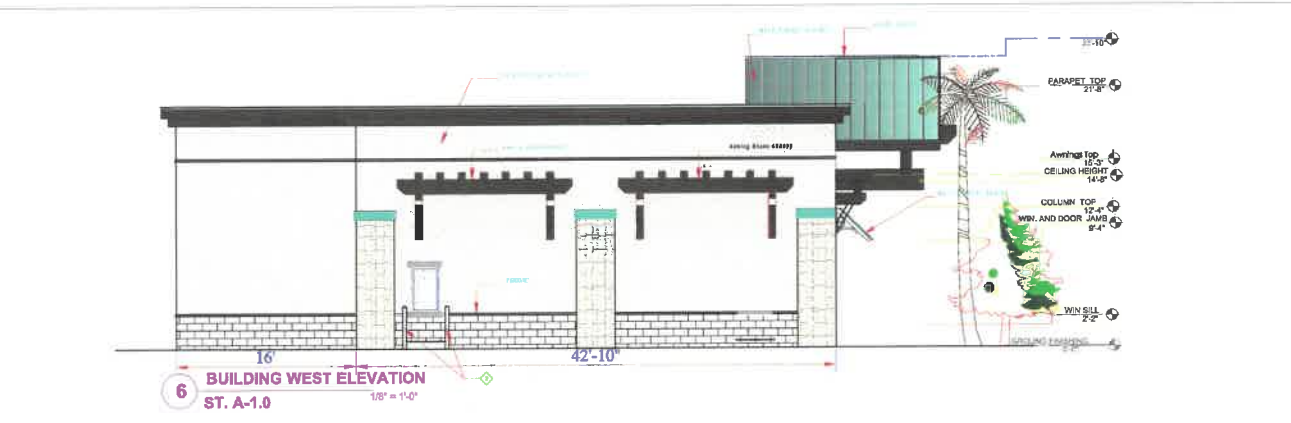
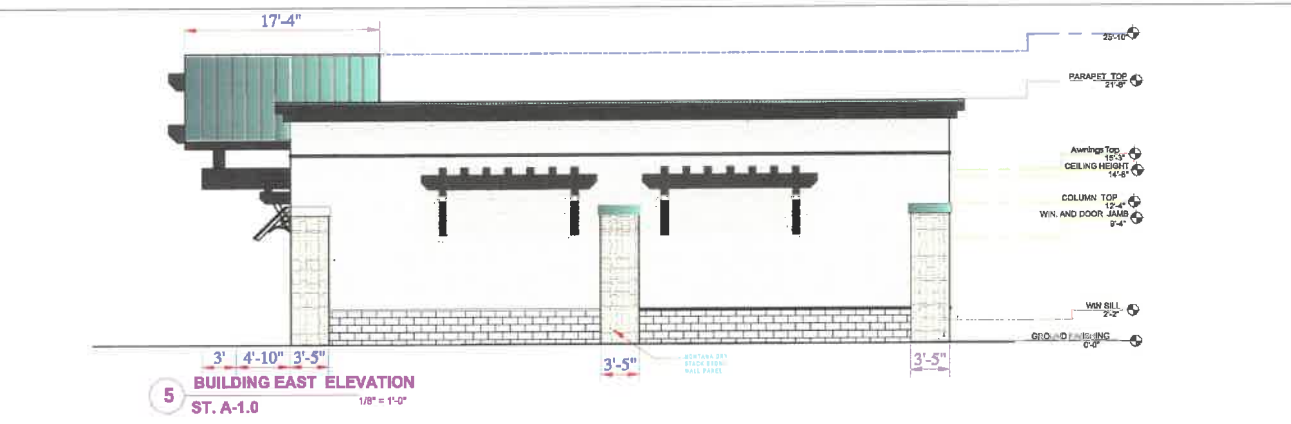
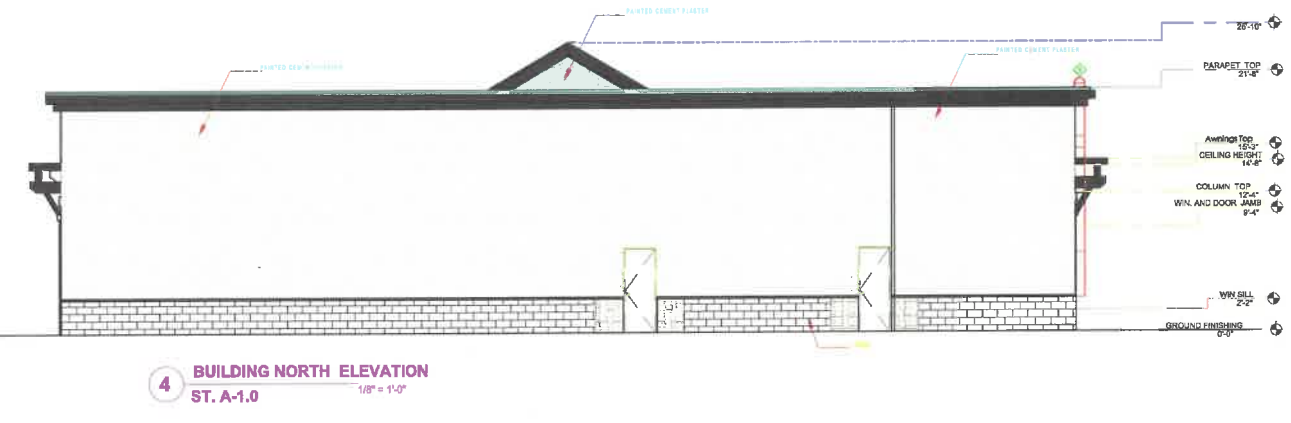
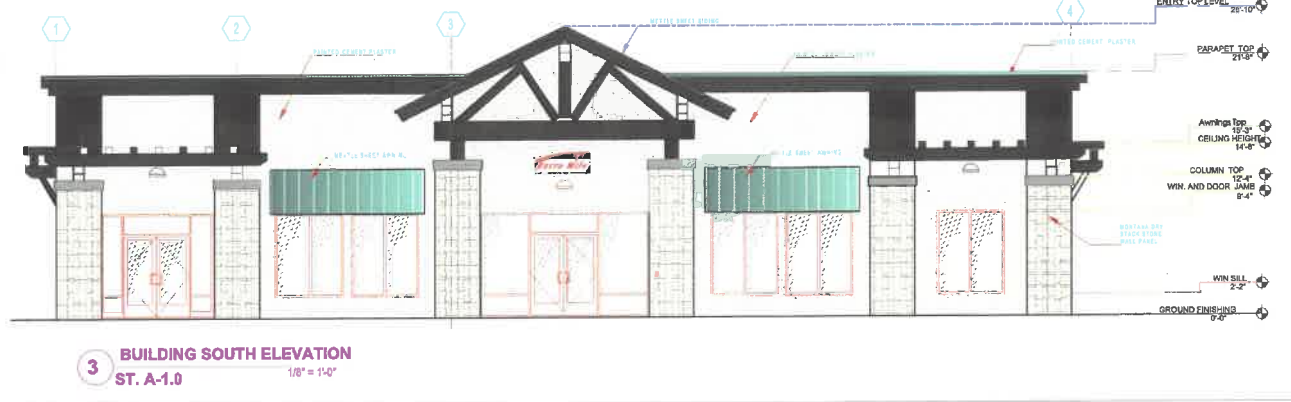
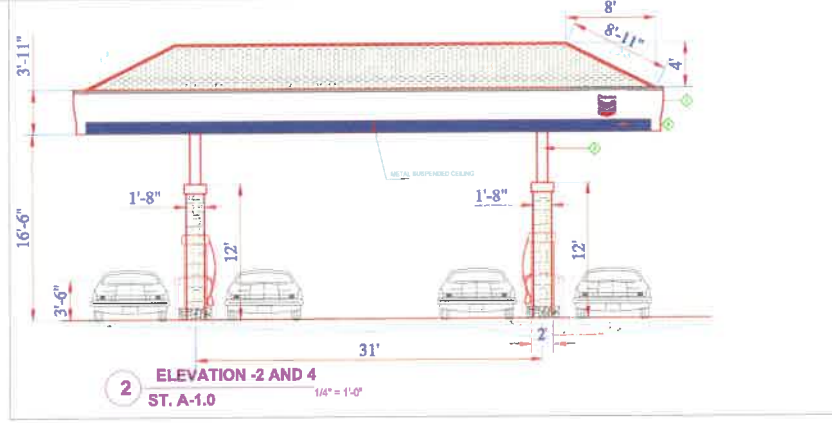
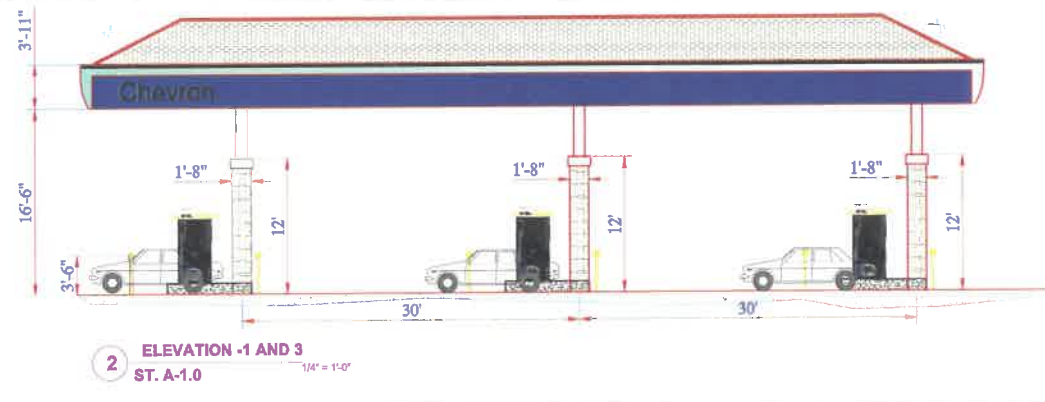
ISSUED FOR :
04/21/2022

JOB#

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE
**C-Store Building plan, elevations &
roof plan and drive thru restaurant**

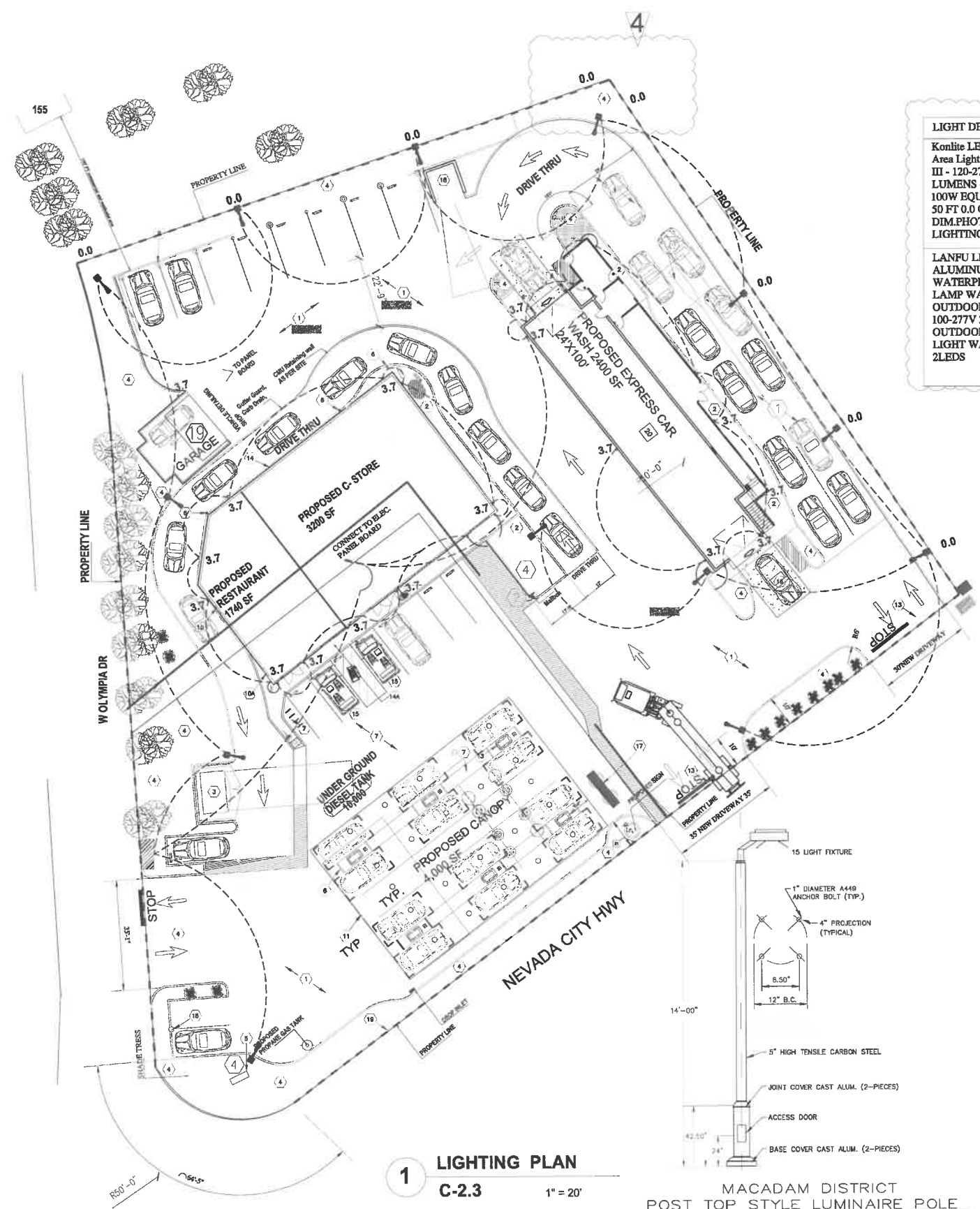
SHEET #
A-6.0



KEYNOTE :

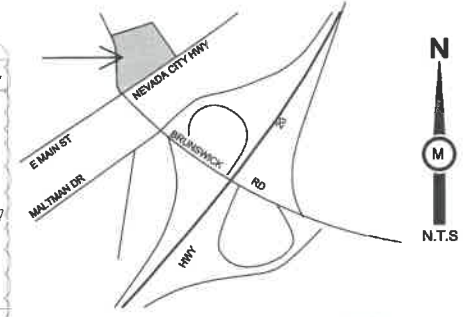
- 1- Layers Plus Stud or Purlin (bracket Legs non-clip) braced with parallel studs throughout the slope.
- 2- HIGH DENSITY SHEET PILING - 4' x 10' x 3/4" (RIB) HEAVY DUTY SHEET PILING - 1' x 12' x 3/4" (RIB) ISLANDS (RIB) MADE POLYESTER EQUIPMENT FROM DAMAGE CAUSED BY FORKLETS AND PALLET TRUCKS
- 3- PLURISTEEL (WALDO) POSTS HAVE REMOVABLE BLACK CAPS. FILL WITH CONCRETE FOR EXTRA STRENGTH.
- 4- 3 GAUGE STEEL.
- 5- FINISHED METALWORK.
- 6- CONCRETE METALIZATION KIT AND 1/2" STEEL ORDN. ANVILABLE.
- 7- DONORID STONE / STONE VENEER.
- 8- INTERIOR OFFSHORE BOARD.
- A- BATT INSULATION
- B- WOOD FRAMING
- C- EXTERIOR GRADE S-SHEATHING
- D- LAYERS OF WRB.
- E- LATH
- F- LATH FASTENERS (TYPE & SPACING PER ASTM C-108)
- G- MORTAR ISOLATION COAT
- H- MORTAR SETTING BED
- I- ADHERED CONCRETE MASONRY VENEER
- J- MORTAR JOINT
- K- WRB LAPPED OVER WRB SCREEN
- L- WRB SCREEN
- M- WOOD SIDING
- N- STEEL COATED LADDER
- O- FLASHING METAL BENEATH WRB





LIGHT DESCRIPTION	LIGHT TYPE	LIGHT SYMBOL
Konlite LED Outdoor Area Light - 40W - Type III - 120-277V - 5500 LUMENS - 5000K - 100W EQUAL 50 FT 0.0 OUTSIDE DIM.PHOTO-METRIC LIGHTING PLAN		Street Light photometric
LANFU LED ALUMINUM WATERPROOF WALL LAMP WATERPROOF OUTDOOR LIGHT 6W 100-277V 3000K OUTDOOR WALL LIGHT WARM LIGHT 2LEDS		

CITY OF GRASS VALLEY



- 1- NEW P.C.C. PAVEMENT
- 2- NEW P.C.C. SIDEWALK
- 3- NEW TRASH ENCLOSURE
- 4- NEW LANDSCAPE AREA
- 5- EXISTING MONUMENT/ PRICE SIGN TO BE RELOCATED
- 6- NEW PROTECTIVE BOLLARD
- 7- NEW BIKE RACK
- 8- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- 9- NEW VACUUM STATION
- 10- NEW PAY STATION
- 11- NEW PAY FOR ORDER FOODS
- 12- NEW OVERHEAD CANOPY. NOTE, SOLAR PANELS WILL BE MOUNTED ON TOP OF CANOPIES.
- 13- NEW FUEL PUMP (4 MPD)
- 14- ADJUST EXISTING LOT LINE REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL
- 15- TACTILE
- 16- ACCESSIBLE PARKING
- 17- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- 18- EXISTING 250 FT Pylon SIGN TO BE REMOVED
- 19- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE NEW EV CHARGING SPACES. NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- 20- VEHICLE DETAILING SHOP
- 21- PROPOSED EXPRESS CAR WASH 2400 SF 24'X110'
- 22- CONCRETE CRAB DRAINAGE



REALLY MAP



VICINITY MAP

STORE FINISHES:

WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL, PAINTED PLASTER.
 FLOOR: STORE, TLH Vinyl Plank Flooring / SEALED CONCRETE
 CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL.

WALLS: 240 IN HIGH DRYWALL
 WALL: PAINTED PLASTER
 RESTROOM, CERAMIC TILE
 WALLU: KITCHEN, CERAMIC TILE

CEILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)

SCALE: 1"=20'

LICENSED ARCHITECT
 ROBERT A. MASSETTI
 C-12648
 06-30-2023
 STATE OF CALIFORNIA
 Robert A. Massetti

PROJECT MANAGER:
 Zaman Hamim
 4080 Truxel Road
 Sacramento, Ca. 95834
 (916) 529-3982
 zaman_hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
 Construction
 4080 TRUXEL ROAD
 SACRAMENTO, CA 95834
 PHONE: (916) 892-9949
 FAX: (916) 283-7501
 pm@theboulevard.us
 www.boulevard.com

PROJECT:
PROPOSED GAS STATION / EXPRESS CARWASH CENTER
 1912 NEVADA CITY HWY
 GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION	BY:
	01/12/2022		

CURRENT ISSUE DATE:

ISSUED FOR: 01/12/2022

JOB:

DRAWN BY: BOULEVARD
 CHECKED:
 APPROVED:

SHEET TITLE:
 LIGHTING PLAN

SHEET #:

CE-1.0



**DEVELOPMENT REVIEW
COMMITTEE
STAFF REPORT
March 14, 2023**

Prepared by: Thomas Last, Community Development Director

DATA SUMMARY:

Application Number: 23PLN-06
Subject: Development Review to convert a temporary outdoor patio cover and seating area into a permanent structure within the parking lot of Maria's Restaurant
Location/APN: 226 East Main Street/008-350-030
Applicant/Owners: Maria Byers Ramos
Zoning/General Plan: Town Core/Commercial
Environmental Status: Categorical Exemption

RECOMMENDATION:

Staff recommends the Development Review Committee approve the project subject to the findings and conditions listed in this report.

BACKGROUND:

In 1993, Maria's Restaurant replaced the Humpty Dumpty Restaurant at 226 East Main Street. In 1999, the City approved a 1,017 sq. ft. expansion to the restaurant. This expansion required the payment of the City's in-lieu parking fee to address the parking shortage from the expansion. In 2008, the City approved a 1,593 sq. ft. expansion and a 858 sq. ft. patio. Additional parking spaces were provided as part of that expansion. In 2014, the City approved a 24-space parking lot on the adjacent parcel for Maria's Restaurant. The parking lot expansion resulted in 61 total parking spaces for the business. In 2020 and 2021, in response to the COVID 19 pandemic, the City allowed restaurants to convert portions of their parking lots into temporary outdoor seating areas. The applicant installed the patio cover and dining area in the parking lot at that time.

PROJECT DESCRIPTION:

The applicant requests approval to allow the temporary patio structure installed during the COVID 19 pandemic to be permanent. The proposal requires the removal of seven (7) parking spaces, leaving a total of 54 spaces. The Town Core Zoning requires 24 parking spaces for the existing business and proposed 1,090 sq. ft. patio area. The applicant also proposes to install a deck that would be flush with the existing curb to create a level access, and ADA accessibility, to the entire patio.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The property is fully developed with a restaurant and parking lot. Adjacent uses include commercial to the south and west, an apartment complex to the north, and residential homes to the east.

ENVIRONMENTAL DETERMINATION:

The project qualifies for a Class 15303 Categorical Exemption. This exemption consists of the new construction of small structures not exceeding 2,500 sq. ft. The proposed patio cover is 1,090 sq. ft. and therefore, meets this exemption.

GENERAL PLAN AND ZONING:

General Plan: The project area has a land use designation of Commercial according to the City of Grass Valley 2020 General Plan. The Commercial designation is a broad category intended to encompass all types of retail commercial and commercial service establishments.

Zoning: The property is within the Town Core (TC) Zone District. The TC Zone strengthens the mixed-use pedestrian-oriented nature of the existing historic downtown. This zone specifically allows restaurants.

ANALYSIS:

The existing patio is a brown color that complements the main building; however, it does block some of the main building's architectural features. As noted above, even with the removal of seven parking stalls, the parking exceeds the minimum required by the code. The applicant proposes to continue to plant seasonal flowers and shrubs along the perimeter of the patio area. As it pertains to the City's Community Design Guidelines, the property falls within the Downtown Residential Area. This subarea provides some guidance to have new buildings consider the surrounding and historic character of the area. As far as the guidelines for Commercial projects, the colors, and the roof and frame materials do incorporate several concepts supported in the guidelines. The DRC needs to determine if the patio complements the existing development or if detracts from the building and needs to incorporate additional features.

FINDINGS:

1. The City received a complete application for Development Review Application 23PLN-06.
2. The Community Development Department determined the project is Categorically Exempt as the appropriate environmental review in accordance with the California Environmental Quality Act (CEQA).
3. The Grass Valley Development Review Committee reviewed the application at its regularly scheduled meeting on March 14, 2023.

4. The project is consistent with the applicable sections and development standards in the Development Code.
5. The project, as conditioned and to the extent feasible, complies with the City of Grass Valley Community Design Guidelines.
6. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
7. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.

A. GENERAL CONDITIONS:

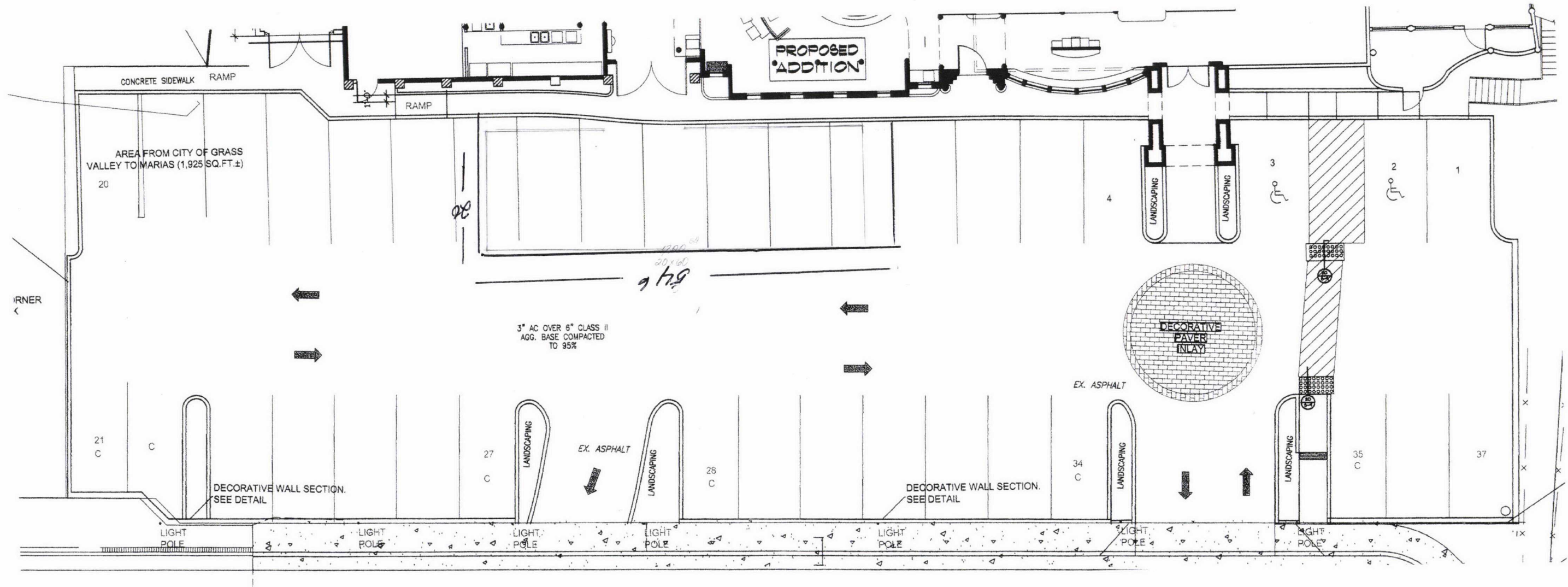
1. The approval date for this project is July 12, 2022. The Development Review Permit is approved for a period of 1 year and shall expire on July 12, 2023, unless the project has been effectuated (i.e., building permit has been obtained) or the applicant requests a time extension that is approved by the Grass Valley Development Review Committee pursuant to the Development Code.
2. The project shall be constructed in accordance with the plans approved by the Development Review Committee for Development Review Permit 23PLN-06 unless changes are approved by the Development Review Committee prior to commencing such changes. Minor design changes may be approved by the Community Development Department as determined appropriate by the Community Development Director. Major changes, as determined by the Community Development Director, shall be approved by the Development Review Committee.
3. Within 2 months of the approval date of this permit, the applicant shall obtain a building permit to convert the temporary patio into a permanent patio cover, including meeting all ADA access requirements into the new patio.
4. Within 4 months of the approval date of this permit, the applicant shall ensure that the permit has received a final inspection and approval from the City Building Official.
5. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

ATTACHMENTS:

Site plan and photos







PAVING
 CONCRETE PAVEMENT = 1297
 LANDSCAPING = 180
 ASPHALT = 3370
 ASPHALT STIPPLE = 1200
 TOTAL = 6767

TOTAL BUILDING = 2570 #
 400 = 24
 PARKING SPACES 18000 FOR CITY
 MARIAS EXISTING PARKING SPACES 19 + 3,4000000
 TOTAL = 20

11/14/14 Paper
 Site
 Photo
 17/00/20