



GRASS VALLEY
Planning Commission Meeting

Tuesday, July 19, 2022 at 7:00 PM
Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California
Telephone: (530) 274-4310 - Fax: (530) 274-4399
E-Mail: info@cityofgrassvalley.com Web Site: www.cityofgrassvalley.com

AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

COMMISSIONERS

Chair Eric Robins, Vice Chair James Arbaugh, Commissioner Liz Coots,
Commissioner Greg Bulanti

MEETING NOTICE

Planning Commission welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 7:00 p.m. on the 3rd Tuesday of each month. Your interest is encouraged and appreciated.

This meeting is being broadcast "live" on Comcast Channel 17 by Nevada County Media, on the internet at www.cityofgrassvalley.com, or on the City of Grass Valley YouTube channel at <https://www.youtube.com/channel/UCdAaL-uwDN8iTz8bI7SCuPQ>.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 5pm. Comments received after that will be addressed during the item and/or at the end of the meeting. Commission will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Commission after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

AGENDA APPROVAL

ACTION MINUTES APPROVAL

1. Minutes for June 21, 2022.

PUBLIC COMMENT - *Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 5pm. Comments received after that will be addressed during the item and/or at the end of the meeting. The Planning Commission will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.*

PUBLIC HEARING ITEMS

2. **Development Review Committee Recommendation of Development Review and Use Permit (22PLN-21)** for the remodel of the existing ±6,200 sq. ft. Best Western Conference Center building and new ±6,400 sq. ft. hotel for Best Western, including site and landscaping improvements in the Office Professional (OP) Zone. The remodeled and new hotel buildings include 13 and 14 rooms respectively for a total of 27 rooms. The project is located at 1012 Sutton Way (APN: 035-400-026). Environmental Determination: Categorical Exemption.
3. **Use Permit (22PLN-27)** to allow Riebe's NAPA Auto Parts Store to use the old Sears Building located at 129 Idaho Maryland Road for additional product storage and machine shop operations located at 126 Idaho Maryland Road. The building, located at 129 Idaho Maryland Road was originally Riebe's Auto Parts, prior to the new store at 126 Idaho-Maryland Road in 1997 (APN: 009-210-039). Environmental Determination: Categorical Exemption.

OTHER BUSINESS

4. Review of City Council Items.
5. Future Meetings, Hearings and Study Sessions

BRIEF REPORTS BY COMMISSIONERS

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a Planning Commission Meeting, scheduled for Tuesday, July 19, 2022 at 7:00 PM was posted at city hall, easily accessible to the public, as of 5:00 p.m. Thursday, July 14, 2022.

Taylor Day, Deputy City Clerk



GRASS VALLEY
Planning Commission Meeting

Tuesday, June 21, 2022 at 7:00 PM
Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California
Telephone: (530) 274-4310 - Fax: (530) 274-4399
E-Mail: info@cityofgrassvalley.com Web Site: www.cityofgrassvalley.com

MINUTES

CALL TO ORDER

Meeting called to order at 7:02 pm.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance led by Chair Robins.

ROLL CALL

PRESENT

Commissioner Greg Bulanti
Commissioner Liz Coots
Vice Chairman James Arbaugh
Chairman Eric Robins

AGENDA APPROVAL

Motion made to approve the agenda by Commissioner Coots, Seconded by Commissioner Bulanti.
Voting Yea: Commissioner Bulanti, Commissioner Coots, Vice Chairman Arbaugh, Chairman Robins

ACTION MINUTES APPROVAL

1. Minutes for May 17, 2022.

Motion made to approve the minutes by Vice Chairman Arbaugh, Seconded by Commissioner Bulanti.
Voting Yea: Commissioner Bulanti, Commissioner Coots, Vice Chairman Arbaugh, Chairman Robins

PUBLIC COMMENT -

Public comments are attached.

PUBLIC HEARING ITEMS

2. **Development Code Amendments (22PLN-22)** - The amendments being proposed through application 22PLN-22 include, but are not limited to: consideration of limiting the quantity of Short Term Rentals (e.g. Airbnb, VRBOs, etc.) allowed in residential zones; amending monument and mural sign permit approval processes; adding a definition and use for beekeeping; expanding Limited Term Permits to include Mobile Food Facilities (food trucks); increasing the height of carriage houses; approval of uses in the Recreation and Public Zones; allowing open type fencing in the Creek and Riparian Zones; updating the City's Affordable Housing Density Bonus section and section that deals with appeals related to Tentative Maps to ensure consistency with State law.

Lance Lowe, Principle Planner, gave the presentation to the Commission.

There was discussion about the Park amendment and Commissioner Coots felt that they should still be involved in the approval process to allow for more input on the projects. The Commission did feel that there should be as much transparency and noticing to the public as possible. Commissioner Bulanti felt that there was no need to restrict the amount of Airbnb's and does not see the benefit of disallowing renting out of Airbnb's. Vice Chairman Arbaugh asked whether accessory dwellings could still be utilized as a short term rental. Commissioner Coots dose see a shortage in rentals and this could be a small help to the issue. Chairman Robins would like to look at putting a cap on the short term rentals. The Commission would like to request a joint meeting with the Council in regards to the short term rental.

Public comment attached.

Motion made by Commissioner Bulanti, Seconded by Commissioner Coots.

Voting Yea: Commissioner Arbaugh, Commissioner Bulanti, Commissioner Coots, Vice Chairman Robins

NON-PUBLIC HEARING ITEMS

3. **General Plan conformity finding** for a potential property purchase at Assessor's Parcel Numbers 009-680-023 and 035-412-024, 1207 and 11150 Idaho-Maryland Road by the City of Grass Valley

Tom Last, Community Development Director, gave the overview to Commission.

Discussion was had about the flooding zone.

Motion made by Commissioner Arbaugh, Seconded by Commissioner Coots.

Voting Yea: Commissioner Arbaugh, Commissioner Bulanti, Commissioner Coots, Vice Chairman Robins

4. **Pending and approved residential and commercial projects Memo**

Lance Lowe, Principle Planner, was available for questions.

Request was had to put Dorsey Market Place. Commissioner Bulanti wants to make sure that the public understands how long these projects take to fully execute.

OTHER BUSINESS

5. **Review of City Council Items.**
6. **Future Meetings, Hearings and Study Sessions**

Potential joint study for the short term rentals and there will be a Planning Commission meeting in July and a DRC meeting on June 28th.

BRIEF REPORTS BY COMMISSIONERS

ADJOURN

Meeting adjourned at 8:35 pm.

Eric Robins, Chair

Taylor Day, Deputy City Clerk

Taylor Day

From: WIRELESS CALLER [REDACTED]
Sent: Tuesday, June 21, 2022 7:58 PM
To: Public Comments
Subject: Voice Mail (1 minute and 16 seconds)
Attachments: audio.mp3

Yes, public comment on the Airbnb situation. In my neighborhood, there's multiple Airbnbs. They park on the sidewalk continually. And when I talked to them about it, they told me directly that Tim Kaiser, the city manager, said they could do it. Now this is on Bennett Street, right, by Hanson Way and Bank Street. Check that out. Drive by there and see that whole sidewalk is unusable due to parking now. Also people are parking motorcycles on the sidewalk that they are being these another one that has changed in amix. The neighborhood is Henderson Street between Bennett Street and Colfax Avenue. A woman was given a permit to cheap told me she was putting in a sidewalk. But she put in a parking spot that is not wide enough and it blocks out into the street. So it's turned. That piece of the street into a one way versus a two way that it was. So now the Arab people are blocking the streets with their cars. That's just a couple of examples in this very small neighborhood, and there's dozens and dozens of examples like that around. If you'd care to look. Thank you.

You received a voice mail from [WIRELESS CALLER](#).

Thank you for using Transcription! If you don't see a transcript above, it's because the audio quality was not clear enough to transcribe.

[Set Up Voice Mail](#)

Taylor Day

From: WIRELESS CALLER [REDACTED]
Sent: Tuesday, June 21, 2022 7:17 PM
To: Public Comments
Subject: Voice Mail (53 seconds)
Attachments: audio.mp3

Yes, a public comment on this realignment of all these different regulations in town and if you guys can't see it, this is a power grab by the city management and it's sad that a lot of people did a lot of hard work. But these regulations in place and with one presentation it's going to be changed and cutting out complete department's out of the process of permitting things signage, memorial signage just all the things that seem to be verbalised by lamps. There is disturbing at best. You should really go back and watch these meetings afterwards and try to consider yourself a member of the public and see what you think. Thank you.

You received a voice mail from [WIRELESS CALLER](#).

Thank you for using Transcription! If you don't see a transcript above, it's because the audio quality was not clear enough to transcribe.

[Set Up Voice Mail](#)

Taylor Day

From: WIRELESS CALLER [REDACTED]
Sent: Tuesday, June 21, 2022 7:10 PM
To: Public Comments
Subject: Voice Mail (1 minute and 23 seconds)
Attachments: audio.mp3

Yes, on the change of the requirements on planning for the heights, there's been a problem with these variances giving for height and also fencing is on there too. Same thing with that. There's been just a lot of fencing in of places, boxing in very high fences and also very high houses that are blocking other peoples views, putting shadows on things they've never been shattered and. History of the town. The House on Wood Street is a perfect example of a monstrosity that was given a waiver to block the view of multiple historic houses behind it that had a view of Grass Valley since the beginning. There's other Vine Street in Grass Valley. Check that one out. That started out as a garage that got very high. That turned into a try Plex. So when we go high, were blocking views of other people. So that needs to be considered. Instead of putting things in the shadow and blocking peoples views and having them look at outside a T1-11 house or whatever the siding is made out of. Thank you. Since now there's like a 5 foot clearance, right? Or is it zero clearance to build up against the property line? I know there's a waiver for that too. Thanks a lot

You received a voice mail from [WIRELESS CALLER](#).

Thank you for using Transcription! If you don't see a transcript above, it's because the audio quality was not clear enough to transcribe.

[Set Up Voice Mail](#)

Taylor Day

From: WIRELESS CALLER [REDACTED]
Sent: Tuesday, June 21, 2022 6:43 PM
To: Public Comments
Subject: Voice Mail (1 minute and 32 seconds)
Attachments: audio.mp3

And following make public comment for the Planning Commission meeting on the 21st, this is Matthew Coulter. My comments are. Keep the dust down. The amount of dust coming off the Memorial Park project is outrageous. Memorial Lane still hasn't been paved over all the gravel that you ripped up every time a car goes across it creates a huge cloud of dust, which is hundreds of cars a day. My cramming more things without putting in trials, and I know you're going to talk about some fictional trail later tonight on the agenda with purchases of property. But without maintaining what we already have and picking up the trash on the street, it's just kind of futile. 'cause. This town was looking quite crappy, and in the planning end of it, I don't think there really is a plan. I think everything is just first come, first serve with the money and it's pretty obvious what's going on in town and the favoritism that's going on and the permits or lack of permits or lack of regulation that's happening through these departments, including planning. There's hundreds of Airbnbs, not 30. Thanks a lot.

You received a voice mail from [WIRELESS CALLER](#)

Thank you for using Transcription! If you don't see a transcript above, it's because the audio quality was not clear enough to transcribe.

[Set Up Voice Mail](#)



**PLANNING COMMISSION
STAFF REPORT
July 19, 2022**

Prepared by: Lance E. Lowe, AICP, Principal Planner *fel*
Reviewed by: Thomas Last, Community Development Director *J2*

DATA SUMMARY:

Application Number: 22PLN-21
Subject: Development Review and Use Permit of an existing ±6,200 sq. ft. hotel building remodel and new ±6,400 sq. ft. hotel with related site improvements.
Location/APN: 1012 Sutton Way/035-400-026
Applicant: Christopher Gage, Sitrine Architecture
Zoning/General Plan: Office Professional (OP) Zone/Office Professional
Entitlement(s): Development Review & Use Permit
Environmental Status: Categorical Exemption

RECOMMENDATION:

The Development Review Committee recommends that the Planning Commission approve the Best Western Hotel project as presented, or as modified by the Planning Commission, which includes the following actions:

1. Determine the project Categorical Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines;
2. Adoption of Findings of Fact for approval of the Best Western Hotel project as presented in the Staff Report; and,
3. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report.

BACKGROUND:

The Development Review Committee considered the project at its June 28, 2022, meeting. The DRC discussed and recommended approval of the project subject to modifications including: 1) Stone veneer should be reduced in height on all elevations; 2) Gabel ends, eyebrows & return fascia on new building are too crowded and should be refined; 3) Roof vents of south elevation should be reduced in size; 4) Sidewalk connectivity from the site to the existing sidewalk network in the project vicinity shall be installed; and 5) The drive isle in the front shall be a minimum of 15 feet in width to accommodate fire access.

Staff will be providing a PowerPoint presentation together with material sample board at the July 19, 2022, Planning Commission meeting to illustrate the revised elevations for Planning Commission consideration.

See **Exhibit A** – Development Review Staff Report dated June 28, 2022, for discussion of Background, Project Description, Site Description and Environmental Setting, Environmental Determination, General Plan and Zoning, Staff Analysis of parking, landscaping, architectural design, fencing, trash enclosures, and signage.

EXHIBIT

Exhibit A – June 28, 2022, DRC Staff Report with the following Attachments:

- Attachment 1** – Vicinity Map
- Attachment 2** – Aerial Photograph
- Attachment 3** – Site Photographs
- Attachment 4** – Findings and Conditions of Approval
- Attachment 5** – Best Western Project Plans

EXHIBIT





**DEVELOPMENT REVIEW
COMMITTEE
STAFF REPORT
June 28, 2022**

Prepared by: Lance E. Lowe, AICP, Principal Planner
Reviewed by: Thomas Last, Community Development Director

DATA SUMMARY:

Application Number: 22PLN-21
Subject: Development Review and Use Permit for an existing ±6,200 sq. ft. hotel building remodel and new ±6,400 sq. ft. hotel with related site improvements.
Location/APN: 1012 Sutton Way/035-400-026
Applicant/Owner: Christopher Gage, Siteline Architecture
Zoning/General Plan: Office Professional (O-P) Zone/Office Professional
Entitlement: Development Review & Use Permit
Environmental Status: Categorical Exemption

RECOMMENDATION:

The Development Review Committee recommend that the Planning Commission approve the Best Western Hotel project as presented, or as modified by the Development Review Committee, which includes the following actions:

1. Determine the project Categorical Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines;
2. Adoption of Findings of Fact for approval of the Best Western Hotel project as presented in the Staff Report; and,
3. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report.

BACKGROUND:

The Best Western Conference Center, located at 1012 Sutton Way, appears to have been constructed circa 1970's consisting of a ±6,200 sq. ft. building with related parking and landscaping on an approximate 1-acre triangular site. The majority of the site is undeveloped with large expanses of asphalt paving. The building lacks architectural interest consisting of single plane walls; T-111 siding painted in an earth tone color; and mansard roof with slate roofing.

PROJECT DESCRIPTION:

The applicant is requesting a Development Review and Use Permit for the remodel of the existing ±6,200 sq. ft. Best Western Conference Center building and new ±6,400 sq. ft. hotel for Best Western, including site and landscaping improvements in the Office Professional (OP) Zone. The remodeled and new hotel buildings include 13 and 14 rooms respectively for a total of 27 rooms. The O-P Zone permits hotel buildings contingent upon Development Review Permit (i.e., Design Review) approval for site plan and architectural building design in accordance with the City's Design Guidelines and Development Code Standards. A Use Permit is required for Hotels in the OP Zone per Table 2 – 10 of the Development Code.

The project plans include the following details:

Site Plan – The ±6,200 remodeled Best Western Conference Center building is located at the south end of the property ±20 feet from the south property line adjoining the existing Best Western Hotel. The building is setback ±60 feet from the front property line; ±100 feet from Highway 20/49; and ±36 feet from the proposed new hotel building.

The new ±6,400 Best Western Hotel building is located ±40 feet from the front property line; ±40 feet from Highway 20/49; and ±120 feet from the north property line.

Access, Parking & Circulation – Access to the site is via an existing, centrally located, ±33-foot-wide driveway connecting with Sutton Way. The driveway connects to a 12-foot-wide one-way ingress/egress drive isle connecting with a 15-stall parking lot and landscaping at the north end of the site.

An existing 24-foot access isle is proposed between the buildings serving the 9-stall parking lot in the rear of the property. The existing 24-foot drive isle serves the existing 7-stall parking lot in the front of the property. A total of thirty-one parking spaces are provided consisting of 2 compact spaces; 2 van accessible spaces; and 2 accessible spaces.

Landscaping – A landscaping plan has been submitted with the project plans (Sheet L1). The landscaping consists of a combination of grasses/shrubs/perennials and ornamental trees including Sage, California Lilac, Oregon Grape, Trident Maple, Golden Rain Tree, and existing trees. Total landscaped area represents ±6,105 square feet or 14% of the ±1-acre site.

Architectural Design – Architectural plans and detailing for the remodeled and new buildings include the following design components:

- Manufactured stone veneer – Eldorado Stone (Dry Creek);
- Shed awnings with metal standing seam roof (Accluvium);
- Perpendicular awnings with T&G ceiling and recessed lighting (Smokewood);
- Horizontal wood siding 12-inch rough sawn wood (Island Mist);

- Horizontal fiber cement lap siding with 6-inch lap on second story (Old World Romance);
- Board and Batt siding under canopies (Old World Romance);
- Metal roofing awnings, horizontal awnings (Dark Bronze);
- Doors and windows (Espresso);
- Existing roofing tile (Medium Brown)

A color materials board is provided on Sheet A.5.5.

Lighting – Lighting consists of a combination of pole site lighting, wall sconce lighting and under canopy lighting. Goose neck lighting is proposed to illuminate the proposed signage on the west elevation. A photometric plan has been prepared together with the building plans to show the type of fixture and foot-candle in accordance with City of Grass Valley Standards.

Trash Enclosure – A roofed trash enclosure exists at the north end of the site. The trash enclosure materials consist of corrugated metal siding with corrugated metal roofing. A new trash enclosure is proposed at the west end of the site. No trash enclosure details are provided. Landscaping is proposed on all non-accessible sides.

Signage – An existing ±40-foot pylon sign is proposed to be demolished at the center of the site. An existing monument sign fronts the existing Conference Center building. A new channel lettered wall sign is proposed at the gable on the west elevation fronting Highway 20/49.

Drainage – The property drains from west to east onto Sutton Way with drainage inlets are located south of the project site.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The ±1-acre triangular site is bordered by Sutton Way to the east and State Route 20/49 to the west. Mature landscaping and trees exist in the Caltrans right-of-way screening much of the site from the freeway views. Commercial uses are located to the north, south and east of the project site (**Attachment 3 – Site Photographs**).

ENVIRONMENTAL DETERMINATION:

The project qualifies for a Class 32 Categorical Exemption. A Class 32 consists of projects characterized as in-fill development meeting the following conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) the site is adequately served by all required utilities and public services.

GENERAL PLAN AND ZONING:

General Plan: The project area has a land use designation of Office Professional according to the City of Grass Valley 2020 General Plan. The Office Professional designation provides for concentrations of free-standing offices and large office complexes.

Zoning: The property is within the Office Professional (O-P) Zone District. Per Table 2-10, hotels are permitted uses with approval of a Use Permit.

ANALYSIS:

In review of the project with respect to compliance with the City's Community Design Guidelines and Development Code, staff offers the following for Development Review Committee consideration:

Parking – A total of 31 on-site parking spaces are provided, including 4 ADA accessible parking spaces and 2 compact spaces. The parking space dimensions are 9 feet by 18 feet with backing distances of 24 feet in compliance with City Parking Standards. Table 3-3 of the City's Development Code requires 1 space for each unit, plus 2 spaces for the manager or owner for the hotel requiring a total of 29 parking spaces.

Condition of Approval No. A – 3 requires that if needed to accommodate additional landscaping as noted below, two parking spaces may be eliminated for a total of 27 parking spaces.

Landscaping – Landscape planters of ±5 feet are proposed along the Sutton Way frontage with limited planters along fronting State Highway 20/49. The City's Development Code requires 10-foot and 6-foot planters in front and rear yards respectively. Although tight due to the shape of the lot, the preference is to increase the landscaping along the frontage considering mature trees and landscaping exists along the Caltrans right-of-way as seen from the freeway. Increasing the landscape planter in the front yard may be accomplished by reducing the landscaping planter in the rear yard of the new building and shifting the building west. Moreover, additional landscaping should be added to the front entryway of the remodeled conference center.

Condition of Approval No. A – 4 requires the planter fronting Sutton Way to be 10-feet or as wide as practicable. An additional planter shall be installed at the entryway of the remodeled conference center.

Conditions of Approval E1 – 4 also requires the final landscaping to comply with the State's Model Water Efficiency Landscape Ordinance.

Architectural Design – The proposed building design contains architectural components similar to buildings in the area, with compatible materials and architectural features. Staff is recommending two minor modifications. Condition of Approval No. A – 5 requires the following architectural modifications for DRC consideration:

- Remodeled Building - The canopy should be extended to the south over the door thereby eliminating the perpendicular awning.
- Remodeled and New Buildings - Gooseneck lighting shall replace the wall sconce lighting on the east elevations and at the doorways.

Fencing – No new fencing is proposed with the project. An existing chain link fence exists along the Cal-Trans right-of-way. Condition of Approval No. A – 6 requires that, if approved by Caltrans, new black metal fencing or equivalent shall be installed along the Caltrans right-of-way for the entirety of the property replacing the existing chain link fencing. The new fencing shall be shown on the improvement plans and constructed to the satisfaction of the Community Development Director and Caltrans.

Trash Enclosure – The trash enclosure at the north end of the site should be upgraded to current design standards consistent with the proposed trash enclosure at the southwest corner of the property. Condition of Approval A – 7 requires the trash enclosures to be constructed of six-foot high masonry walls with solid metal gates. Enclosure finishes shall match the building in color and texture and should natural materials. Landscaping shall be installed on all non-accessible sides.

Signage – The wall signage on the west elevation is inconsistent with the City’s Design Standards and Development Code in that it is a freeway-oriented sign and is located above the eve or parapet of the building. It should be noted that a similar sign exists on the Best Western Hotel building adjoining the project site to the south. An identical sign at this location is therefore redundant.

Condition of Approval A – 8 requires the wall signage to be removed as being inconsistent with the City’s Design Guidelines and Development Code. The existing pylon sign shall be demolished as proposed. Prior to the modification of the monument, the applicant shall obtain a sign permit from the Community Development Department.

Fire Department Conditions of Approval F 3 & 4 require fire apparatus access due to the height of the building. Landscaping shall not obstruct fire apparatus access to the drive aisles and or building.

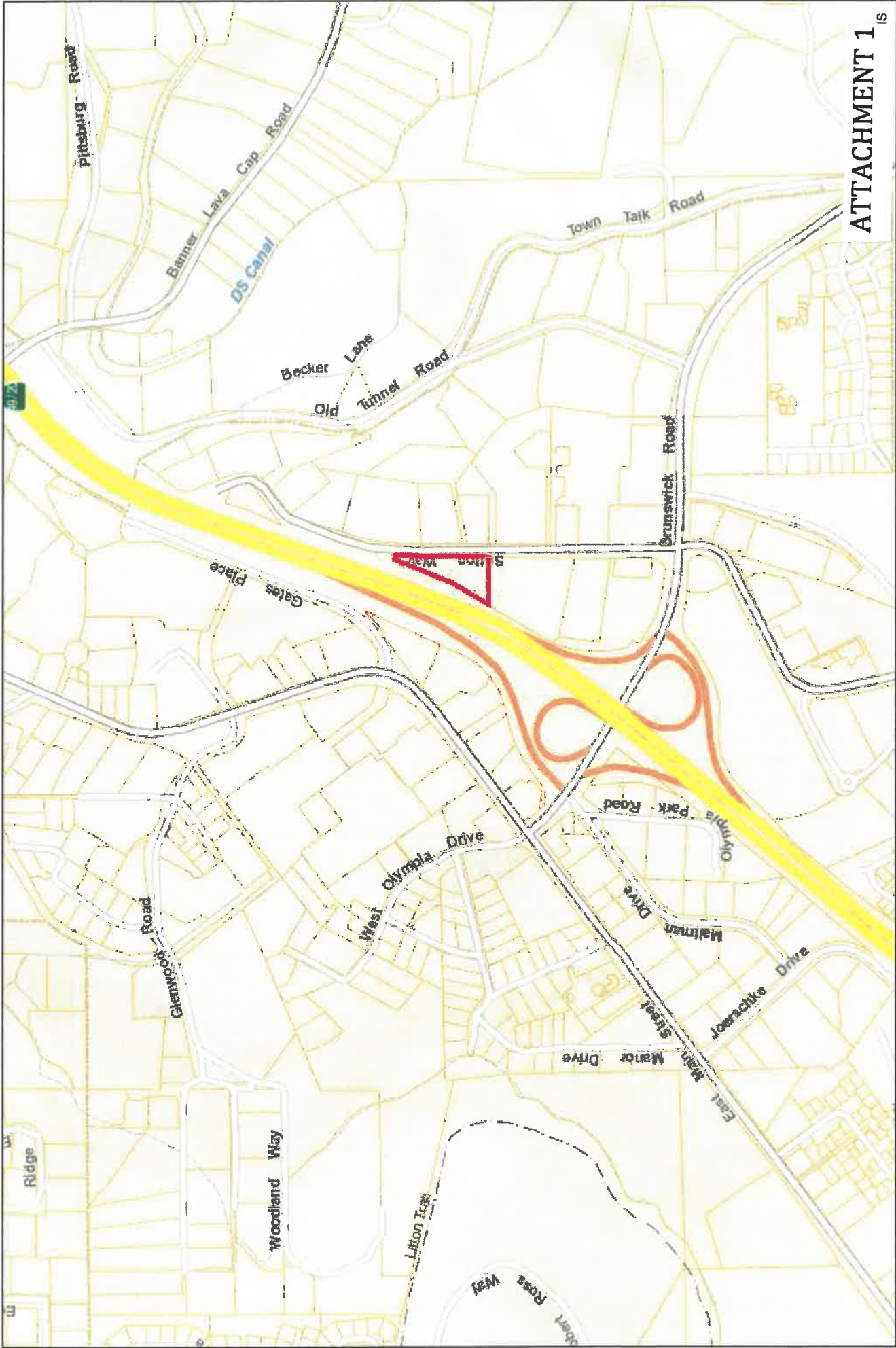
ATTACHMENTS:

- Attachment 1** – Vicinity Map
- Attachment 2** – Aerial Photograph
- Attachment 3** – Site Photographs
- Attachment 4** – Findings and Conditions of Approval
- Attachment 5** – Best Western Project Plans

ATTACHMENTS

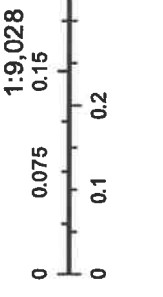


1012 Sutton Way



ATTACHMENT 1^{IS}

Item # 2.
Nevada County
©2018

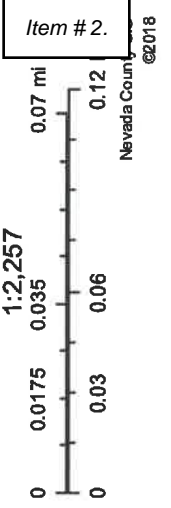


July 13, 2022

1012 Sutton Way



ATTACHMENT 2



July 13, 2022

ATTACHMENT



**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

FINDINGS:

In accordance with Sections 17.81.060 and 17.72.030 of the Development Code the Planning Commission is required to make specific findings before it approves a Development Review and Use Permit.

1. The City received a complete application for Development Review Application 22PLN-21.
2. The Community Development Department determined the project is Categorically Exempt as the appropriate environmental review in accordance with the California Environmental Quality Act (CEQA).
3. The Grass Valley Development Review Committee reviewed the application at its regularly scheduled meeting on June 28, 2022.
4. The Planning Commission has considered the recommendations of the Development Review Committee, including the proposed Categorical Exemption at its regularly scheduled meeting on July 19, 2022.
5. The project is consistent with the applicable sections and development standards in the Development Code.
6. The project, as conditioned, complies with the City of Grass Valley Community Design Guidelines.
7. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
8. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.

A. GENERAL CONDITIONS (DRC added Conditions of Approval are reflected in bold text):

1. The approval date for this project is July 19, 2022. The Development Review and Use Permit are approved for a period of 1 year and shall expire on July 19, 2023, unless the project has been effectuated (i.e. building permit has been obtained) or the applicant requests a time extension that is approved by the Grass Valley Planning Commission pursuant to the Development Code.
2. The project shall be constructed in accordance with the plans approved by the Planning Commission for Development Review Permit 22PLN-21 unless changes are approved by the Planning Commission prior to commencing such changes. Minor design changes may be approved by the Community Development Department as determined appropriate by the Community Development Director.

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

Major changes, as determined by the Community Development Director, shall be approved by the Planning Commission.

3. If needed to accommodate additional landscaping, two parking spaces may be eliminated for a total of 27 parking spaces. The revised site plan shall be to the satisfaction of the Community Development Director and City Engineer.
4. The landscape planter along the property frontage of the new building shall be increased to ten (10) feet or as wide as practicable. This will require the landscape planter in the rear to be reduced and the building moved to the west. Also, landscaping shall be provided in the front of the remodeled Conference Center. The final design shall be to the satisfaction of the Community Development Director.
5. The following architectural modifications shall be incorporated:
 - a. Remodeled Building - The canopy shall be extended to the south over the door thereby eliminating the perpendicular awning.
 - b. Remodeled and New Buildings - Gooseneck lighting shall replace the wall sconce lighting on the east elevation and at the doorways.
 - c. **Stone veneer should be reduced in height on all elevations.**
 - d. **New Building – Gable ends, eyebrows & return fascia are too crowded and should be refined.**
 - e. **Roof vents on south elevation should be reduced in size.**
6. If approved by Caltrans, new black metal fencing or equivalent shall be installed along the Caltrans right-of-way for the entirety of the property replacing the existing chain link fencing. The new fencing shall be shown on the improvement plans and constructed to the satisfaction of the Community Development Director and Caltrans.
7. The trash enclosures shall be constructed of six-foot high masonry walls with solid metal gates. Enclosure finishes shall match the building in color and texture and should include natural materials. Landscaping shall be installed on all non-accessible sides.
8. The existing pylon sign shall be demolished as proposed. The proposed wall signage shall be removed from the plans as being inconsistent with the City's Design Guidelines and Sign Ordinance. Prior to the modification of the monument, the applicant shall obtain a sign permit from the Community Development Department.
9. All trash and storage areas, mechanical equipment, and all other building appurtenances (i.e., utility meters, electrical boxes, air conditioners, fire sprinkler backflow valves, etc.) shall be screened from public view and adjacent properties. Details shall be shown on the final construction and/or improvement plans. All screening materials shall be consistent with the main building materials and colors. Roof-mounted screens and vents shall be compatible with the final roof materials and colors.

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

10. Energy efficient LED lighting and high efficiency HVAC and appliances shall be used for the project.
11. Prior to construction, the applicant shall obtain the requisite building, plumbing, mechanical and electrical permits from the building division, in compliance with the California Codes.
12. The applicant shall pay all City impact fees prior to issuance of a grading and/or building permit or issuance of a Certificate of Occupancy, as applicable.
13. With five (5) days of approval of the project, the applicant shall record the Notice of Exemption (NOE) with the Nevada County Clerk/Recorder.
14. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

B. PRIOR TO ISSUANCE OF GRADING PERMIT, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. The applicant shall submit to the City Engineer for review and approval, an improvements and grading plan prepared by a Registered Civil Engineer; shall obtain a Grading Permit; and shall pay all appropriate fees for plan check and inspection. The grading and improvement plans shall include but not be limited to roadway/driveway/parking lot slopes and elevations, curb, gutters, sidewalks, striping and signing, paving, water and sewer pipelines, storm drains, street/parking lot lights, accessible access from the sidewalk to the building and from the accessible parking spaces to the building, retaining walls, any necessary alteration of existing utilities, and all easements, in accordance with City Improvement Standards.
2. The applicant shall submit to the City Engineer for review and acceptance two copies of a detailed Soils Engineering Report and Engineering Geology Report certified by a Civil Engineer registered in the State of California. In addition to the California Building Code requirements, the report shall specify the pavement structural sections for the proposed roadways in relation to the proposed traffic indexes. The improvements and grading plans shall incorporate the recommendations of the approved Soils Engineering Report and Engineering Geology Report. The project developer shall retain a civil engineer, soils engineer, and engineering geologist to provide professional inspection of the grading operations. If work is observed as not being in compliance with the California Building Code and the approved improvements and grading plans, the discrepancies shall be reported immediately in writing to the permittee, the building official, and the Engineering Division.

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

3. The applicant shall submit to the City Engineer for review and approval, drainage plans and hydrologic and hydraulic calculations in accordance with the City of Grass Valley Improvement Standards and Storm Drainage Master Plan & Criteria. All on-site drainage shall be treated prior to discharge to the City drainage system to eliminate the potential for any toxins to reach local waterways.
4. If the project creates and/or replaces 5,000 sf. or more of impervious surfaces, measures must be implemented for site design, source control, runoff reduction, storm water treatment and baseline hydro modification management measures per the City of Grass Valley Design Standards.
5. If more than 50 cubic yards of soil is disturbed with the project, a detailed grading, permanent erosion control and landscaping plan shall be submitted for review and approval by the Engineering Division prior to commencing grading. Erosion control measures shall be implemented in accordance with the approved plans. Any expenses made by the City to enforce the required erosion control measures will be paid by deposit.
6. The improvements and grading plans shall be signed by all other jurisdictional agencies involved (i.e., NID), prior to receiving City Engineer approval.
7. Per the Development Code, the Grading Permit shall expire one (1) year from the effective date of the permit unless an extension is granted by the City Engineer (for up to 180 days).
8. The installation of sidewalk along the frontage of the parcel from the southern boundary of the parcel to the northernmost driveway shall be installed. The current asphalt driveway shall be replaced with ADA compliant concrete driveways per City Standard Detail ST – 9. All sidewalk fronting the property with cracks greater than ¼ inch in width and ½ or more vertical displacement shall be replaced.
9. The applicant shall submit final landscape and irrigation plans, prepared by a licensed landscape architect, for review and approval by the Planning and Engineering Divisions. Landscaping design shall comply with all provisions of the City's Water Efficient Landscape Ordinance.
10. A sewer backflow prevention device and pressure relief valve shall be required.
11. **New signage and landscaping shall comply with sight distance requirements of ST-27 to the satisfaction of the City Engineer.**
12. **Sidewalk connectivity from the site to the existing sidewalk network in the project vicinity shall be installed. This could be accomplished by either installing a crosswalk across Sutton Way with an ADA compliant ramp on both side of the street or by installing sidewalk along the frontage of the parcel to the south (along the front of the rest of the hotel) which would connect the**

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

project site to the intersection of Sutton Way and Brunswick Road. The sidewalk connection shall be to the satisfaction of the City Engineer.

C. PRIOR TO INITIATING GRADING AND/OR CONSTRUCTION OF THE SITE IMPROVEMENTS FOR THE PROJECT, THE DEVELOPER SHALL COMPLETE THE FOLLOWING:

1. Prior to any work being conducted within the State, County or City right-of-way, the applicant shall obtain an Encroachment Permit from the appropriate Agency(s).
2. A minimum of forty-eight (48) hours prior to commencement of grading activities, the developer's contractor shall notify both the Community Development Department and Engineering Division of the intent to begin grading operations. Prior to notification, all grade stakes shall be in place identifying limits of all cut and fill activities. After notification, Community Development and Engineering staff shall be provided the opportunity to field review the grading limits to ensure conformity with the approved improvement and grading plans. If differences are noted in the field, grading activities shall be delayed until the issues are resolved.
3. The applicant shall submit two copies to the Engineering Division of the signed improvement/grading plans.

D. DURING CONSTRUCTION, THE FOLLOWING CONDITIONS SHALL APPLY:

1. If prehistoric or historic-period archaeological resources or human remains are encountered during grading or excavation, work shall avoid altering the materials and their context until a qualified professional has evaluated, recorded, and determined appropriate treatment of the resource, in consultation with the City. Project personnel shall not collect cultural resources. Cultural resources shall be recorded on DPR 523 historic resource recordation forms. If it is determined that the proposed development could damage a unique archaeological resource, mitigation shall be implemented in accordance with Public Resources Code Section 21083.2 and Section 15126.4 of the CEQA Guidelines, with a preference for preservation in place. If human remains are discovered, mitigation shall be implemented in compliance with CEQA section 15064.5.
2. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Nevada County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all these agencies.
3. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period.
4. Where soil or geologic conditions encountered in grading operations are different

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted by the applicant, for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.

5. Where trucks may transport excavated material off-site unless the loads are adequately wetted and either covered with tarps or loaded such that the material does not touch the front, back or sides of the cargo compartment at any point less than six inches to the top of the cargo compartment. Also, all excavated material must be properly disposed of in accordance with the City's Standard Specifications.
6. The contractor shall comply with all Occupational Safety & Health Administration (OSHA) requirements.
7. Construction and demolition waste recycling shall occur in accordance with Waste Management requirements.
8. For any public work, the contractor shall comply with all Department of Industrial relations (DIR) requirements including complying with prevailing wage requirements.

E. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY:

1. The applicant shall obtain final approval from the City of Grass Valley, fire, planning, engineering, and building divisions.
2. The applicant's landscape architect shall submit a letter specifying that the landscaping and irrigation has been installed in accordance with the approved landscape plans.
3. The applicant's landscape architect or landscape contractor shall submit to the City for approval the "certificate of completion" form as required by MWELO.
4. The applicant shall conduct an irrigation audit pursuant to the requirements of the MWELO. This shall be conducted by a third-party certified landscape irrigation auditor that did not install or design the landscape and irrigation. Prior to the audit City must confirm the selected auditor complies with MWELO requirements.

F. FIRE DEPARTMENT:

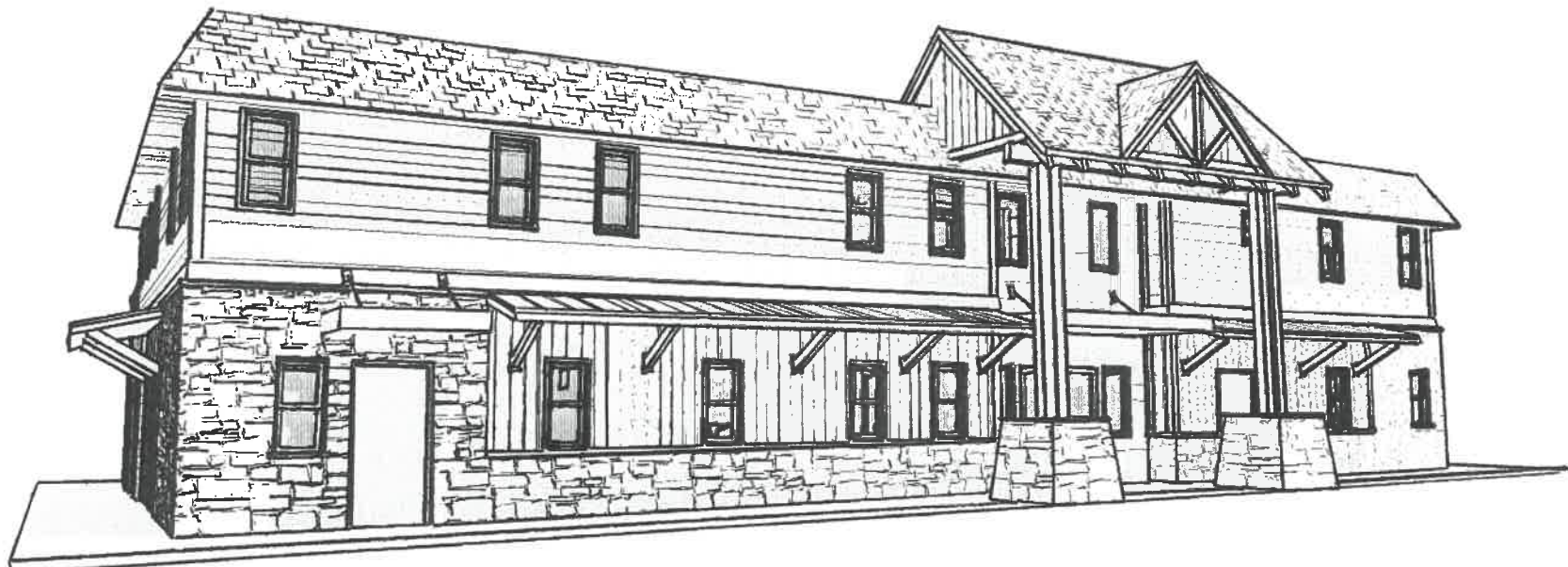
1. The conversion of the existing building from a Group A – 3 Occupancy to a Group R – 1 Occupancy will require a change of occupancy.
2. All existing fire protection systems shall be modified as necessary to provide proper coverage for the new Group R – 1 Occupancy building.

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

Item # 2.

3. The proposed building height is 32-feet, 9-inches, which exceeds the maximum building height of 30-feet allowable for regular fire apparatus access. The project will require Aerial Fire Apparatus Access in accordance with 2019 CFC Appendix D, Section D105 and its sub-sections.
 4. Landscape shall not obstruct fire apparatus access to the drive aisles and/or the building when planted and/or when it has reached mature growth heights. The proposed landscape plan appears to have issues with both.
 5. **The drive isle in the front shall be a minimum of 15 feet in width. The drive isle in the rear shall be a minimum of 12 feet.**
- G. NEVADA IRRIGATION DISTRICT:**
1. NID will require sufficient Right-of-Way for any proposed facilities, if necessary.
 2. Appropriate backflow prevention will be required on any and all connections to NID's system, at applicant's expense.

BUILDING REMODEL AND NEW HOTEL BUILDING FOR HERITAGE HOTEL GROUP



REMODELED BUILDING



NEW HOTEL BUILDING

PROJECT INFORMATION

SCOPE: REMODELING OF AN EXISTING BUILDING TO HOTEL USE, CONSTRUCTION OF A NEW HOTEL BUILDING

SITE: 1012 SUTTON WAY
GRASS VALLEY, CA 95945
APN:035-400-026

OWNER: HERITAGE HOTEL GROUP
ATTN: HAMID KAZEMI
912 SUTTON WAY
GRASS VALLEY, CA
(930) 265-5924

ZONING: OP 6Y CITY - OFFICE PROFESSIONAL

OCCUPANCY: R-1

OCCUPANTS
(PER CBC 1004.1.1): REMODELED BUILDING = 32 OCC.
NEW BUILDING = 32 OCC.

CONSTRUCTION TYPE: V-B, SPRINKLERED

SQUARE FOOTAGE: REMODELED SPACE:
FIRST FLOOR - 3,040 S.F.
SECOND FLOOR - 3,040 S.F.

NEW HOTEL:
FIRST FLOOR - 3,182 S.F.
SECOND FLOOR - 3,182 S.F.

LOT SIZE: 1.0 ACRES/43,560 S.F.

LOT COVERAGE: BUILDING COVERAGE: 6,518 S.F. 14.5%
SURFACE AREA: 29,074 S.F. 66.7%
LANDSCAPING/OPEN: 8,164 S.F. 18.8%
TOTAL: 43,560 S.F. 100%

PARKING: REQUIRED PARKING SPACES: 31
(PER TABLE S-3.1 (LOADING)
1 SPACE FOR EACH UNIT (21 UNITS)
PLUS:
3 SPACES FOR THE MANAGER

PROPOSED PARKING SPACES: 31

SHEET INDEX

- A0 COVER SHEET
- A1.1 SITE PLAN
- SHEET 1 OF 1 CONCEPTUAL SITE PLAN
- L1 PRELIMINARY LANDSCAPE PLAN
- A3.1 NEW BUILDING - FIRST FLOOR PLAN
- A3.2 NEW BUILDING - SECOND FLOOR PLAN
- A3.3 REMODELED BUILDING - FIRST FLOOR PLAN
- A3.4 REMODELED BUILDING - SECOND FLOOR PLAN
- A5.1 ELEVATIONS - REMODELED BUILDING
- A5.2 ELEVATIONS - REMODELED BUILDING
- A5.3 ELEVATIONS - NEW BUILDING
- A5.4 ELEVATIONS - NEW BUILDING
- A5.5 MATERIAL PALLETTE
- E0 LIGHTING FIXTURES, GEN. NOTES
- E1 PHOTOMETRIC PLAN
- E2 ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS



Revisions

© 2022 Stelne Architecture
All rights reserved.

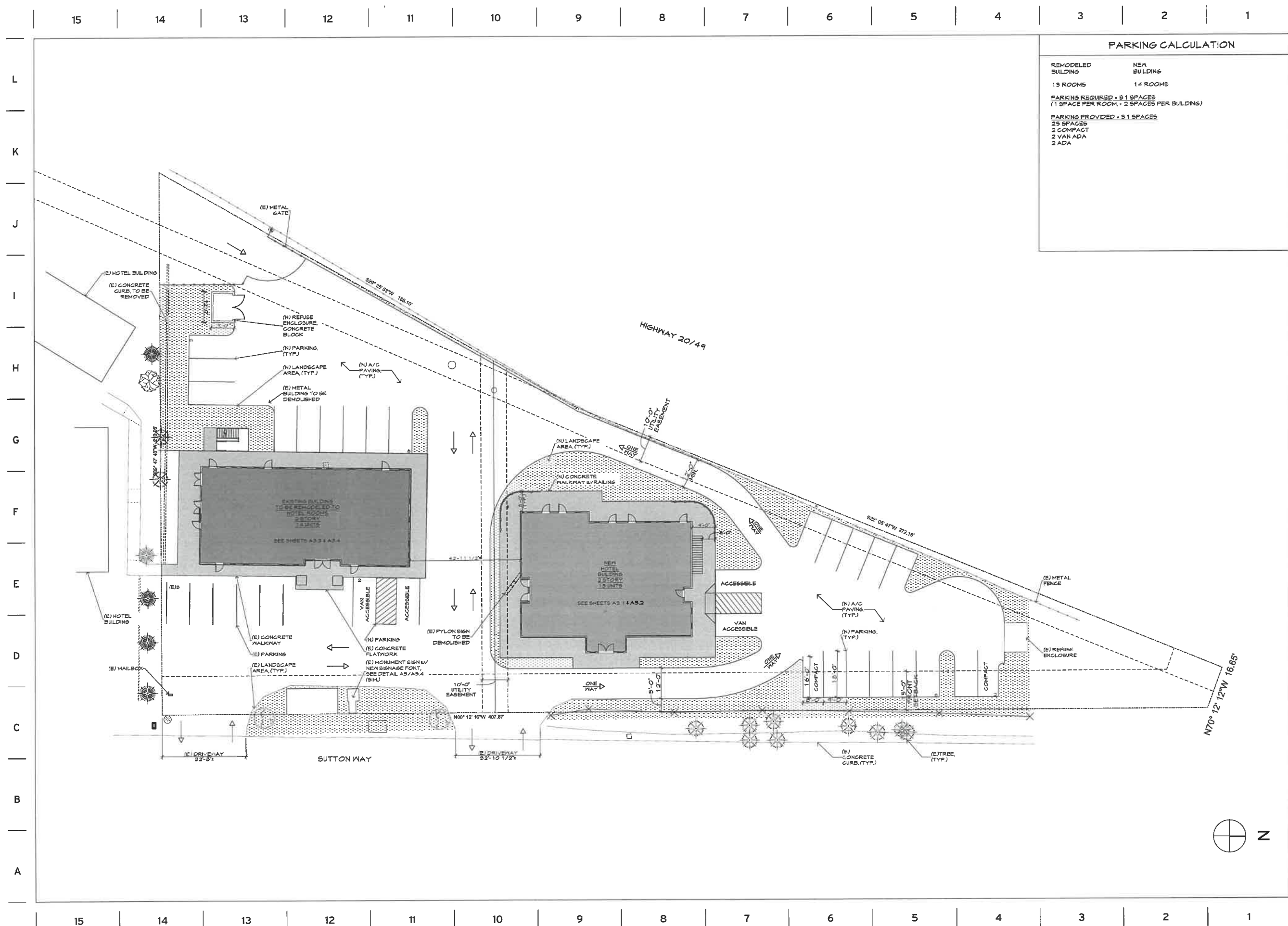
These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

siteline architecture
 Andrew J. Pawlowski, Architect, LEED AP
 644 Zion Street
 Nevada City CA 95959
 530.475.9415 - F
 530.475.9416 - T
 www.stelnearch.com

BEST WESTERN REMODEL/NEW BUILDING
 for
 HERITAGE HOTEL GROUP
 1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
NONE
#21-088

COVER SHEET
A0



PARKING CALCULATION	
REMODELED BUILDING	NEW BUILDING
13 ROOMS	14 ROOMS
PARKINGS REQUIRED = 31 SPACES (1 SPACE PER ROOM + 2 SPACES PER BUILDING)	
PARKING PROVIDED = 31 SPACES	
25 SPACES	
2 COMPACT	
2 VAN ADA	
2 ADA	



Revisions

©2022 SiteLine Architecture
All rights reserved.

These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

siteLine architecture
Andrew J. Pawlowski, Architect, LEED AP

644 Zim Street
Nevada City, CA 95959
530.475.9415 - F
530.475.9416 - T
www.siteLinearch.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
1/16" = 1'-0"
#21-088

SITE PLAN
A 1.1



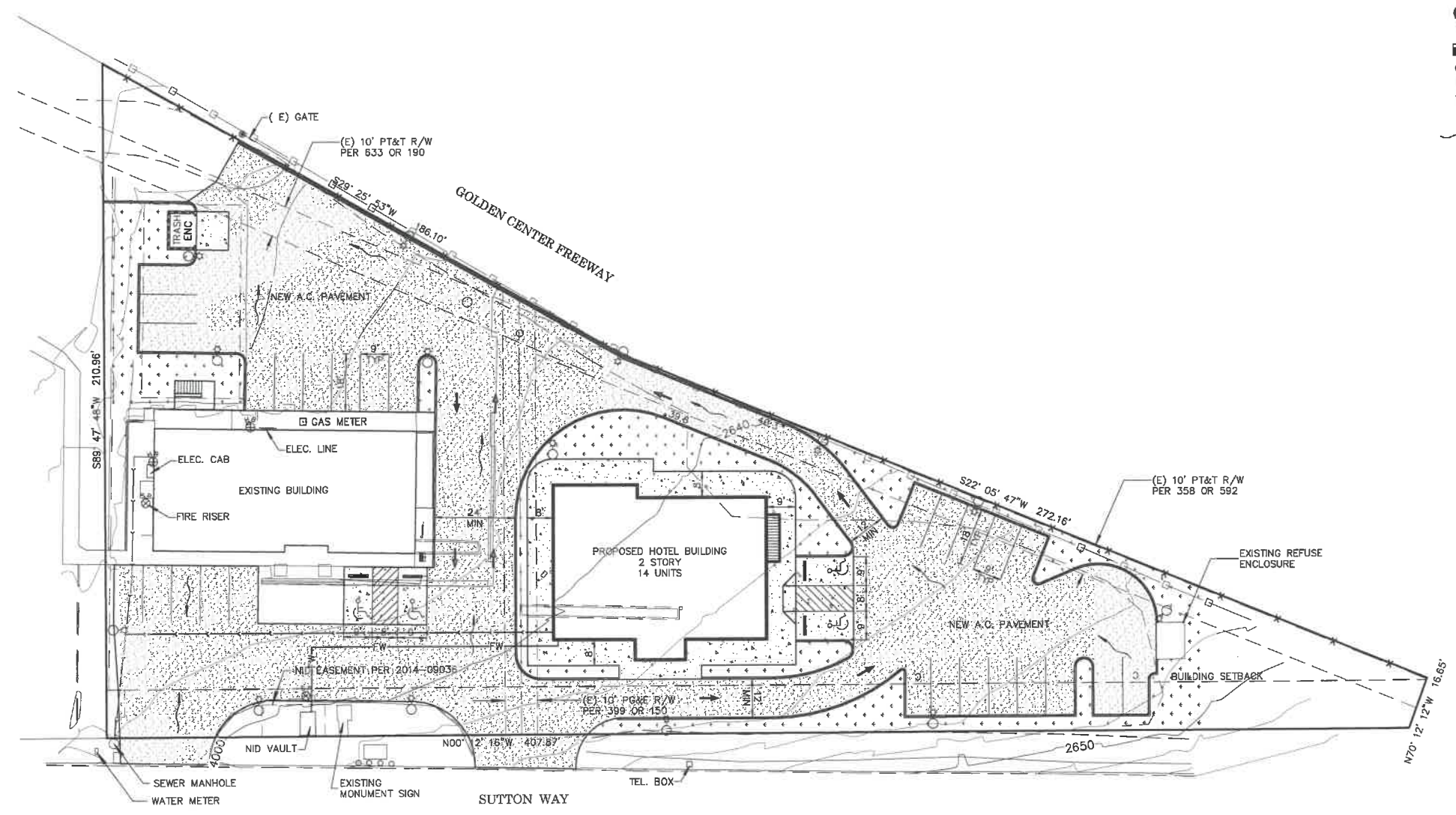
ENGINEERING • SURVEYING
PLANNING

**NEVADA
CITY
ENGINEERING, INC.**

505-B COYOTE STREET NEVADA CITY
(530)265-6911

RAZ
SCALE: 1" = 20'
CONTOUR INTERVAL = 2'

- LEGEND:**
- 2100 — EXISTING CONTOUR W/ ELEVATION
 - - - - - EDGE OF PAVEMENT
 - — — — — EDGE OF CONCRETE
 - — — — — EXISTING FLOWLINE
 - - - - - EXISTING TOE OF FILL
 - - - - - EXISTING ROW FENCELINE
 - - - - - NEW DECORATIVE METAL FENCE PER LANDSCAPE PLANS
 - △ CONTROL/ BENCHMARK. 8" SPIKE
 - FOUND MONUMENT AS NOTED
 - TREE SIZE & DESCRIPTION (BO-BLACK OAK)
 - BOLLARD/ GUARDPOST
 - STORM DRAIN
 - GATE POST
 - HOSE BIBB
 - PROPOSED POLE LIGHT
 - ~ SITE DRAINAGE PATTERN



CLIENT NAME: HERITAGE HOTEL GROUP
JOB NUMBER: 21-172

REVISION:	DATE:	DESCRIPTION:
1	8/19/21	SUBMITTAL

CONCEPTUAL SITE PLAN
FOR
HERITAGE HOTEL GROUP
BEING
THE N 1/2 OF THE E 1/2 THE
SW 1/4 OF THE NW 1/4 OF
SECTION 24, T. 16, R. 8E
WITHIN THE UNINCORPORATED TERRITORY OF
NEVADA COUNTY, CALIFORNIA

NOTE:
ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED BASIS
OF 2100.00 FOR SURVEY CONTROL POINT 1 SHOWN HEREON

SHEET 1 OF 1

PLAN NOTES

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY INLINE DRIP EMITTER TUBING.
2. ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLANTED WITHIN FIVE FEET OF ANY HARDSCAPE ELEMENT.

PLANTING AREAS

TOTAL PLANTING AREA: 6,105 sq.ft.
 NATIVE PLANTS: 5,540 sq.ft.
 DROUGHT-TOLERANT PLANTS: 6,105 sq.ft.
 LAWN: 0 sq.ft.

California MWEO Water Budget

Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETWU)	
Resector Landscape Areas									
Existing Planter		0.2	Drip	0.81	0.247	528	131	4,127	
Existing Building Perimeter Planters		0.2	Drip	0.81	0.247	3,384	838	26,182	
New Building Perimeter Planters		0.2	Drip	0.81	0.247	1,878	464	13,083	
Northern Planter Areas		0.2	Drip	0.81	0.247	2,427	599	18,949	
Southeast parking lot perimeter		0.2	Drip	0.81	0.247	254	63	1,987	
Southeast Planter Area		0.2	Drip	0.81	0.247	1,498	370	11,492	
					Totals:	9,737	2,404	78,821	
Resector Landscape Areas*									
					Totals:	0	0	0	
								ETWU Total:	78,821 gal/yr
								Maximum Allowed Water Allowance (MAWA):	219,829 gal/yr
ETAF Calculations									
Resector Landscape Areas									
Total ETAF x Area:	2,404								
Total Area:	9,737								
Average ETAF:	0.25								
All Landscape Areas									
Total ETAF x Area:	2,404								
Total Area:	9,737								
Shade ETAF:	0.25								

* = Includes public recreational areas, water features unless recycled water areas dedicated to public events.
 * = Average ETAF for Resector Landscape Areas must be 0.25 or better for residential areas, and 0.45 or better for non-residential areas.
 This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.

PLANT LEGEND

Symbol	Qty	Botanical Name	Common Name	Scheduled Size
	105	Achillea 'Tamacotta'	Yarrow	1 gallon
	43	Epidolobium 'Everett's Choice'	California fuchsia	1 gallon
	16	Acer buergerianum	Trident maple	15 gallon
	9	Koeleruteria paniculata	Golden rain tree	24" box
	58	Mahonia aquifolium	Oregon grape	5 gallon
	35	Muhlenbergia rigens	Deer grass	1 gallon
	57	Ceanothus 'Valley Violet'	California Blue	5 gallon
	18	Ceanothus 'Concha'	California Blue	5 gallon
	53	Salvia 'Paso Blue'	Sage	5 gallon
	59	Salvia greggii	Autumn sage	1 gallon
	115	Penstemon 'Margarita BOP'	Beardlongue	1 gallon
	21	Its 'PCH Hybrids'	Its PCH Hybrid	1 gallon
	16	Existing conifer	Conifer	
	2	Existing tree	Existing tree	



PRELIMINARY LANDSCAPE PLAN
 Scale: 1/16" = 1'-0"
 0 16 32 FT



karin kaufman
 LANDSCAPE ARCHITECT
 www.karinkaufman.net
 530-559-3007
 CALIFORNIA LICENSE #5446

SUBMITTAL DESIGN REVIEW
 DATE 5/19/2022

PRELIMINARY
 LANDSCAPE PLAN
 HERITAGE HOTEL GROUP
 GRASS VALLEY, CALIFORNIA

L1



A 15 FIRST FLOOR PLAN - NEW HOTEL BUILDING

1/4" = 1'-0"

NOTES



Revisions

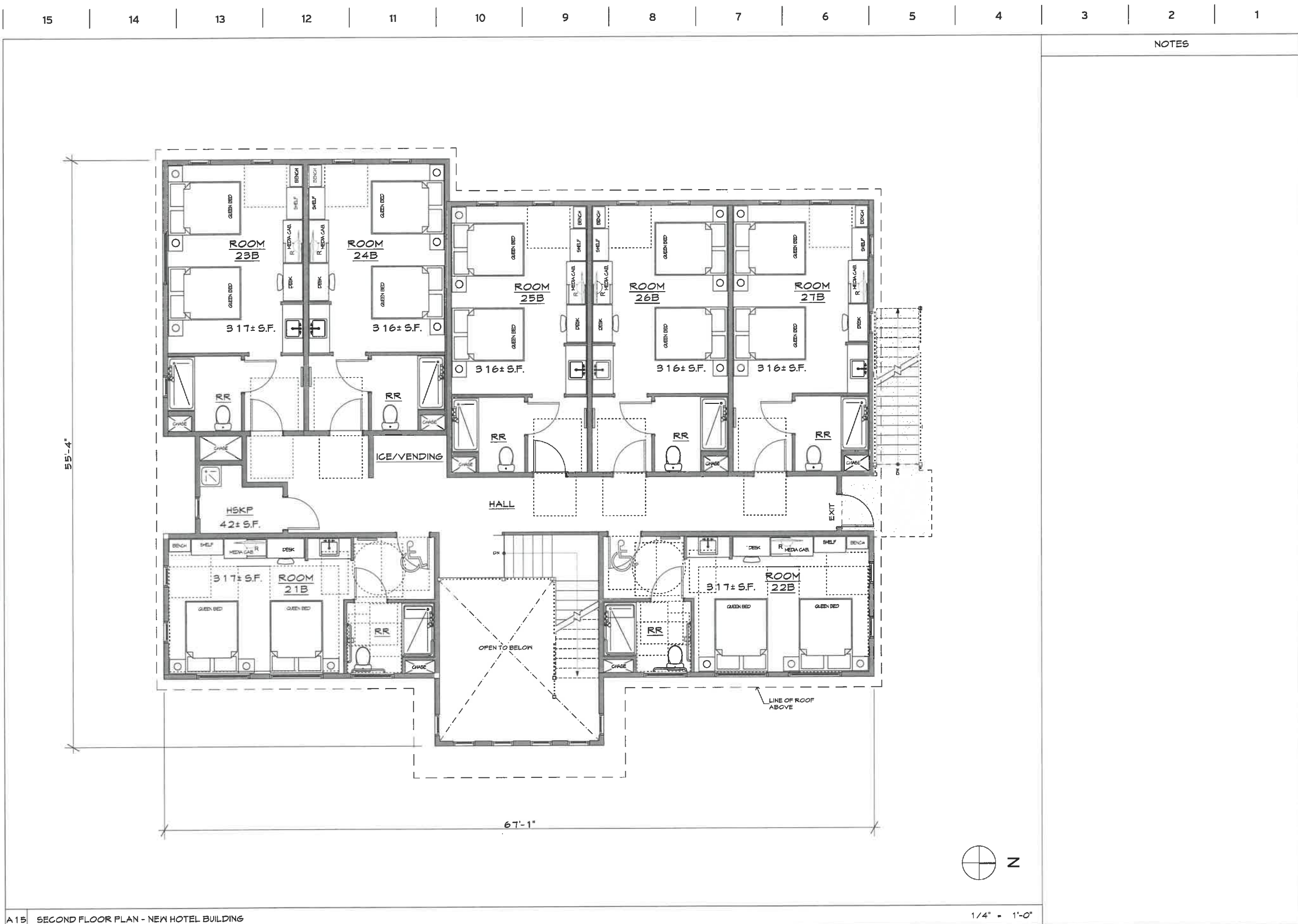
© 2022 Siteline Architecture
All rights reserved.
These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

siteline architecture
Andrew J. Pawlowsky, Architect, LEED AP
644 Zion Street
Nevada City, CA 95959
530.476.9415 - F
530.476.9416 - T
www.sitelinearch.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, CA 95945-400-026

5/23/22
#21-088

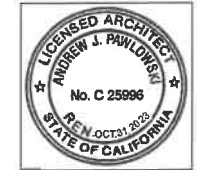
NEW BUILDING -
FIRST FLOOR
PLAN
A3.1



A15 SECOND FLOOR PLAN - NEW HOTEL BUILDING

1/4" = 1'-0"

NOTES



Revisions

© 2022 Siteline Architecture
All rights reserved.

These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

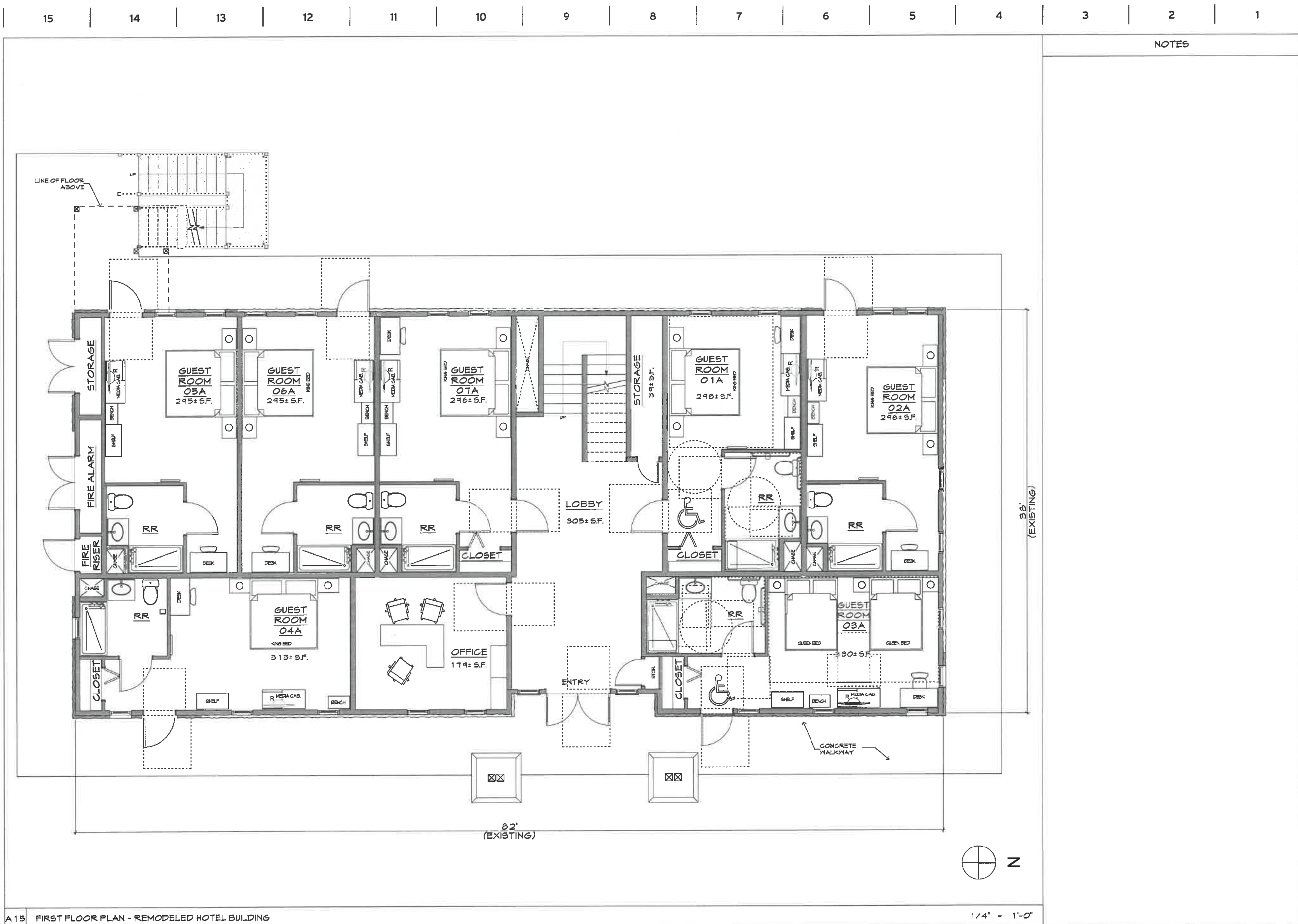
siteline architecture
Andrew J. Pawlowski, Architect, LEED AP

644 Zion Street
Nevada City CA 95959
530.475.9415 - F
530.475.9418 - I
www.sitelinearch.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
#21-088

NEW BUILDING -
SECOND FLOOR
PLAN
A3.2



A15 FIRST FLOOR PLAN - REMODELED HOTEL BUILDING

1/4" = 1'-0"

NOTES



Revisions

© 2022 SiteLine Architecture
All rights reserved.

These designs, plans and specifications are protected under federal copyright law. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

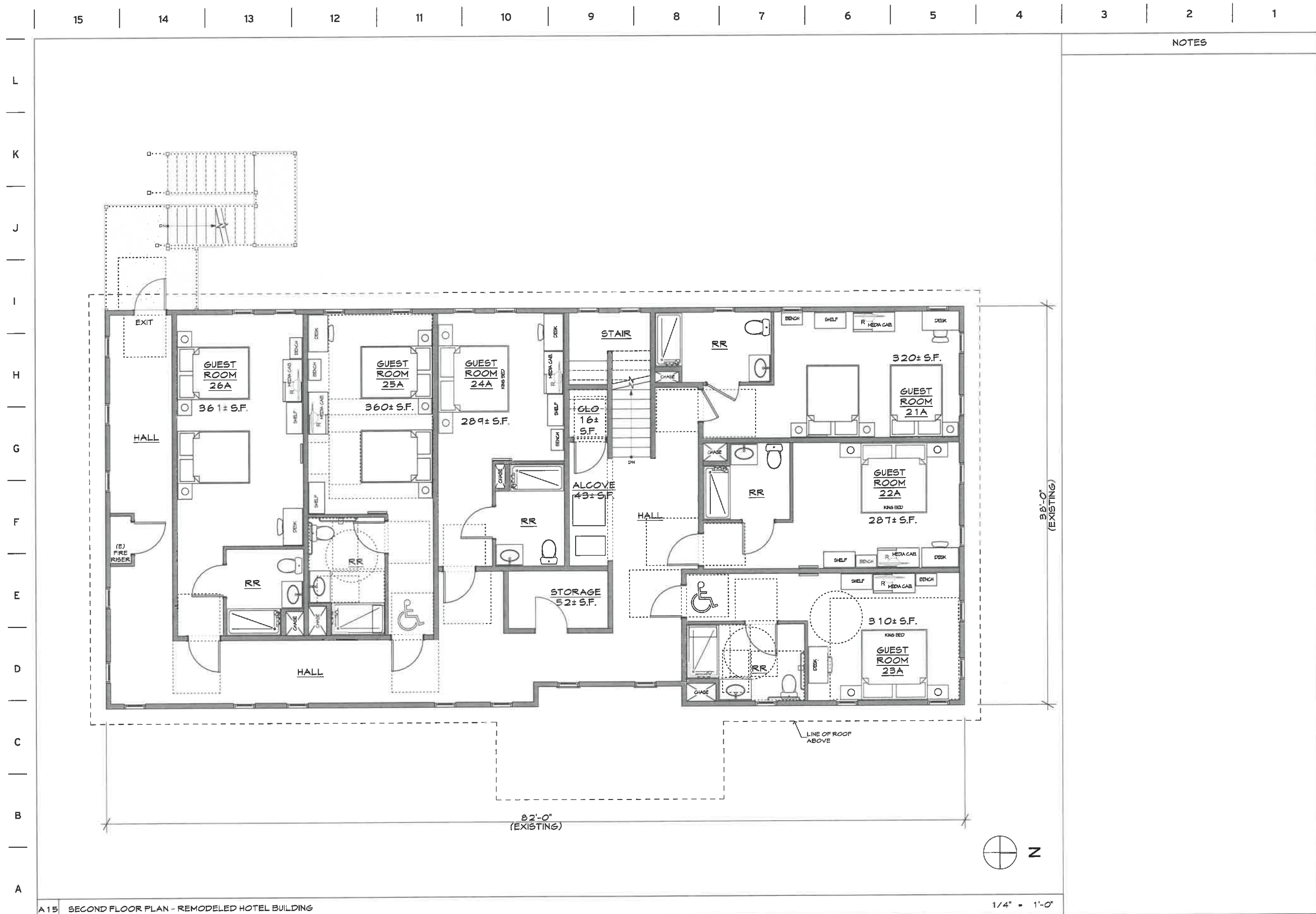
siteLine architecture
Andrew J. Pawlowicz, Architect, LEED AP

644 Zion Street
Nevada City CA 95959
530.475.9415 - F
530.475.9416 - F
www.siteLinearch.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
#21-088

REMODELED BUILDING - FIRST FLOOR PLAN
A3.3



NOTES

38'-0" (EXISTING)

82'-0" (EXISTING)

LINE OF ROOF ABOVE

1/4" = 1'-0"



Revisions

© 2022 Siteline Architecture
All rights reserved.

These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

siteline architecture
Andrew J. Pawlowsky, Architect, LEED AP

644 Zion Street
Nevada City, CA 95959
530.478.9415 - F
530.478.9415 - T
www.sitelinearch.com

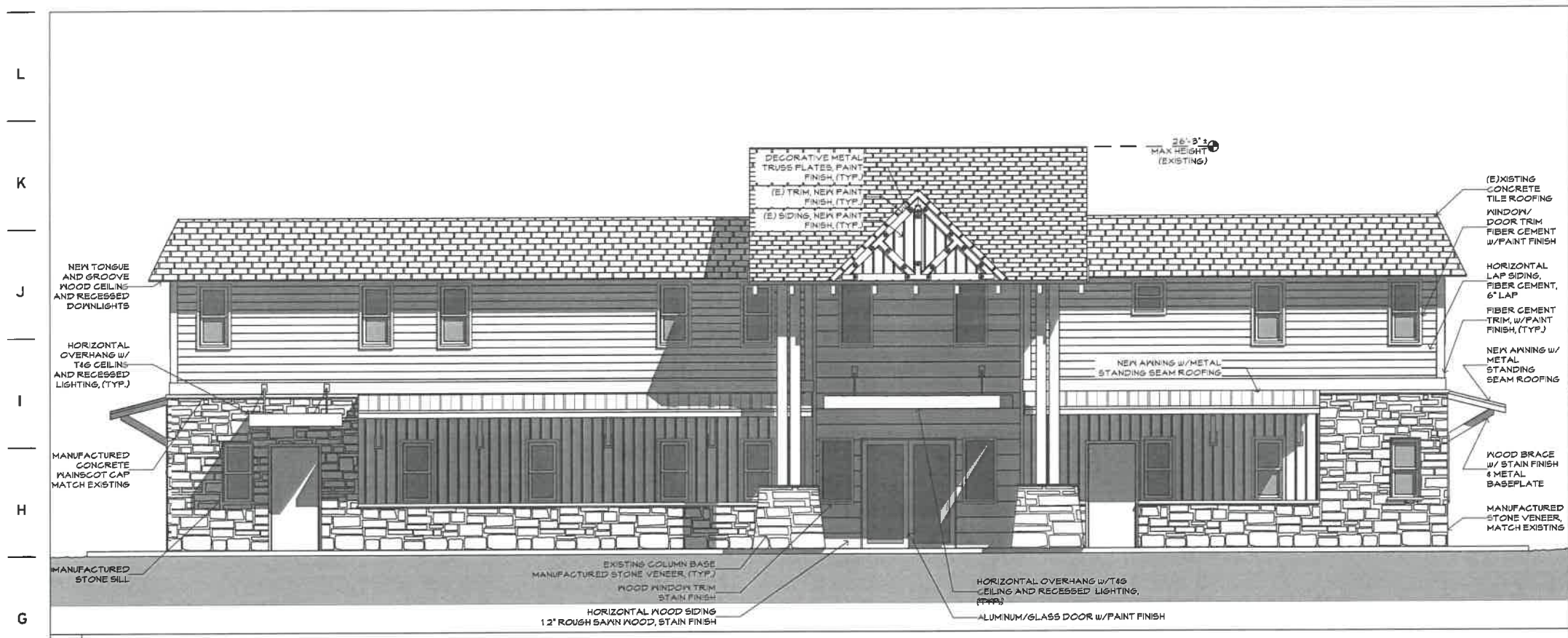
BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
#21-088

REMODELED BUILDING - SECOND FLOOR PLAN
A3.4

A15 SECOND FLOOR PLAN - REMODELED HOTEL BUILDING

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



NOTES

(E)XISTING CONCRETE TILE ROOFING WINDOW/ DOOR TRIM FIBER CEMENT w/PAINT FINISH

HORIZONTAL LAP SIDING, FIBER CEMENT, 6\"/>

G 15 EAST ELEVATION - REMODELED BUILDING 1/4" = 1'-0" G 63 EXISTING CONFERENCE BUILDING



HORIZONTAL TRIM BAND FIBER CEMENT w/PAINT FINISH & METAL GAP FLASHING

A 15 SOUTH ELEVATION - REMODELED BUILDING 1/4" = 1'-0"

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



Revisions

© 2022 Seline Architecture
All rights reserved.

These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication or the contents herein is in violation of federal copyright law.



seline architecture
Andrew J. Pawlowski, Architect, LEED AP

644 Zion Street
Nevada City, CA 95959
530.775.9415 • 1
www.selinearch.com

BEST WESTERN REMODEL/NEW BUILDING

for

HERITAGE HOTEL GROUP

1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

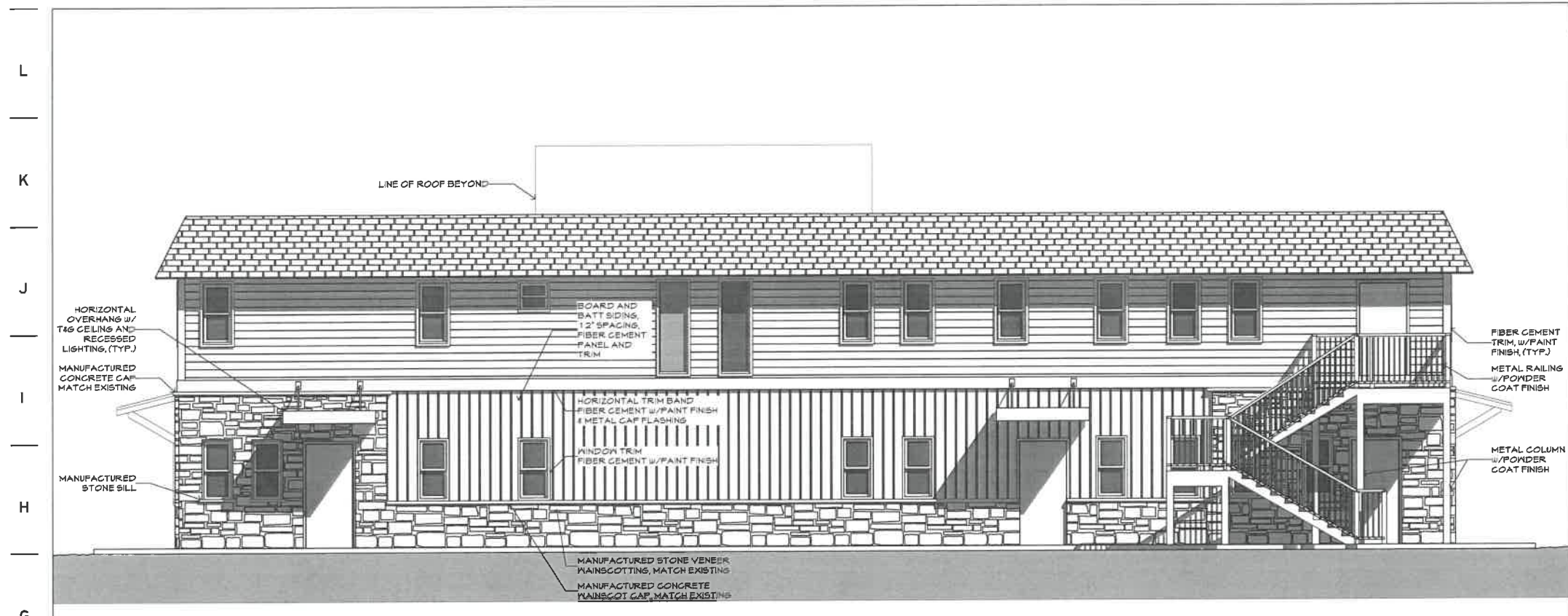
5/23/22

#21-088

ELEVATIONS -
REMODELED
BUILDING

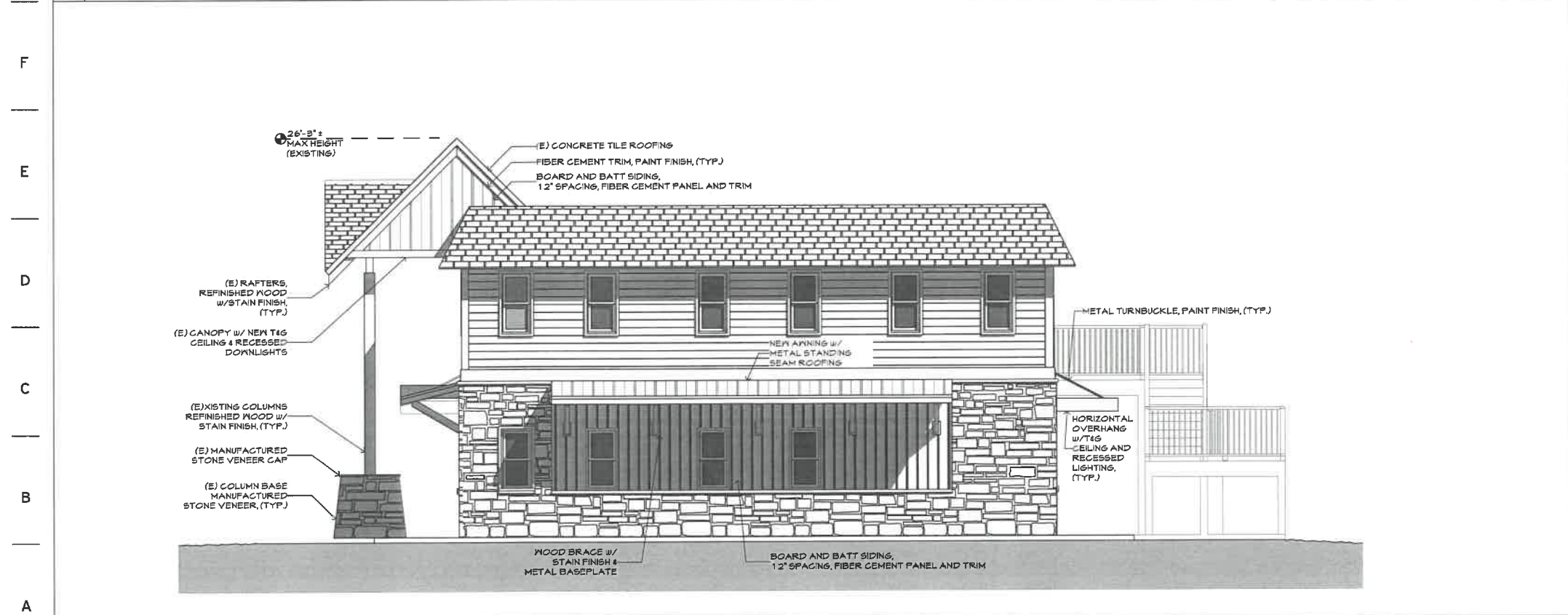
A5.1

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



NOTES

G15 WEST ELEVATION - REMODELED BUILDING 1/4" = 1'-0"



A15 NORTH ELEVATION - REMODELED BUILDING 1/4" = 1'-0"

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



Revisions

© 2022 Siteline Architecture
All rights reserved.
These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

siteline architecture
Andrew J. Pawlowicz, Architect, LEED AP
644 Zion Street
Nevada City CA 95959
530.476.9415 - f
530.476.9415 - c
www.sitelinearch.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 BUTTON WAY, GRASS VALLEY, APN035-400-026

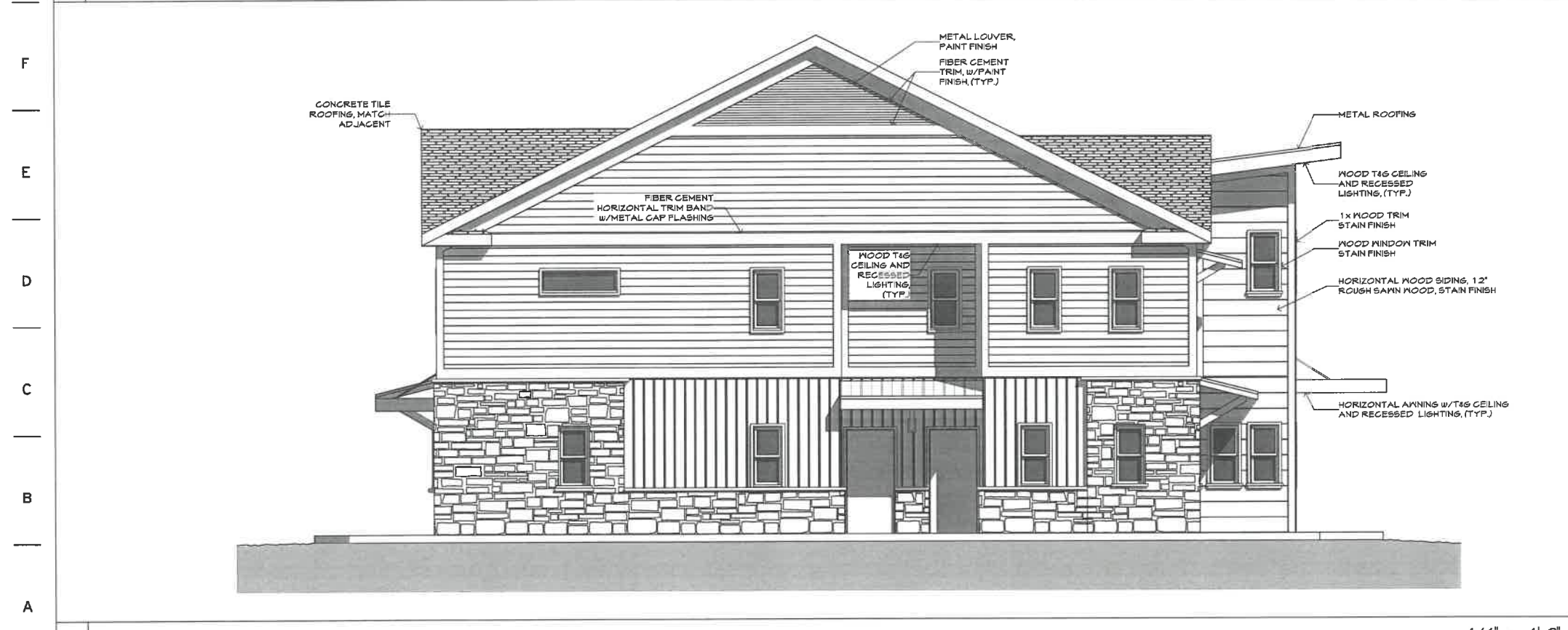
5/23/22
#21-088

ELEVATIONS -
REMODELED
BUILDING
A5.2

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



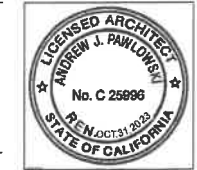
G15 EAST ELEVATION - NEW BUILDING 1/4" = 1'-0"



A15 SOUTH ELEVATION - NEW BUILDING 1/4" = 1'-0"

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

NOTES



Revisions

© 2022 SiteLine Architecture
All rights reserved.
These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

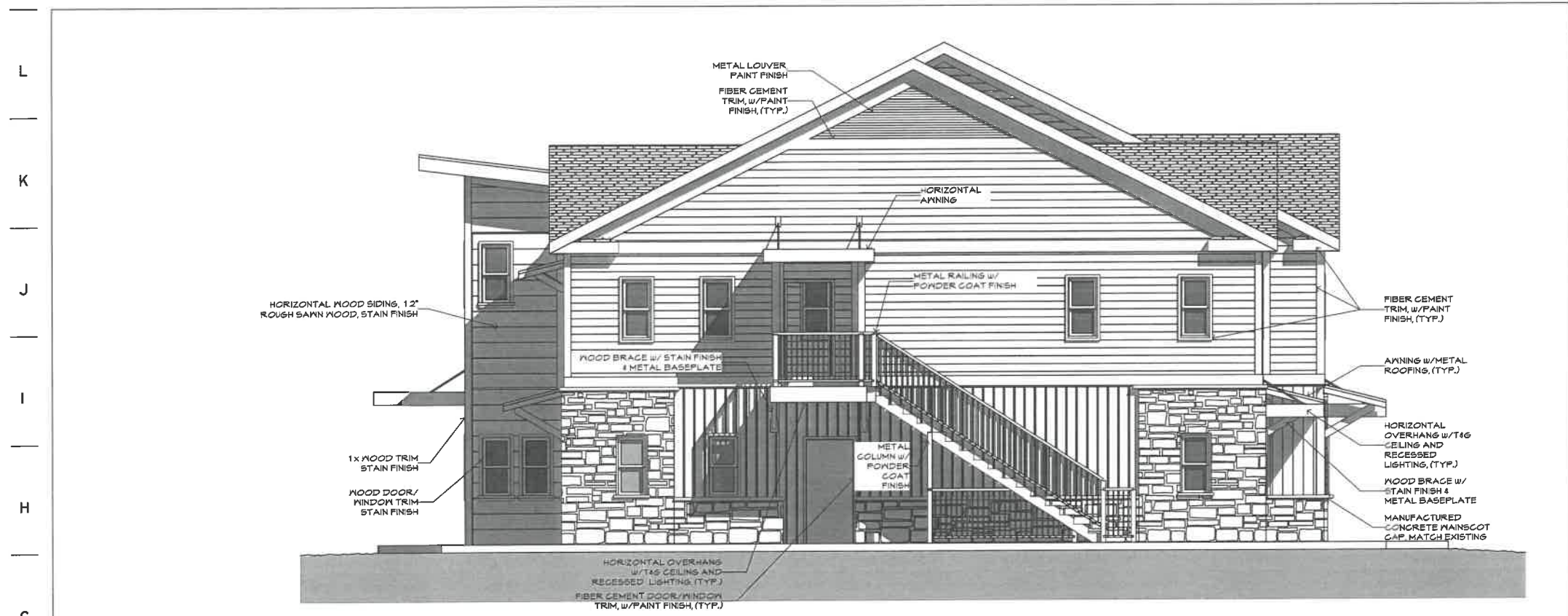
siteLine architecture
Andrew J. Pawlowicz, Architect, LEED AP
844 Zion Street
Nevada City CA 95859
530.476.9415 - F
530.476.9416 - T
www.siteLinearch.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
#21-088

ELEVATIONS - NEW BUILDING
A5.3

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



G15 NORTH ELEVATION - NEW BUILDING 1/4" = 1'-0"



A15 WEST ELEVATION - NEW BUILDING 1/4" = 1'-0"

15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

NOTES

BEST WESTERN LOGO, COLORED LEXAN MATERIAL IN FABRICATED METAL BACKBOX, (TYP.)

INDIVIDUAL LETTERS, COLORED LEXAN MATERIAL IN FABRICATED METAL BACKBOX, (TYP.)

BW Best Western

NOTE:
1. SIGNAGE TO BE EXTERNALLY ILLUMINATED
2. SIGNAGE TO COMPLY WITH BEST WESTERN DESIGN STANDARDS

A3 WALL SIGNAGE



Revisions

© 2022 SiteLine Architecture All rights reserved.
These designs, plans and specifications are protected under federal copyright laws. Unauthorized duplication of these documents or the contents herein is in violation of federal copyright law.

siteLine architecture
Andrew J. Pawlowsky, Architect, LEED AP
644 Zion Street
Nevada City CA 95959
530.476.9415 - F
530.476.9415 - T
www.sitelinearc.com

BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, AFN-035-400-026

5/23/22
#21-088

ELEVATIONS - NEW BUILDING
A5.4



METAL ROOFING
 ROOFING, AWNINGS,
 HORIZONTAL AWNINGS
 STANDING SEAM METAL
 ROOFING
 MCELROY METAL
 "DARK BRONZE"
 (R1)

EXTERIOR SIDING
 HORIZONTAL LAP SIDING,
 METAL LOUVERS
 FIBER CEMENT SIDING w/
 PAINT FINISH
 BENJAMIM MOORE PAINT
 "OLD WORLD ROMANCE"
 303
 (P1)

STAIRS
 CONCRETE TREADS w/
 STEEL STRUCTURE
 STAINED CONCRETE FINISH
 BEHR
 CONCRETE STAIN
 "SLATE GRAY"
 PFC - SOCS - 63
 (C1)

SIDING ACCENTS
 FIBER CEMENT TRIM,
 HORIZONTAL BAND,
 PAINT FINISH
 BENJAMIN MOORE
 PAINT
 "WHITE"
 (P3)

WOOD ACCENTS
 WOOD MOLDING /
 COLUMNS w/PAINT
 FINISH, AWNING
 BRACES
 MINWAX
 "ACCLUVIUM"
 MW417
 (S3)

ROOFING TILE
 (EXISTING CONCRETE
 ROOF TILE)
 MEDIUM BROWN
 (R2)

EXTERIOR SIDING
 HORIZONTAL SIDING
 COMPOSITE SIDING
 TREX
 TREX CLADDING
 "ISLAND MIST"
 (S2)

STONE VENEER
 WAINSCOT, STONE
 SIDING
 MANUFACTURED
 STONE VENEER
 EL DORADO STONE
 STACKED STONE
 "DRY CREEK"
 (V1)

**GUTTER /
 DOWNSPOUT**
 METAL GUTTER w/PAINT
 FINISH
 BENJAMIN MOORE PAINTS
 "GRAPHITE"
 1603
 METAL DOWNSPOUTS PAINT
 TO MATCH ADJACENT
 FINISH
 (P4)

METAL TRIM
 METAL AWNINGS,
 TURNBUCKES, BRACE
 PLATES, TRUSS PLATES,
 STAIR RAILINGS, GUARD
 RAILS
 STEEL WITH PAINT FINISH
 BENJAMIN MOORE PAINT
 "GRAPHITE"
 1603
 (P6)

SOFFIT
 2x WOOD, TONGUE AND
 GROOVE, w/STAIN FINISH
 MINWAX
 "SMOKEWOOD"
 MN407
 (S1)

EXTERIOR SIDING
 BOARD AND BATT SIDING
 FIBER CEMENT SIDING w/
 PAINT FINISH
 BENJAMIN MOORE PAINT
 "OLD WORLD ROMANCE"
 303
 (P2)

STONE ACCENTS
 WAINSCOT CAP, STONE
 WINDOW SILL, STONE SIDING
 CAP, COLUMN BASE CAP
 MANUFACTURED STONE
 VENEER
 EL DORADO STONE
 SNAPPED EDGE
 "SAND"
 (V2)

DOORS/WINDOWS
 METAL FRAME/PANEL
 w/POWDER COAT FINISH
 MILGUARD
 "ESPRESSO"
 (P5)

DOORS/WINDOWS
 METAL WINDOW w/WOOD
 TRIM
 MILGUARD
 "ESPRESSO" (PREMIUM)
 (P7)

ELECTRICAL GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS AMENDED AND ADOPTED BY THE AUTHORITY(IES) HAVING JURISDICTION: 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA FIRE CODE (CFC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA GREEN BUILDING CODE (CGC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND ANY OTHER LOCAL CODES, ORDINANCES, REGULATIONS, OR AUTHORITIES HAVING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHER CODES AND REGULATIONS APPLICABLE TO THIS PROJECT. THESE CODES SHALL DETERMINE MINIMUM REQUIREMENTS FOR MATERIALS, METHODS, AND LABOR PRACTICES NOT OTHERWISE DEFINED IN THESE SPECIFICATIONS.
- ALL CONDUCTORS SHALL BE PER DESIGN SHEETS. CEC AND MAXIMUM VOLTAGE DROP OF 5% WILL DEFINE CONDUCTOR SIZING.
- ALL CONDUCTORS SHALL BE IN CONDUITS, U.O.N. CONDUITS SHALL BE USED IN THE FOLLOWING METHODS:
 - POLYVINYL CHLORIDE (PVC) CONDUITS ALLOWED FOR UNDERGROUND OTHERWISE PROVIDE RMC OR IMC.
 - INSTALL PER CEC TABLE 300.9 BURIAL DEPTH REQUIREMENTS
 - ELECTRICAL METALLIC TUBING (EMT) WITH COMPRESSION FITTINGS MAY BE USED IN OR ON WALLS OR CEILING WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP CONDITIONS OR CORROSIVE CONDITIONS
 - LIQUID TIGHT FLEXIBLE METAL CONDUIT WHERE REQUIRED:
 - FLEXIBLE METALLIC CONDUIT, WHERE REQUIRED BY CEC, IN DRY LOCATIONS. NOTE: ALL CONDUITS IN HAZARDOUS LOCATIONS (PER CEC) SHALL MEET THE REQUIREMENTS OF CEC CHAPTER 5.
 - CONNECTION TO LIGHT FIXTURES ABOVE 14'-0" CEILING MAY USE 3/8" FLEXIBLE METAL CONDUIT PER CEC 348.20(A)(2)
 - ALL EXPOSED CONDUIT SUBJECT TO WEAR OR COLLISION SHALL BE RIGID GALVANIZED STEEL (RGS) OR INTERMEDIATE METALLIC TUBING (IMT). APPLY BITUMASTIC COATING TO ALL METALLIC CONDUITS IN SLABS OR UNDERGROUND.
 - PROVIDE FIRE RESISTANT U.L. APPROVED SEALANT ON ALL RACEWAY PENETRATIONS OF FIRE RATED CEILING, PARTITIONS, WALLS AND STRUCTURAL SLABS.
- FOR TELEPHONE SYSTEM: PROVIDE GROUNDING FOR ALL TELEPHONE BACKBOARDS, TERMINAL CABINETS AND EQUIPMENT PER REQUIREMENTS OF CEC 800 AND TELEPHONE COMPANY.
- ALL EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED DISCONNECTING MEANS PER CEC. ALL DISCONNECT SWITCHES SHALL BE SIZED PER CEC TO ACCOMMODATE EQUIPMENT SERVED, INCLUDING REQUIRED FUSES. U.O.N. SWITCHES SHALL BE HORSE POWER RATED, OF HEAVY DUTY TYPE. PROVIDE MEANS FOR PAD LOCKING IN THE OPEN POSITION.
- ALL CIRCUIT BREAKERS SHALL BE INVERSE TIME (THERMAL MAGNETIC) "PERMANENT TRIP" TYPE. TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. AMPACITY IS EQUAL TO OR GREATER THAN CIRCUIT BREAKER FRAME AMPERE RATING.
- ALL CONNECTIONS TO GROUND RODS AND GRID, ETC., SHALL BE MADE WITH U.L. APPROVED WELDED CONNECTIONS, UNLESS NOTED OTHERWISE.
- LIGHTING SYSTEMS SHALL COMPLY WITH CEC. ALL LIGHTING FIXTURES, LAMPS, BALLASTS, DIMMER SWITCHES, AND CONTROLS SHALL BE CERTIFIED WITH THE CALIFORNIA ENERGY COMMISSION AS MEETING ALL CEC REQUIREMENTS AND BE LISTED IN THE APPLICABLE ENERGY COMMISSION DIRECTORY. ALL SUCH DEVICES AND EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. LIGHT FIXTURES IN SUSPENDED CEILING SHALL BE SUPPORTED IN STRICT ACCORDANCE WITH CBC SEISMIC REQUIREMENTS.
- LIGHT POLLUTION REDUCTION: OUTDOOR LIGHTING SYSTEMS SHALL BE INSTALLED TO COMPLY WITH THE FOLLOWING:
 - THE MINIMUM REQUIREMENTS IN CEC FOR LIGHTING ZONES 0-4 AS DEFINED IN CH. 10 OF CAC
 - BACKLIGHT RATINGS AS DEFINED IN IES TM-15-11
 - UPLIGHT AND GLARE RATINGS AS DEFINED IN CEC TABLES 130.2-A AND 130.2B
 - ALLOWABLE BUG RATING NOT EXCEEDING THOSE SHOWN IN TABLE 5.106.8, OR
 COMPLY WITH A LOCAL ORDINANCE LAWFULLY ENACTED PURSUANT TO SECTION 101.7, WHICHEVER IS MORE STRINGENT.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL. ALL EQUIPMENT SHALL BE RAIN TIGHT WHERE EXPOSED TO THE WEATHER. ALL FLEX CONDUITS CONNECTED TO SUCH EQUIPMENT SHALL BE METALLIC LIQUID TIGHT. ALL EQUIPMENT IN HAZARDOUS LOCATIONS, PER CEC, CHAPTER 5, SHALL BE IN ACCORDANCE WITH THE CEC. ALL EQUIPMENT IN CORROSIVE ENVIRONMENTS SHALL BE IN ENCLOSURES (SUCH AS NEMA 4X) RATED FOR THE ENVIRONMENT.
- UTILITY SERVICE AND REQUIREMENTS SHALL BE COORDINATED WITH POWER SERVICE WITH POWER COMPANY; PROVIDE FOR ALL STANDARD POWER COMPANY REQUIREMENTS. FAULTY CURRENT RATINGS SHALL BE PROVIDED BY UTILITY.
- THE LAYOUTS OF THE CONTRACT DRAWINGS ARE DIAGRAMMATIC. IT IS NOT INTENDED TO SHOW EVERY OFFSET AND FITTING, NOR EVERY STRUCTURAL DIFFICULTY THAT WILL BE ENCOUNTERED DURING THE INSTALLATION OF THE WORK. ALIGNMENT OF EQUIPMENT AND ROUTING OF RACEWAYS MAY BE VARIED SLIGHTLY TO ACCOMMODATE ARCHITECTURAL CONDITIONS OR TO AVOID THE WORK OF OTHER TRADES. IF ANY CONFLICTS OCCUR NECESSITATING DEPARTURES FROM CONTRACT DRAWINGS, DETAILS OF DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED AS SOON AS PRACTICABLE FOR WRITTEN APPROVAL OF THE ENGINEER.
- THE WORD "CONTRACTOR", AS USED IN THE ELECTRICAL CONTRACT DOCUMENTS, SHALL MEAN THE PRIME (I.E. GENERAL) CONTRACTOR AND HIS/HER SUBCONTRACTORS FOR THE APPROPRIATE TRADE. WHERE THE OWNER ACTS AS HIS OWN CONTRACTOR, THE WORD CONTRACTOR APPLIES TO THE OWNER.
- CONTRACTOR SHALL PROVIDE EVIDENCE OF LICENSING, BONDING, AND INSURANCE, AND PROVIDE OTHER NECESSARY ADMINISTRATIVE FUNCTIONS FOR CONTRACTOR'S WORK.
- CONTRACTOR SHALL PROCURE AND PAY FOR ALL REQUIRED PERMITS AND SERVICE CHARGES.
- COORDINATION: CONFORM TO GENERAL CONSTRUCTION CONTRACT DOCUMENTS EXCEPT AS MODIFIED HEREIN. REFER ALSO TO STRUCTURAL AND MECHANICAL CONTRACT DOCUMENTS. COORDINATE ALL WORK WITH OTHER TRADES.
- CUTTING AND PATCHING: ANY CUTTING, ATTACHING, OR WELDING TO BUILDING STRUCTURE SHOULD BE COORDINATED AND APPROVED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER. PATCHING SUBJECT TO ACCEPTANCE BY OWNER.
- SAW CUT TRENCHES IN SLAB SHALL BE FULLY RESTORED AND REINFORCED TO PREVENT SAGGING. ROUGHEN SAW CUT EDGES PRIOR TO RE-POLING CONCRETE.
- COORDINATE ALL WORK WITH OTHER TRADES TO PROVIDE A COMPLETE INSTALLATION. CONNECT ALL EQUIPMENT FURNISHED BY OTHERS AS REQUIRED. INSTALL ALL WORK TO CLEAR ARCHITECTURAL AND STRUCTURAL MEMBERS. INSTALL ALL ABOVE GRADE (OVERHEAD) PIPING AS HIGH AS PRACTICAL.
- RESTORE ALL DAMAGE RESULTING FROM THE WORK AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINISHED WITH WORK. ADJUST, CLEAN, REPAIR, OR REPLACE PRODUCTS, WHICH HAVE BEEN DAMAGED.
- PROVIDE FLASHING AND COUNTER FLASHING FOR ALL WALL AND ROOF PENETRATIONS.
- WARRANTY: ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE GUARANTEED FREE FROM ALL MECHANICAL, ELECTRICAL, AND WORKMANSHIP DEFECTS FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE PREMISES CAUSED BY WORK UNDER THIS CONTRACT, AS WELL AS ANY DAMAGE FROM LEAKS VIA ROOF PENETRATIONS MADE AND SEALED UNDER CONTRACTOR'S SCOPE.

LIGHTING FIXTURE SCHEDULE

TAG	TYPE	MANUF.	SERIES	MODEL	QTY.	MOUNTING	VOLT.	WATTAGE	SOURCE	LUMENS	CCT	REMARKS
A	DOWNLIGHT	LITHONIA	-	6JBK RD	2	RECESSED	120	10.9	LED	670	4000K	
01	OUTDOOR SCENE	LITHONIA	OMERO	MRR LED 1 10A700/40K SR2 MVOLT	13	WALL @10' ABOVE GRADE	120	24	LED	2010	4000K	
02	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL2	3	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4834	4000K	INSTALL WITH HOUSE SIDE SHIELDS
02S	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL2-HSS	3	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4834	4000K	INSTALL WITH HOUSE SIDE SHIELDS
03	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL3	2	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4801	4000K	
03S	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL3-HSS	2	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4801	4000K	INSTALL WITH HOUSE SIDE SHIELDS
04	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL4	1	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4758	4000K	
04S	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL4-HSS	1	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4758	4000K	INSTALL WITH HOUSE SIDE SHIELDS

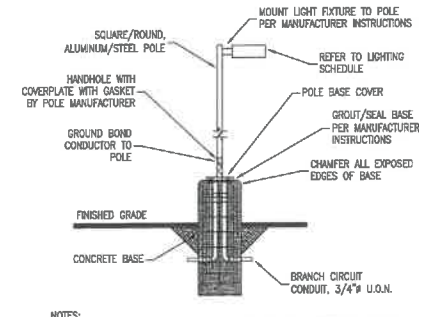
NOTES: COORDINATE ALL ARCHITECTURAL TRIM AND ACCESSORY OPTIONS WITH OWNER. EQUIPMENT FIXTURES ACCEPTABLE CONTINGENT ON OWNER APPROVAL.

ELECTRICAL SHEET INDEX

- E0 LIGHTING FIXTURES, GENERAL NOTES
- E1 ELECTRICAL PLAN -- PHOTOMETRIC PLAN
- E2 ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS
- E3 ELECTRICAL LIGHTING ENERGY REPORT

ELECTRICAL SCOPE OF WORK

- INSTALLATION OF NEW LIGHTING SYSTEMS AND ASSOCIATED POWER AND CONTROLS



- NOTES:
- CONCRETE BASE SPECIFICATIONS BY STRUCTURAL ENGINEER OF RECORD
 - CONNECTION TO BASEPLATE & U-BOLTS TO BE DETERMINED BY STRUCTURAL ENGINEER OF RECORD BASED ON THE MANUFACTURER INSTALLATION INSTRUCTIONS

POLE LIGHT MOUNTING 1 E0

ELECTRICAL LEGEND

- 2x4 LIGHT FIXTURE (SURFACE, RECESSED)
- 2x2 LIGHT FIXTURE (SURFACE, RECESSED)
- FIXTURE W/ BATTERY BACKUP (TYP. ALL SHADED FIXTURES)
- RECESSED DOWNLIGHT
- ROUND SURFACE MOUNT LIGHT
- PENDANT LIGHT
- TRACK LIGHT
- SIGNAL LIGHT
- WALL MOUNT LIGHT
- POLE MOUNT LIGHT - 2 HEAD
- POLE MOUNT LIGHT - 1 HEAD
- EXIT/EMERGENCY COMBO LIGHT
- EMERGENCY FIXTURE
- EXIT LIGHT
- CEILING EXHAUST FAN
- WALL MOUNTED SWITCH
- WALL MOUNTED 3-WAY SWITCH
- PHOTOCELL
- PRIMARY DAYLIGHT AREAS
- SECONDARY DAYLIGHT AREAS
- CEILING MOUNTED SENSOR
- DUPLEX OUTLET - WALL, FLOOR, CEILING MOUNTED
- QUADRUPLEX OUTLET - WALL, FLOOR, CEILING MOUNTED
- DEDICATED OUTLET - WALL, FLOOR, CEILING MOUNTED
- 2-POLE OUTLET - 208/240V - WALL, FLOOR, CEILING MOUNTED
- 30A, 120V OUTLET (NEMA 5-30R)
- 30A, 208/240V OUTLET (NEMA 6-30R)
- DUPLEX OUTLET WITH USB PORT
- PHONE-DATA PORT
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- JUNCTION BOX
- DISCONNECT - POLES (CAPACITY/FUSE)
- HOME RUN - PANEL-CIRCUIT(S)
- WIRE/CONDUIT - OVERHEAD
- WIRE/CONDUIT - UNDERGROUND
- POWER PANEL
- TRANSFORMER
- AFF ABOVE FINISHED FLOOR
- +XX" HEIGHT (INCHES) AFF
- D DIMMER
- M OCCUPANCY SENSOR
- V VACUANCY SENSOR
- GF1 GROUND FAULT INTERRUPTER
- CH COUNTERHEIGHT (1+4") AND GF1
- WP WEATHERPROOF
- HP HORSEPOWER
- BHP BRAKE HORSEPOWER
- NTS NOT TO SCALE
- TYP TYPICAL
- GND GROUND
- GEC GROUNDING ELECTRODE CONDUCTOR
- MSB MAIN SWITCHBOARD
- SSJ SYSTEM BONDING JUMPER
- SSBJ SUPPLY SIDE BONDING JUMPER
- BCPM BRANCH CIRCUIT POWER METER
- UON UNLESS OTHERWISE NOTED

DATE: 04-14-2022

ISSUED FOR: PERMIT DATE: 04-14-2022

REVISIONS:

DATE: 21.001

DESCRIPTION:

DATE: 04-14-2022

ORIGINAL DATE: 04-14-2022

REGISTERED PROFESSIONAL ENGINEER
No. E23735
EXP. 12-31-2023
W. B. BOSTON
STATE OF CALIFORNIA

OPTIMIZEDENERGY & FACILITIES CONSULTING, INC.
6734 Lonepine Boulevard, Rocklin, CA 95765
Office: (916) 628-8518 www.oefc.com

BEST WESTERN
1102 SUTTON WAY
GRASS VALLEY, CA 95945

SHEET TITLE: LIGHTING FIXTURES, GEN. NOTES

SHEET NO.: E0

- SHEET NOTES:**
- (E) EXISTING
(N) NEW
(R) RELOCATED
(D) DEMO
 - ALL LIGHT FIXTURES/CONTROLS SHOWN ARE (N) U.O.N.
 - ALL POLE MOUNTED LIGHT FIXTURES TO HAVE CONCRETE POLE BASE
 - ALL EXTERIOR LIGHT FIXTURES TO BE CONTROLLED BY PHOTOCONTROL AND AUTOMATIC SCHEDULE CONTROL.

LIGHTING ZONE STATISTICS				
ZONE	NAME	AVERAGE FC	MAXIMUM FC	MINIMUM FC
A	PARKING LOT	1.8	4.3	0.2
B	WALKWAYS	3.8	6.3	1.0
C	TRASH ENCLOSURE	2.6	3.0	2.2
D	ADJACENT PROPERTY	0.0	0.6	0.0

- KEY NOTES:**
- FIGURES O2 AND O2S ARE MOUNTED AT 20' ABOVE GRADE U.O.N. FIGURES O2 AND O2S ARE LESS THAN 5,200 LUMENS AND IS EXEMPT PER SECTION 130.2(b) OF THE CALIFORNIA ENERGY CODE
 - FIGURES O3 AND O3S ARE MOUNTED AT 20' ABOVE GRADE U.O.N. FIGURES O3 AND O3S ARE LESS THAN 5,200 LUMENS AND IS EXEMPT PER SECTION 130.2(b) OF THE CALIFORNIA ENERGY CODE
 - FIGURES O4 AND O4S ARE MOUNTED AT 20' ABOVE GRADE. FIGURES O4 AND O4S ARE LESS THAN 5,200 LUMENS AND IS EXEMPT PER SECTION 130.2(b) OF THE CALIFORNIA ENERGY CODE



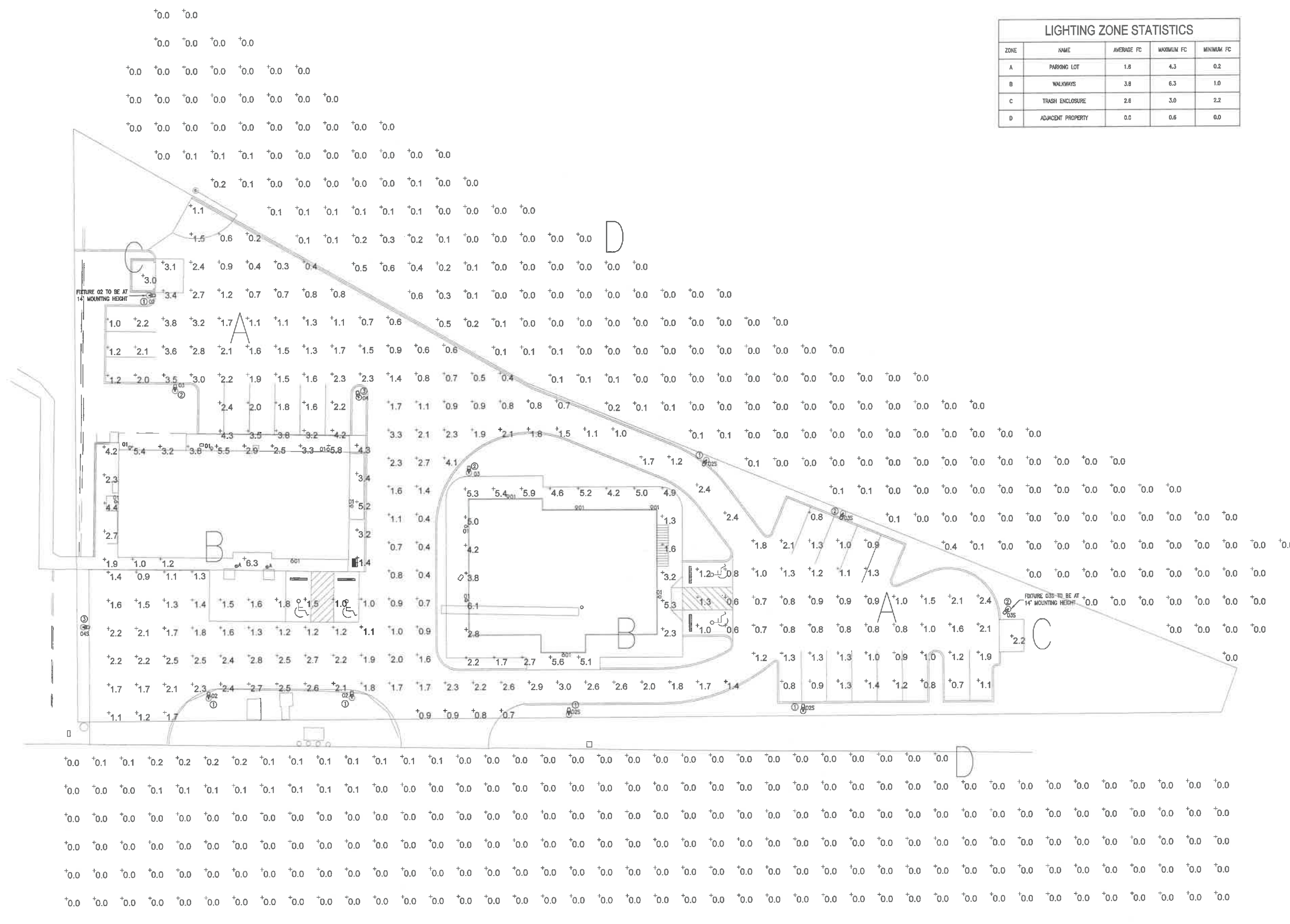
ISSUED FOR PERMIT DATE 04-14-2022

OPTIMIZEDENERGY & FACILITIES CONSULTING, INC.
 5734 Lumiere Boulevard, Folsom, CA 95765
 Office: (916) 628-8518 www.oefhc.com

BEST WESTERN
 1102 SUTTON WAY
 GRASS VALLEY, CA 95945

SHEET TITLE
PHOTOMETRIC PLAN

SHEET NO.
E1



A ELECTRICAL PLAN - SITE
 SCALE: 1/16"=1'-0"



Streetworks

DESCRIPTION
The Ridgeview™ LED street lighting is the most efficient, economical approach to LED street lighting. A true blend of traditional form and LED efficiency, the Ridgeview lighting provides functional, low-profile design with excellent operating performance. Patent pending form factor. LightScape technology delivers uniform, even color and eliminates flicker to provide superior lighting applications.

FEATURES
• 50-watt rated compact design
• Remounted aluminum frame
• 100,000-hour life expectancy
• 100,000-hour life expectancy
• 100,000-hour life expectancy

COOPER LIGHTING SOLUTIONS

POWER AND LUMENS BY BAR COUNT (12 LED LIGHTBARS)

Bar Count	Power (Watt)	Lumens	Beam Spread
12	600	12,000	120°
18	900	18,000	120°
24	1200	24,000	120°
30	1500	30,000	120°
36	1800	36,000	120°
42	2100	42,000	120°
48	2400	48,000	120°
54	2700	54,000	120°
60	3000	60,000	120°
66	3300	66,000	120°
72	3600	72,000	120°
78	3900	78,000	120°
84	4200	84,000	120°
90	4500	90,000	120°
96	4800	96,000	120°
102	5100	102,000	120°
108	5400	108,000	120°
114	5700	114,000	120°
120	6000	120,000	120°

COOPER LIGHTING SOLUTIONS

MRW LED Architectural Wall Sconce

DESCRIPTION
Classic Architectural Wall Sconce with the LED technology. Long-life, maintenance-free product with typical energy savings of 80% compared to metal halide lighting. The integrated battery backup option provides emergency egress lighting without the use of a back-box or remote pack, so installations maintain their aesthetic integrity. The MRW LED is ideal for replacing existing 50-250W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

FEATURES
• 50-watt rated compact design
• Remounted aluminum frame
• 100,000-hour life expectancy
• 100,000-hour life expectancy

COOPER LIGHTING SOLUTIONS

6JBK RD

DESCRIPTION
6JBK RD is a high-output, high-efficiency LED street lighting fixture. It features a compact design and excellent operating performance. The fixture is designed for use in street lighting applications and provides a long service life.

FEATURES
• 50-watt rated compact design
• Remounted aluminum frame
• 100,000-hour life expectancy
• 100,000-hour life expectancy

COOPER LIGHTING SOLUTIONS

INSTALLATION SUBSTITUTIONS AND ERAS

DESCRIPTION
This section provides detailed information on installation substitutions and ERAS for the Ridgeview LED street lighting fixture. It includes diagrams and tables showing how to substitute different components and how to calculate ERAS for various applications.

COOPER LIGHTING SOLUTIONS

DESIGNING INFORMATION

DESCRIPTION
This section provides detailed information on designing with the Ridgeview LED street lighting fixture. It includes tables showing lumen output, beam spread, and other design parameters for various bar counts and mounting heights.

COOPER LIGHTING SOLUTIONS

Performance Data

DESCRIPTION
This section provides performance data for the MRW LED Architectural Wall Sconce. It includes tables showing lumen output, beam spread, and other performance metrics for different mounting heights and beam angles.

COOPER LIGHTING SOLUTIONS

6JBK RD OneUP™ Direct-Wire LED

DESCRIPTION
6JBK RD OneUP™ Direct-Wire LED is a high-output, high-efficiency LED street lighting fixture. It features a compact design and excellent operating performance. The fixture is designed for use in street lighting applications and provides a long service life.

FEATURES
• 50-watt rated compact design
• Remounted aluminum frame
• 100,000-hour life expectancy
• 100,000-hour life expectancy

COOPER LIGHTING SOLUTIONS

COOPER LIGHTING SOLUTIONS

1102 SUTTON WAY
GRASS VALLEY, CA 95945

TEL: 916.271.8174
WWW.COOPERLIGHTING.COM

COOPER LIGHTING SOLUTIONS

1102 SUTTON WAY
GRASS VALLEY, CA 95945

TEL: 916.271.8174
WWW.COOPERLIGHTING.COM

LITHONIA LIGHTING

One Lithonia Way • Corpey, Georgia 30017 • Phone: 770-520-0700 • Fax: 770-520-0701
© 2011 LITHONIA LIGHTING, INC. All rights reserved.

LITHONIA LIGHTING

One Lithonia Way • Corpey, Georgia 30017 • Phone: 770-520-0700 • Fax: 770-520-0701
© 2011 LITHONIA LIGHTING, INC. All rights reserved.

Item # 2.

DATE 04-14-2022

DESCRIPTION

REVISION

DATE 04-14-2022

APP NO. 2101

DATE 04-14-2022

PERMIT 04-14-2022

REGISTERED PROFESSIONAL ENGINEER
No. E23735
EXP. 12-31-2022
N. BALISA
STATE OF CALIFORNIA

ISSUED FOR DATE 04-14-2022

OPTIMIZED ENERGY & FACILITIES CONSULTING, INC.
5734 Lonepine Boulevard, Rocklin, CA 95765
Office: (916) 628-6518 www.oefci.com

BEST WESTERN
1102 SUTTON WAY
GRASS VALLEY, CA 95945

ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS

SHEET NO. E2

44



**PLANNING COMMISSION
STAFF REPORT
July 19, 2022**

Prepared by: Thomas Last, Community Development Director

DATA SUMMARY

Application Number: 22PLN-27
Subject: Use Permit to locate some of the current Riebe’s Napa Auto Parts store and machine shop operations across the street in the former Sears building.
Location/ APN: 129 Idaho-Maryland Road/009-210-039
Applicant: Bart Riebe
Zoning/General Plan: Central Business (C-2) District, Hills Flat Business District (HFBD)/Commercial (C)
Environmental Status: Exempt pursuant to Sections 15061 and 15301

RECOMMENDATION:

Staff recommends the Planning Commission approve Use Permit 22PLN-27 subject to the Findings and Conditions of Approval on page 4 of this staff report.

BACKGROUND:

According to building records, Mr. Riebe operated an auto parts store from the 129 Idaho-Maryland Road building in the early-1970’s. In 1986, the Planning Commission approved a use permit for Riebe’s Auto Supply to expand its store to include a machine shop, warehouse, and commercial garage. In 1997, Riebe’s Auto Parts relocated to its current site across the street at 126 Idaho-Maryland Road. Also, in 1997, the City approved a design review application submitted by Sears for the 129 Idaho-Maryland property. The City approved the request to remodel the building, to add parking and new landscaping, and to remove two smaller buildings on the property. Sears closed recently and building is now vacant.

PROJECT DESCRIPTION:

The applicant requests approval of a use permit to relocate a portion of the existing Napa Auto Parts store and machine shop operations to the former Sears building. The C-2 Zoning District requires approval of a use permit for vehicle services. Since the applicant proposes to locate the machine shop and some engine rebuilding on the property, a use permit is required. Besides internal tenant improvements, no other changes are proposed at the site.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The .51-acre parcel is fully developed with an 8,377 square foot building and 17 parking spaces. The northeast portion of the property contains a fenced storage yard area. Surrounding land uses include Highway 20-49, and commercial businesses.

ENVIRONMENTAL DETERMINATION:

The basic purpose of the California Environmental Quality Act is to inform the decision makers of the potential significant environmental effects of a proposed activity or project. A key factor in this determination is whether the activity will result in significant environmental damage. Staff has reviewed the amendment and determined it is exempt from environmental review pursuant to Sections 15061 b.3 and 15301 of the California Environmental Quality Act (CEQA).

Section 15061 b.3 applies to activities covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Specifically, a project must result in a direct or indirect physical change on the environment. Since the proposed use takes place within a fully developed parcel and no exterior building improvements are occurring, the project meets this exemption.

Additionally, the Section 15301 exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures and facilities, involving negligible, or no expansion of use beyond those existing. The proposed use does not change the overall nature of past uses and activities that have taken place on this property.

The proposed amendment complies with all the criteria noted in each exemption and therefore is exempt from further environmental review.

GENERAL PLAN AND ZONING:

General Plan: The Grass Valley 2020 General Plan identifies the site as Commercial. The intent of this designation is to accommodate a variety of retail commercial and service uses. The proposed use is a business that occurred in this building in the past and includes similar activities conducted by the Sears business. The analysis below demonstrates the proposed use is consistent with, and does not create any conflicts with, the General Plan.

Zoning: As noted above, the C-2 Zone requires approval of a use permit by the Planning Commission for auto repair uses. There are no building or site plan changes proposed; therefore, no additional zoning or development standards need to be considered. The HFBD is a combining zone that also applies to this property. This combining zone does not allow drive-through restaurants and includes some additional development standards related to outdoor storage. Since the proposed use does not propose any of these activities, the HFBD does not apply.

ANALYSIS:

Section 17.72.060 of the Development Code requires the Planning Commission to make specific findings before it approves a Use Permit. The following is a list of those findings followed by staff's response in italics:

1. The proposed use is consistent with the General Plan:
The intent of the Commercial land use designation is to encompass all types of retail and commercial service establishments. There are General Plan policies and vision statements which promote the expansion of existing businesses. Since the site is fully developed, most of the General Plan policies do not apply to this particular use.

2. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code:
The proposed use requires a Use Permit in the Central Business (C-2) Zone. Since the site is fully developed, the Development Code has limited applicability. The same type of a use took place in the building prior to 1998, and since then the property has been used for commercial uses, which included outdoor storage. Most of the building will be used for auto parts inventory and a small portion is devoted to the machine shop and rebuilding of motors. Since no outdoor activities are proposed, City staff believes the amendment is in full compliance with the Development Code.

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity:
The proposed uses will take place indoors and are similar to past uses in the building. These uses are considered retail and storage uses with minor auto repair type activities and are compatible with the commercial uses occurring in the vicinity.

4. The site is physically suitable in terms of designs, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment and disposal, etc.), to ensure that the density, intensity, and type of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located:
The site is fully developed, and the surrounding uses consist of commercial uses with SR 20/49 abutting the property. Since all the uses will be taking place indoors and the property is surrounded by commercial uses and a highway, the proposed use is not expected to be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood.

FINDINGS:

1. The City received a complete application for Use Permit Amendment 22PLN-27 on June 22, 2022.
2. The Grass Valley Planning Commission reviewed Use Permit application 22PLN-27 at its meeting on July 19, 2022.
3. The project is exempt from environmental review pursuant to Sections 15061 b.3, and 15301 of the California Environmental Quality Act (CEQA) Guidelines.
4. The proposed Use Permit is consistent with the Grass Valley General Plan.
5. The proposed Use Permit is consistent with the Grass Valley Development Code.
6. As conditioned, the Use Permit will not adversely affect the health or safety of persons residing or working in the neighborhood or the property and will not be materially detrimental to the public welfare or injurious to property or improvements of the environment in the neighborhood.

CONDITIONS OF APPROVAL:

1. The use shall operate in accordance with the application and as approved by the Grass Valley Planning Commission for Use Permit 22PLN-27.
2. The applicant agrees to defend, indemnify, and hold harmless the City in any action or proceeding brought against the City to void or annul this discretionary land use approval.
3. If the approved use discontinues for a period of twelve (12) months or more, the permit shall expire and become null and void with no further action by the Planning Commission.

Attachments:

1. Location Map
2. Supplemental Application information on proposed amendment

Use Permit (22PLN-27) to allow Riebe's NAPA Auto Parts Store to use the old Sears Building located at 129 Idaho Maryland Road for additional product storage and machine shop operations located at 126 Idaho Maryland Road. The building, located at 129 Idaho Maryland Road was originally Riebe's Auto Parts, prior to the new store at 126 Idaho-Maryland Road in 1997 (APN: 009-210-039).




Item # 3.



City of Grass Valley Notification Map

Regarding: Use Permit (22PLN-27)

July 8, 2022

-  Property Owners Notified
-  300' Owner Notification Zone
-  Project Location

**Riebe's NAPA Auto Parts
Expansion to Existing Structure**

Project Description:

This application is for a use permit to allow Riebe's NAPA Auto Parts to use the old Sears Building across from their store for an expansion of their current retail and machine shop operation. The building, located at 129 Idaho Maryland Road on Nevada County Assessor's Parcel 009-210-039, was originally Riebe's Auto Parts, before they built the new store at 126 Idaho-Maryland Road in 1997. At that time, the store included retail auto parts and machine shop services.

The building is 8,377 square feet and is located on a 0.51 acre site. There are 17 paved parking spaces, including one ADA accessible space, and landscaping. No physical changes to the building exterior or grounds are proposed, other than a future sign application. The front part of the building, encompassing 3,000 square feet will be the machine shop, relocated from across the street. The machine shop provides essential services to professional and do it yourself customers throughout the region, providing precision milling and machining services. While called a Machine Shop, the business is really a reclamation shop reclaiming and rebuilding old parts into like new to be reused rather than discarded. Typical services include machining engine heads, turning brake parts, completing engine rebuilds, and making modifications for race and custom car applications. There will be a small public counter for customers and the rest of this space will be for equipment and trained technicians. There are no vehicle bays involved as the service is strictly limited to carried in parts. This use is identical to the current use across the street.

The remaining part of the building, approximately 5,377 square feet, will be devoted to inventory for the retail auto parts business. There are so many different brands and models of automobiles these days that the parts storage demands are huge and ever growing. The store strives to have the parts on hand, or to get them to their customer from other locations on the same day or sooner. Some of parts are quite large and other parts are purchased in bulk quantities, so this space will be used primarily for inventory that doesn't fit well at the retail store.

The site is currently developed with parking at a ratio of one space per 500 square feet of floor area, consistent with the zoning ordinance requirements for the above uses. Business hours for customers will match the hours for the auto parts store. The site already has the shipping and receiving improvements that have been used for the Sears store, so no additional improvements are required. The machine shop caters to a limited number of customers, so traffic trip end generation will be substantially lower than for the Sears retail store.

Inasmuch as there are no physical changes to the building exterior or site, the use permit application is categorically exempt from environmental review under the California Environmental Quality Act (CEQA), based on the provisions of Section 15301, Class 1, of the CEQA Guidelines addressing existing facilities.