



## REGULAR MEETING OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, February 11, 2025 at 6:00 PM

---

### Agenda

This notice and agenda of the Regular Meeting of the Mayor and Board of Aldermen is hereby given by the undersigned. Said meeting shall be held on Tuesday, February 11, 2025, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

1. **Call Meeting to Order and Roll Call**
2. **Opening Prayer and Pledge of Allegiance**
3. **Presented Items**
  - A) Request for Approval of Citywide Celebration of the Week of the Young Child, April 8-11, 2025 (Thelma Harden, Christian Learning Center)
  - B) Request for Approval of Resolution, Designating Firefighter Appreciation Week, February 17th -21st, 2025 (Alderman Powell)
  - C) Presentation of Officer of the Quarter, Investigator Rob Parker (Chief Hale)
  - D) Presentation of 2024 Officer of the Year, Sergeant Duane Montgomery (Chief Hale)
  - E) Presentation of the Life Saving Award, Sergeant Duane Montgomery and Sergeant Kyrie Lucas (Veterans of Foreign Wars of the United States)
4. **Approval of Consent Agenda Items**
  - A) Approval of Claims Docket
  - B) Approval of January 14, 2025 Meeting Minutes
  - C) Request for Approval of Training & Travel Reimbursement, First Line Supervision Class, MLEOTA - Pearl, MS 2/24-2/26 (Sgt. Lucas)

- [D\)](#) Request for Approval, Formally Accepting Donation of Various Items (Computers, Monitors, Printers) from the Madison County District Attorney and Request to Add to Fixed Assets
- [E\)](#) Request for Approval, Donation of Trail Cameras to the Public Works Department from Trey McClellan
- [F\)](#) Request for Approval, Stantec Task Order #7 (Public Works, Engineering Services)
- [G\)](#) Request for Approval, Waste Management Service Agreement (107 Lone Wolf Drive)
- [H\)](#) Request for Approval of Training Registration: CMO Elective Evening Class, Workplace Harassment, February 13th, Ridgeland, (Powell, Kellum, Pickett)
- [I\)](#) Request for Approval of Training & Travel Reimbursement: Tyler Connect Conference, San Antonio, TX May 11-14, 2025 (Kellum)
- [J\)](#) Request for Approval of Training & Travel Reimbursement: 2025 Spring Municipal Clerk Conference, Hattiesburg, MS, April 9-11, 2025 (Kellum, Maugh, Pickett)
- [K\)](#) Request for Approval of Training Registration: DCMC Program, February 12-14th, Ridgeland (Maugh, Pickett)

**5. Monthly Budget Report**

- [A\)](#) Monthly Budget Report(s)
- [B\)](#) Monthly Bank Reconciliations

**6. New Business**

- [A\)](#) Request for Approval, Resolution Supporting Federal Tax Exemption of Municipal Bonds (MML Request)

**7. Grant Administrator, Grant Status Updates (Ruth Marie Stogner)**

- [A\)](#) Grants Update
- [B\)](#) Mississippi Main Street
- [C\)](#) Mayoral Health Council
- [D\)](#) Status of Federal Funding

**8. City Clerk, City Administration Matters (Lindsay Kellum)**

- [A\)](#) Monthly Update, City Administration (City Clerk)
- [B\)](#) Monthly Privilege License Report (Assistant City Clerk)
- [C\)](#) Request for Authorization to Add Scott Maugh, Assistant City Clerk, Read Only Access to All Gluckstadt Bank Accounts



- [D\)](#) 2025 Municipal Elections Update & Requests from City Clerk
- [E\)](#) Request for Approval of Quote from Election Systems & Software (Election Day Technician Support - Primary, Primary Runoff, General)

**9. Building Official, Planning and Zoning Matters (William Hall)**

- [A\)](#) General Update, Planning and Zoning/Building Department
- [B\)](#) Discussion and Consideration of Brothers Tacos Conditional Use
- [C\)](#) Discussion and Consideration of 342 Old Jackson Project A Dimensional Variance
- [D\)](#) Discussion and Consideration of 342 Old Jackson Project B Dimensional Variance
- [E\)](#) Discussion and Consideration of D&S Investments Wyndham Hotel Parking and Height Variance
- [F\)](#) Discussion and Consideration of Approval: Application for Rezoning, Bedi Investments, 1064 Gluckstadt Road
- [G\)](#) Discussion and Consideration of D&S Investments Wyndham Hotel Site Plan

**10. Public Works Department (Chris Buckner)**

- [A\)](#) Request for Approval, Permission to Advertise for Gluckstadt Road Median Removal
- [B\)](#) Request for Approval, Meadows at Stout Farms Part 4
- [C\)](#) Request for Approval of Road Name, Titan Lane

**11. Police Chief, Police Department Matters (Chief Barry Hale)**

- [A\)](#) General Update, Police Department

**12. Public Comment**

**13. Closed Session to Determine Need for Executive Session**

**14. Adjourn**

WALTER C. MORRISON, IV  
MAYOR

We the undersigned Aldermen acknowledge that we were given notice of said meeting at least three (3) hours in advance thereof by a copy of this notice.

Alderwoman Bates \_\_\_\_\_

Alderman Powell \_\_\_\_\_

Alderman Slay \_\_\_\_\_

Alderman Taylor \_\_\_\_\_

Alderwoman Williams \_\_\_\_\_

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

\_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]



Christian Learning Center  
Thelma Willis-Harden, Executive Director  
111 Aulenbrock Drive Canton, MS

January 28, 2025

Dear Mayor and Board of Aldermen, City of Gluckstadt,

I am writing to bring to your attention a national celebration held annually to honor young children, their families, and the early childhood community. This celebration seeks to raise awareness about the essential services and opportunities available to our youngest citizens—services that provide a strong foundation for their growth, development, and future success. We kindly request your support in recognizing and celebrating this meaningful event, as your involvement would greatly enhance its impact.

We propose designating the week of **April 8-11 as The Week of the Young Child** in Gluckstadt. This initiative would highlight the importance of early childhood education and its significant role in improving the lives of children, families, early childhood educators, and our community as a whole.

It would be an honor to collaborate with your office to ensure this celebration is impactful and successful. Together, we can position Gluckstadt as a leader in excellence for Early Childhood Services and Education.

Thank you for considering this request. Your support would make a profound difference in the well-being of our community and its future generations. We look forward to the opportunity to discuss this initiative further.

Sincerely,  
Thelma Willis Harden  
The Christian Learning Center  
Executive Director

“Where We Learn and Pray”



As we plan for this special occasion, we would love to incorporate several initiatives that I believe will both honor our young learners and support local families. I would greatly appreciate your consideration and support for the following proposed ideas:

**1. Issue a Proclamation Declaring April 5th-11th as the Week of the Young Child in the City of Gluckstadt:** We would be honored to have the city officially recognize this week as a time to celebrate early childhood education and the important role it plays in shaping our future.

**2. Posting of Student Artwork at City Hall:** We would like to propose displaying students' artwork in City Hall as a way to showcase the creativity and talents of our students, while also strengthening the community's connection to local education.

**3. Ribbons for Daycares:** Another idea is to arrange colorful ribbons on the doors of daycares throughout the city, providing visible recognition to the early childhood centers and celebrating their contribution to our community's future.

**4. Family Fun Friday:** We would also like to host a "Family Fun Friday" event, where city officials, along with early childhood professionals, can provide valuable information to parents and students. This event would aim to offer resources, foster connections, and create an enjoyable atmosphere for families.

These initiatives would not only honor the work of educators and early childhood professionals but also strengthen our community's involvement in supporting young learners. I believe your support would help make this celebration even more impactful.

Please view this website <https://www.naeyc.org/events/woyc> to find out more information regarding the Week of the young child and examples of how this week is celebrated.

**"Where We Learn and Pray"**



**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI DECLARING FEBRUARY 17-21, 2025, AS FIREFIGHTER APPRECIATION WEEK**

WHEREAS, Firefighters dedicate their lives to the protection of life and property. Sometimes that dedication is in the form of countless hours volunteered over many years, in others it is many selfless years working in the industry. In all cases it risks the ultimate sacrifice of a firefighter’s life; and

WHEREAS, Firefighters are vital to the public safety of our community, and are likely to be the first people to arrive at and provide assistance during an emergency, whether it is a vehicle crash, structure fire, or a natural disaster; and

WHEREAS, twenty-four hours, seven days a week, and three-hundred and sixty-five days a year, whether it is a holiday or a loved one’s birthday, there are men, women and teenagers who are trained, equipped and have the passion to put others' safety before their own to help those that are in distress; and

WHEREAS, the demands of firefighting are accompanied by both personal and physical tolls that all firefighters knowingly accept while risking their lives to protect the lives of others; and,

WHEREAS, Firefighter Appreciation Week is a time where the community can recognize and honor the sacrifices that firefighters make to ensure that their communities and environment are as safe as possible, and a week in which current and past firefighters can be thanked for their contributions;

WHEREFORE, be it hereby resolved by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, as follows:

1. The City of Gluckstadt declares February 17-21, 2025, as Firefighter Appreciation Week and encourages all citizens to show support and appreciation to our City, State, and Federal firefighters who protect our lives and property throughout the year, and to remember past firefighters who dedicated their lives to preserve the safety of the community.
2. The Mayor and Board of Aldermen wish to express their gratitude and appreciation to the South Madison County Fire Protection District for selflessly serving the citizens and community of the City of Gluckstadt.

SO RESOLVED this the 11<sup>th</sup> day of February 2025. Motion was made by Alderman \_\_\_\_\_, and seconded by Alderman \_\_\_\_\_, for the adoption of the above and foregoing Order.

Upon roll call vote, the result was as follows:

Alderman Miya Warfield Bates voted:	Aye/Nay
Alderman Jayce Powell voted:	Aye/Nay
Alderman Richard Wesley Slay voted:	Aye/Nay
Alderman John Taylor voted:	Aye/Nay
Alderman Lisa H. Williams voted:	Aye/Nay

The Mayor thereupon declared the motion carried and the Resolution adopted this the 11<sup>th</sup> day of February 2025.

\_\_\_\_\_  
Walter C. Morrison, IV,  
MAYOR

ATTEST:

\_\_\_\_\_  
Lindsay Kellum,  
CITY CLERK





Gluckstadt, MS

**Docket of Claims Register**

Section 4, Item A)

APPKT00686 - Feb. 2025 Claims Docket

By Docket/Claim Number

Vendor #	Vendor Name	Payable Number	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount Distribution Amount
00001	1st Defense Fire & Safety, LLC	M-1355	Fire Extinguisher Recharge (PD Building)	Invoice	01/14/2025	Fire Extinguisher Recharge (PD Building)	001-195-68100	40.00
00220	Ace Bolt & Screw Co. Inc.	686522	#14 x 1 Phil Pan T/S-A	Invoice	01/21/2025	#14 x 1 Phil Pan T/S-A	001-301-50500	8.48
		688488	PW Other Supplies	Invoice	02/03/2025	5/16 PROOF COIL CHAIN	001-301-50500	16.50
						KA STL PADLOCK -1-1/2"	001-301-50500	48.90
00203	APAC-Mississippi, Inc.	4000196961	APAC Asphalt Open PO	Invoice	01/28/2025	APAC Asphalt Open PO	001-301-55904	181.80
		4000197449	APAC Asphalt Open PO	Invoice	02/03/2025	APAC Asphalt Open PO	001-301-55904	186.30
00279	AT&T Mobility	022025	Monthly Backup Line Payment	Invoice	02/11/2025	Monthly Backup Line Payment	001-195-60500	40.23
00323	Barrington Development, LLC	012025	6 BoA Rooms - MML - July 2025	Invoice	02/04/2025	6 BoA Rooms - MML - July 2025	001-100-61000	4,063.50
00006	Bear Creek Water Association	012025CH	CH Water & Sewer - Jan. 2025	Invoice	01/27/2025	CH Water & Sewer - Jan. 2025	001-195-63003	33.37
		012025LW	LW Water & Sewer - Jan. 2025	Invoice	01/27/2025	LW Water & Sewer - Jan. 2025	001-195-63003	35.52
		012025PD	PD Water & Sewer - Jan. 2025	Invoice	01/27/2025	PD Water & Sewer - Jan. 2025	001-195-63003	185.61

Docket of Claims Register

Vendor #	Vendor Name Payable Number	Docket/Claim # Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount Distribution Amount
00108	Big 10 Tire Co. 5109384	20250250 G93706 RADIATOR	Invoice	12/04/2024	CARQUEST PREMIUM RADIATOR RADI	001-200-57000	3,739.18
					DIAGNOSTIC JOB SUPPLIES	001-200-57000	410.50
					DIAGNOSTIC LABOR	001-200-57000	8.39
					DORMAN - HELP ENGINE COOLANT RE:	001-200-57000	79.94
					ENVIRONMENTAL FEE	001-200-57000	49.89
					MECHANICAL REPAIR JOB SUPPLIES	001-200-57000	4.98
					REMOVE AND REPLACE RADIATOR	001-200-57000	70.09
	5109407	SUV1 RADIATOR	Invoice	11/12/2024	DIAGNOSTIC	001-200-57000	207.10
					DIAGNOSTIC JOB SUPPLIES	001-200-57000	79.94
					DORMAN - OE SOLUTIONS HVAC HEAT	001-200-57000	8.39
					DORMAN - OE SOLUTIONS HVAC HEAT	001-200-57000	144.35
					MECHANICAL REPAIR COPY JOB SUPPL	001-200-57000	149.60
					MECHANICAL REPAIR JOB SUPPLIES	001-200-57000	52.61
					OSC RADIATOR - OSC13398	001-200-57000	82.16
					REMOVE & REPLACE FRONT HEATER H	001-200-57000	575.38
					REMOVE & REPLACE RADIATOR	001-200-57000	207.10
					RO FEES	001-200-57000	207.10
	5110361	UNIT 2204 TIRES	Invoice	12/06/2024	GENERAL - 15578240000 255/60/18	001-200-57000	4.98
					JOB SUPPLIES	001-200-57000	592.40
					MOUNT AND BALANCE	001-200-57000	10.87
					RO FEES ENVIRONMENAL	001-200-57000	80.00
					TIRE DISPOSAL	001-200-57000	4.98
					TPMS RESET/RUBBER VALVE STEM	001-200-57000	24.00
	5111357	UNIT 2209 BRAKES	Invoice	01/13/2025	Brake labor front	001-200-57000	23.48
					Brembo PRIME UV Brake Rotor	001-200-57000	95.00
					Buralast Pursuit Brake Pads Front	001-200-57000	363.72
					Enviromental Fees	001-200-57000	134.92
					Job supplies front	001-200-57000	4.98
00202	Blue360 Media IN2501248850	20250251 MS Criminal Law & Traffic Law - 2024-	Invoice	01/09/2025	MS Criminal Law & Traffic Law - 2024-	001-110-55900	183.43
00422	Bridgestone Americas, Inc 189455	20250252 Tires for PW Trucks - Ford and Chevy	Invoice	01/28/2025	Tires for PW Truck - Chevy	001-301-57000	571.24
					Tires for PW Truck - Ford	001-301-57000	263.34
					Tires for PW Trucks - Waste Tire Fee	001-301-57000	303.90
00317	Canine Development Group, Inc. 164625	20250253 Yearly Handler Subscription	Invoice	02/02/2025	Yearly Handler Subscription	001-200-68800	4.00
00230	Canton Sanitary Landfill 012025	20250254 Trash Dump Fees - Jan. 2025	Invoice	01/31/2025	Trash Dump Fees - Jan. 2025	001-301-68500	140.00
							351.07
							351.07

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00010	Cascio Sanford Government Law 10240	20250255 Feb. 2025 Lobbying Fees & Lobbyist Re	Invoice	02/01/2025	Lobbying Fees - Feb. 2025 Lobbyist Registration Fee	001-195-60102 001-195-60102	3,550.00 3,500.00 50.00
00306	CDW LLC AC3QA6V	20250256 CPI Rack Shelf	Invoice	01/15/2025	CPI Rack Shelf	001-200-91900	151.29 151.29
00393	Cintas Corporation 4217236657 4217945611 4218730873 4219467186 4220183084	20250257 Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice	Invoice Invoice Invoice Invoice Invoice	01/08/2025 01/15/2025 01/22/2025 01/29/2025 02/05/2025	Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice Weekly Uniform Rental Invoice	001-301-64000 001-301-64000 001-301-64000 001-301-64000 001-301-64000	246.20 48.25 48.25 49.90 49.90 49.90
00115	Core & Main LP W246452	20250258 60LB Bags Asphalt Repair Perma-Patch	Invoice	01/07/2025	60LB Bags Asphalt Repair Perma-Patch	001-301-55904	950.00 950.00
00119	Crystal Clean 53804	20250259 Street Sweeping Services - Jan. 2025	Invoice	01/31/2025	Street Sweeping Services - Jan. 2025	001-301-68600	3,291.00 3,291.00
00090	Deviney Rental & Supply IV20963 IV21091 IV21205 IV21220	20250260 Rainsuit 56 108 Propane Torches Trimmer Propane	Invoice Invoice Invoice Invoice	01/09/2025 01/21/2025 02/03/2025 02/04/2025	Rainsuit 56 108 Propane Torches Trimmer Propane	001-301-53500 001-301-91600 001-301-91600 001-301-50500	675.84 71.65 114.30 469.99 19.90
00013	E-notice, Inc. 20571CB1-0044 9312ED76-0001	20250261 Proof of Pub - Notice of Public Hearing Proof of Pub - Asphalt Bid Notice	Invoice Invoice	01/28/2025 01/16/2025	Proof of Pub - Notice of Public Hearing Proof of Pub - Asphalt Bid Notice	001-190-61500 001-301-61500	75.14 32.32 42.82
00020	Entergy 10019640403  225007301549 225007304021 245007076051 290006333709 305005776831 370004214325 395005120120	20250262 Collective Bill  Ridgefield Street Lights PD Building Arrington Street Lights First Colony Street Lights Lone Wolf Bear Creek Street Lights Planters Row Streetlights	Invoice  Invoice Invoice Invoice Invoice Invoice Invoice	01/23/2025  01/24/2025 01/27/2025 01/24/2025 01/24/2025 01/21/2025 01/10/2025 01/23/2025	Collective Bill - Street Lights Collective Bill - Traffic Signals Ridgefield Street Lights PD Building Arrington Street Lights First Colony Street Lights Lone Wolf Bear Creek Street Lights Planters Row Streetlights	001-301-63102 001-301-63103 001-301-63102 001-195-63001 001-301-63102 001-301-63102 001-195-63001 001-301-63102 001-301-63102	3,680.75 59.07 665.63 119.08 1,306.05 220.33 312.13 362.16 478.87 157.43
00023	Fuelman NP67887208	20250263 Gas/Oil/Repair - PD/PW/Building	Invoice	02/03/2025	Gas & Oil - Building Gas & Oil - PD Gas & Oil - PW Repair & Main - Tires (PD)	001-280-52500 001-200-52500 001-301-52500 001-200-57000	5,759.76 104.82 4,205.11 1,078.47 371.36
00360	Global Police Solutions 2025021	20250264 Kyrie Lucas Reg. Fee - First Line Superv	Invoice	01/15/2025	Kyrie Lucas Reg. Fee - First Line Superv	001-200-61000	295.00 295.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00411	Gracie Jiu-Jitsu Madison, LLC	20250265					50.00
	012025	JIU JITSU TRAINING	Invoice	02/04/2025	JIU JITSU TRAINING	001-200-61000	50.00
00390	Guns-n-Gear	20250266					153.60
	16574	Surefire 123A Battery 2 Pack	Invoice	01/28/2025	Surefire 123A Battery 2 Pack	001-200-50500	153.60
00340	Highland Building Services, Inc.	20250267					2,150.00
	2837-A	Monthly Janitorial Services (CH) - Feb.	Invoice	02/01/2025	Monthly Janitorial Services (CH) - Feb.	001-195-69900	485.00
	2852-A	LW Monthly Janitorial Services - Feb. 2	Invoice	02/01/2025	LW Monthly Janitorial Services - Feb. 2	001-195-69900	275.00
	2854-A	PD Monthly Janitorial Services - Feb. 2	Invoice	02/01/2025	PD Monthly Janitorial Services - Feb. 2	001-195-69900	1,390.00
00025	Huffman & Company, CPA, P.A.	20250268					1,360.00
	012025	1099/1096 Assistance	Invoice	02/05/2025	1099/1096 Assistance	001-195-60004	1,360.00
00027	International Institute Of Municip	20250269					125.00
	012025Maugh	Maugh Membership & Grad. Fee	Invoice	02/06/2025	Maugh CMC Application Fee	001-140-61000	50.00
					Maugh CMC Designation Fee	001-140-61000	75.00
00029	It's Vinyl Y'all	20250270					1,968.50
	9098	UNIT 2302 VEHICLE GRAPHICS	Invoice	09/12/2024	CERAMIC_4 DOOR CAR/TRUCK	001-200-90300	276.50
					GRAPHICS DESIGN_ADDITIONAL VEHIC	001-200-62000	95.00
					TRADITIONAL_TINT STRIP	001-200-90300	42.00
					VEHICLE GRAPHICS	001-200-62000	625.00
	9311	UNIT 2402 STRIPING	Invoice	10/15/2024	CERAMIC FRONT 2	001-200-90300	150.00
					CERAMIC TINT STRIP	001-200-90300	60.00
					GRAPHIC DESIGN ADDITIONAL VEHICLI	001-200-62000	95.00
					VEHICLE GRAPHICS	001-200-62000	625.00
00186	Lewis Electric, Inc.	20250271					475.00
	M2025.02	Gluckstadt Road and Industrial Drive R	Invoice	01/08/2025	1 Man and Bucket Truck	001-301-57600	375.00
					LED Lamp Signal	001-301-57600	100.00
00178	Madison County Sheriff's Office	20250272					2,179.55
	GP-1224	Inmate Housing - Dec. 2024	Invoice	01/09/2025	Inmate Housing - Dec. 2024	001-200-68301	2,142.00
	GP-M1224	Inmate Medical - Dec. 2024	Invoice	01/13/2025	Inmate Medical - Dec. 2024	001-200-68301	37.55
00038	MAGCOR (formerly MPIC, INC)	20250273					55.00
	134159	Business Cards - Potvin	Invoice	01/31/2025	Business Cards - Potvin	001-200-62000	55.00
00172	Magnolia Shredding LLC	20250274					195.00
	3996	Monthly Shredding Services (CH) - Jan.	Invoice	01/15/2025	Monthly Shredding Services (CH) - Jan.	001-195-69900	75.00
	3996-B	Monthly Shredding Services (PD) - Jan.	Invoice	01/15/2025	Monthly Shredding Services (PD) - Jan.	001-195-69900	120.00
00426	Marvin Shelsky	20250275					5,740.00
	1360	Garrett Walk Through Metal Detector	Invoice	02/05/2025	Garrett Walk Through Metal Detector	001-200-90100	4,890.00
					Labor to Assemble	001-200-90100	850.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00320	MGM Resorts International	20250276					2,172.80
	012025	3 Room Payments for July 2025	Invoice	01/29/2025	C/N 972317276	001-140-61000	651.84
					C/N 972330825	001-140-61000	869.12
					C/N 972330883	001-140-61000	651.84
00045	Mills, Scanlon, Dye & Pittman, At	20250277					45,125.98
	012025Annex	Annex. Billing - Jan. 2025	Invoice	01/30/2025	Annex. Billing - Jan. 2025	001-195-60304	27,944.98
	012025Court	Court Legal Billing - Jan. 2025	Invoice	01/30/2025	Court Legal Billing - Jan. 2025	001-110-60301	1,232.75
	012025General&Retainer	General Legal Fees + Retainer - Jan. 20	Invoice	01/30/2025	General Legal Fees - Jan. 2025	001-195-60301	8,461.25
					Retainer - Jan. 2025	001-195-60301	3,000.00
	012025PnZ	PnZ Legal Fees - Jan. 2025	Invoice	01/30/2025	PnZ Legal Fees - Jan. 2025	001-190-60301	4,487.00
00047	Miss. Extension Center for Gover	20250278					900.00
	012025Kellum	Spring. Mun. Clerk Conf. Fee - Kellum	Invoice	01/17/2025	Spring. Mun. Clerk Conf. Fee - Kellum	001-140-61000	200.00
	012025Maugh	Spring. Mun. Clerk Conf. Fee - Maugh	Invoice	01/17/2025	Spring. Mun. Clerk Conf. Fee - Maugh	001-140-61000	200.00
	012025Pickett	CMC Spring Reg. Fee - Pickett	Invoice	01/14/2025	CMC Spring Session - Pickett	001-140-61000	300.00
	012025PickettA	Spring. Mun. Clerk Conf. Fee - Pickett	Invoice	01/17/2025	Spring. Mun. Clerk Conf. Fee - Pickett	001-140-61000	200.00
00051	Mississippi Association of Chiefs (	20250279					200.00
	1266	Slaven Membership Dues	Invoice	01/28/2025	Slaven Membership Dues	001-200-62200	100.00
	1267	Hale Membership Dues	Invoice	01/17/2025	Hale Membership Dues	001-200-62200	100.00
00352	Mississippi Department of Public	20250280					120.00
	90157052	Analytical Fees	Invoice	01/06/2025	Analytical Fees	001-200-60201	120.00
00050	Mississippi Municipal Clerks and	20250281					232.50
	00045	MMCA Membership Dues (Kellum/Ma	Invoice	01/23/2025	MMCA Membership Dues (Kellum/Ma	001-140-62200	82.50
	012025	Maugh Certification Fee	Invoice	02/06/2025	Maugh Certification Fee	001-140-61000	150.00
00048	Mississippi Municipal League	20250282					1,285.00
	40172	CMO Night Class (2/13/25) Powell/Kell	Invoice	01/22/2025	CMO Night Class (2/13/25) Kellum	001-140-61000	25.00
					CMO Night Class (2/13/25) Pickett	001-140-61000	25.00
					CMO Night Class (2/13/25) Powell	001-100-61000	25.00
	40196	MML Youth Summit 2025	Invoice	02/05/2025	MML Youth Summit 2025	001-120-64500	1,210.00
00427	Mississippi Tent & Party Rental	20250283					30.00
	012025	PL Overpayment Refund	Invoice	01/14/2025	PL Overpayment Refund	001-000-22001	30.00
00257	Murray Mud Jacking Service, Inc.	20250284					3,000.00
	2025-6	Storm Drain Repairs - 137 Jorn Circle &	Invoice	01/28/2025	137 Jorn Circle Drainage Repair	001-301-56501	1,200.00
					Bradshaw Ridge Subdivision Drainage	001-301-56501	1,800.00

Docket of Claims Register

APPKT00686 - F

Section 4, Item A)

et

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00152	OP Plus	20250285					2,092.90
	1074717-0	PD Office Supplies	Invoice	11/06/2024	CRATE, COLLAPSIBLE	001-200-50000	73.42
					TOWEL, M-FOLD, 9.25X9.5, NT	001-200-50000	72.09
	1076658-0	PD Office Supplies	Invoice	11/25/2024	DESK PAD, MNTH, 21.75X17, WE	001-200-50000	36.84
	1077232-0	PD Office Supplies	Invoice	12/04/2024	BATTERY, PROCELL, AAA, 24/BX	001-200-50000	20.50
					BOOK, STENO, GREGG, 80SH, WH	001-200-50000	4.08
					CLIP, BINDER, LGE, DZ	001-200-50000	7.60
					CLIP, BINDER, MED, DZ	001-200-50000	3.25
					CLIP, BINDER, SML, DZ	001-200-50000	1.05
					FOLDER, FILE, 1/3C, LTR, BE	001-200-50000	13.63
					FOLDER, FILE, 1/3C, LTR, RD	001-200-50000	15.83
					FOLDER, MLA, 1/3 CT, LTR, 100	001-200-50000	9.86
					MARKER, DRY, ERASE, BLT, 4/ST	001-200-50000	8.60
					OPENER, LETTER, 3/PK, WHT	001-200-50000	1.16
					PAD, LGL RULD, PERF, LTR, WH	001-200-50000	12.06
					PEN, BALLPT, ECONOMY, MED, BE	001-200-50000	10.40
					PUNCH, 3-HOLE, 20SH, BK	001-200-50000	23.02
					REMOVER, STAPLE	001-200-50000	0.61
					STAPLER, FULL	001-200-50000	15.56
	1077232-1	STAPLES, CHSEL PT, 5M/BX	Invoice	12/05/2024	STAPLES, CHSEL PT, 5M/BX	001-200-50000	2.88
	1077257-0	PD Office Supplies	Invoice	12/04/2024	BNDR, VIEW, 11X8.5.1", WE	001-200-50000	50.80
					FOLDER, 2FSTNR, LTR, 50, BE	001-200-50000	27.67
					PEN, SHARPIE, PLSTC PT, BK	001-200-50000	16.96
	1077257-1	FOLDER, 2FSTNR, LGL, 50, GN	Invoice	12/06/2024	FOLDER, 2FSTNR, LGL, 50, GN	001-200-50000	28.90
	1078751-0	PD Office Supplies	Invoice	12/18/2024	LINER, 38X58, 1.8 ML, 10/10	001-200-50000	45.49
					TOWEL, BOUNTY, SAS, 12MR	001-200-50000	165.80
	1080379-0	OFFICE SUPPLIES	Invoice	01/09/2025	FOLDER,END,TAB,1FSTNR,MLA	001-110-50000	173.75
					FOLDER,EXP,FSTNR,LRT,YL	001-110-50000	160.83
					FOLDER,EXP,FSTNR,LTR,RD	001-110-50000	151.20
					FOLDER,FILE,END,TB,LTR,OE	001-110-50000	99.04
	1080834-0	Office Supplies - LW	Invoice	01/14/2025	CALENDAR, DESK, SEASONL, AST	001-190-50000	7.67
						001-280-50000	7.67
					FILE, DESK, LTR, JAN-DEC, DBE	001-190-50000	13.58
						001-280-50000	13.58
					PEN, GEL, 0.7MM, PP	001-190-50000	5.60
						001-280-50000	5.60
						001-301-50000	5.60
					PIN, PUSH, ASSORTED, 600/BX	001-190-50000	1.98
						001-280-50000	1.99
						001-301-50000	1.99
	1080834-1	LW Office Supplies	Invoice	01/15/2025	LINER, LD, 38X58, CRLSS, GY	001-190-50000	14.06
						001-280-50000	14.06
						001-301-50000	14.06

Docket of Claims Register

APPKT00686 - F

Section 4, Item A)

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Distribution Amount
	1080834-2	LW Office Supplies	Invoice	01/17/2025	BOARD, CORK, 11X17, BK	001-301-50000	17.73
	1080853-0	City Hall Supplies	Invoice	01/14/2025	LINER, 8-10 GAL, .4MIL, WH	001-140-50000	20.31
					TISSUE, CHRM, SOFT, 18/RL, WH	001-140-50000	65.22
					TOWEL, BOUNTY, SAS 12MR	001-140-50000	82.90
	1080853-1	City Clerk Office Supplies	Invoice	02/03/2025	LINER, LLDPE, 1.7MIL, 45G, BK	001-140-50000	58.18
	1081189-0	Court Folders	Invoice	01/16/2025	FOLDER, REINF, SHF, LTR, MLA	001-110-50000	247.56
	1081570-0	PD Office Equipment and Supplies	Invoice	01/23/2025	LABEL, 1/4" WHT/BLK	001-200-50000	51.72
					LABEL, 3/8" WHT/BLK	001-200-50000	53.72
					LABELMAKER, H/O EVRYDY, PTO	001-200-91900	49.38
	1082120-0	FRAME, DOCU HOLDR, 6PK, NVBE	Invoice	01/27/2025	FRAME, DOCU HOLDR, 6PK, NVBE	001-200-50000	22.40
	1083161-0	TOWEL, CFOLD, 12/200, WH	Invoice	02/05/2025	TOWEL, CFOLD, 12/200, WH	001-200-50000	63.46
00053	Pennington & Trim Alarm Service	20250286					69.00
	836636	Monthly Wireless Monitoring & Access	Invoice	02/01/2025	Monthly Wireless Monitoring & Access	001-195-63200	69.00
00054	Phelps Dunbar LLP	20250287					1,452.50
	1402403	General Labor & Employment - Dec. 20	Invoice	01/29/2025	General Labor & Employment	001-195-60302	1,452.50
00055	Printables and More (G&W Mark	20250288					55.00
	31349	Thank You Cards	Invoice	01/30/2025	COLOR PRINTING - 100# WHITE CARD	001-195-62000	55.00
00311	Revell Hardware Co., Inc.	20250289					331.37
	8348	Key Single Cut	Invoice	01/08/2025	Key Single Cut	001-200-50500	33.48
	8440	WNDW Sealant and 4' SLV NAILONS	Invoice	01/15/2025	4' SLV #0 NAILON 1PC	001-200-50500	7.18
					4' SLV #1 NAILON 1PC	001-200-50500	7.18
					4' SLV #4 NAILON 1PC	001-200-50500	7.18
					WNDW&DR SEALANT 10.1OZ	001-200-50500	13.99
	8450	Flat Panel FLTR 24x24x1	Invoice	01/16/2025	Flat Panel FLTR 24x24x1	001-301-50500	7.98
	8528	60LB Concrete Mix	Invoice	01/23/2025	60LB Concrete Mix	001-301-55904	27.54
	8564	PD Batteries	Invoice	01/24/2025	BATTERY ALK AA 20WIDE	001-200-50500	21.99
					BATTERY ALK AAA 20WIDE	001-200-50500	21.99
	8645	PW Supplies	Invoice	01/30/2025	PB BLASTER PENETRATING 11OZ	001-301-50500	8.99
					TARP SILVR/BLACK 12'X16'	001-301-50500	49.99
	8703	PW Supplies & Chemicals	Invoice	02/05/2025	BOOT SCRUBBER YAKTRAX	001-301-50500	59.98
					DUST ANT TERRO	001-301-55800	49.95
					KEY SINGLE CUT	001-301-50500	13.95
00057	Robert J Young Company	20250290					2,244.06
	INV7318908	Court Copier and Monthly Overages - J	Invoice	01/17/2025	Court Copier and Monthly Overages - J	001-110-64000	393.63
	INV7333888	Board Room Monthly Payment - Jan. 2	Invoice	01/28/2025	Board Room Monthly Payment - Jan. 2	001-195-64000	556.64
	INV7333889	Admin Copier & Monthly Overages - Ja	Invoice	01/28/2025	Admin Copier & Monthly Overages - Ja	001-195-64000	500.71
	INV7345912	PD Copier & Monthly Overages - Jan. 2	Invoice	02/03/2025	PD Copier & Monthly Overages - Jan. 2	001-200-64000	335.90
	INV7345913	LW Copier & Monthly Overages - Jan. 2	Invoice	02/03/2025	LW Copier & Monthly Overages - Jan. 2	001-190-64000	152.39
						001-280-64000	152.40
						001-301-64000	152.39

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00059	South Madison County Fire Prote	20250291					60,000.00
	012025	SMCFPD Appropriation FY2025	Invoice	01/15/2025	SMCFPD Appropriation FY2025	001-260-69900	60,000.00
00154	Southern Benefits Administrators	20250292					100.00
	25012302300000	Cafeteria Plan - Feb. 2025	Invoice	01/23/2025	Cafeteria Plan - Feb. 2025	001-195-60003	100.00
00060	Southern Connection Police Supp	20250293					50.99
	33210	Embroidery and Polo	Invoice	01/08/2025	Embroidery Name	001-200-53500	6.00
					F/T Performance Polo L/S Black M	001-200-53500	44.99
00061	Stantec Consulting Services Inc (S	20250294					9,259.74
	2338652	Gluckstadt Road Widening Proj. - Dec.	Invoice	01/22/2025	Gluckstadt Road Widening Proj. - Dec.	301-301-60203	9,259.74
00061	Stantec Consulting Services Inc (S	20250295					11,491.73
	2338653	Calhoun Station Pkwy. Proj. - Dec. 202	Invoice	01/22/2025	Calhoun Station Pkwy. Proj. - Dec. 202	300-301-60203	11,491.73
00289	Steve Chisholm, LLC	20250296					145.00
	012025	Load Dirt	Invoice	01/15/2025	Load Dirt	001-301-55904	145.00
00409	Superior Tire Recappers, Inc.	20250297					135.00
	222126	Chevy Tire Repair	Invoice	02/05/2025	Tire Repair	001-301-57000	35.00
					Tires Changed	001-301-57000	50.00
					Wheels Balanced	001-301-57000	50.00
00361	The 20 LLC	20250298					6,763.19
	INVT20LLC-0045779	Monthly IT Services	Invoice	02/04/2025	Monthly IT Services	001-195-68800	6,763.19
00181	Thomson Reuters - West Paymen	20250299					716.63
	851464782	Monthly Clear Sub	Invoice	02/01/2025	Monthly Clear Sub	001-200-68800	716.63
00063	Trustcare Health, LLC	20250300					60.00
	10525K19538	Drug Screening - Lockett	Invoice	02/01/2025	Drug Screening - Lockett	001-301-60401	60.00
00064	Tyler Technologies, Inc.	20250301					15.00
	045-497954	Chargeback Activity Payment	Invoice	12/13/2024	Chargeback Activity Payment	001-110-68100	15.00
00433	Tyler Watts	20250302					2,493.08
	022025	Victim Restitution	Invoice	01/21/2025	Victim Restitution	001-000-33005	2,493.08
00385	United Automation, LLC	20250303					165.09
	5915722	Key Fobs	Invoice	02/04/2025	Key Fobs	001-200-50500	165.09
00308	Urgivet, LLC	20250304					573.48
	21741	Emergency Exam/Visit - Drug Dog	Invoice	01/28/2025	Emergency Exam/Visit - Drug Dog	001-200-60404	573.48
00321	Waste Management of Mississipi	20250305					399.90
	3230697-0078-5	PW Trash Pickup - Feb. 2025	Invoice	01/28/2025	PW Trash Pickup - Feb. 2025	001-301-64000	243.75
	3230874-0078-0	PD Trash Pickup - Feb. 2025	Invoice	01/28/2025	PD Trash Pickup - Feb. 2025	001-200-64000	156.15
<b>Total Claims: 62</b>						<b>Total Payment Amount:</b>	<b>194,631.70</b>





Gluckstadt, MS

**Docket of Claims Register**

Section 4, Item A)

APPKT00682 - 2.11.25 Other Claims Docket, Payment Process

By Docket/Claim Number

Vendor #	Vendor Name	Docket/Claim #	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
	Payable Number							Distribution Amount
00299	110 Percent, LLC	2112025	February Rent	Invoice	02/04/2025	February Rent	001-195-68300	3,000.00
	INV0002456							3,000.00
00166	Andrew Duggar	2112026	P&Z Refresher Course	Invoice	02/07/2025	P&Z Refresher Course	001-190-60103	240.00
	INV0002441							120.00
	INV0002450		P&Z Jan. Mtg	Invoice	02/07/2025	P&Z Jan. Mtg	001-190-60103	120.00
00160	Charles Phillips King	2112027	P&Z Refresher Course	Invoice	02/07/2025	P&Z Refresher Course	001-190-60103	240.00
	INV0002446							120.00
	INV0002449		P&Z Jan. Mtg	Invoice	02/03/2025	P&Z Jan. Mtg	001-190-60103	120.00
00135	John G. Sims, III	2112028	February Court Services	Invoice	02/07/2025	February Court Services	001-110-60101	1,200.00
	INV0002454							1,200.00
00163	Katrina B. Myricks	2112029	P&Z Refresher Course	Invoice	02/07/2025	P&Z Refresher Course	001-190-60103	240.00
	INV0002443							120.00
	INV0002451		P&Z Jan. Mtg	Invoice	02/07/2025	P&Z Jan. Mtg	001-190-60103	120.00
00189	Kayce Leigh Saik	2112030	P&Z Jan. Mtg	Invoice	02/07/2025	P&Z Jan. Mtg	001-190-60103	120.00
	INV0002453							120.00
00032	Kelly Dabbs Commercial, LLC	2112031	February Rent	Invoice	02/04/2025	February Rent	001-195-68300	8,792.00
	INV0002457							8,792.00
00414	LVNV Funding, LLC	2112032	Wage Garnishment, Loan Garnishment	Invoice	01/03/2025	Wage Garnishment, Loan Garnishment	001-000-00213	1,665.75
	INV0002351							555.25
	INV0002405		Wage Garnishment, Loan Garnishment	Invoice	01/17/2025	Wage Garnishment, Loan Garnishment	001-000-00213	555.25
	INV0002425		Wage Garnishment, Loan Garnishment	Invoice	01/31/2025	Wage Garnishment, Loan Garnishment	001-000-00213	555.25
00142	Marsha Weems Stacey	2112033	Jan. Court Services	Invoice	02/07/2025	Jan. Court Services	001-110-60102	200.00
	INV0002465							200.00
00149	Melanie Greer	2112034	P&Z Refresher Course	Invoice	02/07/2025	P&Z Refresher Course	001-190-60103	240.00
	INV0002442							120.00
	INV0002448		P&Z Jan. Mtg	Invoice	02/07/2025	P&Z Jan. Mtg	001-190-60103	120.00
00134	Michael Devin Whitt	2112035	February Court Services	Invoice	02/03/2025	February Court Services	001-110-60201	1,200.00
	INV0002455							1,200.00
00328	Mississippi Department of Human Resources	2112036	Wage Garnishment, Child Support Ord	Invoice	01/03/2025	Wage Garnishment, Child Support Ord	001-000-00213	452.79
	INV0002349							150.93
	INV0002403		Wage Garnishment, Child Support Ord	Invoice	01/17/2025	Wage Garnishment, Child Support Ord	001-000-00213	150.93
	INV0002424		Wage Garnishment, Child Support Ord	Invoice	01/31/2025	Wage Garnishment, Child Support Ord	001-000-00213	150.93

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00139	Mississippi Department of Public	2112037					1,461.03
	INV0002462	Jan. State Assessments	Invoice	02/03/2025	Jan. State Assessments, Interlock	001-000-33000	1,000.00
					Jan. State Assessments, Special Assessi	001-000-33000	461.03
00164	Sam McGaugh	2112038					240.00
	INV0002444	P&Z Refresher Course	Invoice	02/07/2025	P&Z Refresher Course	001-190-60103	120.00
	INV0002452	P&Z Jan. Mtg	Invoice	02/07/2025	P&Z Jan. Mtg	001-190-60103	120.00
00138	State General Fund (DFA)	2112039					28,239.11
	INV0002463	Jan. State Assessments	Invoice	02/04/2025	Jan. State Assessments	001-000-33000	28,239.11
00161	Timothy Slattery	2112040					240.00
	INV0002445	P&Z Refresher Course	Invoice	02/07/2025	P&Z Refresher Course	001-190-60103	120.00
	INV0002447	P&Z Jan. Mtg	Invoice	02/07/2025	P&Z Jan. Mtg	001-190-60103	120.00
00242	Torri Parker Martin, Chapter 13 T	2112041					1,383.00
	INV0002348	Wage Garnishment, Bankruptcy Order	Invoice	01/03/2025	Wage Garnishment, Bankruptcy Order	001-000-00213	461.00
	INV0002402	Wage Garnishment, Bankruptcy Order	Invoice	01/17/2025	Wage Garnishment, Bankruptcy Order	001-000-00213	461.00
	INV0002423	Wage Garnishment, Bankruptcy Order	Invoice	01/31/2025	Wage Garnishment, Bankruptcy Order	001-000-00213	461.00
<b>Total Claims: 17</b>						<b>Total Payment Amount:</b>	<b>49,153.68</b>



## REGULAR MEETING OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, January 14, 2025 at 6:00 PM

---

### Minutes

This notice and agenda of the Regular Meeting of the Mayor and Board of Aldermen is hereby given by the undersigned. Said meeting shall be held on Tuesday, January 14, 2025, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

#### 1. Call Meeting to Order and Roll Call

The Mayor called the January 14, 2025, Regular Meeting of the Mayor and Board of Aldermen to order. The Mayor presented the Notice of Regular Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderman Wesley Slay, Alderman Jayce Powell and Alderwoman Lisa Williams.

Staff Members Present: City Clerk Lindsay Kellum, Assistant City Clerk Scott Maugh, Public Works Director Chris Buckner, Planning and Zoning Director / Building Official William Hall, Chief of Police Barry Hale, Grant Administrator Ruth Stogner, Executive Assistant Janet Brooks, and City Attorneys John Scanlon and Zachary Giddy.

#### 2. Opening Prayer and Pledge of Allegiance

*Pastor Brooks opened the meeting with prayer.*

*Alderman Powell led the Pledge of Allegiance.*

*No action taken.*

#### 3. Presented Items

##### A) Introduction and Oath of Office of Chasity Pickett, Deputy City Clerk (New Hire)

*The City Clerk's Office announced the hiring of Deputy Clerk I, Chasity Pickett, and introduced her to the Mayor and Board.*

*The Mayor congratulated Ms. Pickett on her hire to the City Clerk's Office and welcomed her to the city. The Mayor then administered the Oath of Office to Ms. Pickett.*

No action taken.

**B) Introduction of Germantown High School Varsity Cheerleading, 1st Place UCA Magnolia Regional Small Varsity Coed Competition (Alderman Bates)**

The Mayor requested a motion to approve the Resolution Recognizing Germantown High School Varsity Cheerleading as 1<sup>st</sup> Place winners for the UCA Magnolia Regional Small Varsity Coed Competition (Exhibit “B”). Alderman Bates made a motion to approve the Resolution Recognizing Germantown High School Varsity Cheerleading as 1<sup>st</sup> Place winners for the UCA Magnolia Regional Small Varsity Coed Competition, and it was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderman Williams, Alderman Bates, Alderman Slay

The Mayor declared the motion carried.

**C) Introduction of Germantown Middle School 8th Grade Girls Basketball Team, Little Six Champions (Alderman Powell)**

The Mayor requested a motion to approve the Resolution Recognizing Germantown Middle School 8<sup>th</sup> Grade Girls Basketball Team, Little Six Champions (Exhibit “C”). Alderman Powell made a motion to approve the Resolution Recognizing Germantown Middle School 8<sup>th</sup> Grade Girls Basketball Team, Little Six Champions, and it was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderman Williams, Alderman Bates, Alderman Slay

The Mayor declared the motion carried.

**D) Recognition of Germantown High School 9th Grade Boys Basketball Team, Little Six Champions (Alderman Powell)**

The Mayor requested a motion to approve the Resolution Recognizing Germantown High School 9<sup>th</sup> Grade Boys Basketball Team, Little Six Champions (Exhibit “D”). Alderman Powell made a motion to approve the Resolution Recognizing Germantown High School 9<sup>th</sup> Grade Boys Basketball Team, Little Six Champions, and it was seconded by Alderman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderman Williams, Alderman Bates, Alderman Slay

The Mayor declared the motion carried.

**4. Approval of Consent Agenda Items**

**A) Approval of Claims Docket**

**B) Approval of December 10, 2024 Meeting Minutes**

**C) Request for Approval to Add a Micro-Market to the Police Department (No Cost to City)**

**D) Notification to Board: Issuance of Refund Check to Gluckstadt Madison Business Alliance (PD Gym Equipment Donation)**

- E) Request for Approval to Accept Three (3) Donated Acer Computer Monitors (to be Added to Fixed Assets)**
- F) Requesting for Approval to Accept the Listed Donations from Madison County District Attorney's Office, Accept New Items from Utility (Received Under Warranty), and Dispose of Damaged Items from Utility**
- G) Request for Approval of Training & Travel Reimbursement, Columbia Law Enforcement Training Academy, Columbia, MS, 02/01/24 (Command Staff)**
- H) Request for Approval of Training & Travel Reimbursement, Tactical Energetic Entry Systems, Byhalia, MS 03/10-3/11/24**
- I) Request for Approval of Training & Travel Reimbursement, Spring Branch ISD Athletics Complex, Houston, TX, 02/01/24 (Asst. Chief Slaven, Lt. Stephen Tucker, Lt. David Potvin)**
- J) Request for Approval of Training & Travel Reimbursement, MELOTA, Pearl, 01/21-22/25 (Sgt. Kyrie Lucas & Sgt. Brian McCarty)**
- K) Request for Approval of Training & Travel Reimbursement, Texas Tactical Police Officers Association, Houston, TX, 02/11-12/25 (Sgt. Brian McCarty).**
- L) Streetlight Install on Church Rd**
- M) Approval of Renewal of ICC Governmental Membership and Payment of Fees (City)**
- N) Request for Approval to Register Mayor and Aldermen for July Mississippi Municipal League Summer Conference & Authorization to Hold Room Reservations (New Board)**
- O) Request for Approval to Approve New Contract with RJ Young (City Hall Copier)**

*The City Clerk requested to supplement the consent agenda to add an additional item, and the Mayor granted her request, adding item (4-O), included in Exhibit E.*

The Mayor requested a motion to approve the consent agenda, as amended. (Exhibit "E"). Alderman Powell made a motion to approve the consent to Approve New Contract with RJ Young for the City Hall Copier and it was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

## **5. Monthly Budget Report**

### **A) Request to Adopt Resolution Amending the FY25 Municipal Budget (Police Station Capital Projects Fund #2, Police Forfeiture Fund)**

The Mayor requested a motion to approve the Resolution Amending the FY25 Municipal Budget (Police Station Capital Projects Fund #2, Police Forfeiture Fund). (Exhibit "F"). Alderman Taylor made a motion to approve the Resolution Amending the FY25 Municipal Budget (Police Station Capital Projects Fund #2, Police Forfeiture Fund), and it was seconded by Alderwoman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**B) Monthly Budget Report(s)**

*The Mayor presented the monthly budget report(s). (Exhibit "G")*

*No action taken.*

**C) Monthly Bank Reconciliations**

*The Mayor presented the monthly bank reconciliations. (Exhibit "H")*

*No action taken.*

**6. New Business**

**A) Consideration and Approval of City of Gluckstadt Burn Ordinance**

*The Mayor requested this item be tabled until the February meeting to allow the board additional time to review the proposed ordinance.*

*No action taken.*

**7. Old Business**

**A) Discussion of Comprehensive Plan Status (Alderman Slay)**

*The Mayor requested this item be moved to Executive Session due to the nature of the discussion and confidentiality concerns Legal advised it could be moved to Executive Session discussion.*

*No action taken.*

**8. Grant Administrator, Grant Status Updates (Ruth Marie Stogner)**

**A) Current Grants Update FY 24 & FY 25**

*The Grant Administrator updated the board on general grant administration matters and the status of active grants.*

*No action taken.*

**B) Status Update, Mayoral Health Council**

*The Grant Administrator updated the board on Mayoral Health Council matters.*

*No action taken.*

**C) Road Safety Program**

*The Grant Administrator updated the board on the Road Safety Program Grant.*

*January 14, 2025, Regular Meeting of the Mayor and Board of Aldermen*

*No action taken.*

#### **D) NHTSA Funding**

The Mayor requested a motion for permission to accept the modified NHTSA Funding Grant. (Exhibit "I"). Alderwoman Williams made a motion to grant permission to accept the modified NHTSA Funding Grant, and the motion was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

The Mayor then requested a motion for permission to authorize the Mayor to sign all grant documentation related to the modified NHTSA Funding Grant (Exhibit "I"). Alderwoman Williams made a motion to authorize the Mayor to sign all grant documentation related to the modified NHTSA Funding Grant and the motion was then seconded by Alderwoman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

### **9. City Clerk, City Administration Matters (Lindsay Kellum)**

#### **A) Monthly Update, City Administration (City Clerk)**

*The City Clerk updated the board on city administration matters. (Exhibit "J").*

*No action taken.*

#### **B) Monthly Privilege License Report (Assistant City Clerk)**

*The Assistant City Clerk updated the board with the monthly privilege license report. (Exhibit "K")*

*No action taken.*

#### **C) Request for Authorization to Publish the FY25 Budget Amendment (January)**

The Mayor requested a motion to authorize publication of the FY25 Budget Amendment (Exhibit "L"). Alderman Powell made a motion to authorize publication of the FY25 Budget Amendment, and the motion was seconded by Alderman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

#### **D) Discussion of End of Term Review, Policy and Procedures for City of Gluckstadt**

*The City Clerk discussed the upcoming election season and term end, including election needs and important deadlines.*

No action taken.

### **E) Appointment of Municipal Election Commission & Setting of Compensation (2025 Municipal General Election)**

The Mayor requested a motion to appoint the following individuals to the Gluckstadt Municipal Election Commission in anticipation of the 2025 Municipal Election, as nominated by Alderman Powell and Alderman Taylor (Exhibit "M"). Alderman Powell made a motion to appoint the following individuals to the Gluckstadt Municipal Election Commission in anticipation of the 2025 Municipal Election, as nominated by Alderman Powell and Alderman Taylor, and the motion was seconded by Alderman Taylor.

- Jimbo Raley, Municipal Election Commissioner (Alderman Powell)
- Ann Pray, Municipal Election Commissioner (Alderman Taylor)
- Jerome Gentry, Municipal Election Commissioner (Alderman Taylor)
- Paul Harty, Municipal Election Commissioner - Alternate (Alderman Powell)

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

*The City Clerk then requested the Board of Aldermen set compensation for the Gluckstadt Municipal Election Commission and the Gluckstadt Poll Workers for pre-election day duties, training, and election day duties, in accordance with the statutory recommendations provided in her memo.*

#### **Setting of Compensation for Gluckstadt Municipal Election Commission**

The Mayor requested a motion to set compensation for the Gluckstadt Municipal Election Commission (Exhibit "N"). Alderman Taylor made a motion to set compensation for the Gluckstadt Municipal Election Commission at \$110.00 per day for up to five (5) hours of election day preparation duties and \$165.00 per day for election day duties (Primary, Primary Runoff, General Election), and the motion was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

#### **Setting of Compensation for Gluckstadt Poll Workers**

The Mayor then requested a motion to set Gluckstadt Poll Worker compensation (Exhibit "O"). Alderman Taylor made a motion to set Gluckstadt Poll Worker compensation at \$125.00 per day for election day duties (Primary, Primary Runoff and General Election) and \$7.50 per hour (federal minimum wage) for elections training, and the motion was seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.



**F) Request for Approval, Memorandum of Understanding (Party Executive Committees, Municipal Primary Election) (City Attorney)**

*The City Clerk requested this item be tabled until February, as she works with the legal and the parties to draft a contract outlining the responsibilities of each party.*

*No action taken.*

**G) Request for Approval, Memorandum of Understanding (County Election Commission, Circuit Clerk - Municipal General Election) (City Attorney)**

*The City Clerk requested this item be tabled until February, as she works with legal and the county to draft a contract outlining the responsibilities of each party.*

*No action taken.*

**10. Building Official, Planning and Zoning Matters (William Hall)**

**A) General Update, Planning and Zoning/Building Department**

*The Planning and Zoning Director brought attention to a typo on a previously adopted rezoning matter (2024-17, Jernigan Copeland Attorneys, PLLC); Mr. Hall stated he would make an administrative correction to Ordinance No. 2024-17, changing the header to reflect a zoning change from R-1 to I-2.*

*No action taken.*

**11. Public Works Department (Chris Buckner)**

**A) Authorization to Advertise for Term Bids**

The Mayor requested a motion for authorization for the Public Works Department to advertise for term bids (Exhibit "P"). Alderman Taylor made a motion for authorization for the Public Works Department to advertise for term bids, and the motion was seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**12. Police Chief, Police Department Matters (Chief Barry Hale)**

*The Police Chief requested to supplement his section to add an additional item, and the Mayor granted his request, adding item (12-D).*

**A) General Update, Police Department**

*The Chief of Police updated the board on law enforcement matters.*

*No action taken.*

**B) Request to Post Job Description (Advertise) and Begin Interviews for Dispatch Position, Police Department.**

The Mayor requested a motion to post the job description and begin interview process for dispatch position for the Police Department (Exhibit "Q"). Alderwoman Bates made a motion to post the job description and begin interview process for dispatch position for the Police Department, and it was seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**C) Request for Approval, Search and Seizure / Forfeiture Policy (Police Department)**

*The Mayor directed legal to collaborate with the Chief of Police, and City Clerk's Office, to draft legal formal legal guidance or a formal policy for board consideration at the February meeting.*

*No action taken.*

**D) Request to Approve Lowest and Best Quote for the purchase of a Metal Detector System for the Gluckstadt Municipal Court.**

The Mayor requested a motion to approve the lowest and best quote (Shelsky Metal Detectors) for purchase of a metal detector system for the Gluckstadt Municipal Court (Exhibit "R"). Alderman Taylor made a motion to approve the lowest and best quote (Shelsky Metal Detectors) for the purchase of a metal detector system for the Gluckstadt Municipal Court, and it was seconded by Alderwoman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

**13. Public Comment**

*Mr. KP Singh, owner of Yandell Shell Gas Station, addressed the board concerning his request to place a liquor store at that location, and the current 4000-foot rule in the zoning ordinance.*

*The Mayor directed Mr. Singh to follow the proper procedures with the Planning and Zoning Department and to contact Mr. William Hall with any questions as to the city's process.*

*No action taken.*

**14. Closed Session to Determine Need for Executive Session**

The Board considered entering closed session to determine whether to go into executive session. The Mayor requested a motion. A motion was made by Alderman Powell to enter into closed session to determine the need for executive session, and it was seconded by Alderman Slay. *After calling for and taking a vote, the Mayor declared the motion carried unanimously.*

The Board then considered entering executive session. Alderman Slay made a motion to enter executive session to discuss the job performance of an individual in the Court Department, the status of the comprehensive plan in relation to city litigation, and the prospective purchase of lands, and it was seconded by Alderman Powell. *After calling for and taking a vote, the Mayor declared the motion carried unanimously.*

*The Board entered executive session. A public announcement was made by the City Clerk that the Board had entered executive session to discuss the job performance of an individual in the Court Department, the status of the comprehensive plan in relation city litigation, and the prospective purchase of lands.*

**A) Request to Terminate Gwendolyn Howard, Deputy Court Clerk I (Municipal Court Services)**

The City Clerk and the Mayor, on behalf of the Municipal Court Clerk, addressed the board and provided documentation related to ongoing job performance issues of a city employee, Ms. Gwendolyn Howard.

The Mayor requested a motion to terminate Ms. Gwendolyn Howard, Deputy Court Clerk I, effective January 15, 2025, and requesting Ms. Kellum to certify all remaining leave to the Public Employees Retirement System, as well as begin the necessary procedures to offboard the employee. A motion was made by Alderman Slay to terminate Ms. Gwendolyn Howard, Deputy Court Clerk I, effective January 15, 2025, and requesting Ms. Kellum to certify all remaining leave to the Public Employees Retirement System, as well as begin the necessary procedures to offboard the employee, and it was seconded by Alderwoman Bates.

Voting Yea: Alderman Slay, Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates

The Mayor declared the motion carried.

*The City Clerk, on behalf of the Municipal Court Clerk, then requested the board vote to re-publish the Deputy Court Clerk I job description and begin the hiring process to fill said position.*

The Mayor requested a motion to publish the job description for the Deputy Court Clerk I position and begin the hiring process. A motion was made by Alderman Powell to publish the job description for the Deputy Court Clerk I position, and begin the hiring process, and it was seconded by Alderman Slay.

Voting Yea: Alderman Slay, Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates

The Mayor declared the motion carried.

**B) Discussion Regarding the Prospective Purchase of Lands**

*The Mayor and Board discussed the prospective purchase of lands.*

*No action taken.*

**C) Discussion of the Status of the Comprehensive Plan in Relation to City Litigation**

*The Mayor and Board discussed the status of ongoing city litigation.*

*No action taken.*

The Mayor then asked for a motion to leave executive session. Alderman Slay made a motion to leave executive session and re-enter open session, and it was seconded by Alderwoman Williams. After calling for and taking a vote, the Mayor declared the motion carried unanimously. The Mayor and Board then exited executive session and re-entered open session.

*A public announcement was made by the City Clerk that the Board voted to terminate Ms. Gwendolyn Howard, Deputy Court Clerk I, effective January 15<sup>th</sup>, 2025, discussed the status of the comprehensive plan in relation to city litigation, and the prospective purchase of lands, but the board took no further action.*

**15. Adjourn**

Alderman Powell made a motion to adjourn, and it was seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

\_\_\_\_\_  
WALTER C. MORRISON, IV  
MAYOR

ATTEST:

DATE:

\_\_\_\_\_

LINDSAY D. KELLUM  
CITY CLERK

[Seal]

**MAYOR**

Walter C. Morrison, IV

**CITY CLERK**

Lindsay Kellum

**POLICE CHIEF**

Barry Hale

**MUNICIPAL COURT  
CLERK**

Stephanie Gerlach

**PLANNING & ZONING  
ADMIN./BUILDING  
DEPT.**

William Hall

**PUBLIC WORKS**

Chris Buckner

**CITY OF GLUCKSTADT**

MISSISSIPPI



343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110

**ALDERMEN**

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

**MEMORANDUM**

**TO:** Mayor & Board of Alderman

**FROM:** Barry Hale, Chief of Police

**DATE:** Wednesday, January 29, 2024

**SUBJECT:** Request approval for travel and training reimbursement for the "First Line Supervision" class.

I'm requesting approval for travel and training reimbursement for the "First Line Supervision" class (Sergeant Kyrie Lucas) that's being held at the MELOTA, Pearl, MS. Lodging will not be needed as it will be local training.

Thank you,

Chief Barry W. Hale



January 11, 2025

**Kyrie Lucas**

Patrol Shift Sergeant

Kyrie.lucas@gluckstadt.net

**Gluckstadt Police Department**

Dear Chief Slaven,

I hope this letter finds you well. I am writing to formally request approval to attend a training program titled "First Line Supervision" scheduled to take place on February 24, 2025 to February 26, 2025 at the Mississippi Law Enforcement Officers Training Academy.

By attending this training, I hope to gain a better quality of supervisory skills as a first line supervisor, so that I can assist my subordinate in being successful throughout their career as a law enforcement officer.

I kindly request your approval to attend this training program and appreciate your consideration of this request.

Thank you for your time and consideration.

Best regards,

**Kyrie Lucas**

Bravo Shift Patrol Sergeant

Gluckstadt Police Department





# “First Line Supervision”

Hosted by the MLEOTA, Pearl, Mississippi,  
February 24-26, 2025”



**Course Duration:** 24 hours

**Max. Number of Students:** 40

**Instructional Setting:** Classroom

## **COURSE DESCRIPTION:**

This course is designed to ensure a quality presentation of supervisory skills training for First Line Supervisors, so they can assist their subordinates in being successful law enforcement officers. The course is designed to teach basic skills, techniques, and concepts of supervision, with an emphasis on “People Skills”, Communication, and Ethics.

## Topics Include:

- The Role of the Supervisor
- Being a Motivator, a Trainer, and a Mentor
- The Role of Law Enforcement as it relates to Human Rights
- Law Enforcement Code of Ethics
- Change Management and why people resist change
- The Principles of Community Policing
- Delegation and “Formal Authority”
- The Importance of Motivation as a Supervisor
- The Hierarchy of Needs Theory (Maslow)
- The Theory of Human Motives
- Social changes that affect Law Enforcement in today’s society
- The Value of Goal Setting
- Communication and the Supervisor
- The process of communication and the barriers that affect such
- Active Listening Skills
- Handling Complaints against Your Officer



Global Police Solutions, LLC  
 10838 Kings Road Suite 12  
 Myrtle Beach, South Carolina 29572  
 Tele (855) 4GPSTRAINING

Invoice No. 2025021

INVOICE:

**Customer**

Name   Gluckstadt Police Dept.   Date   January 15, 2025    
 Address   140 Gluckstadt Way    
 City   Gluckstadt   State   MS   ZIP   39110    
 Phone   (769) 225-0167  

Qty	Description	Price	TOTAL
1	"First Line Supervision Level I, February 24-26, 2025 Hosted by the MLEOTA.  1) Kyrie Lucas  <b>Checks can be mailed to:                      Global Police Solutions, LLC                      10838 Kings Road Suite 12                      Myrtle Beach, SC 29572</b>	\$295.00	
<b>** DUE UPON RECEIPT **</b>			<b>\$295.00</b>

*Global Police Solutions, LLC, is a premier international law enforcement and security training provider that strives to achieve results that exceed expectations through our commitment to our clients by "Instilling Professionalism through Training"*  
**Balance Due Upon Receipt of Invoice**

THANK YOU FOR THE OPPORTUNITY TO SERVE YOU!



# CITY OF GLUCKSTADT

MISSISSIPPI



343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110

- MAYOR**  
Walter C. Morrison, IV
- CITY CLERK**  
Lindsay Kellum
- POLICE CHIEF**  
Barry Hale
- MUNICIPAL COURT CLERK**  
Stephanie Gerlach
- PLANNING & ZONING ADMIN./BUILDING DEPT.**  
William Hall
- PUBLIC WORKS**  
Chris Buckner

- Miya Bates
- Jayce Powell
- Wesley Slay
- John Taylor
- Lisa Williams

Date: Wednesday, January 29, 2025

Madison County District Attorney Bubba Bramlett has generously made available to the Gluckstadt Police Department computer equipment to help with furnishing workstations for our officers to complete reports. I'm requesting that the board formally accept the donation of the following electronics to be added to the fixed assets of the agency:

**Dell computers:**

- S/N F7G9Z44
- S/N 8Z2BZ44
- S/N B9XKW54
- S/N G4TKW54
- S/N HXNC664
- S/N H3F1664
- S/N F2F1664

**Dell computer monitors:**

- S/N VIN-0209FH-WS700-47P-322W-A00
- S/N VIN-0209FH-WS700-47M-136W-A00
- S/N VIN-0209FH-WS700-47P-295W-A00
- S/N VIN-0209FH-WS700-47M-132W-A00
- S/N VIN-0209FH-WS700-47P-314W-A00
- S/N VIN-0209FH-WS700-47298W-A00
- S/N VIN-0209FH-WS700-47283W-A00

**HP Printer:**

- S/N CNCRSCB65Y



Jeremy Slaven  
Assistant Chief of Police

# CITY OF GLUCKSTADT

MISSISSIPPI



343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110

- MAYOR**  
Walter C. Morrison, IV
- CITY CLERK**  
Lindsay Kellum
- POLICE CHIEF**  
Barry Hale
- MUNICIPAL COURT CLERK**  
Stephanie Gerlach
- PLANNING & ZONING ADMIN./BUILDING DEPT.**  
William Hall
- PUBLIC WORKS**  
Chris Buckner

- Miya Bates
- Jayce Powell
- Wesley Slay
- John Taylor
- Lisa Williams

Date: Wednesday, January 29, 2025

The Police Department is requesting that the board formally accept the donation of the following electronics to be added to the fixed assets of the agency:

HP computer:

S/N 8CC63617GZ

HP computer monitors:

- S/N CNK9340SNT
- S/N CNK9340PPZ
- S/N CNK9340PPH
- S/N CNK9340P7G

Dell computers:

- S/N 863BTH3
- S/N G7QC5K3

Acer computer monitors:

- S/N MMTJMAA00E435041A03W01
- S/N MMTJMAA00E435042143W01
- S/N MMTJMAA00E435041A73W01



Jeremy Slaven  
Assistant Chief of Police



**CITY OF GLUCKSTADT**

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

**MEMORANDUM**

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 1/28/2025

**SUBJECT:** Request for Approval, Donation of Trail Cameras

---

This memo is to inform the Mayor and Board of Alderman that Public Works was donated two Moultrie Mobile Edge Cellular Trail Cameras. The primary purpose for the cameras will be setting up surveillance in areas where individuals have been illegally dumping various materials. The cameras will be used for additional Public Works related surveillance purposes in the future as needs arise.

The cameras were generously donated by Trey McClellan, a resident of the City of Gluckstadt.

If you have any concerns or questions, please contact me.

**City of Gluckstadt, MS**  
**General Services Task Order**

Task Order No. 7

Task Order to the General Services Agreement Between  
 The City of Gluckstadt, Mississippi  
 And  
 Stantec Consulting Services Inc.

This Task Order to the General Services Agreement executed March 8, 2022, between the City of Gluckstadt, Mississippi (Client) and Stantec Consulting Services Inc. (Stantec) is a part of and is subject to all the terms and conditions of the Agreement unless specifically provided otherwise herein:

1. Project Name: On-Call Services
2. Project Manager:  
     For the City: Chris Buckner  
     For Stantec: Brad Engels
3. Method of Compensation: Per Exhibit(A) - Updated Rate Chart
4. Task Order Allowable Cost: **\$25,000.00**  
     Included in this task order will be the closure of the following tasks currently open under the general services agreement:

Task Order 1	221	\$	67.00
Task Order 2	222	\$	39.50
Task Order 3	223	\$	5,298.62
Task Order 4	234	\$	12,548.00
Task Order 5	235	\$	1,939.25
Task Order 6	236	\$	1,961.25
Total		<u>\$</u>	<u>21,853.62</u>

5. Scope of Work: To provide General Services per Exhibit(B) for the City of Gluckstadt on an as-needed basis.

Accepted and approved by the City of Gluckstadt as of the last date of execution below:

\_\_\_\_\_  
 City of Gluckstadt

\_\_\_\_\_  
 Stantec

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Date

## EXHIBIT A

The following attachment shall be read in conjunction with and constitute part of this AGREEMENT:

Rate Table:

<b>2025 General Services Hourly Rate Schedule</b>	
<b>Classification</b>	<b>Hourly Rate</b>
Senior Professional Engineer	\$238.00
Professional Engineer	\$184.00
Engineer In Training	\$105.00
Senior Engineering Technician/Inspector	\$136.00
Engineering Technician/Inspector II	\$98.00
Engineering Technician/Inspector I	\$82.00
Professional Surveyor	\$162.00
Survey Party Chief	\$147.00
Survey Technician	\$103.00
Project Controls/Administration	\$130.00
Clerical	\$68.00

<b>2025 General Services Reimbursable Expenses</b>	
<b>Item</b>	
Premium Wide Format Plot	\$2.65
Color Wide Format Plot	\$0.91
B&W Wide Format Plot	\$0.22
B&W 8.5 x 11	\$0.06
B&W 11 x 17	\$0.12
Color 8.5 x 11	\$0.19
Color 11 x 17	\$0.38
<b>Units</b>	
Mileage*	\$0.70
*will be adjusted to current IRS rate	

**EXHIBIT B**

## General Scope of Services

Stantec shall perform, as requested by the Client on an as-needed basis, professional engineering services that include, but are not necessarily limited to the following:

- General Engineering, Technical Assistance and Consultation
- Drainage Reviews
- Stormwater Analysis
- Development/Subdivision Plat Review
- Field Inspections
- Construction Observation
- Construction Cost Estimates, Shop Drawing Review and CADD Drafting
- Right of Way Plans
- Roadway Plans
- Planning Studies
- Feasibility Studies
- Noise Studies
- Field Survey
- Bridge Plans
- Traffic Impact Studies (Development or Review)
- Traffic Signal Design
- Traffic Signal Timing Studies, Implementation and Plans
- Traffic Signal Equipment Diagnosis/Evaluation and Repair Plans
- Traffic Signal and Permanent Signing Inventories
- Permanent Traffic Signing Plans and Details
- Permanent Pavement Marking Plans and Details
- Traffic Control Plans
- Intelligent Transportation Systems (ITS) Design and Plans
- Accident/Safety Analyses
- Mapping



# CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

## MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 1/28/2025

**SUBJECT:** Request for Approval, Stantec Task Order

---

This memo is to request approval of Task Order 7 with Stantec Consulting Services Inc for a total of \$25,000.00. This task order will allow us to continue to use Stantec as needed under general services agreement for drainage and street engineering.

Task Orders 1 through 6 that are currently open under the general services agreement will be closed out.

If you have any concerns or questions, please contact me.

Section 4, Item G)



**Waste Management of Mississippi, Inc.**  
 108 Hill Ave  
 Fort Walton Beach, FL, 32548  
 (800) 284-2451

WM Agreement #  
 Customer ID  
 Acct. Name  
 Salesperson  
 Effective Date  
 Last PI Date

**S001910372**  
**29-84248-53004**  
**CITY OF GLUCKSTADT**  
**PUBLIC WORKS**  
**Megan Fields**  
**2/1/2025**  
**12/10/2024**

## Service Agreement Non-Hazardous Waste Service Summary

### Service Information

Name	CITY OF GLUCKSTADT PUBLIC WORKS	Contact	Chris Buckner
Address	107 LONE WOLF DR	Telephone #	601-672-3562
City State Zip	MADISON, MS 39110-7029	Fax #	
County/Parish	MADISON	Email	chris.buckner@gluckstadt.net

### Billing Information

Name	CITY OF GLUCKSTADT PUBLIC WORKS	Contact	AMBER TROTTER
Address	PO BOX 2210	Telephone #	7695671758
City State Zip	MADISON, MS 39130-2210	Fax #	
County/Parish	Madison	Email	accountspayable@gluckstad t.net

Customer Comments:

### Service Description & Recurring Rates

Quantity	Equipment	Material Stream	Frequency	Base Rate	
1	8 Yard FEL	MSW Commercial	1xPer Week	Energy Surcharge	\$ 0.00
					\$ 199.00

Current rate for Extra Pickup: \$ 330.00      Current Energy Surcharge 0.00%      **MONTHLY TOTAL : \$ 199.00 \***

Customer's Waste Materials not to exceed an average weight of 65 lbs/yard.

Administrative Charge	\$ 0.00 *
<b>MONTHLY GRAND TOTAL</b>	<b>\$ 199.00 *</b>

#### Initial One Time Service Charges\*

#### As Needed Services\*

The above listed Charges are for recurring services only. Charges for all additional services will be at current rates at the time of service. These include but are not limited to: extra pickups, container removal, overages and contamination. Contact Waste Management for a full list of such additional services and current prices.

\*The Energy Surcharge applies to all other Charges whether or not listed on this summary. Any Energy Surcharge amounts shown in this Service Summary are estimated based on current percentages (as set forth herein), and actual amounts will be calculated at the time of invoicing based on current applicable percentages. Information about the Energy Surcharge and its calculation can be found at [www.wm.com/billhelp](http://www.wm.com/billhelp). State & Local taxes, and/or fees and a Recycle Material Offset, if applicable, will also be added to the Charges. An Administrative Charge per invoice will be assessed and can be removed by enrolling in paperless statements and automated payments. This Agreement does not provide for a fixed price during the Contract Term. Unless specifically provided otherwise herein, Customer should expect Company to increase Charges as allowed by Section 4(b) and Company to seek other price increases subject to Customer's consent under Section 4(c) of this Agreement. Consent to price increases may be given orally, in writing, or by notice and Customer's payment of, or failure to object to, the price increase.

**Contract Term is for 3 year(s) from the Effective Date ('Initial Term') and it shall automatically renew thereafter for additional terms of 12 months ('Renewal Term') unless terminated as set forth herein.**

The individual signing this agreement on behalf of customer acknowledges that he/she has read and accepts the terms and conditions of this agreement which accompany this service summary sheet and that he/she has the authority to sign on behalf of the customer.

Customer Signature: Chris Buckner      Printed Name      Title      Date

Company Waste Management of Mississippi, Inc.      Printed Name      Title: Waste Management Sales Rep.      Date

Terms and Conditions on following page(s)



- 1. (a) SERVICE GUARANTEE.** We guarantee our Services (as defined below). If Company fails to perform Services in accordance with the service summary as provided, which for Services purchased online include the information and terms disclosed during the order and checkout process (collectively, the “Service Summary”), and Company does not remedy such failure within five (5) business days of its receipt of a written demand from Customer, Customer may immediately terminate this Agreement without penalty.
- (b) SERVICES RENDERED; WASTE MATERIALS.** Customer grants to Company the exclusive right, and Company through itself and its Affiliates shall furnish equipment and services, to collect and dispose of and/or recycle (collectively, the “Services”) all of Customer’s Waste Materials at Customer’s Service Address(es) listed on the Service Summary, subject to the terms and provisions contained herein (collectively, with the Service Summary, the “Agreement”). If Customer changes its Service Address(es), this Agreement shall remain valid and enforceable with respect to Services rendered at Customer’s new service location(s) if such location(s) is within Company’s service area. Customer represents and warrants that the materials to be collected under this Agreement shall be only “Waste Materials” as defined herein. For purposes of this Agreement, “Waste Materials” means all non-hazardous solid waste, organic waste, and if applicable, Recyclable Materials (as defined in Section 12) generated by Customer or at Customer’s Service Address(es). Waste Materials includes “Special Waste”, such as industrial process wastes, asbestos-containing material, polychlorinated biphenyl (“PCB”) wastes, petroleum contaminated soils, treated/de-characterized wastes, and demolition debris, for which Customer shall complete a Special Waste Profile sheet to be approved by Company in writing. Waste Materials excludes, and Customer agrees not to deposit or permit the deposit for collection of (i) any waste tires, (ii) radioactive, volatile, corrosive, flammable, explosive, biomedical, infectious, bio-hazardous, regulated medical or hazardous waste, toxic substance or material, as defined by, characterized or listed under applicable federal, state, or local laws or regulations, (iii) any materials containing information protected by federal, state or local privacy and security laws or regulations (unless tendered to Company pursuant to an additional Exhibit L to this Agreement), (iv) any other items or material prohibited by federal, state or local laws or regulations, or that could adversely affect the operation or useful life of the facility(ies) receiving Customer’s Waste Materials, or (v) Special Waste not approved in writing by Company (collectively, “Excluded Materials”). Title to and liability for Excluded Materials shall remain with Customer at all times. Title to Customer’s Waste Materials is transferred to Company upon Company’s receipt or collection unless otherwise provided in this Agreement or applicable law.
- 2. CONTRACT TERM.** The Initial Term and any subsequent Renewal Term of this Agreement (collectively, the “Contract Term”) is set forth on the Service Summary. Unless otherwise specified on the Service Summary, at the end of the Initial Term and any subsequent Renewal Term, the Contract Term shall automatically renew for an additional Renewal Term at the then current Service levels and applicable Charges, unless (a) for a Renewal Term of twelve (12) months or more, either party gives to the other party written notice of termination at least ninety (90) days, but not more than one hundred eighty (180) days, prior to the termination of the then-existing term, and (b) for a Renewal Term of less than twelve (12) months, either party gives to the other party written notice of termination at least thirty (30) days prior to the termination of the then-existing term. Notice of termination received at any other time will be considered ineffective and the Agreement will be considered automatically renewed upon completion of the then-existing term.
- 3. TERMINATION RIGHTS.** Notwithstanding the foregoing, this Agreement can be terminated prior to the end of the Initial Term or a Renewal Term as follows: (a) by Customer (with no obligation to pay liquidated damages as provided in Section 7), (i) if Company fails to satisfy the Service Guarantee provided in Section 1(a) or (ii) pursuant to Section 4(c) if Company increases the Charges payable by Customer hereunder with a Consensual Price Increase; (b) by Customer with thirty (30) days prior written notice to Company, subject to Customer’s obligation to pay liquidated damages as provided in Section 7 no later than thirty (30) days after written notice of termination; (c) by Company, (i) if as a result of Customer’s breach of Section 5, Company suspends Services for more than fifteen (15) days, or (ii) if Customer fails to cure any other breach of its obligations under this Agreement within five (5) business days of its receipt of written demand from Company to cure such breach; and (d) by Company, with at least fifteen (15) days prior written notice to the Customer, any time after Customer retains, designates or appoints a broker or agent to act for Customer, or manage its Services, under this Agreement. In order to move containers in a safe, secure and orderly fashion, Company shall have up to seven (7) days to remove any equipment from Customer’s service location(s) after the effective date of the termination of this Agreement.
- 4. (a) CHARGES; ADDITIONAL SERVICES; CHANGES.** The initial charges, fees and other amounts payable by Customer (“Charges”) for Services and/or equipment furnished by Company to Customer are set forth on the Service Summary. Company also reserves the right to charge Customer additional Charges for additional Services provided by Company to Customer, whether requested or incurred by Customer, including, but not limited to, container relocation or removal; gate, enclosure or roll out services; account resume or reactivation services; extra pickups or trip charges; container overages and overflows; and equipment repair and maintenance (see [www.wm.com/billhelp](http://www.wm.com/billhelp) for a list of “Additional Services”), which may be updated from time to time), all at such standard prices or rates that Company is charging its customers in the service area at such time. Changes in the frequency of collection, collection schedule, number, capacity and/or type of equipment, the terms and conditions of this Agreement, and any changes to the Charges payable under this Agreement (including any Consensual Price Increase or Negotiated Price Adjustment), may be agreed to orally, in writing or by other actions and practices of the parties, including, without limitation, electronic or online acceptance or payment of the invoice reflecting such changes, and written notice to Customer of any such changes and Customer’s failure to object to such changes, which shall be deemed to be Customer’s affirmative consent to such changes.
- (b) PERMITTED PRICE INCREASES AND CHARGE MODIFICATIONS.** Company reserves the right, and Customer acknowledges that it should expect Company to increase, add, or modify the Charges payable by Customer hereunder during the Contract Term: (i) for any changes or modifications to, or differences between, the actual equipment and Services provided by Company to Customer and those specified on the Service Summary; (ii) for any changes or difference in the composition, amount or weight of the Waste Materials collected by Company from Customer’s service location(s) from what is specified on the Service Summary (including for container overages or overflows); (iii) for any increase in or other modification made by Company to the calculation of the Energy Surcharge including additions or modifications to the fuel types used in the calculations, the Recyclable Materials Offset, and/or any other Charges included or referenced in the Service Summary (which Charges are calculated and/or determined on an enterprise-wide basis, including Company and all Affiliates and subcontractors); (iv) to cover any increases in disposal, processing, and/or transportation costs, including fuel or energy surcharges; (v) to cover increased costs due to uncontrollable circumstances, including, without limitation, changes (occurring from and after three (3) months prior to the Effective Date) in local, state, federal or foreign laws or regulations (or the enforcement, interpretation or application thereof), including the imposition of or increase in taxes, fees or surcharges, or acts of God such as floods, fires, hurricanes and natural disasters; and (vi) for increases in the Consumer Price Index (“CPI”) for Water, Sewer and Trash Collection Services published by U.S. Bureau of Labor Statistics, or with written notice to Customer, any other national, regional or local CPI, with such increases in CPI being measured from the Effective Date, or as applicable, Customer’s last CPI based price increase date (“PI Date”). Increases to Charges specified in this Section 4(b) may be applied singularly or cumulatively and may include an amount for Company’s operating or profit margin. Customer acknowledges and agrees that any increased Charges under this Section 4 (including any Consensual Price Increases or Negotiated Price Adjustments) are not represented to be solely an offset or pass through of Company’s costs.
- (c) CONSENSUAL PRICE INCREASES** Without limiting the foregoing, Company also reserves the right to seek, and Customer acknowledges that it should expect Company to seek, increases in the Charges payable by Customer hereunder for reasons not specifically permitted in Section 4(b) (a “Consensual Price Increase”). If Customer does not accept the Consensual Price Increase, Customer’s sole right and remedy shall be to terminate this Agreement by written notice to Company no later than thirty (30) days after Company notifies Customer of such Consensual Price Increase. Customer’s failure to terminate this Agreement (within the 30-day period) shall be construed as Customer’s acknowledgement that the continuation of the Services by Company hereunder is good, valuable and sufficient consideration for the Consensual Price Increase. Notwithstanding the foregoing, the parties may, but are not obligated to, agree to a different increase or an adjustment to Customer’s Charges (a “Negotiated Price Adjustment”) as a result of a Consensual Price Increase. Absent a Negotiated Price Adjustment, the Consensual Price Increase shall be binding and enforceable against Customer under this Agreement unless the Customer terminates this Agreement (within the 30-day period) as described above. Customer’s agreement to a Consensual Price Increase or Negotiated Price Adjustment may be evidenced pursuant to Section 4(a) and the parties agree that this Agreement with such modified Charges will continue in full force and effect.
- 5. INVOICES; PAYMENT TERMS** Company shall send all invoices for Charges and any required notices to Customer under this Agreement to Customer’s billing address specified in the Service Summary, or if the Customer elects to participate in the Company’s electronic billing program, make them available by email to Customer’s designated e-mail address. Unless specifically agreed to in writing by Company and subject to such additional costs that Company may charge, in its discretion, Company shall not be required to bill Customer using Customer’s or any third-party billing portal or program. In no event shall the use by Company of Customer’s or any third-party billing portal or program, or any terms thereof, operate to amend or supplement the terms and conditions of this Agreement, which will remain binding in accordance with its terms. Customer shall pay all invoiced Charges within thirty (30) days of the invoice date, by check mailed to Company’s payment address on Customer’s invoice. Payment by any other method or channel, including in person, online or by phone, shall be as may be allowed by Company and subject to applicable convenience fees and other costs charged by Company or its payment system provider(s) from time to time. Any Customer invoice balance not paid within thirty (30) days of the date of invoice is subject to a late charge, and any Customer check returned for insufficient funds is subject to a non-sufficient funds charge, both to the maximum extent allowed by applicable law. Customer acknowledges that any late charge charged by Company is not to be considered as interest on debt or a finance charge, and is a reasonable charge for the anticipated loss and cost to Company for late payment. If this Agreement is signed by an agent, broker or other third party on Customer’s behalf, the Customer receiving the Services remains liable for payment of all Charges due hereunder including any liquidated damages owed under Section 7. If payment is not made when due, Company retains the right to suspend Services until the past due balance is paid in full. In addition to full payment of outstanding balances, Customer shall be required to pay a reactivation charge to resume suspended Services. If Services are suspended for more than fifteen (15) days, Company may immediately terminate this Agreement for default and recover any equipment and all amounts owed hereunder, including liquidated damages under Section 7.
- 6. EQUIPMENT, ACCESS.** All equipment furnished by Company shall remain its property; however, Customer shall have care, custody and control of the equipment and shall be liable for all loss or damage to the equipment and for its contents while at Customer’s service location(s). Customer shall not overload, move or alter the equipment or allow a third party to do so, and shall use it only for its intended purpose. At the termination of this Agreement, Company’s equipment shall be in the condition in which it was provided, normal wear and tear excepted. Customer shall provide safe and unobstructed access to the equipment on the scheduled collection day. Company may suspend Services or terminate this Agreement in the event Customer violates any of the requirements of this provision. Customer shall pay, if charged by Company, any additional Charges, determined by Company in its sole discretion, for overloading, moving or altering the equipment or allowing a third party to do so, and for any service modifications caused by or resulting from Customer’s failure to provide access. Customer warrants that Customer’s property is sufficient to bear the weight of Company’s equipment and vehicles and agrees that Company shall not be responsible for any damage to

Customer's pavement or any other surface resulting from the equipment or Services. Customer agrees that during each instance of service of roll-off/open top container at Customer's service address, the Company vehicle(s) providing service may temporarily place an additional roll-off/open top container or compactor box at Customer's service address in a manner that does not interfere with the use of Customer's premises, with such container being removed by the Company upon Company vehicle's return of the empty roll-off/open top container or compactor box to the Customer's service address.

**7. LIQUIDATED DAMAGES.** In the event Customer terminates this Agreement prior to the expiration of the Initial or Renewal Term for any reason other than as set forth in Section 3(a), or in the event Company terminates this Agreement for Customer's default pursuant to Section 3(c), Customer shall pay the following liquidated damages in addition to Company's legal fees, if any: (a) if the remaining Contract Term (including any applicable Renewal Term) under this Agreement is six (6) or more months, Customer shall pay the average of its six (6) monthly Charges immediately prior to default or termination (or, if the Effective Date is within six (6) months of Company's last invoice date, the average of all monthly Charges) multiplied by six (6); or (b) if the remaining Contract Term is less than six months, Customer shall pay the average of its six (6) most recent monthly Charges multiplied by the number of months remaining in the Contract Term. Customer acknowledges that the actual damage to Company in the event of Customer's early termination or breach of contract is impractical or extremely difficult to fix or prove, the foregoing liquidated damages amount is reasonable and commensurate with the anticipated loss to Company resulting therefrom, and such liquidated damages payment is an agreed upon charge for Customer's early termination or breach of contract and is not imposed as a penalty. Customer shall also pay liquidated damages of \$100 for every Customer waste tire that is found at any disposal facility used by Company. In addition to and not in limitation of the foregoing, Company shall be entitled to recover all losses, damages and costs, including attorneys' fees and costs, resulting from Customer's breach of any other provision of this Agreement in addition to all other remedies available at law or in equity.

**8. INDEMNITY.** Company agrees to indemnify, defend and save Customer and its Affiliates harmless from and against any and all liability which Customer or its Affiliates may suffer, incur or pay as a result of any bodily injuries (including death), property damage or violation of law, to the extent caused by any negligent act or omission or willful misconduct of Company or its employees, which occurs (a) during the collection or transportation of Customer's Waste Materials, or (b) as a result of the disposal of Customer's Waste Materials in a facility owned by Company or an Affiliate, provided that Company's indemnification obligations will not apply to occurrences involving Excluded Materials. Customer agrees to indemnify, defend and save Company and its Affiliates harmless from and against any and all liability which Company and its Affiliates may suffer, incur or pay as a result of any bodily injuries (including death), property damage or violation of law to the extent caused by Customer's breach of this Agreement or by any negligent act or omission or willful misconduct of Customer or its employees, agents or contractors or Customer's use, operation or possession of any equipment furnished by Company. Neither party shall be liable to the other for consequential, incidental or punitive damages arising out of the performance or breach of this Agreement.

**9. RIGHT TO PROVIDE COMPETING OFFERS.** If Customer receives an offer from (or makes any offer to) a third party relating to such third party's provision to the Customer of the same or similar Services to those provided hereunder, Customer shall give Company prompt written notice of any such offer and a 15-day period to respond to such third party offer prior to Customer agreeing to such third party offer. Except to the extent either party has provided timely written notice of termination as set forth in Section 2, Customer's acceptance of a competing offer under this Section 9 before the expiration or termination of the current Initial Term or Renewal Term shall be a termination under Section 3(b) and subject to Customer's obligation to pay liquidated damages as provided in Section 7.

**10. DISPUTE RESOLUTION-ARBITRATION AGREEMENT AND CLASS ACTION WAIVER.BINDING ARBITRATION:** Except for those claims expressly excluded below (EXCLUDED CLAIMS), Customer and Company agree that any and all existing or future controversy or claim between them arising out of or related to this Agreement or any prior agreements between the parties, whether based in contract, law or equity or alleging any other legal theory, or arising prior to, in connection with, or after the termination of this Agreement or any other agreements, shall be resolved by mandatory binding arbitration (see www.wm.com for details on arbitration procedures). **CLASS ACTION WAIVER:** Customer and Company agree that under no circumstances, whether in arbitration or otherwise, may Customer bring any claim against Company, or allow any claim that Customer may have against Company to be asserted, as part of a class action, on a consolidated or representative basis or otherwise aggregated with claims brought by, or on behalf of, any other entity or person, including other customers of Company. **EXCLUDED CLAIMS:** The following are not subject to mandatory binding arbitration: (a) either party's claims against the other in connection with bodily injury or real property damage and for environmental indemnification; and (b) Company's claims against Customer for collection or payment of Charges, damages (liquidated or otherwise) or any other amounts due or payable to Company by Customer under this Agreement or any prior agreements between the parties, but Customer and Company may mutually agree to arbitrate any Excluded Claims.

**11. MISCELLANEOUS.** (a) Except for the obligation to make payments hereunder for Services already performed, neither party shall be in default for its failure to perform or delay in performance caused by events or significant threats of events beyond its reasonable control, whether or not foreseeable, including, but not limited to, strikes, labor trouble, riots, imposition of laws or governmental orders, fires, acts of war or terrorism, acts of God, and the inability to obtain equipment, and the affected party shall be excused from performance during the occurrence of such events. (b) This Agreement shall be binding on and shall inure to the benefit of the parties hereto and their respective successors and assigns. (c) The terms, conditions and disclosures set forth on www.wm.com relating to Billing/Billing Help, Charges, Arbitration Procedures, and for those Customers that sign up for electronic billing and payment, Autopay, are incorporated by reference and made a part hereof (as such terms, conditions and disclosures may be changed or modified from time to time, effective from such change or modification). In addition to, and not in limitation of, the foregoing, the terms and provisions of this Agreement may be amended and modified as agreed to by the parties as provided in Section 4(a). Subject to the foregoing, this Agreement represents the entire agreement between the parties and supersedes any and all other agreements for the same Services at the same Customer locations covered by this Agreement, whether written or oral, that may exist between the parties. (d) This Agreement shall be construed in accordance with the law of the state in which the Services are provided. (e) All written notification to Company required by this Agreement shall be effective upon receipt and delivered by Certified Mail, Return Receipt Requested, courier or by hand to Company's address on the first page of the Service Summary, provided that Company may provide written notice to Customer of a different address for written notice to Company. (f) If any provision of this Agreement is declared invalid or unenforceable, then such provision shall be severed from and shall not affect the remainder of this Agreement; however, the parties shall amend this Agreement to give effect, to the maximum extent allowed, to the intent and meaning of the severed provision. (g) In the event Company successfully enforces its rights against Customer hereunder, Customer shall be required to pay Company's attorneys' fees and court costs. (h) Notwithstanding the termination of this Agreement, Sections 6, 7, 8, 10, 11, 12(vi) and Customer's obligation to make payments for all Charges and other amounts due or payable hereunder through the termination date shall survive the termination of this Agreement. (i) It is expressly agreed that the parties shall be independent contractors and that the relationship between the parties shall not constitute a partnership, joint venture, agency, or employer-employee relationship. (j) The term "Affiliate" means with respect to any specified party, any corporation, limited liability company, partnership or other legal entity, directly or indirectly, controlled by, controlling or under common control with such specified party, with "control" meaning, directly or indirectly, the power to direct or cause the direction of the management and policies of such legal entity, whether through the ownership of voting securities, by contract or otherwise. (k) "business day" means Monday through Friday, excluding bank holidays.

**12. RECYCLING SERVICES.** The following shall apply to fiber and non-fiber recyclables ("Recyclable Materials") and recycling services. All Recyclable Materials must be clean, dry, unshredded, empty, loose and unbagged. (i) Single stream Recyclable Materials ("Single Stream") will consist of Customer's entire volume of uncoated office and writing paper, magazines, pamphlets, mail, newspaper; flattened, uncoated cardboard, paperboard boxes; aluminum food and beverage containers, tin or steel cans; glass, and rigid container plastics #1, #2 and #5, including narrow neck containers and tubs. Any material not specifically set forth above, including but not limited to foam, film plastics, plastic bags, napkins, tissue, paper towels, or paper that has been in contact with food, is unacceptable. Glass may not be accepted at all locations. Customer shall provide source-separated wastepaper, cardboard, plastics and metals in accordance with the most current ISRI Scrap Specifications Circular and any amendments thereto or replacements thereof. All other Recyclable Materials will be delivered in accordance with industry standards or such specifications communicated to Customer by Company from time-to-time. Company reserves the right, upon notice to Customer, to discontinue acceptance of any category of Recyclable Materials set forth above as a result of market conditions related to such materials and makes no representations as to the recyclability of the materials. (ii) Notwithstanding anything to the contrary contained herein, Recyclable Materials may not contain Special Waste, Excluded Materials or other materials that are deleterious or capable of causing material damage to any part of Company's property, its personnel or the public or materially impair the strength or the durability of Company's structures or equipment. (iii) Company may reject in whole or in part, or may process, in its sole discretion, Recyclable Materials not meeting the specifications. Customer shall pay Company for all increased costs, losses and expenses incurred with respect to such non-conforming Recyclable Materials which charges may include an amount for Company's operating or profit margin (collectively the "Cost"). Without limiting the foregoing, Customer shall pay a contamination charge for additional handling, processing, transporting and/or disposing of such non-conforming Recyclable Materials, Special Waste, Excluded Materials, and/or all of part of non-conforming loads and additional charges may be assessed for bulky items such as appliances, concrete, furniture, mattresses, tires, electronics, pallets, yard waste, propane tanks, etc. Collected Recyclable Materials for which no commercially reasonable market exists may be landfilled at Customer's Cost. (iv) Recycling Services are subject to a Recyclable Material Offset (RMO) charge to the extent that (a) Company's processing cost per ton, including costs of disposal for contamination, plus profit margin, exceeds (b) an amount equal to recyclables value per ton minus an amount for profit margin. The RMO charge, including profit margin, processing and disposal costs and recyclable value shall be determined by Company from time-to-time, in its sole discretion, based on applicable operating data and market information. If recyclables value exceeds processing costs, plus profit margin, a RMO credit may apply, at Company's sole discretion. (v) Where Company has agreed in writing to provide a market-based rebate to Customer, the following shall apply. Customer acknowledges that the market value for Recyclable Materials will fluctuate based upon various factors, and such materials may at times have no value or that the value may be negative. Company will establish the value of Recyclable Materials each month based upon such various factors, including but not limited to quantity, quality and location. For recycling services, Company shall pay or charge Customer on or about the last day of each month for Recyclable Materials accepted during the preceding month after deduction of any charges owed to Company by Customer. Any invoice shall be payable upon receipt. Where recycling processing services are provided, Charges may include separate

Section 4, Item G)

fuel and environmental surcharges for recycling services as set forth at www.wm.com. (vi) Notwithstanding anything to the contrary set forth above, the liquidated damages set forth in Section 7 of this Agreement shall not apply to any Customer breach of the Agreement pertaining to Services for Recyclable Materials which have been determined to have a positive value. If a breach occurs under such circumstances, the damages shall be determined by calculating actual damages rather than such liquidated damages. (vii) Service arrangements will be agreed upon between Customer and Company for the service location(s) set forth in this Agreement. For trailer load quantities, Customer shall load trailers to full visible capacity to achieve 40,000 pounds minimum shipping weight and trailers shall be loaded or caused to be loaded in accordance with the most current ISRI/AF&PA Shipping Guide. Freight and/or adjustments may apply to light loads. For baled wastepaper picked up by bale route service, the minimum quantity for pickup is six (6) bales and for purposes of payment, weights shall be estimated weights.

In Process

**Certificate Of Completion**

Envelope Id: 56ABA535-B35A-4D3A-9B57-16EA439FB731	Status: Sent
Subject: Document for your Electronic Signature from Waste Management	
Source Envelope:	
Document Pages: 4	Signatures: 0
Certificate Pages: 1	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Megan Fields
Time Zone: (UTC-08:00) Pacific Time (US & Canada)	P.O. Box 4745
	Portland , OR 97208-4745
	mfields3@wm.com
	IP Address: 13.110.74.8

**Record Tracking**

Status: Original	Holder: Megan Fields	Location: DocuSign
1/30/2025 7:19:55 AM	mfields3@wm.com	

**Signer Events**

Chris Buckner	<b>Signature</b>	<b>Timestamp</b>
chris.buckner@gluckstadt.net		Sent: 1/30/2025 7:19:58 AM
Security Level: Email, Account Authentication (None)		Viewed: 1/30/2025 7:47:31 AM

**Electronic Record and Signature Disclosure:**  
Not Offered via DocuSign

Megan Fields  
mfields3@wm.com  
Security Level: Email, Account Authentication (None)

**Electronic Record and Signature Disclosure:**  
Not Offered via DocuSign

In Process

**In Person Signer Events**

**Editor Delivery Events**

**Agent Delivery Events**

**Intermediary Delivery Events**

**Certified Delivery Events**

**Carbon Copy Events**

**Witness Events**

**Notary Events**

**Envelope Summary Events**

Envelope Sent	Hashed/Encrypted	1/30/2025 7:19:58 AM
---------------	------------------	----------------------

**Payment Events**



**CITY OF GLUCKSTADT**

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

**MEMORANDUM**

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 1/30/2025

**SUBJECT:** Request for Approval, Waste Management Service Agreement

---

This memo is to request approval for a new service agreement with Waste Management for services at 107 Lone Wolf Drive. The services provided will remain the same as in the previous service agreement, but the price will change from \$195.00 per month to \$199.00 per month as part of the annual cost increase for their services. If approved, this new service agreement would be effective February 1<sup>st</sup>.

If you have any concerns or questions, please contact me.





EXTENSION

THE MISSISSIPPI MUNICIPAL LEAGUE

IN CONJUNCTION WITH THE CENTER FOR GOVERNMENT & COMMUNITY DEVELOPMENT IS PROUD TO ANNOUNCE A SERIES OF



CMO ELECTIVE EVENING CLASSES

THE CMO ELECTIVE COURSE Workplace Harassment

The session will provide participants with a comprehensive understanding of harassment in the workplace, its legal implications, and strategies to foster a safe and respectful work environment.

WILL BE OFFERED AT THE THREE FOLLOWING LOCATIONS:

February 13th

Ridgeland

Embassy Suites

REGISTRATION DEADLINE:

January 31st

February 27th

Hattiesburg

Holiday Inn North

REGISTRATION DEADLINE:

February 14th

March 27th

Oxford

Oxford Conference Center

REGISTRATION DEADLINE:

March 14th

Dinner will start at 5:00 The class will start at 5:30

Cost of registration for one of the sessions is \$25 and includes dinner 5:00-5:30). If you would like to attend a CMO night class, please complete the registration form below and return to the MML office along with payment. Attendees will receive three CMO elective credits for attending any ONE of the THREE sessions. (May not duplicate class)

Name: Jayce Powell Title: Alderman

Municipality: Gluckstadt Location of CMO Night Class: Ridgeland

Address: 343 Distribution Dr.

City: Gluckstadt, MS Zip: 39116

Cell Phone: 601-946-7019 Email: lindsay.kellum@gluckstadt.net

Payment Method: [ ] Check # [ ] Please Invoice 2/11/25 claims [ ] Charge: (See below)

To pay by credit card, please list an email address to receive electronic payment link: PLEASE FAX REGISTRATION TO 601-353-6980 OR MAIL TO 600 E. AMITE STREET, STE. 104 JACKSON, MS 39201 NO REFUNDS WILL BE ISSUED



EXTENSION

THE MISSISSIPPI MUNICIPAL LEAGUE

IN CONJUNCTION WITH THE CENTER FOR GOVERNMENT & COMMUNITY DEVELOPMENT IS PROUD TO ANNOUNCE A SERIES OF



CMO ELECTIVE EVENING CLASSES

THE CMO ELECTIVE COURSE Workplace Harassment

The session will provide participants with a comprehensive understanding of harassment in the workplace, its legal implications, and strategies to foster a safe and respectful work environment.

WILL BE OFFERED AT THE THREE FOLLOWING LOCATIONS:

February 13th
Ridgeland
Embassy Suites
REGISTRATION DEADLINE:
January 31st

February 27th
Hattiesburg
Holiday Inn North
REGISTRATION DEADLINE:
February 14th

March 27th
Oxford
Oxford Conference Center
REGISTRATION DEADLINE:
March 14th

Dinner will start at 5:00
The class will start at 5:30

Cost of registration for one of the sessions is \$25 and includes dinner 5:00-5:30. If you would like to attend a CMO night class, please complete the registration form below and return to the MML office along with payment. Attendees will receive three CMO elective credits for attending any ONE of the THREE sessions. (May not duplicate class)

Name: Lindsay Kellum Title: City Clerk

Municipality: Gluckstadt Location of CMO Night Class: Ridgeland

Address: 343 Distribution Drive

City: Gluckstadt, MS Zip: 39110

Cell Phone: 601-946-7019 Email: lindsay.kellum@gluckstadt.net

Payment Method: [ ] Check # [ ] Please Invoice [ ] Charge: (See below)

To pay by credit card, please list an email address to receive electronic payment link: PLEASE FAX REGISTRATION TO 601-353-6980 OR MAIL TO 600 E. AMITE STREET, STE. 104 JACKSON, MS 39201

NO REFUNDS WILL BE ISSUED



EXTENSION

THE MISSISSIPPI MUNICIPAL LEAGUE

IN CONJUNCTION WITH THE CENTER FOR GOVERNMENT & COMMUNITY DEVELOPMENT IS PROUD TO ANNOUNCE A SERIES OF



CMO ELECTIVE EVENING CLASSES

THE CMO ELECTIVE COURSE Workplace Harassment

The session will provide participants with a comprehensive understanding of harassment in the workplace, its legal implications, and strategies to foster a safe and respectful work environment.

WILL BE OFFERED AT THE THREE FOLLOWING LOCATIONS:

February 13th
Ridgeland
Embassy Suites
REGISTRATION DEADLINE:
January 31st

February 27th
Hattiesburg
Holiday Inn North
REGISTRATION DEADLINE:
February 14th

March 27th
Oxford
Oxford Conference Center
REGISTRATION DEADLINE:
March 14th

Dinner will start at 5:00
The class will start at 5:30

Cost of registration for one of the sessions is \$25 and includes dinner 5:00-5:30. If you would like to attend a CMO night class, please complete the registration form below and return to the MML office along with payment. Attendees will receive three CMO elective credits for attending any ONE of the THREE sessions. (May not duplicate class)

Name: Chasity Pickett Title: Deputy City Clerk

Municipality: Gluckstadt Location of CMO Night Class: Ridgeland

Address: 343 Distribution Dr.

City: Gluckstadt, MS Zip: 39110

Cell Phone: 601-946-7019 Email: lindsay.kellum@gluckstadt.net

Payment Method: [ ] Check # [x] Please Invoice [ ] Charge: (See below)

To pay by credit card, please list an email address to receive electronic payment link: PLEASE FAX REGISTRATION TO 601-353-6980 OR MAIL TO 600 E. AMITE STREET, STE. 104 JACKSON, MS 39201

NO REFUNDS WILL BE ISSUED





## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

**TO:** Mayor & Board of Aldermen

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 02/11/2025

**SUBJECT:** Request for Approval of Training & Travel Reimbursement, Tyler Connect Conference, Tyler Technologies, San Antonio, TX (5/11/25 – 5/14/25)

I have been selected to attend the Tyler Connect 2025 Conference, May 11-14. This event will give me a unique opportunity to discover new ways to boost our productivity and improve our services by making full use of our Tyler Incode10 products. Not only will I be able to interact with and learn directly from Tyler Technologies' staff, but the conference will also allow me to network with industry peers from across the country to exchange ideas, insights, best practices, and solutions to make better use of our technology investment in my daily work.

Additional benefits of attending this educational event include:

- Hundreds of educational and training sessions highlighting software enhancements, tips and tricks, and advanced product use to help improve my performance and our organization's outcomes and efficiencies.
- Networking opportunities with professional peers from our region and in similar roles across the country.
- Exclusive insight from Tyler executives on current and future projects.
- Continuing Professional Education (CPE) credits, where applicable.
- Our inclusion in Tyler's nationwide Connected Communities vision, which is transforming the future of government

If allowed to attend Tyler Connect, I plan to use the attached ROI worksheets to note the valuable takeaways from each training session and document the advantageous professional connections I make during the conference, including how each will support my work year-round.

Here is a complete breakdown of the expected conference costs:

#### Registration

Early Registration: \$1,199 (through March 14, 2025) *\*FREE – SELECTED FOR PASS, REFER TO ATTACHED CORRESPONDENCE\**

Hotel & Travel

Group Room Block: \$250/night + Mileage (Private Vehicle) @ \$0.70 per mile (State Mileage Rate)

Thank you for considering my request to attend Tyler Connect 2025. For more information, including specific class and networking information, visit [www.tylertech.com/connect](http://www.tylertech.com/connect).

**From:** [Dees, Aaron](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** Tyler Connect Conference - You were selected for one of the free passes!  
**Date:** Friday, January 24, 2025 8:33:27 AM  
**Attachments:** [image001.png](#)  
**Importance:** High

---

Hey Lindsay,

I was able to get you a free pass to Tyler Connect this year! They've just asked us to verify, to the best of everyone's ability, that you feel you'll be able to attend. Once I can confirm your interest and availability to attend, I will let them know and they will generate a registration code for you. I didn't realize this, but this is actually a savings of over \$1,200!

[Tyler Connect 2025 - San Antonio](#)

Let me know your thoughts.

Thanks,

**Aaron Dees**  
Account Executive  
Tyler Technologies, Inc.  
601.278.2633  
[www.tylertech.com](http://www.tylertech.com)



# Hotels

Browse hotels and plan your stay

## Hotel Information

Tyler has negotiated discount conference rates with several San Antonio hotels. Note: Only registered attendees will be able to secure hotel rooms; access to booking a room will be given once registration is complete. The deadline to secure your room is Thursday, April 17, 2025.

View the local San Antonio [hotel map](#).



### BE AWARE OF HOTEL BOOKING SCAMS

You will never be contacted directly by anyone at Tyler Technologies to book a hotel room for Tyler Connect. Tyler Technologies is the official event manager for this conference, and we do not work with any third-party vendors for booking hotels. All hotels listed below are official conference hotels. No personnel from any of these hotels will contact you directly.

## Available Hotels

**Drury Plaza Hotel San Antonio Riverwalk**

105 S St. Mary's St.  
 San Antonio, Texas 78205  
 Conference Rate: \$224.00  
 Distance to convention center: 0.5 miles

**The Emily Morgan (DoubleTree)**

705 E Houston St.  
 San Antonio, Texas 78205  
 Conference Rate: \$254.00  
 Distance to convention center: 0.5 miles

**Grand Hyatt San Antonio River Walk - SOLD OUT**

600 E Market St.  
 San Antonio, Texas 78205  
 Conference Rate: \$265.00  
 Distance to convention center: 0.05 miles

**The Gunter Hotel San Antonio Riverwalk**

205 E Houston St.  
 San Antonio, Texas 78205  
 Conference Rate: \$235.00  
 Distance to convention center: 0.7 miles

**Hilton Palacio Del Rio**

200 S Alamo St.  
 San Antonio, Texas 78205  
 Conference Rate: \$262.00  
 Distance to convention center: 0.3 miles

**Holiday Inn San Antonio-Riverwalk**

217 N St Mary's St.  
 San Antonio, Texas 78205  
 Conference Rate: \$237.00  
 Distance to convention center: 0.6 miles

**Homewood Suites by Hilton San Antonio-Riverwalk/Downtown**

432 W Market St.  
 San Antonio, Texas 78205  
 Conference Rate: \$226.00  
 Distance to convention center: 0.5 miles

**Hotel Contessa**

306 W Market St.  
 San Antonio, Texas 78205  
 Conference Rate: \$254.00  
 Distance to convention center: 0.4 miles

**Hyatt Regency San Antonio Riverwalk**

123 Losoya St.  
 San Antonio, Texas 78205  
 Conference Rate: \$254.00  
 Distance to convention center: 0.4 miles

**La Quinta Inn & Suites by Wyndham San Antonio Riverwalk**

303 Blum St.  
 San Antonio, Texas 78205  
 Conference Rate: \$226.00  
 Distance to convention center: 0.2 miles

**Omni La Mansión del Rio**

112 College St.  
 San Antonio, Texas 78205  
 Conference Rate: \$256.00  
 Distance to convention center: 0.5 miles



**San Antonio Marriott Rivercenter**

101 Bowie St.  
San Antonio, Texas 78205  
Conference Rate: \$257.00  
Distance to convention center: 0.2 miles

**San Antonio Marriott Riverwalk - SOLD OUT**

889 E Market St.  
San Antonio, Texas 78205  
Conference Rate: \$257.00  
Distance to convention center: 0.1 miles

**The Westin Riverwalk, San Antonio**

420 W Market St.  
San Antonio, Texas 78205  
Conference Rate: \$249.00  
Distance to convention center: 0.4 miles

---

## Plan Your Travel

Complete your travel plans and see what San Antonio has in store!

[View Transportation](#)

[Explore San Antonio](#)

---

## New to Connect?

If you've never been to Tyler Connect — or if it's been a while — check out our [Connect 101 page](#) to learn more about our premier user conference. We've done our best to capture the electric, collaborative experiences, but attending is believing! We hope to see you this year.



# Need to register for Connect 2025?

Join us and thousands of your peers to learn all about your Tyler products and the latest industry trends. Here's an [ROI planning document](#) to help you present the benefits of attending.

Count Me In

## Connect Questions

[tyler.events@tylertech.com](mailto:tyler.events@tylertech.com)

## Social Updates

[#TylerConnect](#)

## Event Detail

May 11-14, 2025

San Antonio, Texas

[Register](#)

## Main Menu

[Home](#) | [Conference Info](#) | [Sessions](#) | [Experiences](#) | [Travel](#) | [FAQ](#)

Copyright 2025 Tyler Technologies

[Privacy](#) [Terms of Use](#)

# 2025 Spring Municipal Clerk Conference

## TENTATIVE AGENDA

The Spring Municipal Clerk Conference will be held at the Lake Terrace Convention Center in Hattiesburg, MS.  
The date and location of this event are as follows:

- Date:** April 9-11, 2025
- Location:** Lake Terrace Convention Center  
1 Convention Center Plaza, Hattiesburg, MS
- Hotel:** **Holiday Inn Hattiesburg-North** (*Booking Deadline March 11th*)  
601-990-9340  
Group Name: MSU Rate: \$107 [Book your group rate for Spring City Clerks](#)

**All topics are tentative.**

### Wednesday | April 9<sup>th</sup>

- 8:00-3:00** Athenian Dialogue (The Small & Mighty) (Limited to 30 Participants)
- 3:00-5:00** Executive Committee Meeting

### Thursday | April 10<sup>th</sup>

- 7:30 - 8:00** *Breakfast*
- 8:00 – 9:00** Conference Kick Off
- 9:00-10:00** Agenda and Minuets
- 10:00-12:00** DFA-Travel, Pro Card, and State Contracts
- 12:00-1:00** Lunch (Provided)
- 1:00-2:00** Municipal Budgeting & Audit Q & A
- 2:00-3:00** The Basics of Planning and Zoning
- 2:00-5:00** Workplace Safety & Security
- 6:00** **\*\*Tentative\*\* Social Event**  
(Additional registration is required, information will be released later.)

**REGISTER NOW**

### Friday | April 11<sup>th</sup>

- 7:30 - 8:00** *Breakfast*
- 8:00- 9:00** Preparing for Board Transition
- 9:00-10:00** “Cactus”-Leadership Development
- 10:00-11:00** AI in the Clerk’s Office
- 11:00-12:00** MMCCA Business Meeting  
(If attending the Business Meeting only please arrive early incase the schedule changes.)

**5.5 IIMC CMC or MMC Credits Available with Full Attendance**  
**3 Additional Points available for Athenian Dialogue**



# Your upcoming stay in Hattiesburg

82 days until your stay | Confirmation number: 21536978

## Welcome to IHG One Rewards

Please look for an email from IHG® One Rewards to lindsay.kellum@gluckstadt.net with instructions to set your password and access your member account.



### # Holiday Inn Hattiesburg - North

6553 US Hwy 49, Hattiesburg, Mississippi, United States

Reservations: [1-888-465-4329](tel:1-888-465-4329)

Front Desk: [1-601-990-9340](tel:1-601-990-9340)

Check in 3 pm / Check out 11 am

**Dates** Apr 9, 2025 - Apr 11, 2025  
Check in 3 pm

## Key information

### Cancellation policy

Canceling your reservation before 6:00 PM (local hotel time) on Tuesday, 8 April, 2025 will result in no charge. Canceling your reservation between 6:00 PM (local hotel time) on 8 April, 2025 and 6:00 PM (local hotel time) on 9 April, 2025 will result in a charge for the first night per room to your credit card or other guaranteed payment method.

### Check-in age policy

Guest must be at least 21 years of age or older in order to check in with this reservation.

### Pet policy

Pets not allowed with the exception of service animals. A cleaning fee of 250.00 will be charged if unauthorized pet is

Feedback

[Duplicate Reservation](#)

Section 4, Item J

Room type 1 King Standard

Rate **i** MSU Extension Servic

You will earn an estimated **6,420 points** for this stay. **i**

**Total 706.20 USD**

[Hide full receipt](#)

Room rate 642.00 USD

Apr 9 - Apr 10 321.00 USD

Apr 10 - Apr 11 321.00 USD

Taxes 64.20 USD

7% State, 2% Lodging, 1% City Tax 64.20 USD

### Description of taxes and additional charges

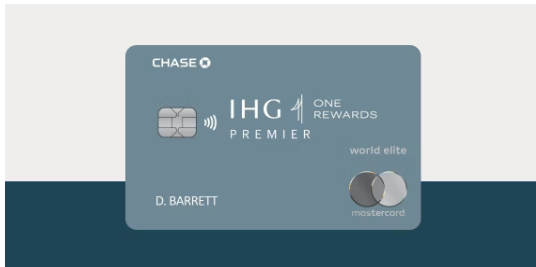


10% per night not included in rate effective 9 April, 2025 thru 11 April, 2025

## Manage your reservation

[Modify or Cancel](#)

## Complete your trip



### Earn IHG statement credit

Earn up to \$300 in IHG statement credits + 65,000 bonus points

**APPLY NOW**

Feedback

[Duplicate Reservation](#)

As exchange rates may fluctuate from the time a reservation is made until the actual stay, the confirmed rate is guaranteed in the hotel's base currency.

‡ As taxes and additional charges may fluctuate from the time a reservation is made until the actual stay and during the actual stay, the Total Price is an estimate. Estimated price includes Room rate, Extra person charges, additional charges, Total tax and Total hotel charges. Additional charges are hotel-specific. Other hotel-specific charges may also apply. Check with hotel for details.

Carrying a weapon on these premises is prohibited.

Only the reservation as entered into and confirmed by our system will be honored. Any written or printed confirmation that has been altered may be rejected by the hotel.

[Duplicate Reservation](#)

**Extension Center for Governmental & Community Development**

Mississippi State University Extension Service  
Phone:(662)325-3141; Fax (662)325-8954  
Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™  
EXTENSION**  
Center for Government & Community Development

**TO:**  
Lindsay Kellum  
Gluckstadt

DESCRIPTION	AMOUNT
<b>Spring Municipal Clerk Conference</b> Lindsay Kellum Gluckstadt Spring Municipal Clerk Conference \$200.00	
TOTAL	\$200.00

Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable. A course registration may be canceled without penalty if cancellation takes place on or before the registration deadline.

Make all checks payable to  
**Extension Center for Governmental & Community Development**  
City Clerk Program  
Box 9643  
Mississippi State, MS 39762

**If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)**

**Extension Center for Governmental & Community Development**

Mississippi State University Extension Service  
Phone:(662)325-3141; Fax (662)325-8954  
Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™  
EXTENSION**  
Center for Government & Community Development

**TO:**  
Chasity Pickett  
Gluckstadt

DESCRIPTION	AMOUNT
<b>Spring Municipal Clerk Conference</b> Chasity Pickett Gluckstadt Spring Municipal Clerk Conference \$200.00	
TOTAL	\$200.00

Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable. A course registration may be canceled without penalty if cancellation takes place on or before the registration deadline.

Make all checks payable to  
**Extension Center for Governmental & Community Development**  
City Clerk Program  
Box 9643  
Mississippi State, MS 39762

**If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)**

**Extension Center for Governmental & Community Development**

Mississippi State University Extension Service  
Phone:(662)325-3141; Fax (662)325-8954  
Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™  
EXTENSION**  
Center for Government & Community Development

**TO:**  
Scott Maugh  
Gluckstadt

DESCRIPTION	AMOUNT
<b>Spring Municipal Clerk Conference</b> Scott Maugh Gluckstadt Spring Municipal Clerk Conference \$200.00	
TOTAL	\$200.00

Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable. A course registration may be canceled without penalty if cancellation takes place on or before the registration deadline.

Make all checks payable to  
**Extension Center for Governmental & Community Development**  
City Clerk Program  
Box 9643  
Mississippi State, MS 39762

If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)

**From:** [Scott Maugh](#)  
**To:** [Lindsay Kellum](#); [Chasity Pickett](#)  
**Subject:** FW: Know Before You Go: Ridgeland Spring Certified Municipal Clerk  
**Date:** Wednesday, February 5, 2025 9:04:55 AM

---

**SCOTT MAUGH**

Deputy City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
Office: (769) 567-2306  
Fax: (769) 567-2305  
[Scott.Maugh@gluckstadt.net](mailto:Scott.Maugh@gluckstadt.net)



---

**From:** Camp, Jason <jason.camp@msstate.edu>  
**Sent:** Wednesday, February 5, 2025 8:41 AM  
**To:** Scott Maugh <scott.maugh@gluckstadt.net>  
**Subject:** Know Before You Go: Ridgeland Spring Certified Municipal Clerk

**Scott Maugh (Gluckstadt),**

**Know Before You Go: Ridgeland Fall Certified Municipal Clerk**

We are excited to kick off the Spring Certified Municipal Clerk Program from **February 12-14, 2025**. Below are a few notes to help you prepare:

1. All participants are asked to bring one copy of an Agenda and one copy of Minutes from your municipality. This will be needed for one your sessions.
2. The event will be held at the **Embassy Suites Ridgeland- 200 Township Ave, Ridgeland, MS 39157**
3. Lunch will be provided on Wednesday and Thursday. Dinner will be on your own.
4. The dress for the event is business casual.
5. Please remember if you are staying at a hotel being paid for by your municipality, you will need to provide proof of tax exemption at check-in.
6. I suggest you bring a pen, a notepad, and a **light jacket**.
7. If you need to make up a past session exam, please notify me ASAP.

- 8. Scores for each session will be emailed to the address you used to register for the course. If you wish to change the email address on file ([scott.maugh@gluckstadt.net](mailto:scott.maugh@gluckstadt.net)), please let me know at registration.

Your Payment Status: Paid

Below you will find a schedule of events.

**Wednesday, February 12<sup>th</sup>**

- 7:15-8:00 Breakfast/Registration
- 8:00-12:00 Elections
- 12:00-1:00 Lunch
- 1:00-5:00 Personnel Issues II

**Thursday, February 13<sup>th</sup>**

- 7:15-8:00 Breakfast/Registration
- 8:00-12:00 Law I
- 12:00-1:00 Lunch
- 1:00-5:00 Agenda & Minutes

**Friday, February 14<sup>th</sup>**

- 7:15-8:00 Breakfast/Registration
- 8:00-12:00 Budgeting & Fixed Assets

If you have any questions, please let me know.

**Jason Camp**

Extension Specialist  
Center for Government & Community Development  
Mississippi State University Extension Service  
*Extending knowledge. Changing lives.*

**Schedule an appointment with me at <https://calendly.com/jasoncamp>**

PO 9643 | Mississippi State, MS 39762  
662-325-3141 (voice) | 662-325-8954 (fax) | [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu) | [gcd.msucare.com](http://gcd.msucare.com)



**MISSISSIPPI STATE UNIVERSITY™  
EXTENSION**



**Extension Center for Governmental & Community Development**

Mississippi State University Extension Service  
Phone:(662)325-3141; Fax (662)325-8954  
Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™  
EXTENSION**

Center for Government & Community Development

**TO:**  
Scott Maugh  
Gluckstadt

**RECEIVED**  
**City of**  
**Gluckstadt**  
**12/20/24 SM,**  
**Deputy City**  
**Clerk**

DESCRIPTION	AMOUNT
Certified Municipal Clerks (CMC) Program Session Registration Fee Scott Maugh Ridgeland February 12-14, 2025	
TOTAL	\$300.00

Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable. A course registration may be cancelled without penalty if cancellation takes place on or before the Friday prior to the day the class is scheduled to start.

Make all checks payable to  
**Extension Center for Governmental & Community Development**  
City Clerk Program  
Box 9643  
Mississippi State, MS 39762

If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)

**From:** [Lindsay Kellum](#)  
**To:** [Scott Maugh](#)  
**Subject:** RE: 2025 CMC Spring Session Registration Confirmation (Maugh)  
**Date:** Thursday, December 26, 2024 8:23:56 AM

---

Approved.

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
(769) 567-2306  
[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)



---

**From:** Scott Maugh <[scott.maugh@gluckstadt.net](mailto:scott.maugh@gluckstadt.net)>  
**Sent:** Friday, December 20, 2024 4:04 PM  
**To:** Lindsay Kellum <[lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net)>  
**Subject:** FW: 2025 CMC Spring Session Registration Confirmation (Maugh)

See attached for approval to pay.

**SCOTT MAUGH**

Deputy City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
Office: (769) 567-2306  
Fax: (769) 567-2305  
[Scott.Maugh@gluckstadt.net](mailto:Scott.Maugh@gluckstadt.net)



---

**From:** Scott Maugh <[scott.maugh@gluckstadt.net](mailto:scott.maugh@gluckstadt.net)>  
**Sent:** Friday, December 20, 2024 11:01 AM  
**To:** Accounts Payable <[accountspayable@gluckstadt.net](mailto:accountspayable@gluckstadt.net)>  
**Subject:** FW: 2025 CMC Spring Session Registration Confirmation

**SCOTT MAUGH**

Deputy City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
Office: (769) 567-2306  
Fax: (769) 567-2305  
[Scott.Maugh@gluckstadt.net](mailto:Scott.Maugh@gluckstadt.net)



**From:** [noreply@fs8.formsite.com](mailto:noreply@fs8.formsite.com) <[noreply@fs8.formsite.com](mailto:noreply@fs8.formsite.com)>  
**Sent:** Friday, December 20, 2024 10:20 AM  
**To:** Scott Maugh <[scott.maugh@gluckstadt.net](mailto:scott.maugh@gluckstadt.net)>  
**Subject:** 2025 CMC Spring Session Registration Confirmation

**Scott Maugh,**

The Center for Government and Community Development has received your registration for the 2025 CMC Spring Session. **Please use the attached registration confirmation as your invoice.**

**Please ensure that your registration payment is mailed to the address below at least 2 weeks prior to the event.**

**Checks made payable and Mail to:**

Center for Government and Community Development  
Attn: City Clerk Program  
P.O. Box 9643  
Mississippi State, MS 39762

**Hotel Details**

**TownePlace Suites Oxford**

[\(662\) 238-3522](tel:(662)238-3522)

[Booking Link](#)

\$119

Booking Deadline February 24, 2025

**Holiday Inn Hattiesburg**

\$107.00

Booking Deadline: February 11, 2025

[Booking Link](#)

Phone: 601-990-9340

**Embassy Suites Ridgeland**

\$154.00 (Includes Breakfast)

Booking Deadline: January 28, 2025

[Booking Link](#)

Phone 1-800-728-3025 Code: MS State Extension Service

Please remember that your municipality must be a member of the [Mississippi Municipal Clerks and Collector's Association](#) to participate in this program.

We will hold an **optional** Orientation & Overview session for the Certified Municipal Clerk Program on January 29, 2025. This is designed to allow participants to get a better understanding of the program, cover logistical details, and answer any questions they might have before they attend the event. This is optional and not required. The event will be recorded and sent out later that day.

**Jason Camp, Ph.D.**

Extension Instructor

Center for Government & Community Development

Mississippi State University Extension Service

Extending knowledge. Changing lives.

PO 9643 | Mississippi State, MS 39762

662-325-3141 (voice) | 662-325-8954 (fax) | [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu) | [gcd.msucare.com](http://gcd.msucare.com)

This email was sent as a result of a form being completed.  
[Report unwanted email.](#)



**Extension Center for Governmental & Community Development**

Mississippi State University Extension Service  
Phone:(662)325-3141; Fax (662)325-8954  
Box 9643; Mississippi State, MS 39762



**MISSISSIPPI STATE UNIVERSITY™  
EXTENSION**  
Center for Government & Community Development

**TO:**  
Chasity Pickett  
  
Gluckstadt

:

DESCRIPTION	AMOUNT
Certified Municipal Clerks (CMC) Program Session Registration Fee Chasity Pickett Ridgeland February 12-14, 2025	
TOTAL	\$300.00

Note: I understand that if I register for the course but do not attend, the registration fee is still due and payable. A course registration may be cancelled without penalty if cancellation takes place on or before the Friday prior to the day the class is scheduled to start.

Make all checks payable to  
**Extension Center for Governmental & Community Development**  
City Clerk Program  
Box 9643  
Mississippi State, MS 39762

If you have any questions concerning this invoice, contact Jason Camp 662-325-3141 or [Jason.Camp@msstate.edu](mailto:Jason.Camp@msstate.edu)



Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 001 - GENERAL FUND</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
<b>Department: 000 - NON DEPARTMENT Total:</b>	6,713,342.35	6,713,342.35	-16,940.11	2,106,152.33	0.00	-4,607,190.02	68.63%
<b>Revenue Total:</b>	<b>6,713,342.35</b>	<b>6,713,342.35</b>	<b>-16,940.11</b>	<b>2,106,152.33</b>	<b>0.00</b>	<b>-4,607,190.02</b>	<b>68.63%</b>
<b>Expense</b>							
<b>Department: 100 - LEGISLATIVE - BOARD</b>							
004 - PERSONNEL SERVICES	35,545.00	35,545.00	0.00	11,283.30	0.00	24,261.70	68.26%
005 - SUPPLIES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
006 - CONTRACTUAL SERVICES	13,500.00	13,500.00	4,226.42	4,951.65	0.00	8,548.35	63.32%
<b>Department: 100 - LEGISLATIVE - BOARD Total:</b>	<b>49,545.00</b>	<b>49,545.00</b>	<b>4,226.42</b>	<b>16,234.95</b>	<b>0.00</b>	<b>33,310.05</b>	<b>67.23%</b>
<b>Department: 110 - JUDICIAL/MUNICIPAL COURT</b>							
004 - PERSONNEL SERVICES	201,953.81	201,953.81	0.00	57,044.97	0.00	144,908.84	71.75%
005 - SUPPLIES	7,000.00	6,765.00	1,015.81	1,445.34	-33.53	5,353.19	79.13%
006 - CONTRACTUAL SERVICES	82,350.00	82,350.00	4,241.38	17,565.34	0.00	64,784.66	78.67%
009 - CAPITAL OUTLAY	0.00	8,915.00	0.00	8,915.00	0.00	0.00	0.00%
<b>Department: 110 - JUDICIAL/MUNICIPAL COURT Total:</b>	<b>291,303.81</b>	<b>299,983.81</b>	<b>5,257.19</b>	<b>84,970.65</b>	<b>-33.53</b>	<b>215,046.69</b>	<b>71.69%</b>
<b>Department: 120 - EXECUTIVE - MAYOR</b>							
005 - SUPPLIES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
006 - CONTRACTUAL SERVICES	19,150.00	14,150.00	1,210.00	1,210.00	495.00	12,445.00	87.95%
<b>Department: 120 - EXECUTIVE - MAYOR Total:</b>	<b>19,650.00</b>	<b>14,650.00</b>	<b>1,210.00</b>	<b>1,210.00</b>	<b>495.00</b>	<b>12,945.00</b>	<b>88.36%</b>
<b>Department: 130 - ELECTIONS</b>							
006 - CONTRACTUAL SERVICES	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	100.00%
<b>Department: 130 - ELECTIONS Total:</b>	<b>15,000.00</b>	<b>15,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>15,000.00</b>	<b>100.00%</b>
<b>Department: 140 - ADMINISTRATION - FINANCIAL</b>							
004 - PERSONNEL SERVICES	343,930.90	343,930.90	0.00	95,715.67	0.00	248,215.23	72.17%
005 - SUPPLIES	7,500.00	7,500.00	226.61	264.09	460.00	6,775.91	90.35%
006 - CONTRACTUAL SERVICES	95,700.00	95,700.00	3,480.30	45,132.53	0.00	50,567.47	52.84%
009 - CAPITAL OUTLAY	9,500.00	9,500.00	0.00	282.23	-282.23	9,500.00	100.00%
<b>Department: 140 - ADMINISTRATION - FINANCIAL Total:</b>	<b>456,630.90</b>	<b>456,630.90</b>	<b>3,706.91</b>	<b>141,394.52</b>	<b>177.77</b>	<b>315,058.61</b>	<b>69.00%</b>
<b>Department: 190 - PLANNING &amp; ZONING</b>							
004 - PERSONNEL SERVICES	102,348.65	102,348.65	0.00	33,977.49	0.00	68,371.16	66.80%

My Budget Report

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
005 - SUPPLIES	5,950.00	5,950.00	42.89	276.07	0.00	5,673.93	95.36%
006 - CONTRACTUAL SERVICES	100,700.00	100,700.00	6,231.71	15,824.17	0.00	84,875.83	84.29%
009 - CAPITAL OUTLAY	1,000.00	1,000.00	0.00	21.90	0.00	978.10	97.81%
<b>Department: 190 - PLANNING &amp; ZONING Total:</b>	<b>209,998.65</b>	<b>209,998.65</b>	<b>6,274.60</b>	<b>50,099.63</b>	<b>0.00</b>	<b>159,899.02</b>	<b>76.14%</b>
<b>Department: 195 - ADMINISTRATION - GENERAL</b>							
004 - PERSONNEL SERVICES	164,505.34	155,218.34	0.00	60,808.71	0.00	94,409.63	60.82%
005 - SUPPLIES	5,000.00	5,000.00	0.00	195.66	0.00	4,804.34	96.09%
006 - CONTRACTUAL SERVICES	1,021,556.00	1,049,418.00	72,826.56	383,024.15	0.00	666,393.85	63.50%
009 - CAPITAL OUTLAY	15,500.00	15,500.00	0.00	402.43	125.00	14,972.57	96.60%
<b>Department: 195 - ADMINISTRATION - GENERAL Total:</b>	<b>1,206,561.34</b>	<b>1,225,136.34</b>	<b>72,826.56</b>	<b>444,430.95</b>	<b>125.00</b>	<b>780,580.39</b>	<b>63.71%</b>
<b>Department: 200 - POLICE</b>							
004 - PERSONNEL SERVICES	1,586,267.24	1,606,267.24	0.00	458,316.11	0.00	1,147,951.13	71.47%
005 - SUPPLIES	121,200.00	112,776.00	9,657.68	47,382.58	362.56	65,030.86	57.66%
006 - CONTRACTUAL SERVICES	244,875.00	232,618.50	6,827.85	68,202.61	6,041.00	158,374.89	68.08%
009 - CAPITAL OUTLAY	180,704.50	910,398.09	6,469.17	412,204.41	228,359.75	269,833.93	29.64%
<b>Department: 200 - POLICE Total:</b>	<b>2,133,046.74</b>	<b>2,862,059.83</b>	<b>22,954.70</b>	<b>986,105.71</b>	<b>234,763.31</b>	<b>1,641,190.81</b>	<b>57.34%</b>
<b>Department: 260 - FIRE</b>							
006 - CONTRACTUAL SERVICES	60,000.00	60,000.00	60,000.00	60,000.00	0.00	0.00	0.00%
<b>Department: 260 - FIRE Total:</b>	<b>60,000.00</b>	<b>60,000.00</b>	<b>60,000.00</b>	<b>60,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Department: 280 - BUILDING INSPECTION &amp; CODE</b>							
004 - PERSONNEL SERVICES	180,743.30	180,743.30	0.00	60,297.96	0.00	120,445.34	66.64%
005 - SUPPLIES	6,050.00	6,050.00	147.72	835.87	0.00	5,214.13	86.18%
006 - CONTRACTUAL SERVICES	11,300.00	11,300.00	258.62	2,689.07	0.00	8,610.93	76.20%
009 - CAPITAL OUTLAY	43,000.00	43,000.00	0.00	51.89	0.00	42,948.11	99.88%
<b>Department: 280 - BUILDING INSPECTION &amp; CODE Total:</b>	<b>241,093.30</b>	<b>241,093.30</b>	<b>406.34</b>	<b>63,874.79</b>	<b>0.00</b>	<b>177,218.51</b>	<b>73.51%</b>
<b>Department: 301 - STREETS</b>							
004 - PERSONNEL SERVICES	531,023.04	531,023.04	0.00	119,272.27	0.00	411,750.77	77.54%
005 - SUPPLIES	135,500.00	135,500.00	7,146.00	40,876.77	14,746.10	79,877.13	58.95%
006 - CONTRACTUAL SERVICES	465,350.00	465,350.00	6,521.84	39,580.78	3,207.92	422,561.30	90.81%
009 - CAPITAL OUTLAY	1,681,940.00	1,831,511.85	584.29	166,345.43	4,842.00	1,660,324.42	90.65%
<b>Department: 301 - STREETS Total:</b>	<b>2,813,813.04</b>	<b>2,963,384.89</b>	<b>14,252.13</b>	<b>366,075.25</b>	<b>22,796.02</b>	<b>2,574,513.62</b>	<b>86.88%</b>
<b>Department: 900 - TRANSFERS</b>							
009 - CAPITAL OUTLAY	970,291.00	970,291.00	0.00	1,261,509.38	0.00	-291,218.38	-30.01%
<b>Department: 900 - TRANSFERS Total:</b>	<b>970,291.00</b>	<b>970,291.00</b>	<b>0.00</b>	<b>1,261,509.38</b>	<b>0.00</b>	<b>-291,218.38</b>	<b>-30.01%</b>
<b>Expense Total:</b>	<b>8,466,933.78</b>	<b>9,367,773.72</b>	<b>191,114.85</b>	<b>3,475,905.83</b>	<b>258,323.57</b>	<b>5,633,544.32</b>	<b>60.14%</b>
<b>Fund: 001 - GENERAL FUND Surplus (Deficit):</b>	<b>-1,753,591.43</b>	<b>-2,654,431.37</b>	<b>-208,054.96</b>	<b>-1,369,753.50</b>	<b>-258,323.57</b>	<b>1,026,354.30</b>	<b>38.67%</b>
<b>Report Surplus (Deficit):</b>	<b>-1,753,591.43</b>	<b>-2,654,431.37</b>	<b>-208,054.96</b>	<b>-1,369,753.50</b>	<b>-258,323.57</b>	<b>1,026,354.30</b>	<b>38.67%</b>

**Fund Summary**

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
001 - GENERAL FUND	-1,753,591.43	-2,654,431.37	-208,054.96	-1,369,753.50	-258,323.57	1,026,354.30
<b>Report Surplus (Deficit):</b>	<b>-1,753,591.43</b>	<b>-2,654,431.37</b>	<b>-208,054.96</b>	<b>-1,369,753.50</b>	<b>-258,323.57</b>	<b>1,026,354.30</b>





Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 002 - POLICE STATION CAPITAL PROJECT FUND</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
Department: 000 - NON DEPARTMENT Total:	0.00	0.00	0.00	27.27	0.00	27.27	0.00%
Revenue Total:	0.00	0.00	0.00	27.27	0.00	27.27	0.00%
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
006 - CONTRACTUAL SERVICES	40,734.00	40,734.00	0.00	40,734.24	0.00	-0.24	0.00%
009 - CAPITAL OUTLAY	200,000.00	200,000.00	0.00	200,000.00	0.00	0.00	0.00%
Department: 200 - POLICE Total:	240,734.00	240,734.00	0.00	240,734.24	0.00	-0.24	0.00%
Expense Total:	240,734.00	240,734.00	0.00	240,734.24	0.00	-0.24	0.00%
Fund: 002 - POLICE STATION CAPITAL PROJECT FUND Surplus (Deficit):	-240,734.00	-240,734.00	0.00	-240,706.97	0.00	27.03	0.01%
Report Surplus (Deficit):	-240,734.00	-240,734.00	0.00	-240,706.97	0.00	27.03	0.01%

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
002 - POLICE STATION CAPITAL PI	-240,734.00	-240,734.00	0.00	-240,706.97	0.00	27.03
<b>Report Surplus (Deficit):</b>	<b>-240,734.00</b>	<b>-240,734.00</b>	<b>0.00</b>	<b>-240,706.97</b>	<b>0.00</b>	<b>27.03</b>



Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 005 - PD CAPITAL PROJECT FUND #2 (2023)</b>							
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
006 - CONTRACTUAL SERVICES	0.00	50,000.00	0.00	12,690.59	0.00	37,309.41	74.62%
009 - CAPITAL OUTLAY	750,000.00	700,000.00	0.00	545,155.56	0.00	154,844.44	22.12%
<b>Department: 200 - POLICE Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>557,846.15</b>	<b>0.00</b>	<b>192,153.85</b>	<b>25.62%</b>
<b>Expense Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>557,846.15</b>	<b>0.00</b>	<b>192,153.85</b>	<b>25.62%</b>
<b>Fund: 005 - PD CAPITAL PROJECT FUND #2 (2023) Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>557,846.15</b>	<b>0.00</b>	<b>192,153.85</b>	<b>25.62%</b>
<b>Report Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>557,846.15</b>	<b>0.00</b>	<b>192,153.85</b>	<b>25.62%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
005 - PD CAPITAL PROJECT FUND	750,000.00	750,000.00	0.00	557,846.15	0.00	192,153.85	25.62%
<b>Report Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>557,846.15</b>	<b>0.00</b>	<b>192,153.85</b>	<b>25.62%</b>



Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 200 - PD BUILDING DEBT SERVICE FUND</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
<b>Department: 000 - NON DEPARTMENT Total:</b>	630,541.00	630,541.00	0.00	162,659.38	0.00	-467,881.62	74.20%
<b>Revenue Total:</b>	<b>630,541.00</b>	<b>630,541.00</b>	<b>0.00</b>	<b>162,659.38</b>	<b>0.00</b>	<b>-467,881.62</b>	<b>74.20%</b>
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
006 - CONTRACTUAL SERVICES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
008 - DEBT SERVICE	630,041.00	630,041.00	0.00	162,659.38	0.00	467,381.62	74.18%
<b>Department: 200 - POLICE Total:</b>	<b>630,541.00</b>	<b>630,541.00</b>	<b>0.00</b>	<b>162,659.38</b>	<b>0.00</b>	<b>467,881.62</b>	<b>74.20%</b>
<b>Expense Total:</b>	<b>630,541.00</b>	<b>630,541.00</b>	<b>0.00</b>	<b>162,659.38</b>	<b>0.00</b>	<b>467,881.62</b>	<b>74.20%</b>
<b>Fund: 200 - PD BUILDING DEBT SERVICE FUND Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
200 - PD BUILDING DEBT SERVICE	0.00	0.00	0.00	0.00	0.00	0.00
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>



Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 102 - PD FORFEITED FUNDS</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
<b>Department: 000 - NON DEPARTMENT Total:</b>	0.00	50,000.00	0.00	3,000.00	0.00	-47,000.00	94.00%
<b>Revenue Total:</b>	<b>0.00</b>	<b>50,000.00</b>	<b>0.00</b>	<b>3,000.00</b>	<b>0.00</b>	<b>-47,000.00</b>	<b>94.00%</b>
<b>Expense</b>							
<b>Department: 200 - POLICE</b>							
009 - CAPITAL OUTLAY	0.00	50,000.00	0.00	0.00	0.00	50,000.00	100.00%
<b>Department: 200 - POLICE Total:</b>	<b>0.00</b>	<b>50,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>50,000.00</b>	<b>100.00%</b>
<b>Expense Total:</b>	<b>0.00</b>	<b>50,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>50,000.00</b>	<b>100.00%</b>
<b>Fund: 102 - PD FORFEITED FUNDS Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>3,000.00</b>	<b>0.00</b>	<b>3,000.00</b>	<b>0.00%</b>
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>3,000.00</b>	<b>0.00</b>	<b>3,000.00</b>	<b>0.00%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
102 - PD FORFEITED FUNDS	0.00	0.00	0.00	3,000.00	0.00	3,000.00
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>3,000.00</b>	<b>0.00</b>	<b>3,000.00</b>





Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 301 - STREET IMPROVEMENT CAP. PROJ. (GLUCKSTADT), STATE</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
750,000.00	750,000.00	0.00	750,000.00	0.00	0.00	0.00%	
<b>Department: 000 - NON DEPARTMENT Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Revenue Total:</b>	<b>750,000.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>750,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>
<b>Expense</b>							
<b>Department: 301 - STREETS</b>							
006 - CONTRACTUAL SERVICES							
650,000.00	650,000.00	9,259.74	42,528.64	0.00	607,471.36	93.46%	
<b>Department: 301 - STREETS Total:</b>	<b>650,000.00</b>	<b>650,000.00</b>	<b>9,259.74</b>	<b>42,528.64</b>	<b>0.00</b>	<b>607,471.36</b>	<b>93.46%</b>
<b>Expense Total:</b>	<b>650,000.00</b>	<b>650,000.00</b>	<b>9,259.74</b>	<b>42,528.64</b>	<b>0.00</b>	<b>607,471.36</b>	<b>93.46%</b>
<b>Fund: 301 - STREET IMPROVEMENT CAP. PROJ. (GLUCKSTADT), STATE Surplus (Deficit):</b>	<b>100,000.00</b>	<b>100,000.00</b>	<b>-9,259.74</b>	<b>707,471.36</b>	<b>0.00</b>	<b>607,471.36</b>	<b>-607.47%</b>
<b>Report Surplus (Deficit):</b>	<b>100,000.00</b>	<b>100,000.00</b>	<b>-9,259.74</b>	<b>707,471.36</b>	<b>0.00</b>	<b>607,471.36</b>	<b>-607.47%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
301 - STREET IMPROVEMENT CAF	100,000.00	100,000.00	-9,259.74	707,471.36	0.00	607,471.36
<b>Report Surplus (Deficit):</b>	<b>100,000.00</b>	<b>100,000.00</b>	<b>-9,259.74</b>	<b>707,471.36</b>	<b>0.00</b>	<b>607,471.36</b>



Gluckstadt, MS

Section 5, Item A)

# My Budget Report

## Group Summary

For Fiscal: FY25 Period Ending: 02/28/2025

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: 300 - STREET IMPROVEMENT CAP FUND (CALHOUN STATION), FED</b>							
<b>Revenue</b>							
<b>Department: 000 - NON DEPARTMENT</b>							
Department: 000 - NON DEPARTMENT Total:	1,098,750.00	1,098,750.00	0.00	1,098,750.00	0.00	0.00	0.00%
Revenue Total:	1,098,750.00	1,098,750.00	0.00	1,098,750.00	0.00	0.00	0.00%
<b>Expense</b>							
<b>Department: 301 - STREETS</b>							
006 - CONTRACTUAL SERVICES	150,000.00	150,000.00	11,491.73	19,179.42	0.00	130,820.58	87.21%
009 - CAPITAL OUTLAY	948,750.00	948,750.00	0.00	0.00	0.00	948,750.00	100.00%
Department: 301 - STREETS Total:	1,098,750.00	1,098,750.00	11,491.73	19,179.42	0.00	1,079,570.58	98.25%
Expense Total:	1,098,750.00	1,098,750.00	11,491.73	19,179.42	0.00	1,079,570.58	98.25%
<b>Fund: 300 - STREET IMPROVEMENT CAP FUND (CALHOUN STATION), FED Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-11,491.73</b>	<b>1,079,570.58</b>	<b>0.00</b>	<b>1,079,570.58</b>	<b>0.00%</b>
Report Surplus (Deficit):	0.00	0.00	-11,491.73	1,079,570.58	0.00	1,079,570.58	0.00%

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
300 - STREET IMPROVEMENT CAF	0.00	0.00	-11,491.73	1,079,570.58	0.00	1,079,570.58
<b>Report Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-11,491.73</b>	<b>1,079,570.58</b>	<b>0.00</b>	<b>1,079,570.58</b>



Gluckstadt, MS

**Bank Statement Register**

Section 5, Item B)

**GENERAL LEDGER, PUBLIC FUNDS**

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00172

Bank Statement		General Ledger	
Beginning Balance	4,320,240.89	Account Balance	4,437,282.83
Plus Debits	885,532.01	Less Outstanding Debits	5,778.20
Less Credits	707,726.34	Plus Outstanding Credits	66,541.93
Adjustments	0.00	Adjustments	0.00
Ending Balance	4,498,046.56	Adjusted Account Balance	4,498,046.56

Statement Ending Balance	4,498,046.56
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

- 001-000-10100 CASH
- 001-100-44001 FEDERAL TAXES

Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
12/30/2024	<a href="#">DEP0002882</a>	Deposit	DEPOSIT CASH RECEIPTS	666.50
12/31/2024	<a href="#">DEP0002889</a>	Deposit	DEPOSIT CASH RECEIPTS	213.00
12/31/2024	<a href="#">DEP0002892</a>	Deposit	CLPKT00843 BG:CC Payment	75.00
12/31/2024	<a href="#">DEP0002893</a>	Deposit	DEPOSIT CASH RECEIPTS	213.00
12/31/2024	<a href="#">DEP0002894</a>	Deposit	DEPOSIT CASH RECEIPTS	483.50
01/02/2025	<a href="#">DEP0002895</a>	Deposit	DEPOSIT CASH RECEIPTS	620.50
01/02/2025	<a href="#">DEP0002898</a>	Deposit	CLPKT00844 BG:Cash	298.00
01/02/2025	<a href="#">DEP0002898</a>	Deposit	CLPKT00844 BG:CC Payment	213.00
01/02/2025	<a href="#">DEP0002901</a>	Deposit	CLPKT00845 BG:CC Payment	25.00
01/03/2025	<a href="#">DEP0002902</a>	Deposit	DEPOSIT CASH RECEIPTS	1,004.00
01/03/2025	<a href="#">DEP0002905</a>	Deposit	CLPKT00846 BG:CC Payment	23.00
01/03/2025	<a href="#">DEP0002905</a>	Deposit	CLPKT00846 BG:Cash	1,617.00
01/03/2025	<a href="#">DEP0002908</a>	Deposit	CLPKT00847 BG:CC Payment	50.00
01/06/2025	<a href="#">DEP0002913</a>	Deposit	DEPOSIT CASH RECEIPTS	2,060.25
01/06/2025	<a href="#">DEP0002915</a>	Deposit	CLPKT00849 BG:Cash	1,090.00
01/07/2025	<a href="#">DEP0002919</a>	Deposit	DEPOSIT CASH RECEIPTS	1,290.00
01/07/2025	<a href="#">DEP0002922</a>	Deposit	CLPKT00851 BG:Cash	2,549.50
01/07/2025	<a href="#">DEP0002922</a>	Deposit	CLPKT00851 BG:CC Payment	2,838.25
01/07/2025	<a href="#">DEP0002925</a>	Deposit	CLPKT00852 BG:CC Payment	50.00
01/08/2025	<a href="#">DEP0002926</a>	Deposit	DEPOSIT CASH RECEIPTS	1,065.00
01/08/2025	<a href="#">DEP0002929</a>	Deposit	CLPKT00853 BG:Cash	1,128.25
01/08/2025	<a href="#">DEP0002929</a>	Deposit	CLPKT00853 BG:CC Payment	213.00
01/08/2025	<a href="#">DEP0002932</a>	Deposit	CLPKT00854 BG:CC Payment	25.00
01/09/2025	<a href="#">DEP0002933</a>	Deposit	DEPOSIT CASH RECEIPTS	313.00

Item Date	Reference	Item Type	Description	Amount
01/09/2025	<a href="#">DEP0002936</a>	Deposit	CLPKT00855 BG:CC Payment	947.00
01/09/2025	<a href="#">DEP0002936</a>	Deposit	CLPKT00855 BG:Cash	373.00
01/09/2025	<a href="#">DEP0002939</a>	Deposit	CLPKT00856 BG:CC Payment	25.00
01/10/2025	<a href="#">DEP0002940</a>	Deposit	DEPOSIT CASH RECEIPTS	2,396.50
01/10/2025	<a href="#">DEP0002943</a>	Deposit	CLPKT00857 BG:Cash	915.50
01/10/2025	<a href="#">DEP0002943</a>	Deposit	CLPKT00857 BG:CC Payment	937.25
01/13/2025	<a href="#">DEP0002944</a>	Deposit	DEPOSIT CASH RECEIPTS	6,356.00
01/13/2025	<a href="#">DEP0002947</a>	Deposit	CLPKT00858 BG:Cash	5,667.05
01/13/2025	<a href="#">DEP0002947</a>	Deposit	CLPKT00858 BG:CC Payment	783.50
01/13/2025	<a href="#">DEP0002950</a>	Deposit	CLPKT00859 BG:CC Payment	75.00
01/14/2025	<a href="#">DEP0002951</a>	Deposit	DEPOSIT CASH RECEIPTS	576.00
01/14/2025	<a href="#">DEP0002954</a>	Deposit	CLPKT00860 BG:CC Payment	741.00
01/14/2025	<a href="#">DEP0002954</a>	Deposit	CLPKT00860 BG:Cash	1,360.50
01/14/2025	<a href="#">DEP0002957</a>	Deposit	CLPKT00861 BG:CC Payment	25.00
01/15/2025	<a href="#">DEP0002958</a>	Deposit	DEPOSIT CASH RECEIPTS	982.50
01/15/2025	<a href="#">DEP0002961</a>	Deposit	CLPKT00862 BG:Cash	170.00
01/15/2025	<a href="#">DEP0002961</a>	Deposit	CLPKT00862 BG:CC Payment	543.00
01/15/2025	<a href="#">DEP0002969</a>	Deposit	CLPKT00864 BG:CC Payment	50.00
01/16/2025	<a href="#">DEP0002962</a>	Deposit	DEPOSIT CASH RECEIPTS	719.00
01/16/2025	<a href="#">DEP0002965</a>	Deposit	CLPKT00863 BG:CC Payment	240.50
01/16/2025	<a href="#">DEP0002965</a>	Deposit	CLPKT00863 BG:Cash	860.00
01/16/2025	<a href="#">DEP0002972</a>	Deposit	CLPKT00865 BG:CC Payment	25.00
01/17/2025	<a href="#">DEP0002973</a>	Deposit	DEPOSIT CASH RECEIPTS	2,120.50
01/17/2025	<a href="#">DEP0002990</a>	Deposit	CLPKT00866 BG:Cash	1,756.22
01/21/2025	<a href="#">DEP0002975</a>	Deposit	DEPOSIT CASH RECEIPTS	3,404.00
01/21/2025	<a href="#">DEP0002978</a>	Deposit	CLPKT00867 BG:Cash	2,321.00
01/21/2025	<a href="#">DEP0002978</a>	Deposit	CLPKT00867 BG:CC Payment	423.00
01/21/2025	<a href="#">DEP0002981</a>	Deposit	CLPKT00868 BG:CC Payment	50.00
01/21/2025	<a href="#">DEP0003014</a>	Deposit	CLPKT00877 BG:CC Payment	32,385.28
01/22/2025	<a href="#">DEP0002982</a>	Deposit	DEPOSIT CASH RECEIPTS	1,656.00
01/22/2025	<a href="#">DEP0002985</a>	Deposit	CLPKT00869 BG:Cash	1,985.90
01/22/2025	<a href="#">DEP0002985</a>	Deposit	CLPKT00869 BG:CC Payment	3,056.00
01/22/2025	<a href="#">DEP0002988</a>	Deposit	CLPKT00870 BG:CC Payment	50.00
01/23/2025	<a href="#">DEP0002991</a>	Deposit	DEPOSIT CASH RECEIPTS	2,659.00
01/23/2025	<a href="#">DEP0002994</a>	Deposit	CLPKT00871 BG:CC Payment	315.50
01/23/2025	<a href="#">DEP0002994</a>	Deposit	CLPKT00871 BG:Cash	1,299.50
01/23/2025	<a href="#">DEP0002997</a>	Deposit	CLPKT00872 BG:CC Payment	50.00
01/24/2025	<a href="#">DEP0002998</a>	Deposit	DEPOSIT CASH RECEIPTS	3,585.00
01/24/2025	<a href="#">DEP0003001</a>	Deposit	CLPKT00873 BG:CC Payment	1,236.75
01/24/2025	<a href="#">DEP0003001</a>	Deposit	CLPKT00873 BG:Cash	738.61
01/24/2025	<a href="#">DEP0003004</a>	Deposit	CLPKT00874 BG:CC Payment	25.00
01/27/2025	<a href="#">DEP0003005</a>	Deposit	DEPOSIT CASH RECEIPTS	725.00
01/27/2025	<a href="#">DEP0003008</a>	Deposit	CLPKT00875 BG:CC Payment	263.00
01/27/2025	<a href="#">DEP0003008</a>	Deposit	CLPKT00875 BG:Cash	4,040.00
01/27/2025	<a href="#">DEP0003011</a>	Deposit	CLPKT00876 BG:CC Payment	75.00

Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
01/28/2025	<a href="#">DEP0003015</a>	Deposit	DEPOSIT CASH RECEIPTS	2,285.00
01/28/2025	<a href="#">DEP0003018</a>	Deposit	CLPKT00879 BG:Cash	1,136.00
01/28/2025	<a href="#">DEP0003018</a>	Deposit	CLPKT00879 BG:CC Payment	1,606.50
01/28/2025	<a href="#">DEP0003021</a>	Deposit	CLPKT00880 BG:CC Payment	50.00
01/29/2025	<a href="#">DEP0003025</a>	Deposit	CLPKT00881 BG:Cash	443.00
01/29/2025	<a href="#">DEP0003028</a>	Deposit	CLPKT00882 BG:CC Payment	75.00
01/30/2025	<a href="#">DEP0003032</a>	Deposit	CLPKT00883 BG:Cash	578.50
01/30/2025	<a href="#">DEP0003035</a>	Deposit	CLPKT00884 BG:CC Payment	75.00
01/31/2025	<a href="#">DEP0003041</a>	Deposit	CLPKT00885 BG:Cash	1,833.00
01/31/2025	<a href="#">DEP0003056</a>	Deposit	CLPKT00890 BG:CC Payment	764,198.68
01/31/2025	<a href="#">DEP0003059</a>	Deposit	CLPKT00891 BG:CC Payment	1,252.32
01/31/2025	<a href="#">DEP0003062</a>	Deposit	CLPKT00892 BG:CC Payment	60.00
Total Cleared Deposits (81)				880,705.31

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
10/09/2024	<a href="#">1905</a>	Check	Mississippi Department of Public Safety (Cr	-300.00
11/13/2024	<a href="#">1967</a>	Check	Mississippi Department of Public Safety (Cr	-420.00
12/11/2024	<a href="#">2002</a>	Check	Canton Sanitary Landfill	-244.54
12/11/2024	<a href="#">2015</a>	Check	Hartley Equipment Company, Inc.	-186.09
12/11/2024	<a href="#">2017</a>	Check	James W Irby Jr PHD ABPP	-525.00
12/11/2024	<a href="#">2027</a>	Check	Mississippi Department of Public Safety (Cr	-180.00
12/11/2024	<a href="#">2031</a>	Check	Phelps Dunbar LLP	-3,607.50
12/26/2024	<a href="#">2047</a>	Check	LVNV Funding, LLC	-555.25
12/26/2024	<a href="#">2049</a>	Check	Torri Parker Martin, Chapter 13 Trustee	-922.00
01/03/2025	<a href="#">2050</a>	Check	110 Percent, LLC	-3,000.00
01/03/2025	<a href="#">2051</a>	Check	Kelly Dabbs Commercial, LLC	-8,792.00
01/06/2025	<a href="#">2052</a>	Check	Mississippi Attorney General's Office (Huma	-1,000.00
01/06/2025	<a href="#">2053</a>	Check	Mississippi Department of Public Safety	-386.57
01/06/2025	<a href="#">2054</a>	Check	State General Fund (DFA)	-22,705.94
01/15/2025	<a href="#">2055</a>	Check	Ace Bolt & Screw Co. Inc.	-20.49
01/15/2025	<a href="#">2056</a>	Check	Adcamp Inc.	-134,955.97
01/15/2025	<a href="#">2057</a>	Check	APAC-Mississippi, Inc.	-1,037.63
01/15/2025	<a href="#">2058</a>	Check	Apex Property Solutions, LLC	-4,200.00
01/15/2025	<a href="#">2059</a>	Check	AT&T Mobility	-40.23
01/15/2025	<a href="#">2060</a>	Check	Atco Manufacturing Company	-184.87
01/15/2025	<a href="#">2061</a>	Check	Bear Creek Water Association	-335.55
01/15/2025	<a href="#">2063</a>	Check	Bridgers, Goodman, Baird & Clarke PLLC	-38,850.00
01/15/2025	<a href="#">2064</a>	Check	Canton Sanitary Landfill	-139.69
01/15/2025	<a href="#">2065</a>	Check	Cascio Sanford Government Law Group PLL	-3,500.00
01/15/2025	<a href="#">2066</a>	Check	CDW LLC	-585.78
01/15/2025	<a href="#">2067</a>	Check	Central Pipe Supply Inc.	-4,608.80
01/15/2025	<a href="#">2068</a>	Check	Cintas Corporation	-193.00

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">2069</a>	Check	Crystal Clean	-3,291.00
01/15/2025	<a href="#">2070</a>	Check	Custom Products Corporation	-3,386.04
01/15/2025	<a href="#">2072</a>	Check	Entergy	-3,448.55
01/15/2025	<a href="#">2073</a>	Check	Filing and Storage of Mississippi, LLC	-8,680.00
01/15/2025	<a href="#">2074</a>	Check	Flock Safety	-15,000.00
01/15/2025	<a href="#">2075</a>	Check	FP Mailing Solutions	-126.90
01/15/2025	<a href="#">2076</a>	Check	Fuelman	-5,572.32
01/15/2025	<a href="#">2077</a>	Check	Gluckstadt Madison Business Alliance, LLC	-5,000.00
01/15/2025	<a href="#">2078</a>	Check	Highland Building Services, Inc.	-2,150.00
01/15/2025	<a href="#">2079</a>	Check	International Code Council	-405.00
01/15/2025	<a href="#">2080</a>	Check	International Institute Of Municipal Clerks	-370.00
01/15/2025	<a href="#">2081</a>	Check	Madison County Sheriff's Office	-2,486.64
01/15/2025	<a href="#">2082</a>	Check	MAGCOR (formerly MPIC, INC)	-284.00
01/15/2025	<a href="#">2083</a>	Check	Magnolia Shredding LLC	-75.00
01/15/2025	<a href="#">2086</a>	Check	Mills, Scanlon, Dye & Pittman, Attorneys at	-37,212.75
01/15/2025	<a href="#">2087</a>	Check	Miss. Extension Center for Government & C	-300.00
01/15/2025	<a href="#">2089</a>	Check	Mississippi Municipal League	-300.00
01/15/2025	<a href="#">2090</a>	Check	Murray Mud Jacking Service, Inc.	-2,200.00
01/15/2025	<a href="#">2091</a>	Check	OP Plus	-648.10
01/15/2025	<a href="#">2092</a>	Check	Pennington & Trim Alarm Services, Inc	-69.00
01/15/2025	<a href="#">2093</a>	Check	Perry Wayne Brown	-200.00
01/15/2025	<a href="#">2096</a>	Check	Puckett Rents	-39.90
01/15/2025	<a href="#">2097</a>	Check	Revell Hardware Co., Inc.	-722.61
01/15/2025	<a href="#">2098</a>	Check	Robert J Young Company	-2,127.42
01/15/2025	<a href="#">2100</a>	Check	Scott Insurance Services LLC	-143.00
01/15/2025	<a href="#">2101</a>	Check	Southern Benefits Administrators	-100.00
01/15/2025	<a href="#">2102</a>	Check	Southern Connection Police Supplies, LLC	-8,041.44
01/15/2025	<a href="#">2104</a>	Check	Steve Chisholm, LLC	-4,970.00
01/15/2025	<a href="#">2106</a>	Check	Superior Tire Recappers, Inc.	-1,044.00
01/15/2025	<a href="#">2107</a>	Check	Tactical Energetic Entry Systems, LLC	-885.00
01/15/2025	<a href="#">2108</a>	Check	Texas Tactical Police Offers Association	-795.00
01/15/2025	<a href="#">2109</a>	Check	The 20 LLC	-7,023.80
01/15/2025	<a href="#">2110</a>	Check	Thomson Reuters - West Payment Center	-716.63
01/15/2025	<a href="#">2111</a>	Check	Trace Cleaners Dry Cleaning & Laundry	-20.00
01/15/2025	<a href="#">2112</a>	Check	Trupoint Tactical, LLC	-640.00
01/15/2025	<a href="#">2113</a>	Check	Trustcare Health, LLC	-240.00
01/15/2025	<a href="#">2114</a>	Check	Tyler Technologies, Inc.	-56,947.25
01/15/2025	<a href="#">2115</a>	Check	United Automation, LLC	-41,074.50
01/15/2025	<a href="#">2116</a>	Check	USPS	-302.00
01/15/2025	<a href="#">2117</a>	Check	Waste Management of Mississippi, Inc.	-948.73
Total Cleared Checks (67)				-449,463.48



Item Date	Reference	Item Type	Description	Amount
01/01/2025	<a href="#">MISC0000231</a>	Miscellaneous	Jan. 2025 Inverse of Dec. 2024 \$240.50 pa	-240.50
01/02/2025	<a href="#">DFT0001225</a>	Bank Draft	Entergy	-382.47
01/02/2025	<a href="#">DFT0001227</a>	Bank Draft	Telepak Networks, Inc.	-966.79
01/02/2025	<a href="#">DFT0001282</a>	Bank Draft	Blue Cross Blue Shield Of Mississippi	-9,999.35
01/02/2025	<a href="#">DFT0001283</a>	Bank Draft	Blue Cross Blue Shield Of Mississippi	-9,999.35
01/02/2025	<a href="#">DFT0001284</a>	Bank Draft Reversal	Blue Cross Blue Shield Of Mississippi	21.76
01/03/2025	<a href="#">EFT0000074</a>	EFT	Payroll EFT	-54,517.99
01/06/2025	<a href="#">DFT0001224</a>	Bank Draft	CenterPoint Energy	-102.14
01/06/2025	<a href="#">DFT0001226</a>	Bank Draft	Telepak Networks, Inc.	-2,353.77
01/06/2025	<a href="#">DFT0001285</a>	Bank Draft	American Family Life Assurance Company c	-85.14
01/06/2025	<a href="#">DFT0001286</a>	Bank Draft	American Family Life Assurance Company c	-85.14
01/06/2025	<a href="#">DFT0001287</a>	Bank Draft	American Family Life Assurance Company c	-17.88
01/06/2025	<a href="#">DFT0001288</a>	Bank Draft	American Family Life Assurance Company c	-79.16
01/06/2025	<a href="#">DFT0001289</a>	Bank Draft	American Family Life Assurance Company c	-17.52
01/06/2025	<a href="#">DFT0001290</a>	Bank Draft	American Family Life Assurance Company c	-177.06
01/06/2025	<a href="#">DFT0001291</a>	Bank Draft	American Family Life Assurance Company c	-161.91
01/06/2025	<a href="#">DFT0001292</a>	Bank Draft	American Family Life Assurance Company c	-79.16
01/06/2025	<a href="#">DFT0001293</a>	Bank Draft	American Family Life Assurance Company c	-17.88
01/06/2025	<a href="#">DFT0001294</a>	Bank Draft	American Family Life Assurance Company c	-17.52
01/06/2025	<a href="#">DFT0001295</a>	Bank Draft	American Family Life Assurance Company c	-177.06
01/06/2025	<a href="#">DFT0001296</a>	Bank Draft	American Family Life Assurance Company c	-161.91
01/06/2025	<a href="#">DFT0001297</a>	Bank Draft	Morgan White Administrators, Inc.	-464.26
01/06/2025	<a href="#">DFT0001298</a>	Bank Draft	Morgan White Administrators, Inc.	-439.28
01/06/2025	<a href="#">DFT0001299</a>	Bank Draft	Morgan White Administrators, Inc.	-118.83
01/06/2025	<a href="#">DFT0001300</a>	Bank Draft	Morgan White Administrators, Inc.	-110.13
01/06/2025	<a href="#">MISC0000228</a>	Miscellaneous	Anna Roberts IF Transfer	1,250.00
01/07/2025	<a href="#">DFT0001301</a>	Bank Draft	Mississippi Deferred Compensation	-195.00
01/07/2025	<a href="#">DFT0001302</a>	Bank Draft	Mississippi Deferred Compensation	-195.00
01/07/2025	<a href="#">DFT0001303</a>	Bank Draft	Mississippi Department of Revenue	-1,805.00
01/07/2025	<a href="#">DFT0001304</a>	Bank Draft	Mississippi Department of Revenue	-1,850.00
01/07/2025	<a href="#">MISC0000233</a>	Miscellaneous	Danielle Leon Bond IF Transfer	721.25
01/07/2025	<a href="#">MISC0000235</a>	Miscellaneous	Selena Rodriguez IF Transfer	1,777.00
01/07/2025	<a href="#">MISC0000240</a>	Miscellaneous	IF Transfer of Danielle Leon Accidental Ove	857.50
01/07/2025	<a href="#">MISC0000247</a>	Miscellaneous	G. Howard Payroll Issue - Back into GF	43.50
01/08/2025	<a href="#">DFT0001305</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-111.83
01/08/2025	<a href="#">DFT0001306</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-19,030.98
01/08/2025	<a href="#">DFT0001307</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-111.83
01/08/2025	<a href="#">DFT0001308</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-19,043.38
01/09/2025	<a href="#">DFT0001228</a>	Bank Draft	Mississippi Department of Employment Sec	-90.38
01/09/2025	<a href="#">DFT0001229</a>	Bank Draft	Mississippi Department of Employment Sec	-61.79
01/09/2025	<a href="#">DFT0001230</a>	Bank Draft	Mississippi Department of Employment Sec	-46.30
01/09/2025	<a href="#">DFT0001231</a>	Bank Draft	Mississippi Department of Employment Sec	-50.90
01/09/2025	<a href="#">DFT0001232</a>	Bank Draft	Mississippi Department of Employment Sec	-42.72
01/09/2025	<a href="#">DFT0001233</a>	Bank Draft Reversal	Mississippi Department of Employment Sec	0.19
01/09/2025	<a href="#">DFT0001234</a>	Bank Draft	Mississippi Department of Employment Sec	-27.77

Cleared Other

Item Date	Reference	Item Type	Description	Amount
01/10/2025	<a href="#">1270</a>	EFT	John G. Sims, III	-1,200.00
01/10/2025	<a href="#">1271</a>	EFT	Marsha Weems Stacey	-400.00
01/10/2025	<a href="#">1272</a>	EFT	Michael Devin Whitt	-1,200.00
01/16/2025	<a href="#">DFT0001279</a>	Bank Draft	Madison County Tax Collector	-7,507.48
01/16/2025	<a href="#">DFT0001280</a>	Bank Draft	BankPlus	-20.00
01/17/2025	<a href="#">DFT0001272</a>	Bank Draft	Southern Benefits Administrators	-1,000.00
01/17/2025	<a href="#">EFT0000075</a>	EFT	Payroll EFT	-51,346.25
01/23/2025	<a href="#">DFT0001277</a>	Bank Draft	CenterPoint Energy	-557.91
01/23/2025	<a href="#">DFT0001309</a>	Bank Draft	IRS Taxpayer Assistance Center	-2,168.24
01/23/2025	<a href="#">DFT0001310</a>	Bank Draft	IRS Taxpayer Assistance Center	-4,289.65
01/23/2025	<a href="#">DFT0001311</a>	Bank Draft	IRS Taxpayer Assistance Center	-9,270.94
01/30/2025	<a href="#">MISC0000237</a>	Miscellaneous	\$155.50 Setup for Jan. 2025 Clearing	155.50
01/31/2025	<a href="#">DFT0001281</a>	Bank Draft	BankPlus	-23.50
01/31/2025	<a href="#">EFT0000076</a>	EFT	Payroll EFT	-55,843.81
Total Cleared Other (59)				-253,436.16

Outstanding Deposits

Item Date	Reference	Item Type	Description	Amount
08/22/2024	<a href="#">DEP0002372</a>	Deposit	DEPOSIT PAYMENT POSTING	57.00
01/29/2025	<a href="#">DEP0003022</a>	Deposit	DEPOSIT CASH RECEIPTS	1,529.50
01/30/2025	<a href="#">DEP0003029</a>	Deposit	DEPOSIT CASH RECEIPTS	1,069.00
01/30/2025	<a href="#">DEP0003032</a>	Deposit	CLPKT00883 BG:CC Payment	248.00
01/31/2025	<a href="#">DEP0003036</a>	Deposit	DEPOSIT CASH RECEIPTS	2,446.50
01/31/2025	<a href="#">DEP0003041</a>	Deposit	CLPKT00885 BG:CC Payment	75.00
Total Outstanding Deposits (6)				5,425.00

Outstanding Checks

Item Date	Reference	Item Type	Description	Amount
10/12/2022	<a href="#">56</a>	Check	Dainty Magnolia	-20.00
02/06/2023	<a href="#">269</a>	Check	Kayce Leigh Saik	-120.00
04/10/2024	<a href="#">1509</a>	Check	Warner, Inc.	-504.61
05/17/2024	<a href="#">1552</a>	Check	Mississippi Department of Revenue	-10.00
11/13/2024	<a href="#">1969</a>	Check	Mississippi-Tennessee Tactical Officers Assc	-1,000.00
01/15/2025	<a href="#">2062</a>	Check	Bridge & Watson, Inc.	-36,410.52
01/15/2025	<a href="#">2071</a>	Check	Deviney Rental & Supply	-16,071.30
01/15/2025	<a href="#">2084</a>	Check	MHI - Olive Branch F OpCo, LLC	-99.00
01/15/2025	<a href="#">2085</a>	Check	Michael Miyaji	-1,150.00
01/15/2025	<a href="#">2088</a>	Check	Mississippi Department of Public Safety (Cr	-180.00
01/15/2025	<a href="#">2094</a>	Check	Phelps Dunbar LLP	-345.00
01/15/2025	<a href="#">2095</a>	Check	Printables and More (G&W Marketing)	-1,066.27
01/15/2025	<a href="#">2099</a>	Check	S&S Operating, LLC	-138.01
01/15/2025	<a href="#">2103</a>	Check	St. Dominic Medical Associates	-95.94

Outstanding Checks

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">2105</a>	Check	Summit Hotel TRS, Inc.	-1,400.47
Total Outstanding Checks (15)				-58,611.12

Outstanding Other

Item Date	Reference	Item Type	Description	Amount
09/30/2022	<a href="#">DFT0000023</a>	Bank Draft	Mississippi Public Employees Retirement Sy	-7,480.76
11/23/2022	<a href="#">DFT0000083</a>	Bank Draft	Southern Benefits Administrators	-80.78
12/08/2022	<a href="#">DFT0000074</a>	Bank Draft Reversal	IRS Taxpayer Assistance Center	67.00
12/08/2022	<a href="#">DFT0000075</a>	Bank Draft Reversal	IRS Taxpayer Assistance Center	257.58
12/08/2022	<a href="#">DFT0000077</a>	Bank Draft Reversal	IRS Taxpayer Assistance Center	28.62
01/01/2023	<a href="#">DFT0000117</a>	Bank Draft	Southern Benefits Administrators	-80.78
01/02/2023	<a href="#">DFT0000127</a>	Bank Draft	Southern Benefits Administrators	-80.78
11/30/2023	<a href="#">DFT0000667</a>	Bank Draft	Southern Benefits Administrators	-161.56
01/31/2024	<a href="#">DFT0000678</a>	Bank Draft	Southern Benefits Administrators	-46.15
Total Outstanding Other (9)				-7,577.61

**Bank Statement Register**  
Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Bank Draft Reversal	5	353.20	21.95	375.15
Bank Draft	50	-7,930.81	-93,514.31	-101,445.12
Check	82	-58,611.12	-449,463.48	-508,074.60
Deposit	87	5,425.00	880,705.31	886,130.31
EFT	6	0.00	-164,508.05	-164,508.05
Miscellaneous	7	0.00	4,564.25	4,564.25
		-60,763.73	177,805.67	117,041.94



Gluckstadt, MS

# Bank Statement Register

## POLICE STATION FUND, CAPITAL PROJECT

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00173

### Bank Statement

### General Ledger

Beginning Balance	33,544.54	Account Balance	27.27
Plus Debits	27.27	Less Outstanding Debits	0.00
Less Credits	33,544.54	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	27.27	Adjusted Account Balance	27.27

Statement Ending Balance	27.27
Bank Difference	0.00
General Ledger Difference	0.00

### CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

002-000-10100 CASH

### Cleared Checks

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">20</a>	Check	Dean Architecture	-33,501.04
Total Cleared Checks (1)				-33,501.04

### Cleared Other

Item Date	Reference	Item Type	Description	Amount
01/07/2025	<a href="#">MISC0000243</a>	Miscellaneous	Correction of Dec. 2024 \$43.50 bank error	-43.50
01/07/2025	<a href="#">MISC0000244</a>	Miscellaneous	Entry to Account for Bank Error in Jan. 202	27.27
Total Cleared Other (2)				-16.23

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-33,501.04	-33,501.04
Miscellaneous	2	0.00	-16.23	-16.23
		0.00	-33,517.27	-33,517.27



Gluckstadt, MS

# Bank Statement Register

## STATION FUND #2, CAPITAL PROJECTS 2023

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00174

### Bank Statement

### General Ledger

Beginning Balance	204,844.44	Account Balance	192,153.85
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	12,690.59	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	192,153.85	Adjusted Account Balance	192,153.85

Statement Ending Balance	192,153.85
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

005-000-10100 CASH

### Cleared Checks

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">3</a>	Check	Dean Architecture	-12,690.59
Total Cleared Checks (1)				-12,690.59

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-12,690.59	-12,690.59
		0.00	-12,690.59	-12,690.59





Gluckstadt, MS

**Bank Statement Register** Section 5, Item B)

**POLICE STATION DEBT SERVICE FUND**

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00177

Bank Statement		General Ledger	
Beginning Balance	100.00	Account Balance	100.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	100.00	Adjusted Account Balance	100.00

Statement Ending Balance	100.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

200-000-10100 CASH



Gluckstadt, MS

# Bank Statement Register

## ICE STATION SEARCH AND SEIZURE ACCOUNT

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00175

### Bank Statement

### General Ledger

Beginning Balance	17,585.00	Account Balance	14,585.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	3,000.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	14,585.00	Adjusted Account Balance	14,585.00

Statement Ending Balance	14,585.00
Bank Difference	0.00
General Ledger Difference	0.00

### CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

100-000-10100 CASH

### Cleared Other

Item Date	Reference	Item Type	Description	Amount
01/06/2025	<a href="#">MISC0000245</a>	Miscellaneous	Jan. 2025 PD IF Transfer from SS to Forfeit	-3,000.00
Total Cleared Other (1)				-3,000.00

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Miscellaneous	1	0.00	-3,000.00	-3,000.00
		0.00	-3,000.00	-3,000.00



Gluckstadt, MS

**Bank Statement Register**

Section 5, Item B)

**PD FORFEITED FUNDS ACCOUNT**

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00176

Bank Statement		General Ledger	
Beginning Balance	0.00	Account Balance	3,000.00
Plus Debits	3,000.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	3,000.00	Adjusted Account Balance	3,000.00

Statement Ending Balance	3,000.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

102-000-10100 CASH

Cleared Other

Item Date	Reference	Item Type	Description	Amount
01/06/2025	<a href="#">MISC0000246</a>	Miscellaneous	Jan. 2025 PD IF Transfer from SS to Forfeit	3,000.00
Total Cleared Other (1)				3,000.00

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Miscellaneous	1	0.00	3,000.00	3,000.00
		0.00	3,000.00	3,000.00



Gluckstadt, MS

**Bank Statement Register**

Section 5, Item B)

**COURT BOND ACCOUNT (HOLDING)**

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00180

Bank Statement

General Ledger

Beginning Balance	35,623.00	Account Balance	33,688.50
Plus Debits	4,250.00	Less Outstanding Debits	0.00
Less Credits	6,184.50	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	33,688.50	Adjusted Account Balance	33,688.50

Statement Ending Balance	33,688.50
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

003-000-10100 CASH

Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
01/02/2025	<a href="#">DEP0002898</a>	Deposit	CLPKT00844 BG:Cash	2,000.00
01/15/2025	<a href="#">DEP0002961</a>	Deposit	CLPKT00862 BG:Cash	1,250.00
01/29/2025	<a href="#">DEP0003025</a>	Deposit	CLPKT00881 BG:Cash	1,000.00
Total Cleared Deposits (3)				4,250.00

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">13</a>	Check	Danielle Leon	-1,578.75
Total Cleared Checks (1)				-1,578.75

Cleared Other

Item Date	Reference	Item Type	Description	Amount
01/06/2025	<a href="#">MISC0000227</a>	Miscellaneous	Anna Roberts IF Transfer	-1,250.00
01/07/2025	<a href="#">MISC0000232</a>	Miscellaneous	Danielle Leon Bond IF Transfer	-721.25
01/07/2025	<a href="#">MISC0000234</a>	Miscellaneous	Selena Rodriguez IF Transfer	-1,777.00
01/07/2025	<a href="#">MISC0000239</a>	Miscellaneous	IF Transfer of Danielle Leon Accidental Ove	-857.50
Total Cleared Other (4)				-4,605.75

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-1,578.75	-1,578.75
Deposit	3	0.00	4,250.00	4,250.00
Miscellaneous	4	0.00	-4,605.75	-4,605.75
		0.00	-1,934.50	-1,934.50



Gluckstadt, MS

# Bank Statement Register

## GLUCKSTADT ROAD WIDENING PROJECT

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00178

### Bank Statement

### General Ledger

Beginning Balance	741,307.01	Account Balance	716,731.10
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	24,575.91	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	716,731.10	Adjusted Account Balance	716,731.10

Statement Ending Balance	716,731.10
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

301-000-10100 CASH

### Cleared Checks

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">2</a>	Check	Stantec Consulting Services Inc (SCSI)	-24,575.91
Total Cleared Checks (1)				-24,575.91



# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-24,575.91	-24,575.91
		0.00	-24,575.91	-24,575.91



Gluckstadt, MS

**Bank Statement Register** Section 5, Item B)

**CALHOUN STATION PKWY OVERLAY PROJECT**

Period 1/1/2025 - 1/31/2025

Packet: BRPKT00179

Bank Statement		General Ledger	
Beginning Balance	1,098,750.00	Account Balance	1,091,062.31
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	7,687.69	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	1,091,062.31	Adjusted Account Balance	1,091,062.31

Statement Ending Balance	1,091,062.31
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

300-000-10100 CASH

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
01/15/2025	<a href="#">1</a>	Check	Stantec Consulting Services Inc (SCSI)	-7,687.69
Total Cleared Checks (1)				-7,687.69

# Bank Statement Register

## Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-7,687.69	-7,687.69
		0.00	-7,687.69	-7,687.69

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI DECLARING SUPPORT FOR THE PRESERVATION OF THE FEDERAL TAX EXEMPTION OF MUNICIPAL BONDS.**

**WHEREAS**, the tax-exempt municipal bond market is a widely used source of capital for states, local governments, tribes, territories, and non-profit borrowers that finances a tremendous share of the nation’s public infrastructure; and

**WHEREAS**, state and local governments finance about three-quarters of the public infrastructure in the United States and use tax-exempt bonds to do so, with the federal government providing only about one-quarter of the investment; and

**WHEREAS**, federal tax exemption for municipal bonds, dating back to the 1800s and incorporated into the modern tax code in 1913, has been crucial for state and local governments to affordably finance critical infrastructure projects; and

**WHEREAS**, tax-exempt bonds offer borrowers to achieve a multiplier effect of 2.11, meaning that for every dollar, borrowers achieve \$2.11 in borrowing cost savings thereby demonstrating the efficiency and effectiveness of this exemption in facilitating infrastructure investment; and

**WHEREAS**, tax-exempt bonds provide for essential infrastructure projects, such as roads, bridges, utilities, broadband, water and sewer systems, and hospitals, which are vital to the health and well-being of our community such that without such bonds, the cost of borrowing would be more expensive thereby causing an increase in taxes and fees that would place an undue burden on taxpayers; and

**WHEREAS**, the Mayor and Board of Aldermen of the City of Gluckstadt (“Governing Body”) finds and determines that tax-exempt municipal bonds provide an opportunity for economic development along its path, better facilitate the movement of agriculture products, equipment, and other goods, and increase safety.

**NOW, THEREFORE, BE IT RESOLVED** by the Governing Body of the City as follows: The Governing Body hereby encourages the Mississippi Congressional Delegation to assist the City of Gluckstadt Mississippi by preserving the tax-exempt status of municipal bonds by supporting and ensuring the protection of the federal tax exemption of municipal bonds.

**BE IT FURTHER RESOLVED**, that copies of this Resolution shall be furnished to all members of the Mississippi Congressional Delegation.

**SO RESOLVED** this the 11<sup>th</sup> Day of February, 2025. Motion was made by Alderman \_\_\_\_\_, and seconded by Alderman \_\_\_\_\_, for the adoption of the above and foregoing Order.

Upon roll call vote, the result was as follows:

Alderman Miya Warfield Bates voted:	Aye/Nay
Alderman Jayce Powell voted:	Aye/Nay
Alderman Richard Wesley Slay voted:	Aye/Nay
Alderman John Taylor voted:	Aye/Nay
Alderman Lisa H. Williams voted:	Aye/Nay

The Mayor thereupon declared the motion carried and the Resolution adopted this the 11<sup>th</sup> Day of February, 2025.

\_\_\_\_\_  
WALTER C. MORRISON, IV.  
MAYOR

ATTEST:

\_\_\_\_\_  
LINDSAY KELLUM  
CITY CLERK

**From:** [Walter Morrison](#)  
**To:** [Lindsay Kellum](#)  
**Subject:** Re: Resolution Supporting Federal Tax Exemption of Municipal Bonds  
**Date:** Wednesday, January 22, 2025 5:36:22 PM

---

Ok.

Walter C. Morrison IV  
Sent from my iPhone

On Jan 22, 2025, at 5:16 PM, Lindsay Kellum <[lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net)> wrote:

Permission to add to our 2/11 agenda.

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)

<image001.jpg>


---

**From:** Mississippi Municipal League <[samantha-mmlonline.com@shared1.ccsend.com](mailto:samantha-mmlonline.com@shared1.ccsend.com)>

**Sent:** Wednesday, January 22, 2025 12:44 PM

**To:** Lindsay Kellum <[lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net)>

**Subject:** Resolution Supporting Federal Tax Exemption of Municipal Bonds



Mississippi Municipal League

Resolution Supporting

## Federal Tax Exemption of Municipal Bonds

---

Attention MML Members,

The tax-exempt municipal bond market has long been a critical resource for state and local governments to finance public infrastructure projects. Since its incorporation into the modern tax code in 1913, the federal tax exemption for municipal bonds has played a pivotal role in enabling affordable infrastructure development across the nation.

Approximately 75% of public infrastructure projects in the United States rely heavily on tax-exempt municipal bonds. These bonds are instrumental in funding vital projects such as roads, bridges, utilities, broadband, water and sewer systems, and hospitals. Without these bonds, the cost of borrowing to complete these projects would be more expensive and increase the tax burden on local citizens by approximately 25%.

**[Using the template we have provided here](#), we urge you to pass this resolution at your next meeting, and share it with your members of Congress.** It is crucial that your members of Congress hear from you about the importance of preserving the federal tax exemption for municipal bonds in your community.


Robbie Brown

Deputy Executive Director

Mississippi Municipal League

Mississippi Municipal League | 600 E. Amite Street, Ste. 104 | Jackson, MS 39201 US

[Unsubscribe](#) | [Update Profile](#) | [Constant Contact Data Notice](#)

Constant Contact		
		



# CITY OF GLUCKSTADT

MISSISSIPPI  
EXTERNAL FUNDING

## MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Ruth Marie Stogner, Grant Writer

**DATE:** February 11, 2025

**SUBJECT:** Current Grants Update

---

Worksheet attached



Grant Name:	Purpose:	Amount:	Match:	Status:	Expended Funds:	Reimbursement:
402 PTS FY26	Personnel & Equipment	\$40,100.00	No Match	App Submitted		
Road to Zero FY26	Lighting Project	\$65,760.00	No Match	App Submitted		
402 PTS FY25	Personnel & Equipment	\$20,000.00	No Match	Awarded	9,248.36	
		*Modification - \$34,065.00				
JAG FY23	Equipment/Technology	\$7,929.96	No Match	Approved		
STBG	Gluckstadt Road Widening	\$3,481,050	\$3,481,050	Awarded	33,268.90	
STBG	Calhoun Station Overlay	\$759,000	\$189,750	Awarded	7,687.69	
MEMA - Hazard Mitigation	175kW 3 phase diesel generator	\$75,240.00	\$8,360.00	Awarded		
Homeland FY23	ALPR, Equipment, Prime Mover	\$150,000	No Match	Closed Out	148,242.56	
Homeland FY23	Equipment	\$14,000.00	No Match	Closed Out	14,000.00	
402 PTS FY24	Personnel & Equipment	\$20,000.00	No Match	Closed Out	\$19,297.89	\$19,297.89
JAG FY22	Equipment - BWC (5)	\$5,138.00	\$1,712.00	Closed Out	\$6,850.00	\$5,138.00



# CITY OF GLUCKSTADT

MISSISSIPPI  
EXTERNAL FUNDING

## MEMORANDUM

---

**TO:** Mayor & Board of Alderman  
**FROM:** Ruth Marie Stogner, Grant Writer  
**DATE:** February 11, 2025  
**SUBJECT:** MS Main Street

---

Discuss possible membership to MS Main Street (updated information attached).

**Ruth Stogner**

---

**From:** Jennifer Lay <jennifer@msmainstreet.com>  
**Sent:** Wednesday, January 15, 2025 12:13 PM  
**To:** Ruth Stogner  
**Subject:** Re: Associate membership  
**Attachments:** MMSA Membership Pathway.pdf

Hi Ruth Marie!

Thank you for reaching out! I am sorry to just be back in touch with you as I was on the road at the beginning of the week.

Each community who joins MMSA begins at our Associate level, and then if interested in pursuing full community Designation, we have a process called the Network Pathway to Designation. I am attaching the information regarding the Pathway for you to review. Depending on when a community begins as an Associate member, it can take 1.5-3 years to become Designated. Once a community achieves Designation, they begin to be eligible for grants and full technical services at that time.

Id be happy to set up a time to discuss this further with you if you would like!

My best,

Jennifer

**Jennifer L. Lay, TMP**  
*Director of Community Development*  
Mississippi Main Street Association  
(662) 418-0533  
[www.msmainstreet.com](http://www.msmainstreet.com)

---

**From:** Ruth Stogner <ruth.stogner@gluckstadt.net>  
**Date:** Tuesday, January 14, 2025 at 11:38 AM  
**To:** Jennifer Lay <jennifer@msmainstreet.com>  
**Subject:** Associate membership

Hello –

The City of Gluckstadt is interested in this program. I would like one point clarified: When does a community become eligible for grant funding?

Any assistance is appreciated.

Regards,  
RuthMarie Stogner  
External Funding  
343 Distribution Drive  
Gluckstadt, Mississippi 39110  
Post Office Box 2210  
Gluckstadt, Mississippi 39130  
769.567.2306 – City Hall  
601.209.1126 – Cellular Phone





**CITY OF GLUCKSTADT**

MISSISSIPPI  
EXTERNAL FUNDING

**MEMORANDUM**

---

**TO:** Mayor & Board of Alderman  
**FROM:** Ruth Marie Stogner, Grant Writer  
**DATE:** February 11, 2025  
**SUBJECT:** Mayoral Health Council

---

January Blood Drive – Seventeen (17) donated, registered eighteen (18)

February Meeting

5K Fun Run



# CITY OF GLUCKSTADT

MISSISSIPPI  
EXTERNAL FUNDING

## MEMORANDUM

---

**TO:** Mayor & Board of Aldermen  
**FROM:** Ruth Marie Stogner, Grant Writer  
**DATE:** February 11, 2025  
**SUBJECT:** Status of Federal Funding

---

Federal Grants Shutdown

**Ruth Stogner**

---

**From:** reply-to+ddb13e79-f015-4558-8692-e45ea5971231@email.submittable.com on behalf of National Safety Council <reply-to+ddb13e79-f015-4558-8692-e45ea5971231@email.submittable.com>  
**Sent:** Friday, January 31, 2025 3:12 PM  
**To:** Ruth Stogner  
**Subject:** RE: Update: 2025 Road to Zero Community Traffic Safety Grants



Dear Applicant,

We regret to inform you that as of Jan 30, 2025, the Road to Zero Coalition has received a Stop Work Order from NHTSA. We are seeking clarification from NHTSA on the nature of the Order, but for now all grant-related work has been put on hold indefinitely.

National Safety Council

[REPLY VIEW SUBMISSION](#)

Submission ID: 49503243

Sent by [Submittable](#).

101 E Front St Suite 501, Missoula, MT 59802

[Help Center](#) | [Terms and Conditions](#) | [Contact Us](#)





## CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Lindsay Kellum, City Clerk

**DATE:** February 11, 2025

**SUBJECT:** General Update, City Administration

---

The City Clerk will provide a brief update on the below city administration matters and answer questions.

Items:

- Finance & Budget
- Accounts Payable
- Fixed Assets
- Training & Education
- Human Resources and Payroll
- Communications and Website
- Public Records Requests
- Events & Chamber of Commerce
- Elections



# CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

## MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Scott Maugh, Deputy City Clerk

**DATE:** 02/06/2025

**SUBJECT:** Privilege & Transient Vendor License Report (Monthly Update)

---

From January 1, 2025, to January 31, 2025, the City of Gluckstadt processed thirty (30) Regular Privilege Licenses.

The amount of fees collected in 2025 to date is as follows:

Privilege: \$1,702.77

Transient: \$0

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				INTE	
					FEE	PENALTY	TAX			
0000002	HEART TO HEART SENI	1/27/2025	00280	Payment	30.00-	.00	.00			00-
0000142	ALPHA FINANCIAL & T	1/27/2025	00280	Payment	22.00-	.00	.00	.00		22.00-
0000143	UNIQUE RENOVATIONS,	1/06/2025	00266	Payment	30.00-	.00	.00	.00		30.00-
0000144	GLUCKSTADT SECURITY	1/08/2025	00268	Payment	20.00-	.00	.00	.00		20.00-
0000145	TELPRO COMMUNICATIO	1/09/2025	00269	Payment	30.00-	.00	.00	.00		30.00-
0000147	CRY ENTERPRISES, LL	1/24/2025	00279	Payment	49.50-	.00	.00	.00		49.50-
0000149	HYDRONIC TECHNOLOGY	1/03/2025	00265	Payment	20.00-	.00	.00	.00		20.00-
0000151	WHITNEY WILKINS EST	1/14/2025	00271	Payment	20.00-	.00	.00	.00		20.00-
0000159	SERENITY NAIL SPA,	1/17/2025	00277	Payment	20.00-	.00	.00	.00		20.00-
0000160	SANDALS DAY SPA, LL	1/17/2025	00277	Payment	20.00-	.00	.00	.00		20.00-
0000170	THERAPYSOUTH GLUCKS	1/31/2025	00283	Payment	30.00-	.00	.00	.00		30.00-
0000232	SIMPLI NAIL SPA LLC	1/17/2025	00277	Payment	22.22-	.00	.00	.00		22.22-
0000235	OLD TOWN WORKSHOP	1/16/2025	00272	Payment	22.00-	.00	.00	.00		22.00-
0000239	CARR PLUMBING SUPPL	1/06/2025	00266	Payment	440.00-	.00	.00	.00		440.00-
0000241	JOES USED CARS	1/06/2025	00266	Payment	20.00-	.00	.00	.00		20.00-
0000245	CHILDREN'S ACADEMY	1/07/2025	00267	Payment	90.00-	.00	.00	.00		90.00-
0000250	XCEL REHAB, INC.	1/21/2025	00275	Payment	20.00-	.00	.00	.00		20.00-
0000255	TWISTED TURNIP	1/31/2025	00283	Payment	45.00-	.00	.00	.00		45.00-
0000256	MISSISSIPPI TENT &	1/14/2025	00271	Payment	114.00-	.00	.00	.00		114.00-
0000257	GD BRG LLC	1/31/2025	00283	Payment	30.00-	.00	.00	.00		30.00-
0000262	BANKPLUS	1/08/2025	00268	Payment	30.00-	.00	.00	.00		30.00-
0000265	SUB SANDWICH 5 LLC	1/27/2025	00280	Payment	30.00-	.00	.00	.00		30.00-
0000266	GATOR GRAFIX, LLC	1/31/2025	00283	Payment	20.00-	.00	.00	.00		20.00-
0000279	MAD ESTHETICS	1/23/2025	00278	Payment	20.00-	.00	.00	.00		20.00-

Section 8, Item B)

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				INTE	
					FEE	PENALTY	TAX			
0000334	KESTENBAUM HOLDINGS	1/08/2025	00268	Payment	40.00-	.00	.00			00-
0000335	YANDELL SHELL LLC	1/13/2025	00270	Payment	251.55-	.00	.00	.00		251.55-
0000336	MANN	1/22/2025	00276	Payment	50.40-	.00	.00	.00		50.40-
0000337	WEEMS MCDONALD LLC	1/24/2025	00279	Payment	116.10-	.00	.00	.00		116.10-
0000338	LITTLE LEARNERS ACA	1/28/2025	00281	Payment	30.00-	.00	.00	.00		30.00-
0000339	CLINTON NUTRITION C	1/29/2025	00282	Payment	20.00-	.00	.00	.00		20.00-

Section 8, Item B)

===== F E E C O D E T O T A L S B Y T Y P E =====

Section 8, Item B)

===== DISTRIBUTION =====							
FEE CODE	TYPE	COUNT	FEE	PENALTY	TAX	INTEREST	TOTAL
BEER FLAT	Payment	3	45.00CR	0.00	0.00	0.00	45.00CR
Over11	Payment	2	204.00CR	0.00	0.00	0.00	204.00CR
Schdl-A	Payment	5	736.55CR	0.00	0.00	0.00	736.55CR
Schdl-B	Payment	23	717.22CR	0.00	0.00	0.00	717.22CR

GRAND TOTAL FOR PERIOD 1,702.77CR

===== T O T A L S B Y T R A N S A C T I O N T Y P E =====

===== DISTRIBUTION =====							
TYPE	COUNT	FEE	PENALTY	TAX	INTEREST	TOTAL	
Payment	30	1,702.77CR	0.00	0.00	0.00	1,702.77CR	
TOTAL FOR PERIOD	30					1,702.77CR	

SELECTION CRITERIA

Section 8, Item B)

REPORT OPTIONS:

LICENSE RANGE: THRU ZZZZZZZZZZ  
PACKET RANGE: 0 THRU 99999  
TRANSACTION RANGE: 1/01/2025 THRU 1/31/2025  
LICENSE STATUS: All  
LICENSE CODE: All  
FEE CODE: All

PRINT OPTIONS:

PRINT TOTALS ONLY: NO

TRANSACTION TYPE OPTIONS:

ALL: YES  
PAYMENT: YES  
REFUND CHECK: YES  
REVERSE PAYMENT: YES  
REVERSE REFUND: YES

ADJUSTMENT OPTIONS:

ADJUSTMENT CODE: ALL

\*\*\* END OF REPORT \*\*\*



**CITY OF GLUCKSTADT**

MISSISSIPPI  
OFFICE OF THE CITY CLERK

**MEMORANDUM**

---

**TO:** Mayor & Board of Aldermen

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 02/11/2025

**SUBJECT:** Request to Add Assistant City Clerk, Scott Maugh to Gluckstadt Bank Accounts  
(Authorized Role: Read Only Access)

---

I am requesting authorization from the Mayor and Board of Aldermen to provide Assistant City Clerk, Scott Maugh, with read only access to all Gluckstadt Bank Accounts (online banking) with Bank Plus.

Thank you!



**CITY OF GLUCKSTADT**

MISSISSIPPI  
OFFICE OF THE CITY CLERK

**MEMORANDUM**

**TO:** Mayor & Board of Aldermen

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 02/11/2025

**SUBJECT:** 2025 Municipal Elections Update and Requests for Approval of Replacement of Alternate Municipal Election Commissioner and Increase in MEC /Poll Worker Compensation (City Clerk)

Update: The qualifying deadline was 1/31/25 and we had eight (8) individuals timely qualify for the position of Alderman at Large and one (1) individual qualify for the position of Mayor; seven (7) individuals qualified as Republican (with one withdrawing as of 2/4/25) and one (1) individual qualified as Democrat. Therefore, we will only hold a Primary Election for the Republicans in the Alderman at Large race (total of 6 qualified candidates) with the Mayoral race uncontested (no opponent); the Democratic candidate for Alderman at Large will be certified as the party’s nominee and placed on the General Election ballot (assuming this individual meets all qualifications to run, pending review by the Gluckstadt Temporary Democratic Executive Committee at the time of this memo);it is anticipated that the Democratic Primary Election will be dispensed with.

Note: The Gluckstadt Temporary Republican Executive Committee met on 2/4/25 at City Hall to review candidate qualifications and certify individuals to the ballot (letter attached for your reference). I have signed a contract with the Republican Temporary Party Executive Committee and submitted a request letter to the County Circuit Clerk/ County Election Commission, pending approval by the County Board of Supervisors at their 2/18/25 meeting (both attached for your reference). Additionally, I have secured a quote for election day technical assistance and support through Election Systems Software (machines, electronic poll books, L&A testing, central tabulation, etc.); I have also ordered and received absentee ballot envelopes from Absolute Printing and placed the expenditure to the City Clerk’s supplies budget to alleviate costs from the elections budget; I intend to order precinct signage and supplies as well, if the county does not agree to let us borrow theirs.

All candidates filed timely campaign finance reports on 1/31/25 for the Annual Report deadline; copies have been filed with the Mississippi Secretary of State.



I am in the process of working with the County Circuit Clerk's office to get the Republican Primary Election built in SEMS and getting a ballot proof to the Gluckstadt Temporary Republican Executive Committee to review and approve for printing, ahead of the upcoming absentee balloting deadline of 2/18/25 (absentees are made available in my office).

Tonight, I am requesting we replace Mr. Paul Harty, who was previously appointed to the Municipal Election Commission as an Alternate on 1/14/25, since he has now qualified to run for the position of Alderman in the upcoming 2025 Primary and General Election. We have the immediate need to appoint a new alternate(s). Please submit your nomination to me as soon as possible via email and if you will, please confirm with the individual that they are willing to serve prior to formal board appointment on 2/11/25.

Additionally, I am requesting the Board consider increasing the election day pay for the Municipal Election Commissioners (previously set on 1/14/25 at \$165.00 per election, the statutory minimum) to \$200.00 per election; also, I am requesting the Board consider increasing the election day pay for Municipal Poll Workers (previously set on 1/14/25 at \$125.00 per election, the statutory minimum) to \$200.00 per election as well. This is a long day, beginning at around 5:30 am and lasting until about 8:30 pm for these individuals; election day can also be stressful, and I want to ensure we have the most knowledgeable and hard-working poll workers available to ensure a smooth voting process for all. I believe boost in pay to the allotted max will help us secure good poll workers ahead of the city's first election.

I appreciate your consideration in these important matters.

**From:** [Lindsay Kellum](#)  
**To:** [Jayce Powell](#); [Jayce Powell Personal Email](#); [John Taylor](#); [Lisa Williams](#); [Lisa Williams Personal Email](#); [Miya Bates](#); [Miya Bates Personal Email](#); [Walter Morrison](#); [Wesley Slay](#); [Wesley Slay Personal Email](#); [John Taylor](#)  
**Subject:** RE: Gluckstadt Municipal Election Commission, Appointees (January 14 Board Meeting)  
**Date:** Thursday, February 6, 2025 5:10:00 PM

---

Good Evening Mayor & Board,

As you are aware, we have the following individuals appointed to the 2025 Municipal Election Commission at this time:

- Mr. Jimbo Raley
- Ms. Ann Pray
- Mr. Jerome Gentry
- **Mr. Paul Harty (Alternate)**

Since Mr. Harty has now qualified as a candidate to run for Alderman, we have the need to remove him from the position of Municipal Election Commissioner (Alternate), as it is a conflict, and replace him with another candidate at the 2/11 meeting if at all possible.

Please think on it and send me a nominee as soon as possible. Alternates are important to have appointed, just in case someone is sick or has an emergency on election day and cannot fulfill their duties.

Thanks much!

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)



---

**From:** Lindsay Kellum

**Sent:** Monday, January 13, 2025 2:28 PM

**To:** John Taylor <[John.Taylor@gluckstadt.net](mailto:John.Taylor@gluckstadt.net)>

**Cc:** Jayce Powell <[Jayce.Powell@gluckstadt.net](mailto:Jayce.Powell@gluckstadt.net)>; Jayce Powell Personal Email

<jayce1271@yahoo.com>; John Taylor <laylandfarms@gmail.com>; Lisa Williams <lisa.williams@gluckstadt.net>; Lisa Williams Personal Email <lisa.williams99@gmail.com>; Miya Bates <Miya.Bates@gluckstadt.net>; Miya Bates Personal Email <miya.bates@mcl.cpa>; Walter Morrison <Walter.Morrison@gluckstadt.net>; Wesley Slay <Wesley.Slay@gluckstadt.net>; Wesley Slay Personal Email <b2rws1@gmail.com>

**Subject:** RE: Gluckstadt Municipal Election Commission, Appointees (January 14 Board Meeting)

Thank you Alderman Taylor.

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)



---

**From:** John Taylor <[john.taylor@gluckstadt.net](mailto:john.taylor@gluckstadt.net)>

**Sent:** Monday, January 13, 2025 2:26 PM

**To:** Lindsay Kellum <[lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net)>

**Subject:** Re: Gluckstadt Municipal Election Commission, Appointees (January 14 Board Meeting)

Ms Kellum,

I can nominate Mr Gentry and Ms Pray.

John Taylor

Sent from my iPhone

On Jan 13, 2025, at 1:17 PM, Lindsay Kellum <[lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net)> wrote:

Good Afternoon Mayor and Board,

We currently have 3 proposed nominees for the 2025 Municipal Election Commission, who have confirmed to me they are willing to serve (and I believe would be great candidates for the roles after speaking with them).

Please find their names below:

1. Ms. Ann Pray
2. Mr. Jerome Gentry
3. Mr. Jimbo Raley (Alderman Powell)

I am requesting two board members nominate the other two individuals above or send me your nominations, if any.

Thank you! Please let me know if you have any questions.

Lindsay

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)

<image001.jpg>

---

**From:** Lindsay Kellum

**Sent:** Thursday, January 9, 2025 6:19 PM

**To:** Jayce Powell <[Jayce.Powell@gluckstadt.net](mailto:Jayce.Powell@gluckstadt.net)>; Jayce Powell Personal Email <[jayce1271@yahoo.com](mailto:jayce1271@yahoo.com)>; John Taylor <[laylandfarms@gmail.com](mailto:laylandfarms@gmail.com)>; John Taylor <[John.Taylor@gluckstadt.net](mailto:John.Taylor@gluckstadt.net)>; Lisa Williams <[lisa.williams@gluckstadt.net](mailto:lisa.williams@gluckstadt.net)>; Lisa Williams Personal Email <[lisa.williams99@gmail.com](mailto:lisa.williams99@gmail.com)>; Miya Bates <[Miya.Bates@gluckstadt.net](mailto:Miya.Bates@gluckstadt.net)>; Miya Bates Personal Email <[miya.bates@mcl.cpa](mailto:miya.bates@mcl.cpa)>; Walter Morrison <[Walter.Morrison@gluckstadt.net](mailto:Walter.Morrison@gluckstadt.net)>; Wesley Slay <[Wesley.Slay@gluckstadt.net](mailto:Wesley.Slay@gluckstadt.net)>; Wesley Slay Personal Email <[b2rws1@gmail.com](mailto:b2rws1@gmail.com)>

**Cc:** [jscanlon@millsscanlon.com](mailto:jscanlon@millsscanlon.com); Zachary Giddy <[zgiddy@millsscanlon.com](mailto:zgiddy@millsscanlon.com)>; Scott Maugh <[scott.maugh@gluckstadt.net](mailto:scott.maugh@gluckstadt.net)>; Janet Brooks <[janet.brooks@gluckstadt.net](mailto:janet.brooks@gluckstadt.net)>

**Subject:** RE: Gluckstadt Municipal Election Commission, Appointees (January 14 Board Meeting)

**Importance:** High

Good Evening Mayor and Board,

I am passing the attached memo and statute along separately, but it is located on the 1/14 agenda under my section under item 9-E as well for discussion.

Legal may want to weigh in at the meeting on setting of compensation, contracting, etc.

We do have one submitted nominee from Alderman Powell at this time who is

willing to serve; we are looking for 2 more willing participants!

Please let me know if you have any questions at this time.

LK

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)

<image001.jpg>

---

**From:** Lindsay Kellum

**Sent:** Monday, January 6, 2025 12:20 PM

**To:** Jayce Powell <[Jayce.Powell@gluckstadt.net](mailto:Jayce.Powell@gluckstadt.net)>; Jayce Powell Personal Email <[jayce1271@yahoo.com](mailto:jayce1271@yahoo.com)>; John Taylor <[laylandfarms@gmail.com](mailto:laylandfarms@gmail.com)>; John Taylor <[John.Taylor@gluckstadt.net](mailto:John.Taylor@gluckstadt.net)>; Lisa Williams <[lisa.williams@gluckstadt.net](mailto:lisa.williams@gluckstadt.net)>; Lisa Williams Personal Email <[lisa.williams99@gmail.com](mailto:lisa.williams99@gmail.com)>; Miya Bates <[Miya.Bates@gluckstadt.net](mailto:Miya.Bates@gluckstadt.net)>; Miya Bates Personal Email <[miya.bates@mcl.cpa](mailto:miya.bates@mcl.cpa)>; Walter Morrison <[Walter.Morrison@gluckstadt.net](mailto:Walter.Morrison@gluckstadt.net)>; Wesley Slay <[Wesley.Slay@gluckstadt.net](mailto:Wesley.Slay@gluckstadt.net)>; Wesley Slay Personal Email <[b2rws1@gmail.com](mailto:b2rws1@gmail.com)>

**Cc:** [jscanlon@millsscanlon.com](mailto:jscanlon@millsscanlon.com); Zachary Giddy <[zgiddy@millsscanlon.com](mailto:zgiddy@millsscanlon.com)>; Scott Maugh <[scott.maugh@gluckstadt.net](mailto:scott.maugh@gluckstadt.net)>; Janet Brooks <[janet.brooks@gluckstadt.net](mailto:janet.brooks@gluckstadt.net)>

**Subject:** Gluckstadt Municipal Election Commission, Appointees (January 14 Board Meeting)

**Importance:** High

Good Afternoon Board,

We have the need to appoint three (3) new election commissioners to the municipal election commission next Tuesday.

Please send me any nominees and let me know if you have confirmed with them that they will serve, so we can formally appoint them next Tuesday. We need to get these folks in place asap as qualifying season has already begun.

Please keep in mind that we cannot have any current party executive committee members that are handling municipal primaries, or potential candidates for municipal office, also serving on the municipal election commission, as it is a conflict.

Thank you!!

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)

<image001.jpg>

# Gluckstadt Temporary Republican Executive Committee

February 4, 2025

Email: [lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net)

Ms. Lindsay Leonard Kellum, CMC  
 City Clerk, City of Gluckstadt  
 P.O. Box 2210  
 Madison, MS 39130

Re: Certification of Republican Candidate for Republican Primary,  
 City of Gluckstadt, Mississippi

Dear Ms. Kellum:

The Gluckstadt Temporary Republican Executive Committee (the “Executive Committee”) held its first meeting at the Gluckstadt City Hall, Gluckstadt, Mississippi on February 4, 2025, at 5:30 p.m., for the purposes of conducting its business, including the certification of the Republican Candidates for the Municipal elections in the City of Gluckstadt, Mississippi for the 2025 primary elections and any runoffs. The following Executive Committee members were present at the meeting: Dexter Brookins, Deb Henderson, Shelia Spann, Lindan Garner, Colleen Wise, Aaron Rice, and Phil Buffington. After a thorough investigation and discussion of all candidates, the Executive Committee voted to certify the following candidates to run in the Republican Primary on April 1, 2025:

<b>Candidate</b>	<b>Position</b>	<b>Qualified</b>
Walter C Morrison IV	Mayor	Qualified
Jessie Young Campbell	Alderman at Large	Qualified
Paul Wesley Harty	Alderman at Large	Qualified
Jayce Powell	Alderman at Large	Qualified
Samuel Clifford Stonestreet	Alderman at Large	Qualified
John W Taylor	Alderman at Large	Qualified
Charles "Chip" Lee Williams	Alderman at Large	Qualified

At the meeting of the Executive Committee, Mr. Nathaniel David Roesener withdrew his petition to qualify as a candidate for Alderman at Large for the City of Gluckstadt. You provided us with an email dated February 4, 2025, from him withdrawing his candidacy.

Ms. Lindsay Leonard Kellum

February 4, 2025

Page 2

Please accept this letter as the Executive Committee’s official certification of the Republican Candidates for Mayor and Alderman at Large for the City of Gluckstadt, Mississippi primary election for 2025.

We look forward to working with you and the City of Gluckstadt to conduct the first Republican Primary election for the City of Gluckstadt. We intend to work with you and the City of Gluckstadt to conduct an exemplary Republican Primary for the City of Gluckstadt.

Sincerely,

*Phil Buffington*

Phil Buffington,  
Chair of the Gluckstadt Temporary  
Republican Executive Committee

cc: Mr. Aaron Rice, Chair of the Madison County  
Republican Executive Committee  
Ms. Colleen Wise, Secretary of the Gluckstadt  
Temporary Republican Executive Committee



**AGREEMENT GOVERNING CONDUCT OF THE REPUBLICAN PRIMARY AND  
PRIMARY RUNOFF FOR THE GLUCKSTADT MUNICIPAL ELECTION**

**Between**

**The Madison County Republican Executive Committee, The City of Gluckstadt and  
Gluckstadt City Clerk**

Primary Election April 1, 2025; Runoff April 22, 2025

STATEMENT OF INTENT: In order to ensure party primaries are conducted in the most efficient manner possible consistent with providing all qualifying and duly registered voters of the City of Gluckstadt the opportunity to cast their vote for the candidate(s) of their choice, the Madison County Republican Executive Committee, acting as the Temporary Gluckstadt Republican Executive Committee (the “Temporary Gluckstadt Republican Executive Committee”), hereby enters into this agreement with the City of Gluckstadt and the Gluckstadt City Clerk to oversee and provide assistance in conducting the Primary Election(s) in accordance with applicable law and as outlined below:

WHEREAS, the City of Gluckstadt uses the DS200 Precinct Scanners and Express Vote voting system, as well as electronic poll books, and this system will be used in all elections;

WHEREAS, all poll managers must be technically proficient and trained in the use of the system, including procedures for the opening of the polls, providing instruction to voters, printing “0” tapes upon opening and results tapes upon closing of the polls, printing and documenting results and returning USB and ballot boxes to Election Central and supervising others in the performance of their duties. Poll managers must be proficient in explaining procedures and conducting the primary election.

WHEREAS, key election personnel have received technical training in the preparation of ballots, election set-up, use of the system, care, handling and maintenance, and when needed, the conduct of training of poll managers.

NOW, THEREFORE, pursuant to § 23-15-266, Miss. Code Ann. and without relinquishing their respective responsibilities in the conduct of Primary Elections, if any, the Madison County Republican Executive Committee hereby requests the City of Gluckstadt, and the Gluckstadt City Clerk do hereby agree to provide the following assistance:

**Section 1:** Appointment of poll managers pursuant to § 23-15-265, Miss. Code Ann.

The City of Gluckstadt, with the assistance of Gluckstadt City Clerk, and the Temporary Gluckstadt Republican Executive Committee, hereby agree to have qualified poll managers appointed not less than two (2) weeks before the date of the primary election. The number of poll managers appointed shall be, at minimum, the same number as Election Commissioners are allowed to appoint pursuant to § § 23-15-231 and 23-15-135, Miss. Code Ann. Poll managers must be provided and attend training pursuant to § 23-15-239, Miss. Code Ann.

The City of Gluckstadt, with the assistance of Gluckstadt City Clerk and the Temporary Gluckstadt Republican Executive Committee, may appoint additional poll managers, in their discretion, in accordance § 23-15-235, Miss. Code Ann.

The Temporary Gluckstadt Republican Executive Committee may appoint no more than two (2) people to the Resolution Board Committee. The City of Gluckstadt hereby agree to appoint the remaining appropriate number of Resolution Board Committee members and to provide training for all the Resolution Board Committee members so appointed, with the assistance of Gluckstadt City Clerk and the Temporary Gluckstadt Republican Executive Committee.

The City of Gluckstadt, through the Gluckstadt City Clerk’s Office, shall be responsible for the pick-up, and delivery of equipment to precinct(s), set-up and return of the voting machines following closing. A poll manager shall be appointed and trained by the City of Gluckstadt, with the assistance of Gluckstadt City Clerk and the Temporary Gluckstadt Republican Executive Committee, to be responsible for the voting machines’ opening and closing procedures.

**Section 2:** Training of poll managers pursuant to § 23-15-239 Miss. Code Ann.

The City of Gluckstadt, the Gluckstadt City Clerk, and a member of the Gluckstadt Temporary Republican Executive Committee shall coordinate and conduct, not less than five (5) days prior to the primary election, training sessions to instruct poll managers as to their duties in the proper administration of the primary election (and a potential runoff) and the operation of the polling place. No poll manager shall serve in the primary election unless he/she has received such instructions at least once during the twelve (12) months immediately preceding the date of the primary election. The City of Gluckstadt, with the assistance of Gluckstadt City Clerk and the Temporary Gluckstadt Republican Executive Committee, shall train a sufficient number of alternates to serve in the event a poll manager is unable to serve for any reason on the day of the primary election(s).

**Section 3:** Pick-up and return of ballot boxes pursuant to § 23-15-267, Miss. Code Ann.

The supply boxes shall be packed by and / or under the supervision of the Gluckstadt City Clerk and a member of the Temporary Gluckstadt Republican Executive Committee. Ballot boxes shall be distributed by a poll worker (designated receiving manager) to the voting precinct of the City of Gluckstadt (St. Joseph Catholic Church) in sufficient time before the opening the polls by and / or under the direction of the Gluckstadt City Clerk and the Temporary Gluckstadt Republican Executive Committee.

**Section 4:** Ballot creation and distribution pursuant to §§ 23-15-333 and 23-15-335, Miss. Code Ann.

The Gluckstadt City Clerk, after the qualification of candidates and approval of the final ballot proof by the Temporary Gluckstadt Republican Executive Committee, shall have printed all necessary ballots for use in the primary election as required by § 23-15-333, Miss. Code Ann. Further, the Gluckstadt City Clerk should have printed all necessary absentee ballots forty-five

(45) days prior to the date of the primary election as required by law. The number of ballots ordered shall be sufficient for the number of registered voters of the City of Gluckstadt.

The City of Gluckstadt, with the assistance of the Gluckstadt City Clerk and Temporary Gluckstadt Republican Executive Committee, shall designate a person whose duty it shall be to distribute all necessary ballots for use in the primary election, and shall designate one (1) poll manager (designated receiving manager) at each polling place to receive and receipt for the blank ballots to be used at that location. The poll manager so designated by the City of Gluckstadt and the Temporary Gluckstadt Republican Executive Committee to receive and receipt for the blank ballots shall assume those specific duties set forth in § 23-15-335, Miss. Code Ann.

**Section 5:** Canvas of returns and announcement of results pursuant to § 23-15-597, Miss. Code Ann.

The Temporary Gluckstadt Republican Executive Committee, with the assistance from the Gluckstadt City Clerk, shall meet within the time fixed by law after each primary election and shall receive and canvas the returns and declare the results and announce the name of the nominees for City Offices and the names of those candidates to be submitted for the Republican Primary Runoff election to be held on April 22, 2025, if necessary. The Gluckstadt City Clerk shall timely report election results to the Mississippi Secretary of State if required by law in such manner as the law requires. A copy of the recapitulation reports also will be provided to the Madison County Republican Executive Committee.

In the conduct of the duties outlined above, the City of Gluckstadt and the Gluckstadt City Clerk will coordinate and assist in a support role to the Temporary Gluckstadt Republican Executive Committee and at no time will the City of Gluckstadt usurp the responsibilities of the Temporary Gluckstadt Republican Executive Committee. Members of the Temporary Gluckstadt Republican Executive Committee may enter the polling place to check in with election workers and obtain voter turnout numbers for the Republican primary throughout the election day process.

Prior to the Republican primary, the City of Gluckstadt, with the assistance from the Gluckstadt City Clerk and the Temporary Gluckstadt Republican Executive Committee will provide a list of poll workers, managers, and bailiff at the polling place to the Madison County Republican Executive Committee.

All duties and responsibilities not otherwise designated in this agreement or required to be conducted by the Temporary Gluckstadt Republican Executive Committee shall be the responsibility of the City of Gluckstadt.

Signed this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Chair, Madison County Republican Executive Committee or Representative

---

City of Gluckstadt (Authorized signee)

---

Gluckstadt City Clerk

**MAYOR**  
Walter C. Morrison, IV  
**CITY CLERK**  
Lindsay Kellum  
**POLICE CHIEF**  
Barry Hale  
**MUNICIPAL COURT  
CLERK**  
Stephanie Gerlach  
**PLANNING & ZONING  
ADMIN./BUILDING  
DEPT.**  
William Hall  
**PUBLIC WORKS**  
Chris Buckner

**CITY OF GLUCKSTADT**  
MISSISSIPPI



**343 DISTRIBUTION DRIVE  
GLUCKSTADT, MS 39110**

**OFFICE OF THE CITY CLERK**

**ALDER** Section 8, Item D)

Miya Bates  
Jayce Powell  
Wesley Slay  
John Taylor  
Lisa Williams

January 31, 2025

**VIA EMAIL**

Mr. Greg Higginbotham  
County Administrator  
P.O. Box 608  
Canton, MS 39046  
[greg.higginbotham@madison-co.com](mailto:greg.higginbotham@madison-co.com)

**RE: 2025 Primary and General Election, Request for Precinct Equipment, Supplies & Commission Assistance with Poll Worker Training**

Dear Greg:

Please accept this letter as a request for the City of Gluckstadt to utilize the County's Electronic Voting System & Supplies (as applicable) for the 2025 Municipal Elections. The Primary Election is April 1, 2025 (with a possibility of a Runoff on April 22, 2025) and the General Election is June 3, 2025. Specifically, we are requesting the following items:

- Two (2) DS200 Voting Machines and Related Items (Power Cords)
- Three (3) Electronic Tablet Poll Books
- Five (5) Voting Privacy Screens (Table Top – Secure)
- One (1) Supply Box for St. Joseph Precinct, Including Statutory Precinct Signage
- One (1) Ballot Box & Transfer Bag for Absentee Voting at City Hall w/ Applicable Seals
- Limited Assistance with Poll Worker Training (as discussed with Barbara Gross, Chairman of the County Election Commission)

Please confirm receipt of this letter. Should you have any questions or concerns, you may contact me directly at [lindsay.kellum@gluckstadt.net](mailto:lindsay.kellum@gluckstadt.net) or via telephone at (769) 567-2307. We appreciate your consideration of our request and our continued partnership with Madison County.

Sincerely,



LINDSAY LEONARD KELLUM  
CITY CLERK, CITY OF GLUCKSTADT

cc: Anita Wray, Madison County Circuit Clerk  
Barbara Gross, Chair of the Madison County Election Commission  
Spence Flatgard, Counsel (Madison County)  
Gluckstadt Mayor & Board of Aldermen  
Madison County Board of Supervisors

**From:** [Greg Higginbotham](#)  
**To:** [Lindsay Kellum](#)  
**Cc:** [jscanlon@millsscanlon.com](#); [zgiddy@millsscanlon.com](#); [wmorrison@gainsben.com](#); [Anita Wray](#); [Barbara Gross](#)  
**Subject:** Re: Request for Next BOS Agenda - Request Letter to Madison County Circuit Clerk and Election Commission  
**Date:** Monday, February 3, 2025 11:32:29 AM

---

Lindsay,

Our cutoff is Wednesday prior to the meeting at noon. Because the request did not meet the cutoff, it will be on the 2/18 agenda.

Greg

---

**From:** Lindsay Kellum <lindsay.kellum@gluckstadt.net>  
**Sent:** Monday, February 3, 2025 10:23 AM  
**To:** Greg Higginbotham <greg.higginbotham@madison-co.com>  
**Cc:** jscanlon@millsscanlon.com <jscanlon@millsscanlon.com>; zgiddy@millsscanlon.com <zgiddy@millsscanlon.com>; wmorrison@gainsben.com <wmorrison@gainsben.com>; Anita Wray <anita.wray@madison-co.com>; Barbara Gross <barbara.gross@madison-co.com>  
**Subject:** RE: Request for Next BOS Agenda - Request Letter to Madison County Circuit Clerk and Election Commission

***CAUTION! External Content. Please use caution when opening attachments and links. Do not provide your username and password if requested.***

Greg,

Following up on this. Were you able to add it to the agenda today, as requested last Friday?

Thank you.

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt

P.O. Box 2210

Madison, MS 39130

(769) 567-2306

[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)



---

**From:** Lindsay Kellum  
**Sent:** Friday, January 31, 2025 1:41 PM  
**To:** Greg Higginbotham <greg.higginbotham@madison-co.com>  
**Cc:** jscanlon@millsscanlon.com; Zachary Giddy <zgiddy@millsscanlon.com>; Walter Morrison <wmorrison@gainsben.com>  
**Subject:** Request for Next BOS Agenda - Request Letter to Madison County Circuit Clerk and Election Commission  
**Importance:** High

Hey Greg,

I just left you a voicemail.

I am in the process of drafting a brief letter to Anita Wray, Barbara Gross and the Board of Supervisors to request rental of 2 DS200 Machines, 3 Electronic Poll Books, an ADA Voting Machine, Elections Supplies (bag, seals, signage – as discussed with Barbara Gross at our meeting Wednesday), and assistance from Barbara Gross with poll worker trainings if she is available to help us on the dates we are planning to conduct training for Primary and General.

I will drop in a letter and have legal review quickly and send to you to get on the February agenda Monday, if at all possible due to tight deadlines.

I apologize for the late request, as it has been a very busy week with elections meetings, qualifying deadline and end of year 1099s/W2 prep.

Thank you,

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
(769) 567-2306  
[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)







**From:** [Lindsay Kellum](#)  
**To:** ["electionsanswers@sos.ms.gov"](mailto:electionsanswers@sos.ms.gov)  
**Cc:** ["Jennifer Shavers"](#); [Scott Maugh](#); [Chasity Pickett](#); [Janet Brooks](#)  
**Subject:** 1/31/25 Annual Campaign Finance Reports, City of Gluckstadt Candidates (Copies for MSOS Records)  
**Date:** Wednesday, February 5, 2025 4:44:00 PM  
**Attachments:** [1.31.25 Campaign Finance Annual Report, Chip Williams \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, Jayce Powell \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, Jessie Campbell \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, John Taylor \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, Miya Bates \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, Nathaniel Roesener \(Alderman, Gluckstadt\) WITHDRAWN 2.5.25.pdf](#)  
[1.31.25 Campaign Finance Annual Report, Paul Harty \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, Samuel Stonestreet \(Alderman, Gluckstadt\).pdf](#)  
[1.31.25 Campaign Finance Annual Report, Walter C. Morrisison, IV \(Alderman, Gluckstadt\).pdf](#)  
**Importance:** High

---

Good Evening MSOS Staff,

For your records, please find attached copies of timely filed 1/31/25 annual campaign finance reports for all candidates for the upcoming municipal election in the City of Gluckstadt.

Please note, one candidate, Nathaniel David Roesener (Alderman, Republican) withdrew his candidacy last night, as confirmed by the Gluckstadt Temporary Republican Executive Committee.

Let me know if you may need anything further at this time.

**LINDSAY LEONARD KELLUM, CMC**

City Clerk, City of Gluckstadt  
P.O. Box 2210  
Madison, MS 39130  
(769) 567-2306  
[Lindsay.Kellum@gluckstadt.net](mailto:Lindsay.Kellum@gluckstadt.net)





# CITY OF GLUCKSTADT

MISSISSIPPI  
OFFICE OF THE CITY CLERK

## MEMORANDUM

**TO:** Mayor & Board of Aldermen

**FROM:** Lindsay Kellum, City Clerk

**DATE:** 01/09/2025

**SUBJECT:** Municipal Elections Duties, Board of Aldermen (Appointment of MEC, Setting of Compensation, Contracting with Parties / County to Assist with Elections, Important Dates)

We have the immediate need to appoint three (3) new members to the Municipal Election Commission to run the Municipal General Election. Qualifying for both the Municipal Primary and General Elections began January 2<sup>nd</sup> and closes January 31<sup>st</sup>. This is of extreme importance given the time constraints we are under related to deadlines for the commission members to get certified, qualify candidates, print materials /ballots, and prepare for absentee voting in my office.

Additionally, please find some key facts below for your reference related to the city’s elections duties:

- Municipal Election Commissioners, Party Executive Committee Members and the Municipal Clerk and/or Deputy Clerk(s) must be certified within 6 months of any regularly scheduled election, and I have tentatively held 4 registration spots at the January 23<sup>rd</sup> Elections Certification Training held by the Mississippi Secretary of State; this is for 3 election commissioners and a member of my office, preferably the new Deputy City Clerk, Chasity Pickett, beginning with our office on 1/13/25); Scott and I were both previously certified by the Secretary of State, Elections Division, at the December winter MMCCA conference.
- The municipality pays all costs of the municipal elections, including primary, primary runoff (if applicable), and general election.
- The municipal governing authority determines the compensation, if any, to be paid to the Municipal Election Commissioners, and any compensation above the statutory minimum to be paid to municipal poll workers; the municipal governing authority also determines the compensation of the Resolution Board. Poll Managers are to be paid a minimum of \$125.00 per election; the Receiving and Returning Manager are entitled to an additional \$25.00 for

taking boxes to the polling place and another \$25.00 for returning boxes to city hall after the election, they are also entitled to receive mileage in excess of ten (10) miles traveled to and from; municipal governing authorities may pay poll managers an additional amount not to exceed \$75.00 per election (cap is \$200 per election); also, the board, at its discretion, may provide training pay to poll workers at the federal minimum of \$7.50 an hour (it is not advised to go over this amount, per the Mississippi Secretary of State); lastly, to set Municipal Election Commission compensation, it is advised by the Mississippi Secretary of State that we adopt the pay schedule found in 23-15-153 related to County Election Commissioners (a copy of the statute is attached for your reference); I would advise we consult legal on setting a per diem of \$110.00 daily for election preparation duties (poll worker training, qualifying candidates, etc.), not to exceed five hours a day, and a \$165.00 per diem for election day duties (all day), prior to approval by the board.

- The Board of Aldermen will need to enter into a cooperation agreement with both parties to run the primaries (outlining duties of the city vs. duties of the executive committees), as well as enter a contract with the county related to rental of voting machines, poll worker training assistance, etc. (a copy of the statute is attached for your reference). I would also advise we consult legal on this and have them review the contracts prior to execution.
- The Municipal Clerks Office must be open from 8:00 am – 12:00 pm on several Saturdays between now and June 3rd for the purposes of voter registration and absentee voting. Please see below (and a copy of the 2025 elections calendar attached for your reference):
  - Saturday, March 1<sup>st</sup> from 8:00 am to 12:00 noon (Voter Registration, Primary)
  - Saturday, March 22<sup>nd</sup> from 8:00 am – 12:00 noon (Absentee Voting)
  - Saturday, April 19<sup>th</sup> from 8:00 am to 12:00 noon (if applicable, Runoff Absentee Voting)
  - Saturday, May 3<sup>rd</sup> from 8:00 am to 12:00 noon (Voter Registration, General)
  - Saturday, May 24<sup>th</sup> from 8:00 am to 12:00 noon (Absentee Voting)
  - Saturday, May 31<sup>st</sup> from 8:00 am to 12:00 noon (Absentee Voting)

Other Important Dates:

- Voter Registration Deadline to vote in Primary Election: March 3<sup>rd</sup>
- Absentee Voting Begins for Primary Election: February 18<sup>th</sup>
- Primary Election Date: April 1<sup>st</sup>
- Primary Election Runoff Date (if applicable): April 22<sup>nd</sup>
- Voter Registration Deadline to vote in General Election: May 5<sup>th</sup>
- Absentee Voting Begins for General Election (if no Primary Runoff): April 19<sup>th</sup>
- General Election Date: June 3<sup>rd</sup>
- New Term Begins: July 1<sup>st</sup>

Tonight, I am requesting we appoint three commissioners to the municipal election commission, and make certification on January 23<sup>rd</sup> with the Secretary of State mandatory to serve, as well as set pay for commissioners (elections preparation and election day duties) and set pay for poll workers, including managers, resolution board and receiving /returning managers (training and election day duties).

Please reach out to me if you have any questions, as I realize this is a lot of information to digest.

January 29<sup>th</sup>, 2025  
Re: Municipal Election Support  
Quote # - ESS-1739

Lindsay Kellum  
343 Distribution Dr.  
Gluckstadt, MS 39110  
**Phone:** 769-567-2307  
**e-mail:** [Lindsay.kellum@gluckstadt.net](mailto:Lindsay.kellum@gluckstadt.net)

Dear Ms. Kellum,

ES&S is pleased to offer to you the following pricing for your 2025 Municipal Election Support.

**April 1<sup>st</sup>, 2025, Municipal Primary Election Support**

**Election Technician Support**

- **L&A Support, Election Day Support, Post Election Day Support**

**ElectionWare Coding and Support**

**Total - \$5,345.00**

**April 22<sup>nd</sup>, 2025, Municipal Primary Election Runoff Support**

**Electionware Laptop Rental**

**Election Technician Support**

- **L&A Support, Election Day Support, Post Election Day Support**

**ElectionWare Coding and Support**

**Total - \$5,050.00**

**June 3<sup>rd</sup>, 2025, Municipal General Election Support**

**Electionware Laptop Rental**

**Election Technician Support**

- **L&A Support, Election Day Support, Post Election Day Support**

**ElectionWare Coding and Support**

**Total - \$5,345.00**

**Election Day Ballots - \$0.29/each**

**Absentee Ballots - \$0.36/each**

**Considerations that impact pricing:**

1. Pricing is valid for 60 days.
2. Price includes all travel and expenses.
3. All Sales, Services and Licenses are subject and bound to the terms and conditions of ES&S.
4. Any applicable sales taxes have not been included in pricing and are the responsibility of the customer.



Thank you again for the opportunity to quote your Municipal Election Support. We would ask that you please approve this proposal by signing and returning so that we can secure the necessary resources needed to support this service. Please feel free to call with any questions you might have pertaining to this proposal.

Sincerely,

A handwritten signature in black ink that reads 'Bill Lowe'.

Bill Lowe  
Election Systems & Software  
102 Business Park Drive Suite G  
Ridgeland, MS 39157  
Phone – 601-922-2476  
Fax – 601-922-8475

---

Election Official Approval



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman  
**FROM:** William Hall, Planning and Zoning Administrator  
**DATE:** 01/31/2025  
**SUBJECT:** General Update, Planning and Zoning/Building Department

---

In the month of January, the Building Department issued 19 permits totaling \$7,475.

A total of 32 inspections occurred.

There are 246 active permits currently, not including sign permits.

During the January 28, 2025 Planning and Zoning Commission meeting the following items were taken into consideration.

The first item taken for consideration was the request for rezoning 1064 Gluckstadt Road for Bedi Investments. After much discussion of how this would affect the future potential uses of the property, the Planning and Zoning Commission voted to recommend denial of rezoning based on no change of character in the neighborhood.

The second item taken for consideration was a Conditional Use to extend the operating hours of a food truck, Brothers Tacos, located in the parking lot at 137 Yandell Road, beyond the existing Food Truck Ordinance allowance of thirty minutes before sunrise and thirty minutes after sunset. They ask to be open to at least 8pm on normal business days. No representative was at the meeting to speak on behalf of the applicant. Mr. Wong, owner of Bamboo Express located at 137 Yandell Road, was present to speak against the approval of the conditional use. When asked, Mr. Hall explained that with the new food truck ordinance, all food trucks seeking permanent locations must come before the boards as conditional use for approval before being permitted to set up. Much discussion was had about the effects a food truck may have on a local brick and mortar restaurant. The Planning and Zoning Commission voted to recommend denial of conditional use.

The third item taken for consideration was a Dimensional Variance for 342 Old Jackson Road Project A. The applicant is seeking approval to have a smaller lot width than typically allowed in a C-2 property. After brief discussion, the Planning and Zoning Commission voted to recommend approval of the dimensional variance.

The fourth item taken for consideration was the request for a dimensional variance of setback reduction for 342 Old Jackson Road Project B. The request comes with recognition that the neighboring properties are expected to petition for rezone to C-2 in the future. The north neighbor has an existing landscaping business operating under a horticultural exemption. The south neighbors have inquired about the process to apply for rezoning their properties to commercial as well. After brief discussion the Planning and Zoning Commission voted to recommend approval of the dimensional variances requested.

The fifth item taken for consideration was a variance application for D&S Investments. D&S is seeking approval for a maximum height variance of 57' 7.5" and four floors. The Zoning Regulations currently limit building height to 40' or three floors. Gluckstadt Fire Department gave approval for the height variance due to the new ladder truck being capable of reaching well beyond the requested height. The whole building is sprinkled as well. Additionally, D&S was seeking a variance for the total number of parking spaces required. The Current Zoning Ordinance requires 1.5 per room. Wyndham has 110 rooms, which would require 165 spaces. D&S requests approval for 158 spaces. They also plan for a mixed retail building with a possible restaurant in it. The initial design allows for up to 10,000 sq ft depending on how much room the restaurant needs (restaurant to be determined), 50 parking spaces are allowed for that use as well. The Planning and Zoning Commission voted to recommend approval of these variance requests.

The sixth item taken for consideration was the site plan for D&S Investments Wyndham Hotel. Discussion was had about the exterior design and if Wyndham corporate would have some flexibility in exterior design and colors. D&S Representatives agreed to get that information and work with the Architecture Review Board to modify the exterior design as necessary to make it cohesive with the general designs desired for the area while maintaining compatibility with the existing buildings as well. The Planning and Zoning Commission voted to recommend approval of the site plan.



**MINUTES OF THE SPECIAL MEETING  
OF THE PLANNING AND ZONING COMMISSION  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A special meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, January 21, 2025, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Sam McGaugh (Chairman)  
Melanie Greer (Vice-Chairwoman)  
Tim Slattery  
Andrew Duggar  
Katrina B. Myricks  
Phillips King

Absent:

Kayce Saik

Also present:

Zachary L. Giddy, Attorney  
William Hall, City of Gluckstadt

Chairman Sam McGaugh called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Planning & Zoning Training – Discussion Only/No Action**
- 4. Next Meeting**

A) The Next Planning and Zoning Meeting Will Be Held on Tuesday, January 28, 2024 at 6:00 p.m.

**5. Adjourn**

**Planning & Zoning Training – Discussion Only/No Action**

Zachary L. Giddy gave a general legal training PowerPoint presentation to the Planning and Zoning Commissioners present related to current zoning matters. John P. Scanlon joined the meeting and there were discussions related to the legal training. No action taken.

There was no business to be presented.

**ADJOURN**

Commissioner Katrina Myricks moved that the meeting be adjourned. The motion was seconded by Commissioner Melanie Greer and approved unanimously by all present Commissioners. The Chairman declared the Motion carried.

**WITNESS OUR HANDS**, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
SAM McGAUGH, Chairman

\_\_\_\_\_  
MELANIE GREER, Vice Chairman/Secretary

**MINUTES OF THE REGULAR MEETING  
OF THE PLANNING AND ZONING COMMISSION  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, January 28, 2025, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Sam McGaugh (Chairman)  
Melanie Greer (Vice-Chairwoman)  
Tim Slattery (Via telephone, arrived late)  
Andrew Duggar  
Katrina B. Myricks  
Phillips King  
Kayce Saik

Absent:

Also present:

Zachary L. Giddy, Attorney  
William Hall, City of Gluckstadt

Chairman Sam McGaugh called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Chairman Sam McGaugh opened the meeting with prayer and led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**

A) Approve November 26, 2024 Board Minutes

**4. Request for Rezoning**

A) Discussion and Consideration of Approval: Application for Rezoning, Bedi Investments, 1064 Gluckstadt Road

**5. New Site Plan Considerations**

A) Discussion and Consideration of Bedi Investments Gluckstadt Liquor Conditional Use

B) Discussion and Consideration of Brothers Tacos Conditional Use

C) Discussion and Consideration of 342 Old Jackson Project A Dimensional Variance

D) Discussion and Consideration of 342 Old Jackson Project B Dimensional Variance

E) Discussion and Consideration of D&I Investments Wyndham Hotel Parking Variance

F) Discussion and Consideration of D&I Investments Wyndham Hotel Site Plan

**6. Next Meeting**

A) The Next Planning and Zoning Meeting Will Be Held on February 25, 2025

**7. Adjourn**

The Board considered the Minutes of the November 26, 2024, regular meeting. Commissioner Melanie Greer moved to approve the minutes presented as written. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present Commissioners. The Chairman declared the motion carried.

**Public Hearing for Application for Rezoning  
for Bedi Investments, LLC**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application to Rezone Real Property for Bedi Investments, LLC for property located on Gluckstadt Road and identified by Tax Parcel Number 082D-20-002/03.00 in the City of Gluckstadt. The subject property is presently zoned C-1 General Commercial District. William Hall presented the application and advised the Board for the reason for the reasoning request and that notice posting and publication requirements were met and that Applicant is requesting a rezoning to C-2 Highway Commercial District. Mr. Daniel Woolridge appeared and spoke on behalf of the

Petitioner and its Application. Mr. Woolridge advised the Board that Petitioner has a current liquor store located across the road from requested rezoning and that the current request is to rezone from C-1 to C-2 to allow the building of a new liquor store. There was discussion and comments regarding the city has limited C-1 zoned property; future development concerns; and whether the use is compatible with adjacent parcels.

Opposition was given an opportunity to respond, but there was no opposition present.

There was no one present in support other than the Petitioner’s representative.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Kayce Saik and seconded by Commissioner Phillips King, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they deny the request to rezone the subject property from its current C-1 General Commercial District to C-2 Highway Commercial District. Commissioner Phillips King expressed gratitude to the applicant and stated the city wants to keep applicant’s business in the City of Gluckstadt.

**Public Hearing for Application for  
Conditional Use Permit for Bedi Investments, LLC**

The hearing for Bedi Investments, LLC, application for conditional use was not heard, due to the Commission’s recommendation of denial for Bedi Investments, LLC, rezoning request. No action taken.

**Public Hearing for Application for  
Conditional Use Permit for Brothers Tacos**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application for Conditional Use Permit by Moses Almonza for Brothers Tacos for property located at 137 Yandell Road in the City of Gluckstadt. The subject property is presently zoned C-2. William Hall advised the Board that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow extended hours of operation for the food truck on the subject property.

The applicant was not present. William Hall advised the Board that he received no feedback prior to the meeting either for or against the request the requested conditional use. It was mentioned that there have been complaints of noise coming from the food truck’s generator posted on Facebook.

Those in favor were given an opportunity to speak. No one spoke in favor.

Opposition was given an opportunity to respond, and Edward Wong, owner of Bamboo Express, spoke in opposition to the conditional use request. Mr. Wong advised the Board that

the food truck parks in front of his restaurant, with permission by the gas station. Mr. Wong also stated that the food truck hurts his business, and patrons of his restaurant have complained of the noise produced by the food truck’s generator. Mr. Wong advised the Board that the food truck has not been compliant with the current ordinance and does not close the food truck as required.

No other opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Melanie Greer, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they deny the conditional use for failure of Applicant to provide sufficient evidence for granting a conditional use permit on the subject property. The Chairman declared the motion carried.

**Public Hearing for Application for Dimensional Variance for 342 Old Jackson Project A**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application for Dimensional Variance by The Martin Firm PLLC and Gluckstadt Office Park LLC for property located at 342 Old Jackson Road (Project A) and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board that notice posting and publication requirements were met. The subject property was recently rezoned to the C-2 Highway Commercial District which requires a minimum lot width of 200 feet for multi-tenant properties.

Sam Martin appeared and spoke on behalf of the application. Mr. Martin addressed the criteria for granting a dimensional variance and stated Applicant is requesting a variance from minimum 200 foot lot width to allow for the intended use for an office for his law firm and also for Gluckstadt Park, LLC. .

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Melanie Greer and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested dimensional variance for Applicant to reduce the 200 ft. lot width requirement on Tract 1 to 74.29 feet and on Tract 2 to 161.11 on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for Dimensional Variance for 342 Old Jackson Project B**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application for Dimensional Variance by Gluckstadt Office Park LLC for property located at 342 Old Jackson

Road (Project B) and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board that notice posting and publication requirements were met. The subject property was recently rezoned to the C-2 Highway Commercial District. Mr. Hall gave an overview of the request and stated that the dimensional variance is for the setbacks which for the commercial property that abuts residential property currently requires a 50 foot setback or 20 feet with fence. Applicant is requested a dimensional variance to the side and rear setback to 5 feet.

Sam Martin appeared and spoke on behalf of the application. Mr. stated the subject parcel is surrounded on all sides by residential zoned properties; however, it is likely those parcels will be zoned commercial in the near future.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Melanie Greer, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested dimensional variance for Applicant to reduce the required side and rear setbacks to 5 feet on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for Dimensional Variance for Wyndham Hotel**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application for Dimensional Variance by Lee Sahler and D&S Investment Group, LLC for property identified as Tax Parcel No. 082E-21-016/29.00 and located in the City of Gluckstadt. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board that notice posting and publication requirements were met. Mr. Hall gave an overview of the request and stated that the Applicant is requesting a dimensional variance from the required building height requirements and parking requirements. Applicant is requesting a variance to increase the building height from the required 40' to 57 feet to allow four stories and also a variance to decrease the required 165 parking spaces to 158 parking spaces.

Spencer Ritchie appeared and spoke on behalf of the Applicant. Mr. Ritchie stated the subject property is located adjacent to the highway. Applicant plans to construct a Wyndham Hotel along with retail and restaurant space on the subject property. .

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested dimensional variances for Applicant for 158 parking spaces and building height of 57' on the subject property located in the C-2 zoning district. The

Chairman declared the motion carried.

**Site Plan – Wyndham Hotel**

The Board next considered the site plan for Wyndham Hotel by Lee Sahler and D&S Investments, LLC for property located in the City of Gluckstadt and identified by Tax Parcel No. 082E-21-016/29.00. William Hall presented Commissioners with the site plan. The Board had general discussion on the site plan presented. On motion by Commissioner Melanie Greer and seconded by Commissioner Tim Slattery, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan as submitted. The Chairman declared the motion carried.

**OLD BUSINESS**

None.

**NEW BUSINESS**

None.

There was no further business to be presented.

**ADJOURN**

Commissioner Phillips King moved that the meeting be adjourned. The motion was seconded by Commissioner Melanie Greer and approved unanimously by all present Commissioners. The Chairman declared the Motion carried.

**WITNESS OUR HANDS**, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
SAM McGAUGH, Chairman

\_\_\_\_\_  
MELANIE GREER, Vice Chairman/Secretary



Type	Street Number	Street Name	Applicant	Applied Date	Fees
Fence	182	CHURCH RD	HAZEL WHITING	1/31/2025	50
Addition Commercial	140	ENTERPRISE DR	CARLOS AGUILAR	1/31/2025	250
Site Plan Review		CALHOUN STATION PKWY	CITIZENS NATIONAL BANK	1/29/2025	100
New Building Residential	273	STOUT RD	CHRIS & VICTORI HEMPHILL	1/28/2025	2277
New Building Residential	279	STOUT RD	CHARLES & RENEE LINEBARGER	1/24/2025	2777
Addition Commercial	264	CALHOUN STATION PKWY	FLO AND GLO IV WELLNESS	1/22/2025	1311
Sign	281	OLD JACKSON ROAD	UNITED RENTALS	1/21/2025	130
Hood Suppression	134	WEISENBERGER RD ST B	BAYOU BUGS	1/21/2025	288
Addition Commercial	102	DEES DR	SOUTHERN MAGNOLIA HEMP CO	1/21/2025	50
Sign	264	CALHOUN STATION PKWY	BLUME	1/17/2025	10
Re-Roof	131	FAIRCHILD COVE	ED WONG	1/16/2025	277
Gas Commercial	644	CHURCH RD	ROBERT WILSON	1/15/2025	85
Gas Residential	109	BRADSHAW CROSSING	MARY SWEENEY	1/15/2025	85
New Building Commercial	1054	GLUCKSTADT ROAD	BEDI INVESTMENTS	1/13/2025	250
Addition Commercial	264	CALHOUN STATION PKWY	LITTLE CAESARS	1/13/2025	577
Gas Commercial	141	W SOWELL RD	BRANDON SERVICE COMPANY, IN	1/7/2025	85
Site Plan Review	1	GLUCKSTADT RD	D & I INVESTMENT GROUP, LLC	1/7/2025	100
New Building Commercial	120	AUTOBAHN LOOP	D & I INVESTMENT GROUP, LLC	1/3/2025	250
Site Plan Review	1054	GLUCKSTADT ROAD	BEDI INVESTMENTS	1/3/2025	100
New Building Commercial	1054	GLUCKSTADT ROAD	BEDI INVESTMENTS	1/3/2025	250
New Building Commercial	1054	GLUCKSTADT ROAD	BEDI INVESTMENTS	1/3/2025	250
Sign	346	CHURCH RD	EL RANCHITO 3, LLC	12/31/2024	90
Sign	412	BUSINESS PARK DR.	SIP OUTDOORS	12/30/2024	10
Accessory Residential	128	SAMUEL DR	ROGER SCOTT	12/26/2024	101
New Building Commercial	150	AUTOBAHN LOOP	MAC HAIK CANTON	12/23/2024	####
Sign	272	OLD JACKSON RD	FORVIA	12/20/2024	240
Accessory Commercial	110	ASHBY RIDGE DR	BROTHER'S TACOS	12/20/2024	250
Addition Commercial	111	DEES DRIVE	GATHER AND GRUB	12/20/2024	50
Sign	111	DEES DRIVE	GATHER AND GRUB	12/20/2024	10
New Building Commercial	342	OLD JACKSON RD	MARTIN LAW FIRM, THE	12/19/2024	250
New Building Commercial	342	OLD JACKSON RD	MARTIN LAW FIRM, THE	12/19/2024	250
Electical Commercial	190	DEERWOOD CROSSING	NATHAN EVANS	12/19/2024	46
Addition Commercial	167	ORCHARD LANE	HEADWATERS	12/19/2024	2972
Addition Commercial	264	CALHOUN STATION PKWY	BLUME	12/17/2024	442
Accessory Residential	101	JORN CIRCLE	BABU Vp	12/17/2024	35
Re-Roof	1645	HIGHWAY 51	JOE & LISA GILBERT	12/11/2024	321
Addition Commercial	203	CALHOUN STATION PKWY	TRACE CLEANERS, THE	12/11/2024	757
Sign	203	CALHOUN STATION PKWY	TRACE CLEANERS, THE	12/9/2024	90
Sign	525	CHURCH RD	HARTLEY EQUIPMENT COMPANY,	12/9/2024	190
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	12/9/2024	10
Sign	124	KIMBALL DR	THE TOWN SQUARE PLAY CAFE	12/5/2024	10
Addition Commercial	264	CALHOUN STATION PKWY	SOLES NAILS BAR & BROW	11/20/2024	1182

Sign	203	CALHOUN STATION PKWY	BOLEWARE VASSAR ORTHODONT	11/14/2024	10
Sign	418	BUSINESS PARK DR	WELLSPRING METHODIST CHURC	11/13/2024	60
Re-Roof	120	HUNTERS ROW	JULIET HUAM	11/12/2024	145
Electical Commercial	208	WEISENENBERGER RD	ALL EVENTS	11/12/2024	85
Sign	1265	GLUCKSTADT RD	HOMEWELL CARE SERVICES	11/5/2024	60
New Building Commercial	381	DISTRIBUTION DRIVE	PUCKETT RENTS	11/4/2024	250
New Building Commercial	1	CATLETT RD	RANDS LLC	10/31/2024	250
Re-Roof	128	JORN CIRCLE	KEVIN UKELE	10/23/2024	277
Gas Commercial	210	N INDUSTRIAL DR	WESTLAKE CHEMCIAL	10/22/2024	85
Addition Commercial	131	CATLETT RD	VERIZON WIRELESS	10/22/2024	676
Sign	203	CALHOUN STATION PKWY	BOLEWARE VASSAR ORTHODONT	10/21/2024	90
Sign	124	KIMBALL DR	CHEROKEE BRICK AND TILE CO.	10/21/2024	60
Addition Commercial	122	YANDELL RD	EXTRA SPACE STORAGE	10/17/2024	57
Accessory Commercial	138	W. SOWELL ROAD	GLUCKSTADT INVESTMENTS	10/16/2024	332
Sign	103	TRUSTMARK DR	TRUSTMARK NATIONAL BANK	10/11/2024	10
Generator	273	OLD JACKSON RD	DICKERSON PETROLEUM	10/10/2024	68
Re-Roof	249	LAKESHIRE PKWY	TRISHA PERKINS	10/9/2024	112
Re-Roof	103	BEAR CREEK CT	CRAIG ESPLIN	10/7/2024	277
Sign	148	WEISENBERGER RD	LAVENDER CHIROPRACTIC & WEL	10/4/2024	60
Addition Commercial	316	OLD JACKSON RD	SWEET & SAVI CAKES BY KRISTA	10/4/2024	343
Site Plan Review	150	AUTOBAHN LOOP	CANTON MAC HAIK CDJR LTD	10/2/2024	100
Sign	1025	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	10/1/2024	10
Re-Roof	102	JORN CIRCLE	BECKY VALENTINE	10/1/2024	244
Generator	208	STONE CREEK DR	JASON RICHARDS	9/30/2024	244
Sign	346	CHURCH RD	ACE BOLT & SCREW CO. INC.	9/30/2024	90
Site Plan Review	586	CHURCH RD	BEAR CREEK WATER ASSOCIATIO	9/30/2024	100
Site Plan Review	109	AULENBROCK DR	SURCEE DESIGNS	9/30/2024	100
Re-Roof	211	CRESCENT RIDGE DR	THOMAS DOUGLAS	9/24/2024	211
Re-Roof	132	RIDGEFIELD DR	MOHAMMED JALALUDDIN	9/23/2024	222
Re-Roof	111	BRADSHAW CROSSING	CURTIS AUGUSTINE	9/23/2024	277
Accessory Residential	154	CHURCH RD	NOAH TOLES	9/20/2024	178
Addition Commercial	113	DEES DRIVE	JOSHUA LORENZ	9/19/2024	431
Addition Commercial	396	BUSINESS PARK DR.	MARCELLE CONSTRUCTION LLC	9/19/2024	1027
Accessory Commercial	120	LONE WOLF DRIVE	KEITH THURMOND	9/19/2024	134
Re-Roof	144	OLD ORCHARD RD	HERMAN WASHINGTON	9/17/2024	266
Re-Roof	148	WEISENBERGER ROAD	Sam & Kelly Jo Riden	9/17/2024	1342
Re-Roof		140 JORN CIRCLE	TRACY BOONE	9/13/2024	299
Sign	203	CALHOUN STATION PKWY	MS EXPRESS HEALTH	9/9/2024	10
Sign	1082	GLUCKSTADT ROAD	CALEB COLEMAN REALTY, LLC	9/9/2024	180
Addition Commercial	134	WEISENBERGER RD ST B	HAYLEX PROPERTIES LLC	9/9/2024	1857
New Building Commercial	620	CHURCH RD	BLURTON HOLDINGS, LLC	9/6/2024	2652
Accessory Residential	182	CHURCH RD	KEVIN CAMPBELL	8/28/2024	46
Sign	272	CALHOUN STATION PKWY	FIIZ DRINKS	8/28/2024	100
Accessory Residential	115	MINNINGER BLVD	ANDREW & KALLIE SESTI	8/23/2024	101

Addition Residential	115	JORN CIRCLE	TREY MCCLELLAN	8/19/2024	50
Addition Commercial	346	CHURCH RD	VANITY SALON	8/16/2024	847
Accessory Commercial	137	YANDELL RD	BROTHERS TACOS	8/16/2024	1000
Re-Roof	121	STONE CREEK DR	DANIEL BENNETT	8/16/2024	321
Sign	412	BUSINESS PARK DR.	SIP OUTDOORS	8/14/2024	60
Plumbing Commercial	1042	GLUCKSTADT RD., D.	UPTOWN PHARMACY	8/9/2024	267
Addition Commercial	272	CALHOUN STATION PKWY	L HEART ENTERPRISE, LLC	8/6/2024	577
Pool	148	OLD ORCHARD RD	JEFF & JENNIFER KNIGHT	8/6/2024	883
New Building Commercial		082E-15-037/00.00	MMC MATERIALS	8/1/2024	250
Site Plan Review		CALHOUN STATION PKWY	CPOR REI, LLC	8/1/2024	100
New Building Commercial	418	BUSINESS PARK DR	WELLSPRING METHODIST CHURCH	7/30/2024	250
Fence	263	STOUT RD	DAN DEAR CUSTOM HOMES	7/29/2024	50
New Building Commercial	586	CHURCH RD	BEAR CREEK WATER ASSOCIATION	7/25/2024	250
New Building Commercial	690	CALHOUN STATION PKWY	MILLS CONTRACTING LLC	7/22/2024	6627
Addition Commercial	102	LEXINGTON DR	ACCENT HEALTH	7/22/2024	1777
Re-Roof		852 GLUCKSTADT RD	KENNY MARTIN	7/17/2024	387
Addition Commercial	1054	GLUCKSTADT ROAD	BASKIN ROBBINS	7/12/2024	1102
New Building Commercial	2210	HIGHWAY 51	SOWELL ROAD SHELL LLC	7/12/2024	250
Sign	203	CALHOUN STATION PKWY	MS EXPRESS HEALTH	7/10/2024	90
Re-Roof	109	PLANTERS ROW	DON STEVENS	7/8/2024	245
Re-Roof	103	PERRY COVE	EMMITT BRACEY	7/8/2024	315
Re-Roof	140	BEAR CREEK CIRCLE	ANDY DILLON	7/8/2024	299
Addition Commercial	203	CALHOUN STATION PKWY	POKE STOP, LLC	7/8/2024	1967
Addition Commercial	396	BUSINESS PARK DRIVE	MARCELLE CONSTRUCTION	7/1/2024	69
Re-Roof	111	COLONY PLACE	WESLEY PHILLIPS	7/1/2024	561
Addition Commercial	203	CALHOUN STATION PKWY	JASON VASSAR	6/24/2024	2027
Accessory Residential	168	DEERWOOD CROSSING	KIMBERLY WHITTINGTON	6/21/2024	255
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	6/21/2024	10
Sign	203	CALHOUN STATION PKWY	MS HEALTH EXPRESS	6/21/2024	10
New Building Commercial	525	CHURCH RD	HARTLEY EQUIPMENT COMPANY	6/20/2024	9858
Addition Commercial	124	KIMBALL DR	TATE HOMES, LLC	6/20/2024	387
Sign	111	DEES DRIVE, STE. E.	SOCIAL THE DRESS EDITION	6/18/2024	90
Sign	114	DEES DR.	DUB'S CLUBS CUSTOM GOLF SHOP	6/18/2024	150
Addition Commercial	124	KIMBALL DR	TATE HOMES, LLC	6/17/2024	387
New Building Commercial	217	WEISENBERGER RD	K & S WARREN PROPERTIES, LLC	6/14/2024	250
New Building Commercial	2221	HIGHWAY 51	SHELL CONVENIENCE STATION	6/14/2024	9627
Addition Residential	182	CHURCH RD	KEVIN CAMPBELL	6/13/2024	757
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY S	6/10/2024	20
New Building Commercial		GLUCKSTADT RD	PREET PROPERTIES LLC	6/10/2024	####
Accessory Residential	121	LAKESHIRE CIRCLE	J B BROWN	6/7/2024	676
Accessory Commercial	130B	AMERICAN WAY	A T & T	6/6/2024	586
Accessory Commercial	130Z	AMERICAN WAY	TILLMAN INFRASTRUCTURE	6/6/2024	1797
Sign	112	DEES DRIVE	RANGE, THE	6/5/2024	10
Sign	316	OLD JACKSON RD	SWEET N SAVI	6/4/2024	90

New Building Commercial	690	CALHOUN STATION PKWY	MILLS CONTRACTING LLC	6/4/2024	100
Plumbing Commercial	148	WEISENBERGER ROAD	Sam & Kelly Jo Riden	6/3/2024	24
New Building Commercial	259	YANDELL RD	TIM HILLHOUSE	6/3/2024	5077
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY COMPANY	6/3/2024	8907
New Building Commercial		CALHOUN STATION PKWY	CPOR REI, LLC	6/3/2024	250
New Building Commercial		547 CHURCH RD	DANNY BOLANOS	5/22/2024	5232
Sign	1085	GLUCKSTADT ROAD	RENEW AUDIOLOGY HEARING AID	5/22/2024	120
Re-Roof	105	GREER CT	MILTON BOOKER	5/22/2024	244
Addition Commercial	346	CHURCH ROAD	EL RANCHITO 3, LLC	5/21/2024	5077
Accessory Residential	231	FARMERS ROW	KATHY WALL	5/21/2024	35
Addition Commercial	203	CALHOUN STATION PKWY	EXPRESS HEALTH	5/17/2024	1552
Sign	576	CHURCH RD	STEEL TECHNOLOGIES	5/15/2024	10
Fence	102	LONE WOLF DRIVE	TINO'S PET GROOMING	5/15/2024	39
Addition Residential	102	JORN CIRCLE	STEVE CRAWFORD	5/14/2024	63
Sign	1076	GLUCKSTADT RD	AUTOZONE	5/14/2024	10
Re-Roof	109	STONE CREEK DR	JAN DYKES	5/10/2024	277
Remodel Residential	159	BEAR CREEK CIRCLE	CARL MCKINLEY	5/6/2024	112
Sign	154	CALHOUN STATION PKWY	PEDIATRIC DENTISTRY OF GLUCK	5/6/2024	180
Re-Roof	192	BRADFIELD DR	LAMONT BRADFIELD	5/3/2024	57
Sign	112	DEES DRIVE	RANGE, THE	5/1/2024	10
Addition Commercial	412	BUSINESS PARK DR	SIP MISSISSIPPI	5/1/2024	4552
Sign	166	CALHOUN STATION PKWY	TWISTED TURNIP	4/29/2024	10
Addition Commercial	111	DEES DRIVE	ELITE PHYSICAL THERAPY	4/29/2024	1657
Addition Commercial	418	BUSINESS PARK DR	EASTSIDE PLAZA LLC	4/29/2024	2532
Fence	184	AMERICAN WAY	STEPHANIE MCCORMICK	4/26/2024	79
Sign	119	ENTERPRISE DR	SAFELITE	4/26/2024	120
Re-Roof	100	HAYFIELD PLACE	VAL BUGGS	4/23/2024	189
Addition Commercial	342	OLD JACKSON RD	RANDY & TONYA TUCKER	4/22/2024	250
Addition Commercial	346	CHURCH RD	ACE BOLT & SCREW	4/18/2024	1527
Sign	109	LONE WOLF DR	MAVERICK SERVICES LLC	4/18/2024	60
Sign	203	CALHOUN STATION PKWY	LOCAL NAIL SALON	4/17/2024	90
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY S	4/17/2024	90
Re-Roof	132	FAIRCHILD COVE	DAVID RUSHING	4/17/2024	244
Addition Commercial	154	CALHOUN STATION PKWY	PEDIATRIC DENTISTRY OF GLUCK	4/12/2024	1782
Re-Roof	155	BRADFIELD RD	ANGEL STENMARK	4/12/2024	233
Sign	102	LONE WOLF DR	TENCARVA	4/11/2024	60
Sign	178	CALHOUN STATION PKWY	CHEVRON	4/9/2024	10
Addition Residential	146	S TAYLOR LANE	MARCUS HUNTER	4/4/2024	156
Sign	1716	HWY 51	BARRE BY ERIN, THE	4/2/2024	60
Sign	346	CHURCH RD	LOCAL MIXER, THE	4/2/2024	90
Sign	346	CHURCH RD	HAYZIE ROOS	4/2/2024	90
Addition Commercial	384	CHURCH RD	HUTCHINSON OFFICE PROPERTIES	4/1/2024	250
Addition Commercial	119	ENTERPRISE DR	SAFELITE	3/28/2024	2962
Sign	1716	HWY 51	BARRE BY ERIN, THE	3/26/2024	10

Sign	238	WEISENBERGER RD	SEASONS	3/22/2024	590
Sign	346	CHURCH RD	BLUE FUJI SUSHI GRILL	3/20/2024	90
Sign	124	KIMBALL DR., STE. F.	SOUTHERN MOTORCARZ	3/20/2024	60
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	3/19/2024	10
New Building Residential	113	ARRINGTON DR	KENNETH/SHARON PROSPER	3/19/2024	2777
New Building Commercial	203	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	3/18/2024	0
New Building Commercial	203	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	3/18/2024	0
Sign	1091	GLUCKSTADT RD	DOMINO'S	3/18/2024	10
Accessory Residential	112	GERMANTOWN RD	STEVE HOPPER	3/13/2024	532
New Building Commercial		STOUT RD	MEADOWS AT STOUT FARMS, PAR	3/8/2024	100
New Building Commercial	150	AUTOBAHN LOOP	MAC HAIK CANTON	3/7/2024	100
New Building Commercial	150	AUTOBAHN LOOP	CANTON MAC HAIK CDJR LTD	3/7/2024	250
Addition Commercial	109	LONE WOLF DR	MAVERICK SERVICES LLC	3/6/2024	250
Sign	111	DEES DRIVE	ELITE PHYSICAL THERAPY	3/5/2024	90
New Building Commercial		CHURCH RD	BENSON BUILDERS AND PROPER	3/4/2024	100
Re-Roof		118 JORN CIRCLE	BOB LUCROY	3/4/2024	310
Accessory Commercial	1743	HIGHWAY 51	MARLO'S EATERY	3/1/2024	1000
Addition Commercial	108	DEES DR	JORDAN DOTTLEY	2/28/2024	1277
Gas Commercial	178	CALHOUN STATION PKWY	CHEVRON	2/27/2024	50
Sign	160	WEISENBERGER ROAD	KEBAB & CURRY	2/21/2024	40
Addition Commercial	124	KIMBALL DR	TATE HOMES LLC	2/16/2024	222
Sign	1091	GLUCKSTADT RD	DOMINO'S	2/16/2024	10
Sign	1076	GLUCKSTADT RD	AUTOZONE, INC	2/14/2024	190
Addition Commercial	272	CALHOUN STATION PKWY	ANGELOS TOO	2/14/2024	1127
Hood Suppression	178	CALHOUN STATION PKWY	CHEVRON	2/14/2024	288
Hood Suppression	316	OLD JACKSON RD	FIT CHEF	2/14/2024	658
Sign	316	OLD JACKSON RD	PTS PHYSICAL THERAPY AND SPO	2/6/2024	40
Sign	464	CHURCH RD	ALFA INSURANCE	2/1/2024	60
Addition Commercial	346	CHURCH RD	LOCAL MIXER, THE	1/29/2024	1302
Addition Commercial	418	BUSINESS PARK DR	JOHNNY GOOCH	1/26/2024	343
Sign	178	CALHOUN STATION PKWY	CHEVRON	1/24/2024	90
Addition Commercial	346	CHURCH RD	AMAZING NAILS AND PRO DIP LLC	1/23/2024	1087
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY S	1/22/2024	10
New Building Commercial	130Z	AMERICAN WAY	HARMON QUALITY BUILDERS, LLC	1/18/2024	1542
Electical Commercial	178	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	1/8/2024	50
New Building Commercial		HWY 51 & BROWNWOOD	MICHAEL ENGLISH	1/5/2024	100
New Building Commercial		CHURCH RD	KIRKLAND PROPERTIES	1/5/2024	100
New Building Commercial		CHURCH RD/JACKSON RD	PATRICK ROWLAND	1/5/2024	100
Addition Residential	176	CATLETT RD	PENNY COULON	1/4/2024	200
Addition Commercial	203	CALHOUN STATION PKWY	LOCAL NAIL SALON	1/2/2024	811
Sign	210	AUTOBAHN LOOP	CRASH CHAMPIONS, LLC	12/28/2023	405
Sign	316	OLD JACKSON RD	JAZZY DANCER	12/22/2023	90
Sign	316	OLD JACKSON RD	KINDER BOUTIQUE	12/22/2023	90
Re-Roof	119	BEAR CREEK CIRCLE	JERRY HILLIARD	12/20/2023	255



Addition Commercial	432	CHURCH RD	VERIZON WIRELESS	12/19/2023	288
Electical Commercial	644	CHURCH RD	TITAN DEVELOPMENT CO.	12/19/2023	85
Re-Roof	103	RIDGEFIELD	Umathanulan Moorthy	12/18/2023	224
New Building Commercial	141	W. SOWELL ROAD	BRANDON SERVICE COMPANY, INC	12/13/2023	1727
New Building Commercial		GLUCKSTADT RD	RPM REALTY, LLC	12/13/2023	250
Sign	124	KIMBALL DR	COLORIZE HAIR STUDIO	12/11/2023	60
Sign	316	OLD JACKSON RD	PTS PHYSICAL THERAPY AND SPO	12/11/2023	10
Electrical Residential	144	OLD ORCHARD RD	HERMAN WASHINGTON	12/11/2023	57
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/8/2023	300
New Building Commercial		KIMBALL DR	MICHAEL TATE	12/8/2023	100
New Building Commercial	386	INDUSTRIAL DR S	FORD MUNDY	12/8/2023	100
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/5/2023	300
Re-Roof	140	BEAR CREEK CIRCLE	ANDY DILLON	12/5/2023	156
Sign	105	LEXINGTON DR., C.	MAKE IT POP	12/4/2023	120
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/4/2023	100
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/4/2023	250
Re-Roof	137	BEAR CREEK CIRCLE	BEST CHOICE ROOFING	12/4/2023	810
Re-Roof	126	BEAR CREEK CIRCLE	JACK DONALD	12/4/2023	612
Gas Commercial	135	INDUSTRIAL DR	STOIC EQUITY	11/30/2023	50
Sign	125	KIMBALL DR	CPS POOLS AND SPAS INC	11/29/2023	60
Addition Commercial	346	CHURCH RD	WEN HUA TANG	11/28/2023	766
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	11/28/2023	20
Sign	232	OLD JACKSON RD	HUNTER ENGINEERING	11/27/2023	70
Addition Commercial	124	KIMBALL DR	MYERS CONSTRUCTION	11/17/2023	847
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	11/16/2023	10
Re-Roof	219	FARMERS ROW	MARILYN CLARK	11/13/2023	189
Addition Commercial	203	CALHOUN STATION PKWY	SHREKA CLEVELAND	11/13/2023	1532
Addition Residential	109	SUNRISE COVE	JACOB BAIN	11/9/2023	702
New Building Commercial	346	CHURCH RD	BLURTON HOLDINGS INC	11/9/2023	100
Sign	154	CALHOUN STATION PKWY	METHODIST REHABILITATION CENT	11/6/2023	180
Electrical Residential	208	MUNICH COVE	GEORGE HEMBREE	11/1/2023	50
Sign	316	OLD JACKSON RD	PTS SPORTS PERFORMANCE	10/31/2023	90
Sign	1237	GLUCKSTADT ROAD	SONIC DRIVE IN	10/31/2023	180
Sign	316	OLD JACKSON RD	PTS SPORTS PERFORMANCE	10/31/2023	40
New Building Commercial	130B	AMERICAN WAY	A T & T	10/30/2023	250
New Building Commercial		CHURCH RD	S & D REALTY, LLC	10/30/2023	250
New Building Commercial		CHURCH RD	S & D REALTY, LLC	10/30/2023	100
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY	10/30/2023	250
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY	10/30/2023	100
Sign	124	KIMBALL DR. UNIT 100	TIMBER TAVERN, LLC	10/24/2023	100
Addition Commercial	384	CHURCH RD	LEE HUTCHINSON	10/20/2023	1357
Addition Commercial	124	KIMBALL DR	BTH PROPERTIES	10/20/2023	550
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	10/16/2023	10
Sign	1227	GLUCKSTADT ROAD	SUBWAY	10/10/2023	90

Solar	453	STOUT RD	JERRY BOULDIN	10/6/2023	398
Sign	154	CALHOUN STATION PKWY	METHODIST REHABILITATION CEN	10/5/2023	10
Sign	154	CALHOUN STATION PKWY	IMPROMPTU GIFTS AND BOUTIQU	9/26/2023	180
Re-Roof	107	BEAR CREEK	REGINALD WOODARD	9/26/2023	233
Addition Commercial	1240	GLUCKSTADT ROAD	CARDINAL HEALTH	9/14/2023	0
Sign	141	W SOWELL RD	BRANDON SERVICE COMPANY	9/12/2023	60
Sign	102	DEES DR	WON WOK	9/7/2023	90
New Building Commercial		BUSINESS PARK DR	JOHN GOOCH	9/1/2023	2027
Addition Residential	103	GERMANTOWN RD	JEFFREY GUY	8/31/2023	942
Addition Residential	200	PLANTERS COVE	ROBERT GIORDANO	8/31/2023	535
Addition Residential	130	RIDGEFIELD DR	TED CRAWLEY	8/21/2023	101
Sign	154	CALHOUN STATION PKWY	GLUCKSTADT PHARMACY	8/9/2023	180
Sign	1706	HIGHWAY 51	BUMPERS DRIVE IN	8/4/2023	20
Sign	102	LONE WOLF DR	BLACK DIAMOND RACING CUSTO	8/4/2023	60
Sign	113	DEES DR	SIGNATURE SMILES	8/4/2023	10
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	8/3/2023	10
Addition Residential	108	PERRY COVE	DAVID TULLOS	8/2/2023	101
Addition Commercial	102	DEES DR	TONY VU dba VU CONTRACTORS	8/2/2023	500
Addition Residential	102	DEES DR	TONY VU dba VU CONTRACTORS	8/1/2023	0
Sign	195	INDUSTRIAL BLVD	SANHUA INTERNATIONAL, INC.	8/1/2023	60
Addition Commercial	359	OLD JACKSON RD	FASTENAL COMPANY	7/28/2023	685
New Building Commercial	264	CALHOUN STATION PKWY	CORNER AT CALHOUN STATION	7/28/2023	5332
Addition Commercial	210	N INDUSTRIAL DR	WESTLAKE CHEMCIAL	7/28/2023	1552
Sign	154	CALHOUN STATION PKWY	SIMPLI NAIL SPA LLC	7/21/2023	180
Sign	1265	GLUCKSTADT ROAD	HOMEWELL CARE SERVICES	7/21/2023	60
Re-Roof	168	HUNTERS ROW	MORAIN TONY	7/18/2023	145
Sign	102	DEES DR	EL SOMBRERO	7/17/2023	20
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	7/10/2023	10
New Building Commercial	311	CALHOUN STATION PKWY	CALHOUN STATION	7/6/2023	4332
Accessory Residential	127	RIDGEFIELD DR	RNC SERVICES LLC	7/5/2023	550
Sign	111	AULENBROCK DR	CHRISTIAN LEARNING CENTER	6/28/2023	60
New Building Commercial	1025	GLUCKSTADT RD	GLUCKSTADT PLACE	6/28/2023	4582
New Building Commercial	1	KAYO DR	KAYO PLACE	6/23/2023	2017
Sign	102	DEES DR	MISSISSIPPI CANDY COMPANY	6/19/2023	90
Addition Commercial	300	YANDELL RD	MADISON CROSSING ELEM SCHC	6/15/2023	0
Fence	102	LONE WOLF DRIVE	TINO'S PET GROOMING LLC	6/15/2023	50
Sign	102	LONE WOLF DRIVE	TINO'S PET GROOMING LLC	6/12/2023	60
Sign	1743	HIGHWAY 51	BRYAN TIRES SREVICE	6/7/2023	60
Sign	111	DEES DRIVE	3 HOUSES	6/6/2023	90
Sign	108	DEES DRIVE	BURGER KING	6/6/2023	30
Sign	1240	GLUCKSTADT ROAD	CARDINAL HEALTH	6/1/2023	10
New Building Commercial	409	CALHOUN STATION PKWY	MADISON COUNTY SCHOOL DIST	5/30/2023	0
Sign	154	CALHOUN STATION PKWY	TIME 4 TOYS	5/24/2023	90
Sign	154	CALHOUN STATION PKWY	YAMI ASIAN RESTAURANT	5/24/2023	90

Mechanical Residential	103	COTTON COVE	AIRSOUTH, LLC	5/24/2023	167
Fence	125	KIMBALL DR	CPS POOLS AND SPAS INC	5/23/2023	50
Generator	216	CRESCENT RIDGE	Robert Hinton	5/19/2023	57
New Building Commercial	109	ENTERPRISE DRIVE	GREEN OAK	5/19/2023	1202
Generator	123	LAKESHIRE COVE	DEBBIE HARDEE	5/19/2023	244
Addition Residential	146	STRIBLING RD EXT	ZACH ETHERIDGE	5/18/2023	892
Sign	102	DEES DR BLG 300	MISSISSIPPI CANDY COMPANY	5/16/2023	10
Accessory Residential	111	MUIRFIELD PLACE	JACQUELINE PATTON	5/10/2023	0
Sign	138	W. SOWELL ROAD	CLASSIC RESTORATIONS, LLC	5/9/2023	95
Sign	576	CHURCH RD	STEEL TECHNOLOGIES	5/4/2023	10
Sign	1716	HIGHWAY 51	RIPTIDE OUTDOORS	4/19/2023	90
Electical Commercial	1267	GLUCKSTADT RD	DAMPIER LIGHTING	4/18/2023	50
Addition Commercial	155	CALHOUN STATION PKWY	SULLIVAN'S GROCERY	4/17/2023	332
Sign	240	AUTOBAHN LOOP	CRASH CHAMPIONS	4/14/2023	40
Addition Residential	216	CRESCENT RIDGE	Robert Hinton	3/29/2023	222
Fence	111	AULENBROCK DR	CHRISTIAN LEARNING CENTER	3/28/2023	50
Sign	102	DEES DR	MAGNOLIA HEMP COMPANY	3/28/2023	90
Addition Commercial	195	INDUSTRIAL BLVD	CADENA SMITH, LLC	3/20/2023	79
Gas Residential	105	ARRINGTON DR	JOHN DYKES	3/17/2023	50
Addition Residential	113	MUIRFIELD PLACE	LARRY FRANKLIN	3/15/2023	57
Re-Roof	111	FIRST COLONY BLVD	GUARANTEED ROOFING COMPANY	3/10/2023	299
Sign	103	TRUSTMARK DR	TRUSTMARK NATIONAL BANK	3/7/2023	360
New Building Commercial	800	SAHLER LANE	FIT CHEF	3/6/2023	0
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	0
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	0
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	0
Gas Residential	131	SUNRISE COVE	BUTLER PLUMBING	3/3/2023	85
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	0
Sign	1715	HIGHWAY 51	BOO'S SMOKEHOUSE BBQ LLC	3/1/2023	10
Accessory Residential	175	BRADFIELD DR	MARQUEUS DRAPER	3/1/2023	24
Sign	154	CALHOUN STATION PKWY	SOULSHINE PIZZA	2/22/2023	100
Sign	112	LONE WOLF DR	SCOTT C WOODS & ASSOC P. A.	2/16/2023	30
New Building Commercial	102	DEES DR	4 SEASONS NAILS	2/16/2023	0
Driveway	101	FIRST CHOICE DR	FIRST CHOICE DRIVE LLC	2/10/2023	50
Sign	1091	GLUCKSTADT RD	DOMINO'S	2/8/2023	0
Sign	160	WEISENBERGER RD	KEBAB & CURRY	2/7/2023	0
Sign	112	LONE WOLF DR	SCOTT C WOODS & ASSOC P. A.	2/7/2023	0
Sign	115	AULENBROCK DR	WEEMS MCDONALD	2/7/2023	0
Sign	124	LONE WOLF DR	FUTURE LABS, LLC	2/7/2023	0
New Building Commercial	346	CHURCH RD	JLS CONSTRUCTION	2/6/2023	25
Driveway	347	DISTRIBUTION DR	CLARK RENTAL AND SUPPLY	2/2/2023	50
Sign	116	LONE WOLF DRIVE	HYDRONIC TECHNOLOGY	1/31/2023	0
Sign	102	DEES DR	EPIC DONUT/STONE GROUND CO	1/30/2023	90
Sign	166	CALHOUN STATION PKWY	TWISTED TURNIP	1/30/2023	200



Electical Commercial	200	CALHOUN STATION PKWY	GERMANTOWN HIGH SCHOOL	1/26/2023	50
Sign	1715	HIGHWAY 51	BOO'S SMOKEHOUSE BBQ LLC	1/26/2023	90
Addition Commercial	102	DEES DR	SOUTHERN MAGNOLIA HEMP CO	1/26/2023	921
Sign	104	CHURCH RD	PRIORITY ONE BANK	1/25/2023	450
Sign	333	DISTRIBUTION DR	GLUCKSTADT BODY SHOP	1/25/2023	60
Addition Commercial	128	WEISENBERGER RD	BMC GENERAL CONTRACTORS LL	1/24/2023	1477
Sign	112	LEXINGTON DR	THE OFFICE	1/19/2023	90
Sign	105	LEXINGTON DR	BUDGET BLINDS	1/19/2023	0
Sign	272	CALHOUN STATION PKWY	JOHNNY'S PIZZA	1/17/2023	0
Sign	105	LEXINGTON DR	MAGNOLIA CONCESSIONS LLC	1/13/2023	60
Sign	124	ENTERPRISE DR	SOUTHERNEASTERN AUTOMATIC	1/13/2023	60
Sign	111	DEES WAY	GO SHINE EXPRESS CARWASH	1/12/2023	0
Sign	109	AULENBROCK DR	HARTLEY EQUIPMENT	1/12/2023	0
New Building Commercial	1	BLDG C CALHOUN STATI	AOK PROPERTIES LLC	1/11/2023	0
Sign	102	LEXINGTON DR	DOGWOOD OFFICE CENTER	1/10/2023	0
Sign	155	AMERICAN WY	DIXIE EQUINE	1/10/2023	140
Sign	115	LONE WOLF DR	ETAIROS VHAC	1/10/2023	60
Sign	243	INDUSTRIAL DR	BEN NELSON GOLF & OUTDOOR	1/10/2023	0
Sign	331	DISTRIBUTION DR	GULF EQUIPMENT CORPORATION	1/9/2023	60
Sign	168	AMERICAN WAY	BOH INC	1/9/2023	60
Sign	184	AMERICAN WAY	AFTERZONE, LLC	1/5/2023	60
Sign	1706	HIGHWAY 51	ALPHA FINANCIAL & TAX SERVICE	1/5/2023	60
Sign	100	FIRST CHOICE DR	DEPENDABLE PEST SERVICE INC	1/3/2023	95
New Building Commercial	1091	GLUCKSTADT RD	ALTHLETICO PHYSICAL THERAPY	12/29/2022	100
Sign	120	YANDELL RD	OUTLETS OF MISSISSIPPI	12/28/2022	44
Sign	137	YANDELL RD	BAMBOO EXPRESS	12/28/2022	180
Sign	555	INDUSTRIAL DR S	V2X	12/28/2022	125
Sign	102	DEES DR BLDG 300	SOPHIE'S MILKSHAKES & SUNDAE	12/28/2022	90
Sign	102	DEES DR	GERMANTOWN DENTAL	12/28/2022	190
Sign	114	DEES DR	GLUCKSTADT FITNESS	12/28/2022	95
Accessory Commercial	103	DEES DR	4 SEASONS	12/21/2022	24
Accessory Commercial	238	WEISENBERGER RD	4 SEASONS	12/21/2022	24
New Building Commercial	130B	AMERICAN WAY	GREEN STEEL COATINGS	12/21/2022	0
Accessory Commercial	154	CHURCH RD	4 SEASONS	12/21/2022	24
Mechanical Commercial	166	CALHOUN STATION PKWY	PRO SERVICE LLC	12/19/2022	96
Electical Commercial	195	INDUSTRIAL BLVD	COVINGTON ELECTRIC	12/15/2022	261
Sign	1085	GLUCKSTADT PLACE	GLUCKSTADT PLACE	12/14/2022	60
New Building Commercial	154	CALHOUN STATION PKWY	ANTHONY MORRISON	12/13/2022	0
Sign	2125	HIGHWAY 51	W L BURLE ENGINEERS P A	12/12/2022	0
New Building Residential		082E-15-037/00.00	AMANDA LORIAN	12/9/2022	0
AC Change Out		082E-15-037/00.00	Rachel Sargent	12/9/2022	0
Sign	102	DEES DR	4 SEASON NAILS	12/2/2022	0
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	11/23/2022	0
New Building Commercial	124	KIMBALL DR	BTH PROPERTIES	8/7/2022	0

### City of Gluckstadt

### Application for Conditional Use

Subject Property Address: 137, Yandell - Rd. Canton MS 39046  
Parcel #: \_\_\_\_\_

Owner: RAJINDER SINGH  
Address: 150, BIENVILLE DRIVE  
MADISON, MS - 39110

Applicant: Moises Almanza  
Address: 407 Shady brook Rd.  
Ridgeland MS

Phone #: 601-291-1386  
E-Mail: Kp.Fuel24@gmail.com

Phone #: 6015213451  
E-Mail: muy-roja@hotmail.com

Current Zoning District: \_\_\_\_\_  
Acreage of Property (If applicable): \_\_\_\_\_  
Use sought of Property: \_\_\_\_\_

#### Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

#### Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

  
Applicant Signature

12/19/24  
Date

  
Property Owner Signature

12/19/24  
Date

Brother Tacos  
137 Yandell Road  
Gluckstadt Ms 39046  
601-708-6337  
12/19/2025

To whom it may concern,

I hope this message finds you well. I am writing to request an expansion of my labor hours to accommodate a client request. They have expressed a preference for visiting our food services after their labor hours (5:30 PM) and I believe this would be a great opportunity to further enhance their experience with us.

Given that this request aligns with our goal of providing excellent service and meeting client needs, I feel that extending my hours will allow me to better assist in ensuring a smooth and enjoyable visit for this customer. This change would also enable us to capture potential business.

If you have any concern please reach out to me at 601-708-6337

Thank you!

A handwritten signature in black ink, appearing to be 'Alberto Lopez', written in a cursive style.

**COMMERCIAL LEASE**

This Lease Agreement (this "Lease") is dated as of ~~May 16~~ <sup>August 14,</sup> 2024, by and between yandell shell llc ("Landlord"), and victor sanchez ("Tenant"). The parties agree as follows:

**PREMISES.** Landlord, in consideration of the lease payments provided in this Lease, leases to Tenant front right corner for food truck (the "Premises") located at 137 yandell road, canton, MS 39046.

**TERM.** The lease term will begin on 09/01/24 and will terminate on 08/31/25.

**LEASE PAYMENTS.** Tenant shall pay to Landlord monthly installments of \$1,500.00, payable in advance on the first day of each month. Lease payments shall be made to the Landlord at 137 yandell road, canton, Mississippi 39046. The payment address may be changed from time to time by the Landlord.

**SECURITY DEPOSIT.** At the time of the signing of this Lease, Tenant shall pay to Landlord, in trust, a security deposit of \$1,500.00 to be held and disbursed for Tenant damages to the Premises (if any) as provided by law.

**POSSESSION.** Tenant shall be entitled to possession on the first day of the term of this Lease, and shall yield possession to Landlord on the last day of the term of this Lease, unless otherwise agreed by both parties in writing. At the expiration of the term, Tenant shall remove its goods and effects and peaceably yield up the Premises to Landlord in as good a condition as when delivered to Tenant, ordinary wear and tear excepted.

**USE OF PREMISES.** Tenant may use the Premises only for food truck. The Premises may be used for any other purpose only with the prior written consent of Landlord, which shall not be unreasonably withheld. Tenant shall notify Landlord of any anticipated extended absence from the Premises not later than the first day of the extended absence.

**PROPERTY INSURANCE.** Tenant shall maintain casualty insurance on the Premises in an amount not less than \$0.00. Landlord shall be named as an additional insured in such policies. Tenant shall deliver appropriate evidence to Landlord as proof that adequate insurance is in force issued by companies reasonably satisfactory to Landlord. Landlord shall receive advance written notice from the insurer prior to any termination of such insurance policies. Tenant shall also maintain any other insurance which Landlord may reasonably require for the protection of Landlord's interest in the Premises. Tenant is responsible for maintaining casualty insurance on its own property.

**RENEWAL TERMS.** This Lease shall automatically renew for an additional period of 2 months per renewal term, unless either party gives written notice of termination no later than 1 month days prior to the end of the term or renewal term. The lease terms during any such renewal term shall be the same as those contained in this Lease except that the lease installment payments shall be \$1,500.00 per month.

**TAXES.** Taxes attributable to the Premises or the use of the Premises shall be allocated as follows:

**REAL ESTATE TAXES.** Landlord shall pay all real estate taxes and assessments for the Premises.

**PERSONAL TAXES.** Landlord shall pay all personal taxes and any other charges which may be levied against the Premises and which are attributable to Tenant's use of the Premises, along with all sales and /or use taxes (if any) that may be due in connection with lease payments.

**TERMINATION UPON SALE OF PREMISES.** Notwithstanding any other provision of this Lease, Landlord may terminate this lease upon 1 month days' written notice to Tenant that the Premises have been sold.

**DEFAULTS.** Tenant shall be in default of this Lease if Tenant fails to fulfill any lease obligation or term by which Tenant is bound. Subject to any governing provisions of law to the contrary, if Tenant fails to cure any financial obligation within 5 days (or any other obligation within 10 days) after written notice of such default is provided by Landlord to Tenant, Landlord may take possession of the Premises without further notice (to the extent permitted by law), and without prejudicing Landlord's rights to damages. In the alternative, Landlord may elect to cure any default and the cost of such action shall be added to Tenant's financial obligations under this Lease. Tenant shall pay all costs, damages, and expenses (including reasonable attorney fees and expenses) suffered by Landlord by reason of Tenant's defaults. All sums of money or charges required to be paid by Tenant under this Lease shall be additional rent, whether or not such sums or charges are designated as "additional rent". The rights provided by this paragraph are cumulative in nature and are in addition to any other rights afforded by law.

**HOLDOVER.** If Tenant maintains possession of the Premises for any period after the termination of this Lease ("Holdover Period"), Tenant shall pay to Landlord lease payment(s) during the Holdover Period at a rate equal to the normal payment rate set forth in the Renewal Terms paragraph.

**CUMULATIVE RIGHTS.** The rights of the parties under this Lease are cumulative, and shall not be construed as exclusive unless otherwise required by law.

**NON-SUFFICIENT FUNDS.** Tenant shall be charged \$200.00 for each check that is returned to Landlord for lack of sufficient funds.

**ACCESS BY LANDLORD TO PREMISES.** Subject to Tenant's consent (which shall not be unreasonably withheld), Landlord shall have the right to enter the Premises to make inspections, provide necessary services, or show the unit to prospective buyers, mortgagees, tenants or workers. However, Landlord does not assume any liability for the care or supervision of the Premises. As provided by law, in the case of an emergency, Landlord may enter the Premises without Tenant's consent. During the last three months of this Lease, or any extension of this Lease, Landlord shall be allowed to display the usual "To Let" signs and show the Premises to prospective tenants.

**INDEMNITY REGARDING USE OF PREMISES.** To the extent permitted by law, Tenant agrees to indemnify, hold harmless, and defend Landlord from and against any and all losses, claims, liabilities, and expenses, including reasonable attorney fees, if any, which Landlord may suffer or incur in connection with Tenant's possession, use or misuse of the Premises, except Landlord's act or negligence.

**DANGEROUS MATERIALS.** Tenant shall not keep or have on the Premises any article or thing of a dangerous, flammable, or explosive character that might substantially increase the danger of fire on the Premises, or that might be considered hazardous by a responsible insurance company, unless the prior written consent of Landlord is obtained and proof of adequate insurance protection is provided by Tenant to Landlord.

**COMPLIANCE WITH REGULATIONS.** Tenant shall promptly comply with all laws, ordinances, requirements and regulations of the federal, state, county, municipal and other authorities, and the fire insurance underwriters. However, Tenant shall not by this provision be required to make alterations to the exterior of the building or alterations of a structural nature.

**MECHANICS LIENS.** Neither the Tenant nor anyone claiming through the Tenant shall have the right to file mechanics liens or any other kind of lien on the Premises and the filing of this Lease constitutes notice that such liens are invalid. Further, Tenant agrees to (1) give actual advance notice to any contractors,

subcontractors or suppliers of goods, labor, or services that such liens will not be valid, and (2) take whatever additional steps that are necessary in order to keep the premises free of all liens resulting from construction done by or for the Tenant.

**DISPUTE RESOLUTION.** The parties will attempt to resolve any dispute arising out of or relating to this Agreement through friendly negotiations amongst the parties. If the matter is not resolved by negotiation, the parties will resolve the dispute using the below Alternative Dispute Resolution (ADR) procedure.

Any controversies or disputes arising out of or relating to this Agreement will be submitted to mediation in accordance with any statutory rules of mediation. If mediation does not successfully resolve the dispute, then the parties may proceed to seek an alternative form of resolution in accordance with any other rights and remedies afforded to them by law.

**ASSIGNABILITY/SUBLETTING.** Tenant may not assign or sublease any interest in the Premises, nor effect a change in the majority ownership of the Tenant (from the ownership existing at the inception of this lease), nor assign, mortgage or pledge this Lease, without the prior written consent of Landlord, which shall not be unreasonably withheld.

**NOTICE.** Notices under this Lease shall not be deemed valid unless given or served in writing and forwarded by mail, postage prepaid, addressed as follows:

**LANDLORD:**

yandell shell llc  
137 yandell road  
canton, Mississippi 39046

**TENANT:**

victor sanchez  
137 yandell road  
canton, MS 39046

Such addresses may be changed from time to time by any party by providing notice as set forth above. Notices mailed in accordance with the above provisions shall be deemed received on the third day after posting.

**GOVERNING LAW.** This Lease shall be construed in accordance with the laws of the State of Mississippi.

**ENTIRE AGREEMENT/AMENDMENT.** This Lease Agreement contains the entire agreement of the parties and there are no other promises, conditions, understandings or other agreements, whether oral or written, relating to the subject matter of this Lease. This Lease may be modified or amended in writing, if the writing is signed by the party obligated under the amendment.

**SEVERABILITY.** If any portion of this Lease shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this Lease is invalid or unenforceable, but that by limiting such provision, it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.

**WAIVER.** The failure of either party to enforce any provisions of this Lease shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Lease.

**ORDER APPROVING AND GRANTING A CONDITIONAL USE PERMIT  
ALLOWING EXTENDED HOURS OF OPERATION OF A FOOD TRUCK  
ON PROPERTY LOCATED AT 137 YANDELL ROAD, IN A DISTRICT ZONED C-2,  
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by applicant, Moses Almonza (Brothers Tacos), the issue of whether a Conditional Use allowing extended hours of operation of a food truck in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Conditional Use as permitted by Section 2202 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt’s Official Zoning Ordinance of Dec. 16, 2021, to Applicant, allowing extended hours of operation of a food truck in a district zoned C-2, subject property being located at 137 Yandell Road in the City of Gluckstadt; and

WHEREAS, the Applicant advises the City the real property is owned by Rajinder Singh, and Applicant is planning to operate his Brothers Tacos food truck with extended hours on the subject property; and

WHEREAS, the City of Gluckstadt scheduled a public hearing on said Application for January 28, 2025, at 6:00 o'clock p.m. before the City’s Planning and Zoning Commission. After review of the Application by the Planning and Zoning Commission of the City of Gluckstadt – the Board was advised that the Planning and Zoning Commission at its January 28, 2025, meeting, recommended denial of the requested conditional use allowing Applicant to operate his Brothers Tacos food truck with extended hours on the subject property; and



WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice the Planning and Zoning Commission of the City of Gluckstadt, Mississippi did conduct a full and complete public hearing on the Application on January 28, 2025, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Planning and Zoning Commission upon conclusion of its January 28, 2025, meeting recommended in writing that the Board of Aldermen deny the request for a Conditional Use; and

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application;

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant to grant a Conditional Use for subject property being located at 137 Yandell Road in the City of Gluckstadt allowing Applicant to

operate his Brothers Tacos food truck with extended hours is hereby granted; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Conditional Use.
4. The requested designation of a food truck is within an allowable use of a Conditional Use of the Zoning Ordinance. See also, Ordinance No. 2024-04 (Food Truck Ordinance).
5. The subject property described herein, below, is within a zoning district zoned C-2:  

Located at 137 Yandell Road, in the City of Gluckstadt, Madison County, Mississippi
6. The Conditional Use will promote the general welfare of the City of Gluckstadt and will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matters will allow the City to continue to monitor the area.
7. The establishment of this Conditional Use is not detrimental to the public health, safety, or general welfare, and this Conditional Use is compatible with the existing and intended character of the surrounding zoning district.
8. The Mayor and Board of Aldermen find that all portions of Section 805.01 (A) - (I) of the Zoning Ordinance have also been complied with and that all requirements of

Section 805.01 (A) - (I) of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Planning and Zoning Commission and to the Mayor and Board of Aldermen.

- 9. The granting of this Conditional Use does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Conditional Use is granted with the following additional conditions:

---



---



---

ORDERED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_ 2025.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN  
OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI  
DENYING A CONDITIONAL USE PERMIT FOR PROPERTY  
LOCATED AT 137 YANDELL ROAD,  
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, Moses Almonza (Brothers Tacos) (the "Applicant"), did file an Application for a Conditional Use Permit on property described herein, which property is located in a C-2 Highway Commercial District Classification under the City of Gluckstadt Zoning Ordinance of December 16, 2021 (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Planning and Zoning Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affects the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows, to-wit;

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined, and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of a Conditional Use Permit as required by Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied by the Applicant regarding the granting of a Conditional Use Permit allowing extended hours of operation of a food truck in a district zoned C-2.

SECTION 3. That the Application to grant a Conditional Use Permit pursuant to Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, on the following described property, be and same is hereby denied. The property referenced in the Application (the "property") is described as follows:

Located at 137 Yandell Road, in the City of Gluckstadt, Madison County, Mississippi

SO RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting held on \_\_\_\_ day of \_\_\_\_\_, 2025.

The motion for adoption was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the motion carried and the Resolution adopted.

The foregoing Resolution is approved, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**REQUEST FOR DIMENSIONAL VARIANCE**  
**APPLICATION**

Subject Property Address: 342 Old Jackson Rd., Madison 39110  
 Owner: Sam Martin (The Martin Firm) Applicant: Sam Martin  
 Address: 513 N. State St. Suite 200 Jackson, MS 39201 Address: 513 N. State St., Suite 200 Jackson, MS 39201  
 Phone No. 601-624-2678 Phone No. 601-624-2678  
 Current Zoning District: C-2

**Requirements of Applicant:**

1. Letter stating reason for requested dimensional variance.
2. Copy of the written legal description.
3. Site plan, building elevations and floor plan drawings on 8.5" x 11".
4. Four complete sets of working plans.
5. Proposed signage to include color and size.
6. \$250.00 fee required for processing.

**Requirements for Granting Variances: (Section 3004.01 – Zoning Ordinance)**

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.
- (b). Applicant shall demonstrate that literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or buildings in the same district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

Sam Martin  
Applicant Signature

12/18/2024  
Date

Sam Martin  
Property Owner Signature

12/18/2024  
Date



**IN THE CITY OF GLUCKSTADT, MISSISSIPPI**

**THE MARTIN FIRM PLLC AND  
GLUCKSTADT OFFICE PARK LLC**

**PETITIONERS**

**PETITION FOR REQUEST FOR DIMENSIONAL VARIANCE**

Comes Now, The Martin Firm PLLC and Gluckstadt Office Park LLC, hereinafter referred to as “Petitioners”, and files this Petition for Request for Dimensional Variance and in support thereof, Petitioners specify the following:

**FACTS**

1. The subject property address is 342 Old Jackson Road, Madison, MS 39110.
2. The current property is zoned C-2 Highway Commercial District.
3. A copy of the legal descriptions for the subject properties is attached as Exhibit A. A copy of the Site Plan and floor plan drawings are attached as Exhibit B.
4. The subject property is currently 2.56 acres and has a residential home on the property. Upon information and belief, the home and its outbuildings have been on the property for more than fifty years.
5. At this time, the 2.56 acre parcel contains a home and two buildings that are adjacent to the home. Petitioners are purchasing parcels that will be separated from the main 2.56 acres for purposes of development. As evident from the legal descriptions of the subject properties, one parcel contains the original home and another building and consists of .95 acres (referred to as “Tract 3” in Exhibit A). Tract 1 in Exhibit A contains a shop and consists of .52 acres. Tract 2 consists of .99 acres and is connected to Old Jackson Road through an Easement. As detailed in the Site Plan

attached as Exhibit B, the existing buildings on Tract 1 and Tract 3 will be renovated and converted into office space. Commercial buildings will be built on Tract 2.

6. Tract 1 is 74.29 feet wide. Tract 2 is 161.11 feet wide. Tract 3 is 134.95 feet wide.

**VARIANCE REQUEST**

This petition is submitted on behalf of Petitioners seeking a dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.03, which requires a minimum lot width of 200 feet for Commercial C-2 parcels. The petitioner respectfully requests the Board to grant the variance for these Tracts based on the following grounds detailed herein.

Under Mississippi law and according to Section 3004.01 of Gluckstadt’s Zoning Ordinance, a variance shall not be granted unless the applicant demonstrates:

“A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district.

B. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

C. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.”

In regards to Section 3004.01(A), as detailed above, the subject properties contain existing structures that have been on the properties for half a century. The properties also contain many mature oak, willow, maple, and pine trees that are unique to this district of the City. The

property is narrow and almost twice as long east to west than north and south along the roadway. These conditions are peculiar and not applicable to the other areas in this district.

The requirements of Section 3004.01(B) are also satisfied as literal interpretation of the minimum yard requirements would prohibit the Petitioners from being able to use almost all the property for its intended commercial purpose, and as such, would deprive them of the rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

In regards to Section 3004.01(C), Section 17-1-9 of Mississippi Code of 1972 provides that zoning regulations “shall be made with reasonable consideration, among other things, to the character of the district and its peculiar suitability for particular uses, and with a view to conserving the value of buildings, and encouraging the most appropriate use of land throughout such municipality.” Petitioners desire to use their parcels in a manner suitable to its subject zoning and with an eye towards conserving the existing buildings and tree cover. Upon information and belief, many of the subject properties within the district do not meet the minimum yard requirement of the Ordinance. While many of these properties may have been “grandfathered” in when the City of Gluckstadt was incorporated in 2021, granting this variance would not provide a special privilege that is denied by this Ordinance to other properties in the same district.

The requested variance constitutes the minimum allowable deviation from the dimensional regulations to make possible the responsible use of the land, buildings and structures existing on the property. Without a variance for the subject properties, the only other development that could occur on the property would require the demolition of three existing buildings that have been on the property for generations, along with cutting down and grading of many “legacy” trees that provide unique and valuable tree cover in the subject district. This

would not be feasible for the Petitioners or many potential developers and would most likely result in an area that is zoned for commercial use, never achieving its full potential for development and impact in the local community. Simply put, this variance allows the property to be developed to its highest and best use, while providing office space and other commercial buildings that are currently lacking in the City.

The Mississippi Supreme Court has stated that “the variance or exception should not be granted unless the proposed use of the property is within the *spirit* of the zoning regulations.” *Westminster Presbyterian Church v. Jackson*, 252 Miss. 495, 176 So.2d 267, 272 (Miss. 1965)(emphasis added). The proposed development of these parcels will satisfy the spirit of Gluckstadt’s zoning regulations and will be the subject property’s best and most efficient use. By granting the requested variance, the property can retain some of its original characteristics that make this area of Gluckstadt unique, while providing new commercial development and updating and modernizing the buildings on the property to fit the district.

The granting of this dimensional variance will be in harmony with the general purpose and intent of Gluckstadt’s Zoning Ordinance and will not be injurious to the neighborhood or otherwise detrimental to the public welfare. The “neighborhood” surrounding the subject property consists of properties for many miles around that are zoned I-2 (Heavy Industrial District) and C-2 (Highway Commercial District). The properties that are immediately adjacent to the subject property are zoned A-1 (Agricultural District). However, upon information and belief, and based off Gluckstadt’s growth patterns, these properties will be zoned for a commercial purpose eventually and such action would be the properties highest and best use considering its location and adjacent properties. Additionally, the granting of this dimensional variance will not be detrimental to the public welfare as the proposed development of the

property will consist of smaller offices and retail uses and will have less of an impact on traffic and road safety than other uses allowed in C-2 Commercial districts.

**CONCLUSION**

Based on the foregoing, the petitioner respectfully requests that the Board grant the dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.03, which requires a minimum lot width of 200 feet for Commercial C-2 parcels, for the subject parcels.

Respectfully submitted, this the 18<sup>th</sup> day of December, 2024.

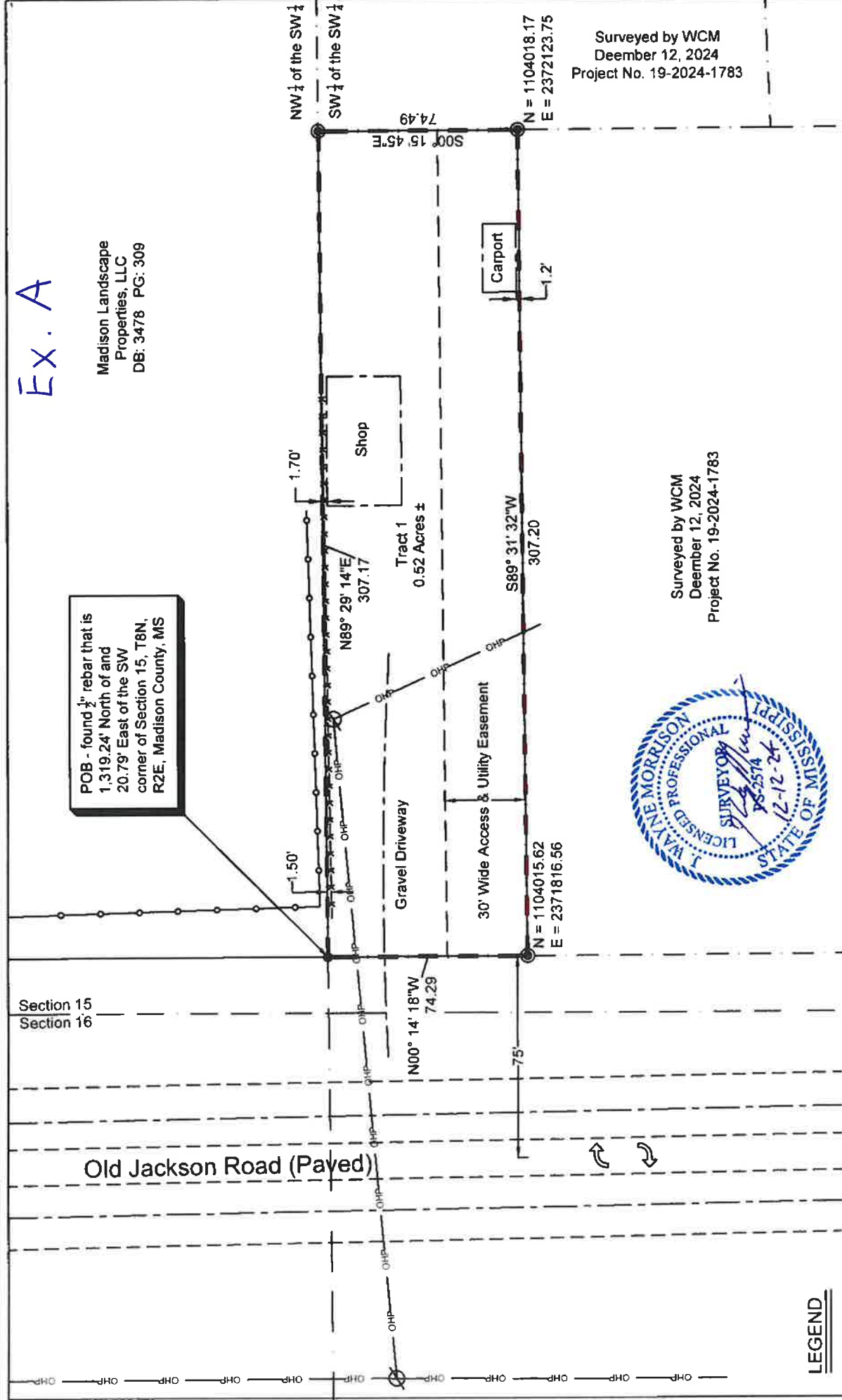
For Petitioners:

By:   
Samuel C. Martin [MSB #105829]  
The Martin Firm PLLC  
513 North State Street, Suite. 200, Jackson, MS 39201  
P.O. Box 161, Flora, MS 39071  
(601) 624-2678  
Sam@MartinFirmMS.com

EX. A

Madison Landscape Properties, LLC  
DB: 3478 PG: 309

POB - found 1/2" rebar that is 1,319.24' North of and 20.79' East of the SW corner of Section 15, T8N, R2E, Madison County, MS



Surveyed by WCM  
Deember 12, 2024  
Project No. 19-2024-1783

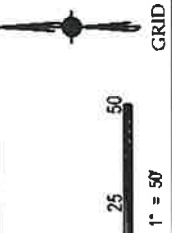
Surveyed by WCM  
Deember 12, 2024  
Project No. 19-2024-1783



Section 9, Item C)

DRAWN BY: CHUCK MCGINTY  
DATE: 12/24/2024  
PARTY CHIEF: JAKE FL  
SIC - MS WEST  
DERIVED BY: GPS-RTK OBSERV  
JOB NUMBER: 19-2  
CLASS "B"  
FIELD WORK: 11  
WILLIAMS, CLARK & MORRIS  
CONSULTING ENGINEERS & SUR  
(662) 746-1863  
P.O. BOX 567 215 SOUTH MAIN  
YAZOO CITY, MISSISSIPPI

MISSISSIPPI STATE PLANE COORDINATE  
SYSTEM WEST ZONE, NAD83  
SCALE FACTOR: 0.99995653  
CONVERGENCE ANGLE: 00° 07' 55"



SURVEY PLAT PREPARED FOR:  
TYLER GOOLSBY

SEC. 15, T-8-N, R-2-E  
MADISON COUNTY, MISSISSIPPI

**LEGEND**

- POB POINT OF BEGINNING
- SIP SET IRON PIN 1/2" X 18" REBAR
- PROPERTY CORNERS - IRON PIN SET
- PROPERTY CORNERS - IRON PIN FOUND
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OHP OVER HEAD POWER
- RIGHT OF WAY
- PROPERTY LINE 1

I hereby certify that this survey meets the standards for a Class 'B' survey found in the standards of Practice For Surveying, Appendix 'A'

Tyler Goolsby

Tract 1

A tract or parcel of land containing 0.52 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found ½ inch rebar that is 1,319.24 feet North of and 20.79 feet East of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 89 degrees 29 minutes 14 seconds East for a distance of 307.17 feet to a set ½ inch rebar;

Thence run South 00 degrees 15 minutes 45 seconds East for a distance of 74.49 feet to a set ½ inch rebar;

Thence run South 89 degrees 31 minutes 32 seconds West for a distance of 307.20 feet to a set ½ inch rebar on the East Right of Way of Old Jackson Road;

Thence urn North 00 degrees 14 minutes 18 seconds West, along said Right of Way, for a distance of 74.29 feet, back to the POINT OF BEGINNING.

Also: there is a 30 feet wide access/utility easement reserved along the Southern 30 feet of the above described tract to benefit a 0.99 acre tract on the East end of the above described tract.

Note: All set ½ inch rebars have a plastic cap that has C.O.A. S-64 engraved in it.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.  
Engineers and Surveyors  
213 South Main Street  
Yazoo City, MS 39194  
662-746-1863

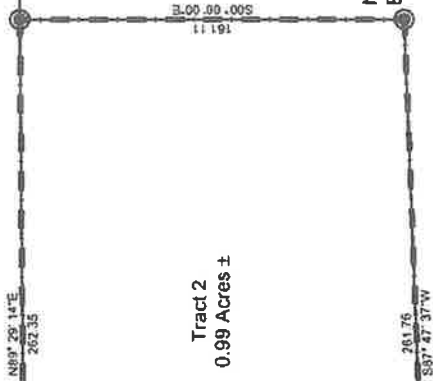
Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.



Madison Landscape Properties, LLC  
 DB: 3478 PG: 309

N = 1104092.66  
 E = 2372123.41

NW 1/4 of the SW 1/4  
 SW 1/4 of the SW 1/4



Tract 2  
 0.99 Acres ±

Surveyed by WCM  
 December 12, 2024  
 Project No. 19-2024-1783

Shop

Carport

30' Width Access/Utility Easement

House

POB - found 3/4\"/>

Christy Stanley & John Dorsey  
 DB: 3508 PG: 910

**LEGEND**

- POB POINT OF BEGINNING
- SIP SET IRON PIN 1/2" X 18" REBAR
- PROPERTY CORNERS - IRON PIN SET
- PROPERTY CORNERS - IRON PIN FOUND
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OVER HEAD POWER
- OHP OVER HEAD POWER
- ROW RIGHT OF WAY
- PROPERTY LINE 2

I hereby certify that this survey meets the standards of Class 'B' survey found in the Standards of Practice For Surveying, Appendix 'A' x



MISSISSIPPI STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83  
 SCALE FACTOR: 0.99998653  
 CONVERGENCE ANGLE: 00° 07' 55\"/>



GRID  
 SEC. 15, T-8-N, R-2-E  
 MADISON COUNTY, MISSISSIPPI

SURVEY PLAT PREPARED FOR:  
 TYLER GOOLSBY

DRAWN BY: CHUCK MCGINTY  
 DATE: 10/24/2024  
 PARTY CHIEF: JAKE FLETCHER  
 SPC - MS WEST  
 DERIVED BY: GIPS-RTK OBSERVATION  
 JOB NUMBER: 19-2024-1783  
 CLASS "B" SURVEY  
 FIELD WORK: 10/24/2024

WILLIAMS, CLARK & MORRISON  
 CONSULTING ENGINEERS & SURVEYORS  
 (662) 746-1863  
 P.O. BOX 567 213 SOUTH MAIN  
 YAZOO CITY, MISSISSIPPI

Section 9, Item C)

Section 15

Section 16

Old Jackson Road (Paved)

75' ROW



Tyler Goolsby

Tract 2

A tract or parcel of land containing 0.99 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found 1/2 inch rebar that is 328.73 feet East of and 1,153.15 feet North of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 00 degrees 15 minutes 45 seconds West for a distance of 168.84 feet to a set 1/2 inch rebar;

Thence run North 89 degrees 29 minutes 14 seconds East for a distance of 262.35 feet to a set 1/2 inch rebar;

Thence run South 00 degrees 00 minutes 00 seconds east for a distance of 161.11 feet to a set 1/2 inch rebar;

Thence run South 87 degrees 47 minutes 37 seconds West for a distance of 261.76 feet, back to the POINT OF BEGINNING.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.  
Engineers and Surveyors  
213 South Main Street  
Yazoo City, MS 39194  
662-746-1863

Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

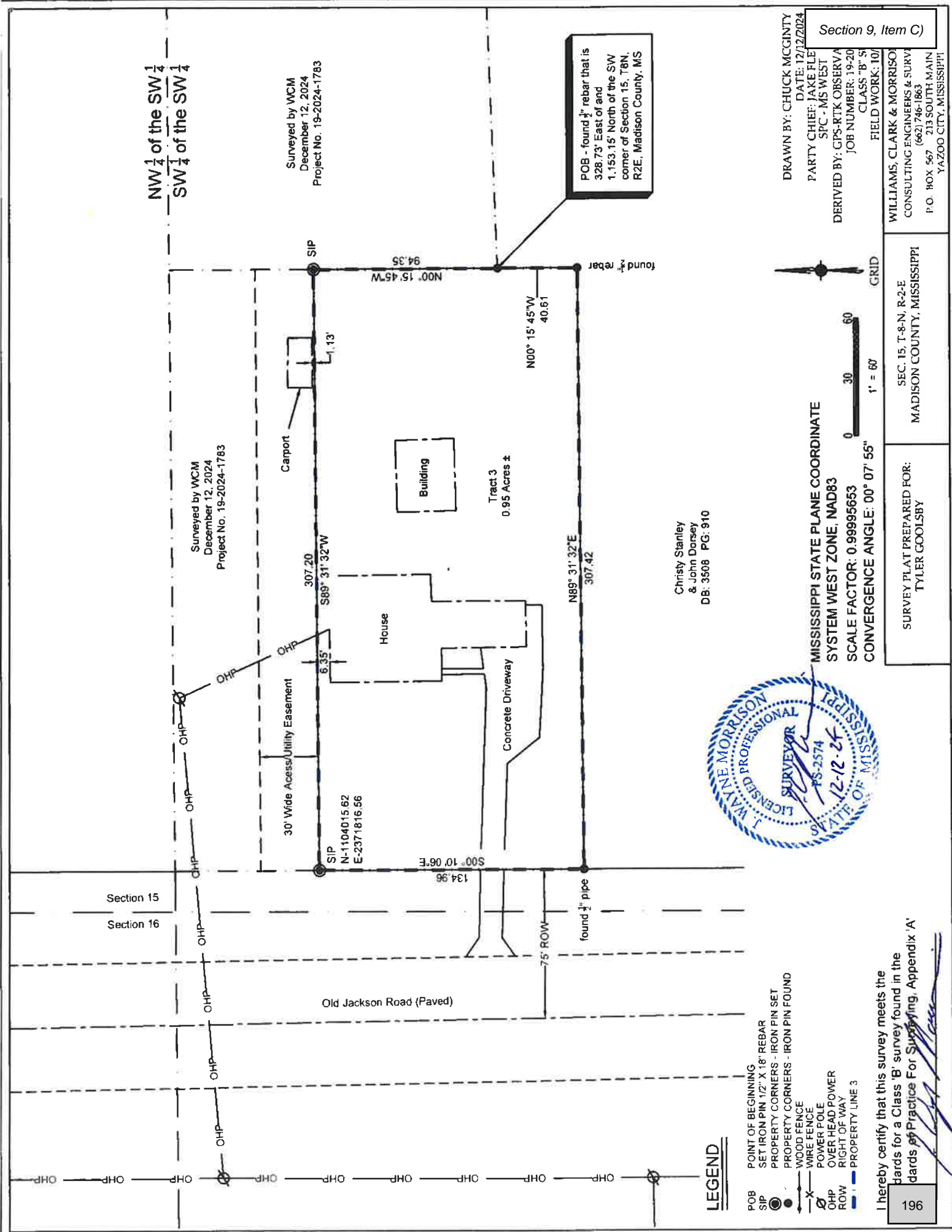


NW 1/4 of the SW 1/4  
SW 1/4 of the SW 1/4

Surveyed by WCM  
December 12, 2024  
Project No. 19-2024-1783

Surveyed by WCM  
December 12, 2024  
Project No. 19-2024-1783

POB - found 3/4" rebar that is  
328.73' East of and  
1.153.15' North of the SW  
corner of Section 15, T8N,  
R2E, Madison County, MS



**LEGEND**

- POB POINT OF BEGINNING
- SIP SET IRON PIN 1/2" X 16" REBAR
- PROPERTY CORNERS - IRON PIN SET
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OHP OVER HEAD POWER
- ROW RIGHT OF WAY
- PROPERTY LINE 3

I hereby certify that this survey meets the  
standards for a Class 'B' survey found in the  
standards of Practice For Surveying, Appendix 'A'



Christy Stanley  
& John Dorsey  
DB: 3508 PG: 910

MISSISSIPPI STATE PLANE COORDINATE  
SYSTEM WEST ZONE, NAD83  
SCALE FACTOR: 0.99995653  
CONVERGENCE ANGLE: 00° 07' 55"



GRID

SEC. 15, T-8-N, R-2-E  
MADISON COUNTY, MISSISSIPPI

SURVEY PLAT PREPARED FOR:  
TYLER GOOLSBY

DRAWN BY: CHUCK MCGINTY  
DATE: 12/12/2024  
PARTY CHIEF: JAKE FLE  
SPC - MS WEST  
DERIVED BY: CFS-RTK OBSERVA  
JOB NUMBER: 19-20  
CLASS: "B" S  
FIELD WORK: 10/1  
WILLIAMS, CLARK & MORRISON  
CONSULTING ENGINEERS & SURV  
P.O. BOX 567 213 SOUTH MAIN  
YAZOO CITY, MISSISSIPPI

Section 9, Item C)

Tyler Goolsby

Tract 3

A tract or parcel of land containing 0.95 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found 1/2 inch rebar that is 328.73 feet East of and 1,153.15 feet North of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 00 degrees 15 minutes 45 seconds West for a distance of 94.35 feet to a set 1/2 inch rebar;

Thence run South 89 degrees 31 minutes 32 seconds West for a distance of 307.20 feet to a set 1/2 inch rebar on the Easterly Right of Way of Old Jackson Road;

Thence run South 00 degrees 10 minutes 06 seconds East along said Right of Way for a distance of 134.96 feet to a found 1/2 inch pipe;

Thence run North 89 degrees 31 minutes 32 seconds East for a distance of 307.42 feet to a found 1/2 inch rebar;

Thence run North 00 degrees 15 minutes 45 seconds West for a distance of 40.61 feet back to the POINT OF BEGINNING.

Note: All set 1/2 inch rebars have a plastic cap that has C.O.A. S-64 engraved in it.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.  
Engineers and Surveyors  
213 South Main Street  
Yazoo City, MS 39194  
662-746-1863

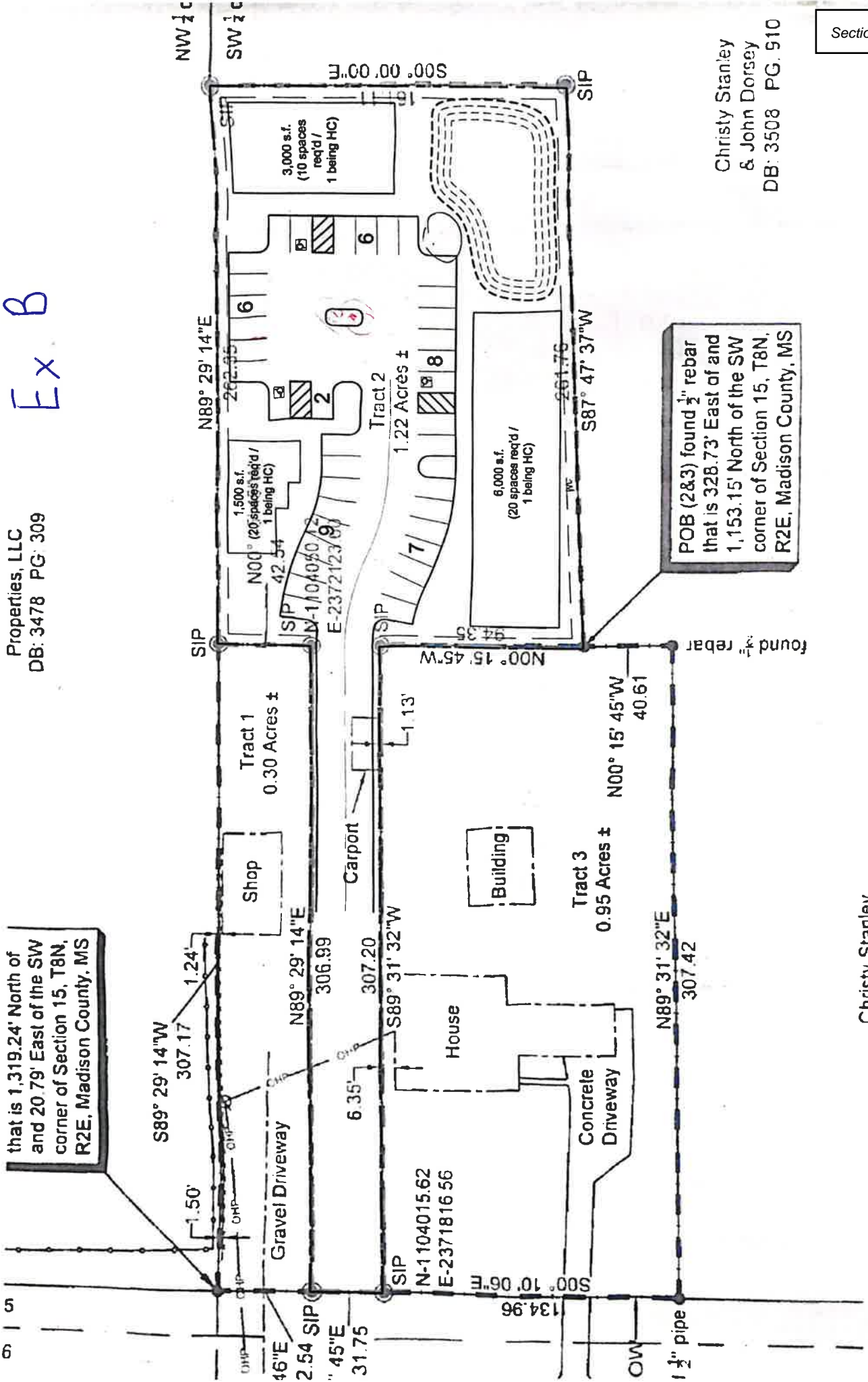
Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.



# Ex B

Properties, LLC  
DB: 3478 PG. 309

that is 1,319.24' North of  
and 20.79' East of the SW  
corner of Section 15, T8N,  
R2E, Madison County, MS



Christy Stanley  
& John Dorsey  
DB: 3508 PG. 910

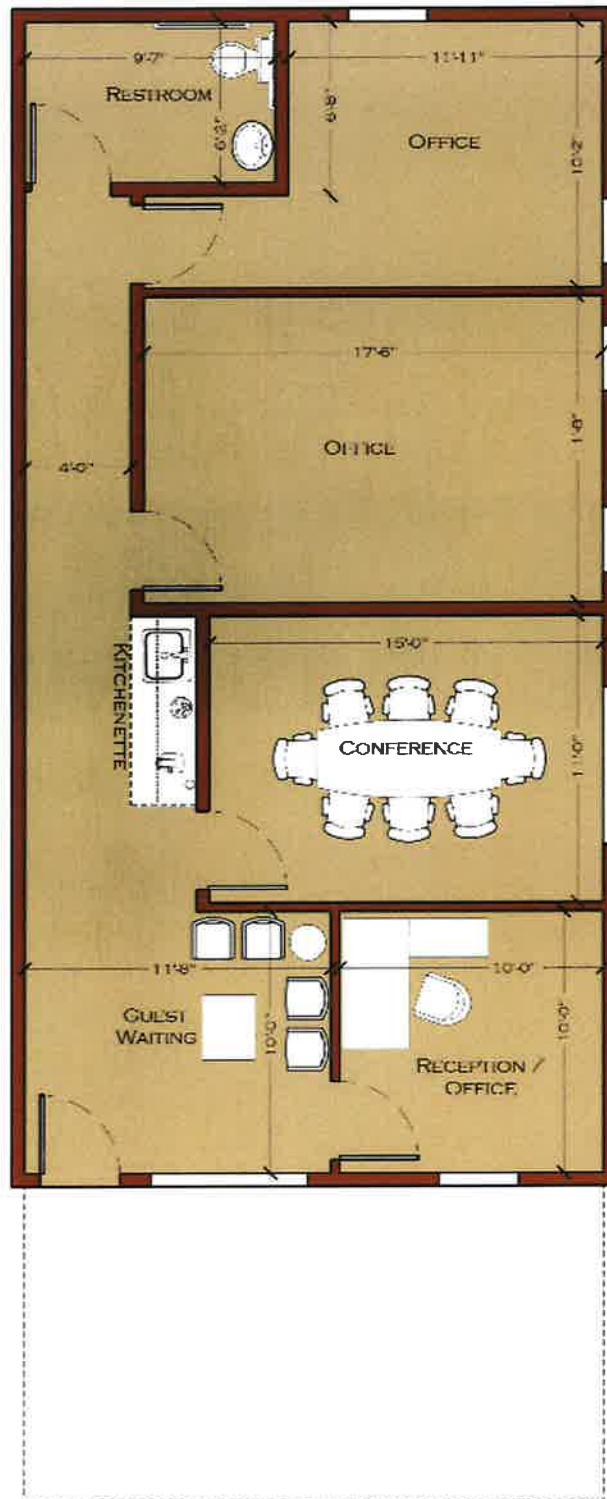
Section 9, Item C)

POB (2&3) found 1/2" rebar  
that is 328.73' East of and  
1,153.15' North of the SW  
corner of Section 15, T8N,  
R2E, Madison County, MS

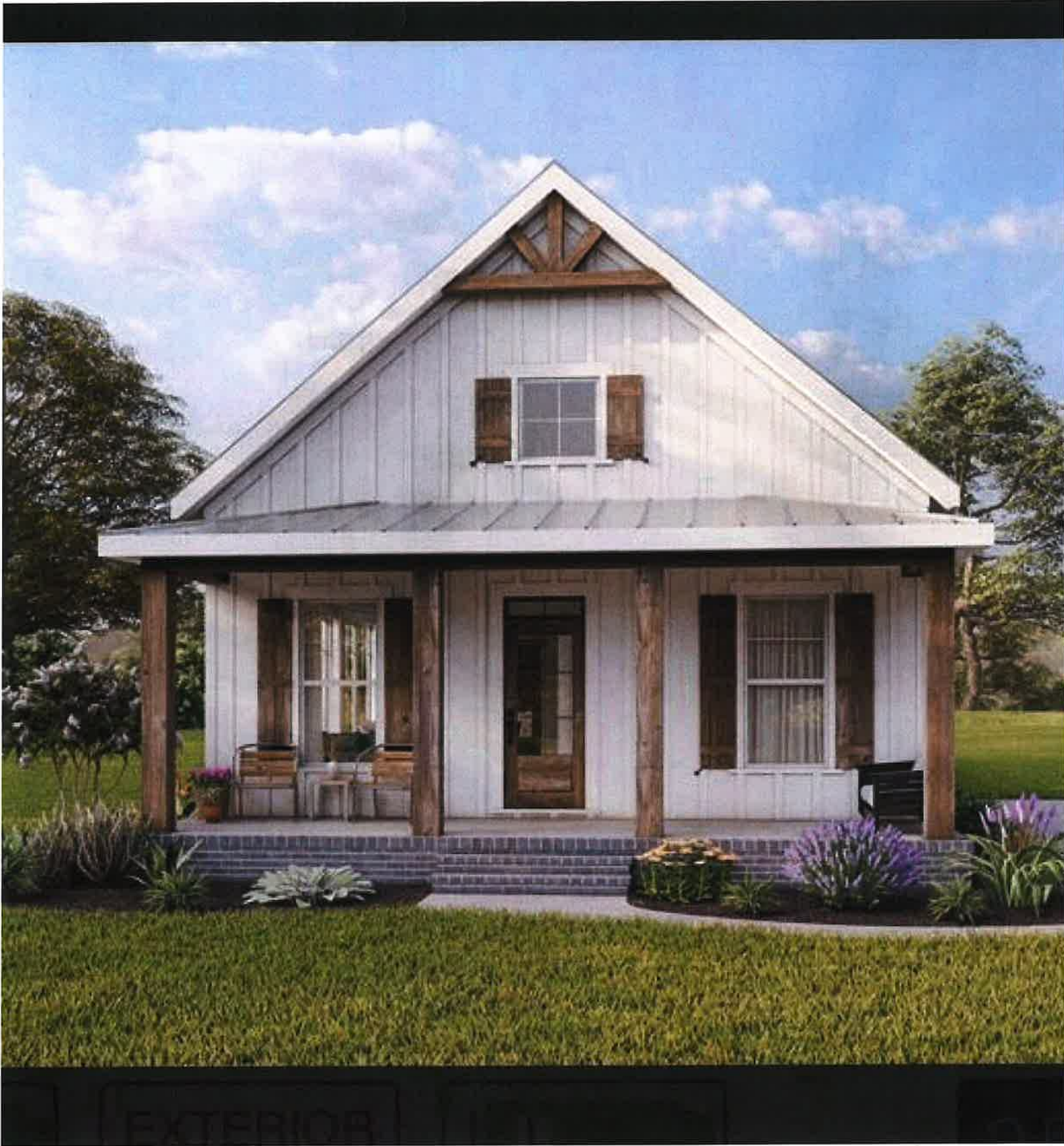
Christy Stanley

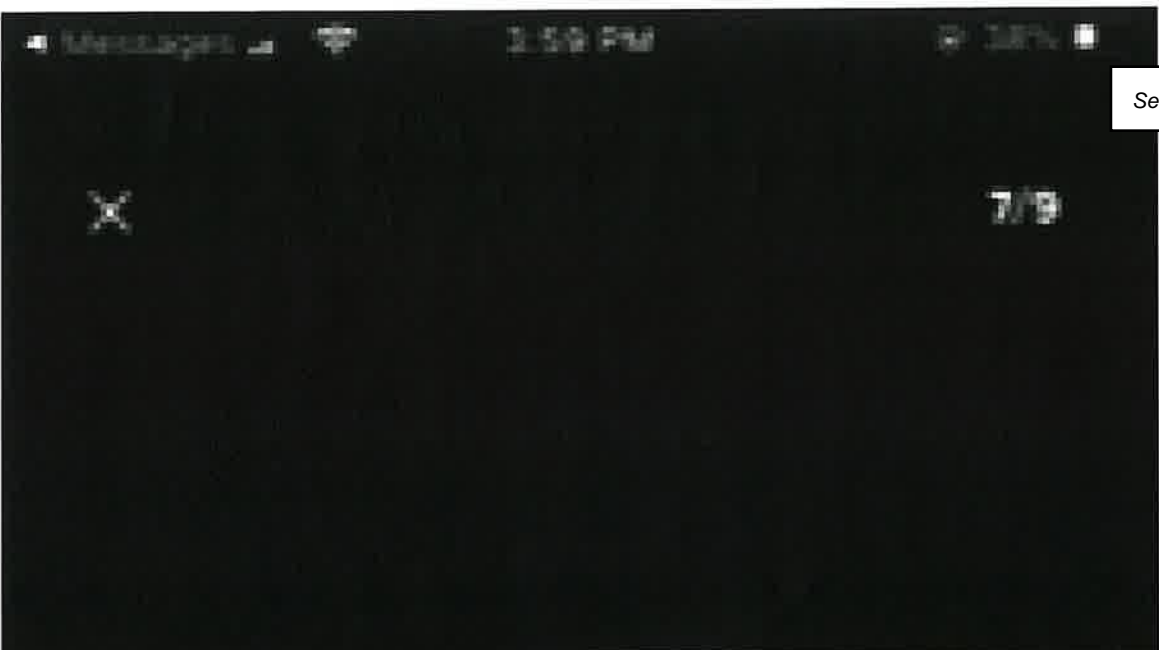
# Proposed Floor plan and design for Building on Tract 1

Section 9, Item C)









Section 9, Item C)









**ORDER APPROVING AND GRANTING AND ALLOWING A DIMENSIONAL VARIANCE ON APPLICATION OF THE MARTIN LAW FIRM, PLLC AND GLUCKSTADT OFFICE PARK, LLC FOR PROPERTY LOCATED AT 342 OLD JACKSON ROAD AND BEING IDENTIFIED AS TAX PARCEL NO. 082E-15-003/00.00, IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by Applicants The Martin Law Firm, PLLC and Gluckstadt Office Park, LLC, the issue of whether a Dimensional Variance in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicants now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Dimensional Variance as permitted by Section 804 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt’s Official Zoning Ordinance of December 16, 2021, Applicants The Martin Law Firm, PLLC and Gluckstadt Office Park, LLC, to reduce the minimum lot width from 200 feet to 74.29 feet wide for Tract 1 and 161.11 feet wide for Tract 2 to allow for office space use on the subject property located at 342 Old Jackson Road and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi; and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt (the “Zoning Commission”), which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Zoning Commission upon conclusion of its January 28, 2025, meeting recommended in writing approval by the Board of Aldermen of the request for a Dimensional

Variance, and that the recommendation be forwarded to the next meeting of the Mayor and Board of Aldermen for their consideration; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice, the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on January 28, 2025, and received comments and heard evidence presented by the Applicants and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application.

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicants The Martin Law Firm, PLLC and Gluckstadt Office Park, LLC to grant a Dimensional Variance for real property located at 342 Old Jackson Road and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi, is hereby granted, namely to reduce the minimum lot

width from 200 feet to 74.29 feet wide for Tract 1 and 161.11 feet wide for Tract 2 to allow for office space use on the subject property; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Dimensional Variance.
4. The requested designation meets the definitions of a Dimensional Variance of the Zoning Ordinance.
5. The subject property described herein, below, is within a zoning district zoned C-2:  
  
Tax Parcel No. 082E-15-003/00.00, located 342 Old Jackson Road, in the City of Gluckstadt, Madison County, Mississippi.
6. The strict application of this Ordinance would result in peculiar and exceptional practical difficulties to or exceptional hardship upon the owner of the property at issue and granting the Variance request will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.
7. The reasons set forth in the application justify the granting of the variance, and the variance constitutes the minimum allowable deviation from the dimensional regulations of the Zoning Ordinance in order to make possible the responsible use of

the land, building or structures. Further, the granting of the Dimensional Variance will be in harmony with the general purpose and intent of this Ordinance, and the Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

- 8. The Mayor and Board of Aldermen find that all portions of Sections 804.01 and 804.06 of the Zoning Ordinance have also been complied with and that all requirements of Sections 804.01 and 804.06 of the Zoning Ordinance are satisfied based upon the presentation of the applicants and all documents presented to the Zoning Commission and to the Mayor and Board of Aldermen. The site plan requirement has been met pursuant to Section 804.03 of the Zoning Ordinance.
- 9. The granting of this Dimensional Variance does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Dimensional Variance is granted.

ORDAINED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

Alderman Miya Warfield-Bates voted: \_\_\_\_\_

Alderman Jayce Powell voted: \_\_\_\_\_

Alderman Richard Wesley Slay voted: \_\_\_\_\_

Alderman John Taylor voted: \_\_\_\_\_

Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI DENYING THE APPLICATION FOR DIMENSIONAL VARIANCE OF THE MARTIN LAW FIRM, PLLC AND GLUCKSTADT OFFICE PARK, LLC FOR PROPERTY LOCATED AT 342 OLD JACKSON ROAD AND BEING IDENTIFIED AS TAX PARCEL NO. 082E-15-003/00.00 IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, The Martin Law Firm, PLLC and Gluckstadt Office Park, LLC (the "Applicants"), did file an Application for Dimensional Variance to change the dimensional requirements as permitted by Section 804 for the property described herein, which property is located in a C-2 Highway Commercial District Classification, under the City of Gluckstadt's Official Zoning Ordinance of December 16, 2021, to Applicants The Martin Law Firm, PLLC and Gluckstadt Office Park, LLC to reduce the minimum lot width from 200 feet to 74.29 feet wide for Tract 1 and 161.11 feet wide for Tract 2 to allow for office space use on the subject property; the real property involved is located at 342 Old Jackson Road and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi; and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt (the "Zoning Commission"), which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Zoning Commission, upon conclusion of its January 28, 2025, meeting recommended in writing approval by the Board of Aldermen of the request for a Dimensional Variance, and that the recommendation be forwarded to the next meeting of the Mayor and Board of Aldermen for their consideration; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be

published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, , and did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice, the Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on January 28, 2024, and received comments and heard evidence presented by the Applicants and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application.

WHEREAS, at the conclusion of the discussion of the Zoning Commission’s recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows: to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined and adjudicated to be true and correct.

SECTION 2. The property affected by this Resolution is located at 342 Old Jackson Road in the City of Gluckstadt, Madison County, Mississippi, and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi.

SECTION 3. That the Application of The Martin Law Firm, PLLC and Gluckstadt Office Park, LLC for Dimensional Variance on the property described herein, to reduce the minimum lot width from 200 feet to 74.29 feet wide for Tract 1 and 161.11 feet wide for Tract 2 to allow for office space use on the subject property, be and same is hereby denied.

SO RESOLVED BY THE MAYOR AND BOARD OF ALDERMEN of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2025.

The motion to adopt the above and foregoing Resolution was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following result:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the motion carried and the resolution adopted.



The foregoing resolution is approved, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]



**IN THE CITY OF GLUCKSTADT, MISSISSIPPI**

**GLUCKSTADT OFFICE PARK LLC**

**PETITIONERS**

**PETITION FOR REQUEST FOR DIMENSIONAL VARIANCE**

Comes Now, Gluckstadt Office Park LLC, hereinafter referred to as “Petitioner,” and files this Petition for Request for Dimensional Variance and in support thereof, Petitioner specifies the following:

**FACTS**

1. The subject property address is 342 Old Jackson Road, Madison, MS 39110.
2. The current property is zoned C-2 Highway Commercial District.
3. A copy of the legal descriptions for the subject property is attached as Exhibit A. A copy of the Site Plan is attached as Exhibit B.
4. The subject property is .99 acres and the Petitioner is desiring to develop the property for its intended purpose in a C-2 commercial district.

**VARIANCE REQUEST**

This petition is submitted on behalf of Petitioner seeking a dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.04 (D), which requires that “Side yards and rear yards where abutting any residential district: fifty (50) feet, which shall remain open and be landscaped; or 20 feet, which shall remain open and be landscaped and a fence approved by the Zoning Administrator along side or rear yards.” The properties that are adjacent to the subject property to the North, East and South are currently zoned A-1, but such classification must be considered Residential for purposes of the Gluckstadt Zoning Ordinance. The Petitioner is

requesting a dimensional variance from this Ordinance to accommodate their proposed development. The Petitioner's Site Plan shows the proposed construction of buildings with at least 5 feet of side yards from the property line. This distance would meet the minimum yard requirements of Section 2203.04 (B) and (C), which only requires 5 feet of distance from side and rear yards where the development does not abut a residential district.

Under Mississippi law and according to Section 3004.01 of Gluckstadt's Zoning Ordinance, a variance shall not be granted unless the applicant demonstrates:

"A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district.

B. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

C. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district."

In regards to Section 3004.01(A), as detailed in the Site Plan, the subject property is narrow and almost twice as long east to west than north and south along the roadway. These conditions are peculiar and not applicable to the other areas in this district. The requirements of Section 3004.01(B) are also satisfied as literal interpretation of the minimum yard requirements would prevent the Petitioner from being able to use most of the property for its intended commercial use, and as such, would deprive them of the rights commonly enjoyed by other

properties in the same district under the terms of this Ordinance. In regards to 3004.01(C), granting the variance will not confer on the Petitioners any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.

The properties that directly surround the subject property stand out as some of the very few parcels still zoned A-1 in the City of Gluckstadt. A cursory glance at the City of Gluckstadt zoning map and growth path, and a quick drive around this area, reveals to all that this area is already being developed for commercial use, is across the street from industrial buildings and sits within a quarter of a mile of a major Interstate exit. Upon information and belief, the property to the north of the subject property is being used for commercial purposes as a landscaping business and the owners of the property to the south and east of the subject property have inquired about rezoning their property for a Commercial purpose. Simply put, these areas are not being used primarily for residential purposes and will not be used for residential purposes in the future.

The requested variance constitutes the minimum allowable deviation from the dimensional regulations to make possible the responsible use of the land. This variance allows the property to be developed to its highest and best use, while providing office space and other commercial buildings that are currently lacking in the City.

The granting of this dimensional variance will be in harmony with the general purpose and intent of Gluckstadt's Zoning Ordinance and will not be injurious to the neighborhood or otherwise detrimental to the public welfare. The "neighborhood" surrounding the subject property consists of properties for many miles around that are zoned I-2 (Heavy Industrial District) and C-2 (Highway Commercial District). The properties that are immediately adjacent to the subject property are zoned A-1 (Agricultural District). However, upon information and

belief, and based off Gluckstadt’s growth patterns, these properties will be zoned for a commercial purpose eventually and such action would be the properties highest and best use considering its location and adjacent properties. Additionally, the granting of this dimensional variance will not be detrimental to the public welfare as the proposed development of the property will consist of smaller offices and retail uses and will have less of an impact on traffic and road safety than other uses allowed in C-2 Commercial districts.

**CONCLUSION**

Based on the foregoing, the petitioner respectfully requests that the Board grant the dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.04(D), and allow the Petitioners to build their proposed development with at least 5 feet of distance from side and rear yards in accordance with Section 2203.04 (B) and (C).

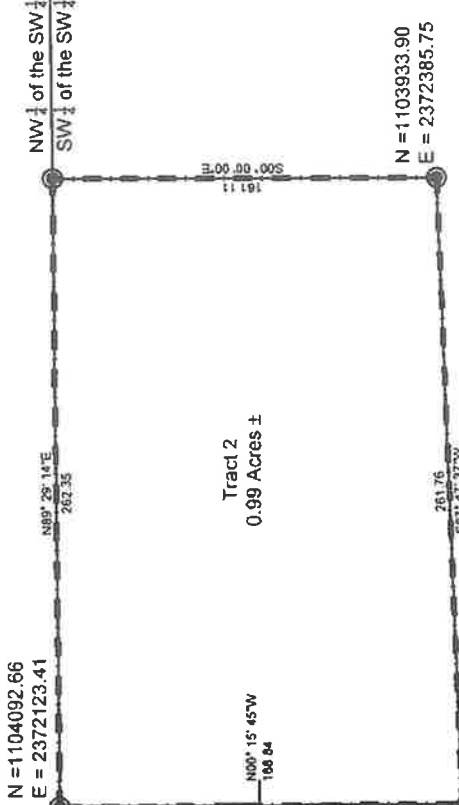
Respectfully submitted, this the 18<sup>th</sup> day of December, 2024.

For Petitioner:

By:   
Samuel C. Martin [MSB #105829]  
The Martin Firm PLLC  
513 North State Street, St. 200, Jackson, MS 39201  
P.O. Box 161, Flora, MS 39071  
(601) 624-2678  
Sam@MartinFirmMS.com

Ex. A

Madison Landscape Properties, LLC  
DB: 3478 PG: 309



POB - found 1/2" rebar that is 328.73' East of and 1,153.15' North of the SW corner of Section 15, T8N, R2E, Madison County, MS

Christy Stanley & John Dorsey  
DB: 3508 PG: 910

Shop  
Surveyed by WCM  
December 12, 2024  
Project No. 19-2024-1783

Carport  
1.13'

House  
Surveyed by WCM  
December 12, 2024  
Project No. 19-2024-1783

30' WCA Access/Utility Easement

Section 15

Section 16

Old Jackson Road (Paved)

75' ROW

**LEGEND**

- POB
- SET IRON PIN 1/2" X 18" REBAR
- PROPERTY CORNERS - IRON PIN SET
- PROPERTY CORNERS - IRON PIN FOUND
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OHP
- OVER HEAD POWER
- RIGHT OF WAY
- PROPERTY LINE 2

I hereby certify that this survey meets the standards of a Class 'B' survey found in the Standards of Practice for Surveying, Appendix 'A' x



Christy Stanley & John Dorsey  
DB: 3508 PG: 910

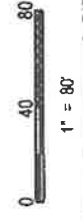
MISSISSIPPI STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83  
SCALE FACTOR: 0.99995653  
CONVERGENCE ANGLE: 00° 07' 55"

SURVEY PLAT PREPARED FOR:  
TYLER GOOLSBY

SEC. 15, T-8-N, R-2-E  
MADISON COUNTY, MISSISSIPPI



GRID



DRAWN BY: CHUCK MCGINTY  
DATE: 10/24/2024  
PARTY CHIEF: JAKE FLETCHER  
SPC - MS WEST  
DERIVED BY: GPS-RTK OBSERVATION  
JOB NUMBER: 19-2024-1783  
CLASS "B" SURVEY  
FIELD WORK: 10/24/2024

WILLIAMS, CLARK & MORRISON  
CONSULTING ENGINEERS & SURVEYORS  
(662) 746-1863  
P.O. BOX 567 213 SOUTH MAIN  
YAZOO CITY, MISSISSIPPI

Section 9, Item D)

Tyler Goolsby

Tract 2

A tract or parcel of land containing 0.99 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found 1/2 inch rebar that is 328.73 feet East of and 1,153.15 feet North of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 00 degrees 15 minutes 45 seconds West for a distance of 168.84 feet to a set 1/2 inch rebar;

Thence run North 89 degrees 29 minutes 14 seconds East for a distance of 262.35 feet to a set 1/2 inch rebar;

Thence run South 00 degrees 00 minutes 00 seconds east for a distance of 161.11 feet to a set 1/2 inch rebar;

Thence run South 87 degrees 47 minutes 37 seconds West for a distance of 261.76 feet, back to the POINT OF BEGINNING.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.  
Engineers and Surveyors  
213 South Main Street  
Yazoo City, MS 39194  
662-746-1863

Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

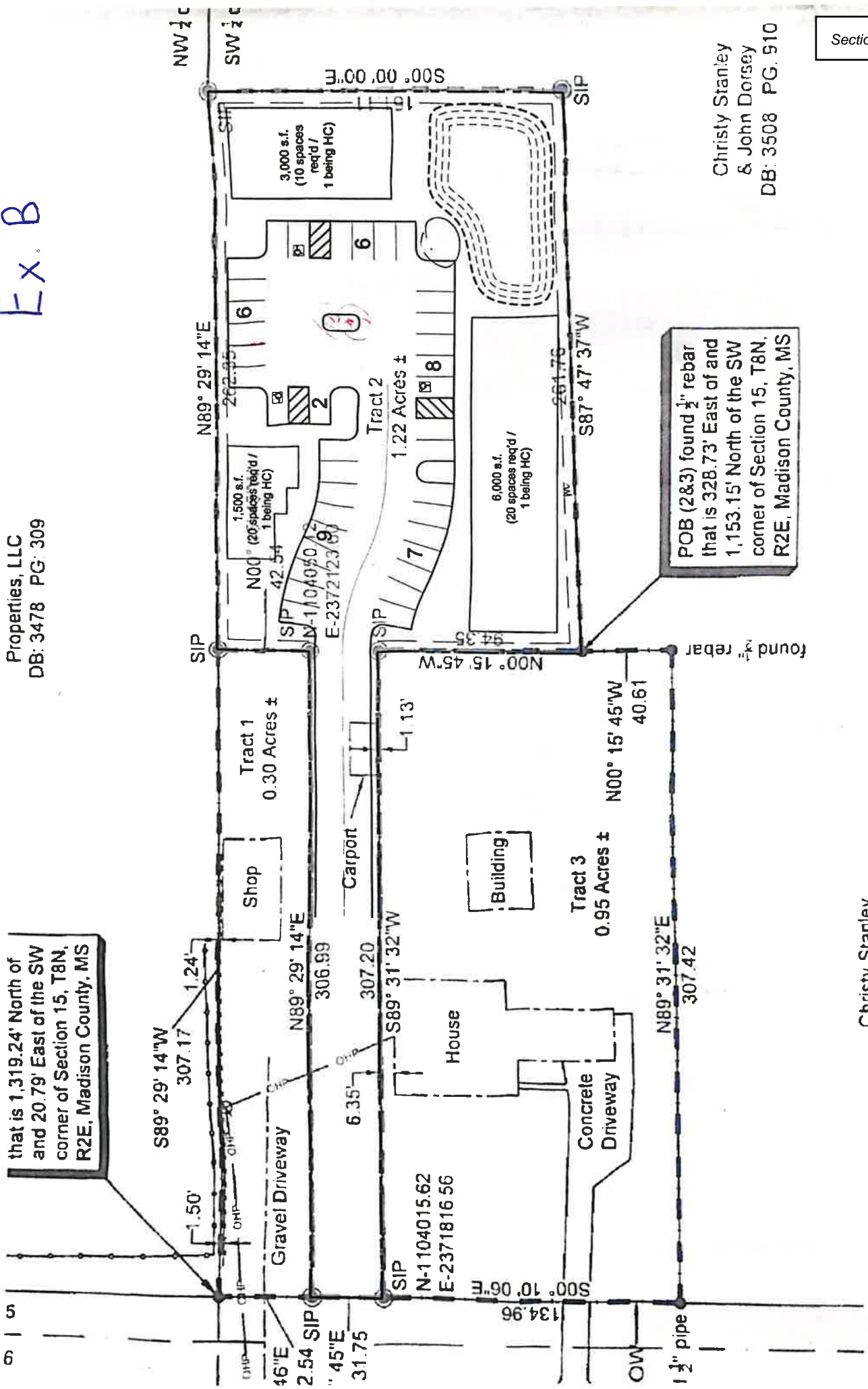




Ex. B

Properties, LLC  
DB: 3478 PG. 309

that is 1,319.24' North of  
and 20.79' East of the SW  
corner of Section 15, T8N,  
R2E, Madison County, MS



POB (2&3) found 1/2" rebar  
that is 328.73' East of and  
1,153.15' North of the SW  
corner of Section 15, T8N,  
R2E, Madison County, MS

Christy Stanley  
& John Dorsey  
DB: 3508 PG. 510

Section 9, Item D)

Christy Stanley

**ORDER APPROVING AND GRANTING AND ALLOWING A DIMENSIONAL VARIANCE ON APPLICATION OF GLUCKSTADT OFFICE PARK, LLC FOR PROPERTY LOCATED AT 342 OLD JACKSON ROAD AND BEING IDENTIFIED AS TAX PARCEL NO. 082E-15-003/00.00, IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by Applicant Gluckstadt Office Park, LLC, the issue of whether a Dimensional Variance in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Dimensional Variance as permitted by Section 804 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt’s Official Zoning Ordinance of December 16, 2021, Applicant Gluckstadt Office Park, LLC, to reduce the minimum 50’ side and rear setbacks to 5’ on the subject property that abuts residentially zoned property and is located at 342 Old Jackson Road and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi; and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt (the “Zoning Commission”), which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Zoning Commission upon conclusion of its January 28, 2025, meeting recommended in writing approval by the Board of Aldermen of the request for a Dimensional Variance, and that the recommendation be forwarded to the next meeting of the Mayor and Board of Aldermen for their consideration; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice, the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on January 28, 2025, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application.

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant Gluckstadt Office Park, LLC to grant a Dimensional Variance for real property located at 342 Old Jackson Road and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi, is hereby granted, namely to reduce the minimum 50’ side and rear setbacks to 5’ on the subject property that abuts residentially zoned property; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Dimensional Variance.
4. The requested designation meets the definitions of a Dimensional Variance of the Zoning Ordinance.
5. The subject property described herein, below, is within a zoning district zoned C-2:  
Tax Parcel No. 082E-15-003/00.00, located 342 Old Jackson Road, in the City of Gluckstadt, Madison County, Mississippi.
6. The strict application of this Ordinance would result in peculiar and exceptional practical difficulties to or exceptional hardship upon the owner of the property at issue and granting the Variance request will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.
7. The reasons set forth in the application justify the granting of the variance, and the variance constitutes the minimum allowable deviation from the dimensional regulations of the Zoning Ordinance in order to make possible the responsible use of the land, building or structures. Further, the granting of the Dimensional Variance will be in harmony with the general purpose and intent of this Ordinance, and the

Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

- 8. The Mayor and Board of Aldermen find that all portions of Sections 804.01 and 804.06 of the Zoning Ordinance have also been complied with and that all requirements of Sections 804.01 and 804.06 of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Zoning Commission and to the Mayor and Board of Aldermen. The site plan requirement has been met pursuant to Section 804.03 of the Zoning Ordinance.
- 9. The granting of this Dimensional Variance does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Dimensional Variance is granted.

ORDAINED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2025.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI DENYING THE APPLICATION FOR DIMENSIONAL VARIANCE OF GLUCKSTADT OFFICE PARK, LLC FOR PROPERTY LOCATED AT 342 OLD JACKSON ROAD AND BEING IDENTIFIED AS TAX PARCEL NO. 082E-15-003/00.00 IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, Gluckstadt Office Park, LLC (the "Applicant"), did file an Application for Dimensional Variance to change the dimensional requirements as permitted by Section 804 for the property described herein, which property is located in a C-2 Highway Commercial District Classification, under the City of Gluckstadt's Official Zoning Ordinance of December 16, 2021, to Applicant Gluckstadt Office Park, LLC to reduce the minimum 50' side and rear setbacks to 5' on the subject property; the real property involved is located at 342 Old Jackson Road and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi; and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt (the "Zoning Commission"), which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Zoning Commission, upon conclusion of its January 28, 2025, meeting recommended in writing approval by the Board of Aldermen of the request for a Dimensional Variance, and that the recommendation be forwarded to the next meeting of the Mayor and Board of Aldermen for their consideration; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of

Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, , and did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice, the Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on January 28, 2024, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application.

WHEREAS, at the conclusion of the discussion of the Zoning Commission’s recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows: to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined and adjudicated to be true and correct.



SECTION 2. The property affected by this Resolution is located at 342 Old Jackson Road in the City of Gluckstadt, Madison County, Mississippi, and identified as Tax Parcel No. 082E-15-003/00.00, in the City of Gluckstadt, Madison County, Mississippi.

SECTION 3. That the Application of Gluckstadt Office Park, LLC for Dimensional Variance on the property described herein, to reduce the minimum 50' side and rear setbacks to 5' on the subject property, be and same is hereby denied.

SO RESOLVED BY THE MAYOR AND BOARD OF ALDERMEN of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2025.

The motion to adopt the above and foregoing Resolution was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following result:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the motion carried and the resolution adopted.

The foregoing resolution is approved, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**REQUEST FOR DIMENSIONAL VARIANCE**  
**APPLICATION**

Subject Property Address: Parcel ID#: 082E-21-016/29.00  
Owner: D&S Investment Group LLC Applicant: Lee Sahler  
Address: Parcel ID#: 082E-21-016/29.00 Address: 103 Eastwick Cv  
Madison, MS 39110  
Phone No. 601-503-6860 Phone No. 601-503-6860  
Current Zoning District: CZ

**Requirements of Applicant:**

1. Letter stating reason for requested dimensional variance.
2. Copy of the written legal description.
3. Site plan, building elevations and floor plan drawings on 8.5" x 11".
4. Four complete sets of working plans.
5. Proposed signage to include color and size.
6. \$250.00 fee required for processing.

**Requirements for Granting Variances: (Section 3004.01 - Zoning Ordinance)**

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.
- (b). Applicant shall demonstrate that literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or buildings in the same district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

[Signature]  
Applicant Signature

12-30-2024  
Date

[Signature]  
Property Owner Signature

12-30-2024  
Date

**AFFIDAVIT OF LEE SAHLER**

I, Lee Sahler, state as follows:

1. I am over twenty-one (21) years of age, of sound mind, and have personal knowledge of the following facts.
2. I seek from the City of Gluckstadt, Mississippi site plan approval and a dimensional variance from the City's Zoning Ordinance for property I own through D&S Investment Group, LLC (Parcel ID #082E-21-016/29.00) within the City's boundaries (the "subject property").
3. I hereby authorize Forman Watkins & Krutz LLP and its agents to submit on my and D&S Investment Group, LLC's behalf applications for site plan review and a dimensional variance regarding the subject property and to act on my and D&S Investment Group, LLC's behalf in relation to the applications, including at all meetings and public hearings that concern the applications.
4. I further authorize Forman Watkins & Krutz LLP and its agents to negotiate and agree on my and D&S Investment Group, LLC's behalf to all terms and conditions affecting the subject property which may arise as part of the applications being approved.
5. There are only three members of D&S Investment Group, LLC: me, Billy Joe Dottley, and Teresa G. Dottley. The other two members authorized me to take the above-stated actions on behalf of the LLC.

Executed on Jan 2, 2025.

Lee Sahler

Lee Sahler, individually and on behalf of  
D&S Investment Group, LLC  
103 Eastwick Cv.  
Madison, Mississippi 39110

COUNTY OF Madison

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, Lee Sahler, who after having been duly sworn, states upon oath that the matters and facts set forth above are true and correct to the best of his knowledge and belief.

[Signature]

Notary Public

My Commission Expires January 29, 2025



Spencer Ritchie  
Spencer.Ritchie@formanwatkins.com  
Direct Dial: 601-960-3172

January 21, 2025

VIA EMAIL DELIVERY

City of Gluckstadt  
Planning & Zoning Department  
107 Lone Wolf Drive  
Gluckstadt, MS 39110

Re: Revised Request for Dimensional Variance Application (Parcel ID #082E-21-016/29.00)

To Whom it May Concern,

We write on behalf of Lee Sahler and D&S Investment Group, LLC concerning the above-referenced application previously submitted and as revised by this letter. The application seeks a dimensional variance to permit the construction of a four-story hotel and associated parking lot on land located within a C2 Zoning District.

The variance is requested because the specifications called for by the hotel franchise include (1) a building elevation that is, at its highest point, approximately seventeen feet higher than what is currently permitted by the Zoning Ordinance for a building within a C2 District (57' versus 40') and (2) a parking lot to service the hotel with approximately ten fewer parking spaces than required by the Zoning Ordinance (approximately 155 versus the minimum 165, which is 1.5 parking spaces per 110 hotel occupant rooms). Without the requested variance, the applicants will not be able to comply with the franchise's specifications.

Granting the variance will not adversely affect the public interest or adjacent property, and future projects in the area will remain subject to the Zoning Ordinance. Additionally, approval of site plans or other matter will allow the City to continue to monitor the area. Finally, granting the variance will be in harmony with the general purpose and intent of the Zoning Ordinance.

Thank you very much for your attention to this matter. Please do not hesitate to contact us if you have any questions or concerns.

Sincerely,

FORMAN WATKINS & KRUTZ LLP

BY: /s/ Spencer M. Ritchie  
Spencer M. Ritchie

**LEGAL DESCRIPTION**

A certain tract of land containing 4.16 acres, more or less, situated in the Northeast Quarter of the Northwest Quarter and in the Northwest Quarter of the Northeast Quarter of Section 21, Township 8 North, Range 2 East, Madison County, Mississippi, and being more particularly described as follows:

Commencing at the P.K. nail in pavement marking the Northwest corner of Section 21, Township 8 North, Range 2 East, Madison County, Mississippi; run thence, South 70°25'39" East for 2781.78 feet to the 1/2" rebar found marking the POINT OF BEGINNING; run thence, along the east right of way of Autobahn Loop for the following 2 courses: North 00°22'44" East for 39.89 feet to a found 1/2" rebar; 125.96 feet along the arc of a curve to the left, said curve having a radius of 60.00 feet and a chord of North 00°12'12" East for 104.07 feet to a found 1/2" rebar; run thence, North 00°11'20" East for 128.54 feet to a found 1/2" rebar; run thence, 143.19 feet along the arc of a curve to the left, said curve having a radius of 550.00 feet and a chord of South 89°36'02" East for 142.79 feet to a found 1/2" rebar; run thence, North 82°56'31" East for 405.73 feet to a found 1/2" rebar; run thence, along the west right of way of Interstate Highway 55 for the following 2 courses: South 11°54'52" East for 81.47 feet to a found 1/2" rebar; 325.53 feet along the arc of a curve to the right, said curve having a radius of 5622.43 feet and a chord of South 04°31'22" West for 325.49 feet to a found 1/2" rebar; run thence, North 81°14'33" West for 543.99 feet back to the 1/2" rebar marking the POINT OF BEGINNING.

The above description is based on True (Geodetic) Bearings.



WYNDHAM GARDEN PROTOTYPE



**WYNDHAM  
GARDEN®**



# Garden is

## Nature

Garden strives to connect its guest to nature. It's a space which envelopes you in natural materials. Honed stones, textured woods and soft dappled lighting draw one through the lobby designed to create the feeling of a casual stroll.



## Community

Garden strives to connect its guests to each other. Spaces are purposely carved out to help create comfortable meeting areas where one can sit back, relax and enjoy a good time with friends and colleagues.



## You

Garden offers its guest a perfect retreat space to reconnect with one's self. Wood look floors, nubby linen textures and serene color scheme designed to relax the senses and can help one to quiet the mind and focus on the now.





WYNDHAM GARDEN PROTOTYPE

WYNDHAM  
GARDEN





WYNDHAM GARDEN PROTOTYPE



**WYNDHAM  
GARDEN**



WYNDHAM GARDEN PROTOTYPE



**WYNDHAM  
GARDEN**





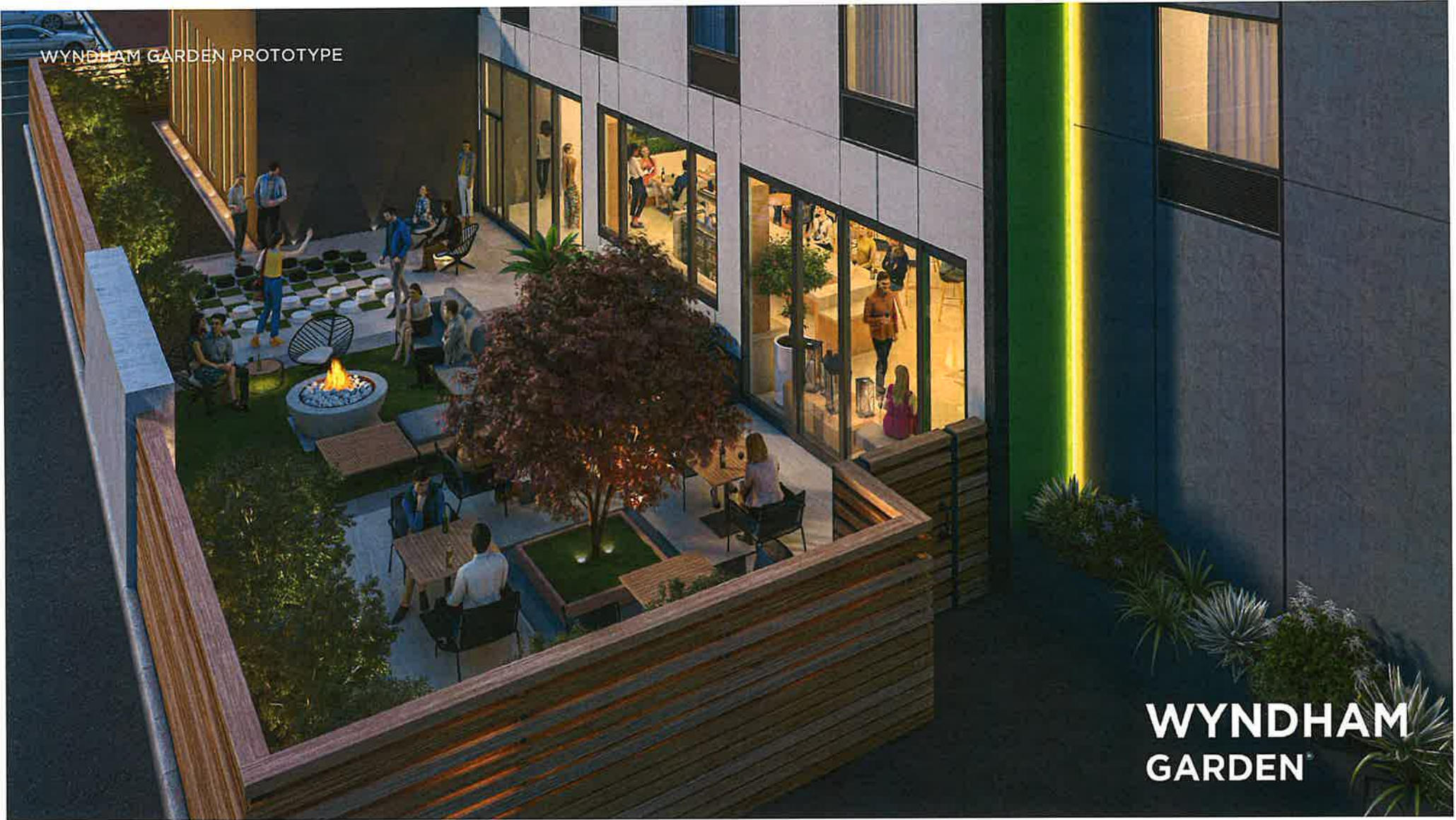
WYNDHAM GARDEN PROTOTYPE

WYNDHAM  
GARDEN





WYNDHAM GARDEN PROTOTYPE



**WYNDHAM  
GARDEN**



WYNDHAM GARDEN PROTOTYPE



**WYNDHAM  
GARDEN**

WYNDHAM GARDEN PROTOTYPE



WYNDHAM  
GARDEN

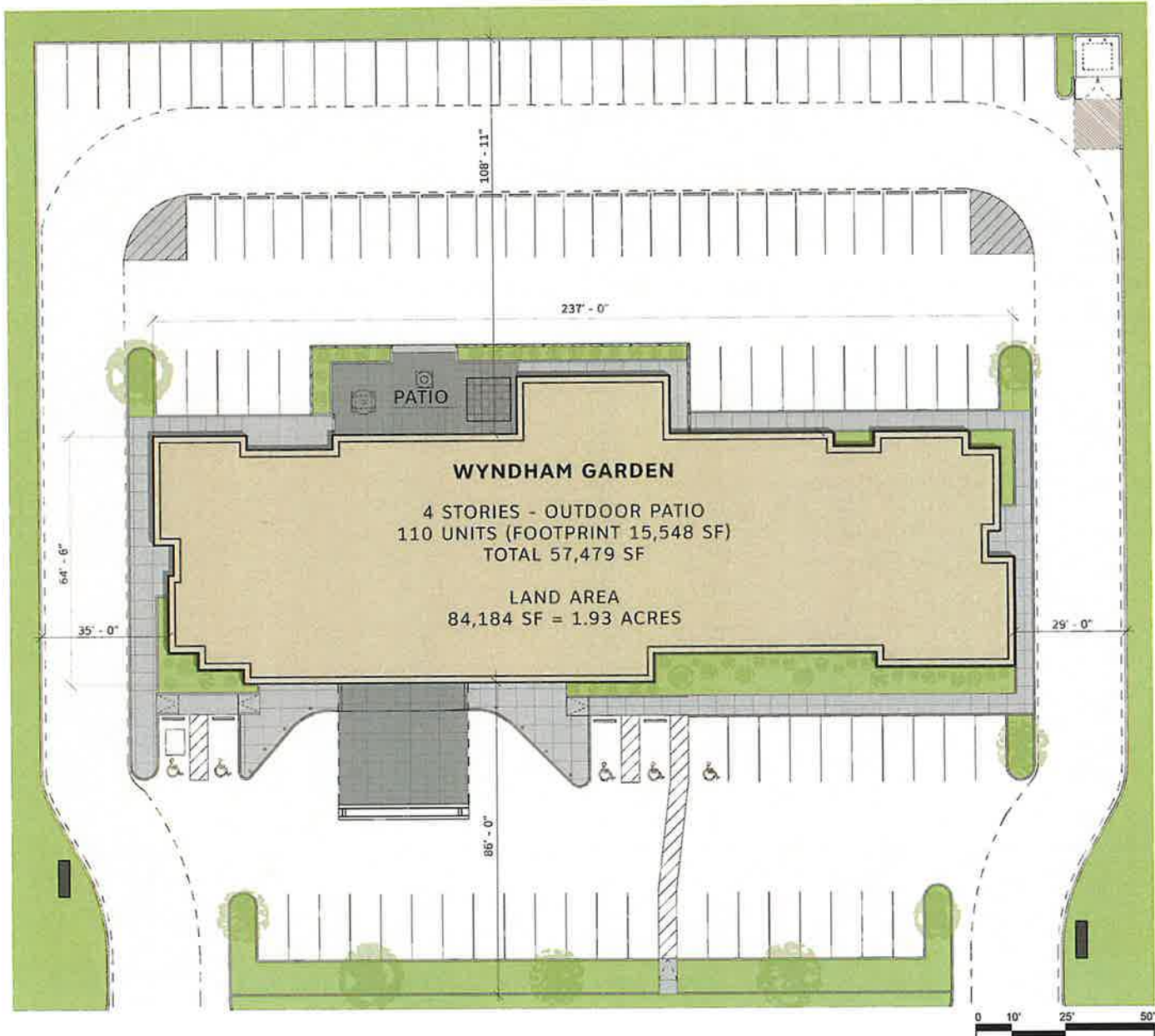






# PROTOTYPE: SITE PLAN

BUILDING LENGTH	237' - 0" FT
BUILDING DEPTH	64' - 6" FT
FLOORS	4
PARKING SPACES	110



# PROTOTYPE: ELEVATION



FRONT ELEVATION: 4 STORIES

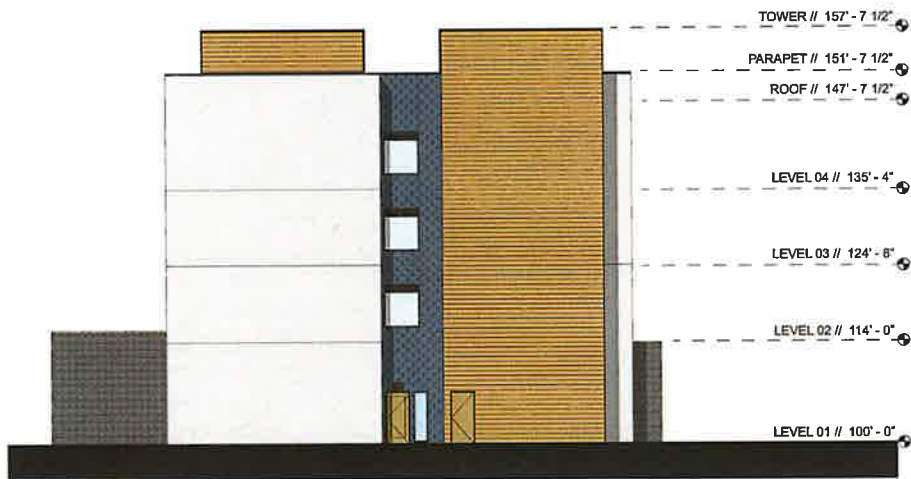


# PROTOTYPE: ELEVATION

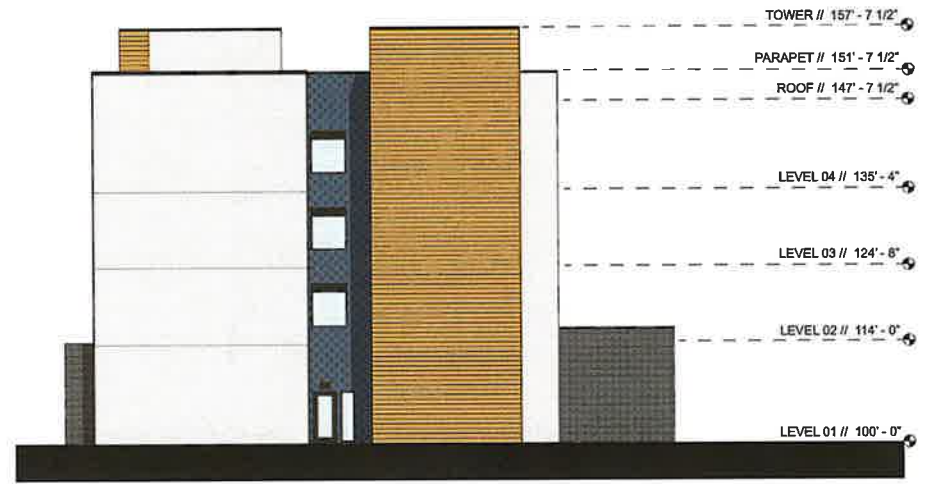


BACK ELEVATION: 4 STORIES

# PROTOTYPE: ELEVATION



LEFT ELEVATION: 4 STORIES



RIGHT ELEVATION: 4 STORIES



# PROTOTYPE: FLOOR PLAN



**FLOOR PLAN: GROUND FLOOR**





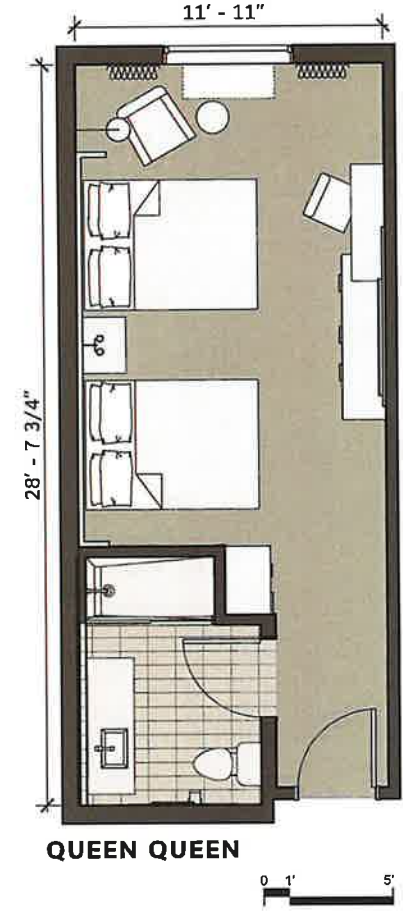
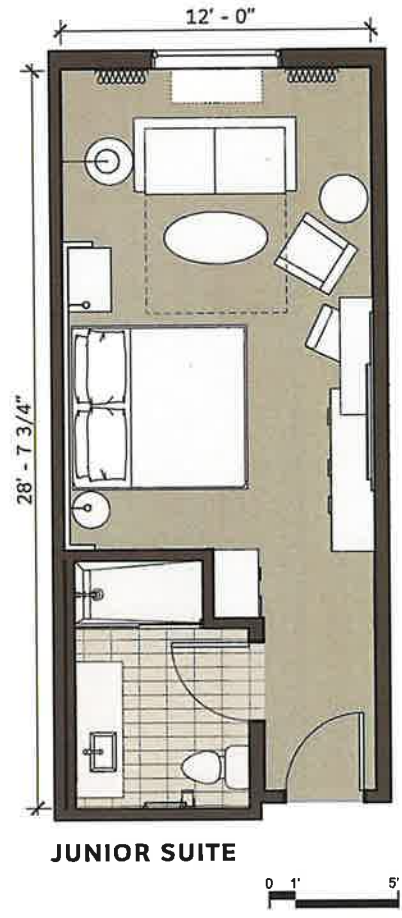
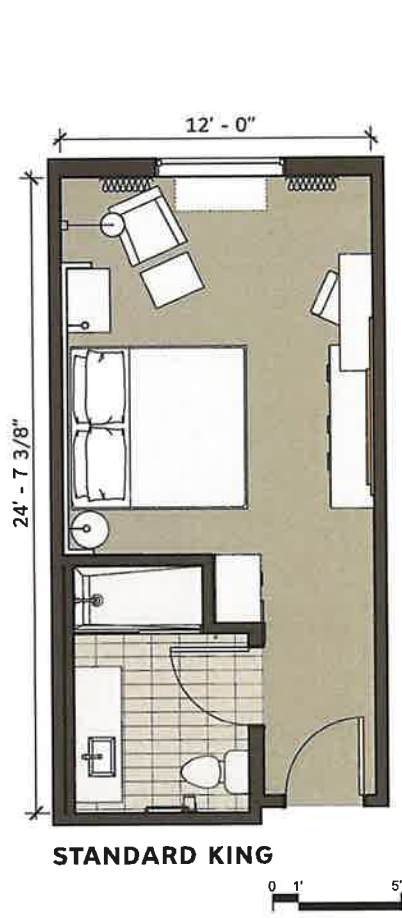
# PROTOTYPE: FLOOR PLAN



**FLOOR PLAN: TYPICAL GUESTROOM FLOOR**



# PROTOTYPE: GUEST ROOM PLANS





# PROTOTYPE: DEVELOPMENT SUMMARY

## GUESTROOM SUMMARY

GUESTROOMS	ROOM MIX (PERCENT %)	UNITS	AREA (SF)	TOTAL (SF)
KING	47%	52	309 SF	16,068 SF
QUEEN QUEEN	41%	46	358 SF	16,468 SF
JR SUITE	5%	5	358 SF	1,790 SF
KING ADA SHOWER	1%	1	309 SF	309 SF
QUEEN QUEEN ADA TUB	1%	1	358 SF	358 SF
KING ADA TUB	2%	2	309 SF	618 SF
QUEEN QUEEN ADA TUB	2%	2	358 SF	716 SF
JR SUITE ADA TUB	1%	1	358 SF	358 SF
<b>TOTAL</b>	<b>100%</b>	<b>110</b>	<b>2,717 SF</b>	<b>36,685 SF</b>

GUESTROOM SUPPORT	1ST	2ND	3RD	4TH	AREA (SF)
CORRIDORS	1,774 SF	1,243 SF	1,243 SF	1,243 SF	7,277 SF
STAIRS	437 SF	466 SF	466 SF	466 SF	1,835 SF
ELEVATOR SHAFT/EQUIP	170 SF	140 SF	140 SF	140 SF	590 SF
ICE MACHINE	0 SF	78 SF	78 SF	78 SF	234 SF
MECH/ELECTRICAL	502 SF	117 SF	117 SF	117 SF	853 SF
HOUSEKEEPING	0 SF	344 SF	344 SF	344 SF	1,032 SF
STORAGE	317 SF	0 SF	0 SF	0 SF	317 SF
<b>TOTAL</b>	<b>2,981 SF</b>	<b>2,233 SF</b>	<b>2,233 SF</b>	<b>2,233 SF</b>	<b>12,138 SF</b>

## FRONT OF HOUSE

FOOD & BEVERAGE	AREA
DINING	1,448 SF
FOOD PREP	576 SF
NICE & VICE	257 SF
<b>TOTAL</b>	<b>2,281 SF</b>

FUNCTION	AREA
MEETING ROOM & STORAGE	652 SF
BOARDROOM	300 SF
<b>TOTAL</b>	<b>952 SF</b>

RECREATION	AREA
FITNESS CENTER	645 SF
OUTDOOR GARDEN (BASE OPTION)	1,070 SF
OUTDOOR POOL (ALTERNATE OPTION)	1,236 SF
<b>TOTAL</b>	<b>2,951 SF</b>

PUBLIC MISC	AREA
LOBBY	1,168 SF
RECEPTION	239 SF
VESTIBULE	190 SF
MEN'S ROOM	224 SF
WOMEN'S ROOM	224 SF
<b>TOTAL</b>	<b>2,045 SF</b>

## BACK OF HOUSE

SUPPORT	AREA
GM OFFICE	131 SF
ADMIN	319 SF
BREAK ROOM	262 SF
EMPLOYEE RESTROOM	148 SF
MDF/IT	84 SF
LAUNDRY	787 SF
LAUNDRY STORAGE	169 SF
LAUNDRY RESTROOM	80 SF
JANITOR	76 SF
ENGINEER	272 SF
FIRE PUMP	88 SF
<b>TOTAL</b>	<b>2,416 SF</b>

<b>TOTAL GROSS SF</b>	<b>57,479 SF</b>
-----------------------	------------------



# WYNDHAM

HOTELS & RESORTS

wyndhamdevelopment.com



WYNDHAM GRAND

DOLCE

esplendor

DAZZLER

WYNDHAM



TM TRADE MARK

QUINTA

WINGATE

WYNDHAM GARDEN

HAWTHORN

Americinn

RAMADA

encore

BAYMONT

MICROTEL

Daysinn

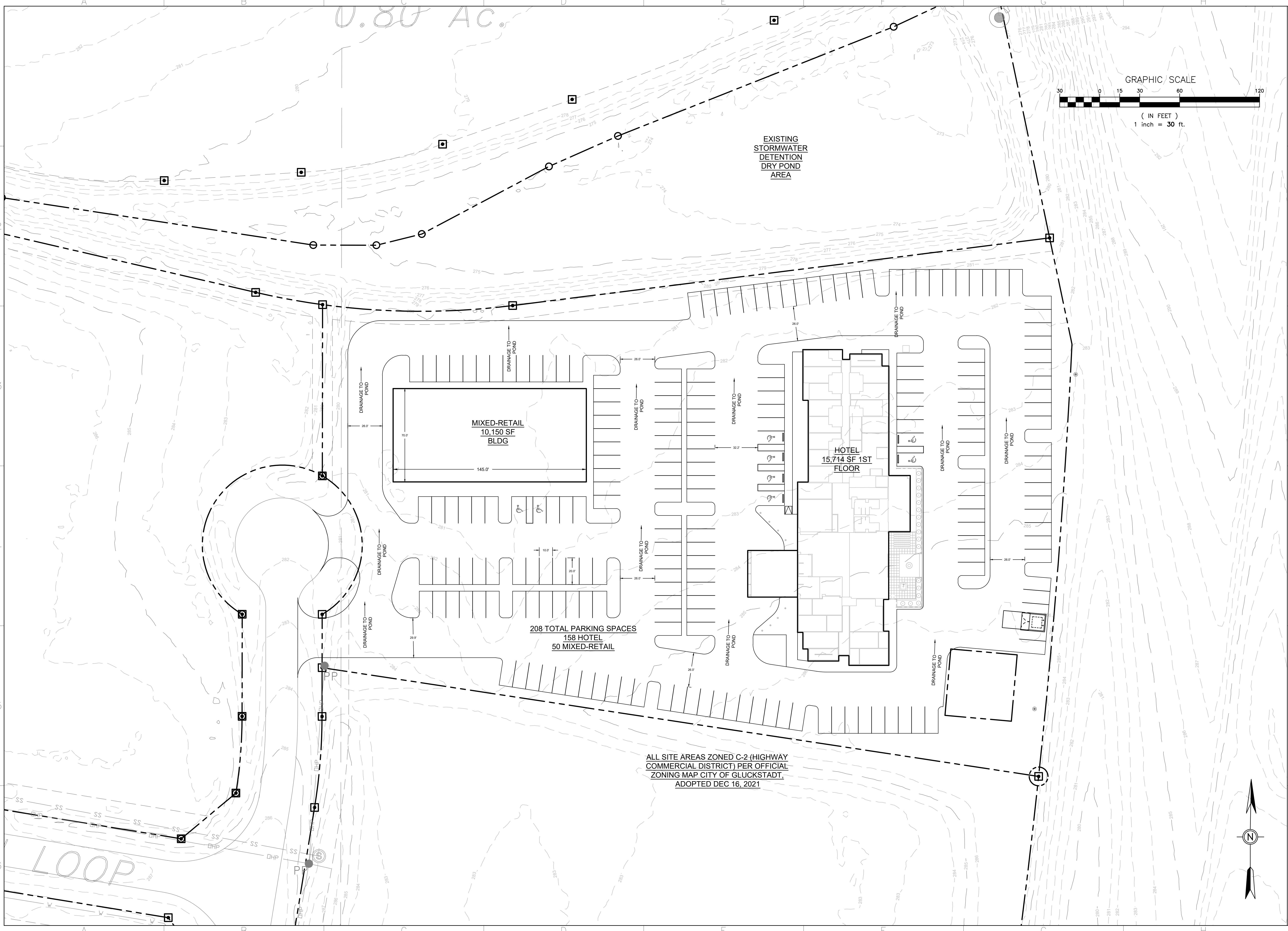
8

Howard Johnson

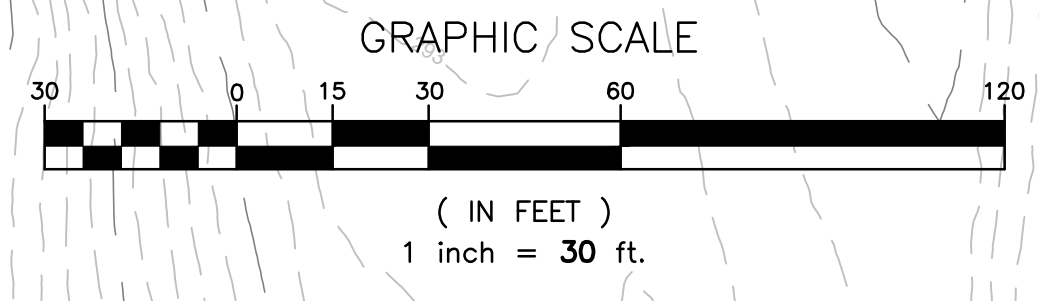
Travelodge

WYNDHAM REWARDS

THIS IS NOT AN OFFER. FEDERAL AND CERTAIN STATE LAWS REGULATE THE OFFER AND SALE OF FRANCHISES. AN OFFER WILL ONLY BE MADE IN COMPLIANCE WITH THOSE LAWS AND REGULATIONS, WHICH MAY REQUIRE WE PROVIDE YOU WITH A FRANCHISE DISCLOSURE DOCUMENT. FOR A COPY OF THE FDD CONTACT US AT 22 SYLVAN WAY, PARSIPPANY, NJ 07054. ALL HOTELS ARE INDEPENDENTLY OWNED AND OPERATED WITH THE EXCEPTION OF CERTAIN HOTELS MANAGED OR OWNED BY A SUBSIDIARY OF THE COMPANY. ©2021 WYNDHAM HOTELS & RESORTS, INC. ALL RIGHTS RESERVED.



0.80 AC.



EXISTING  
STORMWATER  
DETENTION  
DRY POND  
AREA

MIXED-RETAIL  
10,150 SF  
BLDG

HOTEL  
15,714 SF 1ST  
FLOOR

208 TOTAL PARKING SPACES  
158 HOTEL  
50 MIXED-RETAIL

ALL SITE AREAS ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT) PER OFFICIAL  
ZONING MAP CITY OF GLUCKSTADT,  
ADOPTED DEC 16, 2021

LOOP

Section 9, Item E)

ENGINEERING SOLUTIONS INC.  
4780 I-55 NORTH, SUITE 100-4,  
MEMPHIS, TN 38117  
601-557-2002 WWW.DEANESI.COM  
© DEAN ENGINEERING SOLUTIONS INC. THIS DOCUMENT IS THE  
PROPERTY OF DEAN ENGINEERING SOLUTIONS INC. NO REPRODUCTION  
OR TRANSMISSION OF THIS DOCUMENT OR PORTION THEREOF WITHOUT THE  
WRITTEN PERMISSION OF DEAN ENGINEERING SOLUTIONS INC. SHALL BE SUBJECT TO LEGAL ACTION.

W. SETH DEAN  
REGISTERED PROFESSIONAL  
ENGINEER  
NOT FOR  
CONSTRUCTION  
STATE OF MISSISSIPPI  
00-00-0000

#	Description	Date
1	PLANS SUBMITTED FOR REVIEW	01.17.25

OWNER:  
**ProCon**  
Global Investment Group  
3220 N. STATE ST.  
JACKSON, MS 39216

PROJECT TITLE: GLUCKSTADT HOTEL  
SHEET TITLE:  
**GRADING PLAN**  
SITE DEVELOPMENT

DATE:	17 JAN 2025
SCALE:	AS SHOWN
DRAWN BY:	WSD
REVIEWED BY:	WSD
SHEET NUMBER:	<b>C5.0</b>





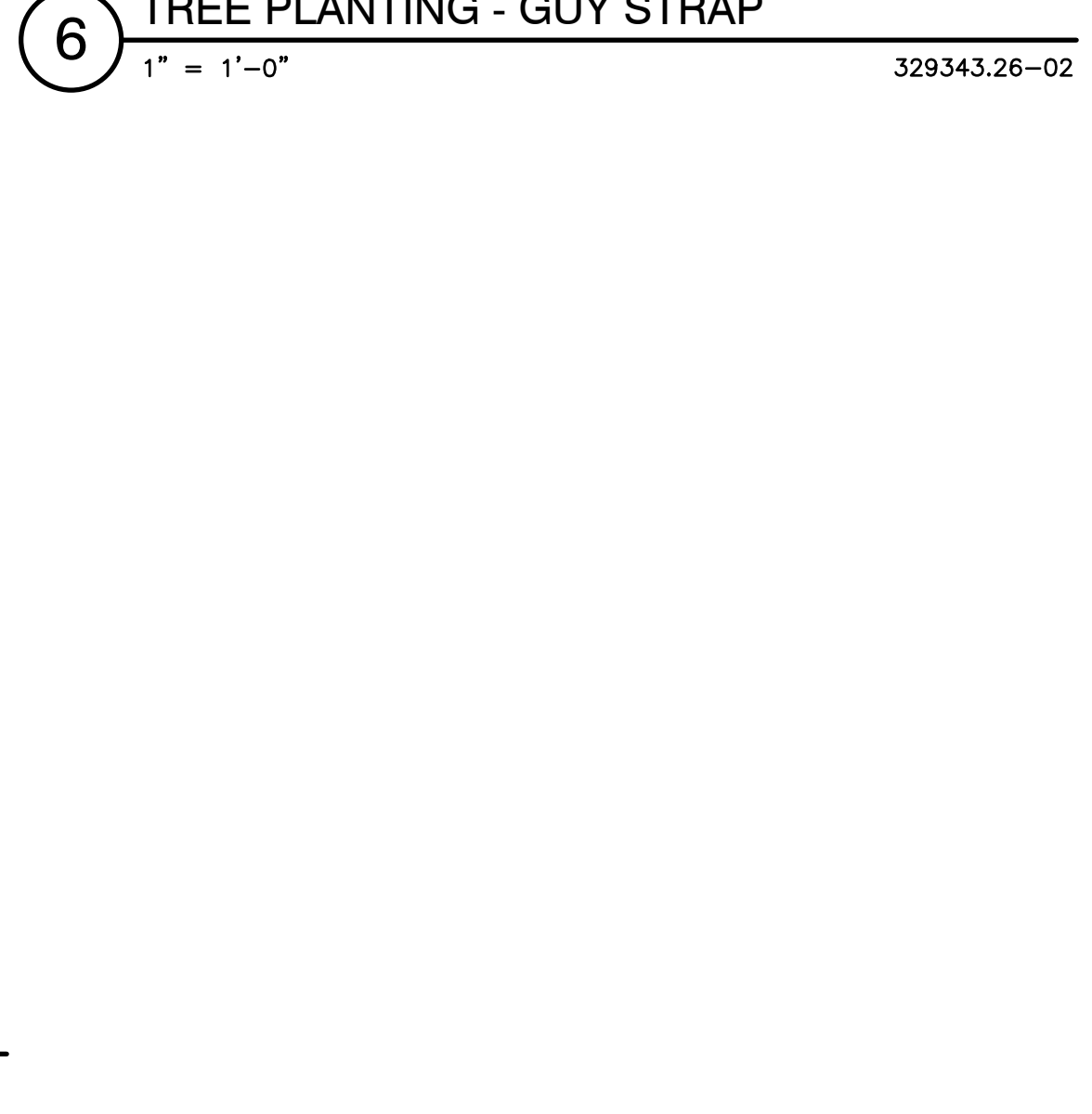
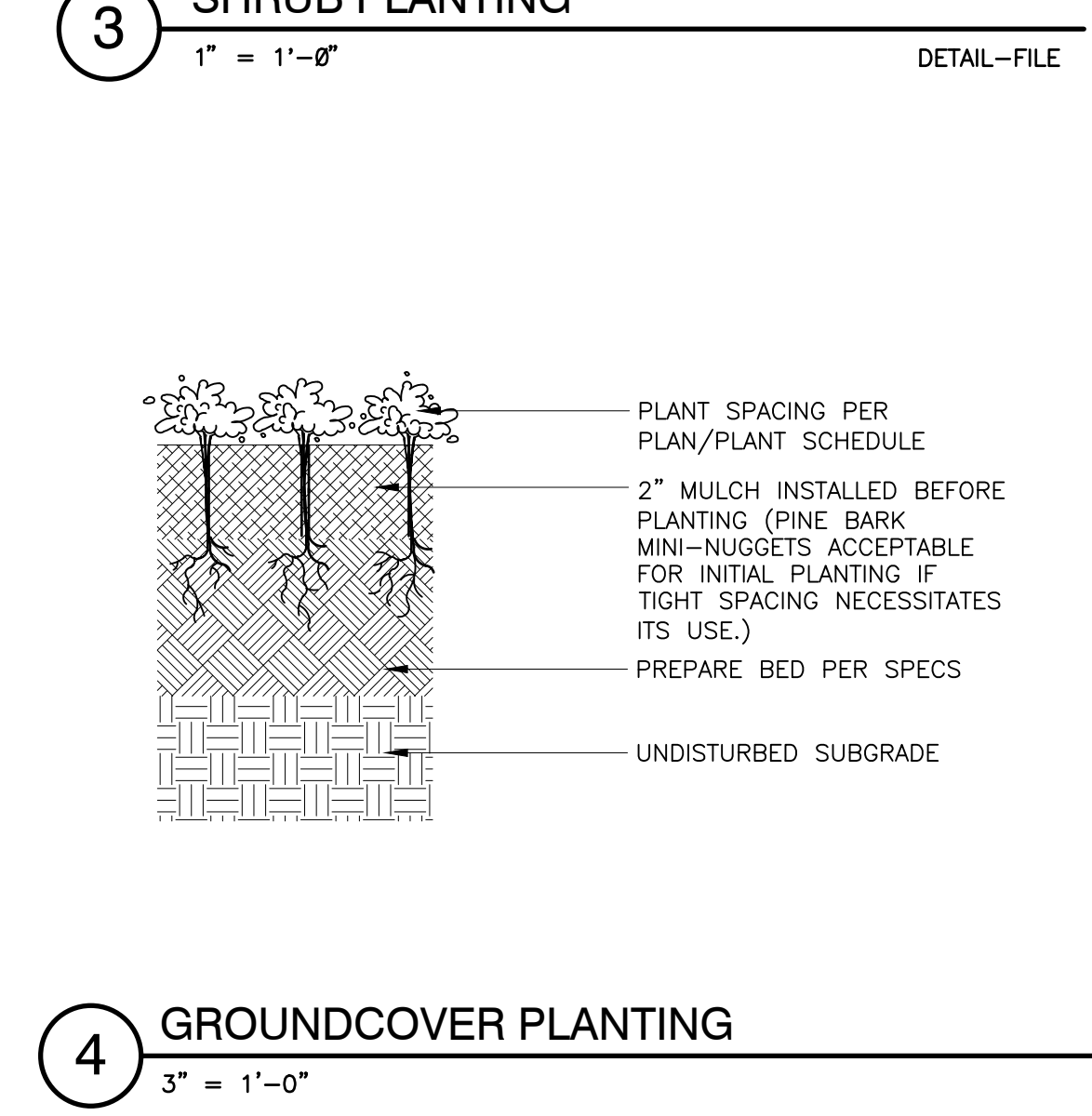
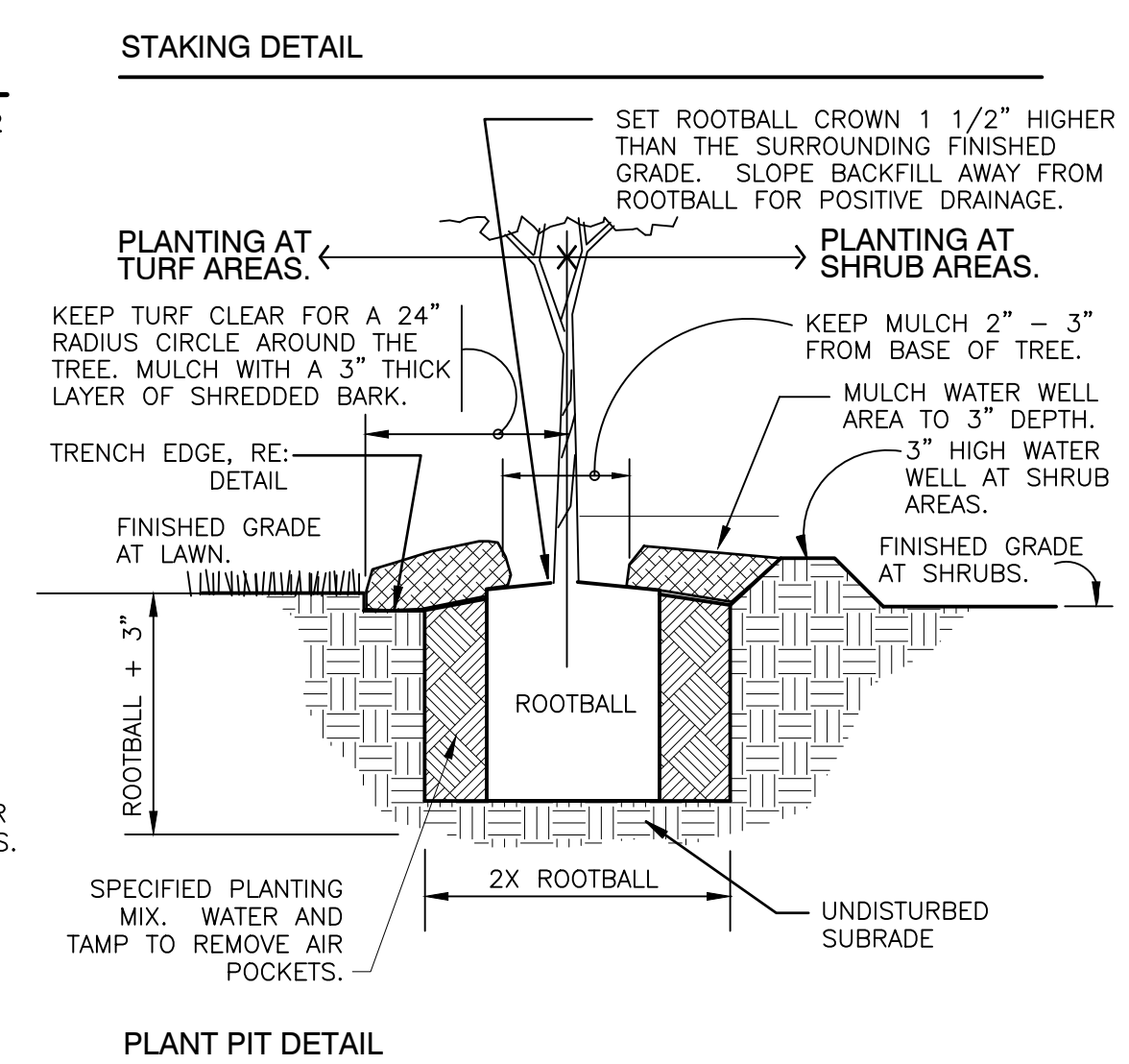
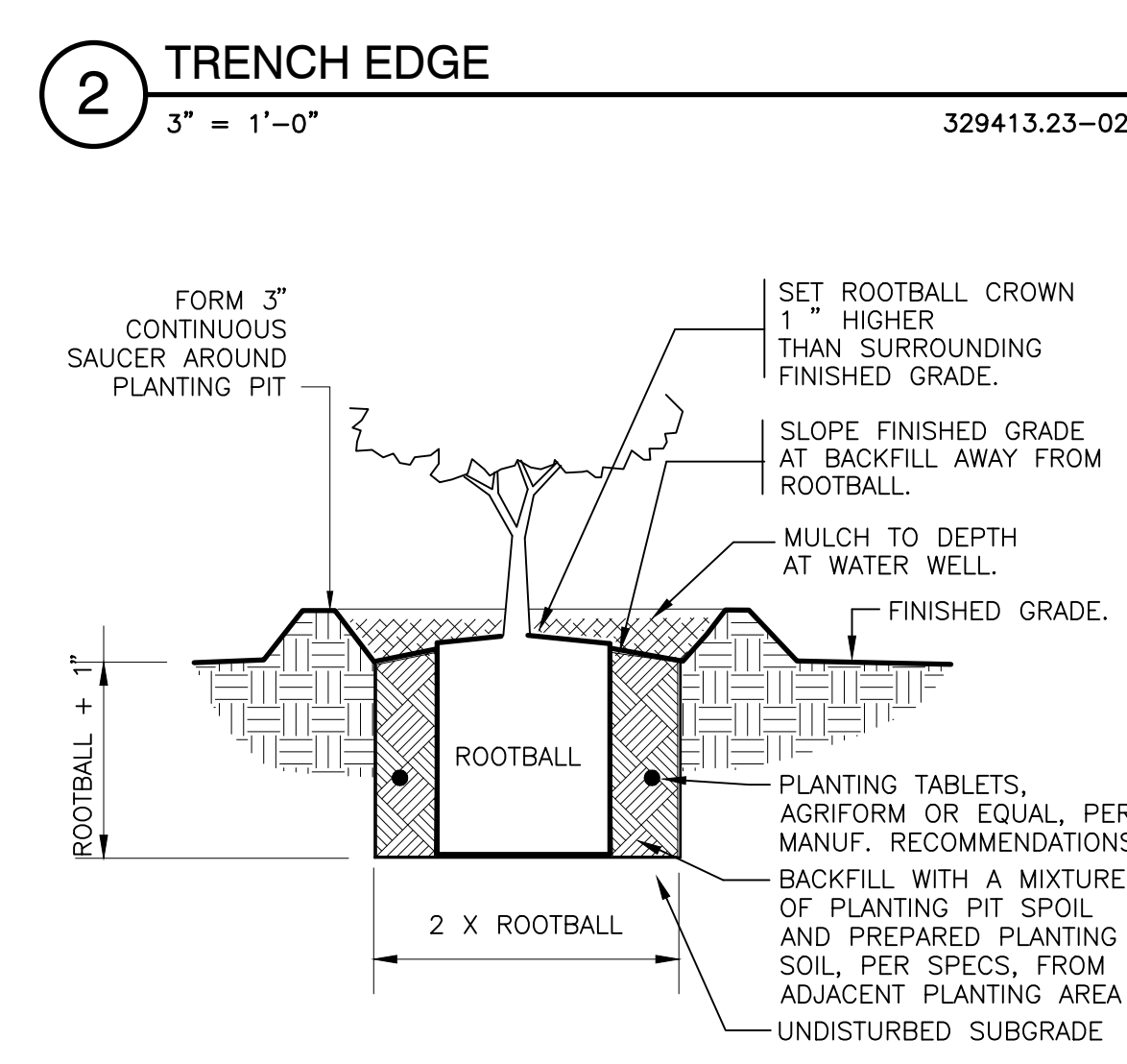
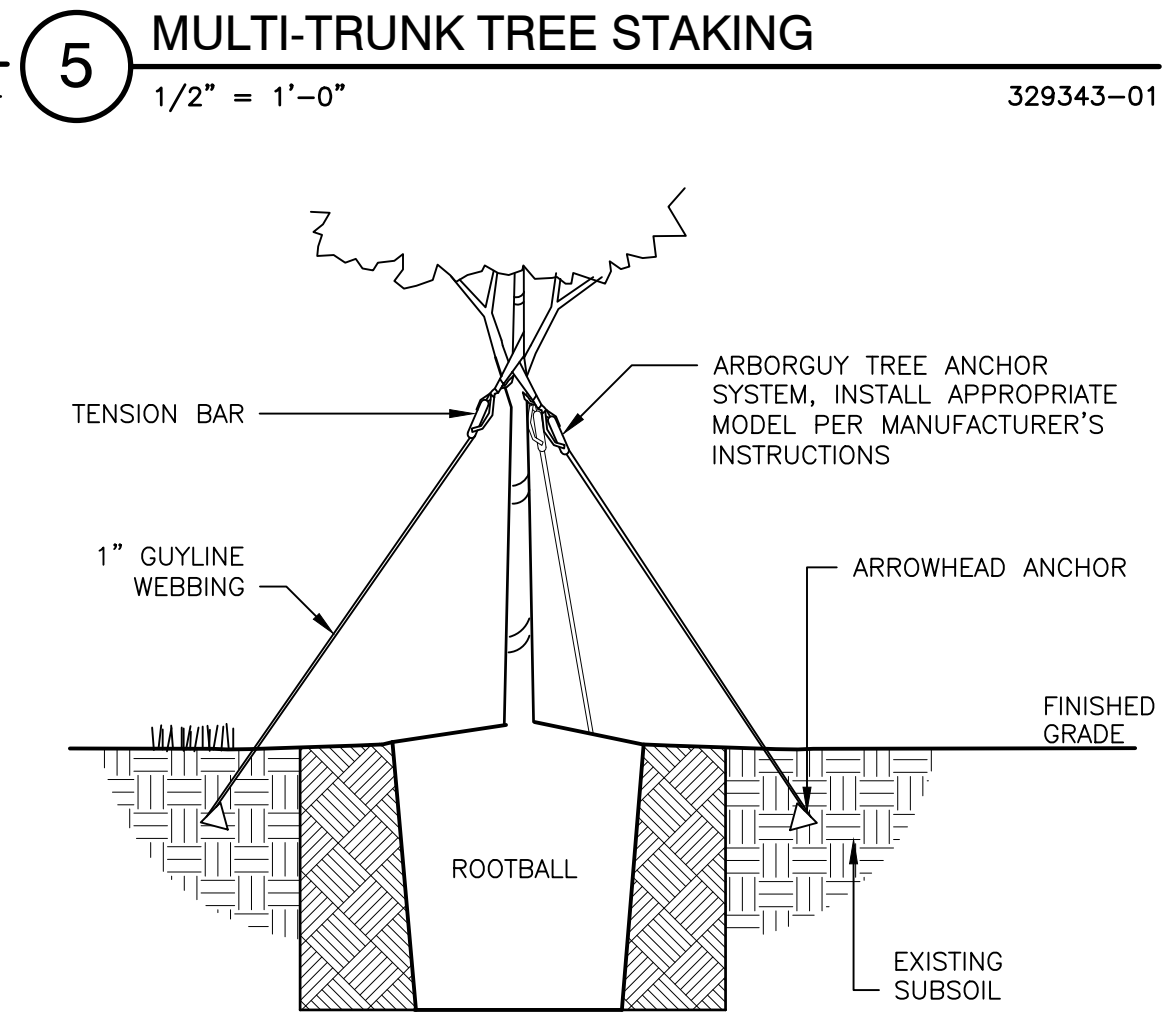
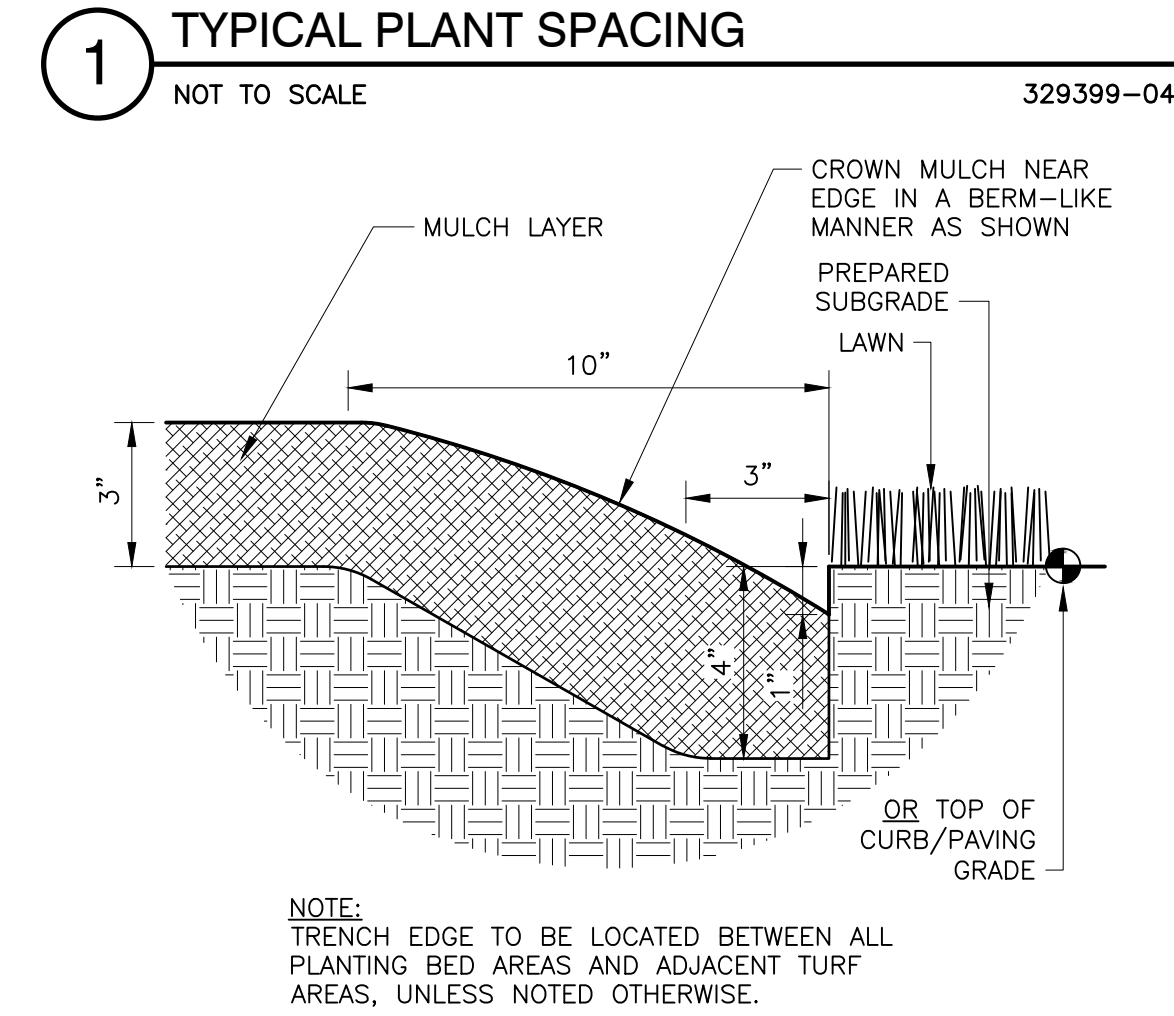
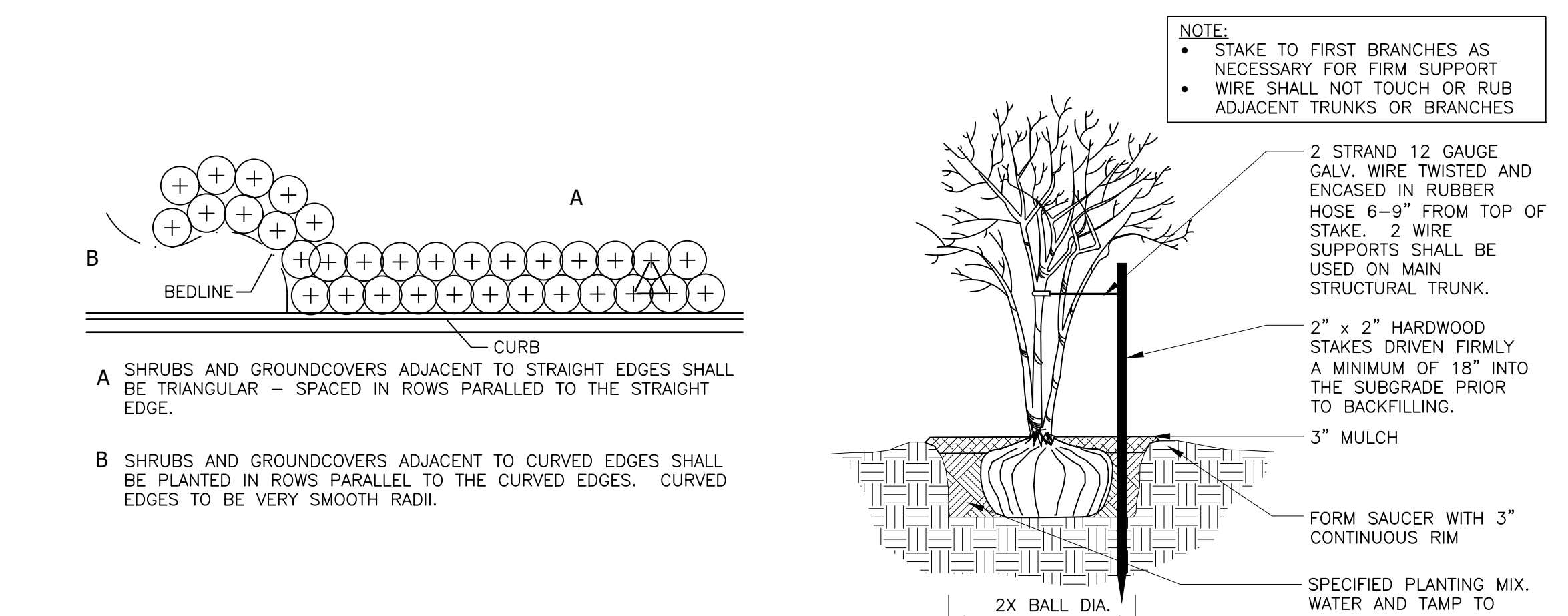


**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
<b>TREES</b>						
	IO	5	ILEX HYBRID 'CONAF' / OAK LEAF HOLLY FULL TO GROUND, SPECIMEN QUALITY	B&B OR CONT		6'
	QS	26	QUERCUS SHUMARDII / SHUMARD RED OAK FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	TD	7	TAXODIUM DISTICHUM / BALD CYPRESS FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	UA	16	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	2.0" - 2.5" CAL	10'-12'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	SPACING
<b>SHRUBS</b>						
	CG	20	CAMELLIA SASANQUA 'SHISHI GASHIRA' / SHISHI GASHIRA CAMELLIA	3 GAL		36" o.c.
	DM2	53	DISTYLIIUM 'VINTAGE JADE' / VINTAGE JADE DISTYLIIUM	3 GAL		48" o.c.
	CH	106	ILEX CORNUTA 'CARISSA' / CARISSA HOLLY FULL FORM	3 GAL		36" o.c.
<b>GROUND COVERS</b>						
	LG	99	LIRIOPE MUSCARI 'EVERGREEN GIANT' / EVERGREEN GIANT LILYTURF	1 GAL		24" o.c.
	RW	129	ROSA 'MEIZORLAND'™ / WHITE DRIFT ROSE	1 GAL		30" o.c.
<b>SOD/SEED</b>						
	SOD	32,424 SF	CYNODON DACTYLON 'TIFWAY 419' / TIFWAY 419 BERMUDA GRASS	SOD		

**QUANTITY TAKEOFF DISCLAIMER:**  
 QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

**IRRIGATION NOTE:**  
 ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.



landscape architecture  
 land planning  
 placemaking

**was DESIGN**  
 landscape architects www.was-design.com

Foley, Alabama P. 251.948.7181  
 Mobile, Alabama P. 251.344.4023  
 Jackson, Mississippi P. 601.790.0781  
 Pensacola, Florida P. 850.203.4252

**NOT FOR CONSTRUCTION**  
 THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
**Gluckstadt Hotel**  
 Gluckstadt, Mississippi

Revisions

No.	Date	Revisions / Submissions
01	01.20.25	FOR PERMIT

© Copyright 2024 WAS Design Inc. These documents and their contents are the property of WAS Design. Any reproductions, revisions, modifications or use of these documents without the express written consent of WAS Design is prohibited by law.

YJ Drawn  
 YJ Project Manager  
 JLA Principal  
 253470-003 Project No.  
 01.17.25 Date

Registration - FL LA666896

Drawings not valid without seal  
 Sheet Title

**PLANTING DETAILS**

Sheet No. **LP500**







**ORDER APPROVING AND GRANTING AND ALLOWING  
A DIMENSIONAL VARIANCE ON APPLICATION OF LEE SAHLER AND  
D&S INVESTMENT GROUP, LLC (WYNDHAM HOTEL)  
FOR PROPERTY IDENTIFIED AS PARCEL NO. 082E-21-016/29.00,  
IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

THERE CAME ON for consideration by Applicant D&S Investment Group, LLC, the issue of whether a Dimensional Variance in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Dimensional Variance as permitted by Section 804 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt’s Official Zoning Ordinance of December 16, 2021, to Applicant D&S Investment Group, LLC, to allow the development of a Wyndham Hotel to exceed the 3 story maximum to 4 stories and building height from 40’ to 57’ and to allow a variance in parking spaces from the required 165 spaces to 158 spaces on certain real property identified as Parcel No. 082E-21-016/29.00, in the City of Gluckstadt, Madison County, Mississippi; and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt (the “Zoning Commission”), which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Zoning Commission upon conclusion of its January 28, 2025, meeting recommended in writing approval by the Board of Aldermen of the request for a Dimensional Variance, and that the recommendation be forwarded to the next meeting of the Mayor and Board of Aldermen for their consideration; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice, the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on January 28, 2025, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application.

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant D&S Investment Group, LLC, to grant a Dimensional Variance for real property identified as Parcel No. 082E-21-016/29.00, in the City of Gluckstadt, Madison County, Mississippi, is hereby granted, namely to allow the development of a Wyndham Hotel to exceed the 3 story maximum to 4 stories and building height from 40’ to 57’ and to allow a variance in parking spaces from the required 165 spaces to 158 spaces on the subject property; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Dimensional Variance.
4. The requested designation meets the definitions of a Dimensional Variance of the Zoning Ordinance.
5. The subject property described herein, below, is within a zoning district zoned C-2:  
Tax Parcel No. 082E-21-016/29.00, located in the City of Gluckstadt, Madison County, Mississippi.
6. The strict application of this Ordinance would result in peculiar and exceptional practical difficulties to or exceptional hardship upon the owner of the property at issue and granting the Variance request will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.
7. The reasons set forth in the application justify the granting of the variance, and the variance constitutes the minimum allowable deviation from the dimensional regulations of the Zoning Ordinance in order to make possible the responsible use of the land, building or structures. Further, the granting of the Dimensional Variance will be in harmony with the general purpose and intent of this Ordinance, and the



Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

- 8. The Mayor and Board of Aldermen find that all portions of Sections 804.01 and 804.06 of the Zoning Ordinance have also been complied with and that all requirements of Sections 804.01 and 804.06 of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Zoning Commission and to the Mayor and Board of Aldermen. The site plan requirement has been met pursuant to Section 804.03 of the Zoning Ordinance.
- 9. The granting of this Dimensional Variance does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Dimensional Variance is granted.

ORDAINED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2025.

The foregoing Order, having been reduced to writing, Alderman \_\_\_\_\_ moved that said Order be adopted. Alderman \_\_\_\_\_ seconded. The vote was as follows:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI DENYING THE APPLICATION FOR DIMENSIONAL VARIANCE OF LEE SAHLER AND D&S INVESTMENT GROUP, LLC (WYNDHAM HOTEL) FOR PROPERTY BEING IDENTIFIED AS PARCEL NO. 082E-21-016/29.00 IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, D&S Investment Group, LLC (the "Applicant"), did file an Application for Dimensional Variance to change the dimensional requirements as permitted by Section 804 for the property described herein, which property is located in a C-2 Highway Commercial District Classification, under the City of Gluckstadt's Official Zoning Ordinance of December 16, 2021, to Applicant D&S Investment Group, LLC, to allow the development of a Wyndham Hotel to exceed the 3 story maximum to 4 stories and building height from 40' to 57' and to allow a variance in parking spaces from the required 165 spaces to 158 spaces; the real property involved is certain real property identified as Parcel No. 082E-21-016/29.00, in the City of Gluckstadt, Madison County, Mississippi; and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt (the "Zoning Commission"), which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, the Zoning Commission, upon conclusion of its January 28, 2025, meeting recommended in writing approval by the Board of Aldermen of the request for a Dimensional Variance, and that the recommendation be forwarded to the next meeting of the Mayor and Board of Aldermen for their consideration; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be

published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, , and did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice, the Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on January 28, 2025, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application.

WHEREAS, at the conclusion of the discussion of the Zoning Commission’s recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows: to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found,

determined and adjudicated to be true and correct.

SECTION 2. The property affected by this Resolution is located in the City of Gluckstadt, Madison County, Mississippi, identified as Parcel No. 082E-21-016/29.00, in the City of Gluckstadt, Madison County, Mississippi.

SECTION 3. That the Application of D&S Investment Group, LLC, for Dimensional Variance on the property described herein, to allow the development of a Wyndham Hotel to exceed the 3 story maximum to 4 stories and building height from 40' to 57' and to allow a variance in parking spaces from the required 165 spaces to 158 spaces on the subject property, be and same is hereby denied.

SO RESOLVED BY THE MAYOR AND BOARD OF ALDERMEN of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2025.

The motion to adopt the above and foregoing Resolution was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following result:

- Alderman Miya Warfield-Bates voted: \_\_\_\_\_
- Alderman Jayce Powell voted: \_\_\_\_\_
- Alderman Richard Wesley Slay voted: \_\_\_\_\_
- Alderman John Taylor voted: \_\_\_\_\_
- Alderman Lisa Williams voted: \_\_\_\_\_

Whereupon, the Mayor declared the motion carried and the resolution adopted.

The foregoing resolution is approved, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**REQUEST FOR REZONING APPLICATION**

Subject Property Address: Gluckstadt Rd., Gluckstadt, MS  
Owner: bedi investments Applicant: bedi investments  
Address: \_\_\_\_\_ Address: \_\_\_\_\_

Phone No. 601-238-5918 Phone No. 601-238-5918  
Current Zoning District: C-1  
Requested Change C-2

**Requirements of Applicant:**

1. Letter stating reason for requested zoning change.
2. Copy of the written legal description.
3. Site plan of property.
4. Identification of property owners within 160 feet of subject property
5. \$250.00 fee required for processing.

**Criteria for Rezoning:** *(Section 2406.03 Zoning Ordinance)*

- (a) Show proof that a mistake was made in the original zoning. "Mistake" in this context shall refer to a clerical or administrative error.
- (b) Show proof that the character of the neighborhood has changed to such an extent as to justify reclassification, AND that there is a public need for the rezoning

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

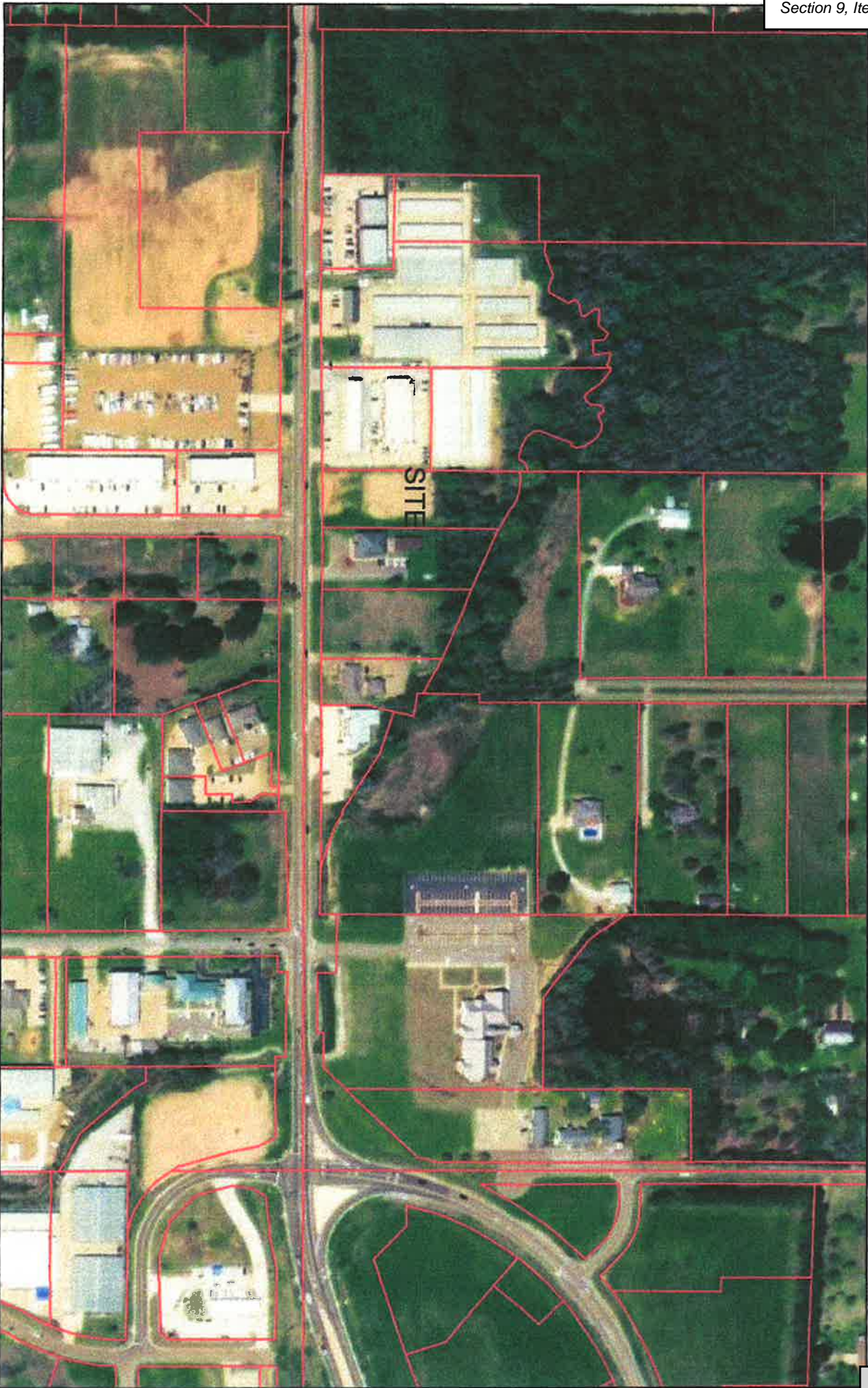
**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for rezoning.

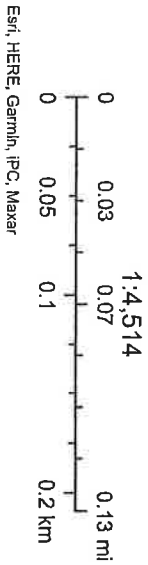
[Signature]  
Applicant Signature  
[Signature]  
Property Owner Signature

12-27-24  
Date  
12-27-24  
Date

Edit Title Here



12/12/2024, 4:13:41 PM  
 Parcels





**Re: Gluckstadt Road Liquor Store Building**

From: dluccas@lucaseng.com (dlucas@lucaseng.com)

To: wooldridgearchitecture@yahoo.com

Date: Monday, December 30, 2024 at 11:33 AM CST

Please see replies to the comments in red and attached revised plans and calculations.

The following are comments from the Engineers:

1) Please provide detailed hydraulic/hydrologic calculations. The provided table does not show time of concentration, intensity reference, etc.

Information is provided in stormwater calculations PDF. PDF was modified to include requested information.

2) Detention is to be provided by the 48" storm drain system. Please provide calculations showing that the 48" pipes will provide sufficient volume to detain the additional runoff created by the development.

Information is provided in stormwater calculations PDF.

3) Clarification: Does flow through 6" orifice on modified SS-3 flow into the 15" outflow pipe?

Yes. Detail was revised to clarify intent.

4) Clarification: Is 24" extension with opening on SS-3 to prevent surcharge for drainage/detention system in case 6" orifice becomes clogged?

No. 24" is just a separation between 6" detaining orifice and 15" outlet pipe. Surcharge flow in case of clogging would be over orifice wall. Detail was revised to clarify intent.

5) Clarification: All inlets appear to be SS-3 or SS-3 modified. Why is the IG-1 grate MDOT standard detail for a median inlet provided? The SS-3 standard contains the dimensions for the grate of an SS-3. Is this for the SS-3 extension opening? If so, please show on detail.

IG-2 standard detail should have been used instead of IG-1 and is now a part of the plans. See note 3 on SS-3 detail.

6) Development does not appear to impact the pending floodway, but designer might consider showing pending floodway line (effective January 17, 2025) on plans for informational purposes. Pending floodway can be found at FEMA Map Service Center website.

Pending floodway line has been considered as a result of this comment. It appears that the new map will only help our design by slightly moving the floodway line north. The map was not available to print to scale to import into cad. We will wait for the full release of the map and reduce the north end of the retaining wall, if possible, before construction.

**Don Lucas, P.E.**  
Principal



763 Clara Foote Road  
 Braxton, MS 39044  
 Tel. (601)720-3845

**From:** Daniel Wooldridge <wooldridgearchitecture@yahoo.com>  
**Sent:** Friday, December 27, 2024 10:39 AM  
**To:** Don Lucas <ducas@lucaseng.com>  
**Subject:** Fw: Gluckstadt Road Liquor Store Building

The City has reviewed our drawings and there are some notes below. Can you help us answer their reviews?  
 Thank you  
 Daniel

----- Forwarded Message -----

**From:** William Hall <william.hall@gluckstadt.net>  
**To:** Daniel Wooldridge <wooldridgearchitecture@yahoo.com>; Chris Buckner <chris.buckner@gluckstadt.net>  
**Cc:** Bridgette Smith <bridgette.smith@gluckstadt.net>; Amber Trotter <amber.trotter@gluckstadt.net>  
**Sent:** Thursday, December 19, 2024 at 04:56:18 PM CST  
**Subject:** Gluckstadt Road Liquor Store Building

Good morning,

There are a few things we need to get in motion for the proposed Liquor Store Building on Gluckstadt Road.

1. For clarity, the existing store owned by the Bedi family, Germantown Wine and Spirits at 101 Lexington Drive, will be closed so the new proposed location can reopen as the same existing business just with a new location.
2. This property is currently zoned C-1. It must be rezoned to C-2 and have an approved Conditional Use for a liquor store. We can run all three concurrently on the same meeting. Rezone first, Conditional Use second, Site Plan third. There are some requirements of mail outs to surrounding property owners and such that will need to be done to complete the rezone application. We will provide a list of all things needed with the application.
3. There are insufficient parking spaces as designed. 50 are needed and only 45 provided. Please note there is a current project underway to widen Gluckstadt Rd. It is currently in the design phase and it is not known at this time if it will impact the space available at the street frontage side of the lot for parking. Please coordinate with the Public Works Department for information regarding that project.
4. Per the Landscape Ordinance; Trees shall be required at the minimum rate of one (1) natural shade tree for every ten parking spaces. The parking rows shall begin and terminate with a landscape island and no more than fifteen (15) parking spaces shall be permitted in a continuous row without being interrupted by a landscape island. Landscape islands shall be a minimum 200 sq. ft.
5. Color elevation renderings are required.

The following are comments from the Engineers:

- 1) Please provide detailed hydraulic/hydrologic calculations. The provided table does not show time of concentration, intensity reference, etc.
- 2) Detention is to be provided by the 48" storm drain system. Please provide calculations showing that the 48" pipes will provide sufficient volume to detain the additional runoff created by the development.
- 3) Clarification: Does flow through 6" orifice on modified SS-3 flow into the 15" outflow pipe?
- 4) Clarification: Is 24" extension with opening on SS-3 to prevent surcharge for drainage/detention system in case 6" orifice becomes clogged?
- 5) Clarification: All inlets appear to be SS-3 or SS-3 modified. Why is the IG-1 grate MDOT standard detail for a median inlet provided? The SS-3 standard contains the dimensions for the grate of an SS-3. Is this for the SS-3 extension

Section 9, Item F)

opening? If so, please show on detail.



6) Development does not appear to impact the pending floodway, but designer might consider showing pending floodway line (effective January 17, 2025) on plans for informational purposes. Pending floodway can be found at FEMA Map Service Center website.

Please make any revisions necessary and submit three new hard copies (minimum 24x36 sizing) and digital copies for review.

Thank you,



William R. Hall  
Planning and Zoning Administrator  
Office: (769) 567-2314  
Fax: (769) 567-2305

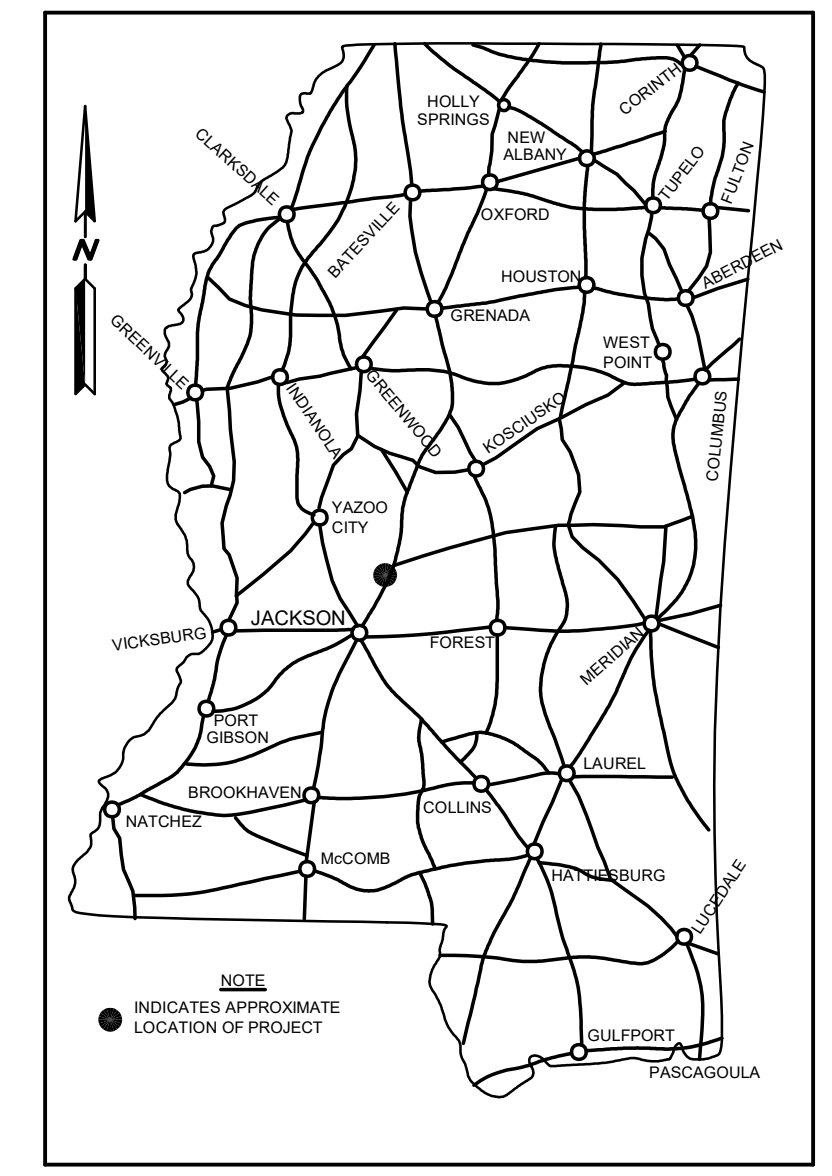
-  Gluckstadt Retail Stormwater Calcs 12-17-24.pdf  
698.4kB
-  GLUCKSTADT RETAIL 12-16-24.pdf  
2.7MB



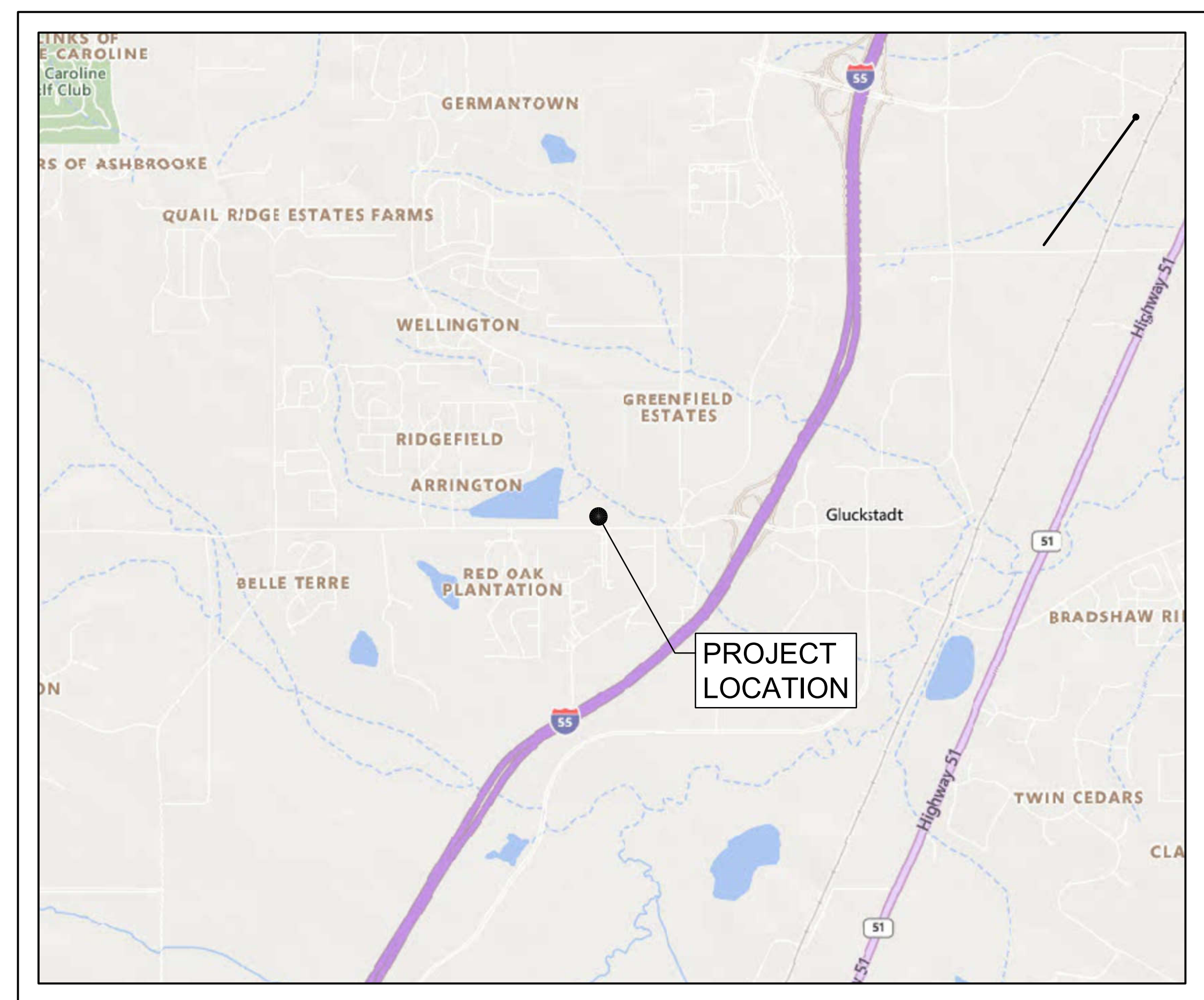
# Civil Construction Plans for Gluckstadt Retail Center

City of Gluckstadt, Mississippi  
Madison County, Mississippi  
December 17, 2024

LEGEND	
•	Property Corner
- 277 -	Existing Ground Contour Line
- 277 -	Finished Ground Contour Line
✕	BOC 429.35 Finished Grade Spot Elevation
BLDG	Building
BM	Bench Mark
BOC	Back of Curb
CONC	Proposed Edge of Concrete
CPP	Corrugated Plastic Pipe
EP	Edge of Pavement
EX	Existing
FFE	Finished Floor Elevation
FOC	Fiber Optic Cable
FG	Proposed Finished Grade
FL	Flow Line
G	Gas Line
INV	Invert
IPF	Iron Pin Found
IPS	Iron Pin Set
LF	Linear Feet
E	East
MNS	Magnetic Nail Set
N	North
NE	North East
NW	North West
P	Overhead Power
PVC	Polyvinyl Chloride
PN	Point Number
○	Power Pole
RCP	Reinforced Concrete Pipe
REQ'D	Required
R2.00'	Radius
R.O.W.	Right of Way
SSMH	Sanitary Sewer Manhole
S	South
SE	South East
SF	Silt Fence
SF	Square Foot
- SS -	Sanitary Sewer Existing
- S -	Sanitary Sewer Service Proposed
SW	South West
SY	Square Yards
TP	Turning Point
TPED	Telephone Pedestal
TIE	Tie to Existing Grade
TYP	Typical
- - W - -	Water Line Existing
- W -	Water Line Service Proposed
W	West

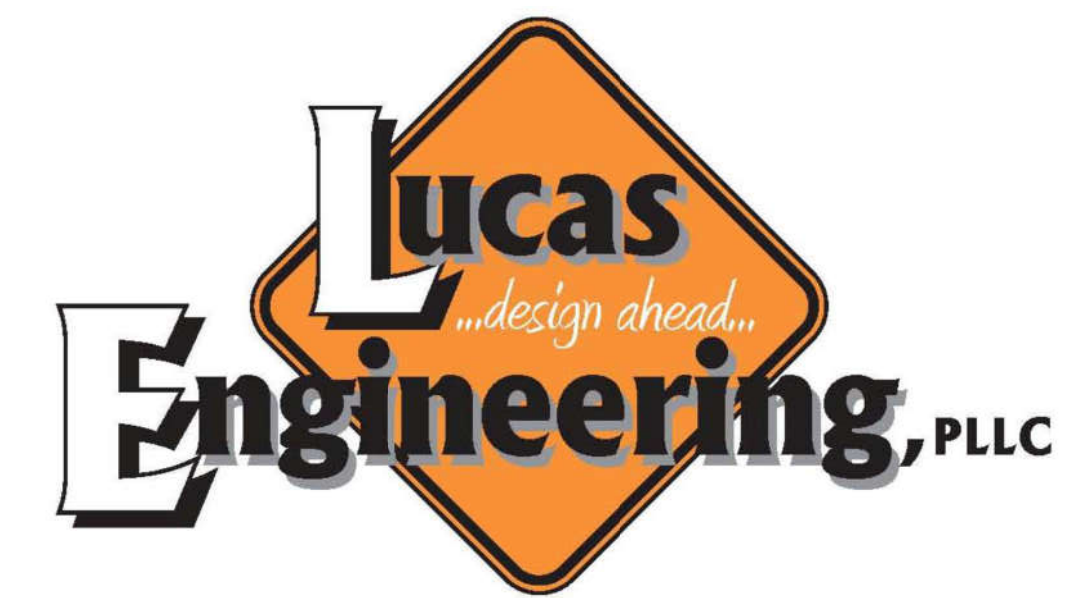


LOCATION MAP

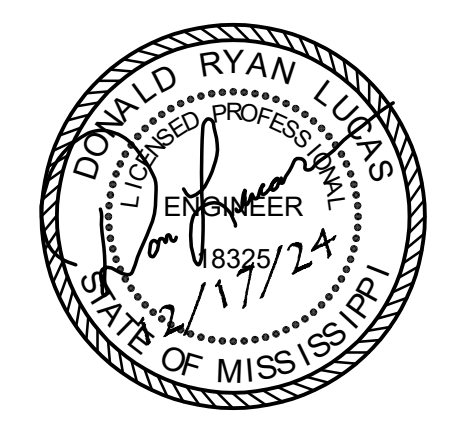


VICINITY MAP

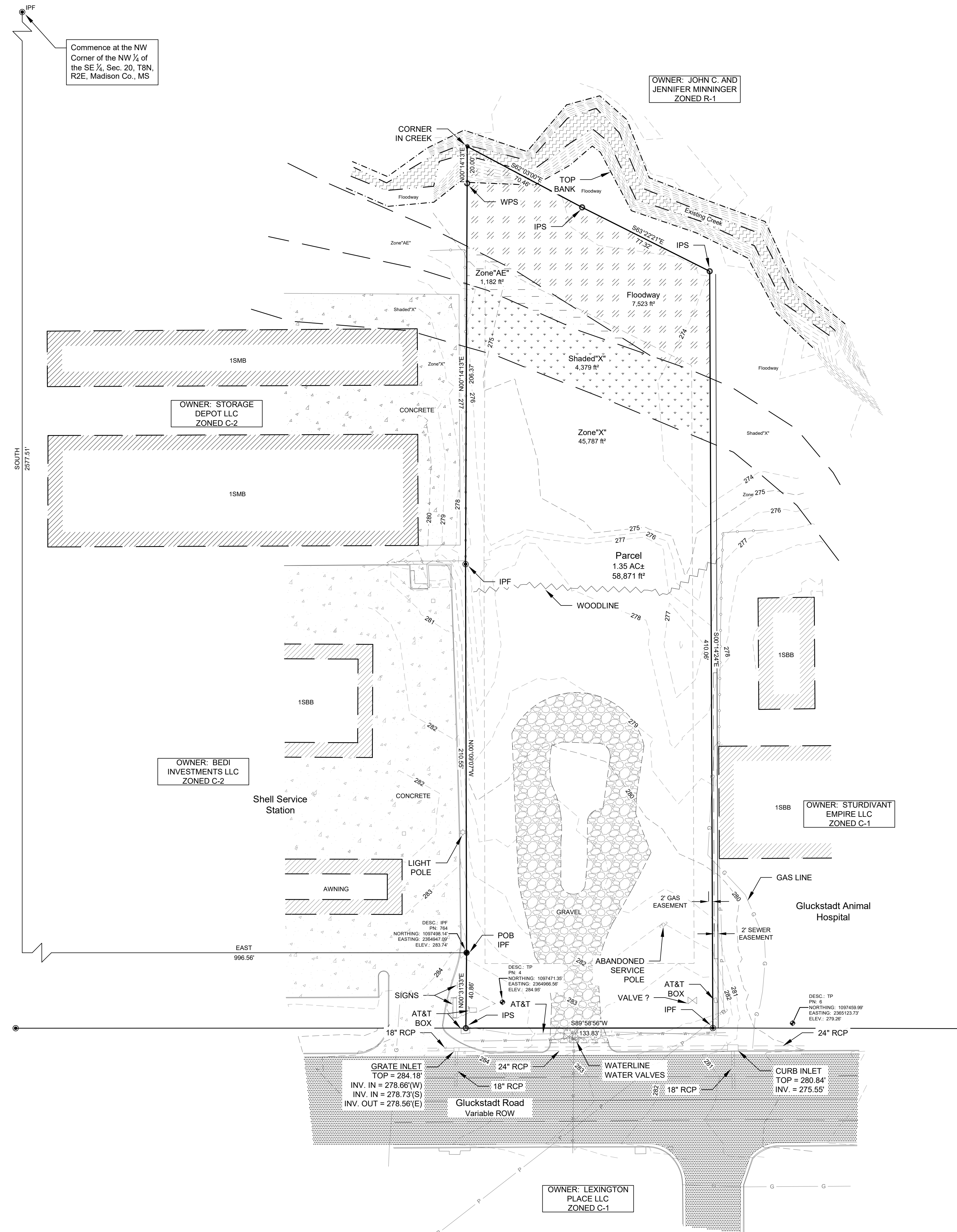
DRAWING INDEX	
Sheet No.	Description
C-1	Cover Sheet
C-2	Topographic Survey
C-3	Site Plan
C-4	Grading and Drainage Plan
C-5	Storm Water Pollution Prevention Plan
C-6	Water and Sewer Plan
MDOT Standard Details IG-1 and SS-3	



763 CLARA FOOTE ROAD  
BRAXTON, MS 39044  
(601)720-3845  
DLUCAS@LUCASENG.COM







Commence at the NW Corner of the NW 1/4 of the SE 1/4, Sec. 20, T8N, R2E, Madison Co., MS

OWNER: JOHN C. AND JENNIFER MINNINGER  
ZONED R-1

OWNER: STORAGE DEPOT LLC  
ZONED C-2

OWNER: BEDI INVESTMENTS LLC  
ZONED C-2

OWNER: STURDIVANT EMPIRE LLC  
ZONED C-1

OWNER: LEXINGTON PLACE LLC  
ZONED C-1

Legend	
○	Monument Set
●	Monument Found
○	No Monument Set
IPF	Iron Pin Found
WPS	Witness Pin Set
TP	Found Metal T-Post
POB	Point of Beginning
ROW	Right of Way
APR	As Per Record
APS	As Per Survey
1SMB	1 Story Metal Building
1SBB	1 Story Brick Building
○	Power Pole
—	Overhead Electric Line
—	Chain Link Fence

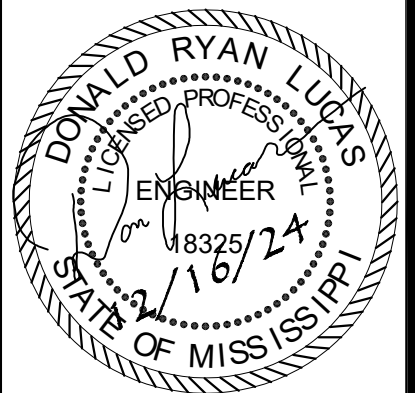


- NOTES:
- EXISTING SEWER COULD NOT BE LOCATED AT TIME OF SURVEY. ACCORDING TO BEAR CREEK WATER ASSOCIATION GRAVITY SEWER IS LOCATED ALONG THE SOUTH SIDE OF GLUCKSTADT ROAD.
  - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", SHADED "X" AND "AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER 28089C0415F, WITH AN EFFECTIVE DATE OF MARCH 17, 2010, FOR COMMUNITY NUMBER 280228 IN MADISON COUNTY, STATE OF MISSISSIPPI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PREMISES IS SITUATED.

CAD FILE: C:\M\Design.dwg	PROJECT NO.: Gluckstadt	SCALE: 1" = 30'	DESIGNED BY: DRL	DRAWN BY: DRL	CHECKED BY: DRL
763 CLARA FOOTER ROAD BRAXTON, MS 39044 (601) 720-3845 dlucas@lucaseng.com					
PREPARED FOR: <b>BEDI INVESTMENTS, LLC</b> <b>457 BOZEMAN ROAD</b> <b>MADISON, MS 39110</b>					
<b>TOPOGRAPHIC SURVEY</b>			<b>SW 1/4 OF THE SE 1/4 OF SECTION 20, T 8 N, R 2 E MADISON COUNTY, MISSISSIPPI</b>		
SHEET NO. <b>C-1</b>					



CAD FILE: C:\DWG\Design.dwg  
PROJECT NO.: Gluckstadt  
SCALE: 1" = 20'  
DESIGNED BY: DRL  
DRAWN BY: DRL  
CHECKED BY: DRL



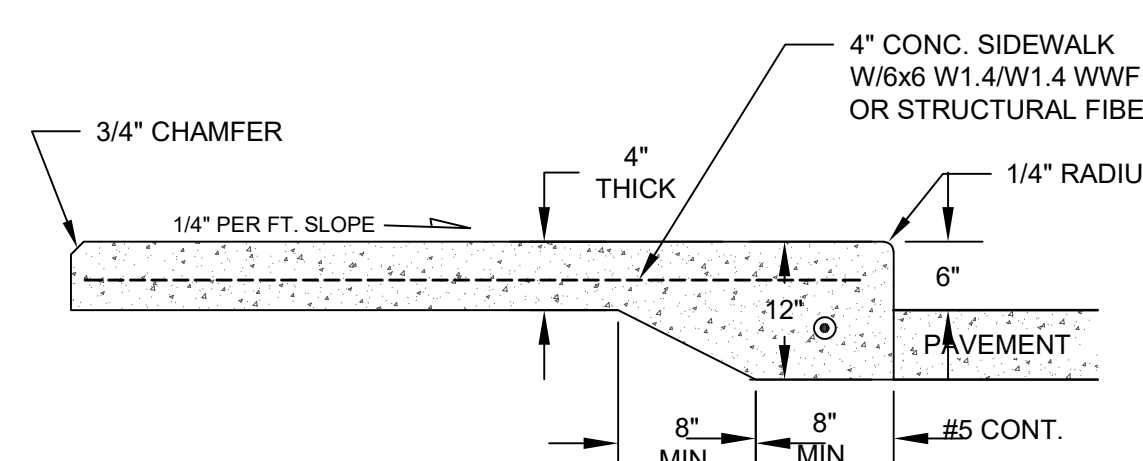
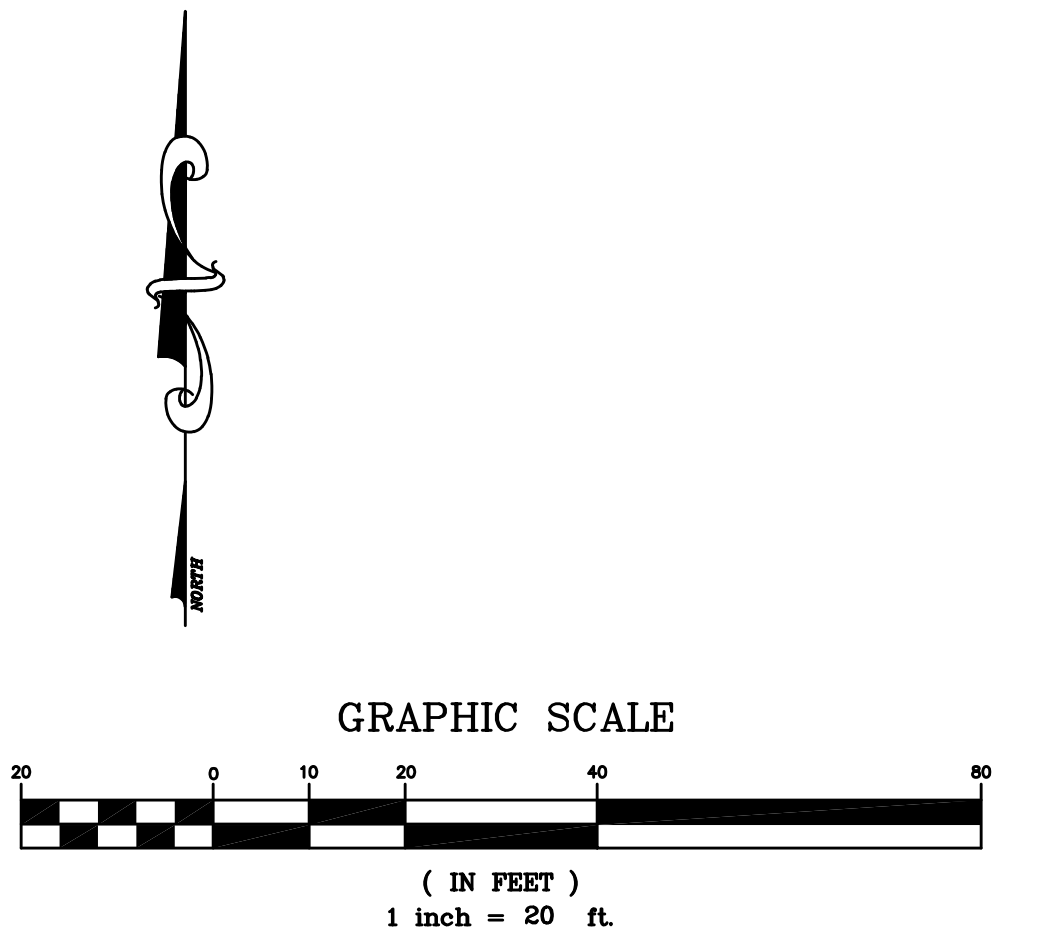
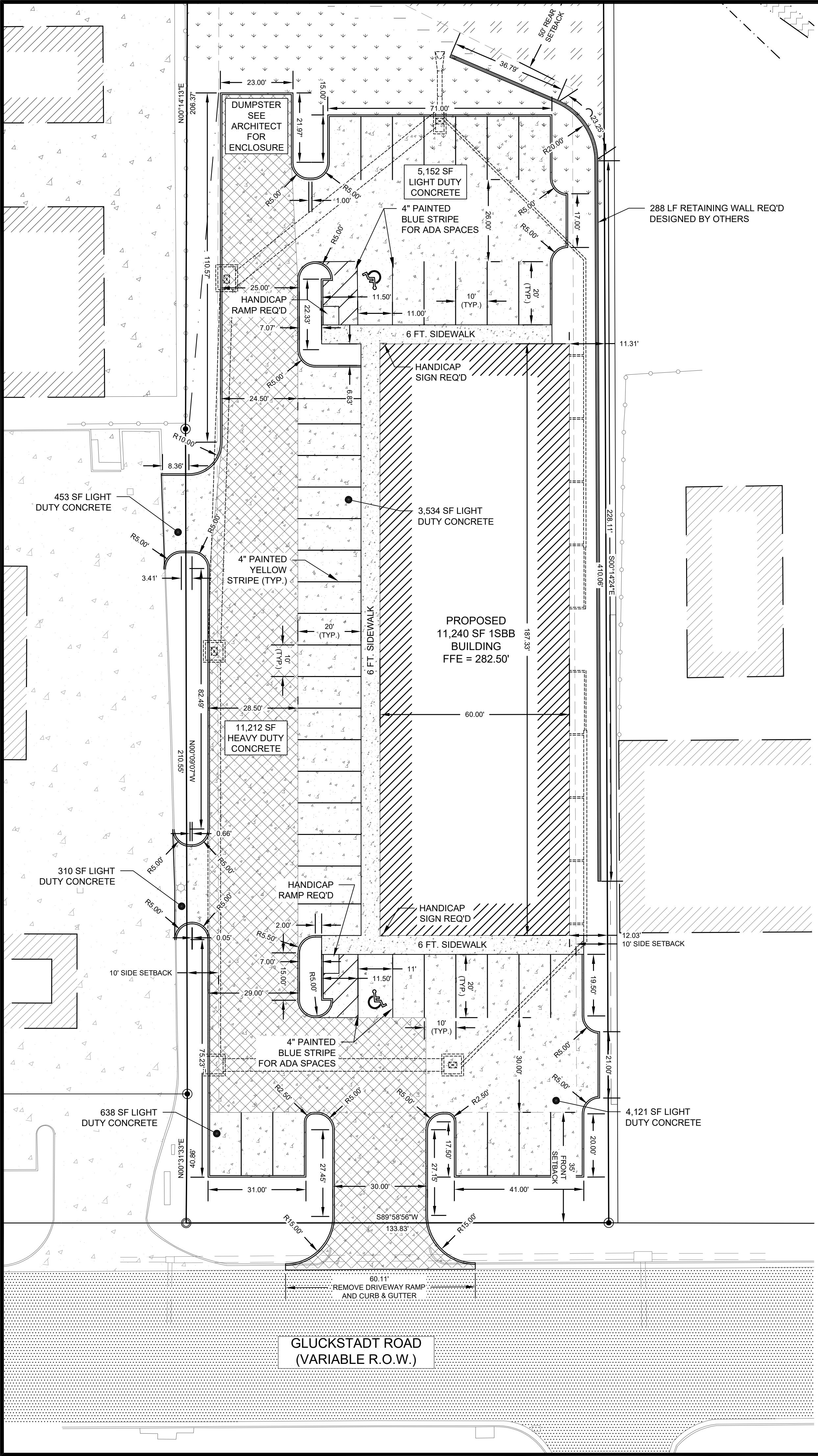
763 CLARA FOOTER ROAD  
BRAXTON, MS 39044  
(601) 720-3845  
dlucas@lucaseng.com



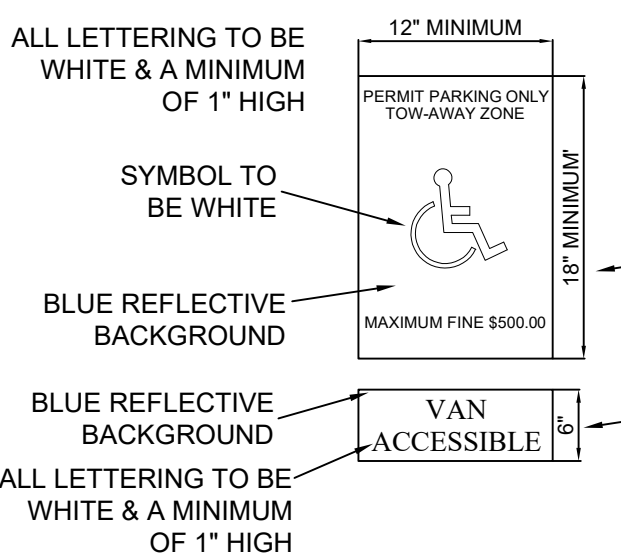
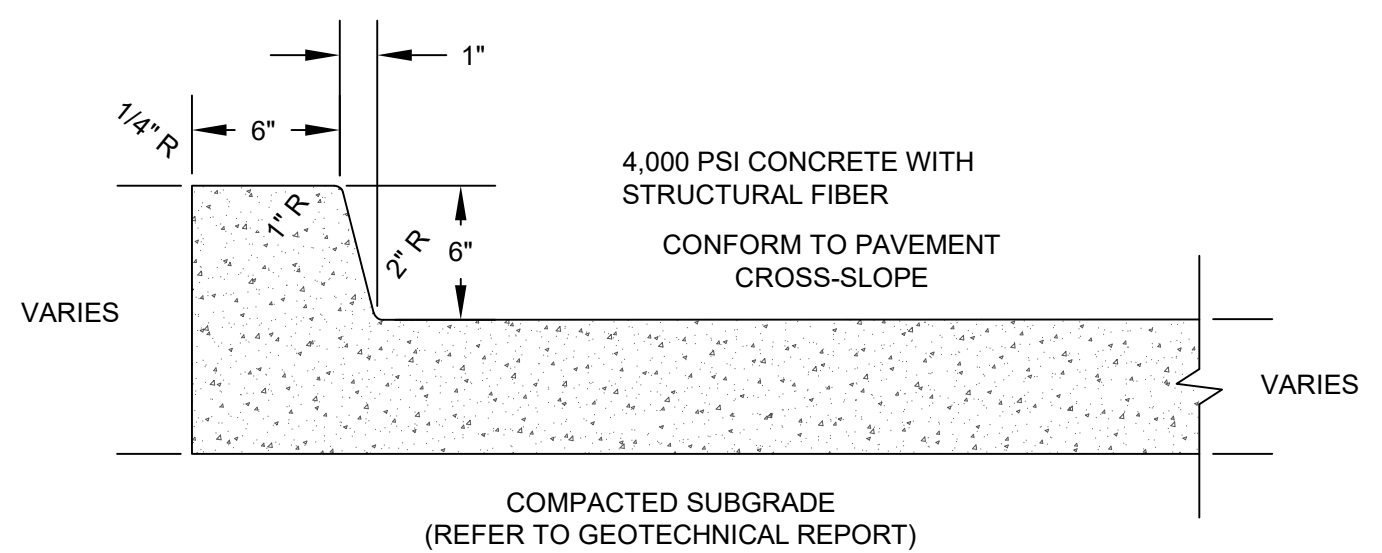
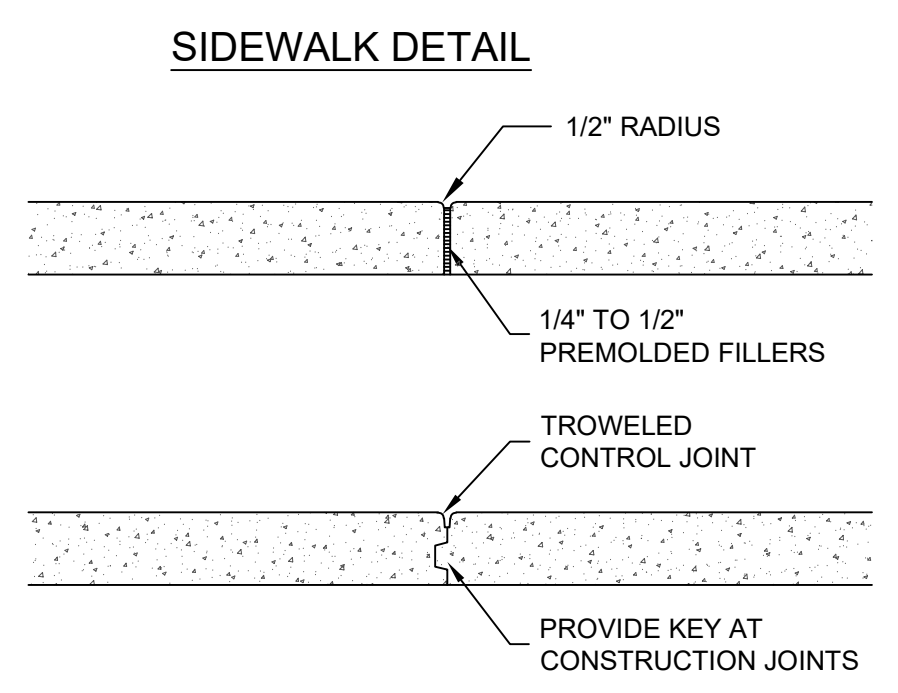
PREPARED FOR:  
**BEDI INVESTMENTS, LLC**  
457 BOZEMAN ROAD  
MADISON, MS 39110

**SITE PLAN**  
GLUCKSTADT RETAIL CENTER  
GLUCKSTADT, MISSISSIPPI

SHEET NO.  
**C-3**

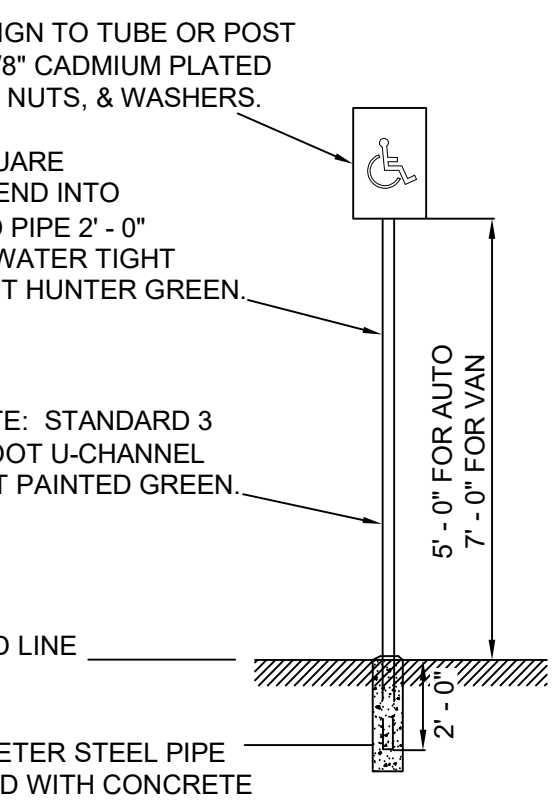


- NOTES:  
1. PROVIDE CONTRACTION JOINTS AT 5'-0\"/>



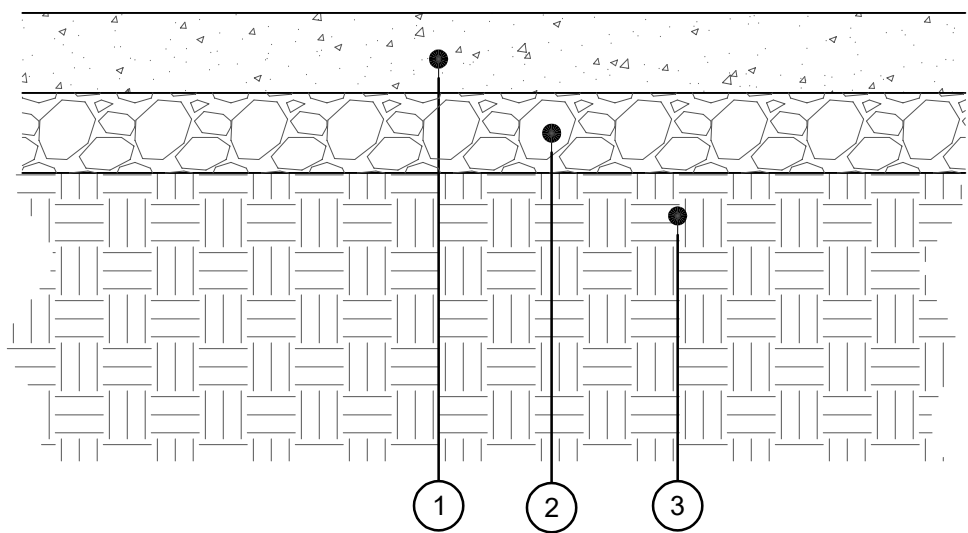
1. ALL SIGNS TO BE 0.080\"/>

HANDICAPPED PARKING SIGN



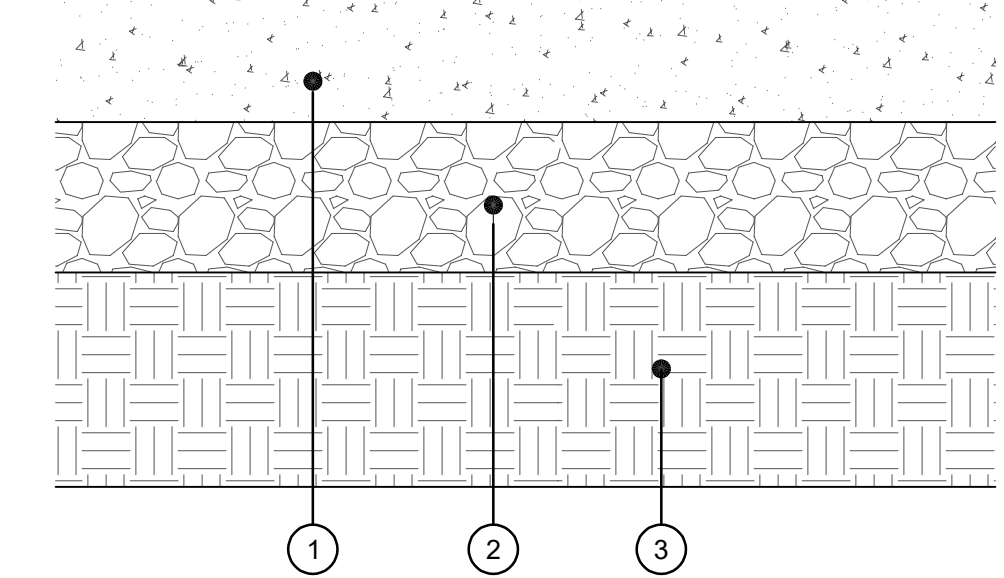
HANDICAP SIGN DETAILS

- NOTES:  
1. APPLICABLE SPECIFICATIONS FOR FLEXIBLE PAVEMENT IS THE MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2017 EDITION).  
2. ALL PAVEMENT SHOULD HAVE A 3 FT. BUFFER FREE OF EXPANSIVE CLAY (CH) SOILS. AREAS OF UNDERCUT TO BE DETERMINED IN FIELD BY ENGINEER.  
3. CONTRACTOR TO ADHERE TO ALL RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION.



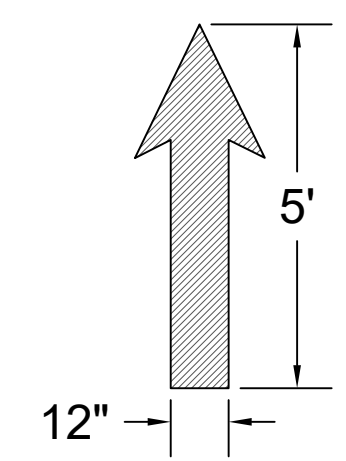
- ① 5\"/>

LIGHT DUTY CONCRETE

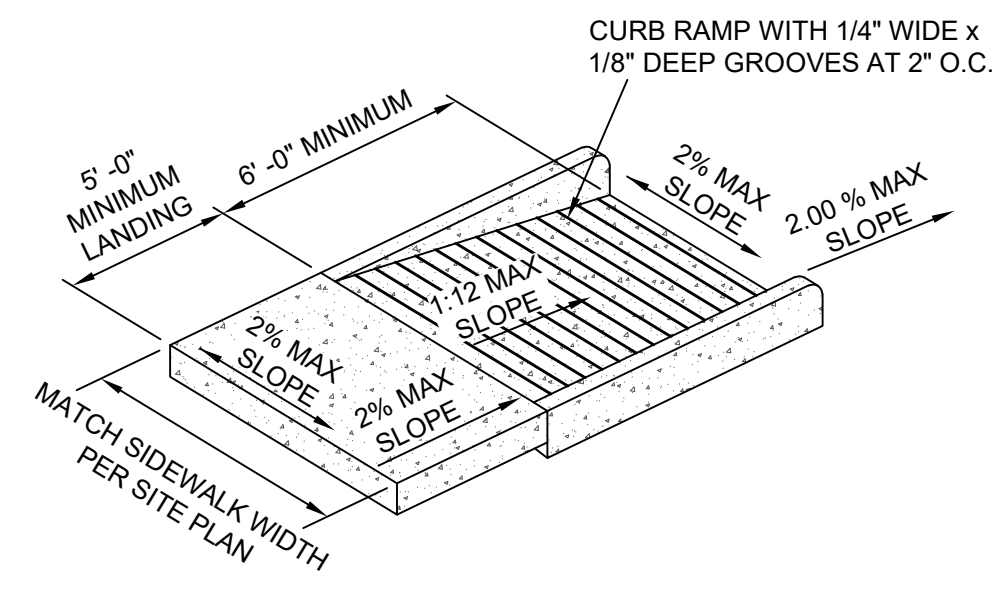


- ① 7\"/>

HEAVY DUTY CONCRETE PAVEMENT

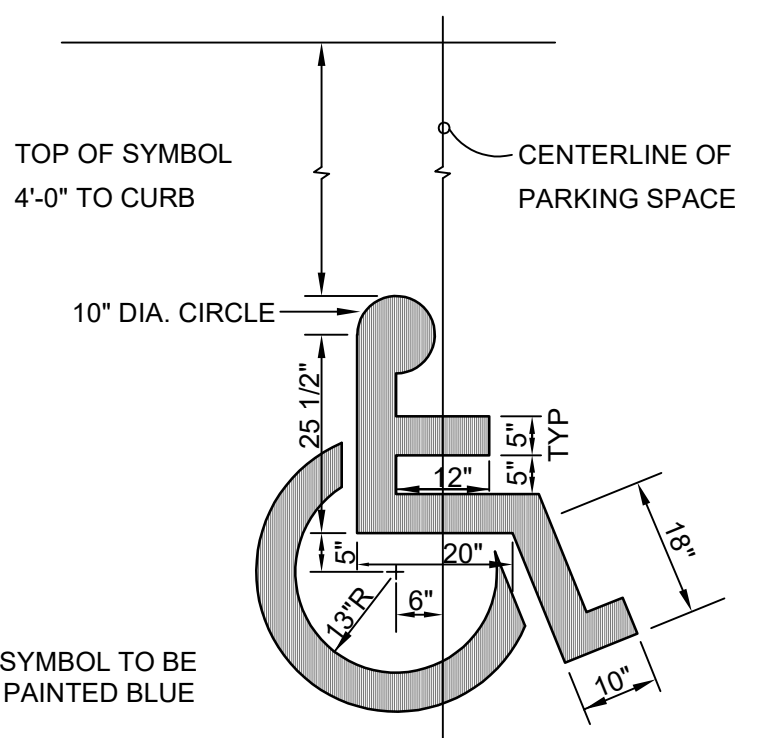


TRAFFIC ARROW DETAIL



HANDICAP RAMP DETAIL

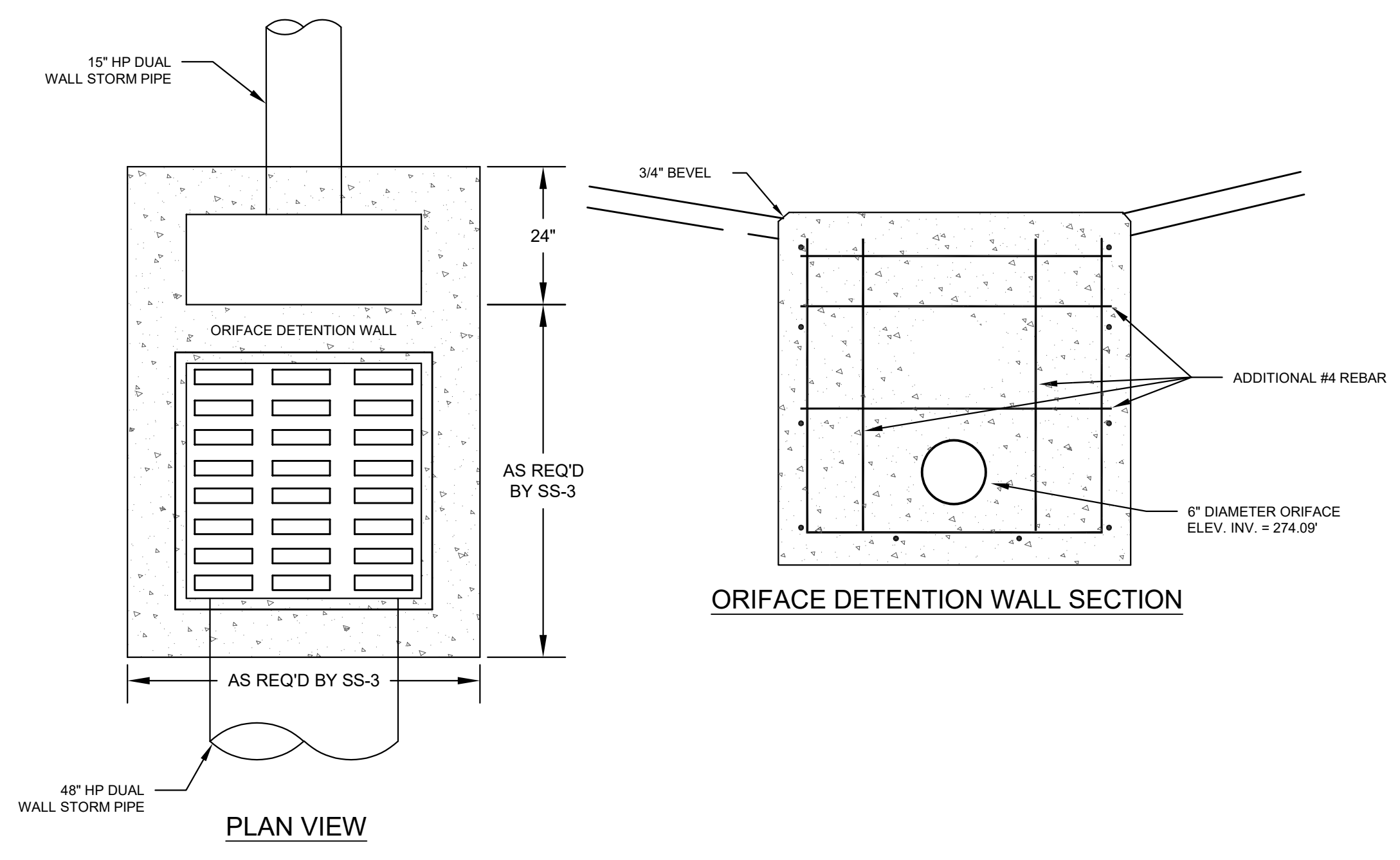
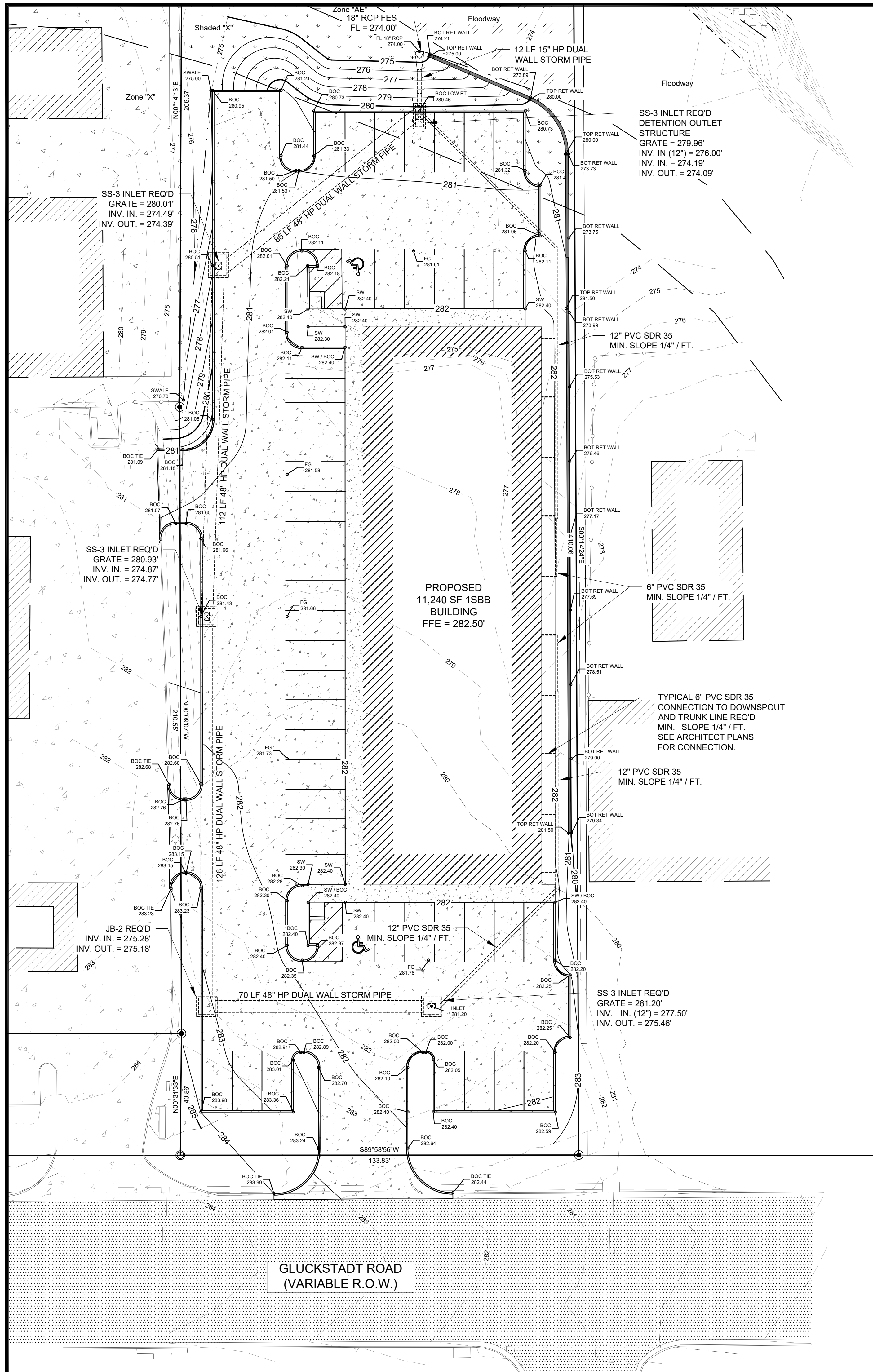
- SITE PLAN NOTES:  
1. ALL LINEAR DIMENSIONS NEAR CURB ARE REFERENCED TO THE BACK OF CURB. ALL RADIUS DIMENSIONS ARE REFERENCED TO THE BACK OF CURB.  
2. SOLID SOD SHALL BE ESTABLISHED IN ALL AREAS BEHIND THE CURB OR OUTSIDE OF PAVEMENT.  
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND PROCEDURES REQUIRED WHEN WORKING WITHIN HIGHWAY AND STREET RIGHTS-OF-WAYS.  
4. TOTAL NUMBER OF PARKING SPACES PROVIDED: 44  
- NUMBER OF REGULAR PARKING SPACES: 42  
- NUMBER OF HANDICAP PARKING SPACES: 2  
5. PROPERTY IS ZONED C-1 GENERAL COMMERCIAL DISTRICT.  
6. TOTAL AREA OF PROPERTY: 1.35 ACRES; TOTAL DISTURBED AREA: 1.13 ACRES.  
7. PROPERTY HAS 134 LINEAR FEET OF ROADWAY FRONTAGE ALONG GLUCKSTADT ROAD.  
8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", SHADED "X" AND "AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER 28089C0415F, WITH AN EFFECTIVE DATE OF MARCH 17, 2010, FOR COMMUNITY NUMBER 280228 IN MADISON COUNTY, STATE OF MISSISSIPPI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PREMISES IS SITUATED.



HANDICAPPED SYMBOL

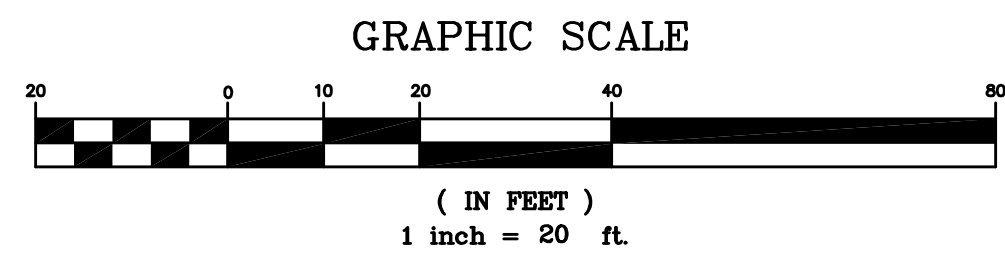
NOTE: SYMBOL TO BE PAINTED BLUE





**DETENTION OUTLET STRUCTURE**  
(MODIFIED SS-3 STRUCTURE)

- GRADING AND DRAINAGE NOTES:**
1. SITE GRADING MAY BE FIELD ADJUSTED TO FACILITATE DRAINAGE.
  2. SPOT ELEVATIONS SHOWN ADJACENT TO CURB AND SIDEWALK ARE REFERENCED TO THE BACK OF CURB. THESE REPRESENT ELEVATIONS AT THE COMPLETION OF PAVING, GRADING, AND REPLACEMENT OF TOPSOIL.
  3. THE LOCATION OF EXISTING UTILITIES AND STRUCTURES INDICATED IS APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE SITE. CONTRACTOR SHALL VERIFY THE EXISTING FACILITIES ON THE PROJECT SITE, WHETHER INDICATED OR NOT, BY NOTIFYING THE MISSISSIPPI ONE-CALL NETWORK (811) AND OTHER UTILITY COMPANIES PRIOR TO EXCAVATING. CONTRACTOR SHALL PROMPTLY REPAIR THOSE THAT ARE DAMAGED BY HIS CONSTRUCTION OPERATIONS.
  4. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST IN ADDITION TO THOSE SHOWN. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
  5. CONTRACTOR SHALL NOT EXCAVATE ABOVE OR NEAR UNDERGROUND UTILITIES WITHOUT THE KNOWLEDGE AND ASSURANCE THAT THESE ACTIVITIES WILL NOT ADVERSELY AFFECT THE RESPECTIVE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CHANGES REQUIRED IN GRADING TO ACCOMMODATE EXISTING UTILITIES AND SHALL BEAR FULL RESPONSIBILITY FOR MAINTAINING ADEQUATE COVER AS DIRECTED BY EACH UTILITY COMPANY.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND PROCEDURES REQUIRED WHEN WORKING WITHIN HIGHWAY AND STREET RIGHTS-OF-WAYS.
  7. CONTRACTOR SHALL GRUB EXISTING SITE AND STRIP EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 9 INCHES.
  8. ALL FILL MATERIAL UNDER PAVEMENT AREAS SHALL BE PLACED IN UNIFORM LOOSE LIFTS NOT TO EXCEED 9 INCHES.
  9. TOPSOIL, ROOTS AND OTHER DEBRIS SHALL BE REMOVED PRIOR TO COMMENCING EARTHWORK OPERATIONS. ALL TOPSOIL WITHIN THE CONSTRUCTION LIMITS SHALL BE STRIPPED, STOCKPILED, AND REPLACED ON SLOPES AND OTHER NON-PAVED AREAS ON THE PROJECT SITE. UPON COMPLETION OF GRADING, THE CONTRACTOR SHALL PLACE A SUFFICIENT QUANTITY OF TOPSOIL (MINIMUM 4") TO INSURE GRASS GROWTH ON THE DESIGNATED AREA.
  10. ADDITIONAL SITE PREPARATION MAY BE REQUIRED ON BUILDING PAD AND PARKING AREAS THAT ARE NOT SHOWN ON THIS DRAWING. REFER TO GEOTECHNICAL REPORT, SPECIFICATIONS, AND OTHER DRAWINGS FOR ADDITIONAL SITE PREPARATIONS.
  11. CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING A CERTIFIED CONSTRUCTION TESTING LABORATORY TO VERIFY MATERIALS AND COMPACTION. COPIES OF THE TEST REPORTS SHALL BE FURNISHED TO THE ARCHITECT AND/OR ENGINEER.
  12. THIS DRAWING DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY. CONTOURS SHOWN ARE GENERATED FROM A TOPOGRAPHICAL SURVEY BY LUCAS ENGINEERING PLLC.
  13. SOLID SOIL SHALL BE ESTABLISHED IN ALL AREAS BEHIND THE CURB.
  14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE CURRENT NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  15. THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. ALL SILTS ESCAPING BEYOND THE PROPERTY LINE RESULTING FROM THE CONSTRUCTION ACTIVITY SHALL BE RECLAIMED AND UTILIZED ON-SITE OR HAULED OFF FOR DISPOSAL.
  16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING ALIGNMENT AND GRADES IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
  17. CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING MANHOLES, FLUMES, PIPES, PONDS, ETC., PRIOR TO COMPLETION OF THE PROJECT.
  18. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENT, EROSION, OR POLLUTANTS CAUSED BY THIS WORK.
  19. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LOCAL, STATE, AND FEDERAL STORM WATER REGULATIONS.
  20. CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO ENSURE THAT POSITIVE DRAINAGE OCCURS ON ALL AREAS OF PROJECT SITE DURING ALL STAGES OF CONSTRUCTION.
  21. AT THE EXPENSE OF THE CONTRACTOR, THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND CONSTRUCT TEMPORARY STRUCTURES, EMBANKMENTS, AND CULVERTS AS REQUIRED TO MAINTAIN THE EXISTING DRAINAGE SYSTEM AND CAPACITY IN THE WORK AREA. ANY AND ALL TEMPORARY STRUCTURES, EMBANKMENTS, AND CULVERTS CONSTRUCTED DURING THE PROGRESS OF WORK SHALL BE REMOVED IF NOT NECESSARY FOR FINAL DRAINAGE SYSTEM AND THE AREA RESTORED TO ITS ORIGINAL CONDITION.
  22. A.D.A. REQUIREMENTS:
    - FOR HANDICAP SPACES AND AISLES, FINISHED GRADE SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
    - LONGITUDINAL SLOPES ALONG SIDEWALKS SHALL NOT EXCEED 5%.
    - TRANSVERSE SLOPES ACROSS SIDEWALKS SHALL NOT EXCEED 2%.
  23. ALL LOCAL PERMITS SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN.
  24. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SPOIL MATERIAL ON A DAILY BASIS.



**DRAINAGE SYSTEM IS OVERSIZED TO BE USED A DETENTION STORAGE.**

STORMWATER RUNOFF DATA						
24 Hour Storm	2-Year	5-Year	10-Year	25-Year	50-Year	100-Year
Total Drainage Area Across Site	1.40 ac					
Pre Development Areas	0.19 ac semi-impervious (gravel)			1.21 ac pervious		
Pre Development Peak Runoff	1.45 cfs	1.74 cfs	1.98 cfs	2.32 cfs	2.58 cfs	2.84 cfs
Post Development Areas	0.89 ac impervious (building, parking, sidewalks)			0.51 ac pervious (grass)		
Post Development Peak Runoff	1.42 cfs	1.58 cfs	1.71 cfs	1.88 cfs	2.01 cfs	2.14 cfs

CAD FILE: C:\DWG\Design.dwg  
 PROJECT NO.: Gluckstadt  
 SCALE: 1" = 20'  
 DESIGNED BY: DRL  
 DRAWN BY: DRL  
 CHECKED BY: DRL

763 CLARA FOOTER ROAD  
 BRAXTON, MS 39044  
 (601) 720-3845  
 dlucas@lucaseng.com

PREPARED FOR:  
**BEDI INVESTMENTS, LLC**  
 457 BOZEMAN ROAD  
 MADISON, MS 39110

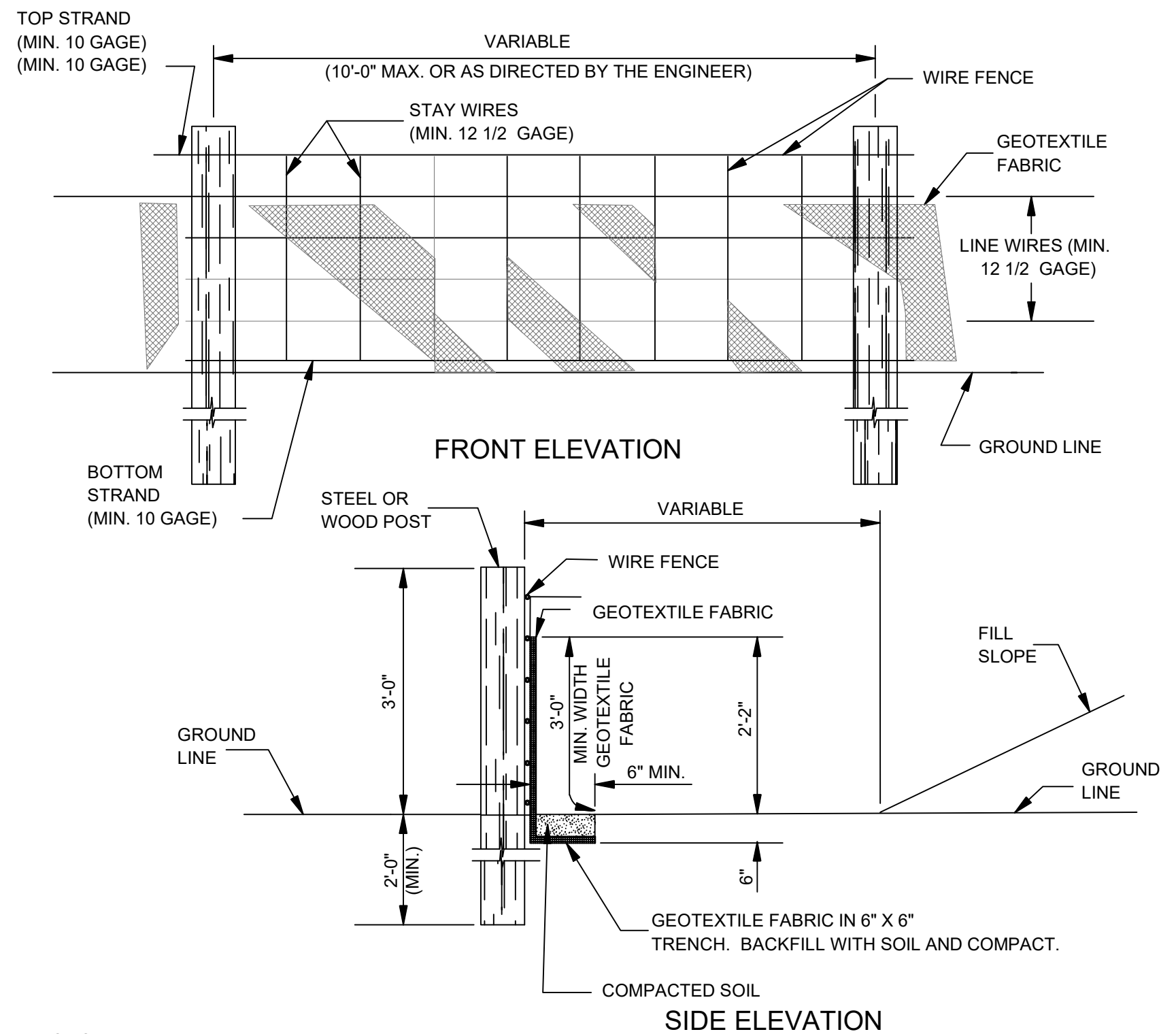
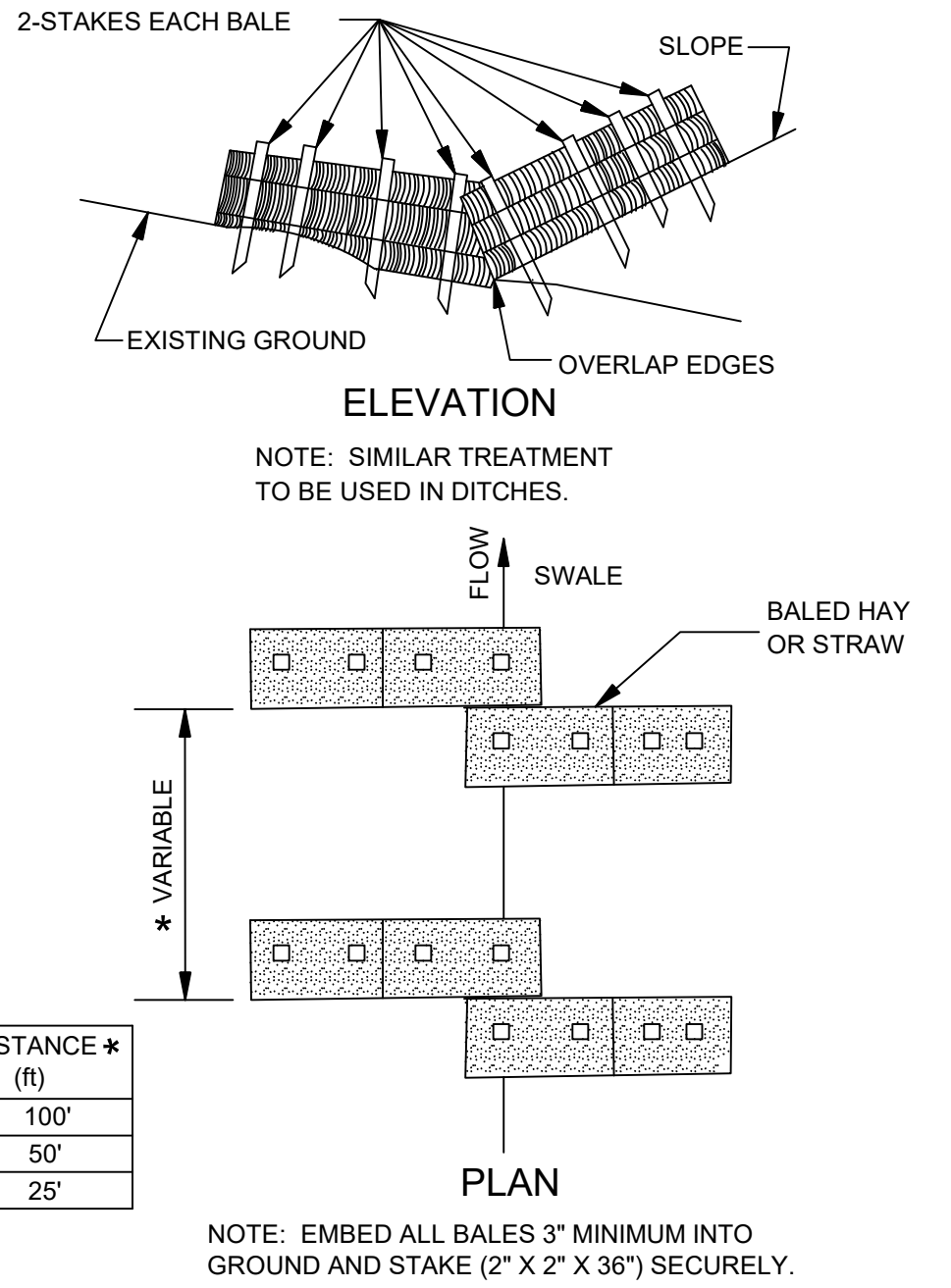
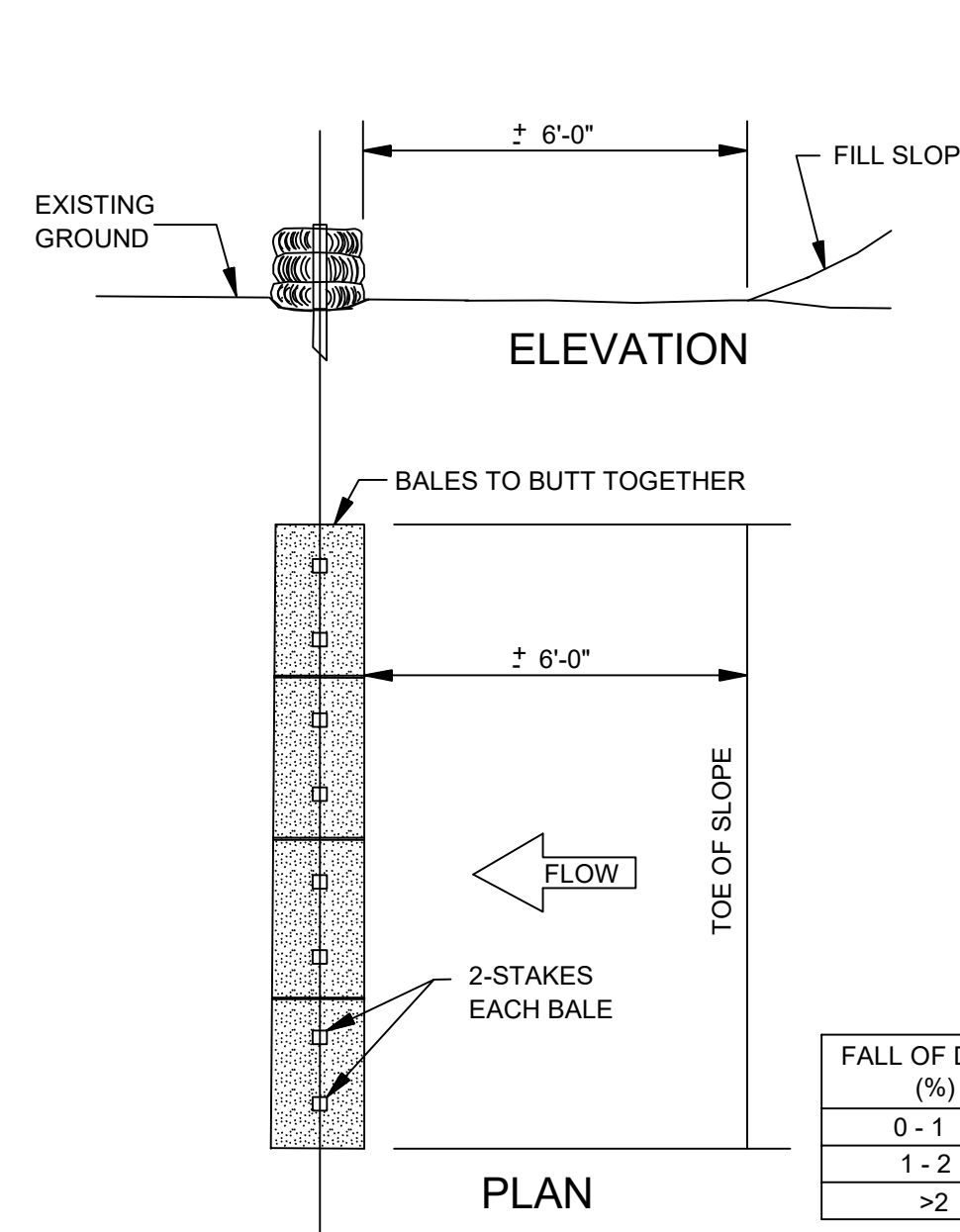
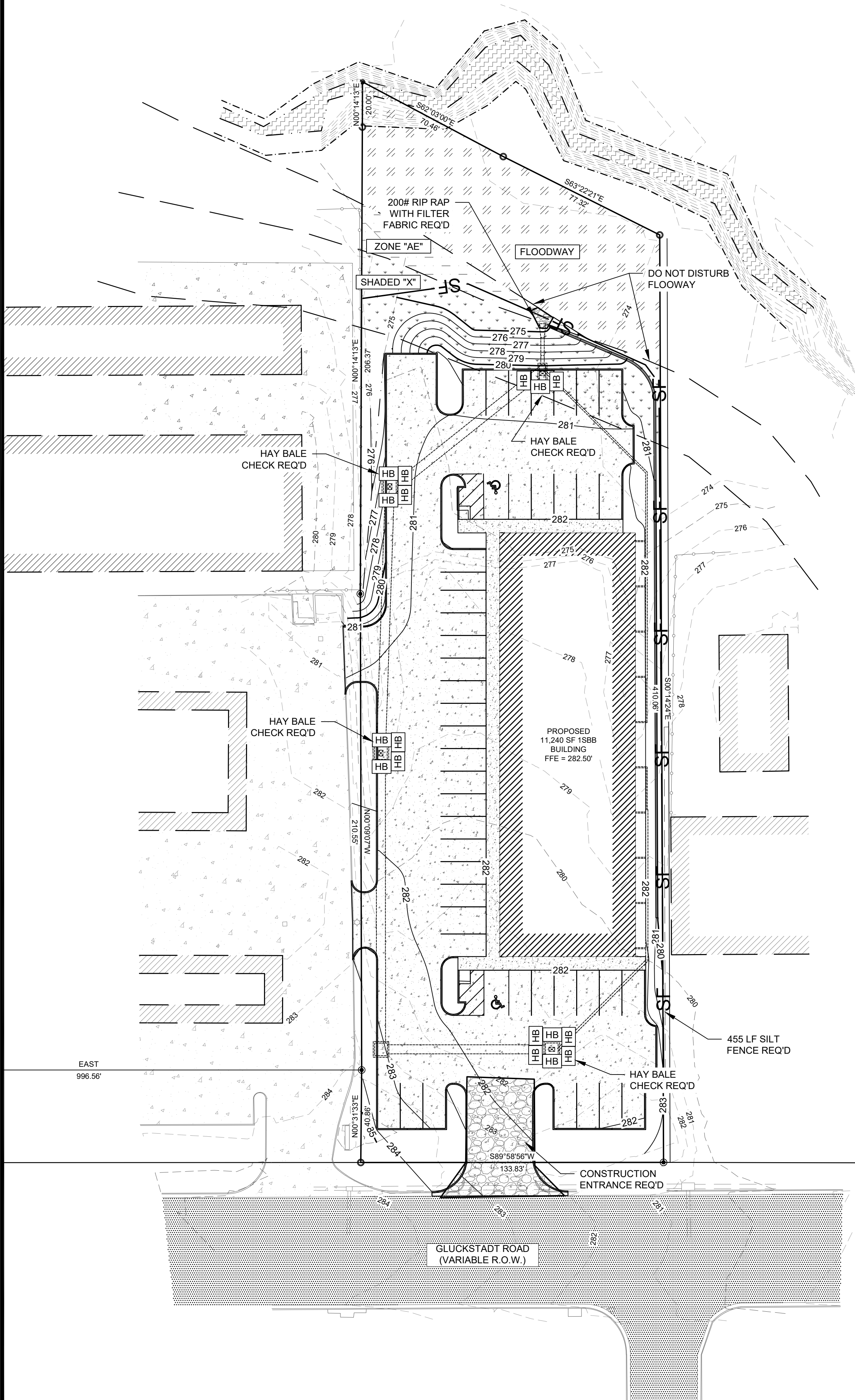
GRADING AND DRAINAGE PLAN  
 GLUCKSTADT RETAIL CENTER  
 GLUCKSTADT, MISSISSIPPI

SHEET NO.  
**C-4**

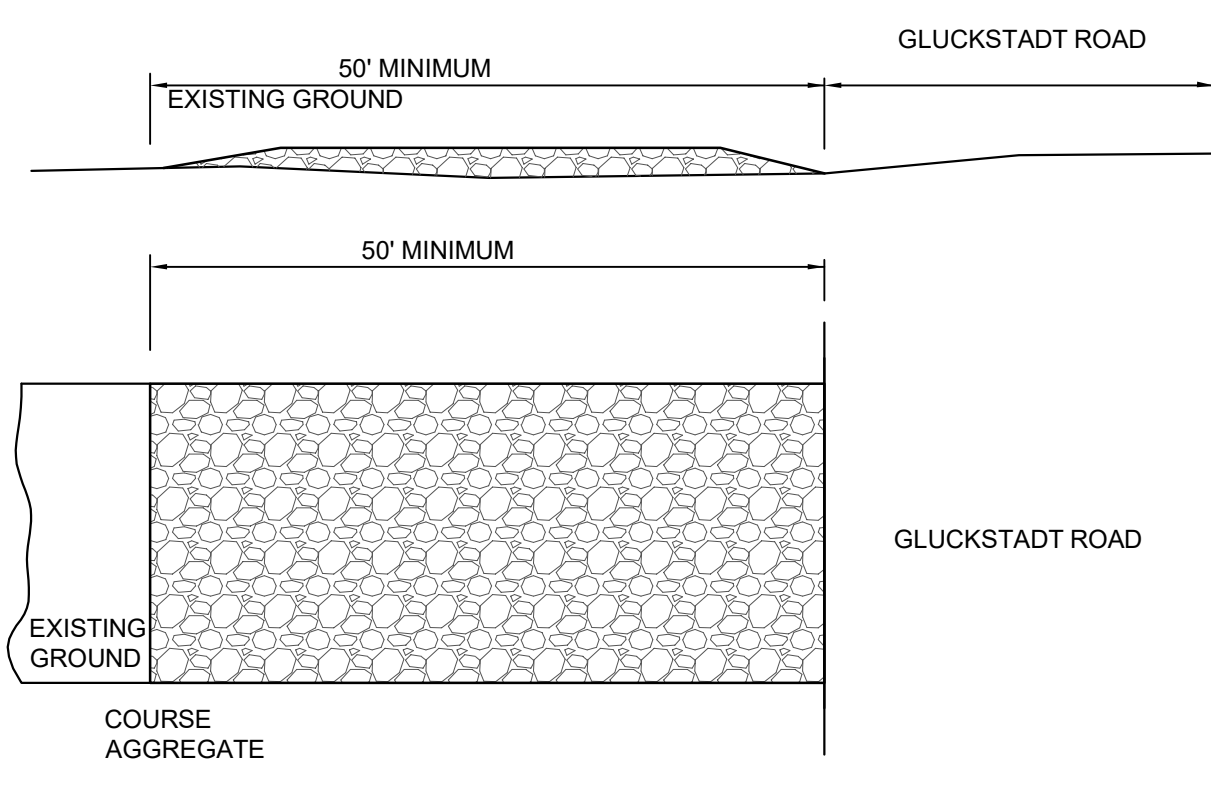


**EROSION CONTROL NOTES:**

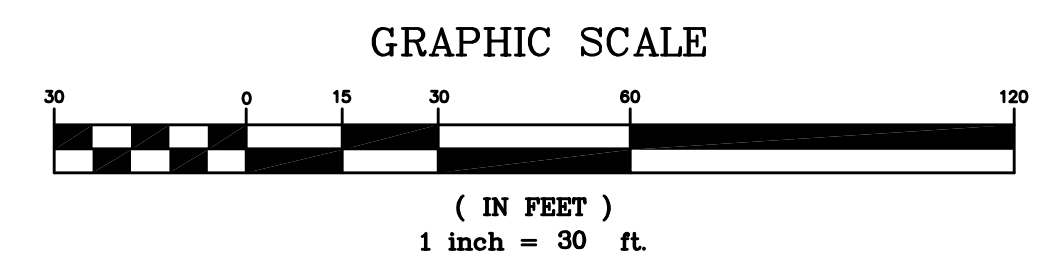
1. CONTOURS SHOWN ARE GENERATED FROM A PREVIOUS TOPOGRAPHIC SURVEY.
2. PLAN TO BE MODIFIED ON AN AS-NEEDED BASIS DURING CONSTRUCTION TO MINIMIZE DEPOSITION OF SILT ONTO OFF-SITE PROPERTY.
3. LOCATION AND NUMBER OF HAY BALES SHALL BE MODIFIED ON AN AS-NEEDED BASIS.
4. LOCATION OF SILT FENCE SHALL BE MODIFIED DURING CONSTRUCTION TO MINIMIZE DEPOSITION OF SILT INTO DITCHES AND WETLAND AREAS.
5. WHERE SIGNIFICANT TREE LOSS COULD OCCUR DURING GRASSSED DRAINWAY CONSTRUCTION, TYPICAL DITCHES MAY BE MODIFIED AT THE ENGINEER'S DISCRETION.
6. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE CURRENT NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LOCAL, STATE, AND FEDERAL STORMWATER REGULATIONS PERTAINING TO CONTROL OF OFF-SITE SEDIMENT RUNOFF.
7. THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. ALL SILTS ESCAPING BEYOND THE PROPERTY LINE RESULTANT FROM THE CONSTRUCTION ACTIVITY SHALL BE RECLAIMED AND UTILIZED ON-SITE OR HAULED OFF FOR DISPOSAL.
8. THE CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT AND EROSION CONTROL DEVICES INCLUDING SILT FENCES, SEDIMENT BALES, AND SEDIMENT BASINS AS INDICATED PRIOR TO COMMENCING ANY EARTHMOVING ACTIVITY. ALL MEASURES INDICATED ON THIS PLAN SHOULD BE CONSIDERED A MINIMUM STANDARD. ADDITIONAL MEASURES MAY BE NECESSARY. THESE CAN BE FOUND IN THE LATEST VERSION OF THE "PLANNING AND DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORM WATER" AVAILABLE FROM MDEQ.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE SILT FENCES THROUGHOUT THE CONSTRUCTION PROCESS AND UNTIL PERMANENT GROUND VEGETATION HAS BEEN ESTABLISHED TO THE SATISFACTION OF THE ENGINEER.
10. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY GOVERNING AUTHORITIES.
11. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING ALIGNMENT AND GRADES IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING MANHOLES, FLUMES, PIPES, PONDS, ETC. PRIOR TO COMPLETION OF THE PROJECT.
13. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENT, EROSION, OR POLLUTANTS CAUSED BY THIS WORK.
14. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LOCAL, STATE, AND FEDERAL STORM WATER REGULATIONS. ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT AND DEBRIS DAILY.
15. SITE IS TO BE CLEANED DAILY FOR DEBRIS THAT MAY ENTER EXISTING DITCHES OR THE STORM DRAINAGE SYSTEM.
16. WHEN CAPACITY OF EROSION AND SEDIMENT CONTROLS HAS BEEN REDUCED BY 50 PERCENT, REMOVE SEDIMENT AND CLEAN, OR REPLACE CONTROLS AS NECESSARY.
17. ALL CONTROLS SHALL BE INSPECTED PRIOR TO ANY STORM EVENTS, AFTER A 2 YEAR, 24 HOUR RAINFALL EVENT, AND AT LEAST ONCE EVERY 7 DAYS. ANY DEFICIENCIES SHALL BE IMMEDIATELY DOCUMENTED, AND REPAIRS OR REPLACEMENTS SHALL BE MADE WITHIN 7 DAYS OF DISCOVERY. CONTRACTOR SHALL PROVIDE A RAIN GAUGE ON-SITE. RAINFALL AMOUNTS SHALL BE MONITORED AND DOCUMENTED BY THE CONTRACTOR DAILY.
18. ALL AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS ARE TO BE TEMPORARILY SEEDED AND MULCHED WITHIN 7 DAYS OF LAST DISTURBANCE.
19. FINAL STABILIZATION IS TO BE ACHIEVED BY SEEDING, FERTILIZING, AND MULCHING ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, AND ENSURING THAT A COMPLETE STAND OF GRASS IS ESTABLISHED.



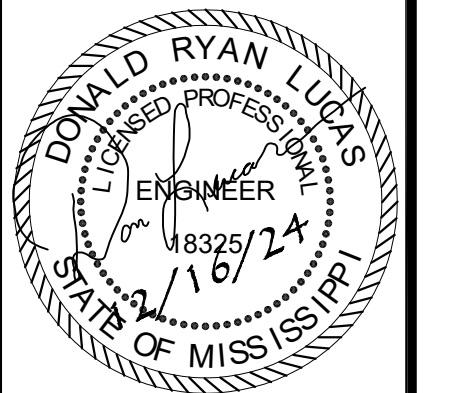
- NOTES:**
1. SILT FENCE OR HAY BALE SEDIMENT BARRIER SHALL BE INSTALLED TO FILTER SEDIMENT FROM RUNOFF.
  2. SILT FENCE SHALL BE LEFT IN PLACE UNTIL PERMANENT VEGETATION COVER IS ESTABLISHED.
  3. AREAS DISTURBED AS A RESULT OF REMOVING THE SILT FENCE SHALL BE RESTABILIZED BY SEEDING ACCORDING TO THE REVEGETATION SPECIFICATIONS.
  4. SILT FENCES SHALL BE PLACED TO FOLLOW THE CONTOURS. ON UPSLOPE INSTALLATIONS, BOTH ENDS OF THE SILT FENCE SHALL BE TURNED AND EXTENDED UPSLOPE.
  5. WIRE SHALL BE MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
  6. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER.
  7. STEEL POST SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE. WOOD POST SHALL BE A MINIMUM OF 5'-0" IN HEIGHT AND 3" OR MORE IN DIAMETER. WIRE FENCE SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN 9 GAGE WIRE STAPLES 1" LONG.
  8. GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.
  9. POSTS SHALL BE 2'-4" LONG AND COMPOSED OF EITHER 2" x 2'-4" WOOD OR 1-1.33 LBLINEAR FOOT STEEL. POSTS SHALL BE SPACED 6'-10" APART WHEN WIRE MESH IS USED AND NO MORE THAN 6' APART WHEN WIRE MESH IS NOT USED.
  10. A TRENCH SHALL BE EXCAVATED 4" TO 8" WIDE AND 4" TO 12" DEEP ALONG THE UPSLOPE SIDE OF THE LINE OF POSTS.
  11. FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST ONCE A WEEK DURING A DRY WEEK. SEDIMENT TO BE REMOVED WHEN IT HAS REACHED 1/3 TO 1/2 THE HEIGHT OF THE FENCE.
  12. FENCE SHALL BE SPACED 8 TO 10 FEET APART WHEN USING WIRE MESH AND 6 FEET APART WITHOUT THE USE OF WIRE MESH SUPPORT.



1. USE SEPARATION GEOTEXTILE FABRIC FOR FULL WIDTH AND LENGTH OF EXIT.
2. GRADE TO PREVENT RUN-OFF FROM LEAVING SITE.
3. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.
4. 2" TO 4" CRUSHED STONE SHALL BE USED FOR THE ENTRANCE.
5. THE ENTRANCE SHALL BE A MINIMUM OF 20' WIDE; POSSIBLY THE WIDTH OF THE ACCESS. IF TRAFFIC VOLUME IS HIGH, ENTRANCE SHALL BE WIDE ENOUGH FOR TWO VEHICLES TO PASS.
6. ENTRANCE TO BE INSPECTED ON A REGULAR BASIS ESPECIALLY AFTER A RAIN EVENT AND/OR A HEAVILY TRAVELED DAY.
7. TO REDUCE MAINTENANCE, ENTRANCE SHALL HAVE GEOTEXTILE FABRIC BENEATH IT AND STONE SHALL BE 6" THICK.
8. APPLY ADDITIONAL STONE PERIODICALLY OR WHEN REPAIR IS NEEDED. REMOVE ALL MATERIAL TRACKED ONTO THE PUBLIC ROADWAY.



CAD FILE: C:\M\Design.dwg  
 PROJECT NO.: Gluckstadt  
 SCALE: 1" = 30'  
 DESIGNED BY: DRL  
 DRAWN BY: DRL  
 CHECKED BY: DRL



763 CLARA FOOTE ROAD  
 BRAXTON, MS 39044  
 (601) 720-3845  
 dlucas@lucaseng.com

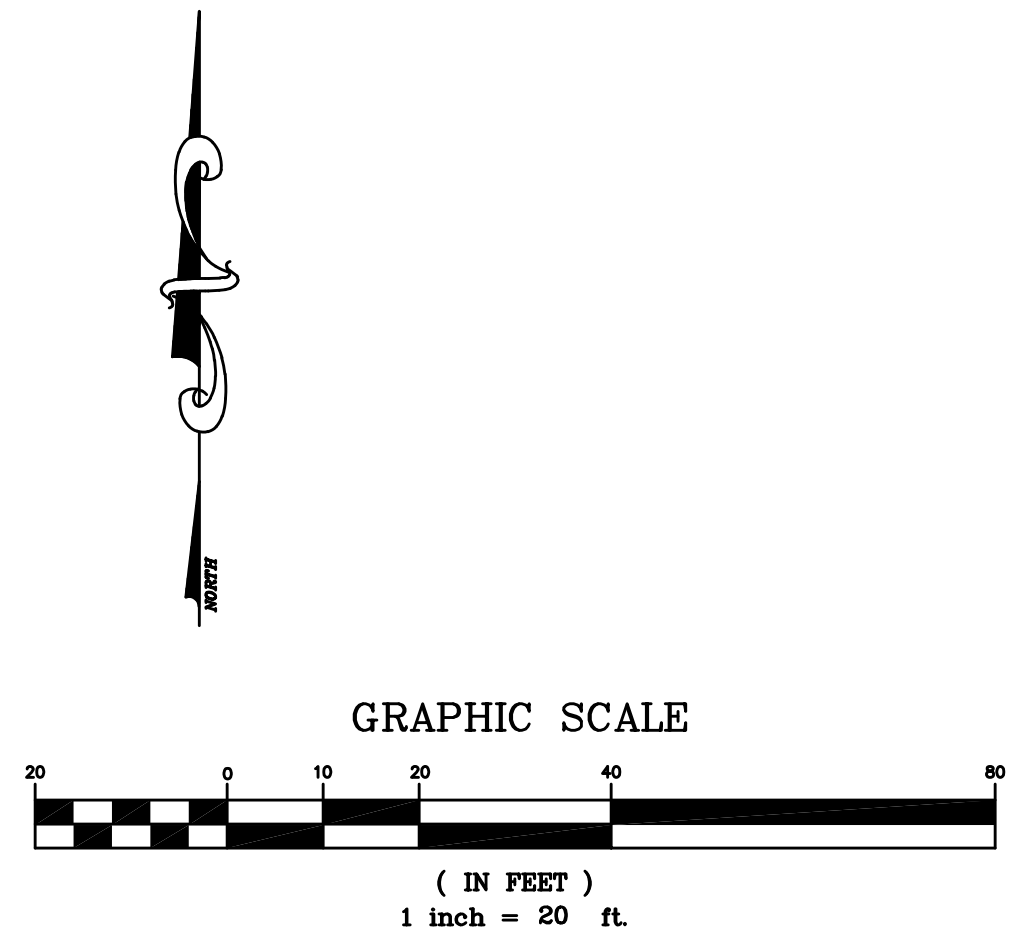
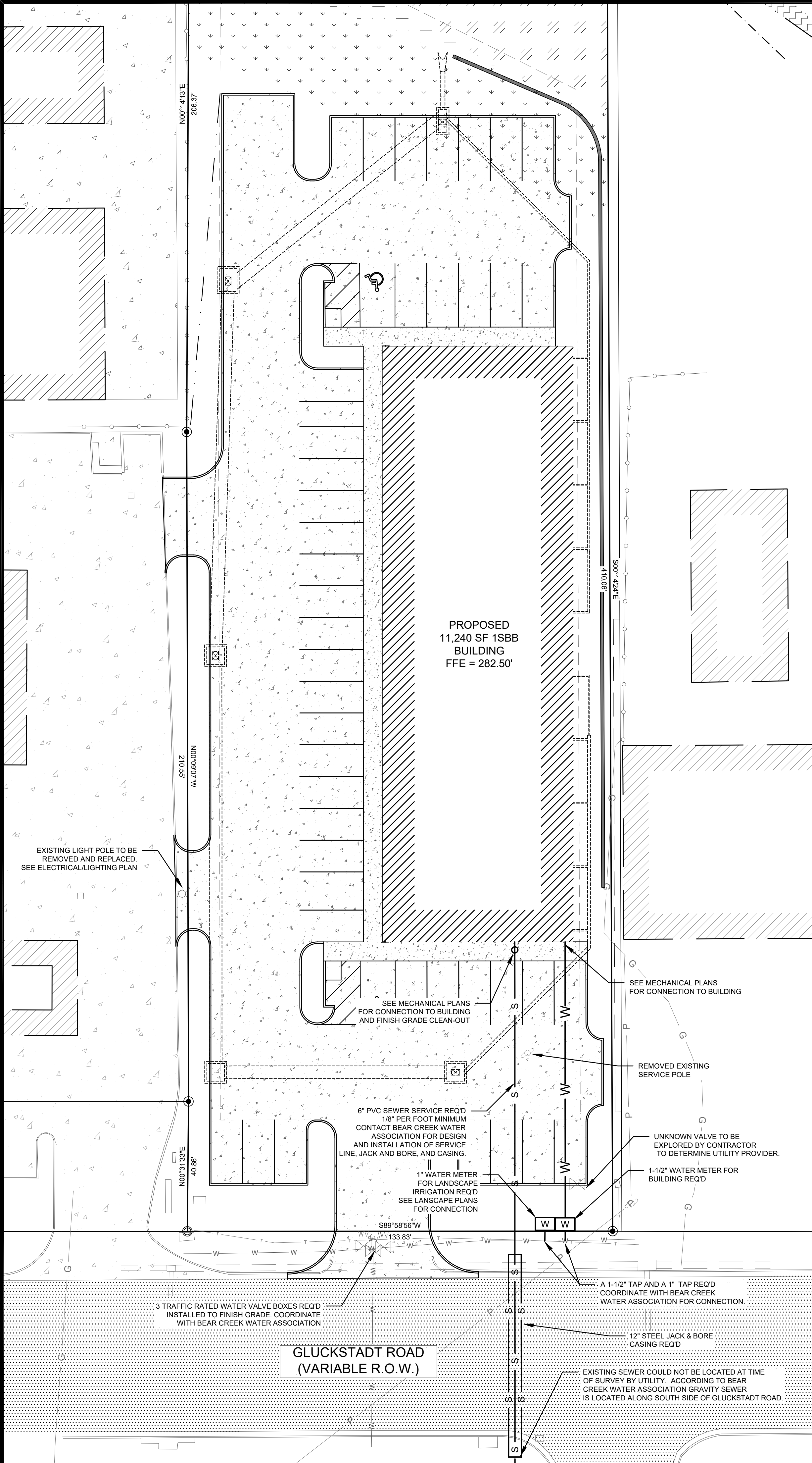


PREPARED FOR:  
**BEDI INVESTMENTS, LLC**  
 457 BOZEMAN ROAD  
 MADISON, MS 39110

**STORM WATER POLLUTION PREVENTION PLAN**  
 GLUCKSTADT RETAIL CENTER  
 GLUCKSTADT, MISSISSIPPI

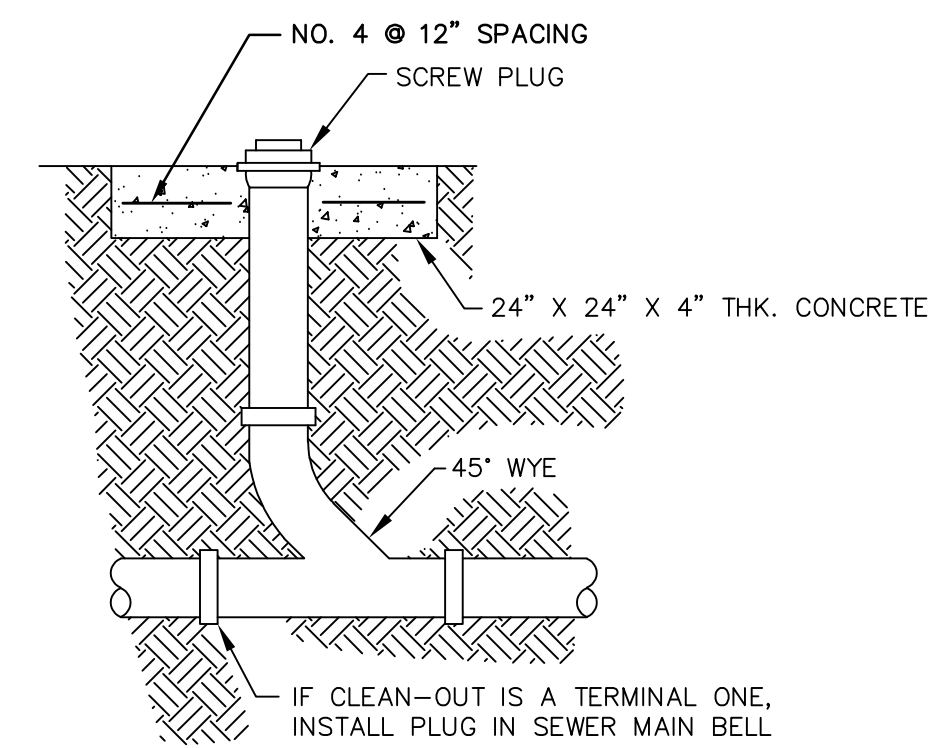
SHEET NO.  
**C-5**



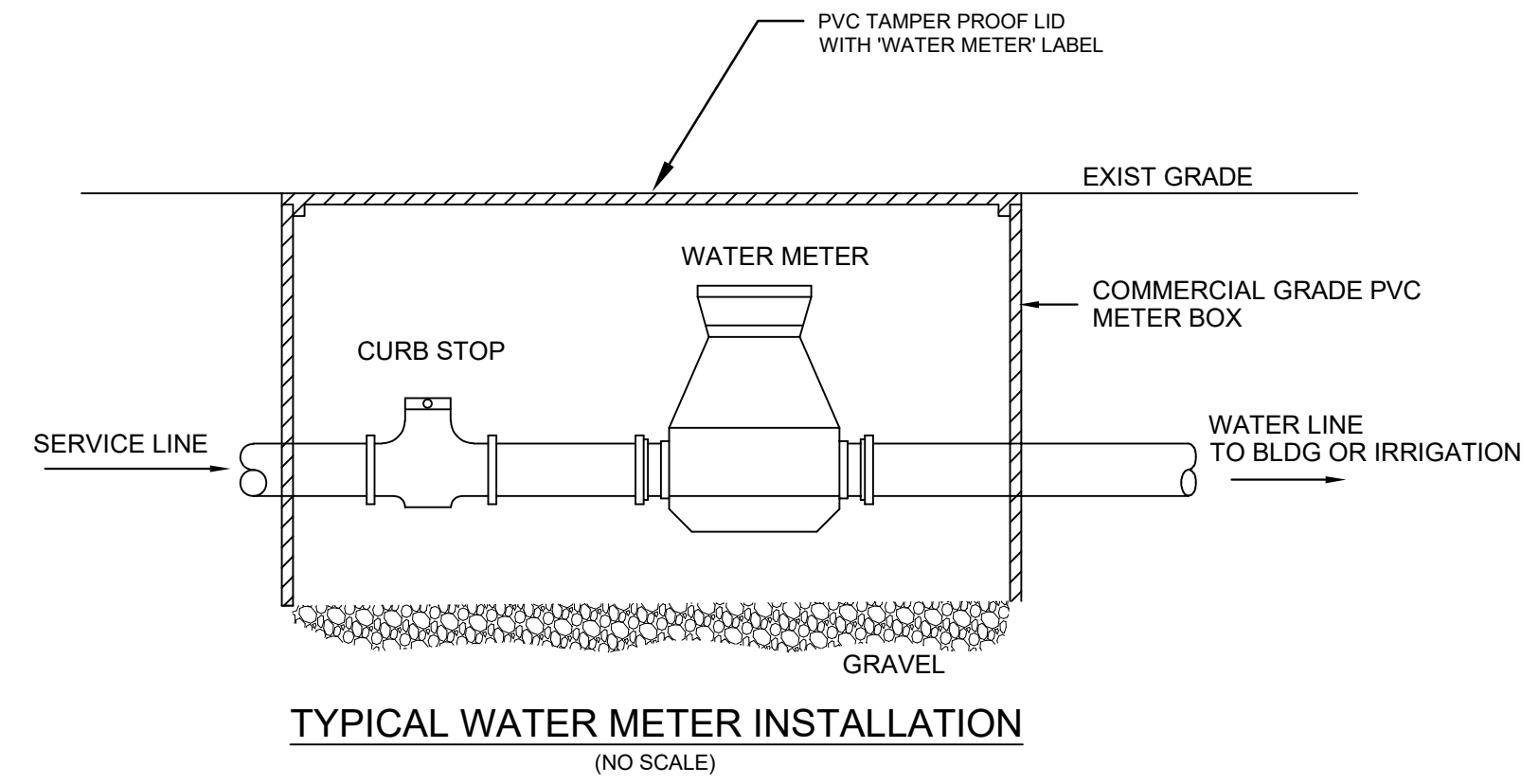


UTILITY NOTES:

- CONSTRUCTION AND MATERIALS FOR WATER DISTRIBUTION IMPROVEMENTS SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF HEALTH, THE CITY OF GLUCKSTADT, MISSISSIPPI AND BEAR CREEK WATER ASSOCIATION. CONSTRUCTION AND MATERIALS FOR SEWER IMPROVEMENTS SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY, THE CITY OF GLUCKSTADT AND BEAR CREEK WATER ASSOCIATION.
- WATER AND SEWER SERVICE TO BE PROVIDED BY THE BEAR CREEK WATER ASSOCIATION.
- WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ANY SEWER MAIN OR MANHOLE (WATER OVER SEWER). WHERE WATER MAINS CROSS OVER SEWER MAINS, THE ABOVE REQUIREMENTS MAY BE WAIVED IF PIPE SEGMENTS ARE CENTERED TO PROVIDE MAXIMUM SPACING OF THE JOINTS OF BOTH WATER AND SEWER MAINS AND A VERTICAL SEPARATION OF AT LEAST 18 INCHES (WATER OVER SEWER) IS MAINTAINED. THE DISTANCES AND SPACING MENTIONED ABOVE ARE CLEAR DISTANCES, AND WHENEVER THE DISTANCE CAN NOT BE MET, THE MAIN MUST BE PLACED IN CASING.
- THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF EXISTING WATER MAINS PRIOR TO COMMENCING BORING OR CONNECTION OPERATIONS. THE CONTRACTOR SHALL PROVIDE NECESSARY ADJUSTMENTS TO BOTH NEW AND EXISTING WATER LINES TO ALLOW CONNECTION AND INSTALLATION.
- WATER AND SEWER SERVICES TO EXTEND TO A MAXIMUM OF 30" FROM THE BUILDING WALL AND SHALL BE EXTENDED AS DETERMINED BY ARCHITECTURAL/MECHANICAL DRAWINGS.
- WATER AND SEWER SERVICES TO BE INSTALLED A MINIMUM OF 36" DEEP.
- EXISTING UTILITIES SHOWN ARE BASED ON A PREVIOUS TOPOGRAPHIC SURVEY BY LUCAS ENGINEERING, PLLC.
- EXCAVATION NEAR UTILITIES SHOWN SHOULD BE DONE WITH CAUTION. THE LOCATION OF EXISTING UTILITIES AND STRUCTURES INDICATED IS APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE SITE. CONTRACTOR SHALL VERIFY THE EXISTING FACILITIES ON THE PROJECT SITE, WHETHER INDICATED OR NOT, BY NOTIFYING THE ALABAMA ONE-CALL NETWORK (811) AND OTHER UTILITY COMPANIES PRIOR TO EXCAVATING. CONTRACTOR SHALL PROMPTLY REPAIR THOSE THAT ARE DAMAGED BY HIS CONSTRUCTION OPERATIONS.
- ADDITIONAL UNDERGROUND UTILITIES MAY EXIST IN ADDITION TO THOSE SHOWN. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- CONTRACTOR SHALL NOT EXCAVATE ABOVE OR NEAR UNDERGROUND UTILITIES WITHOUT THE KNOWLEDGE AND ASSURANCE THAT THESE ACTIVITIES WILL NOT ADVERSELY AFFECT THE RESPECTIVE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CHANGES REQUIRED IN GRADING TO ACCOMMODATE EXISTING UTILITIES AND SHALL BEAR FULL RESPONSIBILITY FOR MAINTAINING ADEQUATE COVER AS DIRECTED BY EACH UTILITY COMPANY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND PROCEDURES REQUIRED WHEN WORKING WITHIN HIGHWAY AND STREET RIGHTS-OF-WAYS.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY.
- ALL UTILITY TAP FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
- BACKFLOW PREVENTER MODEL AND TYPE TO BE APPROVED BY BEAR CREEK WATER ASSOCIATION PRIOR TO INSTALLATION, IF REQUIRED.

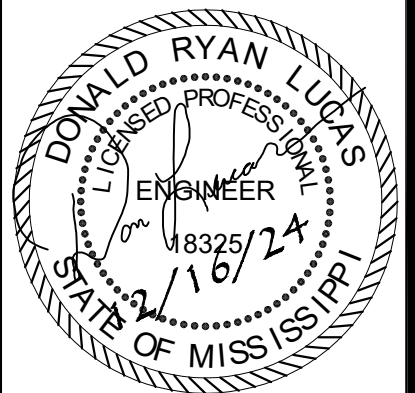


SEWER CLEAN-OUT DETAILS  
N.T.S.



TYPICAL WATER METER INSTALLATION  
(NO SCALE)

CAD FILE: C:\DWG\Design.dwg
PROJECT NO.: Gluckstadt
SCALE: 1" = 20'
DESIGNED BY: DRL
DRAWN BY: DRL
CHECKED BY: DRL



763 CLARA FOOTE ROAD  
BRAXTON, MS 39044  
(601)720-3845  
dlucas@lucaseng.com

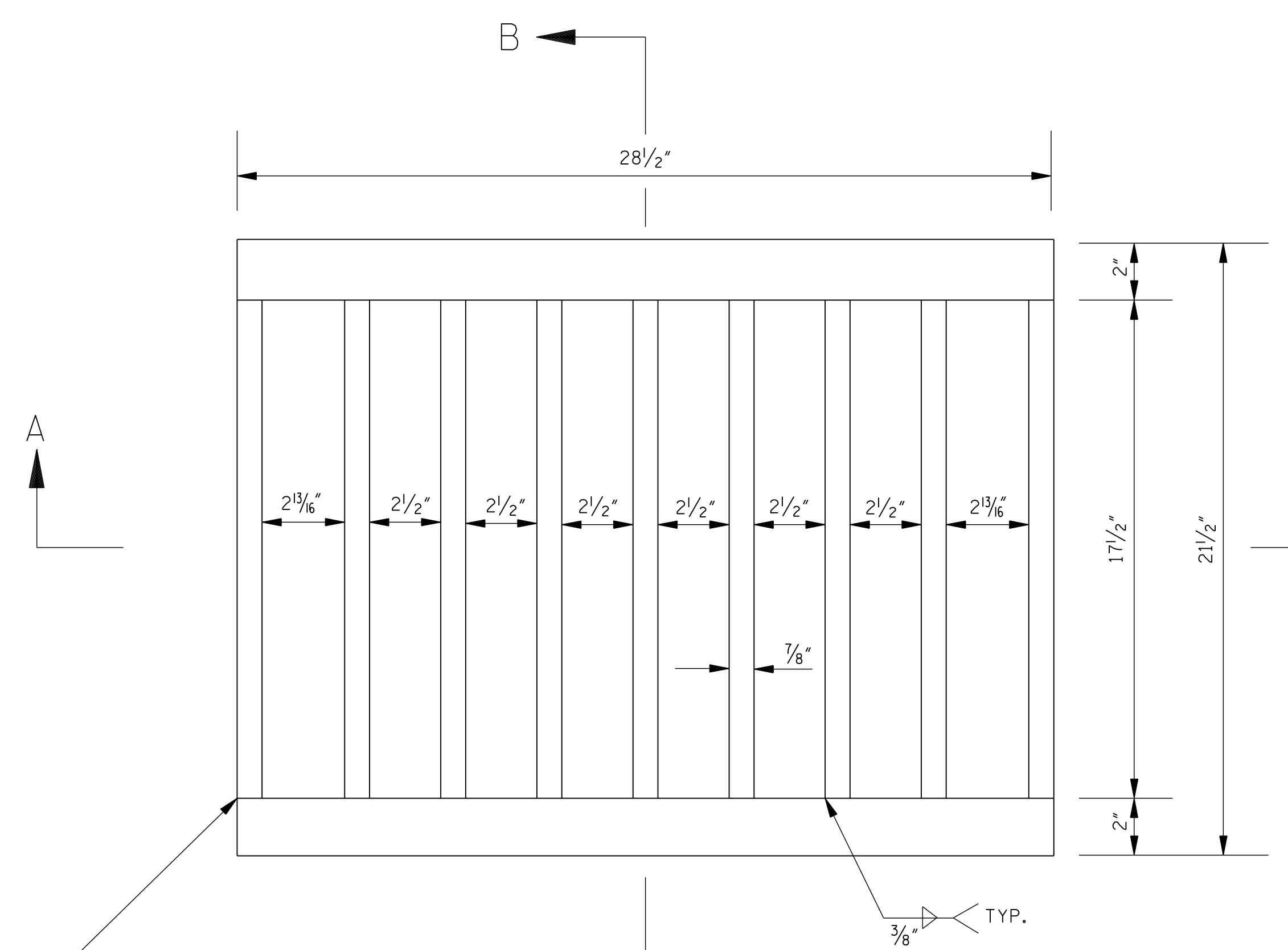


PREPARED FOR:  
BEDI INVESTMENTS, LLC  
457 BOZEMAN ROAD  
MADISON, MS 39110

WATER AND SEWER PLAN  
GLUCKSTADT RETAIL CENTER  
GLUCKSTADT, MISSISSIPPI

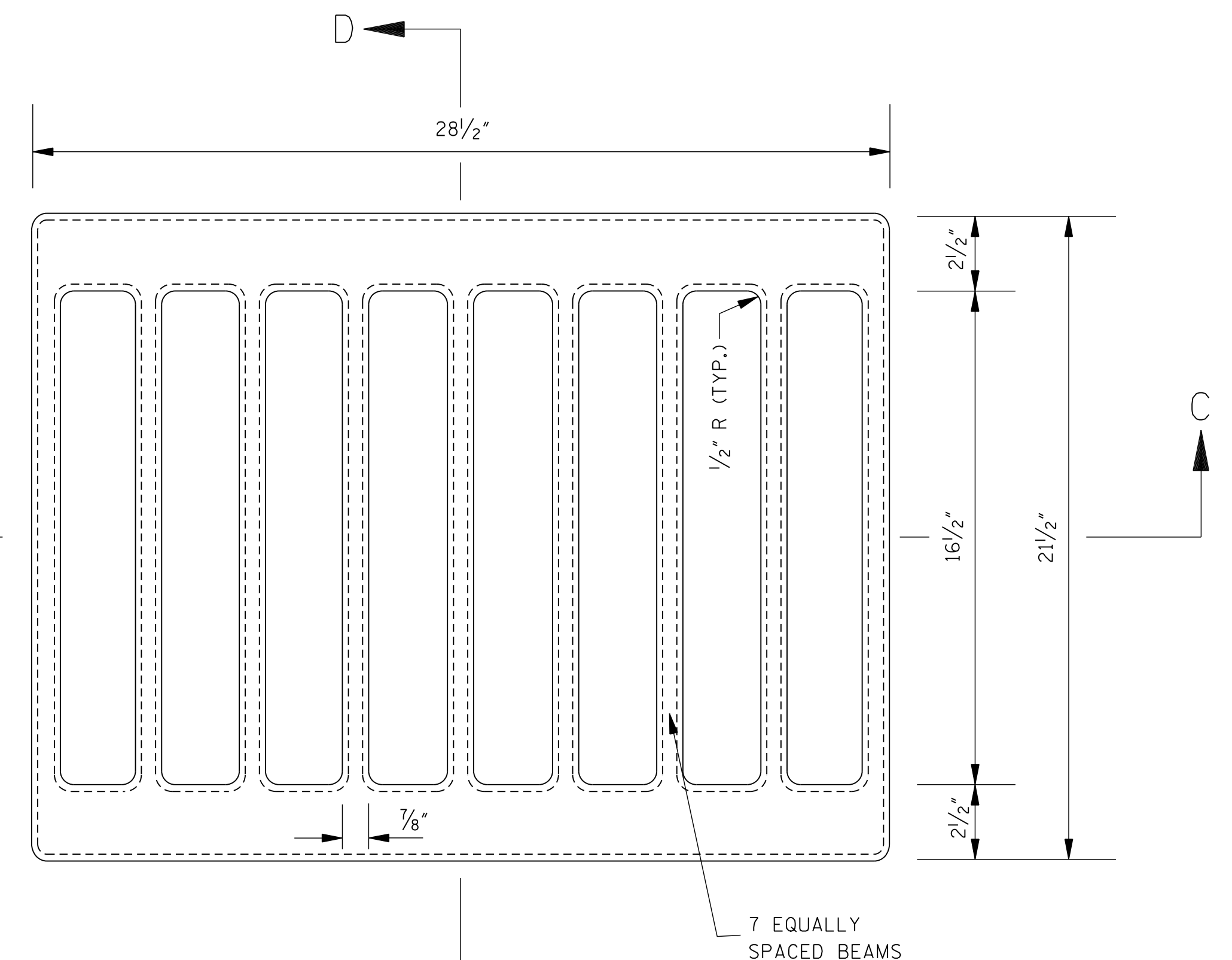
SHEET NO.  
**C-6**

GRATE NO. 1

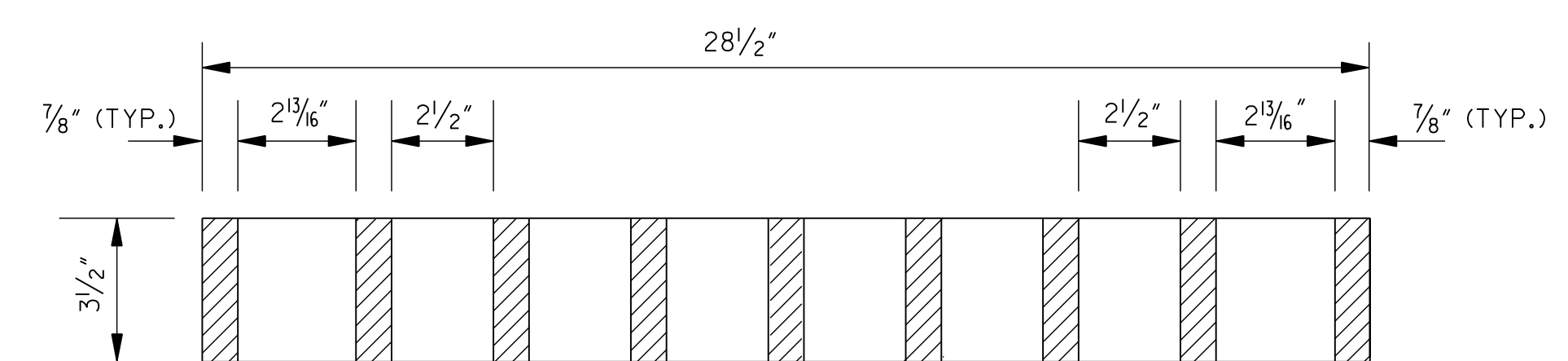


PLAN OF GRATE NO. 1

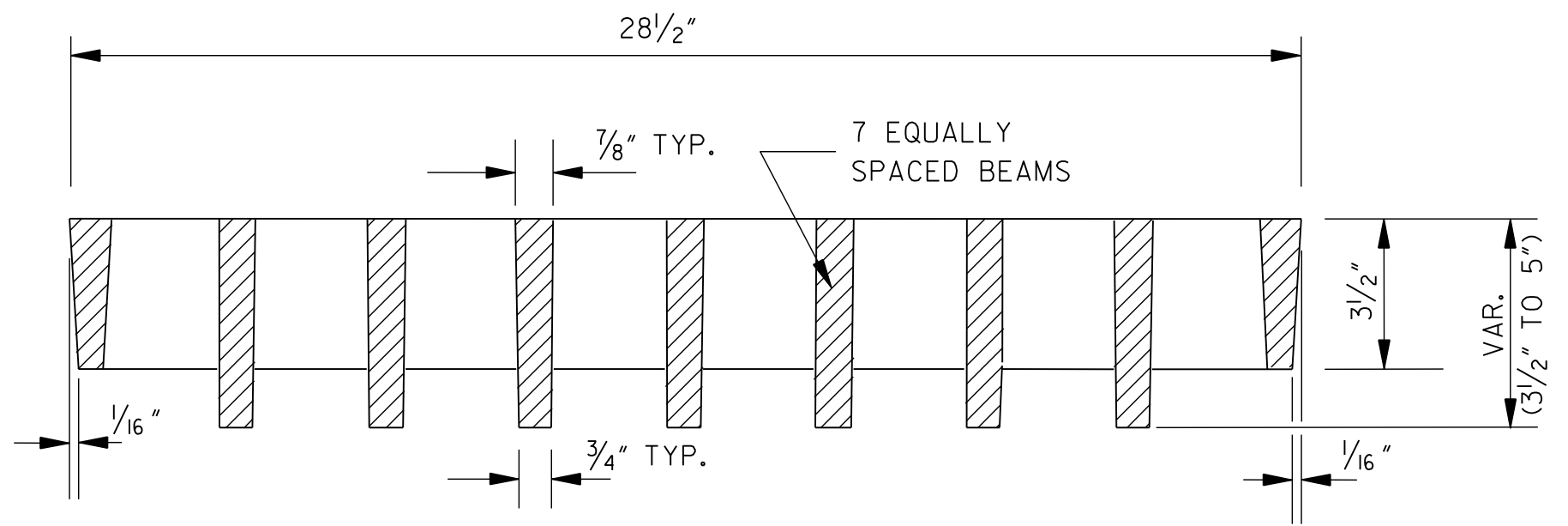
GRATE NO. 2



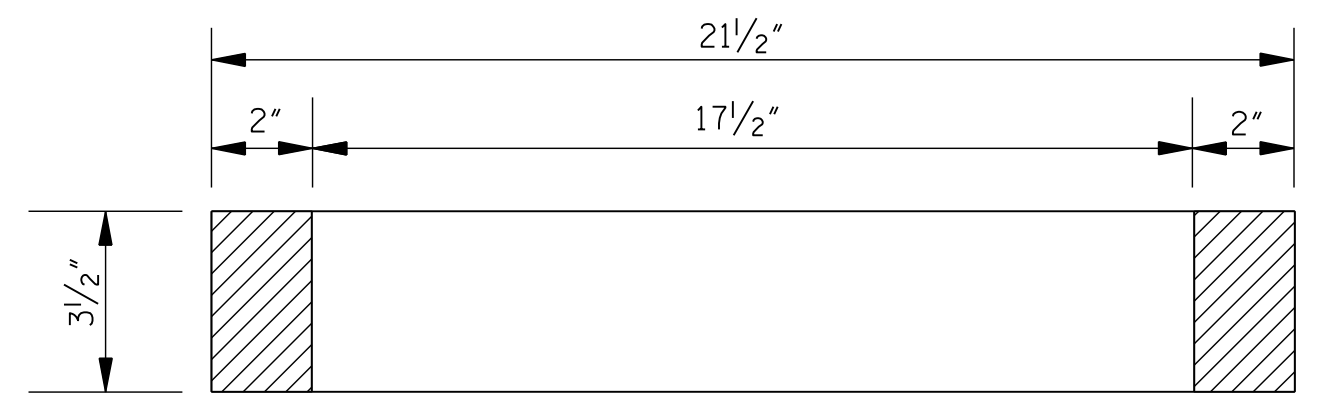
PLAN OF GRATE NO. 2



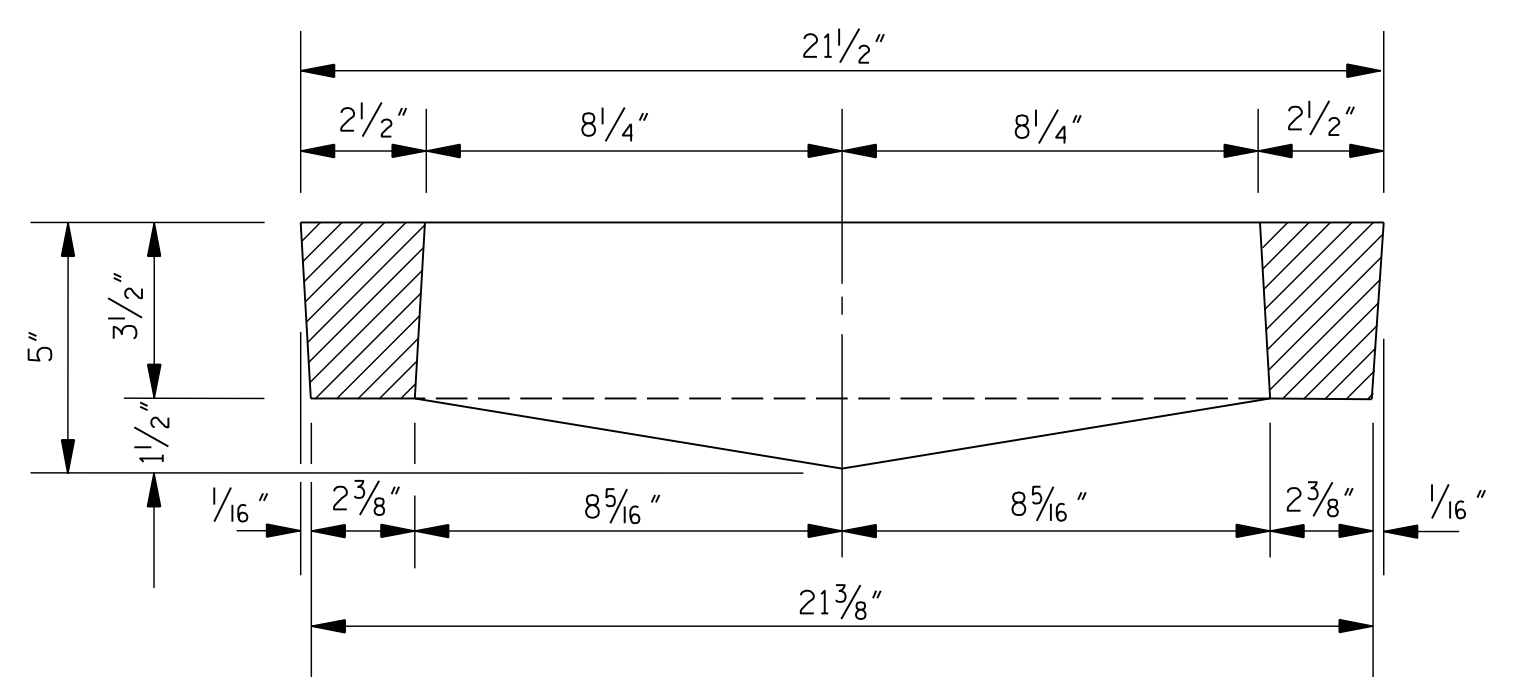
SECTION A-A



SECTION C-C




SECTION B-B



SECTION D-D

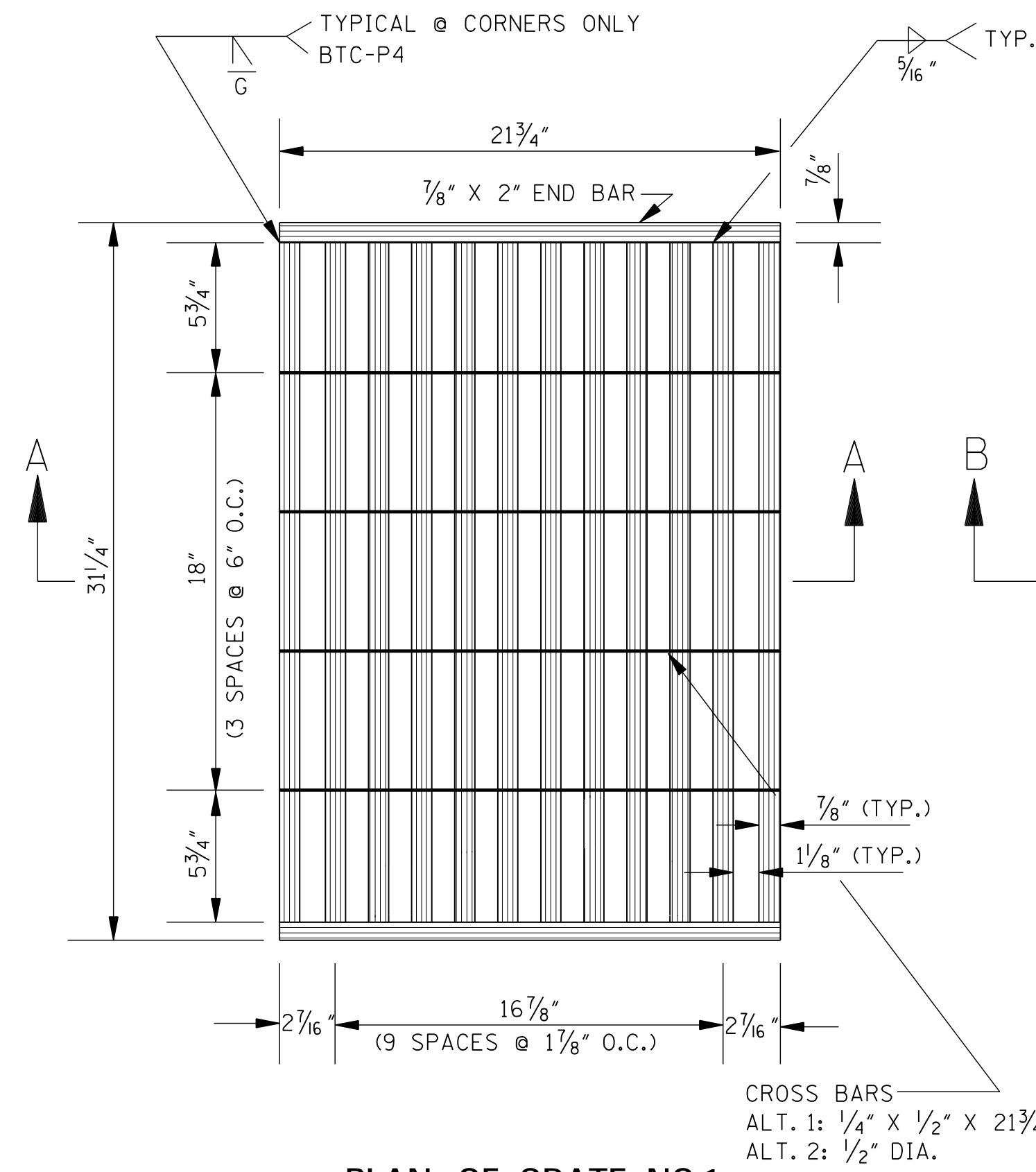
GENERAL NOTES:

1. BASIS OF PAYMENT WILL BE 250 lbs OF GRATING FOR EITHER GRATE.
2. GRATE NO.1  
THE GRATE SHALL BE WELDED STEEL (ASTM A 588).
3. GRATE NO.2  
THE GRATE SHALL BE DUCTILE IRON (ASTM A 536, GRADE 80-55-06).

BY		MISSISSIPPI DEPARTMENT OF TRANSPORTATION ROADWAY DESIGN DIVISION STANDARD PLAN	
REVISION		<p><b>DETAILS OF GRATES FOR MEDIAN INLETS</b></p> 	
DATE			
ISSUE DATE: AUGUST 01, 2017		WORKING NUMBER IG-1	SHEET NUMBER 6516

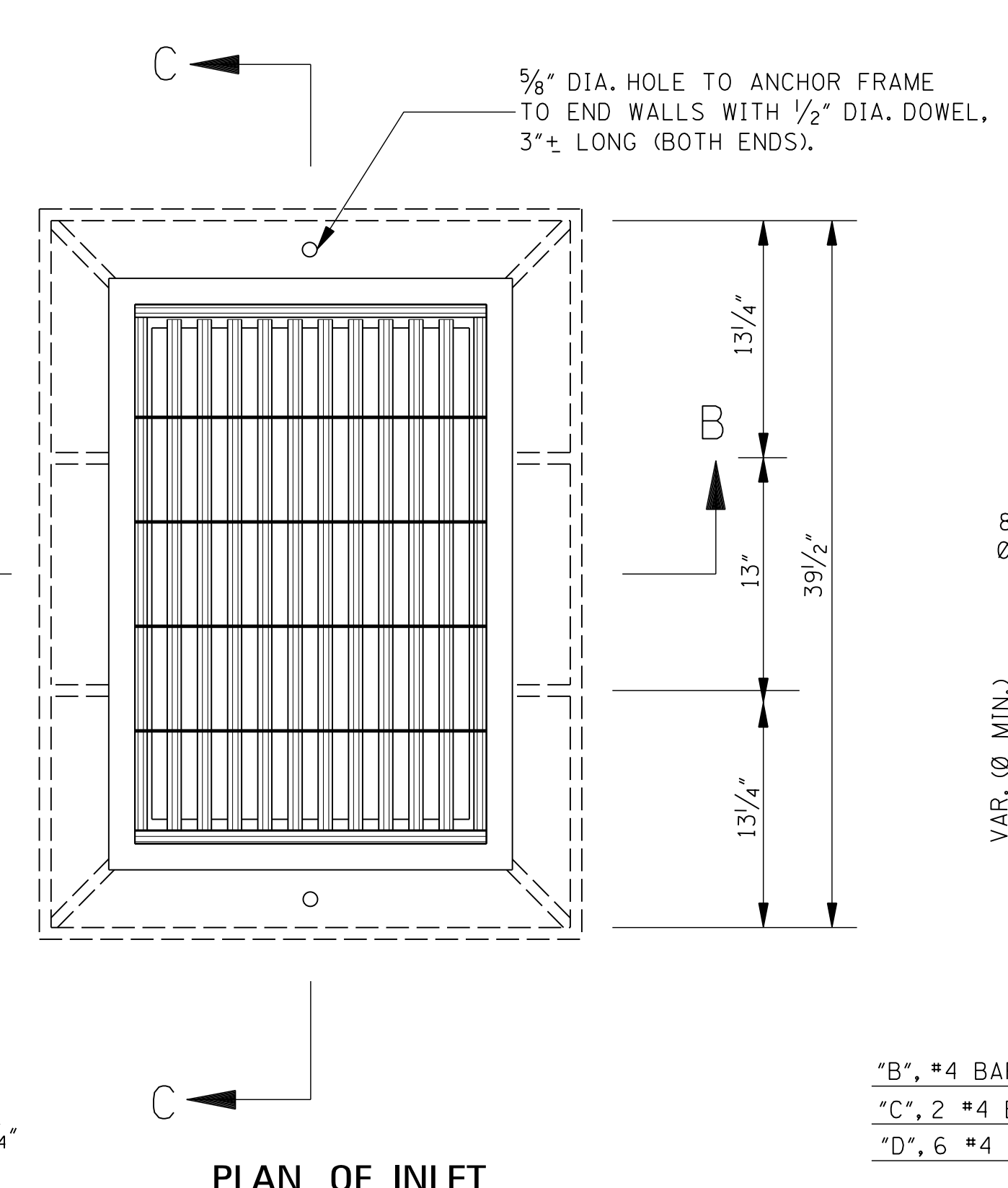


STATE	PROJECT NO.
MISS.	

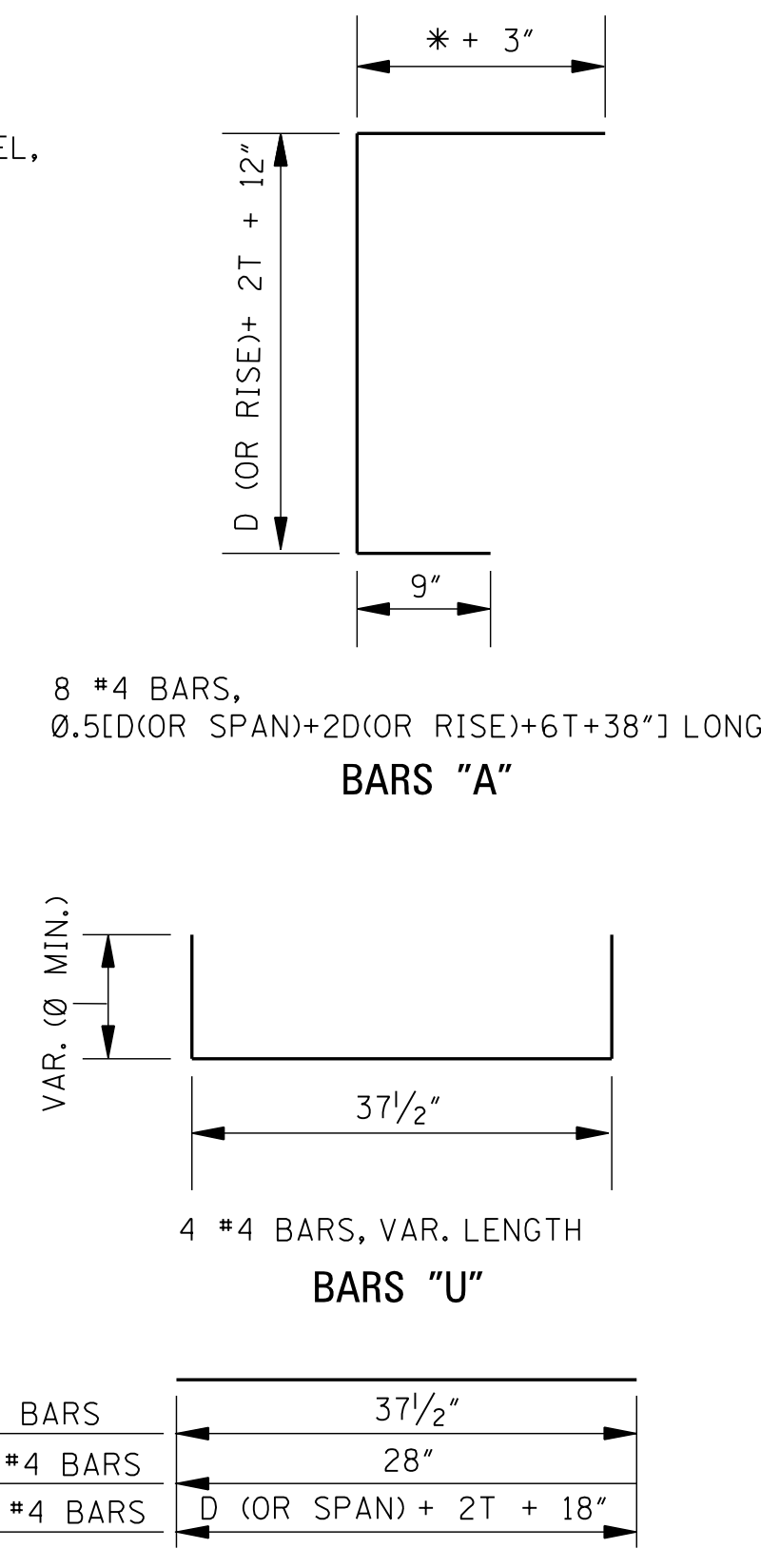


PLAN OF GRATE NO.1

NOTE: FOR OTHER GRATE DETAILS SEE SHEET IG-2.



PLAN OF INLET



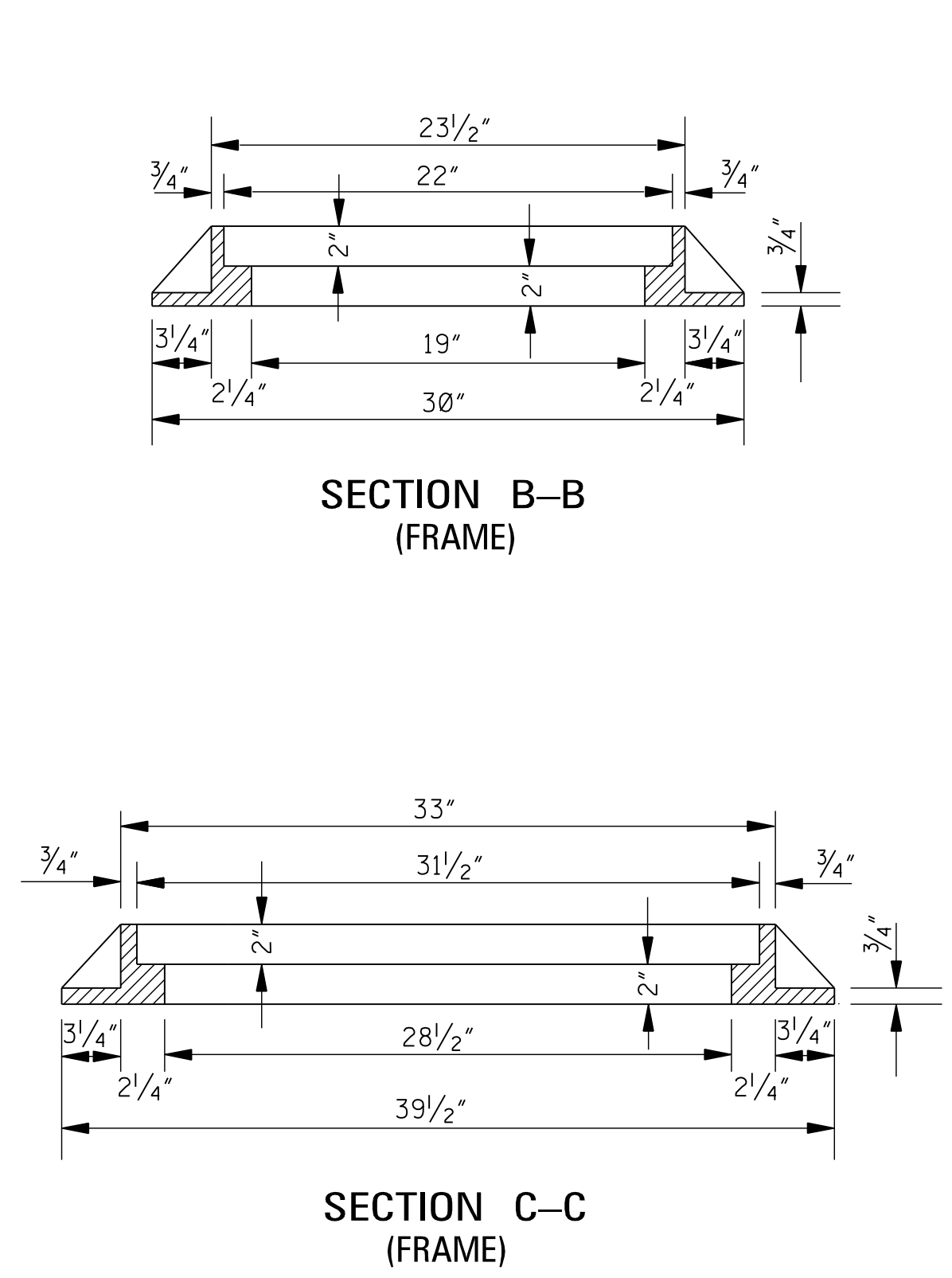
BAR DETAILS

\*NOTE:  

$$\ast \left[ \frac{D \text{ (OR SPAN)} + 2T - 10"}{2} \right]$$

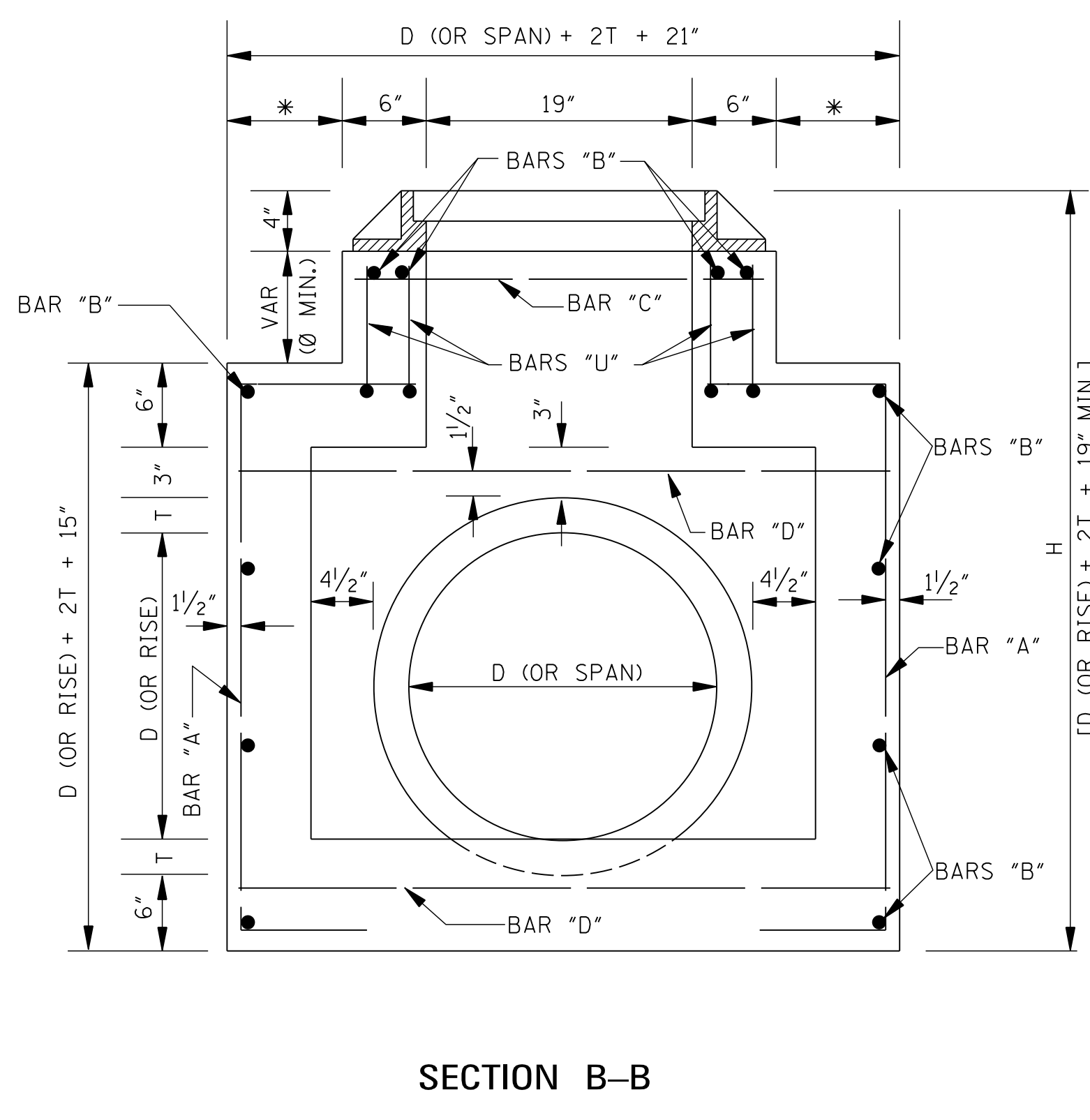
PIPE SIZE	MIN. DEPTH TO F.L.	MIN. DEPTH INLET		PIPE OPENING DEDUCTION (yd <sup>3</sup> )	T	BARS/SIZES				
		CONC. (yd <sup>3</sup> )	STEEL (lbs)			"A"	"B"	"C"	"D"	"U"
						NO. @ LGTH.	NO. @ LGTH.	NO. @ LGTH.	NO. @ LGTH.	NO. @ LGTH.
18"	2.792'	0.869	76	0.053	2 1/2"	8 @ 4'-5 1/2"	12 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 3'-5"	4 @ 3'-9 1/2"
24"	3.334'	1.117	87	0.091	3"	8 @ 5'-4"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 4'-0"	4 @ 3'-9 1/2"
30"	3.875'	1.385	94	0.138	3 1/2"	8 @ 6'-2 1/2"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 4'-7"	4 @ 3'-9 1/2"
36"	4.417'	1.671	105	0.196	4"	8 @ 7'-1"	16 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-2"	4 @ 3'-9 1/2"
42"	4.959'	1.978	116	0.263	4 1/2"	8 @ 7'-11 1/2"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-9"	4 @ 3'-9 1/2"
48"	5.500'	2.305	123	0.340	5"	8 @ 8'-10"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 6'-4"	4 @ 3'-9 1/2"
54"	6.042'	2.650	135	0.427	5 1/2"	8 @ 9'-8 1/2"	20 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 6'-11"	4 @ 3'-9 1/2"
60"	6.583'	3.016	146	0.524	6"	8 @ 10'-7"	22 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 7'-6"	4 @ 3'-9 1/2"
66"	7.125'	3.402	153	0.630	6 1/2"	8 @ 11'-5 1/2"	22 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 8'-1"	4 @ 3'-9 1/2"
72"	7.667'	3.806	164	0.747	7"	8 @ 12'-4"	24 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 8'-8"	4 @ 3'-9 1/2"
22" X 13"	2.417'	0.855	76	0.053	2 1/2"	8 @ 4'-3"	12 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 3'-9"	4 @ 3'-9 1/2"
29" X 18"	2.833'	1.085	83	0.087	3"	8 @ 5'-0 1/4"	12 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 4'-4 1/2"	4 @ 3'-9 1/2"
36" X 23"	3.250'	1.358	94	0.129	3 1/2"	8 @ 5'-10"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-1"	4 @ 3'-9 1/2"
44" X 27"	3.635'	1.631	101	0.185	4"	8 @ 6'-7 1/2"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-10"	4 @ 3'-9 1/2"
51" X 31"	4.068'	1.942	113	0.245	4 1/2"	8 @ 7'-5 1/2"	16 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 6'-6"	4 @ 3'-9 1/2"
58" X 36"	4.500'	2.269	120	0.318	5"	8 @ 8'-3"	16 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 7'-2 1/2"	4 @ 3'-9 1/2"
65" X 40"	4.875'	2.575	130	0.394	5 1/2"	8 @ 9'-0"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 7'-10"	4 @ 3'-9 1/2"
73" X 45"	5.333'	2.966	139	0.489	6"	8 @ 9'-10 1/2"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 8'-7"	4 @ 3'-9 1/2"
88" X 54"	6.167'	3.765	156	0.688	7"	8 @ 11'-6"	20 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 10'-0"	4 @ 3'-9 1/2"

- NOTES: 1. ONE (1) PIPE OPENING HAS BEEN DEDUCTED FROM THE STRUCTURE.  
 2. FOR EACH ADDITIONAL FOOT OF INLET HEIGHT, ADD 0.184 yd<sup>3</sup> CLASS "B" CONCRETE AND 17 lbs REINFORCING STEEL.  
 3. 4 BARS "B" AND 2 BARS "C" REQUIRED PER EACH ADDITIONAL FOOT OF INLET HEIGHT.  
 4. WEIGHT OF FRAME CASTING = 244 lbs.  
 WEIGHT OF GRATE = SEE SHEET IG-2.

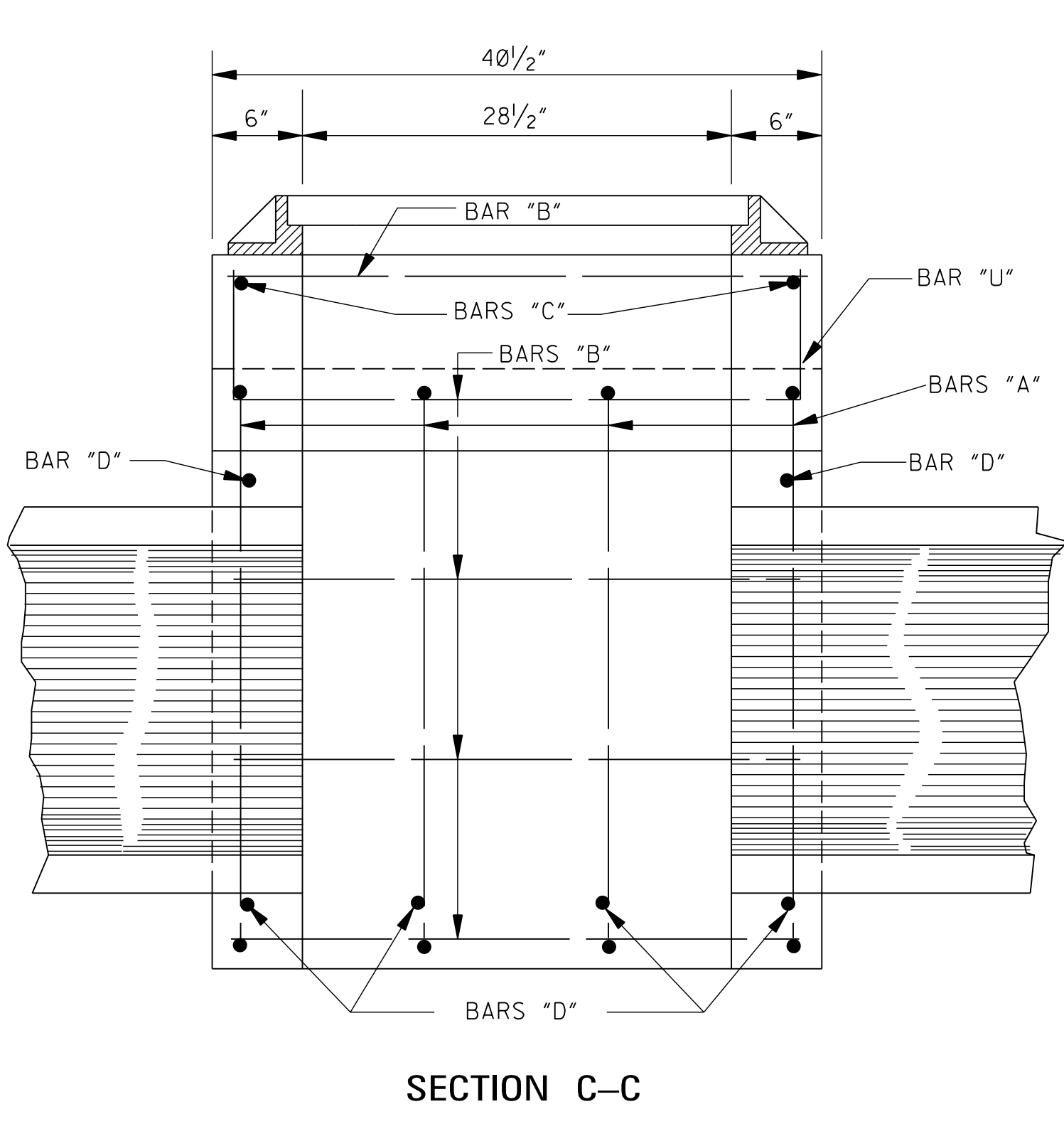


SECTION B-B (FRAME)

SECTION C-C (FRAME)



SECTION B-B



SECTION C-C

- GENERAL NOTES:  
 1. QUANTITIES SHOWN WILL BE THE BASIS OF PAYMENT UNLESS AUTHORIZED MODIFICATIONS ARE MADE.  
 2. CONCRETE SHALL BE CLASS "B" CONCRETE AND REINFORCING STEEL SHALL BE DEFORMED BARS.  
 3. THE CONTRACTOR HAS THE OPTION TO PROVIDE GRATE NO. 1 OR GRATE NO. 2 AS SHOWN ON SHEET IG-2.  
 4. FRAME TO BE GRAY IRON CASTING, (AASHTO M 105, CLASS 30).

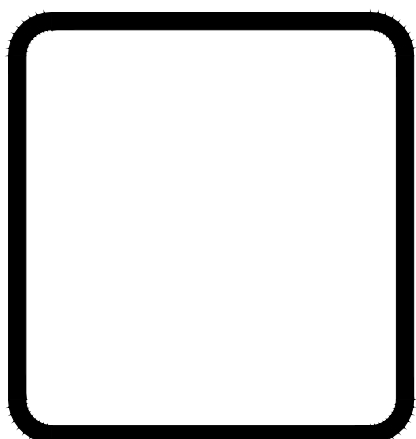
BY	MISSISSIPPI DEPARTMENT OF TRANSPORTATION ROADWAY DESIGN DIVISION STANDARD PLAN
REVISION	
DATE	ISSUE DATE: AUGUST 01, 2017

**STORM SEWER INLET  
TYPE SS-3**

WORKING NUMBER SS-3	SHEET NUMBER 6525
------------------------	----------------------



REVISIONS	BY



WOOLDRIDGE & ASSOCIATES  
 484 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-8888  
 WOOLDRIDGEARCHITECTUREWAAO.COM

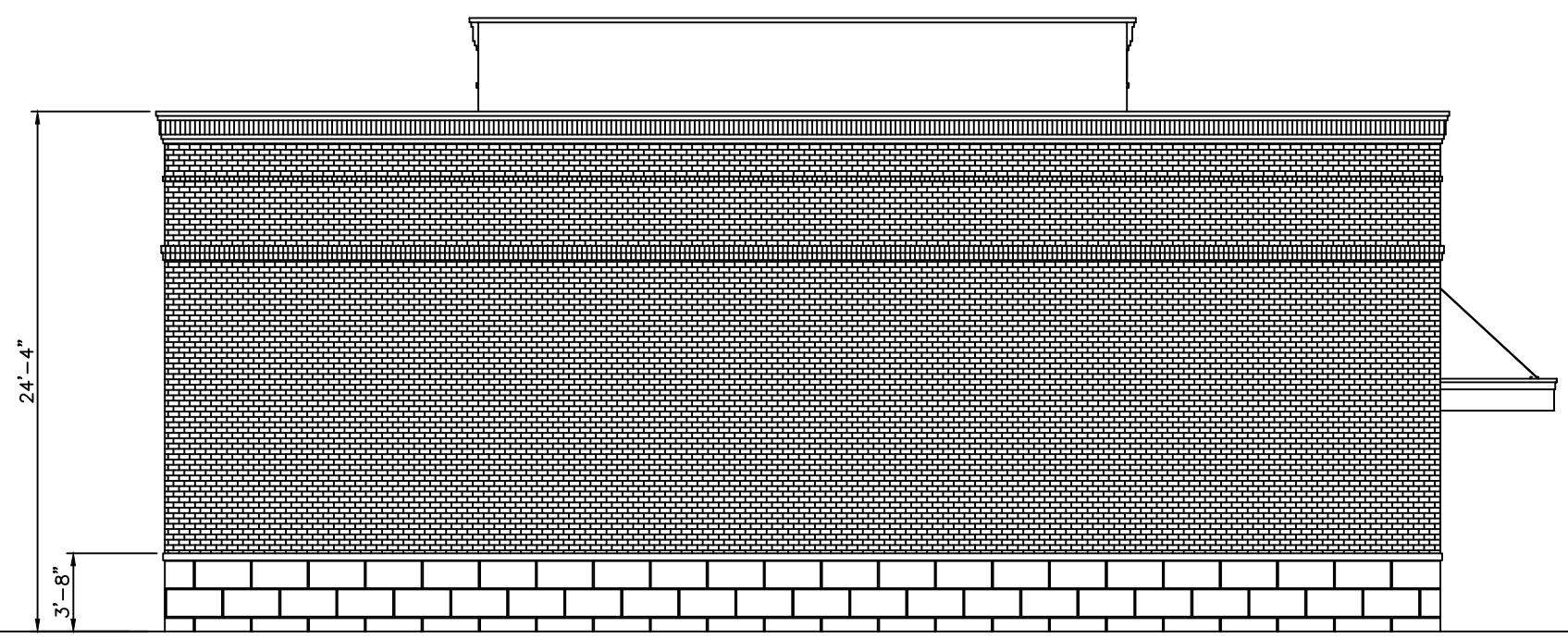
Gluckstadt Liquor  
 Gluckstadt Road  
 Gluckstadt, Mississippi

THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

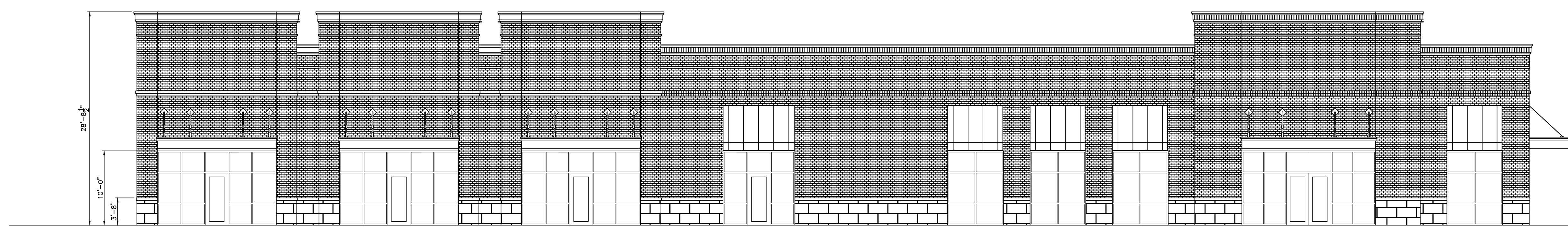
DRAWN
CHECKED
DATE 12/11/24
SCALE
JOB NO.
SHEET <b>A3.0</b>
OF SHEETS



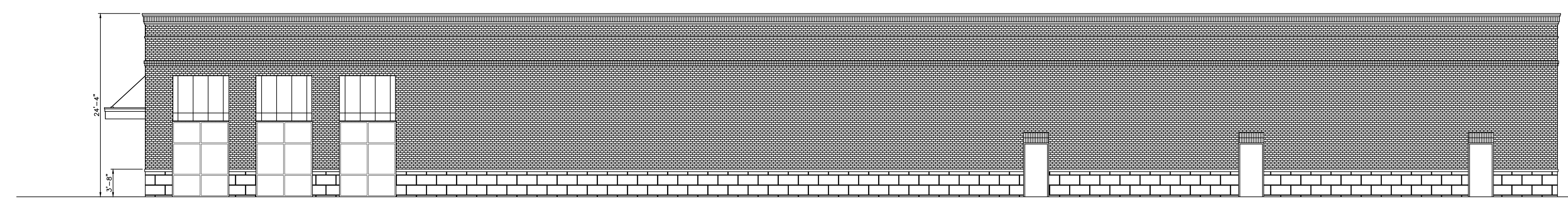
1 SOUTH ELEVATION  
 A1.0  
 SCALE: 1/8"=1'-0"



1 NORTH ELEVATION  
 A1.0  
 SCALE: 1/8"=1'-0"



1 WEST ELEVATION  
 A1.0  
 SCALE: 1/8"=1'-0"



1 EAST ELEVATION  
 A1.0  
 SCALE: 1/8"=1'-0"

39272303 DWG FOR ARCH next to shell.dwg

OWNER 12/16/2024 3:35 PM

**ORDINANCE OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI AMENDING THE OFFICIAL ZONING ORDINANCE AND MAP OF THE CITY OF GLUCKSTADT, MISSISSIPPI TO REZONE REAL PROPERTY LOCATED ON GLUCKSTADT ROAD BEING IDENTIFIED AS TAX PARCEL NO. 082D-20-002/03.00, IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, BY CHANGING THE USE DISTRICT CLASSIFICATION FROM (C-1) TO (C-2)**

WHEREAS, Bedi Investments, LLC (the "Applicant") did file an Application to rezone certain property described herein from its present (C-1) Classification to (C-2) Classification (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Commission scheduled a hearing on said Application for January 28, 2025, at 6:00 o'clock p.m.; and,

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the January 28, 2025, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and,

WHEREAS, the Applicant did provide evidence that Applicant had mailed notice of the hearing to adjacent property owners within 160 feet of the subject property; and,

WHEREAS, the Planning and Zoning Commission did conduct a full and complete hearing on the Application at the January 28, 2025 meeting, and at said hearing the said Planning and Zoning Commission received comments and heard evidence presented by the Applicant and all

others who appeared at said hearing and thereafter recommended that the Application be denied;  
and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on the Ordinance, have duly considered the matters and facts within their personal knowledge as same affect the land uses requested in the Application filed herein; and,

WHEREAS, the matter was presented to the Mayor and Board of Aldermen along with the recommendation of the Planning and Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Ordinance and moved that it be adopted, to-wit:

NOW, THEREFORE, be it ordained by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi as follows, to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of an Application to amend the City of Gluckstadt Official Zoning Map as required by Section 806 et seq. of the City of Gluckstadt Zoning Ordinance of December 16, 2021, exist and have been satisfied in regard to the granting of the Application, and specifically, the Mayor and Board of Aldermen do hereby find and determine that the character of the neighborhood where the property is located has changed to such an extent as to justify the reclassification of the property, and that there is a public need for the rezoning and the land use requested in the Application.

SECTION 3. That the Use District Classification of the following described property be, and same is hereby changed from its present (C-1) Classification to (C-2) Classification as to the



following described property (the "property"), to-wit:

Parcel 082D-20-002/03.00, being 1.25 AC situated in S ½ of SE 1/4, Section 20, T8N-R2E, Madison County, Mississippi, located in the City of Gluckstadt

SECTION 4. That the City of Gluckstadt Zoning Ordinance of December 16, 2021, and the Official Zoning Map be, and same are hereby amended to effectuate this change in zoning classification.

SECTION 5. This ordinance shall be effective thirty (30) days after its passage and after publication of same as required in § 21-13-11 Mississippi Code of 1972.

ORDAINED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi at a regular meeting thereof held on the \_\_\_ day of \_\_\_\_\_, 2025.

The motion for adoption was seconded by Alderman \_\_\_\_\_, and the foregoing Ordinance having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Bates voted: \_\_\_\_\_
- Alderman Powell voted: \_\_\_\_\_
- Alderman Slay voted: \_\_\_\_\_
- Alderman Taylor voted: \_\_\_\_\_
- Alderman Williams voted: \_\_\_\_\_

WHEREUPON, the Mayor declared the Motion had carried and that the Ordinance was adopted.

SO ORDAINED, ADOPTED, AND APPROVED by the Mayor and Board of Alderman of the City of Gluckstadt, Madison County, Mississippi at its regular meeting held on the \_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION DENYING APPLICATION TO AMEND THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI OFFICIAL ZONING ORDINANCE AND MAP TO REZONE REAL PROPERTY LOCATED ON GLUCKSTADT ROAD BEING IDENTIFIED AS TAX PARCEL NO. 082D-20-002/03.00, IN THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI, BY CHANGING THE USE DISTRICT CLASSIFICATION FROM (C-1) TO (C-2)**

WHEREAS, Bedi Investments, LLC (the "Applicant") did file an Application to rezone certain property described herein from its present (C-1) Classification to (C-2) Classification (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which scheduled a hearing on said Application for January 25, 2025, at 6:00 o'clock p.m. and did thereafter forward its recommendation thereon to the Mayor and Board of Aldermen; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the city where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affect the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission, and after discussion thereof, Alderman \_\_\_\_\_ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows: to-wit:

SECTION 1. That the matters and facts stated in the preamble hereof are found,

determined and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of an Application to amend the City of Gluckstadt Official Zoning Map as required by Section 806 et seq. of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied in regard to the granting of the Application, and specifically, the Mayor and Board of Aldermen do hereby find and determine that the character of the neighborhood where the property is located has not changed to such an extent to justify the reclassification of the property, and that there is not a public need for the rezoning and the land use requested in the Application.

SECTION 3. That the Application to change the use district classification of the following described property from (C-1) Classification to (C-2) Classification, be and the same is hereby denied. The property referenced in the Application (the "Property") is described as follows:

Parcel 082D-20-002/03.00, being 1.25 AC situated in S 1/2 of SE 1/4, Section 20, T8N-R2E, Madison County, Mississippi, located in the City of Gluckstadt

SO RESOLVED BY THE MAYOR AND BOARD OF ALDERMEN of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the \_\_\_ day of \_\_\_\_\_, 2025.

The motion to adopt the above and foregoing Resolution was seconded by Alderman \_\_\_\_\_, and the foregoing Resolution was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following result:

Alderman Bates voted: \_\_\_\_\_

Alderman Powell voted: \_\_\_\_\_

Alderman Slay voted: \_\_\_\_\_

Alderman Taylor voted: \_\_\_\_\_

Alderman Williams voted: \_\_\_\_\_

WHEREUPON, the Mayor declared the Motion carried and the Resolution adopted.

The foregoing resolution is approved, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: \_\_\_\_\_  
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: \_\_\_\_\_  
LINDSAY KELLUM, CITY CLERK

[SEAL]

City of Gluckstadt

**Application for Site Plan Review**

Subject Property Address: Parcel ID#: 082E-22-016/29.00

Parcel #: See above.

Owner: D&S Investment Group, LLC

Applicant: Lee Sahler

Address: 103 Eastwick Cv.

Address: 103 Eastwick Cv.

Madison, MS 39110

Madison, MS 39110

Phone #: 601-503-6860

Phone #: 601-503-6860

E-Mail: jlsconst@yahoo.com

E-Mail: jlsconst@yahoo.com

Current Zoning District: C2

Acreage of Property (If applicable): \_\_\_\_\_

Use sought of Property: Hotel construction

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

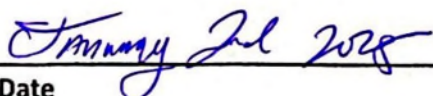
Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.

  
 \_\_\_\_\_  
 Applicant Signature

  
 \_\_\_\_\_  
 Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**

**OFFICE USE ONLY**

Date Received: \_\_\_\_\_

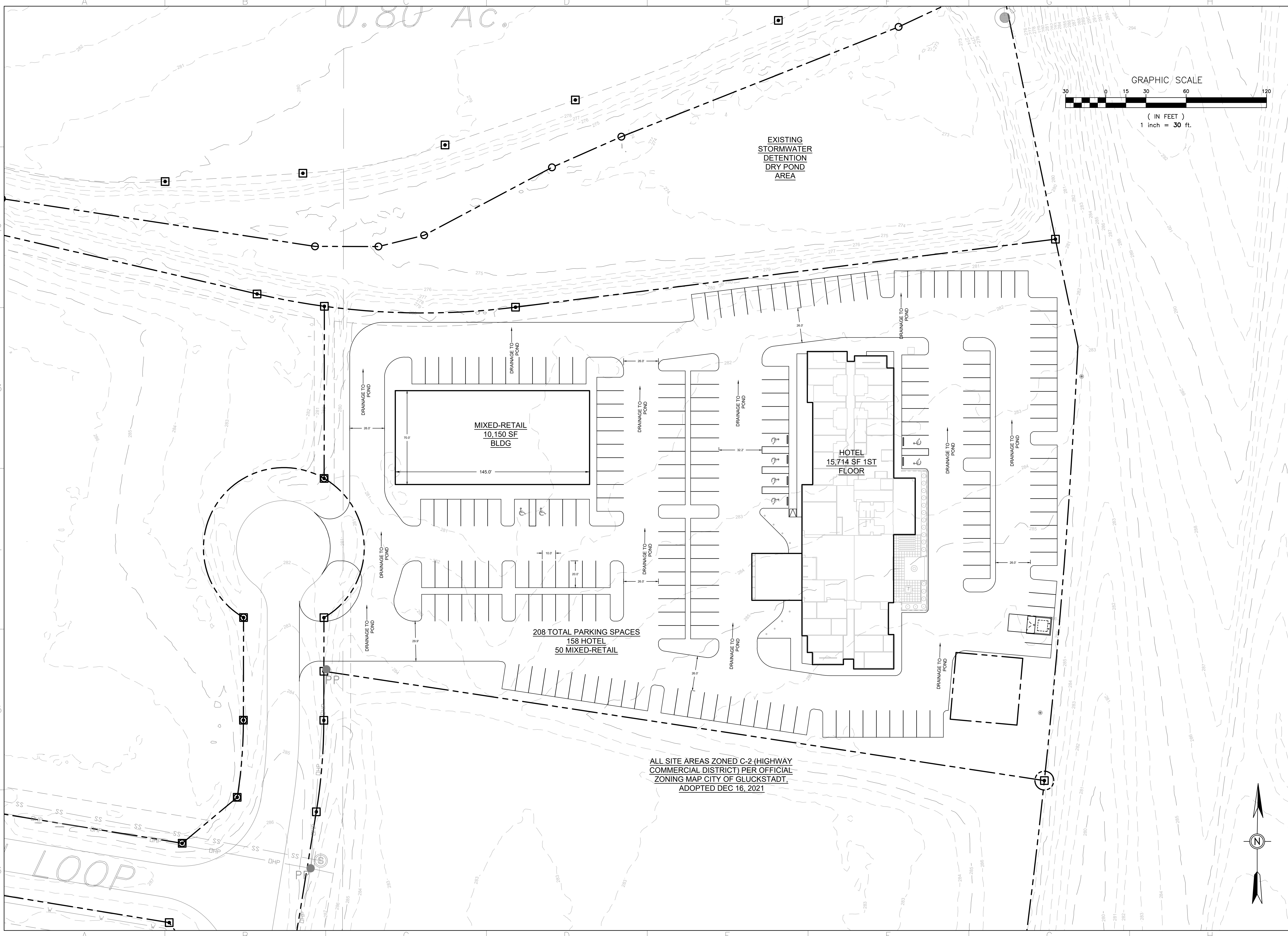
**Application Complete & Approved to Submit to P&Z Board (please check):**

Yes \_\_\_\_\_ No \_\_\_\_\_

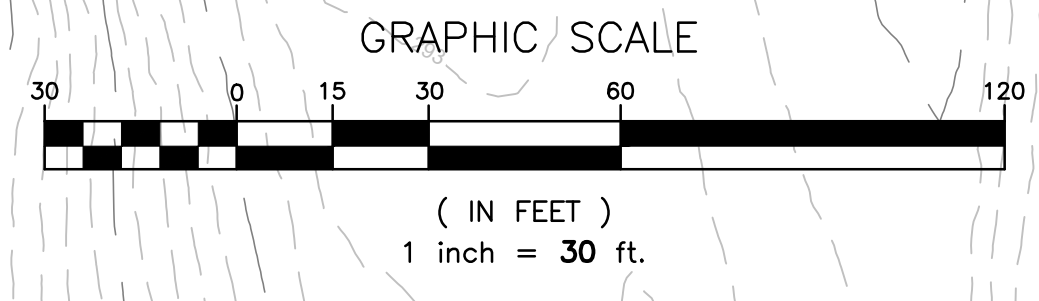
Signature: \_\_\_\_\_

Planning & Zoning Administrator (or Authorized Representative)





0.80 AC.



EXISTING  
STORMWATER  
DETENTION  
DRY POND  
AREA

MIXED-RETAIL  
10,150 SF  
BLDG

HOTEL  
15,714 SF 1ST  
FLOOR

208 TOTAL PARKING SPACES  
158 HOTEL  
50 MIXED-RETAIL

ALL SITE AREAS ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT) PER OFFICIAL  
ZONING MAP CITY OF GLUCKSTADT,  
ADOPTED DEC 16, 2021

LOOP

Section 9, Item G)

**DEAN**  
ENGINEERING SOLUTIONS INC.  
4780 I-55 NORTH, SUITE 100-4,  
601-557-2002 WWW.DEANESI.COM  
© DEAN ENGINEERING SOLUTIONS INC. THIS DOCUMENT IS THE  
PROPERTY OF DEAN ENGINEERING SOLUTIONS INC. NO REPRODUCTION  
OR REUSE OF THIS DOCUMENT OR PORTION THEREOF WITHOUT THE WRITTEN  
CONSENT OF DEAN ENGINEERING SOLUTIONS INC. SHALL BE SUBJECT TO LEGAL ACTION.

W. SETH DEAN  
REGISTERED PROFESSIONAL  
ENGINEER  
NOT FOR  
CONSTRUCTION  
STATE OF MISSISSIPPI  
00-00-0000

#	Description	Date
1	PLANS SUBMITTED FOR REVIEW	01.17.25

OWNER:  
**PraCon**  
Global Investment Group  
3220 N. STATE ST.  
JACKSON, MS 39216

PROJECT TITLE: **GLUCKSTADT HOTEL**  
SHEET TITLE:  
**GRADING PLAN**  
SITE DEVELOPMENT

DATE:	17 JAN 2025
SCALE:	AS SHOWN
DRAWN BY:	WSD
REVIEWED BY:	WSD
SHEET NUMBER:	C5.0





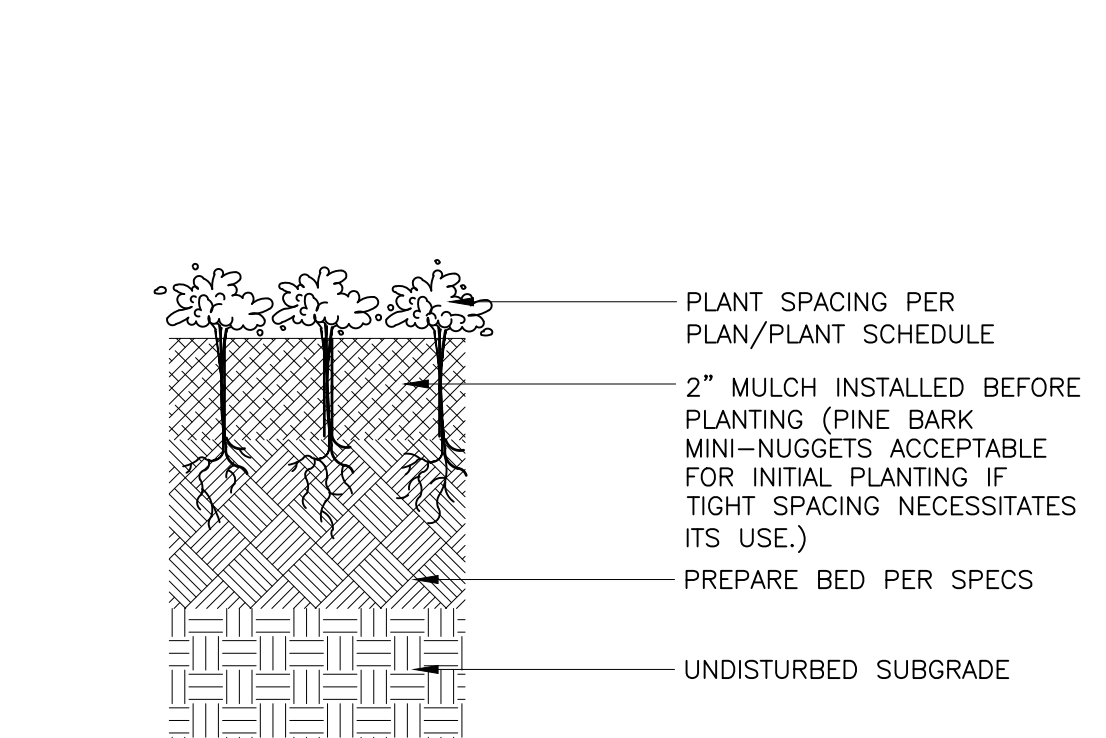
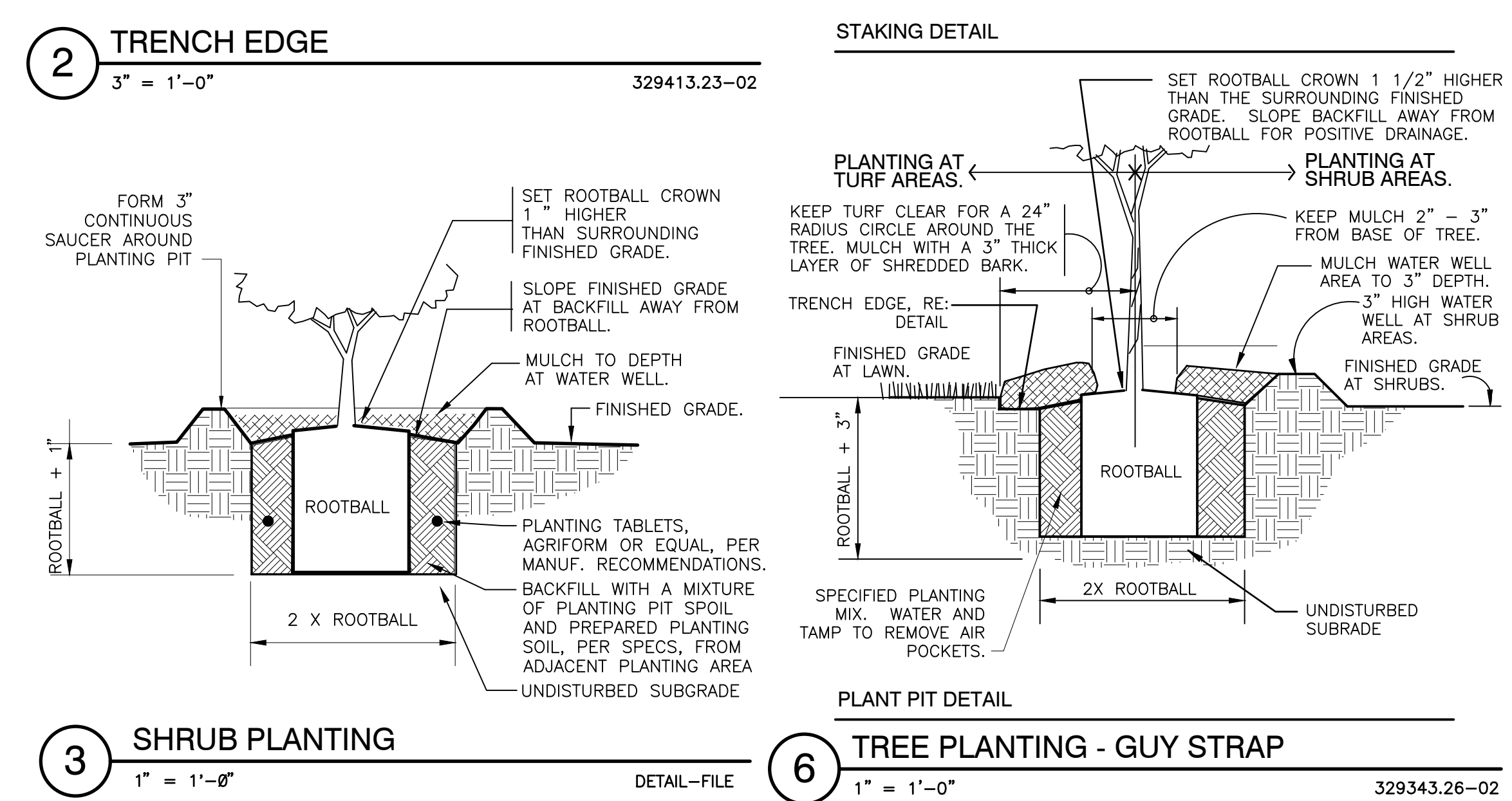
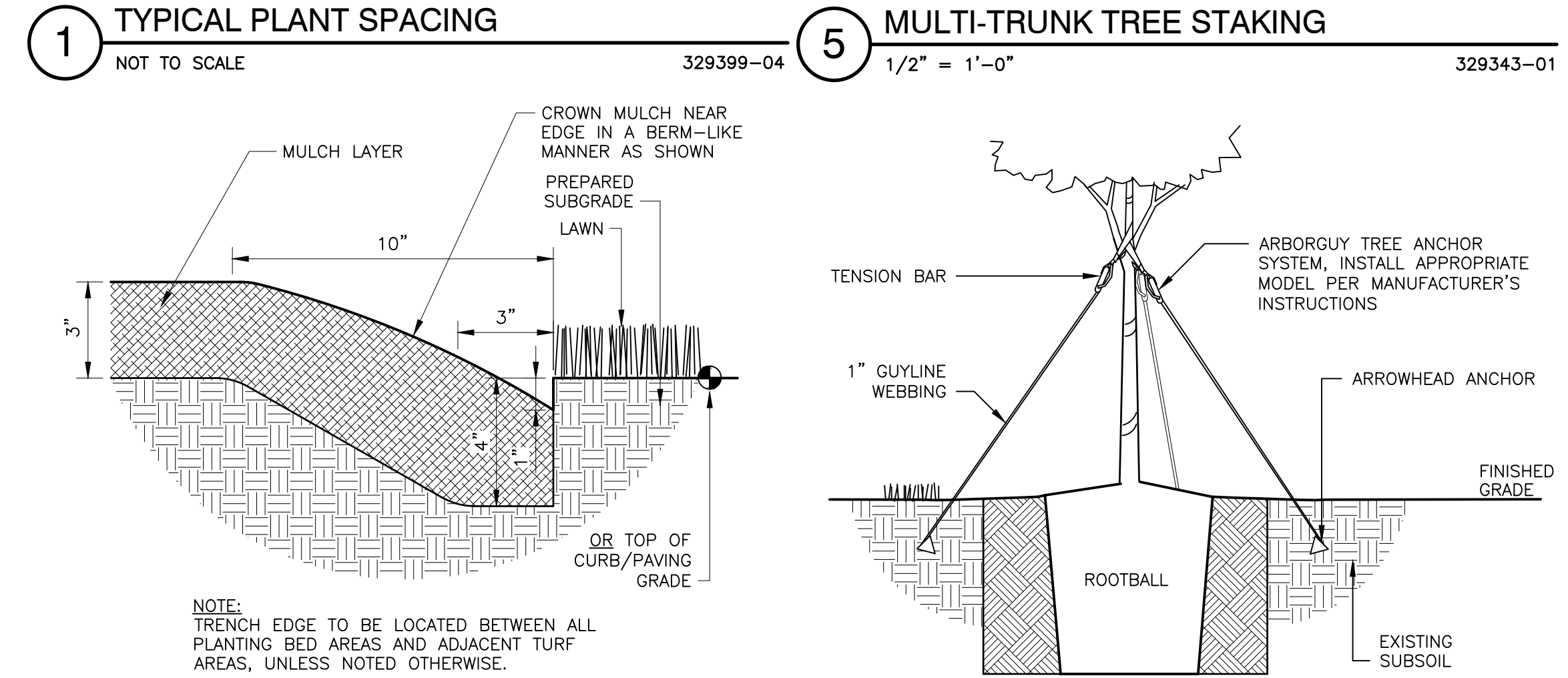
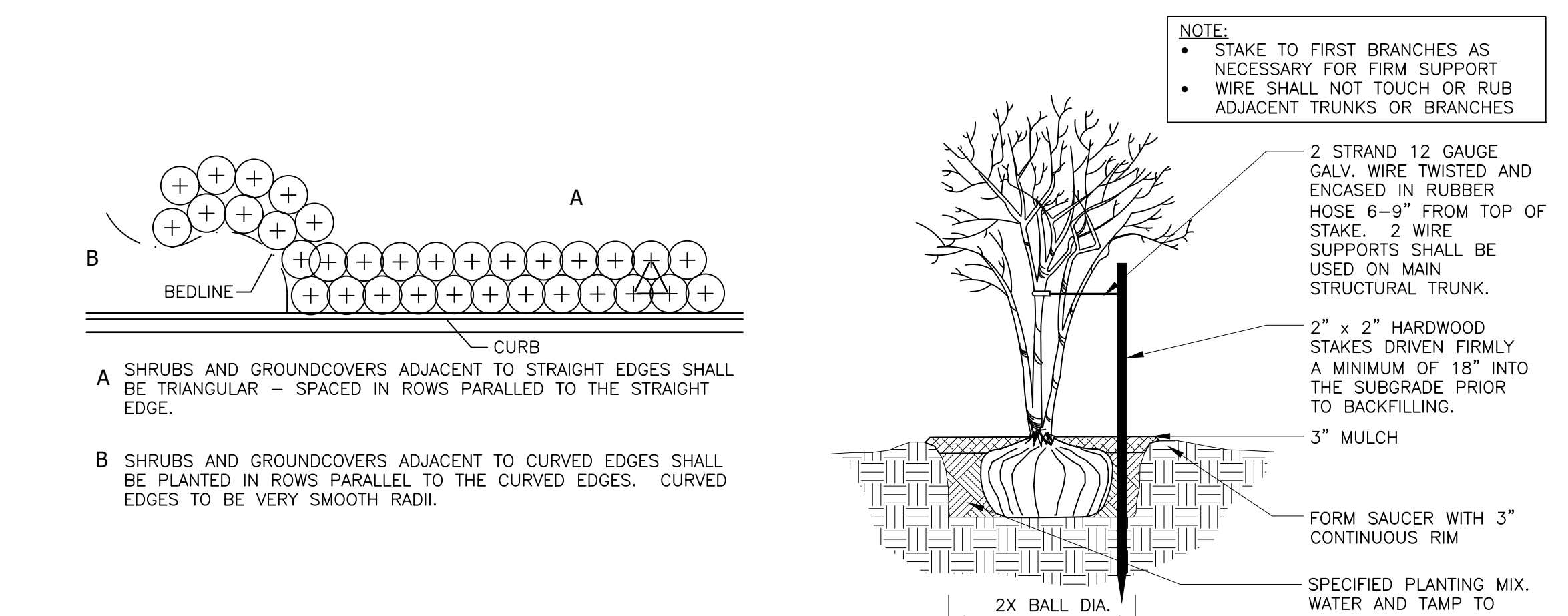


**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
<b>TREES</b>						
	IO	5	ILEX HYBRID 'CONAF' / OAK LEAF HOLLY FULL TO GROUND, SPECIMEN QUALITY	B&B OR CONT		6'
	QS	26	QUERCUS SHUMARDII / SHUMARD RED OAK FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	TD	7	TAXODIUM DISTICHUM / BALD CYPRESS FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	UA	16	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	2.0" - 2.5" CAL	10'-12'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	SPACING
<b>SHRUBS</b>						
	CG	20	CAMELLIA SASANQUA 'SHISHI GASHIRA' / SHISHI GASHIRA CAMELLIA	3 GAL		36" o.c.
	DM2	53	DISTYLIUM 'VINTAGE JADE' / VINTAGE JADE DISTYLIUM	3 GAL		48" o.c.
	CH	106	ILEX CORNUTA 'CARISSA' / CARISSA HOLLY FULL FORM	3 GAL		36" o.c.
<b>GROUND COVERS</b>						
	LG	99	LIRIOPE MUSCARI 'EVERGREEN GIANT' / EVERGREEN GIANT LILYTURF	1 GAL		24" o.c.
	RW	129	ROSA 'MEIZORLAND'™ / WHITE DRIFT ROSE	1 GAL		30" o.c.
<b>SOD/SEED</b>						
	SOD	32,424 SF	CYNODON DACTYLON 'TIFWAY 419' / TIFWAY 419 BERMUDA GRASS	SOD		

**QUANTITY TAKEOFF DISCLAIMER:**  
 QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

**IRRIGATION NOTE:**  
 ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.



landscape architecture  
 land planning  
 placemaking

**was DESIGN**  
 landscape architects www.was-design.com

Foley, Alabama P. 251.948.7181  
 Mobile, Alabama P. 251.344.4023  
 Jackson, Mississippi P. 601.790.0781  
 Pensacola, Florida P. 850.203.4252

**NOT FOR CONSTRUCTION**  
 THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
**Gluckstadt Hotel**  
 Gluckstadt, Mississippi

Revisions

No.	Date	Revisions / Submissions
01	2025	FOR PERMIT

© Copyright 2024 WAS Design Inc. These documents and their contents are the property of WAS Design. Any reproductions, revisions, modifications or use of these documents without the express written consent of WAS Design is prohibited by law.

Registration - FL LA666896

Drawn: YJ  
 Project Manager: JLA  
 Principal: 253470-003  
 Project No.: 01.17.25  
 Date:

Drawings not valid without seal

Sheet Title

**PLANTING DETAILS**

Sheet No. **LP500**







GLUCKSTADT ROAD ISLAND REMOVAL PROJECT

SCOPE OF WORK

The proposed project involved the removal of a concrete island on Gluckstadt Road on the westbound approach to the intersection of Calhoun Station Parkway. These improvements include the removal of the concrete island (including island pavement, curb & gutter and approximately 9.25' of granular material, saw cutting, etc.), the removal of conflicting traffic stripe, the installation of curb & gutter, the installation of crushed stone & asphalt pavement (tack coat is cost absorbed) and the installation of new traffic stripe. The contractor shall be responsible for maintaining proper traffic control throughout construction and shall not perform work during peak times when Germantown High School is in session. Once the Island has been removed, crushed stone shall be immediately installed flush with existing asphalt and taped off with barricades.

The contractor must submit all material specifications to the project engineer for approval prior to construction. Prices quoted shall include all materials, tools, labor and incidentals to complete the work.

<u>Pay Item</u>	<u>Qty.</u>	<u>Units</u>	<u>Unit Price</u>	<u>Total</u>
Removal of Concrete Island (Includes Removal of Curb & Gutter, Granular Material, Etc.)	350	S.Y.	_____	_____
Removal of Conflicting Stripe	1	L.S.	_____	_____
Crushed Stone	150	TONS	_____	_____
Curb & Gutter	100	L.F.	_____	_____
Asphalt (BB-1)	100	TONS	_____	_____
Concrete Island	75	SY	_____	_____
Thermoplastic Detail Stripe	1	L.S.	_____	_____
Total Quoted Price =				_____

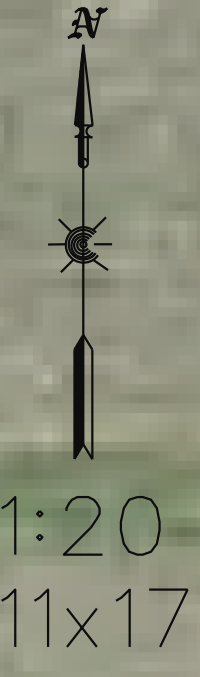
Contractor: \_\_\_\_\_

Certificate of Responsibility #: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



396 Business Park Drive, Suite E  
 MADISON, MISSISSIPPI 39110  
 www.stantec.com



CITY OF GLUCKSTADT  
 GLUCKSTADT ROAD ISLAND REMOVAL PROJECT  
 MADISON COUNTY, MISSISSIPPI

PROJECT NO. \_\_\_\_\_ SCALE \_\_\_\_\_

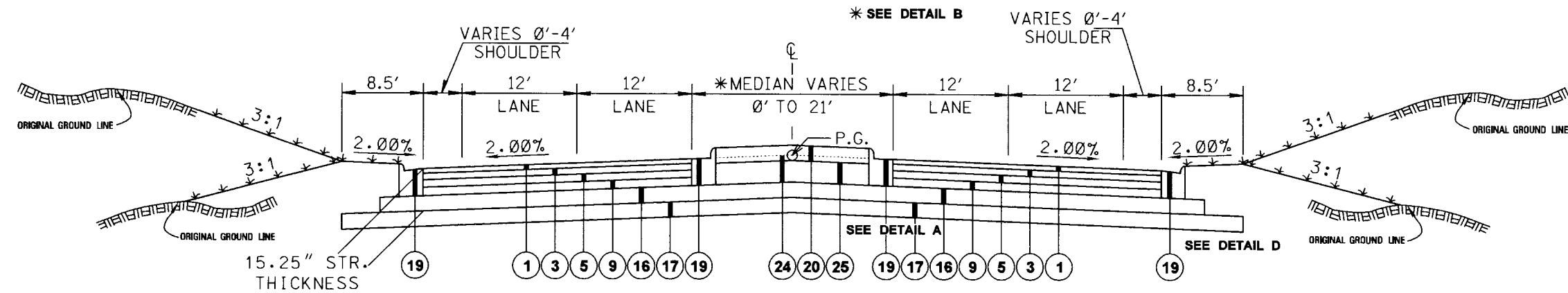
WORKING NO. \_\_\_\_\_ SHEET NO. \_\_\_\_\_ REVISION \_\_\_\_\_

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Revision

By Appd. YY.MM.DD

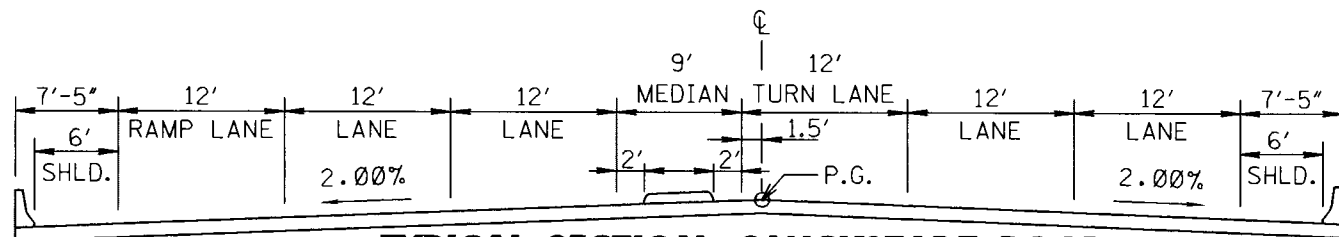
Dwn. Chkd. Dsgn. YY.MM.DD



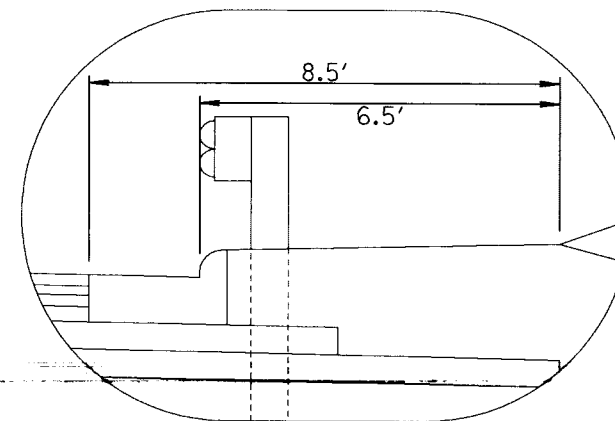
**TYPICAL SECTION GLUCKSTADT ROAD**  
**STATION 17+73.935 TO STATION 32+10.005 (BEGIN BRIDGE)**  
**STATION 34+04.311 (END BRIDGE) TO STATION 35+22.925**

- \* TO BE PLACED AFTER OPENING 4 LANE OR 6 LANE TRAFFIC
- \*\* SOIL CEMENT (5.5% CEMENT) OR LIME FLY ASH (3% LIME, 12% FLY ASH) TREATMENT OF THE BASE. CHEMICAL TREATMENT SHALL EXTEND 2 FEET OUTSIDE EDGE OF PAVEMENT.
- \*\*\* SOIL CEMENT TREATMENT (4% CEMENT) OR LIME FLY ASH TREATMENT (3% LIME, 12% FLY ASH) OR 50% OF THE SUBGRADE AND LIME TREATMENT (6%) OF REMAINING 50% OF THE SUBGRADE. (NOTE THIS BREAKDOWN ON CHEMICAL TREATMENT IS FOR THE PURPOSE OF PLAN QUANTITY ESTIMATION ONLY. A SELECTION OF ACTUAL TREATMENT WILL BE MADE DURING CONSTRUCTION). CHEMICAL TREATMENT SHALL EXTEND FROM OUTSIDE SHOULDER EDGE TO OUTSIDE SHOULDER EDGE.
- \*\*\*\* INDICATES AREA TO BE TREATED IN ACCORDANCE WITH THE VEGETATION SCHEDULE. SEE VS-1

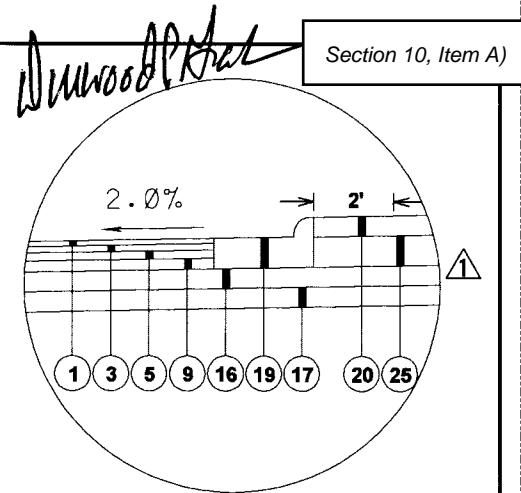
- NEW CONSTRUCTION**
- ① 1.5" HMA OR WMA, HT (9.5 mm MIXTURE) POLYMER MODIFIED (1 @ 1.5)\*
  - ③ 2.0" HMA OR WMA, HT (12.5 mm MIXTURE) POLYMER MODIFIED (1 @ 2.0)
  - ⑤ 2.5" HMA OR WMA, HT (19 mm MIXTURE) (1 @ 2.5)
  - ⑨ 3.25" HMA OR WMA, ST (19 mm MIXTURE) (1 @ 3.25)
  - ⑬ 6" CHEMICALLY TREATED GRANULAR MATERIAL (9/C)\*\*
  - ⑰ 6" CHEMICALLY TREATED SUBGRADE\*\*\*
  - ⑲ TYPE 3A MODIFIED CURB AND GUTTER
  - ⑳ 4" CONCRETE MEDIAN AND/OR ISLAND PAV'T
  - ㉒ 9" MIN. BRIDGE END PAVEMENT
  - ㉔ PAVEMENT REMOVAL
  - ㉖ UNTREATED GRANULAR MATERIAL (9/C) ▲



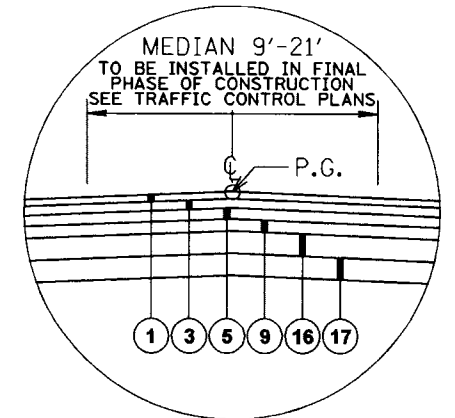
**TYPICAL SECTION GLUCKSTADT ROAD**  
**BRIDGE SECTION**  
**STATION 32+10.005 TO STATION 34+04.311**



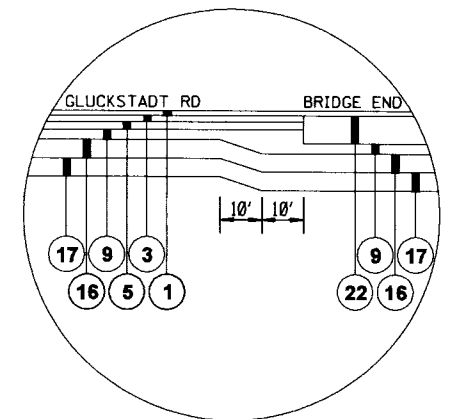
**DETAIL D**  
**PLACEMENT OF GUARDRAIL BEHIND**  
**TYPE 3A MODIFIED CURB AND GUTTER**  
**SEE GLU4 & GLU5 FOR STA. RANGE**



**DETAIL A**



**DETAIL B**



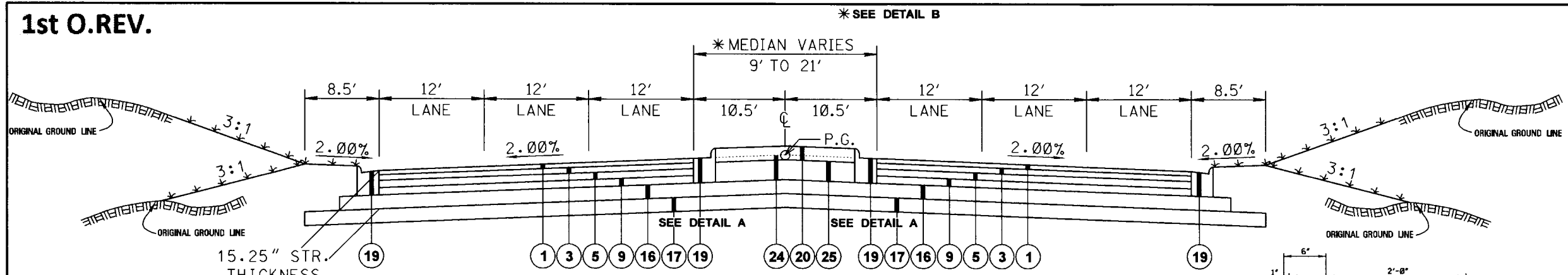
**DETAIL C**  
**SIDEVIEW OF BRIDGE END**  
**GLUCKSTADT ROAD**

MISSISSIPPI DEPARTMENT OF TRANSPORTATION		
<b>TYPICAL SECTIONS</b>		
GLUCKSTADT ROAD		
STA 17+73.935 TO		
STA 35+22.925		
PROJ. NO. NH-0055-02(214)		
MADISON COUNTY		
DATE: 06-22-13	REVISION: 1	WORKING NUMBER: TS-4
DESIGN TEAM: GS&P	CHECKED: MRW	SHEET NUMBER: 10

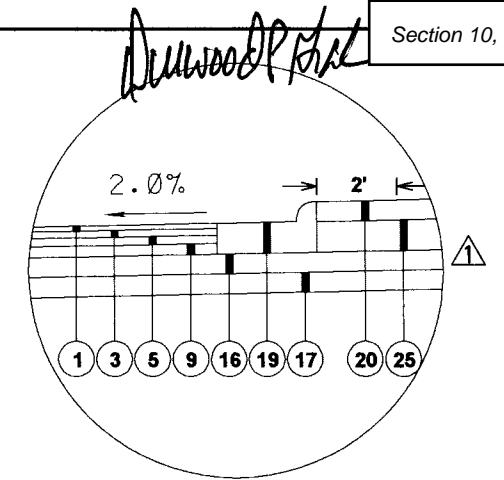


1st O.REV.

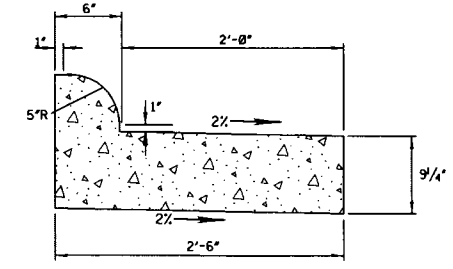
Section 10, Item A)



**TYPICAL SECTION GLUCKSTADT ROAD  
STATION 35+22.925 TO STATION 41+95.789**



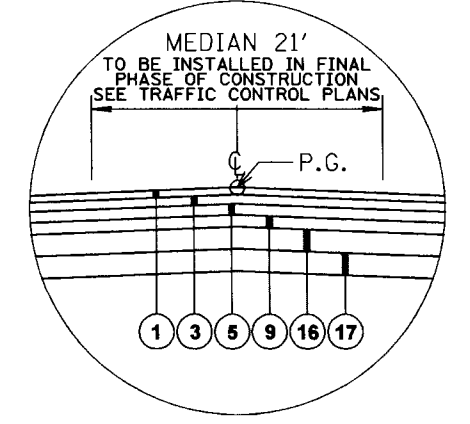
**DETAIL A  
MEDIAN DETAIL**



**TYPE 3A MODIFIED CURB AND GUTTER IN MEDIAN**

**NEW CONSTRUCTION**

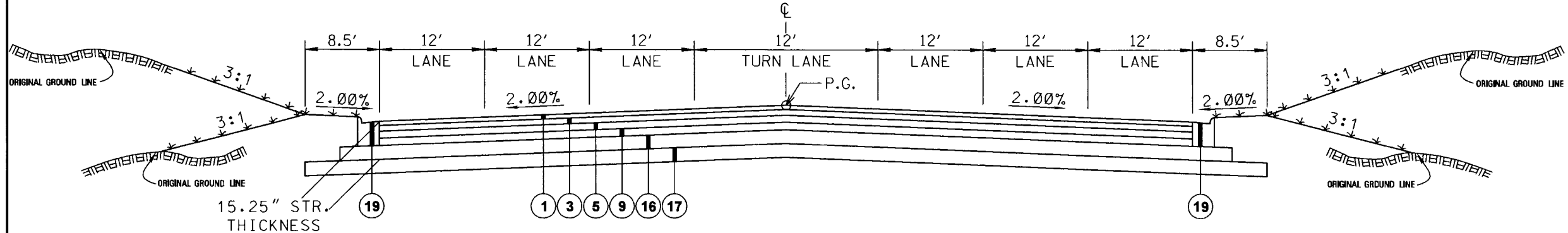
- ① 1.5" HMA OR WMA, HT (9.5 mm MIXTURE) POLYMER MODIFIED (1 @ 1.5)\*
- ③ 2.0" HMA OR WMA, HT (12.5 mm MIXTURE) POLYMER MODIFIED (1 @ 2.0)
- ⑤ 2.5" HMA OR WMA, HT (19 mm MIXTURE) (1 @ 2.5)
- ⑨ 3.25" HMA OR WMA, ST (19 mm MIXTURE) (1 @ 3.25)
- ⑬ 6" CHEMICALLY TREATED GRANULAR MATERIAL (9/C)\*\*
- ⑰ 6" CHEMICALLY TREATED SUBGRADE\*\*\*
- ⑲ TYPE 3A MODIFIED CURB AND GUTTER
- ⑳ 4" CONCRETE MEDIAN AND/OR ISLAND PAV'T
- ㉔ PAVEMENT REMOVAL
- ㉕ UNTREATED GRANULAR MATERIAL (9/C) ▲



**DETAIL B**

\* TO BE PLACED AFTER OPENING 4 LANE OR 6 LANE TRAFFIC  
 \*\* SOIL CEMENT (5.5% CEMENT) OR LIME FLY ASH (3% LIME, 12% FLY ASH) TREATMENT OF THE BASE. CHEMICAL TREATMENT SHALL EXTEND 2 FEET OUTSIDE EDGE OF PAVEMENT.  
 \*\*\* SOIL CEMENT TREATMENT (4% CEMENT) OR LIME FLY ASH TREATMENT (3% LIME, 12% FLY ASH) OR 50% OF THE SUBGRADE AND LIME TREATMENT (6%) OF REMAINING 50% OF THE SUBGRADE. (NOTE THIS BREAKDOWN ON CHEMICAL TREATMENT IS FOR THE PURPOSE OF PLAN QUANTITY ESTIMATION ONLY. A SELECTION OF ACTUAL TREATMENT WILL BE MADE DURING CONSTRUCTION). CHEMICAL TREATMENT SHALL EXTEND FROM OUTSIDE SHOULDER EDGE TO OUTSIDE SHOULDER EDGE.

\*\*\* INDICATES AREA TO BE TREATED IN ACCORDANCE WITH THE VEGETATION SCHEDULE. SEE VS-1



**TYPICAL SECTION GLUCKSTADT ROAD  
STATION 41+95.789 TO STATION 44+50.000**

MISSISSIPPI DEPARTMENT OF TRANSPORTATION	
<b>TYPICAL SECTIONS</b>	
GLUCKSTADT ROAD STA 35+22.925 TO STA 44+50.00	
PROJ. NO. NH-0055-02(214) MADISON COUNTY	
DATE: 02-22-13	FILENAME: TS-5.dgn
DESIGN TEAM: GS&P	CHECKED: MRW
REVISION:	DATE:
WORKING NUMBER: TS-5	SHEET NUMBER: 11



## CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

### MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 1/28/2025

**SUBJECT:** Request for Approval, Permission to Advertise for Gluckstadt Road Median Removal

---

This memo is to request approval to advertise for bidding for the Gluckstadt Road Median Removal Project. Public Works has received rough estimate quotes from contractors and all quotes have been above \$75,000. Due to these estimates, the work must be bid out.

The proposed project involves the removal of a concrete island on Gluckstadt Road on the westbound turn lane approach to the intersection of Calhoun Station Parkway and Dees Dr. This project, we believe, will increase capacity in the turn lane to assist traffic flow on westbound Gluckstadt Rd. These improvements include the removal of the concrete island, the removal of conflicting traffic stripe, the installation of curb and gutter, the installation of crushed stone and asphalt pavement, and the installation of new traffic striping. The contractor will be responsible for maintaining proper traffic control throughout construction and will not perform work during peak times when Germantown High School is in session. All material specifications will be submitted to the project engineer for approval prior to construction.

If you have any concerns or questions, please contact me.



**CITY OF GLUCKSTADT**

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

**MEMORANDUM**

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 1/28/2025

**SUBJECT:** Request for Approval, Meadows at Stout Farms Part 4

---

This memo is to request the Board’s approval of the final plat of The Meadows at Stout Farms, Part 4 provided by Benchmark Engineering and Surveying.

The proposed development will consist of 11 large lots on a +/- 62.21 acre parcel located on Stout Road. 56.80 acres of development lies in Madison County and 5.41 acres lies within Gluckstadt City limits. There was no infrastructure installed in the acres falling within the City of Gluckstadt.

If you have any concerns or questions, please contact me.





# CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

## MEMORANDUM

---

**TO:** Mayor & Board of Alderman

**FROM:** Chris Buckner, Public Works Director

**DATE:** 1/30/2025

**SUBJECT:** Request for Approval to Name Road to Titan Lane

---

This memo is to request approval for naming of a road to Titan Lane. This loop road is located off Church Road next to Highway 51. The owner of the road and property, Tom Hixton, is currently working to bring the pre-existing road up to city standards with the purpose of dedicating the road to the City of Gluckstadt. All of the utilities were previously installed, but the road has never been formally named.

A final plat will be submitted by Tom Hixton for acceptance before final approval. The only request for approval at this time is approval of the name Titan Lane for the road.

If you have any concerns or questions, please contact me.

Dear Chris Buckner,

I hope this letter finds you well. My name is Tom Hixon and I own land off Church Road under the name Phoenix Development Company LLC. I have sold many lots in the 21 acre development and I am looking to dedicate the road to the City of Gluckstadt along with some land with a pond. After speaking with you and your City, I am prepared to dedicate said road and make all necessary requirements to satisfy all concerns with the City of Gluckstadt. I am prepared to make sure all drainage is cleaned out, make sure the interior road is built to City of Gluckstadt specifications and also submit a plat of subject property. We would like for the road name to be Titan Lane.

Please let me know if you have any other requirements at this time and I look forward to hearing back from you.

Sincerely,

Thomas G. Hixon



General Update, Law Enforcement Matters.



# CITY OF GLUCKSTADT

MISSISSIPPI

OFFICE OF THE POLICE DEPARTMENT

343 Distribution Drive, Gluckstadt, Mississippi 39110

## MEMORANDUM

---

**To:** Mayor & Board of Alderman  
**From:** Barry Hale, Police Chief  
**Date:** February 11, 2025  
**Subject:** General Update, Police Department

---

The Police Chief will provide a brief update on the below police department matters.

Items:

- Stats (Tickets):
- Arrests
- Accidents Worked
- Warrants Served
- New Police Building
- Training K9

