



## REGULAR MEETING OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, June 16, 2026 at 3:00 PM

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### Agenda

This notice and agenda of the Regular Meeting of the Architectural Review Committee is hereby given by the undersigned. Said meeting shall be held on Tuesday, June 16, 2026, at 3:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

1. **Call Meeting to Order and Roll Call**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
  - A) Consideration of Minutes-Regular Meeting May 19th 2026
4. **New Business**
  - A) ARC Update
  - B) Consideration of Architectural & Landscape Review-Bear Creek Animal Hospital
  - C) Consideration of Architectural & Landscape Review-Bedi Shell Gas Station Hwy 51/Sowell Rd
5. **Old Business**
6. **Public Comment**
7. **Next Meeting**
  - A) Schedule Special Call Meeting to Finalize Architectural Standards
  - B) Next Regular Meeting-July 21st 2026, 3 pm City Hall
8. **Adjourn**

Commissioner Kayce Saik \_\_\_\_\_

Commissioner Melanie Greer Smith \_\_\_\_\_



**Regular meeting of the Architectural Review  
Committee  
City of Gluckstadt, Mississippi  
Tuesday, May 19, 2026, at 3:00 PM**

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**Minutes**

The business of this meeting with Committee Members Melony Greer and Kayce Saik were as follows:

1. Chairman Kayce Saik called the meeting to order; Melanie Greer-Smith was present.
2. Kayce Saik gave the opening Prayer with Melanie Greer gave the Pledge of Allegiance.
3. Consideration of Minutes:  
Melanie Greer gave the motion to approve the minutes of the April 29, 2026, Special Call meeting as presented Kayce Saik seconded the motion with both members voting "AYE" the motion carried.
4. New Business

**A) ARC Update Memo**

- i. Caine Dearman, Planning and Zoning Director, updated the committee of the past month's actions
  - The Mayor and Board of Alderman approved the Site Plan for the Oaks Memory Care development.
  - Updated the Committee that he presented to the Mayor and Board of Alderman the approved exterior scheme of Taco Bell.

**B) Consideration of Architectural and Landscaping Review – 128 Weisenberger Renovation.**

- i. Jose Garcia addressed the committee on the proposed renovations, which would include interior & exterior renovations, remodeled deck, and landscaping improvements.
- ii. The Committee made the following recommendations:
  - Paint all exteriors including roof and awning
  - Roof/Awning and exterior walls should have contrast
  - Identify all colors on site plans
  - Additional landscaping along the front and North side of building
  - Add skirting to bottom of deck-identify material and colors
  - Add additional window in front façade to fill in the gap and comply with 30% glass front requirement
  - Window and door frames should match color of roof/awnings

- Add exterior lighting to the front façade, future wall sign and deck façade
- iii. Melanie Greer made the motion to incorporate the above recommendations into the site plan drawings and resubmit at the PnZ board meeting scheduled for Tuesday, May 26, 2026. Kayce seconded the motion with both members voting “AYE” the motion carried.

**C) Consideration of Architectural and Landscaping Review – The Maverick New Build**

- i. Daniel Woolridge, project designer, addressed the committee regarding the development which will consist of four multi-unit buildings used for warehousing and office space. The buildings will consist of brick facades with front facing roll up doors. Committee members discussed ongoing efforts to discourage rollup doors in the fronts of buildings.
- ii. The Committee made the following recommendations:
- Relocate roll up doors to sides and/or rear, and replace with store front glass, or
  - Provide glass roll up doors in order to meet the front façade glass minimum requirement, or
  - Provide options for roll up doors with architectural pleasing elements that include some glass
- iii. Melaine Greer made the motion to incorporate the above recommendations and resubmit at the PnZ Commission meeting scheduled for Tuesday, May 26, 2026. Kayce seconded the motion with both members voting “AYE” the motion carried.

**D) Consideration of Architectural Review – 104 Hazelton Cove Renovation**

- i. Brad Moncrief addressed the board on the renovation of the building at 104 Hazelton Cove. He plans to relocate the roll-up doors from the front to the side and rear. Replace doors with store front windows, black brick façade with black decorative awnings, and add exterior lighting to the front façade.
- ii. Melanie Greer made the motion to recommend approval as presented. Kayce Saik seconded the motion with both members voting “AYE”, the motion carried.

**E) Consideration of Architectural and Landscaping Review – 927 Motorsports New Build**

- i. Robert Polk, project designer, addressed the committee regarding 927 Motorsports located on Autobahn Loop. The project is a 15,000 SF new and used high-end vehicle dealership with a fully customized workshop.
- ii. The Committee made the following recommendations:

- Proposed project has two frontages. The West frontage facing Autobahn Loop needs more architectural elements including windows distinguishing it as another front façade.
  - Provide different options of the West and South roof line and how it ties into the East roof line
  - Need exterior materials and colors identified
- iii. Melanie Greer made the motion to incorporate the above recommendations and resubmit at the PnZ meeting scheduled for Tuesday, May 26, 2026. Kayce Saik seconded the motion with both members voting “AYE”, the motion carried.

**5. Old Business**

No action taken.

**6. Public Comment**

No members of the public signed up to address the board.

**7. Next Meeting**

A) Next regular meeting, June 16, 2026, at 3:00 PM, City Hall

**8. Adjourn**

Melanie Greer made the motion to adjourn the meeting. Kayce Saik seconded the motion with both members voting “AYE” the motion passed.

WITNESS OUR HANDS, this the \_\_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
KAYCE SAIK, Chairman

\_\_\_\_\_  
MELANIE GREER, Vice Chairman



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

---

**TO:** Architectural Review Committee  
**FROM:** Caine Dearman, Planning and Zoning Administrator  
**DATE:** 06/16/26  
**SUBJECT:** Architectural Review Update

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Since the last regular meeting of the ARC board, the MMBOA did approve the following site plans from our previous meeting:

- 26-014-The Steakhouse Renovation-128 Wiesenberger Rd
- 26-029.01-The Maverick-new build on Titan Lane
- 26-033-104 Hazleton Cove Renovation
- 26-032-927 Motorsports-new build on Autobahn Loop

We only two items to present today and they are as follows:

- 26-024.01-Bear Creek Animal Hospital
- 26-042-Bedi Shell Station Hwy 51/Sowell Rd

Also, the Architectural Standards are ready for final review. We need to confirm a Special Call meeting time & date so we can review before I present to the MMBOA for approval.



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

---

**TO:** Architectural Review Committee

**FROM:** Caine Dearman, Planning and Zoning Administrator

**DATE:** 06/16/26

**SUBJECT:** Consideration of Architectural & Landscape Review-Bear Creek Animal Hospital

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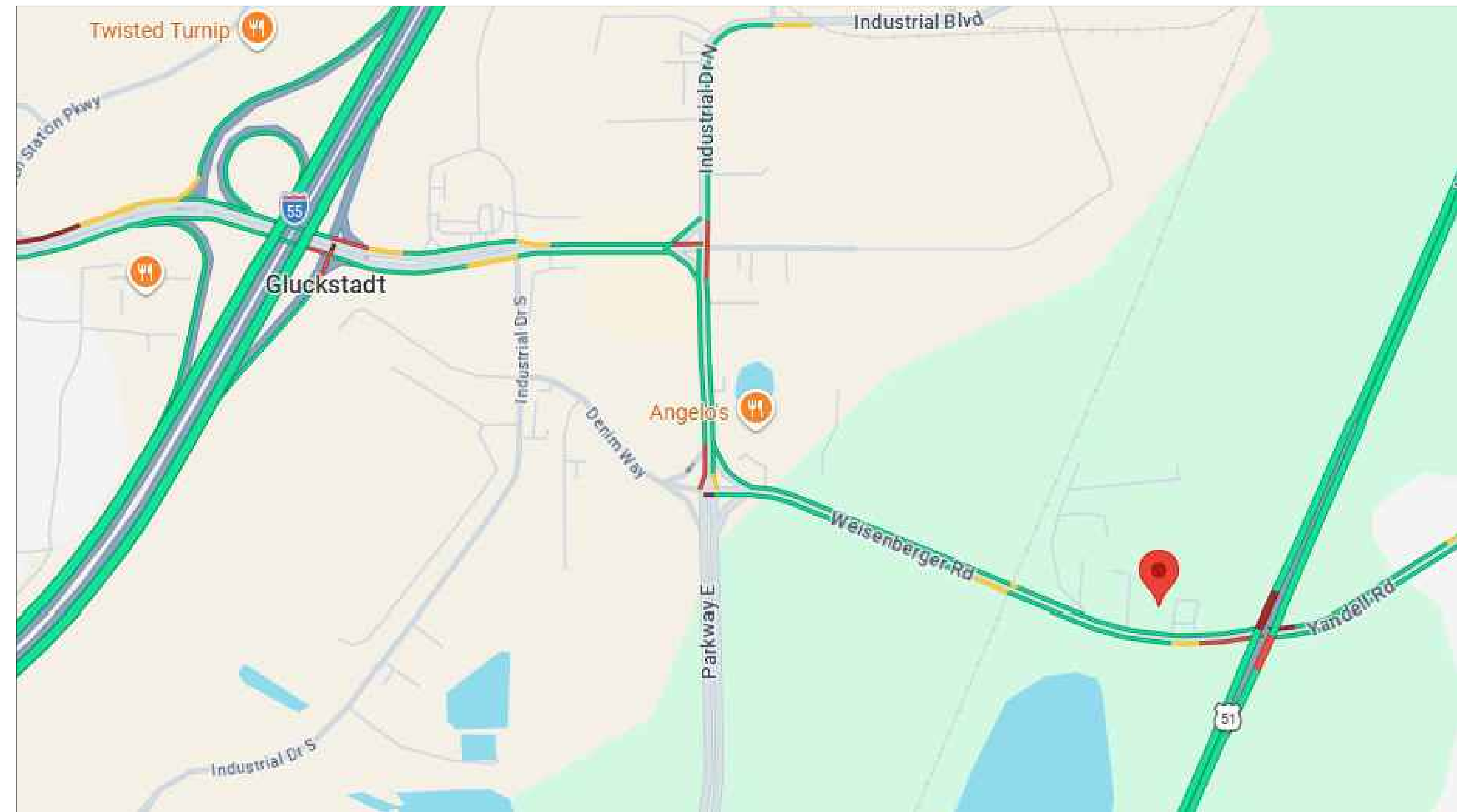
Jessica and Daniel Moore are requesting Architectural & Landscaping recommendation of approval for their new Animal Hospital on Weisenberger Rd. They plan to build a 4000 SF building that will include outside runs for their animals. A Conditional Use request will be presented to the PNZ Commission next week due to the need for outside runs. Building elevations and landscaping plans are attached for your review.



Bear Creek Animal Hospital  
208 Weisenberger Road  
Madison County, Mississippi

**Project**

**Contractor**



**PROXIMITY MAP**

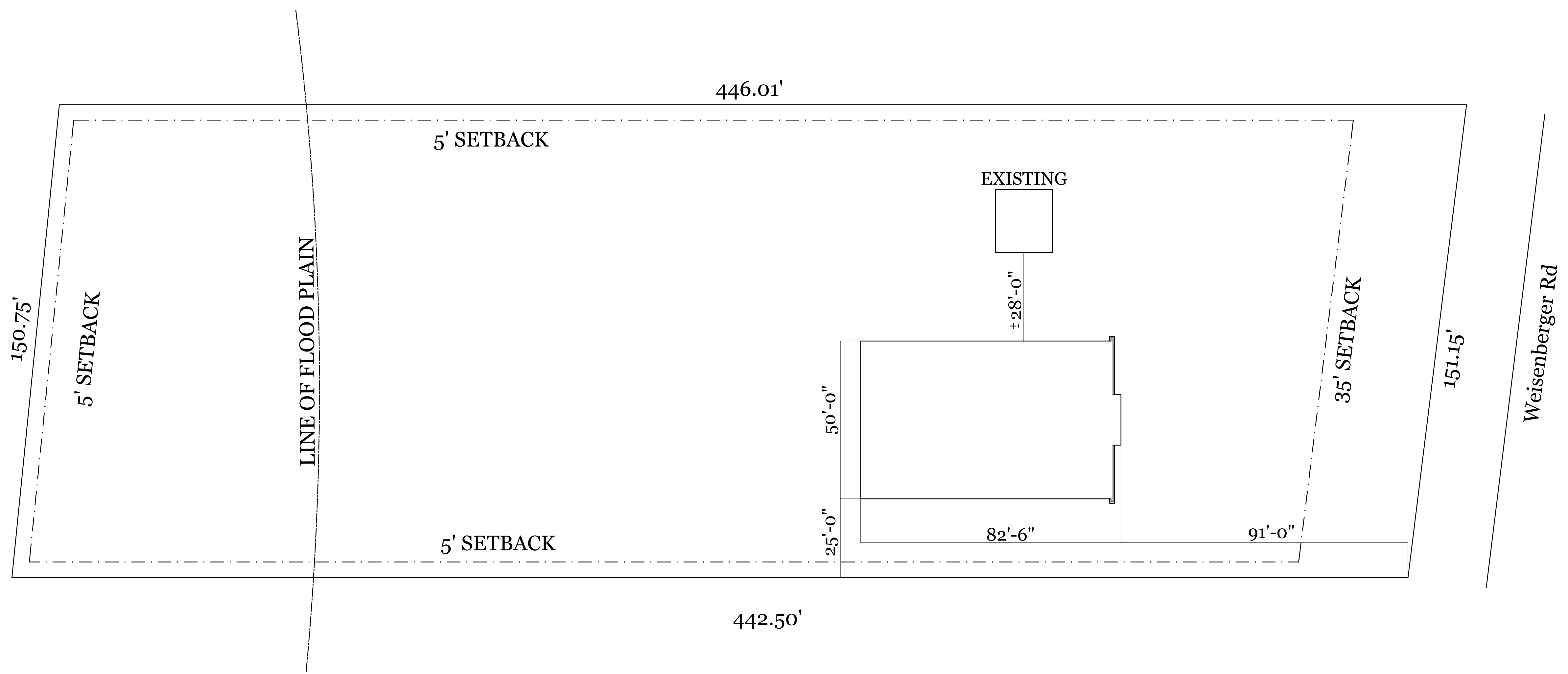
\* PRELIMINARY \*  
NOT FOR CONSTRUCTION

In Association With  
**P&N**  
DESIGNS, LLC

P.O. Box 321356  
Flowood, MS 39232  
601-478-8348  
office@skylinegroupms.com



Plan No. 26-079  
Drawn By: JCP  
Date: 5-29-26  
Revised: 6-10-26

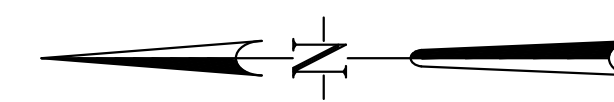


ACRES: 1.5

ZONED: C-2

FLOOD ZONE: AE  
EC CERTIFICATES REQUIRED BEFORE, DURING,  
AND AFTER CONSTRUCTION.

**SITE**  
SCALE : 1" = 20'-0"

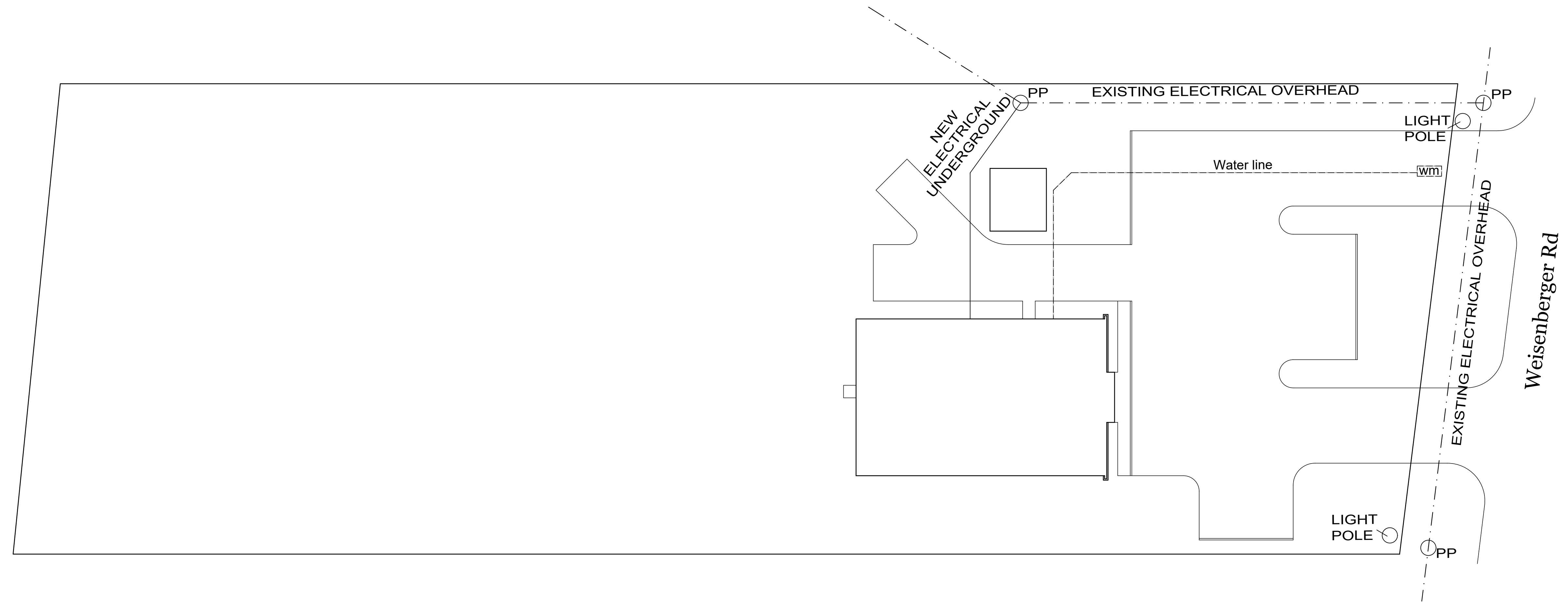


\* PRELIMINARY \*  
NOT FOR CONSTRUCTION

Lot Easements Shall Be Checked And Verified By Contractor.  
Finished Floor Elevation Shall Be A Minimum Of 8" Above Adjacent Finish  
Grade Elevation Or Comply With Local Codes, Whichever Is Greater.  
All Drainage Shall Flow Away From Building(s).



Plan No.	26-079
Drawn By:	JCP
Date:	5-29-26
Revised:	6-10-26
<i>1 OF 8</i>	



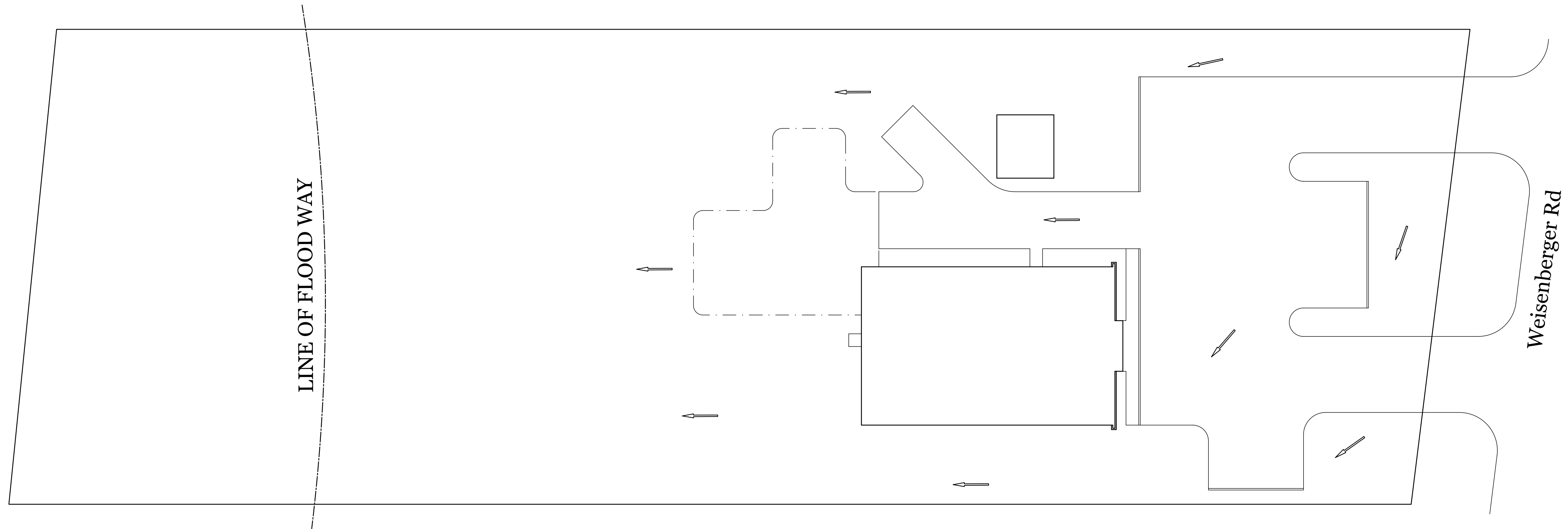
**UTILITIES**  
 SCALE : 1" = 20'-0"

\* PRELIMINARY \*  
 NOT FOR CONSTRUCTION



Plan No.	26-079
Drawn By:	JCP
Date :	5-29-26
Revised :	6-10-26

2 OF 8



**DRAINAGE**  
SCALE : 1" = 20'-0"

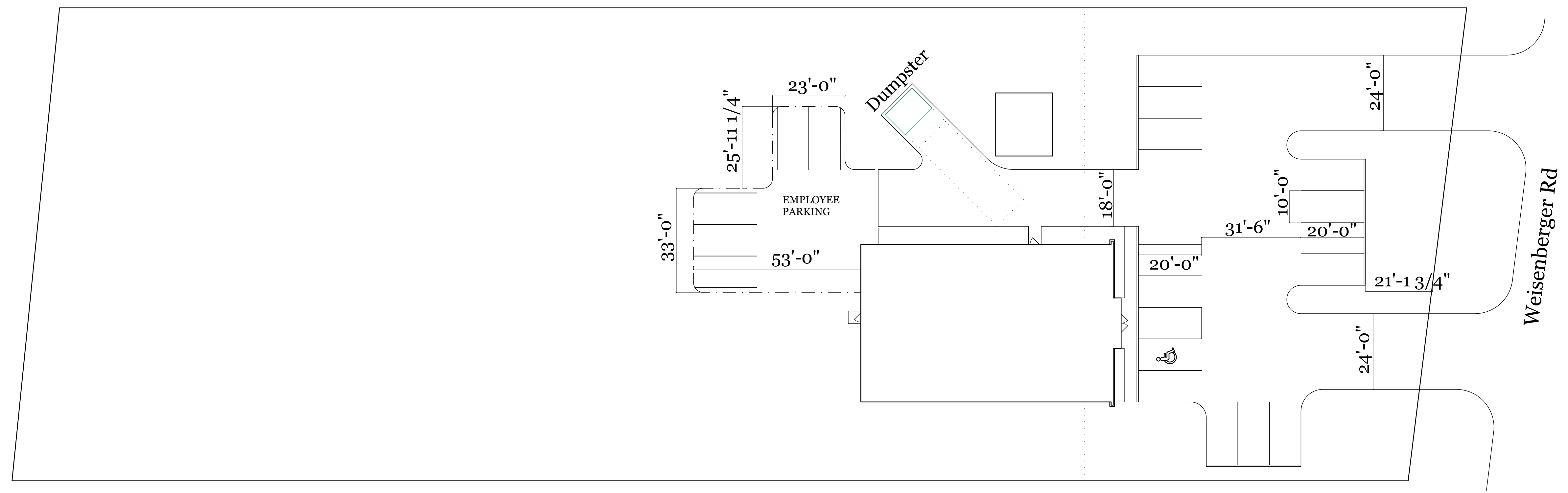
\* PRELIMINARY \*  
NOT FOR CONSTRUCTION

**FLOOD WAY**

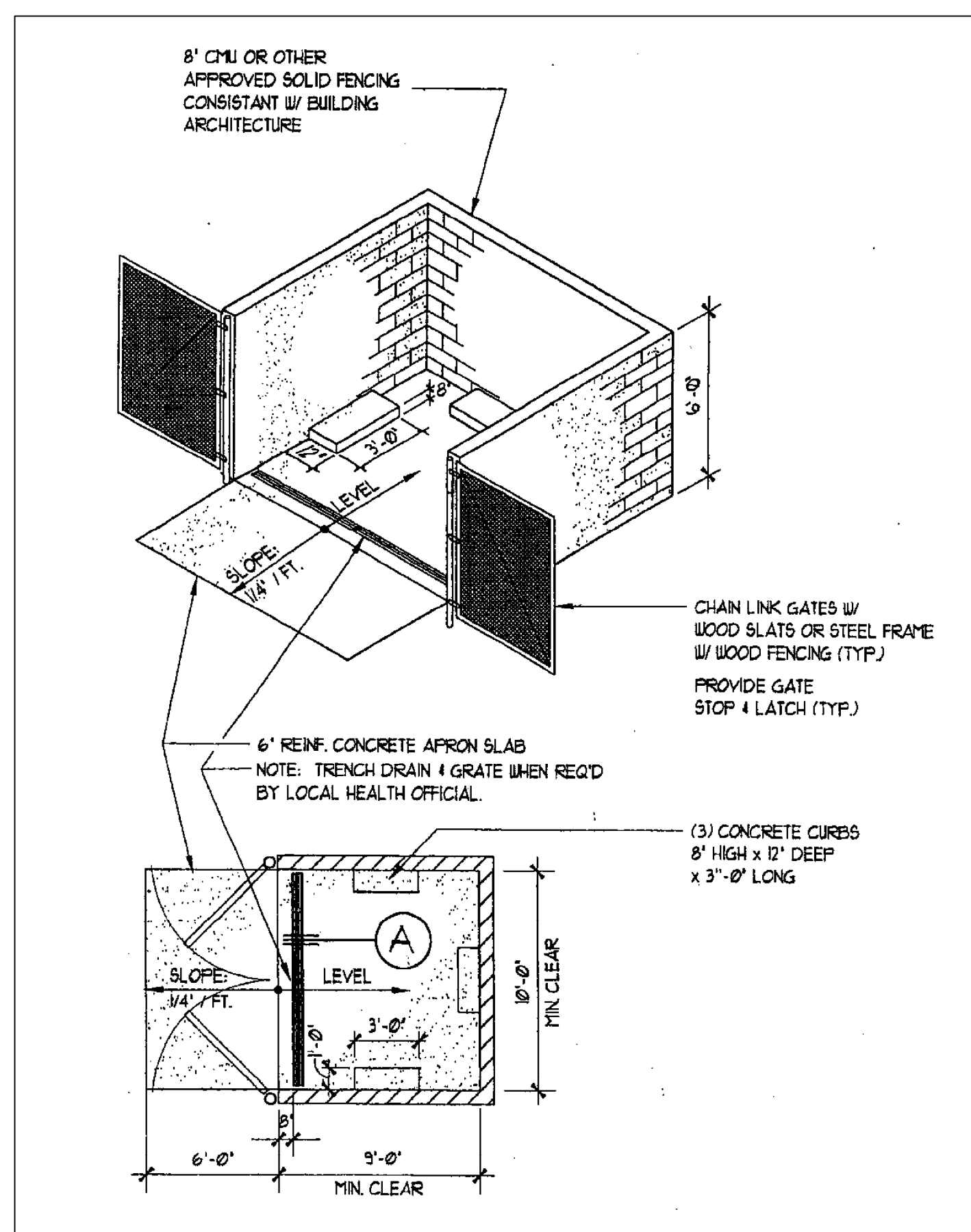


Plan No. 26-079  
 Drawn By: JCP  
 Date: 5-29-26  
 Revised: 6-10-26

3 OF 8



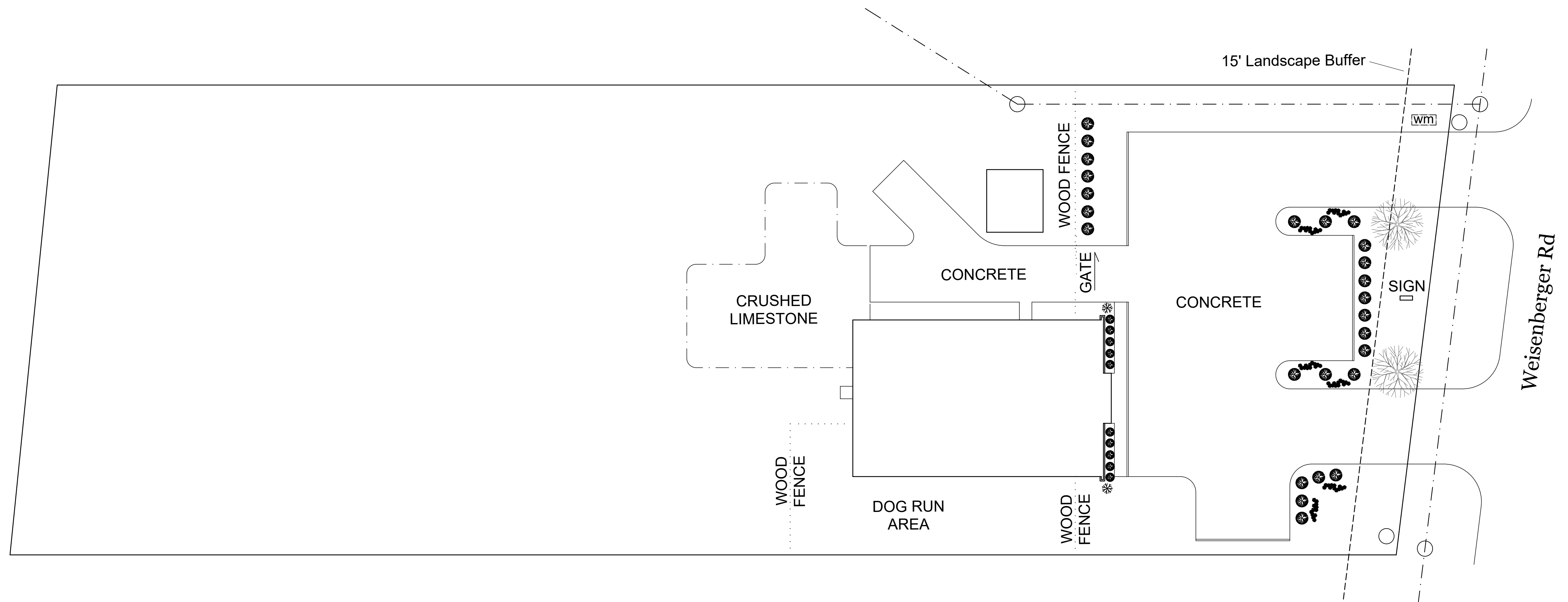
**PARKING**  
SCALE: 1" = 20'-0"



EXISTING NATURAL ACREAGE: 66,636.29 s.f. (1.5 acre)  
 NEW IMPERVIOUS AREA: 15,679.98 s.f. (0.359 acre)  
 NEW LIMESTONE AREA: 2501 s.f. (0.057 acre)  
 NEW PERMEABLE AREA: 50,956.31 s.f. (1.16 acre)

\* PRELIMINARY \*  
 NOT FOR CONSTRUCTION

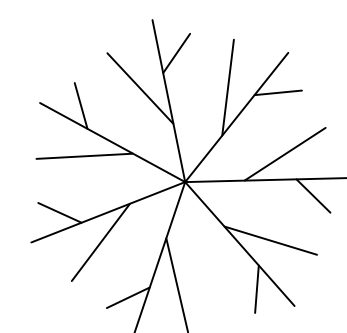
Plan No.	26-079
Drawn By:	JCP
Date:	5-29-26
Revised:	6-10-26
4 OF 8	



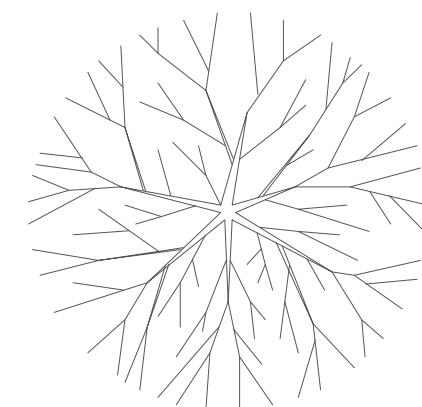
**LANDSCAPE**  
SCALE : 1" = 20'-0"



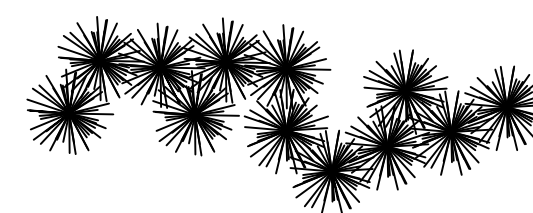
JAPANESE LILAC



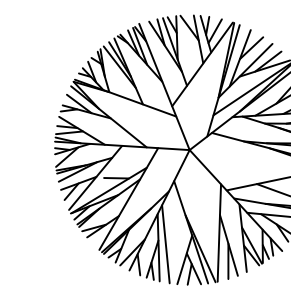
CRAPE MYRTLE



Japanese Pachysandra (1 Gal.)

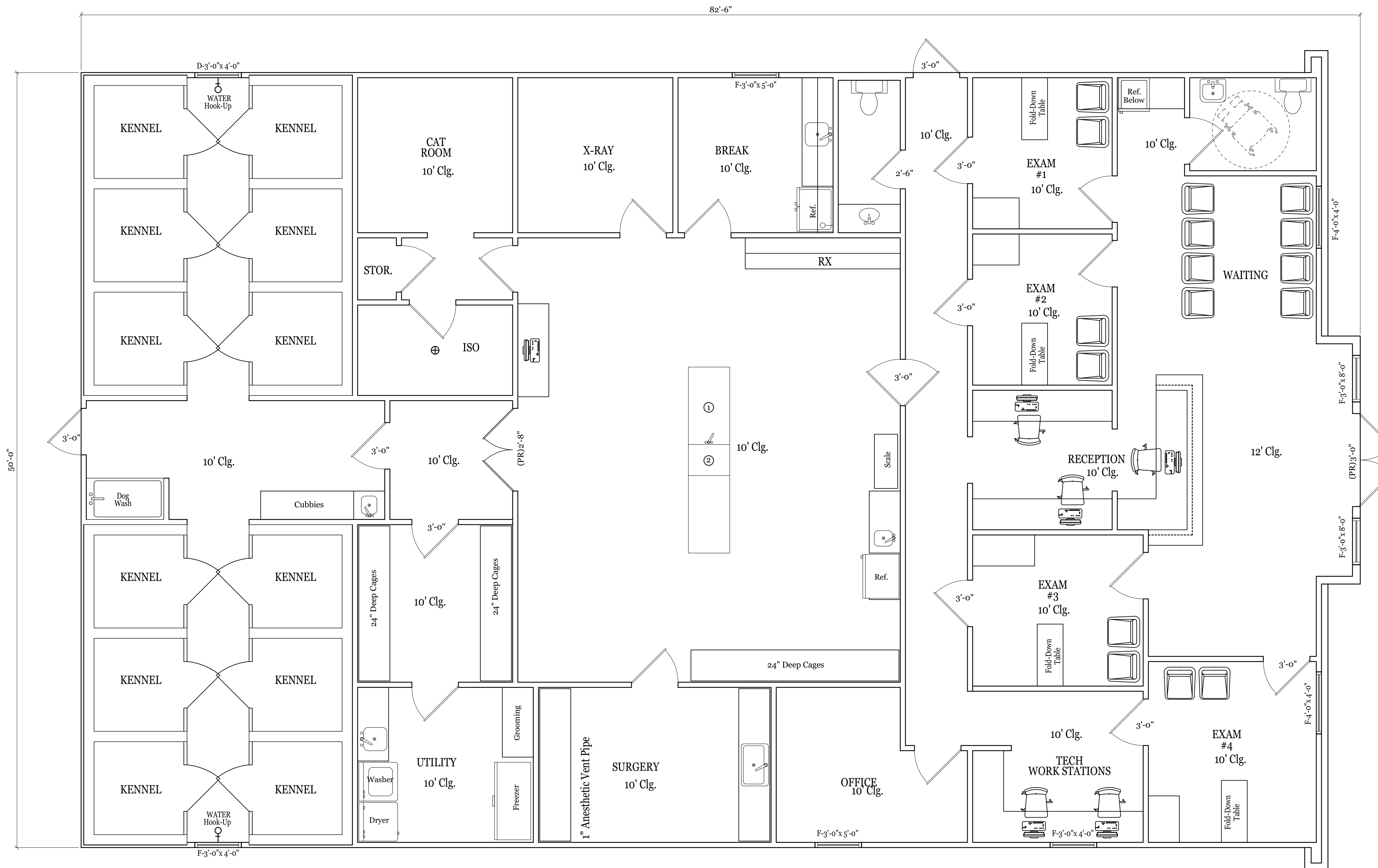


Boxwood (3 Gal.)



Plan No. 26-079  
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BEAM SCHEDULE		
SPAN	BEAM SIZE	STEEL PLATE
16'-0"	2 2"x10"	1/4" X 9-1/4"
18'-0"	2 2"x10"	3/8" X 9-1/4"
20'-0"	2 2"x10"	1/2" X 9-1/4"
22'-0"	2 2"x10"	5/8" X 9-1/4"
24'-0"	2 2"x12"	1/2" X 11-1/4"

SPAN TABLE BY SOUTHERN PINE				
SIZE & SPACING	CEILING JOIST	RAFTER W/O CEILING	RAFTER W/ CEILING	FLOOR JOIST
2"x4" @ 12" O.C.	9'-10"	9'-8"	N/A	N/A
2"x4" @ 16" O.C.	8'-11"	8'-8"	N/A	N/A
2"x4" @ 24" O.C.	7'-8"	7'-1"	N/A	N/A
2"x6" @ 12" O.C.	15'-6"	14'-10"	13'-0"	10'-0"
2"x6" @ 16" O.C.	13'-6"	12'-10"	11'-2"	9'-6"
2"x6" @ 24" O.C.	11'-0"	10'-0"	9'-2"	7'-9"
2"x8" @ 12" O.C.	20'-1"	18'-8"	16'-8"	14'-2"
2"x8" @ 16" O.C.	17'-5"	16'-2"	14'-5"	12'-4"
2"x8" @ 24" O.C.	14'-2"	13'-2"	11'-9"	10'-0"
2"x10" @ 12" O.C.	23'-11"	22'-2"	19'-11"	16'-11"
2"x10" @ 16" O.C.	20'-9"	19'-2"	17'-3"	14'-8"
2"x10" @ 24" O.C.	16'-11"	15'-8"	14'-1"	12'-0"
2"x12" @ 12" O.C.	N/A	N/A	23'-4"	19'-0"
2"x12" @ 16" O.C.	N/A	N/A	20'-2"	17'-2"
2"x12" @ 24" O.C.	N/A	N/A	16'-6"	14'-0"

TABLE CREATED PER SOUTHERN PINE BY DESIGN : VISUALLY INSPECTED # 2 LUMBER. APPLIED LOADS GIVEN IN PSF (POUNDS PER SQUARE FOOT).

**FLOOR**  
SCALE : 1/4" = 1'-0"

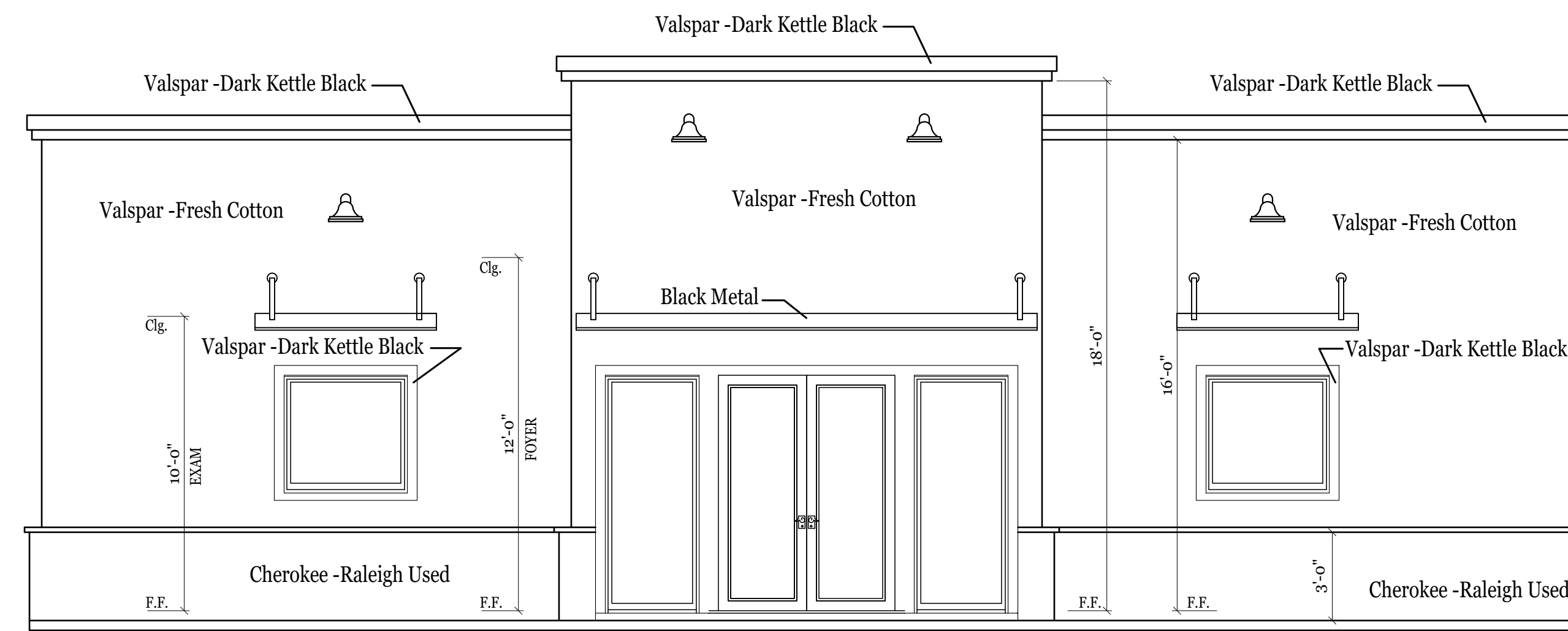
SQUARE FOOTAGE  
4040 Sq Ft.

\* PRELIMINARY \*  
NOT FOR CONSTRUCTION

WINDOW HDR'S AT 80" UNLESS OTHERWISE NOTED.

- GENERAL NOTES:**
1. ALL WALLS ARE DRAWN AT 4" UNLESS NOTED OTHERWISE.
  2. ALL MATERIAL USED IN CONSTRUCTION SHALL MEET OR EXCEED LOCAL CODES.
  3. OWNER / CONTRACTOR IS RESPONSIBLE TO REVIEW AND APPROVE ALL DESIGN AND DIMENSIONS PRIOR TO CONSTRUCTION.

Plan No. 26-079  
 Drawn By: JCP  
 Date: 5-29-26  
 Revised: 6-10-26  
 6 OF 8



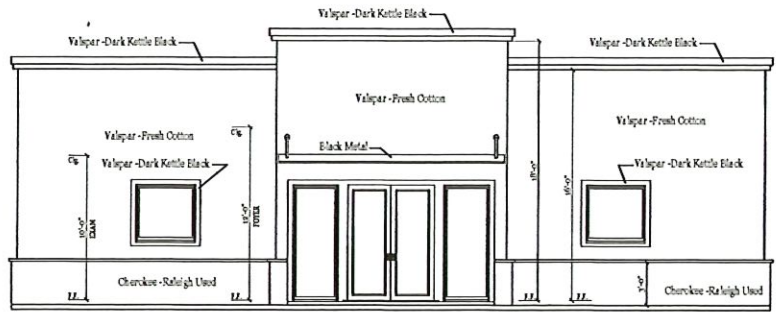
Front  
Scale: 1/4" = 1'-0"

\* PRELIMINARY \*  
NOT FOR CONSTRUCTION



Plan No. 26-079  
Drawn By: JCP  
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Revised: 6-10-26

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Front  
Scale: 1/4" = 1'-0"

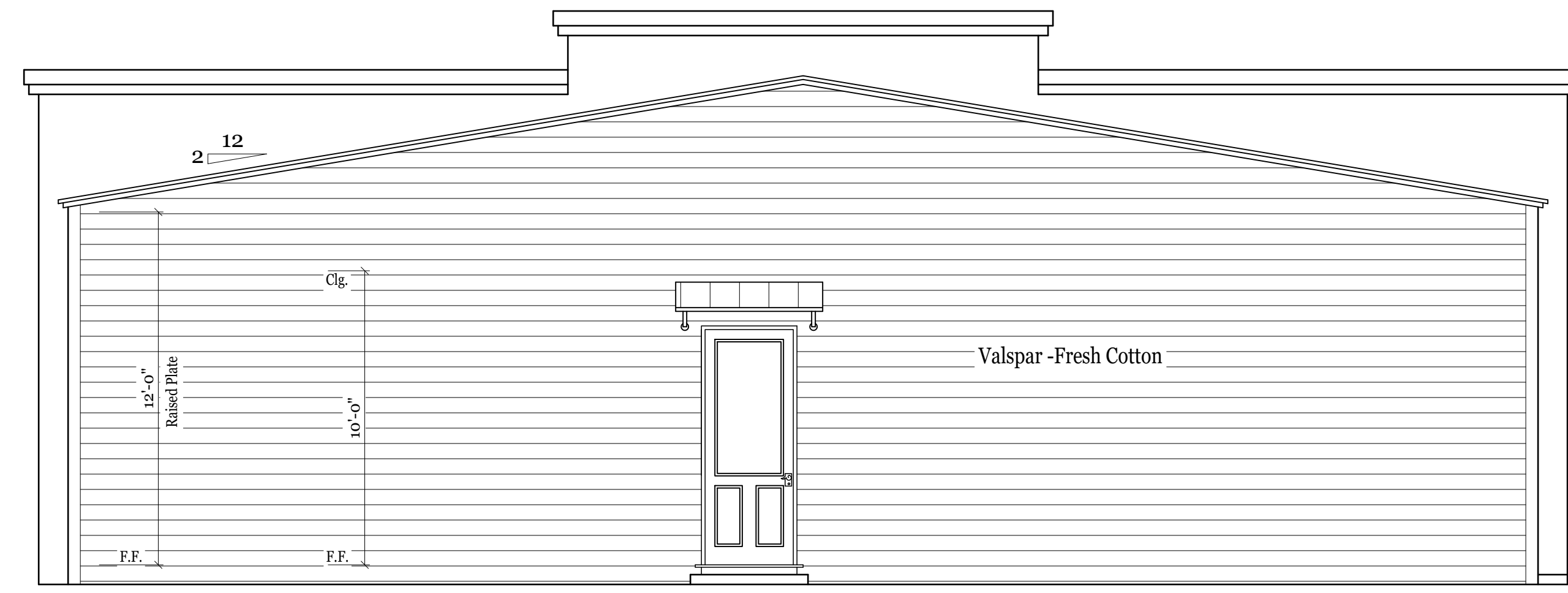
\* PRELIMINARY \*  
NOT FOR CONSTRUCTION



**SKYLINE**

Plan No.	26-079
Drawn By:	JCP
Date:	5-29-26
Revised:	

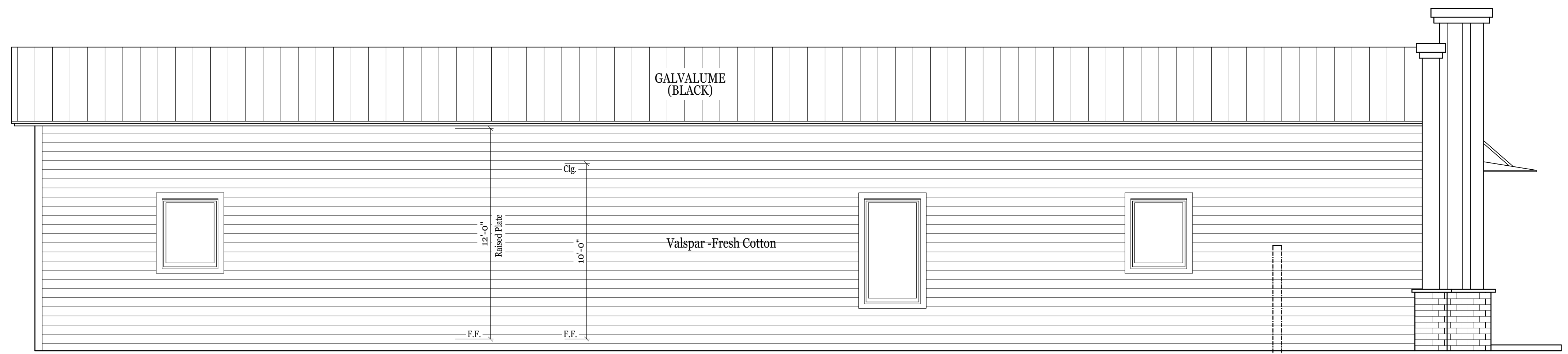
7 of 8



Rear

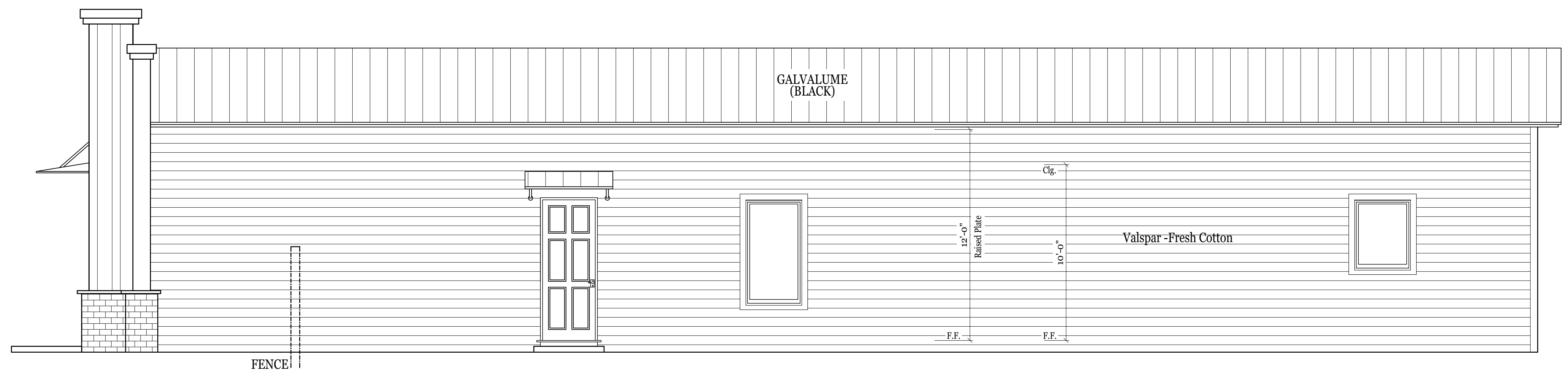
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\* PRELIMINARY \*  
NOT FOR CONSTRUCTION



Left

Scale: 1/4" = 1'-0"



Right

Scale: 1/4" = 1'-0"



Plan No. 26-079  
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 Revised: 6-10-26

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## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

---

**TO:** Architectural Review Committee

**FROM:** Caine Dearman, Planning and Zoning Administrator

**DATE:** 06/16/26

**SUBJECT:** Consideration of Architectural & Landscape Review-Bedi Shell Station

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Mr. Bedi is requesting Architectural & Landscape recommendation of approval for his Shell Station at the intersection of Hwy 51 and Sowell Rd. Mr. Bedi received approval for conditional use and site plan from the MMBOA back in 2024. He actually started work on this project but had to stop work for a while due to conditions outside of his control. Due to the time that had lapsed since he stopped work, we have asked him to go back through the site plan approval process. As you can see from the drawings attached, this Shell Station will have a retail center and two small restaurants on each side of the retail space. Building elevations and landscaping plans are attached for your review. The applicant has brought details of the color scheme for the project.

**Kanwal & Sowita Nair  
R-2**

S89°40'22"E  
429.39'

**The McIntosh Living Trust  
C-2**

**Storage 51, LLC  
C-2**

**HWY 51**

**Billy Richard  
R-1**

**ZONING C2**

**BUILDING USAGE = RETAIL**

**TOTAL SITE = 141063SF**

**BUILDING SF = 9,700SF**

**LOT COVERAGE = 7%**

**C-STORE PARKING**

**5,200SF / 220 = 23.6 SPACES**

**C-STORE PARKING**

**4,500SF / 100 = 45 SPACES**

**REQUIRED PARKING = 68.6 SPACES**

**PROVIDED PARKING = 76 SPACES**

**Sowell Road, LLC  
C-2**

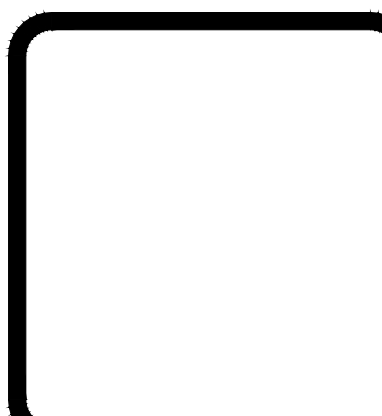
**SITE PLAN**  
SCALE: 1"=30'-0"

SITE PLAN.dwg

3/28/2022 3:33 PM

DW

REVISIONS	BY



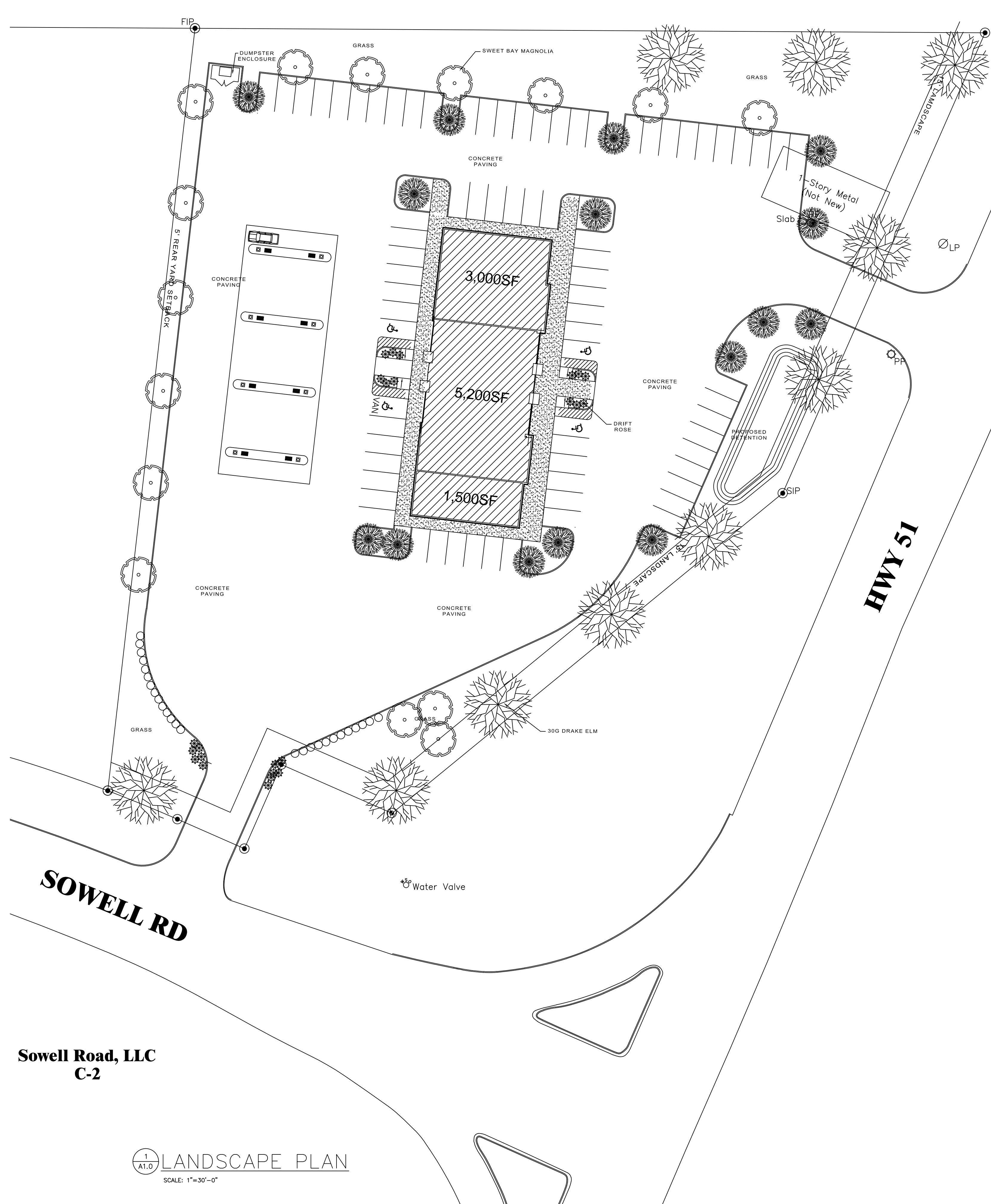
**WOOLRIDGE & ASSOCIATES**  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8885  
WOOLRIDGEARCHITECTUREFIRM.COM

**Sowell Road Shell**  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET <b>A0.0</b>
OF SHEETS

DW 3/28/2022 3:33 PM SITE PLAN.dwg

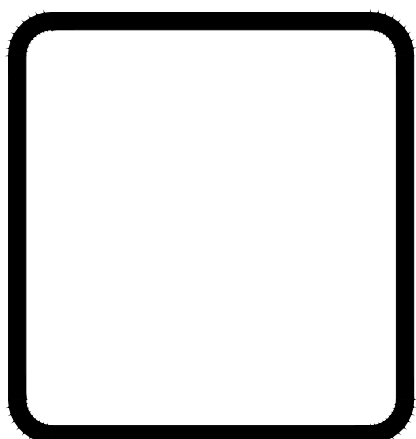


1  
A1.0 DUMPSTER ENCLOSURE  
SCALE: NTS

**Sowell Road, LLC  
C-2**

1  
A1.0 LANDSCAPE PLAN  
SCALE: 1"=30'-0"

REVISIONS	BY



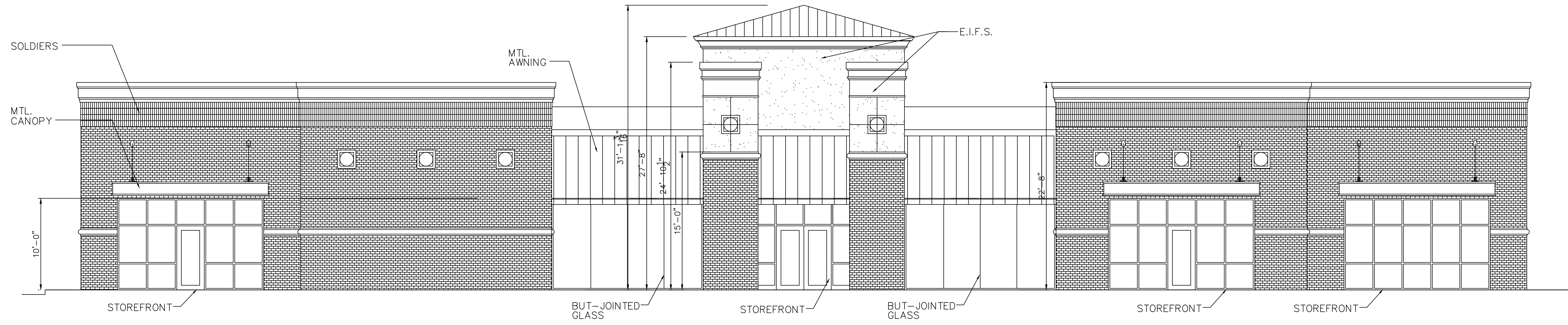
**W**

WOOLDRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8885  
WOOLDRIDGEARCHITECTUREFIRM.COM

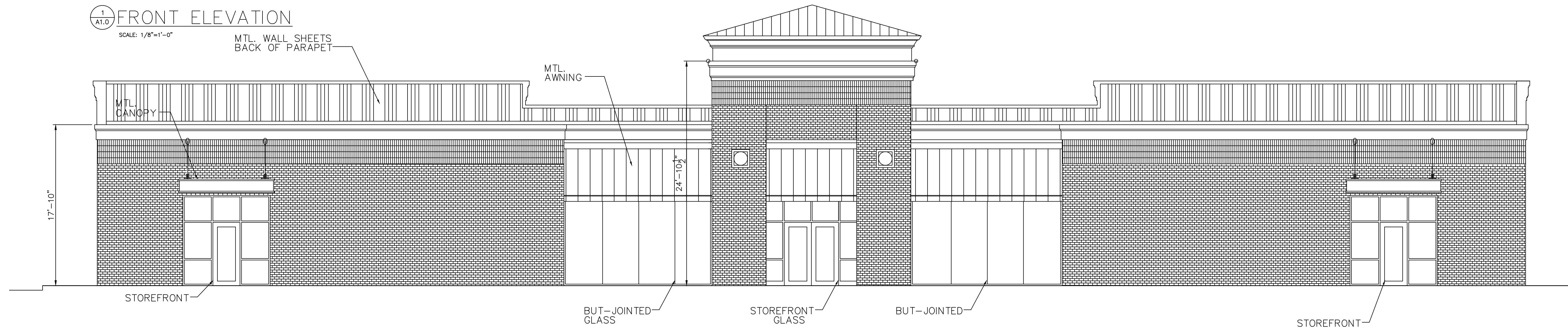
**Sowell Road Shell**  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET <b>A0.1</b>
OF SHEETS

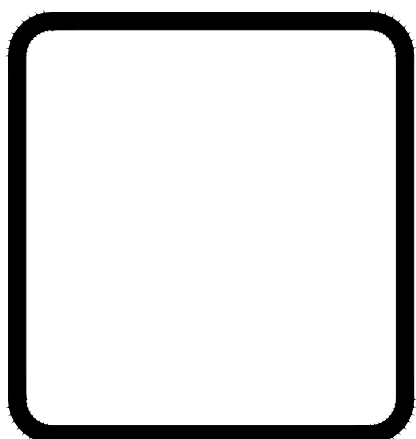


1  
A1.0 FRONT ELEVATION  
SCALE: 1/8"=1'-0"



1  
A1.0 REAR ELEVATION  
SCALE: 1/8"=1'-0"

REVISIONS	BY



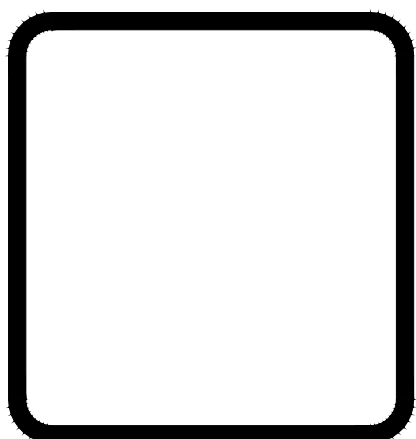
WOODRUFF & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8888  
WOODRUFFARCHITECTUREFARM.COM

Sowell Road Shell  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET A3.0
OF SHEETS

REVISIONS	BY

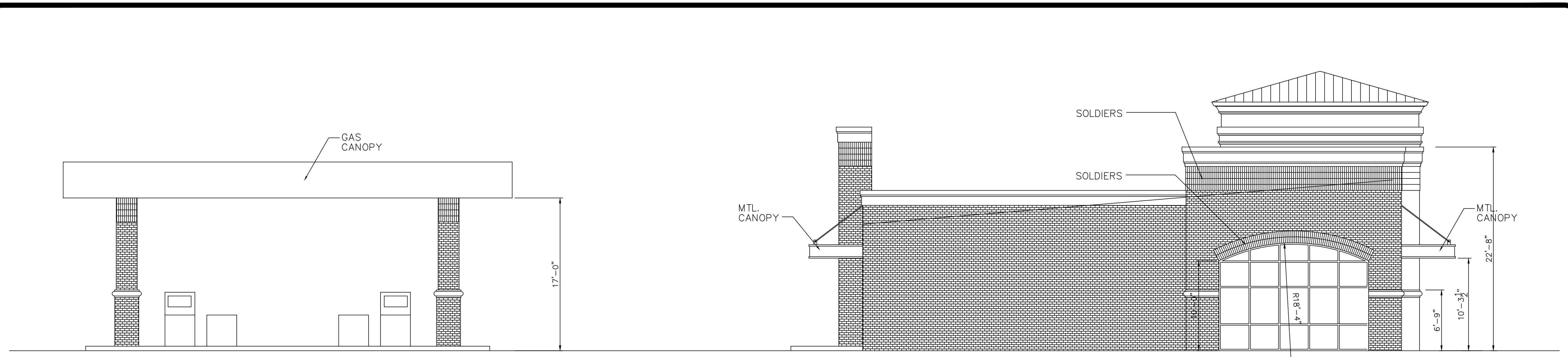


WOODRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8885  
WOODRIDGEARCHITECTUREFIRM.COM

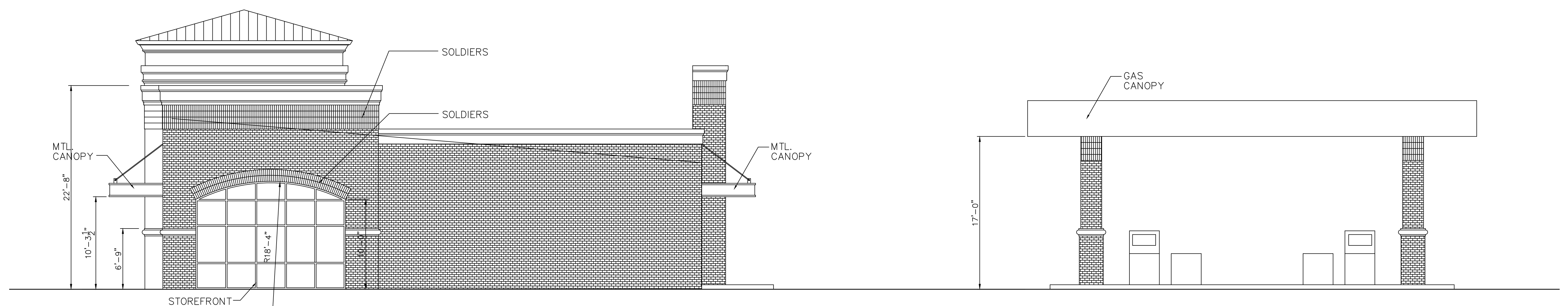
Sowell Road Shell  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET
A3.1
OF SHEETS



1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 REAR ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 CANOPY ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

DW 3/28/2022 3:33 PM SITE PLAN.dwg