



GRASS VALLEY

Development Review Committee Meeting

Tuesday, October 22, 2024 at 9:00 AM

Council Chambers, Grass Valley City Hall | 125 East Main Street, Grass Valley, California

Telephone: (530) 274-4310 - Fax: (530) 274-4399

E-Mail: info@cityofgrassvalley.com

Web Site: www.cityofgrassvalley.com

AGENDA

Any person with a disability who requires accommodations to participate in this meeting should telephone the City Clerk's office at (530)274-4390, at least 48 hours prior to the meeting to make a request for a disability related modification or accommodation.

MEETING NOTICE

Development Review Committee welcomes you to attend the meetings electronically or in person at the City Hall Council Chambers, located at 125 E. Main St., Grass Valley, CA 95945. Regular Meetings are scheduled at 9:00 a.m. on the 2nd and 4th Tuesday of each month. Your interest is encouraged and appreciated.

Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. Comments will be reviewed and distributed before the meeting if received by 9 am. Comments received after that will be addressed during the item and/or at the end of the meeting. The committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.

Agenda materials, staff reports, and background information related to regular agenda items are available on the City's website: www.cityofgrassvalley.com. Materials related to an item on this agenda submitted to the Committee after distribution of the agenda packet will be made available on the City of Grass Valley website at www.cityofgrassvalley.com, subject to City staff's ability to post the documents before the meeting.

Please note, individuals who disrupt, disturb, impede, or render infeasible the orderly conduct of a meeting will receive one warning that, if they do not cease such behavior, they may be removed from the meeting. The chair has authority to order individuals removed if they do not cease their disruptive behavior following this warning. No warning is required before an individual is removed if that individual engages in a use of force or makes a true threat of force. (Gov. Code, § 54957.95.)

Council Chambers are wheelchair accessible and listening devices are available. Other special accommodations may be requested to the City Clerk 72 hours in advance of the meeting by calling (530) 274-4390, we are happy to accommodate.

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS, AGENDA REVIEW AND CHANGES

PUBLIC COMMENT - *Members of the public are encouraged to submit public comments via voicemail at (530) 274-4390 and email to public@cityofgrassvalley.com. There is a time limitation of three minutes per person. For items not on the agenda and within the jurisdiction or interest of the City, please address the Development Review Committee at this time. For items on the agenda please address the Development Review Committee when the number and subject matter are announced. Comments will be reviewed and distributed before the meeting if received by 9AM. Comments received after that will be addressed during the item and/or at the end of the meeting. The Development Review Committee will have the option to modify their action on items based on comments received. Action may be taken on any agenda item.*

GENERAL APPLICATION FOR REVIEW

1. Plan Revision to replace siding on Priority 2 structure (24PLN-41) Location/APNs: 257 S Auburn St / APN 008-460-044

CEQA: Categorical Exemption

Recommendation: 1. That the Development Review Committee approve the proposed exterior modification to the shingled siding as may be modified at the public meeting, and which includes the following actions: a) Determine the project Categorical Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the Staff Report; b) Adopt Findings of Fact for approval of the Plan Revision as presented in the Staff Report; and, c) Approve the Plan Revision in accordance with the Conditions of Approval, as presented in this Staff Report.

2. Development Review and Variance Request for a 1,000 square foot carriage house/Accessory Dwelling Unit (ADU) to encroach into the Clipper Lane front setback. (24PLN-40) Location/APNs: 143 Conaway Avenue/008-520-024

CEQA: Categorical Exemption

Recommendation: 1) That the Development Review Committee recommend that the Planning Commission approve the Development Review and Variance applications for the carriage house/ADU at 143 Conaway Avenue as presented, or as modified by the Development Review Committee, which includes the following actions: a) Determine the project Categorical Exempt pursuant to Section 15305, Class 1, of the California Environmental Quality Act (CEQA) Guidelines, as detailed in the staff report; b) Adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and, c) Approve the Development Review Permit for the proposed for the carriage house/ADU at 143 Conaway in accordance with the Conditions of Approval, attached to the Staff Report; and d) Approve the Variance request for encroachment of the carriage house/ADU at 143 Conaway Avenue into the front setback along Clipper Lane as presented.

ADJOURN

POSTING NOTICE

This is to certify that the above notice of a Development Review Committee Meeting meeting scheduled for Tuesday, October 22, 2024, at 9:00 a.m., was posted at city hall, easily accessible to the public, as of 5:00 p.m. Thursday, October 17, 2024.

Taylor Whittingslow, City Clerk



**DEVELOPMENT REVIEW
COMMITTEE
STAFF REPORT
October 22, 2024**

Prepared by: Lucy Rollins, Senior Planner

DATA SUMMARY

Application Number: 24PLN-41
Subject: Plan Revision to replace siding on Priority 2 structure
Location/APNs: 257 S Auburn St / APN 008-460-044
Applicant: Jim Meadows Construction Inc. on behalf of Richard Mansfield
Zoning/General Plan: Neighborhood Center (NC) / Office Professional (OP)
Entitlement: Plan Revision – DRC / PC Review
Environmental Status: Categorical Exemption

RECOMMENDATION:

1. That the Development Review Committee approve the proposed exterior modification to the shingled siding as may be modified at the public meeting, and which includes the following actions:
 - a. Determine the project Categorically Exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines, as detailed in the Staff Report;
 - b. Adopt Findings of Fact for approval of the Plan Revision as presented in the Staff Report; and,
 - c. Approve the Plan Revision in accordance with the Conditions of Approval, as presented in this Staff Report.

BACKGROUND:

The existing structure is a 2,273 square feet residence and was built in 1905, according to the Nevada County Assessor's Office records, and is a Priority 2 structure in the city's historical inventory. Priority 2 structures are significant in contributing to the historic character of the area and have retained good integrity.

The assessment for the historical inventory recorded that the property consists of a two-story, wood-frame, Queen Anne style residence. Character defining features of the residence include a cross-gable and hip roof with a conical tower above the porch, a large (added later) hipped roof dormer atop the roof, a closed front gable with a false collar beam, fish-scale shingles, and a lighted wood-sash window in the attic, horizontal shiplap exterior wood siding,

a bay window below the gable with decorative brackets, 1 over 1 light wood-sash windows in the bay, a secondary side porch with another conical shaped or tower style open porch with turned Victorian columns and filled replacement railing, a series of wooden stairs leading to the front Victorian wooden oval lighted entry door, and to the right two fixed windows with a diamond pattern flanking a large (added later) stained glass window.

Today, the façade of the building at 257 South Auburn Street is identical to the image recorded at the time of the historical inventory. However, the shingles are shake shingles rather than fish-scale shingles.



Existing Shingled Siding at 257 South Auburn Street

The Historical Commission considered the project at their regular meeting held October 8, 2024 and recommended approval as presented.

PROJECT PROPOSAL:

The applicant proposes to remove the existing wood shake shingles and replace them with Hardie fish-scale, or scalloped, shingles on four dormers and two gables. The applicant provided the photograph below of the proposed shingles as they currently exist on the structure 307 South Auburn Street. The residence at 307 South Auburn is also a Queen Anne style structure built circa 1897 recorded as a Priority 1 structure in the City's historical inventory. The applicant proposes to change the shingle siding to reflect the defining features of a Queen Anne style residence.



Fish-Scale or Scalloped Siding at 307 South Auburn Street

Regulatory Authority: Pursuant to Section 17.52.040 of the Grass Valley Municipal Code (GVMC), one of the duties of the Grass Valley Historical Commission is to “provide interested property owners with advice and information on building design and materials that can maintain the historic character of a building.”

Section 17.52.070 of the GVMC establishes that minor projects to historic resources include “exterior modifications or alterations that maintain the historic integrity of the building and that comply with the Guidelines”, while major projects are defined as those that include “exterior modifications that alter the character defining features, such as its shape, elevation, massing, and scale and do not comply with the guidelines.” In this case, the proposed exterior modification is to alter the existing elevation to reflect defining features of structures built in the Queen Anne period.

GENERAL PLAN AND ZONING:

General Plan: The Grass Valley 2020 General Plan identifies the site as Office Professional (OP). The intent of the Office Professional General Plan designation is to facilitate both offices and supporting activities and land uses. The construction of this structure pre-dated the General Plan designation.

Zoning: The primary intent of the Neighborhood Center (NC) zoning designation is to strengthen the existing neighborhood structure of Grass Valley by promoting and enhancing the vitality of existing neighborhood-serving commercial centers and thus promoting pedestrian-oriented neighborhoods. The secondary intent is to create additional mixed-use centers/nodes, for instance along corridors, that will provide focal points for mixed-use infill development.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The site is built-out with a 2,273 square foot, two-story residence.

ENVIRONMENTAL DETERMINATION:

The proposed project qualifies for a Categorical Exemption pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) and Guidelines. A Class 1 Categorical Exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alternation of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The proposed siding change will not result in expansion of use of the residential property.

FINDINGS:

1. The Grass Valley Community Development Department received a complete application for Plan Revision 24PLN-41.
2. The Grass Valley Historical Commission reviewed Plan Revision application 24PLN-41 at their regular meeting on October 8, 2023.
3. The Grass Valley Development Review Committee reviewed Plan Revision application 24PLN-41 at their regular meeting on October 22, 2024.
4. The Development Review Committee reviewed the project in compliance with the California Environmental Quality Act and concluded that the project qualifies for a Class 1, Categorical Exemption in accordance with the California Environmental Quality Act and CEQA Guidelines.
5. This project is consistent with the City's General Plan and any specific plan.
6. The project, as conditioned and to the extent feasible, maintains the historic integrity of the structure and complies with the City of Grass Valley Community Design Guidelines and the Design Review Guidelines for the 1872 Historic Townsite.

B. RECOMMENDED CONDITIONS:

1. The final design shall be consistent with Plan Revision application and plans provided by the applicant and approved by the Development Review Committee (24PLN-41). The project is approved subject to plans on file with the Community Development Department.

The Community Development Director may approve minor changes as determined appropriate.

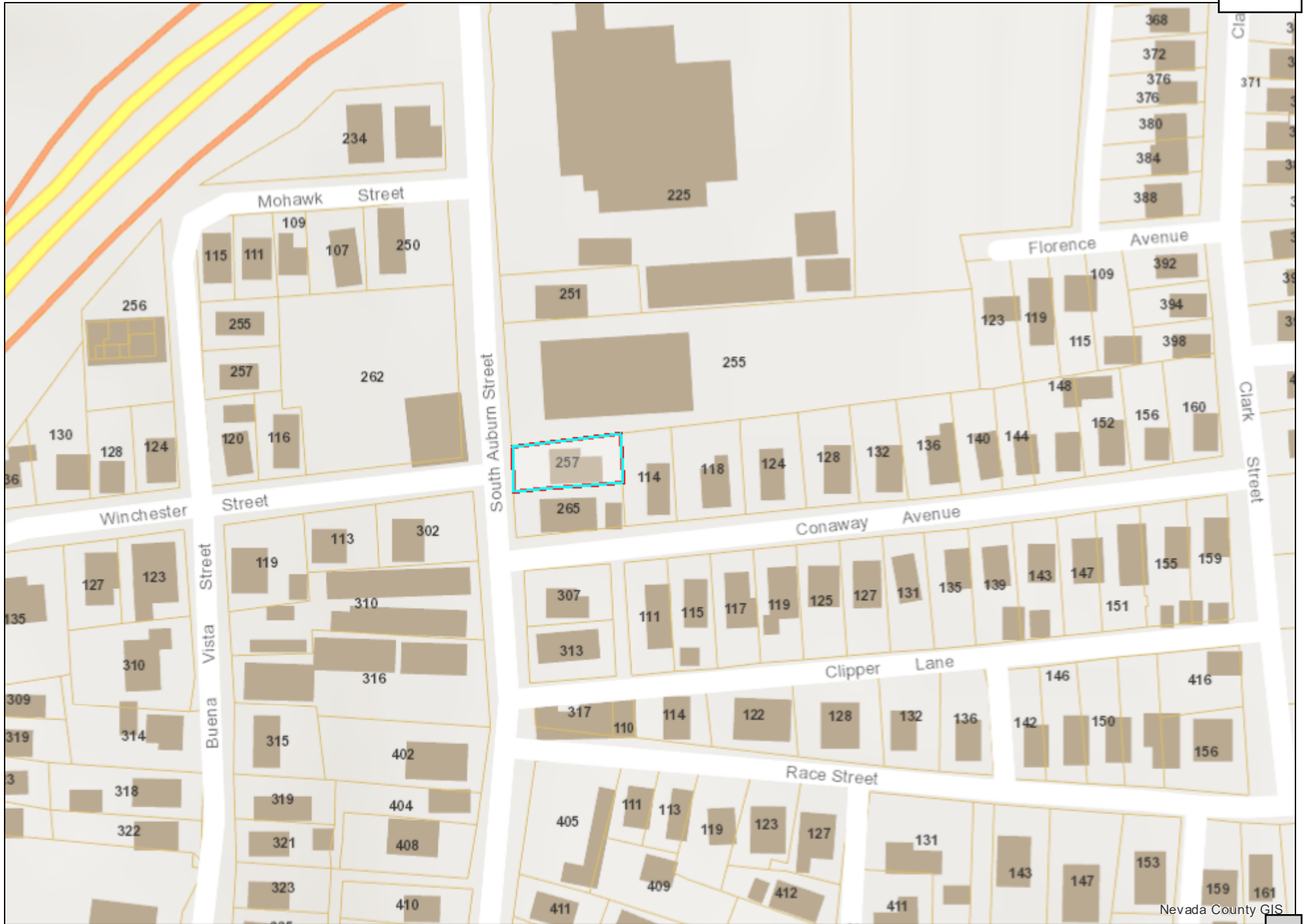
2. Prior to any work occurring, a building permit shall be obtained from the Community Development Department, Building Division.
3. An approved Encroachment Permit shall be obtained from the Engineering Division prior to any work being done within the City right of way.
4. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

ATTACHMENTS:

1. Vicinity Map
2. Aerial Map
3. Universal Application
4. Photos of Existing v. Proposed Shingles

Vicinity Map - 257 S Auburn

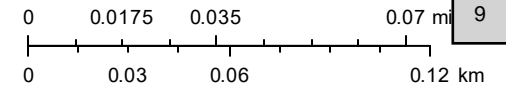
Item # 1.



October 3, 2024

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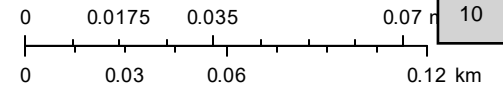
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1:2,257



Nevada County GIS

Aerial Map - 257 S Auburn

Item # 1.



CITY OF GRASS VALLEY
 Community Development Department
 125 E. Main Street
 Grass Valley, California 95945
 (530) 274-4330
 (530) 274-4399 fax

UNIVERSAL PLANNING APPLICATION



Application Types

Administrative

- Limited Term Permit
\$757.00
- Zoning Interpretation
\$243.00

Development Review

- Minor Development Review – under 10,000 sq. ft.
\$1,966.00
- Major Development Review – over 10,000 sq. ft.
\$3,571.00
- Conceptual Review - Minor
\$497.00
- Conceptual Review – Major
\$847.00
- Plan Revisions – Staff Review
\$342.00
- Plan Revisions – DRC / PC Review
\$901.00
- Extensions of Time – Staff Review
\$306.00
- Extensions of Time – DRC / PC Review
\$658.00

Entitlements

- Annexation
\$8,505.00 (deposit) + \$20.00 per acre
- Condominium Conversion
\$5,339.00 (deposit) + \$25 / unit or \$25 / 1,000 sf com.
- Development Agreement – New
\$20,023.00 (deposit) + cost of staff time & consultant minimum \$300
- Development Agreement – Revision
\$7,486.00 + cost of staff time & consultant minimum \$300
- General Plan Amendment
\$8,000.00
- Planned Unit Development
\$8,839.00 + \$100.00 /unit and / or \$100 / 1,000 sf floor area
- Specific Plan Review - New
Actual costs - \$18,399.00 (deposit) (+ consultant min. \$300)
- Specific Plan Review - Amendments / Revisions
Actual costs - \$7,576.00 (deposit) (+ consultant min. \$300)
- Zoning Text Amendment
\$3,364.00
- Zoning Map Amendment
\$5,501.00
- Easements (covenants & releases)
\$1,794.00

Environmental

- Environmental Review – Initial Study
\$1,858.00
- Environmental Review – EIR Preparation
Actual costs - \$34,274.00 (deposit)
- Environmental Review - Notice of Determination
\$162.00 (+ Dept. of Fish and Game Fees)

- Environmental Review - Notice of Exemption
\$162.00 (+ County Filing Fee)

Sign Reviews

- Minor – DRC, Historic District, Monument Signs or other districts having specific design criteria
\$330.00
- Major – Master Sign Programs
\$1,407.00
- Exception to Sign Ordinance
\$1,046.00

Subdivisions

- Tentative Map (4 or fewer lots)
\$3,788.00
- Tentative Map (5 to 10 lots)
\$5,267.00
- Tentative Map (11 to 25 lots)
\$7,053.00
- Tentative Map (26 to 50 lots)
\$9,668.00
- Tentative Map (51 lots or more)
\$14,151.00
- Minor Amendment to Approved Map (staff)
\$1,208.00
- Major Amendment to Approved Map (Public Hearing)
\$2,642.00
- Reversion to Acreage
\$829.00
- Tentative Map Extensions
\$1,136.00
- Tentative Map - Lot Line Adjustments / Merger
\$1,325.00

Use Permits

- Minor Use Permit - Staff Review
\$562.00
- Major Use Permit - Planning Commission Review
\$3,292.00

Variances

- Minor Variance - Staff Review
\$562.00
- Major Variance - Planning Commission Review
\$2,200.00

Application	Fee
Total:	\$

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at www.cityofgrassvalley.com regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,445.25** for an Environmental Impact Report and **\$2,480.25** for a Negative Declaration* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1st** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

- 4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y ____ N ____

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

- 5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney's fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney's fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- 6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16th day following the date by the appropriate review authority, where no appeal of the review authority's action has been filed in compliance with Chapter 17.91 of the City's Development Code.

The 15-day period (also known as the "appeal" period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15th day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

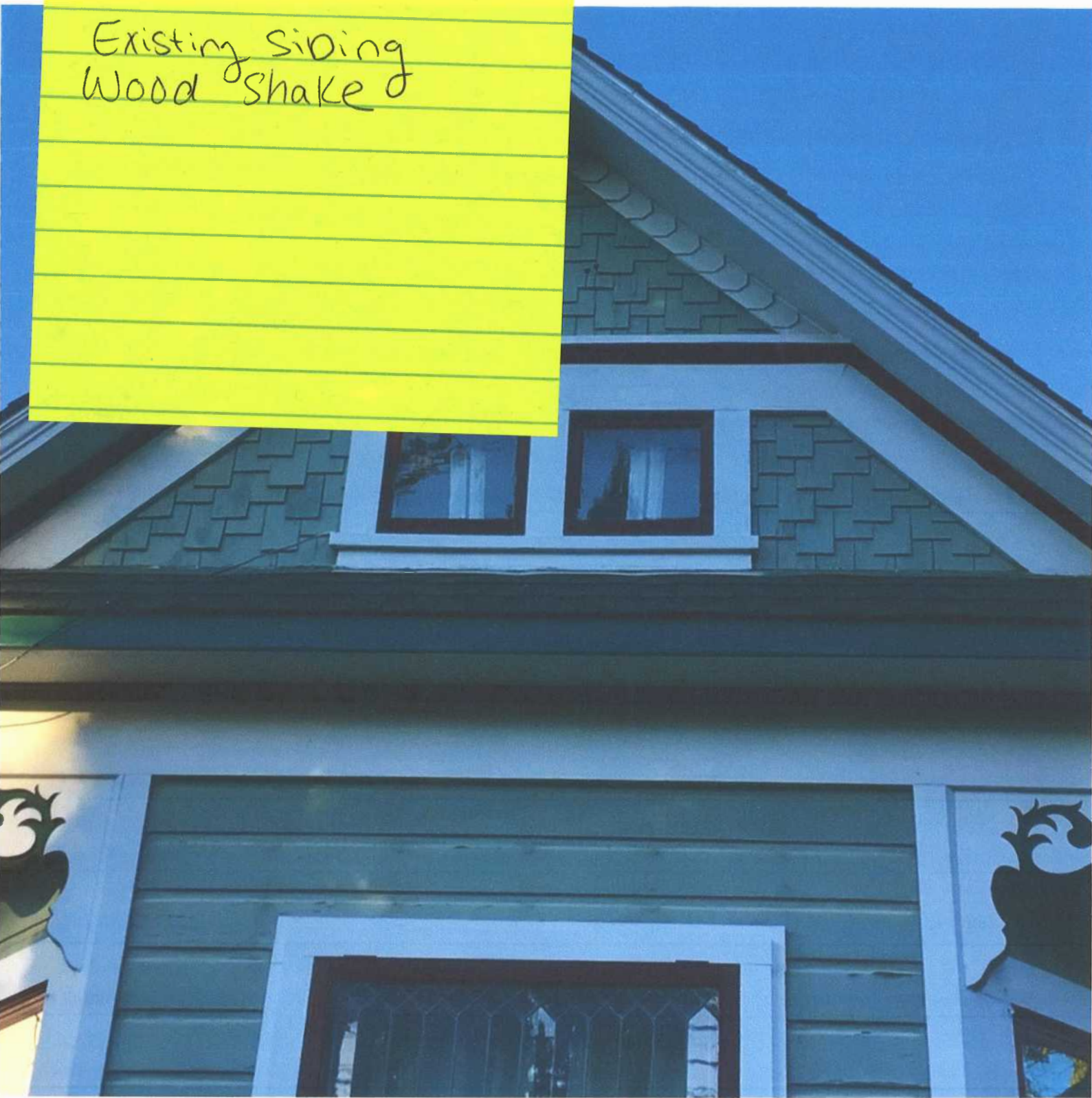
Property Owner/*Representative Signature: James Meaders

**Property owner must provide a consent letter allowing representative to sign on their behalf.*

Applicant Signature: James Meaders

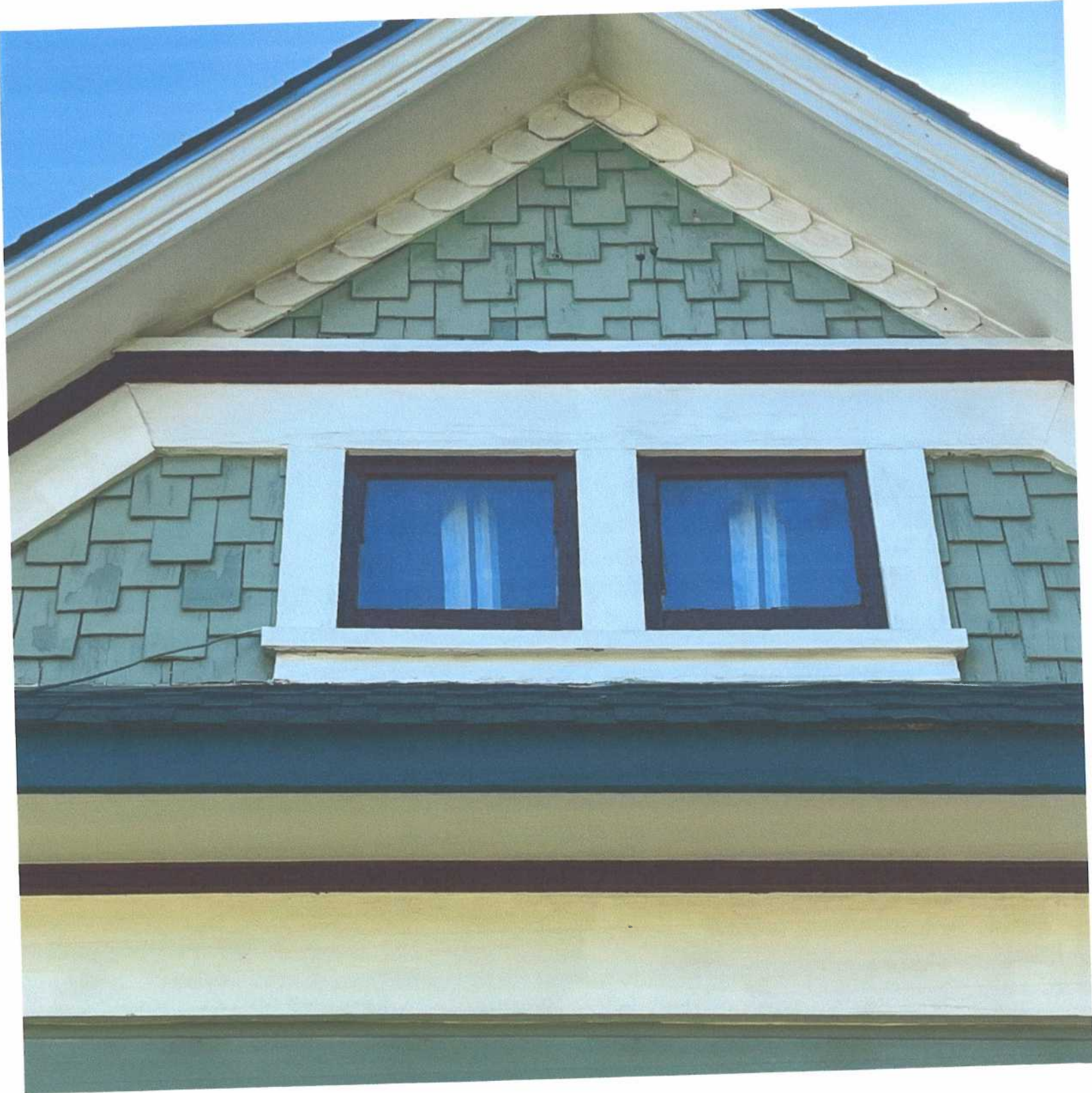
--OFFICE USE ONLY--	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	

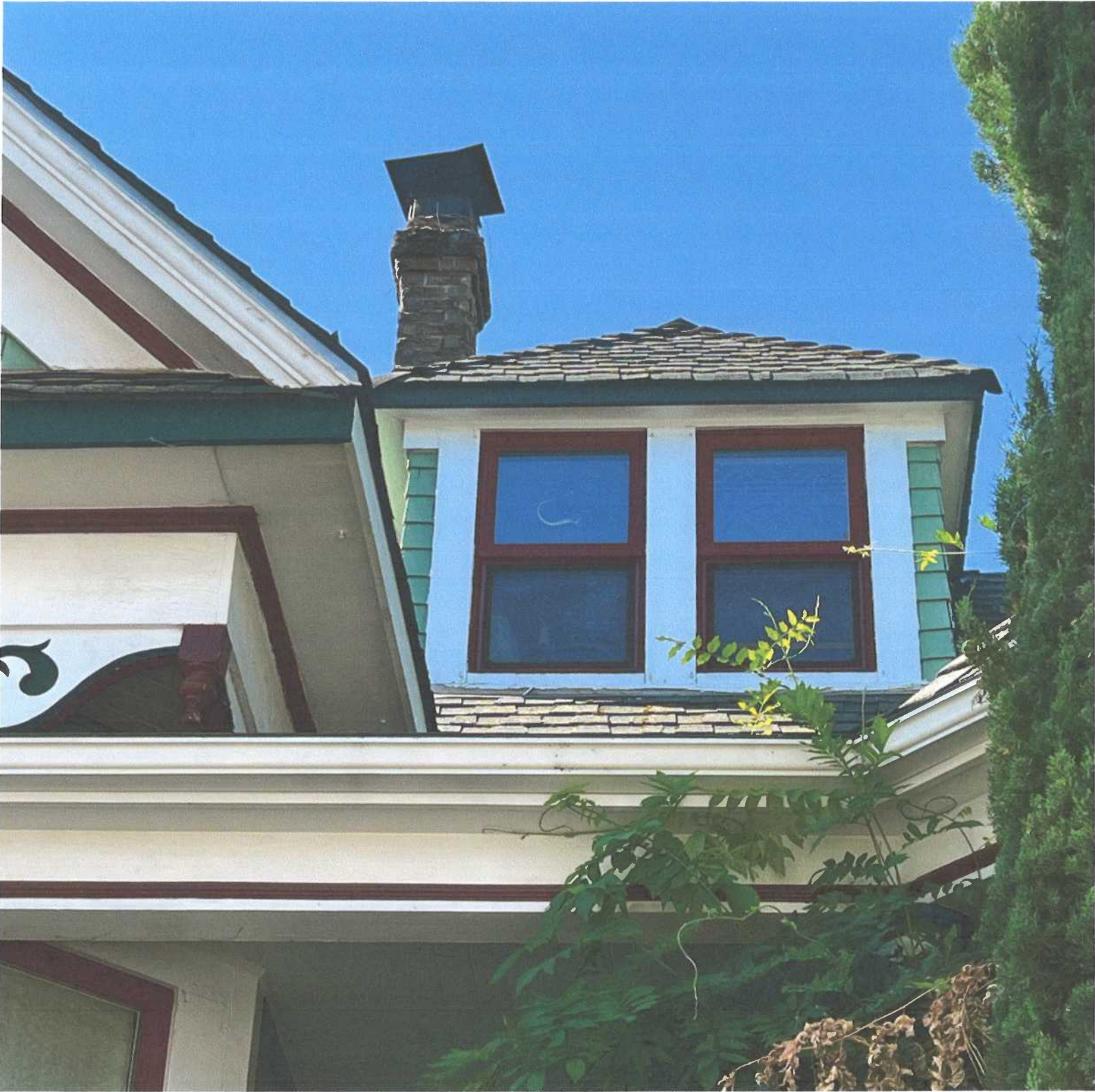
Existing Siding
Wood Shake



New proposed
hardie Scallop
Siding

















**DEVELOPMENT REVIEW
COMMITTEE
STAFF REPORT
OCTOBER 22, 2024**

Prepared by: Amy Wolfson, City Planner

DATA SUMMARY

Application Number: 24PLN-40
Subject: Development Review and Variance Request for a 1,000 square foot carriage house/Accessory Dwelling Unit (ADU) to encroach into the Clipper Lane front setback.
Location/APNs: 143 Conaway Avenue/008-520-024
Applicant: Philip Kniesel
Architect Representative: Jeff Hineline with Russell Davidson Architecture
Zoning/General Plan: Single-Family Residential (NG-2)/Urban Low Density (ULD)
Entitlement: Development Review Permit, Variance
Environmental Status: Categorical Exemption

RECOMMENDATION:

1. That the Development Review Committee recommend that the Planning Commission approve the Development Review and Variance applications for the carriage house/ADU at 143 Conaway Avenue as presented, or as modified by the Development Review Committee, which includes the following actions:
 - a. Determine the project Categorical Exempt pursuant to Section 15305, Class 1, of the California Environmental Quality Act (CEQA) Guidelines, as detailed in the staff report;
 - b. Adopt Findings of Fact for approval of the Development Review Permit as presented in the Staff Report; and,
 - c. Approve the Development Review Permit for the proposed for the carriage house/ADU at 143 Conaway in accordance with the Conditions of Approval, attached to the Staff Report; and
 - d. Approve the Variance request for encroachment of the carriage house/ADU at 143 Conaway Avenue into the front setback along Clipper Lane as presented.

BACKGROUND:

The existing residence is 1,116 square feet and the detached garage is 672 square feet according to Assessor records. There is not a record of when the residence was constructed, but a residence is depicted at this location on the 1912 Sanborn maps.

PROJECT PROPOSAL:

Project description: Applicant, Philip Kniesel has applied for a Development Review Permit and a Variance application to remove the existing non-conforming detached garage and construct a new three-car garage with a 1,000 square foot Accessory Dwelling Unit above. The lot has double-frontage along Conaway Avenue to the north, and Clipper Lane to the south. Pursuant to Section 17.030.030 (D.1.f) of the municipal code, double frontage lots are considered to have two front lot lines with front yards setbacks required on both. The new structure will comply with side-yard setbacks but will encroach into the Clipper Lane front yard setback. Standard front yard setbacks require a 15-foot setback for the dwelling unit and a 20-foot setback for the garage. The new structure will be situated five feet from the Clipper Lane front property Line.

Variance: Pursuant to Section 17.72.070, the purpose of a Variance process is to consider requests to waive or modify standards in the development code due to special circumstances applicable to the property. In this case, the subject property has a double frontage and no rear yard. The NG-2 zoning designation includes a site development standard for a five-foot rear yard setback. The applicant is requesting that the development review body consider the double-frontage nature of the lot as the special circumstance that deprives the property of privileges enjoyed by neighboring properties within the same zoning designation. Because there are several neighboring parcels that have existing buildings, including some dwelling units, that encroach into setbacks, staff is not concerned that the granting of the Variance will constitute a special privilege not afforded to neighboring parcels.

GENERAL PLAN AND ZONING:

General Plan: The Urban Low Density (ULD) General Plan designation includes a density range of 1 to 4 dwelling units per acre. ULD is intended primarily for single family detached houses, although higher density single family patio homes or Town houses could be accommodated, if offset with sufficient open space to maintain the gross density within the indicated range. ULD is most compatible with the following Zoning districts: Single Family Residential (R-1) and Two-Family Residence (R-2) districts.

Zoning: The primary intent of the Neighborhood General (NG-2) zone is to strengthen the character of existing historic neighborhoods within Grass Valley. It seeks to enhance the unique character of existing neighborhoods, particularly in locations where this character may be most susceptible to change.

SITE DESCRIPTION AND ENVIRONMENTAL SETTING:

The subject site is located within a traditional neighborhood on Conaway Avenue. This neighborhood was established in the late 1800s and early 1900s which is verified by the 1898 and 1912 Sanborn Maps. Many, if not most, of the development occurred prior to 1962 building code requirements and land use development standards. Several neighboring structures encroach into setbacks applicable under the current development code. The site is relatively flat but drains northwest toward Wolf Creek.

ENVIRONMENTAL DETERMINATION:

The Variance request qualifies for a Categorical Exemption pursuant to Section 15305, Class 5, of the California Environmental Quality Act (CEQA) and Guidelines. A Class 5 Categorical Exemption consists of minor alterations to land use limitations where the site has an average slope not exceeding 20% and there is no change in land use density “including set back variances not resulting in the creation of any new parcel.”

FINDINGS:

1. The City received a complete application for Development Review Application 24PLN-40.
2. The Grass Valley Development Review Committee reviewed Development Review Application 24PLN-40 at their regular meeting on October 22, 2024.
3. The Development Review Committee reviewed the project in compliance with the California Environmental Quality Act and concluded that the project qualifies for a Class 5, Categorical Exemption in accordance with the California Environmental Quality Act and CEQA Guidelines.
4. The project is consistent with the applicable sections and development standards in the Development Code;
5. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code;
6. The proposed project is consistent with the general plan and any applicable specific plan;
7. The proposed project is allowed within the applicable zone and complies with all other applicable provisions of this development code and the Municipal Code; and
8. The design, location, size, and characteristics of the proposed project are in compliance with any project-specific design standards in effect and any standards and guidelines for development review permits which may be established from time to time by the council.
9. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, such as the double-frontage configuration which requires adherence to two front setback standards, so that the strict application of the development code deprives the property of privileges enjoyed by other properties in the vicinity and within the same zone.
10. The approval of the variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and

11. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

RECOMMENDED CONDITIONS:

1. The approval date for planning commission review is <TBD> with an effective date of Thursday, <TBD>, pursuant to Section 17.74.020 GVMC. This project is approved for a period of one year and shall expire on <TBD> unless the project has been effectuated or the applicant requests a time extension that is approved by the Development Review Committee pursuant to the Development Code.
2. The final design shall be consistent with the Development Review application and plans provided by the applicant and approved by the planning commission (24PLN-40). The project is approved subject to plans on file with the Community Development Department. The Community Development Director may approve minor changes as determined appropriate.
3. Prior to any work occurring, building permits shall be obtained from the Community Development Department, Building Division.
4. The applicant will be required to replace the damaged sidewalk along the Conaway frontage of the property as a condition of the building permit for the ADU.
5. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

ATTACHMENTS:

1. Project Convey Sheet/Project Description
2. Aerial/Vicinity Map
3. Applications
4. ADU/Carriage House Plans

143 Conaway
Development Review and Variance Application

Attachment List

1. Project Cover Sheet
2. Vicinity/Aerial Map
3. Universal/Variance Application
4. ADU/Carriage House Plans



Project Cover Sheet

Date: September 19, 2024

To: Interested Parties/Responsible & Trustee Agencies

From: Amy Wolfson, City Planner
 City of Grass Valley, Community Development Department
 125 E. Main Street
 Grass Valley, CA 95945
 530-274-4711/ awolfson@cityofgrassvalley.com

RE: Project Description

Proposed Development Review and Variance application for a 1,000 sq ft Accessory Dwelling Unit (ADU)/Carriage House above a 1,025 sq ft detached garage. The lot has double-frontage on Conaway Avenue. Due to the double-frontage lot configuration which requires the city to treat both street-fronting property lines as "front lot lines" pursuant to the definition in the Development Code, applicant, Philip Kniesel, is requesting a Variance from the front yard setback. Standard front setbacks require that parking be setback 20-feet and that residential buildings be setback 15-feet from the front setback. The proposed project sites the ADU/Carriage House at five feet from the Clipper Lane property line.

As an interested party and/or Responsible or Trustee Agency, in accordance with the California Environmental Quality Act (CEQA), the above-described project is being distributed to you for review and comment. Your comments and/or conditions must be received, **in writing**, no later than **October 3, 2024**. If you need additional information to complete your review, please contact me at your earliest convenience at the above noted address.

Applicant: Philip Kniesel

APNs: 008-520-024

File No: 24PLN-40

Project Location: 143 Conaway Avenue

General Plan: Urban Low Density (ULD)

Zoning: Neighborhood General-2 (NG-2)

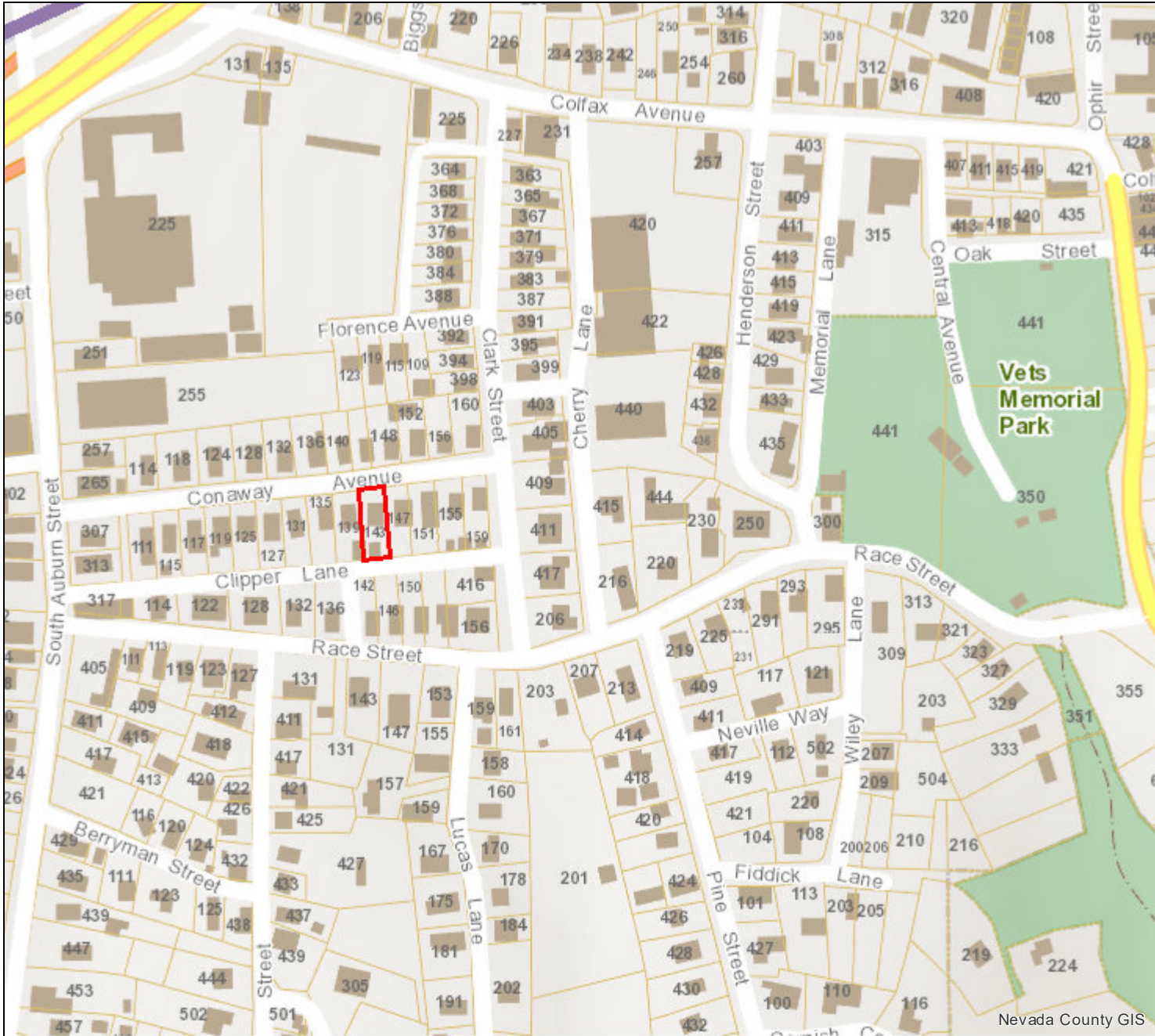
Project Size: 0.16

Water: City

Sewer: City Sewer

Vicinity- 143 Conaway

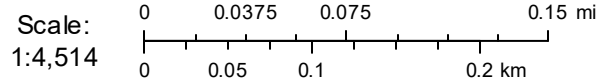
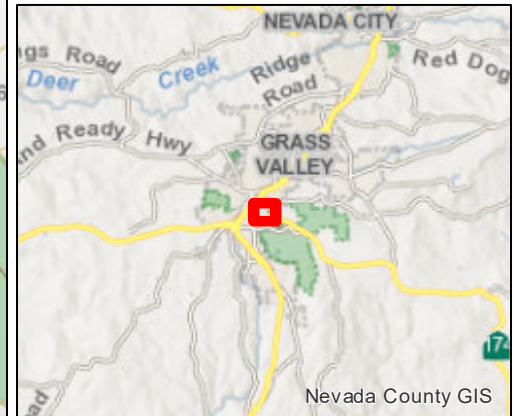
Item # 2.



Parcel APN: 008-520-024
143 CONAWAY AVENUE

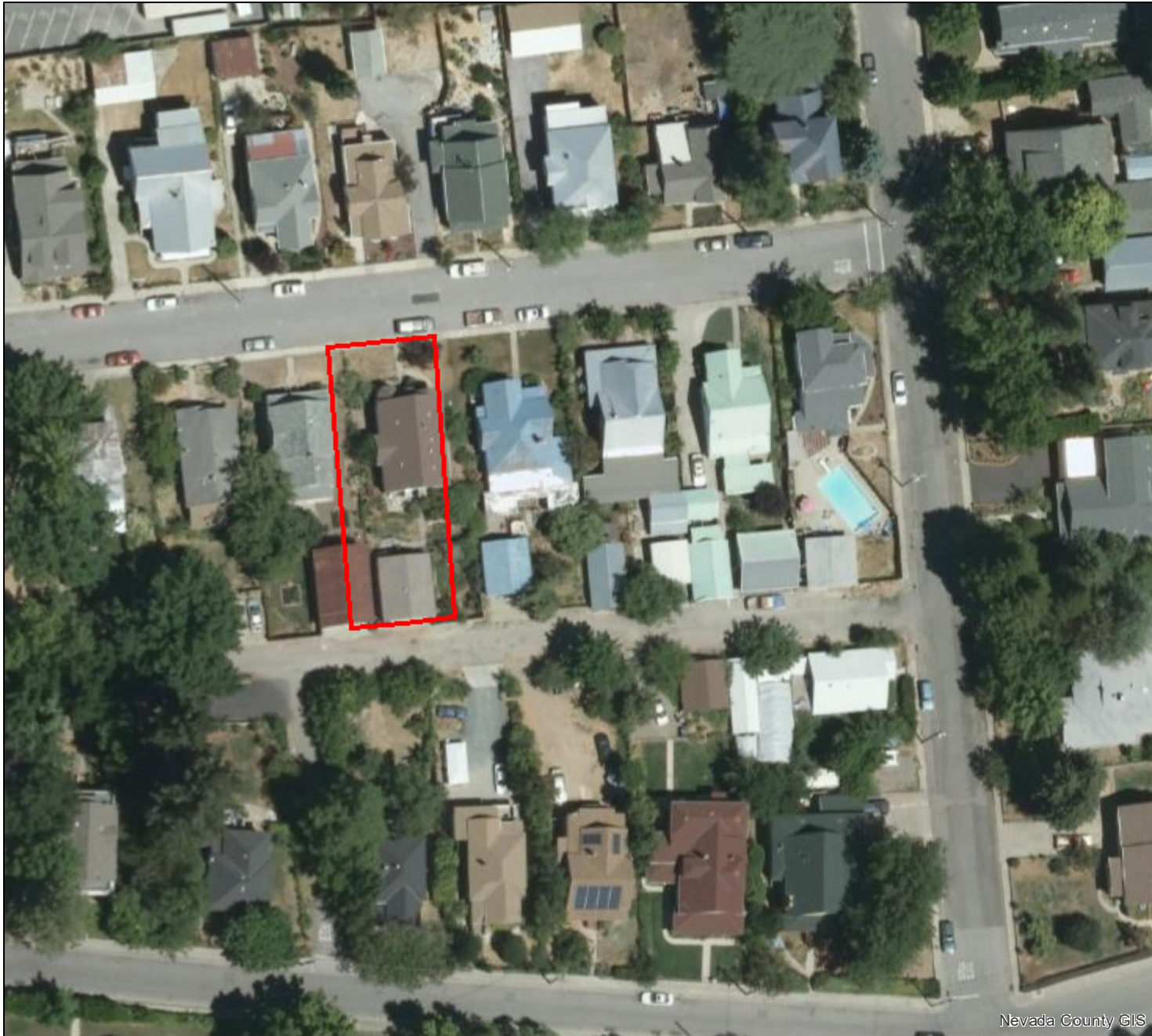
- Land Value: \$177,165.00
- Improvement Value: \$227,783.00
- Acreage: Unknown
- Zoning: NG-2 GVCity
- General Plan: ULD GVCity
- Fire District: Grass Valley
- Elementary Sch. Dist: Grass Valley
- Water District:
- Nevada Irrigation Dist:
- Public Utility:
- Park District:
- Service Area: Solid Waste Grass Valley - Csa 32
- Snow Load: 43 lbs/sqft
- Wind Exposure: C
- Climate Zone: 11
- Elevation: 2,411 feet

Overview



Aerial - 143 Conaway

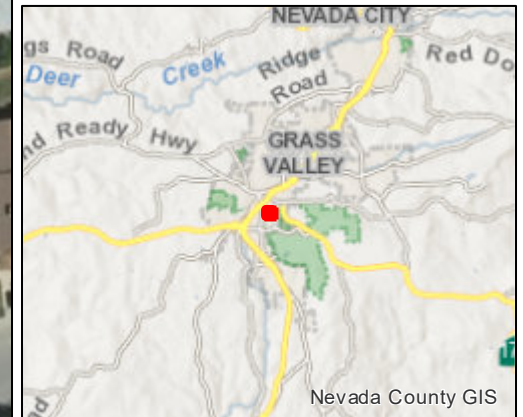
Item # 2.



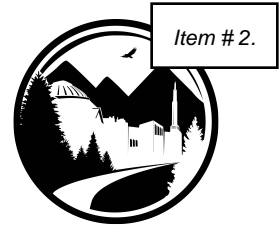
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143 CONAWAY AVENUE

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Acreage: Unknown
Zoning: NG-2 GVCity
General Plan: ULD GVCity
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Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 43 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,411 feet

Overview



**UNIVERSAL PLANNING
 APPLICATION**
 * DUE WITH EVERY PLANNING APPLICATION *



Application Types

Administrative

- Limited Term Permit \$698.00
- Zoning Interpretation \$224.00

Development Review

- Minor Development Review – 10,000 or less sq. ft. \$1,813.00
- Major Development Review – over 10,000 sq. ft. \$3,293.00
- Conceptual Review - Minor \$459.00
- Conceptual Review – Major \$782.00
- Plan Revisions – Staff Review \$316.00
- Plan Revisions – DRC / PC Review \$831.00
- Extensions of Time – Staff Review \$282.00
- Extensions of Time – DRC / PC Review \$607.00

Entitlements

- Annexation \$7,843.00 (deposit)
- Condominium Conversion \$4,923.00 (deposit)
- Development Agreement – New \$18,463.00 (deposit)
- Development Agreement – Revision \$6,903.00
- General Plan Amendment \$7,377.00
- Planned Unit Development \$8,150.00 (minimum charge) + 100.00 / dwelling unit and / or \$100 / every 1,000 sq. ft. commercial floor area
- Specific Plan Review - New Actual costs - \$16,966.00 (deposit)
- Specific Plan Review - Amendments / Revisions Actual costs - \$6,986.00 (deposit)
- Zoning Text Amendment \$3,102.00
- Zoning Map Amendment \$5,073.00

Environmental

- Environmental Review – Initial Study \$1,713.00
- Environmental Review – EIR Preparation \$31,604.00 (deposit)
- Environmental Review - Notice of Determination \$149.00 (+ Dept. of Fish and Game Fees)
- Environmental Review - Notice of Exemption \$149.00(+ County Filing Fee)

Sign Reviews

- Minor – DRC, Historic District, Monument Signs or other districts having specific design criteria \$313.00
- Major – Master Sign Programs \$1,279.00
- Exception to Sign Ordinance \$964.00

Subdivisions

- Tentative Map (4 or fewer lots) \$3,493.00
- Tentative Map (5 to 10 lots) \$4,857.00
- Tentative Map (11 to 25 lots) \$6,503.00
- Tentative Map (26 to 50 lots) \$8,915.00
- Tentative Map (51 lots or more) \$13,049.00
- Minor Amendment to Approved Map (staff) \$1,114.00
- Major Amendment to Approved Map (Public Hearing) \$2,436.00
- Reversion to Acreage \$765.00
- Tentative Map Extensions \$1,047.00
- Tentative Map - Lot Line Adjustments / Merger \$1,200.00

Use Permits

- Minor Use Permit - Staff Review \$480.00
- Major Use Permit - Planning Commission Review \$3,035.00

Variances

- Minor Variance - Staff Review \$518.00
- Major Variance - Planning Commission Review \$2,029.00

<u>Application</u>	<u>Fee</u>
Total:	\$2029.00

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at www.cityofgrassvalley.com regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1st** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

<u>Applicant/Representative</u>	<u>Property Owner</u>	Item # 2.
Name: Philip Kniesel	Name: Althea Bauer	
Address: 3714 Crescent Dr	Address: 3501 Harbison Drive #203	
Pearland, TX 77584	Vacaville, CA 95687	
Phone: (281) 692-0178	Phone: (530) 557-7781	
E-mail: Pkneisl2@gmail.com	E-mail: Altheamara@gmail.com	

<u>Architect</u>	<u>Engineer</u>
Name: Jeff Hine (Russell Davidson Architecture)	Name:
Address: 149 Crown Point Court, Suite C	Address:
Grass Valley, CA 95945	
Phone: (503) 264 5559	Phone: ()
E-mail: jeff@davidsonarch.com	E-mail:

1. Project Information

- a. Project Name Conaway Carriage House
- b. Project Address 143 Conaway Ave
- c. Assessor's Parcel No(s) 008-520-024
(include APN page(s))
- d. Lot Size 0.16 Acres

2. Project Description

The proposed project includes a new carriage house ADU at the rear of the property at 143 Conaway Ave where there is currently a detached single car garage. The proposed wood framed carriage house consists of a 1,000 sf two bedroom residence over a three gar garage. Due to a disability, the client requires an elevator to access the second story of the carriage house.

It is our understanding that a 15' and 20' front setback is to be applied to this project, despite being at the rear property line. Due to the constrained size of the 0.16 acre site, applying the front setback would eliminate any usable rear yard for either the new carriage house or the existing primary residence.

Along Clipper Lane, there are several instances of buildings situated at or near the rear property line. Many of these instances are detached garages, but there are also precedents of ADU's built to the property line. On the same block, 155 1/2 Conaway is an example of an ADU built to the property line. There are also instances nearby along 413 and 419 Henderson where an ADU is built along the rear property line. Given the existing precedents in the neighborhood, we would like to build the proposed carriage house 5' from the rear property line, matching the setback of the existing detached garage on the property. Since we are proposing to build within in the required front setback, we took efforts to break down the massing by providing a five foot wide and five feet deep recess in the southern facade along Clipper Lane. This recess allows for a natural transition of materials and roof forms, which are intended to help the carriage house appear as distinct, separate volumes and provide more visual interest to the neighborhood.

3. General Plan Land Use: GVCITY

4. Zoning District: NG-2

4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y _____ N N

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney’s fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney’s fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16th day following the date by the appropriate review authority, where no appeal of the review authority’s action has been filed in compliance with Chapter 17.91 of the City’s Development Code.

The 15-day period (also known as the “appeal” period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15th day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/*Representative Signature: _____

****Property owner must provide a consent letter allowing representative to sign on their behalf.***

Applicant Signature: _____

--OFFICE USE ONLY--	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	

VARIANCE



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE
USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

- I. Provide a written response for the variance request and provide a written justification statement to support findings listed in Section 17.72.070 F of the Development Code, including the following:
 - A. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, so that the strict application of this Development Code deprives the property of privileges enjoyed by other property in the vicinity and within the same zone;
 - B. The approval of the Variance or Minor Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and,
 - C. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

II. Project Characteristics:

A. Describe all existing buildings and uses of the property: _____
The proposed project includes a new carriage house ADU at the rear of the property at 143 Conaway Ave where there is currently a detached single car garage. The proposed wood framed carriage house consists of a 1,000 sf ft two bedroom residence over a three gar garage. Due to a disability, the client requires an elevator to access the second story of the carriage house.

B. Describe surrounding land uses:

North: Conaway Ave - public right of way
South: Clipper Ave - public right of way
East: Residence
West: Residence

SITE PLAN REQUIREMENTS

A site plan is a scale drawing that depicts a property's size and shape, existing improvements on the property, and improvements or additions which are intended to be added. The site plan should be as complete and accurate as possible since it will be used by several City departments to check various requirements of the development application. Please place a check or N/A on the line provided in the below checklist. Submit this page along with the map and application packet.

A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

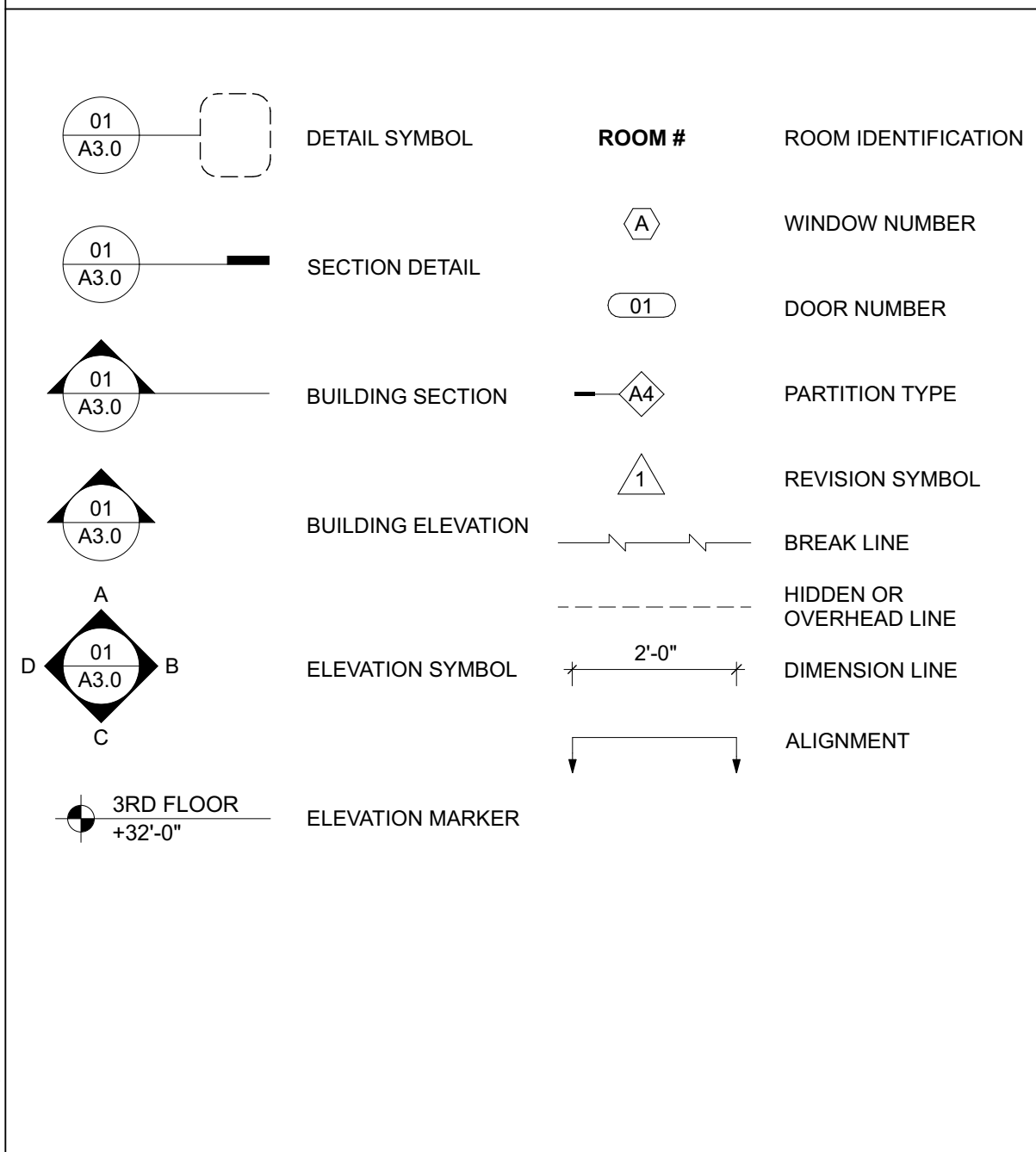
B. Site Plan Submittal:

- Site Plan size – one 8-1/2" x 11", 15 larger folded copies (folded to 9" x 12") with one 8.5 x 11" reduced copy and e-mail electronic .pdf file.
- Graphic scale and north arrow.
- Vicinity map (showing property location to major roads or major landmarks).
- Show location and dimensions of existing and proposed structures and walls.
- (Identify existing as a solid line and proposed as a dashed line).
- Label the use of all existing and proposed structures or area.
- Show the distance between structures and to the property lines.
- Show site access, location and dimensions of adjacent street right-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking facilities, including parking area and layout, loading areas trash storage areas, dimensions and numbers of individual parking spaces (including handicapped spaces) and aisles.

ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes items like AB ANCHOR BOLT, ACU ACUST AIR CONDITIONING, etc.

SYMBOLS



GENERAL NOTES

- 1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND FIELD CONDITIONS.
2. THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
... 28. LARGER SCALE DETAILED DRAWINGS SUPERCEDES SMALLER SCALED ELEVATION AND PLAN DRAWINGS.

PROJECT TEAM

OWNER:
ARCHITECT: RUSSELL DAVIDSON ARCHITECTURE + DESIGN
CONTACT: RUSSELL DAVIDSON
149 CROWN POINT CT, SUITE C
GRASS VALLEY, CA 95945
T (530) 264-5559
STRUCTURAL ENGINEER
MECHANICAL ENGINEER
ENERGY ANALYSIS

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
2022 CALIFORNIA RESIDENTIAL BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE

SPECIAL INSPECTIONS

THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED:

PROJECT DATA

SITE DATA
ADDRESS: 143 CONAWAY AVE, GRASS VALLEY, CA 95945
A.P.N.: 008-520-024
WIND EXPOSURE: C
CLIMATE ZONE: 11
ZONING: NG-2 GVCITY
SITE AREA: 0.16 AC
MAX. HEIGHT: 25' TO EAVE (CARRIAGE HOUSE)
SETBACKS
FRONT: 15' BUILDING, 20' GARAGE
INTERIOR: 5'
EXTERIOR: -
REAR: 5'
BUILDING ANALYSIS
OCC. GROUP: R-3, U
CONST. TYPE: V-B
FIRE SPRINKLERS:
AREAS:
GARAGE: 1,025 SF
(N) CARRIAGE HOUSE ADU: 1,000 SF
EXTERIOR CIRCULATION: 161 SF
BALCONY: 345 SF

SCOPE OF WORK

PROJECT CONSISTS OF THE FOLLOWING WORK:
2022 CALIFORNIA RESIDENTIAL BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE

DEFERRED SUBMITTALS

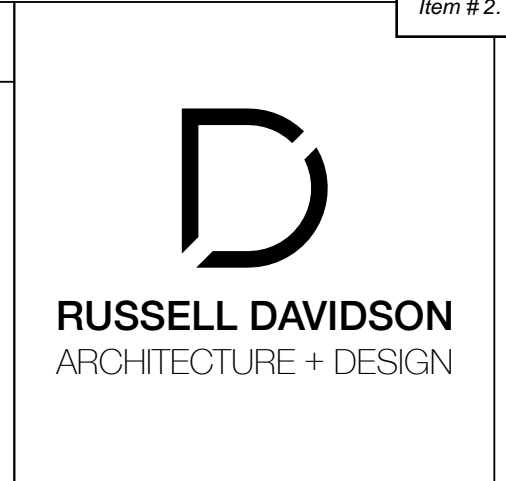
THE FOLLOWING SUBMITTALS WILL BE DEFERRED:

SPECIAL INSPECTIONS

THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED:

SHEET INDEX

Table with 2 columns: Title, Description. Includes T1.0 TITLE SHEET, A0.1 SITE PLAN, A0.2 PLOT PLAN, A1.0 FLOOR PLAN - LEVEL 1, A1.1 FLOOR PLAN - LEVEL 2, A1.2 ROOF PLAN, A2.0 BUILDING ELEVATIONS, A2.1 BUILDING ELEVATIONS, A2.2 3D VIEWS.

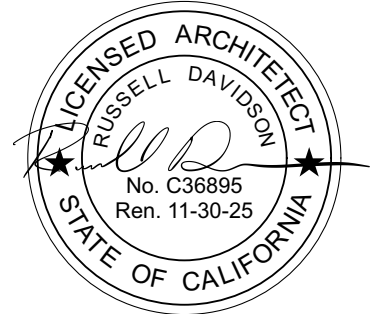
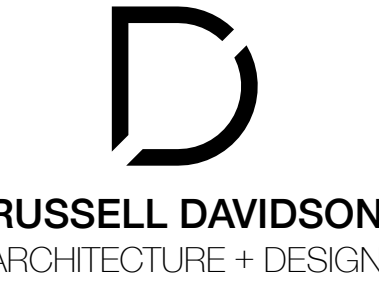


CONWAY CARRIAGE HOUSE
143 CONAWAY AVENUE
GRASS VALLEY, CA 95945
APN: 008-520-024

Table with 3 columns: ID, NAME, DATE. Includes fields for SUBMITTED, SCALE, DRAWN BY, CHECKED BY, JOB, and DATE.

TITLE SHEET

T1.0



SITE NOTES

- ALL TREES AND PLANTS ARE (E) AND TO BE RETAINED, UON.
- OWNER TO PROVIDE A BOUNDARY LINE VERIFICATION FORM TO THE BUILDING INSPECTOR, PREPARED BY A LICENSED LAND SURVEYOR FOR BUILDING LINES WITHIN TEN FEET OF PROPERTY LINE SETBACK, WHICH SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR PRIOR TO FIRST INSPECTIONS.
- ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
- UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE ALL RULES & REGULATIONS OF THE UTILITY COMPANY PROVIDING SERVICE. BACKFILL & COMPACT TRENCHES PER SOIL REPORT.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.
- PROJECT WILL COMPLY WITH LOCAL AHJ STORM WATER REQUIREMENTS.

LEGEND

- (E) EXISTING FLOOR AREA
- (N) PROPOSED FLOOR AREA
- CONCRETE FLATWORK
- CONCRETE FLATWORK: STAMPED PATTERN
- PROPERTY LINE
- SETBACK LINE
- ELECTRICAL LINE
- GAS LINE
- SEWER LINE
- WATER LINE
- PROPOSED BELOW GRADE RAINWATER DRAINAGE SYSTEM
- CONTROL JOINT
- EXPANSION JOINT
- FENCE

COVERAGE CALCULATIONS

BUILDING AREA	
FLOOR AREA (E)	1,116 SF
FLOOR AREA (E) GARAGE	796 SF
FLOOR AREA (NEW)	1,000 SF
FLOOR AREA NEW GARAGE	1,158 SF
TOTAL	3,946 SF
IMPERVIOUS SURFACE COVERAGE	
HOUSE AREA:	2,279 SF
COVERED AREA:	584 SF
PAVED AREA:	82 SF
TOTAL	2,945 SF
SITE AREA:	6,970 SF
LOT COVERAGE (ALLOWED): 50% (3,485 SF)	
LOT COVERAGE (ACTUAL): 2,945 SF / 6,970 SF (42.5%)	

EROSION CONTROL

- ALL SURFACES DAMAGED BY THE ACTIONS OF THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER THAN THE ORIGINAL CONDITION.
- ALL EXCAVATED AREAS SHALL BE KEPT WATERED OR COVERED WITH A PALLIATIVE TO PREVENT EMISSION OF FUGITIVE DUST. DUST AND MUD CONTROL SHALL BE PROVIDED AT ALL TIMES INCLUDING EVENINGS, WEEKENDS, AND HOLIDAYS. AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 700 GALLONS SHALL BE AVAILABLE AT ALL TIMES FOR APPLYING WATER ON THE AFFECTED AREAS. WATER SHALL BE OBTAINED FROM A SOURCE APPROVED BY THE NORTHERN SIERRA AIR QUALITY MANAGEMENT DISTRICT.
- SEED, FERTILIZER, AND MULCH SHALL BE APPLIED BETWEEN SEPTEMBER 15 AND OCTOBER 15. REMOVAL OF NATIVE VEGETATION SHALL BE MINIMIZED.
- SEED, FERTILIZER, AND MULCH SHALL BE APPLIED TO ALL DISTURBED SOILS AND ALL EXPOSED CUT & FILL SLOPES* NOT PROTECTED BY ROCK IN THE FOLLOWING RATES:

SEED MIX:	BLANDO BROME	12 LBS/AC
	ZORRO ANNUAL FESCUE	4 LBS/AC
	HYKON ROSE CLOVER (INOCULATED)	9 LBS/AC
SEED MIX:	AMMONIUM PHOSPHATE (W-20-0)	200 LBS/AC
SEED MIX:	CLEAN STRAW	2.5 LBS/AC

*SLOPES WITH GLAZED OR SMOOTH SURFACES SHALL BE SCARIFIED TO A DEPTH OF 2-4 INCHES TO PROVIDE AN ADEQUATE SEED BED.
 *LEGUMES SHALL BE INOCULATED WITH APPROPRIATE BACTERIA AT ACCEPTED RATES AT TIME OF SEEDING

SEED AND FERTILIZER SHALL BE APPLIED USING BROADCAST METHOD ON SLOPES GREATER THAN 2:1. OTHER MEASURES SUCH AS NETTINGS OR TACKIFIERS SHALL BE UTILIZED TO HOLD MATERIALS IN PLACE UNTIL VEGETATION IS ESTABLISHED

IN THE FIELD AFTER CONSULTING WITH THE RESOURCE CONSERVATION DISTRICT, IF PERMANENT EROSION CONTROL MEASURES ARE NOT INSTALLED BY OCTOBER 15 OF CONSTRUCTION SEASON, TEMPORARY MEASURES SUCH AS STRAW BALE SEDIMENT BARRIERS, CHECK DAMS, SEDIMENT TRAPS SHALL BE EMPLOYED NO LATER THAN NOVEMBER 1. THE ACTUAL LOCATIONS FOR SPECIFIC MEASURES MAY BE DETERMINED

NO ON-SITE ROAD CONSTRUCTION SHALL OCCUR BETWEEN OCTOBER 15 AND MAY 1 WITHOUT PRIOR WRITTEN APPROVAL

KEYNOTES

- PROPERTY LINE
- SETBACK TO PRIMARY RESIDENCE
- SETBACK FOR ADU



1 SITE PLAN
SCALE: 1" = 10'

CONWAY CARRIAGE HOUSE

143 CONWAY AVENUE
GRASS VALLEY, CA 95945
APN: 008-520-024

ID	NAME	DATE

SUBMITTED:	DATE
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	2024.07

SITE PLAN

A0.1

CONAWAY CARRIAGE HOUSE

143 CONAWAY AVENUE
 GRASS VALLEY, CA 95945
 APN: 008-520-024

ID	NAME	DATE
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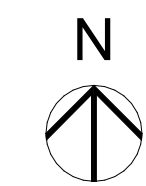
SUBMITTED:	DATE
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	2024.07

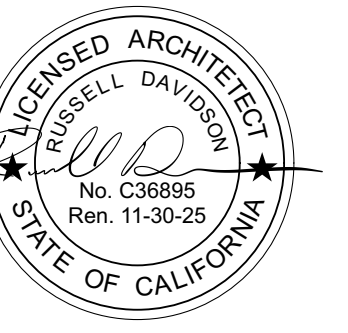
PLOT PLAN

A0.2



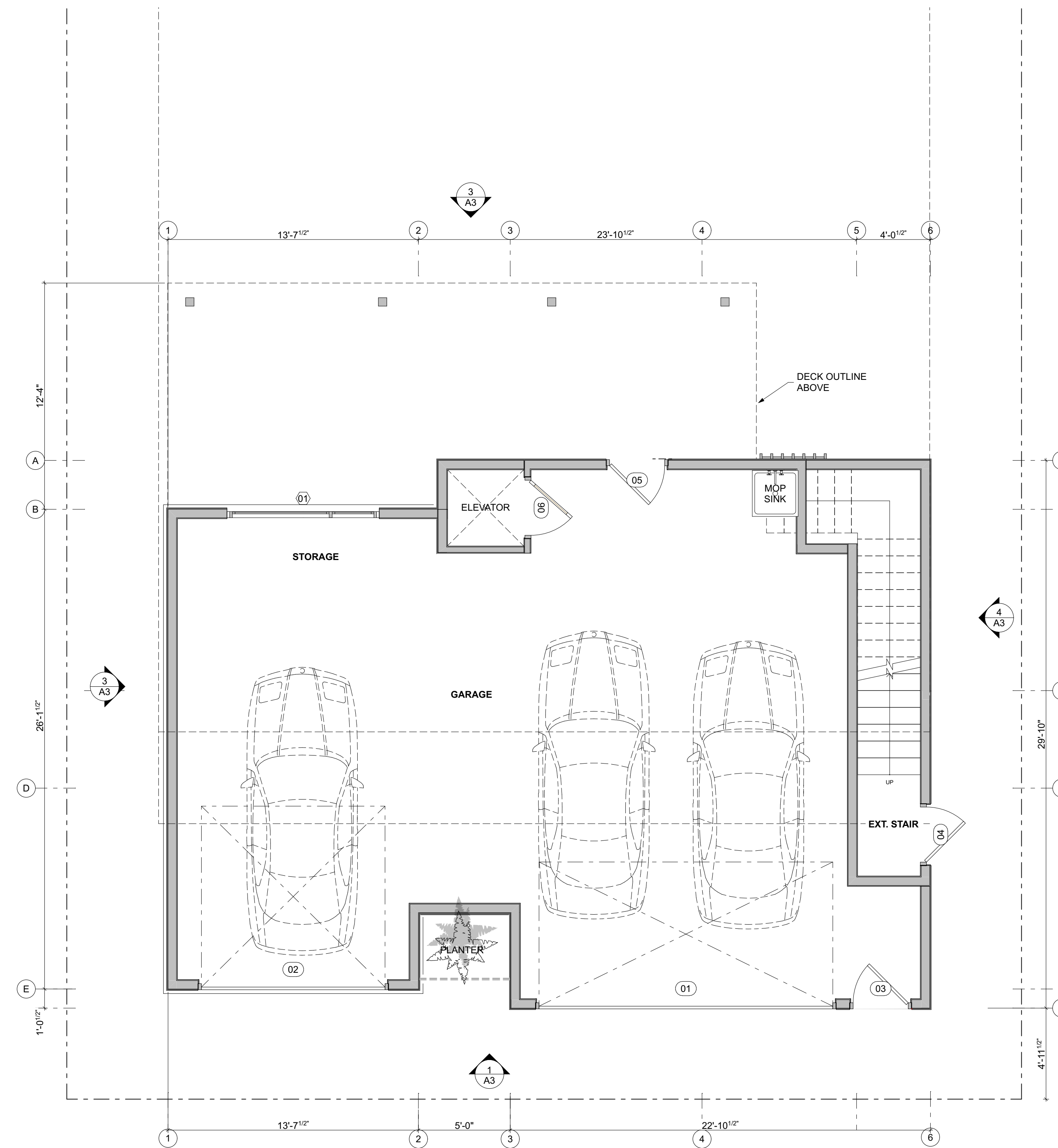
1 PLOT PLAN
 SCALE: 1" = 20'





LEGEND

- (E) WALL TO REMAIN
- (N) WALL
- 1 HR. FIRE WALL
- ROOM #
- WINDOW NUMBER
- DOOR NUMBER
- PARTITION TYPE
- THERMOSTAT
- GARAGE DOOR OPENER
- HOSE BIB
- GAS



1 NEW 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

CONAWAY CARRIAGE HOUSE

143 CONAWAY AVENUE
GRASS VALLEY, CA 95945
APN: 008-520-024

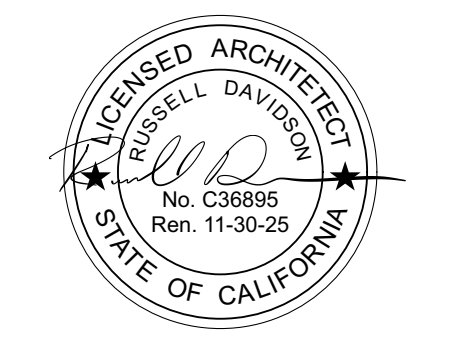
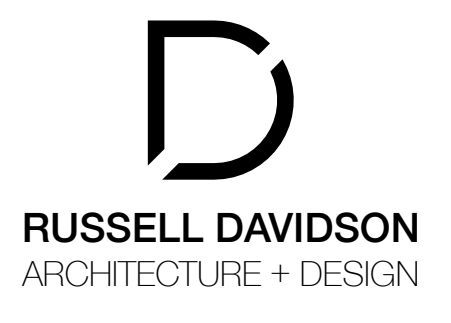
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SCALE:	AS NOTED
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JOB:	2024.07

FLOOR PLAN - LEVEL 1

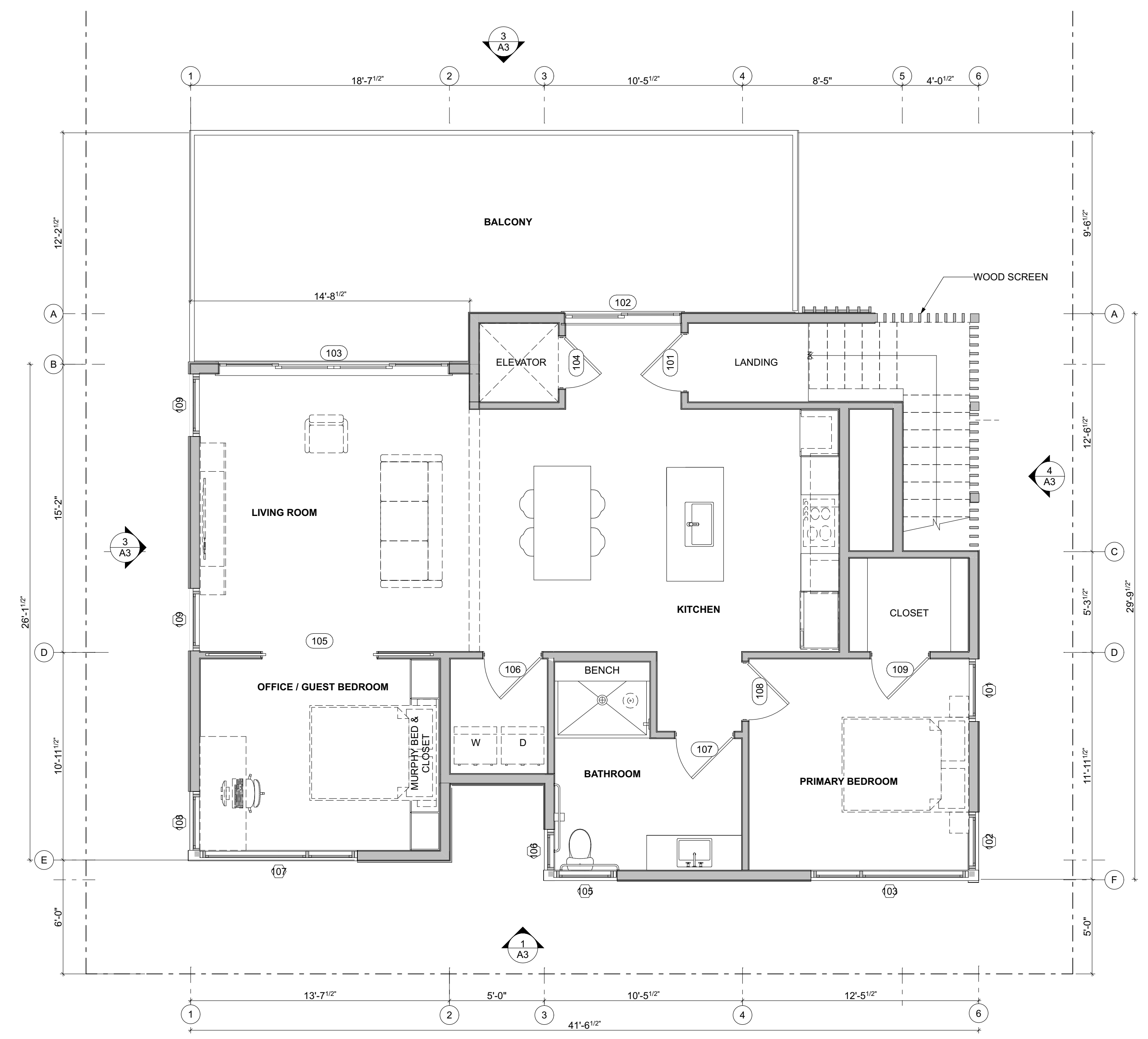
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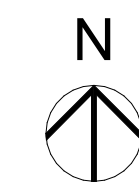


LEGEND

- (E) WALL TO REMAIN
- (N) WALL
- 1 HR. FIRE WALL
- ROOM #
- (A) WINDOW NUMBER
- (01) DOOR NUMBER
- A4 PARTITION TYPE
- T THERMOSTAT
- GO GARAGE DOOR OPENER
- HO HOSE BIB
- G GAS



1 NEW 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

CONWAY CARRIAGE HOUSE

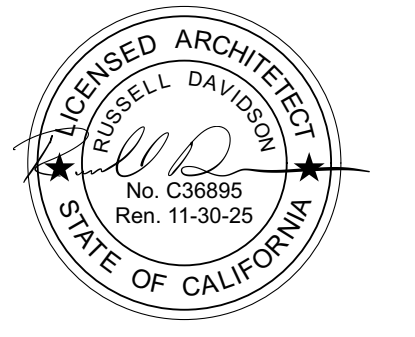
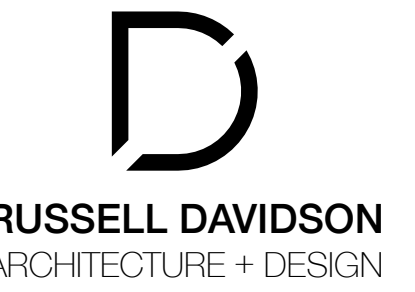
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FLOOR PLAN - LEVEL 2

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LEGEND

- WALL BELOW
- 3" DOWNSPOUT
- NEW ROOF AREA
- ▨ UNVENTED ROOF AREA

ROOF PLAN NOTES

1. THE CONTRACTOR SHALL HAVE PRESENT AT INSPECTIONS A COPY OF THE ICC-ES EVALUATION REPORT ON THE ROOFING SYSTEM.
2. ALL ROOF COVERING SHALL BE 'IGNITION RESISTANT' COMPLYING WITH CRC SECTION R902.1 AND CLASS "A".
CLASS 'A' ROOFING COVERING: EAGLE ROOFING PRODUCTS, TILE SHAKE
3. ALL ROOFING WORK MUST ADHERE TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS TO MAINTAIN WARRANTY COVERAGE.
4. ALL ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N.
5. PROVIDE 1/2" EXT-GRADE SHEATHING OVER 2X CRICKETING AT 16" O.C. SLOPED TO DRAIN 1/4" PER FOOT MIN. OVER 5/8" STRUCTURAL PLYWOOD SHEATHING W/ INTEGRAL RADIANT BARRIER AT ALL CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.
6. FLASH AND SEAL ALL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, AS REQUIRED FOR A WATER-TIGHT INSTALLATION.
7. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS SHALL BE APPLIED.
 - A. FIRE-STOPPING WITH APPROVED MATERIALS
 - B. ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING
 - C. OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS
8. EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
9. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
10. SKYLIGHTS SHALL BE TEMPERED GLASS.
11. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS
12. VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:
 - A. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
 - B. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST
 - C. THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 652 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)
13. PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ALL ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED OR REQUIRED.
14. PROVIDE CLEANOUTS AS REQUIRED.
15. ALL SHEET METAL FLASHING AND TRIM SHALL BE G.S.M.
16. ENCLOSED RAFTER SPACES SHALL HAVE 1 IN. CLEAR CROSS VENTILATION.
17. ROOF DRAIN AND OVERFLOW DRAIN TO BE 3" DIA. INTERNAL DRAIN UNLESS NOTED OTHERWISE FROM ROOF/DECK. CONNECT ALL RAIN WATER LEADERS TO SOLID DRAIN LINES. REFER TO CIVIL DRAWINGS. SLOPE HORIZONTAL PORTIONS MIN. 1/4"-12" IN DIRECTION OF ARROWS.
18. PROVIDE BASKET DEBRIS SCREENS AT ALL ROOF AND OVERFLOW DRAINS.
19. ROOF & OVERFLOW DRAINS SHALL HAVE WATER TEST PRIOR TO CONCEALING DRAINS IN THE WALLS. DRAINS TO HAVE CLEAN OUT JUST BEFORE ENTRY TO THE HORIZONTAL STORM DRAIN SYSTEM AS PER THE CPC.

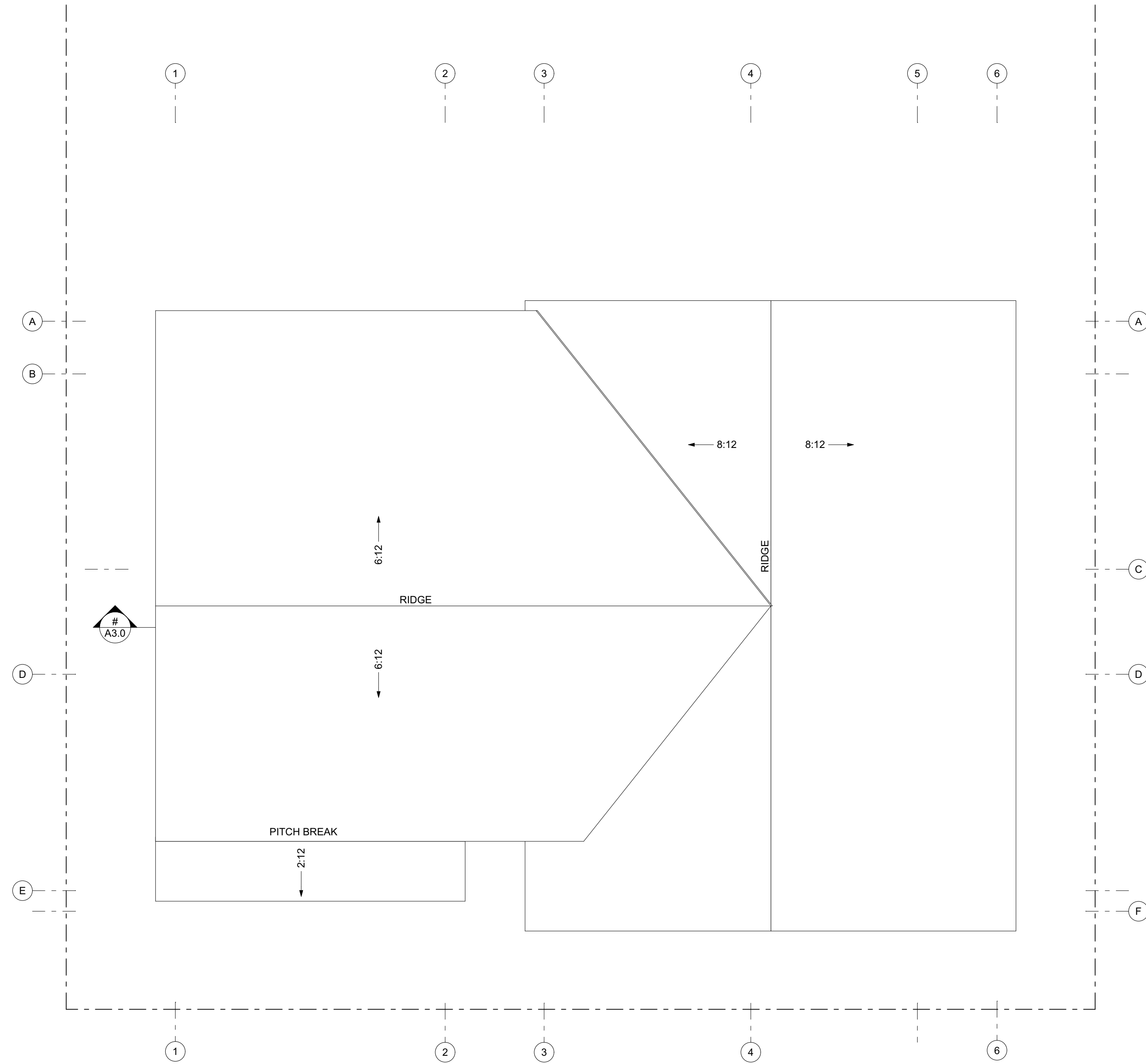
ATTIC VENT CALCULATION

ATTIC WILL BE UNVENTED

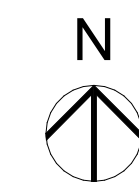
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KEYNOTES

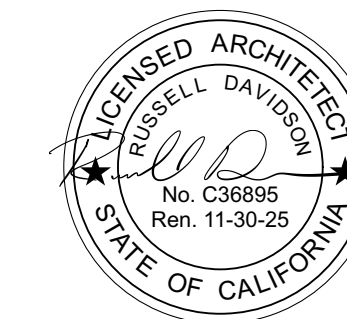
1. REMOVE (E) ROOF FINISHES
2. (N) TILE ROOF, MATCH (E) STYLE AND COLOR
3. (N) O.G. GUTTER, MATCH (E)
4. PROVIDE DRAINAGE CRICKET WHERE REQ'D



1 NEW ROOF PLAN
SCALE: 1/4" = 1'-0"



I:\Users\jehline\OneDrive - Dropbox\RD\A\Projects\Current\2024.11.14\3 Conway ADU\Arch\CAD\Current\143 Conway ADU\Arch\CAD\Current\143 Conway ADU Current - Variance Hybrid Scheme.rvt

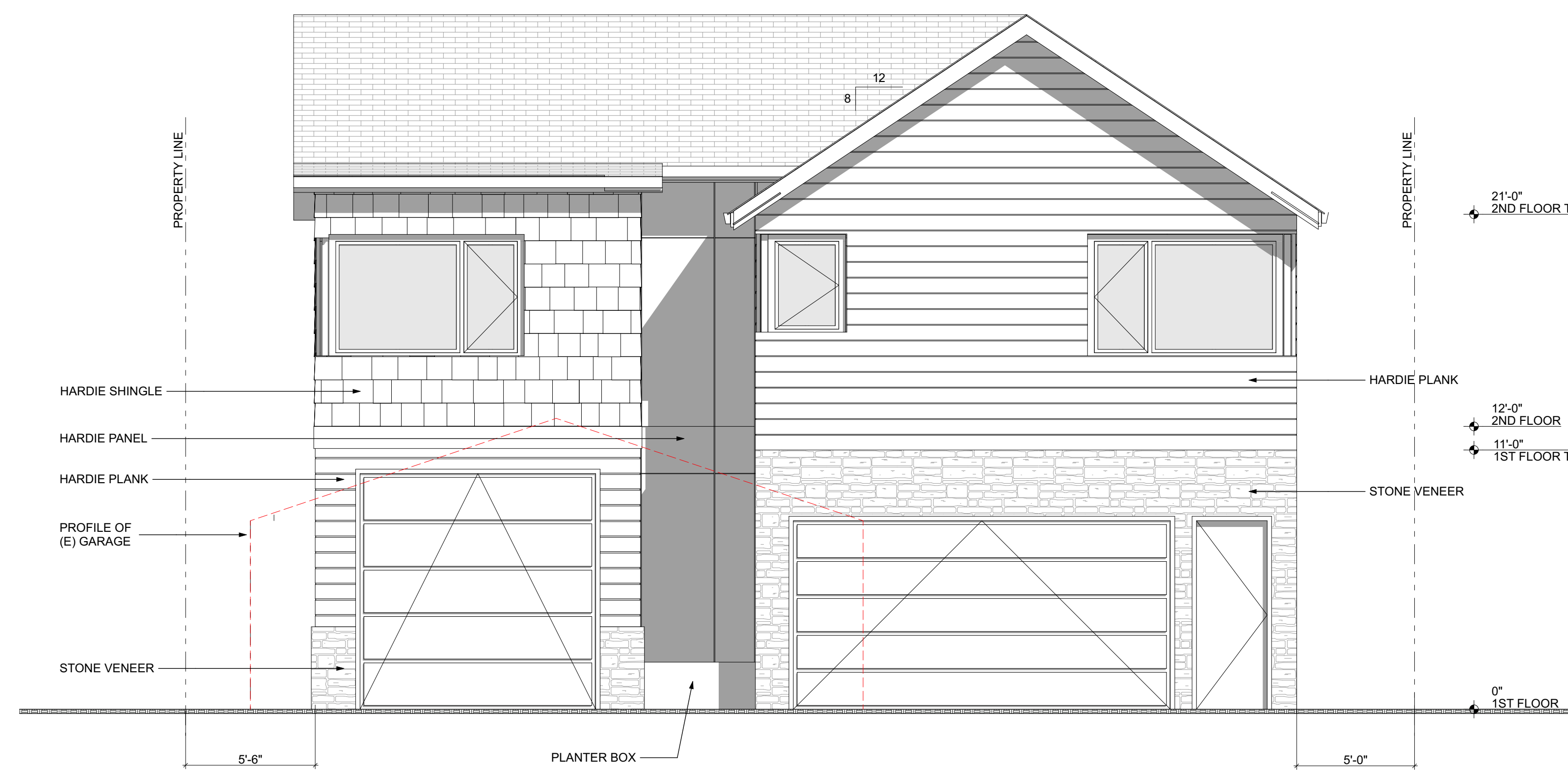


FINISH KEYNOTES

KEYNOTES



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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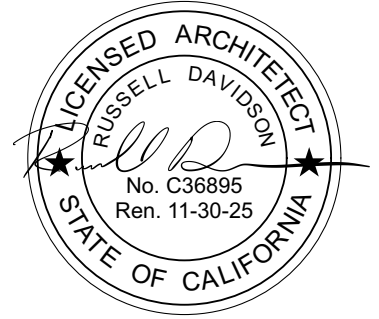
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BUILDING ELEVATIONS

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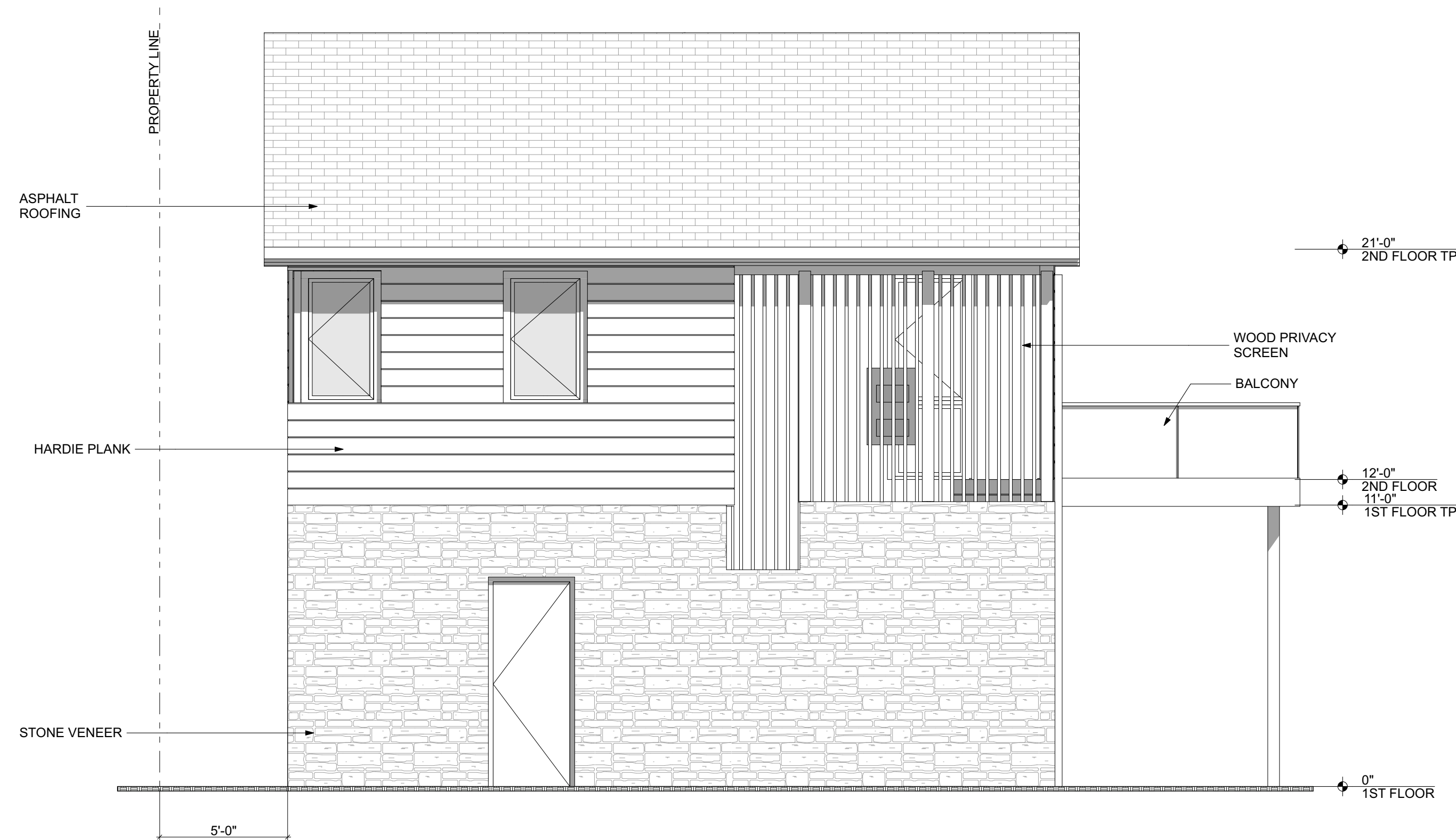
GENERAL NOTES

FINISH KEYNOTES

KEYNOTES



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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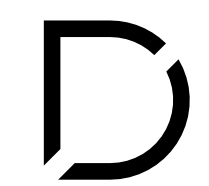
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BUILDING ELEVATIONS

A2.1



RUSSELL DAVIDSON
ARCHITECTURE + DESIGN



NORTHEAST VIEW



NORTHWEST VIEW



SOUTHWEST VIEW



SOUTHEAST VIEW

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3D VIEWS

A2.2