



**PLANNING COMMISSION MEETING AGENDA**  
**Monday, October 18, 2021**  
**4:00 PM**

**CALL TO ORDER:** Pursuant to due notice and call thereof a Special Meeting of the Grand Rapids Planning Commission will be held on Monday, October 18, 2021 at 4:00 PM in City Hall Council Chambers, 420 North Pokegama Avenue, Grand Rapids, Minnesota.

**CALL OF ROLL:**

**APPROVAL OF MINUTES:**

1. Consider approval of the minutes of the September 2, 2021, 4:00 pm regular meeting.

**PUBLIC HEARINGS:**

2. Conduct a public hearing to consider the preliminary plat of Hawkinson Commercial Development.

**GENERAL BUSINESS:**

3. Consider a recommendation to the City Council regarding the rezoning of 8.68 acres of land from R-1 (One-Family Residential) to R-4 (Multiple-family Residential- high density).
4. Consider a recommendation to the City Council regarding amendments to the Zoning Ordinance that would add the *Automotive/Recreational Vehicle (Repair/Service)* use, as a use permitted with restrictions, within the CBD (Central Business District) zoning district.

**PUBLIC INPUT:**

*Individuals may address the Planning Commission about any non-public hearing item or any item not included on the Regular Meeting Agenda. Speakers are requested to come to the podium, state their name and address for the record and limit their remarks to three (3) minutes.*

**REPORTS/ANNOUNCEMENTS/UPDATES:**

**ADJOURNMENT:**

**NEXT REGULAR MEETING IS SCHEDULED FOR NOVEMBER 4, 2021 AT 4:00 PM.**

Hearing Assistance Available: This facility is equipped with a ready assistance system.

**ATTEST:**



CITY OF  
**GRAND RAPIDS**  
 IT'S IN MINNESOTA'S NATURE

**PLANNING COMMISSION MEETING MINUTES**  
**Thursday, September 02, 2021**  
**4:00 PM**

**CALL TO ORDER:** Pursuant to due notice and call thereof a Regular Meeting of the Grand Rapids Planning Commission will be held on Thursday, September 2, 2021 at 4:00 PM in City Hall Council Chambers, 420 North Pokegama Avenue, Grand Rapids, Minnesota.

**CALL OF ROLL:**

**PRESENT**

Commissioner Betsy Johnson  
 Commissioner Lester Kachinske  
 Commissioner Patrick Goggin  
 Commissioner Ted Hubbes  
 Chairperson Molly MacGregor

**ABSENT**

Commissioner Anita Eiden  
 Commissioner Mark Gothard

**APPROVAL OF MINUTES:**

1. Approve the minutes of the May 6, 2021, 4:00 pm regular meeting, and the June 3, 2021, 4:00 pm Worksession.

Motion by Commissioner Goggin, second By Commissioner Johnson to approve the minutes from the May 6th, 2021 regular meeting and the June 3rd, 2021 worksession. The following voted in favor thereof: Johnson, Kachinske, MacGregor, Goggin, Hubbes. Opposed: None, passed unanimously.

**PUBLIC HEARINGS:**

**GENERAL BUSINESS:**

2. Consider a recommendation to the City Council regarding amendments to the Zoning Ordinance that would update and amend multiple sections of Chapter 30 *Land Development Regulations*.

Community Development Specialist Trast provided a power point detailing the proposed amendments to the Zoning Ordinance.

On May 6, 2021 the Planning Commission formally initiated this review process, and formed a subcommittee of three Commissioners to work with staff on further developing potential amendments to the text of the Zoning Ordinance, which would then be presented to the full Planning Commission for review and recommendation to the City Council.

Generally, the Planning Commission initiated amendments pertained to the following areas/sections of the Zoning Ordinance:

Motion by Commissioner Johnson, second by Commissioner Hubbes that, based on the findings of fact presented here today, and in the public's best interest, the Planning Commission does hereby forward a **favorable** recommendation to the City Council regarding draft amendments, which update and amend multiple sections of Chapter 30 *Land Development Regulations*, as depicted in Exhibits "1" – "5".

With the following considerations:

1. Will the change affect the character of neighborhoods?

Why/Why not? No, it is just updating and modernizing the ordinance.

2. Would the change foster economic growth in the community?

Why/Why not? Yes, because it will allow for grower stands and salons.

3. Would the proposed change be in keeping with the spirit and intent of the ordinance?

Why/Why not? Yes, by keeping orderly development and public safety.

4. Would the change be in the best interest of the general public?

Why/Why not? Yes, for public safety and convenience.

5. Would the change be consistent with the Comprehensive Plan?

Why/Why not? Yes, it will update the ordinance so it is consistent with the Comprehensive Plan.

The following voted in favor thereof: Johnson, Kachinske, Hubbes, MacGregor, Hubbes. Opposed: None, passed unanimously.

#### PUBLIC INPUT:

*Individuals may address the Planning Commission about any non-public hearing item or any item not included on the Regular Meeting Agenda. Speakers are requested to come to the podium, state their name and address for the record and limit their remarks to three (3) minutes.*

#### MISCELLANEOUS:

Mr. Trast updated the Commissioners on the progress of the Pillars, Aurora Heights, Unique Opportunity Apartments, Starbucks and the new hotel.

REPORTS/ANNOUNCEMENTS/UPDATES:

ADJOURNMENT:

NEXT REGULAR MEETING IS SCHEDULED FOR OCTOBER 7, 2021 AT 4:00 PM.

Hearing Assistance Available: This facility is equipped with a ready assistance system.

ATTEST:

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Aurimy Groom, Recorder



# Planning Commission Staff Report

Agenda Item	Community Development Department	Date: 10/18/2021
<b>Statement of Issue:</b>	Conduct a public hearing to consider the preliminary plat of Hawkinson Commercial Development.	
<b>Background:</b>	<p>A preliminary plat entitled “Hawkinson Commercial Development” was submitted by Hawkinson Construction Company, Inc., and developer Mark Hawkinson, Round 2 Development, and filed with the City on September 7, 2021. The property included within the preliminary plat is 22.28 acres in area and generally located south of Home Depot &amp; Applebee’s, north of 29th Street SE (of which primary access to the lots will be gained), and also fronting on Hwy. 169 South. <i>(see attached location map)</i> A complete legal description of the subject property is included with the preliminary plat documents.</p> <p>The property, proposed for subdivision, is located within the GB (General Business) zoning district. A request for a Zoning Map Amendment, for any of the proposed lots, is not anticipated, or necessary, for the proposed uses at this time.</p> <p>The plat petitioner has indicated that the six proposed lots will be developed as follows:</p> <ul style="list-style-type: none"> <li>• <u>Lot 1, Block 1:</u> (1.14 acres) Future development undetermined at this time.</li> <li>• <u>Lot 2, Block 1:</u> (3.02 acres) Convenience Store &amp; Gas Station.</li> <li>• <u>Lot 3, Block 1:</u> (1.46 acres) Car Wash</li> <li>• <u>Outlot A</u> (9.75 acres) Future development undetermined at this time.</li> <li>• <u>Outlot C</u> – east side of 2<sup>nd</sup> Ave. SE (2.23 acres) Future development undetermined at this time.</li> <li>• <u>Outlot B</u> – east side of 2<sup>nd</sup> Ave. SE (2.10 acres) Stormwater retention pond, currently established, proposed to be enlarged.</li> <li>• 29<sup>th</sup> Street SE right-of-way (north half) will be dedicated within the subject plat. The street was established through a perpetual easement granted to the city in 2006.</li> </ul>	

- 2<sup>nd</sup> Avenue SE right-of-way will be dedicated within the subject plat. The avenue was established through a perpetual easement granted to the city in 2006.

The plat area is currently undeveloped with the exception of 29<sup>th</sup> St. SE and 2<sup>nd</sup> Ave. SE, and complementary sidewalks and non-motorized, multi – purpose trail. City water, sanitary sewer, and stormwater are adjacent to the subject property.

The 2020 Comprehensive Plan’s general vision for land use in the area of this proposed subdivision is that of Highway Commercial, which is consistent with the current zoning designation, as well as the existing uses along the eastern side of Hwy #169 in this area.

The staff review committee, consisting of the Director of Public Works/City Engineer, Fire Chief, Grand Rapids PUC, Director of Parks and Recreation, and Community Development Department, has reviewed the preliminary plat for technical standards and found that it substantially complies with the City’s subdivision requirements. However, there are a few comments identified by the review committee that should be addressed. Those items are as follows:

- PUC Electric Department- Commented that an existing electric line on the very SW corner of the platted property crosses into non-easement proposed piece of the property.
- Community Development Department- Commented that there is Lot Line Easement duplication from Lot 3, into the infrastructure/access easement.
- Public Works/Engineering Department-
  - Some of the lots have a 10’ drainage and utility easement around the perimeter, and others do not or only have it on some lot lines. Why not on all?
  - The SE corner where the kiosk is located. I see the plat is adjusted for this. Is there an easement for the remaining piece? Who owns this?
    - *Staff determined this piece would be part of the 2<sup>nd</sup> Ave. SE R-O-W and not a very small remnant lot.*
- The Subdivision Agreement, to be considered at the final plat approval, shall incorporate a parkland dedication fee, in lieu of dedication of land and in accordance with Section 30-266, as requested by the Parks and Recreation Department.

Additionally, the preliminary plat was circulated to the District 1 MN Dot Office, as required by Minnesota Statute 505.03.

<p><b>Considerations:</b></p>	<p>When reviewing the preliminary plat, the Planning Commission needs to make findings as to whether or not the preliminary plat conforms to the subdivision ordinance and if it is consistent with the Comprehensive Plan.</p>
<p><b>Recommendation:</b></p>	<p>Staff recommends that the Planning Commissioners; review the preliminary plat and associated documents, review the comments submitted by the Review Committee, and review the relevant sections of the Comprehensive Plan and Subdivision Ordinance.</p> <p>Prior to making a motion to recommend to the City Council approval or denial of the preliminary plat, the Planning Commission should make specific findings to support their recommendation in the topical areas outlined within their list of considerations, and giving consideration, also, to the supplemental list provided.</p> <p>If those findings are favorable, the Planning Commission should pass a motion to recommend approval to the City Council. (See example motion) If the findings are unfavorable, and the Planning Commission feels that significant changes are necessary, the matter could be tabled to a future meeting date allowing sufficient time for revisions to be made and reviewed.</p>
<p><b>Required Action:</b></p>	<p>Pass a motion forwarding a recommendation to the City Council for approval of the preliminary plat.</p> <p><u>Example Motion:</u></p> <p>Motion by _____, second by _____ that, based on the findings of fact presented here today, and in the public’s best interest, the Planning Commission does hereby forward to the City Council a recommendation to <b>approve</b> the preliminary plat of Hawkinson Commercial Development; <i>(Contingent upon the applicant making the following corrections/clarifications):</i></p> <ul style="list-style-type: none"> <li>• Those changes suggested by the Review Committee</li> <li>• <i>Any additional revisions the Planning Commission sees as necessary</i></li> </ul>
<p><b>Attachments:</b></p>	<ul style="list-style-type: none"> <li>• Preliminary Plat and associated documents</li> <li>• Review Committee comments</li> <li>• Site Map</li> <li>• Subdivision Considerations</li> </ul>



Area of Proposed Subdivision

Home Depot

Wal-Mart

Zion Lutheran Church

S US Hwy 169

SE 2nd Ave

S US Hwy 169

SW 1st Ave

SW 30th St

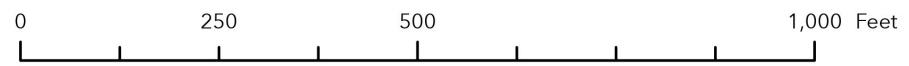
US Hwy 169 US Hwy 169

SE 2nd Ave

SE 2nd Ave

City of Grand Rapids

Hawkinson Commercial Development  
(Preliminary Plat)





**Eric Trast**

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**From:** Jeremy Goodell <jjgoodell@grpuc.org>  
**Sent:** Tuesday, September 14, 2021 1:10 PM  
**To:** Eric Trast  
**Subject:** RE: Hawkinson Commercial Development Preliminary Plat Review  
**Attachments:** GRPU Comments Electric Hawkinson Plat.pdf

Eric,

The only comment I have is the electric line on the very SW corner of the platted property crosses into non-easement property. Everything else looks fine. See attached with the red marked area.

Thanks,

Jeremy Goodell, Electric Department Manager  
 Grand Rapids Public Utilities Commission  
 500 SE 4<sup>th</sup> St., Grand Rapids, MN 55744  
 W: 218.326.7182, F: 218.326.7499, [jjgoodell@grpuc.org](mailto:jjgoodell@grpuc.org)  
[www.grpuc.org](http://www.grpuc.org) "GRPUC – Service is Our Nature"

**From:** Eric Trast [mailto:ETrast@ci.grand-rapids.mn.us]  
**Sent:** Tuesday, September 7, 2021 1:44 PM  
**To:** Julie Kennedy <jakennedy@grpuc.org>  
**Cc:** Rob Mattei <rmattei@ci.grand-rapids.mn.us>; Steve Mattson <smattson@grpuc.org>; Jeremy Goodell <jjgoodell@grpuc.org>  
**Subject:** Hawkinson Commercial Development Preliminary Plat Review

**Caution:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Julie-

Attached is a review committee memo, plat application, preliminary plat of Hawkinson Commercial Development, and the utility sheets (let me know if this comes through... the plan utility set is 16 MB).

Feel free to reach out with any questions.

Thank you,

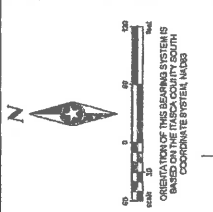
Eric

**Eric Trast**  
 Zoning Administrator  
 City of Grand Rapids  
 420 North Pokegama Avenue  
 Grand Rapids, MN 55744-2662  
**Office:** 218-326-7650  
**Fax:** 218-326-7621

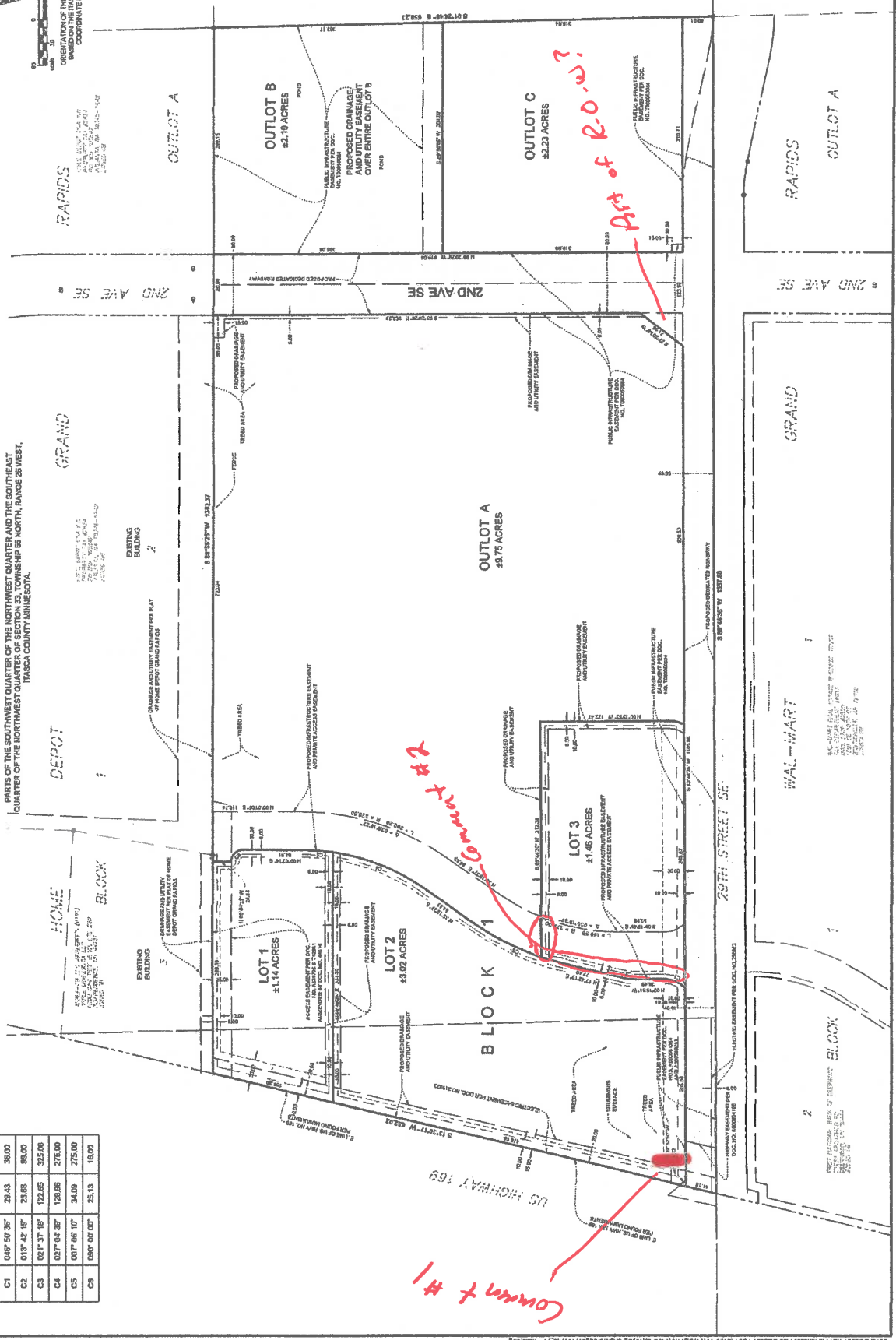
# HAWKINSON COMMERCIAL DEVELOPMENT

## PRELIMINARY PLAT OF:

PARTS OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 58 NORTH, RANGE 25 WEST, TASCADA COUNTY, MINNESOTA.



PARCEL CURVE DATA			
CURVE	DELTA	LENGTH	RADIUS
C1	046° 59' 35"	28.43	36.00
C2	013° 42' 10"	23.89	59.00
C3	021° 37' 16"	122.65	325.00
C4	037° 04' 39"	128.86	275.00
C5	007° 06' 10"	34.09	275.00
C6	090° 00' 00"	25.13	16.00



SHEET 2 OF 2

Item 2.

## Eric Trast

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**From:** Steve Mattson <smattson@grpuc.org>  
**Sent:** Wednesday, September 15, 2021 11:43 AM  
**To:** Eric Trast; Julie Kennedy  
**Subject:** RE: Hawkinson Commercial Development Preliminary Plat Review

Eric,  
 Our water wastewater team does not have any major issues with what is proposed. We are mainly concerned about the piping materials to be used, which I would assume would be PVC (sewer) and DIP (water)?

Steve R Mattson | Water and Wastewater Manager  
 Grand Rapids Public Utilities Commission  
 500 SE 4th St | Grand Rapids, MN 55744  
 W: 218.326.7195 | M: 218.244.5092  
[www.grpuc.org](http://www.grpuc.org) | "GRPUC - Service Is Our Nature"

**From:** Eric Trast [mailto:ETrast@ci.grand-rapids.mn.us]  
**Sent:** Tuesday, September 7, 2021 1:44 PM  
**To:** Julie Kennedy <jakennedy@grpuc.org>  
**Cc:** Rob Mattei <rmattei@ci.grand-rapids.mn.us>; Steve Mattson <smattson@grpuc.org>; Jeremy Goodell <jjgoodell@grpuc.org>  
**Subject:** Hawkinson Commercial Development Preliminary Plat Review

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Hi Julie-

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Feel free to reach out with any questions.

Thank you,

Eric

**Eric Trast**  
 Zoning Administrator  
 City of Grand Rapids  
 420 North Pokegama Avenue  
 Grand Rapids, MN 55744-2662  
**Office:** 218-326-7650  
**Fax:** 218-326-7621

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**Eric Trast**

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**From:** Matt Wegwerth, PE  
**Sent:** Tuesday, September 21, 2021 2:04 PM  
**To:** Eric Trast  
**Subject:** Hawkinson Plat

Eric,

Below are my comments:

- Some of the lots have a 10' drainage and utility easement around the perimeter, and others don't or only have it on some lot lines. Why not on all?
- The SE corner where the kiosk is located. I see the plat is adjusted for this. Is there an easement for the remaining piece? Who owns this?

Thanks

**Matt Wegwerth, PE**  
Public Works Director / City Engineer  
City of Grand Rapids  
420 North Pokegama Avenue  
Grand Rapids, MN 55744-2662  
**Office:** 218-326-7625  
**Mobile:** 218-244-1987  
**Fax:** 218-326-7621

**Eric Trast**

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**From:** Travis Cole  
**Sent:** Tuesday, September 21, 2021 4:03 PM  
**To:** Eric Trast  
**Cc:** Nathan Morlan  
**Subject:** Re: Hawkinson Plat

I apologize I didn't respond yet. I did look at the proposed site plan and the split of property in 3 sections and the access road just to the east of the two sections. The fire department would not have any issues with the preliminary plat.

Travis Cole  
Grand Rapids Fire Chief  
218-326-7639  
218-360-9702

On Sep 21, 2021, at 3:56 PM, Eric Trast <ETrast@ci.grand-rapids.mn.us> wrote:

T-Cole-

Did the GRFD have comments pertaining to the Hawkinson Commercial Development preliminary plat?

E

**Eric Trast**  
Zoning Administrator  
City of Grand Rapids  
420 North Pokegama Avenue  
Grand Rapids, MN 55744-2662  
**Office:** 218-326-7650  
**Fax:** 218-326-7621

**Eric Trast**

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**From:** Dale Anderson  
**Sent:** Tuesday, September 14, 2021 9:08 AM  
**To:** Eric Trast  
**Cc:** Rob Mattei  
**Subject:** Park Land Dedication

Eric,

Upon reviewing the Preliminary Plat of Hawkinson Commercial Development, I do not see the need for additional park lands in this location. I am recommending that we receive money in lieu of park land. Please contact me with any questions or concerns.

Best regards,

**Dale Anderson**  
Director of Parks & Recreation  
City of Grand Rapids  
420 North Pokegama Avenue  
Grand Rapids, MN, 55744-2662  
**Office:** 218-326-2500  
**Mobile:** 218-259-4485



**Grand Rapids Planning Commission**  
*Grand Rapids, MN – City Hall*

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**RULES FOR A PUBLIC HEARING**

1. After the Chairperson opens the Public Hearing, background on the issue at hand will be given by our Community Development Department Staff and by other presenters.
2. Anyone who wishes to address the Commission about the issue may do so, and all who wish to speak will be heard. Please step to the lectern to use the microphone, and state your name and address for the public record. **These Proceedings are recorded.** Please keep your comments relative to the issue. Please keep in mind that you are addressing the Planning Commission, not debating others in the audience who may have conflicting viewpoints. At all times, be courteous and refrain from interrupting any other speaker present on the floor.
3. After everyone has spoken, the Public Hearing will be closed. At this point, Planning Commissioners may ask clarifying questions from citizens and presenters.
4. The Chairperson will go through the legal Considerations for the Issue of the Public Hearing, after which the Commissioners will vote on the issue.

## **PLANNING COMMISSION**

### **CONSIDERATIONS**

#### **SUBDIVISIONS**

1. Has there been a change in the development policies of the community?
2. Was there a mistake in the original zoning ordinance?
3. Is the Zoning Ordinance up to date?
4. Is the proposed subdivision compatible with adjacent land uses?
5. Will the proposed subdivision cause undue traffic congestion?
6. Will the proposed subdivision affect public utilities?
7. Will the proposed subdivision be detrimental to public health, morals, or general welfare?
8. Will the proposed subdivision impede orderly development of other property in the area?
9. Will the proposed subdivision cause a decrease in value of adjacent property?
10. Will the proposed subdivision increase tax revenues?
11. Will the proposed subdivision impose an excessive burden on parks and other public facilities?
12. Is the proposed subdivision consistent with the Comprehensive Plan?





**Preliminary Plat Application**  
Community Development Department  
420 North Pokegama Ave.  
Grand Rapids, MN 55744  
Tel. (218) 326-7601 Fax (218) 326-7621  
Web Site: www.cityofgrandrapidsmn.com

All subdivisions in the City of Grand Rapids shall be in compliance with the Grand Rapids City Code, Articles V (Subdivisions) and VI (Zoning). The City Code can be viewed on the City of Grand Rapids web site, www.cityofgrandrapidsmn.com (follow the prompts for City Code).

**PLAT NAME:** Hawkinson Commercial Development

Applicant/Business Name: Round 2 Development

Contact Person: Mark Hawkinson

Address: P.O. Box 246, Grand Rapids, MN Zip: 55744

Telephone: (Work) 218.244.4409 (Other) \_\_\_\_\_ (Fax) \_\_\_\_\_

E-mail Address: mark@hawkinsonconstruction.com

Interest In Property: option agreement with owner

Property Owner(s) of record: Hawkinson Construction Company, Inc

Address: P.O. Box 278, Grand Rapids, MN Zip: 55744

Telephone: (Work) 218.244.4409 (Other) \_\_\_\_\_ (Fax) \_\_\_\_\_

Surveyor or Engineer: Short Elliott Hendrickson, Inc

Address: 1200 SE 4th Avenue, Suite 200, Grand Rapids, MN 55744

Telephone: (Work) 218.322.4500 (Other) \_\_\_\_\_ (Fax) \_\_\_\_\_

E-mail Address: schristenson@sehinc.com

**Office Use Only**

Date Received 9/7/21 Certified Complete 9/7/21 Fee Paid \$2,525-

Does the subdivision boundary abut a state rail bank or established trunk highway (requiring road review):  Yes  No

Planning Commission Recommendation: (Preliminary) Approved \_\_\_\_\_ Denied \_\_\_\_\_ Meeting Date 10/7/21  
(Final) Approved \_\_\_\_\_ Denied \_\_\_\_\_ Meeting Date \_\_\_\_\_

City Council Action: (Preliminary) Approved \_\_\_\_\_ Denied \_\_\_\_\_ Meeting Date \_\_\_\_\_  
(Final) Approved \_\_\_\_\_ Denied \_\_\_\_\_ Meeting Date \_\_\_\_\_

**Parcel Information:**

Tax Parcel #(s) 91-033-2303 & 91-033-2402 Property Size(acres): 22.3 +/-

Existing Zoning: General Business

Proposed Zoning\*1: General Business

Existing Use: Vacant

Proposed Use(s): Commercial development

Property Address/Location: to be determined (South 169 G.R.)

Legal Description: 91-033-2303 - Abstract Property

The South One-half of the Southwest Quarter of the Northwest Quarters (S1/2 SW1/4 NW1/4) lying East of Highway, in Section Thirty-three (33), Township Fifty-five (55) North, Range Twenty-five (25), West of the Fourth Principal Meridian, Itasca County, Minnesota.

91-033-2402 - Torrens Property - Certificate of Title No. 24204

The South Half of the Southeast Quarter of the Northwest Quarter (S1/2 of SE1/4 of NW1/4), Section Thirty-three (33), Township Fifty-five (55) North, Range Twenty-five (25), West of the Fourth Principal Meridian, according to the Government Survey thereof, Itasca County, Minnesota.

(attach additional sheet if necessary)

Applications must be received no later than the end of the first week of the month, to allow sufficient time for review by staff and the department head review committee. Planning Commission meetings are held on the first Thursday of each month.

\*1 If a zoning change is required, a petition for rezoning must be filed separately.

I(we) certify that, to the best of my(our) knowledge, information, and belief, all of the information presented in this application is accurate and complete and includes all required information and submittals, and that I consent to entry upon the subject property by public officers, employees, and agents of the City of Grand Rapids wishing to view the site for purposes of processing, evaluating, and deciding upon this application.

Mark B. Hawken  
Signature(s) of Applicant(s) R2D

Sept 3, 2021  
Date

Mark B. Hawken  
Owners Signature (if different than applicant) HCC

Sept 3, 2021  
Date

**Required Submittals:** The following items must be provided with your application, unless the Director of Community Development waives a requirement.

- Application Fee - \$2,525.00 \*2
- Proof of Ownership – (a copy of a property tax statement or deed will suffice)
- 2 copies of the Preliminary Plat (D- size--22" X 34")
- 1 copy of the Preliminary Plat (B size—11" x 17")
- A letter from the County Recorder verifying that the subdivision name is not duplicated elsewhere in the County.
- A typed letter, addressed to the Grand Rapids Planning Commission, indicating the following:
  - A statement of the proposed use of all of the lots
  - A listing of any proposed protective covenants.
  - Proposed reapportionment of any existing assessments.
- A letter from the Itasca County Soil and Water Conservation District verifying the presence/or lack of wetlands.
- A copy of an updated Title Opinion or Title Insurance Policy showing proof of ownership of the property being subdivided.
- A copy of a current Assessment Certificate from the City Clerk showing whether or not there are any current assessments on the property.
- Copy of current year's Tax Statement.
- Electronic files of any written project statements, legal descriptions, or narratives, and plans in Microsoft Word format and pdf.

*\*2The application fees charged are used for postage to mail the required notices to adjacent properties, publication of the public hearing notice in the Grand Rapids Herald Review, and for a small portion of staff time for case review and preparation of documents. It is the policy of the City of Grand Rapids to require applicants for land use approvals to reimburse the City for costs incurred by the City in reviewing and acting upon applications, so that these costs are not borne by the taxpayers of the City.*

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

More information may be requested by the City of Grand Rapids Planning Commission or City Council, if deemed necessary to properly evaluate your request. The lack of information requested may be in itself sufficient cause to deny an application.

September 3, 2021

Grand Rapids Planning Commission  
City Hall  
420 North Pokegama Ave  
Grand Rapids, MN 55744

RE: Round 2 Development  
Hawkinson Commercial Development

Dear Commission Members,

The following is a schedule of the proposed uses of all the lots:

- 1) Lot 1 Commercial use undetermined at this time.
- 2) Lot 2 Gas Station and Convenience Store.
- 3) Lot 3 Car Wash
- 4) Outlots ~~B~~ and ~~C~~ undetermined at this time
- 5) Outlot ~~B~~ - Storm Water Retention

Protective covenants would likely include no other gas stations or car washes. There are no existing assessments to be reapportioned.

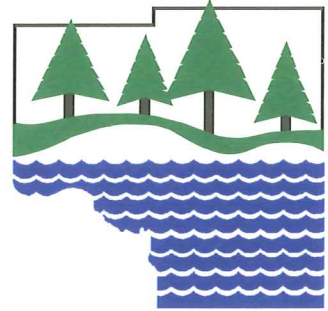
Thank you.

Sincerely,



Mark G Hawkinson  
Round 2 Development

**NICOLLE ZUEHLKE**  
**COUNTY RECORDER/REGISTRAR**  
Itasca County Courthouse  
123 N.E. 4th Street  
GRAND RAPIDS, MINNESOTA 55744-2600  
(218) 327-2856 • FAX (218) 327-0689



Item 2.

September 2<sup>nd</sup>, 2021

Michael Hudec  
Short Elliott Hendrickson Inc  
1200 SE 4<sup>th</sup> Ave  
Suite 200  
Grand Rapids MN 55744

Michael,

Let it be known that there is no recorded plat in the office of the Itasca County Recorder or Itasca County Registrar of Titles in the name of **HAWKINSON COMMERCIAL DEVELOPMENT**.

Sincerely,

A handwritten signature in black ink that reads "Nicolle Zuehlke". The signature is written in a cursive, flowing style.

Nicolle Zuehlke  
Itasca County Recorder/Registrar

## Minnesota Wetland Conservation Act Notice of Decision

<b>Local Government Unit:</b> Itasca SWCD - Waylon Glienke	<b>County:</b> Itasca
<b>Applicant Name:</b> Round 2 Development LLC	<b>Applicant Representative:</b> Erin Budrow
<b>Project Name:</b> RTDEV Delineation	<b>LGU Project No. (if any):</b>
<b>Date Complete Application Received by LGU:</b> 08/07/2021	
<b>Date of LGU Decision:</b> 08/31/2021	
<b>Date this Notice was Sent:</b> 08/31/2021	

**WCA Decision Type** - check all that apply

<input checked="" type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input type="checkbox"/> No-Loss (8420.0415)	<input type="checkbox"/> Exemption (8420.0420)		
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H	Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9		

**Replacement Plan Impacts** (replacement plan decisions only)

Total WCA Wetland Impact Area:
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

**Technical Evaluation Panel Findings and Recommendations (attach if any)**

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny <input type="checkbox"/> No TEP Recommendation
--

**LGU Decision**

<input type="checkbox"/> Approved with Conditions (specify below) <sup>1</sup> List Conditions:	<input checked="" type="checkbox"/> Approved <sup>1</sup>	<input type="checkbox"/> Denied
<b>Decision-Maker for this Application:</b> <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:		
<b>Decision is valid for:</b> <input checked="" type="checkbox"/> 5 years (default) <input type="checkbox"/> Other (specify):		

<sup>1</sup> *Wetland Replacement Plan approval is not valid until BWSR confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

**LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision<sup>1</sup>.**

<input type="checkbox"/> Attachment(s) (specify):
<input type="checkbox"/> Summary:

<sup>1</sup> *Findings must consider any TEP recommendations.*

**Attached Project Documents**

<input checked="" type="checkbox"/> Site Location Map <input checked="" type="checkbox"/> Project Plan(s)/Descriptions/Reports (specify):
---

**Appeals of LGU Decisions**

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator  
Minnesota Board of Water & Soils Resources  
520 Lafayette Road North  
St. Paul, MN 55155  
[travis.germundson@state.mn.us](mailto:travis.germundson@state.mn.us)

Does the LGU have a local appeal process applicable to this decision?

- Yes<sup>1</sup>       No

<sup>1</sup>If yes, all appeals must first be considered via the local appeals process.

**Local Appeals Submittal Requirements** (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

**Notice Distribution (include name)**

*Required on all notices:*

<input checked="" type="checkbox"/> SWCD TEP Member: Austin Steere (Austin.steere@itascaswcd.org)	
<input checked="" type="checkbox"/> BWSR TEP Member: Matt Johnson (matthew.johnson@state.mn.us)	
<input type="checkbox"/> LGU TEP Member (if different than LGU contact):	
<input checked="" type="checkbox"/> DNR Representative: Rian Reed (rian.reed@state.mn.us)	
<input checked="" type="checkbox"/> Member(s) of the public who requested notice.: Itasca County Environmental Services (Jim.Gustafson@co.itasca.mn.us)	
<input type="checkbox"/> Applicant:	<input checked="" type="checkbox"/> Agent/Consultant: Erin Budrow

*Optional or As Applicable:*

<input checked="" type="checkbox"/> Corps of Engineers: Andy Chambers Andy.Chambers@usace.army.mil	
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):	
<input type="checkbox"/>	Other:

<b>Signature:</b> 	<b>Date:</b> 08/31/2021
--	----------------------------

**This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.**

# ITASCA COUNTY

Itasca County  
Auditor/Treasurer  
123 NE 4th Street  
Grand Rapids MN  
55744

218-327-2859  
www.co.itasca.mn.us

Property ID: 91-033-2303

Owner: HAWKINSON CONST CO INC

### Taxpayer(s):

TAXPAYER # 9866  
HAWKINSON CONST CO INC  
PO BOX 278  
GRAND RAPIDS MN 55744

### Property Description:

GRAND RAPIDS CITY  
SEC:33 TWP: 55.0 RG:25 LOT: BLK: ACRES: 2.21  
PART OF S 1/2 OF SW-NW LYG E OF TH 169

# 2021 Property Tax Statement Item 2.

VALUES & CLASSIFICATION		
Taxes Payable Year: 2020		
		2021
STEP 1	Estimated Market Value:	94,500
1	Homestead Exclusion:	
	Taxable Market Value:	94,500
	New Improvements/ Expired Exclusions:	
	Property Classification:	COMM
Sent in March 2020		
STEP 2	<b>PROPOSED TAX</b>	
	Proposed Tax: (excluding special assessments)	2,518.00
Sent in November 2020		
STEP 3	<b>PROPERTY TAX STATEMENT</b>	
	First-half Taxes: May 17	1,260.00
	Second-half Taxes: October 15	1,260.00
	Total Taxes Due in 2021:	2,520.00

## \$\$\$

You may be eligible for one or even two refunds to reduce your property tax.

**REFUNDS?** Read the back of this statement to find out how to apply.

		Taxes Payable Year:	
		2020	2021
1. Use this amount on Form M1PR to see if you're eligible for a property tax refund. File by August 15. If box is checked, you owe delinquent taxes and are not eligible.			
2. Use these amounts on Form M1PR to see if you are eligible for a special refund.			
<b>PROPERTY TAX AND CREDITS</b>			
3. Property tax before credits		2,578.00	2,520.00
4. Credits that reduce property taxes:			
A. Agricultural and rural land credits			
B. Taconite tax relief			
C. Other credits			
5. Property tax after credits		2,578.00	2,520.00
<b>PROPERTY TAX BY JURISDICTION</b>			
6. County		710.33	685.55
7. City or Town		893.84	918.35
8. State General Tax			
9. School District: A. Voter approved levies		70.40	63.25
0318			
B. Other local levies		304.14	288.05
10A. Special taxing district		3.23	3.07
B. Tax increment			
C. Fiscal disparity		596.06	561.73
11. Non-school voter approved referenda levies			
12. Total property tax before special assessments		2,578.00	2,520.00
<b>SPECIAL ASSESSMENTS</b>			
13A.			
B.			
C.			
14. Total property tax and special assessments		2,578.00	2,520.00

ISSUED: 09/01/2021

## 2 ND HALF PAYMENT STUB



\*910332303

TAXPAYER # 9866  
HAWKINSON CONST CO INC

COMM ACCT# 73673

Property ID Number:	91-033-2303
Full Tax for Year	2,520.00
Balance Due	1,260.00
Penalty	
Total Paid	

\$30.00 service charge for all returned checks.

ISSUED: 09/01/2021

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Pay on or before October 15 to avoid penalty  
**Real Estate ITASCA COUNTY**

Note: When you provide a check as payment you authorize the County to use information from your check to make a one-time electronic fund transfer from your account. The funds may be withdrawn from your account the same day. You will not receive your check back from your financial institution.

Make checks payable to:  
County Auditor/Treasurer

Mail to: Itasca County  
Auditor/Treasurer  
123 NE 4th Street  
Grand Rapids MN  
55744

Check if address change on back   
If box is checked you owe delinquent taxes   
Detach stub and include with second half payment

Payable in **2021**

R

CASH   
CHECK   
COUNTER   
MAIL

## 1 ST HALF OR FULL PAYMENT STUB



\*910332303

TAXPAYER # 9866  
HAWKINSON CONST CO INC

COMM ACCT# 73673

Property ID Number:	91-033-2303
Full Tax for Year	2,520.00
Balance Due	.00
Penalty	
Total Paid	

\$30.00 service charge for all returned checks.

ISSUED: 09/01/2021

10000009103323032021073673

00000000000000002520002

Pay on or before May 17 to avoid penalty  
**Real Estate ITASCA COUNTY**

Note: When you provide a check as payment you authorize the County to use information from your check to make a one-time electronic fund transfer from your account. The funds may be withdrawn from your account the same day. You will not receive your check back from your financial institution.

Make checks payable to:  
County Auditor/Treasurer

Mail to: Itasca County  
Auditor/Treasurer  
123 NE 4th Street  
Grand Rapids MN  
55744

Check if address change on back   
If box is checked you owe delinquent taxes   
Detach stub and include with first half or full payment

Payable in **2021**

R

CASH   
CHECK   
COUNTER   
MAIL



# ITASCA COUNTY

Itasca County  
Auditor/Treasurer  
123 NE 4th Street  
Grand Rapids MN  
55744

218-327-2859  
www.co.itasca.mn.us

Property ID: 91-033-2402

Owner: HAWKINSON CONST CO INC

### Taxpayer(s):

TAXPAYER # 9866  
HAWKINSON CONST CO INC  
PO BOX 278  
GRAND RAPIDS MN 55744

### Property Description:

GRAND RAPIDS CITY  
SEC:33 TWP: 55.0 RG:25 LOT: BLK: ACRES: 20.06  
S 1/2 OF SE-NW

## 2021 Property Tax Statement Item 2.

VALUES & CLASSIFICATION		
Taxes Payable Year: 2020		
		2021
STEP 1	Estimated Market Value:	899,600
	Homestead Exclusion:	
	Taxable Market Value:	899,600
	New Improvements/Expired Exclusions:	
	Property Classification:	COMM
Sent in March 2020		
STEP 2	<b>PROPOSED TAX</b>	
	Proposed Tax: (excluding special assessments)	35,978.00
Sent in November 2020		
STEP 3	<b>PROPERTY TAX STATEMENT</b>	
	First-half Taxes: May 17	17,999.00
	Second-half Taxes: October 15	17,999.00
	Total Taxes Due in 2021:	35,998.00

# \$\$\$

You may be eligible for one or even two refunds to reduce your property tax.

**REFUNDS?** Read the back of this statement to find out how to apply.

		Taxes Payable Year:	
		2020	2021
1. Use this amount on Form M1PR to see if you're eligible for a property tax refund. File by August 15. If box is checked, you owe delinquent taxes and are not eligible.			
2. Use these amounts on Form M1PR to see if you are eligible for a special refund.			
<b>PROPERTY TAX AND CREDITS</b>			
3. Property tax before credits		37,152.00	35,998.00
4. Credits that reduce property taxes:			
A. Agricultural and rural land credits			
B. Taconite tax relief			
C. Other credits			
5. Property tax after credits		37,152.00	35,998.00
<b>PROPERTY TAX BY JURISDICTION</b>			
6. County		8,638.08	8,336.67
7. City or Town		10,869.71	11,167.71
8. State General Tax		6,115.20	5,663.79
9. School District: A. Voter approved levies		856.03	769.12
0318			
B. Other local levies		3,378.63	3,199.04
10A. Special taxing district		39.30	37.32
B. Tax increment			
C. Fiscal disparity		7,255.05	6,824.35
11. Non-school voter approved referenda levies			
12. Total property tax before special assessments		37,152.00	35,998.00
<b>SPECIAL ASSESSMENTS</b>			
13A.			
B.			
C.			
14. Total property tax and special assessments		37,152.00	35,998.00

ISSUED: 09/01/2021

## 2 ND HALF PAYMENT STUB



\*910332402

TAXPAYER # 9866  
HAWKINSON CONST CO INC

COMM ACCT# 73678

Property ID Number:	91-033-2402
Full Tax for Year	35,998.00
Balance Due	17,999.00
Penalty	
Total Paid	

\$30.00 service charge for all returned checks.

ISSUED: 09/01/2021

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Pay on or before October 15 to avoid penalty  
**Real Estate ITASCA COUNTY**

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123 NE 4th Street  
Grand Rapids MN  
55744

Check if address change on back   
If box is checked you owe delinquent taxes   
Detach stub and include with second half payment

Payable in **2021**

R

CASH   
CHECK   
COUNTER   
MAIL

## 1 ST HALF OR FULL PAYMENT STUB



\*910332402

TAXPAYER # 9866  
HAWKINSON CONST CO INC

COMM ACCT# 73678

Property ID Number:	91-033-2402
Full Tax for Year	35,998.00
Balance Due	.00
Penalty	
Total Paid	

\$30.00 service charge for all returned checks.

ISSUED: 09/01/2021

10000009103324022021073678

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Pay on or before May 17 to avoid penalty  
**Real Estate ITASCA COUNTY**

Note: When you provide a check as payment you authorize the County to use information from your check to make a one-time electronic fund transfer from your account. The funds may be withdrawn from your account the same day. You will not receive your check back from your financial institution.

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Grand Rapids MN  
55744

Check if address change on back   
If box is checked you owe delinquent taxes   
Detach stub and include with first half or full payment

Payable in **2021**

R

CASH   
CHECK   
COUNTER   
MAIL

# PRELIMINARY PLAT OF: HAWKINSON COMMERCIAL DEVELOPMENT

PARTS OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 55 NORTH, RANGE 25 WEST, ITASCA COUNTY MINNESOTA.

### LEGAL LAND DESCRIPTION PARCEL 1

The South One-half of the Southwest Quarter of the Northwest Quarters (S1/2 SW1/4 NW1/4) lying East of Highway, in Section Thirty-three (33), Township Fifty-five (55) North, Range Twenty-five (25), West of the Fourth Principal Meridian, Itasca County, Minnesota.

Abstract Property.

### LEGAL LAND DESCRIPTION PARCEL 2

The South Half of the Southeast Quarter of the Northwest Quarter (S1/2 of SE1/4 of NW1/4), Section Thirty-three (33), Township Fifty-five (55) North, Range Twenty-five (25), West of the Fourth Principal Meridian, according to the Government Survey thereof, Itasca County, Minnesota.

Torrens Property - Certificate of Title No. 24204.

### DEVELOPER / OWNER

Round 2 Development  
C/O MARK HAWKINSON  
P.O. BOX 246  
GRAND RAPIDS, MN 55744

### SURVEYOR / DESIGNER

SHORT ELLIOT HENDRICKSON INC.  
1200 SE 4TH AVENUE, SUITE 200  
GRAND RAPIDS, MN 55744

### CONTOUR INFORMATION

CONTOURS SHOWN HAVE BEEN GENERATED FROM FIELD OBSERVATION.

### ZONING

CURRENT ZONING IS GENERAL BUSINESS (GB)

### BUILDING SETBACKS

FRONT = 30'  
INTERIOR SIDE = 10'  
STREET SIDE = 15'  
REAR = 10'

### ACREAGE

LOT 1 : 1.14 ACRES  
LOT 2 : 3.02 ACRES  
LOT 3 : 1.46 ACRES  
OUTLOT A : 9.75 ACRES  
OUTLOT B : 2.10 ACRES  
OUTLOT C : 2.23 ACRES  
TOTAL GROSS ACREAGE: 22.28 ACRES  
(INCLUDING PROPOSED RIGHT-OF-WAY)

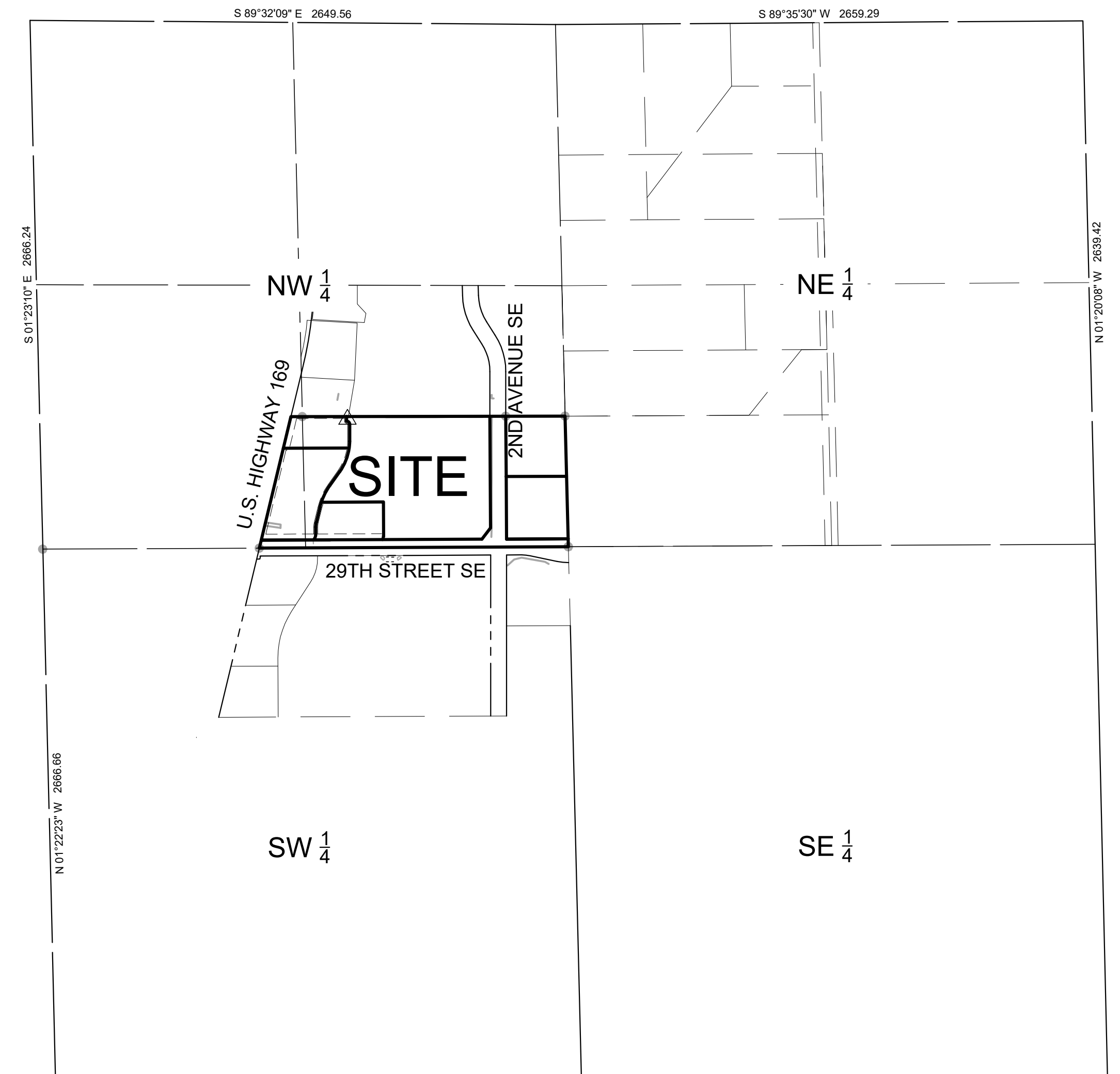
### PARKING SETBACKS

FRONT = 10'  
INTERIOR SIDE = 6'  
STREET SIDE = 10'  
REAR = 10'

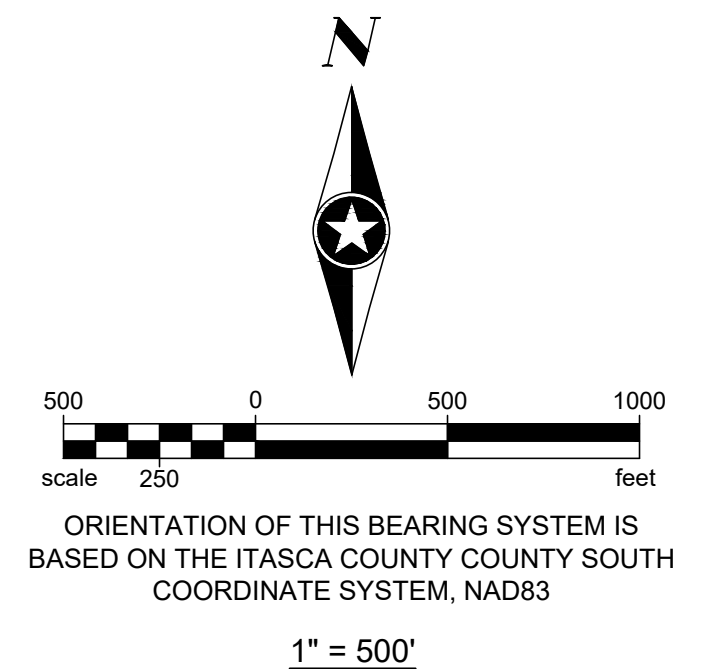
### EXISTING

- RIGHT OF WAY
- PERMANENT EASEMENT
- PROPERTY LINE
- BUILDING SETBACK
- PARKING SETBACK
  
- △ XX HORIZONTAL CONTROL POINT
- BM BENCHMARK
- SURVEY MARKER
- ⊕ SOIL BORING
- FM SANITARY SEWER AND MANHOLE
- LIFT FORCE MAIN AND LIFT STATION
- SANITARY SEWER SERVICE & CLEANOUT
- WATER MAIN, HYDRANT, VALVE AND MANHOLE
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- GAS MAIN, VALVE, VENT AND METER
- HANDHOLE
- BURIED FIBER OPTIC CABLE AND MANHOLE
- BURIED PHONE CABLE, PEDESTAL AND MANHOLE
- BURIED TV CABLE, PEDESTAL AND MANHOLE
- BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
- OVERHEAD WIRE, POLE AND GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL
- STREET NAME SIGN
- SIGN (NON STREET NAME)
  
- DECIDUOUS AND CONIFEROUS TREE
- EDGE OF WOODED AREA
- WETLAND
- BUILDING
- FENCE (UNIDENTIFIED)
- BARBED WIRE FENCE
- XC CHAIN LINK FENCE
- XE ELECTRIC WIRE FENCE
- XWD WOOD FENCE
- XWW WOVEN WIRE FENCE
- PLATE BEAM GUARDRAIL
- CABLE GUARDRAIL
- P POST / BOLLARD
- RETAINING WALL

### VICINITY MAP



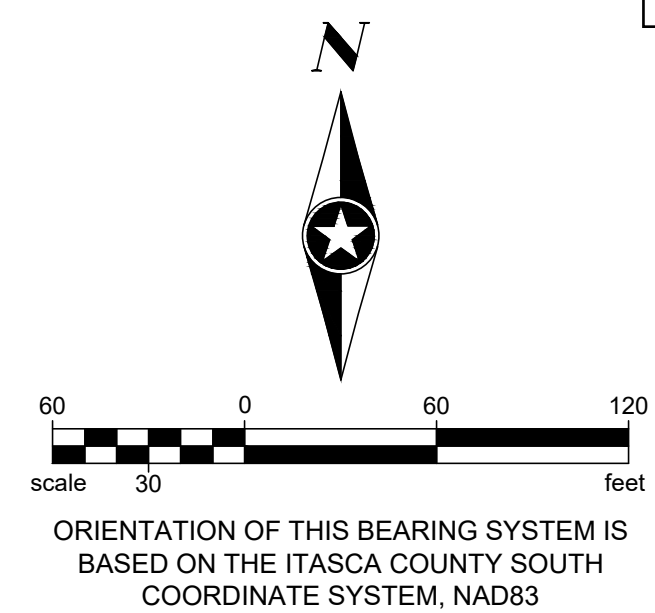
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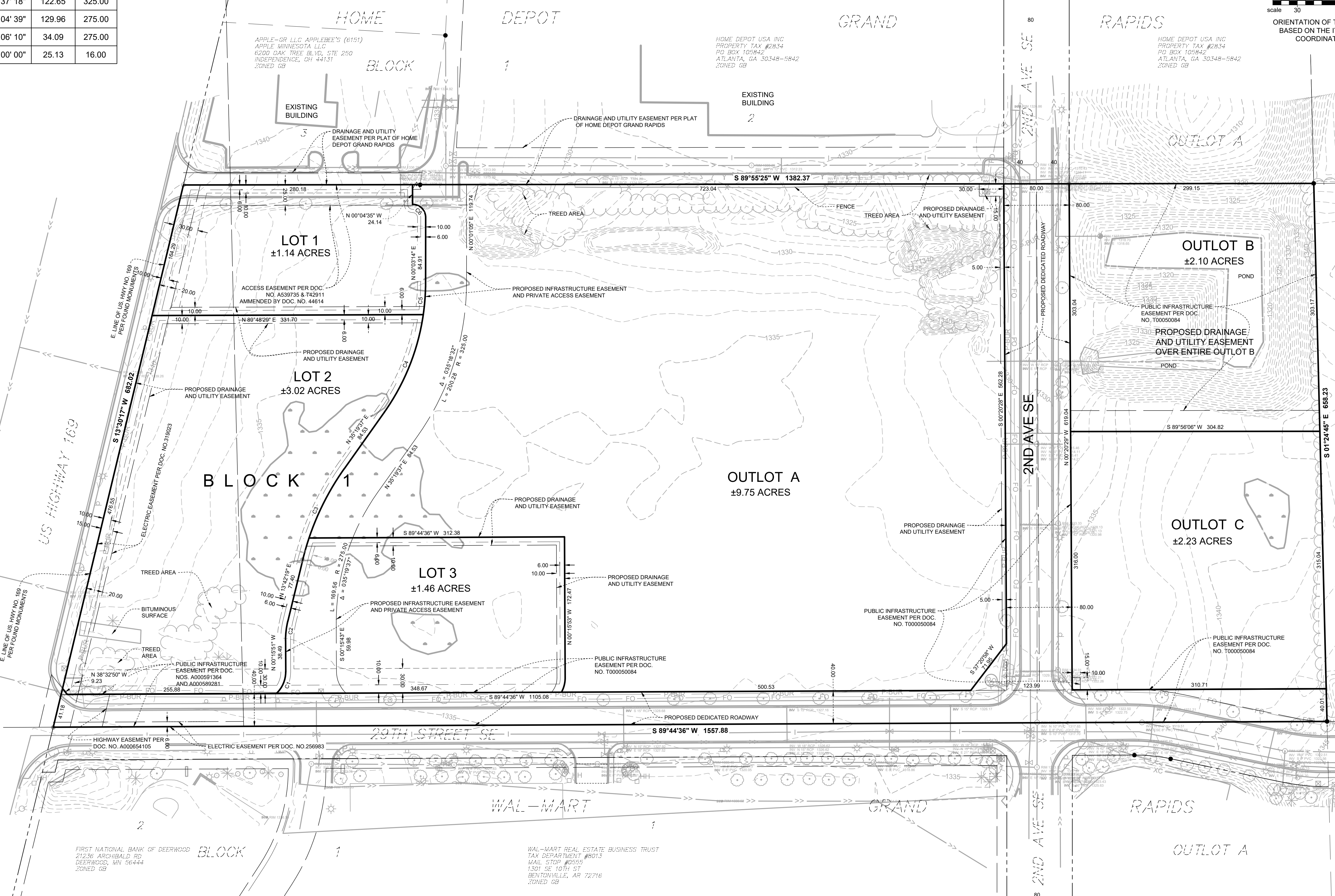
# PRELIMINARY PLAT OF: HAWKINSON COMMERCIAL DEVELOPMENT

PARTS OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 55 NORTH, RANGE 25 WEST, ITASCA COUNTY MINNESOTA.

PARCEL CURVE DATA			
CURVE	DELTA	LENGTH	RADIUS
C1	046° 50' 36"	29.43	36.00
C2	013° 42' 19"	23.68	99.00
C3	021° 37' 18"	122.65	325.00
C4	027° 04' 39"	129.96	275.00
C5	007° 06' 10"	34.09	275.00
C6	090° 00' 00"	25.13	16.00



Save: 9/3/2021 12:11 PM X:\PT\RT\TDE\161740\9-survey\92-CAD\15-dwg\RT 61740\_PP - mike.dwg



Save: 9/3/2021 11:12 AM schislenson Plot: 9/3/2021 11:38 AM X:\PT\RTDEV\1617405-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\RTDEV161740\TL2.dwg

**EXISTING**

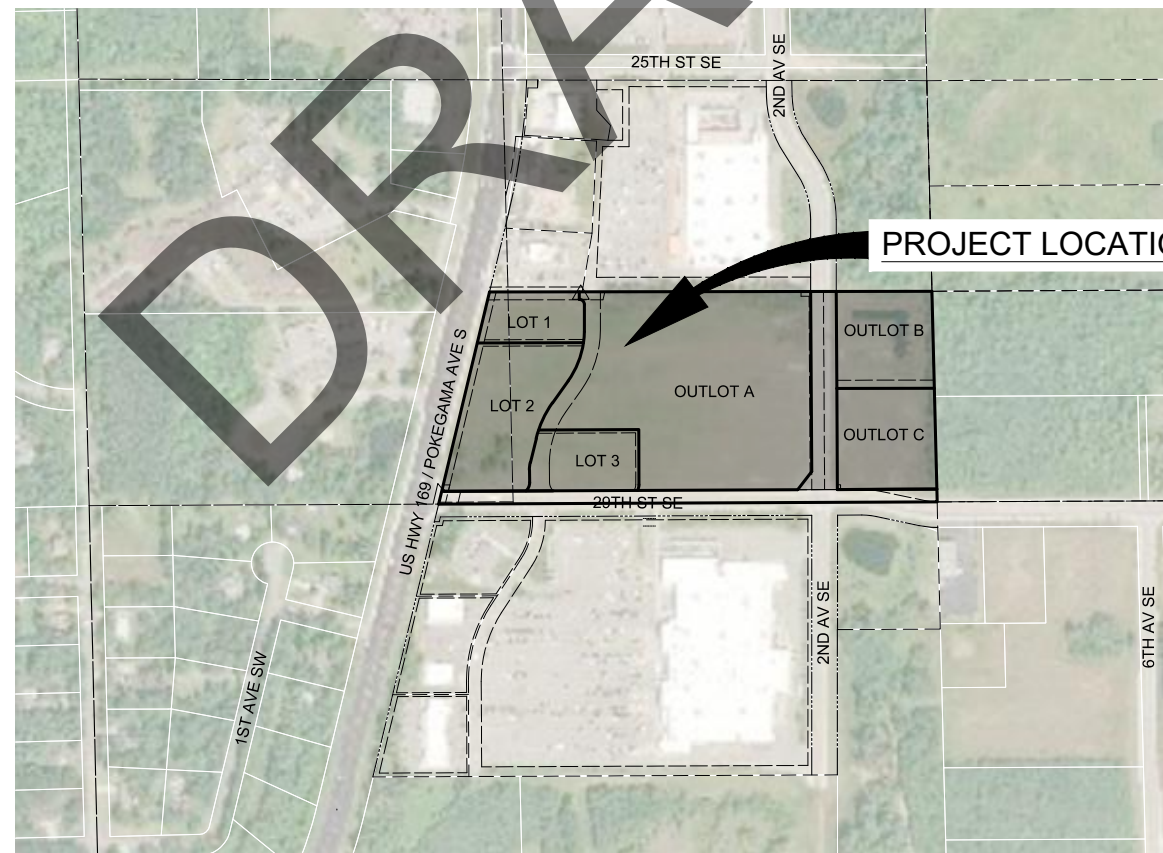
- RIGHT OF WAY
- PERMANENT EASEMENT
- PROPERTY LINE
- △<sup>XX</sup> HORIZONTAL CONTROL POINT
- ⊗<sup>BM</sup> BENCHMARK
- <sup>#</sup> SURVEY MARKER
- <sup>#</sup> SOIL BORING
- <sup>SS</sup> SANITARY SEWER AND MANHOLE
- <sup>LIFT</sup> FORCE MAIN AND LIFT STATION
- <sup>SS</sup> SANITARY SEWER SERVICE & CLEANOUT
- <sup>W</sup> WATER MAIN, HYDRANT, VALVE AND MANHOLE
- <sup>WS</sup> WATER SERVICE AND CURB STOP BOX
- <sup>SS</sup> STORM SEWER, MANHOLE AND CATCH BASIN
- <sup>G</sup> CULVERT AND APRON ENDWALL
- <sup>HH</sup> GAS MAIN, VALVE, VENT AND METER
- <sup>HH</sup> HANDHOLE
- <sup>FO</sup> BURIED FIBER OPTIC CABLE AND MANHOLE
- <sup>PO</sup> BURIED PHONE CABLE, PEDESTAL AND MANHOLE
- <sup>TV</sup> BURIED TV CABLE, PEDESTAL AND MANHOLE
- <sup>BE</sup> BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
- <sup>OW</sup> OVERHEAD WIRE, POLE AND GUY WIRE
- <sup>LP</sup> LIGHT POLE
- <sup>TS</sup> TRAFFIC SIGNAL
- <sup>SS</sup> STREET NAME SIGN
- <sup>NS</sup> SIGN (NON STREET NAME)
- RAILROAD TRACKS
- <sup>6"</sup> DECIDUOUS AND CONIFEROUS TREE
- <sup>6"</sup> BUSH / SHRUB AND STUMP
- EDGE OF WOODED AREA
- WETLAND
- BUILDING
- FENCE (UNIDENTIFIED)
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- ELECTRIC WIRE FENCE
- WOOD FENCE
- WOVEN WIRE FENCE
- PLATE BEAM GUARDRAIL
- CABLE GUARDRAIL
- <sup>P</sup> POST / BOLLARD
- RETAINING WALL

**PROPOSED**

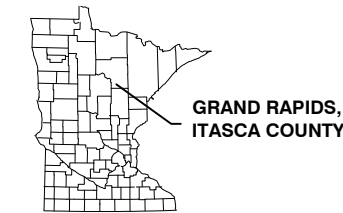
- 6+00 STREET CENTERLINE
- RIGHT-OF-WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- CONSTRUCTION LIMITS
- <sup>SS</sup> SANITARY SEWER, BULKHEAD AND MANHOLE
- <sup>FM</sup> FORCE MAIN
- <sup>SS</sup> SANITARY SERVICE AND CLEANOUT
- <sup>W</sup> WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
- <sup>WM</sup> WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
- <sup>WS</sup> WATER SERVICE AND CURB STOP BOX
- <sup>SS</sup> STORM SEWER, MANHOLE AND CATCH BASIN
- <sup>G</sup> CULVERT AND APRON ENDWALL
- DRAIN TILE
- DITCH / SWALE
- RIPRAP
- <sup>SS</sup> STREET NAME SIGN
- <sup>NS</sup> SIGN (NON STREET NAME)
- RETAINING WALL

# CITY OF GRAND RAPIDS, MINNESOTA

## CONSTRUCTION PLANS FOR HAWKINSON COMMERCIAL DEVELOPMENT SITE DEVELOPMENT, SITE GRADING, WATERMAIN EXTENSION, STORM & SANITARY SEWER



PROJECT LOCATION



NOTE:  
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D.  
THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE  
GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE  
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE ONE CALL SYSTEM AT  
811 BEFORE COMMENCING EXCAVATION.



GOVERNING SPECIFICATIONS  
THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION  
"STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN  
AS MODIFIED BY THE SPECIFICATIONS FOR THIS PROJECT. Item 2.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE  
MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST  
FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	LOCATION MAP
3	CONSTRUCTION NOTES
4	STRUCTURE SCHEDULES
5-8	CONSTRUCTION DETAILS
9	TYPICAL SECTIONS
10	ALIGNMENT PLAN
11-12	REMOVAL PLAN
13-16	GRADING PLAN
17-18	PROJECT PLAN & PROFILES
19-21	EROSION CONTROL & TURF ESTABLISHMENT PLAN
22-24	SWPPP
25-30	CROSS SECTIONS

THIS PLAN CONTAINS 30 SHEETS.

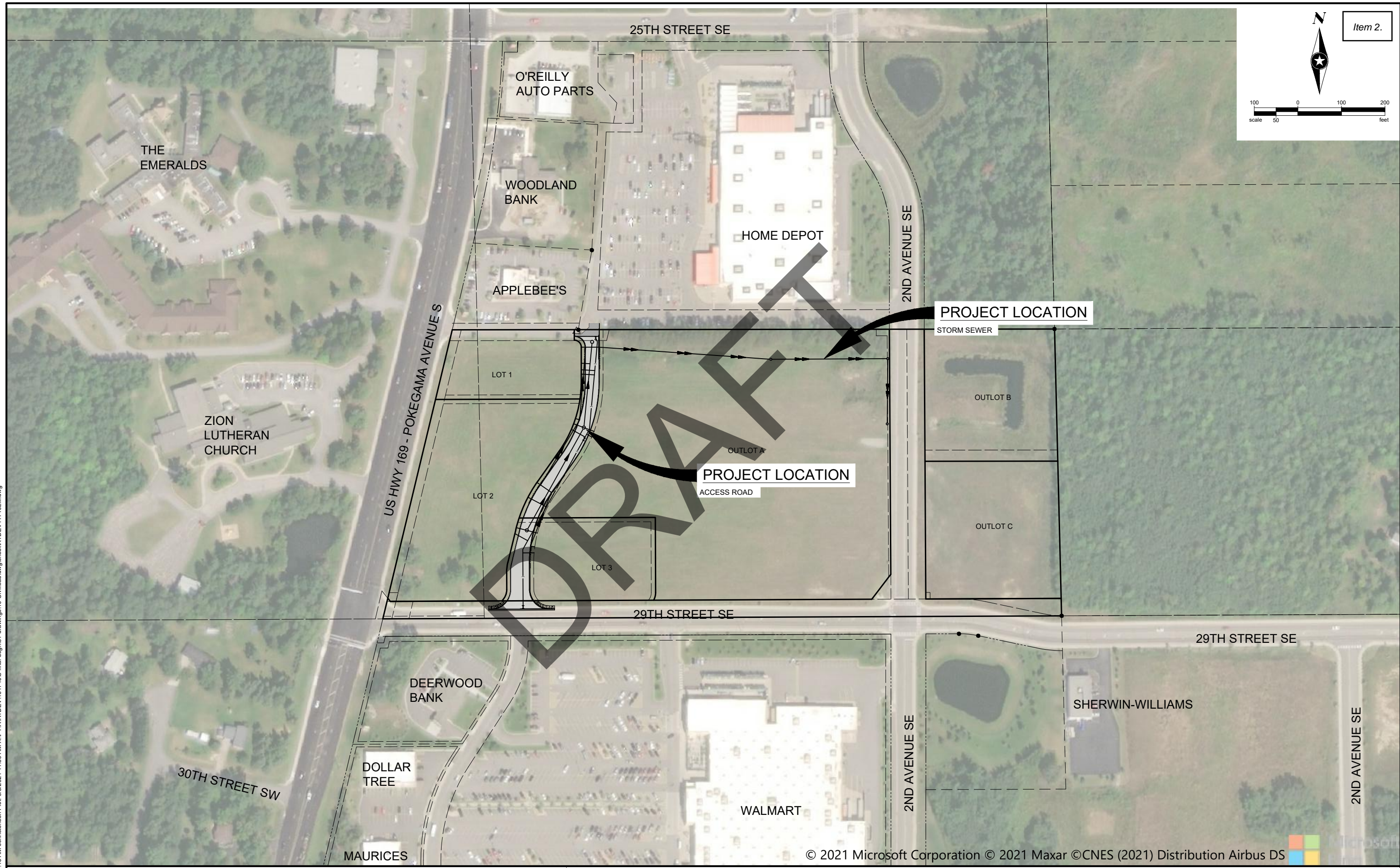
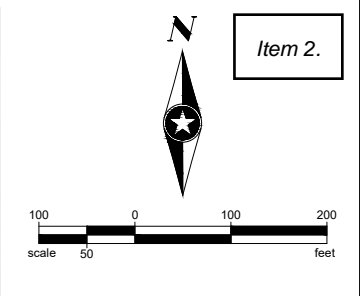
APPROVED: \_\_\_\_\_  
CITY ENGINEER OF GRAND RAPIDS, MN DATE \_\_\_\_\_

**SEH**  
PHONE: 218.322.4500  
1200 SE 4th Avenue, Suite 200  
GRAND RAPIDS, MN 55744  
www.sehinc.com

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_  
Date: \_\_\_\_\_ Lic. No. LICENSED NAME \_\_\_\_\_

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SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By		.			.		
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DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_



**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**GENERAL CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
2. CONSTRUCTION LIMITS ARE THE RIGHT OF WAY UNLESS NOTED OTHERWISE. (INCLUDES CITY OWNED PROPERTY IN PLATTED AREA)
3. ALL SEWER INVERTS, ELEVATIONS & GRADES ARE COMPUTED CENTER-TO CENTER OF STRUCTURES OR END OF APRONS. PIPES THAT INCLUDED APRONS DISPLAY THE TOTAL PIPE AND APRON LENGTH ON THE PLAN, HOWEVER QUANTITY WILL REFLECT ACTUAL PIPE LENGTH (MINUS APRON)
4. ALL TREES AND SHUBS SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS SHOWN ON THE PLANS DESIGNATED BY 
5. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE AND MAY NOT BE COMPLETE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED IN THE FIELD BEFORE DIGGING. THERE WILL BE NO ADDITIONAL COMPENSATION TO THE CONTRACTOR FOR WORKING AROUND EXISTING UTILITIES.
6. CONTRACTOR TO CONTACT UTILITY COMPANIES TO RELOCATE UTILITIES AS REQUIRED.
7. TRAFFIC CONTROL SHALL COMPLY WITH MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SEE FIELD MANUAL LATEST VERSION.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DISPOSE OFF-SITE ALL TREES, STUMPS, BRUSH OR OTHER DEBRIS THAT EXISTS WITHIN THE CONSTRUCTION AREAS. NO BURNING IS PERMITTED.
9. CONSTRUCT ALL RADII AS PER PLANS. RADII SHOWN ARE TO GUTTER LINE/FACE OF CURB FOR CURB AREAS.
10. WHERE SECTION OR SUBSECTION MONUMENTS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND CAREFULLY PRESERVE ALL PROPERTY MARKS AND MONUMENTS UNTIL THE OWNER AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATION.
11. SAW-CUT BITUMINOUS AS DIRECTED BY THE ENGINEER PRIOR TO REMOVAL. THE CONTRACTOR SHALL SAWCUT PAVEMENT AS INDICATED ON THE PLANS TO SEPARATE THE EXISTING MATERIAL TO BE REMOVED BY MEANS OF AN APPROVED SAW. SUITABLE GUIDELINES OR DEVICES SHALL BE USED TO ASSURE CUTTING A NEAT, STRAIGHT LINE AS SHOWN ON THE PLANS. CARE SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO DAMAGE THE REMAINING MATERIALS DIRECTLY ADJACENT TO THE MATERIALS TO BE REMOVED. ANY DAMAGE TO THE EXISTING MATERIAL RESULTING FROM THE MATERIAL REMOVAL OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL FOLLOW FEDERAL REQUIREMENTS FOR DUST CONTROL.
12. CONTRACTOR SHALL STRIP ALL TOPSOIL AND REUSE ON SITE WHERE NEEDED, EXCEPT WHERE NOTED. STRIPPING AND PLACEMENT IS INCIDENTAL TO COMMON EXCAVATION. TOPSOIL SALVAGED FROM THE SCHOOL SITE MASS GRADING SHALL STAY AND BE STOCKPILED ON THE PLATTED SCHOOL PROPERTY FOR FUTURE USE BY OTHERS.
13. CONTRACTOR SHALL VERIFY INVERTS ON EXISTING UTILITIES PRIOR TO INSTALLATION OF STRUCTURES OR PIPES.
14. MAINTENANCE OF HAUL ROADS SHALL BE INCIDENTAL TO CONSTRUCTION.
15. CONTRACTOR SHALL VERIFY WIDTH OF PROPOSED DRIVEWAYS AND LOCATION OF DRIVEWAY CURB OPENINGS WITH ENGINEER IN THE FIELD PRIOR TO CONSTRUCTION.
16. REMOVE AND RECONSTRUCT DRIVEWAY SURFACES AS SHOWN ON PLANS UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER OR THEIR REPRESENTATIVE.
17. WHEN EVER THE WORD "INCIDENTAL" IS USED IN THIS PLAN SET, IT SHALL MEAN NO DIRECT COMPENSATION WILL BE MADE.
18. CONTRACTOR SHALL PROVIDE ACCESS TO ALL PROPERTIES, UNLESS ALTERNATE PROVISIONS ARE APPROVED BY THE PROPERTY OWNER AND THE ENGINEER.
19. CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS A MINIMUM OF 48 HRS IN ADVANCE OF DISRUPTION TO SERVICE.
20. CONTRACTOR SHALL SUPPLY A TRASH CONTAINER ON SITE FOR CONSTRUCTION DEBRIS/TRASH. ABSOLUTELY NO TRASH TO BE DISCARDED IN EXCAVATIONS. CONTRACTOR SHALL ENSURE TRASH IS COLLECTED FROM WORK ACTIVITIES AND DISCARDED IN APPROPRIATE TRASH CONTAINERS DAILY.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND REPAIRING ALL EXISTING AREAS, PAVEMENTS, STRUCTURES, OR OTHER FACILITIES DAMAGED DURING CONSTRUCTION ACTIVITIES TO EQUAL OR BETTER CONDITIONS.
22. TRACER WIRE SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
23. ANY TRIMMING OF BRANCHES / TREES REQUIRED FOR CONSTRUCTION SHALL BE INCIDENTAL TO CLEARING AND GRUBBING. THIS WILL INCLUDE ANY DEAD BRANCHES AFTER SUBSTANTIAL COMPLETION.
24. CONTRACTOR SHALL TAKE CARE TO MINIMIZE REMOVAL OF TREES. IF EXISTING TREE CAN BE MAINTAINED IT SHALL NOT BE REMOVED.
25. CONTRACTOR SHALL FOLLOW ALL ADA REQUIREMENTS.
26. CONTRACTOR SHALL REVIEW ALL GRADES FOR DRAINAGE ISSUES. THIS INCLUDES BUT IS NOT LIMITED TO TURF, CONCRETE CURB PAN, ADA RAMPS, CONCRETE CURB, AND BITUMINOUS PAVEMENT.

**TURF ESTABLISHMENT NOTES:**

1. CONTRACTOR SHALL TAKE CARE TO MINIMIZE PROJECT DISTURBANCE AND KEEP THE SEEDING AREA PER THE PLAN.
2. IF THE ENGINEER DETERMINES THAT EXCESS TURF ESTABLISHMENT AREAS WERE NOT NECESSARY FOR CONSTRUCTION, TURF ESTABLISHMENT IN THESE AREAS WILL BE THE CONTRACTOR'S RESPONSIBILITY.

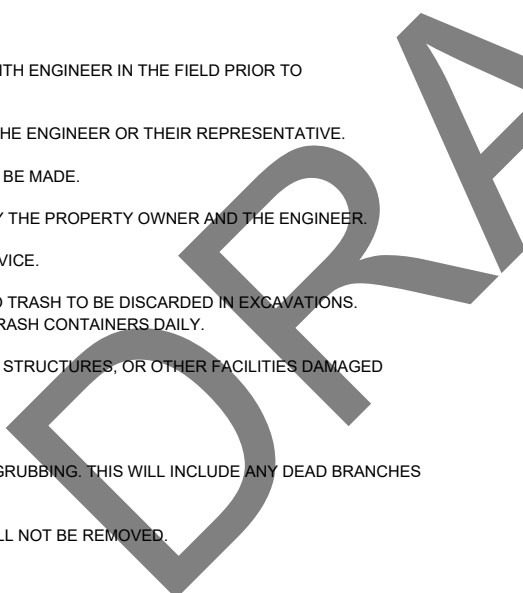
**EROSION CONTROL NOTES:**

1. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES AS SHOWN OR NOT SHOWN ON THESE PLANS AND SPECIFICATIONS AND IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY IN ORDER TO PROTECT ADJACENT PROPERTY. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR MAINTENANCE AND IMPLEMENTATION OF STORM WATER EROSION CONTROL ITEMS TO COMPLY WITH THE NPDS PERMIT REQUIREMENTS. THIS INCLUDES GEOTEXTILE FABRIC ON SLOPES/ RUNOFF FOR ROADWAYS SUSCEPTIBLE TO EROSION. ADDITIONAL ITEMS REQUESTED BY THE MPCA AND ANY OTHER ITEMS REQUESTED BY THE ENGINEER DURING CONSTRUCTION. ALL WORK THAT IS NOT INCLUDED IN PAY ITEMS SHALL BE DEEMED INCIDENTAL TO CONSTRUCTION. ANY PENALTIES IMPOSED ON THE COUNTY OR THE CONTRACTOR AS A RESULT OF STORMWATER ISSUES WILL BE PAID COMPLETELY BY THE CONTRACTOR.
2. WATER FOR ON SITE DUST CONTROL SHALL BE INCIDENTAL TO CONSTRUCTION. WHEN A WATER TRUCK IS REQUESTED BY THE ENGINEER, THE CONTRACTOR SHALL RESPOND WITHIN 4 HOURS. IF THE CONTRACTOR DOES NOT COMPLY, A \$250 PENALTY WILL BE ASSESSED PER INCIDENT.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS. THE CONTRACTOR SHALL OBTAIN THE CITY OF GRAND RAPIDS STORMWATER POLLUTION PREVENTION PERMIT. THE MPCA NPDES PERMIT IS PAID FOR BY THE CITY. THE CONTRACTOR SHALL BE A CO-PERMITTEE.
4. WHEN STREET SWEEPING IS REQUESTED BY THE OWNER/ENGINEER, THE CONTRACTOR SHALL RESPOND WITHIN 4 HOURS. IF THE CONTRACTOR DOES NOT COMPLY, A \$250 PENALTY WILL BE ASSESSED PER INCIDENT.
5. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN STABILIZED CONSTRUCTION EXITS AT ALL LOCATION WHERE TRAFFIC LEAVES THE CONSTRUCTION SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE STABILIZED CONSTRUCTION EXITS MAINTENANCE AND REPAIR ARE INCLUDED IN THE BID ITEM.
6. INLET PROTECTION IS PAID PER EXISTING OR PROPOSED STRUCTURE (EACH). EXISTING STRUCTURES, ON OR ADJACENT TO THE PROJECT, RECEIVE A DROP IN FILTER BAG. NEW STRUCTURES INITIALLY RECEIVE A SILT FENCE BOX. ONCE THE CASTING IS SET ON A NEW STRUCTURE, IT SHALL RECEIVE A DROP IN FILTER BAG. MAINTENANCE OF ALL INLET PROTECTION DEVICES INCLUDES CLEANING AND MAINTENANCE.

**TRAFFIC CONTROL NOTES:**

1. CONTRACTOR SHALL SUPPLY A TRAFFIC CONTROL PLAN FOR ALL WORK.
2. TRAFFIC CONTROL PLANS SHALL BE SUBMITTED AT THE PRE-CONSTRUCTION MEETING, OR AT LEAST 2 WEEKS IN ADVANCE OF CONSTRUCTION ACTIVITIES COMMENCING. ENGINEER SHALL REVIEW AND APPROVE ALL TRAFFIC CONTROL PLANS.
3. ACCESS MUST BE PROVIDED AT ALL TIMES TO RESIDENTS.

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DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**CONSTRUCTION NOTES**

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DRAFT

**PROPOSED STORM SEWER SCHEDULE**

STRUCTURE	ALIGNMENT	STATION	OFFSET	CONNECT STRUC.	T.C. ELEV.	INVERT ELV.	STRUCTURE DESIGN	STRUCTURE HEIGHT	CASTING
X103	Alignment Storm	208+63.66	-25.08		1328.82	1324.02	48 -4020 CB	4.80'	EXISTING
BH1	Alignment Roadway	107+07.98	-25.00	105		1327.34	BULKHEAD		
BH2	Alignment Roadway	105+35.00	-25.00	106		1327.93	BULKHEAD		
BH3	Alignment Roadway	103+55.69	-25.00	107		1328.54	BULKHEAD		
BH4	Alignment Roadway	102+15.00	25.00	109		1329.21	BULKHEAD		
101	Alignment Storm	208+64.25	0.07	102	1329.97	1324.47 1324.37	48 -4020 MH	5.61'	700/721
102	Alignment Storm	207+14.46	0.00	101 103	1327.38	1325.00 1324.90	DESIGN H MH	2.47'	FRAME AND 731
103	Alignment Storm	204+46.15	0.00	102 104	1328.52	1325.88 1325.78	DESIGN H MH	2.74'	FRAME & 731
104A	Alignment Roadway	107+33.00	15.00	104	1333.69	1327.10	DESIGN G	6.59'	805/814A
104	Alignment Roadway	107+07.98	15.00	103 105 104A	1333.95	1327.12 1327.03 1327.03	48 -4020 CB	6.92'	805/814A/823A
105	Alignment Roadway	107+08.00	-15.00	104 BH1 106	1333.95	1327.31 1327.21 1327.31	48 -4020 CB	6.74'	805/814A/823A
106	Alignment Roadway	105+35.00	-15.00	105 BH2 107	1334.91	1327.90 1327.80 1327.90	48 -4020 CB	7.11'	805/814A/823A
107	Alignment Roadway	103+55.65	-15.00	106 BH3 108	1331.83	1328.51 1328.41 1328.51	48 -4020 CB	3.42'	805/814A/823A
108	Alignment Roadway	103+55.65	15.00	107 109	1331.83	1328.59 1328.70	48 -4020 CB	3.23'	805/814A/823A
109	Alignment Roadway	102+15.00	15.00	BH4 108	1333.36	1329.08 1329.18	48 -4020 CB	4.28'	805/814A/823A

\*\*NOTE : ALL STORM CATCH BASIN CASTINGS SHALL BE FULL FLANGED\*\*


**PROPOSED SANITARY SEWER SCHEDULE**

STRUCTURE	ALIGN.	STATION	OFFSET	TYPE	CASTING ASSEMBLY	T.C. ELEV	INVERT ELEV	STRUCTURE DEPTH
X1	Alignment Roadway	107+71.09	0.33 L	48 IN MH	STANDARD	1333.71	1313.99 1313.99 1314.01	19.72
C4	Alignment Roadway	102+49.83	25.00 R	8 IN CLEANOUT	STANDARD	1333.98	1321.35	12.63
C3	Alignment Roadway	102+49.83	25.00 L	8 IN CLEANOUT	STANDARD	1333.98	1321.35	12.63
PLUG	Alignment Roadway	105+21.17	25.00 R	8 IN CLEANOUT	STANDARD	1334.73	1320.65	14.08
C2	Alignment Roadway	105+21.17	25.00 L	8 IN CLEANOUT	STANDARD	1334.75	1320.65	14.09
WYE	Alignment Roadway	106+70.00	4.84 L	8 IN CLEANOUT	STANDARD	1334.89	1319.73 1319.73 1319.73	15.16
C1	Alignment Roadway	106+71.06	25.02 L	8 IN CLEANOUT	STANDARD	1334.97	1320.13	14.99
1	Alignment Roadway	107+20.00	0.00	48 IN MH	STANDARD	1334.18	1319.62 1314.25	19.92
2	Alignment Roadway	105+21.04	0.00	48 IN MH	STANDARD	1335.08	1320.15 1320.05 1320.15 1320.15	15.03
3	Alignment Roadway	102+50.00	0.00	48 IN MH	STANDARD	1333.24	1320.85 1321.23 1320.85	12.39

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DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_



**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**CONSTRUCTION NOTES**

① FINISHED SIZE, INCLUDING POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 IN. X 4 IN. OR USE A ROCK SOCK OR SAND BAGS IN PLACE OF THE ROCK SOCK AND WOOD 2 IN. X 4 IN.

INSTALLATION NOTES:  
DO NOT INSTALL PROTECTION IN INLETS SHALLOWER THAN 30 IN., MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CLINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCH CLEARANCE.

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NOTE:  
TO PREVENT TRACKING OF MUD ONTO PAVED ROADS, INSTALL ADDITIONAL ROCK OR REMOVE AND REPLACE THE PAD AS REQUIRED

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DESIGN GUIDELINES:  
(SEE MNDOT SPEC. 2573.3C AND 3886)

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Revised: Oct. 2011  
SEH Plate No. ERO-28

**FILTER BAG INSERT**

SEH

Revised: Oct. 2011  
SEH Plate No. ERO-01

**INLET PROTECTION - TYPE A**

SEH

Revised: Oct. 2011  
SEH Plate No. ERO-35

**STABILIZED CONSTRUCTION EXIT**

SEH

Revised: Jan. 2013  
SEH Plate No. ERO-15

**SILT FENCE**

① PLACING STOCK PILES NEXT TO AN ENVIRONMENTALLY SENSITIVE AREA IS NOT RECOMMENDED. WHEN THERE ARE NO FEASIBLE ALTERNATIVES, THE SUPER DUTY SILT FENCE IS TO BE USED AS SHOWN OR AS DIRECTED BY THE ENGINEER.

② CRITICAL AREAS INCLUDE WETLANDS, JUDICIAL DITCHES, STREAMS, WATER BODIES, AND OTHER AREAS REQUIRING PROTECTION.

③ INSTALL TO FIT LAND FORM AND ITEM TO PROTECT.

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① WHERE SEWER DEPTH EXCEEDS 15 FEET, USE RISER DETAIL, UNLESS NOTED OTHERWISE ON PLANS.

② IF GROUND WATER IS PRESENT, CONTINUE PIPE UNTIL ABOVE WATER TABLE.

③ ALL SERVICE PIPE, BENDS, AND WYES SHALL BE SDR 26 PVC UNLESS OTHERWISE SPECIFIED.

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Revised: Oct. 2011  
SEH Plate No. ERO-27

**SILT FENCE STOCKPILE CONTAINMENT**

SEH

Revised: Oct. 2011  
SEH Plate No. SAN-01

**SANITARY SEWER MANHOLE**

SEH

Revised: Jan. 2013  
SEH Plate No. SAN-08

**SANITARY SEWER OUTSIDE DROP MANHOLE**

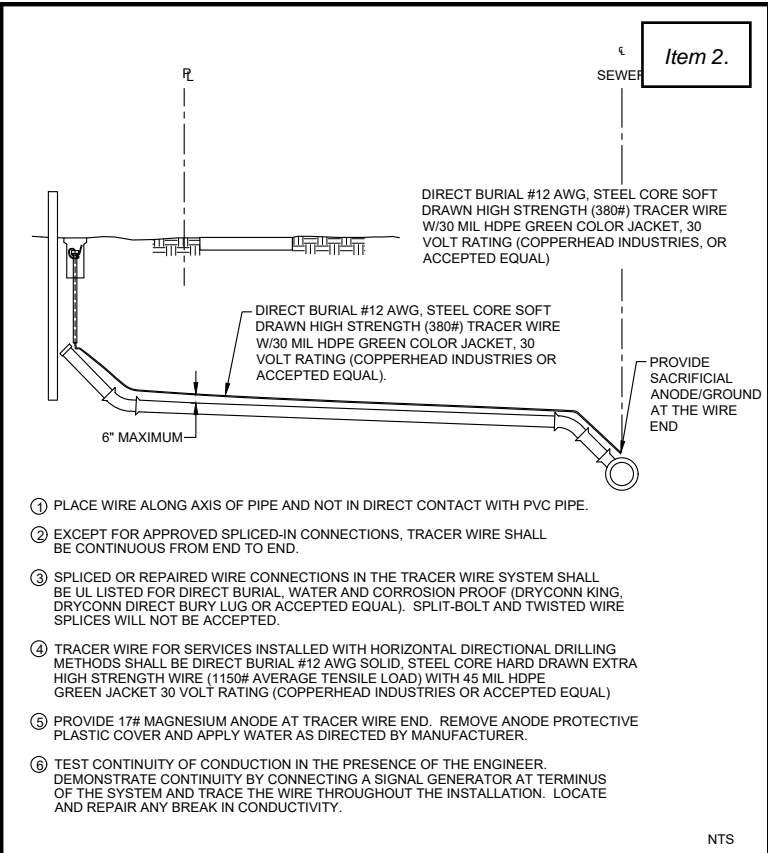
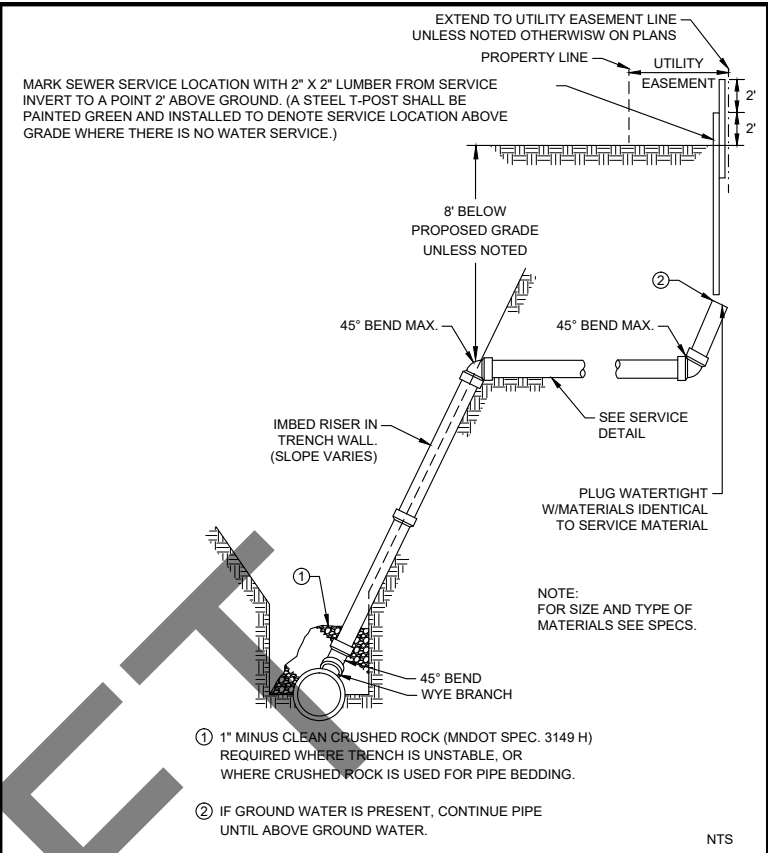
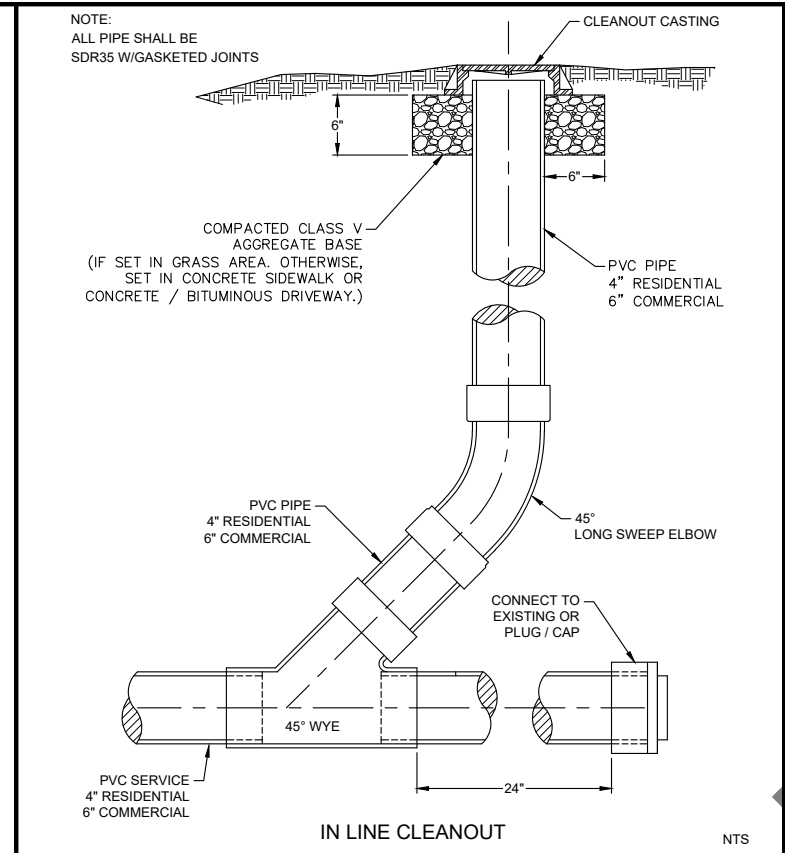
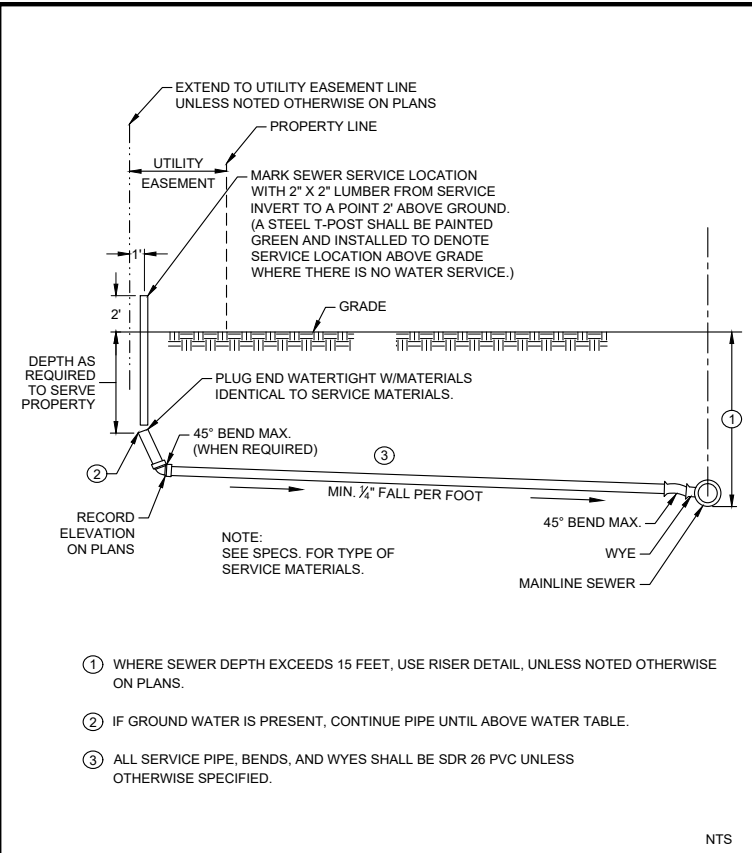
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**SANITARY SEWER SERVICE**

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SANITARY SEWER SERVICE

Revised: Oct. 2011  
SEH Plate No. SAN-11

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SANITARY SEWER SERVICE CLEANOUT (PLATE 1 OF 2)

Revised: Oct. 2011  
SEH Plate No. SAN-17

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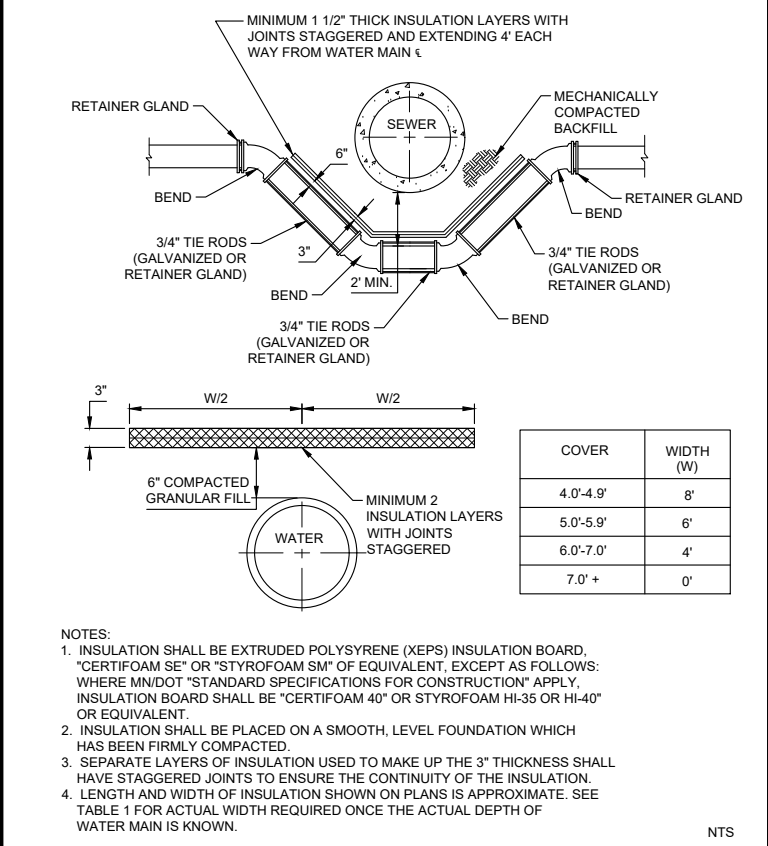
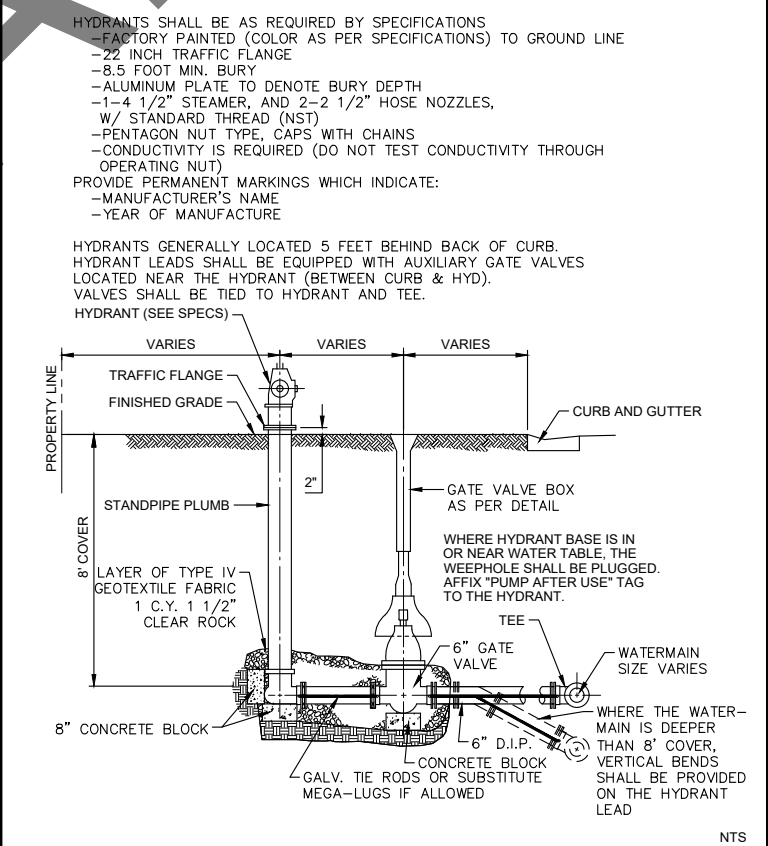
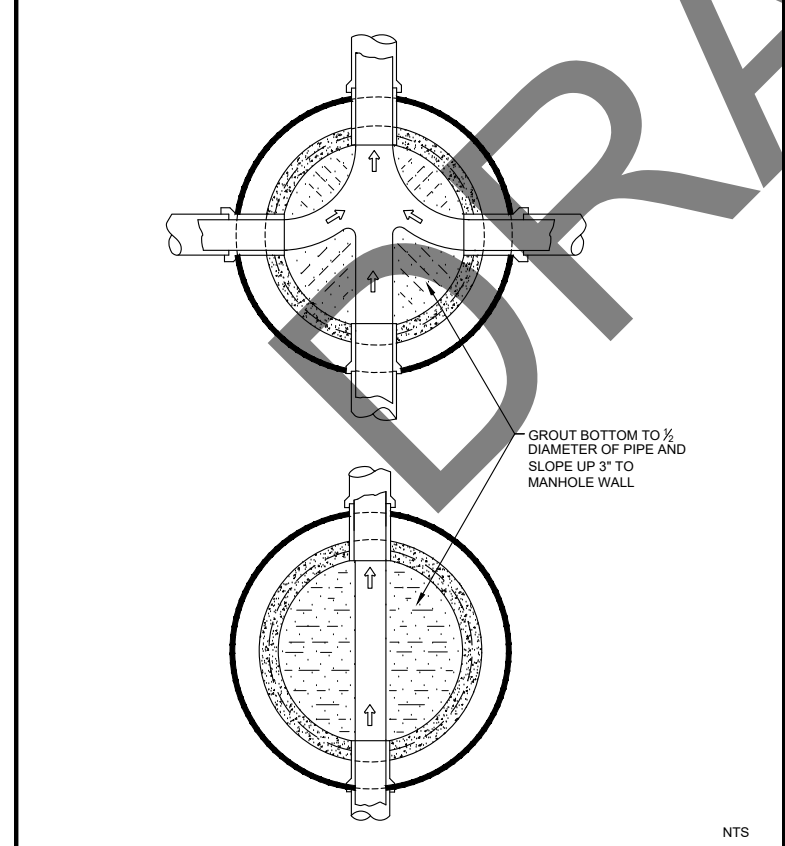
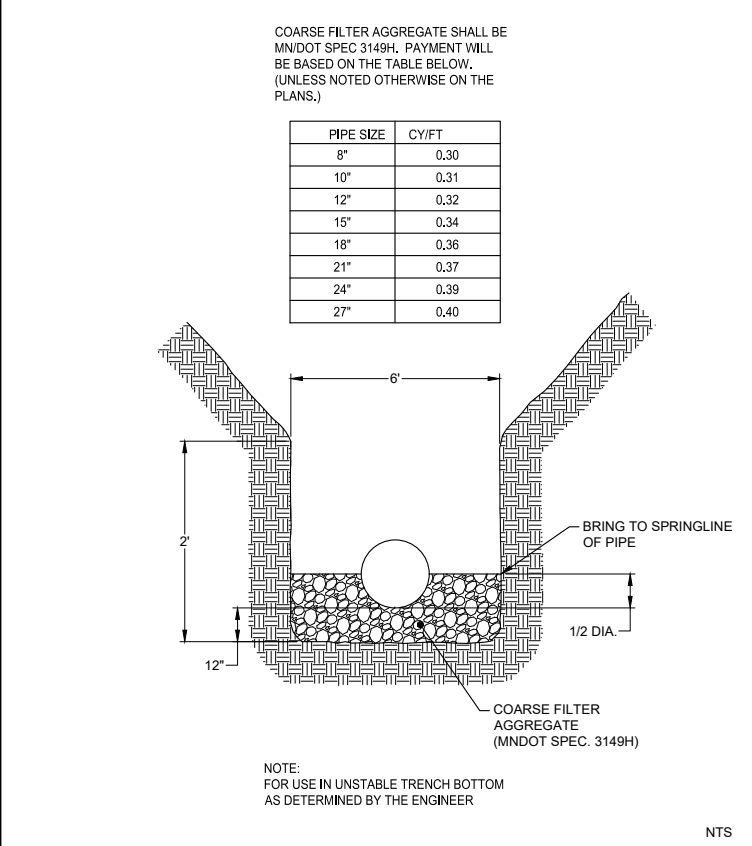
SANITARY SEWER SERVICE RISER (PVC MAIN)

Revised: Oct. 2011  
SEH Plate No. SAN-12

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SANITARY SEWER SERVICE TRACER WIRE (PLATE 1 OF 2)

Revised: Oct. 2011  
SEH Plate No. SAN-09



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TRENCH BEDDING AND FOUNDATION

Revised: Oct. 2016  
SEH Plate No. SAN-15

SEH

TYPICAL INVERT DETAILS

Revised: Oct. 2011  
SEH Plate No. SAN-10

SEH

HYDRANT AND GATE VALVE INSTALLATION WATEROUS PACER WB67

Revised: Oct. 2016  
SEH Plate No. WAT-02

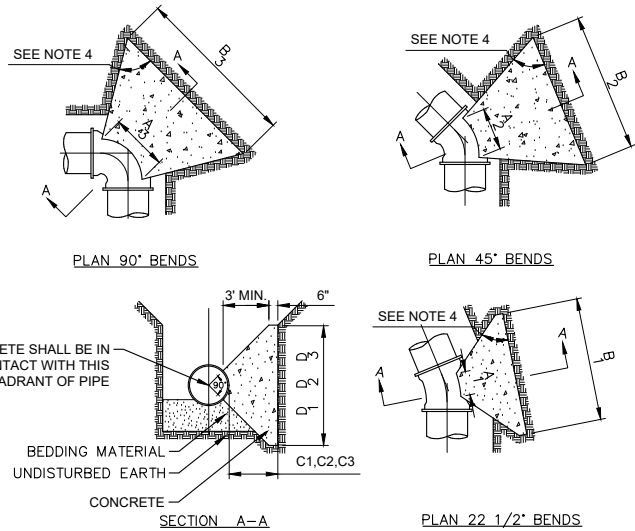
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WATER MAIN INSULATION

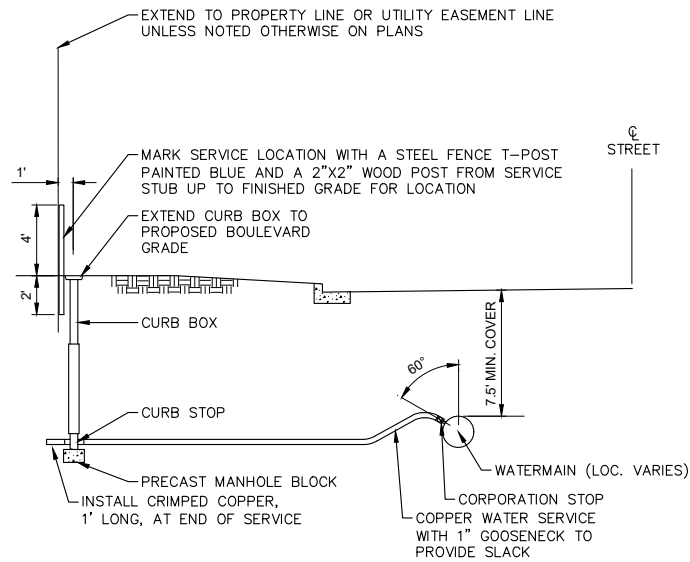
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- NOTES:  
 1. SHAPE OF BACK BUTTRESS MAY VARY AS LONG AS POURED AGAINST FIRM UNDISTURBED EARTH.  
 2. DIMENSION C1,C2,C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE  $\theta$  EQUAL TO OR LARGER THAN 45°.  
 3. DIMENSION A1,A2,A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH MJ BOLTS.  
 4. 45° MINIMUM.  
 5. PLACE POLYETHYLENE BETWEEN CONCRETE AND PIPE.

PIPE SIZE	BUTTRESS DIMENSIONS					
	22 1/2° BEND		45° BEND		90° BEND	
	B <sub>1</sub>	D <sub>1</sub>	B <sub>2</sub>	D <sub>2</sub>	B <sub>3</sub>	D <sub>3</sub>
6"	1'-5"	1'-5"	1'-5"	1'-5"	2'-1"	1'-6"
8"	1'-5"	1'-5"	2'-1"	1'-6"	2'-8"	2'-0"
12"	1'-10"	1'-10"	3'-4"	2'-0"	4'-9"	2'-6"
16"	3'-0"	2'-0"	3'-10"	3'-0"	6'-2"	3'-6"
20"	3'-6"	2'-8"	5'-6"	3'-4"	8'-4"	4'-0"
24"	4'-4"	3'-0"	6'-10"	3'-10"	9'-8"	5'-0"
30"	-	-	9'-3"	6'-0"	17'-0"	6'-0"

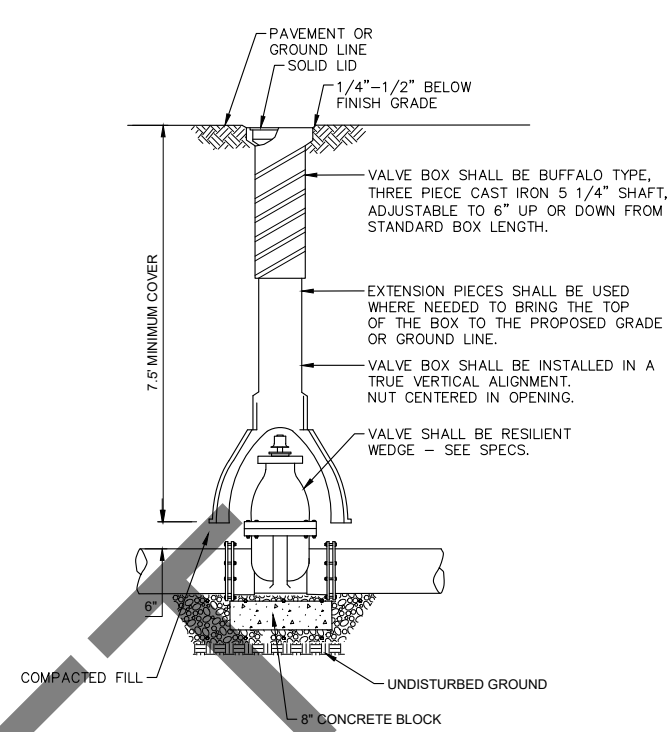


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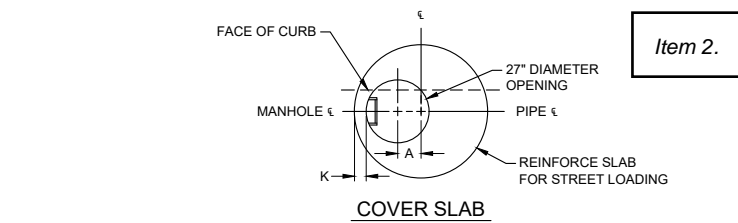


- NOTES:  
 1. SEE SPECS FOR SIZE & TYPE OF MATERIALS  
 2. MAINTAIN 18" VERTICAL & 24" HORIZONTAL SEPARATION BETWEEN SEWER & WATER SERVICE LINES.  
 3. PROVIDE CURB BOXES THAT ARE IN CONCRETE OR BITUMINOUS DRIVEWAYS WITH A SHORT TOP SECTION OF A STANDARD GATE VALVE BOX WITH A LID MARKED "WATER".  
 4. WHERE WATER MAIN IS HDPE: USE ELECTROFUSION CORPORATIONS SADDLES TO CONNECT TO WATER MAIN.

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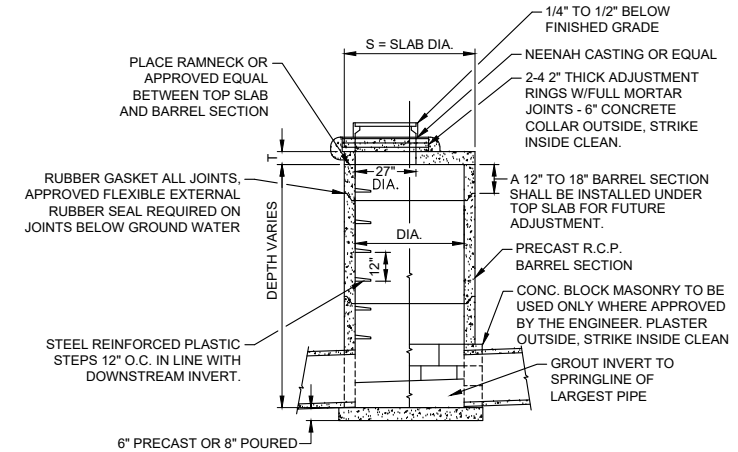
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DIMENSION CHART

DIA.	MANHOLE TYPE					
	B	C	D	E	F	G
A	9.5"	15.5"	21.5"	27.5"	34.5"	38"
S	58"	72"	86"	100"	114"	126"
K	6"	7"	8"	9"	9"	9"
T	6"	8"	8"	8"	8"	8"

NOTE:  
 GUTTERLINE TO CENTER OF STRUCTURE DIMENSION WHEN USED AS A CATCH BASIN.  
 0.88' FOR NEENAH R-3250-B (2' SQUARE GRATE)  
 1.13 FOR R-3250-I (26" ROUND GRATE)



NTS

SEH

Revised: Feb. 2011  
 SEH Plate No. WAT-13

CONCRETE THRUST BLOCKING

SEH

Revised: Oct. 2011  
 SEH Plate No. WAT-14

COPPER WATER SERVICE CONNECTION

SEH

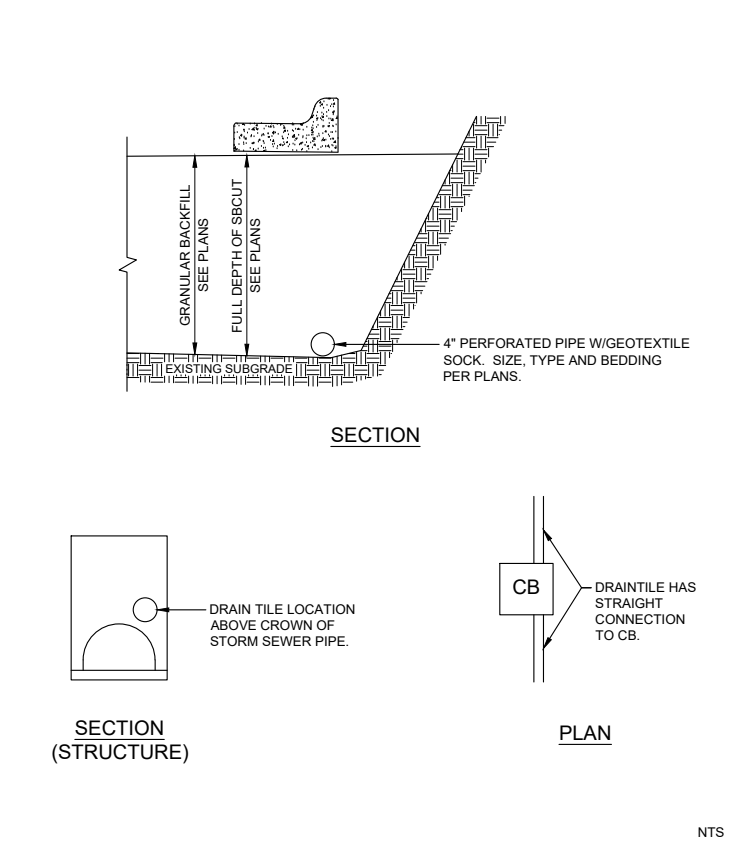
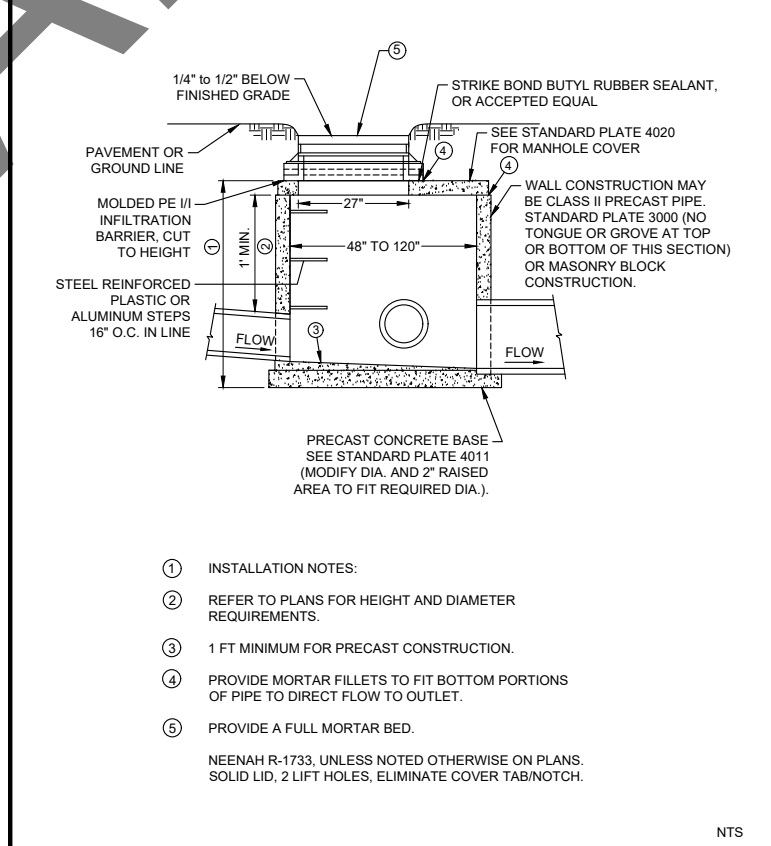
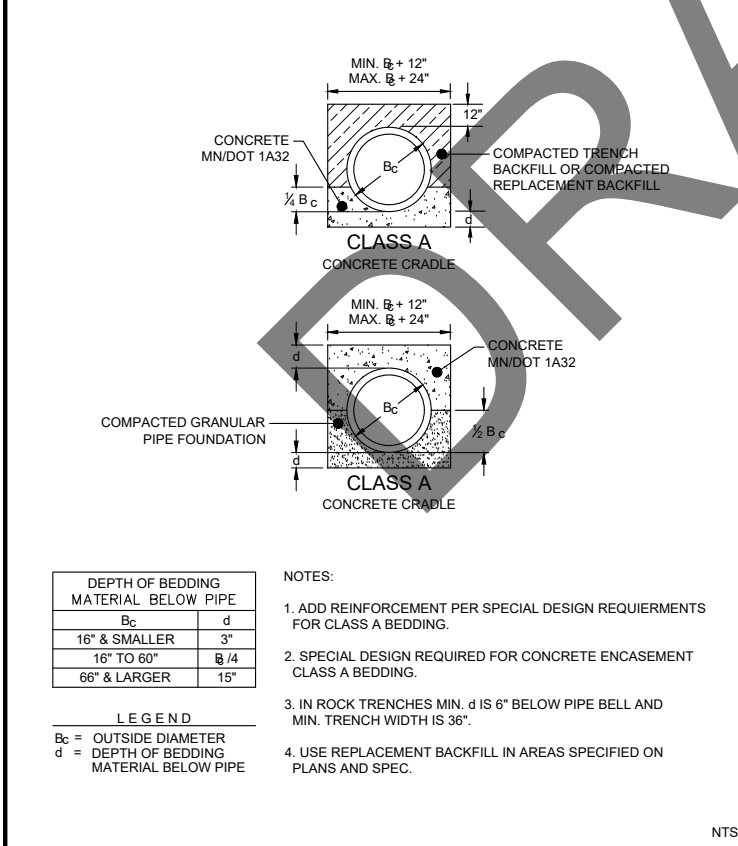
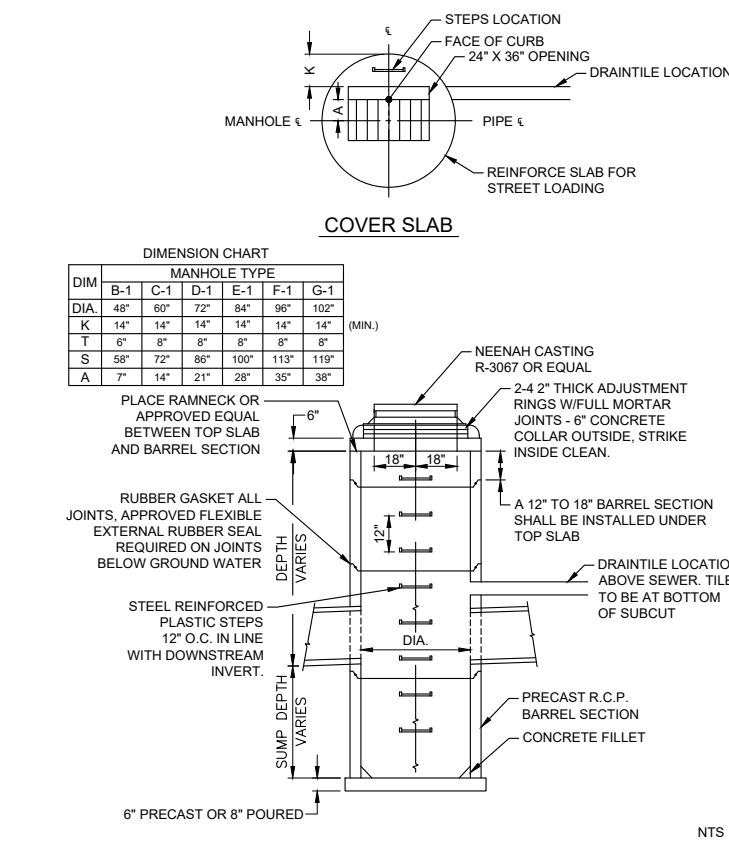
Revised: Oct. 2011  
 SEH Plate No. WAT-04

GATE VALVE AND BOX

SEH

Revised: Oct. 2011  
 SEH Plate No. STM-01

CATCH BASIN/MANHOLE (27" DIA. OPENING)



SEH

Revised: Oct. 2011  
 SEH Plate No. STM-03

CATCH BASIN/MANHOLE (WITH SUMP)

SEH

Revised: Oct. 2011  
 SEH Plate No. STM-22

CLASS A TRENCH BEDDING FOR REINFORCED CONCRETE PIPE

SEH

Revised: Oct. 2011  
 SEH Plate No. STM-20

DRAINAGE STRUCTURE - DESIGN 4020

SEH

Revised: Oct. 2011  
 SEH Plate No. STM-10

PERFORATED PIPE DRAINTILE IN SUBCUT AREAS

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Designed By							
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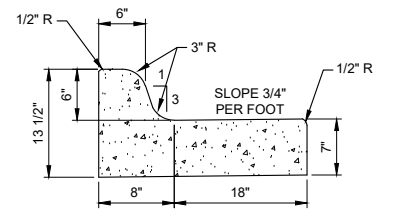
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

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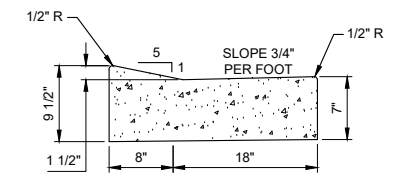
HAWKINSON  
 COMMERCIAL DEVELOPMENT  
 GRAND RAPIDS, MN

CONSTRUCTION DETAILS

34

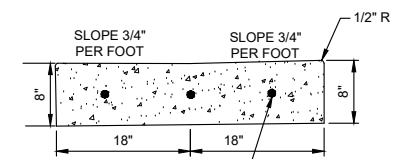


B618



DRIVEWAY AT B618

NTS



3-#4 REBAR CONTINUOUS TO 12" BEYOND 18" GUTTER SECTION ENDS.

SECTION  
B618 VALLEY GUTTER

NTS

**SEH**

**CURB AND GUTTER**

Revised: Oct. 2011  
SEH Plate No. STR-19

**SEH**

**8" CONCRETE VALLEY GUTTER**

Revised: Jan. 2013  
SEH Plate No. STR-21

DRAFT

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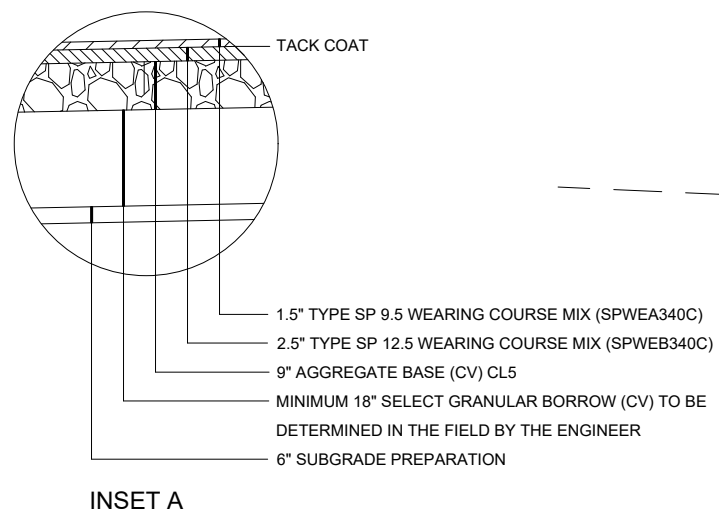
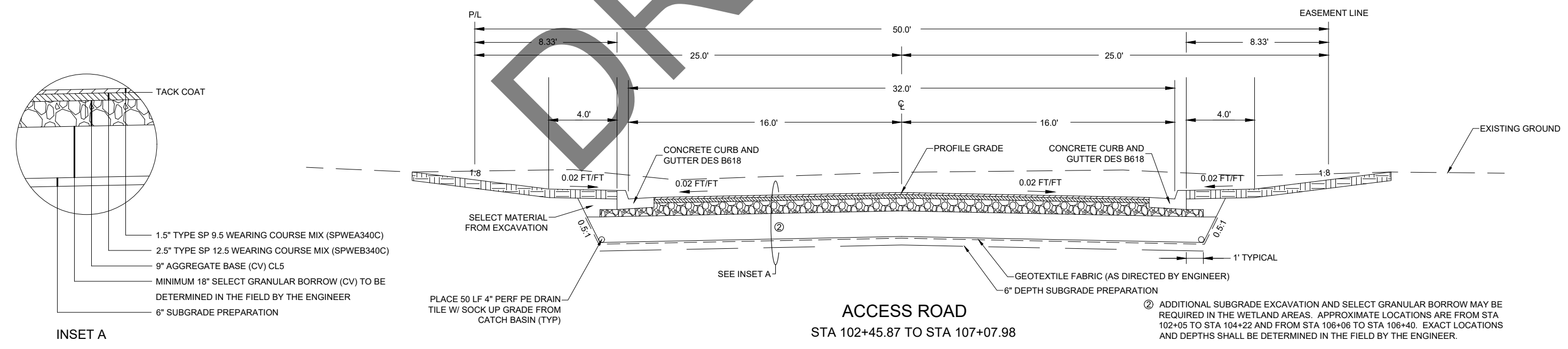
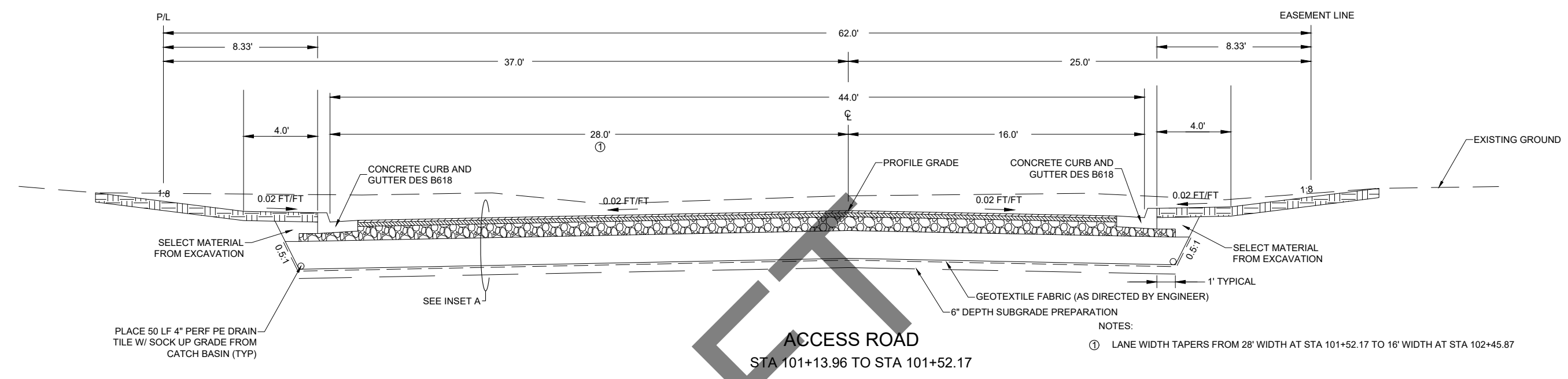
SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By		.			.		
Designed By		.			.		
Checked By		.			.		

**SEH**

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SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By		.			.		
Designed By		.			.		
Checked By		.			.		

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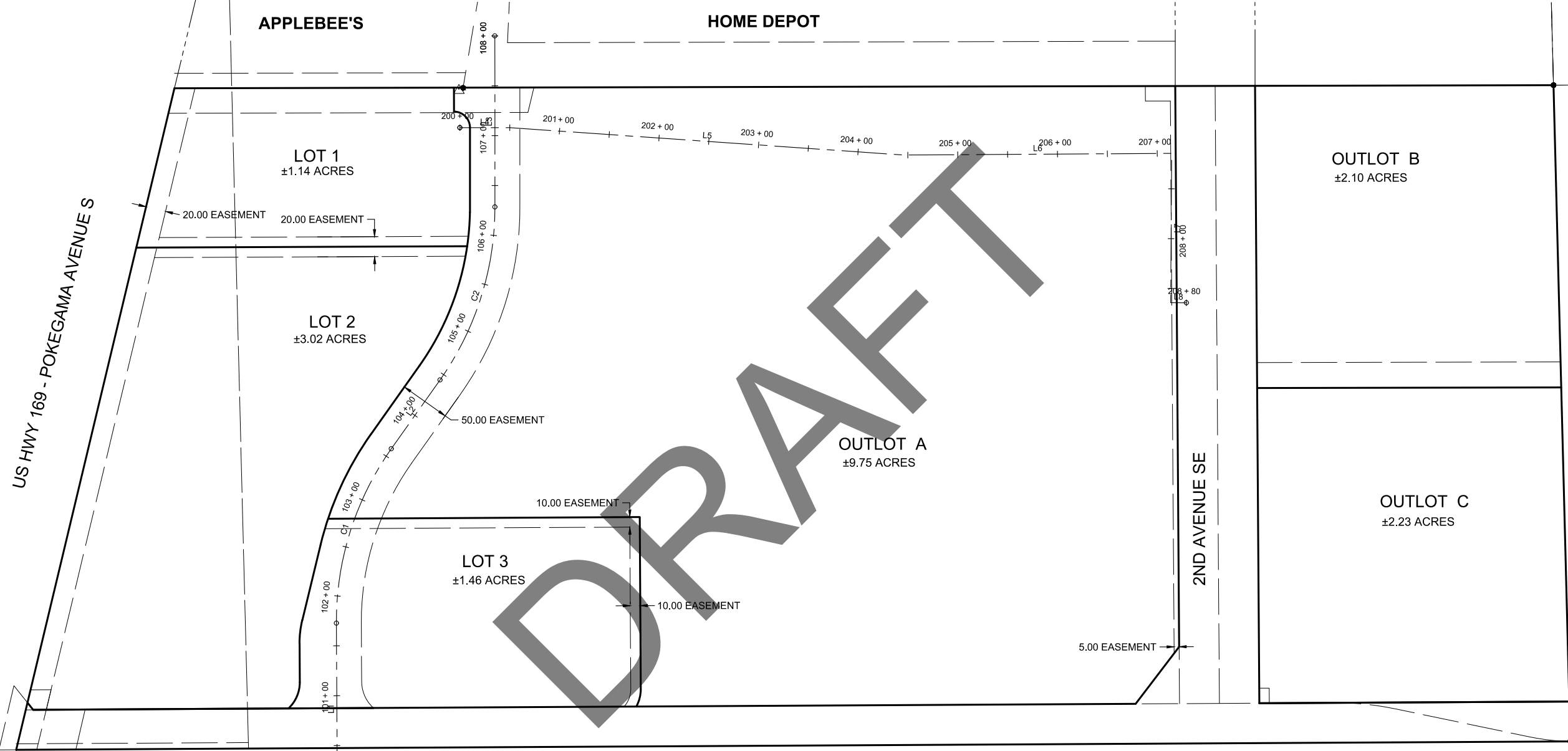
**SEH**

DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
GRAND RAPIDS, MN



ALIGNMENT TABULATION - ALIGNMENT ROADWAY															
POINT ID	POINT	STATION	DELTA	RADIUS	TANGENT	LENGTH	NORTHING	EASTING	BEARING	START STATION	END STATION	START NORTHING	START EASTING	END NORTHING	END EASTING
L1		100+00.00				172.72	164440.8298	550983.9980	N 00° 15' 53" W	100+00.00	101+72.72	164440.8298	550983.9980	164613.5481	550983.1997
C1		101+72.72	035° 35' 30"	300.00	96.30	186.36	164613.5481	550983.1997		101+72.72	103+59.08	164613.5481	550983.1997	164788.4072	551038.4368
L2		103+59.08				84.53	164788.4072	551038.4368	N 35° 19' 37" E	103+59.08	104+43.61	164788.4072	551038.4368	164857.3743	551087.3170
C2		104+43.61	035° 18' 32"	300.00	95.48	184.88	164857.3743	551087.3170		104+43.61	106+28.49	164857.3743	551087.3170	165030.7528	551142.5573
L3		106+28.49				171.51	165030.7528	551142.5573	N 00° 01' 05" E	106+28.49	108+00.00	165030.7528	551142.5573	165202.2650	551142.6110



ALIGNMENT TABULATION - ALIGNMENT STORM															
POINT ID	POINT	STATION	DELTA	RADIUS	TANGENT	LENGTH	NORTHING	EASTING	BEARING	START STATION	END STATION	START NORTHING	START EASTING	END NORTHING	END EASTING
L4		200+00.00				50.13	165110.3051	551107.4565	S 89° 55' 36" E	200+00.00	200+50.13	165110.3051	551107.4565	165110.2411	551157.5822
L5		200+50.13				396.02	165110.2411	551157.5822	S 85° 58' 13" E	200+50.13	204+46.15	165110.2411	551157.5822	165082.4115	551552.6239
L6		204+46.15				268.31	165082.4115	551552.6239	N 89° 41' 17" E	204+46.15	207+14.46	165082.4115	551552.6239	165083.8729	551820.9309
L7		207+14.46				149.73	165083.8729	551820.9309	S 00° 25' 48" W	207+14.46	208+64.18	165083.8729	551820.9309	164934.1507	551819.8073
L8		208+64.18				15.81	164934.1507	551819.8073	S 89° 34' 12" E	208+64.18	208+80.00	164934.1507	551819.8073	164934.0321	551835.6206

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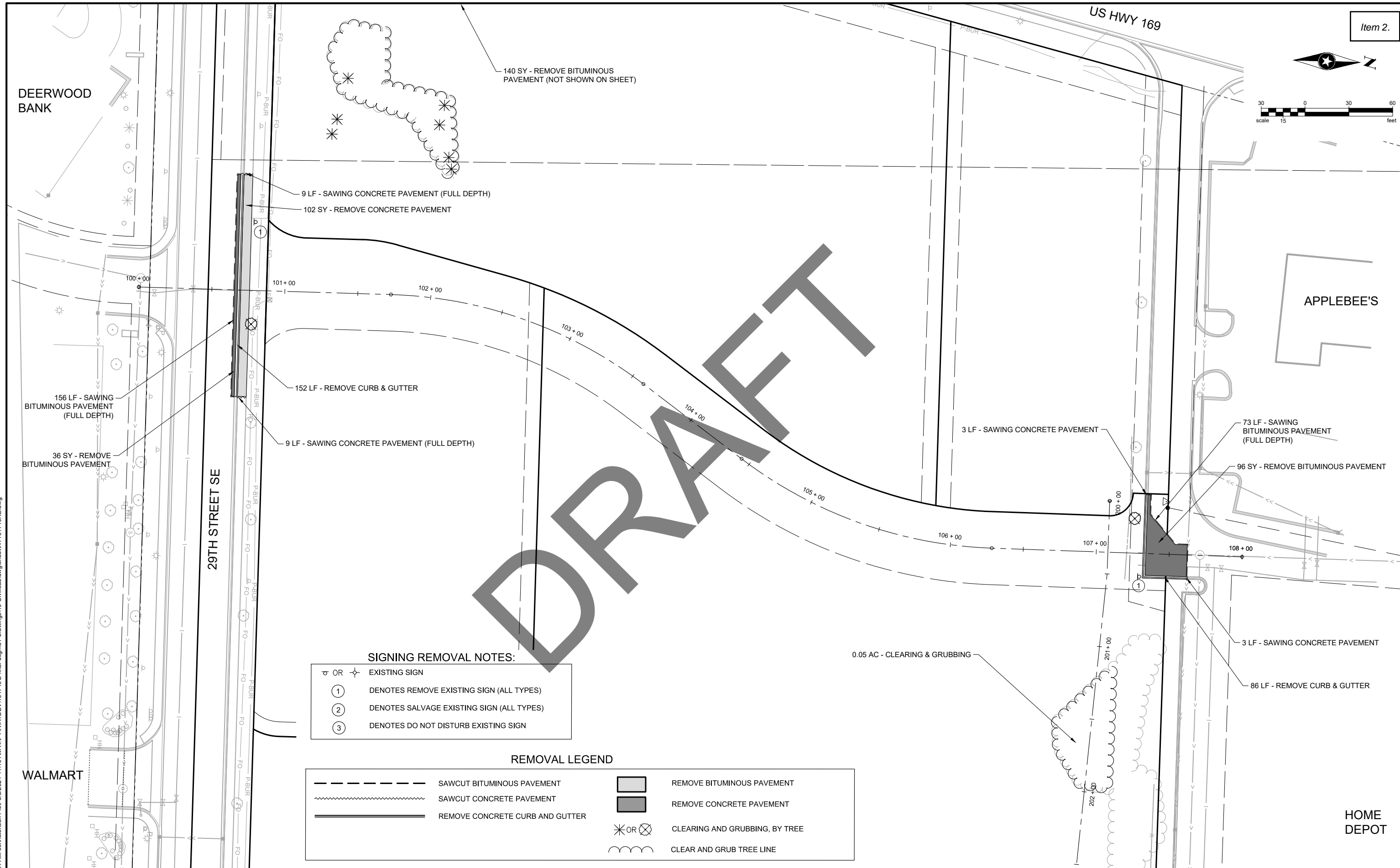
SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By							
Designed By							
Checked By							



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**ALIGNMENT PLAN**



DRAFT

**SIGNING REMOVAL NOTES:**

- OR EXISTING SIGN
- ① DENOTES REMOVE EXISTING SIGN (ALL TYPES)
- ② DENOTES SALVAGE EXISTING SIGN (ALL TYPES)
- ③ DENOTES DO NOT DISTURB EXISTING SIGN

**REMOVAL LEGEND**

	SAWCUT BITUMINOUS PAVEMENT		REMOVE BITUMINOUS PAVEMENT
	SAWCUT CONCRETE PAVEMENT		REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE CURB AND GUTTER		CLEARING AND GRUBBING, BY TREE
			CLEAR AND GRUB TREE LINE

DEERWOOD BANK

29TH STREET SE

US HWY 169

APPLEBEE'S

WALMART

HOME DEPOT

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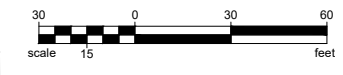


I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

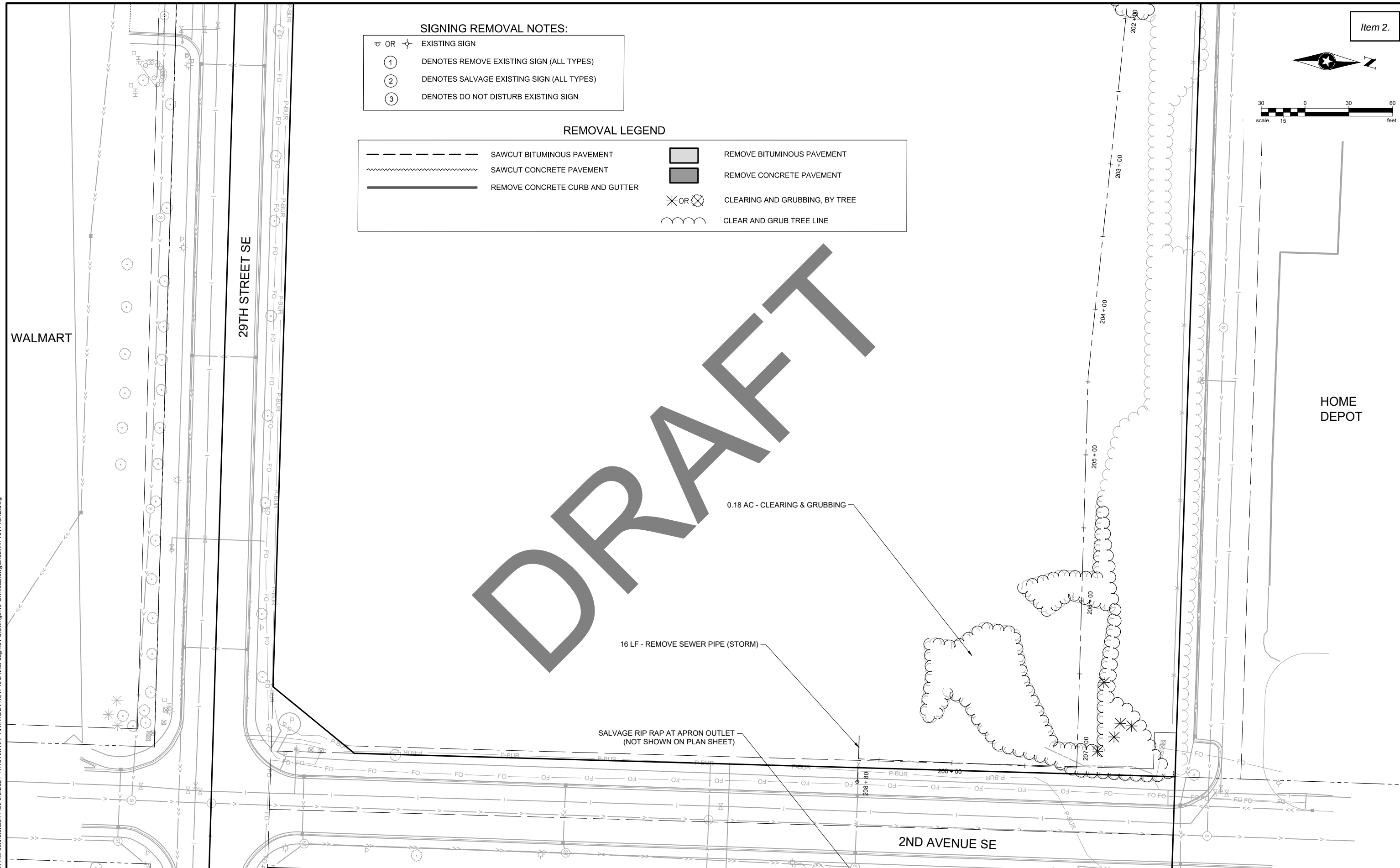
**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

REMOVAL PLAN



- SIGNING REMOVAL NOTES:**
- ▽ OR ⊕ EXISTING SIGN
  - ① DENOTES REMOVE EXISTING SIGN (ALL TYPES)
  - ② DENOTES SALVAGE EXISTING SIGN (ALL TYPES)
  - ③ DENOTES DO NOT DISTURB EXISTING SIGN

- REMOVAL LEGEND**
- SAWCUT BITUMINOUS PAVEMENT
  - ~~~~ SAWCUT CONCRETE PAVEMENT
  - ==== REMOVE CONCRETE CURB AND GUTTER
  - ◻ REMOVE BITUMINOUS PAVEMENT
  - ◼ REMOVE CONCRETE PAVEMENT
  - \*OR⊗ CLEARING AND GRUBBING, BY TREE
  - ~~~~ CLEAR AND GRUB TREE LINE



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SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
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**SEH**

DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN



APPLEBEE'S

SEE SHEET 16 FOR INTERSECTION GRADING DETAILS

HOME DEPOT

29TH STREET SE

SEE SHEET 16 FOR INTERSECTION GRADING DETAILS

DRAFT

LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS

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HAWKINSON  
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GRAND RAPIDS, MN

GRADING PLAN

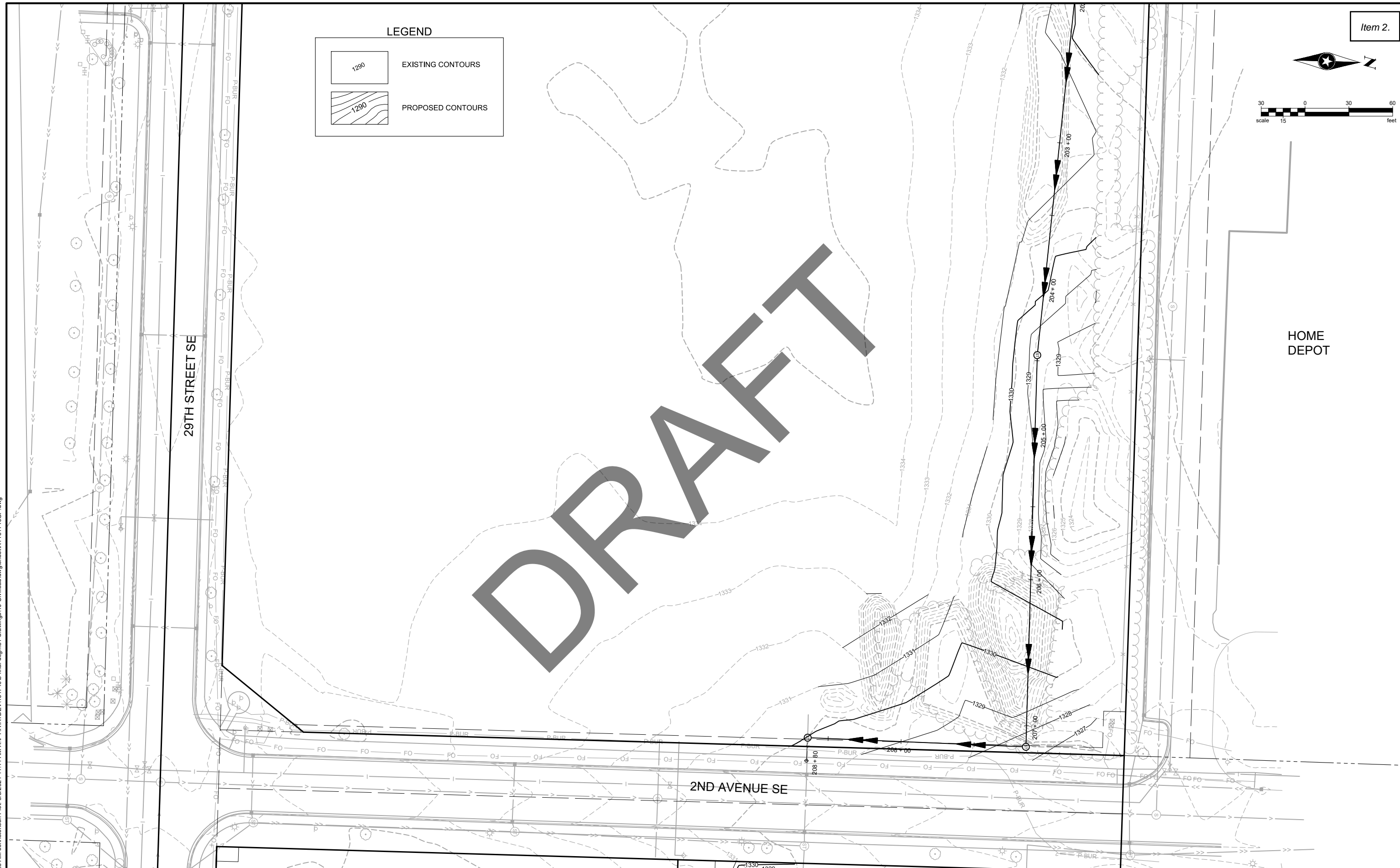




**LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS

# DRAFT



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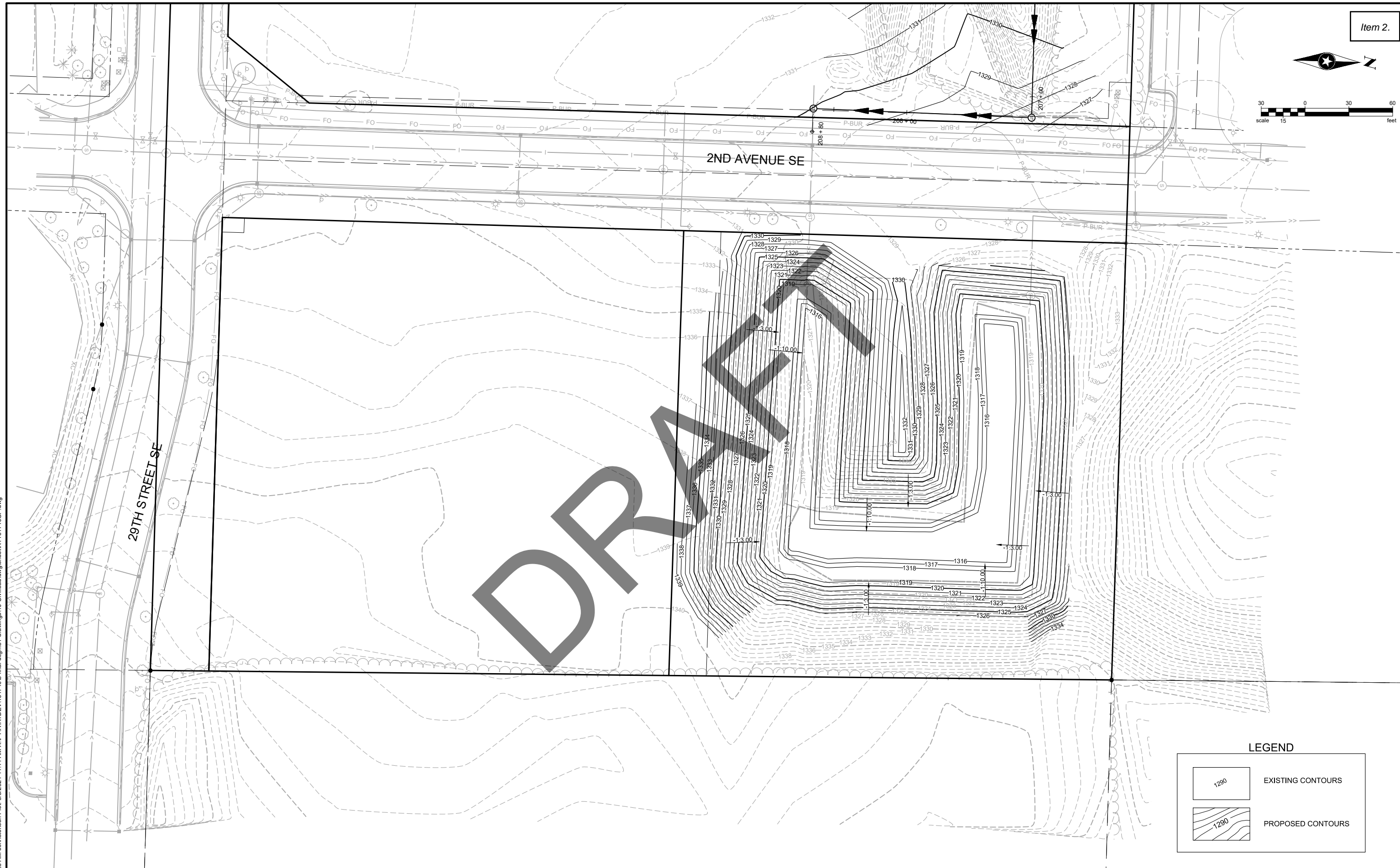
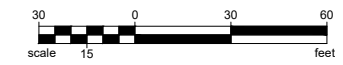


I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**GRADING PLAN**



**LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS

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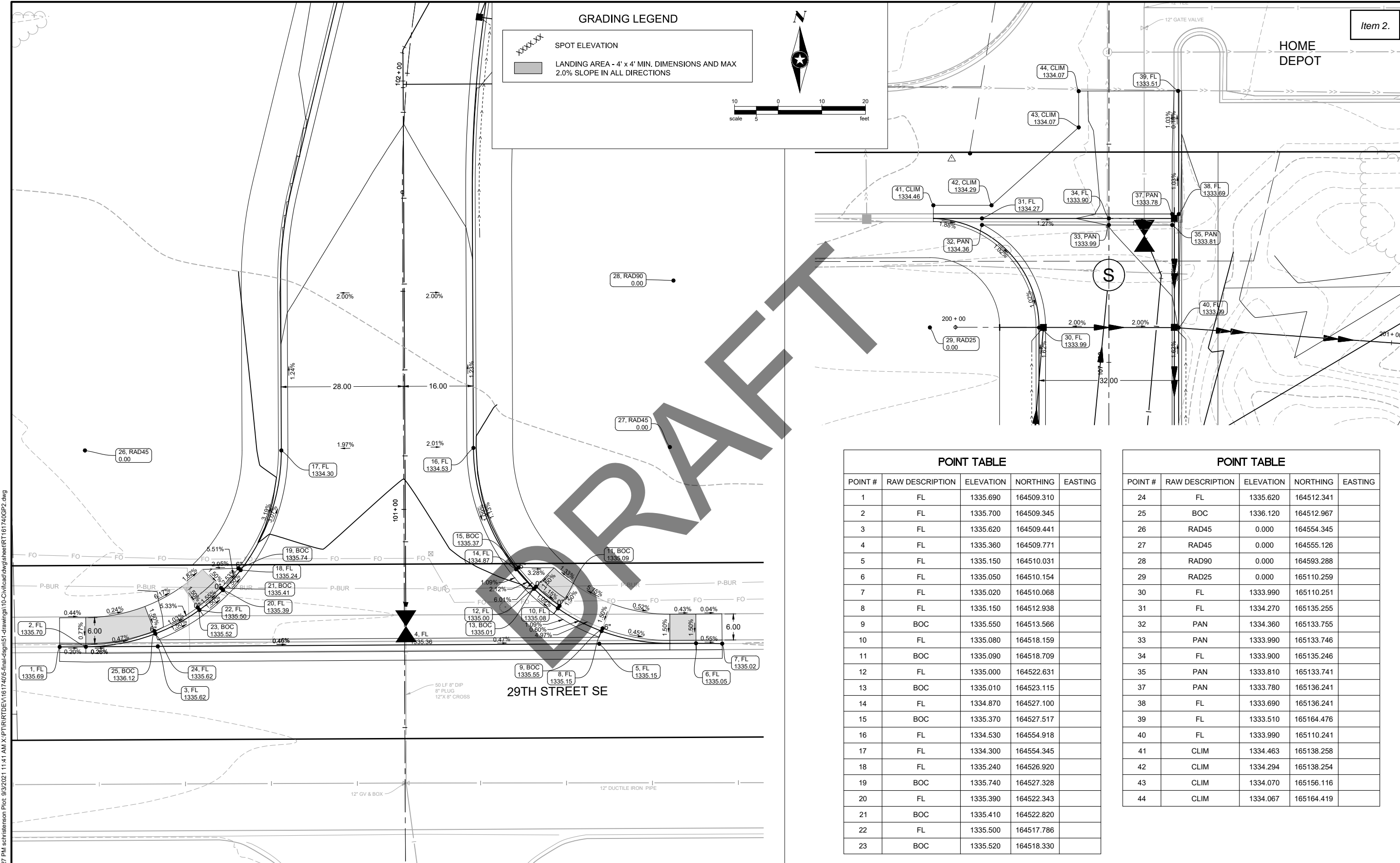


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**GRADING PLAN**



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**GRADING LEGEND**

- XXXXXX SPOT ELEVATION
- LANDING AREA - 4' x 4' MIN. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS



**POINT TABLE**

POINT #	RAW DESCRIPTION	ELEVATION	NORTHING	EASTING
1	FL	1335.690	164509.310	
2	FL	1335.700	164509.345	
3	FL	1335.620	164509.441	
4	FL	1335.360	164509.771	
5	FL	1335.150	164510.031	
6	FL	1335.050	164510.154	
7	FL	1335.020	164510.068	
8	FL	1335.150	164512.938	
9	BOC	1335.550	164513.566	
10	FL	1335.080	164518.159	
11	BOC	1335.090	164518.709	
12	FL	1335.000	164522.631	
13	BOC	1335.010	164523.115	
14	FL	1334.870	164527.100	
15	BOC	1335.370	164527.517	
16	FL	1334.530	164554.918	
17	FL	1334.300	164554.345	
18	FL	1335.240	164526.920	
19	BOC	1335.740	164527.328	
20	FL	1335.390	164522.343	
21	BOC	1335.410	164522.820	
22	FL	1335.500	164517.786	
23	BOC	1335.520	164518.330	

**POINT TABLE**

POINT #	RAW DESCRIPTION	ELEVATION	NORTHING	EASTING
24	FL	1335.620	164512.341	
25	BOC	1336.120	164512.967	
26	RAD45	0.000	164554.345	
27	RAD45	0.000	164555.126	
28	RAD90	0.000	164593.288	
29	RAD25	0.000	165110.259	
30	FL	1333.990	165110.251	
31	FL	1334.270	165135.255	
32	PAN	1334.360	165133.755	
33	PAN	1333.990	165133.746	
34	FL	1333.900	165135.246	
35	PAN	1333.810	165133.741	
37	PAN	1333.780	165136.241	
38	FL	1333.690	165136.241	
39	FL	1333.510	165164.476	
40	FL	1333.990	165110.241	
41	CLIM	1334.463	165138.258	
42	CLIM	1334.294	165138.254	
43	CLIM	1334.070	165156.116	
44	CLIM	1334.067	165164.419	

SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By							
Designed By							
Checked By							



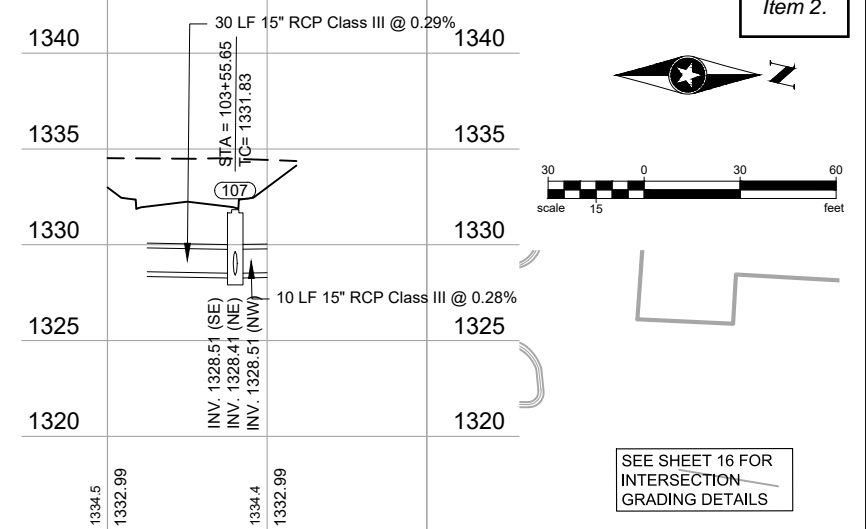
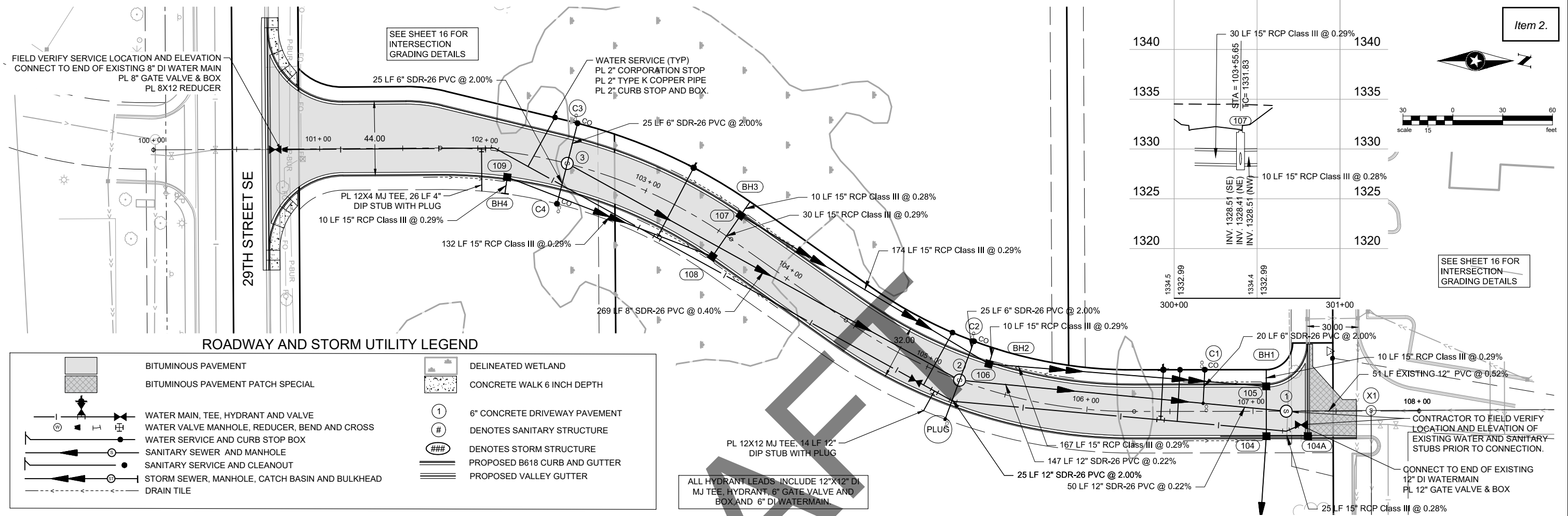
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

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**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**GRADING DETAILS**

Item 2.



**ROADWAY AND STORM UTILITY LEGEND**

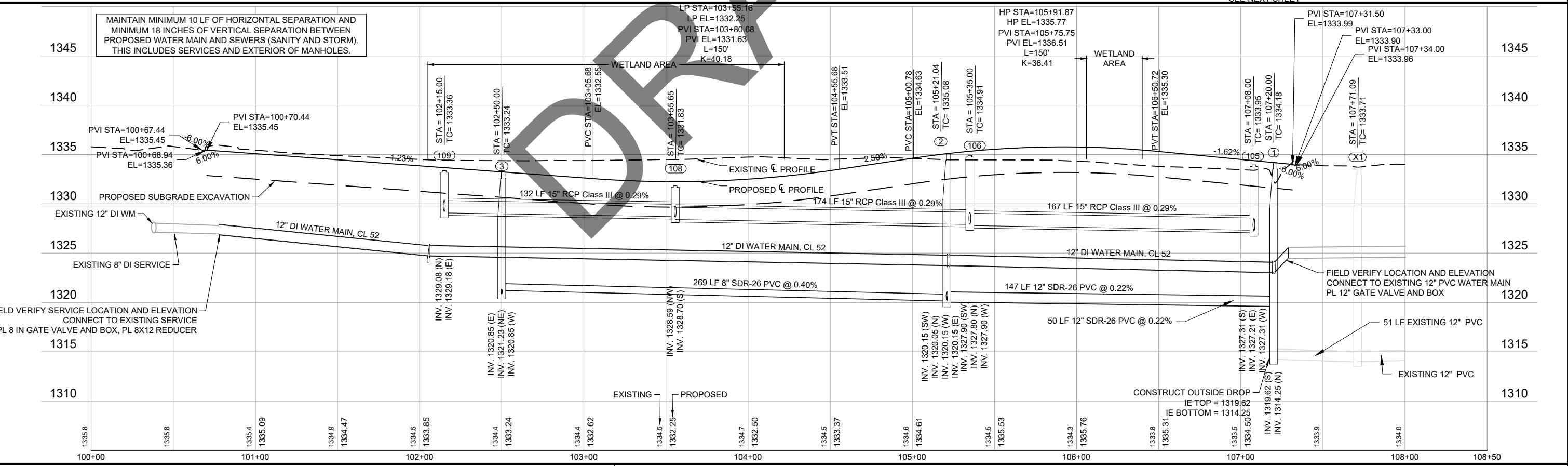
	BITUMINOUS PAVEMENT		DELINEATED WETLAND
	BITUMINOUS PAVEMENT PATCH SPECIAL		CONCRETE WALK 6 INCH DEPTH
	WATER MAIN, TEE, HYDRANT AND VALVE		
	WATER SERVICE AND CURB STOP BOX		DENOTES SANITARY STRUCTURE
	SANITARY SEWER AND MANHOLE		DENOTES STORM STRUCTURE
	SANITARY SERVICE AND CLEANOUT		PROPOSED B618 CURB AND GUTTER
	STORM SEWER, MANHOLE, CATCH BASIN AND BULKHEAD		PROPOSED VALLEY GUTTER
	DRAIN TILE		

ALL HYDRANT LEADS INCLUDE 12\"/>

CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING WATER AND SANITARY STUBS PRIOR TO CONNECTION.

CONNECT TO END OF EXISTING 12\"/>

SEE NEXT SHEET



MAINTAIN MINIMUM 10 LF OF HORIZONTAL SEPARATION AND MINIMUM 18 INCHES OF VERTICAL SEPARATION BETWEEN PROPOSED WATER MAIN AND SEWERS (SANITARY AND STORM). THIS INCLUDES SERVICES AND EXTERIOR OF MANHOLES.

FIELD VERIFY LOCATION AND ELEVATION CONNECT TO EXISTING 12\"/>

CONSTRUCT OUTSIDE DROP  
IE TOP = 1319.62  
IE BOTTOM = 1314.25

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SEH Project	161740	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MBH	.	.	.	.	.	.
Designed By	SLC	.	.	.	.	.	.
Checked By	RJB	.	.	.	.	.	.

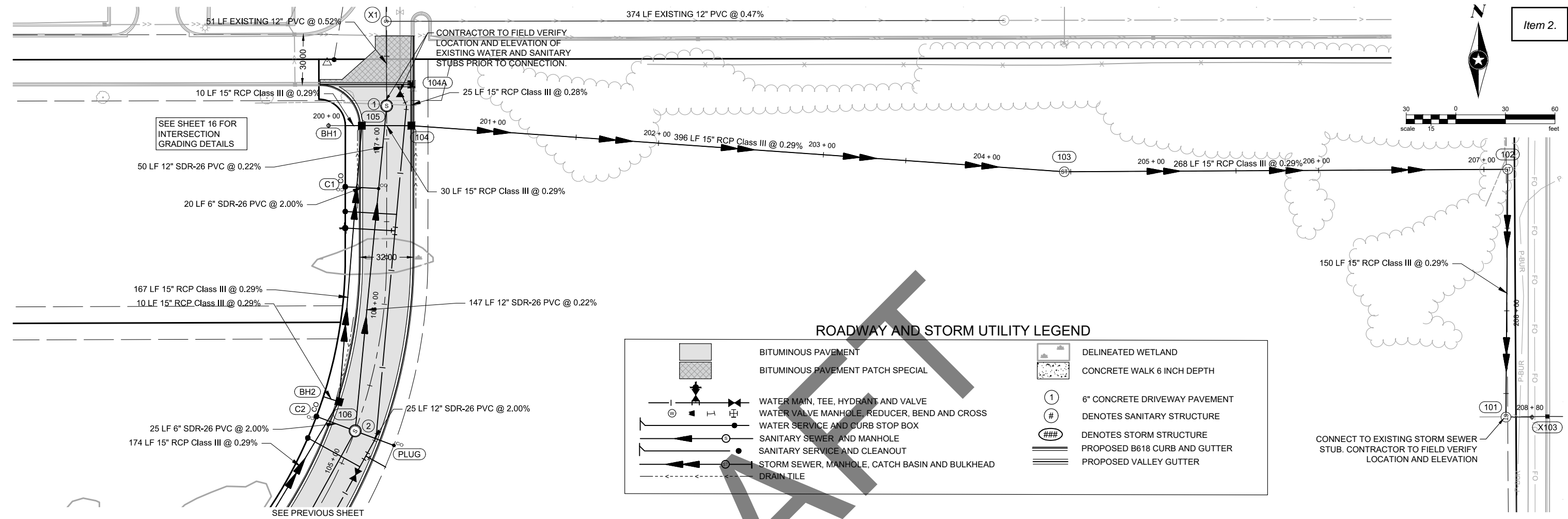
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: LICENSE SIGN DATE

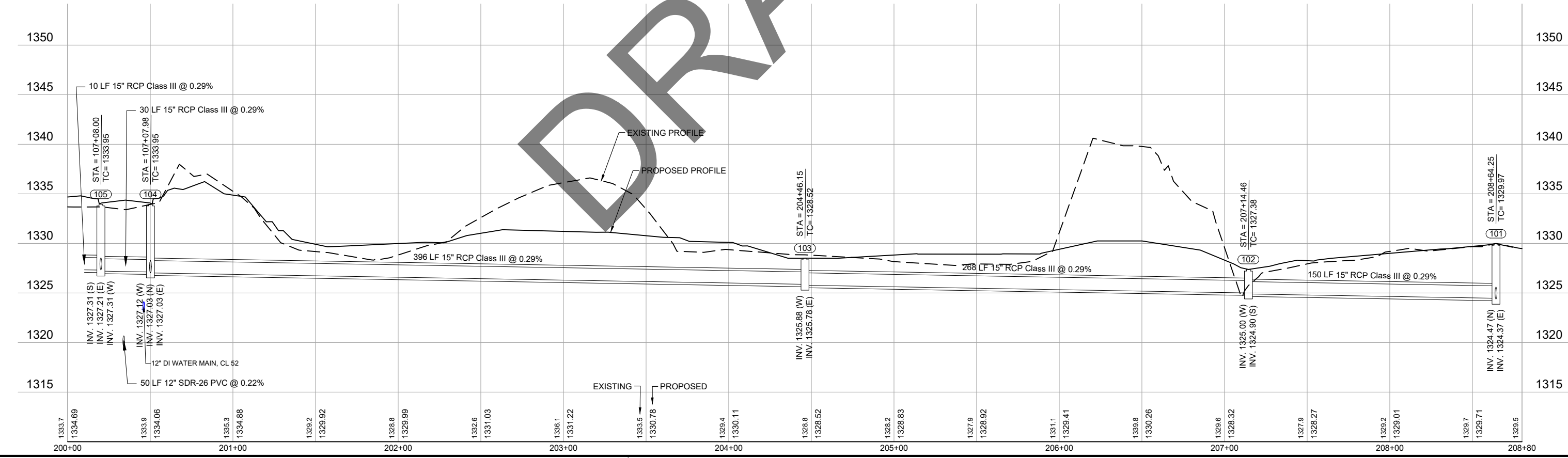
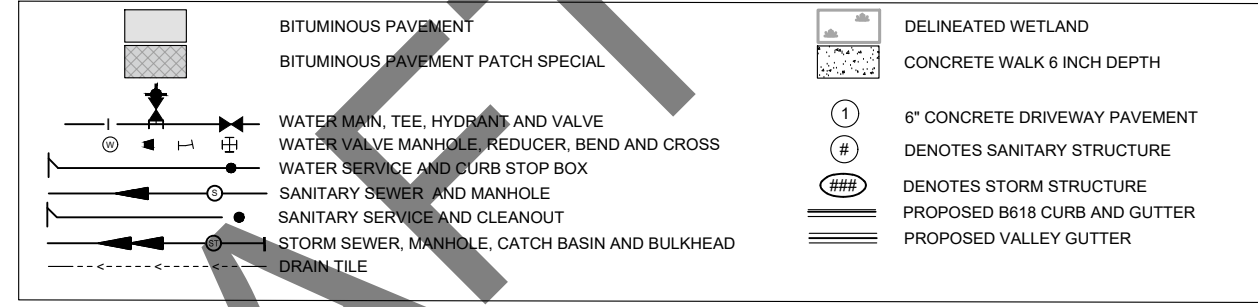
LICENSED NAME: \_\_\_\_\_  
LICENSE NO.: LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
GRAND RAPIDS, MN

**PROPOSED IMPROVEMENTS**



**ROADWAY AND STORM UTILITY LEGEND**



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Drawn By	MBH	.	.	.	.	.	.
Designed By	SLC	.	.	.	.	.	.
Checked By	RJB	.	.	.	.	.	.

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**SEH**

DATE:      LICENSE SIGN DATE:      LICENSED NAME:      LICENSE NO.:     

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN



DEERWOOD BANK

LOT 2 TO HAVE TOPSOIL STRIPPED AS DIRECTED BY OWNER  
CONTRACTOR SHALL STABILIZED STOCKPILE LOCATIONS

US HWY 169

APPLEBEE'S

29TH STREET SE

WALMART

HOME DEPOT

EROSION CONTROL LEGEND

	6" TOPSOIL BORROW / SALVAGED TOPSOIL, SEED, FERTILIZER AND ROLLED EROSION PREVENTION CATEGORY 25
	SILT FENCE TYPE MS
	STORM DRAIN INLET PROTECTION
	DRAINAGE ARROWS

POTENTIAL STABILIZED CONSTRUCTION EXIT

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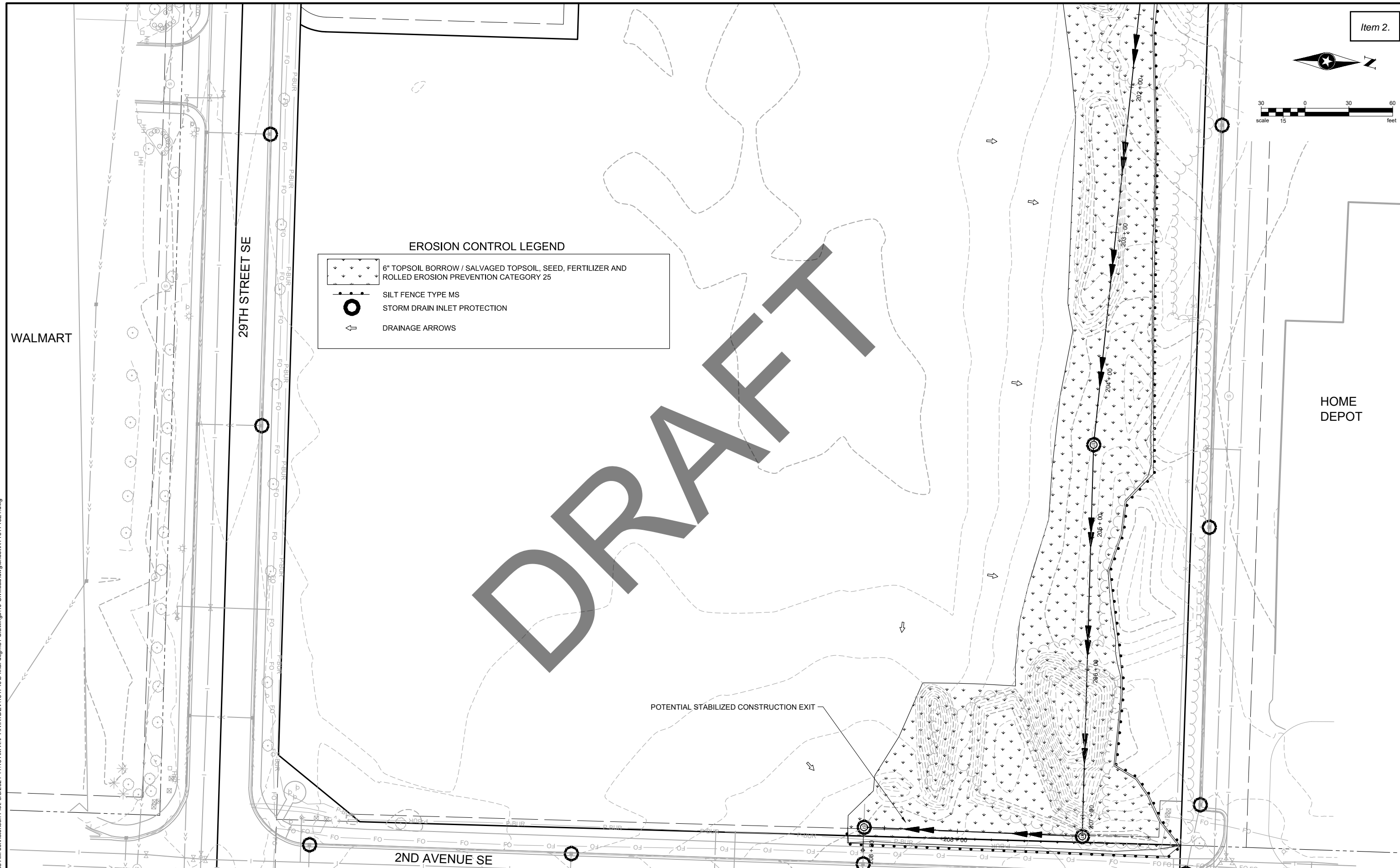
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GRAND RAPIDS, MN

**EROSION CONTROL & TURF ESTABLISHMENT PLAN**



**EROSION CONTROL LEGEND**

- 6" TOPSOIL BORROW / SALVAGED TOPSOIL, SEED, FERTILIZER AND ROLLED EROSION PREVENTION CATEGORY 25
- SILT FENCE TYPE MS
- STORM DRAIN INLET PROTECTION
- DRAINAGE ARROWS

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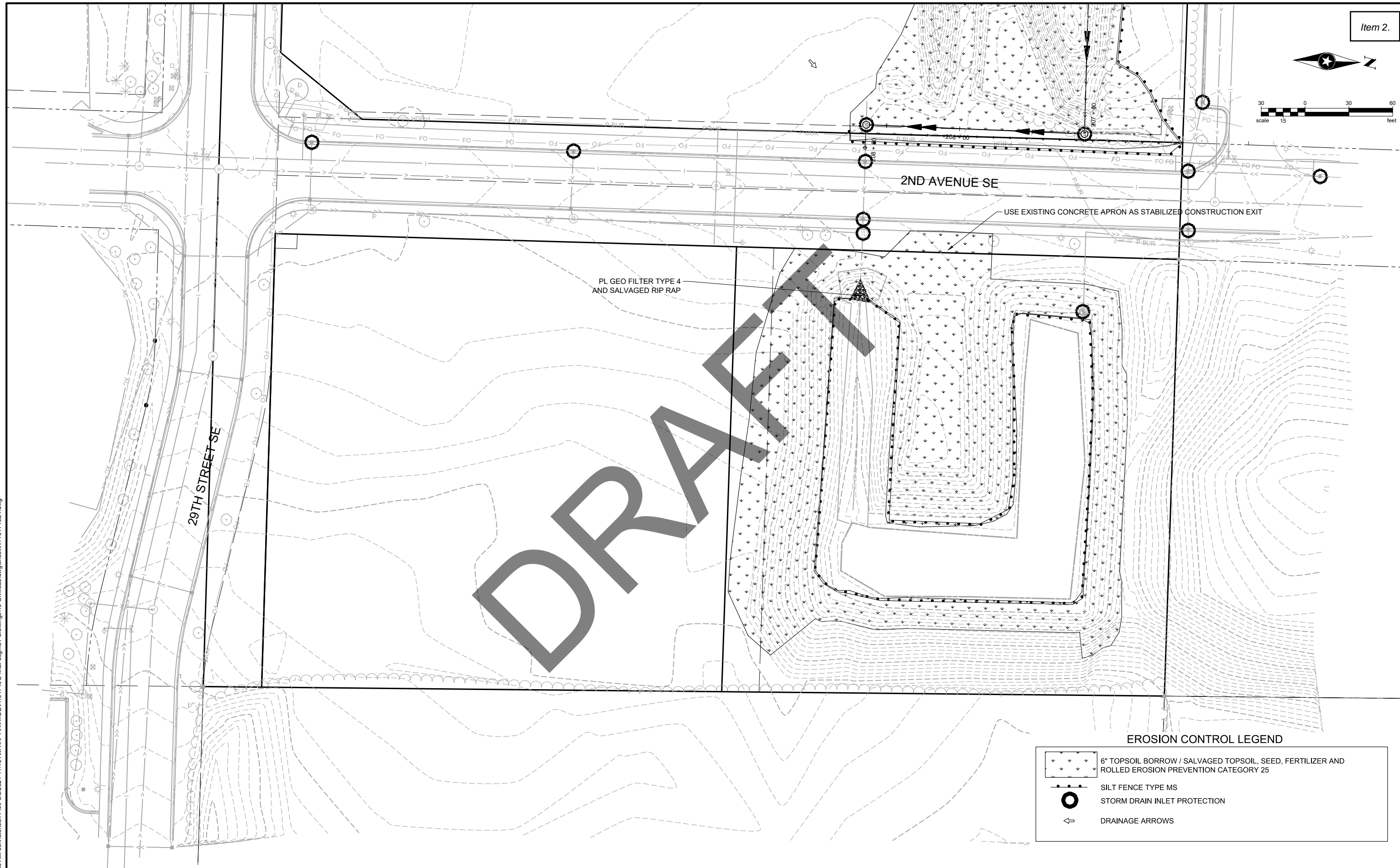
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
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**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

**EROSION CONTROL & TURF ESTABLISHMENT PLAN PLAN**

47



EROSION CONTROL LEGEND

-  6" TOPSOIL BORROW / SALVAGED TOPSOIL, SEED, FERTILIZER AND ROLLED EROSION PREVENTION CATEGORY 25
-  SILT FENCE TYPE MS
-  STORM DRAIN INLET PROTECTION
-  DRAINAGE ARROWS

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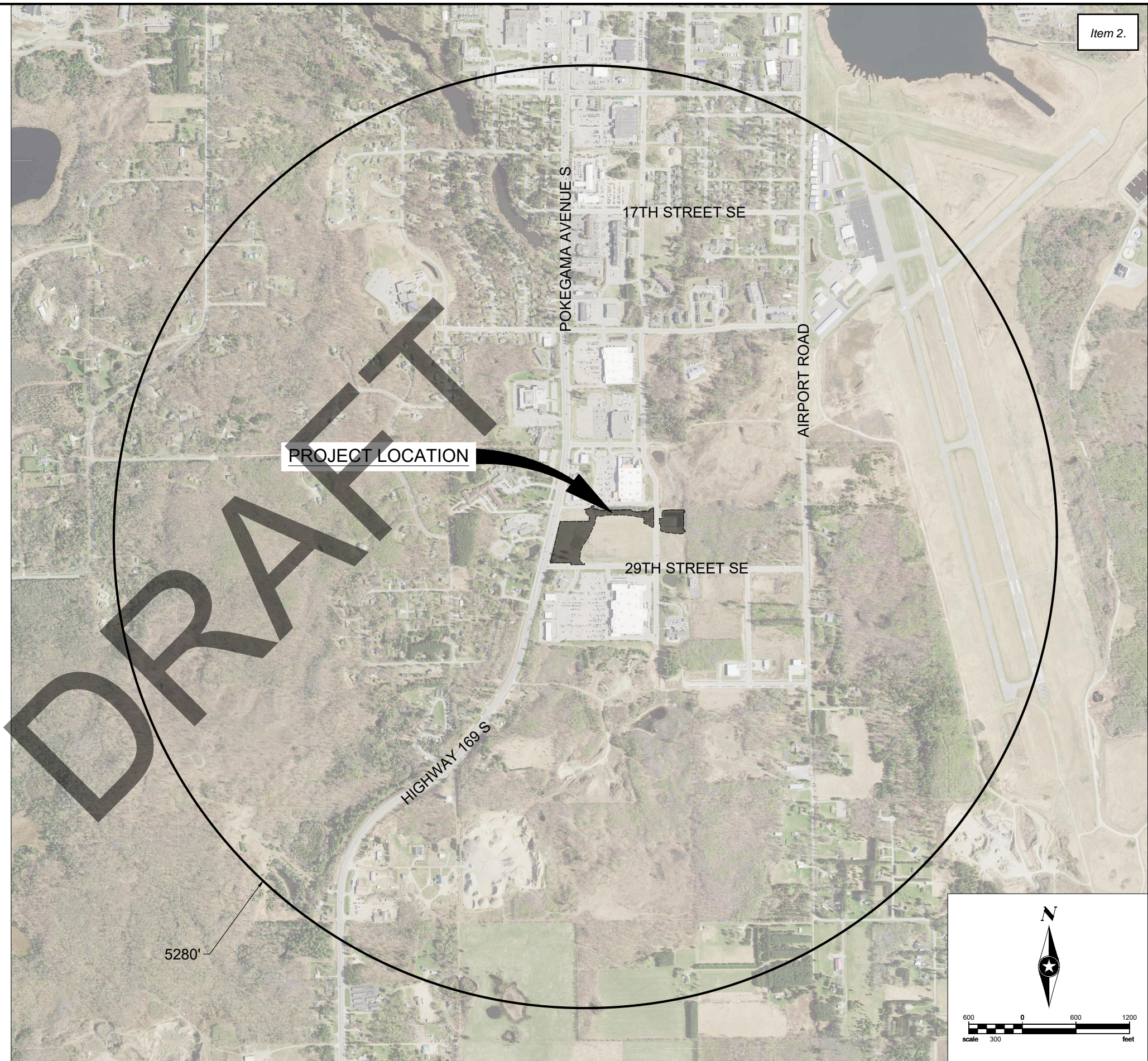
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 GRAND RAPIDS, MN

**EROSION CONTROL & TURF ESTABLISHMENT PLAN PLAN**




CONTAMINATION SCREENING CHECKLIST		
This checklist addresses mobilization of contaminants by stormwater infiltration. See Part III.D of the Construction Stormwater permit for additional prohibitions.		
If the site being investigated receives discharges from vehicle fueling or maintenance facilities, STOP - Infiltration is prohibited under the CSW permit		
Box	Question	Criteria or check box
1	Is the project located in a well head protection area	
2	Is the project located in a Drinking Water Supply Management Area (DWSMA)	
3	Is the project located in a Karst area	
4	If any of the above are checked, what measures will be implemented to ensure protection of drinking water supply	
<b>Assess the site and proposed location of the BMP</b>		
1	Is the site contaminated or does it have a history of soil or groundwater contamination at levels of concern? If Yes, proceed to Box 2; if No, proceed to Box 3.	
2	If the answer to Box 1 is yes, has the contaminated soil or groundwater been remediated to acceptable levels? NOTE: closure letters sent by the MPCA do not assure that a site is not contaminated. Click on the link in Cell E8 for more information. If yes, proceed to Box 3.	If no or unknown, Stop. There is sufficient information to suggest that contaminants may be mobilized by infiltration. For Construction Stormwater permittees, infiltration is prohibited when the infiltration system will be constructed in areas where high levels of contaminants in soil or groundwater will be mobilized by the infiltrating stormwater. SEE FOOTNOTE
3	For Boxes 4 through 12, check each box in which the item occurs on the site with the proposed BMP?	
4	Underground storage tank vent(s) or fill port(s)	
5	Monitoring well(s)	
6	Soil pile(s) covered with plastic sheeting or tarp(s)	
7	Staining of soil(s) and/or dead vegetation	
8	Unusual odor(s)	
9	Mismanaged drum(s) or chemical container(s)	
10	Excavation(s) that is/are not backfilled with clean material	
11	Presence of debris that may indicate presence of structure(s) or activity(ies) that could result in contamination	
12	Site is a confirmed stormwater hotspot	
13	Are there any potential sources identified (checked) in Boxes 4 through 12? If Yes, proceed to Box 14; if no proceed to Box 15.	
14	For all potential sources identified (checked) in Boxes 5 through 13, can adequate separation be achieved? If yes, proceed to Box 16.	If no, Stop. There is sufficient information to suggest that contaminants may be mobilized by infiltration. For Construction Stormwater permittees, infiltration is prohibited when the infiltration system will be constructed in areas where high levels of contaminants in soil or groundwater will be mobilized by the infiltrating stormwater. SEE FOOTNOTE
<b>Assessing adjacent properties</b>		
15	For Boxes 16 through 25, check each box in which the item occurs within the influence zone of the site property. See Influence zone worksheet (click on tab at bottom of this spreadsheet).	
16	Known groundwater or soil contamination on adjacent property	
17	Underground storage tank vents or fill ports	
18	Monitoring wells	
19	Soil piles covered with plastic sheeting or tarps	
20	Staining of soils and/or dead vegetation	
21	Unusual odors	
22	Mismanaged drums or chemical containers	
23	Excavations that are not backfilled with clean material	
24	Presence of debris that may indicate presence of structures or activities that could result in contamination	
25	Site is a confirmed stormwater hotspot	
26	Are any potential sources identified (checked) in Boxes 16 through 25? If yes, proceed to Box 27	If no, Stop - Infiltration is appropriate
27	For all potential sources identified (checked) in Boxes 16 through 25, can adequate separation be achieved? If no, proceed to Box 28.	If yes, Stop - Infiltration is appropriate
28	If Box 27 is no, Stop. There is sufficient information to suggest that contaminants may be mobilized by infiltration. For Construction Stormwater permittees, infiltration is prohibited when the infiltration system will be constructed in areas where high levels of contaminants in soil or groundwater will be mobilized by the infiltrating stormwater. SEE FOOTNOTE	
<p>FOOTNOTE: If infiltration is pursued, additional investigation, such as a Phase 1 or Phase 2 Environmental Site Assessment, is highly recommended. For more information, see Stormwater management guidelines for sites with on-site contamination or Stormwater management guidelines for sites with off-site contamination at <a href="http://stormwater.pca.state.mn.us/index.php/Stormwater_infiltration_and_contaminated_soils_and_groundwater">http://stormwater.pca.state.mn.us/index.php/Stormwater_infiltration_and_contaminated_soils_and_groundwater</a>.</p>		



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 DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HAWKINSON**  
**COMMERCIAL DEVELOPMENT**  
 GRAND RAPIDS, MN

CONSTRUCTION DETAILS

**SWPPP SUMMARY/OVERVIEW:**

THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO ADDRESS THE REQUIREMENTS OF NPDES PERMIT MN R100001. THIS SWPPP INCLUDES A COMBINATION OF NARRATIVE AND PLAN SHEETS THAT DESCRIBE THE TEMPORARY AND PERMANENT STORM WATER MANAGEMENT PLAN FOR THE PROJECT.

**PROJECT INFORMATION:**

LOCATION:	POKEGAMA AVE S / 29TH STREET SE
LATITUDE/LONGITUDE:	47.204015, -93.528530
PROJECT DESCRIPTION:	ACCESS ROAD AND UTILITIES
SOIL DISTURBING ACTIVITIES:	UTILITY INSTALLATION AND ROAD BUILDING

**CONTACTS:**

OWNER:	ROUND 2 DEVELOPMENT
CONTACT:	MARK HAWKINSON
ADDRESS:	P.O. BOX 246   GRAND RAPIDS, MINNESOTA 55744
PHONE:	218.244.2409
EMAIL:	MARK@HAWKINSONCONSTRUCTION.COM

ENGINEER:	SHORT ELLIOTT HENDRICKSON, INC. (SEH)
CONTACT:	SARA CHRISTENSON, PE
PHONE:	218.322.4513
EMAIL:	SCHRISTENSON@SEHINC.COM
PROJECT NO.:	RTDEV 161740

**KNOWLEDGEABLE PERSON/CHAIN OF RESPONSIBILITY**

THE CONTRACTOR SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL COORDINATE WITH ALL CONTRACTORS, SUBCONTRACTORS, AND OPERATORS ON-SITE TO OVERSEE THE IMPLEMENTATION OF THE SWPPP.

CONTRACTOR	TO BE DETERMINED
CONTACT	TO BE DETERMINED
PHONE	TO BE DETERMINED
EMAIL	TO BE DETERMINED

THE CONTRACTOR SHALL ESTABLISH A CHAIN OF RESPONSIBILITY FOR ALL CONTRACTORS AND SUB-CONTRACTORS ON SITE TO ENSURE THE SWPPP IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL PROVIDE THE CHAIN OF RESPONSIBILITY TO THE OWNER AND ATTACH TO THE SWPPP PRIOR TO ANY CONSTRUCTION ACTIVITY.

**GENERAL SWPPP RESPONSIBILITIES:**

THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION.

THE SWPPP WILL BE AMENDED AS NEEDED AND/OR AS REQUIRED BY PROVISIONS OF THE PERMIT. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. AMENDMENTS WILL BE APPROVED BY BOTH THE OWNER AND CONTRACTOR AND WILL BE ATTACHED OR OTHERWISE INCLUDED WITH THE SWPPP DOCUMENTS. THE SWPPP AMENDMENTS SHALL BE INITIATED, FACILITATED, AND PROCESSED BY THE CONTRACTOR.

ALL SWPPP CHANGES MUST BE DONE BY AN INDIVIDUAL TRAINED IN ACCORDANCE WITH SECTION 21.4 OR 21.5. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.

BOTH THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER TERMINATION AND/OR TRANSFER OF THE PERMIT.

**LONG TERM OPERATION AND MAINTENANCE**

THE OWNER WILL BE RESPONSIBLE OR WILL OTHERWISE IDENTIFY WHO WILL BE RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM(S).

THE OWNER WILL PREPARE AND IMPLEMENT A PERMANENT STORMWATER TREATMENT SYSTEM(S) MAINTENANCE PLAN.

**IMPLEMENTATION SEQUENCE:**

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE. THE ENGINEER MAY APPROVE ADJUSTMENTS TO THE SEQUENCE AS NEEDED.

1.	INSTALL ROCK CONSTRUCTION ENTRANCE(S)
2.	INSTALL PERIMETER CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES
3.	INSTALL INLET PROTECTION ON EXISTING CATCH BASINS
4.	COMPLETE SITE GRADING
5.	INSTALL UTILITIES, STORM SEWER, INLET PROTECTION, CURB & GUTTER, PAVING
6.	COMPLETE FINAL GRADING AND STABILIZE DISTURBED AREAS
7.	AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ACCUMULATED SEDIMENT, REMOVE BMPs, AND RE-STABILIZE ANY AREAS DISTURBED BY THEIR REMOVAL.

**TRAINING DOCUMENTATION:**

PREPARER/DESIGNER OF SWPPP:	MICHAEL HUDEC, CIVIL TECHNICIAN
EMPLOYER:	SHORT ELLIOTT HENDRICKSON, INC. (SEH)
DATE OBTAINED / REFRESHED	09/10/2019
INSTRUCTOR(S)/ENTITY PROVIDING TRAINING:	JOHN CHAPMAN, REBECCA FORMAN - U OF M

CONTENT OF TRAINING AVAILABLE UPON REQUEST.

THE CONTRACTOR (OPERATOR) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs

TRAINING MUST RELATE TO THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES AND SHALL INCLUDE:

- 1) DATES OF TRAINING
- 2) NAME OF INSTRUCTORS
- 3) CONTENT AND ENTITY PROVIDING TRAINING

THE CONTRACTOR SHALL ENSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER MANAGEMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMWATER PERMIT.

**PROJECT SUMMARY:**

TOTAL DISTURBED AREA:	6.76 AC
PRE-CONSTRUCTION IMPERVIOUS AREA:	0.06 AC
POST-CONSTRUCTION IMPERVIOUS AREA:	0.61 AC
IMPERVIOUS AREA ADDED:	0.55 AC

**RECEIVING WATER(S) WITHIN ONE MILE FROM PROJECT BOUNDARIES:**  
(<http://pca-gis02.pca.state.mn.us/CSW/index.html>)

ID	NAME	TYPE	SPECIAL WATER?	IMPAIRED WATER?	CONSTRUCTION RELATED IMPAIRMENT OR SPECIAL WATER CLASSIFICATION	TMDL
N/A	N/A	N/A	N/A	N/A	N/A	N/A
ADDITIONAL BMPs AND/OR ACTIONS REQUIRED: SEE SECTION 23 OF THE PERMIT AND APPLICABLE TMDL WLA'S						

WATERBODY	NO WORK DURING
LAKES	APRIL 1 - JUNE 30
NON-TROUT STREAMS	MARCH 15 - JUNE 15
TROUT STREAMS	SEPTEMBER 1 - APRIL 1

SEE DNR PERMIT FOR MORE INFORMATION

SITE SOIL INFORMATION: (<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>)  
(SOIL INFORMATION PROVIDED IS FOR NPDES PERMIT INFORMATION ONLY. SOIL INFORMATION WAS OBTAINED FROM THE USGS WEBSITE. THE CONTRACTOR SHALL NOT RELY ON THIS SOIL INFORMATION FOR CONSTRUCTION PURPOSES.)

SOIL NAME:	HYDROLOGIC CLASSIFICATION:
MENAHGA-ITASCA COMPLEX, 1-10%	A
MENAHGA-ITASCA COMPLEX, 10-25%	A
ANTICIPATED RANGE OF PARTICLE SIZES	COARSE

**RELATED REVIEWS & PERMITS:**

ENVIRONMENTAL WETLAND, ENDANGERED OR THREATENED SPECIES, ARCHEOLOGICAL, LOCAL, STATE, AND/OR FEDERAL REVIEWS/PERMITS:

AGENCY:	TYPE OF PERMIT:
U.S. ARMY CORPS OF ENGINEERS	404 WETLAND PERMIT
USACE, MN BOARD OF WATER AND SOIL RESOURCES	WETLAND CONSERVATION ACT PERMIT

**PROJECT SPECIFIC NOTES:**

CITY OF GRAND RAPIDS CITY STORM WATER PERMIT AND ZONING PERMIT TO BE FILED BY THE CONTRACTOR. SEE CITY STORM WATER MEMO FOR PRE AND POST DRAINAGE AREAS.

**THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE SWPPP:**

- PLAN AND PROFILE PLAN SHEETS:
- EROSION AND SEDIMENT CONTROL PLAN SHEETS:
- TURF ESTABLISHMENT PLAN SHEETS:
- STORM SEWER PLAN & PROFILE PLAN SHEETS:
- GRADING PLAN SHEETS:
- DETAIL PLAN SHEETS:
- SWPPP NOTE AND DETAIL SHEETS:
- PROJECT SPECIFICATIONS:
- PROJECT BID FORM:

**TEMPORARY BMP DESIGN FACTORS:**

EROSION PREVENTION AND SEDIMENT CONTROL BMP'S MUST BE DESIGNED TO ACCOUNT FOR:

THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION OF PRECIPITATION

THE NATURE OF STORMWATER RUNOFF AND RON-ON AT THE SITE, INCLUDING FACTORS SUCH AS EXPECTED FLOW FROM IMPERVIOUS SURFACES, SLOPES, AND SITE DRAINAGE FEATURES

THE STORMWATER VOLUME, VELOCITY, AND PEAK FLOW RATES TO MINIMIZE DISCHARGE OF POLLUTANTS IN STORMWATER AND TO MINIMIZE CHANNEL AND STREAMBANK EROSION AND SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS

THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT.

**TEMPORARY SEDIMENT BASINS:**

THE CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BASIN(S) INDICATED ON PLANS AND REQUIRED BY THE NPDES CONSTRUCTION PERMIT.

THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR, 24-HOUR STORM FROM EACH ACRE DRAINED TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINED, WHICHEVER IS GREATER.

TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.

OUTLET STRUCTURES MUST BE DESIGNED TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS.

BASINS MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW, WITHDRAW WATER FROM THE SURFACE, AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.

TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH ENERGY DISSIPATION AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.

SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.

**PERMANENT STORMWATER MANAGEMENT SYSTEM**

PERMANENT STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO MEET THE REQUIREMENTS OF NPDES GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY.

REQUIRED WATER QUALITY VOLUME (WQV):	0.06 AF	
PERMANENT MANAGEMENT SYSTEM:	WQV INFILTRATED	WQV TREATED (NOT INFILTRATED)
REGIONAL WET POND	0 AF	0.80 AF
TOTAL WQV INFILTRATED/TREATED	0.80 AF	
REVIEW AND COMPLETE CONTAMINATION SCREENING CHECKLIST TO DETERMINE FEASIBILITY OF INFILTRATION.		

Item 2.

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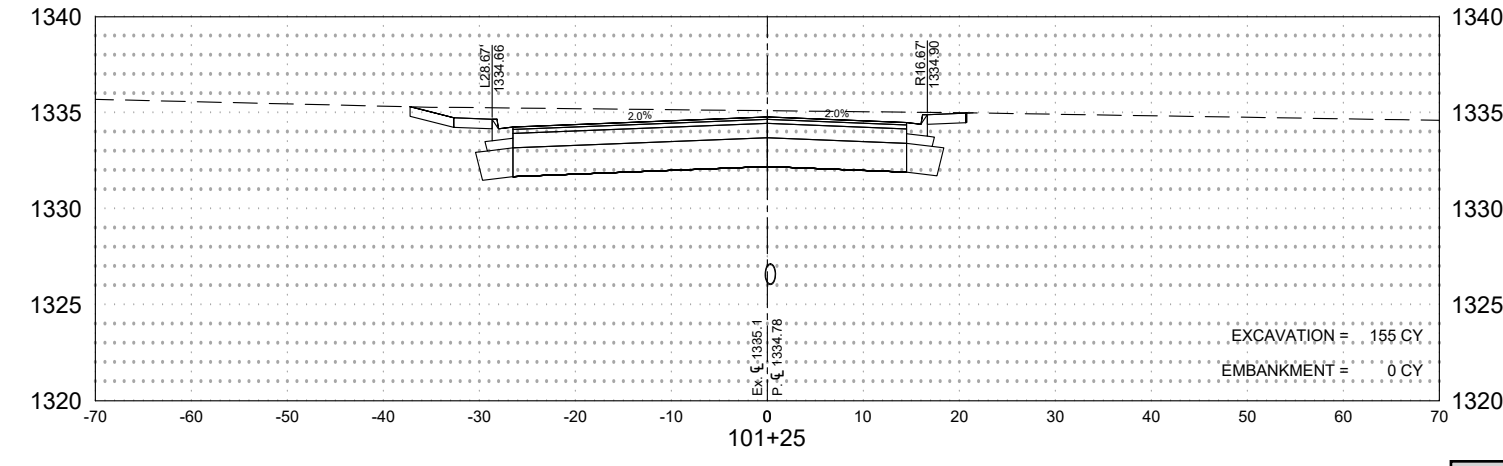
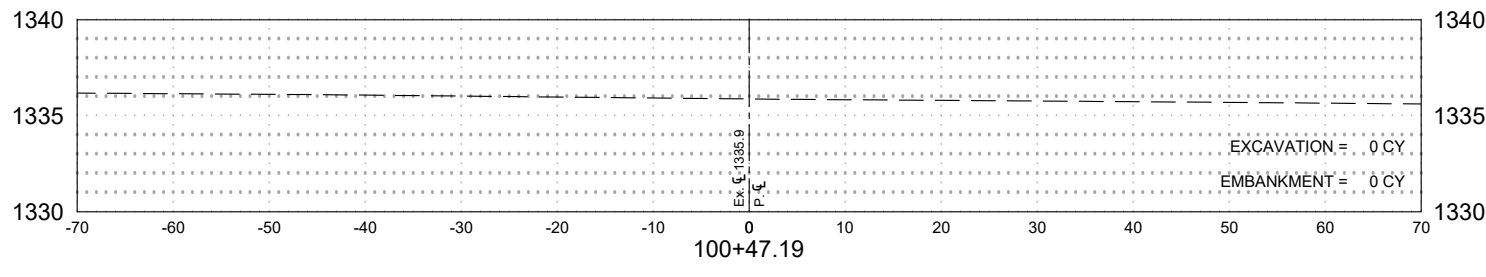
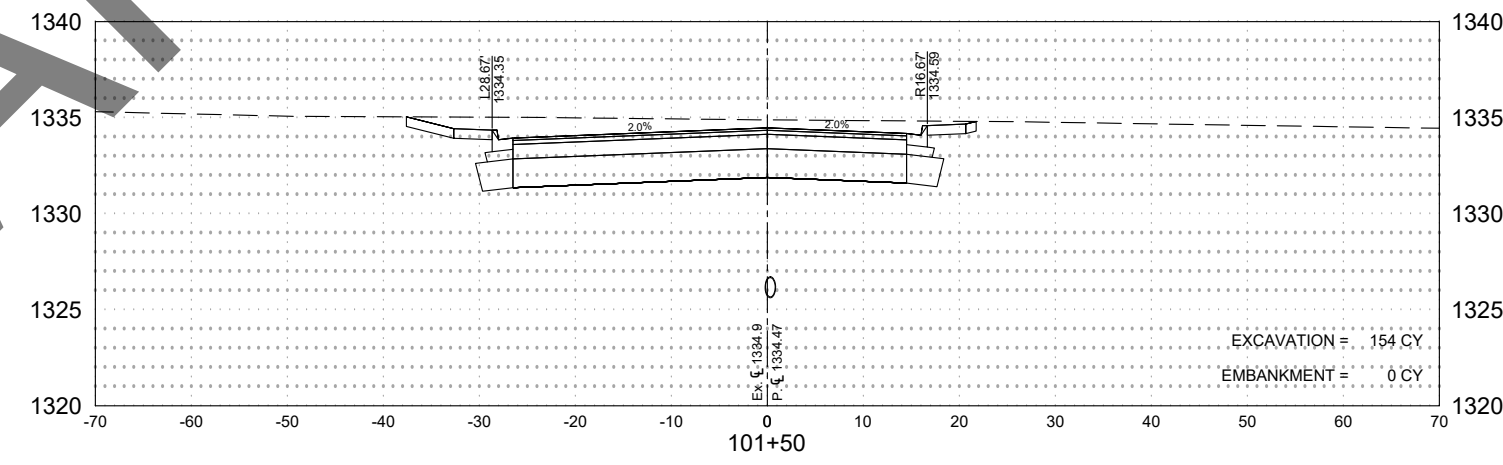
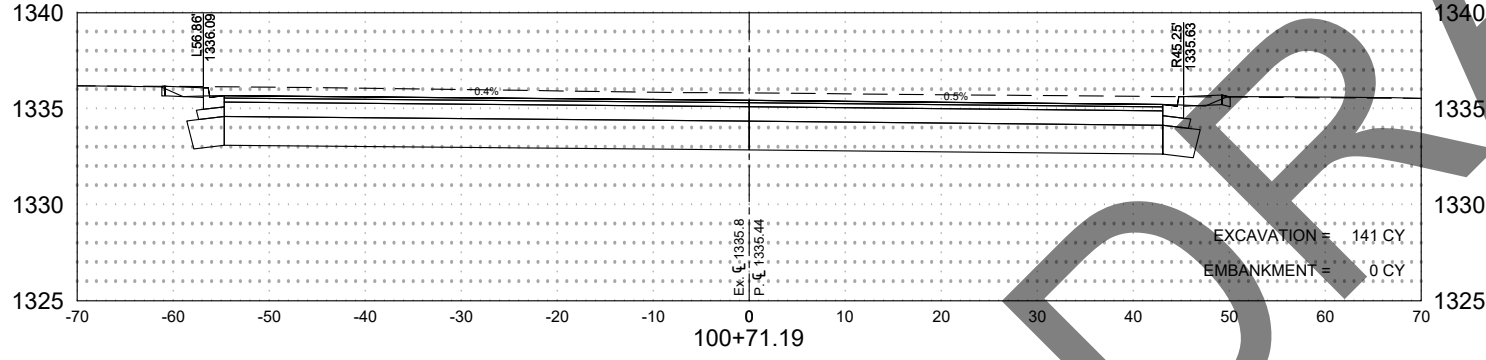
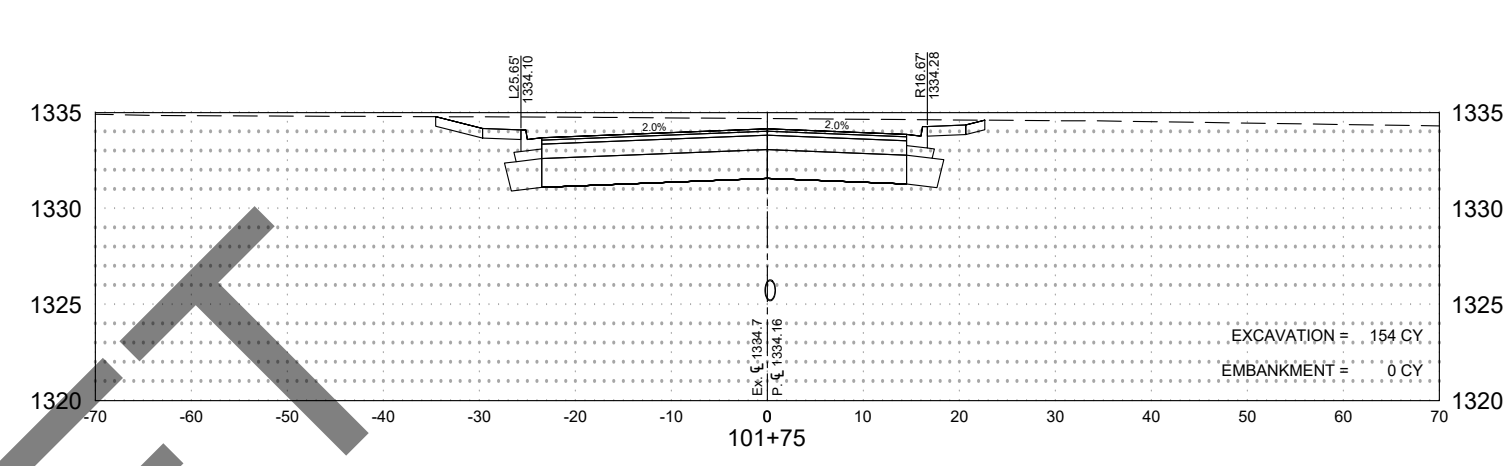
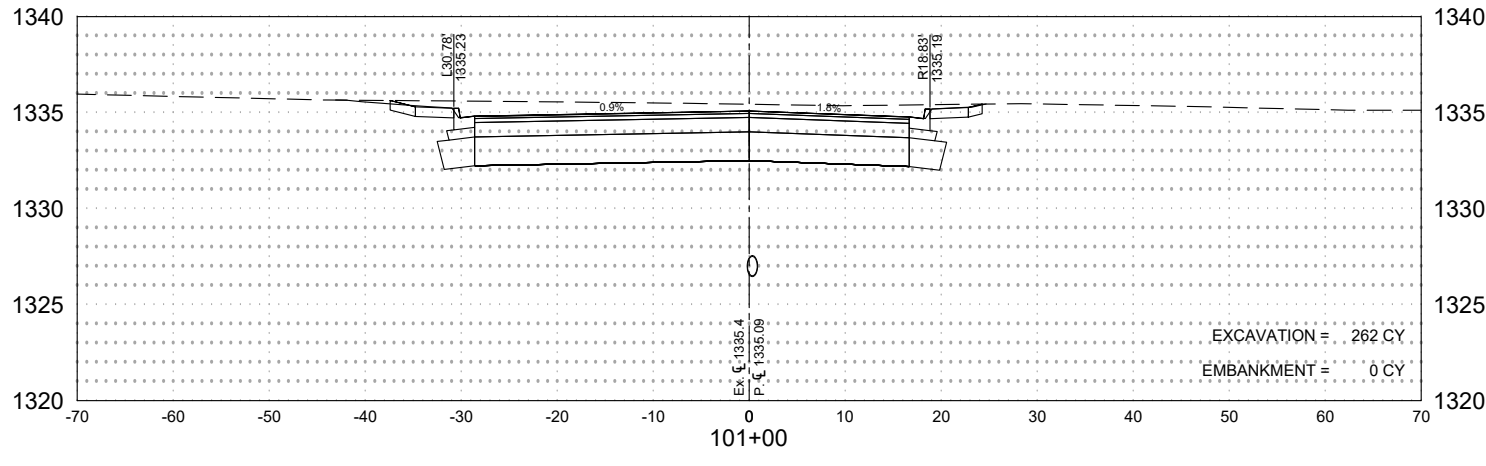
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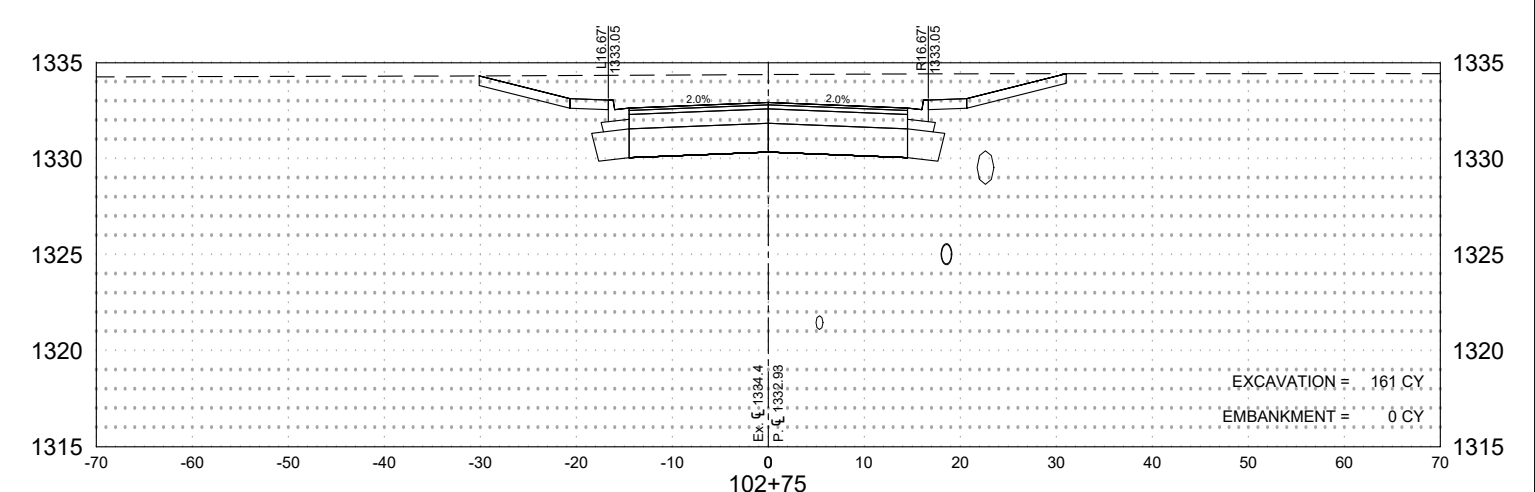
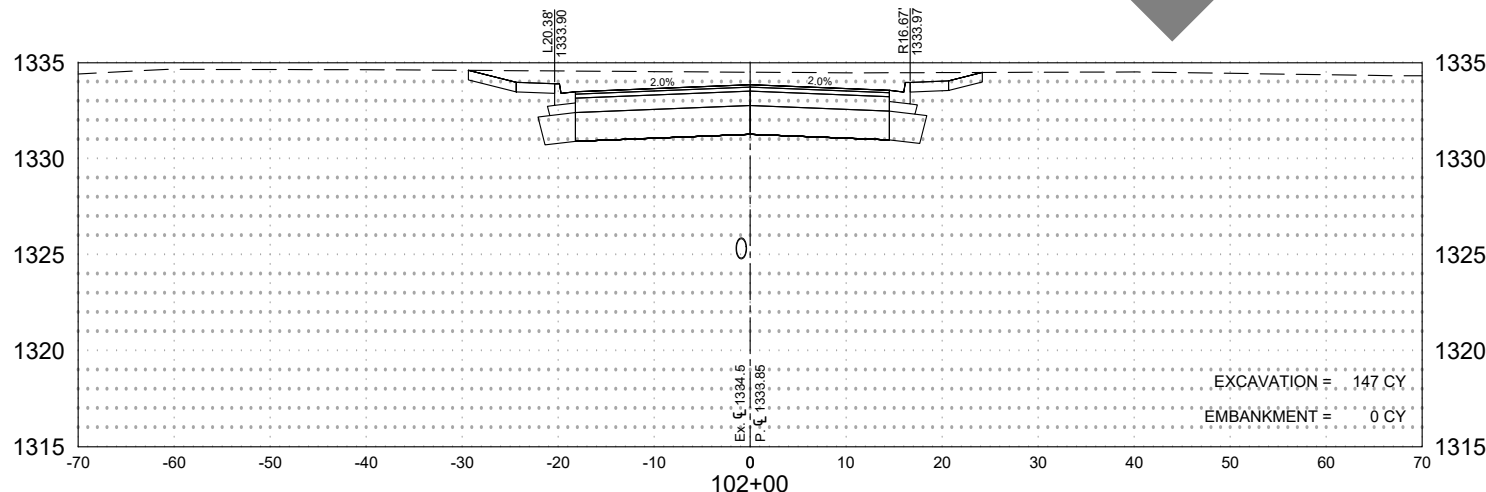
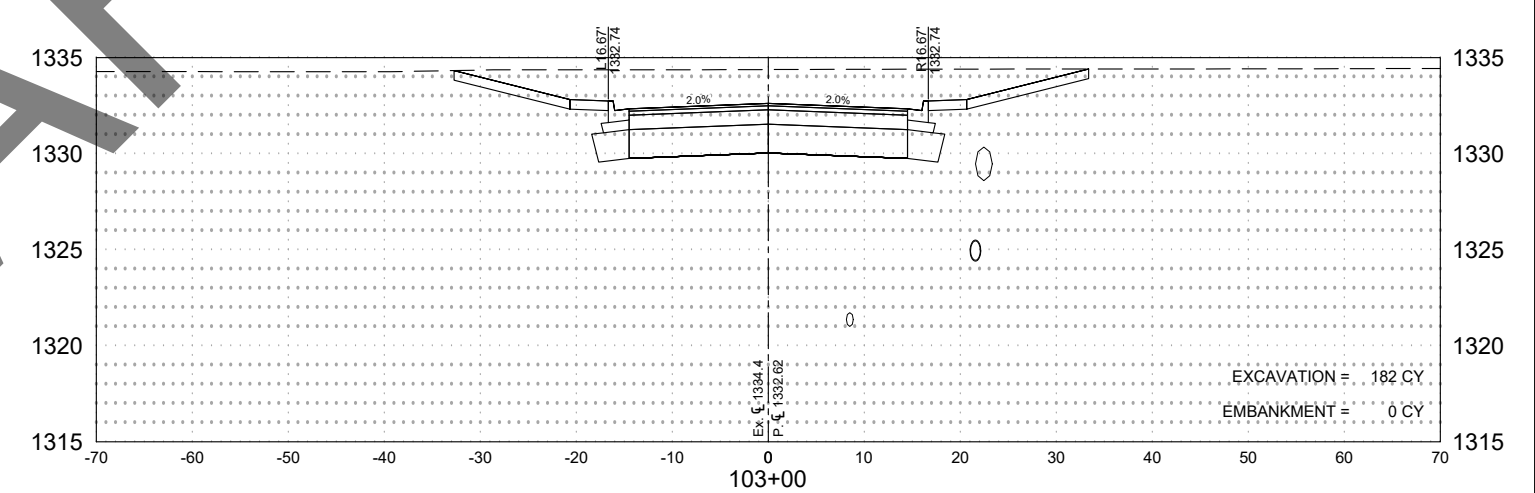
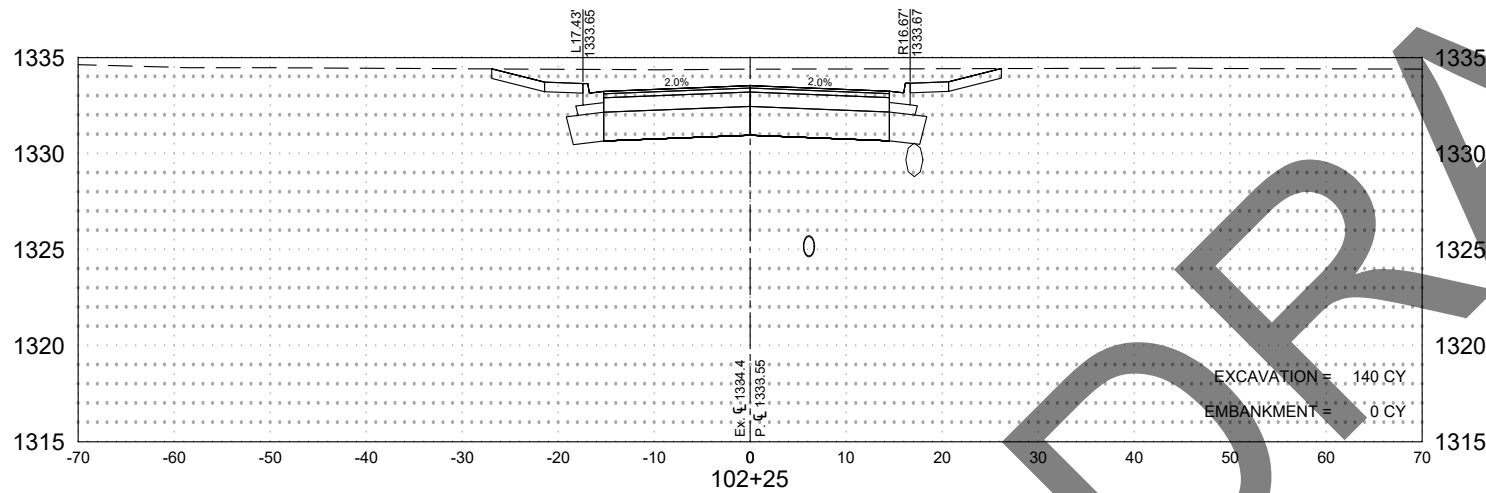
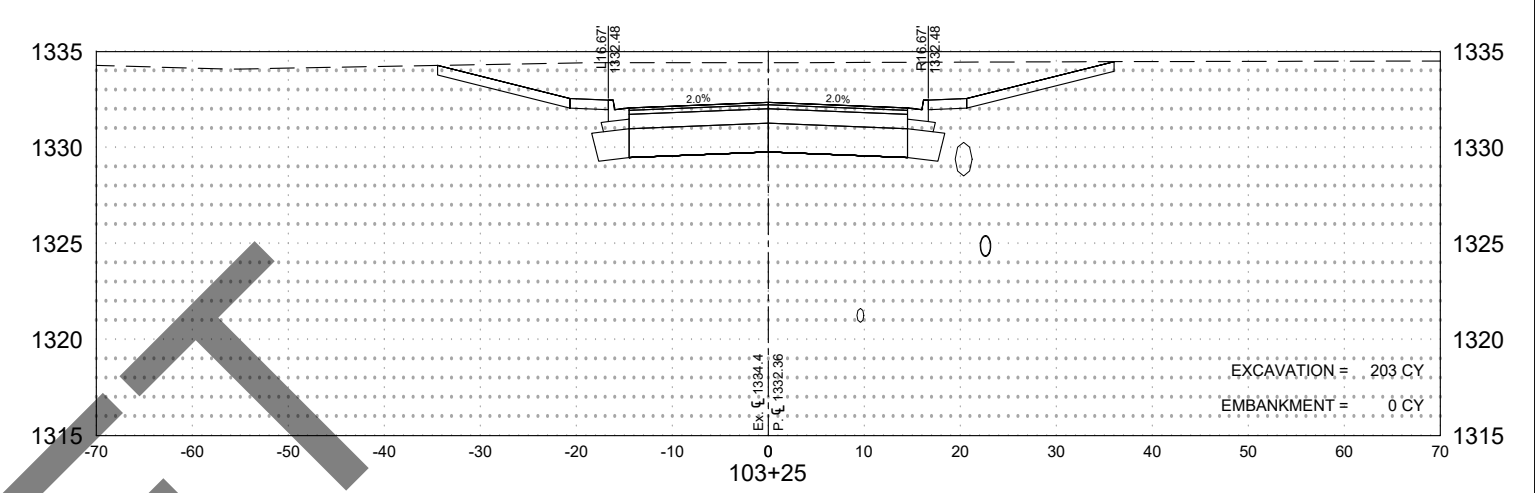
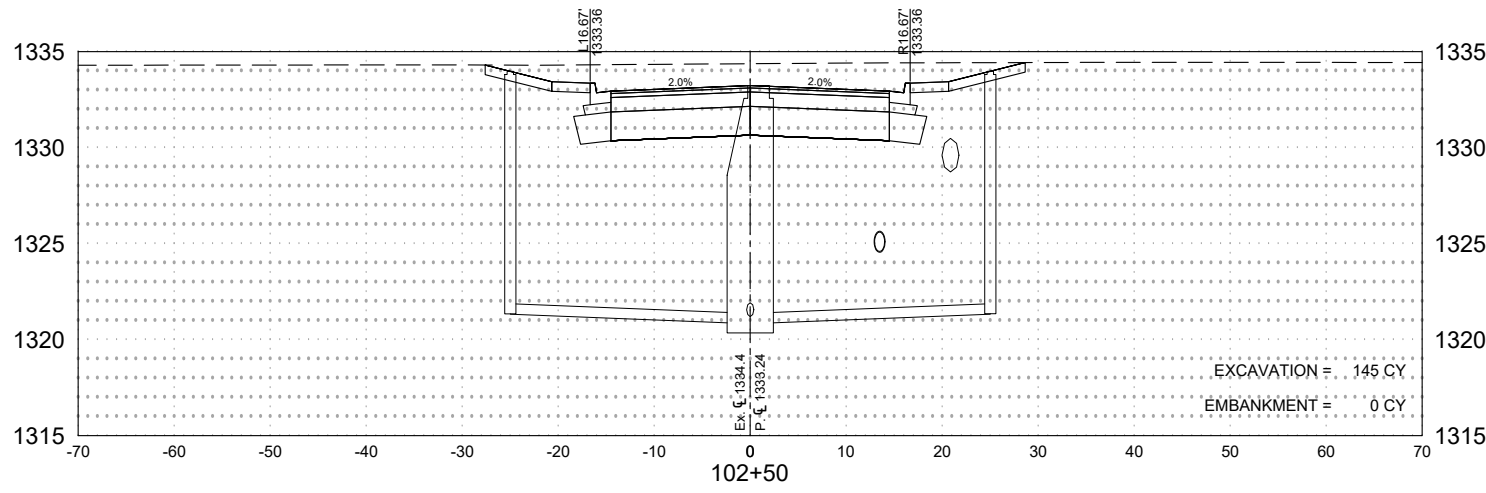
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**CONSTRUCTION DETAILS**



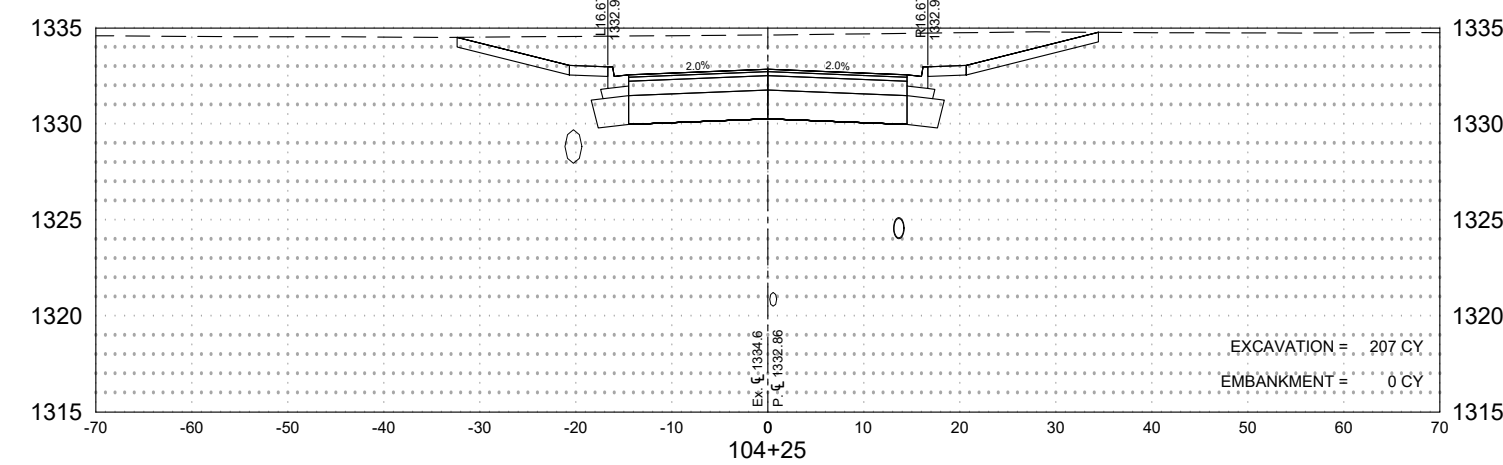
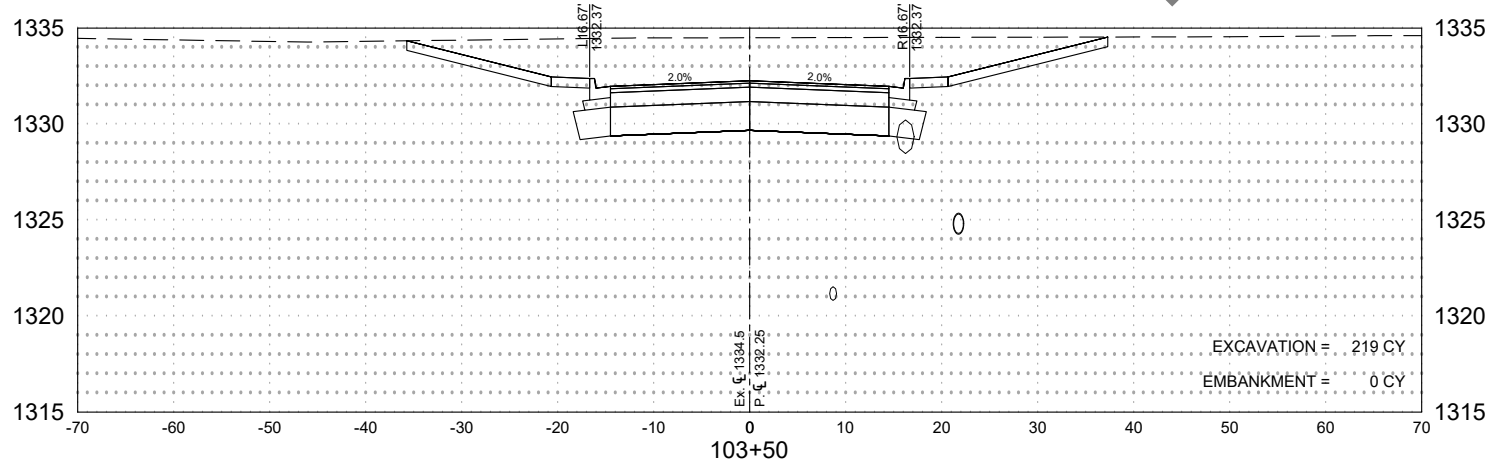
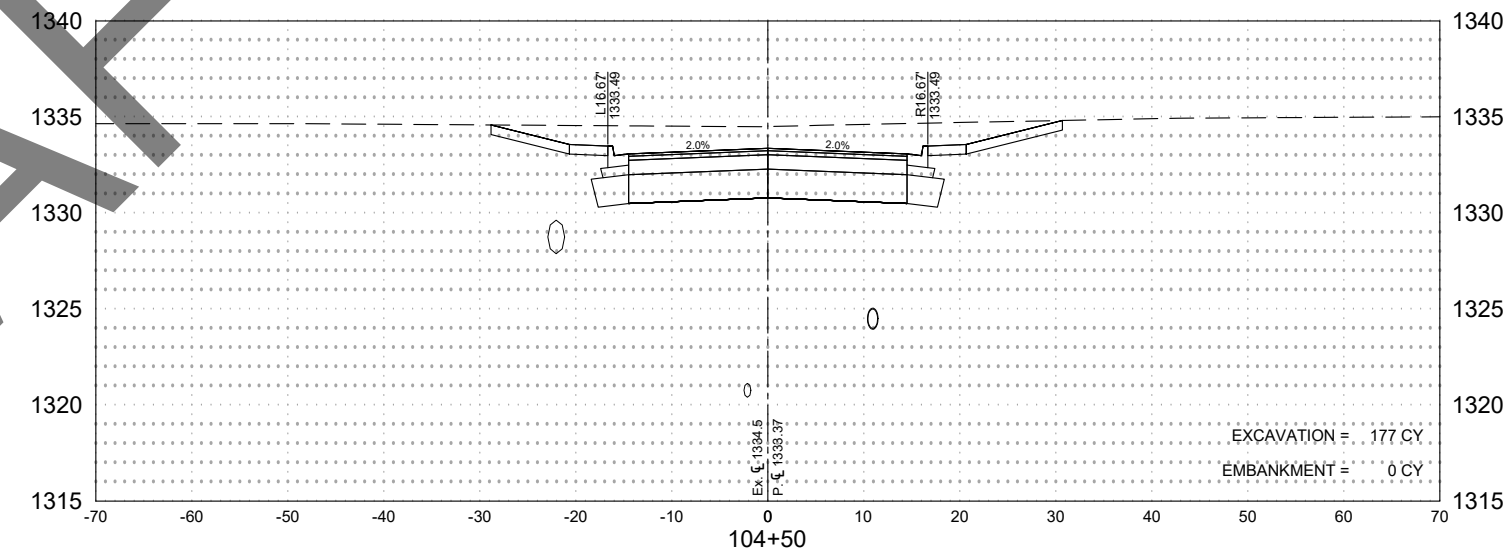
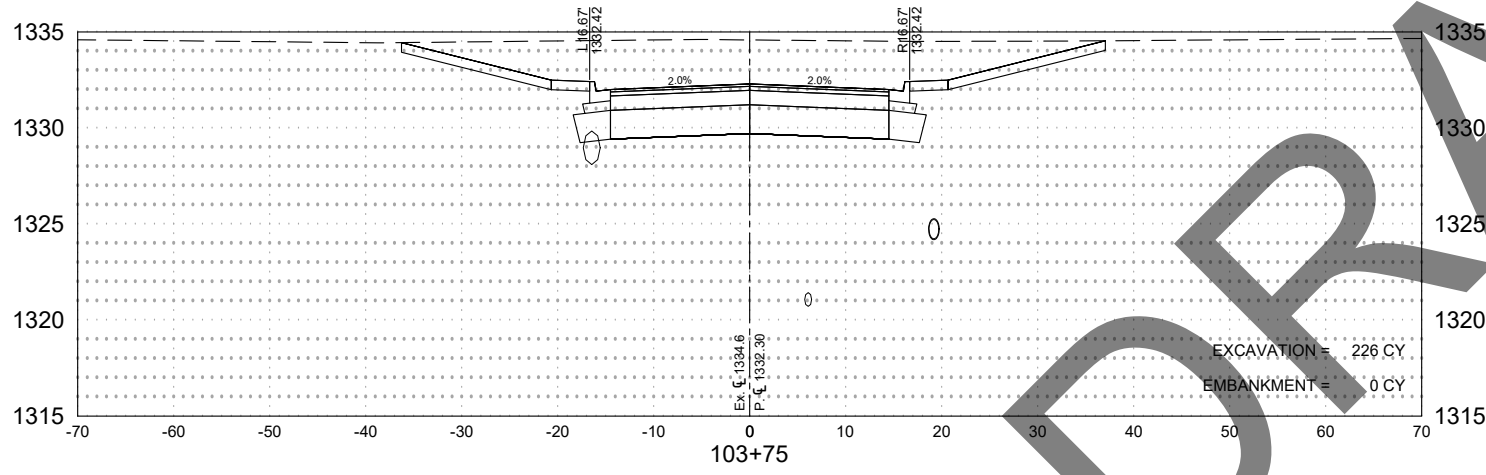
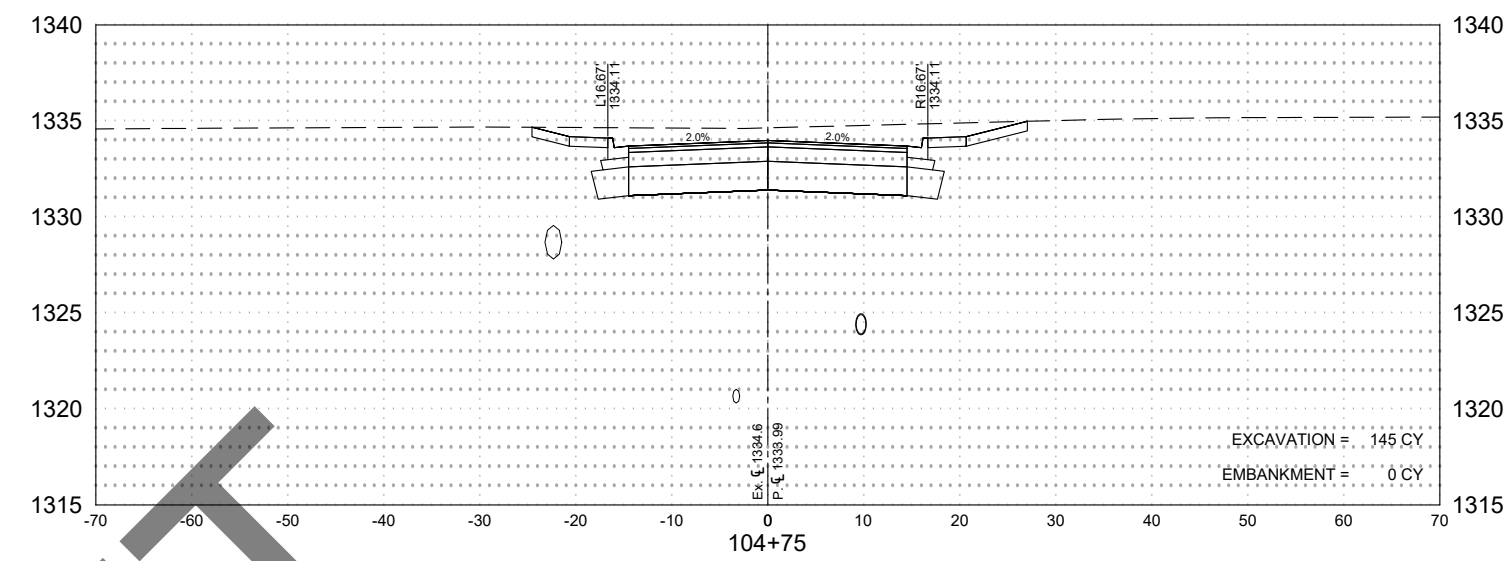
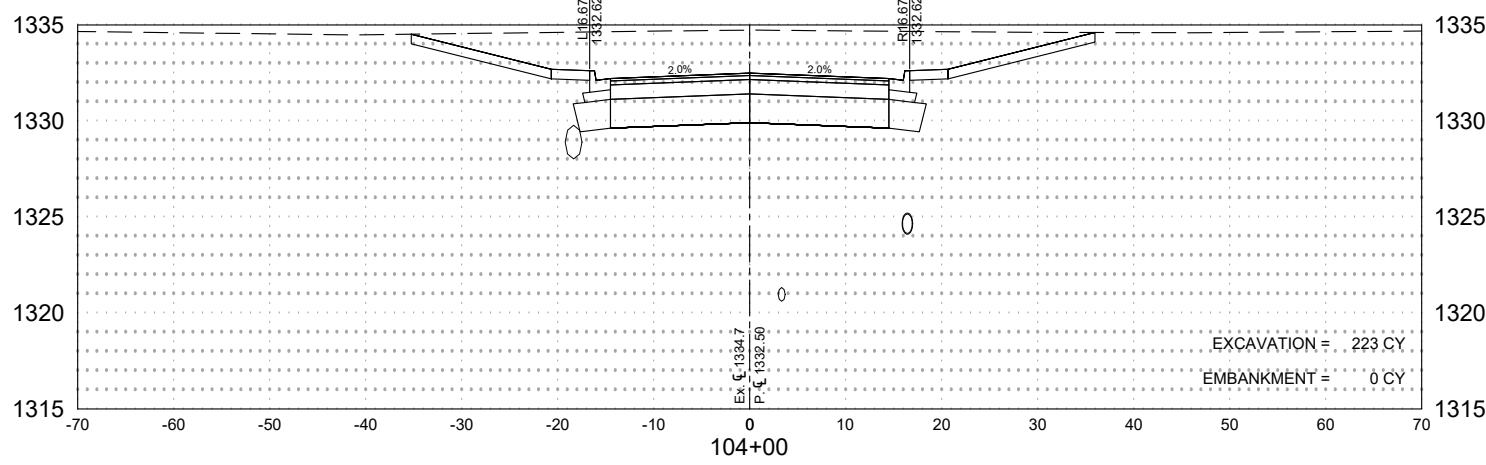
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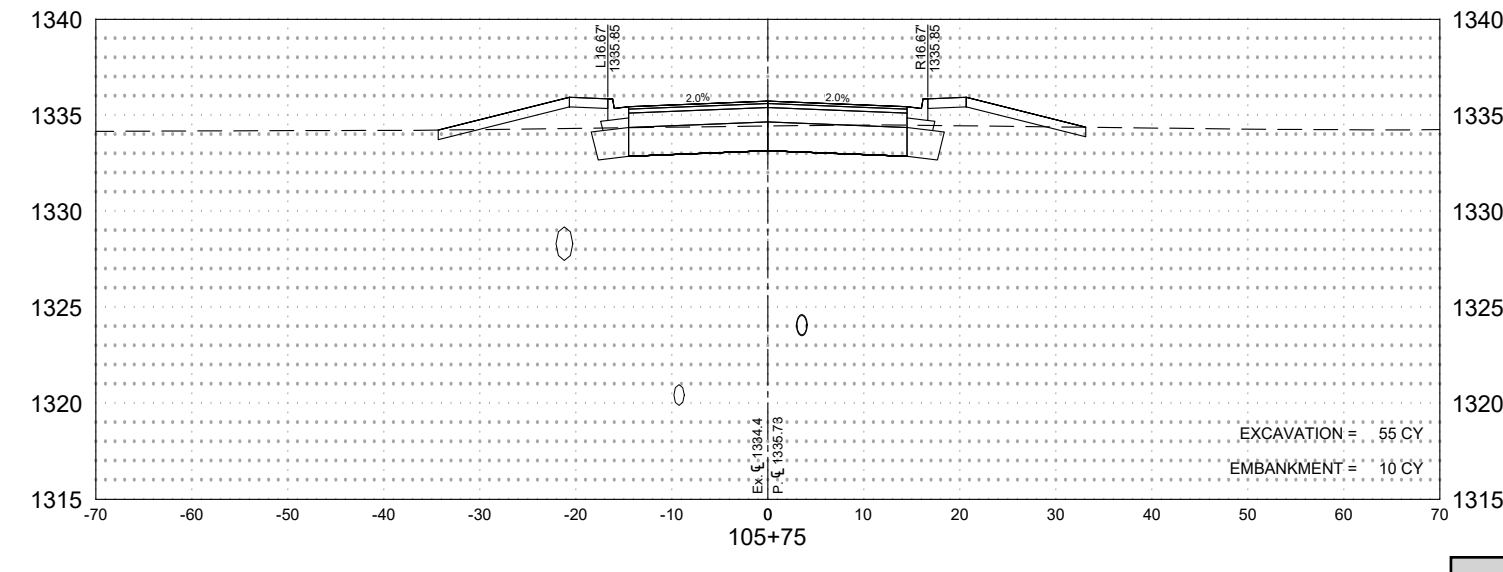
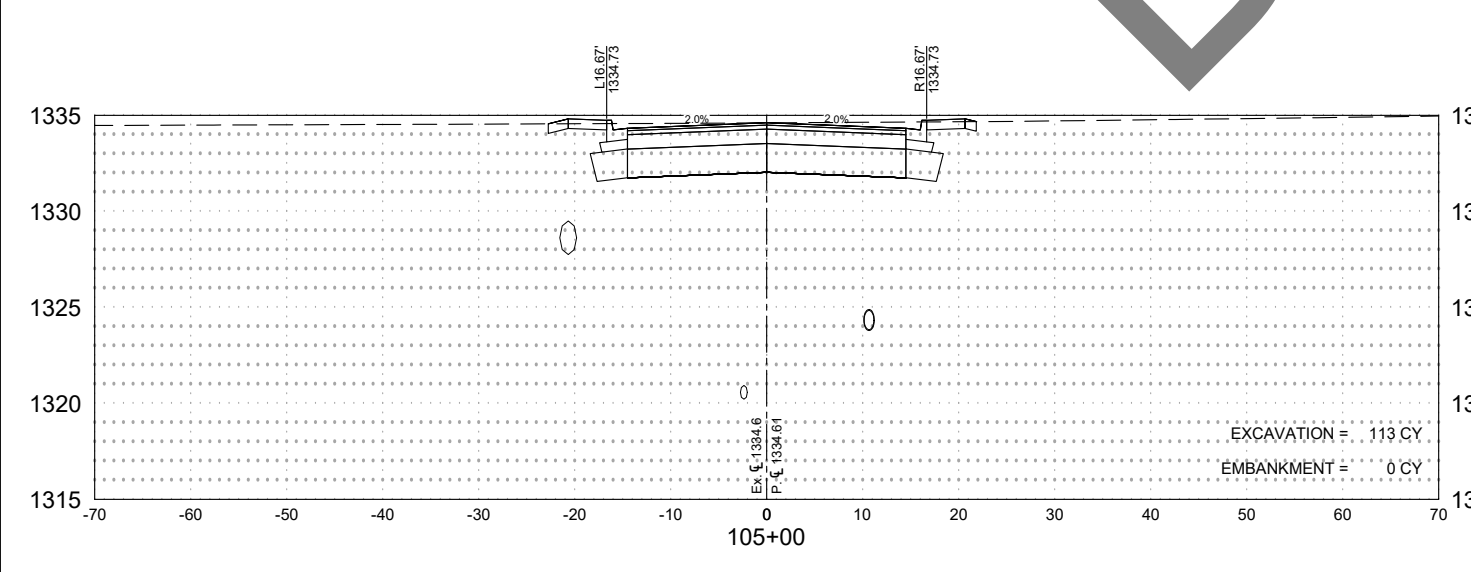
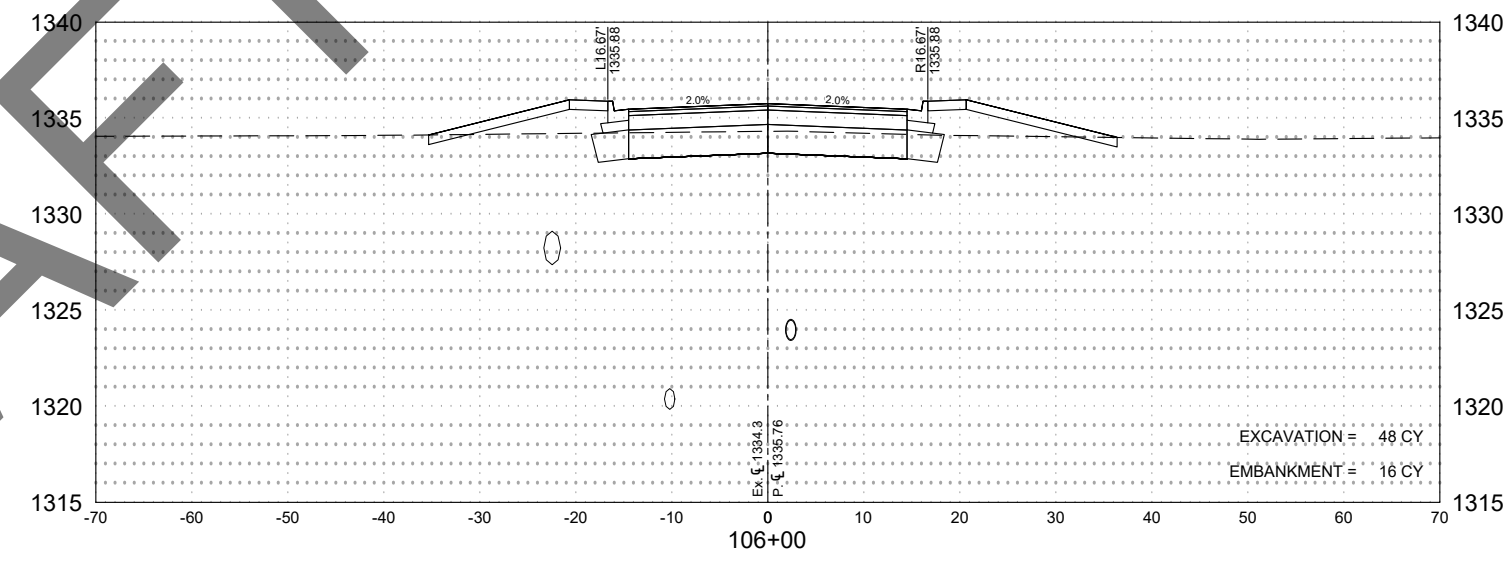
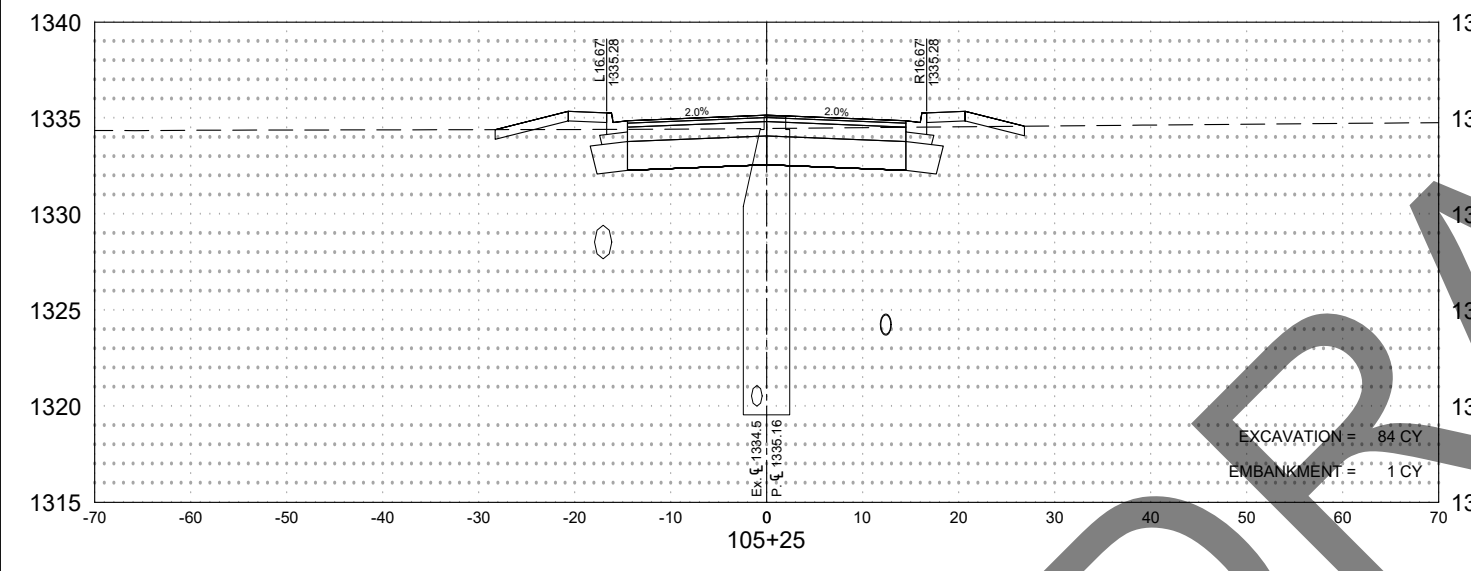
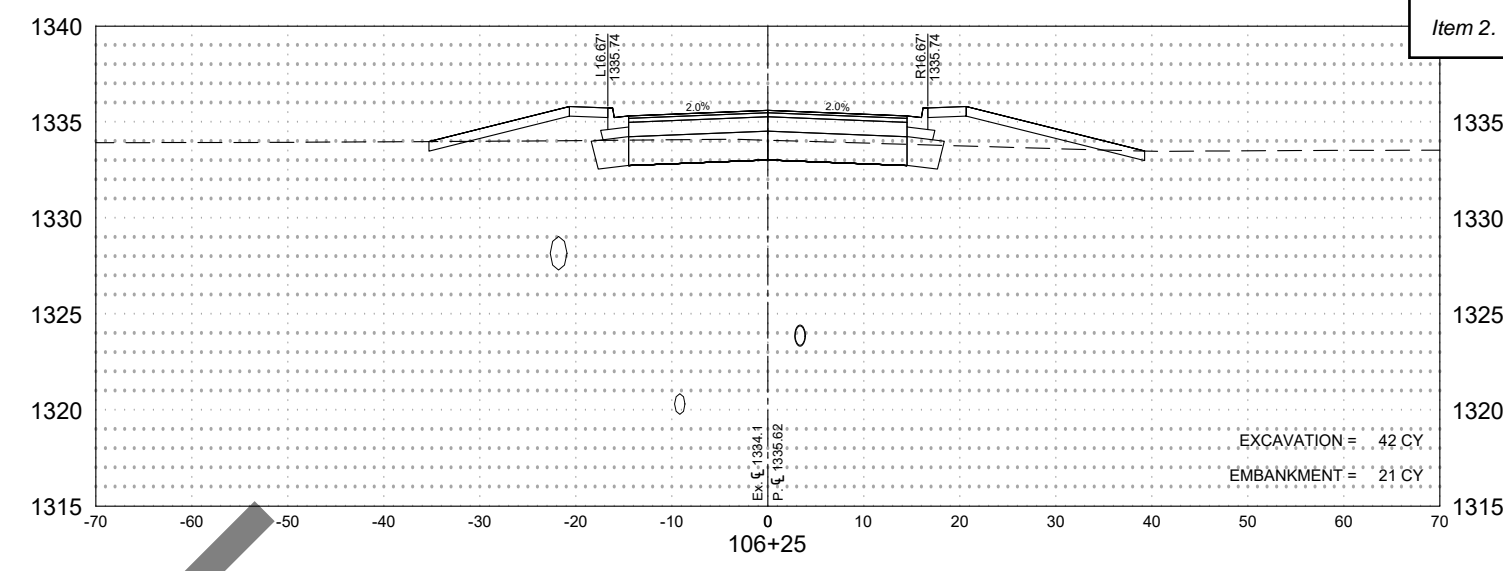
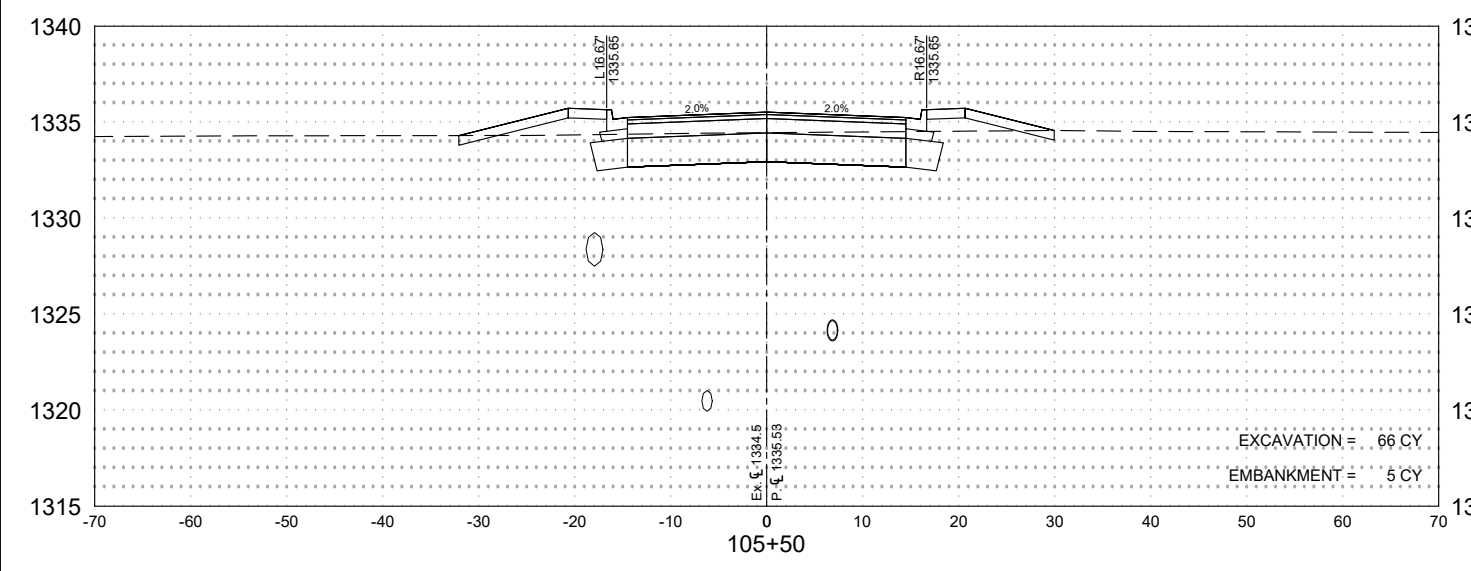
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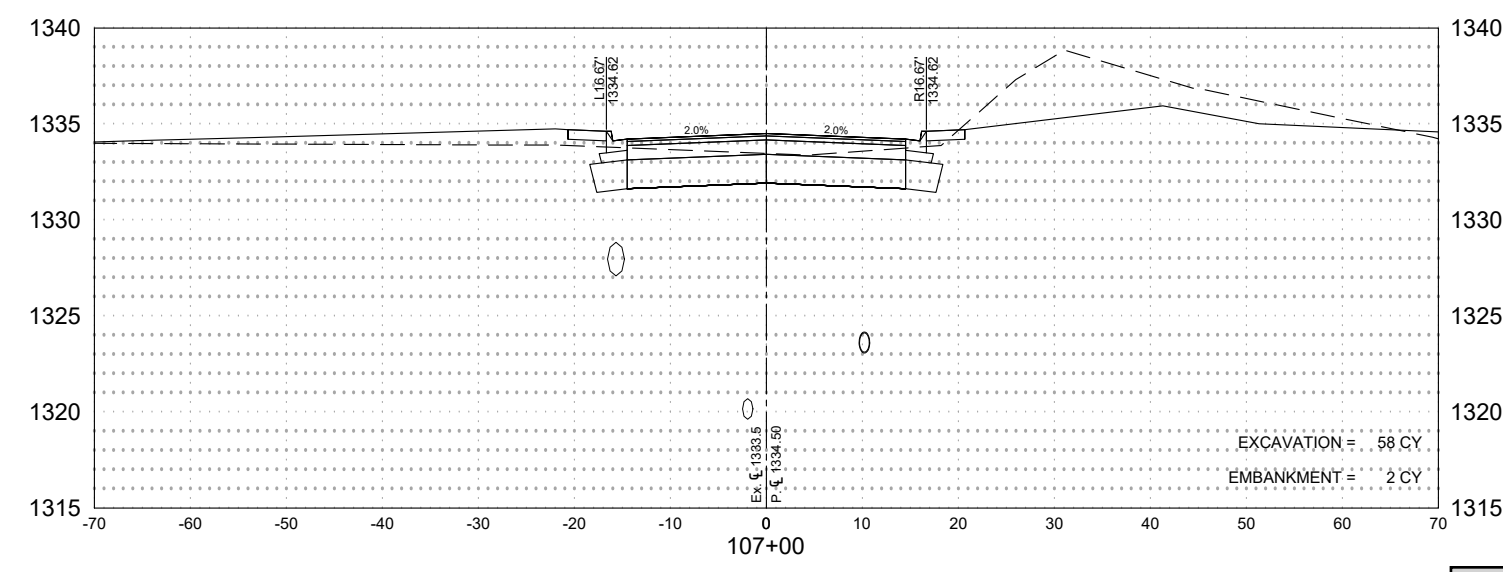
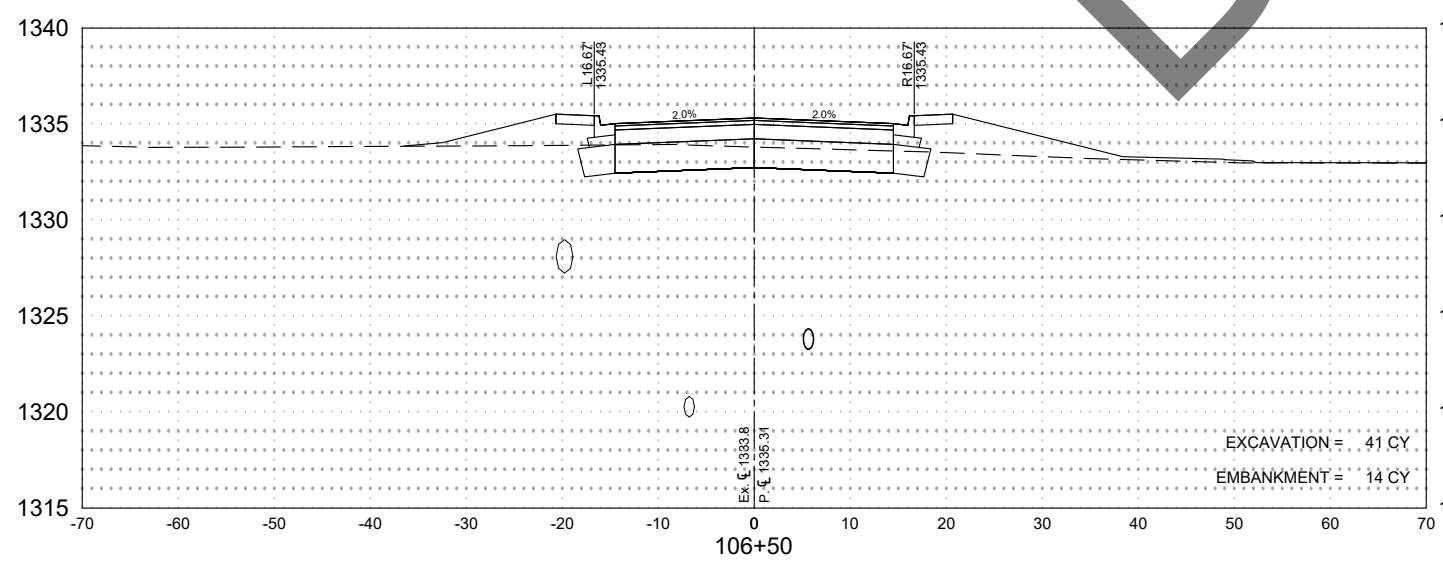
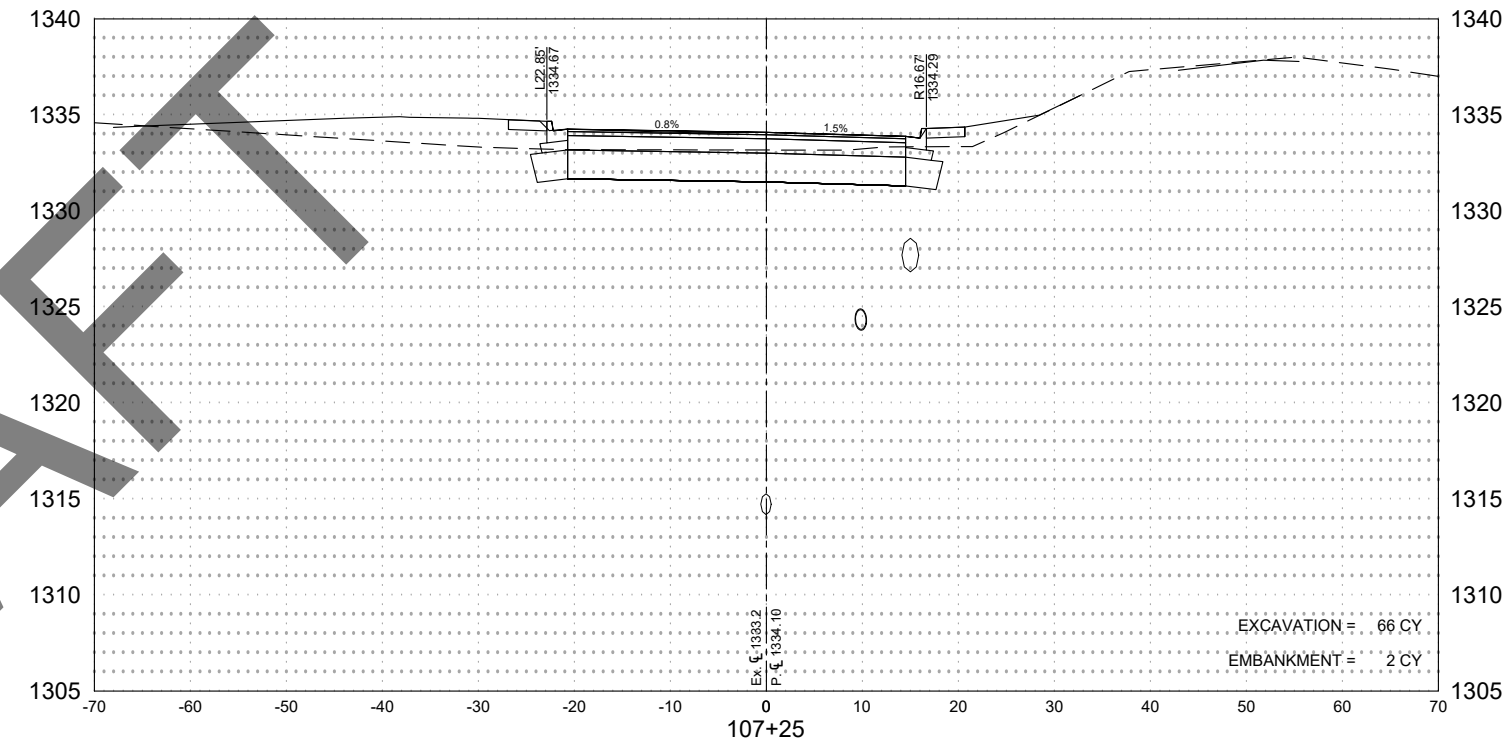
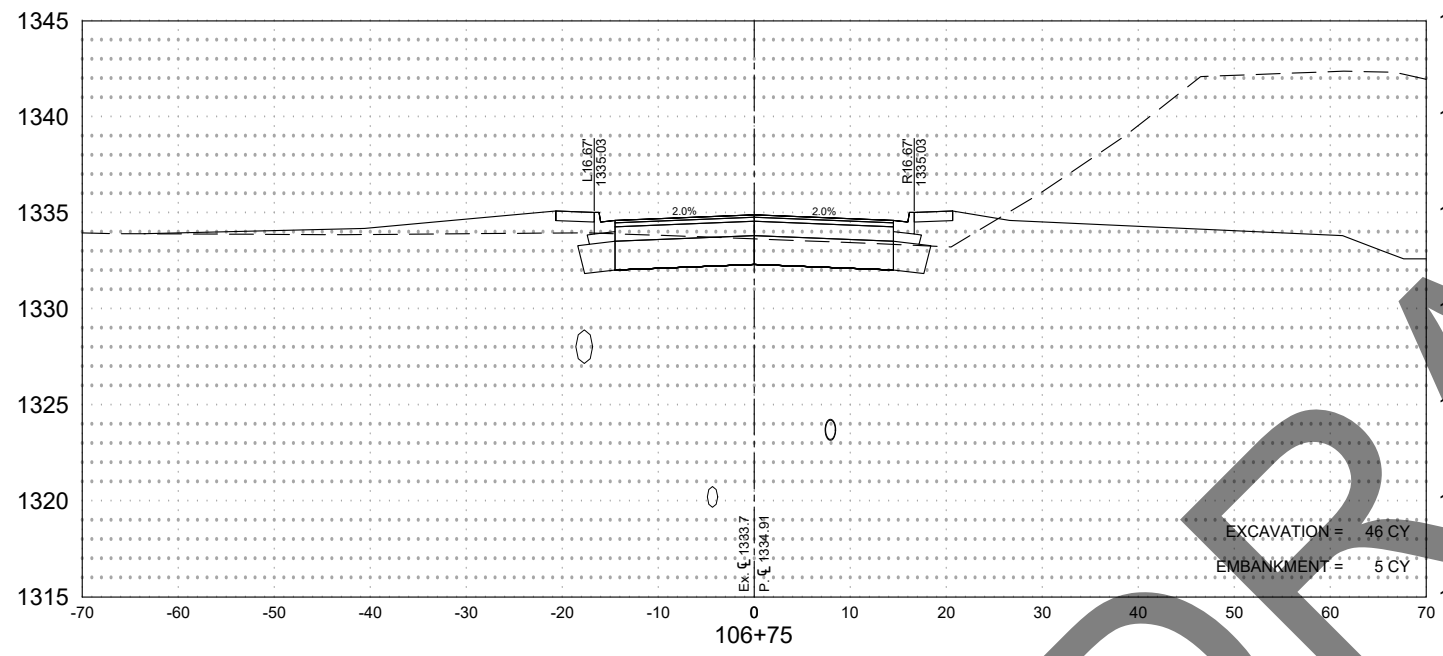
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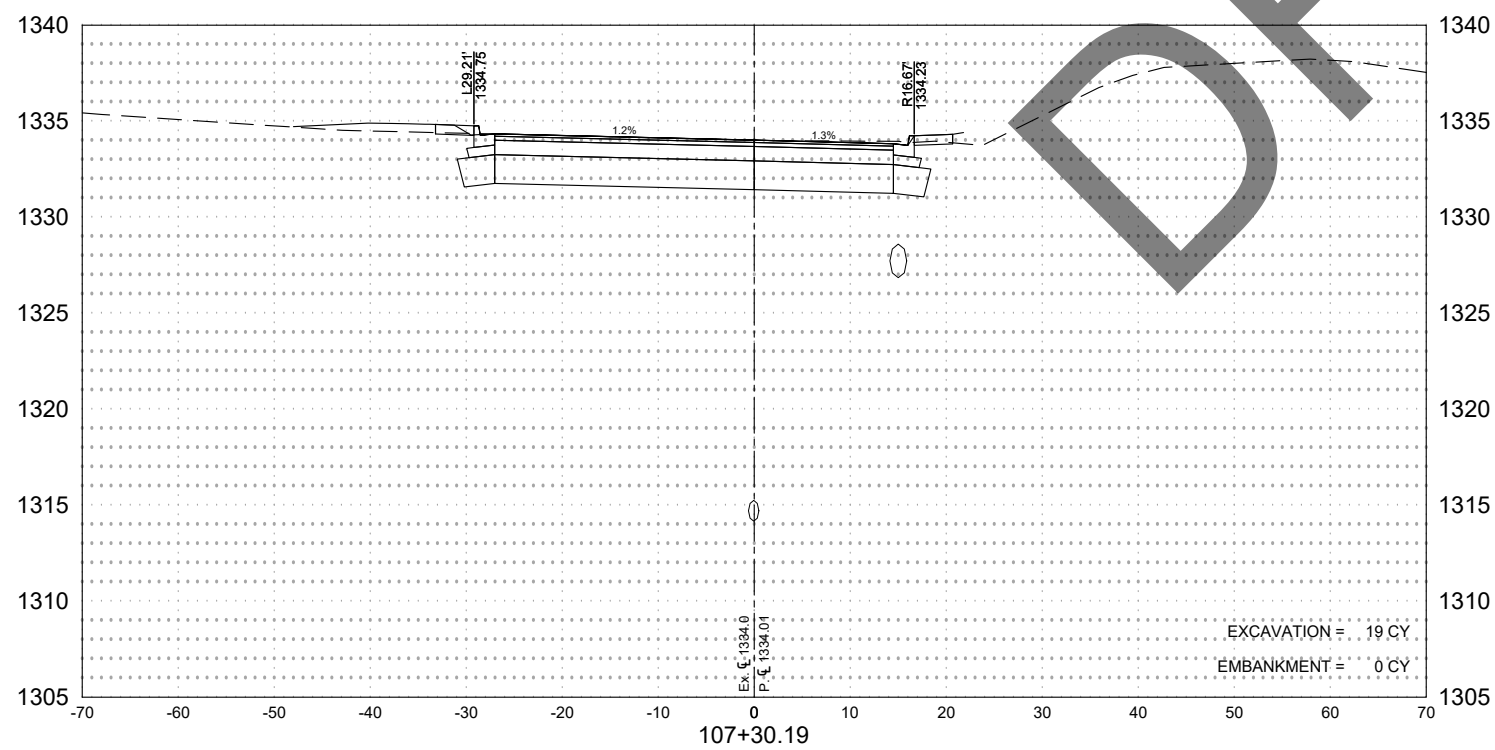
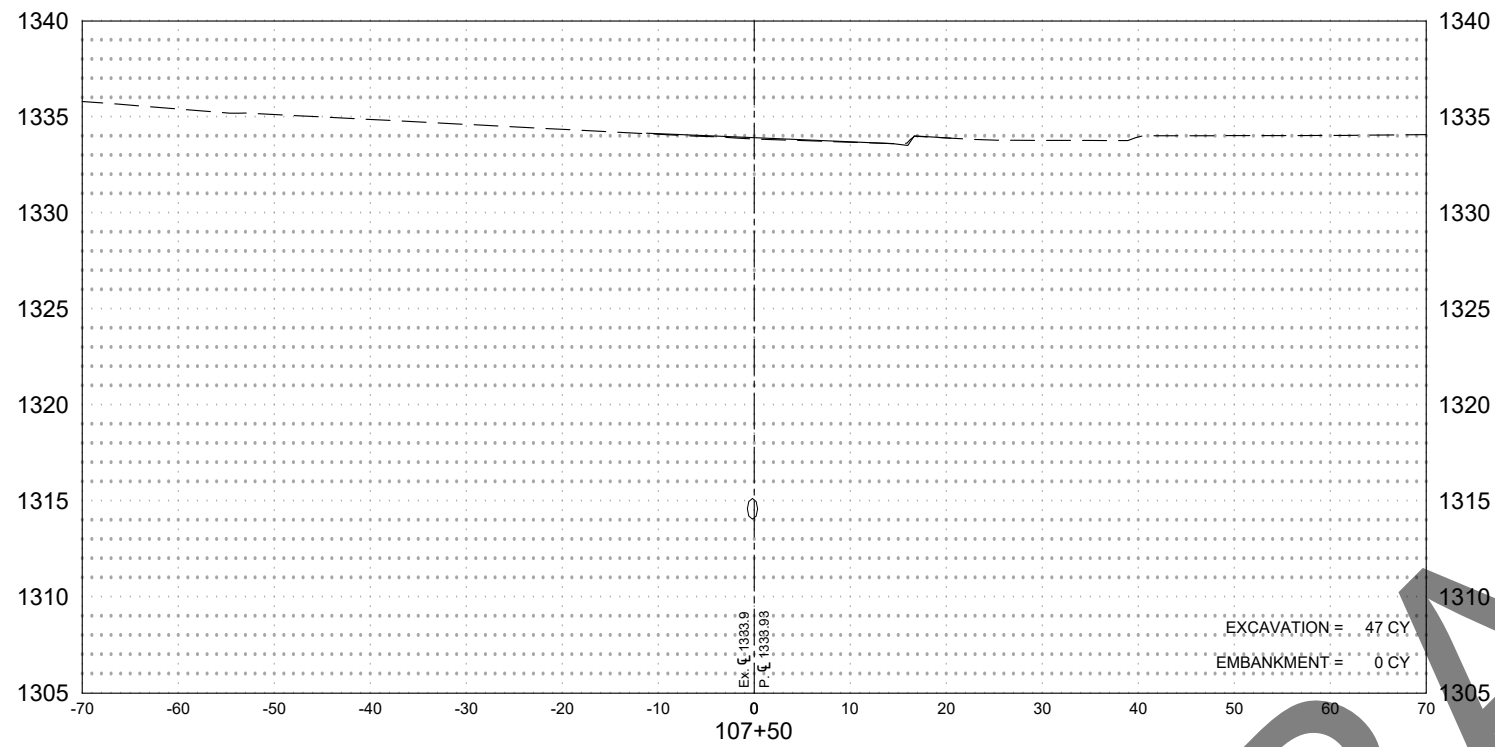
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# Planning Commission Staff Report

Agenda Item	Community Development Department	Date: 10/18/21
<b>Statement of Issue:</b>	Consider a recommendation to the City Council regarding the rezoning of 8.68 acres of land from R-1 (One-Family Residential) to R-4 (Multiple-family Residential- high density).	
<b>Background:</b>	<p>The St. Joseph’s Catholic Church filed an application for a Zoning Map Amendment with the City on September 7, 2021. The application requests the City’s consideration of the rezoning of the following described properties from their current R-1 (One-Family Residential) designation to that of R-4 (Multiple-family Residential- <i>high density</i>):</p> <p style="text-align: center;"><i>Outlots B, C, D, and E, Saint Joseph Addition, Itasca County, Minnesota</i></p> <p>The petition submitted by the Church involves 8.68 acres of land (four outlots, platted in 2010), and is generally located west of the St. Joseph’s Catholic Church and School site: 315 SW 21<sup>st</sup> Street (<i>see map #1</i>). Additionally, map #1 illustrates the subject properties in relation to the existing zoning in the area: RR (Rural Residential) adjacent to the west and south, R-1 (One-Family Residential) to the north and east.</p> <p>The Zoning Map Amendment, if approved and described by the petitioner in their application, and in addition to the extension of 21<sup>st</sup> Street SW and public infrastructure, west to Horseshoe Lake Road scheduled for 2022, would make the subject Outlots accessible for the development of various types of multi-family housing options.</p> <p>A sample listing of the uses permitted by right in an R-4 zoning district are as follows:</p> <ul style="list-style-type: none"> <li>• Single family detached, twin homes, two family attached, multi-family, rooming houses for 7 + roomers, group and foster homes for 17 or more residents, senior housing w/services for greater than 17 residents, daycare/nurseries- 14 or fewer persons, accessory buildings, neighborhood parks, and public athletic facilities.</li> </ul> <p>A sampling of other uses permitted in R-4 with additional restrictions includes:</p> <ul style="list-style-type: none"> <li>• Bed and breakfast accommodations, emergency housing facilities, group and foster homes for 6 or fewer persons, churches, daycare/nurseries- 15 or more persons, and elementary and secondary schools.</li> </ul>	

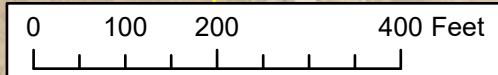
	<p>The following table shows a comparison of the yard and bulk requirement of R-4 and R-1 zoning, and illustrates several differences between the two zoning districts; larger lot size requirements, greater maximum building height and density allowances with the R-4 district, and a lack of surface coverage requirements within R-1 zoning.</p> <table border="1" data-bbox="490 443 1404 871"> <thead> <tr> <th></th> <th>R-1 (existing zoning)</th> <th>R-4 (requested zoning)</th> </tr> </thead> <tbody> <tr> <td>Min. Lot Size</td> <td>gross area-8,400 s.f. area (unit)- 8,400 s.f., width- 70 ft.</td> <td>gross area-15,000 s.f. area (unit)-2,500 s.f., width- 100 ft.</td> </tr> <tr> <td>Min. Yard Setbacks</td> <td>front-30 ft., int. side-6-9 ft., street side-15 ft., rear- 30 ft.</td> <td>front-35 ft., int. side-20 ft., street side-30 ft., rear- 35 ft.</td> </tr> <tr> <td>Max. Lot Coverage</td> <td>building-N/A, total surface-N/A, GUOS-N/A</td> <td>building-35%, total surface-75%, GUOS (unit)- 400</td> </tr> <tr> <td>Building Size</td> <td>max. height- 30 ft., min. dimension- 24 ft.</td> <td>max. height- 45 ft., min. dimension- 24 ft.</td> </tr> </tbody> </table> <p>The Future Land Use map contained within the 2020 Comprehensive Plan (<i>see location map #2</i>) shows the subject properties located within an area indicated as future “Multi-Family Residential”, which was a “future land use” designation carried over from the 2011 Comprehensive Plan.</p> <p>The Housing goals within the 2020 Comprehensive Plan address a need for the continued development of a diverse housing stock with a mixture of affordability, providing for lifecycle housing and resulting in an interconnected pattern of housing types.</p>		R-1 (existing zoning)	R-4 (requested zoning)	Min. Lot Size	gross area-8,400 s.f. area (unit)- 8,400 s.f., width- 70 ft.	gross area-15,000 s.f. area (unit)-2,500 s.f., width- 100 ft.	Min. Yard Setbacks	front-30 ft., int. side-6-9 ft., street side-15 ft., rear- 30 ft.	front-35 ft., int. side-20 ft., street side-30 ft., rear- 35 ft.	Max. Lot Coverage	building-N/A, total surface-N/A, GUOS-N/A	building-35%, total surface-75%, GUOS (unit)- 400	Building Size	max. height- 30 ft., min. dimension- 24 ft.	max. height- 45 ft., min. dimension- 24 ft.
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Building Size	max. height- 30 ft., min. dimension- 24 ft.	max. height- 45 ft., min. dimension- 24 ft.														
<b>Considerations:</b>	When reviewing a request for a Zoning Map Amendment, the Planning Commission must make findings based on the attached list of considerations.															
<b>Recommendation:</b>	<p>Staff recommends that the Planning Commissioners visit the site and look at the situation, and surrounding uses in the area.</p> <p>Prior to making a motion to recommend to the City Council approval or denial of the request, the Planning Commission should make specific findings to support its recommendation and reference those specific findings in their motion to either approve or deny the Zoning Map Amendment request.</p>															
<b>Required Action:</b>	<p>Pass a motion forwarding a recommendation to the City Council for approval or denial of the requested Zoning Map Amendment.</p> <p>Motion by _____, second by _____ that, based on the findings of fact presented here today, and in the public’s best interest, the Planning Commission does hereby forward to the City Council a recommendation to <b>(approve)(deny)</b> the Zoning Map Amendment, as petitioned by St. Joseph’s</p>															

	<p>Catholic Church, described within the Staff Report and as shown in the maps presented here today, from the current R-1 (One-Family Residential) zoning designation to that of R-4 (Multiple-family Residential- <i>high density</i>);</p> <p><u>Contingent on the following stipulation(s):</u></p> <hr/>
<b>Attachments:</b>	<ul style="list-style-type: none"><li>• Site/Location Maps</li><li>• Copy of the rezoning petition and associated documentation.</li><li>• List of the Planning Commissions Rezoning Considerations.</li></ul>



Item 3.

Area of Rezoning Request:  
R-1 to R-4 (red outline)



- Proposed Re Zoning
- Parcels
- One-Family Residence
- One and Two-Family Residence
- Multi-Family Residence (Medium Density)
- Rural Residential
- Public Use
- Conservancy
- Urban Overlay

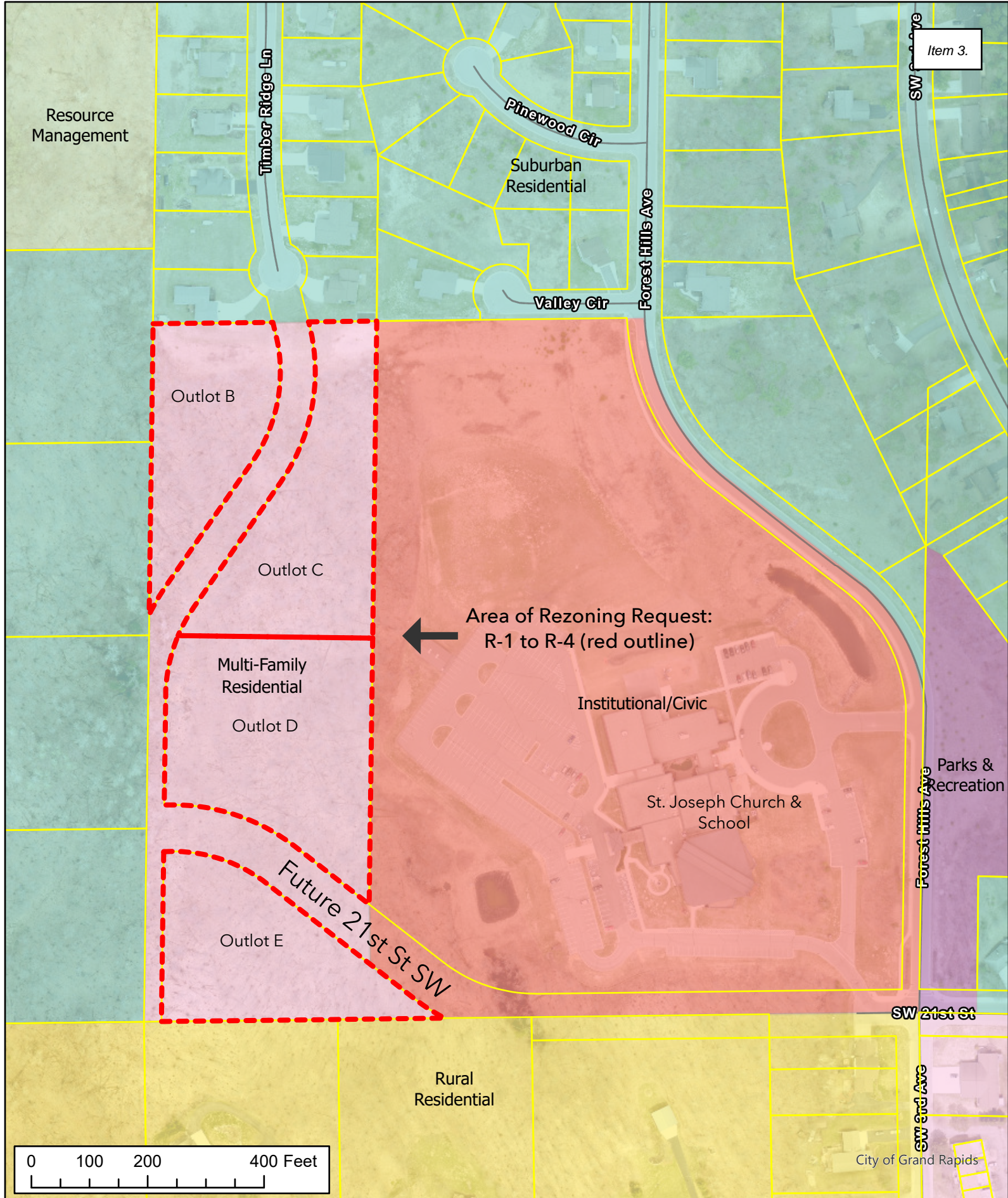
## St. Joseph's Church Zoning Amendment Request (R-1 to R-4)



**Map #1**

61

GRAND RAPIDS  
ITS IN MINNESOTA'S NATURE



Item 3.

Area of Rezoning Request:  
R-1 to R-4 (red outline)

- Proposed Re Zoning
- Parcels
- Institutional / Civic
- Multi-Family Residential
- Parks & Recreation
- Resource Management
- Rural Residential
- Suburban Residential

## St. Joseph's Church Zoning Amendment Request (Future Land Use)



Map #2

62

GRAND RAPIDS  
ITS IN MINNESOTA'S NATURE

PLANNING COMMISSION

Considerations

**ZONING MAP AMENDMENT**

1. Will the change affect the character of neighborhoods?

Why/Why not?

2. Would the change foster economic growth in the community?

Why/Why not?

3. Would the proposed change be in keeping with the spirit and intent of the ordinance?

Why/Why not?

4. Would the change be in the best interest of the general public?

Why/Why not?

5. Would the change be consistent with the Comprehensive Plan?

Why/Why not?

## SUPPLEMENTAL CHECKLIST FOR REZONING

**When considering rezoning property, the following questions should also be considered:**

1. Has there been a change in the development policies of the community?
2. Are there changed conditions in the community that would change the proper zoning of the property?
3. Was there a mistake in the original zoning ordinance?
4. Is the zoning ordinance up to date?
5. Is similarly zoned land currently available?
6. Does the proposed rezoning (or amendment) conform to the comprehensive plan?
7. Is the proposed use compatible with adjacent land uses?
8. Is the proposed rezoning (or amendment) spot zoning?
9. Is the timing proper for the proposed rezoning (or amendment)?
10. What is the effect of the proposed rezoning on public utilities?
11. Will the proposed rezoning place an undue financial burden on the community?
12. Will the rezoning increase tax revenues?





**Petition for Rezoning (Zoning Map Amendment)**

Community Development Department  
420 North Pokegama Ave.  
Grand Rapids, MN 55744  
Tel. (218) 326-7601 Fax (218) 326-7621  
Web Site: www.cityofgrandrapidsmn.com

The undersigned do hereby respectfully request the following be granted by support of the following facts herein shown:

St. Joseph's Catholic Church

Name of Applicant

315 SW 21<sup>st</sup> Street

Address

Grand Rapids MN 55744

City State Zip

326-2843/frblake@sjsgr.org

Business Telephone/e-mail

Name of Owner (If other than applicant)

Address

City State Zip

Business Telephone/e-mail

*gleu-hodgson@msn.com*

**Parcel Information:**

Tax Parcel 91-686-2000, 3000, 4000, 5000

Property Size: 8.68 acres total

Existing Zoning: R-1

Requested Zoning: R-4

Existing Use: Undeveloped land

Proposed Use: Multi-Family Residential

Property Address/Location: Intersection of 21<sup>st</sup> Street SW and Timber Ridge Lane

Legal Description: Outlots B, C, D, and E, Saint Joseph Addition  
(attach additional sheet if necessary)

I(we) certify that, to the best of my(our) knowledge, information, and belief, all of the information presented in this application is accurate and complete and includes all required information and submittals, and that I consent to entry upon the subject property by public officers, employees, and agents of the City of Grand Rapids wishing to view the site for purposes of processing, evaluating, and deciding upon this application.

*K. Blake King*

Signature(s) of Applicant(s)

*9/3/21*

Date

Signature(s) of Owner(s)-(If other than applicant)

Date

**Office Use Only**

Date Received 9/7/21 Certified Complete 9/7/21 Fee Paid \$505

Planning Commission Recommendation Approved \_\_\_\_\_ Denied \_\_\_\_\_

Meeting Date 10/7/21

City Council Action Approved \_\_\_\_\_ Denied \_\_\_\_\_

Meeting Date 10/28/21

Summary of Special Conditions of Approval: \_\_\_\_\_

**Required Submittals (5 copies of each & electronic versions of all pertinent information):**

- Application Fee - \$505.00 \*1
- Location Map
- Map Showing Surrounding Zoning
- Proof of Ownership – (a copy of a property tax statement or deed will suffice)

*\*1 The application fees charged are used for postage to mail the required notices to adjacent properties, publication of the public hearing notice in the Grand Rapids Herald Review, and for a small portion of staff time for case review and preparation of documents. It is the policy of the City of Grand Rapids to require applicants for land use approvals to reimburse the City for costs incurred by the City in reviewing and acting upon applications, so that these costs are not borne by the taxpayers of the City.*

**Justification of Proposed Rezoning:** Please answer all of the following questions (attach additional pages if needed). The Planning Commission will consider these questions and responses, and other issues (see attached list) in making their findings of fact and recommendation on the proposed rezoning.

**A.** What are the Surrounding land uses? Describe the existing uses and zoning classifications in the area surrounding the subject property.

- North: Single family residential zoned R-1
- East: St. Joseph’s Church and School zoned R-1
- South: Single family residential zoned Rural Residential
- West: Undeveloped zoned Rural Residential

**B.** Would the uses permitted by the proposed zoning map change be appropriate for the surrounding area?

Yes. The proposed rezoning would be residential which matches 3 of the 4 directions adjacent to the property. Multi-family residential would also be compatible with the church/school use to the east.

**C.** Is the property adequately served by public infrastructure (streets, sidewalks, utilities, etc)?

At this time the property parcels are not served by public infrastructure. However, there is a project currently under development to provide for infrastructure in 21<sup>st</sup> Street. Infrastructure in Timber Ridge Lane can be provided in conjunction with future development on the parcels.

**D.** Demonstrate the need for additional property in the proposed zoning district.

The 2019 Housing Study identified a need for additional multi-family housing units. In addition, recent multi-family housing projects have high occupancy rates.

- E.** What effect will the proposed rezoning have on the growth and development of existing neighborhoods, other lands in the proposed district, commercial and industrial neighborhoods

The proposed rezoning:

- Will support nearby commercial neighborhoods
- Will not have any anticipated effects on industrial neighborhoods
- May enhance development of adjacent lands to the west

- F.** Demonstrate that the proposed rezoning is the minimum change needed to allow a reasonable use of the property  
With the proximity to the church and school, multi-family residential is a "reasonable" use of the property that is compatible with the church/school existing use. R-4 zoning is needed to permit multi-family use.

- G.** How does the proposed rezoning conform to the City's Comprehensive Plan

Yes. Figure 4.8—Future Land Use in the Comprehensive Plan depicts this property as multi-family residential.

- H.** Is the timing proper for the proposed rezoning?

Yes. The City project to extend 21<sup>st</sup> Street SW from 3<sup>rd</sup> Avenue SW/Forest Hills Avenue to Horseshoe Lake Road will advance in 2022. This proposed rezoning is a direct result of and is compatible with the timing of the project.

I. Any additional information that the Petitioner would like to supply. \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Additional Instructions:**

Prior to submitting your Petition to Rezone, you will need to arrange for one or more preliminary meetings with the Director of Community Development. This meeting is intended to ensure that the proposed application is complete, to answer any questions the applicant may have, discuss meeting schedules and, if applicable, the scope of the required submittals. Completed applications required to be submitted to the Grand Rapids Community Development Department by the 15th of the month.

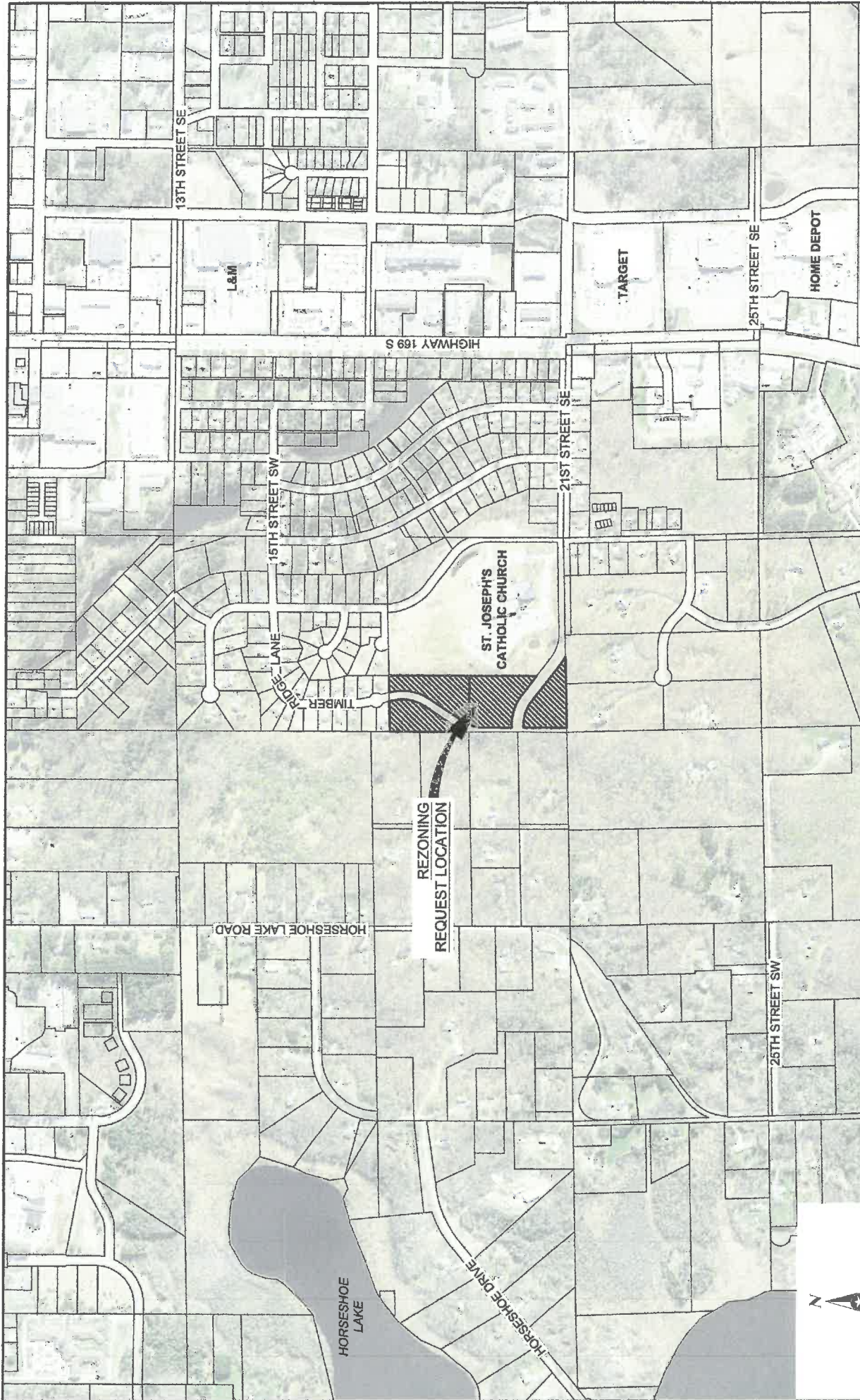
**Findings for Approval:**

The Planning Commission, in formulating its recommendation, and the City Council, in support of its action will make findings of fact based on their responses to the following list of considerations:

- Will the change affect the character of the neighborhoods?
- Would the change foster economic growth in the community?
- Would the proposed change be in keeping with the spirit and intent of the ordinance?
- Would the change be in the best interest of the general public?
- Would the change be consistent with the Comprehensive Plan?

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

More information may be requested by the City of Grand Rapids Planning Commission or City Council, if deemed necessary to properly evaluate your request. The lack of information requested may be in itself sufficient cause to deny an application.

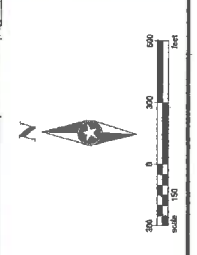


FILE NO. \_\_\_\_\_  
 DATE: 9/2/2021

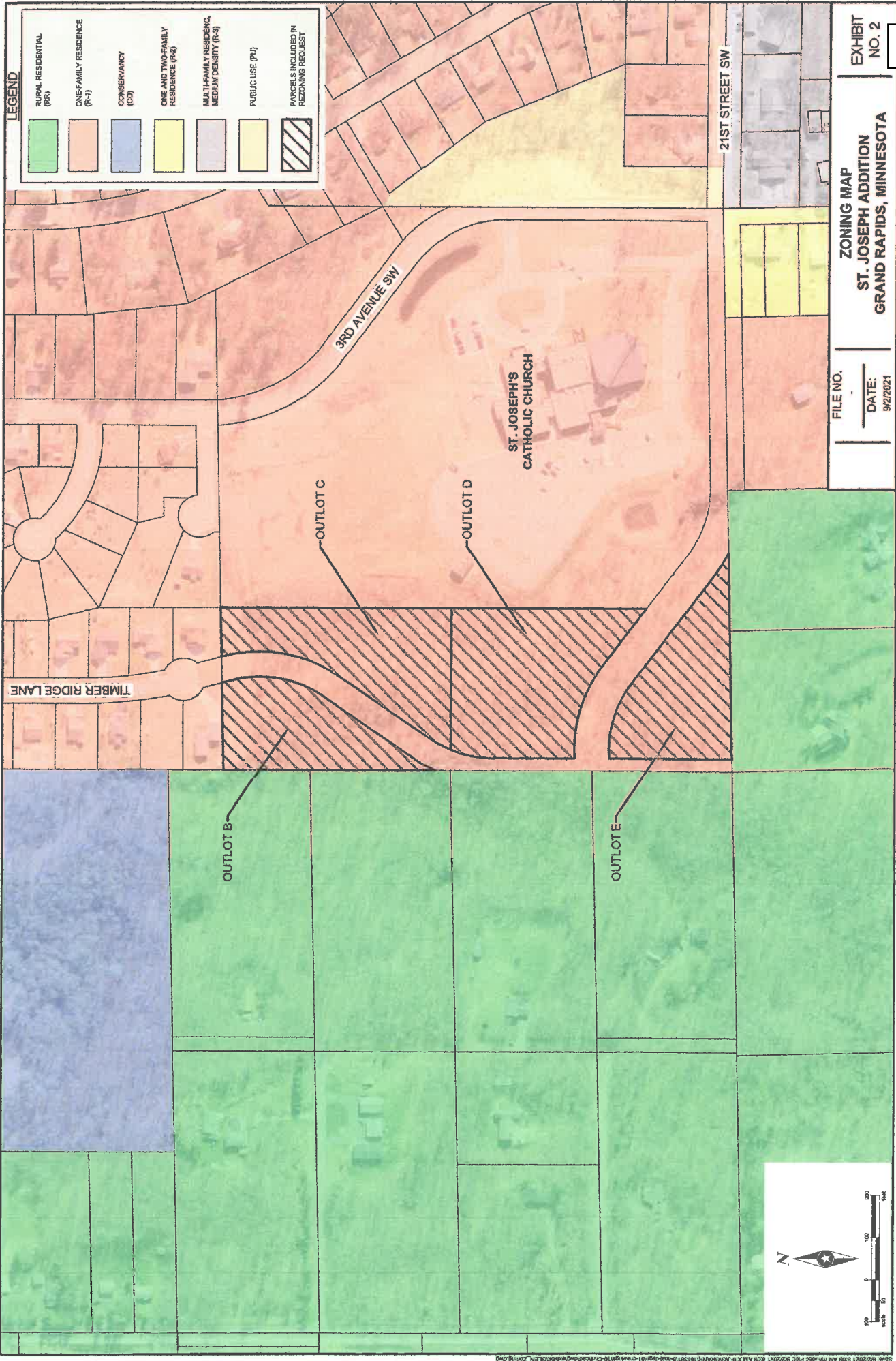
**LOCATION MAP  
 ST. JOSEPH ADDITION  
 GRAND RAPIDS, MINNESOTA**

EXHIBIT  
 NO. 1

Item 3.



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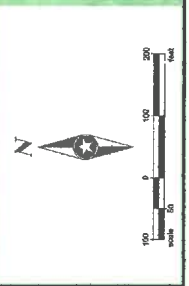
**LEGEND**


	RURAL RESIDENTIAL (R-1)
	ONE-FAMILY RESIDENCE (R-1)
	CONSERVANCY (CD)
	ONE AND TWO-FAMILY RESIDENCE (R-2)
	MULTI-FAMILY RESIDENCE, MEDIUM DENSITY (R-3)
	PUBLIC USE (PU)
	PARCELS INCLUDED IN REZONING REQUEST

FILE NO. \_\_\_\_\_  
 DATE: 9/2/2021

**ZONING MAP**  
**ST. JOSEPH ADDITION**  
**GRAND RAPIDS, MINNESOTA**

EXHIBIT NO. 2



 <b>Itasca County Parcel Information System</b> <a href="#">Itasca County's Web Site</a>	Tue, Aug 31, 2021 Parcel Info Data Date: August 30, 2021 CRV Info Data Date: August 30, 2021 Payment Detail Data Date: August 30, 2021
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[Parcel Information](#)    
 [CRV Information](#)    
 [Lake Finder](#)    
 [FAQ](#)    
 [Request Info](#)

## 2020 Assessor's Market Values For Taxes Payable In 2021

Record Details     Parcel Number: **91-686-2000**

**Taxpayer of Record**  
 ST JOSEPHS CATHOLIC CHURCH  
 315 SW 21ST ST  
 GRAND RAPIDS MN 55744

Plat Name:	SAINT JOSEPH ADDITION
1st Line of Legal Desc:	OUTLOT B
Deeded Acres:	1.65
Sec-Twp-Rng:	29-55-25
Lake (# / Name):	
Emergency Number:	NOT AVAILABLE




[View the Itasca County GIS map for this parcel in a NEW WINDOW.](#)

This parcel has 1 property tax classification(s). Valuations are provided below for each classification.

Class Code 725 Church Property		<b>Total Land Value = \$36,700</b> <b>Total Building Value = \$0</b> <b>Grand Total Value = \$36,700</b>	<a href="#">91-686-2000</a> <a href="#">Click Here To See The Current Year Tax Record For This Parcel</a>
Land Value:	\$36,700		
Building Value:	\$0		
Total Class Value:	\$36,700		

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 <b>Itasca County Parcel Information System</b> Itasca County's Web Site	Tue, Aug 31, 2021 Parcel Info Data Date: August 30, 2021 CRV Info Data Date: August 30, 2021 Payment Detail Data Date: August 30, 2021
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[Parcel Information](#)    
 [CRV Information](#)    
 [Lake Finder](#)    
 [FAQ](#)    
 [Request Info](#)

### 2020 Assessor's Market Values For Taxes Payable In 2021

**Record Details    Parcel Number: 91-686-3000**

**Taxpayer of Record**  
 ST JOSEPHS CATHOLIC CHURCH  
 315 SW 21ST ST  
 GRAND RAPIDS MN 55744

Plat Name:	SAINT JOSEPH ADDITION
1st Line of Legal Desc:	OUTLOT C
Deeded Acres:	2.29
Sec-Twp-Rng:	29-55-25
Lake (# / Name):	
Emergency Number:	NOT AVAILABLE



[View the Itasca County GIS map for this parcel in a NEW WINDOW.](#)


This parcel has 1 property tax classification(s). Valuations are provided below for each classification.

<table border="1"> <tr><td colspan="2">Class Code: 723 Church Properties</td></tr> <tr><td>Land Value:</td><td>\$42,800</td></tr> <tr><td>Building Value:</td><td>\$0</td></tr> <tr><td>Total Class Value:</td><td>\$42,800</td></tr> </table>	Class Code: 723 Church Properties		Land Value:	\$42,800	Building Value:	\$0	Total Class Value:	\$42,800	<p> <b>Total Land Value = \$42,800</b>  <b>Total Building Value = \$0</b>  <b>Grand Total Value = \$42,800</b> </p>	<p> <a href="#">91-686-3000</a>  <a href="#">Click Here To See The Current Year Tax Record For This Parcel</a> </p>
Class Code: 723 Church Properties										
Land Value:	\$42,800									
Building Value:	\$0									
Total Class Value:	\$42,800									

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 <p><b>Itasca County Parcel Information System</b> Itasca County's Web Site</p>	<p>Tue, Aug 31, 2021</p> <p>Parcel Info Data Date: August 30, 2021 CRV Info Data Date: August 30, 2021 Payment Detail Data Date: August 30, 2021</p>
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[Parcel Information](#)    [CRV Information](#)    [Lake Finder](#)    [FAQ](#)    [Request Info](#)

### 2020 Assessor's Market Values For Taxes Payable In 2021

Record Details    Parcel Number: **91-686-4000**

**Taxpayer of Record**    ST JOSEPHS CATHOLIC CHURCH  
315 SW 21ST ST  
GRAND RAPIDS MN 55744

Plat Name:	SAINT JOSEPH ADDITION
1st Line of Legal Desc:	OUTLOT D
Deeded Acres:	2.8
Sec-Twp-Rng:	29-55-25
Lake (# / Name):	
Emergency Number:	NOT AVAILABLE




[View the Itasca County GIS map](#) for this parcel in a NEW WINDOW.

This parcel has 1 property tax classification(s). Valuations are provided below for each classification.

Class Code 720 Church Properties		<p><b>Total Land Value = \$42,700</b></p> <p><b>Total Building Value = \$0</b></p> <p><b>Grand Total Value = \$42,700</b></p>	<p><a href="#">91-686-4000</a> <a href="#">Click Here To See The Current Year Tax Record For This Parcel</a></p>
Land Value:	\$42,700		
Building Value:	\$0		
Total Class Value:	\$42,700		

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Minnesota Counties Information Systems  
Grand Rapids, MN  
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 <p><b>Itasca County Parcel Information System</b> Itasca County's Web Site</p>	<p>Tue, Aug 31, 2021</p> <p>Parcel Info Data Date: August 30, 2021 CRV Info Data Date: August 30, 2021 Payment Detail Data Date: August 30, 2021</p>
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[Parcel Information](#)    [CRV Information](#)    [Lake Finder](#)    [FAQ](#)    [Request Info](#)

### 2020 Assessor's Market Values For Taxes Payable In 2021

[Record Details](#)    Parcel Number: **91-686-5000**

**Taxpayer of Record**    ST JOSEPHS CATHOLIC CHURCH  
315 SW 21ST ST  
GRAND RAPIDS MN 55744

Plat Name:	SAINT JOSEPH ADDITION
1st Line of Legal Desc:	OUTLOT E
Deeded Acres:	1.93
Sec-Twp-Rng:	29-55-25
Lake (# / Name):	
Emergency Number:	NOT AVAILABLE



[View the Itasca County GIS map](#) for this parcel in a NEW WINDOW.

This parcel has 1 property tax classification(s). Valuations are provided below for each classification.

<table border="1"> <tr> <td colspan="2">Class Code 723 Church Properties</td> </tr> <tr> <td>Land Value:</td> <td>\$39,600</td> </tr> <tr> <td>Building Value:</td> <td>\$0</td> </tr> <tr> <td>Total Class Value:</td> <td>\$39,600</td> </tr> </table>	Class Code 723 Church Properties		Land Value:	\$39,600	Building Value:	\$0	Total Class Value:	\$39,600	<p><b>Total Land Value = \$39,600</b></p> <p><b>Total Building Value = \$0</b></p> <p><b>Grand Total Value = \$39,600</b></p>	<p><a href="#">91-686-5000</a> <a href="#">Click Here To See The Current Year Tax Record For This Parcel</a></p>
Class Code 723 Church Properties										
Land Value:	\$39,600									
Building Value:	\$0									
Total Class Value:	\$39,600									

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# Planning Commission Staff Report

Agenda Item	Community Development Department	Date: 10/18/21
<b>Statement of Issue:</b>	Consider a recommendation to the City Council regarding amendments to the Zoning Ordinance that would add the <i>Automotive/Recreational Vehicle (Repair/Service)</i> use, as a use permitted with restrictions, within the CBD (Central Business District) zoning district.	
<b>Background:</b>	<p>On October 6, 2021, Keith Still, d.b.a. Jack’s Auto Service, submitted a petition requesting a text amendment to the Zoning Ordinance that would allow <i>Automotive/Recreational Vehicle (repair/service)</i>, as a permitted use, within the CBD (Central Business District) zoning district.</p> <p>As stated within his application, Mr. Still desires to add a 2,248 sq. ft., addition to his auto repair/service business located at 403 NW 3<sup>rd</sup> Avenue. The addition would accommodate two additional service bays, equipment and inventory storage space, office space, and employee breakroom. The project may ultimately add three employee’s to the business.</p> <p>The current auto repair/service business was originally established in the early 1960’s at this location, having auto repair services, fueling stations, and car wash services over the years. The subject business/property is located within the CBD (Central Business District), and the existing use is not permitted within the CBD per Section 30-512 Table-1 Permitted Uses.</p> <p>This use, along with two other long standing auto repair/service businesses in the CBD, is considered a grandfathered Class 1 nonconforming use (<i>Those where the use of the building or land does not conform to the district use regulations of division 4 of this article</i>) which is outlined in Section 30-458 <i>Nonconforming uses</i> of the Municipal Code. As such, the Class 1 nonconforming use may not be structurally altered or enlarged unless the resultant altered or enlarged building or use shall conform in terms of usage to the provisions of this article.</p> <p>Currently, within Section 30-512 Table-1 <i>Permitted Uses</i>, the repair/service use is <u>permitted with restrictions (R)</u> within the GB/*SGB (General Business) and the BP/SBP (Business Park) zoning district. (* “S” designation identifies Shoreland districts)</p> <p>The additional restrictions, outlined for this use, are set forth within Section 30-564 <i>uses with restrictions</i>, of which, staff would recommend being applied to this use in the CDB (if ultimately approved), are as follows:</p> <p>(c) Automotive/RV repair (within GB, SGB, BP, SBP zone) provided:</p> <ol style="list-style-type: none"> <li>1. No repair work shall take place outside of the principal structure; and</li> </ol>	

2. Any damaged or disassembled (partially or wholly) vehicle stored overnight shall be kept in an enclosure screening the vehicle and/or other materials from public view in such manner as described in section 30-594(h).

By its description, within Section 30-511 *Purpose of districts: "CBD central business district. This district correlates only with the downtown area of the city and is intended to serve a regional clientele. It is highly diversified and intended to offer the full array of high value comparison goods and services; hotel, cultural, tourist and entertainment services; high density residential; finance; general office and public uses. Because the CBD is a very high use intensity zone, is fully developed, much of which occurred prior to the existence of zoning regulations, and is an area that requires the city to play a role in the provision of parking, normal parking, yard and lot requirements do not apply"*.

The uses currently permitting by right (P) within the CBD zoning district, under Section 30-512, include: accessory buildings, congregate housing, group/foster homes/residential treatment centers for 17+ persons, daycares/nursery's, accessory buildings, pet shops, construction material suppliers, banks/savings & loan/loan agency, restaurants, clinic's, offices, professional/scientific/technical services, administrative support services, indoor recreation, health and fitness club, communication services, general retail sales and services, nursery/landscaping services, hotels/motels, medical equipment & supplies, pharmacy's, taproom/tasting rooms, educational services, post high school/colleges, cultural facilities, and treatment/power substations.

The uses currently permitted with additional restriction (R) within the CBD zoning district include: accessory apartments, multi-family housing, emergency housing facilities, essential service structure, temporary buildings, veterinary services, gas stations, clubs/lodges/membership organizations, arcades, temporary outdoor sales, brewery/distillery/winery, outdoor storage – land/sea containers, churches, light manufacturing, and outdoor storage – merchandise/materials.

The amendments for your consideration and are depicted within Exhibits A and B (changes on page 3 and 7 & 8), and are shown in the "marked-up" attachments. The draft amendments may be forwarded to the City Council "as is", or with any additional amendments the Planning Commission deems appropriate.

**Considerations:**

- The Planning Commission should make specific findings of fact regarding the proposed amendment to the ordinance:
1. Will the change affect the character of the neighborhood?
  2. Will the change foster economic growth in the community?
  3. Would the proposed change be in keeping with the spirit and intent

	<p>of the Zoning Ordinance?</p> <p>4. Would the change be in the best interest of the general public?</p> <p>5. Would the change be consistent with the Comprehensive Plan?</p>
<b>Recommendation:</b>	<p>Based on the above (and other) findings the Commission should consider a recommendation in regard to these draft changes.</p>
<b>Required Action:</b>	<p>Pass a motion, based on the findings of fact, to forward either a favorable recommendation, either with or without changes to the draft amendments, to the City Council, or pass a motion, based on the findings of fact, forwarding an unfavorable recommendation to the City Council regarding amendments to Section 30-512 Table-1 <i>Permitted Uses</i> and Section 30-564 <i>Uses with Restrictions</i> of the Zoning Ordinance.</p> <p><u>Example Motion:</u></p> <p>Motion by _____, second by _____ that, based on the findings of fact presented here today, and in the public’s best interest, the Planning Commission does hereby forward a <b>(favorable)(unfavorable)</b> recommendation to the City Council regarding the draft text amendment adding <u>repair/service</u> under the “Automotive/Recreational Vehicle” subheading, as a use permitted with restrictions within the <u>CBD (Central Business District)</u> zoning district: Section 30-512 Table-1 (<i>Permitted Uses</i>), and that the CBD zoning district is added to the established restriction within subpart (c) of Section 30-564 <i>Uses with Restrictions</i>.</p>
<b>Attachments:</b>	<ul style="list-style-type: none"> <li>• Section 30-512 Table-1 <i>Permitted Uses and Section 30-564 Uses with Restrictions</i> detailing changes (Exhibits A &amp; B).</li> <li>• Copy of Text Amendment petition</li> <li>• CBD Zoning Map</li> <li>• List of Planning Commissions Text Amendment Considerations</li> </ul>

**SECTION 1: AMENDMENT** "Table 1 Permitted Uses" of the Grand Rapids Municipal Code is hereby *amended* as follows:

AMENDMENT

Table 1 Permitted Uses

R R / S R R	R-1/ R-1a SR-1/ SR-1a	R-2/ S R-2	R-3/ S R-3	R-4/ S R-4	L B / S L B	G B/ S G B	C B D	M U/ S M U	M / S M	R C / S R C	B P/ S B P	I-1/ S I-1	I-2/ S I-2	C D	P U / S P U	A G	A P	LISTING OF USES IN ZONING DISTRICTS
RESIDENTIAL																		
P	P	P	P	P	P											P		single-family detached
		P	P	P	P											P		twin home attached
		P	P	P	P			P										two-family attached
																R		manufactured home < 24' wide
					P	P	R									P		accessory apartments
P	P	P																rooming house 6 or fewer roomers
			P	P	P													rooming house 7 or more roomers
		R	R	R	P	P	P									P		bed and breakfast accommodations
			P	P	P	P	R	P										multifamily
		C U P	C U P															manufactured home park
			P		P		P	P	P									congregate housing
	R	R	R	R	R	R	R	R								R	R	emergency housing facility

																SENIOR HOUSING WITH SERVICES			
R	R	R	P	P	P					P						6 or fewer persons			
R	R	R	P	P	P					P						7 to 8 persons			
R	R	R	P	P	P					P						9 to 16 persons			
			P	P	P											17 or more persons			
																GROUP HOMES, FOSTER HOMES AND RESIDENTIAL TREATMENT CENTERS			
R	R	R	R	R	R										R	6 or fewer persons			
			P	P	P							P			P	7 to 16 persons			
				P	P		P	P	P			P				17 or more persons			
																DAY CARE/NURSERY			
P	P	P	P	P	P	P	P	P	P	R		P	R	R		P	P	P	14 or fewer persons
R	R	R	R	R	P	P	P	P	R		P	R	R		P	P	P	15 or more persons	
																MISCELLANEOUS RESIDENTIAL USES			
P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	accessory buildings	
R	R	R	R	R	R												R	garage/yard sales	
R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	essential services	
R	R	R	R	R	R	R				R							P	outdoor storage	
R	R	R	R	R	R												P	private recreation	
R	R	R	R	R													P	woodpiles	
R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	temporary buildings	
R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	P	P	satellite dish/solar collectors
R	R	R	R	R													R	home occupations	
																COMMERCIAL			
																		P	aviation related commercial

																			operation
AGRICULTURAL SALES AND SERVICE																			
																		P	kennels
					P	P													pet shops
					P	R					R							P	veterinary services
R																		R	farm animals
					P														farm equipment
					P														feed, grain, supplies
R																		R	growers stand
AUTOMOTIVE/ RECREATIONAL VEHICLES																			
					P														sales: new or used
					R	R					R								repair/service
					R														car/truck wash
					R	R													gasoline stations
					C	U													junk/salvage yard
					P						P	P		P					auto-truck fleet storage
					P						P							P	transportation dispatch and storage
CONSTRUCTION																			
					R	P	P				P								construction material suppliers
					R						R	R							contractor's yard, materials storage
					P														equipment/truck sales and service
					R														equipment and/or tool rental



																FINANCIAL INSTITUTIONS	
						R	P	P									bank, savings and loan, loan agency, etc.
																FOOD SERVICE	
							P	P	P	R	R						restaurant
						R	R	R	R	R			R	R		R	vending machines
																HEALTH CARE	
						P	P	P	P	P		P				R	clinic (outpatient treatment centers)
									P	P							hospitals
C		C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	interim use
U	CUP	U	U	U	U	U	U	U	U	U	U	U	U	U	U	U	
P		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
						R	P	P				P					office - business
						R	P	P	P	P		P					professional, scientific, and technical services
						R	P	P	P	P		P					administrative and support services
																RECREATION/ENTERTAINMENT	
							P	P									indoor
						R	P	P		P		P				P	health & fitness club
R						R	R	R	R							R	clubs, lodges, membership organizations, etc.
							C						C	C	C		recreation facility, commercial - outdoor
							U			P			U	U	U		
							P					P	P	P			
											R						shooting range
											P						off-road motorized sport vehicle trails
							R	R									video arcades

						P	P						P						communication services
RETAIL																			
						R	P	P										R	general sales and services (see definition)
							C	U	P										general sales and services (see definition), greater than 70,000 sq. ft. building footprint
								P	P									P	nursery, landscaping
								P											grocery stores
								P	P										hotels and motels
								P	P		P	P							medical equipment and supplies (see definition)
						R	P	P	R	R									pharmacy
							R	R	R								R	P	temporary outdoor sales
							R	R					R						brewery/distillery/winery
							P	P					P						taproom/tasting room
			R	R	R		P	P					P						salon/barber shop
SCHOOLS PUBLIC AND PRIVATE																			
R	R		R	R	R												P		elementary - secondary
						R	P	P					P					P	educational service institution
							P	P									P	P	post high schools and colleges
WAREHOUSE																			
							P						P	P	P		R		general

						P							P								mini storage
						P						P	P	P							motor freight terminal
						R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	outdoor storage of land/sea containers
																				<b>PUBLIC/SEMI-PUBLIC</b>	
P	P		P	P	P											P	P			athletic facilities - public	
																	P	P		cemeteries	
R	R		R	R	R	R	R	R										P		churches	
							P	P										P		cultural facilities (art galleries, libraries, museums)	
R	R		R	R	R						P						R	P		golf and country clubs	
													P	P			P			water sewage treatment	
												C U P	C U P	C U P			C U P			telecommunications towers	
P	P		P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	treatment, power substations, neighborhood parks	
C U P	CUP		C U P	C U P	C U P	R	R	C U P	C U P	R	R	R	R	R	R	R	R	R	R	essential services structure	
														C U P						jail, detention center, and juvenile detention center	
																				<b>TRANSPORTATION</b>	
													P	P	P			P	P	major (terminals, hangers, switching yards, sidings, runways, heliports)	
																				minor (railroad, rights-of-way,	

P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	streets, transit shelters)
INDUSTRIAL																	
					P						P						monument work/sales
											P			P		P	military post
					R	R	R				P	P	P				manufacturing, light
											P	P					manufacturing, heavy
											P	P	P				light industrial activities not listed
											P	P					heavy industrial activities not listed
						R					P						recycling center
						P					P	P					wholesale distribution facility
						R	R	R			R	R	R				outdoor storage (merchandise/material)
C U P											C U P	C U P	C U P			C U P	mining of sand and gravel

**SECTION 2: AMENDMENT** “30-564 Uses With Restrictions” of the Grand Rapids Municipal Code is hereby *amended* as follows:

**Exhibit "B"**

AMENDMENT

30-564 Uses With Restrictions

The following restrictions apply in this article as indicated:

- (a) Accessory apartments (within the CBD zone): Shall be required to have one off-street parking stall per unit.
- (b) Administrative and support services (within the LB, SLB zone): Maximum size of structure 5,000 square feet GFA.
- (c) Automotive/RV repair (within CBD, GB, SGB, BP, SBP zone) provided:

- (1) No repair work shall take place outside of the principal structure; and
- (2) Any damaged or disassembled (partially or wholly) vehicle stored overnight shall be kept in an enclosure screening the vehicle and/or other materials from public view in such manner as described in section 30-594(h).
- (d) Bank, savings and loan, or loan agency (within the LB, SLB zone): Maximum size of structure 2,000 square feet GFA.
- (e) Bed and breakfast facilities (within R-2, SR-2 zones) provided:
  - (1) One off-street parking space is provided for each guestroom in addition to the minimum number required for residential and any other permitted uses.
  - (2) The facility shall be limited to providing service to four persons, excluding children under 12 accompanied by a parent; provided that service to up to ten persons may be allowed in an R-2 zone by conditional use permit.
  - (3) The facility shall not have more than two guestrooms; provided that up to five guestrooms may be allowed in an R-2 zone by conditional use permit.
  - (4) Signs identifying bed and breakfast facilities shall not exceed three square feet in area. This provision shall take precedence over any less restrictive sign regulations in this article.
- (f) Bed and breakfast facilities (within R-3, SR-3, R-4, SR-4 zone): Same restrictions as the R-2 zone, except that the facility may serve up to ten persons, but shall not have more than five guestrooms.
- (g) Brewery/distillery/winery use (within CBD, GB zone): Provided as follows:
  - (1) Ten thousand square feet or less gross floor area.
  - (2) Must be co-located with taproom/tasting room use.
- (h) Brewery/distillery/winery use (within BP zone). Provided as follows:
  - (1) Greater than 10,000 sq. ft. gross floor area.
- (i) Car, truck and equipment cleaning establishments (within GB, SGB zone): Subject to the special restrictions established for gasoline and fuel sales and service establishments. See subsection (25). In addition, the vehicle entrance door shall be no more than ten feet high.
- (j) Churches and similar places of worship provided as follows (within RR, SRR, R-1, SR-1, R-1a, SR-1a, R-2, SR-2, R-3, SR-3, R-4, SR-4, LB, SLB, GB, SGB, CBD zone):
  - (1) No principal building shall be located within 30 feet of any lot line of an abutting lot in an R district;
  - (2) The site shall be at least one-acre in size; and
  - (3) The use shall be subject to the site development standards defined in division 7, and for bufferyard purposes shall be treated as an R-3 property.
- (k) Clinic (within the PU, SPU zones): Must be accessory to a permitted principal use.
- (l) Clubs, lodges and membership organizations (within RR, LB, GB, SGB, CBD, MU, SMU, and AG zone):
  - (1) Within GB, SGB, CBD, MU and SMU, may not be located closer than 600 feet to any school.
  - (2) Within RR, LB and AG districts, no commercial (retail or service) uses shall be conducted as part of the organization's operations from the site.
- (m) Contractor's yard, material storage (within the GB, SGB, I-1, SI-1, I-2 and SI-2 zone):

All outdoor storage of equipment, except automobiles and trucks up to two-ton, and materials/supplies shall be screened from public view as per the requirements of section 30-594(h).

- (n) Construction material suppliers (within LB, SLB zone): Maximum size of structure shall be limited to 3,000 square feet gross floor area, and no more than 1,000 square feet GFA of retail sales space.
- (o) Customary home occupations are subject to all of the following conditions:
  - (1) Home occupations shall be conducted solely by persons residing in the residence.
  - (2) All business activity and storage shall take place within the interior of the residence and shall not take place in an accessory building or buildings.
  - (3) There shall be no alteration to the exterior of the residential dwelling, accessory building or yard that in any way alters the residential character of the premises.
  - (4) No sign, display, or device identifying the occupation shall be used.
  - (5) The occupation shall not be visible or audible from any property line.
  - (6) Such occupation shall not involve the retail sale or rental of products on the premises.
  - (7) No vehicle used in the conduct of the occupation shall be parked, stored or otherwise present at the premises other than such as is customarily used for domestic or household purposes such as a van or three-quarter-ton truck.
  - (8) Only on-site off-street parking facilities normal for a residential use shall be used.
  - (9) The use of substances that may be hazardous to the health, safety or welfare of neighbors and neighboring property shall not be used in the conduct of a home occupation.
- (p) Day care centers (within MU, SMU, M, SM, I-1, SI-1, I-2, SI-2 zone): Must be accessory to a permitted use and available only for employees of that permitted use.
- (q) Day care centers for 15 or more persons (within the RR, SRR, R-1, SR-1, R-1a, SR-1a, R-2, SR-2, R-3, SR-3, R-4, SR-4 zone): Licensed by the state within elementary, junior high and senior high schools and religious institutions.
- (r) Educational services institution (within the LB, SLB zone): Maximum size of structure 5,000 square feet GFA.
- (s) Emergency housing facility (within R-1, R-2, R-3, SR-3, R-4, SR-4, LB, SLB, GB, PU, SGB, CBD, MU, SMU, AG zone): Provided as follows:
  - (1) Facility shall provide detailed program information including goals, policies, site plan, building plan, staffing pattern, target capacity, security measures, and emergency management plan.
  - (2) The facility shall not be located in a two-family or multifamily dwelling unless it occupies the entire structure.
  - (3) The facility shall be limited to no more than 16 residents in residential zoning districts or 32 residents in nonresidential districts without a conditional use permit.
  - (4) Existing residential structures used for an emergency housing facility shall not be externally altered so that the original residential character of the structure is

- compromised unless approved by the city council.
- (5) No on-street parking shall be allowed. Adequate off-street parking shall be required by the city based on the staff and resident needs of the specific facility. Private driveways shall be of adequate width to accommodate effective vehicle circulation. Emergency vehicle access shall be available at all times.
  - (6) Landscaping and buffering shall be provided consistent with the requirements contained in section 30-594.
  - (7) Signage of the emergency housing facility shall be limited to the provisions of division 10 based on the zoning district in which it is located.
  - (8) Emergency housing within the R-1 and R-2 districts shall be as accessory uses to the principle use.
- (t) Equipment and/or tool rental (within the GB, SGB zone): All outdoor storage of equipment, except automobiles and trucks up to two ton, and materials/supplies shall be screened from public view as per the requirements of section 30-594(h).
- (u) Essential services (within all zones): Provided as follows:
- (1) Prior to the installation, the owner files with the city engineer/zoning administrator all maps, sketches or diagrams and other pertinent information as deemed necessary by the city engineer/zoning administrator for review of the proposed project.
  - (2) Radio transmitters and receivers accessory to an essential service may be located on existing utility poles or light standards within the public right-of-way provided the radio transmitters and receivers comply with the following standards:
    - a. Radio transmitters and receiver devices located on a utility pole/tower or light standard shall be at least 15 feet above grade.
    - b. Radio transmitters and receiver devices shall not exceed 18 inches in length or width or extend more than 18 inches from the pole.
    - c. Antennas may not extend more than 24 inches from the equipment.
    - d. A map shall be submitted showing the location of all proposed radio transmitters and receivers. The map shall be accompanied by a list of all sites referenced by the closest street address or property identification number. The list of sites must also describe the type of pole to be used.
    - e. The applicant shall notify the city of any changes to the approved list prior to erecting or placing any additional equipment in the right-of-way.
    - f. The applicant shall notify the city at the time of permit application of any obstruction that would cause traffic to be rerouted or stopped.
    - g. The applicant shall enter into an encroachment agreement with the city if required.
- (v) Essential service structures (LB/SLB, GB/SGB, M/SM, RC/SRC, BP/SBP, I-1/SI-1, I-2/SI-2, CD, PU/SPU, AG, AP): Provided they shall not be located within 30 feet of any lot line of an abutting residential district.
- (w) Farm animals (within AG, RR, SRR zone) provided:

- (1) All farm and permitted non-domestic animals must be so contained to prevent the animals from escaping onto neighboring properties or injuring the public.
- (2) Enclosed pens, corrals, feed lots, and structures used to house farm and permitted non-domestic animals shall be setback a minimum of 25 feet from the nearest lot line or the applicable accessory structure setback, whichever is greater (said setback shall not apply to open grazing or pasture areas).
- (x) Garage/yard sales (within RR, SRR, R-1, SR-1, SR-1a, R-2, SR-2, R-3, SR-3, R-4, SR-4, LB, SLB, AG)—Temporary: Provided as follows:
  - (1) The sale is not more than four successive days in duration.
  - (2) Not more than three such sales are conducted on the premises in a calendar year.
  - (3) There shall be at least one month between sales on the same premises.
- (y) Gasoline and fuel sales and service establishments including accessory car washes (within GB, SGB zone): Subject to all of the following:
  - (1) Minimum front yard of 30 feet.
  - (2) All operations shall be conducted within the principal building except for vacuuming and gas pumps.
  - (3) A curb six inches above grade shall be provided at any edge of a parking lot abutting a property line which adjoins a public street.
  - (4) The site shall be planned so as not to permit water from a car wash to run into a public street or accesses thereto. A drainage system shall be installed subject to the approval of the city engineer.
  - (5) Pump islands, canopies, and tank vents shall conform to yard requirements or a minimum of 20 feet from a street right-of-way whichever is greater.
- (z) Gasoline station (within CBD zone): No more than one carwash bay and/or two service bays shall be permitted as accessory uses.
- (aa) Golf and country clubs (within residential zones and PU, SPU zone): Other than golf driving ranges and miniature golf courses but including clubhouses provided the site shall be 40 or more acres in size and shall have a direct access to a major street as defined by the city comprehensive plan. Swimming pools, tennis courts, structures and parking shall be located a minimum of 50 feet from all residential property lines.
- (ab) Group homes, foster homes or licensed residential facilities for six or fewer persons (within residential zones, LB, SLB and AG zone): Must be licensed by the state for six or fewer persons.
- (ac) Grower stand (within AG, RR, and SRR zone) are subject to all of the following conditions:
  - a. A grower stand is allowed only if it is accessory to an on-site agricultural operation where farm products and value-added farm products are produced.
  - b. The total sales area of a grower stand shall not exceed 1,500 square feet.
  - c. A grower stand shall comply with the height and setback requirements that apply in the zone in which the property is located.
  - d. No more than 15% of the grower stands sales shall come from off-site agricultural products or value-added farm products.
  - e. Adequate on-site parking for consumers and employees shall be provided. If a grower stand consists of a structure, one off-street parking space shall be provided for each 300 square feet of structural floor area, with a minimum of two parking spaces.
  - f. One sign shall be



- permitted during the operation of the growers stand, with a maximum size of 16 square feet (four feet by four feet). Such sign may contain up to two sides, and shall not encroach on the public right-of-way.
- (ad) Health and fitness club (within LB, SLB zone): Maximum size of structure 3,000 square feet GFA.
  - (ae) Individual manufactured homes with a minimum dimension of less than 24 feet (within AG zone): Provided:
    - (1) They are occupied by members of the family or an employee.
    - (2) Not more than two such units are permitted on each farm.
  - (af) Manufactured housing as defined by Minn. Stat. § 327.31 and further subject to the following:
    - (1) Manufactured homes will conform to Minn. Stat. §§ 327.31—327.35 (the Manufactured Home Building Code, July 1972 to present) and shall bear the state inspectors seal.
    - (2) Manufactured home foundation installations shall comply with the state building codes.
  - (ag) Manufacturing, light (within LB, SLB zone): Subject to the following:
    - (1) Not to exceed a gross floor area of 1,000 square feet with at least one-third of such space to be used for retail sales and display purposes.
    - (2) No outdoor storage permitted.
    - (3) No hazardous materials used in the fabrication of materials.
  - (ah) Manufacturing, light (within GB, SGB, CBD zone): Subject to the following:
    - (1) Not to exceed a gross floor area of 6,000 square feet with at least one-third of such space to be used for retail sales and display purposes.
    - (2) No hazardous materials used in the fabrication of materials.
  - (ai) Multifamily residential (within CBD zone): Shall provide one off-street parking space per unit.
  - (aj) Office—Business (within LB, SLB zone): Maximum size of structure 5,000 square feet GFA.
  - (ak) Outdoor storage (within RR, R-1, SR-1, R-1a, SR-1a, R-2, SR-2 zone): Is accessory to the existing principal use of the property.
  - (al) Outdoor storage (within R-3 SR-3, R-4, SR-4, LB, SLB zone): Subject to the following:
    - (1) All outdoor storage is accessory to the existing principal use of the property, and shall be accommodated within a central storage area.
    - (2) Such outdoor storage area shall not be within a required yard.
    - (3) The storage area shall be screened from view from all public streets and R districts by a wall, fence and/or plant materials providing 90 percent capacity during all seasons of the year to a height above the ground of six feet, in such a manner as described in section 30-594(h).
  - (am) Outdoor storage—Merchandise/material (within GB, SGB, CBD, BP, SBP, I-1, SI-1, I-2, SI-2 zone) is accessory to the existing principal use of the property: Of those items not normally considered to be retail display items, shall be subject to the requirements of section 30-594(h). Such items may include, but shall not be limited to, construction materials, tires, packaged inventory, salvaged/discarded materials, damaged or

disassembled vehicles. This would not include such items as cars, trucks, recreational vehicles, lawn equipment, ornaments, etc., to the extent that the display items conform to the setback requirements for parking lots in the district.

- (an) Outdoor storage of land/sea containers (within all nonresidential zones, including MU and SMU): Shall be allowed on a temporary basis as an accessory use subject to the following:
- (1) A permit shall be obtained prior to the arrival and placement of one or more containers on the site. The permit shall be issued for a maximum of 24 consecutive months in industrial zones and 12 consecutive months in all other nonresidential zones. In unique situations when the lapse of permit and abrupt discontinuance of the land/sea container use will not have a harmful effect upon the principal use of the property, the planning commission may consider approval of a one-time permit term extension, the length of which will be determined by the planning commission, with a maximum extension of no greater than one-year in non-industrial permitted areas. The permit shall identify the number of containers to be placed on the site within the set time period. No permit shall be reissued until at least 18 months has elapsed in industrial zones and six months has elapsed in other nonresidential zones since the expiration of the previous container permit.
  - (2) Containers shall not be stacked and shall be placed on a level, stable surface allowing for adequate drainage at all times.
  - (3) Containers shall not be stored in the front yard of the property or in the required side or rear yard setback areas.
  - (4) All non-industrial properties obtaining more than two permits in three years shall screen any containers from the motoring public or residential neighborhoods immediately adjacent to the property where it is located through fencing, walls or landscaping.
  - (5) Containers shall not be placed on parking spaces required to meet the site's parking demand.
  - (6) Containers shall be placed to provide sufficient access to the container and any buildings on the site for fire fighting purposes.
  - (7) The recipient of the permit shall be the only party allowed to use the container.
  - (8) The containers shall be limited to a maximum square footage of container storage area not to exceed two percent of the gross area of the site on which the container is located. In no cases shall the footprint of all of the containers on a site exceed 3,200 square feet.
- (ao) Pharmacy (within the LB, SLB, MU, SMU zone): Must be accessory to a permitted principal use.
- (ap) Pharmacy (within the M and SM zones): May be accessory to a permitted principal use, or as a stand alone principal use, provided the following:
- (1) The lot, upon which a pharmacy, as a principal use, is to be located, shall not be adjacent to residentially zoned property.
  - (2) Type "C" bufferyard requirements shall be adhered to.
  - (3) No greater than five percent of the gross floor area of the structure shall be

utilized for the display and sale of merchandise which is not either medication or medical/health care supplies.

- (aq) Private noncommercial recreation (within residential zones and LB, SLB zone): Including tennis courts, hot tubs and swimming pools provided they are located no nearer the front lot line than the principal structure and are not less than ten feet from a property line. Swimming pools shall be completely enclosed with a six-foot high protective fence and a latching gate.
- (ar) Professional, scientific, and technical services (within the LB, SLB zone): Maximum size of structure 5,000 square feet GFA.
- (as) Recycling center (within GB, SGB zone): All outdoor storage of equipment, except automobiles and trucks up to two-ton, and materials/supplies shall be screened from public view as per the requirements of section 30-594(h).
- (at) Restaurant (within the M, SM zone): Must be accessory to a permitted principal use; no sale of alcoholic beverages.
- (au) Restaurant (within the RC, SRC zone): Must be accessory to a permitted principal use.
- (av) Retail—General sales and service (within the LB, SLB zone): Maximum size of structure shall be limited to 3,000 square feet gross floor area, and no more than 1,000 square feet GFA of retail sales space.
- (aw) Retail—General sales and service (within the AP zone): Shall be permitted to occupy up to 25 percent of the gross floor area in the main terminal building, and shall not have signs visible from the public street right-of-way.
- (ax) Salon/barbershop (within the LB, SLB zone): Maximum size of structure shall be limited to 3,000 square feet gross floor area.
- (ay) Salon/barbershop (within the R-3, SR-3, R-4, SR-4 zone): Must be accessory to a permitted principal use.
- (az) Satellite dishes and solar energy systems/collectors (within all zones): Provided they comply with the yard and height requirements for principal buildings. Where a rear yard abuts a lake or stream, satellite dishes and solar collectors shall not be permitted between the water body and the principal building.
- (ba) Schools—Elementary through secondary (within RR, SRR, R-1, SR-1, R-1a, SR-1a, R-2, SR-2, R-3, SR-3, R-4, SR-4 zone): Subject to the following:
  - (1) Small schools within existing buildings: Schools for 25 or fewer students shall be permitted within the existing principal church or religious building provided that:
    - a. Alterations: There shall be no external alteration of the building(s) or grounds to reflect school usage.
    - b. Parking: There shall be sufficient parking within the existing parking lot to accommodate off-street parking as required by section 30-628.
  - (2) Primary, middle or secondary schools:
    - a. Minimum site area: One-acre.
    - b. Minimum yards: 30 feet from all R district lot lines or the minimum for the district, whichever is greater.
    - c. All other requirements of the zoning district are met.
    - d. The use shall be subject to the site development standards in division

7, and for bufferyard purposes shall be treated as an R-3 property.

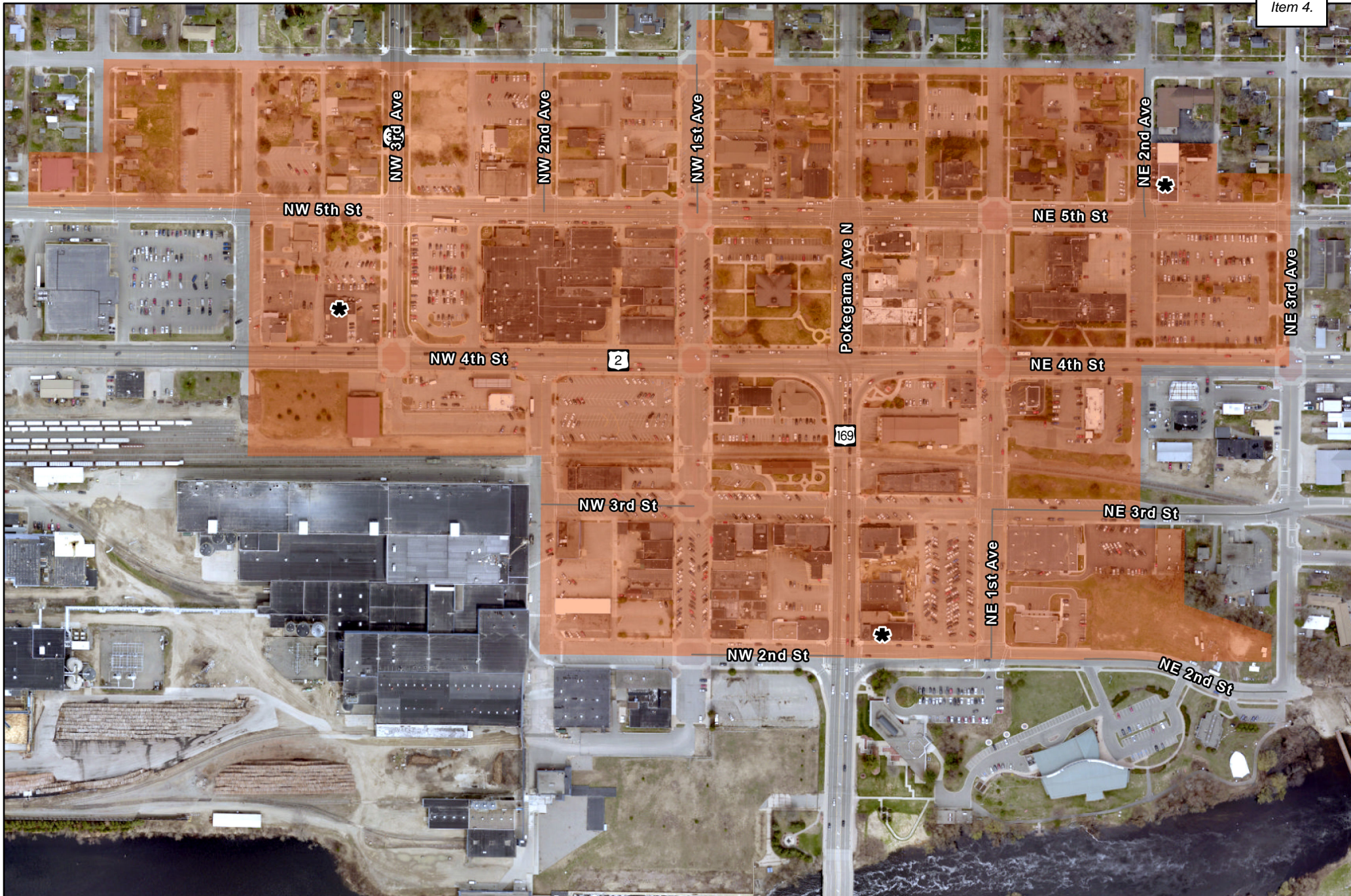
- (bb) Shooting ranges (within RC zone): Subject to the following:
- (1) All shooting ranges shall be subject to the standards set forth in Minn. Stat. ch. 87A, as may be amended.
  - (2) Shooting activities and discharge of firearms shall be limited to 7:00 a.m. to 10:00 p.m. daily.
  - (3) All shooting ranges shall comply with the minimum standards for range design, location, management, operation, noise abatement and safety listed in the National Rifle Association's Range Sourcebook, 1999; or successor sourcebook.
  - (4) No part of any shooting range may be located within 500 feet of any residential dwelling, commercial or industrial building or other structure used for human occupancy.
  - (5) There shall be no discharge of lead shot into any wetland.
- (bc) Senior housing with services (within RR, R-1 and R-2 zone): Subject to the following:
- (1) For six or fewer persons, said use shall be licensed by the State of Minnesota for six or fewer persons.
  - (2) For seven to eight persons, in situations when the area of the lot upon which the proposed use is to be located is equal to or less than two acres, the use will be considered as a conditional use, and, as such will require the issuance of a conditional use permit by the city.
  - (3) For nine to 16 persons, the maximum density of the proposed use shall not exceed four persons per acre.
- (bd) Temporary buildings (within all zones): Incidental to construction work on the premises. Such buildings shall be removed upon completion or abandonment of such work or within the period of one-year from the establishment of the building whichever is the lesser.
- (be) Temporary outdoor sales (within GB, SGB, CBD, MU, SMU, PU, SPU zone): Subject to all of the following:
- (1) The sale is conducted by the owner or lessee of the premises, or with his written permission.
  - (2) The sale is no longer than four months in duration.
  - (3) The setbacks for a parking lot in that district shall be met for the storage and display of all merchandise and equipment used for the sale.
  - (4) One sign shall be permitted per vendor, with a maximum size of 16 square feet (four feet by four feet). Such sign may contain up to two sides. Off-premises signs shall not be permitted.
  - (5) Parking demand shall be sufficiently met. If the use of parking spaces by the temporary outdoor sales results in insufficient parking for the area, the temporary outdoor sales area must be reduced to ensure sufficient parking supply.
- (bf) Vending machines (within LB, SLB, GB, SGB, CBD, MU, SMU, M, SM, SRC, I-1, SI-1, I-2, SI-2, PU, SPU, AP zone): Subject to the following:
- (1) Must be accessory to a permitted principal use.

- (2) Must conform to setback requirements of principal structure.
- (3) Must be located adjacent to principal structure.
- (bg) Veterinary services (within CBD zone): Limited to domestic animals only.
- (bh) Veterinary services (within BP, SBP zone): All animals shall be housed indoors.
- (bi) Video arcades (within GB, SGB, and CBD zone): Subject to the following:
  - (1) Any arcade with 15 or more machines shall have an adult supervisor on the premises during all hours of operation.
  - (2) No arcade shall be operated within 500 feet of a school, church or residence.
- (bj) Warehouse—General (within PU, SPU zone): Limited to the indoor storage of private recreational vehicles. Warehouse space shall not be leased, rented or sold for commercial purposes or uses.
- (bk) Woodpiles: Are maintained in a neat, safe and orderly fashion and further provided that they are not stored in the front yard or nearer the front lot line than the principal building, or less than five feet from any other lot line.

(Code 1978, § 23.5(H); Ord. No. 06-03-02, 3-27-2006; Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007; Ord. No. 12-06-07, Exh. E, 6-11-2012; Ord. No. 12-12-11, Exh. C, 12-17-2012; Ord. No. 13-10-12, 10-28-2013; Ord. No. 16-05-05, Exhs. B, D, 5-23-2016; Ord. No. 17-04-02, 4-24-2017)

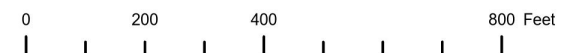
# Grand Rapids Central Business District

Item 4.



- Central Business

\* - Businesses that are classified as Auto repair / service use within the CBD



PLANNING COMMISSION

Considerations

**ZONING ORDINANCE AMENDMENT**

1. Will the change affect the character of neighborhoods?

Why/Why not?

2. Would the change foster economic growth in the community?

Why/Why not?

3. Would the proposed change be in keeping with the spirit and intent of the ordinance?

Why/Why not?

4. Would the change be in the best interest of the general public?

Why/Why not?

5. Would the change be consistent with the Comprehensive Plan?

Why/Why not?



**Petition for Text Amendment to the Zoning Ordinance**

Community Development Department  
420 North Pokegama Ave.  
Grand Rapids, MN 55744  
Tel. (218) 326-7601 Fax (218) 326-7621  
Web Site: www.cityofgrandrapidsmn.com

The undersigned do hereby respectfully request the following be granted by support of the following facts herein shown:

Keith Still

Name of Applicant

91-415-3330

Tax Parcel #\*\*1

403 NW 3<sup>rd</sup> AVE

Address

Grand Rapids MN 56744

City

State

Zip

218-326-9855

Business Telephone/E-Mail Address

Keith@jacksautoserviceGR.com

*\*1 City Code Section 30-454(a) requires a request to amend the text of the City Zoning Ordinance be made by a person, firm or corporation owning real estate in the city. Please provide the tax parcel number of property in your ownership as verification.*

I(we) certify that, to the best of my(our) knowledge, information, and belief, all of the information presented in this application is accurate and complete and includes all required information and submittals.

Keith Still  
Signature(s) of Applicant(s)

10/6/21  
Date

**Office Use Only**

Date Received 10/6/21 Certified Complete 10/6/2021 Fee Paid \$505<sup>00</sup>

Planning Commission Recommendation: Approved \_\_\_\_\_ Denied \_\_\_\_\_

Meeting Date 10/18/21

City Council Action: Approved \_\_\_\_\_ Denied \_\_\_\_\_

Meeting Date 10/25/21



**Required Submittals:**

Application Fee - \$505.00 \*2

\*2The application fees charged are used for postage to mail the required notices to adjacent properties, publication of the public hearing notice in the Grand Rapids Herald Review, and for a small portion of staff time for case review and preparation of documents. It is the policy of the City of Grand Rapids to require applicants for land use approvals to reimburse the City for costs incurred by the City in reviewing and acting upon applications, so that these costs are not borne by the taxpayers of the City.

**Explanation of Request:**

A. Please List the Section(s) of Article VI, Chapter 30 of the City Code (Zoning Ordinance) for which amendment is requested: Section 30-51a Table-1 Table of Permitted Uses

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B. Please provide a written statement that explains the request: We have outgrown our current facility. I would like to add on two more work spaces and add storage for inventory and equipment. By doing so, we will be able to reduce the total number of buildings on the property.

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C. Any additional information that the Petitioner would like to supply: We have been in this location for 34 years and have always focused on maintaining a well kept facility by making improvements so as not to be a negative distraction to the neighborhood.

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**Justification of Proposed Text Amendment:** Please answer all of the following questions (attach additional pages if needed). The Planning Commission will consider these questions and responses, and other issues (see attached list) in making their findings of fact and recommendation on the proposed rezoning.

A. How does the proposed Text Amendment conform to the City's Comprehensive Plan? I believe the plan is in place to safeguard the functionality and beautification of the city. I think moving ahead with this project will improve beautification without infringing on the goals of the city's plan.

B. How does the proposed Text Amendment(s) preserve the spirit and intent of the Zoning Ordinance? Zoning ordinances need to be reviewed and updated over time. The needs of the property owners and the community change with progress and growth. Modifications are sometimes needed to meet these demands.

C. What effect will the proposed Text Amendments have on the growth and development of existing neighborhoods, other lands in the proposed district, commercial and industrial neighborhoods? By expanding we will be able to create 3 new full-time jobs. The expansion will help us meet the needs of our growing community of both residential and commercial customers.

**Additional Instructions:**

Prior to submitting your Petition, you will need to arrange for one or more preliminary meetings with the Director of Community Development. This meeting is intended to ensure that the proposed application is complete, to answer any questions the applicant may have, discuss meeting schedules and, if applicable, the scope of the required submittals.

**Findings for Approval:**

The Planning Commission, in formulating its recommendation, and the City Council, in support of its action will make findings of fact based on their responses to the following list of considerations:

- Will the change affect the character of the neighborhoods?
- Would the change foster economic growth in the community?
- Would the proposed change be in keeping with the spirit and intent of the ordinance?
- Would the change be in the best interest of the general public?
- Would the change be consistent with the Comprehensive Plan?

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

More information may be requested by the City of Grand Rapids Planning Commission or City Council, if deemed necessary to properly evaluate your request. The lack of information requested may be in itself sufficient cause to deny an application. Completed applications required to be submitted to the Grand Rapids Community Development Department by the 15th of the month.