



GRASS VALLEY

Development Review Committee Meeting

Tuesday, June 28, 2022 at 9:00 AM

Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California

Telephone: (530) 274-4310 - Fax: (530) 274-4399

E-Mail: info@cityofgrassvalley.com

Web Site: www.cityofgrassvalley.com

AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

MEETING NOTICE

Development Review Committee welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 9:00 a.m. on the 2nd and 4th Tuesday of each month. Your interest is encouraged and appreciated.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 9 am. Comments received after that will be addressed during the item and/or at the end of the meeting. The committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Committee after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

VIRTUAL LINK TO THE MEETING

Join Zoom

Meeting: <https://us06web.zoom.us/j/89427080257?pwd=Z25lWEFoWlg0Mk9Hek5nQnVTZHZvZz09>

Meeting ID: 894 2708 0257

Passcode: DRCmtg22!

One tap mobile: +17207072699,,89427080257#,,, *755037981# US
(Denver) +12532158782,,89427080257#,,, *755037981# US (Tacoma)

Dial by your location: +1 720 707 2699 US (Denver) +1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston) +1 646 558 8656 US (New York) +1 301 715 8592 US (Washington DC) +1 312 626 6799 US (Chicago)

Meeting ID: 894 2708 0257

Passcode: 755037981

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS, AGENDA REVIEW AND CHANGES

PUBLIC COMMENT - *Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. There is a time limitation of three minutes per person. For items not on the agenda and within the jurisdiction or interest of the City, please address the Development Review Committee at this time. For items on the agenda please address the Development Review Committee when the number and subject matter are announced. Comments will be reviewed and distributed before the meeting if received by 9AM. Comments received after that will be addressed during the item and/or at the end of the meeting. The Development Review Committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.*

GENERAL APPLICATION FOR REVIEW

- 1.** **Development Review and Use Permit (22PLN-21)** for the remodel of the existing ±6,200 sq. ft. Best Western Conference Center building and new ±6,400 sq. ft. hotel for Best Western, including site and landscaping improvements in the Office Professional (OP) Zone. The remodeled and new hotel buildings include 13 and 14 rooms respectively for a total of 27 rooms. The project is located at 1012 Sutton Way (APN: 035-400-026). Environmental Determination: Categorical Exemption.

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a meeting of a Development Review Committee Meeting, scheduled for Tuesday, June 28, 2022 at 9:00 AM was posted at city hall, easily accessible to the public, as of 5:00 p.m. Friday, June 24, 2022.

Taylor Day, Deputy City Clerk



**DEVELOPMENT REVIEW
COMMITTEE
STAFF REPORT
June 28, 2022**

Prepared by: Lance E. Lowe, AICP, Principal Planner
Reviewed by: Thomas Last, Community Development Director

DATA SUMMARY:

Application Number: 22PLN-21
Subject: Development Review and Use Permit for an existing $\pm 6,200$ sq. ft. hotel building remodel and new $\pm 6,400$ sq. ft. hotel with related site improvements.
Location/APN: 1012 Sutton Way/035-400-026
Applicant/Owner: Christopher Gage, Siteline Architecture
Zoning/General Plan: Office Professional (O-P) Zone/Office Professional
Entitlement: Development Review & Use Permit
Environmental Status: Categorical Exemption

RECOMMENDATION:

The Development Review Committee recommend that the Planning Commission approve the Best Western Hotel project as presented, or as modified by the Development Review Committee, which includes the following actions:

1. Determine the project Categorical Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines;
2. Adoption of Findings of Fact for approval of the Best Western Hotel project as presented in the Staff Report; and,
3. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report.

BACKGROUND:

The Best Western Conference Center, located at 1012 Sutton Way, appears to have been constructed circa 1970's consisting of a $\pm 6,200$ sq. ft. building with related parking and landscaping on an approximate 1-acre triangular site. The majority of the site is undeveloped with large expanses of asphalt paving. The building lacks architectural interest consisting of single plane walls; T-111 siding painted in an earth tone color; and mansard roof with slate roofing.

PROJECT DESCRIPTION:

The applicant is requesting a Development Review and Use Permit for the remodel of the existing ±6,200 sq. ft. Best Western Conference Center building and new ±6,400 sq. ft. hotel for Best Western, including site and landscaping improvements in the Office Professional (OP) Zone. The remodeled and new hotel buildings include 13 and 14 rooms respectively for a total of 27 rooms. The O-P Zone permits hotel buildings contingent upon Development Review Permit (i.e., Design Review) approval for site plan and architectural building design in accordance with the City's Design Guidelines and Development Code Standards. A Use Permit is required for Hotels in the OP Zone per Table 2 – 10 of the Development Code.

The project plans include the following details:

Site Plan – The ±6,200 remodeled Best Western Conference Center building is located at the south end of the property ±20 feet from the south property line adjoining the existing Best Western Hotel. The building is setback ±60 feet from the front property line; ±100 feet from Highway 20/49; and ±36 feet from the proposed new hotel building.

The new ±6,400 Best Western Hotel building is located ±40 feet from the front property line; ±40 feet from Highway 20/49; and ±120 feet from the north property line.

Access, Parking & Circulation – Access to the site is via an existing, centrally located, ±33-foot-wide driveway connecting with Sutton Way. The driveway connects to a 12-foot-wide one-way ingress/egress drive isle connecting with a 15-stall parking lot and landscaping at the north end of the site.

An existing 24-foot access isle is proposed between the buildings serving the 9-stall parking lot in the rear of the property. The existing 24-foot drive isle serves the existing 7-stall parking lot in the front of the property. A total of thirty-one parking spaces are provided consisting of 2 compact spaces; 2 van accessible spaces; and 2 accessible spaces.

Landscaping – A landscaping plan has been submitted with the project plans (Sheet L1). The landscaping consists of a combination of grasses/shrubs/perennials and ornamental trees including Sage, California Lilac, Oregon Grape, Trident Maple, Golden Rain Tree, and existing trees. Total landscaped area represents ±6,105 square feet or 14% of the ±1-acre site.

Architectural Design – Architectural plans and detailing for the remodeled and new buildings include the following design components:

- Manufactured stone veneer – Eldorado Stone (Dry Creek);
- Shed awnings with metal standing seam roof (Accluvium);
- Perpendicular awnings with T&G ceiling and recessed lighting (Smokewood);
- Horizontal wood siding 12-inch rough sawn wood (Island Mist);

- Horizontal fiber cement lap siding with 6-inch lap on second story (Old World Romance);
- Board and Batt siding under canopies (Old World Romance);
- Metal roofing awnings, horizontal awnings (Dark Bronze);
- Doors and windows (Espresso);
- Existing roofing tile (Medium Brown)

A color materials board is provided on Sheet A.5.5.

Lighting – Lighting consists of a combination of pole site lighting, wall sconce lighting and under canopy lighting. Goose neck lighting is proposed to illuminate the proposed signage on the west elevation. A photometric plan has been prepared together with the building plans to show the type of fixture and foot-candle in accordance with City of Grass Valley Standards.

Trash Enclosure – A roofed trash enclosure exists at the north end of the site. The trash enclosure materials consist of corrugated metal siding with corrugated metal roofing. A new trash enclosure is proposed at the west end of the site. No trash enclosure details are provided. Landscaping is proposed on all non-accessible sides.

Signage – An existing ±40-foot pylon sign is proposed to be demolished at the center of the site. An existing monument sign fronts the existing Conference Center building. A new channel lettered wall sign is proposed at the gable on the west elevation fronting Highway 20/49.

Drainage – The property drains from west to east onto Sutton Way with drainage inlets are located south of the project site.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The ±1-acre triangular site is bordered by Sutton Way to the east and State Route 20/49 to the west. Mature landscaping and trees exist in the Caltrans right-of-way screening much of the site from the freeway views. Commercial uses are located to the north, south and east of the project site (**Attachment 3 – Site Photographs**).

ENVIRONMENTAL DETERMINATION:

The project qualifies for a Class 32 Categorical Exemption. A Class 32 consists of projects characterized as in-fill development meeting the following conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) the site is adequately served by all required utilities and public services.

GENERAL PLAN AND ZONING:

General Plan: The project area has a land use designation of Office Professional according to the City of Grass Valley 2020 General Plan. The Office Professional designation provides for concentrations of free-standing offices and large office complexes.

Zoning: The property is within the Office Professional (O-P) Zone District. Per Table 2-10, hotels are permitted uses with approval of a Use Permit.

ANALYSIS:

In review of the project with respect to compliance with the City's Community Design Guidelines and Development Code, staff offers the following for Development Review Committee consideration:

Parking – A total of 31 on-site parking spaces are provided, including 4 ADA accessible parking spaces and 2 compact spaces. The parking space dimensions are 9 feet by 18 feet with backing distances of 24 feet in compliance with City Parking Standards. Table 3-3 of the City's Development Code requires 1 space for each unit, plus 2 spaces for the manager or owner for the hotel requiring a total of 29 parking spaces.

Condition of Approval No. A – 3 requires that if needed to accommodate additional landscaping as noted below, two parking spaces may be eliminated for a total of 27 parking spaces.

Landscaping – Landscape planters of ±5 feet are proposed along the Sutton Way frontage with limited planters along fronting State Highway 20/49. The City's Development Code requires 10-foot and 6-foot planters in front and rear yards respectively. Although tight due to the shape of the lot, the preference is to increase the landscaping along the frontage considering mature trees and landscaping exists along the Caltrans right-of-way as seen from the freeway. Increasing the landscape planter in the front yard may be accomplished by reducing the landscaping planter in the rear yard of the new building and shifting the building west. Moreover, additional landscaping should be added to the front entryway of the remodeled conference center.

Condition of Approval No. A – 4 requires the planter fronting Sutton Way to be 10-feet or as wide as practicable. An additional planter shall be installed at the entryway of the remodeled conference center.

Conditions of Approval E1 – 4 also requires the final landscaping to comply with the State's Model Water Efficiency Landscape Ordinance.

Architectural Design – The proposed building design contains architectural components similar to buildings in the area, with compatible materials and architectural features. Staff is recommending two minor modifications. Condition of Approval No. A – 5 requires the following architectural modifications for DRC consideration:

- Remodeled Building - The canopy should be extended to the south over the door thereby eliminating the perpendicular awning.
- Remodeled and New Buildings - Gooseneck lighting shall replace the wall sconce lighting on the east elevations and at the doorways.

Fencing – No new fencing is proposed with the project. An existing chain link fence exists along the Cal-Trans right-of-way. Condition of Approval No. A – 6 requires that, if approved by Caltrans, new black metal fencing or equivalent shall be installed along the Caltrans right-of-way for the entirety of the property replacing the existing chain link fencing. The new fencing shall be shown on the improvement plans and constructed to the satisfaction of the Community Development Director and Caltrans.

Trash Enclosure – The trash enclosure at the north end of the site should be upgraded to current design standards consistent with the proposed trash enclosure at the southwest corner of the property. Condition of Approval A – 7 requires the trash enclosures to be constructed of six-foot high masonry walls with solid metal gates. Enclosure finishes shall match the building in color and texture and should natural materials. Landscaping shall be installed on all non-accessible sides.

Signage – The wall signage on the west elevation is inconsistent with the City's Design Standards and Development Code in that it is a freeway-oriented sign and is located above the eve or parapet of the building. It should be noted that a similar sign exists on the Best Western Hotel building adjoining the project site to the south. An identical sign at this location is therefore redundant.

Condition of Approval A – 8 requires the wall signage to be removed as being inconsistent with the City's Design Guidelines and Development Code. The existing pylon sign shall be demolished as proposed. Prior to the modification of the monument, the applicant shall obtain a sign permit from the Community Development Department.

Fire Department Conditions of Approval F 3 & 4 require fire apparatus access due to the height of the building. Landscaping shall not obstruct fire apparatus access to the drive aisles and or building.

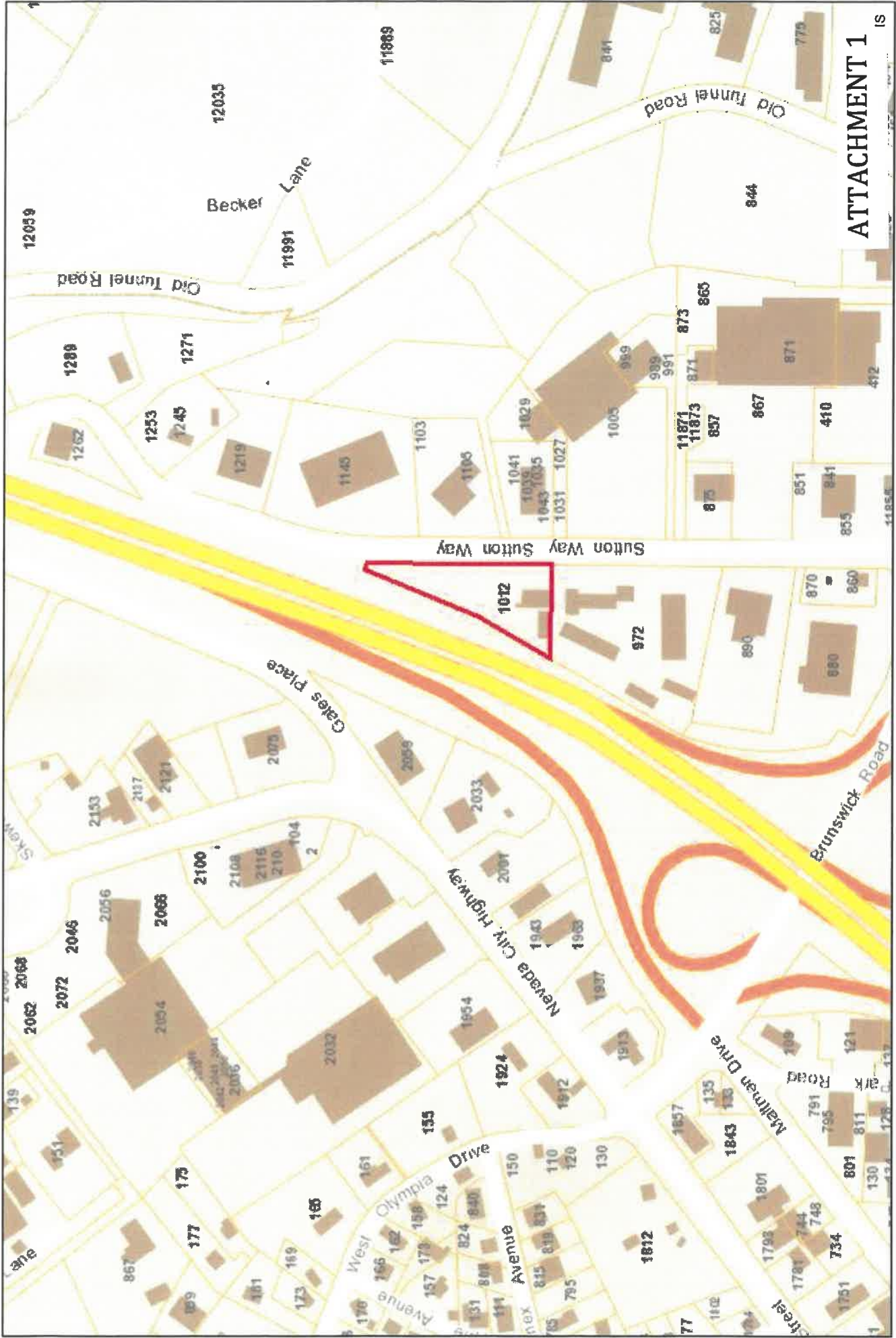
ATTACHMENTS:

- Attachment 1** – Vicinity Map
- Attachment 2** – Aerial Photograph
- Attachment 3** – Site Photographs
- Attachment 4** – Findings and Conditions of Approval
- Attachment 5** – Best Western Project Plans

ATTACHMENTS

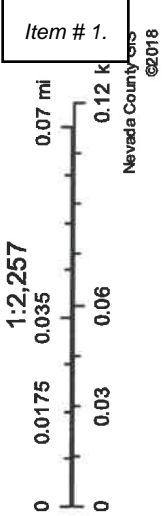


1012 Sutton Way





ATTACHMENT 2



ATTACHMENT 3



**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

FINDINGS:

In accordance with Sections 17.81.060 and 17.72.030 of the Development Code the Planning Commission is required to make specific findings before it approves a Development Review and Use Permit.

1. The City received a complete application for Development Review Application 22PLN-21.
2. The Community Development Department determined the project is Categorically Exempt as the appropriate environmental review in accordance with the California Environmental Quality Act (CEQA).
3. The Grass Valley Development Review Committee reviewed the application at its regularly scheduled meeting on June 28, 2022.
4. The Planning Commission has considered the recommendations of the Development Review Committee, including the proposed Categorical Exemption at its regularly scheduled meeting on July 19, 2022.
5. The project is consistent with the applicable sections and development standards in the Development Code.
6. The project, as conditioned, complies with the City of Grass Valley Community Design Guidelines.
7. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
8. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.

A. GENERAL CONDITIONS:

1. The approval date for this project is July 19, 2022. The Development Review and Use Permit are approved for a period of 1 year and shall expire on July 19, 2023, unless the project has been effectuated (i.e. building permit has been obtained) or the applicant requests a time extension that is approved by the Grass Valley Planning Commission pursuant to the Development Code.
2. The project shall be constructed in accordance with the plans approved by the Planning Commission for Development Review Permit 22PLN-21 unless changes are approved by the Planning Commission prior to commencing such changes. Minor design changes may be approved by the Community Development Department as determined appropriate by the Community Development Director.

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(22PLN-21)**

Major changes, as determined by the Community Development Director, shall be approved by the Planning Commission.

3. If needed to accommodate additional landscaping, two parking spaces may be eliminated for a total of 27 parking spaces. The revised site plan shall be to the satisfaction of the Community Development Director and City Engineer.
4. The landscape planter along the property frontage of the new building shall be increased to ten (10) feet or as wide as practicable. This will require the landscape planter in the rear to be reduced and the building moved to the west. Also, landscaping shall be provided in the front of the remodeled Conference Center. The final design shall be to the satisfaction of the Community Development Director.
5. The following architectural modifications shall be incorporated:
 - a. Remodeled Building - The canopy shall be extended to the south over the door thereby eliminating the perpendicular awning.
 - b. Remodeled and New Buildings - Gooseneck lighting shall replace the wall sconce lighting on the east elevation and at the doorways.
6. If approved by Caltrans, new black metal fencing or equivalent shall be installed along the Caltrans right-of-way for the entirety of the property replacing the existing chain link fencing. The new fencing shall be shown on the improvement plans and constructed to the satisfaction of the Community Development Director and Caltrans.
7. The trash enclosures shall be constructed of six-foot high masonry walls with solid metal gates. Enclosure finishes shall match the building in color and texture and should include natural materials. Landscaping shall be installed on all non-accessible sides.
8. The existing pylon sign shall be demolished as proposed. The proposed wall signage shall be removed from the plans as being inconsistent with the City's Design Guidelines and Sign Ordinance. Prior to the modification of the monument, the applicant shall obtain a sign permit from the Community Development Department.
9. All trash and storage areas, mechanical equipment, and all other building appurtenances (i.e. utility meters, electrical boxes, air conditioners, fire sprinkler backflow valves, etc.) shall be screened from public view and adjacent properties. Details shall be shown on the final construction and/or improvement plans. All screening materials shall be consistent with the main building materials and colors. Roof-mounted screens and vents shall be compatible with the final roof materials and colors.
10. Energy efficient LED lighting and high efficiency HVAC and appliances shall be used for the project.

**FINDINGS & CONDITIONS OF APPROVAL
BEST WESTERN HOTEL DEVELOPMENT REVIEW AND USE PERMIT
(22PLN-21)**

11. Prior to construction, the applicant shall obtain the requisite building, plumbing, mechanical and electrical permits from the building division, in compliance with the California Codes.
12. The applicant shall pay all City impact fees prior to issuance of a grading and/or building permit or issuance of a Certificate of Occupancy, as applicable.
13. With five (5) days of approval of the project, the applicant shall record the Notice of Exemption (NOE) with the Nevada County Clerk/Recorder.
14. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

B. PRIOR TO ISSUANCE OF GRADING PERMIT, THE FOLLOWING CONDITIONS SHALL BE SATISFIED:

1. The applicant shall submit to the City Engineer for review and approval, an improvements and grading plan prepared by a Registered Civil Engineer; shall obtain a Grading Permit; and shall pay all appropriate fees for plan check and inspection. The grading and improvement plans shall include but not be limited to roadway/driveway/parking lot slopes and elevations, curb, gutters, sidewalks, striping and signing, paving, water and sewer pipelines, storm drains, street/parking lot lights, accessible access from the sidewalk to the building and from the accessible parking spaces to the building, retaining walls, any necessary alteration of existing utilities, and all easements, in accordance with City Improvement Standards.
2. The applicant shall submit to the City Engineer for review and acceptance two copies of a detailed Soils Engineering Report and Engineering Geology Report certified by a Civil Engineer registered in the State of California. In addition to the California Building Code requirements, the report shall specify the pavement structural sections for the proposed roadways in relation to the proposed traffic indexes. The improvements and grading plans shall incorporate the recommendations of the approved Soils Engineering Report and Engineering Geology Report. The project developer shall retain a civil engineer, soils engineer, and engineering geologist to provide professional inspection of the grading operations. If work is observed as not being in compliance with the California Building Code and the approved improvements and grading plans, the discrepancies shall be reported immediately in writing to the permittee, the building official, and the Engineering Division.
3. The applicant shall submit to the City Engineer for review and approval, drainage plans and hydrologic and hydraulic calculations in accordance with the City of Grass Valley Improvement Standards and Storm Drainage Master Plan & Criteria. All on-site drainage shall be treated prior to discharge to the City drainage system to eliminate the potential for any toxins to reach local waterways.

**FINDINGS & CONDITIONS OF APPROVAL
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(22PLN-21)**

4. If the project creates and/or replaces 5,000 sf. or more of impervious surfaces, measures must be implemented for site design, source control, runoff reduction, storm water treatment and baseline hydro modification management measures per the City of Grass Valley Design Standards.
5. If more than 50 cubic yards of soil is disturbed with the project, a detailed grading, permanent erosion control and landscaping plan shall be submitted for review and approval by the Engineering Division prior to commencing grading. Erosion control measures shall be implemented in accordance with the approved plans. Any expenses made by the City to enforce the required erosion control measures will be paid by deposit.
6. The improvements and grading plans shall be signed by all other jurisdictional agencies involved (i.e. NID), prior to receiving City Engineer approval.
7. Per the Development Code, the Grading Permit shall expire one (1) year from the effective date of the permit unless an extension is granted by the City Engineer (for up to 180 days).
8. Further development of the site shall require the installation of sidewalk along the entire frontage of the parcel. The current asphalt driveway shall be replaced with ADA compliant concrete driveways per City Standard Detail ST – 9. All sidewalk fronting the property with cracks greater than ¼ inch in width and ½ or more vertical displacement shall be replaced.
9. The applicant shall submit final landscape and irrigation plans, prepared by a licensed landscape architect, for review and approval by the Planning and Engineering Divisions. Landscaping design shall comply with all provisions of the City's Water Efficient Landscape Ordinance.
10. A sewer backflow prevention device and pressure relief valve shall be required.

C. PRIOR TO INITIATING GRADING AND/OR CONSTRUCTION OF THE SITE IMPROVEMENTS FOR THE PROJECT, THE DEVELOPER SHALL COMPLETE THE FOLLOWING:

1. Prior to any work being conducted within the State, County or City right-of-way, the applicant shall obtain an Encroachment Permit from the appropriate Agency(s).
2. A minimum of forty-eight (48) hours prior to commencement of grading activities, the developer's contractor shall notify both the Community Development Department and Engineering Division of the intent to begin grading operations. Prior to notification, all grade stakes shall be in place identifying limits of all cut and fill activities. After notification, Community Development and Engineering staff shall be provided the opportunity to field review the grading limits to ensure conformity with

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(22PLN-21)**

the approved improvement and grading plans. If differences are noted in the field, grading activities shall be delayed until the issues are resolved.

3. The applicant shall submit two copies to the Engineering Division of the signed improvement/grading plans.

D. DURING CONSTRUCTION, THE FOLLOWING CONDITIONS SHALL APPLY:

1. If prehistoric or historic-period archaeological resources or human remains are encountered during grading or excavation, work shall avoid altering the materials and their context until a qualified professional has evaluated, recorded, and determined appropriate treatment of the resource, in consultation with the City. Project personnel shall not collect cultural resources. Cultural resources shall be recorded on DPR 523 historic resource recordation forms. If it is determined that the proposed development could damage a unique archaeological resource, mitigation shall be implemented in accordance with Public Resources Code Section 21083.2 and Section 15126.4 of the CEQA Guidelines, with a preference for preservation in place. If human remains are discovered, mitigation shall be implemented in compliance with CEQA section 15064.5.
2. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Nevada County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all these agencies.
3. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period.
4. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted by the applicant, for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
5. Where trucks may transport excavated material off-site unless the loads are adequately wetted and either covered with tarps or loaded such that the material does not touch the front, back or sides of the cargo compartment at any point less than six inches to the top of the cargo compartment. Also, all excavated material must be properly disposed of in accordance with the City's Standard Specifications.
6. The contractor shall comply with all Occupational Safety & Health Administration (OSHA) requirements.

**FINDINGS & CONDITIONS OF APPROVAL
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(22PLN-21)**

7. Construction and demolition waste recycling shall occur in accordance with Waste Management requirements.
8. For any public work, the contractor shall comply with all Department of Industrial relations (DIR) requirements including complying with prevailing wage requirements.

E. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY:

1. The applicant shall obtain final approval from the City of Grass Valley, fire, planning, engineering, and building divisions.
2. The applicant's landscape architect shall submit a letter specifying that the landscaping and irrigation has been installed in accordance with the approved landscape plans.
3. The applicant's landscape architect or landscape contractor shall submit to the City for approval the "certificate of completion" form as required by MWELO.
4. The applicant shall conduct an irrigation audit pursuant to the requirements of the MWELO. This shall be conducted by a third-party certified landscape irrigation auditor that did not install or design the landscape and irrigation. Prior to the audit City must confirm the selected auditor complies with MWELO requirements.

F. FIRE DEPARTMENT:

1. The conversion of the existing building from a Group A – 3 Occupancy to a Group R – 1 Occupancy will require a change of occupancy.
2. All existing fire protection systems shall be modified as necessary to provide proper coverage for the new Group R – 1 Occupancy building.
3. The proposed building height is 32-feet, 9-inches, which exceeds the maximum building height of 30-feet allowable for regular fire apparatus access. The project will require Aerial Fire Apparatus Access in accordance with 2019 CFC Appendix D, Section D105 and its sub-sections.
4. Landscape shall not obstruct fire apparatus access to the drive aisles and/or the building when planted and/or when it has reached mature growth heights. The proposed landscape plan appears to have issues with both.

G. NEVADA IRRIGATION DISTRICT:

1. NID will require sufficient Right-of-Way for any proposed facilities, if necessary.
2. Appropriate backflow prevention will be required on any and all connections to NID's system, at applicant's expense.

BUILDING REMODEL AND NEW HOTEL BUILDING
FOR
HERITAGE HOTEL GROUP



REMODELED BUILDING



NEW HOTEL BUILDING

PROJECT INFORMATION

SCOPE: REMODELING OF AN EXISTING BUILDING TO HOTEL USE, CONSTRUCTION OF A NEW HOTEL BUILDING

SITE: 1012 SUTTON WAY
GRASS VALLEY, CA 95945
APN:095-400-026

OWNER: HERITAGE HOTEL GROUP
ATTN: HAMID KAZEMI
912 SUTTON WAY
GRASS VALLEY, CA
(530) 265-5824

ZONING: OF 6V CITY - OFFICE PROFESSIONAL

OCCUPANCY: R-1

OCCUPANTS
(PER CBC 1004.1.1): REMODELED BUILDING = 92 OCC.
NEW BUILDING = 92 OCC.

CONSTRUCTION TYPE: V-B, SPRINKLERED

SQUARE FOOTAGE: REMODELED SPACE: FIRST FLOOR - 9,040 S.F.
SECOND FLOOR - 9,040 S.F.
NEW HOTEL: FIRST FLOOR - 5,182 S.F.
SECOND FLOOR - 5,182 S.F.

LOT SIZE: 1.0 ACRES/43,560 S.F.

LOT COVERAGE: BUILDING COVERAGE: 6,916 S.F. 14.5%
SURFACE AREA: 29,019 S.F. 66.1%
LANDSCAPING/OPEN: 9,164 S.F. 19.3%
TOTAL: 43,560 S.F. 100%

PARKING: REQUIRED PARKING SPACES: 91
(PER TABLE S-3.1 (LOADING)
1 SPACE FOR EACH UNIT (21 UNITS)
PLUS
3 SPACES FOR THE MANAGER
PROPOSED PARKING SPACES: 91

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A3.2	NEW BUILDING - SECOND FLOOR PLAN
A3.3	REMODELED BUILDING - FIRST FLOOR PLAN
A3.4	REMODELED BUILDING - SECOND FLOOR PLAN
A5.1	ELEVATIONS - REMODELED BUILDING
A5.2	ELEVATIONS - REMODELED BUILDING
A5.3	ELEVATIONS - NEW BUILDING
A5.4	ELEVATIONS - NEW BUILDING
A5.5	MATERIAL PALLETTE
E0	LIGHTING FIXTURES, GEN. NOTES
E1	PHOTOMETRIC PLAN
E2	ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS



Revisions

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sitaline architecture

Andrew J. Pawlowski, Architect, LEED AP

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BEST WESTERN REMODEL/NEW BUILDING

for

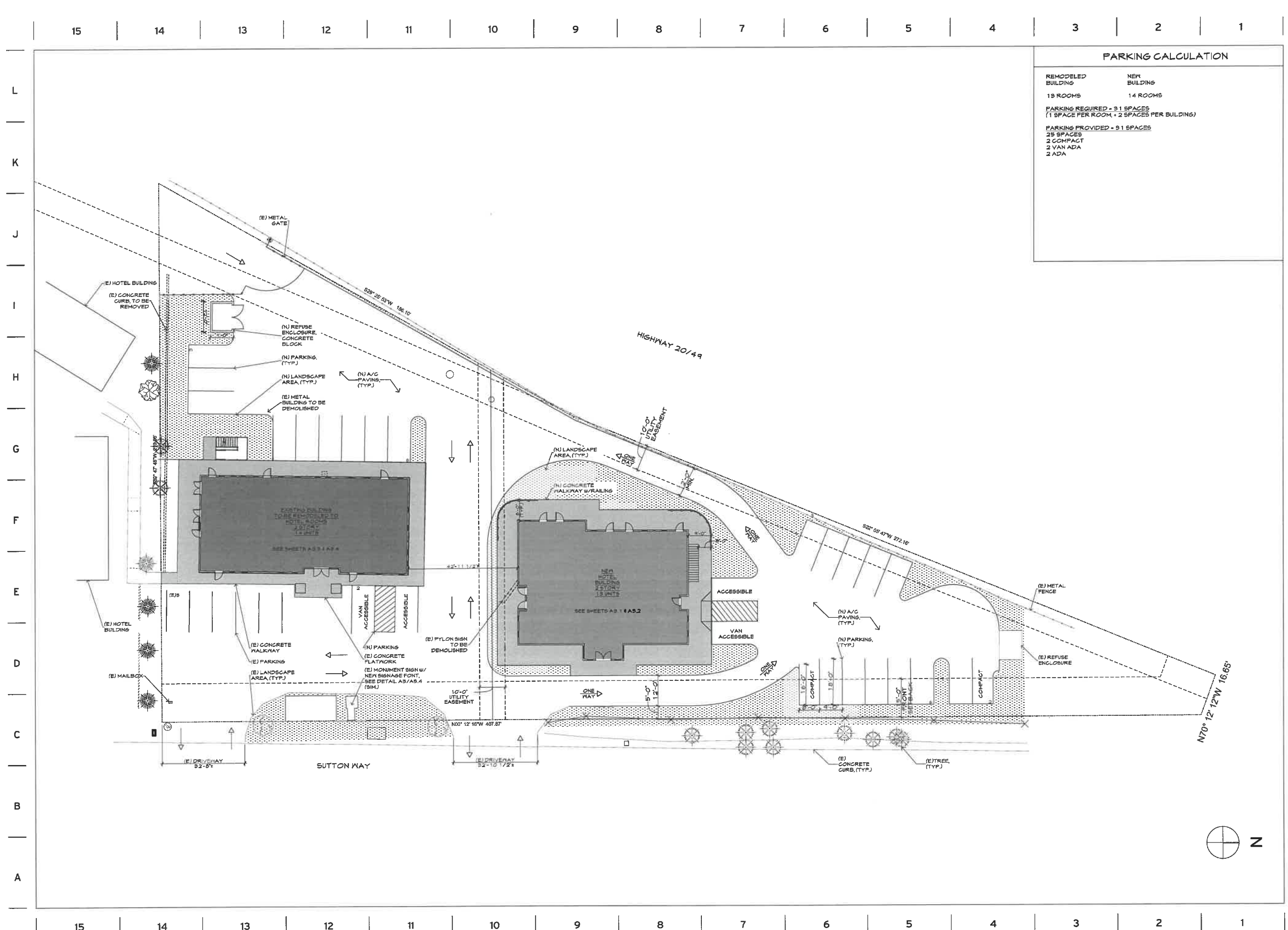
HERITAGE HOTEL GROUP

1012 SUTTON WAY, GRASS VALLEY, APN:095-400-026

5/23/22
NONE
#21-088

COVER SHEET

A0



PARKING CALCULATION	
REMODELED BUILDING	NEW BUILDING
13 ROOMS	14 ROOMS
PARKING REQUIRED = 31 SPACES (1 SPACE PER ROOM, + 2 SPACES PER BUILDING)	
PARKING PROVIDED = 31 SPACES	
25 SPACES	
2 COMPACT	
2 VAN ADA	
2 ADA	



Revisions

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BEST WESTERN REMODEL/NEW BUILDING

for

HERITAGE HOTEL GROUP

1012 SUTTON WAY, GRASS VALLEY, CA 95935-400-026

5/23/22
1/16" = 1'-0"
#21-088

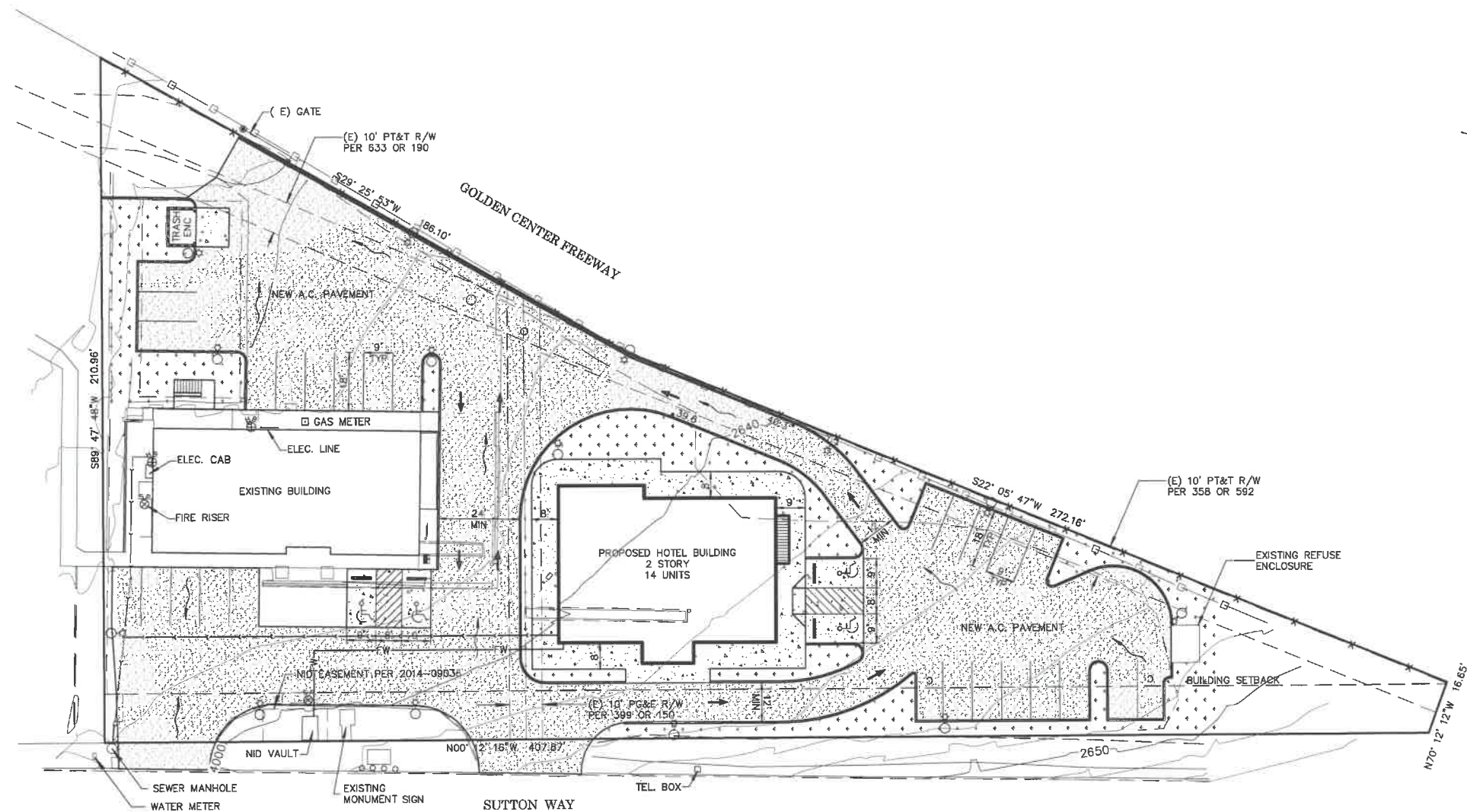
SITE PLAN

A 1.1

RAZ

SCALE: 1" = 20'
CONTOUR INTERVAL = 2'

- LEGEND:**
- 2100 EXISTING CONTOUR W/ ELEVATION
 - EDGE OF PAVEMENT
 - EDGE OF CONCRETE
 - EXISTING FLOWLINE
 - EXISTING TOE OF FILL
 - EXISTING ROW FENCELINE
 - NEW DECORATIVE METAL FENCE PER LANDSCAPE PLANS
 - CONTROL/ BENCHMARK, 8" SPIKE
 - FOUND MONUMENT AS NOTED
 - TREE SIZE & DESCRIPTION (BO-BLACK OAK)
 - BOLLARD/ GUARDPOST
 - STORM DRAIN
 - GATE POST
 - STAND PIPE
 - HOSE BIBB
 - PROPOSED POLE LIGHT
 - SITE DRAINAGE PATTERN



CLIENT NAME: HERITAGE HOTEL GROUP
JOB NUMBER: 21-172

REVISION:	DATE:	DESCRIPTION:
1	8/19/21	SUBMITTAL

CONCEPTUAL SITE PLAN
FOR
HERITAGE HOTEL GROUP
BEING
THE N 1/2 OF THE E 1/2 THE
SW 1/4 OF THE NW 1/4 OF
SECTION 24, T. 16, R. 8E
WITHIN THE UNINCORPORATED TERRITORY OF
NEVADA COUNTY, CALIFORNIA

NOTE:
ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED BASIS
OF 2100.00 FOR SURVEY CONTROL POINT 1 SHOWN HEREON

PLAN NOTES

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY INLINE DRIP EMITTER TUBING.
2. ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLANTED WITHIN FIVE FEET OF ANY HARDSCAPE ELEMENT.

PLANTING AREAS

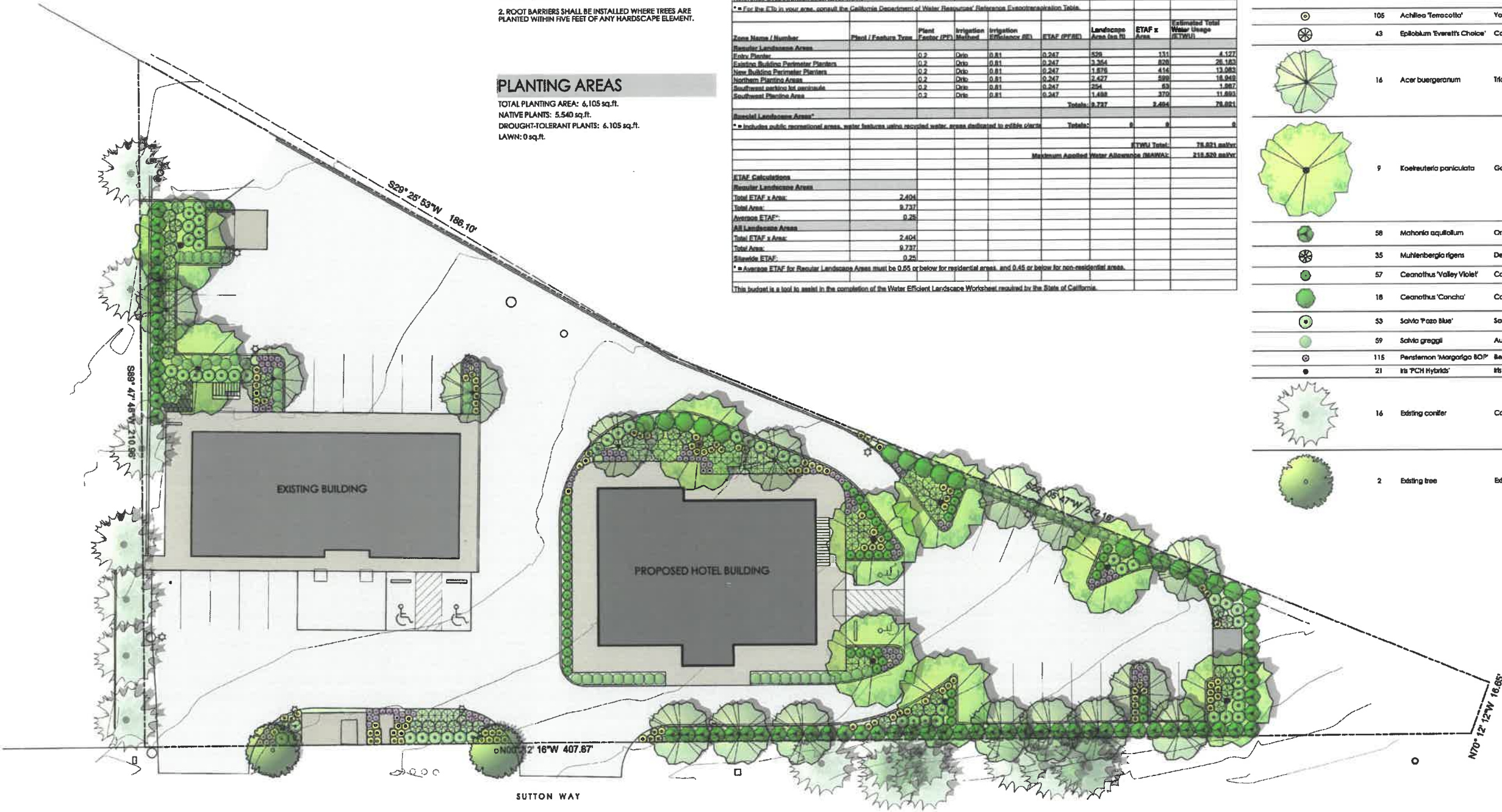
TOTAL PLANTING AREA: 6,105 sq.ft.
NATIVE PLANTS: 5,540 sq.ft.
DROUGHT-TOLERANT PLANTS: 6,105 sq.ft.
LAWN: 0 sq.ft.

California MWELO Water Budget

Reference: Evapotranspiration (ETa): 51.0								
* For the ETa in your area, consult the California Department of Water Resources' Reference Evapotranspiration Table.								
Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Usage (ETWU)
Regular Landscape Areas								
Entry Planter	0.2	Drin	0.81	0.247	559	151	4,127	
Existing Building Perimeter Planters	0.2	Drin	0.81	0.247	3,354	828	28,163	
New Building Perimeter Planters	0.2	Drin	0.81	0.247	1,878	414	13,983	
Northern Planting Areas	0.2	Drin	0.81	0.247	2,427	589	18,948	
Southeast parking lot perimeter	0.2	Drin	0.81	0.247	254	63	1,887	
Southeast Planting Area	0.2	Drin	0.81	0.247	1,488	370	11,893	
Totals:						9,737	2,484	78,821
Rooftop Landscape Areas*								
Totals:						0	0	0
						ETWU Total:		78,821 gallons
						Maximum Allowed Water Allowance (MAWA):		218,529 gallons
ETAF Calculations								
Regular Landscape Areas								
Total ETAF x Area:						2,404		
Total Area:						9,737		
Average ETAF:						0.25		
All Landscape Areas								
Total ETAF x Area:						2,404		
Total Area:						9,737		
Sitewide ETAF:						0.25		
* Average ETAF for Regular Landscape Areas must be 0.25 or below for residential areas, and 0.45 or below for non-residential areas.								
This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.								

PLANT LEGEND

Symbol	Qty	Botanical Name	Common Name	Scheduled Size
	105	Achillea 'Terracotta'	Yarrow	1 gallon
	43	Epilobium 'Everett's Choice'	California fuchsia	1 gallon
	16	Acer buergerianum	Trident maple	15 gallon
	9	Koeleria paniculata	Golden rain tree	24" box
	58	Mahonia aquifolium	Oregon grape	5 gallon
	35	Muhlenbergia rigens	Deer grass	1 gallon
	57	Ceanothus 'Valley Violet'	California lilac	5 gallon
	18	Ceanothus 'Candida'	California lilac	5 gallon
	53	Salvia 'Pazo Blue'	Sage	5 gallon
	59	Salvia greggii	Autumn sage	1 gallon
	115	Penstemon 'Margarita BOP'	Beardtongue	1 gallon
	21	Iris 'PCH Hybrids'	Iris PCH Hybrid	1 gallon
	16	Existing conifer	Conifer	
	2	Existing tree	Existing tree	



PRELIMINARY LANDSCAPE PLAN
Scale: 1/16" = 1'-0"
0 14 28 FT



karin kaufman
LANDSCAPE ARCHITECT
www.karinkauffman.net
530-559-3007
CALIFORNIA LICENSE #5446

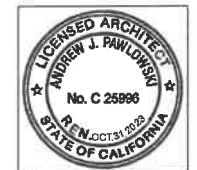
SUBMITTAL DESIGN REVIEW
DATE 5/19/2022

PRELIMINARY
LANDSCAPE PLAN
HERITAGE HOTEL GROUP
GRASS VALLEY, CALIFORNIA

L1



NOTES



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BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN:035-400-026

5/23/22
#21-088

NEW BUILDING -
FIRST FLOOR
PLAN
A3.1

A 15 FIRST FLOOR PLAN - NEW HOTEL BUILDING

1/4" = 1'-0"



NOTES



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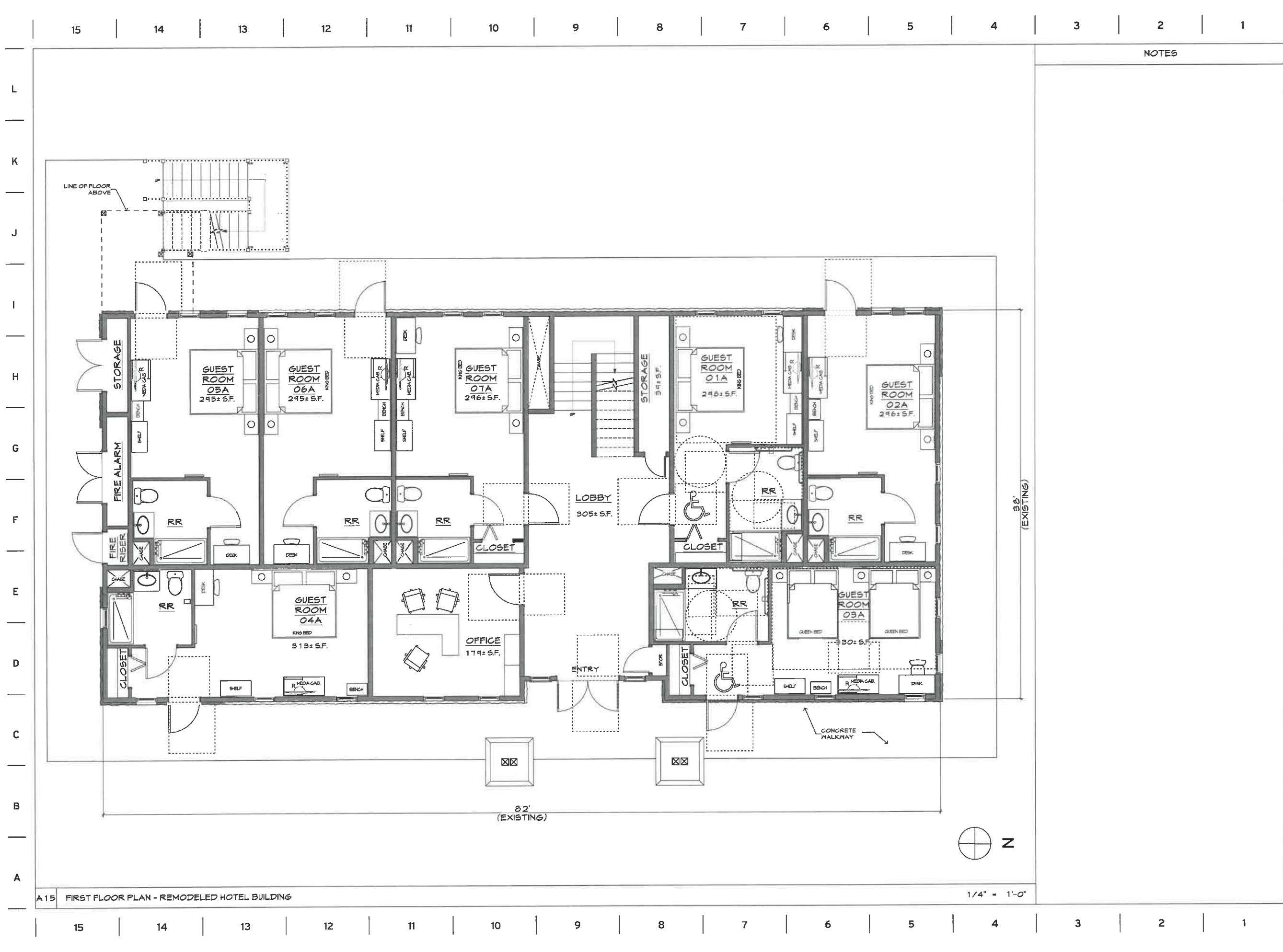
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for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, CA 95935-400-026

5/23/22
#21-088

NEW BUILDING -
SECOND FLOOR
PLAN
A3.2



1/4" = 1'-0"



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BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN035-400-026

5/23/22
#21-088

REMODELED
BUILDING - FIRST
FLOOR PLAN
A3.3



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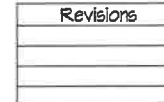
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for
HERITAGE HOTEL GROUP
1012 SUTTON WAY, GRASS VALLEY, APN035-400-026

5/23/22
#21-088

REMODELED
BUILDING -
SECOND FLOOR
PLAN
A3.4

A 15 SECOND FLOOR PLAN - REMODELED HOTEL BUILDING

1/4" = 1'-0"



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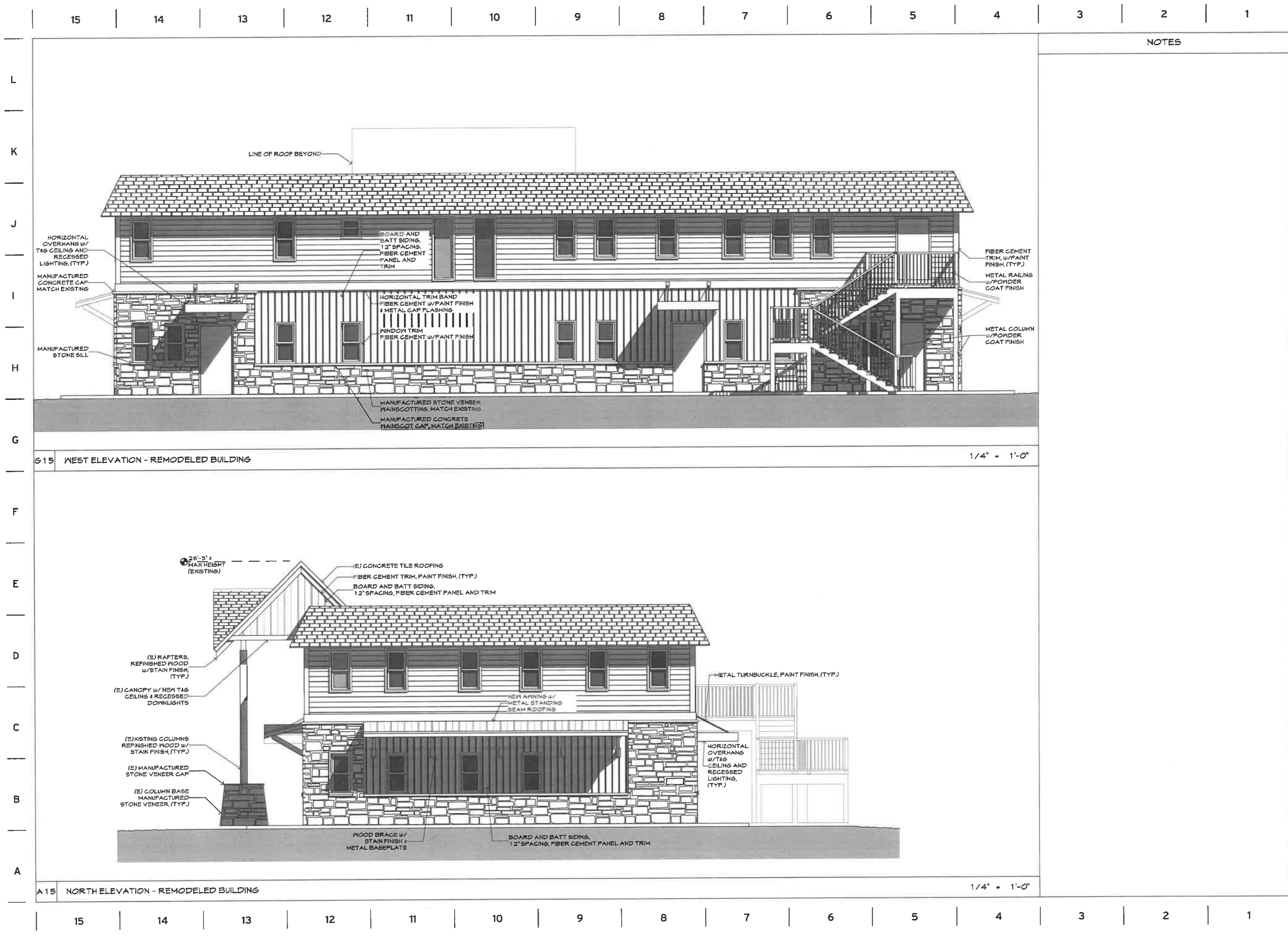
BEST WESTERN REMODEL/NEW BUILDING
for
HERITAGE HOTEL GROUP

#21-088

ELEVATIONS -
REMODELED
BUILDING

A5.1





NOTES



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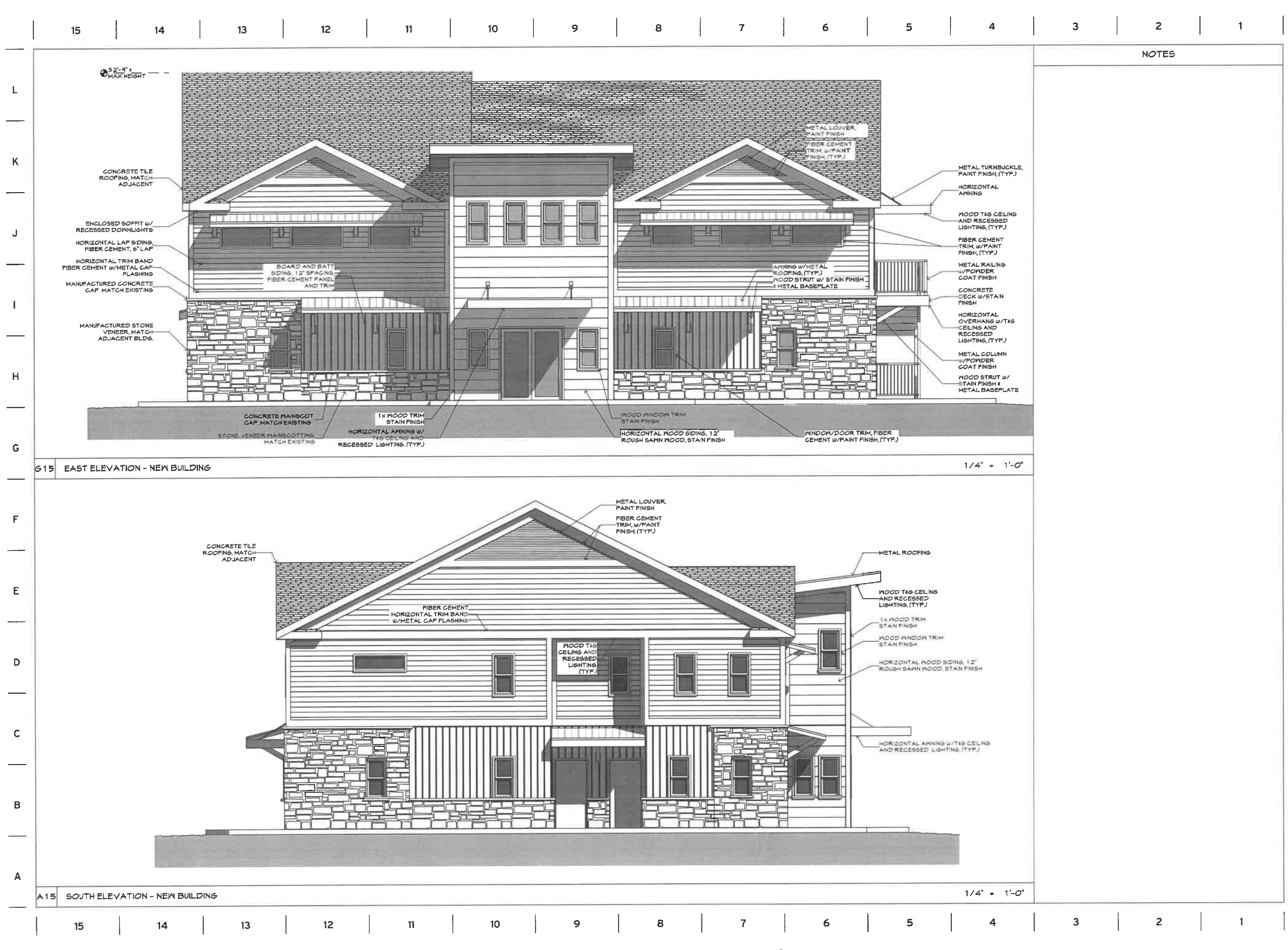
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for
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1012 BUTTON WAY, GRASS VALLEY, CA 95939-400-026

5/23/22
#21-088

ELEVATIONS -
REMODELED
BUILDING
A5.2



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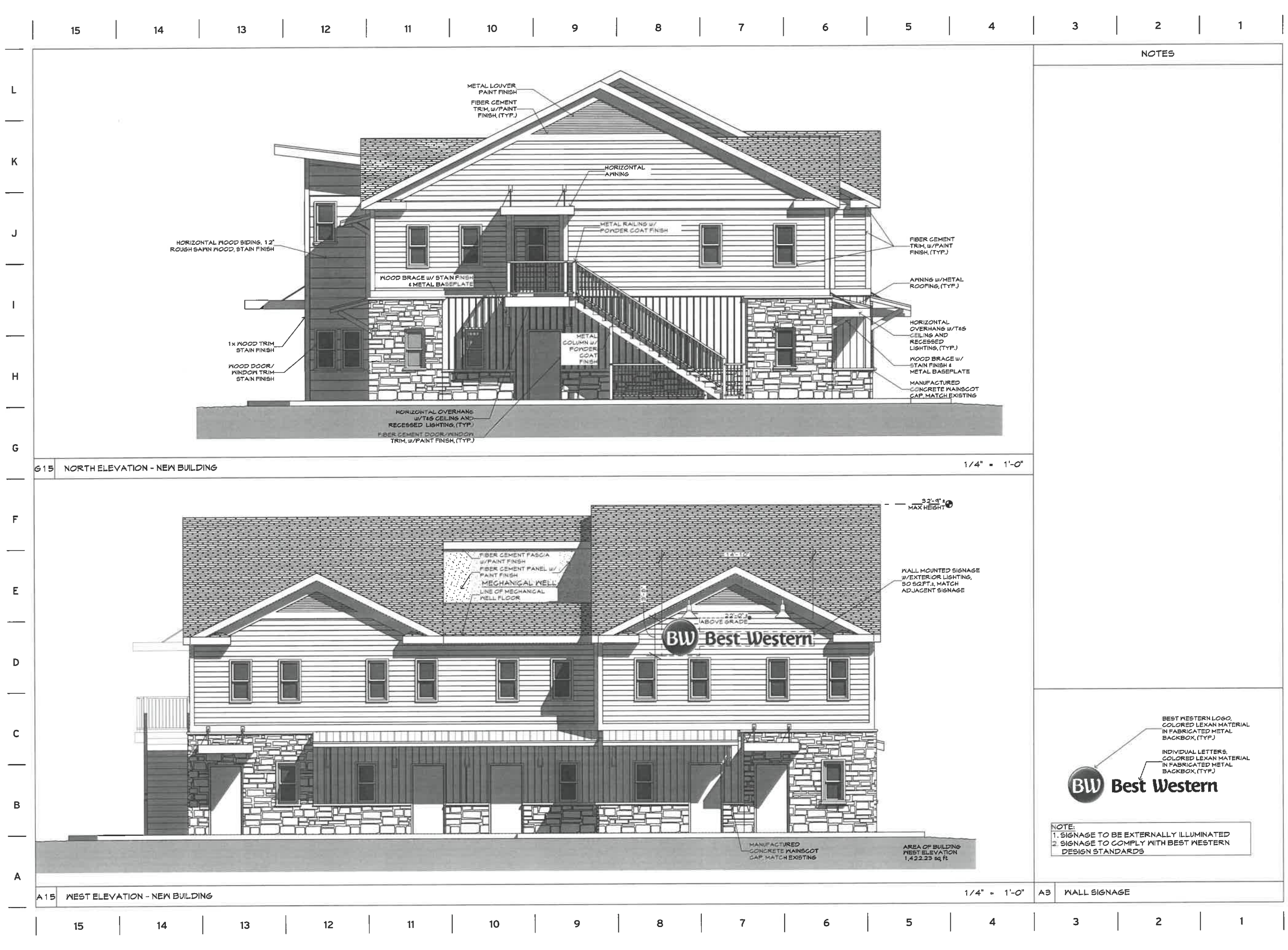
5/23/22

#21-088

ELEVATIONS -
NEW BUILDING

A5.3





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BEST WESTERN REMODEL/NEW BUILDING

for

HERITAGE HOTEL GROUP

1012 SUTTON WAY, GRASS VALLEY, APN 035-400-026

5/23/22

#21-088

ELEVATIONS - NEW BUILDING

A5.4

NOTE:

1. SIGNAGE TO BE EXTERNALLY ILLUMINATED

2. SIGNAGE TO COMPLY WITH BEST WESTERN DESIGN STANDARDS

BW Best Western

BEST WESTERN LOGO, COLORED LEXAN MATERIAL IN FABRICATED METAL BACKBOX, (TYP.)

INDIVIDUAL LETTERS, COLORED LEXAN MATERIAL IN FABRICATED METAL BACKBOX, (TYP.)

WALL SIGNAGE



METAL ROOFING

ROOFING, AWNINGS,
HORIZONTAL AWNINGS

STANDING SEAM METAL
ROOFING

MCELROY METAL
"DARK BRONZE"

R1



EXTERIOR SIDING
HORIZONTAL LAP SIDING,
METAL LOUVERS

FIBER CEMENT SIDING W/
PAINT FINISH

BENJAMIN MOORE PAINT
"OLD WORLD ROMANCE"
303

P1



STAIRS
CONCRETE TREADS W/
STEEL STRUCTURE

STAINED CONCRETE FINISH

BEHR
CONCRETE STAIN
"SLATE GRAY"
PFC - SOCS - 63

C1



SIDING ACCENTS
FIBER CEMENT TRIM,
HORIZONTAL BAND,
PAINT FINISH

BENJAMIN MOORE
PAINT

"WHITE"

P3



WOOD ACCENTS
WOOD MOLDING /
COLUMNS W/PAINT
FINISH, AWNING
BRACES

MINWAX
"ACCLUVIUM"
MW4 17

S3



ROOFING TILE
(EXISTING CONCRETE
ROOF TILE)

MEDIUM BROWN

R2



EXTERIOR SIDING
HORIZONTAL SIDING

COMPOSITE SIDING

TREX
TREX CLADDING
"ISLAND MIST"

S2



STONE VENEER
WAINSCOT, STONE
SIDING

MANUFACTURED
STONE VENEER

EL DORADO STONE
STACKED STONE
"DRY CREEK"

V1



**GUTTER /
DOWNSPOUT**
METAL GUTTER W/PAINT
FINISH

BENJAMIN MOORE PAINTS
"GRAPHITE"
1603

METAL DOWNSPOUTS PAINT
TO MATCH ADJACENT
FINISH

P4



METAL TRIM
METAL AWNINGS,
TURNBUCKLES, BRACE
PLATES, TRUSS PLATES,
STAIR RAILINGS, GUARD
RAILS

STEEL WITH PAINT FINISH

BENJAMIN MOORE PAINT
"GRAPHITE"
1603

P6



SOFFIT

2x WOOD, TONGUE AND
GROOVE, W/STAIN FINISH

MINWAX
"SMOKEWOOD"
MW407

S1



EXTERIOR SIDING
BOARD AND BATT SIDING

FIBER CEMENT SIDING W/
PAINT FINISH

BENJAMIN MOORE PAINT
"OLD WORLD ROMANCE"
303

P2



STONE ACCENTS
WAINSCOT CAP, STONE
WINDOW SILL, STONE SIDING
CAP, COLUMN BASE CAP

MANUFACTURED STONE
VENEER

EL DORADO STONE
SNAPPED EDGE
"SAND"

V2



DOORS/WINDOWS
METAL FRAME/PANEL
W/POWDER COAT FINISH

MILGUARD
"ESPRESSO"

P5



DOORS/WINDOWS
METAL WINDOW W/WOOD
TRIM

MILGUARD
"ESPRESSO" (PREMIUM)

P7

ELECTRICAL GENERAL NOTES

- 1) ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS AMENDED AND ADOPTED BY THE AUTHORITY(IES) HAVING JURISDICTION: 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA FIRE CODE (CFC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA GREEN BUILDING CODE (CGC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND ANY OTHER LOCAL CODES, ORDINANCES, REGULATIONS, OR AUTHORITIES HAVING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHER CODES AND REGULATIONS APPLICABLE TO THIS PROJECT. THESE CODES SHALL DETERMINE MINIMUM REQUIREMENTS FOR MATERIALS, METHODS, AND LABOR PRACTICES NOT OTHERWISE DEFINED IN THESE SPECIFICATIONS.
- 2) ALL CONDUCTORS SHALL BE PER DESIGN SHEETS. CEC AND MAXIMUM VOLTAGE DROP OF 5% WILL DEFINE CONDUCTOR SIZING.
- 3) ALL CONDUCTORS SHALL BE IN CONDUITS, U.O.M. CONDUITS SHALL BE USED IN THE FOLLOWING METHODS:
- POLYVINYL CHLORIDE (PVC) CONDUITS ALLOWED FOR UNDERGROUND OTHERWISE PROVIDE RMC OR IMC, INSTALL PER CEC TABLE 300.5 BURAL DEPTH REQUIREMENTS
- ELECTRICAL METALLIC TUBING (EMT) WITH COMPRESSION FITTINGS MAY BE USED IN OR ON WALLS OR CEILINGS WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP CONDITIONS OR CORROSIVE CONDITIONS
- LIQUID TIGHT FLEXIBLE METAL CONDUIT WHERE REQUIRED
- FLEXIBLE METALLIC CONDUIT, WHERE REQUIRED BY CEC, IN DRY LOCATIONS. NOTE: ALL CONDUITS IN HAZARDOUS LOCATIONS (PER CEC) SHALL MEET THE REQUIREMENTS OF CEC CHAPTER 5.
- CONNECTION TO LIGHT FIXTURES ABOVE LAY-IN CEILING MAY USE 3/8" FLEXIBLE METAL CONDUIT PER CEC 348.20(A)(2)
- ALL EXPOSED CONDUIT SUBJECT TO WEAR OR COLLISION SHALL BE RIGID GALVANIZED STEEL (RGS) OR INTERMEDIATE METALLIC TUBING (IMT). APPLY BITUMASTIC COATING TO ALL METALLIC CONDUITS IN SLABS OR UNDERGROUND.
- PROVIDE FIRE RESISTANT U.L. APPROVED SEALANT ON ALL RACEWAY PENETRATIONS OF FIRE RATED CEILINGS, PARTITIONS, WALLS AND STRUCTURAL SLABS.
- 4) FOR TELEPHONE SYSTEM: PROVIDE GROUNDING FOR ALL TELEPHONE BACKBOARDS, TERMINAL CABINETS AND EQUIPMENT PER REQUIREMENTS OF CEC 800 AND TELEPHONE COMPANY.
- 5) ALL EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED DISCONNECTING MEANS PER CEC. ALL DISCONNECT SWITCHES SHALL BE SIZED PER CEC TO ACCOMMODATE EQUIPMENT SERVED, INCLUDING REQUIRED FUSES, U.O.M. SWITCHES SHALL BE HORSE POWER RATED, OF HEAVY DUTY TYPE. PROVIDE MEANS FOR PAD LOCKING IN THE OPEN POSITION.
- 6) ALL CIRCUIT BREAKERS SHALL BE INVERSE TIME (THERMAL MAGNETIC) "PERMANENT TRIP" TYPE. TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. AMPCITY IS EQUAL TO OR GREATER THAN CIRCUIT BREAKER FRAME AMPERE RATING.
- 7) ALL CONNECTIONS TO GROUND RODS AND GRID, ETC., SHALL BE MADE WITH U.L. APPROVED WELDED CONNECTIONS, UNLESS NOTED OTHERWISE.
- 8) LIGHTING SYSTEMS SHALL COMPLY WITH CEC. ALL LIGHTING FIXTURES, LAMPS, BALLASTS, DIMMER SWITCHES, AND CONTROLS SHALL BE CERTIFIED WITH THE CALIFORNIA ENERGY COMMISSION AS MEETING ALL CEC REQUIREMENTS AND BE LISTED IN THE APPLICABLE ENERGY COMMISSION DIRECTORY. ALL SUCH DEVICES AND EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. LIGHT FIXTURES IN SUSPENDED CEILINGS SHALL BE SUPPORTED IN STRICT ACCORDANCE WITH CBC SEISMIC REQUIREMENTS.
- 9) LIGHT POLLUTION REDUCTION: OUTDOOR LIGHTING SYSTEMS SHALL BE INSTALLED TO COMPLY WITH THE FOLLOWING:
1) THE MINIMUM REQUIREMENTS IN CEC FOR LIGHTING ZONES 0-4 AS DEFINED IN CH. 10 OF CAC
2) BACKLIGHT RATINGS AS DEFINED IN IES TM-15-11
3) UPLIGHT AND GLARE RATINGS AS DEFINED IN CEC TABLES 130.2-A AND 130.2B
4) ALLOWABLE BUG RATING NOT EXCEEDING THOSE SHOWN IN TABLE 5.106.B, OR
COMPLY WITH A LOCAL ORDINANCE LAWFULLY ENACTED PURSUANT TO SECTION 101.7, WHICHEVER IS MORE STRINGENT.
- 10) ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC. SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL. ALL EQUIPMENT SHALL BE RAIN TIGHT WHERE EXPOSED TO THE WEATHER. ALL FLEX CONDUITS CONNECTED TO SUCH EQUIPMENT SHALL BE METALLIC LIQUID TIGHT. ALL EQUIPMENT IN HAZARDOUS LOCATIONS, PER CEC, CHAPTER 5, SHALL BE IN ACCORDANCE WITH THE CEC. ALL EQUIPMENT IN CORROSIVE ENVIRONMENTS SHALL BE IN ENCLOSURES (SUCH AS NEMA 4X) RATED FOR THE ENVIRONMENT.
- 11) UTILITY SERVICE AND REQUIREMENTS SHALL BE COORDINATED WITH POWER SERVICE WITH POWER COMPANY; PROVIDE FOR ALL STANDARD POWER COMPANY REQUIREMENTS. FAULT CURRENT RATINGS SHALL BE PROVIDED BY UTILITY.
- 12) THE LAYOUTS OF THE CONTRACT DRAWINGS ARE DIAGRAMMATIC. IT IS NOT INTENDED TO SHOW EVERY OFFSET AND FITTING, NOR EVERY STRUCTURAL DIFFICULTY THAT WILL BE ENCOUNTERED DURING THE INSTALLATION OF THE WORK. ALIGNMENT OF EQUIPMENT AND ROUTINGS OF RACEWAYS MAY BE VARIED SLIGHTLY TO ACCOMMODATE ARCHITECTURAL CONDITIONS OR TO AVOID THE WORK OF OTHER TRADES. IF ANY CONFLICTS OCCUR NECESSITATING DEPARTURES FROM CONTRACT DRAWINGS, DETAILS OF DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED AS SOON AS PRACTICABLE FOR WRITTEN APPROVAL OF THE ENGINEER.
- 13) THE WORD "CONTRACTOR", AS USED IN THE ELECTRICAL CONTRACT DOCUMENTS, SHALL MEAN THE PRIME (I.E. GENERAL) CONTRACTOR AND HIS/HER SUBCONTRACTORS FOR THE APPROPRIATE TRADE. WHERE THE OWNER ACTS AS HIS OWN CONTRACTOR, THE WORD CONTRACTOR APPLIES TO THE OWNER.
- 14) CONTRACTOR SHALL PROVIDE EVIDENCE OF LICENSING, BONDING, AND INSURANCE, AND PROVIDE OTHER NECESSARY ADMINISTRATIVE FUNCTIONS FOR CONTRACTOR'S WORK.
- 15) CONTRACTOR SHALL PROCURE AND PAY FOR ALL REQUIRED PERMITS AND SERVICE CHARGES.
- 16) COORDINATION: CONFORM TO GENERAL CONSTRUCTION CONTRACT DOCUMENTS EXCEPT AS MODIFIED HEREIN. REFER ALSO TO STRUCTURAL AND MECHANICAL CONTRACT DOCUMENTS. COORDINATE ALL WORK WITH OTHER TRADES.
- 17) CUTTING AND PATCHING: ANY CUTTING, ATTACHING, OR WELDING TO BUILDING STRUCTURE SHOULD BE COORDINATED AND APPROVED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER. PATCHING SUBJECT TO ACCEPTANCE BY OWNER.
- 18) SAW CUT TRENCHES IN SLAB SHALL BE FULLY RESTORED AND REINFORCED TO PREVENT SAGGING. ROUGHEN SAW CUT EDGES PRIOR TO RE-POURING CONCRETE.
- 19) COORDINATE ALL WORK WITH OTHER TRADES TO PROVIDE A COMPLETE INSTALLATION. CONNECT ALL EQUIPMENT FURNISHED BY OTHERS AS REQUIRED. INSTALL ALL WORK TO CLEAR ARCHITECTURAL AND STRUCTURAL MEMBERS. INSTALL ALL ABOVE GRADE (OVERHEAD) PIPING AS HIGH AS PRACTICAL.
- 20) RESTORE ALL DAMAGE RESULTING FROM THE WORK AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINISHED WITH WORK. ADJUST, CLEAN, REPAIR, OR REPLACE PRODUCTS, WHICH HAVE BEEN DAMAGED.
- 21) PROVIDE FLASHING AND COUNTER FLASHING FOR ALL WALL AND ROOF PENETRATIONS.
- 22) WARRANTY: ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE GUARANTEED FREE FROM ALL MECHANICAL, ELECTRICAL, AND WORKMANSHIP DEFECTS FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE PREMISES CAUSED BY WORK UNDER THIS CONTRACT, AS WELL AS ANY DAMAGE FROM LEAKS VIA ROOF PENETRATIONS MADE AND SEALED UNDER CONTRACTOR'S SCOPE.

LIGHTING FIXTURE SCHEDULE

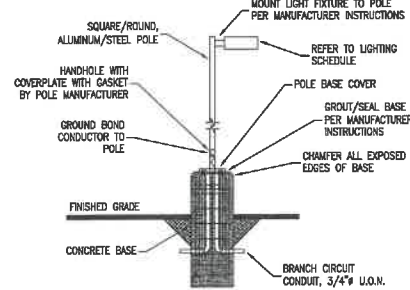
TAG	TYPE	MANUF.	SERIES	MODEL	QTY.	MOUNTING	VOLT.	WATTAGE	SOURCE	LUMENS	CCT	REMARKS
A	DOWNLIGHT	LITHONIA	-	GLBK RD	2	RECESSED	120	10.9	LED	870	4000K	
01	OUTDOOR SCONCE	LITHONIA	OMERO	MRW LED 1 104700/40K SR2 1VOLT	13	WALL @10' ABOVE GRADE	120	24	LED	2010	4000K	
02	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL2	3	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4834	4000K	
02S	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL2-HSS	3	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4834	4000K	INSTALL WITH HOUSE SIDE SHIELDS
03	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL3	2	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4801	4000K	
03S	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL3-HSS	2	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4801	4000K	INSTALL WITH HOUSE SIDE SHIELDS
04	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL4	1	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4758	4000K	
04S	OUTDOOR POLE	COOPER	RIDGEVIEW	RDG-F02-LED-E-U-SL4-HSS	1	POLE (SEE PLANS FOR MOUNTING HEIGHT)	120	55	LED	4758	4000K	INSTALL WITH HOUSE SIDE SHIELDS
NOTES: COORDINATE ALL ARCHITECTURAL TRIM AND ACCESSORY OPTIONS WITH OWNER EQUIVALENT FIXTURES ACCEPTABLE CONTINGENT ON OWNER APPROVAL												

ELECTRICAL SHEET INDEX

- E0 LIGHTING FIXTURES, GENERAL NOTES
- E1 ELECTRICAL PLAN – PHOTOMETRIC PLAN
- E2 ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS
- E3 ELECTRICAL LIGHTING ENERGY REPORT

ELECTRICAL SCOPE OF WORK

- 1) INSTALLATION OF NEW LIGHTING SYSTEMS AND ASSOCIATED POWER AND CONTROLS



- NOTES:
1. CONCRETE BASE SPECIFICATIONS BY STRUCTURAL ENGINEER OF RECORD
2. CONNECTION TO BASEPLATE & J-BOLTS TO BE DETERMINED BY STRUCTURAL ENGINEER OF RECORD BASED ON THE MANUFACTURER INSTALLATION INSTRUCTIONS

POLE LIGHT MOUNTING

ELECTRICAL LEGEND

- 2x4 LIGHT FIXTURE (SURFACE, RECESSED)
- 2x2 LIGHT FIXTURE (SURFACE, RECESSED)
- FIXTURE W/ BATTERY BACKUP (TYP. ALL SHADED FIXTURES)
- RECESSED DOWNLIGHT
- ROUND SURFACE MOUNT LIGHT
- PENDANT LIGHT
- TRACK LIGHT
- SIGNALIGHT
- WALL MOUNT LIGHT
- POLE MOUNT LIGHT – 2 HEAD
- POLE MOUNT LIGHT – 1 HEAD
- EXIT/EMERGENCY COMBO LIGHT
- EMERGENCY FIXTURE
- EXIT LIGHT
- CEILING EXHAUST FAN
- WALL MOUNTED SWITCH
- WALL MOUNTED 3-WAY SWITCH
- PHOTOCELL
- PRIMARY DAYLIGHT AREAS
- SECONDARY DAYLIGHT AREAS
- CEILING MOUNTED SENSOR
- DUPLEX OUTLET – WALL, FLOOR, CEILING MOUNTED
- QUADRUPLEX OUTLET – WALL, FLOOR, CEILING MOUNTED
- DECATOATED OUTLET – WALL, FLOOR, CEILING MOUNTED
- 2-POLE OUTLET – 208/240V – WALL, FLOOR, CEILING MOUNTED
- 30A, 120V OUTLET (NEMA 5-30R)
- 30A, 208/240V OUTLET (NEMA 6-30R)
- DUPLEX OUTLET WITH USB PORT
- PHONE-DATA PORT
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- JUNCTION BOX
- DISCONNECT – POLES (CAPACITY/FUSE)
- HOME RUN – PANEL-CIRCUIT(S)
- WIRE/CONDUIT – OVERHEAD
- WIRE/CONDUIT – UNDERGROUND
- POWER PANEL
- TRANSFORMER
- ABOVE FINISHED FLOOR
- HEIGHT (INCHES) AFF
- DIMMER
- OCCUPANCY SENSOR
- VACANCY SENSOR
- GROUND FAULT INTERRUPTER
- COUNTERHEIGHT (+44") AND GF
- WEATHERPROOF
- HORSEPOWER
- BRAKE HORSEPOWER
- NOT TO SCALE
- TYPICAL
- GROUND
- GROUNDING ELECTRODE CONDUCTOR
- MAIN SWITCHBOARD
- SYSTEM BONDING JUMPER
- SUPPLY SIDE BONDING JUMPER
- BRANCH CIRCUIT POWER METER
- UNLESS OTHERWISE NOTED

DATE

DESCRIPTION

REVISION

ISSUED FOR

DATE

PERMIT

04-14-2022

REGISTERED PROFESSIONAL ENGINEER
No. E23735
EXP. 12-31-2023
N. B. BATES
STATE OF CALIFORNIA

ISSUED FOR

DATE

PERMIT

04-14-2022

BEST WESTERN

1102 SUTTON WAY

GRASS VALLEY, CA 95945

SHEET TITLE

LIGHTING FIXTURES,
GEN. NOTES

SHEET NO.

E0

Item # 1.

31

- SHEET NOTES:
- (E) EXISTING
(N) NEW
(R) RELOCATED
(D) DEMO
 - ALL LIGHT FIXTURES/CONTROLS SHOWN ARE (N) U.O.N.
 - ALL POLE MOUNTED LIGHT FIXTURES TO HAVE CONCRETE POLE BASE
 - ALL EXTERIOR LIGHT FIXTURES TO BE CONTROLLED BY PHOTOCONTROL AND AUTOMATIC SCHEDULE CONTROL.

LIGHTING ZONE STATISTICS				
ZONE	NAME	AVERAGE FC	MAXIMUM FC	MINIMUM FC
A	PARKING LOT	1.6	4.3	0.2
B	WALKWAYS	3.8	6.3	1.0
C	TRASH ENCLOSURE	2.6	3.0	2.2
D	ADJACENT PROPERTY	0.0	0.6	0.0

- KEY NOTES:
- FIXTURES 02 AND 02S ARE MOUNTED AT 20' ABOVE GRADE U.O.N. FIXTURES 02 AND 02S ARE LESS THAN 6,200 LUMENS AND IS EXEMPT PER SECTION 130.2(b) OF THE CALIFORNIA ENERGY CODE
 - FIXTURES 03 AND 03S ARE MOUNTED AT 20' ABOVE GRADE U.O.N. FIXTURES 03 AND 03S ARE LESS THAN 6,200 LUMENS AND IS EXEMPT PER SECTION 130.2(b) OF THE CALIFORNIA ENERGY CODE
 - FIXTURES 04 AND 04S ARE MOUNTED AT 20' ABOVE GRADE. FIXTURES 04 AND 04S ARE LESS THAN 6,200 LUMENS AND IS EXEMPT PER SECTION 130.2(b) OF THE CALIFORNIA ENERGY CODE

DATE

DESCRIPTION

REVISION

DATE

21301

DOWN

AIN

CHECKED

DATE

04-14-2022

REGISTERED PROFESSIONAL ENGINEER

ANDREW M. BATES

No. E22735

EXP. 12-31-2023

STATE OF CALIFORNIA

ISSUED FOR

PERMIT

DATE

04-14-2022

OPTIMIZEDENERGY

& FACILITIES CONSULTING, INC.

5734 Lonepine Boulevard, Redding, CA 95765

Office: (816) 628-5518 www.oefco.com

BEST WESTERN

1102 SUTTON WAY

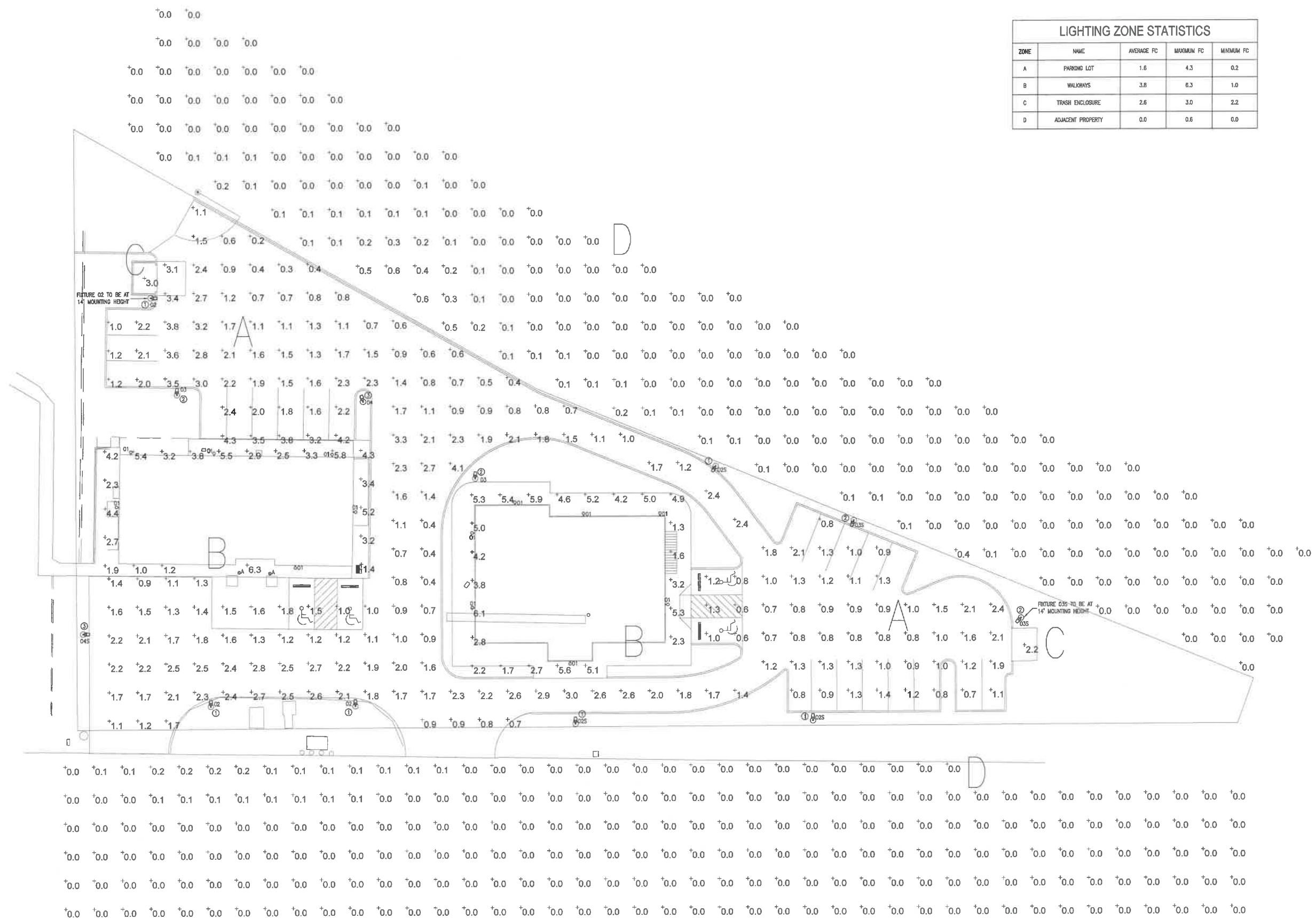
GRASS VALLEY, CA 95945

SHEET TITLE

PHOTOMETRIC PLAN

SHEET NO.

E1



A ELECTRICAL PLAN - SITE
SCALE: 1/16"=1'-0"



DESCRIPTION
The Ridgeview™ LED area luminaire is a compact, efficient, economical approach to LED area lighting. A pure blend of traditional form and LED efficiency, the Ridgeview luminaire provides functional, low-profile lighting with excellent operating performance. Pivoted pivoting modular LightBAR technology delivers uniform and energy conscious illumination to parking lots and perimeter security lighting applications.

SPECIFICATION FEATURES

Construction
Rugged one-piece, die-cast aluminum housing secures the thermally conductive LED panel and electrical chamber. Low profile, 30 vibration relief compact design maintains vertical load requirements. Extruded aluminum frame secured with stainless steel hardware conforms the LightBAR panel to the thermally conductive housing. The unique glaze brackets LightBAR panel allows for easy access to the electrical chamber.

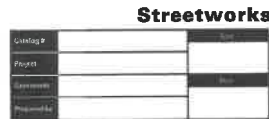
Optics
Crater of twelve patented, high-efficiency Acrylic LED optics™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the distribution of the distribution and maintaining efficiency and application lighting. Acrylic LED Optics™ technology, ensures consistent distribution with the capability to meet most common application requirements.

Mounting
Coast aluminum 8" x 18" includes solid gasket allowing for easy installation of the fixture during installation to pole, standard angle, or optional house side shield.

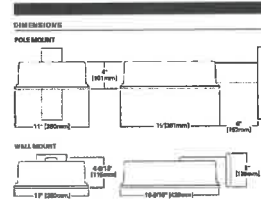
Accessories
LED driver can be field or factory installed. The house side shield is designed to seamlessly integrate with the GL2, GL3 or GL4 optics.

Electrical
LED driver is mounted to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard driver features electronic external voltage (120-277V 50/60Hz, 30W 60°C or 400V 50/60Hz operation, greater than 0.8 power factor, less than 22% harmonic distortion, and is suitable for operation in 40°C to 40°C ambient environments. All features are injected-molded with 100V/50A common and different mode surge protection. LightBAR features and PSE enclosure rating and maintain greater than 95% lumen maintenance available. Custom to meet Bay Area and other domestic performance requirements.

Warranty
Five-year warranty.



RIDGEVIEW
1 - 4 LightBARs
Solid Brass LED



TDS00142N
November 23, 2021 5:17 AM

page 2

POWER AND LUMENS BY BAR COUNT (2 BAR LIGHTBAR)

Number of LightBARs	BAR	BAR	BAR	BAR
Power Output	30W	30W	30W	30W
Current @ 120V AC	0.25	0.44	0.43	0.47
Current @ 277V AC	0.10	0.18	0.18	0.20
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