PLANNING & ZONING COMMISSION MEETING

Tuesday, May 27, 2025 at 6:00 PM

Agenda

1. **Call to Order**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
   - A) Review and Approve April 22, 2025 Board Minutes
4. **New Site Plan Considerations**
   - A) Discussion and Consideration of Gluckstadt Office Park Building C Site Plan
   - B) Discussion and Consideration of Citizens National Bank Site Plan
5. **New Plat Considerations**
   - A) Discussion and Consideration of GGL Business Park Preliminary Plat
   - B) Discussion and Consideration of GGL Business Park Final Plat
6. **New Business**
7. **Old Business**
   - A) Discussion and Consideration of 1265 Gluckstadt Road Site Plan
8. **Next Meeting**
   - A) The Next Planning and Zoning Meeting Will Be Held on June 24, 2025
9. **Adjourn**

MINUTES OF THE REGULAR MEETING
OF THE PLANNING AND ZONING COMMISSION
OF THE CITY OF GLUCKSTADT, MISSISSIPPI

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi ("the Board"), was duly called, held, and conducted on Tuesday, April 22, 2025, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Sam McGaugh (Chairman)
Melanie Greer (Vice-Chairwoman)
Andrew Duggar (via telephone)
Katrina B. Myricks
Phillips King

Absent:

Tim Slattery
Kayce Saik

Also present:

Zachary L. Giddy, Attorney
William Hall and Chris Buckner, City of Gluckstadt

Chairman Sam McGaugh called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Chairman Sam McGaugh opened the meeting with prayer and led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

1. Call to Order

2. Opening Prayer and Pledge of Allegiance

3. Consideration and Approval of Minutes

A) Review and Approve March 25, 2025 Board Minutes

4. New Site Plan Considerations

A) Discussion and Consideration of Application for Variance, Zaxby's Sign Height

5. Request for Rezoning

A) Discussion and Consideration of Application for Rezoning, Bellamare Development, LLC, 0828-09-002/04.00 (C-2 to SU-1)

B) Discussion and Consideration of Application for Rezoning, Agnes Estate, 082E-15-002/01.00 (A-1 to C-2)

C) Discussion and Consideration of Application for Rezoning, Agnes Estate, 082E-15-002/02.00 (A-1 to C-2)

D) Discussion and Consideration of Application for Rezoning, Agnes Estate, 082E-15-004/01.00 (A-1 to C-2)

6. New Business

A) Discussion and Consideration of 1265 Gluckstadt Road Site Plan

7. New Business

8. Next Meeting

A) The Next Planning and Zoning Meeting Will Be Held on May 27, 2025

9. Adjourn

The Board considered the Minutes of the March 25, 2025, regular meeting. Commissioner Melanie Greer moved to approve the minutes presented as written. The motion was seconded by Commissioner Katrina Myricks and approved unanimously by all present Commissioners. The Chairman declared the motion carried.

Hearing for Application for
Dimensional Variance for Zaxby's Sign Height

First came on for consideration an Application for Variance from the Sign Regulations by Scott Brown for Zaxby's for property located at 1198 Gluckstadt Road and identified as Tax Parcel No. 082E-21-010/00.00, in the City of Gluckstadt. The subject property is presently zoned C-2 Highway Commercial District. There was no one present to represent Zaxby's. William Hall advised that the applicant is requesting a variance of the ground sign regulations from 6 ft. to 40 ft. for the proposed Zaxby's sign. There was a question raised regarding number

of pole signs in the city and further discussion was had.

After discussion, Chairman Sam McGaugh called for a vote on the Application. On motion by Commissioner Melanie Greer and seconded by Commissioner Phillips King, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they deny the requested variance for Applicant to allow the proposed 40 ft. Zaxby's ground sign on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

Public Hearing for Application for Rezoning for Bellamare Development, LLC

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application to Rezone Real Property for Bellamare Development, LLC for property located near the intersection of Calhoun Station and Stout Road in the City of Gluckstadt and being identified as Tax Parcel No. 082B-09-002/04.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall presented the application and advised the Board that notice posting and publication requirements were met and that Applicant is requesting a rezoning to SU-1 Special Use District. The subject property is located adjacent to The Oaks assisted living facility. Mr. Andy Clark appeared and spoke on behalf of the Applicant. Mr. Clark advised the Board that the Applicant is currently under contract to purchase the subject property which consists of five (5) acre lot. Mr. Clark further advised that the proposed use is for an age restricted community and the facility's amenities will be for residents of the facility only. He further stated there is a public need for a retirement community in the area due to similar facilities in the area being full and having waiting lists. Mr. Clark advised that SU-1 is not listed for this property in the Transportation Plan; however, he believes it is the highest and best use for the property. Mr. Clark advised that notice letters were sent to property owners within 160 ft. of the subject property, and he advised he did receive a call from Cotton Row Investors, LLC; but did not state opposition.

Opposition was given an opportunity to respond.

Mr. Dillibabu Sriramulu with Haap Group, LLC appeared and spoke in opposition to the request as Haap Group owns property to the south of the subject property and expressed their concerns regarding the effect on the property values and its future plan for development.

There was no additional opposition present or any in support other than the Applicant's representative.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Katrina Myricks and seconded by Commissioner Melanie Greer, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested rezoning to rezone the subject property from C-2 Highway Commercial District to SU-1 Special Use District. The Chairman declared the motion carried.

Public Hearing for Applications for Rezoning
for Agnes Estate

The next matters before the Commission was three separate Requests for Rezoning for three adjacent parcels by Christy Stanley for Agnes Estate. On motion by Commissioner Greer and seconded by Commissioner Myricks, the Board present voted unanimously to combine the hearings for the three separate Requests for Rezoning for Agnes Estate as all three being requested by the same Applicant for and relate to three adjacent lots and are requesting the same rezoning. The Chairman declared the motion carried.

Chairman Sam McGaugh opened the Public Hearing on the three Requests for Rezoning Applications by Christy Stanley for Agnes Estate for property located at 330 Old Jackson Road, 336 Old Jackson Road in the City of Gluckstadt and being identified as Tax Parcel Nos. 082E-15-002/01.00; 082E-15-002/02.00; and, 082E-15-004/01.00. The subject property is presently zoned A-1 Agricultural District. William Hall presented the application and advised the Board that notice posting and publication requirements were met and that Applicant is requesting a rezoning to C-2 Highway Commercial District. The subject property is located on the East side of Old Jackson Road. Mr. Hall advised that properties adjacent to subject property have been rezoned and Applicant is requesting the rezoning due to the change in neighborhood and public need.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Melanie Greer and seconded by Commissioner Phillips King, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested rezoning to rezone the subject property from A-1 Agricultural District to C-2 Highway Commercial District. The Chairman declared the motion carried.

Site Plan – 1265 Gluckstadt Road

The Board next considered the site plan for Gluckstadt Management, LLC for property located at 1265 Gluckstadt Road in the City of Gluckstadt and identified by Tax Parcel Number 082H-28-008/04.00. William Hall presented Commissioners with the site plan. Subject property is on the south side of Weisenberger road with existing building. Applicant proposed to remodel for use as a medical clinic with proposed changes to the curb cut and additional parking for the clinic. Existing tenant will remain in the building. The Board had discussions on the site plan presented.

After discussions, on motion by Commissioner Phillips King and seconded by Commissioner Melanie Greer the Board present voted unanimously to table until the next regular scheduled Planning and Zoning Commission meeting to allow Applicant to provide additional

information. The Chairman declared the motion carried.

OLD BUSINESS

None.

NEW BUSINESS

None.

There was no further business to be presented.

ADJOURN

Commissioner Andrew Duggar moved that the meeting be adjourned. The motion was seconded by Commissioner Melanie Greer and approved unanimously by all present Commissioners. The Chairman declared the Motion carried.

WITNESS OUR HANDS, this the _____ day of _____, 2025.

_____
SAM McGAUGH, Chairman

_____
MELANIE GREER, Vice Chairman/Secretary

City of Gluckstadt

Application for Site Plan Review

Subject Property Address: _____

Parcel #: _____

Owner: Gluckstadt Office Park, LLC
Address: 102 Fallen Oak Rd. Madison, MS 39110

Phone #: (601) 940-2445
E-Mail: 2445thames@bellsouth.net

Applicant: Rob Thames
Address: 102 Fallen Oak Rd. Madison, MS 39110

Phone #: same
E-Mail: same

Current Zoning District: C2
Acreage of Property (If applicable): 0.99 acres
Use sought of Property: commercial office Building

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Section 807-810
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Section 808, Zoning Ordinance)

Three (3) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copy is required. Three (3) hard copies are required. Minimum Print size 24x36.

Site Plan Specifications (Section 809, Zoning Ordinance)

A. Lot Lines (property lines)
B. Zoning of the adjacent lots
C. The names of owners of adjacent lots
D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
F. All existing and proposed easements
G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.
I. Contours at vertical intervals of five (5) feet or less.
J. Floodplain designation, according to FEMA Maps.
K. Landscaped areas and planting screens.

L. Building lines and the locations of all structures, existing and proposed
M. Proposed uses of the land and buildings, if known
N. Open space and recreation areas, where required.
O. Area in square feet, and/or square acres of parcel
P. Proposed gross lot coverage in square feet
Q. Number and type of dwelling units where proposed
R. Location of sign structures and drawings. (Section 701)
S. Location of garbage dumpster and enclosure. (Section 406.06)
T. Any other data necessary to allow for a thorough evaluation of the proposed use, including a traffic study.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

Site Plans shall be submitted by the 1st day of the month preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

After the cut-off date, no changes can be made to the submitted site plan. You must wait for the next meeting.

By signing this application, the applicant agrees to all the terms and conditions laid out in this application.

Rob Evans (signature) 05/23/2025

Applicant Signature **Date**

Zoning Administrator Signature **Date**

PROXIMITY MAP

CODE REVIEW

PROJECT SCOPE OVERVIEW:
THE SCOPE OF WORK INCLUDES INTERIOR RENOVATION AS SHOWN ON THESE DRAWINGS.

APPLICABLE CODE:
2018 INTERNATIONAL BUILDING CODE

AREA TABULATION:
BUILDING 1714 SQ.FT.

USE AND OCCUPANCY CLASSIFICATION:
TYPE B

CONSTRUCTION TYPE:
TYPE VB
ONE STORY, NON-SPRINKLED

EGRESS:
SERVED BY ADEQUATE EXITS.
TRAVEL DISTANCES COMPLY.

OCCUPANCY LOAD:
10 PERSONS

SKYLINE

Gluckstadt Office Park
Building "C"
Off Old Jackson Road
Madison County, Mississippi
Project

Contractor

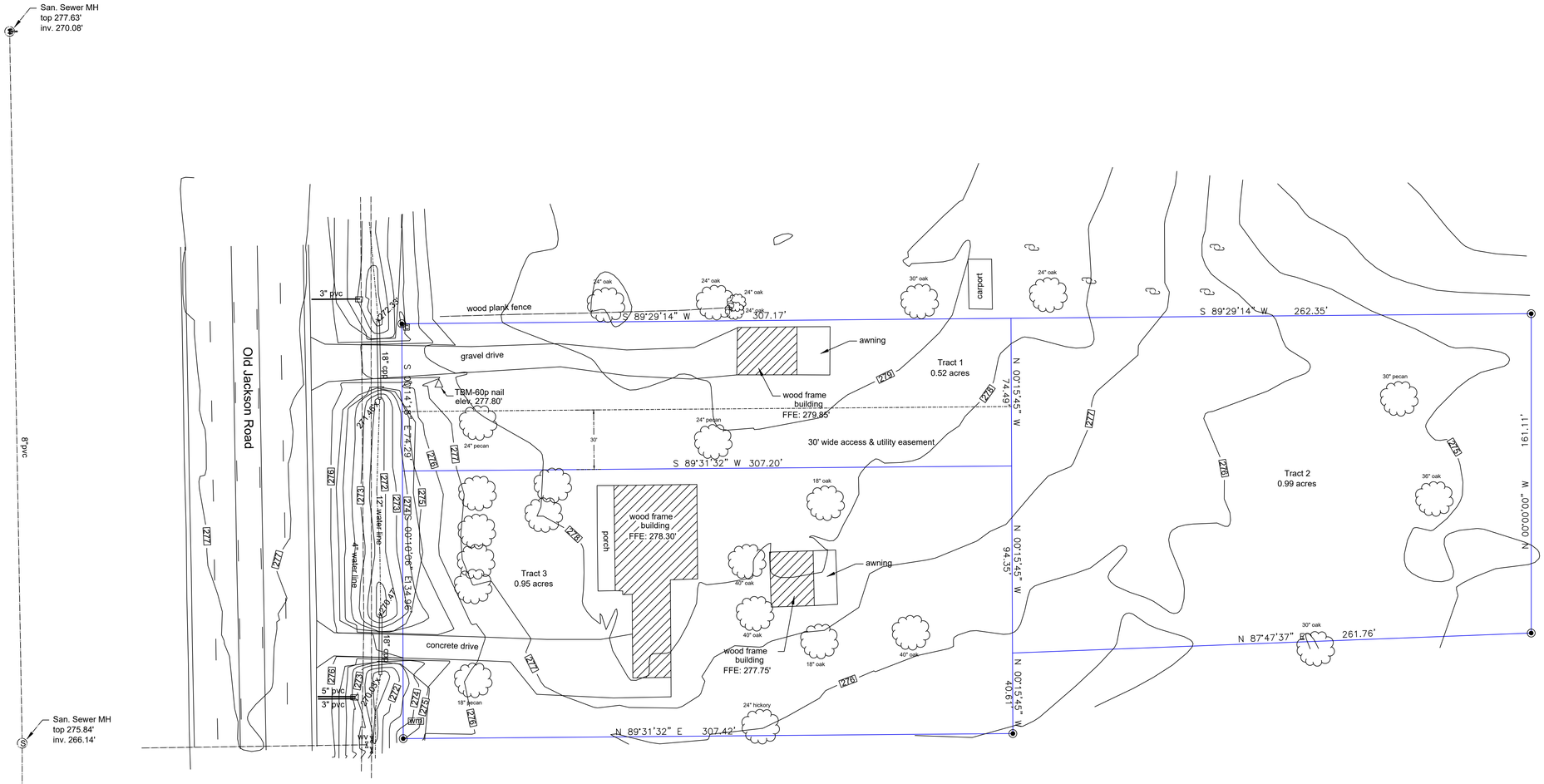
In Association With
P&N DESIGNS, LLC

P.O. Box 321356
Flowood, MS 39232
601-478-8348
skylinegroupms@yahoo.com

SKYLINE GROUP, LLC
—INNOVATION WITHOUT LIMITS—

Plan No. 25-128
Drawn By: JCP
Date : 4-24-25
Revised : 5-19-25

1 OF 13



TOPOGRAPHIC SURVEY

SCALE : 1" = 30'-0"

TOPOGRAPHIC SURVEY PREPARED BY:

Baird Engineering, Inc.
506 Jefferson St.
Clinton, MS 39056
601-925-5015

SKYLINE

Plan No.	25-128
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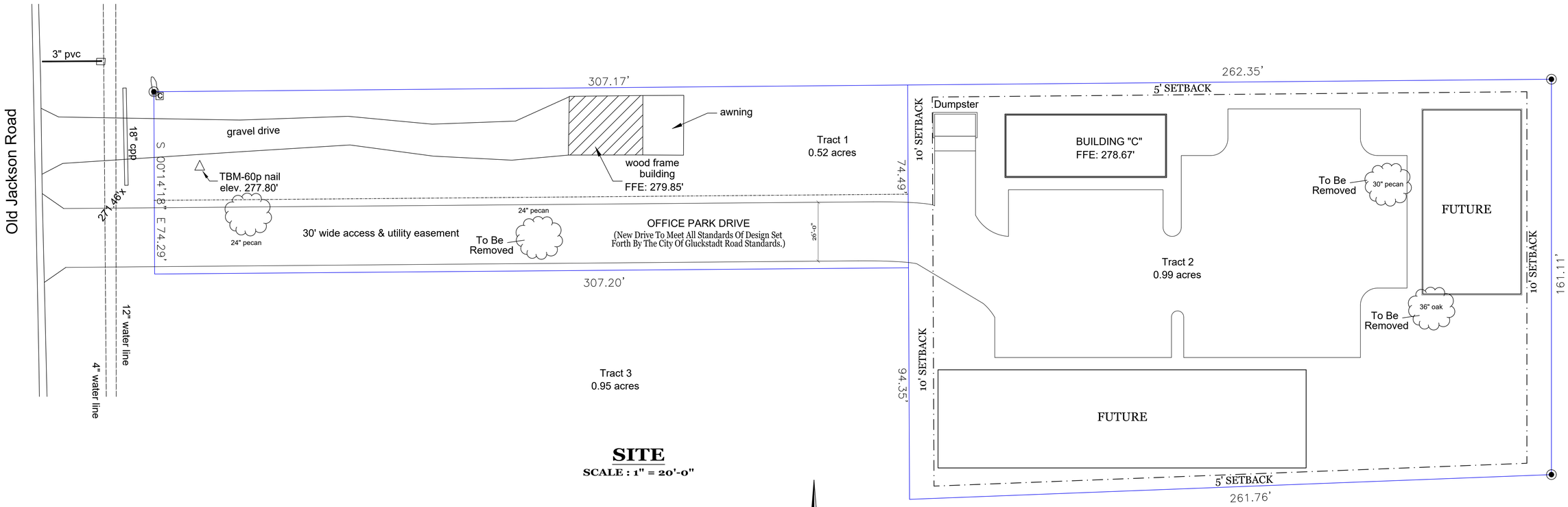
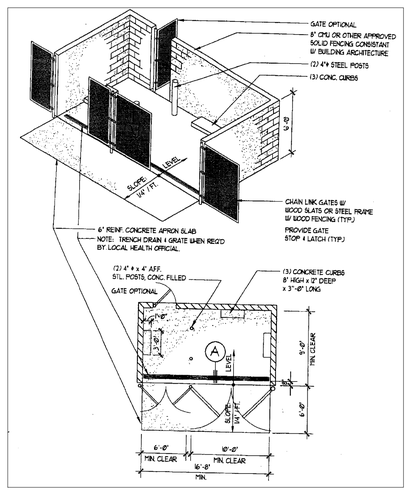


SITE
SCALE : 1" = 20'-0"

Location And Position Of Building(s) On Site Will Be Determined By Contractor.
Lot Easements Shall Be Checked And Verified By Contractor.
Finished Floor Elevation Shall Be A Minimum Of 8" Above Adjacent Finish
Grade Elevation Or Comply With Local Codes, Whichever Is Greater.
All Drainage Shall Flow Away From Building(s).



DUMPSTER

SKYLINE

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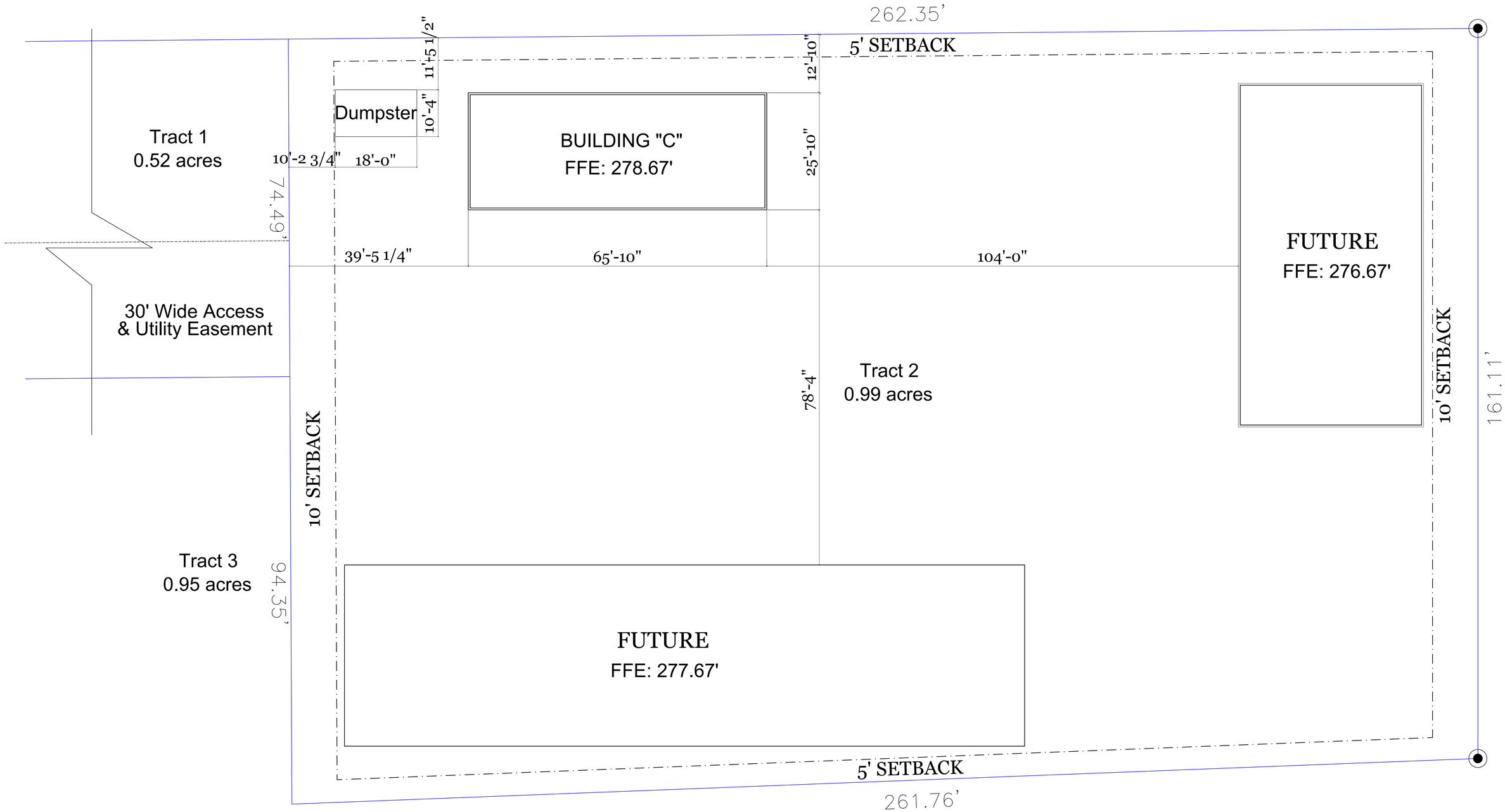

SITE
SCALE : 1" = 10'-0"

SKYLINE

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Date :	4-24-25
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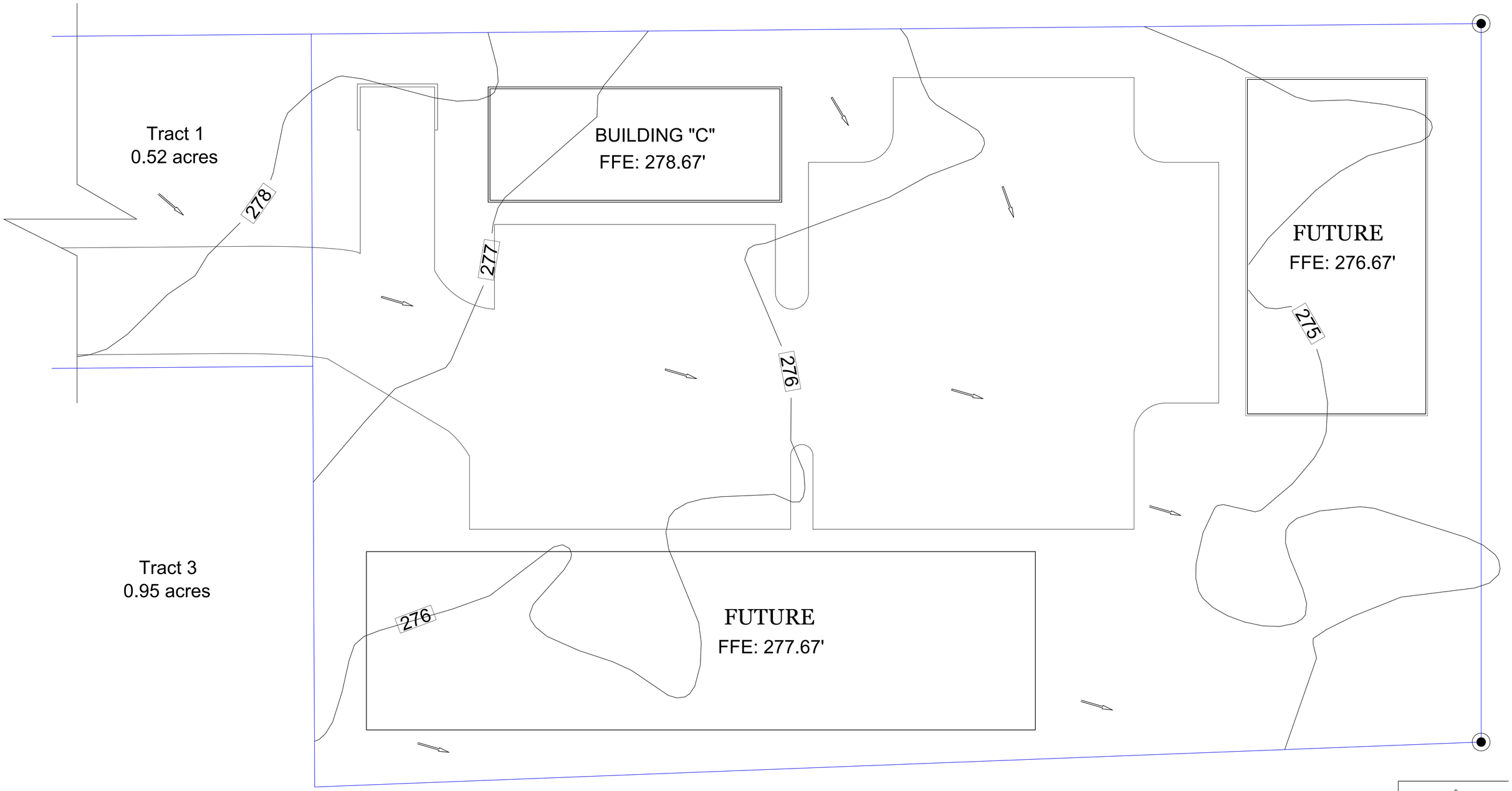

DRAINAGE
SCALE : 1" = 10'-0"

DRAINAGE

SKYLINE

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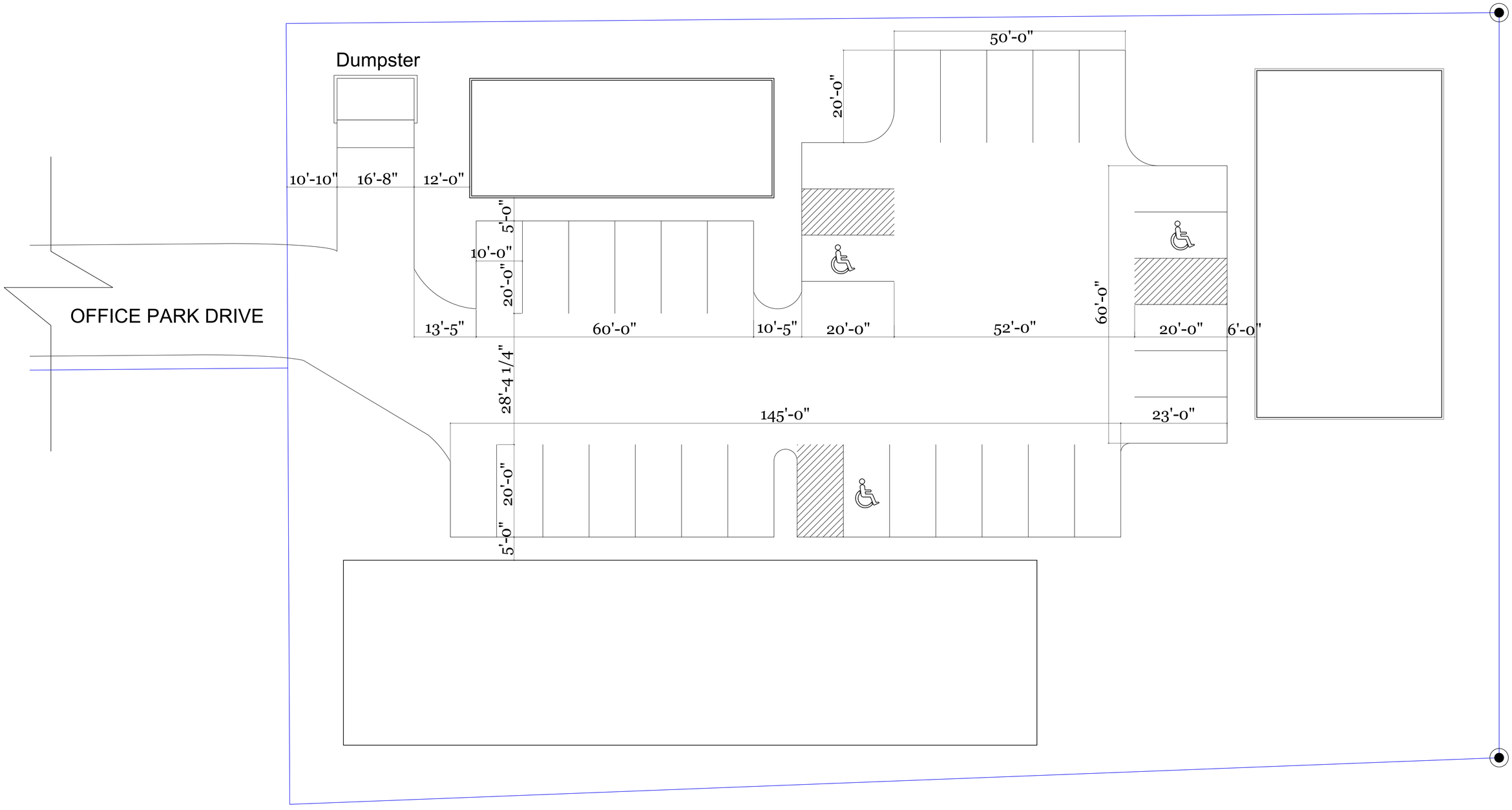

PARKING LAYOUT

SCALE : 1" = 10'-0"

SKYLINE

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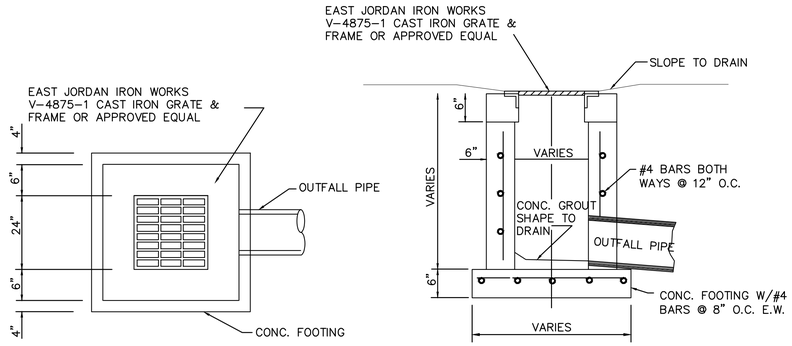


GRATE INLET – PLAN VIEW

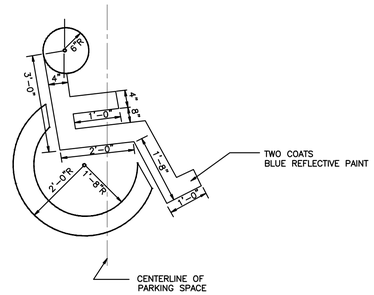
USE ALSO FOR JUNCTION BOX WITHOUT GRATE. USE CONCRETE TOP INSTEAD.

GRATE INLET – SECTION VIEW

USE ALSO FOR JUNCTION BOX

8 / 5.0 GRATE INLET DETAIL

N.T.S.

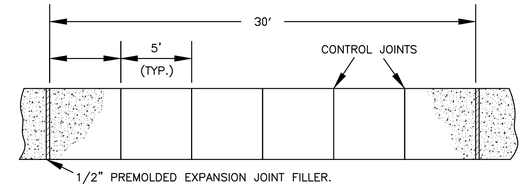


4 / 5.0 ACCESSIBILITY PARKING SYMBOL

N.T.S.

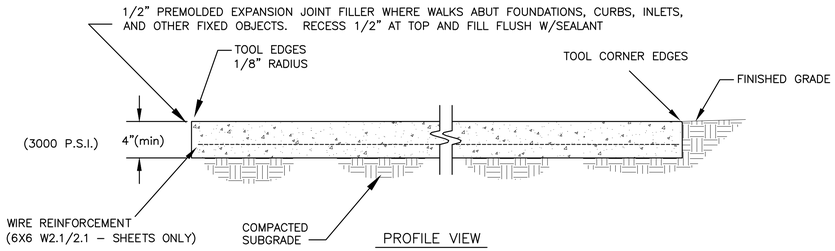
NOTES

1. ACCESSIBILTY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH A ACCESSIBILITY PARKING SPACE SIGN.
4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.



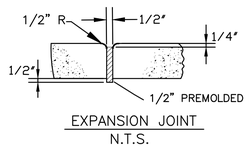
PLAN VIEW

N.T.S.



PROFILE VIEW

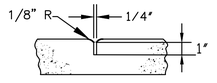
N.T.S.



EXPANSION JOINT

N.T.S.

TYP. CONTROL JOINTS – DEPTH TO BE 1/4 OF SLAB THICKNESS. TOOL 1/8" RADIUS ON EDGES. SPACE AT APPROX. SIDEWALK WIDTH UNLESS OTHERWISE SHOWN ON PLANS.



CONTROL JOINT

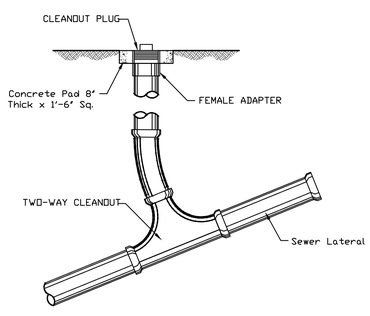
N.T.S.

NOTES:

1) CONCRETE SHALL BE 3,000 psi MINIMUM
2) 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
3) PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
4) HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

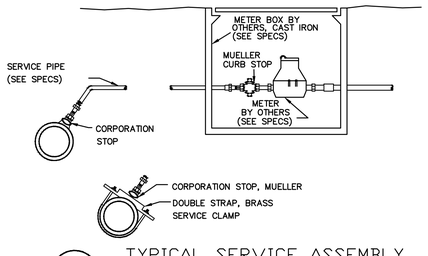
3 / 5.0 CONCRETE SIDEWALK SECTION DETAILS

N.T.S.



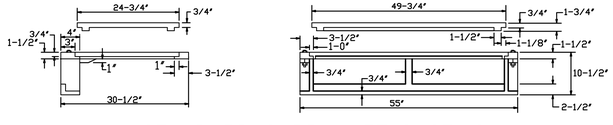
1 / 5.0 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL

NTS



2 / 5.0 TYPICAL SERVICE ASSEMBLY

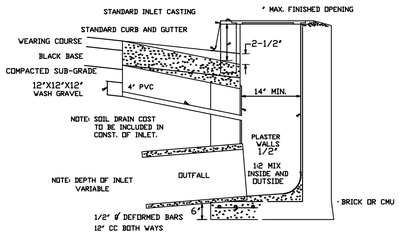
NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY



STANDARD CURB INLET CASTING

(VULCAN RCB-7)

NO SCALE

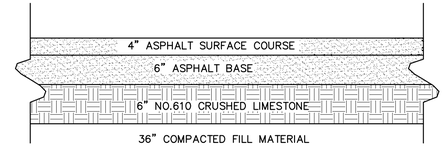


SECTION OF STANDARD CURB INLET

NO SCALE

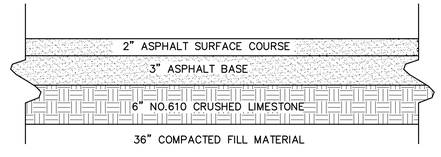
7 / 5.0 CURB INLET DETAIL

N.T.S.



10 / C5.0 HEAVY DUTY ASHPALT PAVEMENT DETAIL

N.T.S.



9 / C5.0 MEDIUM DUTY ASHPALT PAVEMENT DETAIL

N.T.S.

SKYLINE

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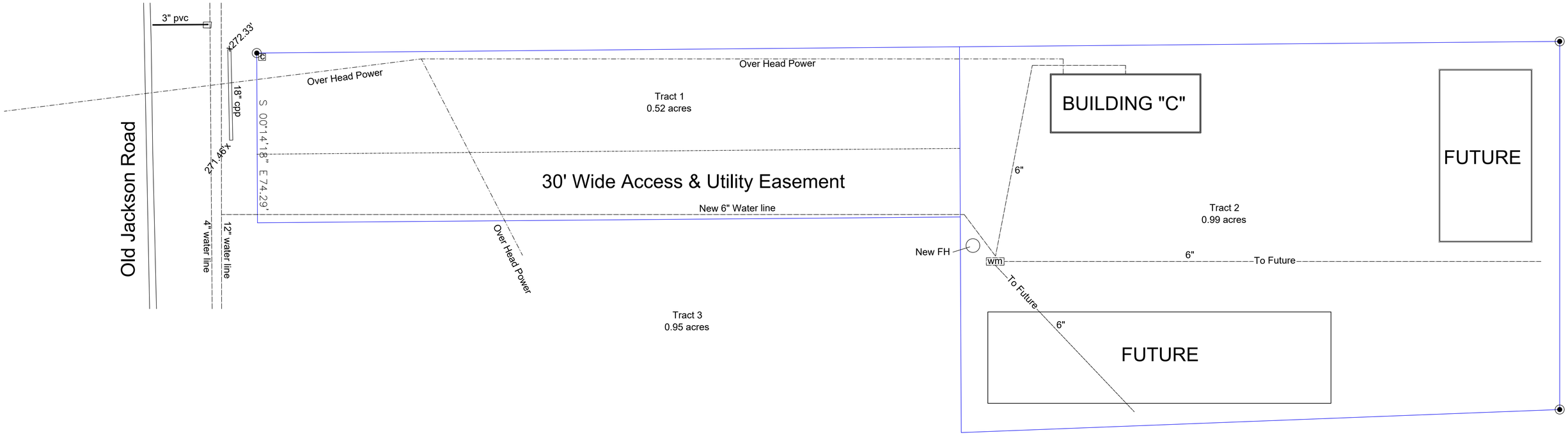

UTILITIES

SCALE : 1" = 20'-0"

SKYLINE

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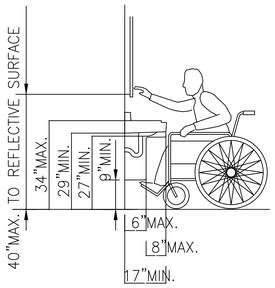
BEAM SCHEDULE		
SPAN	BEAM SIZE	STEEL PLATE
16'-0"	2 2"X10"	1/4"X 9-1/4"
18'-0"	2 2"X10"	3/8"X 9-1/4"
20'-0"	2 2"X10"	1/2"X 9-1/4"
22'-0"	2 2"X10"	5/8"X 9-1/4"
24'-0"	2 2"X12"	1/2"X 11-1/4"

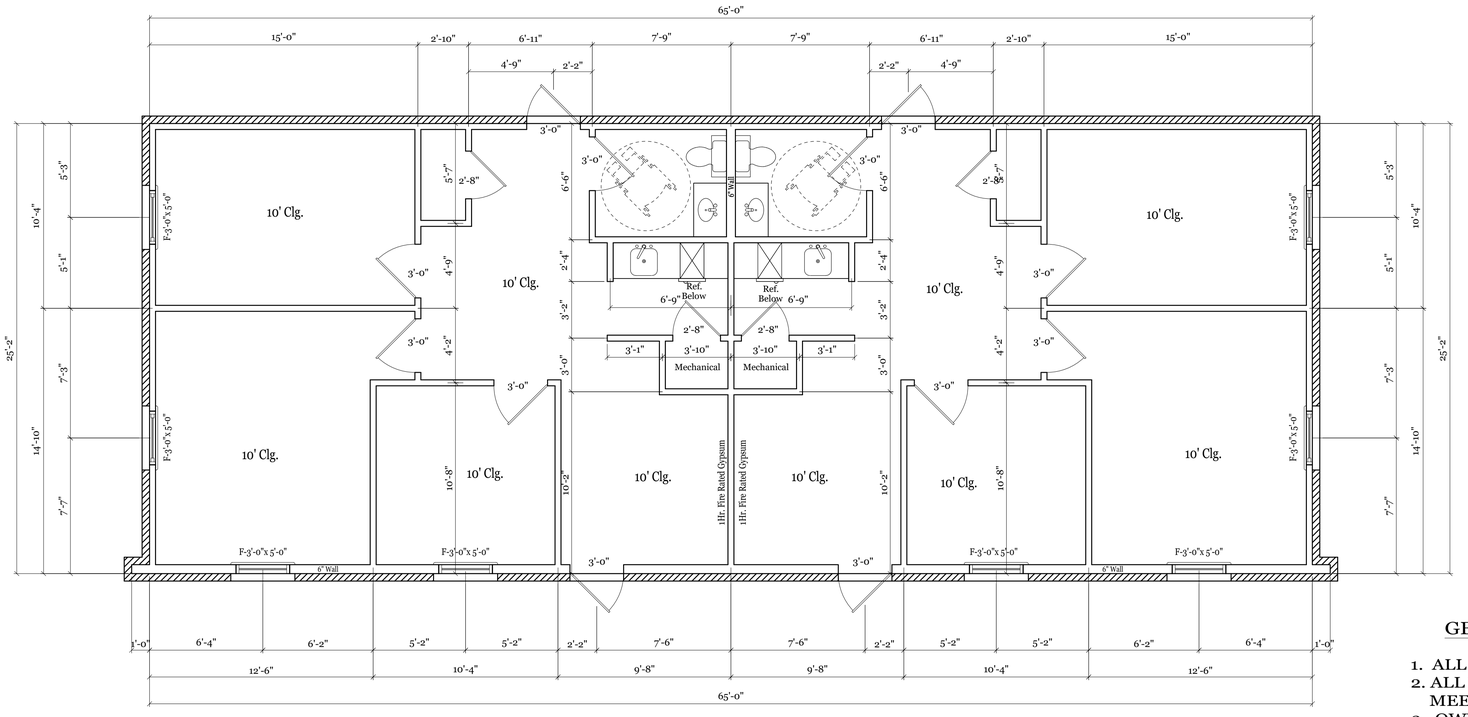
SPAN TABLE BY SOUTHERN PINE

SIZE & SPACING	CEILING JOIST	RAFTER W/O CEILING	RAFTER W/ CEILING	FLOOR JOIST
2"X4" @ 12" O.C.	9'-10"	9'-8"	N/A	N/A
2"X4" @ 16" O.C.	8'-11"	8'-8"	N/A	N/A
2"X4" @ 24" O.C.	7'-8"	7'-1"	N/A	N/A
2"X6" @ 12" O.C.	15'-6"	14'-10"	13'-9"	10'-9"
2"X6" @ 16" O.C.	13'-6"	12'-10"	11'-9"	9'-6"
2"X6" @ 24" O.C.	11'-0"	10'-6"	9'-2"	7'-9"
2"X8" @ 12" O.C.	20'-1"	18'-8"	16'-8"	14'-2"
2"X8" @ 16" O.C.	17'-5"	16'-2"	14'-5"	12'-4"
2"X8" @ 24" O.C.	14'-2"	13'-2"	11'-9"	10'-0"
2"X10" @ 12" O.C.	23'-11"	22'-2"	19'-11"	16'-11"
2"X10" @ 16" O.C.	20'-9"	19'-2"	17'-3"	14'-8"
2"X10" @ 24" O.C.	16'-11"	15'-8"	14'-1"	12'-0"
2"X12" @ 12" O.C.	N/A	N/A	23'-4"	19'-10"
2"X12" @ 16" O.C.	N/A	N/A	20'-2"	17'-2"
2"X12" @ 24" O.C.	N/A	N/A	16'-6"	14'-0"

TABLE CREATED PER SOUTHERN PINE BY DESIGN : VISUALLY INSPECTED # 2 LUMBER. APPLIED LOADS GIVEN IN PSF (POUNDS PER SQUARE FOOT)

DEFLECTION LIMIT 240 / LOAD DURATION FACTOR 1.25 | 10 PSF LIVE LOAD, 10 PSF DEAD LOAD
DEFLECTION LIMIT 180 / LOAD DURATION FACTOR 1.25 | 30 PSF LIVE LOAD, 20 PSF DEAD LOAD
DEFLECTION LIMIT 240 / LOAD DURATION FACTOR 1.25 | 30 PSF LIVE LOAD, 20 PSF DEAD LOAD
DEFLECTION LIMIT 360 | 40 PSF LIVE LOAD, 10 PSF DEAD LOAD





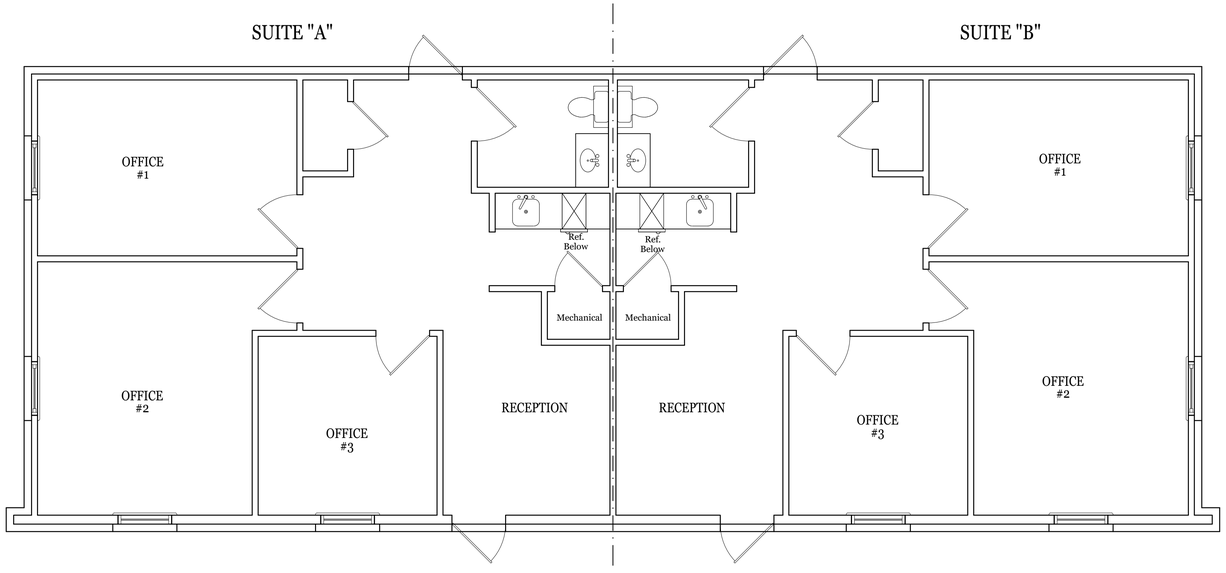
FLOOR

SCALE : 1/4" = 1'-0"

WINDOW HDR'S AT 8'0" UNLESS OTHERWISE NOTED.

GENERAL NOTES:

1. ALL WALLS ARE DRAWN AT 4" UNLESS NOTED OTHERWISE.
2. ALL MATERIAL USED IN CONSTRUCTION SHALL MEET OR EXCEED LOCAL CODES.
3. OWNER / CONTRACTOR IS RESPONSIBLE TO REVIEW AND APPROVE ALL DESIGN AND DIMENSIONS PRIOR TO CONSTRUCTION.



SQUARE FOOTAGE

W / BRICK

Suite A _____ 857 Sq Ft.
Suite B _____ 857 Sq Ft.
Total _____ 1714 Sq Ft.

W.O. / BRICK

Suite A _____ 818 Sq Ft.
Suite B _____ 818 Sq Ft.
Total _____ 1636 Sq Ft.

SKYLINE

Plan No. 25-128
Drawn By: JCP
Date : 4-24-25
Revised : 5-19-25

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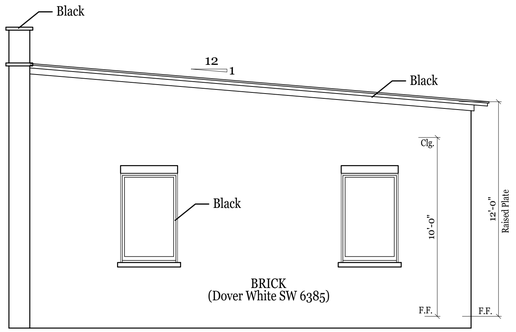
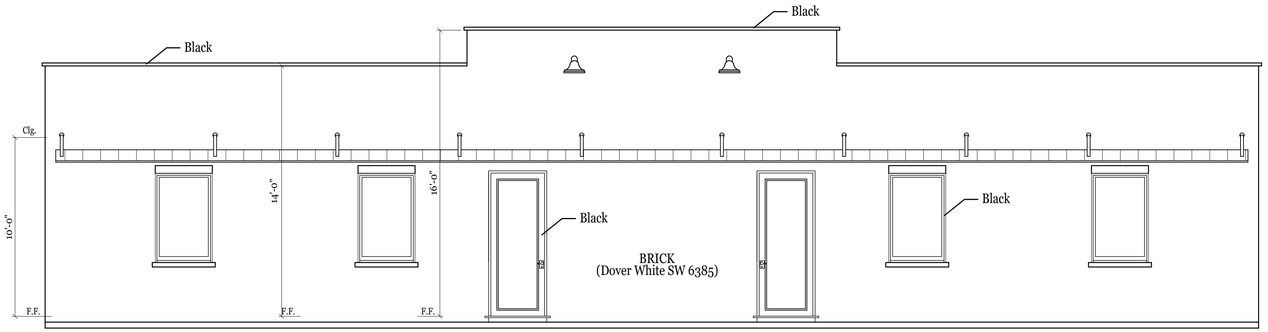


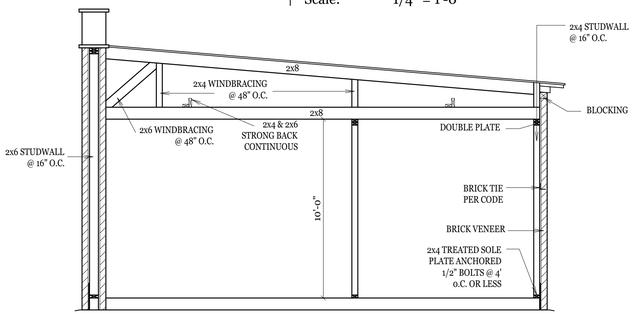
Left

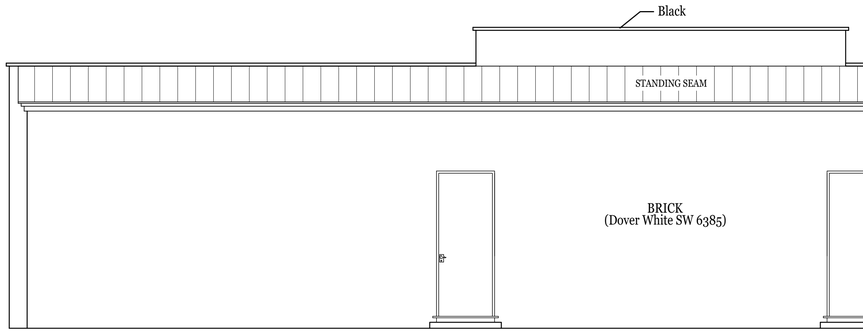
Scale: 1/4" = 1'-0"



Front

Scale: 1/4" = 1'-0"



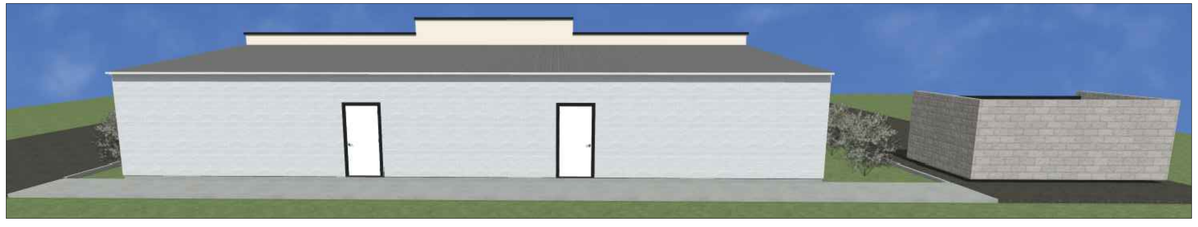


Rear

Scale: 1/4" = 1'-0"

STANDING SEAM

Dover White SW 6385



SKYLINE

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Date :	4-24-25
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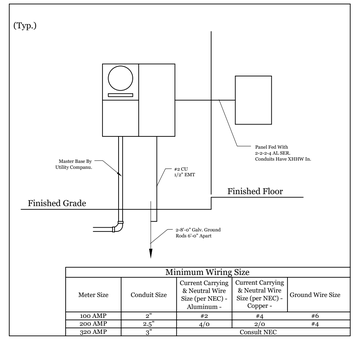
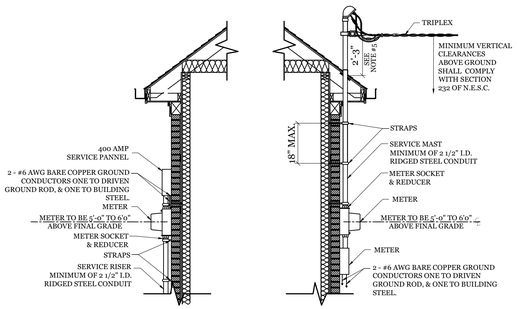


Minimum Wiring Size				
Meter Size	Conduit Size	Current Carrying & Neutral Wire - Size (per NEC) - Aluminum -	Current Carrying & Neutral Wire - Size (per NEC) - Copper -	Ground Wire Size
100 AMP	2"	#2	#4	#6
200 AMP	2.5"	4/0	2/0	#4
320 AMP	3"	Consult NEC		



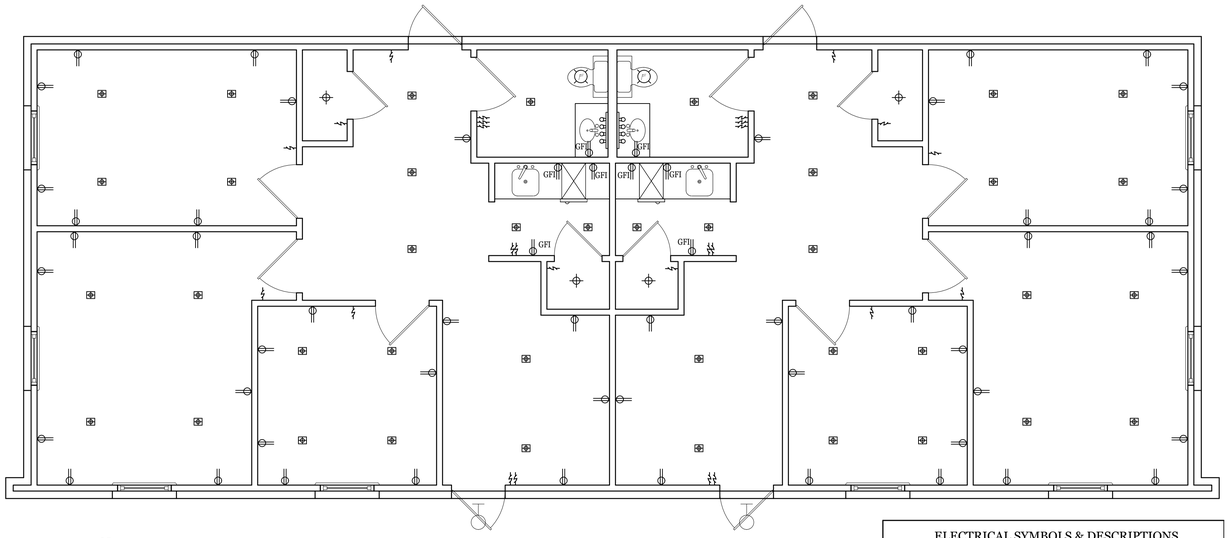
TYPICAL SERVICE RISER
SCALE : 1/4" = 1"-0"

TYPICAL SERVICE MAST
SCALE : 1/4" = 1"-0"

SERVICE SIZE GUIDE		
MINIMUM SERVICE SIZE (Ampere Rating)	COLUMN 1 (Electric Heat) HEATED & COOLED S.F.	COLUMN 2 HEATED & COOLED S.F.
100	850	2,250
110	1,100	2,850
125	1,450	3,700
150	2,000	5,150
175	2,550	6,650
200	3,150	8,100
225	3,700	9,600

1. COLUMN 2 INCLUDES A CONSERVATIVE ESTIMATE FOR ELECTRIC COOLING LOAD.
2. TABLE 1 WAS DEVELOPED USING THE OPTION METHOD AND USING THE FOLLOWING ASSUMPTIONS. THE ASSUMPTIONS MADE SHOULD PROVIDE AN APPROXIMATE ANSWER THAT WILL MEET OR EXCEED MORE THAN 90% OF THE CASES.

A) Cooling Load = 6 Amps / 500 S.F.
B) Electrical Heating load = 22 Amps / 500 S.F.
C) Dryer = 5000 VA
D) Laundry Circuit = 1500 VA
E) Two Small Appliance Circuits @ 1500 VA Each
F) Range Load = 8000 VA
G) Water Heater = 4500 VA
H) 3 VA / S.F. for General Lighting & Receptacles
I) 40% Demand Factor is Applied to All Loads with Exception of Cooling & Heating Over First 10,000 VA.
J) Dwellings That Are Neither Electrically Cooled of Heated Shall Have The Service Sized to Include The Potential Cooling Load in the Future.

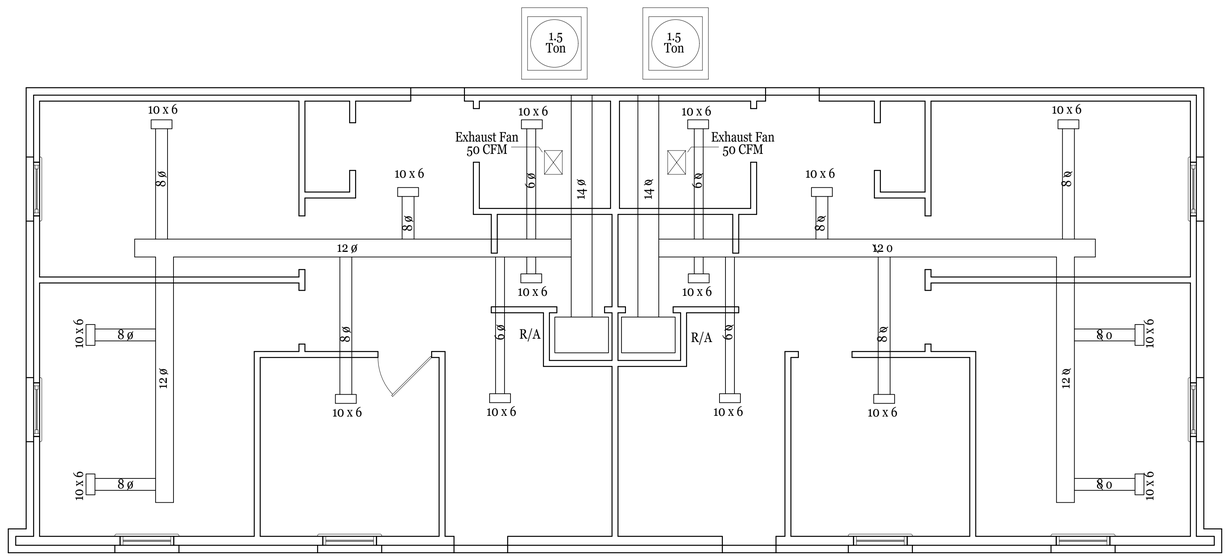


Notes:
Wiring Shall Be Romex 12/2

ELECTRICAL
SCALE : 1/4" = 1'-0"

Notes:
1.) Owner / Contractor is Responsible For Providing Exact Locations For Plugs, Switches, And Fixtures.
2.) Unless Noted Otherwise, All Branch Circuit Wiring Shall Be Type NM Cable Above Ceilings, Between Floors, Or In Stud Wall Cavities.
3.) Wiring Below Slab Shall Be Installed In Conduit.
4.) Unless Noted Otherwise, All Light Switches Shall Be 44".
5.) Receptacles Shall Be Installed Per The Followng:
Wall Outlet - 15" Bath Wall Outlet - 8" Above Counter
Kitchen Wall - 42" Closet Htg. Units & Ref. - 36"

ELECTRICAL SYMBOLS & DESCRIPTIONS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX WALL OUTLET 110 VOLTS		SURFACE MOUNTED FLOURESCENT FIXTURE
	220-VOLT THREE PHASE OUTLET		CEILING FAN
	DUPLEX FLOOR OUTLET		
	DUPLEX CEILING OUTLET		CEILING FAN WITH LIGHT
	LIGHT FIXTURE SELECTED BY OWNER		OVERHEAD DOOR MECHANICAL
	RECESSED CAN LIGHT		FLOOD LIGHTS
	FAN		4 BULB VANITY LIGHT
	SINGLE POLE SWITCH		INTERIOR/EXTERIOR WALL MOUNTED FIXTURE
	Hanging Fixture	SD	SMOKE DETECTOR



HVAC
SCALE : 1/4" = 1'-0"

SKYLINE

Plan No.	25-128
Drawn By:	JCP
Date :	4-24-25
Revised :	5-19-25

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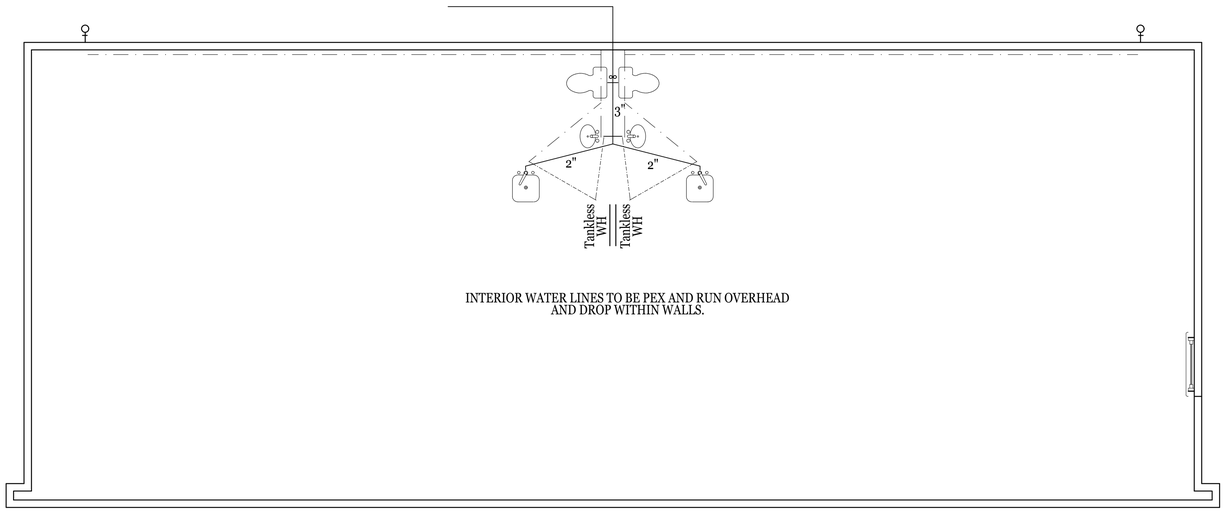


INTERIOR WATER LINES TO BE PEX AND RUN OVERHEAD
AND DROP WITHIN WALLS.

HOSE BIB

COLD

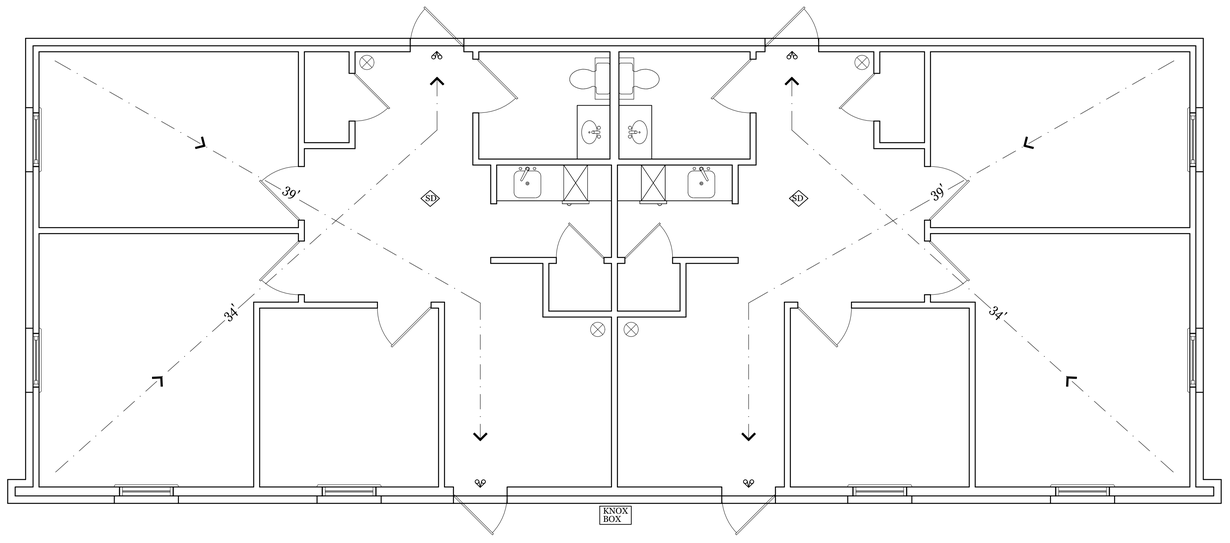
HOT

PLUMBING

SCALE : 1/4" = 1'-0"

GENERAL NOTE:

HAMMER ARRESTOR REQUIRED ON ALL FAST CLOSE VALVES
(ICE MAKER IF REFRIGERATOR IS EQUIPPED)



EMERGENCY PLAN

SCALE : 3/16" = 1'-0"

SYMBOLS & DESCRIPTIONS	
SYMBOL	DESCRIPTION
	EMERGENCY EXIT LIGHT
SD	SMOKE DETECTOR
	FIRE EXTINGUISHER

SKYLINE

Plan No. 25-128
Drawn By: JCP
Date : 4-24-25
Revised : 5-19-25

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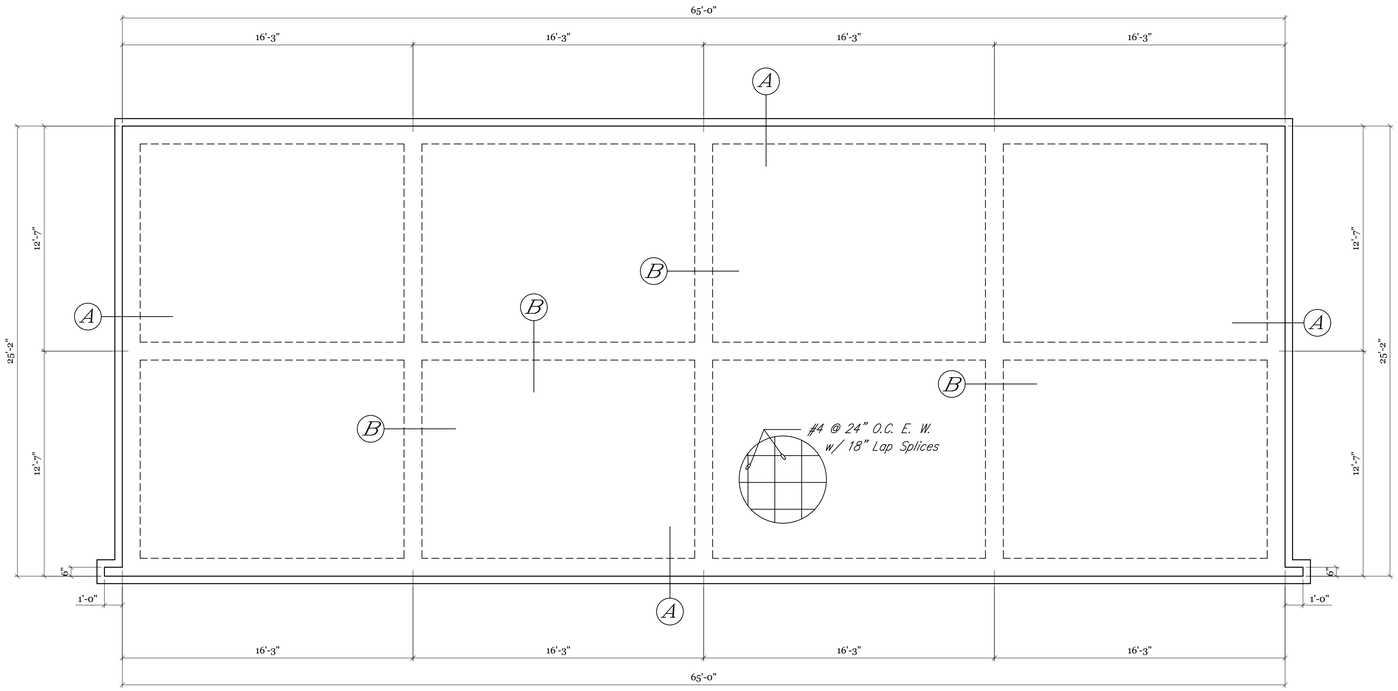

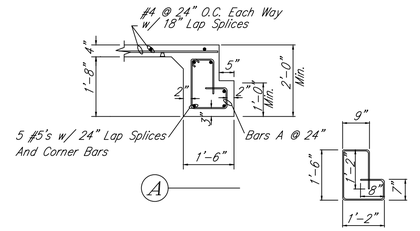

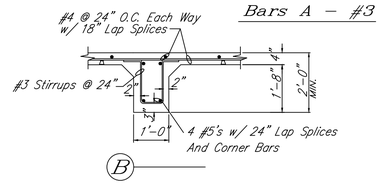

FOUNDATION PLAN

4" Thick Slab

Scale: 1/4" = 1'-0"

GENERAL NOTES:

1. CONCRETE CONSTRUCTION TO COMFORM WITH ACI BUILDING CODES 318, 302.1R-04 AND 332-04.
2. REINFORCING STEEL TO BE ASTM A615 GRADE 60 DEFORMED BARS.
3. 28 DAY CONCRETE STRENGTH TO BE 3000 PSI WITH A 5" SLUMP MAXIMUM.
4. SLAB AND FOOTING CONCRETE TO BE PLACED MONOLITHICALLY WITH NO COLD JOINTS.
5. FOUNDATION FILL SOIL TO BE PLACED IN 9" LIFTS MAXIMUM WITH EACH LIFT BEING COMPACTED TO WITHIN 95% OF ITS STANDARD PROCTOR.
6. DESIGN BASED ON GOOD SOIL CONDITIONS UNDER FOUNDATION.
7. PLUMBING DITCHES TO CROSS FOOTINGS AT RIGHT ANGLES AND BACKFILLED WITH FULLY COMPACTED SOIL.
8. BUILDER TO CHECK, VERIFY, AND APPROVE ALL DIMENSIONS PRIOR TO CONSTRUCTION.

SKYLINE

Plan No.	25-128
Drawn By:	JCP
Date :	4-24-25
Revised :	5-19-25

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City of Gluckstadt

Application for Site Plan Review

Subject Property Address: CALHOUN STATION PKWY & GLUCKSTADT RD.

Parcel #: # 082E-21-001/09.00

Owner: CITIZENS NATIONAL BANK OF MERIDIAN
Address: 512 22ND AVENUE
MERIDIAN MISSISSIPPI 39301

Applicant: TOM MOONEY
Address: 500 S EWING ST G
ST. LOUIS MO 63104

Phone #: 601-696-2846
E-Mail: ALAN.CLODFELTER@YOURCNB.COM

Phone #: 314.570-5041
E-Mail: TMOONEY@KEELEYCONSTRUCTION.COM

Current Zoning District: C - 2

Acreage of Property (If applicable): 2.37 AC

Use sought of Property: BANK

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)
Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

A. Lot Lines (property lines)
B. Zoning of the adjacent lots
C. The names of owners of adjacent lots
D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
F. All existing and proposed easements
G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

I. Contours at vertical intervals of five (5) feet or less.
J. Floodplain designation, according to FEMA Maps.
K. Landscaped areas and planting screens.
L. Building lines and the locations of all structures, existing and proposed
M. Proposed uses of the land and buildings, if known
N. Open space and recreation areas, where required.
O. Area in square feet, and/or square acres of parcel
P. Proposed gross lot coverage in square feet
Q. Number and type of dwelling units where proposed
R. Location of sign structures and drawings. (Section 701)
S. Location of garbage dumpster and enclosure. (Section 406.06)
T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: ***By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.***

R M. Hy
Applicant Signature

1/24/25
Date

CITY OF GLUCKSTADT BUILDING DEPARTMENT
OFFICE USE ONLY

Date Received: _____

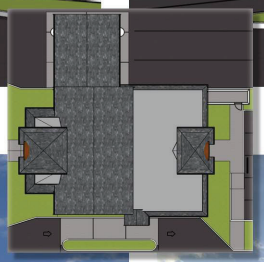
Application Complete & Approved to Submit to P&Z Board (please check):

Yes_____ **No**_____

Signature: _____
Planning & Zoning Administrator (or Authorized Representative)

VIEW FROM NORTHEAST (CALHOUN STATION PKWY)

VIEW FROM SOUTHEAST (FACING HIGHWAY)



VIEW FROM NORTHWEST (CALHOUN STATION PKWY)

VIEW FROM SOUTHWEST (FACING HIGHWAY)

2025 MAY 09

KEELEY CONSTRUCTION

Calhoun Station Pkwy & Gluckstadt Rd
Gluckstadt, Mississippi

CONCEPTUAL EXTERIOR IMAGES

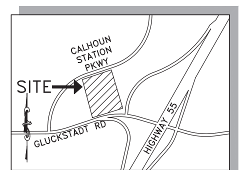
NEW BRANCH

Citizens National Bank

SITE IMPROVEMENT PLANS

CITIZENS NATIONAL BANK

CALHOUN STATION PKWY & GLUCKSTADT RD
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI



LOCATION MAP
(NOT TO SCALE)

GENERAL NOTES

1. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

   THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR THE SAFETY FOR THE GENERAL PUBLIC AND PASSERBY WITH RESPECT TO WORK ZONE AREAS, MEANS AND METHODS AND PEDESTRIAN SAFETY.

   ALL EXCAVATIONS, WHETHER THEY ARE FOR RETAINING WALLS, UTILITY TRENCHES OR FOOTING EXCAVATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "CONSTRUCTION STANDARDS FOR EXCAVATIONS".
2. PROPERTY LINES, EASEMENTS AND TOPOGRAPHIC SURVEY BY MCMASTER & ASSOCIATES, INC.
3. ALL UTILITIES, STRUCTURES AND UNDERGROUND FACILITIES HAVE BEEN PLOTTED FROM BEST AVAILABLE RECORDS. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE; AND IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR LOCATION AND THE EXISTENCE OF ANY NOT SHOWN. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED, UNCOVERED AND DEPTHS VERIFIED TO AVOID CONFLICTS.
4. IT IS NOT WARRANTED THAT THESE PLANS CONTAIN COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT-OF-WAY, BUILDING LINES AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION, A TITLE OPINION OR COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED.
5. THIS PLAN IS SUBJECT TO ALL LOCAL, STATE AND FEDERAL REGULATIONS. THERE HAS BEEN NO WETLAND DELINEATION, GEOTECHNICAL OR ENVIRONMENTAL DATA PROVIDED TO THIS ENGINEER PRIOR TO DESIGNING THIS PLAN.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED IMPROVEMENTS.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE HE HAS THE LATEST SET OF IMPROVEMENT PLANS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING ALL PERMIT PLAN SETS AND ANY SUBSEQUENT PLAN ISSUANCES.
8. IMPROVEMENTS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND REVIEWED BY THE ARCHITECT AND OWNER PRIOR TO INSTALLATION. CONTRACTOR SHALL REVIEW OTHER SITE-RELATED SHEETS BY OTHER DESIGNERS (LANDSCAPING, ARCHITECT, ETC.) IN ADDITION TO CIVIL SHEETS FOR COORDINATION PURPOSES. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO ANY START OF CONSTRUCTION.
9. THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF RECORD DRAWINGS AT THE JOB SITE AND MARK THEREON ANY CHANGES AS THE WORK PROCEEDS. THE CONTRACTOR SHALL SUBMIT COMPUTER GENERATED, LEGIBLE RECORD DRAWINGS TO THE ENGINEER PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
10. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE TO CITY OF GLUCKSTADT OR MISSISSIPPI DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE APPLICABLE.
11. ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF GLUCKSTADT OR MISSISSIPPI DEPARTMENT OF TRANSPORTATION, WHERE APPLICABLE.
12. THE CONTRACTOR SHALL COORDINATE AND/OR OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS RELATED TO CONSTRUCTION OF THE IMPROVEMENTS.
13. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
14. ALL WORK MUST BE PERFORMED WITHIN EXISTING OR ACQUIRED EASEMENTS. AGENCY APPROVAL OF THESE PLANS DOES NOT AUTHORIZE OR CONDONE WORK OUTSIDE OF THE EASEMENTS.
15. THE DEVELOPER OR OWNER IS ADVISED THAT UTILITY COMPANIES MAY REQUIRE COMPENSATION FOR RELOCATION OF THEIR FACILITIES WITHIN THE PUBLIC RIGHT-OF-WAY. THE DEVELOPER OR OWNER SHALL ALSO BE MADE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATIONS AND ADJUSTMENTS WHICH MAY OCCUR.
    THE DELAYS DUE TO UTILITY RELOCATION AND ADJUSTMENTS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.
16. THE CONTRACTOR SHALL VERIFY PROPOSED AND COORDINATE PROPOSED SERVICES AND LOCATIONS OR RELOCATIONS WITH ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL UTILITY PERMITS, UNLESS SPECIFICALLY MENTIONED OTHERWISE.
17. ALL PROPOSED UTILITIES TO BE LOCATED UNDERGROUND, UNLESS STATED OTHERWISE.
18. ALL HYDRANTS, POWER POLES OR OTHER OBSTRUCTIONS SHALL HAVE A MINIMUM TWO FOOT SETBACK FROM FACE OF CURB OR EDGE OF SHOULDER OF THE ULTIMATE PAVEMENT SECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THIS REQUIREMENT, PRIOR TO CONSTRUCTION. ANY LOCATION WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL ASSUME ALL LIABILITY IF CONFLICTS ARE NOT BROUGHT TO THE ENGINEERS ATTENTION FOR A DETERMINATION HOW TO PROCEED PRIOR TO CONSTRUCTION.
19. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND MDOT, WHERE APPLICABLE.
20. ACCESS TO PRIVATE PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. EXISTING COMMERCIAL ENTRANCES MAY HAVE ACCESS RESTRICTED TO 1/2 OF THE ENTRANCE AT A TIME, UNLESS OTHERWISE APPROVED IN THIS PLAN SET.
21. NO SIDEWALK SHALL BE REMOVED WITHOUT CONFIRMING ADEQUATE PEDESTRIAN FACILITIES WILL EXIST DURING CONSTRUCTION. PROJECT NEEDS TO PROVIDE CONTINUOUS PEDESTRIAN ACCESS DURING CONSTRUCTION, UNLESS APPROVED ELSEWHERE. FOR SIDEWALK REMOVAL/REPLACEMENT VERIFY THERE IS ADEQUATE PEDESTRIAN ACCESS AROUND SITE, OR PROVIDE TEMPORARY PEDESTRIAN ACCESS.
22. IF A PEDESTRIAN DETOUR PLAN IS NOT INCLUDED IN THIS PLAN SET, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CREATING A DETOUR PLAN AND SUBMITTING SAID PLAN TO THE ENGINEER AND AGENCIES FOR REVIEW AND APPROVAL.
23. ALL SIDEWALKS, CURB RAMPS, RAMPS, ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS, AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE, AND THE CONTRACTOR, PRIOR TO ANY CONSTRUCTION, SHALL NOTIFY THE ENGINEER. THE CONTRACTOR SHALL VERIFY THESE IMPROVEMENTS WITH THE ENGINEER PRIOR TO INSTALLATION.
24. THE CONTRACTOR SHALL BE MADE AWARE THAT CERTAIN EXCEPTIONS TO ADA REQUIREMENTS MAY BE APPLICABLE. UNLESS SPECIFICALLY NOTED WITHIN THIS PLAN SET, THE CONTRACTOR SHALL ASSUME THAT NO EXCEPTION WILL APPLY.
25. ALL SIDEWALKS (THICKNESS AND WIDTH) AND CURB RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA, CITY OF CITY OF GLUCKSTADT OR MISSISSIPPI DEPARTMENT OF TRANSPORTATION STANDARDS.
26. ANY DISTURBED OFF-SITE PROPERTY (I.E. BUSHES, TREES, FENCES, MAILBOXES, ETC.), WHICH MAY NOT BE LABELED, SHALL BE REPLACED IN-KIND AT THE DEVELOPER'S EXPENSE.
27. SIGNAGE SHALL BE IN ACCORDANCE WITH CITY OF GLUCKSTADT SIGN ORDINANCE(S).

GEOTECHNICAL NOTE

CONTRACTOR SHALL READ THE GEOTECHNICAL INVESTIGATION REPORT BURNS COOLEY DENNIS, INC. JOB NO. 240682 DATED DEC 9, 2024. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT.

FLOOD NOTE

SUBJECT PROPERTY LIES INSIDE FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR MADISON COUNTY, MISSISSIPPI AND INCORPORATED AREAS PER MAP NUMBER 28089C0415F WITH AN EFFECTIVE DATE OF MARCH 17, 2010.

PREPARED FOR:

CITIZENS NATIONAL BANK
CALHOUN STATION PKWY & GLUCKSTADT RD
GLUCKSTADT, MS 39110

DEMOLITION NOTES

1. CONTRACTOR SHALL VISIT THE PROJECT SITE TO DETERMINE EXTENT OF DEMOLITION.
2. USE OF EXPLOSIVES OR BURNING IS NOT PERMITTED.
3. PAVEMENT AREAS, CURBS, BUILDINGS, TREES, ETC. SHALL BE REMOVED IN COMPLIANCE WITH ALL GOVERNING AGENCIES.
4. CONTRACTOR SHALL OBTAIN HAUL ROUTE APPROVAL FROM CITY OF CITY OF GLUCKSTADT OR MISSISSIPPI DEPARTMENT OF TRANSPORTATION PRIOR TO COMMENCEMENT OF HAULING OPERATIONS, IF REQUIRED.
5. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY WORK THAT WILL AFFECT AN EXISTING UTILITY.
6. CONTRACTOR TO COORDINATE RELOCATIONS, ABANDONMENT OR REMOVAL OF EXISTING UTILITIES WITH UTILITY COMPANIES TO AVOID INTERRUPTION OF SERVICE TO BUILDINGS OUTSIDE OF SPECIFIED PHASE OF WORK.
7. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE INSTALLATIONS, REMOVALS, RELOCATIONS AND ABANDONMENT WITH PROPOSED IMPROVEMENTS. CONTRACTOR SHALL AVOID CONDITION WHERE NEW PAVEMENT, CURBING, SIDEWALK, ETC. WILL BE DISTURBED BY UTILITY INSTALLATION.
8. ALL EROSION CONTROL AND SILTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
9. PROTECT EXISTING TREES AND VEGETATION INDICATED TO REMAIN SHALL BE PROTECTED AGAINST UNNECESSARY CUTTING OR SKINNING OF ROOTS, BRANCHES OR BARK, SMOTHERING OF TREES BY STOCKPILE MATERIAL, OR PARKING VEHICLES WITHIN DRIP LINE. PROTECT TREES AND VEGETATION TO REMAIN WITH TEMPORARY CONSTRUCTION FENCING, PRIOR TO SITE CLEARING OPERATIONS.
10. EXISTING PROPERTY CORNERS AND/OR SURVEY MONUMENTS DISTURBED BY CONSTRUCTION TO BE REMOVED AND REPLACED BY LICENSED SURVEYOR IN MISSISSIPPI
11. EXISTING WATER METERS, HYDRANTS AND VALVES INDICATED TO REMAIN SHALL HAVE CONNECTING PIPES FIELD LOCATED AND ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER.
12. CONSTRUCTION DEBRIS, INCLUDING BUT NOT LIMITED TO, CONDUIT, DUCTS, FITTINGS, VALVES, PIPES AND OTHER DEBRIS TO BE REMOVED, SHALL BE DISPOSED OF OFF-SITE, AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
13. CONTRACTOR TO PROVIDE ALL NECESSARY FENCING, BARRICADES, SIGNAGE, ETC. FOR PEDESTRIAN SAFETY DURING SITE DEMOLITION/CONSTRUCTION ACTIVITIES.
14. A PEDESTRIAN DETOUR PLAN SHALL BE IMPLEMENTED IF PUBLIC SIDEWALKS ARE TO BE CLOSED DURING CONSTRUCTION.
15. DEMOLITION LIMITS OF EXISTING SIDEWALK, CURB LINE, CURB RAMPS AND ROADWAY HAS BEEN APPROXIMATED AND SHOWN ON THE DEMOLITION SHEET(S).
19. REMOVAL OF PAVEMENT, CURB & GUTTER, SIDEWALKS, ETC. SHALL BE TO THE NEAREST EXISTING JOINT OR FULL DEPTH SAWCUT AT LIMITS OF REMOVAL.
20. SAWCUTTING, CURB AND PAVEMENT REMOVALS TO BE COORDINATED WITH INSTALLATION OF PROPOSED UTILITY MAINS AND SERVICES WITH INSTALLATION OF PROPOSED UTILITY MAINS AND SERVICES. CONTRACTOR TO CONTACT UTILITY COMPANIES TO COORDINATE PAVEMENT REMOVAL AND/OR REPLACEMENT BY UTILITY COMPANY WITH ON-SITE DEMOLITION BY CONTRACTOR.
21. EXISTING PAVEMENT SHOWN TO BE REMOVED SHALL REQUIRE BACKFILL AND PROPER COMPACTION WITH GRADES TO BE RE-ESTABLISHED TO AVOID CONDITIONS WHERE PONDING WATER OCCURS.
23. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF-SITE.
24. CONTRACTOR TO COORDINATE REMOVAL AND/OR DISCONNECTION OF EXISTING SERVICE LINES TO ANY BUILDING PRIOR TO BUILDING DEMOLITION.

GRADING NOTES

1. ALL EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION OR GRADING.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO CONSULT PROJECT GEOTECHNICAL ENGINEER(S), FOR REVIEW OF THIS PLAN PRIOR TO GRADING OPERATIONS AND FOR GRADING RECOMMENDATIONS AND FIELD TESTING.
3. PROPOSED GRADES AND CONTOURS SHOWN ARE TO FINISHED ELEVATION. CONTRACTOR TO ACCOUNT FOR ALL TOP FINISHES INCLUDING BUT NOT LIMITED TO PAVEMENT, SUB-BASES, SOD, TOPSOIL, RIP-RAP AND FIELD TOP MIXES.
4. ALL GRADING WILL UTILIZE STANDARD GRADING EQUIPMENT TO ACHIEVE THE PROPOSED GRADES SHOWN ON THIS PLAN.
5. TOP OF SEWER STRUCTURE ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO FINAL INSTALLATION OF STRUCTURE TOP.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR COSTS INCURRED DUE TO UNSUITABLE MATERIAL THAT MUST BE REMOVED FROM SITE.
7. NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OF ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET, PROPERTY OR UTILITY FROM SETTLING, CRACKING OR OTHER DAMAGE.
8. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%), UNLESS SPECIFICALLY APPROVED OTHERWISE.
9. EARTHWORK QUANTITIES ARE THE RESPONSIBILITY OF CONTRACTORS. THE CONTRACTOR IS RESPONSIBLE FOR HAUL-ON OR HAUL-OFF MATERIAL FROM SITE, AS MAY BE REQUIRED.
10. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS, AND AS APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
11. REFER TO GEOTECH REPORT FOR ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS AND WITHIN AND OFF THE ROAD RIGHT-OF-WAY ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
12. SOFT SOILS IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SUFFICIENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR IN ANY STORM SEWER LOCATIONS.
13. THE CONTRACTOR SHALL VERIFY THAT ALL AREAS WILL DRAIN POSITIVELY AND WITHOUT PONDING PRIOR TO INSTALLATION OF IMPROVEMENTS.
14. STORMWATER TO BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT AN ADEQUATE NATURAL DISCHARGE POINTS.
15. ANY WELLS, CISTERNS AND/OR SPRINGS, WHICH MAY EXIST ON THE PROPERTY, SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE TO CITY OF CITY OF GLUCKSTADT OR MISSISSIPPI DEPARTMENT OF NATURAL RESOURCES.
16. DESIGN OF SHORING FOR UTILITY TRENCHES AND/OR SEWER CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED IN THIS SET OF PLANS.
17. TRUCKS SHALL NOT EXCEED POSTED WEIGHT LIMITS FOR ANY ROAD TRAVELED OR BRIDGES DURING HAUL OPERATIONS.
18. CONTRACTOR SHALL OBTAIN HAUL ROUTE APPROVAL FROM CITY OF CITY OF GLUCKSTADT OR MISSISSIPPI DEPARTMENT OF TRANSPORTATION PRIOR TO COMMENCEMENT OF HAULING OPERATIONS, IF REQUIRED.
19. PROTECT EXISTING TREES AND VEGETATION INDICATED TO REMAIN SHALL BE PROTECTED AGAINST UNNECESSARY CUTTING OR SKINNING OF ROOTS, BRANCHES OR BARK, SMOTHERING OF TREES BY STOCKPILE MATERIAL, OR PARKING VEHICLES WITHIN DRIP LINE. PROTECT TREES AND VEGETATION TO REMAIN WITH TEMPORARY CONSTRUCTION FENCING, PRIOR TO SITE CLEARING OPERATIONS.

SILTATION IMPLEMENTATION SCHEDULE

1. INSTALL SILTATION CONTROL AND CONSTRUCTION ENTRANCE.
2. DEMO EXISTING PAVING AND BEGIN PLACING AGGREGATE BASE IN PAVEMENT AREAS ONCE AREA HAS REACHED FINAL GRADE TO PREVENT EROSION.
4. IMMEDIATELY SOD GRADED AREAS UPON REACHING FINAL GRADE THAT ARE TO BE PERMANENTLY TURFED.

SITE INFORMATION

TRACT AREA:	2.377± AC.
CURRENT OWNER:	CITIZENS NATIONAL BANK OF MERIDIAN
SITE ADDRESS:	CALHOUN STATION PKWY & GLUCKSTADT RD
EXISTING ZONING:	C-2
PROPOSED USE:	BANK
FLOOR AREA RATIO (F.A.R.):	3,804 S.F. / 103,550 S.F. = 3.67%
TAX DISTRICT:	MADISON COUNTY

SHEET INDEX

LEGEND

⊙	UTILITY POLE
—— P ——	OVERHEAD UTILITY LINE
— — UE ——	UNDERGROUND ELECTRIC
—— W ——	WATER LINE
— GAS — GAS —	GAS LINE
—— S ——	SEWER LINE

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005
PH. (636) 530-9100
FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE:
GEORGE M. STOCK REGISTERED PROFESSIONAL ENGINEER 14160 STATE OF MISSISSIPPI
05/09/2025
GEORGE M. STOCK
CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY NUMBER: 310

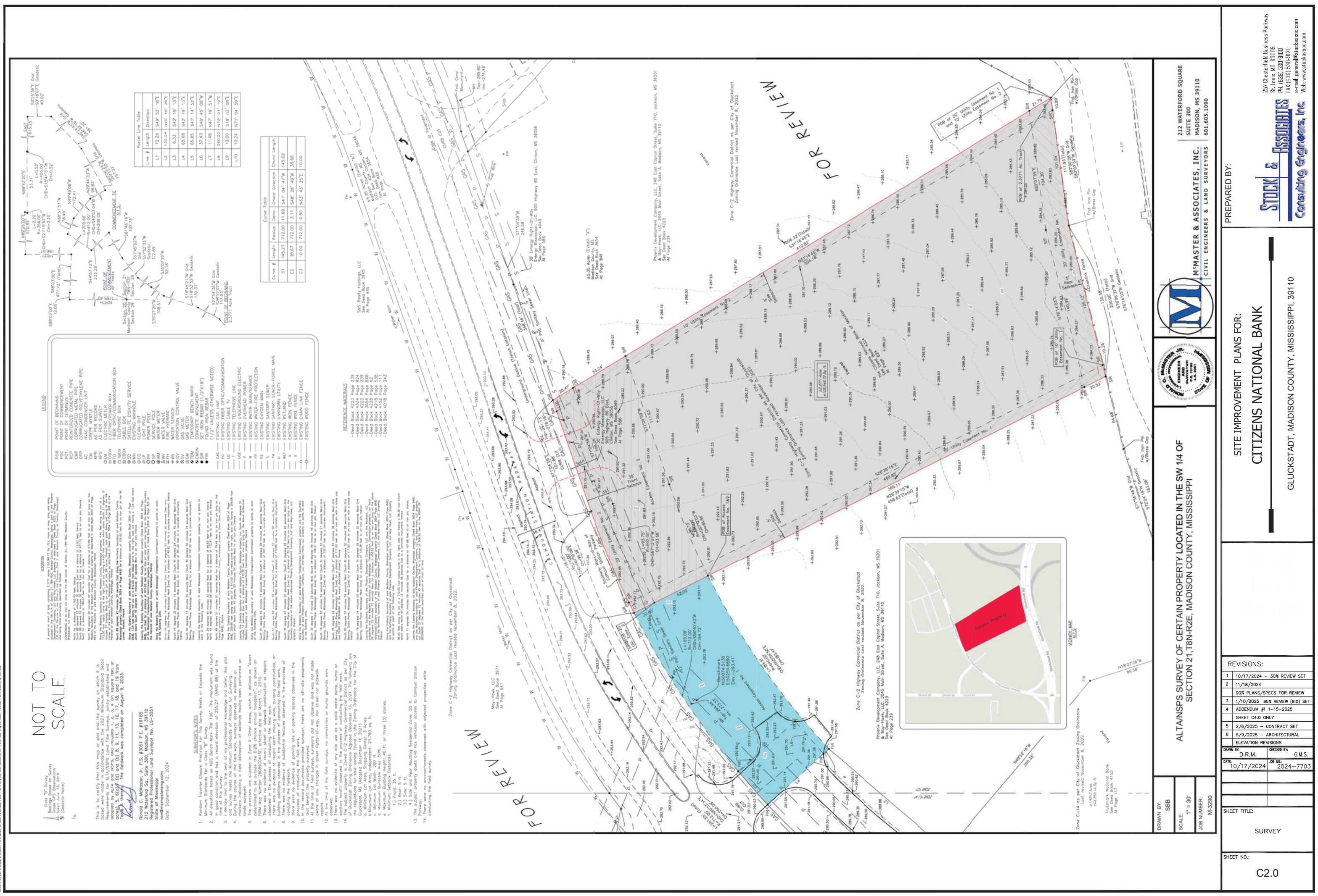
REVISIONS:

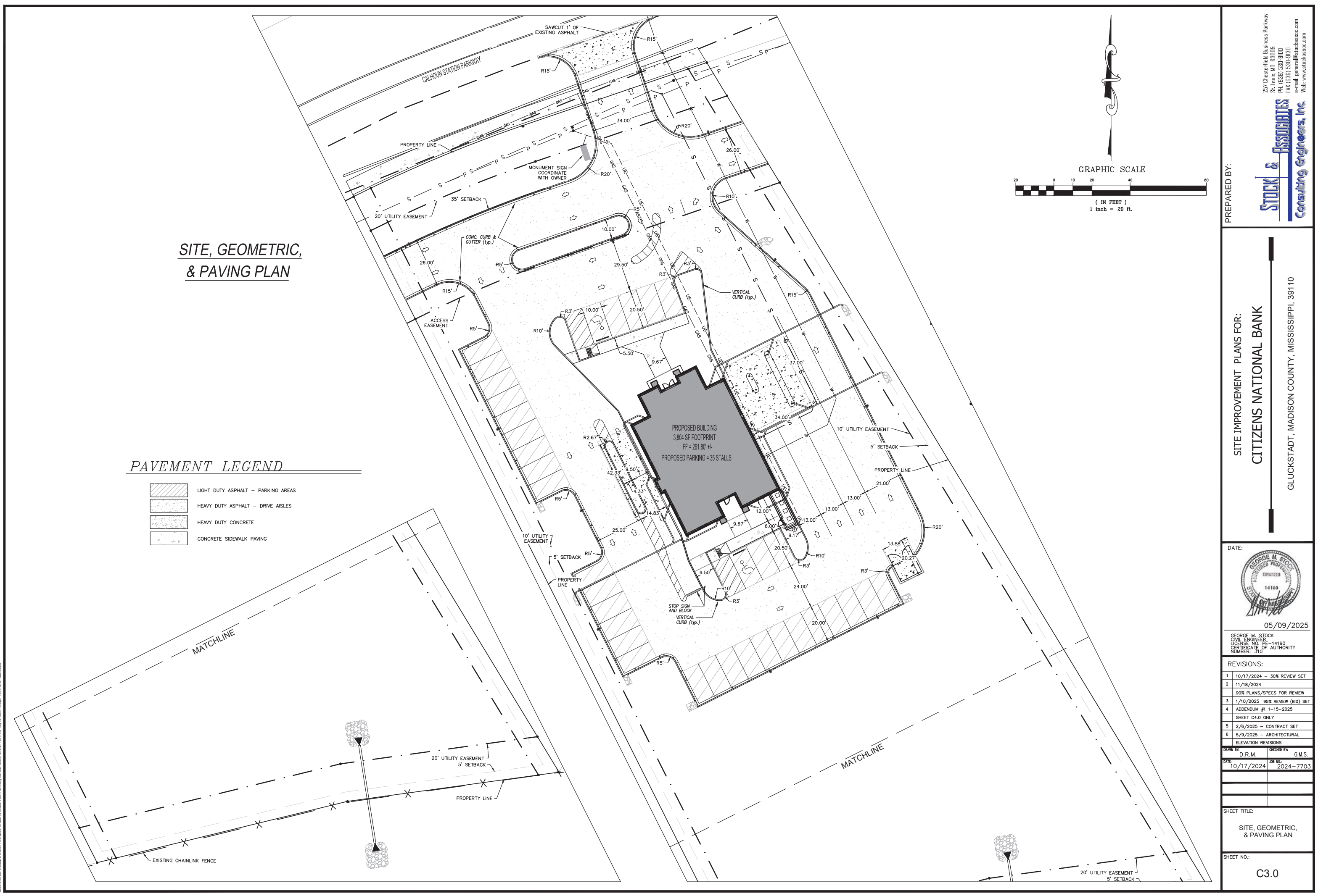
1	10/17/2024 – 30% REVIEW SET
2	11/18/2024
	90% PLANS/SPECS FOR REVIEW
3	1/10/2025 95% REVIEW (BID) SET
4	ADDENDUM #1 1-15-2025
	SHEET C4.0 ONLY
5	2/6/2025 – CONTRACT SET
6	5/9/2025 – ARCHITECTURAL
	ELEVATION REVISIONS

DRAWN BY: D.R.M.	CHECKED BY: G.M.S.
DATE: 10/17/2024	JOB NO.: 2024–7703

SHEET TITLE: TITLE & NOTES SHEET

SHEET NO.: C1.0


NOT TO SCALE
FOR REVIEW
FOR REVIEW
ALTA/NSPS SURVEY OF CERTAIN PROPERTY LOCATED IN THE SW 1/4 OF SECTION 21, T8N-R2E, MADISON COUNTY, MISSISSIPPI
M'MASTER & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
212 WATERFORD SQUARE
SUITE 300
MADISON, MS 39110
601.605.1090
PREPARED BY:
SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110
REVISIONS:
SHEET TITLE:
SURVEY
SHEET NO.:
C2.0


SITE, GEOMETRIC, & PAVING PLAN
PAVEMENT LEGEND
LIGHT DUTY ASPHALT - PARKING AREAS
HEAVY DUTY ASPHALT - DRIVE AISLES
HEAVY DUTY CONCRETE
CONCRETE SIDEWALK PAVING
CALHOUN STATION PARKWAY
PROPOSED BUILDING
3,804 SF FOOTPRINT
FF = 291.87 +/-
PROPOSED PARKING = 35 STALLS
MATCHLINE
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.
PREPARED BY:
STOCK & ASSOCIATES Consulting Engineers, Inc.
SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110
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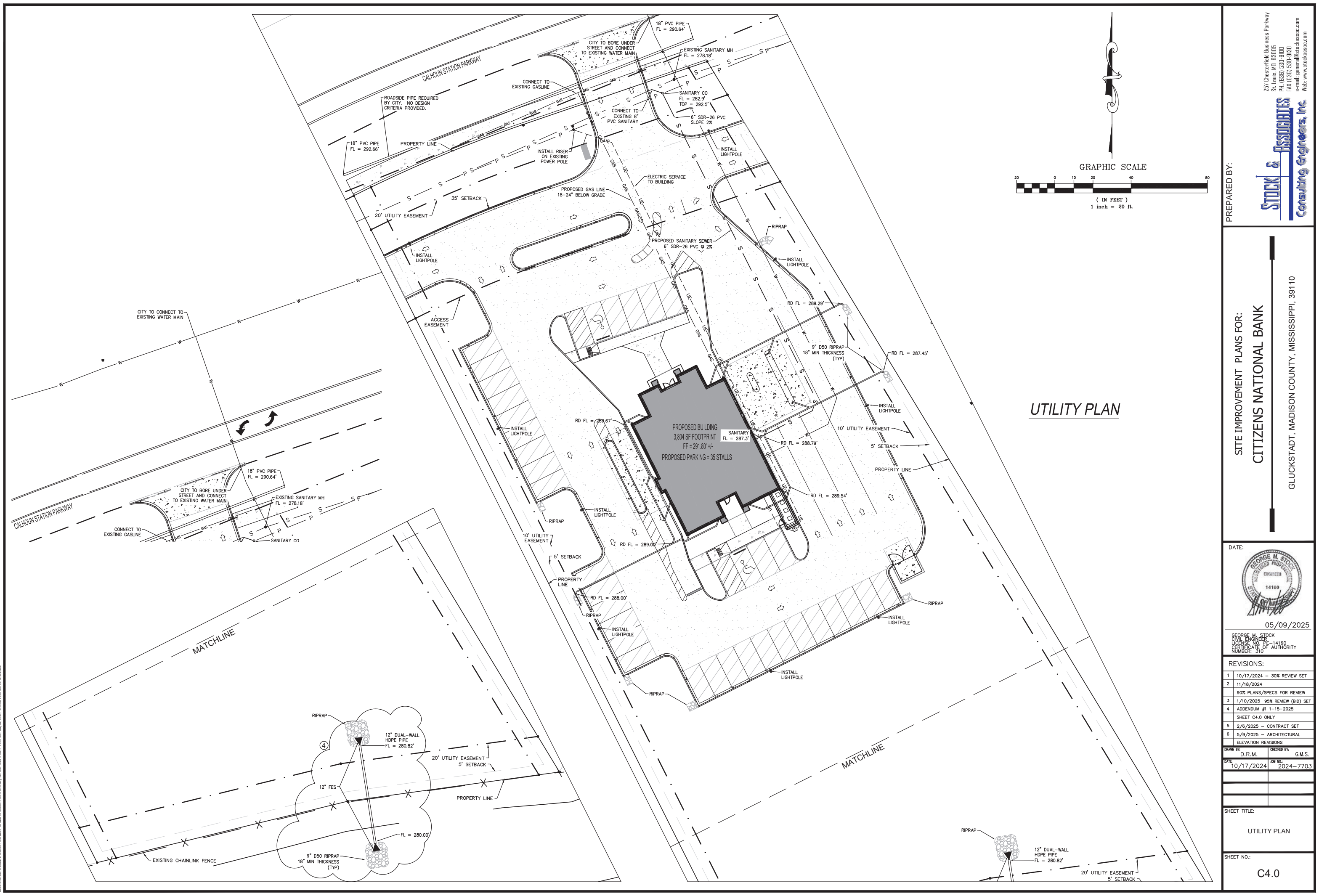
D.R.M.
G.M.S.
10/17/2024
2024-7703
SHEET TITLE:
SITE, GEOMETRIC, & PAVING PLAN
SHEET NO.:
C3.0


UTILITY PLAN
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.
PROPOSED BUILDING
3,804 SF FOOTPRINT
FF = 291.80' +/-
PROPOSED PARKING = 35 STALLS
CALHOUN STATION PARKWAY
MATCHLINE
PREPARED BY:
STOCK & ASSOCIATES Consulting Engineers, Inc.
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CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110
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10/17/2024
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SHEET TITLE:
UTILITY PLAN
SHEET NO.:
C4.0

EARTHWORK NOTES

TOTAL QUANTITIES

CUT: 1,618 ± CUBIC YARDS (EXCLUDES UTILITY & SEWER BACKFILL/EXCAVATION SPOILS)

FILL: 1,618 ± CUBIC YARDS (INCLUDES 15% SHRINKAGE) FINISHED GRADE MINUS PAVEMENT (CUYD) 3,037. – 1,419 = 1,618

NET: 0 ± CUBIC YARDS

THE ENGINEER HAS MADE THE FOLLOWING ASSUMPTIONS IN THE ABOVE STATED QUANTITIES:

EARTHWORK ASSUMPTIONS:
12" PAVEMENT SUBGRADE
12" BUILDING SUBGRADE
15% SHRINKAGE APPLIED TO FILL MATERIAL

THE ENGINEER HAS CALCULATED THE ABOVE QUANTITIES OF EARTHWORK TO BE REGARDED AS AN ESTIMATE OF THE BULK MOVEMENT OR REDISTRIBUTION OF SOILS ON THIS PROJECT. AS AN ESTIMATE, THESE QUANTITIES ARE INTENDED FOR GENERAL USE, AND THE ENGINEER ASSUMES NO LIABILITY FOR COST OVERRUNS DUE TO EXCESS EXCAVATED MATERIALS OR SHORTAGES OF FILL.

THE QUANTITIES ESTIMATED FOR EACH OF THE IMPROVEMENT ITEMS LISTED ABOVE ARE BASED UPON THE HORIZONTAL AND VERTICAL LOCATION OF THE IMPROVEMENTS AS PROPOSED ON THE SITE ENGINEERING PLANS PREPARED BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.

THE ENGINEER'S EARTHWORK ESTIMATE DOES NOT INCLUDE ANY OF THE FOLLOWING ITEMS REQUIRING EARTHWORK THAT MAY BE NECESSARY FOR COMPLETION OF THE PROJECT: MISCELLANEOUS UNDERGROUND CONDUITS, INCLUDING SEWER LINES AND WATER MAINS LESS THAN TWENTY-FOUR INCHES IN DIAMETER, STANDARD MANHOLES; PROCESS OR TRANSFER PIPING; ELECTRICAL OR TELEPHONE CONDUITS OR DUCT BANKS; BASES FOR LIGHT STANDARDS; BUILDING FOOTINGS AND FOUNDATIONS, RETAINING WALL BACKFILL, ETC.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL SIZE OF THE FIELD EXCAVATIONS MADE FOR THE INSTALLATION OF UNDERGROUND STRUCTURES, AND AS SUCH, THE ACTUAL QUANTITIES OF EARTHWORK FROM SUCH ITEMS MAY VARY FROM THE ESTIMATE SHOWN ABOVE.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR COSTS INCURRED DUE TO REMOVAL OF UNSUITABLE MATERIAL FROM THE SITE.

IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO PERFORM AN INDEPENDENT EARTHWORK ANALYSIS PRIOR TO SUBMISSION OF BID. IN THE EVENT A DISCREPANCY EXISTS THE GRADING CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO EXISTS THE GRADING CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO SUBMISSION OF BID.

AFTER CONTRACTOR RECEIVES AWARD AND NOTICE TO PROCEED (NTP), CONTRACTOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY AND PERFORM EARTHWORK ANALYSIS PRIOR TO COMMENCING GRADING TO RE-CONFIRM BID QUANTITIES.

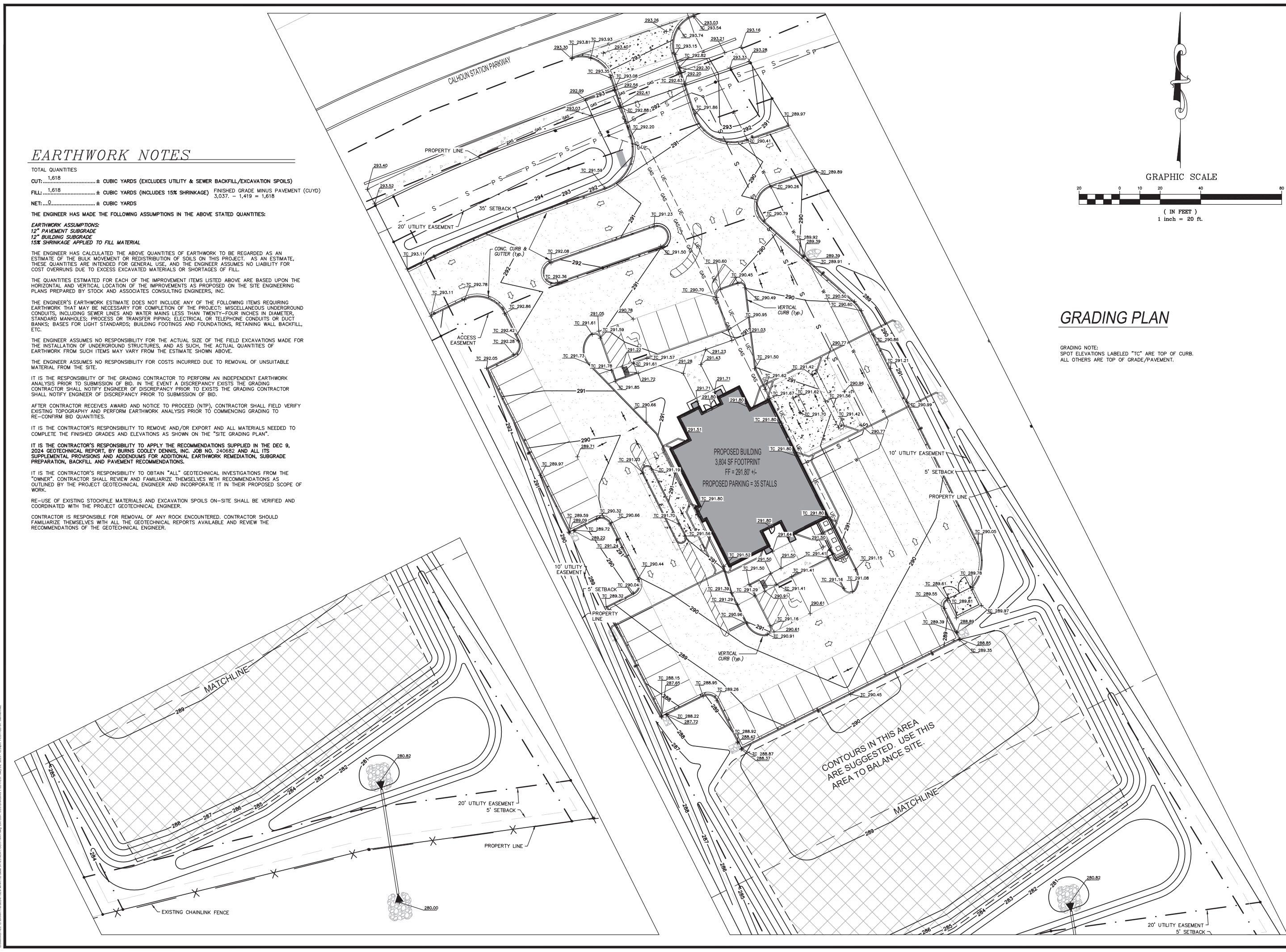
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND/OR EXPORT AND ALL MATERIALS NEEDED TO COMPLETE THE FINISHED GRADES AND ELEVATIONS AS SHOWN ON THE "SITE GRADING PLAN".

IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY THE RECOMMENDATIONS SUPPLIED IN THE DEC 9, 2024 GEOTECHNICAL REPORT, BY BURNS COOLEY DENNIS, INC. JOB NO. 240682 AND ALL ITS SUPPLEMENTAL PROVISIONS AND ADDENDUMS FOR ADDITIONAL EARTHWORK REMEDIATION, SUBGRADE PREPARATION, BACKFILL AND PAVEMENT RECOMMENDATIONS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN "ALL" GEOTECHNICAL INVESTIGATIONS FROM THE "OWNER". CONTRACTOR SHALL REVIEW AND FAMILIARIZE THEMSELVES WITH RECOMMENDATIONS AS OUTLINED BY THE PROJECT GEOTECHNICAL ENGINEER AND INCORPORATE IT IN THEIR PROPOSED SCOPE OF WORK.

RE-USE OF EXISTING STOCKPILE MATERIALS AND EXCAVATION SPOILS ON-SITE SHALL BE VERIFIED AND COORDINATED WITH THE PROJECT GEOTECHNICAL ENGINEER.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ANY ROCK ENCOUNTERED. CONTRACTOR SHOULD FAMILIARIZE THEMSELVES WITH ALL THE GEOTECHNICAL REPORTS AVAILABLE AND REVIEW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.



GRADING PLAN

GRADING NOTE:
SPOT ELEVATIONS LABELED "TC" ARE TOP OF CURB.
ALL OTHERS ARE TOP OF GRADE/PAVEMENT.

PREPARED BY:
STOCK & ASSOCIATES Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005

SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE:
05/09/2025
GEORGE M. STOCK
CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY
NUMBER: 310

REVISIONS:

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DRAWN BY: D.R.M. CHECKED BY: G.M.S.
DATE: 10/17/2024 JOB NO.: 2024-7703

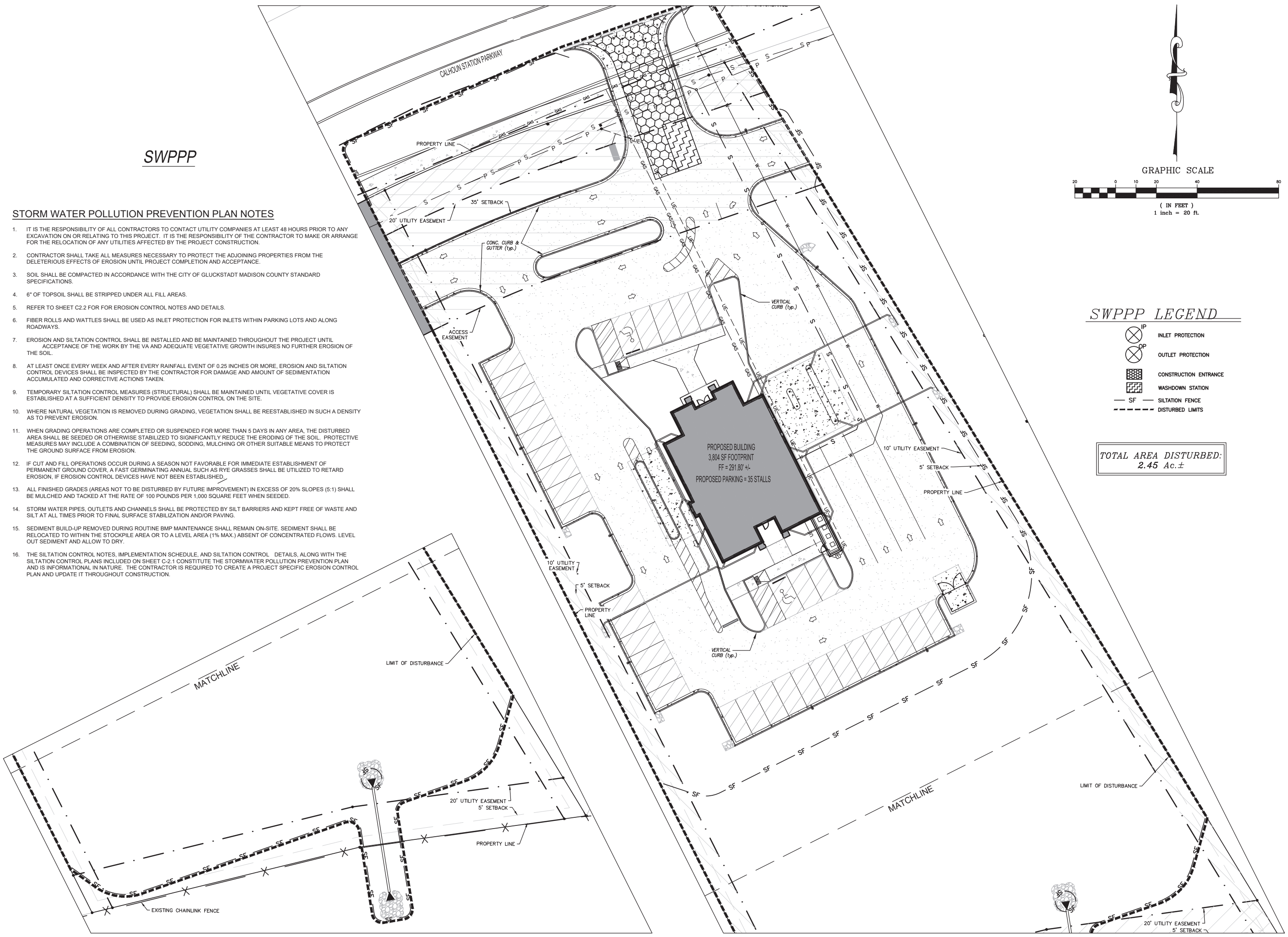
SHEET TITLE: GRADING PLAN

SHEET NO.: C5.0

SWPPP

STORM WATER POLLUTION PREVENTION PLAN NOTES

1. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO CONTACT UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON OR RELATING TO THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE OR ARRANGE FOR THE RELOCATION OF ANY UTILITIES AFFECTED BY THE PROJECT CONSTRUCTION.
2. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE ADJOINING PROPERTIES FROM THE DELETERIOUS EFFECTS OF EROSION UNTIL PROJECT COMPLETION AND ACCEPTANCE.
3. SOIL SHALL BE COMPACTED IN ACCORDANCE WITH THE CITY OF GLUCKSTADT MADISON COUNTY STANDARD SPECIFICATIONS.
4. 6" OF TOPSOIL SHALL BE STRIPPED UNDER ALL FILL AREAS.
5. REFER TO SHEET C2.2 FOR FOR EROSION CONTROL NOTES AND DETAILS.
6. FIBER ROLLS AND WATTLES SHALL BE USED AS INLET PROTECTION FOR INLETS WITHIN PARKING LOTS AND ALONG ROADWAYS.
7. EROSION AND SILTATION CONTROL SHALL BE INSTALLED AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE VA AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
8. AT LEAST ONCE EVERY WEEK AND AFTER EVERY RAINFALL EVENT OF 0.25 INCHES OR MORE, EROSION AND SILTATION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR FOR DAMAGE AND AMOUNT OF SEDIMENTATION ACCUMULATED AND CORRECTIVE ACTIONS TAKEN.
9. TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE.
10. WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
11. WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 5 DAYS IN ANY AREA, THE DISTURBED AREA SHALL BE SEEDED OR OTHERWISE STABILIZED TO SIGNIFICANTLY REDUCE THE ERODING OF THE SOIL. PROTECTIVE MEASURES MAY INCLUDE A COMBINATION OF SEEDING, SODDING, MULCHING OR OTHER SUITABLE MEANS TO PROTECT THE GROUND SURFACE FROM EROSION.
12. IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES SHALL BE UTILIZED TO RETARD EROSION, IF EROSION CONTROL DEVICES HAVE NOT BEEN ESTABLISHED.
13. ALL FINISHED GRADES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENT) IN EXCESS OF 20% SLOPES (5:1) SHALL BE MULCHED AND TACKED AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET WHEN SEEDED.
14. STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
15. SEDIMENT BUILD-UP REMOVED DURING ROUTINE BMP MAINTENANCE SHALL REMAIN ON-SITE. SEDIMENT SHALL BE RELOCATED TO WITHIN THE STOCKPILE AREA OR TO A LEVEL AREA (1% MAX.) ABSENT OF CONCENTRATED FLOWS. LEVEL OUT SEDIMENT AND ALLOW TO DRY.
16. THE SILTATION CONTROL NOTES, IMPLEMENTATION SCHEDULE, AND SILTATION CONTROL DETAILS, ALONG WITH THE SILTATION CONTROL PLANS INCLUDED ON SHEET C-2.1 CONSTITUTE THE STORMWATER POLLUTION PREVENTION PLAN AND IS INFORMATIONAL IN NATURE. THE CONTRACTOR IS REQUIRED TO CREATE A PROJECT SPECIFIC EROSION CONTROL PLAN AND UPDATE IT THROUGHOUT CONSTRUCTION.



PREPARED BY:
STOCK & ASSOCIATES Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005

SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE: 05/09/2025
GEORGE M. STOCK
CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY
NUMBER: 310

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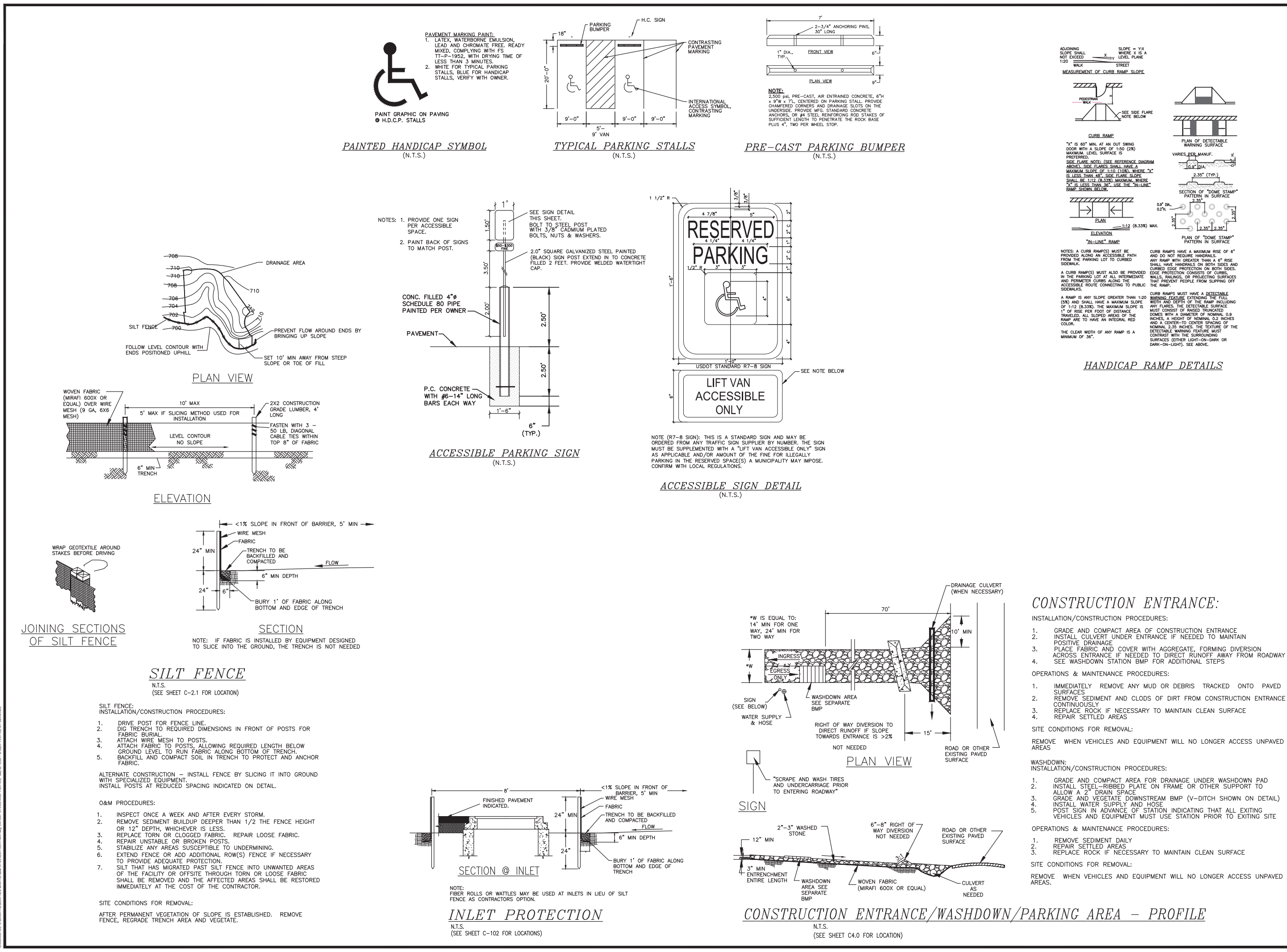
DRAWN BY: D.R.M. | CHECKED BY: G.M.S.
DATE: 10/17/2024 | JOB NO.: 2024-7703

SHEET TITLE: SWPPP

SHEET NO.: C6.0



PREPARED BY:

Stock & Associates Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005
PH. (636) 530-9100
FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

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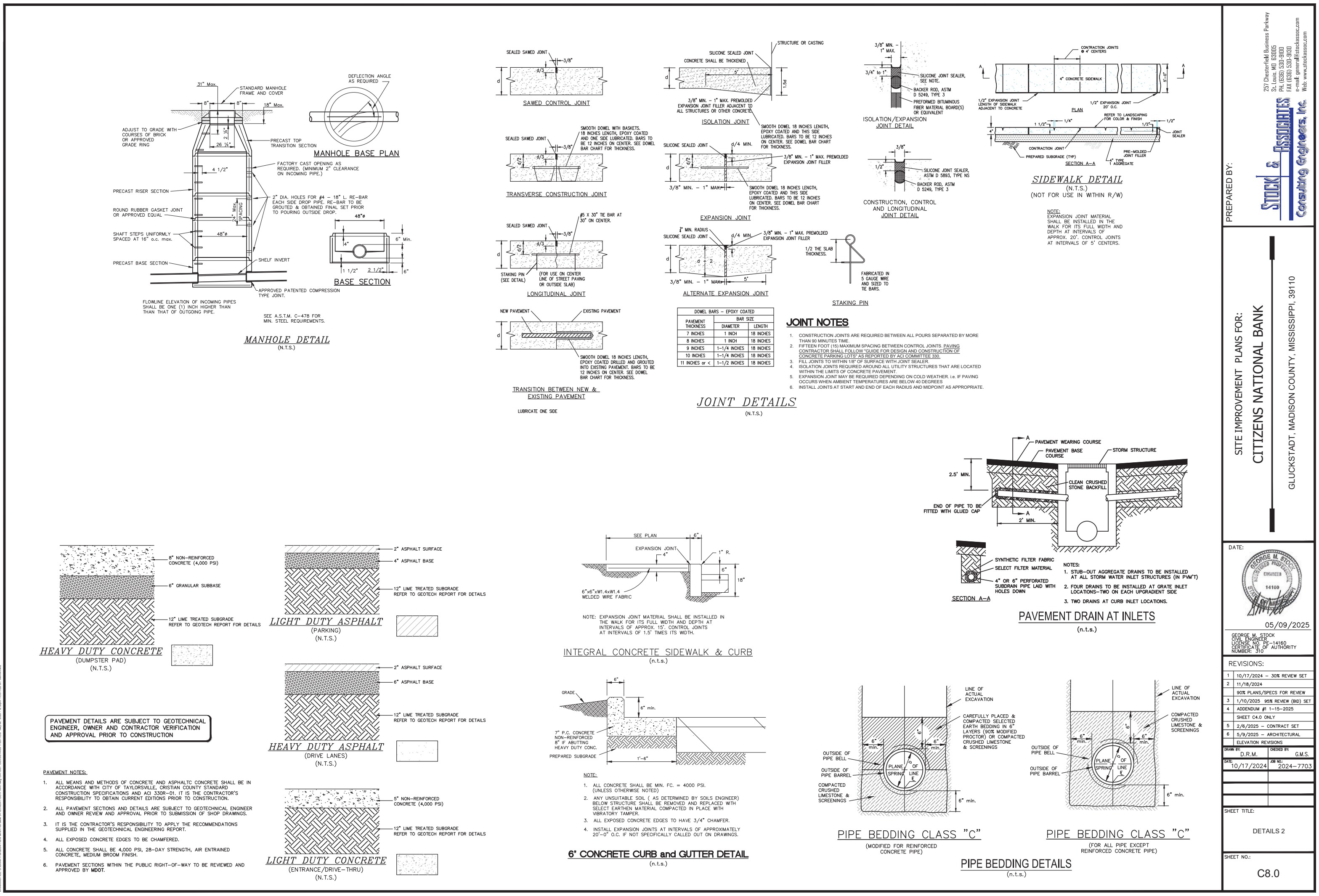
3	1/10/2025 95% REVIEW (BID) SET
4	ADDENDUM #1 1-15-2025
	SHEET C4.0 ONLY
5	2/6/2025 - CONTRACT SET
6	5/9/2025 - ARCHITECTURAL
	ELEVATION REVISIONS

DRAWN BY: D.R.M. CHECKED BY: G.M.S.
DATE: 10/17/2024 JOB NO.: 2024-7703

SHEET TITLE: DETAILS

SHEET NO.: C7.0



DOWEL BARS – EPOXY COATED		
PAVEMENT THICKNESS	BAR SIZE	
	DIAMETER	LENGTH
7 INCHES	1 INCH	18 INCHES
8 INCHES	1 INCH	18 INCHES
9 INCHES	1–1/4 INCHES	18 INCHES
10 INCHES	1–1/4 INCHES	18 INCHES
11 INCHES or <	1–1/2 INCHES	18 INCHES

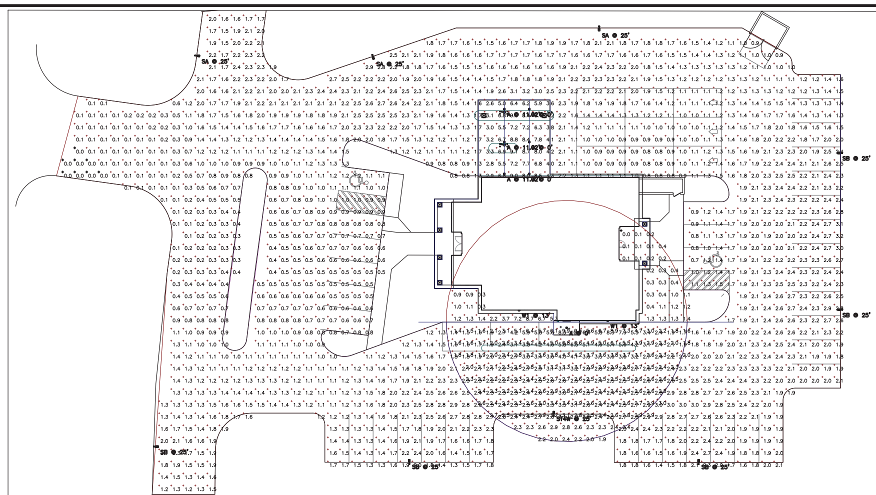
JOINT NOTES

1. CONSTRUCTION JOINTS ARE REQUIRED BETWEEN ALL POURS SEPARATED BY MORE THAN 90 MINUTES TIME.
2. FIFTEEN FOOT (15) MAXIMUM SPACING BETWEEN CONTROL JOINTS. PAVING CONTRACTOR SHALL FOLLOW "GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS" AS REPORTED BY ACI COMMITTEE 330.
3. FILL JOINTS TO WITHIN 1/8" OF SURFACE WITH JOINT SEALER.
4. ISOLATION JOINTS REQUIRED AROUND ALL UTILITY STRUCTURES THAT ARE LOCATED WITHIN THE LIMITS OF CONCRETE PAVEMENT.
5. EXPANSION JOINT MAY BE REQUIRED DEPENDING ON COLD WEATHER. i.e. IF PAVING OCCURS WHEN AMBIENT TEMPERATURES ARE BELOW 40 DEGREES
6. INSTALL JOINTS AT START AND END OF EACH RADIUS AND MIDPOINT AS APPROPRIATE.

PAVEMENT DETAILS ARE SUBJECT TO GEOTECHNICAL ENGINEER, OWNER AND CONTRACTOR VERIFICATION AND APPROVAL PRIOR TO CONSTRUCTION

PAVEMENT NOTES:

1. ALL MEANS AND METHODS OF CONCRETE AND ASPHALTC CONCRETE SHALL BE IN ACCORDANCE WITH CITY OF TAYLORSVILLE, CRISTIAN COUNTY STANDARD CONSTRUCTION SPECIFICATIONS AND ACI 330R–01. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN CURRENT EDITIONS PRIOR TO CONSTRUCTION.
2. ALL PAVEMENT SECTIONS AND DETAILS ARE SUBJECT TO GEOTECHNICAL ENGINEER AND OWNER REVIEW AND APPROVAL PRIOR TO SUBMISSION OF SHOP DRAWINGS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY THE RECOMMENDATIONS SUPPLIED IN THE GEOTECHNICAL ENGINEERING REPORT.
4. ALL EXPOSED CONCRETE EDGES TO BE CHAMFERED.
5. ALL CONCRETE SHALL BE 4,000 PSI, 28–DAY STRENGTH, AIR ENTRAINED CONCRETE, MEDIUM BROOM FINISH.
6. PAVEMENT SECTIONS WITHIN THE PUBLIC RIGHT–OF–WAY TO BE REVIEWED AND APPROVED BY MDOT.



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.8 fc	10.8 fc	0.0 fc	N/A	N/A
Calc Zone #3	+	2.7 fc	9.9 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Manufacturer	Catalog	Description	Label	QTY	Lamp Output	Input Power
	EATON – HALO COMMERCIAL (FORMER COOPER LIGHTING)	PD610ED010–PDM6A835–64VH	HALO COMMERCIAL 6 INCH SHALLOW RECESSED LED DOWNLIGHT WITH SEMI SPECULAR CLEAR FINISH REFLECTOR	A	7	1218	12.1
	EATON – METALUX (FORMER COOPER LIGHTING)	24CZ–LD5–30–UNV–L835–CD1–U	CRUZE 2x4 LED TROFFER ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	A2	0	3010	21.62
	EATON – METALUX (FORMER COOPER LIGHTING)	24CZ–LD5–35–UNV–L835–CD1–U	CRUZE 2x4 LED TROFFER ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	C	0	3494	25.32
	EATON – McGRAW–EDISON (FORMER COOPER LIGHTING)	GLEON–AF–02–LED–E1–T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	SA	2	382	113
	EATON – McGRAW–EDISON (FORMER COOPER LIGHTING)	GLEON–AF–02–LED–E1–T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	SA	1	382	113
	EATON – McGRAW–EDISON (FORMER COOPER LIGHTING)	GLEON–AF–02–LED–E1–T4W	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	ST4W	1	378	113
	EATON – McGRAW–EDISON (FORMER COOPER LIGHTING)	GLEON–AF–02–LED–E1–T4W	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	SB	5	378	113
	COOPER LIGHTING SOLUTIONS – LUMARK (FORMERLY EATON)	XTOR3B	CROSSTOUR 26W WALL MOUNT LED	W1	2	2750	25.5

PREPARED BY:

Stock & Associates Consulting Engineers, Inc.

SITE IMPROVEMENT PLANS FOR:

CITIZENS NATIONAL BANK

GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE:

GEORGE M. STOCK REGISTERED PROFESSIONAL ENGINEER 14160 STATE OF MISSISSIPPI

05/09/2025

GEORGE M. STOCK
CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY NUMBER: 310

REVISIONS:

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DRAWN BY: D.R.M.	CHECKED BY: G.M.S.
DATE: 10/17/2024	JOB NO.: 2024–7703

SHEET TITLE: LIGHTING PLAN

SHEET NO.: C9.0

BURNS COOLEY DENNIS, INC.
GEOTECHNICAL AND MATERIALS ENGINEERING CONSULTANTS

Corporate Office
551 Sunnybrook Road
Ridgeland, MS 39157
Phone: (601) 856-9911
Fax: (601) 853-2077

Mailing Address
Post Office Box 12828
Jackson, MS 39236
www.bcdgeo.com

Materials Laboratory
278 Commerce Park Drive
Ridgeland, MS 39157
Phone: (601) 856-2332
Fax: (601) 856-3552

December 9, 2024

Mr. Alan Clodfelter
Citizens National Bank
512 22nd Avenue
Meridian, Mississippi 39301

Report No. 240682

Geotechnical Exploration
Proposed Citizens National Bank Facility
Gluckstadt, Mississippi

Dear Mr. Clodfelter:

Submitted here is the report of our geotechnical exploration for the above-captioned project. This exploration was authorized by your execution of our contract agreement on October 28, 2024, and was generally performed in accordance with our Proposal No. 24001P-329 dated October 22, 2024.

We appreciate the opportunity to be of service. If you should have any questions concerning this report, please do not hesitate to call us.

Very truly yours,

BURNS COOLEY DENNIS, INC.

Amber Templeton Reeb, P.E.

Marcos V. F. Rodrigues

MARCOS V. F. RODRIGUES
LICENSED PROFESSIONAL ENGINEER
20284
STATE OF MISSISSIPPI

MR/ATR/khb
Copies Submitted: (via e-mail)

TABLE OF CONTENTS

1.0 INTRODUCTION

1.1 Project Description

Plans are being made for the construction a new Citizens National Bank facility on a parcel of land located on the south side of Calhoun Station Parkway in Gluckstadt, Mississippi. The proposed facility will consist of a building and drive-up canopy surrounded by parking lots and drives. We understand that the new building will generally consist of a lightly loaded, one-story structure encompassing about 4,000 sq ft. Details regarding grading plans have not been provided; however, we anticipate only nominal cutting and/or filling (+/- 2 ft) will be required to construct a level pad to provide drainage away from the structures and across the pavement areas. The proposed construction area is open. A site plan for the new facility is shown on Figure 1 of this report.

1.2 Purposes

The specific purposes of this exploration were:

1) to make exploratory soil borings within the area planned for construction of the new facility;

2) to verify field classifications and to evaluate pertinent physical properties of the soils encountered in the borings by means of visual examination of the soil samples in the laboratory and routine tests performed on the samples; and

3) after analysis of the soil boring and laboratory test data, to provide recommendations for site preparation, earthwork construction, and foundation design and construction, and to also provide guideline recommendations for pavement design and construction.

Our current scope of work does not include: environmental study; detailed slope and trench stability analyses; dewatering analyses; detailed pavement design; structural foundation design; review of plans and specifications; responses to contractor requests for information (RFIs); and construction phase services.

2.0 FIELD EXPLORATION

2.1 General

At your request, subsurface soil conditions within the areas planned for construction of the facility were explored by means of ten (10) borings. Borings 1 through 5 were made to an exploration depth of 20 ft within the planned construction area for the building and canopy. Borings 6 through 10 were made to a depth of 10 ft within the planned pavement areas. The approximate locations of the borings are shown on Figure 1. The borings were approximately located using GPS coordinates that were generated using the site plan provided overlain on a Google Earth image.

All soils were classified in general accordance with the Unified Soil Classification System. A synopsis of the Unified Soil Classification System is presented on Figure 2 along with symbols and terminology typically utilized on graphical soil boring logs. Graphical logs of the borings are presented on Figures 3 through 12. The graphical logs illustrate the types of soil and stratification encountered with depth below the existing ground surface at the individual boring locations. Approximate GPS coordinates for the boring locations as determined by our drilling personnel using a hand-held device are shown at the bottom of the graphical boring logs within the "Comments" section. Ground elevations at the boring locations were not determined.

2.2 Drilling Methods and Groundwater Observations

The borings were advanced full depth by dry augering. Observations were made continuously during auger drilling to detect free water entering the open boreholes. Notes pertaining to groundwater observations are included at the bottom right corner of the graphic boring logs.

2.3 Sampling Methods

Relatively undisturbed samples of the fine-grained soils encountered in Borings 1 through 5 were obtained at approximate 3-ft to 5-ft intervals of depth by pushing a 3-in. OD Shelby tube sampler approximately 2 ft into the soil. The Shelby tube samples were obtained within the depth intervals illustrated as shaded portions of the "Samples" column of the graphic logs for Borings 1 through 5.

Disturbed auger cutting samples were obtained at approximate 1.5-ft to 2-ft depth intervals in Borings 6 through 10. Disturbed auger cutting samples were also taken near the ground surface in Borings 1 through 5. The depths at which the auger cutting samples were taken are illustrated as small I-shaped symbols under the "Samples" column of the graphic boring logs.

2.4 Field Classification, Sample Preservation, and Borehole Abandonment

All soils encountered during drilling were examined and classified in the field by a geotechnical engineering technician. The undisturbed Shelby tube samples were extruded from the sampling tube in the field. An approximate 6-in. long portion of each Shelby tube sample was sealed with melted paraffin in a cylindrical cardboard container to prevent moisture loss and structural disturbance. An additional portion of each Shelby tube sample and the auger cutting samples were sealed in jars to provide material for visual examination and testing in the laboratory. Unless other disposition is requested, we routinely discard soil samples after about six months of storage. The boreholes were filled with soil cuttings after completion of drilling and sampling.

3.0 LABORATORY TESTING

3.1 General

All of the soil samples were examined in the laboratory by a geotechnical engineer and tests were performed on selected samples to verify field classifications and to assist in evaluating the volume change properties of the soils encountered. The types of laboratory tests performed are described in the following paragraphs.

3.2 Strength Tests

The undrained shear strength characteristics of the fine-grained soils encountered in the borings were evaluated by means of visual estimates of consistency and from the results of unconfined compression (UC) and unconsolidated undrained (UU) triaxial compression tests performed on selected undisturbed Shelby tube samples. The cohesions resulting from the UC and UU triaxial compression tests are plotted as small open circles and triangles, respectively, in the data section of the graphic boring logs. The water content and dry density were also

determined for the compression test specimens. The water contents are plotted as small shaded circles in the data section of the graphic boring logs. The dry densities are tabulated to the nearest lb per cu ft under the "Dry Density" column of the logs.

3.3 Classification Tests

The classifications and volume change properties of the fine-grained soils encountered in the borings were investigated by means of Atterberg liquid and plastic limit tests. The results of the liquid and plastic limit tests are plotted as small crosses interconnected by dashed lines in the data section of the graphic boring logs. In accordance with the Unified Soil Classification System, fine-grained soils are classified as either clays or silts of low or high plasticity based on the results of Atterberg limit tests. The numerical difference between the liquid limit and plastic limit is defined as the plasticity index (PI). The magnitudes of the liquid limit and plasticity index and the proximity of the natural water content to the plastic limit are indicators of the potential for a fine-grained soil to shrink or swell upon changes in moisture content or to consolidate under loading. The proximity of the natural water content to the plastic limit is also an indicator of undrained soil strength.

The classifications of soils containing some sand were investigated by means of one minus No. 200 sieve test performed on a selected sample from Boring 4. The percentage of fines resulting from the minus No. 200 sieve test is tabulated at the appropriate depth under the "% Passing No. 200 Sieve" column of the graphic log for Boring 4.

3.4 Water Content Tests

Water content tests were performed on all samples upon which strength tests were not conducted to corroborate field classifications and to extend the usefulness of the strength and plasticity data. The results of the water content tests are plotted as small shaded circles in the data section of the graphic boring logs. The water content data have been interconnected on the logs to illustrate a continuous profile with depth.

4.0 GENERAL SUBSURFACE CONDITIONS

4.1 General

A general description of subsurface soil and groundwater conditions revealed by the borings made for this exploration is provided in the following paragraphs. The graphical logs shown on Figures 3 through 12 should be referred to for specific soil and groundwater conditions encountered at each boring location. Stick logs of the borings are shown in profile on Figure 13 to aid in visualizing subsurface soil conditions. Tabulated adjacent to the stick logs are Atterberg liquid and plastic limits, water contents, the percentage of fines passing the No. 200 sieve, dry densities and cohesions.

4.2 Soil Stratification

Borings 1 through 5 were made within the planned construction area for the new building and canopy, and Borings 6 through 10 were made within the new pavement areas. Subsurface soils encountered within the 20-ft maximum completion depth of the borings made for this exploration generally consist of silty clays (CL), sandy clays (CL) and clays (CH). For the most part, the subsurface soils are considered to have moderate to high strength and low to moderate compressibility. However, medium stiff silty clays (CL) that are considered to have low-moderate strength and moderate-high compressibility were encountered within the following approximate depth intervals:

- 0 ft to 1 ft at Borings 1 and 7
- 0 ft to 5 ft at Boring 2
- 4 ft to 13 ft at Boring 3
- 0 ft to 4 ft Boring 6

The silty clays (CL) and sandy clays (CL) are considered to have low shrink/swell potential.

Clays (CH) that are considered to have moderate to high shrink/swell potential were encountered within the approximate depth interval of 7.5 ft to 13 ft at Boring 1, from the ground surface to a depth of about 4 ft at Boring 4, and from the ground surface to a depth of about 2 ft at Borings 8 and 10.

4.3 Groundwater

Free water was not encountered during auger drilling for the borings. In our opinion, groundwater conditions at the site will primarily be influenced by rainfall, surface drainage, and by the rise and fall of water levels in nearby ditches, creeks, ponds or other bodies of water. Groundwater conditions at the site can also be influenced by man-made changes. Soils which did not exhibit free water during the short time period of drilling may exhibit water seepage at other times during construction and within excavations that remain open for an extended period of time or that are permanent. Surficial soils can become saturated and weak to relatively shallow depths during periods of prolonged and heavy rainfall.

5.0 DISCUSSION

5.1 General Soil Conditions

Subsurface soils encountered within the 20-ft maximum completion depth of the borings made for this exploration generally consist of silty clays (CL), sandy clays (CL) and clays (CH). Medium stiff silty clays (CL) that are considered to have low-moderate strength and moderate-high compressibility were encountered near/at the ground surface in Borings 1, 2, 3, 6, and 7. The remaining subsurface soils are considered to be relatively stronger with moderate to high strength and low to moderate compressibility. The silty clays (CL) and sandy clays (CL) are considered to have low shrink/swell potential.

Moderately to highly expansive clays (CH) were encountered at the ground surface in Borings 4, 8, and 10, and at a depth of about 7.5 ft at Boring 1.

5.2 Expansive Clay Considerations

Shrink/swell movements associated with seasonal moisture content fluctuations can occur within the expansive clay (CH) soils. Cover materials overlying expansive clays (CH) buffer moisture content changes within the clays (CH) caused by seasonal weather conditions and transpiration by plants and trees. Thus, the potential magnitude of moisture content changes and associated shrink/swell movements within expansive clays (CH) is proportionate to the thickness of overlying cover materials. Moisture content changes and shrink/swell movements within expansive clays (CH) are lower for greater thicknesses of cover materials. There is a general

PREPARED BY:

STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005
PH (636) 530-9100
FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE:

GEORGE M. STOCK
REGISTERED PROFESSIONAL ENGINEER
14160
STATE OF MISSISSIPPI

05/09/2025

GEORGE M. STOCK
CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY
NUMBER: 310

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SHEET TITLE:
GEOTECH REPORT

SHEET NO.:
C10.0

trend for expansive clays (CH) beneath structures to swell due to an increase in water content caused by capillary and vapor phase movement of moisture within the clays (CH). Expansive clays (CH) will also experience considerable swelling if directly supplied with water from rainfall, sprinkler systems, broken underground water and sewer pipes, or any other source. Trees growing adjacent to a structure can extract a considerable amount of moisture from the ground, resulting in localized shrinkage of expansive clays (CH) accompanied by vertical and lateral movements. Overburden removal associated with the establishment of finished grades lower than existing ground elevations will cause stress relief in expansive clay (CH) soils resulting in long-term rebound. Expansive clay (CH) soils will also experience long-term downhill creep movements, depending on slope steepness.

5.3 Geotechnical-Related Design and Construction Considerations

From a geotechnical standpoint, the primary factors relevant to foundation design and construction for the building and canopy are bearing capacity, settlement due to soil consolidation under fill and structural loadings and the shrink/swell potential of the expansive clay (CH) soils. Soils classified as medium stiff would provide a low bearing capacity for a shallow foundation and would consolidate under fill and structural loadings. The moderately to highly expansive clay (CH) soils can experience shrink/swell movements associated with seasonal moisture content fluctuations. A foundation should be utilized for the building and canopy that will accommodate the anticipated structural loadings and also minimize future differential vertical movements resulting from settlement due to soil consolidation. In our opinion, a shallow foundation system could be used for support of the building and canopy, provided: 1) column loads are less than 150 kips and wall loads do not exceed 7 kips per ft; 2) weak unstable soils are removed and replaced with properly compacted fill; 3) a minimum 5-ft thick buffer of low permeability and low shrink/swell potential soil is provided over the expansive clays (CH); and 4) our recommendations for site preparation and earthwork construction are implemented. The buffer should be measured from either the bottom of the slab or finished outside grades, whichever results in the lower elevation. The stiffened slab-on-grade foundation in combination with the recommended soil buffer should **minimize, not eliminate,** future differential vertical movements within the building and canopy caused by shrinking and swelling of the expansive clays (CH) due to moisture content fluctuations.

The building and canopy may be supported by either a stiffened slab-on-grade foundation or a strip or spread footing foundation.

Expansive clays (CH) were encountered within the building and canopy area from the ground surface to a depth of about 4 ft at Boring 4 and within the approximate depth interval of 7.5 ft to 13 ft at Boring 1. Undercutting will be required within the proposed construction area for the building and canopy in the vicinity of Boring 4 to create the recommended minimum buffer of low permeability and low shrink/swell potential soils over the expansive clays (CH). If the proposed finished grades are significant lower than existing grades at Boring 1, then undercutting and backfilling would also be required to remove expansive clays (CH). The actual vertical and lateral extent of undercutting required to remove expansive clays (CH) must be determined in the field during earthwork construction. As previously stated, the shallow foundation in combination with the recommended soil buffer should minimize, not eliminate, future differential vertical movements within the building and canopy caused by shrinking and swelling of the expansive clays (CH) due to ordinary seasonal moisture content fluctuations. Undercutting to remove expansive clays (CH) should extend laterally not less than 5 ft beyond the edges of the building and canopy.

It is our opinion that either flexible asphalt concrete or rigid Portland cement concrete pavement can be utilized for the parking lots and drives, provided not less than 3 ft of strong low permeability and low shrink/swell potential subgrade soils directly underlie the asphalt concrete pavement and/or Portland cement concrete pavement. Expansive clays (CH) were encountered within the pavement areas at the ground surface in Borings 8 and 10; therefore, undercutting and backfilling will be required within the vicinities of Borings 8 and 10 to remove a sufficient thickness of expansive clay (CH) soils and create the 3-ft thick minimum recommended buffer directly underlie the pavement. Undercutting to remove expansive clays (CH) should extend laterally not less 3 ft beyond the edges of pavements.

Relatively weaker medium stiff silty clays (CL) that are considered to have low-moderate strength and moderate-high compressibility were encountered at/near the ground surface at Borings 1, 2, 3, 6, and 7. Due to the high moisture contents of the subsurface soils and shallow groundwater seepage, we caution that the existing soils may become unstable soils when disturbed and exposed to construction traffic. If the soils have not dried by the time earthwork is initiated and pumping or yielding of the subgrade does occur, it may be necessary to either

chemically stabilize, remove these soils or a combination of these two options. Depending on the time of year when earthwork is performed, the high moisture content soils could dry and become less susceptible to yielding and pumping. This would particularly be the case in the late summer and early fall in a normal year.

Details of our recommendations for site preparation, earthwork construction, and foundation design and construction are included in the following subsections of this report. Guideline recommendations for pavement design and construction are also provided.

6.0 RECOMMENDATIONS

6.1 Site Preparation and Earthwork Construction

Unless otherwise noted, our recommendations for earthwork construction are the same for the building, canopy and pavement areas. As an initial step of site preparation within the planned construction areas, stripping should be performed throughout the construction areas to remove organic-laden surficial soils, vegetation, debris, brush and roots. Excavation should then be performed to remove any weak unstable/high moisture content soils encountered during stripping. As previously mentioned, weaker medium stiff silty clays (CL) were encountered at/near the ground surface at building/canopy Borings 1, 2, and 3 and pavement Borings 6 and 7. If these soils do not improve in strength prior to construction, they may require chemical treatment, removal and replacement, or improvement by other methods. The actual vertical and lateral extent of excavation required to remove weak soils must be determined in the field during earthwork construction. Excavation of weak soils should extend laterally not less than 5 ft beyond the edges of the building and canopy, and 3 ft beyond the edges of pavements.

As previously mentioned, expansive clays (CH) were encountered at the ground surface in building/canopy Boring 4. Undercutting should then be performed within the building and canopy area in the vicinity of Boring 4 to create the recommended minimum 5-ft thick buffer of low permeability and low shrink/swell potential soils over the expansive clays (CH). **Undercutting should also be performed within the pavement areas in the vicinities of Borings 8 and 10 to remove expansive clays (CH) and provide for the placement of not less than 3 ft of low permeability and low shrink/swell potential soil below the pavement structure. Moderately expansive clays (CH) were encountered at the ground surface in Borings 8 and 10.** If the

proposed finished grades are significant lower than existing grades at Boring 1, undercutting should also be performed in the vicinity of Boring 1 to create the recommended minimum 5-ft thick buffer of low permeability and low shrink/swell potential soils over the expansive clays (CH). The actual vertical and lateral extent of undercutting required to remove expansive clays (CH) must be determined in the field during earthwork construction. Undercutting to remove expansive clays (CH) should extend laterally not less than 5 ft beyond the edges of the building and canopy and 3 ft beyond the edges of pavements.

In order to minimize the amount of excavation and undercutting, we recommend that a representative of Burns Cooley Dennis, Inc. be present to observe excavation/undercutting operations and assist in evaluating the depth and lateral extent of any excavation and undercutting required.

Even though free water was not encountered during our field exploration, it could present itself as slow seepage which would accumulate into excavations that are left open for an extended period of time. Groundwater levels at the site can fluctuate seasonally, and will be influenced by rainfall and surface drainage. Groundwater control requirements will be dependent on the required depth of excavation, the season in which construction is performed and on rainfall preceding and during construction. The means and methods for intercepting, collecting and removing groundwater entering the excavation should be the sole responsibility of the earthwork contractor.

Prior to the placement of any fill materials, the soils exposed after stripping, excavation and undercutting should be scarified to a minimum depth of 6 in. and compacted to not less than 95 percent of standard Proctor maximum dry density (ASTM D 698) with stability present. Alternatively, the exposed soils could be proofrolled with loaded dump trucks to demonstrate stability. Stability is defined as the absence of significant pumping, rutting or yielding of soils during compaction or proofrolling. If stability is not evident in some areas, either additional excavation, drying by processing, treatment of the in-situ soils with an admixture, or a combination of these approaches, might be required to achieve stable conditions.

The effort required to mitigate unstable soils will be influenced by the season of the year **when earthwork is performed.** At the time of our field exploration, the subsurface soils encountered near the surface at most of the boring locations were generally found to have water contents higher than the optimum moisture content, and these soils will most likely exhibit

instability when exposed to construction traffic after stripping, excavation and undercutting. The subsurface soils would likely be drier during the hot late summer and could weaken during heavy rainfall events. We recommend that earthwork be performed during a dry summer or fall season, if the schedule permits. It should be recognized that soils which are demonstrated to be adequately stable during stripping, excavation, undercutting, scarification/compaction and/or proofrolling can become unstable if they are disturbed by construction traffic or if they are exposed to rainfall prior to filling.

The on-site fine-grained soils are susceptible to pumping when wet. The construction techniques, types of equipment utilized and site drainage provided during construction will have a great effect on the performance of the fine-grained soils. The routing of heavy, rubber-tired equipment should be controlled to minimize, as much as possible, traffic in the construction areas. All traffic should be discouraged during periods of inclement weather. If pumping is initiated in the fine-grained soils, as a construction expedient the pumping can be counteracted by treating these materials with hydrated lime. It is estimated that about 4 to 6 percent hydrated lime by dry weight of soil could be required.

We recommend that backfilling and filling to achieve planned grades follow immediately after stripping, excavation, undercutting, scarification/compaction and/or proofrolling. Imported fill materials should consist of select, nonorganic and debris-free silty clays (CL) having a plasticity index (PI) within the range of 10 to 24 and a liquid limit less than 45. The fill soils should be compacted from lifts not exceeding 9 in. in loose thickness to not less than 95 percent of standard Proctor maximum dry density (ASTM D 698) at moisture contents within 3 percentage points of the optimum water content. Where hand-held compactors are used, the loose lift thickness should be limited to a maximum of 5 in. Stability must be evident during compaction of each lift before any subsequent lifts of fill material are added. Fill materials should extend laterally not less than 5 ft beyond the edges of the building and canopy, and not less than 3 ft beyond pavement edges and then slope down to natural ground at an inclination not steeper than 3H:1V. Finished site grades should be sloped to promote quick runoff of storm **water and provide positive drainage away from the building** and canopy on all sides and across **the pavement areas.**

Laboratory classification tests, including Atterberg limit determinations and grain-size analyses, should be performed on the fill soils initially and routinely during earthwork operations to check for compliance with the recommendations provided herein. Field moisture/density tests should be performed frequently in the scarified and compacted on-site soils and in each compacted lift of fill material to assist in evaluating whether the recommended moisture contents and dry densities are being achieved. As a guide for building and canopy earthwork construction, we suggest a minimum of one test per lift for each 2,500 sq ft of surface area or portion thereof. A frequency of testing considered to be appropriate for the pavement areas is one test per lift for each 5,000 sq ft of surface area or portion thereof.

6.2 Foundation Design Recommendations

6.2.1 Stiffened Slab-on-Grade Foundation. The new building and canopy could be supported by a foundation system consisting of a slab-on-grade stiffened with perimeter grade beams, or turned-down edges, and interior grade or tie beams. Grade beams should be utilized to support all exterior walls and all interior load-bearing and partition walls, or otherwise they should be spaced in a grid pattern on not greater than about 15-ft to 20-ft centers in each direction or otherwise directed by the structural engineer. Any columns should be supported by widened portions of the grade beams. We recommend that grade beams or turned-down edges around the perimeter of the building and canopy be brought to bear at a depth not less than 24 in. below finished outside grade. Interior tie or grade beams should be brought to bear at a depth not less than 18 in. below the bottom of the slab. We recommend that grade beams be proportioned for critical combinations of dead, live and wind loads utilizing a net allowable soil bearing pressure of 1,500 lbs per sq ft. A net allowable soil bearing pressure of 2,000 lbs per sq ft should be utilized to dimension widened portions of grade beams used to support column loads. We recommend a minimum base width of 18 in. for the grade beams. The grade beams should be reinforced for both positive and negative bending. The floor slab should be reinforced for anticipated loading conditions and deflections and to minimize slab cracking. We recommend **that the slab be reinforced with a grid of relatively closely** spaced reinforcing bars in lieu of **welded wire fabric.**

6.2.2 Spread Footing Foundation. The new building and canopy could alternatively be supported by a spread-strip footing foundation. For this type of foundation, strip footings should be utilized to support all exterior and interior load-bearing walls, and columns should be supported by square footings. The footings should be founded directly upon strong natural soils or compacted select fill materials. We recommend that footings around the perimeter of the building and canopy be brought to bear at a depth not less than 24 in. below lowest adjacent finished outside grades. Interior footings should be brought to bear at a depth not less than 18 in. below the bottom of the floor slab. Strip footings should be proportioned for critical combinations of dead, live and wind loads utilizing a net allowable soil bearing pressure of 1,500 lbs per sq ft. We recommend a minimum width of 18 in. for strip footings. A net allowable soil bearing pressure of 2,000 lbs per sq ft should be used to dimension square footings. We recommend a minimum width of 24 in. for square footings.

The floor slab of the building and canopy can bear directly upon strong natural soils or compacted select fill materials. The slab should be adequately reinforced for anticipated loading conditions and deflections and to minimize slab cracking. Stiffening ribs, or grade beams, cast monolithically with the slab could be utilized to provide rigidity, if considered to be necessary by the structural designer.

6.2.3 Potential Movement. With proper earthwork as recommended herein and the building supported on a shallow foundation system, total settlements under compressive structural loading are expected to be on the order of about 1 in. Differential vertical movements of the foundation resulting from potential long-term volumetric changes within the expansive clays (CH) cannot be predicted with any degree of accuracy; however, if proper drainage is maintained and no other unexpected sources of water develop, they are estimated to be within normally tolerable structural limits for the recommended shallow foundation systems. The potential long-term differential movements due to normal seasonal fluctuations in water content within the clays (CH) are generally expected to be on the order of about 3/4 in. over a horizontal **distance of about 25 ft to 30 ft, provided that proper drainage** is maintained and any leaks that **develop in pipes are promptly repaired. It should be noted** that differential movements of the **magnitude stated in the preceding sentence could result in** minor cracking of the foundation, **walls and floor slab. The actual magnitude of the differential** shrink/swell movements can be

influenced by any number of events or circumstances that occur during the life of the building. For example, surface drainage conditions, broken water pipes, trees and shrubs, etc., can influence the actual shrink/swell movements which develop. We emphasize that poor drainage, groundwater or other excess water in the building area could result in significant differential movement, up to several inches over a spacing of about 25 ft to 30 ft, and major cracking of the foundation, walls and floor slab, even with the minimum recommended buffer thickness.

6.3 Guideline Pavement Recommendations

Exact loadings have not been indicated, but we expect both light and heavy loading conditions for the site pavements. The client may have pavement standards they wish to utilize for the pavement structures for the light and heavy loadings. The following are provided for added guidance in lieu of client-provided pavement details. In areas to be paved, there is often some delay between completion of earthwork operations and placement of the pavement structure materials, possibly resulting in deterioration of subgrade conditions. Therefore, we recommend that density and stability of the subgrade soils be confirmed or re-established immediately prior to construction of the pavement.

In our opinion, either flexible asphalt concrete or rigid Portland cement concrete (PCC) pavement can be utilized for the pavement areas. Site preparation and earthwork construction should be performed for the areas to be paved in accordance with the recommendations given in the "Site Preparation and Earthwork Construction" section of this report. Guideline pavement recommendations are given in the following paragraphs that represent typical construction practice. However, we recommend that pavement thicknesses be verified for the actual expected traffic volumes and loadings using appropriate design parameters for the subgrade soils and pavement structure materials. If the subgrade soils are prepared and select fill materials are placed within the areas to be paved in accordance with recommendations provided in this report, it is our opinion that a CBR of 5 would be appropriate to use as the subgrade support value for flexible asphalt concrete pavement. For PCC pavements, it is our opinion that a modulus of **subgrade reaction (k) of 150 lbs per cu in. would be appropria**te for the subgrade support value. **Where a 6-in. thick granular subbase is utilized under PCC pav**ements as described in this report, **the modulus of subgrade reaction can be increased up to 325 lbs** per cu in.

PREPARED BY:

STOCK & ASSOCIATES Consulting Engineers, Inc.

SITE IMPROVEMENT PLANS FOR:

CITIZENS NATIONAL BANK

GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE:

GEORGE M. STOCK REGISTERED PROFESSIONAL ENGINEER 14160 STATE OF MISSISSIPPI

05/09/2025

GEORGE M. STOCK
CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY
NUMBER: 310

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DATE: 10/17/2024	JOB NO.: 2024–7703

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SHEET NO.: C10.1

It is our opinion that chemical treatment of the subgrade soils with hydrated lime will provide the best performing pavement system during construction and will extend the service life of the pavement. We recommend lime treatment for the top 12 in. of the subgrade utilizing 6 percent hydrated lime by dry weight of soil. The lime-treated subgrade soils should be compacted to not less than 98 percent of standard Proctor maximum dry density (ASTM D 698). The lime treatment should be in accordance with Section 307 of the 2017 Edition of the Mississippi Standard Specifications for Road and Bridge Construction using the Class C lime treatment procedure. The lime treatment should extend not less than 2 ft beyond the back of curb or edge of pavement.

For light automobile and pickup truck traffic, the flexible pavement structure could consist of a 2-in. thick asphalt surface course and a 4-in. thick asphalt base course on the prepared subgrade soils. A thicker asphalt concrete pavement section should be utilized if the flexible pavement will be subjected to heavy truck traffic. For the heavier loading, the flexible pavement structure could consist of a 2-in. thick asphalt surface course and a 6-in. thick asphalt base course on the prepared subgrade soils. The asphalt concrete surface course materials should conform with all applicable specifications for SC-1, Type 8 presented in the 1990 Edition of the Mississippi Standard Specifications for Road and Bridge Construction. The asphalt concrete base course materials should conform with all applicable specifications for BB-1, Type 6.

For rigid pavement, jointed plain (unreinforced) PCC pavement can be utilized with limited use of steel reinforcement such as described herein. The minimum compressive strength of the concrete mixture should be 4,000 lbs per sq in. It is our opinion that a 5-in. thick PCC pavement cast directly upon the prepared subgrade soils would be appropriate for light automobile and pickup truck traffic. For heavy truck traffic, a 7-in. thick PCC pavement directly underlain and separated from the prepared subgrade soils by a granular subbase would likely be required. We recommend the use of 8-in. thick PCC pavement directly underlain and separated from the prepared subgrade soils by a granular subbase immediately in front of any garbage dumpsters to provide support for the wheels of a garbage truck during loading.

We recommend the use of a 6-in. thick granular subbase directly under PCC pavements **that support heavy truck traffic. This granular subbase is** part of the pavement structure and **prevents subgrade soils from pumping up through joints.** We recommend that the granular **subbase materials consist of No. 610 crushed limestone. The** portion of the crushed limestone

passing the No. 40 sieve should have a liquid limit not greater than 25 and a plasticity index not greater than 5. The crushed limestone should be compacted to not less than **100 percent** of standard Proctor maximum dry density (ASTM D 698) at moisture contents within 2 percentage points of the optimum water content. The pavement surface should be sufficiently elevated to allow drainage of the granular subbase.

General guidance for the design and construction of PCC pavements is presented in ACI 330 "Guide for the Design and Construction of Concrete Parking Lots," including proper jointing, thickened edges that receive heavy truck traffic, thickened edges or load transfer devices at construction joints, tie-bars, and steel reinforcement in irregular shaped slabs or panels. Joints should form panels that are approximately square with the longest panel dimension no more than 1.25 times the shortest panel dimension. The maximum joint spacing should be 10 ft for 5-in. thick and 15 ft for the 7-in. or 8-in. thick PCC pavements. The pavement joints should be properly sealed and maintained. We recommend that a jointing plan and details be developed for construction of the PCC pavements. Burns Cooley Dennis, Inc. can be contracted to provide this additional service if we are provided with a CAD file of the proposed site. As an alternative, BCD can be contracted to review and approve jointing layouts and details that are generated by others. The surface of the pavement should be crowned and sloped to promote quick runoff of storm water.

6.4 Other Design and Construction Considerations

If flower and shrub beds including sprinkler systems are placed adjacent to the building and canopy, the beds should be prepared such that they do not trap water, and sprinklers should be operated only enough to satisfy the water demands of the plants and shrubs. Excessive watering and ponding within the flower and shrub beds could result in downward percolation of water into the underlying foundation soils causing them to lose strength and causing expansive clays (CH) to swell. Rainwater falling on the roof of the building and canopy should be collected and prevented from reaching the ground immediately adjacent to the building and canopy. **Downspouts extending from roof gutters should be equipped** with extensions at ground level that **are sloped to emit collected rainwater not less than 7 ft away** from the building and canopy. The **downspouts could be connected to solid discharge pipes buried** beneath the ground. We caution **that these pipes should be flexible enough to accommodate** some differential movement and all **pipe connections must be leak free.**

Trees remove water from the ground by transpiration causing vertical and horizontal shrinkage of fine-grained soils. To minimize these effects, we recommend that any trees planted for landscaping purposes be located at least one-half their anticipated mature height away from the building and canopy. If the risk of more movement is acceptable to the owner, a less strict building-to-tree spacing of about 25 ft for hardwoods and 15 ft for pines could be utilized.

Final grades around the building and canopy should provide rapid and effective drainage of rainwater and downspout water away from the building and canopy, with no areas allowed for water to pond. Underground sources of water such as leaking water lines, sewer lines, etc., should be prevented as much as possible in the initial construction, and any leaks that develop should be promptly repaired.

The site for the new Citizens National Bank facility in Gluckstadt, Mississippi lies within a relatively low seismic activity region according to the seismic zone mapping referenced in the International Building Code. Given the site soil profile as revealed by the borings and anticipated for the area based on our experience, a site class D could be used in a seismic load evaluation.

7.0 REPORT LIMITATIONS

The analyses, conclusions, and recommendations discussed in this report are based on conditions as they existed at the time of our field exploration and further on the assumption that the exploratory borings are representative of subsurface conditions throughout the areas explored. It should be noted that actual subsurface conditions between and beyond the borings might differ from those encountered at the boring locations. If subsurface conditions are encountered during construction that vary from those discussed in this report, Burns Cooley Dennis, Inc. should be notified immediately in order that we may evaluate the effects, if any, on earthwork, foundation and pavement design and construction.

Burns Cooley Dennis, Inc. should be retained for a general review of final design drawings and specifications. It is advised that we be retained to observe earthwork, foundation **and pavement construction for the project in order to help confirm** that our recommendations are **valid or to modify them accordingly. Burns Cooley Dennis, Inc.** cannot assume responsibility or **liability for the adequacy of recommendations if we do not observe** construction.

This report has been prepared for the exclusive use of Citizens National Bank for specific application to the geotechnical-related aspects of design and construction for the new Citizens National Bank facility on a parcel of land located on the south side of Calhoun Station Parkway in Gluckstadt, Mississippi. The only warranty made by us in connection with the services provided is we have used that degree of care and skill ordinarily exercised under similar conditions by reputable members of our profession practicing in the same or similar locality. No other warranty, express or implied, is made or intended.

FIGURES

Approximate Boring Locations

PROPOSED CITIZENS NATIONAL BANK FACILITY
GLUCKSTADT, MISSISSIPPI

BURNS COOLEY DENNIS, INC.
551 SUNNYBROOK ROAD
RIDGELAND, MISSISSIPPI 39157

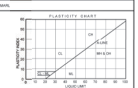
JOB NO. 240682	SCALE: AS SHOWN	FIGURE 1

UNIFIED SOIL CLASSIFICATION SYSTEM

MAJOR DIVISIONS			SYMBOL & LETTER	DESCRIPTION
COARSE-GRAINED SOILS More than half of material larger than No. 200 sieve size	GRAVELS More than half of coarse fraction larger than No.4 sieve size	Clean Gravels (Little or no fines)	GW	WELL GRADED GRAVEL, GRAVEL-SAND MIXTURE
			GP	POORLY GRADED GRAVEL, GRAVEL-SAND MIXTURE
		Gravels with fines (Appreciable amount of fines)	GM	SILTY GRAVEL, GRAVEL-SAND-SILT MIXTURE
			GC	CLAYEY GRAVEL, GRAVEL-SAND-CLAY MIXTURE
	SANDS More than half of coarse fraction smaller than No.4 sieve size	Clean Sands (Little or no fines)	SW	WELL GRADED SAND, GRAVELLY SAND
			SP	POORLY GRADED SAND, GRAVELLY SAND
		Sands with fines (Appreciable amount of fines)	SM	SILTY SAND, SAND-SILT MIXTURE
			SP-SM	SLIGHTLY SILTY SAND
			SC	CLAYEY SAND, SAND-CLAY MIXTURE
FINE-GRAINED SOILS More than half of material smaller than No. 200 sieve size	SILTS AND CLAYS	Liquid limit less than 50	ML	SILT WITH LITTLE OR NO PLASTICITY
			ML	CLAYEY SILT, SILT WITH SLIGHT TO MEDIUM PLASTICITY
			ML	SANDY SILT
			CL	SILTY CLAY, LOW TO MEDIUM PLASTICITY
			CL	SANDY CLAY, LOW TO MEDIUM PLASTICITY (30% TO 50% SAND)
	SILTS AND CLAYS	Liquid limit greater than 50	MH	SILT, FINE SANDY OR SILTY SOIL WITH HIGH PLASTICITY
			CH	CLAY, HIGH PLASTICITY
			OH	ORGANIC CLAY OF MEDIUM TO HIGH PLASTICITY
HIGHLY ORGANIC SOILS			PT	PEAT, HUMUS, SWAMP SOIL
SEDEMENTARY ROCK TYPES:			LS	LIMESTONE
			MARL	MARL

TERMS CHARACTERIZING SOIL STRUCTURE

Slickensided	- Clays with polished and striated planes created as a result of volume changes related to shrinking, swelling and/or changes in overburden pressure.
Fissured	- Clays with a blocky or jointed structure generally created by seasonal shrinking and swelling.
Laminated	- Composed of thin alternating layers of varying color and texture.
Calcareous	- Containing appreciable quantities of calcium carbonate.
Parting	- Paper thin (less than 1/8 inch).
Seam	- 1/8 inch to 3 inch thickness.
Layer	- Greater than 3 inches in thickness.



FOR CLASSIFICATION OF FINE GRAINED SOILS

DENSITY AND CONSISTENCY

COARSE-GRAINED SOILS

DENSITY	PENETRATION RESISTANCE, N Blows per Foot
Very loose	0 - 4
Loose	5 - 10
Medium Dense	11 - 30
Dense	31 - 50
Very Dense	>50

FINE-GRAINED SOILS

CONSISTENCY	COHESION Kips/Sq. Ft	PENETRATION RESISTANCE, N Blows per Foot
Very Soft	<0.25	0 - 1
Soft	0.25 - 0.50	2 - 4
Medium Stiff	0.50 - 1.00	5 - 8
Stiff	1.00 - 2.00	9 - 15
Very Stiff	2.00 - 4.00	16 - 30
Hard	>4.00	>30

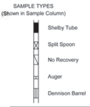
PARTICLE SIZE IDENTIFICATION

Cobbles	- Greater than 3 inches
Gravel	- Coarse - 3/4 inch to 3 inches Fine - 4.76 mm to 3/4 inch
Sand	- Coarse - 2 mm to 4.76 mm Medium - 0.42 mm to 2 mm Fine - 0.074 mm to 0.42 mm
Silt & Clay	- Less than 0.074 mm

RELATIVE COMPOSITION

Slightly	5 - 15%
With	16 - 29%
Sandy (or gravelly)	30 - 50%

SAMPLE TYPES
(Shown in Sample Column)



CLASSIFICATION, SYMBOLS AND TERMS USED ON GRAPHICAL BORING LOGS

BURNS COOLEY DENNIS, INC.

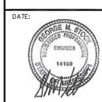
FIGURE 2

PREPARED BY:

Stock & Associates Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005
PH. (636) 530-9100
FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE IMPROVEMENT PLANS FOR:
CITIZENS NATIONAL BANK
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

DATE:



05/09/2025

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CIVIL ENGINEER
LICENSE NO. PE-14160
CERTIFICATE OF AUTHORITY
NUMBER: 310

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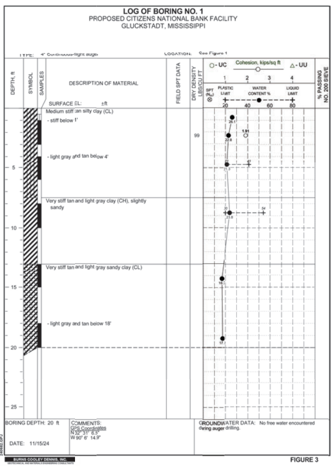

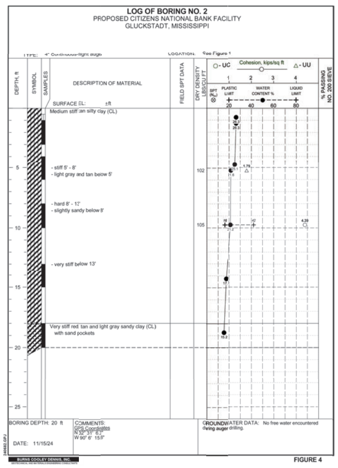

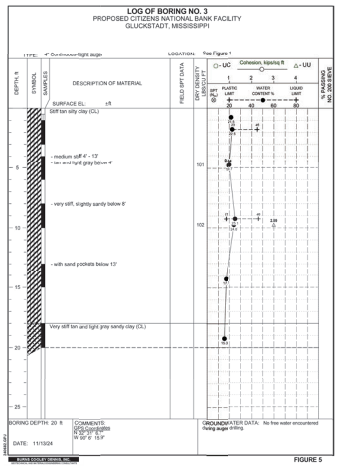

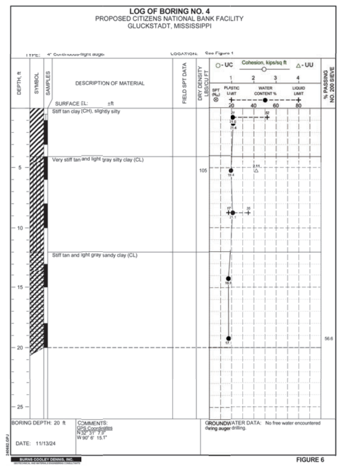

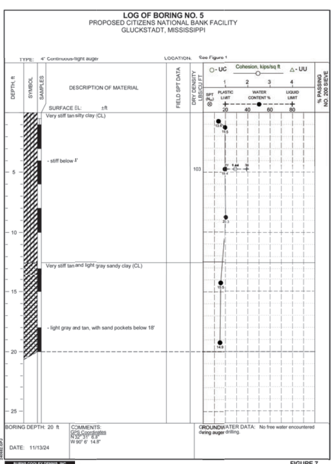

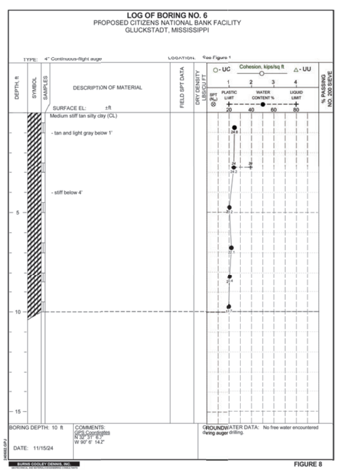

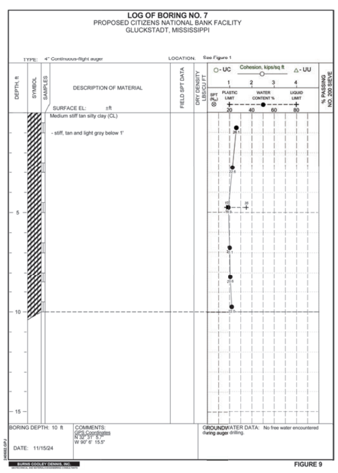

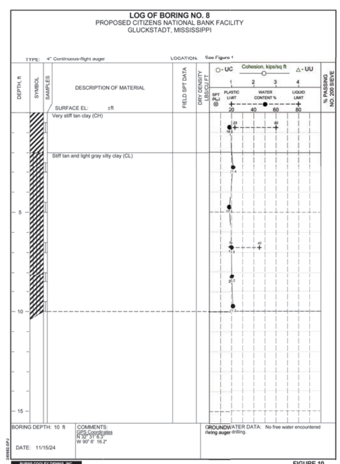

PREPARED BY:

STOCK & ASSOCIATES Consulting Engineers, Inc.

257 Chesterfield Business Parkway
St. Louis, MO 63005
PH. (636) 530-9100
FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE IMPROVEMENT PLANS FOR:

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GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, 39110

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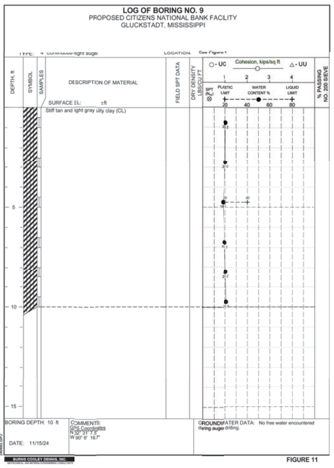

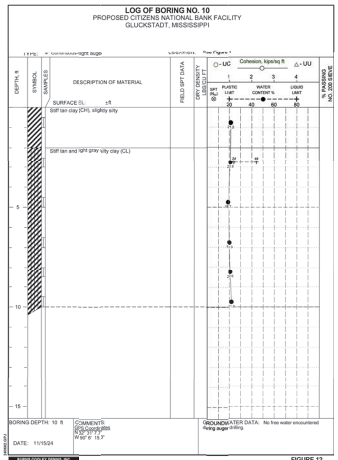

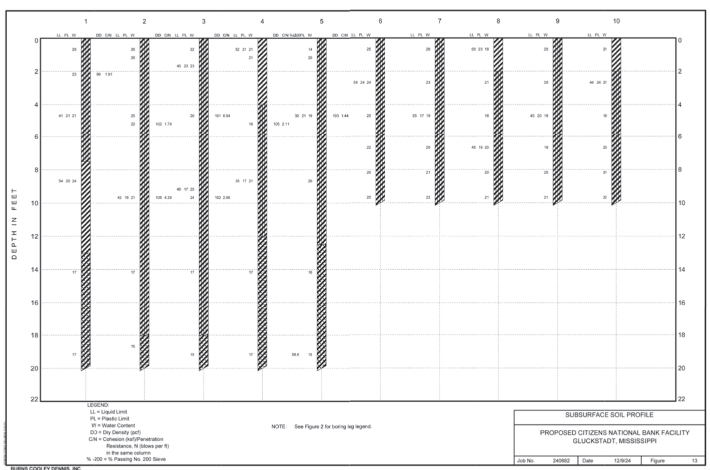

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PH. (636) 530-9100
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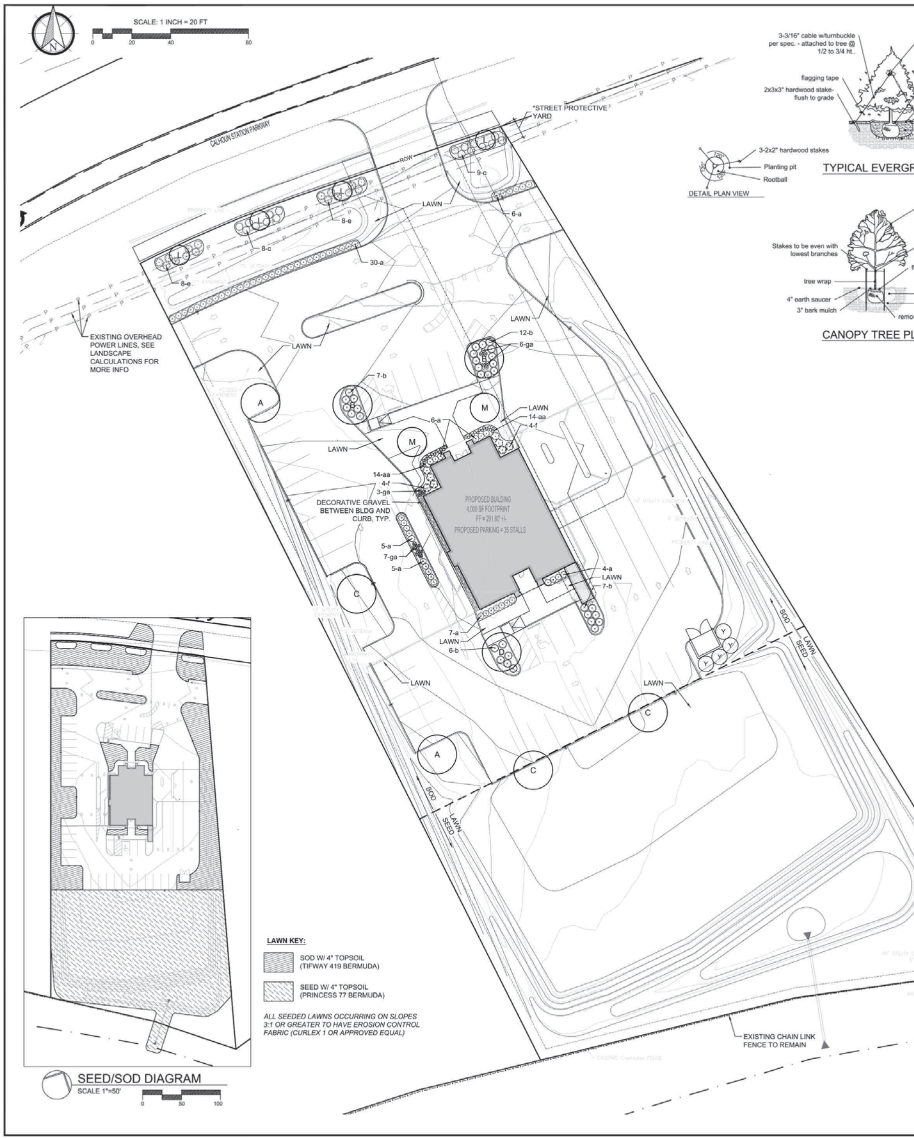
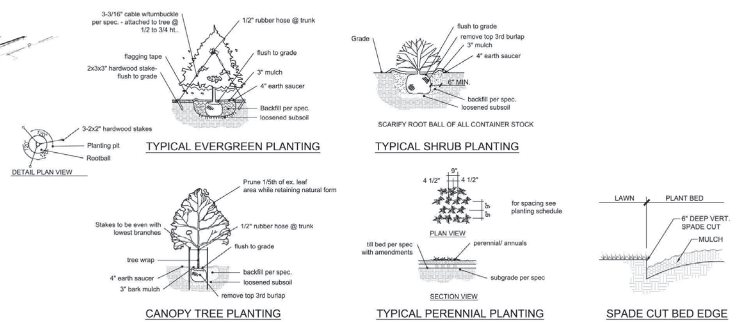
C10.4





PLANTING SCHEDULE									
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN SIZE	MATURE HT / WIDTH	CONTAINER	SPACING	COMMENTS	EVERGREEN Y / N
CANOPY-SHADE TREES									
A	2	Acer rubrum	Red Maple	3" cal.	40-70'h / 30-50'w	B&B	as shown	Straight trunk, strong central leader	No
B	2	Nyssa sylvatica	Black Gum	3" cal.	30-50'h / 20-30'w	B&B	as shown	Straight trunk, strong central leader	No
C	2	Quercus phellos	Willow Oak	3" cal.	40-75'h / 25-50'w	B&B	as shown	Straight trunk, strong central leader	No
D	2	Ulmus parvifolia 'Allee'	Allee Elm	3" cal.	60-70'h / 35-55'w	B&B	as shown	Straight trunk, strong central leader	No
UNDERSTORY-ORNAMENTAL TREES				MIN SIZE	MATURE HT/WIDTH	CONTAINER/ROOT	SPACING	COMMENTS	EVERGREEN Y/N
L	4	Lagerstroemia 'Comanche'	Comanche Crape Myrtle	8' ht	10-15'h / 10-15'w	B&B	as shown	Multi-stem, full	No
M	2	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	8' ht	20-30'h / 15-20'w	B&B	as shown	Multi-stem, full	No
EVERGREEN TREES				MIN SIZE	MATURE HT/WIDTH	CONTAINER/ROOT	SPACING	COMMENTS	EVERGREEN Y/N
Y	4	Ilex opaca	American Holly	6' ht.	15-30'h / 10-20'w	B&B	as shown		Yes
SHRUBS				MIN SIZE	MATURE HT/WIDTH	CONTAINER/ROOT	SPACING	COMMENTS	EVERGREEN Y/N
a	63	Buxus microphylla 'Bulthouse'	Sprinter Boxwood	18"h	2-4'h / 2-4'w	Cont.	as shown		Yes
b	32	Juniperus chinensis 'Parsonii'	Parson's Juniper	12"h	2'h / 4-6'w	Cont.	as shown		Yes
c	17	Gardenia jasminoides 'Frostproof'	Frostproof Gardenia	18"h	5'h / 4'w	Cont.	as shown		Yes
e	16	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	18"h	3-4'h / 6-8'w	Cont.	as shown		Yes
f	8	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	18"h	3-5'h / 3-5'w	Cont.	as shown		No
ORNAMENTAL GRASSES				MIN SIZE	MATURE HT/WIDTH	CONTAINER/ROOT	SPACING	COMMENTS	EVERGREEN Y/N
ga	16	Andropogon gerardii 'Rain Dance'	Rain Dance Big Bluestem	3 gal	5-6'h / 2'w	Cont.	24"		No
PERENNIALS AND ANNUALS				MIN SIZE	MATURE HT/WIDTH	CONTAINER/ROOT	SPACING	COMMENTS	EVERGREEN Y/N
aa	28	Liriope muscari 'Variegata'	Variegated Liriope	1 qt	1-1.5'h /1-1.5'w	Cont.	18"		Yes

LANDSCAPE REQUIREMENTS AND CALCULATIONS:

1. EACH STREET PROTECTIVE YARD SHALL CONTAIN AT LEAST ONE (1) SHADE TREE FOR EVERY FIFTY (50) LINEAR FEET OF STREET YARD OR FACTION THEREOF, AS MEASURED FROM THE CORNERS OF THE PROPERTY, AND SHALL BE LOCATED SO THAT AT LEAST ONE (1) SHADE TREE IS WITHIN EVERY SEVENTY-FIVE (75) LINEAR FEET OF STREET YARD OR FRACTION THEREOF.

   164.3 LINEAR FEET ÷ 50 = 3.29 = 4 REQUIRED STREET TREES (4 PROPOSED)
   (*NOTE: *STREET PROTECTIVE YARD CONTAINS EXISTING OVERHEAD UTILITY LINES. PROPOSED TREE SPECIES HAVE BEEN SELECTED AND LOCATED ACCORDINGLY PER LANDSCAPE ORDINANCE V.B.5: EXHIBIT XI-2.)*

2. EACH STREET PROTECTION YARD SHALL CONTAIN AT LEAST TEN (10) SHRUBS FOR EVERY FIFTY (50) LINEAR FEET OF STREET YARD OR FACTION THEREOF, AS MEASURED FROM THE CORNERS OF THE PROPERTY. SHRUBS MUST BE A MINIMUM OF 18 INCHES FOR UPRIGHT PLANTS.

   164.3 LINEAR FEET ÷ 50 = 3.29 x 10 = 33 REQUIRED SHRUBS (33 PROPOSED)

3. ALL NEW VEHICULAR SURFACE AREAS THAT ARE PROPOSED WITHIN FIFTY (50) FEET OF ANY STREET RIGHT-OF-WAY ARE REQUIRED TO HAVE A VISUALLY MODIFYING SCREEN OR BARRIER OF SHRUBS (NON-USED METHODS EXCLUDED FROM CALCULATIONS). SHRUBS SHALL REACH A MINIMUM HEIGHT OF THIRTY (30) INCHES AND A MINIMUM SPREAD OF THIRTY (30) INCHES WITHIN THREE (3) YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF EIGHTEEN (18) INCHES TALL WHEN PLANTED. FORTY (40) PERCENT OF ALL SHRUBS MAY BE DECIDUOUS. THE PLANTS MUST OCCUPY AT LEAST SEVENTY-FIVE (75) PERCENT OF A VERTICAL AREA, IN FEET, TIMES AN AVERAGE OF THREE (3) FEET AS MEASURED FROM THE SURFACE EDGE OF THE VEHICULAR AREA (EXCLUDING DRIVEWAYS AND SIGHT LINES).

4. TREES SHALL BE REQUIRED AT A MINIMUM RATE OF ONE (1) SHADE TREE FOR EVERY TEN PARKING SPACES.

   35 ÷ 10 = 3.5 = 4 REQUIRED PARKING LOT TREES (8 PROPOSED, SEE ADDITIONAL REQUIREMENTS BELOW)

   IN ADDITION, NO PARKING SPACE SHALL BE LOCATED FARTHER THAN FIFTY (50) FEET FROM THE TREE TRUNK OF A SHADE TREE IN A PLANTING AREA WITH ONE (1) TREE OR SEVENTY-FIVE (75) FEET FROM THE TRUNK OF A SHADE TREE IN A PLANTING AREA WITH 2 OR MORE SHADE TREES, WITH A MAXIMUM SPACING BETWEEN THE TREES OF FIFTY (50) FEET.

5. SHRUBS SHALL BE REQUIRED AT A RATE OF ONE (1) SHRUB PER THREE (3) VEHICLE PARKING SPACES. SHRUBS SHALL NOT ATTAIN A MAXIMUM SIZE GREATER THAN TWENTY-FOUR (24) INCHES HIGH WITHIN THREE (3) YEARS OF PLANTING OR MAY BE GROUND COVER. ALL SHRUBS SHALL BE A MINIMUM OF TWELVE (12) INCHES TALL WHEN PLANTED. NO MORE THAN FORTY (40) PERCENT OF THE REQUIRED SHRUBS MAY BE DECIDUOUS.

   35 ÷ 3 = 11.7 = 12 REQUIRED PARKING LOT SHRUBS (32 PROPOSED)

6. PRESERVATION OF EXISTING LIVE NATURAL TREES BETWEEN THE PRINCIPAL BUILDING AND THE PUBLIC STREET RIGHT-OF-WAY CAN BE CREDITED TOWARDS THE TREE QUANTITY REQUIREMENTS.

   THERE ARE NO EXISTING TREES ON THIS PROPERTY

LANDSCAPE & PLANTING NOTES:

1. ALL PLANTING MULCH TO BE HARDWOOD BARK MULCH.
2. DO NOT PLACE MULCH OVER 3" AROUND THE CROWN OF PLANTS.
3. SEED AND SOD DISTURBED AREAS AS INDICATED ON PLAN. SOD SHALL BE TIFWAY 419 BERMUDA; LAWN SEED SHALL BE PRINCESS 77 BERMUDA.
4. ALL SEEDED LAWNS OCCURRING ON SLOPES 3:1 OR GREATER TO HAVE EROSION CONTROL FABRIC (CURLEX 1 OR APPROVED EQUAL).
5. BED EDGES TO BE SPADE CUT. SEE DETAIL.
6. TOPSOIL IN ALL DISTURBED LAWN AREAS AT A DEPTH OF 4 INCHES.
7. SOIL MIX IN ALL SHRUB/PERENNIAL BEDS AT A DEPTH OF 8 INCHES.
8. PLANTING FIELD ADJUSTMENTS MAY BE NECESSARY AS TO NOT CONFLICT WITH UTILITIES, OVERHEAD SITE LIGHTING, AND/OR OTHER SITE-RELATED ELEMENTS. ANY NECESSARY CHANGES NEED PRIOR APPROVAL BY LANDSCAPE ARCHITECT.
9. CONTRACTOR TO IDENTIFY AND CLEARLY MARK ALL UTILITIES PRIOR TO WORK. ANY DAMAGE TO UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE AT NO ADDITIONAL COST TO OWNER.
10. ALL CANOPY TREES IN VEHICULAR USE AREAS SHALL BE LIMBED UP TO A HEIGHT OF 6' TO ALLOW FOR CLEAR VIEWS AND MOVEMENT UNDERNEATH.
11. ALL WORK UNDER THIS CONTRACT SHALL BE GUARANTEED BY LANDSCAPE CONTRACTOR TO BE FREE FROM DEFECTS IN MATERIAL & WORKMANSHIP FOR A PERIOD OF ONE CALENDAR YEAR OR ONE FULL GROWING SEASON, WHICHEVER IS LONGER. THIS ONE YEAR PERIOD WILL BEGIN FROM DATE OF FINAL ACCEPTANCE BY OWNER, EXCEPT AS OTHERWISE AGREED IN WRITING BY ALL PARTIES TO CONTRACT. THEFT, VIOLENT WEATHER, & DROUGHT DAMAGE ARE THE RESPONSIBILITY OF LANDSCAPE CONTRACTOR, UNTIL FINAL COMPLETION IS GIVEN.
12. PER THE CITY OF GLUCKSTADT'S LANDSCAPE ORDINANCE, ANY DEAD PLANT MATERIAL OR MATERIAL WHICH FAILS TO SHOW HEALTHY GROWTH MUST BE REMOVED WITHIN THIRTY (30) DAYS. REPLACEMENT OF REMOVED PLANT MATERIAL MUST TAKE PLACE WITHIN NINETY (90) DAYS OF REMOVAL OR NOTIFICATION BY THE CITY, WHICHEVER OCCURS FIRST.
13. TREES & LARGE SHRUBS MUST BE ADEQUATELY SUPPORTED, WHEN NECESSARY, TO INSURE PROPER GROWTH; & SUPPORT REMOVED WHEN TREES AND SHRUBS ARE ESTABLISHED.
14. ALL LANDSCAPING SOIL & FILL MUST BE MAINTAINED AND REASONABLY FREE FROM WEEDS, REFUSE, & DEBRIS AT ALL TIMES.
15. CONTRACTOR TO ENSURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS. ADJUSTMENTS TO TREE LAYOUT MAY BE NECESSARY.

Lee Hess - Landscape Architect
MS License # 749

Consultants:

CITIZENS NATIONAL BANK

CALHOUN STATION PKWY & GLUCKSTADT RD
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI

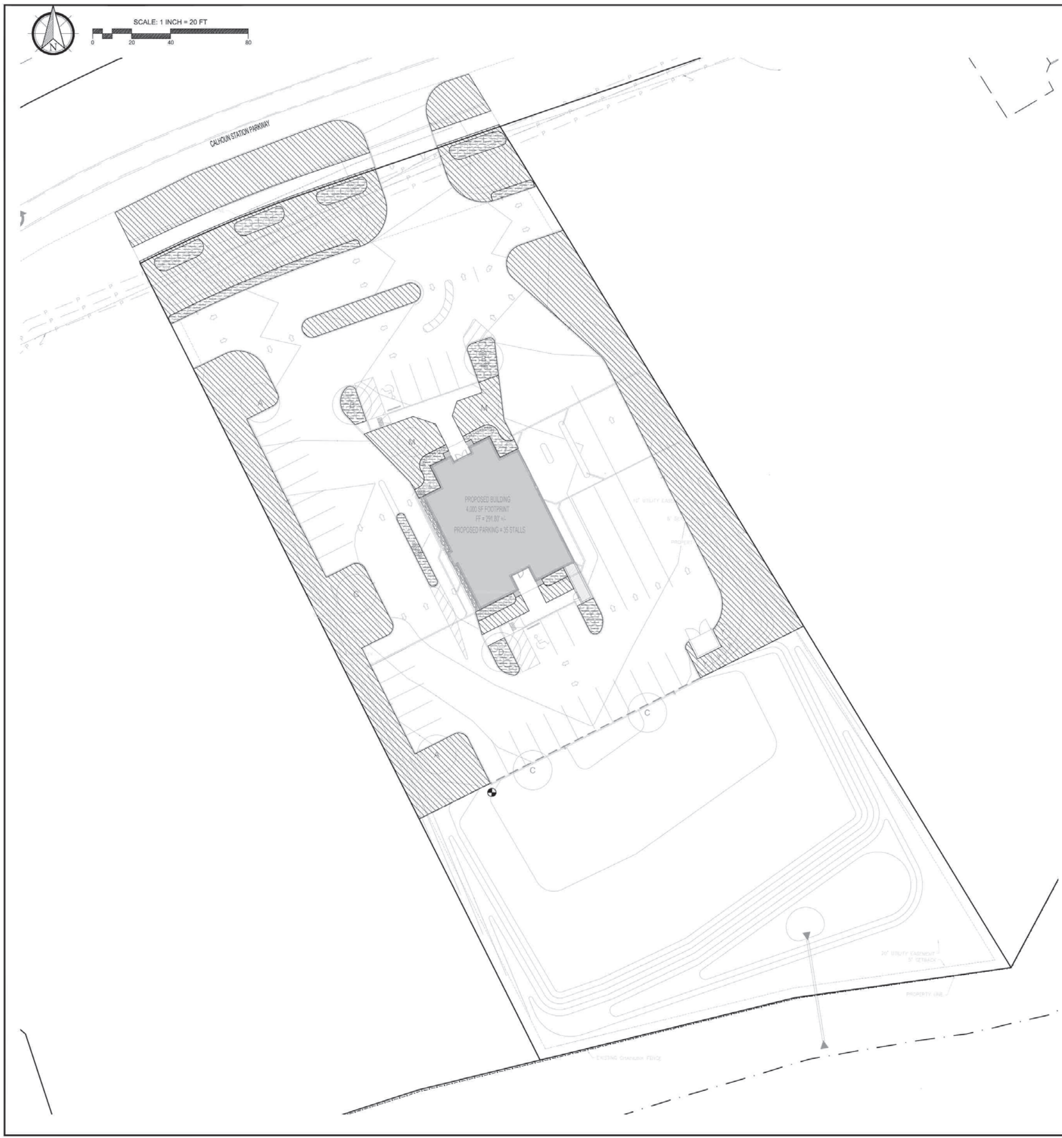
Revisions:

Date	Description	No.
01/20/25	Plan Revisions	1
02/06/25	Contract Set	
05/09/25	Plan Revisions	2

Drawn: LWH
Checked: JAS

LOOMIS ASSOCIATES
landscape architects + planners
750 spirit 40 park drive, chesterfield, missouri 63005
t. 636-519-8668 www.loomis-associates.com
Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title: LANDSCAPE PLAN
Sheet No: L-1
Date: 11/12/24
Job #: 1066.003



IRRIGATION NOTES:

1) CONTRACTOR TO PROVIDE A DESIGN/BUILD IRRIGATION SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF THE SYSTEM, BASED ON THIS PLAN. SUBMIT DRAWINGS OF IRRIGATION SYSTEM AND CUT SHEETS OF ALL IRRIGATION EQUIPMENT TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF WORK.

2) SHOW ALL SLEEVE LOCATIONS ON SHOP DRAWING FOR REVIEW BY LANDSCAPE ARCHITECT.

3) IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS REQUIRED BY STATE, CITY, AND LOCAL AUTHORITIES AND CONFORM TO ALL CODES REGARDING IRRIGATION SYSTEMS.

4) CIVIL AND UTILITY INFORMATION SHOWN FOR REFERENCE ONLY. SEE CIVIL DRAWINGS AND FIELD LOCATE UTILITIES PRIOR TO START OF WORK.

5) IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH PLUMBING AND ELECTRICAL CONTRACTORS.

6) IRRIGATION CONTRACTOR SHALL COORDINATE WATERING REQUIREMENTS WITH LANDSCAPE CONTRACTOR TO INSURE PROPER LEVEL OF WATER IS PROVIDED.

7) NO SPRAYING ACROSS PAVEMENT (ROADWAYS AND SIDEWALKS)

8) MAIN LINE AND ALL VALVES TO BE LOCATED WITHIN PROPERTY.

IRRIGATION KEY:

PROPOSED IRRIGATED LAWN AREAS:
100% COVERAGE WITH 4" POP-UP HEADS

PROPOSED IRRIGATED BED AREAS:
100% COVERAGE WITH 12" POP-UP HEADS

QUICK COUPLER

Lee Hess - Landscape Architect
MS License # 749

Consultants:

CITIZENS NATIONAL BANK

CALHOUN STATION PKWY & GLUCKSTADT RD
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI

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Date	Description	No.
01/20/25	Plan Revisions	1
02/06/25	Contract Set	
05/09/25	Plan Revisions	2

Drawn: LWH
Checked: JAS

LOOMIS ASSOCIATES
landscape architects + planners
750 spirit 40 park drive, chesterfield, missouri 63005
t. 636-519-8668 www.loomis-associates.com
Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title: WATERING DIAGRAM

Sheet No: L-2

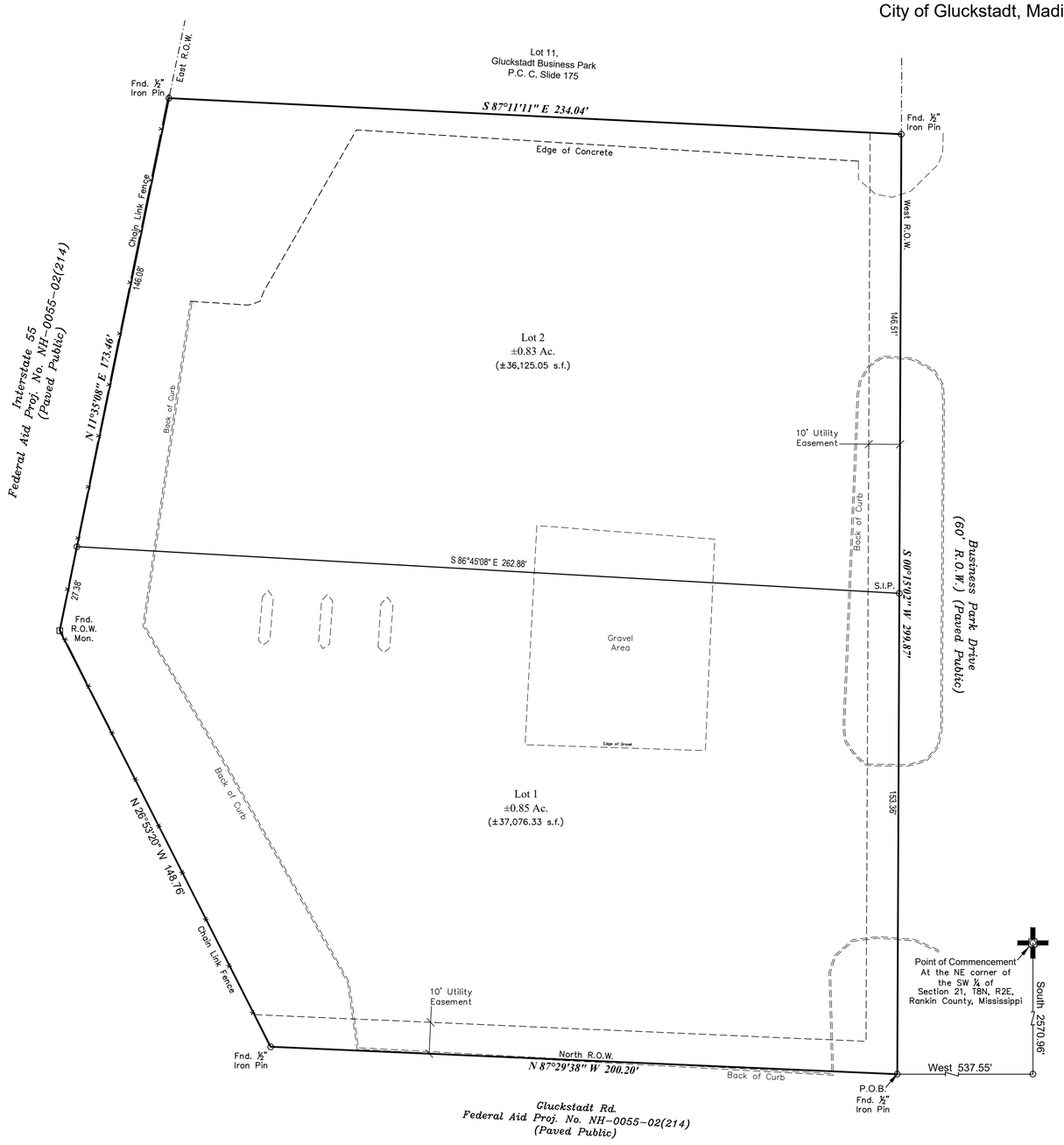
Date: 11/12/24
Job #: 1066.003

PLAT CABINET _____ , SLIDE _____

GGL BUSINESS PARK

Situated in the SW ¼ of Section 8, T8N, R2E,
City of Gluckstadt, Madison County, Mississippi

BENCHMARK
ENGINEERING & SURVEYING, LLC
CIVIL ♦ STRUCTURAL ♦ PLANNING ♦ SURVEYING ♦ UAV MAPPING
BRANDON | FLOWOOD | MADISON
www.benchmarkms.net 601-627-7780
EST. 2004



NORTH
SCALE: 1"=30'

30 15 0 30 60 90

GENERAL NOTES:

1. ALL LOTS IN THIS SUBDIVISION ARE LOCATED IN FLOOD ZONES X ACCORDING TO FLOOD INSURANCE RATE MAP NO. 28089C0415G, COMMUNITY PANEL NO. 280245 0415 G, EFFECTIVE DATE: JANUARY 17, 2025.
2. THIS SURVEY MEETS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYORS IN MISSISSIPPI FOR CLASS B SURVEYS AS ADOPTED BY THE MISSISSIPPI BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS.
3. BEARINGS BASED ON PREVIOUS SURVEY PREPARED BY CARTER ENGINEERING, DATED MARCH 14 , 2025.
4. ½" x 18" IRON PINS SET AT ALL CORNERS.
5. FIELD SURVEY COMPLETED APRIL 4, 2023.
6. PLAT PREPARATION DATE: APRIL 24, 2025.
7. CURRENT ZONING: C2 (HIGHWAY COMMERCIAL)

ACKNOWLEDGEMENT - COUNTY OF MADISON - STATE OF MISSISSIPPI

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, the within named Lyle Strickland, Member of GGL Properties, LLC, Owner, who acknowledged to me that, after first having been authorized so to do, he signed and delivered this Plat and Certificate thereon on behalf of GGL Properties, LLC on the day and year herein mentioned.

GIVEN UNDER MY HAND AND SEAL of office on this the _____ day of _____, 2025.

Notary Public _____ My Commission Expires: _____

ACKNOWLEDGEMENT - COUNTY OF MADISON - STATE OF MISSISSIPPI

PERSONALLY APPEARED BEFORE ME, the within named MICHAEL R. LOVE, Professional Surveyor, who acknowledged to me that he signed and delivered this Plat and Certificate thereon on the day and year herein mentioned.

GIVEN UNDER MY HAND AND SEAL of office on this the _____ day of _____, 2025.

Notary Public _____ My Commission Expires: _____

SURVEYOR'S CERTIFICATE OF COMPLIANCE WITH SUBDIVISION REGULATIONS COUNTY OF MADISON - STATE OF MISSISSIPPI

I, Michael R. Love, Professional Surveyor, do hereby certify that the monuments and markers shown hereon are in place on the ground and the plan and plat shown hereon are a true and correct representation of a survey performed to the accuracy designated in the subdivision regulation for Madison County, Mississippi.

WITNESS MY SIGNATURE, this the _____ day of _____, 2025.

_____
Michael R. Love, P.S.

MICHAEL RAY LOVE
REGISTERED PROFESSIONAL
LAND SURVEYOR
PLS 2783
STATE OF MISSISSIPPI

FILING AND RECORDATION - COUNTY OF MADISON - STATE OF MISSISSIPPI

I, Ronny Lott, Clerk of the Chancery Court in and for the said County and State, do hereby certify that the final plat of GGL BUSINESS PARK, was filed for record in my office on this the _____ day of _____, 2025, and was duly recorded in Plat Cabinet ____ at Slide _____ of the records of maps and plats of land of Madison County, Mississippi.

GIVEN UNDER MY HAND AND SEAL of office on this the _____ day of _____, 2025.

_____ _____
Ronny Lott Deputy Clerk
Chancery Clerk

APPROVAL OF THE CITY OF GLUCKSTADT - COUNTY OF MADISON - STATE OF MISSISSIPPI

I hereby certify that this plat was approved and accepted by the Mayor and Board of Aldermen in session on this the _____ day of _____, 2025.

_____ _____
Mayor City Clerk

CERTIFICATE OF OWNERSHIP - COUNTY OF MADISON - STATE OF MISSISSIPPI

GGL Properties, LLC, the undersigned owner, does hereby certify that GGL Properties, LLC, is the owner of the land described in the foregoing Certificate of Michael R. Love, Professional Surveyor, and have caused the same to be subdivided and platted as GGL BUSINESS PARK hereon and in conjunction therewith hereby dedicate the utility easements to the City of Gluckstadt, Mississippi as shown hereon for public use forever.

WITNESS MY SIGNATURE, this the _____ day of _____, 2025.

_____
Lyle Strickland, Member
GGL Properties, LLC

SURVEYOR'S CERTIFICATE - COUNTY OF MADISON - STATE OF MISSISSIPPI

I, Michael R. Love, Professional Surveyor, do hereby certify that at the request of GGL Properties, LLC, the Owner, I have subdivided and platted the following described land situated in the Southwest ¼ of Section 21, Township 8 North, Range 2 East, City of Gluckstadt, Madison County, Mississippi, and being more particularly described by metes and bounds as follows:

Commencing at the Northeast corner of the Southwest ¼ of said Section 21, Township 8 North, Range 2 East; run thence

South for a distance of 2,570.96 feet; thence

West for a distance of 537.55 feet to a found ½ inch iron pin marking the North right of way of Gluckstadt Road and the **Point of Beginning** of herein described property; thence

North 87 degrees 29 minutes 38 seconds West along said North right of way of Gluckstadt Road for a distance of 200.20 feet to a found ½ inch iron pin marking the East right of way of Interstate 55; thence

North 26 degrees 53 minutes 20 seconds West along said East right of way of Interstate 55 for a distance of 148.76 feet to a found concrete monument; thence

North 11 degrees 35 minutes 08 seconds East along said East right of way of Interstate 55 for a distance of 173.46 feet to a found ½ inch iron pin marking the Southwest corner of Lot 11, Gluckstadt Business Park as recorded in Plat Cabinet C, Slide 175 in the Office of the Chancery Clerk of Madison County; thence

South 87 degrees 11 minutes 11 seconds East along the South line of said Lot 11, Gluckstadt Business Park for a distance of 234.04 feet to a found ½ inch iron pin marking the West right of way of Business Park Drive; thence

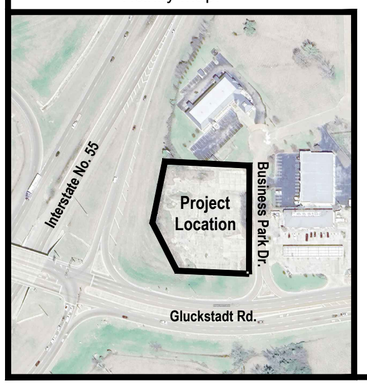
South 00 degrees 15 minutes 02 seconds West along said West right of way of Business Park Drive for a distance of 299.87 feet to the **Point of Beginning**, containing **1.68 acres**, more or less.

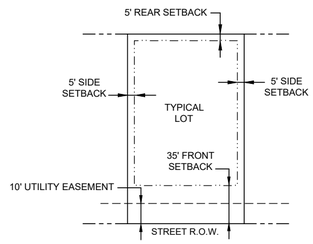
WITNESS MY SIGNATURE on this the _____ day of _____, 2025.

_____
Michael R. Love, P.S.

MICHAEL RAY LOVE
REGISTERED PROFESSIONAL
LAND SURVEYOR
PLS 2783
STATE OF MISSISSIPPI

Vicinity Map:





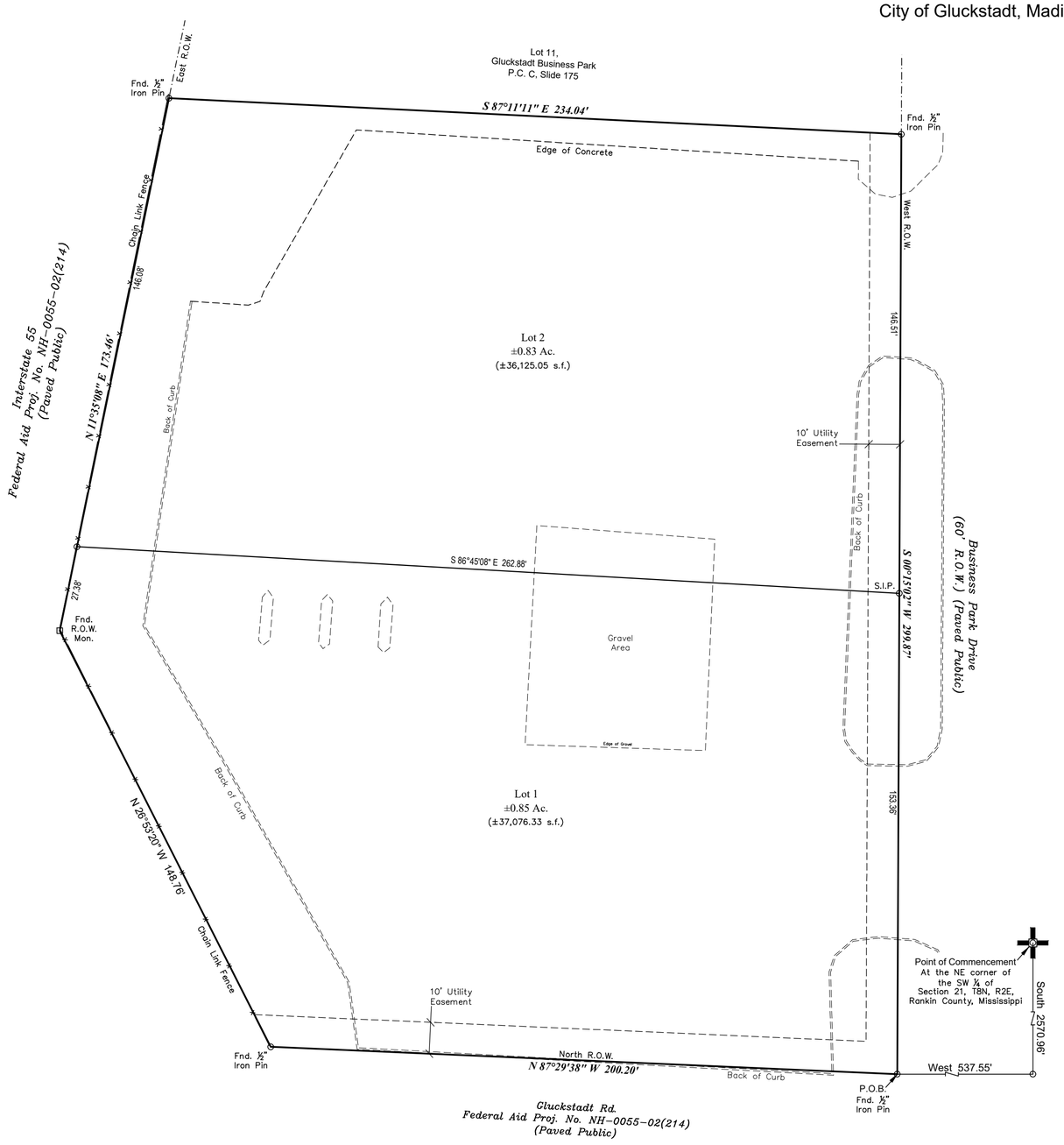
TYPICAL LOT DETAIL WITH SETBACKS
N.T.S.

PLAT CABINET _____ , SLIDE _____

GGL BUSINESS PARK

Situated in the SW ¼ of Section 8, T8N, R2E,
City of Gluckstadt, Madison County, Mississippi

BENCHMARK
ENGINEERING & SURVEYING, LLC
CIVIL ♦ STRUCTURAL ♦ PLANNING ♦ SURVEYING ♦ UAV MAPPING
BRANDON | FLOWOOD | MADISON
www.benchmarkms.net 601-627-7780
EST. 2004



NORTH
SCALE: 1"=30'

30 15 0 30 60 90

GENERAL NOTES:

1. ALL LOTS IN THIS SUBDIVISION ARE LOCATED IN FLOOD ZONES X ACCORDING TO FLOOD INSURANCE RATE MAP NO. 28089C0415G, COMMUNITY PANEL NO. 280245 0415 G, EFFECTIVE DATE: JANUARY 17, 2025.
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3. BEARINGS BASED ON PREVIOUS SURVEY PREPARED BY CARTER ENGINEERING, DATED MARCH 14 , 2025.
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5. FIELD SURVEY COMPLETED APRIL 4, 2023.
6. PLAT PREPARATION DATE: APRIL 24, 2025.
7. CURRENT ZONING: C2 (HIGHWAY COMMERCIAL)

ACKNOWLEDGEMENT - COUNTY OF MADISON - STATE OF MISSISSIPPI

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, the within named Lyle Strickland, Member of GGL Properties, LLC, Owner, who acknowledged to me that, after first having been authorized so to do, he signed and delivered this Plat and Certificate thereon on behalf of GGL Properties, LLC on the day and year herein mentioned.

GIVEN UNDER MY HAND AND SEAL of office on this the _____ day of _____, 2025.

Notary Public _____ My Commission Expires: _____

ACKNOWLEDGEMENT - COUNTY OF MADISON - STATE OF MISSISSIPPI

PERSONALLY APPEARED BEFORE ME, the within named MICHAEL R. LOVE, Professional Surveyor, who acknowledged to me that he signed and delivered this Plat and Certificate thereon on the day and year herein mentioned.

GIVEN UNDER MY HAND AND SEAL of office on this the _____ day of _____, 2025.

Notary Public _____ My Commission Expires: _____

APPROVAL OF THE CITY OF GLUCKSTADT - COUNTY OF MADISON - STATE OF MISSISSIPPI

I hereby certify that this plat was approved and accepted by the Mayor and Board of Aldermen in session on this the _____ day of _____, 2025.

_____ Mayor

_____ City Clerk

CERTIFICATE OF OWNERSHIP - COUNTY OF MADISON - STATE OF MISSISSIPPI

GGL Properties, LLC, the undersigned owner, does hereby certify that GGL Properties, LLC, is the owner of the land described in the foregoing Certificate of Michael R. Love, Professional Surveyor, and have caused the same to be subdivided and platted as GGL BUSINESS PARK hereon and in conjunction therewith hereby dedicate the utility easements to the City of Gluckstadt, Mississippi as shown hereon for public use forever.

WITNESS MY SIGNATURE, this the _____ day of _____, 2025.

_____
Lyle Strickland, Member
GGL Properties, LLC

SURVEYOR'S CERTIFICATE OF COMPLIANCE WITH SUBDIVISION REGULATIONS COUNTY OF MADISON - STATE OF MISSISSIPPI

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Michael R. Love, P.S.

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Commencing at the Northeast corner of the Southwest ¼ of said Section 21, Township 8 North, Range 2 East; run thence

South for a distance of 2,570.96 feet; thence

West for a distance of 537.55 feet to a found ½ inch iron pin marking the North right of way of Gluckstadt Road and the **Point of Beginning** of herein described property; thence

North 87 degrees 29 minutes 38 seconds West along said North right of way of Gluckstadt Road for a distance of 200.20 feet to a found ½ inch iron pin marking the East right of way of Interstate 55; thence

North 26 degrees 53 minutes 20 seconds West along said East right of way of Interstate 55 for a distance of 148.76 feet to a found concrete monument; thence

North 11 degrees 35 minutes 08 seconds East along said East right of way of Interstate 55 for a distance of 173.46 feet to a found ½ inch iron pin marking the Southwest corner of Lot 11, Gluckstadt Business Park as recorded in Plat Cabinet C, Slide 175 in the Office of the Chancery Clerk of Madison County; thence

South 87 degrees 11 minutes 11 seconds East along the South line of said Lot 11, Gluckstadt Business Park for a distance of 234.04 feet to a found ½ inch iron pin marking the West right of way of Business Park Drive; thence

South 00 degrees 15 minutes 02 seconds West along said West right of way of Business Park Drive for a distance of 299.87 feet to the **Point of Beginning**, containing **1.68 acres**, more or less.

WITNESS MY SIGNATURE on this the _____ day of _____, 2025.

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Michael R. Love, P.S.

MICHAEL RAY LOVE
REGISTERED PROFESSIONAL
LAND SURVEYOR
PLS 2783
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FILING AND RECORDATION - COUNTY OF MADISON - STATE OF MISSISSIPPI

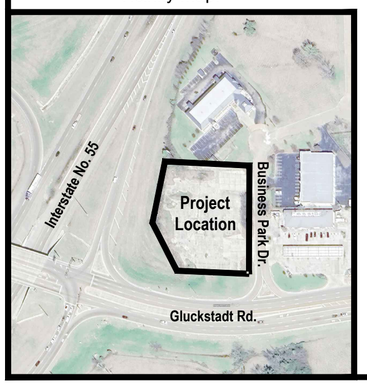
I, Ronny Lott, Clerk of the Chancery Court in and for the said County and State, do hereby certify that the final plat of GGL BUSINESS PARK, was filed for record in my office on this the _____ day of _____, 2025, and was duly recorded in Plat Cabinet ____ at Slide _____ of the records of maps and plats of land of Madison County, Mississippi.

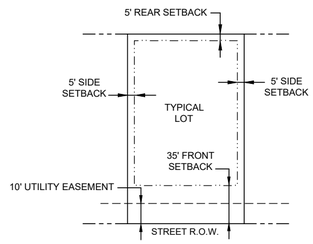
GIVEN UNDER MY HAND AND SEAL of office on this the _____ day of _____, 2025.

_____ Ronny Lott
Chancery Clerk

_____ Deputy Clerk

Vicinity Map:





TYPICAL LOT DETAIL WITH SETBACKS
N.T.S.

City of Gluckstadt

Application for Site Plan Review

Subject Property Address: 1265 Gluckstadt Road, Gluckstadt, MS 39110

Parcel #: 082H-28-008/04.00

Owner: Gluckstadt Management, LLC
Address: P.O. Box 5331
Jackson, MS 39296

Phone #: 601-291-0211
E-Mail: bridgforth.rutledge@gmail.com

Applicant: Gluckstadt Management, LLC
Attn: Bridgforth Rutledge
Address: P.O. Box 5331
Jackson, MS 39296

Phone #: 601-291-0211
E-Mail: bridgforth.rutledge@gmail.com

Current Zoning District: C-2

Acreage of Property (If applicable): 0.8439

Use sought of Property: Medical Clinic

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

A. Lot Lines (property lines)
B. Zoning of the adjacent lots
C. The names of owners of adjacent lots
D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
F. All existing and proposed easements
G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

I. Contours at vertical intervals of five (5) feet or less.
J. Floodplain designation, according to FEMA Maps.
K. Landscaped areas and planting screens.
L. Building lines and the locations of all structures, existing and proposed
M. Proposed uses of the land and buildings, if known
N. Open space and recreation areas, where required.
O. Area in square feet, and/or square acres of parcel
P. Proposed gross lot coverage in square feet
Q. Number and type of dwelling units where proposed
R. Location of sign structures and drawings. (Section 701)
S. Location of garbage dumpster and enclosure. (Section 406.06)
T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: ***By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.***

Gluckstadt Management, LLC

By: / *Bridgforth Rutledge* _____ 03/31/2025 _____

Applicant Signature **Date**

CITY OF GLUCKSTADT BUILDING DEPARTMENT
OFFICE USE ONLY

Date Received: _____

Application Complete & Approved to Submit to P&Z Board (please check):

Yes_____ **No**_____

Signature: _____
Planning & Zoning Administrator (or Authorized Representative)

Legal Description

A parcel of land situated in the Northeast 1/4 of Section 28, Township 8 North, Range 2 East, Madison County, Mississippi and being a part of an 8.59 acre tract as described in Deed Book 247 at Page 263 in the Chancery Records of Madison County at Canton, Mississippi, and being more particularly described by metes and bounds as follows, to wit:

Commence at the center of the said Section 28 and run thence North for a distance of 2,642.83' to a point;

Thence East for a distance of 987.86' to a point at the intersection of the previous southern right-of-way line of Gluckstadt Road with the previous eastern right-of-way line of Weisenberger Road (a.k.a. – S.A.P 45 (38) connection road), which is the most northerly northwest corner of the above referenced 8.59 acre tract;

Thence North 89° 56' 23" East for a distance of 147.59' along the said previous Southern right-of-way line of Gluckstadt Road to the northeast corner of that certain parcel of land as described in Book 411 at Page 276 in the said Chancery Records;

Thence South 01° 08' 25" East for a distance of 32.73' along the eastern property line of that said certain parcel of land as described in Book 411 at Page 276 in the said Chancery Records to a 5/8" iron pin set at the southern right of way line of the said Gluckstadt Road which marks the **POINT OF BEGINNING** for the parcel herein described;

Thence continue South 01° 08' 25" East for a distance of 207.97' along the said eastern property line of that certain parcel of land as described in Book 411 at Page 276 in the said Chancery Records to a 5/8" iron pin set at the southeast corner thereof;

Thence South 89° 56' 23" West for a distance of 186.76' along the southern property line of that said certain parcel of land as described in Book 411 at Page 276 in the said Chancery Records to a “PK” nail set at the southwest corner thereof on the eastern right-of-way line of the said Weisenberger Road;

Thence North 01° 26' 00" West for a distance of 68.46' along the eastern right-of-way line of the said Weinsenberger Road, to a “PK” nail set at the southwest corner of that certain right of way as described in Parcel 2 of Book 2023 at Page 413 in the said Chancery Records;

Thence North 88° 34' 00" East for a distance of 14.38' along the southern line of that said certain right of way as described in Parcel 2 of Book 2023 at Page 413 in the said Chancery Records to a 5/8" iron pin set;

Thence North 01° 00' 08" East for a distance of 133.77' along the eastern line of that said certain right of way as described in Parcel 2 of Book 2023 at Page 413 in the said Chancery Records to a 5/8" iron pin set;

Thence leave said eastern right of way line of the said Weinsenberger Road and run North 76° 13' 49" East for a distance of 50.03' along the southern line of that certain right of way as described in Parcel 1 of Book 2023 at Page 413 in the said Chancery Records to a 5/8" iron pin set;

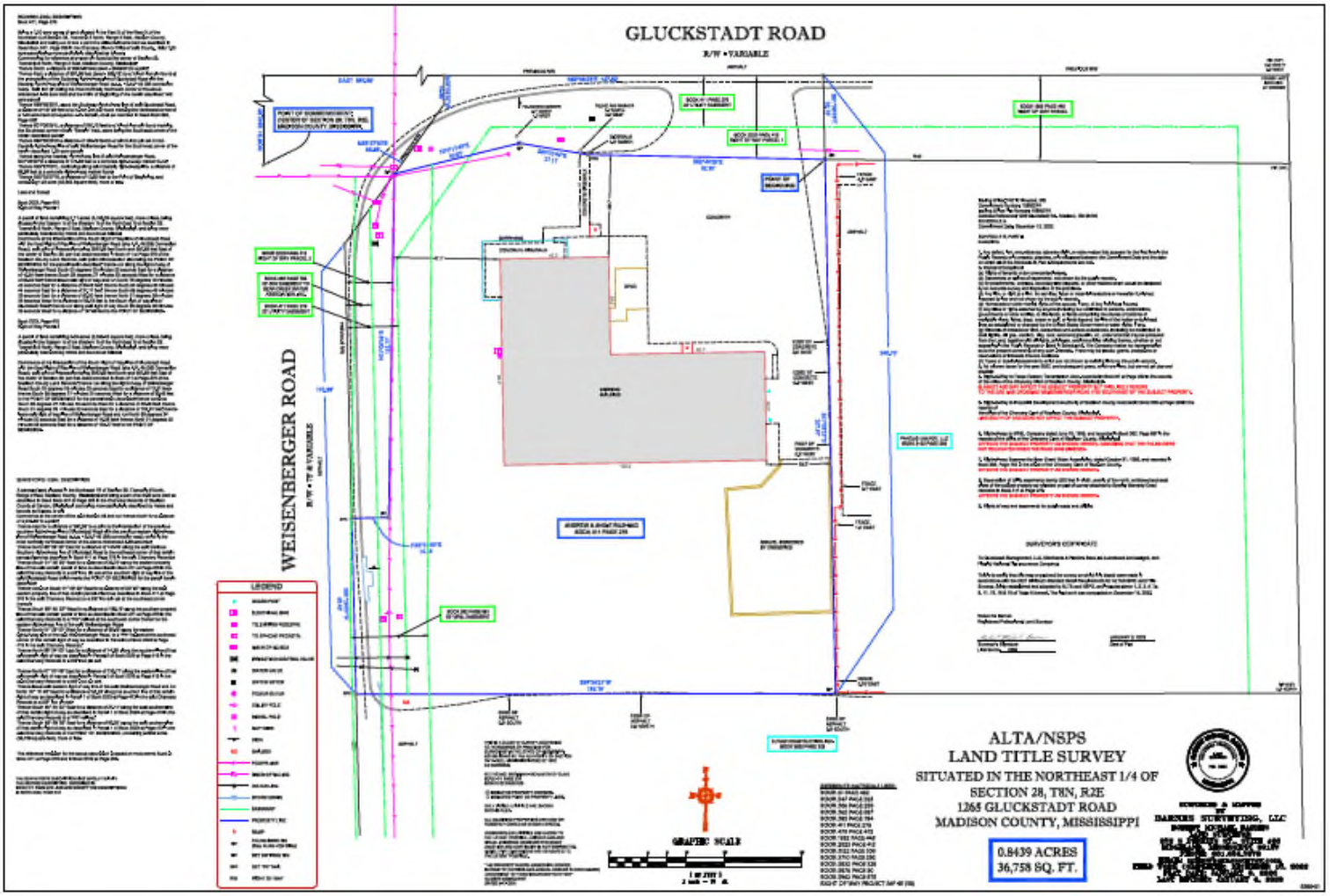
Thence South 80° 33' 44" East for a distance of 27.11' along the said southern line of that certain right of way as described in Parcel 1 of Book 2023 at Page 413 in the said Chancery Records to a “PK” nail set;

Thence South 88° 49' 28" East for a distance of 92.30' along the said southern line of that certain right of way as described in Parcel 1 of Book 2023 at Page 413 in the said Chancery Records to the **POINT OF BEGINNING,** containing 0.8439 acres (36,758 square feet), more or less.

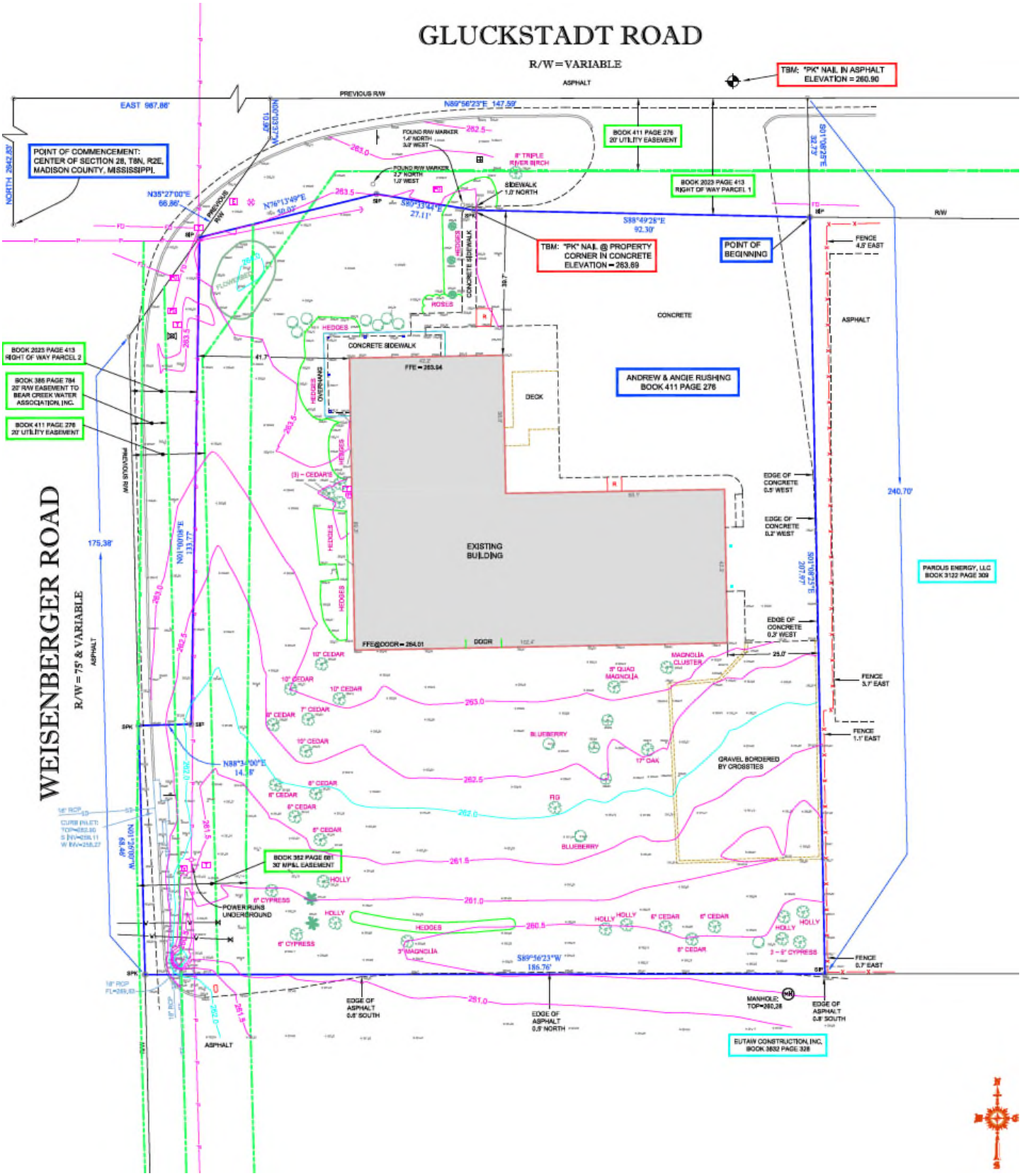
The reference meridian for the above description is based on monuments found in Book 411 at Page 276 and in Book 3122 at Page 309.

Color Rendering

Boundary Survey

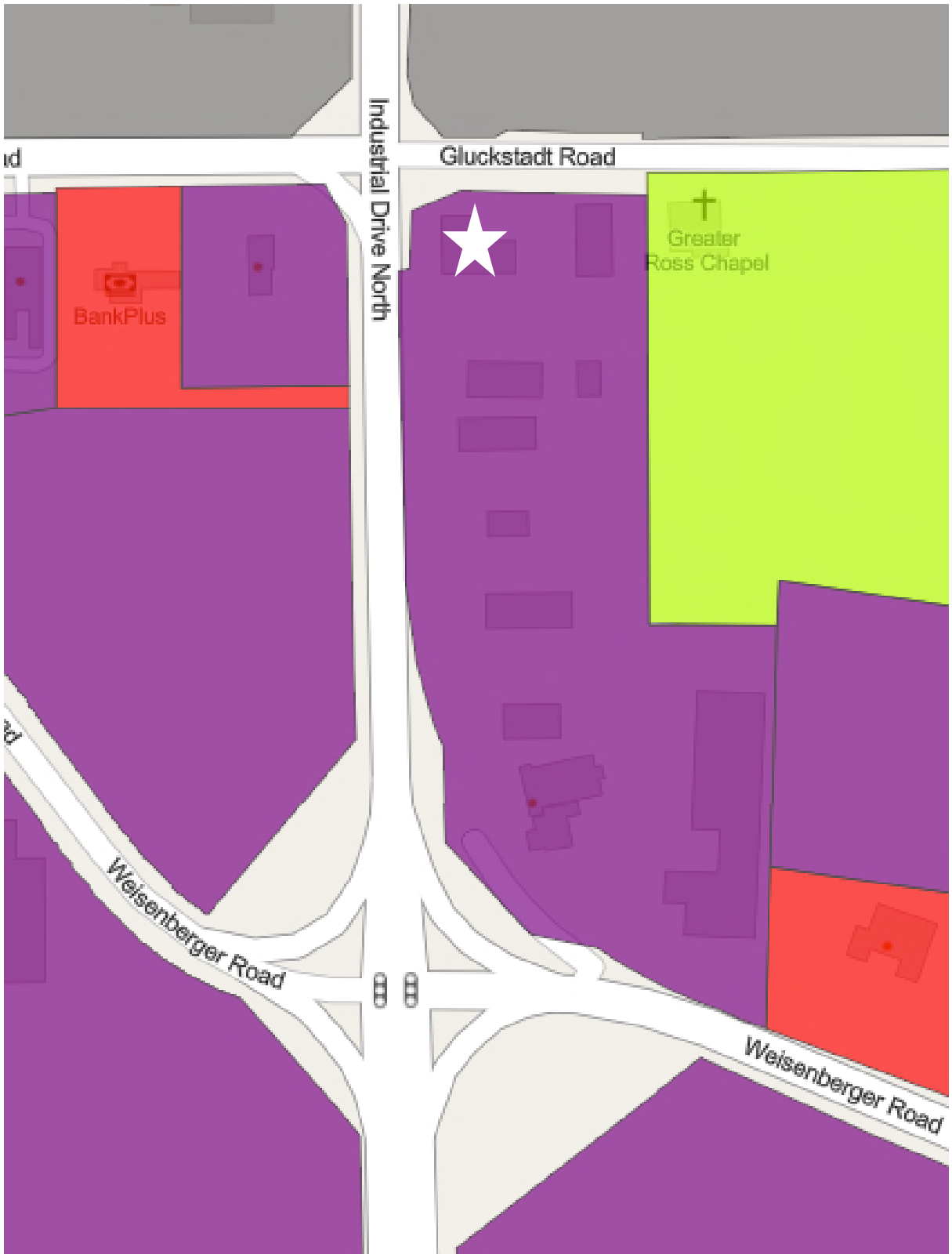


Topographical Survey

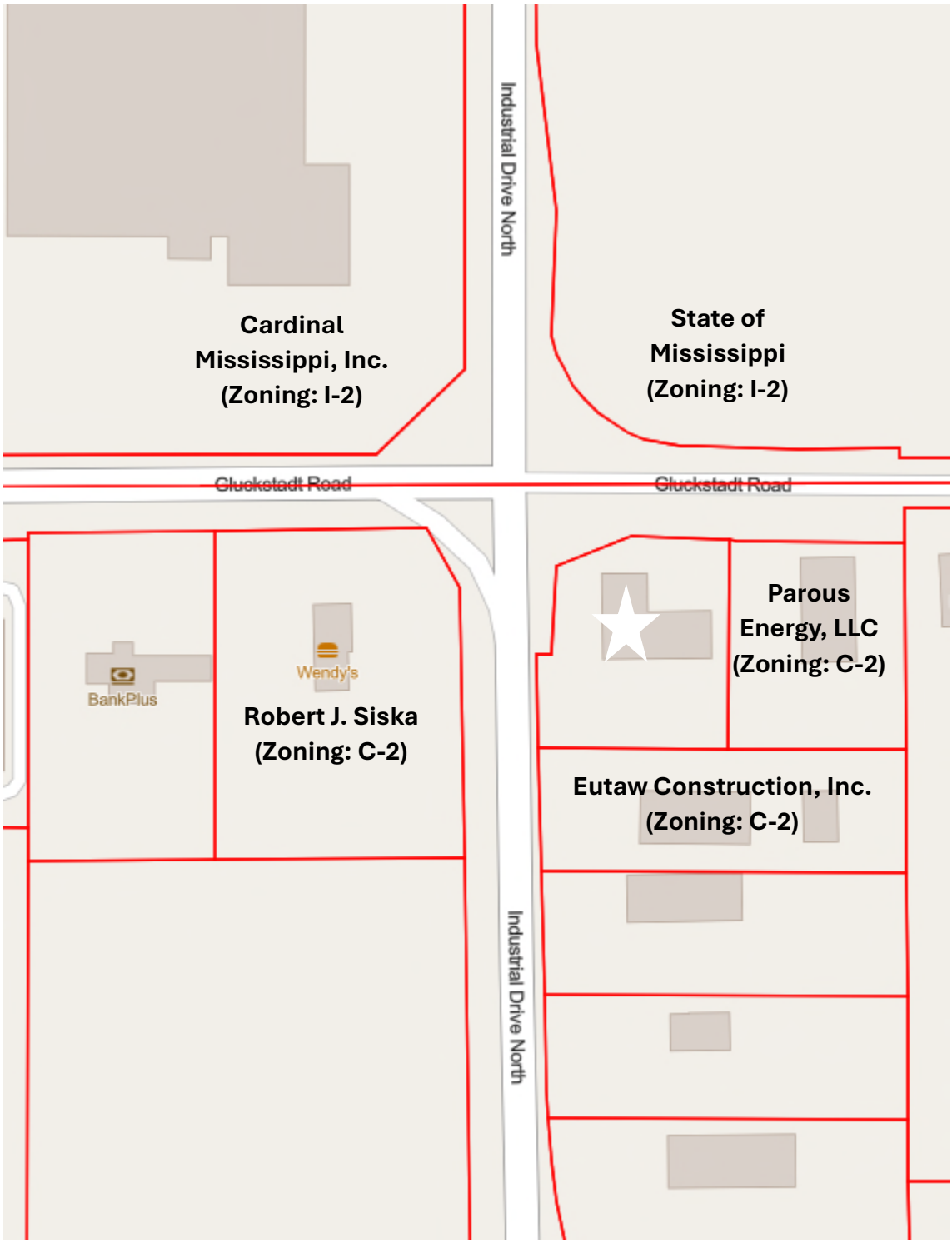


Aerial Photograph

Zoning Map


Industrial Drive North
Gluckstadt Road
BankPlus
Greater
Ross Chapel
Weisenberger Road
Weisenberger Road

Adjacent Owners, Lot Lines, and Zoning



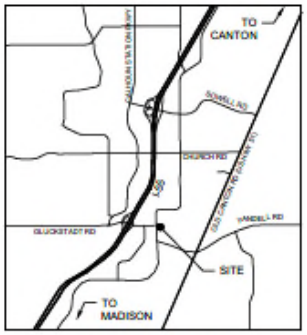
Civil Plans

(Existing Conditions, Site Plan, Grading Plan, Erosion Control Plan, and Site Details)

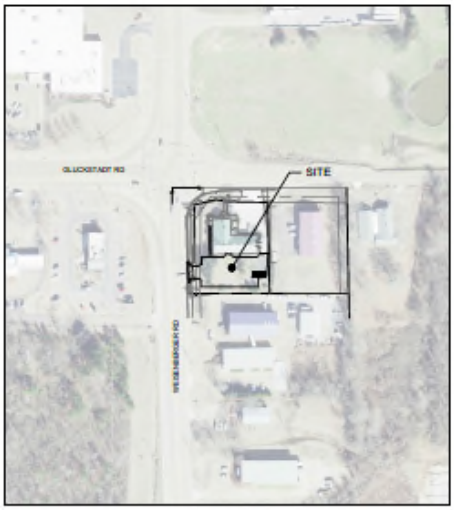
1265 GLUCKSTADT RD

SITE IMPROVEMENT PROJECT

1265 GLUCKSTADT RD
MADISON, MS 39110



CITY LOCATION



STREET LOCATION

TABLE OF CONTENTS

STATE LOCATION

811 Know what's below Call before you dig

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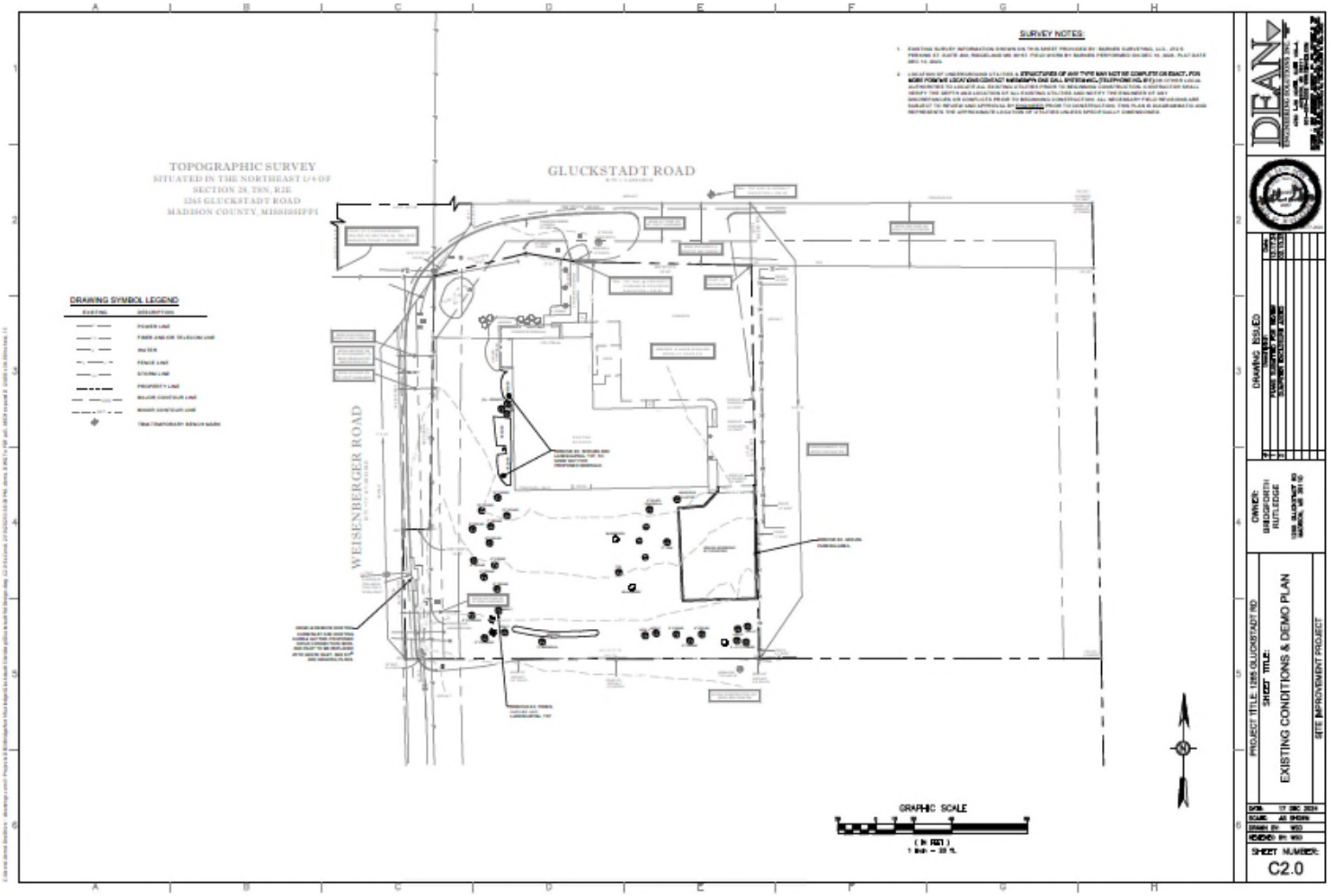
SURVEY NOTES:
TOPOGRAPHIC SURVEY
SITUATED IN THE NORTHEAST 1/4 OF
SECTION 28, T8N, R3E
1265 GLUCKSTADT ROAD
MADISON COUNTY, MISSISSIPPI
GLUCKSTADT ROAD
WEISENBERGER ROAD
DRAWING SYMBOL LEGEND
GRAPHIC SCALE
DEAN
DRAWING ISSUED
OWNER:
BRIDGFORTH RUTLEDGE
PROJECT TITLE: 1265 GLUCKSTADT RD
SHEET TITLE:
EXISTING CONDITIONS & DEMO PLAN
SITE IMPROVEMENT PROJECT
SHEET NUMBER:
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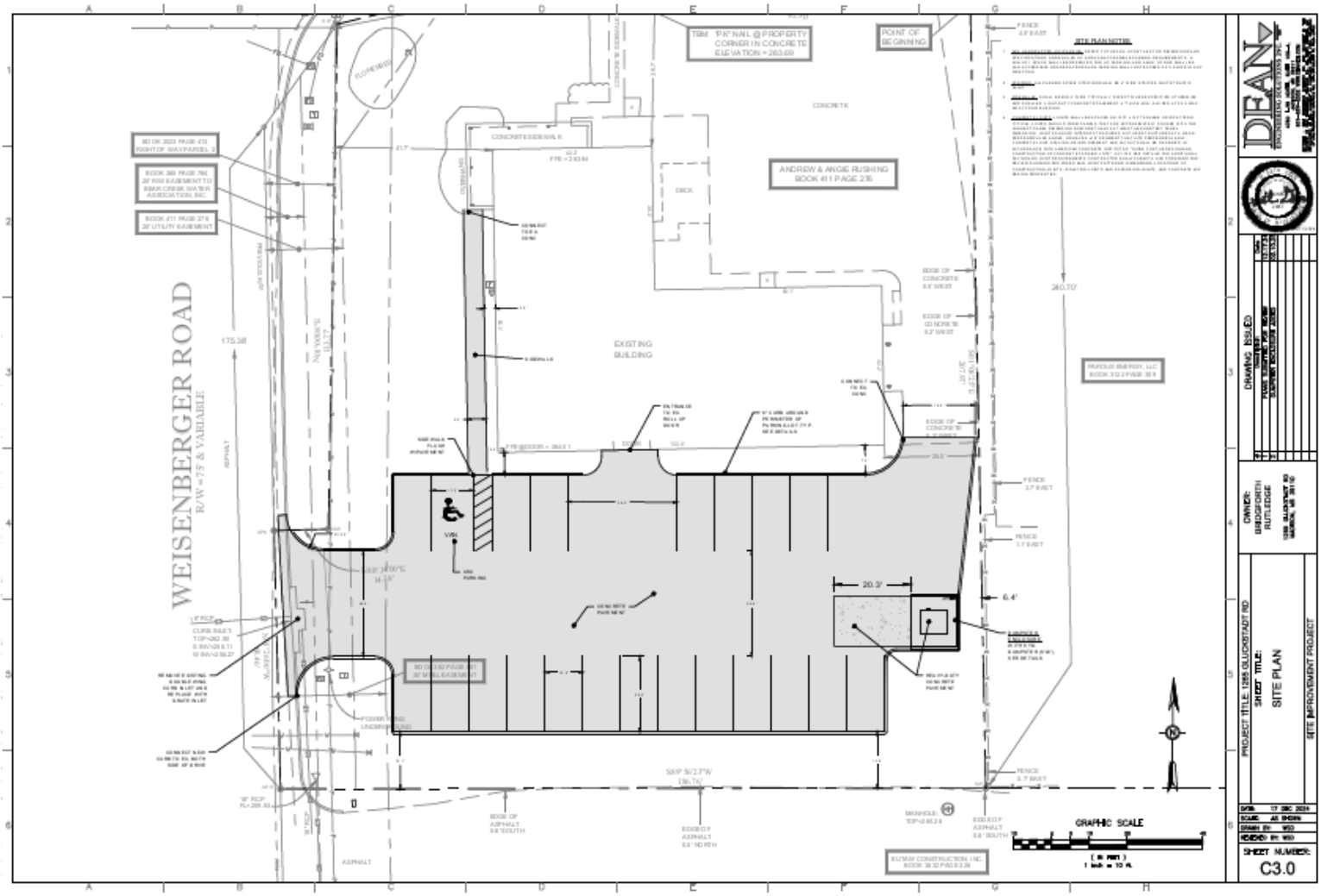
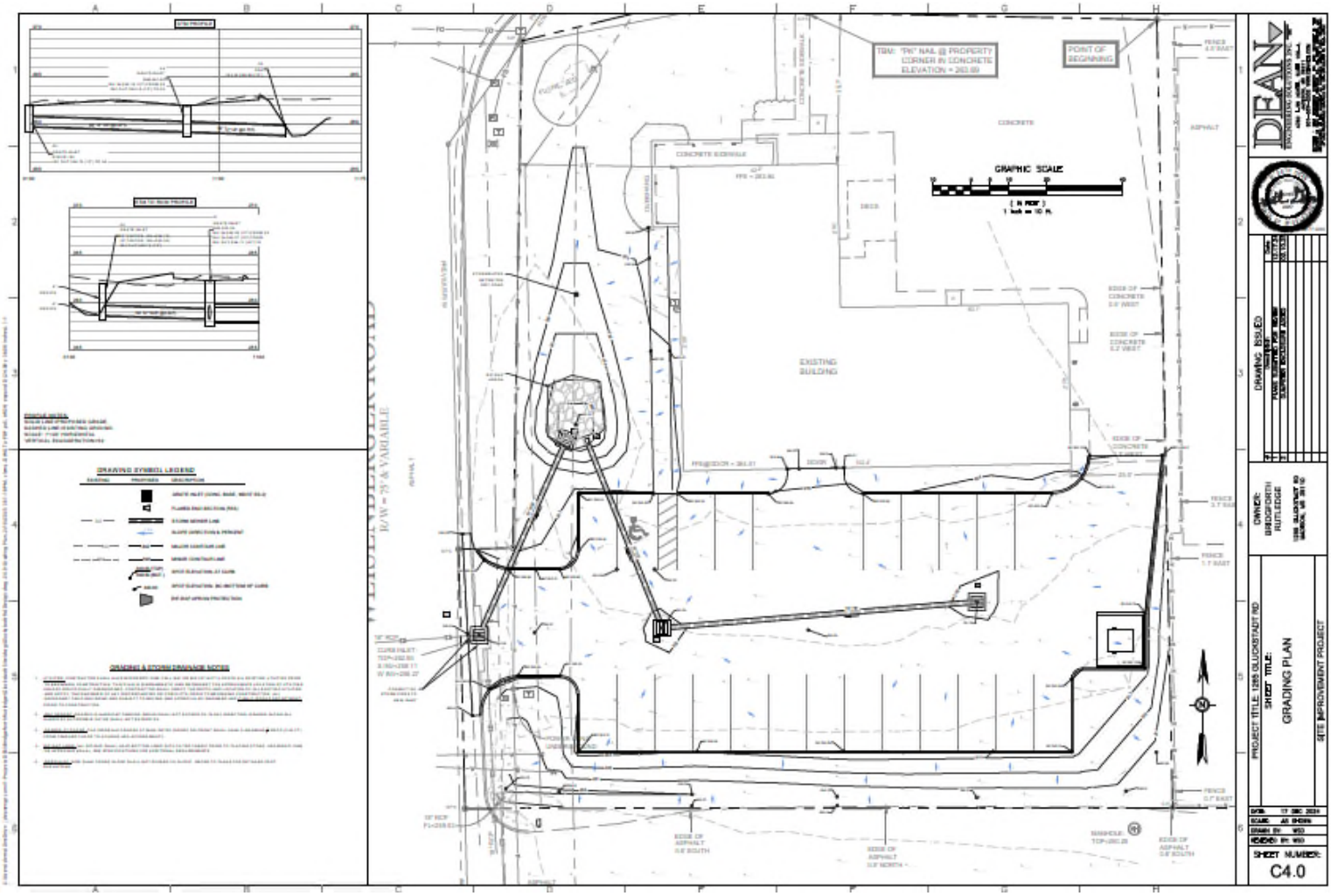
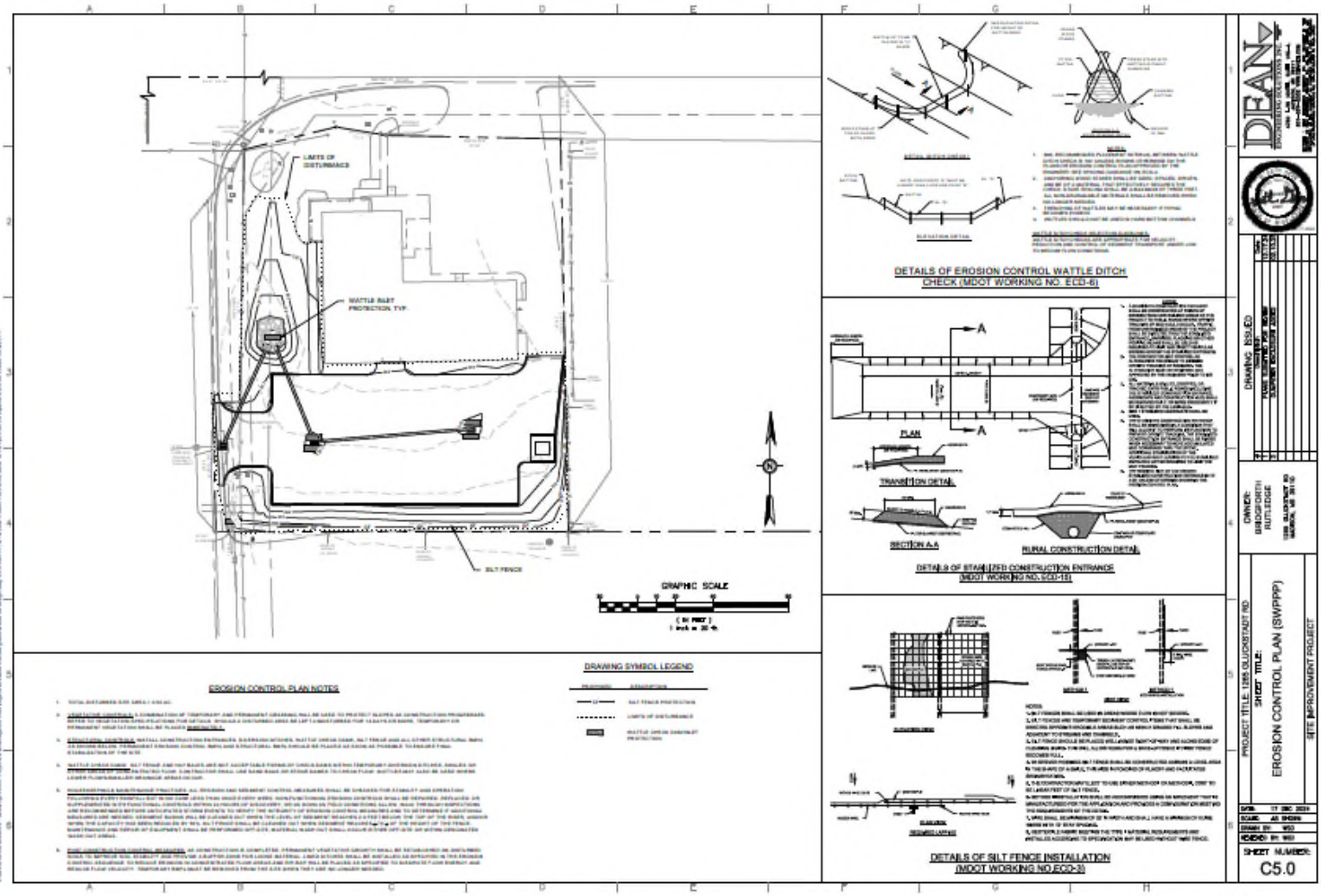
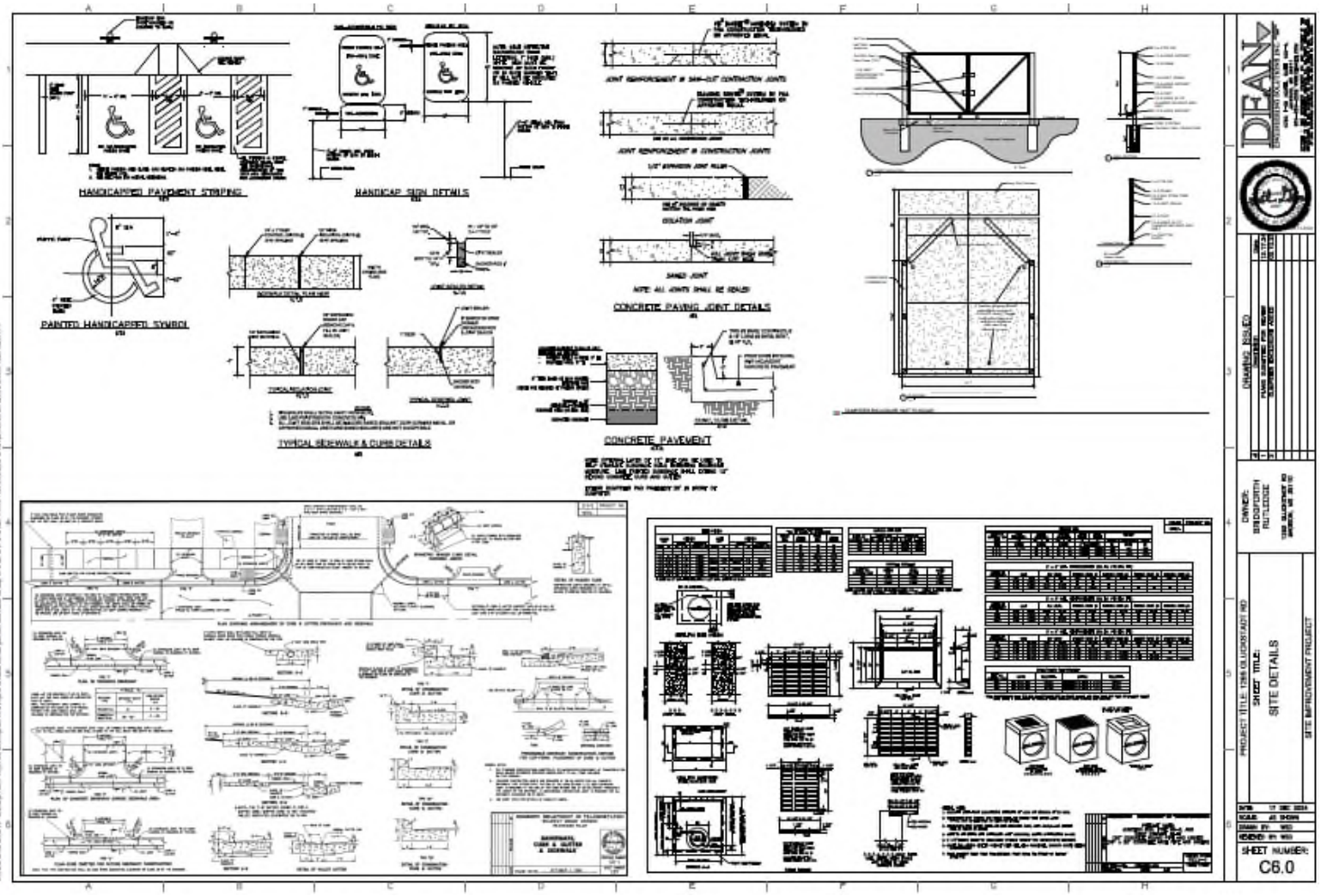

WEISENBERGER ROAD
R/W = 75' & VARIABLE
EXISTING BUILDING
ANDREW & ANGIE RUSHING BOOK 411 PAGE 236
POINT OF BEGINNING
GRAPHIC SCALE
SITE PLAN NOTES:
SHEET TITLE:
SITE PLAN
SITE IMPROVEMENT PROJECT
SHEET NUMBER:
C3.0


TBM: "PK" NAIL @ PROPERTY CORNER IN CONCRETE ELEVATION = 263.69
POINT OF BEGINNING
GRAPHIC SCALE
EXISTING BUILDING
DRAWING SYMBOL LEGEND
DRAINAGE & STORM DRAINAGE NOTES
DEAN
OWNER:
BRIDGFORTH RUTLEDGE
PROJECT TITLE: 1285 GLUCKSTADT RD
SHEET TITLE:
GRADING PLAN
SITE IMPROVEMENT PROJECT
SHEET NUMBER:
C4.0


LIMITS OF DISTURBANCE
WATTLE INLET PROTECTION TYP.
SILT FENCE
GRAPHIC SCALE
EROSION CONTROL PLAN NOTES
DRAWING SYMBOL LEGEND
DETAILS OF EROSION CONTROL WATTLE DITCH CHECK (MDOT WORKING NO. ECD-6)
PLAN
TRANSITION DETAIL
SECTION A-A
RURAL CONSTRUCTION DETAIL
DETAILS OF STABILIZED CONSTRUCTION ENTRANCE (MDOT WORKING NO. ECD-15)
DETAILS OF SILT FENCE INSTALLATION (MDOT WORKING NO.ECD-3)
DRAWING ISSUED:
OWNER:
PROJECT TITLE: 1295 SUCKERYARD RD
SHEET TITLE:
EROSION CONTROL PLAN (SWPPP)
SITE IMPROVEMENT PROJECT
SHEET NUMBER:
C5.0


HANDICAPPED PAVEMENT STRIPING
HANDICAP SIGN DETAILS
PAINTED HANDICAPPED SYMBOL
CONCRETE PAVING JOINT DETAILS
TYPICAL SIDEWALK & CURB DETAILS
CONCRETE PAVEMENT
SITE DETAILS
SHEET NUMBER:
C6.0

Landscape Plan