



## PLANNING COMMISSION MEETING AGENDA

Thursday, February 05, 2026

4:00 PM

CALL TO ORDER: Pursuant to due notice and call thereof a Regular Meeting of the Grand Rapids Planning Commission will be held on Thursday, February 5, 2026 at 4:00 PM in City Hall Council Chambers, 420 North Pokegama Avenue, Grand Rapids, Minnesota.

CALL OF ROLL:

APPROVAL OF MINUTES:

1. Consider approval of minutes from the December 4, 2025 regular meeting.

PUBLIC HEARINGS:

2. Conduct a public hearing to consider a recommendation to the City Council regarding a request for an amendment to the approved Conditional Use Permit granted to Target Corporation.

GENERAL BUSINESS:

3. Consider a recommendation to the City Council to vacate an alley right-of-way within Block 26, Grand Rapids Second Division.

PUBLIC INPUT:

*Individuals may address the Planning Commission about any non-public hearing item or any item not included on the Regular Meeting Agenda. Speakers are requested to come to the podium, state their name and address for the record and limit their remarks to three (3) minutes.*

MISCELLANEOUS:

REPORTS/ANNOUNCEMENTS/UPDATES:

ADJOURNMENT:

NEXT REGULAR MEETING IS SCHEDULED FOR MARCH 5, 2026 AT 4:00 PM.

Hearing Assistance Available: This facility is equipped with a ready assistance system.

ATTEST: Aurimy Groom, Administrative Assistant



## PLANNING COMMISSION MEETING MINUTES

**Thursday, December 04, 2025**  
**4:00 PM**

**CALL TO ORDER:** Pursuant to due notice and call thereof a Regular Meeting of the Grand Rapids Planning Commission will be held on Thursday, December 4, 2025 at 4:00 PM in City Hall Council Chambers, 420 North Pokegama Avenue, Grand Rapids, Minnesota.

**CALL OF ROLL:**

**APPROVAL OF MINUTES:**

1. Consider approval of minutes from the November 6, 2025 regular meeting.

Motion by Commissioner Johnson, second by Commissioner Goggin to approve the minutes from the November 6, 2025 regular meeting. The following voted in favor thereof: Kreitzer, Lamppa, Bignall, Goggin, Marquardt, Johnson. Opposed: None, motion passed unanimously.

**GENERAL BUSINESS:**

2. Consider a recommendation to the City Council for approval of the final plat of Crystal Lake Estates Second Addition. (Copies of the final plat will be available at the 12/4 Planning Commission meeting.)

Motion by Commissioner Lamppa, second by Commissioner Goggin that the Planning Commissioner does hereby forward to the City Council a recommendation to approve the final plat of Crystal Lake Estates Second Addition. The following voted in favor thereof: Johnson, Marquardt, Goggin, Bignall, Lamppa, Kreitzer. Opposed: None, motion passed unanimously.

**PUBLIC INPUT:**

*Individuals may address the Planning Commission about any non-public hearing item or any item not included on the Regular Meeting Agenda. Speakers are requested to come to the podium, state their name and address for the record and limit their remarks to three (3) minutes.*

**MISCELLANEOUS:**

3. Acknowledge Pat Goggin's final Planning Commission meeting.

Chair Bignall thanked Commissioner Goggin for his years of service on the Planning Commission.

**REPORTS/ANNOUNCEMENTS/UPDATES:**

4. Planning Commission call for applications.

**ADJOURNMENT:**

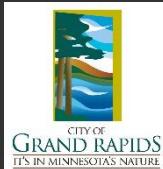
There being no further business the meeting adjourned at 4:06 p.m.

**NEXT REGULAR MEETING IS SCHEDULED FOR FEBRUARY 5, 2026 AT 4:00 PM.**

**Hearing Assistance Available:** This facility is equipped with a ready assistance system.

**ATTEST:**

Aurimy Groom, Administrative Assistant




# Planning Commission

## Staff Report

CUP Amendment	Community Development Department	Date: 2-5-2026
<b>Statement of Issue:</b>	<p>Conduct a public hearing to consider a recommendation to the City Council regarding a request for an amendment to the approved Conditional Use Permit granted to Target Corporation for the store located on Lot 1, Block 1, Mood Addition to Grand Rapids in October 2006.</p>	
<b>Background:</b>	<p><b>Introduction</b>        City Code establishes General Sales and Service (with building size greater than 70,000 sq. ft.) as a conditional use in General Business zoning subject to building and site design standards.</p> <p><b>History of CUPs for 'Big Box' stores</b>        The City amended its Zoning Ordinance in 2005 establishing the General Sales and Service (building footprint over 70,000 sq. ft.) use, as a conditional use, in GB (General Business) zoning districts, and further established building and site design standards intent upon influencing the development of these uses in a manner that creates a smaller scale, feel and relationship to the small-town atmosphere of Grand Rapids.</p> <p><b>Target CUP</b>        On October 10, 2006, the City Council adopted Resolution #06-105 approving a conditional use permit (CUP) to Target Corporation for an expansion to an existing store, site modifications, and exterior remodeling, with certain conditions, as provided for under Division 14 of the City Zoning Code (Large Scale Commercial Development Standards).</p> <p><b>Current Amendment Request</b>        On December 30, 2025, RSP Architecture, on behalf of Target Corporation, requested the Planning Commission's recommendation for approval of an amendment to a Conditional Use Permit.</p> <p>The requested amendment would allow for the updating of the building's current exterior paint colors to the current Target brand standard with red accent, updating of existing building signage, and minor improvements necessary to comply with ADA requirements.</p> <p><b>Planning Commission Public Hearing</b>        With the establishment of the CUP process set forth in the Municipal Code, the review and approval of new projects, as well as modifications/amendments to approved facilities, is no longer administered by staff, but is issued through a Conditional Use Permit approved by the City Council, with recommendations received from the Planning Commission.</p>	

	<p>When reviewing a Conditional Use Permit application and considering their recommendation to the City Council, the Planning Commission should make specific findings based upon their standard list of considerations, which are found in Section 30-531e of the City Code. The Planning Condition must also consider the degree to which the proposed project meets the criteria and objectives established within the Large-Scale Commercial Design Standards, Division 14, of the City Zoning Code, and if certain conditions or restrictions should be recommended to the City Council to ensure that the project meets those objectives and criteria.</p> <p>Special attention should be given to that portion of Division 14 which addresses <i>building materials and colors</i>, to be sure the spirit and intent of the ordinance is maintained with the proposed changes: (<i>attachment - Division 14</i>)</p> <ul style="list-style-type: none"> <li>• Section 30-903(1)b. <i>Materials and colors</i></li> </ul> <p><b>Staff Review</b></p> <p>Staff has reviewed the application and the associated changes to the approved development plans and recommends:</p> <ul style="list-style-type: none"> <li>• That all previously imposed conditions under City Council Resolution No. 06-105 remain in effect.</li> </ul>
<p><b>Considerations:</b></p>	<p>When reviewing a request for a Conditional Use Permit, the Planning Commission must make findings based on the attached list of considerations. Section 30-531(e):</p> <ul style="list-style-type: none"> <li>• Will not be detrimental to the public health, safety, morals, or general welfare;</li> <li>• Will not cause undue traffic congestion or hazards and will not result in a parking shortage;</li> <li>• Will not be injurious to the use and enjoyment or result in a decrease in value of other property in the area;</li> <li>• Will not impede the orderly development of other property in the area;</li> <li>• Will not impose an excessive burden on parks and other public facilities and utilities;</li> <li>• Is consistent with the Comprehensive Plan.</li> </ul> <p>The Planning Commission must also consider the proposals compliance with the criteria and objectives established within the Large-Scale Commercial Design Standards, Division 14, of the City Code.</p>
<p><b>Recommendation:</b></p>	<p>Staff recommends that the Planning Commissioners visit the site and look at the situation.</p> <p>Prior to making a motion to recommend approval or denial, the application,</p>

	the Planning Commission should make specific findings to support its recommendation and reference those specific findings in their motion to either approve or deny the Conditional Use Permit.
<b>Required Action:</b>	<p>Approve a motion to either recommend: approval, approval with additional conditions, or deny the applied for Conditional Use Permit.</p> <p><u>Example Motion:</u></p> <p>Motion by _____, second by _____ that, based on the findings of fact presented here today, and in the public's best interest, the Planning Commission does hereby recommend that the City Council <b>(grant)(deny)</b> the following amendment to the Conditional Use Permit, approved under City Resolution No. 06-105, to Target Corporation, for the property legally described as: <i>Lot 1, Block 1, Mood Addition of Grand Rapids, Itasca County, Minnesota</i>:</p> <ul style="list-style-type: none"> <li>Allow for the updating of the building's current exterior paint colors to the current Target brand standard with red accent, updating of existing building signage, and minor improvements necessary to comply with ADA requirements as described in the CUP application.</li> </ul> <p>and that the following conditions shall apply:</p> <ul style="list-style-type: none"> <li>That all previously imposed conditions under City Council Resolution No. 06-105 remains in effect.</li> </ul> <p><i>(If the Planning Commission wishes to place additional conditions upon their approval, the following should be added to the motion:)</i></p> <ul style="list-style-type: none"> <li>_____</li> </ul>
<b>Attachments:</b>	<ul style="list-style-type: none"> <li>Site Map</li> <li>City Resolution #06-105 (Target CUP)</li> <li>Application for CUP Amendment with supporting materials</li> <li>List of the Planning Commissions CUP Considerations</li> <li>Section 30-531 (CUP's) and Division 14 of City Zoning Code</li> <li>Staff presentation</li> </ul>




**Conditional Use Permit Application**

Community Development Department  
 420 North Pokegama Ave.  
 Grand Rapids, MN 55744  
 Tel. (218) 326-7601 Fax (218) 326-7621  
 Web Site: [www.cityofgrandrapidsmn.com](http://www.cityofgrandrapidsmn.com)

**Community Development  
 Office Use Only**

Date Received \_\_\_\_\_

Certified Complete \_\_\_\_\_

Fee Paid \_\_\_\_\_

The undersigned do hereby respectfully request the following be granted by support of the following facts herein shown:

RSP ARCHITECTS - FLORA MAZREKU

TARGET CORPORATION

Name of Applicant  
 1220 MARSHALL ST NE

Name of Owner  
 1000 NICOLLET MALL

Address  
 MINNEAPOLIS, MN 55413

Address  
 MINNEAPOLIS, MN 55403

City State Zip

City State Zip

612-67707287; [FLORA.MAZREKU@RSPARCH.COM](mailto:FLORA.MAZREKU@RSPARCH.COM)

Business Telephone/e-mail address

612-581-2108; [DENICE.LANGLAND@TARGET.COM](mailto:DENICE.LANGLAND@TARGET.COM)

Business Telephone/e-mail address

**Parcel Information:**

Tax Parcel # 91-623-0110

Existing Zoning: GB

Existing Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Property Size: 10.8

Property Address / Legal Description: 2140 SOUTH POKEGAMA AVENUE, GRAND RAPIDS, MN 55744  
 (attach additional sheet if necessary)

**Permit Type:**

The following type of Conditional Use Permit is, hereby, requested:

<input type="checkbox"/> Mobile Home Parks	<input type="checkbox"/> Primary, Secondary, and Post High schools in R districts
<input type="checkbox"/> Mining of Sand and Gravel (> 2year)	<input type="checkbox"/> Junk and Salvage Operations
<input type="checkbox"/> Heavy Mining	<input type="checkbox"/> Land Reclamation
<input type="checkbox"/> Interim Use of Buildings	<input checked="" type="checkbox"/> CUP Amendment
<input type="checkbox"/> Group and Foster Homes (7-8 residents in R-1 and R-2)	
<input type="checkbox"/> Bed and Breakfast Accommodations (up to 5 guest rooms/10 persons in R2)	
<input type="checkbox"/> Essential Service Structure (within any residential zone or CBD)	
<input type="checkbox"/> General Sales and Service (greater than 70,000 sq. ft. building footprint)	
<input type="checkbox"/> Telecommunication Towers and Facilities	

I (we) certify that, to the best of my (our) knowledge, information, and belief, all of the information presented in this application is accurate and complete and includes all required information and submittals, and that I consent to entry upon the subject property by public officers, employees, and agents of the City of Grand Rapids wishing to view the site for purposes of processing, evaluating, and deciding upon this application.

Signature(s) of Applicant(s)

12/15/2025

Date

Signature(s) of Owner(s)-(If other than applicant)

12/15/2025

Date

**Required Submittals: 1 Set (electronic copies required):**

Application Fee - \$505.00       Site Plan (*as per 30-531b1*)       Drainage Plan (*as per 30-531b2*)  
 Landscape Plan (*as per 30-531b3*)       Building Plans (*as per 30-531b4*)  
 Written description of proposed use (*as per 30-531b5*)

**Additional Required Submittals, if applicable:**

If the proposed use is classified as General Sales and Service (greater than 70,000 sq. ft. building footprint), and is, thus, regulated by Division 14, Article IV, Chapter 30 of the Grand Rapids City Code, the following additional submittals are required:

Application Fee – Total Actual Cost Incurred by the City (\$3,500.00 deposit required via escrow agreement)  
 Traffic Study (*as per 30-902c4*)  
 Written explanation of how the proposed development adheres to the individual elements of the Site Design Standards in 30-902, and the Building Design Standards in 30-903.  
 The Landscaping Plan required under 30-531b3 shall include sufficient detail to demonstrate the proposed developments compliance with 30-902e.  
 The Site Plan required under 30-531b4 shall include sufficient detail to demonstrate the proposed developments compliance with sections: 30-902a, 30-902b, 30-902c, 30-902d, 30-902f, 30-902g, 30-902h, and 30-902i.  
 The Building Plans required under 30-531b4 shall include sufficient detail to demonstrate the proposed developments compliance with sections 30-903a through 30-903h.  
 Adaptability for Reuse Plan (*as per 30-904a1*)  
 Environmental Assessment Worksheet, if applicable, (*as per 30-904b*) and RGU Notice of Decision – Negative Declaration, or, if the RGU Notice of Decision on the EAW is a Positive Declaration, a copy of the Environmental Impact Statement and RGU Notice of Adequacy.

**Findings for Approval:**

In accordance with Section 30-531e of the Grand Rapids City Code, the City Council shall not approve a Conditional Use Permit unless it shall find that the establishment, maintenance and operation of the use:

- Will not be detrimental to the public health, safety, morals and general welfare;
- Will not cause undue traffic congestion, or hazards and will not result in a parking shortage;
- Will not be injurious to the use and enjoyment or result in a decrease in value of other property in the area;
- Will not impede the orderly development of other property in the area;
- Will not impose an excessive burden on parks and other public facilities and utilities;
- Is consistent with the Comprehensive Plan.

In addition to the general requirements for all Conditional Use Permit listed above, the City Council will also consider the requirements specific to each designated conditional use as contained within the Grand Rapids City Code.

The attached Section 30-531 of the Grand Rapids City Code provides additional detail with respect to Conditional Use Permit process.

**Additional Instructions:**

Prior to submitting your Conditional Use Permit Application, you will need to arrange for one or more preliminary meetings with the Director of Community Development. This meeting is intended to ensure that the proposed application is complete, to answer any questions the applicant may have, discuss meeting schedules and, if applicable, the scope of the required submittals.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Complete applications shall be submitted to the Community Development Department one month prior to the Planning Commission's review of the CUP. More information may be requested by the City of Grand Rapids Planning Commission or City Council, if deemed necessary to properly evaluate your request. The lack of information requested may be in itself sufficient cause to deny an application.



RSP Architects, Ltd.  
1220 Marshall Street NE | Minneapolis, MN 55413  
612.677.7100 main | [www.rsparch.com](http://www.rsparch.com)

16 December 2025

Will Richter  
City of Grand Rapids – Planning Department  
420 North Pokegama Avenue  
Grand Rapids, MN 55744

RE: Conditional Use Permit (CUP) – Scope of Work Summary  
Grand Rapids, MN Target T-0904  
2140 South Pokegama Avenue  
Grand Rapids, MN 55744  
RSP Project No.: 9125.016.00

---

Dear Mr. Richter

This letter is intended to summarize the scope of work associated with the proposed project for the purpose of applying for a Conditional Use Permit (CUP).

The proposed work includes limited exterior building and site improvements. The exterior elevations will receive new paint to match the existing color scheme, with the exception of a portion near of the front elevation, where the area will be painted Red (Color C-1).

Existing bullseye signage on the front, rear, and side elevations will be replaced with new bullseye signs. In addition, new OPU signage and a Drive-Up sign will be installed. The existing CVS sign will be relocated to a new position between Grid Lines 7 and 8.

Site work is limited to minor improvements necessary to comply with applicable accessibility requirements. No changes are proposed to the overall site layout, and the number of existing parking stalls will remain unchanged.

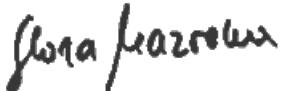
City of Grand Rapids  
T-0904 Grand Rapids, MN

RSP Architects, Ltd.

No additional building expansion, change of use, or increase in occupancy is proposed as part of this scope.

Please let us know if any additional information is required to support the CUP review.

Sincerely,



Flora Mazreku  
Project Representative



Kyle F. Tornow, AIA  
Architect of Record

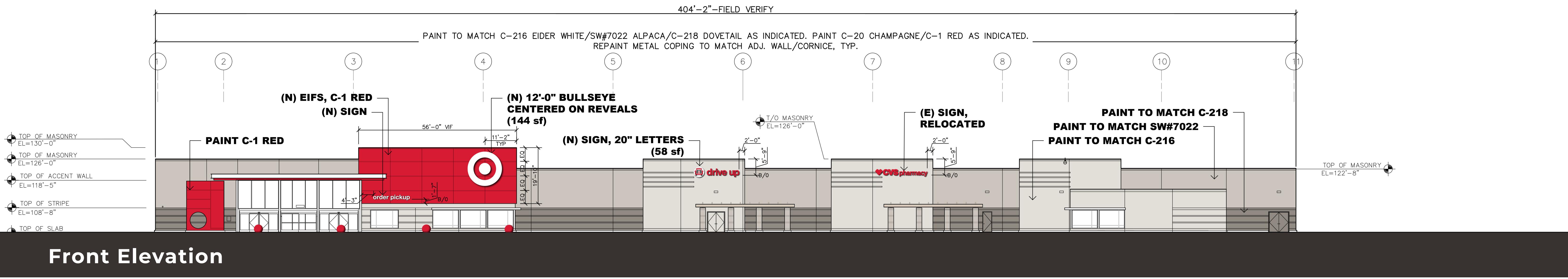
END OF LETTER

FM:am

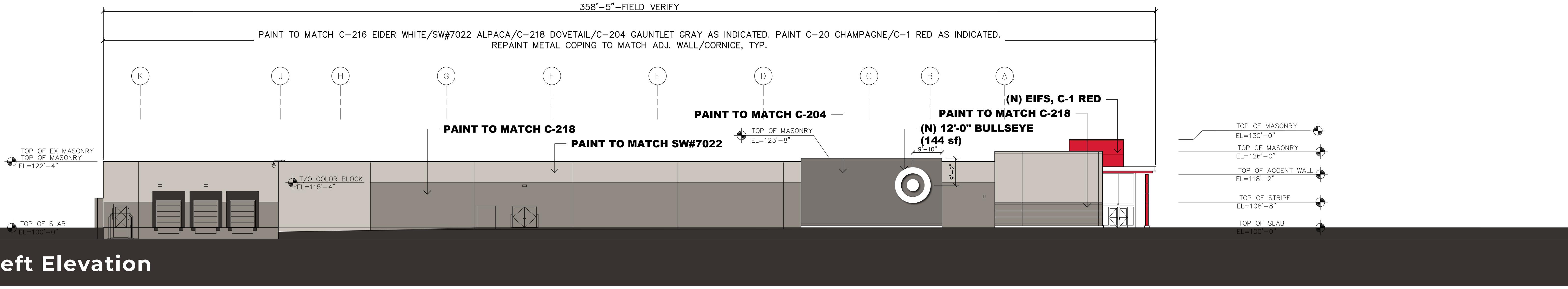
P:\Target\0904 MN Grand Rapids 912501600\03 Code-Reg\01 Codes-Zoning\T0904 CUP PLANNING 2025 12 16.docx

## COLOR KEY:

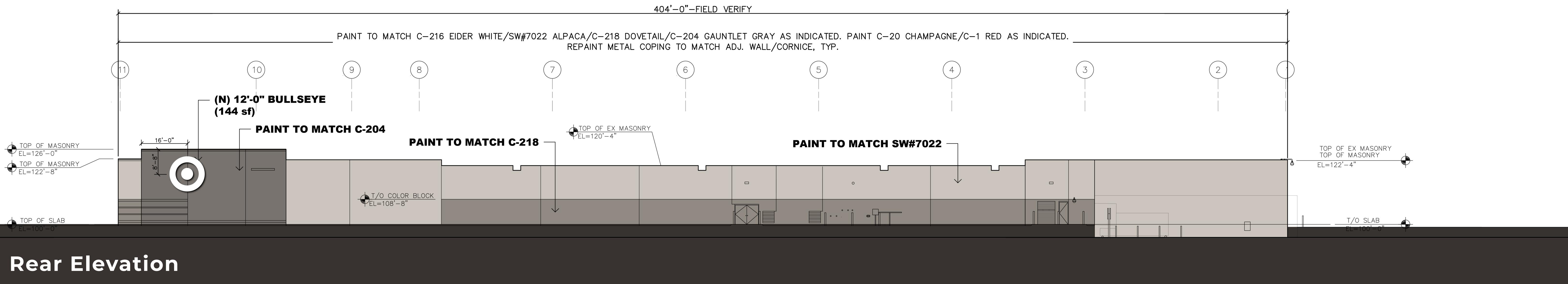
	C-216 (SW#7014) EIDER WHITE
	(SW#7022) ALPACA
	C-218 (SW#7018) DOVETAIL GRAY
	C-204 (SW#7019) GAUNTLET GRAY
	C-1 RED
	C-20 CHAMPAGNE
	REPAINT (E) SOFFIT C-1 RED



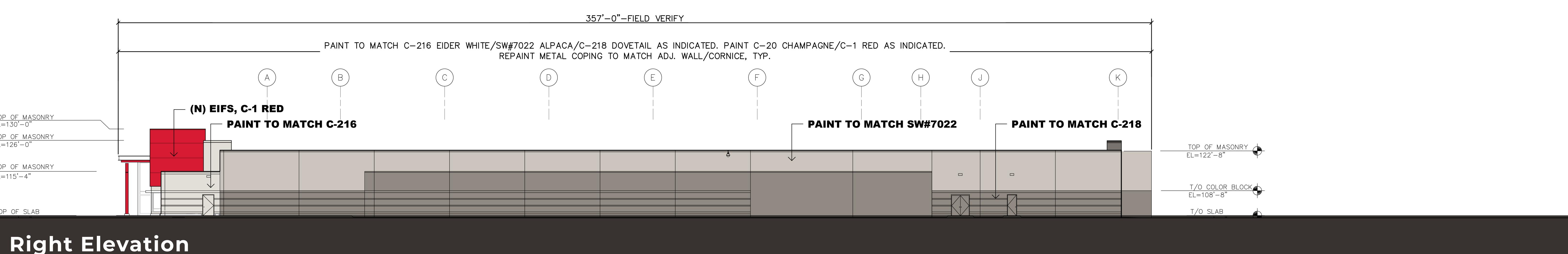
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

## NOTE:

\*EXISTING FINISHES SHOWN FOR REFERENCE.

\* EXISTING PREFINISHED METAL AREAS-NO PAINT; PAINT HM DOOR AND FRAME TO MATCH ADJ. WALL, TYP.

\*STORE EXTERIOR WALLS ARE PRIMARILY CMU.

\*EXISTING SPHERICAL BOLLARDS REPAINT C-1 RED U.N.O.

\*BEN-2: MODERN, COLOR.....SILVER

## GENERAL NOTE

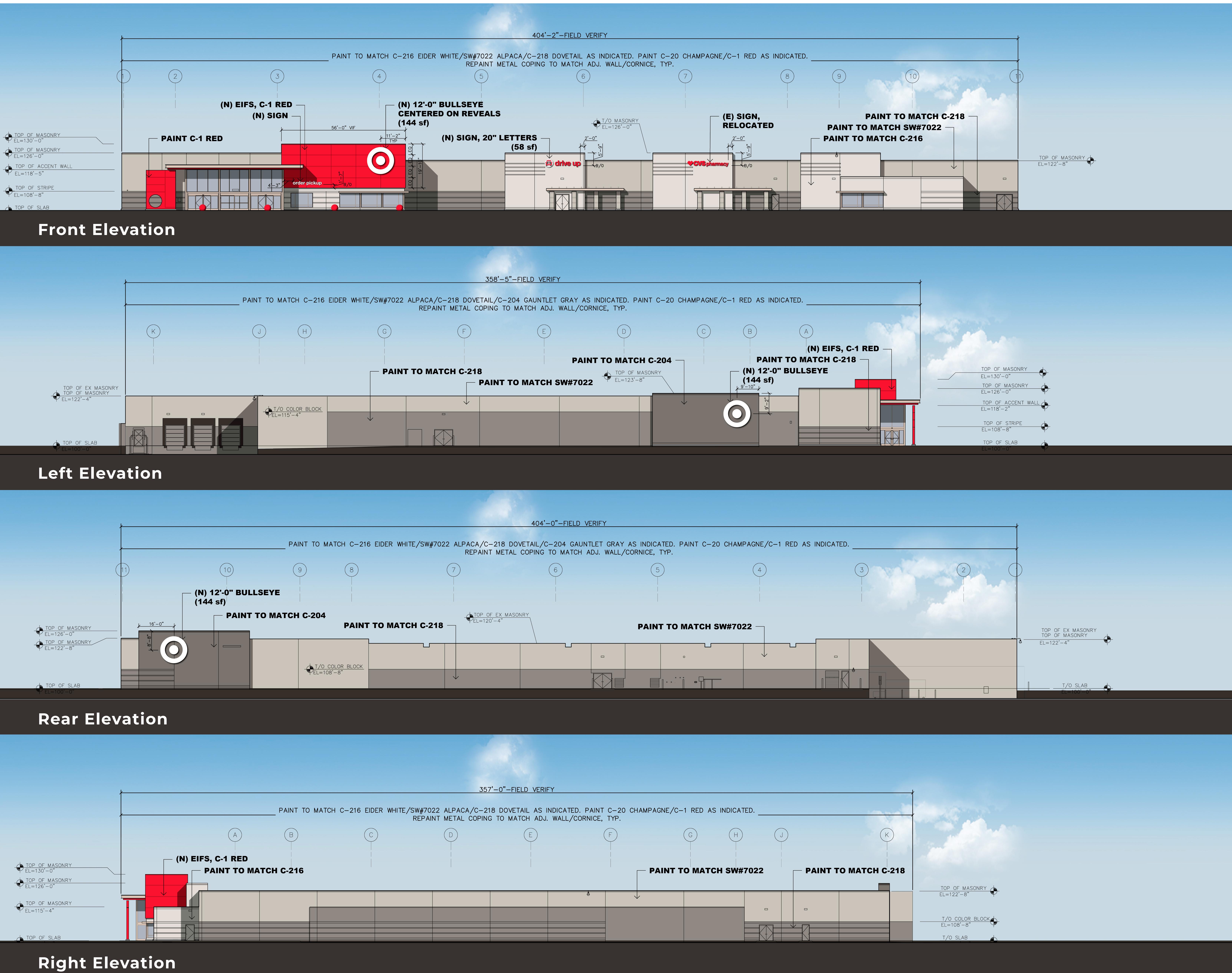
\* AREA TO BE PAINTED STARTS AT TOP OF CURB OR REVEAL AND CONTINUES TO TOP OF PARAPET/FLASHING OR REVEAL. PAINT COLOR AND FINISH TRANSITIONS OCCUR AT EXISTING VERTICAL CONTROL JOINTS OR AT INSIDE BUILDING CORNERS, U.N.O.

\* ALL EXISTING WALL-MOUNTED ITEMS TO BE PAINTED TO MATCH ADJ. WALL SURFACE, U.N.O.

\* PATCH ALL VISIBLE HOLES FROM MOUNTING OF REMOVED SIGNS WITH LIKE MATERIALS. RESTORE WALL SURFACE TO 'LIKE NEW' APPEARANCE.



RSP Architects Ltd.



#### COLOR KEY:

<span style="background-color: #c2c2c2; display: inline-block; width: 15px; height: 15px;"></span>	C-216 (SW#7014) EIDER WHITE
<span style="background-color: #d9d9d9; display: inline-block; width: 15px; height: 15px;"></span>	(SW#7022) ALPACA
<span style="background-color: #666666; display: inline-block; width: 15px; height: 15px;"></span>	C-218 (SW#7018) DOVETAIL GRAY
<span style="background-color: #444444; display: inline-block; width: 15px; height: 15px;"></span>	C-204 (SW#7019) GAUNTLET GRAY
<span style="background-color: #ff0000; display: inline-block; width: 15px; height: 15px;"></span>	C-1 RED
<span style="background-color: #c8c8a1; display: inline-block; width: 15px; height: 15px;"></span>	C-20 CHAMPAGNE
<span style="background-color: #808080; display: inline-block; width: 15px; height: 15px;"></span>	REPAINT (E) SOFFIT C-1 RED


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- \* AREA TO BE PAINTED STARTS AT TOP OF CURB OR REVEAL AND CONTINUES TO TOP OF PARAPET/FLASHING OR REVEAL. PAINT COLOR AND FINISH TRANSITIONS OCCUR AT EXISTING VERTICAL CONTROL JOINTS OR AT INSIDE BUILDING CORNERS, U.N.O.
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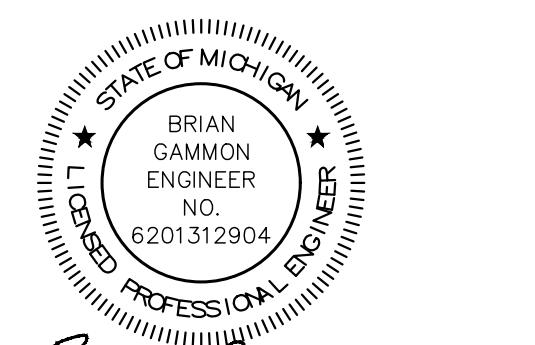




**Kimley»Horn**

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11995 SINGLETREE LANE, SUITE 225  
MINNEAPOLIS, MN 55442-5144  
PHONE: (612) 315-1272  
WWW.KIMLEY-HORN.COM

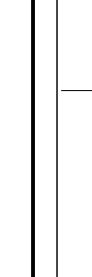
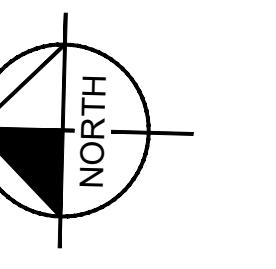
Date No. Description  
08/22/25 COMPLETE CONSTRUCTION SET



Brian Gammon  
DATE: 8/20/2025

**© TARGET**  
GRAND RAPIDS, MN  
2140 S POKEGAMA AVE  
GRAND RAPIDS, MN 55744-5124


PROJECT NUMBER T-0904  
DATE: 8/20/2025  
DRAWN BY: DL  
CHECKED BY: BPG



OVERALL SITE PLAN

C100

GRAPHIC SCALE IN FEET  
0 15 30 60  
SCALE: 1" = 30' WHEN PRINTED AT  
FULL SIZE (36" X 48")  
Know what's below.  
Call 811 before you dig.



## LEGEND

- FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- MILL EXISTING ASPHALT PAVEMENT WHERE SHOWN.
- SAWCUT.
- INLET PROTECTION.

## DISTURBED AREA

2,655 s.f. 1,525 s.f.  
FILL DEPTH ASPHALT REMOVAL AND REPLACEMENT  
FILL DEPTH ASPHALT REPLACEMENT

## ABBREVIATIONS

TYP - TYPICAL

## DEMOLITION NOTES

- 1. MILL EXISTING ASPHALT PAVEMENT, 2" AT EDGES AND ROUGHEN ON CENTER.
- 2. PROTECT IN PLACE EXISTING CONCRETE CURB/CURB AND GUTTER.
- 3. PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.
- 4. PROTECT IN PLACE EXISTING ACCESSIBILITY POST/BOLLARD.
- 5. PROTECT IN PLACE EXISTING LANDSCAPING.
- 6. PROTECT IN PLACE EXISTING TREE.
- 7. PROTECT IN PLACE EXISTING LIGHT POLE.
- 8. FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- 9. PROTECT IN PLACE EXISTING STOP SIGN.
- 10. REMOVE AND SALVAGE EXISTING ADA ACCESSIBILITY SIGN.
- 11. PROTECT IN PLACE EXISTING CONCRETE PAVEMENT.
- 12. PROTECT IN PLACE EXISTING ASPHALT PAVEMENT.
- 13. INSTALL INLET PROTECTION PER DETAIL 6, SHEET C400.
- 14. PROTECT IN PLACE EXISTING TARGET SPHERICAL BOLLARD.
- 15. PROTECT IN PLACE EXISTING WALL.
- 16. PROTECT IN PLACE EXISTING UTILITY.
- 17. PROTECT IN PLACE EXISTING FIRE HYDRANT.
- 18. PROTECT IN PLACE EXISTING CART CORRAL.
- 19. SAWCUT.

**Kimley»Horn**  
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11995 SINGLETREE LANE, SUITE 225  
MINNEAPOLIS, MN 55403  
PHONE: (612) 315-1272  
WWW.KIMLEY-HORN.COM

Date No. Description

08/22/25	COMPLETE CONSTRUCTION SET

  
BRIAN GAMMON  
PROFESSIONAL ENGINEER  
NO. 6201312964  
DATE: 8/20/2025


**TARGET**  
GRAND RAPIDS, MN  
2140 S POKEGAMA AVE  
GRAND RAPIDS, MN 55744-5124

PROJECT NUMBER T-0904  
DATE: 8/20/2025  
DRAWN BY: DL  
CHECKED BY: BPG

DEMOLITION PLAN  
C200  
811  
Know what's below. Call 811 before you dig.

GRAPHIC SCALE IN FEET  
0 2.5 5 10  
SCALE: 1" = 5' WHEN PRINTED AT  
FULL SIZE (36" X 48")

19



## LEGEND

MILL AND OVERLAY ASPHALT PAVEMENT WHERE SHOWN.

FULL DEPTH ASPHALT REPLACEMENT

FS 1308.00 PROPOSED SPOT ELEVATION

EG (1308.00) EXISTING SPOT ELEVATION

1.0% PROPOSED FLOW (SLOPE AND DIRECTION)

(1.0%) EXISTING FLOW (SLOPE AND DIRECTION)

GB GRADE BREAK

# AREAS OF REPLACED PAVEMENT

2,665± S.F. ASPHALT MILL AND OVERLAY (SURFACE ONLY - NO BASE DISTURBANCE)  
1,525± S.F. FULL DEPTH ASPHALT REPLACEMENT

## **ABBREVIATIONS**

EG - EXISTING GRADE  
FS - FINISHED SURFACE  
TC - TOP OF CURB  
TYP - TYPICAL

# CONSTRUCTION NOTES

---

- 1 MILL AND OVERLAY ASPHALT PAVEMENT TO PROPOSED GRADES.
- 2 JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 1, SHEET C400.
- 3 INSTALL STANDARD ADA SIGNAGE AND POST PER DETAILS 2 AND 3, SHEET C400.
- 4 INSTALL VAN ADA SIGNAGE ON EXISTING POST PER DETAILS 2 AND 3, SHEET C400.
- 5 INSTALL ADA STALL STRIPING PER DETAIL 4, SHEET C400.
- 6 INSTALL ADA PATH OF TRAVEL PER DETAIL 5, SHEET C400.
- 7 INSTALL FULL DEPTH ASPHALT PAVEMENT PER DETAIL 7, SHEET C400.
- 8 INSTALL SALVAGED STANDARD ADA SIGNAGE ON EXISTING POST PER DETAIL 3, SHEET C400.
- 9 STRIPE WHITE TO MATCH EXISTING.

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

## GENERAL NOTES

1. WHERE GRADES ARE AFFECTED, THE CONTRACTOR SHALL USE A SURVEYOR AS NEEDED TO ENSURE PROPER GRADES ARE ACHIEVED.
2. STRIPING SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CURRENT MINNESOTA BUILDING CODE AND APPLICABLE LOCAL CODES. GRADES SHALL BE VERIFIED FOR COMPLIANCE AT THE TIME OF CONSTRUCTION PRIOR TO STRIPING.
3. THE GENERAL CONTRACTOR SHALL REVIEW ANY APPLICABLE STATE AND LOCAL GUIDELINES AS THEY APPLY TO THE ACCESSIBILITY AND SIGNAGE.
4. THE GENERAL CONTRACTOR SHALL VERIFY ELEVATIONS AND GRADES PRE & POST CONSTRUCTION AND REPORT ANY DEFICIENCIES TO THE ENGINEER BEFORE START OF WORK AND AT COMPLETION.
5. ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES TO BE MEASURED WITH A 24" SMART LEVEL.
6. IT IS ACKNOWLEDGED THAT THE SITE IMPROVEMENTS SHOWN ON THIS PLAN CONSIST OF A LIMITED SCOPE OF WORK FOUND IN THE REPORT BY BUREAU VERITAS DATED APRIL 14, 2025 AND SCOPE DEFINED BY TARGET'S CODE COMPLIANCE TEAM. THE SITE IMPROVEMENTS MAY NOT BRING THE ENTIRE SITE INTO FULL COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANY OTHER STATE SPECIFIC ACCESSIBILITY CODES. THE ENGINEER OF RECORD SHALL NOT BE HELD RESPONSIBLE FOR ANY EXISTING CONDITIONS OUTSIDE OF THE IDENTIFIED TARGET SCOPE OF WORK THAT ARE NOT BROUGHT WITHIN COMPLIANCE.
7. WHERE ASPHALT PAVEMENT MILL AND OVERLAY IS PROPOSED THE GENERAL CONTRACTOR SHALL CORE A 2" DIAMETER SECTION AND VERIFY THE EXISTING ASPHALT PAVEMENT SECTION IS GREATER THAN 3". GENERAL CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IF ASPHALT PAVEMENT SECTION IS LESS THAN 3" FOR FURTHER DIRECTION AS MILL AND OVERLAY MAY NOT BE FEASIBLE.
8. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 1308.28' SURVEYED BY EFN SURVEY ON JUNE 17, 2025.
10. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
11. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5.0% AND CROSS SLOPE SHALL NOT EXCEED 2.0% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
12. MATCH EXISTING ELEVATIONS AT LIMITS OF WORK AS SHOWN.

# imley >> Horn

25 KIMLEY-HORN AND ASSOCIATES, INC.  
1995 SINGLETREE LANE, SUITE 225  
EDEN PRAIRIE, MN 55344  
PHONE: (612) 315-1272  
WWW.KIMLEY-HORN.COM

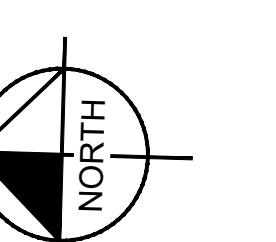
STATE OF MICHIGAN  
BRIAN GAMMON  
ENGINEER  
NO.  
6201312904  
LICENCED PROFESSIONAL ENGINEER

*Brian Gammon*

**GRAND RAPIDS, MN**  
2140 S POKEGAMA AVE  
**GRAND RAPIDS, MN 55744-5124**

JECT NUMBER	T-0904
8/20/2025	
EN BY:	DL
ENDED BY:	BPG

## IMPROVEMENT PLAN



A horizontal scale bar divided into three segments. The first segment is 2.5 units long. The second segment is 5 units long. The third segment is 10 units long. The total length of the scale bar is 17.5 units. The scale bar is labeled with the text "GRAPHIC SCALE IN FEET" above it.

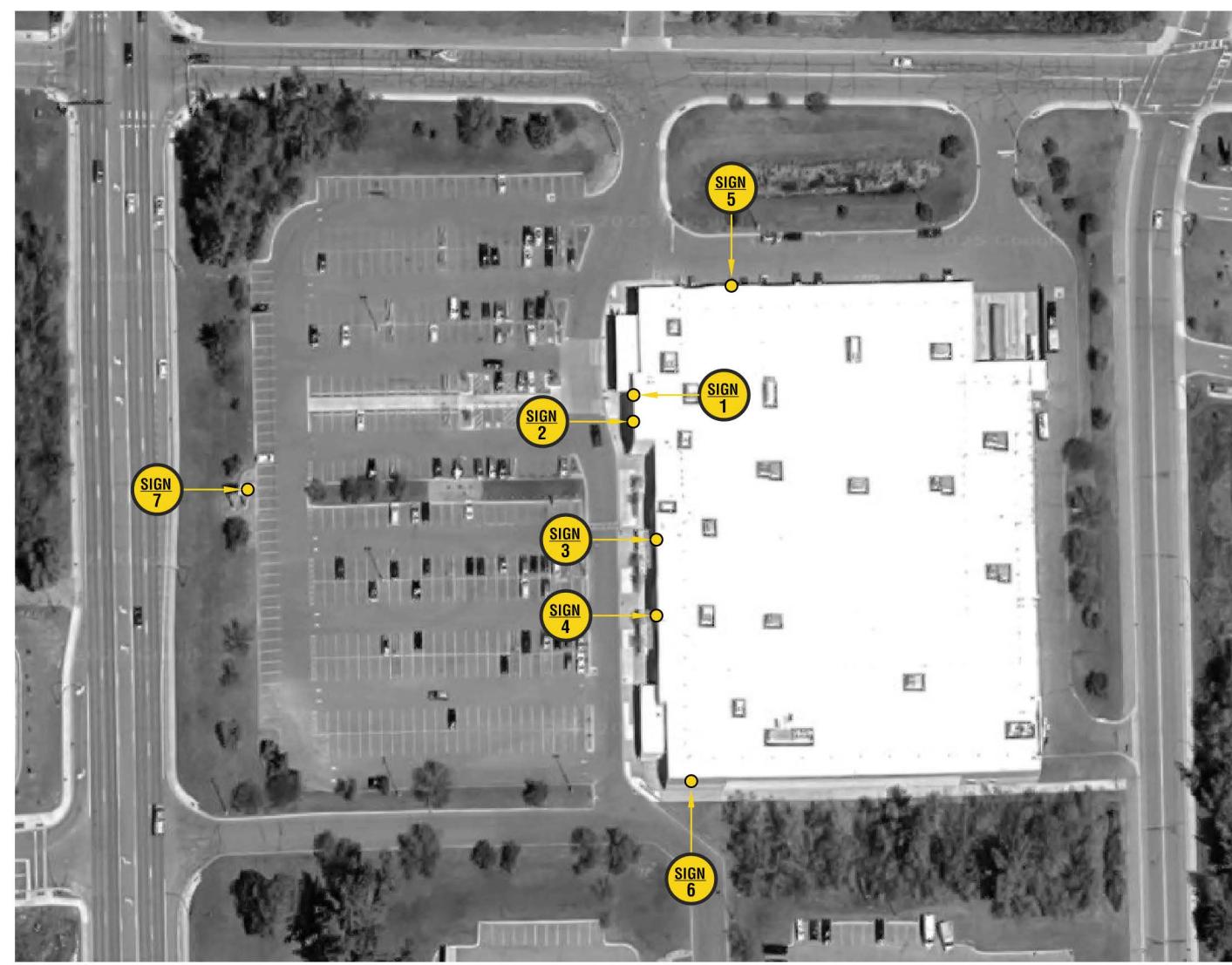
# C300



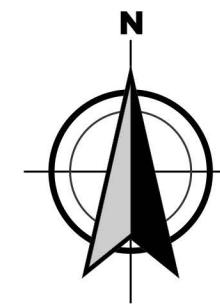


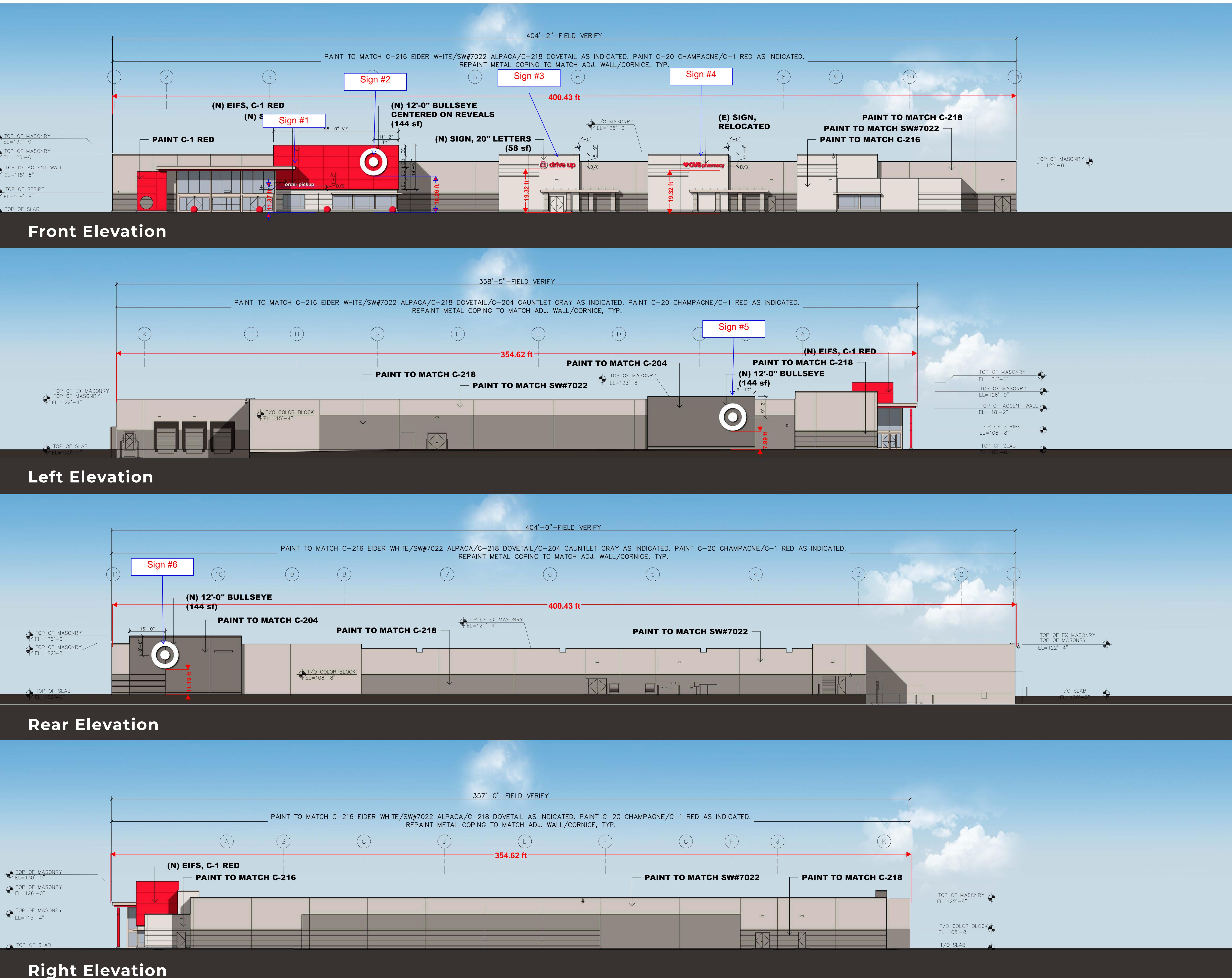
Store 904

2140 S Pokegama Avenue  
Grand Rapids, Minnesota, USA  
55744

**SIGN LOCATIONS**

NTS





#### COLOR KEY:

<span style="background-color: #e6eaf2; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	C-216 (SW#7014) EIDER WHITE
<span style="background-color: #f0f0f0; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	(SW#7022) ALPACA
<span style="background-color: #808080; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	C-218 (SW#7018) DOVETAIL GRAY
<span style="background-color: #606060; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	C-204 (SW#7019) GAUNTLET GRAY
<span style="background-color: #ff0000; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	C-1 RED
<span style="background-color: #c0c0a0; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	C-20 CHAMPAGNE
<span style="background-color: #c0c0c0; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	REPAINT (E) SOFFIT C-1 RED

#### NOTE:

- \*EXISTING FINISHES SHOWN FOR REFERENCE.
- \* EXISTING PREFABRICATED METAL AREAS-NO PAINT; PAINT HM DOOR AND FRAME TO MATCH ADJ. WALL, TYP.
- \*STORE EXTERIOR WALLS ARE PRIMARILY CMU.
- \*EXISTING SPHERICAL BOLLARDS REPAINT C-1 RED U.N.O.
- \*BEN-2: MODERN, COLOR.....SILVER

**GENERAL NOTE**

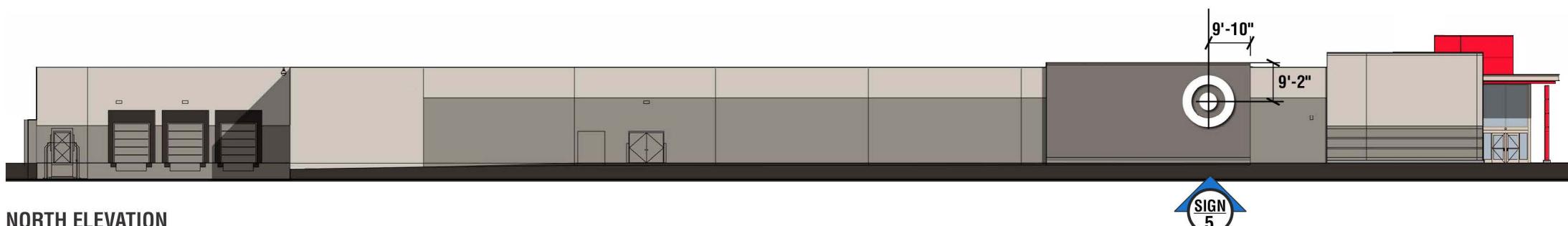
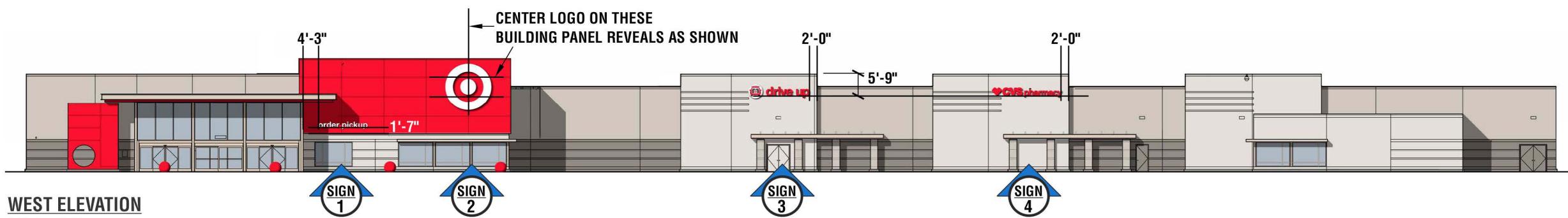
- \* AREA TO BE PAINTED STARTS AT TOP OF CURB OR REVEAL AND CONTINUES TO TOP OF PARAPET/FLASHING OR REVEAL. PAINT COLOR AND FINISH TRANSITIONS OCCUR AT EXISTING VERTICAL CONTROL JOINTS OR AT INSIDE BUILDING CORNERS, U.N.O.
- \* ALL EXISTING WALL-MOUNTED ITEMS TO BE PAINTED TO MATCH ADJ. WALL SURFACE, U.N.O.
- \* PATCH ALL VISIBLE HOLES FROM MOUNTING OF REMOVED SIGNS WITH LIKE MATERIALS. RESTORE WALL SURFACE TO 'LIKE NEW' APPEARANCE.



# Installation Details / Signage Placement

Scale: As Shown

Drawing No.  
TARG-SP000904. Item 2.



  Preliminary Artwork

  Approved for Production

Project ID: 00000

# Illuminated Channel Letters ( 1 Required )

Scale: 1/2" = 1'-0"

**SIGN  
1**

Drawing No.  
TARG-CL023x0154.120A  
Item 2.

## Electrical Requirements

120v 277v 347v

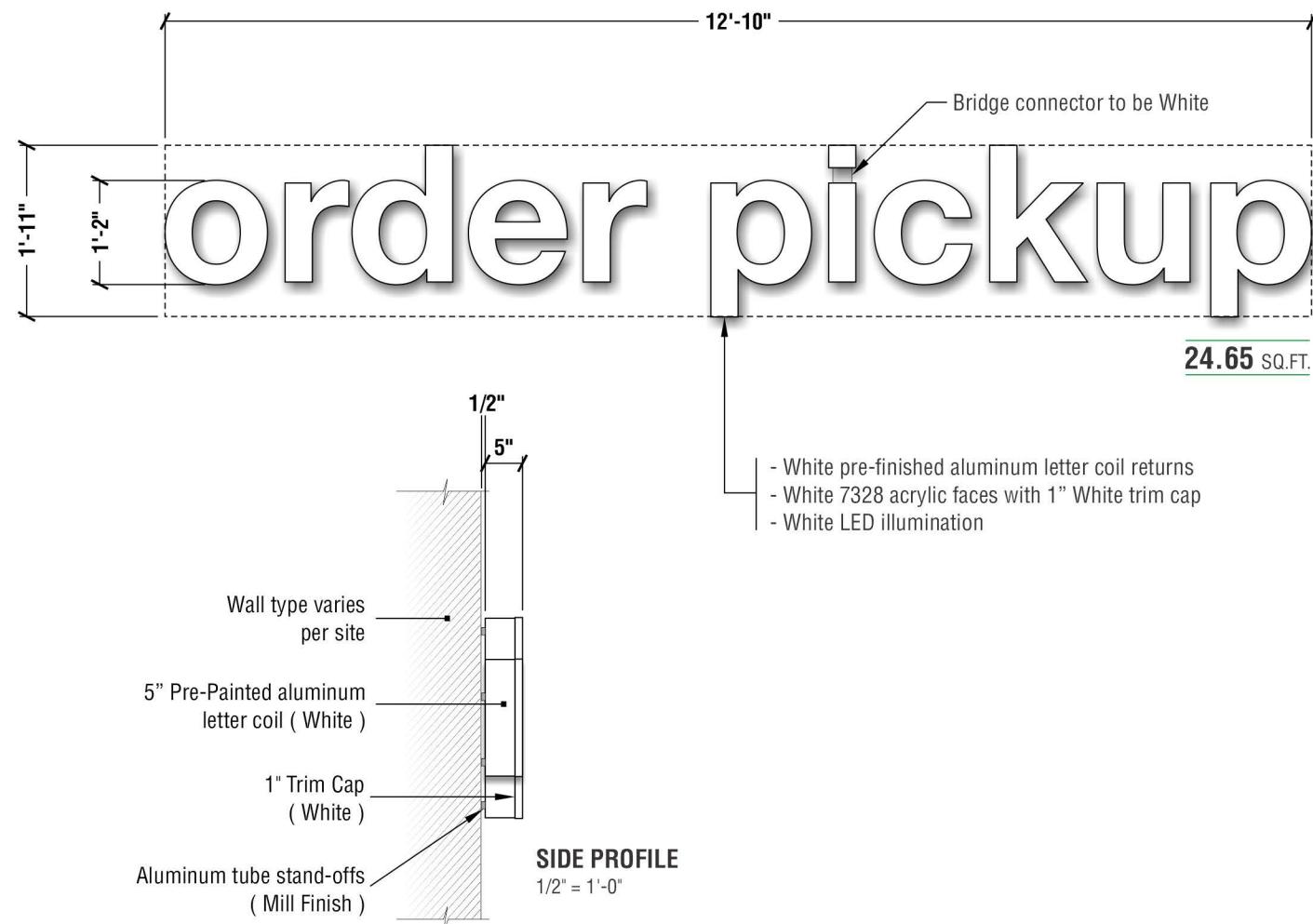
## CHANNEL LETTERS

PL: 19.56m PA: .75m<sup>2</sup>

## CUT FILE #

TARG-CL023x0154.120A

**Sign #1  
Sign Area  
24.65 sq ft**



Preliminary Artwork

Approved for Production

July 27, 2020 T. Dodge



**PRIDE SIGNS**

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255 PINEBUSH ROAD CAMBRIDGE ONTARIO CANADA TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS.COM



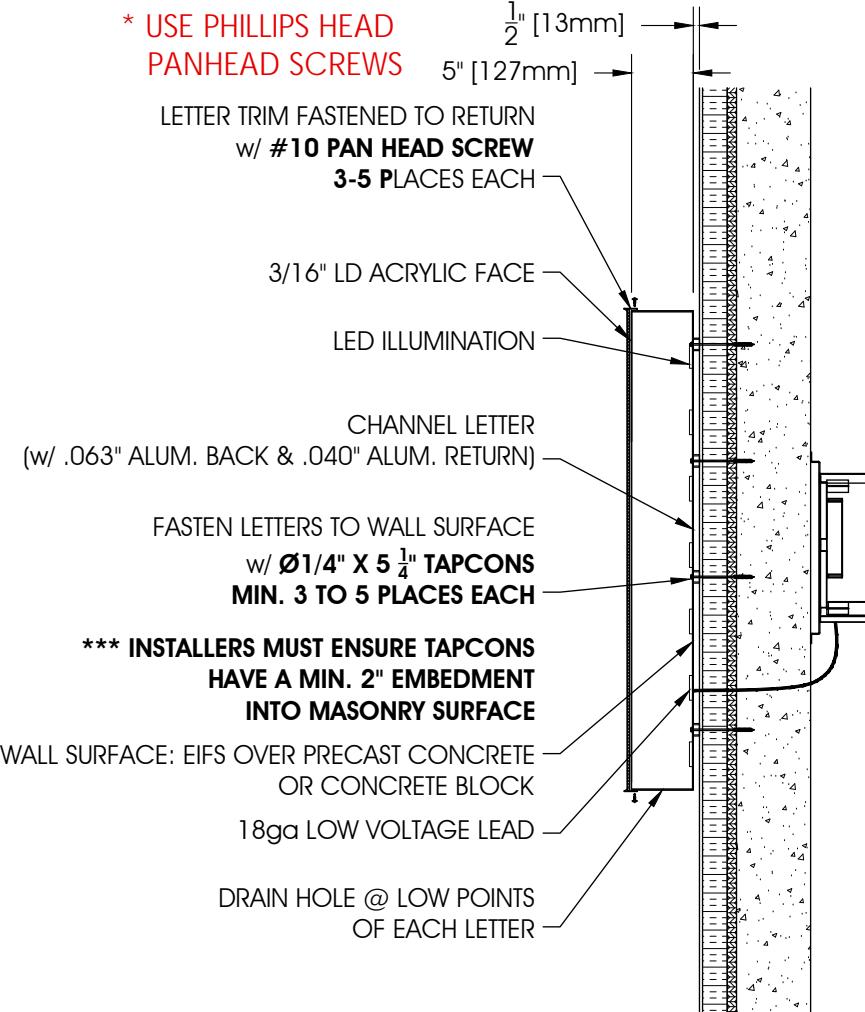
sacace



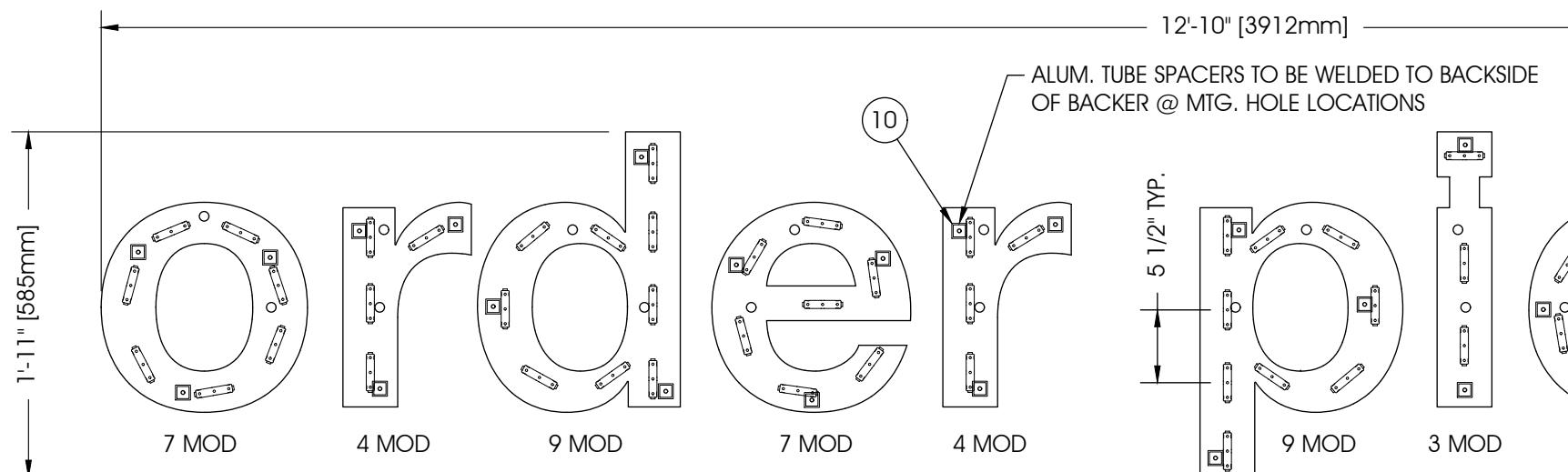
DRAWN BY: T. Dodge  
DATE: July 27, 2020

Graphic rendition is representative of specific signage.  
Colour / dimensional / material details shown are for reference drawing specifications. PRIDE SIGNS LTD. is not responsible for inherent variations caused by print variations.

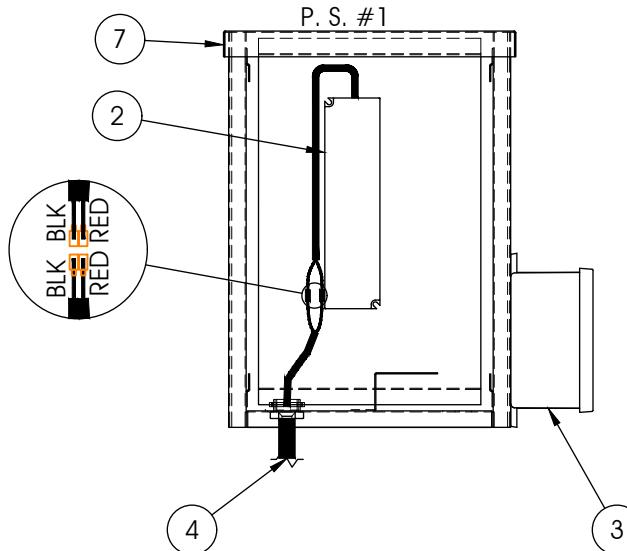
# ELECTRICAL INSTALLATION INSTRUCTIONS



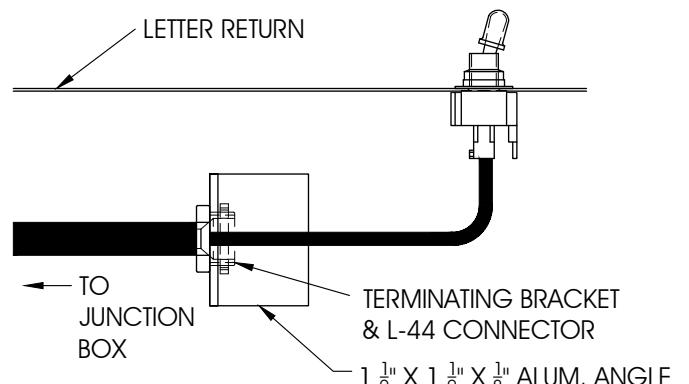
## LETTER INSTALLATION INSTRUCTIONS



\* USE BOTTOM LEAD HOLES



## ENCLOSURE BOX ASS'Y

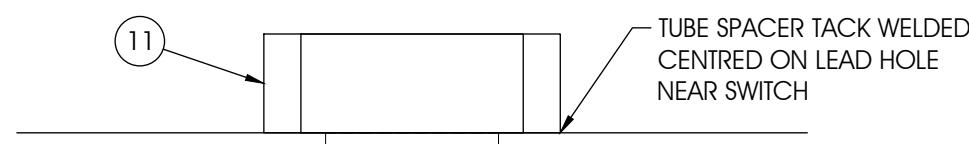


## SWITCH CONNECTION

TARG-CL023x0154.120B			
SHEET #: 1 OF 1			
Item 2.			
BILL OF MATERIALS			
REF#	DESCRIPTION	QTY	LENGTH
1	GOQ-3 LED (WHITE)	73	
2	60W-12V POWER SUPPLY	1	
3	W.T. JUNCTION BOX w/ COVER (EL077)	1	
4	18ga. L. V. WIRE w/ 2' GTO COVER	11	10'-0"
5	3/8" HOLOFLEX w/ BLACK/RED WIRE	1	10'-0"
6	TOGGLE SWITCH w/ BOOT (EL018A)	1	
7	POWER SUPPLY ENCLOSURE BOX	1	
8	.063" ALUMINUM ROUTED BACK	11	
9	.040" X 5" ALUM. RETURN	1	79'-0"
10	1" X 1" X .095" ALUM. TUBE	33	1/2"
11	1 1/2" X 1 1/2" X .3/16" ALUM. TUBE	1	1/2"

DESIGN NOTES:  
LOADS AS PER ASCE 7-22  
Grand Rapids, MN AREA:  
RISK CATEGORY II BUILDINGS AND STRUCTURES  
EXPOSURE B: 107MPH

GENERAL WELD NOTE:  
1/8" FILLET WELD REQ'D UNLESS NOTED



TARG-CL023x0154.120B  
SHEET #: 1 OF 1  
R06

Item 2.



PRIDE SIGNS. INC.

INTERNATIONAL  
SIGN ASSOCIATION

sac

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255 PINEBUSH ROAD, CAMBRIDGE, ON, CANADA N1T 1B9 - TEL: 519.622.4040 - WWW.PRIDESIGNS.COM UL FILE # E500193

DRAWN BY: S. THOMAS

12-Jun-19

CHECKED BY: S. POWER

16-Jan-23

CUT FILE: 15-Aug-18

WEIGHT: 34 LBS.

target

2140 South Pokegama Avenue  
Grand Rapids, MN

ILLUMINATED CHANNEL LETTERS

06 REMOVED POWER SUPPLY TRAY

S. POWER 26

22

UL REQUIREMENTS: SIGN SECTION 02 ENVIRONMENTAL LOCATION: DAMP 01

AMP DRAW: 1.2 A @

25

SIGN PROGRAM: # OF SECTIONS 12 DISCONNECT SWITCH: YES 01

DISCONNECT SWITCH: YES 01

# Illuminated Channel Logo ( 3 Required )

Scale: 1/4" = 1'-0"



Drawing No.  
TARG-CL144x0144.120A  
Item 2.

## Electrical Requirements

120v 277v 347v

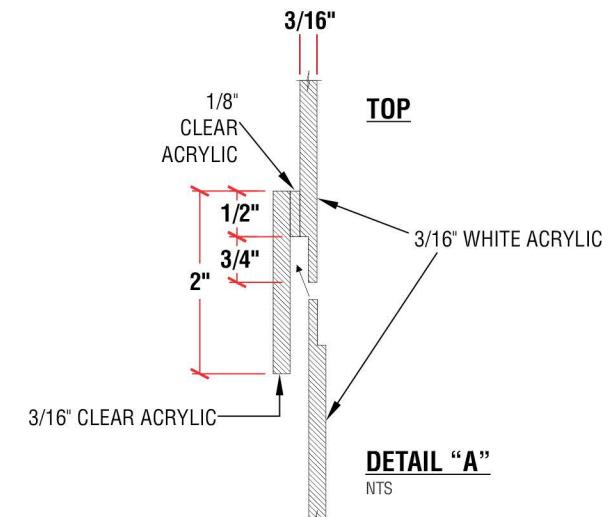
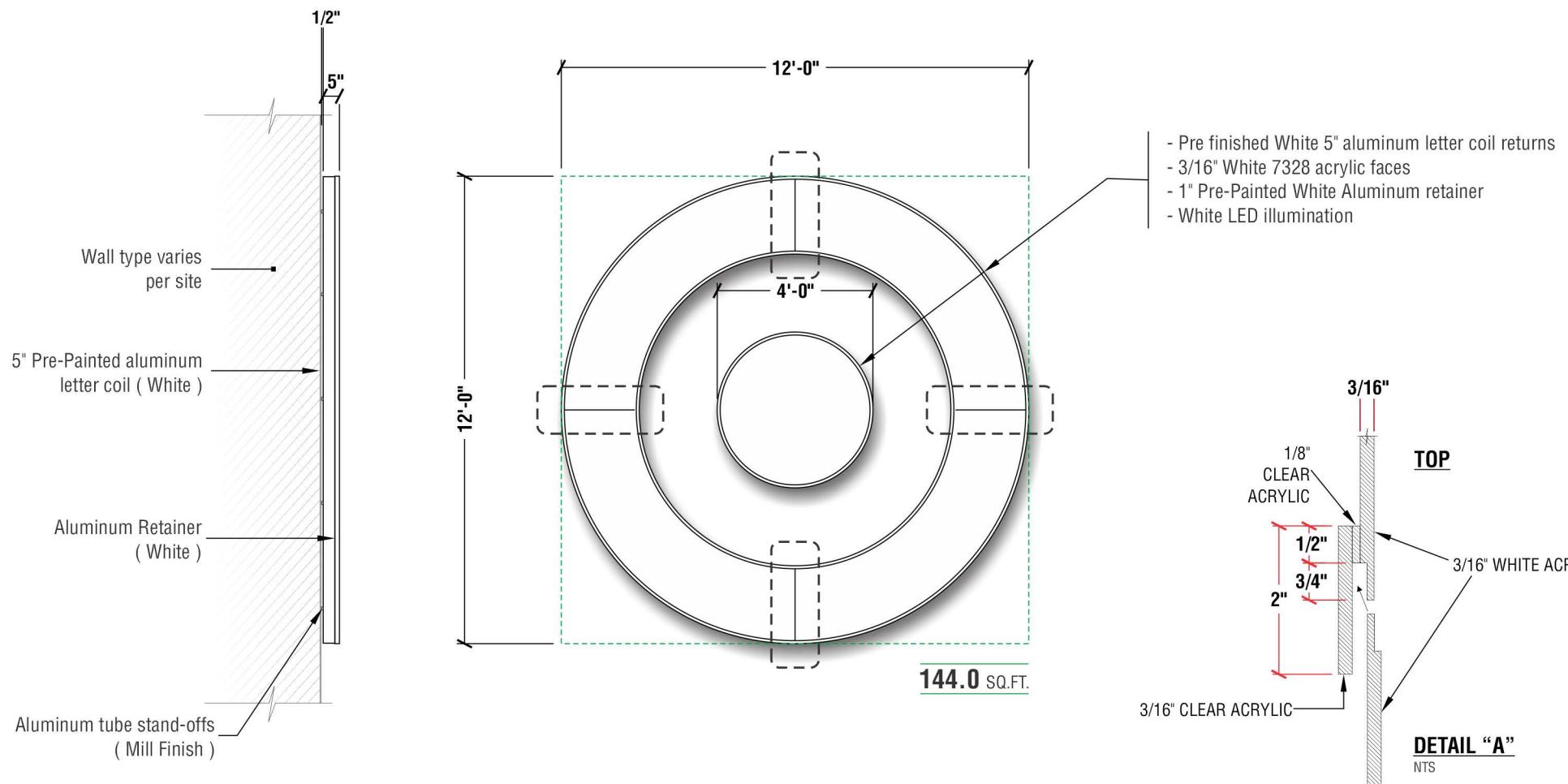
## CHANNEL LETTERS

PL: 23.0m PA: 7.0m<sup>2</sup>

## CUT FILE #

TARG-CL144x0144.120A

Sign #2.  
Sign #5 &  
Sign #6  
Sign Area  
144 sq ft  
each

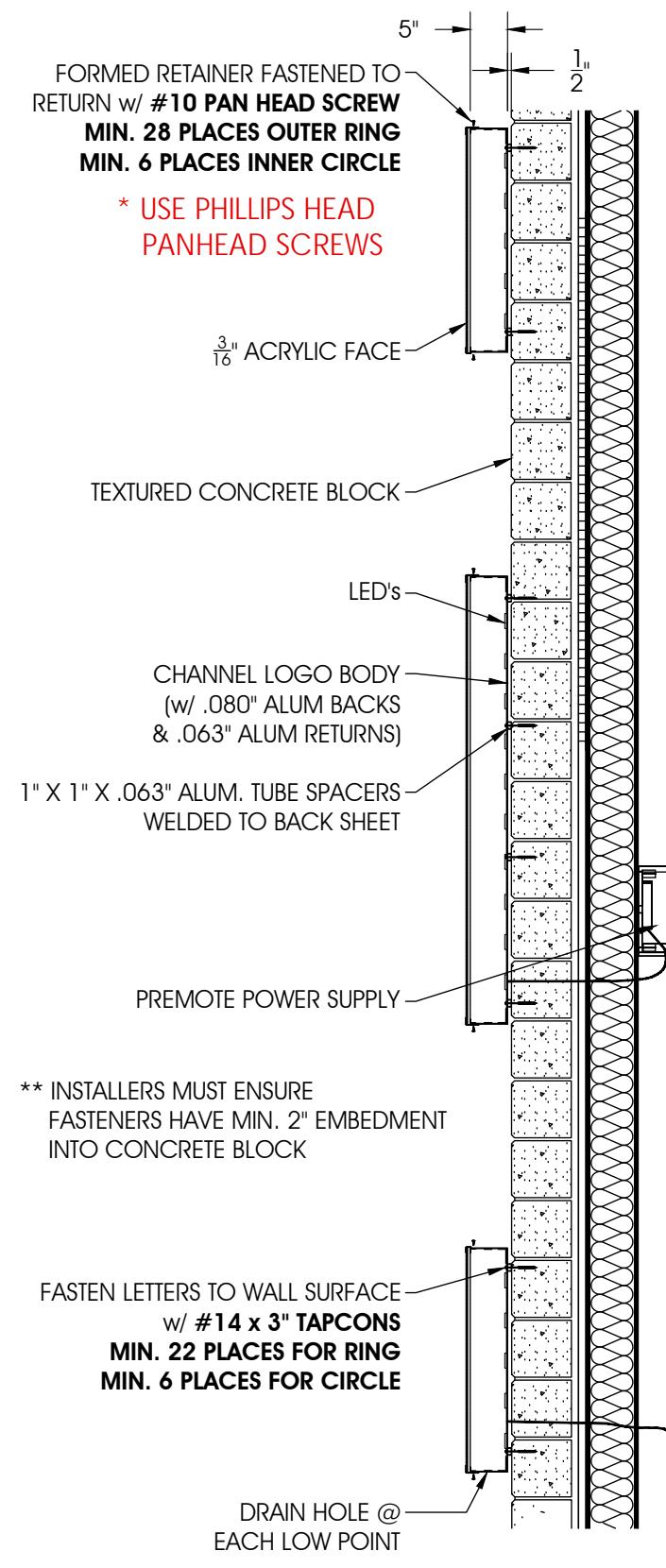


Preliminary Artwork

Approved for Production

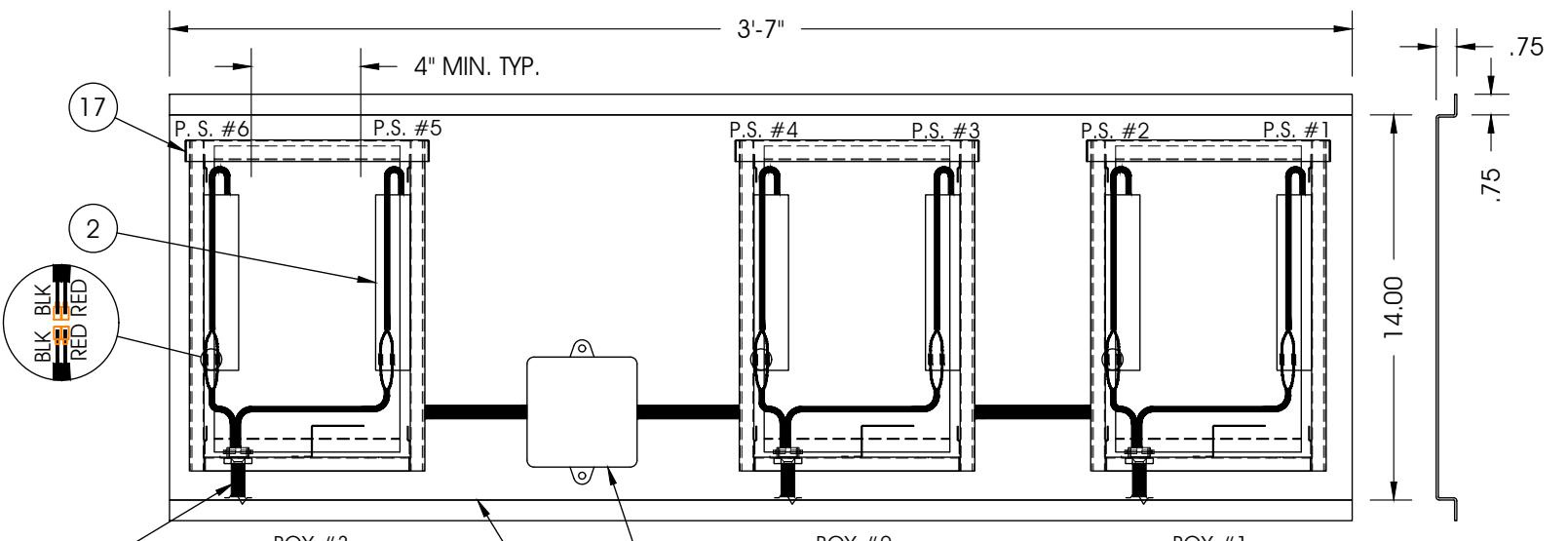
July 20, 2020 T. Dodge

# INSTALLATION INSTRUCTIONS



## INSTALLATION DETAIL

**\* USE BOTTOM LEAD HOLES**



## ENCLOSURE BOX ASS'Y

### DESIGN NOTES:

LOADS AS PER ASCE 7-22

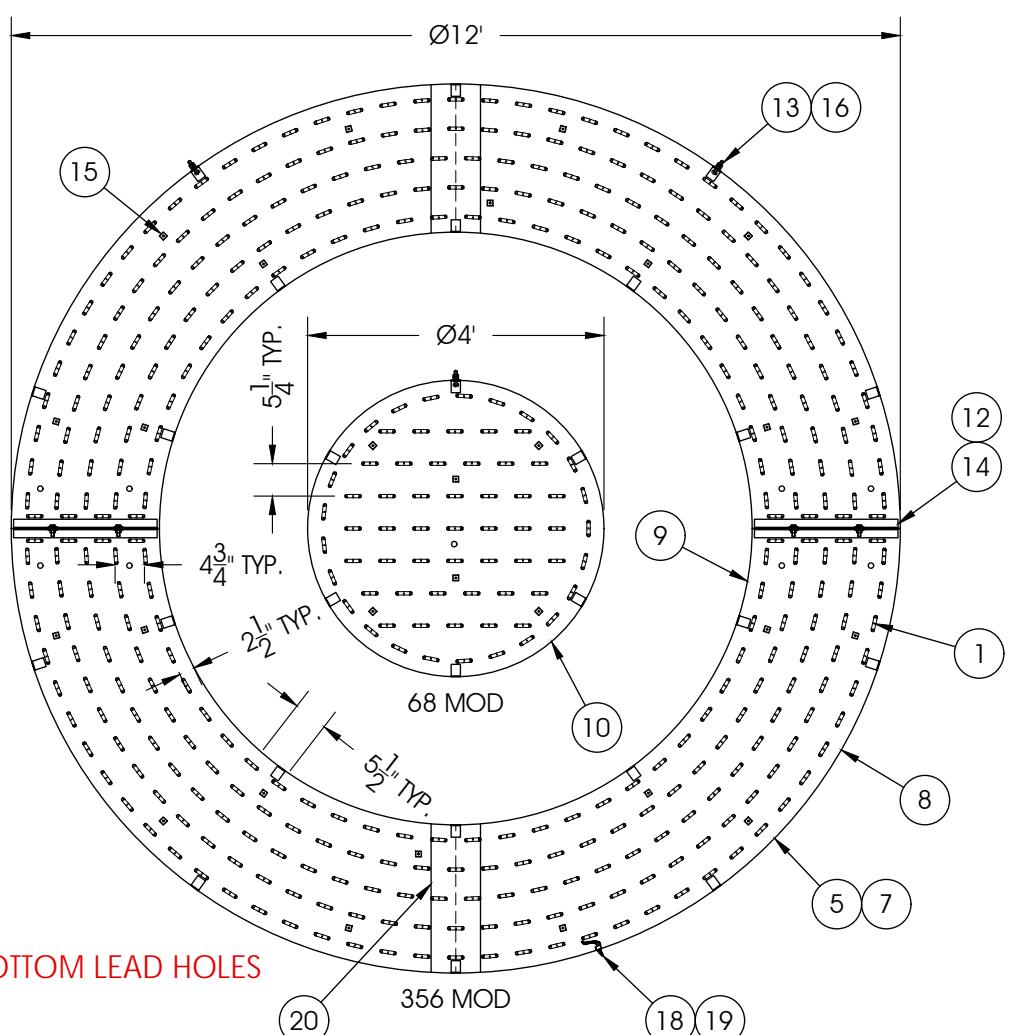
Grand Rapids, MN AREA:

RISK CATEGORY II BUILDINGS AND STRUCTURES

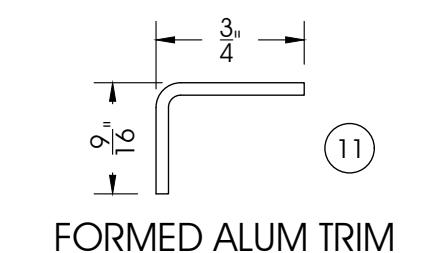
EXPOSURE B: 107MPH

### GENERAL WELD NOTE:

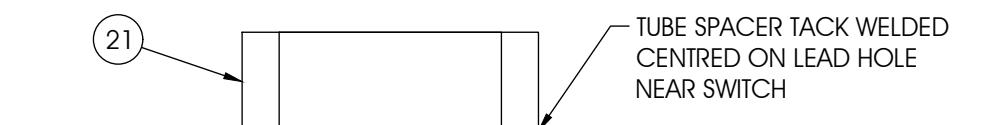
1/8" FILLET WELD REQ'D UNLESS NOTED



FORMED ALUM RETAINER  
FOR OUTSIDE RING



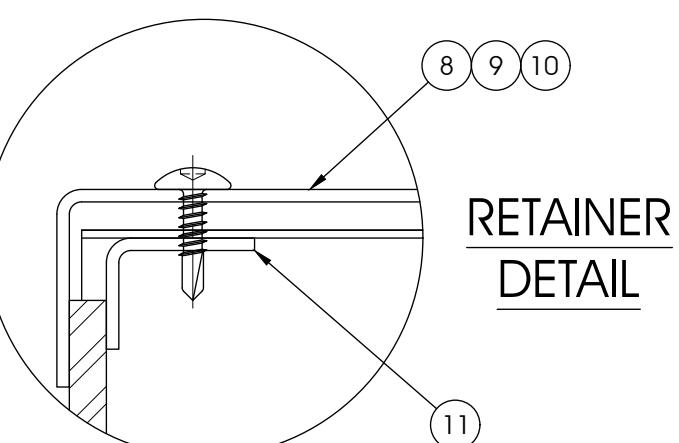
FORMED ALUM TRIM



TUBE SPACER TACK WELDED  
CENTRED ON LEAD HOLE  
NEAR SWITCH

BODY OF LOGO TO BE JOINED  
ON SITE w/ Ø3/8" HEX BOLTS  
MIN. 2 PL. PER CONNECTION

## BODY CONNECTION DETAIL



RETAINER  
DETAIL

## ILLUMINATED CHANNEL LOGO

05 REVISED BACK SHEET IN CUT FILE

S. POWER 05 24 25

UL REQUIREMENTS: AMP DRAW: 7.2 A @ 24V

SIGN PROGRAM: SIGN SECTION 02 ENVIRONMENTAL LOCATION: DAMP 01

# OF SECTIONS 04 DISCONNECT SWITCH: YES 01

TARG-CL144X0144.120B

SHEET #: 1 OF 1

R05

Item 2.

## BILL OF MATERIALS

REF#	DESCRIPTION	QTY	LENGTH
1	GOQ-3 LED (WHITE)	424	
2	60W-12V POWER SUPPLY	6	
3	W.T. JUNCTION BOX w/ COVER -EL077	1	
4	18ga L.V. LEAD w/ 2' GTO COVER	6	16'-0"
5	.080" ROUTED ALUM. BACK SHEET	5	
6	.080" ALUMINUM FORMED TRAY	1	3'-7"
7	.063" x 5.3" ALUM. COIL	1	83'-0"
8	.063" FM'D ALUM RETAINER - ROLLED	4	12'-0"
9	.063" FM'D ALUM RETAINER - ROLLED - R	3	12'-0"
10	.063" FM'D ALUM RETAINER - ROLLED	2	12'-0"
11	.063" FORMED ALUM COIL (x 1 1/4")	8	10'-0"
12	.063" X 5" ALUMINUM SEAM COVER	4	5"
13	2" x 3" x 3/16" ALUM. ANGLE	20	1 1/2"
14	1" x 2" x 1/8" ALUM. ANGLE	4	1'-11"
15	1" x 1" x .063" ALUM. TUBE	28	1/2"
16	3/8" LIFTING BOLT	2	
17	ELECTRICAL ENCLOSURE	3	
18	TOGGLE SWITCH w/ BOOT (EL018A)	1	
19	3/8" HOLOFLEX w/ BLACK/RED WIRE	1	12'-0"
20	.125" ALUM. SEAM COVER X 8" (TS)	2	2'-0"
21	1 1/2" X 1 1/2" x 3/16" ALUM. TUBE	1	1/2"

target

2140 South Pokegama Avenue  
Grand Rapids, MN



PRIDE SIGNS. INC.

INTERNATIONAL SIGN ASSOCIATION

sac ace

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255 PINEBUSH ROAD, CAMBRIDGE, ON, CANADA N1T 1B9 - TEL: 519.622.4040 - WWW.PRIDESIGNS.COM UL FILE # E500193

DRAWN BY: S.POWER

13-Feb-19

CHECKED BY: S. POWER

02-Dec-21

CUT FILE: 26-Nov-25

WEIGHT: 230 LBS.



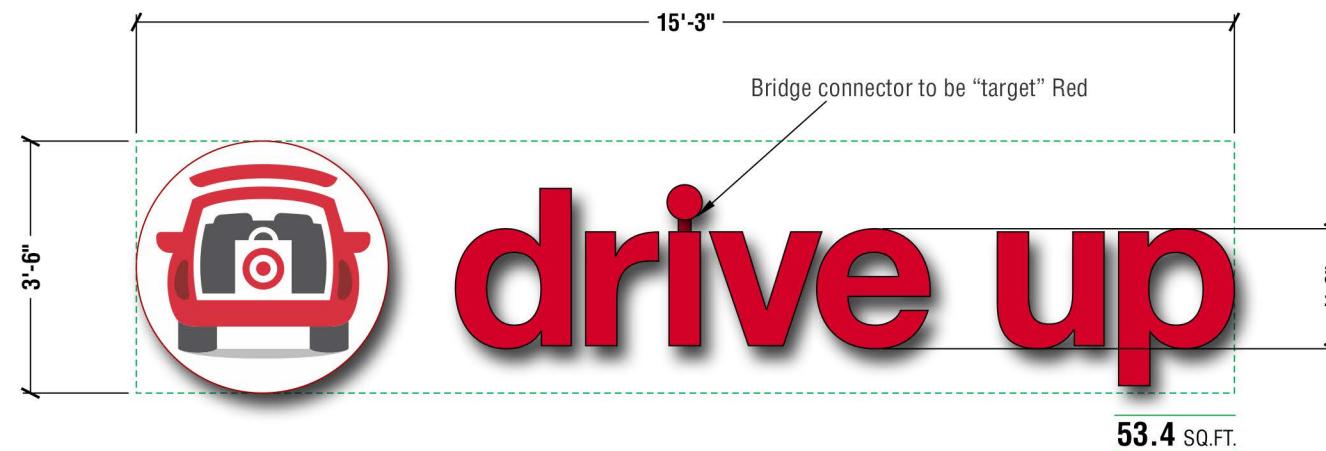
## Illuminated Channel Graphics ( 1 Required )

Scale: 3/8" = 1'-0"

**SIGN  
3**

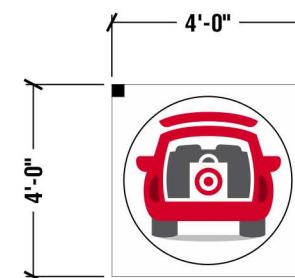
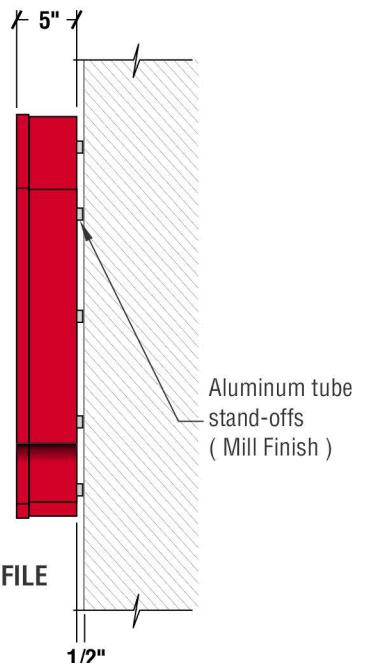
Drawing No.  
**TARG-CL042x0**

Item 2.



### Material Specifications

- "target" Red ( Pre- Finished ) aluminum letter coil returns
- Logo to have 3/16" White acrylic faces c/w Red "F" trim painted Pre-Mix "target" Red (High Gloss)
- Letters to have 3/16" Red #2793 acrylic faces c/w 1" Red #2793 trim cap
- Graphics to be a digitally printed direct to substrate
- White LED illumination for Logo / Red for Letters



### Digital Layout

1/4" = 1'-0"



File Name : TARG-DG042x0042.000A

■ 3/16" WHITE ACRYLIC / 1ST SURFACE / TRANSLUCENT

■ OPTICALLY CLEAR OVER LAMINATE

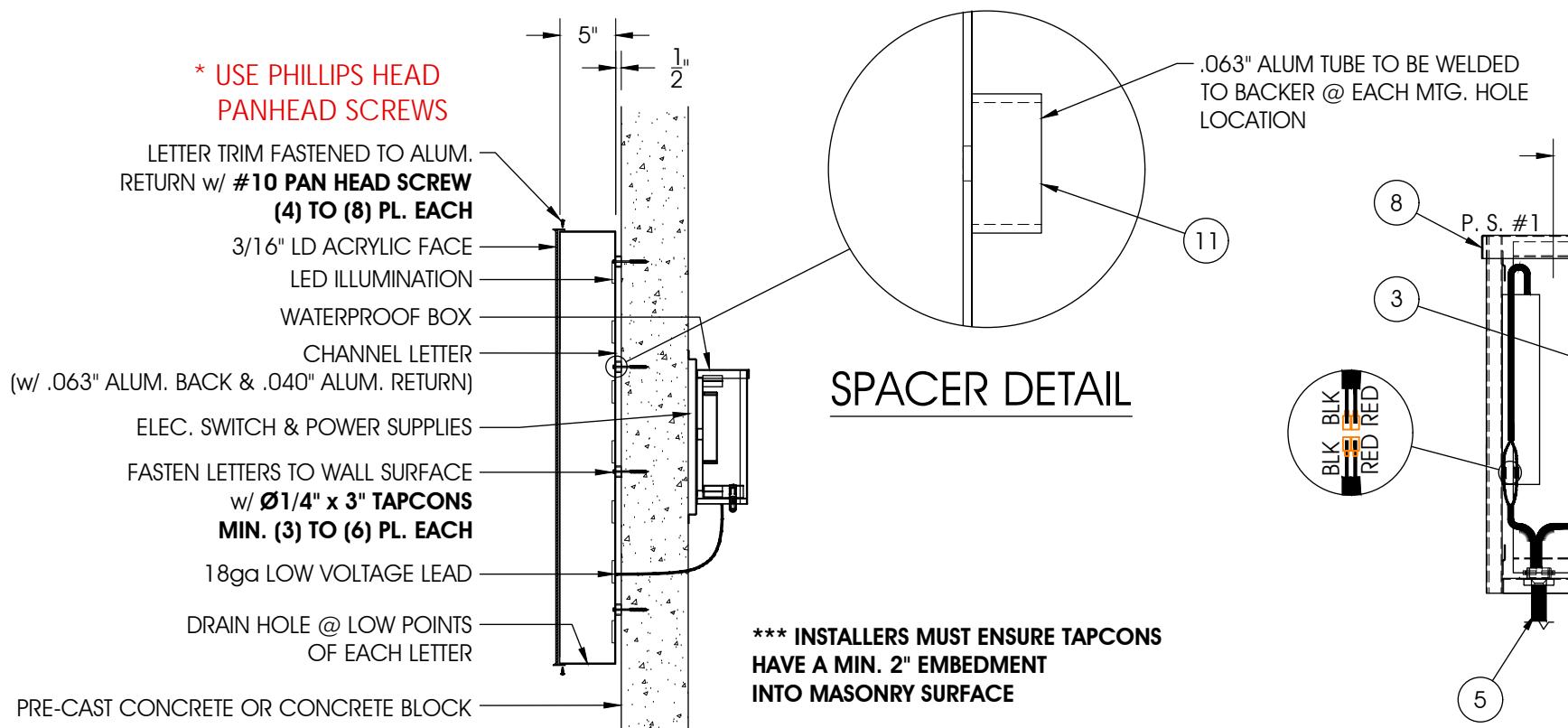
Preliminary Artwork

Approved for Production

September 16, 2025 T. Dodge

Graphic rendition is representative of specific signage. Colour / dimensional / material details shown using reference drawing specifications. PRIDE SIGNS LTD. is not responsible for inherent variations caused by print variations.

26



SPACER DETAIL

## INSTALLATION INSTRUCTIONS

\*\*\* LOGO REQUIRES "F" TRIM

## DESIGN NOTES:

LOADS AS PER ASCE 7-22

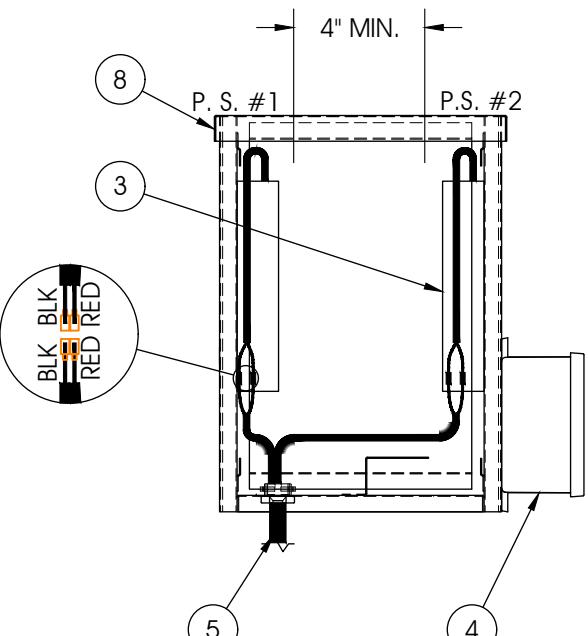
Grand Rapids, MN AREA:

RISK CATEGORY II BUILDINGS AND STRUCTURES

EXPOSURE B: 107MPH

## GENERAL WELD NOTE:

1/8" FILLET WELD REQ'D UNLESS NOTED



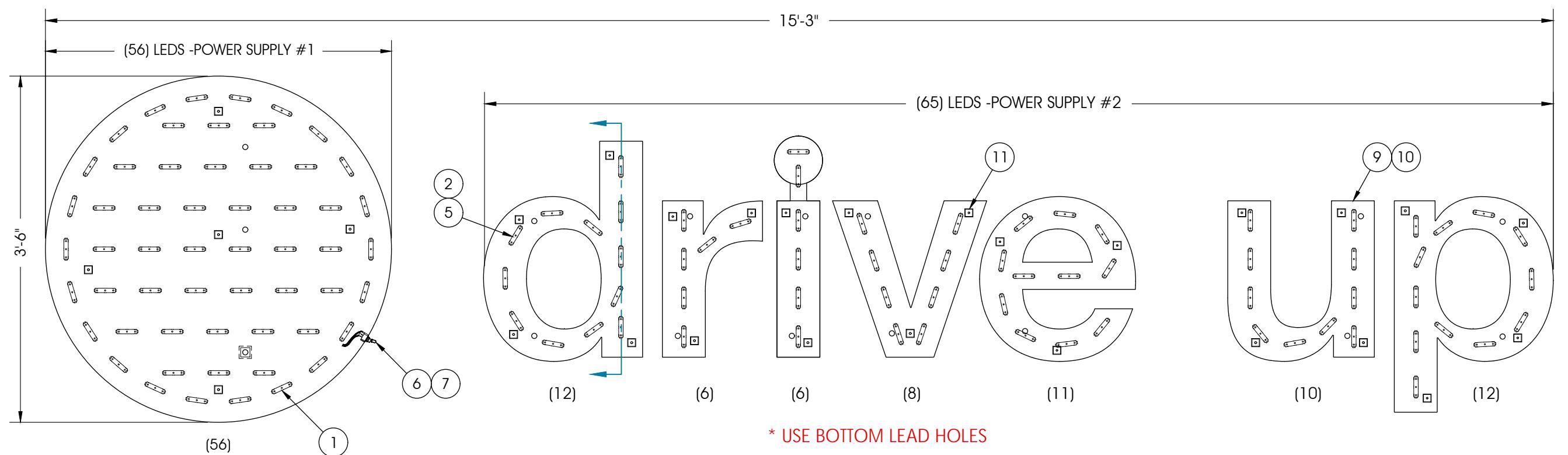
ENCLOSURE BOX ASS'Y

## BILL OF MATERIALS

REF#	DESCRIPTION	QTY	LENGTH
1	GOQ-3 LED (WHITE)	56	
2	GOQ-3 LED (RED)	65	
3	60W-12V POWER SUPPLY	2	
4	W. T. JUNCTION BOX w/ COVER (EL077A)	1	
5	18GA L. V. WIRE w/ 2' GTO COVER	8	20'-0"
6	3/8" HOLOFLEX w/ BLACK/RED WIRE	1	20'-0"
7	TOGGLE SWITCH w/ BOOT (EL018A)	1	
8	ELECTRICAL ENCLOSURE	1	
9	.063" ALUM. ROUTED BACK	8	
10	.040" ALUM. X 5" RETURN	1	93'-0"
11	1" x 1" x .063" ALUM TUBE	35	1/2"
12	1 1/2" X 1 1/2" X 3/16" ALUM. TUBE	1	1/2"

\*\*\* LOGO REQUIRES "F" TRIM

TUBE SPACER TACK WELDED CENTRED ON LEAD HOLE NEAR SWITCH



\* USE BOTTOM LEAD HOLES



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sacace



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DRAWN BY: S. POWER

05-Jan-26

CHECKED BY:

CUT FILE:

WEIGHT: 70 LBS.

target

2140 South Pokegama Avenue  
Grand Rapids, MN

## ILLUM. CHANNEL LETTERS

00 RELEASED FOR PERMIT

S. POWER 05 26

UL REQUIREMENTS: SIGN PROGRAM: SIGN SECTION 02 ENVIRONMENTAL LOCATION: DAMP 01

AMP DRAW: 2.4 A @ 27

# OF SECTIONS 09 DISCONNECT SWITCH: YES 01

DISCONNECT SWITCH: YES 01

## Illuminated Channel Letters ( 1 Required )

Scale: 3/8" = 1'-0"

**SIGN  
4**

Drawing No.  
TARG-CL030x0220.120A  
Item 2.

### Electrical Requirements

120v 277v 347v

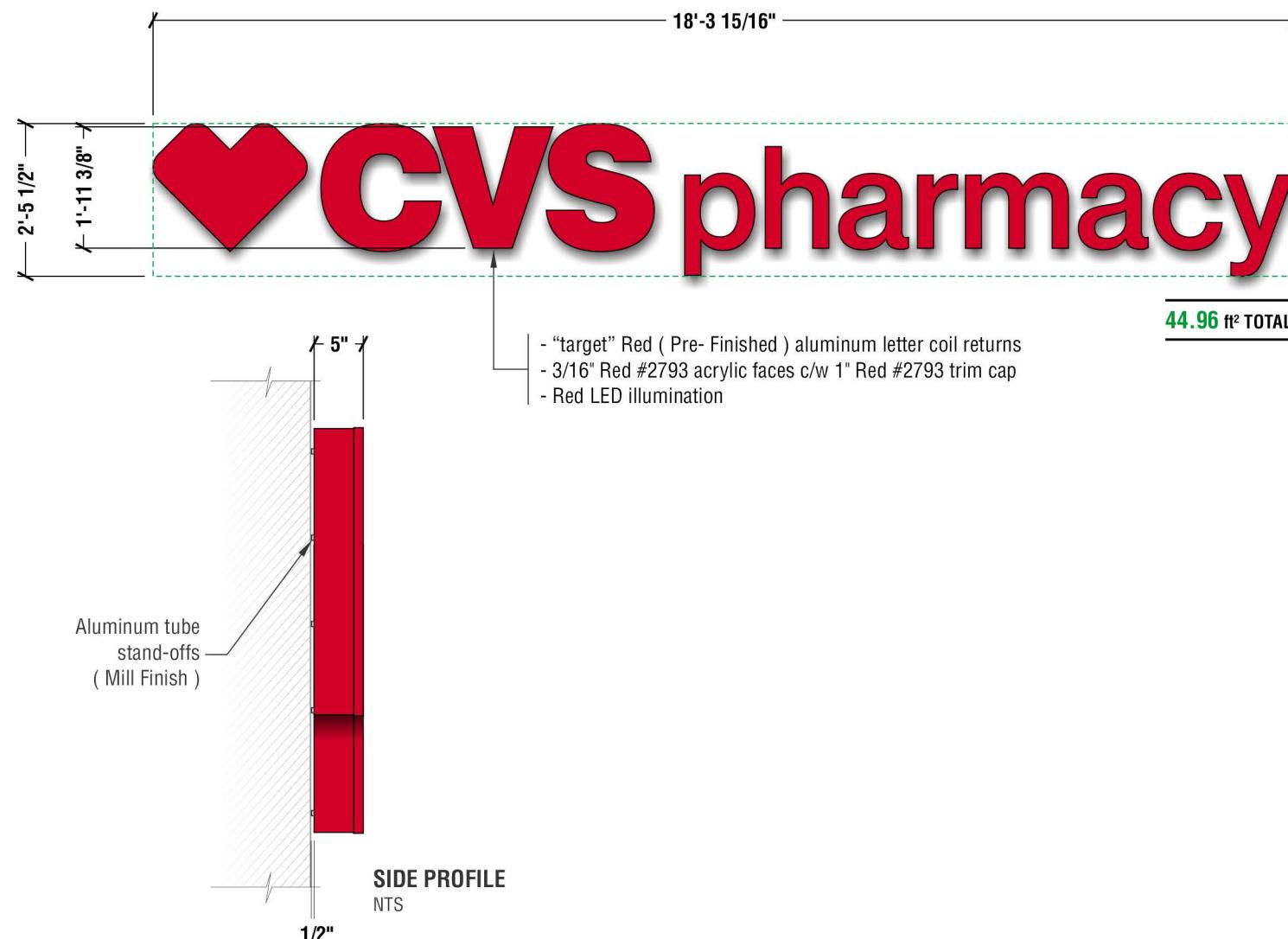
### CHANNEL LETTERS

PL: 27.63m PA: 1.5m<sup>2</sup>

### CUT FILE #

TARG-CL030x0220.120A

**Sign #4  
Sign Area  
44.96 sq ft**



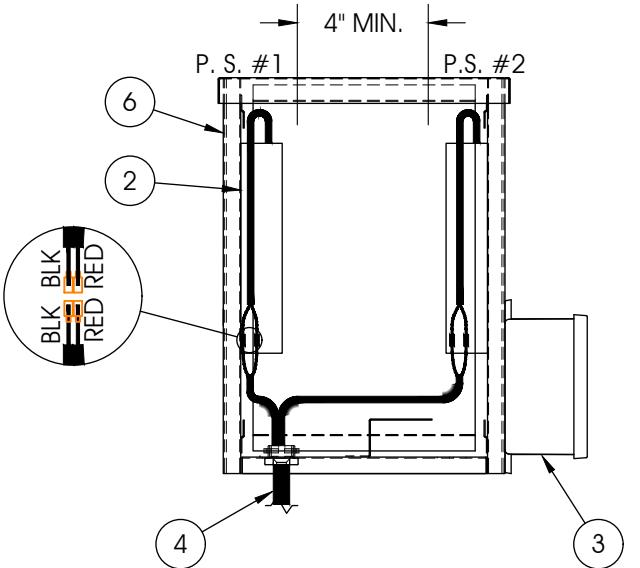
Preliminary Artwork

Approved for Production

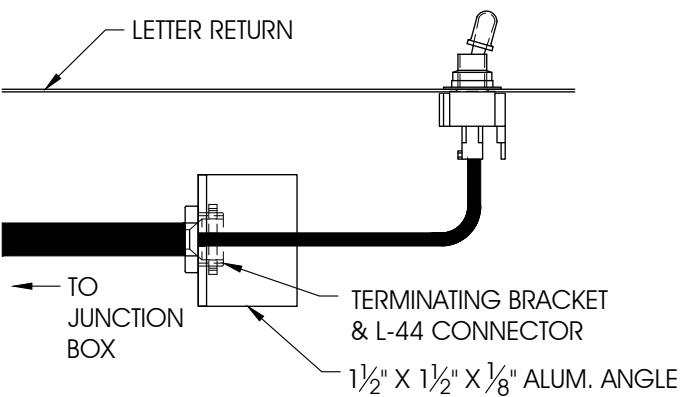
December 11, 2019 T. Dodge

Graphic rendition is representative of specific signage. Colour / dimensional / material details shown using reference drawing specifications. PRIDE SIGNS LTD. is not responsible for inherent variations caused by print variations.

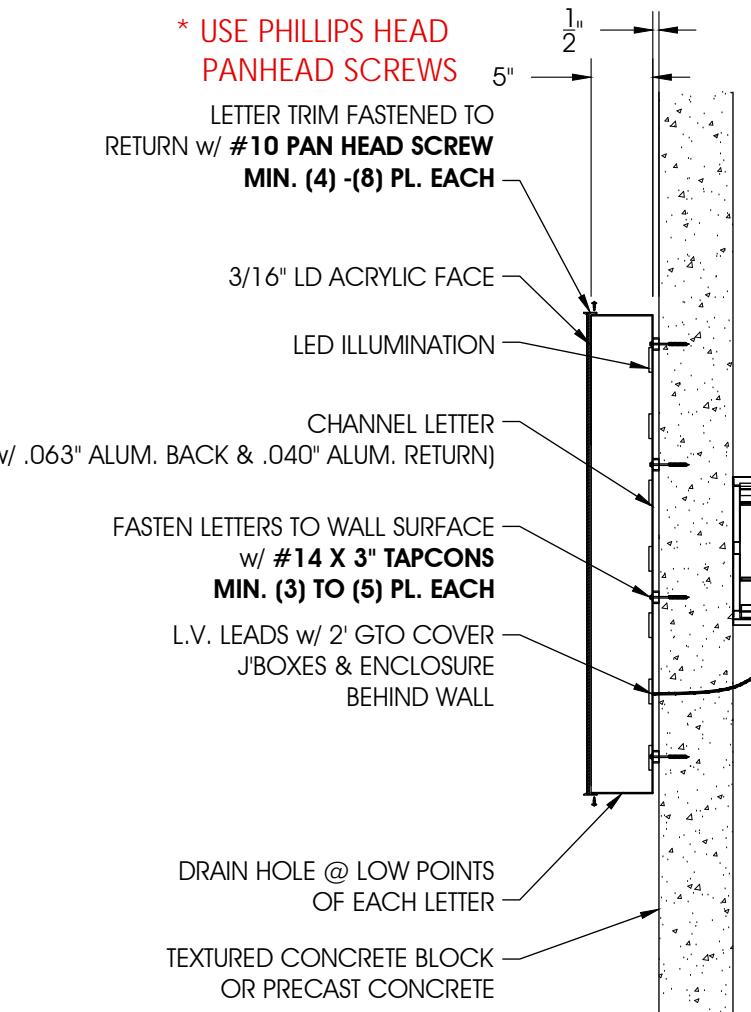
255 PINEBUSH ROAD CAMBRIDGE ONTARIO CANADA TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS.COM



ENCLOSURE BOX ASS'Y



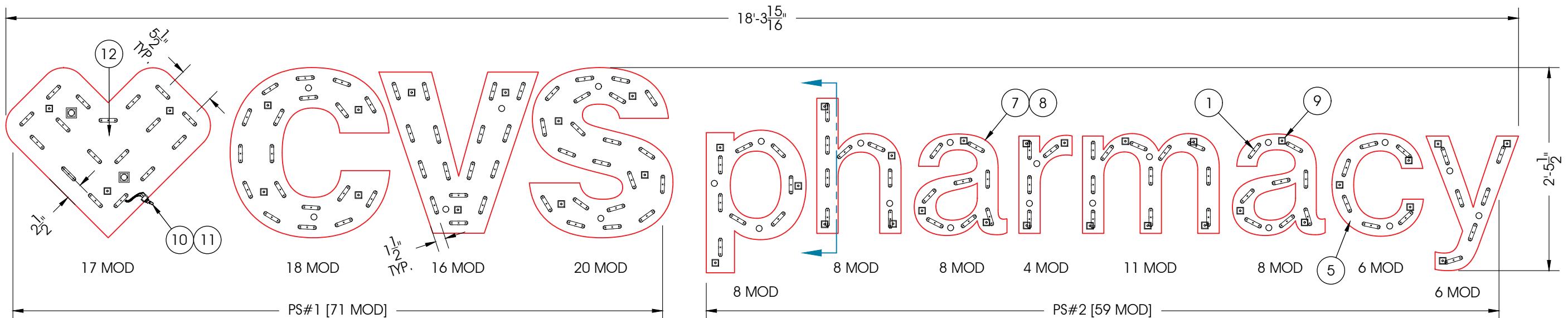
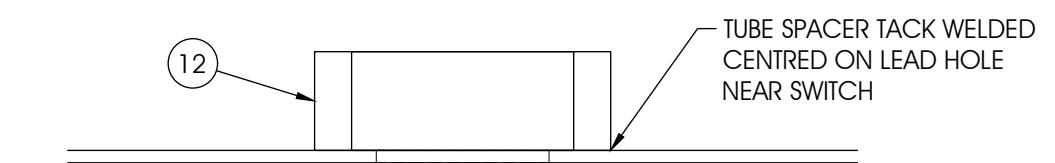
SWITCH CONNECTION



## LETTER INSTALLATION INSTRUCTIONS

## BILL OF MATERIALS

REF#	DESCRIPTION	QTY	LENGTH
1	RED GOQ-3 LED	130	
2	60W-12V LPV-60 POWER SUPPLY	2	
3	W. T. JUNCTION BOX w/ COVER (EL077)	1	EL077
4	18ga L.V. WIRE w/ FULL GTO COVER	2	20'-0"
5	18ga L.V. WIRE w/ GTO (JUMPS)	12	5'-0"
6	ELECTRICAL ENCLOSURE BOX	1	
7	.063" ALUM. ROUTED BACK	12	
8	.040" x 5" ALUM. RETURN	1	105'-0"
9	1" x 1" x .095" ALUM. TUBE	42	1/2"
10	HOLOFLEX w/ BLACK/RED WIRE	1	20'-0"
11	TOGGLE SWITCH w/ BOOT (EL018A)	1	
12	1-1/2" x 1-1/2" x 3/16" ALUM TUBE	1	1/2"



\* USE BOTTOM LEAD HOLES

DRAWN BY: F. BERGER 18-Feb-21  
 CHECKED BY: S. POWER 03-Apr-23  
 CUT FILE: 17-Dec-25 WEIGHT: 60 LBS.

target

2140 South Pokegama Avenue  
 Grand Rapids, MN

## ILLUMINATED CHANNEL LETTERS

08 ADDED LEAD HOLES TO CUT FILE S. POWER 17 29 25  
 UL REQUIREMENTS: AMP DRAW: 2.4 A @ 29  
 SIGN PROGRAM: SIGN SECTION 02 ENVIRONMENTAL LOCATION: DAMP 01  
 # OF SECTIONS 13 DISCONNECT SWITCH: YES 01

## Replacement Flex Faces f/ Existing Frames ( 2 Required )

Scale: 1/4" = 1'-0"

**SIGN  
7**

Drawing No.  
**TARG-RF0009** Item 2.

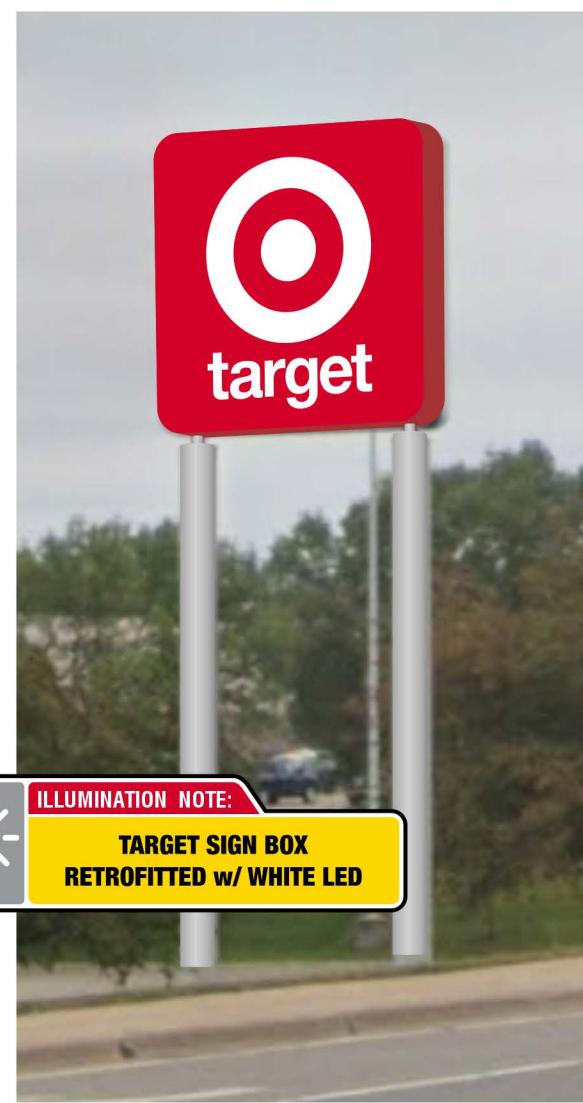
STRUCTURAL LED RETRO #

**TARG-RT000904.120A1**



### Material Specifications

- White flex face with Cardinal Red 3m 3630-53 translucent vinyl applied to 1st surface
- Note:
- New flex face installed onto existing frame ( On Site )



**Sign #7  
Face  
Replacements**

SIGN BOX AND FRAMES  
TO BE PAINTED RED  
ON-SITE.

STEEL POSTS TO BE  
PAINTED SILVER  
ON-SITE

■ Preliminary Artwork

■ Approved for Production

Graphic rendition is representative of specific signage.  
Colour / dimensional / material details shown  
using reference drawing specifications. Pro-  
not responsible for inherent variations and  
or print variations.

Councilmember Erkkila introduced the following resolution and moved for its adoption:

**RESOLUTION NO. 06-105**

**A RESOLUTION GRANTING A CONDITIONAL USE PERMIT, APPLIED FOR BY TARGET CORPORATION, FOR GENERAL SALES AND SERVICE (GREATER THAN 70,000 SQ. FT. BUILDING FOOTPRINT) TO ALLOW INTERIOR AND EXTERIOR REMODELING, SITE MODIFICATIONS, AND A 38,486 S.F. EXPANSION TO THE EXISTING STORE**

WHEREAS, a petition was received for a Conditional Use Permit for the purpose of allowing General Sales and Service (greater than 70,000 sq. ft. building footprint), on property legally described as Lot 1, Block 1, Mood Addition to Grand Rapids, Minnesota.

WHEREAS, the Planning Commission reviewed the request for a CUP and conducted a public hearing on this request on September 20, 2006, and all were heard who wished to speak on the matter.

WHEREAS, the Planning Commission made certain findings that the request for a CUP would meet the requirements of Section 30-531(e) and the Large Scale Commercial Design Standards, Division 14, of the City Code if certain conditions were applied; and

WHEREAS, the Planning Commission recommended approval of the CUP with the following recommendations:

- 1a) Require new entrance on 2<sup>nd</sup> Avenue SE to be signed for delivery vehicles only.
- (1c) If a variance is granted to allow less parking and if actual demand for parking does, in time, exceed the supply, the owner shall make site development changes needed to create additional on-site parking. Possible remedies could include utilization of the storm pond area for parking. The thresholds and remedies for such follow up action to be established through a development agreement between Target Corporation and the City.
- (2) Require the proposed sidewalk that extends the depth of the parking tier in front of the store entrance to be widened from 5', as proposed to 10' in width.
- (3c) Shift the walkway, proposed to be adjacent to the 25' tall building wall, 6' plus or minus away from the building wall to make the environment less institutional and more pedestrian friendly. (possible options: construct sidewalk at 6' away from the building for green space/mulching area and/or work with City staff to fill with paving materials).
- (4a) Mitigation of the 3 trees removed east of the shipping dock addition through the installation of 3 additional canopy or evergreen trees, in the same general location, meeting the minimum size requirements.
- (4b) Replace the six large trees removed from the south woodlot with 12 trees to be installed in areas to the east and northwest of the loading area to better screen that area from the streets.
- (5) If seasonal sales or storage of seasonal sales are conducted in non-enclosed areas in the future, the requirements of Section 30-902h(4) are to be adhered to.
- Require the extension of sanitary sewer to be an 8" diameter to meet City standards.

WHEREAS, the City Council, upon review of the minutes, findings and recommendations of the Planning Commission, accepts and specifically adopts the findings and recommendation of the Planning Commission; that the establishment, maintenance and operation of the use contemplated by the proposed CUP:

1. Will not be detrimental to the public health, safety, morals or general welfare;
2. Will not cause undue traffic congestion or hazards and will not result in a parking shortage;
3. Will not be injurious to the use and enjoyment or result in a decrease in value of other property in the area;
4. Will not impede the orderly development of other property in the area;
5. Will not impose an excessive burden on parks and other public facilities and utilities;
6. Is consistent with the Comprehensive Plan

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF GRAND RAPIDS, MINNESOTA that a Proposed

A00061927

OFFICE OF THE COUNTY RECORDER  
ITASCA COUNTY, MINNESOTACERTIFIED, FILED, AND  
RECORDED ON

02/20/2008 01:30:00PM

FILE #

PAGES 3  
REC FEES \$46.00JEAN BENGSTON WINTER  
ITASCA COUNTY RECORDERBY CV Dep

Conditional Use Permit be granted to Target Corporation to allow interior and exterior remodeling, site modifications, and a 38,486 s.f. expansion to the existing store, on property legally described above, subject to the recommendations listed above.

Adopted by the Council this 10<sup>th</sup> day of October 2006.

Susan Zeige  
Susan Zeige, Mayor

ATTEST:

Karen Alto  
Karen Alto, Interim City Clerk

Councilmember Driscoll seconded the foregoing resolution and the following voted in favor thereof Schlauderaff, Driscoll, Erkkila, Zeige; and the following voted against same Drake whereby the resolution was declared duly passed and adopted.

## LAND DEVELOPMENT REGULATIONS

§ 30-901

to limit impacts of high densities by requiring seasonal use, improving vegetative screening, centralizing shore recreation facilities, installing new sewage treatment systems, or other means.

(Code 1978, § 23.17(J); Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007)

**Secs. 30-810—30-899. Reserved.**

**DIVISION 14. LARGE SCALE COMMERCIAL DEVELOPMENT STANDARDS**

**Sec. 30-900. Purpose and intent.**

(a) *Purpose.* The purpose of these standards are to ensure large scale commercial development is to provide compatible design, size and layout considerations to the unique built and natural environment of Grand Rapids.

(b) *Intent.* The intent of these development standards is to provide standards that influence building and site design of large scale development that creates a smaller scale, feel and relationship to the small town atmosphere of Grand Rapids. Large scale commercial development has the potential to distract, disrupt or adversely impact the natural and built environment of Grand Rapids and the surrounding area. When properly implemented, the standards contained in this section minimize impacts to better integrate these developments within the context of the community. This section establishes standards that regulate the location, appearance and function of buildings; off-street parking and circulation; vehicular and pedestrian access; loading areas; yard spaces; and preservation of natural site amenities. It is not the intent of the City of Grand Rapids to unnecessarily over-regulate large scale commercial development when these uses provide retail services and create market dynamics that are a benefit to the greater good of Grand Rapids and its market area.

(Ord. No. 05-05-08, 5-18-2005; Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007)

**Sec. 30-901. Applicability.**

(a) *New large scale commercial development.* The standards contained in this section apply to commercial development that has a building footprint area exceeding 70,000 square feet.

(b) *Existing large scale commercial development.* When triggered by occupation; change in use; building enlargement, expansion, or modification; or site modifications to commercial development with building footprints exceeding 70,000 square feet, the provisions of Section 30-458 are applicable.

(c) *Procedure.* All commercial development meeting the applicability criteria of this section will be reviewed by the conditional use permit process contained in Section 30-531.

(Ord. No. 05-05-08, 5-18-2005; Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007)

**Sec. 30-902. Site design standards.**

The following section outlines the guidelines and standards required for large scale commercial development within the City of Grand Rapids. The following site and building design standards present the objectives for development with regards to site planning and building design.

- (1) *Site planning.* Site planning as it relates to the commercial and community context shall be considered. Buildings shall be located to relate to adjacent streets, other adjacent commercial development, residential neighborhoods, and community features. Grand Rapids has a wealth of natural features which need proper attention and consideration during the site planning process. These features create intrinsic site value when properly integrated into development planning by providing opportunities to create outdoor spaces that convey community identity.
- (2) *Building setbacks.* Building setbacks are as required by applicable zoning districts.
- (3) *Parking and vehicular circulation.*
  - a. Standards for minimum and maximum parking space ratios, parking lot space sizes and design, and interior landscaping are applicable.
  - b. The distribution of parking spaces shall be arranged to provide convenient vehicular and pedestrian movement. Consideration for the distance from the furthest parking space to building entries shall be given as well as the route by which people walk from their car to the building entry.
  - c. Off-street parking spaces shall be located in two yard spaces. This standard may be relaxed if:
    1. The majority of parking area is screened by natural vegetation or outlot development sites.
    2. Parking in only one yard space will preserve features of the site that can be considered as site amenities.
  - d. A traffic study shall accompany the application showing the proposed amount of traffic generated by the development and its impact on surrounding roadways including existing and proposed levels of service at intersections. The developer shall consult with city staff to establish parameters of study and its scope.
  - e. Parking lots shall incorporate other natural features, design elements, or functional elements such as stormwater management systems internally within the parking lot to break up the parking lot into smaller areas to minimize negative visual impacts.
  - f. Driveways and isles shall be located in a manner to relate to surrounding roadway systems, driveways serving adjacent development, and other land uses that may be negatively impacted by high levels of traffic.
  - g. Differing pavement surfaces shall be used to define vehicle isles and pedestrian walkways and crossing areas.

## LAND DEVELOPMENT REGULATIONS

§ 30-902

- h. Pedestrian walkways shall be incorporated into the parking lot to minimize potential conflicts with vehicles.
- (4) *Pedestrian and bicycle circulation*
  - a. Sidewalks and/trails shall be provided along the all sides of the site perimeter with street frontage. Trails shall be provided as needed to connect the site to community trail systems and/or link to natural site amenities. Widths and locations of the sidewalks and trails shall be determined by their intended use and guided by the city.
  - b. Bicycle racks shall be provided in close proximity to building entrances.
- (5) *Landscaping and screening*
  - a. Minimum standards for tree preservation and landscaping shall apply as regulated in sections 30-594 and 30-595.
  - b. Special landscaping attention shall be given to loading areas. Buffering techniques that incorporate berthing shall be used when adjacent to residential areas if a building entrance is not present.
  - c. Mature trees along the perimeter of the site shall be preserved to create development "rooms" that aid to minimize the scale of development.
  - d. Additional landscaping to minimize the impacts of large parking areas and building size shall be provided as determined necessary by the city.
- (6) *Community spaces.* Sites should provide attractive and inviting pedestrian scale features, spaces and amenities. Entrances and parking lots should be configured to be functional and inviting with walkways conveniently tied to logical destinations. Pedestrian ways should be anchored by special design features such as towers, arcades, porticoes, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces. The features and spaces should enhance the building as integral parts of the community fabric. Other features to be considered for site amenities include patio/seating area, pedestrian plaza with benches, transportation center, window shopping walkways, outdoor play area, kiosk area, water feature, clock tower, steeple, or other such deliberately shaped area and/or a focal feature or amenity that, in the judgment of the City, adequately enhances such community and public spaces.
- (7) *Walls and fences.* Walls and fencing may be used in cases where natural landscaping is not adequate for screening purposes. Fencing materials and design shall relate to the building design and character when used. Additional landscaping treatment may be required to soften the fence from public view.
- (8) *Outdoor storage, trash collection and loading.* Loading areas and outdoor storage areas exert visual and noise impacts on surrounding development and residential areas. These areas, when visible from adjoining properties and/or public streets, should be screened, recessed or enclosed. While screens and recesses can effectively mitigate

these impacts, the selection of inappropriate screening materials can exacerbate the problem. Appropriate locations for loading and outdoor storage areas include areas between buildings, where more than one building is located on a site and such buildings are not more than 40 feet apart, or on those sides of buildings that do not have customer entrances. In addition, the following standards apply:

- a. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from public or private rights-of-way or residential areas.
- b. All storage, collection, and compaction of trash shall occur within the principal building.
- c. Loading docks, truck parking, utility meters, HVAC equipment, and other service functions shall be incorporated into the overall design of the building and the landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets.
- d. Non-enclosed areas for the storage and sale of seasonal inventory shall be permanently defined and screened with walls and/or fences. Materials, colors, and designs of screening walls and/or fences and the cover shall conform to those used as predominant materials and colors of the building. If such areas are to be covered, then the covering shall conform to those used as predominant materials and colors on the buildings.

(9) *Shopping cart management.* Defined areas for the storage of shopping carts shall be provided. Overnight outdoor storage within parking lots shall not be permitted.

(Ord. No. 05-05-08, 5-18-2005; Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007)

### **Sec. 30-903. Building design standards.**

The size of large commercial buildings can have a positive or negative impact on community character. By identifying appropriate building design standards for large commercial development, these buildings can become community assets that help promote the image, identity and economy of Grand Rapids. By encouraging designs that play down size, relate to community character and provide a human scale, provide a higher probability of producing positive benefits to the community including their eventual reuse.

(1) *Building width and facade.* The building width and facade treatment may be the most important design considerations as they convey first and lasting impressions of the development. Long building facades with no articulation can present a generic low quality image. Grand Rapids development character needs to reinforce smaller scale character elements that have a greater degree of human scale. The following standards shall apply to building facades and exterior walls.

- a. For exterior walls that front on a public street, the facade shall be articulated so that there are projections and recesses every 100 feet. The minimum projection and recess shall be 5 feet.

## LAND DEVELOPMENT REGULATIONS

§ 30-904

- b. **Materials and colors.** Buildings shall incorporate high quality materials that provide long term durability and design appeal. Concrete cinder block and metal siding are prohibited on building facades that face public streets. Facade colors shall be low reflectance and subtle. High intensity colors are prohibited but complementary colors that accent primary colors are acceptable.
  - c. *Building height.* As prescribed by the zoning district.
  - d. *Rear facades.* Rear facades or facades not fronting public streets should be designed to compliment the front facade.
  - e. *Entries and window treatment*
- 1. Buildings shall incorporate canopies, awnings, or porticos that clearly identify building entry locations. The size and design of these treatments shall integrate with the overall building architecture.
- 2. Windows should be incorporated into street facing facades except for those facades that are loading areas. Windows shall have functional two-way glass.
  - f. *Roof treatment.* Variations in roof lines should be used to add interest to and reduce the massive scale of large buildings. Rooftop equipment shall be designed to blend into the building or be concealed through the use of features such as parapets, mansard roofs, gable roofs, hip roofs, or dormers.
  - g. *Signage.* Signage both wall and freestanding, shall be consistent with the over all building design character. Sign area and height shall be as prescribed in division 10, article VI.
  - h. *Lighting.* A comprehensive lighting plan shall be developed for building and site lighting. Lighting shall not produce unnecessary glare or light pollution.

(Ord. No. 05-05-08, 5-18-2005; Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007)

#### Sec. 30-904. Other requirements.

The following shall also be required:

- (1) *Adaptability for reuse plan.*
  - a. The building design for a retail use shall demonstrate how the building is designed for adaptation to a multi-tenant building in the event of the abandonment of the large scale commercial store. The design may include, but is not limited to, compartmentalized construction, including plumbing, electrical, service, heating, ventilation, air conditioning and wall placement. The plans shall also demonstrate how the exterior of the building can be divided into separate tenancies, facades can be adapted to separate entrances, parking can be shared, and the exterior can be maintained as a multi-tenant building.
  - b. When a business relocates to another building, the owner shall not place restrictions on the use or occupancy of the previously occupied property through the use of deed restrictions, covenants, or other means which would encumber the

§ 30-904

## GRAND RAPIDS CODE

property's reuse in the open market. Every attempt shall be made by the owner to sell or lease the building to a use(s) allowed under zoning district requirements without prohibition of similar uses that may pose competition.

(2) *Environmental review.* Large scale commercial development with buildings over 125,000 square feet are required to prepare an Environmental Assessment Worksheet (EAW) as prescribed by Minnesota Rules Chapter 4410. The city will serve as the responsible governmental unit (RGU) for review of the EAW unless otherwise assigned.

(Ord. No. 05-05-08, 5-18-2005; Ord. No. 07-03-06, § 2(Exh. A), 3-27-2007)

**Secs. 30-905—30-949. Reserved.**

**DIVISION 15. TELECOMMUNICATIONS TOWERS AND FACILITIES**

**Sec. 30-950. Purpose and intent.**

(a) The Federal Communications Act of 1934 as amended by the Telecommunications Act of 1996 ("the Act") grants the Federal Communications Commission exclusive jurisdiction over the regulation of the environmental effects of radio frequency emissions from telecommunications facilities and the regulation of radio signal interference among users of the radio frequency spectrum.

(b) Consistent with the Act, the regulation of towers and telecommunications facilities in the city will not have the effect of prohibiting any person from providing wireless telecommunications services. The general purpose of this section is to regulate the placement, construction, and modification of telecommunication towers and facilities in order to protect the health, safety and welfare of the public, while not unreasonably interfering with the development of the competitive wireless telecommunications marketplace in the city. In addition, this section recognizes the contractual control for the purpose of preserving public health, safety, and welfare that can be exercised over telecommunications facilities when those facilities are located on property owned or controlled by governmental entities. Specifically, the purposes of this section are:

- (1) To regulate the location of telecommunication towers and facilities;
- (2) To protect residential areas and land uses from potential adverse impacts of telecommunication towers and facilities;
- (3) To minimize adverse visual impacts of telecommunication towers and facilities through design, site, landscaping, and innovative camouflaging techniques;
- (4) To promote and encourage shared use and collocation of telecommunication towers and antenna support structures;



CITY OF  
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IT'S IN MINNESOTA'S NATURE

Item 2.

# Public Hearing

## CUP Amendment Request: Target

**February 5, 2026**



# CUP Amendment Request

- **Petitioner:** RSP Architects on behalf of Target Corporation.
- **Filing Date:** December 30, 2025
- **Requested CUP Amendment:** would allow for the updating of the building's current exterior paint colors to the current Target brand standard with red accent, updating of existing building signage, and minor improvements necessary to comply with ADA requirements.
- **Subject Property:** 10.8 acres located at 2140 S Pokegama Ave, Grand Rapids, MN

*Lot 1, Block 1, Mood Addition to Grand Rapids, Itasca County, Minnesota*

- **Present Use of Property:** 128,378 sq. ft. Target store.



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IT'S IN MINNESOTA'S NATURE

# CUP Amendment Request

Item 2.

## Subject Property:

- 2140 S. Pokegama Ave





# CUP Amendment Request

## **History of Division 14 - *Large Scale Commercial Development Standards*:**

- **February 2004** - City adopts updated **Comprehensive Plan**, identifies the need to update **Zoning Ordinance**. As part of this process, the **City Council** had discussions specific to the impacts of large-scale commercial development in the City.
- As a response to that, an established **Zoning Ordinance Revision Steering Committee** developed standards for large scale retail general sales and service (buildings greater than 70,000 sq. ft.)
- The standards, which were later adopted as part of the **Zoning Ordinance**, established this category of use as a conditional use in GB/SGB zoning districts, with specific architectural and site design standards geared toward ensuring that large scale commercial development is compatible with the unique built and natural environment of Grand Rapids.
- The **CUP Process** allows for case specific public review/input into large scale retail projects.



# CUP Amendment Request

## *History of Division 14 - Large Scale Commercial Development Standards (cont.):*

**Generally, the proposed Large Scale Commercial Development Standards includes the following elements geared towards the integration of these types of developments within the context of the community:**

- Examination of the relationship of the proposed development with adjacent streets, businesses and neighborhoods and community features.
- Parking and vehicle and pedestrian circulation.
- Landscaping and Screening.
- Building Design Standards. \*
- Environmental review for buildings in excess of 125,000 sq.ft.

• **May 18, 2005 - Ordinance adopted.**

• **CUP's To Date: Wal-Mart (new store + amendments), Target (enlargement of existing store), L & M (reuse of former Wal-Mart building + amendment).**



# CUP Amendment Request

## Relevant Sections of Division 14:

### Section 30-903(1)b. Materials and colors

**Materials and colors. Buildings shall incorporate high quality materials that provide long term durability and design appeal. Concrete cinder block and metal siding are prohibited on building facades that face public streets. Facade colors shall be low reflectance and subtle. High intensity colors are prohibited but complementary colors that accent primary colors are acceptable.**



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Item 2.

# CUP Amendment Request

## Proposed Exterior Building Color Changes





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# CUP Amendment Request

## Proposed Exterior Signage Changes:





# CUP Amendment Request

## **Recommended (Potential) Condition for Approval:**

**Staff has reviewed the application and the associated changes to the approved development plans and provided the following comment and potential condition:**

- 1. That all previously imposed conditions under City Resolution No. 06-105 remain in effect.**



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Item 2.

# CUP Amendment Request

## Planning Commission Considerations:

### PLANNING COMMISSION

#### CONSIDERATIONS

#### CONDITIONAL USE PERMIT

1. Will not be detrimental to the public health, safety, morals, or general welfare?  
Why/Why not?
2. Will not cause undue traffic congestion or hazards and will not result in a parking shortage?  
Why/Why not?
3. Will not be injurious to the use and enjoyment or result in a decrease in value of other property in the area?  
Why/Why not?
4. Will not impede the orderly development of other property in the area?  
Why/Why not?
5. Will not impose an excessive burden on parks and other public facilities and utilities?  
Why/Why not?
6. Is consistent with the Comprehensive Plan?  
Why/Why not?



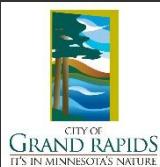
CITY OF  
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IT'S IN MINNESOTA'S NATURE

Item 2.

# Questions?

## CONSIDERATIONS CONDITIONAL USE PERMIT

1. Will not be detrimental to the public health, safety, morals, or general welfare.
2. Will not cause undue traffic congestion or hazards and will not result in a parking shortage.
3. Will not be injurious to the use and enjoyment or result in a decrease in value of other property in the area.
4. Will not impede the orderly development of other property in the area.
5. Will not impose an excessive burden on parks and other public facilities and utilities.
6. Is consistent with the Comprehensive Plan.



# Planning Commission Staff Report

Vacation	Community Development Department	Date: 2/5/26
<b>Statement of Issue:</b>	Consider a recommendation to the City Council regarding the vacation of an alley right-of-way within Block 26, Grand Rapids Second Division.	
<b>Background:</b>	<p>On January 12, the Grand Rapids Economic Development Authority (GREDA) applied requesting the vacation of the following described <u>public right-of-way</u>:</p> <p><b><i>The North – South alley lying adjacent to Lots 1-12, Block 26, Grand Rapids Second Division, Itasca County, Minnesota.</i></b></p> <p>This alley ROW is within the site of the former Itasca Farm Service Co-op that is a redevelopment focus for GREDA. Currently, GREDA is pursuing funding to demolish existing structures and prepare the site to market it for 'pad ready' development.</p> <p>The vacation request, if approved, would remove the unimproved right-of-way from the property, providing a clean title to the site to facilitate a potential future sale.</p> <p>The staff review committee have no concerns or objections regarding the petitioned right-of-way vacation. The staff review committee consists of the Engineering/Public Works Department, Community Development Department, Fire Department, Police Department, and the Grand Rapids Public Utilities Commission – electrical and water department managers.</p> <p>Minnesota Statutes 412.851 governs the procedures for vacating right-of-way (or a portion of) in a statutory city. Under this statute the City Council has the authority to vacate public right-of-way on its own motion or through a petition of the majority of the landowners. The petition presented by GREDA 100% participation of adjacent landowners, and therefore is valid.</p>	
<b>Considerations:</b>	When considering the vacation of public right-of-way, the Planning Commission must make findings of fact based on the attached list of considerations.	
<b>Recommendation:</b>	<p>Staff recommends that the Planning Commissioners visit the site, review the comments submitted by the Review Committee, and review the relevant sections of the Comprehensive Plan.</p> <p>Prior to making a recommendation to the City Council to approve/not approve the vacations, the Planning Commission should make specific</p>	

	<p>findings to support its recommendation and reference those specific findings in their motion to either approve or not approve the right-of-way vacation.</p>
<b>Required Action:</b>	<p>Pass a motion forwarding a recommendation to the City Council for approval or non-approval of the proposed public right-of-way.</p> <p><u>Example Motion:</u></p> <p>Motion by _____, second by _____ that, based on the findings of fact presented here today, and in the public's best interest, the Planning Commission does hereby forward to the City Council a recommendation to <b>(approve) (not approve)</b> the vacation of public rights-of-way described as:</p> <p><i>The North – South alley lying adjacent to Lots 1-12, Block 26, Second Division, Grand Rapids, Itasca County, Minnesota.</i></p> <p><u>Contingent on the following stipulation(s):</u></p> <ul style="list-style-type: none"> <li>• _____.</li> </ul>
<b>Attachments:</b>	<ul style="list-style-type: none"> <li>• Site/Area Maps and Plat</li> <li>• Public Vacation Application/Petition</li> <li>• Staff Review Committee Comments</li> <li>• List of the Planning Commissions Vacation Considerations</li> <li>• Staff presentation</li> </ul>



900 NW 4<sup>th</sup> St – site of the former Itasca Farm Service Co-op

***The North – South alley lying adjacent to Lots 1-12, Block 26, Grand Rapids  
Second Division, Itasca County, Minnesota.***



**Required Submittals:** Application Fee - \$505.00 \*<sup>1</sup>       Location Map       Petition for Vacation Proof of Ownership – (a copy of a property tax statement or deed will suffice)

*\*<sup>1</sup>The application fees charged are used for postage to mail the required notices to adjacent properties, publication of the public hearing notice in the Grand Rapids Herald Review, and for a small portion of staff time for case review and preparation of documents. It is the policy of the City of Grand Rapids to require applicants for land use approvals to reimburse the City for costs incurred by the City in reviewing and acting upon applications, so that these costs are not borne by the taxpayers of the City.*

**Justification of Proposed Vacation:** Please answer the following question (attach additional pages if needed). The Planning Commission and City Council will consider these questions and responses, and other issues (see attached list) in making their findings of fact and recommendation on the proposed rezoning.

1. Explain why the proposed vacation would be in the public's best interest. Please refer to the factors being considered by the Planning Commission and City Council that are listed on the final page of this application.

GREDA is preparing the property on both sides of the platted alley for redevelopment. The alley is not needed for a public purpose and vacating it will facilitate economic development and place additional land on the tax rolls.

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**Additional Instructions:**

Prior to submitting your Petition for Vacation, you will need to arrange for one or more preliminary meetings with the Director of Community Development. This meeting is intended to ensure that the proposed application is complete, to answer any questions the applicant may have, discuss meeting schedules and, if applicable, the scope of the required submittals.

**Findings for Approval:**

The Planning Commission, in formulating its recommendation, and the City Council, in support of its action will make findings of fact based on their responses to the following list of considerations:

- Is the street right-of-way needed for traffic purposes?
- Is the street right-of-way needed for pedestrian purposes?
- Is the street right-of-way needed for utility purposes?
- Would vacating the street right-of-way place additional land on the tax rolls?
- Would vacating the street right-of-way facilitate economic development in the City?

In cases where a street/alley or public right-of-way is adjacent to a public water (lake or river), the City will also give consideration to comments submitted by the Minnesota Department of Natural Resources.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Complete applications shall be submitted to the Community Development Department one month prior to the Planning Commission's review of the vacation. More information may be requested by the City of Grand Rapids Planning Commission or City Council, if deemed necessary to properly evaluate your request. The lack of information requested may be in itself sufficient cause to deny an application.

**Petition for Vacation**

PETITION FOR VACATION OF (PART OF) N/S ALLEY, BLOCK 26 (STREET/ALLEY/BASEMENT) IN THE CITY OF GRAND RAPIDS.

To the City Council of Grand Rapids, Minnesota:

The undersigned, a majority of the owners of property as set forth opposite their respective names, abutting on N/S ALLEY, BLK 26 (Street/Alley/Easement), respectfully petition the City Council to vacate the aforesaid (part of) N/S ALLEY, BLK 26 (Street/Alley/Easement).

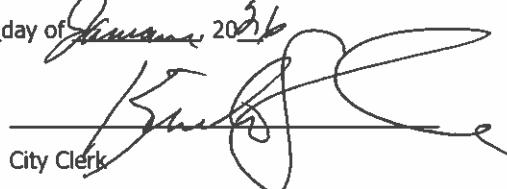
Names (If not owner, describe nature of the interest in this property)

GRAND RAPIDS EDA

Description of Property

LOTS 1-12, BLK 26  
G.R. SECOND

Received on the 6 day of January, 2016

  
City Clerk

*This petition must be signed by at least FIFTY PERCENT (50%) of the property owners, or those with property interests abutting the property (street, alley or easement) to be vacated. Please provide the appropriate number of names and addresses and signatures, as needed to meet this requirement (attach additional sheet if necessary).*

**From:** [Travis Cole](#)  
**To:** [Will Richter](#); [Julie Kennedy](#); [Andy Morgan](#); [Matt Wegwerth, PE](#)  
**Cc:** [Steve Mattson](#); [Chad M. Troumby](#)  
**Subject:** Re: Vacation request - alley ROW, Block 26, Grand Rapids Second Division  
**Date:** Tuesday, January 13, 2026 3:45:50 PM

---

No issues from the Grand Rapids Fire Department.

### Get [Outlook for iOS](#)

**From:** Will Richter <[wrichter@grandrapidsmn.gov](mailto:wrichter@grandrapidsmn.gov)>  
**Sent:** Monday, January 12, 2026 8:14:58 AM  
**To:** Travis Cole <[tcole@grandrapidsmn.gov](mailto:tcole@grandrapidsmn.gov)>; Julie Kennedy <[jakennedy@grpuc.org](mailto:jakennedy@grpuc.org)>; Andy Morgan <[amorgan@grandrapidsmn.gov](mailto:amorgan@grandrapidsmn.gov)>; Matt Wegwerth, PE <[mwegwerth@grandrapidsmn.gov](mailto:mwegwerth@grandrapidsmn.gov)>  
**Cc:** Steve Mattson <[srmattson@grpuc.org](mailto:srmattson@grpuc.org)>; Chad M. Troumby <[cmtroumby@grandrapidsmn.gov](mailto:cmtroumby@grandrapidsmn.gov)>  
**Subject:** Vacation request - alley ROW, Block 26, Grand Rapids Second Division

All;

Please review the attached memo regarding a vacation request at the site of the former Itasca Farm Service Co-op and provide comment.

Thank you,

### **Will Richter | Zoning Administrator**

---

**City of Grand Rapids**  
[wrichter@grandrapidsmn.gov](mailto:wrichter@grandrapidsmn.gov)  
[cityofgrandrapidsmn.com](http://cityofgrandrapidsmn.com)  
Office: 218-326-7650 • Fax: 218-326-7621

---

420 N Pokegama Ave. • Grand Rapids • MN • 55744-2662

**From:** [Andy Morgan](#)  
**To:** [Will Richter](#)  
**Subject:** Re: Vacation request - alley ROW, Block 26, Grand Rapids Second Division  
**Date:** Monday, January 12, 2026 8:36:52 AM

---

Law enforcement sees no issue

**Get Outlook for iOS**

---

**From:** Will Richter <[wrichter@grandrapidsmn.gov](mailto:wrichter@grandrapidsmn.gov)>  
**Sent:** Monday, January 12, 2026 8:14:58 AM  
**To:** Travis Cole <[tcole@grandrapidsmn.gov](mailto:tcole@grandrapidsmn.gov)>; Julie Kennedy <[jakennedy@grpuc.org](mailto:jakennedy@grpuc.org)>; Andy Morgan <[amorgan@grandrapidsmn.gov](mailto:amorgan@grandrapidsmn.gov)>; Matt Wegwerth, PE <[mwegwerth@grandrapidsmn.gov](mailto:mwegwerth@grandrapidsmn.gov)>  
**Cc:** Steve Mattson <[srmattson@grpuc.org](mailto:srmattson@grpuc.org)>; Chad M. Troumby <[cmtroumby@grandrapidsmn.gov](mailto:cmtroumby@grandrapidsmn.gov)>  
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---

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[wrichter@grandrapidsmn.gov](mailto:wrichter@grandrapidsmn.gov)  
[cityofgrandrapidsmn.com](http://cityofgrandrapidsmn.com)  
Office: 218-326-7650 • Fax: 218-326-7621

---

420 N Pokegama Ave. • Grand Rapids • MN • 55744-2662

**From:** [Matt Wegwerth, PE](#)  
**To:** [Will Richter](#)  
**Cc:** [Rob Mattei](#)  
**Subject:** RE: Vacation request - alley ROW, Block 26, Grand Rapids Second Division  
**Date:** Monday, January 12, 2026 10:15:30 AM

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No concerns from Public Works.

### **Matt Wegwerth | Public Works Director / City Engineer**

---

**City of Grand Rapids**  
[mwegwerth@grandrapidsmn.gov](mailto:mwegwerth@grandrapidsmn.gov)  
[cityofgrandrapidsmn.com](http://cityofgrandrapidsmn.com)  
Office: 218-326-7625 • Fax: 218-326-7621

420 North Pokegama Avenue • Grand Rapids • MN • 55744-2662

**From:** Will Richter <[wrichter@grandrapidsmn.gov](mailto:wrichter@grandrapidsmn.gov)>  
**Sent:** Monday, January 12, 2026 8:15 AM  
**To:** Travis Cole <[tcole@grandrapidsmn.gov](mailto:tcole@grandrapidsmn.gov)>; Julie Kennedy <[jakennedy@grpuc.org](mailto:jakennedy@grpuc.org)>; Andy Morgan <[amorgan@grandrapidsmn.gov](mailto:amorgan@grandrapidsmn.gov)>; Matt Wegwerth, PE <[mwegwerth@grandrapidsmn.gov](mailto:mwegwerth@grandrapidsmn.gov)>  
**Cc:** Steve Mattson <[srmattson@grpuc.org](mailto:srmattson@grpuc.org)>; Chad M. Troumby <[cmtroumby@grandrapidsmn.gov](mailto:cmtroumby@grandrapidsmn.gov)>  
**Subject:** Vacation request - alley ROW, Block 26, Grand Rapids Second Division

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Thank you,

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---

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[cityofgrandrapidsmn.com](http://cityofgrandrapidsmn.com)  
Office: 218-326-7650 • Fax: 218-326-7621

420 N Pokegama Ave. • Grand Rapids • MN • 55744-2662

**From:** [Chad Troumby](#)  
**To:** [Will Richter](#); [Julie Kennedy](#)  
**Cc:** [Steve Mattson](#)  
**Subject:** RE: Vacation request - alley ROW, Block 26, Grand Rapids Second Division  
**Date:** Monday, January 12, 2026 3:59:50 PM  
**Attachments:** [Image002.png](#)

Will,

I do not see any issues with the alley.

I am more concerned with the primary underground (green). The secondary (purple) on the east side does not go anywhere; the meters have been removed but the west side is energized. A future meeting on power would be valuable.



Chad Troumby | Electric Department Manager  
 Grand Rapids Public Utilities  
 500 SE 4th St. | Grand Rapids, MN 55744  
 W: 218-326-7182 | M: 218-256-9753 | F: 218-326-7499  
[grpuc.org](http://grpuc.org) | "GRPUC – Service is Our Nature"



**From:** Will Richter <[wrichter@grandrapidsmn.gov](mailto:wrichter@grandrapidsmn.gov)>  
**Sent:** Monday, January 12, 2026 8:15 AM  
**To:** Travis Cole <[tcole@grandrapidsmn.gov](mailto:tcole@grandrapidsmn.gov)>; Julie Kennedy <[jakennedy@grpuc.org](mailto:jakennedy@grpuc.org)>; Andy Morgan <[amorgan@grandrapidsmn.gov](mailto:amorgan@grandrapidsmn.gov)>; Matt Wegwerth <[mwegwerth@grandrapidsmn.gov](mailto:mwegwerth@grandrapidsmn.gov)>  
**Cc:** Steve R. Mattson <[srmattson@grpuc.org](mailto:srmattson@grpuc.org)>; Chad M. Troumby <[cmtroumby@grandrapidsmn.gov](mailto:cmtroumby@grandrapidsmn.gov)>

**Subject:** Vacation request - alley ROW, Block 26, Grand Rapids Second Division

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All;

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Thank you,

**Will Richter | Zoning Administrator**

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Office: 218-326-7650 • Fax: 218-326-7621

---

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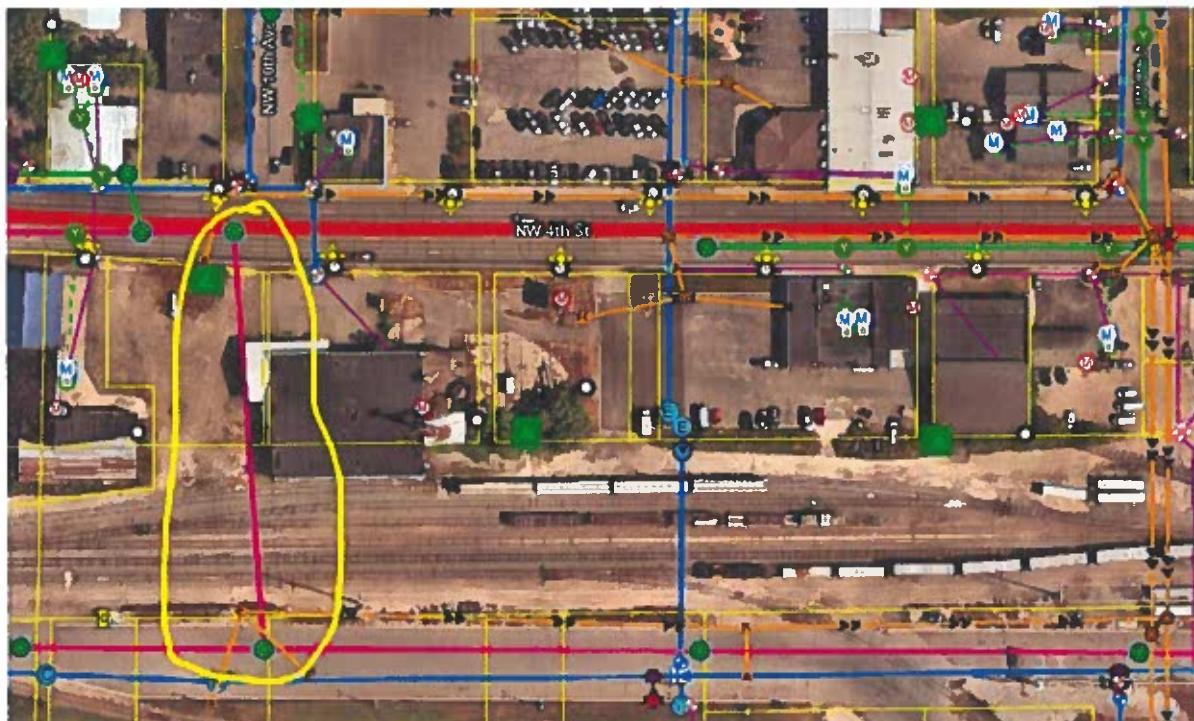
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**From:** Steve R. Mattson  
**To:** Will Richter, Travis Cole, Julie Kennedy, Andy Morgan, Matt Wegwerth, PE  
**Cc:** Chad M. Troumby  
**Subject:** RE: Vacation request - alley ROW, Block 26, Grand Rapids Second Division  
**Date:** Monday, January 12, 2026 4:04:46 PM  
**Attachments:** image001.png

Will,

GRPU Water/Sewer does not have any issues with proposed vacation request. However, we do want to note that there is a sanitary sewer line to the west of the current building (see below).



Steve Mattson | Water/Wastewater Department Manager  
 Grand Rapids Public Utilities  
 500 SE 4th St. | Grand Rapids, MN 55744  
 W: 218-326-7195 | M: 218-244-5092 | F: 218-326-7499  
[grpuc.org](http://grpuc.org) | "GRPUC – Service is Our Nature"



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**Cc:** Steve R. Mattson <[srmattson@grpuc.org](mailto:srmattson@grpuc.org)>; Chad M. Troumby <[cmtroumby@grandrapidsmn.gov](mailto:cmtroumby@grandrapidsmn.gov)>  
**Subject:** Vacation request - alley ROW, Block 26, Grand Rapids Second Division

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All;

Please review the attached memo regarding a vacation request at the site of the former Itasca Farm Service Co-op and provide comment.

Thank you,

**Will Richter | Zoning Administrator**

---

**City of Grand Rapids**

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Office: 218-326-7650 • Fax: 218-326-7621

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your contact info.

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## **PLANNING COMMISSION**

### **Considerations**

#### **RIGHT-OF-WAY VACATIONS**

1. Is the right-of-way needed for traffic purposes?

Why/Why not?

2. Is the right-of-way needed for pedestrian purposes?

Why/Why not?

3. Is the right-of-way needed for utility purposes?

Why/Why not?

4. Would vacating the right-of-way place additional land on the tax rolls?

Why/Why not?

5. Would vacating the right-of-way facilitate economic development in the City?

Why/Why not?



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Item 3.

# **Public Vacation Request**

## **Platted Alley ROW**

***Block 26, Grand Rapids Second Division***

**February 5, 2026**



# Public Vacation Request

- **Petitioner:** Grand Rapids Economic Development Authority
- **Filing Date:** January 12, 2026
- **Requested Vacation:** platted alley ROW

**Petitioner's Stated Reason for Request:** If approved, the vacations would remove the unimproved right-of-way from the property, providing a clean title to the site for potential future sale.

- **Legally Described Vacation Request:**

**The North – South alley lying adjacent to Lots 1-12, Block 26, Grand  
Rapids Second Division, Itasca County, Minnesota.**

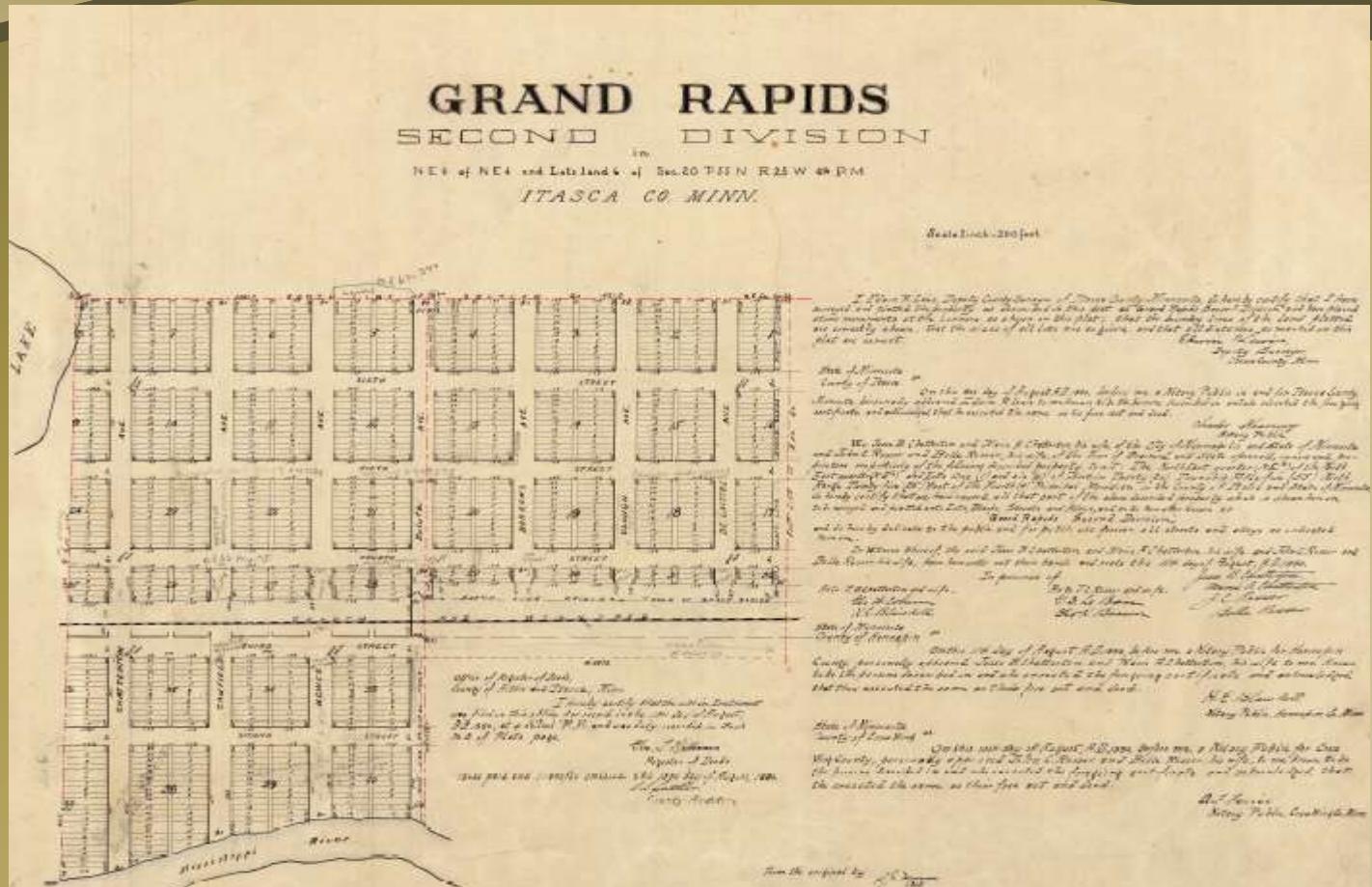
**\*Physical address: 900 NW 4<sup>th</sup> St. (site of former Itasca Farm Service Co-op)**



## Grand Rapids Second Division

## • Platted 1890

# Public Vacation Request

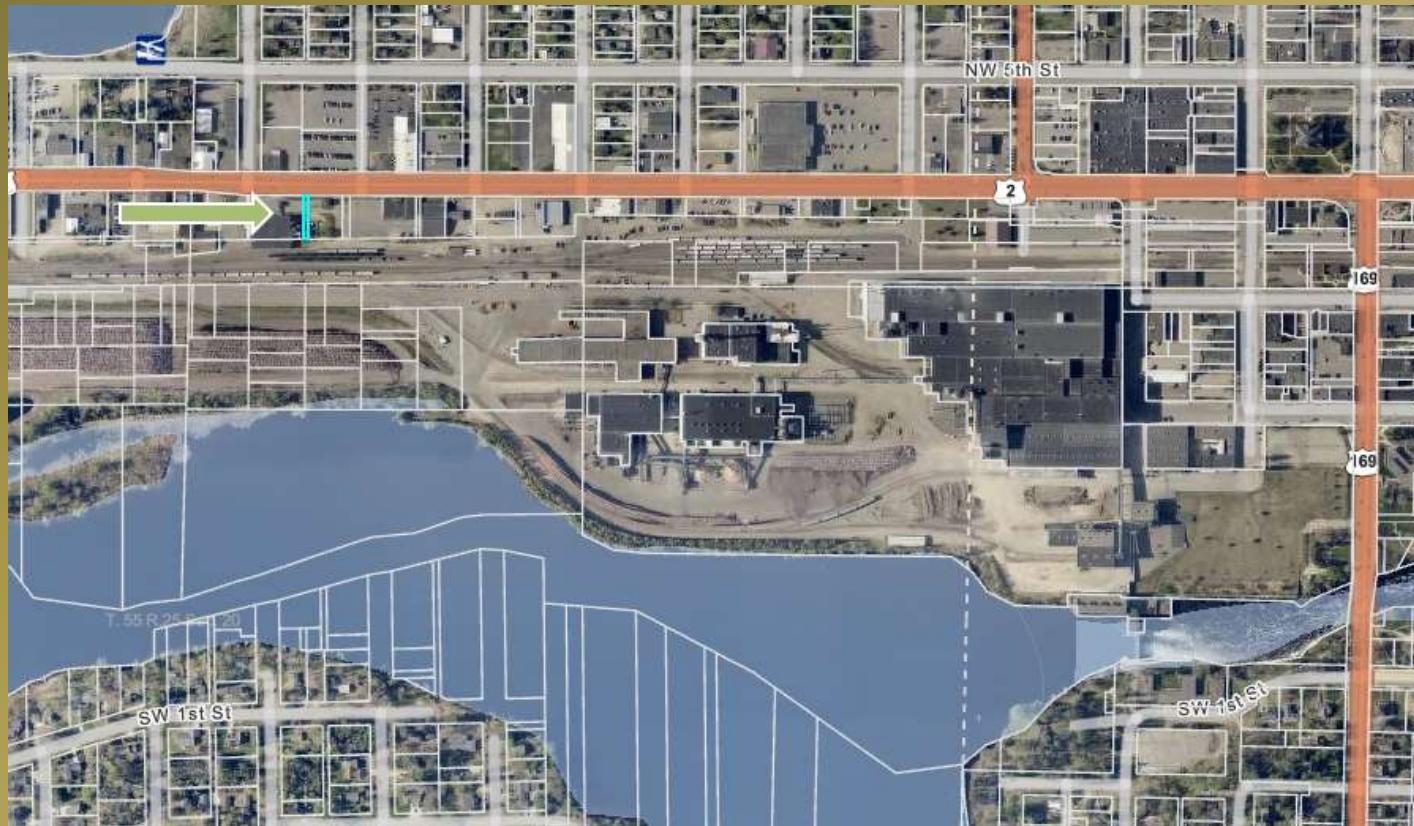




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# Public Vacation Request





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# Public Vacation Request

**Subject area:**

- ROW in red.





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# Public Vacation Request

## Subject area:

- Utilities and easements in the area





# Public Vacation Request

## Staff Review Committee:

- **Staff review committee consists of: Engineering/Public Works Department, Community Development Department, Fire Department, Police Department, and the Grand Rapids Public Utilities Commission.**
- **No issues/concerns with vacating - the alley right-of-way is not needed for a public purpose.**



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Item 3.

# Public Vacation Request

## Planning Commission Considerations:

### PLANNING COMMISSION

Considerations

### RIGHT-OF-WAY VACATIONS

1. Is the right-of-way needed for traffic purposes?  
Why/Why not?
  
2. Is the right-of-way needed for pedestrian purposes?  
Why/Why not?
  
3. Is the right-of-way needed for utility purposes?  
Why/Why not?
  
4. Would vacating the right-of-way place additional land on the tax rolls?  
Why/Why not?
  
5. Would vacating the right-of-way facilitate economic development in the City?  
Why/Why not?



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# Questions?