



## REGULAR MEETING OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, September 10, 2024 at 6:00 PM

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### Agenda

This notice and agenda of the Regular Meeting of the Mayor and Board of Aldermen is hereby given by the undersigned. Said meeting shall be held on Tuesday, September 10, 2024, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

**1. Call Meeting to Order and Roll Call**

**2. Opening Prayer and Pledge of Allegiance**

**3. Presented Items**

A) Introduction of 2024-2025 Mayor's Youth Council Members

B) 2024 Christmas Parade, Approval of Date (December 14 @ 9:00 am)

**4. Approval of Consent Agenda Items**

A) Approval of Claims Docket

B) Request for Approval of July 11, August 13, August 28 and September 6 Meeting Minutes (Special Called and Regular Meetings)

C) Request to Attend 2024 Winter Clerk Conference, Dec. 11-13, Flowood (City Clerk, Lindsay Kellum & Deputy Clerk, Scott Maugh)

D) Special Circumstance Purchase, Traffic Signal Radar Unit Replacement

E) Request To Declare Property As Surplus And Authorize Disposal & Removal from Fixed Assets / Inventory List (Public Works Furniture)

F) Request for Approval of Sponsorship Opportunity, MCEDA & MBL&F Vision Awards Luncheon (\$1000.00 Table Sponsorship), Declaring Favorable Promotion of the City

G) Request to Approve Sponsorship & Declare as Favorable Promotion to the City, WJTV Hometown Television Spot

**5. Monthly Budget Report**

- [A\)](#) Monthly Budget Reports
- [B\)](#) Bank Reconciliations, August

**6. New Business**

- [A\)](#) Discussion of Enforcement of Laws, City Procedures and Policies (Mayor Morrison)
- [B\)](#) Request for Approval Adopt Ordinance, Animal Control
- [C\)](#) Request for Approval to Adopt Ordinance, Discharging of Firearms Within City Limits
- [D\)](#) Request to Approve Formal City Organizational Chart, Structuring of City Departments

**7. Court Clerk, Municipal Court Department (Stephanie Gerlach)**

- [A\)](#) Request for Approval of Job Description (Deputy Court Clerk I) & Authorization to Begin Advertising

**8. Grant Administrator, Grant Status Updates (Ruth Marie Stogner)**

- [A\)](#) Grant Status
- [B\)](#) National Night Out

**9. City Clerk, City Administration Matters (Lindsay Kellum)**

- [A\)](#) General Update, City Administration
- [B\)](#) Monthly Privilege License Report (Deputy City Clerk)
- [C\)](#) Request for Acceptance of 2024 Tax Roll, Madison County Tax Assessor (Board of Supervisor Approved Values)
- [D\)](#) Request to Authorize City Clerk's Office to Publish the FY25 Tax Levy & Adopted FY25 Municipal Budget (Set to Be Adopted 9/13/24)
- [E\)](#) Notification of Completion of FY24 Municipal Compliance Questionnaire & Reporting (Office of the State Auditor)
- [F\)](#) Request for Approval of FY25 Rates, City Health Insurance and Supplemental Benefits Packages (Open Enrollment, Sept.)
- [G\)](#) Request to Amend the Current Deputy City Clerk's Job Title, Approve New Job Description for Deputy City Clerk I, Organizational Chart, & Advertise for Open Position for City Clerk's Office



- [H\)](#) Request for Authorization to Formally Accept Funds & Open a New Bank Account for FY24 Legislative Allocation of \$750,000 for Public Works Road Projects (SB2468), Estimated October 2024
- [I\)](#) Request for Authorization to Allow Scott Maugh to Sign Any Checks Related to Mayor's Youth Council

**10. Building Official, Planning and Zoning Matters (William Hall)**

- [A\)](#) General Update, Planning and Zoning/Building Department
- [B\)](#) Discussion and Consideration of The Oaks Site Plan
- [C\)](#) Discussion and Consideration of Sowell Road Liquor Store Conditional Use
- [D\)](#) Discussion and Consideration of Bear Creek Water Conditional Use
- [E\)](#) Discussion and Consideration of Wellspring Church Conditional Use
- [F\)](#) Discussion and Consideration of Application for Rezoning, Ferrous Processing and Trading Company, 082E-15-037/00.00 and 082E-15-038/00.00 (R-1 to I-2)

**11. Public Works Department (Chris Buckner)**

- [A\)](#) Request to Approve Amendment to Madison County Road Cooperation Agreement
- [B\)](#) Request for Approval, Proposal for Conceptual Design & Opinion of Probable Costs Services Gluckstadt Park
- [C\)](#) Request for Approval, Saddle Cove Curb Removal and Replacement
- [D\)](#) Request for Approval, Purchase of Skid Steer

**12. Police Chief, Police Department Matters (Chief Barry Hale)**

- [A\)](#) General Update, Law Enforcement Matters
- [B\)](#) Requesting Approval for The 20 (Formerly Matrix) to Provide Monthly Network Maintenance Services, New Police Department Computer Network
- [C\)](#) Request for Approval to Purchase Building Signage for the Police Department and Municipal Court
- [D\)](#) Request for Formal Approval of Change Order # 4, New Police Department and Municipal Court

**13. Public Comment**

**14. Closed Session to Determine Need for Executive Session**

**15. Adjourn**

WALTER C. MORRISON, IV  
MAYOR

We the undersigned Aldermen acknowledge that we were given notice of said meeting at least three (3) hours in advance thereof by a copy of this notice.

Alderwoman Bates \_\_\_\_\_

Alderman Powell \_\_\_\_\_

Alderman Slay \_\_\_\_\_

Alderman Taylor \_\_\_\_\_

Alderwoman Williams \_\_\_\_\_

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]



## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 09/10/24

**SUBJECT:** Recognition of 2024-2025 Mayor's Youth Council Members

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Julia Lever will announce the 2024-2025 Mayor's Youth Council Members and we would like to get a picture with the board for parents, social media and newspaper.

Let me know if you have any questions.

Thanks,

Lindsay

**From:** [julia lever](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** Gluckstadt Mayor's Youth Council  
**Date:** Friday, September 6, 2024 3:15:36 PM

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The following students have been selected from over 70 applications to be a part of the 2024-2025 Gluckstadt Mayor's Youth Council.

I will send out email announcements this evening, after swim practice. I will also create a graphic and post on social media.

Everyone will be required to come to the Board of Alderman meeting Tuesday night to be recognized. I think last year, everyone was sworn in. Can we do that again, to signify the importance of being accepted? I will also give out Code of Conduct agreements to have signed and bring back to the first meeting. This year's service requirement is 30 hours.

Also, everyone will be told to dress nice (suits/dresses).

I'm anticipating a few calls from parents next week (I've already actually had a couple) but there were so many applications and unfortunately we just can't take everyone. Those who live in Jackson, Ridgeland, etc did not make the list. Their respective towns have similar councils so I want our spots to go to Gluckstadt residents. Last year's members who reapplied were given consideration based on attendance and participation. Grades, how much time they could commit, did they follow instructions on the application: all were considered.

Beyond that, there were some really strong applications so it was a tough decision.

Amelia Rose Cook Canton Academy 12  
 Alex Davis Jackson Academy 12  
 Celeste Tatum St. Andrews 12  
 Julia Lever Germantown 12  
 Jerrica Lewis Germantown 12  
 Austin Sanders Germantown 12  
 Elijah Dortch Germantown 12  
 Matthew D'Alfonso Germantown 12  
 Parwan Josan Germantown 12  
 Tiffany Lin Germantown 12  
 Jai Moss St. Andrews 11  
 Adriana Kroeze St. Andrews 11  
 Shelby Grant Jackson Academy 11  
 Anvi Sethi Germantown 11  
 Natalee Welch Germantown 11  
 Regan Alexander Germantown 11  
 Reese Alman Germantown 11  
 Simar Kamboj Germantown 11  
 Bella Brewer Germantown 11  
 Scarlett Rolph Germantown 11  
 Emiliano Valdez Germantown 11  
 Sage Pendergrass Germantown 11  
 Miah Schuller Germantown 11  
 Krissy Jo Simmons MRA 10  
 Presley McCullough Germantown 10  
 Ava Bondurant Jackson Academy 10  
 Ashby Robinson Germantown 10  
 Madison Davis Germantown 10  
 Addison Kellum-Thetford Germantown 10  
 Mackenzie Davis Germantown 10

Jerriona Lewis Germantown 10  
Tejbir Banipal Germantown 9  
Aiden Hodge Germantown 9

Thanks,  
Julia



## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

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**TO:** Mayor & Board of Alderman  
**FROM:** Lindsay Kellum, City Clerk  
**DATE:** 9/10/24  
**SUBJECT:** 2024 Gluckstadt Christmas Parade, Planning Update

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I am requesting the Mayor and Board of Aldermen designate Saturday, December 14<sup>th</sup> as the date to hold the 2024 Gluckstadt Christmas Parade at 9:00 am on Calhoun Station Pkwy (same route as last year). The Christmas Parade committee met on August 30<sup>th</sup> and have begun planning this family friendly event.

I will keep the board updated as planning comes along.

Let me know if you have any questions.

Thanks,

Lindsay



Gluckstadt, MS

Section 4, IA)

# Docket of Claims Register

APPKT00582 - Sept. 2024 Claims Docket

By Docket/Claim Number

Vendor #	Vendor Name	Docket/Claim #	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
	Payable Number							Distribution Amount
00220	Ace Bolt & Screw Co. Inc. 666137	2024642	M18 Fuel 1/2 High Torque Impact Wre	Invoice	09/10/2024	M18 Fuel 1/2 High Torque Impact Wre	001-301-91600	319.00
00136	Adcamp Inc. 43688	2024643	Planters Row Base Repair, Mill, & Pave	Invoice	09/10/2024	Asphalt Base Repair 191 tons @ \$230.0	001-301-91200	2,753.10
	43689		Cotton Cove Base Repair, Mill, & Pave	Invoice	09/10/2024	Milling of Asphalt Surface (<3,000 SY)	001-301-91200	10,824.00
	43690		Farmers Row Base Repair, Mill, & Pave	Invoice	09/10/2024	Milling of Asphalt Surface (<3,000 SY)	001-301-91200	2,753.10
	43691		Raintree Road Mill, & Pave	Invoice	09/10/2024	Milling of Asphalt Surface (<3,000 SY)	001-301-91200	103,641.12
	43692		Hunters Row Base Repair, Mill, & Pave	Invoice	09/10/2024	Milling of Asphalt Surface (>3,000 SY)	001-301-91200	6,000.00
						Surface Course (SC-1A)	001-301-91200	20,592.31
						Surface Course (SC-1A)	001-301-91200	50,771.14
						Surface Course (SC-1A)	001-301-91200	6,000.00
						Surface Course (SC-1A)	001-301-91200	47,614.96
						Surface Course (SC-1A)	001-301-91200	6,000.00
						Surface Course (SC-1A)	001-301-91200	90,685.12
00279	AT&T Mobility 092024	2024644	Monthly Backup Line Payment	Invoice	09/10/2024	Monthly Backup Line Payment	001-195-60500	40.23
00337	Barnett Phillips Lumber Company 2408-642857	2024645	PW Supplies	Invoice	09/10/2024	1/2" POLY INSERT TEE	001-301-50500	44.08
						1LB 6D CTD SINKER NAIL	001-301-50500	1.39
						2X4 8' SPRUCE (C3)	001-301-50500	2.90
						2X8-8' #2 SYP S4S (C1)	001-301-50500	9.21
						3" X#9 1LB. TAN DECK SCREW T25	001-301-50500	15.12
						5/16" - 5/8" CLAMP	001-301-50500	8.80
								6.66
00006	Bear Creek Water Association 082024CH	2024646	Water & Sewer (CH) - Aug. 2024	Invoice	09/10/2024	Water & Sewer (CH) - Aug. 2024	001-195-63003	106.87
	082024LW		Water & Sewer (LW) - Aug. 2024	Invoice	09/10/2024	Water & Sewer (LW) - Aug. 2024	001-195-63003	70.06
00269	Benchmark Construction Corp. 092024	2024647	PD Building Contractor Payment	Invoice	09/10/2024	PD Building Contractor Payment	006-200-90100	36.81
								552,405.61
								552,405.61

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00108	Big 10 Tire Co.	2024648					2,335.80
	5105493	Tires Unit SUV4	Invoice	09/10/2024	Environmental	001-200-57000	3.98
					FEA - Alignment	001-200-57000	69.99
					G - MAX Justice - 15553960000 265/60	001-200-57000	567.80
					Mount & balance ( tires)	001-200-57000	80.00
					Tire Disposal	001-200-57000	20.00
					TPMS reset/rubber valve stem	001-200-57000	23.48
	5106306	2201 Maintenance	Invoice	09/10/2024	Air Filter Replacement Job Supplies	001-200-57000	5.05
					BFGoodrich - 91852 255/60/18	001-200-57000	480.00
					Cabin Air Replacement Job Supplies	001-200-57000	5.34
					JEEP FILTER - M1009	001-200-52500	12.99
					Labor Change Oil and Filter	001-200-52500	7.12
					Mount & Balance (3 tires)	001-200-57000	60.00
					Oil Change Job Supplies	001-200-52500	7.43
					QT MOBIL FULL SYNTHETIC OW-20 - 0V	001-200-52500	8.45
					Replace Air Filter	001-200-57000	5.99
					Replace Cabin Air Filter	001-200-57000	8.98
					STP Filter Air Filter - SA 10957	001-200-57000	47.22
					STP Filter Cabin Air Filter - CAF1890P	001-200-57000	47.22
					Tire Desposal	001-200-57000	15.00
					TL - Mount and Balance Job Supplies	001-200-57000	7.37
					TPMS reset/rubber valve stem	001-200-57000	17.61
	5107007	Trailer Tire Replacement	Invoice	09/10/2024	Environmental Fee	001-301-57500	3.98
					Job Supplies	001-301-57500	2.72
					Labor: Mount and Balance	001-301-57500	25.87
					Strong Guard	001-301-57500	116.99
					Tire Disposal Fee	001-301-57500	5.00
					Tire Tax	001-301-57500	1.00
	5107009	PW Tire Repair and Oil Change	Invoice	09/10/2024	Change Oil and Filter	001-301-52500	19.50
					Environmental Fee	001-301-57000	3.98
					Job Supplies	001-301-52500	11.79
					Job Supplies	001-301-57000	6.48
					QT Mobil Diesel 15W-40 and Filter	001-301-52500	92.81
					Tire Repair patch/plug	001-301-57000	61.74
	5107410	PD Battery Replacement	Invoice	09/10/2024	Job Supplies	001-200-57000	29.15
					Labor - Remoev and Replace	001-200-57000	71.25
					Part - Battery Gold - 48H6	001-200-57000	206.34
	5107703	PW Oil change	Invoice	09/10/2024	Environmental Fee	001-301-52500	3.98
					Job Supplies	001-301-52500	16.36
					Labor	001-301-52500	19.50
					Oil & Oil Filter	001-301-52500	136.34



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Vendor #	Payable Number	Payable Description					Distribution Amount
00008	Bridge & Watson, Inc.	2024649					51,730.39
	082024Annex	Annex Billing 7/22/24 - 8/19/24	Invoice	09/10/2024	Annex Billing 7/22/24 - 8/19/24	001-195-60104	44,305.87
	092024Admin	Admin Billing - 7/22/24 - 8/19/24	Invoice	09/10/2024	Admin Billing - 7/22/24 - 8/19/24	001-195-60101	7,424.52
00176	Canton Mac Haik CDJR LTD	2024650					820.00
	362447	UNIT 2203 BRAKES	Invoice	09/10/2024	68532199AC (FRONT BRAKE PADS	001-200-57000	520.00
					LABOR	001-200-57000	250.00
					MISC	001-200-57000	50.00
00230	Canton Sanitary Landfill	2024651					520.24
	082024	TrashDump Fees - Aug. 2024	Invoice	09/10/2024	TrashDump Fees - Aug. 2024	001-301-68500	520.24
00010	Cascio Sanford Government Law	2024652					3,500.00
	100130	Lobbying Fees - Sept. 2024	Invoice	09/10/2024	Lobbying Fees - Sept. 2024	001-195-60102	3,500.00
00110	Central MS Planning & Developm	2024653					250.00
	5323	Central MS Mayors Association FY25 D	Invoice	09/10/2024	Central MS Mayors Association FY25 D	001-120-62200	250.00
00113	Central Pipe Supply Inc.	2024654					652.00
	S100381858.001	Storm Pipe Drainage Project - Little Ch	Invoice	09/10/2024	ADS HP DUAL WALL STORM PIPE WTIB	001-301-91200	652.00
00393	Cintas Corporation	2024655					936.99
	4199183522	Initial Payment/Setup for Uniform Ren	Invoice	09/10/2024	Initial Payment/Setup for Uniform Ren	001-301-64000	530.78
	4199892601	Weekly Uniform Rental Invoice	Invoice	09/10/2024	Weekly Uniform Rental Invoice	001-301-64000	58.03
	4200614082	Weekly Uniform Rental Invoice	Invoice	09/10/2024	Weekly Uniform Rental Invoice	001-301-64000	58.03
	4201317338	Weekly Uniform Rental Invoice	Invoice	09/10/2024	Weekly Uniform Rental Invoice	001-301-64000	58.03
	4202048715	Weekly Rental Invoice	Invoice	09/10/2024	Weekly Rental Invoice	001-301-64000	58.03
	4202747682	Weekly Uniform Rental Invoice	Invoice	09/10/2024	Weekly Uniform Rental Invoice	001-301-64000	58.03
	4203481681	Weekly Uniform Rental Invoice	Invoice	09/10/2024	Weekly Uniform Rental Invoice	001-301-64000	58.03
	4204136392	Weekly Uniform Rental Invoice	Invoice	09/10/2024	Weekly Uniform Rental Invoice	001-301-64000	58.03
00011	CivicPlus, LLC	2024656					3,572.10
	309163	Municode Meetings Ultimate Annual	Invoice	09/10/2024	Municode Meetings Ultimate Annual	001-140-68800	3,572.10
00119	Crystal Clean	2024657					3,101.00
	52327	Street Sweeping Services - August 2024	Invoice	09/10/2024	Street Sweeping Services - August 2024	001-301-68600	3,101.00
00018	Custom Products Corporation	2024658					262.50
	INV13346	PW Stop Signs	Invoice	09/10/2024	24x24 Stop WH/RE	001-301-55904	151.58
					36x36 Stop WH/RE	001-301-55904	110.92
00195	Dean Architecture	2024659					14,552.36
	80624	Construction Admin Phase June/July 2024	Invoice	09/10/2024	Construction Admin Phase June/July 2024	002-200-69900	14,552.36

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Vendor #	Payable Number	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Distribution Amount
00090	Deviney Rental & Supply	2024660					447.40
	IV18659	Propane	Invoice	09/10/2024	Propane	001-301-50500	19.90
	WO16365	Oil Change/Main./Blade	Invoice	09/10/2024	4 CYCLE 20W	001-301-52500	23.78
					BLADE, H30T BLADE-9	001-301-57500	71.88
					ELEMENT-AIR 29-E	001-301-57500	26.48
					FILTER-FUEL	001-301-52500	7.39
					FILTER-OIL	001-301-52500	17.97
					Labor	001-301-52500	135.00
						001-301-57500	135.00
					SHOP SUPPLIES	001-301-52500	5.00
						001-301-57500	5.00
00374	Edko LLC	2024661					2,700.00
	369634	Seedhead Suppression	Invoice	09/10/2024	Furnish herbicides, equipment, person	001-301-68100	2,700.00
00020	Entergy	2024662					1,961.32
	10019157381	Collective Bill - Aug 2024	Invoice	09/10/2024	Street Lights - Aug. 2024	001-301-63102	58.52
					Traffic Signals - Aug. 2024	001-301-63103	684.03
	200005909546	Bear Creek Street Lights	Invoice	09/10/2024	Bear Creek Street Lights	001-301-63102	473.05
	230006118260	Arrington Street Lights	Invoice	09/10/2024	Arrington Street Lights	001-301-63102	217.05
	365005264251	Lone Wolf - Aug 2024	Invoice	09/10/2024	Lone Wolf - Aug 2024	001-195-63001	410.53
	485004341413	Ridgefield Street Lights	Invoice	09/10/2024	Ridgefield Street Lights	001-301-63102	118.14
00397	Eric Huff	2024663					699.45
	092024	K9 Handler Travel Reimbursement	Invoice	09/10/2024	K9 Handler Travel Reimbursement	001-200-61000	699.45
00021	Executive Landscape	2024664					285.00
	082024	Monthly Landscaping Services - Aug. 2024	Invoice	09/10/2024	Monthly Landscaping Services - Aug. 2024	001-195-68600	285.00
00023	Fuelman	2024665					6,635.81
	NP67060291	Gas & Oil - PW/PD/Building	Invoice	09/10/2024	Gas & Oil - Building	001-280-52500	181.20
					Gas & Oil - PD	001-200-52500	5,087.85
					Gas & Oil - PW	001-301-52500	1,366.76
00102	Hartley Equipment Company, Inc	2024666					26.99
	270014	TRM Head Auto Cut	Invoice	09/10/2024	TRM Head Auto Cut	001-301-57500	26.99
00103	Henry J. Davis	2024667					168.68
	092024	PW Labor and Mileage Reimbursemen	Invoice	09/10/2024	PW Labor and Mileage Reimbursemen	001-301-60101	168.68
00340	Highland Building Services, Inc.	2024668					1,050.00
	2486-A	Monthly Janitorial Services - Sept. 2024	Invoice	09/10/2024	Monthly Janitorial Services - Sept. 2024	001-195-69900	275.00
	2487-A	Monthly Janitorial Servies - Sept. 2024	Invoice	09/10/2024	Monthly Janitorial Servies - Sept. 2024	001-195-69900	775.00
00267	Holcim	2024669					246.12
	720021968	610 Limestone	Invoice	09/10/2024	610 Limestone	001-301-55904	177.75
	720041395	CS, CL2 RIP RAP	Invoice	09/10/2024	CS, CL2 RIP RAP	001-301-55904	68.37
00027	International Institute Of Municip	2024670					125.00
	092024Kellum	Kellum Grad. Fee	Invoice	09/10/2024	Kellum Grad. Fee	001-140-61000	125.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00126	Jackson Communications, Inc.	2024671					501.49
	174683	Radio Programming Charge	Invoice	09/10/2024	Radio Programming Charge	001-301-63700	90.00
	174684	Radio Programming Charge	Invoice	09/10/2024	Radio Programming Charge	001-200-63700	150.00
	174693	APX Portable Programming CAble	Invoice	09/10/2024	APX Portable Programming CABLE	001-200-50500	125.00
	174699	Supplies to Program Radios	Invoice	09/10/2024	1 Button	001-200-50500	63.89
					System Key USB Drive	001-200-50500	72.60
00396	John D. Cosmich	2024672					123.00
	092024	Craft Bond Refund	Invoice	09/10/2024	Craft Bond Refund	003-000-33104	123.00
00395	Keith Warfield	2024673					1,000.00
	092024	Harris Bond Refund	Invoice	09/10/2024	Harris Bond Refund	003-000-33104	1,000.00
00033	Lautzenhiser's Stationary, Inc.	2024674					605.00
	13157	(2) Minute Books for PnZ No. 4 and No	Invoice	09/10/2024	Gold foil book printing, per line of text	001-190-62000	100.80
					Imitation Leather Style Minute Books 4	001-190-62000	464.00
					Shipping Delivery 30-35 Days From Orc	001-190-62000	40.20
00286	Madison County Business League	2024675					1,000.00
	092024	Vision Celebration Lunch Oct. 2024	Invoice	09/10/2024	Vision Celebration Lunch Oct. 2024	001-195-64500	1,000.00
00036	Madison County Publishing Com	2024676					936.00
	2024ci-6132	FY25 Budget Hearing Adv. (8/22/24 & i	Invoice	09/10/2024	FY25 Budget Hearing Adv.	001-195-61500	936.00
00038	MAGCOR (formerly MPIC, INC)	2024677					55.00
	132647	Business Cards (Rounsaville)	Invoice	09/10/2024	Business Cards (Rounsaville)	001-200-62000	55.00
00172	Magnolia Shredding LLC	2024678					75.00
	3593	Monthly Shredding Services - Aug. 202	Invoice	09/10/2024	Monthly Shredding Services - Aug. 202	001-195-69900	75.00
00290	Mavs Booster Club	2024679					500.00
	092024	Mavs Booster Donation	Invoice	09/10/2024	Mavs Booster Donation	001-195-64500	500.00
00192	Mike's Auto Parts	2024680					41.39
	5780-1184982	Fuel Filter with Seals (Repair)	Invoice	09/10/2024	Fuel Filter with Seals (Repair)	001-301-57000	41.39
00045	Mills, Scanlon, Dye & Pittman, At	2024681					49,318.00
	082024Annex	Annex. Legal Fees - Aug 2024	Invoice	09/10/2024	Annex. Legal Fees - Aug 2024	001-195-60304	33,738.75
	0824Court	Court Legal Fees - August 2024	Invoice	09/10/2024	Court Legal Fees - August 2024	001-110-60301	1,210.50
	0824General&Retainer	General & Retainer Legal Fees - August	Invoice	09/10/2024	General Legal Fees - Aug. 2024	001-195-60301	9,231.00
					Retainer - Aug. 2024	001-195-60301	3,000.00
	0824PnZ	PnZ Legal Fees - Aug. 2024	Invoice	09/10/2024	PnZ Legal Fees - Aug. 2024	001-190-60301	2,137.75
00047	Miss. Extension Center for Gover	2024682					500.00
	092024Kellum	Kellum Winter Conf. Fee	Invoice	09/10/2024	Kellum Winter Conf. Fee	001-140-61000	250.00
	092024Maugh	Maugh Winter Clerk Conf. Fee	Invoice	09/10/2024	Maugh Winter Clerk Conf. Fee	001-140-61000	250.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00352	Mississippi Department of Public 90148020	2024683 Analytical Fees	Invoice	09/10/2024	Agency Case 22-00070	001-200-60201	360.00
					Agency Case 23000373	001-200-60201	60.00
					Agency Case 23000449	001-200-60201	60.00
					Agency Case 2300190	001-200-60201	60.00
					Agency Case 24001283	001-200-60201	60.00
					Agency Case 24002576	001-200-60201	60.00
00048	Mississippi Municipal League 39321	2024684 2024-2025 Membership Dues	Invoice	09/10/2024	2024-2025 Membership Dues	001-195-62200	1,626.80
00257	Murray Mud Jacking Service, Inc. 228	2024685 Yandell Road Ditch Sinkhole Repair	Invoice	09/10/2024	Yandell Road Ditch Sinkhole Repair	001-301-56501	2,800.00
00392	Nexstar Media, Inc. 092024	2024686 Presnting Sponsorship - Your Hometov	Invoice	09/10/2024	Presnting Sponsorship - Your Hometov	001-195-64500	4,500.00
00152	OP Plus 1064834-1	2024687 PW/Building/PnZ Office Supplies	Invoice	09/10/2024	Refill, X-STRN-Tylenol 2/PK	001-190-50000	349.21
						001-280-50000	5.26
						001-301-50000	5.27
	1064834-2	Building/PnZ Office Supplies	Invoice	09/10/2024	BNDR, DURBLE VIEW 1/2, BK	001-190-50000	14.04
						001-280-50000	14.04
	1067812-0	Paper, 20#, LTR, 92 BRT	Invoice	09/10/2024	Paper, 20#, LTR, 92 BRT	001-195-50000	305.34
00053	Pennington & Trim Alarm Service 823463	2024688 Wireless Monitoring & Access Control	Invoice	09/10/2024	Wireless Monitoring & Access Control	001-195-63200	69.00
00054	Phelps Dunbar LLP 1373916	2024689 General Labor & Employment Advice -	Invoice	09/10/2024	General Labor & Employment Advice -	001-195-60302	345.00
00055	Printables and More (G&W Mark 30904	2024690 Plague 8x10 for Good and Young	Invoice	09/10/2024	Plague 8x10 for Good and Young	001-140-62000	178.00
						001-301-62000	89.00
00125	Puckett Rents 1058423-0001	2024691 Concrete Mix 80LB. Bag	Invoice	09/10/2024	Concrete Mix 80LB. Bag	001-301-55904	125.65
	1060623-0001	Paint, Invert, White	Invoice	09/10/2024	Paint, Invert, White	001-301-50500	6.65
	1061476-0001	Blade, DIA, HS, Slab, Blue	Invoice	09/10/2024	Blade, DIA, HS, Slab, Blue	001-301-57500	20.00
00311	Revell Hardware Co., Inc. 6566	2024692 Hose Mender Kit 5/8-3/4	Invoice	09/10/2024	Hose Mender Kit	001-301-50500	99.00
	6681	Saw and Replacement Parts	Invoice	09/10/2024	12" Sawzall Blade 5pk	001-301-57500	310.53
					Blade Sawzal 9" 8t PK5	001-301-50500	5.59
					M18 Sawzall Recip Saw BT	001-301-91600	29.99
	6813	PW Tool and Supplies	Invoice	09/10/2024	Contractor Trash Bags 42G	001-301-50500	23.99
					Tire Gauge LED DIGTL	001-301-91600	199.99
							33.98
							16.99

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00098	Ricks Pro Truck 12181	2024693 Bedliner & Stepbars 2024 Dodge Ram : Invoice	Invoice	09/10/2024	Aries Black Oval Stepbars S225041	001-301-90500	1,074.95
					Installation of Stepbars & Bedliner	001-301-90500	399.95
					Spray In Bedliner	001-301-90500	150.00
							525.00
00057	Robert J Young Company	2024694					2,079.34
	INV7076212	Court Copier and Overages - Aug. 2024	Invoice	09/10/2024	Court Copier and Overages - Aug. 2024	001-110-64000	552.82
	INV7093696	Admin Copier and Overages - August 2	Invoice	09/10/2024	Admin Copier and Overages - August 2	001-195-64000	495.97
	INV7100301	Board Room Monthly Payment - Aug. 2	Invoice	09/10/2024	Board Room Monthly Payment - Aug. 2	001-195-64000	556.64
	INV7103523	LW Copier and Overages - Aug 2024	Invoice	09/10/2024	LW Copier and Overages - Aug 2024	001-190-64000	158.00
						001-280-64000	157.95
						001-301-64000	157.96
00253	S&S Operating, LLC 082024	2024695 Open Purchase Order for CWC Work C	Invoice	09/10/2024	Open Purchase Order for CWC Work C	001-301-68301	551.08
00058	Scott Insurance Services LLC 52142	2024696 Surety Bonds - City Staff	Invoice	09/10/2024	Surety Bond - Asst. Police Chief	001-200-62500	2,100.00
					Surety Bond - Building Off./PnZ Admin	001-190-62500	175.00
						001-280-62500	87.50
					Surety Bond - City Clerk	001-140-62500	175.00
					Surety Bond - Court Clerk	001-110-62500	175.00
					Surety Bond - Deputy City Clerk	001-140-62500	175.00
					Surety Bond - Deputy Court Clerk	001-110-62500	175.00
					Surety Bond - Exec. Asst. (PW)	001-301-62500	175.00
					Surety Bond - Executive Assistant	001-140-62500	175.00
					Surety Bond - Executive Assistant (Buil	001-190-62500	87.50
						001-280-62500	87.50
					Surety Bond - Police Chief	001-200-62500	175.00
					Surety Bond - Purchasing Clerk	001-140-62500	175.00
					Surety Bond - PW Director	001-301-62500	175.00
00154	Southern Benefits Administrators 2408190230000	2024697 Cafeteria Plan - September 2024	Invoice	09/10/2024	Cafeteria Plan - September 2024	001-195-60003	100.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Distribution Amount
00060	Southern Connection Police Supp	2024698					2,264.88
	31643	PD Shirt - Chief	Invoice	09/10/2024	FLEXRS S/S Supershirt Navy large	001-200-53500	149.98
	31661	Stewart Ballistic Vest	Invoice	09/10/2024	Blauer Flexrs Armorskin XP, Navy, XS-S	001-200-53500	124.99
					Body Worn Ready W/ Grommet, Black	001-200-53500	23.50
					Hi-Lite Carrier, 1 Navy CA, AXII-4, HL6A	001-200-53500	829.00
	31680	10 Handgun	Invoice	09/10/2024	Molle for Armorskin	001-200-53500	14.00
					GLOCK 48 MOS, Amglo 9mm	001-200-90200	425.49
					SHIELD ARM G43X/48 15RD MAG KIT, I	001-200-90200	64.99
					Shield Arms, Magazine, S15 Gen	001-200-90200	83.98
					SOLIS ALS CONCEAL OWB HOLSTER, RH	001-200-90200	79.99
					STREAMLIGHT TLR 7 SUB GLK 43X, 43X	001-200-90200	179.99
	31862	MCCARTY UNIFORM ALLOWANCE	Invoice	09/10/2024	F/T DUTY SOCKS 6IN 3-PK	001-200-53500	15.99
					F/T DUTY SOCKS 6IN 3-PK	001-200-53500	15.99
					NEXBELT TITAN PRECISE GUN BELT	001-200-53500	52.99
					UA MEN DEFENDER PANT	001-200-53500	68.00
					UA MEN DEFENDER PANT	001-200-53500	68.00
					UA MEN DEFENDER PANT	001-200-53500	68.00
00289	Steve Chisholm, LLC	2024699					4,080.00
	082024	Tree Removal Service - 218 Germantov	Invoice	09/10/2024	Tree Removal Service - 218 Germantov	001-301-60103	1,400.00
	082024A	Industrial Drive Repair 2 Curb Inlets	Invoice	09/10/2024	Industrial Drive Repair 2 Curb Inlets	001-301-56501	1,200.00
	082024B	Washout Repair at 134 Weisenberger I	Invoice	09/10/2024	Washout Repair at 134 Weisenberger I	001-301-56501	1,480.00
00062	Terminix Commercial	2024700					192.00
	450927120	Pest Control - May 2024	Invoice	09/10/2024	Pest Control - May 2024	001-195-68100	192.00
00361	The 20 LLC	2024701					5,310.00
	INVT20LLC-0034943	Monthly IT Services	Invoice	09/10/2024	Monthly IT Services	001-195-68800	5,310.00
00181	Thomson Reuters - West Paymen	2024702					682.50
	092024	Clear Monthly Subscription Fee	Invoice	09/10/2024	Clear Monthly Subscription Fee	001-200-68800	682.50
00321	Waste Management of Mississipi	2024703					195.00
	3202577-0078-3	Trash Pickup - Sept. 2024	Invoice	09/10/2024	Trash Pickup - Sept. 2024	001-301-64000	195.00
<b>Total Claims: 62</b>						<b>Total Payment Amount:</b>	<b>1,084,325.51</b>



Gluckstadt, MS

Section 4, IA)

# Docket of Claims Register

APPKT00585 - 9.5.24 Payment Process, Other Claims (Monthly Recurring)

By Docket/Claim Number

Vendor #	Vendor Name Payable Number	Docket/Claim # Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount Distribution Amount
00299	110 Percent, LLC INV0002021	9102024 9.1.24 Rent, Lone Wolf	Invoice	09/01/2024	9.1.24 Rent, Lone Wolf	001-195-68300	3,000.00 3,000.00
00166	Andrew Duggar INV0002027	9102025 Aug. P&Z Mtg	Invoice	09/09/2024	Aug. P&Z Mtg	001-190-60103	120.00 120.00
00160	Charles Phillips King INV0002028	9102026 Aug. P&Z Mtg	Invoice	09/09/2024	Aug. P&Z Mtg	001-190-60103	120.00 120.00
00135	John G. Sims, III INV0002024	9102027 Sept. Court Services	Invoice	09/09/2024	Aug. Court Services	001-110-60101	1,200.00 1,200.00
00163	Katrina B. Myricks INV0002030	9102028 Aug. P&Z Mtg	Invoice	09/09/2024	Aug. P&Z Mtg	001-190-60103	120.00 120.00
00189	Kayce Leigh Saik INV0002031	9102029 Aug. P&Z Mtg	Invoice	09/09/2024	Aug. P&Z Mtg	001-190-60103	120.00 120.00
00032	Kelly Dabbs Commercial, LLC INV0002022	9102030 9.1.24 City Hall Rent	Invoice	09/01/2024	9.1.24 City Hall Rent	001-195-68300	8,792.00 8,792.00
00142	Marsha Weems Stacey INV0002025	9102031 Aug. Court Services	Invoice	09/09/2024	Aug. Court Services	001-110-60102	400.00 400.00
00134	Michael Devin Whitt INV0002023	9102032 Sept. Court Services	Invoice	09/09/2024	Aug. Court Services	001-110-60201	1,200.00 1,200.00
00287	Mississippi Attorney General's Of INV0002039	9102033 HT Exploitation Fund,Aug	Invoice	09/01/2024	HT Exploitation Fund,Aug	001-000-33000	1,000.00 1,000.00
00139	Mississippi Department of Public INV0002036	9102034 Special Assessments, Aug.	Invoice	09/01/2024	August Assessments Special Assessments, Aug.	001-000-33000 001-000-33000	765.46 50.00 715.46
00164	Sam McGaugh INV0002029	9102035 Aug. P&Z Mtg	Invoice	09/09/2024	Aug. P&Z Mtg	001-190-60103	120.00 120.00
00138	State General Fund (DFA) INV0002035	9102036 August Assessments	Invoice	09/01/2024	August Assessments	001-000-33000	43,485.49 43,485.49
00161	Timothy Slattery INV0002032	9102037 Aug. P&Z Mtg	Invoice	09/09/2024	Aug. P&Z Mtg	001-190-60103	120.00 120.00
<b>Total Claims: 14</b>						<b>Total Payment Amount:</b>	<b>60,562.95</b>



**SPECIAL CALLED MEETING OF THE MAYOR AND BOARD OF  
ALDERMEN: COMPREHENSIVE PLAN WORKSHOP  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

**Thursday, July 11, 2024, at 6:00 PM**

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**Minutes**

This notice and agenda of the Special Called Meeting of the Mayor and Board of Aldermen: Comprehensive Plan Workshop is hereby given by the undersigned. Said meeting shall be held on Thursday, July 11, 2024, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

**1. Call Meeting to Order and Roll Call**

The Mayor called the July 11, 2024, Special Called Meeting of the Mayor and Board of Aldermen to order (Comprehensive Plan Workshop). The Mayor presented the Notice of Special Called Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderwoman Lisa Williams, and Alderman Wesley Slay. Alderman Powell was absent.

Planning and Zoning Members Present: Kayce Saik, Phillips King, Andrew Duggar, Tim Slattery and Katrina Myricks. Commissioner Sam McGaugh and Commissioner Melanie Greer were absent.

Staff Members Present: Zoning Director / Building Official William Hall, Public Works Director Chris Buckner, Executive Assistant Bridgette Smtih, and City Planner Chris Watson.

**2. Opening Prayer and Pledge of Allegiance**

No action taken.

**3. Old Business**

A) Discussion of Status of Comprehensive Plan



*Chris Watson, City Planner, addressed the Mayor and Board of Aldermen, as well as the Planning and Zoning Commission on the status of the City of Gluckstadt’s Comprehensive Plan and answered questions. Additionally, he discussed the prospective overlay district and answered questions.*

No action taken.

**4. Public Comment**

No members of the public signed up to address the board.

No action taken.

**5. Closed Session to Determine Need for Executive Session**

No action taken.

**6. Adjourn**

There being no further business before the Board, the Mayor asked for a motion to adjourn the meeting. Alderman Slay made the motion to adjourn, and the motion was seconded by Alderman Taylor.

Voting Yea: Alderman Slay, Alderman Taylor, Alderwoman Williams, Alderwoman Bates.

Absent: Alderman Powell.

The Mayor declared the motion carried.

\_\_\_\_\_  
WALTER C. MORRISON, IV  
MAYOR

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

\_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]



## REGULAR MEETING OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, August 13, 2024, at 6:00 PM

### Minutes

This notice and agenda of the Regular Meeting of the Mayor and Board of Aldermen is hereby given by the undersigned. Said meeting shall be held on Tuesday, August 13, 2024, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

#### 1. Call Meeting to Order and Roll Call

The Mayor called the August 13, 2024, Regular Meeting of the Mayor and Board of Aldermen to order. The Mayor presented the Notice of Regular Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderman Wesley Slay, Alderman Jayce Powell and Alderwoman Lisa Williams.

Staff Members Present: City Clerk Lindsay Kellum (via telephone), Deputy Clerk Scott Maugh, Planning & Zoning Director / Building Official William Hall, Public Works Director Chris Buckner, Chief of Police Barry Hale, Grant Administrator Ruth Stogner, City Planner Chris Watson, and City Attorney Zachary Giddy.

#### 2. Opening Prayer and Pledge of Allegiance

*Pastor Brooks opened the meeting with prayer.*

*Alderman Powell led the pledge of allegiance.*

No action taken.

#### 3. Presented Items

##### A) Request for Approval to Recognize Sergeant Duane Montgomery as Officer of the Quarter

*Chief Hale recognized Sgt. Duane Montgomery as Officer of the Quarter.*

No action taken.

**B) Recognition of Gluckstadt Fire Department: Fourth Class Rating, Mississippi State Rating Bureau**

*The Mayor recognized Gluckstadt Fire Department for achieving the fourth-class rating with the Mississippi State Rating Bureau. This rating is used to develop fire insurance rates and should assist in lowering property insurance rates for all property owners within the City of Gluckstadt.*

No action taken.

**C) Freedom Call Event: Sounding the Alarm on Human Trafficking and Exploitation (August 17th, 9:00 am - 1:00 pm, Canton Christian Center)**

*The Mayor promoted the Freedom Call event, bringing awareness to human trafficking and exploitation. The Freedom Call Event will be held Saturday, August 17th, at 9:00 am, located at the Canton Christian Center. He encouraged all to attend.*

No action taken.

**D) Mrs. Jenifer Branning, Candidate for Mississippi Supreme Court**

*Ms. Branning was absent.*

No action taken.

**4. Approval of Consent Agenda Items**

**A) Request for Approval of July 3rd, July 9th, and July 30th Meeting Minutes**

**B) Approval of Claims Docket**

**C) Request for Approval for Travel and Training Reimbursement for the Mississippi Judicial College, Court Clerk Conference (Biloxi, September 18th - 20th, 2024)**

**D) Request for Approval for Travel and Training Reimbursement for the Auto Theft and Vehicle Crimes Class, Sgt. Brian McCarty, and Officer Rob Parker (Hernando, October 7th, 2024)**

**E) Request for Approval for Travel and Training Reimbursement for The Street-Smart Cop/Pro-Active Patrol Tactics, Officer Kori Stewart (Summit, November 11, 2024)**

**F) Request for Approval for Travel and Training Reimbursement for Proactive Communications for Vulnerable Populations, Officer Felix Norwood (MLEOTA, October 14th or 15th, 2024)**

**G) Request Approval for Registration, Certified Investigation Program (CIP), Officer Rob Parker (MLEOTA, Jan. 2025 - Aug. 2025)**

**H) Request to Attend CMO Elective Evening Class, Ridgeland on September 5th, 2024 (Alderman Jayce Powell, Alderwoman Lisa Williams, Alderwoman Miya Bates, City Clerk Lindsay Kellum)**

- I) **Request for Approval for Aldermen to Attend Mississippi Small Town Conference & Reimbursement of Travel Expenses, Vicksburg, October 9th - 10th, 2024 (Alderman Jayce Powell, Alderwoman Miya Bates)**
- J) **Request for Approval for City Clerk and Deputy Clerk to Attend Fall Municipal Clerk Conference (Sept. 25-27, Starkville)**
- K) **Request for Deputy City Clerk to Attend Fall Certified Municipal Clerks (CMC) Training, Ridgeland (September 4th - 6th, 2024)**
- L) **Request To Declare Property As Surplus And Authorize Disposal & Removal from Fixed Assets / Inventory List (Public Works Furniture)**

The Mayor requested a motion to approve the consent agenda. (Exhibit "B"). Alderman Taylor made a motion to approve the consent agenda, and Alderman Slay seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **5. Monthly Budget Report**

### **A) Consideration and Approval of Budget Amendment, FY24**

The Mayor requested a motion to approve the Resolution to Amend the FY24 Budget. (Exhibit "C"). A motion to approve the resolution was made by Alderman Taylor and seconded by Alderwoman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

### **B) Monthly Budget Reports**

*The Mayor presented the monthly budget report(s). (Exhibit "D").*

No action taken.

### **C) Bank Reconciliations, July**

The Mayor presented the monthly bank reconciliations. (Exhibit "E").

No action taken.

## **6. New Business**

### **A) Discussion and Consideration of Adoption: Gluckstadt Services and Facilities Plan**

*Mr. Chris Watson, Gluckstadt City Planner, addressed the board and answered questions related to the Gluckstadt Services and Facilities Plan. (Exhibit "F").*

*August 13, 2024, Regular Meeting of the Mayor and Board of Aldermen*

The Mayor requested a motion to approve the Gluckstadt Services and Facilities Plan. Alderman Powell made a motion to approve the Gluckstadt Services and Facilities Plan, and Alderman Taylor seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **B) Consideration of GHS Sponsorship Package, MAVs Booster Club**

The Mayor requested a motion to approve a \$500 annual sponsorship (Exhibit "G") for the MAVS Booster Club (website banner), finding it a beneficial investment and a favorable promotion for the City of Gluckstadt and the opportunities therein. Alderman Powell made a motion to approve the \$500 sponsorship for the MAVS Booster Club (website banner), finding it a beneficial investment, and a favorable promotion for the City of Gluckstadt and the opportunities therein, and Alderwoman Bates seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **7. Old Business**

### **A) Discussion and Consideration: Residential Rental Inspection Code**

*Alderwoman Williams addressed the board with her proposed changes to the rental inspection ordinance. Mr. Hall, Alderman Slay and Alderman Powell, addressed the board with further suggestions to amend the draft rental inspection ordinance.*

The Mayor requested a motion to approve the rental inspection ordinance with the amendments as proposed by Alderwoman Williams and Alderman Powell (legal will add multiple amendments to the final draft). (Exhibit "H"). Alderwoman Williams made a motion to approve the rental inspection ordinance as amended (legal will add all amendments), and Alderman Slay seconded the motion.

Voting Yea: Alderman Powell, Alderwoman Williams, Alderwoman Bates, Alderman Slay

Voting Nay: Alderman Taylor

The Mayor declared the motion carried, 4-1.

## **8. Grant Administrator, Grant Status Updates (Ruth Marie Stogner)**

### **A) Status Update, Grant Administration**

*The Grant Administrator addressed the board with a status update on grants.*

No action taken.

### **B) Request to Accept the FY 2025 MOHS Grant Award (\$20,000)**

*August 13, 2024, Regular Meeting of the Mayor and Board of Aldermen*

The Mayor requested a motion to accept the FY25 MOHS Grant Award (Traffic Services Grant) in the amount of \$20,000.00 and authorize the Mayor to sign all necessary documentation. (Exhibit "I"). Alderwoman Bates made a motion to accept the FY25 MOHS Grant Award (Traffic Services Grant) in the amount of \$20,000.00 and authorize the Mayor to sign all necessary documentation, and Alderman Powell seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **9. City Clerk, City Administration Matters (Lindsay Kellum)**

### **A) General Update, City Administration**

*The City Clerk updated the board on city administration matters. (Exhibit "J").*

No action taken.

### **B) Monthly Privilege License Report, (Deputy City Clerk)**

*The Deputy Clerk updated the board with the monthly privilege license report. (Exhibit "K").*

No action taken.

### **C) Consideration of Approval of Engagement Letter, FY24 Audit (Bridgers, Goodman, Baird & Clarke, PLLC)**

The Mayor requested a motion to approve the engagement letter for Bridgers, Goodman, Baird, & Clarke, PLLC to conduct the FY24 audit of city finances (tentative date of December 14, 2024). (Exhibit "L"). Alderman Powell made a motion to approve the engagement letter for Bridgers, Goodman, Baird, & Clarke, PLLC to conduct the FY24 audit of city finances, and Alderwoman Bates seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

### **D) Request to Publish Notice of Proposed Budget and Proposed Tax Levy Public Hearing, FY25**

The Mayor requested a motion to authorize the City Clerk to advertise in the local newspaper for the proposed FY25 tax levy public hearing set for September 6th, 2024 at 5:30 pm, at City Hall. Alderman Taylor made a motion to to advertise in the local newspaper for the proposed FY25 tax levy public hearing, and Alderman Powell seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **10. Building Official, Planning and Zoning Matters (William Hall)**

### **A) General Update, Planning and Zoning/Building Department**

*The Planning and Zoning / Building Dept. Director addressed the board to provide a status update.*

No action taken.

### **B) Discussion and Consideration of Approval of Application for Rezoning, K&S Warren Properties, LLC, 217 Weisenberger Road (R-1 to C-2)**

The Mayor requested a motion to approve the application for rezoning for K&S Warren Properties at 217 Weisenberger Road; the public hearing related to this issue was previously held at the monthly meeting of the Planning and Zoning Commission. (Exhibit "M"). Alderman Taylor made a motion to approve the application for rezoning for K&S Warren Properties at 217 Weisenberger Road, finding that there is a change in the character of the neighborhood and public need for the rezoning, and Alderman Slay seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **11. Public Works Department (Chris Buckner)**

### **A) Request for Approval of Paving in Red Oak Subdivision**

The Mayor requested a motion to approve the quote for paving in Red Oak Subdivision. (Exhibit "N"). Alderman Taylor made a motion to approve the quote for paving in Red Oak Subdivision, and Alderwoman Bates seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

### **B) Request for Approval for Streetlight Install on Clarkdell Rd Ext**

The Mayor requested a motion to approve the installation of streetlights on Clarkdell Rd. Extension. (Exhibit "O"). Alderman Powell made a motion to approve the installation of streetlights on Clarkdell Rd. Extension, and Alderman Taylor seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

### **C) Request for Approval, MDOT Memorandum of Agreement, Calhoun Station Parkway Overlay Project**

The Mayor requested a motion to approve the Memorandum of Agreement with the Mississippi Department of Transportation related to the Calhoun Station Parkway Overlay project. (Exhibit "P"). Alderman Slay made a motion to approve the Memorandum of Agreement with the Mississippi Department of Transportation related to the Calhoun Station Parkway Overlay project, and Alderman Powell seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

#### **D) Request for Approval, MDOT Memorandum of Agreement, Gluckstadt Rd Capacity Improvements**

The Mayor requested a motion to approve the Memorandum of Agreement with the Mississippi Department of Transportation related to the Gluckstadt Widening project. (Exhibit "Q"). Alderman Taylor made a motion to approve the Memorandum of Agreement with the Mississippi Department of Transportation related to the Gluckstadt Widening project, and Alderman Slay seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

#### **E) Consideration of Awarding Various Term Bids**

The Mayor requested a motion to award various term bids for the public works department, finding them lowest and best. (Exhibit "R"). Alderman Powell made a motion to award various term bids for the public works department, finding them lowest and best, and Alderwoman Bates seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

*The Mayor amended the regular meeting agenda to add the below item, as the request of the Public Works Director, Chris Buckner.*

#### **F) Request to Approve the Hazard Mitigation Plan (Appendix to County)**

The Mayor requested a motion to approve the Hazard Mitigation Plan (Appendix to the County). (Exhibit "S"). Alderman Slay made motion to approve the Hazard Mitigation Plan (Appendix to the County), and Alderwoman Bates seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

### **12. Police Chief, Police Department Matters (Chief Barry Hale)**

*August 13, 2024, Regular Meeting of the Mayor and Board of Aldermen*



**A) General Update, Law Enforcement Matters**

*The Chief of Police addressed the board related to law enforcement matters.*

No action taken.

**B) Request Approval to Sell Eight (8) Remington Model 870 Shotguns**

The Mayor requested approval from the Board for the Police Department to sell eight (8) Remington Model 870 Shotguns at fair market value, finding that the shotguns are no longer used or needed for municipal purposes. Alderwoman Williams made a motion to to sell eight (8) Remington Model 870 Shotguns at fair market value, finding that the shotguns are no longer used or needed for municipal purposes, and Alderwoman Bates seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**C) Requesting Approval to Purchase Desktop Computers and Accessories from Business Communications Inc. for New PD Station**

The Mayor requested a motion to approve the purchase of desktop computers and accessories for the new Police Department and Municipal Court from Business Communications Inc., finding the quote to be lowest and best. (Exhibit "T"). Alderman Taylor made motion to approve the purchase of desktop computers and accessories for the new Police Department and Municipal Court from Business Communications Inc., finding the quote to be lowest and best, and Alderman Slay seconded the motion.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**D) Police Department and Municipal Court, Delay in Construction Completion**

*Chief Hale and the Mayor notified the Board of Aldermen that according to the contractor, the construction completion date for the new Police Department and Municipal Court has been delayed until October 10, 2024.*

No action taken.

**13. Public Comment**

*Ms. McCullough signed up to address the board on behalf of the Wildwood Homeowners Association, related to Item 10-B, the rezoning of the property for K&S Warren and the potential effects on their neighborhood in close proximity. Her concerns are primarily related to traffic impact, light pollution, growing infrastructure, and the potential decrease in property values to area property owners.*

No action taken.

#### 14. Closed Session to Determine Need for Executive Session

Alderman Slay made a motion to enter into closed session to determine if there is need to enter into executive session, and the motion was seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

Alderman Slay made a motion to enter into executive session to discuss personnel matters related to the job performance of three city employees, pending litigation, and the acquisition of real estate, and the motion was seconded by Alderman Taylor.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried, and a public announcement was made that the Board voted to enter into executive session to discuss personnel matters related to the job performance of three city employees, pending litigation, and the acquisition of real estate.

In executive session, the Board took the following action:

##### **A) Request to Accept the Resignation of Toni Young and Authorize the City Clerk to Advertise for a Purchasing and Fixed Assets Clerk**

Alderman Powell made a motion to accept the resignation of Toni Young and authorize the City Clerk to advertise for the position of Purchasing and Fixed Assets Clerk, and the motion was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay. The Mayor declared the motion carried.

##### **B) Request to Accept the Resignation of Vikki Good and Authorize the Public Works Director to Advertise for an Executive Assistant**

Alderman Slay a motion to accept the resignation of Vikki Good and authorize the City Clerk to advertise for the position of Public Works Executive Assistant, and the motion was seconded by Alderman Williams.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay. The Mayor declared the motion carried.

##### **C) Request to Promote Sgt. Duane Montgomery from Interim to Full-Time Sergeant**

Alderman Powell made a motion to promote Duane Montgomery from interim to full-time Sergeant at his current rate of pay with benefits, and the motion was seconded by Alderman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay. The Mayor declared the motion carried.

Alderman Bates made a motion to leave executive session, and the motion was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay.

The Mayor declared the motion carried, and a public announcement was made that during executive session, the Board voted to accept the resignations of two city employees and authorized the City Clerk to advertise for the job opening, promote Duane Montgomery to the rank of full-time sergeant at his current rate of pay with benefits, and to leave executive session.

**15. Adjourn**

Alderman Powell made a motion to adjourn, and it was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

\_\_\_\_\_  
WALTER C. MORRISON, IV  
MAYOR

ATTEST:

DATE:

\_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]



**SPECIAL CALLED MEETING OF THE MAYOR AND BOARD OF  
ALDERMEN: BUDGET WORKSHOP #3  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

**Thursday, August 15, 2024, at 12:00 PM**

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### Minutes

This notice and agenda of the Special Called Meeting of the Mayor and Board of Aldermen: Budget Workshop #3 is hereby given by the undersigned. Said meeting shall be held on Thursday, August 15, 2024, at 12:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

**1. Call Meeting to Order and Roll Call**

The Mayor called the August 15, 2024, Special Called Meeting of the Mayor and Board of Aldermen to order (Budget Workshop #3). The Mayor presented the Notice of Special Called Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderman Jayce Powell, Alderman Wesley Slay and Alderwoman Lisa Williams.

Staff Members Present: City Clerk Lindsay Kellum (via telephone), Deputy Clerk Scott Maugh, Planning & Zoning Director / Building Official William Hall, Public Works Director Chris Buckner, Chief of Police Barry Hale, Assistant Chief of Police Jeremy Slaven, Lieutenant Stephen Tucker, Grant Administrator Ruth Stogner, Financial Planner Tim Youngblood. City Planner Chris Watson, City Attorney John Scanlon, and City Attorney Zachary Giddy were absent.

**2. Opening Prayer and Pledge of Allegiance**

No action taken.

**3. Old Business**

**A) Budget Workshop #3: Discussion of Draft FY25 Budget**

*City Financial Planner Tim Youngblood and City Clerk Lindsay Kellum presented the \*revised\* draft of the proposed FY25 municipal budget (Exhibit "B") and discussed the following items with the Mayor and Board of Aldermen:*

**Revenue Projections, FY25:**

- City Millage Rate
- Ad Valorem Tax
- Sales Tax
- Permitting and Licensing Revenue
- Traffic & Court Fines
- Franchise Fees
- Grant Funding
- State and County Allocations/Funding
- Other Sources of Revenue

**Estimated Expenditures and Departmental Budgets, FY25:**

- City Administration, Tim Youngblood & Lindsay Kellum
- Legislative Department, Tim Youngblood & Lindsay Kellum
- Mayor's Department, Tim Youngblood & Mayor Walter Morrison
- City Clerk's Department, Tim Youngblood & Lindsay Kellum
- Public Works/ Street Department, Tim Youngblood & Chris Buckner
- Planning and Zoning, Tim Youngblood & William Hall
- Building Department, Tim Youngblood & William Hall
- Police Department & Emergency Mgmt. Dept., Tim Youngblood & Chief Barry Hale
- Municipal Court Department, Tim Youngblood & Stephanie Gerlach
- Fire Department, Tim Youngblood & Lindsay Kellum

No action taken.

**4. Public Comment**

*No members of the public signed up to address the board.*

No action taken.

**5. Closed Session to Determine Need for Executive Session**

No action taken.

**6. Adjourn**

There being no further business before the Board of Aldermen, the Mayor requested a motion to adjourn. A motion was made by Alderman Powell, seconded by Alderwoman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, and Alderwoman Bates.

The Mayor declared the motion carried, and the meeting was adjourned.

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WALTER C. MORRISON, IV  
MAYOR

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

\_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]



**SPECIAL CALLED MEETING OF THE MAYOR AND BOARD OF  
ALDERMEN: (BUDGET WORKSHOP #4)  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

**Wednesday, August 28, 2024, at 12:00 PM**

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## Minutes

This notice and agenda of the Special Called Meeting of the Mayor and Board of Aldermen: (Budget Workshop #4) is hereby given by the undersigned. Said meeting shall be held on Wednesday, August 28, 2024, at 12:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

### 1. Call Meeting to Order and Roll Call

The Mayor called the August 28, 2024, Special Called Meeting of the Mayor and Board of Aldermen to order (Budget Workshop #4). The Mayor presented the Notice of Special Called Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderman Jayce Powell, Alderman Wesley Slay and Alderwoman Lisa Williams.

Staff Members Present: City Clerk Lindsay Kellum, Deputy Clerk Scott Maugh, Planning & Zoning Director / Building Official William Hall, Public Works Director Chris Buckner, Chief of Police Barry Hale, Assistant Chief of Police Jeremy Slaven, Lieutenant Stephen Tucker, Grant Administrator Ruth Stogner, Financial Planner Tim Youngblood. City Planner Chris Watson, City Attorney John Scanlon, and City Attorney Zachary Giddy were absent.

### 2. Opening Prayer and Pledge of Allegiance

No action taken.

### 3. Old Business

#### A) Budget Workshop #4: Discussion of Draft FY25 Budget

*City Financial Planner Tim Youngblood and City Clerk Lindsay Kellum presented the \*revised\* draft of the proposed FY25 municipal budget (Exhibit "B") and discussed the following items with the Mayor and Board of Aldermen:*

*August 28, 2024, Special Called Meeting of the Mayor and Board of Aldermen: (Budget Workshop #4)*

**Revenue Projections, FY25:**

- City Millage Rate
- Ad Valorem Tax
- Sales Tax
- Permitting and Licensing Revenue
- Traffic & Court Fines
- Franchise Fees
- Grant Funding
- State and County Allocations/Funding
- Other Sources of Revenue

**Estimated Expenditures and Departmental Budgets, FY25:**

- City Administration, Tim Youngblood & Lindsay Kellum
- Legislative Department, Tim Youngblood & Lindsay Kellum
- Mayor's Department, Tim Youngblood & Mayor Walter Morrison
- City Clerk's Department, Tim Youngblood & Lindsay Kellum
- Public Works/ Street Department, Tim Youngblood & Chris Buckner
- Planning and Zoning, Tim Youngblood & William Hall
- Building Department, Tim Youngblood & William Hall
- Police Department & Emergency Mgmt. Dept., Tim Youngblood & Chief Barry Hale
- Municipal Court Department, Tim Youngblood & Stephanie Gerlach
- Fire Department, Tim Youngblood & Lindsay Kellum

No action taken.

**4. Police Chief, Police Department Matters (Chief Berry Hale)****A) Request for Approval of TCS Ware Quote, Installation of Metrix Camera (Electrical Wiring & Bucket Assistance Required)**

The Mayor requested a motion to approve the TCS Ware Quote for installation of the Matrix LPR Camera. (Exhibit "C"). A motion to approve the quote was made by Alderman Slay and seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**B) Request for Approval to Purchase a 2023 Dodge Charger Pursuit Rated Black V-8RWD**

The Mayor requested a motion to approve the quote and purchase of a 2023 Dodge Charger for the Police Department, as the Chief indicated it was on state contract. (Exhibit "D"). A motion to approve the purchase of the 2023 Dodge Charger, at state contract pricing, was made by Alderwoman Williams and seconded by Alderman Slay.



Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**5. Public Comment**

*No members of the public signed up to address the board.*

No action taken.

**6. Closed Session to Determine Need for Executive Session**

No action taken.

**7. Adjourn**

There being no further business before the Board, the Mayor asked for a motion to adjourn the meeting. Alderman Slay made the motion to adjourn, and the motion was seconded by Alderwoman Bates.

Voting Yea: Alderman Slay, Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates.

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WALTER C. MORRISON, IV  
MAYOR

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

\_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]



**SPECIAL CALLED MEETING OF THE MAYOR AND BOARD OF  
ALDERMEN: FY25 TAX LEVY PUBLIC HEARING  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

**Friday, September 06, 2024 at 5:30 PM**

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**Minutes**

This notice and agenda of the Special Called Meeting of the Mayor and Board of Aldermen: FY25 Tax Levy Public Hearing is hereby given by the undersigned. Said meeting shall be held on Friday, September 06, 2024, at 5:30 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

**1. Call Meeting to Order and Roll Call**

The Mayor called the September 6, 2024, Special Called Meeting (FY25 Tax Levy Public Hearing) of the Mayor and Board of Aldermen to order. The Mayor presented the Notice of Regular Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderman Wesley Slay, Alderman Jayce Powell and Alderwoman Lisa Williams.

Staff Members Present: City Clerk Lindsay Kellum, Deputy Clerk Scott Maugh, Chief of Police Barry Hale, City Planner Tim Youngblood (via telephone), Public Works Director Chris Buckner, and City Attorney Zachary Giddy.

**2. Opening Prayer and Pledge of Allegiance**

No action taken.

**3. New Business**

**A) Public Hearing: Discussion of FY25 Tax Levy & Budget Adoption**

*Next came the matter of a public hearing regarding the proposed FYE2025 tax millage levy and proposed municipal budget.*

*Mayor Morrison confirmed with the City Clerk that proper and timely notice was advertised according to state statute. The City Clerk provided proof of publication of the notice as an exhibit to the record. (Exhibit "B").*

*The Mayor declared the public hearing open and asked if there were any citizens that signed up on the sign-in sheet to address the board on this matter, whether in support or opposition of adoption. The Mayor also noted that copies of the proposed budget were made available to the public for review at City Hall, and at Gluckstadt Fire Departments, prior to the public hearing. (Exhibit "C").*

*The City Clerk reviewed the sign-up sheet and confirmed there were no citizens who signed up to address the board concerning the FYE25 tax millage levy. (Exhibit "D"). The Mayor asked the City Clerk if there were any citizens who may have sent an email requesting to be heard on the matter. The City Clerk confirmed there were no citizens who made such a request, to her knowledge.*

*Additionally, the City Clerk noted the proposed tax levy upon which the FYE2025 budget is based is held constant, at 12 mills, with no proposed increase for FYE2025 by the Mayor and Board of Aldermen, and this information was published in the local newspaper.*

*The Mayor called for questions or comments from the public and with there being none, the public hearing was declared closed.*

## **B) Consideration of Adoption of FY25 Tax Levy Order**

*The Mayor then opened the floor for discussion by the Board of Aldermen. Alderman Slay asked if it was possible to change their minds from previous discussions at budget workshops and raise the millage from 12 mills to 16 mills (increase of 4 mills) at this time, given the public notice published stated the Board was not going to increase millage this fiscal year. The Mayor asked legal to respond and legal counsel indicated it was not possible to raise millage at this point in time, as the public notice had been published already indicating the millage would remain at 12 mills, and due to the timeframe of having to adopt the FY25 municipal budget by September 15th, 2024, there would be no time to republish according to the statutory timeframes set forth in the Mississippi Code. The Mayor requested that in the future, the board and legal need to ensure clear communication throughout the budget workshop process that there is no possibility for raising taxes before the final formal notice is published, so the board has the ability to change their minds upon formal vote.*

*The Mayor then requested a motion to adopt the order levying tax millage (remaining at 12 mills) for fiscal year ending September 30, 2025. (Exhibit "E"). A motion was made by Alderwoman Williams to adopt the resolution levying taxes at 12 mills (no change from the prior fiscal year) for FY25, and Alderman Powell seconded the motion.*

*Voting Yea: Alderwoman Williams, Alderman Powell, Alderwoman Bates, Alderman Taylor and Alderman Slay.*

*The Mayor declared the motion carried.*

*The Mayor then stated the budget adoption for FYE2025 has been set via Special Called Meeting for September 13, 2024 at 3:00 pm, for consideration and a formal vote.*

**C) Request for Approval to Purchas a 2023 Dodge Charger, Gluckstadt Police Dept.**

The Mayor requested a motion to approve the purchase of a 2023 Dodge Charger for the Police Department at a price of \$38,500.00 (noting \$6000.00 of the funds were donated from area business owners and the remainder would come out of the Police Department's FY24 budget). (Exhibit "F"). A motion was made by Alderwoman Williams to approve the purchase of a 2023 Dodge Charger for the Police Department at \$38,500.00, finding it to be the lowest and best quote and requesting the Chief of Police issue a press release thanking the business owners for their generous donations (\$6000.00) to assist with purchase of this vehicle, and the motion was seconded by Alderwoman Bates.

Voting Yea: Alderwoman Williams, Alderman Powell, Alderwoman Bates, Alderman Taylor, and Alderman Slay.

The Mayor declared the motion carried.

**4. Closed Session to Determine Need for Executive Session**

*The Board stated there was no need to hold a closed determination for executive session.*

No action taken.

**5. Adjourn**

Alderman Powell made a motion to adjourn, and it was seconded by Alderman Slay

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

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WALTER C. MORRISON, IV  
MAYOR

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

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LINDSAY D. KELLUM  
CITY CLERK

[Seal]

DECEMBER  
**11-13**  
2024



# WINTER CLERK CONFERENCE

FLOWOOD, MS

## **ELECTIONS MATTER**

*Shaping Communities, Strengthening Democracy*

December 11-13, 2024

Coordinated by

Mississippi State University Extension Center for Government and Community Development  
Mississippi Institute of Municipal Clerks



**MISSISSIPPI STATE**  
UNIVERSITY™

**EXTENSION**

Sheraton Flowood The Refuge Hotel & Conference Center  
2200 Refuge Blvd,  
Flowood, MS 39232

**2024 Mississippi Municipal Clerks & Collectors Association**

# Winter Conference

## TENTATIVE AGENDA

The Conference will be held at the Sheraton Flowood The Refuge Hotel & Conference Center in Flowood, MS. The date and location for this event are as follows:

**Date:** December 11-13, 2024

**Location:** The Refuge Hotel & Conference Center Sheraton Flowood  
2200 Refuge Blvd, Flowood, MS 39232

**Host Hotel:** Sheraton Flowood (Hotel Reservation ends November 21)  
Rate: \$174  
The Group Code & Booking link will only be released once you register for the conference. The block will sell out. Once the block sells out, other nearby hotels will be announced.



### \*\*\*TENTATIVE SCHEDULE\*\*\*

[REGISTER NOW](#)

#### Wednesday | December 11

11:00-5:00 Vendor Setup  
11:00-2:00 MMCCA Executive Committee Meeting  
2:00-3:00 Committee Meetings  
2:30 - 5:00 Registration Opens  
3:00-5:00 New Clerk Meet & Greet  
5:00 – 6:30 Welcome Reception

#### Thursday | December 12

7:00 - 8:00 Registration & Breakfast  
8:00 – 8:15 Welcome & Announcements  
8:15- 11:30 Education Sessions-Election Training  
11:30 – 1:00 Lunch  
1:00 - 5:00 Education Sessions-Election Training  
5:00 Dinner on Your Own  
7:30 Social Event TBA

#### Friday | December 13

7:00-8:00 Breakfast  
8:00 - 11:00 Education Sessions  
11:00 - 12:00 MMCCA Business Meeting

#### Registration Fee:

Conference \$250

**\*\*5 IIMC CMC or MMC Points \*\***

*Subject to IIMC Approval, Requires Full Participation*

**From:** [noreply@fs8.formsite.com](mailto:noreply@fs8.formsite.com) on behalf of [jason.camp@msstate.edu](mailto:jason.camp@msstate.edu)  
**To:** [Lindsay Kellum](#)  
**Subject:** Confirmation for 2024 Winter Clerk Conference  
**Date:** Friday, September 6, 2024 11:57:12 AM  
**Attachments:** [KellumInvoice.docx](#)

---

**Lindsay Kellum,**

The Center for Government and Community Development has received your registration for the 2024 Winter Clerk Conference. Please view your attached invoice.

**Please ensure that your registration payment is mailed to the address below at least 2 weeks prior to the event.**

Remember to book your hotel room at the Sheraton no later than November 21, 2024. You can book your hotel room [online](#) or by calling 601-936-4550 with the group code CCA. Room Rate Per Night is \$174. **The block may sell out before the deadline. Once this block sells out, a second block of rooms and a nearby hotel will be opened.**

**Checks made payable and Mail to:**

Center for Government and Community Development  
Attn: City Clerk Program  
P.O. Box 9643  
Mississippi State, MS 39762

I strongly suggest **bringing a jacket** to have during class. The room is difficult to regulate to meet everyone's comfort level.

**You understand that if you register for the conference but do not attend, the registration fee is still due and payable if not canceled before the registration deadline.**

**Jason Camp, Ph.D.**

Extension Instructor

Center for Government & Community Development

Mississippi State University Extension Service

*Extending knowledge. Changing lives.*

PO 9643 | Mississippi State, MS 39762

662-325-3141 (voice) | 662-325-8954 (fax) | [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu) | [gcd.msucare.com](http://gcd.msucare.com)

This email was sent as a result of a form being completed.

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## Extension Center for Governmental & Community Development

Mississippi State University Extension Service  
 Phone:(662)325-3141; Fax (662)325-8954  
 Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™**  
**EXTENSION**

Center for Government & Community Development

**TO:**  
 Lindsay Kellum

DESCRIPTION	AMOUNT
<b>Winter Clerk Conference \$250</b>	
TOTAL	<b>\$250.00</b>

**Include this invoice when mailing payment.**

**Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable if not canceled before the registration deadline.**

Make all checks payable to

**Extension Center for Governmental & Community Development**

City Clerk Program

Box 9643

Mississippi State, MS 39762

**If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)**



## Extension Center for Governmental & Community Development

Mississippi State University Extension Service  
 Phone:(662)325-3141; Fax (662)325-8954  
 Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™**  
**EXTENSION**

Center for Government & Community Development

TO:  
 Scott Maugh

DESCRIPTION	AMOUNT
<b>Winter Clerk Conference \$250</b>	
TOTAL	<b>\$250.00</b>

**Include this invoice when mailing payment.**

**Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable if not canceled before the registration deadline.**

Make all checks payable to

**Extension Center for Governmental & Community Development**

City Clerk Program

Box 9643

Mississippi State, MS 39762

**If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)**

**CITY OF GLUCKSTADT  
SPECIAL CIRCUMSTANCES APPROVAL FORM**

This form must be completed and submitted when requesting authority to purchase under any of the following special circumstances: Emergency Purchase, Sole-Source Purchase, and Exemption from State Contract.

---

Department Submitting Request: **Public Works**

---

Date: **8/19/2024**

Type of Special Circumstance:

Emergency Purchase                       Sole-Source Purchase  
 Exemption from State Contract

PLEASE NOTE THAT SOLE-SOURCE PURCHASES, AND EXEMPTIONS FROM STATE CONTRACT PURCHASES REQUIRE PRIOR APPROVAL. REQUESTS FOR APPROVAL OF EMERGENCY PURCHASES MAY BE MADE AFTER THE PURCHASE HAS BEEN MADE.

**JUSTIFICATION**

Please submit a justification in sufficient detail so that a person not familiar with the situation could be expected to understand the need to forego the normal purchasing procedure. The justification can be typed on the back of this form or submitted on an attached sheet. Consider the following questions when preparing the justification:

Emergency:

- Does it fall under the definition of an emergency set forth in the Purchasing Policy?
- What happened to cause the emergency?
- What would be the negative consequences of following normal purchasing procedures?

Sole Source:

- Do other companies make similar commodities that will do the same job or meet the same goals?

- How is this item unique from all others?
- What can this item do that the others can't?
- Is there a copyright or patent on the commodity? Is this item available from other distributors?

Exemption from State Contract:

- What is the state contract price for a comparable item?
- Is the quality level equal to or better than that on contract?
- What are the transportation costs?
- Have all applicable costs been included in the evaluation?

### JUSTIFICATION


Attach an additional page if needed. Remember to submit two copies of all applicable attachments.

**On August 13<sup>th</sup>, Public Works called Lewis Electric to investigate why traffic was backing up on Calhoun Station Parkway southbound at the Church Rd Intersection. We had received many complaints about the lights not cycling properly, or even at all. So much so that people were running the red light to get through the intersection. Upon their investigation Lewis Electric found that there was a broken stop bar radar unit that needed to be replaced. To get traffic flowing properly again, prevent further congestion problems or potential wrecks, and to prevent delays in emergency personnel response times, they replaced the broken radar unit immediately.**

**CERTIFICATIONS**

As per the Purchasing Policy the certification for an emergency purchase must be signed by the executive head of the requesting agency. Other certifications should be signed by the individual responsible for the justification.

- a. **EMERGENCY PURCHASE** "This is to certify that an extreme emergency existed to such an extent that delay incident to obtaining competitive quotations would have resulted in loss and/or harm to the agency."

  
 \_\_\_\_\_  
*Wally Mowser* Signed 8/19/24

- b. **SOLE-SOURCE PURCHASE** "This is to certify that this purchase covers a commodity which is available from one source only and neither comparative nor competitive quotations can be obtained."

\_\_\_\_\_  
 Signed

- c. **EXEMPTION FROM STATE CONTRACT** "This is to certify that this purchase covers a commodity which is available by a non-state vendor for an equal or lesser value."

\_\_\_\_\_  
 Signed

\_\_\_\_\_





## CITY OF GLUCKSTADT

MISSISSIPPI  
PUBLIC WORKS DEPARTMENT

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 8/26/2024

**SUBJECT:** Special Circumstance Purchase, Traffic Signal Radar Unit Replacement

---

On August 13th, Public Works called Lewis Electric to investigate why traffic was backing up on Calhoun Station Parkway southbound at the Church Rd Intersection. We had received many complaints about the lights not cycling properly, or even at all. So much so that people were running the red light to get through the intersection. Upon their investigation Lewis Electric found that there was a broken stop bar radar unit that needed to be replaced. To get traffic flowing properly again, prevent further congestion problems or potential wrecks, and to prevent delays in emergency personnel response times, they replaced the broken radar unit immediately.

If you have any questions, please contact me.

LEWIS ELECTRIC, INC.

Section 4, ID)

Fed ID #64-0823637  
601-932-0101  
P. O. Box 320337  
Flowood, MS 39232

Date	Invoice #
8/13/2024	M2024.147

Bill To
CITY OF GLUCKSTADT 343 DISTRIBUTION DRIVE GLUCKSTADT, MS 39110

P.O. No.	Terms	Project
	NET DUE 30 DAYS	

Quantity	Description	Rate	Amount
	8/9/24: CALHOUN AT CHURCH RD---SB TRAFFIC ISSUE		
2	1 MAN AND A BUCKET TRUCK	250.00	500.00
1	NEW STOP BAR RADAR UNIT	7,056.00	7,056.00
NO TAX - GOVERNMENT AGENCY		<b>Total</b>	\$7,556.00



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** William Hall, Planning and Zoning Administrator

**DATE:** 08/07/2024

**SUBJECT:** Request To Declare Property As Surplus And Authorize Disposal

---

Planning and Zoning and Public Works are asking for the Board of Aldermen to please declare that the fair market value of the the following item(s) is zero. In doing so it is declared surplus property, proper disposal and removal from inventory is authorized:

1. Brown Wood Desk – Donated Inventory – Line 130 – No Longer Needed
2. Mahogany Wood Desk 7 Drawer – Donated Inventory – Line 143 – No Longer Needed



From: [John Collins](#)  
To: [John Collins](#)  
Subject: **Fast SPONSORSHIP OPPORTUNITY: MCEDA/MCBL&F 2024 VISION CELEBRATION Awards Luncheon!**  
Date: Wednesday, September 4, 2024 at 8:20:38 AM  
Attachments: [Screenshot \(2\)](#)

Let's put this on next agenda.

Walter C. Morrison IV  
Sent from my iPhone

Begin forwarded message:

From: Jan Collins <collins.jan01@gmail.com>  
Date: September 3, 2024 at 2:46:43 PM EDT  
To: mayor@ridgelandms.org, mayor@madisoncity.com, mayortony@yahoo.com, Walter Morrison <W.Morrison@gaibnbcn.com>, khhildress@flumms.com  
Cc: jan.collins <collins.jan01@gmail.com>, jan.collins <collins.jan01@gmail.com>, Ellis Wise <assistant@madisoncountybusinessleague.com>, Lisa Walters <Lisa.Walters@ridgelandms.org>, linda@ridgelandchamber.com, Janet Danks <jdanks@madisoncity.com>, Anthony Denton <adentoncityofcanton@gmail.com>, elizabeth@ghuckstadtha.com  
Subject: **SPONSORSHIP OPPORTUNITY: MCEDA/MCBL&F 2024 VISION CELEBRATION Awards Luncheon!**

<!--[if !mso 15] CheckWebRef!-->  
Jan Collins has shared a OneDrive file with you. To view it, click the link below.  
[Sponsorship form for 2024 Vision Celebration .xlsx](#)

<!--[endif]-->  
**MADISON COUNTY BUSINESS LEAGUE & FOUNDATION**

The Madison County Business League & Foundation (MCBL&F) and the Madison County Economic Development Authority (MCEDA) are proud to host the 16<sup>th</sup> annual VISION CELEBRATION Awards Luncheon on Tuesday, October 15<sup>th</sup> at 11:00 AM at the Country Club of Jackson. We invite you to consider a **TABLE Sponsorship** of your company to not a **Pillar, Cornerstone, or Platinum** investment. The cost is \$1,000.00 and includes a table for 10 guests, your company listed on the invitation, program, posters, power points, tent cards, and other printed materials.

**For your company name to be listed as a Table Sponsor on the mailed/emailed invitation, the DEADLINE to return the attached form is Monday, September 9<sup>th</sup>!** We will present the 2024 Vision Award to AWS, Visionary Leadership Award to Mayor Gene McGee, and the Young Professional of the Year Award to Pate DeMuth. Special Guests will be 2023 Miss Mississippi Becky Williams and the Regional Misses Jean Escanville.

*Save the Date*

Madison County Business League & Foundation  
MCEDA

*2024 Vision Celebration*

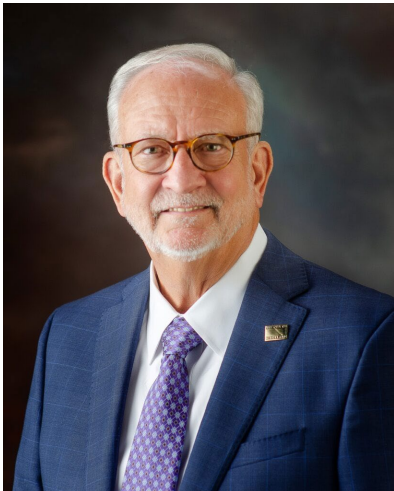
Tuesday, October 15, 2024  
11:30 am - 1:00 pm  
Country Club of Jackson  
345 St. Andrews Drive, Jackson, MS 39211

2024 Vision Award Recipient  
**aws**

2024 Visionary Leadership Award Recipient  
*Mayor Gene McGee*  
City of Ridgeland

*Invitation to follow*

# aws



**AWS**  
Vision Award

**Mayor Gene McGee**  
Visionary Leadership Award

Jan Collins, Executive Director  
Madison County Business League & Foundation  
132 Micrological Parkway  
Canton, MS 39046  
Office: 662.797.3393 Cell: 662.824.2299  
collins.jan@madisoncounty.org  
[www.madisoncountybusinessleague.com](http://www.madisoncountybusinessleague.com)

 Madison County  
Business League  
& Foundation  
One Vision, One Voice



**BRUCE  
LEACH**

Director of Sales

📞 601.906.7736

📠 601.969.4618

✉️ [bleach@wjtv.com](mailto:bleach@wjtv.com)

1820 TV ROAD, JACKSON, MS 39204 | [WWW.WJTV.COM](http://WWW.WJTV.COM)

NEXSTAR DIGITAL - A FULL SERVICE DIGITAL AGENCY - A NEXSTAR MEDIA GROUP, INC. STATION

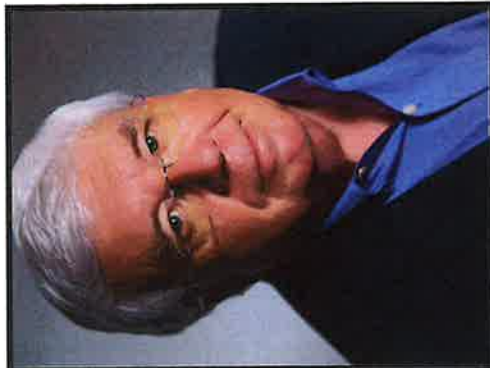


# YOUR HOMETOWN

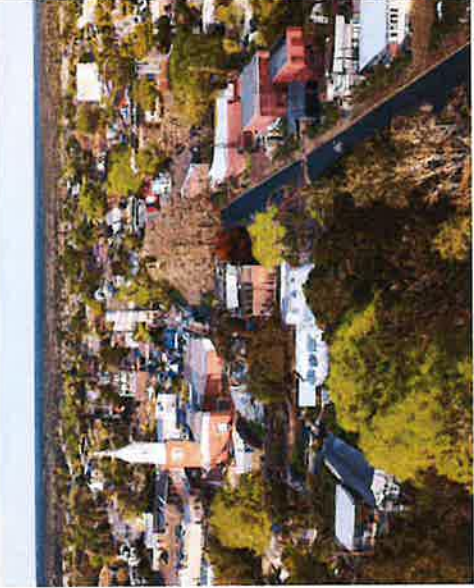
with Walt Grayson and Friends



Driven by  
**HALLMARK**  
HYUNDAI



CITY OF  
**Gluckstadt**  
— INCORPORATED 2021 —



SEVERAL BUSINESSES TO OPEN IN GLUCKSTADT  
CONSTRUCTION







- WJTV covers 24 counties in the Jackson area and WHLT covers 9 counties in the Hattiesburg area. That's half the state of Mississippi and we want to let them know about **YOUR HOMETOWN!**
- On **FRIDAY AUG 23<sup>rd</sup>** WJTV and WHLT will focus our newscasts on the Gluckstadt business area and highlight the growth that's taken place and the many things on the horizon. Our very own award-winning anchors, **Walt Grayson & Ken South**, will be live in 6am, 4pm, 5pm, and 6pm newscasts, showcasing the unique people and places that make up Your Hometown, Gluckstadt!
- With the help of your city, 12 News is proud to highlight the opportunities and activities happening in the Gluckstadt Area to our viewers...and your business can participate! We are looking for sponsors to help us bring this series to Gluckstadt and we are excited to offer your business this opportunity!





## Be a Presenting Sponsor and have your business promoted by Walt Grayson!

### What's Included?

- A custom :15 commercial produced by WJTV (already produced commercials can be used)
- 74x :15 commercials to air on WJTV and the MS CW
  - 9 commercials in WJTV Newscasts the day of Your Hometown Gluckstadt 5a (1x), 6a (1x), 12p (1x), 4p(2x), 5p (2x), 6p (2x)
  - 40 commercials to run as rotators throughout the week on the MS CW
  - 25 commercials to run as rotators throughout the week on CBS
- 5x :30 promos with your business as title sponsor that includes Walt Grayson audio+ logo recognition for your business leading up to the live broadcast
- 390,000 Display ad impressions , or 130,000 Video everywhere ads on WJTV.COM.

**Investment: \$4,500**

\*Investment spent in Q3'24

Signature \_\_\_\_\_ Date \_\_\_\_\_



# SUPPORTING SPONSORSHIP:



## Be a Supporting Sponsor and have your business associated with Walt Grayson!

### What's Included?

- A custom :15 commercial produced by WJTV (already produced commercials can be used)
- 38x :15 commercials to air on WJTV and the MS CW
  - 6 commercials in WJTV Newscasts the day of Your Hometown Gluckstadt: 5a (1x), 6a (1x), 12p (1x), 4p(1x), 5p (1x), 6p (1x).
  - 12 commercials to run as rotators throughout the week on CBS
  - 20 commercials to run as rotators throughout the week on the MS CW
- 5x :30 promos with your business as supporting sponsor that includes logo recognition for your business leading up to the live broadcast
- 210,000 Display ad impressions , or 70,000 Video everywhere ads on WJTV.COM.

**Investment: \$2,500**

\*Investment spent in Q3'24

Signature

Date

nexstar  
DIGITAL NEWS

12 WJTV WHLT

MISSISSIPPI'S  
THE CW



# SUPPORTING SPONSORSHIP:



## Be a Supporting Sponsor and have your business associated with Walt Grayson!

### What's Included?

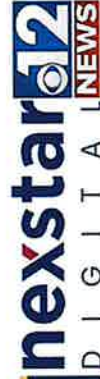
- A custom :15 commercial produced by WJTV (already produced commercials can be used)
- **18x :15 commercials** to air on WJTV and the MS CW
  - 2 commercials in WJTV Newscasts the day of Your Hometown Gluckstadt 5a (1x), 6a (1x), 12p (1x), 4p(1x), 5p (1x), 6p (1x).
  - 8 commercials to run as rotators throughout the week on CBS
  - 8 commercials to run as rotators throughout the week on the MS CW
- **5x :30 promos** with your business as supporting sponsor that includes logo recognition for your business leading up to the live broadcast
- **50,000 Display ad impressions**

**Investment: \$1,500**

\*Investment spent in Q3'24

Signature

Date





# PRODUCTION INFORMATION:



- WJTV will produce a :15 commercial for your business (already produced commercials can be used)
- Production includes 1 exterior shot and 4-5 interior shots (we can also use high-res photos)
- Script will be written by WJTV creative team based on points of interest you want to highlight (you will provide copy points via email before production shoot for script to be finalized)
- You will provide a high-res logo to be included on promos via email by Monday August 19

## Please Provide Contact Information:

Name \_\_\_\_\_

Cell \_\_\_\_\_

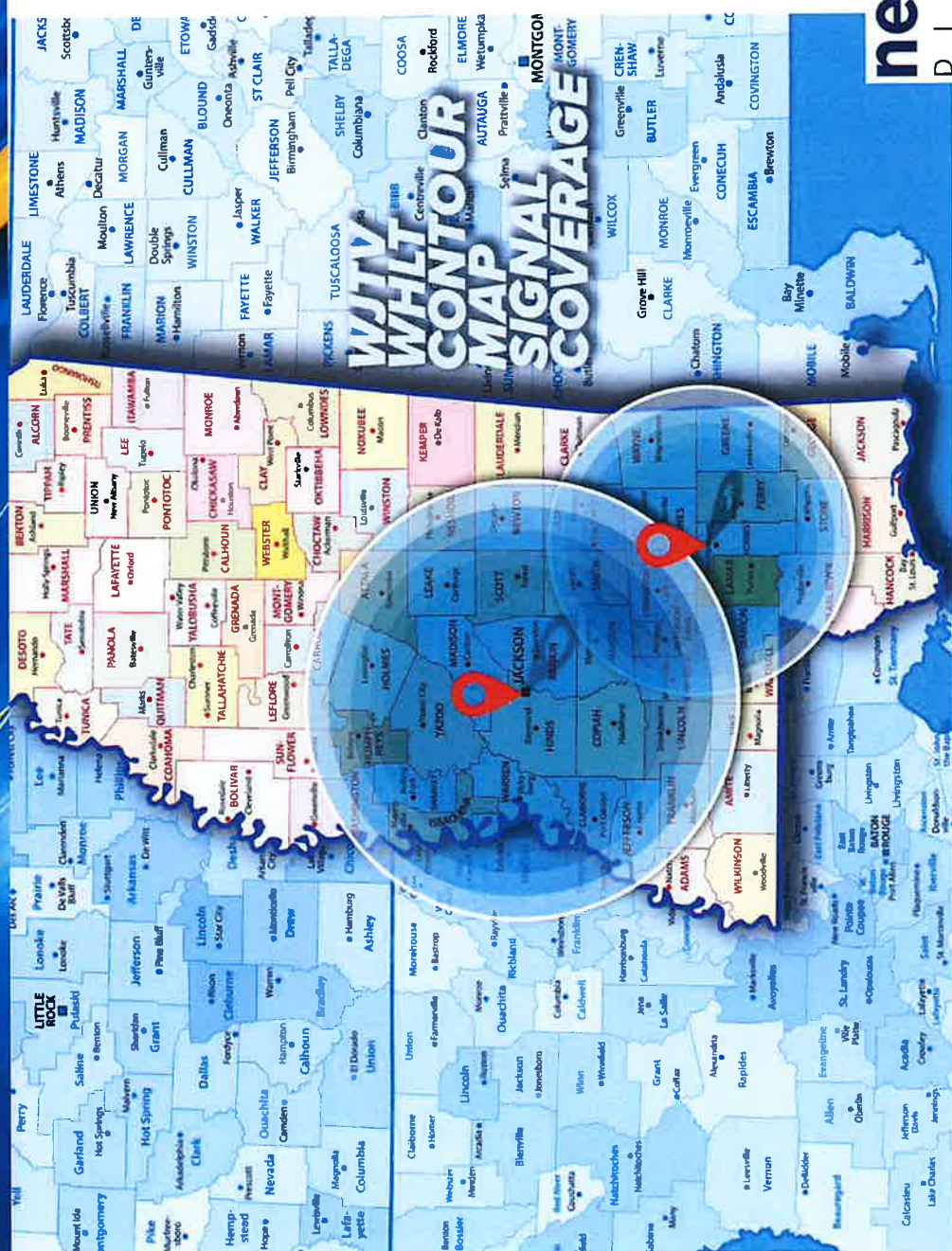
Address for shoot \_\_\_\_\_  
\_\_\_\_\_

Preferred date of shoot\* \_\_\_\_\_

**NOTICE:** Included production is a :15 basic spot including 6 total shots in one location and can be mixed with photos. What will be highlighted in the commercial, including the script, will need to be finalized prior to the date of the shoot.



# OUR COVERAGE AREAS



## Jackson, Mississippi

- Hinds
- Madison
- Rankin
- Copiah
- Simpson
- Warren
- Claiborne
- Jefferson
- Adams
- Franklin
- Lincoln
- Lawrence
- Pike
- Walthall
- Jefferson
- Davis
- Smith
- Yazoo
- Issaquena
- Holmes
- Humphries
- Sharkey
- Attala
- Leake
- Scott

## Hattiesburg, Mississippi

- Marion
- Lamar
- Forrest
- Perry
- Greene
- Wayne
- Jones
- Covington
- Jasper







# OUR TEAM



**WALT GRAYSON**  
Anchor/Reporter



**BYRON BROWN**  
Evening Anchor



**MELANIE CHRISTOPHER**  
Evening Anchor



**KEN SOUTH**  
Chief Meteorologist



**KAYLA THOMPSON**  
Anchor/Reporter



**THAO TA**  
Anchor/Reporter



**BLAKE LEVINE**  
Sports Director



**JEREMY HARRELL**  
Anchor/Reporter



**MARIE MENNEFIELD**  
Anchor/Reporter



**GRACIE MORRIS**  
Meteorologist



**ROBERTO ZAMORA**  
Meteorologist



**MEGAN HANNA**  
Meteorologist



**DAVID EDELSTEIN**  
Sports Reporter



**From:** [Walter Morrison](#)  
**To:** [Miya Bates](#); [Lisa Williams](#); [John Taylor](#); [Wesley Slay](#); [Jayce Powell](#)  
**Cc:** [Lindsay Kellum](#)  
**Date:** Tuesday, August 20, 2024 3:52:31 PM  
**Attachments:** [1405\\_001.pdf](#)

---

I met with these people regarding the news promotional program they're doing for Gluckstadt this Friday. We have coordinated with the school, local residents and businesses for what I think will favorably promote the city.

They want us to purchase a sponsorship. We really don't have time to hold a meeting today or tomorrow for that purpose. Do any of you object to doing the \$4500 promotional package and having it approved at the next meeting? I think they'll take my good faith representation until you all vote on it at our next meeting.

Walter C. Morrison IV  
Sent from my iPhone



Gluckstadt, MS

# My Budget Report

## Group Summary

Section 5, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 09/30/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 001 - GENERAL FUND</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
<b>Department: 000 - NON DEPARTMENT Total:</b>	5,947,110.00	6,650,372.60	-32,048.37	6,668,774.44	0.00	18,401.84	0.28%
<b>Revenue Total:</b>	<b>5,947,110.00</b>	<b>6,650,372.60</b>	<b>-32,048.37</b>	<b>6,668,774.44</b>	<b>0.00</b>	<b>18,401.84</b>	<b>0.28%</b>
<b>Expense</b>							
<b>Department: 100 - LEGISLATIVE - BOARD</b>							
004 - PERSONNEL SERVICES	35,670.00	35,545.00	0.00	30,088.80	0.00	5,456.20	15.35%
005 - SUPPLIES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
006 - CONTRACTUAL SERVICES	12,500.00	12,500.00	137.92	8,359.05	0.00	4,140.95	33.13%
009 - CAPITAL OUTLAY	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
<b>Department: 100 - LEGISLATIVE - BOARD Total:</b>	<b>49,170.00</b>	<b>49,045.00</b>	<b>137.92</b>	<b>38,447.85</b>	<b>0.00</b>	<b>10,597.15</b>	<b>21.61%</b>
<b>Department: 110 - JUDICIAL/MUNICIPAL COURT</b>							
004 - PERSONNEL SERVICES	136,095.46	139,380.46	0.00	125,112.31	0.00	14,268.15	10.24%
005 - SUPPLIES	11,000.00	9,500.00	0.00	2,407.73	0.00	7,092.27	74.66%
006 - CONTRACTUAL SERVICES	81,400.00	81,400.00	4,913.32	47,488.13	0.00	33,911.87	41.66%
009 - CAPITAL OUTLAY	0.00	2,000.00	0.00	1,334.54	0.00	665.46	33.27%
<b>Department: 110 - JUDICIAL/MUNICIPAL COURT Total:</b>	<b>228,495.46</b>	<b>232,280.46</b>	<b>4,913.32</b>	<b>176,342.71</b>	<b>0.00</b>	<b>55,937.75</b>	<b>24.08%</b>
<b>Department: 120 - EXECUTIVE - MAYOR</b>							
005 - SUPPLIES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
006 - CONTRACTUAL SERVICES	9,500.00	9,750.00	250.00	6,575.64	0.00	3,174.36	32.56%
<b>Department: 120 - EXECUTIVE - MAYOR Total:</b>	<b>10,000.00</b>	<b>10,250.00</b>	<b>250.00</b>	<b>6,575.64</b>	<b>0.00</b>	<b>3,674.36</b>	<b>35.85%</b>
<b>Department: 140 - ADMINISTRATION - FINANCIAL</b>							
004 - PERSONNEL SERVICES	319,615.46	318,915.46	0.00	282,652.09	0.00	36,263.37	11.37%
005 - SUPPLIES	7,500.00	7,500.00	0.00	1,224.46	0.00	6,275.54	83.67%
006 - CONTRACTUAL SERVICES	89,300.00	89,300.00	4,986.10	39,701.37	1,110.40	48,488.23	54.30%
009 - CAPITAL OUTLAY	15,500.00	15,500.00	0.00	1,125.00	0.00	14,375.00	92.74%
<b>Department: 140 - ADMINISTRATION - FINANCIAL Total:</b>	<b>431,915.46</b>	<b>431,215.46</b>	<b>4,986.10</b>	<b>324,702.92</b>	<b>1,110.40</b>	<b>105,402.14</b>	<b>24.44%</b>
<b>Department: 190 - PLANNING &amp; ZONING</b>							
004 - PERSONNEL SERVICES	107,420.07	107,105.07	0.00	83,191.94	0.00	23,913.13	22.33%
005 - SUPPLIES	8,750.00	9,250.00	19.30	806.83	0.00	8,443.17	91.28%
006 - CONTRACTUAL SERVICES	170,900.00	168,200.00	3,795.75	84,023.74	0.00	84,176.26	50.05%

My Budget Report

For Fiscal: 2023-2024 (FY24) Period Endin

Section 5, IA

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
009 - CAPITAL OUTLAY	0.00	1,000.00	0.00	945.60	0.00	54.40	5.44%
<b>Department: 190 - PLANNING &amp; ZONING Total:</b>	<b>287,070.07</b>	<b>285,555.07</b>	<b>3,815.05</b>	<b>168,968.11</b>	<b>0.00</b>	<b>116,586.96</b>	<b>40.83%</b>
<b>Department: 195 - ADMINISTRATION - GENERAL</b>							
004 - PERSONNEL SERVICES	89,396.46	127,751.46	0.00	81,682.70	0.00	46,068.76	36.06%
005 - SUPPLIES	4,500.00	4,500.00	305.34	2,499.54	0.00	2,000.46	44.45%
006 - CONTRACTUAL SERVICES	974,650.00	1,116,342.36	132,958.92	904,076.95	392.46	211,872.95	18.98%
009 - CAPITAL OUTLAY	20,250.00	20,250.00	0.00	8,106.48	125.00	12,018.52	59.35%
<b>Department: 195 - ADMINISTRATION - GENERAL Total:</b>	<b>1,088,796.46</b>	<b>1,268,843.82</b>	<b>133,264.26</b>	<b>996,365.67</b>	<b>517.46</b>	<b>271,960.69</b>	<b>21.43%</b>
<b>Department: 200 - POLICE</b>							
004 - PERSONNEL SERVICES	1,116,446.73	1,141,446.73	0.00	1,017,902.45	0.00	123,544.28	10.82%
005 - SUPPLIES	127,950.00	140,819.93	9,407.54	105,997.91	1,902.74	32,919.28	23.38%
006 - CONTRACTUAL SERVICES	181,600.00	242,287.50	2,828.57	152,825.01	1,885.00	87,577.49	36.15%
009 - CAPITAL OUTLAY	364,841.10	1,145,503.09	834.44	471,144.91	594,245.14	80,113.04	6.99%
<b>Department: 200 - POLICE Total:</b>	<b>1,790,837.83</b>	<b>2,670,057.25</b>	<b>13,070.55</b>	<b>1,747,870.28</b>	<b>598,032.88</b>	<b>324,154.09</b>	<b>12.14%</b>
<b>Department: 260 - FIRE</b>							
006 - CONTRACTUAL SERVICES	60,000.00	60,000.00	0.00	60,000.00	0.00	0.00	0.00%
<b>Department: 260 - FIRE Total:</b>	<b>60,000.00</b>	<b>60,000.00</b>	<b>0.00</b>	<b>60,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Department: 280 - BUILDING INSPECTION &amp; CODE</b>							
004 - PERSONNEL SERVICES	176,287.80	173,787.80	0.00	141,234.54	0.00	32,553.26	18.73%
005 - SUPPLIES	7,750.00	7,750.00	200.50	3,169.32	0.00	4,580.68	59.11%
006 - CONTRACTUAL SERVICES	14,070.00	15,370.00	439.11	5,398.95	0.00	9,971.05	64.87%
009 - CAPITAL OUTLAY	2,000.00	2,000.00	0.00	1,510.55	0.00	489.45	24.47%
<b>Department: 280 - BUILDING INSPECTION &amp; CODE Total:</b>	<b>200,107.80</b>	<b>198,907.80</b>	<b>639.61</b>	<b>151,313.36</b>	<b>0.00</b>	<b>47,594.44</b>	<b>23.93%</b>
<b>Department: 301 - STREETS</b>							
004 - PERSONNEL SERVICES	441,010.36	431,610.36	0.00	300,759.41	0.00	130,850.95	30.32%
005 - SUPPLIES	121,400.00	151,400.00	8,667.75	81,668.46	17,400.00	52,331.54	34.57%
006 - CONTRACTUAL SERVICES	550,681.00	485,981.00	11,932.78	136,571.35	5,412.00	343,997.65	70.78%
009 - CAPITAL OUTLAY	895,200.00	895,200.00	353,144.68	702,547.17	10,760.58	181,892.25	20.32%
<b>Department: 301 - STREETS Total:</b>	<b>2,008,291.36</b>	<b>1,964,191.36</b>	<b>373,745.21</b>	<b>1,221,546.39</b>	<b>33,572.58</b>	<b>709,072.39</b>	<b>36.10%</b>
<b>Department: 900 - TRANSFERS</b>							
009 - CAPITAL OUTLAY	617,030.71	621,438.35	0.00	621,538.35	0.00	-100.00	-0.02%
<b>Department: 900 - TRANSFERS Total:</b>	<b>617,030.71</b>	<b>621,438.35</b>	<b>0.00</b>	<b>621,538.35</b>	<b>0.00</b>	<b>-100.00</b>	<b>-0.02%</b>
<b>Expense Total:</b>	<b>6,771,715.15</b>	<b>7,791,784.57</b>	<b>534,822.02</b>	<b>5,513,671.28</b>	<b>633,233.32</b>	<b>1,644,879.97</b>	<b>21.11%</b>
<b>Fund: 001 - GENERAL FUND Surplus (Deficit):</b>	<b>-824,605.15</b>	<b>-1,141,411.97</b>	<b>-566,870.39</b>	<b>1,155,103.16</b>	<b>-633,233.32</b>	<b>1,663,281.81</b>	<b>145.72%</b>
<b>Report Surplus (Deficit):</b>	<b>-824,605.15</b>	<b>-1,141,411.97</b>	<b>-566,870.39</b>	<b>1,155,103.16</b>	<b>-633,233.32</b>	<b>1,663,281.81</b>	<b>145.72%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
001 - GENERAL FUND	-824,605.15	-1,141,411.97	-566,870.39	1,155,103.16	-633,233.32	1,663,281.81
<b>Report Surplus (Deficit):</b>	<b>-824,605.15</b>	<b>-1,141,411.97</b>	<b>-566,870.39</b>	<b>1,155,103.16</b>	<b>-633,233.32</b>	<b>1,663,281.81</b>



Gluckstadt, MS

Section 5, IA)

# My Budget Report

## Group Summary

For Fiscal: 2023-2024 (FY24) Period Ending: 09/30/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 002 - POLICE STATION CAPITAL PROJECT FUND</b>							
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
006 - CONTRACTUAL SERVICES	120,094.00	120,094.00	14,552.36	64,415.51	0.00	55,678.49	46.36%
009 - CAPITAL OUTLAY	191,690.00	191,690.00	0.00	0.00	0.00	191,690.00	100.00%
<b>Department: 200 - POLICE Total:</b>	<b>311,784.00</b>	<b>311,784.00</b>	<b>14,552.36</b>	<b>64,415.51</b>	<b>0.00</b>	<b>247,368.49</b>	<b>79.34%</b>
<b>Expense Total:</b>	<b>311,784.00</b>	<b>311,784.00</b>	<b>14,552.36</b>	<b>64,415.51</b>	<b>0.00</b>	<b>247,368.49</b>	<b>79.34%</b>
<b>Fund: 002 - POLICE STATION CAPITAL PROJECT FUND Total:</b>	<b>311,784.00</b>	<b>311,784.00</b>	<b>14,552.36</b>	<b>64,415.51</b>	<b>0.00</b>	<b>247,368.49</b>	<b>79.34%</b>
<b>Report Total:</b>	<b>311,784.00</b>	<b>311,784.00</b>	<b>14,552.36</b>	<b>64,415.51</b>	<b>0.00</b>	<b>247,368.49</b>	<b>79.34%</b>



**Fund Summary**

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
002 - POLICE STATION CAPITAL PI	311,784.00	311,784.00	14,552.36	64,415.51	0.00	247,368.49	79.34%
<b>Report Total:</b>	<b>311,784.00</b>	<b>311,784.00</b>	<b>14,552.36</b>	<b>64,415.51</b>	<b>0.00</b>	<b>247,368.49</b>	<b>79.34%</b>



Gluckstadt, MS

# My Budget Report

Section 5, IA)

## Group Summary

For Fiscal: 2023-2024 (FY24) Period Ending: 09/30/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 005 - PD CAPITAL PROJECT FUND #2 (2023)</b>							
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
009 - CAPITAL OUTLAY	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
<b>Department: 200 - POLICE Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>100.00%</b>
<b>Expense Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>100.00%</b>
<b>Fund: 005 - PD CAPITAL PROJECT FUND #2 (2023) Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>100.00%</b>
<b>Report Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>100.00%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
005 - PD CAPITAL PROJECT FUND	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
<b>Report Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>100.00%</b>



Gluckstadt, MS

# My Budget Report

## Group Summary

Section 5, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 09/30/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 006 - PD STATION CAPITAL PROJECT FUND #3, BOND ISSUE</b>							
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
009 - CAPITAL OUTLAY	5,888,014.00	5,888,014.00	552,405.61	5,286,815.58	0.00	601,198.42	10.21%
<b>Department: 200 - POLICE Total:</b>	<b>5,888,014.00</b>	<b>5,888,014.00</b>	<b>552,405.61</b>	<b>5,286,815.58</b>	<b>0.00</b>	<b>601,198.42</b>	<b>10.21%</b>
<b>Expense Total:</b>	<b>5,888,014.00</b>	<b>5,888,014.00</b>	<b>552,405.61</b>	<b>5,286,815.58</b>	<b>0.00</b>	<b>601,198.42</b>	<b>10.21%</b>
<b>Fund: 006 - PD STATION CAPITAL PROJECT FUND #3, BOND ISSUE Total:</b>	<b>5,888,014.00</b>	<b>5,888,014.00</b>	<b>552,405.61</b>	<b>5,286,815.58</b>	<b>0.00</b>	<b>601,198.42</b>	<b>10.21%</b>
<b>Report Total:</b>	<b>5,888,014.00</b>	<b>5,888,014.00</b>	<b>552,405.61</b>	<b>5,286,815.58</b>	<b>0.00</b>	<b>601,198.42</b>	<b>10.21%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
006 - PD STATION CAPITAL PROJE	5,888,014.00	5,888,014.00	552,405.61	5,286,815.58	0.00	601,198.42	10.21%
<b>Report Total:</b>	<b>5,888,014.00</b>	<b>5,888,014.00</b>	<b>552,405.61</b>	<b>5,286,815.58</b>	<b>0.00</b>	<b>601,198.42</b>	<b>10.21%</b>



Gluckstadt, MS

# My Budget Report

## Group Summary

Section 5, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 09/30/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 200 - PD BUILDING DEBT SERVICE FUND</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
	617,030.71	621,438.35	0.00	621,538.35	0.00	100.00	0.02%
<b>Department: 000 - NON DEPARTMENT Total:</b>	<b>617,030.71</b>	<b>621,438.35</b>	<b>0.00</b>	<b>621,538.35</b>	<b>0.00</b>	<b>100.00</b>	<b>0.02%</b>
<b>Revenue Total:</b>	<b>617,030.71</b>	<b>621,438.35</b>	<b>0.00</b>	<b>621,538.35</b>	<b>0.00</b>	<b>100.00</b>	<b>0.02%</b>
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
006 - CONTRACTUAL SERVICES	0.00	500.00	0.00	500.00	0.00	0.00	0.00%
008 - DEBT SERVICE	617,030.71	620,938.35	0.00	620,938.35	0.00	0.00	0.00%
<b>Department: 200 - POLICE Total:</b>	<b>617,030.71</b>	<b>621,438.35</b>	<b>0.00</b>	<b>621,438.35</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Expense Total:</b>	<b>617,030.71</b>	<b>621,438.35</b>	<b>0.00</b>	<b>621,438.35</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Fund: 200 - PD BUILDING DEBT SERVICE FUND Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00%</b>
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
200 - PD BUILDING DEBT SERVICE	0.00	0.00	0.00	100.00	0.00	100.00
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00</b>	<b>100.00</b>



Gluckstadt, MS

**Bank Statement Register**

Section 5, 1B)

**GENERAL LEDGER, PUBLIC FUNDS**

Period 8/1/2024 - 8/31/2024

Packet: BRPKT00136

Bank Statement		General Ledger	
Beginning Balance	6,446,196.02	Account Balance	6,249,140.85
Plus Debits	422,917.32	Less Outstanding Debits	4,892.70
Less Credits	577,311.98	Plus Outstanding Credits	47,553.21
Adjustments	0.00	Adjustments	0.00
Ending Balance	6,291,801.36	Adjusted Account Balance	6,291,801.36
Statement Ending Balance		6,291,801.36	
Bank Difference		0.00	
General Ledger Difference		0.00	

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

- 001-000-10100 CASH
- 001-100-44001 FEDERAL TAXES

Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
07/30/2024	<a href="#">DEP0002258</a>	Deposit	CLPKT00654 BG:CC Payment	15,852.50
07/31/2024	<a href="#">DEP0002261</a>	Deposit	CLPKT00655 BG:CC Payment	1,299.50
07/31/2024	<a href="#">DEP0002264</a>	Deposit	CLPKT00656 BG:CC Payment	50.00
08/01/2024	<a href="#">DEP0002268</a>	Deposit	DEPOSIT CASH RECEIPTS	1,663.00
08/01/2024	<a href="#">DEP0002274</a>	Deposit	CLPKT00659 BG:Cash	952.00
08/01/2024	<a href="#">DEP0002274</a>	Deposit	CLPKT00659 BG:CC Payment	273.00
08/01/2024	<a href="#">DEP0002277</a>	Deposit	CLPKT00660 BG:CC Payment	75.00
08/02/2024	<a href="#">DEP0002278</a>	Deposit	DEPOSIT CASH RECEIPTS	1,299.50
08/02/2024	<a href="#">DEP0002281</a>	Deposit	CLPKT00661 BG:CC Payment	736.50
08/02/2024	<a href="#">DEP0002281</a>	Deposit	CLPKT00661 BG:Cash	999.00
08/02/2024	<a href="#">DEP0002284</a>	Deposit	CLPKT00662 BG:CC Payment	25.00
08/05/2024	<a href="#">DEP0002288</a>	Deposit	CLPKT00664 BG:CC Payment	75.00
08/05/2024	<a href="#">DEP0002290</a>	Deposit	CLPKT00663 BG:Cash	587.50
08/06/2024	<a href="#">DEP0002291</a>	Deposit	DEPOSIT CASH RECEIPTS	9,921.75
08/06/2024	<a href="#">DEP0002325</a>	Deposit	CLPKT00677 BG:Cash	25.00
08/06/2024	<a href="#">DEP0002325</a>	Deposit	CLPKT00677 BG:CC Payment	25.00
08/06/2024	<a href="#">DEP0002325</a>	Deposit	CLPKT00677	8,492.50
08/07/2024	<a href="#">DEP0002293</a>	Deposit	DEPOSIT CASH RECEIPTS	2,596.00
08/07/2024	<a href="#">DEP0002297</a>	Deposit	CLPKT00669 BG:CC Payment	150.00
08/07/2024	<a href="#">DEP0002299</a>	Deposit	CLPKT00668 BG:CC Payment	450.00
08/07/2024	<a href="#">DEP0002299</a>	Deposit	CLPKT00668 BG:Cash	4,324.50
08/08/2024	<a href="#">DEP0002303</a>	Deposit	DEPOSIT CASH RECEIPTS	1,840.50
08/08/2024	<a href="#">DEP0002309</a>	Deposit	CLPKT00672 BG:Cash	1,309.00
08/08/2024	<a href="#">DEP0002309</a>	Deposit	CLPKT00672 BG:CC Payment	927.25



Item Date	Reference	Item Type	Description	Amount
08/08/2024	<a href="#">DEP0002312</a>	Deposit	CLPKT00673 BG:CC Payment	50.00
08/09/2024	<a href="#">DEP0002313</a>	Deposit	DEPOSIT CASH RECEIPTS	2,496.00
08/09/2024	<a href="#">DEP0002316</a>	Deposit	CLPKT00674 BG:CC Payment	520.00
08/09/2024	<a href="#">DEP0002316</a>	Deposit	CLPKT00674 BG:Cash	5,908.00
08/12/2024	<a href="#">DEP0002322</a>	Deposit	DEPOSIT CASH RECEIPTS	8,249.00
08/12/2024	<a href="#">DEP0002328</a>	Deposit	CLPKT00678 BG:CC Payment	3,496.00
08/12/2024	<a href="#">DEP0002328</a>	Deposit	CLPKT00678 BG:Cash	3,938.00
08/13/2024	<a href="#">DEP0002329</a>	Deposit	DEPOSIT CASH RECEIPTS	1,874.00
08/13/2024	<a href="#">DEP0002332</a>	Deposit	CLPKT00679 BG:Cash	1,208.50
08/13/2024	<a href="#">DEP0002332</a>	Deposit	CLPKT00679 BG:CC Payment	2,685.00
08/13/2024	<a href="#">DEP0002335</a>	Deposit	CLPKT00680 BG:CC Payment	75.00
08/14/2024	<a href="#">DEP0002336</a>	Deposit	DEPOSIT CASH RECEIPTS	1,632.00
08/14/2024	<a href="#">DEP0002339</a>	Deposit	CLPKT00681 BG:CC Payment	327.50
08/14/2024	<a href="#">DEP0002339</a>	Deposit	CLPKT00681 BG:Cash	984.50
08/14/2024	<a href="#">DEP0002342</a>	Deposit	CLPKT00682 BG:CC Payment	50.00
08/14/2024	<a href="#">DEP0002416</a>	Deposit	CLPKT00705 BG:CC Payment	232,921.76
08/15/2024	<a href="#">DEP0002343</a>	Deposit	DEPOSIT CASH RECEIPTS	1,194.50
08/15/2024	<a href="#">DEP0002346</a>	Deposit	CLPKT00687 BG:CC Payment	50.00
08/15/2024	<a href="#">DEP0002378</a>	Deposit	CLPKT00695 BG:Cash	1,450.00
08/15/2024	<a href="#">DEP0002378</a>	Deposit	CLPKT00695 BG:CC Payment	34.50
08/16/2024	<a href="#">DEP0002349</a>	Deposit	CLPKT00688 BG:Cash	1,599.00
08/16/2024	<a href="#">DEP0002349</a>	Deposit	CLPKT00688 BG:CC Payment	229.50
08/16/2024	<a href="#">DEP0002352</a>	Deposit	CLPKT00689 BG:CC Payment	25.00
08/16/2024	<a href="#">DEP0002353</a>	Deposit	DEPOSIT CASH RECEIPTS	1,864.50
08/19/2024	<a href="#">DEP0002354</a>	Deposit	DEPOSIT CASH RECEIPTS	2,033.49
08/19/2024	<a href="#">DEP0002357</a>	Deposit	CLPKT00690 BG:CC Payment	879.00
08/19/2024	<a href="#">DEP0002357</a>	Deposit	CLPKT00690 BG:WEB	50.00
08/19/2024	<a href="#">DEP0002357</a>	Deposit	CLPKT00690 BG:Cash	2,544.70
08/20/2024	<a href="#">DEP0002358</a>	Deposit	DEPOSIT CASH RECEIPTS	1,313.00
08/20/2024	<a href="#">DEP0002361</a>	Deposit	CLPKT00691 BG:Cash	313.00
08/20/2024	<a href="#">DEP0002361</a>	Deposit	CLPKT00691 BG:CC Payment	966.50
08/20/2024	<a href="#">DEP0002364</a>	Deposit	CLPKT00692 BG:CC Payment	25.00
08/20/2024	<a href="#">DEP0002425</a>	Deposit	CLPKT00708 BG:CC Payment	8,054.81
08/21/2024	<a href="#">DEP0002365</a>	Deposit	DEPOSIT CASH RECEIPTS	3,866.00
08/21/2024	<a href="#">DEP0002368</a>	Deposit	CLPKT00693 BG:CC Payment	924.00
08/21/2024	<a href="#">DEP0002368</a>	Deposit	CLPKT00693 BG:Cash	1,674.00
08/21/2024	<a href="#">DEP0002371</a>	Deposit	CLPKT00694 BG:CC Payment	50.00
08/22/2024	<a href="#">DEP0002373</a>	Deposit	DEPOSIT CASH RECEIPTS	1,948.50
08/22/2024	<a href="#">DEP0002374</a>	Deposit	DEPOSIT CASH RECEIPTS	213.00
08/23/2024	<a href="#">DEP0002375</a>	Deposit	DEPOSIT CASH RECEIPTS	3,129.50
08/23/2024	<a href="#">DEP0002432</a>	Deposit	CLPKT00710 BG:CC Payment	350.30
08/26/2024	<a href="#">DEP0002379</a>	Deposit	DEPOSIT CASH RECEIPTS	4,879.50
08/26/2024	<a href="#">DEP0002382</a>	Deposit	CLPKT00696 BG:CC Payment	4,238.00
08/26/2024	<a href="#">DEP0002382</a>	Deposit	CLPKT00696 BG:Cash	5,128.00
08/26/2024	<a href="#">DEP0002385</a>	Deposit	CLPKT00697 BG:WEB	75.00

## Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
08/26/2024	<a href="#">DEP0002385</a>	Deposit	CLPKT00697 BG:CC Payment	75.00
08/27/2024	<a href="#">DEP0002386</a>	Deposit	DEPOSIT CASH RECEIPTS	977.00
08/27/2024	<a href="#">DEP0002389</a>	Deposit	CLPKT00698 BG:Cash	3,525.00
08/27/2024	<a href="#">DEP0002389</a>	Deposit	CLPKT00698 BG:CC Payment	288.00
08/28/2024	<a href="#">DEP0002390</a>	Deposit	DEPOSIT CASH RECEIPTS	436.00
08/28/2024	<a href="#">DEP0002393</a>	Deposit	CLPKT00699 BG:Cash	294.00
08/28/2024	<a href="#">DEP0002393</a>	Deposit	CLPKT00699 BG:WEB	50.00
08/29/2024	<a href="#">DEP0002397</a>	Deposit	CLPKT00700 BG:Cash	233.50
08/30/2024	<a href="#">DEP0002401</a>	Deposit	CLPKT00701 BG:Cash	856.00
08/30/2024	<a href="#">DEP0002410</a>	Deposit	CLPKT00704 BG:CC Payment	31,086.22
08/31/2024	<a href="#">DEP0002422</a>	Deposit	CLPKT00707 BG:CC Payment	12,017.53
Total Cleared Deposits (80)				419,304.81

## Cleared Checks

Item Date	Reference	Item Type	Description	Amount
04/10/2024	<a href="#">1491</a>	Check	MCR Hospitality Fund II TRS LLC	-428.00
07/10/2024	<a href="#">1664</a>	Check	Bridge & Watson, Inc.	-38,298.03
07/10/2024	<a href="#">1686</a>	Check	Lucky Town Square, LLC	-4,800.00
07/10/2024	<a href="#">1699</a>	Check	Puckett Rents	-362.04
08/01/2024	<a href="#">1715</a>	Check	MCR Hospitality Fund II TRS LLC	-428.00
08/02/2024	<a href="#">1716</a>	Check	110 Percent, LLC	-3,000.00
08/02/2024	<a href="#">1717</a>	Check	Kelly Dabbs Commercial, LLC	-8,792.00
08/02/2024	<a href="#">1718</a>	Check	Mississippi Department of Public Safety	-1,052.19
08/02/2024	<a href="#">1719</a>	Check	State General Fund (DFA)	-44,118.94
08/05/2024	<a href="#">1720</a>	Check	Mississippi Department of Human Services	-301.86
08/05/2024	<a href="#">1721</a>	Check	Torri Parker Martin, Chapter 13 Trustee	-922.00
08/14/2024	<a href="#">1722</a>	Check	45 Precision, LLC	-189.94
08/14/2024	<a href="#">1723</a>	Check	Adcamp Inc.	-660.24
08/14/2024	<a href="#">1725</a>	Check	APAC-Mississippi, Inc.	-254.10
08/14/2024	<a href="#">1726</a>	Check	AT&T Mobility	-40.23
08/14/2024	<a href="#">1727</a>	Check	Axon Enterprise, Inc.	-3,846.24
08/14/2024	<a href="#">1728</a>	Check	Barry Hale	-140.56
08/14/2024	<a href="#">1729</a>	Check	Bear Creek Water Association	-95.31
08/14/2024	<a href="#">1730</a>	Check	Blaising Fire and Water, Inc.	-15,890.00
08/14/2024	<a href="#">1731</a>	Check	Bridge & Watson, Inc.	-26,727.61
08/14/2024	<a href="#">1732</a>	Check	Bulldog Construction Co., Inc.	-16,400.00
08/14/2024	<a href="#">1733</a>	Check	Canton Mac Haik CDJR LTD	-1,314.00
08/14/2024	<a href="#">1734</a>	Check	Canton Sanitary Landfill	-2,082.09
08/14/2024	<a href="#">1735</a>	Check	Capitol Towing Inc.	-250.00
08/14/2024	<a href="#">1736</a>	Check	Cascio Sanford Government Law Group PLL	-3,943.64
08/14/2024	<a href="#">1737</a>	Check	Classic Creations, Inc.	-236.38
08/14/2024	<a href="#">1738</a>	Check	Column Software PBC	-105.67
08/14/2024	<a href="#">1739</a>	Check	Copiah-Lincoln Community College	-650.00

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">1740</a>	Check	Crystal Clean	-3,291.00
08/14/2024	<a href="#">1742</a>	Check	Deviney Rental & Supply	-370.00
08/14/2024	<a href="#">1743</a>	Check	Entergy	-1,759.78
08/14/2024	<a href="#">1744</a>	Check	Executive Landscape	-570.00
08/14/2024	<a href="#">1745</a>	Check	FS-1 Concepts, LLC	-2,646.03
08/14/2024	<a href="#">1746</a>	Check	Fuelman	-7,352.94
08/14/2024	<a href="#">1747</a>	Check	Gulf States Distributors, Inc.	-2,112.00
08/14/2024	<a href="#">1748</a>	Check	Hartley Equipment Company, Inc.	-6.49
08/14/2024	<a href="#">1749</a>	Check	Highland Building Services, Inc.	-1,050.00
08/14/2024	<a href="#">1751</a>	Check	Jeremy Slaven	-171.57
08/14/2024	<a href="#">1752</a>	Check	Lawrence Printing Company	-788.48
08/14/2024	<a href="#">1753</a>	Check	Lindsay Kellum	-242.54
08/14/2024	<a href="#">1754</a>	Check	Madison Mac Haik Chevrolet LTD	-46,784.00
08/14/2024	<a href="#">1755</a>	Check	MAGCOR (formerly MPIC, INC)	-110.00
08/14/2024	<a href="#">1757</a>	Check	Michael K. Ozborn	-1,917.00
08/14/2024	<a href="#">1759</a>	Check	Miss. Extension Center for Government & C	-700.00
08/14/2024	<a href="#">1761</a>	Check	Mississippi Municipal League	-325.00
08/14/2024	<a href="#">1763</a>	Check	Miya Bates	-25.00
08/14/2024	<a href="#">1764</a>	Check	Murray Mud Jacking Service, Inc.	-4,700.00
08/14/2024	<a href="#">1765</a>	Check	OP Plus	-2,042.59
08/14/2024	<a href="#">1767</a>	Check	Pennington & Trim Alarm Services, Inc	-69.00
08/14/2024	<a href="#">1768</a>	Check	Phelps Dunbar LLP	-86.25
08/14/2024	<a href="#">1769</a>	Check	Printables and More (G&W Marketing)	-240.00
08/14/2024	<a href="#">1770</a>	Check	Puckett Rents	-53.76
08/14/2024	<a href="#">1771</a>	Check	Revell Hardware Co., Inc.	-255.36
08/14/2024	<a href="#">1772</a>	Check	Ricks Pro Truck	-3,450.01
08/14/2024	<a href="#">1773</a>	Check	Riverboat Company of Mississippi, LLC	-106.98
08/14/2024	<a href="#">1774</a>	Check	Robert J Young Company	-1,837.12
08/14/2024	<a href="#">1775</a>	Check	Scott Insurance Services LLC	-3,539.00
08/14/2024	<a href="#">1776</a>	Check	Scott Maugh	-285.48
08/14/2024	<a href="#">1777</a>	Check	Southern Benefits Administrators	-100.00
08/14/2024	<a href="#">1778</a>	Check	Southern Connection Police Supplies, LLC	-2,163.95
08/14/2024	<a href="#">1779</a>	Check	Stewart Dirt Worx, LLC	-6,036.89
08/14/2024	<a href="#">1780</a>	Check	Subsentio, LLC	-1,330.00
08/14/2024	<a href="#">1781</a>	Check	TchiaKousky La'Johnaton Williams	-480.00
08/14/2024	<a href="#">1782</a>	Check	The 20 LLC	-10,575.00
08/14/2024	<a href="#">1783</a>	Check	Thomson Reuters - West Payment Center	-682.50
08/14/2024	<a href="#">1784</a>	Check	Tri-Tech Forensics, Inc	-179.14
08/14/2024	<a href="#">1785</a>	Check	Uline, Inc.	-4,213.74
08/14/2024	<a href="#">1786</a>	Check	United Automation, LLC	-41,074.50
08/14/2024	<a href="#">1787</a>	Check	Urgivet, LLC	-391.30
08/14/2024	<a href="#">1788</a>	Check	Vada Inc.	-2,684.00
08/14/2024	<a href="#">1789</a>	Check	Venable Glass Services, LLC	-310.00
08/14/2024	<a href="#">1790</a>	Check	Waste Management of Mississippi, Inc.	-195.00
08/14/2024	<a href="#">1791</a>	Check	Watkins Construction & Roofing	-315.00

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">1793</a>	Check	Mississippi Municipal League	-25.00
Total Cleared Checks (74)				-332,972.47

Cleared Other

Item Date	Reference	Item Type	Description	Amount
04/10/2024	<a href="#">1491</a>	Check Reversal	MCR Hospitality Fund II TRS LLC Reversal	428.00
08/01/2024	<a href="#">DFT0001050</a>	Bank Draft	Blue Cross Blue Shield Of Mississippi	-10,419.77
08/01/2024	<a href="#">DFT0001065</a>	Bank Draft	Blue Cross Blue Shield Of Mississippi	-10,419.60
08/01/2024	<a href="#">MISC0000169</a>	Miscellaneous	JE for 7/30 \$15852.50 Inverse of Other JE	-8,139.50
08/02/2024	<a href="#">EFT0000063</a>	EFT	Payroll EFT	-45,364.97
08/05/2024	<a href="#">DFT0001023</a>	Bank Draft	Entergy	-926.57
08/05/2024	<a href="#">DFT0001024</a>	Bank Draft	CenterPoint Energy	-37.89
08/05/2024	<a href="#">DFT0001025</a>	Bank Draft	Cspire Business	-932.22
08/06/2024	<a href="#">DFT0001028</a>	Bank Draft	IRS Taxpayer Assistance Center	-7,960.32
08/06/2024	<a href="#">DFT0001029</a>	Bank Draft	IRS Taxpayer Assistance Center	-3,412.76
08/06/2024	<a href="#">DFT0001030</a>	Bank Draft	IRS Taxpayer Assistance Center	-3,682.05
08/06/2024	<a href="#">DFT0001031</a>	Bank Draft	Morgan White Administrators, Inc.	-110.13
08/06/2024	<a href="#">DFT0001032</a>	Bank Draft	Morgan White Administrators, Inc.	-457.25
08/06/2024	<a href="#">DFT0001033</a>	Bank Draft	Morgan White Administrators, Inc.	-355.69
08/06/2024	<a href="#">DFT0001034</a>	Bank Draft	Morgan White Administrators, Inc.	-101.43
08/06/2024	<a href="#">DFT0001035</a>	Bank Draft	Mississippi Department of Revenue	-1,599.00
08/06/2024	<a href="#">DFT0001036</a>	Bank Draft	Mississippi Department of Revenue	-1,668.00
08/06/2024	<a href="#">DFT0001037</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-124.52
08/06/2024	<a href="#">DFT0001038</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-17,361.07
08/06/2024	<a href="#">DFT0001039</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-17,804.21
08/06/2024	<a href="#">DFT0001040</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-97.61
08/06/2024	<a href="#">DFT0001041</a>	Bank Draft	Mississippi Deferred Compensation	-270.00
08/06/2024	<a href="#">DFT0001042</a>	Bank Draft	Mississippi Deferred Compensation	-270.00
08/06/2024	<a href="#">DFT0001044</a>	Bank Draft	American Family Life Assurance Company c	-135.71
08/06/2024	<a href="#">DFT0001045</a>	Bank Draft	American Family Life Assurance Company c	-150.66
08/06/2024	<a href="#">DFT0001046</a>	Bank Draft	American Family Life Assurance Company c	-17.88
08/06/2024	<a href="#">DFT0001047</a>	Bank Draft	American Family Life Assurance Company c	-61.86
08/06/2024	<a href="#">DFT0001048</a>	Bank Draft	American Family Life Assurance Company c	-40.80
08/06/2024	<a href="#">DFT0001049</a>	Bank Draft	American Family Life Assurance Company c	-79.16
08/06/2024	<a href="#">DFT0001051</a>	Bank Draft	American Family Life Assurance Company c	-40.80
08/06/2024	<a href="#">DFT0001052</a>	Bank Draft	American Family Life Assurance Company c	-17.88
08/06/2024	<a href="#">DFT0001053</a>	Bank Draft	American Family Life Assurance Company c	-61.86
08/06/2024	<a href="#">DFT0001054</a>	Bank Draft	American Family Life Assurance Company c	-150.66
08/06/2024	<a href="#">DFT0001055</a>	Bank Draft	American Family Life Assurance Company c	-135.71
08/06/2024	<a href="#">DFT0001056</a>	Bank Draft	American Family Life Assurance Company c	-79.16
08/06/2024	<a href="#">DFT0001057</a>	Bank Draft	IRS Taxpayer Assistance Center	-8,170.22
08/06/2024	<a href="#">DFT0001058</a>	Bank Draft	IRS Taxpayer Assistance Center	-1,910.76
08/06/2024	<a href="#">DFT0001059</a>	Bank Draft	IRS Taxpayer Assistance Center	-1,861.64

## Cleared Other

Item Date	Reference	Item Type	Description	Amount
08/07/2024	<a href="#">DFT0001026</a>	Bank Draft	Cspire Business	-1,327.82
08/09/2024	<a href="#">1232</a>	EFT	Andrew Duggar	-120.00
08/09/2024	<a href="#">1233</a>	EFT	Charles Phillips King	-120.00
08/09/2024	<a href="#">1234</a>	EFT	John G. Sims, III	-1,200.00
08/09/2024	<a href="#">1235</a>	EFT	Katrina B. Myricks	-120.00
08/09/2024	<a href="#">1236</a>	EFT	Marsha Weems Stacey	-200.00
08/09/2024	<a href="#">1237</a>	EFT	Melanie Greer	-120.00
08/09/2024	<a href="#">1238</a>	EFT	Michael Devin Whitt	-1,200.00
08/09/2024	<a href="#">1239</a>	EFT	Sam McGaugh	-120.00
08/09/2024	<a href="#">1240</a>	EFT	Timothy Slattery	-120.00
08/09/2024	<a href="#">DFT0001071</a>	Bank Draft Reversal	Telepak Networks, Inc.	0.01
08/09/2024	<a href="#">MISC0000175</a>	Miscellaneous	Court Refunded Payments Correction - Aug	-451.00
08/14/2024	<a href="#">1763</a>	Check Reversal	Miya Bates Reversal	25.00
08/16/2024	<a href="#">EFT0000064</a>	EFT	Payroll EFT	-46,059.73
08/21/2024	<a href="#">DFT0001062</a>	Bank Draft	Madison County Tax Collector	-1,043.26
08/21/2024	<a href="#">DFT0001064</a>	Bank Draft	BankPlus	-20.00
08/30/2024	<a href="#">DFT0001063</a>	Bank Draft	BankPlus	-26.90
08/30/2024	<a href="#">EFT0000065</a>	EFT	Payroll EFT	-47,661.48
08/30/2024	<a href="#">MISC0000171</a>	Miscellaneous	C. Ferretiz Interfund Transfer	1,975.50
08/30/2024	<a href="#">MISC0000173</a>	Miscellaneous	A. Powers IF Transfer to General Fund	884.00
08/30/2024	<a href="#">MISC0000179</a>	Miscellaneous	T. Greenwood IF Transfer to General Fund	300.00
Total Cleared Other (59)				-240,727.00

## Outstanding Deposits

Item Date	Reference	Item Type	Description	Amount
08/22/2024	<a href="#">DEP0002372</a>	Deposit	DEPOSIT PAYMENT POSTING	57.00
08/28/2024	<a href="#">DEP0002393</a>	Deposit	CLPKT00699 BG:CC Payment	456.00
08/29/2024	<a href="#">DEP0002394</a>	Deposit	DEPOSIT CASH RECEIPTS	1,122.00
08/29/2024	<a href="#">DEP0002397</a>	Deposit	CLPKT00700 BG:CC Payment	896.50
08/30/2024	<a href="#">DEP0002398</a>	Deposit	DEPOSIT CASH RECEIPTS	2,008.00
Total Outstanding Deposits (5)				4,539.50

## Outstanding Checks

Item Date	Reference	Item Type	Description	Amount
10/12/2022	<a href="#">56</a>	Check	Dainty Magnolia	-20.00
02/06/2023	<a href="#">269</a>	Check	Kayce Leigh Saik	-120.00
04/10/2024	<a href="#">1509</a>	Check	Warner, Inc.	-504.61
05/17/2024	<a href="#">1552</a>	Check	Mississippi Department of Revenue	-10.00
07/10/2024	<a href="#">1710</a>	Check	Thomson Reuters - West Payment Center	-682.50
08/14/2024	<a href="#">1724</a>	Check	Anthony S. McCrory	-4,500.00
08/14/2024	<a href="#">1741</a>	Check	David Potvin	-123.68
08/14/2024	<a href="#">1750</a>	Check	It's Vinyl Y'all	-50.00

Outstanding Checks

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">1756</a>	Check	Magnolia Shredding LLC	-75.00
08/14/2024	<a href="#">1758</a>	Check	Mills, Scanlon, Dye & Pittman, Attorneys at	-28,962.45
08/14/2024	<a href="#">1760</a>	Check	Mississippi Department of Public Safety (Cr	-120.00
08/14/2024	<a href="#">1762</a>	Check	Mississippi Municipal Workers Compensatio	-3,739.45
08/14/2024	<a href="#">1792</a>	Check	West Side Fund II, LLC	-636.00
Total Outstanding Checks (13)				-39,543.69

Outstanding Other

Item Date	Reference	Item Type	Description	Amount
09/30/2022	<a href="#">DFT0000023</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-7,480.76
11/23/2022	<a href="#">DFT0000083</a>	Bank Draft	Southern Benefits Administrators	-80.78
12/08/2022	<a href="#">DFT0000074</a>	Bank Draft Reversal	IRS Taxpayer Assistance Center	67.00
12/08/2022	<a href="#">DFT0000075</a>	Bank Draft Reversal	IRS Taxpayer Assistance Center	257.58
12/08/2022	<a href="#">DFT0000077</a>	Bank Draft Reversal	IRS Taxpayer Assistance Center	28.62
01/01/2023	<a href="#">DFT0000117</a>	Bank Draft	Southern Benefits Administrators	-80.78
01/02/2023	<a href="#">DFT0000127</a>	Bank Draft	Southern Benefits Administrators	-80.78
11/30/2023	<a href="#">DFT0000667</a>	Bank Draft	Southern Benefits Administrators	-161.56
01/31/2024	<a href="#">DFT0000678</a>	Bank Draft	Southern Benefits Administrators	-46.15
08/06/2024	<a href="#">DFT0001043</a>	Bank Draft	Mississippi Department of Employment Sec	-78.71
Total Outstanding Other (10)				-7,656.32

Voided Checks

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">1766</a>	Check	Void Check	0.00
Total Voided Checks (1)				0.00

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Bank Draft Reversal	4	353.20	0.01	353.21
Bank Draft	46	-8,009.52	-93,342.83	-101,352.35
Check	88	-39,543.69	-332,972.47	-372,516.16
Deposit	85	4,539.50	419,304.81	423,844.31
EFT	12	0.00	-142,406.18	-142,406.18
Check Reversal	2	0.00	453.00	453.00
Miscellaneous	5	0.00	-5,431.00	-5,431.00
		-42,660.51	-154,394.66	-197,055.17



Gluckstadt, MS

**Bank Statement Register** Section 5, 1B)

POLICE STATION FUND, CAPITAL PROJECT

Period 7/17/2024 - 8/30/2024

Packet: BRPKT00130

Bank Statement		General Ledger	
Beginning Balance	255,286.60	Account Balance	255,286.60
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	255,286.60	Adjusted Account Balance	255,286.60

Statement Ending Balance	255,286.60
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

002-000-10100 CASH





Gluckstadt, MS

**Bank Statement Register** Section 5, 1B)

E STATION FUND #2, CAPITAL PROJECTS 2023

Period 8/1/2024 - 8/30/2024

Packet: BRPKT00132

Bank Statement		General Ledger	
Beginning Balance	750,000.00	Account Balance	750,000.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	750,000.00	Adjusted Account Balance	750,000.00

Statement Ending Balance	750,000.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

005-000-10100 CASH



Gluckstadt, MS

**Bank Statement Register** Section 5, 1B)

STATION FUND #3, CAPITAL PROJECTS 2023

Period 8/1/2024 - 8/30/2024

Packet: BRPKT00131

Bank Statement

General Ledger

Beginning Balance	1,389,309.99	Account Balance	1,066,204.07
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	323,105.92	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	1,066,204.07	Adjusted Account Balance	1,066,204.07

Statement Ending Balance	1,066,204.07
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

006-000-10100 CASH

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">18</a>	Check	Benchmark Construction Corp.	-323,105.92
Total Cleared Checks (1)				-323,105.92

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

**CITY OF**  
**Gluckstadt**  
INCORPORATED 2021

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-323,105.92	-323,105.92
		0.00	-323,105.92	-323,105.92



Gluckstadt, MS

**Bank Statement Register** Section 5, 1B)

**OFFICE STATION SEARCH AND SEIZURE ACCOUNT**

Period 8/1/2024 - 8/30/2024

Packet: BRPKT00133

**Bank Statement**

**General Ledger**

Beginning Balance	2,773.00	Account Balance	3,000.00
Plus Debits	227.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	3,000.00	Adjusted Account Balance	3,000.00

Statement Ending Balance	3,000.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

100-000-10100 CASH

**Cleared Deposits**

Item Date	Reference	Item Type	Description	Amount
08/01/2024	<a href="#">DEP0002271</a>	Deposit	CLPKT00658 BG:Cash	227.00
Total Cleared Deposits (1)				227.00

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

**CITY OF**  
**Gluckstadt**  
INCORPORATED 2021

Transaction Type	Count	Outstanding	Cleared	Total
Deposit	1	0.00	227.00	227.00
		0.00	227.00	227.00



Gluckstadt, MS

**Bank Statement Register**

Section 5, 1B)

**COURT BOND ACCOUNT (HOLDING)**

Period 8/1/2024 - 8/30/2024

Packet: BRPKT00135

Bank Statement

General Ledger

Beginning Balance	19,688.50	Account Balance	19,378.50
Plus Debits	3,850.00	Less Outstanding Debits	0.00
Less Credits	3,688.50	Plus Outstanding Credits	471.50
Adjustments	0.00	Adjustments	0.00
Ending Balance	19,850.00	Adjusted Account Balance	19,850.00

Statement Ending Balance	19,850.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

003-000-10100 CASH

Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
08/06/2024	<a href="#">DEP0002325</a>	Deposit	CLPKT00677 BG:Cash	3,250.00
08/06/2024	<a href="#">DEP0002325</a>	Deposit	CLPKT00677	300.00
Total Cleared Deposits (2)				3,550.00

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">4</a>	Check	Charles Jones	-47.00
08/14/2024	<a href="#">5</a>	Check	Dale Powers	-366.00
08/14/2024	<a href="#">6</a>	Check	Gloria Robertson	-116.00
Total Cleared Checks (3)				-529.00

Cleared Other

Item Date	Reference	Item Type	Description	Amount
08/08/2024	<a href="#">MISC0000180</a>	Miscellaneous	8/8/24 Duplicate Court Bond Payment	300.00
08/30/2024	<a href="#">MISC0000170</a>	Miscellaneous	C. Ferretiz Interfund Transfer	-1,975.50
08/30/2024	<a href="#">MISC0000172</a>	Miscellaneous	A. Powers IF Transfer to General Fund	-884.00
08/30/2024	<a href="#">MISC0000178</a>	Miscellaneous	T. Greenwod IF Transfer to General Fund	-300.00
Total Cleared Other (4)				-2,859.50

Outstanding Checks

Section 5, 1B)

Item Date	Reference	Item Type	Description	Amount
08/14/2024	<a href="#">3</a>	Check	Arnoldo Ferretiz	-224.50
08/14/2024	<a href="#">7</a>	Check	Leo Martin	-247.00
Total Outstanding Checks (2)				-471.50

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

**CITY OF**  
**Gluckstadt**  
INCORPORATED 2021

Transaction Type	Count	Outstanding	Cleared	Total
Check	5	-471.50	-529.00	-1,000.50
Deposit	2	0.00	3,550.00	3,550.00
Miscellaneous	4	0.00	-2,859.50	-2,859.50
		-471.50	161.50	-310.00



**ORDINANCE NO. 2024-\_\_\_\_\_**  
**ORDINANCE SETTING STANDARDS, CONDITIONS AND REQUIREMENTS FOR THE KEEPING, MAINTAINING AND TREATMENT OF ANIMALS IN THE CITY OF GLUCKSTADT AND PRESCRIBING PENALTIES FOR THE VIOLATION THEREOF**

WHEREAS, Section 21-19-9 of the Mississippi Code of 1972, as amended, authorizes the governing authorities of a municipality to establish and enforce rules to prevent or regulate the running at large of animals of all kinds; and

WHEREAS, Section 97-41-1 through 97-41-17 prohibit cruelty to animals; and

WHEREAS, the City of Gluckstadt desires to adopt an ordinance for the purpose of controlling the running wild or nuisance behavior of animals, assuring the safety of animals and monitoring the general treatment of animals:

**SECTION 1**  
**Definitions**

As used in this ordinance, the following terms shall have the following meanings:

- 1.1 Animal. Any live, vertebrate creature, domestic or wild.
- 1.2 Animal Shelter. Any facility operated by a humane society, municipal or county agency or its authorized agent, or other private entity for the purpose of impounding or caring for Animals held under the authority of this ordinance or state law.
- 1.3 City. Any incorporated portion of the City of Gluckstadt, Madison County, Mississippi.
- 1.4 Feral Animal. A wild animal or animal that has escaped from domestication and become wild, dangerous, or untamed.
- 1.5 Kennel. Any premises wherein any person engages in the business of boarding, breeding, buying, letting for hire, training for a fee, or selling dogs, cats or other domesticated Animals.
- 1.6 Owner. Any person, partnership or corporation owning, keeping or harboring one or more Animals. An Animal shall be deemed to be harbored if it is fed or sheltered, or if an Animal is dependent upon a human being for necessary sustenance.
- 1.7 Inhumane Treatment. Any treatment to any Animal which deprives the Animal of necessary sustenance, including food, water and protection from weather, or any treatment of any Animal such as overloading, overworking, tormenting, beating, mutilating, teasing or poisoning or other abnormal treatment as may be determined by any authorized law enforcement officer.
- 1.8 Nuisance Animal. Any Animal which:
  - (a) Attacks or bites passersby or other Animals;
  - (b) Trespasses on school grounds, in parks or in a zoological park;
  - (c) Damages private or public property; or
  - (d) Barks, whines or howls in an excessive or continuous fashion.

1.9 Platted Subdivision. Any subdivision within the City limits which is platted and on record with the City.

1.10 Restraint. Any Animal secured by a leash or lead of less than six (6) feet or within the fenced real property limits of its Owner.

1.11 Running at Large. An Animal not under Restraint is running at large if it is within a Platted Subdivision.

1.12 Veterinary Hospital. Any establishment maintained and operated by a licensed veterinarian for surgery, diagnosis and treatment of diseases and injuries of Animals.

1.13 Vicious Animal. Any Animal that constitutes a physical threat to human beings or to other Animals.

**SECTION 2**  
**Rabies Vaccinations**

2.1 Any person owning, keeping, harboring, or having custody of any dog or cat six (6) months of age or older within a Platted Subdivision shall have that Animal vaccinated against rabies with the approved dosage of an approved anti-rabid virus (vaccine) properly administered by one legally authorized to do so. Every dog or cat must be so vaccinated immediately upon attaining the age of six (6) months, and every three (3) years thereafter. It shall be unlawful for any person to own or have in his or her possession any dog or cat not so vaccinated.

2.2 The Owner of any dog or cat shall see that the Animal wears a securely bradded metal tag approved by the State Board of Health with the serial number of the vaccination and the year in which the Animal was inoculated stamped thereon, and to see that the tag is worn by the Animal at all times.

2.3 The failure to comply with this Section shall constitute a misdemeanor, and the offender shall, on conviction thereof, be fined twenty-five dollars (\$25.00) for the first offense, fifty dollars (\$50.00) for the second; and one-hundred dollars (\$100.00) for the third offense. Any fine imposed pursuant to this Section 2.3 shall be paid to the Municipal Court within five (5) days of the imposition of such fine and related citation. In the event that such fine is not paid within the prescribed time, a misdemeanor warrant may be issued for contempt.

**SECTION 3**  
**Impoundment and Quarantine of Animals Having Bitten Persons**

In case of an attack by an Animal resulting in injury to any person or other Animal, such Animal shall be impounded by the City for observation for a period of ten (10) days, or the City may have such Animal impounded for ten (10) days with a private Veterinarian Hospital. All costs of impoundment, and any related Veterinarian Hospital fees, shall be paid by the Owner.

**SECTION 4**  
**General Animal Control**

4.1 It shall be unlawful for the Owner of any Animal to permit it to run at large within any Platted Subdivision within the City.

4.2 It shall be unlawful for the Owner of any Animal to permit such Animal to become or continue to be a Nuisance Animal within a Platted Subdivision within the City.

4.3 Animals within Platted Subdivisions that are Nuisance Animals or Animals Running at Large may be seized and impounded as provided in Section 5 below.

4.4 No Animal shall be allowed within the grounds of any City park unless it is kept under Restraint at all times.

4.5 In addition to or in lieu of impounding an Animal found at large or a Nuisance Animal, any law enforcement officer may issue to the known Owner of such Animal a citation or violation. Such citation shall impose upon the Owner, at the discretion of the Municipal Court Judge, a penalty as follows:

First offense	\$ 85.00
Second offense	\$100.00
Third offense	not less than \$150.00 and not more than \$500.00

All offenses will be presented by the City to the Municipal Court Judge. Any fine to be paid pursuant to this Section 4.5 shall be paid to the Municipal Court within five (5) days of the imposition of such fine and related citation. In the event that such fine is not paid within the prescribed time, a misdemeanor criminal warrant may be issued for contempt.

**SECTION 5**  
**Seizure and Impoundment Generally**

5.1 Authority to Seize; Confinement Period. An Animal within a Platted Subdivision that is a Nuisance Animal or an Animal Running at Large shall be taken by any law enforcement officer and impounded in an enclosure or Animal Shelter designated by the City for that purpose, and there confined in a humane manner. Such an Animal not suffering from an incurable injury or disease shall be kept for not less than seven (7) days.

5.2 Notice to Owner; Reclaiming of Animal. If the Owner of an impounded Animal can be identified by a tag or by other means, the Owner shall be notified, immediately upon impoundment, by telephone or by mail that such Animal has been impounded by the City at an Animal Shelter designated by the City. Within seven (7) days of being seized by the City, and provided the Animal is properly vaccinated, licensed and tagged, the rightful Owner of any Animal held under this Section 5 may reclaim the Animal upon payment of an impoundment fee to the City or to its designee sufficient to pay for all costs associated with the Animal's impoundment. If an unvaccinated Animal is reclaimed by its Owner, the Owner must make arrangements for, and pay for, the vaccination of said Animal prior to it being released from impoundment.

5.3 Disposition if Not Reclaimed by Owner; Waiver of Waiting Period. Any Animal not reclaimed by its Owner within seven (7) days shall become the property of the City and shall be placed for adoption in a suitable home for the fee of Ten Dollars (\$10.00), or humanely euthanized with an injection of sodium pentobarbital. If an unclaimed Animal is adopted, the adoptive Owner must make arrangements for, and pay for, the vaccination of said Animal prior to its release from impoundment. The seven-day waiting period is waived for a Vicious or Feral Animal, or for any Animal suffering from an incurable disease. The seven-day waiting period may also be waived for any injured or neglected Animal which, pursuant to Section 97-41-3 of the Mississippi Code, may be humanely euthanized. Animals not claimed within the prescribed seven-day waiting period may also be released to the Mississippi Animal Rescue League or to any other animal rescue league organization which the City may determine is appropriate.

5.4 Additional Proceedings Against Owner Authorized. The Owner of an impounded Animal may also be proceeded against by the City for violation of this ordinance.

**SECTION 6**  
**Animal Care**

6.1 No Owner shall fail to provide his or her Animal(s) with sufficient good and wholesome food and water, proper shelter and protection from the weather, veterinary care when needed to prevent suffering, and with humane care and treatment.

6.2 No person shall beat, cruelly treat, torment, overload, over-work, or otherwise abuse an Animal, or cause, instigate or permit any dog fight, cock fight, bull fight or other combat between Animals or between Animals and humans.

6.3 No Owner of an Animal shall abandon such Animal.

6.4 No person shall expose any known poisonous substance, whether mixed with food or not, so that the same is likely to be eaten by any Animal, provided that it shall not be unlawful for a person to expose on his or her own property common pest-control poison mixed only with vegetable substances.

6.5 No Owner shall fail to exercise proper care and control of his or her Animal(s) to prevent it/them from becoming a public nuisance.

6.6 Every Vicious Animal, as determined by the City, shall be confined by the Owner within a building or secure enclosure and shall be securely muzzled or caged whenever off the premises of its Owner.

6.7 No person shall leave an Animal unattended inside a motor vehicle when such action is harmful or potentially harmful to said Animal. In the event the Owner of said vehicle is not available and cannot be found or refuses to prevent said harm or reasonable potential harm from continuing, any law enforcement officer shall be authorized to remove said Animal from such vehicle and to utilize any reasonable method to effect said removal.

**SECTION 7**  
**Animal Waste**

The Owner of every Animal shall be responsible for the removal of any excreta deposited by his or her Animal(s) on public property or public walking areas, recreation areas or private property.

**SECTION 8**  
**Pet Shops, Aviaries and Kennels**

Any law enforcement officer of the City is hereby authorized at any reasonable time, upon receipt of any public complaints or requests to inspect any store or business located within the City which buys, sells, gives away or trades live Animals or which operates a Kennel.

**SECTION 9**  
**Enforcement**

9.1 The civil and criminal provisions of this ordinance shall be enforced by any law enforcement officer in the City. It shall be a violation of this ordinance to interfere with any officer in the performance of his duties.

9.2 The City may, at its option, contract with any municipality or other private

entity for the purpose of carrying out the City’s duties set forth hereunder related to the seizure of Animals, the impoundment of Animals, and certain other duties which the City may deem appropriate.

**SECTION 10**  
**Penalties**

Any person violating any provision of this ordinance shall be deemed guilty of a misdemeanor and shall be punished by a fine of not less than twenty-five dollars (\$25.00) nor more than five hundred dollars (\$500.00) or imprisonment in the County jail not to exceed thirty (30) days, or by both fine and imprisonment. If any violation be continuing, each day’s violation shall be deemed a separate violation.

**SECTION 11**  
**Effective Date**

This ordinance shall be effective thirty (30) days from and after its passage.

**ORDAINED, ADOPTED, AND APPROVED** by the Mayor and Board of aldermen of the City of Gluckstadt, Madison County, Mississippi at a regular meeting thereof held on \_\_\_\_\_ the \_\_\_\_\_ day of \_\_\_\_\_ 2024.

A MOTION to adopt the foregoing Ordinance was made by \_\_\_\_\_ and SECONDED by \_\_\_\_\_ and the foregoing having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- |                        |             |
|------------------------|-------------|
| Alderman Maya Warfield | voted: ____ |
| Alderman Jayce Powell  | voted: ____ |
| Alderman Wesley Slay   | voted: ____ |
| Alderman John Taylor   | voted: ____ |
| Alderman Lisa Williams | voted: ____ |

**CITY OF GLUCKSTADT, MISSISSIPPI**

BY: \_\_\_\_\_  
WALTER MORRISON, MAYOR

**ATTEST:**

\_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

**ORDINANCE NO. 2024-\_\_\_\_\_**

**AN ORDINANCE SETTING STANDARDS, CONDITIONS AND REQUIREMENTS  
FOR THE DISCHARGE OF FIREARMS IN THE CITY OF GLUCKSTADT AND  
PRESCRIBING PENALTIES OF THE VIOLATION THEREOF**

BE IT ORDAINED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY  
OF GLUCKSTADT, MISSISSIPPI AS FOLLOWS:

**SECTION ONE**

*Definitions*

For the purposes of this ordinance, the following definitions shall apply:

1. **Firearm:** Any gun, pistol, revolver, rifle, shotgun, or other weapon designed or intended to expel a projectile by the action of an explosive, expanding gas, or mechanical force.
2. **Discharge:** The act of firing or releasing a projectile from a firearm.
3. **Public Meeting:** A meeting held in a public place or a meeting of a governmental body where the public is invited to attend or observe, including but not limited to city council meetings, county board meetings, and school board meetings.
4. **Official Political Meeting:** A gathering or assembly organized for the purpose of discussing, promoting, or conducting political activities or campaigns, including but not limited to party meetings, rallies, and political conventions.
5. **Non-Firearm-Related School, College, or Professional Athletic Event:** An event related to educational or athletic activities that do not involve or require the use of firearms, including but not limited to school sports games, college events, and professional sporting events.
6. **Self-Defense:** The use of force that is reasonably necessary to protect oneself from an imminent threat of physical harm.
7. **Chief of Police:** The chief law enforcement officer of the City of Gluckstadt or their designee.
8. **Law Enforcement Officer:** An individual who is employed by a federal, state, or local law enforcement agency and who is authorized by law to enforce the laws of the state and the City of Gluckstadt.
9. **Merchantable:** Refers to a firearm that is in a condition suitable for sale or use as determined by the court.
10. **Federally Licensed Firearms Dealer:** An individual or business entity licensed by the Bureau of Alcohol, Tobacco, Firearms, and Explosives (ATF) to buy and sell firearms in accordance with federal law.

## SECTION TWO

### *Discharge of firearms within city; forfeiture of firearm.*

- a) If any person shall discharge any gun, pistol, or firearm of any description within the city limits, he shall be guilty of a misdemeanor. This section shall not apply to police officers in the discharge of their duties nor to the discharge of firearms at locations and times approved in advance by the chief of police or other legal cause such as self-defense. Any person found guilty of discharging a firearm within the City of Gluckstadt shall be punished by a fine of not more than \$1,000 or 90 days in jail or both.
- b) Any weapon used in violation of this section shall be seized by the arresting officer, may be introduced in evidence, and in the event of a conviction, shall be ordered to be forfeited, and shall be disposed of as ordered by the court having jurisdiction of such offense. In the event of dismissal or acquittal of charges, such weapon shall be returned to the accused from whom it was seized pursuant to § 97-37-3 of the Mississippi Code Annotated (1972), as amended.
  - 1) If the weapon to be forfeited is merchantable, the court may order the weapon forfeited to the seizing law enforcement agency.
  - 2) A weapon so forfeited to a law enforcement agency may be sold at an auction as provided by state law to a federally licensed firearms dealer, with the proceeds from such sale at auction to be used to buy bulletproof vests for the seizing law enforcement agency.

## SECTION THREE

### *Carrying firearms In Certain Places*

- a) It shall be unlawful for any person to carry any gun, pistol or firearm of any description at a public meeting of a county, municipality or other governmental body; or official political meeting; or a non-firearm-related school, college or professional athletic event.
- b) This section shall not apply to city police officers or other law enforcement officers in the discharge of their duties.
- c) The prohibition on discharging firearms in Section One shall not apply to the use of firearms at shooting ranges that have been approved by the City of Gluckstadt. Such shooting ranges must be designed in such a way as to assure that any projectile shall be fully contained within the premises of said range, and shall comply with all applicable city ordinances, state laws, and regulations governing their operation. The operator of any approved shooting range must maintain proper licenses, permits, and ensure that the range operates in a manner that does not pose a risk to public safety or violate any other applicable laws.

**SECTION FOUR**

*Effective Date*

This ordinance shall be effective thirty (30) days from and after its passage.

**ORDAINED, ADOPTED, AND APPROVED** by the Mayor and Board of aldermen of the City of Gluckstadt, Madison County, Mississippi at a regular meeting thereof held on \_\_\_\_\_ the \_\_\_\_\_ day of \_\_\_\_\_ 2024.

A MOTION to adopt the foregoing Ordinance was made by \_\_\_\_\_ and SECONDED by \_\_\_\_\_ and the foregoing having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- |                        |             |
|------------------------|-------------|
| Alderman Maya Warfield | voted: ____ |
| Alderman Jayce Powell  | voted: ____ |
| Alderman Wesley Slay   | voted: ____ |
| Alderman John Taylor   | voted: ____ |
| Alderman Lisa Williams | voted: ____ |

**CITY OF GLUCKSTADT, MISSISSIPPI**

BY: \_\_\_\_\_  
WALTER MORRISON, MAYOR

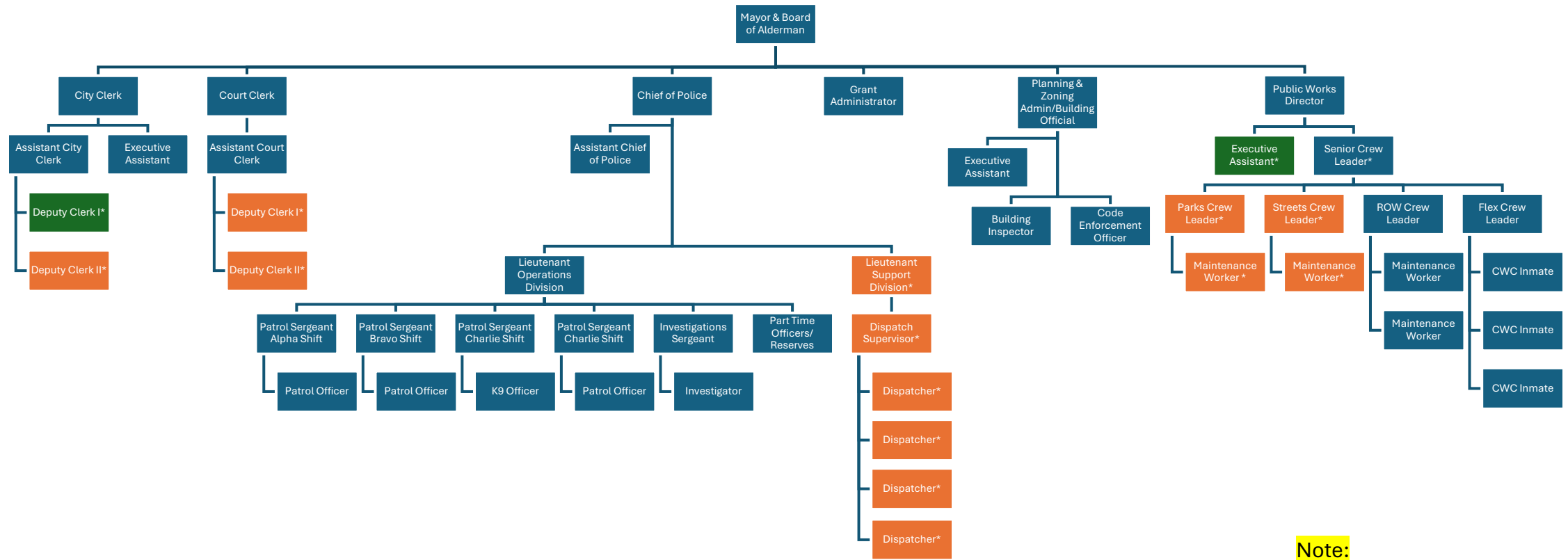
**ATTEST:**

\_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK





# City of Gluckstadt Future Organizational Chart



**Note:**

- Position vacant at this time but currently looking to fill.
- Position proposed to be filled in the future.



## CITY OF GLUCKSTADT

MISSISSIPPI  
MUNICIPAL COURT

### MEMORANDUM

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**TO:** Mayor & Board of Alderman  
**FROM:** Stephanie Burton, Court Clerk  
**DATE:** 09/04/2024  
**SUBJECT:** Request for Approval of Job Description (Deputy Court Clerk I) & Authorization to Begin Advertising

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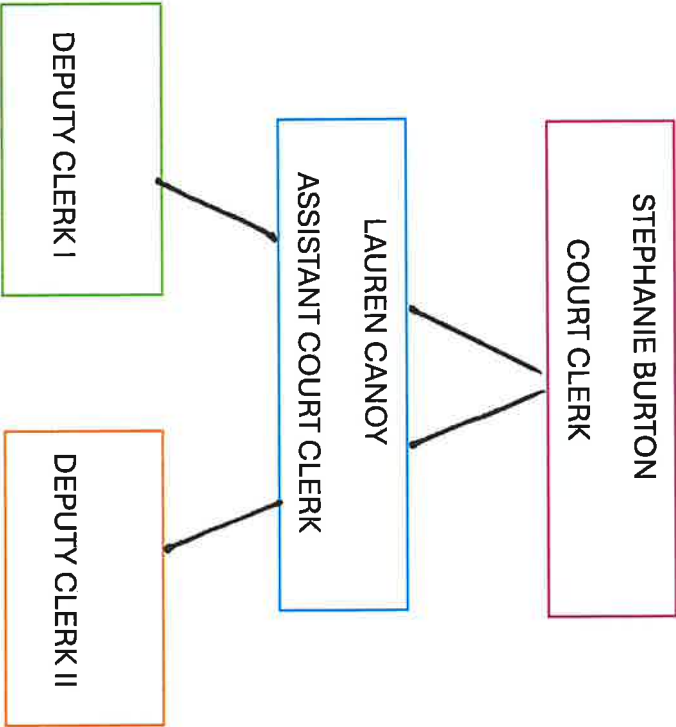
I am requesting authorization to post the attached job description and begin the hiring and interview process for Deputy Court Clerk I.

This new hire for a Deputy Court Clerk I will allow Lauren to assist with court sessions, which includes making copies of needed documents, setting court dates for defendants to sign prior to leaving, and organizing court files once the Judge and prosecutor has finished with them.

Lauren's job title will be re-titled as Assistant Court Clerk, since she will be mainly assisting me in court and with some of the duties that come along with preparing for court, she also if needed will assist with any of my supervisory roles in the unexpected absence of myself.

Sincerely,

Stephanie Burton, CC.





***GLUCKSTADT MUNICIPAL COURT***

***343 DISTRIBUTION DRIVE***

***GLUCKSTADT, MS. 39110***

***769-567-2306***

**Job Type**

Full-time  
Salary \$35,000 plus benefits

**Description**

**SUMMARY**

The individual serves as Deputy Clerk of the Municipal Court and assists in the publication, filing, indexing and safekeeping of all court judicial proceedings as well as performing general clerical and administrative work.

**ESSENTIAL FUNCTIONS**

THE ESSENTIAL FUNCTIONS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING DUTIES. ADDITIONAL ESSENTIAL FUNCTIONS MAY BE IDENTIFIED BY THE CITY AND LISTED AS SUCH IN THE INCUMBENT'S PERFORMANCE APPRAISAL ELEMENTS. VARIOUS TASKS MAY BE ASSIGNED UNDER EACH ESSENTIAL FUNCTION. THOSE THAT ARE LISTED UNDER THE EXAMPLES OF WORK ARE NOT ALL INCLUSIVE; THEY ARE EXAMPLES ONLY AND MAY BE AMENDED OR ADDED TO AS NEEDED BY THE CITY.

**EXAMPLES OF WORK**

Examples of work performance in this classification include, but are not limited to, the following tasks. These tasks may be amended, or other tasks may be assigned as necessary.

- Assist the Court Clerk who is custodian of all Municipal Court records; tickets, criminal charges and appeals plus all bonds including forfeitures and final judgments.

- Perform general clerical work involved in the preparation, preservation, and retrieval of various forms, reports and correspondence for the Municipal Court Services Department and court Judicial proceedings.
- Witness and sign affidavits as sworn by police officers and/or complainants.
- Witness and sign uniform traffic citations as sworn by police officers.
- Responsible and accountable for accurate filing, indexing, and record keeping that can be tracked and/or retrieved.
- Work with considerable independence within limits defined by State requirements.
- Serve as Municipal Court Services receptionist/cashier; answer routine questions; refer inquiries to appropriate individuals.
- Serve and assist court participants, attorneys, and law enforcement officers.
- Assist visitors at the front counter.
- Receive cash payments.
- Collect and balance all monies from fines, penalties, fees, and court costs including disbursement of all state assessments.
- Maintain security and accuracy of the cash drawer and any received monies for bonds or fines paid.
- Answer incoming phone calls and make proper connections.
- Provide requested information, forward calls, or take messages.
- Take inquiries, requests, and complaints. Provide appropriate follow-up responses.
- Maintain confidential information; prepare court reports and records.
- Sort and file material/information according to predetermined procedures.
- Convert information then post or make data entry into computer.
- Receive written bonds from bondspersons and send releases to holding facilities/jails as needed.
- Organize printouts and files.
- When requested, update bond information for inmates in holding facilities and advise those holding facilities of the new information.
- Could include various other duties as needed.

### **SUPERVISORY RESPONSIBILITIES**

No supervisory responsibilities.

INCUMBENT PERFORMS OTHER JOB-RELATED TASKS AS ASSIGNED AND REQUIRED; ANY DUTIES/TASKS INCLUDED IN THE EMPLOYEE'S PERFORMANCE EVALUATION ELEMENTS ARE ESSENTIAL TO THAT EMPLOYEE'S POSITION WITHIN THE JOB CLASSIFICATION.

### **EQUAL EMPLOYMENT OPPORTUNITY**

The City of Gluckstadt, MS is an Equal Opportunity Employer. Selection of position will be made without discrimination for any reason such as race, color, religion, sex, national origin, politics, or marital status.

### **Requirements**

### **MINIMUM QUALIFICATIONS**

If a candidate believes he/she is qualified for the job although he/she does not have the minimum qualifications set forth below, he/she may request special consideration through substitution of related education and experience, demonstrating the ability to perform the essential functions of the position.

### **EDUCATION and/or EXPERIENCE**

High school graduate or equivalent and one (1) year work experience in a demanding, responsible office environment. Prefer (1) year experience in court system.

### **KNOWLEDGE, SKILLS, ABILITIES AND OTHER CHARACTERISTICS**

#### **Knowledge**

- Knowledge of clerical methods, practices, and procedures
- Knowledge of municipal government organization and functions

#### **Skills**

- Communication and Interpersonal skills; able to establish and maintain effective, professional lines of communication
- Organization and record keeping skills
- Math skills
- Independent worker
- Problem solver

#### **Abilities**

- Able to use good judgment in making decisions in the conformance with the law, regulations and policies
- Able to maintain confidentiality and professional management of privileged information
- Able to make correct change without error and make mathematical calculations
- Able to express ideas clearly and concisely, both orally and in writing
- Able to establish and maintain effective working relations as required by work assignments
- Able to use a personal computer with Microsoft Word, Word Perfect, and Municipal Court Records software
- Able to operate standard office equipment (credit card machine, fax, copier, and postage)

### **OTHER REQUIREMENTS**

Have and maintain valid MS drivers' license

### **PHYSICAL REQUIREMENTS**

These physical requirements are not exhaustive and additional job-related physical demands may be added to these by the city of the need arises.

- Corrective devices may be used to meet these physical requirements.
- Ability to walk, stand and occasionally move objects up to 10 pounds found in office environment. Ability to see and discern forms, records, reports, maps, charts, diagrams, etc. Ability to give and receive information through speaking and listening. Regularly use fingers and hands to work telephone, office equipment, and computer keyboard.

### **WORK ENVIRONMENT**

The work environment is a typical office setting which is usually quiet.

I understand the duties listed above are intended as illustrations of the various types of work that may be performed and the omission of specific statements of duties does not exclude them from the position.

### **Applicants must submit the following forms**

#### **DCC**

Copy of Valid Driver's License, Social Security Card and/or U.S. Passport

Copy of DD Form 214 from military Service if applicable

Copy of any certifications, diplomas, or training certificates related to the position description

Interested applicants should send a cover letter, resume, and references to [info@gluckstadt.net](mailto:info@gluckstadt.net) or contact City Hall at 769-567-2306 during normal business hours for additional information.

## CITY OF GLUCKSTADT

GRANT APPLICATIONS  
CURRENTLY SUBMITTED for FY 2025

September 2024

GRANT TITLE	FUNDING SOURCE	AMOUNT & REQUEST	CURRENT STATUS
Mayoral Health Council	Mississippi State Department of Health	\$10,000.00	This grant award allows for the development of community outreach projects focusing on physical health. A 5K race and fun run is in the planning stages for March 15, 2025 to bring awareness to heart and respiratory health.
Disaster Preparedness	MEMA	\$72,000.00	This application is to request the purchase of a prime mover vehicle and response trailer and generator.
Police Traffic Services FY 2025	Mississippi Department of Public Safety – <i>Office of Highway Safety</i>	\$25,000.00	This application provides salaries and technology/equipment to be used by officers in for the increase in patrols for street/highway safety. This grant is similar to the grant awarded in 2024. Award accepted.
Bulletproof Vest Partnership	U.S. Dept. of Justice	\$5,803.00	This application provides for matching funds that will be used by the police department to purchase bulletproof vests for officers. This grant requires a 50% match using city funds. This grant application has been submitted to the United States Department of Justice.
Walking Trail(s)	MS Outdoor Stewardship Trust Fund & Mississippi Department of Wildlife, Fisheries & Parks	\$618,700.00	This application will be submitted as soon as the Notice of Funding Opportunity (NOFO) is released. This will provide funds for walking trails in the city other than those planned for the city park. The projected match is 20%.
<b>Total Current Grant Applications Amount</b>		<b>\$731,503.00</b>	





# CITY OF GLUCKSTADT

MISSISSIPPI  
EXTERNAL FUNDING

## MEMORANDUM

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**TO:** Mayor & Board of Aldermen

**FROM:** Ruth Marie Stogner, Grant Writer

**DATE:** September 10, 2024

**SUBJECT:** Grant Status

---

One (1) attachment – FY 2025 Grants



## CITY OF GLUCKSTADT

MISSISSIPPI  
EXTERNAL FUNDING

### MEMORANDUM

---

**TO:** Mayor & Board of Aldermen

**FROM:** Ruth Marie Stogner, Grant Writer

**DATE:** September 10, 2024

**SUBJECT:** Grant Status

---

One (1) attachment – FY 2025 Grants



## CITY OF GLUCKSTADT

MISSISSIPPI  
EXTERNAL FUNDING

### MEMORANDUM

---

**TO:** Mayor & Board of Aldermen

**FROM:** Ruth Marie Stogner, Grant Writer

**DATE:** September 10, 2024

**SUBJECT:** National Night Out

---

National Night Out will be October 1<sup>st</sup>. All HOA's, community groups and faith-based organizations are invited to attend. Participating departments are police, fire and public works.



## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Lindsay Kellum, City Clerk

**DATE:** Sept. 10, 2024

**SUBJECT:** General Update, City Administration

---

The City Clerk will provide a brief update on the below city administration matters.

Items:

- Finance & Budget
- FY25 Budget Planning
- Accounts Payable
- Fixed Assets
- Training & Education
- Human Resources and Payroll
- Communications and Website
- Public Records Requests
- Events & Chamber of  
Commerce
- Annexation



## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Scott Maugh, Deputy City Clerk

**DATE:** 09/03/2024

**SUBJECT:** Privilege & Transient Vendor License Report (Monthly Update)

---

From August 1, 2024, to August 31, 2024, the City of Gluckstadt processed thirty-five (35) Regular Privilege Licenses.

The amount of fees collected in 2024 to date is as follows:

Privilege: \$41,348.14

Transient: \$0

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				
					FEE	PENALTY	TAX	INTEREST	
0000117	DEPENDABLE PEST SER	11/16/2023	00095	Payment	33.00-	.00	.00	.00	33.00-
0000127	RIVER OAKS ROOFING	11/03/2023	00092	Payment	30.00-	.00	.00	.00	30.00-
0000129	PEDIATRIC HAVEN PPE	11/06/2023	00093	Payment	30.00-	.00	.00	.00	30.00-
0000131	REFLECTIONS VISION	11/06/2023	00093	Payment	65.00-	.00	.00	.00	65.00-
0000132	CARDINAL HEALTH 110	11/16/2023	00095	Payment	1,840.00-	.00	.00	.00	1,840.00-
0000134	GLUCKSTADT FITNESS	11/17/2023	00096	Payment	20.00-	.00	.00	.00	20.00-
0000143	UNIQUE RENOVATIONS,	11/30/2023	00097	Payment	30.00-	.00	.00	.00	30.00-
0000228	PTS PHYSICAL THERAP	11/06/2023	00093	Payment	30.00-	.00	.00	.00	30.00-
0000229	PUTTING ON AIRS, LL	11/16/2023	00095	Payment	25.00-	.00	.00	.00	25.00-

Section 9, (B)

===== FEE CODE TOTALS BY TYPE =====							
FEE CODE	TYPE	COUNT	===== DISTRIBUTION =====				TOTAL
			FEE	PENALTY	TAX	INTEREST	
OPTOMETRIS	Payment	1	25.00CR	0.00	0.00	0.00	25.00CR
Schdl-A	Payment	4	1,925.00CR	0.00	0.00	0.00	1,925.00CR
Schdl-B	Payment	5	153.00CR	0.00	0.00	0.00	153.00CR
GRAND TOTAL FOR PERIOD							2,103.00CR

Section 9, (B)

===== TOTALS BY TRANSACTION TYPE =====						
TYPE	COUNT	===== DISTRIBUTION =====				TOTAL
		FEE	PENALTY	TAX	INTEREST	
Payment	9	2,103.00CR	0.00	0.00	0.00	2,103.00CR
TOTAL FOR PERIOD	9					2,103.00CR

SELECTION CRITERIA

Section 9, 1B)

REPORT OPTIONS:

LICENSE RANGE: THRU ZZZZZZZZZZ  
PACKET RANGE: 0 THRU 99999  
TRANSACTION RANGE: 11/01/2023 THRU 11/30/2023  
LICENSE STATUS: All  
LICENSE CODE: All  
FEE CODE: All

PRINT OPTIONS:

PRINT TOTALS ONLY: NO

TRANSACTION TYPE OPTIONS:

ALL: YES  
PAYMENT: YES  
REFUND CHECK: YES  
REVERSE PAYMENT: YES  
REVERSE REFUND: YES

ADJUSTMENT OPTIONS:

ADJUSTMENT CODE: ALL

\*\*\* END OF REPORT \*\*\*



ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				INTEREST	
					FEE	PENALTY	TAX			
0000042	STANTEC CONSULTING	8/19/2024	00216	Payment	22.00-	.00	.00	.00	.00	00-
0000067	HARTLEY EQUIPMENT C	8/01/2024	00207	Payment	440.00-	.00	.00	.00	.00	440.00-
0000068	SYSTEMS ELECTRO COA	8/06/2024	00213	Payment	112.00-	.00	.00	.00	.00	112.00-
0000070	JACKSON TRUCK CENTE	8/09/2024	00212	Payment	1,840.00-	.00	.00	.00	.00	1,840.00-
0000074	G&W MARKETING, INC.	8/16/2024	00215	Payment	20.00-	.00	.00	.00	.00	20.00-
0000075	AIRFLO SALES	8/19/2024	00216	Payment	32.50-	.00	.00	.00	.00	32.50-
0000078	CANTON MAC HAIK CDJ	8/19/2024	00216	Payment	440.00-	.00	.00	.00	.00	440.00-
0000079	MADISON MAC HAIK CH	8/19/2024	00216	Payment	440.00-	.00	.00	.00	.00	440.00-
0000080	TAYLOR INDUSTRIES,	8/09/2024	00212	Payment	30.00-	.00	.00	.00	.00	30.00-
0000082	SPS, LLC	8/30/2024	00219	Payment	30.00-	.00	.00	.00	.00	30.00-
0000084	VICTORY MARKETING L	8/02/2024	00208	Payment	90.00-	.00	.00	.00	.00	90.00-
0000086	QUALITY GLASS, INC.	8/07/2024	00210	Payment	380.00-	.00	.00	.00	.00	380.00-
0000088	THE MADISON GLUCKST	8/02/2024	00208	Payment	69.00-	.00	.00	.00	.00	69.00-
0000093	BOH INC.	8/30/2024	00219	Payment	30.00-	.00	.00	.00	.00	30.00-
0000102	AOC MEDICAL, LLC	8/19/2024	00216	Payment	20.00-	.00	.00	.00	.00	20.00-
0000105	BAPTIST MEDICAL GRO	8/06/2024	00213	Payment	30.00-	.00	.00	.00	.00	30.00-
0000111	TINDLE FAMILY DENTI	8/30/2024	00219	Payment	30.00-	.00	.00	.00	.00	30.00-
0000120	SIGNATURE SMILES PL	8/30/2024	00219	Payment	20.00-	.00	.00	.00	.00	20.00-
0000122	STORAGEMAX GERMANTO	8/30/2024	00219	Payment	20.00-	.00	.00	.00	.00	20.00-
0000186	EL SOMBRERO	8/02/2024	00208	Payment	111.00-	.00	.00	.00	.00	111.00-
0000204	PULLEN WINDOWS & DO	8/06/2024	00213	Payment	920.00-	.00	.00	.00	.00	920.00-
0000208	SUNBELT LIGHTING	8/01/2024	00207	Payment	40.00-	.00	.00	.00	.00	40.00-
0000210	ECV TECHNOLOGY LLC	8/21/2024	00217	Payment	22.00-	.00	.00	.00	.00	22.00-
0000214	THE LOCAL MIXER	8/30/2024	00219	Payment	20.00-	.00	.00	.00	.00	20.00-

Section 9, (B)

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				
					FEE	PENALTY	TAX	INTEREST	
0000215	ESCAPE TO LAND LLC	8/21/2024	00217	Payment	30.00-	.00	.00	.00	Section 9, (B) 00-
0000216	MAGNOLIA FEDERAL CR	8/01/2024	00207	Payment	20.00-	.00	.00	.00	20.00-
0000220	TREMAC RESTEEL, INC	8/16/2024	00215	Payment	78.00-	.00	.00	.00	78.00-
0000308	GIN-N-DIESEL, LLC	8/05/2024	00209	Payment	22.80-	.00	.00	.00	22.80-
0000309	DBC CORPORATION	8/05/2024	00209	Payment	479.70-	.00	.00	.00	479.70-
0000310	ACCENTCARE	8/07/2024	00210	Payment	120.00-	.00	.00	.00	120.00-
0000311	SWEET N SAVI, LLC	8/08/2024	00211	Payment	30.00-	.00	.00	.00	30.00-
0000312	CHEROKEE BRICK AND	8/09/2024	00212	Payment	20.00-	.00	.00	.00	20.00-
0000313	BW MEDICAL, LLC	8/12/2024	00214	Payment	30.00-	.00	.00	.00	30.00-
0000314	DRAYER PHYSICAL THE	8/19/2024	00216	Payment	20.00-	.00	.00	.00	20.00-
0000315	HIBACHI SUSHI TANG,	8/30/2024	00219	Payment	45.00-	.00	.00	.00	45.00-

===== F E E C O D E T O T A L S B Y T Y P E =====

Section 9, (B)

===== DISTRIBUTION =====							
FEE CODE	TYPE	COUNT	FEE	PENALTY	TAX	INTEREST	TOTAL
AMUSEMENT	Payment	1	45.00CR	0.00	0.00	0.00	45.00CR
BEER FLAT	Payment	3	45.00CR	0.00	0.00	0.00	45.00CR
MANOVER11	Payment	2	509.70CR	0.00	0.00	0.00	509.70CR
Over11	Payment	3	267.00CR	0.00	0.00	0.00	267.00CR
POSTAGE	Payment	1	2.00CR	0.00	0.00	0.00	2.00CR
Schdl-A	Payment	9	4,607.50CR	0.00	0.00	0.00	4,607.50CR
Schdl-B	Payment	21	537.80CR	0.00	0.00	0.00	537.80CR
VENDING	Payment	3	90.00CR	0.00	0.00	0.00	90.00CR

GRAND TOTAL FOR PERIOD 6,104.00CR

===== T O T A L S B Y T R A N S A C T I O N T Y P E =====

===== DISTRIBUTION =====							
TYPE	COUNT	FEE	PENALTY	TAX	INTEREST	TOTAL	
Payment	35	6,104.00CR	0.00	0.00	0.00	6,104.00CR	
TOTAL FOR PERIOD	35					6,104.00CR	

SELECTION CRITERIA

Section 9, 1B)

REPORT OPTIONS:

LICENSE RANGE: THRU ZZZZZZZZZZ  
PACKET RANGE: 0 THRU 99999  
TRANSACTION RANGE: 8/01/2024 THRU 8/31/2024  
LICENSE STATUS: All  
LICENSE CODE: All  
FEE CODE: All

PRINT OPTIONS:

PRINT TOTALS ONLY: NO

TRANSACTION TYPE OPTIONS:

ALL: YES  
PAYMENT: YES  
REFUND CHECK: YES  
REVERSE PAYMENT: YES  
REVERSE REFUND: YES

ADJUSTMENT OPTIONS:

ADJUSTMENT CODE: ALL

\*\*\* END OF REPORT \*\*\*

**From:** [Randi Jerome](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** 2024 Tax Roll Info  
**Date:** Friday, August 23, 2024 1:42:19 PM  
**Attachments:** [Final Roll Comparison 8-19-2024 City of Gluckstadt.pdf](#)  
[City of Gluckstadt - 2024 Homestead.xlsx](#)  
[Madison County 2024 Land Roll - Parcels in City of Gluckstadt.xlsx](#)  
[City of Gluckstadt 2024 Personal Property.xls](#)

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Good Afternoon,

The Board of Supervisors finalized the 2042 roll on Monday, August 19. I have attached a chart showing the 2024 BOS approved values. I have also included additional documents including the land roll, personal property, and homestead totals for parcels within City of Gluckstadt.

Please let me know if you have any questions.

Thank you,  
Randi

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Randi Young-Jerome  
Chief of Compliance & Operations | Madison County Tax Assessor's Office  
[Randi.YoungJerome@Madison-Co.com](mailto:Randi.YoungJerome@Madison-Co.com)

Approved  
 August 19, 2024  
 2024 Tax Assessment  
 CITY OF GLUCKSTADT

					2022		2023		2024		Actual Change	%
CLASS I/II REAL PROPERTY					75,308,293		76,562,170		77,897,103		1,334,933	1.7%
CLASS III PERSONAL PROPERTY					43,320,220		48,200,730		52,326,790		4,126,060	8.6%
CLASS IV UTILITIES					423,368		1,274,730		1,867,937		593,207	46.5%
CLASS V AUTOS/MOBILE HOMES					3,771,571		11,176,817		12,262,910		1,086,093	9.7%
TOTAL					122,823,452		137,214,447		144,354,740		7,140,293	5.2%
NEW CONSTRUCTION					861,119		1,375,518		921,042			

Class I/II Real Property and Class III Personal Property include School Tax Only Parcels  
 These numbers are subject to change and represent the values as approved by the Board of Supervisors.  
 Class IV /V values are provided by Tax Collector's 12-month Settlement Statement

Please note that 2022 is the first year the City of Gluckstadt values were tracked for the purposes of the Comparison chart.  
 2022 Class IV/V values for City of Gluckstadt include reported collections starting in October 2021

<b>Tax 2024 - Parcels with Homestead Within City of Gluckstadt Municipal Boundaries</b>					
Total Assessed Value	\$ 21,870,727.00				
Regular Homestead Amount	\$ 203,376.00				
Over 65/Disabled Amount	\$ 1,419,931.00				
DAV Amount	\$ 528,876.00				
Please note that above values are from the Tax 2024 Roll as approved by Board of Supervisors on August 19, 2024 and are subject to change.					
Notes:					
"Total Assessed Value" reflects the total assessed value for parcels with homestead exemption.					
"Regular Homestead Amount" reflects the amount of Homestead Credit for Regular Homestead exemptions.					
"Over 65/Disabled Amount" and "DAV Amount" reflect the amount of assessed value that is exempt from taxes for the special homestead exemptions.					

**From:** [Randi Jerome](#)  
**To:** [Lindsay Kellum](#)  
**Cc:** [Tim Youngblood](#); [Norman Cannady](#)  
**Subject:** RE: Industrial Real and Personal Property Exemptions, FY24  
**Date:** Monday, August 12, 2024 9:28:42 AM  
**Attachments:** [Industrial Exemptions - Gluckstadt 8-9-2024.xls](#)

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Good Morning,

Here is the requested list. Please note that with the freeport warehouse tab, I simply provided a list of the entities. We will not have the full amount of the exempt assessed value until next spring when we those entities provide their report of inventory movement.

Thank you,  
Randi

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**From:** Lindsay Kellum <lindsay.kellum@gluckstadt.net>  
**Sent:** Wednesday, August 7, 2024 9:29 AM  
**To:** Randi Jerome <randi.jerome@madison-co.com>  
**Cc:** Tim Youngblood <youngbld@planning-consultants.com>  
**Subject:** Industrial Real and Personal Property Exemptions, FY24  
**Importance:** High

***CAUTION! External Content. Please use caution when opening attachments and links. Do not provide your username and password if requested.***

Randi,

Can you send me the most recent list of our real and personal property exemptions for industrial / freeport when you find a free minute?

Thank you and I hope you have a nice Wednesday.

**LINDSAY LEONARD KELLUM**  
City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
(769) 567-2306



[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)



**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	108	WEEMS/MCDONALD	\$ 25,620.00	\$ 3,840.00
2GM	243	TAYLOR INDUSTRIES	\$ 112,736.00	\$ 16,910.00
2GM	253	MAJESTIC METALS INC	\$ 735,837.00	\$ 110,370.00
2GM	294	MOORES GREENHOUSES	\$ 52,729.00	\$ 7,910.00
2GM	308	LEVI STRAUSS & CO (FULL TAX & FW)	\$ 27,629,151.00	\$ 4,144,380.00
2GM	347	CAMPER CORRAL	\$ 315,955.00	\$ 47,390.00
2GM	414	WESTLAKE COMPOUNDS, LLC	\$ 3,662,198.00	\$ 549,340.00
2GM	476	D.B.C. (FULL TAX)	\$ 5,320,025.00	\$ 877,810.00
2GM	500	MOORES CARPET CARE INC	\$ 43,366.00	\$ 6,500.00
2GM	512	MARUICHI LEAVITT PIPE AND TUBE LLC	\$ 117,927.00	\$ 17,690.00
2GM	579	VERTEX AEROSPACE LLC (FKA L-3 VERTEX)	\$ 4,288,811.00	\$ 643,330.00
2GM	657	REPUBLIC NATIONAL DISTRIBUTING COMPANY	\$ 11,742.00	\$ 1,760.00
2GM	671	AMERICAN PACKAGING INC	\$ 118,248.00	\$ 19,520.00
2GM	854	BROWN BOTTLING GROUP	\$ 145,516.00	\$ 21,830.00
2GM	947	QUADIENT,INC KNA:NEOPOST USA INC.	\$ 1,292.00	\$ 190.00
2GM	1120	MATHESON TRI-GAS INC	\$ 5,484,790.00	\$ 904,990.00
2GM	1125	BRACYS AUTO PARTS	\$ 69,761.00	\$ 10,460.00
2GM	1181	BOWIE AUDIO VISUAL ENT. INC.	\$ 18,211.00	\$ 2,740.00
2GM	1227	DIXIE EQUINE	\$ 70,065.00	\$ 10,510.00
2GM	1289	AMERICAN FIELD SERV CORPORATION	\$ 1,487,269.00	\$ 223,090.00
2GM	1290	SCHWANS CONSUMER BRANDS N.A	\$ 1,538.00	\$ 230.00
2GM	1315	DABBS KELLY COMMERCIAL, LLC	\$ 2,450.00	\$ 370.00
2GM	1356	HEDERMAN BROTHERS, LLC (FULL TAX)	\$ 1,045,077.00	\$ 208,660.00
2GM	1391	TELPRO COMMUNICATIONS CO INC	\$ 11,034.00	\$ 1,660.00
2GM	1399	BULLDOG CONSTRUCTION CO. INC.	\$ 18,725.00	\$ 2,810.00
2GM	1473	DEVINEY	\$ 3,143,714.00	\$ 471,570.00
2GM	1560	SARTAIN'S HERITAGE PROPERTIES LLC	\$ 8,570.00	\$ 1,290.00
2GM	1564	TREMAC RESTEEL INC	\$ 5,443.00	\$ 820.00
2GM	1579	SAFETY KLEEN SYSTEMS INC	\$ 4,136.00	\$ 620.00
2GM	1600	THE C STORE #635	\$ 388,055.00	\$ 58,210.00
2GM	1624	ENMARK ENERGY INC	\$ 14,487.00	\$ 2,180.00
2GM	1682	SOUTHEASTERN AUTOMATIC SPRINKLER	\$ 294,789.00	\$ 48,640.00
2GM	1692	M & M OPERATORS INC	\$ 269,921.00	\$ 272,380.00
2GM	1708	BOWERS WINDOW & DOORS	\$ 460,482.00	\$ 75,980.00
2GM	1727	WASTE MANAGEMENT INC	\$ 981.00	\$ 150.00
2GM	1790	T-MOBILE SOUTH	\$ 22,295.00	\$ 3,340.00
2GM	1791	ENERGY INSULATION,INC.	\$ 13,962.00	\$ 4,080.00
2GM	1801	SUPER 8 MOTEL	\$ 45,327.00	\$ 6,800.00
2GM	1855	EXTRA SPACE STORAGE	\$ 11,548.00	\$ 1,740.00
2GM	2021	PUCKETT,OWEN AND BLACK AGENCY	\$ 5,945.00	\$ 890.00
2GM	2129	CARDINAL HEALTH 110 INC	\$ 2,897,626.00	\$ 434,650.00
2GM	2174	DOMINOS PIZZA #5954	\$ 258,289.00	\$ 42,620.00
2GM	2183	REPEAT PERFORMANCE DANCE STUDIO	\$ 3,509.00	\$ 530.00
2GM	2288	AIRFLO SALES INC	\$ 121,808.00	\$ 18,270.00
2GM	2300	PRINTABLES & MORE	\$ 26,159.00	\$ 3,930.00
2GM	2329	LINDE LEASED EQUIPMENT	\$ 25,492.00	\$ 3,820.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	2332	LINEN SHOP THE	\$ 390,641.00	\$ 64,460.00
2GM	2357	MMC MATERIALS, INC #30105	\$ 537,231.00	\$ 80,580.00
2GM	2404	CELLULAR SOUTH (MS0225)	\$ 142,354.00	\$ 21,350.00
2GM	2541	CARR PLUMBING SUPPLY INC	\$ 291,909.00	\$ 43,790.00
2GM	2607	GAMMA	\$ 3,632.00	\$ 550.00
2GM	2608	GULF ATLANTIC FLOOR SYSTEMS	\$ 240,640.00	\$ 43,680.00
2GM	2609	BOB TOMPKINS STUDIO	\$ 14,241.00	\$ 2,140.00
2GM	2616	SCOTT C WOODS & ASSOCIATES,PA.	\$ 14,084.00	\$ 2,110.00
2GM	2718	ANGELOS	\$ 264,819.00	\$ 39,720.00
5GM	2906	WILCO INC	\$ 205,359.00	\$ 30,810.00
2GM	2953	PRIMOS HUNTING-(FULL TAX W/INV)	\$ 60,127.00	\$ 9,020.00
2GM	2978	STEVENS MECHANICAL	\$ 9,090.00	\$ 1,360.00
2GM	2992	NETLINK CABLING SYSTEMS LLC	\$ 47,217.00	\$ 7,080.00
2GM	3073	GLUCKSTADT SECURITY STORAGE	\$ 2,982.00	\$ 2,260.00
2GM	3076	MHB TOWER RENTALS OF AMERICA,LLC MS	\$ 33,516.00	\$ 5,030.00
2GM	3199	FLOOR GALLERY OF RIDGELAND,LLC	\$ 38,905.00	\$ 5,840.00
2GM	3378	BLUFF CITY ELECTRONICS	\$ 122,756.00	\$ 22,280.00
2GM	3415	KASAI NORTH AMERICA INC (EX 2004-2013)	\$ 6,671,371.00	\$ 1,000,710.00
2GM	3441	BANKPLUS	\$ 195,816.00	\$ 29,370.00
2GM	3463	TOWER AUTOMOTIVE (EXEMPT 2004 - 2013)	\$ 10,617,553.00	\$ 1,592,640.00
2GM	3530	PRO-TEC COATING COMPANY	\$ 538,670.00	\$ 80,800.00
2GM	3566	SYSTEMS ELECTRO COATING - FULL TAX	\$ 10,303,500.00	\$ 1,545,530.00
2GM	3660	STORAGE DEPOT	\$ 10,074.00	\$ 1,510.00
2GM	3705	STORAGE MAX GLUCKSTADT	\$ 13,035.00	\$ 1,950.00
2GM	3916	FAURECIA MADISON AUTO SEATING/FULL TAX	\$ 15,920,303.00	\$ 2,388,040.00
2GM	3961	BUDGET BLINDS OF MADISON	\$ 7,498.00	\$ 1,130.00
2GM	3992	KASAI NORTH AMERICA INC (EX 2005-2014)	\$ 436,972.00	\$ 65,550.00
2GM	3996	DE LAGE LANDEN FINANCIAL SERVICES INC	\$ 93,170.00	\$ 13,980.00
2GM	4028	WARREN EXCAVATION	\$ 1,040,281.00	\$ 156,050.00
2GM	4029	TOWER AUTOMOTIVE OP USA,LLC(FULL TAX)	\$ 458,547.00	\$ 68,780.00
2GM	4324	CREATIVE WINDOWS AND DOORS	\$ 66,254.00	\$ 10,930.00
2GM	4331	JANA C HARLESS INTERIOR DESIGN	\$ 315.00	\$ 60.00
2GM	4520	PUCKETT RENTS	\$ 5,822,486.00	\$ 873,380.00
2GM	4586	SYNERGY ELECTRIC	\$ 169,496.00	\$ 25,420.00
2GM	4633	STEEL TECHNOLOGIES,LLC (FULL TAX)	\$ 4,466,133.00	\$ 669,920.00
2GM	4634	KASAI NORTH AMERICA INC (FULL TAX)	\$ 4,035,423.00	\$ 605,320.00
2GM	4688	D.B.C. CORPORATION (EXEMPT 2006-2015)	\$ 842,074.00	\$ 138,940.00
2GM	4869	GLUCKSTADT TEXACO SUMRALL OIL	\$ 104,759.00	\$ 15,710.00
2GM	4913	AT&T MOBILITY LLC	\$ 31,139.00	\$ 4,670.00
2GM	4965	GLUCKSTADT DENTAL CLINIC	\$ 206,687.00	\$ 31,000.00
2GM	4988	DOLLAR GENERAL #10478	\$ 383,826.00	\$ 57,570.00
2GM	5086	DEPENDABLE PEST SERVICE	\$ 28,921.00	\$ 4,340.00
2GM	5392	CLEVELAND CLIFFS BURNS HARBOR, LLC	\$ 610,492.00	\$ 91,570.00
2GM	5416	VERIZON WIRELESS	\$ 97,820.00	\$ 14,670.00
2GM	5470	CHILDREN'S ACADEMY OF MADISON,THE	\$ 31,241.00	\$ 4,690.00
2GM	5482	KASAI NORTH AMERICA INC (EX 2007-2016)	\$ 705,965.00	\$ 105,890.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	5502	FUTURE LABS,LLC	\$ 254,254.00	\$ 38,140.00
2GM	5564	INDUSTRIAL AUTOMATION SURPLUS LLC	\$ 235,978.00	\$ 35,400.00
2GM	5594	GLUCKSTADT BARBER & STYLE	\$ 14,105.00	\$ 3,750.00
2GM	5599	A-1 NAILS	\$ 15,845.00	\$ 2,380.00
2GM	5661	KEELING COMPANY	\$ 207,785.00	\$ 31,160.00
2GM	5669	PULLEN WINDOW & DOOR	\$ 80,894.00	\$ 12,130.00
2GM	5692	CHILDRENS ACADEMY OF MADISON 2	\$ 32,301.00	\$ 4,850.00
2GM	5753	CARDINAL HEALTH 5, LLC	\$ 36,338.00	\$ 5,450.00
2GM	5816	RELISH HOME ACCENTS & GIFTS	\$ 70,330.00	\$ 12,770.00
2GM	5972	CELLULAR SOUTH INC (MS0829)	\$ 32,652.00	\$ 4,900.00
2GM	5973	CELLULAR SOUTH INC (MS1266)	\$ 22,971.00	\$ 3,450.00
2GM	6025	MISS TENT & PARTY RENTAL LLC	\$ 1,057,187.00	\$ 174,440.00
2GM	6036	E & J GALLO WINERY	\$ 42,179.00	\$ 6,330.00
2GM	6042	RINEWALT ELECTRIC LLC	\$ 307.00	\$ 50.00
2GM	6076	KASAI NORTH AMERICA INC (EX 2008-2017)	\$ 1,096,907.00	\$ 164,530.00
2GM	6077	MARUICHI LEAVITT PIPE & TUBE LLC.	\$ 545,562.00	\$ 81,830.00
2GM	6098	BICYCLE REVOLUTION	\$ 136,307.00	\$ 20,450.00
2GM	6120	BANKPLUS-ATM CHURCH RD	\$ 54,697.00	\$ 8,210.00
2GM	6334	COCKTAILZ FINE WINE & SPIRITS	\$ 132,437.00	\$ 19,870.00
2GM	6370	BIG 10 TIRE & ACCESSORIES	\$ 101,480.00	\$ 15,220.00
2GM	6434	TODDLER TOWN	\$ 19,143.00	\$ 2,870.00
2GM	6463	LEASE PLAN USA INC	\$ 3,112.00	\$ 750.00
2GM	6469	LILLY COMPANY THE	\$ 290,192.00	\$ 43,530.00
2GM	6477	LEVI STRAUSS & CO (EXEMPT 2009-2018)	\$ 337,056.00	\$ 50,560.00
2GM	6525	SS MEDICAL	\$ 18,257.00	\$ 3,310.00
2GM	6570	THE WEEKDAY LEARNING CENTER	\$ 80,168.00	\$ 12,030.00
2GM	6578	MORRISON PUBLISHING	\$ 25,895.00	\$ 14,750.00
2GM	6651	NEW SOUTH ACCESS & ENV SOLUTIONS LLC	\$ 52,623.00	\$ 7,890.00
2GM	6685	TOPKNOT AND TAILS	\$ 9,609.00	\$ 1,440.00
2GM	6729	KASAI NORTH AMERICA INC (EX 2009-2018)	\$ 1,243,086.00	\$ 186,460.00
2GM	6795	WOLFE VENDING & SNACK SALES	\$ 1,782.00	\$ 390.00
2GM	6819	HEDERMAN BROTHERS,LLC(EX.2009-2018)	\$ 659,009.00	\$ 131,570.00
2GM	6900	CENTRAL PETROLEUM INC	\$ 15,250.00	\$ 2,290.00
2GM	6926	STATE FARM-ROBIN COVINGTON	\$ 3,888.00	\$ 580.00
2GM	7031	CLEVELAND-CLIFFS STEEL CORP	\$ 199,212.00	\$ 29,880.00
2GM	7036	GLUCKSTADT ANIMAL HOSPITAL	\$ 87,099.00	\$ 13,070.00
2GM	7049	GLUCKSTADT SHELL	\$ 198,514.00	\$ 29,780.00
2GM	7051	DONUT PALACE	\$ 17,905.00	\$ 4,760.00
2GM	7146	PAYMENT ALLIANCE INTERNATIONAL INC	\$ 6,900.00	\$ 1,040.00
2GM	7235	JAM ATHLETICS	\$ 9,515.00	\$ 1,430.00
2GM	7250	GILES AND ASSOCIATES	\$ 5,352.00	\$ 800.00
2GM	7290	MAGNOLIA FEDERAL CREDIT UNION	\$ 98,898.00	\$ 14,830.00
2GM	7322	PARKWAY QUICK LUBE & TIRE	\$ 97,891.00	\$ 14,680.00
2GM	7328	W L BURLE ENGINEERS P.A.	\$ 11,032.00	\$ 1,660.00
2GM	7338	MADISON MOTOR WORKS	\$ 86,636.00	\$ 17,300.00
2GM	7346	MAGNOLIA MEDICAL CLINIC	\$ 11,060.00	\$ 1,660.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	7395	EUTAW CONSTRUCTION CO	\$ 97,289.00	\$ 14,590.00
2GM	7397	NEXT GENERATION FITNESS 24-7	\$ 97,490.00	\$ 37,930.00
2GM	7474	BODY ANEW MEDICAL SPA	\$ 337,943.00	\$ 50,690.00
2GM	7571	TOWER AUTOMOTIVE (EXEMPT 2011-2020)	\$ 2,371,379.00	\$ 355,710.00
2GM	7649	M & M SERVICES	\$ 1,129,707.00	\$ 248,100.00
2GM	7714	GLUCKSTADT FAMILY DENTISTRY %HEARTLAND D	\$ 317,594.00	\$ 47,640.00
2GM	7725	MAST-JAGERMEISTER US INC	\$ 176,799.00	\$ 35,300.00
2GM	7801	AFTER ZONE	\$ 140,874.00	\$ 21,130.00
2GM	7806	TRIANGLE CONSTRUCTION CO-OFFICE	\$ 10,313.00	\$ 3,650.00
2GM	7858	MGC LANDSCAPES	\$ 13,902.00	\$ 2,290.00
2GM	7916	DELOACH FAMILY CLINIC-MADISON	\$ 20,671.00	\$ 3,100.00
2GM	7981	FIRST FINANCIAL HOLDINGS, LLC	\$ 2,078,422.00	\$ 311,760.00
2GM	8068	TELEPAK NETWORKS INC	\$ 880,842.00	\$ 132,120.00
2GM	8075	D.B.C. CORPORATION (EXEMPT 2012-2021)	\$ 123,515.00	\$ 20,380.00
2GM	8113	CPS POOLS & SPA	\$ 89,441.00	\$ 13,420.00
2GM	8117	WRTM RADIO / TOWER	\$ 97,916.00	\$ 14,690.00
2GM	8122	GERMANTOWN WINE & SPIRITS	\$ 151,211.00	\$ 30,190.00
2GM	8161	BEAR CREEK WINE & SPIRITS	\$ 169,930.00	\$ 25,490.00
2GM	8269	KASAI NORTH AMERICA INC (EX 2013-2022)	\$ 5,582,546.00	\$ 837,380.00
2GM	8270	TOWER AUTOMOTIVE (EXEMPT 2013-2022)	\$ 1,651,593.00	\$ 247,740.00
2GM	8273	REFLECTION VISION CENTER	\$ 132,118.00	\$ 19,820.00
2GM	8295	AMERICAN GREETING CORP	\$ 708.00	\$ 110.00
2GM	8309	MADISON LANDSCAPE COMPANY, LLC	\$ 119,523.00	\$ 17,930.00
2GM	8336	HP FINANCIAL SERVICES	\$ 1,591,787.00	\$ 238,770.00
2GM	8386	NATIONWIDE INSURANCE - CHRIS RAWSON	\$ 5,716.00	\$ 1,380.00
2GM	8387	THE PARLOR SALON	\$ 7,263.00	\$ 3,110.00
2GM	8412	RICOH USA, INC.	\$ 9,383.00	\$ 1,410.00
2GM	8420	MADISON COUNTY SPORTS ZONE	\$ 55,681.00	\$ 21,670.00
2GM	8594	COYOTE FITNESS	\$ 35,317.00	\$ 11,350.00
2GM	8641	ALLSTATE INSURANCE CO	\$ 2,189.00	\$ 330.00
2GM	8645	STEEL TECHNOLOGIES,LLC EX(2014-2023)	\$ 2,248,728.00	\$ 337,310.00
2GM	8650	KASAI NORTH AMERICA INC (EX 2014-2023)	\$ 365,848.00	\$ 54,870.00
2GM	8656	STATE FARM - MATT GUILLORY	\$ 5,665.00	\$ 850.00
2GM	8657	PINK POSSUM	\$ 7,466.00	\$ 3,190.00
2GM	8665	MEMPHIS PATHOLOGY LAB	\$ 379.00	\$ 60.00
2GM	8711	AM/NS CALVERT LLC	\$ 1,041,804.00	\$ 156,270.00
2GM	8743	HEALTH MONITORING SERVICES	\$ 116.00	\$ 20.00
2GM	8751	HYG FINANCIAL SERVICES INC	\$ 37,831.00	\$ 5,680.00
2GM	8767	GEORGIA BLUE OFFICE	\$ 82,887.00	\$ 12,430.00
2GM	8800	CHG-MERIDIAN USA CORP	\$ 194,865.00	\$ 29,230.00
2GM	8835	SONIC #6367	\$ 137,263.00	\$ 20,590.00
2GM	8852	GULF EQUIPMENT COMPANY	\$ 16,792.00	\$ 5,400.00
2GM	8985	KIDS KASTLE GLUCKSTADT	\$ 10,956.00	\$ 2,190.00
2GM	9015	WEICHERT REALTORS	\$ 7,236.00	\$ 2,560.00
2GM	9074	REDBOX AUTOMATED RETAIL,LLC	\$ 4,200.00	\$ 630.00
2GM	9113	HYDRONIC TECHNOLOGY INC	\$ 54,860.00	\$ 19,400.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	9120	SEASONS	\$ 87,566.00	\$ 17,490.00
2GM	9182	GREAT AMERICA FINANCIAL SERVICES CORP	\$ 67,778.00	\$ 10,170.00
2GM	9197	TOWER AUTOMOTIVE (EXEMPT 2015-2024)	\$ 279,253.00	\$ 41,890.00
2GM	9198	KASAI NORTH AMERICA INC (EX 2015-2024)	\$ 1,447,606.00	\$ 217,150.00
2GM	9205	TITAN ENGINEERING AND CONST LLC	\$ 251,497.00	\$ 37,730.00
2GM	9207	PHARMACY PARTNERS OF MISSISSIPPI	\$ 942,511.00	\$ 141,380.00
2GM	9210	D.B.C. CORPORATION (EXEMPT 2015-2024)	\$ 267,650.00	\$ 44,160.00
2GM	9282	ALLIED AUTO BODY	\$ 62,816.00	\$ 10,370.00
2GM	9371	WELLS FARGO BANK NA	\$ 28,024.00	\$ 4,200.00
2GM	9400	CARDINAL HEALTH 110 INC	\$ 32,339,650.00	\$ 4,850,950.00
2GM	9422	SHELTER INSURANCE CO,	\$ 694.00	\$ 100.00
2GM	9475	GATOR GRAFIX LLC	\$ 105,131.00	\$ 17,350.00
2GM	9502	PBJ TV	\$ 2,789.00	\$ 610.00
2GM	9504	MADISON OAK PRESCHOOL	\$ 86,604.00	\$ 14,290.00
2GM	9528	PIZZA HUT #033614	\$ 63,619.00	\$ 15,360.00
2GM	9543	FUEL TIME #10	\$ 269,394.00	\$ 40,410.00
2GM	9549	BAYOU BUGS ON THE CORNER	\$ 33,873.00	\$ 5,080.00
2GM	9550	SHELTER INSURANCE-ROB THAMES	\$ 2,395.00	\$ 360.00
2GM	9555	UPTOWN PHARMACY	\$ 48,322.00	\$ 7,250.00
2GM	9630	EDWARD D. JONES & CO, LP	\$ 4,671.00	\$ 700.00
2GM	9635	ALLSTATE INSURANCE COMPANY	\$ 1,245.00	\$ 400.00
2GM	9666	COBROOK ATM SERVICE	\$ 939.00	\$ 160.00
2GM	9673	GLUCKSTADT FITNESS	\$ 92,994.00	\$ 29,900.00
2GM	9687	TOYOTA INDUSTRIES COMMERCIAL FINANCE	\$ 74,186.00	\$ 11,130.00
2GM	9707	REMINGTON-LOTT	\$ 11,502.00	\$ 2,090.00
2GM	9718	FAURECIA MADISON AUTO SEATING	\$ 3,173,558.00	\$ 476,030.00
2GM	9721	TOWER AUTOMOTIVE (EXEMPT 2016-2025)	\$ 5,224,383.00	\$ 783,660.00
2GM	9723	WESTLAKE COMPOUNDS, LLC(EXEMPT 2016-2025)	\$ 95,348.00	\$ 14,300.00
2GM	9780	PAROUS ENERGY	\$ 7,273.00	\$ 1,090.00
2GM	9819	QUALITY GLASS	\$ 14,155.00	\$ 2,120.00
2GM	9821	FLORIDA NATURAL FOOD SVC INC	\$ 520.00	\$ 80.00
2GM	9827	WELLS FARGO VENDOR FINANCIAL SERV LLC	\$ 15,072.00	\$ 2,260.00
2GM	9833	WELLS FARGO VENDOR FINANCIAL SERV LLC	\$ 500,178.00	\$ 75,030.00
2GM	9860	PARKWAY CAR WASH	\$ 49,932.00	\$ 7,490.00
2GM	9861	STEAK ESCAPE	\$ 49,116.00	\$ 7,360.00
2GM	9874	GRACIE JIU JITSU MADISON	\$ 13,855.00	\$ 2,290.00
2GM	9879	THE ICEE CO	\$ 17,794.00	\$ 2,670.00
2GM	9930	WABASHA LEASING LLC	\$ 14,929.00	\$ 2,240.00
2GM	9974	TWICE THE ICE	\$ 46,318.00	\$ 8,400.00
2GM	10014	HINSEN AND ADKINS AUTO TRANSPORT	\$ 55,028.00	\$ 17,690.00
2GM	10044	CLEVELAND-CLIFFS STEEL LLC	\$ 762,072.00	\$ 114,310.00
2GM	10050	TOWER AUTOMOTIVE (EXEMPT 2017-2026)	\$ 2,085,942.00	\$ 312,890.00
2GM	10054	SALON HONEY	\$ 7,613.00	\$ 1,260.00
2GM	10055	KASAI NORTH AMERICA INC (EX 2017-2026)	\$ 492,955.00	\$ 73,940.00
2GM	10057	AUTO-CHLOR SYSTEM OF MID SOUTH, LLC	\$ 1,510.00	\$ 230.00
2GM	10096	HARTLEY EQUIPMENT CO	\$ 728,946.00	\$ 109,340.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	10099	D C GUITAR	\$ 186,754.00	\$ 33,900.00
2GM	10100	GUNS N GEAR	\$ 189,814.00	\$ 55,490.00
2GM	10112	FIRST-CITIZENS BANK & TRUST COMPANY	\$ 4,546.00	\$ 680.00
2GM	10123	SERENITY NAIL SPA	\$ 25,749.00	\$ 3,860.00
2GM	10133	ITS VINYL YALL	\$ 27,695.00	\$ 4,160.00
2GM	10157	CALLAWAY'S YARD & GARDEN CENTER	\$ 180,465.00	\$ 39,630.00
2GM	10158	BURGER KING #401	\$ 133,498.00	\$ 32,250.00
2GM	10160	STERICYCLE INC 36-3640402	\$ 148.00	\$ 20.00
2GM	10163	GLUCKSTADT BODY SHOP	\$ 74,752.00	\$ 11,210.00
2GM	10236	KRYSTAL #0006	\$ 163,608.00	\$ 24,540.00
2GM	10357	ASCENTIUM CAPITAL LLC (POS)	\$ 943.00	\$ 140.00
2GM	10359	FLEETWAY MARKET	\$ 319,521.00	\$ 47,930.00
2GM	10436	HAZEL D WHITING LLC	\$ 1,158.00	\$ 230.00
2GM	10485	COLORIZE HAIR SALON LLC	\$ 13,094.00	\$ 1,960.00
2GM	10567	HEDERMAN BROTHERS,LLC(EX.2017-2026)	\$ 2,506,892.00	\$ 500,500.00
2GM	10597	GLUCKSTADT SELF STORAGE	\$ 11,022.00	\$ 2,200.00
2GM	10599	BARLEY'S BEER BARN	\$ 25,507.00	\$ 4,210.00
2GM	10622	TOWER AUTOMOTIVE (EXEMPT 2018-2027)	\$ 3,003,493.00	\$ 450,530.00
2GM	10624	WESTLAKE COMPOUNDS, LLC(EXEMPT 2018-2027)	\$ 20,844.00	\$ 3,440.00
2GM	10626	KASAI NORTH AMERICA INC (EX 2018-2027)	\$ 425,029.00	\$ 63,750.00
2GM	10636	HEDERMAN BROTHERS INC (EX.2018-2027)	\$ 322,109.00	\$ 64,320.00
2GM	10641	WELLS FARGO FINANCIAL LEASING INC	\$ 21,889.00	\$ 3,280.00
2GM	10659	SMUCKER FOODSERVICE INC	\$ 3,938.00	\$ 590.00
2GM	10676	PNC EQUIPMENT FINANCE	\$ 108,620.00	\$ 16,290.00
2GM	10687	POSCO AAPC,LLC	\$ 1,573,394.00	\$ 236,010.00
2GM	10744	ACUITY SPECIALTY PRODUCTS	\$ 451.00	\$ 70.00
2GM	10778	XCELL PHYSICAL REHAB	\$ 13,849.00	\$ 2,080.00
2GM	10779	CUSTOMIZED MASSAGE THERAPY, LLC	\$ 360.00	\$ 50.00
2GM	10785	SUBWAY 53982	\$ 48,532.00	\$ 8,810.00
2GM	10847	MAC HAIK CHEVROLET	\$ 1,483,478.00	\$ 222,520.00
2GM	10848	MAC HAIK CDJR	\$ 1,415,241.00	\$ 212,290.00
2GM	10908	HILTI INC	\$ 40,277.00	\$ 6,040.00
2GM	11057	KIP LEASING	\$ 11,269.00	\$ 3,000.00
2GM	11075	SUNBELT LIGHTING LLC	\$ 108,165.00	\$ 16,230.00
2GM	11090	SOUTHERN PIPE AND SUPPLY CO., INC.	\$ 465,956.00	\$ 69,900.00
2GM	11100	THE CHRISTIAN LEARNING CENTER 2	\$ 5,578.00	\$ 1,110.00
2GM	11104	TENCARVA MACHINERY COMPANY	\$ 94,404.00	\$ 14,160.00
2GM	11122	LSN PROPERTIES	\$ 61,864.00	\$ 9,280.00
2GM	11165	MADVINES & SPIRITS	\$ 12,348.00	\$ 1,850.00
2GM	11181	MADISON TIN, LLC (EXEMPT 1/1/19-12/31/28)	\$ 359,403.00	\$ 53,910.00
2GM	11182	D.B.C. CORPORATION (EXEMPT 2019-2028)	\$ 1,197,347.00	\$ 179,600.00
2GM	11187	HERITAGE-CRYSTAL CLEAN LLC	\$ 1,184.00	\$ 180.00
2GM	11188	WESTLAKE COMPOUNDS, LLC(EXEMPT 2019-2028)	\$ 208,881.00	\$ 31,330.00
2GM	11199	WELLS FARGO EQUIPMENT FINANCE	\$ 1,308,357.00	\$ 196,250.00
2GM	11202	KEBAB & CURRY	\$ 28,785.00	\$ 4,320.00
2GM	11205	KASAI NORTH AMERICA INC (EX 2019-2028)	\$ 5,751,827.00	\$ 862,780.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

<b>Tax Dist</b>	<b>PPIN</b>	<b>DBA Name</b>	<b>True Value</b>	<b>Assessed Value</b>
2GM	11206	VERDANT COMMERCIAL CAPITAL, LLC	\$ 3,906.00	\$ 590.00
2GM	11212	MATHESON TRI-GAS INC EX(2019-2028)	\$ 2,958,323.00	\$ 443,740.00
2GM	11227	ELAVON, INC	\$ 813.00	\$ 120.00
2GM	11235	CRASH CHAMPIONS LLC	\$ 458,047.00	\$ 68,710.00
2GM	11266	MCCALEB INSURANCE AGENCY INC	\$ 1,625.00	\$ 240.00
2GM	11283	BEN NELSON GOLF AND UTILITY VEHICLES	\$ 3,619,140.00	\$ 542,880.00
2GM	11319	BUMPERS #271	\$ 47,906.00	\$ 7,190.00
2GM	11320	STADT NUTRITION	\$ 18,435.00	\$ 3,040.00
2GM	11323	ETAIROS HVAC IV	\$ 341,544.00	\$ 51,230.00
2GM	11326	VECTOR SECURITY INC	\$ 133,621.00	\$ 20,040.00
2GM	11332	NEW LOOK PRESSURE WASHING	\$ 7,537.00	\$ 1,130.00
2GM	11373	THE COCA-COLA COMPANY(FOUNTAIN)	\$ 54,663.00	\$ 8,200.00
2GM	11413	ST DOMINIC	\$ 147,317.00	\$ 29,410.00
2GM	11463	WENDY'S #228	\$ 89,004.00	\$ 14,690.00
2GM	11488	BARNETTS BODY SHOP	\$ 484,979.00	\$ 72,750.00
2GM	11490	DICKERSON PETROLEUM	\$ 36,656.00	\$ 5,500.00
2GM	11507	CERTAPRO PAINTERS	\$ 5,135.00	\$ 850.00
2GM	11509	FOREMOST FOUNDATION/VADA INC	\$ 24,354.00	\$ 3,650.00
2GM	11533	CENTRAL TOWERS COMMUNICATION	\$ 3,601.00	\$ 540.00
2GM	11583	STANTEC CONSULTING SERVICES	\$ 19,370.00	\$ 3,200.00
2GM	11624	DRAINGO OF MISSISSIPPI LLC	\$ 120,236.00	\$ 18,040.00
2GM	11626	THERAPY SOUTH-GLUCKSTADT	\$ 53,457.00	\$ 8,020.00
2GM	11646	RUG DOCTOR INC	\$ 314.00	\$ 50.00
2GM	11665	IGT GLOBAL SOLUTIONS CORP	\$ 18,386.00	\$ 3,030.00
2GM	11697	HUNTINGTON TECHNOLOGY FINANCE	\$ 14,821.00	\$ 2,220.00
2GM	11714	ASAP INC	\$ 804.00	\$ 120.00
2GM	11722	WESTLAKE COMPOUNDS, LLC(EXEMPT 2020-2029)	\$ 443,443.00	\$ 73,170.00
2GM	11728	KASAI NORTH AMERICA INC (EX 2020-2029)	\$ 3,185,210.00	\$ 477,780.00
2GM	11729	TOWER AUTOMOTIVE (EXEMPT 2020-2029)	\$ 3,606,917.00	\$ 541,040.00
2GM	11732	QUENCH USA INC	\$ 12,393.00	\$ 1,860.00
2GM	11734	SYSTEMS ELECTRO COATING, LLC	\$ 98,037.00	\$ 14,710.00
2GM	11737	FASTENAL COMPANY	\$ 2,287,044.00	\$ 343,060.00
2GM	11738	FASTENAL COMPANY	\$ 10,059,771.00	\$ 1,508,970.00
2GM	11741	LENOVA FINANACIAL SERVICES	\$ 1,198.00	\$ 290.00
2GM	11748	TOYOTA INDUSTRIES COMMERCIAL FINANCE INC	\$ 1,105,862.00	\$ 165,880.00
2GM	11756	REDDY ICE LLC	\$ 484.00	\$ 70.00
2GM	11759	GLUCKSTADT REHAB SERVICES	\$ 43,305.00	\$ 6,500.00
2GM	11760	PHYSICIAN CLINIC-GLUCKSTADT	\$ 149,406.00	\$ 22,410.00
2GM	11795	CARR KITCHEN AND BATH DESIGN CENTER	\$ 7,092.00	\$ 1,060.00
2GM	11809	CISCO SYSTEMS CAPITAL CORP	\$ 212,639.00	\$ 31,900.00
2GM	11825	BLAKE & PENDLETON INC	\$ 510,503.00	\$ 76,580.00
2GM	11828	CHEVRON CIRCLE K	\$ 208,173.00	\$ 41,560.00
2GM	11836	RICKS PRO TRUCK	\$ 670,197.00	\$ 121,640.00
2GM	11839	CIA AUTOPLEX	\$ 120,655.00	\$ 19,910.00
2GM	11840	THERMAL INSTALLATION	\$ 10,386.00	\$ 2,070.00
2GM	11859	POWDER KEG INDUSTRIES	\$ 82,649.00	\$ 18,150.00



**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	11866	AOC MEDICAL LLC	\$ 9,917.00	\$ 1,640.00
2GM	11960	TOWER AUTOMOTIVE (EXEMPT 2021-2030)	\$ 4,465,710.00	\$ 669,860.00
2GM	11967	WESTLAKE COMPOUNDS, LLC(EXEMPT 2021-2030)	\$ 39,936.00	\$ 5,990.00
2GM	11978	BITCOIN DEPOT	\$ 6,457.00	\$ 1,290.00
2GM	11984	THE RANGE OF MISSISSIPPI	\$ 717,951.00	\$ 143,340.00
2GM	11989	EASY ICE	\$ 309.00	\$ 50.00
2GM	11994	3M MEDICAL SOLUTIONS/KCI	\$ 90,892.00	\$ 13,630.00
2GM	12003	AMERICAN TOWER CORPORATION	\$ 120,024.00	\$ 18,000.00
2GM	12013	GO SHINE CARWASH	\$ 705,689.00	\$ 105,860.00
2GM	12017	KIDS KASTLE	\$ 27,074.00	\$ 5,410.00
2GM	12019	GLUCKSTADT TEXACO (INVENTORY)	\$ 99,400.00	\$ 14,910.00
2GM	12038	SMOOTHIE KING	\$ 56,555.00	\$ 8,480.00
2GM	12061	S & D COFFEE INC	\$ 1,606.00	\$ 240.00
2GM	12084	BADGER DAYLIGHTING	\$ 26,465.00	\$ 3,970.00
2GM	12085	FIT CHEF	\$ 36,938.00	\$ 8,120.00
2GM	12096	MAGNOLIA HEMP CO	\$ 39,675.00	\$ 7,200.00
2GM	12101	STORAGE MAX GERMANTOWN	\$ 28,015.00	\$ 4,210.00
2GM	12114	FASTENAL COMPANY	\$ 3,631,950.00	\$ 544,790.00
2GM	12144	AT&T MOBILITY LLC	\$ 35,076.00	\$ 5,260.00
2GM	12226	SPRINT MART #128 GLUCKSTADT	\$ 216,137.00	\$ 47,470.00
2GM	12227	SPRINT MART #128 GLUCKSTADT	\$ 305,765.00	\$ 67,150.00
2GM	12248	ENTERPRISE RENT A CAR	\$ 53,453.00	\$ 8,020.00
2GM	12249	ACE BOLT AND SCREW	\$ 176,655.00	\$ 35,270.00
2GM	12251	ADP INC	\$ 13,099.00	\$ 1,970.00
2GM	12252	CANON FINANCIAL SERVICES	\$ 457,959.00	\$ 68,690.00
2GM	12257	COMMUNITY COFFEE CO	\$ 19,719.00	\$ 2,960.00
2GM	12258	CSC SERVICE WORKS	\$ 2,802.00	\$ 420.00
2GM	12262	PRIMO WATER NORTH AMERICA	\$ 234.00	\$ 40.00
2GM	12265	LOOMIS ARMORED US LLC	\$ 2,224.00	\$ 330.00
2GM	12266	MARLIN LEASING	\$ 913.00	\$ 140.00
2GM	12267	STATE FARM MUTUAL AUTOMOBILE INS CO	\$ 9,750.00	\$ 1,460.00
2GM	12272	WELLS FARGO BANK NA	\$ 31,392.00	\$ 4,710.00
2GM	12274	WILLIAMS SCOTSMAN INC	\$ 50,278.00	\$ 7,540.00
2GM	12275	XEROX CORPORATION	\$ 24,466.00	\$ 3,670.00
2GM	12280	EARTHSCAPE SUPPLY LLC	\$ 223,542.00	\$ 40,570.00
2GM	12281	ANEWU	\$ 7,215.00	\$ 1,440.00
2GM	12284	POLYMER CONCEPTS	\$ 12,003.00	\$ 1,800.00
2GM	12286	BOX DROP MATTRESSES	\$ 25,816.00	\$ 4,690.00
2GM	12287	KINDER BOUTIQUE	\$ 163,960.00	\$ 24,600.00
2GM	12288	ANNA ALLEN ANTIQUE & INTERIORS	\$ 6,093.00	\$ 910.00
2GM	12289	SPANNS BARBER SHOP	\$ 2,500.00	\$ 500.00
2GM	12290	VINTAGE BARBER SHOP	\$ 5,832.00	\$ 1,170.00
2GM	12291	GATLIN INTERIORS	\$ 52,023.00	\$ 9,440.00
2GM	12292	UTILITY CONTRACTOR	\$ 10,762.00	\$ 1,960.00
2GM	12295	HOPPER PROPERTIES	\$ 7,642.00	\$ 1,150.00
2GM	12296	DUGGANS SEAFOOD	\$ 19,896.00	\$ 2,990.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	12299	PERFORMANCE THERAPY	\$ 29,269.00	\$ 4,390.00
2GM	12302	HAIR BY BAY	\$ 9,082.00	\$ 1,500.00
2GM	12303	INAKA TEAS	\$ 10,179.00	\$ 2,040.00
2GM	12305	NAILS BY KIM	\$ 8,069.00	\$ 1,340.00
2GM	12306	WOOLRIDGE & ASSOCIATES	\$ 1,475.00	\$ 290.00
2GM	12307	CLARK RENTAL & SUPPLY	\$ 743,131.00	\$ 111,470.00
2GM	12310	REC CONSTRUCTION	\$ 5,854.00	\$ 880.00
2GM	12313	WEST OF FIFTY FIVE	\$ 60,508.00	\$ 10,980.00
2GM	12315	RAINBOW INTERNATIONAL RESTORATION	\$ 44,271.00	\$ 8,840.00
2GM	12320	ENCORE DANCE STUDIO	\$ 6,565.00	\$ 1,310.00
2GM	12321	BEAN PARLOR	\$ 24,284.00	\$ 4,850.00
2GM	12322	BLOOM BATH	\$ 6,027.00	\$ 1,200.00
2GM	12323	RIPTIDE SALE AND SERVICE	\$ 4,279.00	\$ 780.00
2GM	12344	MAGNOLIA CONCESSION	\$ 23,681.00	\$ 3,550.00
2GM	12345	PINE STRAW OF MISSISSIPPI	\$ 16,529.00	\$ 3,300.00
2GM	12346	PARKWAY SERVICE CTR & ASSOC	\$ 170,237.00	\$ 25,540.00
2GM	12347	HEALING HANDS	\$ 26,484.00	\$ 5,290.00
2GM	12348	STEAMER'S SHRIMP & CRAB MARKET	\$ 52,283.00	\$ 10,440.00
2GM	12349	911 RESTORATION	\$ 33,965.00	\$ 5,100.00
2GM	12350	TRUSTCARE KIDS	\$ 314,199.00	\$ 47,130.00
2GM	12352	SIRCLE	\$ 14,661.00	\$ 2,930.00
2GM	12353	4 CORNER PROPERTIES	\$ 6,392.00	\$ 1,280.00
2GM	12363	KAIRO'S WOODWORKS	\$ 20,835.00	\$ 3,130.00
2GM	12400	SANDALS DAY SPA & NAILS	\$ 44,236.00	\$ 6,640.00
2GM	12415	TOWER AUTOMOTIVE (EXEMPT 2022-2031)	\$ 2,461,443.00	\$ 369,220.00
2GM	12420	36TH STREET CAPITAL PARTNERS, LLC	\$ 1,207.00	\$ 180.00
2GM	12421	LYTX,INC	\$ 2,190.00	\$ 330.00
2GM	12422	KASAI NORTH AMERICA INC (EX 2022-2031)	\$ 2,997,949.00	\$ 449,700.00
2GM	12425	VALLEN DISTRIBUTION, INC	\$ 315,720.00	\$ 47,360.00
2GM	12426	EVOLV TECHNOLOGIES INC	\$ 53,251.00	\$ 7,990.00
2GM	12440	QUADIENT LEASING USA IN	\$ 4,517.00	\$ 680.00
2GM	12476	BAMBOO EXPRESS	\$ 37,682.00	\$ 5,650.00
2GM	12482	AMERIGAS PROPANE LP	\$ 2,371.00	\$ 360.00
2GM	12503	FIRST DATA MERCHANT SVCS LLC	\$ 1,589.00	\$ 240.00
2GM	12530	GRIFFIN INDUSTRIES INC	\$ 1,599.00	\$ 240.00
2GM	12537	LAMAR ADVERTISING OF JA	\$ 499,636.00	\$ 74,950.00
2GM	12541	NUCO2 SUPPLY LLC	\$ 24,789.00	\$ 3,720.00
2GM	12552	CHADWICH PHARMACEUTICALS INC	\$ 29,389.00	\$ 5,870.00
2GM	12557	RIVER OAKS ROOFING	\$ 25,044.00	\$ 5,000.00
2GM	12558	GREEN OAK GARDEN CENTER	\$ 18,834.00	\$ 3,760.00
2GM	12567	MERRIMAK CAPITAL CO., LLC	\$ 790,988.00	\$ 118,650.00
2GM	12588	SHERWIN-WILLIAMS #725693	\$ 342,297.00	\$ 51,340.00
2GM	12611	STATION OF MADISON	\$ 115,006.00	\$ 22,960.00
2GM	12665	GRAYHAWK LEASING LLC	\$ 1,844.00	\$ 280.00
2GM	12703	SOUTHEASTERN SIGN COMPANY	\$ 3,586.00	\$ 590.00
2GM	12706	MADISON PREMIER PRESCHOOL	\$ 100,491.00	\$ 15,070.00

Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change				
Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	12708	HOTSPOT MARKET	\$ 374,146.00	\$ 74,700.00
2GM	12722	SERTAPRO	\$ 10,429.00	\$ 1,720.00
2GM	12727	GREEN STEEL MANUFACTURING, INC	\$ 758,176.00	\$ 113,730.00
2GM	12732	HEART TO HEART SENIOR CARE CENTER	\$ 22,717.00	\$ 3,410.00
2GM	12749	SMALLCAKES CUPCAKES & CREAMERY	\$ 60,085.00	\$ 9,910.00
2GM	12760	SUGAR DAZE DESSERT SHOP	\$ 93,558.00	\$ 14,040.00
2GM	12767	THE MAILROOM	\$ 58,191.00	\$ 10,560.00
2GM	12769	JOHNNY'S PIZZA	\$ 97,437.00	\$ 17,690.00
2GM	12781	SULLIVAN'S MARKETPLACE	\$ 2,393,531.00	\$ 359,030.00
2GM	12789	FORTITUDE CHIROPRACTIC & WELLNESS	\$ 9,979.00	\$ 1,500.00
2GM	12795	DIPPING DOTS OF CENTRAL MS	\$ 2,967.00	\$ 450.00
2GM	12814	FORTENBERRY & BALLARD CPA	\$ 2,800.00	\$ 420.00
2GM	12882	MONO'S LLC DBA FILOS	\$ 129,951.00	\$ 23,590.00
2GM	12893	WAYBACK BURGER	\$ 121,088.00	\$ 21,980.00
2GM	12908	MIGHTY FLAME	\$ 1,496.00	\$ 220.00
2GM	12915	FEDERAL EXPRESS CORP-V0541	\$ 637.00	\$ 110.00
2GM	12925	FIRST STATE BANK	\$ 67,477.00	\$ 10,120.00
2GM	12938	AMERICAN BOTTLING COMPANY, THE	\$ 449.00	\$ 70.00
2GM	12950	THE COCA-COLA COMPANY	\$ 1,982.00	\$ 330.00
2GM	12952	EVOQUA WATER TECHNOLOGIES LLC	\$ 9,836.00	\$ 1,480.00
2GM	12965	D.B.C. CORPORATION (EXEMPT 2023-2032)	\$ 791,776.00	\$ 130,640.00
2GM	12973	MADISON TIN, LLC (FULL TAX ACCT)	\$ 993,615.00	\$ 149,050.00
2GM	12981	KINGSBRIDGE HOLDINGS LLC	\$ 264,705.00	\$ 39,710.00
2GM	12989	ABBOTT LABORATORIES, INC.	\$ 14,681.00	\$ 2,200.00
2GM	12999	DEX IMAGING	\$ 218.00	\$ 30.00
2GM	13001	R J YOUNG	\$ 164,311.00	\$ 24,650.00
2GM	13007	DELL EQUIPMENT FUNDING LP	\$ 61,852.00	\$ 9,280.00
2GM	13011	TOSHIBA AMERICA BUSINESS SOLUTIONS	\$ 93,492.00	\$ 14,030.00
2GM	13013	ACE OF GRACE	\$ 20,807.00	\$ 3,120.00
2GM	13017	WESTLAKE COMPOUNDS, LLC EXEMPT 2023-2032	\$ 1,282,149.00	\$ 192,320.00
2GM	13025	G GIVES CONSULTING LLC	\$ 927.00	\$ 170.00
2GM	13030	TACO LOCO	\$ 25,734.00	\$ 4,670.00
2GM	13032	CANVAS SALON	\$ 26,655.00	\$ 4,000.00
2GM	13034	MECHANICAL SYSTEM INSULATION	\$ 3,337.00	\$ 500.00
2GM	13035	4 SEASONS NAILS	\$ 60,401.00	\$ 10,960.00
2GM	13037	LAGNIAPPE GIFTS	\$ 121,382.00	\$ 22,030.00
2GM	13040	RAMSEY LAND & DRAINAGE SERVICES	\$ 44,093.00	\$ 8,010.00
2GM	13043	RICE CAFE LLC	\$ 69,580.00	\$ 10,440.00
2GM	13045	STONE GROUND COFFEE/EPIC DONUTS	\$ 115,172.00	\$ 20,910.00
2GM	13046	DECORATIVE CENTER INC	\$ 247,776.00	\$ 37,170.00
2GM	13047	FIBERNEW JACKSON	\$ 5,000.00	\$ 910.00
2GM	13052	PARKWAY PERK LLC	\$ 53,609.00	\$ 9,730.00
2GM	13054	D.B.C. (FREEPORT WAREHOUSE)	\$ 1,031,714.00	\$ 170,230.00
2GM	13055	LUCKY TOWN NUTRITION	\$ 24,873.00	\$ 3,740.00
2GM	13059	HUNTER ENGINEERING COMPANY - MADISON, MS	\$ 132,766.00	\$ 19,920.00
2GM	13060	HUNTER ENGINEERING COMPANY - MADISON, MS	\$ 2,964,552.00	\$ 444,690.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

Tax Dist	PPIN	DBA Name	True Value	Assessed Value
2GM	13062	EXIT REALTY LEGACY GROUP	\$ 9,515.00	\$ 1,430.00
2GM	13077	LEVI STRAUSS & CO (FREEPORT INVENTORY)	\$ 574,250.00	\$ 86,140.00
2GM	13084	RESTAURANT TECHNOLOGIES,INC	\$ 15,900.00	\$ 2,390.00
2GM	13086	SANHUA INTERNATIONAL INC	\$ 741,325.00	\$ 111,200.00
2GM	13087	SANHUA INTERNATIONAL INC	\$ 797,711.00	\$ 119,650.00
2GM	13117	3 HOUSES STUDIO	\$ 45,726.00	\$ 6,860.00
2GM	13123	SIGNATURE SMILES OF GLUCKSTADT	\$ 79,907.00	\$ 11,990.00
2GM	13128	THE MISSISSIPPI MAN	\$ 48,613.00	\$ 7,290.00
2GM	13129	BLUE RHINO,INC	\$ 1,579.00	\$ 240.00
2GM	13137	TOWER AUTOMOTIVE	\$ 246,122.00	\$ 36,920.00
2GM	13139	GERMANTOWN DENTAL	\$ 251,400.00	\$ 37,720.00
2GM	13144	BODY & SOUL PILATES	\$ 42,988.00	\$ 7,800.00
2GM	13153	VERTEX AEROSPACE LLC (FKA L-3 VERTEX)	\$ 28,337.00	\$ 4,250.00
2GM	13161	LUX VENDING LLC	\$ 6,474.00	\$ 1,070.00
2GM	13163	LUX VENDING LLC	\$ 6,474.00	\$ 1,070.00
2GM	13258	BRYAN TIRE SERVICE	\$ 50,752.00	\$ 8,370.00
2GM	13260	MISSISSIPPI CANDY COMPANY	\$ 36,805.00	\$ 6,070.00
2GM	13265	THE INSUL8R STORE	\$ 71,342.00	\$ 10,700.00
2GM	13272	TINDLE FAMILY DENTISTRY	\$ 79,496.00	\$ 11,930.00
2GM	13313	FARMER BROS. CO.	\$ 798.00	\$ 120.00
2GM	13320	DOLPHIN DEBIT ACCESS, LLC	\$ 28,360.00	\$ 4,250.00
2GM	13324	PRIORITY ONE BANK	\$ 379,207.00	\$ 56,880.00
2GM	13325	STEWART ORGANIZATION INC	\$ 1,717.00	\$ 260.00
2GM	13331	AMERICAN CHEMICAL LLC	\$ 16,563.00	\$ 2,490.00
2GM	13352	FRANCOTYP-POSTALIA	\$ 1,774.00	\$ 270.00
2GM	13365	TRAILHEAD MEDIA LLC	\$ 15,452.00	\$ 2,320.00
2GM	13377	MADISON TIN, LLC (EXEMPT 1/1/24-12/31/33	\$ 524,959.00	\$ 78,740.00
2GM	13378	WESTLAKE COMPOUNDS, LLC EXEMPT 2024-2033	\$ 1,104,721.00	\$ 165,710.00
2GM	13382	LEXMARK INTERNATIONAL INC	\$ 411.00	\$ 60.00
2GM	13397	MSC INDUSTRIAL SUPPLY CO	\$ 3,559.00	\$ 530.00
2GM	13412	TOWER AUTOMOTIVE	\$ 137,644.00	\$ 20,650.00
2GM	13419	ATHLETICO, LTD	\$ 66,980.00	\$ 10,050.00
2GM	13427	FEDERAL EXPRESS CORP-V0541	\$ 874.00	\$ 130.00
2GM	13431	FLOCK GROUP INC	\$ 10,153.00	\$ 1,520.00
2GM	13442	RUAN TRANSPORT CORPORATION	\$ 4,776.00	\$ 720.00
2GM	13443	FGX INTERNATIONAL INC	\$ 685.00	\$ 100.00
2GM	13448	CONNELL FINANCE COMPANY INC	\$ 580,178.00	\$ 87,030.00
2GM	13453	TRUSTMARK BANK	\$ 416,535.00	\$ 62,480.00
2GM	13454	BLUE LINK WIRELESS LLC (AT&T)	\$ 114,693.00	\$ 17,200.00
2GM	13460	DISH WIRELESS LLC	\$ 140,273.00	\$ 21,040.00
2GM	13464	TIMEPAYMENT CORP	\$ 2,590.00	\$ 390.00
2GM	13471	HPE DEPOSITOR MASTER TRUST	\$ 49,772.00	\$ 7,470.00
2GM	13478	UNITI FIBER HOLDINGS INC	\$ 10,575.00	\$ 1,590.00
2GM	13487	SOUTHERN MOTORCARZ	\$ 48,910.00	\$ 7,340.00
2GM	13488	THE SMOCKING PLACE	\$ 11,606.00	\$ 1,740.00
2GM	13501	WESTLAKE COMPOUNDS, LLC	\$ 116,004.00	\$ 17,400.00

**Tax 2024 - City of Gluckstadt Personal Property Roll - As Approved by BOS on August 19, 2024 - Values Subject to Change**

<b>Tax Dist</b>	<b>PPIN</b>	<b>DBA Name</b>	<b>True Value</b>	<b>Assessed Value</b>
2GM	13505	SOULSHINE PIZZA	\$ 145,502.00	\$ 24,010.00
2GM	13506	EL SOMBRERO	\$ 186,776.00	\$ 30,820.00
2GM	13508	SIMPLI NAIL SPA	\$ 56,305.00	\$ 9,300.00
2GM	13510	GLUCKSTADT PHARMACY	\$ 23,706.00	\$ 3,910.00
2GM	13516	CLASSIC RESTORATION	\$ 33,039.00	\$ 5,450.00
2GM	13517	EDWARD JONES	\$ 4,030.00	\$ 670.00
2GM	13523	ALFA HANNA WALKER	\$ 2,847.00	\$ 470.00
2GM	13525	TIMBER TAVERN AXE THROWING	\$ 117,678.00	\$ 19,420.00
2GM	13527	MAKE IT POP	\$ 21,873.00	\$ 3,610.00
2GM	13532	BRACKISH	\$ 290,339.00	\$ 47,910.00
2GM	13534	TINO'S PET GROOMING	\$ 11,803.00	\$ 1,950.00
2GM	13536	MAXFIT SPORTS NUTRITION	\$ 13,239.00	\$ 2,190.00
2GM	13538	TIME 4 TOYS	\$ 55,130.00	\$ 9,100.00
2GM	13543	HOMEWELL	\$ 10,439.00	\$ 1,720.00
2GM	13544	JERSEY MIKE'S SUBS	\$ 90,808.00	\$ 14,990.00
2GM	13545	CAPCHLOR	\$ 19,801.00	\$ 3,270.00
2GM	13557	BRANDON SERVICE CO, INC	\$ 13,440.00	\$ 2,220.00
2GM	13558	IMPROMPTU	\$ 94,388.00	\$ 15,570.00
2GM	13560	DEER LEE SOCIAL	\$ 6,730.00	\$ 1,110.00
2GM	13561	HUNTER ENGINEERING COMPANY - MADISON, MS	\$ 11,024,041.00	\$ 1,653,610.00
2GM	13564	SANHUA INTERNATIONAL INC	\$ 28,104,000.00	\$ 4,215,600.00
2GM	13566	TWISTED TURNIP	\$ 159,841.00	\$ 26,370.00
2GM	13570	OLD TOWN WORKSHOP	\$ 6,350.00	\$ 1,050.00
2GM	13578	KINCAID DENTAL CENTER	\$ 456,862.00	\$ 75,380.00
2GM	13585	BEST ATHLETICS	\$ 15,800.00	\$ 2,610.00
2GM	13591	QUIDEL CORPORATION	\$ 950.00	\$ 160.00
2GM	13593	METHODIST OUTPATIENT THERAPY	\$ 126,832.00	\$ 20,930.00
2GM	13594	BOO'S SMOKEHOUSE BBQ	\$ 51,568.00	\$ 8,510.00

Ind Ex	TAXDIST	PPIN	Parcel	Name	2024 Assessed V	Last Year of Exemption
Z	2GM	50014	082E-16 -001/03.00	FASTENAL COMPANY	\$ 3,767,468.00	2029
Z	2GM	54546	082E-21 -017/01.01	SYSTEMS ELECTRO COATING	\$ 381,007.00	2024
Z	2GM	56230	082E-21 -017/08.00	ARROWHEAD REAL ESTATE	\$ 755,028.00	2027
Z	2GM	58554	082E-21 -015/01.00	DBC CORPORATION	\$ 80,830.00	2028
Z	2GM	58555	082H-27 -005/01.00	MATHESON TRI-GAS INC	\$ 98,288.00	2028
Z	2GM	59340	082E-21 -017/01.02	SYSTEMS ELECTRO COATING	\$ 187,160.00	2029
This list represents real property parcels with an active industrial exemption (per 27-31-101 or 27-31-105) in the current 2024 tax roll within the City of Gluckstadt. Values are subject to change.						

Ind Ex	Tax Dist	PIN	DBA Name	2024 Assessed Value	Last Year of Exemption
Z	2GM	9197	TOWER AUTOMOTIVE (EXEMPT 2015-2024)	\$ 41,890.00	2024
Z	2GM	9198	KASAI NORTH AMERICA INC (EX 2015-2024)	\$ 217,150.00	2024
Z	2GM	9210	D.B.C. CORPORATION (EXEMPT 2015-2024)	\$ 44,160.00	2024
Z	2GM	9721	TOWER AUTOMOTIVE (EXEMPT 2016-2025)	\$ 783,660.00	2025
Z	2GM	9723	WESTLAKE COMPOUNDS, LLC(EXEMPT 2016-2025)	\$ 14,300.00	2025
Z	2GM	10050	TOWER AUTOMOTIVE (EXEMPT 2017-2026)	\$ 312,890.00	2026
Z	2GM	10055	KASAI NORTH AMERICA INC (EX 2017-2026)	\$ 73,940.00	2026
Z	2GM	10567	HEDERMAN BROTHERS,LLC(EX.2017-2026)	\$ 500,500.00	2026
Z	2GM	10622	TOWER AUTOMOTIVE (EXEMPT 2018-2027)	\$ 450,530.00	2027
Z	2GM	10624	WESTLAKE COMPOUNDS, LLC(EXEMPT 2018-2027)	\$ 3,440.00	2027
Z	2GM	10626	KASAI NORTH AMERICA INC (EX 2018-2027)	\$ 63,750.00	2027
Z	2GM	10636	HEDERMAN BROTHERS INC (EX.2018-2027)	\$ 64,320.00	2027
Z	2GM	11181	MADISON TIN, LLC (EXEMPT 1/1/19-12/31/28)	\$ 53,910.00	2028
Z	2GM	11182	D.B.C. CORPORATION (EXEMPT 2019-2028)	\$ 179,600.00	2028
Z	2GM	11188	WESTLAKE COMPOUNDS, LLC(EXEMPT 2019-2028)	\$ 31,330.00	2028
Z	2GM	11205	KASAI NORTH AMERICA INC (EX 2019-2028)	\$ 862,780.00	2028
Z	2GM	11212	MATHESON TRI-GAS INC EX(2019-2028)	\$ 443,740.00	2028
Z	2GM	11722	WESTLAKE COMPOUNDS, LLC(EXEMPT 2020-2029)	\$ 73,170.00	2029
Z	2GM	11728	KASAI NORTH AMERICA INC (EX 2020-2029)	\$ 477,780.00	2029
Z	2GM	11729	TOWER AUTOMOTIVE (EXEMPT 2020-2029)	\$ 541,040.00	2029
Z	2GM	11734	SYSTEMS ELECTRO COATING, LLC	\$ 14,710.00	2029
Z	2GM	11737	FASTENAL COMPANY	\$ 343,060.00	2029
Z	2GM	11960	TOWER AUTOMOTIVE (EXEMPT 2021-2030)	\$ 669,860.00	2030
Z	2GM	11967	WESTLAKE COMPOUNDS, LLC(EXEMPT 2021-2030)	\$ 5,990.00	2030
Z	2GM	12415	TOWER AUTOMOTIVE (EXEMPT 2022-2031)	\$ 369,220.00	2031
Z	2GM	12422	KASAI NORTH AMERICA INC (EX 2022-2031)	\$ 449,700.00	2031
<b>Following PPINs - Industrial Exemption for County Only</b>					
Y	2GM	12965	D.B.C. CORPORATION (EXEMPT 2023-2032)	\$ 130,640.00	2032
Y	2GM	13017	WESTLAKE COMPOUNDS, LLC EXEMPT 2023-2032	\$ 192,320.00	2032
Y	2GM	13377	MADISON TIN, LLC (EXEMPT 1/1/24-12/31/33)	\$ 78,740.00	2033
Y	2GM	13378	WESTLAKE COMPOUNDS, LLC EXEMPT 2024-2033	\$ 165,710.00	2033

This list represents personal property parcels with an active industrial exemption (per 27-31-101 or 27-31-105) in the current 2024 tax roll within the City of Gluckstadt. Values are subject to change.

<b>Tax District</b>	<b>PPIN</b>	<b>DBA</b>			
2GM	13501	WESTLAKE			
2GM	9400	CARDINAL HEALTH 110 INC			
2GM	13054	D.B.C.			
2GM	12114	FASTENAL COPANY			
2GM	13153	VERTEX AEROPACE LLC (FKA L-3 VERTEX)			
2GM	13077	LEVI STRAUSS & CO			
<b><i>Following PPINs have a freeport warehouse exemption approved for County only.</i></b>					
2GM	Various	SANHUA			
2GM	Various	HUNTER ENGINEERING COMPANY			
<b><i>This list represents personal property entities with an approved freeport warehouse exemption per 27-31-51.</i></b>					





## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 09/10/24

**SUBJECT:** Request to Publish FY25 Tax Levy and FY25 Municipal Budget (MCJ)

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I am requesting authorization from the Mayor and Board to publish the adopted FY25 Tax Levy (9/6/24) and the FY25 Municipal Budget (9/13/24). Copies of the final budget will be available at city hall for the public.

Let me know if you have any questions.

Thanks,

Lindsay

**Municipal Compliance Questionnaire**

As part of the municipality's audit, the governing authorities of the municipality must make certain assertions with regard to legal compliance. The municipal compliance questionnaire was developed for this purpose.

The following questionnaire and related certification must be completed at the end of the municipality's fiscal year and entered into the official minutes of the governing authorities at their next regular meeting.

The governing authorities should take care to answer these questions accurately. Incorrect answers could reduce the auditor's reliance on the questionnaire responses, resulting in the need to perform additional audit procedures at added cost.

**Information**

*Note: Due to the size of some municipalities, some of the questions may not be applicable. If so, mark N/A in answer blanks. Answers to other questions may require more than "yes" or "no," and, as a result, more information on this questionnaire may be required and/or separate work papers may be needed.*

- 1. Name and address of municipality:  
City of Gluckstadt  
343 Distribution Drive, Gluckstadt, MS 39110
- 2. List the date and population of the latest official U.S. Census or most recent official census:  
2020 Census  
3600 population
- 3. Names, addresses and telephone numbers of officials (include elected officials, chief administrative officer, and attorney).  
See attached.
- 4. Period of time covered by this questionnaire: (FY24)  
 From: 9/30/23 To: 9/30/24
- 5. Expiration date of current elected officials' term: 2025  
\* Election, June 2025 \*

# MUNICIPAL COMPLIANCE QUESTIONNAIRE

Year Ended September 30, 2024

Answer All Questions: Y - YES, N - NO, N/A - NOT APPLICABLE

## PART I - General

- 1. Have all ordinances been entered into the ordinance book and included in the minutes? (Section 21-13-13) Y
- 2. Do all municipal vehicles have public license plates and proper markings? (Sections 25-1-87 and 27-19-27) Y
- 3. Are municipal records open to the public? (Section 25-61-5) Y
- 4. Are meetings of the board open to the public? (Section 25-41-5) Y
- 5. Are notices of special or recess meetings posted? (Section 25-41-13) Y
- 5. Are all required personnel covered by appropriate surety bonds?
  - Board or council members (Sec. 21-17-5) Y
  - Appointed officers and those handling money, see statutes governing the form of government (i.e., Section 21-3-5 for Code Charter) Y
  - Municipal clerk (Section 21-15-38) Y
  - Deputy clerk (Section 21-15-23) Y
  - Chief of police (Section 21-21-1) Y
  - Deputy police (Section 45-5-9) (if hired under this law) Y
- 7. Are minutes of board meetings prepared to properly reflect the actions of the board? (Sections 21-15-17 and 21-15-19) Y
- 8. Are minutes of board meetings signed by the mayor or majority of the board within 30 days of the meeting? (Section 21-15-33) Y
- 9. Has the municipality complied with the nepotism law in its employment practices? (Section 25-1-53) Y
- 10. Did all officers, employees of the municipality, or their relatives avoid any personal interest in any contracts with the municipality during their term or within one year after their terms of office or employment? (Section 25-4-105) Y
- 11. Does the municipality contract with a Certified Public Accountant or an auditor approved by the State Auditor for its annual audit within twelve months of the end of each fiscal year? (Section 21-35-31) Y

Y  
(FY23 & FY24)  
Audit schedule  
Dec. 2024

12. Has the municipality published a synopsis or notice of the annual audit within 30 days of acceptance?  
(Section 21-35-31 or 21-17-19) Y

**PART II - Cash and Related Records**

1. Where required, is a claims docket maintained?  
(Section 21-39-7) Y

2. Are all claims paid in the order of their entry in the claims docket? (Section 21-39-9) Y

3. Does the claims docket identify the claimant, claim number, amount and fund from which each warrant will be issued?  
(Section 21-39-7) Y

4. Are all warrants approved by the board, signed by the mayor or majority of the board, attested to by the clerk, and bearing the municipal seal? (Section 21-39-13) Y

5. Are warrants for approved claims held until sufficient cash is available in the fund from which it is drawn?  
(Section 21-39-13) Y

6. Has the municipality adopted and entered on its minutes a budget in the format prescribed by the Office of the State Auditor? (Sections 21-35-5, 21-35-7 and 21-35-9) Y

7. Does the municipality operate on a cash basis budget, except for expenditures paid within 30 days of fiscal year end or for construction in progress? (Section 21-35-23) Y

8. Has the municipality held a public hearing and published its adopted budget? (Sections 21-35-5, 27-39-203, & 27-39-205) Y

9. Has the municipality complied with legal publication requirements when budgetary changes of 10% or more are made to a department's budget? (Section 21-35-25) Y

10. If revenues are less than estimated and a deficit is anticipated, did the board revise the budget by its regular July meeting? (Section 21-35-25) Y (N/A)

- 11. Have financial records been maintained in accordance with the chart of accounts prescribed by the State Auditor? (Section 21-35-11) Y
- 12. Does the municipal clerk submit to the board a monthly report of expenditures against each budget item for the preceding month and fiscal year to date and the unexpended balances of each budget item? (Section 21-35-13) Y
- 13. Does the board avoid approving claims and the city clerk not issue any warrants which would be in excess of budgeted amounts, except for court-ordered or emergency expenditures? (Section 21-35-17) Y
- 14. Has the municipality commissioned municipal depositories? (Sections 27-105-353 and 27-105-363) Y
- 15. Have investments of funds been restricted to those instruments authorized by law? (Section 21-33-323) Y
- 16. Are donations restricted to those specifically authorized by law? [Section 21-17-5 (Section 66, Miss. Constitution) -- Sections 21-19-45 through 21-19-59, etc.] Y
- 17. Are fixed assets properly tagged and accounted for? (Section II - Municipal Audit and Accounting Guide) Y
- 18. Is all travel authorized in advance and reimbursements made in accordance with Section 25-3-41? Y
- 19. Are all travel advances made in accordance with the State Auditor's regulations? (Section 25-3-41) Y

**PART III - Purchasing and Receiving**

- 1. Are bids solicited for purchases, when required by law (written bids and advertising)? [Section 31-7-13(b) and (c)] Y
- 2. Are all lowest and best bid decisions properly documented? [Section 31-7-13(d)] Y
- 3. Are all one-source item and emergency purchases documented on the board's minutes? [Section 31-7-13(m) and (k)] Y
- 4. Do all officers and employees understand and refrain from accepting gifts or kickbacks from suppliers? (Section 31-7-23) Y

**PART IV - Bonds and Other Debt**

- 1. Has the municipality complied with the percentage of taxable property limitation on bonds and other debt issued during the year? (Section 21-33-303) Y
- 2. Has the municipality levied and collected taxes, in a sufficient amount for the retirement of general obligation debt principal and interest? (Section 21-33-87) Y
- 3. Have the required trust funds been established for utility revenue bonds? (Section 21-27-65) N/A
- 4. Have expenditures of bond proceeds been strictly limited to the purposes for which the bonds were issued? (Section 21-33-317) Y
- 5. Has the municipality refrained from borrowing, except where it had specific authority? (Section 21-17-5) Y

**PART V - Taxes and Other Receipts**

- 1. Has the municipality adopted the county ad valorem tax rolls? (Section 27-35-167) Y
- 2. Are interest and penalties being collected on delinquent ad valorem taxes? (Section 21-33-53) Y
- 3. Has the municipality conducted an annual land sale for delinquent ad valorem taxes? (Section 21-33-63) N/A - COUNTY
- 4. Have the various ad valorem tax collections been deposited into the appropriate funds? (Separate Funds for Each Tax Levy) (Section 21-33-53) Y
- 5. Has the increase in ad valorem taxes, if any, been limited to amounts allowed by law? (Sections 27-39-320 and 27-39-321) N/A - BOA HAS NOT RATED
- 6. Are local privilege taxes collected from all businesses located within the municipality, except those exempted? (Section 27-17-5) Y
- 7. Are transient vendor taxes collected from all transient vendors within the municipality, except those exempted? (Section 75-85-1) Y
- 8. Is money received from the state's "Municipal Fire Protection Fund" spent only to improve municipal fire departments? (Section 83-1-37) N/A - FIRE DISTRICT

- 9. Has the municipality levied or appropriated not less than 1/4 mill for fire protection and certified to the county it provides its own fire protection or allowed the county to levy such tax? (Sections 83-1-37 and 83-1-39) ✓
- 10. Are state-imposed court assessments collected and settled monthly? (Section 99-19-73, 83-39-31, etc.) ✓
- 11. Are all fines and forfeitures collected when due and settled immediately to the municipal treasury? (Section 21-15-21) ✓
- 12. Are bids solicited by advertisement or, under special circumstances, three appraisals obtained when real property is sold? (Section 21-17-1) ✓
- 13. Has the municipality determined the full and complete cost for solid waste for the previous fiscal year? (Section 17-17-347) N/A - COUNTY CONTRACT
- 14. Has the municipality published an itemized report of all revenues, costs and expenses incurred by the municipality during the immediately preceding fiscal year in operating the garbage or rubbish collection or disposal system? (Section 17-17-348) N/A - COUNTY
- 15. Has the municipality conducted an annual inventory of its assets in accordance with guidelines established by the Office of the State Auditor? (MMAAG) Y





(MUNICIPAL NAME)

**Certification to Municipal Compliance Questionnaire**

**Year Ended September 30, 2024**

We have reviewed all questions and responses as contained in this Municipal Compliance Questionnaire for the Municipality of Gluckstadt, and, to the best of our knowledge and belief, all responses are accurate.

Lindsay Keelun  
(City Clerk's Signature)

\_\_\_\_\_  
(Mayor's Signature)

9/5/2024  
(Date)

\_\_\_\_\_  
(Date)

Minute Book References: 9/10/24 Minutes

Book Number \_\_\_\_\_

Page \_\_\_\_\_

*(Clerk is to enter minute book references when questionnaire is accepted by board.)*



**From:** [Amy](#)  
**To:** [Lindsay Kellum](#)  
**Cc:** [Tim Youngblood](#)  
**Subject:** BCBS Renewal 2024  
**Date:** Tuesday, August 27, 2024 8:30:24 AM  
**Attachments:** [City of Gluckstadt Renewal 2024.pdf](#)  
[City of Gluckstadt Renewal Options 2024.pdf](#)  
**Importance:** High

---

August 27, 2024

To: Lindsay Kellum  
City of Gluckstadt

From: Alan Tanguay/TC Castleberry  
Mississippi Group Marketing,  
PA

Re: Blue Cross & Blue Shield Renewal  
Options  
Renewal effective date **November 1, 2024**

Attached for review is your renewal from Blue Cross Blue Shield, the **overall cost** for your groups BCBS medical renewal is receiving a **-7.3% decrease (this percentage reflects the annual changes for 2023 to include any rate reductions received in August)** effective November 1, 2024. If your group is accepting the medical renewal send back to our office with a **“No Change”** effective **October 15, 2024**. I have included renewal options for your review. If your group is accepting the medical renewal send back to our office with a **“No Change”** effective **October 15, 2024**.

The renewal change will be effective as of **November 1, 2024**; If you desire to make benefit changes, this change will need to be completed no later than **October 15, 2024**, please see the attached alternate plans.

**Important notes:**

**BCBS Centers of Excellence:**

When a Member receives Specialty Services at a Center of Excellence Network Provider, only the Network facility and the Network Physician surgeon performing the covered Specialty Service will be paid at the higher co-insurance level.

Other network professional covered services to include Anesthesia; it will pay to the network provider at co-insurance level.

**Blue Primary Care Network Providers:**

Blue Cross & Blue Shield of Mississippi is partnering with **“Blue Primary Care Network Providers”** and clinics across the state to serve as your **“home”** for every care need from the sniffles or sprains to annual check-ups and management of health risk like blood pressure, cholesterol and blood sugar. **Your Blue Primary Care Home** can also provide wellness coaching support for reaching health goals and care coordination guidance when specialty care is needed.

**September** is your group's open enrollment period. For those employees and/or dependents that did not elect coverage during their initial enrollment opportunity, this open enrollment period would be their opportunity to enroll in the group coverage. Should they choose not to enroll they will, again, be excluded from participation until open enrollment next year, 2024, unless they experience a qualifying event (i.e.) birth of a child, loss of coverage, marriage, divorce, etc.

If no benefit changes, simply return this letter by fax, email or by mail stating "no change" with your initials. **Should you have any questions or concerns, please give us a call.**

**We (MGM) would like to review other ancillary benefit options available through our office i.e. Critical Illness, Life, Dental and Vision. If you would like our office to do a review of your other benefits please call 601-982-2580, so that you can request additional information or if you have any questions.**

Thank you,  
*Alan Tanguay/TC Castleberry*



- Maintenance
- Transactions
- Be RxSmart
- Group Payment Status
- Information and Training
- Download
- News
- Links
- Value of Blue Partnership
- Home

Blue Care Group Renewals

City of Gluckstadt

Current Coverage

<a href="#">Summary of Benefits »</a> <a href="#">Subscriber Details »</a>	<b>Current Total</b>	<b>Renewal Total</b>
	<b>\$20,839.37</b>	<b>\$19,404.38</b>
Medical Deductible	\$1,250	
Prescription Drug Deductible	\$100	
Out-of-Pocket Max	\$6,500	
Coinsurance	80%	
Office Visit Co-pay: Prescription Drug Co-pay: Primary Care <b>\$25</b> Category 1 <b>\$10</b> Category 2 <b>\$25</b> Specialist <b>\$40</b> Category 3 <b>\$50</b> Category 4 <b>\$100</b>		

[Keep Current Plan »](#)

View a New Product

- Blue Care Group
- Blue Health Savings
- Benefit Choice

Benefit Plan Options:

Benefit Plan	Medical Deductible	Prescription Drug Deductible	Out-of-Pocket Max	Premium Total
<b>- BCG Premium 500 90%</b>	\$500	\$100	\$1,100	\$22,207.76

Plan Details

**Coinsurance** 90%

**Office Visit Co-pay:** Primary Care **\$15** Specialist **\$25**

**Prescription Drug Co-pay:** Category 1 **\$10** Category 2 **\$25** Category 3 **\$50** Category 4 **\$100**

[Summary of Benefits »](#)

[Subscriber Details »](#)

[Select Plan »](#)

<b>- BCG Premium 750 90%</b>	\$750	\$100	\$1,050	\$22,227.96
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Plan Details

**Coinsurance** 90%

**Office Visit Co-pay:** Primary Care **\$15** Specialist **\$25**

**Prescription Drug Co-pay:** Category 1 **\$10** Category 2 **\$25** Category 3 **\$50** Category 4 **\$100**

[Summary of Benefits »](#)

[Subscriber Details »](#)

[Select Plan »](#)

<b>- BCG Premium 2750 90%</b>	\$2,750	\$300	\$6,200	\$18,913.26
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Plan Details

**Coinsurance** 90%

**Office Visit Co-pay:** Primary Care **\$25** Specialist **\$40**

[Summary of Benefits »](#)

Section 9, IF

Benefit Plan	Medical Deductible	Prescription Drug Deductible	Out-of-Pocket Max	Premium Total															
<p><b>Prescription Drug Co-pay:</b></p> <table border="0"> <tr> <td>Category 1</td> <td>\$10</td> <td>Category 2</td> <td>\$35</td> </tr> <tr> <td>Category 3</td> <td>\$75</td> <td>Category 4</td> <td>\$100</td> </tr> </table> <p style="text-align: right;"><a href="#">Subscriber Details &gt;&gt;</a></p> <p style="text-align: right;"><a href="#">Select Plan &gt;&gt;</a></p>					Category 1	\$10	Category 2	\$35	Category 3	\$75	Category 4	\$100							
Category 1	\$10	Category 2	\$35																
Category 3	\$75	Category 4	\$100																
<b>- BCG Plus 2300 90%</b>	\$2,300	\$250	\$5,600	\$19,572.39															
<p><b>Plan Details</b></p> <table border="0"> <tr> <td><b>Coinsurance</b></td> <td>90%</td> <td><b>Office Visit Co-pay:</b></td> <td>Primary Care \$15 Specialist \$25</td> <td><a href="#">Summary of Benefits &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td><b>Prescription Drug Co-pay:</b></td> <td>Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100</td> <td><a href="#">Subscriber Details &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><a href="#">Select Plan &gt;&gt;</a></td> </tr> </table>					<b>Coinsurance</b>	90%	<b>Office Visit Co-pay:</b>	Primary Care \$15 Specialist \$25	<a href="#">Summary of Benefits &gt;&gt;</a>			<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>					<a href="#">Select Plan &gt;&gt;</a>
<b>Coinsurance</b>	90%	<b>Office Visit Co-pay:</b>	Primary Care \$15 Specialist \$25	<a href="#">Summary of Benefits &gt;&gt;</a>															
		<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>															
				<a href="#">Select Plan &gt;&gt;</a>															
<b>- BCG Plus 650 80%</b>	\$650	\$100	\$7,400	\$19,717.40															
<p><b>Plan Details</b></p> <table border="0"> <tr> <td><b>Coinsurance</b></td> <td>80%</td> <td><b>Office Visit Co-pay:</b></td> <td>Primary Care \$25 Specialist \$40</td> <td><a href="#">Summary of Benefits &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td><b>Prescription Drug Co-pay:</b></td> <td>Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100</td> <td><a href="#">Subscriber Details &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><a href="#">Select Plan &gt;&gt;</a></td> </tr> </table>					<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$25 Specialist \$40	<a href="#">Summary of Benefits &gt;&gt;</a>			<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>					<a href="#">Select Plan &gt;&gt;</a>
<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$25 Specialist \$40	<a href="#">Summary of Benefits &gt;&gt;</a>															
		<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>															
				<a href="#">Select Plan &gt;&gt;</a>															
<b>- BCG Plus 900 80%</b>	\$900	\$100	\$6,850	\$19,539.80															
<p><b>Plan Details</b></p> <table border="0"> <tr> <td><b>Coinsurance</b></td> <td>80%</td> <td><b>Office Visit Co-pay:</b></td> <td>Primary Care \$25 Specialist \$40</td> <td><a href="#">Summary of Benefits &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td><b>Prescription Drug Co-pay:</b></td> <td>Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100</td> <td><a href="#">Subscriber Details &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><a href="#">Select Plan &gt;&gt;</a></td> </tr> </table>					<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$25 Specialist \$40	<a href="#">Summary of Benefits &gt;&gt;</a>			<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>					<a href="#">Select Plan &gt;&gt;</a>
<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$25 Specialist \$40	<a href="#">Summary of Benefits &gt;&gt;</a>															
		<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$25 Category 3 \$50 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>															
				<a href="#">Select Plan &gt;&gt;</a>															
<b>- BCG Standard 3700 80%</b>	\$3,700	\$250	\$9,450	\$17,056.73															
<p><b>Plan Details</b></p> <table border="0"> <tr> <td><b>Coinsurance</b></td> <td>80%</td> <td><b>Office Visit Co-pay:</b></td> <td>Primary Care \$50 Specialist \$75</td> <td><a href="#">Summary of Benefits &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td><b>Prescription Drug Co-pay:</b></td> <td>Category 1 \$10 Category 2 \$35 Category 3 \$75 Category 4 \$100</td> <td><a href="#">Subscriber Details &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><a href="#">Select Plan &gt;&gt;</a></td> </tr> </table>					<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$50 Specialist \$75	<a href="#">Summary of Benefits &gt;&gt;</a>			<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$35 Category 3 \$75 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>					<a href="#">Select Plan &gt;&gt;</a>
<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$50 Specialist \$75	<a href="#">Summary of Benefits &gt;&gt;</a>															
		<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$35 Category 3 \$75 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>															
				<a href="#">Select Plan &gt;&gt;</a>															
<b>- BCG Standard 5400 80%</b>	\$5,400	\$150	\$9,450	\$17,179.79															
<p><b>Plan Details</b></p> <table border="0"> <tr> <td><b>Coinsurance</b></td> <td>80%</td> <td><b>Office Visit Co-pay:</b></td> <td>Primary Care \$25 Specialist \$40</td> <td><a href="#">Summary of Benefits &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td><b>Prescription Drug Co-pay:</b></td> <td>Category 1 \$10 Category 2 \$35 Category 3 \$75 Category 4 \$100</td> <td><a href="#">Subscriber Details &gt;&gt;</a></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><a href="#">Select Plan &gt;&gt;</a></td> </tr> </table>					<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$25 Specialist \$40	<a href="#">Summary of Benefits &gt;&gt;</a>			<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$35 Category 3 \$75 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>					<a href="#">Select Plan &gt;&gt;</a>
<b>Coinsurance</b>	80%	<b>Office Visit Co-pay:</b>	Primary Care \$25 Specialist \$40	<a href="#">Summary of Benefits &gt;&gt;</a>															
		<b>Prescription Drug Co-pay:</b>	Category 1 \$10 Category 2 \$35 Category 3 \$75 Category 4 \$100	<a href="#">Subscriber Details &gt;&gt;</a>															
				<a href="#">Select Plan &gt;&gt;</a>															

Benefit Plan	Medical Deductible	Prescription Drug Deductible	Out-of-Pocket Max	Premium Total
<b>- BCG Standard 3350</b> 70%	\$3,350	\$250	\$9,450	\$17,225.38
<b>Plan Details</b> <b>Coinsurance</b> 70% <b>Office Visit Co-pay:</b> Primary Care \$30 Specialist \$50 <a href="#">Summary of Benefits &gt;</a> <b>Prescription Drug Co-pay:</b> Category 1 \$10 Category 2 \$35 <a href="#">Subscriber Details &gt;</a> Category 3 \$75 Category 4 \$100 <a href="#">Select Plan &gt;</a>				
<b>- BCG Standard 3800</b> 70%	\$3,800	\$250	\$9,450	\$17,073.09
<b>Plan Details</b> <b>Coinsurance</b> 70% <b>Office Visit Co-pay:</b> Primary Care \$30 Specialist \$50 <a href="#">Summary of Benefits &gt;</a> <b>Prescription Drug Co-pay:</b> Category 1 \$10 Category 2 \$35 <a href="#">Subscriber Details &gt;</a> Category 3 \$75 Category 4 \$100 <a href="#">Select Plan &gt;</a>				
<b>- BCG Standard 1250</b> 80%	\$1,250	\$100	\$6,500	\$19,404.38
<b>Plan Details</b> <b>Coinsurance</b> 80% <b>Office Visit Co-pay:</b> Primary Care \$25 Specialist \$40 <a href="#">Summary of Benefits &gt;</a> <b>Prescription Drug Co-pay:</b> Category 1 \$10 Category 2 \$25 <a href="#">Subscriber Details &gt;</a> Category 3 \$50 Category 4 \$100 <a href="#">Select Plan &gt;</a>				
<b>- BCG Basic 5450</b> 60%	\$5,450	Combined with Medical	\$9,450	\$13,642.08
<b>Plan Details</b> <b>Coinsurance</b> 60% <b>Office Visit Coinsurance:</b> Primary Care 60% Specialist 60% <a href="#">Summary of Benefits &gt;</a> <b>Prescription Drug Coinsurance:</b> Category 1 * \$10* Category 2 60% <a href="#">Subscriber Details &gt;</a> Category 3 60% Category 4 60% <a href="#">Select Plan &gt;</a> This Blue Care Group plan medical and prescription drug deductibles are combined and this amount must be met before benefits will be paid at 60%. Category 1* prescription drugs are covered at a \$10 co-pay that is not subject to the combined deductible.				

[« Return to Group List](#)



PHYSICAL ADDRESS  
500 Steed Road  
Ridgeland, MS 39157  
  
PHONE 888-859-3795

MAILING ADDRESS  
P.O. Box 14067  
Jackson, MS 39236  
  
FAX 601-956-3795

Section 9, IF)

September 06, 2024

City Of Gluckstadt (26556)  
Attn: Lindsay Kellum  
343 Distribution Dr.  
Madison, MS 39110

**RE: City Of Gluckstadt (26556)  
CONTRACT # 22122  
CONTRACT RENEWAL**

Dear Lindsay Kellum:

We welcome this opportunity to acknowledge and thank you for your 12-month contract with Delta Dental Insurance Company. Your employees are among the millions of employees nationwide who enjoy dental benefits from Delta Dental. This renewal letter should be kept with your contract documents and serves as an amendment to your Delta Dental contract.

Your contract renewal period is November 1, 2024 through October 31, 2025. To renew your contract, you need only begin paying the rates outlined below with the contract term.

	<u>CURRENT RATES</u>	<u>RENEWAL RATES</u>
Participant:	\$ 24.61	\$ 27.07
Plus One:	\$ 50.08	\$ 55.09
Family:	\$ 75.12	\$ 82.63

The crucial assumption made by Delta Dental in the calculation of your rates is that the employer/employee contribution levels as stated in your contract remain the same. If the contribution levels and/or enrollment guidelines have changed, please notify us immediately.



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Ridgeland, MS 39157  
  
PHONE 888-859-3795

MAILING ADDRESS  
P.O. Box 14067  
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FAX 601-956-3795

Section 9, IF)

**Page 2**  
**Contract # 22122**

As you may know, one aspect of the federal Affordable Care Act ("ACA") is an annual assessment on all health insurance carriers. The ACA sets the industry's total assessment at \$8 billion dollars in 2014, increasing annually up to \$14.3 billion in 2018. Dental insurers are included in the types of health insurers subject to the assessment. Each insurer will be required to fund a portion of the industry's total assessment based on the insurer's share of total health insurance premiums.

Until the Federal Government issues formal guidance, the exact calculation and timing of the assessment is unclear. Therefore, the premium rates quoted in this renewal do not include the expected cost of the ACA insurer assessment. Delta Dental reserves the right to modify our rates or otherwise recoup any taxes, assessments, or fees created by legislation or regulation. Therefore, by accepting this renewal, you acknowledge that the schedule of premium rates in the policy may be adjusted to include the estimated cost of the ACA insurer fee in addition to the quoted premium rates, provided the assessment is actually implemented as planned.

Should you choose not to renew your contract, written notification must be received by Certified Return Receipt on or before October 1, 2024.

We appreciate your continued confidence in Delta Dental. We are proud of our association with you and look forward to a long and mutually successful relationship in the future.

Sincerely,

David R. White  
President, CEO

cc: NELSON MORRISON



September 09, 2024

City of Gluckstadt  
Attn: Lindsay Kellum  
343 Distribution Dr  
Madison, MS 39110

**RE: Davis Vision Renewal #26556**

We appreciate your business and thank you for choosing Davis Vision. Our commitment is to provide you with quality vision benefits, exceptional service, and value at a reasonable cost.

The plan is reviewed annually, and this renewal letter should be kept with your contract documents and serves as an amendment to your vision contract.

Your contract renewal period is 11/01/2024 through 10/31/2025. To renew your contract, you need only begin paying the rates outlined below with the new contract term.

	<b>CURRENT RATES</b>	<b>RENEWAL RATES</b>
Participant:	\$ 9.43	\$ 9.43
Plus Spouse:	\$ 17.18	\$ 17.18
Plus Child(ren):	\$ 18.03	\$ 18.03
Family:	\$ 27.51	\$ 27.51

The vision rates above are inclusive of premium and an additional administrative fee for service provided by MWG Administrators.

Your continued confidence in Davis Vision is appreciated. We are proud of our association with you and look forward to a long and mutually successful relationship in the future.

Sincerely,



David R. White  
President, CEO  
MWG Administrators

cc: Nelson Morrison

**From:** [Lindsay Kellum](#)  
**To:** [Jayce Powell](#); [Jayce Powell Personal Email](#); [John Taylor](#); [John Taylor](#); [Lisa Williams](#); [Lisa Williams Personal Email](#); [Miya Bates](#); [Miya Bates Personal Email](#); [Walter Morrison](#); [Wesley Slay](#); [Wesley Slay Personal Email](#)  
**Cc:** [Scott Maugh](#); [Janet Brooks](#); [Tim Youngblood](#); [jscanlon@millsscanlon.com](mailto:jscanlon@millsscanlon.com); [Zachary Giddy](#)  
**Subject:** Supplemented Information for 9/10/24 Agenda: City Clerk's Department, Restructuring: Deputy City Clerk I Position  
**Date:** Monday, September 9, 2024 4:58:00 PM  
**Attachments:** [9.9.24 Memo, City Clerk Dept. Organization & Restructuring of Duties.pdf](#)  
[Job Description Deputy Clerk I Gluckstadt Final Draft LK 9.9.24.pdf](#)  
[City Organizational Chart, Draft FINAL.pdf](#)  
[Flowood City Clerk's Office Structure.pdf](#)  
[Organizational Chart - City Clerk 2024 Byram Example.pdf](#)  
**Importance:** High

---

Good Evening, Mayor and Board,

Please find attached documents to supplement the 9/10 board agenda under my section (item 10-G). As a reminder, the FY25 budget was amended at the last budget workshop(#4) held on 8/28 to move \$20,000 from my contractual services budget (previously planned for a part time HR person) over to the personnel budget category to plan for a restructuring of the “Fixed Assets and Purchasing” position vacated by Toni Young in mid-August to a “Deputy Clerk I”; therefore, my budget is not increasing overall to plan for this new position. If you will recall, we hired Toni at the time we did in a limited capacity to alleviate an internal control issue in purchasing, specifically issuing requisitions and POs, as advised by our auditor, for a salary of \$38,000.00, plus benefits. I have thought through the new Deputy Clerk I position and salary, and believe it is best for my department for the following reasons:

1. The overall efficiency of my department and equitable distribution of duties/workload amongst myself, Scott and this new deputy;
2. Although human resource duties are limited and we are a small city, I believe the person charged with human resources needs to be a person of integrity that the staff sees at city hall day in and day out in order to build trusting relationships with, when they have to go to them with sensitive information; not a person that needs to be playing “catch up” or is out of the loop on common issues happening within and amongst departments; as a full time employee they are able to be held **more accountable** for their actions and decisions affecting the staff; Toni’s vacancy at the time she left allowed me the opportunity to combine these roles; we do not need a full time Human Resources director at this time or in the near future because of our size.
3. I think it is important to have another deputy to cross train in the event myself or Scott are unavailable, whether that is due to a conference, sickness, vacation, or an emergency like a car accident that leaves us incapacitated; therefore, city operations can continue to run smoothly.
4. I have taken the liberty to research and speak with several municipalities about the structure of their city clerk departments and overall city administration, and all are similarly situated with multiple deputies or clerks that have differing roles/functions: Byram (attached), Richland (awaiting org chart), Clinton (awaiting org chart), Flowood (attached) and Ridgeland (awaiting org chart).

5. Lastly, to establish seniority with the new clerk, Scott's title would change to Assistant City Clerk or Chief Deputy Clerk, and this person would need to report to him, second to reporting to me.

The City Clerk's office and duties are guided by approx. 181 statutes, we wear a number of differing hats and put out potential fires daily, and for this reason, any person charged with administering the duties of this office must be well rounded, highly motivated, able to multi-task, manage stress and think on their feet, but most importantly willing to learn and ensure compliance with state law. I believe I can find such a person, just as you all found me three years ago, and I found Janet and Scott, who have served this office and the public dutifully. I am impressed daily by my small staff and how hard they work to serve our great city.

I am asking you all to please trust that I know what is best for this department and the hires I put in place to make it run as efficiently as possible; if I hire someone who falls short or flat on their face, I will ultimately be responsible for said hire and will have to explain it to you all. I am going to do my best to not let any of you down, as I have always strived to do.

Please advise if there are any questions or concerns, or feel free to call me on my cell. I will forward the other org charts from remaining cities as I receive them. All of the above have been added to the updated agenda at this time.

Thank you for your consideration.

**LINDSAY LEONARD KELLUM**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)





# CITY OF GLUCKSTADT

MISSISSIPPI

OFFICE OF THE CITY CLERK

## MEMORANDUM

**TO:** Mayor & Board of Alderman

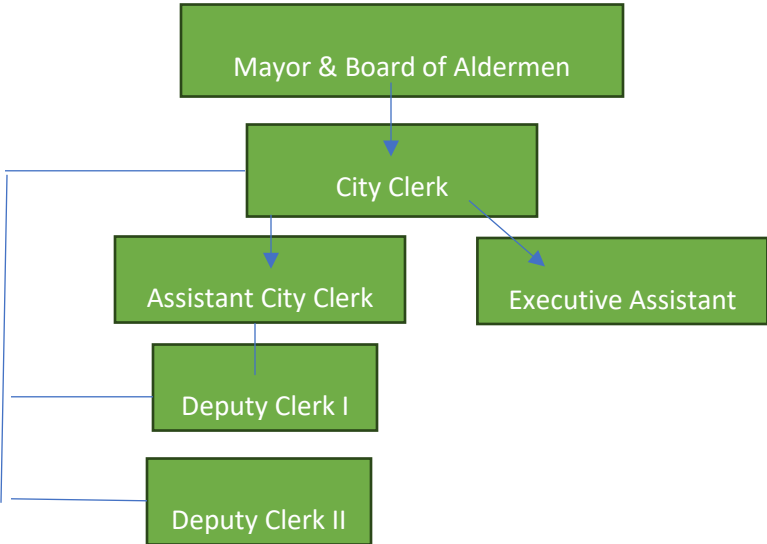
**FROM:** Lindsay Kellum, City Clerk

**DATE:** 09/10/2024

**SUBJECT:** Request to Amend Current Deputy City Clerk’s Job Title, Approve New Job Description for Deputy Clerk I, and Advertise for Open Position for City Clerk’s Office

I am requesting the Mayor and Board allow me to restructure / organize my department in the following manner for equitable workload and efficiency purposes:

- A) Change the former position of “Fixed Assets and Purchasing Clerk,” previously held by Toni Young and now vacant, to “Deputy Clerk I” and authorize the updated job description, duties & starting salary (\$42,000 - \$45,000 cap, + benefits); Reporting Directly to City Clerk, and/or Assistant City Clerk, if City Clerk is unavailable or as directed.
- B) Change the current title of “Deputy City Clerk,” held by Scott Maugh to “Assistant City Clerk (\*preferred\*) or Chief Deputy Clerk,” for seniority purposes only.
- C) Authorize publication and posting of the Deputy Clerk I position, now open with the City Clerk’s Office (attempting to bring before the board for hire by November 1<sup>st</sup>).
- D) Approve the City Clerk’s departmental organizational chart that will consist of the following (and has been added to the overall City Administration Organizational Chart found under Item 7-D), with the plan of hiring an additional “Deputy Clerk II” in 2027/2028, only if needed, due to growth:





## Job Description Deputy Clerk I Office of the City Clerk

<b>Job Title:</b>	<b>Deputy Clerk I</b>
<b>Department:</b>	<b>Office of the City Clerk</b>
<b>Employment Status:</b>	<b>Full Time</b>
<b>Location:</b>	<b>Gluckstadt, MS</b>
<b>Reports to:</b>	<b>City Clerk</b>
<b>FLSA Status:</b>	<b>Non-Exempt</b>
<b>Date:</b>	<b>9/10/2024</b>
<b>Starting Salary:</b>	<b>\$42,000.00</b>

**SUMMARY:** The Deputy Clerk I is an administrative position whose primary responsibility is to provide support and assistance to the City Clerk's office, under the direction of the City Clerk. The Deputy City Clerk I assists the City Clerk and the Assistant City Clerk in managing the daily operations of the City Clerk's Office, focusing primarily on human resource functions, purchasing & procurement, fixed assets, monthly board agenda preparation, communications and social media, as well as, travel and insurance processing. This role requires a strong knowledge of employment law and general municipal statutes and regulations, multi-tasking and organizational skills, attention to detail, and the ability to maintain confidentiality, while providing excellent customer service to the public, city officials, and staff.

### **ESSENTIAL FUNCTIONS**

The essential functions include, but are not limited to, the following duties:

### **EXAMPLES OF WORK:**

- Acts as a liaison between the City Clerk's office, other Departments, the Mayor, Aldermen, and the public as required; reports to the City Clerk directly and secondly, reports to the Assistant City Clerk, if the City Clerk is unavailable or directs; answers variety of written and telephone inquiries relating to routine operations of the City Clerk's office and the City Administration in general; proposes answers and solutions.
- In a professional and courteous manner, screens visitors to the City Clerk's office and answers division's incoming telephone lines; answers general questions related to city business; if unable to satisfy caller, routes call appropriately or take messages to include inquiries, requests, and complaints from public and provides appropriate follow up response.

- Responds to requests for information and refers certain requests and complaints from officials, customers, and the public to appropriate staff for resolution.
- Performs data entry and maintains databases for office records.
- Assists in filing, indexing and organized maintenance of city records.
- Reviews and compiles data for city projects and functions, as needed.
- Varied and routine office administrative tasks.
- Operates general office equipment (copy machine, fax machine, scanner) and must have strong knowledge of Microsoft Office Suite (Word, Excel, Power Point, Outlook).
- Inputs data, maintains logs and generates reports as directed.
- Drafts letters, correspondence, memoranda, reports, presentations, statements, tabulations, and other documents as directed (sometimes sensitive or confidential in nature).
- Proofs materials for accuracy, completeness, and compliance with City standards, policies, and procedures; ensures reports and documents for signature are accurate and complete.
- Required to undergo training on municipal administrative software system (Tyler Incode 10/9 System); required to undergo training for CMDCC designation through MSU's Center for Government & Community Development (if certificate not previously obtained).
- Performs highly responsible and complex clerical tasks in assisting in the City Clerk's department. Examples of work performed in this classification include, but are not limited to, the following tasks. These tasks may be amended, or other tasks may be assigned as necessary:

### **Human Resources**

- Administration of human resource functions, including recruitment, onboarding, benefits administration, employee record maintenance, employment issues, state reporting, and offboarding;
- Maintains and updates confidential personnel files and updates to payroll system, ensuring compliance with local, state, and federal regulations;
- Supports the board with implementation of human resource policies, working with the and procedures and assists departments with annual employee training and departmental performance evaluations;
- Attends employment law educational conferences and stays up to date with the latest changes to employment law, regulations, and trends;
- Assists in planning city events such as team building activities, city employee holiday gatherings, and employee recognition opportunities;

### **Purchasing & Procurement**

- Assists City Clerk in the procurement process, including review and preparation of departmental requisitions, solicitation of bids, and vendor communications;
- Ensures compliance with city purchasing policies and procedures, and maintains records of purchases, contracts, and vendor agreements;

- Monitors budget expenditures related to purchasing and provides reports to the City Clerk, Assistant City Clerk and Board, as needed;
- Maintains complete and accurate listings of city vendors and vendor files, processing updates in city software system;

### **Fixed Assets & Inventory**

- Maintains the city's fixed asset records, ensuring accurate data entry, tracking, reporting, depreciation, and auditing of city assets;
- Coordinates monthly physical inventory audits with departments and ensures the proper disposal or transfer of assets in compliance with city policies and state guidelines;
- Assist in the preparation of fixed asset reports for City Clerk, Assistant City Clerk and Board; issuance of financial statements and audits;
- Serves as the Official Property Officer for the City;

### **Monthly Agenda Preparation**

- Assists City Clerk in monthly regular and special called meeting agenda package preparation; takes and prepares minutes in City Clerk's absence, or as needed;
- Participates in meetings of the Board of Aldermen and other city committees, as necessary or directed;
- Assists City Clerk in maintenance of minute, resolution and ordinance book indexes and records;

### **Other Duties As Directed**

- Maintains city insurance files; processes surety bonds of employees, elected officials, and city property insurance; ensures timely contract renewals and proper documentation is recorded for audits;
- Processes travel vouchers for city employees and elected officials; maintains travel files and ensures compliance with city travel policies and regulations, state travel guidelines;
- Assists City Clerk with public records requests and records retention;
- Assists City Clerk in voter registration, elections training (Party Executive Committees, Municipal Election Commission & Poll Workers) and administration of municipal elections;
- Participates in all city-related events as necessary;
- Assists the public with inquiries related to the City Clerk's Office;
- Attends training and continual education programs as required;
- Strong familiarity (and ability to learn) a wide array of state and federal statutes and/or regulations impacting daily municipal operations; knowledge of general municipal laws (code charter form of government), i.e., employment law, purchasing law, ethics law, elections law, fixed assets guidelines, audit guidelines, ensuring city compliance with all.
- Always represents the City Clerk's office in a professional and courteous manner.

- Additional essential functions may be identified by the city and listed as such in the incumbents work appraisal elements. Various tasks may be assigned under each essential function. Those that are listed under the examples of work are not all inclusive; they are examples only and may be amended or added to as needed by the city.

### **SUPERVISORY RESPONSIBILITIES**

None required.

Incumbent performs other job-related tasks as assigned and required; any duties/ tasks included in the employee's performance evaluation elements are essential to that employee's position within the job classification.

### **MINIMUM QUALIFICATIONS:**

If a candidate believes he/she is qualified for the job although he/she does not have the minimum qualifications set forth below, he/she may request special consideration through substitution of related education and experience, demonstrating the ability to perform the essential functions of the position.

### **EDUCATION and/or EXPERIENCE:**

Graduation from an accredited four-year university with major courses in public administration, government, public policy, accounting and three (3) years of successful full-time paid employment in public administration or a demanding office environment.

OR

Any equivalent combination of education and experience substituting one (1) year of successfully completed college education (30 semester hours) for one (1) year of the required work experience.

### **KNOWLEDGE, SKILLS, ABILITIES, AND OTHER CHARACTERISTICS**

- Principles and practices of effective customer service and customer-oriented telephone etiquette able to meet and deal with the public tactfully and courteously both in-person and over the telephone.
- Considerable knowledge of modern office practices, administrative practices, and procedures, including file and document management procedures and practices.
- Considerable knowledge of the occupational hazards involved in the work and the proper safety precautions for the safe performance of the job.
- Ability to understand and follow oral and written instructions; and ability to compose effective working relations as necessitated by work assignments.
- Able to prioritize and make competent decisions while working on multiple tasks and/or projects.
- Ability to learn applicable state codes and/or federal regulations; research state statutes, attorney general opinions, cases and other legal memorandums as needed.
- Ability to learn city organization, ordinances, rules, policies, and procedures.



- Tech savvy and able to learn a highly advanced software system and perform routine maintenance on website / app administration updates.
- Ability to work independently without much supervision; ability to multi-task and pay attention to intricate details.
- Communicate clearly and effectively, both orally and in writing; correct utilization of the English language, including spelling, grammar, and punctuation.
- Advanced uses of word processing, graphics, spreadsheet, database, and other software to create documents and materials requiring the interpretation and manipulation of data, knowledge of standard office equipment.
- City administrative policies and procedures applicable to areas of assigned responsibility, including the requisitioning and purchasing of equipment and supplies and maintenance of public records.
- Manage stress effectively without it interfering with performance.
- Organize, set priorities, and exercise sound independent judgment within areas of responsibility.
- Interpret, apply, explain, and reach sound decisions in accordance with regulations, policies, and procedures. Type accurately at a speed necessary to meet the requirements of the position.
- Maintain strict confidentiality of privileged information.
- Use a high degree of tact, diplomacy, and discretion in dealing with sensitive and confidential situations and concerned internal and external parties.
- Establish and maintain highly effective working relationships with the City staff, Department heads, Mayor, City Council members, other elected and appointed officials, committee members, department directors and managers, staff, residents, representatives of civic and community groups, the media, the public, and others encountered in the course of work.

**PHYSICAL REQUIREMENTS:**

These physical requirements are not exhaustive and additional job-related physical demands may be added to these by the city if the need arises. Corrective devices may be used to meet these physical requirements.

Ability to walk, stand and occasionally move objects up to ten pounds found in office environment. Ability to see and discern forms, records, reports, maps, charts, diagrams, etc. Ability to give and receive information through speaking and listening. Use fingers and hands to work telephone, office equipment, and computer keyboard.

**OTHER REQUIREMENTS:**

Have and maintain a valid Mississippi Vehicle Operator's license; ability to get to and from work each day, 8:00 am – 5:00 pm.

**WORK ENVIRONMENT:**

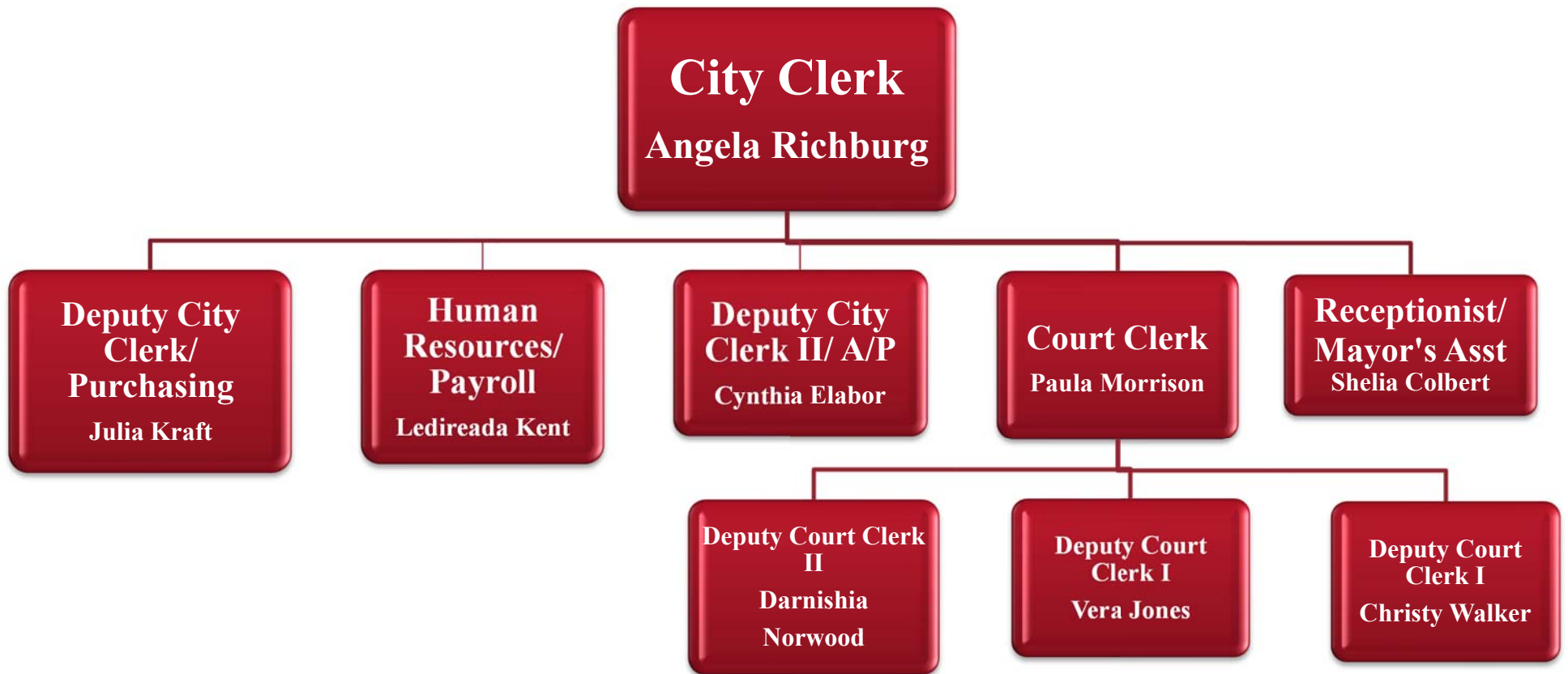
The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job.

The work environment is a typical office setting which is usually quiet with frequent interruptions.

I understand that the duties listed above are intended as illustrations of the diverse types of work that may be performed and the omission of specific statements of duties does not exclude them from the position. This Job Description does not constitute an employment agreement between the employer and employee, and I understand that the employee/employer relationship is "at-will." I also understand that this Job Description is subject to change by the employer as the needs of the employer and requirements of the job change.

A cover letter, resume and references may be mailed, hand-delivered or emailed to the following:

Attn: Ms. Lindsay Kellum  
City Clerk, City of Gluckstadt  
343 Distribution Drive  
Gluckstadt, MS 39110  
[info@gluckstatd.net](mailto:info@gluckstatd.net)



**From:** [Josh Carlisle](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** Flowood City Clerk/Admin office information  
**Date:** Monday, September 9, 2024 3:18:45 PM

Lindsay,

The City Clerk/administrative office is made up of the following positions:

- City Clerk/Comptroller
- Chief Deputy Clerk/Accounting
- AP/Fixed Asset Clerk
- Business/Special Event License Clerk
- Building Permit Clerk
- Payroll/Benefits Clerk
- Director of IT
- Economic Developer/Social Media/PR

	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11	Step 12
GENERAL AND ADMINISTRATIVE												
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Administrative Assistant	2,703	2,784	2,868	2,954	3,043	3,134	3,212	3,293	3,375	3,459	3,546	3,634
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Billing Clerk	2,827	2,912	2,999	3,089	3,182	3,277	3,359	3,443	3,529	3,617	3,708	3,801
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Permit Clerk	2,852	2,937	3,025	3,116	3,210	3,306	3,389	3,473	3,560	3,649	3,740	3,834
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Payroll and Insurance Clerk	2,952	3,040	3,131	3,225	3,322	3,422	3,507	3,595	3,685	3,777	3,871	3,968
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Deputy Clerk	3,043	3,135	3,229	3,325	3,425	3,528	3,616	3,707	3,799	3,894	3,992	4,091
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Accountant	3,228	3,325	3,424	3,527	3,633	3,742	3,835	3,931	4,029	4,130	4,233	4,339

*Josh Carlisle, CPA*  
 City Clerk/Comptroller  
 City of Flowood  
 2101 Airport Road, Ste. A  
 P.O. Box 320069  
 Flowood, MS 39232-0069  
 Phone: 601-939-4243 ext. 108  
 Fax: 601-420-3334

**From:** [Lindsay Kellum](#)  
**To:** [Walter Morrison](#)  
**Cc:** [Chris Buckner](#)  
**Subject:** SB2468 Funds, \$750,0000  
**Date:** Tuesday, July 30, 2024 10:31:00 AM

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DFA called to let me know we need to get approval for the board to set up another bank account at the August meeting & put the formal acceptance of the funds on our minutes; we are anticipated to receive then in mid-October to late-November.

Thanks,

**LINDSAY LEONARD KELLUM**  
City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
(769) 567-2306  
[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)



**From:** [Gilda Reyes](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** SB2468  
**Date:** Monday, August 12, 2024 1:27:55 PM

Lindsay,  
Here is the language for the new funding in SB2468. I will be getting back in touch with you in October. If you have any questions in the meantime, please call me.

hw	\$750,000	Gluckstadt, City of	To assist the City of Gluckstadt, Mississippi, in paying costs associated with improvements to Gluckstadt Road, including but not limited to , improvements to intersections addition to a westbound through lane from Interstate 55, traffic signals and streetlights and other improvements
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**Gilda Reyes**  
*Deputy Executive Director*  
601-359-5516  
501 North West Street, Woolfolk Building, Suite 1301A  
Jackson, MS 39201

**From:** [Gilda Reyes](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** RE: <EXTERNAL>: SB2468 Board Approval, Documentation for Board Packet  
**Date:** Thursday, September 5, 2024 12:08:58 PM

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Those forms will not be ready until October

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**From:** Lindsay Kellum <lindsay.kellum@gluckstadt.net>  
**Sent:** Thursday, September 5, 2024 12:05 PM  
**To:** Gilda Reyes <Gilda.Reyes@dfa.ms.gov>  
**Subject:** <EXTERNAL>: SB2468 Board Approval, Documentation for Board Packet  
**Importance:** High

Hi Gilda,

Do you have copies of the following ready for me to place on the 9/10 agenda (goes out to the board tomorrow)?

- MOU
- Ltr. Requesting Transfer of Funds
- Contact Information Form
- Verification Form

I have an item on the agenda already requesting authorization to open a new separate bank account for this purpose, but thought we could go ahead and add these items if available.

Thanks!

**LINDSAY LEONARD KELLUM**  
City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
(769) 567-2306  
[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)





## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 09/10/2024

**SUBJECT:** Mayor's Youth Council, Potential Conflict of Interest (Daughter of City Clerk, Addison Kellum-Thetford)

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My daughter, Addison, a current sophomore at Germantown High School has applied for the Mayor's Youth Council this year. She is my relative by blood and this could potentially cause a conflict of interest for me to recommend a budget for the council or sign any checks related to the Mayor's Youth Council, which may inadvertently provide a pecuniary benefit to her (city paid conference fees, t-shirts, awards, etc.). Therefore, if Addison is selected to be a member of the council, I would ask that the board approve the budget they see fit for the council, as well as allow my Deputy Clerk, Scott Maugh, to sign any warrants for payment to the council (or for associated invoices).

I have discussed this issue with the Mississippi Ethics Commission and cleared it ahead of her applying; this was his advice in order to prevent any potential conflict.

Let me know if you have any questions.

Thank you,

Lindsay





## CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** William Hall, Planning and Zoning Administrator

**DATE:** 8/30/2024

**SUBJECT:** General Update, Planning and Zoning/Building Department

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In the month of August, the Building Department issued 15 permits totaling \$5,789.

A total of 36 inspections occurred.

There are 152 active permits currently, not including sign permits.

At the August 27, 2024 Planning and Zoning Commission Meeting, the following actions were taken:

1. July 23, 2024 Meeting Minutes were approved.
2. The Oaks Site Plan was briefly discussed and the Recommendation of Approval to the Board of Aldermen was unanimously approved.
3. The Conditional Use of the Liquor Store Build Out located at the Sowell Road Shell Station, a site plan previously approved by the Board of Aldermen at the corner of Hwy 51 and Sowell Road, was discussed. The distance requirements were discussed with the nearest existing liquor store being approximately 9,200 feet away. Once they were determined as complying, the Recommendation of Conditional Use Approval to the Board of Aldermen was unanimously approved.
4. The Conditional Use for the Public/Quasi-Public Privately Owned Utility, Bear Creek Water (to be located on Church Road between the railroad tracks and Steel Technologies), was next discussed. The basic architecture was briefly discussed with the front building having public access areas and the rear building having controlled access for equipment and material storage. The Recommendation of Conditional Use Approval to the Board of Aldermen was unanimously approved.
5. The Conditional Use for Wellspring Church located at 418 Business Park in a previously approved and currently under construction building was discussed next. The building was original the Community Meeting Room for Mr. Johnny Gooch. The original intention was to have a location with different size leasable spaces for events and meeting. Examples such as wedding receptions, scout troops, a quilting group, and such were initially planned. Wellspring Church was going to lease the space on Sunday and Wednesday night as they searched for a new building. They were lead to purchase the building solely for the church to use, which changed the

occupancy to a Conditional Use requirement as being defined in the Zoning Ordinance as a Public/Quasi Public facility being "A. Churches and other religious institutions." The Recommendation of Conditional Use Approval to the Board of Aldermen was unanimously approved.

6. The Application for Rezoning of two parcels for Ferrous Processing and Trading Company was next discussed. Mr. Andy Clark spoke on behalf of Ferrous Processing and Trading Company. Concerns of dust on the existing gravel access drive had previously been discussed with the neighbors, and it was disclosed at the meeting that just that afternoon the current owners of the property, MMC Materials, had agreed to pave or concrete the drive before the ownership transfers. Ferrous Processing is a metal recycler that is not open to the public. They only accept the remnants of Nissan and it's suppliers with an estimated ten or fewer deliveries via truck per day. These are all new remnants with no fluids having been held in them. The remnants are then processed into compacted cubes for loading onto rail car via a new spur they will put in place in conjunction with the railroad company. All processed metals will leave via rail car only. Mr. Deviney and his legal representative spoke that their initial concern was dust issues from the gravel road, but with MMC Materials agreeing to hardscape the drive, that concern has been alleviated. The Recommendation of Approval to the Board of Aldermen was unanimously approved.
7. The election of the Planning and Zoning Commission Chairperson was next discussed. The Ordinance creating the Planning and Zoning Commission requires a Chairperson to be elected once a year, typically in the month of August. Any additional appointments within the Commission are optional. The opportunity for nominations was presented. The Commission opted to keep Mr. Sam McGaugh as the Chairperson of the Planning and Zoning Commission. This was approved unanimously.
8. The next appointed meeting will be September 24, 2024 at Gluckstadt City Hall in the Board Room.
9. Meeting Adjourned.

**MINUTES OF THE REGULAR MEETING  
OF THE PLANNING AND ZONING COMMISSION  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, August 27, 2024, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Sam McGaugh (Chairman)  
Tim Slattery  
Phillips King (via phone)  
Andrew Duggar  
Katrina B. Myricks (via phone)  
Kayce Saik

Absent:

Melanie Greer (Vice-Chairwoman)

Also present:

Zachary L. Giddy, Attorney  
William Hall, City of Gluckstadt

Chairman Sam McGaugh called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Chairman McGaugh opened the meeting with prayer and led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**

A) July 23, 2024 Planning and Zoning Meeting Minutes

**4. New Site Plan Considerations**

- A) Discussion and Consideration of The Oaks Site Plan
- B) Discussion and Consideration of Sowell Road Liquor Store Conditional Use
- C) Discussion and Consideration of Bear Creek Water Conditional Use
- D) Discussion and Consideration of Wellspring Church Conditional Use

**5. Request for Rezoning**

- A) Discussion and Consideration of Application for Rezoning, Ferrous Processing and Trading Company, 082E-15-037/00.00 and 082E-15-038/00.00 (R-1 to I-2)

**6. New Business**

- A) Election of Officers

**7. Next Meeting**

- A) The Next Planning and Zoning Meeting Will Be Held on September 24, 2024.

**8. Adjourn**

The Board considered the Minutes of the July 23, 2024, regular meeting. Commissioner Andrew Duggar moved to approve the minutes presented as written. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present Commissioners. The Chairman declared the motion carried.

**Site Plan – The Oaks**

The Board next considered the site plan for The Oaks Residence Personal Care Assisted Living facility in a C-2 zoning district located on Calhoun Station Parkway in the City of Gluckstadt and identified by Tax Parcel No. 082B-09-002/04.00. The Board was advised that everything has been submitted, including drainage plan and civil engineering plan. On motion by Commissioner Andrew Duggar and seconded by Commissioner Kayce Saik, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan as submitted. The Chairman declared the motion carried.

**Public Hearing for Application for  
Conditional Use Permit for Sowell Road Liquor Store**

The next matter of business brought for consideration is the Application for Conditional Use Permit request by Sowell Rd Shell, LLC for property located at the intersection of Sowell Road and Highway 51 in the City of Gluckstadt and identified by Tax Parcel No. 082F-14-019/01.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a retail liquor store on the subject property.

Daniel Woolridge, architect, received previous site plan approval. The hours of operation will be Monday through Saturday, 10:00 a.m. to 10:00 p.m. and closed on Sunday. The liquor store will be 3,100 sq. ft. and will have a main entrance on Highway 51.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a retail liquor store on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

### **Public Hearing for Application for Conditional Use Permit for Bear Creek Water Association**

The next matter of business brought for consideration is the Application for Conditional Use Permit request by Bear Creek Water Association for property located at 586 Church Road in the City of Gluckstadt and identified by Tax Parcel No. 082E-22-010/02.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a public/quasi-public facility on the subject property.

Tim Getty, architect, stated building plans are still being developed and seeking approval prior to having drainage and civil plans. The layout will be similar to the existing facility.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Tim Slattery, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a public/quasi-public facility on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for  
Conditional Use Permit for Wellspring Methodist Church**

The next matter of business brought for consideration is the Application for Conditional Use Permit request by Wellspring Methodist Church for property located at 418 Business Park Drive in the City of Gluckstadt and identified by Tax Parcel No. 082E-21-024/00.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a church on the subject property.

Will Johnson, board member for Wellspring Methodist Church, appeared and spoke on behalf of the application. Mr. Johnson stated the build out is currently ongoing and plans have not changed from previously approved plans.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Tim Slattery and seconded by Commissioner Kayce Saik, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a church on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for Rezoning  
for Ferrous Processing and Trading Company**

The next matter of business brought for consideration is the Application for Rezoning for Ferrous Processing and Trading Company for property located east of the railroad track and west of Highway 51 in the City of Gluckstadt and identified as Tax Parcel Nos. 082E-15-037/00.00 and 082E-15-038/00.00. The subject property is presently zoned R-1 Single Family Residential Estate District and applicant is seeking to rezone the subject property to I-2 Heavy Industrial District. William Hall presented the application and advised the Board that notice posting and publication requirements were met. Mr. Hall further stated that he did receive feedback, but all was neutral. The subject property is owned by MMC Materials, Inc. and is part of a larger parcel all being owned by MMC, the entirety of which has been used as a concrete plant for 20 plus years. The applicant desires to purchase the entirety of the MMC property and plans to use the property as a metal materials recycling facility.

Andy Clark attorney for Petitioner, appeared on behalf of the petition to rezone from R-1 to I-2. Mr. Clark stated the proposed use will be a metal compacting and recycling plant for commercial use only. The project will be built in phases. Mr. Clark stated some noise will be generated, but in other jurisdictions decibels are below ordinances in those areas. He further

stated that the access road will be addressed at the site plan phase and roughly 10 trucks per day will access the site by a road built by MMC.

Board members questioned if the use is dependent on railroad spurt? Has approval and/or agreement been reached with railroad

Opposition was given an opportunity to respond.

Marc Brand appeared and spoke on behalf of Devinney Equipment in opposition to the petition and stated they have concerns with debris and dust from vehicles on equipment.

Bruce Devinney, President of Devinney Equipment, appeared and spoke in opposition stating that the dust has been an issue with the previous owner and an agreement to pave the road has alleviated that concern

There was no one present in support other than the Petitioner.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Tim Slattery, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the rezoning to rezone the subject property from R-1 Single-Family Residential Estate District to I-2 Heavy Industrial District, finding that there was a both a change in character of the neighborhood and a public need. The Chairman declared the motion carried.

### **OLD BUSINESS**

None.

### **NEW BUSINESS**

The next matter of business was the election of new officers. On motion by Commissioner Kayce Saik and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to re-elect Sam McGaugh Chair of the Gluckstadt Planning & Zoning Commission. The Chairman declared the motion carried.

There was no further business to be presented.

### **ADJOURN**

Commissioner Tim Slattery moved that the meeting be adjourned. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present

Commissioners. The Chairman declared the Motion carried.

**WITNESS OUR HANDS**, this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
SAM McGAUGH, Chairman

\_\_\_\_\_  
MELANIE GREER, Vice Chairman/Secretary



Type	Street Number	Street Name	Applicant	Applied Date	Issued Date
Accessory Residential	182	CHURCH RD	KEVIN CAMPBELL	8/28/2024	8/28/2024
Sign	272	CALHOUN STATION PKWY	FIIZ DRINKS	8/28/2024	8/28/2024
Accessory Residential	115	MINNINGER BLVD	ANDREW & KALLIE SESTI	8/23/2024	8/23/2024
Addition Residential	115	JORN CIRCLE	TREY MCCLELLAN	8/19/2024	8/19/2024
Addition Commercial	346	CHURCH RD	VANITY SALON	8/16/2024	8/16/2024
Re-Roof	121	STONE CREEK DR	DANIEL BENNETT	8/16/2024	8/16/2024
Accessory Commercial	137	YANDELL RD	BROTHERS TACOS	8/16/2024	8/16/2024
Sign	412	BUSINESS PARK DR.	SIP OUTDOORS	8/14/2024	8/14/2024
Plumbing Commercial	1042	GLUCKSTADT RD., D.	UPTOWN PHARMACY	8/9/2024	8/9/2024
Pool	148	OLD ORCHARD RD	JEFF & JENNIFER KNIGHT	8/6/2024	8/6/2024
Addition Commercial	272	CALHOUN STATION PKWY	L HEART ENTERPRISE, LLC	8/6/2024	8/6/2024
New Building Commercial		082E-15-037/00.00	MMC MATERIALS	8/1/2024	8/1/2024
Site Plan Review		CALHOUN STATION PKWY	CPOR REI, LLC	8/1/2024	8/1/2024
New Building Commercial	418	BUSINESS PARK DR	WELLSPRING METHODIST CHURCH	7/30/2024	7/30/2024
Fence	263	STOUT RD	DAN DEAR CUSTOM HOMES	7/29/2024	7/29/2024
New Building Commercial	586	CHURCH RD	BEAR CREEK WATER ASSOCIATION	7/25/2024	7/25/2024
New Building Commercial	690	CALHOUN STATION PKWY	MILLS CONTRACTING LLC	7/22/2024	7/22/2024
Addition Commercial	102	LEXINGTON DR	ACCENT HEALTH	7/22/2024	7/22/2024
Re-Roof		852 GLUCKSTADT RD	KENNY MARTIN	7/17/2024	7/17/2024
Addition Commercial	1054	GLUCKSTADT ROAD	BASKIN ROBBINS	7/12/2024	7/12/2024
New Building Commercial	2210	HIGHWAY 51	SOWELL ROAD SHELL LLC	7/12/2024	7/12/2024
Sign	203	CALHOUN STATION PKWY	MS EXPRESS HEALTH	7/10/2024	7/10/2024
Addition Commercial	203	CALHOUN STATION PKWY	POKE STOP, LLC	7/8/2024	7/8/2024
Re-Roof	140	BEAR CREEK CIRCLE	ANDY DILLON	7/8/2024	7/8/2024
Re-Roof	103	PERRY COVE	EMMITT BRACEY	7/8/2024	7/8/2024
Re-Roof	109	PLANTERS ROW	DON STEVENS	7/8/2024	7/8/2024
Re-Roof	111	COLONY PLACE	WESLEY PHILLIPS	7/1/2024	7/1/2024
Addition Commercial	396	BUSINESS PARK DRIVE	MARCELLE CONSTRUCTION	7/1/2024	7/1/2024
Addition Commercial	203	CALHOUN STATION PKWY	JASON VASSAR	6/24/2024	6/24/2024
Sign	203	CALHOUN STATION PKWY	MS HEALTH EXPRESS	6/21/2024	6/21/2024
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	6/21/2024	6/21/2024
Accessory Residential	168	DEERWOOD CROSSING	KIMBERLY WHITTINGTON	6/21/2024	6/21/2024
New Building Commercial	525	CHURCH RD	HARTLEY EQUIPMENT COMPANY INC	6/20/2024	6/20/2024
Addition Commercial	124	KIMBALL DR	TATE HOMES, LLC	6/20/2024	6/20/2024
Sign	114	DEES DR.	DUB'S CLUBS CUSTOM GOLF SHO	6/18/2024	6/18/2024
Sign	111	DEES DRIVE, STE. E.	SOCIAL THE DRESS EDITION	6/18/2024	6/18/2024
Addition Commercial	124	KIMBALL DR	TATE HOMES, LLC	6/17/2024	6/17/2024
New Building Commercial	2221	HIGHWAY 51	SHELL CONVENIENCE STATION	6/14/2024	6/14/2024
New Building Commercial	217	WEISENBERGER RD	K & S WARREN PROPERTIES, LLC	6/14/2024	6/14/2024
Addition Residential	182	CHURCH RD	KEVIN CAMPBELL	6/13/2024	6/13/2024
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY S	6/10/2024	6/10/2024
New Building Commercial		GLUCKSTADT RD	PREET PROPERTIES LLC	6/10/2024	6/10/2024
Accessory Residential	121	LAKESHIRE CIRCLE	J B BROWN	6/7/2024	6/7/2024
Accessory Commercial	130Z	AMERICAN WAY	TILLMAN INFRASTRUCTURE	6/6/2024	6/6/2024
Accessory Commercial	130B	AMERICAN WAY	A T & T	6/6/2024	6/6/2024
Sign	112	DEES DRIVE	RANGE, THE	6/5/2024	6/5/2024

Sign	316	OLD JACKSON RD	SWEET N SAVI	6/4/2024	6/4/2024
New Building Commercial	690	CALHOUN STATION PKWY	MILLS CONTRACTING LLC	6/4/2024	6/4/2024
Plumbing Commercial	148	WEISENBERGER ROAD	Sam & Kelly Jo Riden	6/3/2024	6/3/2024
New Building Commercial	259	YANDELL RD	TIM HILLHOUSE	6/3/2024	6/3/2024
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY COMPANY	6/3/2024	6/3/2024
New Building Commercial		CALHOUN STATION PKWY	CPOR REI, LLC	6/3/2024	6/3/2024
New Building Commercial		547 CHURCH RD	DANNY BOLANOS	5/22/2024	5/22/2024
Sign	1085	GLUCKSTADT ROAD	RENEW AUDIOLOGY HEARING AID	5/22/2024	5/22/2024
Re-Roof	105	GREER CT	MILTON BOOKER	5/22/2024	5/22/2024
Accessory Residential	231	FARMERS ROW	KATHY WALL	5/21/2024	5/21/2024
Addition Commercial	346	CHURCH ROAD	EL RANCHITO 3, LLC	5/21/2024	5/21/2024
Addition Commercial	203	CALHOUN STATION PKWY	EXPRESS HEALTH	5/17/2024	5/17/2024
Fence	102	LONE WOLF DRIVE	TINO'S PET GROOMING	5/15/2024	5/15/2024
Sign	576	CHURCH RD	STEEL TECHNOLOGIES	5/15/2024	5/15/2024
Addition Residential	102	JORN CIRCLE	STEVE CRAWFORD	5/14/2024	5/14/2024
Sign	1076	GLUCKSTADT RD	AUTOZONE	5/14/2024	5/14/2024
Re-Roof	109	STONE CREEK DR	JAN DYKES	5/10/2024	5/10/2024
Sign	154	CALHOUN STATION PKWY	PEDIATRIC DENTISTRY OF GLUCKS	5/6/2024	5/6/2024
Remodel Residential	159	BEAR CREEK CIRCLE	CARL MCKINLEY	5/6/2024	5/6/2024
Re-Roof	192	BRADFIELD DR	LAMONT BRADFIELD	5/3/2024	5/3/2024
Addition Commercial	412	BUSINESS PARK DR	SIP MISSISSIPPI	5/1/2024	5/1/2024
Sign	112	DEES DRIVE	RANGE, THE	5/1/2024	5/1/2024
Addition Commercial	418	BUSINESS PARK DR	EASTSIDE PLAZA LLC	4/29/2024	4/29/2024
Addition Commercial	111	DEES DRIVE	ELITE PHYSICAL THERAPY	4/29/2024	4/29/2024
Sign	166	CALHOUN STATION PKWY	TWISTED TURNIP	4/29/2024	4/29/2024
Fence	184	AMERICAN WAY	STEPHANIE MCCORMICK	4/26/2024	4/26/2024
Sign	119	ENTERPRISE DR	SAFELITE	4/26/2024	4/26/2024
Re-Roof	100	HAYFIELD PLACE	VAL BUGGS	4/23/2024	4/23/2024
Addition Commercial	342	OLD JACKSON RD	RANDY & TONYA TUCKER	4/22/2024	4/22/2024
Sign	109	LONE WOLF DR	MAVERICK SERVICES LLC	4/18/2024	4/18/2024
Addition Commercial	346	CHURCH RD	ACE BOLT & SCREW	4/18/2024	4/18/2024
Re-Roof	132	FAIRCHILD COVE	DAVID RUSHING	4/17/2024	4/17/2024
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY S	4/17/2024	4/17/2024
Sign	203	CALHOUN STATION PKWY	LOCAL NAIL SALON	4/17/2024	4/17/2024
Re-Roof	155	BRADFIELD RD	ANGEL STENMARK	4/12/2024	4/12/2024
Addition Commercial	154	CALHOUN STATION PKWY	PEDIATRIC DENTISTRY OF GLUCKS	4/12/2024	4/12/2024
Sign	102	LONE WOLF DR	TENCARVA	4/11/2024	4/11/2024
Sign	178	CALHOUN STATION PKWY	CHEVRON	4/9/2024	4/9/2024
Addition Residential	146	S TAYLOR LANE	MARCUS HUNTER	4/4/2024	4/4/2024
Sign	346	CHURCH RD	HAYZIE ROOS	4/2/2024	4/2/2024
Sign	346	CHURCH RD	LOCAL MIXER, THE	4/2/2024	4/2/2024
Sign	1716	HWY 51	BARRE BY ERIN, THE	4/2/2024	4/2/2024
Addition Commercial	384	CHURCH RD	HUTCHINSON OFFICE PROPERTIES	4/1/2024	4/1/2024
Addition Commercial	119	ENTERPRISE DR	SAFELITE	3/28/2024	3/28/2024
Sign	1716	HWY 51	BARRE BY ERIN, THE	3/26/2024	3/26/2024
Sign	238	WEISENBERGER RD	SEASONS	3/22/2024	3/22/2024
Sign	346	CHURCH RD	BLUE FUJI SUSHI GRILL	3/20/2024	3/20/2024
Sign	124	KIMBALL DR., STE. F.	SOUTHERN MOTORCARZ	3/20/2024	3/20/2024
New Building Residential	113	ARRINGTON DR	KENNETH/SHARON PROSPER	3/19/2024	3/19/2024

Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	3/19/2024	3/19/2024
New Building Commercial	203	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	3/18/2024	3/18/2024
New Building Commercial	203	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	3/18/2024	3/18/2024
Sign	1091	GLUCKSTADT RD	DOMINO'S	3/18/2024	3/18/2024
Accessory Residential	112	GERMANTOWN RD	STEVE HOPPER	3/13/2024	3/13/2024
New Building Commercial		STOUT RD	MEADOWS AT STOUT FARMS, PART	3/8/2024	3/8/2024
New Building Commercial	150	AUTOBAHN LOOP	MAC HAIK CANTON	3/7/2024	3/7/2024
New Building Commercial	150	AUTOBAHN LOOP	CANTON MAC HAIK CDJR LTD	3/7/2024	3/7/2024
Addition Commercial	109	LONE WOLF DR	MAVERICK SERVICES LLC	3/6/2024	3/6/2024
Sign	111	DEES DRIVE	ELITE PHYSICAL THERAPY	3/5/2024	3/5/2024
New Building Commercial		CHURCH RD	BENSON BUILDERS AND PROPERT	3/4/2024	3/4/2024
Re-Roof		118 JORN CIRCLE	BOB LUCROY	3/4/2024	3/4/2024
Accessory Commercial	1743	HIGHWAY 51	MARLO'S EATERY	3/1/2024	3/1/2024
Addition Commercial	108	DEES DR	JORDAN DOTTLEY	2/28/2024	2/28/2024
Gas Commercial	178	CALHOUN STATION PKWY	CHEVRON	2/27/2024	2/27/2024
Sign	160	WEISENBERGER ROAD	KEBAB & CURRY	2/21/2024	2/21/2024
Sign	1091	GLUCKSTADT RD	DOMINO'S	2/16/2024	2/16/2024
Addition Commercial	124	KIMBALL DR	TATE HOMES LLC	2/16/2024	2/16/2024
Sign	1076	GLUCKSTADT RD	AUTOZONE, INC	2/14/2024	2/14/2024
Addition Commercial	272	CALHOUN STATION PKWY	ANGELOS TOO	2/14/2024	2/14/2024
Hood Suppression	316	OLD JACKSON RD	FIT CHEF	2/14/2024	2/14/2024
Hood Suppression	178	CALHOUN STATION PKWY	CHEVRON	2/14/2024	2/14/2024
Sign	316	OLD JACKSON RD	PTS PHYSICAL THERAPY AND SPOF	2/6/2024	2/6/2024
Sign	464	CHURCH RD	ALFA INSURANCE	2/1/2024	2/1/2024
Addition Commercial	346	CHURCH RD	LOCAL MIXER, THE	1/29/2024	1/29/2024
Addition Commercial	418	BUSINESS PARK DR	JOHNNY GOOCH	1/26/2024	1/26/2024
Sign	178	CALHOUN STATION PKWY	CHEVRON	1/24/2024	1/24/2024
Addition Commercial	346	CHURCH RD	AMAZING NAILS AND PRO DIP LLC	1/23/2024	1/23/2024
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY S	1/22/2024	1/22/2024
New Building Commercial	130Z	AMERICAN WAY	HARMON QUALITY BUILDERS, LLC	1/18/2024	1/18/2024
Electical Commercial	178	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	1/8/2024	1/8/2024
New Building Commercial		HWY 51 & BROWNWOOD	MICHAEL ENGLISH	1/5/2024	1/5/2024
New Building Commercial		CHURCH RD	KIRKLAND PROPERTIES	1/5/2024	1/5/2024
New Building Commercial		CHURCH RD/JACKSON RD	PATRICK ROWLAND	1/5/2024	1/5/2024
Addition Residential	176	CATLETT RD	PENNY COULON	1/4/2024	1/4/2024
Addition Commercial	203	CALHOUN STATION PKWY	LOCAL NAIL SALON	1/2/2024	1/2/2024
Sign	210	AUTOBAHN LOOP	CRASH CHAMPIONS, LLC	12/28/2023	12/28/2023
Sign	316	OLD JACKSON RD	JAZZY DANCER	12/22/2023	12/22/2023
Sign	316	OLD JACKSON RD	KINDER BOUTIQUE	12/22/2023	12/22/2023
Re-Roof	119	BEAR CREEK CIRCLE	JERRY HILLIARD	12/20/2023	12/20/2023
Electical Commercial	644	CHURCH RD	TITAN DEVELOPNMENT CO.	12/19/2023	12/19/2023
Addition Commercial	432	CHURCH RD	VERIZON WIRELESS	12/19/2023	12/19/2023
Re-Roof	103	RIDGEFIELD	Umathanulan Moorthy	12/18/2023	12/18/2023
New Building Commercial		GLUCKSTADT RD	RPM REALTY, LLC	12/13/2023	12/13/2023
New Building Commercial	141	W. SOWELL ROAD	BRANDON SERVICE COMPANY, IN	12/13/2023	12/13/2023
Electrical Residential	144	OLD ORCHARD RD	HERMAN WASHINGTON	12/11/2023	12/11/2023
Sign	316	OLD JACKSON RD	PTS PHYSICAL THERAPY AND SPOF	12/11/2023	12/11/2023
Sign	124	KIMBALL DR	COLORIZE HAIR STUDIO	12/11/2023	12/11/2023
New Building Commercial	386	INDUSTRIAL DR S	FORD MUNDY	12/8/2023	12/8/2023

New Building Commercial		KIMBALL DR	MICHAEL TATE	12/8/2023	12/8/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/8/2023	12/8/2023
Re-Roof	140	BEAR CREEK CIRCLE	ANDY DILLON	12/5/2023	12/5/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/5/2023	12/5/2023
Sign	105	LEXINGTON DR., C.	MAKE IT POP	12/4/2023	12/4/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/4/2023	12/4/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/4/2023	12/4/2023
Re-Roof	137	BEAR CREEK CIRCLE	BEST CHOICE ROOFING	12/4/2023	12/4/2023
Re-Roof	126	BEAR CREEK CIRCLE	JACK DONALD	12/4/2023	12/4/2023
Gas Commercial	135	INDUSTRIAL DR	STOIC EQUITY	11/30/2023	11/30/2023
Sign	125	KIMBALL DR	CPS POOLS AND SPAS INC	11/29/2023	11/29/2023
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	11/28/2023	11/28/2023
Addition Commercial	346	CHURCH RD	WEN HUA TANG	11/28/2023	11/28/2023
Sign	232	OLD JACKSON RD	HUNTER ENGINEERING	11/27/2023	11/27/2023
Addition Commercial	124	KIMBALL DR	MYERS CONSTRUCTION	11/17/2023	11/17/2023
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	11/16/2023	11/16/2023
Addition Commercial	203	CALHOUN STATION PKWY	SHREKA CLEVELAND	11/13/2023	11/13/2023
Re-Roof	219	FARMERS ROW	MARILYN CLARK	11/13/2023	11/13/2023
Addition Residential	109	SUNRISE COVE	JACOB BAIN	11/9/2023	11/9/2023
New Building Commercial	346	CHURCH RD	BLURTON HOLDINGS INC	11/9/2023	11/9/2023
Sign	154	CALHOUN STATION PKWY	METHODIST REHABILITATION CENTE	11/6/2023	11/6/2023
Electrical Residential	208	MUNICH COVE	GEORGE HEMBREE	11/1/2023	11/1/2023
Sign	316	OLD JACKSON RD	PTS SPORTS PERFORMANCE	10/31/2023	10/31/2023
Sign	1237	GLUCKSTADT ROAD	SONIC DRIVE IN	10/31/2023	10/31/2023
Sign	316	OLD JACKSON RD	PTS SPORTS PERFORMANCE	10/31/2023	10/31/2023
New Building Commercial	130B	AMERICAN WAY	A T & T	10/30/2023	10/30/2023
New Building Commercial		CHURCH RD	S & D REALTY, LLC	10/30/2023	10/30/2023
New Building Commercial		CHURCH RD	S & D REALTY, LLC	10/30/2023	10/30/2023
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY	10/30/2023	10/30/2023
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY	10/30/2023	10/30/2023
Sign	124	KIMBALL DR. UNIT 100	TIMBER TAVERN, LLC	10/24/2023	10/24/2023
Addition Commercial	384	CHURCH RD	LEE HUTCHINSON	10/20/2023	10/20/2023
Addition Commercial	124	KIMBALL DR	BTH PROPERTIES	10/20/2023	10/20/2023
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	10/16/2023	10/16/2023
Sign	1227	GLUCKSTADT ROAD	SUBWAY	10/10/2023	10/10/2023
Re-Roof	210	N INDUSTRIAL DR	WESTLAKE CHEMCIAL	10/9/2023	10/9/2023
Solar	453	STOUT RD	JERRY BOULDIN	10/6/2023	10/6/2023
Sign	154	CALHOUN STATION PKWY	METHODIST REHABILITATION CEN	10/5/2023	10/5/2023
New Building Commercial	140	GLUCKSTADT WAY	CITY OF GLUCKSTADT	9/27/2023	9/27/2023
Sign	154	CALHOUN STATION PKWY	IMPROMPTU GIFTS AND BOUTIQUE	9/26/2023	9/26/2023
Re-Roof	107	BEAR CREEK	REGINALD WOODARD	9/26/2023	9/26/2023
Addition Commercial	1240	GLUCKSTADT ROAD	CARDINAL HEALTH	9/14/2023	9/14/2023
Sign	141	W SOWELL RD	BRANDON SERVICE COMPANY	9/12/2023	9/12/2023
Sign	102	DEES DR	WON WOK	9/7/2023	9/7/2023
New Building Commercial		BUSINESS PARK DR	JOHN GOOCH	9/1/2023	9/1/2023
Addition Residential	200	PLANTERS COVE	ROBERT GIORDANO	8/31/2023	8/31/2023
Addition Residential	103	GERMANTOWN RD	JEFFREY GUY	8/31/2023	8/31/2023
Addition Residential	130	RIDGEFIELD DR	TED CRAWLEY	8/21/2023	8/21/2023
Sign	154	CALHOUN STATION PKWY	GLUCKSTADT PHARMACY	8/9/2023	8/9/2023

Sign	1706	HIGHWAY 51	BUMPERS DRIVE IN	8/4/2023	8/4/2023
Sign	102	LONE WOLF DR	BLACK DIAMOND RACING CUSTOM	8/4/2023	8/4/2023
Sign	113	DEES DR	SIGNATURE SMILES	8/4/2023	8/4/2023
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	8/3/2023	8/3/2023
Addition Residential	108	PERRY COVE	DAVID TULLOS	8/2/2023	8/2/2023
Addition Commercial	102	DEES DR	TONY VU dba VU CONTRACTORS	8/2/2023	8/2/2023
Addition Residential	102	DEES DR	TONY VU dba VU CONTRACTORS	8/1/2023	8/1/2023
Sign	195	INDUSTRIAL BLVD	SANHUA INTERNATIONAL, INC.	8/1/2023	8/1/2023
Addition Commercial	359	OLD JACKSON RD	FASTENAL COMPANY	7/28/2023	7/28/2023
New Building Commercial	264	CALHOUN STATION PKWY	CORNER AT CALHOUN STATION	7/28/2023	7/28/2023
Addition Commercial	210	N INDUSTRIAL DR	WESTLAKE CHEMCIAL	7/28/2023	7/28/2023
Addition Commercial	140	AUTOBAHN LOOP	MADISON MAC HAIK CHEVROLET L	7/26/2023	7/26/2023
Sign	140	ENTERPRISE DRIVE	HOMEWELL CARE SERVICES	7/21/2023	7/21/2023
Sign	154	CALHOUN STATION PKWY	SIMPLI NAIL SPA LLC	7/21/2023	7/21/2023
Re-Roof	168	HUNTERS ROW	MORAIN TONY	7/18/2023	7/18/2023
Sign	102	DEES DR	EL SOMBRERO	7/17/2023	7/17/2023
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	7/10/2023	7/10/2023
New Building Commercial	311	CALHOUN STATION PKWY	CALHOUN STATION	7/6/2023	7/6/2023
Accessory Residential	127	RIDGEFIELD DR	RNC SERVICES LLC	7/5/2023	7/5/2023
New Building Commercial	1025	GLUCKSTADT RD	GLUCKSTADT PLACE	6/28/2023	6/28/2023
Sign	111	AULENBROCK DR	CHRISTIAN LEARNING CENTER	6/28/2023	6/28/2023
New Building Commercial	1	KAYO DR	KAYO PLACE	6/23/2023	6/23/2023
Sign	102	DEES DR	MISSISSIPPI CANDY COMPANY	6/19/2023	6/19/2023
Addition Commercial	300	YANDELL RD	MADISON CROSSING ELEM SCHO	6/15/2023	6/15/2023
Fence	102	LONE WOLF DRIVE	TINO'S PET GROOMING LLC	6/15/2023	6/15/2023
Sign	102	LONE WOLF DRIVE	TINO'S PET GROOMING LLC	6/12/2023	6/12/2023
Sign	1743	HIGHWAY 51	BRYAN TIRES SREVICE	6/7/2023	6/7/2023
Sign	111	DEES DRIVE	3 HOUSES	6/6/2023	6/6/2023
Sign	108	DEES DRIVE	BURGER KING	6/6/2023	6/6/2023
Sign	1240	GLUCKSTADT ROAD	CARDINAL HEALTH	6/1/2023	6/1/2023
New Building Commercial	409	CALHOUN STATION PKWY	MADISON COUNTY SCHOOL DISTF	5/30/2023	5/30/2023
Sign	154	CALHOUN STATION PKWY	TIME 4 TOYS	5/24/2023	5/24/2023
Mechanical Residential	103	COTTON COVE	AIRSOUTH, LLC	5/24/2023	5/24/2023
Sign	154	CALHOUN STATION PKWY	YAMI ASIAN RESTAURANT	5/24/2023	5/24/2023
Fence	125	KIMBALL DR	CPS POOLS AND SPAS INC	5/23/2023	5/23/2023
New Building Commercial	109	ENTERPRISE DRIVE	GREEN OAK	5/19/2023	5/19/2023
Generator	123	LAKESHIRE COVE	DEBBIE HARDEE	5/19/2023	5/19/2023
Generator	216	CRESCENT RIDGE	Robert Hinton	5/19/2023	5/19/2023
Addition Residential	146	STRIBLING RD EXT	ZACH ETHERIDGE	5/18/2023	5/18/2023
Sign	102	DEES DR BLG 300	MISSISSIPPI CANDY COMPANY	5/16/2023	5/16/2023
Accessory Residential	111	MUIRFIELD PLACE	JACQUELINE PATTON	5/10/2023	5/10/2023
Sign	138	W. SOWELL ROAD	CLASSIC RESTORATIONS, LLC	5/9/2023	5/9/2023
Sign	576	CHURCH RD	STEEL TECHNOLOGIES	5/4/2023	5/4/2023
Sign	1716	HIGHWAY 51	RIPTIDE OUTDOORS	4/19/2023	4/19/2023
Electical Commercial	1267	GLUCKSTADT RD	DAMPIER LIGHTING	4/18/2023	4/18/2023
Addition Commercial	155	CALHOUN STATION PKWY	SULLIVAN'S GROCERY	4/17/2023	4/17/2023
Sign	240	AUTOBAHN LOOP	CRASH CHAMPIONS	4/14/2023	4/14/2023
Addition Residential	216	CRESCENT RIDGE	Robert Hinton	3/29/2023	3/29/2023
Fence	111	AULENBROCK DR	CHRISTIAN LEARNING CENTER	3/28/2023	3/28/2023



Sign	102	DEES DR	MAGNOLIA HEMP COMPANY	3/28/2023	3/28/2023
Addition Commercial	195	INDUSTRIAL BLVD	CADENA SMITH, LLC	3/20/2023	3/20/2023
Gas Residential	105	ARRINGTON DR	JOHN DYKES	3/17/2023	3/17/2023
Addition Residential	113	MUIRFIELD PLACE	LARRY FRANKLIN	3/15/2023	3/15/2023
Re-Roof	111	FIRST COLONY BLVD	GUARANTEED ROOFING COMPAN	3/10/2023	3/10/2023
Sign	103	TRUSTMARK DR	TRUSTMARK NATIONAL BANK	3/7/2023	3/7/2023
New Building Commercial	800	SAHLER LANE	FIT CHEF	3/6/2023	3/6/2023
Gas Residential	131	SUNRISE COVE	BUTLER PLUMBING	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Accessory Residential	175	BRADFIELD DR	MARQUEUS DRAPER	3/1/2023	3/1/2023
Sign	1715	HIGHWAY 51	BOO'S SMOKEHOUSE BBQ LLC	3/1/2023	3/1/2023
Sign	154	CALHOUN STATION PKWY	SOULSHINE PIZZA	2/22/2023	2/22/2023
Sign	112	LONE WOLF DR	SCOTT C WOODS & ASSOC P. A.	2/16/2023	2/16/2023
New Building Commercial	102	DEES DR	4 SEASONS NAILS	2/16/2023	2/16/2023
Driveway	101	FIRST CHOICE DR	FIRST CHOICE DRIVE LLC	2/10/2023	2/10/2023
Sign	1091	GLUCKSTADT RD	DOMINO'S	2/8/2023	2/8/2023
Sign	124	LONE WOLF DR	FUTURE LABS, LLC	2/7/2023	2/7/2023
Sign	115	AULENBROCK DR	WEEMS MCDONALD	2/7/2023	2/7/2023
Sign	112	LONE WOLF DR	SCOTT C WOODS & ASSOC P. A.	2/7/2023	2/7/2023
Sign	160	WEISENBERGER RD	KEBAB & CURRY	2/7/2023	2/7/2023
New Building Commercial	346	CHURCH RD	JLS CONSTRUCTION	2/6/2023	2/6/2023
Driveway	347	DISTRIBUTION DR	CLARK RENTAL AND SUPPLY	2/2/2023	2/2/2023
Sign	116	LONE WOLF DRIVE	HYDRONIC TECHNOLOGY	1/31/2023	1/31/2023
Sign	166	CALHOUN STATION PKWY	TWISTED TURNIP	1/30/2023	1/30/2023
Sign	102	DEES DR	EPIC DONUT/STONE GROUND CO	1/30/2023	1/30/2023
Sign	1715	HIGHWAY 51	BOO'S SMOKEHOUSE BBQ LLC	1/26/2023	1/26/2023
Addition Commercial	102	DEES DR	SOUTHERN MAGNOLIA HEMP COM	1/26/2023	1/26/2023
Electical Commercial	200	CALHOUN STATION PKWY	GERMANTOWN HIGH SCHOOL	1/26/2023	1/26/2023
Sign	104	CHURCH RD	PRIORITY ONE BANK	1/25/2023	1/25/2023
Sign	333	DISTRIBUTION DR	GLUCKSTADT BODY SHOP	1/25/2023	1/25/2023
Addition Commercial	128	WEISENBERGER RD	BMC GENERAL CONTRACTORS LLC	1/24/2023	1/24/2023
Sign	105	LEXINGTON DR	BUDGET BLINDS	1/19/2023	1/19/2023
Sign	112	LEXINGTON DR	THE OFFICE	1/19/2023	1/19/2023
Sign	272	CALHOUN STATION PKWY	JOHNNY'S PIZZA	1/17/2023	1/17/2023
Sign	124	ENTERPRISE DR	SOUTHERNEASTERN AUTOMATIC S	1/13/2023	1/13/2023
Sign	105	LEXINGTON DR	MAGNOLIA CONCESSIONS LLC	1/13/2023	1/13/2023
Sign	111	DEES WAY	GO SHINE EXPRESS CARWASH	1/12/2023	1/12/2023
Sign	109	AULENBROCK DR	HARTLEY EQUIPMENT	1/12/2023	1/12/2023
New Building Commercial	1	BLDG C CALHOUN STATI	AOK PROPERTIES LLC	1/11/2023	1/11/2023
Sign	115	LONE WOLF DR	ETAIROS VHAC	1/10/2023	1/10/2023
Sign	155	AMERICAN WY	DIXIE EQUINE	1/10/2023	1/10/2023
Sign	243	INDUSTRIAL DR	BEN NELSON GOLF & OUTDOOR	1/10/2023	1/10/2023
Sign	102	LEXINGTON DR	DOGWOOD OFFICE CENTER	1/10/2023	1/10/2023
Sign	168	AMERICAN WAY	BOH INC	1/9/2023	1/9/2023
Sign	331	DISTRIBUTION DR	GULF EQUIPMENT CORPORATION	1/9/2023	1/9/2023
Sign	1706	HIGHWAY 51	ALPHA FINANCIAL & TAX SERVICES	1/5/2023	1/5/2023

Sign	184	AMERICAN WAY	AFTERZONE, LLC	1/5/2023	1/5/2023
Sign	100	FIRST CHOICE DR	DEPENDABLE PEST SERVICE INC	1/3/2023	1/3/2023
New Building Commercial	1091	GLUCKSTADT RD	ALHLETICO PHYSICAL THERAPY	12/29/2022	12/29/2022
Sign	137	YANDELL RD	BAMBOO EXPRESS	12/28/2022	12/28/2022
Sign	102	DEES DR BLG 300	SOPHIE'S MILKSHAKES & SUNDAES	12/28/2022	12/28/2022
Sign	120	YANDELL RD	OUTLETS OF MISSISSIPPI	12/28/2022	12/28/2022
Sign	555	INDUSTRIAL DR S	V2X	12/28/2022	12/28/2022
Sign	102	DEES DR	GERMANTOWN DENTAL	12/28/2022	12/28/2022
Sign	114	DEES DR	GLUCKSTADT FITNESS	12/28/2022	12/28/2022
Accessory Commercial	238	WEISENBERGER RD	4 SEASONS	12/21/2022	12/21/2022
Accessory Commercial	154	CHURCH RD	4 SEASONS	12/21/2022	12/21/2022
New Building Commercial	130B	AMERICAN WAY	GREEN STEEL COATINGS	12/21/2022	12/21/2022
Accessory Commercial	103	DEES DR	4 SEASONS	12/21/2022	12/21/2022
Mechanical Commercial	166	CALHOUN STATION PKWY	PRO SERVICE LLC	12/19/2022	12/19/2022
Electical Commercial	195	INDUSTRIAL BLVD	COVINGTON ELECTRIC	12/15/2022	12/16/2022
Sign	1085	GLUCKSTADT PLACE	GLUCKSTADT PLACE	12/14/2022	12/14/2022
New Building Commercial	154	CALHOUN STATION PKWY	ANTHONY MORRISON	12/13/2022	12/13/2022
Sign	2125	HIGHWAY 51	W L BURLE ENGINEERS P A	12/12/2022	12/12/2022
New Building Residential		082E-15-037/00.00	AMANDA LORIAN	12/9/2022	12/9/2022
AC Change Out		082E-15-037/00.00	Rachel Sargent	12/9/2022	12/9/2022
Sign	102	DEES DR	4 SEASON NAILS	12/2/2022	12/2/2022
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	11/23/2022	11/23/2022
New Building Commercial	124	KIMBALL DR	BTH PROPERTIES	8/7/2022	8/7/2022



# City of Gluckstadt

## **Application for Site Plan Review**

**Subject Property Address:** Section 9, T8N-R2E Calhoun Station Parkway Gluckstadt, MS 39110

**Parcel #:** 082B-09 -002/04.00,  
See attached Legal Description "Tract A"

**Owner:** CPOR REL LLC

**Applicant:** CPOR REL LLC

**Address:** 282 Lake Village Dr  
Madison MS 39110

**Address:** 282 Lake Village Dr  
Madison MS 39110

**Phone #:** (601)955-7911

**Phone #:** (601) 955-7911

**E-Mail:** jrphilli7669@gmail.com

**E-Mail:** jrphilli7669@gmail.com

**Current Zoning District:** C-2 with Conditional Use for Personal Care Home- Assisted Living

**Acreage of Property (If applicable):** 5.00 acres

**Use sought of Property:** Personal Care Home- Assisted Living

**Requirements of Applicant:**

- 1. Copy of written legal description.
- 2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
- 3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.



- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

**Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.**

**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

*James Phillips*  
 \_\_\_\_\_  
 Applicant Signature

7-31-2024  
 \_\_\_\_\_  
 Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

**Date Received:** \_\_\_\_\_

**Application Complete & Approved to Submit to P&Z Board (please check):**

Yes \_\_\_\_\_ No \_\_\_\_\_

**Signature:** \_\_\_\_\_  
 Planning & Zoning Administrator (or Authorized Representative)



Legal Description  
Tract A

A parcel or tract of land, containing 5.00 acres, more or less, lying and being situated in the SW ¼ and the NW ¼ of Section 9, T8N-R2E, Madison County, Mississippi, being a part of the Third Floor Investments, LLC property as described in Deed Book 3532 at Page 390 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi, and being more particularly described as follows:

**COMMENCING** at a found concrete monument lying at the SE corner of the SW ¼ of said Section 9, T8N-R2E, Madison County, Mississippi and run thence North 00 degrees 15 minutes 21 seconds West for a distance of 2,971.32 feet to ½” iron rebar found marking the southeast corner of the Third Floor Investments, LLC property as described in Deed Book 3532 at Page 390 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi marking the Point of Beginning of the tract herein described:

From the Point of the Beginning thence run South 89 degrees 51 minutes 57 seconds West for a distance of 693.99 feet to ½” iron rebar found on the east right-of-way line of Calhoun Station Parkway; thence run North 00 degrees 17 minutes 41 seconds West, along said right-of-way line, for a distance of 313.83 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence leave said right-of-way line and run North 89 degrees 51 minutes 57 seconds East for a distance of 694.58 feet to ½” iron rebar set; thence run South 00 degrees 11 minutes 16 seconds East for a distance of 313.83 feet back to the Point of Beginning.

Prepared by:

Colin L. Baird  
Baird Engineering, Inc.  
Clinton, Mississippi



Legal Description  
Tract B

A parcel or tract of land, containing 5.00 acres, more or less, lying and being situated in the SW ¼ and the NW ¼ of Section 9, T8N-R2E, Madison County, Mississippi, being a part of the Third Floor Investments, LLC property as described in Deed Book 3532 at Page 390 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi, and being more particularly described as follows:

**COMMENCING** at a found concrete monument lying at the SE corner of the SW ¼ of said Section 9, T8N-R2E, Madison County, Mississippi and run thence North 00 degrees 15 minutes 21 seconds West for a distance of 2,971.32 feet to ½” iron rebar found marking the southeast corner of the Third Floor Investments, LLC property as described in Deed Book 3532 at Page 390 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi; thence run North 00 degrees 11 minutes 16 seconds West for a distance of 313.83 feet to ½” iron rebar set marking the Point of Beginning of the tract herein described:

From the Point of the Beginning thence run South 89 degrees 51 minutes 57 seconds West for a distance of 694.58 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence run North 00 degrees 17 minutes 41 seconds West, along said right-of-way line, for a distance of 100.58 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence run North 89 degrees 42 minutes 19 seconds East, along said right-of-way line, for a distance of 15.00 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence run North 00 degrees 17 minutes 41 seconds West, along said right-of-way line, for a distance of 217.08 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence leave said right-of-way line and run North 89 degrees 48 minutes 46 seconds East for a distance of 680.17 feet to ½” iron rebar set; thence run South 00 degrees 11 minutes 16 seconds East for a distance of 318.32 feet back to the Point of Beginning.

Prepared by:

Colin L. Baird  
Baird Engineering, Inc.  
Clinton, Mississippi





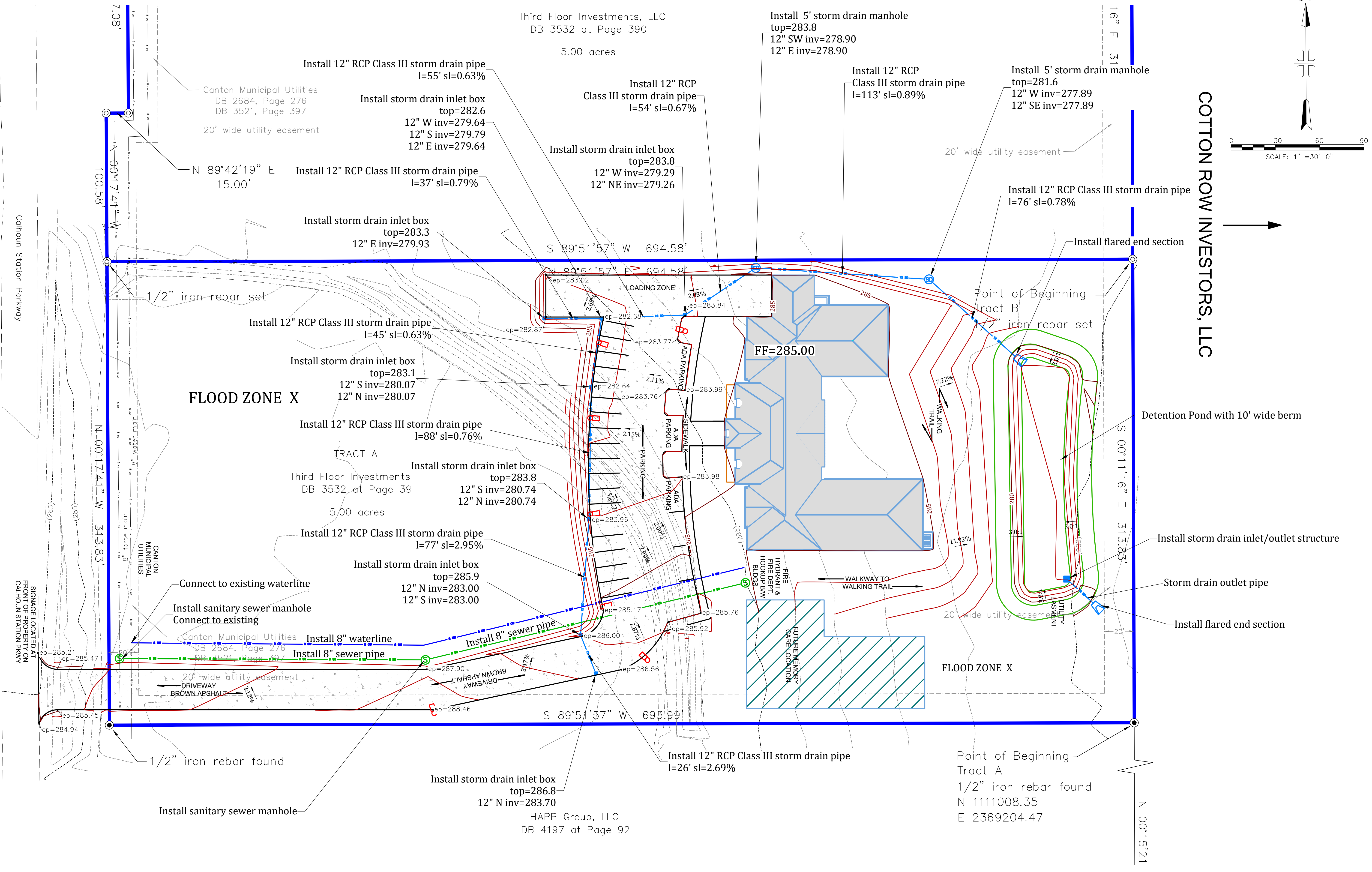
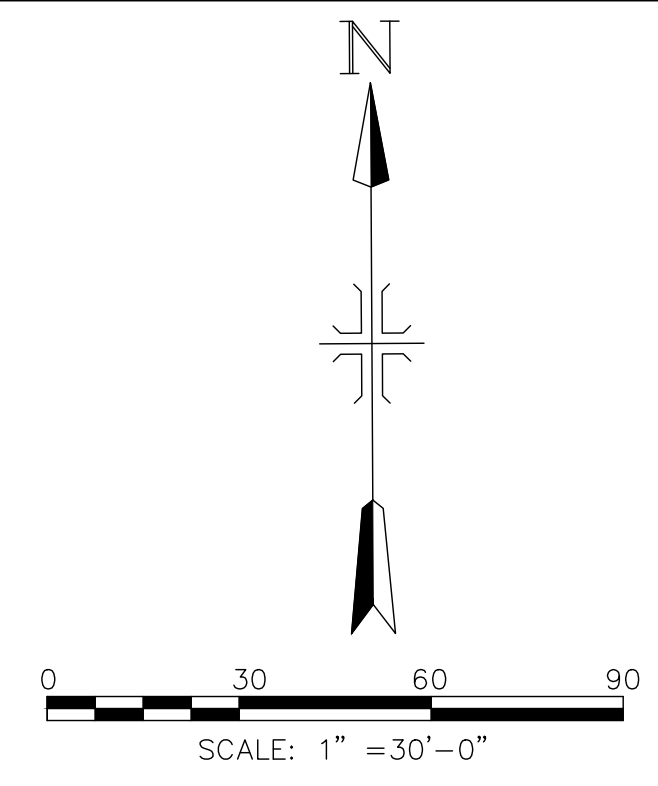


**OAKS RESIDENCE  
PERSONAL CARE ASSISTED LIVING  
GLUCKSTADT, MISSISSIPPI  
GRADING & UTILITY PLAN**

SYMBOL	REVISIONS	DATE
	DESCRIPTION	

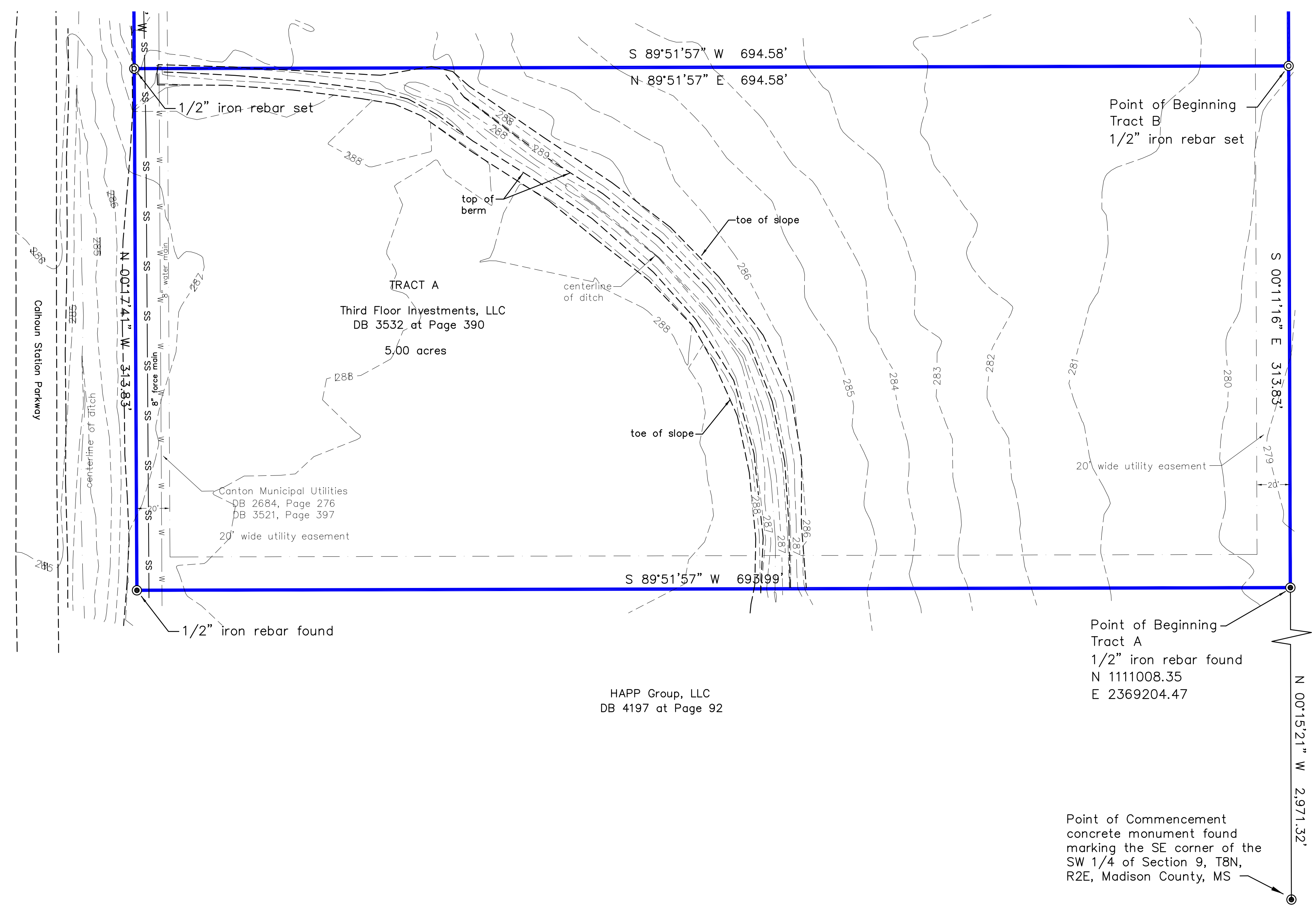
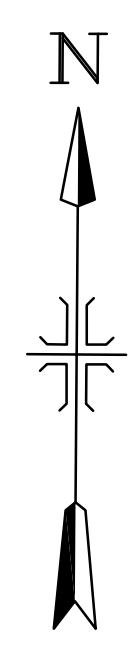
  

DRAWN	DESIGN	CHECK	SUBMIT	SCALE	PLOTTED
JLS	MH	MH	07-31-24	1"=30'	



DEVELOPER:





Date of field survey: July 11, 2024.

Basis of Bearing: the bearings on this plat are based on and referenced to the Mississippi State Plane Coordinate System Grid North (NAD83–West Zone) as derived using RTK GPS observations using Cors Stations MSJK and MSYZ.  
 Convergence Angle = N 00°07'37" W  
 Combined Factor = 1.00005734779172 (Grid to Ground)  
 (Computed at N=1111008.35, E=2369204.47)

Subject property is located in Flood Zone X according to the FIRM Map for Madison County (280228), map reference 28089 C 415F, effective date March 17, 2010

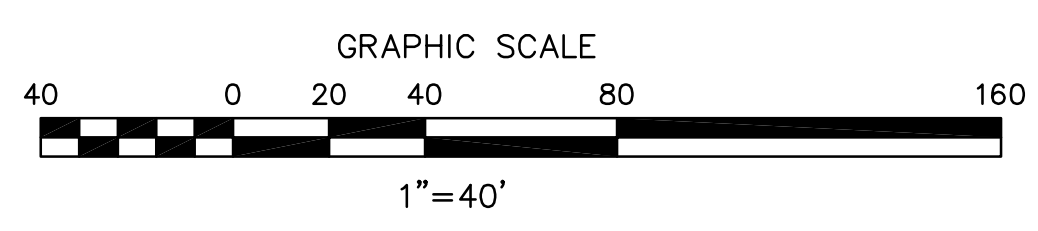
Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Reference: Plat by McMasters and Associates dated July 77, 2017.

This boundary and topographic survey was performed and this plat was prepared by Baird Engineering, Inc. 506 Jefferson Street, Clinton, MS 39056 Phone: (601) 925–5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on July 11, 2024.



LEGEND			
	CABLE PEDESTAL		FIRE HYDRANT
	UTILITY POLE		TELEPHONE PEDESTAL
	GAS VALVE		SIGN
	WATER VALVE		STORM INLET
	1/2" IRON REBAR FOUND		SAN. SEWER MANHOLE
	1/2" IRON REBAR SET (18" long)		SOIL BORING
	LIGHT POLE		SAN. SEWER
	WATER METER		GAS LINE
	SEWER CLEANOUT		UNDERGROUND TELECOMMUNICATION
	POWER METER		CONTOURS
	GAS METER		OVERHEAD POWER
	PINE TREE		UNDERGROUND ELECTRIC
	12" PINE TREE		WATER MAIN
	12" OAK TREE		AIR CONDITION UNIT

No.	Revisions:	By:	Date:

BAIRD ENGINEERING, INC.  
 506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 925-5015  
 www.bairdeng.com

Project No.: # 4919(4868)  
 Date: 07/11/2024  
 Scale: 1" = 40'  
 Designed By: CLB  
 Reviewed By: CLB

TOPOGRAPHIC SURVEY  
 JAMES PHILLIPS  
 GLUCKSTADT, MISSISSIPPI

0.0



# The Oaks Residence

## Personal Care Assisted Living

### Tract A

#### Gluckstadt, MS

Flynn Designs  
8903 Jefferson Hwy  
River Ridge LA, 70123  
504.667.3837

### Sheet Index

- A-1 Title Sheet
- A-1.2 Landscaping Plan
- A-1.3 Reference Images
- A-1.4 Existing Contour Plan
- A-1.5 Proposed Grading
- A-1.6 Flood Hazard Map
- A-2 Floor Plans
- A-4 Elevations
- A-4.1 Elevations
- A-4.2 3D Render

### Square Footage

First Floor Living: 11,550 SQFT  
Port Cochere: 550 SQFT  
Porches: 718 SQFT

Total Living: 11,550 SQFT  
Total Gross Lot Coverage: 12,818 SQFT

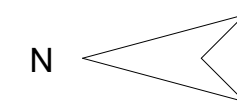
Parcel Acreage: APPROX. 5 ACRES

Total Parcel Area: 217,887 SQFT

### Program Information:

Proposed Use: Personal Care Assisted Living  
Number / Type of Units: 15 Assisted Care  
Percentage of Lot Developed For This Use: 5.9%

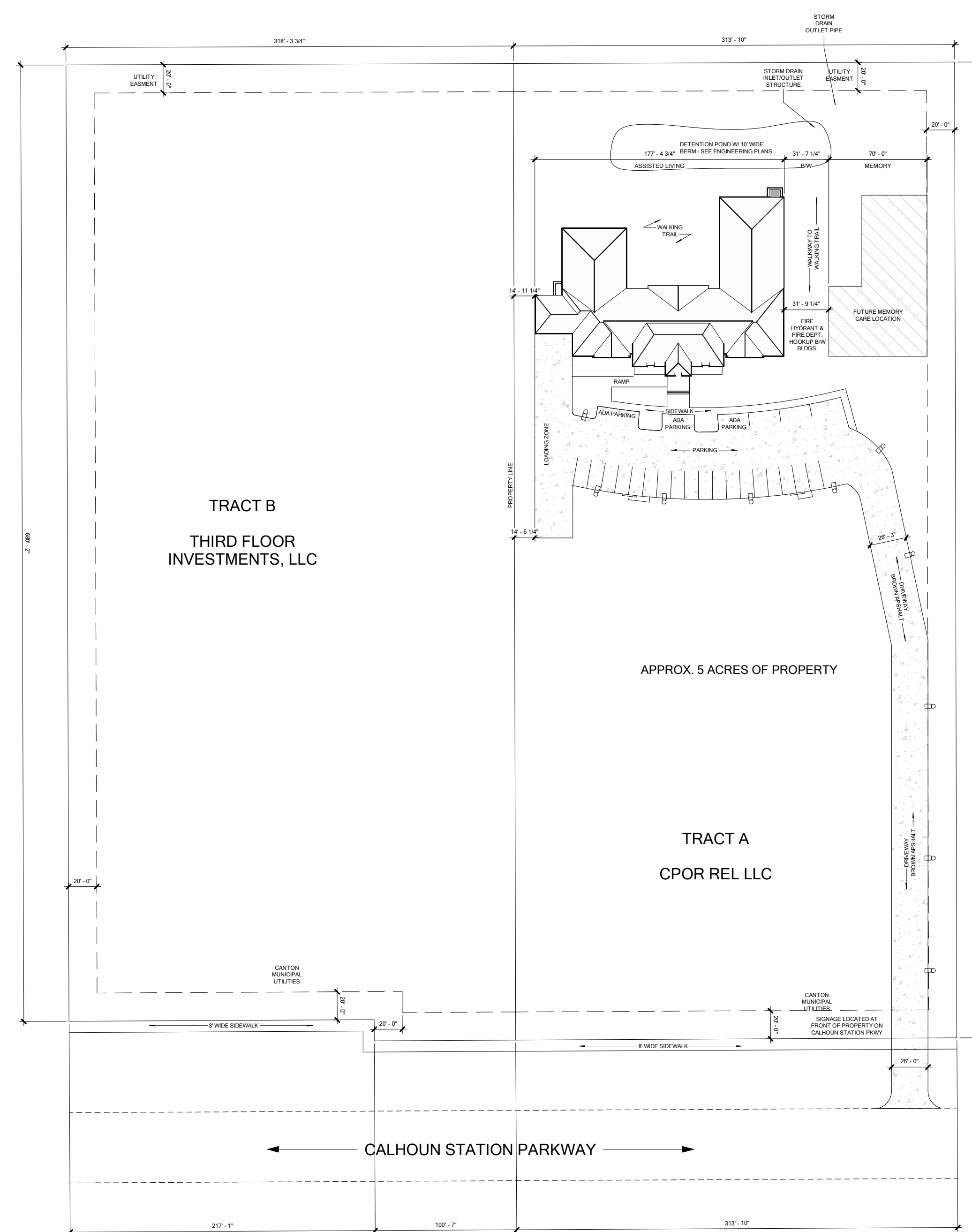
Parking Spaces: 24 Total, 3 ADA



COTTON ROW INVESTORS, LLC

MATTHEW M. MILLS

HAPP GROUP, LLC



1 Site Plan  
A-1 1/64" = 1'-0"

The Oaks Residence  
Personal Care Assisted Living  
Tract A  
Gluckstadt, MS

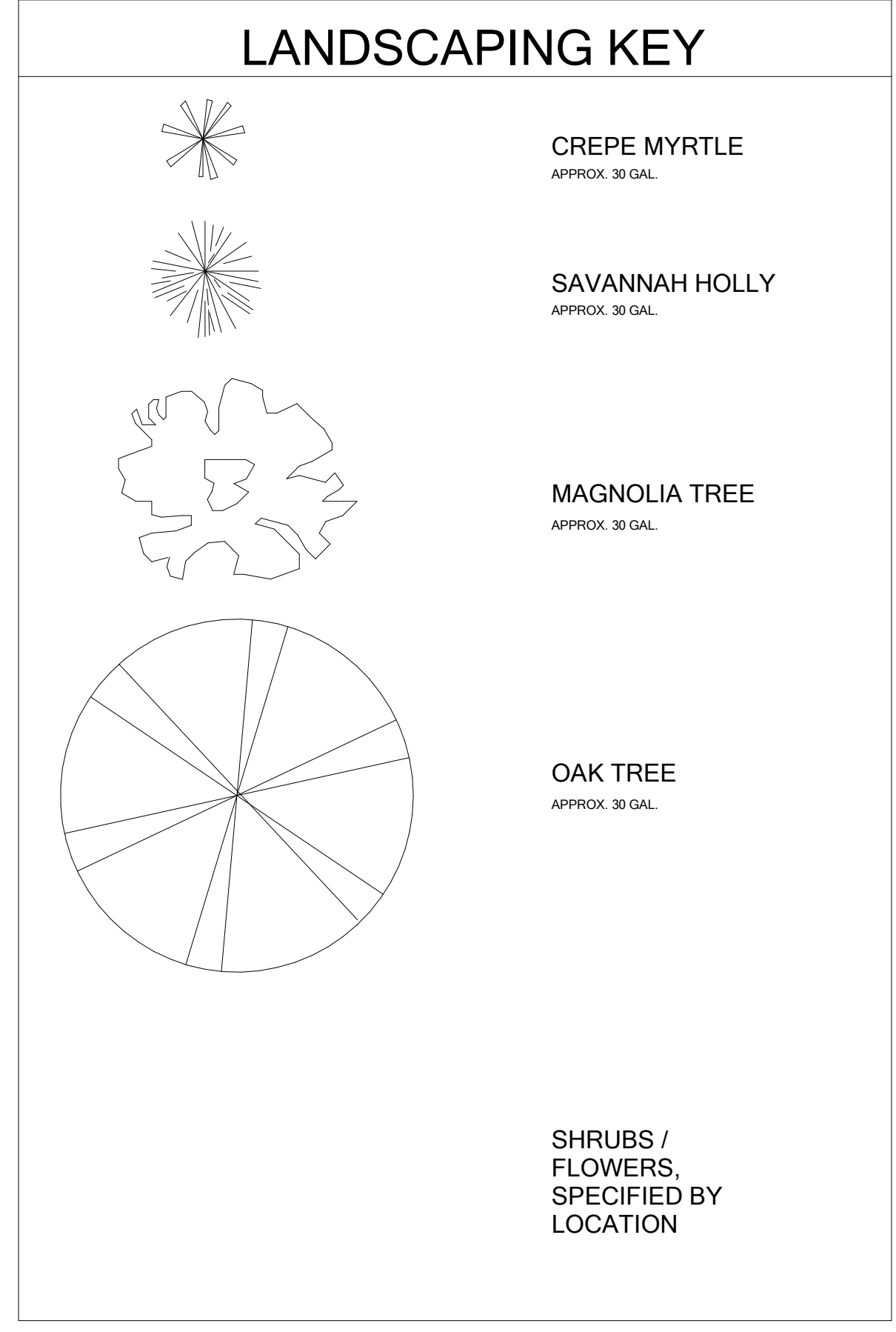
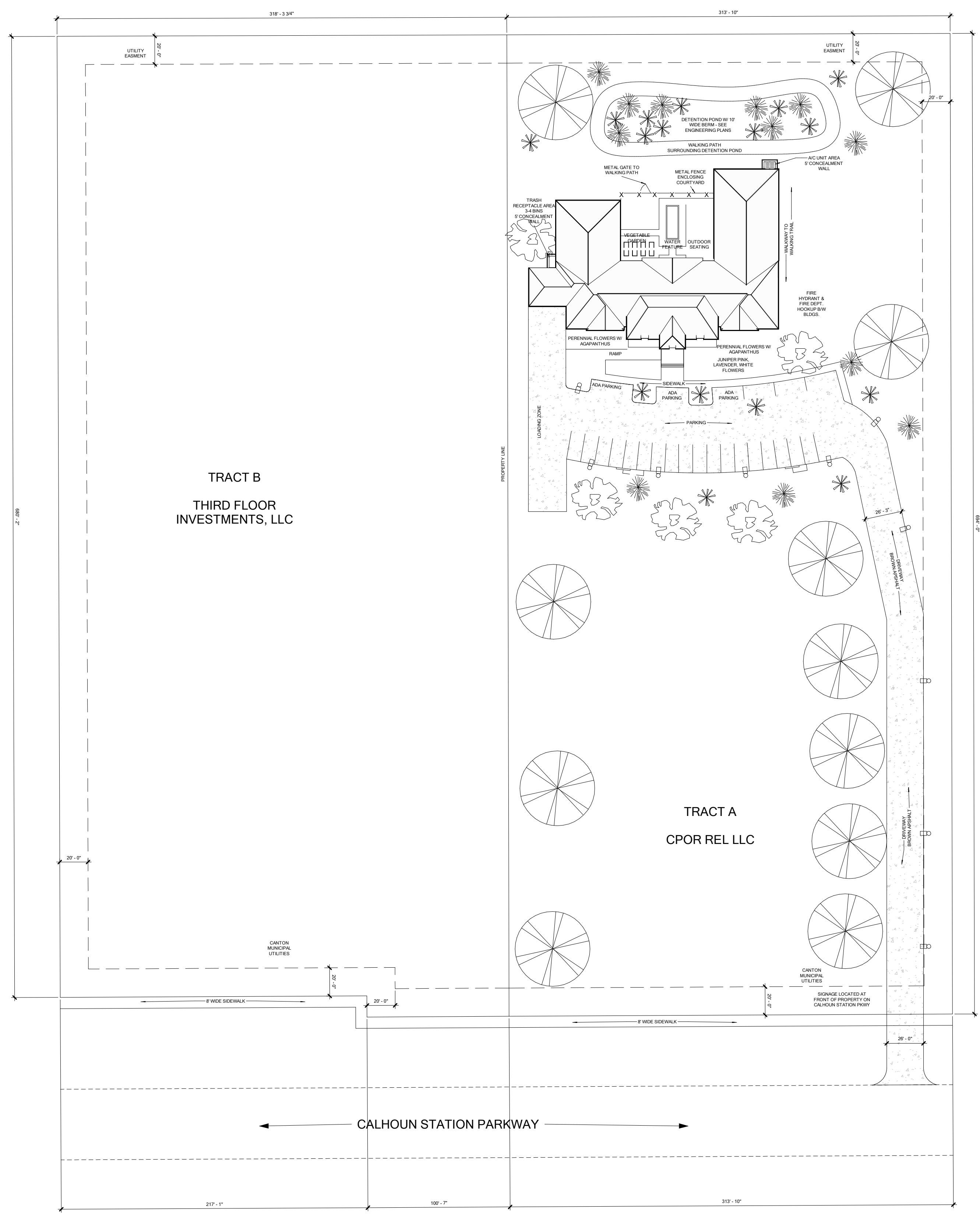
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DATE: 7.31.2024  
DRAWN BY: RLD  
CHECKED BY: JEF

TITLE: Title Sheet

SHEET:

A-1

COTTON ROW INVESTORS, LLC



MATTHEW M. MILLS

HAPP GROUP, LLC

Flynn Designs  
 8903 Jefferson Hwy  
 River Ridge LA, 70123  
 504.667.3837

**The Oaks Residence**  
 Personal Care Assisted Living  
 Tract A  
 Gluckstadt, MS

PROJECT NUMBER: F022006  
 DATE: 7.31.2024  
 DRAWN BY: RLD  
 CHECKED BY: JEF

TITLE: Landscaping Plan

SHEET:





OAK TREE



CREPE MYRTLE



BOXWOOD  
- ROUND



AGAPANTHUS



TOPIARY



SAVANNAH HOLLY



MAGNOLIA TREE



BOXWOOD  
- LINEAR



FENCE ALONG  
PROPERTY SETBACK



STREET LAMP POST

Flynn Designs  
8903 Jefferson Hwy  
River Ridge LA, 70123  
504.667.3837

The Oaks Residence  
Personal Care Assisted Living  
Tract A  
Gluckstadt, MS

PROJECT NUMBER: F022006  
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TITLE:

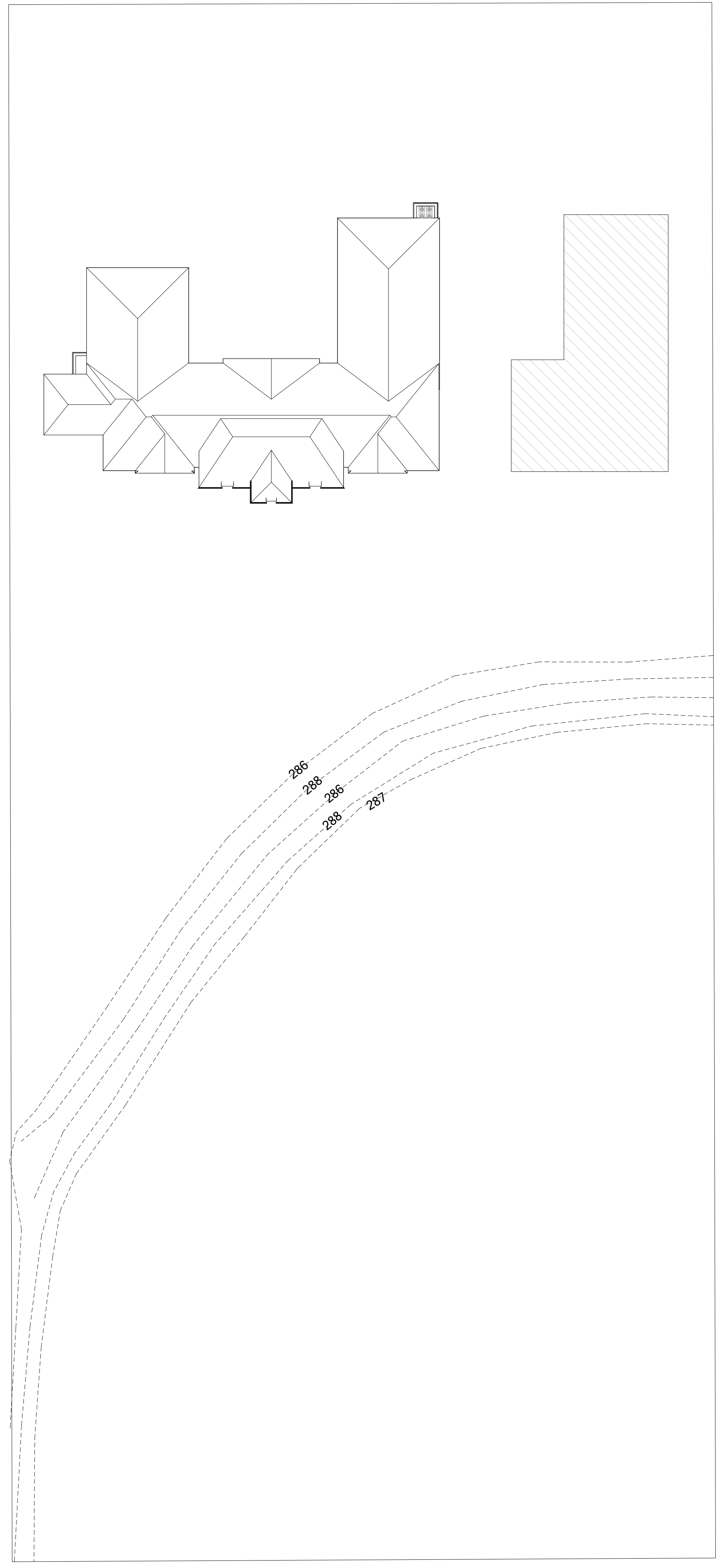
Reference Images

SHEET:

A-1.3

Schematic Design





Flynn Designs  
 8903 Jefferson Hwy  
 River Ridge LA, 70123  
 504.667.3837

**The Oaks Residence**  
 Personal Care Assisted Living  
 Tract A  
 Gluckstadt, MS

PROJECT NUMBER: F022006  
 DATE: 7.31.2024  
 DRAWN BY: RLD  
 CHECKED BY: JEF

TITLE:  
 Existing Contour Plan

SHEET:

A-1.4

Schematic Design

1 Contour Map  
 A-1.4 1/32" = 1'-0"



HALL ENGINEERING, LLC

4607 WOMACK JACKSON MS 39209



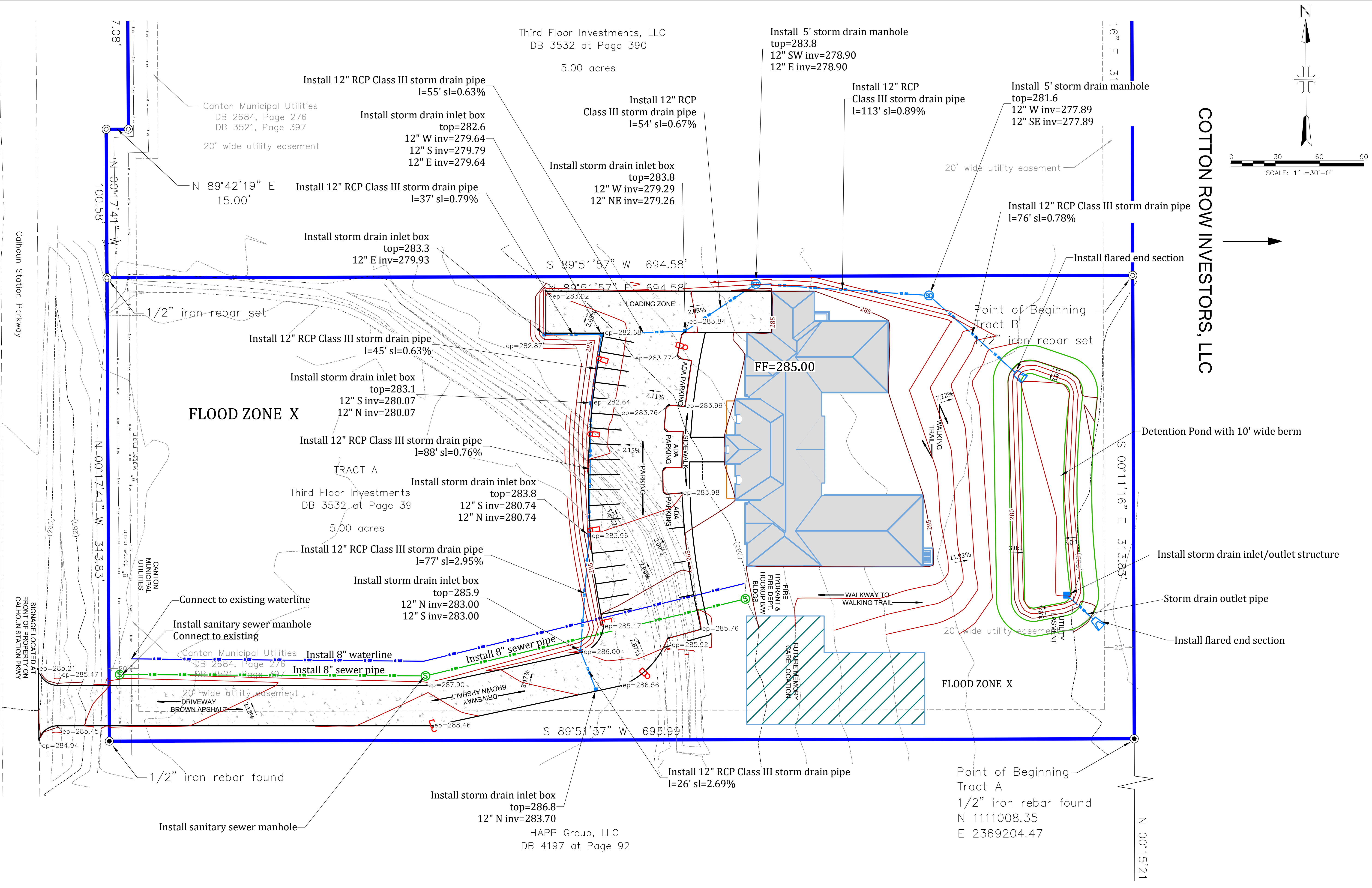
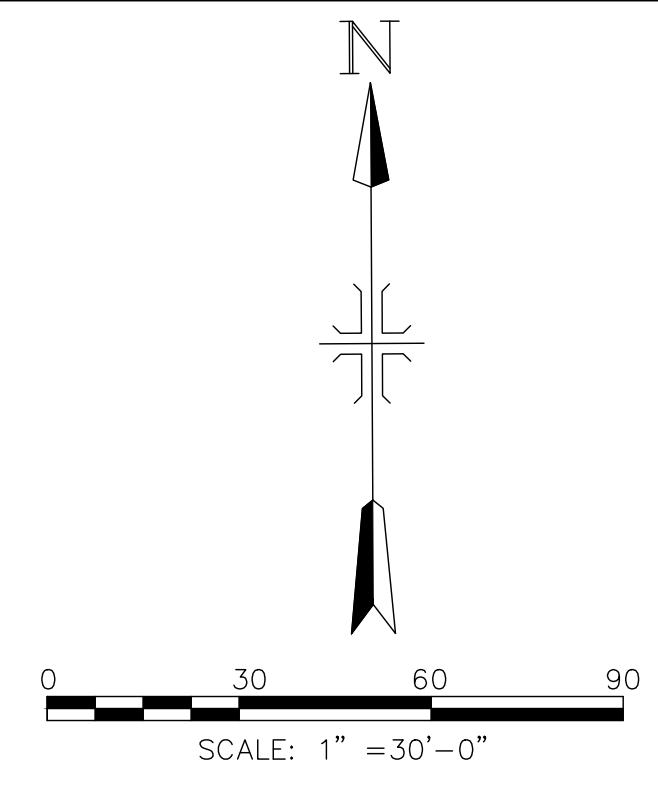
OAKS RESIDENCE  
PERSONAL CARE ASSISTED LIVING  
GLUCKSTADT, MISSISSIPPI  
GRADING & UTILITY PLAN

SYMBOL	REVISIONS	DATE
	DESCRIPTION	

DRAWN	DESIGN	CHECK	SUBMIT	SCALE	PLOTTED
JLS	MH	MH	07-31-24	1"=30'	

C-01



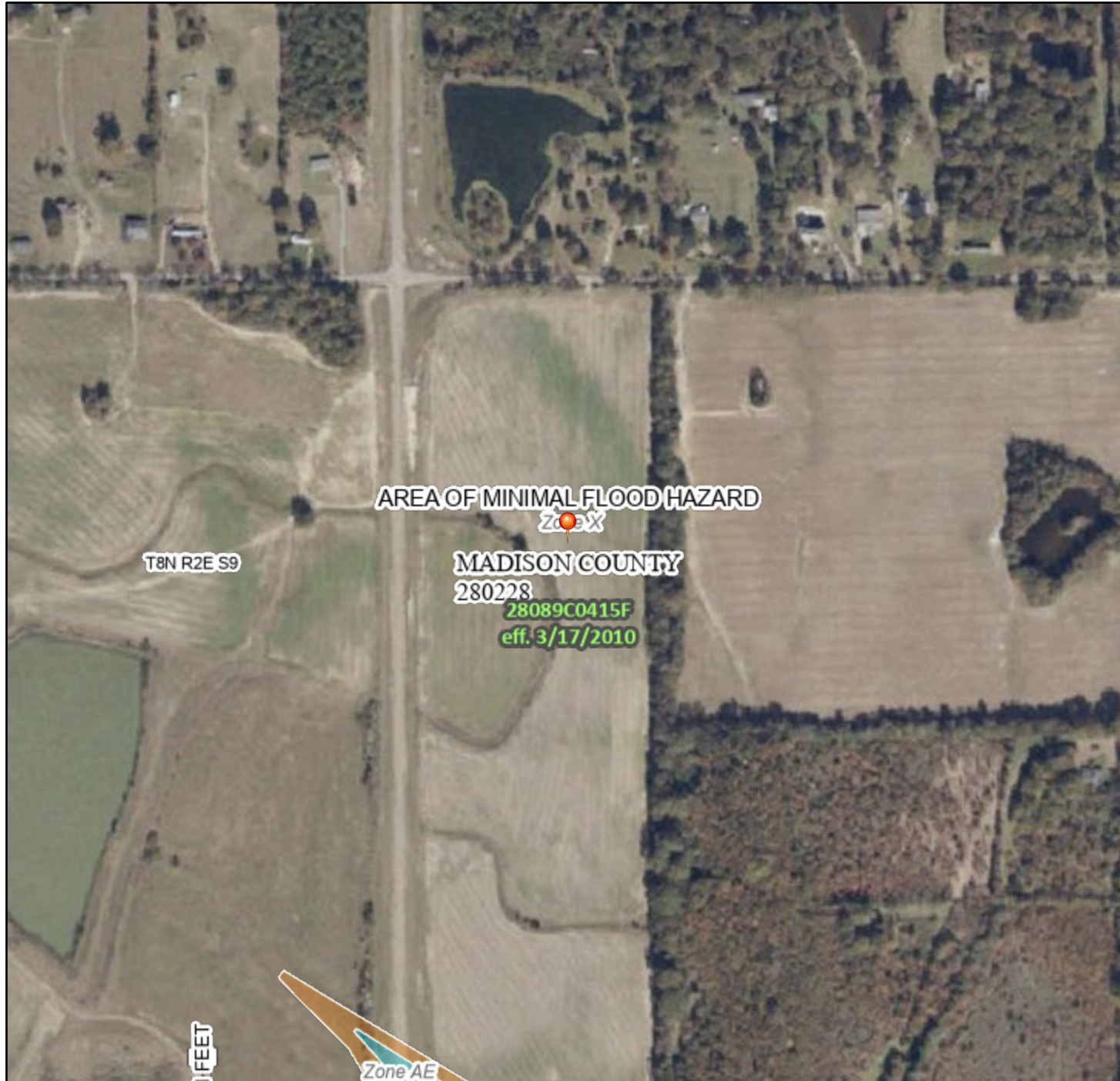
DEVELOPER:



# National Flood Hazard Layer FIRMette



90°6'13"W 32°33'33"N



## Legend

Section 10, 1B

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway	

OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D

OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation
	20.2
	17.5
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

MAP PANELS	Digital Data Available
	No Digital Data Available
	Unmapped

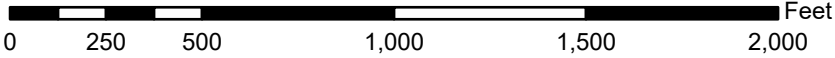


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/31/2024 at 8:38 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community id, FIRM panel number, and FIRM effective date. Map is unmapped and unmodernized areas cannot be used for regulatory purposes.



1:6,000

90°5'36"W 32°33'3"N

Basemap Imagery Source: USGS National Map 2023

Flynn Designs  
8903 Jefferson Hwy  
River Ridge LA, 70123  
504.667.3837

**The Oaks Residence**  
Personal Care Assisted Living  
Tract A  
Gluckstadt, MS

PROJECT NUMBER: F020006  
DATE: 7.31.2024  
DRAWN BY: RLD  
CHECKED BY: JEF  
TITLE:

Floor Plans

SHEET:

A-2

Schematic Design



1 Floor Plan  
A-2 1/8" = 1'-0"



Flynn Designs  
8903 Jefferson Hwy  
River Ridge LA, 70123  
504.667.3837

The Oaks Residence  
Personal Care Assisted Living  
Tract A  
Gluckstadt, MS

PROJECT NUMBER: F022006  
DATE: 7.31.2024  
DRAWN BY: RLD  
CHECKED BY: JEF  
TITLE:

Elevations

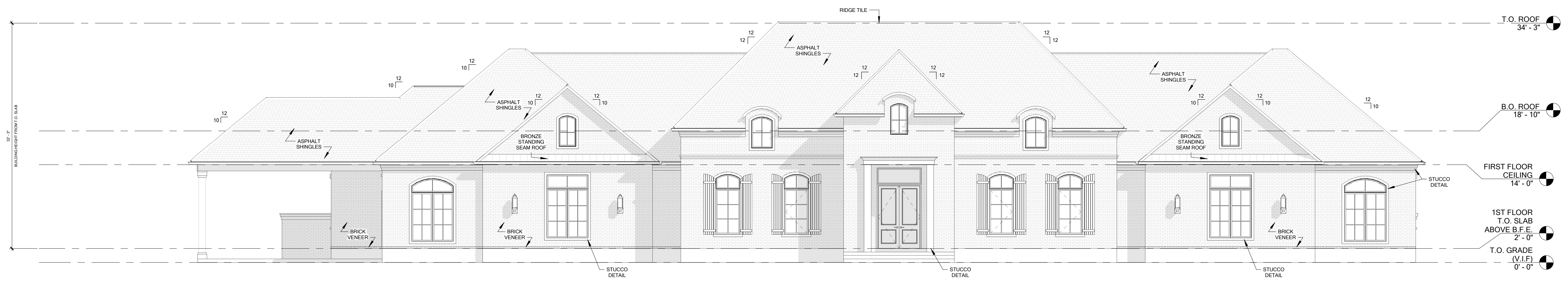
SHEET:

A-4

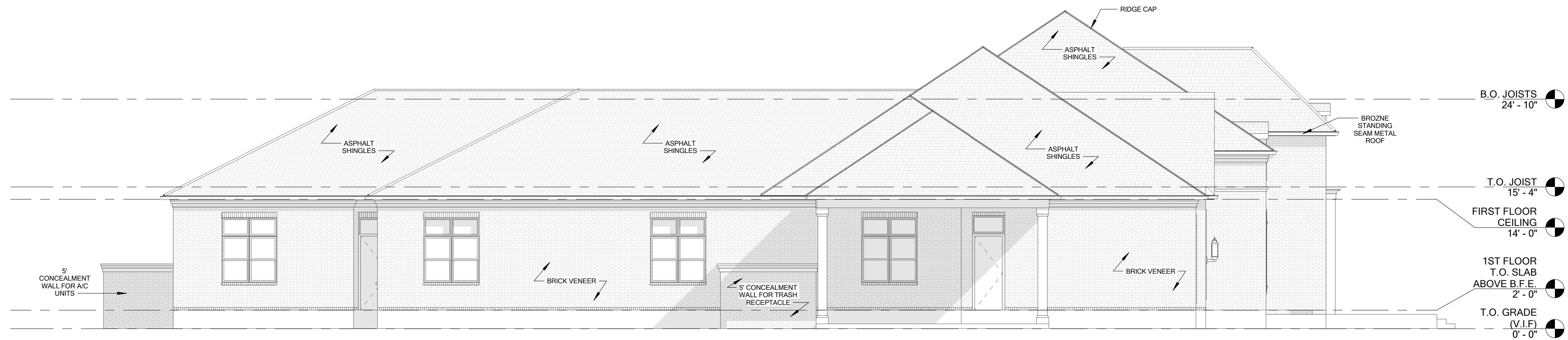
Schematic Design



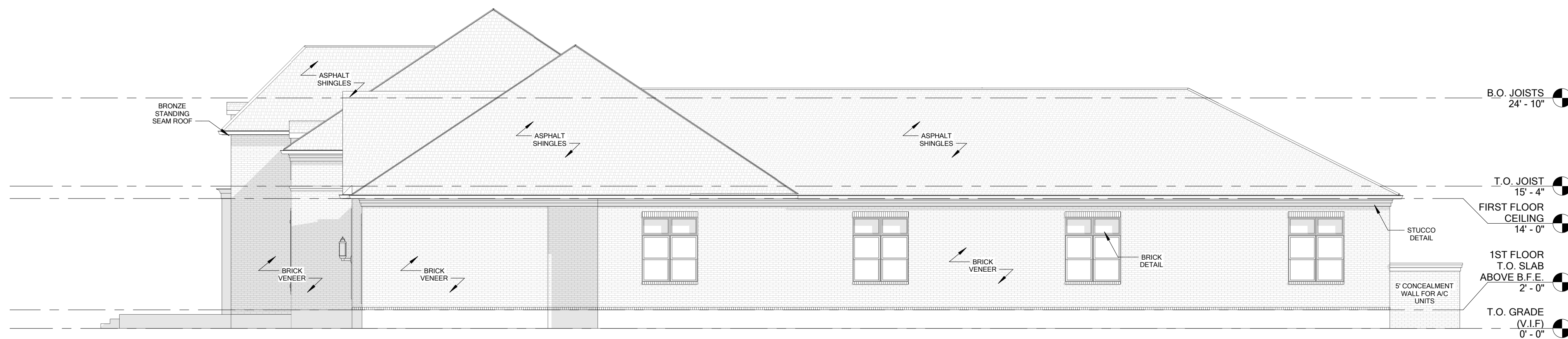
2 Rear Elevation  
A-4 1/8" = 1'-0"



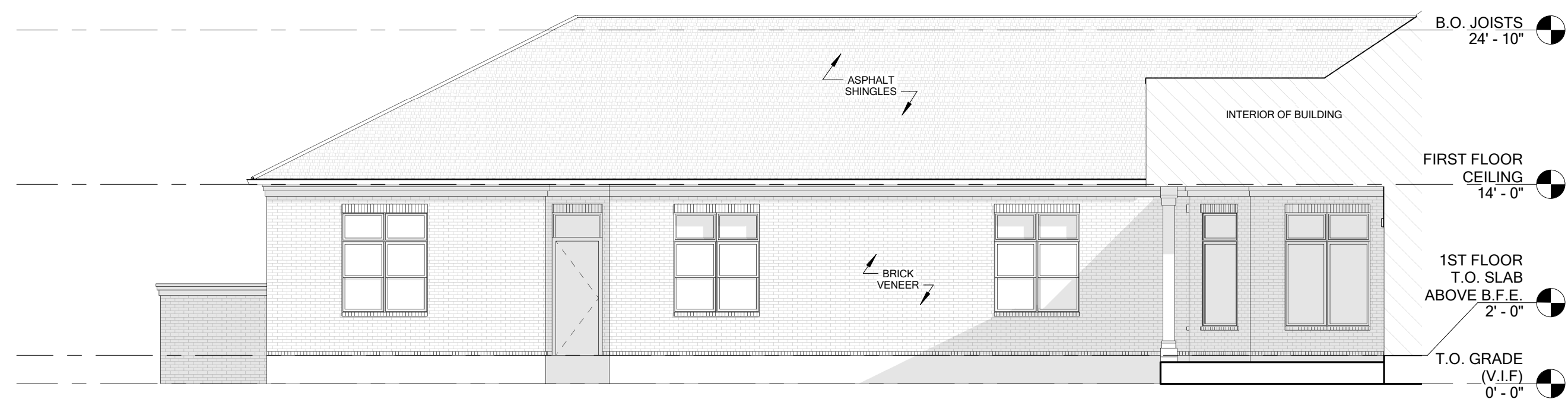
1 Front Elevation  
A-4 1/8" = 1'-0"



2 Livingston Side Elevation  
A-4.1 1/8" = 1'-0"



1 Side Elevation  
A-4.1 1/8" = 1'-0"



3 Courtyard Elevation - Left  
A-4.1 1/8" = 1'-0"



4 Courtyard Elevation - Right  
A-4.1 1/8" = 1'-0"

Flynn Designs  
8903 Jefferson Hwy  
River Ridge LA, 70123  
504.667.3837

The Oaks Residence  
Personal Care Assisted Living  
Tract A  
Gluckstadt, MS

PROJECT NUMBER: FD22006  
DATE: 7/31/2024  
DRAWN BY: RLD  
CHECKED BY: JEF  
TITLE:

Elevations

SHEET:

A-4.1





Flynn Designs  
 8903 Jefferson Hwy  
 River Ridge LA, 70123  
 504.667.3837

**The Oaks Residence**  
 Personal Care Assisted Living  
 Tract A  
 Gluckstadt, MS

PROJECT NUMBER: F022006  
 DATE: 7/31/2024  
 DRAWN BY: RLD  
 CHECKED BY: JEF

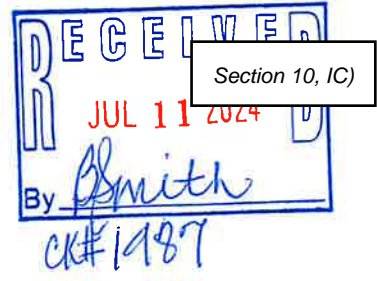
TITLE:  
 3D Render

SHEET:

A-4.2

Schematic Design





City of Gluckstadt

Application for Conditional Use

Subject Property Address: 2210 Highway 51

Parcel#: 082 F 14-019/0.00

Owner: Sowell Rd Shell LLC

Applicant: Sowell Rd Shell, LLC

Address: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: 601-238-5918

Phone#: 601-238-5918

E-Mail: \_\_\_\_\_

E-Mail: \_\_\_\_\_

Current Zoning District: C-2

Acreage of Property (If applicable): 141,063 SF (3.24 ac)

Use sought of Property: Retail

2024124

Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Sie Plan as required in Section 807-810

Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)


A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

  
\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Date



**PREPARED BY AND RETURN TO:**

Gardner Richey (MS Bar #: 105292)  
 Maples & Richey, PLLC  
 101 Webster Circle, Suite 200  
 Madison, Mississippi 39110  
 Phone: (601) 707-4114

**INDEXING INSTRUCTIONS:**

A parcel or tract of land, containing 3.2389 acres, more or less, lying and being situated in the NE ¼ of Section 15, T8N-R2E, and the NW ¼ of Section 14, T8N-R2E, Madison County, Mississippi Madison County, Mississippi

Parcel #: 082F-14-019/01.00 & 082F-14-019/00.00

**WARRANTY DEED**

FOR AND IN CONSIDERATION of the sum of Ten Dollars and No/100 (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the undersigned,

Sowell Road, LLC, a Mississippi Limited Liability Company ("Grantor")  
 1200 Meadowbrook Road, Unit 43, Jackson, MS 39206  
 Phone: 601-540-6177

does hereby GRANT, BARGAIN, SELL, CONVEY AND WARRANT to

Sowell Rd Shell, LLC, a Mississippi Limited Liability Company ("Grantee")  
 457 Bozeman Road, Madison, MS 39110  
 Phone: (601) 238-5918

the following described land (the "Property"), situated, lying and being in **Madison County, Mississippi**, to-wit:

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.**

TOGETHER WITH all improvements and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder, and easement thereto belonging or in anyway

appertaining, to have and to hold the same in fee simple forever.

This conveyance and the warranty hereof are SUBJECT TO (a) ad valorem real property taxes and assessments for the current and subsequent years; (b) all zoning, environmental and other building and other regulations, laws, ordinances, orders, rules, permits, restrictions, codes and requirements of any governmental authorities, federal, state, county, local or otherwise; and (c) all covenants, conditions, restrictions, reservations (including prior oil, gas, mineral and royalty reservations), severances, easements, rights of way, leases or any other encumbrance or limitation of record, if any.

Current ad valorem taxes on the Property having been prorated, Grantee hereby assumes payment of all ad valorem real property taxes and assessments on the Property for the current year and subsequent years.

The terms "Grantor" and "Grantee" are used for singular or plural, as context requires, and include the respective heirs, personal representatives, successors and assigns of the parties hereto.

**IN WITNESS WHEREOF**, Grantor has signed and delivered this Warranty Deed on this the 14th day of December, 2021.

Sowell Road, LLC, a Mississippi Limited Liability Company

By: Big Mama Land and Cattle LLC, its Member

By: *Michael D. Maples*  
Michael D. Maples, President

STATE OF MISSISSIPPI  
COUNTY OF MADISON

This record was acknowledged before me on December 14, 2021 by Michael D Maples, President of Big Mama Land and Cattle, LLC, Big Mama Land and Cattle, LLC being the Sole Member of Sowell Road, LLC.

*Kristine M. Sorey*  
Notary Public





**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

A parcel or tract of land, containing 3.2389 acres, more or less, lying and being situated in the NE ¼ of Section 15, T8N-R2E, and the NW ¼ of Section 14, T8N-R2E, Madison County, Mississippi, being a part of Parcel 1 of the Sowell Road, LLC property as described in Deed Book 2942 at Page 217 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi, and being more particularly described as follows:

COMMENCING at a concrete monument lying at the NE corner of the NE ¼ of Section 15, T8N-R2E, Madison County, Mississippi; run thence

East for a distance of 402.95 feet; thence

South for a distance of 1,949.23 feet to the Northerly Right-Of-Way of Sowell Road, as it existed in September, 2021, said also being and lying at the NE corner of the above referenced Parcel 1 of the Sowell Road, LLC property and POINT OF BEGINNING of the herein described property; thence

Along the Northerly Right-Of-Way of said Sowell Road and the Easterly and Southerly boundary of Parcel 1 of said Sowell Road, LLC property to points at each of the following calls;

South 23 degrees 43 minutes 28 seconds West for a distance of 273.33 feet; thence  
South 50 degrees 40 minutes 23 seconds West for a distance of 274.48 feet; thence  
North 66 degrees 15 minutes 24 seconds West for a distance of 65.72 feet; thence  
South 23 degrees 44 minutes 36 seconds West for a distance of 49.93 feet; thence  
North 66 degrees 15 minutes 24 seconds West for a distance of 39.78 feet; thence

40.93 feet along the arc of a 800.00 foot radius curve to the left, said arc having a 40.93 foot chord which bears North 67 degrees 43 minutes 21 seconds West to an iron pin; thence

Leaving the Northerly Right-Of-Way of said Sowell Road and the Southerly boundary of Parcel 1 of said Sowell Road, LLC property, run North 06 degrees 31 minutes 59 seconds East for a distance of 417.06 feet to an iron pin lying on Northerly boundary of Parcel 1 of said Sowell Road, LLC property; thence

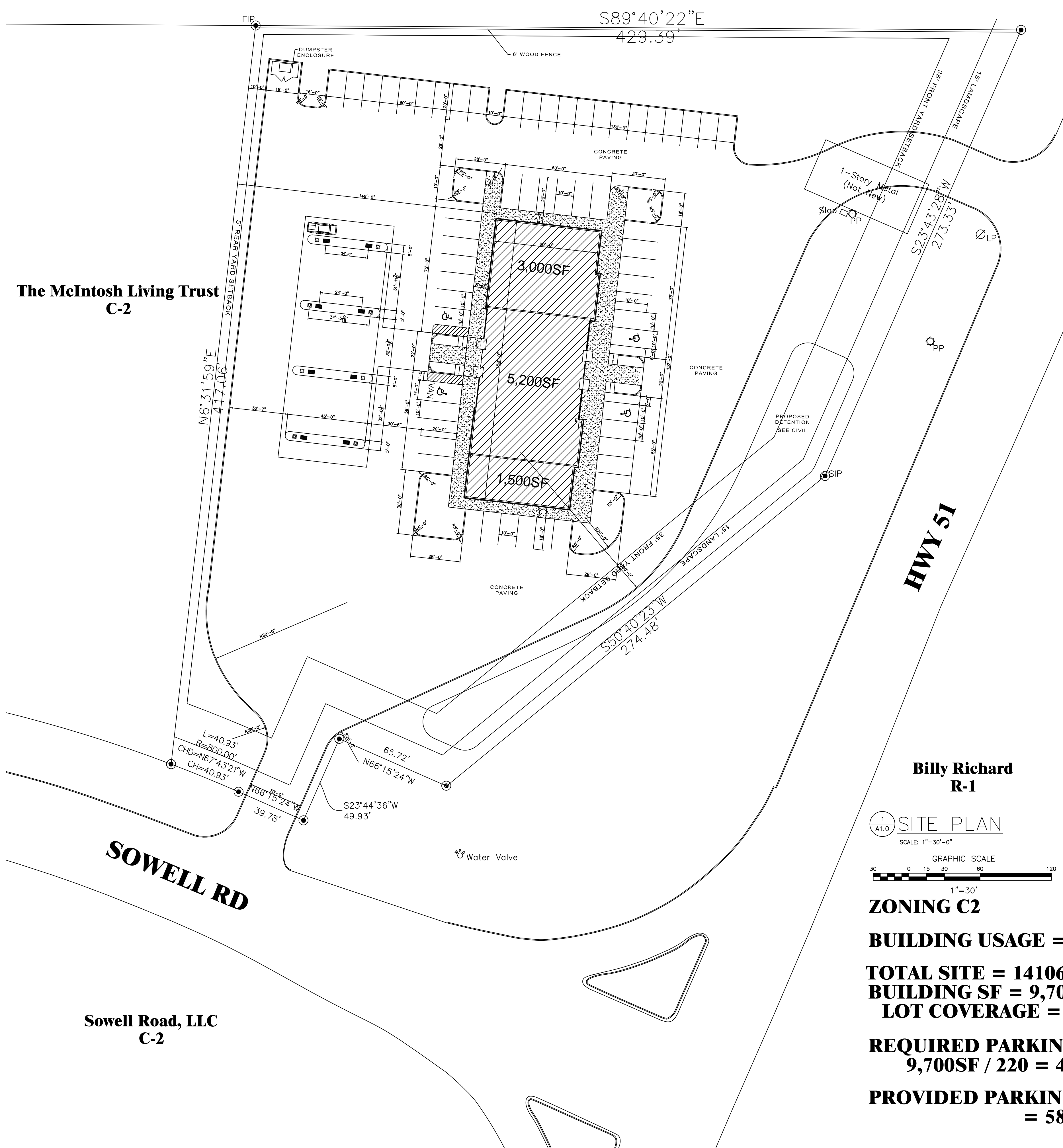
South 89 degrees 40 minutes 22 seconds East along the Northerly boundary of Parcel 1 of said Sowell Road, LLC property for a distance of 429.39 feet to the POINT OF BEGINNING of the above described parcel or tract of land.

Parcel #: 082F-14-019/01.00 & 082F-14-019/00.00  
Address: 3.2389 +/- Acres Sowell Road, Madison, MS 39110

MADISON COUNTY, MS, RONNY LOTT  
I CERTIFY THIS INSTRUMENT WAS FILED ON 12/16/2021 7:56:27 AM AND RECORDED IN W BOOK 4146 PAGE 690



**Kanwal & Sowita Nair  
R-2**



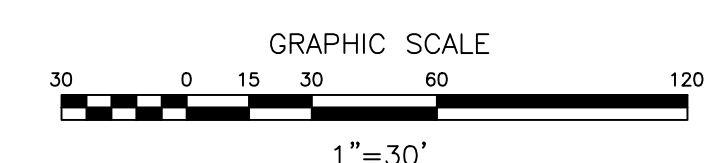
**Storage 51, LLC  
C-2**



**1**  
A1.0 VICINITY MAP  
SCALE:

**Billy Richard  
R-1**

**1**  
A1.0 SITE PLAN  
SCALE: 1"=30'-0"



**ZONING C2**

**BUILDING USAGE = RETAIL**

**TOTAL SITE = 141063SF  
BUILDING SF = 9,700SF  
LOT COVERAGE = 7%**

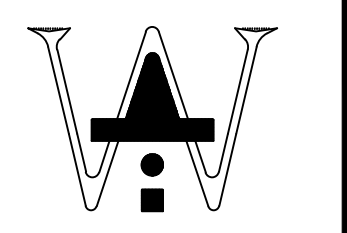
**REQUIRED PARKING  
9,700SF / 220 = 44 SPACES**

**PROVIDED PARKING  
= 58 SPACES**

**The McIntosh Living Trust  
C-2**

**Sowell Road, LLC  
C-2**

REVISIONS	BY



**WOOLDRIDGE & ASSOCIATES**  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8885  
WOOLDRIDGEARCHITECTURE@YAHOO.COM

**Sowell Road Shell**  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

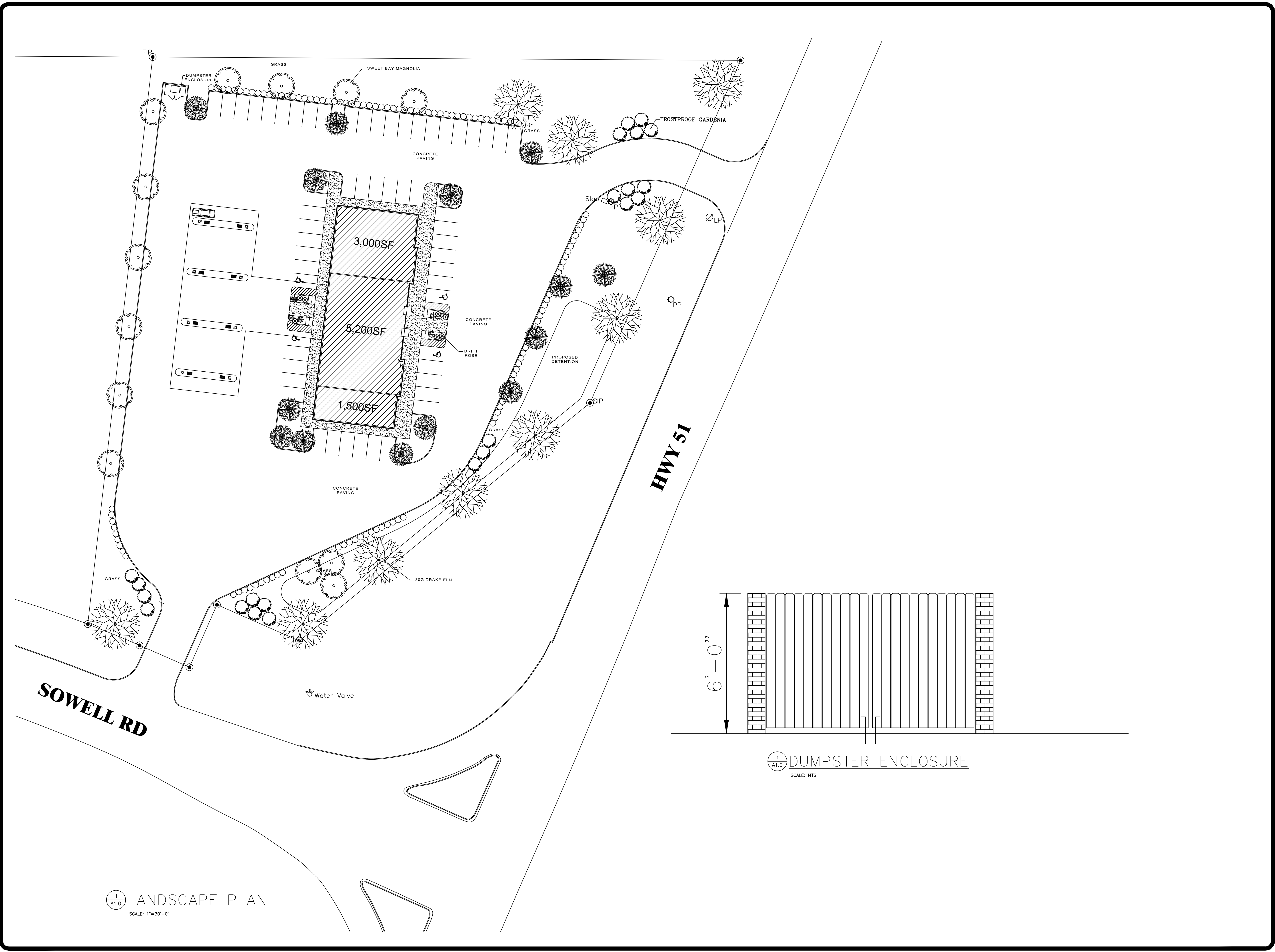
THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE
3/2/22
SCALE
JOB NO.
SHEET

**A0.0**



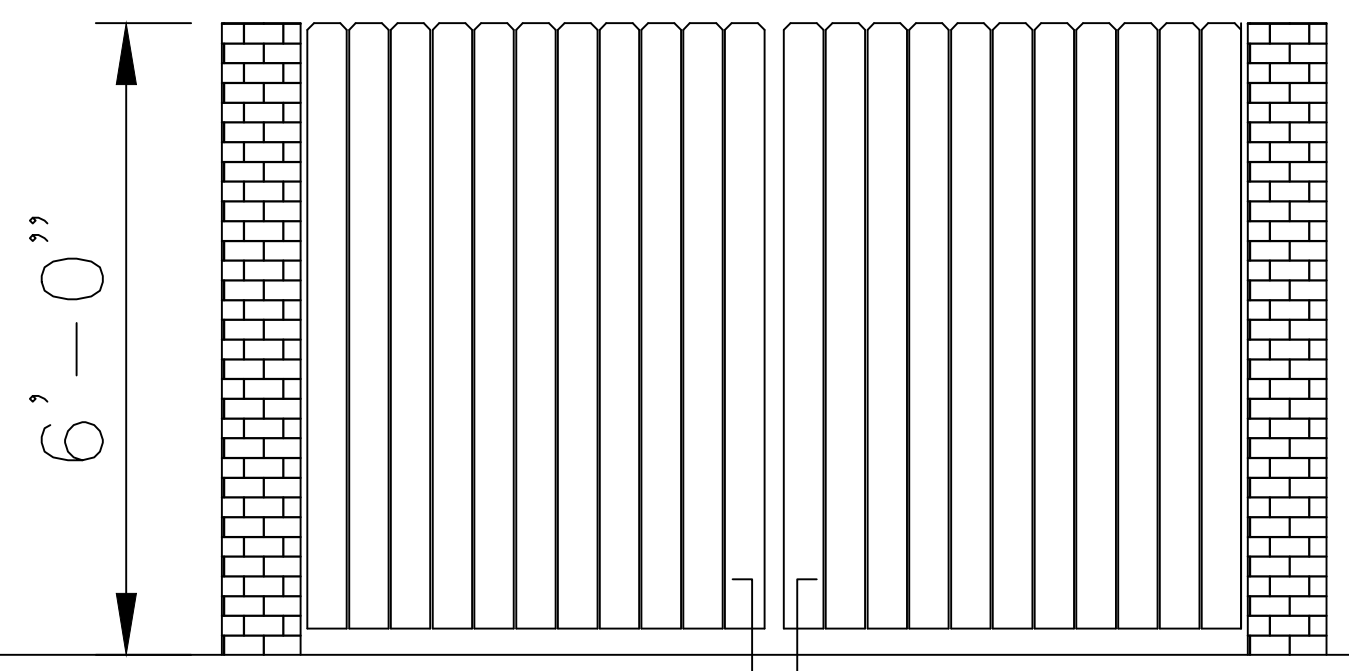
DW 3/28/2022 3:33 PM SITE PLAN.dwg



LANDSCAPE PLAN  
SCALE: 1"=30'-0"

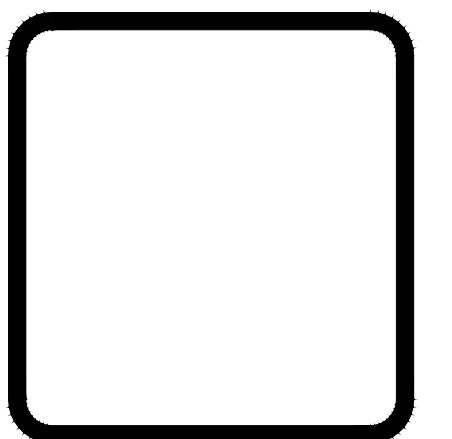
HWY 51

SOWELL RD



1  
A1.0 DUMPSTER ENCLOSURE  
SCALE: NTS

REVISIONS	BY



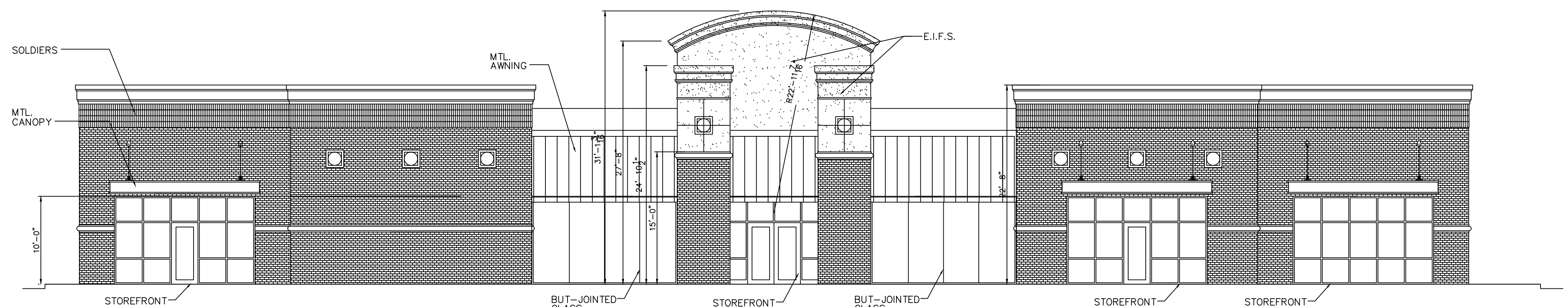
**W**

WOOLDRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8885  
WOOLDRIDGEARCHITECTUREFARM.COM

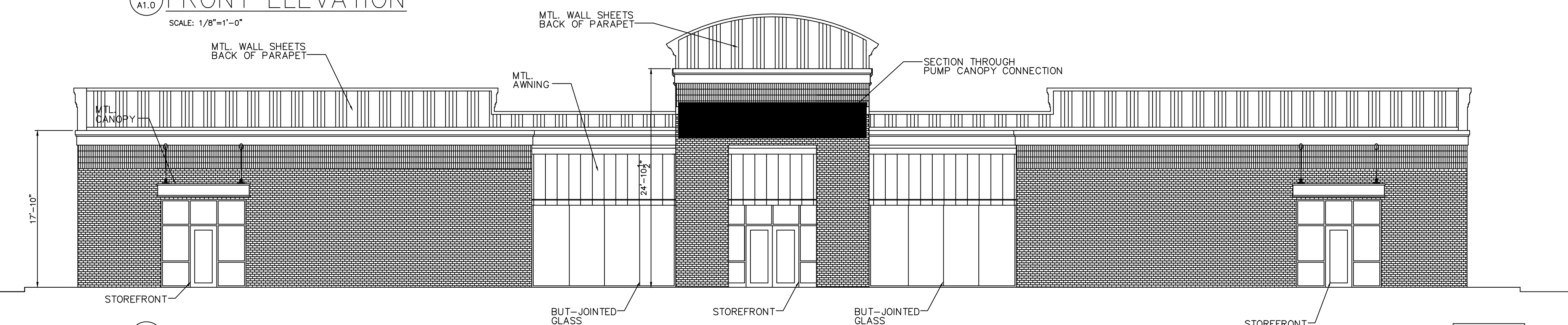
Sowell Road Shell  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

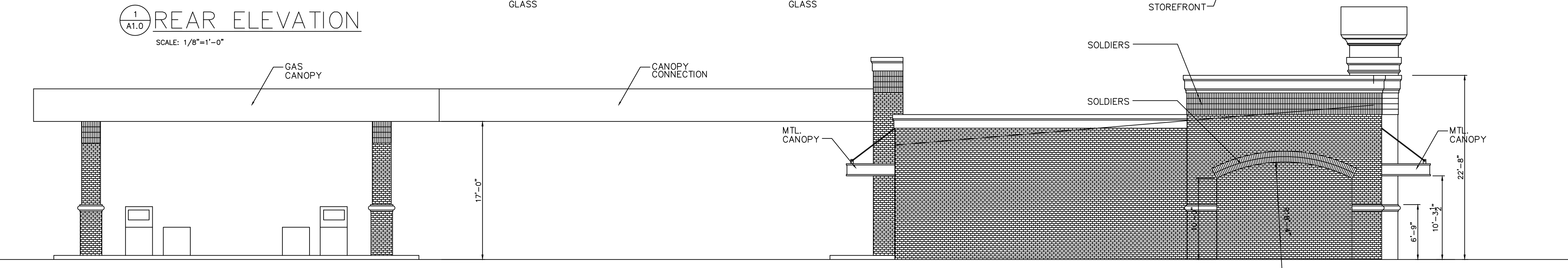
DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET A0.1
OF SHEETS



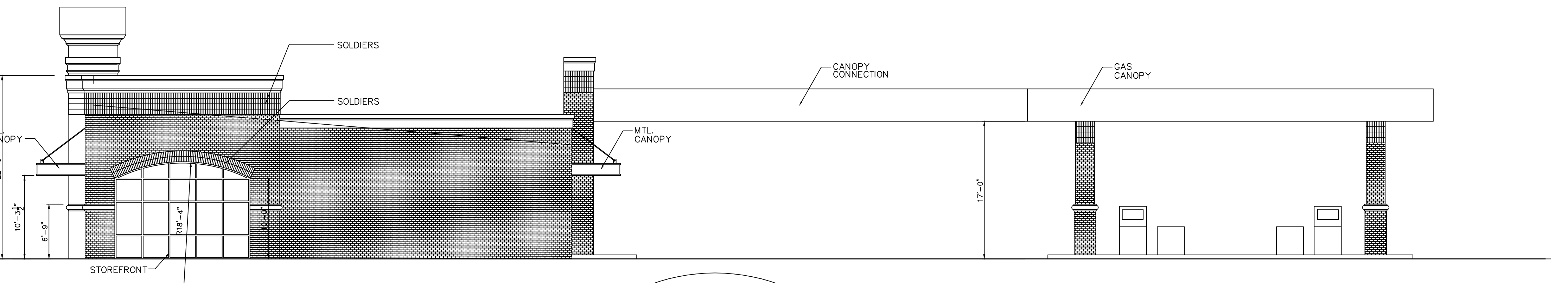
1 FRONT ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 REAR ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

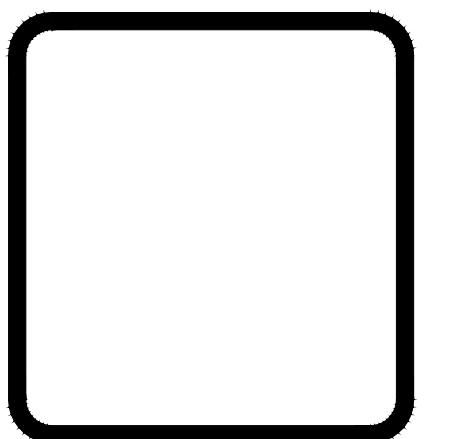


1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 CANOPY ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

REVISIONS	BY



WOOLRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8865  
WOOLRIDGEARCHITECTUREFIRM.COM

Sowell Road Shell  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

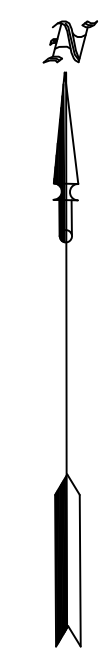
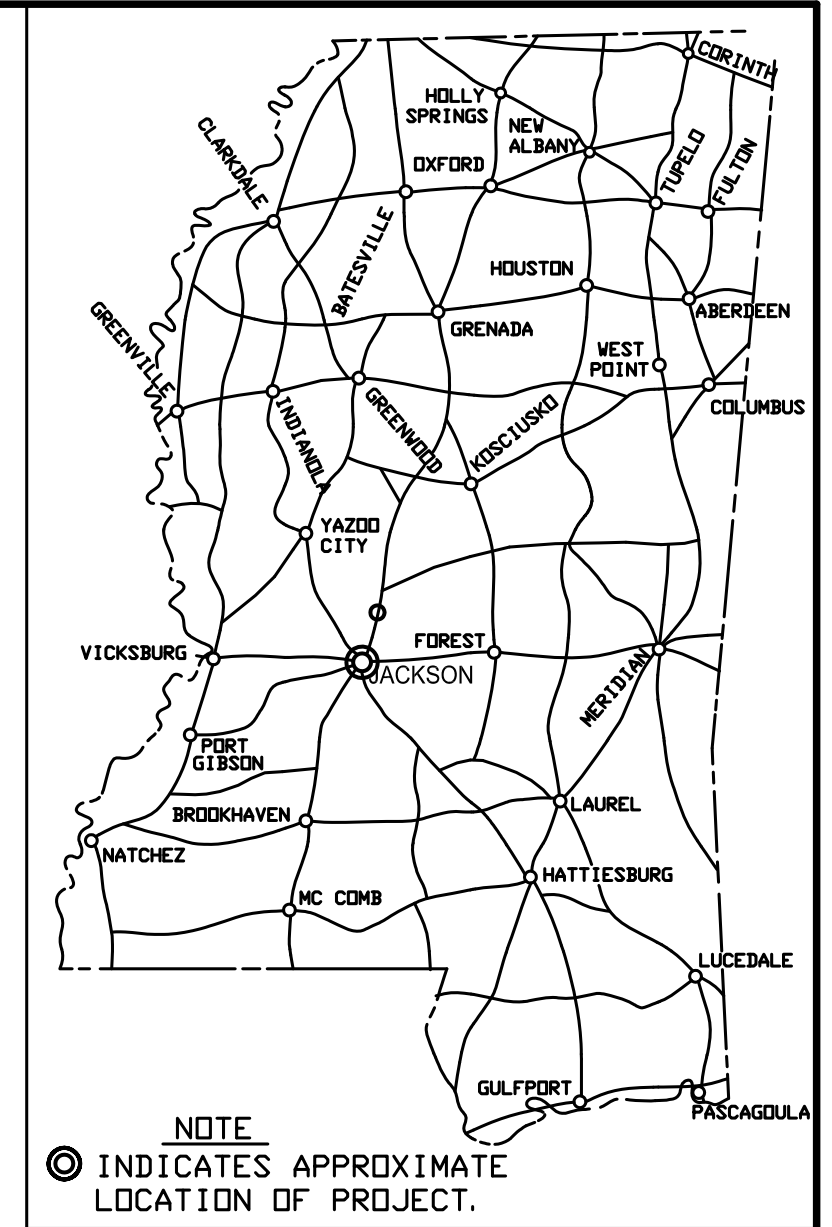
THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET A3.0
OF SHEETS


DW 3/28/2022 3:33 PM SITE PLAN.dwg



# SITE DEVELOPMENT PLANS NEW CONVENIENCE STORE 2210 HIGHWAY 51 GLUCKSTADT, MS



PROJECT SITE

 **Crown Engineering, PLLC**  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph.: (601)713-4346

VICINITY MAP  
NOT TO SCALE  
OCTOBER 2023



DATE: 10.11.2023

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	Title Sheet
2	Existing Site Survey
3	Site Plan
4	Grading, Drainage, and Erosion Control Plan
5	Utility Layout Plan
6	Miscellaneous Detail Sheet



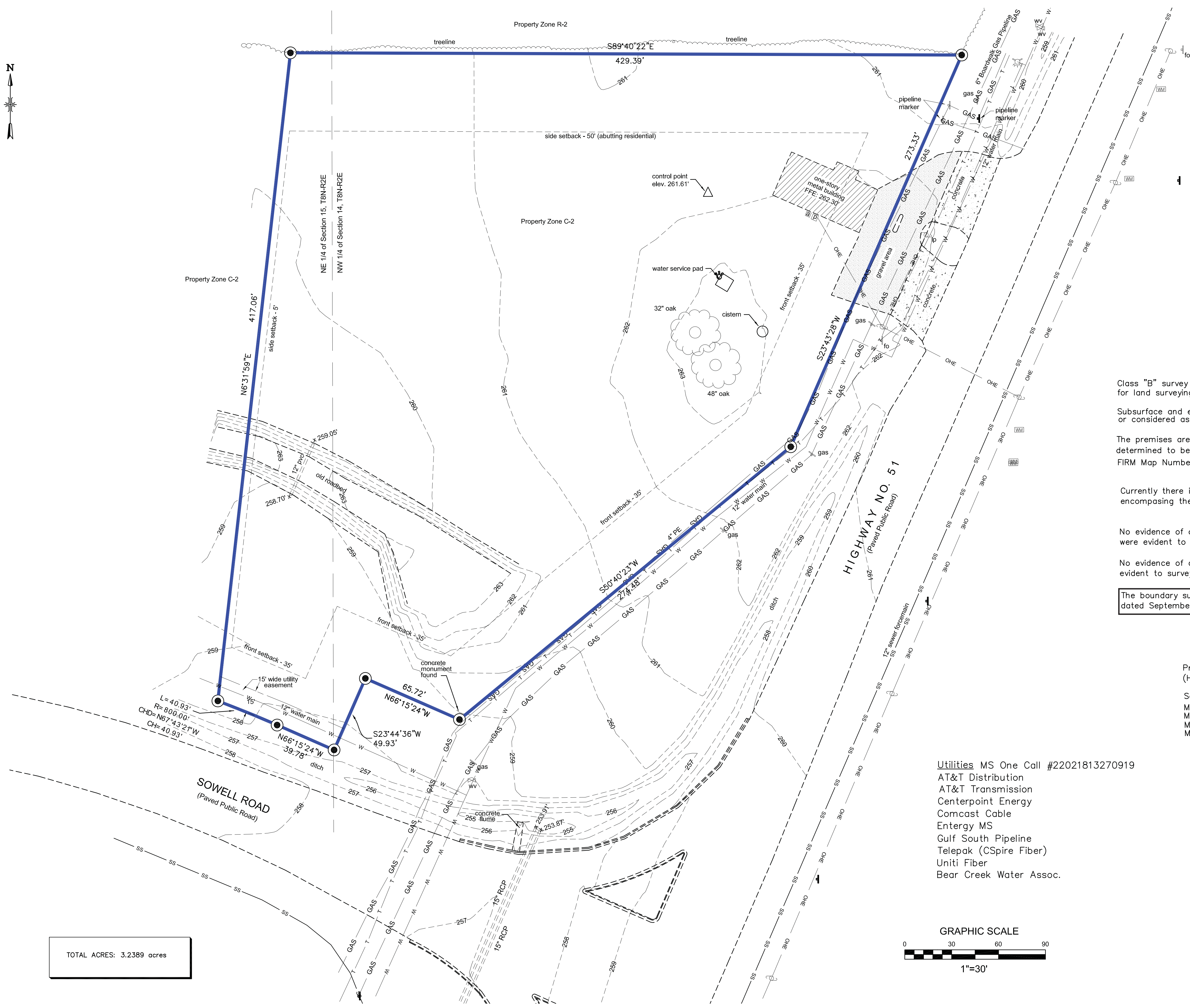
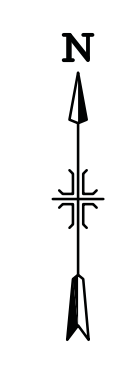
Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, INC.	
506 Jefferson Street, Clinton, MS 39056	
Phone: (601) 925-5015	

Project No.:	# 4532
Date:	02/17/2022
Scale:	1" = 30'
Drawn By:	CLB
Reviewed By:	CLB

TOPOGRAPHIC SURVEY OF CERTAIN PROPERTY IN THE NE 1/4 OF SECTION 15, T8N-R2E AND THE NW 1/4 OF SECTION 14, T8N-R2E, MADISON COUNTY, MISSISSIPPI
--

DRAWING NUMBER	<b>C-1</b>
SHEET NO.	2 of 6



Vertical elevations are referenced to NAVD88

This property may be subject to recorded or unrecorded easements, rights-of-way or other encumbrances which are not evident to the surveyor, but which would be revealed by a title search performed by a competent attorney.

Basis of Bearing: the bearings on this plat are based on and referenced to the Mississippi State Plane Coordinate System Grid North (NAD83-West Zone) as derived using RTK GPS observations using Cors Stations MSJK and MSYZ.

This TOPOGRAPHIC survey was performed and this plat was prepared by Baird Engineering, Inc., 506 Jefferson Street, Clinton, MS 39056 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on February 17, 2022.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

The premises are situated in Zone X-Other Areas, which is defined as, "Areas determined to be outside the 0.2% annual chance floodplain", as shown on FIRM Map Number 28089C0415F, effective date of March 17, 2010.

Currently there is no earth moving work or building construction encompassing the entire property as evident to surveyor at time of survey.

No evidence of a solid waste dump, sump or sanitary landfill were evident to surveyor at time of survey.

No evidence of cemeteries, gravesites or burial grounds were evident to surveyor at time of survey.

The boundary survey for this property was performed by Ron McMaster, Jr. dated September 7, 2021.

Property is zoned C-2 (Highway Commercial District)

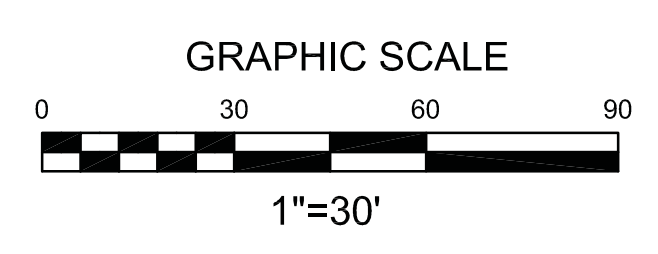
Setback Limits:  
Minimum Front Yard Requirements: 35 feet  
Minimum Side Yard Requirements: 5 feet  
Minimum Rear Yard Requirements: 5 feet  
Minimum Side & Rear Requirements Abutting Residential: 50 feet

Utilities MS One Call #22021813270919

- AT&T Distribution
- AT&T Transmission
- Centerpoint Energy
- Comcast Cable
- Entergy MS
- Gulf South Pipeline
- Telepak (CSpire Fiber)
- Uniti Fiber
- Bear Creek Water Assoc.

LEGEND

	UTILITY POLE		CABLE PEDESTAL
	GAS VALVE		TELEPHONE PEDESTAL
	WATER VALVE		SIGN
	1/2" IRON REBAR FOUND		STORM INLET
	1/2" IRON REBAR SET (18" long)		SAN. SEWER MANHOLE
	LIGHT POLE		SAN. SEWER
	WATER METER		GAS LINE
	SEWER CLEANOUT		UNDERGROUND TELECOM
	POWER METER		CONTOURS
	GAS METER		OVERHEAD POWER
	MONITORING WELL		UNDERGROUND ELECTRIC
	FIRE HYDRANT		WATER MAIN
			UNDERGROUND POWER
			FENCE



TOTAL ACRES: 3.2389 acres

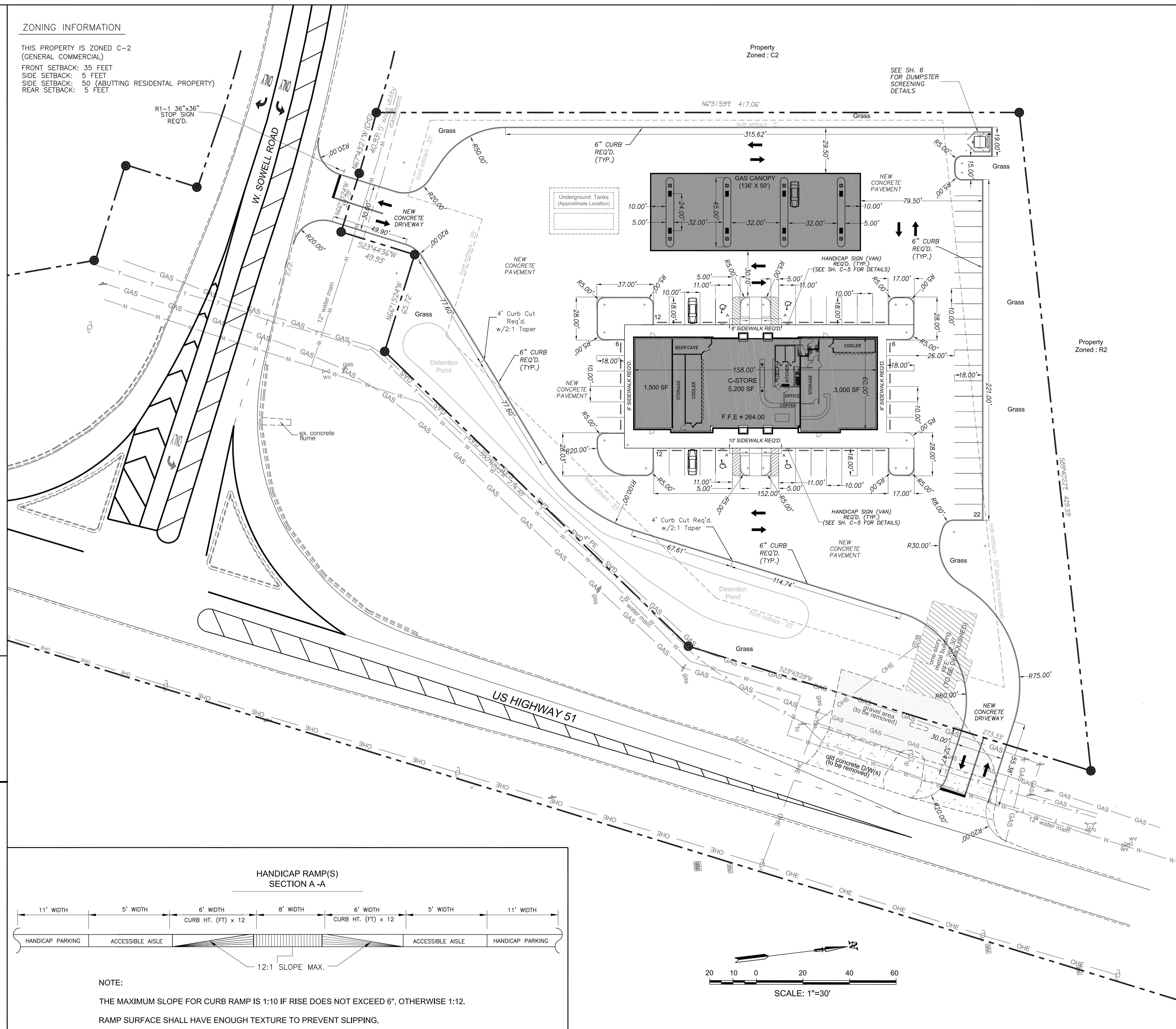


**GENERAL CONSTRUCTION NOTES:**

- Prior to construction, the Contractor shall be responsible for obtaining all permits from the City of Gluckstadt. Coordination by the contractor with the City should continue throughout the entire construction phase. All dimensions and specifications shall be checked and verified by the Contractor prior to the commencement of work.
- All proposed concrete curb and gutter, sidewalks, and concrete structures to be constructed of 3,500 psi concrete. See Drawing C-5 for details for curb and gutter, concrete pavement, sidewalks and other items not shown on this sheet.
- Unless otherwise noted, all striping shall comply with the manual on uniform traffic control devices (latest version).
- See topographic survey and/or civil drawings for all identified utilities. the contractor shall be responsible for determining the exact location of all existing utilities and shall contact any public and/or private utility company prior to construction. (Mississippi One-Call (811) or (601-362-4374).
- The Contractor shall be responsible for traffic control at or near the project site.
- It shall be the responsibility of the contractor to protect existing structures, fire hydrants, pipes, inlets, etc. from damages which might occur during construction. Extreme care should be exercised in work done in this vicinity. The contractor shall replace or repair any structures damaged during the life of the contract.
- Any utility line or service encountered during the construction whether shown on the plans or not, shall be protected by the contractor at no additional cost to the Owner.
- Provide expansion joints with 3/4" expansion joint material at intervals not greater than 30 feet for curb and gutter. Provide contraction joints in curb and gutter at intervals of no greater than 10 feet.
- Daily cleanup of materials and supplies will be required. The job site shall be maintained in a neat and orderly fashion. All Spoil Material (Trees, Shrubs, Old Pavement, etc.) shall be removed on a daily basis.
- The Contractor shall be required to maintain local access to all abutting properties during construction.
- All Areas where the natural vegetation is removed or destroyed during construction shall be seeded, mulched and fertilized, sodded, or planted as required by the Landscape Plan. Any and all temporary structures, embankments and culverts constructed during the progress of work shall be removed and the area restored to its original condition.
- Temporary and Construction Fencing shall be required where applicable.
- The Contractor's Field Representative shall be On-Site any time work is being conducted.
- All Existing Utilities requiring adjustment shall be done by Utility Owners. The Contractor shall be responsible for all repairs to existing utilities damaged during construction.

**ZONING INFORMATION**

THIS PROPERTY IS ZONED C-2  
(GENERAL COMMERCIAL)  
FRONT SETBACK: 35 FEET  
SIDE SETBACK: 5 FEET  
SIDE SETBACK: 50 (ABUTTING RESIDENTIAL PROPERTY)  
REAR SETBACK: 5 FEET



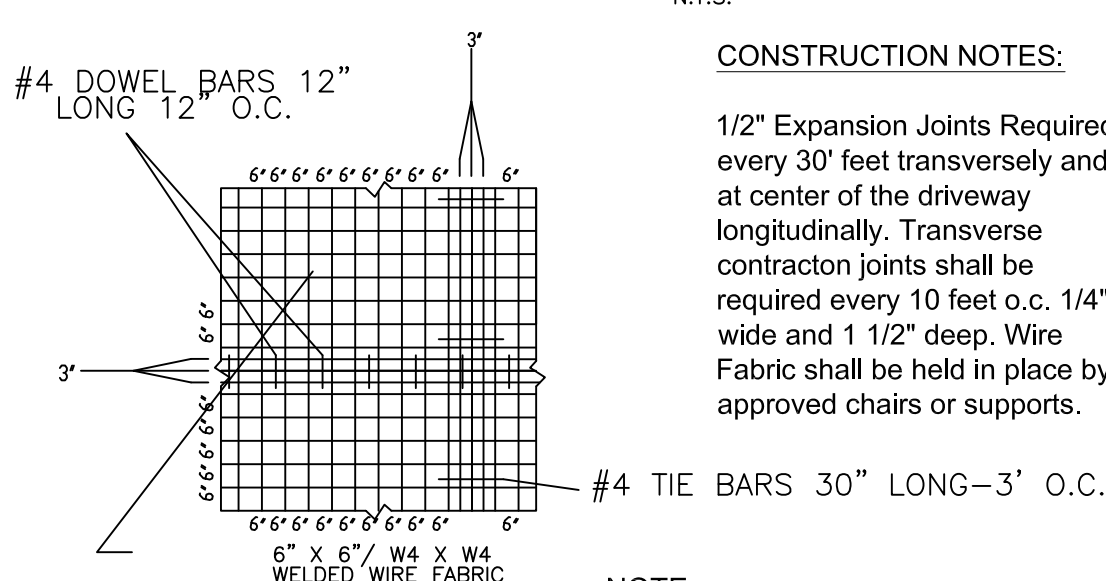
**PARKING REQUIREMENTS**

- PARKING STALL SIZE: (SEE PLANS)
- REQUIRED:

RETAIL: ONE PARKING SPACE FOR EACH 220 SQUARE FEET OF GROSS FLOOR AREA (APPROX. 9700 SQ.FT.) REQUIRED: 44 SPACES.

PROVIDED: 58 STALLS  
INCLUDES 4 HANDICAP STALLS

**EXPANSION JOINT DETAIL FOR CONCRETE PAVEMENT (MIN. 3500 PSI)**



**CONSTRUCTION NOTES:**

1/2" Expansion Joints Required every 30' feet transversely and at center of the driveway longitudinally. Transverse contraction joints shall be required every 10 feet o.c. 1/4" wide and 1 1/2" deep. Wire Fabric shall be held in place by approved chairs or supports.

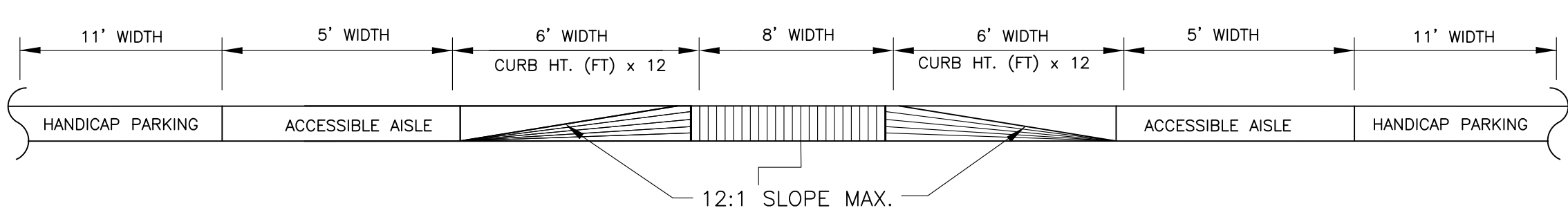
**NOTE:**

An Alternate Reinforcement can be used as approved by the Engineer.

TRANSVERSE EXPANSION JOINT (30' C. to C)

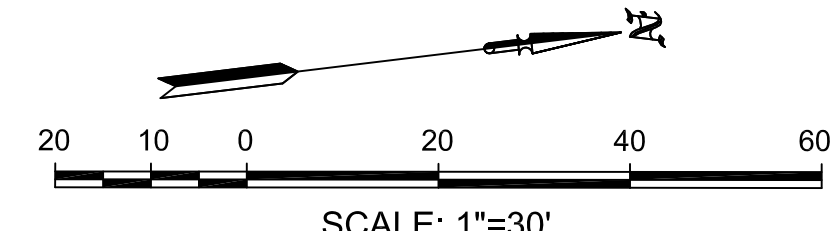
SEE SH. C-5 FOR CONCRETE PAV'T. DETAILS

**HANDICAP RAMP(S) SECTION A-A**



**NOTE:**

THE MAXIMUM SLOPE FOR CURB RAMP IS 1:10 IF RISE DOES NOT EXCEED 6", OTHERWISE 1:12.  
RAMP SURFACE SHALL HAVE ENOUGH TEXTURE TO PREVENT SLIPPING.



THE INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF CROWN ENGINEERING, PLLC AND WAS CREATED SOLELY FOR THE DEVELOPMENT OF THIS PROJECT. THIS DRAWING SHALL NOT BE RE-USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CROWN ENGINEERING. ENGINEERS AND ARCHITECTS SHALL BE HELD RESPONSIBLE FOR ANY AND ALL LOSSES AND EXPENSES ARISING FROM UNAUTHORIZED RE-USE OF THIS DRAWING. UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

**Crown Engineering, PLLC**  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph: (601) 713-4346

**PROJECT:**  
**SITE DEVELOPMENT PLANS**  
**NEW CONVENIENCE STORE**  
**2210 HIGHWAY 51**  
**GLUCKSTADT, MS**

**SITE PLAN**

NO.	REVISIONS

SCALE:  
1" = 30'  
DRAWING NUMBER  
**C-2**  
SHEET NO.  
3 of 6

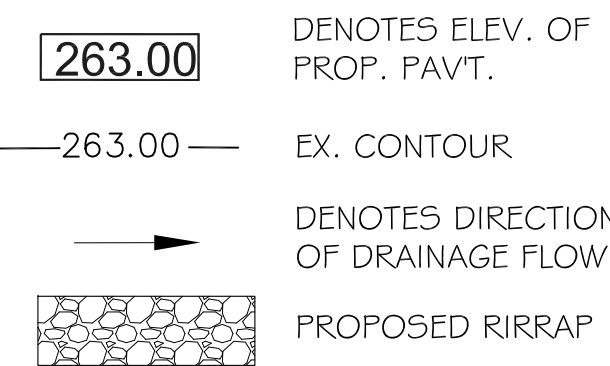


Construction Notes:

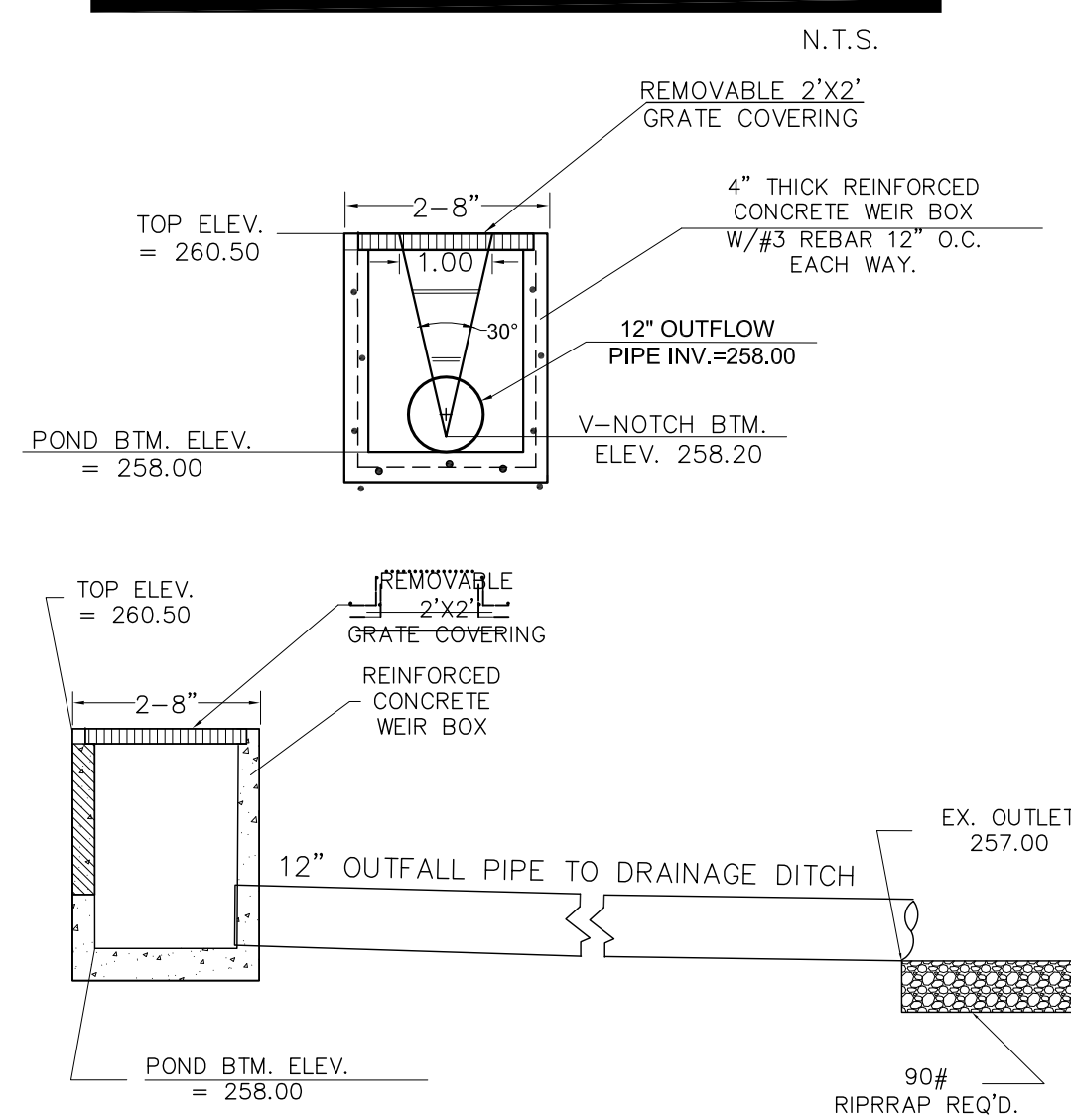
- Prior to excavation, The Contractor must coordinate directly with the involved owners to get underground utility lines field located in advance of construction.
- The Contractor shall be responsible for traffic control at or near the project site.
- It shall be the responsibility of the contractor to protect existing structures, pipes, inlets, selected trees, etc. from damages which might occur during construction. Extreme care should be exercised in work done in this vicinity. The contractor shall replace or repair any structures damaged during the life of the contract.
- Any utility line or service encountered during the construction whether shown on the plans or not, shall be protected by the contractor.
- Daily cleanup of materials and supplies will be required. The job site shall be maintained in a neat and orderly fashion.
- All Areas where the natural vegetation is removed or destroyed during construction shall be seeded, mulched and fertilized or sodded.
- Prior to the placement of any new pavement, the existing subgrade shall be proof-rolled and compacted to min. 95% of the Maximum Standard Proctor and loose soil encountered during compaction shall be removed and replaced with suitable backfill material as required. See Sheet C-5 for details.
- The Existing Contours on the Grading and Drainage Plan are based upon the latest survey supplied by the Surveyor.
- See Dwg. No. C-5 for details for pavement typical section, pipe installation, curb and gutter details
- The Drainage Basins for the Storm Drainage System shall be precast reinforced concrete or cast-in-place reinforced concrete and sized as shown on the drawings. All Storm Pipes shall be reinforced concrete and sized as shown on the drawings. All frames & grates shall be ductile iron per ASTM A536 grade 70-50-05 and shall be traffic rated for H-20 load. Installation shall be per manufacturer's instructions.
- Pipes, bends, tees, and other appurtenances necessary for the underground roof drainage system shall be connected as required for a watertight system and connected to the proposed storm drainage inlet as required. See Arch. Drawings for more details on final roof drain locations and spacing dimensions.

EROSION CONTROL ITEMS:

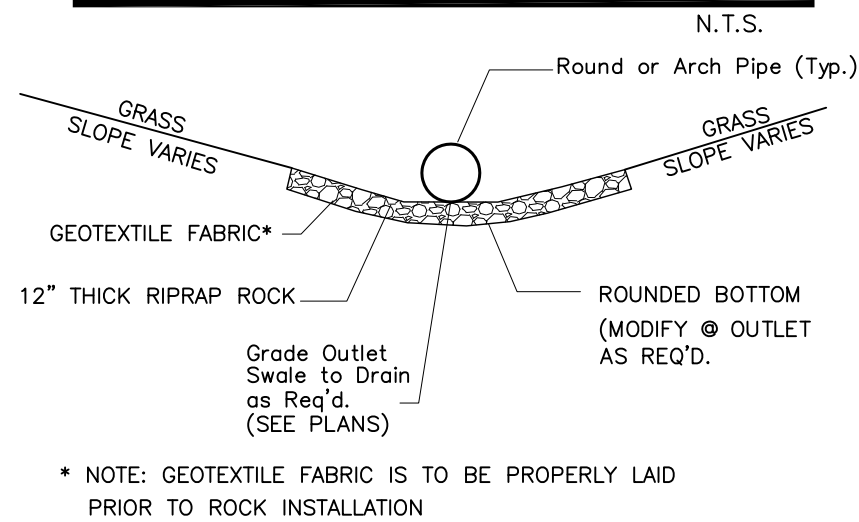
- The Contractor shall plan and execute construction and earthwork by methods to control surface drainage from cuts and fills and from borrow and waste disposal areas, to prevent erosion and sedimentation. The areas of bare soil exposed at one time shall be held to a minimum. Temporary control measures such as silt fences or wattles shall be provided as shown on the plans or as directed by the Engineer.
- See sheet Dwg. No. C-5 for stormwater management plan and installation details of the erosion control items.
- All appropriate measure shall be taken to insure fill materials, construction activities and structures will not encroach on adjacent properties.



CONCRETE V-NOTCH WEIR BOX DETAILS



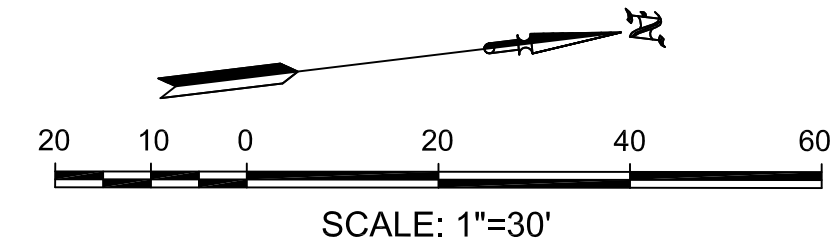
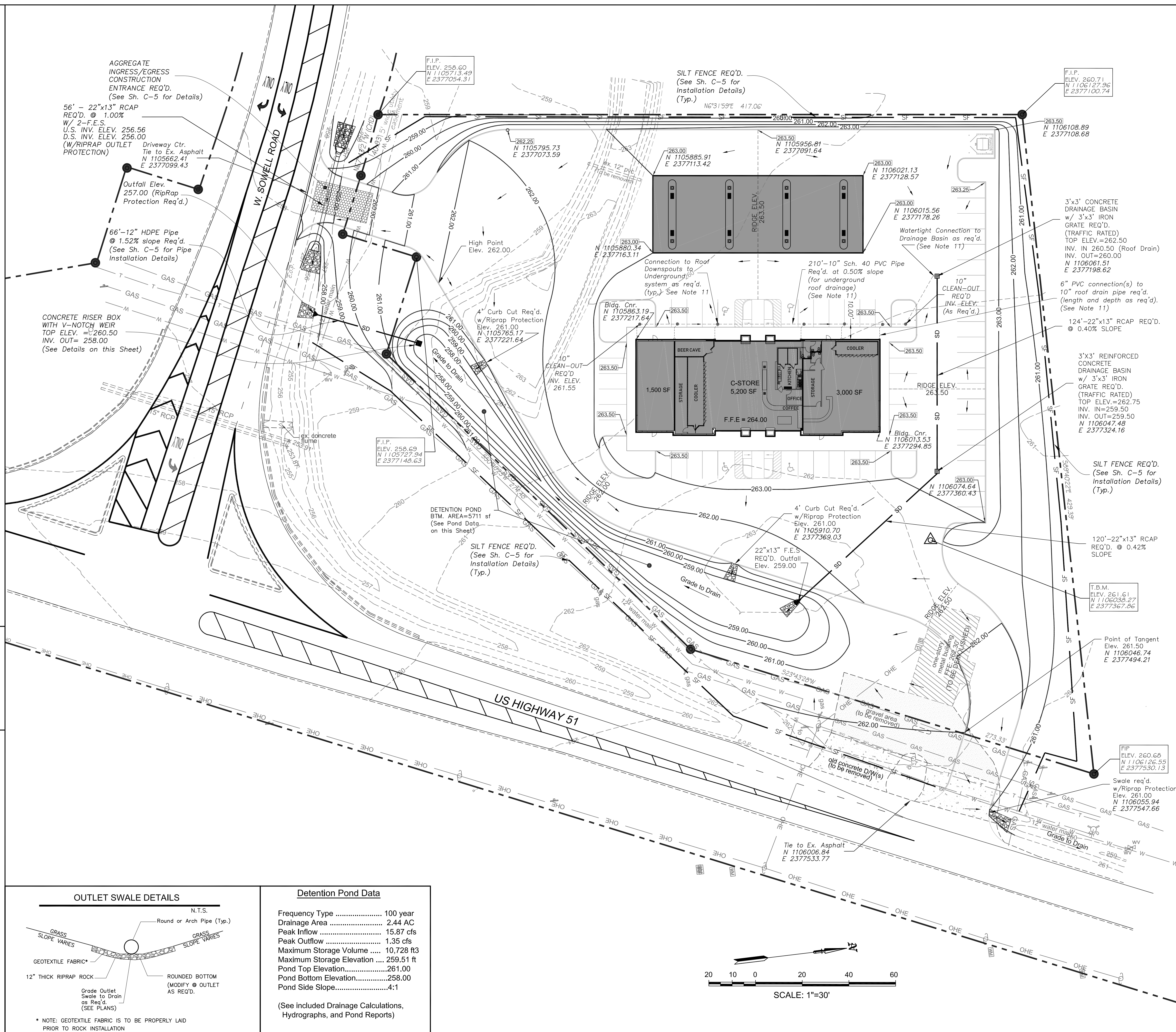
OUTLET SWALE DETAILS



Detention Pond Data

Frequency Type	100 year
Drainage Area	2.44 AC
Peak Inflow	15.87 cfs
Peak Outflow	1.35 cfs
Maximum Storage Volume	10,726 ft <sup>3</sup>
Maximum Storage Elevation	259.51 ft
Pond Top Elevation	261.00
Pond Bottom Elevation	258.00
Pond Side Slope	4:1

(See included Drainage Calculations, Hydrographs, and Pond Reports)



THE INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF CROWN ENGINEERING, PLLC AND WAS CREATED SOLELY FOR THE DEVELOPMENT OF THIS PROJECT. THIS DRAWING SHALL NOT BE RE-USED OR REPRODUCED IN ANY MANNER FOR ANY PROJECT OR ON ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CROWN ENGINEERING, PLLC. THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY LOSSES AND EXPENSES ARISING FROM UNAUTHORIZED RE-USE OF THIS DRAWING. UNAUTHORIZED USE OF THE DRAWING IS A VIOLATION OF LAW AND IS STRICTLY PROHIBITED.

**Crown Engineering, PLLC**  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph: (601) 713-4346

DATE: 06/09/2023  
CHECKED: CD  
DESIGNED: CD  
DRAWN: JG

---

**PROJECT:**  
SITE DEVELOPMENT PLANS  
NEW CONVENIENCE STORE  
2210 HIGHWAY 51  
GLUCKSTADT, MS

---

**SHEET TITLE:**  
GRADING, DRAINAGE  
& EROSION CONTROL  
PLAN

---

REVISIONS

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SCALE:  
1" = 30'

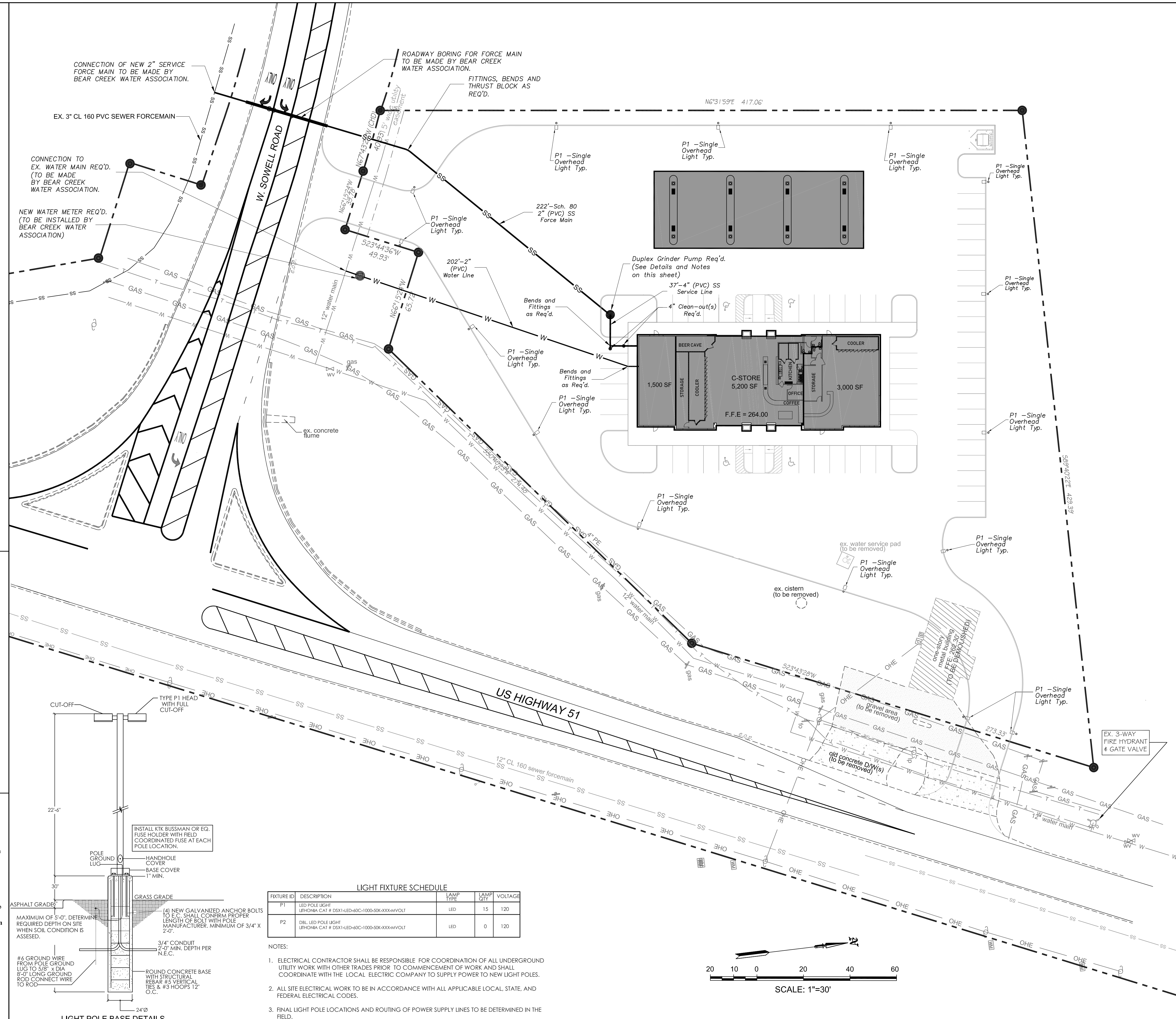
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DRAWING NUMBER  
**C-3**  
SHEET NO.  
4 of 6

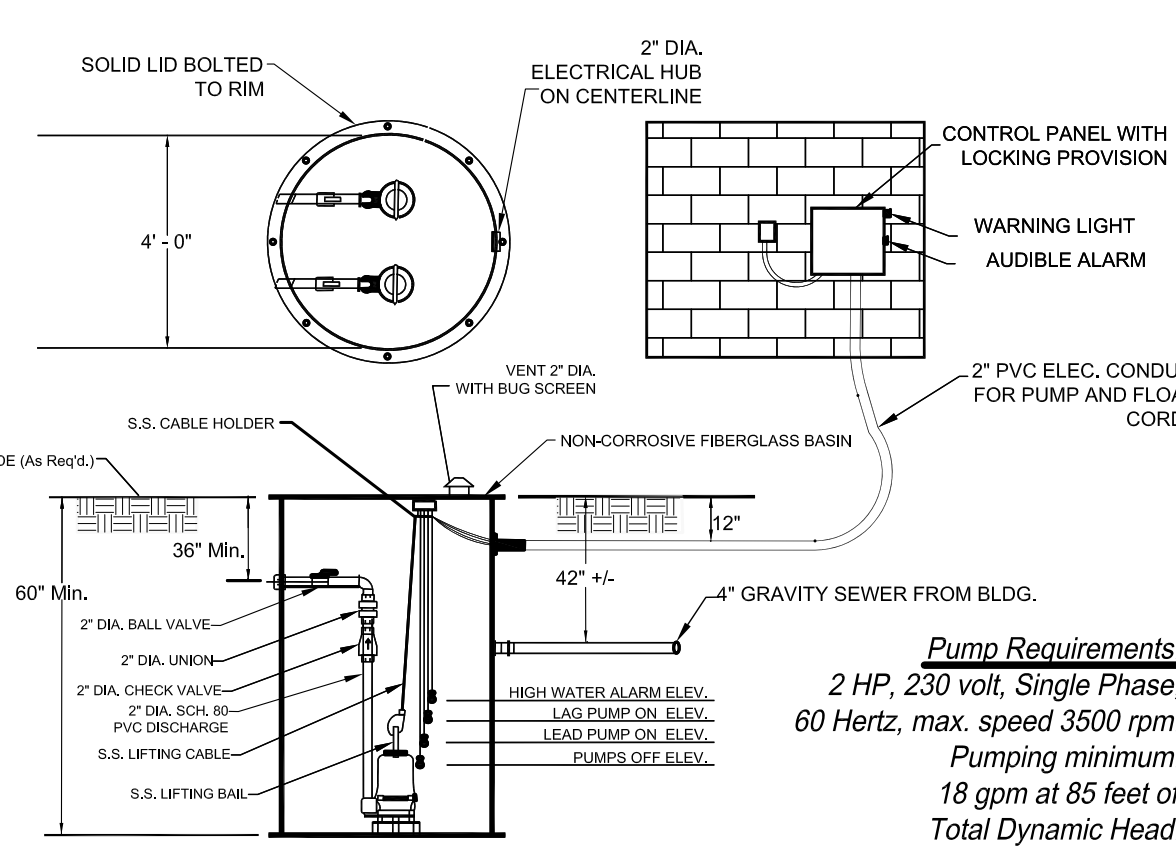


**Construction Notes:**

- Sanitary Sewer Lines and appurtenances shall conform to applicable requirements of the City of Gluckstadt.
- Water Lines and appurtenances shall conform to all applicable requirements of the City of Gluckstadt.
- Contractor shall verify depths of water and sewer lines prior to placement to meet required clearances. At locations where the water and sewer lines must cross each other, there shall be a minimum vertical clearance of 18 inches with the water line crossing over the sewer line.
- New water service line shall be a minimum of 2" in diameter and installed a minimum of 3 feet from final grade. New sanitary sewer service line shall be 4" in diameter and a 2" Force Main (PVC) as required on drawings.
- 11.25°, 22.50°, 45° bends or a combination thereof shall be installed on the sanitary sewer service liner to achieve the required fall for connection to the existing manhole.
- If applicable, final routing for new gas service line to be determined in the field by the appropriate gas company.
- Clean-outs are to be installed at all locations where change in direction of service line occurs. Depths shall be as required. See architectural drawings for specific locations for continuation of water and sanitary sewer service line piping.
- The Contractor shall furnish, place and maintain all sheeting, shoring, and bracing required to support the sides of all trench excavations. The Contractor shall be responsible for the sufficiency of any such supports to prevent any movement which can in any way damage or delay work; endanger or cause damage to adjacent pavements, buildings, or other structures; or create undue hazards to workmen.
- The location and depth of the existing water and sanitary sewer main line will be checked by the plumbing contractor to verify its conformity to the requirements for new construction prior to the use of any such line. Water and sewer service connections shall be done by the Bear Creek Water Association.
- All existing utilities requiring adjustment shall be done by the appropriate utility owner. The contractor shall be responsible for all repairs to existing utilities damaged during construction.
- Any existing service lines, ex. water meters not used for construction shall be located and removed or abandoned and capped.



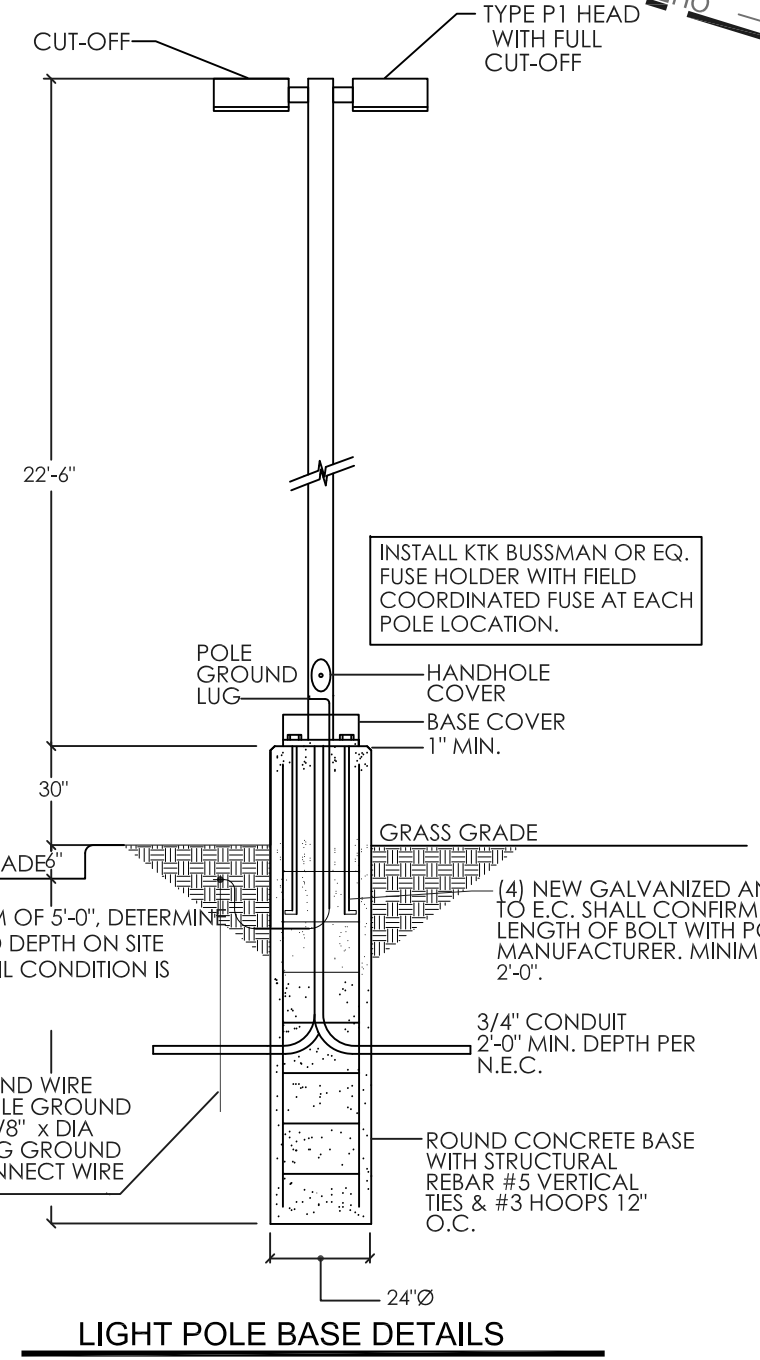
**DUPLEX GRINDER PUMP DETAILS**  
N.T.S.



**Pump Requirements:**  
2 HP, 230 volt, Single Phase,  
60 Hertz, max. speed 3500 rpm.  
**Pumping minimum:**  
18 gpm at 85 feet of  
Total Dynamic Head.

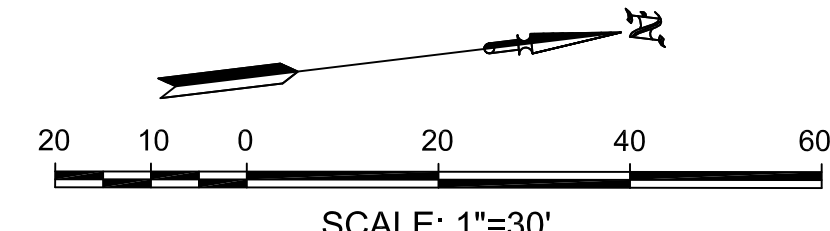
**Grinder Pump Construction Notes:**

- Grinder Pump to be installed, maintained, and operated by the Owner.
- Pump basins shall be of non-corrosive fiberglass construction. The basin shall be a minimum of 48 inches in diameter and 72 inches in depth unless otherwise approved by the Engineer.
- The pump station discharge piping shall include a self-cleaning ball-type check valve, hydraulically-sealed discharge flange, and a gate valve with handle extension.
- The station shall be equipped with an exterior wall mounted or pedestal mounted electrical control panel in a NEMA4X, weather tight, non-corrosive fiberglass enclosure with a dead front outer door with a locking hasp or handle. A hinged inner door shall be provided for mounting a hand-off-automatic pump control switch, electrical overload reset buttons, running light, and related electrical equipment. **Final Control Panel location to be determined in the field.**
- A 6" Steel Casing shall be used in the following cases:
  - Crosses over or under a water line. (See Note 3)
  - Crosses beneath storm drainage pipe with less than three (3) feet of clearance or above storm drainage pipe with less than two (2) feet of clearance.
  - Cover is less than 36".



LIGHT FIXTURE SCHEDULE			
FIXTURE ID	DESCRIPTION	LAMP TYPE	VOLTAGE
P1	LED POLE LIGHT LITHONIA CAT # DSX1-LED-40C-1000-SK-XXX-XXV-VOLT	LED	15 120
P2	DBL LED POLE LIGHT LITHONIA CAT # DSX1-LED-40C-1000-SK-XXX-XXV-VOLT	LED	0 120

- NOTES:
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UNDERGROUND UTILITY WORK WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK AND SHALL COORDINATE WITH THE LOCAL ELECTRIC COMPANY TO SUPPLY POWER TO NEW LIGHT POLES.
  - ALL SITE ELECTRICAL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ELECTRICAL CODES.
  - FINAL LIGHT POLE LOCATIONS AND ROUTING OF POWER SUPPLY LINES TO BE DETERMINED IN THE FIELD.



SEAL

**Crown Engineering, PLLC**  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph: (601)713-4346

DATE: 06/08/2023  
CHECKED: CD  
DESIGNED: CD  
DRAWN: CD

**PROJECT:**  
**SITE DEVELOPMENT PLANS**  
**NEW CONVENIENCE STORE**  
**2210 HIGHWAY 51**  
**GLUCKSTADT, MS**

**SHEET TITLE:**  
**WATER & SEWER**  
**LAYOUT PLAN**

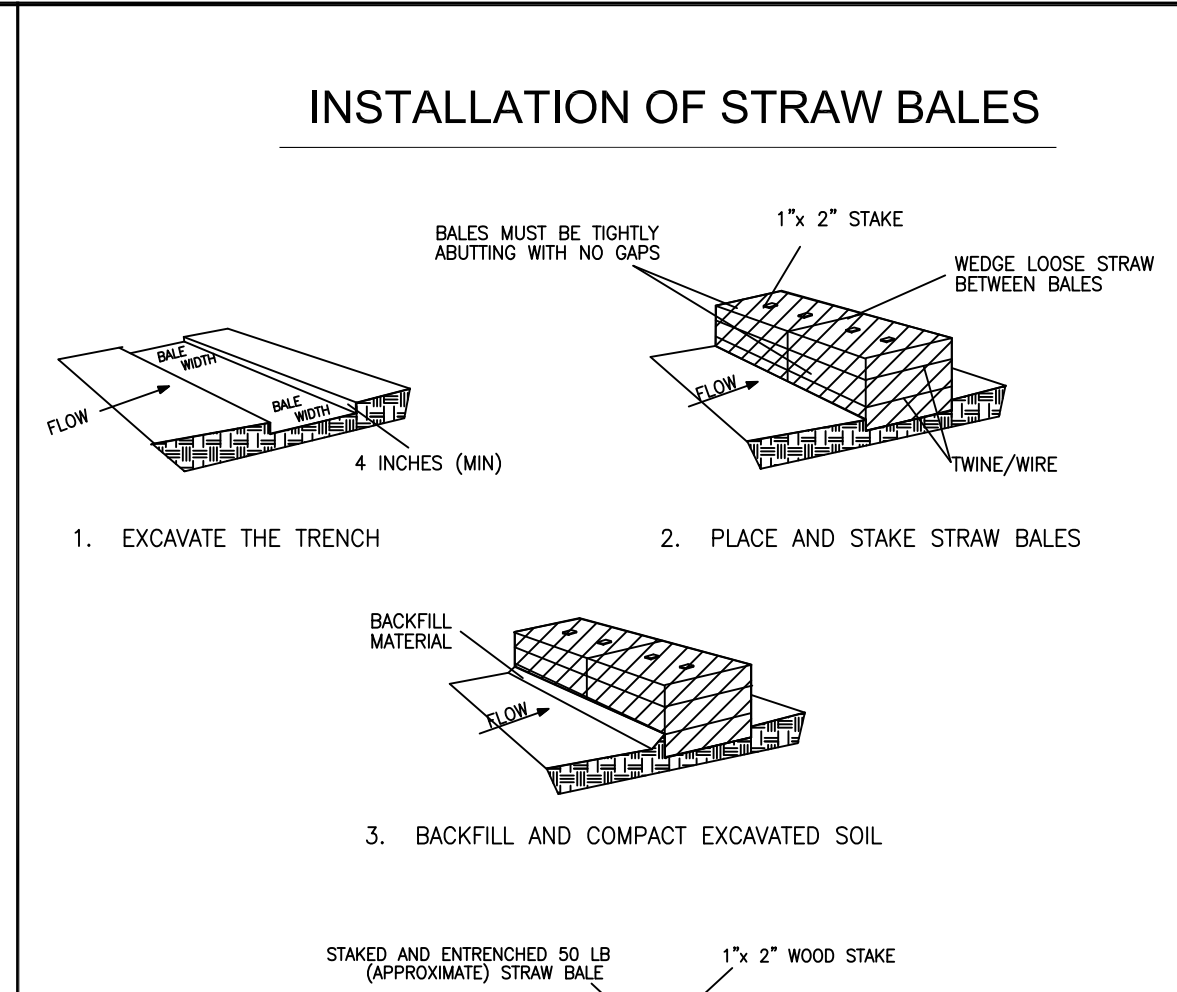
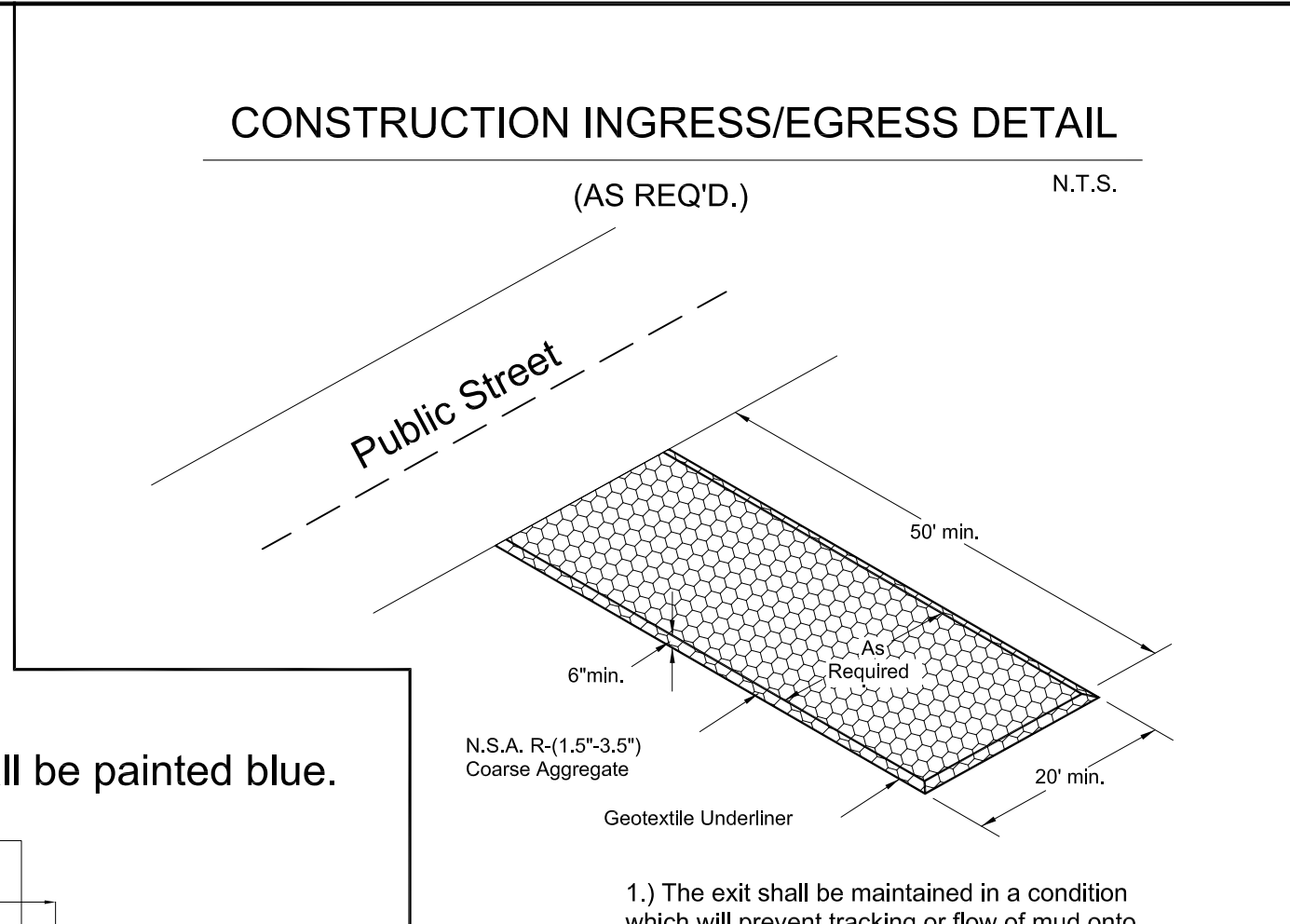
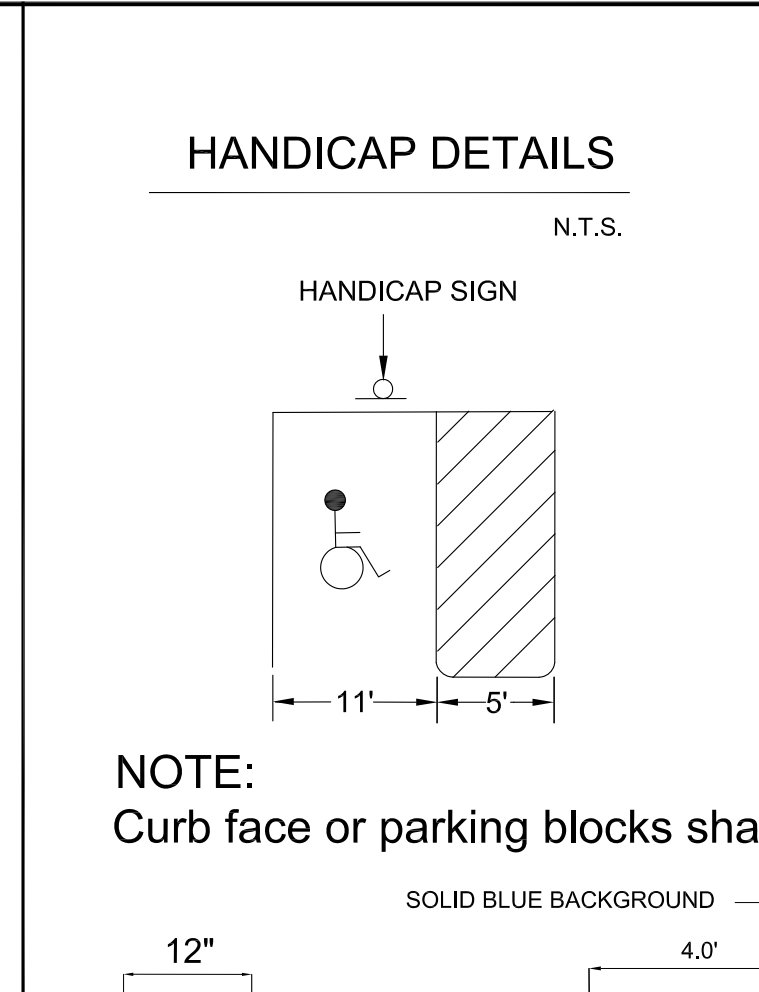
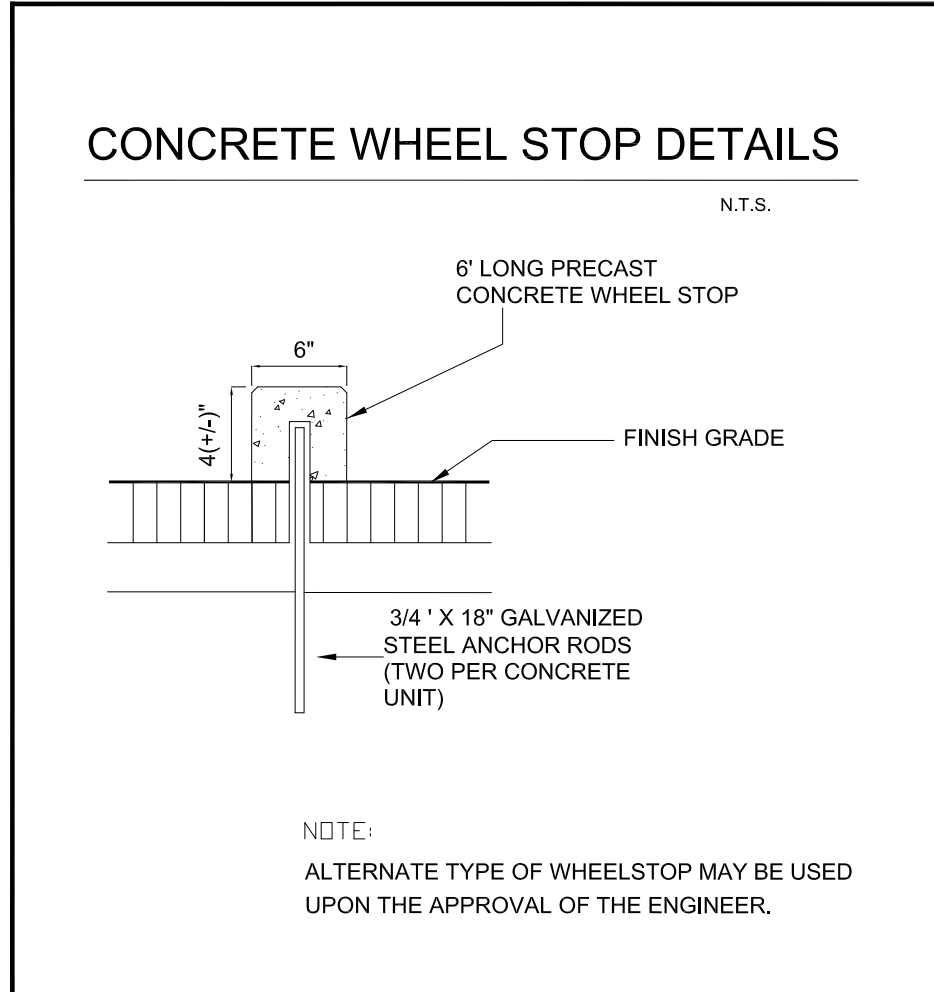
REVISIONS

NO.	DESCRIPTION

SCALE:  
1" = 30'

DRAWING NUMBER  
**C-4**  
SHEET NO.  
5 of 6





## STORMWATER MANAGEMENT PLAN

1) The Contractor shall install/implement measures as needed to take all prudent and reasonable measures to protect properties from damage caused by the construction

2) The Contractor shall install all the silt fencing, straw bales, sediment control ponds, drainage pipes, and rock riprap required, prior to the beginning of any stripping and/or excavation.

3) The Contractor shall maintain a minimal buffer of undisturbed areas, where practical, around the perimeter of the site. This buffer will reduce the erosion caused by wind and water and also help reduce the amount of sediment leaving the site.

4) Earth fill procedures will utilize temporary diversions to eliminate surface runoff.

5) The Contractor shall provide for protective measures for the containment of hazardous materials, including petroleum products and lubricants, etc.

6) The Contractor shall provide for trash containers on site for disposal of all construction materials and prevent trash from the site from entering into the storm drainage system.

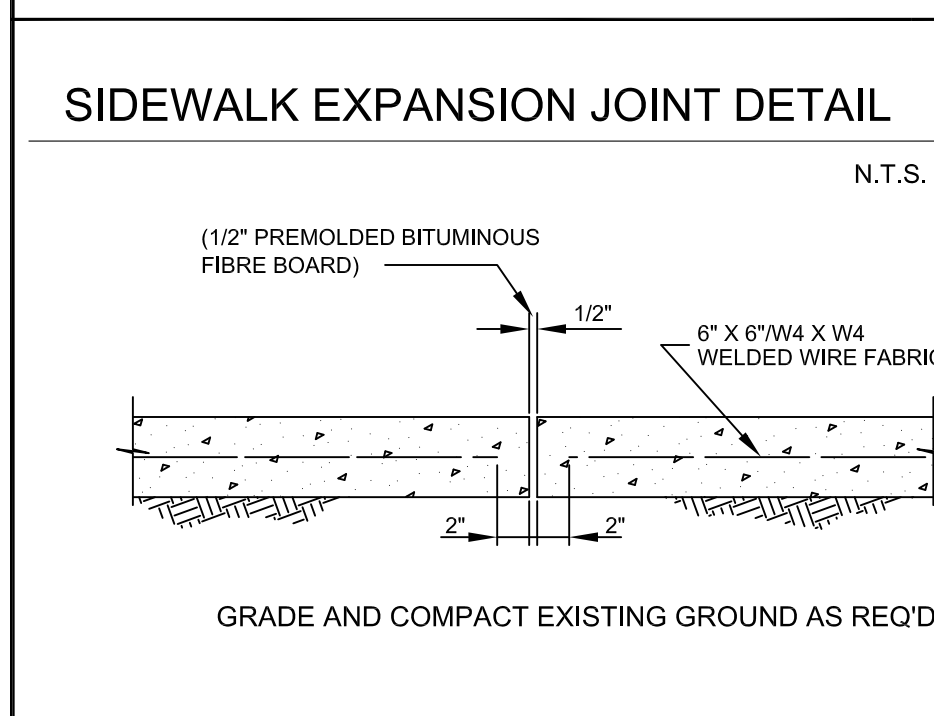
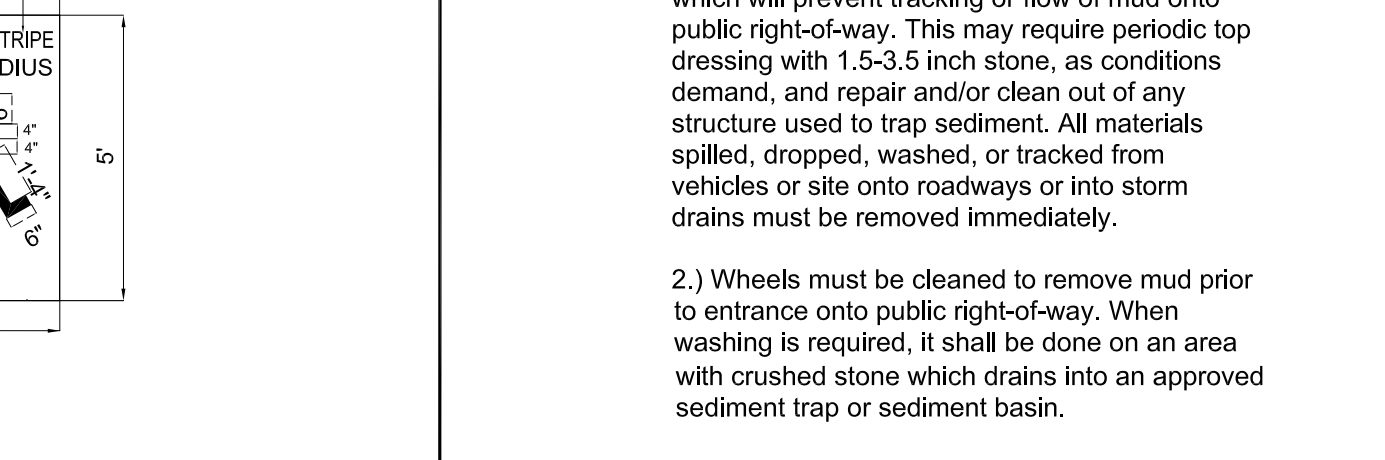
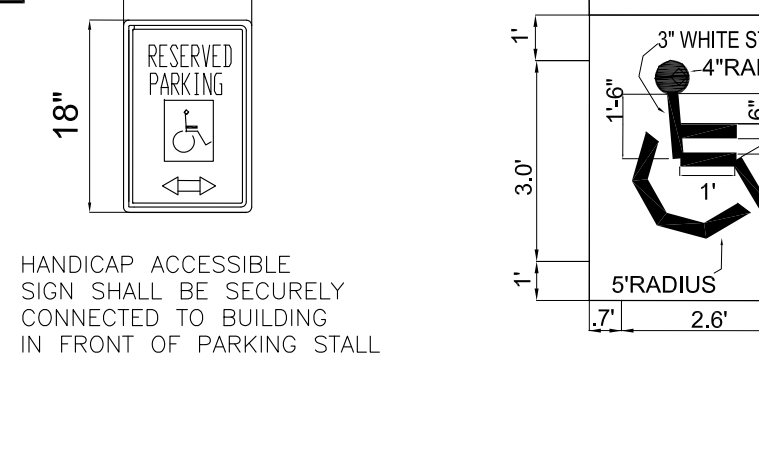
7) The Contractor shall inspect all installed erosion control measures and repair as necessary during the length of the construction at least every seven (7) days during dry periods. The Contractor shall diligently inspect and repair, within 24 hours of a rainfall event, all erosion control measures.

8) The Contractor shall maintain the erosion control measures required to assure that the storm water discharged shall be free from:  
a. Debris, oil, scum and other floating materials, other than in trace amounts;  
b. Eroded soils and other materials that will settle to form objectionable deposits in receiving waters;  
c. Suspended solids, turbidity and color at levels inconsistent with the receiving waters;  
d. Chemicals in concentrations that would cause violation of the State Water Quality Criteria in the receiving waters.

9) The Contractor shall maintain adequate record keeping documenting inspection and repair of all erosion control measures installed.

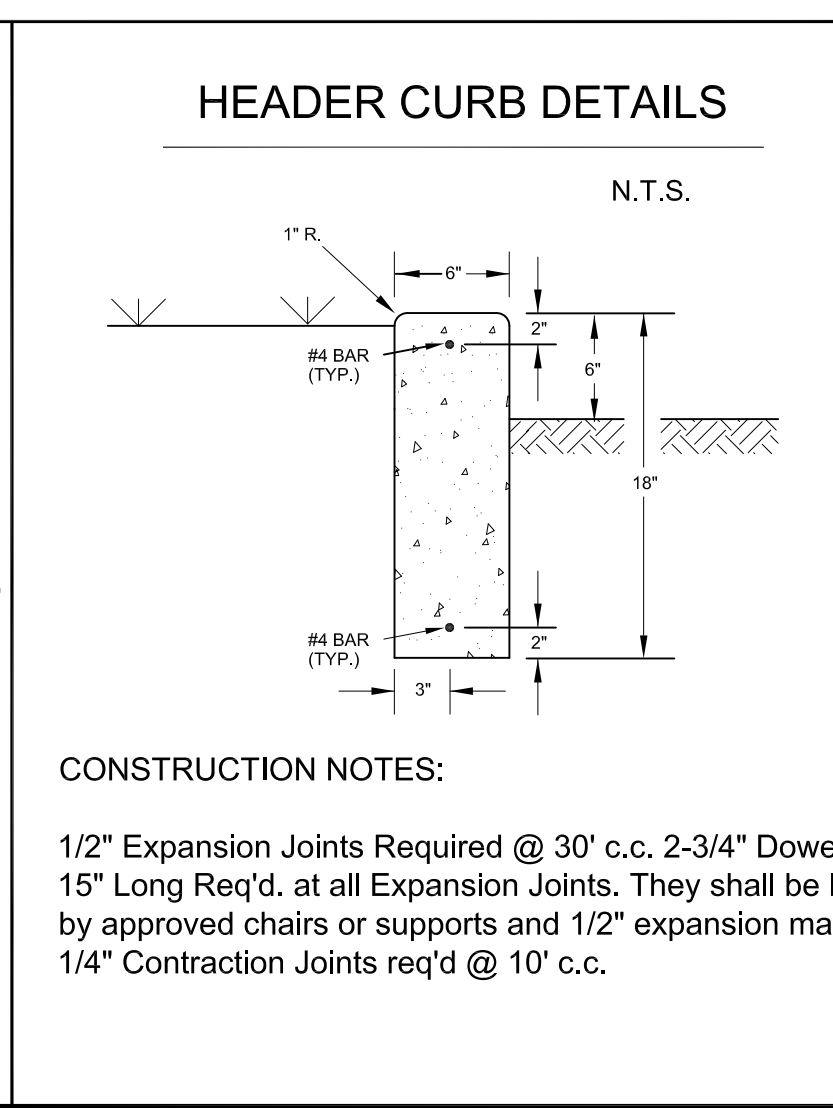
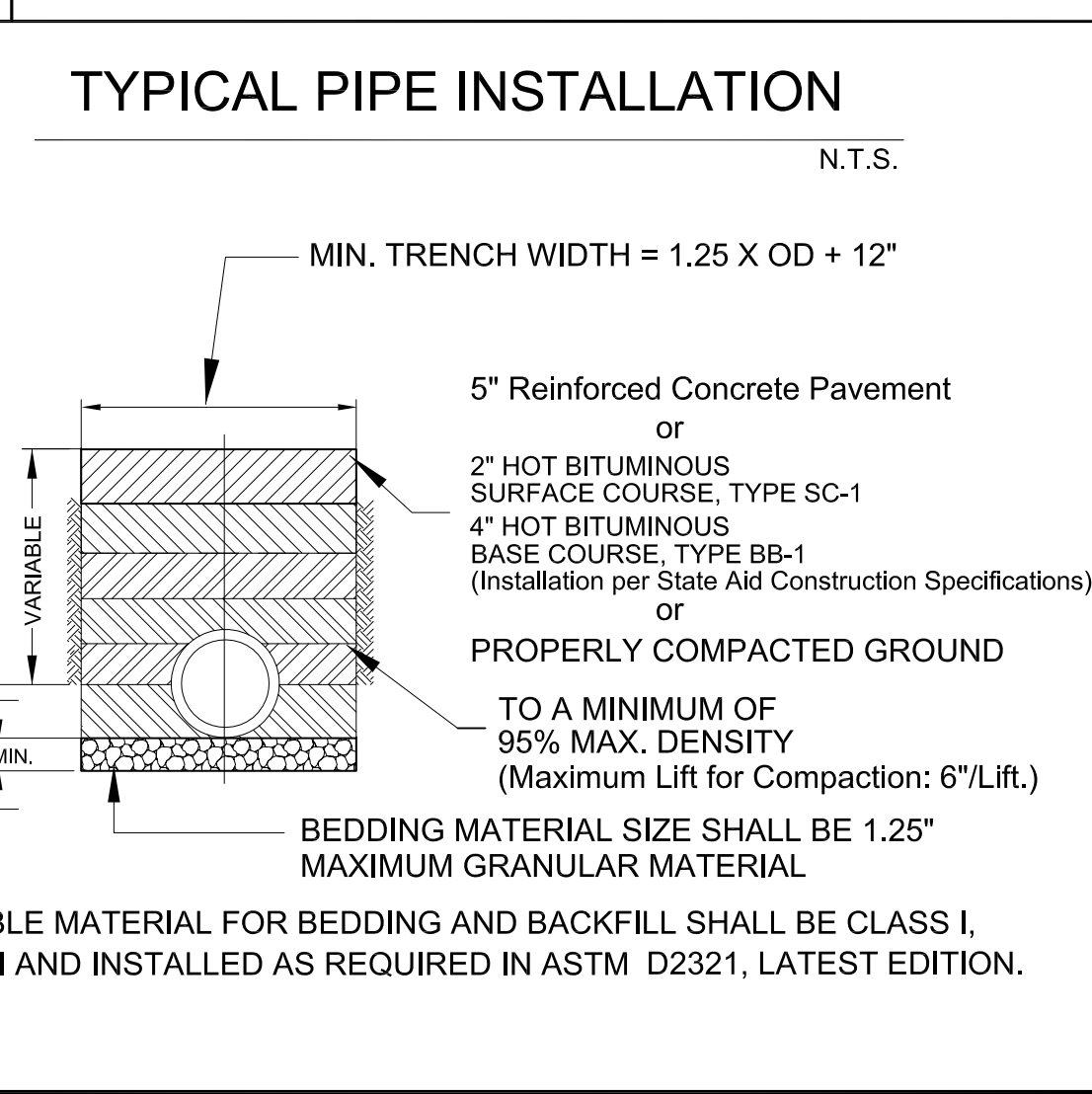
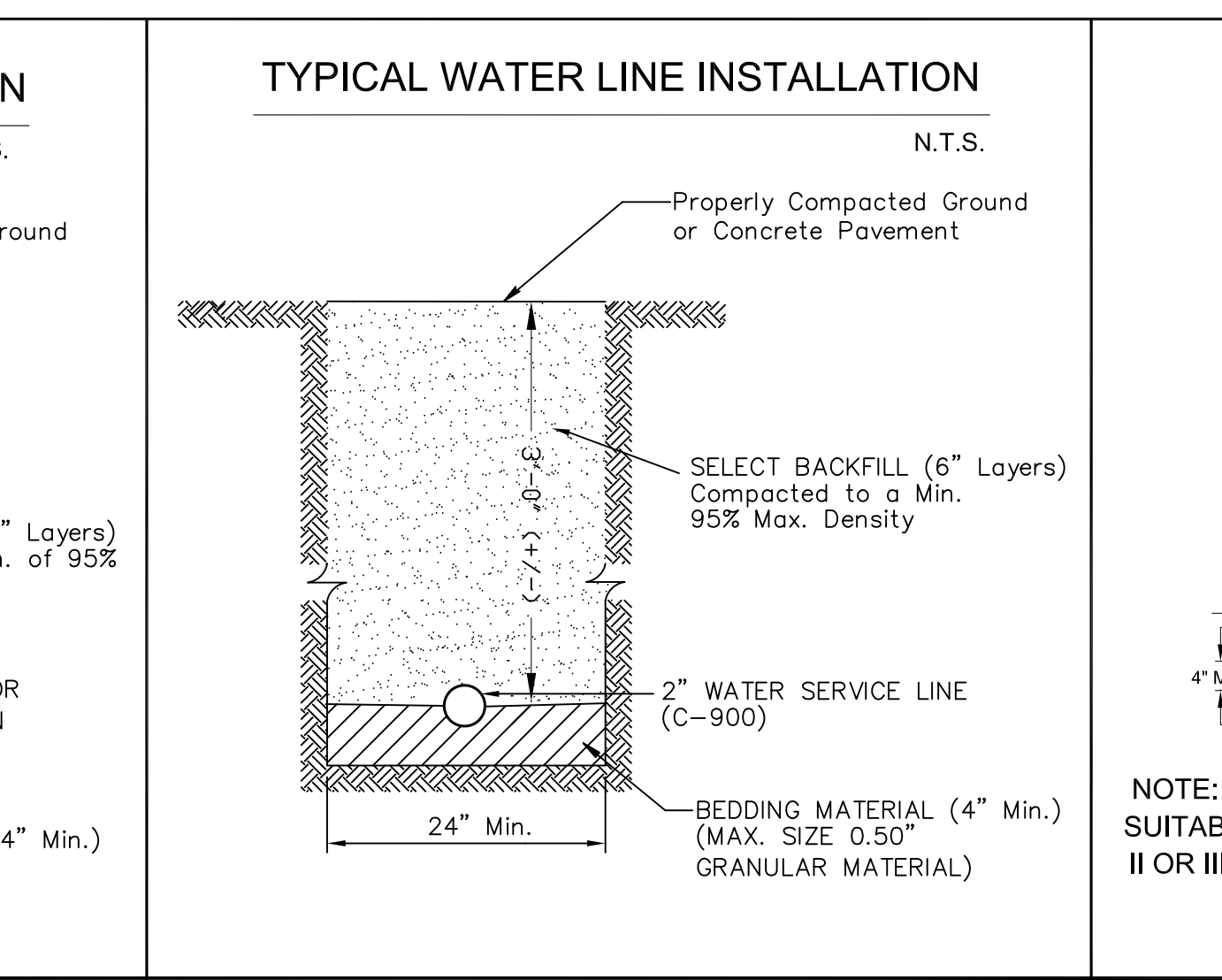
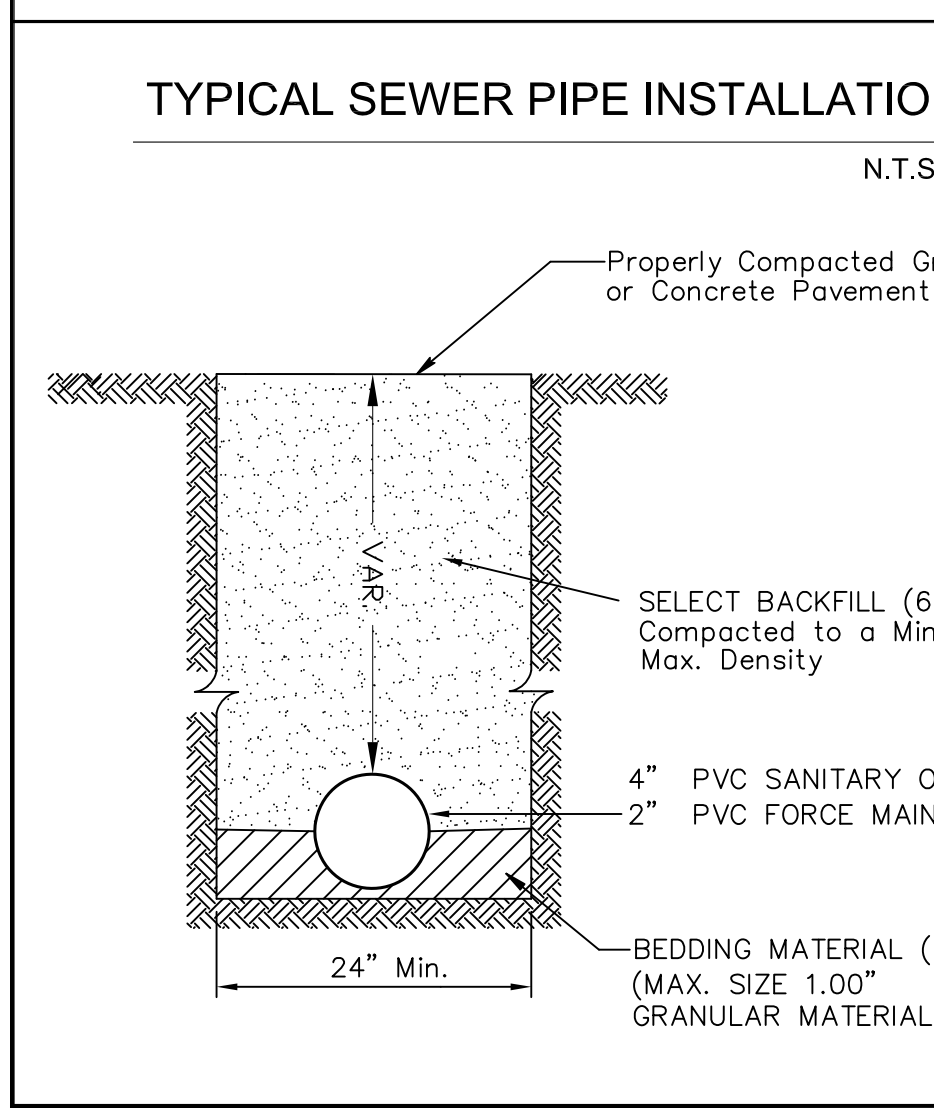
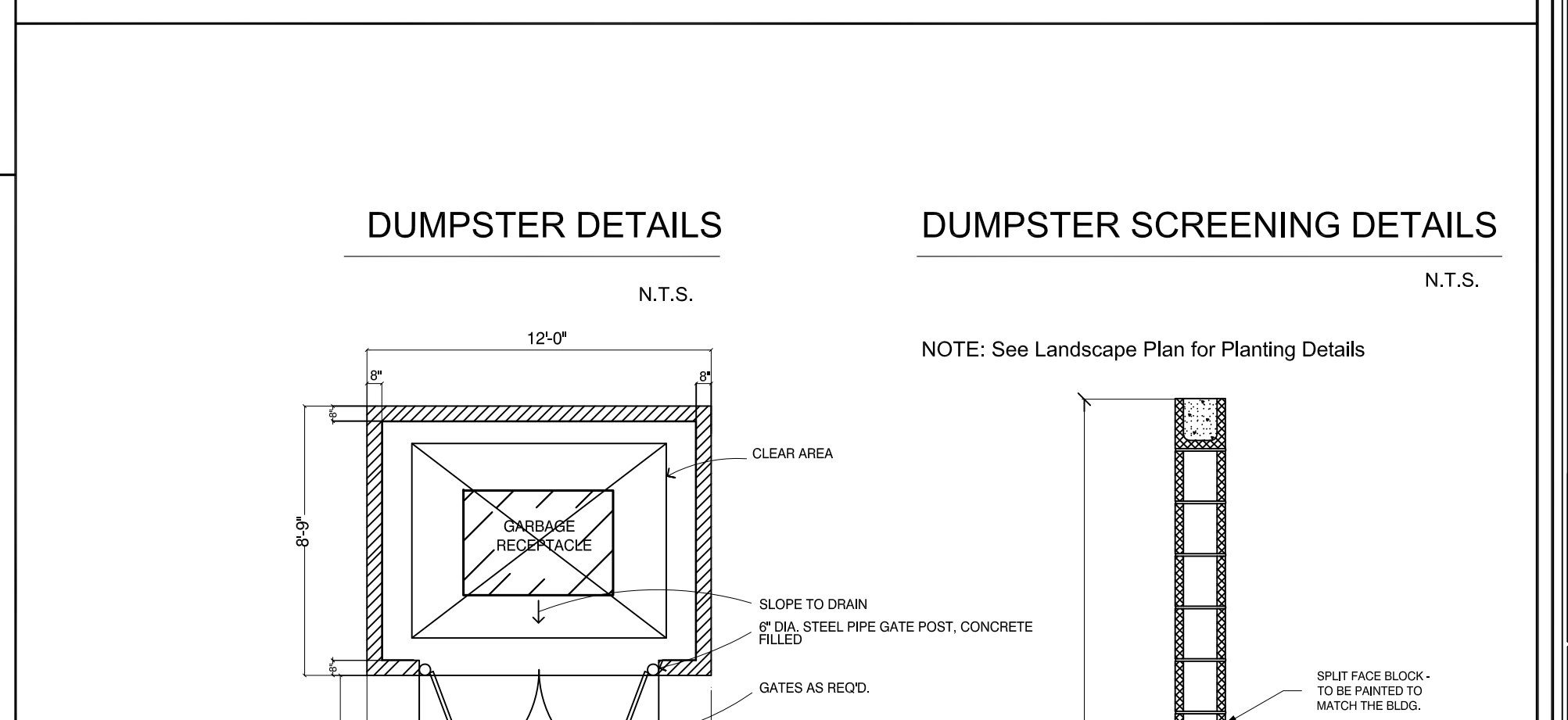
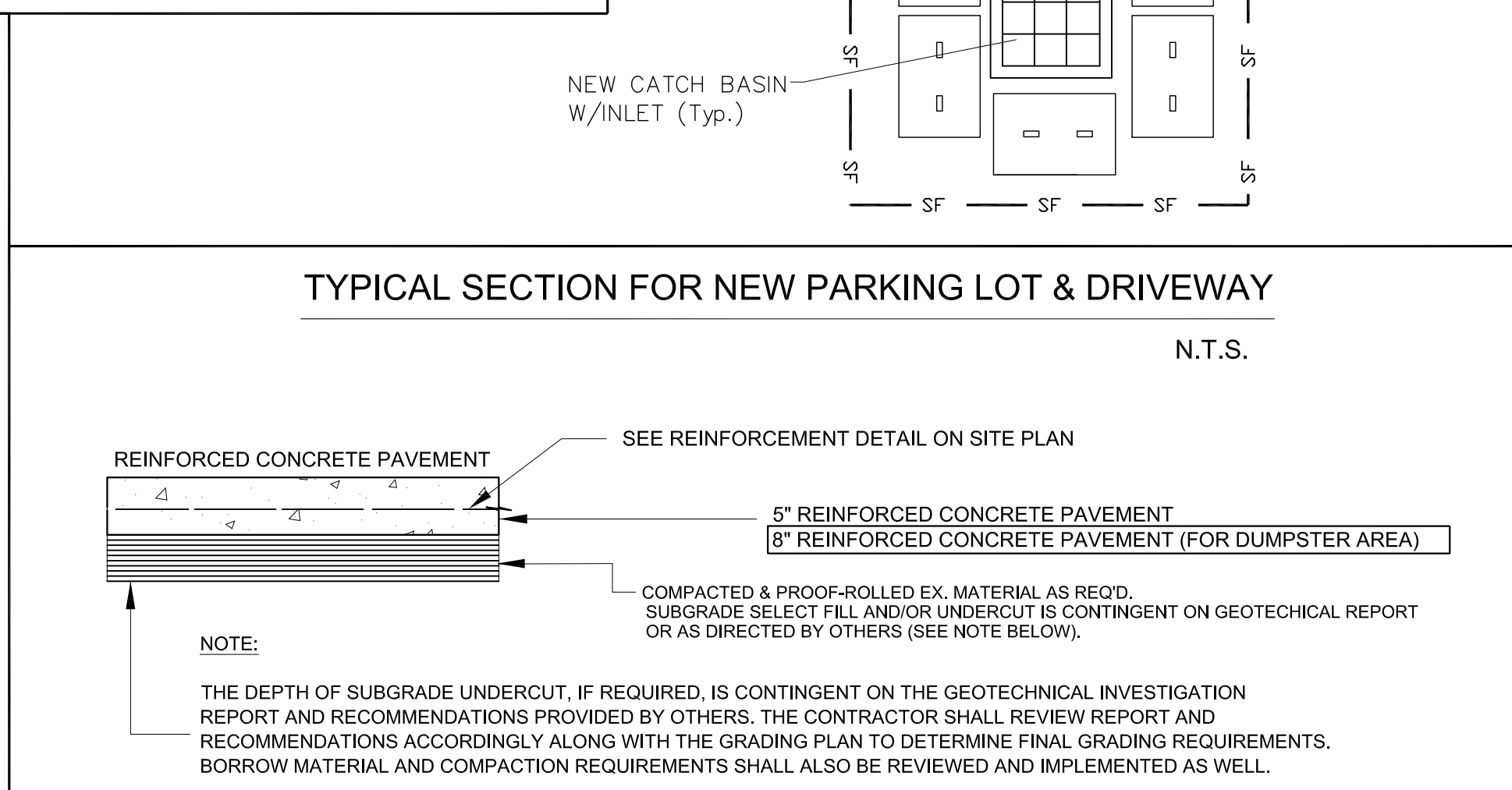
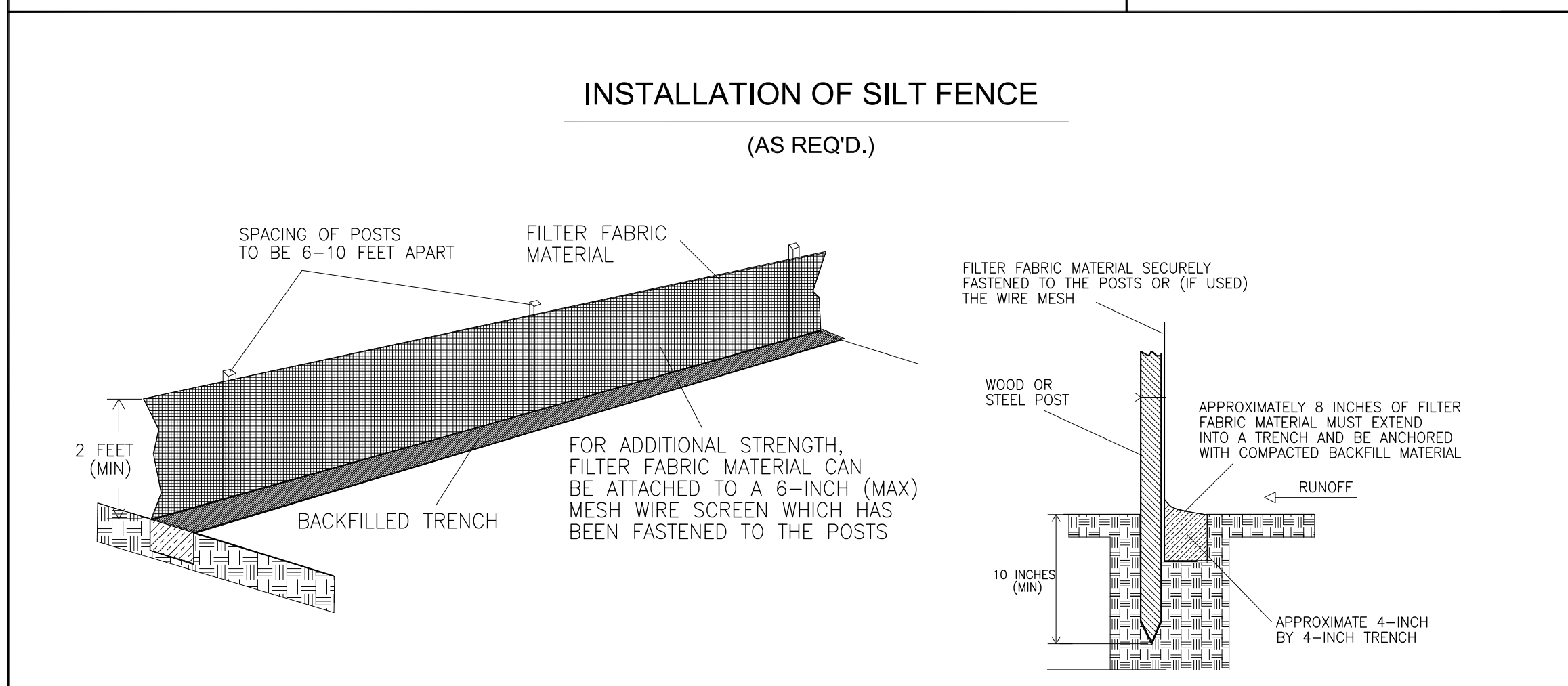
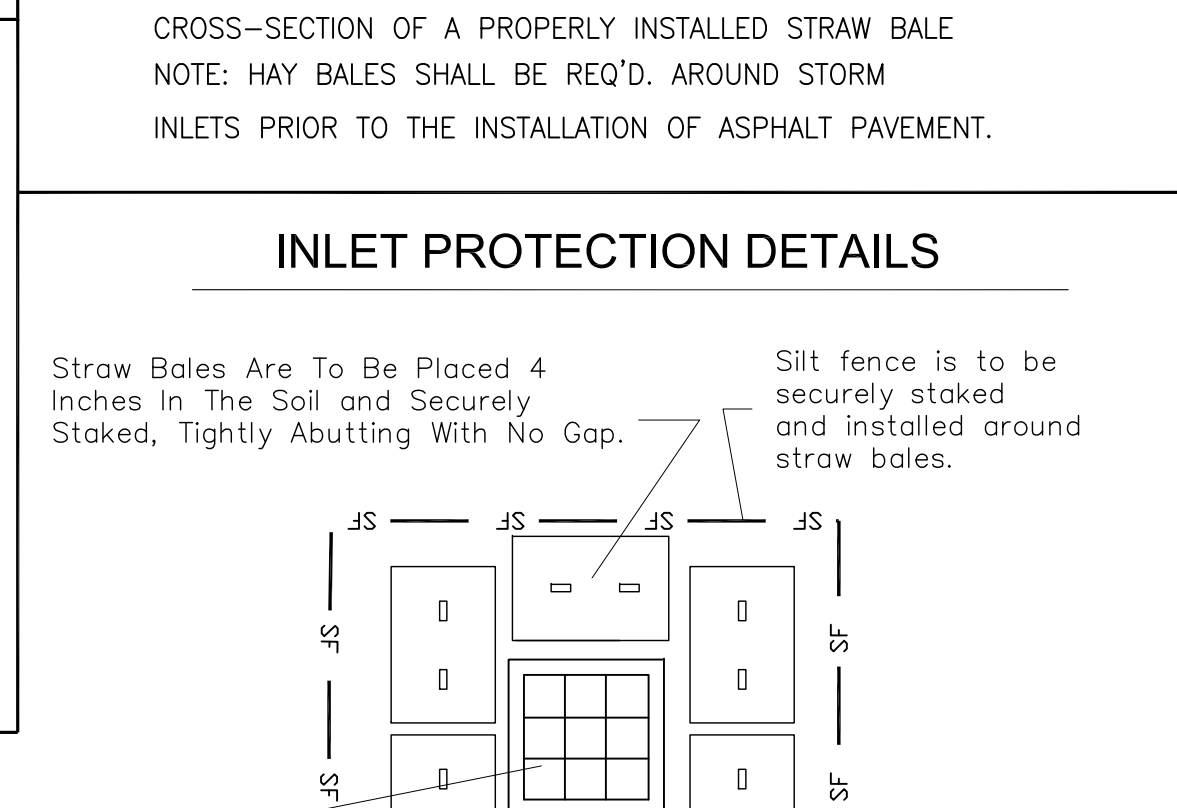
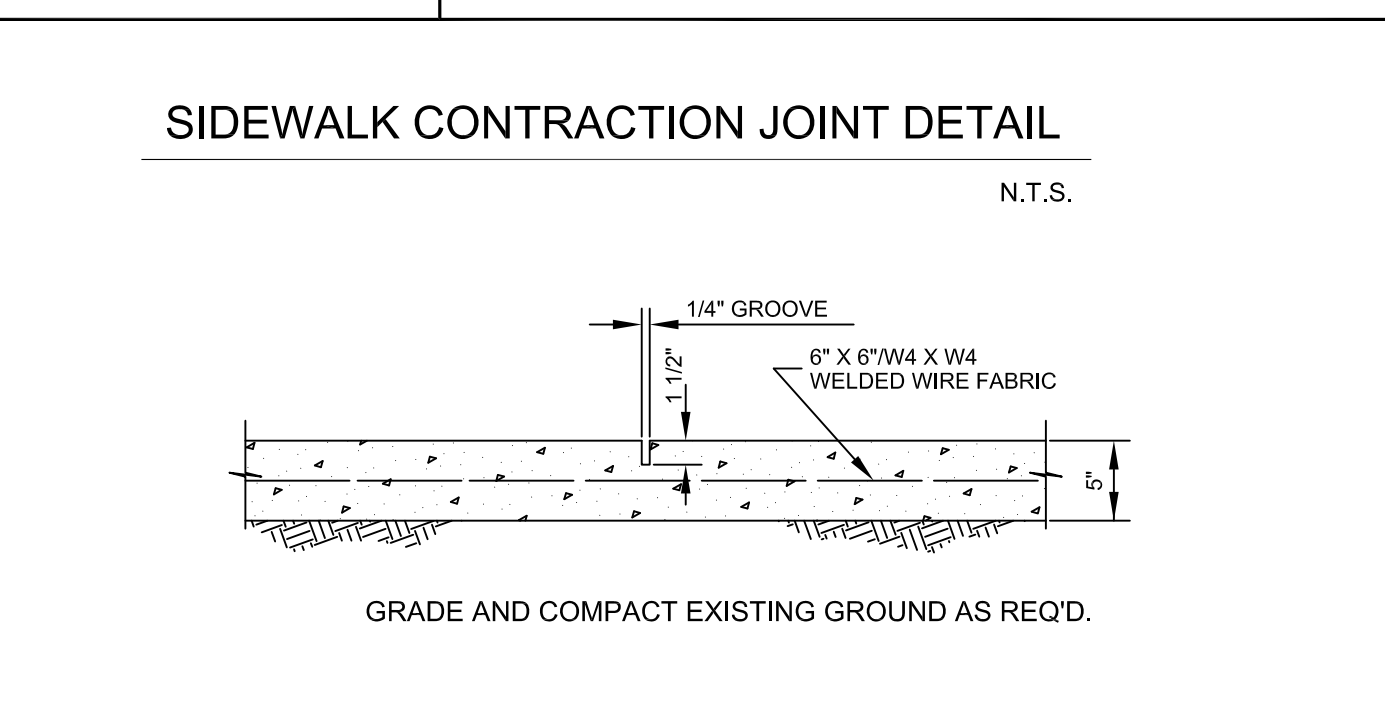
10) The Contractor shall make himself familiar with the Storm Water Construction General Permit Regulations and the "Planning and Design Manual for the Control of Erosion, Sediment and Stormwater", published by the MDEQ, Mississippi Soil & Water Commission and the USDA Soil Conservation Service.

11) This plan contains the minimum erosion control measures to be taken. The Contractor shall utilize the BMP's outlined in the above referenced material for implementation of additional measures, as required.



### CONSTRUCTION NOTES:

1/2" Expansion Joints Required @ 20' c.c.  
2-3/4" Dowel Bars, 15" Long Req'd. at all Expansion Joints. They shall be held in place by approved chairs or supports and 1/2" expansion materials. 1/4" Contraction Joints req'd @ 5' c.c.



**Crown Engineering, PLLC**  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph.: (601) 715-4346

DATE: OCTOBER 2023  
CHECKED: CD  
DESIGNED: CD  
DRAWN: [ ]

PROJECT:  
**SITE DEVELOPMENT PLANS  
NEW CONVENIENCE STORE  
2210 HIGHWAY 51  
GLUCKSTADT, MS**

SHEET TITLE:  
**MISCELLANEOUS  
DETAILS**

NO.	REVISIONS

SCALE:  
N/A

DRAWING NUMBER:  
**C - 5**

SHEET NO.  
6 of 6





WOOLDRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110

**June 27, 2024**

**William Hall**

**City of Gluckstadt**

**Planning Administrator**

**Re: Liquor Store Conditional Use Request**

**Sowell Shell C-Store**

**2210 Hwy 51**

**Gluckstadt, Ms**

**William,**

**Please find that my client is requesting a conditional use to place and operate a 2,946sf liquor store with in the convenient store approved at the intersection of US Hwy 51 and Sowell Rd. (2210 Hwy 51)**

**The site located at this intersection meets the requirements of the City of Gluckstadt's ordinance for the minimum required distance between two liquor stores of 4,000ft.**

**Cocktailz distance of 10,560ft**

**Cheers distance of 9,240ft**

**Bear Creek distance of 11,035ft**

**This intersection is a commercial district and the new store will service this area appropriately.**

**Thank you,  
Daniel Wooldridge**





**AFFP**

**Conditional Use for Sowell Road Shell LLC**

**AFFIDAVIT OF PUBLICATION**

State of Pennsylvania, County of Lancaster, ss:

Hayden Lipsky, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Madison County Journal, a newspaper printed and published in the City of Ridgeland, County of Madison, State of Mississippi, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

**PUBLICATION DATES:**  
Aug. 1, 2024

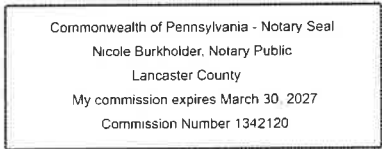
**NOTICE ID:** RSQItFyBNeof1WJZcoSF  
**NOTICE NAME:** Conditional Use for Sowell Road Shell LLC  
**Publication Fee:** 25.86

That said newspaper was regularly issued and circulated on those dates.

*Hayden Lipsky*

**VERIFICATION**

State of Pennsylvania  
County of Lancaster



Subscribed in my presence and sworn to before me on this: **08/02/2024**

*Nicole Burkholder*

Notary Public  
Notarized remotely online using communication technology via Proof.

**NOTICE IS HEREBY GIVEN TO THOSE PARTIES IN INTEREST** that there will be a Public Hearing on Tuesday, August 27, 2024 at 6:00 PM before the Gluckstadt Planning and Zoning Commission at the Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt MS 39110 for the purpose of Conditional Use for a Liquor Store for the following described parcel and address:

Madison County Tax Parcel No.  
082F-14-019/01.00

Address: 2210 Highway 51

The Public Hearing in relation thereto shall provide parties in interest and citizens opportunity to be heard. A copy of the Conditional Use application is available at the Gluckstadt City Hall for inspection.

/s/ Lindsay Kellum City  
Clerk's Signature

**ORDER APPROVING AND GRANTING A CONDITIONAL USE PERMIT  
ALLOWING A LIQUOR STORE ON PROPERTY LOCATED AT 2210 HIGHWAY 51,  
BEING WITHIN AND A PART OF PARCEL NO. 082F-14-019.01.00, IN A DISTRICT  
ZONED C-2, CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by applicant, Sowell Rd Shell, LLC, the issue of whether a Conditional Use allowing a liquor store in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Conditional Use as permitted by Section 2202 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt's Official Zoning Ordinance of Dec. 16, 2021, to Applicant, allowing a liquor store in a district zoned C-2, subject property being located at 2210 Highway 51 being within and a part of Tax Parcel No. 082F-14-019/01.00 in the City of Gluckstadt; and

WHEREAS, the Applicant advises the City the real property is owned by Sowell Rd Shell, LLC, and Applicant is planning to develop and operate a liquor store on the subject property; and

WHEREAS, the City of Gluckstadt scheduled a public hearing on said Application for August 27, 2024, at 6:00 o'clock p.m. before the City's Planning and Zoning Commission. After review of the Application by the Planning and Zoning Commission of the City of Gluckstadt – the Board was advised that the Planning and Zoning Commission at its August 27, 2024, meeting, recommended approval of the requested conditional use allowing Applicant to operate a liquor store on the subject property; and

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the August 27, 2024, hearing to be

published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City's public notice the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on August 27, 2024, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Planning and Zoning Commission upon conclusion of its August 27, 2024, meeting recommended in writing that the Board of Aldermen approve the request for a Conditional Use; and

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application;

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant to grant a Conditional Use for subject property located at 2210 Highway 51 being within and a part of Tax Parcel No. 082F-14-019/01.00 in the City of Gluckstadt for a liquor store is hereby granted; such action is taken pursuant to the findings of fact set out as follows:



1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Conditional Use.
4. The requested designation of a liquor store is within an allowable use of a Conditional Use of the Zoning Ordinance pursuant Section 2202.A. See definitions of **Liquor Store**: “Any store which sells, distributes or offers for sale or distribution any alcoholic beverage for use or consumption by the purchaser. (From Section 67-1-5 of the Mississippi Code).”
5. The subject property described herein, below, is within a zoning district zoned C-2:  

See attached published notice. Otherwise, being approximately 3± acres located at 2210 Highway 51 being within and a part of Tax Parcel No. 082F-14-019/01.00 in the City of Gluckstadt.
6. The Conditional Use will promote the general welfare of the City of Gluckstadt and will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.
7. The establishment of this Conditional Use is not detrimental to the public health, safety, or general welfare, and this Conditional Use is compatible with the existing and intended character of the surrounding zoning district.

- 8. The Mayor and Board of Aldermen find that all portions of Section 805.01 (A) - (I) of the Zoning Ordinance have also been complied with and that all requirements of Section 805.01 (A) - (I) of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Planning and Zoning Commission and to the Mayor and Board of Aldermen.
- 9. The granting of this Conditional Use does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Conditional Use is granted with the following additional conditions:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

ORDERED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_\_ day of \_\_\_\_\_ 2024.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

Alderman Miya Warfield-Bates voted: \_\_\_\_\_

Alderman Jayce Powell voted: \_\_\_\_\_

Alderman Richard Wesley Slay voted: \_\_\_\_\_

Alderman John Taylor voted: \_\_\_\_\_

Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN  
OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI  
DENYING A CONDITIONAL USE PERMIT FOR PROPERTY AT 2210 HIGHWAY  
51, AND BEING WITHIN AND A PART OF PARCEL NO. 082F-14-019.01.00,  
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, Sowell Rd Shell, LLC (the "Applicant"), did file an Application for a Conditional Use Permit on property described herein, which property is located in a C-2 Highway Commercial District Classification under the City of Gluckstadt Zoning Ordinance of December 16, 2021 (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Planning and Zoning Commission scheduled a hearing on said Application for August 27, 2024, at 6:00 o'clock p.m.; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affects the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows, to-wit;



SECTION 1. That the matters and facts stated in the preamble hereof are found, determined, and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of a Conditional Use Permit as required by Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied by the Applicant regarding the granting of a Conditional Use Permit allowing a liquor store in a district zoned C-2.

SECTION 3. That the Application to grant a Conditional Use Permit pursuant to Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, on the following described property, be and same is hereby denied. The property referenced in the Application (the "property") is described as follows:

Otherwise, being approximately 3± acres located at 2210 Highway 51 being within and a part of Tax Parcel No. 082F-14-019/01.00 in the City of Gluckstadt.

SO RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting held on \_\_\_\_ day of \_\_\_\_\_, 2024.

The motion for adoption was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the motion carried and the Resolution adopted.

The foregoing Resolution is approved, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

### City of Gluckstadt

### Application for Conditional Use

Subject Property Address: 586 CHURCH RD  
Parcel #: 082E-22-10102 082E-22-010/02.00

Owner: BEAR CREEK WATER ASSOCIATION  
Address: 301 Distribution Dr  
MADISON

Applicant: BEAR CREEK WATER  
Address: 301 Distribution Dr  
MADISON

Phone #: 601-856-5969  
E-Mail: nwilliamson@bearwaterms.org

Phone #: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

Current Zoning District: \_\_\_\_\_

Acreage of Property (If applicable): 11.06 Acreage

Use sought of Property: BUSINESS

2024/30

#### Requirements of Applicant:

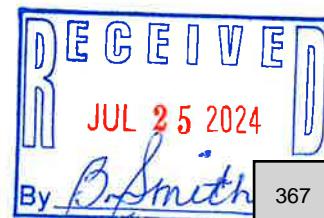
1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

#### Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.



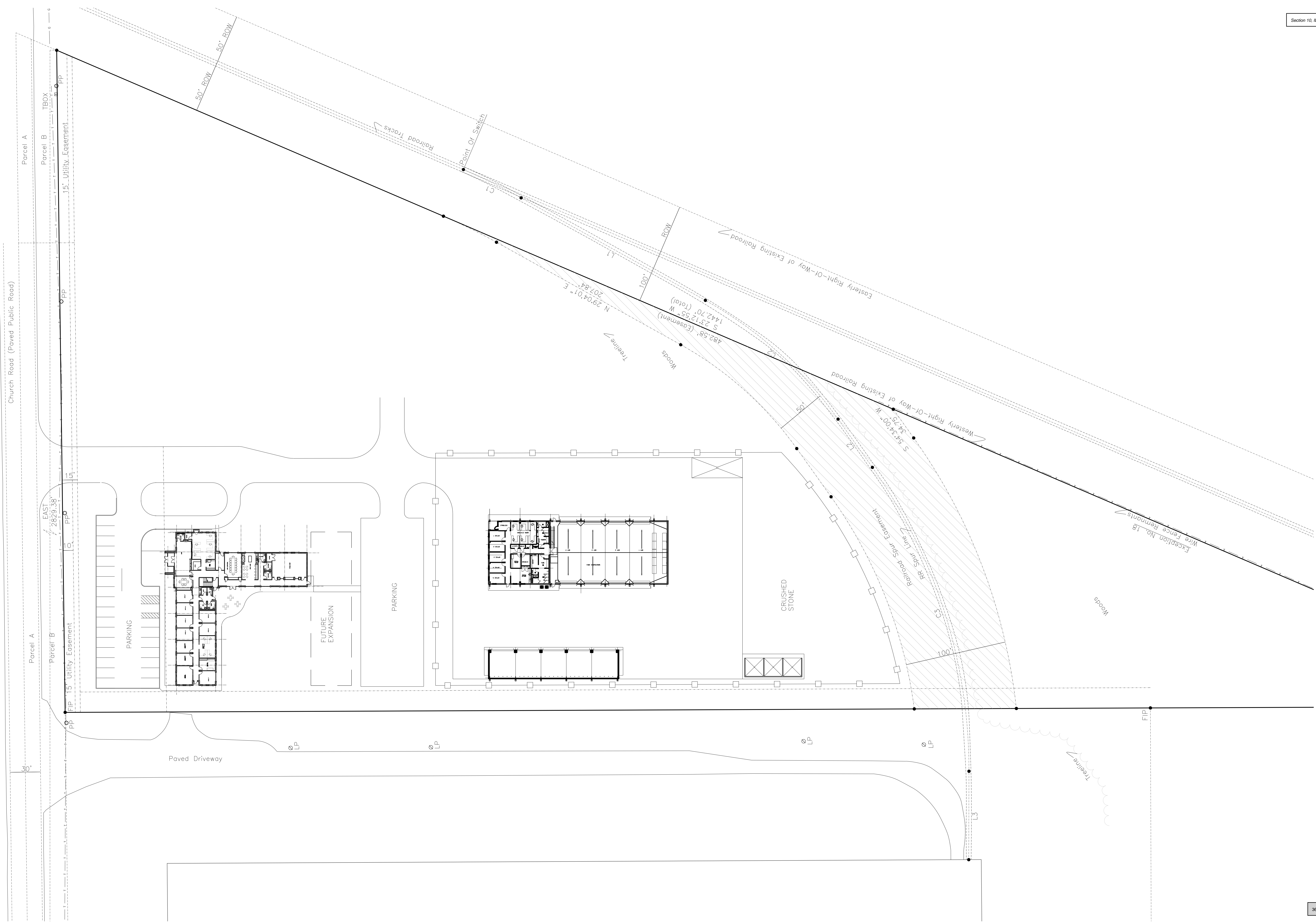
Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

WJ Wilton, GENERAL MANAGER      7/25/2024  
Applicant Signature BEAR CREEK WATER ASSOC      Date

WJ Wilton, GENERAL MANAGER      7/25/2024  
Property Owner Signature      Date  
BEAR CREEK WATER ASSOC







































AFFP

Conditional Use for Bear Creek Water Assoc.

AFFIDAVIT OF PUBLICATION

State of Pennsylvania, County of Lancaster, ss:

Hayden Lipsky, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Madison County Journal, a newspaper printed and published in the City of Ridgeland, County of Madison, State of Mississippi, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached.

**PUBLICATION DATES:**

Aug. 1, 2024

**NOTICE ID:** TX96WUBz29N2UKE2qlor

**NOTICE NAME:** Conditional Use for Bear Creek Water Assoc.

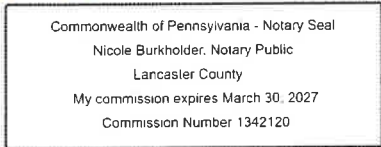
**Publication Fee:** 25.06

That said newspaper was regularly issued and circulated on those dates.

*Hayden Lipsky*

**VERIFICATION**

State of Pennsylvania  
County of Lancaster



Subscribed in my presence and sworn to before me on this: 08/02/2024

*Nicole Burkholder*

Notary Public  
Notarized remotely online using communication technology via Proof.

**NOTICE IS HEREBY GIVEN TO THOSE PARTIES IN INTEREST** that there will be a Public Hearing on Tuesday, August 27, 2024 at 6:00 PM before the Gluckstadt Planning and Zoning Commission at the Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt MS 39110, for the purpose of Conditional Use for a public utility facility.

Madison County Tax Parcel No.  
082E-22-010/02.00

Address: 586 Church Road

The Public Hearing in relation thereto shall provide parties in interest and citizens opportunity to be heard. A copy of the Conditional Use application is available at the Gluckstadt City Hall for inspection.

/s/ Lindsay Kellum  
City Clerk's Signature

**ORDER APPROVING AND GRANTING A CONDITIONAL USE PERMIT  
ALLOWING A WATER/SEWER UTILITY SERVICE FACILITY ON PROPERTY  
LOCATED AT 586 CHURCH ROAD, BEING WITHIN AND A PART OF PARCEL NO.  
082E-22-010/02.00, IN A DISTRICT ZONED C-2, CITY OF GLUCKSTADT, MADISON  
COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by applicant, Bear Creek Water Association, the issue of whether a Conditional Use allowing a water/sewer utility service facility in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Conditional Use as permitted by Section 2202 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt's Official Zoning Ordinance of Dec. 16, 2021, to Applicant, allowing a water/sewer utility service facility in a district zoned C-2, subject property being approximately 11± acres located at 586 Church Road being within and a part of Tax Parcel No. 082E-22-010/02.00 in the City of Gluckstadt; and

WHEREAS, the Applicant advises the City the real property is owned by Bear Creek Water Association, and Applicant is planning to develop and operate a water/sewer utility service facility on the subject property; and

WHEREAS, the City of Gluckstadt scheduled a public hearing on said Application for August 27, 2024, at 6:00 o'clock p.m. before the City's Planning and Zoning Commission. After review of the Application by the Planning and Zoning Commission of the City of Gluckstadt – the Board was advised that the Planning and Zoning Commission at its August 27, 2024, meeting, recommended approval of the requested conditional use allowing Applicant to operate a



water/sewer utility service facility on the subject property; and

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the August 27, 2024, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on August 27, 2024, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Planning and Zoning Commission upon conclusion of its August 27, 2024, meeting recommended in writing that the Board of Aldermen approve the request for a Conditional Use; and

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application;

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant to grant a Conditional Use for subject

property being approximately 11± acres located at 586 Church Road being within and a part of Tax Parcel No. 082E-22-010/02.00 in the City of Gluckstadt for a water/sewer utility facility is hereby granted; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Conditional Use.
4. The requested designation of a water/sewer utility facility is within an allowable use of a Conditional Use of the Zoning Ordinance pursuant Section 2202.A. See definitions of ***Public/Quasi-Public Facility***: “Any building, structure, system, use, or combination of uses, which is customarily and ordinarily provided by either public or private agencies, groups, societies, corporations, or organizations, whose purpose is the provision of necessary and desirable goods and/or services for the general public health, safety, and welfare.”
5. The subject property described herein, below, is within a zoning district zoned C-2:
 

See attached published notice. Otherwise, being approximately 11± acres located at 586 Church Road being within and a part of Tax Parcel No. 082E-22-010/02.00 in the City of Gluckstadt.
6. The Conditional Use will promote the general welfare of the City of Gluckstadt and will not adversely affect the public interest or adjacent property. Future projects



within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.

- 7. The establishment of this Conditional Use is not detrimental to the public health, safety, or general welfare, and this Conditional Use is compatible with the existing and intended character of the surrounding zoning district.
- 8. The Mayor and Board of Aldermen find that all portions of Section 805.01 (A) - (I) of the Zoning Ordinance have also been complied with and that all requirements of Section 805.01 (A) - (I) of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Planning and Zoning Commission and to the Mayor and Board of Aldermen.
- 9. The granting of this Conditional Use does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Conditional Use is granted with the following additional conditions:

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ORDERED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_ 2024.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

Alderman Miya Warfield-Bates voted: \_\_\_\_\_  
 Alderman Jayce Powell voted: \_\_\_\_\_  
 Alderman Richard Wesley Slay voted: \_\_\_\_\_  
 Alderman John Taylor voted: \_\_\_\_\_  
 Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]



**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN  
OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI  
DENYING A CONDITIONAL USE PERMIT FOR PROPERTY LOCATED AT 586  
CHURCH ROAD, BEING WITHIN AND A PART OF PARCEL NO. 082E-22-  
010/02.00, CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, Bear Creek Water Association (the "Applicant"), did file an Application for a Conditional Use Permit on property described herein, which property is located in a C-2 Highway Commercial District Classification under the City of Gluckstadt Zoning Ordinance of December 16, 2021 (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Planning and Zoning Commission scheduled a hearing on said Application for August 27, 2024, at 6:00 o'clock p.m.; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affects the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows, to-wit;

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined, and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of a Conditional Use Permit as required by Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied by the Applicant regarding the granting of a Conditional Use Permit allowing a water/sewer utility facility in a district zoned C-2.

SECTION 3. That the Application to grant a Conditional Use Permit pursuant to Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, on the following described property, be and same is hereby denied. The property referenced in the Application (the "property") is described as follows:

Approximately 11± acres located at 586 Church Road being within and a part of Tax Parcel No. 082E-22-010/02.00 in the City of Gluckstadt.

SO RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting held on \_\_\_\_ day of \_\_\_\_\_, 2024.

The motion for adoption was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_



Whereupon, the Mayor declared the motion carried and the Resolution adopted.

The foregoing Resolution is approved, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

City of Gluckstadt

Application for Conditional Use

Subject Property Address: 418 Business Park Dr., Gluckstadt  
Parcel #: 082E-21-024/00.00

Owner: Eastside Plaza, LLC Applicant: Wellspring Methodist Church  
Address: 217 Draperon Dr., Ste 100 Address: 217 Draperon Dr., Ste 100  
Ridgeland, MS 39157 Ridgeland, MS 39157

Phone #: 601-853-9131 or Phone #: 601-260-6834  
E-Mail: johnd@johndmoores.com E-Mail: same

Current Zoning District: C-2  
Acreage of Property (If applicable): 1.09 acres  
Use sought of Property: Church

2024137

Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.



Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

*[Handwritten Signature]*, Secretary  
Applicant Signature

7/29/2024  
Date

*[Handwritten Signature]*, Secretary  
Property Owner Signature

7/29/2024  
Date

July 30, 2024

**Via Hand Delivery**

City of Gluckstadt  
Planning and Zoning Department  
Attn: William Hall  
343 Distribution Drive  
Madison, MS 39110

**Re: 418 Business Park Drive  
Application for Conditional Use by Wellspring Methodist Church**

Dear Mr. Hall,

I am enclosing an Application for Conditional Use related to the 418 Business Park Drive (the “**Property**”). I am also enclosing a written legal description of the Property, a site plan, an interior buildout plan, and a filing fee of \$250.00.

Wellspring Methodist Church has purchased Eastside Plaza, LLC, which owns this Property. We desire to establish a church which meets weekly, and it is my understanding that the City requires the enclosed application to be reviewed by the Board.

The proposed use of this property will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 and related sections of the Zoning Ordinance of the City of Gluckstadt Mississippi as adopted on December 16, 2021 (the “**Ordinance**”), as well as any related amendments and regulations.

**Zoning and Compatibility with Adjacent Properties**

The Ordinance defines a church as a “Public/Quasi-Public” facility. *See Sec. 301.* The subject property is zoned C-2 – Highway Commercial District. Section 402 of the Ordinance states that “All public and quasi-public facilities and utilities...may be located in any district in the City, provided...” that three requirements are met.

The first requirement is that “all applicable requirements of federal, state and local laws shall be met.” The Applicant has satisfied all such laws. The second requirement is that “all such proposed uses shall be subject to the procedures stated under Section 805 relative to Conditional Uses.” The Applicant believes it has satisfied all such procedures. The third requirement is that the use cannot be “incompatible with surrounding land uses.” The Applicant believes that a church is compatible with all the surrounding land uses.



City of Gluckstadt  
July 30, 2024  
Page Two

The attached site plan demonstrates that the proposed church will meet the Dimensional Requirements for Public/Quasi-Public Facilities as set forth in Section 403 of the Ordinance.

### **Ingress / Egress**

The Site Plan indicates proper ingress and egress from the street. There is one access point to the Property which meets all requirements of the Ordinance. The Property contains a curb, which is a suitable access barrier against unchanneled motor vehicle ingress or egress. This curb is continuous for the entire length of the lot line adjoining the street, which meets the requirements of Section 503.01.

### **Off-Street Parking and Loading Areas**

The Site Plan indicates 63 parking spaces which satisfies the Off-Street Parking Space Requirements for Churches, as set forth in 501.02(E)(1). I have also attached an interior buildout plan which indicates 144 seats. A church is required to have “One parking space for each five fixed seats in the principal assembly hall....” *See Sec. 501.02(E)(1)*. We will not have “fixed seats”. They will be movable seats. However, the parking requirement is more than satisfied either way as we have enough parking spaces for 315 fixed seats. The main assembly hall is not large enough to hold 315 seats. Therefore, the Off-Street Parking Space Requirements for Churches is satisfied.

### **Refuse and Service Areas**

Our Site Plan indicates a concrete pad for a dumpster, which will use to service the Property. The Site Plan also calls for fencing on all four sides of the dumpster to properly shield and enclose it in compliance with Section 406.06.

### **Utilities**

The Property has adequate water and sewer system capacity. There is proper drainage. Underground utilities are not required for this Property. Garbage disposal facilities will be enclosed.

### **Screening and Buffering / Required Yards and other Open Spaces**

The Site Plan indicates screening, buffering, and required yards and open spaces which are sufficient for this conditional use as a church. The Property follows all setback requirements for front, rear, and side yards.

City of Gluckstadt  
July 30, 2024  
Page Three

Please let me know if you need anything else.

Warm regards,

A handwritten signature in black ink, appearing to read "John D. Moore", written in a cursive style.

John D. Moore

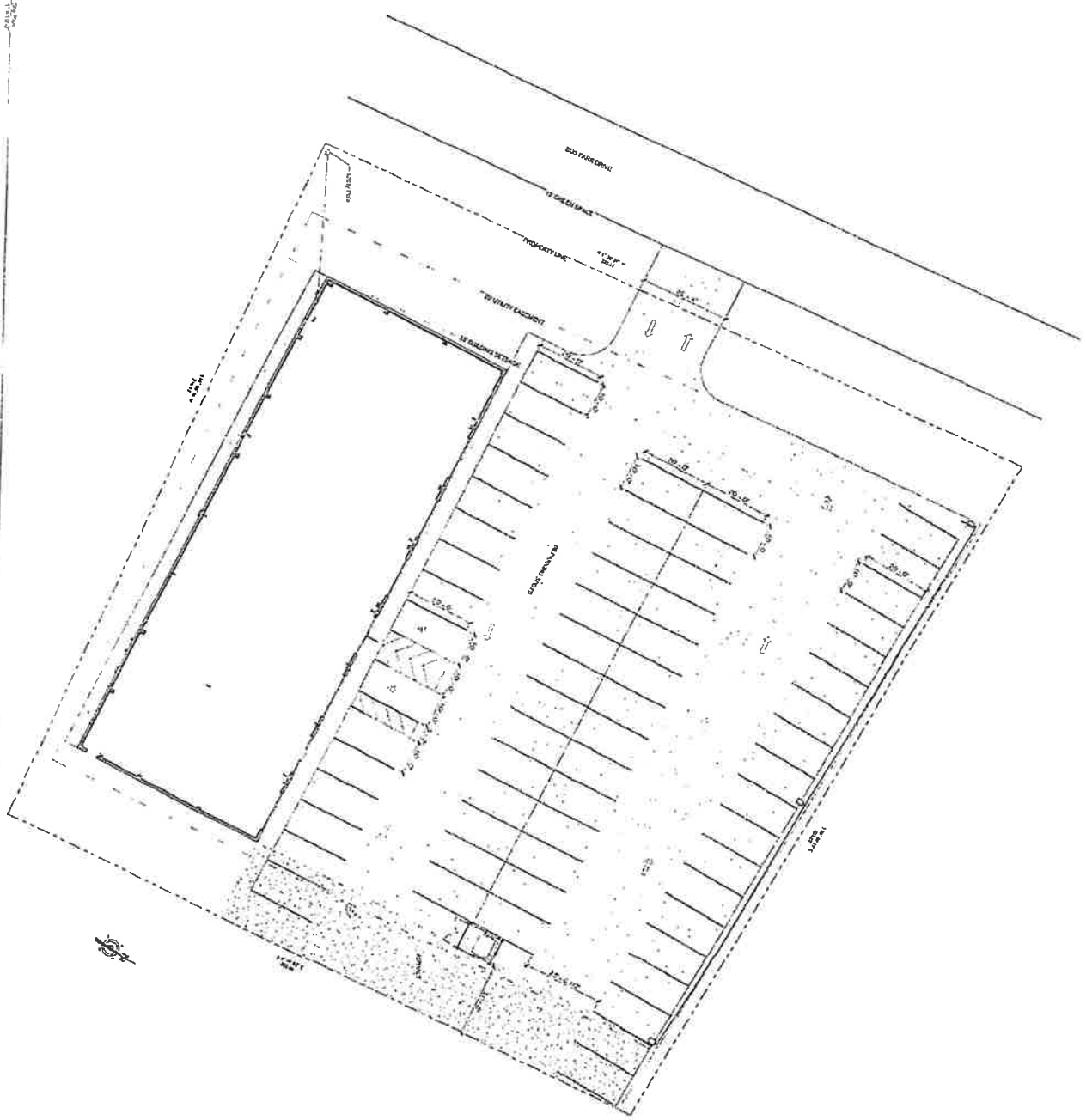
JDM/  
Enclosures

- c. J. Clint Sumrall  
Lone Oak Construction



**LEGAL DESCRIPTION OF 418 BUSINESS PARK DRIVE**

Lot 5, Gluckstadt Business Park, a subdivision according to a map or plat thereof which is on file and of record in the office of the Chancery Clerk of Madison County at Canton, Mississippi, in Plat Cabinet C, Slide 175, reference to which is made in aid of and as part of this description.



Site Plan

Scale 1" = 10'-0"  
S100

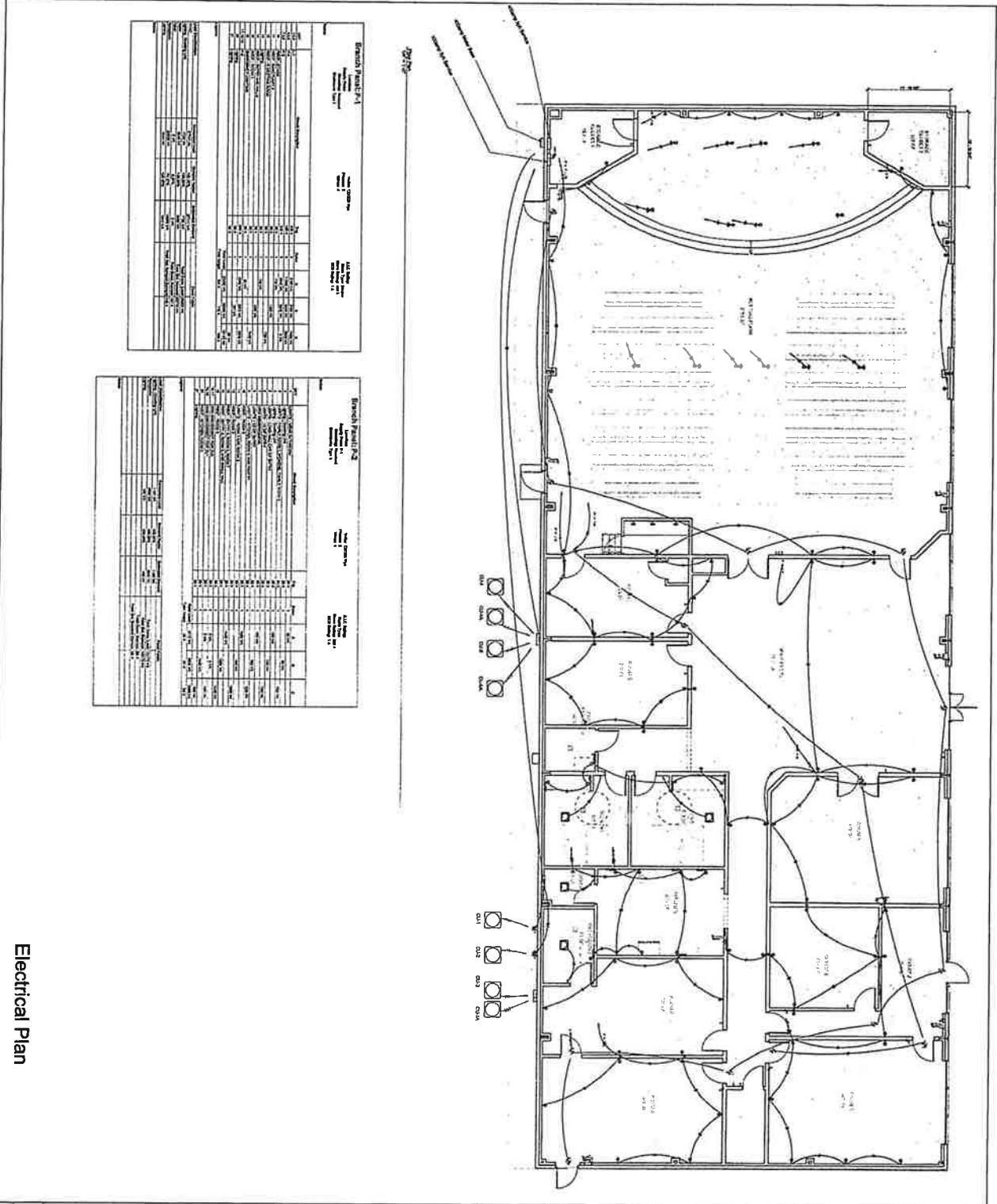
Interior Buildout For Community Meeting Room  
418 Bus Park Dr. Madison, MS 39110

Date: 4/08  
Project: 4108  
FLOOR CHANGES  
FAMILY TOILET  
ADA BATHROOM CHANGES  
STAIRS



ROBERT NEAL, ARCHITECT  
201 W. GARDNER ST. MADISON, MS 39101  
601-335-4800





**Branch Panel #1**

Panel	Panel No.	Panel Name	Panel Location	Panel Description	Panel Notes
1	101	101	101	101	101
2	102	102	102	102	102
3	103	103	103	103	103
4	104	104	104	104	104
5	105	105	105	105	105
6	106	106	106	106	106
7	107	107	107	107	107
8	108	108	108	108	108
9	109	109	109	109	109
10	110	110	110	110	110
11	111	111	111	111	111
12	112	112	112	112	112
13	113	113	113	113	113
14	114	114	114	114	114
15	115	115	115	115	115
16	116	116	116	116	116
17	117	117	117	117	117
18	118	118	118	118	118
19	119	119	119	119	119
20	120	120	120	120	120

**Branch Panel #2**

Panel	Panel No.	Panel Name	Panel Location	Panel Description	Panel Notes
1	201	201	201	201	201
2	202	202	202	202	202
3	203	203	203	203	203
4	204	204	204	204	204
5	205	205	205	205	205
6	206	206	206	206	206
7	207	207	207	207	207
8	208	208	208	208	208
9	209	209	209	209	209
10	210	210	210	210	210
11	211	211	211	211	211
12	212	212	212	212	212
13	213	213	213	213	213
14	214	214	214	214	214
15	215	215	215	215	215
16	216	216	216	216	216
17	217	217	217	217	217
18	218	218	218	218	218
19	219	219	219	219	219
20	220	220	220	220	220

Electrical Plan

E101  
Scale 1/4" = 1'-0"

Interior Buildout For Community Meeting Room  
418 Bus Park Dr. Madison, MS 39110

DATE: 05/11/11  
PROJECT: 418  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: 1/4" = 1'-0"



**ROBERT NEAL, ARCHITECT**  
197 CROSSVIEW PLANTATION  
BRANDON, MS. 39047  
16011 405-5462

**AFFP**

**Conditional Use for Eastside Plaza LLC**

**AFFIDAVIT OF PUBLICATION**

State of Florida, County of Duval, ss;

Hayden Lipsky, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Madison County Journal, a newspaper printed and published in the City of Ridgeland, County of Madison, State of Mississippi, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

**PUBLICATION DATES:**

Aug. 3, 2024

**NOTICE ID:** fek6XQfFOsw2zuzcXhcD

**NOTICE NAME:** Conditional Use for Eastside Plaza LLC

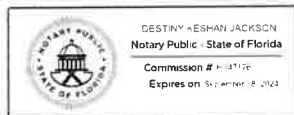
**Publication Fee:** 23.65

That said newspaper was regularly issued and circulated on those dates.

*Hayden Lipsky*

**VERIFICATION**

State of Florida  
County of Duval



Subscribed in my presence and sworn to before me on this, **08/08/2024**

*Destiny H. Jackson*

Notary Public  
Notarized remotely online using communication technology via Proof.

**NOTICE IS HEREBY GIVEN TO THOSE PARTIES IN INTEREST** that there will be a Public Hearing on Tuesday, August 27, 2024 at 6:00 PM before the Gluckstadt Planning and Zoning Commission at the Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt MS 39110, for the purpose of Conditional Use for Public Quasi-Public Facility for 1.09 acres for the following described parcel and address:

**Madison County Parcel No. 082E-21-024/00.00**

**Address: 418 Business Park Drive**

The Public Hearing in relation thereto shall provide parties in interest, and citizens an opportunity to be heard. A copy of the Conditional Use shall be available at the City Hall for inspection by the public.

/s/ Lindsay Kellum  
City Clerk's Signature



**ORDER APPROVING AND GRANTING A CONDITIONAL USE PERMIT  
ALLOWING A CHURCH ON PROPERTY BEING APPROXIMATELY 1± ACRES  
LOCATED AT 418 BUSINESS PARK DRIVE, BEING WITHIN AND A PART OF  
PARCEL NO. 082E-21-024/00.00, IN A DISTRICT ZONED C-2, CITY OF  
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by applicant, Wellspring Methodist Church, the issue of whether a Conditional Use allowing a church in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Conditional Use as permitted by Section 2202 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt's Official Zoning Ordinance of Dec. 16, 2021, to Applicant, allowing a church in a district zoned C-2, subject property being approximately 1± acres located at 418 Business Park Drive being within and a part of Tax Parcel No. 082E-21-024/00.00 in the City of Gluckstadt; and

WHEREAS, the Applicant advises the City the real property is owned by Eastside Plaza, LLC, and Applicant is planning to develop and operate a church on the subject property; and

WHEREAS, the City of Gluckstadt scheduled a public hearing on said Application for August 27, 2024, at 6:00 o'clock p.m. before the City's Planning and Zoning Commission. After review of the Application by the Planning and Zoning Commission of the City of Gluckstadt – the Board was advised that the Planning and Zoning Commission at its August 27, 2024, meeting, recommended approval of the requested conditional use allowing Applicant to operate a church on the subject property; and

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the August 27, 2024, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on August 27, 2024, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Planning and Zoning Commission upon conclusion of its August 27, 2024, meeting recommended in writing that the Board of Aldermen approve the request for a Conditional Use; and

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application;

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant to grant a Conditional Use for subject property being approximately 1± acres located at 418 Business Park Drive being within and a



part of Tax Parcel No. 082E-21-024/00.00 in the City of Gluckstadt for a church is hereby granted; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Conditional Use.
4. The requested designation of a church is within an allowable use of a Conditional Use of the Zoning Ordinance pursuant Section 2202.A. See definitions of **Public/Quasi-Public Facility**: “Any building, structure, system, use, or combination of uses, which is customarily and ordinarily provided by either public or private agencies, groups, societies, corporations, or organizations, whose purpose is the provision of necessary and desirable goods and/or services for the general public health, safety, and welfare.”
5. The subject property described herein, below, is within a zoning district zoned C-2:
 

See attached published notice. Otherwise, being approximately 1± acres located at 418 Business Park Drive being within and a part of Tax Parcel No. 082E-21-024/00.00 in the City of Gluckstadt.
6. The Conditional Use will promote the general welfare of the City of Gluckstadt and will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.

- 7. The establishment of this Conditional Use is not detrimental to the public health, safety, or general welfare, and this Conditional Use is compatible with the existing and intended character of the surrounding zoning district.
- 8. The Mayor and Board of Aldermen find that all portions of Section 805.01 (A) - (I) of the Zoning Ordinance have also been complied with and that all requirements of Section 805.01 (A) - (I) of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Planning and Zoning Commission and to the Mayor and Board of Aldermen.
- 9. The granting of this Conditional Use does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Conditional Use is granted with the following additional conditions:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

ORDERED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_ 2024.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

Alderman Miya Warfield-Bates voted: \_\_\_\_\_

Alderman Jayce Powell voted: \_\_\_\_\_

Alderman Richard Wesley Slay voted: \_\_\_\_\_



Alderman John Taylor voted: \_\_\_\_\_

Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN  
OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI  
DENYING A CONDITIONAL USE PERMIT FOR PROPERTY BEING  
APPROXIMATELY 1± ACRES LOCATED AT 418 BUSINESS PARK DRIVE, BEING  
WITHIN AND A PART OF PARCEL NO. 082E-21-024/00.00, IN A DISTRICT  
ZONED C-2, CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, Wellspring Methodist Church (the "Applicant"), did file an Application for a Conditional Use Permit on property described herein, which property is located in a C-2 Highway Commercial District Classification under the City of Gluckstadt Zoning Ordinance of December 16, 2021 (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Planning and Zoning Commission scheduled a hearing on said Application for August 27, 2024, at 6:00 o'clock p.m.; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affects the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows, to-wit;



SECTION 1. That the matters and facts stated in the preamble hereof are found, determined, and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of a Conditional Use Permit as required by Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied by the Applicant regarding the granting of a Conditional Use Permit allowing a church in a district zoned C-2.

SECTION 3. That the Application to grant a Conditional Use Permit pursuant to Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, on the following described property, be and same is hereby denied. The property referenced in the Application (the "property") is described as follows:

Approximately 1± acres located at 418 Business Park Drive being within and a part of Tax Parcel No. 082E-21-024/00.00 in the City of Gluckstadt.

SO RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting held on \_\_\_\_ day of \_\_\_\_\_, 2024.

The motion for adoption was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the motion carried and the Resolution adopted.

The foregoing Resolution is approved, this the \_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]



**REQUEST FOR REZONING APPLICATION**

Subject Property Address: 082E-15-037/00.00 and 082E-15-038/00.00  
 Owner: MMC Materials Applicant: C/O. Ternigan Copeland Attys. PLLC  
 Address: 133 New Ragdale Rd Address: 970 Ebenzer Blvd  
Madison MS 39110 Madison MS 39110  
 Phone No. \_\_\_\_\_ Phone No. (601) 427-0021  
 Current Zoning District: R-1  
 Requested Change I-2 2024134

**Requirements of Applicant:**

1. Letter stating reason for requested zoning change.
2. Copy of the written legal description.
3. Site plan of property.
4. Identification of property owners within 160 feet of subject property.
5. \$250.00 fee required for processing.

**Criteria for Rezoning:** (Section 2406.03 - Zoning Ordinance)

- (a). Show proof that a mistake was made in the original zoning. "Mistake" in this context shall refer to a clerical or administrative error.
- (b). Show proof that the character of the neighborhood has changed to such an extent as to justify reclassification, AND that there is a public need for the rezoning.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

**By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for rezoning.**

Via Hand Delivery  
Applicant Signature

\_\_\_\_\_ Date

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_ Date

Template  
028  
Fee codes  
Z 10



ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA HAND DELIVERY**

City of Gluckstadt  
c/o William R. Hall, Planning and Zoning Director  
107 Lone Wolf Drive  
Gluckstadt, MS 39110

**RE: FERROUS PROCESSING AND TRADING COMPANY  
PETITION TO REZONE AND RECLASSIFY REAL PROPERTY  
MADISON COUNTY TAX PARCEL NOS: 082E-15-037/00.00 AND 082E-15-038/00.00**

Dear William:

I represent Ferrous Processing and Trading Company ("Ferrous") in their Petition to Rezone and Reclassify Real Property. This property lies east of the railroad track, and west of Highway 51 in Gluckstadt and is known as Madison County Tax Parcel Nos: **082E-15-037/00.00** and **082E-15-038/00.00** ("Subject Property").

Ferrous is seeking to rezone the Subject Property from its current designation as Residential Estate District (R-1) to Heavy Industrial District (I-2).

The Subject Property is currently owned by MMC Materials, Inc. ("MMC") but is under contract to be purchased from MMC by Ferrous. The parties' respective addresses are as follows:

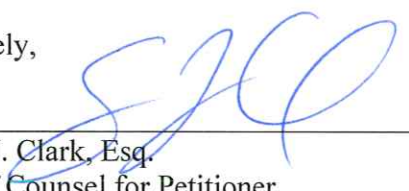
MMC Materials, Inc.  
P.O. Box 2749  
Madison, MS 39130  
(601) 898-4000

Ferrous Processing and Trading Company  
1333 Brewery Park Blvd.  
Suite 400  
Detroit, MI 48207-4550  
(313) 567-9710

Please find Ferrous's Petition, and all relevant exhibits attached hereto, as well as this firm's check #9315 in the amount of \$250.00 for processing. I will provide you with a digital copy of the legal description for publishing under separate cover. I understand that this matter will be taken up by the City of Gluckstadt Planning & Zoning Commission on Tuesday, August 27, 2024, at 6:00 p.m.

I thank you for your consideration, and, as always, please feel free to contact me with any questions or concerns.

Sincerely,

  
\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner

cc: Hon. Samuel C. Kelly (via email only)  
Andrew M. Walker (via email only)



**BEFORE THE MAYOR AND BOARD OF ALDERMEN  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

**IN THE MATTER OF REZONING CERTAIN LAND SITUATED IN:  
THE NE ½ OF THE SE ¼ SECTION 15, TOWNSHIP 8 NORTH, RANGE 2 EAST  
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

**MADISON COUNTY TAX PARCEL NOS:**

**082E-15-037/00.00**

**082E-15-037/00.00**

**PETITIONER: FERROUS PROCESSING AND TRADING COMPANY**

**PETITION TO REZONE AND RECLASSIFY REAL PROPERTY**

COMES NOW, Ferrous Processing and Trading Company (“Petitioner”), by written permission of MMC Materials, Inc. (“MMC”), owner of the hereinafter described land and property, and files this Petition with the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi to rezone and reclassify tract(s) or parcel(s) of land situated in the NE ½ of the SE ¼ Section 15, Township 8 North, Range 2 East, City of Gluckstadt, Mississippi, (“the Subject Property”) and would show as follows:

1. Petitioner has written permission to file this Petition from MMC pursuant to that certain Contract of Purchase and Sale agreement (“Agreement”) as rezoning of the Subject Property is a condition to closing the Agreement. Please see the following Exhibits:

**Exhibit “A” – Current Deed to Property vested in MMC**

**Exhibit “B” --Contract of Purchase and Sale by and between Petitioner and MMC**

**Exhibit “C”—Legal Description of the Property**

2. Petitioner requests that the Subject Property be rezoned from its present Zoning District Classification of Residential Estate District (R-1) to Heavy Industrial District (I-2). An aerial photo/map depicting the Subject Property is attached hereto as **Exhibit “D”**.

3. The Subject Property is part of a larger parcel owned by MMC. *See Exhibit “A.”*

4. The entirety of the MMC property has been used as a concrete plant for the past 20+

years.

5. The majority (+/-10.98) of MMC's property is already zoned as Heavy Industrial District (I-2). *See Exhibit "E."* attached hereto.

6. However, the Subject Property is currently zoned as Residential Estate District (R-1). *See Exhibit "F"* attached hereto.

7. Petitioner is purchasing the entirety of the MMC property, including the Subject Property for use as a metal materials recycling facility. Materials will be processed, bailed, and placed on railcars via a new branch line spur connecting the property to the adjacent CN railway on the west side of the property. A conceptual site plan is attached hereto as **Exhibit "G."**

8. Justification and public need:

- a. Due to its adjacency to the CN railway, and larger tract which has already been rezoned to Heavy Industrial District (I-2), the Subject Property is best suited for Heavy Industrial District (I-2). *See Exhibit "E."*
- b. All of the properties adjacent to the Subject Property are zoned as Heavy Industrial District (I-2) or Highway Commercial District (C-2). *See Exhibit "E."*
- c. There is a public need for rezoning as the rezoning and proposed use of the Subject Property will create jobs and have a positive economic impact on the City of Gluckstadt, and Madison County.

9. The Land Use and Transportation Plan of Madison County, Mississippi depicts the Subject Property as "Major Thoroughfare Commercial"—i.e. Highway Commercial District (C-2). As such, Heavy Industrial District (I-2) is technically not in compliance with the Land Use and Transportation Plan of Madison County, Mississippi. However, because the majority (+/-10.98) of



MMC's property is already zoned as Heavy Industrial District (I-2), such designation is the highest and best use of the Subject Property.

10. Petitioner is notifying the surrounding landowners owning property within 160 feet of the property described herein (excluding streets and highways), of the hearing date for this Petition by certified mail, return receipt requested. A list of the landowners and their addresses is attached as **Exhibit "H"**.

11. A *Notice of Hearing* to the surrounding landowners is attached as **Exhibit "I"**.

**WHEREFORE, PREMISES CONSIDERED,** Petitioner respectfully requests that this Petition be received, and after due consideration, the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi will rezone and reclassify this property from its present designation of Residential Estate District (R-1) to Heavy Industrial District (I-2).

**RESPECTFULLY SUBMITTED,** this the 1st day of August, 2024.

Ferrous Processing and Trading Company  
Petitioner

  
\_\_\_\_\_  
Andy J. Clark

OF COUNSEL:  
Andy J. Clark (MSB #102903)  
JERNIGAN COPELAND ATTORNEYS, PLLC  
Post Office Box 2249  
Madison, Mississippi 39130-2249  
T: (601) 427-0021  
F: (601) 427-0051  
[aclark@jcalawfirm.com](mailto:aclark@jcalawfirm.com)  
Attorney for Petitioner

INDEXING INSTRUCTIONS:  
SE 1/4 and N 1/4 of SE 1/4 of Section 15,  
T8N, R2E, Madison County, MS

Prepared by & Return To:  
William C. Smith III  
Taylor, Covington & Smith, P.A.  
315 Tombigbee Street, 3rd Floor  
P. O. Box 3509  
Jackson, MS 39207

### WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, **J.E. Harreld Properties, Inc.**, a Mississippi corporation, Grantor, does hereby sell, convey and warrant unto **MMC Materials, Inc.**, a Mississippi corporation, as Grantee, the real property (herein "Subject Property") lying and being situate in the Madison County, State of Mississippi, described as follows:

#### **SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE**

IT IS AGREED AND UNDERSTOOD that the taxes for the current year have been prorated as of this date on an estimated basis, and when said taxes are actually determined, if the proration as of this date is incorrect, then the Grantor agrees to pay to said Grantee or its assigns any deficit on an actual proration. Likewise, Grantee agrees to pay to said Grantor or its assigns any overpayment on an actual proration.

THIS CONVEYANCE and the warranty herein contained is made subject to all prior mineral severances of record, any and all easements, rights of way, covenants and building restrictions of record.

FURTHER, THIS CONVEYANCE and the warranty herein contained is made subject to the following exceptions:

1. Terms and conditions of that certain right of way executed to Entergy recorded in Book 485 at Page 417.
2. Terms and conditions of that certain Lease recorded in Book 494 at Page 571. (As to Parcel One only)





3. Terms and conditions of that certain easement in favor of Puckett Machinery Company contained in that Easement executed of even date herewith and recorded in Book \_\_\_\_\_, at Page \_\_\_\_\_ in the office of the Chancery Clerk of Madison County, Mississippi.

WITNESS THE DULY AUTHORIZED SIGNATURE of the undersigned on this the 23 day of August, 2002.

J.E. Harreld Properties, Inc.

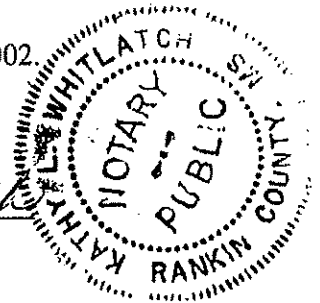
*James E. Harreld*  
By: James E. Harreld  
Title: President

STATE OF MISSISSIPPI  
COUNTY OF HINDS

PERSONALLY appeared before me, the undersigned authority in and for the said County and State, within my jurisdiction, the within named James E. Harreld who acknowledged that he is President of J.E. Harreld Properties, Inc., and that for and on behalf of said Corporation, and as its act and deed, he executed, signed and delivered the above and foregoing instrument, after first having been duly authorized by said Corporation so to do.

GIVEN under my hand and official seal on this the 23<sup>rd</sup> day of August, 2002.

*Kathy L. Whitlatch*  
NOTARY PUBLIC



My Commission Expires:  
Notary Public State of Mississippi At Large  
My Commission Expires: June 7, 2008  
Bonded Thru Heiden, Brooks & Garland, Inc.

Grantor's Address:  
P.O. Box 413  
Canton, MS 39046  
Telephone: 601- 354-2233

Grantees's Address:  
1052 Highland Colony Parkway, Suite 201  
Ridgeland, MS 39157-0200  
Telephone: 601-

## EXHIBIT "A"

## PARCEL ONE

10.0 acres lying in the Southeast Quarter of Section 15, T-8-N, R-2-E of Madison County, Mississippi lying between the East R.O.W. of the I.C.G. Railroad R.O.W. and being more particularly described as follows:

Begin at the Southeast Corner of the Northwest Quarter of the Southeast Quarter of Section 15 and run West for a distance of 491.7 feet to the Easternmost R.O.W. line of the I.C.G. Railroad R.O.W.; thence

Northeasterly along said R.O.W. line for a distance of 717.0 feet; thence

East for a distance of 660.0 feet; thence

Southwesterly along a line parallel to the East R.O.W. line of the said I.C.G. Railroad for a distance of 717.0 feet; thence

West for a distance of 188.3 feet to the Point of Beginning.

The herein described tract contains 10.0 acres more or less.

## PARCEL TWO

A parcel of land lying and situated in the N  $\frac{1}{2}$  of the SE  $\frac{1}{4}$  of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 seconds E for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin; thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$  of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$  of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 717.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 266.05 feet to a concrete monument which is the NW corner of Lot 4 J. R. Davis Subdivision the map or plat of which is of record and on file in the Office of the Chancery Clerk of Madison County, located in Canton, Mississippi; thence run S 89 degrees 53 minutes 23 seconds E along the North line of said lot 4 for a distance of 441.37 feet to an iron pin; thence run S 23 degrees 42 minutes 33 seconds W for a distance of 262.20 feet to an iron pin; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 441.67 feet to the Point of Beginning. This parcel contains 2.45 acres, more or less.



## EXHIBIT "A" (Cont.)

## PARCEL THREE

A parcel of land lying and situated in the N ½ of the SE ¼ of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 Second E for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin; thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW ¼ of the SE ¼ of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW ¼ of the SE ¼ of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 717.00 feet to an iron pin; thence run N 89 degrees 32 minutes 45 seconds E for a distance of 660.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning continue thence N 89 degrees 32 minutes 45 seconds E for a distance of 709.96 feet to an iron pin on the westerly right of way of Highway 51; thence run S 23 degrees 42 minutes 33 seconds W along said right of way for a distance of 65.76 feet to a point; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 709.35 feet to a point; thence run N 23 degrees 13 minutes 22 seconds E for a distance of 65.51 feet to the Point of Beginning. This Parcel contains 0.98 acres, more or less.

## CONTRACT OF PURCHASE AND SALE

This Contract of Purchase and Sale (“Agreement”) is made and entered into by and between MMC Materials, Inc., a Mississippi corporation (referred to as “Seller”) and Ferrous Processing and Trading Company, a Michigan corporation (referred to as “Purchaser”), effective as of March \_\_, 2024 (“Effective Date”).

For the consideration, and subject to the terms, conditions and provisions hereinafter set out, and the mutual promises of and benefits to the parties to this Agreement, Seller and Purchaser have agreed and do hereby agree as follows:

1. Agreement and Description: Seller will sell to Purchaser, and Purchaser will purchase from Seller, the following described real property (“Property”) consisting of approximately thirteen (13) acres located in Madison County, Mississippi, as follows, to-wit:

**SEE EXHIBIT “A” ATTACHED HERETO FOR DESCRIPTION.**

2. Purchase Price: The consideration to be paid by Purchaser to Seller for the Property is ~~Eight Hundred Fifty Thousand (\$850,000.00)~~ Dollars (“Purchase Price”) payable as follows:

(a) Earnest Money deposit of ~~One Hundred Thousand (\$100,000.00)~~ Dollars (“Earnest Money”) delivered to JC Title LLC, a Mississippi licensed title company, as escrow agent upon execution of this Agreement, which will be refundable to the Purchaser or delivered to Seller as set forth in this Agreement in the event the transaction contemplated hereby shall not close.

(b) The balance of the Purchase Price, which is ~~Seven Hundred Fifty Thousand (\$750,000.00)~~ Dollars, will be paid by Purchaser to Seller at Closing, subject to all prorations, credits, adjustments and other disbursements and payments provided for in this Agreement.

(c) Seller and Purchaser shall allocate the Purchase Price as follows: ~~Seven Hundred Fifty Thousand (\$750,000.00)~~ Dollars to land and buildings and ~~One Hundred Thousand (\$100,000.00)~~ Dollars to certain raw materials to remain on the Property at Closing (the “Asset Allocation”). The Purchase Price for the Property shall be allocated in accordance with the Asset Allocation, and all income tax returns and reports filed by Purchaser and Seller shall be prepared consistently therewith. Neither Purchaser nor Seller shall, nor shall they permit their respective affiliates to, take any position inconsistent with the Asset Allocation.

3. Closing: The closing of this transaction (“Closing”) shall occur at a mutually agreeable time and location within five (5) business days after the satisfaction or waiver of the Closing Conditions (other than those conditions that by their nature are to be satisfied at the Closing, but subject to the satisfaction or waiver of those conditions at such time) or such other time as agreed by the mutual written consent of the parties (“Closing Date”).

4. Delivery of Documents by Seller: Within ten (10) business days after the Effective Date, Seller shall deliver to Purchaser copies of all existing land surveys, title reports, title commitments, title policies, environmental reports, soil reports, zoning documents, and other testing reports that are in Seller’s possession or are otherwise readily available to Seller if such documents and materials exist. Seller shall notify Purchaser if it will be unable to





such materials within the above time frame and the parties shall agree on a reasonable time for the delivery of such materials. In the event the transaction contemplated hereby shall not close, Purchaser shall promptly return all originals and copies of same provided to Purchaser by or on behalf of Seller, to Seller.

5. Seller's Warranties: Seller warrants to Purchaser as follows:

(a) To the best of Seller's actual knowledge without investigation, the Property is not subject to any pending litigation or condemnation proceeding and, to the actual knowledge of Seller, none is threatened or filed but not served.

(b) The Property is not the subject of any outstanding sale contract or option to purchase in favor of a third party.

(c) To the best of Seller's actual knowledge without investigation, the Property is not the subject of any administrative order or any judgment or decree, including any order concerning wetlands.

(d) To the best of Seller's actual knowledge without investigation, Seller is the sole owner of the Property.

(e) Seller has full right, power, and authority to execute this Agreement and to consummate the transactions contemplated hereby.

(f) There are no use restrictions, other than zoning restrictions recorded in the public records, imposed on the Property.

6. Deleted.

7. Title. Within ten (10) business days after the Effective Date, Purchaser will obtain a title commitment for the Property and a copy of all recorded documents referred to in the title commitment. Upon Purchaser's receipt of the title commitment and recorded documents, Purchaser will deliver copies of the commitment and recorded documents to Seller. Purchaser shall advise Seller in writing of any title objections within ten (10) business days ("Objection Period") after Seller's receipt of the title commitment. In the event of any such objections, Seller shall have the right, but not the obligation, to remedy any or all of those objections to the reasonable satisfaction of Purchaser within thirty (30) ("Cure Period") business days after receipt of Purchaser's notice. If any objections are not waived by Purchaser and Seller cannot or elects not to cure such objection to the reasonable satisfaction of Purchaser during the Cure Period, Seller may terminate this Agreement and receive a refund of the Earnest Money, and thereafter neither party shall have any further liability to the other under this Agreement except as set forth herein. If Purchaser fails to notify Seller in writing of an objection to a title defect within the Objection Period, such title defect shall be deemed waived and acceptable to Purchaser. Notwithstanding the foregoing, Seller, at its sole cost, shall be obligated to cure or remove at or before Closing (or apply a portion of the Purchase Price to satisfy such obligations at Closing) all mortgages, deeds of trust, judgment liens, mechanics and materialmen's liens, and other monetary liens against the Property (excluding from Seller's obligation any such monetary liens caused by the actions or inspections of Purchaser), whether or not Purchaser objects thereto. Pending Closing and subject

to any reservations in the form of Special Warranty Deed attached hereto as Exhibit "B", Seller will not encumber or convey any interest in the Property after the date of the commitment without Purchaser's prior written approval.

8. Risk of Loss, Eminent Domain. Risk of damage or destruction to the Property by fire or otherwise shall remain with Seller until title and possession of the Property have been conveyed and transferred to Purchaser. If, prior to the Closing, all or any material part of the Property is taken by eminent domain or if condemnation proceedings are commenced, Purchaser or Seller may terminate this Agreement by delivery of written notice to the other, at which time the Purchaser shall receive a refund of the Earnest Money and thereafter neither party shall have any further liability to the other under this Agreement except as otherwise expressly set forth in herein.

9. Inspections and Survey.

(a) The Purchaser will obtain a Phase I environmental report of the subject parcel of property. Purchaser will have 90 days after the Effective Date (the "Inspection Period") to satisfy itself as to the suitability of the Property for Purchaser's purposes. During the Inspection Period, Purchaser and its contractors, agents, invitees, designees, employees, engineers, and representatives (in each such instance, a "Purchaser Party" and collectively, "Purchaser Parties") may enter the Property and undertake such inspections and tests as Purchaser deems necessary at Purchaser's sole expense (including soil boring tests and an additional Phase II environmental audit) but any invasive soils or additional environmental testing will require the prior written consent of Seller. Purchaser may also perform a Phase I Cultural Resources Survey, USFWS Threatened and Endangered Species Survey, and obtain a wetlands certification from a licensed and registered engineer. Purchaser may obtain a survey of the Property at its sole expense. Purchaser shall repair as nearly as possible to its original condition any damage to the Property and any personal property in connection with its and its agents' entry onto the Property including, without limitation, damage to roads, improvements, gates, fences, crops, timber and equipment; provided Purchaser shall not be required to repair any pre-existing conditions existing on, at or about the Property. While on the Property, Purchaser and Purchaser Parties shall comply with all applicable federal, state and local laws, regulations, rules, ordinances, orders, permits and licenses, including but not limited to properly plugging any and all wells, bore holes and other excavations on the Property. Any and all information arising from Purchaser and Purchaser Parties' inspections of the Property shall be maintained by Purchaser and Purchaser Parties as confidential information and shall not be distributed beyond other Purchaser Parties with a need to know such information without Seller's prior written approval, in either case unless and until the Closing occurs. If Purchaser does not close on the Property, then within thirty (30) days after the termination or expiration of this Agreement, Purchaser and Purchaser Parties shall remove any equipment, materials, debris, etc., that they placed or created on the Property. Purchaser shall keep the Property free and clear of all liens and claims of liens for labor and services performed on, and materials, supplies or equipment furnished to, the Property that arise from Purchaser and Purchaser Parties' use of and/or presence on the Property pursuant to this Agreement. Purchaser and its agents shall not enter the Property without providing Seller with prior written notice and certificate(s) of insurance (for general liability insurance providing at least One Million Dollars of coverage per occurrence) from those entering the Property and without the consent of Seller, which shall not be unreasonably conditioned, withheld or delayed but may be conditioned on



reasonable time and manner restrictions imposed by Seller to accommodate Seller's ongoing operations on the Property and availability of Seller's representatives. The obligations of this paragraph shall survive Closing or the earlier termination or expiration of this Agreement.

(b) Indemnity Requirements. Prior to Purchaser and/or Purchaser Parties entering the Property for any purpose whatsoever, Purchaser hereby agrees to and shall indemnify, defend and hold Seller and its contractors, agents, invitees, officers, directors, employees, representatives and insurers ("Seller Parties") harmless, with respect to any liability, claims or losses for bodily injury and/or property damage suffered or incurred by Seller, arising from or related to the negligence of Purchaser and/or Purchaser Parties while conducting any inspection and/or testing on Property prior to the Closing, except to the extent such liability, claim or loss results from the gross negligence or willful misconduct of Seller. Furthermore, Purchaser agrees to be responsible for and repair and remediate at its sole expense any and all damage it or any Purchaser Party causes or contributes to in, on, under or from the Property. Notwithstanding any other provision of this Agreement to the contrary, all of Purchaser and Purchaser Parties' obligations in this paragraph shall survive Closing or the earlier termination or expiration of this Agreement.

(c) Purchaser may terminate this Agreement by delivering written notice to Seller before expiration of the Inspection Period if Purchaser finds the Property unsuitable for its intended use for any reason and receive a refund of the Earnest Money, and thereafter neither party shall have any further liability to the other under this Agreement except as set forth herein.

10. Closing Conditions. Purchaser's obligation to close the transaction is subject to the satisfaction of the following conditions ("Closing Conditions"):

(a) All title objections and monetary liens are cured, remedied, or satisfactory provision made therefor by Seller in accordance with and to the extent, if any, required by paragraph 7.

(b) There shall have been no material change in the title, survey or physical condition of the Property, other than changes resulting from the actions of Purchaser, its agents or contractors.

(c) Without regard to Seller's knowledge, the statements in Section 5 of this Agreement shall be true and correct in all material respects as of the Closing Date as though made on and as of the Closing Date.

(d) All parcels of the Property zoned as residential (R-1) as of the Effective Date shall be rezoned as heavy industrial (I-2).

(e) Purchaser shall have diligently pursued and received any special and/or conditional use approval from the Town of Gluckstadt required to support Purchaser's intended use of the Property.

(f) Purchaser shall have diligently pursued and entered into a written agreement with Canadian National Railway Company to provide switch and rail service to the Property.

If the Closing Conditions are not satisfied on or prior to 180 days after the Effective Date, then Purchaser, at its election, shall have the right to either: (x) close the transaction regardless of the unsatisfied Closing Conditions, in which case the Closing shall constitute a waiver by Purchaser of the unsatisfied Closing Conditions; (y) terminate this Agreement by delivering written notice to Seller; or (z) upon payment by Purchaser to Seller of a nonrefundable payment of [REDACTED] to be applied to the Purchase Price if Closing occurs, extend the Closing Date for a reasonable time, not to exceed 180 days, in order to permit the fulfilment of the unsatisfied Closing Conditions. Should Purchaser terminate this Agreement as a result of a failure of a Closing Condition, it shall receive a refund of the Earnest Money and thereafter neither party shall have any further liability to the other under this Agreement except as otherwise expressly set forth herein.

11. Closing. At the Closing:

(a) Seller shall cause to be delivered release(s) of liens created by Seller, if any, affecting the Property.

(b) Seller shall execute and deliver to the Purchaser a Special Warranty Deed covering the Property in the form attached hereto as Exhibit "B". The special warranty will apply to the Property which is within the Seller's record description. The Seller will quitclaim to the Purchaser any part of the Property which is outside the Seller's record description.

(c) Seller shall execute and deliver to Purchaser or its title insurer: (1) an owner's/contractor's affidavit required to remove from the title commitment the standard exceptions other than the mineral exception and survey/inspection exception and (2) an affidavit in the form required by Section 1445 of the Internal Revenue Code of 1986 to establish that the Seller is not a foreign person.

(d) Purchaser shall tender to Seller the Purchase Price by wire transfer at the Closing. Any real estate taxes or assessments applicable to the Property for the year in which the Closing occurs shall be prorated as of the date of the Closing.

(e) The Parties will execute and deliver a closing statement which is reasonably acceptable to the parties.

(f) The parties shall execute and deliver any other documents normally required in Mississippi for Closing, and further agree that if there are reasonably determined to be other documents, other than the survey (of a class sufficient to remove the survey exception) to be provided by Buyer at its expense, necessary for the special warranty of title and the issuance of an Owner's Title insurance policy without a survey exception then such documents will be signed and executed by the Parties at or after the closing.

12. Use of Property and Possession.

(a) Seller will have the right to continue using and possessing the Property and all parts of the Property for any lawful purposes prior to Closing. Such uses include, without limitation, continuing Seller's industrial, agricultural, farming, timber thinning and harvesting activities, hunting and fishing activities and general recreation activities.



(b) Seller shall deliver to Purchaser possession of the Property at the Closing, free and clear of all tenants, occupants or parties in possession. Possession of the Property shall be conveyed to Purchaser in its “**AS IS, WHERE IS**” condition, without representation or warranty of any kind from Seller concerning the condition of the Property. Purchaser shall satisfy itself as to every aspect whatsoever of the condition of the Property by inspecting the Property as provided in Section 9 of this Agreement. Consequently, consistent with its “as is, where is” acquisition of the Property after full inspection by Purchaser and consistent with Purchaser’s stated intent to operate a scrap metal collection facility on the Property, Purchaser shall defend, indemnify and hold Seller and Seller Parties harmless with respect to any remediation obligations and liability for and any liability, claims or losses of any and all kinds whatsoever, arising from or related to any Environmental Conditions on, at, in, under, from or about the Property, whether known or unknown, whether existing and/or arising at any time before, at or after Closing. “Environmental Conditions” shall mean the presence or suspected presence of any Hazardous Materials in, on, about, under or emanating from the soils, ground water, surface water, air and/or any improvements of the Property to an extent or concentration that investigation, removal and/or remediation of such Hazardous Materials is required by any applicable law, regulation, rule, order or judgment. In the event of any Environmental Conditions, Purchaser hereby agrees solely between Purchaser and Seller to waive, release and disclaim any defenses, limitations or causes of action against Seller otherwise available to Purchaser by state, federal or local laws, whether statutory, common law or equitable, including, but not limited to the so called “innocent landowner” or “bona fide purchaser” provisions provided in the Comprehensive Environmental Response, Compensation and Liability Act “CERCLA”), 42 §§ USC 9601 et seq., so as to give full effect to the indemnity provided in this paragraph. “Hazardous Material” or “Hazardous Materials” means any chemical, pollutant, contaminant, pesticide, petroleum or petroleum product or by-product, radioactive substance, solid waste, hazardous waste, extremely hazardous waste, special, dangerous or toxic waste, substance, chemical or material regulated, listed, limited or prohibited under any environmental law, including without limitation: (i) asbestos, asbestos-containing material, presumed asbestos-containing material, polychlorinated biphenyls (“PCBs”), solvents, per- and polyfluoroalkyl substances (“PFASs”) and waste oil; (ii) any “hazardous substance” as defined under CERCLA; (iii) any “hazardous waste” as defined under the Resource Conservation and Recovery Act, 42 USC §§ 6901 et seq.; and (iv) indoor air pollutants such as mold, urea formaldehyde or legionella. Notwithstanding any other provision of this Agreement to the contrary, all of Purchaser’s obligations in this Section shall survive Closing.

13. Brokers. Each of Seller and Purchaser represents and warrants to the other that it has not hired, engaged or consulted with any broker or agent to which the other party has or will have any obligation, and agrees to indemnify the other from and against any cost or expense arising from such party’s failure to pay any commission or fee payable to its respective broker or agents. Each Seller and Purchaser agrees to indemnify, defend and hold harmless the other from and against any cost or expense arising from such party’s failure to pay any commission or fee payable to its respective brokers or agents. The provisions of this paragraph shall survive the Closing or the earlier termination or expiration of this Agreement.

14. Costs. Purchaser will pay all costs and expenses for any title searches, title commitment and for any title insurance policy. Purchaser will pay all costs and expenses for any due diligence and surveying of all or any part of the Property. Each party will pay its own

attorneys' fees and expenses except as provided in paragraph 17. The obligations of this paragraph shall survive the Closing or the earlier termination or expiration of this Agreement.

15. Mutual Representations and Warranties. Each party represents and warrants to the other that it has full power and authority to execute and deliver this Agreement and all other documents executed and delivered or to be executed and delivered in connection with the transactions described in this Agreement and to perform all of its obligations arising under this Agreement. Each party also represents to the other that the person executing this Agreement on its behalf has the authority to bind such party in accordance with the terms of this Agreement.

16. Remedies.

(a) If Purchaser fails to perform its obligations under this Agreement, and such default is not remedied within ten (10) business days after Seller notifies Purchaser in writing, Seller may, at its option and as its sole and exclusive remedy, terminate this Agreement by written notice to Purchaser, in which event the Earnest Money will be delivered to Seller as liquidated damages and not as a penalty (it being understood that Seller's actual damages may be extremely difficult to calculate) and neither party shall have any further liability to the other under this Agreement except as otherwise expressly set forth in herein.

(b) If Seller fails to perform its obligations under this Agreement, and such default is not remedied within ten (10) business days after Purchaser notifies Seller in writing, Purchaser may, at its option and its sole and exclusive remedies, (i) terminate this Agreement by written notice to Seller, in which event, the Earnest Money will be refunded to Purchaser and neither party shall have any further liability to the other under this Agreement except as otherwise expressly set forth in herein or (ii) seek specific performance of Seller's obligations under this Agreement (and the Earnest Money shall be refunded to Purchaser in the event such specific performance is not granted).

(c) In the event of a default of this Agreement, neither party will be entitled to, and each party waives all right to seek, any other remedies that may be available to it at law, in equity or otherwise, including, but not limited to, consequential, exemplary, punitive or incidental damages.

17. Attorneys' Fees. If either party elects to file any action in order to enforce the terms of this Agreement, or for a declaration of rights hereunder, the prevailing party, as determined by the court in such action, shall be entitled to recover all of its court costs and reasonable attorneys' fees and expenses as a result thereof from the losing party, upon final settlement, judgment or judgment on appeal thereof. The obligations of this paragraph shall survive Closing or the earlier termination or expiration of this Agreement.

18. Recording. Neither party shall record this Agreement or a memorandum of this Agreement.

19. Assignment. Purchaser shall not have the right to assign its rights under this Agreement to any unaffiliated party without the prior written consent of Seller which may be withheld in Seller's sole discretion. Any assignment to an affiliate permitted under this paragraph



shall not relieve Purchaser of its obligations, covenants and representations to Seller and Seller Parties under the terms of this Agreement, including, without limitation, its indemnity obligations pursuant to Sections 9(b) and 12(b) hereof, and any permitted assignee must fully assume the obligations of Purchaser under this Agreement in writing. If Purchaser assigns its rights under this Agreement to an affiliate as permitted under this paragraph, Purchaser shall promptly notify Seller of such assignment.

20. Time of the Essence. Time shall be of the essence in the performance of all obligations under this Agreement. If the time period by which any right, option or election provided under this Agreement must be exercised, or by which any act required under this Agreement must be performed, or by which Closing must be held, expires on a Saturday, Sunday or a holiday, then such time period shall be automatically extended to the next business day.

21. Controlling Law. This Agreement has been entered into under, and shall be interpreted and construed according to, the laws of the State of Mississippi.

22. Notices. All notices provided or permitted to be given under this Agreement must be in writing and may be served by (a) sending by registered or certified mail (postage pre-paid, return receipt requested) or nationally recognized overnight courier or (b) by hand delivering the same to such person. For purposes of notice, the addresses of the parties shall be as follows:

If to Purchaser: Ferrous Processing and Trading Company  
1333 Brewery Park Blvd., Suite 400  
Detroit, MI 48207-4550  
Attention: President

With a copy to: [legal.notices@clevelandcliffs.com](mailto:legal.notices@clevelandcliffs.com)

If to Seller: MMC Materials, Inc.  
133 New Ragsdale Road  
Madison, MS 39110

With a copy to: Sam Kelly  
Brunini, Grantham, Grower & Hewes, PLLC  
P. O. Drawer 119, Jackson, MS 39205  
190 East Capitol Street, Suite 100, Jackson, MS 39201

23. Entire Agreement, Modification. This Agreement and all exhibits attached hereto constitute the entire and complete agreement between the parties hereto and supersede any prior oral or written agreements between the parties with respect to the Property. Seller and Purchaser expressly agree that there are no oral or written understandings or agreements between them that in any way change the terms, covenants and conditions set forth in this Agreement, and that no modification of this Agreement, and no waiver of any of its terms or conditions, shall be effective unless made in writing and duly executed by both parties.

24. Severability. If any term of this Agreement is found to be void or invalid, such provision shall be fully severable here from and such invalidity shall not affect the remaining terms of this Agreement, which shall continue in full force and effect, and this Agreement shall be reformed and construed as if such invalid provision had never been contained herein, and if possible, such provision shall be reformed to the maximum extent permitted under applicable law to render same valid, operative and enforceable to reflect the intent of the parties as expressed herein.

[signature page follows]



IN WITNESS WHEREOF, Seller and Purchaser have executed this Agreement as of the dates of their respective signatures below but this Agreement shall be effective for all purposes as of the Effective Date.

**SELLER:**

MMC Materials, Inc.

By:  \_\_\_\_\_

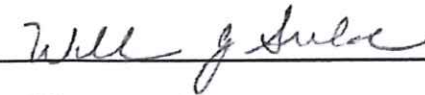
Name: Judd D. Beech

Title: President

Date: 3-14-24

**PURCHASER:**

Ferrous Processing and Trading Company

By:  \_\_\_\_\_

Name: William J. Sulak

Title: President

Date: 3-14-24

**EXHIBIT "A"****LEGAL DESCRIPTION**Parcel One

10.0 acres lying in the Southeast Quarter of Section 15, T-8-N, R-2-E of Madison County, Mississippi lying between the East R.O.W. of the I.C.G. Railroad R.O.W. and being more particularly described as follows:

Begin at the Southeast Comer of the Northwest Quarter of the Southeast Quarter of Section 15 and run West for a distance of 491.7 feet to the Easternmost R.O.W. line of the I.C.G. Railroad R.O.W.; thence

Northeasterly along said R.O.W. line for a distance of 717.0 feet; thence

East for a distance of 660.0 feet; thence

Southwesterly along a line parallel to the East R.O.W. line of the said I.C.G. Railroad for distance of 717.0 feet; thence

West for a distance of 188.3 feet to the Point of Beginning.

The herein described tract contains 10.0 acres more or less.

Parcel Two

A parcel of land lying and situated in the N $\frac{1}{2}$  of the SE $\frac{1}{4}$  of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW comer of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 seconds E for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin: thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW $\frac{1}{4}$  of the SE $\frac{1}{4}$  of Section 15; thence nm S 89 degrees 32 minutes 45 seconds W along the north line of the SW $\frac{1}{4}$  of the SE  $\frac{1}{4}$  of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 717.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 266.05 feet to a concrete monument which is the NW corner of Lot 4 J. R. Davis Subdivision the map or plat of which is of record and on file in the Office of the Chancery Clerk of Madison County, located in Canton, Mississippi; thence run S 89 degrees 53 minutes 23 seconds E along the North line of said lot 4 for a distance of 441.37 feet to an iron pin; thence run S 23 degrees 42 minutes 33 seconds W for a distance of 262.20 feet to an iron pin: thence run S 89 degrees 32 minutes 45 seconds W for a distance of 441.67 feet to the Point of Beginning. This parcel contains 2.45 acres, more or less.



Parcel Three

A parcel of land lying and situated in the N $\frac{1}{2}$  of the SE $\frac{1}{4}$  of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 Second E for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin: thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW $\frac{1}{4}$  of the SE $\frac{1}{4}$  of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW $\frac{1}{4}$  of the SE  $\frac{1}{4}$  of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 717.00 feet to an iron pin; thence run N 89 degrees 32 minutes 45 seconds E for a distance of 660.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning continue thence N 89 degrees 32 minutes 45 seconds E for a distance of 709.96 feet to an iron pin on the westerly right of way of Highway 51; thence run S 23 degrees 42 minutes 33 seconds W along said right of way for a distance of 65.76 feet to a point; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 709.35 feet to a point; thence run N 23 degrees 13 minutes 22 seconds E for a distance of 65.51 feet to the Point of Beginning. This Parcel contains 0.98 acres, more or less.

**EXHIBIT "B"**

**SPECIAL WARRANTY DEED**

<b>Prepared by and Return to:</b> Arthur F. Jernigan, Jr. Jernigan Copeland Attorneys 970 Ebenezer Blvd. Madison, MS 39110	<b>Grantor:</b> MMC Materials, Inc. 133 New Ragsdale Road Madison, MS 39110 601-898-4000	<b>Grantee:</b> [●] 1333 Brewery Park Blvd., Suite 400 Detroit, MI 48207-4550 313-567-9710
<b>Indexing Instructions:</b> SE1/4 and N1/2 of SE1/4 of Section 15, T8N, R2E, Madison County, Mississippi.		

**SPECIAL WARRANTY DEED**

FOR AND IN CONSIDERATION of the sum of Ten and No/100 Dollars (\$10.00) cash in hand paid and other good and valuable consideration, the receipt and sufficiency of all of which are hereby acknowledged, MMC Materials, Inc., a Mississippi corporation ("**Grantor**"), hereby grants, conveys and warrants specially unto [●], a [●] ("**Grantee**"), the real property located in Madison County, Mississippi, ("**Property**"), that is described in "Exhibit A" attached hereto.

The Property is conveyed subject to, and there is excepted from the special warranty of this conveyance zoning ordinances and the permitted exceptions set forth on "Exhibit B" attached hereto.

Grantor hereby covenants that Grantor will warrant and defend the title to the Property unto Grantee, and unto Grantee's successors and assigns, against the lawful claims and demands of all persons claiming under or through Grantor, but not otherwise, and subject to the above exceptions.

Ad valorem taxes for the year 2023 shall be prorated between Grantor and Grantee as of the date of closing based on the 2022 taxes. Grantee assumes all liability for and agrees to pay when due the ad valorem taxes for 2023 and thereafter.



EXECUTED on this \_\_\_\_ day of \_\_\_\_\_, 2024.

**GRANTOR:**

MMC Materials, Inc.

By: \_\_\_\_\_

Its: President

STATE OF MISSISSIPPI  
COUNTY OF HINDS

PERSONALLY appeared before me, the undersigned authority in and for the said County and State, within my jurisdiction, the within named Judd Beech who acknowledged that he is President of MMC Materials, Inc., and that for and on behalf of said Corporation, and as its act and deed, he executed, signed and delivered the above and foregoing instrument, after first having been duly authorized by said Corporation to do so.

GIVEN under my hand and official seal on this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires:

Legal Description

A parcel of land lying and situated in the N ½ of the SE ¼ of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 seconds E for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin; thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW ¼ of the SE ¼ of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW ¼ of the SE ¼ of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 717.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 266.05 feet to a concrete monument which is the NW corner of Lot 4 J. R. Davis Subdivision the map or plat of which is of record and on file in the Office of the Chancery Clerk of Madison County, located in Canton, Mississippi; thence run S 89 degrees 53 minutes 23 seconds E along the North line of said Lot 4 for a distance of 441.37 feet to an iron pin; thence run S 23 degrees 42 minutes 33 seconds W for a distance of 262.20 feet to an iron pin; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 441.67 feet to the Point of Beginning. This parcel contains 2.45 acres, more or less.







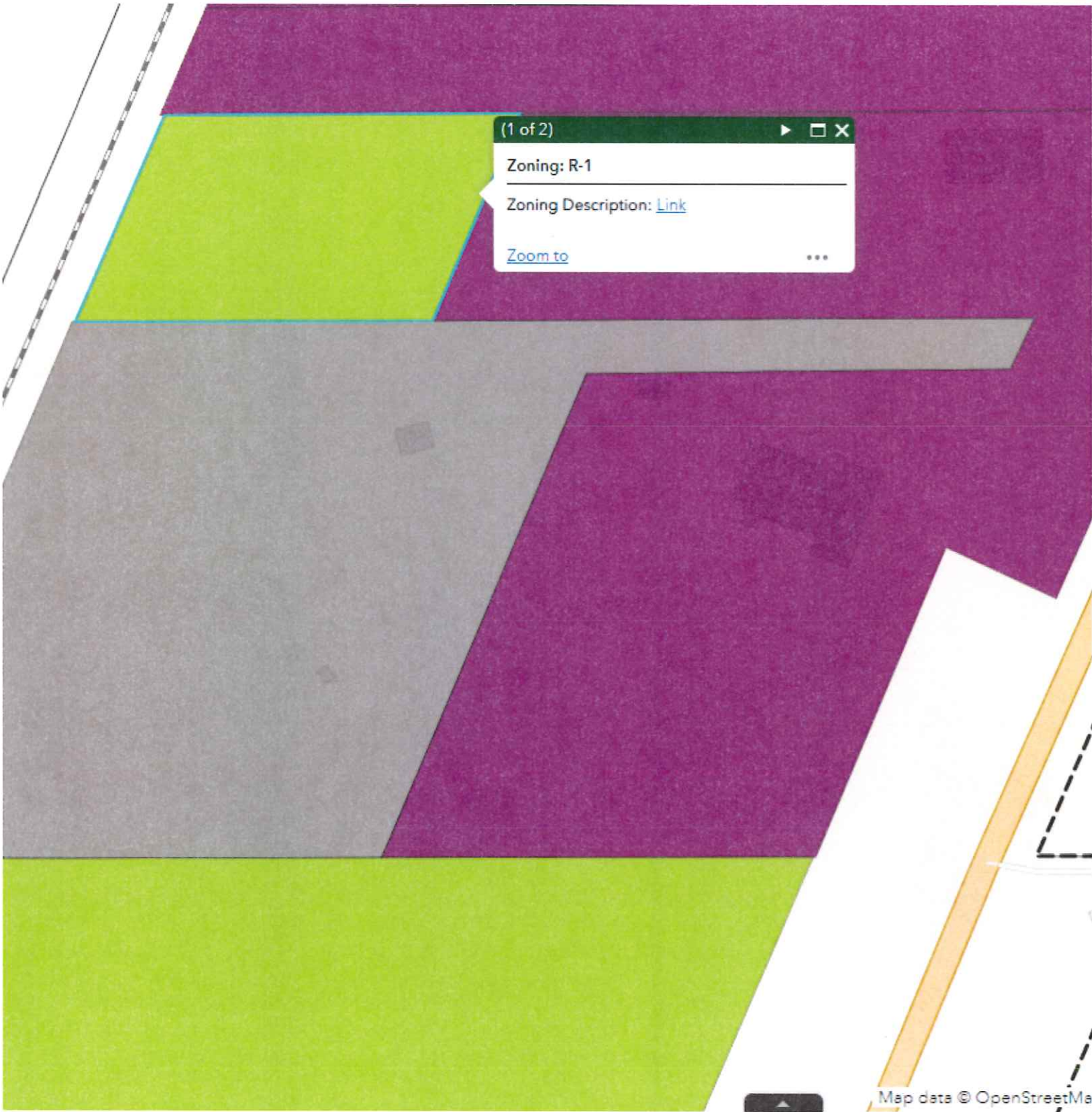
© 2024 Microsoft Corporation. All rights reserved. Microsoft, Windows, and Windows Live are either registered trademarks or trademarks of Microsoft Corporation in the United States and/or other countries.

EXHIBIT  
**D**  
428









(1 of 2) ▶ □ ✕  
Zoning: R-1  
Zoning Description: [Link](#)  
[Zoom to](#) ...

Map data © OpenStreetMa

EXHIBIT  
**F**  
430





<b>FERRIS</b> FERRIS FABRICATION & ENGINEERING PHONE: (313) 347-4700 FAX: (313) 925-1331		7/9/2024
TITLE: <b>FPT - Canton MS - US 51 Site - Rail Layout</b>		DESIGNED BY: [Blank]
DRAWN BY: [Blank]		CHECKED BY: [Blank]
APPROVED BY: [Blank]		REVISIONS: [Blank]
WORK ORDER: [Blank]		MATERIAL: [Blank]
SCALE: 1" = 50'		DWG NO: 705578
SHEET: 7/1000		SHEET: [Blank]

UNLESS OTHERWISE NOTED DIMENSIONS ARE IN INCHES	
X/X' = ± 1/16	
X" = ± .03	
.XX = ± .015	
.XXX = ± .005	
.XXXX = ± .0005	
ANGLES = ± .5°	

LEGEND	DESCRIPTION
[Red Line]	TRANSPORTATION PATH
[Blue Line]	RAILCARS / TRUCKS
[Yellow Line]	MATERIAL HANDLERS
[Green Line]	MATERIAL PILE
[Purple Line]	PROCESSING AREA
[Orange Line]	SCALE
[Green Line]	EXISTING RAILWAY

Section 10, IF

**EXHIBIT**  
**G**  
431



**Property Owners within 160 feet of Subject Property**

**082E-15-009/01.00**

Kevin Pearson  
118 Taylor Lane S  
Madison, MS 39110

**082E-15-009/02.00**

Michael & Vanessa Pearson  
118B Taylor Lane S  
Madison, MS 39110

**082E-15-032/00.00**

**082E-15-037/00.00**

**082E-15-038/00.00**

MMC Materials, Inc.  
P.O. Box 2749  
Madison, MS 39130

**082E-15-038/01.00**

Keeling Company  
4227 E 43<sup>rd</sup>  
Little Rock, AK 72231

**082E-15-039/00.00**

Baine Foote Ventures, LLC  
P.O. Box 1400  
Madison, MS 39130

**082E-15-039/02.00**

Yard Sarge, LLC  
109 Dixon Run  
Madison, MS 39110

**082E-15-040/00.00**

Gluckstadt Security Storage, LLC  
2195 Highway 51  
Madison, MS 39110

**082E-15-033/00.00**

Deviney Brothers, Inc.  
P.O. Box 6717  
Jackson, MS 39282





ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Kevin Pearson  
118 Taylor Lane S  
Madison, MS 39110

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:

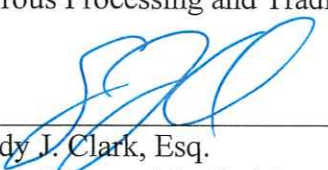
Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**

**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company

  
\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner





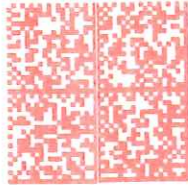


970 Ebenezer Blvd.  
Post Office Box 2249  
Madison, MS 39130-2249

**CERTIFIED MAIL®**



9589 0710 5270 1413 7088 32



quadrant  
FIRST-CLASS MAIL  
IMI  
**\$009.64**<sup>9</sup>  
08/01/2024 ZIP 39110  
043M30224626

US POSTAGE

**Kevin Pearson  
118 Taylor Lane S  
Madison, MS 39110**

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kevin Pearson  
 118 Taylor Lane S  
 Madison, MS 39110



9590 9402 8654 3244 5985 85

2. Article

9589 0710 5270 1413 7088 32

(over 350g)

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

- D. Is delivery address different from item 1?  Yes  No
- If YES, enter delivery address below:

3. Service Type
- Adult Signature Restricted Delivery
  - Adult Signature Restricted Delivery Certified Mail®
  - Certified Mail Restricted Delivery
  - Collect on Delivery Restricted Delivery
  - Priority Mail Express®
  - Registered Mail™
  - Registered Mail Restricted Delivery
  - Signature Confirmation™
  - Signature Confirmation Restricted Delivery

Domestic Return Receipt





ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Michael & Vanessa Pearson  
118B Taylor Lane S  
Madison, MS 39110

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:

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**082E-15-037/00.00**

**082E-15-038/00.00**

Sincerely,

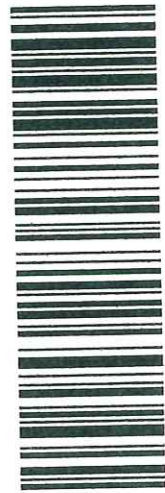
Ferrous Processing and Trading Company

  
\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner



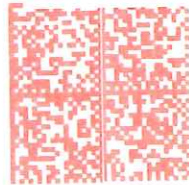
970 Ebenezer Blvd.  
Post Office Box 2249  
Madison, MS 39130-2249

**CERTIFIED MAIL**®



9589 0710 5270 1413 7088 5h

**Michael and Vanessa Pearson  
118B Taylor Lane S  
Madison, MS 39110**



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**\$009.64**<sup>9</sup>  
09/01/2024 ZIP 39110  
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**US POSTAGE**



PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Michael Pearson  
Vanessa Pearson  
118 B Taylor Lane S  
Madison, MS 39110



9590 9402 8654 3244 5985 54

2. Article Number (Transfer from service label)

9589 0710 5270 1413 7088 56

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

Agent  
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

(over 350)

Registered Delivery

Domestic Return Receipt





ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

MMC Materials, Inc.  
P.O. Box 2749  
Madison, MS 39130

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:

Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**  
**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company

  
\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner



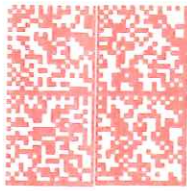


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Post Office Box 2249  
Madison, MS 39130-2249

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**\$009.64**  
08/01/2024 ZIP 39110  
043M30224626

US POSTAGE

**MMC Materials, Inc.  
P. O. Box 2749  
Madison, MS 39130**

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS; FOLD AT DOTTED LINE

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
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- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

MMC Materials, Inc.  
P.O. Box 2749  
Madison, MS 39130



9590 9402 8654 3244 5985 61

2. Article Number (Transfer from carrier label)

9589 0710 5270 1413 7088 70

(OVER \$500)

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  No  
If YES, enter delivery address below:  Yes  No

3. Service Type
- Adult Signature Restricted Delivery
  - Certified Mail®
  - Certified Mail Restricted Delivery
  - Collect on Delivery
  - Collect on Delivery Restricted Delivery
  - Priority Mail Express®
  - Registered Mail™
  - Registered Mail Restricted Delivery
  - Signature Confirmation™
  - Signature Confirmation Restricted Delivery

Domestic Return Receipt





ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Keeling Company  
4227 E 43<sup>rd</sup>  
Little Rock, AK 72231

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:

Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**  
**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company

A handwritten signature in blue ink, appearing to be "AJC", written over a horizontal line.

Andy J. Clark, Esq.  
One of Counsel for Petitioner



**JERNIGAN  
COPELAND**  
ATTORNEYS<sup>PC</sup>

970 Ebenezer Blvd.  
Post Office Box 2249  
Madison, MS 39130-2249

**CERTIFIED MAIL**®



9589 0710 5270 1413 7088 87

**Keeling Company  
4227 E. 43rd  
Little Rock, AR 72231**



quodient  
FIRST-CLASS MAIL  
IM1  
**\$009.64** 9  
08/01/2024 ZIP 39110  
043M30224626

**US POSTAGE**



PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE ADDRESS, FOLD AT DOTTED LINE

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Keeling Company  
4227 E. 43rd  
Little Rock, AR 72231



9590 9402 8654 3244 5985 92

2. Article: 9589 0710 5270 1413 7088 87

Registered Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053



Domestic Return Receipt

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature  Signature  Agent

B. Received by (Printed Name)  Addressee

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature Restricted Delivery
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery



ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Baine Foote Ventures, LLC  
P.O. Box 1400  
Madison, MS 39130

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**


Dear Property Owner:

Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**  
**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company

  
\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner



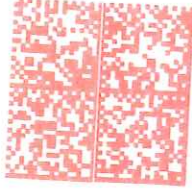


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Post Office Box 2249  
Madison, MS 39130-2249

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08/01/2024 ZIP 39110  
043M30224626

US POSTAGE

**Baine Foote Ventures, LLC  
P. O. Box 1400  
Madison, MS 39130**

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

**1. Article Addressed to:**

Baine Foote Ventures, LLC  
 P.O. Box 1400  
 Madison, MS 39130



9590 9402 8654 3244 5986 08

**2. Article Number (Transfer from services label)**

9589 0710 5270 1413 7088 94  
over 3000

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature**  
 Agent  
 Addressee
- B. Received by (Printed Name)**      **C. Date of Delivery**
- D. Is delivery address different from item 1? If YES, enter delivery address below:**       Yes       No

- 3. Service Type**
- Adult Signature Restricted Delivery
  - Adult Signature Restricted Delivery
  - Certified Mail®
  - Certified Mail Restricted Delivery
  - Collect on Delivery
  - Collect on Delivery Restricted Delivery
  - Priority Mail Express®
  - Registered Mail™
  - Registered Mail Restricted Delivery
  - Signature Confirmation™
  - Signature Confirmation Restricted Delivery

Domestic Return Receipt





ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Yard Sarge, LLC  
109 Dixon Run  
Madison, MS 39110

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:

Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**

**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company

A handwritten signature in blue ink, appearing to be 'AJC', is written over a horizontal line.

Andy J. Clark, Esq.  
One of Counsel for Petitioner

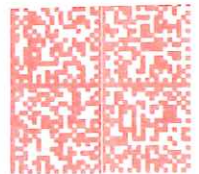


970 Ebenezer Blvd.  
Post Office Box 2249  
Madison, MS 39130-2249

**CERTIFIED MAIL**



9589 0710 5270 1413 7089 00



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IMI  
**\$009.64**  
08/01/2024 ZIP 39110  
043M30224626

**US POSTAGE**

**Yard Sarge, LLC  
1109 Dixon Run  
Madison, MS 39110**



PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, TO INDICATE THE TIME

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Yard Sarge, LLC  
109 Dixon Run  
Madison, MS 39110



9590 9402 8654 3244 5986 15

2. Article Number Transfer from previous label

9589 0710 5270 1413 7089 00

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

Agent  
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

(over \$500) Restricted Delivery

Domestic Return Receipt

SS



ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Gluckstadt Security Storage, LLC  
2195 Highway 51  
Madison, MS 39110

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:


Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**

**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company



\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner





970 Ebenezer Blvd.  
Post Office Box 2249  
Madison, MS 39130-2249

**CERTIFIED MAIL**



9589 0710 5270 1413 7089 17

**Gluckstadt Security Storage  
Storage, LLC  
2195 Highway 51  
Madison, MS 39110**



quadrant  
FIRST-CLASS MAIL  
IMI  
**\$009.64**<sup>9</sup>  
08/01/2024 ZIP 39110  
043M30224626

**US POSTAGE**

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS. FOLD AT DOTTED LINE.

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Gluckstoft Security  
 Storage, LLC  
 2105 Highway 51  
 Madison, MS 39110



2. ZIP+4® 9589 0710 5270 1413 7089 17

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

B. Received by (Printed Name)

C. Date of Delivery

- Agent
- Addressee

D. Is delivery address different from item 1?  Yes  No  
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3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Over \$500 Restricted Delivery

Domestic Return Receipt





ANDY J. CLARK  
aclark@jcalawfirm.com

August 1, 2024

**VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED**

Deviney Brothers, Inc.  
P.O. Box 6717  
Jackson, MS 39282

**RE: NOTICE OF PUBLIC HEARING TO REZONE REAL PROPERTY**

Dear Property Owner:

Notice is hereby given to those parties in interest that there will be a public hearing on Tuesday, August 27, 2024, at 6:00 p.m. before the Planning & Zoning Commission at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS for the purpose of determining whether or not a Petition and Application to Rezone Real Property shall be granted to the owners of the described property in the City of Gluckstadt, Madison County, Mississippi:

**082E-15-037/00.00**

**082E-15-038/00.00**

Sincerely,

Ferrous Processing and Trading Company

  
\_\_\_\_\_  
Andy J. Clark, Esq.  
One of Counsel for Petitioner



**JERNIGAN  
COPELAND**  
ATTORNEYS PC

970 Ebenezer Blvd.  
Post Office Box 2249  
Madison, MS 39130-2249

**CERTIFIED MAIL**



9589 0710 5270 1413 7089 24

**Deviney Brothers, Inc.  
P. O. Box 6717  
Jackson, MS 39282**



quodient  
FIRST-CLASS MAIL  
IM1  
**\$009.64**  
08/01/2024 ZIP 39110  
043M30224626

**US POSTAGE**



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1. Article Addressed to:

Devinney Brothers, Inc.  
P.O. Box 4717  
Jackson, MS 39282



9590 9402 8654 3244 5986 39

2. Article Number Transfer from previous label

9589 0710 5270 1413 7089 24

(over \$500)

led Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature  Agent  
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery



Domestic Return Receipt

AFFP  
Rezoning Application for MMC Materials

AFFIDAVIT OF PUBLICATION

State of Florida, County of Duval, ss:

Hayden Lipsky, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Madison County Journal, a newspaper printed and published in the City of Ridgeland, County of Madison, State of Mississippi, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

**PUBLICATION DATES:**  
Aug. 8, 2024

**NOTICE ID:** zQby2BFWIS0pS13PcMih  
**NOTICE NAME:** Rezoning Application for MMC Materials  
**Publication Fee:** 28.10

That said newspaper was regularly issued and circulated on those dates.

Signature: Hayden Lipsky



**VERIFICATION**

State of Florida  
County of Duval

Subscribed in my presence and sworn to before me on this: **08/08/2024**

Destiny K. Jackson

Notary Public  
Notarized remotely online using communication technology via Proof.

**NOTICE IS HEREBY GIVEN TO THOSE PARTIES IN INTEREST** that there will be a Public Hearing on Tuesday, August 27, 2024 at 6:00 PM before the Gluckstadt Planning and Zoning Commission at the Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt MS 39110 for the purpose of determining whether or not a petition for rezoning shall be granted to the owners of the described parcel numbers in the City of Gluckstadt, Madison County, Mississippi:

Madison County Tax Parcel No. 082E-15-037/00.00  
and  
Madison County Tax Parcel No. 082E-15-038/00.00

The Public Hearing in relation thereto shall provide parties in interest and citizens opportunity to be heard. A copy of the Conditional Use application is available at the Gluckstadt City Hall for inspection.

/s/ Lindsay Kellum  
City Clerk's Signature



**ORDINANCE OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI AMENDING THE OFFICIAL ZONING ORDINANCE AND MAP OF THE CITY OF GLUCKSTADT, MISSISSIPPI TO REZONE REAL PROPERTY BEING IDENTIFIED AS TAX PARCEL NOS. 082E-15-0037/00.00 and 082E-15-038/00.00, IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, BY CHANGING THE USE DISTRICT CLASSIFICATION FROM (R-1) TO (C-2)**

WHEREAS, Jernigan Copeland Attorneys, PLLC (the "Applicant") did file an Application to rezone certain property described herein from its present (R-1) Classification to (C-2) Classification (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Commission scheduled a hearing on said Application for August 27, 2024, at 6:00 o'clock p.m.; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the August 27, 2024, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and,

WHEREAS, the Applicant did provide evidence that Applicant had mailed notice of the hearing to adjacent property owners within 160 feet of the subject property; and,

WHEREAS, the Planning and Zoning Commission did conduct a full and complete hearing on the Application at the August 27, 2024 meeting, and at said hearing the said Planning and Zoning Commission received comments and heard evidence presented by the Applicant and all

others who appeared at said hearing and thereafter recommended that the Application be approved;  
and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on the Ordinance, have duly considered the matters and facts within their personal knowledge as same affect the land uses requested in the Application filed herein; and,

WHEREAS, the matter was presented to the Mayor and Board of Aldermen along with the recommendation of the Planning and Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Ordinance and moved that it be adopted, to-wit:

NOW, THEREFORE, be it ordained by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi as follows, to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of an Application to amend the City of Gluckstadt Official Zoning Map as required by Section 806 et seq. of the City of Gluckstadt Zoning Ordinance of December 16, 2021, exist and have been satisfied in regard to the granting of the Application, and specifically, the Mayor and Board of Aldermen do hereby find and determine that the character of the neighborhood where the property is located has changed to such an extent as to justify the reclassification of the property, and that there is a public need for the rezoning and the land use requested in the Application.

SECTION 3. That the Use District Classification of the following described property be, and same is hereby changed from its present (R-1) Classification to (C-2) Classification as to the



following described property (the "property"), to-wit:

**Parcel One**

10.0 acres lying in the Southeast Quarter of Section 15, T-8-N, R-2-E of Madison County, Mississippi lying between the East R.O.W. of the I.C.G. Railroad R.O.W. and being more particularly described as follows:

Begin at the Southeast Corner of the Northwest Quarter of the Southeast Quarter of Section 15 and run West for a distance of 491.7 feet to the Easternmost R.O.W. line of the I.C.G. Railroad R.O.W.; thence

Northeasterly along said R.O.W. line for a distance of 717.0 feet; thence

East for a distance of 660.0 feet; thence

Southwesterly along a line parallel to the East R.O.W. line of the I.C.G. Railroad for a distance of 717 feet; thence

West for a distance of 188.3 feet to the Point of Beginning.

The herein described tract contains 10.0 acres more or less.

**Parcel Two**

A parcel of land lying and situated in the N1/2 of the SE1/4 of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 seconds W for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin; thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW1/4 of the SE1/4 of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW1/4 of the SE1/4 of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance 717.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 266.05 feet to a concrete monument which is the NW corner of Lot 4 J. R. Davis Subdivision the map or plat of which is of record and on file in the Office of the Chancery Clerk of Madison County, located in Canton, Mississippi; thence run S 89 degrees 53 minutes 23 seconds E along the North line of said lot 4 for a distance of 262.20 feet to an iron pin; thence run S 89 degrees 32

minutes 45 seconds W for a distance of 441.67 feet to the Point of Beginning. This parcel contains 2.45 acres, more or less.

**Parcel Three**

A parcel of land lying and situated in the N1/2 of the SE1/4 of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 seconds W for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin; thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW1/4 of the SE1/4 of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW1/4 of the SE1/4 of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance 717.00 feet to an iron pin; thence run N 89 degrees 32 minutes 45 seconds E for a distance of 660.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning continue thence N 89 degrees 32 minutes 45 seconds E for a distance of 709.96 feet to an iron pin on the westerly right of way of Highway 51; thence run S 23 degrees 42 minutes 33 seconds W along said right of way for a distance of 65.76 feet to a point; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 709.35 feet to a point; thence run N 23 degrees 13 minutes 22 seconds E for a distance of 65.51 feet to the Point of Beginning. This Parcel contains .98 acres, more or less.

SECTION 4. That the City of Gluckstadt Zoning Ordinance of December 16, 2021, and the Official Zoning Map be, and same are hereby amended to effectuate this change in zoning classification.

SECTION 5. This ordinance shall be effective thirty (30) days after its passage and after publication of same as required in § 21-13-11 Mississippi Code of 1972.

ORDAINED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2024.



The motion for adoption was seconded by Alderman \_\_\_\_\_, and the foregoing Ordinance having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Bates voted:                   Aye / Nay
- Alderman Powell voted:                Aye / Nay
- Alderman Slay voted:                   Aye / Nay
- Alderman Taylor voted:                Aye / Nay
- Alderman Williams voted:             Aye / Nay

WHEREUPON, the Mayor declared the Motion had carried and that the Ordinance was adopted.

SO ORDAINED, ADOPTED, AND APPROVED by the Mayor and Board of Alderman of the City of Gluckstadt, Madison County, Mississippi at its regular meeting held on the \_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION DENYING APPLICATION TO AMEND THE CITY OF GLUCKSTADT,  
MADISON COUNTY, MISSISSIPPI OFFICIAL ZONING ORDINANCE AND  
MAP TO REZONE REAL PROPERTY REAL PROPERTY BEING IDENTIFIED AS  
TAX PARCEL NOS. 082E-15-0037/00.00 and 082E-15-038/00.00, IN THE CITY OF  
GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, BY CHANGING THE USE  
DISTRICT CLASSIFICATION FROM (R-1) TO (C-2)**

WHEREAS, Jernigan Copeland Attorneys, PLLC (the "Applicant") did file an Application to rezone certain property described herein from its present (R-1) Classification to (C-2) Classification (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which scheduled a hearing on said Application for August 27, 2024, at 6:00 o'clock p.m. and did thereafter forward its recommendation thereon to the Mayor and Board of Aldermen; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the city where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affect the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows: to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found,



determined and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of an Application to amend the City of Gluckstadt Official Zoning Map as required by Section 806 et seq. of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied in regard to the granting of the Application, and specifically, the Mayor and Board of Aldermen do hereby find and determine that the character of the neighborhood where the property is located has not changed to such an extent to justify the reclassification of the property, and that there is not a public need for the rezoning and the land use requested in the Application.

SECTION 3. That the Application to change the use district classification of the following described property from (R-1) Classification to (C-2) Classification, be and the same is hereby denied. The property referenced in the Application (the "Property") is described as follows:

**Parcel One**

10.0 acres lying in the Southeast Quarter of Section 15, T-8-N, R-2-E of Madison County, Mississippi lying between the East R.O.W. of the I.C.G. Railroad R.O.W. and being more particularly described as follows:

Begin at the Southeast Corner of the Northwest Quarter of the Southeast Quarter of Section 15 and run West for a distance of 491.7 feet to the Easternmost R.O.W. line of the I.C.G. Railroad R.O.W.; thence

Northeasterly along said R.O.W. line for a distance of 717.0 feet; thence

East for a distance of 660.0 feet; thence

Southwesterly along a line parallel to the East R.O.W. line of the I.C.G. Railroad for a distance of 717 feet; thence

West for a distance of 188.3 feet to the Point of Beginning.

The herein described tract contains 10.0 acres more or less.

**Parcel Two**

A parcel of land lying and situated in the N1/2 of the SE1/4 of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

Commence at a Cotton Picker Spindle representing the SW corner of Section 15, Township North, Range 2 East, Madison County, Mississippi and run thence N 89 degrees 32 minutes 45 seconds W for a distance of 3434.58 feet to a point; thence run N 0 degrees 27 minutes 15 seconds W for a distance of 33.43 feet to an iron pin; thence run N 12 degrees 06 minutes 00 seconds E for a distance of 1323.48 feet to an iron pin on the north line of the SW1/4 of the SE1/4 of Section 15; thence run S 89 degrees 32 minutes 45 seconds W along the north line of the SW1/4 of the SE1/4 of Section 15 for a distance of 246.03 feet to an iron pin of the easterly right of way of Illinois Gulf Central Railroad; thence run N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance 717.00 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence N 23 degrees 13 minutes 22 seconds E along said railroad right of way for a distance of 266.05 feet to a concrete monument which is the NW corner of Lot 4 J. R. Davis Subdivision the map or plat of which is of record and on file in the Office of the Chancery Clerk of Madison County, located in Canton, Mississippi; thence run S 89 degrees 53 minutes 23 seconds E along the North line of said lot 4 for a distance of 262.20 feet to an iron pin; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 441.67 feet to the Point of Beginning. This parcel contains 2.45 acres, more or less.

**Parcel Three**

A parcel of land lying and situated in the N1/2 of the SE1/4 of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi, being more particularly described as follows:

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degrees 32 minutes 45 seconds E for a distance of 709.96 feet to an iron pin on the westerly right of way of Highway 51; thence run S 23 degrees 42 minutes 33 seconds W along said right of way for a distance of 65.76 feet to a point; thence run S 89 degrees 32 minutes 45 seconds W for a distance of 709.35 feet to a point; thence run N 23 degrees 13 minutes 22 seconds E for a distance of 65.51 feet to the Point of Beginning. This Parcel contains .98 acres, more or less.

SO RESOLVED BY THE MAYOR AND BOARD OF ALDERMEN of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_ day of \_\_\_\_\_, 2024.

The motion to adopt the above and foregoing Resolution was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following result:

- Alderman Bates voted:                   Aye / Nay
- Alderman Powell voted:                Aye / Nay
- Alderman Slay voted:                   Aye / Nay
- Alderman Taylor voted:                 Aye / Nay
- Alderman Williams voted:             Aye / Nay

WHEREUPON, the Mayor declared the Motion carried and the Resolution adopted.

The foregoing resolution is approved, this the \_\_\_ day of \_\_\_\_\_, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]





## CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 9/5/2024

**SUBJECT:** Request to Approve, Resolution Authorizing an Amendment to the Cooperation Agreement Between Madison County, Mississippi, and the City of Gluckstadt, Mississippi, Regarding the Application of Unused Funds for Improvement to Additional Roads Located Within the City of Gluckstadt

---

Public Works would like the board to approve this Cooperation Agreement with Madison County to approve using the remaining funds in the amount of \$96,400 from the original Cooperation Agreement to pave roads within Red Oak Subdivision. The remaining funds are due to the invoiced amount coming in lower than the estimated costs. This was due to not having to repair as much base as we initially thought. The roads within this agreement are:

Farmers Cv - \$14,000.00  
Farmers Way - \$12,000.00  
Harvest Cv - \$15,600.00  
Saddle Cv - \$34,900.00  
Old Gin Cv - \$19,900.00  
Total - \$96,400.00

If you have and questions or concerns, please contact me.

**Resolution Authorizing an Amendment to the Cooperation Agreement  
Between Madison County, Mississippi, and the City of Gluckstadt,  
Mississippi, Regarding the Application of Unused Funds for Improvement  
to Additional Roads Located Within the City of Gluckstadt**

WHEREAS Madison County, Mississippi and Gluckstadt, Mississippi entered into a Cooperation Agreement for improvement to certain roads within the City of Gluckstadt, attached hereto as Exhibit “A”, and

WHEREAS said agreement authorized Madison County to provide the sum of \$325,000.000 to reimburse Gluckstadt for the costs of improving the roads (the Project) as specified in said agreement; and

WHEREAS the agreement contemplated that Gluckstadt would perform the work necessary to improve the roads, and would complete the work not later than December 31, 2023; and

WHEREAS Gluckstadt, having performed the work on said specified roads, has discovered that the total costs for completing the Project was less than previously estimated, and that the amount of \$96,400.000 remains unspent from that amount of \$325,000.00, previously allocated for the Project; and

WHEREAS Gluckstadt requests authorization from Madison County that the unspent amount of \$96,400.00 be allocated towards the improvement of additional roads within the City of Gluckstadt, as shown more particularly in Exhibit “B” herein; and



WHEREAS, both parties agree that the previous Cooperative Agreement should be amended to allow the unused funds to be allocated towards the improvement of the additional roads as shown in Exhibit “B”, and that by doing so the interests of the citizens of both city and county would be enhanced and promoted.

RESOLVED, that the previous Cooperative Agreement between Madison County and City of Gluckstadt, as shown hereto as Exhibit “A” should be amended to authorize Gluckstadt to apply the unused funds, estimated to be in the amount of \$96,400.00, towards the cost of the improvement of the additional roads, as specified in Exhibit “B” attached hereto.

BE IT FURTHER RESOLVED that both parties understand and declare that \$96,400.00 is the exact amount to be authorized for use and rededication to the costs of improving the additional roads by Gluckstadt, as specified herein, and that Madison County will not be responsible for reimbursement to Gluckstadt of any amounts beyond the unused amount of \$96,400.00.

BE IT FURTHER RESOLVED that all of the terms and conditions of the Cooperative Agreement previously entered into by the parties, as shown in Exhibit “A” remain in force, except Section 4 (Project Completion Date) which shall be amended to reflect December 31, 2024 as the new completion date for improvement to the roads specified as Exhibit “B”, which date can be adjusted forward by mutual agreement of the parties.

BE IT FURTHER RESOLVED that the effective date of this Amendment to the Cooperative Agreement begins immediately upon receipt of the signatures of those authorized to sign on behalf of the City and County, and further upon

the adoption and recording of such upon the minutes of each of the governing authorities.

WITNESS the signatures of the duly authorized officers of the City and County.

For:

CITY OF GLUCKSTADT

\_\_\_\_\_

Walter Morrison IV, Mayor

On this the \_\_\_\_ September 2024

For:

MADISON COUNTY BOARD OF SUPERVISORS

\_\_\_\_\_

Gerald Steen, President

On this the \_\_\_\_ September 2024

ATTEST:

\_\_\_\_\_

City Clerk

ATTEST:

\_\_\_\_\_

Chancery Clerk



EXHIBIT "A"

EXHIBIT "B"

(ADDITIONAL ROADS TO BE IMPROVED BY CITY OF GLUCKSTADT)

1. Farmers Cv	\$14,000.00
2. Farmers Way	\$12,000.00
3. Harvest Cv	\$15,600.00
4. Saddle Cv	\$34,900.00
5. Old Gin Cv	\$19,900.00
Total:	\$96,400.00



**Resolution Authorizing an Amendment to the Cooperation Agreement  
Between Madison County, Mississippi, and the City of Gluckstadt,  
Mississippi, Regarding the Application of Unused Funds for Improvement  
to Additional Roads Located Within the City of Gluckstadt**

WHEREAS Madison County, Mississippi and Gluckstadt, Mississippi entered into a Cooperation Agreement for improvement to certain roads within the City of Gluckstadt, attached hereto as Exhibit "A", and

WHEREAS said agreement authorized Madison County to provide the sum of \$325,000.000 to reimburse Gluckstadt for the costs of improving the roads (the Project) as specified in said agreement; and

WHEREAS the agreement contemplated that Gluckstadt would perform the work necessary to improve the roads, and would complete the work not later than December 31, 2003; and

WHEREAS Gluckstadt, having performed the work on said specified roads, has discovered that the total costs for completing the Project was less than previously estimated, and that the amount of \$96,400.000 remains unspent from that amount of \$325,000.00, previously allocated for the Project; and

WHEREAS Gluckstadt requests authorization from Madison County that the unspent amount of \$96,400.00 be allocated towards the improvement of additional roads within the City of Gluckstadt, as shown more particularly in Exhibit "B" herein; and

WHEREAS, both parties agree that the previous Cooperative Agreement should be amended to allow the unused funds to be allocated towards the improvement of the additional roads as shown in Exhibit “B”, and that by doing so the interests of the citizens of both city and county would be enhanced and promoted.

RESOLVED, that the previous Cooperative Agreement between Madison County and City of Gluckstadt, as shown hereto as Exhibit “A” should be amended to authorize Gluckstadt to apply the unused funds, estimated to be in the amount of \$96,400.00, towards the cost of the improvement of the additional roads, as specified in Exhibit “B” attached hereto.

BE IT FURTHER RESOLVED that both parties understand and declare that \$96,400.00 is the exact amount to be authorized for use and rededication to the costs of improving the additional roads by Gluckstadt, as specified herein, and that Madison County will not be responsible for reimbursement to Gluckstadt of any amounts beyond the unused amount of \$96,400.00.

BE IT FURTHER RESOLVED that all of the terms and conditions of the Cooperative Agreement previously entered into by the parties, as shown in Exhibit “A” remain in force, except Section 4 (Project Completion Date) which shall be amended to reflect December 31, 2024 as the new completion date for improvement to the roads specified as Exhibit “B”, which date can be adjusted forward by mutual agreement of the parties.

BE IT FURTHER RESOLVED that the effective date of this Amendment to the Cooperative Agreement begins immediately upon receipt of the signatures of those authorized to sign on behalf of the City and County, and further upon



the adoption and recording of such upon the minutes of each of the governing authorities.

WITNESS the signatures of the duly authorized officers of the City and County.

For:

CITY OF GLUCKSTADT

\_\_\_\_\_

Walter Morrison IV, Mayor

On this the \_\_\_\_ September 2024

For:

MADISON COUNTY BOARD OF SUPERVISORS

*Gerald Steen*  
\_\_\_\_\_

Gerald Steen, President

On this the 3 September 2024

ATTEST:

\_\_\_\_\_

City Clerk

ATTEST:

*Konny Kott, by: Alexa Bernhardt, P.C.*  
\_\_\_\_\_

Chancery Clerk

**EXHIBIT "A"**



## EXHIBIT "B"

(ADDITIONAL ROADS TO BE IMPROVED BY CITY OF GLUCKSTADT)

1. Farmers Cv	\$14,000.00
2. Farmers Way	\$12,000.00
3. Harvest Cv	\$15,600.00
4. Saddle Cv	\$34,900.00
5. Old Gin Cv	\$19,900.00
Total:	\$96,900.00

RE: Gluckstadt Park Area -

Ron McMaster Jr. <ron@mcmastereng.com>

Mon 8/12/2024 8:00 AM

To: Chris Buckner <chris.buckner@gluckstadt.net>

Cc: Andy McCrory <andy@mcmastereng.com>; Ron McMaster Jr. <ron@mcmastereng.com>

Chris-

Andy and I reviewed the effort needed produce a partial design to produce a project budget and would estimate of fee to **\$15,000** to be billed against on an hourly basis. Let me know if you have any questions.

Thanks,

Ron

---

**From:** Ron McMaster Jr.

**Sent:** Monday, July 22, 2024 4:00 PM

**To:** Chris Buckner <chris.buckner@gluckstadt.net>

**Cc:** Andy McCrory <andy@mcmastereng.com>

**Subject:** Gluckstadt Park Area -

Chris-

We reviewed the scope of work last week on this project and listed below are the Not-to Exceed estimates based on the conceptual plan that Andy created:

Survey (Boundary and Topographic): **\$15,000**

Retention Lake Hydraulics: **\$7,500**

Conditional Letter of Map Revision: **\$25,000 + FEMA Review Fees (See attached schedule from FEMA)**

Andy and I discussed how to price the landscape, planning and engineering services for what you need at this point. We both felt like the city would probably like a 'pricing set' of construction documents so an accurate estimate could be produced to apply for grant funding or fundraising. Let us know what you think, and we can estimate what a fee would be for that.

Thanks,

Ron McMaster, Jr., P.E., P.S.

**McMaster & Associates, Inc.**

212 Waterford Square

Suite 300

Madison, MS 39110

601-605-1090, Ext. 102

601-605-1091 Fax

[ron@mcmastereng.com](mailto:ron@mcmastereng.com)

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## CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 8/26/2024

**SUBJECT:** Request for Approval, Proposal for Conceptual Design & Opinion of Probable Costs Services Gluckstadt Park

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Public Works would like the board to approve the attached agreement from McMaster & Associates, Inc. This agreement would allow them to develop a more detailed conceptual design and an estimated cost of construction for our park property on Calhoun Station Pkwy which would aid us in getting grants and having future conversations about funding.

Please contact me if you have any questions.



August 26, 2024

City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130

Re: Proposal for Conceptual Design & Opinion of Probable Costs Services  
Gluckstadt Park  
City of Gluckstadt, Mississippi

Attn: Walter C. Morrison, IV, Mayor

This is an Agreement between **Mayor and Board of Alderman for the City of Gluckstadt** (Owner) and **McMaster and Associates, Inc.** (Engineer). Owner's Project, of which Engineer's services under this Agreement are a part, is generally identified as **Concept Design and Pricing for Gluckstadt Park.** (Project). Engineer's services under this Agreement (Services) are generally identified as **Conceptual Design and Preparation of Opinion of Probable Costs.**

Owner and Engineer further agree as follows:

1.01 Services of Engineer

- A. Engineer shall provide or furnish the Services set forth in this Agreement, as more fully set forth in Exhibit 2, and any Additional Services authorized by Owner and consented to by Engineer.

2.01 Owner's Responsibilities

- A. Owner shall provide Engineer with existing Project-related information and data in Owner's possession and needed by Engineer for performance of Engineer's Services. Owner will advise the Engineer of Project-related information and data known to Owner but not in Owner's possession. Engineer may use and rely upon Owner-furnished information and data in performing its Services, subject to any express limitations applicable to the furnished items. Owner agrees to defend, indemnify, and hold harmless Engineer for any actual or threatened claims, causes of action, liability, or damages arising out of or related to any failures of Owner under this Section 2.1.

B.

1. Following Engineer's assessment of initially-available Project information and data, and upon Engineer's request, Owner shall obtain, furnish, or otherwise make available (if necessary through retention of specialists or consultants) such additional Project-related information and data as is reasonably required to enable



Engineer to complete its Services; or, with consent of Engineer, Owner may authorize the Engineer to obtain or provide all or part of such additional information and data as Additional Services.

- C. Owner shall provide necessary direction and make decisions, including prompt review of Engineer's submittals, and carry out its other responsibilities in a timely manner so as not to delay Engineer's performance. Owner shall give prompt notice to Engineer whenever Owner observes or otherwise becomes aware of (1) any relevant, material defect or nonconformance in Engineer's Services, or (2) any development that affects the scope or time of performance of Engineer's Services.

3.01 Schedule for Rendering Services

- A. Engineer shall complete its Services within the following specific time period: **Thirty (30) months from the effective date of the agreement or upon completion of construction of the work.**
- B. If, through no fault of Engineer, such periods of time or dates are changed, or the orderly and continuous progress of Engineer's Services is impaired, or Engineer's Services are delayed or suspended, then the time for completion of Engineer's Services, and the rates and amounts of Engineer's compensation, shall be adjusted equitably.

4.01 Invoices and Payments

- A. Invoices: Engineer shall prepare invoices in accordance with its standard invoicing practices and submit the invoices to Owner on a monthly basis. Invoices are due and payable within 30 days of receipt.
- B. Payment: As compensation for Engineer providing or furnishing Services and Additional Services, Owner shall pay Engineer as set forth in this Paragraph 4.01, Invoices and Payments. If Owner disputes an invoice, either as to amount or entitlement, then Owner shall promptly advise Engineer in writing of the specific basis for doing so, may withhold only that portion so disputed, and must pay the undisputed portion.
- C. Failure to Pay: If Owner fails to make any payment due Engineer for Services, Additional Services, and expenses within 30 days after receipt of Engineer's invoice, then (1) the amounts due Engineer will be increased at the rate of 1.0% per month (or the maximum rate of interest permitted by law, if less) from said thirtieth day; (2) in addition Engineer may, after giving 7 days' written notice to Owner, suspend Services under this Agreement until Engineer has been paid in full all amounts due for Services, Additional Services, expenses, and other related charges, and in such case Owner waives any and all claims against Engineer for any such suspension; and (3) if any payment due Engineer remains unpaid after 90 days, Engineer may terminate the Agreement for cause pursuant to Paragraph 5.01.A.2.
- D. Reimbursable Expenses: Engineer is entitled to reimbursement of expenses only if so indicated in Paragraphs 4.01.E and 4.01.F. ("Reimbursable Expenses"). Unless expressly specified otherwise, the amounts payable to Engineer for reimbursement of expenses will be the Project-related internal expenses actually incurred or allocated by Engineer, plus all invoiced external expenses allocable to the Project, including Engineer's subcontractor and subconsultant charges, with the external expenses multiplied by a factor of **Ten (10%) Percent**.

E. Basis of Payment

1. Lump Sum. Owner shall pay Engineer for Services as follows:

- a. Fees for Conceptual Design Services and Preparation of Opinion of Probable Costs are as follows:
  - 1) Design Services - **\$15,000.00**
- b. In addition to the Lump Sum amount, reimbursement Reimbursable Expenses:
  - 1) Environmental Services (If required)
  - 2) Geotechnical Services (If required)
- c. The portion of the compensation amount billed monthly for Engineer's Services will be based upon Engineer's estimate of the percentage of the total Services actually completed during the billing period.

F. Additional Services: "Additional Services" are that services provided by Engineer that go beyond the Services expressly set forth in Exhibit 2. For Additional Services, Owner shall pay Engineer an amount equal to the cumulative hours charged in providing the Additional Services by Engineer's employees, times standard hourly rates for each applicable billing class; plus reimbursement of expenses incurred in connection with providing the Additional Services. Engineer's standard hourly rates are attached as Appendix 1.

5.01 Termination

A. Termination for Cause

- 1. Either party may terminate the Agreement for cause upon 30 days' written notice in the event of substantial failure by the other party to perform in accordance with the terms of the Agreement, through no fault of the terminating party.
  - a. Notwithstanding the foregoing, this Agreement will not terminate under Paragraph 5.01.A.1 if the party receiving such notice begins, within 7 days of receipt of such notice, to correct its substantial failure to perform and proceeds diligently to cure such failure within no more than 30 days of receipt thereof; provided, however, that if and to the extent such substantial failure cannot be reasonably cured within such 30-day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein will extend up to, but in no case more than, 60 days after the date of receipt of the notice.
- 2. In addition to its termination rights in Paragraph 5.01.A.1, Engineer may terminate this Agreement for cause upon 7 days' written notice (a) if Owner demands that Engineer furnish or perform services contrary to Engineer's responsibilities as a licensed professional, (b) if Engineer's services for the Project are delayed or suspended for more than 90 days for reasons beyond Engineer's control, (c) if payment due Engineer remains unpaid for 90 days, as set forth in Paragraph 4.01.C, or (d) as the result of the presence at the Site of undisclosed Constituents of Concern as set forth in Paragraph 6.01.I.
- 3. Engineer will have no liability to Owner on account of any termination by Engineer for cause.



- B. Termination for Convenience: Owner may terminate this Agreement for convenience, effective upon Engineer's receipt of notice from Owner.
- C. Payments Upon Termination: In the event of any termination under Paragraph 5.01, Engineer will be entitled to invoice Owner and to receive full payment for all services performed or furnished in accordance with this Agreement, and to reimbursement of expenses incurred through the effective date of termination. Upon making such payment, Owner will have the limited right to the use of all deliverable documents, whether completed or under preparation, subject to the provisions of Paragraph 6.01.F, at Owner's sole risk.
  - 1. If Owner has terminated the Agreement for cause and disputes Engineer's entitlement to compensation for services and reimbursement of expenses, then Engineer's entitlement to payment and Owner's rights to the use of the deliverable documents will be resolved in accordance with the dispute resolution provisions of this Agreement or as otherwise agreed in writing.
  - 2. If Owner has terminated the Agreement for convenience, or if Engineer has terminated the Agreement for cause, then Engineer will be entitled, in addition to the payments identified above, to invoice Owner and receive payment for (i) a reasonable amount for services and expenses directly attributable to termination, both before and after the effective date of termination, such as reassignment of personnel, costs of terminating contracts with Engineer's subcontractors or subconsultants, and other related close-out costs, using methods and rates for Additional Services as set forth in Paragraph 4.01.F, and (ii) Engineer's anticipated profit for the remaining Services under this Agreement.

6.01 General Considerations

- A. The standard of care for all professional engineering and related services performed or furnished by Engineer under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality for a project of a similar size, scope, and complexity. Engineer makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Engineer. Subject to the foregoing standard of care, Engineer may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.
- B. Engineer shall not at any time supervise, direct, control, or have authority over any Constructor's work, nor will Engineer have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a Constructor to comply with laws and regulations applicable to that Constructor's furnishing and performing of its work. Engineer shall not be responsible for the acts or omissions of any Constructor.
- C. Engineer neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor's failure to furnish and perform its work.
- D. Engineer's opinions of probable construction cost ("Engineer's Opinion of Probable Construction Cost"), if any, are to be made on the basis of Engineer's experience, qualifications, and general familiarity with the construction industry. However, because

Engineer has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Engineer cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from opinions of probable construction cost prepared by Engineer. If Owner requires greater assurance as to probable construction cost, then Owner agrees to obtain an independent cost estimate.

- E. Engineer shall not be responsible for any decision made regarding the construction contract requirements, or any application, interpretation, clarification, or modification of the construction contract documents, other than those made by Engineer.
- F. All documents prepared or furnished by Engineer are instruments of service, and Engineer retains an ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed. Engineer grants to Owner a limited license to use the deliverable documents on the Project, extensions of the Project, and for related uses of the Owner, subject to receipt by Engineer of full payment due and owing for all Services and Additional Services relating to preparation of the deliverable documents, and subject to the following limitations:
  - 1. Owner acknowledges that such documents are not intended or represented to be suitable for use on the Project unless completed by Engineer, or for use or reuse by Owner or others on extensions of the Project, on any other project, or for any other use or purpose, without written verification or adaptation by Engineer;
  - 2. any such use or reuse, or any modification of the documents, without written verification, completion, or adaptation by Engineer, as appropriate for the specific purpose intended, will be at Owner's sole risk and without liability or legal exposure to Engineer or to its officers, directors, members, partners, agents, employees, and subconsultants;
  - 3. Owner shall defend, indemnify, and hold harmless Engineer and its officers, directors, members, partners, agents, employees, and subconsultants from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from any use, reuse, or modification of the documents without written verification, completion, or adaptation by Engineer; and
  - 4. such limited license to Owner shall not create any rights in third parties.
- G. Owner and Engineer agree to transmit, and accept, Project-related correspondence, documents, text, data, drawings, information, and graphics, in electronic media or digital format, either directly, or through access to a secure Project website, in accordance with a mutually agreeable protocol.
- H. Waiver of Damages; Limitation of Liability: To the fullest extent permitted by law, Owner and Engineer (1) waive against each other, and the other's officers, directors, members, partners, agents, employees, subconsultants, and insurers, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this Agreement or the Project, from any cause or causes, and (2) agree that Engineer's total liability to Owner under this Agreement shall be limited to \$100,000 or the total amount of compensation received by Engineer, whichever is greater; provided, however, that in no event will Engineer's liability exceed available insurance coverage. Owner further agrees to relieve and hold harmless Engineer from any liability for minor errors and omissions that increase the project budget by no more than five percent (5%).



- I. The parties acknowledge that Engineer's Services do not include any services related to unknown or undisclosed Constituents of Concern. If Engineer or any other party encounters, uncovers, or reveals an unknown or undisclosed Constituent of Concern, then Engineer may, at its option and without liability for consequential or any other damages, suspend performance of Services on the portion of the Project affected thereby until such portion of the Project is no longer affected, or terminate this Agreement for cause if it is not practical to continue providing Services.
- J. Owner and Engineer agree to negotiate each dispute between them in good faith during the 30 days after notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute will be mediated by a mediator mutually approved by Owner and Engineer. The mediation will occur within 60 days following the 30-day good-faith negotiation period, unless otherwise agreed by the parties. If mediation is unsuccessful, then the parties may exercise their rights at law. Any legal proceeding related to or involving this Agreement shall be brought in a state or federal court with competent jurisdiction in Madison County, Mississippi.
- K. This Agreement is to be governed by the laws of the state of Mississippi without regard to conflict of laws principles.
- L. Engineer's Services do not include: (1) serving as a "municipal advisor" for purposes of the registration requirements of Section 975 of the Dodd-Frank Wall Street Reform and Consumer Protection Act (2010) or the municipal advisor registration rules issued by the Securities and Exchange Commission; (2) advising Owner, or any municipal entity or other person or entity, regarding municipal financial products or the issuance of municipal securities, including advice with respect to the structure, timing, terms, or other similar matters concerning such products or issuances; (3) providing surety bonding or insurance-related advice, recommendations, counseling, or research, or enforcement of construction insurance or surety bonding requirements; (4) providing legal advice or representation, (5) serving as a Construction Manager, or (6) providing any other professional services not expressly identified in the Services being provided under this Agreement.
- M. Definitions
- N. Constructor—Any person or entity (not including the Engineer, its employees, agents, representatives, subcontractors, and subconsultants), performing or supporting construction activities relating to the Project, including but not limited to contractors, subcontractors, suppliers, Owner's work forces, utility companies, construction managers, testing firms, shippers, and truckers, and the employees, agents, and representatives of any or all of them.
- O. Constituent of Concern—Asbestos, petroleum, radioactive material, polychlorinated biphenyls (PCBs), lead based paint (as defined by the HUD/EPA standard), hazardous waste, and any substance, product, waste, or other material of any nature whatsoever that is or becomes listed, regulated, or addressed pursuant to laws and regulations regulating, relating to, or imposing liability or standards of conduct concerning, any hazardous, toxic, or dangerous waste, substance, or material.

## 7.01 Successors, Assigns, and Beneficiaries

### A. Successors and Assigns

1. Owner and Engineer are hereby bound and the successors, executors, administrators, and legal representatives of Owner and Engineer (and to the extent permitted by Paragraph 8.01.A.2 the assigns of Owner and Engineer) are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
2. Neither Owner nor Engineer may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.

- B. Beneficiaries: Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Owner or Engineer to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Owner and Engineer and not for the benefit of any other party.

## 8.01 Total Agreement

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Owner and Engineer and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

Attachments: Exhibit 1, 2024 Hourly Rates for Services

Exhibit 2, Detailed Scope of Engineer's Services

Exhibit 3, Conceptual Master Plan



This Agreement's Effective Date is August 26,2024.

Owner:

\_\_\_\_\_  
City of Gluckstadt, MS

By:

\_\_\_\_\_  
Walter C. Morrison, IV, Mayor

Date:

\_\_\_\_\_  
(date signed)

Name:

\_\_\_\_\_  
(typed or printed)

Title:

\_\_\_\_\_  
(typed or printed)

Address for giving notices:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Designated Representative:

Name:

\_\_\_\_\_  
(typed or printed)

Title:

\_\_\_\_\_  
(typed or printed)

Address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone:

\_\_\_\_\_

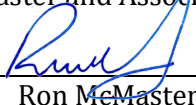
Email:

\_\_\_\_\_

Engineer:

\_\_\_\_\_  
Ron McMaster, Jr.  
\_\_\_\_\_  
McMaster and Associates, Inc.

By:

\_\_\_\_\_  
  
\_\_\_\_\_  
Ron McMaster, Jr., P.E., P.S.

Date:

\_\_\_\_\_  
8/26/2024  
\_\_\_\_\_  
(date signed)

Name:

\_\_\_\_\_  
Ron McMaster, Jr.  
\_\_\_\_\_  
(typed or printed)

Title:

\_\_\_\_\_  
President  
\_\_\_\_\_  
(typed or printed)

Address for giving notices:

\_\_\_\_\_  
212 Waterford Square  
\_\_\_\_\_  
Suite 300  
\_\_\_\_\_  
Madison, MS 39110

Designated Representative:

Name:

\_\_\_\_\_  
(typed or printed)

Title:

\_\_\_\_\_  
(typed or printed)

Address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone:

\_\_\_\_\_

Email:

\_\_\_\_\_

McMaster & Associates, Inc.  
2024 Hourly Rates for Services

CATEGORY	BASE RATE	OVERTIME RATE
<b>PROFESSIONAL SERVICES</b>		
Principal	\$225.00	
Senior Professional Engineer	\$180.00	
Professional Engineer	\$155.00	
Registered Landscape Architect	\$150.00	
Engineering Intern	\$115.00	
Senior Professional Surveyor	\$150.00	
Professional Surveyor	\$125.00	
Surveying Intern	\$100.00	
<b>OFFICE SERVICES</b>		
Senior Technician III	\$90.00	
Senior Technician II	\$80.00	
Senior Technician I	\$75.00	
Engineering Technician III	\$135.00	
Engineering Technician II	\$110.00	
Engineering Technician I	\$100.00	
Administrative Assistant	\$70.00	
<b>FIELD SURVEYING SERVICES</b>		
Two-Man Survey Crew	\$160.00	\$180.00
Three-Man Survey Crew	\$210.00	\$260.00
Four-Man Survey Crew	\$260.00	\$342.00
Subsurface Utility Locating Crew	\$175.00	\$195.00
Drone	\$275.00	
<b>INSPECTION SERVICES</b>		
Construction Manager	\$125.00	\$144.00
Senior Construction Inspector III	\$90.00	\$105.00
Senior Construction Inspector II	\$80.00	\$94.00
Senior Construction Inspector I	\$60.00	\$65.00
Bridge Inspection Project Manager	\$155.00	\$182.00
Bridge Inspection Team Leader	\$125.00	\$144.00
Bridge Inspection Senior Inspector	\$90.00	\$105.00
Bridge Inspection Junior Inspector	\$60.00	\$65.00
<b>DIRECT EXPENSE</b>		
Mileage	\$0.67/Mile	
Stakes	\$1.25/Each	
Hubs	\$0.60/Each	
Metal T-Posts	\$6.00/Each	
Flags	\$0.15/Each	
Roll Flagging	\$2.50/Roll	
Paint per Can	\$8.00/Each	
Plotting	\$2.00/Sq. Ft.	
Printing	\$0.30/Each	
Supplies & Misc. Expense	Cost Plus 15%	



## EXHIBIT 2

### Detailed Scope of Engineer's Services

Engineer agrees to perform the following "Services" for the Project (check all that apply). All capitalized terms shall have the same meaning as used in the Agreement, unless otherwise defined herein.

**Conceptual Design Services**

As part of the Conceptual Design Phase, Engineer agrees to provide the following Services:

1. Prepare, from the existing conceptual master plan, the Conceptual Design Documents to include:
  - a) Conceptual Design Plans for the Gluckstadt Parking located along Calhoun Station Parkway in the City of Gluckstadt, Mississippi.
  - b) Prepare an Engineer's Opinion of the Construction Cost to develop and establish the scope of the Project.
2. Furnish copies of the Conceptual Design Documents and Opinion of the Construction Cost to the Owner for review.



# CONCEPTUAL MASTER PLAN STUDY

# Gluckstadt Park



**Madison Premier Preschool & Afterschool**

**Callaway's Yard & Garden Center**

**Rick's Pro Truck**

### Suggested Amenities

- Shade Structures
- Restrooms
- Benches
- Picnic Tables
- Native Plant Material
- Concrete Walking Path
- Nature Trails
- Playgrounds (fenced)
- Splashpad
- Pavilion with Stage
- Security Cameras

Scale: 1" = 60'



This master plan has been prepared for the purpose of illustrating the general concept of the development. The Developer reserves the right to alter or revise the uses and locations illustrated on this plan without notice. All measurements and acreages shown are approximate.







## TERMS & CONDITIONS

Bulldog Construction Company, Inc. hereafter is referred to as "BCC"

**Thank you** for choosing to work with our company for your project. We believe in providing our clients with the best work, on time, every time. Our scope of work and associated fees is presented proposal above, and our terms and conditions are presented in the following paragraphs. Should you have any questions regarding this proposal, please contact us.

**Terms:** BCC's scope of work is based on our understanding of the project and is outlined in the proposal above. Our prices assume normal weekday business hours with normal working conditions. We can accommodate after hours or weekends with a premium to be negotiated on a project basis. Pricing provided above is based on the condition that BCC is provided a minimum of 3 weeks advance notice of scheduled work. Additional fees will apply for work scheduled with less than 3 weeks of advance notice.

Prices are based on specifications and estimates as shown above. Quantities are approximate estimates only, and work shall be billed at the stated unit prices on the actual quantities of work completed unless a Lump Sum price has been quoted. One mobilization charge is included in the price, unless otherwise stated. Additional mobilization charges will be charged at the rate specified in the provided quote. The price includes all material, labor, and equipment required to complete the scope of work outlined.

Unless instructed otherwise, we will submit our invoice(s) to the address shown at the beginning of this proposal. Payment is due upon receipt of the invoice. If conditions are encountered that require scope revisions and/or result in higher fees, we will contact you for approval, prior to initiating those services. BCC reserves the right to refuse additional equipment time, extra materials or extra labor if it interferes with advanced scheduling with other customers with whom previous commitments have already been extended. If payment is not made in accordance with the above terms, the customer agrees to pay any collection, legal fees and interest for any unpaid balances. Interest will accrue at the maximum legal rate allowed per month from the date of completion.

**Conditions:** The prices included in this proposal, specifications, and conditions are hereby accepted under BCC. All material is guaranteed to be as specified. Scope exclusions are stated in the proposal.

All work is to be completed in a professional manner in accordance with standard construction practices. Any deviation from this proposal or extra work will be executed only upon the client's instruction and may result in additional fees. All agreements are contingent upon delays that are beyond BCC's control. The property owner should carry fire, tornado and any other necessary insurance.

BCC will take reasonable efforts to reduce damage to property and site. However, it should be understood that in the normal course of work some disturbance could occur. Our services do not include repair of the site beyond cleanup of our specific work. BCC shall not be liable for any damage to any existing features such as streets, driveways, sidewalk, utilities, landscape, irrigation, underground wiring, property, or other unforeseen circumstances during standard construction procedures for this project.

BCC must be granted access to the site by the owner/client. Without information to the contrary, we consider acceptance of this proposal as authorization to access the property for completing the scope of work. Our proposed fees do not include time to negotiate and coordinate access. BCC will conduct work during normal business hours (Monday through Friday between 7:00am and 5:00pm). If work must take place over a weekend or at night, please contact us so we can adjust our schedule and fee.

BCC is not responsible for concrete cracking, failures, or overall appearance due to weather cycles, damage by others, ponding water, subgrade conditions, or other issues outside of BCC's control or scope. Earthwork or unstable/unsuitable subgrade repair is not included in the scope of work, unless specified in the proposal.

Your authorization for BCC to proceed with the scope of work outlined above can be issued via Purchase Order, Contract, Deposit, or Signed Agreement.









## CITY OF GLUCKSTADT

MISSISSIPPI  
PUBLIC WORKS DEPARTMENT

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 8/29/2024

**SUBJECT:** Request for Approval, Saddle Cv Curb Removal and Replace

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Public Works is requesting the Board to approve the removal & replacement of failed curb & gutter sections in on Saddle Cv in Red Oak Subdivision. We will be paving this street and need to replace this curb before it can be paved.

Bulldog Construction Company holds our awarded FY24 term bid for removal & replacement of concrete/curb & gutter. They have quoted this fix as costing the city \$9,930.

If you have any questions or concerns, please contact me.





## CITY OF GLUCKSTADT

MISSISSIPPI  
PUBLIC WORKS DEPARTMENT

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 8/29/2024

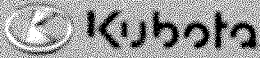
**SUBJECT:** Request for Approval, Purchase of Skid Steer

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We are requesting that the Mayor and Board of Alderman consider purchasing a Kubota SVL75-3HFWVC skid steer from Diviney Equipment in the amount of \$69,300. This skid steer will enhance Public Works capabilities with our work order projects, abilities to load and unload materials in and out of trucks, storm damage clean-up, and assisting Police and Fire, if needed, with cleanup from accidents.

In accordance with purchasing law, we also received a quote from Lee Tractor Co. for a Case TV370B T4 in the amount of \$74,900. I am recommending the Kubota SVL75-3HFWVC skid steer as the lowest and best bid.

Thank you for your consideration of our request. Please contact me if you have any questions.



Quote Page 1 of  
 Quote Number: 713486  
 Effective Date: 08/26/2024  
 Valid Through: 08/31/2024

<b>Ship To</b>	<b>Kubota Dealer</b>	<b>Bill To</b>
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City Of Gluckstadt Chris Buckner Madison, MS Work: (769) 567-2306	Deviney Rental & Supply 2173 Hwy. 51 Madison, MS 39110	Matt Smith Phone: (601) 941-3406 ext.00000 Email: mattsmith@deviney.com
City Of Gluckstadt Chris Buckner Madison, MS Work: (769) 567-2306		

**SVL75-3HFWVC - 15" TRACKS/CAB/HYDRAULIC QUICK ATTACH/HIGH FLOW/REVERSE FAN**



Description	Manufacturer	Model #	Qty	Price Each	Total
15" TRACKS/CAB/HYDRAULIC QUICK ATTACH/HIGH FLOW/REVERSE FAN	Kubota	SVL75-3HFWVC	1	\$69,300.00	\$69,300.00
SVL75-3 TELEMATICS HARNESS		S6708	1	\$.00	\$.00
AT&T TELEMATICS MODEM		DCU6700	1	\$.00	\$.00
74 Heavy Duty, Low Profile, Long Floor, Cutting Edge, Side Cutter, 19.2 cu-ft heaped capacity	Kubota	AP-HD74LLC	1	\$.00	\$.00
SPECIAL APPL DOOR KIT CLOSED CAB	Kubota	S6861	1	\$.00	\$.00

All prices subject to availability. Prices good only within program terms.

**Kubota Disclaimer**

Sales quote can only be provided by a participating Kubota dealer. Only Kubota and Kubota performance-matched Allied equipment are eligible. Inclusion of ineligible equipment may result in a higher blended APR. Stand Alone Kubota or Allied implements and attachments/accessories are subject to stand alone programs. Financing is available through Kubota Credit Corporation, U.S.A.; subject to credit approval. Program eligibility requirements are subject to change without notice and may be withdrawn without notice. Some exceptions apply. See dealer or go to KubotaUSA.com for more information.



**S Series****SVL75-3HFWVC**

\* \* \* EQUIPMENT IN STANDARD MACHINE \* \* \*

**FEATURES**

Vertical Lift Path Loader Frame  
Standard Front Quick Coupler, Float Standard  
Hydraulic Quick Coupler Option  
Selector Loader Arm Self-Leveling  
Loader Boom Lock  
Open ROPS & Air Conditioned ROPS/FOPS Cab Models  
High Back, Adjustable, Vinyl, Suspension Seat  
2" Retractable Seat Belt and 2-Piece Seat Bar  
12V Electric Outlet  
19.2 gpm Auxiliary Hydraulics standard, 29.8 gpm  
Option  
Direct To Tank Return Line  
Rigid Mounted Undercarriage, 4 Lower Track Rollers  
Rubber Tracks, 12.6" Standard, 15" Optional  
Two Speed Travel System  
Automatic Wet Disk Parking Brake  
Kubota 4 Hydraulic Pump Load Sensing System  
2 Gear, 2 Variable Displacement Pumps  
Hydraulic Joystick Controls, Optional Multi-Functional  
Grips  
ISO Operating Pattern  
Hand And Foot Throttle Controls  
Electronic Travel Torque Management  
Automatic Glow Plugs  
7" Multifunction Touch Screen  
Integrated Rear Camera  
Keyless Start  
Self Bleed Fuel System  
2 Front and 2 Rear Working Lights  
Hour Meter, Engine Temperature and Fuel  
Gauges and Warning Lights  
Horn and Backup Alarm  
Lockable Fuel Cap  
Bolt On Grab Handles to enter machine  
KubotaNOW Telematics

**BASIC UNITS**

SVL75-3, 15.8" Rubber Tracks,  
Open ROPS/FOPS Cab  
Hydraulic Quick Coupler  
High Flow Hydraulics & MF Grips  
14-Pin Coupler  
Reversing Fan

**ENGINE**

V3307 Kubota CR-TE4, Tier 4 Diesel Engine  
4 Cylinder, 4 Cycle, Turbo Charged  
74.3 Gross HP @ 2400 rpm

**DIMENSIONS**

Cab Height 81.8"  
Width (without attachment) 65.9"  
Width with wide track option (without attachment) 69.1"  
Length (without attachment) 112.0"  
Length of Track on Ground 56.5"

**OPERATIONAL DIMENSIONS**

Operating Weight\*, SVL75H, 12.6" Rubber Tracks, Open  
ROPS/FOPS Cab, Mechanical Quick Coupler 9,190 lbs.  
Rated Operating Capacity (@ 35% of Tipping Load) 2,490 lbs.  
Rated Operating Capacity (ROC) @ 35% of Tipping Load  
complies with ISO 14397-1 and SAE J 818 for crawler loaders  
Rated Operating Capacity (ROC) @ 50% of Tipping Load  
3,557 lbs.  
Tipping Load 7,112 lbs.  
Auxiliary Hydraulics Flow 192/ 29.8 gpm  
Travel Speed (Low / High) 5.6 / 8.6 mph  
Reach @ Maximum Height 39.6"  
Height to Hinge Pin 122.7"  
Ground Pressure (Standard Track) 5.8 psi  
Ground Pressure (Wide Track) 4.7 psi  
Traction Force 9,678 lbf.

\* Includes operator's weight, 175 lbs.



CUSTOMER INFORMATION:	
<b>City of Gluckstadt</b>	
107 Lone Wolf Dr	
Gluckstadt, MISSISSIPPI 39110 USA	

DEALERSHIP	
<b>LEE TRACTOR CO., INC.</b>	
158 CONCOURSE DRIVE	
PEARL, MS 39208 US	
844-883-7368	
Email	jj@leetractor.net
<b>SALESPERSON:</b>	<b>JJ Vice</b>

Retail Offer Number:	0001138341-1
----------------------	--------------

Retail Offer Valid to:	08/31/2024
------------------------	------------

Description:	TV370 Cab HF
--------------	--------------

UNITS OFFERED			
<b>Unit # 1 TV370B T4 FINAL</b>		List Price	98,252.00
Vehicle / Quote Number:	0019381738	Offered Price	74,900.00
Sales Order Number:	0087574397		
VIN/Serial #:	NRM460860		
Financed By	CNH Industrial Capital		
Rate Type			
Finance Program	N/A		

<b>Total</b>	\$74,900.00
--------------	-------------

<b>Down Payment</b>	\$-0.00
---------------------	---------

<b>Total Offer Value</b>	<b>\$74,900.00</b>
--------------------------	--------------------



<b>Vehicle Configuration</b>
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<b>Vehicle / Quote Number: 0019381738, 0087574397</b>					
---	--	--	--	--	--

NORMAL	NORMAL OFFER		463739	STEEL LIGHTS	
CASE	CASE		8500147	450 MM (17.7 INCH)	
TV370BR	TV370B-RG		761069	HIGH FLOW AUXILIARY	
CE-NA	CE-NA		761165	RIDE CONTROL	
	Base price	84,407.00	761323	SELF LEVEL-E-H	
761300	BASE-E-H		761334	MULTIFUNC NO RD LGTS	
761031	2 SPEED E-H CONTROLS		761328	ENGLISH	
761311	E-H CAB LCD DISPLAY	4,951.00	761205	HEAVY DUTY REAR DOOR	
761037	HIGH FLOW PLUS PACKAGE	2,969.00	464483	EH2 PLATINUM CAB3	
761042	E-H CONTROLS		761371	STANDARD TRACK	
761326	BLOCK HEATER		480039	5YR CUSTOMER PORTAL	
761314	HVAC CAB		480031	CONNECTIVITY NA	
725690	CAB SIDE WINDOWS		761148	78" BOLT ON CUTTING EDGE	360.00
761157	DEMO FRONT DOOR	1,882.00	761133	78" LOW PROFILE EXTENDED	2,088.00
761173	FLOOR MAT E-H CONTROLS		761325	HYDRAULIC COUPLER	1,015.00
761062	AIR RIDE SUSPENSION SEAT	580.00		<b>Total List Price</b>	<b>\$98,252.00</b>

General Update, Law Enforcement Matters.



## CITY OF GLUCKSTADT

MISSISSIPPI

OFFICE OF THE POLICE DEPARTMENT

343 Distribution Drive, Gluckstadt, Mississippi 39110

### MEMORANDUM

---

**To:** Mayor & Board of Alderman  
**From:** Barry Hale, Police Chief  
**Date:** August 26, 2024  
**Subject:** General Update, Police Department

---

The Police Chief will provide a brief update on the below police department matters.

Items:

- Stats (Tickets)
- Arrests
- Accidents Worked
- Warrants Served
- New Police Building
- Training





**MAYOR**

Walter C. Morrison, IV

**CITY CLERK**

Lindsay Kellum

**POLICE CHIEF**

Barry Hale

**MUNICIPAL COURT  
CLERK**

Stephanie Gerlach

**PLANNING & ZONING  
ADMIN./BUILDING  
DEPT.**

William Hall

**PUBLIC WORKS**

Chris Buckner

**CITY OF GLUCKSTADT**

MISSISSIPPI



**343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110**

**ALDERMEN**

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

**MEMORANDUM**

**TO:** Mayor & Board of Alderman

**FROM:** Barry Hale, Chief of Police

**DATE:** Wednesday, August 21, 2024

**SUBJECT: Requesting approval for The 20 Quote for Monthly Recurring Services for the Police Department Computer Network.**

I am requesting the Mayor and Board of Alderman approve The 20 Quote for Monthly Recurring Services for the Police Department Computer Network. This quote includes the firewall, network switch, monitoring, and maintenance.

Thank you,

Barry W. Hale  
Chief of Police







2-Aug-24  
 City Of Gluckstadt  
 Police Office

Monthly Recurring Services

Location Fee	QTY	Ea	Price
Includes Firewall, network switch, monitoring, maintenance	1	\$250	\$250
Firewall			\$ 44.15
Firewall Mounting Kit			\$ 7.17
Firewall Warranty			\$ 20.91
Network Switch			\$ 23.52
Monitoring, Support, Maintenance			\$ 154.25
Workstation			
Includes Security Software, updates, monitoring, support	7	\$25	\$175
		Total	\$425

**MAYOR**

Walter C. Morrison, IV

**CITY CLERK**

Lindsay Kellum

**POLICE CHIEF**

Barry Hale

**MUNICIPAL COURT  
CLERK**

Stephanie Gerlach

**PLANNING & ZONING  
ADMIN./BUILDING  
DEPT.**

William Hall

**PUBLIC WORKS**

Chris Buckner

**CITY OF GLUCKSTADT**

MISSISSIPPI



**343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110**

**ALDERMEN**

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

**MEMORANDUM**

**TO:** Mayor & Board of Alderman

**FROM:** Barry Hale, Chief of Police

**DATE:** Friday, September 06, 2024

**SUBJECT: Request approval to purchase building signage for the police department & municipal court.**

I am requesting the Mayor and Board of Alderman approve the best and lowest quote from West Architectural Specialties, Inc. priced at \$62,525.00. The second quote is from A & B Construction Specialties, LLC priced at \$71,500.00.

Sincerely,

Chief Barry W. Hale  
Gluckstadt Police Department





Attached please find the proposal for the signage package that you requested last week.

As we discussed the interior signage that was shown did not meet ADA code requirements and regardless of being accessed by the public in certain areas, all of the signage has to meet ADA code. So we have made that happen based on the package we are quoting.

I have quoted the interior letters as aluminum plate cut letters in lieu of cast as they normally have a better appearance in an interior gypsum wall setting.  
Exterior letters are cast aluminum.

Not quite certain on the pediment sign and I have quoted it as all of the letter and seal components are cast aluminum, with a metal backer plate mounted on the masonry wall and cast components on top of the metal.

There are 2 other options that can be done: 1. A metal panel with lettering and the seals painted on these panels and then attached to the masonry  
2. a cast aluminum plaque (multiple sections due to width) mounted directly to the masonry.  
With that being said, our quote will cover option one as listed above, but if option 2 is what they intended, I will have to adjust my pricing for those size plaques.

Let me know if you have any questions or required any additional information.

Thanks,

Keith

M. Keith West, FCSI, CCPR, CDT  
West Architectural Specialties, Inc.  
291 Highway 51, Suite E-6  
Ridgeland, MS 39157

Phone: 601 / 853-9908

**Chris Deupree**

---

**From:** Keith West <Keith@westarchspec.net>  
**Sent:** Thursday, September 5, 2024 6:22 PM  
**To:** Chris Deupree  
**Subject:** FW: Gluckstadt Signage Package quote  
**Attachments:** Quote Benchmark Const 08152024 Gluckstadt Signage package.pdf

Chris,

Best way to get it to you.

Attached quote is broken down as follows (follows the sequence of the original quote):

Interior Signage:

Interior room signs (upper portion of the quote) is furnished and installed for \$ 5,000.00

Interior letters and logo seal (in courtroom) is furnished and installed for \$ 7,675.00

Exterior Signage:

Building Signs are furnished and installed for \$ 34,965.00

Pediment sign are furnished and installed for \$ 17,785.00

If further reductions are required, the largest item is the 2 ea. 62" diameter seals on the building.

Let me know.

Thanks,

Keith

M. Keith West, FCSI, CCPR, CDT  
West Architectural Specialties, Inc.  
291 Highway 51, Suite E-6  
Ridgeland, MS 39157

Phone: 601 / 853-9908

---

**From:** Keith West <Keith@westarchspec.net>  
**Sent:** Thursday, August 15, 2024 10:27 AM  
**To:** 'Chris Deupree' <cdeupree@benchmarkms.com>  
**Subject:** Gluckstadt Signage Package quote

Good morning.



# QUOTATION

291 Highway 51, Suite E-6  
Ridgeland, MS 39157  
Phone: 601/853-9908



P. O. Box 1828  
Ridgeland, MS 39158-1828  
Fax: 601/853-9921

**To: Benchmark Construction**

**Date: 08.15.2024**

**PROJECT: Police Department / Municipal Court Building, Gluckstadt, Mississippi**

**Addenda Acknowledged: None**

We propose to furnish for the above project materials listed below:

**Signage Package: as requested & as identified below**

**Interior Signage:**

- 27 ea. 6" x 8" room ID signs with printed seal & room number / identification
- 8 ea. 6" x 8" room ID signs with printed seal, room number, & 2 window slots for inserts by others
- 1 ea. 8" x 8" 2-sided directional sign with flag mount bracket
- 7 ea. 8" x 6" restroom signs
- 2 ea. 6" x 8" support room signs
- Room signs all meet ADA code requirements. Standard color selections

- 1 ea. 48" diameter cast aluminum seal / Courtroom
- 1 ea. set 8" plate aluminum letters / COURTROOM
- 1 ea. set 6" plate aluminum letters / COURT SERVICES

**Exterior Signage:**

**Building Signs:**

- 2 ea. sets 12" cast aluminum letters / GLUCKSTADT POLICE DEPARTMENT
- 1 ea. set 12" cast aluminum letters / MUNICIPAL COURT
- 2 ea. 62" diameter cast aluminum city seals

**Pediment Signs:**

- 2 ea. 30" diameter cast aluminum city seals
- 2 ea. sets 5" cast aluminum letters / GLUCKSTADT POLICE DEPARTMENT
- 2 ea. sets 5" cast aluminum letters / MUNICIPAL COURT
- 2 ea. 84" w x 42" h metal backer plates
- 2 ea. 84" w x 9" h metal backer plates

All letters and backer plates limited to standard finish color selections

Excludes MASONRY PORTION OF PEDIMENT SIGN.

FURNISHED AND INSTALLED FOR THE SUM OF.....\$ 62,525.00

**Note: Due to current fluctuations in stainless steel and aluminum prices, we are required to review all pricing after 30 days prior to accepting a purchase order for any products containing stainless steel or aluminum.**

**INSTALLATION AVAILABLE ON ALL MATERIALS UPON REQUEST, IF NOT SHOWN ABOVE**

**F.O.B. Factory, Freight allowed jobsite**

**MS COR# 17654-SC**

**Taxes: Not Included**

**TERMS: NET, 30 DAYS**

**By: M. Keith West, FCSI, CCPR \*\***

**Accepted:** \_\_\_\_\_

**This proposal is subject to the approval of the architect.**

Prices subject to change 30 days after date, and subject to acceptance by our suppliers. All agreements contingent upon strikes, accidents, or delays unavoidable or beyond our control.



**A&B Construction Specialties, LLC**

858 Foley St.

Jackson, MS 39202

Ph. 769-257-5876 Fax 769-257-5925

Rick Anthony Cell 601-506-6618 Mike Baugh Cell 601-842-6219

**Quotation**

Date: 8-16-2024

**To: Benchmark Construction**

**Project: Gluckstadt Police Station**

**Gluckstadt, MS**

**Architect:**

**Based On: Items and Quantities Listed below-**

**We propose to furnish: F.O.B. Factory-Freight Allowed-**

**Signage Package: All Exterior and Interior Signage per information provided--\$71,500.00 Installed**

**Price Terms: Net 30 Days-All applicable taxes to be added.**

**Accepted:**

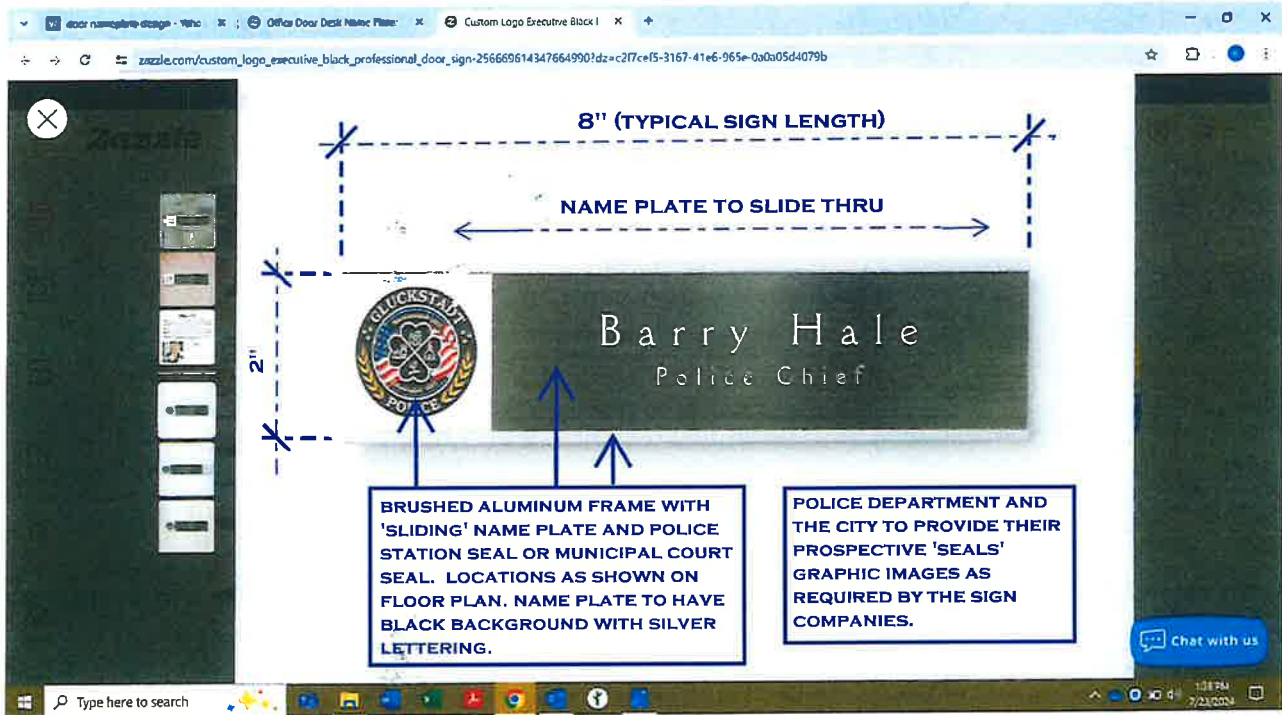
**Buyer \_\_\_\_\_ A&B Construction Specialties,LLC**

**By: \_\_\_\_\_ Est. By\_\_Rick Anthony**

**Title \_\_\_\_\_ Date \_\_\_\_\_**



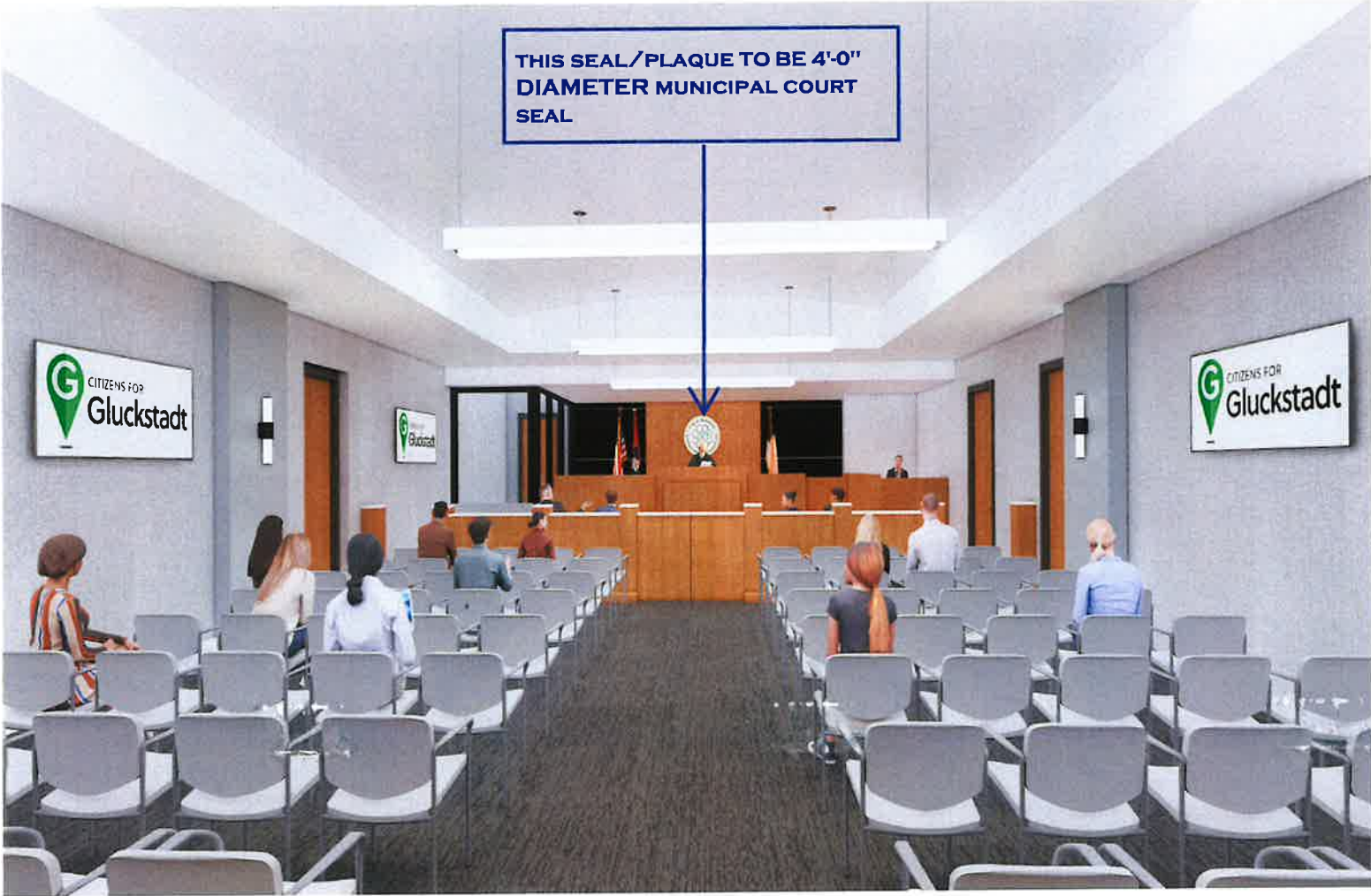






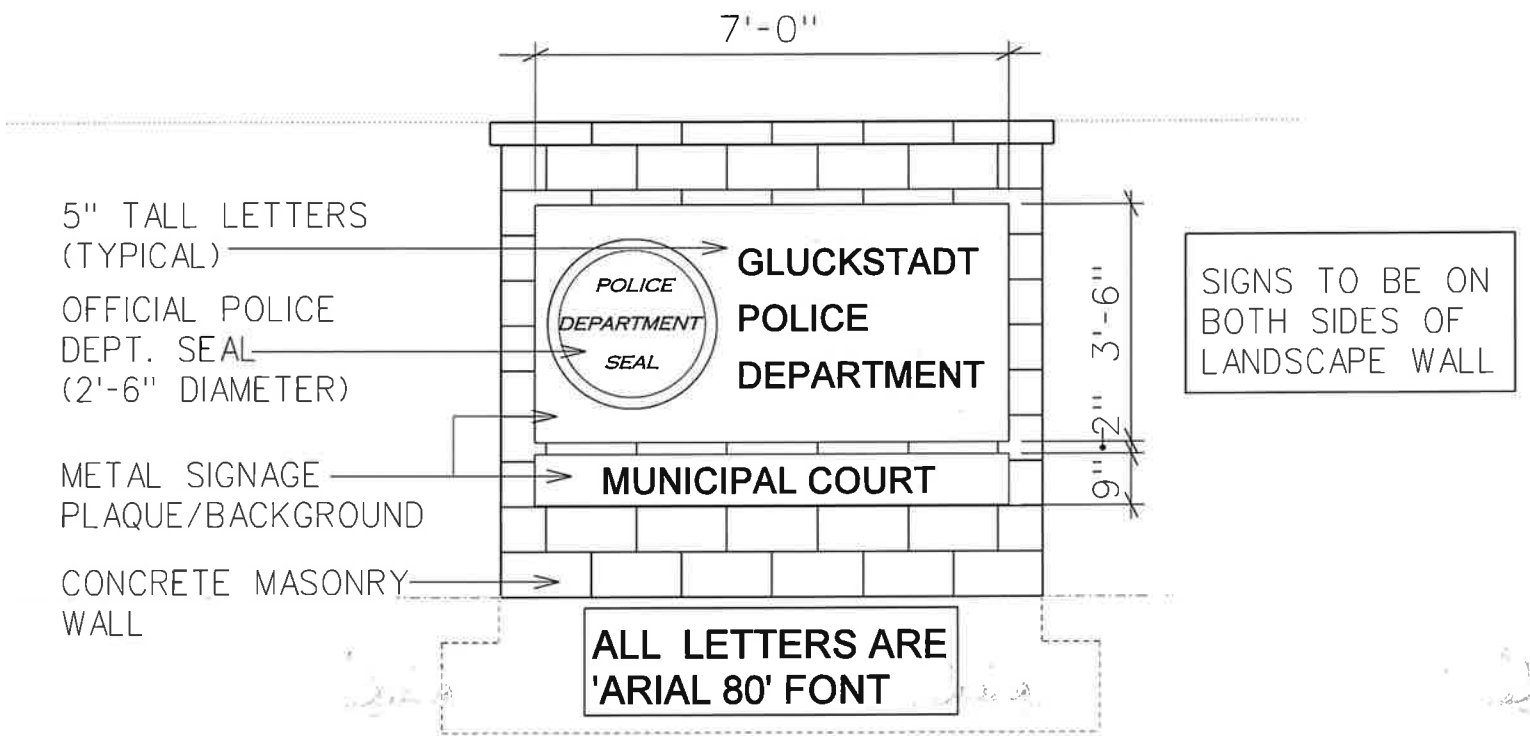


CONFIRM THIS LETTERING.  
"COURTROOM" OR  
"MUNICIPAL COURT"











**Barry Hale**

---

**From:** Alan Grant <agrant@deandean.com>  
**Sent:** Friday, September 6, 2024 2:21 PM  
**To:** Barry Hale  
**Subject:** FW: Gluckstadt Signage Package quote  
**Attachments:** Quote Benchmark Const 08152024 Gluckstadt Signage package.pdf

Barry,

See below. Adding the Plaque to the building will be \$2,250 bringing the total to \$64,775.

Thanks  
Alan.

**J. Alan Grant, AIA, NCARB | Principal**

**Dean Architecture, P.A.**  
661 Sunnybrook Road, Suite 140  
Ridgeland, MS 39157 | 601.939.7717 Ext 120  
agrant@deandean.com  
www.deandean.com

**From:** Chris Deupree <cdeupree@benchmarkms.com>  
**Sent:** Friday, September 6, 2024 2:19 PM  
**To:** John Dant <jdant@deandean.com>; Alan Grant <agrant@deandean.com>  
**Cc:** David Marsh <dmarsh@benchmarkms.com>  
**Subject:** FW: Gluckstadt Signage Package quote

Here is the plaque price and the seal deduct. The total with the plaque is \$64,775.00

Chris Deupree  
Senior Estimator  
**Benchmark Construction Co.**  
1867 Crane Ridge Dr  
Suite 200-A  
Jackson, Ms. 39216

**From:** Keith West <[Keith@westarchspec.net](mailto:Keith@westarchspec.net)>  
**Sent:** Friday, September 6, 2024 2:15 PM  
**To:** Chris Deupree <[cdeupree@benchmarkms.com](mailto:cdeupree@benchmarkms.com)>  
**Subject:** FW: Gluckstadt Signage Package quote

Chris,

Round three:

Adding 1 ea. 24" x 36" cast aluminum plaque (no logos or artwork included, as they would add to the cost) will be \$ 2,250.00

Deducting one each of the large exterior seals on the tower will create a deduct of \$ 8,800.00 from the 34,965.00.

All the others remain the same.

Call with any questions.

Thanks,

Keith

M. Keith West, FCSI, CCPR, CDT  
West Architectural Specialties, Inc.  
291 Highway 51, Suite E-6  
Ridgeland, MS 39157

Phone: 601 / 853-9908

**From:** Keith West <[Keith@westarchspect.net](mailto:Keith@westarchspect.net)>  
**Sent:** Thursday, September 5, 2024 6:22 PM  
**To:** 'Chris Deupree' <[cdeupree@benchmarkms.com](mailto:cdeupree@benchmarkms.com)>  
**Subject:** FW: Gluckstadt Signage Package quote

Chris,

Best way to get it to you.

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Building Signs are furnished and installed for \$ 34,965.00

Pediment sign are furnished and installed for \$ 17,785.00

If further reductions are required, the largest item is the 2 ea. 62" diameter seals on the building.

Let me know.

Thanks,

Keith



M. Keith West, FCSI, CCPR, CDT  
West Architectural Specialties, Inc.  
291 Highway 51, Suite E-6  
Ridgeland, MS 39157

Phone: 601 / 853-9908

---

**From:** Keith West <[Keith@westarchspec.net](mailto:Keith@westarchspec.net)>  
**Sent:** Thursday, August 15, 2024 10:27 AM  
**To:** 'Chris Deupree' <[cdeupree@benchmarkms.com](mailto:cdeupree@benchmarkms.com)>  
**Subject:** Gluckstadt Signage Package quote

Good morning.

Attached please find the proposal for the signage package that you requested last week.

As we discussed the interior signage that was shown did not meet ADA code requirements and regardless of being accessed by the public in certain areas, all of the signage has to meet ADA code. So we have made that happen based on the package we are quoting.

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Let me know if you have any questions or required any additional information.

Thanks,

Keith

M. Keith West, FCSI, CCPR, CDT  
West Architectural Specialties, Inc.  
291 Highway 51, Suite E-6  
Ridgeland, MS 39157

Phone: 601 / 853-9908

**Barry Hale**

---

**From:** Alan Grant <agrant@deandean.com>  
**Sent:** Monday, September 9, 2024 8:44 AM  
**To:** Walter Morrison  
**Cc:** Barry Hale; Lindsay Kellum; Chris Deupree; David Marsh; John Dant  
**Subject:** RE: Gluckstadt PD and Municipal Court - Signage  
**Attachments:** Exterior building and entry wall signage\_8.5.2024.pdf; Interior Signage Information\_8.5.2024.pdf; Signage requote.pdf

Yes. Signage typically gets paid for with an allowance in the job or the owner's budget outside the contract.

In an effort to save some cost, we could cut back on signage, but we would need some direction from Barry and his team on where he would want to cut back. We can make some suggestions for consideration.

For instance, the 2 seals on the building are worth \$17,600 (\$8,800 each). Keep in mind there are 2 seals on the monument sign as well. Do we need all of them? Just something to consider.

Let me know if we need to take a second look at the total signage package to help reduce some costs. There is a cost breakdown of Interior vs Exterior signage included in the quote.

Thanks  
 Alan.

**J. Alan Grant, AIA, NCARB | Principal**

**Dean Architecture, P.A.**

661 Sunnybrook Road, Suite 140  
 Ridgeland, MS 39157 | 601.939.7717 Ext 120  
 agrant@deandean.com  
 www.deandean.com

**From:** Walter Morrison <walter.morrison@gluckstadt.net>  
**Sent:** Monday, September 9, 2024 8:17 AM  
**To:** Alan Grant <agrant@deandean.com>  
**Cc:** Barry Hale <barry.hale@gluckstadt.net>; Lindsay Kellum <lindsay.kellum@gluckstadt.net>; Chris Deupree <cdeupree@benchmarkms.com>; David Marsh <dmarsh@benchmarkms.com>; John Dant <jdant@deandean.com>  
**Subject:** Re: Gluckstadt PD and Municipal Court - Signage

Was the plan all along to pay for signage from the contingency funds?

Walter C. Morrison IV  
 Sent from my iPhone

On Sep 9, 2024, at 7:34 AM, Alan Grant <agrant@deandean.com> wrote:



Barry,

Good Morning. Following up on our discussions last week on signage. We need approval and authorization to use the contingency money to purchase the signage for the building. We need this as soon as possible so they can start the manufacturing process. As of now, that process has not started.

Attached are the 2 quotes received by Benchmark along with the signage package. The only addition to this package is the building plaque. The following is a breakdown of costs not including GC fees and taxes:

Low Signage Quote: \$62, 525

Building Plaque: \$2,250

Total Signage Package: \$64,775 (not including GC fees, taxes, etc)

Remaining Contingency: \$75,725 (note: this money is already in the contract and not additional)

Please let us know if we can release the GC to start on signage.

Call me if you have any questions

Thanks

Alan.

J. Alan Grant, AIA, NCARB | Principal

<image001.png>

661 Sunnybrook Rd, Ste 140

Ridgeland, MS 39157 | 601.939.7717 Ext. 120

[agrant@deandean.com](mailto:agrant@deandean.com)

[deandean.com](http://deandean.com)

<Signage requote.pdf>

<Interior Signage Information\_8.5.2024.pdf>

<Exterior building and entry wall signage\_8.5.2024.pdf>

## Barry Hale

---

**From:** Alan Grant <agrant@deandean.com>  
**Sent:** Monday, September 9, 2024 8:52 AM  
**To:** Barry Hale; Lindsay Kellum; Walter Morrison  
**Cc:** Chris Deupree; 'David Marsh'; John Dant  
**Subject:** RE: Gluckstadt PD and Municipal Court - Signage

Thanks Barry.

Let me know if we need to look at cutting some to save some money. We will help in any way we can.

Thanks  
 Alan.

**J. Alan Grant, AIA, NCARB | Principal**

### Dean Architecture, P.A.

661 Sunnybrook Road, Suite 140  
 Ridgeland, MS 39157 | 601.939.7717 Ext 120  
 agrant@deandean.com  
 www.deandean.com

**From:** Barry Hale <barry.hale@gluckstadt.net>  
**Sent:** Monday, September 9, 2024 8:51 AM  
**To:** Alan Grant <agrant@deandean.com>; Lindsay Kellum <lindsay.kellum@gluckstadt.net>; Walter Morrison <walter.morrison@gluckstadt.net>  
**Cc:** Chris Deupree <cdeupree@benchmarkms.com>; 'David Marsh' <dmarsh@benchmarkms.com>; John Dant <jdant@deandean.com>  
**Subject:** Re: Gluckstadt PD and Municipal Court - Signage

Hey Alan, it's going before the board tomorrow night and once it's approved, we can proceed. It will be Wednesday before I can give you the go ahead.

Thank you,  
 Chief Barry Wayne Hale  
 Get [Outlook for iOS](#)

---

**From:** Alan Grant <agrant@deandean.com>  
**Sent:** Monday, September 9, 2024 7:33:25 AM  
**To:** Barry Hale <barry.hale@gluckstadt.net>; Lindsay Kellum <lindsay.kellum@gluckstadt.net>; Walter Morrison <walter.morrison@gluckstadt.net>  
**Cc:** Chris Deupree <cdeupree@benchmarkms.com>; 'David Marsh' <dmarsh@benchmarkms.com>; John Dant <jdant@deandean.com>  
**Subject:** Gluckstadt PD and Municipal Court - Signage

Barry,

Good Morning. Following up on our discussions last week on signage. We need approval and authorization to use the contingency money to purchase the signage for the building. We need this as soon as possible so they can start the manufacturing process. As of now, that process has not started.





Attached are the 2 quotes received by Benchmark along with the signage package. The only addition to this package is the building plaque. The following is a breakdown of costs not including GC fees and taxes:

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Please let us know if we can release the GC to start on signage.

Call me if you have any questions

Thanks

Alan.

J. Alan Grant, AIA, NCARB | Principal



661 Sunnybrook Rd, Ste 140

Ridgeland, MS 39157 | 601.939.7717 Ext. 120

[agrant@deandean.com](mailto:agrant@deandean.com)

[deandean.com](http://deandean.com)





**MAYOR**

Walter C. Morrison, IV

**CITY CLERK**

Lindsay Kellum

**POLICE CHIEF**

Barry Hale

**MUNICIPAL COURT  
CLERK**

Stephanie Gerlach

**PLANNING & ZONING  
ADMIN./BUILDING  
DEPT.**

William Hall

**PUBLIC WORKS**

Chris Buckner

**CITY OF GLUCKSTADT**

MISSISSIPPI



**343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110**

**ALDERMEN**

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

**MEMORANDUM**

**TO:** Mayor & Board of Alderman

**FROM:** Barry Hale, Chief of Police

**DATE:** Monday, September 09, 2024

**SUBJECT: Requesting approval for change order # 4 for the new police department.**

I am requesting the Mayor and Board of Alderman approve change order # 4 for the new police department. The Mayor and Board of Alderman were notified last board meeting of the change order extending the time for Benchmark to finish construction but wasn't approved at that meeting.

Thank you.

Barry W. Hale  
Chief of Police





# AIA® Document G701® – 2017

## Change Order

<b>PROJECT:</b> <i>(Name and address)</i> City of Gluckstadt Police Station and Municipal Court Gluckstadt, MS	<b>CONTRACT INFORMATION:</b> Contract For: General Construction Date: July 5, 2023	<b>CHANGE ORDER INFORMATION:</b> Change Order Number: 004 Date: August 14, 2024
<b>OWNER:</b> <i>(Name and address)</i> City of Gluckstadt 343 Distribution Drive Madison, MS 39110	<b>ARCHITECT:</b> <i>(Name and address)</i> Dean Architecture, P.A. 661 Sunnybrook Road, Ste 140 Ridgland, MS 39157	<b>CONTRACTOR:</b> <i>(Name and address)</i> Benchmark Construction Corporation 1867 Crane Ridge Dr., Ste 200-A Jackson, MS 39216

**THE CONTRACT IS CHANGED AS FOLLOWS:**

*(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)*

Per Benchmark Construction's request dated 8/5/2024: Add a total of Forty-Eight (48) days to the contract time due to weather-rain days and delays due to Entergy's obligation to storm work/repairs in another state.

TOTAL ADD C.O. #4 : ADD 48 Day(s) Extension of Time

The original Contract Sum was	\$ 6,955,000.00
The net change by previously authorized Change Orders	\$ 180,344.00
The Contract Sum prior to this Change Order was	\$ 7,135,344.00
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 7,135,344.00

The Contract Time will be increased by Forth-Eight (48) days.  
The new date of Substantial Completion will be October 8, 2024

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

<u>Dean Architecture, P.A.</u> ARCHITECT <i>(Firm name)</i>	<u>Benchmark Construction Corporation</u> CONTRACTOR <i>(Firm name)</i>	<u>City of Gluckstadt</u> OWNER <i>(Firm name)</i>
 SIGNATURE	 SIGNATURE	 SIGNATURE
J. Alan Grant, AIA, NCARB, Principal	David Marsh, President	Walter C. Morrison, IV, Mayor
PRINTED NAME AND TITLE	PRINTED NAME AND TITLE	PRINTED NAME AND TITLE
8/14/24 DATE	8-14-24 DATE	 DATE



UPDATED TO DATE

08/05/2024

Rain days to date based on previous data  
Gluckstadt Police Department and Municipal Court

August '23	0
September '23	0
October '23	0
November '23	9 days less average of 5 is 4 days
December '23	9 days less average of 7 is 2 days
January '24	12 days less average of 7 is 5 days
February '24	5 days less average of 6 is 0 days
March '24	11 days less average of 7 is 4 days
April '24	9 days less average of 5 is 4 days
May	will be added after the end of the month.
May 24'	10 days less average of 6 is 4 days
June 24'	11 days less average of 6 is 5 days

As of today, we have documented 76 days of rain, less the average days of 49, gives us 27 days of rain as of the current date complete through July and request these days be added to the official deadline. Every months rain days have been documented monthly with proper documents from the National Weather Service data.

ALSO:

ENERGY NOTICE: Based on the attached e-mails from our electrician and the documents previously provided as well as the actual install date of August 1<sup>st</sup>. we have suffered a total of 48 days of delay due to the delay by Entergy because of the repairs due to the damages in another state that Entergy was required to respond to.

As the two delays are to some extent coexisting we will only need the longer of the two as an extension. That being the Entergy Delay.

Thank you so much

Chris Deupree



Climatological Data for Jackson Area, MS (ThreadEx) - August 2023

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2023-08-01	99	75	87.0	4.5	0	22	0.00	0.0	0
2023-08-02	102	76	89.0	6.5	0	24	0.00	0.0	0
2023-08-03	102	77	89.5	7.0	0	25	0.00	0.0	0
2023-08-04	103	80	91.5	9.0	0	27	0.00	0.0	0
2023-08-05	104	79	91.5	9.0	0	27	0.00	0.0	0
2023-08-06	101	79	90.0	7.5	0	25	0.00	0.0	0
2023-08-07	98	79	88.5	6.1	0	24	0.00	0.0	0
2023-08-08	92	75	83.5	1.1	0	19	T	0.0	0
2023-08-09	102	76	89.0	6.6	0	24	0.00	0.0	0
2023-08-10	101	81	91.0	8.6	0	26	0.00	0.0	0
2023-08-11	102	82	92.0	9.7	0	27	0.00	0.0	0
2023-08-12	104	80	92.0	9.7	0	27	0.00	0.0	0
2023-08-13	105	75	90.0	7.8	0	25	0.00	0.0	0
2023-08-14	105	78	91.5	9.3	0	27	0.00	0.0	0
2023-08-15	94	72	83.0	0.9	0	18	0.00	0.0	0
2023-08-16	90	68	79.0	-3.1	0	14	0.00	0.0	0
2023-08-17	96	64	80.0	-2.0	0	15	0.00	0.0	0
2023-08-18	103	66	84.5	2.6	0	20	0.00	0.0	0
2023-08-19	104	73	88.5	6.7	0	24	0.00	0.0	0
2023-08-20	103	74	88.5	6.7	0	24	0.00	0.0	0
2023-08-21	103	74	88.5	6.8	0	24	0.00	0.0	0
2023-08-22	103	75	89.0	7.4	0	24	0.00	0.0	0
2023-08-23	103	77	90.0	8.5	0	25	0.00	0.0	0
2023-08-24	106	78	92.0	10.6	0	27	0.07	0.0	0
2023-08-25	105	78	91.5	10.2	0	27	0.00	0.0	0
2023-08-26	105	73	89.0	7.9	0	24	0.00	0.0	0
2023-08-27	98	75	86.5	5.5	0	22	0.00	0.0	0
2023-08-28	93	77	85.0	4.1	0	20	0.00	0.0	0
2023-08-29	95	76	85.5	4.8	0	21	T	0.0	0
2023-08-30	95	72	83.5	2.9	0	19	0.00	0.0	0
2023-08-31	93	71	82.0	1.6	0	17	0.00	0.0	0
<b>Sum</b>	3109	2335	-	-	0	714	0.07	0.0	-
<b>Average</b>	100.3	75.3	87.8	6.0	-	-	-	-	0.0
<b>Normal</b>	92.2	71.5	81.8	-	0	522	4.69	0.0	-

<b>Observations for each day cover the 24 hours ending at the time given below (Local Standard Time).</b>
Max Temperature : midnight
Min Temperature : midnight
Precipitation : midnight
Snowfall : unknown
Snow Depth : unknown

Climatological Data for Jackson Area, MS (ThreadEx) - September 2023

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2023-09-01	95	70	82.5	2.2	0	18	0.00	0.0	0
2023-09-02	98	75	86.5	6.4	0	22	0.00	0.0	0
2023-09-03	98	76	87.0	7.1	0	22	0.00	0.0	0
2023-09-04	98	74	86.0	6.2	0	21	0.00	0.0	0
2023-09-05	96	75	85.5	5.9	0	21	0.01	0.0	0
2023-09-06	95	73	84.0	4.6	0	19	0.06	0.0	0
2023-09-07	99	71	85.0	5.8	0	20	0.00	0.0	0
2023-09-08	92	70	81.0	2.0	0	16	0.00	0.0	0
2023-09-09	92	65	78.5	-0.3	0	14	0.00	0.0	0
2023-09-10	90	65	77.5	-1.0	0	13	0.00	0.0	0
2023-09-11	96	64	80.0	1.7	0	15	0.00	0.0	0
2023-09-12	96	67	81.5	3.4	0	17	0.00	0.0	0
2023-09-13	86	73	79.5	1.7	0	15	0.03	0.0	0
2023-09-14	84	70	77.0	-0.6	0	12	0.08	0.0	0
2023-09-15	92	70	81.0	3.7	0	16	0.00	0.0	0
2023-09-16	94	67	80.5	3.5	0	16	0.00	0.0	0
2023-09-17	92	62	77.0	0.2	0	12	0.00	0.0	0
2023-09-18	91	58	74.5	-2.0	0	10	0.00	0.0	0
2023-09-19	93	55	74.0	-2.2	0	9	0.00	0.0	0
2023-09-20	94	65	79.5	3.6	0	15	0.00	0.0	0
2023-09-21	95	67	81.0	5.4	0	16	0.00	0.0	0
2023-09-22	95	69	82.0	6.7	0	17	0.00	0.0	0
2023-09-23	95	71	83.0	8.0	0	18	0.00	0.0	0
2023-09-24	89	71	80.0	5.4	0	15	0.00	0.0	0
2023-09-25	93	70	81.5	7.2	0	17	0.74	0.0	0
2023-09-26	93	68	80.5	6.5	0	16	0.00	0.0	0
2023-09-27	93	68	80.5	6.9	0	16	0.00	0.0	0
2023-09-28	88	64	76.0	2.7	0	11	0.00	0.0	0
2023-09-29	93	62	77.5	4.6	0	13	0.00	0.0	0
2023-09-30	95	62	78.5	5.9	0	14	0.00	0.0	0
<b>Sum</b>	2800	2037	-	-	0	476	0.92	0.0	-
<b>Average</b>	93.3	67.9	80.6	3.7	-	-	-	-	0.0
<b>Normal</b>	87.8	66.0	76.9	-	3	360	3.48	0.0	-

Observations for each day cover the 24 hours ending at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown

Snow Depth : unknown



## Climatological Data for Jackson Area, MS (ThreadEx) - October 2023

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2023-10-01	91	63	77.0	4.8	0	12	0.00	0.0	0
2023-10-02	90	63	76.5	4.7	0	12	0.00	0.0	0
2023-10-03	90	61	75.5	4.0	0	11	0.00	0.0	0
2023-10-04	90	64	77.0	5.9	0	12	0.00	0.0	0
2023-10-05	84	68	76.0	5.3	0	11	0.02	0.0	0
2023-10-06	83	68	75.5	5.2	0	11	0.06	0.0	0
2023-10-07	74	47	60.5	-9.4	4	0	0.00	0.0	0
2023-10-08	76	40	58.0	-11.5	7	0	0.00	0.0	0
2023-10-09	84	45	64.5	-4.6	0	0	0.00	0.0	0
2023-10-10	86	55	70.5	1.8	0	6	0.00	0.0	0
2023-10-11	70	61	65.5	-2.8	0	1	0.15	0.0	0
2023-10-12	72	60	66.0	-1.9	0	1	T	0.0	0
2023-10-13	84	65	74.5	7.0	0	10	0.00	0.0	0
2023-10-14	74	61	67.5	0.4	0	3	0.00	0.0	0
2023-10-15	68	50	59.0	-7.7	6	0	T	0.0	0
2023-10-16	69	46	57.5	-8.8	7	0	0.00	0.0	0
2023-10-17	74	41	57.5	-8.3	7	0	0.00	0.0	0
2023-10-18	79	44	61.5	-3.9	3	0	0.00	0.0	0
2023-10-19	82	52	67.0	2.0	0	2	0.00	0.0	0
2023-10-20	89	57	73.0	8.4	0	8	0.00	0.0	0
2023-10-21	89	48	68.5	4.3	0	4	0.00	0.0	0
2023-10-22	92	57	74.5	10.7	0	10	0.00	0.0	0
2023-10-23	92	61	76.5	13.1	0	12	0.00	0.0	0
2023-10-24	87	63	75.0	12.0	0	10	0.00	0.0	0
2023-10-25	87	59	73.0	10.4	0	8	0.00	0.0	0
2023-10-26	86	61	73.5	11.3	0	9	0.00	0.0	0
2023-10-27	89	69	79.0	17.2	0	14	0.00	0.0	0
2023-10-28	88	65	76.5	15.1	0	12	0.00	0.0	0
2023-10-29	87	60	73.5	12.5	0	9	0.00	0.0	0
2023-10-30	73	45	59.0	-1.6	6	0	0.01	0.0	0
2023-10-31	59	40	49.5	-10.8	15	0	0.00	0.0	0
<b>Sum</b>	2538	1739	-	-	55	188	0.24	0.0	-
<b>Average</b>	81.9	56.1	69.0	2.8	-	-	-	-	0.0
<b>Normal</b>	78.3	54.2	66.2	-	87	126	3.80	0.0	-

Observations for each day cover the 24 hours ending  
at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown

Snow Depth : unknown

## Climatological Data for Jackson Area, MS (ThreadEx) - November 2023

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2023-11-01	57	31	44.0	-15.9	21	0	0.00	0.0	0
2023-11-02	66	27	46.5	-13.0	18	0	0.00	0.0	0
2023-11-03	75	33	54.0	-5.2	11	0	0.00	0.0	0
2023-11-04	79	42	60.5	1.7	4	0	0.00	0.0	0
2023-11-05	80	43	61.5	3.0	3	0	0.00	0.0	0
2023-11-06	84	47	65.5	7.4	0	1	0.00	0.0	0
2023-11-07	85	55	70.0	12.2	0	5	0.00	0.0	0
2023-11-08	87	60	73.5	16.1	0	9	0.00	0.0	0
2023-11-09	82	61	71.5	14.4	0	7	0.00	0.0	0
2023-11-10	67	57	62.0	5.2	3	0	0.33	0.0	0
2023-11-11	61	54	57.5	1.0	7	0	0.21	0.0	0
2023-11-12	67	57	62.0	5.8	3	0	0.00	0.0	0
2023-11-13	65	55	60.0	4.1	5	0	0.00	0.0	0
2023-11-14	66	55	60.5	4.9	4	0	0.48	0.0	0
2023-11-15	63	54	58.5	3.2	6	0	0.21	0.0	0
2023-11-16	71	58	64.5	9.5	0	0	T	0.0	0
2023-11-17	75	62	68.5	13.7	0	4	T	0.0	0
2023-11-18	73	44	58.5	4.0	6	0	0.00	0.0	0
2023-11-19	71	37	54.0	-0.2	11	0	0.00	0.0	0
2023-11-20	82	50	66.0	12.0	0	1	0.64	0.0	0
2023-11-21	64	49	56.5	2.8	8	0	0.01	0.0	0
2023-11-22	58	40	49.0	-4.5	16	0	0.00	0.0	0
2023-11-23	53	35	44.0	-9.2	21	0	T	0.0	0
2023-11-24	62	42	52.0	-1.0	13	0	0.01	0.0	0
2023-11-25	67	36	51.5	-1.3	13	0	0.00	0.0	0
2023-11-26	62	40	51.0	-1.6	14	0	0.09	0.0	0
2023-11-27	53	33	43.0	-9.4	22	0	0.00	0.0	0
2023-11-28	60	34	47.0	-5.1	18	0	0.00	0.0	0
2023-11-29	63	29	46.0	-5.9	19	0	0.00	0.0	0
2023-11-30	64	37	50.5	-1.2	14	0	0.10	0.0	0
<b>Sum</b>	2062	1357	-	-	260	27	2.08	0.0	-
<b>Average</b>	68.7	45.2	57.0	1.6	-	-	-	-	0.0
<b>Normal</b>	67.2	43.6	55.4	-	308	20	4.40	0.0	-

Observations for each day cover the 24 hours ending  
at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown

Snow Depth : unknown



## Climatological Data for Jackson Area, MS (ThreadEx) - December 2023

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2023-12-01	77	57	67.0	15.5	0	2	0.50	0.0	0
2023-12-02	69	60	64.5	13.1	0	0	0.05	0.0	0
2023-12-03	71	49	60.0	8.8	5	0	0.00	0.0	0
2023-12-04	66	46	56.0	5.0	9	0	0.00	0.0	0
2023-12-05	67	34	50.5	-0.3	14	0	0.00	0.0	0
2023-12-06	58	34	46.0	-4.6	19	0	0.00	0.0	0
2023-12-07	62	30	46.0	-4.4	19	0	0.00	0.0	0
2023-12-08	72	41	56.5	6.2	8	0	0.03	0.0	0
2023-12-09	78	54	66.0	15.9	0	1	1.07	0.0	0
2023-12-10	55	32	43.5	-6.4	21	0	T	0.0	0
2023-12-11	57	27	42.0	-7.8	23	0	0.00	0.0	0
2023-12-12	64	30	47.0	-2.6	18	0	0.00	0.0	0
2023-12-13	63	34	48.5	-1.0	16	0	0.00	0.0	0
2023-12-14	69	39	54.0	4.7	11	0	0.00	0.0	0
2023-12-15	70	46	58.0	8.8	7	0	0.00	0.0	0
2023-12-16	56	51	53.5	4.5	11	0	0.14	0.0	0
2023-12-17	59	38	48.5	-0.4	16	0	0.01	0.0	0
2023-12-18	62	34	48.0	-0.7	17	0	0.00	0.0	0
2023-12-19	56	34	45.0	-3.6	20	0	0.00	0.0	0
2023-12-20	61	31	46.0	-2.5	19	0	0.00	0.0	0
2023-12-21	61	33	47.0	-1.3	18	0	0.00	0.0	0
2023-12-22	70	45	57.5	9.3	7	0	0.00	0.0	0
2023-12-23	72	50	61.0	12.9	4	0	T	0.0	0
2023-12-24	64	59	61.5	13.5	3	0	0.67	0.0	0
2023-12-25	63	47	55.0	7.2	10	0	0.83	0.0	0
2023-12-26	57	38	47.5	-0.2	17	0	0.00	0.0	0
2023-12-27	61	35	48.0	0.4	17	0	0.00	0.0	0
2023-12-28	49	28	38.5	-9.0	26	0	0.00	0.0	0
2023-12-29	53	33	43.0	-4.4	22	0	0.00	0.0	0
2023-12-30	56	27	41.5	-5.8	23	0	0.00	0.0	0
2023-12-31	66	28	47.0	-0.2	18	0	0.00	0.0	0
<b>Sum</b>	1964	1224	-	-	418	3	3.30	0.0	-
<b>Average</b>	63.4	39.5	51.4	2.3	-	-	-	-	0.0
<b>Normal</b>	59.6	38.7	49.1	-	500	9	5.13	0.5	-

Observations for each day cover the 24 hours ending  
at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown

Snow Depth : unknown

## Climatological Data for Jackson Area, MS (ThreadEx) - January 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-01-01	54	35	44.5	-2.7	20	0	0.00	0.0	0
2024-01-02	53	25	39.0	-8.1	26	0	0.00	0.0	0
2024-01-03	55	30	42.5	-4.5	22	0	0.00	0.0	0
2024-01-04	56	26	41.0	-5.9	24	0	0.00	0.0	0
2024-01-05	54	28	41.0	-5.9	24	0	0.62	0.0	0
2024-01-06	50	41	45.5	-1.3	19	0	0.00	0.0	0
2024-01-07	59	34	46.5	-0.3	18	0	0.00	0.0	0
2024-01-08	58	34	46.0	-0.7	19	0	1.29	0.0	0
2024-01-09	57	35	46.0	-0.7	19	0	0.13	0.0	0
2024-01-10	57	30	43.5	-3.2	21	0	0.00	0.0	0
2024-01-11	70	41	55.5	8.8	9	0	0.00	0.0	0
2024-01-12	70	36	53.0	6.4	12	0	0.20	0.0	0
2024-01-13	55	26	40.5	-6.1	24	0	0.00	0.0	0
2024-01-14	50	30	40.0	-6.6	25	0	0.00	0.0	0
2024-01-15	34	19	26.5	-20.2	38	0	0.09	0.1	0
2024-01-16	27	15	21.0	-25.7	44	0	T	T	T
2024-01-17	42	10	26.0	-20.7	39	0	0.00	0.0	0
2024-01-18	56	27	41.5	-5.2	23	0	0.02	0.0	0
2024-01-19	47	26	36.5	-10.3	28	0	0.00	0.0	0
2024-01-20	36	22	29.0	-17.8	36	0	0.00	0.0	0
2024-01-21	46	19	32.5	-14.4	32	0	0.00	0.0	0
2024-01-22	62	32	47.0	0.0	18	0	0.00	0.0	0
2024-01-23	65	53	59.0	11.9	6	0	0.16	0.0	0
2024-01-24	65	62	63.5	16.4	1	0	4.04	0.0	0
2024-01-25	67	55	61.0	13.8	4	0	1.74	0.0	0
2024-01-26	65	53	59.0	11.7	6	0	0.10	0.0	0
2024-01-27	67	49	58.0	10.5	7	0	1.09	0.0	0
2024-01-28	49	34	41.5	-6.1	23	0	0.00	0.0	0
2024-01-29	61	31	46.0	-1.7	19	0	0.00	0.0	0
2024-01-30	74	35	54.5	6.7	10	0	0.00	0.0	0
2024-01-31	64	38	51.0	3.0	14	0	0.00	0.0	0
<b>Sum</b>	1725	1031	-	-	630	0	9.48	0.1	-
<b>Average</b>	55.6	33.3	44.5	-2.5	-	-	-	-	0.0
<b>Normal</b>	57.4	36.6	47.0	-	562	4	5.42	0.2	-

Observations for each day cover the 24 hours ending  
at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown

Snow Depth : unknown



## Climatological Data for Jackson Area, MS (ThreadEx) - February 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-02-01	65	32	48.5	0.4	16	0	0.00	0.0	0
2024-02-02	74	39	56.5	8.2	8	0	0.00	0.0	0
2024-02-03	61	46	53.5	5.0	11	0	0.62	0.0	0
2024-02-04	63	47	55.0	6.4	10	0	0.81	0.0	0
2024-02-05	64	43	53.5	4.7	11	0	0.03	0.0	0
2024-02-06	66	38	52.0	3.0	13	0	0.00	0.0	0
2024-02-07	70	34	52.0	2.8	13	0	0.00	0.0	0
2024-02-08	69	48	58.5	9.1	6	0	0.00	0.0	0
2024-02-09	75	61	68.0	18.4	0	3	0.00	0.0	0
2024-02-10	73	59	66.0	16.2	0	1	0.65	0.0	0
2024-02-11	73	57	65.0	15.0	0	0	2.84	0.0	0
2024-02-12	60	45	52.5	2.3	12	0	0.01	0.0	0
2024-02-13	60	37	48.5	-1.9	16	0	0.00	0.0	0
2024-02-14	67	33	50.0	-0.7	15	0	0.00	0.0	0
2024-02-15	72	40	56.0	5.1	9	0	0.00	0.0	0
2024-02-16	69	51	60.0	8.9	5	0	0.00	0.0	0
2024-02-17	56	35	45.5	-5.9	19	0	T	0.0	0
2024-02-18	54	30	42.0	-9.6	23	0	0.00	0.0	0
2024-02-19	62	26	44.0	-7.8	21	0	0.00	0.0	0
2024-02-20	72	35	53.5	1.4	11	0	0.00	0.0	0
2024-02-21	77	43	60.0	7.7	5	0	0.00	0.0	0
2024-02-22	73	56	64.5	11.9	0	0	0.00	0.0	0
2024-02-23	74	44	59.0	6.2	6	0	0.00	0.0	0
2024-02-24	74	44	59.0	5.9	6	0	0.00	0.0	0
2024-02-25	79	37	58.0	4.7	7	0	0.00	0.0	0
2024-02-26	80	52	66.0	12.4	0	1	0.00	0.0	0
2024-02-27	85	63	74.0	20.2	0	9	0.00	0.0	0
2024-02-28	77	49	63.0	8.9	2	0	T	0.0	0
2024-02-29	55	46	50.5	-3.7	14	0	T	0.0	0
<b>Sum</b>	1999	1270	-	-	259	14	4.96	0.0	-
<b>Average</b>	68.9	43.8	56.4	5.5	-	-	-	-	0.0
<b>Normal</b>	62.0	39.8	50.9	-	404	9	5.10	0.2	-

Observations for each day cover the 24 hours ending  
at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown

Snow Depth : unknown

Climatological Data for Jackson Area, MS (ThreadEx) - March 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-03-01	55	44	49.5	-4.8	15	0	0.42	0.0	0
2024-03-02	70	50	60.0	5.4	5	0	0.00	0.0	0
2024-03-03	78	56	67.0	12.2	0	2	0.00	0.0	0
2024-03-04	78	60	69.0	13.9	0	4	0.09	0.0	0
2024-03-05	70	60	65.0	9.7	0	0	1.33	0.0	0
2024-03-06	76	54	65.0	9.4	0	0	0.00	0.0	0
2024-03-07	76	58	67.0	11.2	0	2	0.00	0.0	0
2024-03-08	67	59	63.0	7.0	2	0	3.76	0.0	0
2024-03-09	66	47	56.5	0.2	8	0	0.00	0.0	0
2024-03-10	65	41	53.0	-3.5	12	0	0.00	0.0	0
2024-03-11	69	41	55.0	-1.8	10	0	0.00	0.0	0
2024-03-12	75	43	59.0	2.0	6	0	0.00	0.0	0
2024-03-13	78	57	67.5	10.3	0	3	0.00	0.0	0
2024-03-14	83	58	70.5	13.0	0	6	0.00	0.0	0
2024-03-15	75	58	66.5	8.8	0	2	0.43	0.0	0
2024-03-16	68	57	62.5	4.5	2	0	0.05	0.0	0
2024-03-17	66	56	61.0	2.8	4	0	1.00	0.0	0
2024-03-18	58	41	49.5	-8.9	15	0	0.00	0.0	0
2024-03-19	63	31	47.0	-11.6	18	0	0.00	0.0	0
2024-03-20	74	38	56.0	-2.9	9	0	0.00	0.0	0
2024-03-21	74	46	60.0	0.9	5	0	0.00	0.0	0
2024-03-22	67	55	61.0	1.7	4	0	0.11	0.0	0
2024-03-23	68	47	57.5	-2.0	7	0	T	0.0	0
2024-03-24	69	45	57.0	-2.8	8	0	0.00	0.0	0
2024-03-25	71	57	64.0	4.0	1	0	2.33	0.0	0
2024-03-26	74	50	62.0	1.8	3	0	0.23	0.0	0
2024-03-27	65	48	56.5	-3.9	8	0	0.00	0.0	0
2024-03-28	71	41	56.0	-4.7	9	0	0.00	0.0	0
2024-03-29	76	40	58.0	-2.9	7	0	0.00	0.0	0
2024-03-30	80	51	65.5	4.4	0	1	0.00	0.0	0
2024-03-31	78	62	70.0	8.7	0	5	0.00	0.0	0
<b>Sum</b>	2203	1551	-	-	158	25	9.75	0.0	-
<b>Average</b>	71.1	50.0	60.5	2.6	-	-	-	-	0.0
<b>Normal</b>	69.4	46.4	57.9	-	253	33	5.68	0.1	-

<b>Observations for each day cover the 24 hours ending at the time given below (Local Standard Time).</b>
Max Temperature : midnight
Min Temperature : midnight
Precipitation : midnight
Snowfall : unknown
Snow Depth : unknown



Climatological Data for Jackson Area, MS (ThreadEx) - April 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-04-01	81	67	74.0	12.5	0	9	0.00	0.0	0
2024-04-02	84	58	71.0	9.2	0	6	0.02	0.0	0
2024-04-03	69	45	57.0	-5.0	8	0	0.00	0.0	0
2024-04-04	74	38	56.0	-6.2	9	0	0.00	0.0	0
2024-04-05	76	41	58.5	-3.9	6	0	0.00	0.0	0
2024-04-06	76	50	63.0	0.4	2	0	0.00	0.0	0
2024-04-07	80	53	66.5	3.6	0	2	0.00	0.0	0
2024-04-08	75	62	68.5	5.4	0	4	0.74	0.0	0
2024-04-09	72	62	67.0	3.7	0	2	4.64	0.0	0
2024-04-10	69	62	65.5	2.0	0	1	2.00	0.0	0
2024-04-11	74	56	65.0	1.2	0	0	0.01	0.0	0
2024-04-12	77	45	61.0	-3.0	4	0	0.00	0.0	0
2024-04-13	85	48	66.5	2.3	0	2	0.00	0.0	0
2024-04-14	83	57	70.0	5.5	0	5	0.00	0.0	0
2024-04-15	83	59	71.0	6.3	0	6	0.00	0.0	0
2024-04-16	85	68	76.5	11.6	0	12	0.00	0.0	0
2024-04-17	78	69	73.5	8.3	0	9	0.00	0.0	0
2024-04-18	78	67	72.5	7.1	0	8	T	0.0	0
2024-04-19	86	68	77.0	11.3	0	12	T	0.0	0
2024-04-20	69	53	61.0	-4.9	4	0	0.46	0.0	0
2024-04-21	66	48	57.0	-9.2	8	0	0.61	0.0	0
2024-04-22	70	40	55.0	-11.4	10	0	0.00	0.0	0
2024-04-23	76	42	59.0	-7.7	6	0	0.00	0.0	0
2024-04-24	81	56	68.5	1.6	0	4	T	0.0	0
2024-04-25	85	59	72.0	4.8	0	7	0.00	0.0	0
2024-04-26	85	62	73.5	6.1	0	9	0.00	0.0	0
2024-04-27	85	67	76.0	8.3	0	11	0.00	0.0	0
2024-04-28	85	66	75.5	7.5	0	11	0.40	0.0	0
2024-04-29	75	62	68.5	0.3	0	4	0.22	0.0	0
2024-04-30	84	59	71.5	3.0	0	7	0.00	0.0	0
<b>Sum</b>	2346	1689	-	-	57	131	9.10	0.0	-
<b>Average</b>	78.2	56.3	67.3	2.4	-	-	-	-	0.0
<b>Normal</b>	76.5	53.3	64.9	-	94	91	5.84	0.0	-

<b>Observations for each day cover the 24 hours ending at the time given below (Local Standard Time).</b>
Max Temperature : midnight
Min Temperature : midnight
Precipitation : midnight
Snowfall : unknown
Snow Depth : unknown

Climatological Data for Jackson Area, MS (ThreadEx) - May 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-05-01	89	59	74.0	5.2	0	9	0.00	0.0	0
2024-05-02	82	66	74.0	4.9	0	9	T	0.0	0
2024-05-03	81	64	72.5	3.2	0	8	0.31	0.0	0
2024-05-04	88	60	74.0	4.4	0	9	0.00	0.0	0
2024-05-05	82	67	74.5	4.6	0	10	0.00	0.0	0
2024-05-06	87	68	77.5	7.3	0	13	0.00	0.0	0
2024-05-07	86	74	80.0	9.5	0	15	0.00	0.0	0
2024-05-08	91	76	83.5	12.8	0	19	0.00	0.0	0
2024-05-09	91	68	79.5	8.5	0	15	0.65	0.0	0
2024-05-10	84	65	74.5	3.2	0	10	0.00	0.0	0
2024-05-11	82	59	70.5	-1.1	0	6	0.00	0.0	0
2024-05-12	73	64	68.5	-3.4	0	4	0.48	0.0	0
2024-05-13	78	63	70.5	-1.7	0	6	1.41	0.0	0
2024-05-14	83	65	74.0	1.6	0	9	T	0.0	0
2024-05-15	86	62	74.0	1.3	0	9	0.00	0.0	0
2024-05-16	87	63	75.0	2.0	0	10	0.38	0.0	0
2024-05-17	78	68	73.0	-0.3	0	8	0.03	0.0	0
2024-05-18	88	66	77.0	3.4	0	12	0.00	0.0	0
2024-05-19	89	64	76.5	2.7	0	12	0.00	0.0	0
2024-05-20	91	66	78.5	4.4	0	14	0.00	0.0	0
2024-05-21	88	69	78.5	4.1	0	14	0.00	0.0	0
2024-05-22	89	68	78.5	3.8	0	14	T	0.0	0
2024-05-23	89	68	78.5	3.6	0	14	1.36	0.0	0
2024-05-24	90	75	82.5	7.3	0	18	0.00	0.0	0
2024-05-25	92	73	82.5	7.1	0	18	0.00	0.0	0
2024-05-26	91	75	83.0	7.3	0	18	0.00	0.0	0
2024-05-27	94	73	83.5	7.5	0	19	0.01	0.0	0
2024-05-28	94	67	80.5	4.3	0	16	0.00	0.0	0
2024-05-29	89	66	77.5	1.1	0	13	0.23	0.0	0
2024-05-30	82	68	75.0	-1.7	0	10	0.81	0.0	0
2024-05-31	84	70	77.0	0.1	0	12	1.65	0.0	0
Sum	2678	2079	-	-	0	373	7.32	0.0	-
Average	86.4	67.1	76.7	3.8	-	-	-	-	0.0
Normal	83.8	62.1	72.9	-	12	258	4.36	0.0	-

Observations for each day cover the 24 hours ending at the time given below (Local Standard Time). Observation times may have changed during this period.

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : unknown, midnight

Snow Depth : unknown, 6am



Climatological Data for Jackson Area, MS (ThreadEx) - June 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-06-01	88	71	79.5	2.3	0	15	0.96	0.0	0
2024-06-02	90	70	80.0	2.6	0	15	T	0.0	0
2024-06-03	89	68	78.5	0.9	0	14	0.65	0.0	0
2024-06-04	88	66	77.0	-0.8	0	12	1.49	0.0	0
2024-06-05	87	66	76.5	-1.5	0	12	0.13	0.0	0
2024-06-06	91	71	81.0	2.8	0	16	0.00	0.0	0
2024-06-07	91	66	78.5	0.1	0	14	0.00	0.0	0
2024-06-08	93	62	77.5	-1.1	0	13	0.00	0.0	0
2024-06-09	95	71	83.0	4.2	0	18	0.00	0.0	0
2024-06-10	89	72	80.5	1.5	0	16	0.00	0.0	0
2024-06-11	87	68	77.5	-1.7	0	13	0.00	0.0	0
2024-06-12	87	64	75.5	-3.8	0	11	0.00	0.0	0
2024-06-13	90	62	76.0	-3.5	0	11	0.00	0.0	0
2024-06-14	95	66	80.5	0.9	0	16	0.00	0.0	0
2024-06-15	97	71	84.0	4.2	0	19	0.00	0.0	0
2024-06-16	95	73	84.0	4.1	0	19	T	0.0	0
2024-06-17	90	74	82.0	1.9	0	17	0.41	0.0	0
2024-06-18	82	74	78.0	-2.2	0	13	0.02	0.0	0
2024-06-19	89	76	82.5	2.2	0	18	0.00	0.0	0
2024-06-20	91	73	82.0	1.5	0	17	0.00	0.0	0
2024-06-21	95	71	83.0	2.4	0	18	0.00	0.0	0
2024-06-22	95	68	81.5	0.8	0	17	0.00	0.0	0
2024-06-23	97	73	85.0	4.2	0	20	0.00	0.0	0
2024-06-24	94	76	85.0	4.1	0	20	0.02	0.0	0
2024-06-25	99	73	86.0	5.0	0	21	0.00	0.0	0
2024-06-26	95	76	85.5	4.4	0	21	0.42	0.0	0
2024-06-27	88	75	81.5	0.3	0	17	0.06	0.0	0
2024-06-28	94	74	84.0	2.8	0	19	T	0.0	0
2024-06-29	93	77	85.0	3.7	0	20	0.03	0.0	0
2024-06-30	96	76	86.0	4.6	0	21	0.42	0.0	0
<b>Sum</b>	2750	2123	-	-	0	493	4.61	0.0	-
<b>Average</b>	91.7	70.8	81.2	1.6	-	-	-	-	0.0
<b>Normal</b>	89.9	69.4	79.6	-	0	439	4.43	0.0	-

<b>Observations for each day cover the 24 hours ending at the time given below (Local Standard Time).</b>
Max Temperature : midnight
Min Temperature : midnight
Precipitation : midnight
Snowfall : midnight
Snow Depth : 6am

## Climatological Data for Jackson Area, MS (ThreadEx) - July 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-07-01	95	76	85.5	4.0	0	21	0.00	0.0	0
2024-07-02	98	71	84.5	3.0	0	20	0.00	0.0	0
2024-07-03	97	80	88.5	6.9	0	24	T	0.0	0
2024-07-04	95	78	86.5	4.8	0	22	0.17	0.0	0
2024-07-05	95	77	86.0	4.3	0	21	0.16	0.0	0
2024-07-06	94	77	85.5	3.7	0	21	T	0.0	0
2024-07-07	93	78	85.5	3.7	0	21	T	0.0	0
2024-07-08	95	76	85.5	3.6	0	21	T	0.0	0
2024-07-09	91	75	83.0	1.1	0	18	0.05	0.0	0
2024-07-10	94	70	82.0	0.0	0	17	0.00	0.0	0
2024-07-11	96	71	83.5	1.5	0	19	0.00	0.0	0
2024-07-12	97	71	84.0	1.9	0	19	0.00	0.0	0
2024-07-13	97	74	85.5	3.4	0	21	0.00	0.0	0
2024-07-14	95	76	85.5	3.3	0	21	0.00	0.0	0
2024-07-15	98	75	86.5	4.3	0	22	0.00	0.0	0
2024-07-16	98	76	87.0	4.8	0	22	0.00	0.0	0
2024-07-17	97	76	86.5	4.2	0	22	0.00	0.0	0
2024-07-18	94	73	83.5	1.2	0	19	0.39	0.0	0
2024-07-19	87	74	80.5	-1.8	0	16	0.11	0.0	0
2024-07-20	91	74	82.5	0.1	0	18	0.01	0.0	0
2024-07-21	89	73	81.0	-1.4	0	16	2.39	0.0	0
2024-07-22	91	73	82.0	-0.4	0	17	0.07	0.0	0
2024-07-23	89	74	81.5	-0.9	0	17	0.78	0.0	0
2024-07-24	86	75	80.5	-1.9	0	16	0.47	0.0	0
2024-07-25	87	73	80.0	-2.5	0	15	0.10	0.0	0
2024-07-26	87	73	80.0	-2.5	0	15	1.11	0.0	0
2024-07-27	90	73	81.5	-1.0	0	17	T	0.0	0
2024-07-28	91	77	84.0	1.5	0	19	T	0.0	0
2024-07-29	95	77	86.0	3.5	0	21	0.00	0.0	0
2024-07-30	95	78	86.5	4.0	0	22	0.00	0.0	0
2024-07-31	97	77	87.0	4.5	0	22	0.00	0.0	0
Sum	2894	2321	-	-	0	602	5.81	0.0	-
Average	93.4	74.9	84.1	2.0	-	-	-	-	0.0
Normal	92.1	72.2	82.1	-	0	532	5.02	0.0	-

Observations for each day cover the 24 hours ending  
at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : midnight

Snow Depth : 6am



Climatological Data for Jackson Area, MS (ThreadEx) - August 2024

Date	Temperature				HDD	CDD	Precipitation	New Snow	Snow Depth
	Maximum	Minimum	Average	Departure					
2024-08-01	96	75	85.5	3.0	0	21	0.00	0.0	M
2024-08-02	94	75	84.5	2.0	0	20	0.00	0.0	M
2024-08-03	95	78	86.5	4.0	0	22	0.00	0.0	M
2024-08-04	96	74	85.0	2.5	0	20	0.00	0.0	M
2024-08-05	98	77	87.5	5.0	0	23	0.00	0.0	0
2024-08-06	98	75	86.5	4.0	0	22	0.00	0.0	0
2024-08-07	99	72	85.5	3.1	0	21	0.00	0.0	0
2024-08-08	91	71	81.0	-1.4	0	16	0.00	0.0	0
2024-08-09	93	73	83.0	0.6	0	18	0.00	0.0	0
2024-08-10	93	75	84.0	1.6	0	19	0.00	0.0	0
2024-08-11	94	68	81.0	-1.3	0	16	0.00	0.0	0
2024-08-12	98	71	84.5	2.2	0	20	0.00	0.0	0
2024-08-13	99	74	86.5	4.3	0	22	0.00	M	M
2024-08-14	M	M	M	M	M	M	M	M	M
2024-08-15	M	M	M	M	M	M	M	M	M
2024-08-16	M	M	M	M	M	M	M	M	M
2024-08-17	M	M	M	M	M	M	M	M	M
2024-08-18	M	M	M	M	M	M	M	M	M
2024-08-19	M	M	M	M	M	M	M	M	M
2024-08-20	M	M	M	M	M	M	M	M	M
2024-08-21	M	M	M	M	M	M	M	M	M
2024-08-22	M	M	M	M	M	M	M	M	M
2024-08-23	M	M	M	M	M	M	M	M	M
2024-08-24	M	M	M	M	M	M	M	M	M
2024-08-25	M	M	M	M	M	M	M	M	M
2024-08-26	M	M	M	M	M	M	M	M	M
2024-08-27	M	M	M	M	M	M	M	M	M
2024-08-28	M	M	M	M	M	M	M	M	M
2024-08-29	M	M	M	M	M	M	M	M	M
2024-08-30	M	M	M	M	M	M	M	M	M
2024-08-31	M	M	M	M	M	M	M	M	M
<b>Sum</b>	1244	958	-	-	0	260	0.00	0.0	-
<b>Average</b>	95.7	73.7	84.7	2.3	-	-	-	-	0.0
<b>Normal</b>	92.7	72.2	82.4	-	0	226	2.09	0.0	-

Above Normals represent the month through 2024-08-13.

Observations for each day cover the 24 hours ending at the time given below (Local Standard Time).

Max Temperature : midnight

Min Temperature : midnight

Precipitation : midnight

Snowfall : midnight

Snow Depth : 6am