

GRASS VALLEY

Development Review Committee Meeting

Tuesday, August 22, 2023 at 9:00 AM Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California

Telephone: (530) 274-4310 - Fax: (530) 274-4399

E-Mail: <u>info@cityofgrassvalley.com</u>

Web Site: www.cityofgrassvalley.com

AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

MEETING NOTICE

Development Review Committee welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 9:00 a.m. on the 2nd and 4th Tuesday of each month. Your interest is encouraged and appreciated.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 9 am. Comments received after that will be addressed during the item and/or at the end of the meeting. The committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Committee after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

REGISTRATION FOR VIRTUAL MEETING

Registration Link:

https://us06web.zoom.us/meeting/register/tZMsdeGhpjoiHdJNoMkceQPH56iZ7UiSpA64

Please note that to register for the virtual meeting you will be required to provide an email address. If you wish to participate in the meeting without providing an email address, you may attend the meeting in person at 125 East Main Street, Grass Valley, CA 95945 in the Council Chambers.

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS, AGENDA REVIEW AND CHANGES

<u>PUBLIC COMMENT</u> - Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to <u>public@cityofgrassvalley.com</u>. There is a time limitation of three minutes per person. For items not on the agenda and within the jurisdiction or interest of the City, please address the Development Review Committee at this time. For items on the agenda please address the Development Review Committee when the number and subject matter are announced. Comments will be reviewed and distributed before the meeting if received by 9AM. Comments received after that will be addressed during the item and/or at the end of the meeting. The Development Review Committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

GENERAL APPLICATION FOR REVIEW

1. Development Review Permit (23PLN-24) for site landscaping, ±4,800 square feet of outdoor seating area, and farmer's market structures.

Recommendation: 1. That the Development Review Committee approve the McKnight Crossing Development Review Permit for the Farmer's Market structures as presented, or as modified by the Development Review Committee, which includes the following actions: a. Determine the project Categorically Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report; b. Adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and, c. Approve the Development Review Permit for the Farmer's Market structures in accordance with the Conditions of Approval, attached to the Staff Report. 2. That the Development Review Committee recommends that the planning commission approve the outdoor dining spaces and the Master Sign Program amendment at the McKnight Crossing shopping center as presented, or as modified by the Development Review Committee, which includes the following actions: a. Recommend that the planning commission determine the project Categorically Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report; b. Recommend that the planning commission adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and, c. Recommend that the planning commission approve the Development Review Permit in accordance with the Conditions of Approval, as presented in this Staff Report.

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a meeting of a Development Review Committee Meeting, scheduled for Tuesday, August 22, 2023 at 9:00 AM was posted at city hall, easily accessible to the public, as of 5:00 p.m. Thursday, August 17, 2023.

Taylor Day, City Clerk

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DEVELOPMENT REVIEW COMMITTEE STAFF REPORT AUGUST 22, 2023

Prepared by:	Amy Wolfson, City Planner
DATA SUMMARY	
Application Number:	23PLN-24
Subject:	Development Review Permit for site landscaping, ±4,800 square feet of outdoor seating area, and farmer's market structures.
Location/APNs:	111, 117, 129 and 151 W McKnight Way/029-350-07 & 09
Applicant:	Mesa Management
Representative:	Jeff Fitzpatrick, Solutioneer
Zoning/General Plan:	Central Business (C-2)/Commercial
Entitlement:	Development Review Permit
Environmental Status:	Categorical Exemption

RECOMMENDATION:

- 1. That the Development Review Committee approve the McKnight Crossing Development Review Permit for the Farmer's Market structures as presented, or as modified by the Development Review Committee, which includes the following actions:
 - a. Determine the project Categorically Exempt pursuant to Section 15301, Class
 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report;
 - b. Adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and,
 - c. Approve the Development Review Permit for the Farmer's Market structures in accordance with the Conditions of Approval, attached to the Staff Report.
- 2. That the Development Review Committee recommends that the planning commission approve the outdoor dining spaces and the Master Sign Program amendment at the McKnight Crossing shopping center as presented, or as modified by the Development Review Committee, which includes the following actions:
 - a. Recommend that the planning commission determine the project Categorically Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the staff report;



- b. Recommend that the planning commission adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and,
- c. Recommend that the planning commission approve the Development Review Permit in accordance with the Conditions of Approval, as presented in this Staff Report.

BACKGROUND:

Kmart vacated the \pm 80,000 anchor tenant space at 111 West McKnight Road at the end of 2021, after which Target began occupying the space and Mesa Management began planning an extensive renovation of the center. The McKnight Crossing façade, perimeter and parking lot landscaping, material, building signage, color alterations, and a \pm 2,500 square foot outdoor seating area (the Mix space) were approved by the Development Review Committee in January 2022. A two-year limited term permit for the farmer's market was approved by the planning commission at their December 20, 2022 meeting subject to a condition of approval requiring that the final design be approved by the DRC.

PROJECT PROPOSAL:

This Development Review Permit is for site landscaping and structural elements associated with the outdoor dining spaces, as well as review of the proposed farmer's market structures based on comments received at the December 20, 2022 planning commission meeting. Since the prior approval of the single outdoor dining space, the applicant has identified two other locations suitable for outdoor dining spaces, the Grove and the Midway, and has also proposed changes to the approved Mix space.

Farmer's Market Structures: As part of the planning commission discussion on the farmer's market structure, they asked the applicant to consider a revised design that addresses concerns regarding potential transient gathering during hours of non-operation and also address the potential maintenance concerns associated with wood structures. The applicant is proposing several small, stand-alone structures that "fold" closed so that they do not entice loitering or shelter seeking. The base of each structure is to be concrete and double as a storage space for a fold-out display table. An aluminum shade canopy would unfold and cantilever over the display table, supported by steel posts. The rear and, when folded closed, the front of each structure would feature a 4-foot high letter in "Farmer's Market." Additional site and structural details are included in Attachment 6.



Not in operation, awning folded down.



Operational, folding table stowed

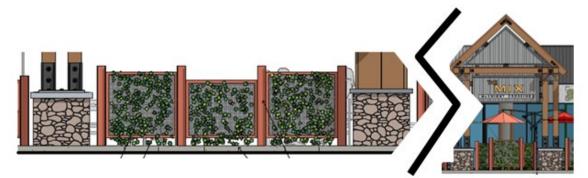


Operational, folding table out

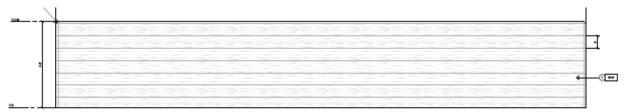
<u>Regulatory Authority:</u> Normally, limited term permits do not involve the erection of permanent structures. Because this proposal does include structures and physical improvements, the Development Review Committee is required to conduct a review pursuant to Section 17.72.030 (C) GVMC.

Outdoor Dining:

<u>The Mix:</u> The originally approved plans included a $\pm 2,500$ square foot outdoor dining space in the southwest corner of the shopping center, identified as "the Mix.". The dimensions of the space are the same, but the architectural elements have changed, primarily with respect to the front barrier, which is now proposed to be a boardform wall instead of a Corten-framed mesh fence with climbing vine, and with respect to signage which was originally to be an overhead structure supported by a heavy timber frame, and is now a 12-foot high, stylized monument sign made of wood and metal (image in next section of this report). The Mix space will also feature two substantial steel-framed shade structures with corrugated steel roofing, which will support festoon lighting that spans the outdoor space. A sculpture garden is also proposed, featuring miners and a mule.



Previously approved Corten fencing and mesh with vine plantings, interspersed with stone columns.



Currently proposed boardform wall in front of "the Mix" and "the Midway" outdoor dining area

The Midway: This outdoor dining area is $\pm 1,300$ sq ft and is located just west of the Target shopping space, in front of Daily Donuts. It is similarly screened with a boardform wall, and features wheel barrel sculptures and festoon lighting supported by i-beam light posts.

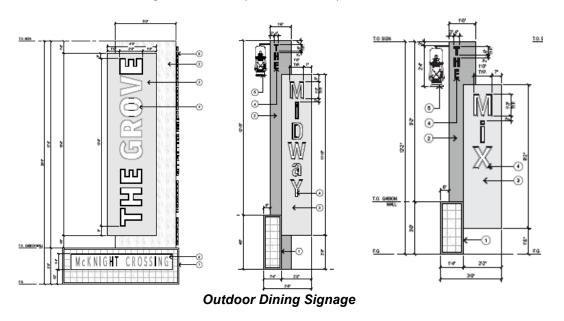
<u>The Grove:</u> The Grove outdoor dining area is located at the eastern-most building where Royal Dragon restaurant and Trkac are located. This area actually has two outdoor dining spaces including a new $\pm 1,500$ sq ft space next to Royal Dragon and a revamped existing ± 360 sq ft space serving Afternoon Deli. The new dining space is proposed to be buffered by a two-foot high, steel-framed gabion wall, with wire mesh-caged cobble rock. This space also features a deer sculpture garden and festoon lighting, supported by a steel post. The smaller space is enclosed by steel planters and rope.

<u>Regulatory Authority</u>: Pursuant to section 17.72.030 (D.3) GVMC, commercial projects in excess of 2,000 square feet, including outdoor use areas, require review by the Development Review Committee (DRC), and final action by the planning commission.

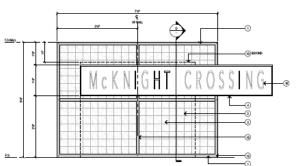
Several dining spaces feature festoon lighting, which is typically inconsistent with the city's standard to be "shielded or recessed" and several callouts on the plans indicate that particular lighting fixtures will be selected by a lighting consultant. Staff has included condition of approval no B.10, requiring that the applicant provide all lighting styles to the Planning Department for review prior to installation and that they may be approved so long as they are consistent with the standards outlined in section 17.30.060 GVMC, including shielding of festoon lighting.

Master Sign Program Amendment: At their December 20, 2022 meeting, the planning commission approved an amendment to the center's master sign program. The amendment was primarily intended to accommodate individual tenant signage, but also to accommodate the farmer's market signage, which was approved with individual letters not exceeding 15 inches in height. However, the revised design features lettering on both the back and front of the structures that is 2 feet and 4 feet in height, respectively.

The applicant has also determined that branding for the Mix, the Midway, and the Grove will be useful to distinguish each of the outdoor dining spaces. To that end, they have proposed stylized monument signage with heights ranging from 12 to 20 feet at each of these locations. They have applied the same style of signage to a proposed "McKnight Crossing" entrance sign at the Taylorville Road entrance, which is a deviation from the style of signage already constructed at the two McKnight entrances. The stylized signs will bring cohesion to the center across the four parcels and may also serve as navigation markers for shoppers. The attached master sign program amendment includes language in support of each of the proposed signs, except for the Taylorville entrance sign which staff has conditioned to be amended to reflect the design as shown (condition B.9).







Signage style at McKnight entrances, and Currently proposed signage for Taylorville previously approved for Taylorville entrance entrance.

<u>Regulatory Authority:</u> The Community Design Guidelines call for signs "to be compatible with other signs on the premises," and to be "designed as an integral architectural element of the project." The signage materials are consistent with materials throughout the project and harmonize the site components. Pursuant to Section 17.38.030 GVMC, a master sign program is to be reviewed and recommended by the development review committee (DRC) and approved by the commission for any site with two or more tenants or five or more total signs. An approval may include exceptions for typical signage height, area, and lighting styles.

GENERAL PLAN AND ZONING:

General Plan: The Grass Valley 2020 General Plan identifies the site as Commercial (COM). The intent of the Commercial General Plan designation includes all types of commercial retail and service establishments on the highway and along major streets.

Zoning: The C-2 Zoning designation applies to existing auto-oriented areas. The C-2 zone permits a full range of retail and restaurant uses.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The McKnight Shopping Center is divided into four parcels which include: 101 W McKnight Way (APN: 029-350-007), 115 W. McKnight Way (APN: 029-350-008), and 111 – 151 W McKnight Way (APNs: 029-350-009 & 010). These four parcels are covered by a Declaration of Restrictions and Grant of Reciprocal Easements, including parking.

The retail shopping center is anchored by Target, SPD, Big 5 and Banner Bank with subordinate tenants of Papa Murphy's Pizza, Cash Advance, Baskin Robbins, Mountain Mike's Pizza, AT&T, Gig Mart, Fish & Chips, Essential Salon, Laundromat, All Seasons Pools and Spas, and H&R Block. A separate building hosting Golden Dragon, Trkac, and Afternoon Deli, is located on the southeast side of the retail center.

ENVIRONMENTAL DETERMINATION:

The proposed project qualifies for a Categorical Exemption pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines. A Class 1 Categorical Exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or

minor alternation of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The conversion of landscaped space to outdoor dining space is intended to serve business already operating and provide resting spots for shoppers. Therefore, the project is anticipated to result in a negligible or no expansion of the existing use.

FINDINGS:

- 1. The City received a complete application for Development Review Application 23PLN-24.
- 2. The Grass Valley Development Review Committee reviewed Development Review Application 23PLN-24 at their regular meeting on August 22, 2023.
- 3. The Development Review Committee reviewed the project in compliance with the California Environmental Quality Act and concluded that the project qualifies for a Class 1, Categorical Exemption in accordance with the California Environmental Quality Act and CEQA Guidelines.
- 4. This project is consistent with City's General Plan and any specific plan.
- 5. The project is consistent with the applicable sections and development standards in the Development Code.
- 6. The project, as conditioned, complies with the City of Grass Valley Community Design Guidelines.
- 7. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
- 8. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.
- 9. The site is physically suitable in terms of design, location, shape, size, and operating characteristics. It ensures that the density, intensity, and type of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.

A. CONDITIONS (FARMER'S MARKET):

1. The approval date for DRC review of the farmer's market structures is August 22, 2023, with an effective date of Thursday, September 7, 2023, pursuant to Section 17.74.020 GVMC. This project is approved for a period of one year and shall expire on September 7, 2024, unless the project has been effectuated or the applicant requests a time extension that is approved by the Development Review Committee pursuant to the Development Code.

- The final design shall be consistent with the Development Review application and plans provided by the applicant and approved by the Development Review Committee (23PLN-24). The project is approved subject to plans on file with the Community Development Department. The Community Development Director may approve minor changes as determined appropriate.
- 3. If storage of materials and equipment are to occur on site, the location of the storage areas shall be shown on the site plan. The approval of the storage areas shall be to the satisfaction of the Community Development and Public Works Directors. Storage areas shall be removed prior to Final Inspection.
- 4. Prior to any work occurring, building permits shall be obtained from the Community Development Department, Building Division.
- 5. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

B. RECOMMENDED CONDITIONS (OUTDOOR DINING, SIGN PROGRAM AMENDMENT):

- The approval date for planning commission review is <TBD> with an effective date of Thursday, <TBD>, pursuant to Section 17.74.020 GVMC. This project is approved for a period of one year and shall expire on <TBD> unless the project has been effectuated or the applicant requests a time extension that is approved by the Development Review Committee pursuant to the Development Code.
- 2. The final design shall be consistent with the Development Review application and plans provided by the applicant and approved by the planning commission (23PLN-24). The project is approved subject to plans on file with the Community Development Department. The Community Development Director may approve minor changes as determined appropriate.
- 3. If storage of materials and equipment are to occur on site, the location of the storage areas shall be shown on the site plan. The approval of the storage areas shall be to the satisfaction of the Community Development and Public Works Directors. Storage areas shall be removed prior to Final Inspection
- 4. Prior to any work occurring, building permits shall be obtained from the Community Development Department, Building Division.
- 5. Prior to review at the planning commission meeting the applicant shall submit preliminary landscaping plans that reflect the landscaping shown in the outdoor dining renderings and is also consistent with proposed master sign program amendment shall be updated with language that reflects the McKnight Crossing sign design, identified as sign no. 5.
- 6. The applicant's landscape architect shall submit a letter specifying that the landscaping and irrigation has been installed in accordance with the approved landscape plans.

- 7. The applicant's landscape architect or landscape contractor shall submit to the City for approval the "certificate of completion" form as required by MWELO.
- 8. The applicant shall conduct an irrigation audit pursuant to the requirements of the MWELO. This shall be conducted by a third-party certified landscape irrigation auditor that did not install or design the landscape and irrigation. Prior to the audit City must confirm the selected auditor complies with MWELO requirements.
- 9. Prior to review at the planning commission meeting the proposed master sign program amendment shall be updated with language that reflects the McKnight Crossing sign design, identified as sign no. 5.
- 10. Prior to installation, the applicant shall provide all lighting styles to the Planning Department to review for consistency with standards outlined in section 17.30.060 GVMC, including shielding of festoon lighting.
- 11. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

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ATTACHMENTS:

- 1. Aerial Map
- 2. Vicinity Map
- 3. Landscape Plans including Outdoor Dining Areas
- 4. Outdoor Dining Renderings
- 5. Mural Proposal (not reviewed by DRC)
- 6. Farmer's Market Structure Design
- 7. Master Sign Program Amendment

McKnight Shopping Center

Outdoor Dining, Farmer's Market Design, Master Sign Program Amendment and Mural Proposal

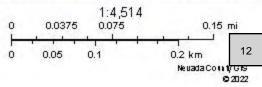
Attachment List

- 1. Aerial Map
- 2. Vicinity Photo
- 3. Applications (Universal, Sign and Mural, DRC)
- 4. Landscaping Plans including Outdoor Dining areas and Signs
- 5. Outdoor Dining Renderings
- 6. Mural Proposal
- 7. Farmer's Market Structure Design
- 8. Master Sign Program Amendment (proposed amendments highlighted)

Aerial Target Shopping Center

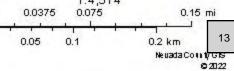


August 8, 2023 © 2022 Nevada County GIS





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August 1, 2023

City of Grass Valley Community Development Department Attn: Amy Wolfson – City Planner 125 E Main Street Grass Valley, CA 95945

Via Email

RE: Proposed Improvements at McKnight Crossing for Development Review Committee

Amy,

Thank you for working with us as we finalize re-imagining the Center and make final improvements. We are trying to perform the work prior to any potential weather related issues.

This Application is a follow up from our Application reviewed on December 20, 2022.

Included in our Application are all the forms and corresponding documents.

The Scope of Proposed Improvements are as follows:

- 1. Vertical Signs for Way Finding and ID (3)
 - a. These proposed signs are included in a document "Master Sign Program", and are indicated as signs # 6, 7 & 8. Revised from December 2022. Renderings and Overview provided:
 - i. The Grove
 - ii. The Mix
 - iii. Midway
- 2. Murals
 - a. 3 Locations Overview Provided
 - i. The Grove
 - ii. Midway
 - iii. At SPD Market, either side
 - b. Murals are consistent with City Standards
 - i. Murals are without text visible from a public right-of-way
 - ii. Murals illustrate the local setting, history and cultural significance as sources of inspiration
 - iii. The colors, placement and size of the murals are visually compatible with the Center's architecture
 - iv. The Murals will serve to enhance the aesthetes of the Center and of the City.
- 3. Gathering Spaces Overview Provided
 - a. 3 Locations
 - i. The Grove
 - ii. The Mix
 - iii. Midway
 - b. The Gathering Spaces are consistent with the City's Strategic Plan

4. Famer's Market

- a. New Renderings
- b. Based on Feedback from the December 20, 2022 Meeting
- c. Modifications:
 - i. The Team took the feedback received at the meeting, preserved the inspirational elements, and modified the Farmer's Market features from a fixed amenity to a flexible solution that opens for the Farmer's Market, and closes while not in use, maintaining proper aesthetics.

Thank you for the opportunity to present these additional improvements and innovations. We ask for support for this Application in an effort to finalize the Center, and make it an integral part of the Grass Valley Community.

Jim Fitzpatrick

Authorized Agent Mesa Management Special Projects CITY OF GRASS VALLEY Community Development Department 125 E. Main Street Grass Valley, California 95945 (530) 274-4330 (530) 274-4399 fax

DEVELOPMENT REVIEW



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

PLEASE PRINT CLEARLY OR TYPE USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:

I. Project Characteristics:

- A. Describe all existing buildings and uses of the property: (2) existing retail/food service/professional services buildings located on (3) contiguous parcels, including parking and outdoor seating/dining in (3) selected locations
- B. Describe surrounding land uses:
 - North: PG&E maintenance yard + open space
 - South: Residential

East: State Highway 49

West: Co-housing residential, undeveloped land

- C. Describe existing public or private utilities on the property: Underground utilities: Grass Valley Water, Grass Valley Waste Treatment, PG&E gas & electrical
- D. Proposed building size (if multiple stories, list the square footage for each floor):______ N/A, proposal features no proposed buildings, only signs and site amenities
- E. Proposed building height (measured from average finished grade to highest point): _____ proposed freestanding signs vary in height, including 12'-2", 16'-10", and 20'-0".

F. Proposed building site plan:

(1)	Building coverage	See Site Plan Sq. Ft.	% of site
(2)	Surfaced area	Sq. Ft.	% of site
(3)	Landscaped area	Sq. Ft.	% of site
(4)	Left in open space	Sq. Ft.	% of site
	Total	Sq. Ft.	100 %

- G. Construction phasing: If the project is a portion of an overall larger project, describe future phases or extension. Show all phases on site plan. <u>This application is related to the previously city-approved facility remodel that is currently under construction. December 20, 2022</u>
- H. Exterior Lighting:
 - 1. Identify the type and location of exterior lighting that is proposed for the project. ______ Limited Use o flow intensity festoon lighting at outdoor dining (previosly approved by City at "The Mix" location
 - 2. Describe how new light sources will be prevented from spilling on adjacent properties or roadways. Proposed Lighting is too low in intensity and power to spill into adjoining properties or raodways
- I. Total number of parking spaces required (per Development Code): 669
- J. Total number of parking spaces provided: 745
- K. Will the project generate new sources of noise or expose the project to adjacent noise sources? No new sources of noise are proposed with this application, the proposal is for signs and site amenities.
- L. Will the project use or dispose of any potentially hazardous materials, such as toxic substances, flammables, or explosives? If yes, please explain. No
- M. Will the project generate new sources of dust, smoke, odors, or fumes? If so, please explain. No
- II. If an **outdoor use** is proposed as part of this project, please complete this section.

Α.	Type of use:		
	Sales Manufacturing	Processing Other Outdoor dining	Storage
В.	Area devoted to outdoor use (she	own on site plan)	
	Square feet/acres 4,885	Percentage of sit	te <u>0.70%</u>
C.	Describe the proposed outdoor u	ise: Outdoor dining	
_			

SITE PLAN REQUIREMENTS DEVELOPMENT REVIEW CHECKLIST

The following list includes all the items you must submit for a complete application. Some specific types of information may not apply to your project and, as noted, some items are not normally required. If you are not sure, ask Planning Division Staff. Planning Staff will use a copy of this list to check your application for completeness after it is submitted. If your application is not complete, a copy of the list will be returned to you marked according to the legend.

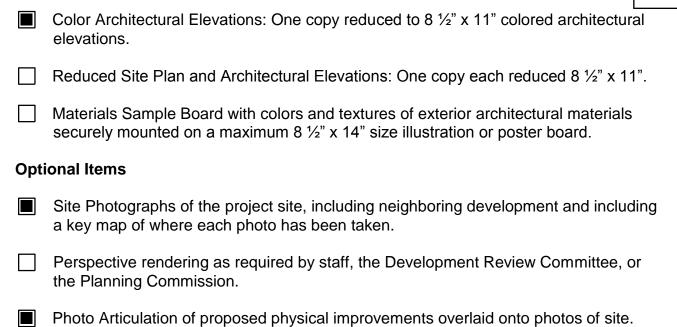
A. Application Checklist:

- One completed copy of Universal Application form.
 - One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

B. Site Plan

- Fifteen (15) Copies of Plan Sets for **Major** Development Review or Eight (8) Copies of Plan Sets for **Minor** Development Review on standard 24" x 36" size paper fan-folded to 9" x 12", one (1) reduced copy at 8 1/2" x 11" and e-mail electronic .pdf version which includes the following information:
 - Neighborhood Site Plan showing surrounding development improvements and natural features within 200 feet of the project site.
 - Project Site Plan drawn to scale and indicating:
 - Dimensioned property lines, north arrow, and any easements on the site
 - Points of access, vehicular circulation, location and dimension of parking areas and spaces
 - Location and any existing structures (specifying building setbacks), including the location and use of the nearest structures on adjacent property, and an indication of structures to be removed
 - Location of any existing or proposed utilities such as water, wastewater and storm drainage
 - Location of any proposed structures and uses (including building setbacks)
 - Open space and buffer areas
 - Walkways, bicycle facilities (bike lanes, parking racks, etc), and ADA compliance facilities on the project site and providing connections to existing off site facilities
 - Pedestrian and bicycle connections to adjacent development (pursuant to the City's Community Design Guidelines)
 - Mailbox locations and trash enclosures
 - Other site features such as outdoor seating areas

- Preliminary Grading and Drainage Plan showing:
 - Existing and proposed contours using City datum (cut and fill slopes)
 - Existing drainage characteristics of the site and a proposed preliminary drainage improvements (including drop inlets, detention basins, etc.
 - Creek flow lines and flow directions
 - Retaining wall locations, materials, and heights.
 - □ Locations of existing trees (over 8" in trunk diameter at breast height) and their status (species and to be removed or retained as part of the development (including preservation measures, such as fencing, pavers blocks, etc)
 - Rock outcroppings and other major natural site features
 - Location and construction of temporary and permanent erosion and sedimentation control measures
- Architectural Plans, including elevations of all sides of the building indicating the form and exterior treatment, overall height, roof materials, proposed exterior mechanical equipment, building lighting, building materials and colors.
 - Conceptual Landscape Plans indicating general locations of landscaping improvements, including locations of retained trees, newly planted trees, landscape buffers and berms, retaining and/or garden walls and any hardscape areas.
 - Cross sections: (If the project site has an average cross slope of greater than ten (10) percent). Two or more sectional views of the project, approximately through the middle and at right angles to each other, showing existing and proposed grades and relationship of buildings, parking and landscaping at maturity, including major features and structures on adjacent properties at the most severe grades at two foot intervals.
- Exterior Lighting Plan including locations of all light standards and placement of building lighting. This plan shall include power rating details, heights, shielding design and cut sheets lighting designs. Include a photo-metric lighting plan, overlaid onto the project site plan, showing lighting levels across the entire site and at property lines.
 - Schematic Floor Plan showing interior building layouts, rooms or use areas, square footages of bedrooms, entrances and relationship to exterior use areas.
 - Signs: Note if to be submitted under separate permit or include general locations of contemplated signage on building or grounds should be included. Additional details, such as sign construction and materials should also be included, if available. If a major feature of the project involves signage, then the following additional information should be included in the package:
 - Dimensions and square footage of all signs.
 - Dimensions and square footage of building walls on which signs are located.
 - Means of lighting.
 - Heights of all signs.
 - ☐ Message that will appear on each sign.
 - Description of materials and colors for letters and background.
 - A scaled drawing of each sign showing typeface and design details.



С.

Scaled Model upon request of the Development Review Committee or Planning Commission.

MASTER SIGN PROGRAM MURALS & SIGN EXCEPTIONS



SUPPLEMENTAL APPLICATION INFORMATION

Application Request:

Proposed Vertical Way Finding and ID Signs, Murals and Farmer's Market

Property Address or Location: Mcknight Crossing 129 W McKnight Way Grass Valley, CA 94945

SUPPLEMENTAL CHECKLIST

The following includes items required for a complete application. Some specific types of information may not apply to your project. If you are unsure, check with Planning Division Staff. A copy of this list will be returned to you if your application is determined to be incomplete.

A. Application Checklist:

• One completed copy of Universal Application form.

One completed copy of the Environmental Review Checklist (if applicable).

15 copies of the site plan and all other applicable plans/information.

One materials sample board (if applicable).

If a sign exemption is being requested, list the reasons for the exemption.

The appropriate non-refundable filing fee.

B. Site Plan:

- SITE PLAN; An 8 1/2" x 11" Site Plan for the property on which the sign(s) will be placed including:
- Location of existing and proposed signs on site.
- Provide square footage and type of each sign and total square footage for all signs.
- For more than one sign, please give each sign a number starting with the number 1.

For suspended or projecting signs please note distance from sidewalk to bottom of sign.

For wall signs add an additional sheet showing dimensions and square footage of building walls on which signs will be placed.

For monument, shopping center, or other freestanding signs show sight distance from driveways and intersection corners.

C. Sign Illustrations:

- Color drawing of each proposed sign including:
- Number each sign corresponding to number shown on the site plan.
- Message on sign including; typeface, font, and design details.
- Dimensions in feet and total square footage area of proposed sign.
- Overall height of all monument and freestanding signs.
- **D. Murals:** A mural placed on a wall of a structure may be allowed in any commercial, industrial, and other non-residential zone subject to the following requirements. All murals shall be subject to the review and recommendation by the Development Review Committee (DRC) and approval by the Commission.
 - A mural without text visible from the public right-of-way may be approved in addition to (not counted as part of) the sign area allowed by the Development Code; a mural with text shall comply with the sign area limitations applicable to the site.
 - Murals that illustrate the local setting, history, or cultural significance as sources of inspiration are encouraged.
 - The approval of a mural shall require that the review authority first fine that the colors, placement, and size of the mural are visually compatible with the structure's architecture, and that the mural will serve to enhance the aesthetics of the City.

E. Mounting Details:

- Mounting details may be placed on the Sign Plan or as a separate sheet but must include the following:
- Description of material used in construction of sign.
- Thickness and approximate weight of sign for suspended or projecting signs.
- Means of exterior or interior lighting including shielding, type, and size of lamps (if applicable).
- For suspended signs provide details of anti-sway devices.

CITY OF GRASS VALLEY Community Development Department 125 E. Main Street Grass Valley, California 95945 (530) 274-4330 (530) 274-4399 fax

Application Types

Admin	istrative	Sign	Reviews	
1	Limited Term Permit	V	Minor - DRC, Historic Distr	
1	\$698.00		or other districts having spe	cific design criteria
24	Zoning Interpretation		\$313.00	
	\$224.00		Major – Master Sign Progra	ims
Develo	opment Review	- C1	\$1,279.00 Exception to Sign Ordinand	
100	Minor Development Review - 10,000 or less sq. ft.		Exception to Sign Ordinand \$964.00	c
	\$1,813.00		A DO DO DO	
	Major Development Review - over 10,000 sq. ft.		visions	
	\$3,293.00	1.1	Tentative Map (4 or fewer)	ots)
	Conceptual Review - Minor \$459.00		\$3,493.00 Tentative Map (5 to 10 lots)	
	Conceptual Review – Major			
1.1	\$782.00	Ē	\$4,857.00 Tentative Map (11 to 25 lot	2)
	Plan Revisions – Staff Review		\$6,503.00	5/
	\$316.00		Tentative Map (26 to 50 lot	(2
	Plan Revisions – DRC / PC Review		\$8,915.00	,
	\$831.00		Tentative Map (51 lots or m	ore)
	Extensions of Time – Staff Review		\$13,049.00	
	\$282.00		Minor Amendment to Appro	oved Map
	Extensions of Time - DRC / PC Review		(staff) \$1,114.00	
	\$607.00		Major Amendment to Appro	wed Map
Entitle	mante		(Public Hearing) \$2,436.00	
Enuue	Annexation	1.12	Reversion to Acreage	
17. 19 C	\$7,843.00 (deposit)		\$765.00	
	Condominium Conversion	1.0	Tentative Map Extensions	
1	\$4,923.00 (deposit)	_	\$1,047.00	
ET.	Development Agreement – New	1. 1. 1.	Tentative Map - Lot Line Ad	ljustments
	\$18,463.00 (deposit)	_	\$1,200.00	
	Development Agreement – Revision	Use P	ermits	
1.1.1	\$6,903.00		Minor Use Permit - Staff Re	view
181	General Plan Amendment		\$480.00	
	\$7,377.00	1 631	Major Use Permit - Plannin	q Commission Review
125	Planned Unit Development		\$3,035.00	
100	\$8,150.00 (minimum charge) + 100.00 / dwelling	Variar	1CRF	
	unit and / or \$100 / every 1,000 sq. ft.	varia	Minor Variance - Staff Revi	
-	commercial floor area		\$518.00	
(EB)	Specific Plan Review - New		Major Variance - Planning	Commission Review
-	Actual costs - \$16,966.00 (deposit)	-	\$2,029.00	Sommer
1	Specific Plan Review - Amendments / Revisions			
	Actual costs - \$6,986.00 (deposit)		Application	Fee
1.1	Zoning Text Amendment	· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·
	\$3,102.00			the second
-	Zoning Map Amendment	1.1	DDC	
	\$5,073.00	1.1	DRC	
Enviro	onmental	110	Cast Mary Firster 6	040.00
	Environmental Review – Initial Study	Ver	tical Way Finding &	313.00
	\$1,713.00	1.000	ID Ciano	
124	Environmental Review – EIR Preparation		ID Signs	
E	\$31,604.00 (deposit)	-	Murala	
	Environmental Review - Notice of Determination		Murals	
	\$149.00 (+ Dept. of Fish and Game Fees)			
	Environmental Review - Notice of Exemption			1
	\$149.00(+ County Filing Fee)		Total	\$313.00
			Total.	ψ515.00

UNIVERSAL PLANNING

APPLICATION

* DUE WITH EVERY PLANNING APPLICATION *

Item # 1.

Below is the Universal Planning Application form and instructions for submitting a completeplanning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the <u>completed forms, site plan/maps, and filing fees</u>, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information <u>has not</u> been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at <u>www.cityofgrassvalley.com</u> regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of \$3,539.25 for an Environmental Impact Report and \$2,548.00 for a Negative Declaration* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but increase the subsequent January 1st of each year.

This fee is <u>not</u> a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

Item # 1.

Applicant/Representative	Property Owner
Name: Jim Fitzpatrick c/o Mesa Management	Name: (McKnight:) GVSC LP, (Grove:) GV2 LP
Address:	Address: 1105 QUAIL ST.
NEWPORT BEACH CA 92660	NEWPORT BEACH CA 92660
Phone: 949.257.8448	Phone: (949)851-0995
E-mail: jimfitzeco@gmail.com	E-mail:

Architect	Engineer
Name: Diego F Alessi, c/o Genaro Diaz	Name:
Address: 144 North Orange Street	Address:
Orange, CA 92866	
Phone: 714 / 639 - 9860	Phone: (
E-mall: GenaroD@aoarchitects.com	E-mail:

1. Project Information

- a. Project Name McKnight Crossing Shopping Center Remodel
- b. Project Address 111, 117, 129, 151 W McKnight Way, Grass Valley CA
- c. Assessor's Parcel No(s) 29-350-07, 29-350-09, 29-350-10 (include APN page(s))
 - d. Lot Size 13.66 acres (Mokinget Crossing) 2.11 acres (101Mokinget "The Grove")
- Project Description Additions to previously approved design, including added freestanding signs and identity elements, landscaping and murais. Expansion of, and alterations to, previously approved landscaping locations and plant types, railings, seating, etc.

Farmer's Market is re-imagined based on feedback from the December 2022 meetings

3. General Plan Land Use: GRV

4. Zoning District: C-2

4. Cortese List: Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y NX

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

- Indemnification: The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney's fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney's fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- Appeal: Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16th day following the date by the appropriate review authority, where no appeal of the review authority's action has been filed in compliance with Chapter 17.91 of the City's Development Code.

The 15-day period (also known as the "appeal" period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15th day, or the very next day that the City Hall is open for business.

I hereby cartify, to the best of my knowledge, that the above statements are correct.

Property Owner/*Representative Signature:

*Property owner must provide a consent letter allowing representative to sign on their behalf.

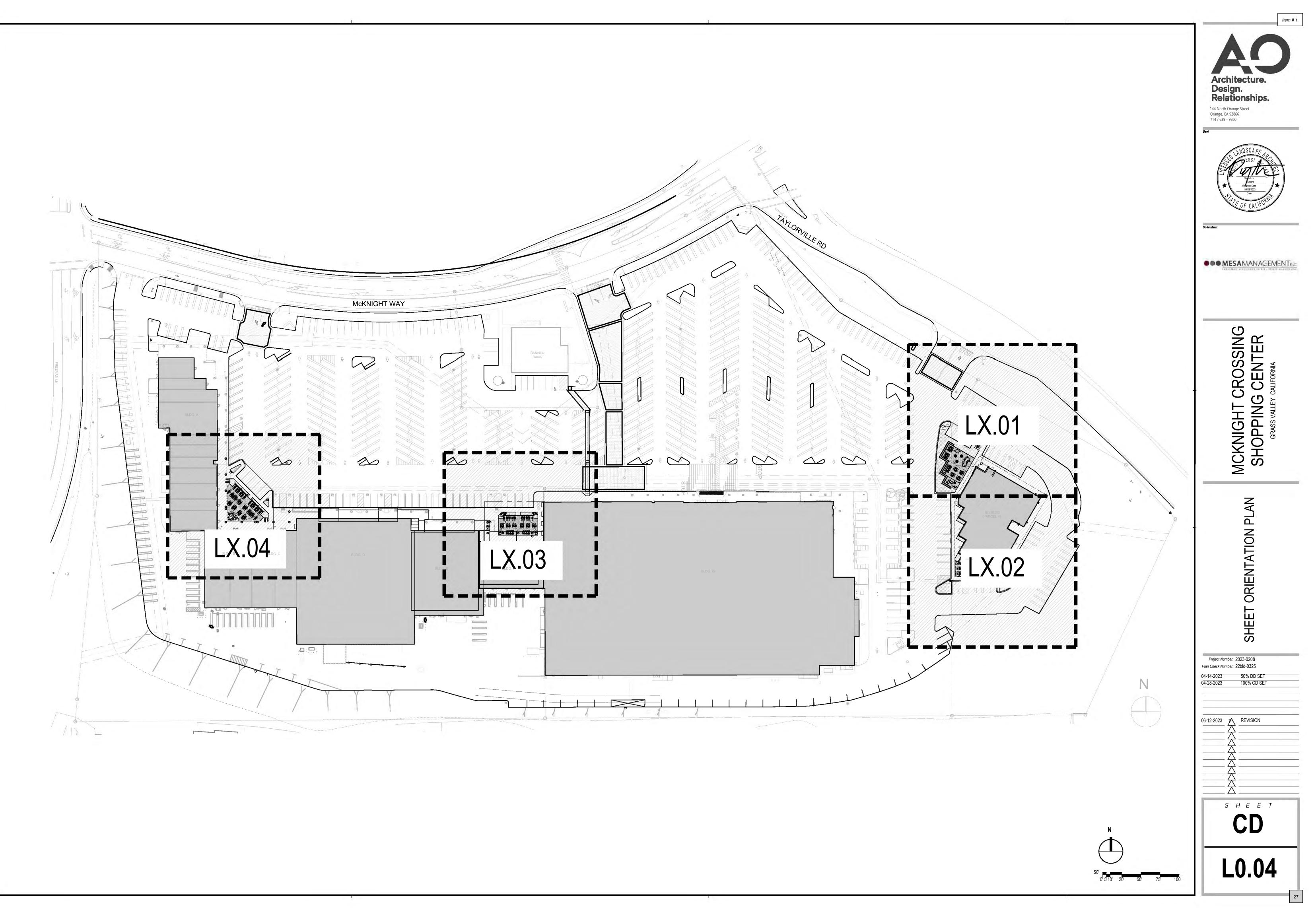
Applicant Signature: James Fitzpatrick

	-OFFICE USE ONLY-
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	





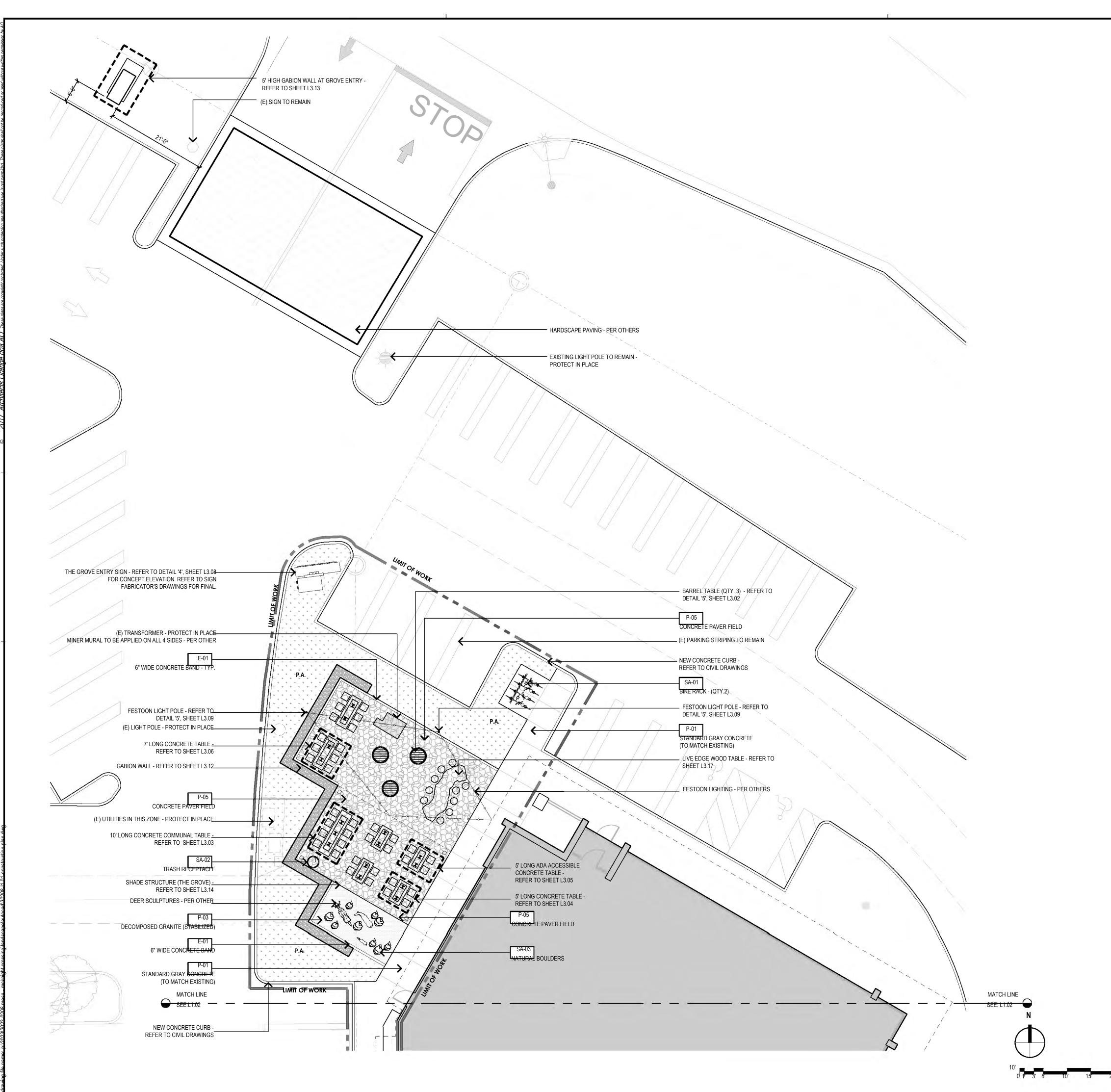




PAVIN	IG AND COBBLE SCHEDULE				Ĭ		Ĭ
SYMBOL	DESCRIPTION	DETAIL	TYPE / MODEL NO.	SIZE	COLOR	FINISH	MANUFACTURER / SUPPLIER
P-01	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01	C.I.P. CONCRETE PAVING - TO MATCH EXISTING	SAWCUT PER PLAN ³ ₁₆ " SAWCUT	STANDARD GRAY	TO MATCH EXISTING	-
P-02	C.I.P PEDESTRIAN CONCRETE PAVING 'PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01	INTEGRAL COLOR CONCRETE DAVIS COLORS : PEBBLE #641	SAWCUT PER PLAN ³³ 16" SAWCUT	DAVIS COLORS: PEBBLE #641	ACID ETCH - TOP CAST RETARDER GRADE #03 - WITH HAND SEEDED MICA FLAKE FINISH	SEALER: SCOFIELD WWW.SCOFIELD.COM
P-03	STABILIZED DECOMPOSED GRANITE	3 / L3.01	'CIGAR' STABILIZED DECOMPOSED GRANITE	⁻³ " MINUS TO FINES	CIGAR (DARK EARTHTONES)	STABILIZED	DECORATIVE STONE SOLUTIONS - RANDY JURGEN PHONE: 909.202.9279 EMAIL:RANDY@DECORATIVESTONESOLUTIONS.C
P-04	TRUNCATED DOME MAT DARK GREY	2 / L3.02	SSTD TRADITIONAL MAT SYSTEM	36" WIDE X PER PLAN LENGHT	DARK GREY	CLEAR SEALER (SSTD1250)	SAFETY STEP TD ATTN: LESLIE HAGAR 866.723.3883
P-05	CONCRETE PAVER FIELD	6 / L3.01	MEGA-ARBEL	15 ⁻³ " x 21 x 2 ⁻³ "	VICTORIAN	APPLY SEALANT	BELGARD - PHIL GALLICCHIO PHONE: 949.281.9692 EMAIL: PHIL.GALLICCHIO@O
S-01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04	SALMON BAY	_1" 2	MIXED COLORS, LIGHT EARTHTONES, RED/PINK,WHITE/COOL NEUTRAL	N/A	DECORATIVE STONE SOLUTIONS - RANDY JURGEN PHONE: 909.202.9279 EMAIL:RANDY@DECORATIVESTONESOLUTIONS.CO
WALL	SCHEDULE						
SYMBOL	DESCRIPTION	DETAIL	TYPE / MODEL NO.	SIZE	MATERIAL / COLOR	FINISH	MANUFACTURER / SUPPLIER
W-01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11	WALL: CAST IN PLACE WITH BOARD FORM FINISH	WALL : 6" WIDE X 42" HIGH	WALL : DAVIS COLOR: PEWTER #860	BOARD FORM FINISH	-
W-02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10	WALL: CAST IN PLACE WITH BOARD FORM FINISH	WALL : 6" WIDE X 42" HIGH	WALL : DAVIS COLOR: FLAGSTONE BROWN #641	BOARD FORM FINISH	-
EDGIN	IG SCHEDULE		1.		*		
SYMBOL	DESCRIPTION	DETAIL	TYPE / MODEL NO.	SIZE	MATERIAL / COLOR	FINISH	MANUFACTURER / SUPPLIER
E-01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01	INTEGRAL COLOR CONCRETE DAVIS COLORS : PEBBLE #641	6" WIDE X DEPTH BY GEOTECH REPORT 316" SAWCUT @ EVERY 60"	CONCRETE : PEBBLE #641	MEDIUM BROOM FINISH	SEALER: SCOFIELD WWW.SCOFIELD.COM
SITE A	AMENITIES SCHEDULE						
SYMBOL	DESCRIPTION	QTY	TYPE / MODEL NO.	SIZE	MATERIAL / COLOR	FINISH	MANUFACTURER / SUPPLIER
SA-01	BIKE RACKS	8	MODERN BIKE BOLLARD / MODEL 2013	4 ^{−3} ₁₆ "D x 21 ^{−11} ₁₆ "W x 36" H	STEEL POWDERCOATED / SPARTAN BRONZE	PREMIUM POWDER COATED SPARTAN BRONZE METALLIC	BELSON OUTDOORS WWW.BELSON.COM
SA-02	TRASH RECEPTACLE	5	32 GALLON POWDER -COATED TRASH RECEPTACLE / MODEL # SPCT32	25" DIA. X 40.25"	STEEL POWDERCOATED / SPARTAN BRONZE	POWDERCOATED	BELSON OUTDOORS WWW.BELSON.COM
SA-03	NATURAL BOULDERS	PER PLAN	NATURAL BOULDERS CIGAR BOULDER	A: 18"-24" B: 24"-32" C: 32"-36"	NATURAL ANGULAR STONE	N/A	DECORATIVE STONE SOLUTIONS - RANDY JURGEN PHONE: 909.202.9279 EMAIL:RANDY@DECORATIVESTONESOLUTIONS.CO

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		ltem # 1.
	COMMENTS	AO
	SEAL CONCRETE WITH 'REPELLO FPS' CLEAR MATTE SEALER BY SCOFIELD MOCK-UP REQUIRED FOR FINAL STAIN COLOR ON DECK	Architecture.
	SEAL CONCRETE WITH 'REPELLO FPS' CLEAR MATTE SEALER BY SCOFIELD	Design. Relationships.
ENSEN		144 North Orange Street Orange, CA 92866 714 / 639 - 9860
.COM		NDS <u>CAP</u> F
	_	CANDOCAPE POSSI PSSI
OLDCASTLE.COM	SAND SET PAVERS APPLY THE TECHNISEAL PROTECTOR (IN) AND TECHNISEAL HP JOINTING SAND PER MANUFACTURERS RECOMMENDATIONS	Signafure odogozat Renewkil Date D4/28/2023
ENSEN	MINIMUM OF 1 ¹ / ₂ THICK OF COBBLE PER POT	Date DE CALIFORNIA
COM		Genankert
	COMMENTS	••• MESAMANAGEMENT
	CONTRACTOR TO PROVIDE MOCK-UP SAMPLES OF BOARD FORM COLOR	
	CONTRACTOR TO PROVIDE MOCK-UP SAMPLES OF BOARD FORM COLOR	
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	COMMENTS	SSIN ATER
	SEAL CONCRETE WITH 'REPELLO FPS' CLEAR MATTE SEALER BY SCOFIELD	IGHT CROSSING PPING CENTER Grass valley, california
	COMMENTS	
	COMMENTS	MCKNIGH SHOPPIN GRASS VAL
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ENSEN	STONES TO BE INSTALLED ¹ "-UNDER FINISH GRADE	щ
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		MASTER FINISH SCHEDUI
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		Project Number: 2023-0208
		Plan Check Number: 22bld-0325 04-14-2023 50% DD SET
		04-28-2023 100% CD SET
		06-12-2023 7 REVISION
		sheet CD
		L1.00



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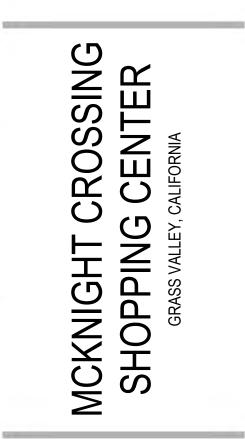
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SYMBOL	DESCRIPTION	DETAIL
P-01	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01
P-02	C.I.P PEDESTRIAN CONCRETE PAVING PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01
P-03	STABILIZED DECOMPOSED GRANITE	3 / L3.01
P-04	TRUNCATED DOME MAT DARK GREY	2 / L3.02
P-05	CONCRETE PAVER FIELD	6 / L3.01
S-01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04
WALL	SCHEDULE	
SYMBOL	DESCRIPTION	DETAIL
W-01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11
W-02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10
EDGIN	G SCHEDULE	
SYMBOL	DESCRIPTION	DETAIL
E-01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01
SITE A	MENITIES SCHEDULE	
SYMBOL	DESCRIPTION	QTY
SA-01	BIKE RACKS	8
SA-02	TRASH RECEPTACLE	5
SA-03	NATURAL BOULDERS	PER PLAN
1. REFER 1 2. REFER 1 3. REFER 1 4. CONTRA 5. 6. 7. ALL FUR 8. ALL CIVI CONSULTA 9. CONTRA CONSTRUC 10. CONTRA DURING CO 11. CONTR INSTALLAT 12. CONTRA	CONSTRUCTION PLAN NOTES O GENERAL NOTES AND LEGENDS, SHEET L0.02 FOR GENERAL CONSTRUCTION NOTES AND AB TO FINISH SCHEDULE, SHEET L1.00 FOR FINISH INFORMATION. TO POTTERY & SITE AMENITIES PLANS FOR POTTERY & SITE AMENITIES IDENTIFICATION. ACTOR TO VERIFY ALL QUANTITIES PRIOR TO PURCHASE AND INSTALLATION. HATCH DENOTES PLANTING AREA. HATCH DENOTES DECOMPOSED GRANITE. NITURE TO BE HANDLED BY FFE CONSULTANT, UNLESS SPECIFIED ON LANDSCAPE PLANS. L INFORMATION AND SITE UTILITIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. REF NT DRAWINGS. ACTOR SHALL VERIFY ALL DIMENSIONS AND ALL INFORMATION AGAINST EXISTING CONDITIONS F CTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REP. OR ARCHITECT OF ANY DISCREPANCIES ACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOF DISTRUCTION. ACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS NECESSARY FOR IRRIGATION (ON OF CONCRETE PAVING. ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKING ACTOR SHALL NOT WILLFULLY PR	ER TO APPROPRIATE PRIOR TO THE START OF S. ALL DAMAGES INCURRED ON DESIGN PRIOR TO NOWN OBSTRUCTIONS DNS SHALL BE

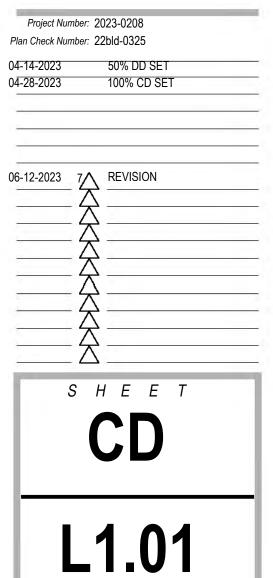
15. ALL GRADING ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING AREAS) AWAY FROM STRUCTURES AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.

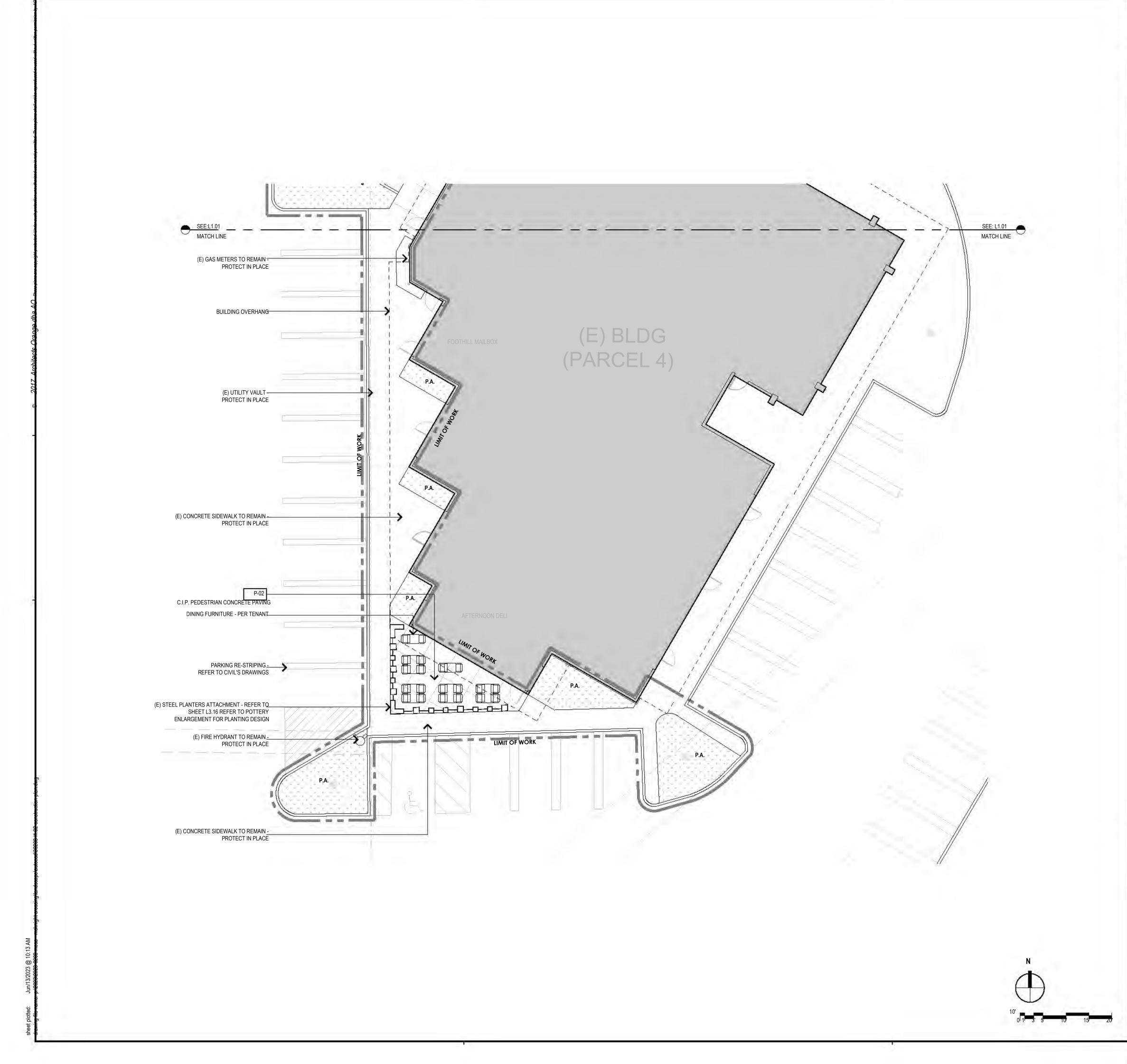
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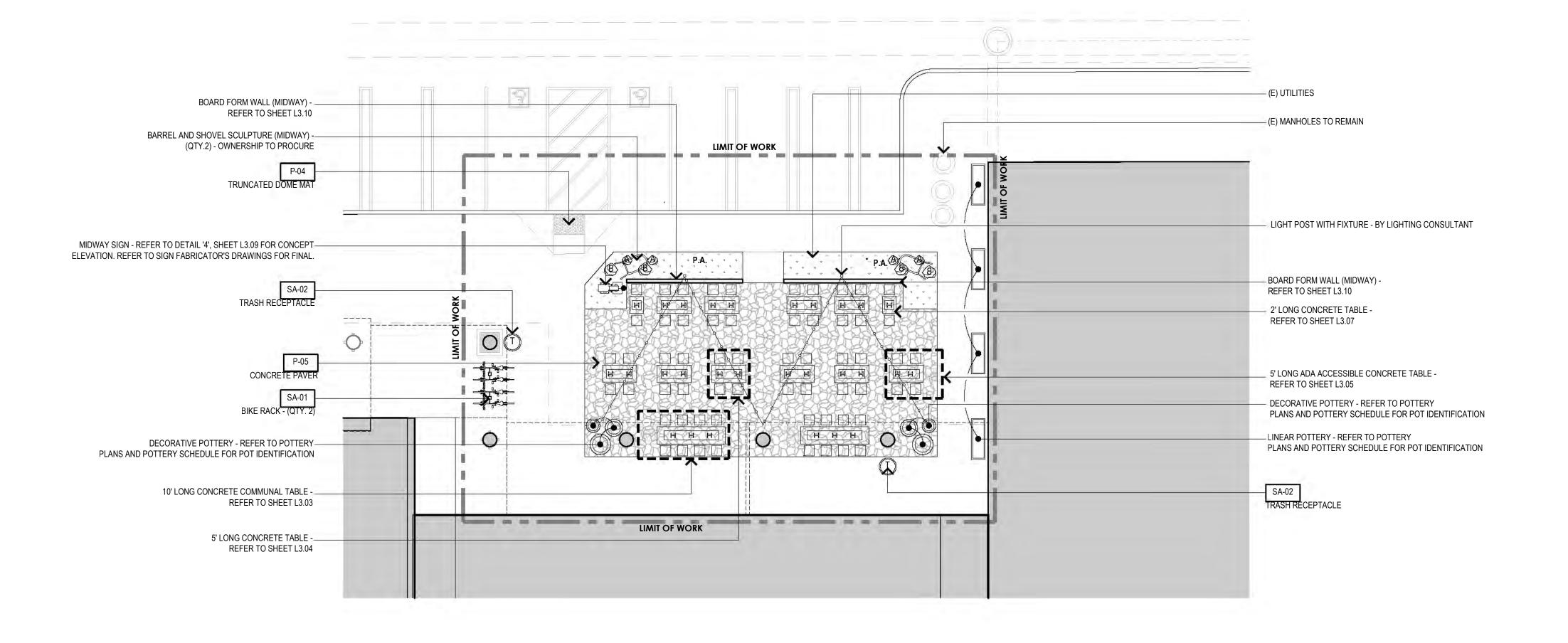


BOL	G AND COBBLE SCHEDULE DESCRIPTION	DETAIL
	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01
02	C.I.P PEDESTRIAN CONCRETE PAVING 'PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01
P-03	STABILIZED DECOMPOSED GRANITE	3 / L3.01
P-04	TRUNCATED DOME MAT DARK GREY	2 / L3.02
P-05	CONCRETE PAVER FIELD	6 / L3.01
S-01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04
VALL	SCHEDULE	
MBOL	DESCRIPTION	DETAIL
V-01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11
W-02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10
DGIN	G SCHEDULE	
MBOL	DESCRIPTION	DETAIL
E-01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01
ITE A	MENITIES SCHEDULE	
MBOL	DESCRIPTION	QTY
SA-01	BIKE RACKS	8
SA-02	TRASH RECEPTACLE	5
SA-03	NATURAL BOULDERS	PER PLAN
REFER T REFER T CONTRA	ONSTRUCTION PLAN NOTES O GENERAL NOTES AND LEGENDS, SHEET L0.02 FOR GENERAL CONSTRUCTION NOTES AND A O FINISH SCHEDULE, SHEET L1.00 FOR FINISH INFORMATION. O POTTERY & SITE AMENITIES PLANS FOR POTTERY & SITE AMENITIES IDENTIFICATION. CTOR TO VERIFY ALL QUANTITIES PRIOR TO PURCHASE AND INSTALLATION. HATCH DENOTES PLANTING AREA. HATCH DENOTES DECOMPOSED GRANITE. HATCH DENOTES DECOMPOSED GRANITE. HATCH DENOTES DECOMPOSED GRANITE. HATCH DENOTES DECOMPOSED GRANITE.	
 CONTRA CONSTRUC CONTR/ DURING CO CONTR/ NSTALLATI CONTR/ AND/OR GR ALL COI ALL COI ALL COI ALL COI ALL COI ALL COI MEETING TI WITH ACCE SALL GRA 	NT DRAWINGS. CTOR SHALL VERIFY ALL DIMENSIONS AND ALL INFORMATION AGAINST EXISTING CONDITIONS TION. CONTRACTOR SHALL NOTIFY THE OWNER'S REP. OR ARCHITECT OF ANY DISCREPANCI ACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FO INSTRUCTION. ACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS NECESSARY FOR IRRIGAT ON OF CONCRETE PAVING. ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UN ADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDIT ADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDIT ADE DIFFERENCES EXIST THAT MAY NOT THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RE (REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS. INSTRUCTION AND INSTALLATION OF LANDSCAPE ITEMS SHALL BE PER LOCAL CODES AND OR INSTALLATION INCLUDING COORDINATION OF DESIGN INTENT WITH LANDSCAPE ARCHITECT. THE APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE OP INSTALLATION INCLUDING COORDINATION OF DESIGN INTENT WITH LANDSCAPE ARCHITECT. THE APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE OP INSTALLATION. DING ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING ES AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.	ES. DR ALL DAMAGES INCURI FION DESIGN PRIOR TO KNOWN OBSTRUCTIONS TONS SHALL BE ESPONSIBILITY FOR ALL DINANCES. ER EXECUTION OF ALL . ANY CONSTRUCTION N CONTRACTOR'S EXPENSI

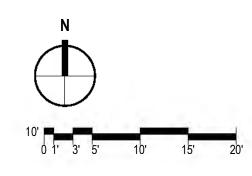
MESAMANAGEMENTING MCKNIGHT CROSSING SHOPPING CENTER GRASS VALLEY, CALIFORNIA

REVISION НЕЕТ CD

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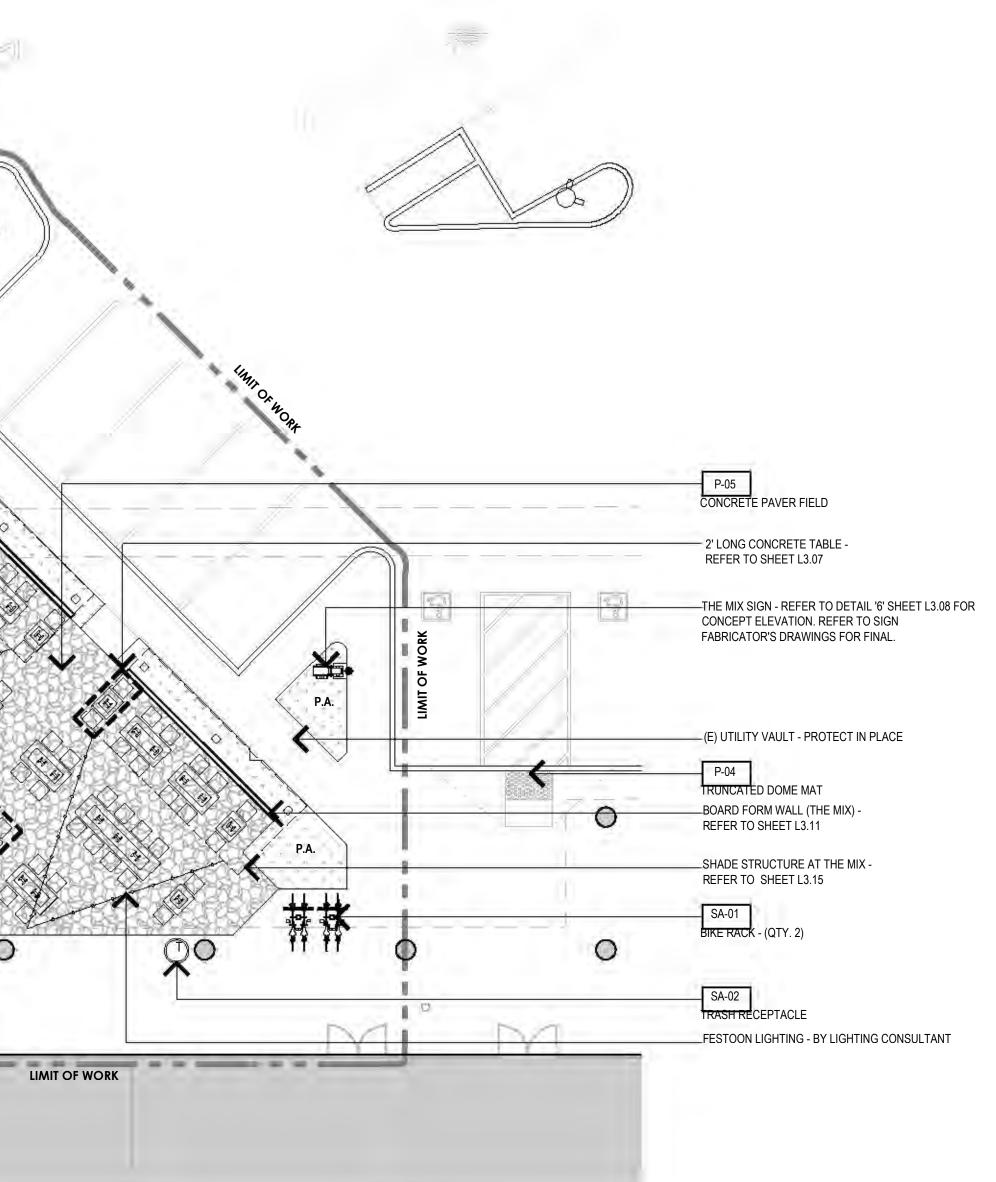
			Item # 1.
PAVIN	G AND COBBLE SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL	
P-01	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01	Architecture. Design.
P-02	C.I.P PEDESTRIAN CONCRETE PAVING 'PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01	Relationships. 144 North Orange Street Orange, CA 92866 714 / 639 - 9860
P-03	STABILIZED DECOMPOSED GRANITE	3 / L3.01	Saal
P-04	TRUNCATED DOME MAT DARK GREY	2 / L3.02	LANDSCAPE APC
P-05	CONCRETE PAVER FIELD	6 / L3.01	Strature 09/2024 → Hnewai Date 04/28/2023 Date 04/28/2023 Date 04/28/2023
S-01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04	CONSULTERN
WALL	SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL	
W-01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11	and the second s
W-02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10	
EDGIN	IG SCHEDULE		U .
SYMBOL	DESCRIPTION	DETAIL	OSSING ENTER ORNA
E-01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01	IIGHT CROS PPING CEN GRASS VALLEY, CALIFORNIA
SITE A	AMENITIES SCHEDULE		
SYMBOL	DESCRIPTION	QTY	
SA-01	BIKE RACKS	8	MCKNIG SHOPP GRASS
SA-02	TRASH RECEPTACLE	5	S S
SA-03	NATURAL BOULDERS	PER PLAN	
			Project Number: 2023-0208 Project Number: 2220-0208 Plan Check Number: 22bld-0325 04-14-2023 50% DD SET 04-28-2023 100% CD SET
 REFER REFER REFER CONTR CONTR ALL FUF ALL CIV CONSULTA CONSULTA CONSTRUE CONSTRUE CONSTRUE CONTR CONSTRUE CONSTRUE CONTR CONTR	CONSTRUCTION PLAN NOTES TO GENERAL NOTES AND LEGENDS, SHEET L0.02 FOR GENERAL CONSTRUCTION NOTES AND A TO FINISH SCHEDULE, SHEET L1.00 FOR FINISH INFORMATION. TO POTTERY & SITE AMENITIES PLANS FOR POTTERY & SITE AMENITIES IDENTIFICATION. ACTOR TO VERIFY ALL QUANTITIES PRIOR TO PURCHASE AND INSTALLATION. HATCH DENOTES PLANTING AREA. HATCH DENOTES DECOMPOSED GRANITE. NITURE TO BE HANDLED BY FFE CONSULTANT, UNLESS SPECIFIED ON LANDSCAPE PLANS. IL INFORMATION AND SITE UTILITIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. RE ANT DRAWINGS. ACTOR SHALL VERIFY ALL DIMENSIONS AND ALL INFORMATION AGAINST EXISTING CONDITIONS CTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REP. OR ARCHITECT OF ANY DISCREPANCI ACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FC ONSTRUCTION. CONCRETE PAVING. ACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS NECESSARY FOR IRRIGAT ION OF CONCRETE PAVING. ACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNI RADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDIT ELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RE RY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS. DNSTRUCTION AND INSTALLATION OF LANDSCAPE ITEMS SHALL BE PER LOCAL CODES AND ORI ONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE REPLOCED AT THE CO DATRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE REPLOCED AT THE CO DATRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE REPLACED AT THE CO DATRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE REPLACED AT THE CO DATRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE REPLACED AT THE CO DATRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE REPLACED AT THE CO DATRACTOR SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING J DATES AND ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING J DINGON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING J DING ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN P	EFER TO APPROPRIATE S PRIOR TO THE START OF ES. DR ALL DAMAGES INCURRED TION DESIGN PRIOR TO KNOWN OBSTRUCTIONS TONS SHALL BE ESPONSIBILITY FOR ALL DINANCES. ER EXECUTION OF ALL ANY CONSTRUCTION NOT CONTRACTOR'S EXPENSE	$\begin{array}{c c} \hline 06-12-2023 & REVISION \\ \hline \\ $

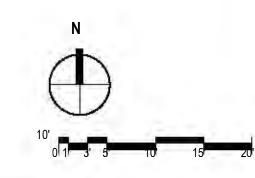
15. ALL GRADING ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING AREAS) AWAY FROM STRUCTURES AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.

Architecture. Design. Relationships. 144 North Orange Street Orange, CA 92866
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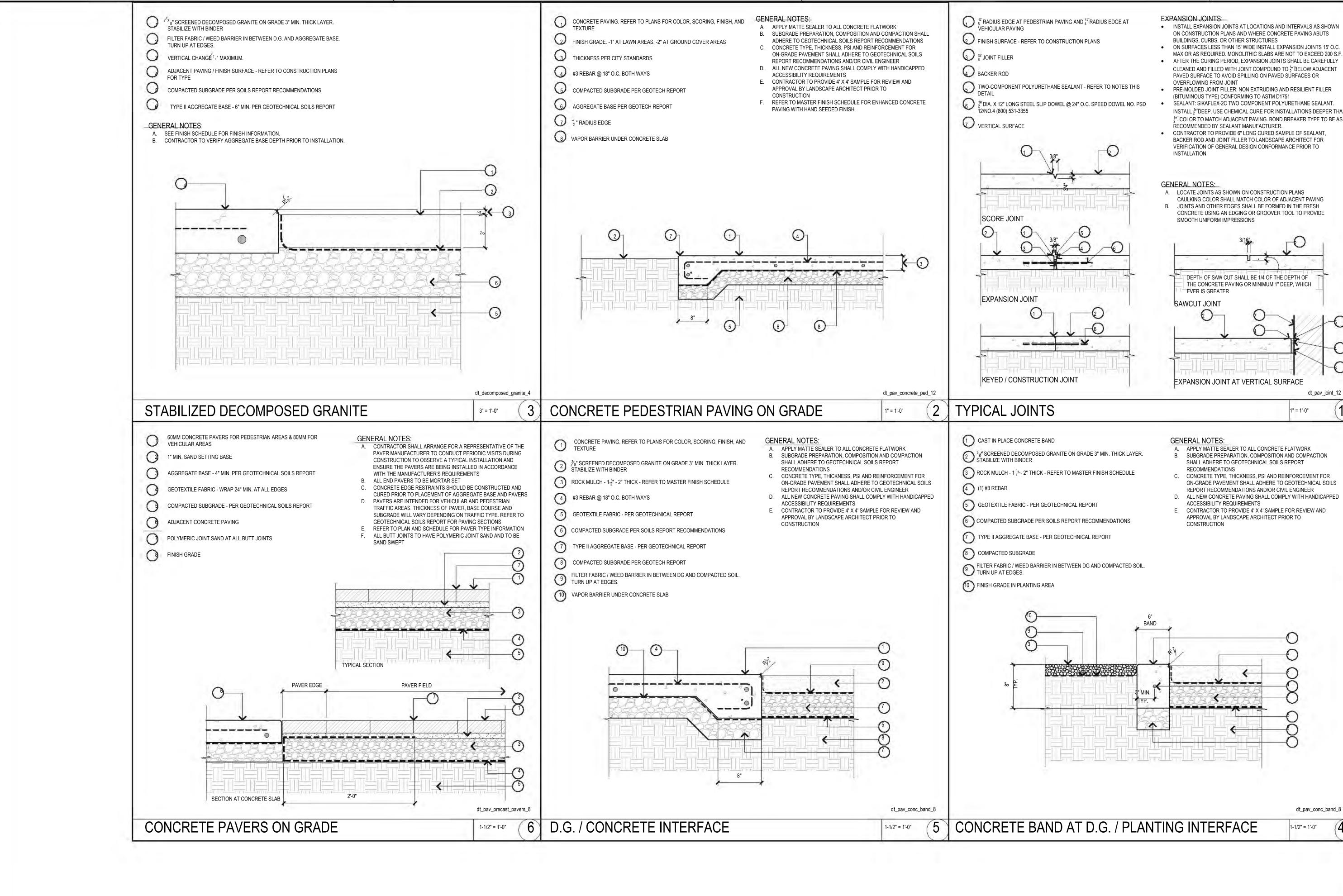
		2	
		C	
		4	
	BUILDING OVERHANG)	P.A.
	SA-02 TRASH RECEPTACLE	2 0	
	SA-01		
	BIKE RACK - (QTY. 2) BOARD FORM WALL (THE MIX)		PA.
	REFER TO SHEET L3.11 SHADE STRUCTURE AT THE MIX		
	BUILDING COLUMNS		
	10' LONG CONCRETE COMMUNAL TABLE	T I	X
Ę	5' LONG ADA ACCESSIBLE CONCRETE TABLE REFER TO SHEET L3.05	×	· Carton
		P.0	
	SA-02 TRASH RECEPTACLE E-01	×	
	6" WIDE CONCRETE BAND - TYP. MINERS AND MULE SCULPTURES (THE MIX) - OWNERSHIP TO PROCURE	1	- Alexandre
			CON CON
	SA-03		k
	NATURAL BOULDERS	n°.	N
	5' LONG CONCRETE TABLE REFER TO SHEET L3.04		

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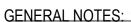


IBOL	DESCRIPTION	DETAIL	
-01	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01	AJ
	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAT		Architecture. Design. Relationships.
-02	'PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01	144 North Orange Street Orange, CA 92866 714 / 639 - 9860
03	STABILIZED DECOMPOSED GRANITE	3 / L3.01	
04	TRUNCATED DOME MAT DARK GREY	2 / L3.02	EST LANDSCAPE
05	CONCRETE PAVER FIELD	6 / L3.01	Signalure <u>Signalure</u> <u>Accentered</u> Reneweal Date <u>D4/28/20123</u> Date
01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04	Date Date OF CALIFORNIT
ALL	SCHEDULE		Counciliant
BOL	DESCRIPTION	DETAIL	••• MESAMANAGEMENT
01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11	
02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10	
GIN	G SCHEDULE		(")
BOL	DESCRIPTION	DETAIL	ER SINC
01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01	CENTER CALIFORNIA
TE A	MENITIES SCHEDULE	1	
BOL	DESCRIPTION	QTY	
-01	BIKE RACKS	8	MCKNIG SHOPP GRASS
-02	TRASH RECEPTACLE	5	Т З Ч С Ч С Ч С Ч С
-03	NATURAL BOULDERS	PER PLAN	
			CONSTRUCTION PLAN
REFER T REFER 1	CONSTRUCTION PLAN NOTES CONSTRUCTION PLAN NOTES O GENERAL NOTES AND LEGENDS, SHEET L0.02 FOR GENERAL CONSTRUCTION NOTES AND AN O FINISH SCHEDULE, SHEET L1.00 FOR FINISH INFORMATION.	BBREVIATIONS.	Project Number: 2023-0208 Project Number: 2023-0208 Plan Check Number: 22bld-0325 04-14-2023 50% DD SET 04-28-2023 100% CD SET 06-12-2023 7 REVISION
REFER T REFER T CONTRA ALL FUR ALL CIVI DNSULTA CONTRA DNSTRUC CONTRA IRING CC CONTR IRING CC CONTR IRING CC CONTR ID/OR GF MEDIATE CESSAR ALL CO THE CC	O GENERAL NOTES AND LEGENDS, SHEET L0.02 FOR GENERAL CONSTRUCTION NOTES AND A	FER TO APPROPRIATE PRIOR TO THE START OF ES. R ALL DAMAGES INCURRED ION DESIGN PRIOR TO KNOWN OBSTRUCTIONS IONS SHALL BE SPONSIBILITY FOR ALL DINANCES. FR EXECUTION OF ALL	Project Number: 2023-0208 Plan Check Number: 22bld-0325 04-14-2023 50% DD SET 04-28-2023 100% CD SET



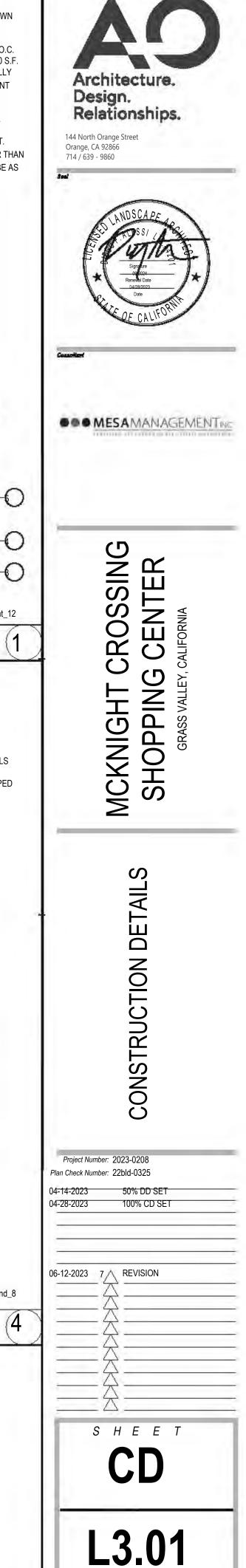
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- ON CONSTRUCTION PLANS AND WHERE CONCRETE PAVING ABUTS
- ON SURFACES LESS THAN 15' WIDE INSTALL EXPANSION JOINTS 15' O.C. MAX OR AS REQUIRED. MONOLITHIC SLABS ARE NOT TO EXCEED 200 S.F. AFTER THE CURING PERIOD, EXPANSION JOINTS SHALL BE CAREFULLY CLEANED AND FILLED WITH JOINT COMPOUND TO ¹" BELOW ADJACENT
- SEALANT: SIKAFLEX-2C TWO COMPONENT POLYURETHANE SEALANT. INSTALL ¹" DEEP. USE CHEMICAL CURE FOR INSTALLATIONS DEEPER THAN ¹/₂. COLOR TO MATCH ADJACENT PAVING. BOND BREAKER TYPE TO BE AS
- BACKER ROD AND JOINT FILLER TO LANDSCAPE ARCHITECT FOR

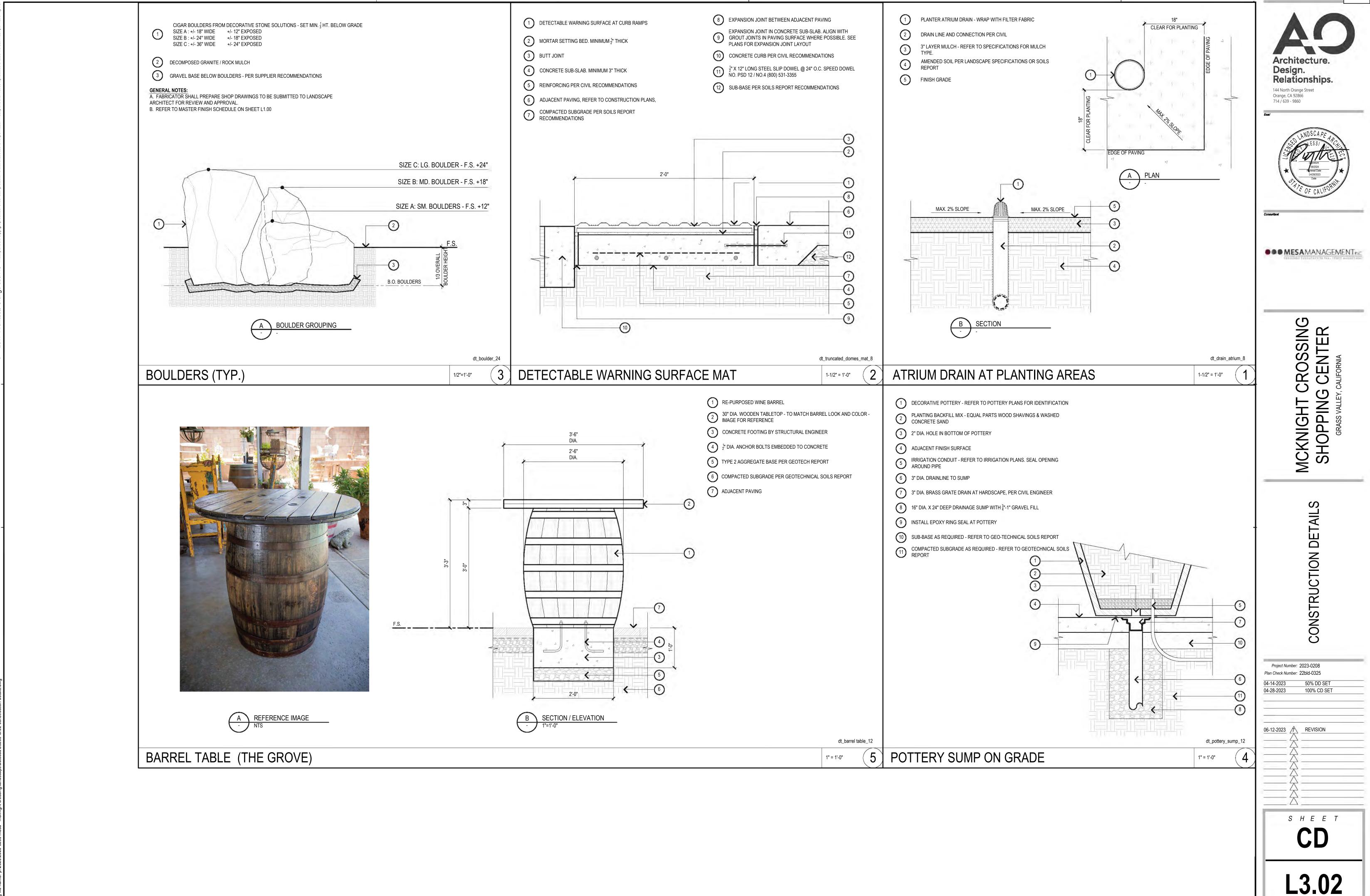




- SUBGRADE PREPARATION, COMPOSITION AND COMPACTION
- CONCRETE TYPE, THICKNESS, PSI AND REINFORCEMENT FOR ON-GRADE PAVEMENT SHALL ADHERE TO GEOTECHNICAL SOILS
- CONTRACTOR TO PROVIDE 4' X 4' SAMPLE FOR REVIEW AND



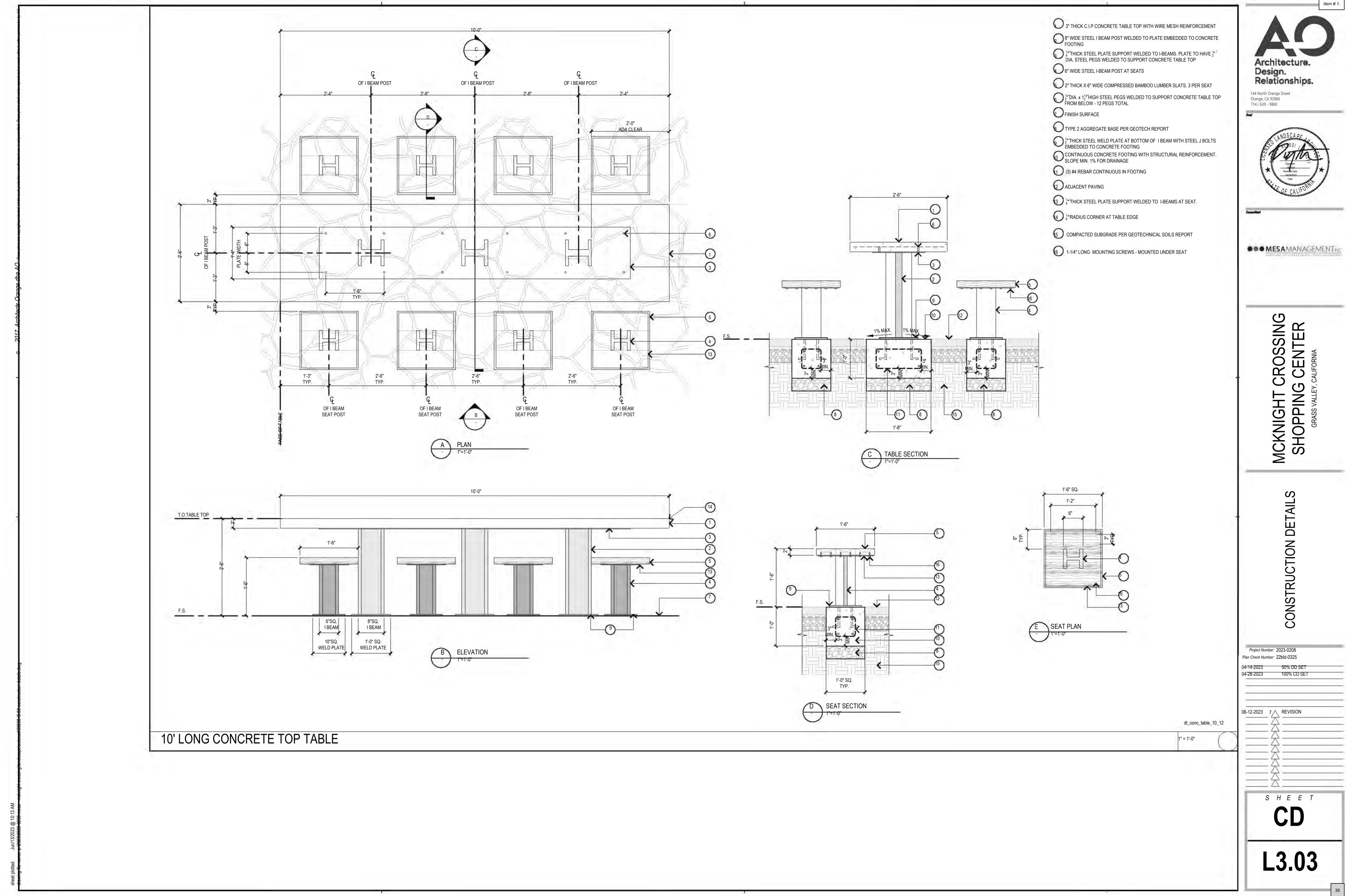
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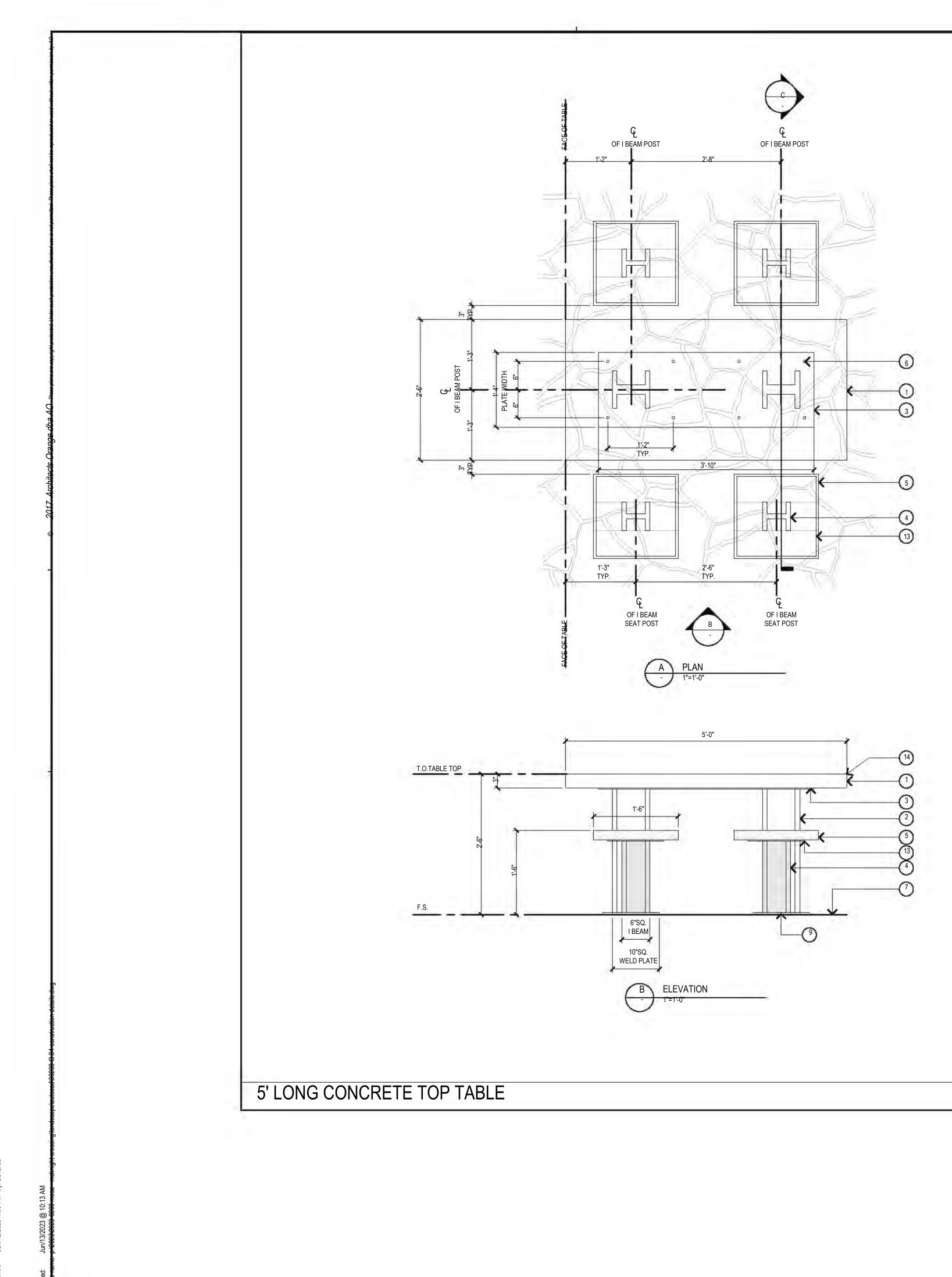
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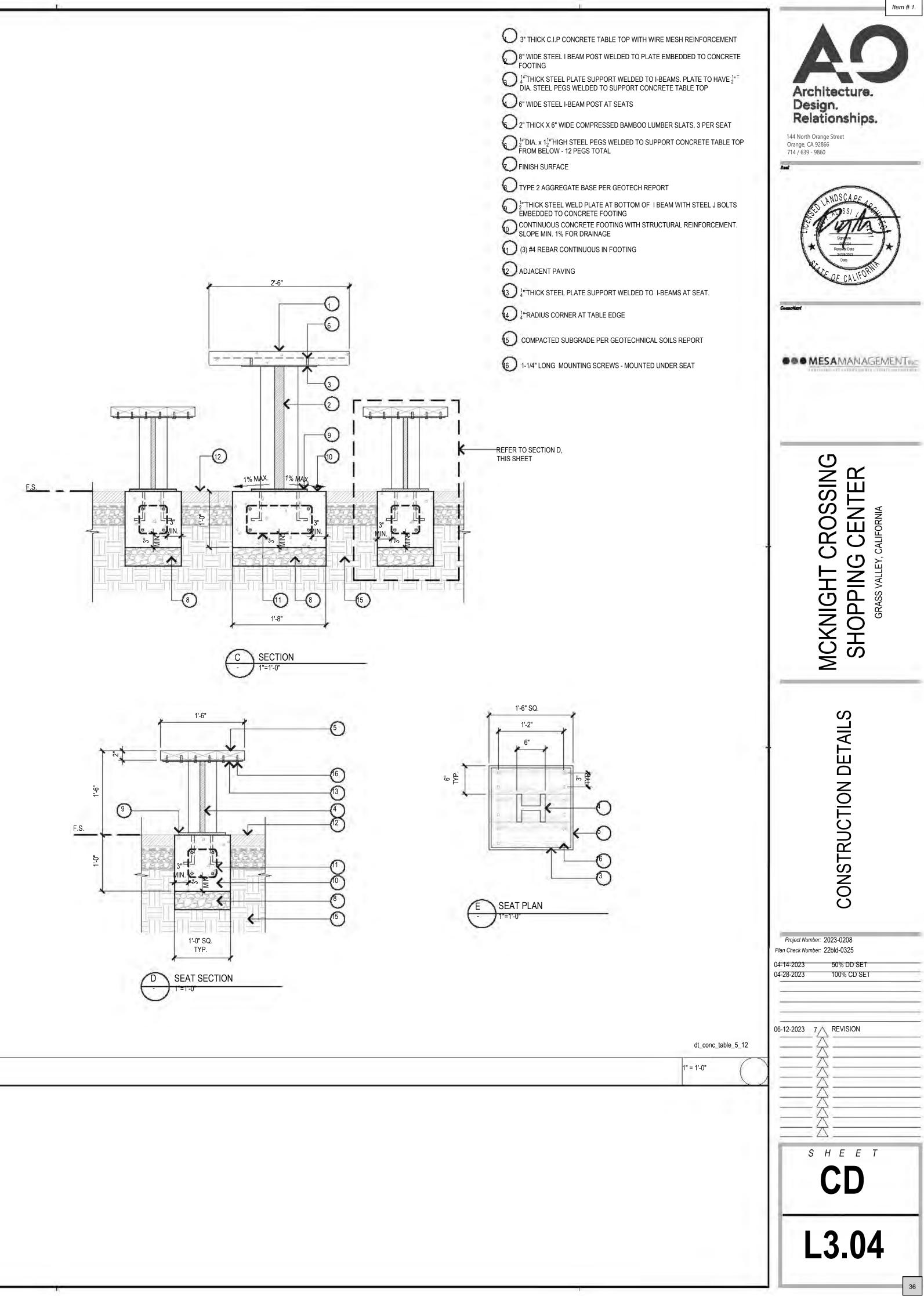
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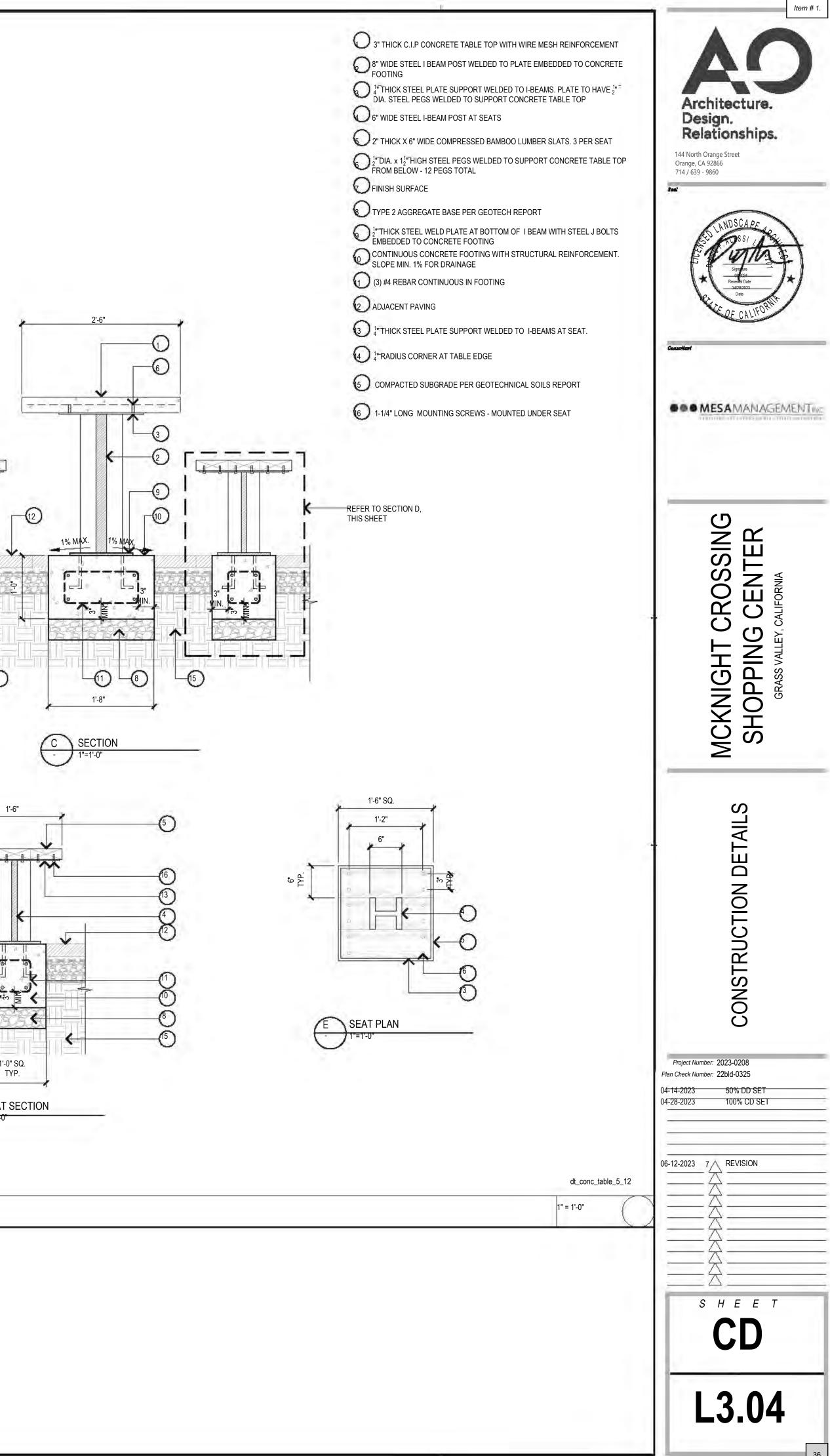
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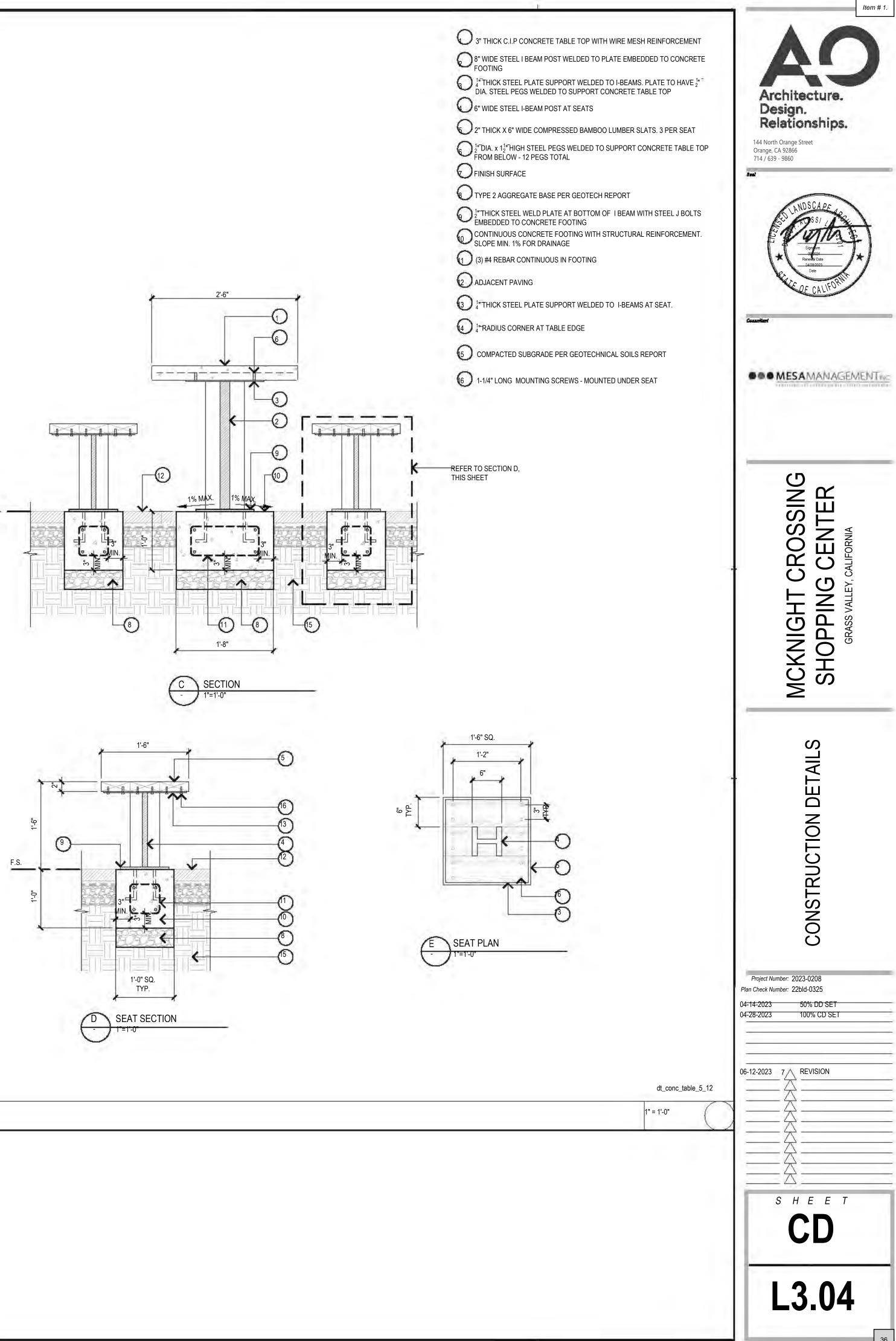


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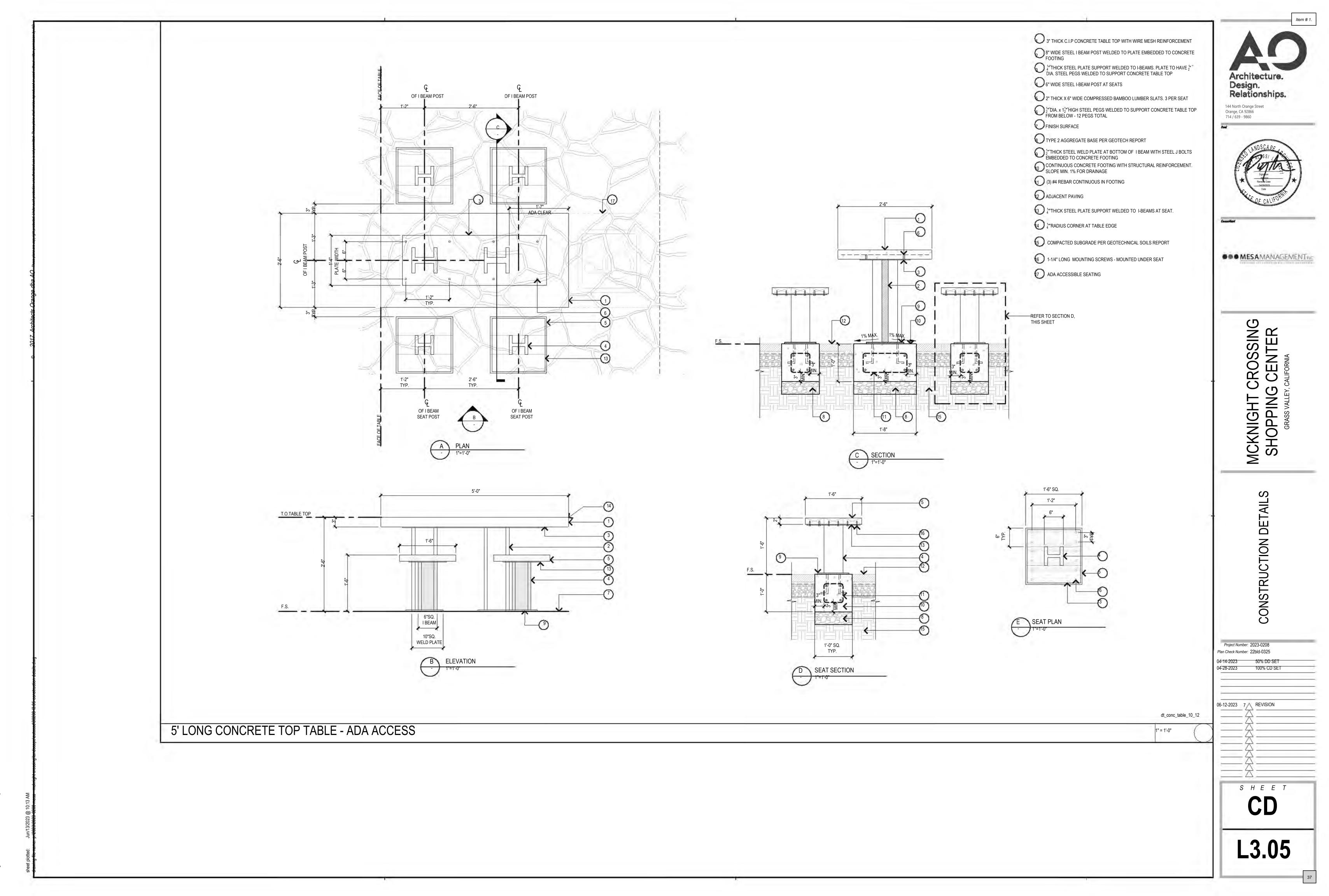




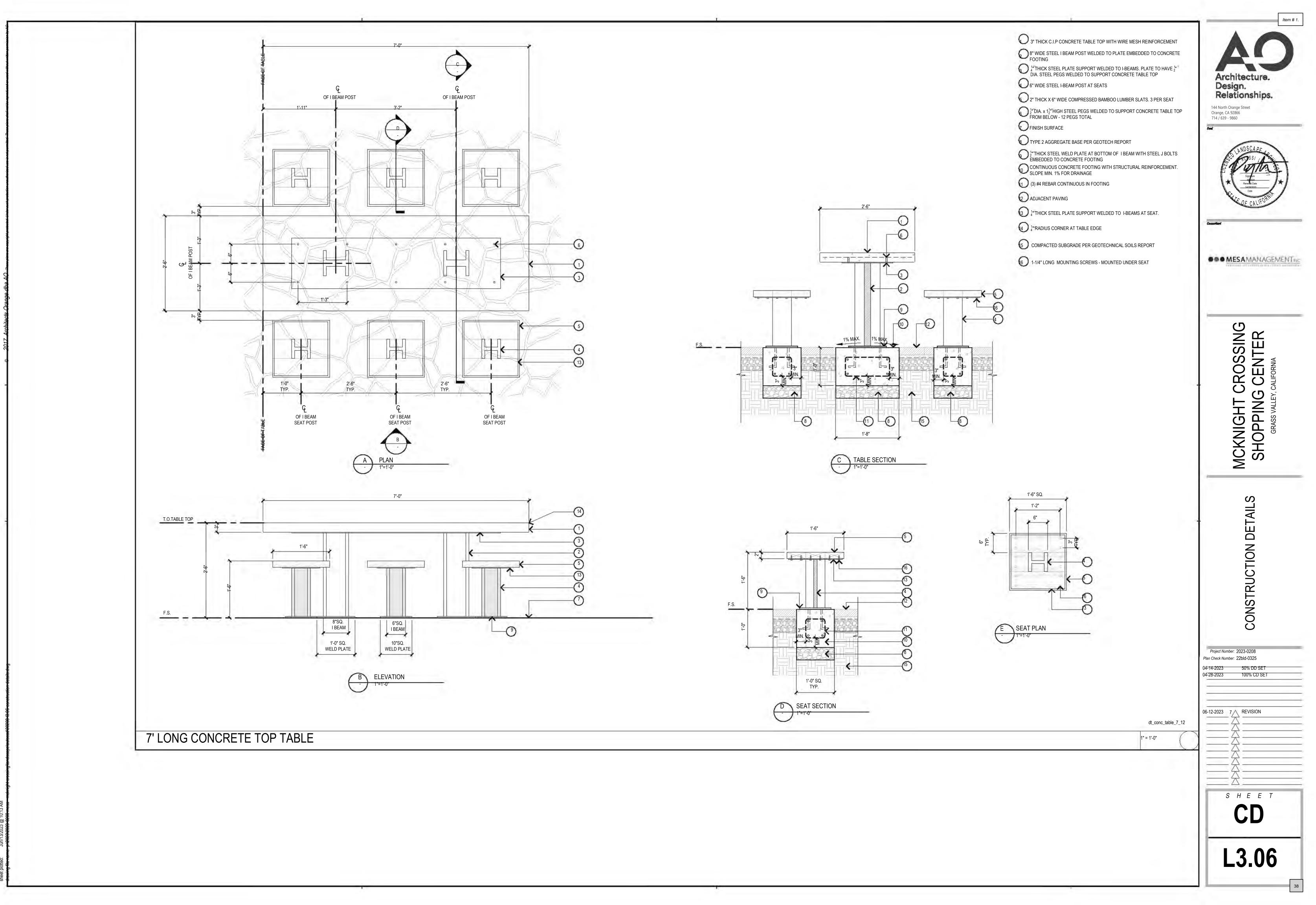


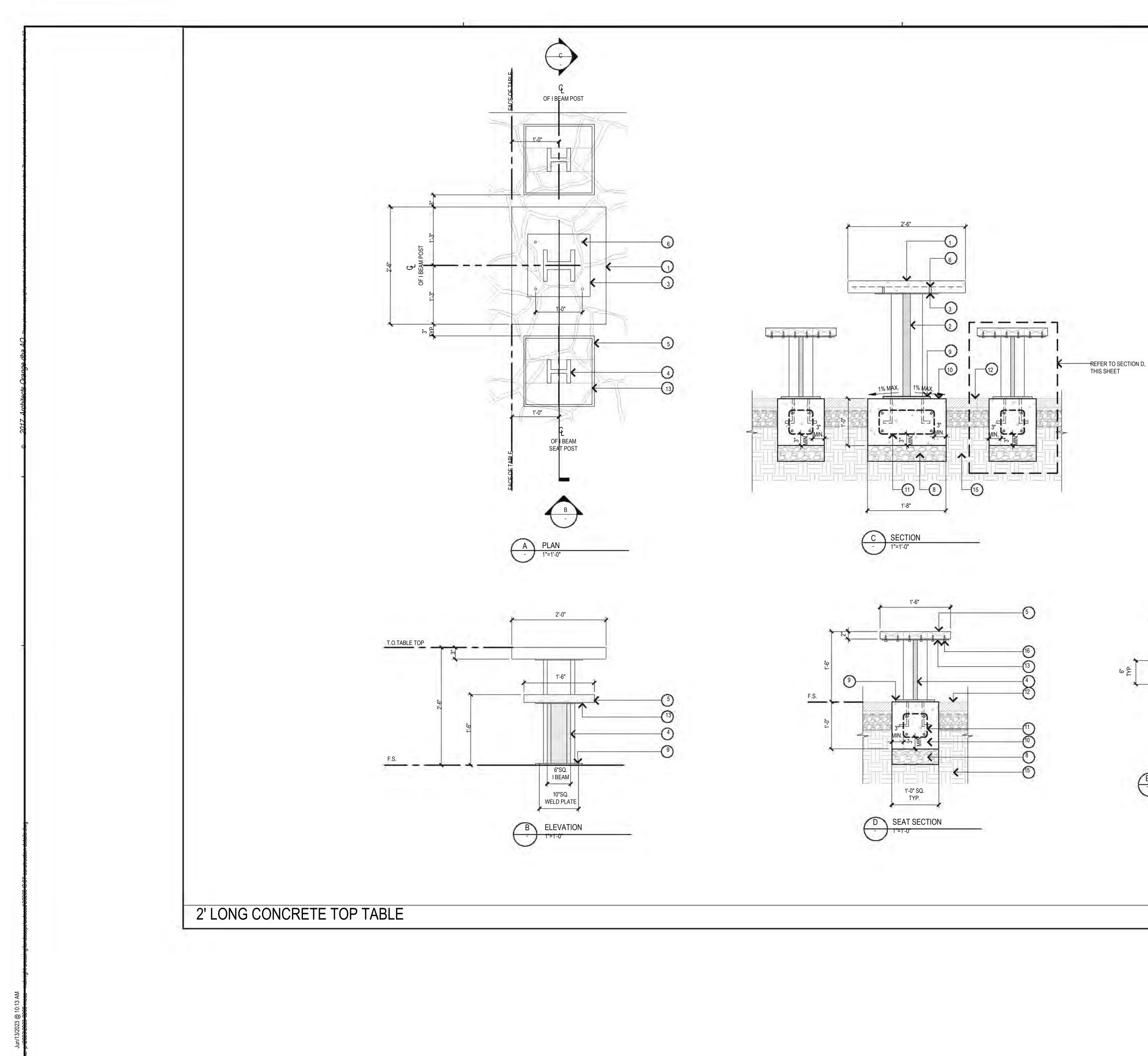


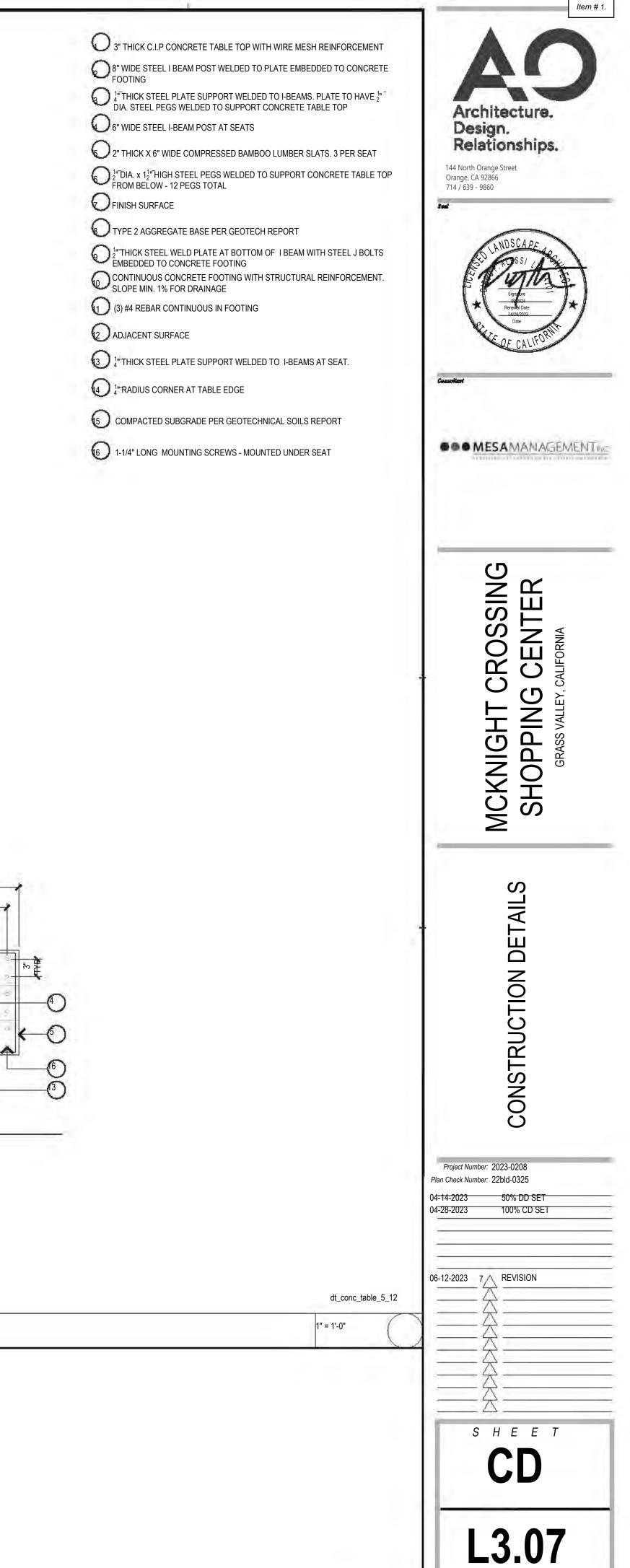








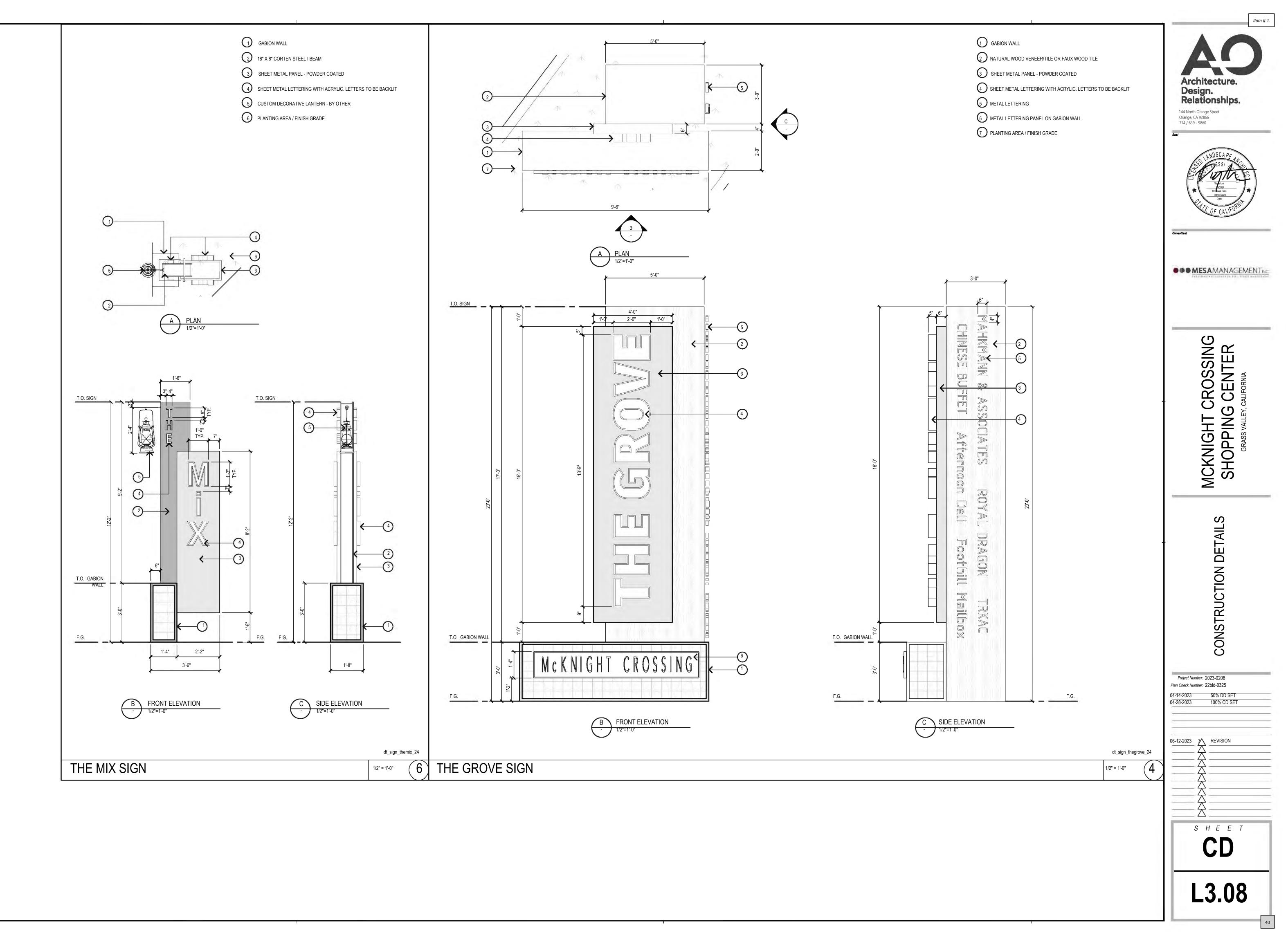


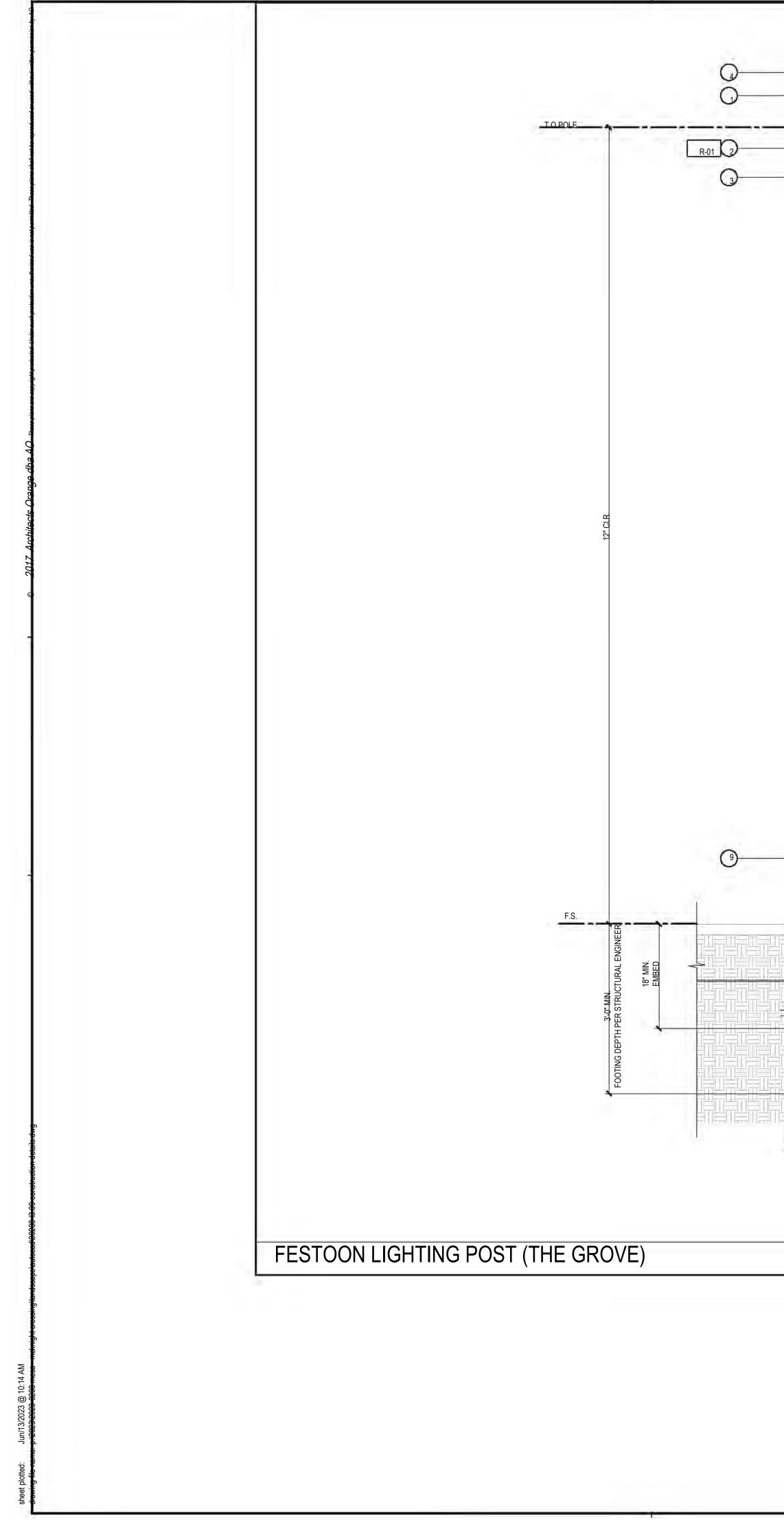


E SEAT PLAN

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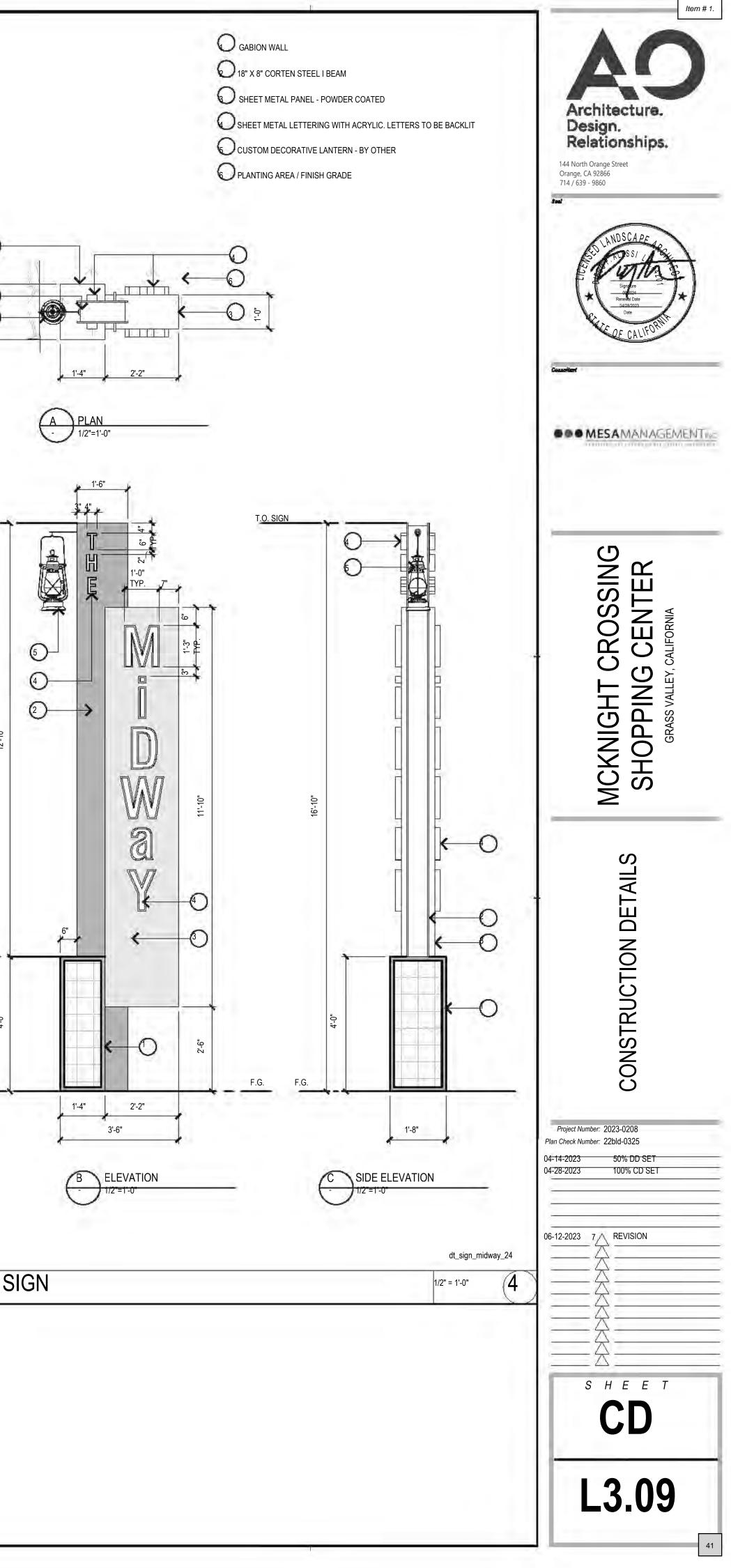


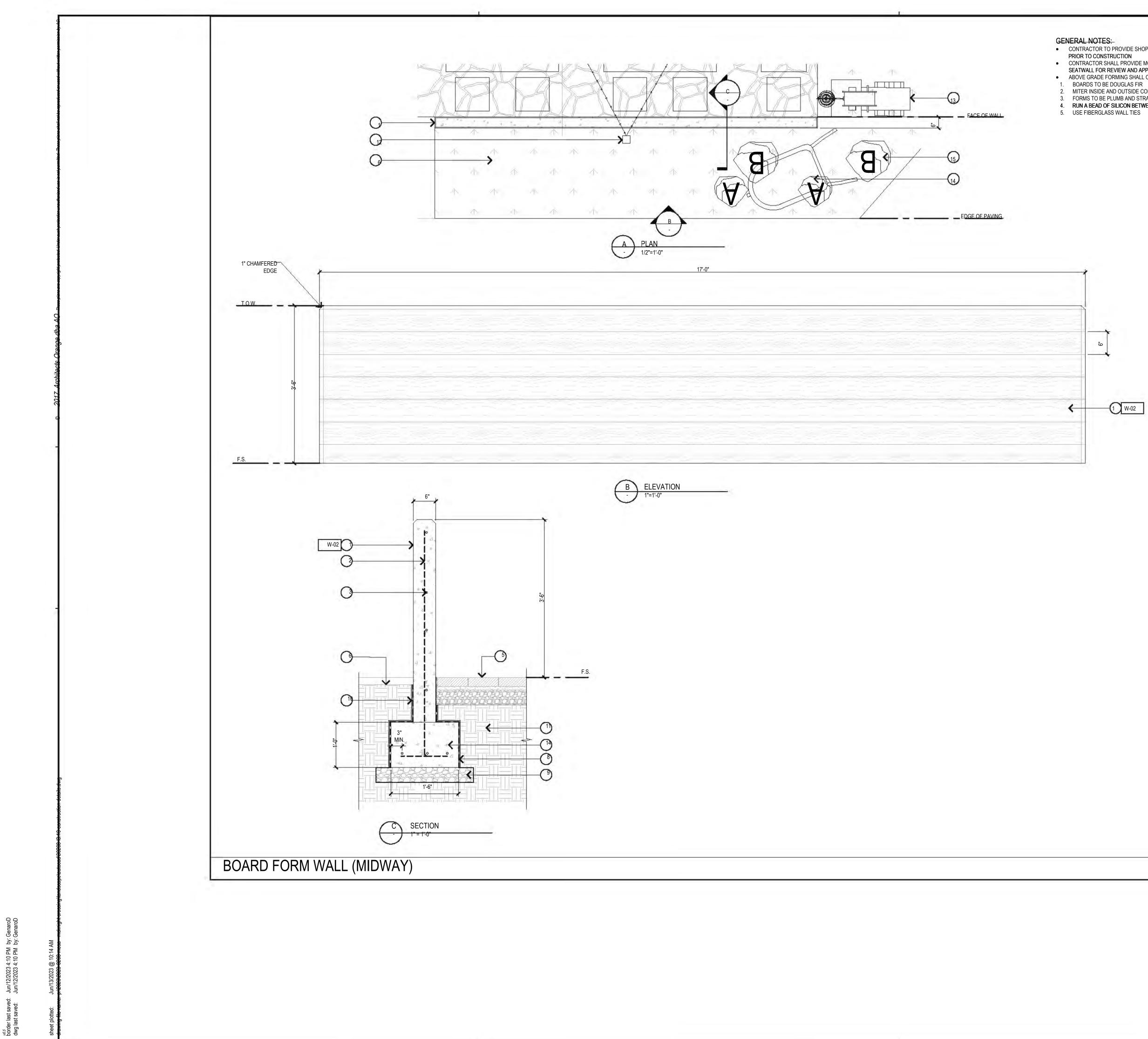


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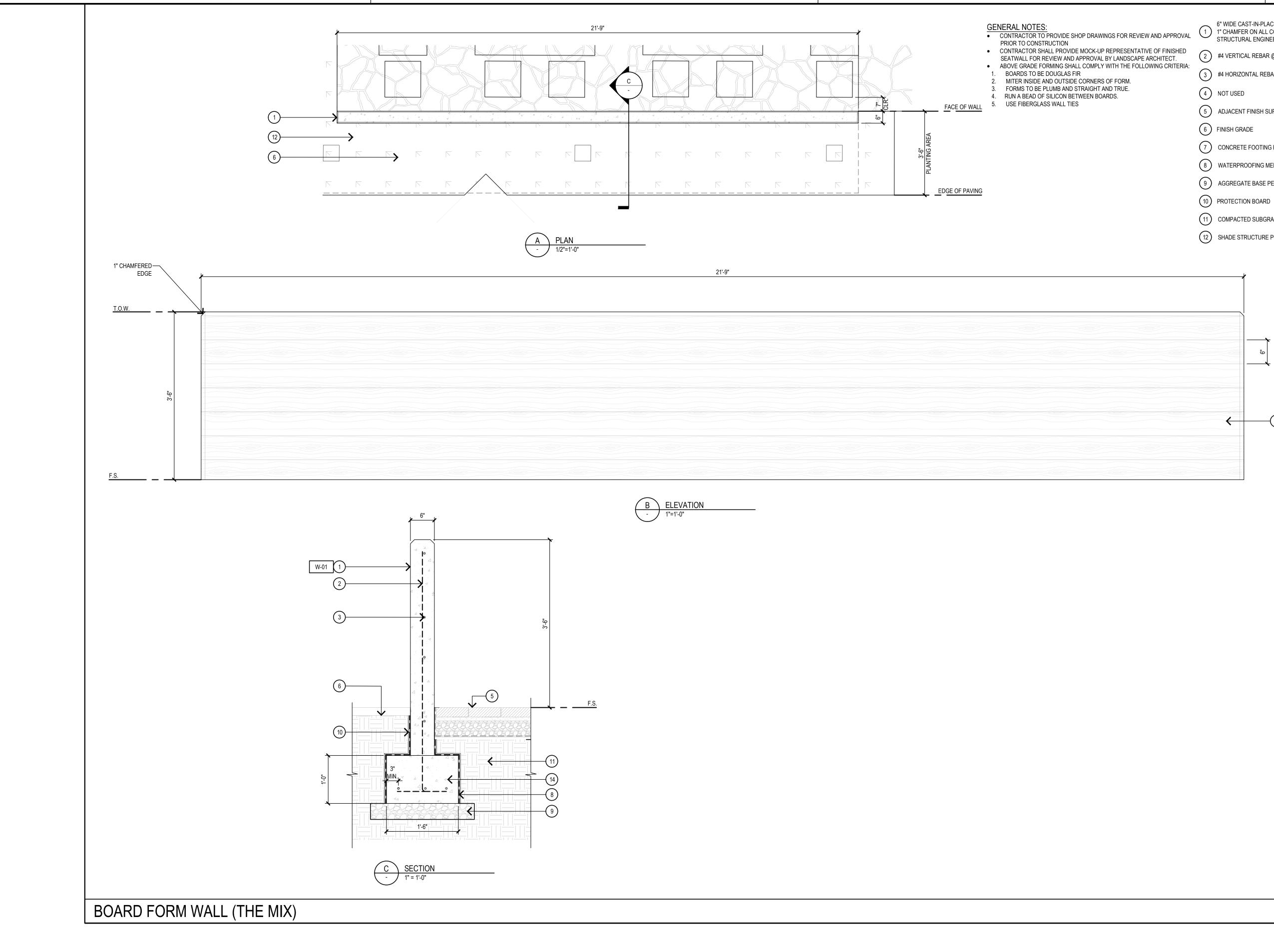
 FLUSH CAP #'X 4' HSS WEATHERED STEEL POST EMBEDDED TO CONCRETE FOOTING 4' X 16 GUAGE GALVANIZED STEEL PLATE WELDED TO POST 4' X 16 GUAGE GALVANIZED EYE BOLT. WELD EYE BOLT TO MOUNTING PLATE *' X 2' GALVANIZED EYE BOLT. WELD EYE BOLT TO MOUNTING PLATE Gable CLAMP STAINLESS STEEL AIRCRAFT CABLE TIE WRAP SERVICE CORD WEATHERPROOF JUNCTION BOX PER ELECTRICAL. ATTACH TO BACK SIDE OF POST TOP OF CONCRETE FOOTING SLOPE TO DRAIN 1% MIN. NATURAL GRAY COLOR WI ACID ETCH - TOP CAST RETARDER GRADE #03, SUPPLIED BY GCP APPLIED TECHNOLOGIES - www.gcpat.com CONCRETE FOOTING BY STRUCTURAL ENGINEER COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT REINFORCING PER STRUCTURAL ENGINEER TYPE 2 AGGREGATE BASE PER GEOTECH REPORT FINISH GRADE AT PLANTING AREA LANDSCAPE MULCH STEEL SLEEVE WI NON-SHRINK QUICK SETTING GROUT 	
 NOTES: ALL WELDS AND OTHER CONNECTIONS EXPOSED IN THE FINISH WORK SHALL BE GROUND AND DRESSED SMOOTH SO THAT THE SHAPE AND PROFILE OF THE WELDED ITEM IS PRESERVED STEEL FRAME WELDS, FOOTINGS AND VERIFICATION OF STEEL MEMBER SIZES PER STRUCTURAL ENGINEER ALL STEEL AND WELDS TO BE GALVANIZED REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ADDITIONAL INFORMATION CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. 	T <u>.O. SIGN</u>
	T.O. GABION WALL
dt_festoon_lighting_post_12 1" = 1'-0" 5	MIDWAY S

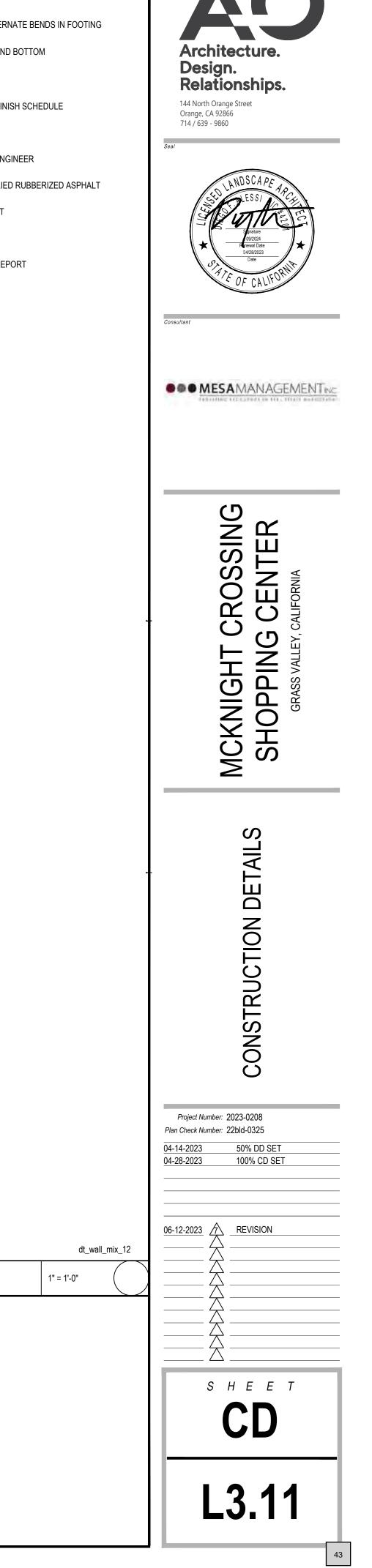




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OP DRAWINGS FOR REVIEW AND APPROVAL MOCK-UP REPRESENTATIVE OF FINISHED PPROVAL BY LANDSCAPE ARCHITECT. COMPLY WITH THE FOLLOWING CRITERIA: CORNERS OF FORM. RAIGHT AND TRUE. WEEN BOARDS.	 G" WIDE CAST-IN-PLACE CONCRETE WALL WITH BOAR 1" CHAMFER ON ALL CORNERS. 4000 PSI. REINFORCE STRUCTURAL ENGINEER. #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BED #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTON MOT USED ADJACENT FINISH SURFACE - REFER TO FINISH SCHEE FINISH GRADE CONCRETE FOOTING PER STRUCTURAL ENGINEER AGGREGATE BASE PER GEOTECH REPORT PROTECTION BOARD COMPACTED SUBGRADE PER GEOTECH REPORT IBEAM LIGHT POST - BY OTHERS MIDWAY SIGNAGE WHEEL BARREL ART SCULPTURE - BY OTHERS NATURAL BOULDERS 	EMENT PER NDS IN FOOTING A	<text><text><text><text><text><text><image/><image/></text></text></text></text></text></text>
			MCKNIGHT CROSSING SHOPPING CENTER Grass valley, california
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			CD L3.10

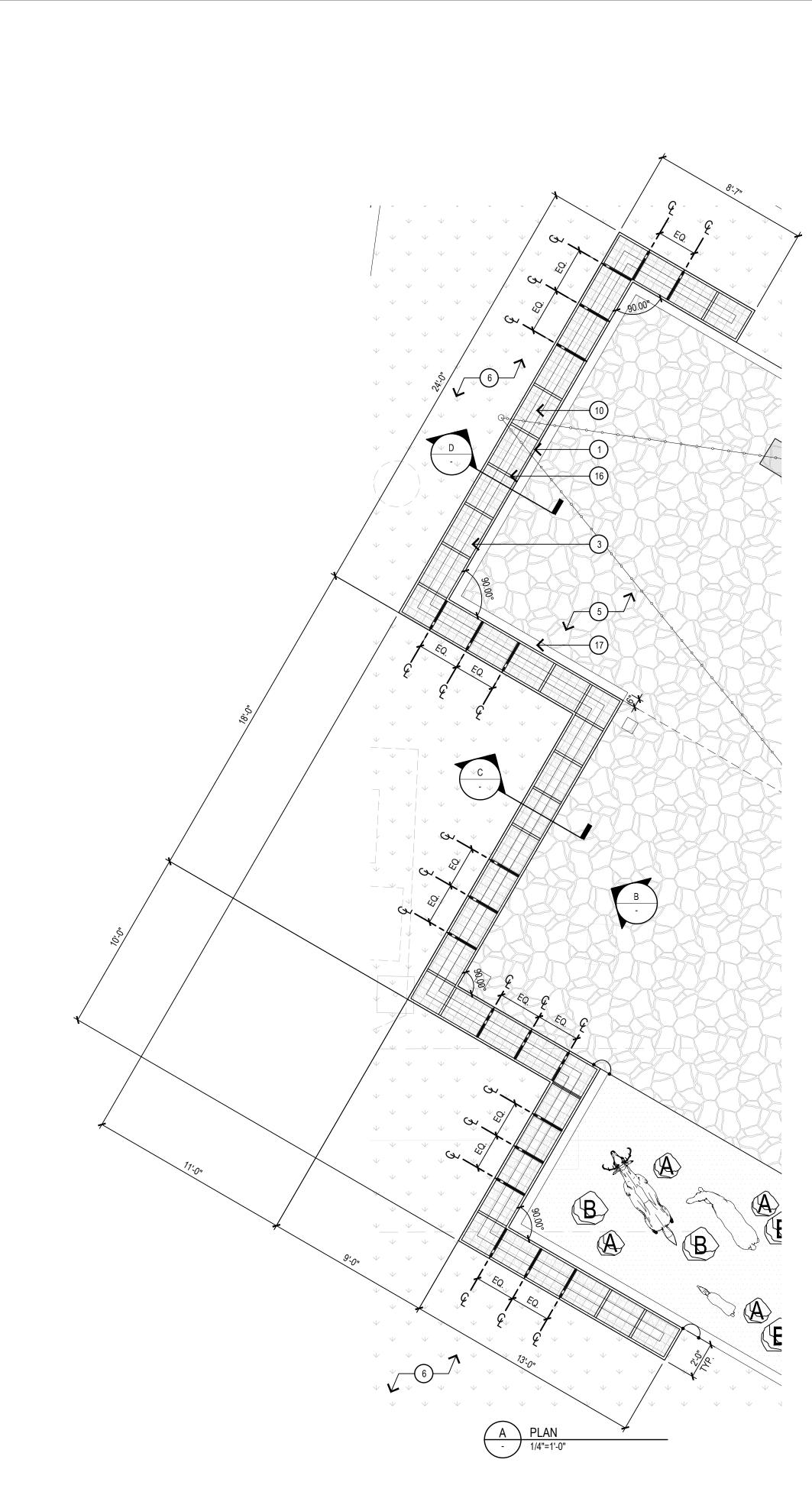




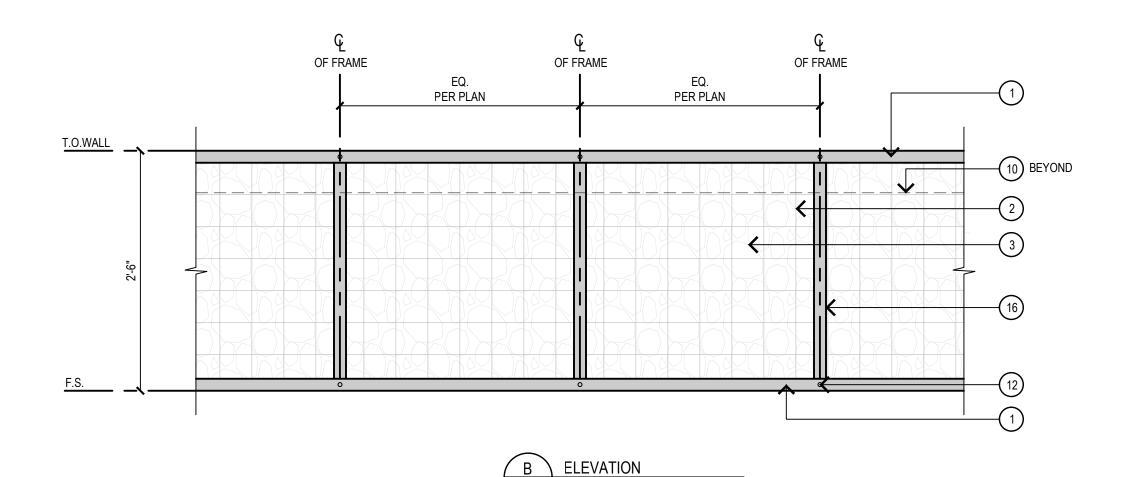


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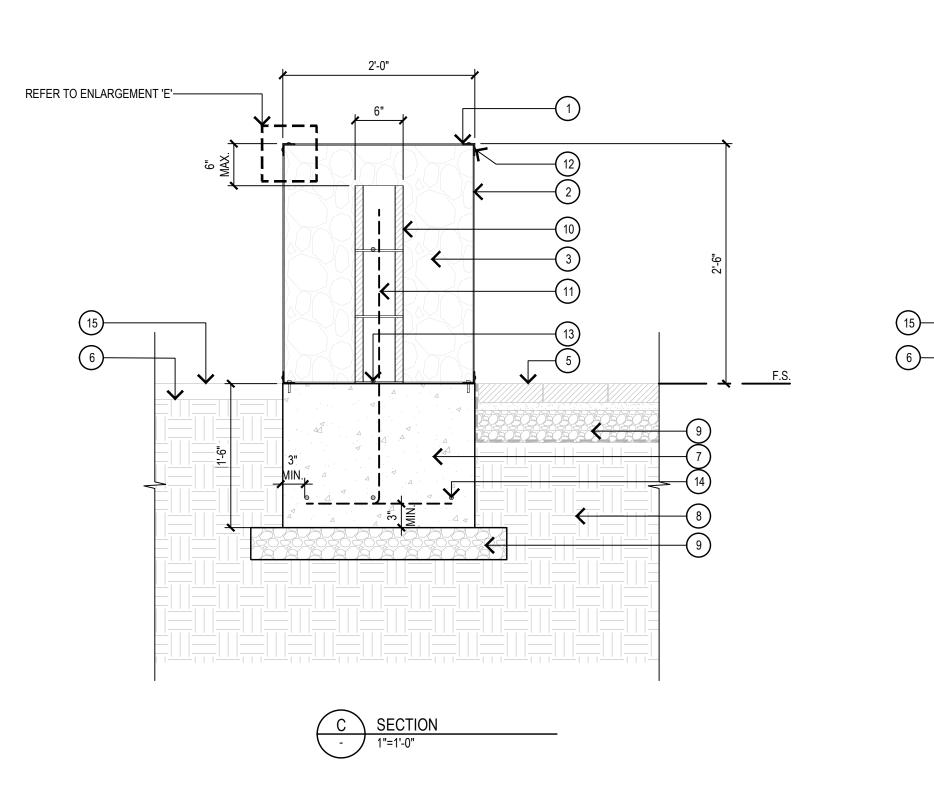
- 6" WIDE CAST-IN-PLACE CONCRETE WALL WITH BOARD-FORM FINISH. APPLY 1" CHAMFER ON ALL CORNERS. 4000 PSI. REINFORCEMENT PER STRUCTURAL ENGINEER.
- 2 #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BENDS IN FOOTING
- 3 #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTOM
- 5 ADJACENT FINISH SURFACE REFER TO FINISH SCHEDULE
- (7) CONCRETE FOOTING PER STRUCTURAL ENGINEER
- 8 WATERPROOFING MEMBRANE HOT APPLIED RUBBERIZED ASPHALT
- 9 AGGREGATE BASE PER GEOTECH REPORT
- (1) COMPACTED SUBGRADE PER GEOTECH REPORT
- 12 SHADE STRUCTURE POST



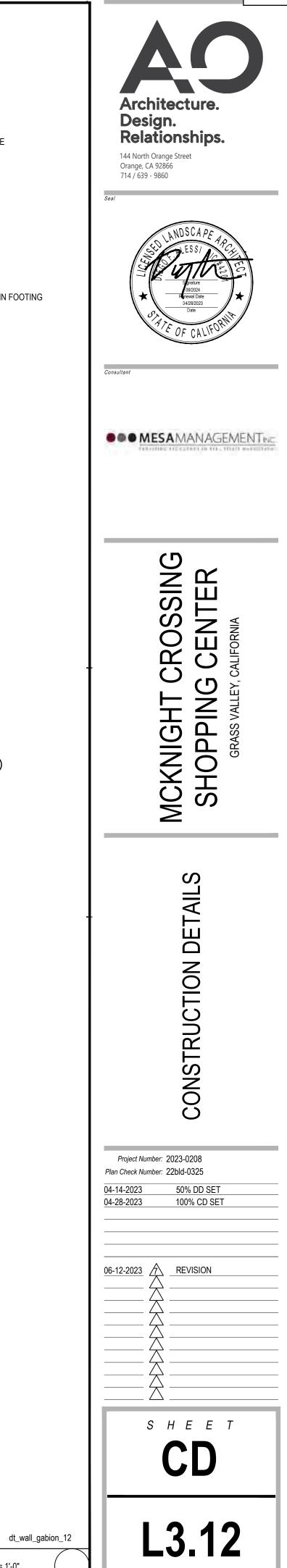
GABION WALL (THE GROVE)



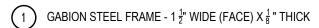
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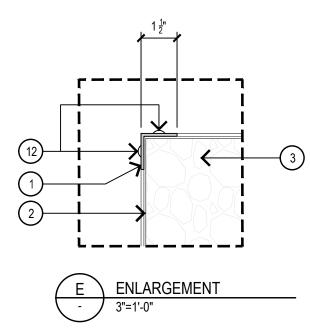
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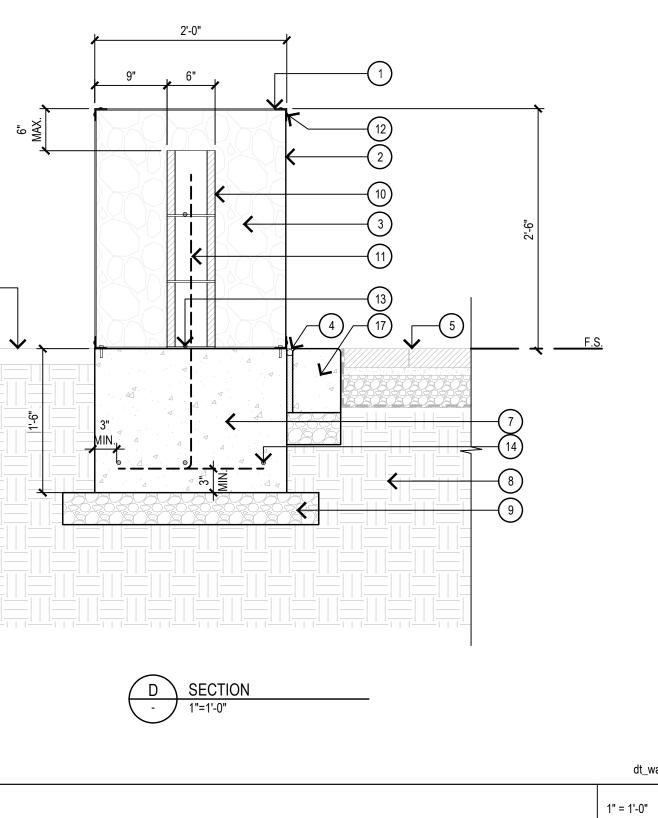


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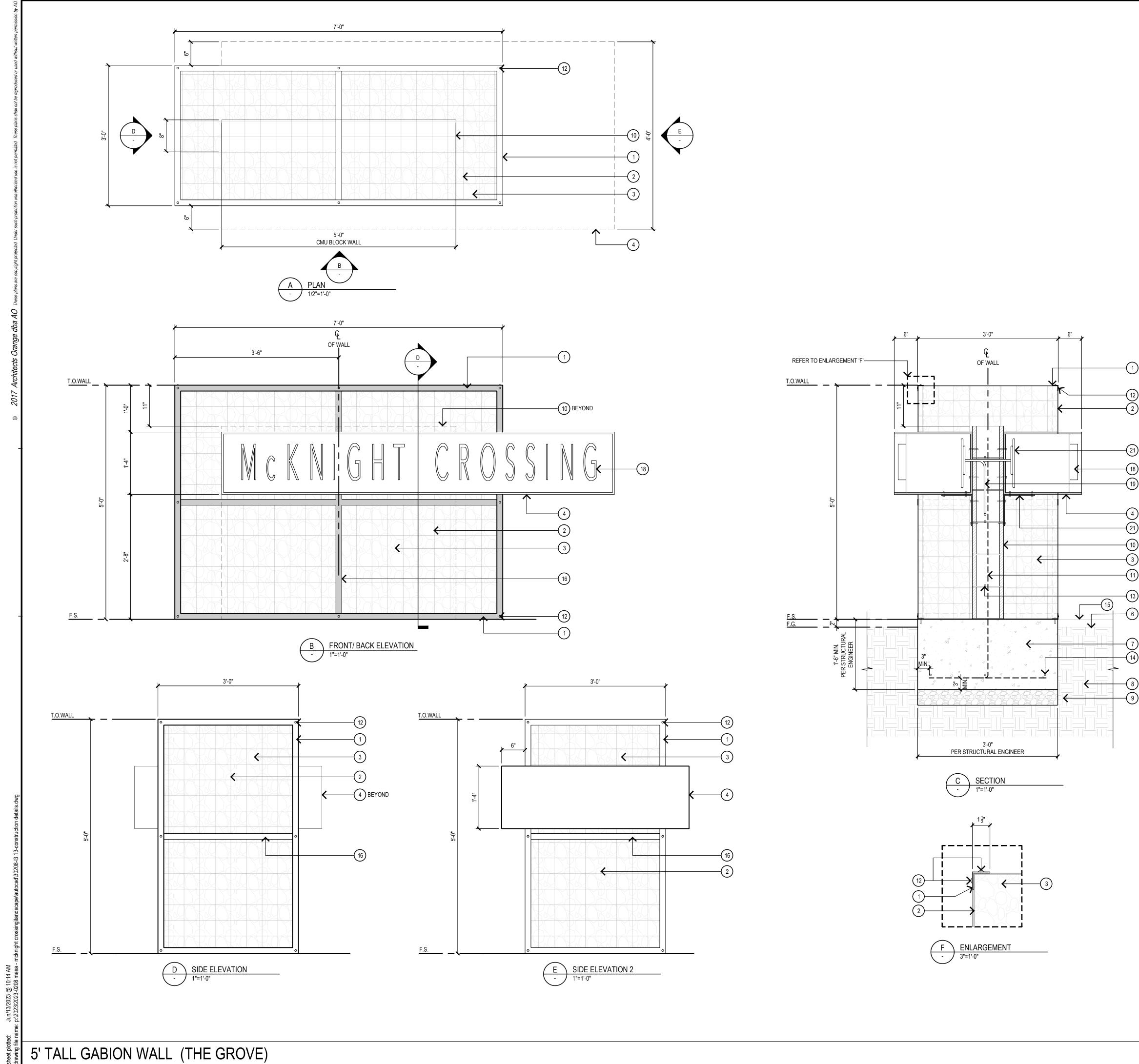


- 2 WELDED WIRE MESH 4" WIDE OPENINGS
- 3 4"-6" DIA. COBBLE
- 4 EXPANSION JOINT
- 5 ADJACENT FINISH SURFACE REFER TO FINISH SCHEDULE
- 6 FINISH GRADE AT PLANTING AREA
- 7 CONCRETE FOOTING PER STRUCTURAL ENGINEER
- 8 COMPACTED SUBGRADE PER GEOTECH REPORT
- 9 AGGREGATE BASE PER GEOTECH REPORT
- (10) 6" WIDE X 8" HIGH CMU BLOCK WALL
- 11 #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BENDS IN FOOTING
- (12) $\frac{1}{2}$ DIA. RIVET ATTACHMENTS AT INTERSECTIONS
- (13) #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTOM
- (3) #4 REBAR CONTINUOUS IN FOOTING
- (15) MULCH
- (16) SUPPORT BRACE 1 $\frac{1}{2}$ " WIDE (FACE) X $\frac{1}{8}$ " THICK
- (17) 6" WIDE CONCRETE CURB





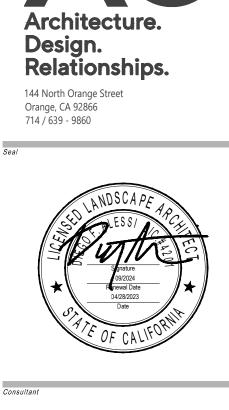
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- 2 WELDED WIRE MESH 4" WIDE OPENINGS
- 3 4"-6" DIA. COBBLE
- 4 SHEET METAL SIGNAGE PANEL BY SIGNAGE CONSULTANT
- 5 ADJACENT FINISH SURFACE REFER TO FINISH SCHEDULE
- 6 FINISH GRADE AT PLANTING AREA
- (7) CONCRETE FOOTING PER STRUCTURAL ENGINEER
- 8 COMPACTED SUBGRADE PER GEOTECH REPORT
- 9 AGGREGATE BASE PER GEOTECH REPORT
- (10) 8" WIDE X 8" HIGH CMU BLOCK WALL
- (1) #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BENDS IN FOOTING
- (12) $\frac{1}{2}$ DIA. RIVET ATTACHMENTS AT INTERSECTIONS
- (13) #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTOM
- (3) #4 REBAR CONTINUOUS IN FOOTING
- (15) MULCH
- (16) SUPPORT BRACE 1 $\frac{1}{2}$ " WIDE (FACE) X $\frac{1}{8}$ " THICK
- (17) 6" WIDE CONCRETE CURB
- (18) METAL LETTERING WITH ACRYLIC BACKING TO BE BACKLIT BY SIGNAGE CONSULTANT
- (19) ELECTRICAL CONDUIT BY OTHERS
- 20 LIGHT SOURCE BY OTHERS
- 21 L- BRACKET SUPPORT & HARDWARE TO BE REVIEWED BY STRUCTURAL ENGINEER



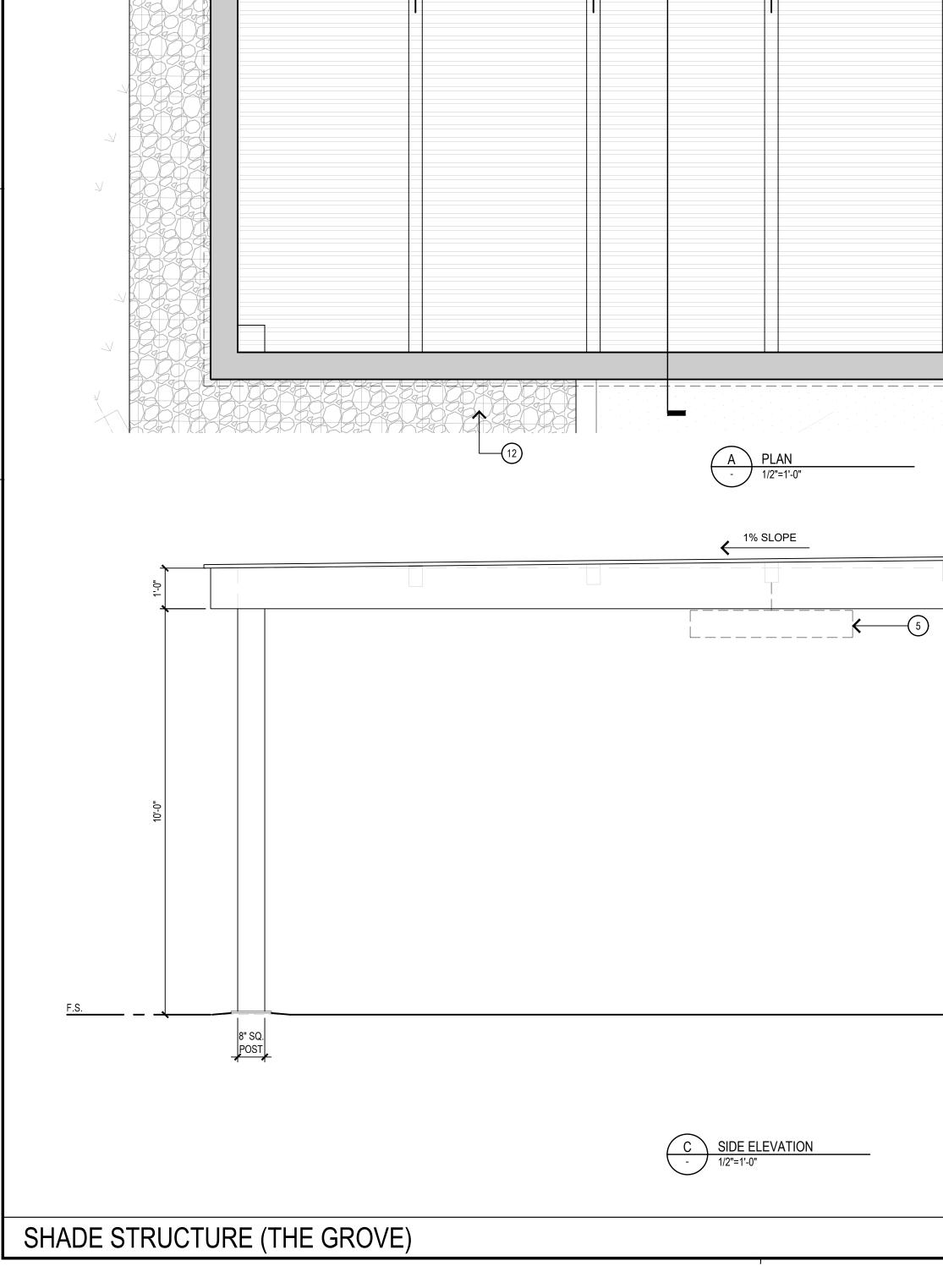




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Plan Check Numbe 04-14-2023 04-28-2023 06-12-2023	r: 22bld-0325 50% DD SET 100% CD SET	
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27'-7"

OF BEAM

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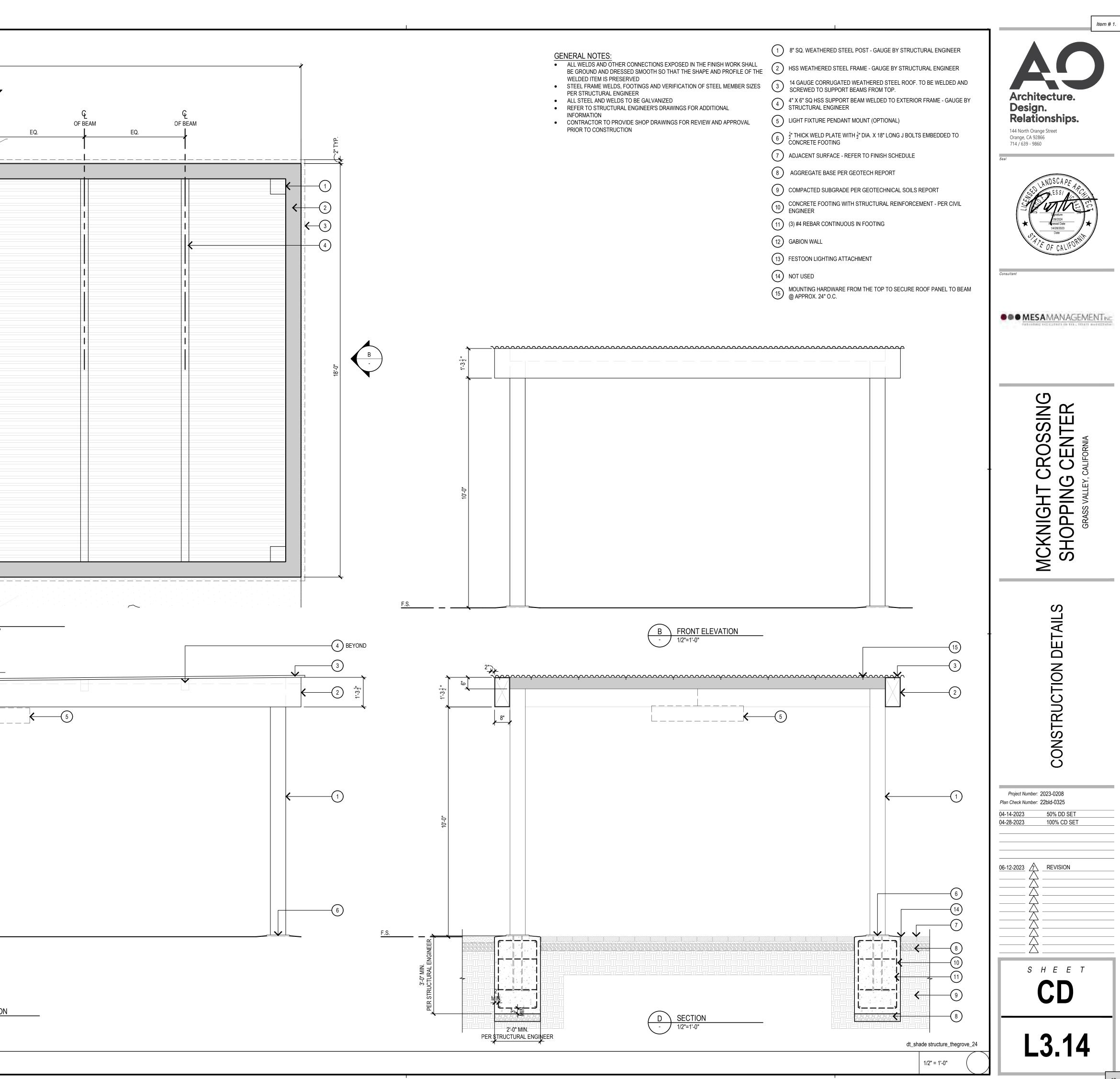
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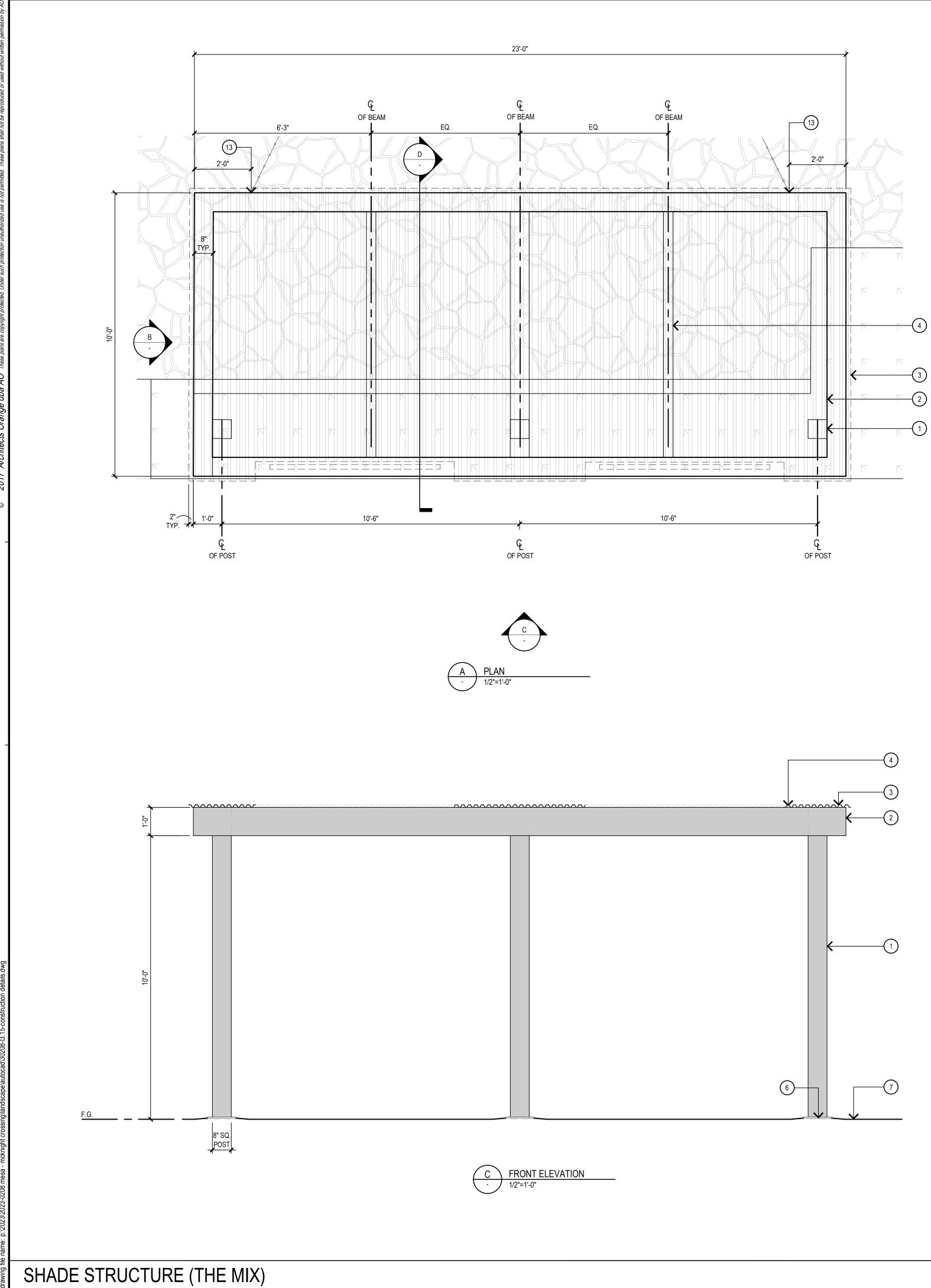
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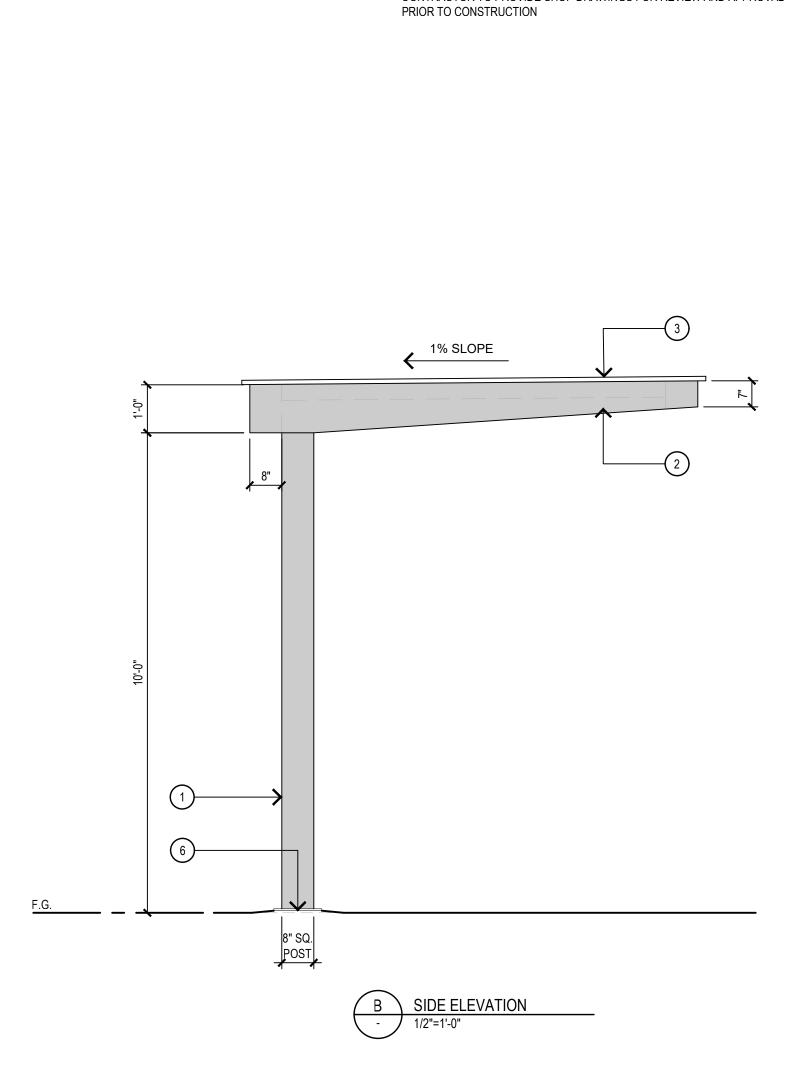
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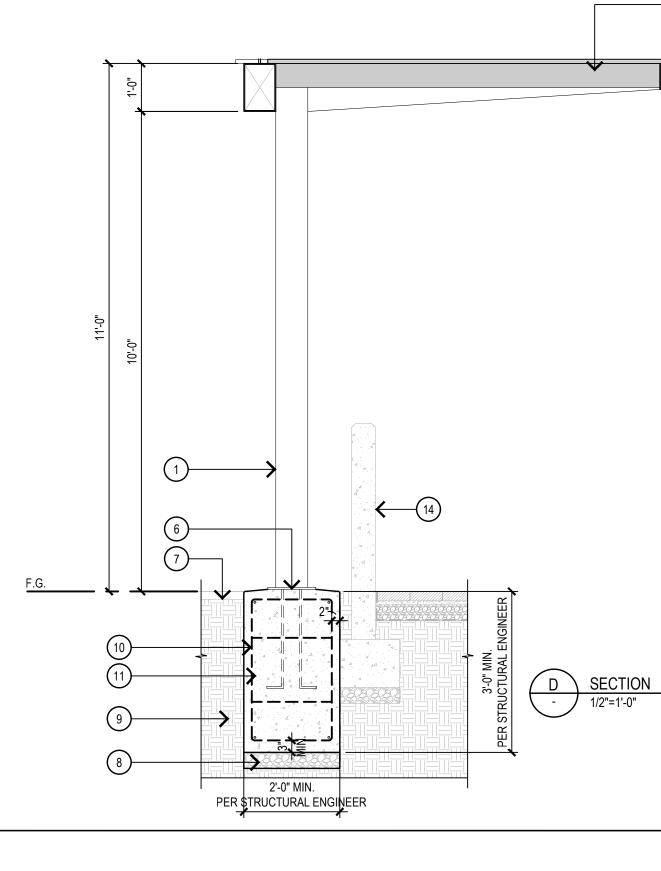




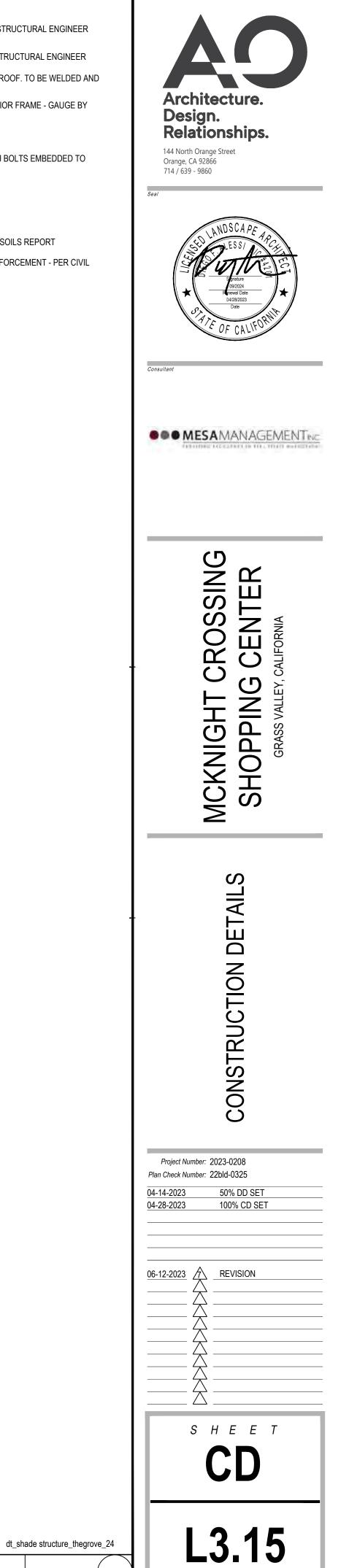




INFORMATION



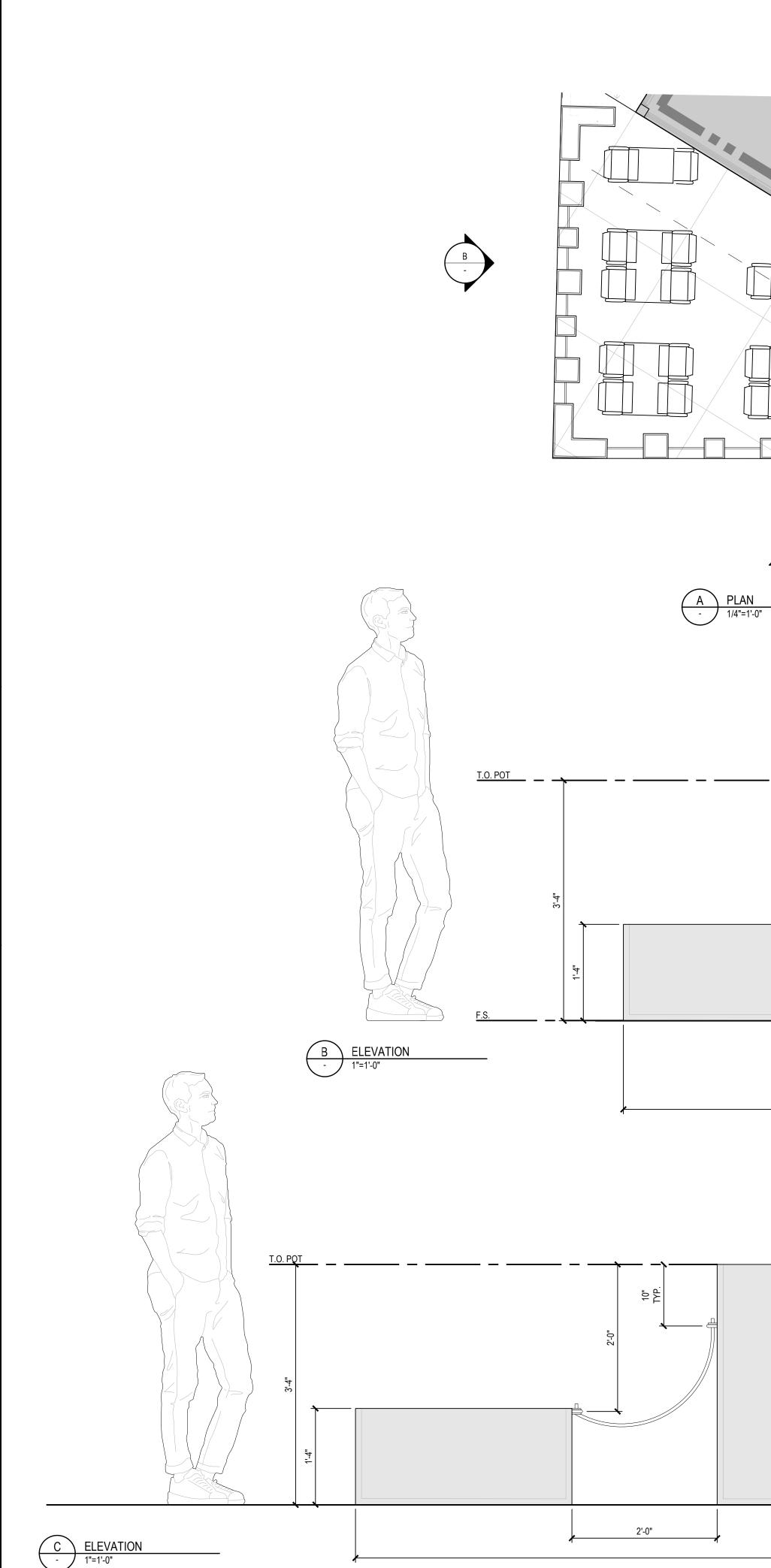
- GENERAL NOTES:
 ALL WELDS AND OTHER CONNECTIONS EXPOSED IN THE FINISH WORK SHALL BE GROUND AND DRESSED SMOOTH SO THAT THE SHAPE AND PROFILE OF THE WELDED ITEM IS PRESERVED
- STEEL FRAME WELDS, FOOTINGS AND VERIFICATION OF STEEL MEMBER SIZES PER STRUCTURAL ENGINEER
- ALL STEEL AND WELDS TO BE GALVANIZED • REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ADDITIONAL
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL
- (1) 8" SQ. WEATHERED STEEL POST GAUGE BY STRUCTURAL ENGINEER
- (2) HSS WEATHERED STEEL FRAME GAUGE BY STRUCTURAL ENGINEER
- 3 14 GAUGE CORRUGATED WEATHERED STEEL ROOF. TO BE WELDED AND SCREWED TO SUPPORT BEAMS FROM TOP.
- 4" SQ HSS SUPPORT BEAM WELDED TO EXTERIOR FRAME GAUGE BY STRUCTURAL ENGINEER
- 5 NOT USED
- $\bigcirc \frac{1}{2} \text{"THICK WELD PLATE WITH } \frac{1}{2} \text{" DIA. X 18" LONG J BOLTS EMBEDDED TO CONCRETE FOOTING }$
- 7 FINISH GRADE
- 8 AGGREGATE BASE PER GEOTECH REPORT
- (9) COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- (10) CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT PER CIVIL ENGINEER
- (3) #4 REBAR CONTINUOUS IN FOOTING
- (12) GABION WALL
- 13 FESTOON LIGHTING ATTACHMENT
- (14) CAST IN PLACE WALL



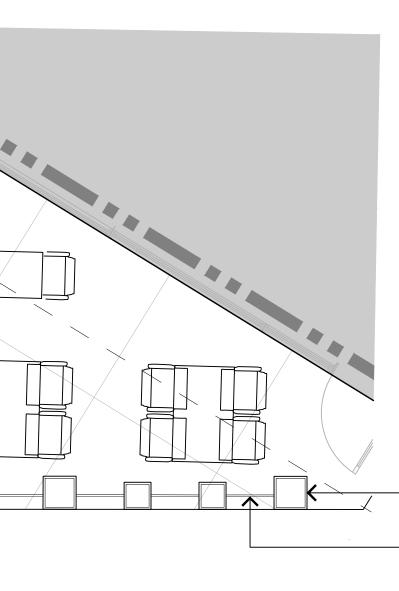


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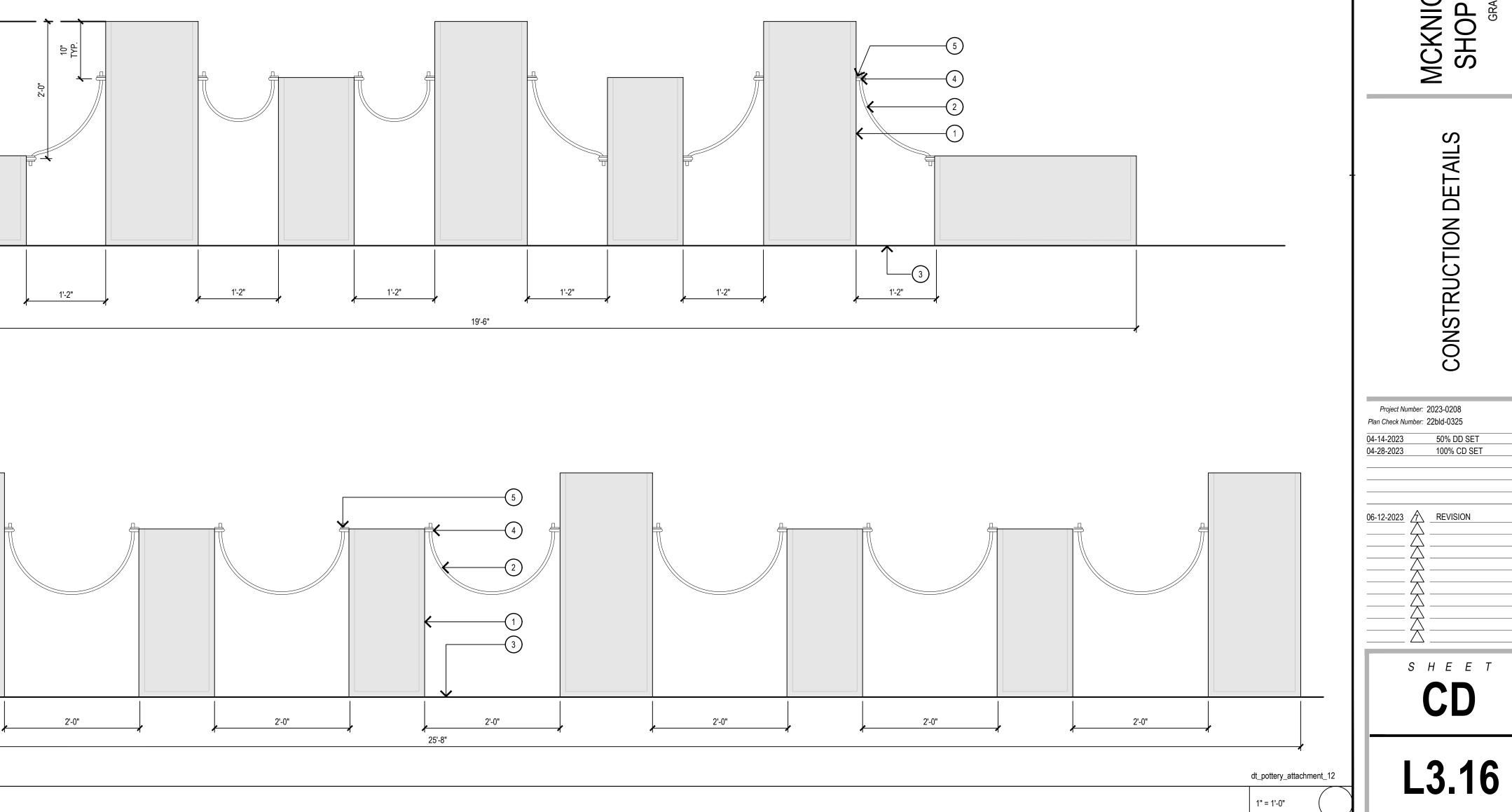


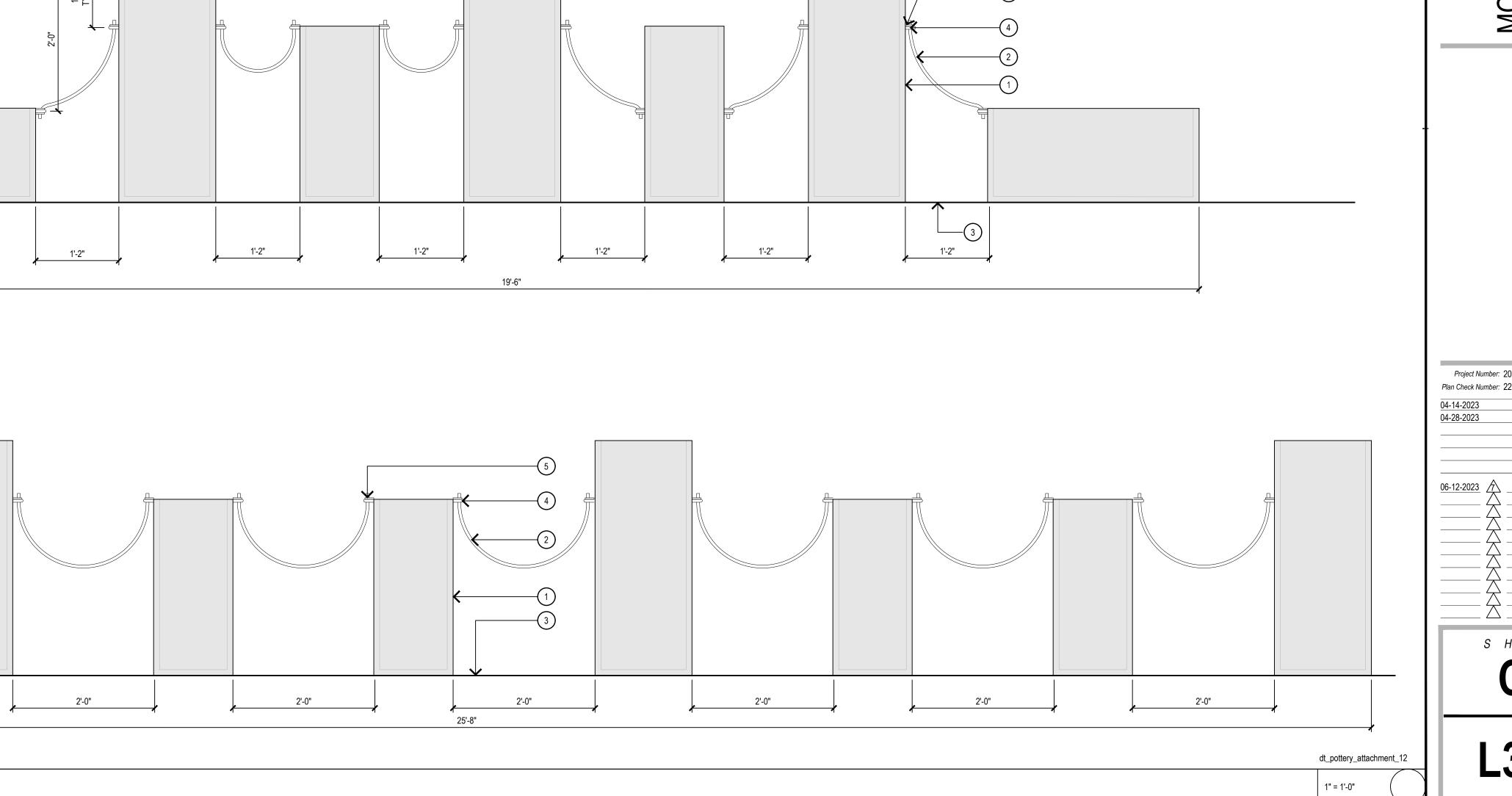


POTTERY ATTACHMENT (AFTERNOON DELI)



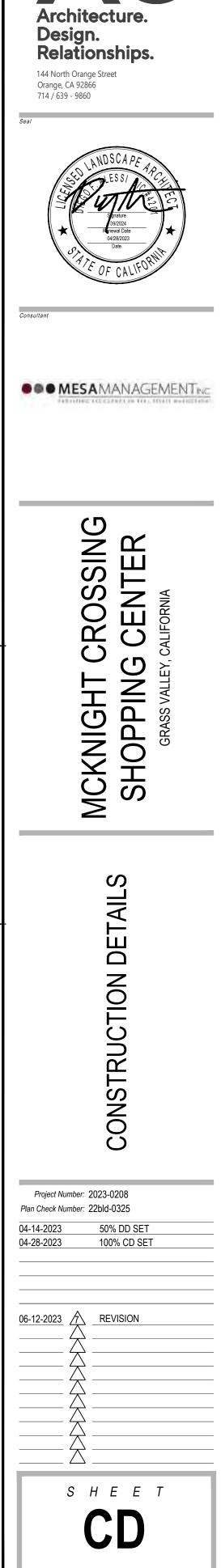
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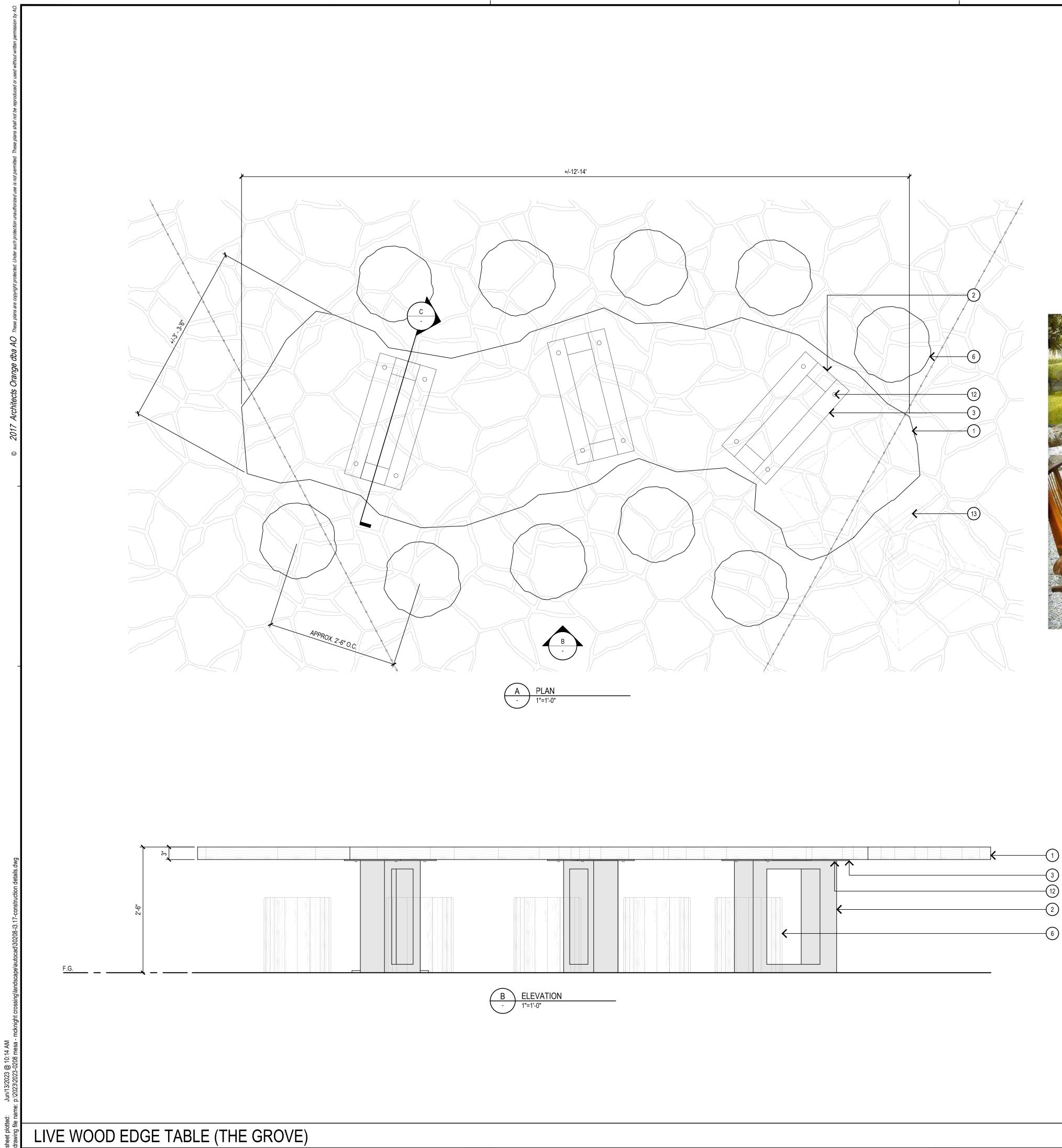




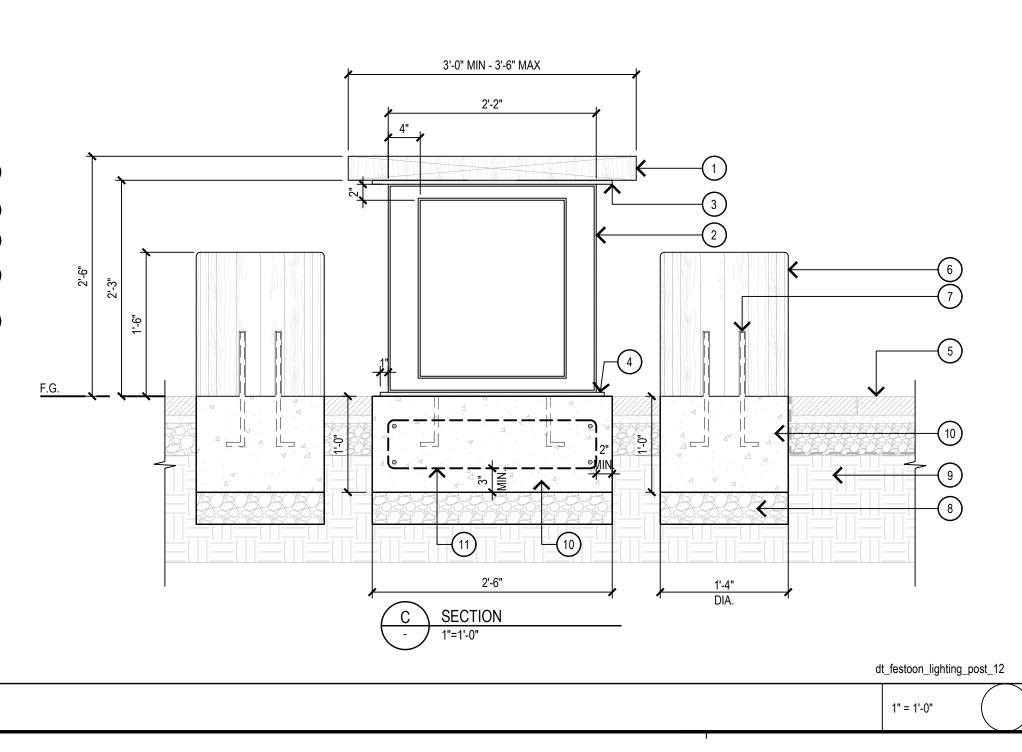
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- 1 RE-PURPOSED STEEL POTS BY OWNER
- 2 1-1/2" DIA. TWISTED MANILA ROPE
- 3 FINISH SURFACE
- $\underbrace{ 4}_{2}^{1"} \text{ THICK WELD ON STEEL D-RING ROPE HOOK TIE DOWN TO BE WELDED TO POTTERY }$
- 5 ROPE CLAMP









ltem # 1.

- 1 3" THICK LIVE WOOD EDGE TABLE TOP TO BE LOCALLY SOURCED IN GRASS VALLEY, CALIFORNIA
- 2 6" WIDE WEATHERED HSS TABLE FRAME WELDED TO PLATE EMBEDDED TO CONCRETE FOOTING
- $3^{\frac{1}{4}}$ THICK STEEL PLATE SUPPORT WELDED TO TABLE FRAME.
- 5 ADJACENT FINISH SURFACE
- 6 LAQUERED FINISH NATURAL WOOD STUMPS APPROX. 16"-18" DIA. X 18"-20" HIGH
- 7 EMBED J-BOLTS TO STUMP AND EMBED IN CONCRETE FOOTING
- 8 TYPE 2 AGGREGATE BASE PER GEOTECH REPORT
- 9 COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- (10) CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT
- (1) #4 REBAR CONTINUOUS IN FOOTING
- 12 1-1/4" LONG MOUNTING BOLTS MOUNTED UNDER TABLE
- (13) ADA ACCESSIBLE SEATING





CONSTRUCTION DETAILS

Project Number: 2023-0208 Plan Check Number: 22bld-0325

 04-14-2023
 50% DD SET

 04-28-2023
 100% CD SET

06-12-2023 A REVISION

SHEET

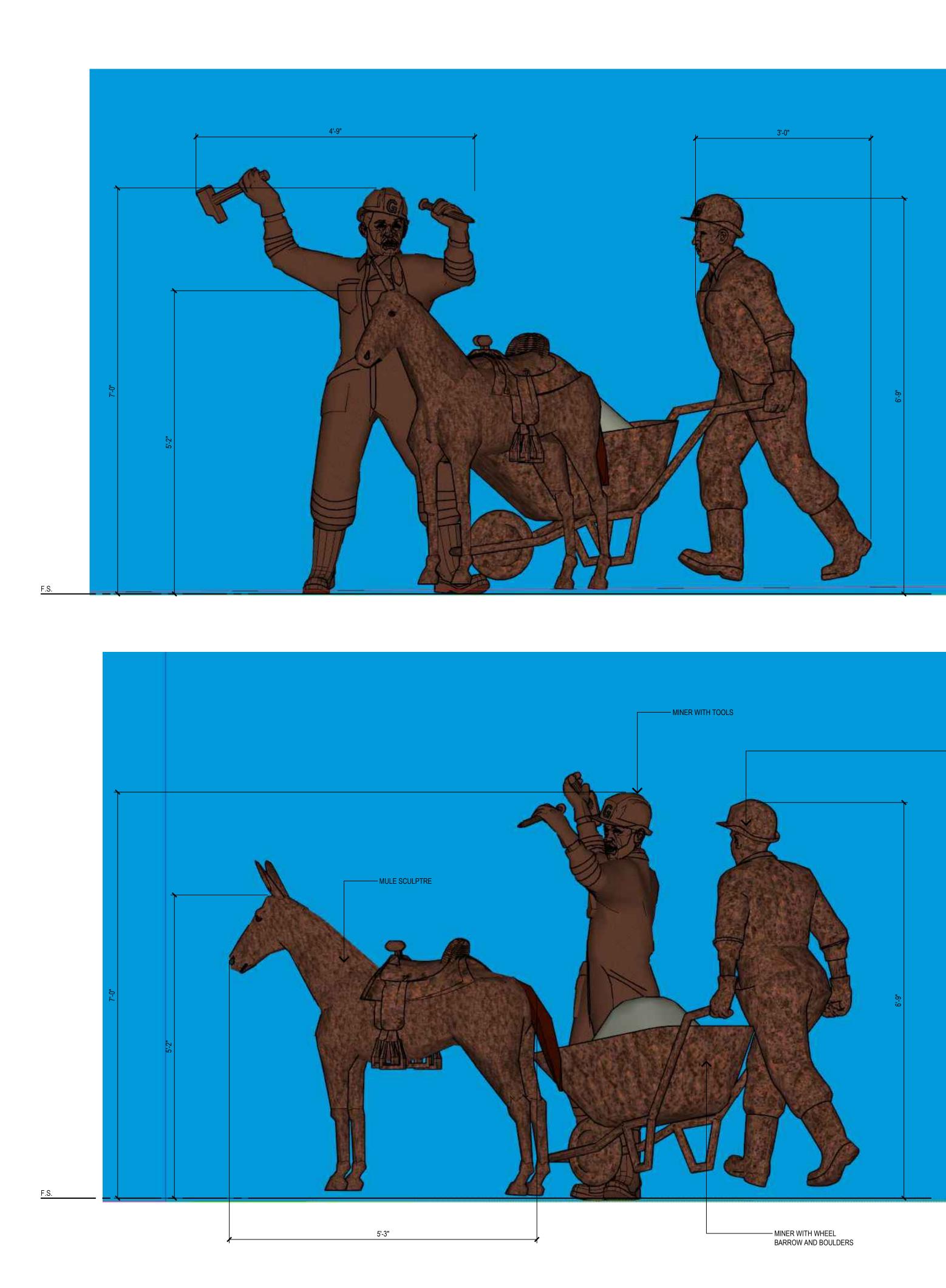
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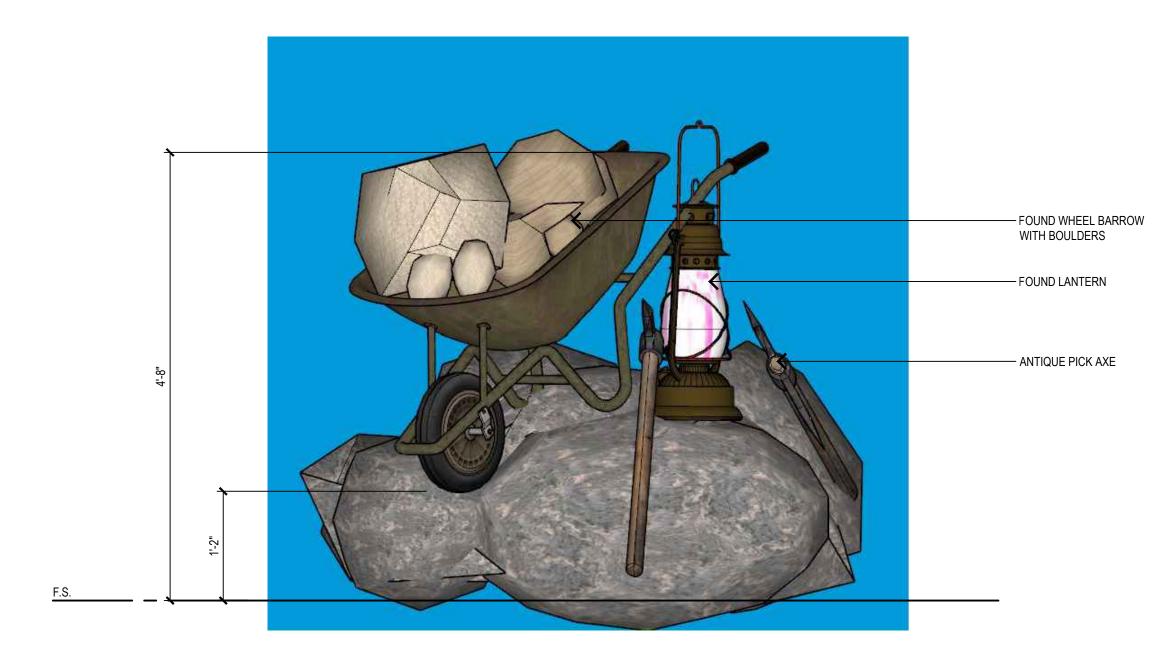
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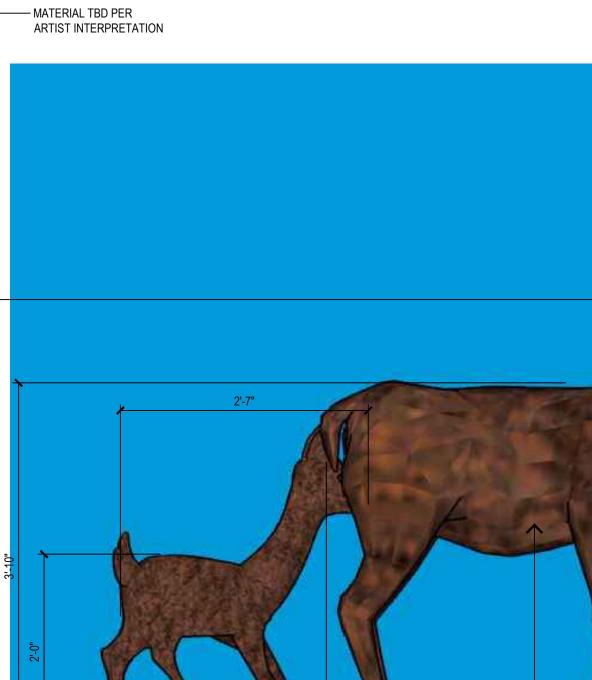




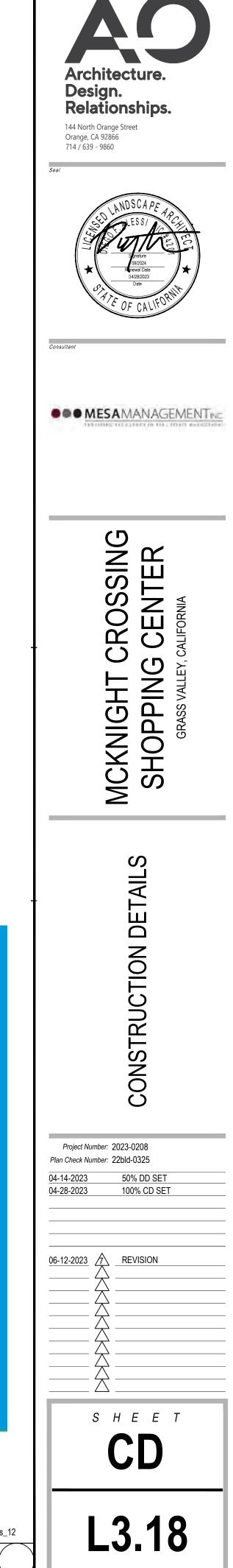
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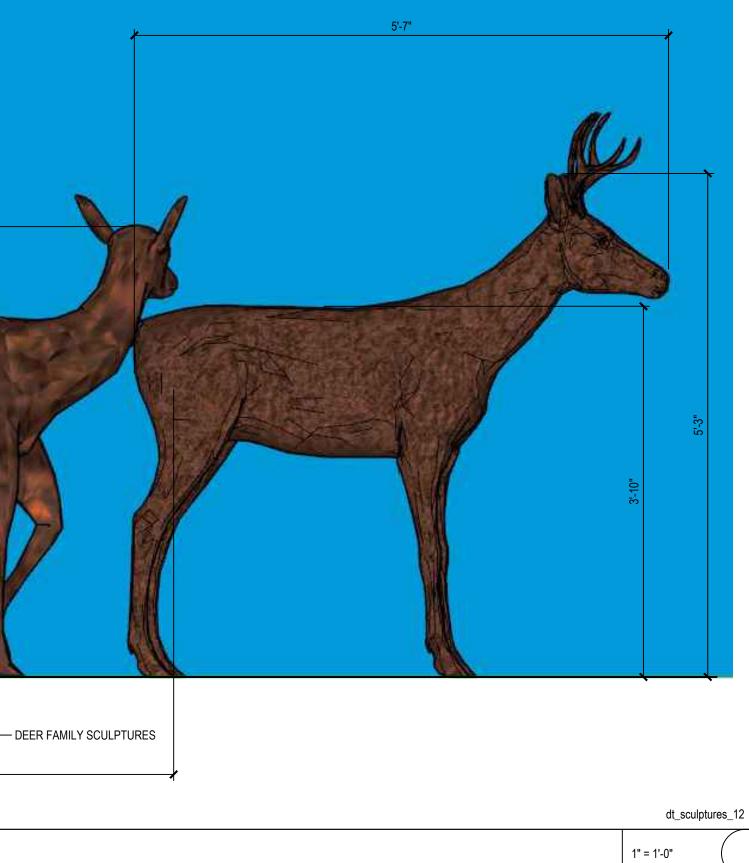




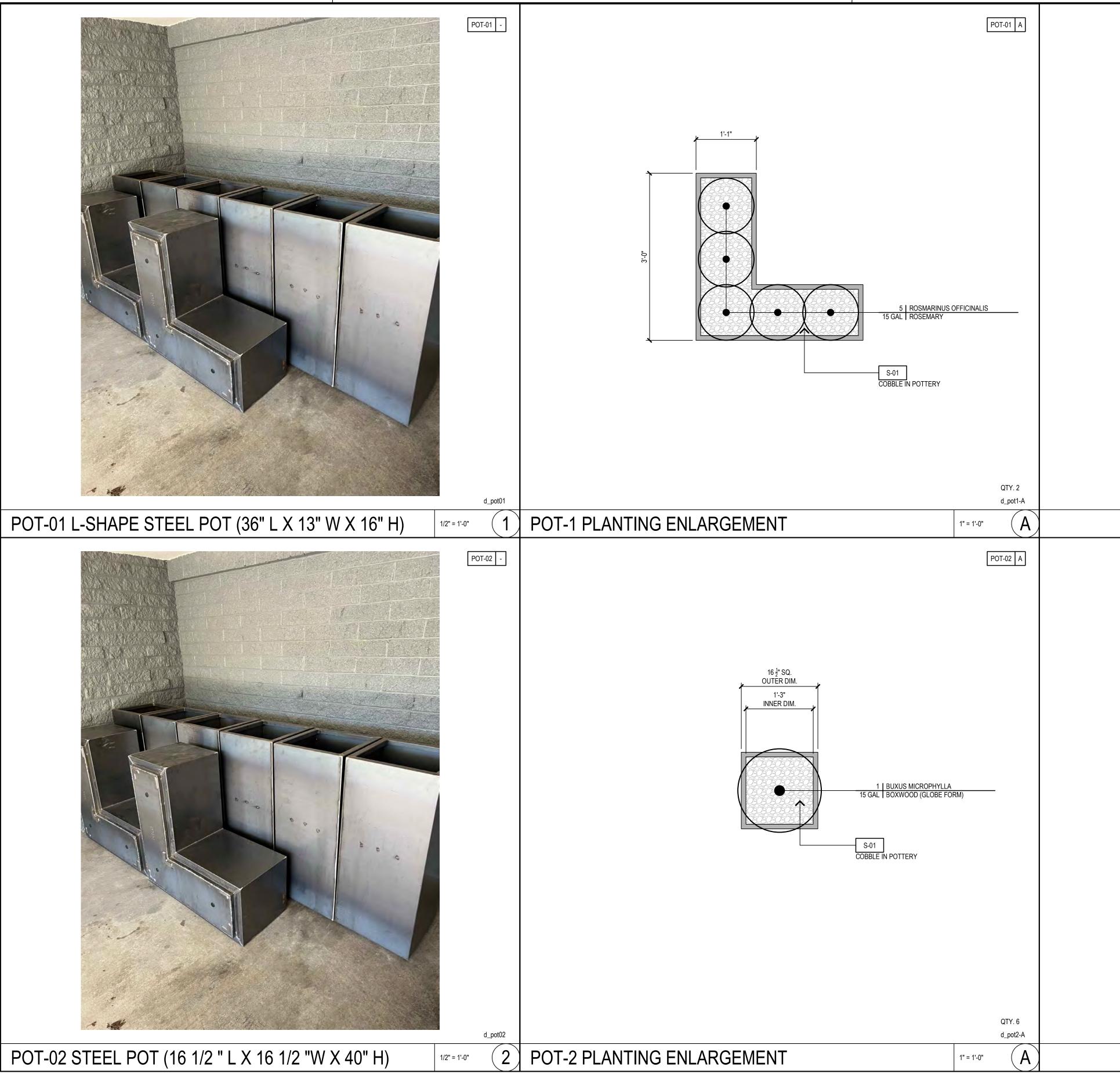


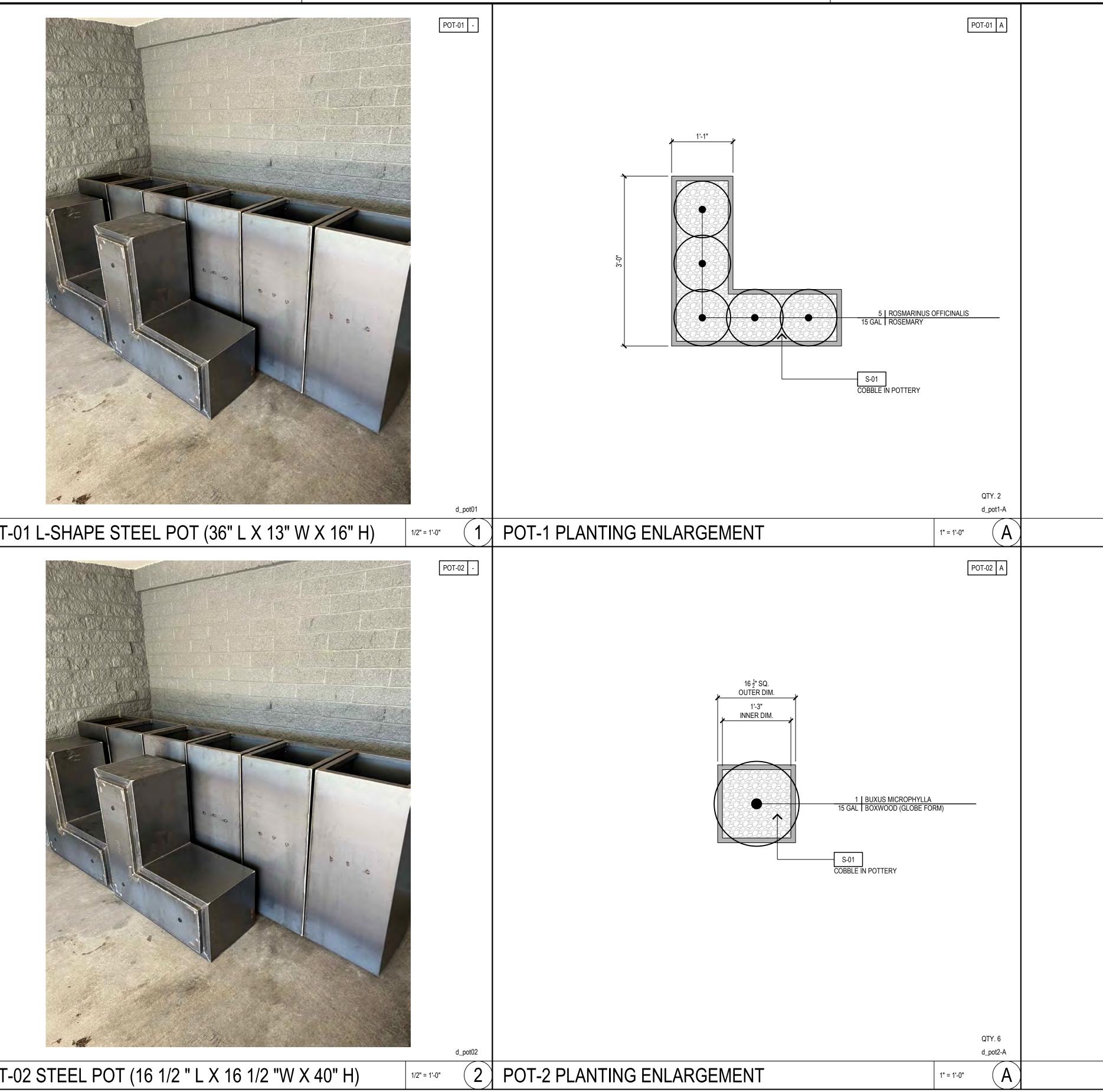






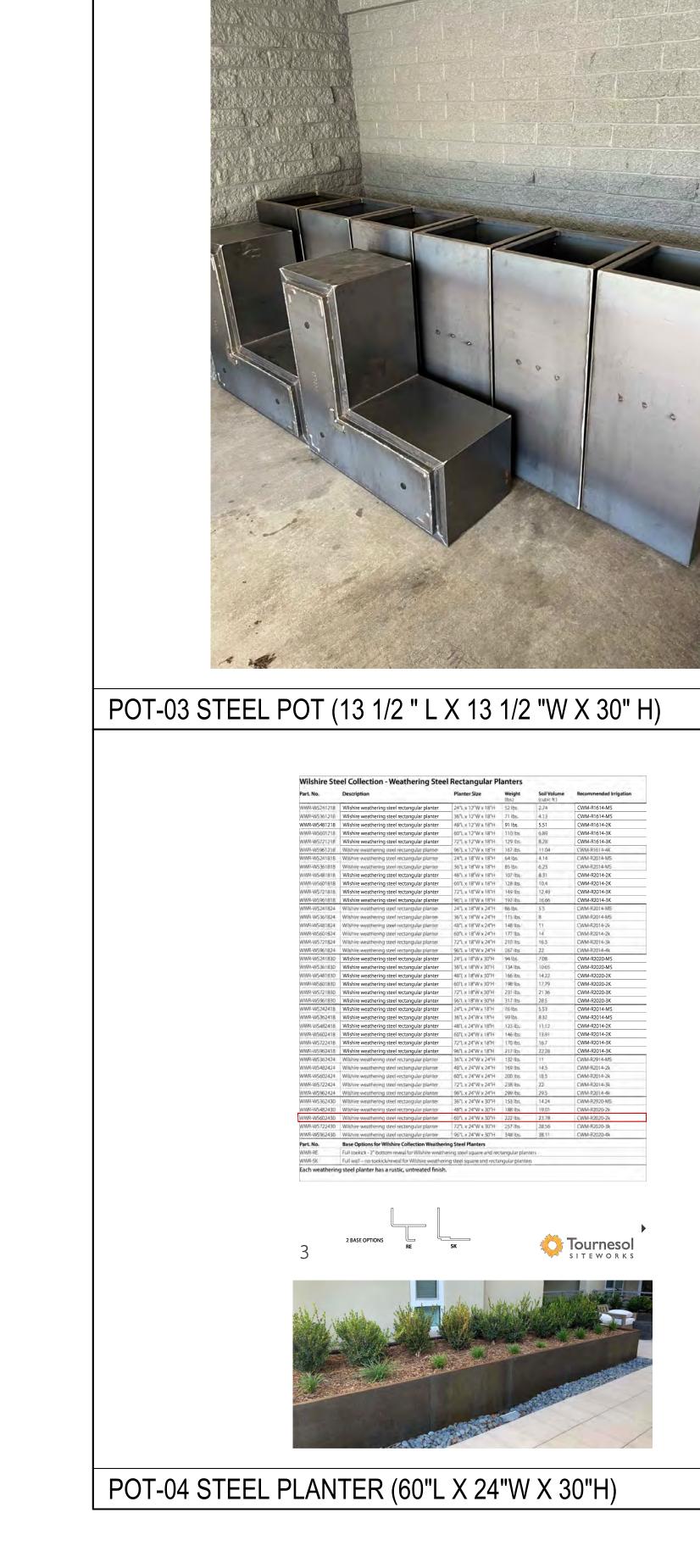
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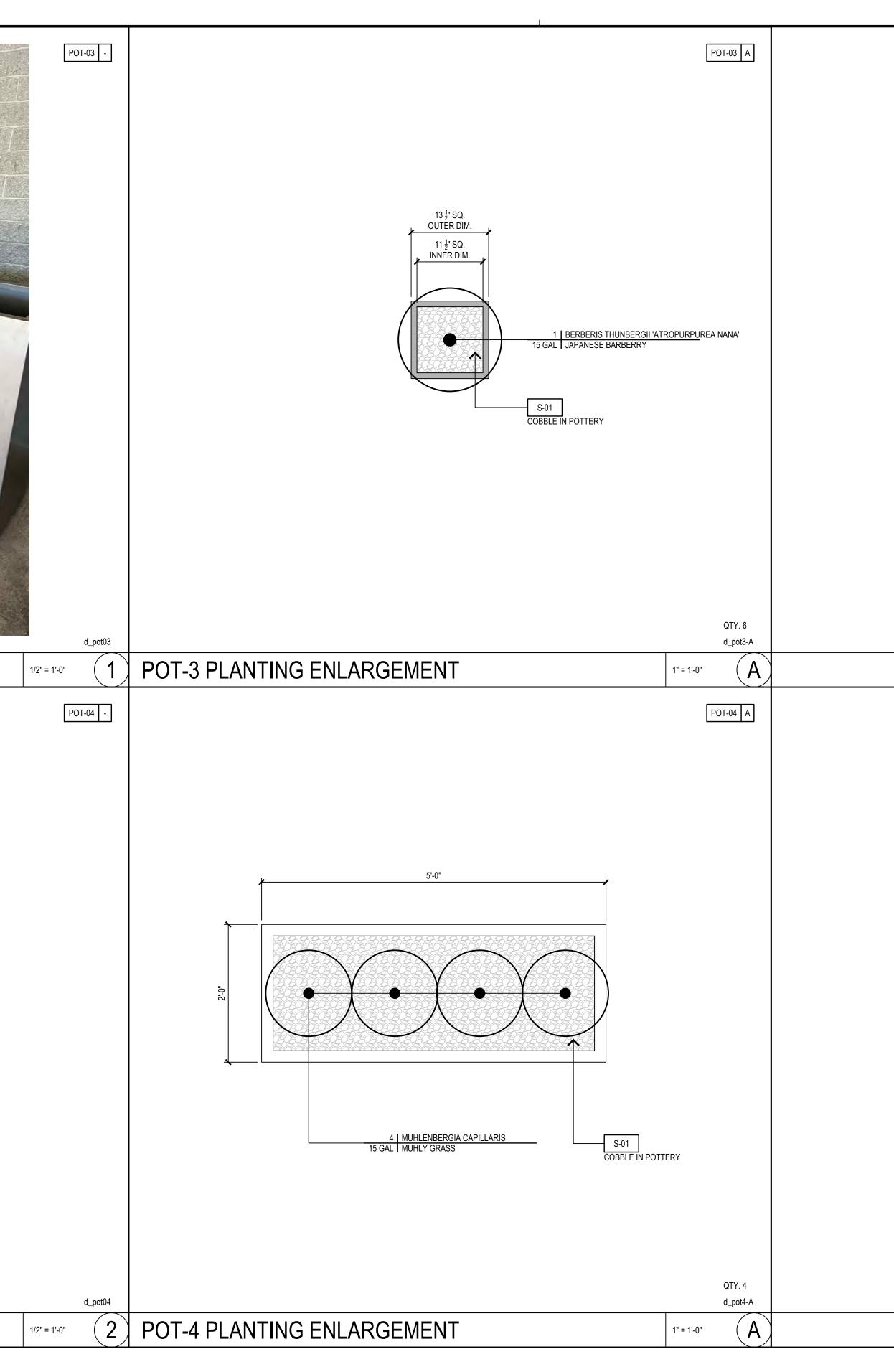




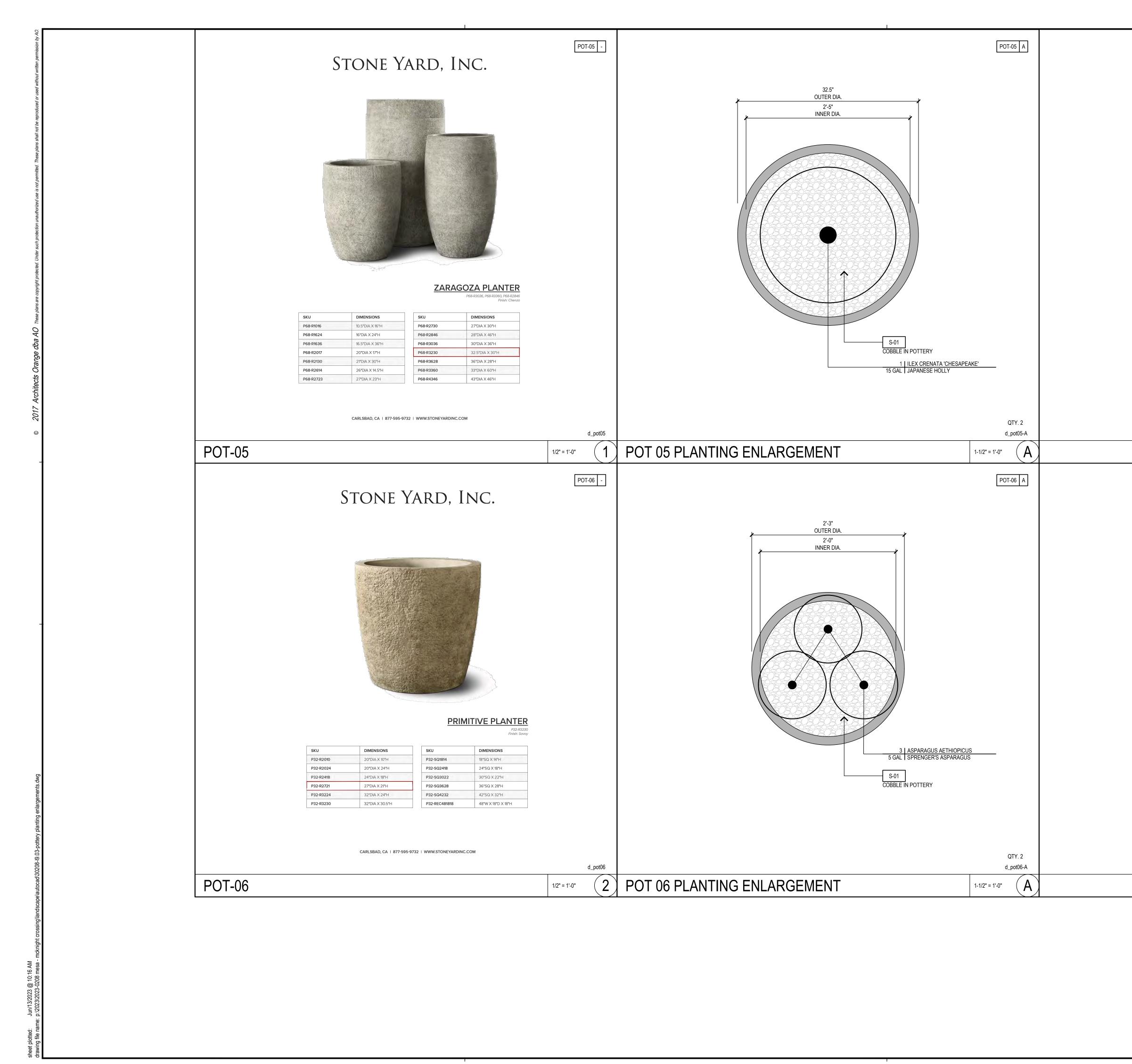
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MCKNIGHT CROSSING BHOPPING CENTER Grass valley, california
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Project Number: 2023-0208 Plan Check Number: 22bld-0325 04-14-2023 50% DD SET 04-28-2023 100% CD SET
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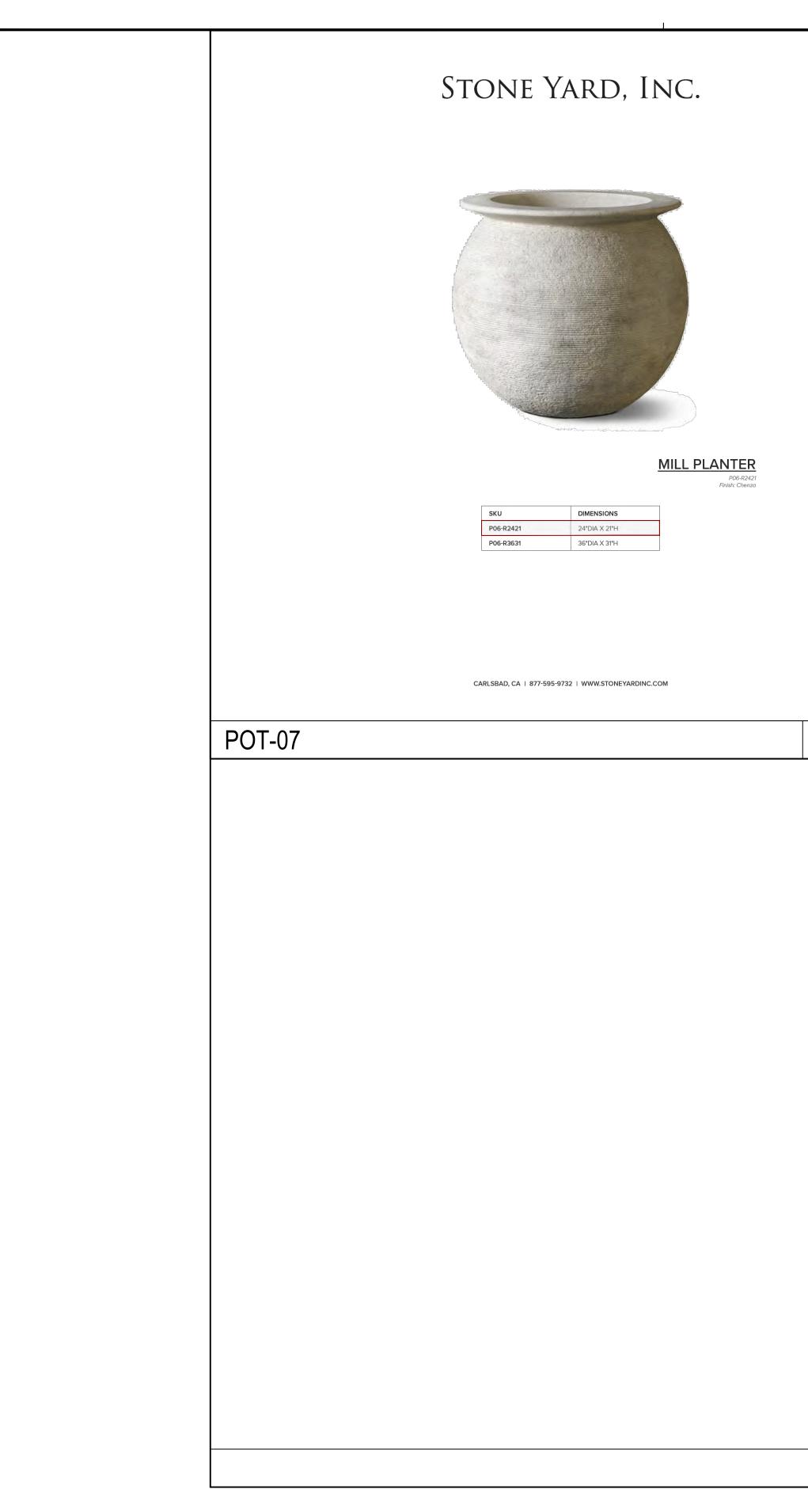
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Outdoor Gathering Spaces

NOTE:

- Also Included in the Application are Shop Design documents for Vertical Sign Specs
- In the Master Sign Criteria, revised document, these are signs # 6, 7 & 8

55

MURALS

Vertical Sign Locations



2

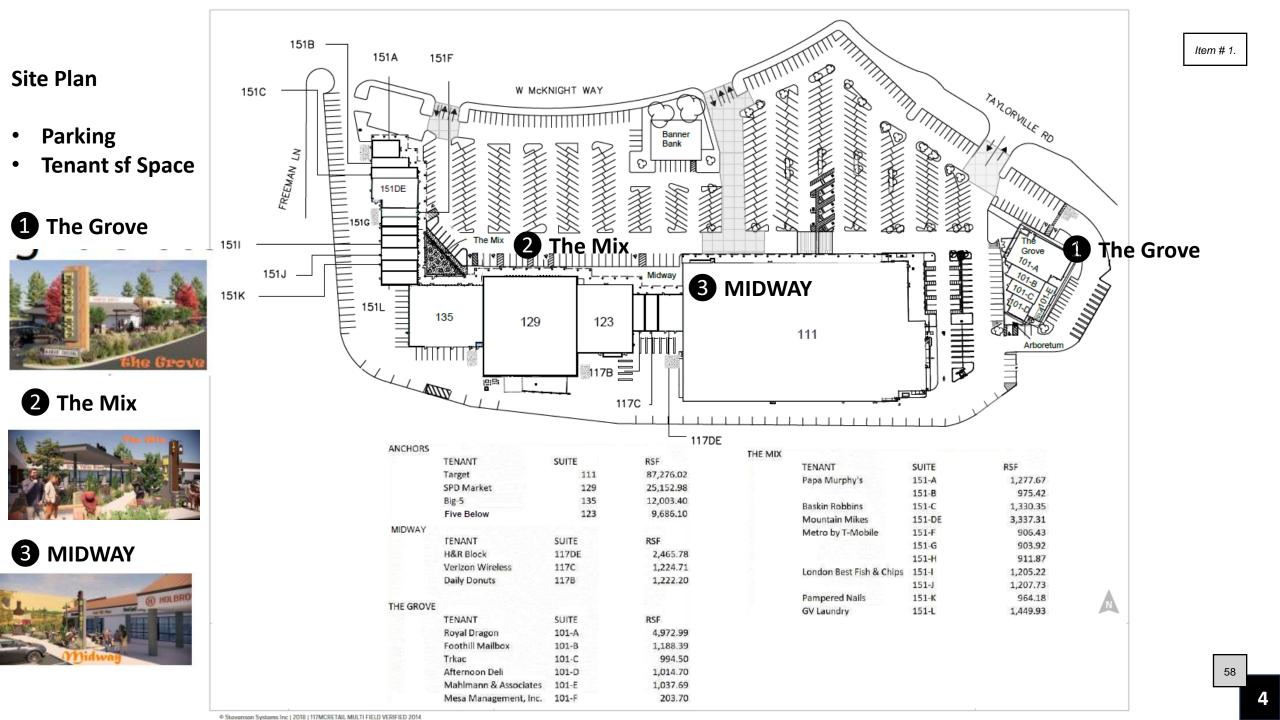
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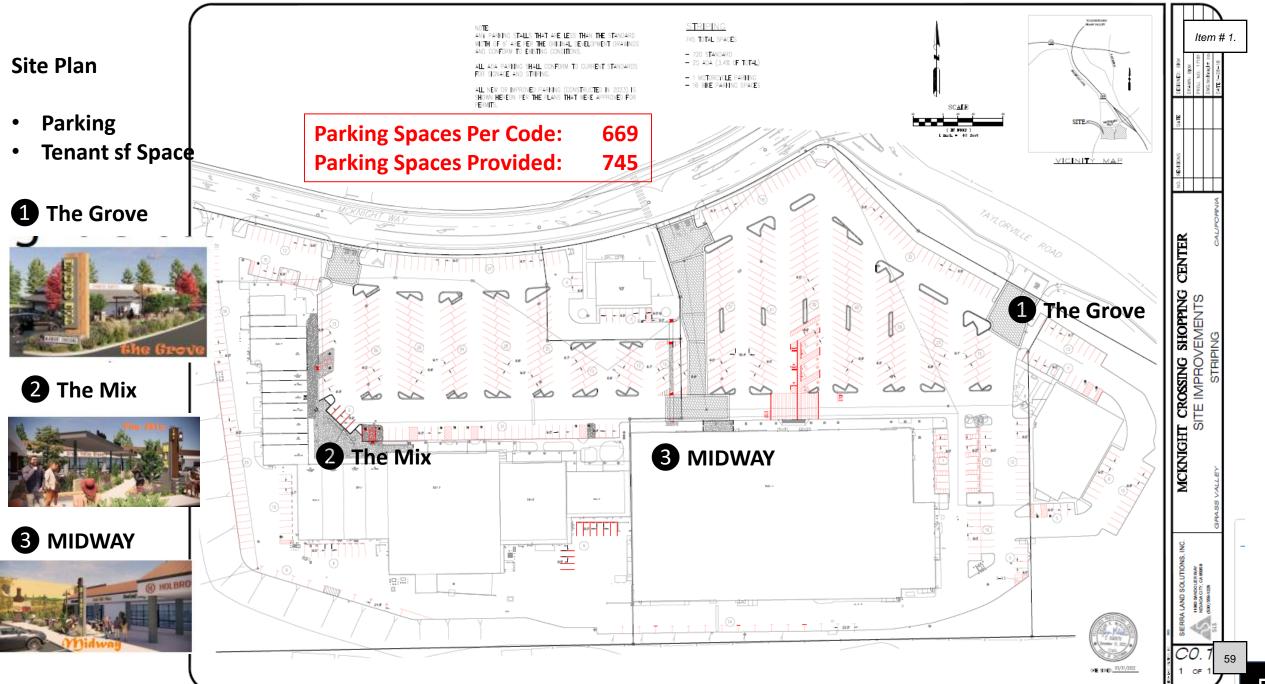
McKnight Crossing Shopping Center

OUTDOOR GATHERING SPACES



Item # 1.





Consistency – with Mission & Values of City's Strategic Plan

THE MISSION OF GRASS VALLEY IS TO: ENRICH THE QUALITY OF LIFE THROUGH EXCEPTIONAL SERVICE, INNOVATION AND LEADERSHIP.

THE VISION OF GRASS VALLEY IS TO: ENHANCE OUR FUTURE AS A PROGRESSIVE DESTINATION AND THE PLACE TO LIVE AND THRIVE.

CITY VALUES

WE ACCOMPLISH OUR MISSION AND REALIZE OUR VISION BY EMBRACING THESE VALUES:

HONEST AND OPEN:

WE WORK IN AN **OPEN, ETHICAL AND TRUTHFUL WAY.** ALL HAVE ACCESS TO SERVICES AND INFORMATION. WE ACT WITH **UNCOMPROMISING HONESTY** AND **INTEGRITY** IN EVERYTHING WE DO.

EXCEPTIONAL SERVICE:

WE PROVIDE, EXCELLENT, PROFESSIONAL AND HIGH-QUALITY SERVICE. WE ANTICIPATE, MEET OR EXCEED CUSTOMER SERVICE EXPECTATIONS, QUALITY IS EVERYTHING WE DO.

PROACTIVE:

WE LEAD BY EXAMPLE, INCORPORATING NEW IDEAS AND TECHNOLOGIES IN OUR WORK ENVIRONMENT, ANTICIPATING AND IMPROVING OUR DELIVER OF SERVICE IN AN ENVIRONMENT OF EVER INCREASING CHANGE.

FISCALLY RESPONSIBLE:

WE BELIEVE IN **PROTECTING THE FINANCIAL HEALTH** OF THE CITY AND PROMOTING ITS ECONOMIC VITALITY AND **DELIVERING EXCEPTIONAL VALUE** TO OUR CITIZENS. RECOGNIZING WE ARE ENTRUSTED TO WISELY USE PUBLIC RESOURCES AND **BE ACCOUNTABLE** TO THOSE THAT HAVE PLACED TRUST IN US.

PARTERSHIPS:

WE BELIEVE IN COLLABORATION, PROMOTING INCLUSIVENESS, SUPPORTING COMMUNITY INPUT, AND EMBRACING NEW IDEAS. WE TAKE PRIDE IN WORKING FOR AND GIVING BACK TO GRASS VALLEY

GRASS VALLEY

The City's General Plan has always been built around central themes, all are key focus points of

the City's current Vision:

- Preserve Grass Valley's historical character and encourage restoration.
- Expand public services to serve growing population.
- Encourage variety in residential building types and environments.
- Include high density housing areas in the town center.
- Provide better regional connections.
- Improve the circulation patterns within the City.
- Protect and improve the Downtown area.
- Diversify the economy and locate industry to avoid undue traffic.
- > Preserve scenic beauty and character.

Gathering Spaces

- 1.A.3. Create more experiences for families in City parks and downtown (e.g. storytelling, summer camps, outdoor performing arts, magic shows, and other special events geared toward families).
- 1.A.7. Establish and support more events that encourage diverse attendance from all groups.

B. MEDIUM TERM PROJECTS (2-5 YEARS):

- 1.B.1. Make City entrance signs on Highway 49 East and West, possibly utilizing the overpasses and screen protective fencing as a backdrop.
- 1.B.2. Create a "community gathering place" for the City in/near downtown where families and groups can enjoy music, recreation, and all sorts of entertainment together.
- 1.B.3. Enhance efforts to clean up neighborhoods and commercial areas.
- 1.B.4. Create programs to encourage business and home owners to make façade renovations to improve overall appearance of the City.
- 1.B.5. Amend City regulations to allow businesses to utilize space in the public right-of-way in Downtown to increase outdoor dining and shopping experiences (potentially remove some parking to accomplish).
- 2.A.2. Create a tree planting/replacement program with a common theme (e.g.: Dogwoods) for the City's streets. Continue seeking grants related to air quality and greenhouse gases to help fund this effort.

Ideas from the Community:

- → ♦ Grass Valley needs more living-wage jobs.
- We need to provide opportunities for emerging, non-traditional entropreneurian simal businesses in the City.
 - Provide local training in the various trades to foster upward mobility.
 - Improve highspeed internet and broadband service throughout the City.
 - Improve the downtown Safeway shopping center and entrance to downtown Grass Valley.
- Encourage the farm to fork industry, collaborate with local farms.
- Support small business through the City permitting process.
- Expand marketing for tourism and the arts in Grass Valley, promoting the City as a destination to explore.
- 4.B.4. Provide opportunities for emerging/non-traditional retail and technology startup
- businesses. Seek funding sources for small business startups and provide specialized *small business* assistance via convenient and user-friendly permitting and approval processes at the City.
- 4.B.5. Collaborate with City business partners such as Center for the Arts, the Downtown Association, Chamber of Commerce, and Nevada County Fair to develop a comprehensive
- marketing strategy to promote and market the Arts, Tourism, Ecotourism, farm-to-fork opportunities, Fair events, and entrepreneurial business. This effort will promote economic revenue enhancement for the City, as well as, small businesses, the trades, the arts community, Nevada County Fair, hotel, motels, restaurants and the like.
- 4.B.6. Reevaluate the effectiveness of the City's current economic development priorities and
- taxpayer supported efforts to attract new businesses into the community. Consider consolidating efforts to get more noticeable results; possibly develop an in-house program to demand more accountability and oversight.
- 4.B.7. Create strategies to counter the online shopping phenomenon; a combination of attractions for locals and tourists (e.g. support your local business campaigns and weekday specials
- for locals). Survey the local economy to discover where and when sales are stemming from: Local or Visitor and Weekday or Weekend sales, so the market can cater to each specifically.
- 4.B.8. Develop a strategy to maintain funding and capital reserve concerns with various Lighting and Landscaping districts.
- 4.B.9. Explore coordination with contracted grant writer(s) to explore and apply for grants.

4.B.10.Improve the City's effectiveness through collaboration with economic-health oriented regional partners.

C. LONG TERM PROJECTS (5-10 YEARS):

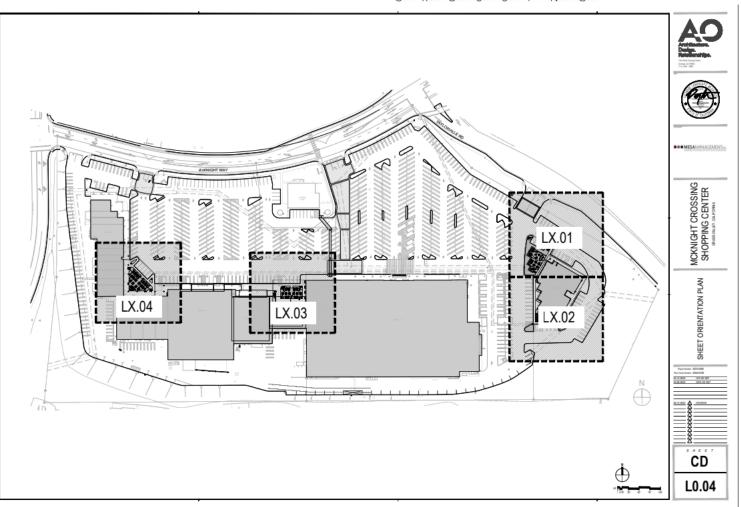
- 4.C.1. Encourage the development of experiences (i.e. boutique hotel and spa), as well as, ecotourism, agritourism, and shopping locally.
- 6.A.3. Review development projects with crime prevention in mind.

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Item # 1.

Gathering Spaces @





NOTE: Formal Detailed Building Plans are being submitted to the City and will comply with City Standards

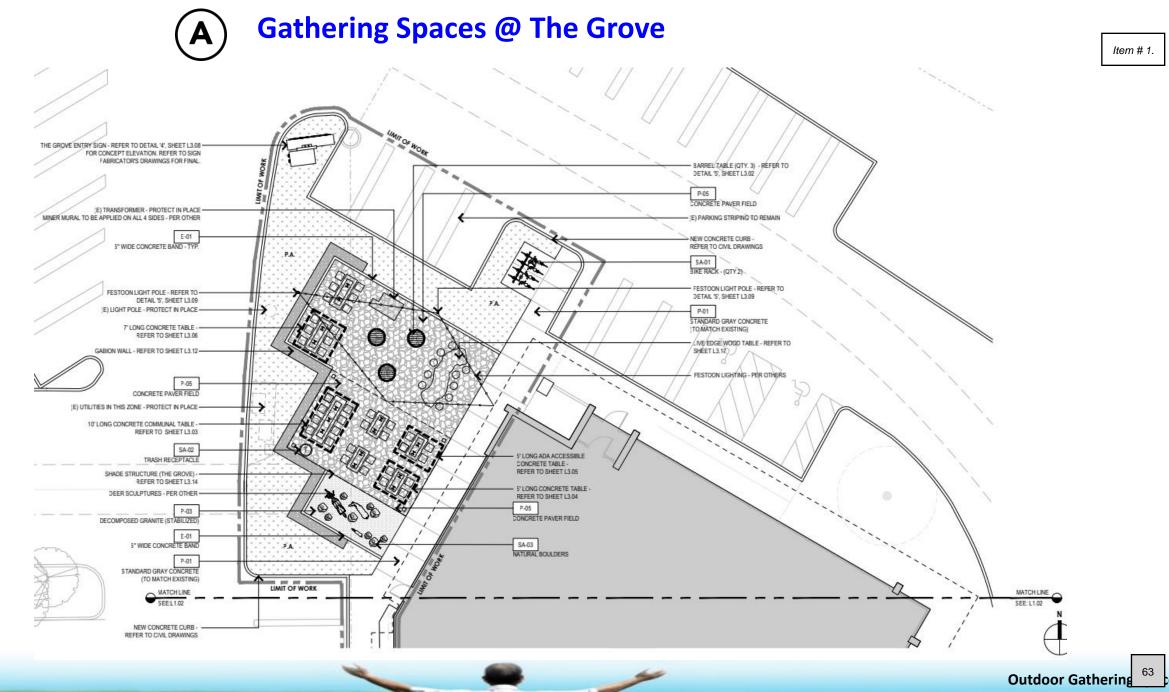
Outdoor Gathering 61

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Page 7

A) Gathering Spaces @ The Grove





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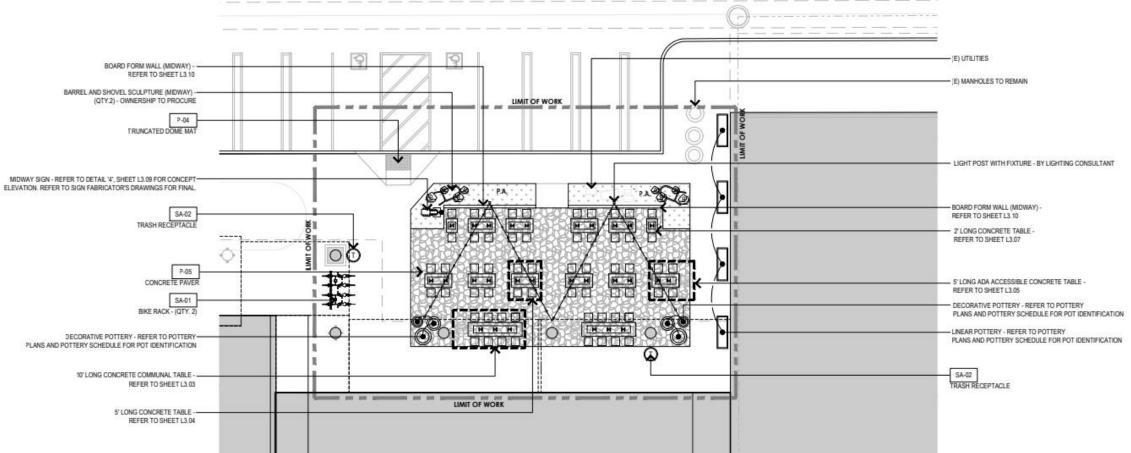


Gathering Spaces @ Midway











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Item # 1.

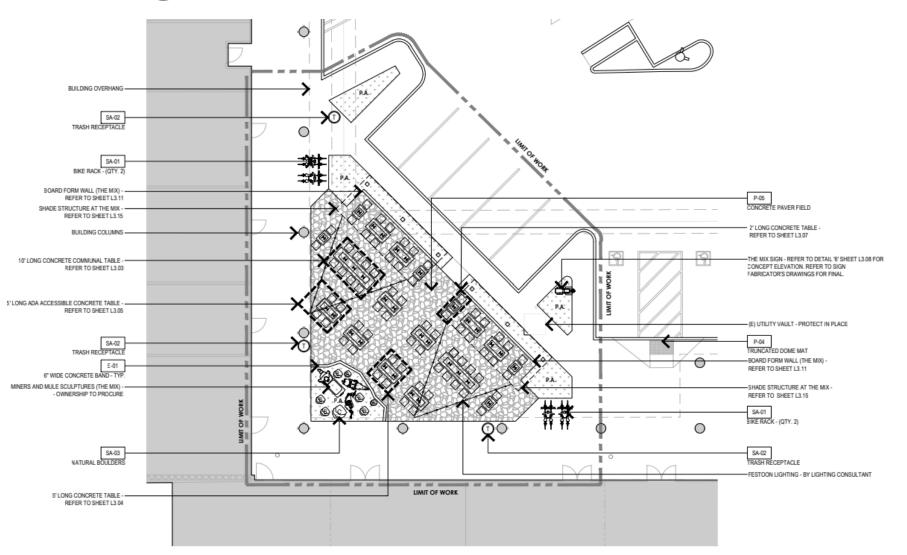






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Gathering Spaces @ The Mix



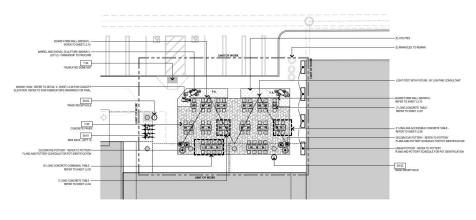
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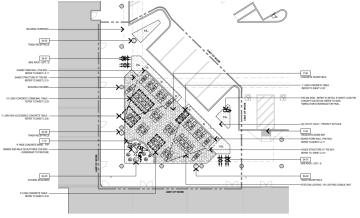






ltem # 1.





1,611 sf Color Pavers



1,829 sf Color Pavers

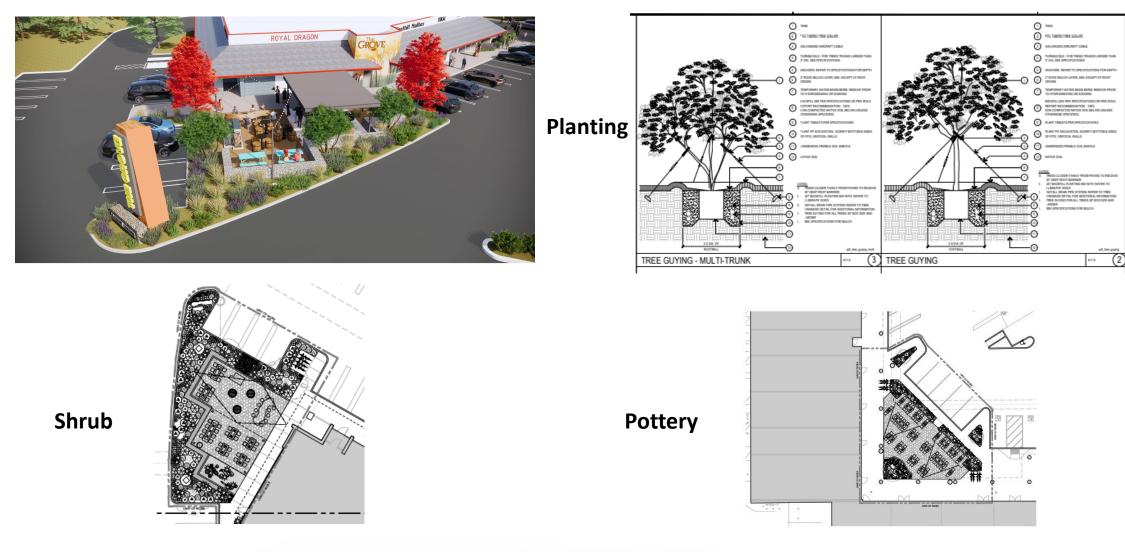
Total sf ~ 5,000 sf

Page 14



LANDSCAPING

Enhanced & Detailed Landscape Plans also being submitted to the City for Review



ltem # 1.





MC KNIGHT CROSSING - "FARMER'S MARKET" GRASS VALLEY, CA

MER'S MARKET" GRASS VALLEY, CA



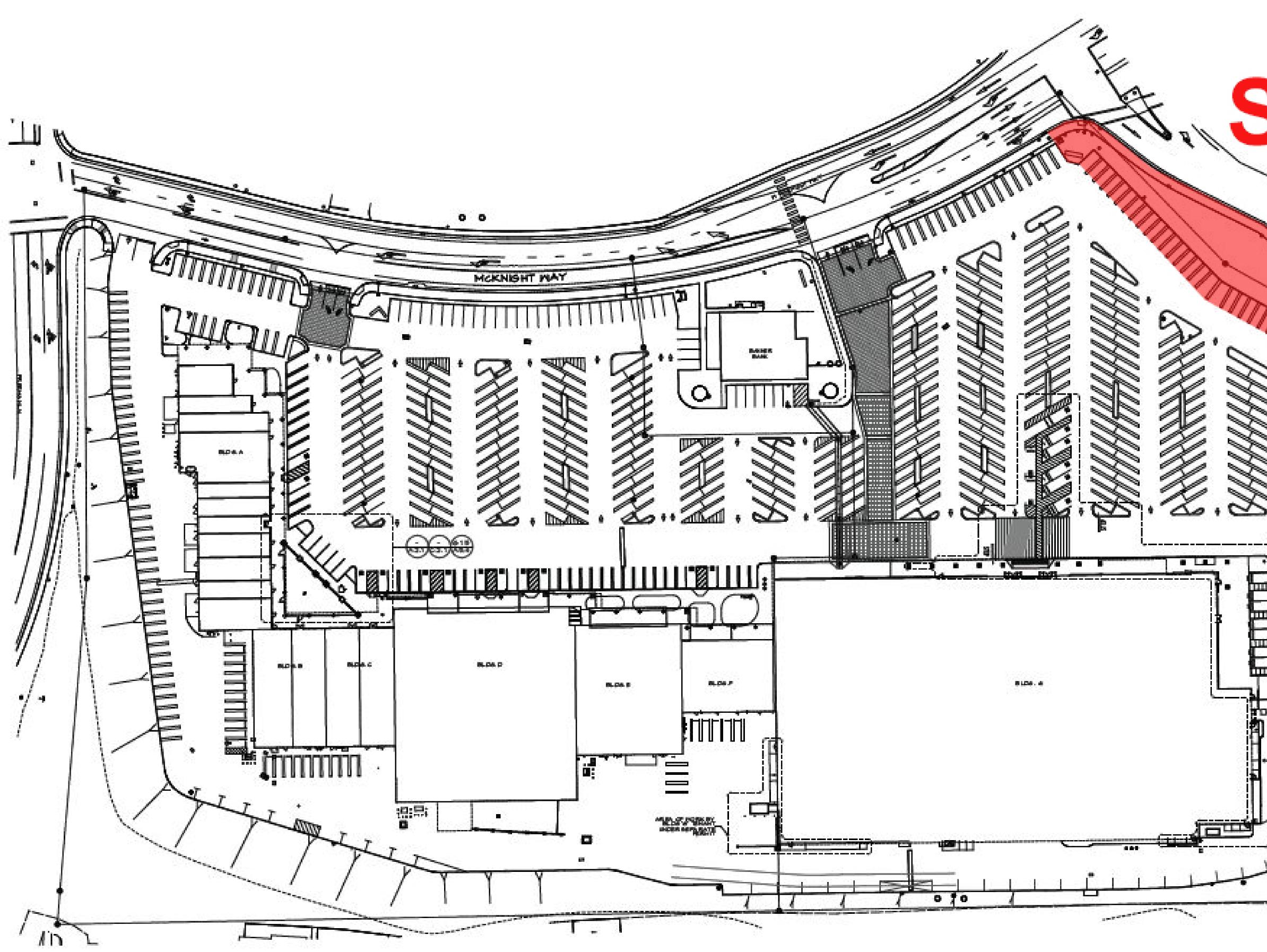


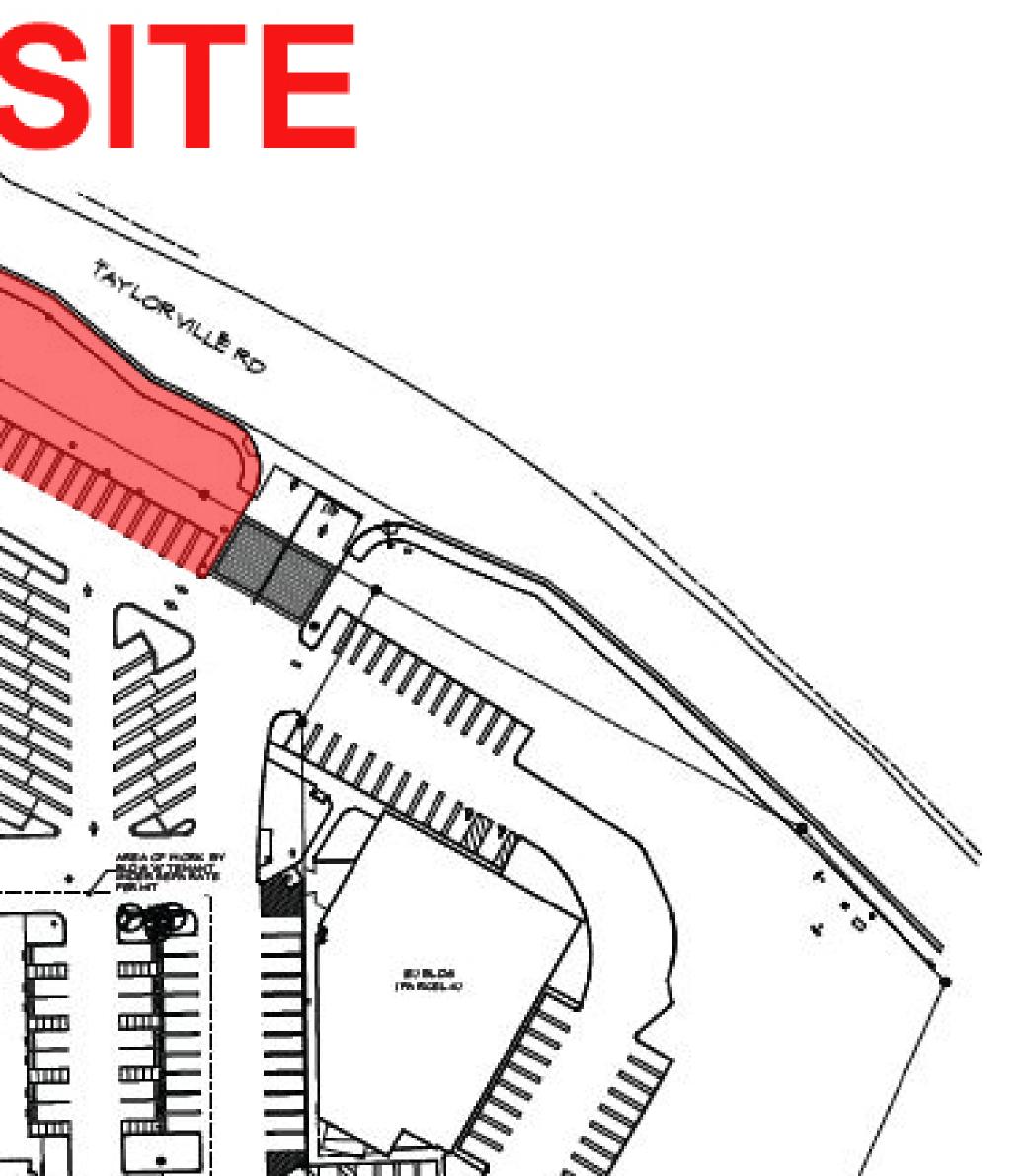
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MC KNIGHT CROSSING - "FARMER'S MARKET" GRASS VALLEY, CA





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LOCATION PLAN





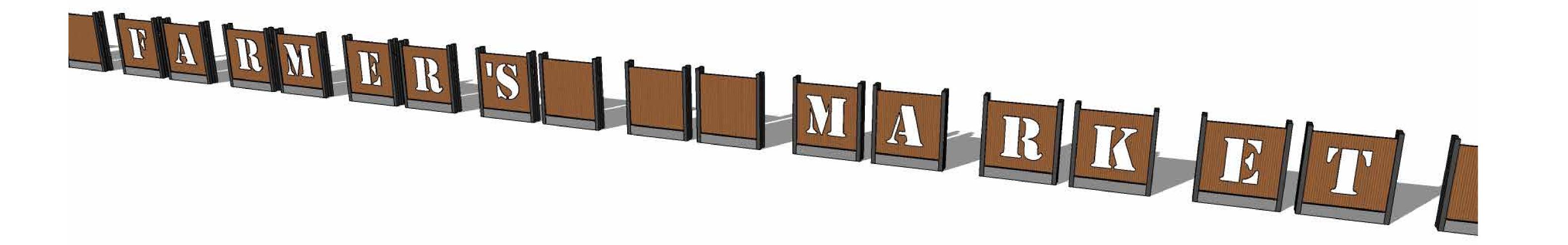
MC KNIGHT CROSSING - "FARMER'S MARKET" GRASS VALLEY, CA



CONCEPTUAL ILLUSTRATIVE SITE PLAN







DURING NON-OPERATIONAL EVENT



DURING FARMER'S MARKET EVENT



GRASS VALLEY, CA

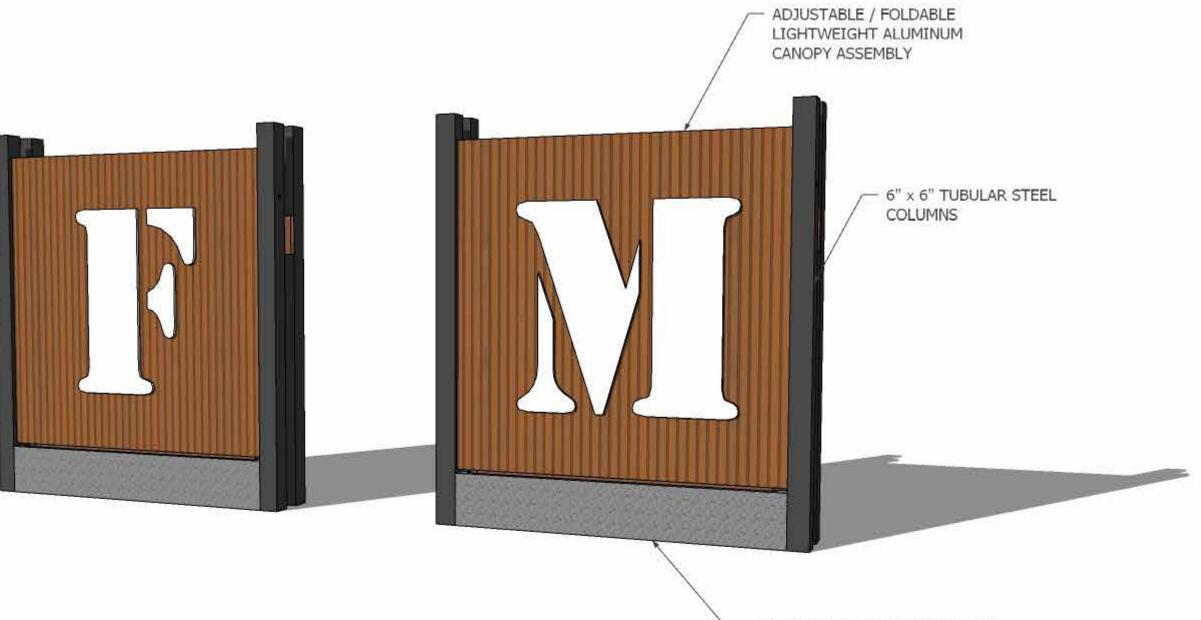
MC KNIGHT CROSSING - "FARMER'S MARKET"

CONCEPTUAL ARCHITECTURE OPTION-2



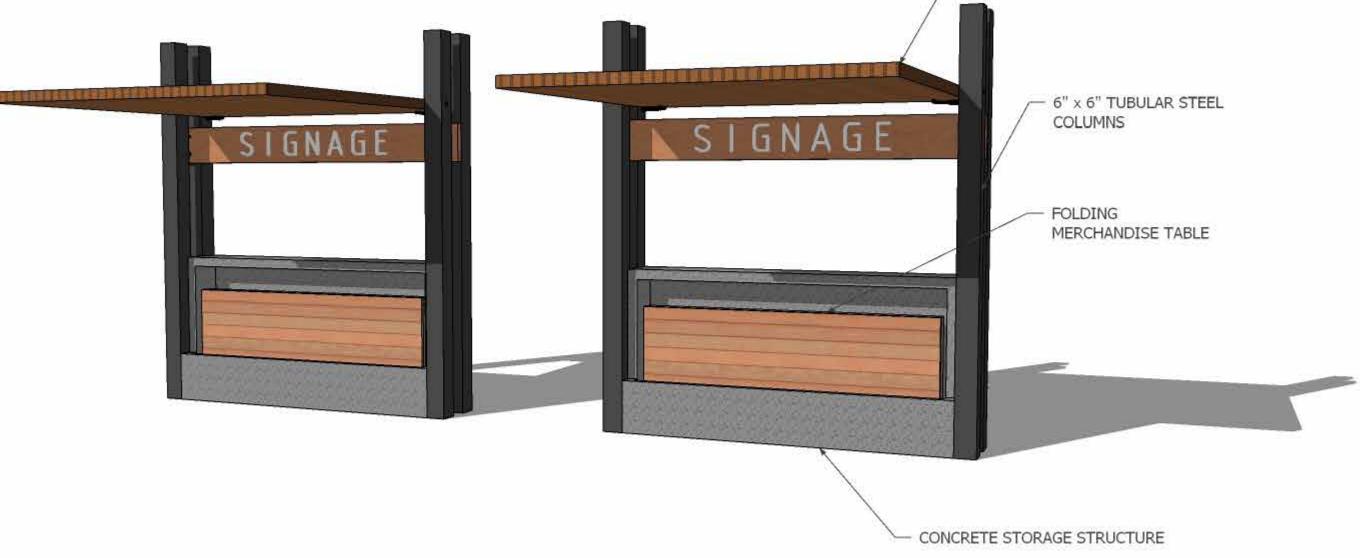






DURING NON-OPERATIONAL EVENT

FRONT ELEVATION



DURING OPENING THE STRUCTURE

FRONT ELEVATION



GRASS VALLEY, CA



FLEXIBLE STRUCTURE CONCEPT

CONCEPTUAL ARCHITECTURE OPTION-1

FRONT ELEVATION

FRONT ELEVATION

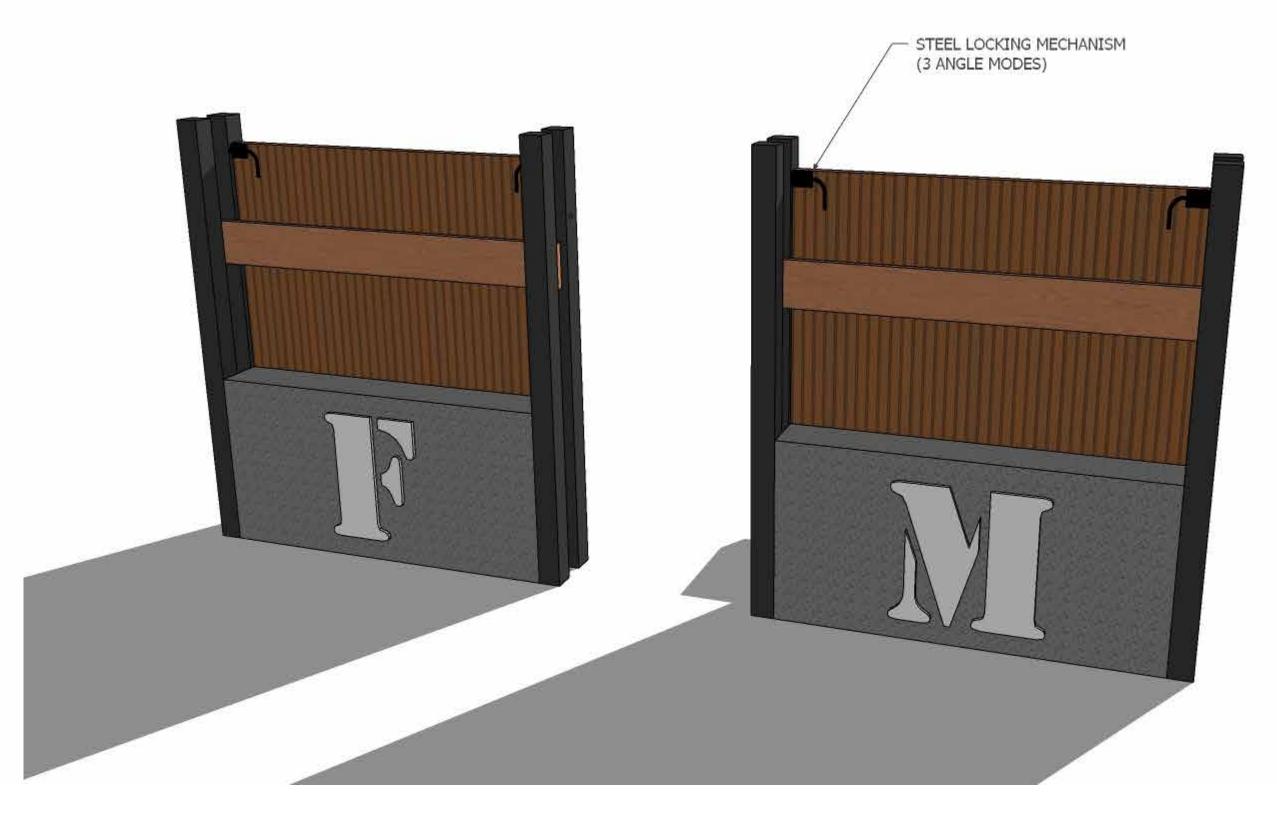
DURING FARMER'S MARKET EVENT



- CONCRETE STORAGE STRUCTURE

ADJUSTABLE / FOLDABLE
 LIGHTWEIGHT ALUMINUM

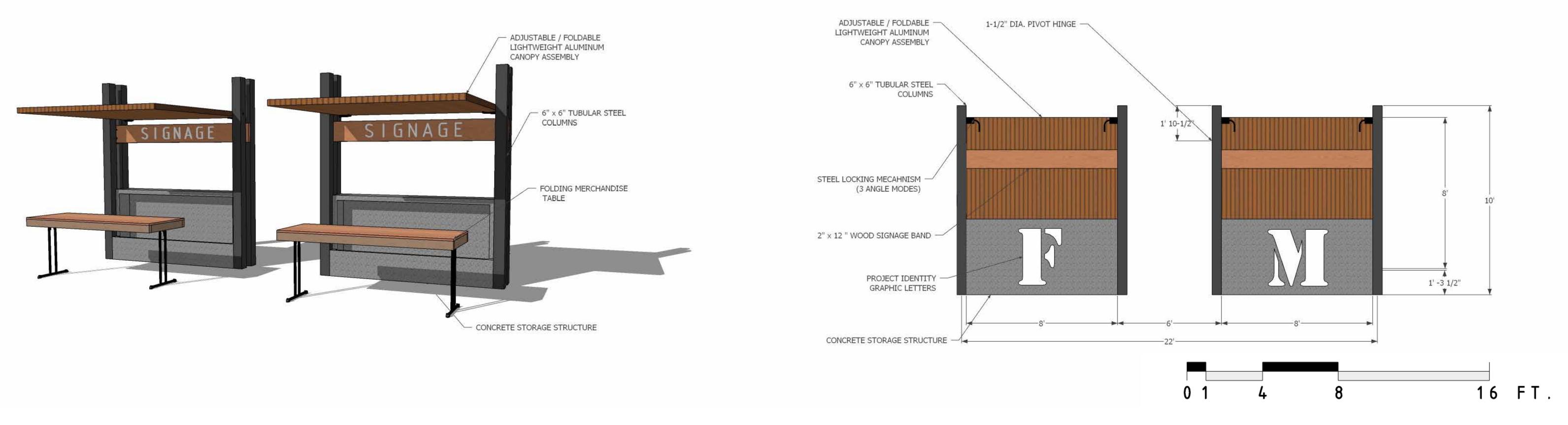
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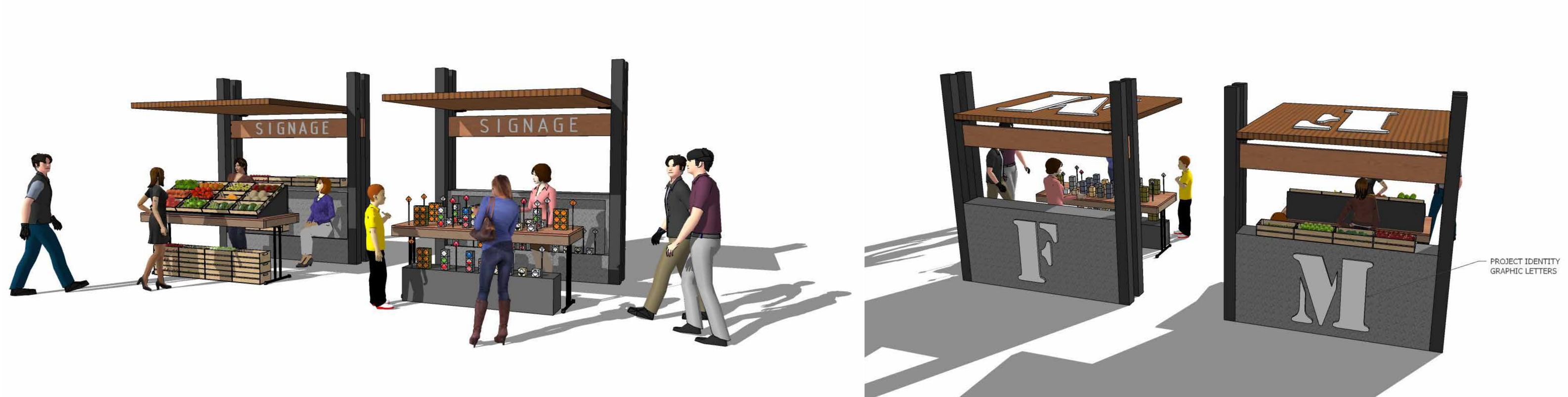


DURING NON-OPERATIONAL EVENT



DURING OPERATIONAL EVENT





FRONT ELEVATION

DURING FARMER'S MARKET EVENT



MC KNIGHT CROSSING - "FARMER'S MARKET" GRASS VALLEY, CA

CONCEPTUAL ARCHITECTURE OPTION-2

REAR ELEVATION

DURING FARMER'S MARKET EVENT



REAR ELEVATION

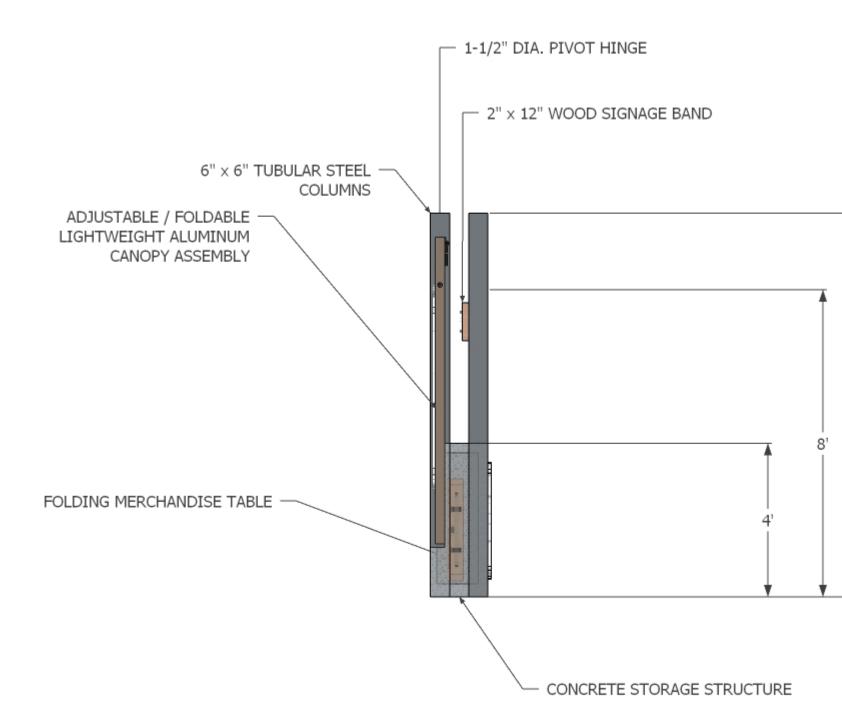
DURING NON-OPERATIONAL EVENT

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FLEXIBLE STRUCTURE CONCEPT

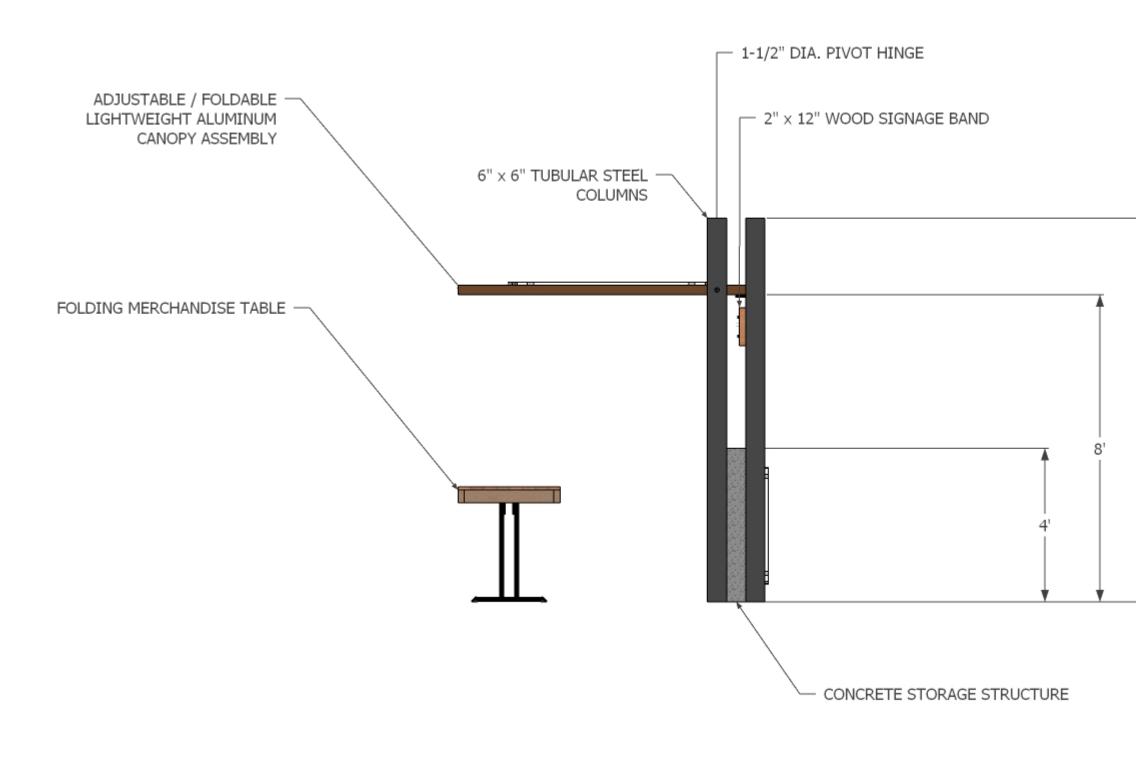






DURING NON-OPERATIONAL EVENT

SIDE ELEVATION



DURING FARMER'S MARKET EVENT

SIDE ELEVATION



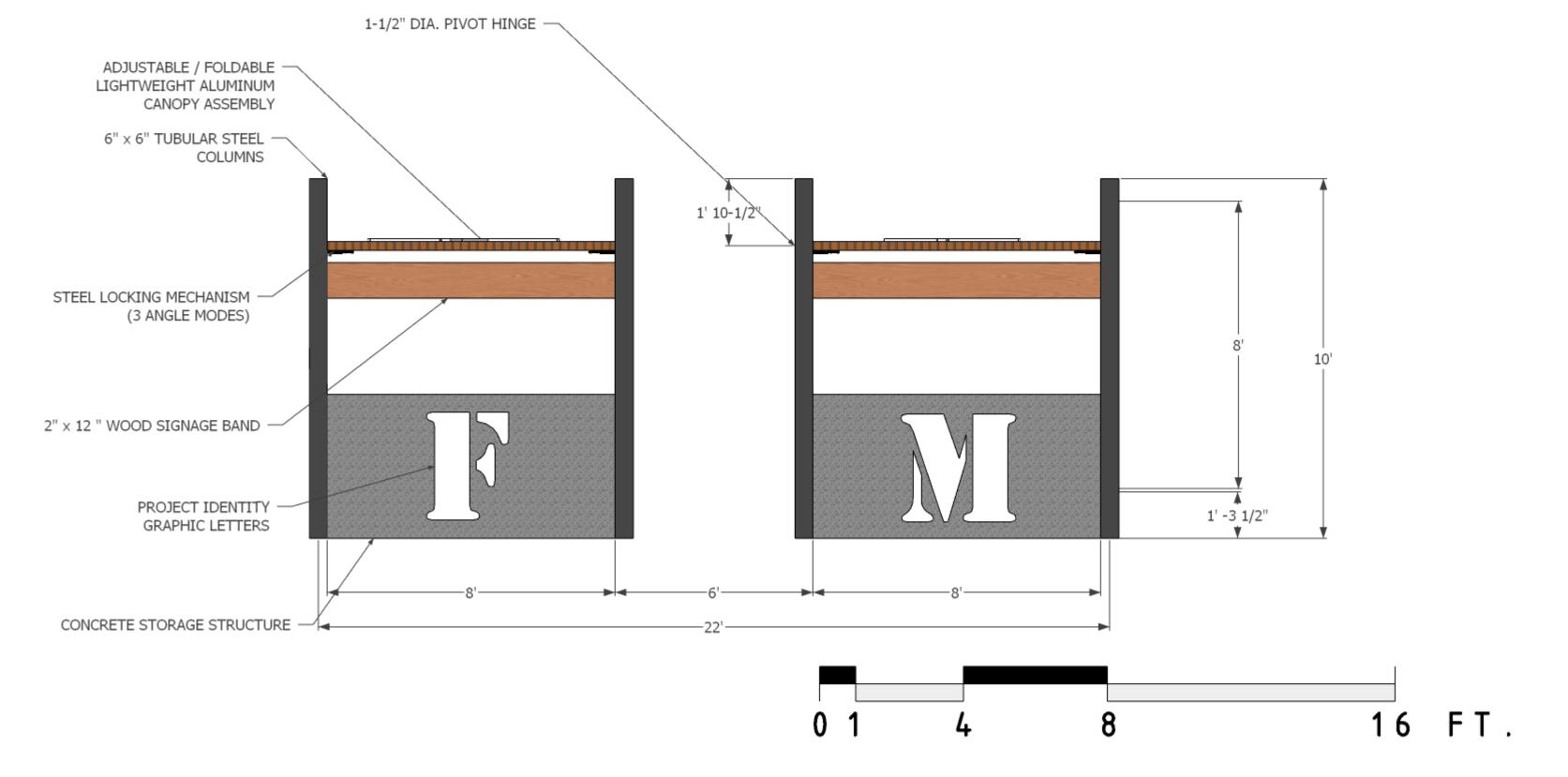
GRASS VALLEY, CA



CONCEPTUAL ARCHITECTURE OPTION-2

REAR ELEVATION

DURING FARMER'S MARKET EVENT





10

FRONT ELEVATION

10'

1' -3 1/2" .

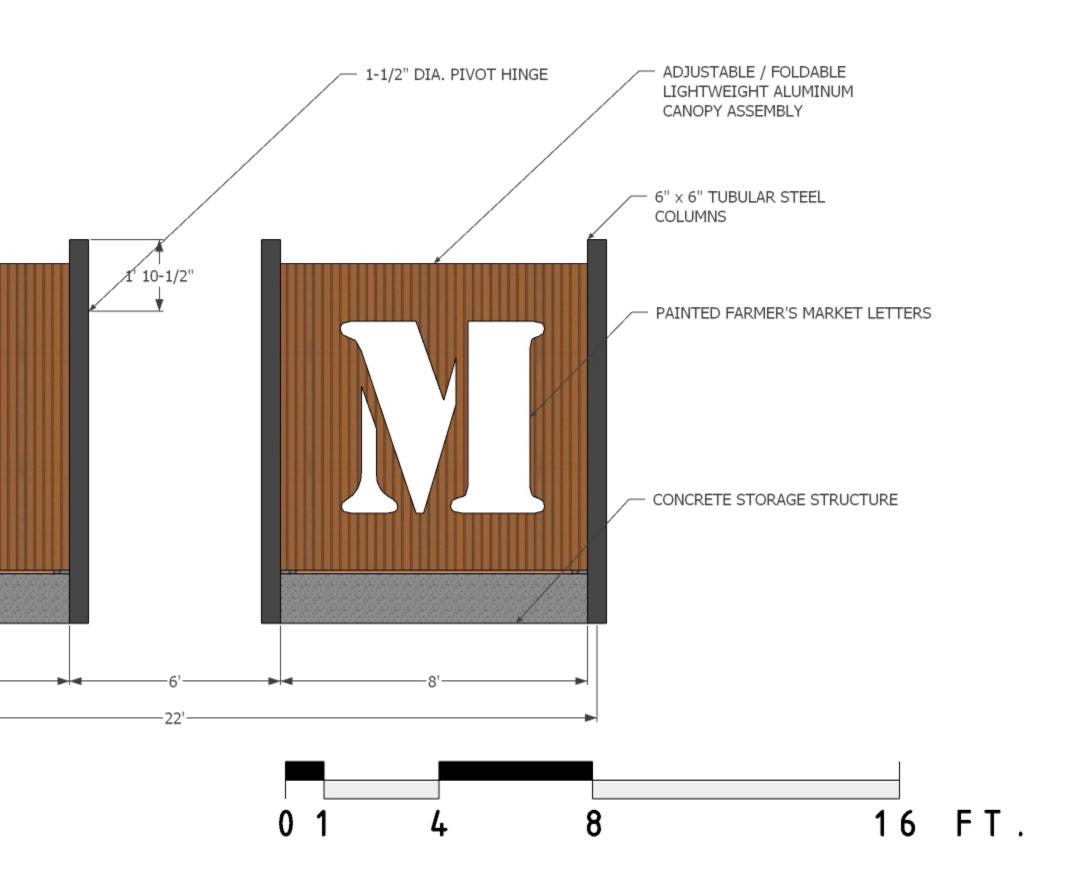


FLEXIBLE STRUCTURE CONCEPT





DURING NON-OPERATIONAL EVENT





DURING NON-OPERATIONAL EVENT





MC KNIGHT CROSSING - "FARMER'S MARKET" GRASS VALLEY, CA

DURING FARMER'S MARKET EVENT

DURING FARMER'S MARKET EVENT

CONCEPTUAL ARCHITECTURE OPTION-2











MC KNIGHT CROSSING - "FARMER'S MARKET"

GRASS VALLEY, CA

CONCEPTUAL ARCHITECTURE OPTION-2

FLEXIBLE STRUCTURE CONCEPT

PROJECT IDENTITY MARQUEE





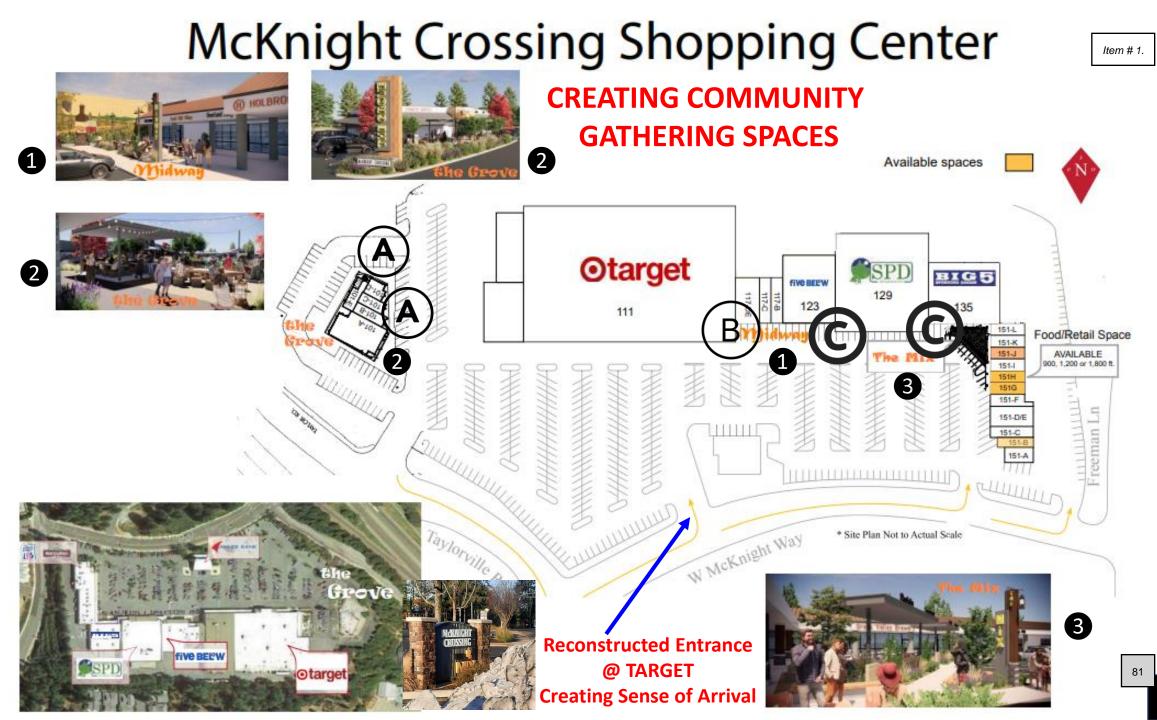


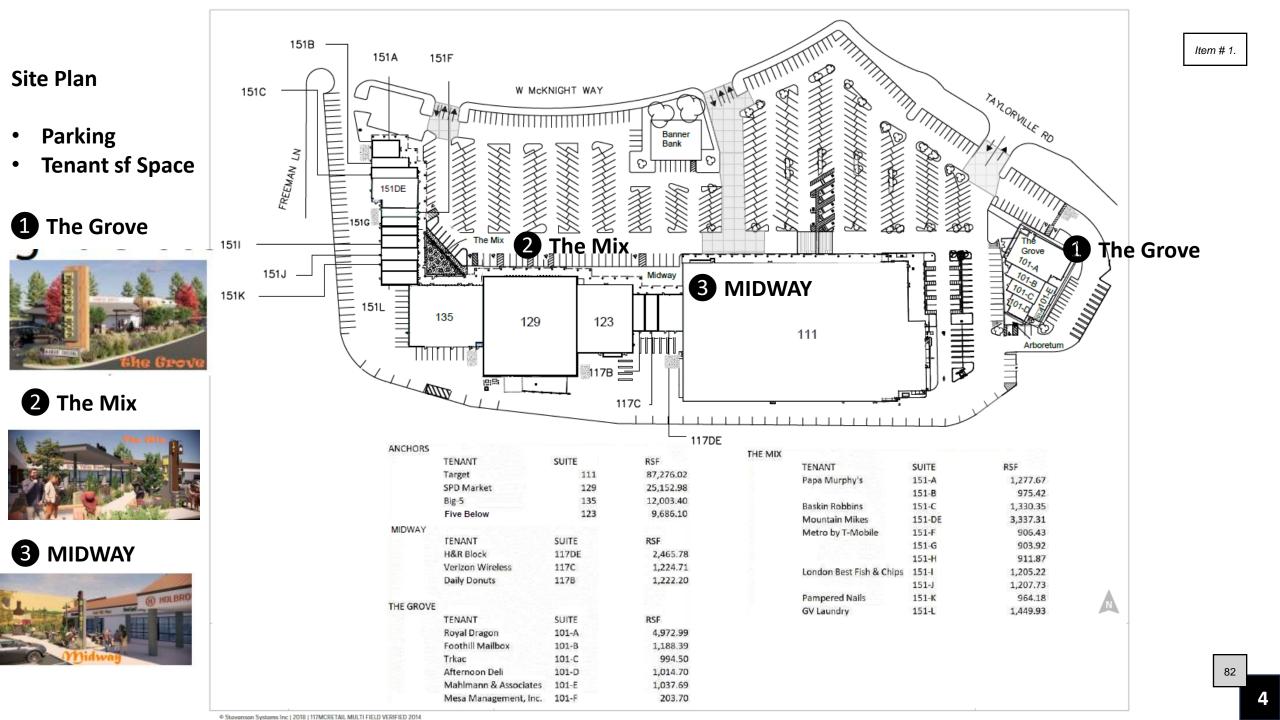
Creating Community Gathering Spaces

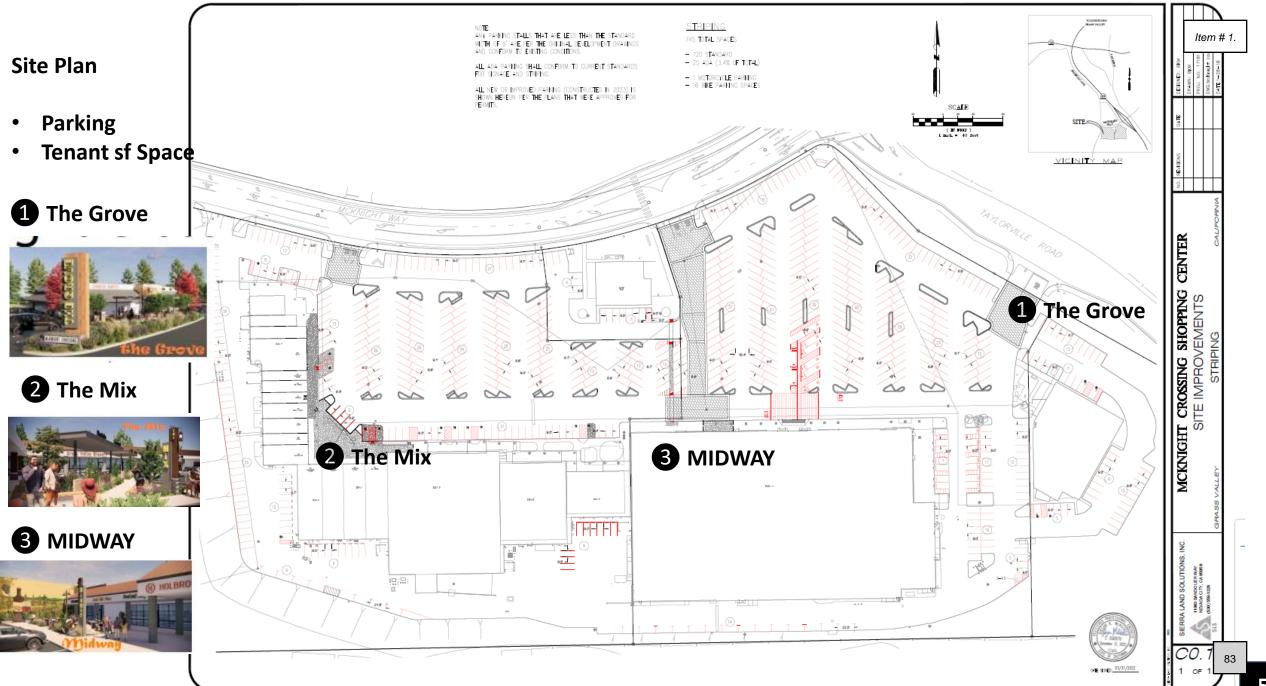
- 1. Murals are without text visible from a public right-of-way
- 2. Murals illustrate the local setting, history and cultural significance as sources of inspiration
- 3. The colors, placement and size of the murals are visually compatible with the Center's architecture
- 4. The Murals will serve to enhance the aesthetes of the Center and of the City.

Murals Locations















MURALS









Wolf Creek and Grass Valley

Wolf Creek has flowed here for eons creating the landscape and grasy meadows that lend Grass Valley its name. Originating from springs on Banner Mourtain at an elevation of 3.230 feet, the Creek flows through Grass Valley, turns south and joins the Bear River at 995 feet.

The watershed occupies a narrow band of elevation where the blue oak and gray pine woodlands of the lower foothils transition into mixed-vergreen forests dominated by black oak and ponderosa pine. Its biodiversity and productivity once supported large populations of indigenous people who thrived here for thousands of years.



Gold was discovered here in 1848. The mining that took place, until the last mine closed in 1957, released enormous amounts of toxic heavy metals that contaminated stream sediments from above Grass Valley to the San Francisco Bay. Some of these contaminants are still present in Wolf Creek and its tributaries.



SCHWEMM

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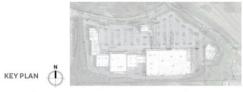




Total sf = 1,976



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MESAMANAGEMENTINC
 FROVIDING EXCELENCE IN REAL ESTATE MANAGEMENT

Mesa - McKnight Crossing - Grass Valley Grass Valley, CA

CONCEPTUAL ARCHITECTURE & LANDSCAPE RENDERINGS SPD MARKETAREA



Management Approved Renderings







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SIGN CRITERIA Revised **8/8/23 2:17 PM**

All companies bidding to manufacture:

All companies bidding to manufacture these signs are advised that no substitute will be accepted by purchaser whatsoever, unless so indicated in the specifications and approved by landlord and tenant. Any deviation from these specifications may result in purchaser's refusal to accept same.

All manufacturers are advised that prior to acceptance and final payment, each unit will be inspected for conformance by an authorized representative of the developer. Any signs found not in conformance will be rejected and removed at the owner's expense.

A. GENERAL SPECIFICATIONS

- A. Tenant shall submit before fabrication four copies of the proposed sign to the owner for approval. These drawings must include location, size and style of lettering, material, type of illumination, installation details, color selections and logo design. One plan is to be colored and submitted for approval.
- B. All permits for signs and their installation shall be obtained from the City of Grass Valley and paid for by the tenant prior to installation.
 - 1. No animated, flashing or audible signs will be permitted.
 - 2. No exposed lamps or tubing will be permitted.
 - 3. All signs and their installation shall comply with all local building and electrical codes.
 - 4. No exposed raceways, crossovers or conduit will be permitted.
 - 5. All. cabinets, conductors, transformers and other equipment shall be concealed.
 - 6. Painted lettering will not be permitted.
 - 7. Channel letters without interior neon illumination will be accepted.
 - 8. Any existing signage for a tenant space must be removed prior to installation of a new signage package.

B. LOCATION OF SIGNS

 All signs or advertising devices advertising an individual use, business or building shall be attached to the building at a location to be determined by the lessor.

Tenant's Initials _____

C. DESIGN PERFORMANCE (WALL MOUNTED)

- The total sign area shall not exceed one square foot per lineal foot of frontage of the premises. Except as allowed in Variance V80-02 Item 5, dated July 23, 1981. Sign area will be measured by circumscribing a rectangle around each individual letter of sign case.
- Width of sign must not exceed 60% of shop width, including logo.
- 3. The total sign area for 111 W. McKnight Way premises (Target) is: 338 sq. ft. for primary wall sign plus 21 sq. ft. and 36 sq. ft. for each of two secondary signs.
- 4. The total sign area to exceed 50 sq. ft. on the premises of tenants other than Target is hereby conditionally approved (for buildings A-F); provided that such signs shall be confined to a space of 20 inches maximum in height, except for one SPD sign not to exceed 60 inches in height and a maximum of 2/3 the premises in length; that the total sign area shall not exceed 1-1/2 sq. ft. per linear foot of frontage at the premises; that graphic symbols (logos) as well as letters shall be confined within in the space indicated above.
- 5. Total vertical sign height not to exceed 24". The maximum height for letters in the sign is 18 inches.
- 6. Signs shall be composed of individual or script lettering. Sign boxes and cans will not be permitted. Logos will be considered on a case by case basis. Colors will also be approved on a case by case basis.
- 7. Plastic surfaces: Rohm and Haas company's Plexiglas shall be used, in colors noted, 3/16" thick.
- 8. Acrycap retainers used at the perimeter of sign letter faces shall be gold, or approved on a case by case basis.

Tenant's Initials

9. For any spaces over 6,000 square feet and with over 90 feet of lineal frontage of the premise, the allowable sign area shall not exceed 1.28 square foot per lineal foot of frontage. The total vertical sign height is not to exceed 54 inches. The maximum height of letters in the sign is 42 inches. Width of the sign must not exceed 60% of the tenant frontage, including logo. For these spaces, a non-illuminated background behind the lettering is permitted not to exceed the allowable sign area.

D. <u>DESIGN PERFORMANCE (FREESTANDING PYLON, MONUMENT &</u> DIRECTIONAL SIGNS)

SIGN 1 PROPOSED PYLON SIGN (NORTHEAST CORNER OF SITE):

DOUBLE FACED, FREESTANDING: 14'-0" w. x 22'-0" h. x 3'-0" d.

CENTER I.D. - "McKNIGHT CROSSING" 6" HIGH MAX. ACRYLIC LETTERS "ATHELAS BOLD ITALIC" FONT ON 8 SQ. FT. FIELD DOWN LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(EACH SIDE)

TENANT I.D. - "Target" 16" HIGH MAX. LETTERS PRINTED ON ACRYLIC PANELS "ARIEL BOLD" FONT ON 16 SQ. FT. FIELD DOWN LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

> OTHER TENANTS - 12" HIGH MAX. LETTERS PRINTED ON ACRYLIC PANELS FONT VARIES ON 16 SQ. FT. FIELD DOWN LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(TYPICAL OF 3 ON EACH SIDE)

TOTAL SIGNAGE AREA = 58 SQ. FT. EACH SIDE116 SQ. FT. TOTALTOTAL FACE AREA = 252 SQ. FT. EACH SIDE504 SQ. FT. TOTAL

Tenant's Initials

SIGN 2 PROPOSED TENANT MONUMENT SIGN (WEST DRIVEWAY ENTRANCE FROM McKNIGHT WAY):

DOUBLE FACED, FREESTANDING: 17'-4" w. x 5'-6" h. x 1'-2" d.

CENTER I.D. - "McKNIGHT CROSSING" 5" HIGH MAX. ACRYLIC LETTERS "ATHELAS BOLD ITALIC" FONT ON 8 SQ. FT. FIELD DOWN LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(EACH SIDE)

TENANT I.D. - 8" HIGH MAX. LETTERS, PRINTED ON ACRYLIC PANELS FONT VARIES ON 7 SQ. FT. FIELD DOWN LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(TYPICAL OF 4 ON EACH SIDE)

TOTAL SIGNAGE AREA = 36 SQ. FT. EACH SIDE72 SQ. FT. TOTALTOTAL FACE AREA =94 SQ. FT. EACH SIDE,188 SQ. FT. TOTAL

SIGN 3 PROPOSED I.D. MONUMENT SIGN (EAST DRIVEWAY ENTRANCE FROM McKNIGHT WAY):

DOUBLE FACED, FREESTANDING: 8'-4'' w. x 5'-0" h. x 1'-2" d.

CENTER I.D. - "McKNIGHT CROSSING" 6" HIGH MAX. ACRYLIC LETTERS "ATHELAS BOLD ITALIC" FONT ON 8 SQ. FT. FIELD DOWN LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(EACH SIDE)

TOTAL SIGNAGE AREA = 12 SQ. FT. EACH SIDE24 SQ. FT. TOTALTOTAL FACE AREA = 34 SQ. FT. EACH SIDE68 SQ. FT. TOTAL

Tenant's Initials

SIGN 4 PROPOSED DIRECTIONAL SIGN (NORTH OF BLDG. "A"):

SINGLE FACED, FREESTANDING: 4'-0" w. x 4'-0" h.

CENTER I.D. - "McKNIGHT CROSSING" 3" HIGH MAX. VINYL LETTERS "ATHELAS BOLD ITALIC" FONT ON 8 SQ. FT. FIELD

DIRECTIONAL INFORMATION - "DELIVERIES" & "PARKING" 4 1/2" HIGH MAX, VINYL LETTERS "ARIEL" FONT ON BRUSHED ALUMINUM SIGN FACE

(ONE SIDE)

TOTAL SIGNAGE AREA = 12 SQ. FT.

SIGN 5 PROPOSED DIRECTIONAL SIGN (NEAR DRIVEWAY ENTRANCE FROM TAYLORVILLE ROAD):

SINGLE FACED, FREESTANDING: 4'-0" w. x 4'-0" h.

- CENTER I.D. "MCKNIGHT CROSSING" 3" HIGH MAX. VINYL LETTERS "ATHELAS BOLD ITALIC" FONT ON 8 SQ. FT. FIELD
- INFORMATION "DELIVERIES" & "PARKING" 4 1/2" HIGH MAX, VINYL LETTERS "ARIEL" FONT ON BRUSHED ALUMINUM SIGN FACE

(ONE SIDE)

DIRECTIONAL

TOTAL SIGNAGE AREA = 12 SQ. FT.

Tenant's Initials

NEW 8.1.2023

SIGN 6 PROPOSED I.D. MONUMENT SIGN (THE GROVE):

Item # 1.

SINGLE FACED, FREESTANDING: 9'-6" w. x 20'-0" h. x 52" d.

CENTER I.D. - "the Grove" 2'-6" HIGH MAX. ACRYLIC LETTERS "TBD" FONT ON 60 SQ. FT. FIELD CHANNEL LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(ONE SIDE)

TOTAL SIGNAG	E AREA =	60	SQ.	FT.	60	SQ.	FT.	TOTAL
TOTAL FACE A	REA = 60	SQ.	FT.		60	SQ.	FT.	TOTAL

SIGN 7 PROPOSED I.D. MONUMENT SIGN (THE MIX):

SINGLE FACED, FREESTANDING: 46" w. x 12'-2" h. x 24" d.

CENTER I.D. - "the Mix" 17" HIGH MAX. ACRYLIC LETTERS "TBD" FONT ON 20'-8" SQ. FT. FIELD CHANNEL LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(ONE SIDE)

TOTAL SIGNAGE AREA = 20'-8'' SQ. FT.20'-8 SQ. FT. TOTALTOTAL FACE AREA = 20'-8'' SQ. FT.20'-8'' SQ. FT. TOTAL

SIGN 8 PROPOSED I.D. MONUMENT SIGN (MIDWAY):

SINGLE FACED, FREESTANDING: 46" w. x 16'-10" h. x 20" d.

CENTER I.D. - "MIDWAY" 17" HIGH MAX. ACRYLIC LETTERS "TBD" FONT ON 31 SQ. FT. FIELD CHANNEL LIT W/LED LIGHTING SHIELDED BY SIGNAGE FRAME

(ONE SIDE)

TOTAL SIGNAGE AREA =	31	SQ.	FT.	31	SQ.	FT.	TOTAL
TOTAL FACE AREA = 31	SQ.	FT.		31	SQ.	FT.	TOTAL

Tenant's Initials

E. CONSTRUCTION REQUIREMENTS

- 1. All exterior signs, bolts, fastenings, and clips shall be enameling iron with porcelain enamel finish, stainless steel, aluminum, brass or bronze. No black iron materials of any type will be permitted.
- 2. All exterior letters on signs exposed to the weather shall be mounted at least ³/₄ from the building to permit proper dirt and water drainage.
- 3. All letters shall be fabricated using full welded construction.
- Location of all openings for conduits in building walls shall be indicated by sign drawings submitted to the lessor.
- 5. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- 6. No labels will be permitted on the exposed surface of signs except those required by local ordinance which shall be applied in an inconspicuous location.
- 7. Sign contractor shall repair any damage to any work caused by his work.
- 8. Lessee shall be fully responsible for the operations of each of its sign contractors.

F. RESTRICTIONS

- 1. Vertical copy or signs projecting perpendicular to the building are not permitted.
- 2. Logos or manufacturer's decals, hours of business, telephone numbers, etc., are limited to a total of 144 sq. in. per single door entrance. All "Sale" signs, special announcements, etc. are not permitted on exterior or interior glass. such advertising material must be set back 48" from glass surface.
- 3. Advertising devices such as attraction boards, posters, banners and flags will not be permitted.
- 4. Copy of tenant's sign shall not include the product sold, except as part of the tenant's name or insignia.

Tenant's Initials

- 5. Temporary signs:
 - a. Temporary signs may be permitted upon the review and approval of a sign permit by the Planning Department.
 - b. Temporary signs shall be limited in size proportionately to the building or development involved. The aggregate area of all temporary signs on the premises, shall not exceed two square feet for each lineal foot of frontage, or a maximum of fiftysquare feet total area, whichever is the lesser area. Exceptions to this standard may be granted by the Development review committee in accordance with Chapter 17.38 of the Municipal Code.
 - c. Temporary signs shall be limited to four events per year, not to exceed a period of 15 days per event;
 - d. The Planning Department or the Development Review Committee may be more restrictive than these standards or deny an application for temporary sign permits. An action of denial must be based on findings which may include the following:
 - 1. The proposed sign would conflict with other signs on the building or in the neighborhood.
 - 2. The proposed sign would cause undesirable or unattractive proliferation on the building or in the neighborhood.
 - 3. The proposed sign would result in too many similar type signs on the building or in the neighborhood.
 - 4. The proposed sign may result in a public health and safety hazard or nuisance.
 - 5. The applicant has demonstrated poor performance in complying with this ordinance or conditions of permit approval for other signs.
- G. PROHIBITED SIGNS
 - 1. <u>Signs constituting a traffic hazard</u>: No person shall install or maintain or cause to be installed or maintained any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words, "STOP", "LOOK", "DANGER", or any other words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.

Tenant's Initials

- 2. Immoral or Unlawful Advertising: It shall be unlawful for any person to exhibit, post, or display or cause to be exhibited, posted or displayed upon any sign, anything of an obscene, indecent, or immoral nature or unlawful activity.
- 3. <u>Signs on Doors, Windows or Fire Escapes:</u> No window signs will be permitted except as noted herein. No sign shall be installed, relocated, or maintained so as to prevent free ingress to or egress from any door. No sign of any kind shall be attached to a stand pipe except those signs as required by code or ordinance.
- Animated, Audible, or Moving Signs: Signs consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light is prohibited.
- 5. <u>Off-Premise Signs:</u> Any signs, other than a directional sign, installed for the purpose of advertising a project, event, person or subject note related to the premises upon which said sign is located are prohibited.
- 6. <u>Vehicle Signs</u>: Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide direction to a use of activity not related to its lawful making or deliveries or sales of merchandise or rendering of services from such vehicles, is prohibited.
- 7. Light Bulb Strings and Exposed Tubing: External displays, other than temporary decorative holiday lighting, which consists of unshielded light bulbs, and open, exposed neon or gaseous light tubing, are prohibited. An exception hereto may be granted by the architect when the display is an integral part of the design character of the activity to which it relates.
- 8. Pennants, and Balloons used for Advertising. Purposes: Flags, banners, or pennants, or a combination of same, constituting an architectural feature which is an integral part of the design character of a project may be permitted subject to landlord and City approval.

Tenant's Initials

Landlord's Initials

- 9. <u>Signs in Proximity to Utility Lines</u>: Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines than that prescribed by the laws of the state of California are prohibited.
- 10. Existing Non conforming Pylon Signs: No modification of the existing pylon signs will be allowed without approval of an exception to the sign ordinance by the Grass Valley City Development Review Committee.

H. MISCELLANEOUS NOTES

1. The provisions of this Exhibit, except as otherwise expressly provided in this Exhibit, shall not be applicable to the identification signs of Department Stores or other occupancy designated by the landlord as a "Major" or "Special" tenant that my be located in the Shopping Center, it being understood and agreed that these occupants may have their usual sign on similar buildings operated by them in California; provided, however, there shall be no rooftop signs which are flashing, moving, or audible and provided said sign is architecturally compatible and has been approved by the architect, owner and the City of Grass Valley.

I. GUARANTEE

1. The entire display shall be guaranteed for one (1) year against defects in the material and workmanship. Defective parts shall be replaced without charge, all lamps excluded.

J. INSURANCE

 Sign company shall carry workmen's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction of erection of signs in the amount of \$1,000,000/\$2,000,000.

K. ERECTION

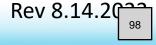
 Sign company shall completely erect and connect (including all wiring) sign display at approved sign location.

END OF CRITERIA

Tenant's Initials



SIGN LOCATION PLAN



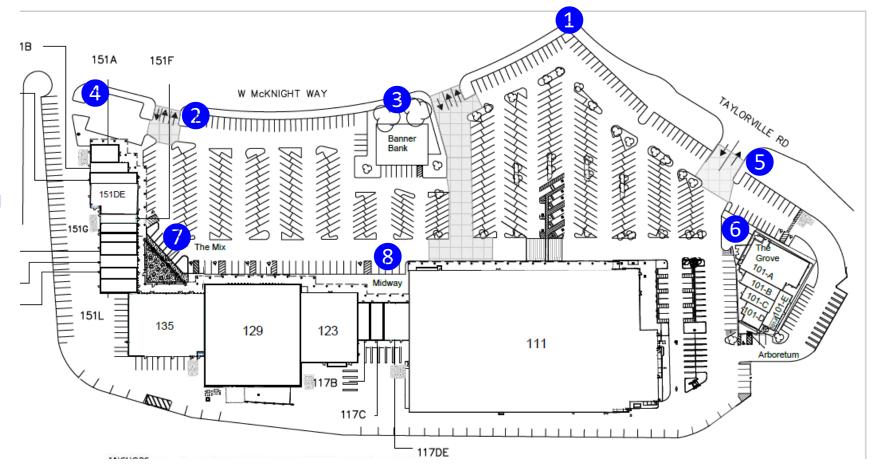
DRC

SIGN LOCATIONS

- 1. Pylon NE Corner
- 2. Tenant Monument W Drive Entrance
- 3. ID Monument E Drive from McKnight Way
- 4. Directional No Bldg A
- 5. Directional Drive Entrance @ Taylorville Rd

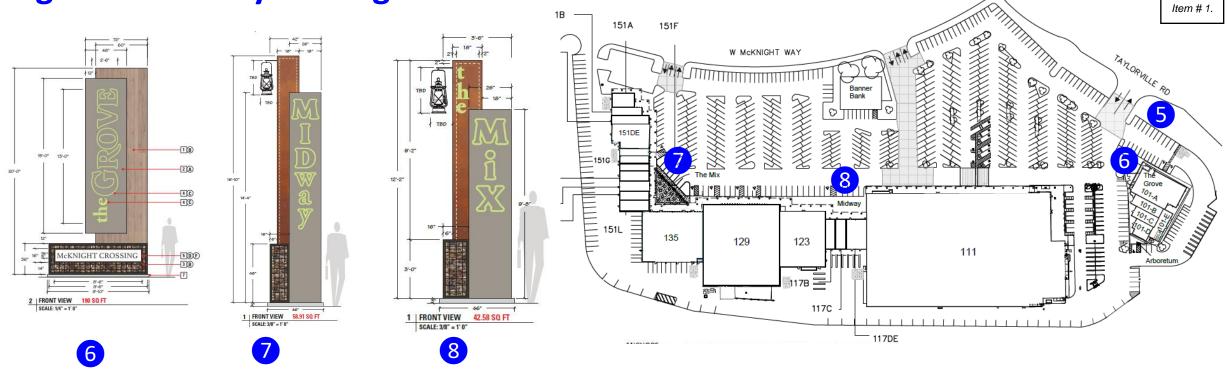
<u>NEW</u>:

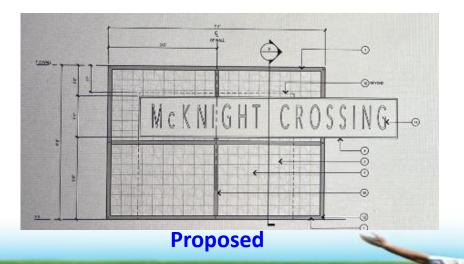
- 6. The Grove
- 7. The Mix
- 8. Midway



ltem # 1.

Signs – ID & Way Finding





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