



## PLANNING & ZONING COMMISSION MEETING

Tuesday, October 24, 2023 at 6:00 PM

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### Agenda

1. **Call to Order**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
  - A) Consideration And Approval Of September 26, 2023 Minutes
4. **New Site Plan Considerations**
  - A) Discussion and Consideration of AT&T Cell Tower Site Plan
  - B) Discussion and Consideration of Four Seasons Drapery and Hardware Site Plan
  - C) Discussion and Consideration of Amended Johnny Gooch Storage Site Plan
  - D) Discussion and Consideration of Amended Germantown Park Site Plan
5. **New Business**
6. **Next Meeting**
  - A) The Next Planning and Zoning Meeting Will Be Held on November 28, 2023
7. **Adjourn**



## PLANNING & ZONING COMMISSION MEETING

Tuesday, September 26, 2023 at 6:00 PM

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### Minutes

#### Call to Order

Commissioner Sam McGaugh called the meeting to order.

#### Prayer

Commissioner Sam McGaugh opened the meeting with prayer.

#### Pledge of Allegiance

Commissioner Sam McGaugh lead the Pledge of Allegiance.

The following Commissioners were present: Commissioner Melanie Greer, Commissioner

Andrew Duggar, Commissioner Phillips King, Commissioner Kayce Saik, Commissioner Tim Slattery, Commissioner Katrina Myricks attended via phone conference.

Commissioner Tim Slattery arrived at 6:21 PM.

#### Consideration and Approval of Minutes

Commissioner Melanie Greer made the motion to approve the August 22, 2023 minutes.

Commissioner Phillips King seconded the motion.

The motion carried and was approved by all Commissioners.

#### New Site Plan Considerations

Discussion and Consideration of Four Seasons Drapery and Hardware Site Plan

No representative for Four Seasons Drapery and Hardware was present.

It was tabled until the next scheduled Planning and Zoning Meeting.

Commissioner Andrew Duggar made the motion to table until the next scheduled Planning and Zoning meeting.

Commissioner Tim Slattery seconded the motion.

The motion carried and was approved by all Commissioners.

**New Business**

The Commissioners discussed changing the policy of the number of printed copies of plans for each individual Commissioners which is currently nine (9) copies. The Zoning Ordinance calls for nine (9) copies. The Planning and Zoning Board will discuss at the next scheduled meeting a recommendation to change the text of the Zoning Ordinance to require only three (3) hard copies of the site plans and electronically contingent on the same exact duplicates.

**Old Business**

Architectural Controls

The Commissioners discussed future developments regarding the Building Department and the Planning and Zoning Board articulate to the Architects what our office requires and what we want to see on site plans for the checklist.

**Next Meeting**

The Next Planning and Zoning Meeting Will Be Held on October 24, 2023

**Adjourn**

Commissioner Melanie Greer made the motion for the meeting to adjourn.

Commissioner Phillips Kind seconded the motion.

The motion carried and was approved by all Commissioners.

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Sam McGaugh, Chairman

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Melanie Greer, Vice Chairman/Secretary

**City of Gluckstadt**

**Application for Site Plan Review**

Subject Property Address: 130 American Way, Gluckstadt, MS

Parcel #: 082I-29-010/07.00

Owner: Paul Harmon

Address: 130 American Way  
Madison, MS 39110

Phone #: (205) 250-8353

E-Mail: n/a

Current Zoning District: G2 I-2

Acreage of Property (If applicable): \_\_\_\_\_

Use sought of Property: telecommunications facility & supporting equipment

Applicant: New Cellular Wireless PCS, LLC db/a AT&T  
c/o Baker Donelson

Address: 1901 6th Ave N, Ste 2600  
Birmingham, AZ 35203

Phone #: (205) 568-6317

E-Mail: mpalmer@bakerdonelson.com

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.

*Nancy S. Palmer*  
Applicant Signature

*9/18/2023*  
Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

Date Received: \_\_\_\_\_

Application Complete & Approved to Submit to P&Z Board (please check):

Yes \_\_\_\_\_ No \_\_\_\_\_

Signature: \_\_\_\_\_  
Planning & Zoning Administrator (or Authorized Representative)

***PARENT TRACT (BOOK 3919, PAGE 76)***

Being situated in the East 1/2 of Section 29, Township 8 North, Range 2 East, Madison County, Mississippi, and being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of the Northeast 1/4 of aforesaid Section 29 and run thence South 0 degrees 07 minutes East along the line between the East 1/2 and the West 1/2 of the East 1/2 of the aforesaid Section 29, 1298.20 feet and the Southeast corner of the Schmidt property and the Point of Beginning for the property herein described; continue thence South 0 degrees 07 minutes East along the line between the East 1/2 and the West 1/2 of the East 1/2 of said Section 29, 358.23 feet; run thence South 53 degrees 46 minutes 08 seconds West, 525.78 feet; run thence North 0 degrees 07 minutes West, 667.26 feet; run thence North 89 degrees 45 minutes 58 seconds East, along the South boundary of the aforesaid Schmidt property and the Westerly projection thereof, 424.77 feet to the Point of Beginning; containing 5.0 acres, more or less.

***40' x 40' LEASE AREA (AS SURVEYED):***

A tract of land being a portion of the Northeast 1/4 of Section 29, Township 8 North, Range 2 East, Madison County Mississippi, described as follows:

Commencing at a found 5/8 inch rebar having Mississippi West State Plane Coordinates N: 1095782.56 E: 2365257.80; thence N 47°42'16" W, 514.79 feet to a set 5/8 inch rebar and the Point of Beginning; thence S 01°04'12" E, 40.00 feet to a set 5/8 inch rebar; thence S 88°55'48" W, 40.00 feet to a set 5/8 inch rebar; thence N 01°04'12" W, 40.00 feet to a set 5/8 inch rebar; thence N 88°55'48" E, 40.00 feet to the Point of Beginning.

Containing 1600.0 SQ.FT or 0.04 acres, more or less.



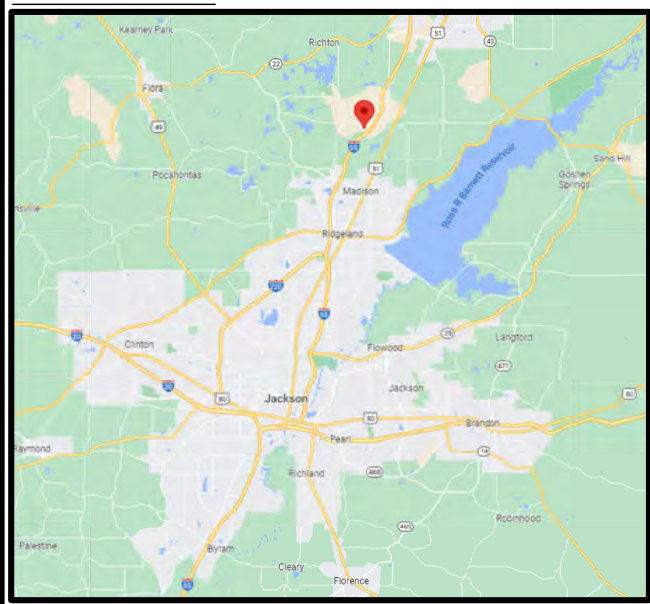
## ***30' INGRESS/EGRESS & UTILITY EASEMENT (AS SURVEYED)***

A tract of land being a portion of the Northeast 1/4 of Section 29, Township 8 North, Range 2 East, Madison County Mississippi, described as follows:

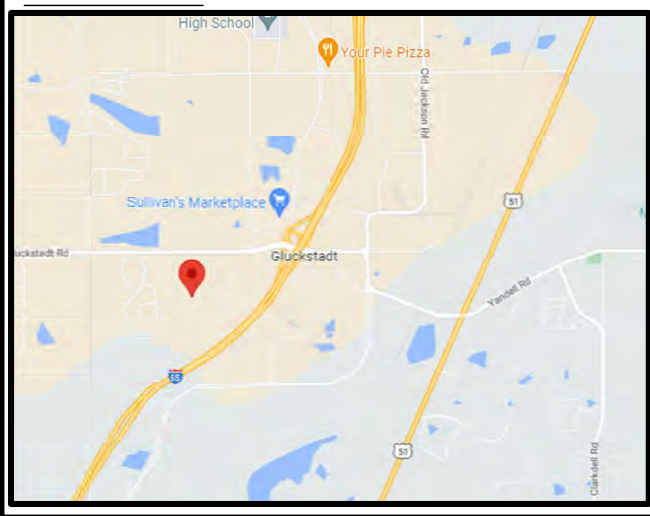
Commencing at a found 5/8 inch rebar having Mississippi West State Plane Coordinates N: 1095782.56 E: 2365257.80; thence N 47°42'16" W, 514.79 feet to a set 5/8 inch rebar; thence S 01°04'12" E, 40.00 feet to a set 5/8 inch rebar; thence S 88°55'48" W, 20.00 feet the Point of Beginning of an Ingress/Egress & Utility easement being 30 feet in width and lying 15 feet on each side of the following described centerline; thence S 01°51'54" W, 270.10 feet to a point; thence S 34°16'42" E, 270.92 feet, more or less to the north right-of-way of American Way and the Point of Ending.

Containing 16230.4 SQ.FT. or 0.37 acres, more or less.

LOCATION MAP



VICINITY MAP



DRIVING DIRECTIONS

DIRECTIONS FROM JACKSON, MS:  
GET ON I-55 N FROM E PASCAGOULA ST. FOLLOW I-55 N TO MADISON COUNTY. TAKE EXIT 112 FROM I-55 N CONTINUE ON GLUCKSTADT RD. USE ANY LANE TO TURN LEFT ONTO GLUCKSTADT RD. TURN LEFT ONTO LEXINGTON DR

DEPARTMENT	NAME/SIGNATURE	DATE
LAND/TOWER OWNER		
SITE ACQU. AGENT		
ZONING/PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF MANAGER		

SITE NAME:  
**SOUTH GLUCKSTADT**

E911 NOT AVAILABLE. TO BE PROVIDED WITH BUILDING PERMIT APPROVAL.

PTN #:

ORACLE PTN # 1:	2701A17HMF
ORACLE PTN # 2:	2701A17HMJ
ORACLE PTN # 3:	2701A0QCSS
ORACLE PTN # 4:	2701A0QCCLY
ORACLE PTN # 5:	2701A0QCNR
ORACLE PTN # 6:	2701A0KWCD
ORACLE PTN # 7:	2701A0QCCTT
ORACLE PTN # 8:	2701A0QCCTW

AT&T SITE NUMBER:  
**14772332**

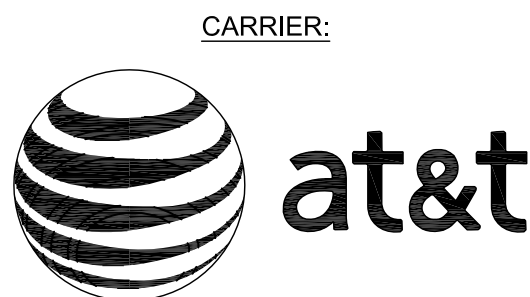
PACE:

PACE JOB # 1:	MRBHM037444
PACE JOB # 2:	MRBHM037433
PACE JOB # 3:	MRALM039939
PACE JOB # 4:	MRALM039945
PACE JOB # 5:	MRALM039941
PACE JOB # 6:	MRALM034004
PACE JOB # 7:	MRALM039959
PACE JOB # 8:	MRALM039934

PROJECT DESCRIPTION:  
**PROPOSED 175' MONOPOLE TOWER**  
RFDS VERSION  
**v 1.00 (DATED 11/16/2022)**

USID SITE NUMBER: **320865**      RFDS ID: **5510674**      RFDS NAME: **MSL01372**

**WALK-UP-CABINET (WUC) ON CONCRETE PAD CONSTRUCTION DRAWINGS**



AS OF 08/15/2023, NO TOWER DRAWINGS OR SA ARE CURRENTLY AVAILABLE TO INCORPORATE INTO CD'S. ONCE RECEIVED, CD'S WILL BE UPDATED TO REFLECT TOWER DESIGN.

NOTE: PLEASE NOTE THAT ALL AREAS OF DISTURBANCE (ACCESS AND COMPOUND) ARE TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FINDINGS. COMPACTION REPORTS ARE TO BE TAKEN AT 50' INTERVALS ALONG THE ACCESS DRIVE (MINIMUM OF TWO), AT EACH CORNER OF COMPOUND & CENTER OF COMPOUND AND AT EVERY TWO (2) FOOT OF FILL ELEVATION. ANY UNSUITABLE MATERIAL ENCOUNTERED ON SITE SHOULD BE REMOVED AND REPLACED (IN ACCORDANCE WITH GEOTECHNICAL REPORT). CONTRACTOR TO SUBMIT COMPACTION REPORTS PRIOR TO ANY ADDITIONAL CONSTRUCTION.

PROJECT INFORMATION

SITE ADDRESS: E911 NOT AVAILABLE  
MADISON, MS 39110

LATITUDE (NAD 83): N 32° 30' 48.075" (32.513354°)  
LONGITUDE (NAD 83): W 90° 06' 42.669" (-90.111852°)

PARCEL ID: 0821-29-010/07.00  
PARCEL SIZE: 1,600 SQ FT (0.04± ACRES)  
ZONING: I-2  
JURISDICTION: CITY OF GLUCKSTADT

PROPERTY OWNER: HARMON QUALITY BUILDERS LLC

APPLICANT: FORESITE  
3975 ASBURY ROAD  
VESTAVIA HILLS, AL 35243  
MATT SWANN

ENGINEER: JOHN TAYLOR, PE  
158 BUSINESS CENTER DRIVE  
BIRMINGHAM, AL 35244

POWER: ENTERGY  
TELCO: AT&T

DRAWING INDEX

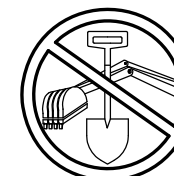
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E-4	GROUNDING DETAILS
E-5	UTILITY H-FRAME DETAILS
LS-1	LANDSCAPING PLAN
LS-2	LANDSCAPING DETAILS
-	ATTACHMENTS
-	RFDS

DESIGNER	ZDS	AM	AM
01/26/23	ISSUED FOR CLIENT REVIEW	07/24/23	ISSUED FOR ZONING
08/15/23	REVISED PER CONCRETE PAD		

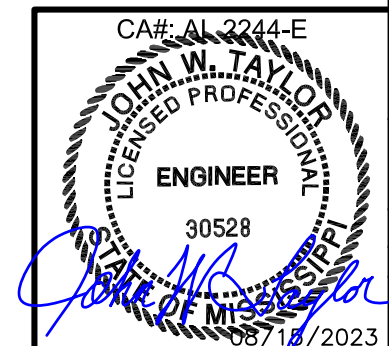
SOUTH GLUCKSTADT  
TITLE SHEET & PROJECT INFORMATION

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

T-1 2



ALABAMA ONE-CALL  
STATE WIDE CALL: 811  
CALL BEFORE YOU DIG





**GENERAL NOTES:**

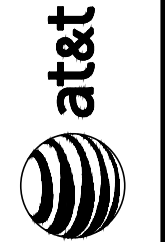
1. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTIONS PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL ORDERS,
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH TOWER OWNER GROUNDING STANDARDS, LATEST EDITION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
17. FOR ITEM THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, SEE "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWINGS PACKAGE.
18. OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES IN SECTIONS, ETC.
19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETIONS OF THE PROJECT.
20. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE

**EXCAVATION & GRADING NOTES**

1. ALL CUT & FILL SLOPES SHALL BE 3:1 MAXIMUM (UNLESS NOTED ON GRADING SHEET)
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH.
6. BACK FILL SHALL BE:
  - APPROVED MATERIALS CONSISTING OF EARTH, LOAMY, SANDY, CLAY SAND, GRAVEL OR SOFT SHELL;
  - FREE FROM CLODS OR STONES OVER 2½" MAXIMUM DIMENSIONS;
  - IN LAYERS AND COMPACTED
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT +/-2% AS DETERMINED BY ATM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION:
  - REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAT 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC.
17. SHOULD ARTIFACTS OR ARCHAEOLOGICAL FEATURES BE ENCOUNTERED DURING PROJECT ACTIVITIES, WORK SHALL CEASE AND OUR OFFICE SHALL BE CONSULTED IMMEDIATELY. ARTIFACTS ARE OBJECTS EBI CONSULTING MADE, USED OR MODIFIED BY HUMANS. THEY INCLUDE BUT ARE NOT EXCLUDED TO ARROWHEADS, BROKEN PIECES OF POTTERY OR GLASS, STONE IMPLEMENTS, METAL FASTENERS OR TOOLS, ETC. ARCHAEOLOGICAL FEATURES ARE STAINS ON THE SOIL THAT INDICATE DISTURBANCE BY HUMAN ACTIVITY. SOME EXAMPLES ARE POST HOLES, BUILDING FOUNDATIONS, TRASH PITS AND EVEN HUMAN BURIALS.

- X — FENCE
- □ — CONTOUR LINE
- - - - - PROPERTY LINE/ROW
- - - - - LEASE AREA
- - - - - EASEMENT
- DISCONNECT SWITCH
- Ⓜ METER
- Ⓢ CIRCUIT BREAKER
- Ⓧ Coded Note Number
- Ⓢ Chemical Ground Rod
- Ⓧ Ground Rod
- Ⓧ Ground Rod w/ Inspection Sleeve
- CADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- G — GROUND WIRE

Section 4, Item A)



DESIGNER	DESCRIPTION	DATE
ZDS	ISSUED FOR CLIENT REVIEW	01/26/23
AMD	ISSUED FOR ZONING	07/24/23
AMD	REVISED PER CONCRETE PAD	08/15/23

**SOUTH GLUCKSTADT**  
**GENERAL NOTES**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-1 2





DESIGNER:  
ZDS

ISSUED FOR CLIENT REVIEW  
AMD

ISSUED FOR ZONING  
AMD

REVISED PER CONCRETE PAD  
AMD

DATE  
01/26/23  
07/24/23  
08/15/23

SOUTH GLUCKSTADT  
OVERALL SITE PLAN

DESIGNER: ZDS  
CHECKED BY: JWT  
ENGINEER: JWT

SMW #: 22-1425

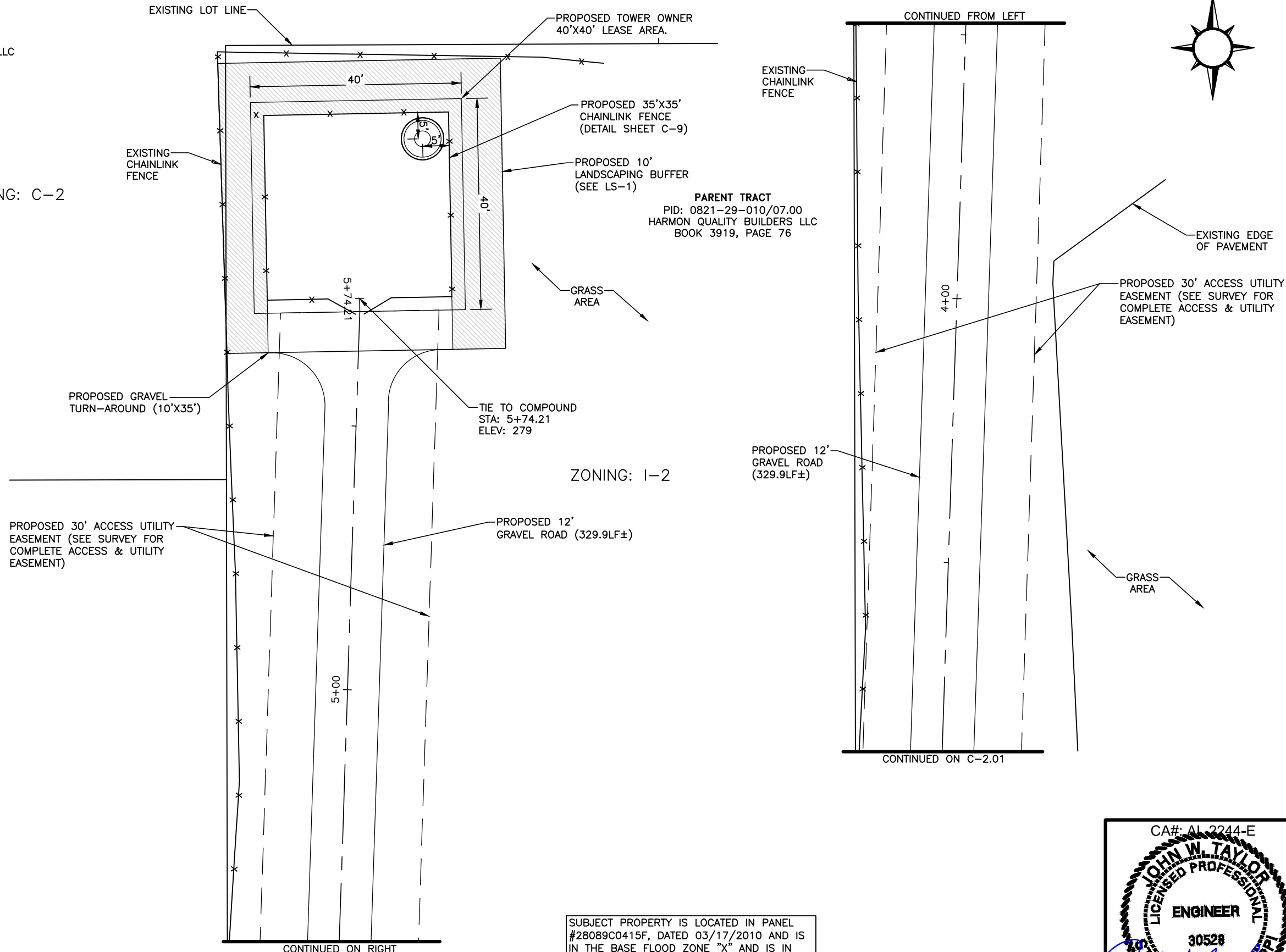
SHEET NO.: C-2  
REV.: 2

SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)

PID: 0821-29-010/13.00  
PHARMACY GROOUP OF MISSISSIPPI LLC  
BOOK 3114, PAGE 511

ZONING: C-2

PID: 0821-29-010/08.01  
HAS INVESTMENTS LLC  
BOOK 3555, PAGE 838



SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.

1 OVERALL SITE PLAN  
C-2 SCALE: 1"=20'





DESIGNER:  
ZDS

ISSUED FOR CLIENT REVIEW  
AMD

ISSUED FOR ZONING  
AMD

REVISED PER CONCRETE PAD  
AMD

DATE  
01/26/23  
07/24/23  
08/15/23

SOUTH GLUCKSTADT  
OVERALL SITE PLAN

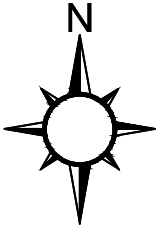
DESIGNER: ZDS  
CHECKED BY: JWT  
ENGINEER: JWT

SMW #: 22-1425

SHEET NO.:  
REV.

C-2.01 2

SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)



ZONING: C-2

ZONING: I-2

PARENT TRACT  
PID: 0821-29-010/07.00  
HARMON QUALITY BUILDERS LLC  
BOOK 3919, PAGE 76

EXISTING LOT LINE CONTINUED FROM C-2

PROPOSED 12' GRAVEL ROAD (329.9LF±)

CONCRETE AREA

EXISTING BUILDING

PROPOSED 30' ACCESS UTILITY EASEMENT (SEE SURVEY FOR COMPLETE ACCESS & UTILITY EASEMENT)

PID: 0821-29-010/08.01  
HAS INVESTMENTS, LLC  
BOOK 3555, PAGE 838

EXISTING EDGE OF PAVEMENT

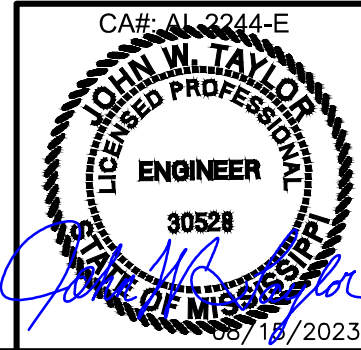
EXISTING BUILDING

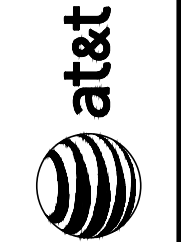
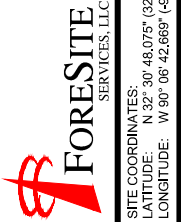
EXISTING CHAINLINK FENCE

EXISTING SLIDING GATE

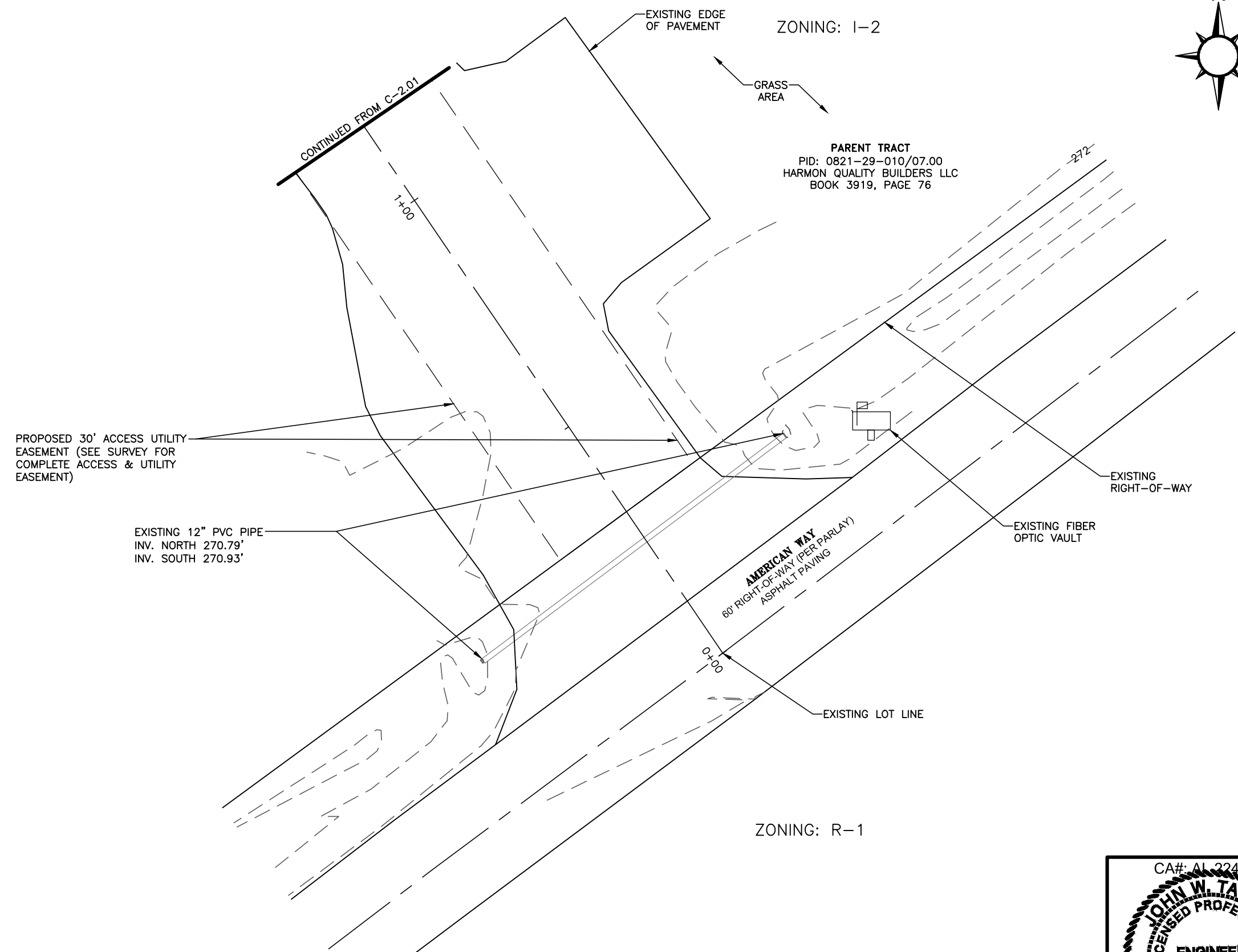
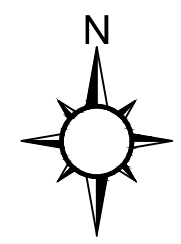
SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.

1 OVERALL SITE PLAN  
C-201 SCALE: 1"=20'





SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)



DATE	DESCRIPTION:	DESIGNER:
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

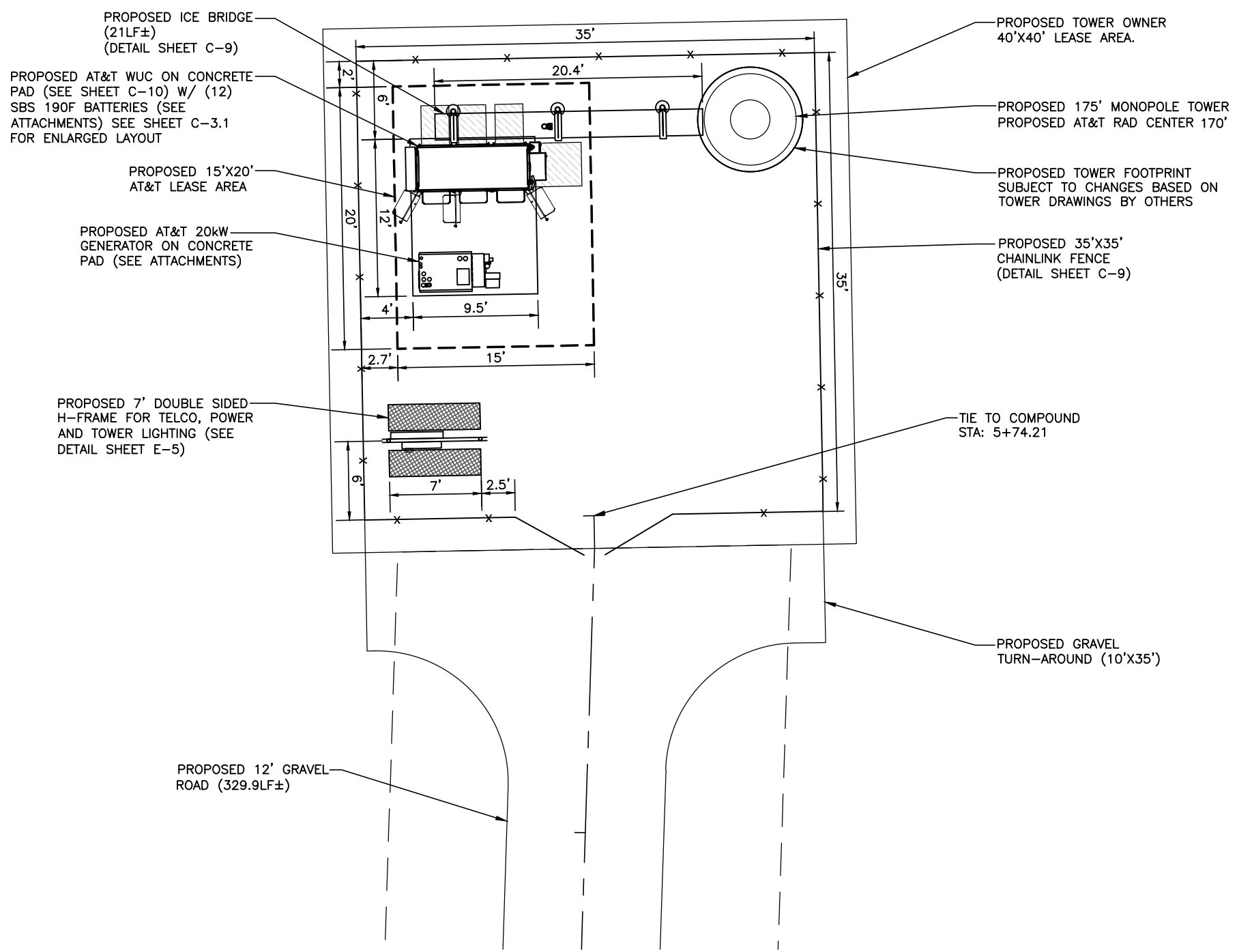
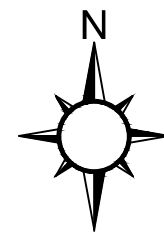
SOUTH GLUCKSTADT  
 OVERALL SITE PLAN

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-2.02	2

SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.

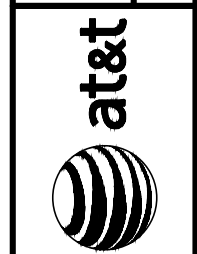
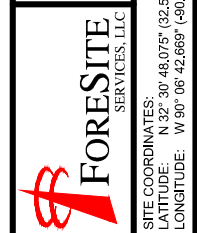
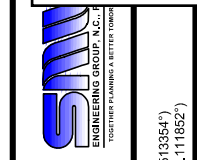


1 OVERALL SITE PLAN  
 C-202 SCALE: 1"=20'



SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.

1 DETAILED SITE PLAN  
C-3 SCALE: 1"=10'



DATE	DESCRIPTION:	DESIGNER:
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

SOUTH GLUCKSTADT  
DETAILED SITE PLAN

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.



C-3 2



DESIGNER: ZDS  
 DATE: 01/26/23

ISSUED FOR CLIENT REVIEW: ZDS  
 DATE: 07/24/23

ISSUED FOR ZONING: AMD  
 DATE: 08/15/23

REVISED PER CONCRETE PAD: AMD  
 DATE: 08/15/23

DATE: 01/26/23  
 07/24/23  
 08/15/23

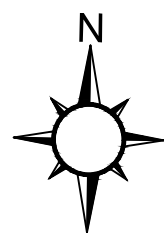
SOUTH GLUCKSTADT  
 ENLARGED  
 SHELTER PLAN

DESIGNER: ZDS  
 CHECKED BY: JWT  
 ENGINEER: JWT

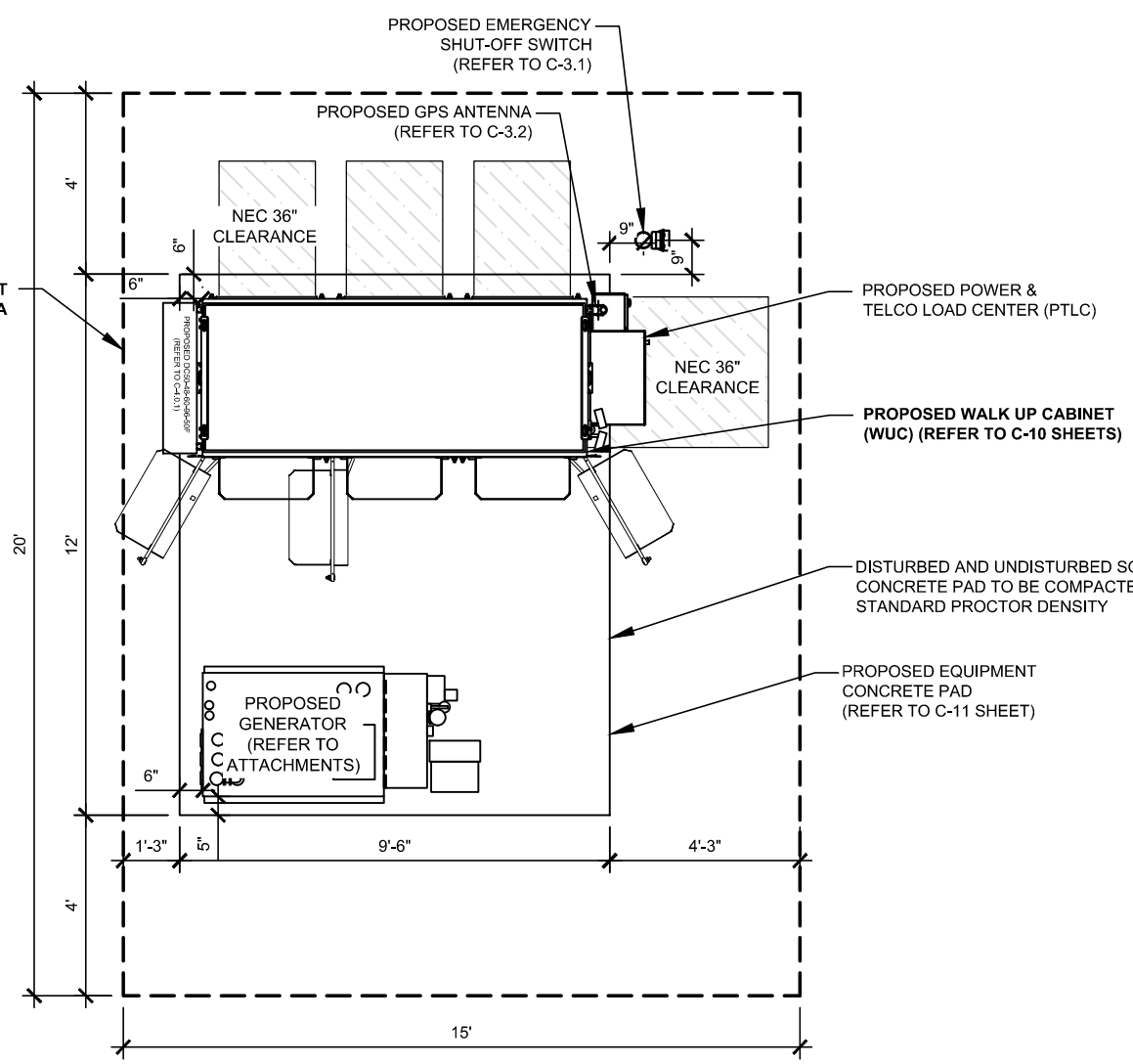
SMW #: 22-1425

SHEET NO.: C-3.1  
 REV.: 2

SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)



PROPOSED AT&T  
 15'x20' LEASE AREA



**1** WALK-UP CABINET (WUC) LAYOUT  
 C-3.1 SCALE: NOT TO SCALE

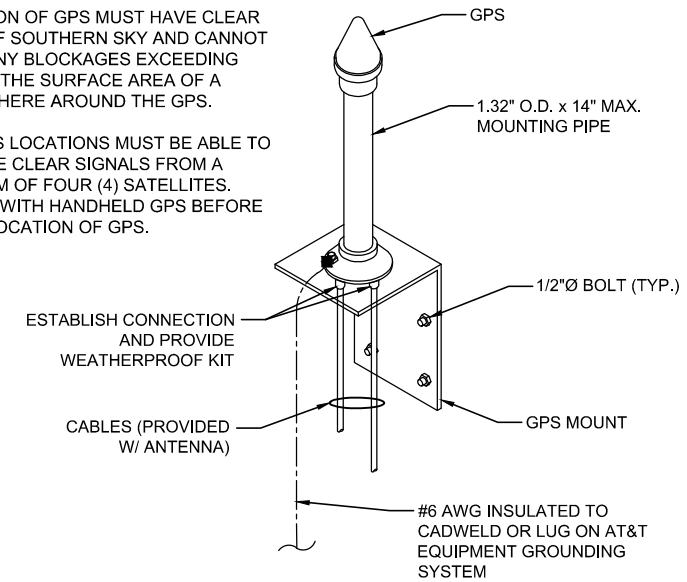
BATTERY SPECIFICATIONS:  
 ENERSYS POWERSAFE SBS-190F BATTERY 12V 190AH FRONT TERM

QUANTITY: 12  
 SKU / OSI ITEM NUMBER: SBS-190F  
 CHEMISTRY: SEALED LEAD ACID  
 NOMINAL VOLTAGE: 12V  
 NOMINAL CAPACITY: 190.0AH  
 TERMINALS: M6  
 DIMENSIONS (L X W X H): 22.10 X 4.90 X 12.40  
 WEIGHT (POUNDS): 132.3

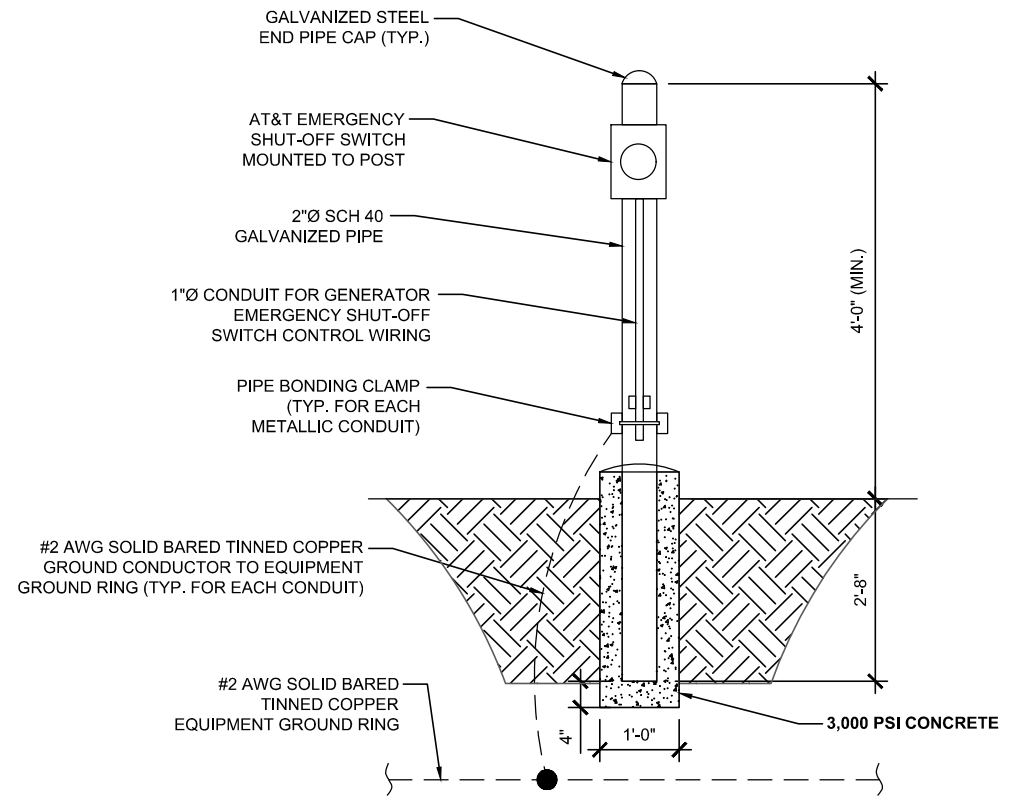
ICE BRIDGE NOTE:  
 • PRIOR TO CONSTRUCTION FIELD COORDINATE HEIGHT AND ROUTE OF ICE BRIDGE WITH TOWER OWNER  
 • ALL SUPPORT POSTS MUST BE GROUNDED

NOTES:

- LOCATION OF GPS MUST HAVE CLEAR VIEW OF SOUTHERN SKY AND CANNOT HAVE ANY BLOCKAGES EXCEEDING 25% OF THE SURFACE AREA OF A HEMISPHERE AROUND THE GPS.
- ALL GPS LOCATIONS MUST BE ABLE TO RECEIVE CLEAR SIGNALS FROM A MINIMUM OF FOUR (4) SATELLITES. VERIFY WITH HANDHELD GPS BEFORE FINAL LOCATION OF GPS.



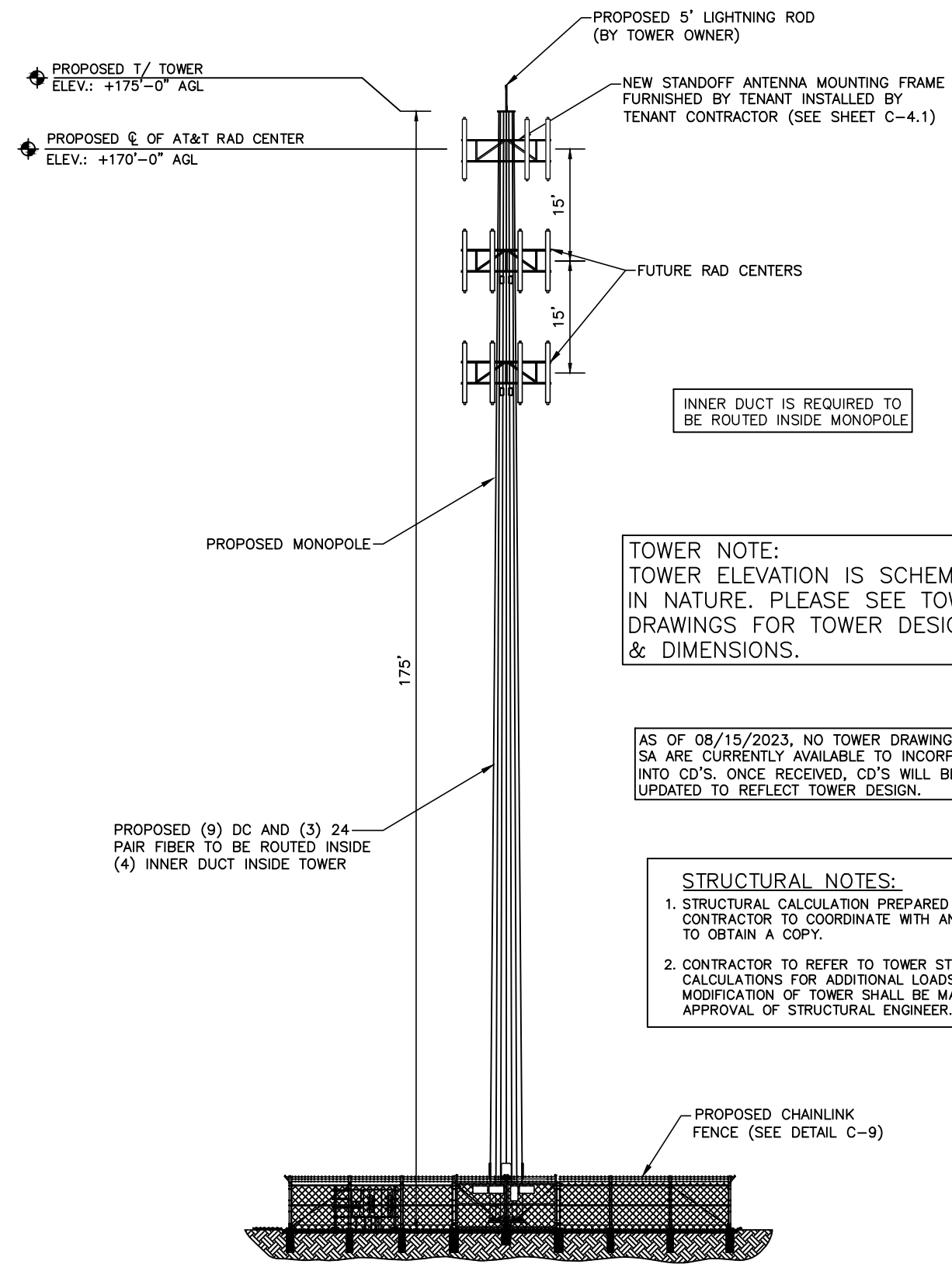
**3** GPS ANTENNA MOUNTING DETAIL  
 SCALE: NOT TO SCALE



**2** EMERGENCY SHUT-OFF SWITCH DETAIL  
 SCALE: NOT TO SCALE



SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)



NOTE: SEE SHEET C-4.01 FOR ANTENNA LAYOUT AND NOTES.

INNER DUCT IS REQUIRED TO BE ROUTED INSIDE MONOPOLE

TOWER NOTE:  
 TOWER ELEVATION IS SCHEMATIC IN NATURE. PLEASE SEE TOWER DRAWINGS FOR TOWER DESIGN & DIMENSIONS.

AS OF 08/15/2023, NO TOWER DRAWINGS OR SA ARE CURRENTLY AVAILABLE TO INCORPORATE INTO CD'S. ONCE RECEIVED, CD'S WILL BE UPDATED TO REFLECT TOWER DESIGN.

**STRUCTURAL NOTES:**  
 1. STRUCTURAL CALCULATION PREPARED BY OTHERS. CONTRACTOR TO COORDINATE WITH ANB REPRESENTATIVE TO OBTAIN A COPY.  
 2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

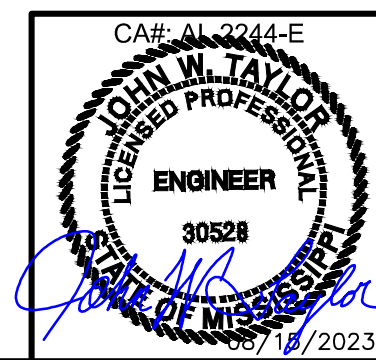
DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**TOWER ELEVATION**  
**AND LIGHTING DETAIL**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-4 2

1 TOWER ELEVATION  
 C-4 SCALE: 1" = 20'





DESIGNER	ZDS	AMD	AMD
DATE	01/26/23	07/24/23	08/15/23
DESCRIPTION:	ISSUED FOR CLIENT REVIEW	ISSUED FOR ZONING	REVISED PER CONCRETE PAD

**SOUTH GLUCKSTADT  
ANTENNA LAYOUT  
AND NOTES**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-4.01 2

SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)

**ANTENNA NOTES:**

1. THIS ANTENNA ORIENTATION PLAN IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE REQUIRED ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.
2. PROPOSED JUMPERS NOT SHOWN FOR CLARITY.
3. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF FOOTING ELEVATION.
4. ALL ANTENNAS, CABLES AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWER ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE STRUCTURAL ANALYSIS REPORT.
5. ALL ANTENNA BRACKETS PER ANTENNA MANUFACTURER, OR EQUAL CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWNTILT WITH AT&T.
6. ALL ANTENNA INFORMATION TO BE CONFIRMED WITH AT&T RF DESIGN PRIOR TO INSTALLATION.
7. ALL PROPOSED ANTENNA ELECTRICAL/MECHANICAL DOWNTILTS AS PER RF DATA SHEETS.
8. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC SHALL BE INSTALLED PER TOWER MANUFACTURER'S STANDARD DETAILS.

**ANTENNA SEPARATION REQUIREMENTS:**  
INSTALLERS TO MAINTAIN:

- 1) A 3' SEPARATION BETWEEN ALL ANTENNAS\* ON THE SAME MOUNT (\* SEE NOTE 3)
- 2) A 4' SEPARATION IS TO BE MAINTAIN BETWEEN ANTENNAS ON DIFFERENT SECTOR MOUNTS IF ANTENNAS ARE 700 B/C (B12/B17) AND 700 D/E (B29); THEN A 6' SEPARATION WILL BE REQUIRED FOR THESE ANTENNAS.

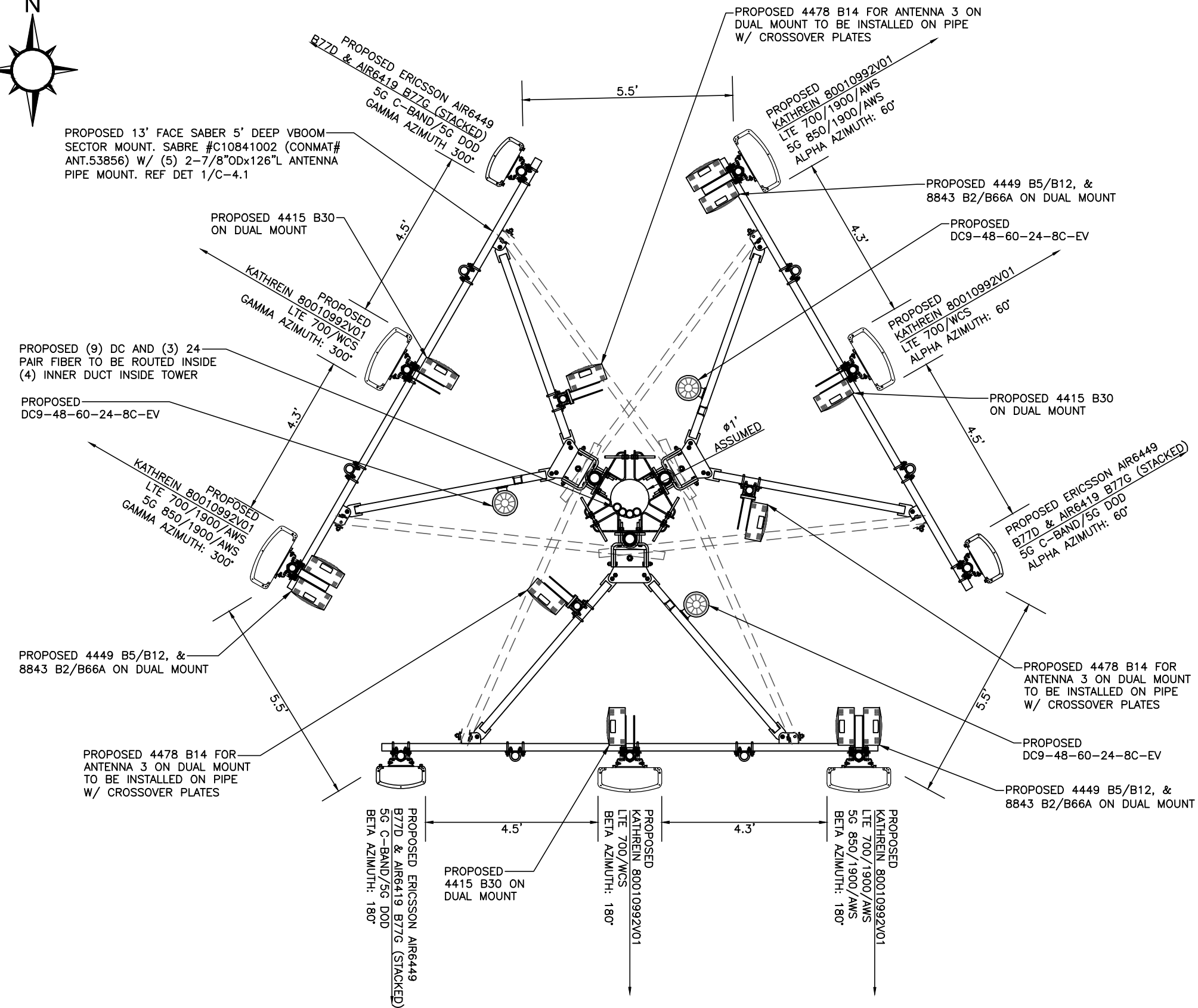
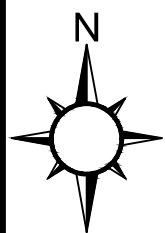
**ANTENNA LAYOUT DESIGN NOTES:**

- 1.) THE INITIAL ANTENNA LAYOUT PAGE WAS DESIGNED BEFORE TOWER DRAWINGS WERE RECEIVED BY SMW ENGINEERING. THE WIDTH NOTED ON PLANS ARE ASSUMED.
- 2.) ALL ANTENNA LAYOUTS ARE SCHEMATIC IN NATURE.
- 3.) SEE SHEET C-3 FOR SITE SPECIFIC TOWER TYPE:
  - A. SST DRAWN WITH ASSUMED 5' FACE
  - B. GUY TOWER DRAWN WITH ASSUMED 3' FACE
  - C. MONOPOLE DRAWN ASSUMED 18" DIAMETER
- 4.) FUTURE ANTENNAS SHOWN TO VALIDATE REQUIRED SEPARATION BETWEEN ANTENNAS
- 5.) ONCE TOWER DRAWINGS ARE RECEIVED "ASSUMED" WILL BE REMOVED FROM ANTENNA LAYOUT. DO NOT USE CD'S FOR INSTALLATION IF TOWER DRAWINGS HAVE NOT BEEN RECEIVED BY SMW ENGINEERING AND INCORPORATED INTO DRAWINGS.
- 6.) SEE TOWER NOTE ON THIS PAGE AND FRONT COVER TO VERIFY IF TOWER DRAWINGS ARE INCORPORATED INTO PLANS.

ALL 2-7/8" OD ANTENNA PIPES ARE TO BE 126" LONG (10'-6" LONG). (COMMSCOPE MT-546-126 (ANT.16873) OR AT&T APPROVED EQUAL PER LATEST CONMAT LIST) (5) PIPES PER SECTOR MOUNT

**5 ANTENNA MOUNT NOTE:**

- 1) THIS SCHEMATIC IS SHOWN WITH 5 ANTENNA MOUNTS, PER AT&T'S LATEST RFDS.
- 2) ALL 700 MHZ ANTENNA AND RADIOS SHALL MAINTAIN A 3' OR 6' SEPARATION, AT ALL TIMES, AS DIRECTED BY AT&T.
- 3) FINAL CONFIGURATION SHALL BE MADE BY CONTRACTORS IN FIELD, PER AT&T GUIDELINES.



**TIEBACK NOTE:**  
DUE TO TIEBACK LENGTH (6) SA-B12 (CONMAT# ANT.16613) (2-3/8"x150" PIPE) STIFF ARMS WILL BE REQUIRED. SEE CUT SHEET IN ATTACHMENTS

**1 ANTENNA LAYOUT**  
SCALE: 1"=3'

AS OF 08/15/2023, NO TOWER DRAWINGS OR SA ARE CURRENTLY AVAILABLE TO INCORPORATE INTO CD'S. ONCE RECEIVED, CD'S WILL BE UPDATED TO REFLECT TOWER DESIGN.







SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)

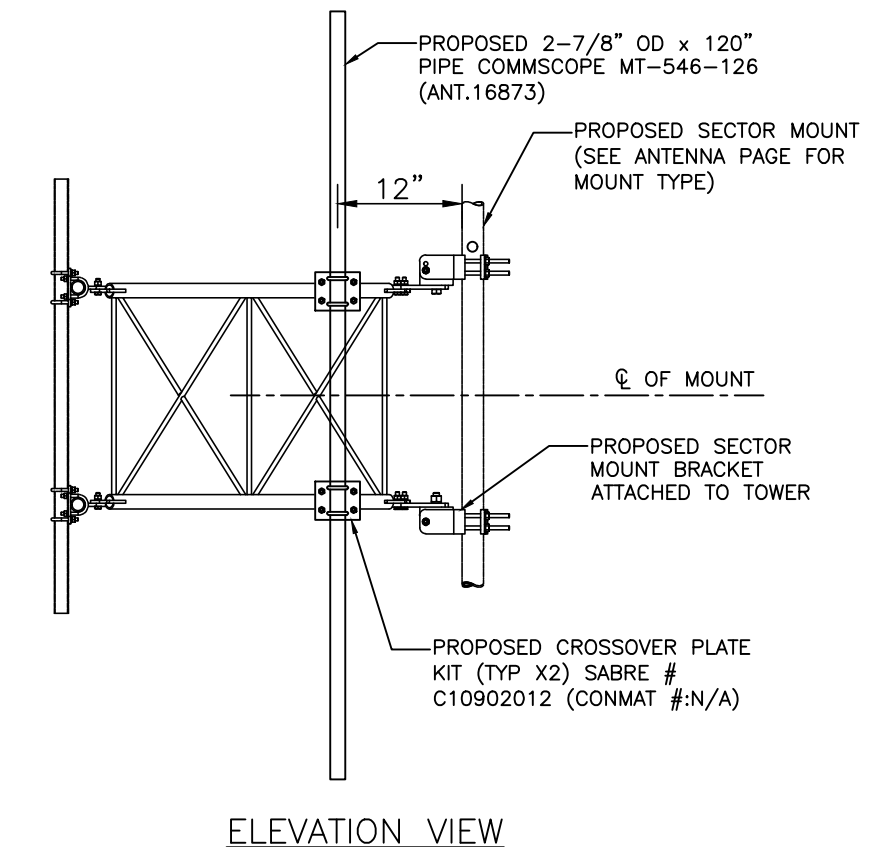
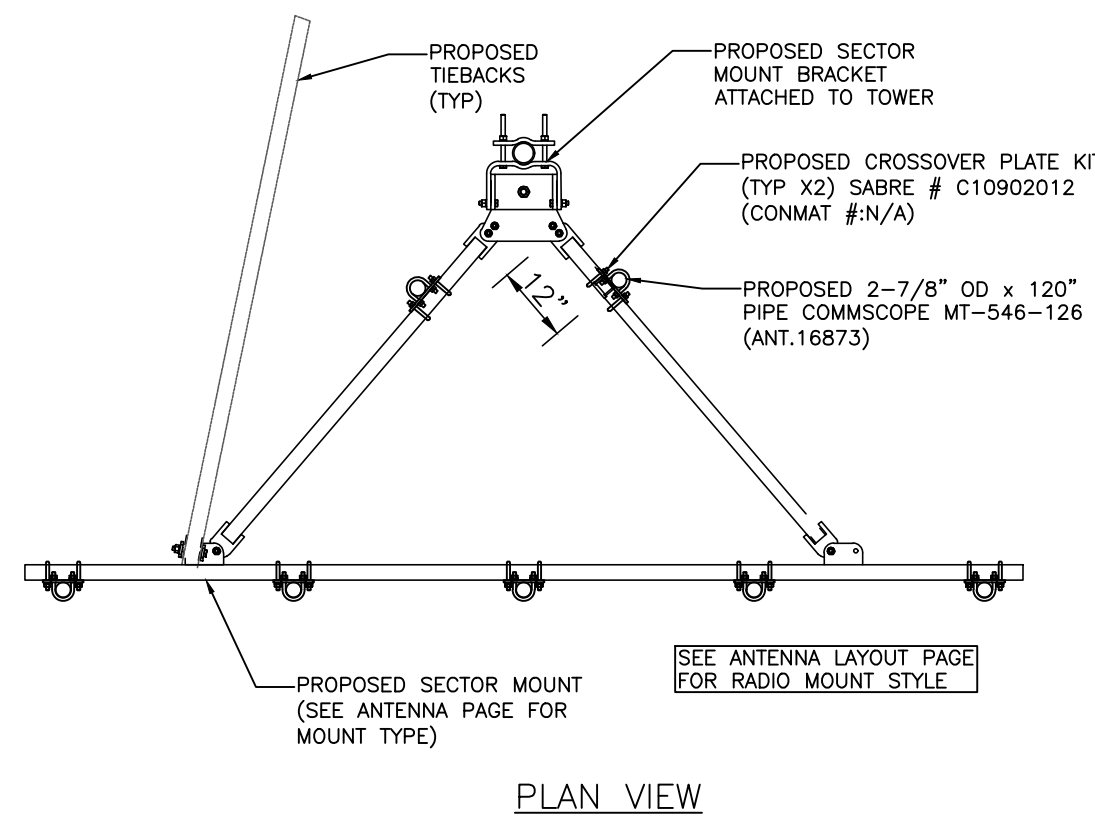
ITEM	QTY	PART NO.	DESCRIPTION	WEIGHT
1	1	C1090212	CROSSOVER PLATE	4
2	2	C40034139	U-BOLT ASSEMBLY, 1/2" X 2 15/16" C-C	2
3	2	C40034140	U-BOLT ASSEMBLY, 1/2" X 3 7/16" C-C	2
TOTAL WEIGHT				8

UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS UNLESS STATED ARE IN INCHES. TOLERANCES FRACTIONS < 1/16" DECIMALS < 1/32" DIMENSIONS > 1/2" DECIMALS < .010"	INTENT: TOLERANCES DO NOT APPLY TO THE MOUNTING.
--	--

CROSSOVER PLATE KIT 2 3/8" TO 2 7/8" PIPES (1/2" U-BOLTS)		DATE: 08/29/23	SCALE: 1" = 1'-0"
DESIGNED BY: XLE	CHECKED BY: XLE	DATE: 08/29/23	SCALE: 1" = 1'-0"



**1** CROSSOVER DETAIL FOR RADIOS  
 C-402 SCALE: NOT TO SCALE

MOUNT SHOWN IS TO HELP LOCATE WHERE THE CROSSOVER PLATES AND PIPE ARE TO BE INSTALLED ON THE MOUNT. FOR MOUNT TYPE AND TIEBACK NUMBERS AND TIEBACK LOCATION, SEE CALLOUTS ON THE ANTENNA LAYOUT PAGE.

DETAILS BY OTHERS NOTE:  
 DETAILS SHOWN ON THIS PAGE WERE PROVIDED BY OTHERS AND ARE NOT CARRIED UNDER THE SIGNATURE AND SEAL OF SMW AND/OR ITS ENGINEERS.

CA#: AL 2244-E

DATE: 08/15/2023

DATE	DESCRIPTION	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

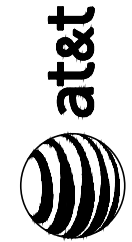
SOUTH GLUCKSTADT  
 CROSSOVER PIPE DETAIL

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-4.02 2



**FORESITE SERVICES, LLC**  
 FORESITE SERVICES, LLC  
 SITE COORDINATES: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)



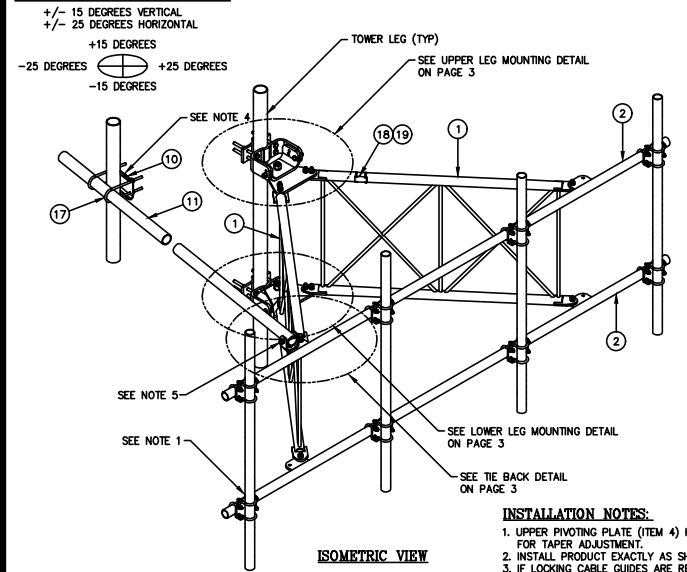
DESIGNER	ZDS
ISSUED FOR CLIENT REVIEW	01/26/23
ISSUED FOR ZONING	07/24/23
REVISED PER CONCRETE PAD	08/15/23

**SOUTH GLUCKSTADT**  
**SECTOR MOUNT DETAIL**  
**MONOPOLE TOWERS**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-4.1 2

**TIEBACK ANGLE RANGE DETAIL**



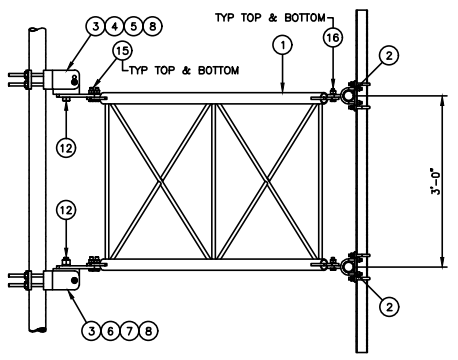
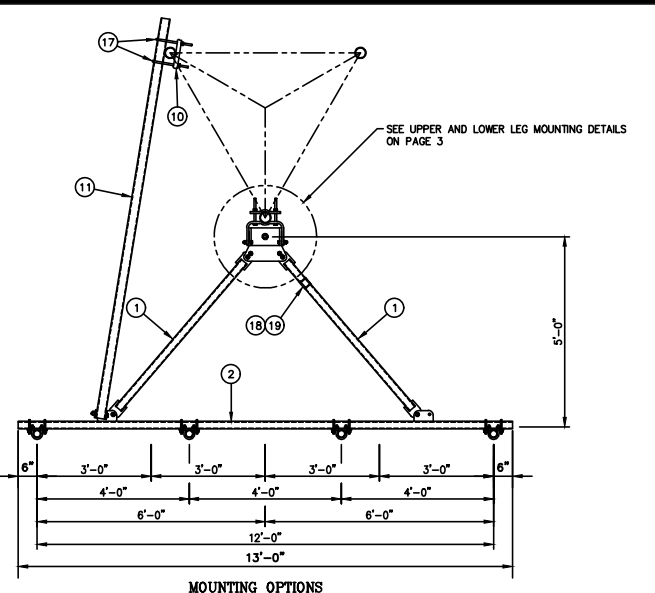
ITEM	QTY	PART NO.	DESCRIPTION	WEIGHT
1.	2	CW01556	WELDMENT, STANDOFF ARM	192
2.	2	CW01223	WELDMENT, FACE PIPE	147
3.	2	CS03518	PLATE, ROTATING	35
4.	1	CS03110	PLATE, PIVOTING (UPPER)	16
5.	1	CS03111	PLATE, LEG CLAMP (UPPER)	17
6.	1	CS03112	PLATE, PIVOTING (LOWER)	14
7.	1	CS03113	PLATE, LEG CLAMP (LOWER)	17
8.	2	CS03114	PLATE, LEG CLAMP (BACK)	14
9.	1	CS00096	PLATE, TIEBACK SWIVEL	3
10.	1	CS03518	PLATE, TIEBACK CLAMP	5
11.	1	CS00249	PIPE, TIEBACK 2 7/8" O.D. X 0.203 X 15'-6"	83
12.	2	C40026073	BOLT ASSEMBLY, 1 # X 3 A325	4
13.	8	C40140004	BOLT ASSEMBLY, 5/8 # X 8 A307	13
14.	1	C40026035	BOLT ASSEMBLY, 5/8 # X 5 A325	1
15.	12	C40026025	BOLT ASSEMBLY, 5/8 # X 2 1/2 A325	6
16.	5	C40026024	BOLT ASSEMBLY, 5/8 # X 2 1/4 A325	3
17.	2	C40034201	U-BOLT ASSEMBLY, 1/2 # X 3 7/16 C-C	3
18.	1	Z30992044	MOUNT CLASSIFICATION TAG C10841001C/C10841002C	1
19.	2	C40062103	STAINLESS STEEL SELF-LOCKING CABLE TIE	1
<b>TOTAL WEIGHT</b>				<b>585</b>

**PACKAGING NOTE**  
 CK00426--INCLUDES ITEM 1  
 CK00427--STL INCLUDES ITEMS 2 & 11  
 CK00427--HDW INCLUDES ITEMS 3, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18 & 19.

**INSTALLATION NOTES:**  
 1. UPPER PIVOTING PLATE (ITEM 4) HAS THREE HOLES ON EACH SIDE AND UPPER LEG CLAMP PLATE (ITEM 5) HAS TWO HOLES ON EACH SIDE FOR TAPER ADJUSTMENT.  
 2. INSTALL PRODUCT EXACTLY AS SHOWN IN DRAWING, WITH ALL BOLTS FACING UPWARDS.  
 3. IF LOCKING CABLE GUIDES ARE REQUIRED THEY MUST BE PURCHASED SEPARATELY (SEE PAGE 4).

**NOTES:**  
 1. MOUNTING PIPES & CROSSOVER PLATE KITS MUST BE PURCHASED SEPARATELY.  
 2. QUANTITIES SHOWN IN LISTS OF MATERIAL ARE FOR ONE (1) V-BOOM ONLY.  
 3. THIS V-BOOM WILL MOUNT TO THE FOLLOWING: 1 1/2" TO 5 9/16" ROUND LEG.  
 4. TIEBACK MUST BE CONNECTED TO A RIGID MEMBER THAT PROVIDES ADEQUATE SUPPORT WITHIN THE LIMITS NOTED ABOVE IN THE TIEBACK ANGLE RANGE DETAIL, UNLESS APPROVED BY THE ENGINEER OF RECORD.  
 5. THE TIEBACK IS SHOWN IN THIS POSITION AS A DEFAULT. THIS TIEBACK CAN BE CONNECTED AT ANY (1) OF THE (4) POSITIONS ON THE TABS ON THE FACE PIPE.

UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS INCLUDE FINISHES AND ARE IN INCHES. TOLERANCES: FRACTIONS ± 1/16" ANGLES ± 1/2 DEG. DECIMALS ± .010"	<b>Sabre Industries</b> INNOVATION DELIVERED	<b>12' V-BOOM ASSEMBLY W/TIEBACK (5' STANDOFF) W/NO ANTENNA MOUNTING PIPES</b>	DATE: 06/07/21 DRAWN BY: WRF CHECKED BY: EK	SIZE: B DRAWING NO.: C10841002C SCALE: None PAGE: 1 OF 4	REV: 0
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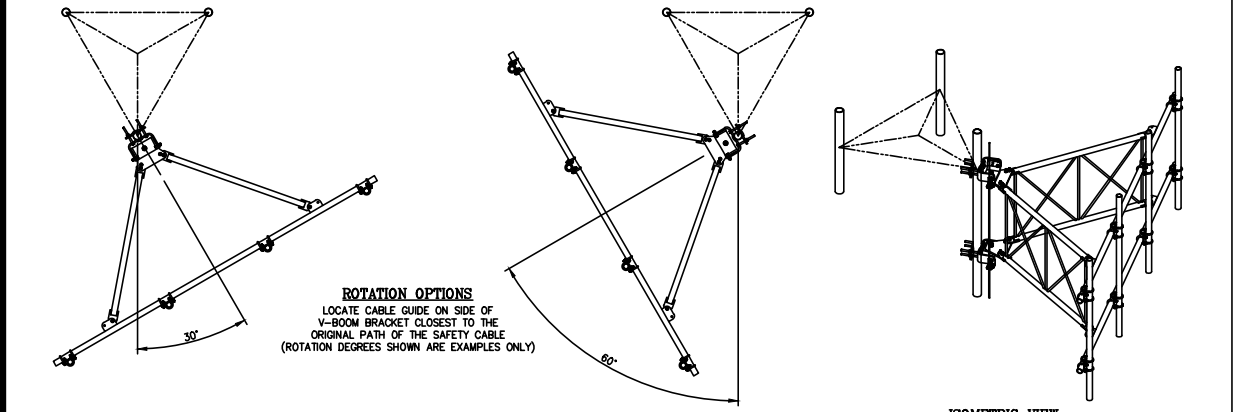


CONMAT #ANT.53856

UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS INCLUDE FINISHES AND ARE IN INCHES. TOLERANCES: FRACTIONS ± 1/16" ANGLES ± 1/2 DEG. DECIMALS ± .010"	<b>Sabre Industries</b> INNOVATION DELIVERED	<b>12' V-BOOM ASSEMBLY W/TIEBACK (5' STANDOFF) W/NO ANTENNA MOUNTING PIPES</b>	DATE: 06/07/21 DRAWN BY: WRF CHECKED BY: EK	SIZE: B DRAWING NO.: C10841002C SCALE: None PAGE: 2 OF 4	REV: 0
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UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS INCLUDE FINISHES AND ARE IN INCHES. TOLERANCES: FRACTIONS ± 1/16" ANGLES ± 1/2 DEG. DECIMALS ± .010"	<b>Sabre Industries</b> INNOVATION DELIVERED	<b>12' V-BOOM ASSEMBLY W/TIEBACK (5' STANDOFF) W/NO ANTENNA MOUNTING PIPES</b>	DATE: 06/07/21 DRAWN BY: WRF CHECKED BY: EK	SIZE: B DRAWING NO.: C10841002C SCALE: None PAGE: 2 OF 4	REV: 0
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**OPTIONAL LOCKING CABLE GUIDE**  
 IF REQUIRED PLEASE ORDER PART NUMBER C30017022. THIS KIT WILL COME WITH (2) LOCKING CABLE GUIDES FOR TOP & BOTTOM V-BOOM BRACKETS.

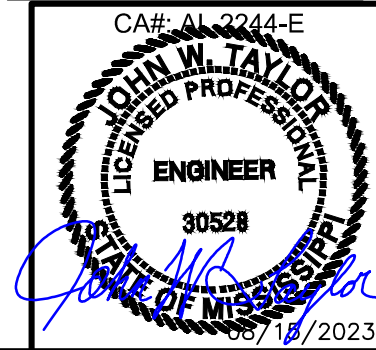


UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS INCLUDE FINISHES AND ARE IN INCHES. TOLERANCES: FRACTIONS ± 1/16" ANGLES ± 1/2 DEG. DECIMALS ± .010"	<b>Sabre Industries</b> INNOVATION DELIVERED	<b>12' V-BOOM ASSEMBLY W/TIEBACK (5' STANDOFF) W/NO ANTENNA MOUNTING PIPES</b>	DATE: 06/07/21 DRAWN BY: WRF CHECKED BY: EK	SIZE: B DRAWING NO.: C10841002C SCALE: None PAGE: 4 OF 4	REV: 0
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UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS INCLUDE FINISHES AND ARE IN INCHES. TOLERANCES: FRACTIONS ± 1/16" ANGLES ± 1/2 DEG. DECIMALS ± .010"	<b>Sabre Industries</b> INNOVATION DELIVERED	<b>12' V-BOOM ASSEMBLY W/TIEBACK (5' STANDOFF) W/NO ANTENNA MOUNTING PIPES</b>	DATE: 06/07/21 DRAWN BY: WRF CHECKED BY: EK	SIZE: B DRAWING NO.: C10841002C SCALE: None PAGE: 4 OF 4	REV: 0
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ALL 2-7/8" OD ANTENNA PIPES ARE TO BE 126" LONG (10'-6" LONG). (COMMSCOPE MT-546-126 (ANT.16873) OR AT&T APPROVED EQUAL PER LATEST CONMAT LIST) (5) ANTENNA PIPES PER SECTOR MOUNT.

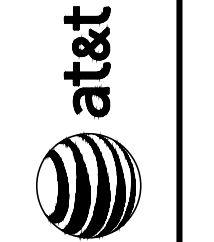
DETAILS BY OTHERS NOTE:  
 DETAILS SHOWN ON THIS PAGE WERE PROVIDED BY OTHERS AND ARE NOT CARRIED UNDER THE SIGNATURE AND SEAL OF SMW AND/OR IT'S ENGINEERS.



**SMW**  
ENGINEERING GROUP, N.C.  
REGISTERED PROFESSIONAL ENGINEER

**FORESITE**  
SERVICES, LLC

SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)



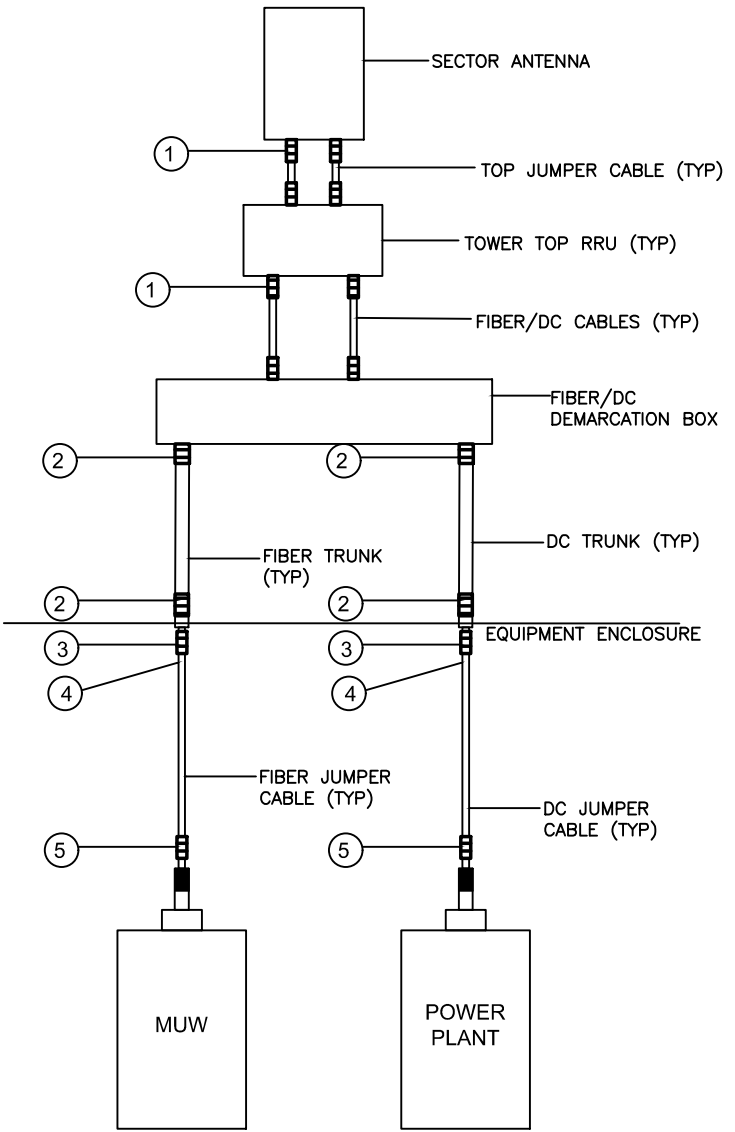
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01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**

**RF PLUMBING RISER**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-4.2	2

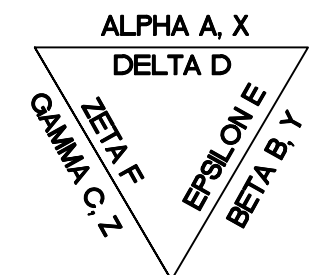
- NOTES:**
- SECTOR ORIENTATION/AZIMUTH WILL VARY FROM REGION AND IS SITE SPECIFIC. REFER TO THE RF REPORT FOR EACH SITE TO DETERMINE THE ANTENNA LOCATION AND FUNCTION OF EACH TOWER SECTOR FACE.
  - THE STANDARD IS BASED ON EIGHT COLORED TAPES—RED, BLUE, GREEN, YELLOW, ORANGE, BROWN, WHITE AND SLATE (GREY). THESE TAPES SHOULD BE READILY AVAILABLE TO THE ELECTRICIAN OR CONTRACTOR ON SITE.
  - USING COLOR BANDS ON THE CABLES, MARK ALL RF CABLE BY SECTOR AND CABLE NUMBER AS SHOWN ON "CABLE MARKING COLOR CONVENTION TABLE".
  - ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
  - ALL COLOR BANDS INSTALLED AT THE TOWER TOP SHALL BE A MINIMUM OF 3" WIDE AND SHALL HAVE A MINIMUM OF 3/4" OF SPACING BETWEEN EACH COLOR.
  - ALL COLOR BANDS INSTALLED AT OR NEAR THE GROUND SHALL BE A MINIMUM OF 3/4" WIDE.
  - ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.



**FIBER/DC CABLE MARKING LOCATIONS DIAGRAM**

**NOTES:**

- CONTRACTOR SHALL FILL OUT THE CABLE PORT DIAGRAM UPON COAX INSTALLATION. CABLE PORT DIAGRAM WILL BE AFFIXED TO THE INTERIOR ENCLOSURE WALL NEAR THE CABLE ENTRY PORT TO AID IN CABLE IDENTIFICATION. THE CHART IS INTENDED TO BE USED TO RECORD THE LINE AND CORRESPONDING ANTENNA POSITION ON THE TOWER AT THE TIME OF INSTALLATION.
- ONE COMPLETED COPY PLUS TWO BLANK COPIES OF THE CHART SHOULD BE POSTED IN THE ENCLOSURE IN A PROTECTIVE SLEEVE.



**TOWER PLAN VIEW**

SYSTEM DETAILS AND DIAGRAMS PROVIDED BY AT&T

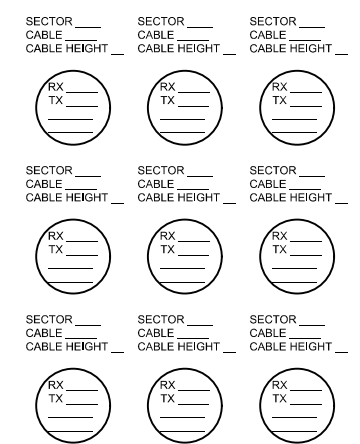
CA#: AL 2244-E

**JOHN W. TAYLOR**  
LICENSED PROFESSIONAL  
ENGINEER  
30528

STATE OF MISSISSIPPI

08/15/2023

**CABLE PORT DIAGRAM**  
**CAUTION: HARMFUL RF ENERGY EXISTS ON THESE LINES**



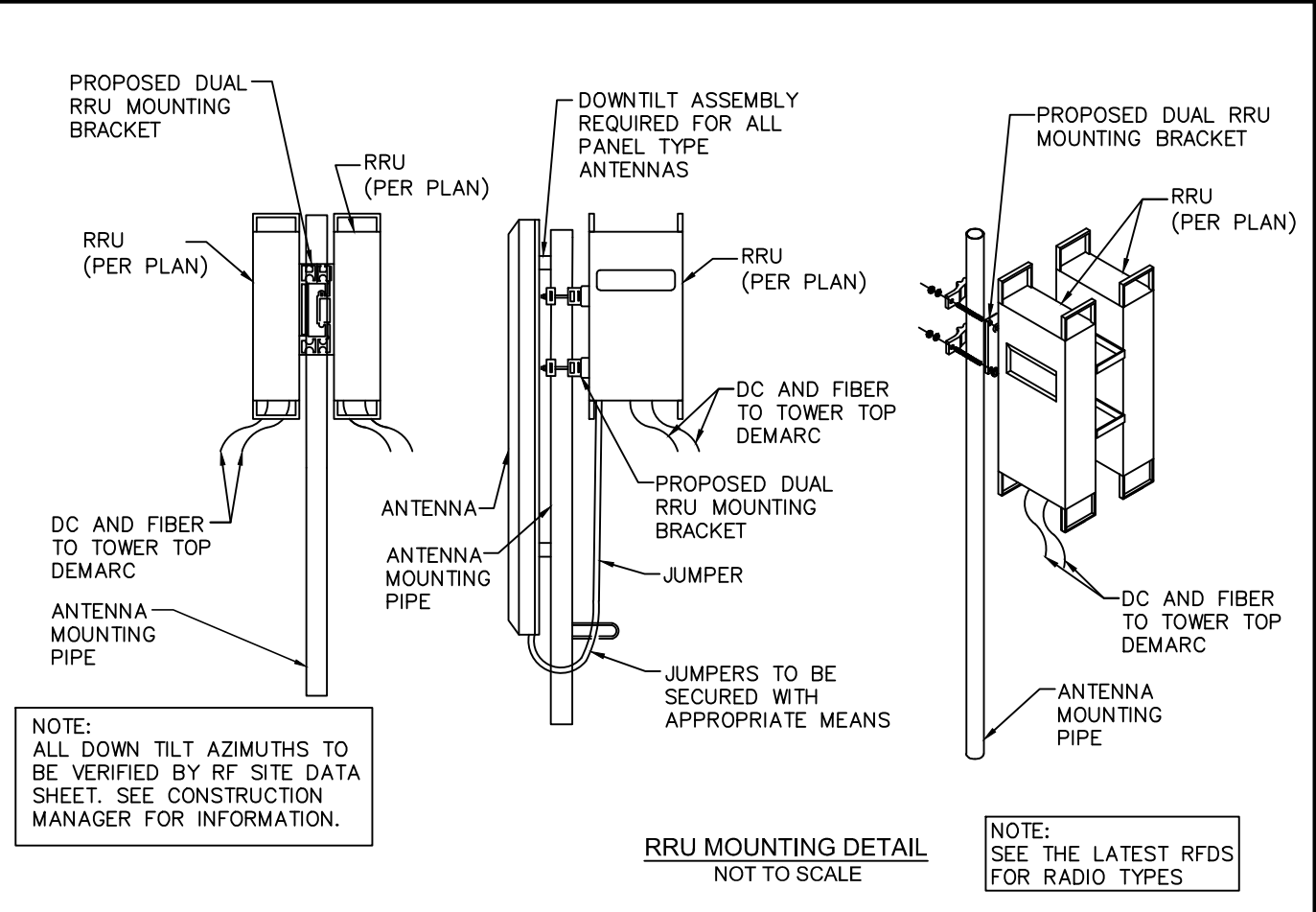
ALL RF CABLE SHALL BE MARKED PER CABLE MARKING LOCATIONS TABLE BELOW:

CABLE MARKING LOCATIONS TABLE			
NO.	TAPE	TAG	LOCATIONS
1.	X		EACH TOP-JUMPER/CABLES SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
2.	X		EACH MAIN COAX/CABLE TRUNK SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
3.		X	COAX/CABLE ENTRY PORT ON THE INTERIOR OF THE ENCLOSURE.
4.	X		ALL BOTTOM JUMPERS/CABLES SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPERS.
5.	*	*	ALL BOTTOM JUMPERS/CABLES SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.

(\* - DENOTED TAG OR TAP.)



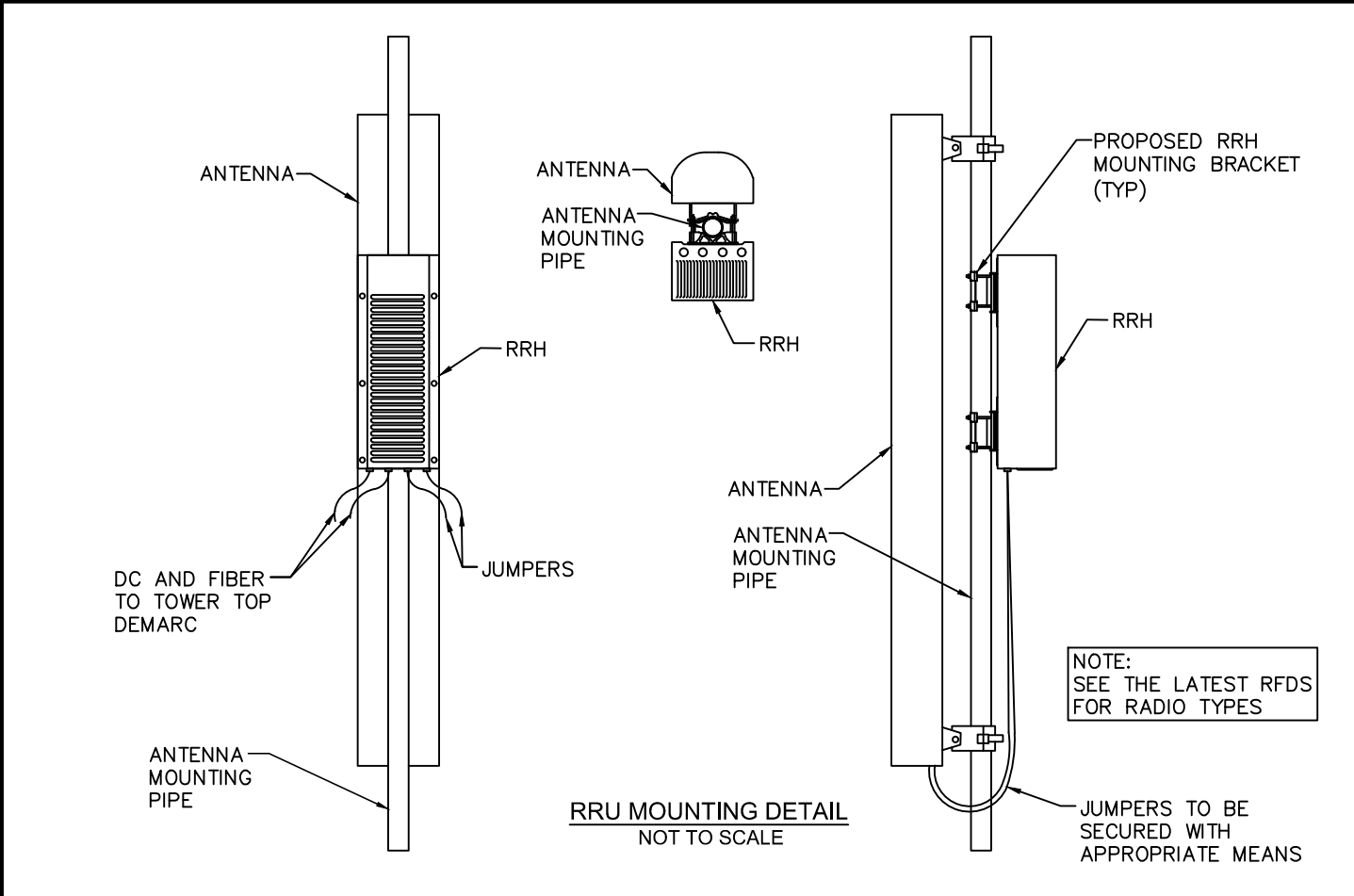
SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)



NOTE:  
 ALL DOWN TILT AZIMUTHS TO BE VERIFIED BY RF SITE DATA SHEET. SEE CONSTRUCTION MANAGER FOR INFORMATION.

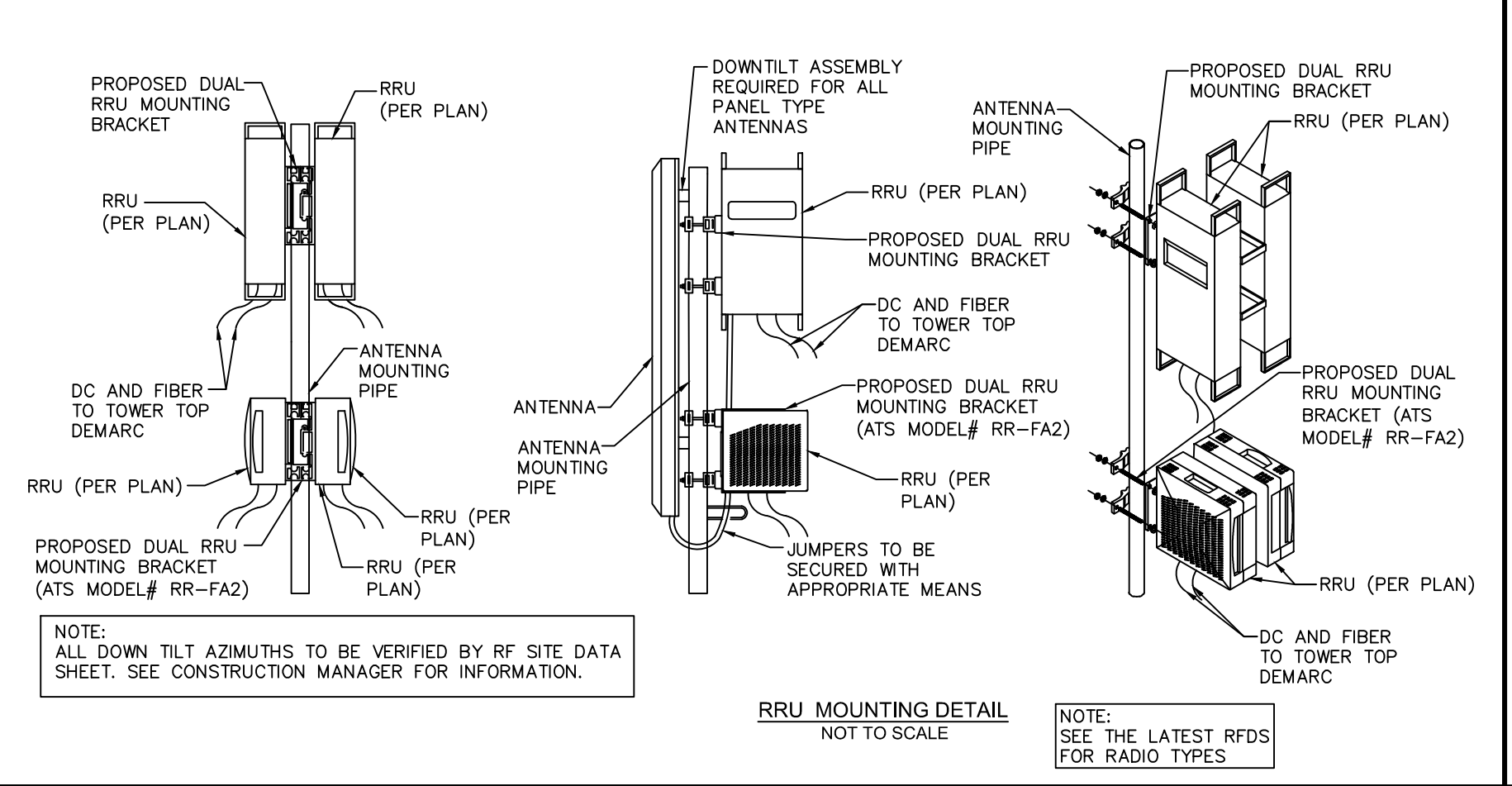
RRU MOUNTING DETAIL  
 NOT TO SCALE

NOTE:  
 SEE THE LATEST RFDS FOR RADIO TYPES



NOTE:  
 SEE THE LATEST RFDS FOR RADIO TYPES

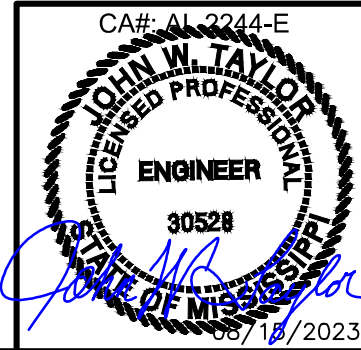
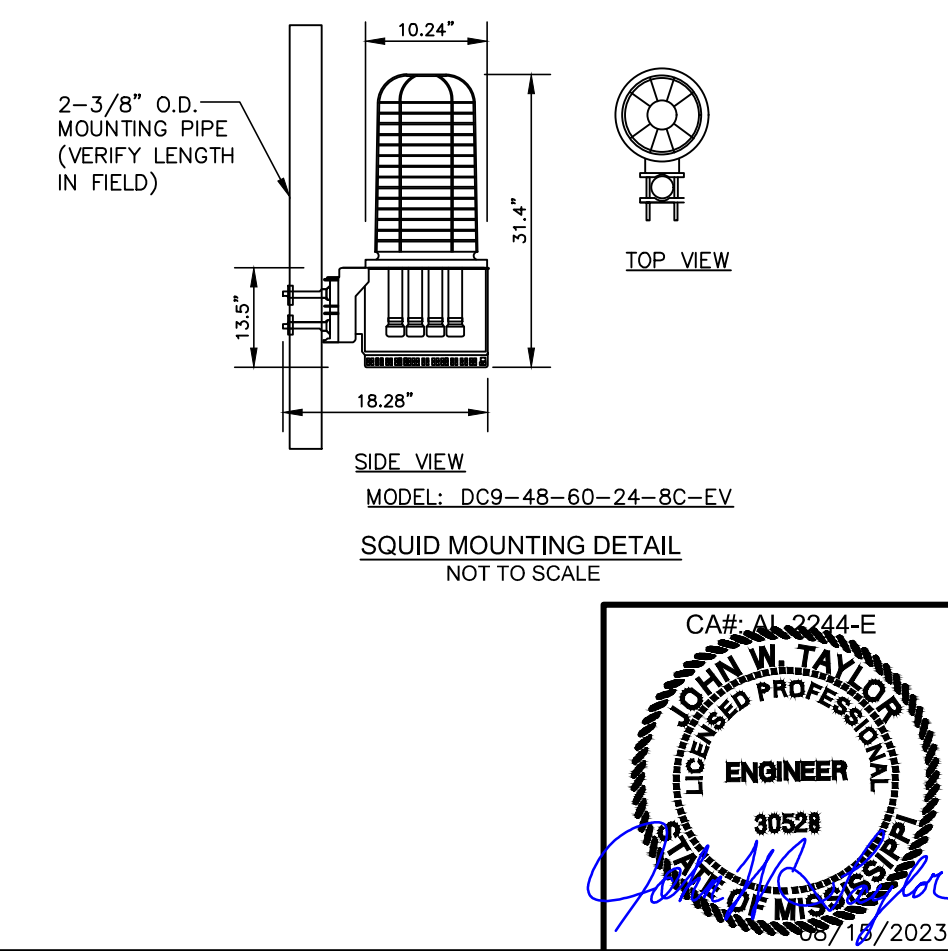
RRU MOUNTING DETAIL  
 NOT TO SCALE



NOTE:  
 ALL DOWN TILT AZIMUTHS TO BE VERIFIED BY RF SITE DATA SHEET. SEE CONSTRUCTION MANAGER FOR INFORMATION.

RRU MOUNTING DETAIL  
 NOT TO SCALE

NOTE:  
 SEE THE LATEST RFDS FOR RADIO TYPES

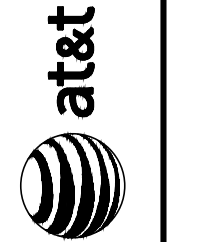
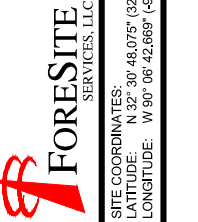
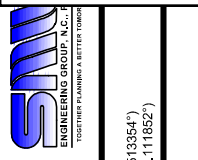


DESIGNER	ZDS	AMD	AMD
ISSUED FOR CLIENT REVIEW			
ISSUED FOR ZONING			
REVISED PER CONCRETE PAD			

SOUTH GLUCKSTADT  
 RRUS AND SQUID  
 MOUNTING DETAILS

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-4.3 2



DESIGNER:	ZDS	AMD	AMD
ISSUED FOR CLIENT REVIEW			
ISSUED FOR ZONING			
REVISED PER CONCRETE PAD			

**SOUTH GLUCKSTADT**  
**GRADING, SEDIMENT & EROSION CONTROL PLAN**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-5 2

**(Co)** CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

**(Sdl)** TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.

**Ds2** DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.

**Ds3** DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS

**Du** DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:  
 - 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE  
 - MIRAFI 500X (OR EQUIVALENT) GEOFABRIC  
 - 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED  
 - 3" #3 GRAVEL ROLLED SUB-BASE COURSE  
 - SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY  
 - FILL AREAS - CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

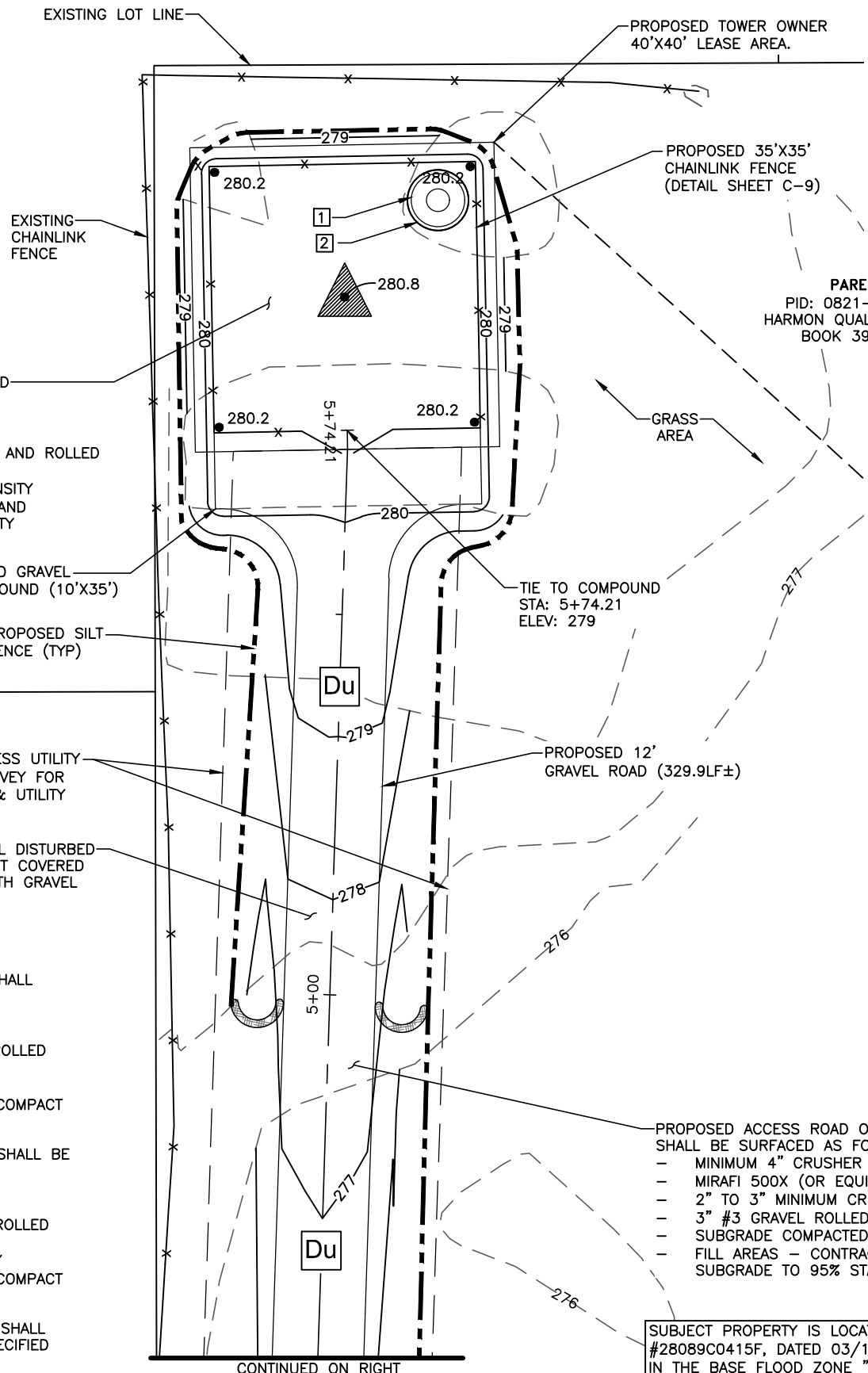
**TOWER NOTES:**  
**1** PROPOSED 175' MONOPOLE TOWER PROPOSED AT&T RAD CENTER 170'  
**2** PROPOSED TOWER FOOTPRINT SUBJECT TO CHANGES BASED ON TOWER DRAWINGS BY OTHERS

THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:  
 - MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE  
 - MIRAFI 500X (OR EQUIVALENT) GEOFABRIC  
 - 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB BASE A ROLLED  
 - 3" #3 GRAVEL ROLLED SUB-BASE COURSE  
 - SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY  
 - FILL AREAS - CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:  
 - 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE  
 - MIRAFI 500X (OR EQUIVALENT)  
 - 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED  
 - 3" #3 GRAVEL ROLLED SUB-BASE COURSE  
 - SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY  
 - FILL AREAS - CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

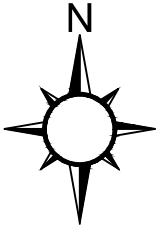
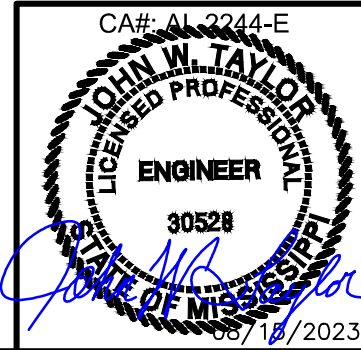
ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER



**1** GRADING SITE PLAN  
 C-5 SCALE: 1"=20'

SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.



SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)

- (Co)** CONSTRUCTION EXIT – TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- (Sdl)** TYPE C SEDIMENT BARRIER – TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
- Ds2** DISTURBED AREA STABILIZATION (TEMPORARY) – TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.
- Ds3** DISTURBED AREA STABILIZATION (PERMANENT) – TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS
- Du** DISTURBED AREA DUST CONTROL – TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

**(Sdl)** PROPOSED SILT FENCE (TYP)

PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVING SURFACE
- MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- FILL AREAS – CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

PROPOSED 30' ACCESS UTILITY EASEMENT (SEE SURVEY FOR COMPLETE ACCESS & UTILITY EASEMENT)

THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

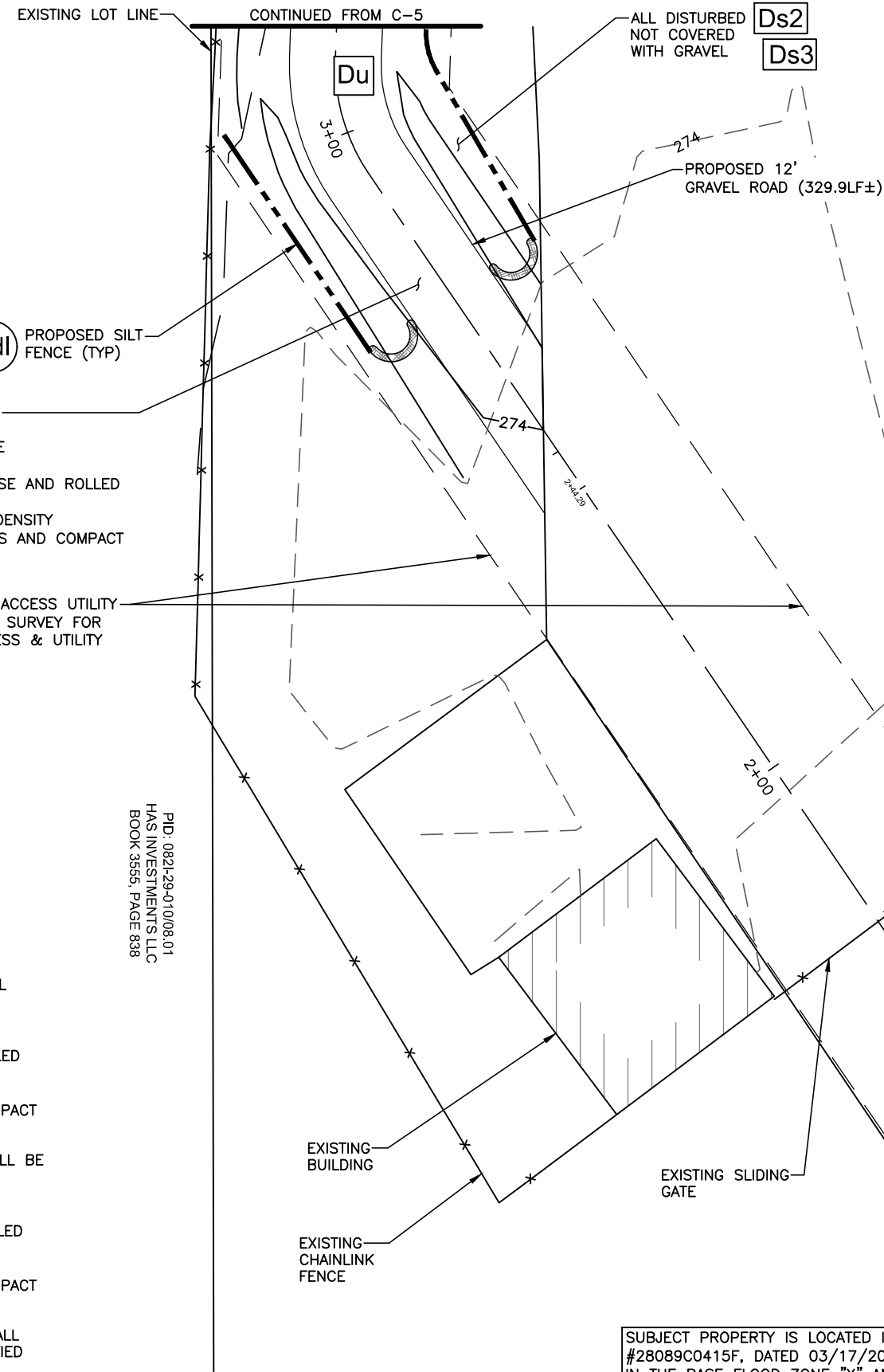
- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB BASE A ROLLED
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- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- FILL AREAS – CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

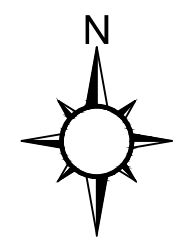
- 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
- MIRAFI 500X (OR EQUIVALENT)
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- 3" #3 GRAVEL ROLLED SUB BASE COURSE
- SUBGRADED COMPACTED TO 95% STANDARD PROCTOR DENSITY
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ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER



PARENT TRACT  
PID: 0821-29-010/07.00  
HARMON QUALITY BUILDERS LLC  
BOOK 3919, PAGE 76



PID: 0821-29-010/08.01  
HAS INVESTMENTS, LLC  
BOOK 3555, PAGE 838

SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.

**1** GRADING SITE PLAN  
SCALE: 1"=20'



DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**GRADING, SEDIMENT & EROSION CONTROL PLAN**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-5.01 2

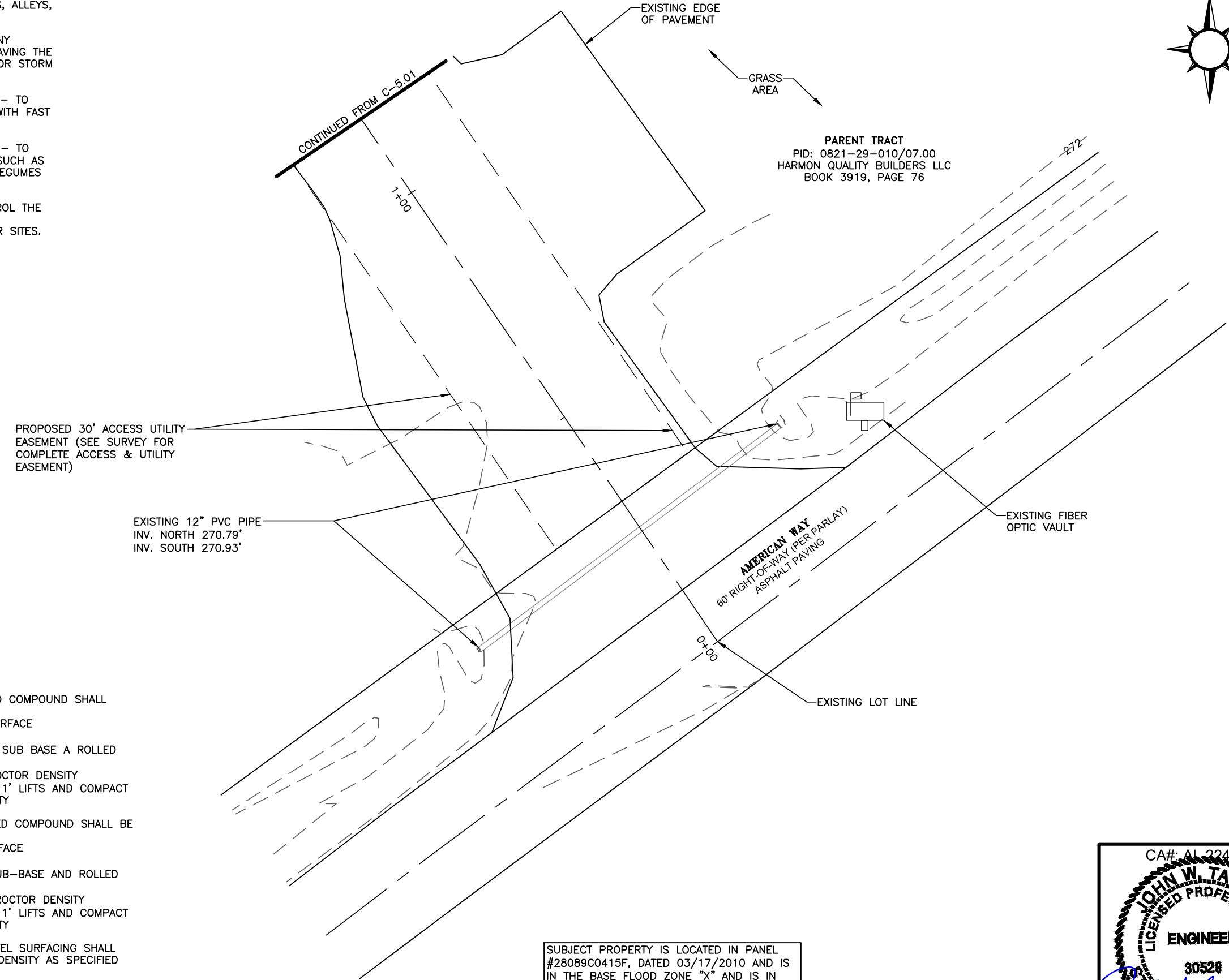
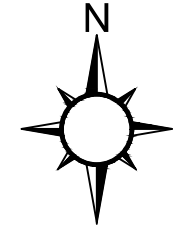
**SMW**  
ENGINEERING GROUP, N.C.  
REGISTERED PROFESSIONAL ENGINEERS

**FORESITE**  
SERVICES, LLC

**at&t**

SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)

- Co** CONSTRUCTION EXIT – TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- Sdl** TYPE C SEDIMENT BARRIER – TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
- Ds2** DISTURBED AREA STABILIZATION (TEMPORARY) – TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.
- Ds3** DISTURBED AREA STABILIZATION (PERMANENT) – TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS
- Du** DISTURBED AREA DUST CONTROL – TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.



THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
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- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- FILL AREAS – CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

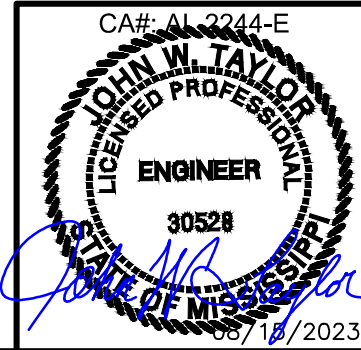
- 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
- MIRAFI 500X (OR EQUIVALENT)
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- 3" #3 GRAVEL ROLLED SUB BASE COURSE
- SUBGRADED COMPACTED TO 95% STANDARD PROCTOR DENSITY
- FILL AREAS – CONTRACTOR TO PLACE FILL IN 1' LIFTS AND COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER

SUBJECT PROPERTY IS LOCATED IN PANEL #28089C0415F, DATED 03/17/2010 AND IS IN THE BASE FLOOD ZONE "X" AND IS IN NOT A SPECIAL FLOOD HAZARD AREA.

**1** GRADING SITE PLAN  
C-5.02 SCALE: 1"=20'



DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**GRADING, SEDIMENT & EROSION CONTROL PLAN**

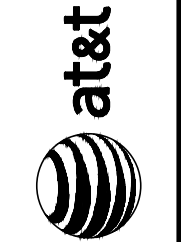
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ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

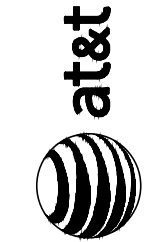
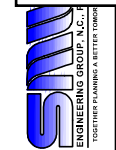
C-5.02 2

**SMW**  
ENGINEERING GROUP, N.C.  
REGISTERED PROFESSIONAL ENGINEERS

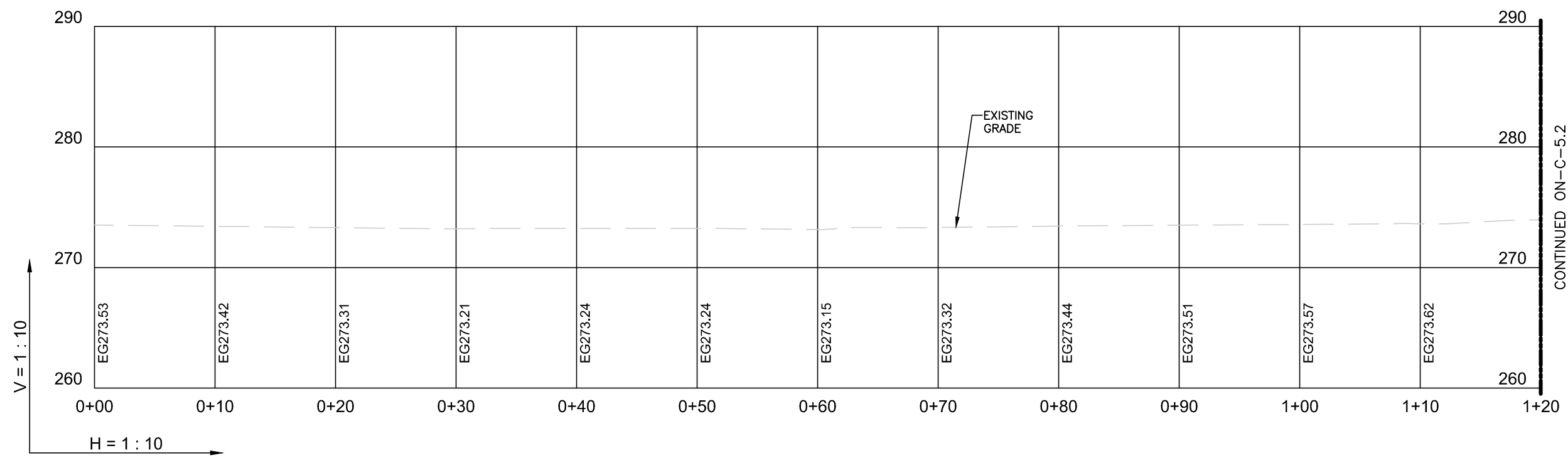
**FORESITE**  
SERVICES, LLC

SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)





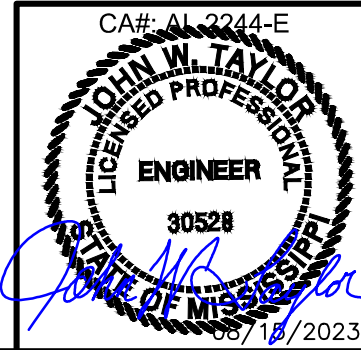
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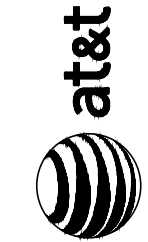
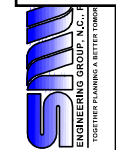
**SOUTH GLUCKSTADT**  
**ACCESS ROAD PROFILE**  
**SHEET**

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ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-5.1	2

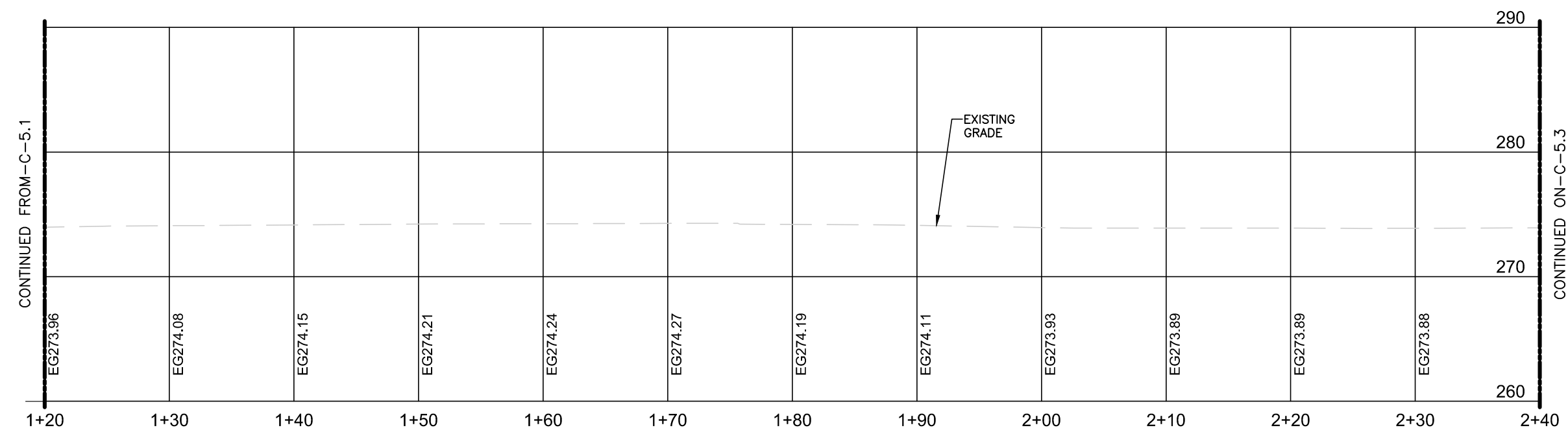


**1** PROPOSED ACCESS ROAD PROFILE  
 SCALE: 1"=10'





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 LONGITUDE: W 90° 06' 42.869" (-90.111852°)



CONTINUED FROM -C-5.1

CONTINUED ON -C-5.3

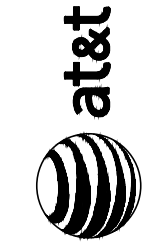
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**SOUTH GLUCKSTADT  
 ACCESS ROAD PROFILE  
 SHEET**

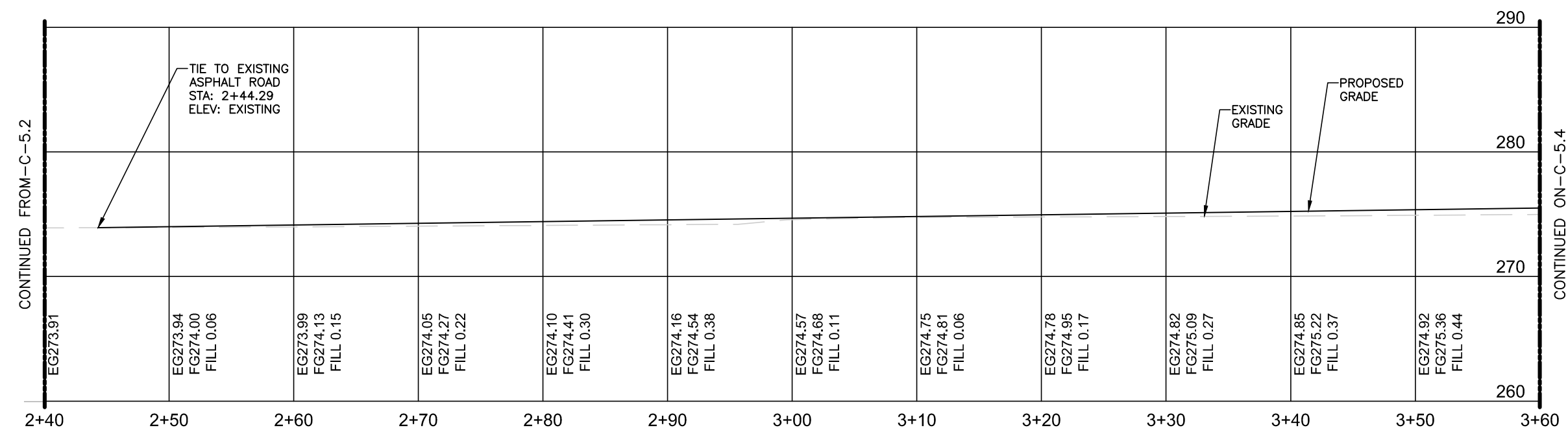
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ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-5.2	2



1 PROPOSED ACCESS ROAD PROFILE  
 SCALE: 1"=10'



SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
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CONTINUED FROM -C-5.2

CONTINUED ON -C-5.4

TIE TO EXISTING ASPHALT ROAD  
 STA: 2+44.29  
 ELEV: EXISTING

EXISTING GRADE

PROPOSED GRADE

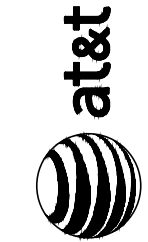
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**SOUTH GLUCKSTADT  
 ACCESS ROAD PROFILE  
 SHEET**

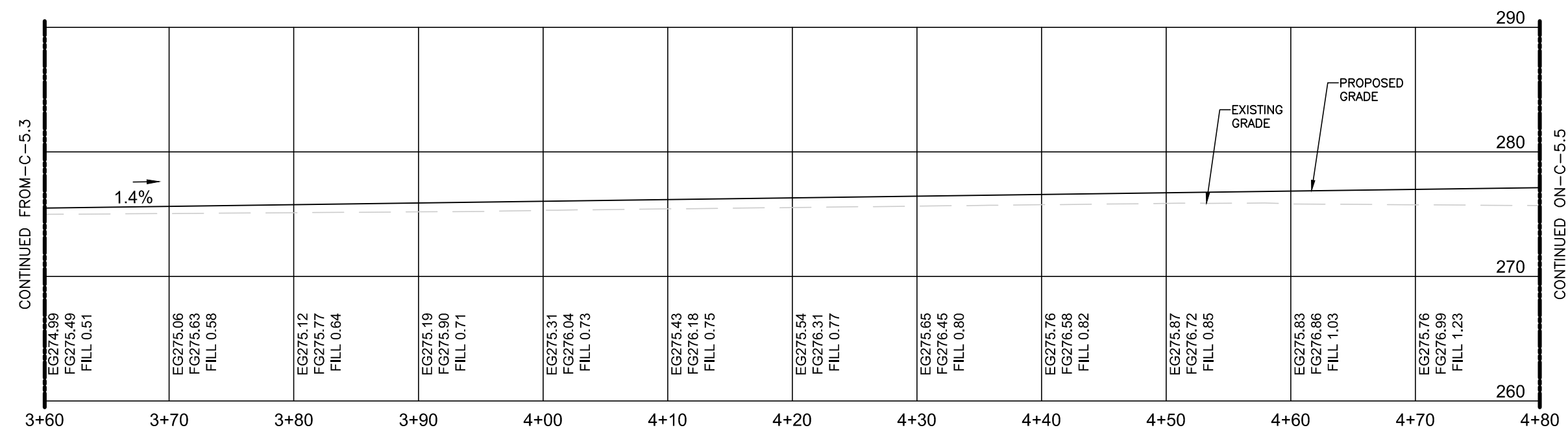
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CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-5.3	2



**1** PROPOSED ACCESS ROAD PROFILE  
 SCALE: 1"=10'



SITE COORDINATES:  
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CONTINUED FROM -C-5.3

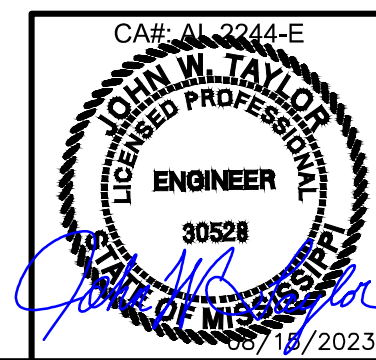
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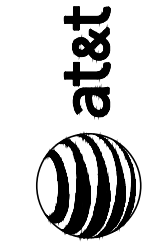
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**SOUTH GLUCKSTADT**  
**ACCESS ROAD PROFILE**  
**SHEET**

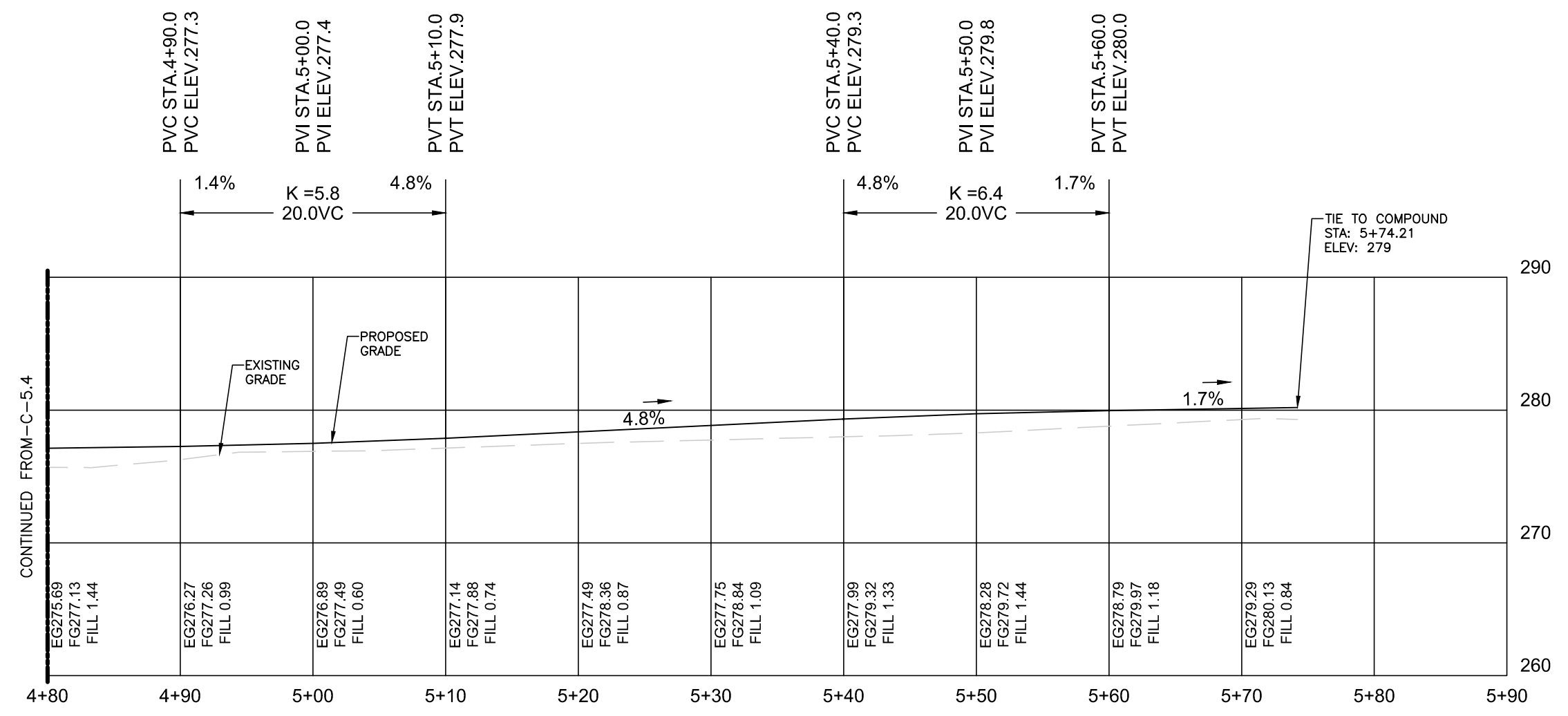
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ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-5.4	2

1 PROPOSED ACCESS ROAD PROFILE  
 SCALE: 1"=10'





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CONTINUED FROM -C-5.4

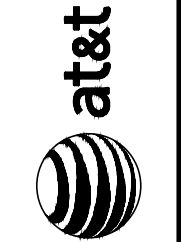
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SOUTH GLUCKSTADT  
 ACCESS ROAD PROFILE  
 SHEET

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-5.5	2



1 PROPOSED ACCESS ROAD PROFILE  
 SCALE: 1"=10'



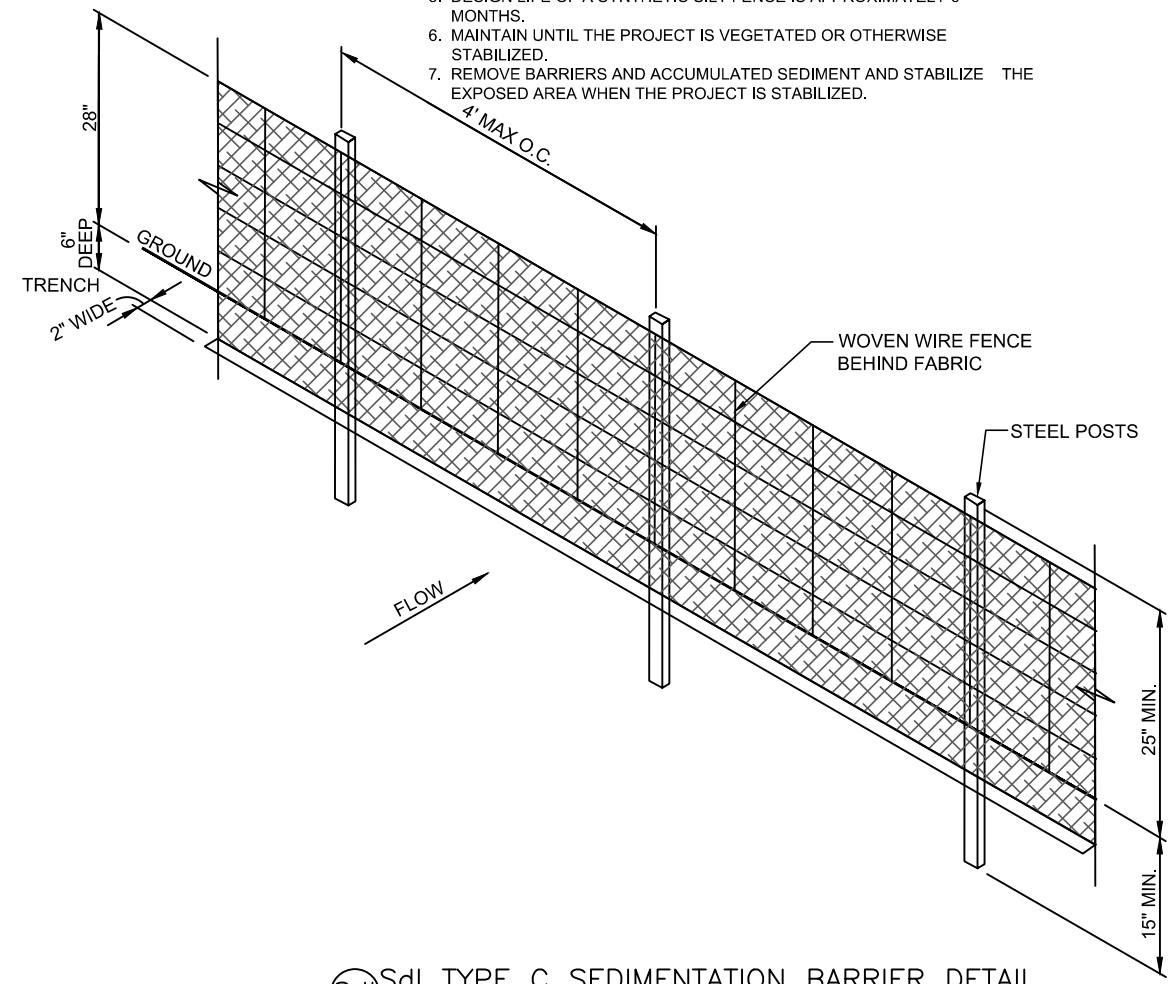
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ISSUED FOR CLIENT REVIEW	AMD
ISSUED FOR ZONING	AMD
REVISED PER CONCRETE PAD	
DATE	
01/26/23	
07/24/23	
08/15/23	

**SOUTH GLUCKSTADT  
GRADING, SEDIMENT &  
EROSION CONTROL  
DETAILS**

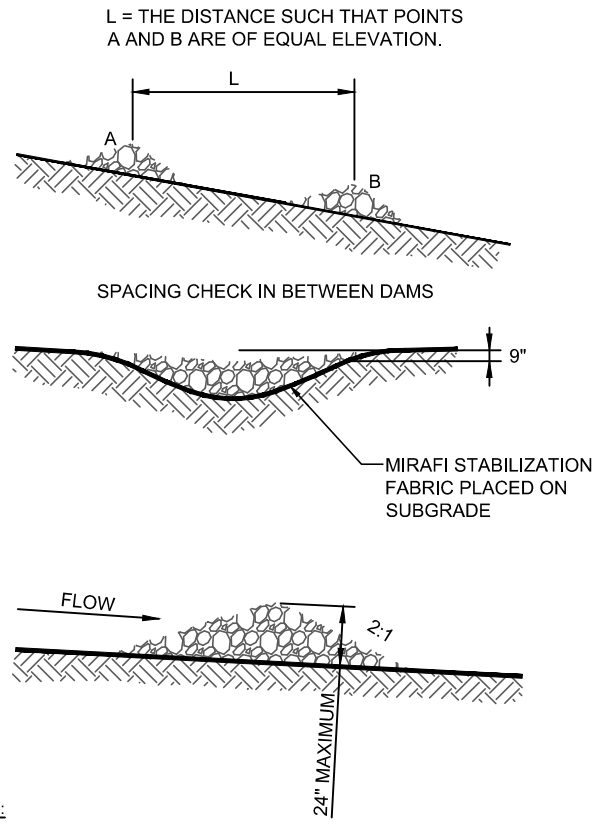
DESIGNER:	ZDS
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ENGINEER:	JWT
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SHEET NO.:	REV.

C-6 2

- MAINTENANCE:**
1. INSPECT BARRIERS AT THE END OF EACH WORKING DAY, OR AFTER EACH RAIN, AND REPAIR OR CLEAN AS NECESSARY.
  2. REMOVE SEDIMENT FROM BARRIER WHEN TWO-THIRDS FULL.
  3. DISPOSE OF SEDIMENT SO THAT IT WILL NOT ENTER THE BARRIER AGAIN AND STABILIZE IT WITH VEGETATION.
  4. REPLACE FILTER FABRIC WHEN DETERIORATED.
  5. DESIGN LIFE OF A SYNTHETIC SILT FENCE IS APPROXIMATELY 6 MONTHS.
  6. MAINTAIN UNTIL THE PROJECT IS VEGETATED OR OTHERWISE STABILIZED.
  7. REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.

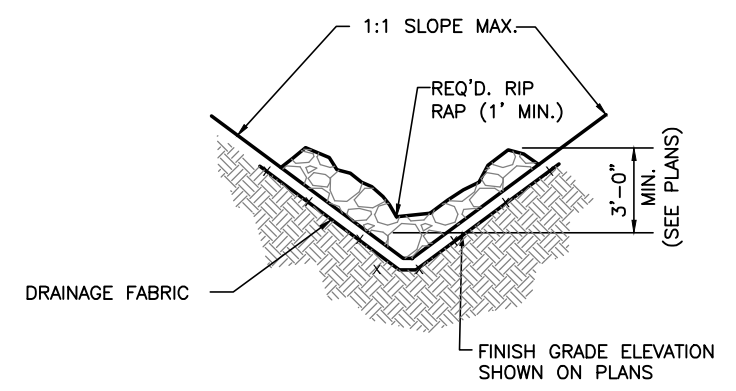


**Sd1 TYPE C SEDIMENTATION BARRIER DETAIL**  
NOT TO SCALE



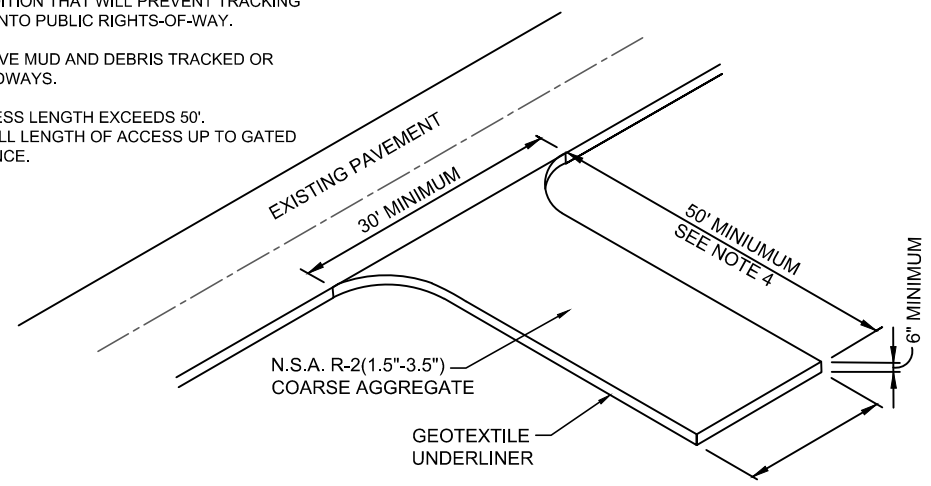
- NOTES:**
1. CHECK DAMS TO BE CONSTRUCTED OF GRADED SIZE 2 - 10 INCH STONE. MECHANICAL OR HAND PLACEMENT SHALL BE REQUIRED TO INSURE COMPLETE COVERAGE OF ENTIRE WIDTH OF DITCH OR SWALE AND THAT CENTER OF DAM IS LOWER THAN EDGES.
  2. SEDIMENT TO BE REMOVED WHEN A LEVEL OF 1/2 THE ORIGINAL DAM HEIGHT OR LESS IS REACHED. REMOVE CHECK DAMS AT COMPLETION OF PROJECT.

**Cd CHECK DAM**  
NOT TO SCALE



**Typical Rip Rap Ditch Section**  
SCALE: N.T.S.

- MAINTENANCE:**
1. PERIODICALLY DRESS WITH 1.5"-3.5" STONE.
  2. MAINTAIN IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  3. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.
  4. 50' MINIMUM IF ACCESS LENGTH EXCEEDS 50'. OTHERWISE USE FULL LENGTH OF ACCESS UP TO GATED COMPOUND ENTRANCE.



**Co CONSTRUCTION EXIT DETAIL**  
NOT TO SCALE

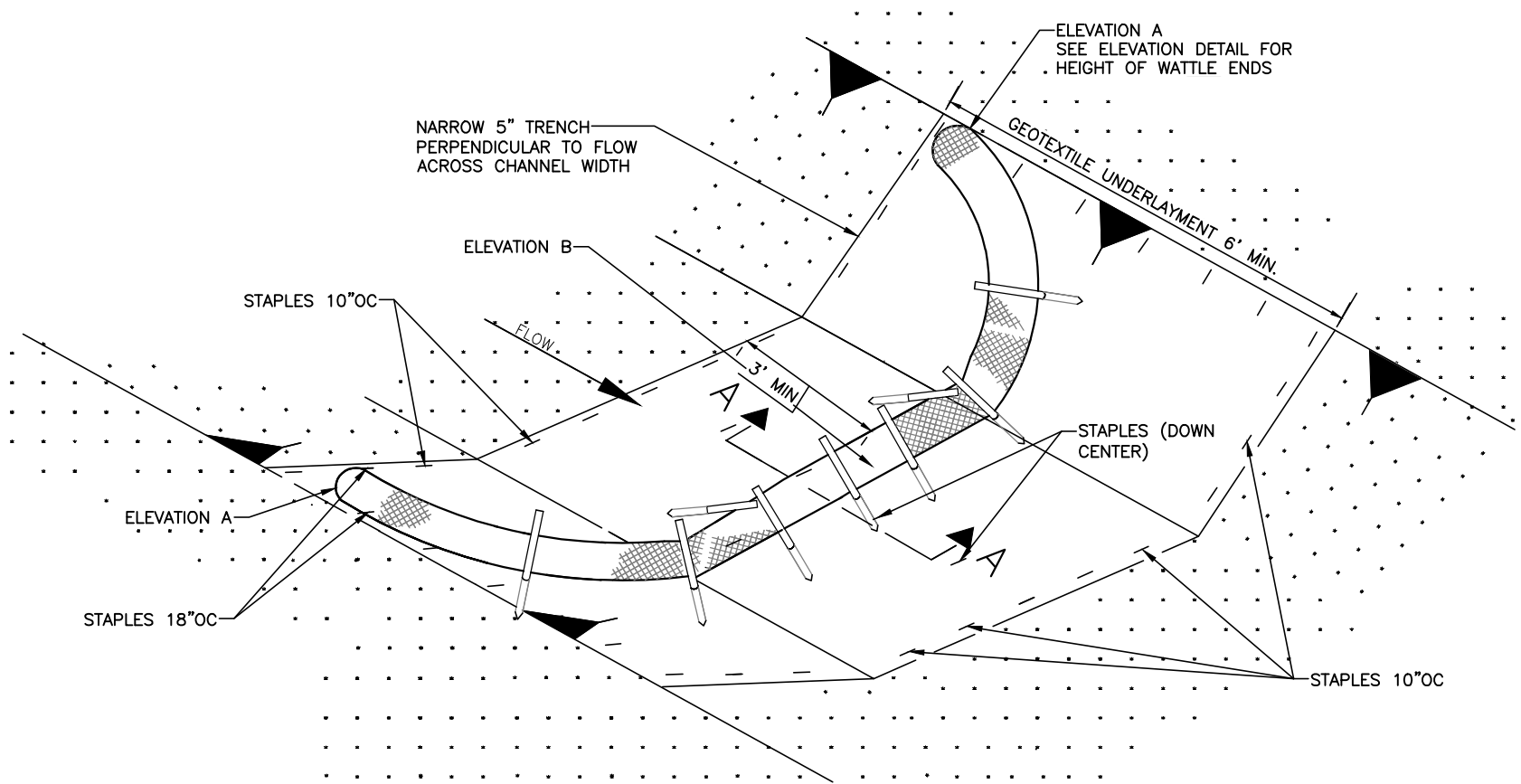
- Co** CONSTRUCTION EXIT – TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- Sd1** TYPE C SEDIMENT BARRIER – TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
- Ds2** DISTURBED AREA STABILIZATION (TEMPORARY) – TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.
- Ds3** DISTURBED AREA STABILIZATION (PERMANENT) – TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.
- Du** DISTURBED AREA DUST CONTROL – TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.



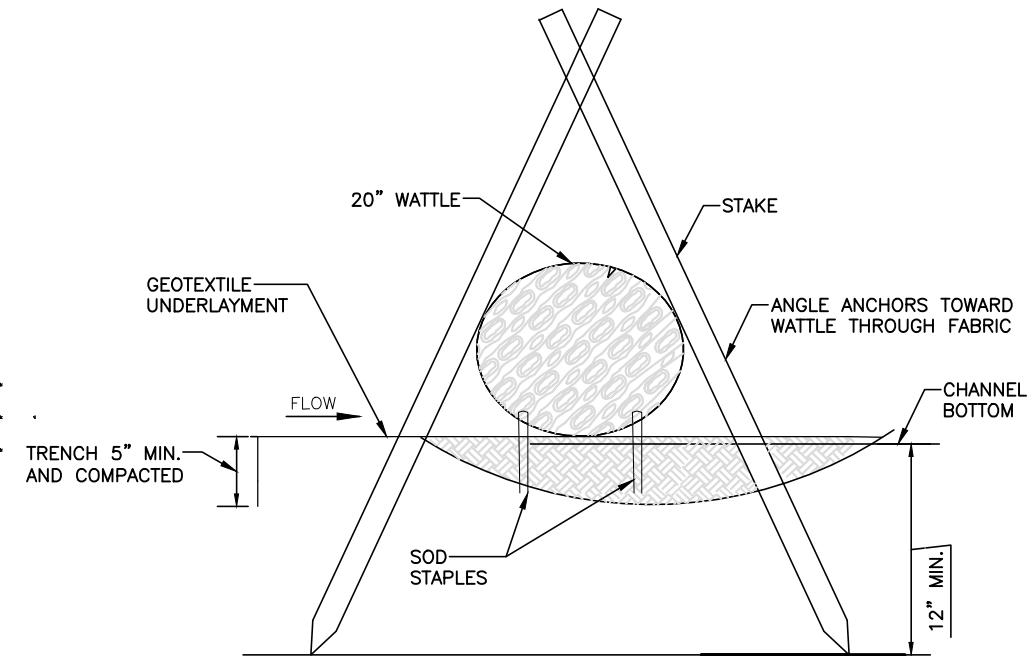
08/15/2023



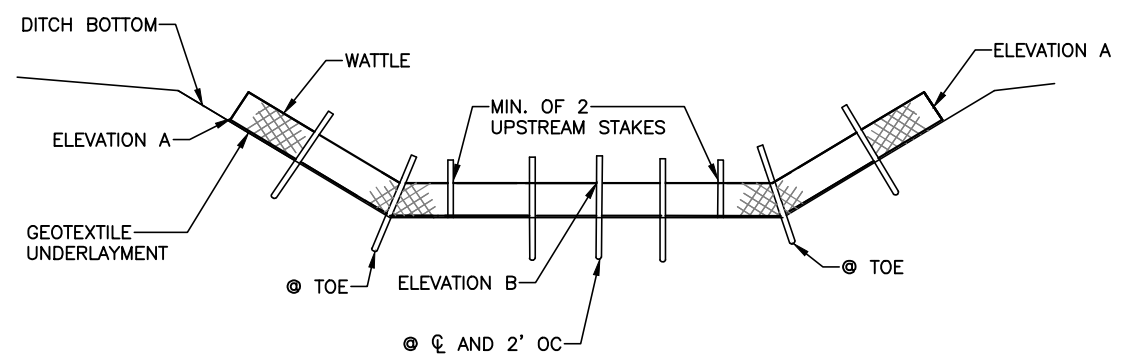
SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)



DETAIL (DITCH CHECK)



SECTION A-A



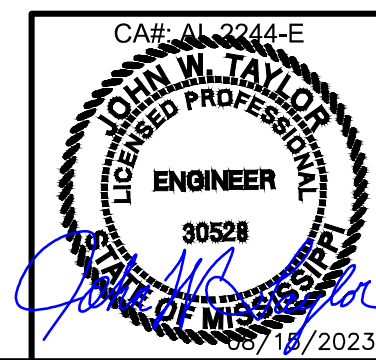
ELEVATION DETAIL

NOTE: END POINTS A MUST BE HIGHER THAN FLOWLINE POINT B

NOTES:

1. MINIMUM RECOMMENDED PLACEMENT INTERVAL BETWEEN WATTLE DITCH CHECK IS 50 FEET UNLESS SHOWN OTHERWISE ON THE PLANS OR APPROVED BY THE ENGINEER.
2. ANCHORING STAKES SHALL BE SIZED, SPACED, DRIVEN, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE CHECK. STAKE SPACING SHALL BE A MAXIMUM OF TWO FEET.
3. SECURE GEOTEXTILE UNDERLAYMENT BY PLACING STAPLES 18 INCHES APART ALONG THE CHANNEL EDGES AND DOWN THE CENTER OF THE CHANNEL. SPACE STAPLES 10 INCHES APART ACROSS THE UPSTREAM AND DOWNSTREAM EDGES.
4. PLACE STAPLES ON BOTH SIDES OF WATTLE AT 10" SPACING.

2 TYPICAL RIP RAP DITCH SECTION  
 C-6.1 SCALE: N.T.S.



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08/15/23	REVISED PER CONCRETE PAD	AMD

SOUTH GLUCKSTADT  
 GRADING, SEDIMENT &  
 EROSION CONTROL  
 DETAILS

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

C-6.1 2



DESIGNER: ZDS  
 ZDS  
 AMD  
 AMD

DESCRIPTION: ISSUED FOR CLIENT REVIEW  
 ISSUED FOR ZONING  
 REVISED PER CONCRETE PAD

DATE: 01/26/23  
 07/24/23  
 08/15/23

SOUTH GLUCKSTADT  
 EROSION CONTROL  
 GRADING, SEDIMENT &  
 VEGETATION SPECS

DESIGNER: ZDS  
 CHECKED BY: JWT  
 ENGINEER: JWT

SMW #: 22-1425  
 SHEET NO.: C-7  
 REV.: 2

SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
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PIEDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RYE GRASS	20--40 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA	8-10 LB. 30-40 LB.
2. FEBRUARY			UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZA WEeping LOVE GRASS	2-3 BU. 20-25 LB. 4-6 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
4. APRIL	RYE BROWN TOP MULLET ANNUAL LESPEDEZA SUDAN ANNUAL	2-3 BU. 30-40 LB. 20-25 LB. 35 LB.	WEeping LOVE GRASS HULLED BERMUDA BAJA	4-6 LB. 5-6 LB. 40-60 LB.
5. MAY	WEeping LOVE GRASS SUDAN GRASS BROWN TOP MULLET	4-6 LB. 35 LB. 30-40 LB.	WEeping LOVE GRASS HULLED BERMUDA BAJA	4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEeping LOVE GRASS SUDAN GRASS BROWN TOP MULLET	4-6 LB. 35 LB. 30-40 LB.	WEeping LOVE GRASS HULLED BERMUDA BAJA	4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEeping LOVE GRASS SUDAN GRASS BROWN TOP MULLET	4-6 LB. 35 LB. 30-40 LB.		
8. AUGUST	RYE GRASS WEeping LOVE GRASS	4050 LB. 4-6 LB.		
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10LB. 30-40LB. 30-50 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10LB. 30-40LB. 30-50 LB.
12. DECEMBER	RYE RYE GRASS WHEAT	2-3 BU. 40-50 LB. 2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10LB. 30-40LB. 30-50 LB.

- USE A MINIMUM OF 40 LBS. SCARIFIES SEED. THE REMAINING MAY BE USE UN SCARIFIED, CLEAN HULLED SEED
- USE EITHER COMMON SERIAL OR INTERSTATE SERICEA LESPEDEZA

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT IN ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTIONS, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OF SEEDED PREPARATIONS WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND SUPPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS.

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICIA LESPEDEZA, SCARIFIED WEeping LOVE GRASS, OR COMMON BERMUDA, HULLED	60 LBS 4 LBS. 6 LBS.	3/1-6/15
FESCUE SERICEA LESPEDEZA, UNCERTIFIED	40 LBS. 60 LBS.	4/1-10/31
FESCUE SERICEA LESPEDEZA, UNCERTIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1-12/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15-8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS/ACRE

C. SECOND YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT) 500 LBS/ACRE

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED ON ROAD CUT AND FILL SLOPES, SHOULDERS AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTIONS. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM, SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY & BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING & CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIALS ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIP GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER, IN DRY FORM, WILL SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESH PREPARED SEEDBED AND COVERED LIGHTLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD BY EITHER BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT WAS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZE, 5-10-15 MULCH (STRAY OR HAY)	4000 LBS/ACRE 1500 LBS/ACRE 5000 LBS/ACRE	
HULLED COMMON BERMUDA GRASS	10 LBS	3/1-6/15
FESCUE	50 LBS	9/1-10/31
FESCUE RYEGRASS	50 LBS 50 LBS	11/1-2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS	6/15-8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS/ACRE

C. SECOND YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT) 800 LBS/ACRE



OWNER CONTACT SIGN

SITE NAME: \_\_\_\_\_  
 SITE NUMBER: \_\_\_\_\_  
 FCC REGISTRATION NUMBER: \_\_\_\_\_

FOR LEASING INFORMATION: \_\_\_\_\_ IN CASE OF EMERGENCY: \_\_\_\_\_

**NO TRESPASSING**

POSTING OF THIS SIGN REQUIRED BY LAW

**OWNER CONTACT SIGN**  
 WHITE BACKGROUND, BLACK/RED LETTERING  
 MOUNTING LOCATION: GATE  
 QUANTITY: 1

INFORMATION

Federal Communications Commission  
 Tower Registration Number

1 2 3 4 5 6 7

Posted in accordance with Federal Communications Commission rules on antenna tower registration 47 CFR 17.4 (g).

**FCC REGISTRATION SIGN**  
 WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING  
 MOUNTING LOCATION: GATE & BASE OF TOWER  
 QUANTITY: 2

**DANGER**

**NO TRESPASSING**

**DANGER NO TRESPASSING SIGN**  
 WHITE/BLACK BACKGROUND, BLACK/WHITE LETTERING  
 MOUNTING LOCATION: GATE & BASE OF TOWER  
 QUANTITY: 1

**NOTICE**



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(i)

**NOTICE**

**AUTHORIZED PERSONNEL ONLY**

**AUTHORIZED PERSONNEL SIGN**  
 WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING  
 MOUNTING LOCATION: GATE & BASE OF TOWER  
 QUANTITY: 1

**CAUTION**



On this tower:  
 Radio frequency fields near some antennas may exceed FCC rules for human exposure.

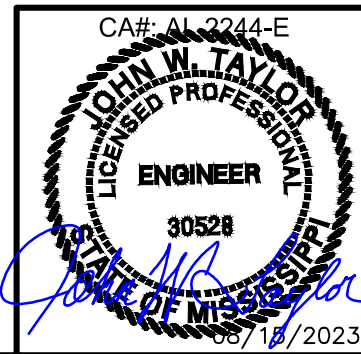
Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF monitor.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(i) ©2008 American Tower Associates, Inc.

**NOTICE**

**GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS**

- ⚠ All personnel should have electromagnetic energy (EME) awareness training.
- ⚠ All personnel entering this site must be authorized.
- ⚠ Obey all posted signs.
- ⚠ Assume all antennas are active.
- ⚠ Before working on antennas, notify owners and disable appropriate transmitters.
- ⚠ Maintain minimum 3 feet clearance from all antennas.
- ⚠ Do not stop in front of antennas.
- ⚠ Use personal RF monitors while working near antennas.
- ⚠ Never operate transmitters without shields during normal operation.
- ⚠ Do not operate base station antennas in equipment room.



DESIGNER	DATE	DESCRIPTION
ZDS	01/26/23	ISSUED FOR CLIENT REVIEW
AMD	07/24/23	ISSUED FOR ZONING
AMD	08/15/23	REVISED PER CONCRETE PAD

**SOUTH GLUCKSTADT**

**SITE SIGNAGE**

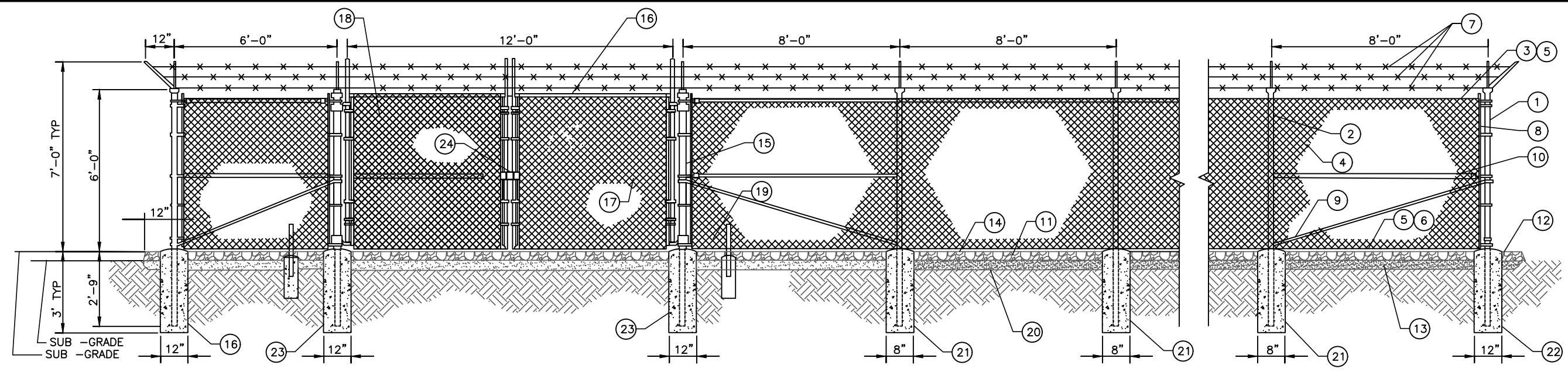
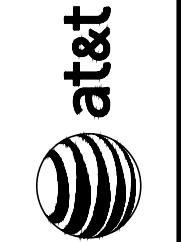
DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-8	2

SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)





**FORESITE SERVICES, LLC**  
 FORESITE SERVICES, LLC  
 SITE COORDINATES:  
 N 32° 30' 48.075" (32.513954°)  
 W 90° 06' 42.669" (-90.111852°)

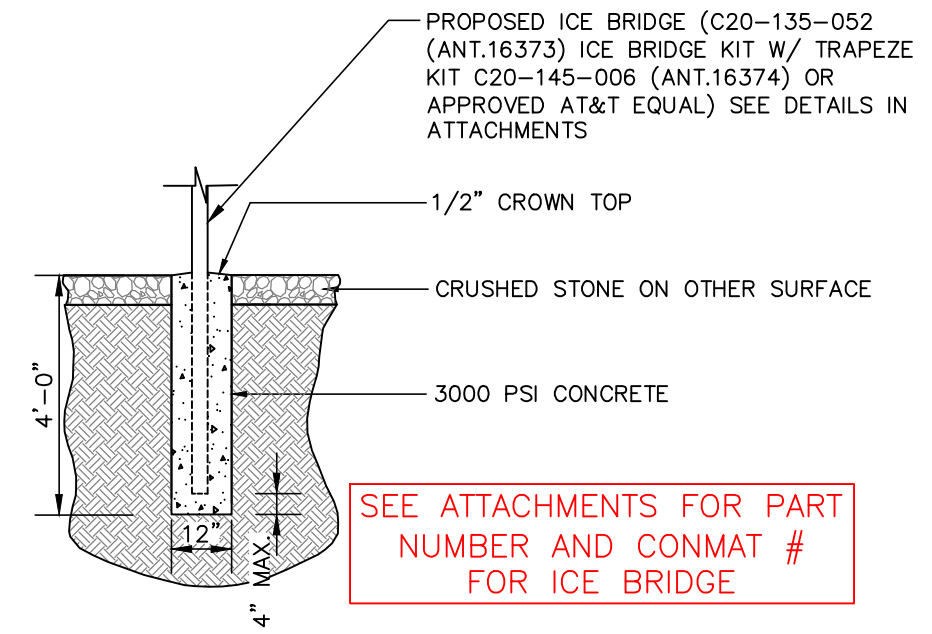


**GENERAL NOTES:**

1. INSTALL FENCING PER ASTM F-567
2. INSTALL SWING GATES PER ASTM-900
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1 1/2" GALV. (HOT DIP, ASTM A120 GRADE "A" STEEL) ALL GATE FRAMES SHALL BE WELDED, ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV, (OR EQUAL)
5. ALL OPEN POSTS SHALL HAVE END-CAPS
6. USE GALVANIZED HOG-RING WORE TO MOUNT ALL SIGNS
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC
8. USE COMMERCIAL GRADE MATERIALS ONLY

**REFERENCE NOTES:**

- |  |   |
|--|---|
| ① CORNER END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE.   | ⑫ 2" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK  |
| ② LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C.                                     | ⑬ 4" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.                      |
| ③ TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM-F1083   | ⑭ FINISH GRADE SHALL BE UNIFORM AND LEVEL   |
| ④ FABRIC 9GA CORE WIRE SIZE 2' MESH, CONFORMING TO ASTM-A392   | ⑮ GATE POST 4" SCHEDULE 40 PIPE. FOR GATE WIDTHS UP THRU 7 FEET OR 4 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083 |
| ⑤ TIE WIRE: MINIMUM II GA GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE END AT TENSIONS WIRE BU HOG RINGS SPACED AX. AT 24" O.C. | ⑯ GATE FRAME: 1 5/8" PIPE, PER ASTM-F1083   |
| ⑥ TENSION WIRE: 9GA GALVANIZE STEEL  | ⑰ GATE FRAME: 1 1/2" PIPE, PER ASTM-F1083   |
| ⑦ BARBED WIRE: DOUBLE STRAND 12 1/2" OD TWISTED WIRE TO MATCH WITH FABRIC 14GA, 4PT. BARBS SPACE ON APPROX.5" CENTERS                              | ⑱ DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION                                    |
| ⑧ STRETCHER BAR  | ⑳ GEOMETRIES FABRIC   |
| ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD  | ㉑ LINE POST: CONCRETE FOUNDATION (2000 PSI)   |
| ⑩ FENCE CORNER POST BRACE: 1 5/8" DIAZ. EACH CORNER EACH WAY   | ㉒ CORNER POST: CONCRETE FOUNDATION (2000 PSI)   |
| ⑪ 1 1/2" MAXIMUM CLEARANCE FROM GRADE  | ㉓ GATE POST" CONCRETE FOUNDATION (2000 PSI)   |
|  | ㉔ STYMIE LOCK OR EQUIVALENT   |



**ICE BRIDGE FOUNDATION DETAIL**  
 NOT TO SCALE

DESIGNER	DATE	DESCRIPTION
ZDS	01/26/23	ISSUED FOR CLIENT REVIEW
AMD	07/24/23	ISSUED FOR ZONING
AMD	08/15/23	REVISED PER CONCRETE PAD

**SOUTH GLUCKSTADT**  
**FENCE & ICE BRIDGE**  
**DETAILS**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.



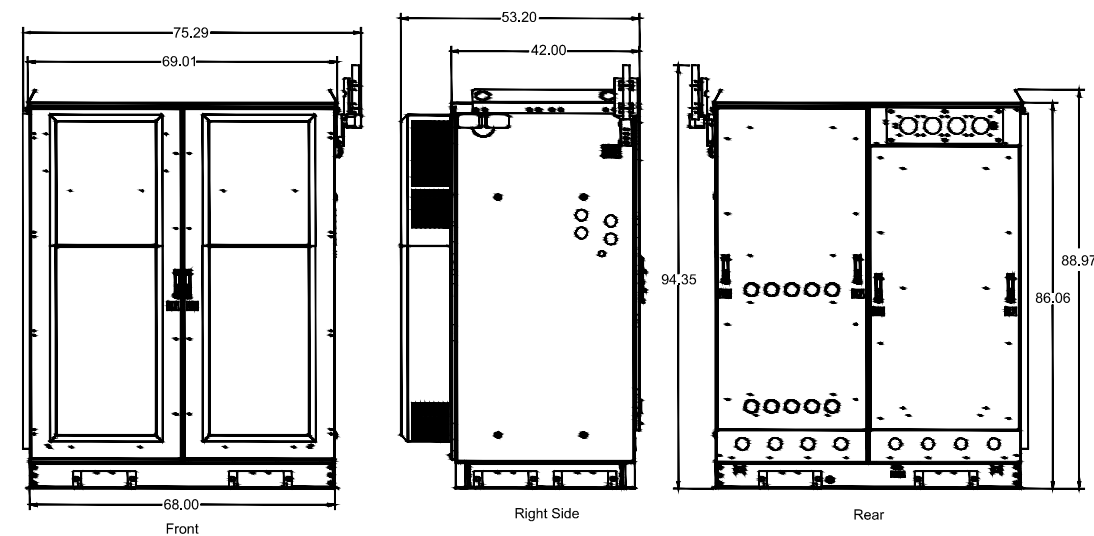
C-9 2



SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)



FIGURE 2.2 ENCLOSURE DIMENSIONS (F2020029) (2-BAY)



Notes:  
 1. All dimensions are in inches.

FIGURE 2.3 ENCLOSURE DIMENSIONS (F2020030) (3-BAY)

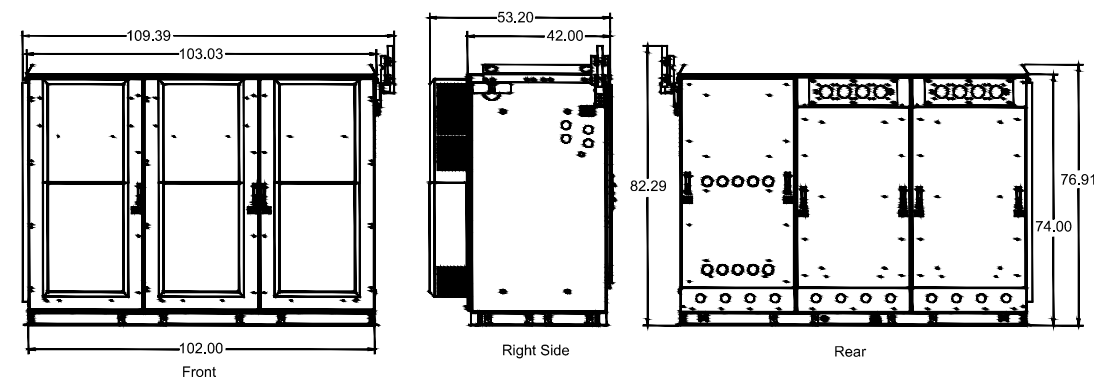
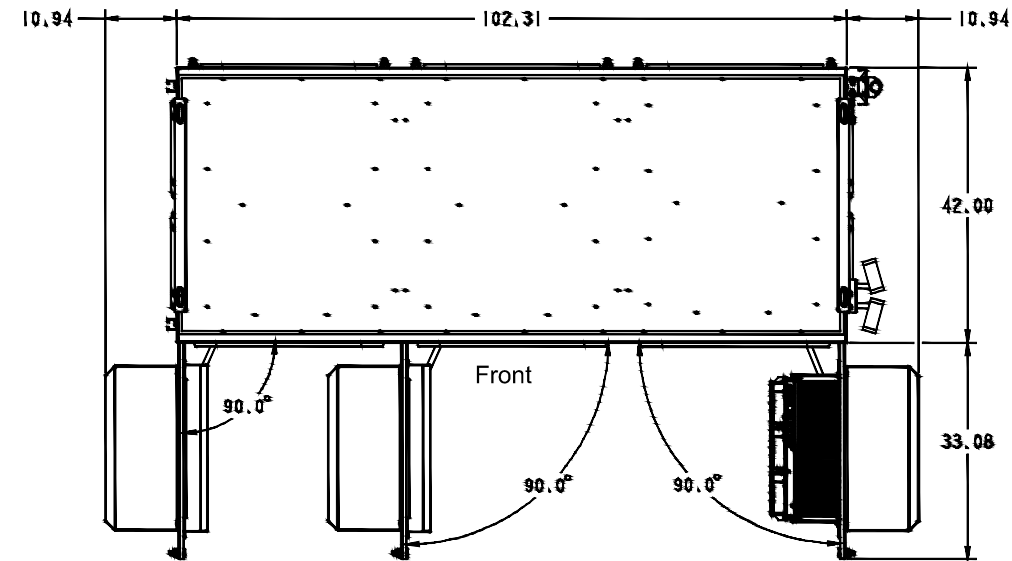
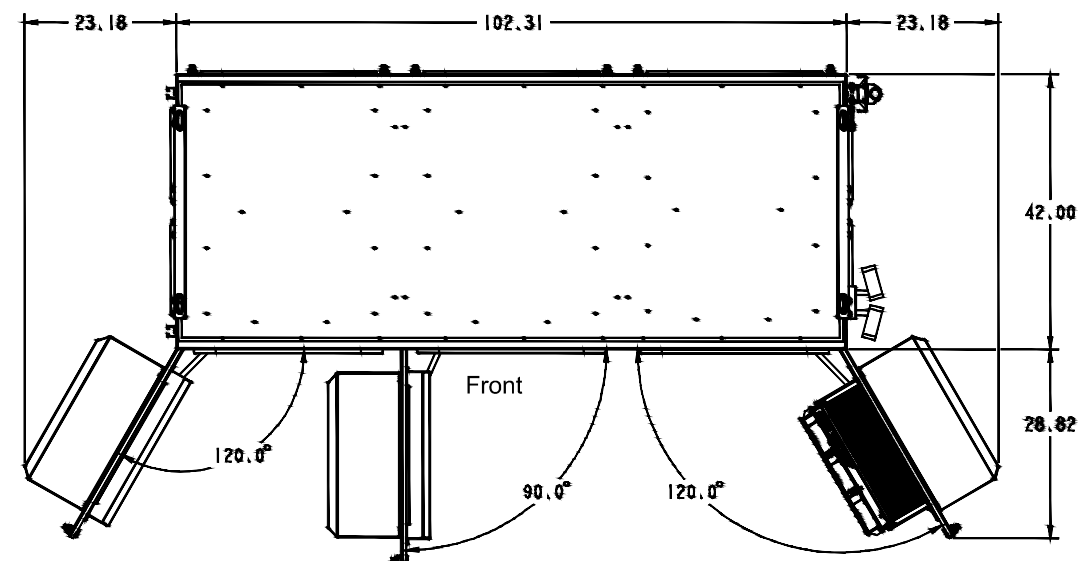


FIGURE 2.5 OVERHEAD VIEW WITH DOOR OPEN (F2020030) (3-BAY)



Notes:  
 1. All dimensions are in inches.



DETAILS BY OTHERS NOTE:  
 DETAILS SHOWN ON THIS PAGE WERE PROVIDED BY OTHERS AND ARE NOT CARRIED UNDER THE SIGNATURE AND SEAL OF SMW AND/OR IT'S ENGINEERS.

FOR REFERENCE ONLY

DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**WALK-UP CABINET (WUC) DETAILS**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
<b>C-10</b>	<b>2</b>



### Vertiv™ NetSure™ X701 Walk Up Cabinet (WUC)

#### Description

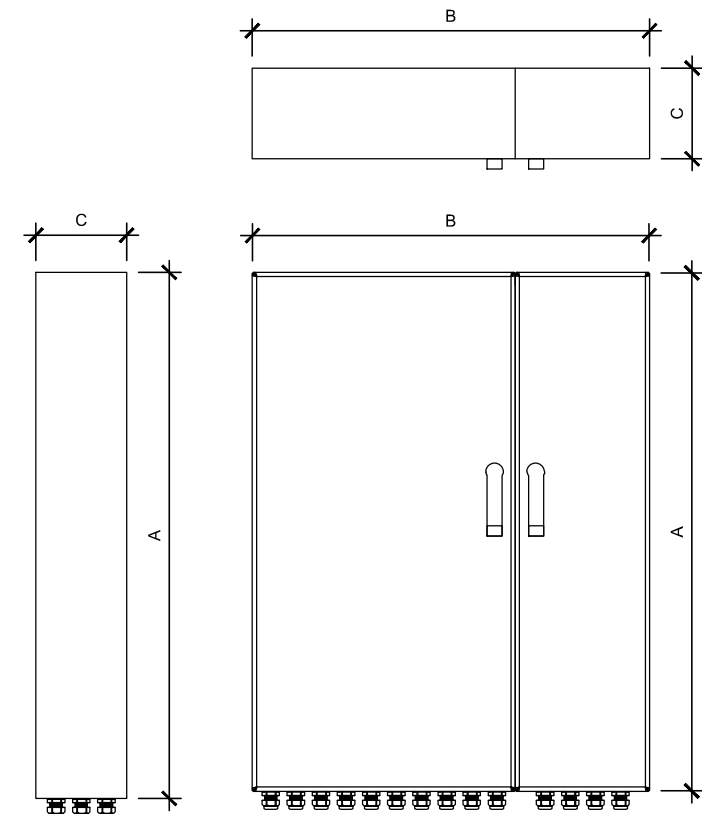
The Vertiv™ NetSure™ X701 provides room for power, batteries, and other sensitive equipment in a single convenient outdoor enclosure. Its aluminum construction provides protection from both vandalism and harsh environmental conditions while still standing up to high winds and seismic events. With up to 15kW of heat dissipation available, the NetSure™ X701 outdoor enclosure is designed to handle ever-increasing heat load requirements at your base station and network edge sites.

- UL 2416 Certified
- Factory-integrated Vertiv™ NetSure™ 512 DC power system supports -48V and -58V DC load requirements
- Battery trays for (3) strings of VRLA batteries up to 210Ah each
- Up to 74RU of available equipment space
- Convenient cable entry and management throughout the enclosure



#### Technical Specifications

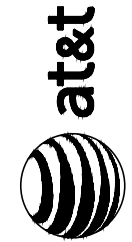
Enclosure		
Two-Bay	Dimensions (H x W x D)	86" x 68" x 54"
	Weight	1300 lbs.
	Equipment Space	43 RU available
	Color	Cool White
	Cabinet Access	Front door and rear panels
Three-Bay	Dimensions (H x W x D)	74" x 102" x 54"
	Weight	1650 lbs.
	Equipment Space	76 RU available
	Color	Cool White
	Cabinet Access	Front door and rear panels
Security		
All handles can accommodate padlock		
Mounting		
Mounting Options	Pad; Platform	
Racks	Adjustable 19" to 23" racks in each equipment chamber	
Electrical		
Input/Output Voltage	208/240VAC single-phase input; -48VDC primary/-58VDC secondary output	
Maximum Input Current	N/A (Generally used w/ customer-provided service entrance transfer switch, generally 200A)	
Environmental		
Operating Temperature	-40°C to 46°C	
Relative Humidity	0% to 95% non-condensing	
Thermal Solutions		
Heat Exchanger	6000 watts in each equipment chamber, 2800 watts in power chamber	
Equipment Chamber		
DC Power	Factory-integrated NetSure 512 system	
AC Outlet	GFI	
Grounding	Ground bar in each chamber	
Standards Compliance		
Safety	UL 2416	
Environment	Designed for Telcordia GR-487	



RAYCAP SPECIFICATIONS				
RAYCAP MODEL	A	B	C	WEIGHT (LBS)
DC50-48-60-96-50F	52.24"	40.0"	9.0"	165.0

DETAILS BY OTHERS NOTE: DETAILS SHOWN ON THIS PAGE WERE PROVIDED BY OTHERS AND ARE NOT CARRIED UNDER THE SIGNATURE AND SEAL OF SMW AND/OR IT'S ENGINEERS.

FOR REFERENCE ONLY

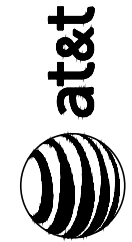


DATE	DESCRIPTION:	DESIGNER:
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

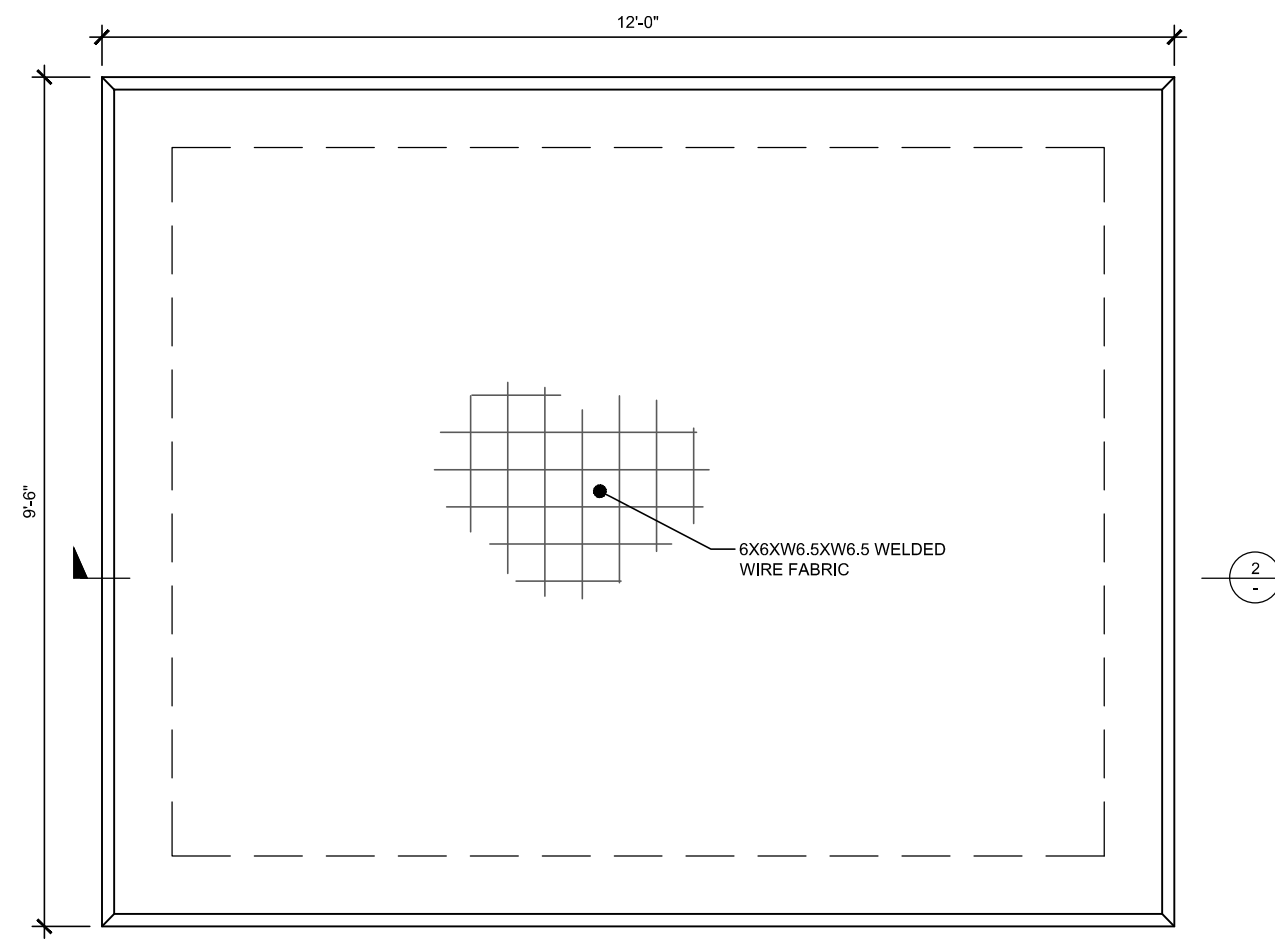
SOUTH GLUCKSTADT  
WALK-UP CABINET  
(WUC) DETAILS

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

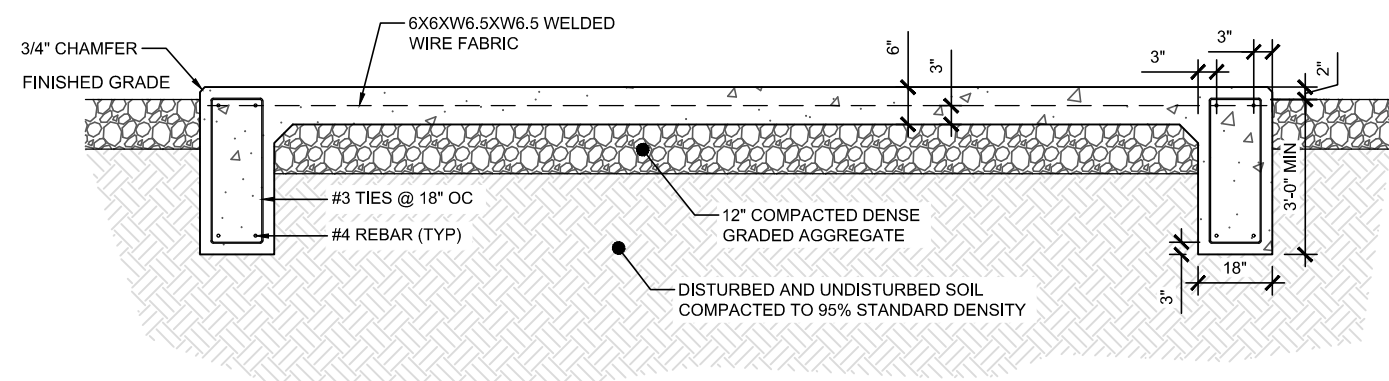
C-10.1 2



SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)



**1 EQUIPMENT FOUNDATION PLAN**  
 SCALE: NOT TO SCALE



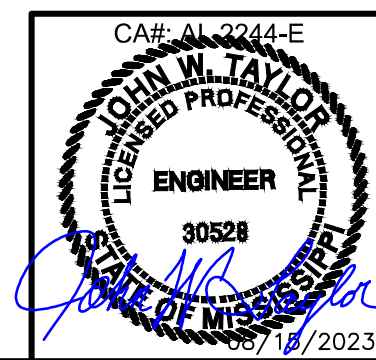
**2 FOUNDATION SECTION**  
 SCALE: NOT TO SCALE

**NOTES:**

1. SLAB TO BE LEVEL ±1/4".
2. FOOTING TO EXTEND A MINIMUM OF 24" BELOW UNDISTURBED SOIL OR 6" BELOW FROST LINE.
3. FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY DESIGN WITH ACTUAL SITE CONDITIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
5. ENGINEER OF ANY DISCREPANCIES.
6. SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
7. SLAB FOUNDATION DESIGNED ASSUMING MAXIMUM SOIL PLASTICITY INDEX OF 27.
8. CONCRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI.
9. CONTRACTOR SHALL VERIFY DIMENSIONS AND BOLT LAYOUT WITH SELECTED SHELTER.

DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**FOUNDATION DETAIL**

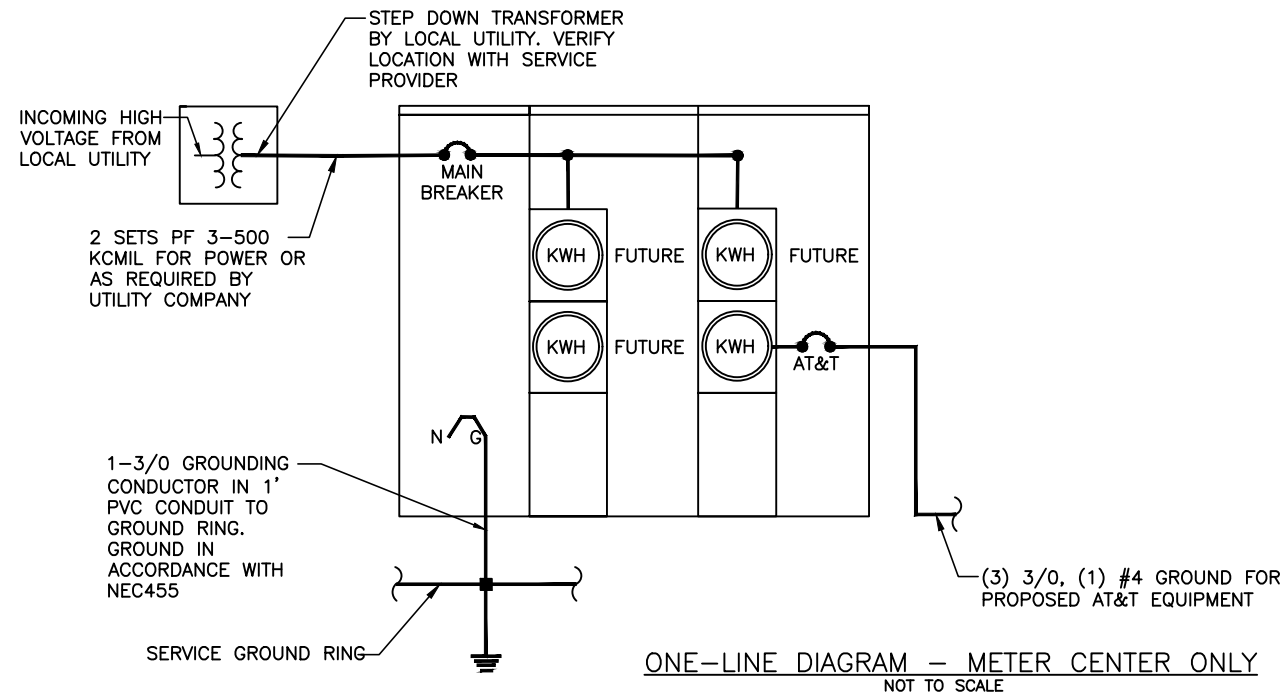


DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
C-11	2

**ELECTRICAL INSTALLATION NOTES**

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR CAPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).

- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.
- THE SUBCONTRACTOR SHALL LABEL THE METER BASE PER LOCAL UTILITY REQUIREMENTS.

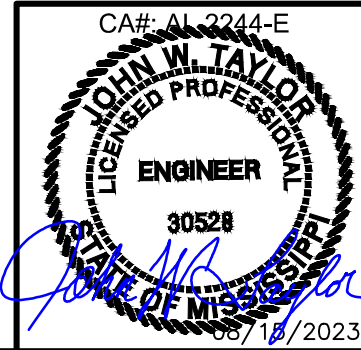


Section 4, Item A)

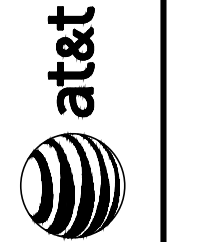
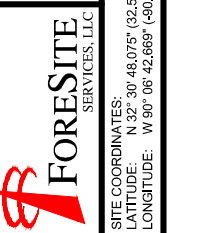
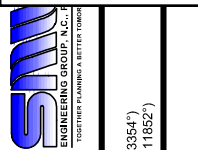


DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**ELECTRICAL SPECS & ONE-LINE DIAGRAM**



DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
E-1	2



DESIGNER	ZDS	ISSUED FOR CLIENT REVIEW	ISSUED FOR ZONING	REVISED PER CONCRETE PAD
DATE	01/26/23	07/24/23	08/15/23	

**SOUTH GLUCKSTADT**  
**ELECTRICAL ONE-LINE**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.



432189  
PANEL, COMBINED, 200A  
30S, ATS, TVSS

CONTRACTOR TO REMOVE BREAKERS & RELOCATE TO NEW PANEL BOARD. EXTEND WIRING AS NEEDED

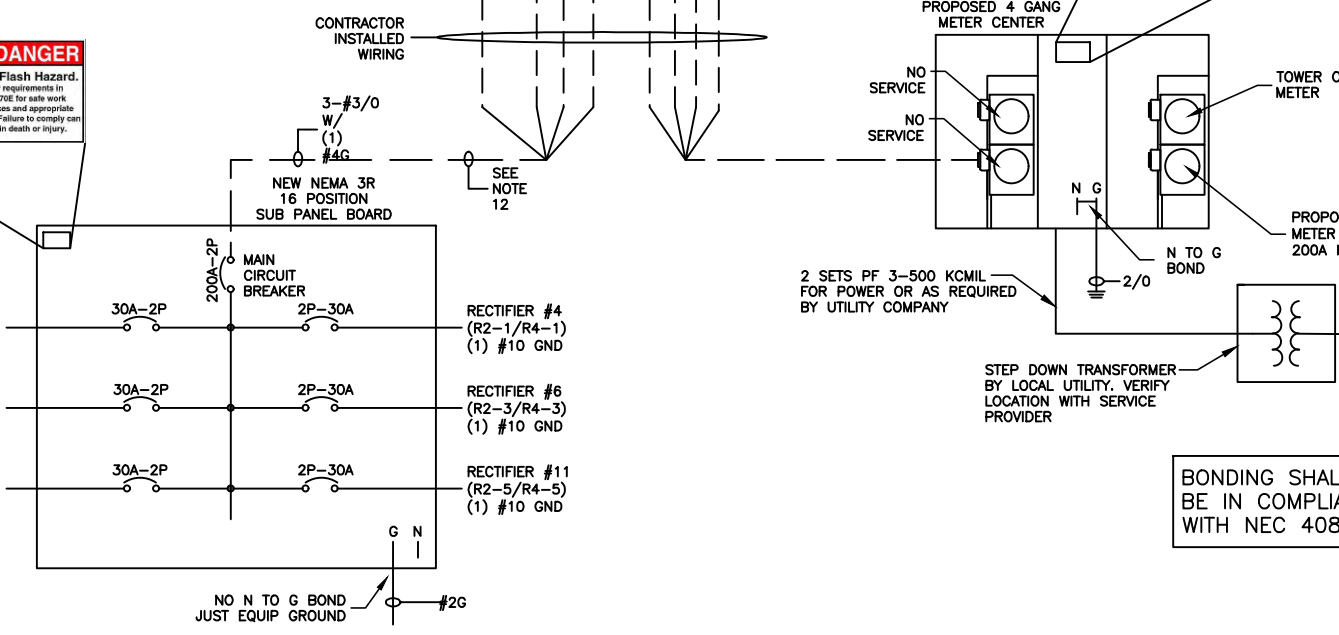
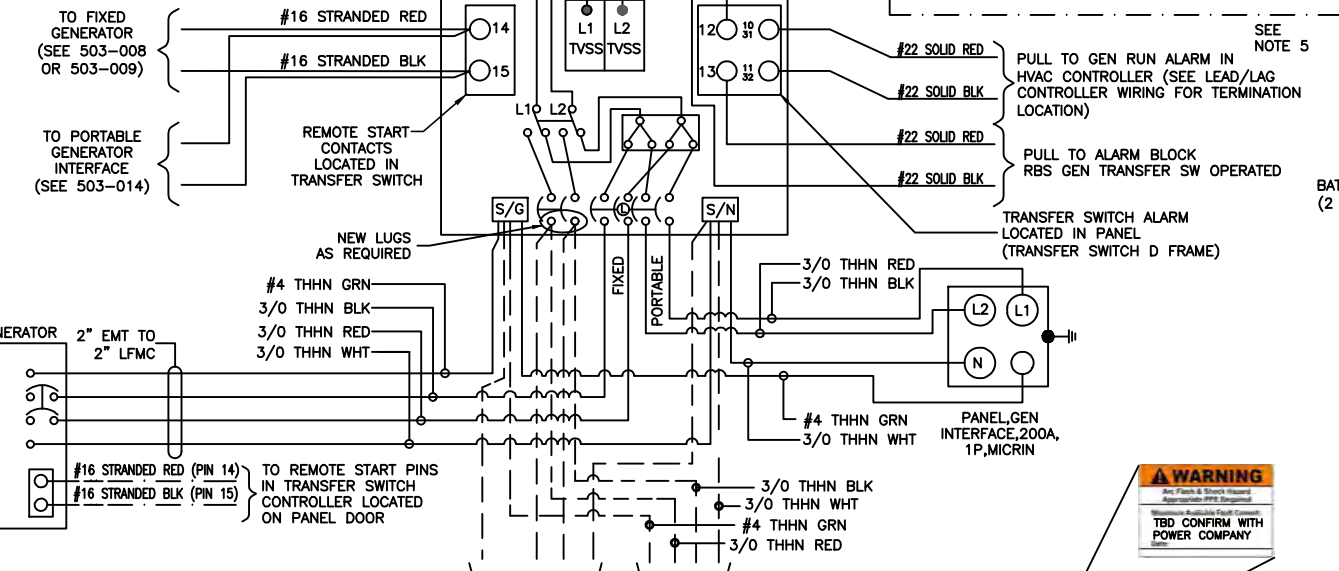
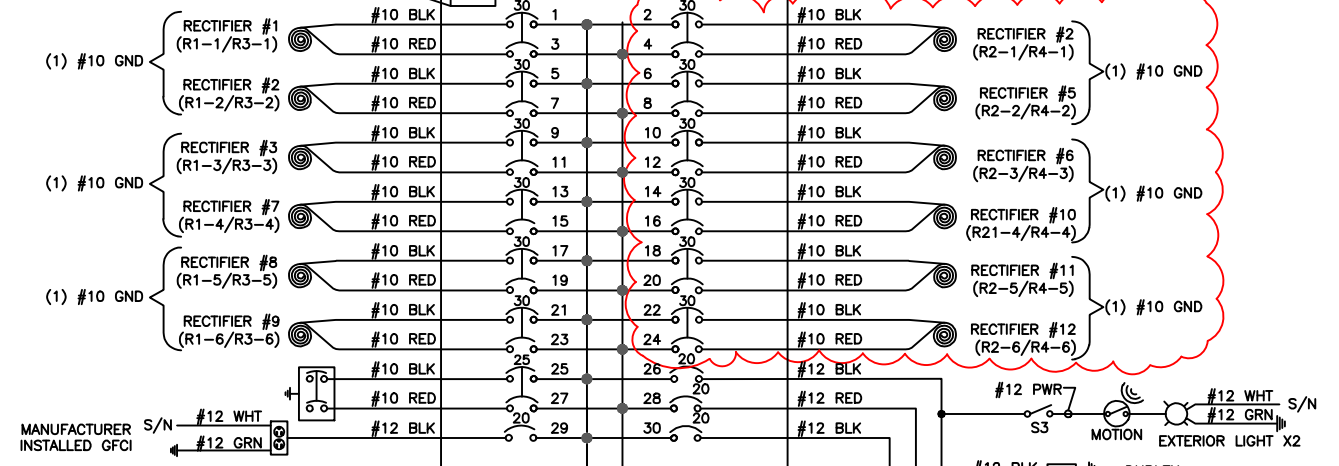
GENERATOR CONNECTED LOAD	19.8KW
NON-GENERATOR CONNECTED LOAD	15KW

**KEY NOTES:**

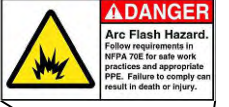
- INSTALL ARC FLASH HAZARD LABEL ON ANY EQUIPMENT WITH AC POTENTIAL NEC 110.16 AND 110.24.
- INSTALL MAXIMUM AVAILABLE FAULT CURRENT (MAFC) LABEL WITH VOLTAGE, PHASE, AND DATE ON SERVICE DISCONNECT, SECONDARY DISCONNECT, AND OR DISTRIBUTION PANEL UNTIL MAFC IS BELOW OCPD KAIC RATING NEC 110.16 AND 110.24.
- FIELD VERIFY EXISTING CONDITIONS AND DOCUMENT ELECTRICAL INFORMATION FOR AS-BUILT PURPOSES AND ANY CHANGES MADE PER THIS SCOPE OF WORK.

**GENERAL NOTES:**

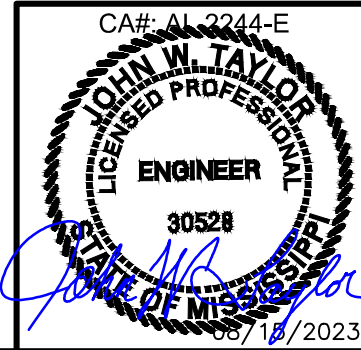
- CONTRACTOR SHALL CONFIRM THAT THE CURRENT ELECTRICAL SYSTEM IS AS SHOWN IN THIS SET OF ELECTRICAL DRAWINGS. CONTRACTOR SHALL EITHER NOTIFY THE ENGINEER OF THE DISCREPANCY OR MAKE THE NECESSARY CORRECTIONS AS REQUIRED.
- ALL CONDUCTORS SHALL BE COPPER, 75 DEGREES C RATED, AND CONDUCTOR INSULATION SHALL BE THWN OR THHN
- ALL TERMINATIONS SHALL BE LISTED AND IDENTIFIED FOR USE WITH 75°C RATED CONDUCTORS OPERATING AT 75°C
- GROUND FAULT PROTECTION REQUIRED FOR UTILITY RECEPTACLES.
- SERVICE NEUTRAL SHALL BE GROUNDED AT ONE LOCATION ONLY.
- WHITE/NEUTRAL, GREEN/GROUND SHALL BE MAINTAINED THROUGHOUT THE SITE ELECTRICAL SYSTEM.
- EQUIPMENT LOCATED OUTSIDE OR EXPOSED TO MOISTURE SHALL BE IN NEMA 3R RATED.
- CONTRACTOR SHALL USE SCHEDULE 80 PVC CONDUIT THROUGHOUT, UNLESS OTHERWISE NOTED.
- ALL NEWLY INSTALLED EQUIPMENT SHALL BE RATED AT 10K AIC MINIMUM. HIGHER RATINGS SHALL BE REQUIRED WHERE AVAILABLE FAULT CURRENT EXCEEDS THIS VALUE. EXACT FAULT CURRENT AVAILABLE SHALL BE COORDINATED WITH LOCAL UTILITY BASED ON EXACT CONDITIONS (XFMR SIZE, PERCENT IMPEDANCE, LENGTH OF CONDUCTORS, ETC, OR AS SHOWN IN THESE DRAWINGS).
- CONTRACTOR TO VERIFY THAT EXISTING POWER FEED IS AT LEAST 200A, 120/240 VAC.
- ELECTRICAL CONTRACTOR TO VERIFY ADDITIONAL/PROPOSED LOADING DOES NOT EXCEED SYSTEM CAPACITY. PLEASE NOTIFY SMW WITH ANY DISCREPANCIES.
- ANY FEEDER TAPS SHALL BE INSTALLED AS REQUIRED TO MEET THE REQUIREMENTS OF NEC SECTION 240.21. NOTE THE SUB PANEL SHALL BE CONNECTED AS SHOWN ON THIS DRAWING TO INCLUDE A MEANS OF DISCONNECT AND OVERCURRENT PROTECTION BY ADDING A TWO POLE MAIN CIRCUIT BREAKER IN A WALL MOUNTED PANEL BOARD WITH ADDITIONAL WIRING AND CONDUIT AS REQUIRED.



GENERATOR 100 AMP BREAKER

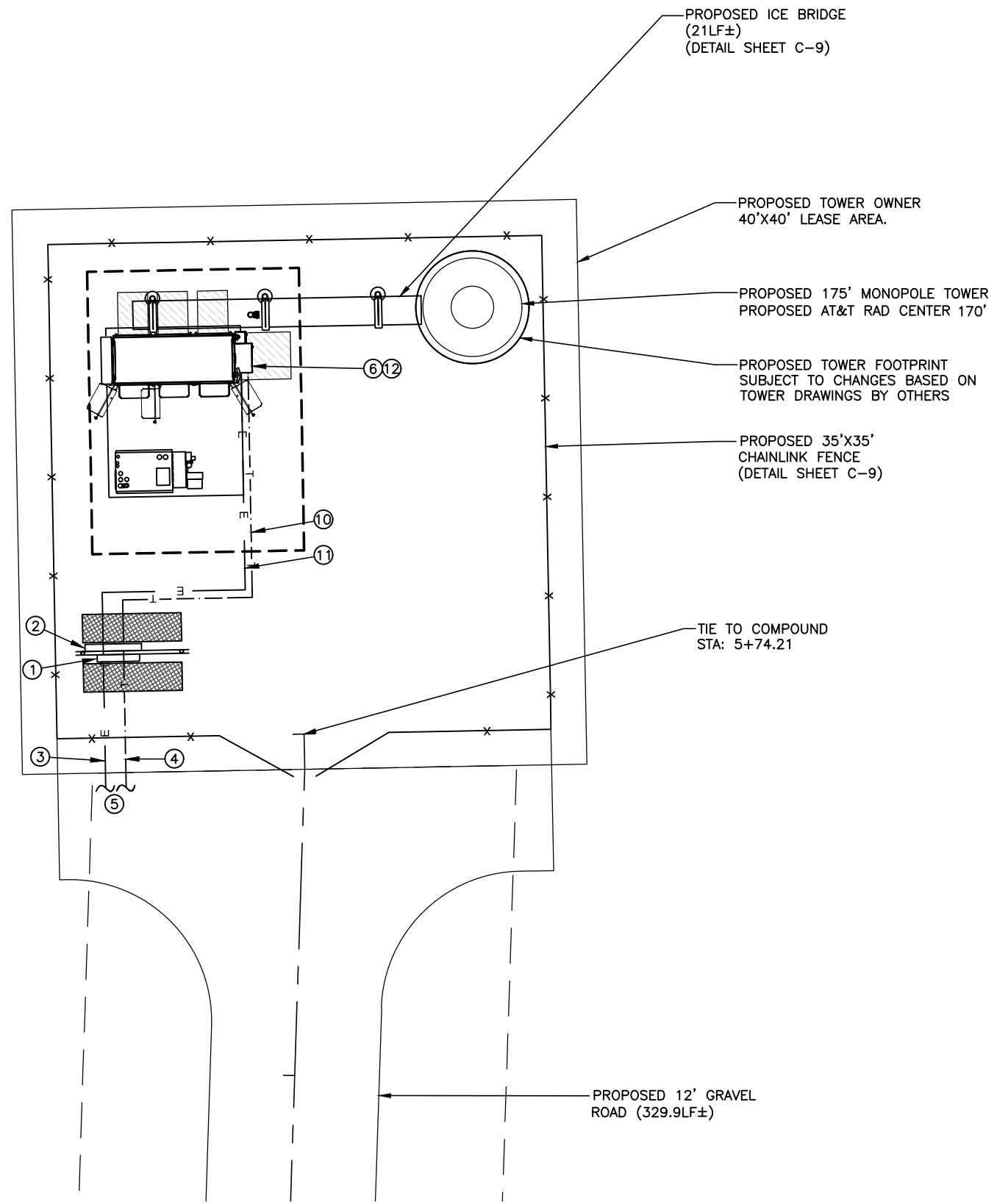
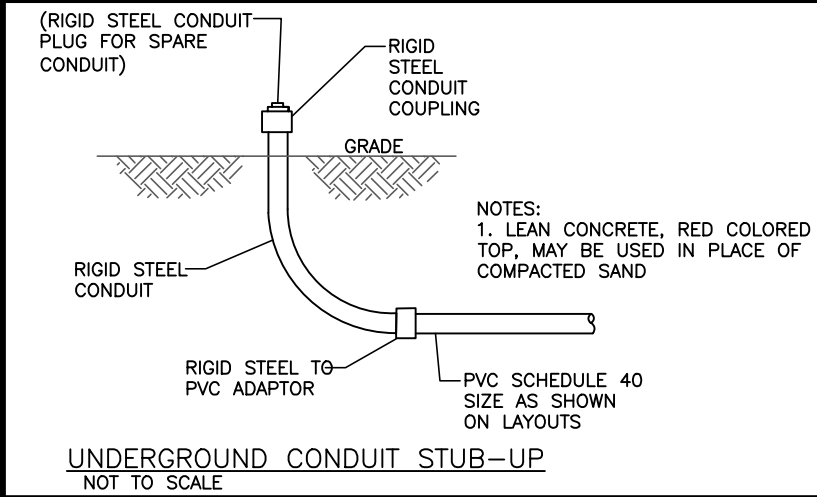
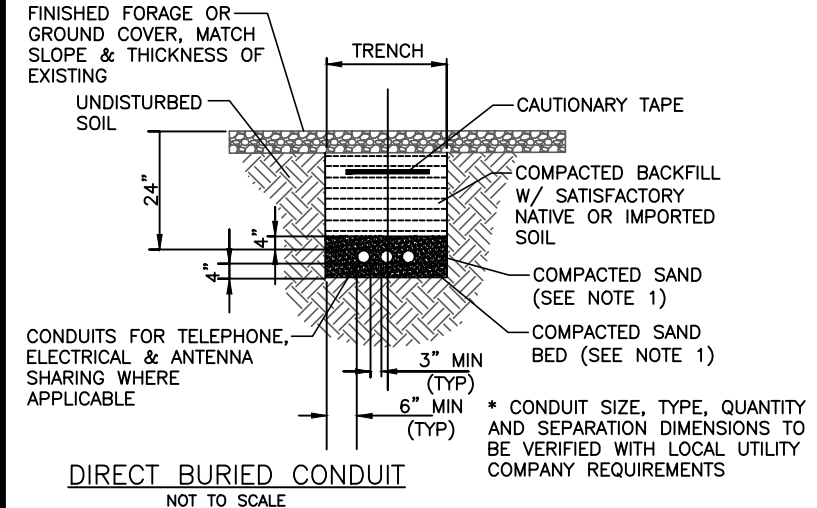


BONDING SHALL BE IN COMPLIANCE WITH NEC 408.40

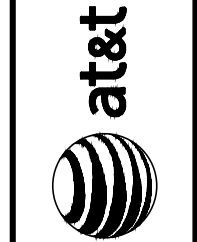
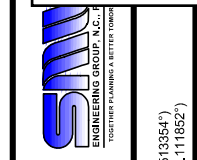
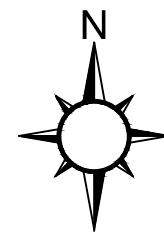


**ELECTRICAL KEY NOTES**

- ① PROPOSED 4 GANG METER PANEL. SEE SHEET E-5 FOR MOUNTING DETAILS. SEE SHEET E-1 FOR ELECTRICAL ONE-LINE DIAGRAM ELECTRICAL KEY NOTES
- ② PROPOSED 48"x48"x12" TELCO CABINET. SEE E-5 FOR MOUNTING DETAILS
- ③ PROPOSED (2) 3" PVC CONDUIT FOR POWER SERVICE
- ④ PROPOSED (1) 4" PVC CONDUIT W/ INNERDUCTS FOR TELCO SERVICE
- ⑤ PROPOSED SERVICE TO BE COORDINATED WITH UTILITY PROVIDER FOR FINAL CONNECTION TO EXISTING UTILITIES
- ⑥ PROPOSED ELECTRICAL LOAD CENTER
- ⑦ PROPOSED CONDUIT FOR TOWER LIGHTING, COORDINATE SIZE WITH MANUFACTURER
- ⑧ PROPOSED 100A RATED NEMA SR. LOAD CENTER FOR TOWER LIGHTING CONTROLS (TYP)
- ⑨ PROPOSED TOWER LIGHTING FLASH CONTROLLER AND PHOTOCELL (TYP)
- ⑩ PROPOSED TRENCH FOR NEW U/G TELCO SERVICES (40'±) (1) 4"Ø PVC W/ (3) 1-1/4" INNERDUCTS AND MULE TAPE FROM NEW COMMUNITY UTILITIES RACK TO NEW AT&T EQUIPMENT CABINET.
- ⑪ PROPOSED TRENCH FOR NEW U/G ELECTRICAL SERVICE (40'±) (1) 2"Ø PVC FROM NEW COMMUNITY UTILITIES RACK TO NEW AT&T EQUIPMENT CABINET.
- ⑫ PROPOSED TELCO ACCESS

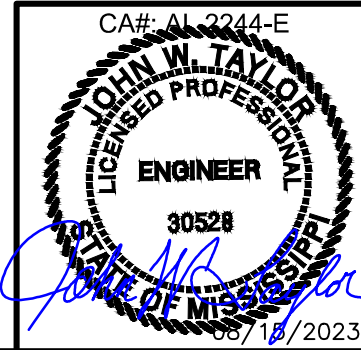


**1** UTILITY SITE PLAN  
**E-2** SCALE: 1" = 10'



DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT**  
**UTILITY SITE PLAN**

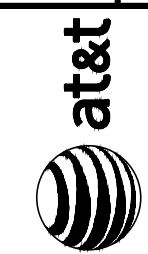


DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	E-2
REV.:	2

TELCO REDLINES TO BE PROVIDED AT LATER DATE



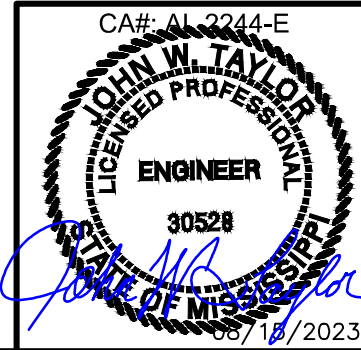
SITE COORDINATES:  
LATITUDE: N 32° 30' 48.075" (32.513954°)  
LONGITUDE: W 90° 06' 42.869" (-90.111852°)



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08/15/23	REVISED PER CONCRETE PAD	AMD

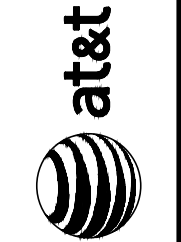
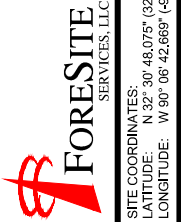
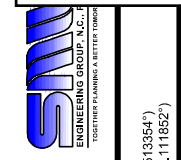
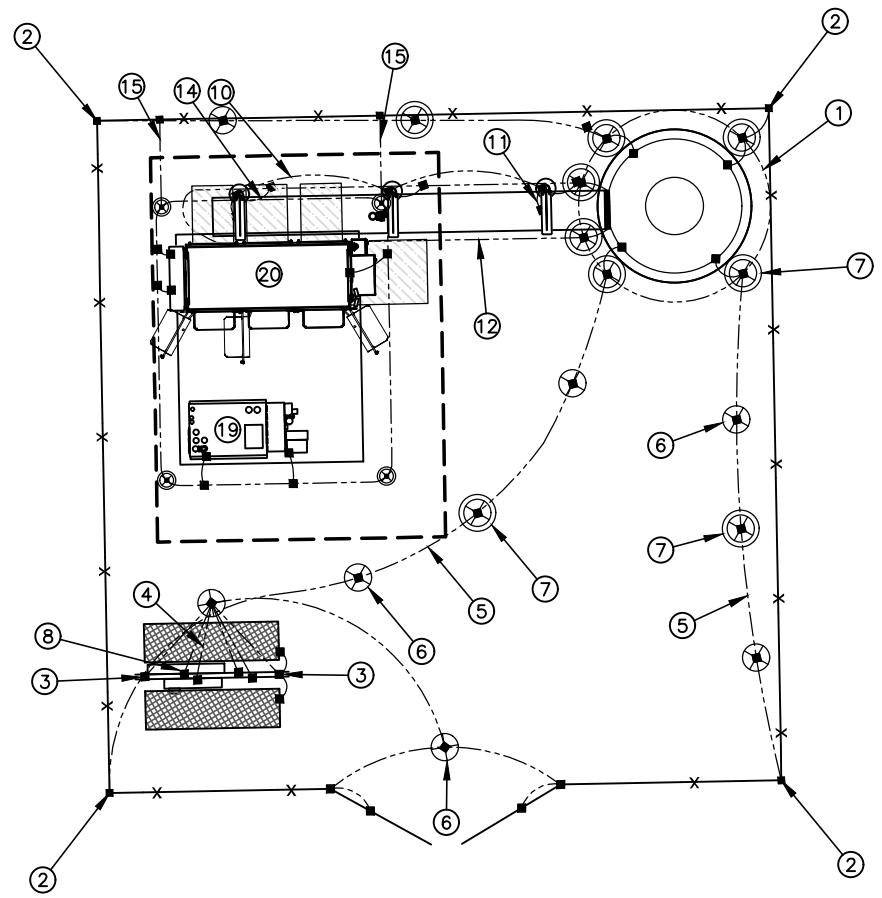
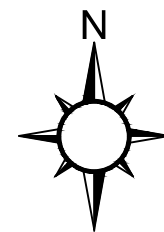
SOUTH GLUCKSTADT  
OVERALL UTILITY SITE  
PLAN

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
E-2.1	2





- ① #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
- ② BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTION (TYP)
- ③ BOND ALL H-FRAME POSTS TO GROUND RING
- ④ BOND TELCO BUSS BAR TO GROUND RING
- ⑤ BOND TOWER BASE PLATE AT EACH LEG TO TOWER GROUND RING PER TOWER OWNER SPECIFICATIONS
- ⑥ PROPOSED GROUND ROD (TYP)
- ⑦ PROPOSED GROUND ROD WITH INSPECTION WELL
- ⑧ 1-#3/0 GROUNDING TO CONDUCTOR IN 1" PVC CONDUIT TO GROUND RING
- ⑨ BOND TOWER LIGHTING CONTROLLER TO GROUND RING PER THE MANUFACTURERS SPECIFICATIONS
- ⑩ #2 AWG GREEN INSULATED JUMPER FROM ICE BRIDGE POST TO GRIPSTRUT
- ⑪ ICE BRIDGE GROUND (POST TO POST)
- ⑫ #2 AWG COPPER GROUND WIRE TO TOWER GROUND RING (TYP x2)
- ⑬ #2 AWG GREEN INSULATED JUMPER AT ICE BRIDGE SPLICES
- ⑭ #2 AWG TINNED COPPER WIRE GROUND FROM ICE BRIDGE POST TO CLOSEST GROUND RING (TYP)
- ⑮ #2 AWG GROUND FENCE POST TO SHELTER OR GENERATOR GROUND RING (TYP)

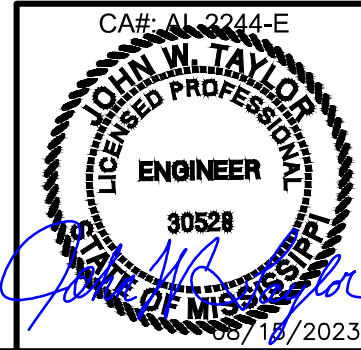


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01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

SOUTH GLUCKSTADT  
GROUNDING SITE PLAN

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

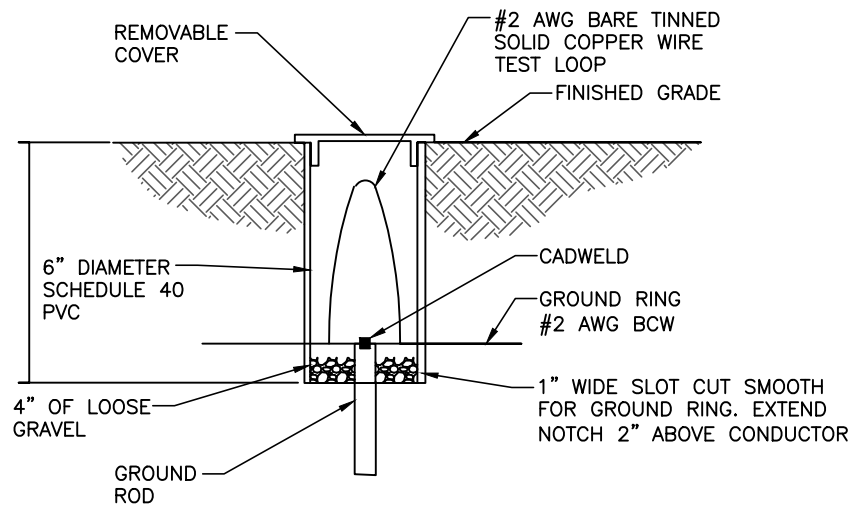
E-3 2



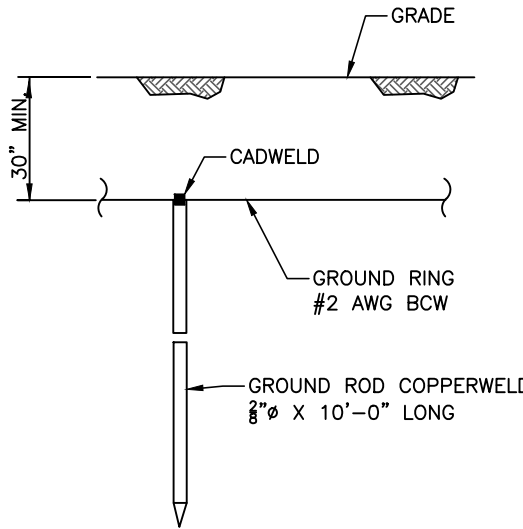
1 GROUNDING SITE PLAN  
E-3 SCALE: 1"=10'



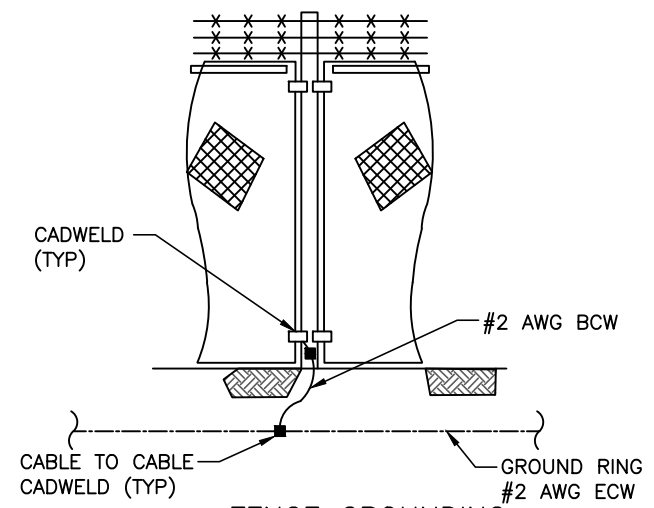
ENGINEERING GROUP, N.C.  
 FORESITE SERVICES, LLC  
 SITE COORDINATES: N 32° 30' 48.075" (32.513954°)  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)



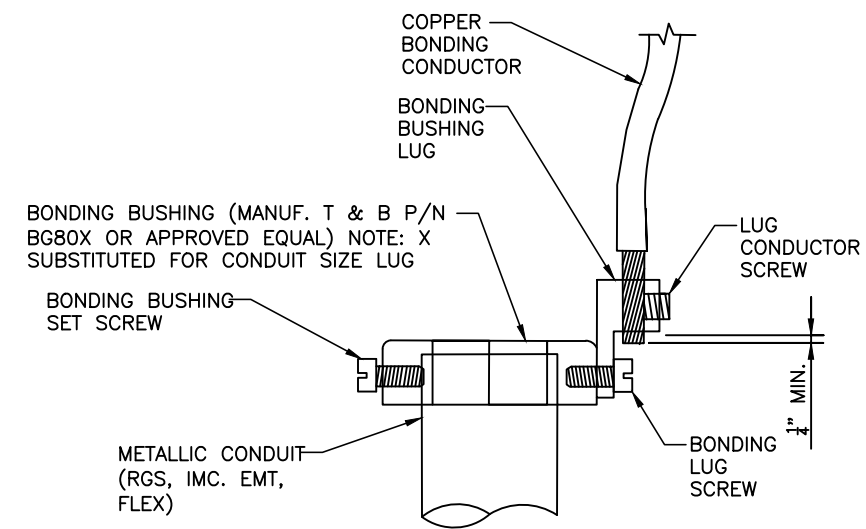
6" GROUND ROD INSPECTION WELL  
 NOT TO SCALE



GROUND ROD DETAIL  
 NOT TO SCALE



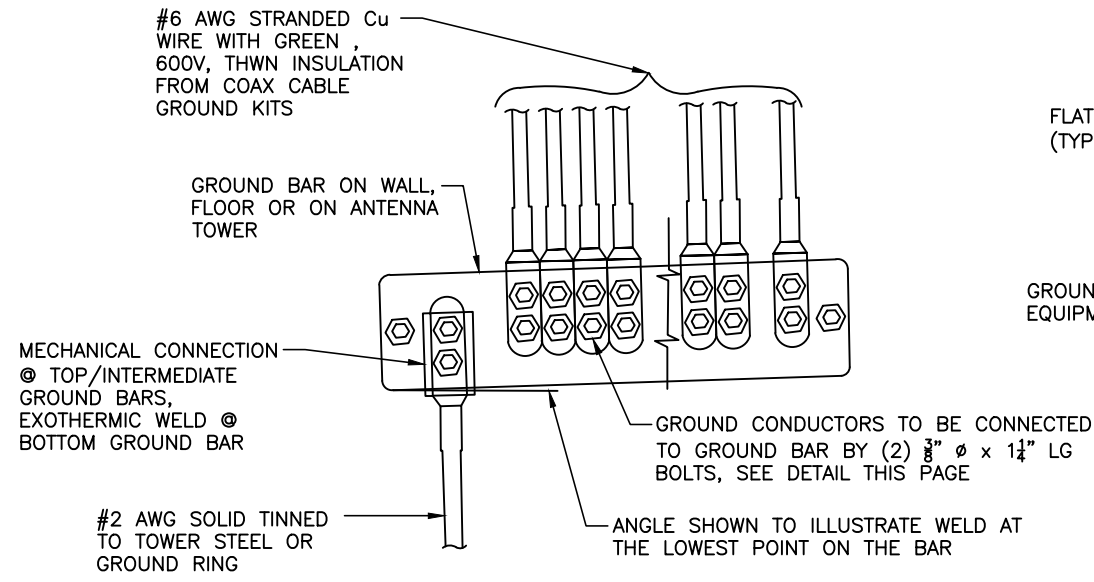
FENCE GROUNDING  
 NOT TO SCALE



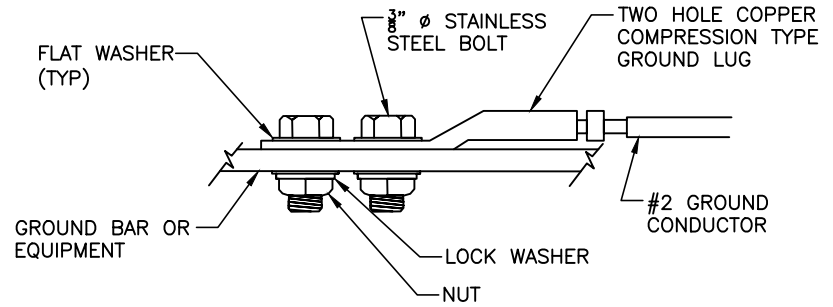
- DIRECTIONS:
1. MOUNT BONDING BUSHING INTO CONDUIT
  2. TIGHTEN BOND BUSHING SET SCREW
  3. INSERT COPPER CONDUCTOR INTO LUG
  4. TIGHTEN LUG CONDUCTOR SCREW
  5. TIGHTEN BONDING LUG SCREW

NOTE: BONDING BUSHING, SET SCREW, LUG, LUG SCREW, CONDUCTORS, LUG SCREW SHOWN AS COMPLETE UNIT

CONDUIT BOND/GROUND BUSHING  
 NOT TO SCALE



INSTALLATION OF GROUND WIRE TO COAX CABLE GROUND BARE  
 NOT TO SCALE



MECHANICAL GROUND CONNECTION  
 NOT TO SCALE

DESIGNER	ZDS	AMD	AMD
ISSUED FOR CLIENT REVIEW			
ISSUED FOR ZONING			
REVISED PER CONCRETE PAD			
DATE	01/26/23	07/24/23	08/15/23

SOUTH GLUCKSTADT

GROUNDING DETAILS



DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

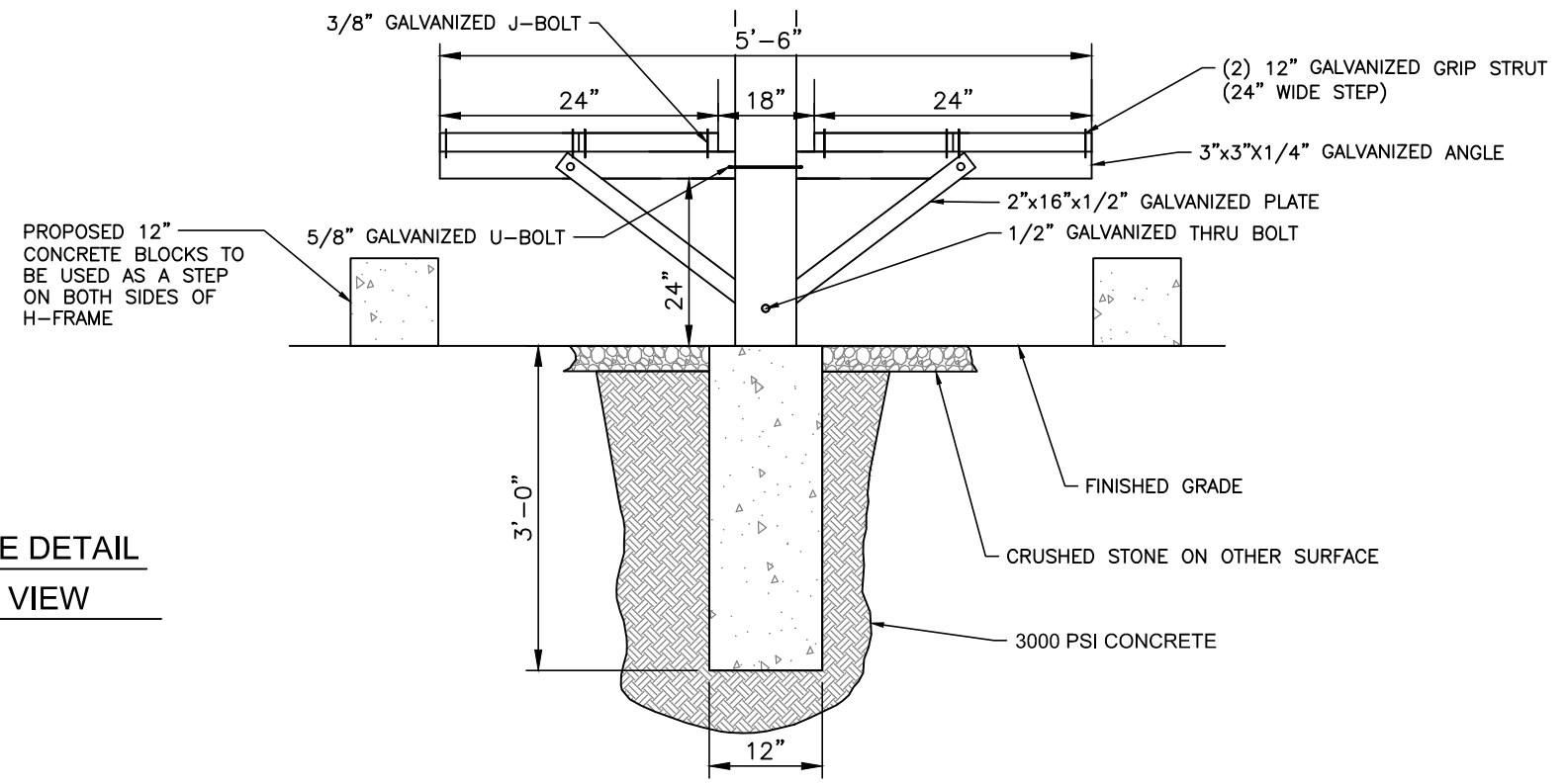
E-4

2

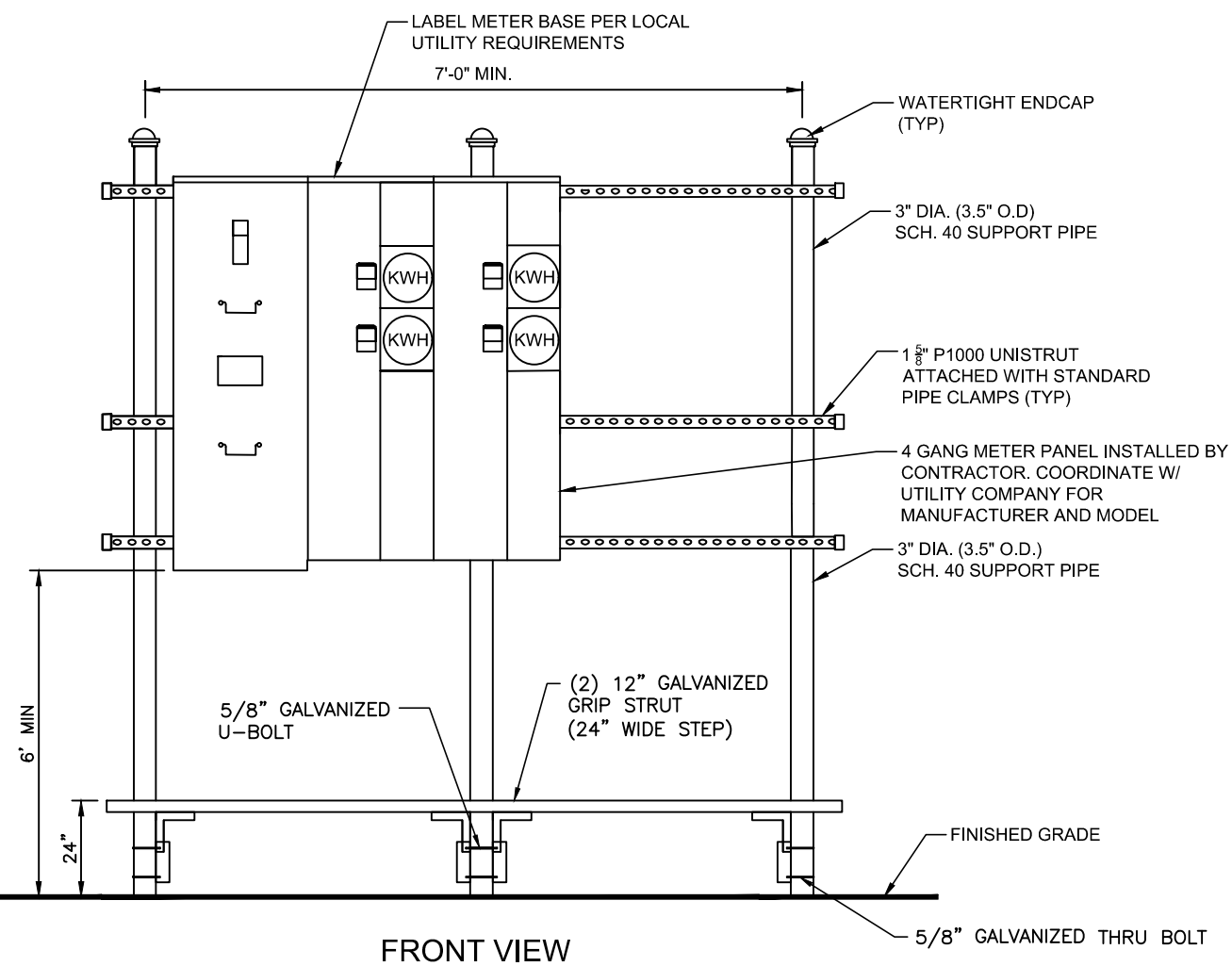


SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)

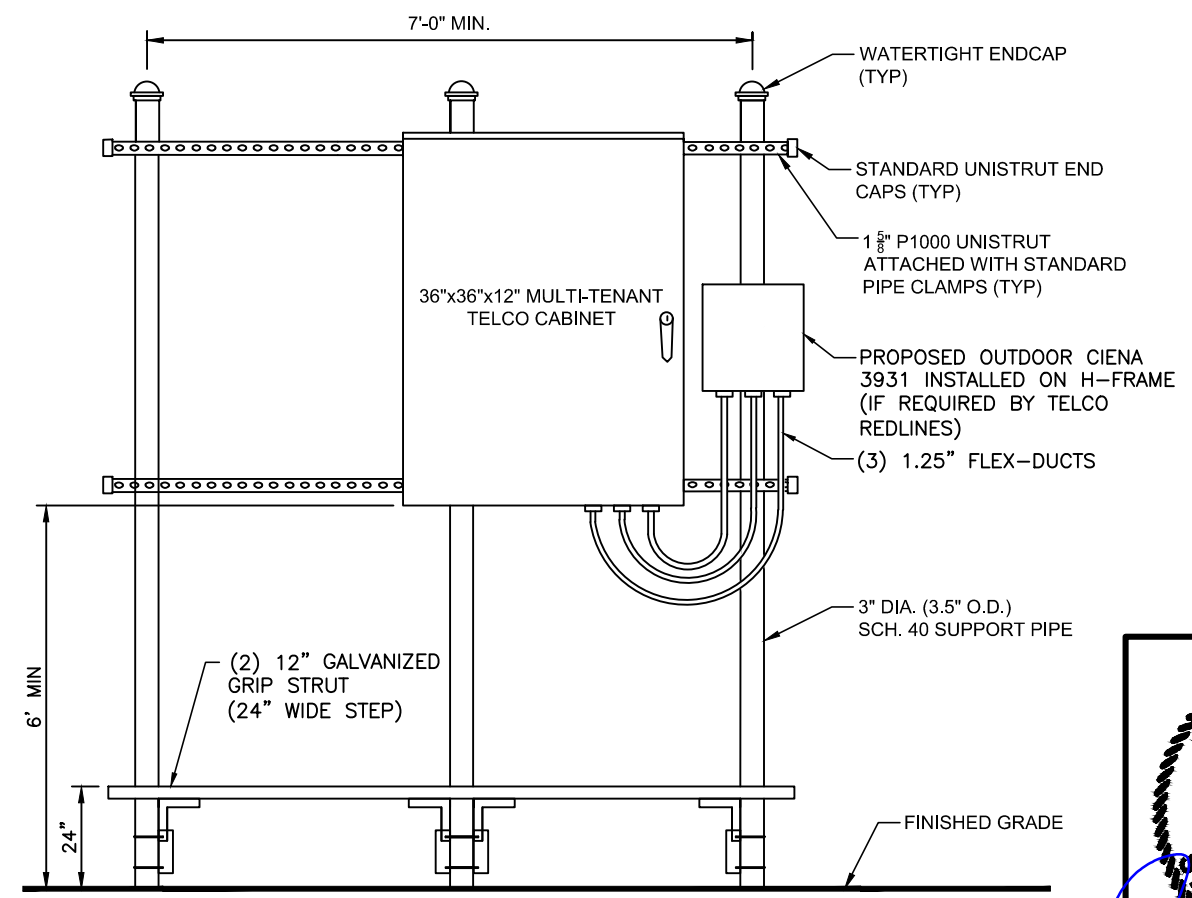
**H-FRAME DETAIL  
 SIDE VIEW**



**FRONT VIEW**



**BACK VIEW**



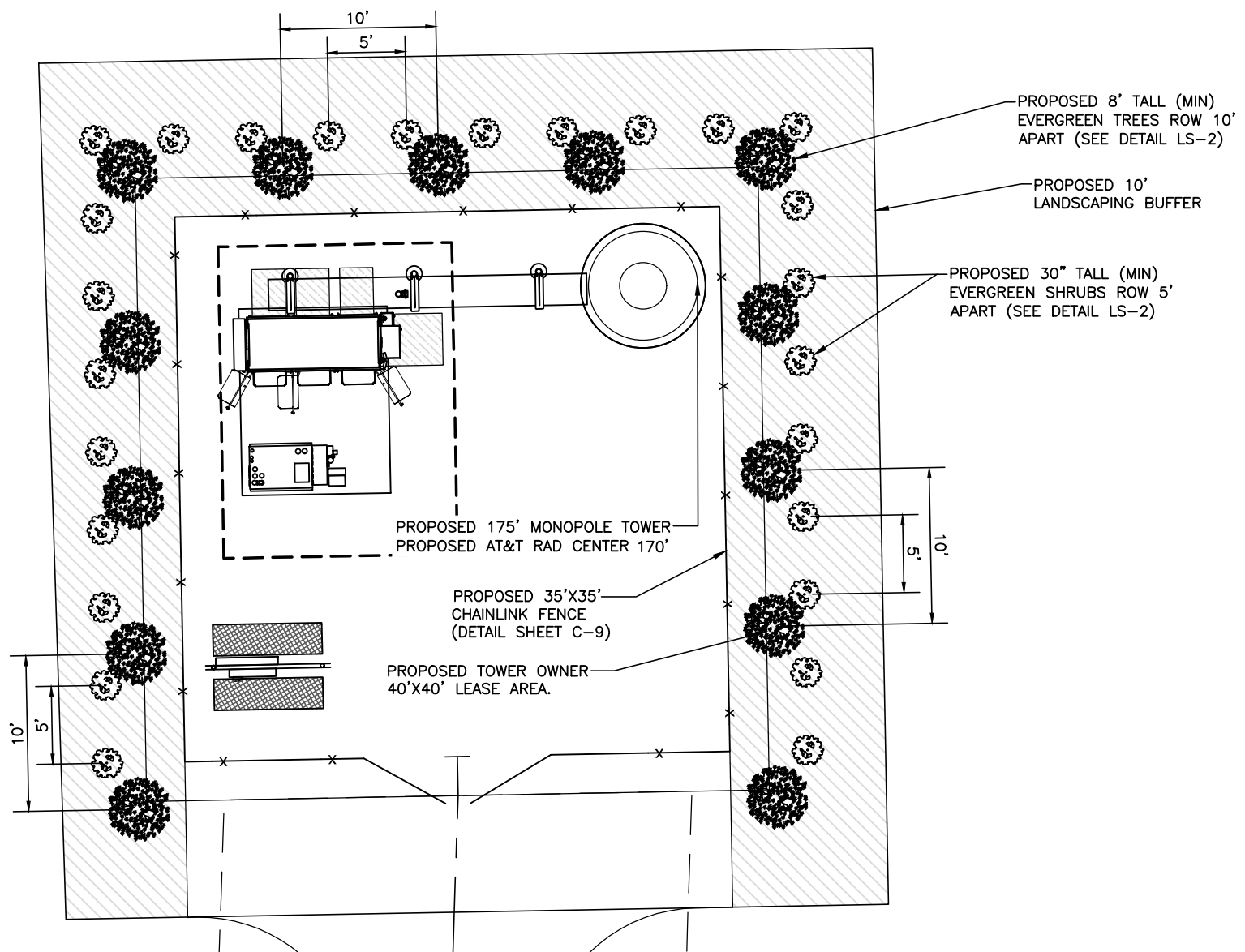
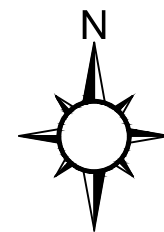
DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

**SOUTH GLUCKSTADT  
 UTILITY FRAME DETAILS -  
 STEP-UP**

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.

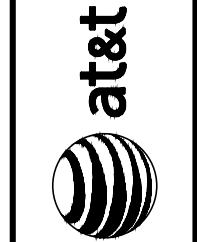
E-5 2

PLANTING SCHEDULE								
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SPACING	SYMBOL	REMARKS
Lc	17	Ilex opaca 'cv' 'Howardi'	American Holly Hybrid	8'	UPRIGHT EVERGREEN	10' MAXIMUM		FULL TO BASE
Ich	57	Ilex crenata 'Helleri'	Helleri Holly	30"	SHRUB EVERGREEN	5'-0" O.C.		B & B OR CONTAINER



1 LANDSCAPING SITE PLAN  
 LB-1 SCALE: 1"=10'

**SMW**  
 ENGINEERING GROUP, N.C.  
 FORESITE SERVICES, LLC  
 SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.669" (-90.111852°)



DATE	DESCRIPTION:	DESIGNER:
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

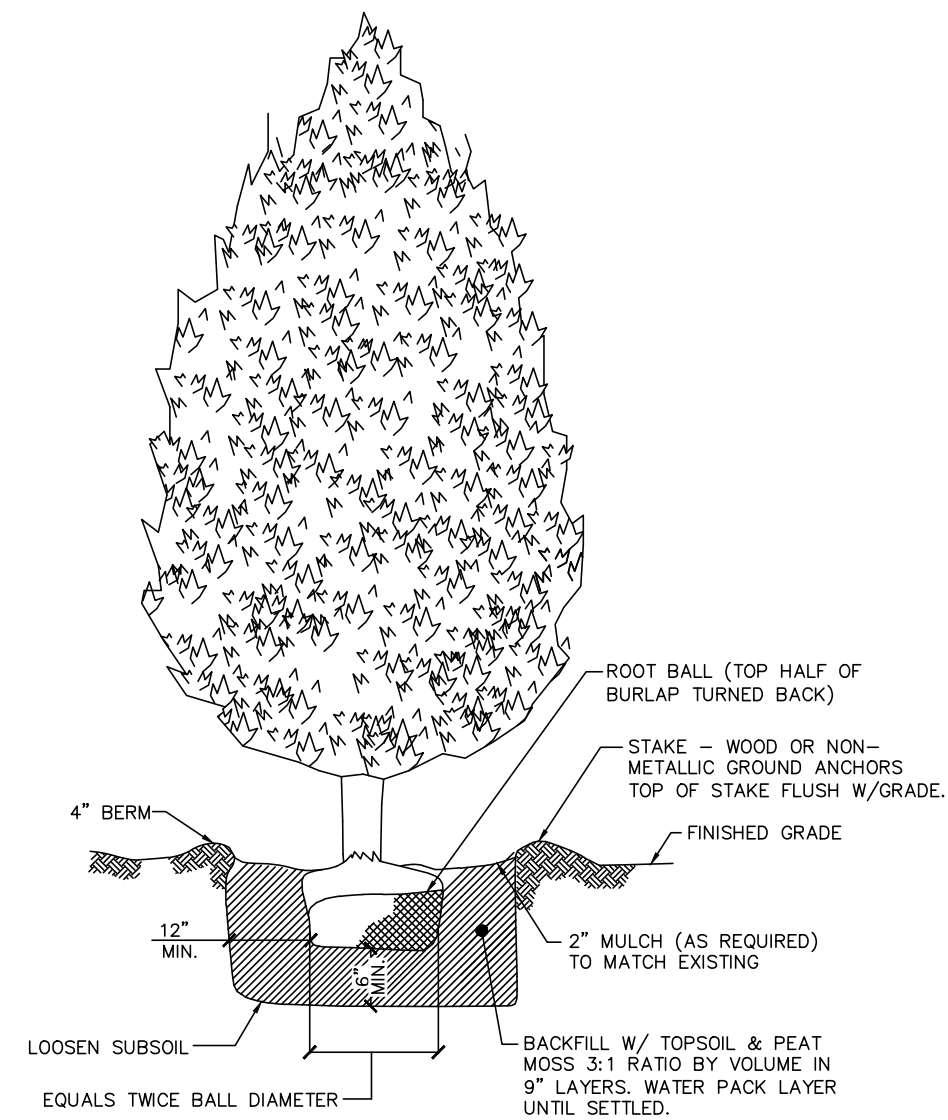
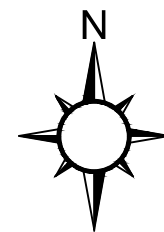
SOUTH GLUCKSTADT  
 LANDSCAPING SITE  
 PLAN

CA#: AL 2244-E  
**JOHN W. TAYLOR**  
 LICENSED PROFESSIONAL  
 ENGINEER  
 30528  
 STATE OF MISSISSIPPI  
 08/15/2023

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.
LS-1	2

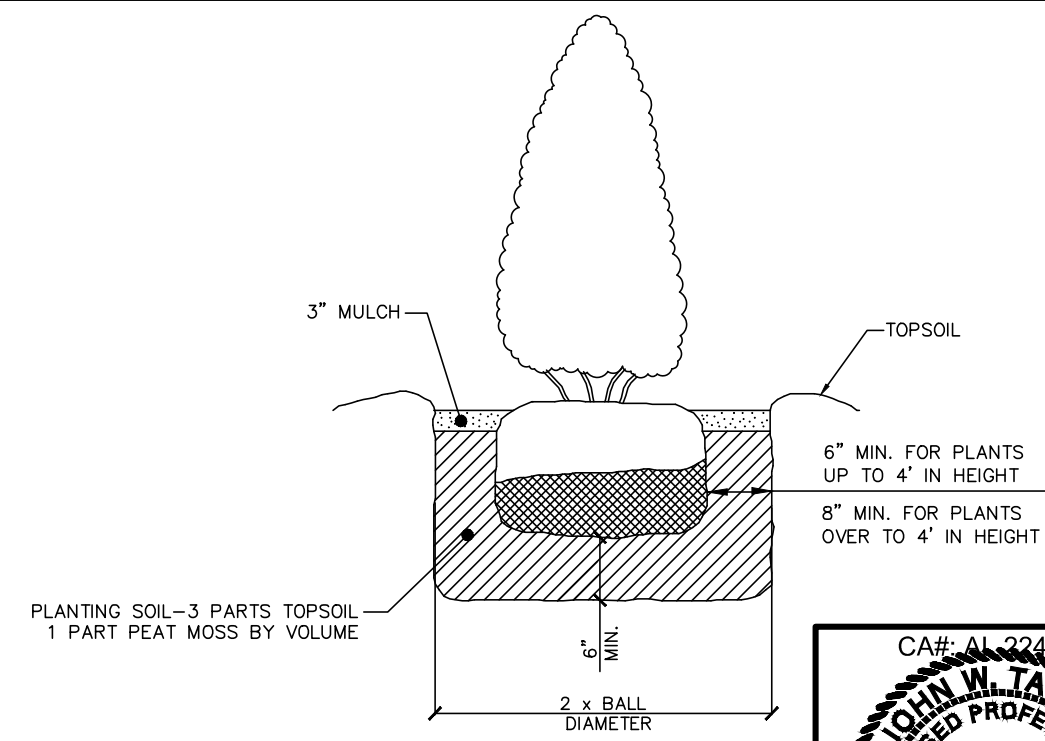


SITE COORDINATES:  
 LATITUDE: N 32° 30' 48.075" (32.513954°)  
 LONGITUDE: W 90° 06' 42.869" (-90.111852°)



EVERGREEN TREE

- NOTES:
1. EVERGREEN TREE SHALL BE MIN. 8'-0" IN HEIGHT AT TIME OF PLANTING.
  2. EVERGREEN SHRUB SHALL BE A MIN. 30" IN HEIGHT AT TIME OF PLANTING



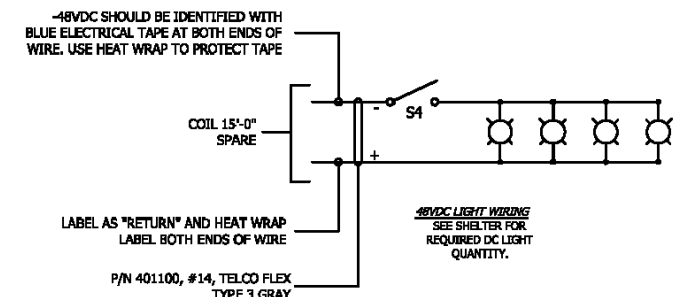
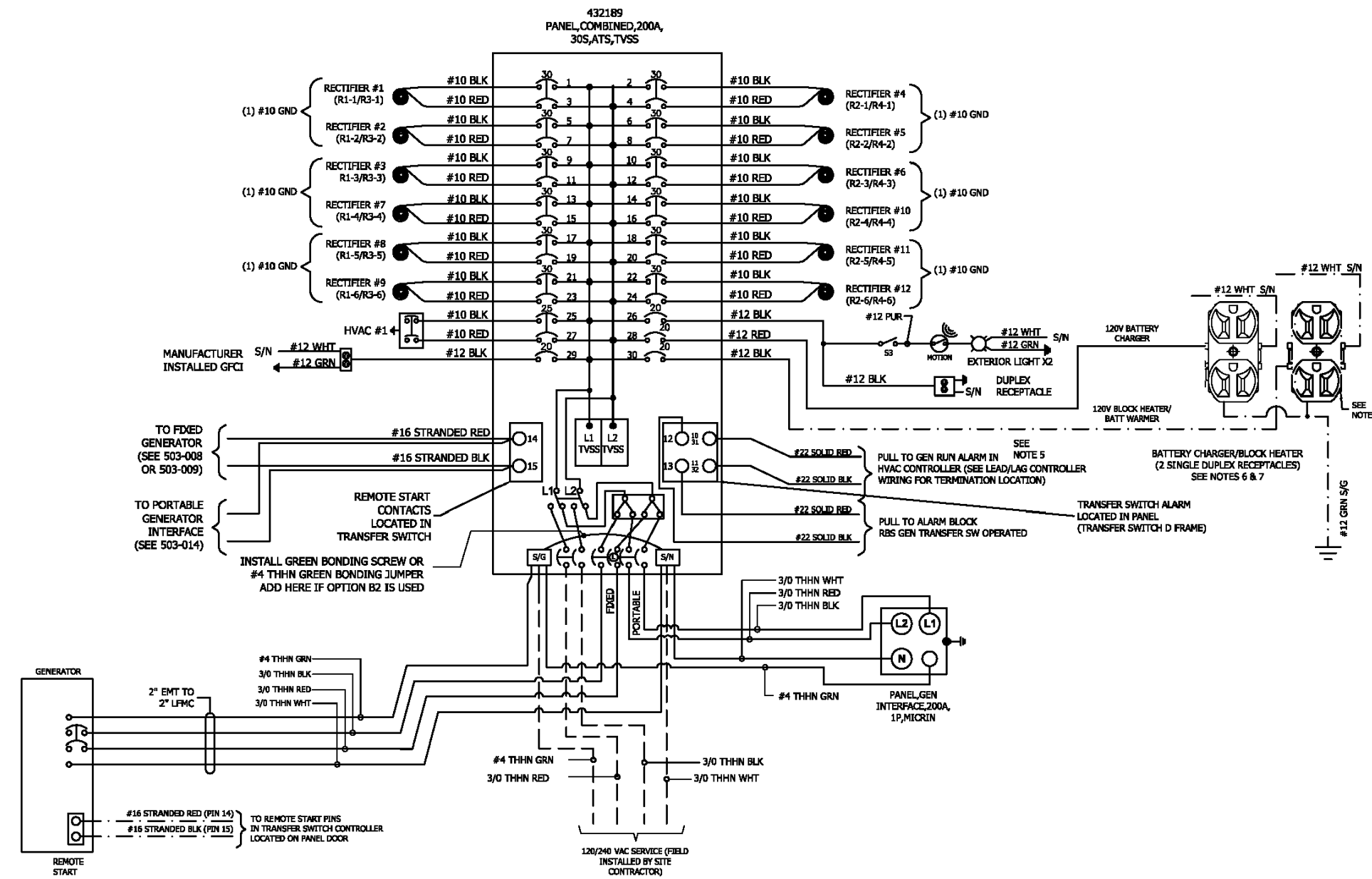
PLANTING SOIL-3 PARTS TOPSOIL  
 1 PART PEAT MOSS BY VOLUME



DATE	DESCRIPTION:	DESIGNER
01/26/23	ISSUED FOR CLIENT REVIEW	ZDS
07/24/23	ISSUED FOR ZONING	AMD
08/15/23	REVISED PER CONCRETE PAD	AMD

SOUTH GLUCKSTADT  
 LANDSCAPING SITE  
 PLAN

DESIGNER:	ZDS
CHECKED BY:	JWT
ENGINEER:	JWT
SMW #:	22-1425
SHEET NO.:	REV.



- NOTES:**
- DO NOT SHARE NEUTRALS UNLESS OTHERWISE SPECIFIED.
  - WHEN AC & DC WIRING IS LOCATED IN THE SAME BOX, ENCLOSURE, OR WIREWAY, WIRES MUST BE LABELED WITH VOLTAGE TYPE.
  - DC VOLTAGE IS NEGATIVE FEED, CHANGE CONNECTION POINTS AT DEVICES SO THAT BLACK WIRES ARE CONNECTED TO POSITIVE(+) TERMINALS AND RED WIRES ARE CONNECTED TO NEGATIVE(-) TERMINALS.
  - ALL WIRES TO BE THHN TYPE RATED 90°C.
  - IF OPTION "R2" (FIKE SYSTEM) IS CHOSEN, PLACE A 15A BREAKER ON CIRCUIT 42. OPTION "Q4" NOT AVAILABLE WITH OPTION "R2".
  - LABEL BREAKERS IN PTLIC PANEL AS FOLLOWS:  
(1) BREAKER "GEN BLOCK HTR & BATT WARMER"  
(1) BREAKER "GEN BATT CHARGER"
  - LABEL EACH RECEPTACLE SAME AS IN PTLIC PANEL.
  - OPTIONAL RECEPTACLE. USE ONLY WHEN REQUIRED.
  - ENSURE NEUTRAL & GROUND ARE NOT BONDED ON GENERATOR.

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**Sabre Industries**  
 Building Systems by Cellixion  
 5031 Hazel Jones Road  
 Bossier City, LA 71111  
 Voice: (318) 213-2900  
 Fax: (318) 213-2919  
 www.sabreindustries.com

CUSTOMER:  
**AT&T MOBILITY**

PROJECT:  
**08'-0" X 14'-0" CONCRETE SHELTER AC ELECTRICAL WIRING DIAGRAM**

FILENAME: SATN72	
SCALE: AS NOTED	TOLERANCE:
DRWN. BY: M. FOWLER	DATE: 10/16/17
CHK. BY: M. FOUJQ.	DATE: 10/16/17
APP. BY: D. BRANNEN	DATE: 10/16/17

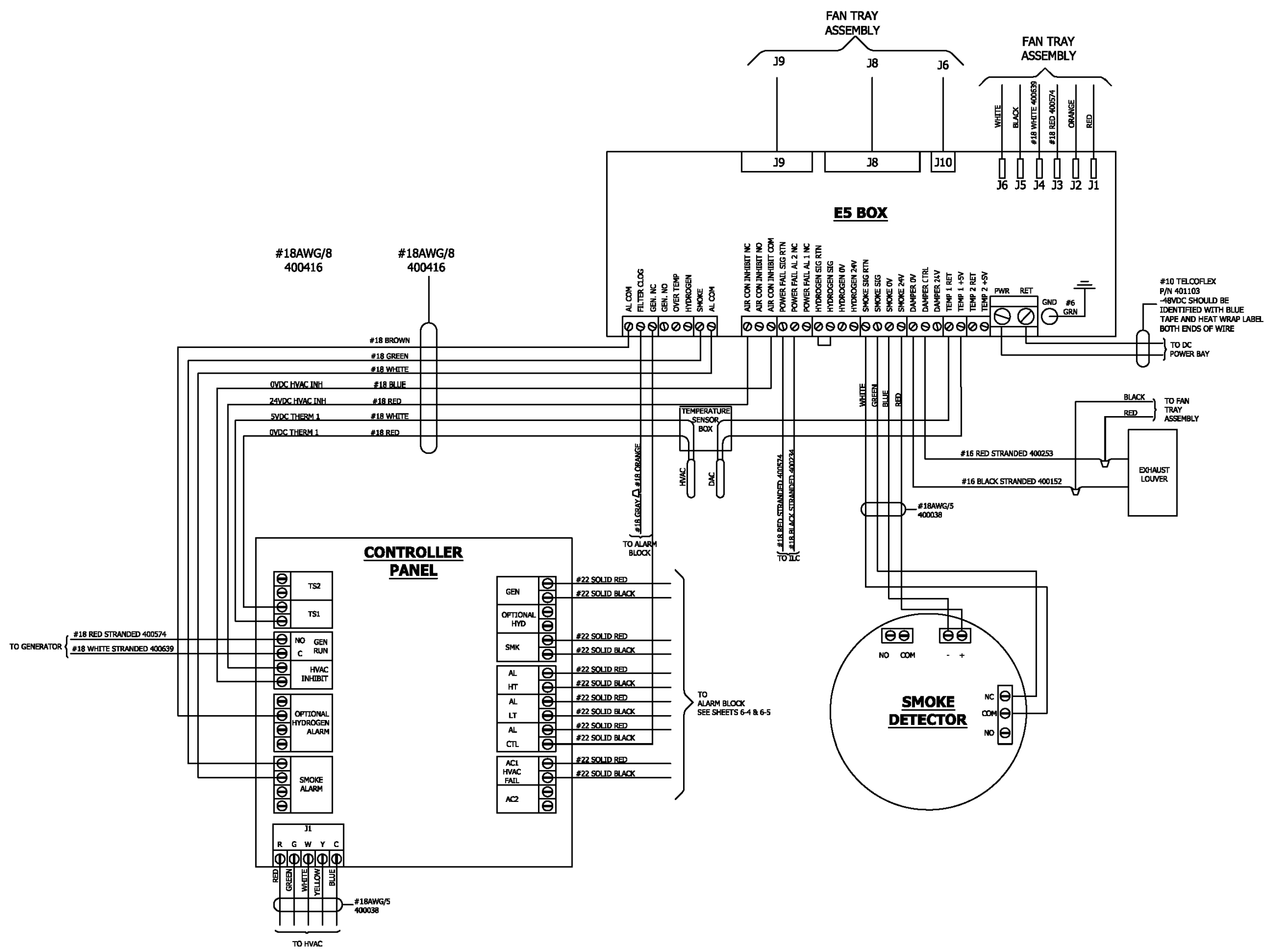
SHEET NO.  
**6-1**

DRAWING NO.:	REV.:
SATN72	C

C	MDF	05/30/18	UPDATED PER CHANGES	M. FOUJQ.	05/31/18
REV	BY	DATE	DESCRIPTION	APP. BY	DATE

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CUSTOMER:  
**AT&T MOBILITY**

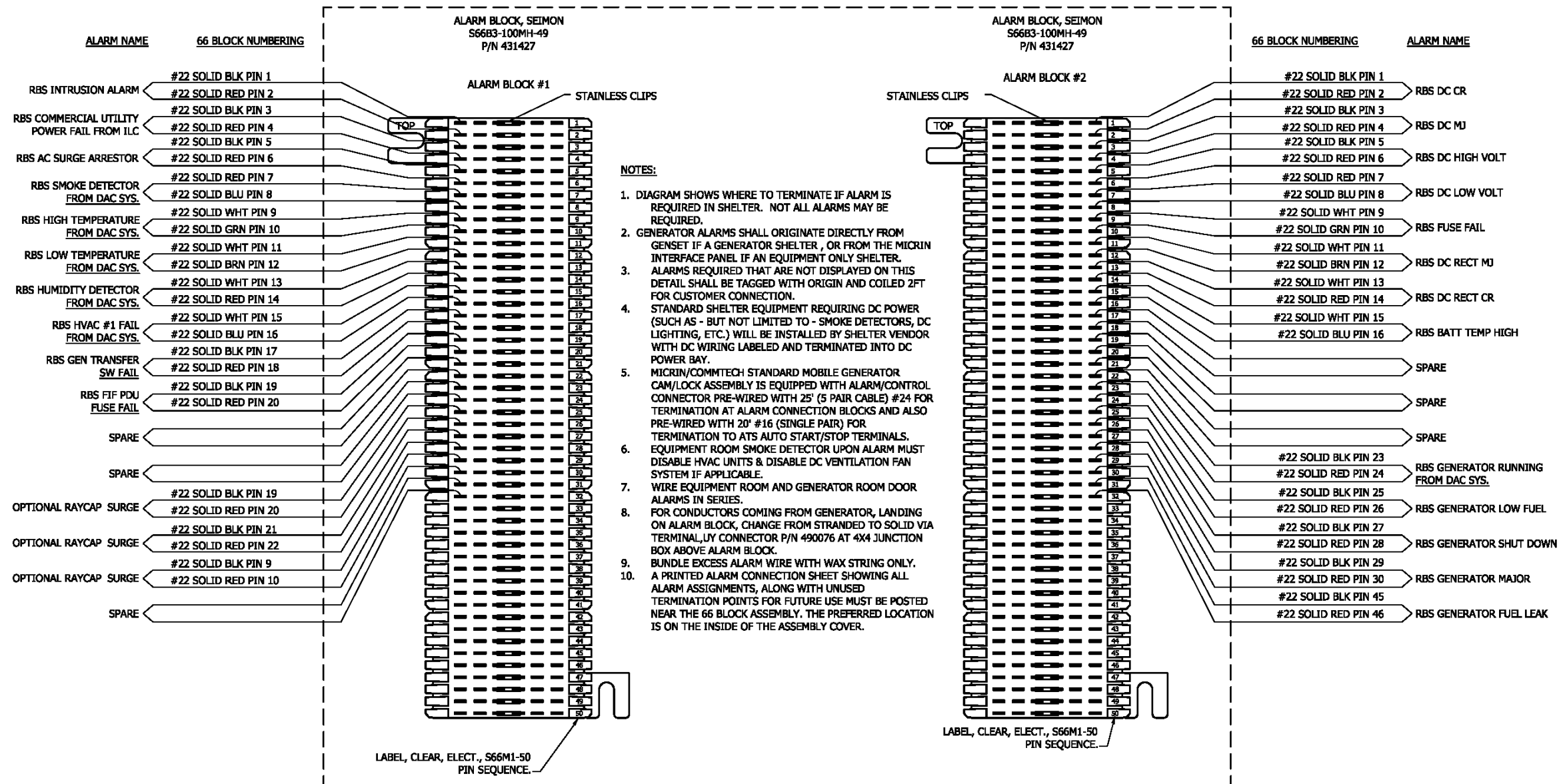
PROJECT:  
**08'-0" X 14'-0" CONCRETE SHELTER DAC SYSTEM WIRING DIAGRAM**

FILENAME: SATN72	
SCALE: AS NOTED	TOLERANCE:
DRWN. BY: M. FOWLER	DATE: 10/16/17
CHK. BY: M. FOUQ.	DATE: 10/16/17
APP. BY: D. BRANNEN	DATE: 10/16/17

SHEET NO.  
**6-3**

DRAWING NO.: SATN72	REV.: C
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**Sabre Industries™**  
 Building Systems by Cellixion  
 5031 Hazel Jones Road  
 Bossier City, LA 71111  
 Voice: (318) 213-2900  
 Fax: (318) 213-2919  
 www.sabreindustries.com

CUSTOMER:  
**AT&T MOBILITY**

PROJECT:  
**08'-0" X 14'-0" CONCRETE SHELTER ALARM BLOCK WIRING DIAGRAM**

FILENAME: SATN72	
SCALE: AS NOTED	TOLERANCE:
DRWN. BY: M. FOWLER	DATE: 10/16/17
CHK. BY: M. FOUQ.	DATE: 10/16/17
APP. BY: D. BRANNEN	DATE: 10/16/17
SHEET NO. 6-5	
DRAWING NO.: SATN72	REV.: C

SABRE INDUSTRIES(TM) PROPRIETARY DOCUMENT



# Model: 20REOZK

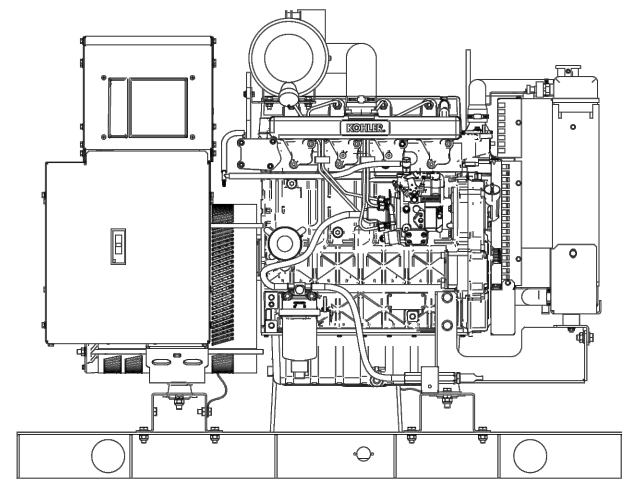
## KOHLER Power Systems

208-600 V Diesel



### Ratings Range

		60 Hz	
Standby:	kW	18.0-23.0	
	kVA	18.0-28.8	
Prime:	kW	16.5-20.0	
	kVA	16.5-25.0	



### Generator Set Ratings

Alternator	Voltage	Ph	Hz	130°C Rise Standby Rating		105°C Rise Prime Rating	
				kW/kVA	Amps	kW/kVA	Amps
4D3.8	120/208	3	60	20.0/25.0	69.4	19.0/23.8	65.9
	127/220	3	60	20.0/25.0	65.6	18.5/23.1	60.7
	120/240	3	60	20.0/25.0	60.1	19.0/23.8	57.1
	120/240	1	60	18.0/18.0	75.0	16.5/16.5	68.8
	139/240	3	60	20.0/25.0	60.1	18.5/23.1	55.6
	220/380	3	60	19.5/24.4	37.0	18.5/23.1	35.1
	277/480	3	60	20.0/25.0	30.1	18.5/23.1	27.8
	347/600	3	60	20.0/25.0	24.1	18.5/23.1	22.3
4D5.0	120/208	3	60	23.0/28.8	79.8	20.0/25.0	69.4
	127/220	3	60	23.0/28.8	75.4	20.0/25.0	65.6
	120/240	3	60	23.0/28.8	69.2	20.0/25.0	60.1
	120/240	1	60	22.0/22.0	91.7	20.0/20.0	83.3
	139/240	3	60	23.0/28.8	69.2	20.0/25.0	60.1
	220/380	3	60	22.0/27.5	41.8	20.0/25.0	38.0
4E3.8	277/480	3	60	23.0/28.8	34.6	20.0/25.0	30.1
	347/600	3	60	23.0/28.8	27.7	20.0/25.0	24.1
4E3.8	120/240	1	60	22.0/22.0	91.7	20.0/20.0	83.3

RATINGS: All three-phase units are rated at 0.8 power factor. All single-phase units are rated at 1.0 power factor. **Standby Ratings:** Standby rating is applicable to varying loads for the duration of a power outage. There is no overload capability for this rating. **Prime Power Ratings:** At varying load, the number of generator set operating hours is unlimited. A 10% overload capacity is available for one hour in twelve. Ratings are in accordance with ISO-8528-1 and ISO-3046-1. For limited running time and continuous ratings, consult the factory. Obtain the technical information bulletin (TIB-101) for ratings guidelines, complete ratings definitions, and site condition derates. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever.

G5-435 (20REOZK) 1/15c

### Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The 60 Hz generator set offers a UL 2200 listing.
- The generator set accepts rated load in one step.
- The 60 Hz generator set meets NFPA 110, Level 1, when equipped with the necessary accessories and installed per NFPA standards.
- The generator set engine is certified to meet the Environmental Protection Agency (EPA) emergency stationary emissions requirements.
- A one-year limited warranty covers all generator set systems and components. Two- and five-year extended limited warranties are also available.
- Alternator features:
  - Kohler's wound field excitation system with its unique PowerBoost™ design delivers great voltage response and short-circuit capability.
  - The brushless, rotating-field alternator has broadrange reconnectability.
- Other features:
  - Kohler designed controllers for guaranteed system integration and remote communication. See Controllers on page 3.
  - The low coolant level shutdown prevents overheating (standard on radiator models only).
  - Integral vibration isolation eliminates the need for under-unit vibration spring isolators.

### Alternator Specifications

Specifications	Alternator
Manufacturer	Kohler
Type	4-Pole, Rotating-Field
Exciter type	Brushless, Wound Field
Leads: quantity, type	12, Reconnectable
	4, 110-120/220-240
Voltage regulator	Solid State, Volts/Hz
Insulation:	NEMA MG1
Material	Class H
Temperature rise	130°C, Standby
Bearing: quantity, type	1, Sealed
Coupling	Flexible Disc
Amortisseur windings	Full
Voltage regulation, no-load to full-load	Controller Dependent
One-step load acceptance	100% of Rating
Unbalanced load capability	100% of Rated Standby Current
Peak motor starting kVA:	(35% dip for voltages below)
480 V	4D3.8 (12 lead)
	54
480 V	4D5.0 (12 lead)
	65
240 V	4E3.8 (4 lead)
	31

- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting.
- Sustained short-circuit current of up to 300% of the rated current for up to 10 seconds.
- Sustained short-circuit current enabling downstream circuit breakers to trip without collapsing the alternator field.
- Self-ventilated and drip-proof construction.
- Windings are vacuum-impregnated with epoxy varnish for dependability and long life.
- Superior voltage waveform from a two-thirds pitch stator and skewed rotor.

### Application Data

#### Engine

Engine Specifications	
Manufacturer	Kohler Diesel
Engine model	KDI2504M
Engine type	4-Cycle, Naturally Aspirated
Cylinder arrangement	4 Inline
Displacement, L (cu. in.)	2.5 (158)
Bore and stroke, mm (in.)	88 x 102 (3.46 x 4.02)
Compression ratio	18:1
Piston speed, m/min. (ft./min.)	367 (1206)
Main bearings: quantity, type	5, Sleeve
Rated rpm	1800
Max. power at rated rpm, kWm (BHP)	29.7 (39.9)
Cylinder head material	Cast Iron
Crankshaft material	Cast Iron
Valve material:	
Intake	Stainless Steel
Exhaust	Stainless Steel
Governor: type, make/model	Stanadyne/Mechanical (or Electronic *)
Frequency regulation, no-load to full-load	Drop (or Isochronous *)
Frequency regulation, steady state	±0.5%
Frequency	Fixed
Air cleaner type, all models	Dry
* Requires available electronic governor option	

#### Engine Electrical

Engine Electrical System	
Battery charging alternator:	
Ground (negative/positive)	Negative
Volts (DC)	12
Ampere rating	50
Starter motor rated voltage (DC)	12
Battery, recommended cold cranking amps (CCA):	
Quantity, CCA rating	One, 650
Battery voltage (DC)	12

#### Fuel

Fuel System	
Fuel supply line, min. ID, mm (in.)	8.0 (0.31)
Fuel return line, min. ID, mm (in.)	6.0 (0.25)
Max. lift, electric fuel pump, m (ft.)	3.0 (10.0)
Max. fuel flow, Lph (gph)	46.0 (12.2)
Max. return line restriction, kPa (in. Hg)	20 (5.9)
Fuel filter	
Prefilter	74 Microns
Primary/Water Separator	5 Microns @ 98% Efficiency
Recommended fuel	#2 Ultra Low Sulfur Diesel

#### Lubrication

Lubricating System	
Type	Full Pressure
Oil pan capacity, L (qt.)	10.7 (10.8)
Oil pan capacity with filter, L (qt.)	11 (11.6)
Oil filter: quantity, type	1, Cartridge
Oil cooler	—

#### Exhaust

Exhaust System	
Exhaust manifold type	Dry
Exhaust flow at rated kW, m <sup>3</sup> /min. (cfm)	6 (212)
Exhaust temperature at rated kW, dry exhaust, °C (°F)	570 (1058)
Maximum allowable back pressure, kPa (in. Hg)	8.5 (2.5)
Exhaust outlet size at engine hookup, mm (in.)	41 (1.6)

## Application Data

### Cooling

Radiator System	
Ambient temperature, °C (°F) *	50 (122)
Engine jacket water capacity, L (gal.)	4.4 (1.6)
Radiator system capacity, including engine, L (gal.)	11.4 (3)
Engine jacket water flow, Lpm (gpm)	56.8 (15)
Heat rejected to cooling water at rated kW, dry exhaust, kW (Btu/min.)	21.6 (1228)
Water pump type	Centrifugal
Fan diameter, including blades, mm (in.)	406 (16.0)
Fan, kWm (HP)	0.6 (0.8)
Max. restriction of cooling air, intake and discharge side of radiator, kPa (in. H <sub>2</sub> O)	0.125 (0.5)

\* Enclosure reduces ambient temperature capability by 5°C (9°F).

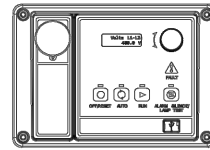
### Operation Requirements

Air Requirements	
Radiator-cooled cooling air, m <sup>3</sup> /min. (scfm) †	36.8 (1300)
Combustion air, m <sup>3</sup> /min. (cfm)	2.1 (74.2)
Heat rejected to ambient air:	
Engine, kW (Btu/min.)	20.4 (1160)
Alternator, kW (Btu/min.)	5.1 (290)

† Air density = 1.20 kg/m<sup>3</sup> (0.075 lbm/ft<sup>3</sup>)

Fuel Consumption		
Diesel, Lph (gph) at % load	Standby Rating	
100%	7.9	(2.1)
75%	6.1	(1.6)
50%	4.3	(1.1)
25%	2.5	(0.7)
Diesel, Lph (gph) at % load	Prime Rating	
100%	7.2	(1.9)
75%	5.7	(1.5)
50%	3.8	(1.0)
25%	2.3	(0.6)

## Controller



### Decision-Maker® 3000 Controller

Provides advanced control, system monitoring, and system diagnostics for optimum performance and compatibility.

- Digital display and menu control provide easy local data access
- Measurements are selectable in metric or English units
- Remote communication thru a PC via network or serial configuration
- Controller supports Modbus® protocol
- Integrated hybrid voltage regulator with ±0.5% regulation
- Built-in alternator thermal overload protection
- NFPA 110 Level 1 capability

Refer to G6-100 for additional controller features and accessories.

Modbus® is a registered trademark of Schneider Electric.

KOHLER CO., Kohler, Wisconsin 53044 USA  
 Phone 920-457-4441, Fax 920-459-1646  
 For the nearest sales and service outlet in the US and Canada, phone 1-800-544-2444  
 KOHLERPower.com

Kohler Power Systems  
 Asia Pacific Headquarters  
 7 Jurong Pier Road  
 Singapore 619159  
 Phone (65) 6264-6422, Fax (65) 6264-6455

Section 4, Item A)

### Additional Standard Features

- Air Cleaner, Heavy Duty
- Alternator Protection
- Battery Rack and Cables
- Closed Crankcase Ventilation
- Oil Drain and Coolant Drain with Hose Barb
- Oil Drain Extension (with enclosure models only)
- Operation and Installation Literature
- Rodent Guards
- Stainless Steel Fasteners on Enclosures

### Available Options

#### Approvals and Listings

- CSA Approval
- UL2200 Listing

#### Enclosed Unit

- Sound Enclosure (with enclosed critical silencer)
- Weather Enclosure (with enclosed critical silencer)
- Stainless Steel Latches and Hinges

#### Open Unit

- Exhaust Silencer, Critical (kit: PA-352663)
- Flexible Exhaust Connector, Stainless Steel

#### Fuel System

- Flexible Fuel Lines
- Fuel Pressure Gauge
- Subbase Fuel Tanks

#### Controller

- Common Failure Relay
- Input/Output Module
- Manual Speed Adjust
- Remote Annunciator Panel
- Remote Emergency Stop
- Run Relay

#### Cooling System

- Block Heater (700 W, 110-120 V)  
Recommended for ambient temperatures below 0°C (32°F).
- Radiator Duct Flange

#### Electrical System

- Alternator Strip Heater
- Battery
- Battery Charger, Equalize/Float Type
- Battery Heater
- Electronic Governor
- Line Circuit Breaker (NEMA type 1 enclosure)
- Line Circuit Breaker with Shunt Trip (NEMA type 1 enclosure)

#### Miscellaneous

- Air Cleaner Restriction Indicator
- Engine Fluids Added
- Rated Power Factor Testing

#### Literature

- General Maintenance
- NFPA 110
- Overhaul
- Production

#### Warranty

- 2-Year Basic Limited
- 5-Year Basic Limited
- 5-Year Comprehensive Limited

#### Other Options

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

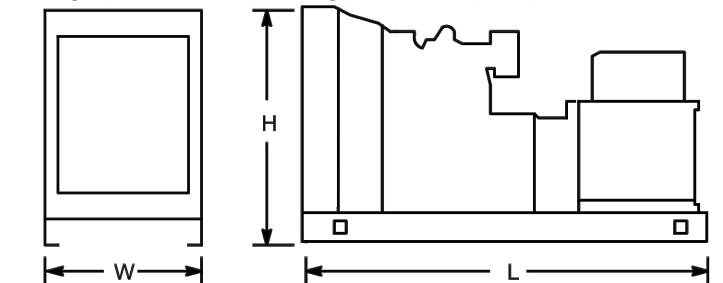
### Dimensions and Weights

Overall Size, L x W x H, mm (in.):

Open Unit Skid: 1400 x 813 x 1107 (55.1 x 32.0 x 43.6)

Enclosure Skid: 1938 x 813 x 1174 (76.5 x 32.0 x 47.0)

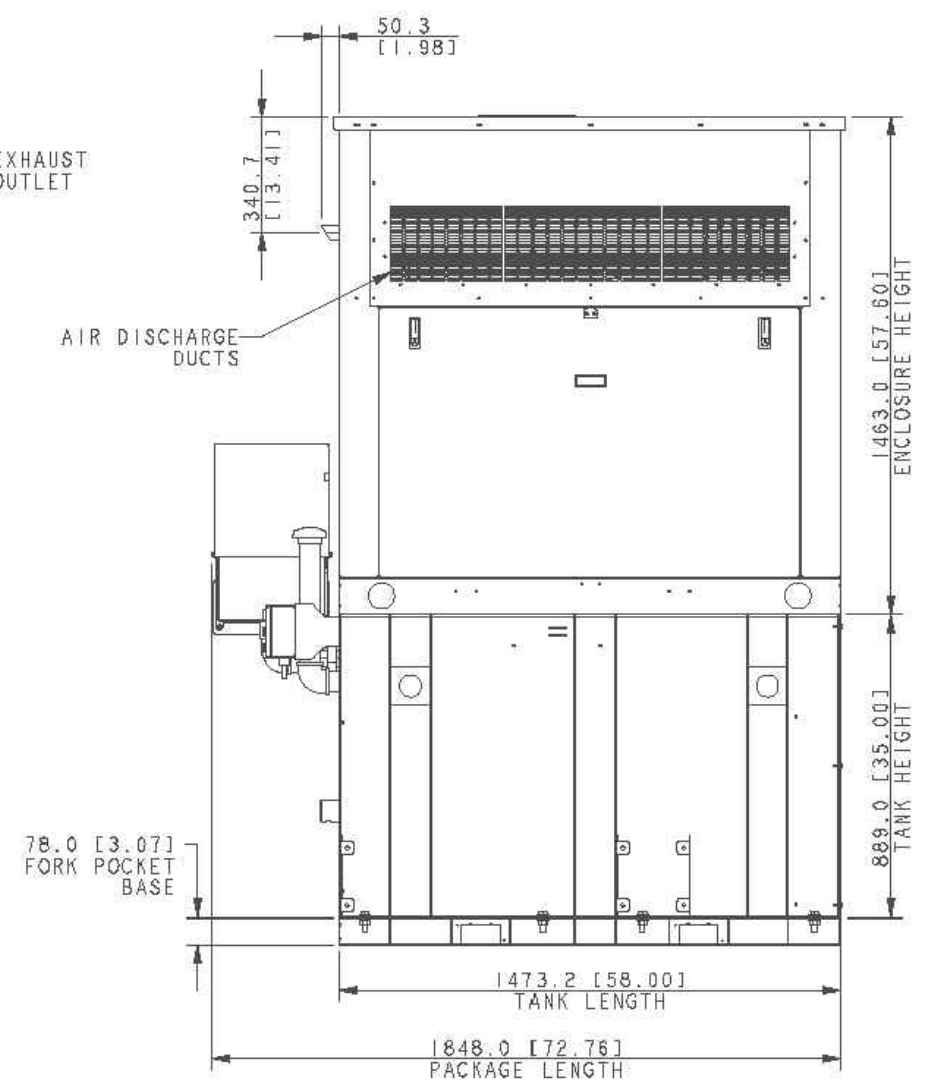
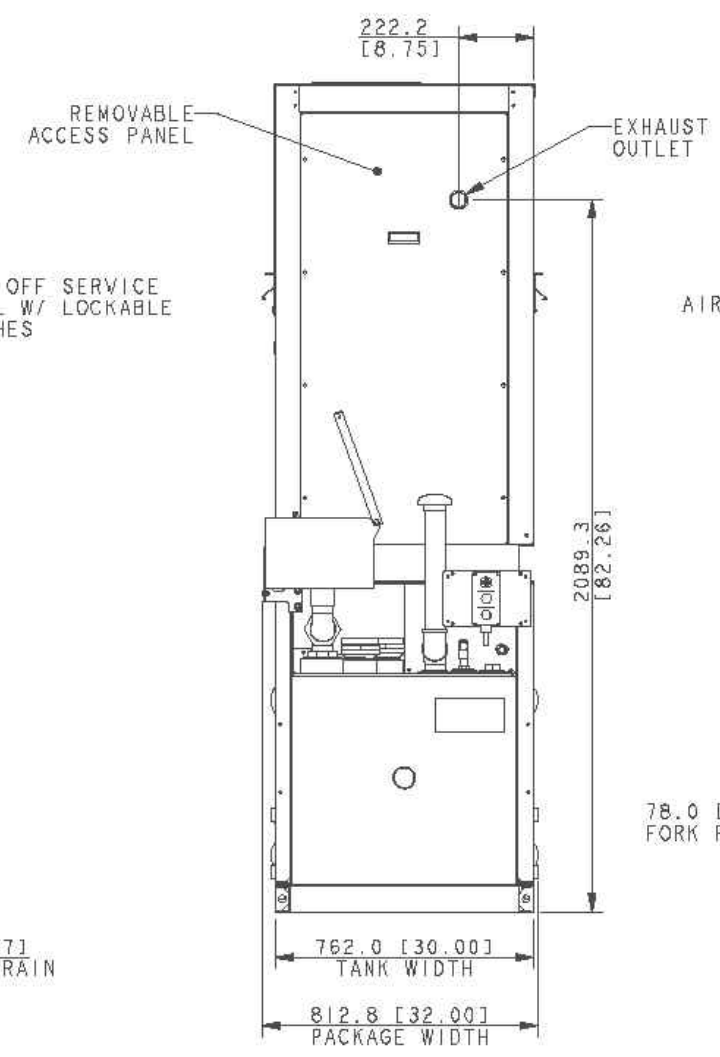
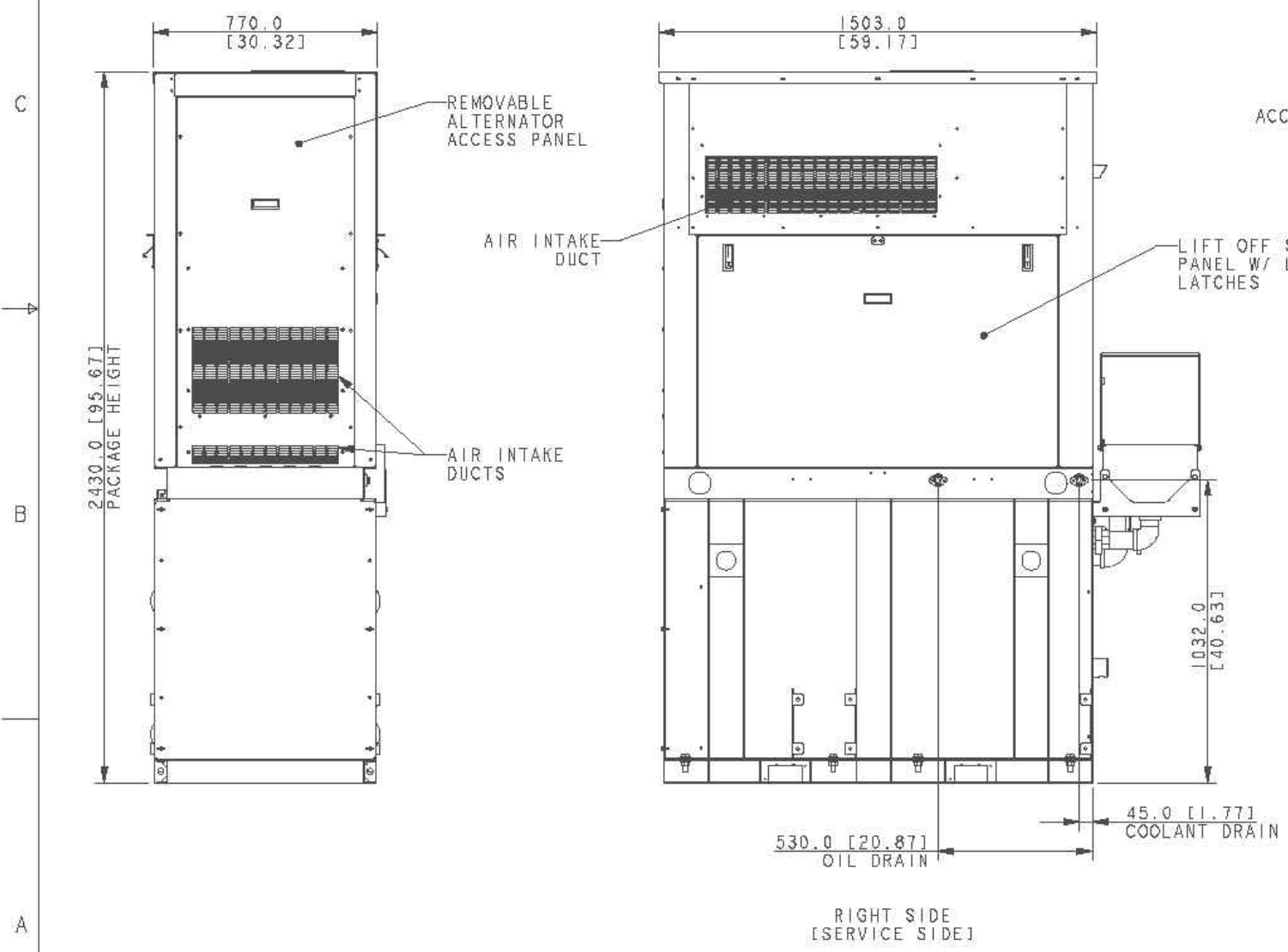
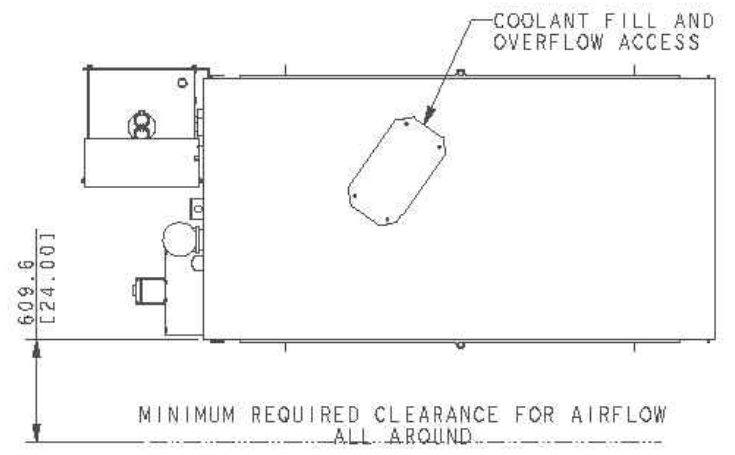
Weight (radiator model), wet, kg (lb.): 458 (1010)



NOTE: This drawing is provided for reference only and should not be used for planning installation. Contact your local distributor for more detailed information.

**DISTRIBUTED BY:**

- NOTES:
1. ALL SIDES OF THE GENERATOR ARE SERVICE ACCESSIBLE. RIGHT SIDE IS PRIMARY SERVICE SIDE.
  2. 6 AMP BATTERY CHARGER.
  3. 120VAC ENGINE BLOCK HEATER.
  4. GENERATOR MUST BE GROUNDED.
  5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
  6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
  7. MUST ALLOW FREE FLOW OF INTAKE AIR.
  8. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
  9. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
  10. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS.
  11. GENERATOR IS INSTALLED ON A UL-142 RATE DOUBLE WALL SUBBASE FUEL TANK.



PACKAGE WEIGHT: 1021 KG [2250 LBS]

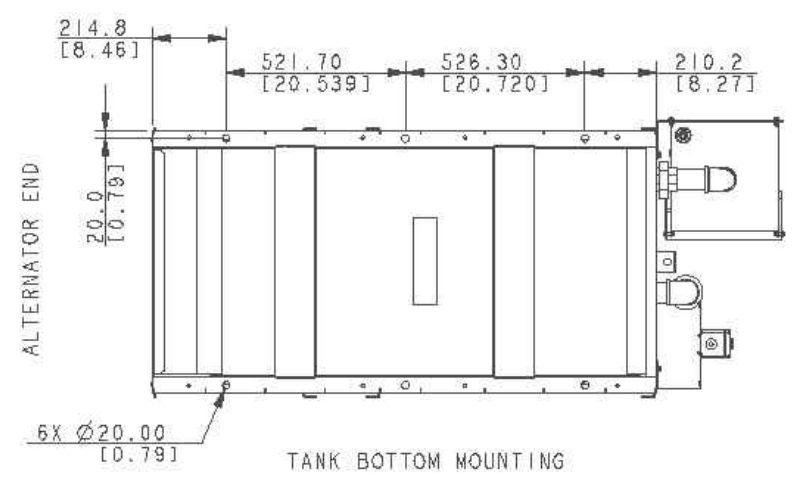
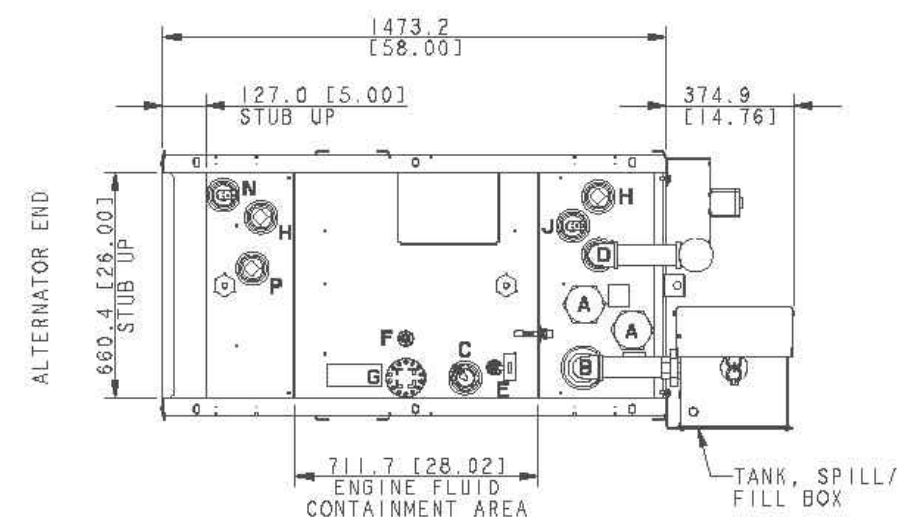
**20KW KOHLER DIESEL  
COMPACT SOUND ENCLOSURE  
W/ 105 GAL STATE TANK**

REV	DATE	ON COMPOSITE DWGS. SEE PART NO. FOR REVISION LEVEL	BY	DO NOT SCALE. REFERENCE THE MODEL FOR ALL UNSPECIFIED DIMENSIONS
-	2-13-17	NEW DRAWING [CT172844]	ZJS	UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS IN MILLIMETERS GENERAL TOLERANCES: F.L. ± 0.25 F.F. ± 1.5 SURFACE FINISH ANGLES ± 1°30' MAX.
				<b>KOHLER</b> KOHLENER, WIRTSCHAFTS-AG THIS DRAWING IN DESIGN AND DETAIL IS KOHLER CO. PROPERTY AND MUST NOT BE USED EXCEPT IN CONNECTION WITH KOHLER CO. WORK. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED.
				TITLE: <b>DIMENSION PRINT, 20KW STATE TANK, ENCL</b>
APPROVALS		DATE		SCALE: 0.40 CAD NO. SHEET 1 of 3
DRAWN: ZJS		2-13-17		DWG. NO. <b>ADV-9003</b>
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APPROVED: BLM		2-13-17		

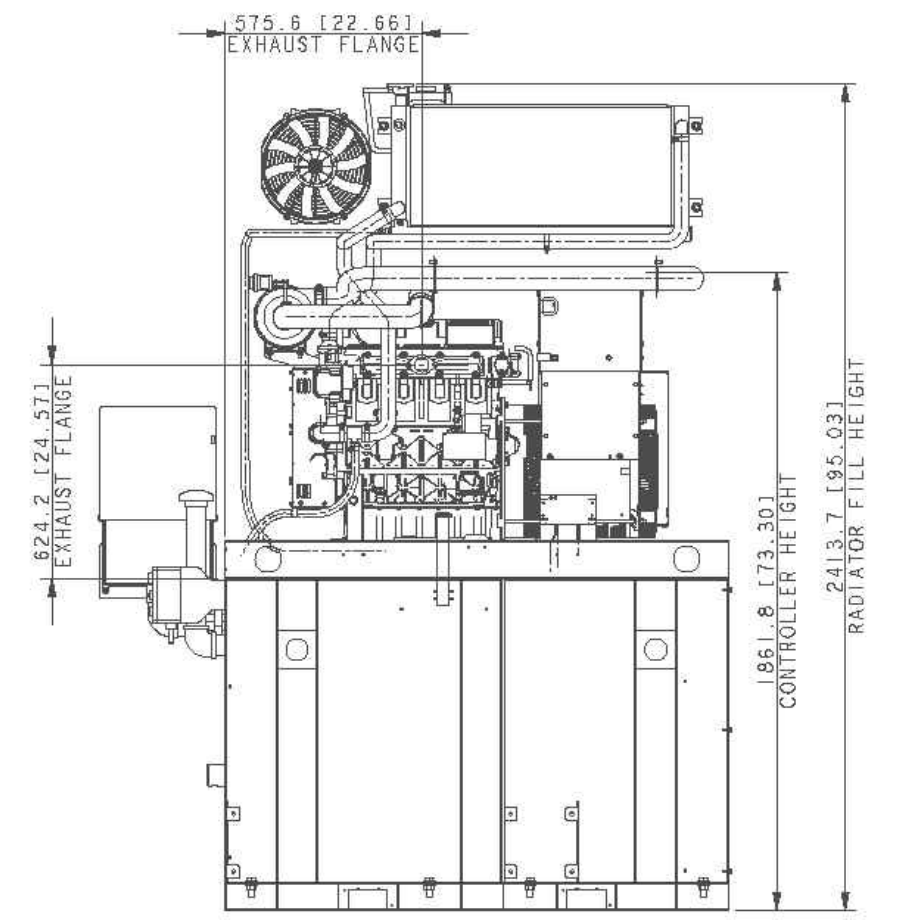
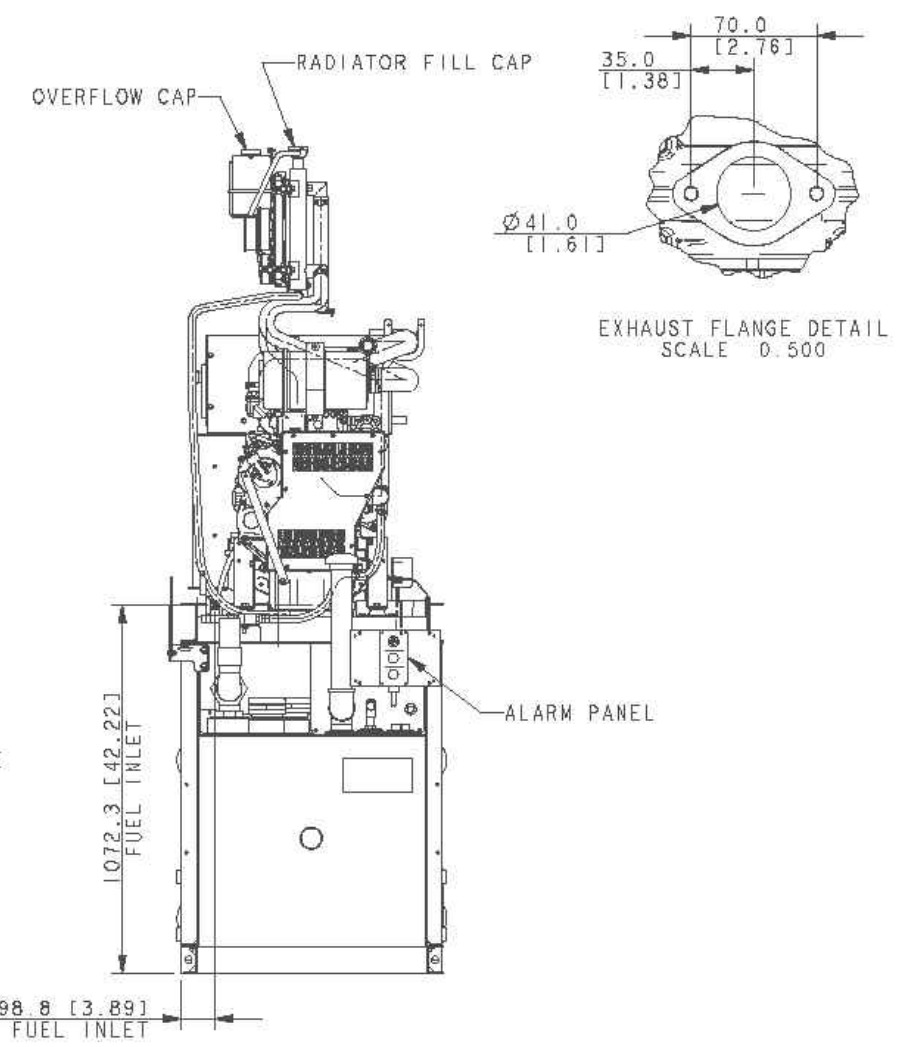
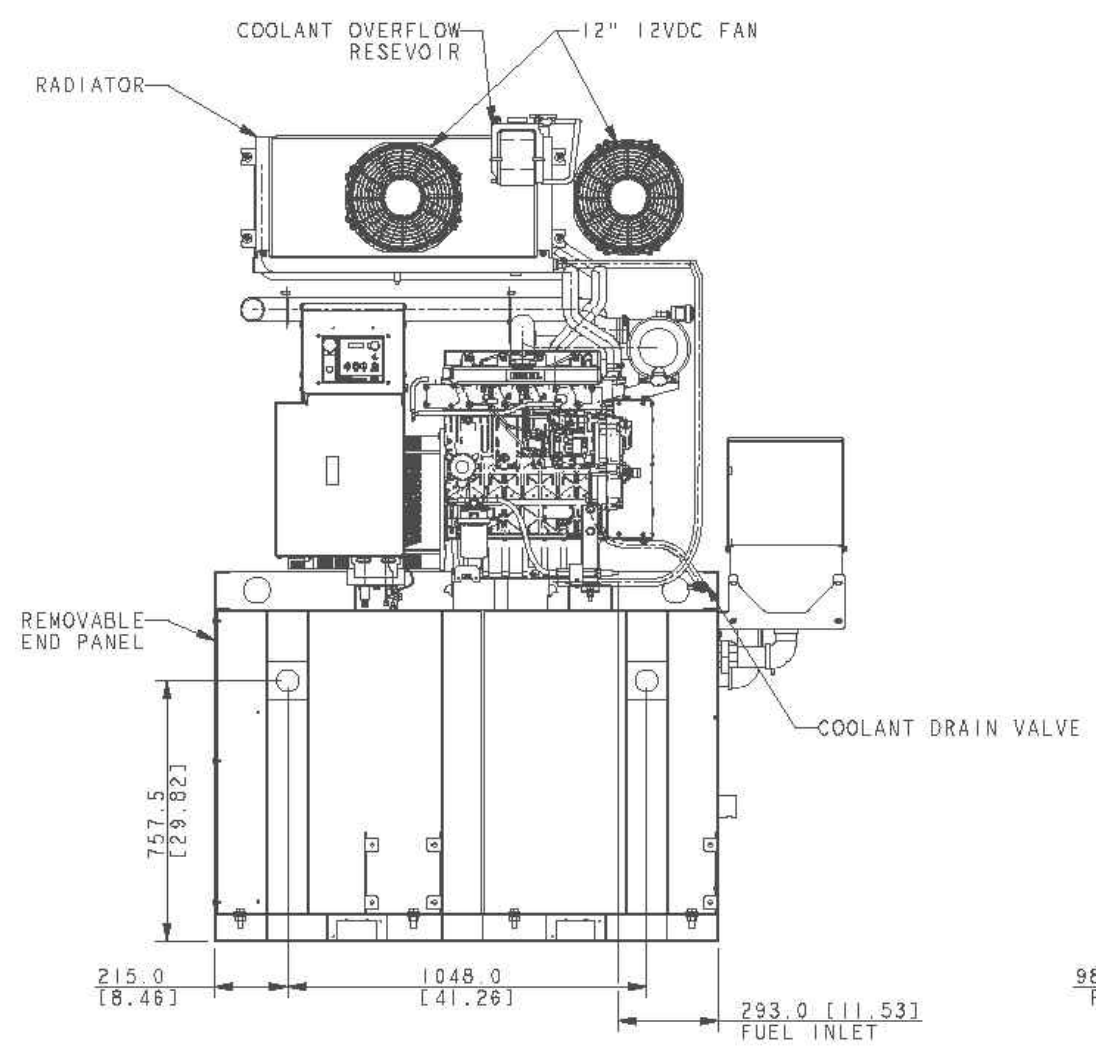
8 7 6 5 4 3 2 1

D  
C  
B  
A

D  
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A



- TANK FITTINGS:**
- A. 3" NPT EMERGENCY VENT FITTING PER NFPA 30 WITH VENT CAPS (QTY 2).
  - B. 4" NPT FUEL FILL FITTING BUSHED TO 2" NPT WITH LOCKABLE FILL CAP AND 2" RISER
  - C. 2" NPT FUEL LEVEL SENDING UNIT.
  - D. 2" NPT NORMAL VENT FITTING WITH MUSHROOM VENT CAP AND 15" RISER.
  - E. 1/2" NPT FITTING FOR REMOVABLE ENGINE SUPPLY DIP TUBE (3/8" NPT FEMALE) WITH CHECK VALVE.
  - F. 1/2" NPT FITTING FOR REMOVABLE FUEL RETURN DIP TUBE (3/8" NPT FEMALE).
  - G. 2" NPT WATER TIGHT FUEL FILL FITTING W/ LOCKABLE CAP AND 3" RISER
  - H. 2" NPT FITTING FOR OPTIONAL ACCESSORY (INSTALL 2"NPT PIPE PLUG)
  - J. 2" NPT FITTING FOR HIGH LEVEL SWITCH
  - N. 2" NPT FOR FUEL IN BASIN SWITCH
  - P. 2" NPT FITTING FOR OPTIONAL SWITCH (INSTALL 2"NPT PIPE PLUG)



NOTE: FOR FURTHER TANK DETAIL SEE INDIVIDUAL DRAWINGS

**20KW KOHLER DIESEL  
COMPACT SOUND ENCLOSURE  
W/ 105 GAL STATE TANK**

REV	DATE	OR COMPOSITE DWGS. SEE PART NO. FOR REVISION LEVEL	BY	DO NOT SCALE. REFERENCE THE MODEL FOR ALL UNSPECIFIED DIMENSIONS
-	2-13-17	NEW DRAWING [CT172644]	ZJS	UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS IN MILLIMETERS GENERAL TOLERANCES: 0.13 ± 0.25 SURFACE FINISH 0.1 ± 0.8 MAX. ANGLES ± 1°30'
APPROVALS				DATE
DESIGN	ZJS	2-13-17		
CHECKED	BLM	2-13-17		
APPROVED	BLM	2-13-17		

**KOHLER**  
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**TITLE**  
DIMENSION PRINT, 20KW  
STATE TANK, ENCL

SCALE 0.15 CAD NO. SHEET 2 of 3

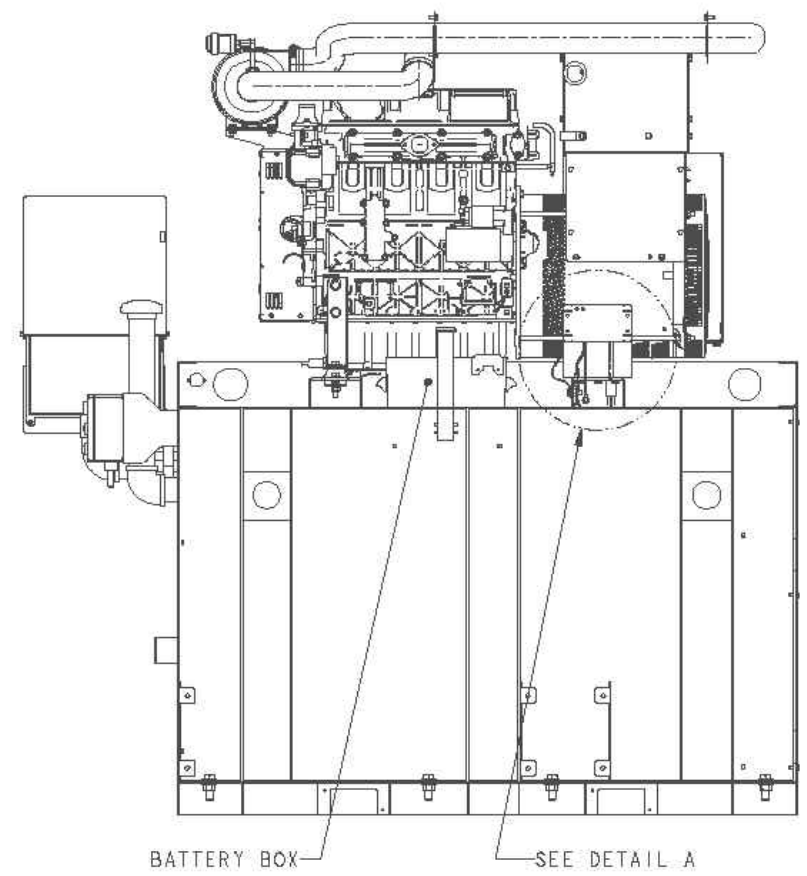
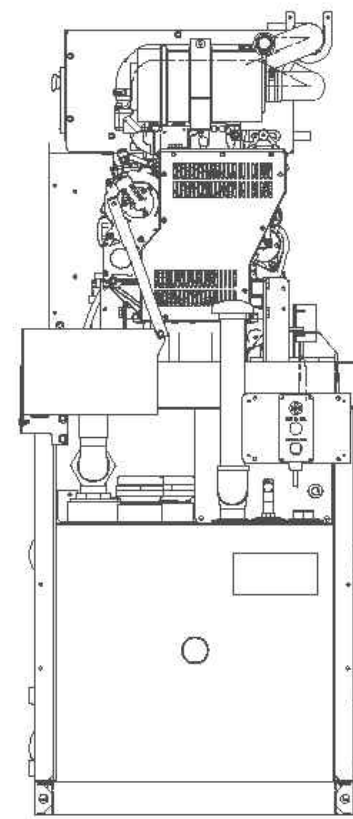
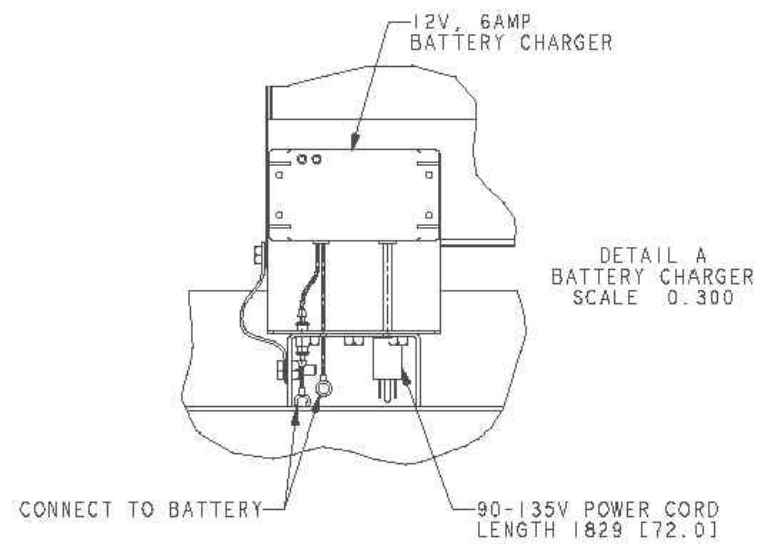
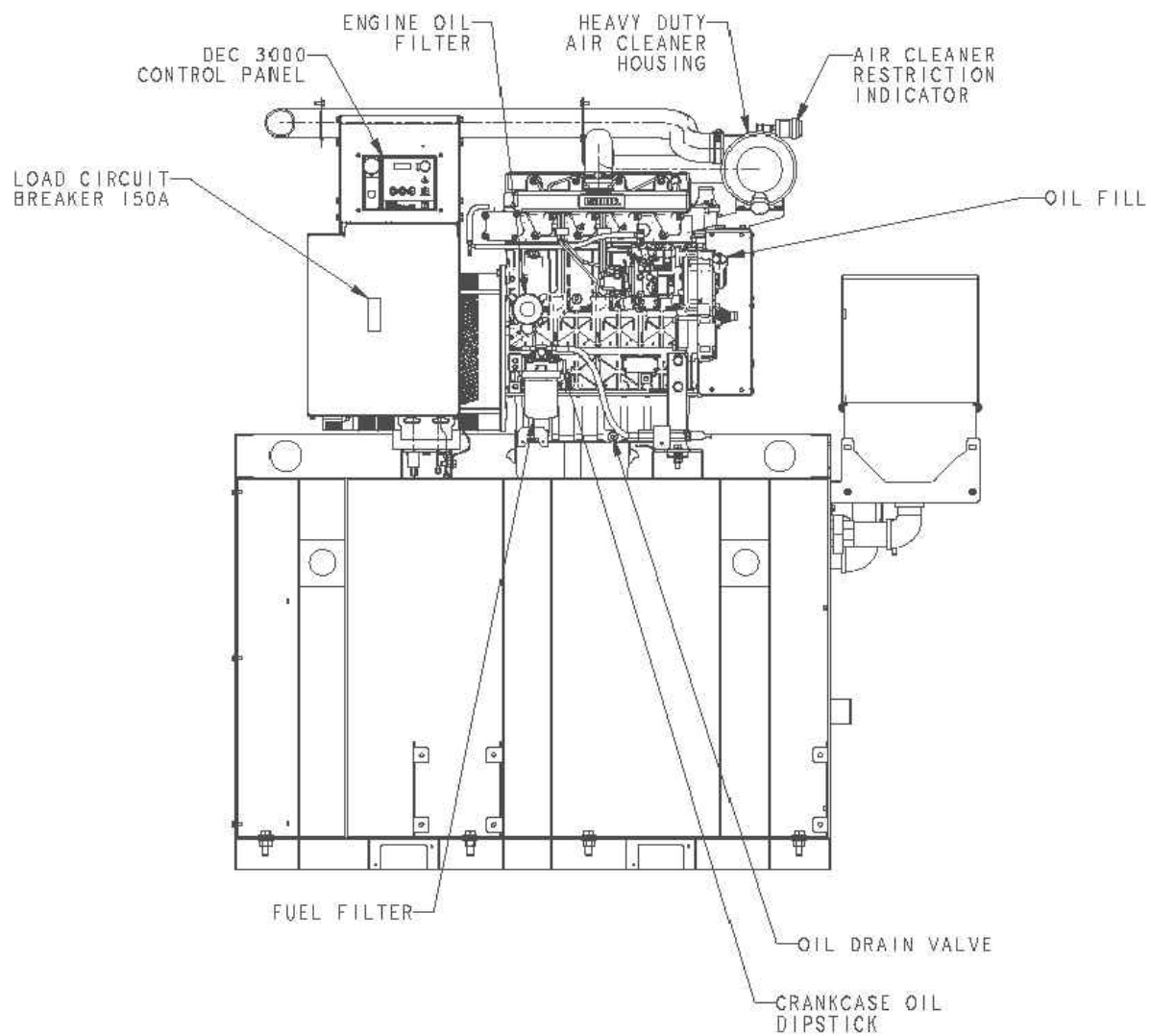
ADV-9003

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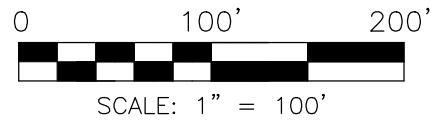
NOTE:  
THIS GENERATOR SET HAS FRONT ACCESSIBILITY TO ALL ROUTINELY SERVICED COMPONENTS INCLUDING:  
1. AIR FILTER  
2. OIL FILTER / FILL  
3. FUEL FILTER  
4. OIL DRAIN  
5. COOLANT DRAIN

\*COOLING SYSTEM NOT SHOWN THESE VIEWS



20KW KOHLER DIESEL  
COMPACT SOUND ENCLOSURE  
W/ 105 GAL STATE TANK

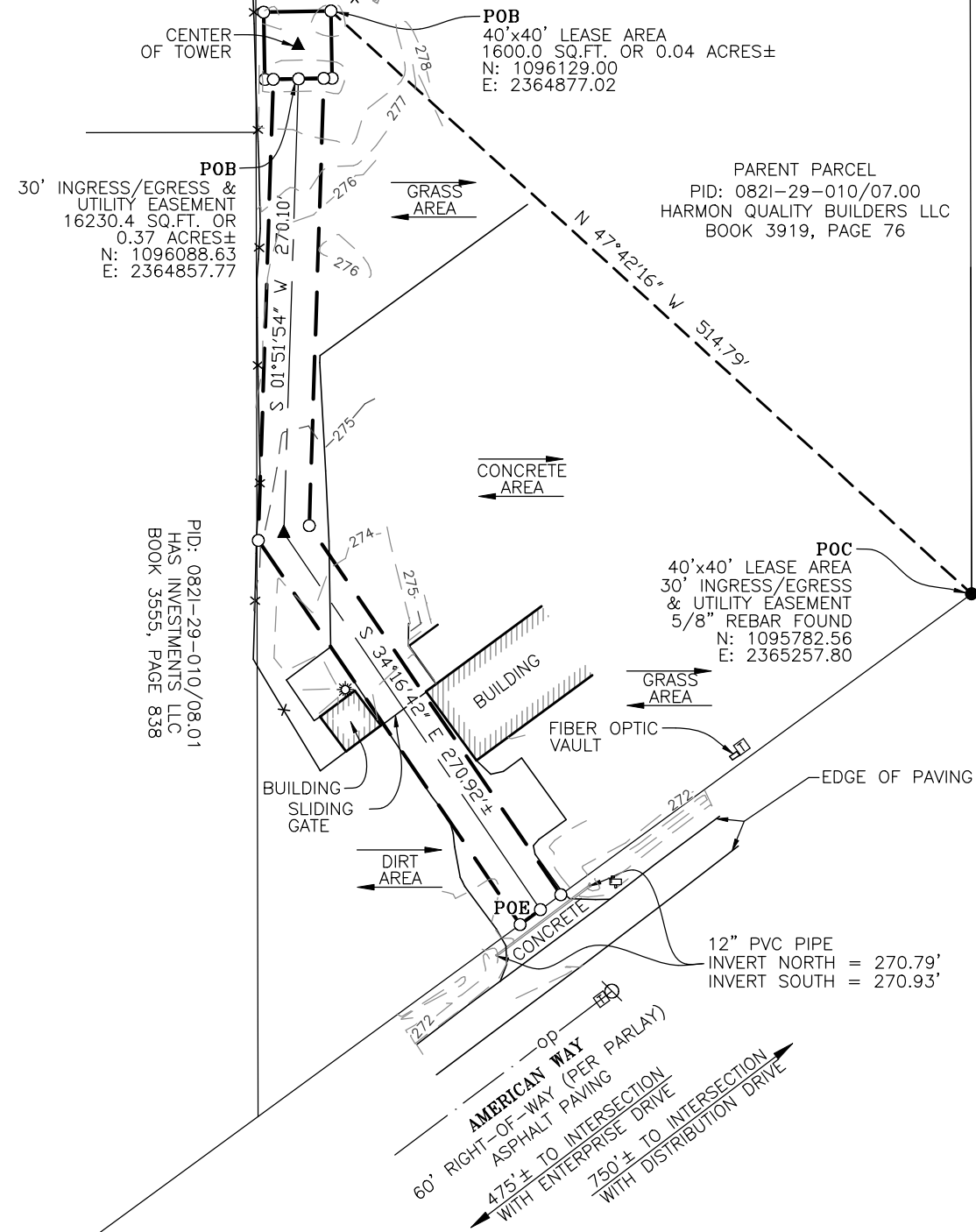
REV	DATE	OR COMPOSITE DWGS. SEE PART NO. FOR REVISION LEVEL	BY	DO NOT SCALE. REFERENCE THE MODEL FOR ALL UNSPECIFIED DIMENSIONS
-	2-13-17	NEW DRAWING (CT172644)	ZJS	UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS IN MILLIMETERS GENERAL TOLERANCES: L: ± 0.25 F: ± 1.0 ANGLES: ± 1° 30'
				<b>KOHLER</b> KOHLER, WISCONSIN 63044 THIS DRAWING IN DESIGN AND DETAIL IS KOHLER CO. PROPERTY AND MUST NOT BE USED EXCEPT IN CONNECTION WITH KOHLER CO. WORK. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED.
				TITLE <b>DIMENSION PRINT, 20KW STATE TANK, ENCL</b>
APPROVALS				SCALE 0.12
DRAWN ZJS 2-13-17				SHEET 3 of 3
CHECKED ZJS 2-13-17				NO. 101
APPROVED BLM 2-13-17				ADV-9003



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 MISSISSIPPI LLC  
 BOOK 3114, PAGE 511

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 SABINO DEVELOPMENT LLC  
 BOOK 2030, PAGE 909

PID: 0821-29-011/02.00  
 J & D LLC  
 BOOK 2319, PAGE 821



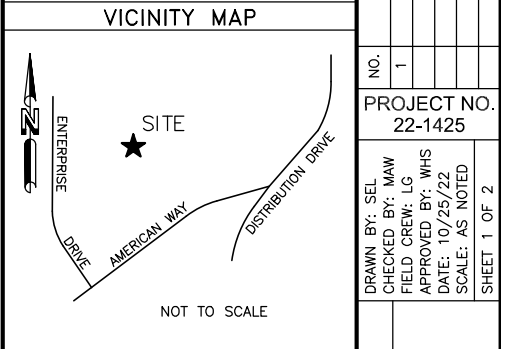
*William H. Sommerville, III*

William H. Sommerville, III  
 Mississippi License No. 02859



09/01/23

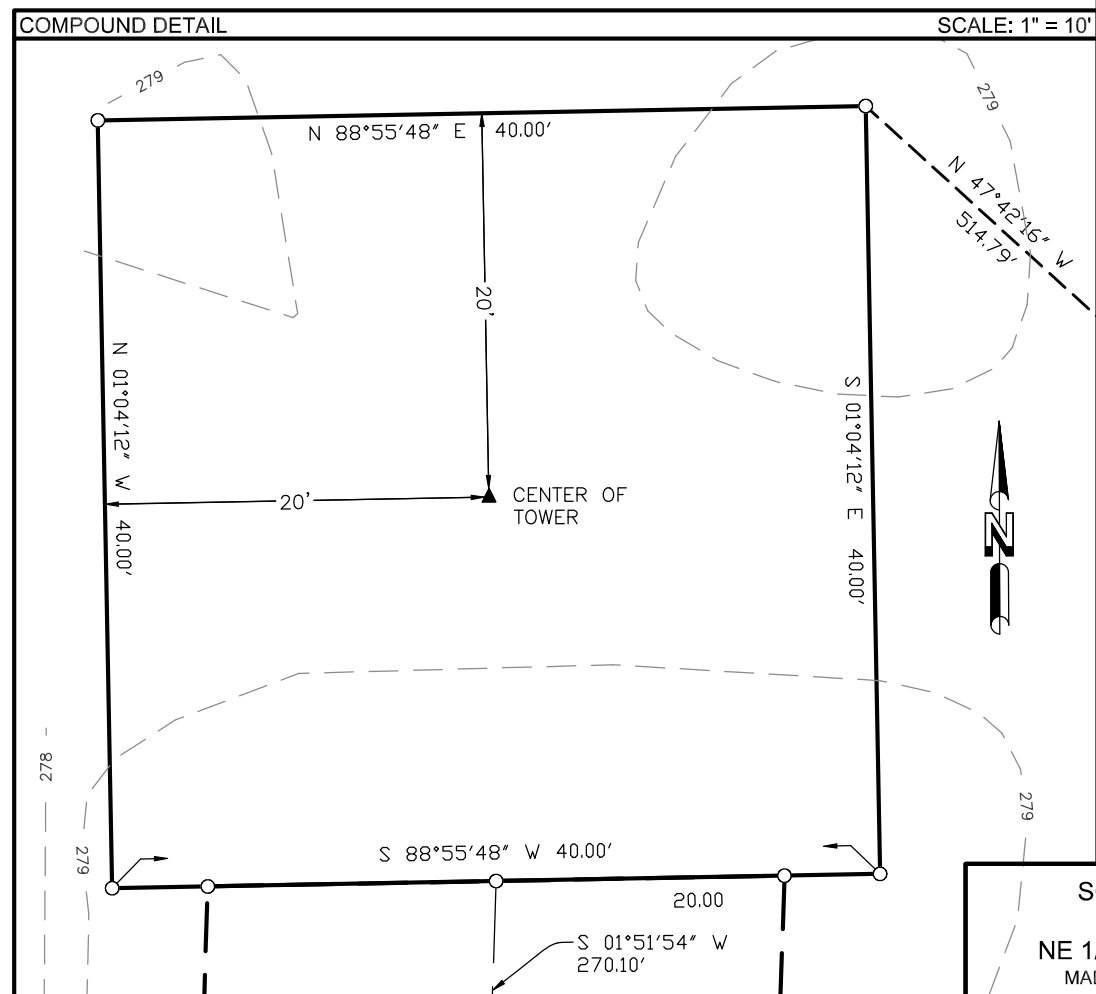
TOWER INFO		
CENTER OF TOWER:		
LATITUDE: 32°30'48.075" NORTH		
LONGITUDE: 90°06'42.669" WEST (NAD 83)		
GROUND ELEVATION: 279' ABOVE MEAN SEA LEVEL (NAVD88)		
DATE	REVISION	ADDED TITLE EXCEPTIONS
11-18-2		



MISSISSIPPI WEST		
GRID NORTH		
GRID TO TRUE NORTH CONVERGENCE 0°07'08.56390"		
TRUE NORTH TO MAGNETIC DECLINATION 1°26' W		
COMBINED SCALE FACTOR 0.999955338		

LEGEND	
○	= 5/8" REBAR SET
●	= FOUND PROPERTY MARKER
POB	= POINT OF BEGINNING
POC	= POINT OF COMMENCEMENT
POE	= POINT OF ENDING
▲	= CALCULATED POINT
○	= POWER POLE
+	= GUY ANCHOR
□	= POWER BOX
□	= TELEPHONE PEDESTAL
☼	= LIGHT POLE
□	= MAILBOX
---	= RIGHT-OF-WAY
-o-	= OVERHEAD POWER

**FLOOD NOTE**  
 By graphic plotting only, the subject property appears to lie in Zone "X" of the Flood Insurance Rate Map Community Panel No. 28089C0415F, which bears an effective date of March 17, 2010 and IS NOT in a special flood hazard area.  
 Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.



**SOUTH GLUCKSTADT**  
 14772332  
 NE 1/4, SEC. 29, T-8-N, R-2-E  
 MADISON COUNTY, MISSISSIPPI

Section 4, Item A)

PROJECT NO. 22-1425

RAWLAND TOWER SURVEY

FOR: **FORESITE**  
 3875 ASBURY ROAD  
 VESTALIA HILLS, AL 35243

SMW Engineering Group, Inc.  
 158 Business Center Drive  
 Birmingham, Alabama 35244  
 Ph: 205-252-6985  
 www.smweng.com

**SMW ENGINEERING GROUP, INC.**

SHEET 1 OF 2

**SURVEYOR'S NOTES**

1. This is Rawland Tower Survey, made on the ground under the supervision of a Mississippi Registered Land Surveyor. Date of field survey is September 29, 2022.
2. The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver, (R.T.K. network capable).
3. Bearings are based on Mississippi West State Plane Coordinates NAD 83 by GPS observation.
4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
5. Benchmark used is a GPS Continuously Operating Reference Station, PID CP0202. Onsite benchmark is as shown hereon. Elevations shown are in feet and refer to NAVD 88.
6. This survey was conducted for the purpose of a Rawland Tower Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data.
8. This Survey was conducted with the benefit of an Abstract Title search.
9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower are accurate to within +/- 20 feet horizontally and to within +/- 3 feet vertically (FAA Accuracy Code 1A).
10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey.
11. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet (1":15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverse was not adjusted.
12. This survey is not valid without the original signature and the original seal of a state licensed surveyor.
13. This survey does not constitute a boundary survey of the Parent Tract. Any parent tract property lines shown hereon are from supplied information and may not be field verified.

**SURVEYOR'S CERTIFICATION**

I certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Mississippi to the best of my knowledge, information, and belief.



William H. Sommerville, III  
Mississippi License No. 02859



09/01/23

**PARENT TRACT (BOOK 3919, PAGE 76)**

Being situated in the East 1/2 of Section 29, Township 8 North, Range 2 East, Madison County, Mississippi, and being more particularly described as follows:  
Commence at the Northeast corner of the Northwest 1/4 of the Northeast 1/4 of aforesaid Section 29 and run thence South 0 degrees 07 minutes East along the line between the East 1/2 and the West 1/2 of the East 1/2 of the aforesaid Section 29, 1298.20 feet and the Southeast corner of the Schmidt property and the Point of Beginning for the property herein described; continue thence South 0 degrees 07 minutes East along the line between the East 1/2 and the West 1/2 of said Section 29, 358.23 feet; run thence South 53 degrees 46 minutes 08 seconds West, 525.78 feet; run thence North 0 degrees 07 minutes West, 667.26 feet; run thence North 89 degrees 45 minutes 58 seconds East, along the South boundary of the aforesaid Schmidt property and the Westerly projection thereof, 424.77 feet to the Point of Beginning; containing 5.0 acres, more or less.

**40' x 40' LEASE AREA (AS SURVEYED):**

A tract of land being a portion of the Northeast 1/4 of Section 29, Township 8 North, Range 2 East, Madison County Mississippi, described as follows:  
Commencing at a found 5/8 inch rebar having Mississippi West State Plane Coordinates N: 1095782.56 E: 2365257.80; thence N 47°42'16" W, 514.79 feet to a set 5/8 inch rebar and the Point of Beginning; thence S 01°04'12"E, 40.00 feet to a set 5/8 inch rebar; thence S 88°55'48"W, 40.00 feet to a set 5/8 inch rebar; thence N 01°04'12"W, 40.00 feet to a set 5/8 inch rebar; thence N 88°55'48"E, 40.00 feet to the Point of Beginning.  
Containing 1600.0 SQ.FT or 0.04 acres, more or less.

**30' INGRESS/EGRESS & UTILITY EASEMENT (AS SURVEYED)**

A tract of land being a portion of the Northeast 1/4 of Section 29, Township 8 North, Range 2 East, Madison County Mississippi, described as follows:  
Commencing at a found 5/8 inch rebar having Mississippi West State Plane Coordinates N: 1095782.56 E: 2365257.80; thence N 47°42'16"W, 514.79 feet to a set 5/8 inch rebar; thence S 01°04'12"E, 40.00 feet to a set 5/8 inch rebar; thence S 88°55'48"W, 20.00 feet the Point of Beginning of an Ingress/Egress & Utility easement being 30 feet in width and lying 15 feet on each side of the following described centerline; thence S 01°51'54"W, 270.10 feet to a point; thence S 34°16'42"E, 270.92 feet, more or less to the north right-of-way of American Way and the Point of Ending.  
Containing 16230.4 SQ.FT. or 0.37 acres, more or less.

**PLOTTABLE EXCEPTIONS**

Chicago Title Insurance Company  
Commitment for Title Insurance Commitment No. 25181801  
Date October 25, 2022 @ 8:00 AM  
Schedule B, Part II

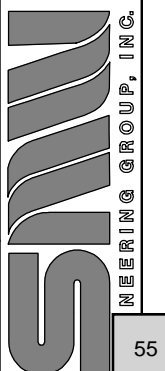
Exception No.	Instrument	Comment
1-9		Standard exceptions. Contain no survey matters.
10	Right-of-Way to Mississippi Power & Light Company, Book 323, Page 330	Does not affect Parent tract.
11	Matters on survey prepared by Robert M, Case, Book 323, Page 300	Does not affect Parent tract.

Section 4, Item A)

DATE	11-18-2
REVISION	
ADDED TITLE EXCEPTIONS	
NO.	1
PROJECT NO.	22-1425
DRAWN BY: SEL	
CHECKED BY: MAW	
FIELD CREW: LG	
APPROVED BY: WHS	
DATE: 10/25/22	
SCALE: N.T.S.	
SHEET 2 OF 2	

RAWLAND TOWER SURVEY  
FOR:  
FORESITE  
3875 ASBURY ROAD  
VESTALIA HILLS, AL 35243

SMW Engineering Group, Inc.  
158 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-252-6985  
www.smweng.com



SOUTH GLUCKSTADT  
14772332  
NE 1/4, SEC. 29, T-8-N, R-2-E  
MADISON COUNTY, MISSISSIPPI

**City of Gluckstadt**

**Application for Site Plan Review**

Subject Property Address: 259 YARDELL Rd CANTON, MS 39046  
Parcel #: 082H-27 - 023/25.00 Book 3468, Page 481

Owner: Four Seasons Land Holdings, LLC Applicant: Tim Hillhouse  
Address: 115 Claiborne St. Address: 115 Claiborne St  
Madison, MS 39110 Madison, MS 39110

Phone #: 601-624-6780 Phone #: 601-624-6780  
E-Mail: Tim.Hillhouse@gmail.com E-Mail: Tim.Hillhouse@gmail.com  
Current Zoning District: C1-A  
Acreage of Property (If applicable): 0.94  
Use sought of Property: Business + Professional Office

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)  
Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.



- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: *By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.*

  
Applicant Signature

2-26-23  
Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

Date Received: 5-2-2023

Application Complete & Approved to Submit to P&Z Board (please check):

Yes \_\_\_\_\_ No \_\_\_\_\_

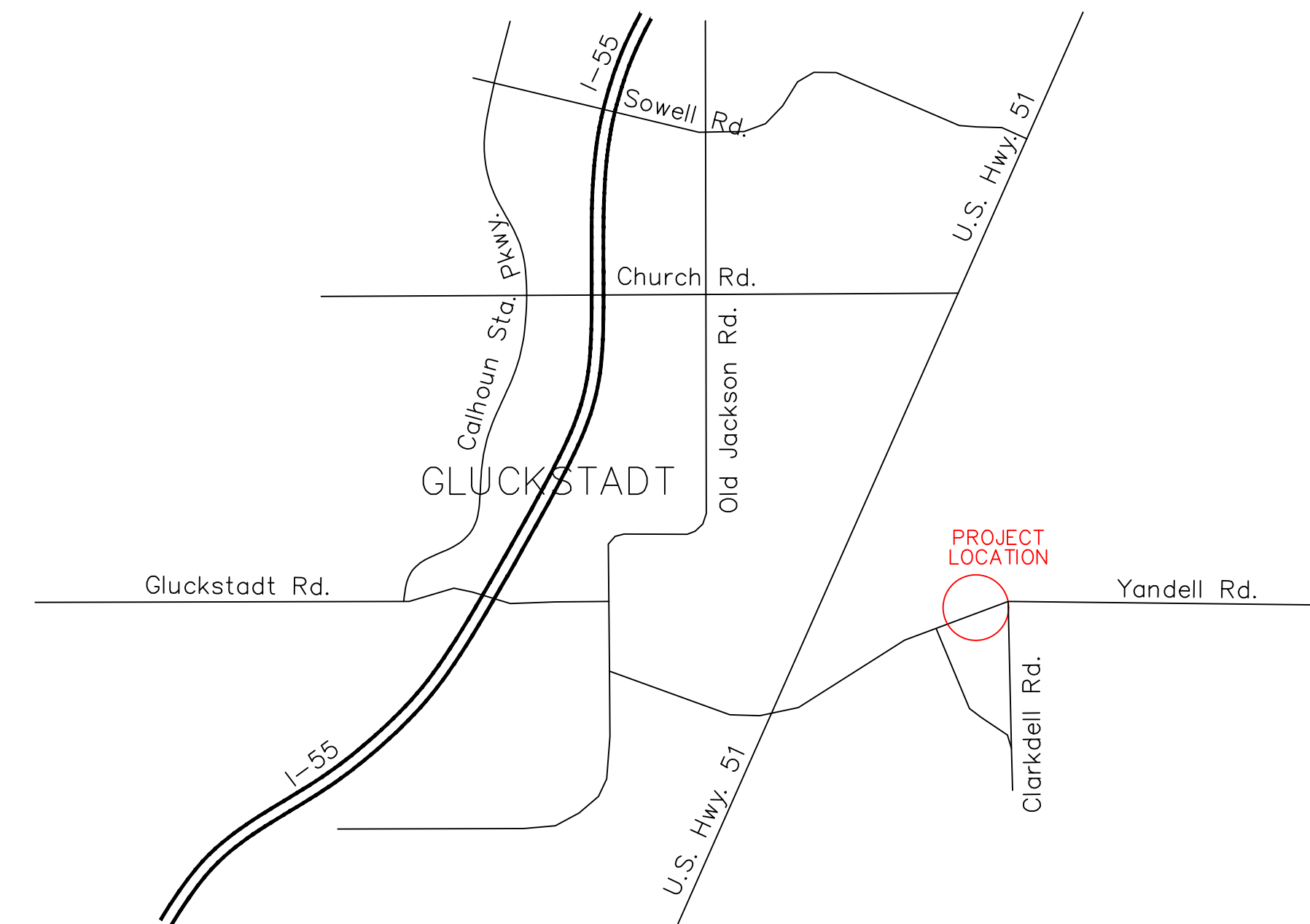
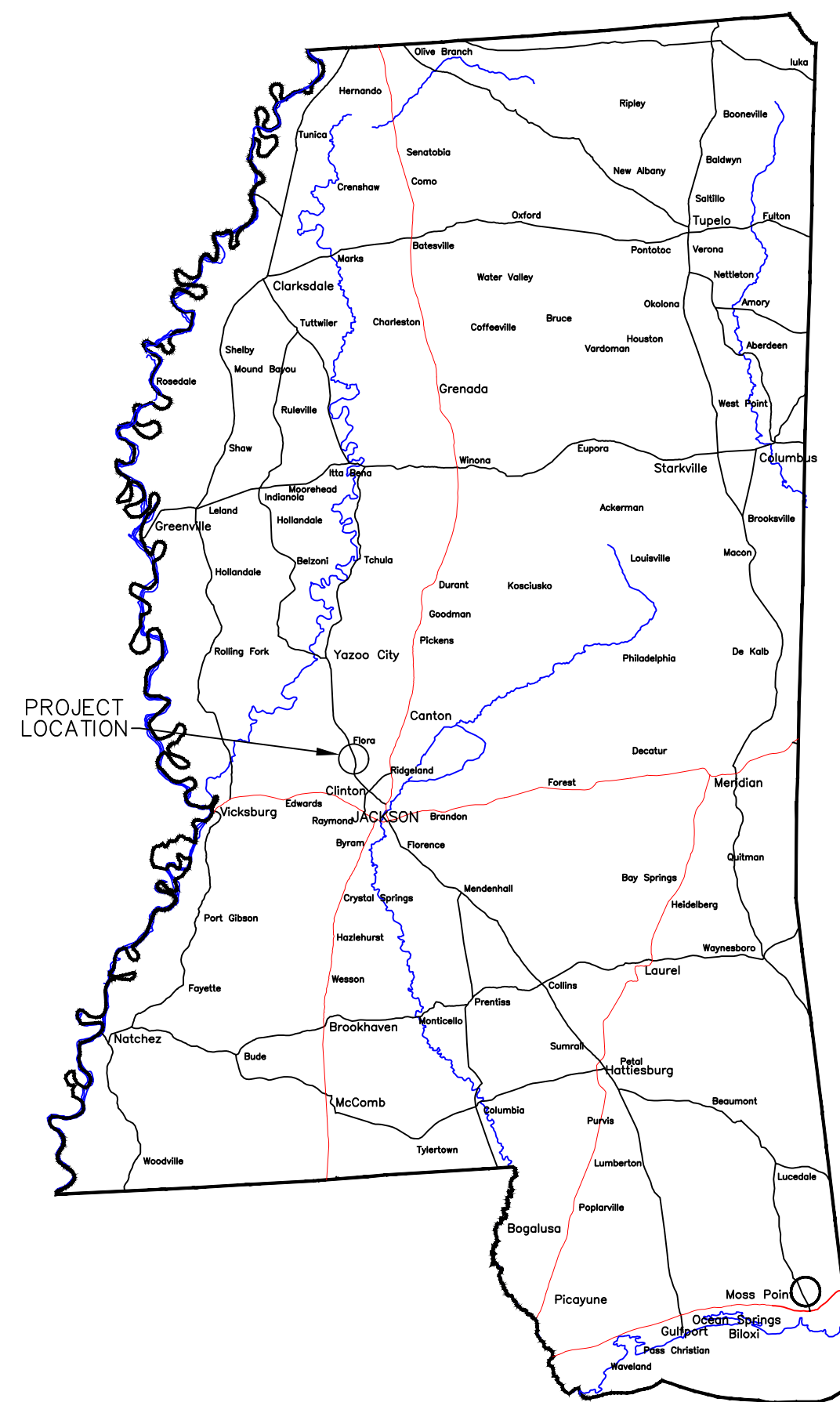
Signature: \_\_\_\_\_  
Planning & Zoning Administrator (or Authorized Representative)

Gluckstadt Requirement for Site Plan Checklist for Conditional Use, Dimensional Variances and Rezoning			
		Completed	Uncompleted
*	1	Property Lines and lot numbers	✓
*	2	Zoning of adjacent lots	✓
*	3	Names of owners of adjacent lots within 160 feet	✓
*	4	Rights of Way for existing and proposed streets including streets on the adopted throughfares plan	✓
	5	Accessways, curbcuts, driveways and parking ( Including number of parking spaces to be provided) and loading areas.	✓
*	6	All existing and proposed easements	✓
	7	All existing and proposed water and sanitary sewer lines, also the location of existing and proposed fire hydrants.	✓
	8	A drainage plan showing all existing and proposed storm drain facilities. The drainage plan shall indicate adjacent off-site drainage courses and projected storm water run-off rates from on-site, off-site sources.	✓
	9	Contours at five feet or less	✓
	10	Flood zone designations according to maps prepared by the federal Emergency Management Agency , Federal Insurance Administration, and any proposed floodway modifications.	✓
	11	Landscaped Areas and Planting Screens	✓
	12	Building Lines and the location of all structures existing and proposed.	✓
	13	Proposed use of the land and buildings if known	✓
	14	Open Space and Recreational areas when required	
*	15	Area of the parcel in square feet or acres	✓
	16	Proposed gross lot coverage of buildings and structures	✓
	17	Number and type of dwelling units (where proposed)	N/A
	18	Location of sign structures and drawing, ect in accordance with section 701 of the Zoning Ordinance	
	19	A development plan (Section 809.04 when staging development is proposed	N/A
	20	Any additional data necessary to allow for a thorough evaluation of the proposed use to include traffic and drainage study's.	
	21	Proposed elevations indicating the general design, style, and architecture of the building or structure.	✓

22	Proposed materials and color schemes to be utilized in the construction of the exterior of buildings and structures.	✓	
23	Number of stories and total square feet, including a notation as to the square footage on each floor or level.	✓	
24	Proposed height in feet.	✓	
25	Photographs, renderings, color slides, models and similar items may be presented by the applicant at his discretion.	✓	
26	Refuse and service areas	✓	
27	Number of regular and ADA parking spaces.	✓	
28	1000:1 scale vicinity Map	✓	
29	Graphic Scale and North Arrow	✓	
30	Provide a PDF digital copy of the Site plan	✓	
<b>Additional Requirements for Conditional Use</b>			
31	Screening and buffering with reference to type, dimension and character.		
32	Required yards and open space		
33	General compatibility with adjacent properties and other properties in the district		
34	Any advise impacts to nearby properties or the community at large.		
35	Is lighting that spills onto or is directed toward adjacent property addressed		
36	Is noise generated by the conditional use have a negative impact upon the peaceful use and enjoyment of adjacent properties or surrounding neighborhoods.		
37	Is noise generated by patrons , customers, clients, or users of the conditional use have a negative impact upon the peaceful enjoyment of adjacent properties or neighborhoods.		
38	Will the proposed conditional use have a cluttered appearance as a result of site design, signage or other features that may be visible from the street or adjoining properties.		
37	Provide the hours of operation or frequent use.		
39	Is there a negative impact to natural features, such as tree cover, drainage courses, flooding and erosion.		
* If the use of the land for rezoning is not know provide these items.			

# FOUR SEASONS DRAPERY & HARDWARE

## GLUCKSTADT, MISSISSIPPI



### DRAWING INDEX

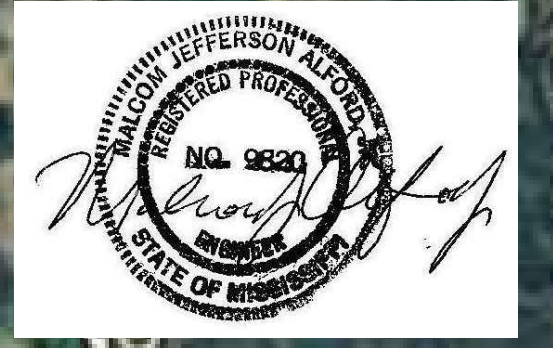
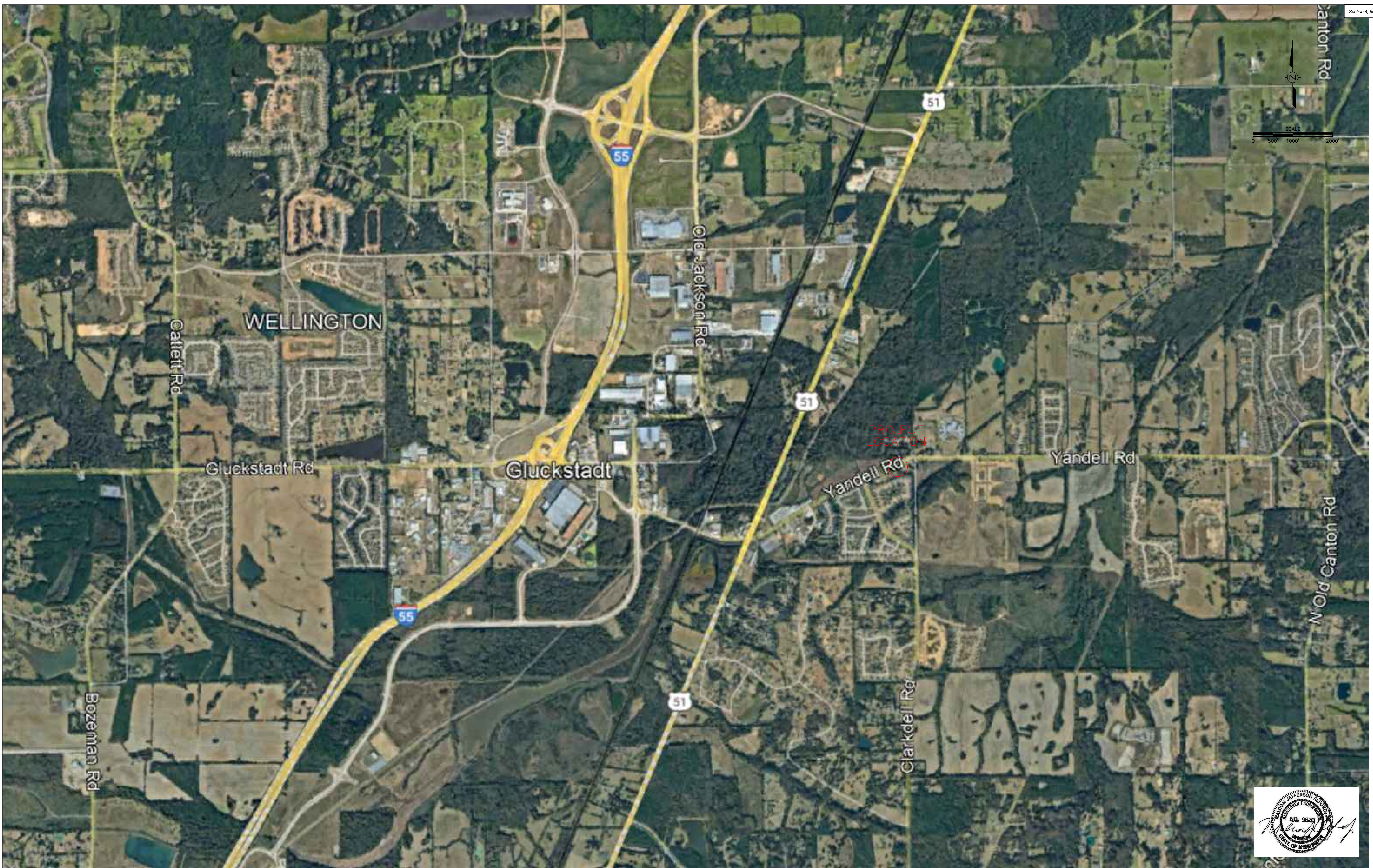
DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	SITE LOCATION MAP
C-3	SITE BOUNDARY & TOPO
C-4	SITE & UTILITY PLAN
C-5	GRADING & DRAINAGE PLAN
C-6	SITE DETAILS

MAY 2023



**Alford and Associates**  
Consulting Engineers

7112 Suite B Siwell Road  
Byram, Mississippi 39272



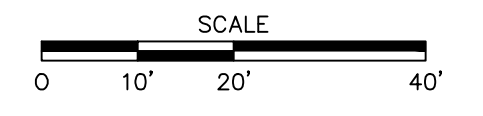
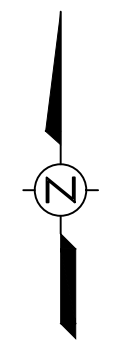
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REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
0	ISSUED FOR REVIEW	MJA	5/5/23

SCALE: SHOWN
DRAWN: MJA
REVIEWED: MJA
PROJECT MANAGER: MJA
DATE: 5/5/23

**Alford and Associates**  
 Consulting Engineers  
 7112 Suite B Siwell Road  
 Byram, Mississippi 39272

Site Location Map  
 Four Seasons Drapery & Hardware  
 Gluckstadt MS

PROJECT No.
CAD FILE NAME
DRAWING
<b>2</b>



**LEGEND**

- FOUND 1/2" REBAR
- FOUND 1" PIPE
- ⊙ GAS VALVE/MARKER
- MEASURED LINE
- GAS — GAS — GAS — UNDERGROUND GAS
- W — W — W — EXISTING 8" WATER MAIN
- FM — FM — FM — EXISTING 10" SEWER FORCE MAIN
- - - - - FENCE

0.94 ACRES +/-  
 40,867 SQ. FT. +/-  
 PARCEL NO. 082H-27-023/25.00  
 BOOK 3468, PAGE 481  
 100 YR. FEMA FLOOD ELEVATION 253.90  
 CIA ZONING

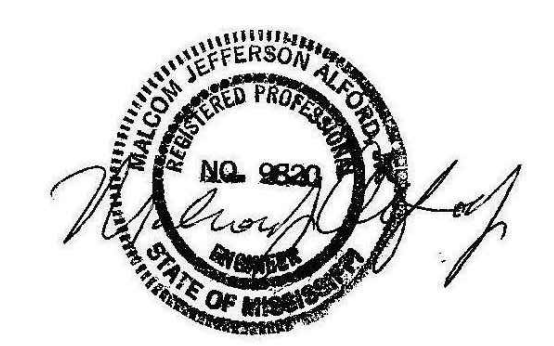
MISS. STSTE UNIV. FOUNDATION  
 PARCEL NO. 082H-27-023/01.00  
 BOOK 3215, PAGE 637  
 CIA ZONING

NEW MT ZION CEMETERY  
 PARCEL NO.  
 082H-27-024/00.00  
 ZONING

BEAR CREEK CROSSING  
 PLAT CABINET D - SLIDE 178  
 LOT 44  
 BRYAN & SHAYON WESLEY  
 R1B ZONING

BEAR CREEK CROSSING  
 PLAT CABINET D - SLIDE 178  
 LOT 45  
 CARLAT GILL  
 R1B ZONING

BEAR CREEK CROSSING  
 PLAT CABINET D - SLIDE 178  
 LOT 46  
 CHARLES & JOSCELYN ALLEN  
 R1B ZONING



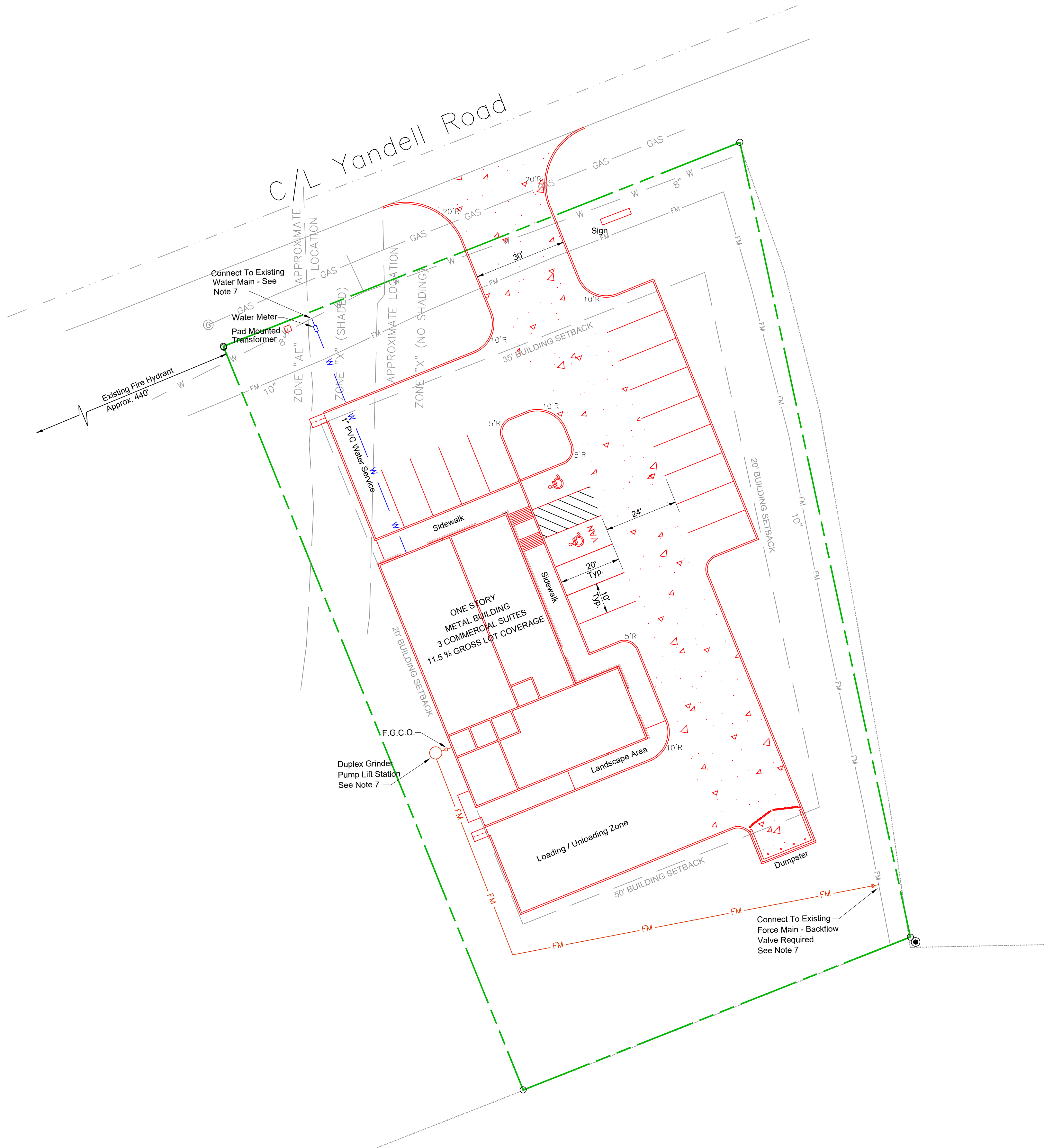
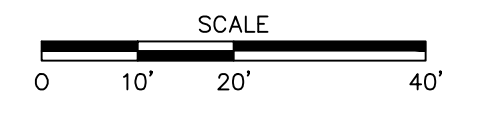
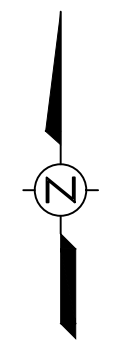
REV.	ISSUED FOR REVIEW	MJA	5/1/23
REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
0	ISSUED FOR REVIEW	MJA	5/1/23

SCALE: SHOWN
DRAWN: MJA
REVIEWED: MJA
PROJECT MANAGER: MJA
DATE: 4/25/23

**Alford and Associates**  
 Consulting Engineers  
 7112 Suite B Siwell Road  
 Byram, Mississippi 39272

Existing Site Boundary & Topo  
 Four Seasons Drapery & Hardware  
 Gluckstadt MS

PROJECT No.	
CAD FILE NAME	
DRAWING	3



**LEGEND**

- PROPERTY LINE
- EXISTING 8" WATER MAIN
- EXISTING 10" SEWER FORCE MAIN
- EXISTING NATURAL GAS LINE
- WATER SERVICE
- SEWER SERVICE
- F.G.C.O.
- SETBACK LINE
- PROPOSED RADIUS TO FACE OF CURB OR EDGE CONCRETE
- HEAVY DUTY CONCRETE PAVING

**GENERAL NOTES**

1. ALL EXCAVATION, OVER EXCAVATION, BACKFILL AND COMPACTION OF FILL MATERIAL SHALL FOLLOW RECOMMENDATIONS OF GEOTECHNICAL REPORT, PROVIDED BY OTHERS. SEE GEOTECH REPORT FOR PAVING RECOMMENDATIONS.
2. HANDICAPPED PARKING SPACES, AND ROUTE TO BUILDING SHALL BE 2% MAX. SLOPE.
3. CONTRACTOR SHALL NOTIFY MISSISSIPPI 811 BEFORE ANY EXCAVATION TO HAVE UNDERGROUND UTILITIES LOCATED.
4. RADII SHOWN ARE TO THE PROPOSED EDGE OF CONCRETE, OR FACE CURB.
5. ALL EXPOSED NON PARKING/DRIVE AREAS SHALL BE SEEDED AND MULCHED AFTER CONSTRUCTION.
6. ANY CONCRETE PAVING SHALL HAVE SAW CUT JOINTS AT 12.5' ON CENTERS.
7. WATER AND SEWER SERVICE PROVIDED BY BEAR CREEK WATER ASSOCIATION. SERVICES SHALL BE FIELD LOCATED TO REQUIRED INLET/OUTLET LOCATIONS. WATER & SEWER CONNECTIONS SHALL BE PER BEAR CREEK W.A. DUPLEX GRINDER PUMP LIFT STATION TO BE SIZED FOR MAXIMUM SEWER FLOWS AND SIZED FOR EXISTING FORCE MAIN FLOW AND HEAD CONDITIONS.
8. TOTAL PROPOSED SITE AREA 0.94 AC. - 0.43 AC. HARD SURFACE, 0.51 AC. GRASS.
9. MAJORITY OF PROPERTY LOCATED IN FEMA FLOOD ZONE X PER FLOOD MAP 28089C0451F, EFFECTIVE DATE 3-17-10. NORTHWEST CORNER IN FLOOD ZONE AE. 100 YR. BASE FLOOD ELEV. 253.90.



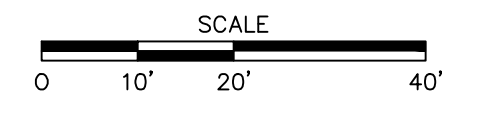
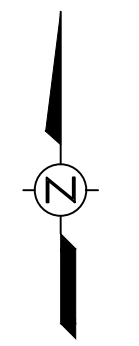
REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
2	DRAINAGE REVISIONS	MJA	5/10/23
1	REVISIONS PER CITY	MJA	5/5/23
0	ISSUED FOR REVIEW	MJA	5/1/23

SCALE: SHOWN
DRAWN: MJA
REVIEWED: MJA
PROJECT MANAGER: MJA
DATE: 4/26/23

**Alford and Associates**  
 Consulting Engineers  
 7112 Suite B Siwell Road  
 Byram, Mississippi 39272

Site & Utility Plan  
 Four Seasons Drapery & Hardware  
 Gluckstadt MS

PROJECT No.	
CAD FILE NAME	
DRAWING	4



**LEGEND**

- 260 EXISTING CONTOUR
- 260 PROPOSED CONTOUR
- DRAINAGE DIRECTION
- PROPOSED SWALE
- 261.40 PROPOSED SPOT ELEVATION
- SILT FENCE
- STAKED HAY WATTLE

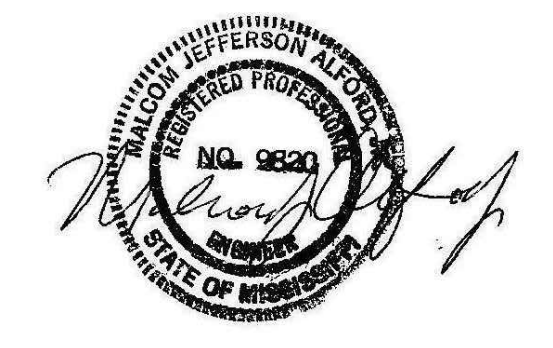
**GENERAL NOTES**

1. ALL EXCAVATION, OVER EXCAVATION, BACKFILL AND COMPACTION OF FILL MATERIAL SHALL FOLLOW RECOMMENDATIONS OF GEOTECHNICAL REPORT, PROVIDED BY OTHERS. SEE GEOTECH REPORT FOR PAVING RECOMMENDATIONS.
2. CONTRACTOR SHALL NOTIFY MISSISSIPPI 811 BEFORE ANY EXCAVATION TO HAVE UNDERGROUND UTILITIES LOCATED.
3. ALL EXPOSED NON PARKING/DRIVE AREAS SHALL BE SEEDED AND MULCHED AFTER CONSTRUCTION.
4. TOTAL PROPOSED SITE AREA 0.94 AC. - 0.43 AC. HARD SURFACE, 0.51 AC. GRASS.
5. GRADE TO DRAIN OVER CURB THESE AREAS.
6. DRAINAGE SWALE TO ROAD DITCH SHALL BE PROVIDED ALONG EAST PROPERTY LINE.

**STORMWATER RUNOFF SUMMARY**

<p>PRE-DEVELOPMENT:                  TOTAL AREA = 0.94 AC                  GREEN AREA = 0.94 AC.                   C GREEN = 0.64                  C IMPERVIOUS = 0.93                  WEIGHTED C = 0.64                  SLOPE = 2.0%                  HYDR. LENGTH = 250'                  TIME CONC. = 10.84 MINUTES                  Q100 = 4.88 cfs</p>	<p>POST-DEVELOPMENT:                  TOTAL AREA = 0.94 AC                  GREEN AREA = 0.51 AC.                  IMPERVIOUS AREA = 0.43 AC.                  C GREEN = 0.64                  C IMPERVIOUS = 0.93                  WEIGHTED C = 0.78                  SLOPE = 2.0%                  HYDR. LENGTH = 250'                  T = 7.30 MINUTES                  Q100 = 6.72 cfs</p>
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HYDRAFLOW STORM WATER/DETENTION RESULTS - RATIONALE METHOD  
 GENERAL NOTES: STORM FREQUENCY = 100 YRS.  
 $T_c = (10 * L^{0.37}) / ((17 * C) * (S^{0.21}))$



REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
1	DRAINAGE REVISIONS	MJA	5/10/23
0	ISSUED FOR REVIEW	MJA	5/1/23

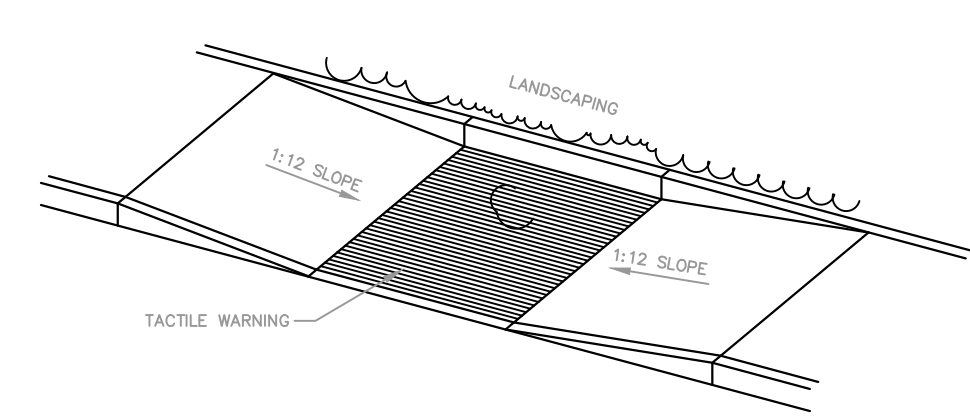
SCALE: SHOWN
DRAWN: MJA
REVIEWED: MJA
PROJECT MANAGER: MJA
DATE: 4/26/23

**Alford and Associates**  
 Consulting Engineers  
 712 Suite B Siwell Road  
 Byram, Mississippi 39272

Grading & Drainage Plan  
 Four Seasons Drapery & Hardware  
 Gluckstadt MS

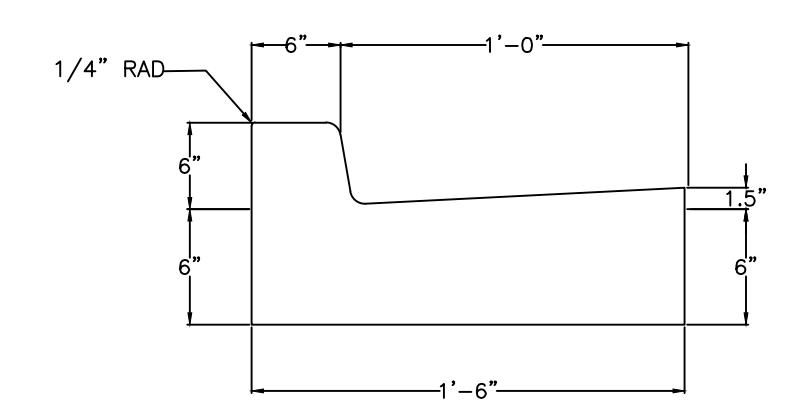
PROJECT No.	
CAD FILE NAME	
DRAWING	5





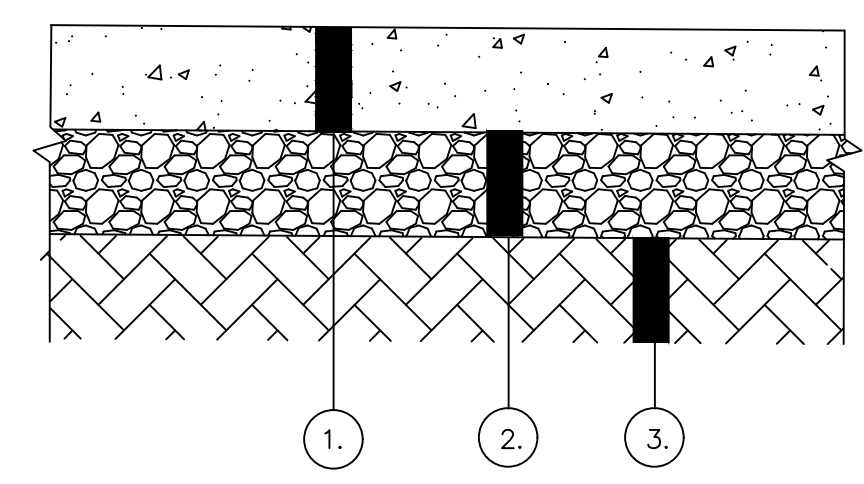
**CURB TRANSITION FOR HANDICAP RAMP**  
N.T.S.

**GENERAL NOTES:**  
ALL CAST-IN-PLACE CONCRETE STRUCTURES IDENTIFIED BY THESE CONSTRUCTION PLANS SHALL BE A MINIMUM OF 3,000 PSI UNLESS OTHERWISE NOTED.



**STAND-UP CURB AND GUTTER**  
NOT TO SCALE

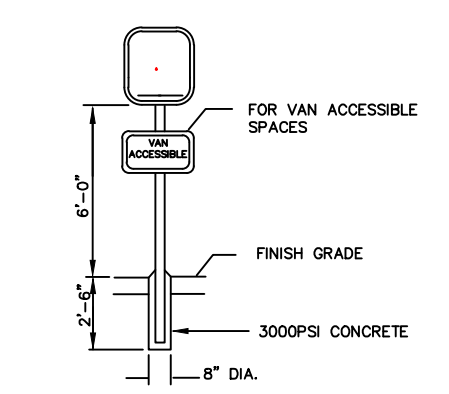
**NOTE:**  
DUMMY JOINTS WILL BE MADE AT 10' INTERVALS. EXPANSION JOINTS WILL BE MADE AT 40' INTERVALS AND PRECUT JOINT MATERIAL TEMPLATES WILL BE USED IN ALL EXPANSION JOINTS.



- ① 5" MIN. 4000 PSI CONCRETE
- ② 6" MIN. CRUSHED AGGREGATE (#610 GRADATION),
- ③ COMPACTED SUBGRADE - SEE GEOTECH REPORT FOR EXCAVATION AND COMPACTION REQUIREMENTS

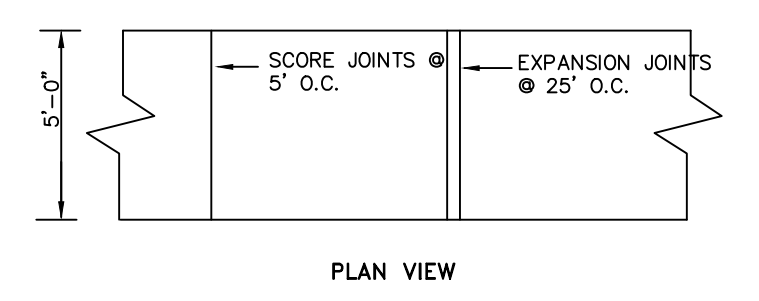
**NOTE:** REFER TO GEOTECHNICAL REPORT FOR PAVING DETAILS/RECOMMENDATIONS

**LIGHT DUTY CONCRETE PAVEMENT**  
NOT TO SCALE

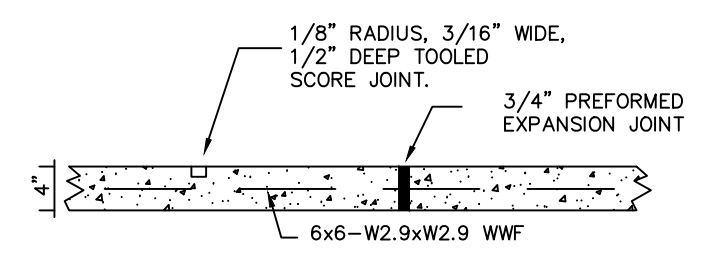


- NOTES:**
1. HANDICAP PARKING SIGN SHALL CONFORM TO ALL GOVERNING REGULATIONS.
  2. HANDICAP SIGN SHALL BE 12"x18"x0.80", FASTENED WITH TWO EACH 3/8" CADDIUM BOLTS, NUTS AND WASHERS.
  3. POST SHALL BE 1.75"x3-1/2" HEAVY DUTY GALVANIZED.
  4. CONTRACTOR SHALL INSTALL A HANDICAP PARKING SIGN AT EACH HANDICAP PARKING SPACE.

**HANDICAP SIGN**  
NOT TO SCALE

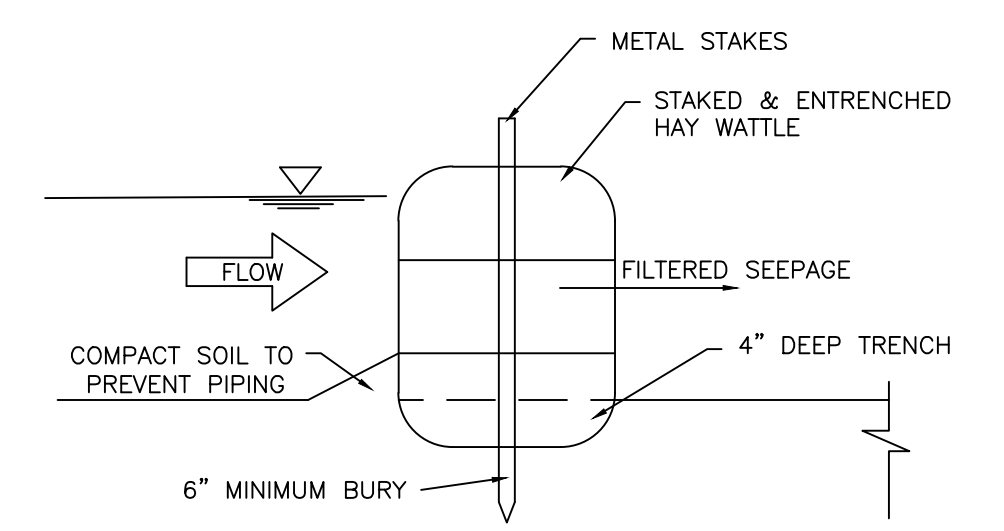


**PLAN VIEW**

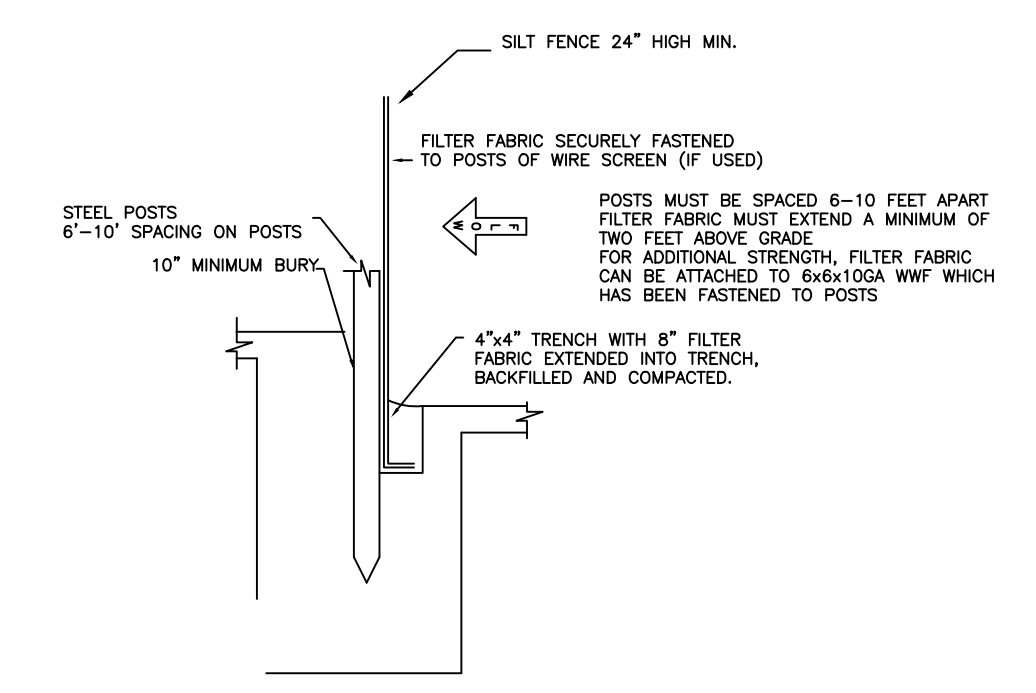


CONTRACTOR MAY OMIT WELDED WIRE FABRIC IF CONCRETE CONTAINS FIBROUS REINFORCEMENT.  
CONCRETE SHALL HAVE 3000 PSI AT 28 DAYS.

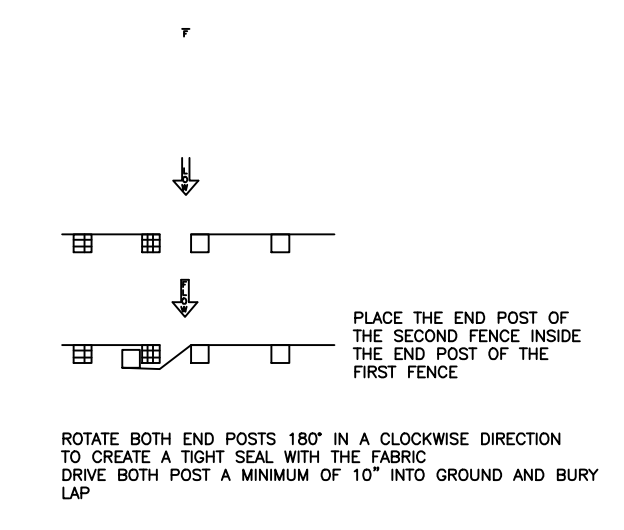
**SIDEWALK**



**HAY WATTLE INSTALLATION**  
SCALE: SHOWN



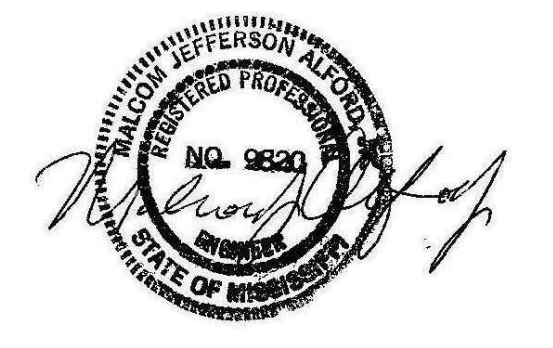
**SILT FENCE TYPICAL SECTION**



**ATTACHING TWO SILT FENCES**

**SILT FENCE MAINTENANCE PLAN**

1. CARE SHALL BE TAKEN TO MINIMIZE THE MOVEMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES AND PUBLIC STREETS UNTIL THE IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED.
2. A DROP INLET SEDIMENT TRAP WITH PERIMETER SILT FENCING OR PROPERLY INSTALLED HAYBALE BARRIERS IS THE RECOMMENDED METHOD OF INLET PROTECTION. SEDIMENT WILL BE REMOVED FROM THE EXCAVATED DROP INLET SEDIMENT TRAP AND RESTORED TO THE ORIGINAL DEPTH WHEN SEDIMENT ACCUMULATION HAS REACHED HALF THE DEPTH OF THE
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATIONAL INTEGRITY FOLLOWING EVERY RUNOFF PRODUCING RAINFALL BUT IN NO CASE, LESS THAN EVERY WEEK, ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN THE MEASURE'S PERFORMANCE AS DESIGNATED.
4. SEDIMENT WILL BE REMOVED FROM THE UPSTREAM FACE OF THE SILT FENCE WHEN IT REACHES A MAXIMUM SIX-INCH (6") DEPTH AT THE FENCE. THE FENCE WILL BE REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. SILT FENCE POSTS SHALL BE ALTERNATING STEEL.



REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
0	ISSUED FOR REVIEW	MJA	5/1/23

SCALE:	SHOWN
DRAWN:	MJA
REVIEWED:	MJA
PROJECT MANAGER:	MJA
DATE:	4/26/23

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Consulting Engineers  
7112 Suite B Siwell Road  
Byram, Mississippi 39272

Site Details  
Four Seasons Drapery & Hardware  
Gluckstadt MS

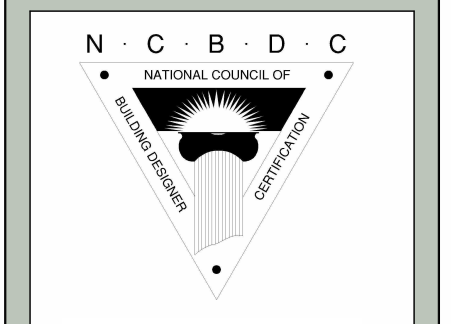
PROJECT No.	
CAD FILE NAME	
DRAWING	6

# Hydrograph Return Period Recap

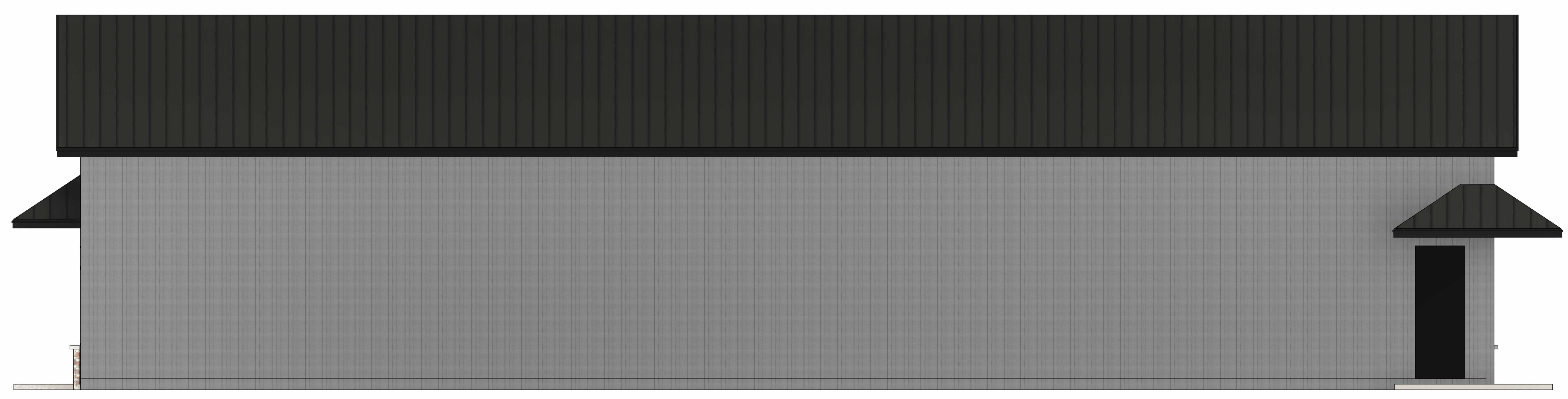
Hyd. No.	Hydrograph type (origin)	Inflow Hyd(s)	Peak Outflow (cfs)								Hydrograph description
			1-Yr	2-Yr	3-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
1	Rational	-----	-----	2.67	-----	3.16	3.52	4.05	4.47	4.88	Pre
2	Rational	-----	-----	3.81	-----	4.44	4.91	5.62	6.17	6.72	Post



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① Left Elevation Copy 1  
1/4" = 1'-0"



② Right Elevation Copy 1  
1/4" = 1'-0"

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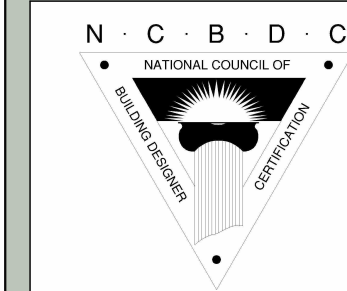
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Rendered Elevations

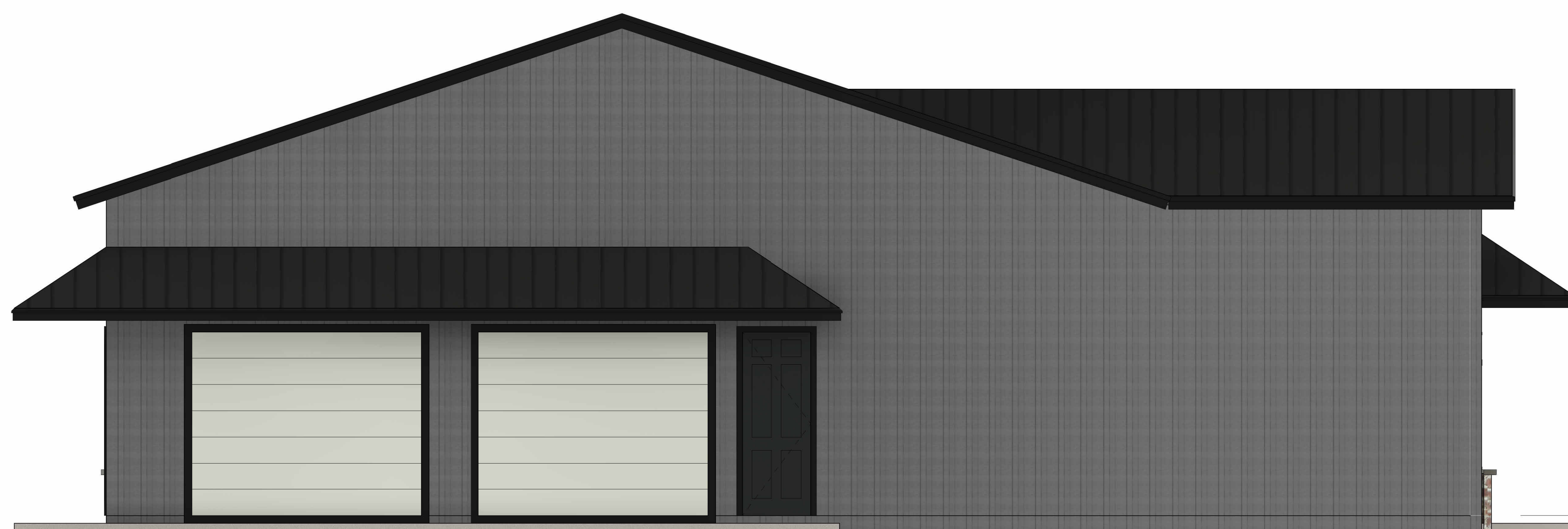
Project	4246
Date	01-25-2023
Drawn by	L McCombs
Checked by	U Pineda

10

Scale 1/4" = 1'-0"



① Front Elevation Copy 1  
1/4" = 1'-0"



③ Rear Elevation Copy 1  
1/4" = 1'-0"

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Rendered Elevations

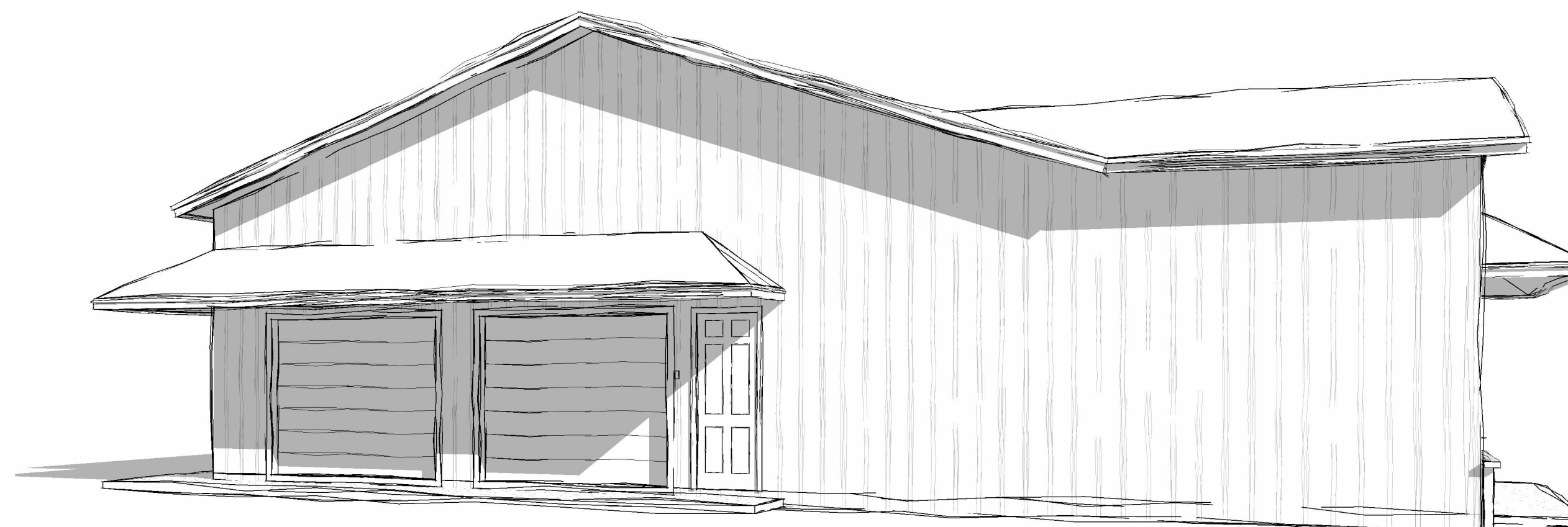
Project	4246
Date	01-25-2023
Drawn by	L McCombs
Checked by	U Pineda

9

Scale 1/4" = 1'-0"



A Metal Building Designed  
for  
Four Seasons Drapery & Hardware, LLC.



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Cover Sheet

Project 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

1

Scale

**Plot Plan**

Project number	4246
Date	09-14-2023
Drawn by	L McCombs
Checked by	U Pineda

**2**  
 Scale As indicated

**PLOT PLAN**

SCALE: 1"= 20'-0"

ADDRESS: \_\_\_\_\_

PARCEL NO. 082H-27-023/ 25.00 ON YANDELL RD.

GLUCKSTADT, MADISON COUNTY, MISSISSIPPI

LOT AREA: 0.94 ACRES (+/-)

OWNER: FOUR SEASONS LAND HOLDINGS LLC.

CURRENT ADDRESS: \_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_

BUILDER: \_\_\_\_\_

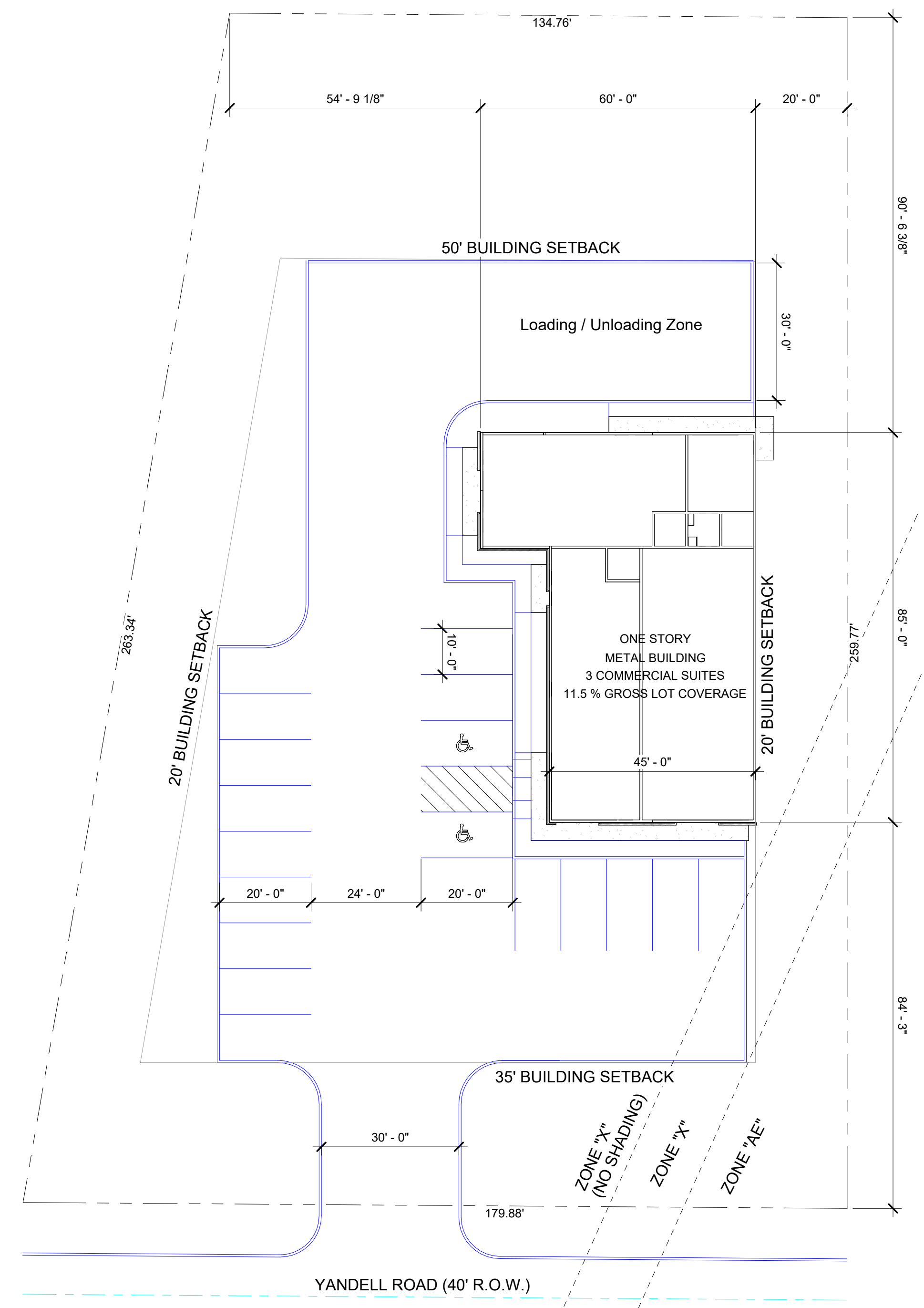
ADDRESS: \_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_

BUILDING PERMIT NO.: \_\_\_\_\_

**GENERAL NOTES:**

ALL DIMENSIONS, PROPERTY LINES, SETBACK LINES AND EASEMENTS SHALL BE VERIFIED BY OWNER AND CONTRACTOR PRIOR TO ANY WORK.  
 EXISTING ELEVATIONS SHALL BE NOTED OR VERIFIED BY CONTRACTOR AT EACH PROPERTY CORNER  
 EXISTING AND FINISH ELEVATIONS SHALL BE NOTED BY CONTRACTOR AT EACH CORNER OF THE PROPOSED RESIDENCE PRIOR TO CONSTRUCTION.  
 PROPER DRAINAGE PATTERN SHALL BE DETERMINED BY CONTRACTOR AND APPROVED BY BUILDING INSPECTOR PRIOR TO PLACEMENT FOUNDATION FORMS.  
 DRAINAGE FACILITIES SHALL BE DESIGNED TO PREVENT EXCESSIVE RUNOFF ONTO ADJACENT PROPERTIES. EXCESSIVE RUNOFF PERTAINS TO QUANTITY, EXPRESSED IN CUBIC FEET PER SECOND (CFS) AS WELL AS QUALITY, EXPRESSED AS EROSION, SILTATION, AND CHEMICAL/BIOLOGICAL CONTAMINANTS  
 FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISH GRADE ELEVATION (INCLUDING SOD).  
 FINISH GRADE (INCLUDING SOD) AT A 10'-0" PERIMETER DISTANCE FROM THE BUILDING OR MID-DISTANCE THE PROPERTY LINE (WHICHEVER IS LESS) SHALL BE A MINIMUM OF 17" LOWER THAN FINISH FLOOR  
 GRADING OF ENTIRE LOT SHALL HAVE A MINIMUM OF 2% SLOPE FOR PROPER DRAINAGE.  
 ALL IMPROVEMENTS SHOWN ARE PROPOSED.  
 BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BRICK ON PLOT PLAN ONLY.  
 ALL CURVED LOT DIMENSIONS ARE CHORD LENGTH UNLESS OTHERWISE NOTED.  
**SIDEWALKS**  
 ALL SIDEWALKS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, WITH A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN TWENTY EIGHT DAYS.  
 ALL SIDEWALKS ARE TO HAVE A WIDTH AND SHALL BE CONSTRUCTED AS PER THE LOCATION SHOWN ON THESE PLANS.  
 ALL SIDEWALKS SHALL BE SCORED TO A DEPTH OF 3/4" AT FOUR (4) FOOT INTERVALS, WITH EXPANSION JOINTS PLACED AT TWENTY (20) FOOT INTERVALS.  
 EXPANSION JOINTS SHALL BE CONSTRUCTED OF 1/2" THICK PRE-MOLDED EXPANSION MATERIAL WITH ALL CORNERS TO BE FORMED BY EXPANSION JOINTS.  
 ANY SIDEWALK OR ACCESSIBLE ROUTE THAT IS NOT AT A LEVEL ELEVATION AT ITS INTERSECTION WITH A DRIVEWAY OR STREET WILL BE REQUIRED TO INSTALL A CURB RAMP AT A MAXIMUM SLOPE OF 1:12, WITH A MAXIMUM RISE OF 30" AND A MINIMUM LEVEL STRAIGHT CURB OF 48".  
 THE TEXTURE OF THE DRIVEWAY AND INTERSECTION HANDICAP RAMP SURFACES SHALL BE CONSTRUCTED OF NON-SLIP SURFACE, ACCOMPLISHED BY "BROOMING" THE RAMP SURFACES AND GROOVING ONE INCH SPACINGS AT RIGHT ANGLE DIRECTIONS. GROOVES ARE TO BE APPROXIMATELY 1/4" X 1/8" WIDE.  
 SIDEWALK SHALL BE SLOPED 1" TOWARDS THE STREET.  
**DRIVEWAYS**  
 ALL DRIVEWAYS BETWEEN THE STREET AND PROPERTY LINE CONNECTING WITH AN EXISTING ROADWAY ARE TO BE CONSTRUCTED IN ACCORDANCE WITH DETAIL AS SHOWN IN THIS PLAN UNLESS OTHERWISE SPECIFIED BY LOCAL ORDINANCE OR SUBDIVISION COVENANTS.

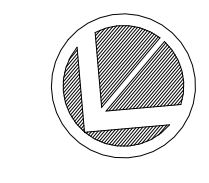


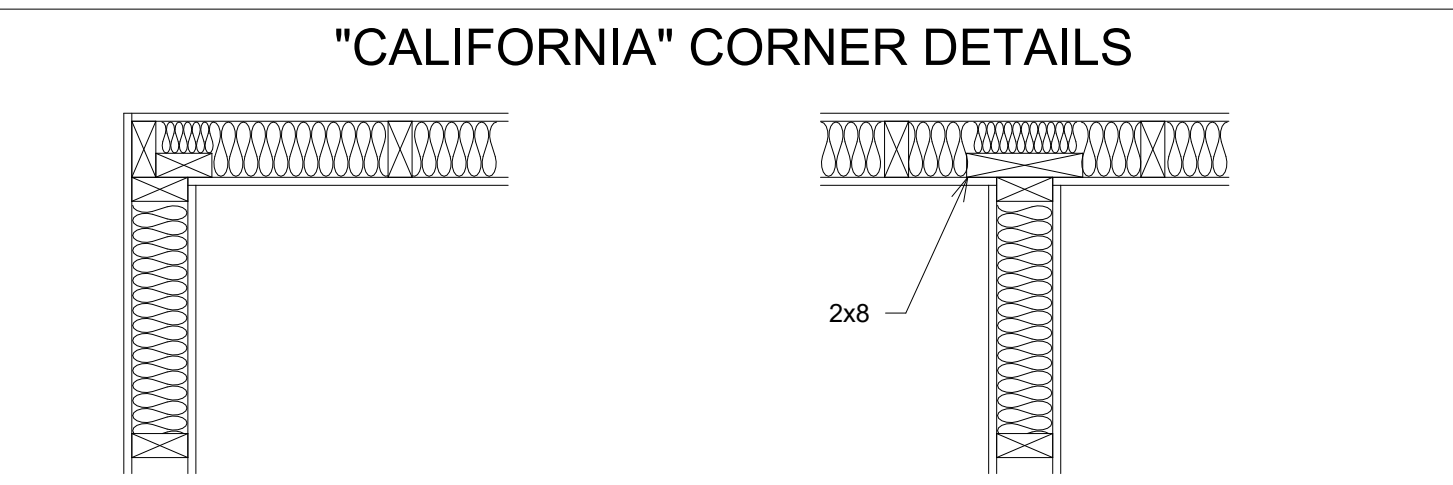
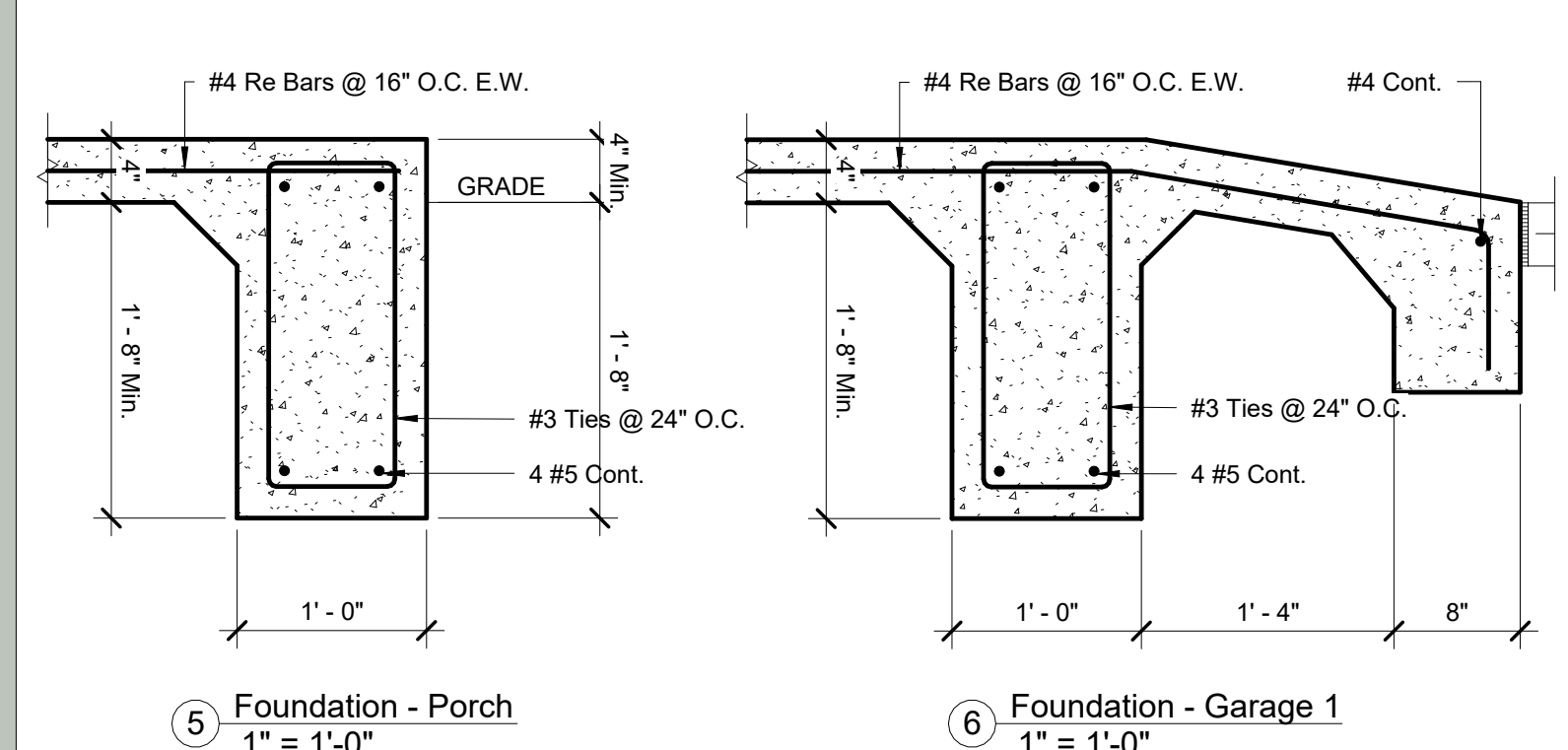
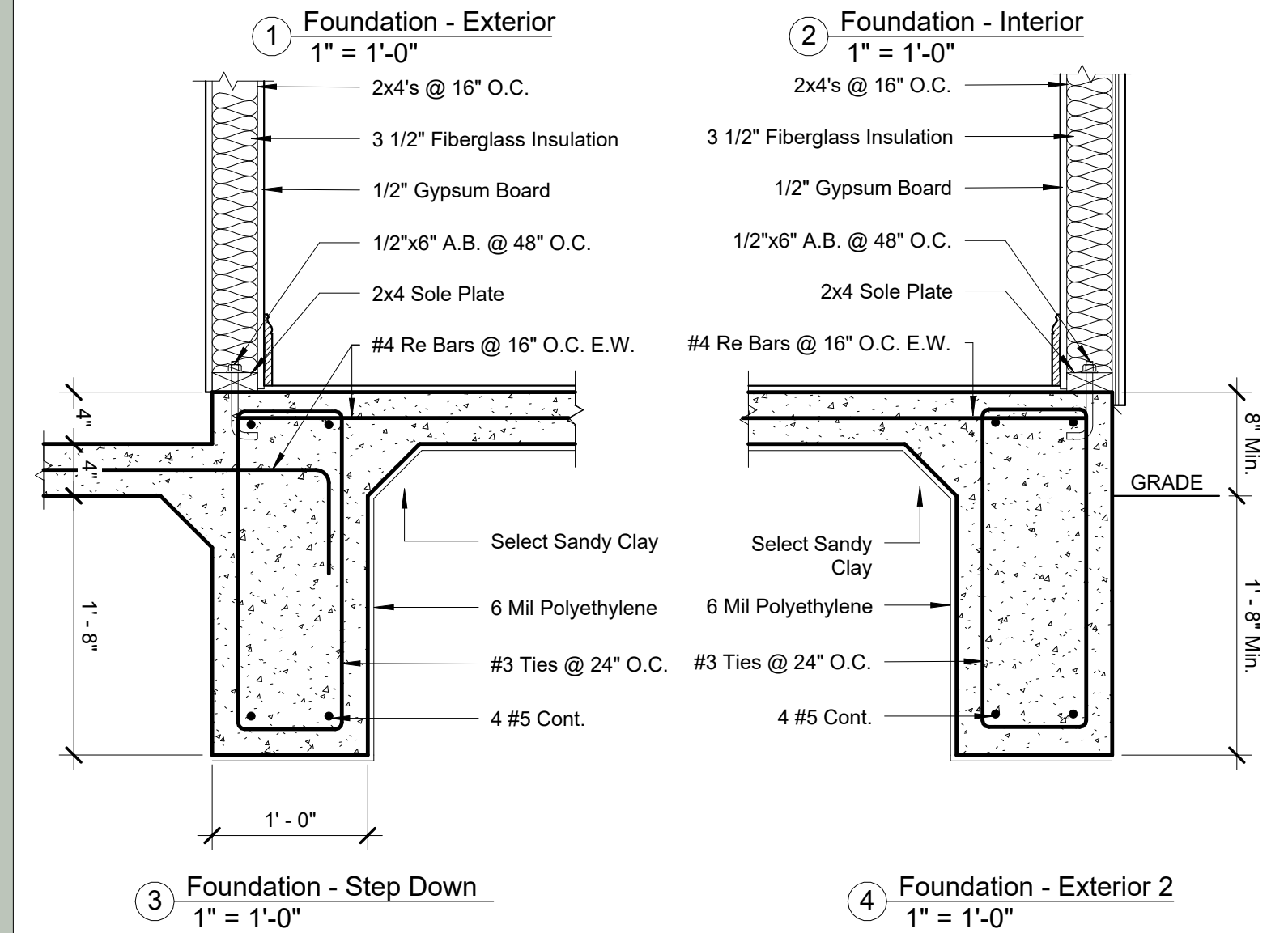
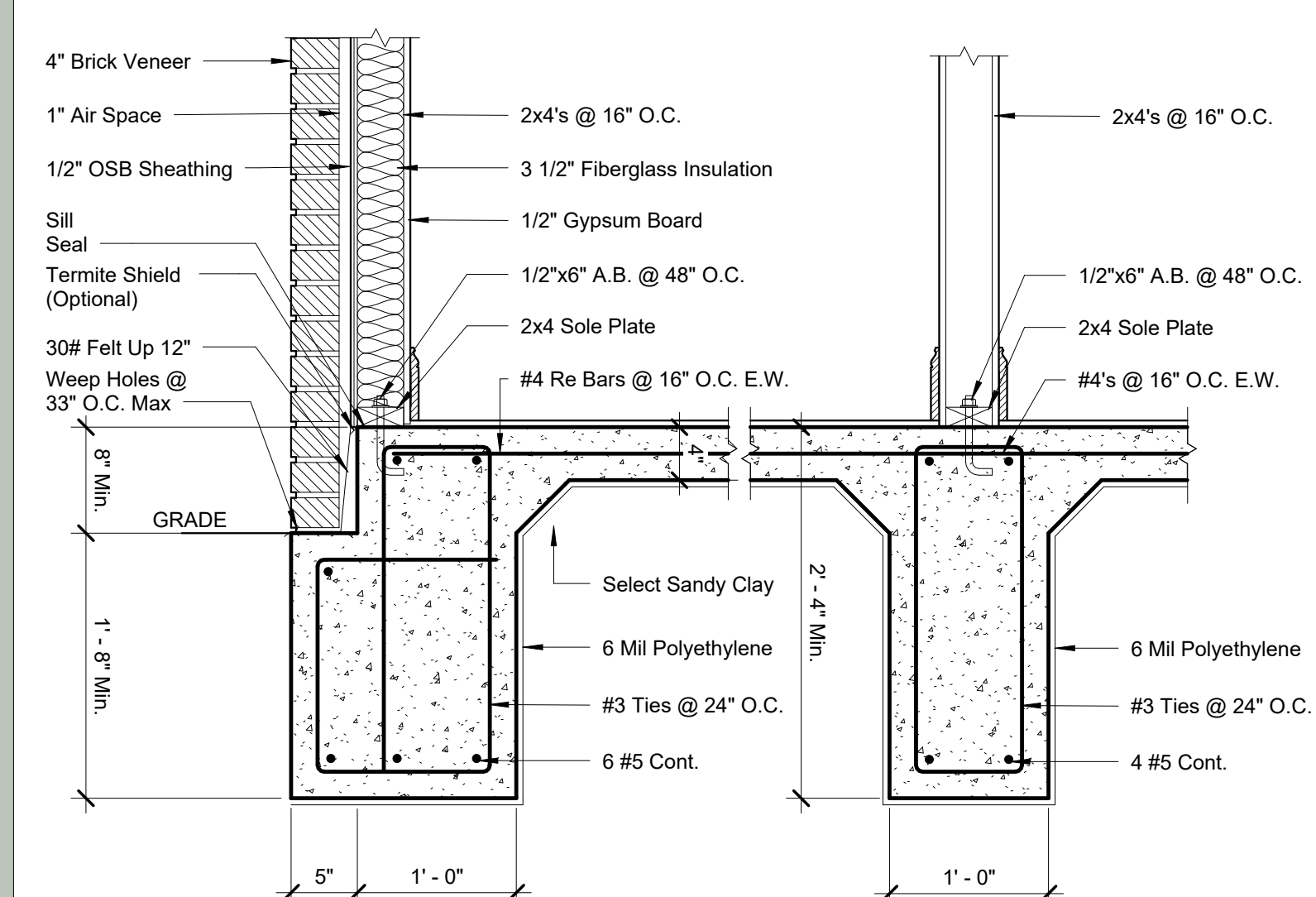
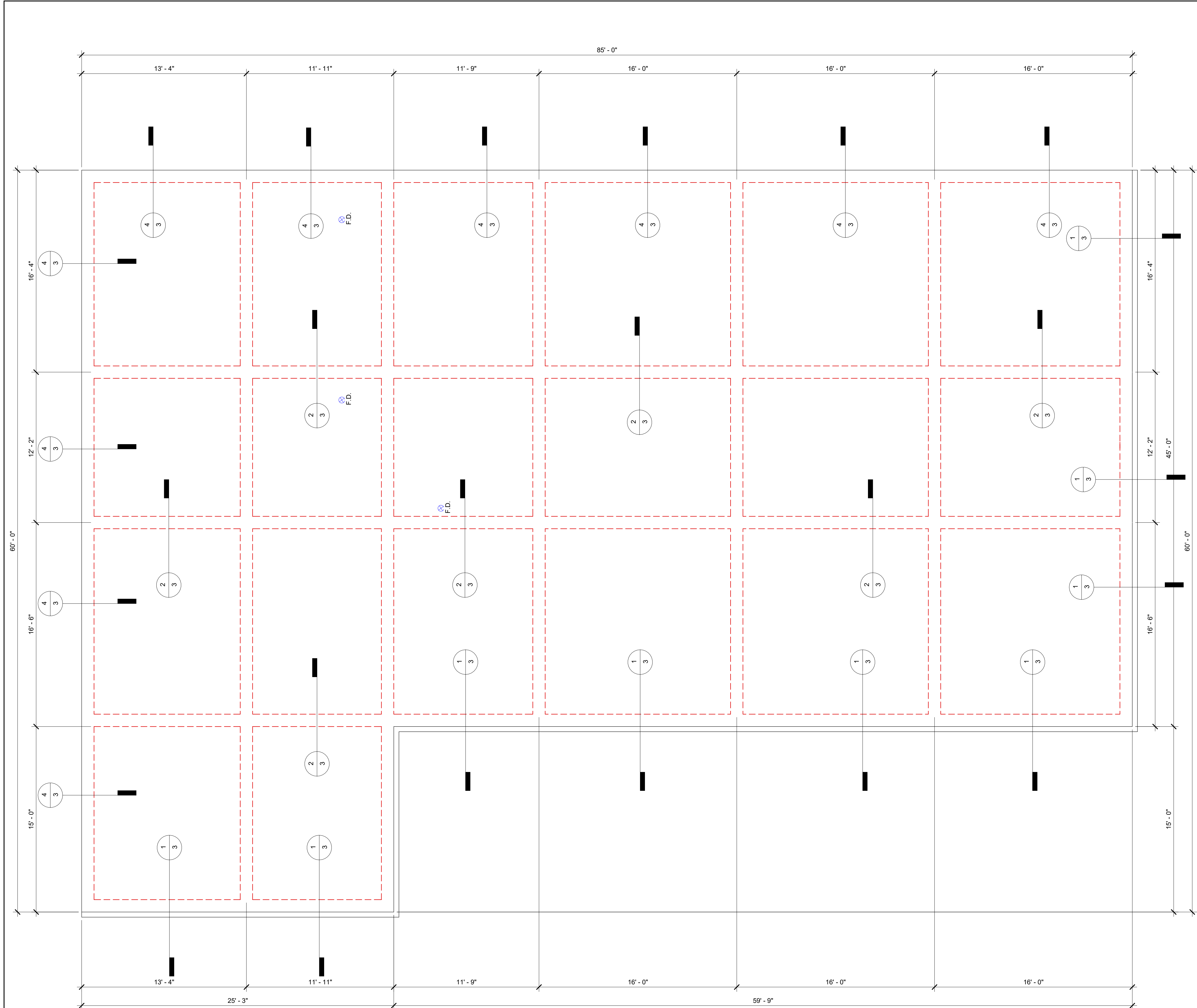
PARCEL NO. 082H-27-023/01.00  
 MISSISSIPPI STATE UNIVERSITY

PARCEL NO. 082H-27-024/00.00  
 NEW MT. ZION CEMETERY

**PARKING**  
 STANDARD SPACES: 17  
 HANDICAPPED SPACES: 2  
 TOTAL PARKING SPACES: 19

- SYMBOLS:**
- PROPERTY LINE PL
  - SETBACK LINE SETBACK
  - EASEMENT LINE EASEMENT
  - CENTERLINE OF STREET CL
  - SWALE SWALE
  - SILT FENCE
  - ELEVATION MARK FIN. EL.: XX.XX' (FINISHED GRADE ELEVATION)
  - DRAINAGE DIRECTION
  - NORTH ARROW





**FOUNDATION NOTES**

- ABOVE SECTIONS APPLY TO SITES WITH UPPER SOILS (TOP 8") HAVING A PLASTICITY INDEX UP TO 24. A SOIL TEST SHALL BE TAKEN IN ORDER TO DETERMINE APPLICABILITY OF THESE DETAILS. AN ENGINEER SHALL BE CONSULTED IF SOIL IS NOT IN COMPLIANCE WITH THESE SPECIFICATIONS.
- ALL FILL MATERIAL SHALL BE SELECT, NON-EXPANSIVE MATERIALS, PLACED AND COMPACTED IN 9" MAXIMUM LOOSE LIFTS. COMPACT EACH LIFT TO 95% STANDARD PROCTOR DENSITY.
- BORROWED FILL MATERIAL SHALL CONSIST OF SOIL HAVING A MOISTURE CONTENT WITHIN 4% OF OPTIMUM AND A PLASTICITY INDEX OF NOT LESS THAN 10 NOR MORE THAN 17.
- PROVIDE 4" MIN. THICKNESS OF GRANULAR FILL (COMPACTED) UNDER SLAB.
- PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB WITH AT LEAST 9" OF SLOPE AT 10' AWAY FROM FOUNDATION.
- INSTALL .006 VISQUEEN OVER FILL UNDER CONCRETE. SEAL AROUND ALL PIPE AND LAP ALL JOINTS A MIN. OF 12".
- AFTER PLACING GRAVEL FILL UNDER SLABS, AND PRIOR TO PLACING VAPOR BARRIER, APPLY 0.5% DIELDRIN IN OIL SOLUTION OR WATER EMULSION AT THE RATE OF 1 GALLON PER SEVEN (7) SQUARE FEET. SUCH APPLICATION SHALL BE MADE BY A STATE LICENCED EXTERMINATOR AND HAVE A MIN. OF 5 YEAR WARRANTY.
- ALL CONCRETE SHALL COMFORM TO CURRENT ACI SPECIFICATIONS AND SHALL BE REGULAR SAND AND GRAVEL WITH A MINIMUM OF 3000 P.S.I. IN 28 DAYS.
- PROVIDE NECESSARY ACCESSORIES TO HOLD REINFORCING BARS IN THE PROPER POSITION.
- #5 BARS AND SMALLER SHALL BE DEFORMED GRADE 40. #6 AND GREATER SHALL BE GRADE 60.
- LAP #4 BARS 20" MIN. AT SPLICE. PROVIDE 4 #4 CORNER BARS (20" X 20") AT CORNERS.

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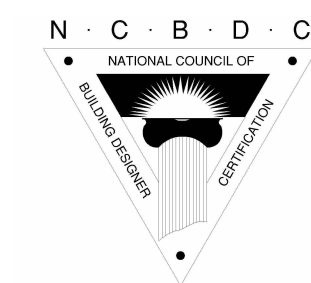
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**Foundation Plan**

Project number 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

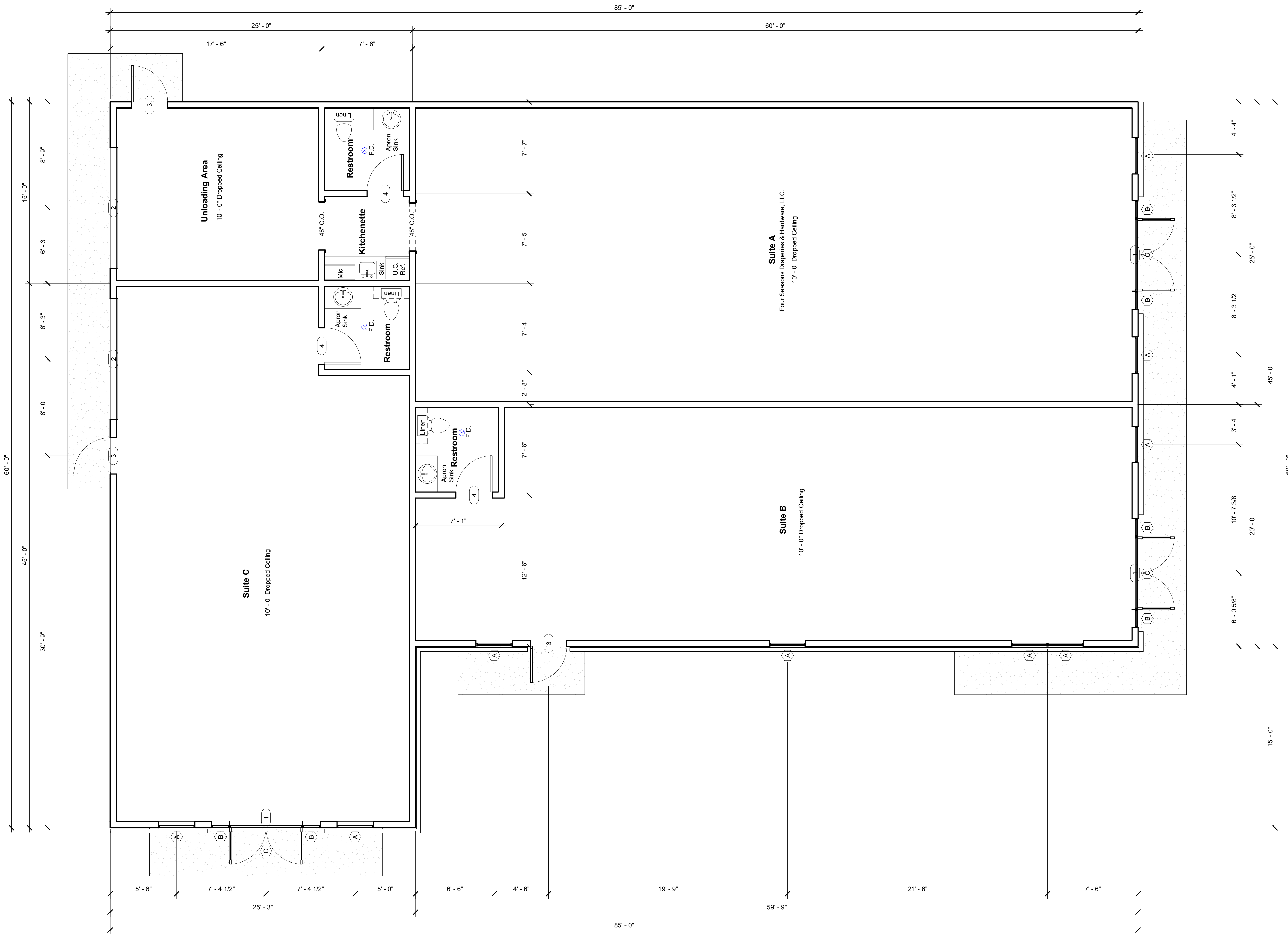
**3**  
Scale As indicated



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Note: See Metal Building Manufacturer Shop Drawings for Roofing and Framing Details

Door Schedule					
Door Type	Width	Height	Description	Count	U-Value SHGC
1	6' - 0"	6' - 8"	Pair - Exterior Storefront w/ Sidelights and Transom	3	
2	10' - 0"	8' - 0"	Overhead Roll Up Door	2	
3	3' - 0"	8' - 0"	Ext. Metal Insulated Door	3	
4	3' - 0"	8' - 0"	Int. Panel Door	3	

Window Schedule					
Type Mark	Size		Description	Count	U-Value SHGC
	Width	Height			
A	3' - 0"	6' - 0"	Fixed w/ Insulated Glass	9	
B	1' - 6"	1' - 4"	Fixed Storefront w/ Insulated Glass	6	
C	<varies	1' - 4"	Fixed Storefront w/ Insulated Glass	3	
D	1' - 6"	6' - 8"	Fixed Storefront w/ Insulated Glass	6	

Area Schedule (Gross Building)	
Name	Area
Suite A	1875 SF
Suite B	1200 SF
Suite C	1129 SF
Awnings	520 SF
Total Under Roof	4723 SF

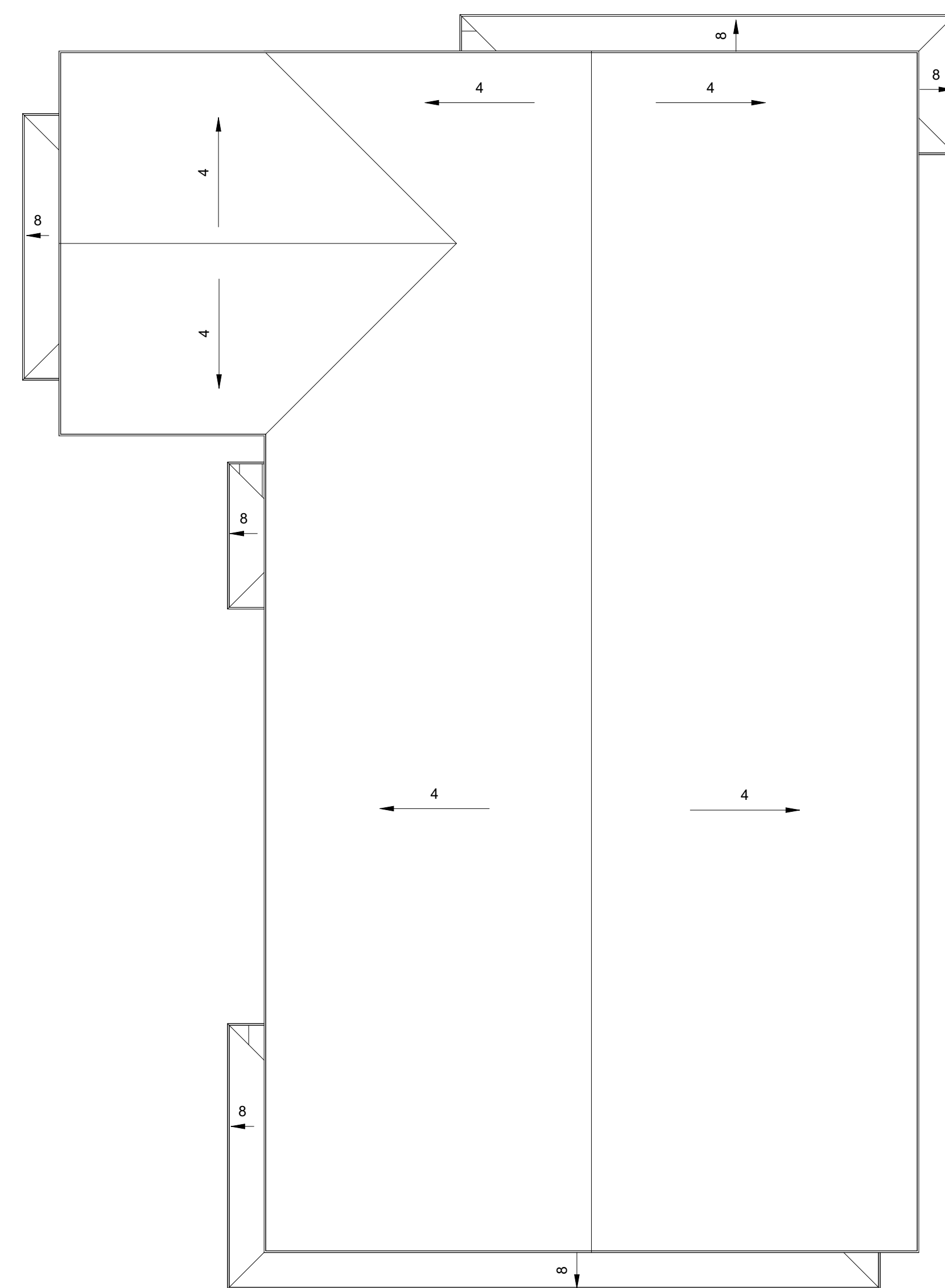
## First Floor Plan

Project 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

4

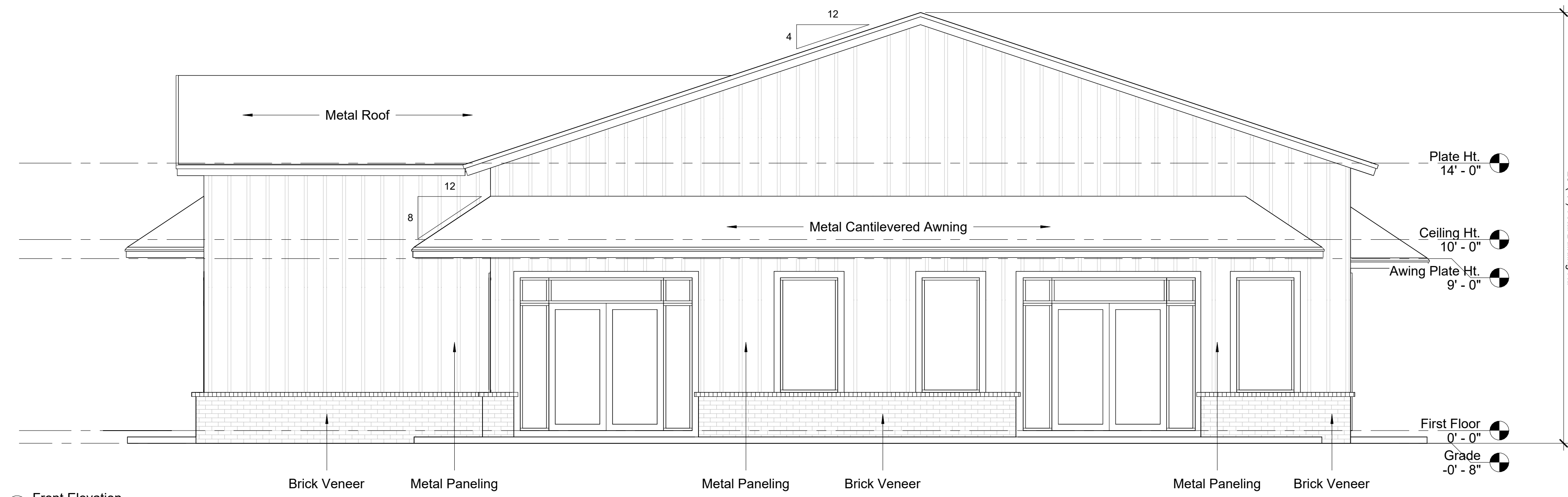
Scale 1/4" = 1'-0"





Note: See Metal Building Manufacturer Shop Drawings for Roofing and Framing Details

3 Roof Plan  
1/8" = 1'-0"



1 Front Elevation  
1/4" = 1'-0"



2 Rear Elevation  
1/4" = 1'-0"

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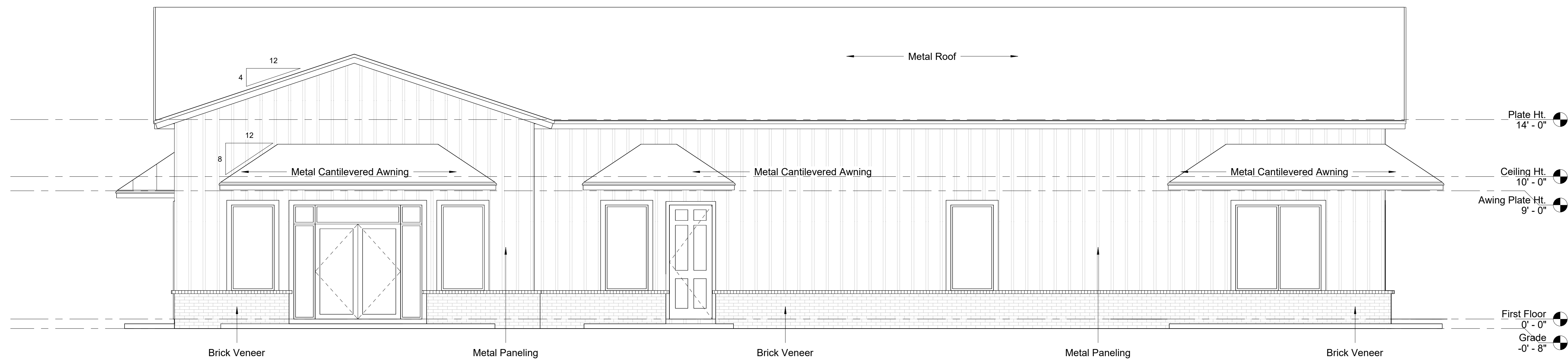
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Exterior Elevations

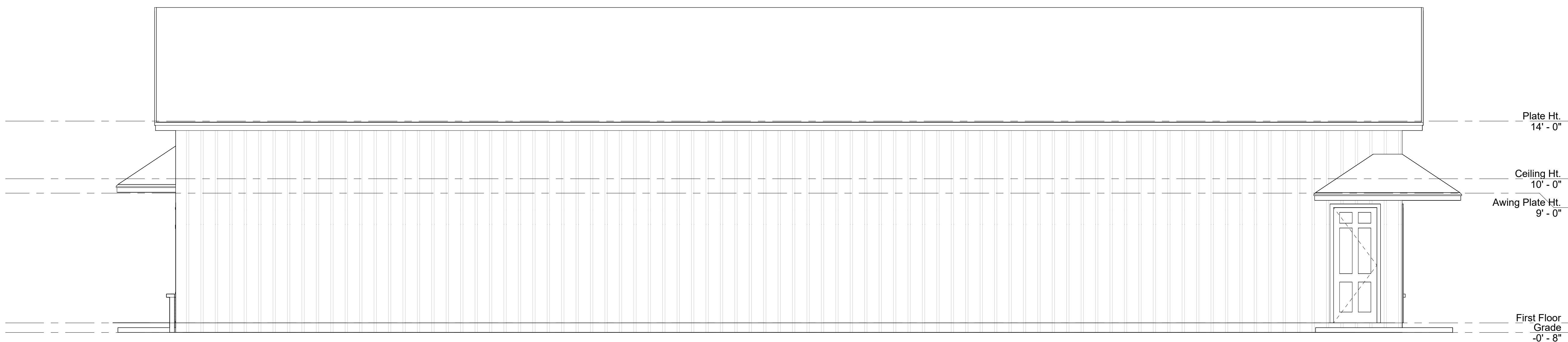
Project	4246
Date	09-14-2023
Drawn by	L McCombs
Checked by	U Pineda

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Scale As indicated



1 Left Elevation  
1/4" = 1'-0"



2 Right Elevation  
1/4" = 1'-0"

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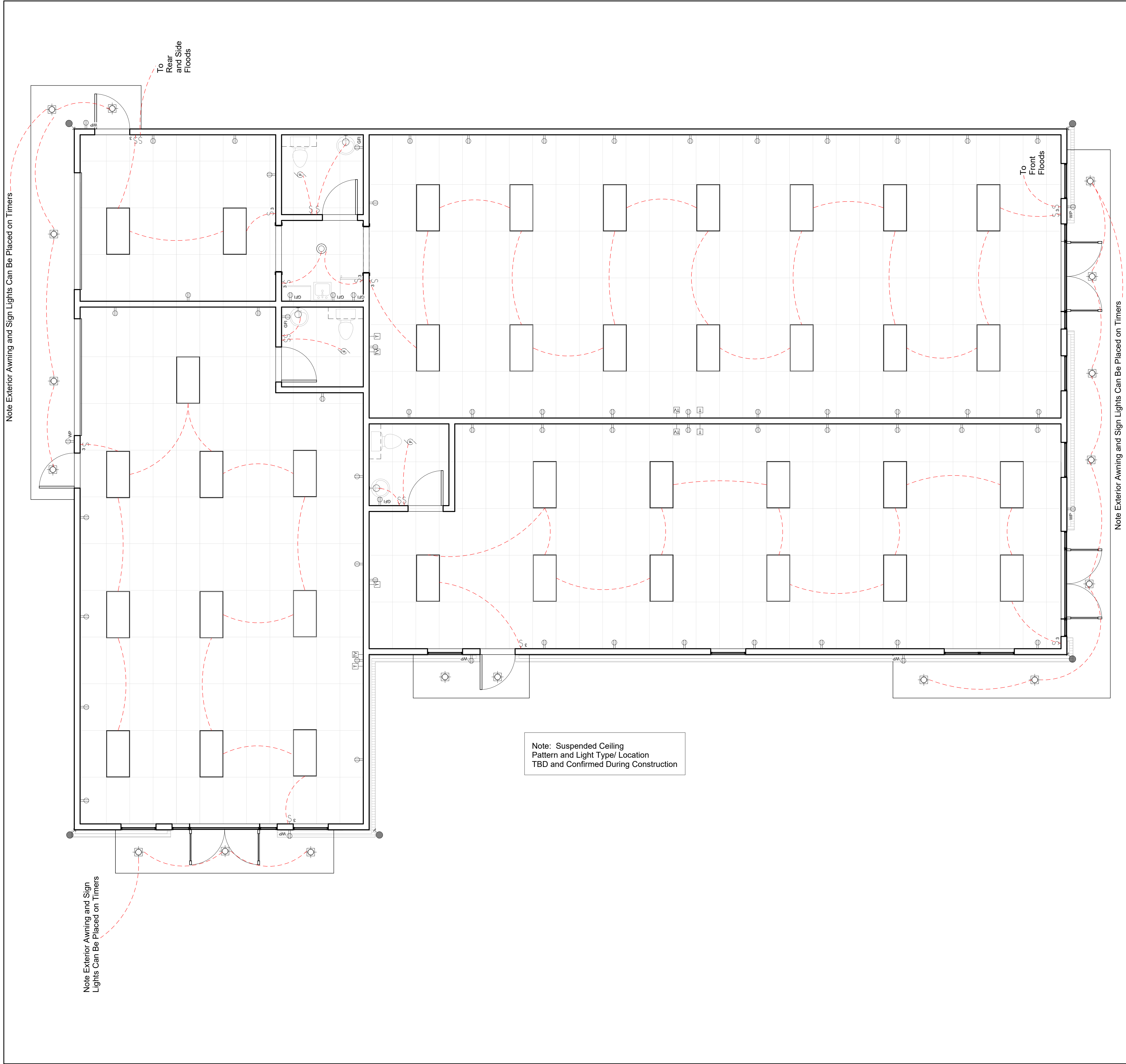
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Exterior Elevations

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Date	09-14-2023
Drawn by	L McCombs
Checked by	U Pineda

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Scale 1/4" = 1'-0"



**ELECTRICAL SYMBOLS**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SURFACE CEILING FIXTURE		SINGLE POLE SWITCH
	RECESSED CEILING FIXTURE		THREE WAY SWITCH
	RECESSED SWIVEL CEILING FIXTURE		FOUR WAY SWITCH
	HANGING HALOGEN FIXTURE		DIMMER SWITCH
	RECESSED MINIATURE HALOGEN		110 VOLT DUPLEX CONVENIENCE OUTLET
	WALL MOUNTED FIXTURE		GROUND FAULT INTERRUPTER OUTLET
	FIXTURE WITH PULL SWITCH		WATERPROOF GFCI OUTLET
	RECESSED BASEBOARD FIXTURE		110 VOLT DUPLEX SPLIT WIRE OUTLET
	FLOOD LIGHT		220 VOLT DUPLEX CONVENIENCE OUTLET
	FLOURESCENT FIXTURE		110 VOLT FOURPLEX OUTLET
	FLOUR. FIXT. UNDER CABINET		110 VOLT DUPLEX FLOOR OUTLET
	CEILING FAN		TELEVISION OUTLET
	EXHAUST FAN		TELEPHONE OUTLET
	CARBON MONOXIDE /SMOKE DETECTOR		COMPUTER OUTLET
	EXIT SIGN		CHIME
	OVERHEAD GARAGE DOOR OPENER		ELECTRICAL PANEL, METER BOX
			METER BOX

**ELECTRICAL NOTES**

- MIN. WIRE SIZE SHALL BE #14 AWG COPPER. INSULATION SHALL BE THW, YHWN/THHN OR XHHW.
- SERVICE ENTRANCE CONDUCTOR SHALL BE 2-2-2-4 SER. AL. GROUNDING CONDUCTOR TO BE #6 SOLID COPPER (100A SERVICE) OR #4 SOLID COPPER (200A SERVICE).
- GROUNDING METHOD TO BE 2 - 5/8" (8'-0" LONG) GALVANIZED STEEL GROUND RODS, 6'-0" APART.
- UNLESS NOTED OTHERWISE ALL BRANCH CIRCUIT WIRING SHALL BE TYPE NM CABLE ABOVE CEILINGS, BETWEEN ABOVE CEILINGS, BETWEEN FLOORS OR IN STUD WALL CAVITIES.
- SERVICE PANEL SHALL INCLUDE THE FOLLOWING NUMBER OF CIRCUITS:
  - ONE 15 AMPERE BRANCH CIRCUIT OF EACH 600 SQUARE FEET FOR LIGHTING AND GENERAL PURPOSE RECEPTACLES
  - TWO 20 AMPERE BRANCH CIRCUITS FOR SMALL APPLIANCES.
  - ONE 20 AMPERE BRANCH CIRCUIT FOR THE LAUNDRY.
  - ONE BRANCH CIRCUIT FOR THE RANGE OR COOKTOP.
  - ONE BRANCH CIRCUIT FOR AIR CONDITIONING AND HEATING.
- PROVIDE THE MAXIMUM AVAILABLE FAULT CURRENT.
- WIRING BELOW SLAB SHALL BE INSTALLED IN CONDUIT. CONDUIT SHALL BE RIGID GALVANIZED STEEL.
- PVC CONDUIT INSTALLED BELOW GRADE WITH NO HARD COVER SHALL BE PROTECTED WITH 2" MIN. CONCRETE COVERAGE ON ALL SIDES.
- ALL WIRING IN ATTIC SHALL BE LAID OUT NEATLY, SECURELY FASTENED TO STRUCTURE, AND SHALL NOT INTERFERE WITH FLOORING OF ATTIC OR ACCESS REQUIREMENTS FOR EQUIPMENT.
- CONNECTIONS TO FURNACES, CONDENSING UNITS AND OTHER MOTORS OR VIBRATING MACHINERY SHALL BE MADE WITH FLEXIBLE CONDUIT (LIQUID-TIGHT IF EXPOSED TO WEATHER) AND STRANDED WIRE, THHN/THWN.
- UNLESS NOTED OTHERWISE ALL LIGHT SWITCHES SHALL BE 44" (48" ACCESSIBLE) A.F.F. RECEPTACLES SHALL BE INSTALLED PER THE FOLLOWING TABLE:
 

LOCATION	HEIGHT	LOCATION	HEIGHT
REG. WALL OUTLET	15" (18" ACCESSIBLE)	BATH WALL OUTLET	8" ABOVE COUNTER
KITCHEN WALL	42"	CLOSET HTG. UNITS & REFRIGERATORS	36"
- ELECTRICAL CONTRACTOR SHALL MARK ALL CIRCUITS FOR ELECTRICAL WIRING SYSTEM AT EACH MAIN DISCONNECT.
- ALL 3-WAY SWITCHES MUST HAVE 14/3 WITH GROUND.
- GROUND FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN ALL BATHROOMS, GARAGES AND OUTDOOR OUTLETS.
- GROUND FAULT RECEPTORS IN KITCHEN SHALL BE CIRCUITED SEPARATELY FROM ALL OTHER GFCI OUTLETS
- SMOKE DETECTORS SHALL BE WIRED TOGETHER AND TO THE A.C. POWER SYSTEM AND BATTERY BACKUP.
- ARC FAULT CIRCUIT INTERRUPTER BREAKERS SHALL BE INSTALLED IN ALL BEDROOMS OUTLETS, INCLUDING POWER SUPPLY TO SMOKE DETECTOR.

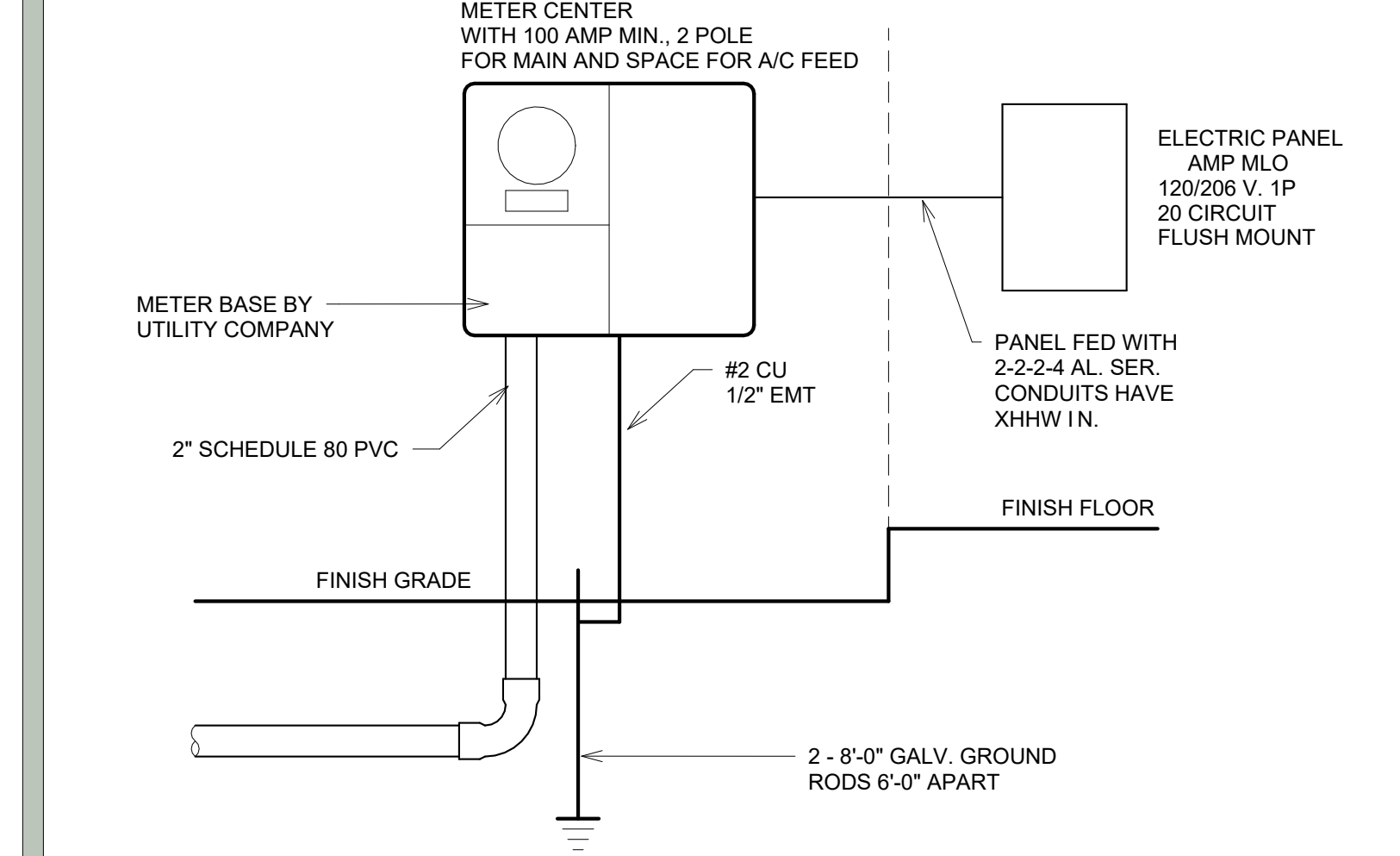
**SERVICE SIZE GUIDE**

MINIMUM SERVICE SIZE (ampere rating)	COLUMN 1 (Electric Heat) HEATED AND COOLED AREA (square feet)	COLUMN 2 * HEATED AND COOLED AREA (square feet)
100	850	2,250
110	1,100	2,850
125	1,450	3,700
150	2,000	5,150
175	2,550	6,650
200	3,150	8,100
225	3,700	9,600

\* COLUMN 2 INCLUDES A CONSERVATIVE ESTIMATE FOR ELECTRIC COOLING LOAD.  
TABLE 1 WAS DEVELOPED USING THE OPTION METHOD AND USING THE FOLLOWING ASSUMPTIONS, THE ASSUMPTIONS MADE SHOULD PROVIDE AN APPROXIMATE ANSWER THAT WILL EQUAL OR EXCEED CODE MORE THAN 90% OF THE CASES:

- Cooling Load = 6 amps / 500 sq. ft.
- Electrical Heating Load = 22 amps / 500 sq. ft.
- Dryer - 5000 VA
- Laundry circuit = 1500 VA
- Two small appliance circuits at 1500 VA EACH
- Range Load = 8000 VA
- Water heater = 4500 VA
- 3 VA / sq. ft. for general lighting and receptacles
- a 40% demand factor is applied to all load except cooling and heating over first 10,000 VA
- Dwellings that are neither electrically cooled or heated shall have the service sized to include the potential cooling load in the future.

**POWER RISER DIAGRAM**

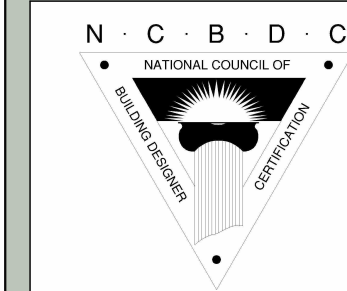


**Electrical**

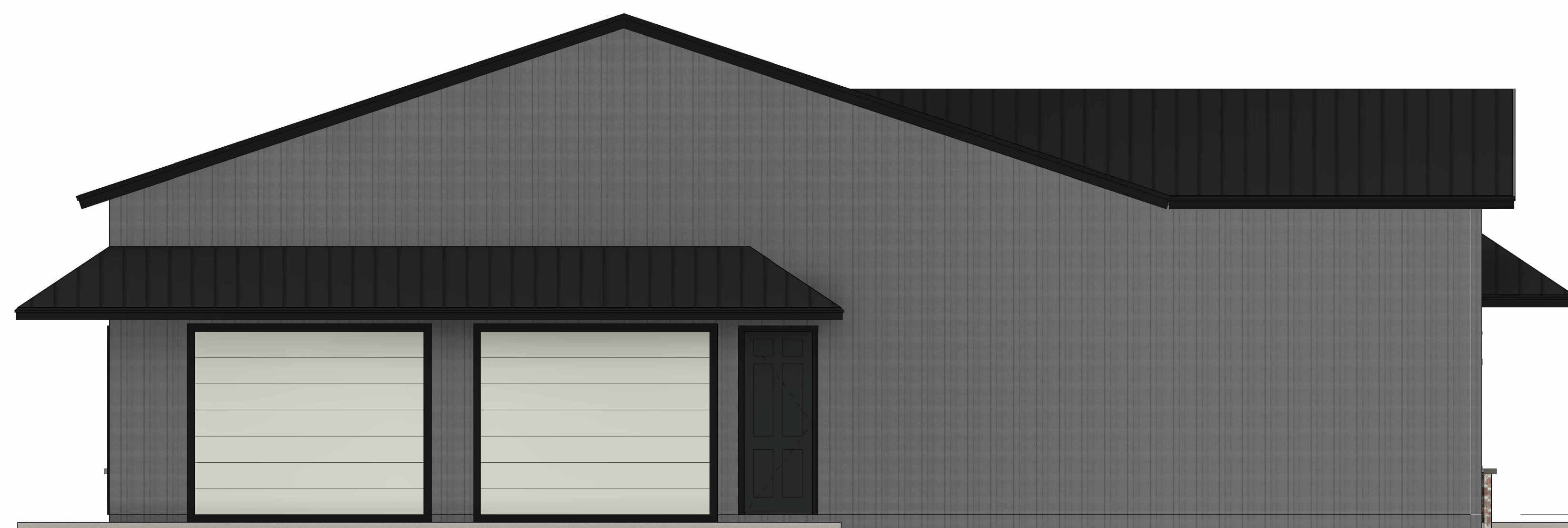
Project number 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

8

Scale 1/4" = 1'-0"



① Front Elevation Copy 1  
1/4" = 1'-0"



③ Rear Elevation Copy 1  
1/4" = 1'-0"

DESIGN STUDIO, INC

745 AVIGNON DRIVE, SUITE A, RIDGELAND MS 39157  
PHONE: (601) 898-9710 FAX: (601) 898-9712  
email: upineda@designstudioplans.com  
www.designstudioplans.com

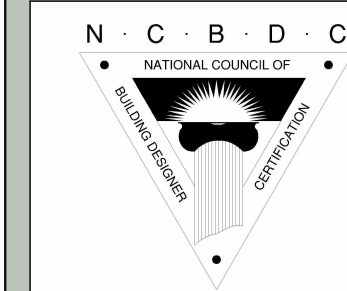
THESE PLANS ARE LICENSED TO BUILD ONE TIME ONLY. ALL RESALE AND REPRODUCTION STRICTLY PROHIBITED. COPYRIGHT RETAINED BY DESIGN STUDIO, INC.

Rendered Elevations

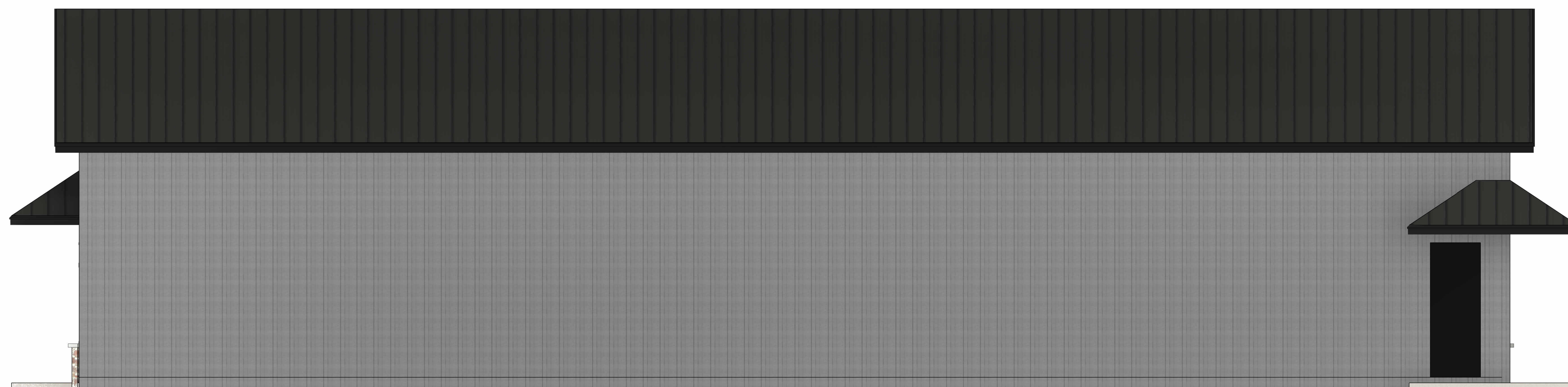
Project	4246
Date	09-14-2023
Drawn by	L McCombs
Checked by	U Pineda

9

Scale 1/4" = 1'-0"



1 Left Elevation Copy 1  
1/4" = 1'-0"



2 Right Elevation Copy 1  
1/4" = 1'-0"

DESIGN STUDIO, INC

745 AVIGNON DRIVE, SUITE A, RIDGELAND MS 39157  
PHONE: (601) 898-9710 FAX: (601) 898-9712  
email: upineda@designstudioplans.com  
www.designstudioplans.com

THESE PLANS ARE LICENSED TO BUILD ONE TIME ONLY. ALL RESALE AND REPRODUCTION STRICTLY PROHIBITED. COPYRIGHT RETAINED BY DESIGN STUDIO, INC.

Rendered Elevations

Project	4246
Date	09-14-2023
Drawn by	L McCombs
Checked by	U Pineda

10

Scale 1/4" = 1'-0"

### City of Gluckstadt

### Application for Site Plan Review

Subject Property Address: LOT 5 Business Park Dr.  
Parcel #: \_\_\_\_\_

Owner: John Gooch 9+ properties Applicant: \_\_\_\_\_  
Address: 113 Victoria Place Address: \_\_\_\_\_  
MADISON MS 39110

Phone #: 6015065218 Phone #: \_\_\_\_\_  
E-Mail: johngooch1015@gmail.com E-Mail: \_\_\_\_\_

Current Zoning District: C2  
Acreage of Property (If applicable): 1 acre  
Use sought of Property: Building

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Section 807-810
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Section 808, Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required. Minimum Print size 24x36.

**Site Plan Specifications** (Section 809, Zoning Ordinance)

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.
- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.

- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting.**

**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

**Site Plans shall be submitted by the 5<sup>th</sup> day of the month preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**After the cut-off date, no changes can be made to the submitted site plan. You must wait for the next meeting.**

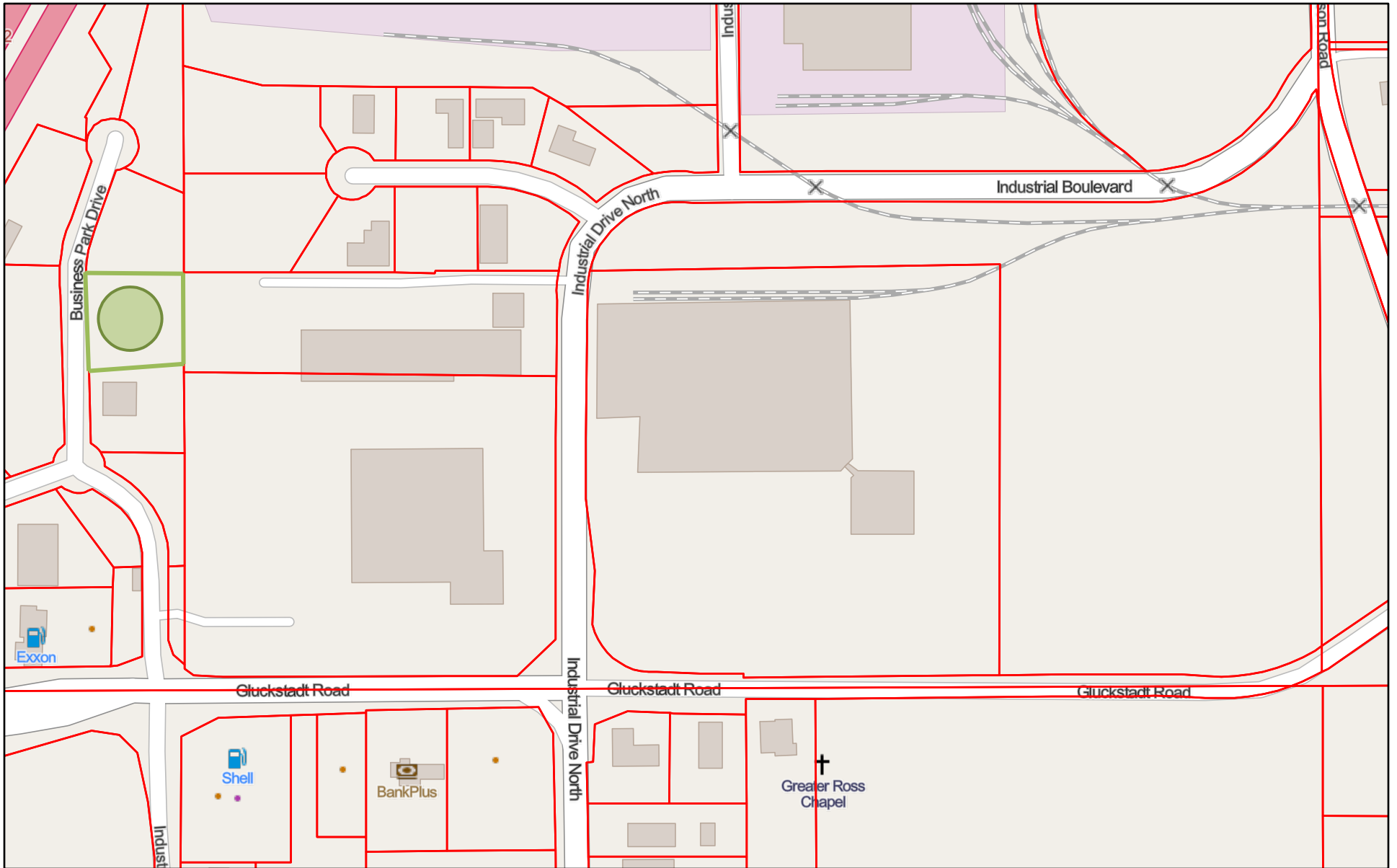
**By signing this application, the applicant agrees to all the terms and conditions laid out in this application.**

  
\_\_\_\_\_  
Applicant Signature

9-5-2023  
\_\_\_\_\_  
Date

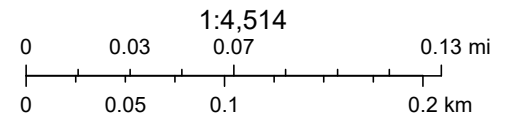
\_\_\_\_\_  
Zoning Administrator Signature

\_\_\_\_\_  
Date



9/20/2022, 1:52:32 PM

Parcels

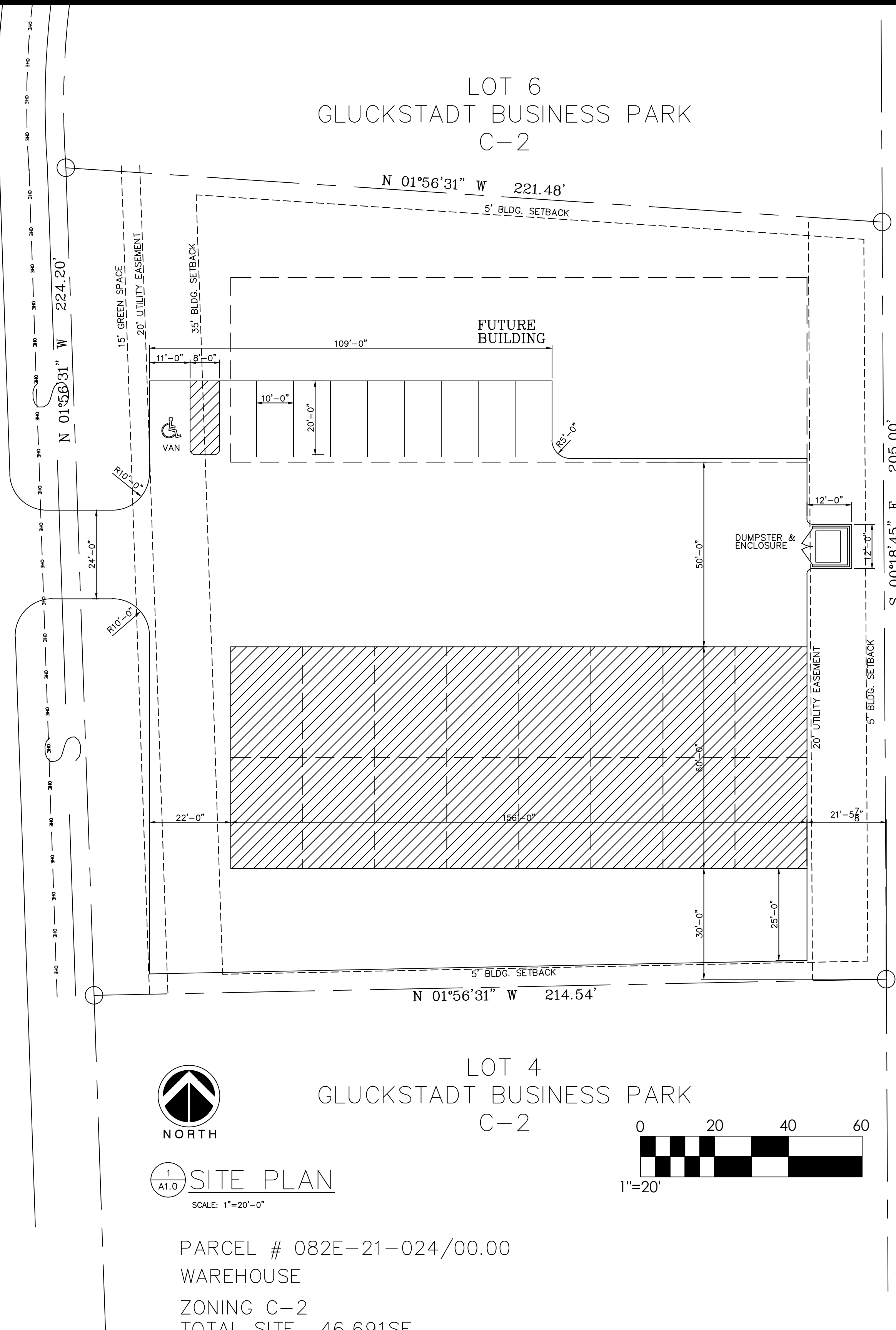


Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri



US INTERSTATE 55

BUSINESS PARK DRIVE



1  
AT.0  
SITE PLAN  
SCALE: 1"=20'-0"



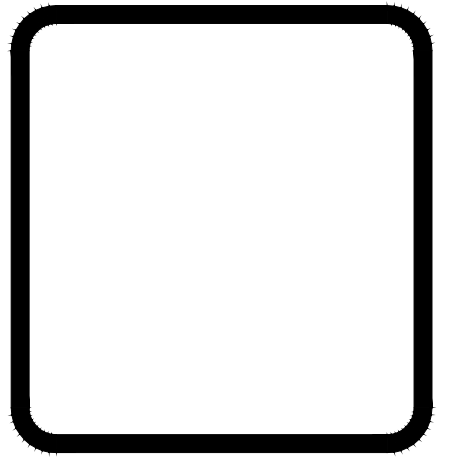
PARCEL # 082E-21-024/00.00  
 WAREHOUSE  
 ZONING C-2  
 TOTAL SITE 46,691SF  
 BLDG. 1 = 9,360SF  
 LOT COVERAGE % = 20%

WAREHOUSE 9,360SF / 1,000 = 9.3 PARKING  
 TOTAL PARKING REQUIRED = 10 PARKING SPACES

FLOOD PLAIN INDEX 28089C0415F  
 FLOOD PLAIN 'X'

Section 4, Item C)

REVISIONS	BY



WOOLRIDGE & ASSOCIATES  
 484 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-4848  
 WOOLRIDGEARCHITECTURE.COM

Johnny Gooch Storage  
 Business Park Drive  
 Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET A0.0
OF SHEETS

### UTILITIES NOTES

**1. GENERAL**

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH ENTERGY.

GAS SERVICE TO BE COORDINATED WITH ATMOS.

**2. SANITARY SEWER AND WATER CONNECTIONS**

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

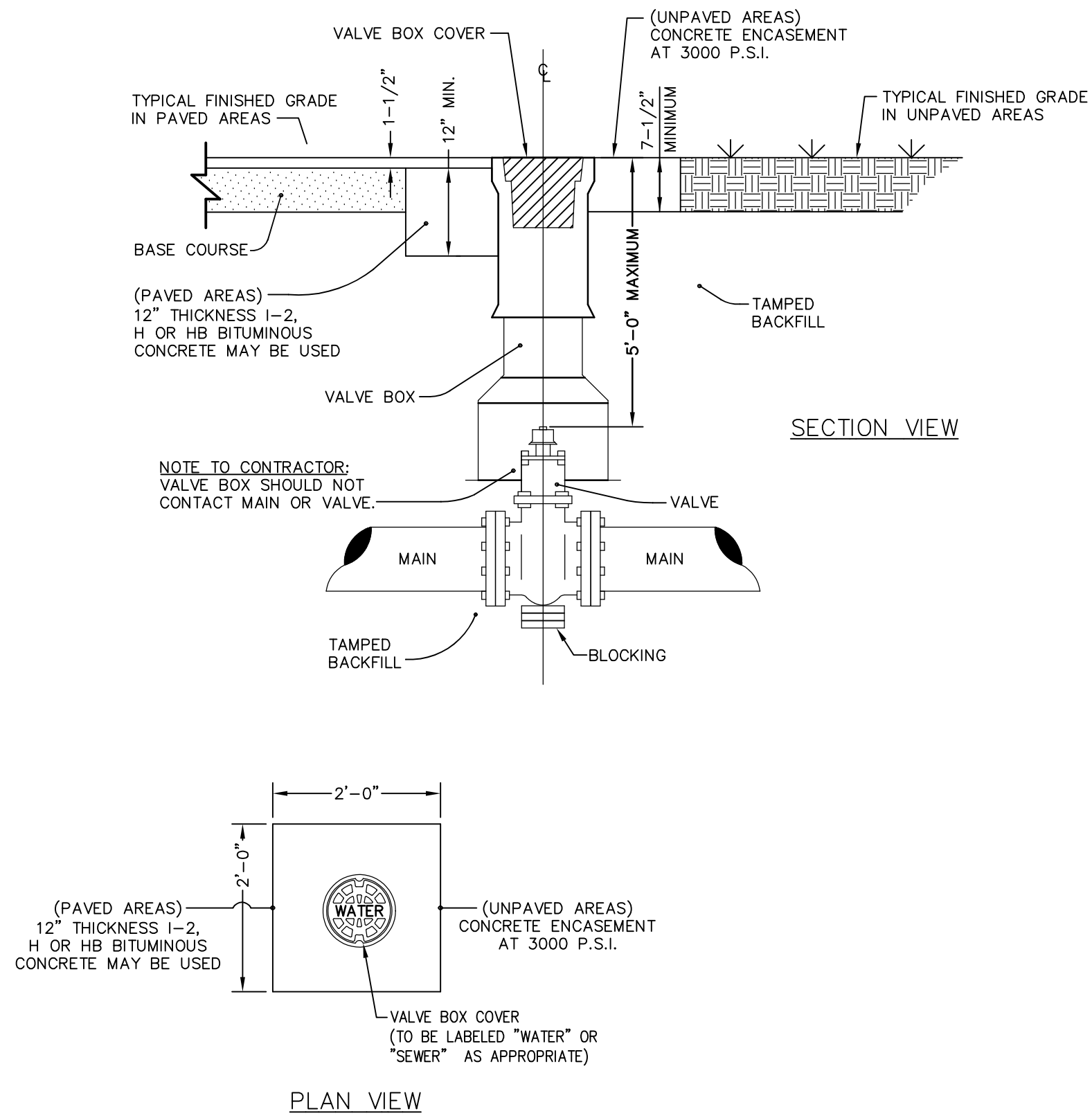
ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD, C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

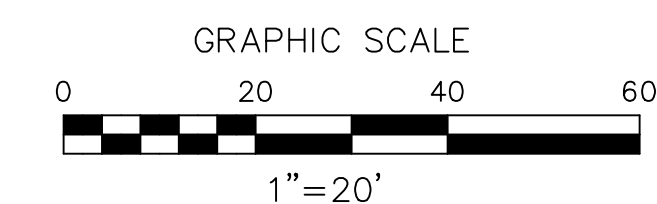
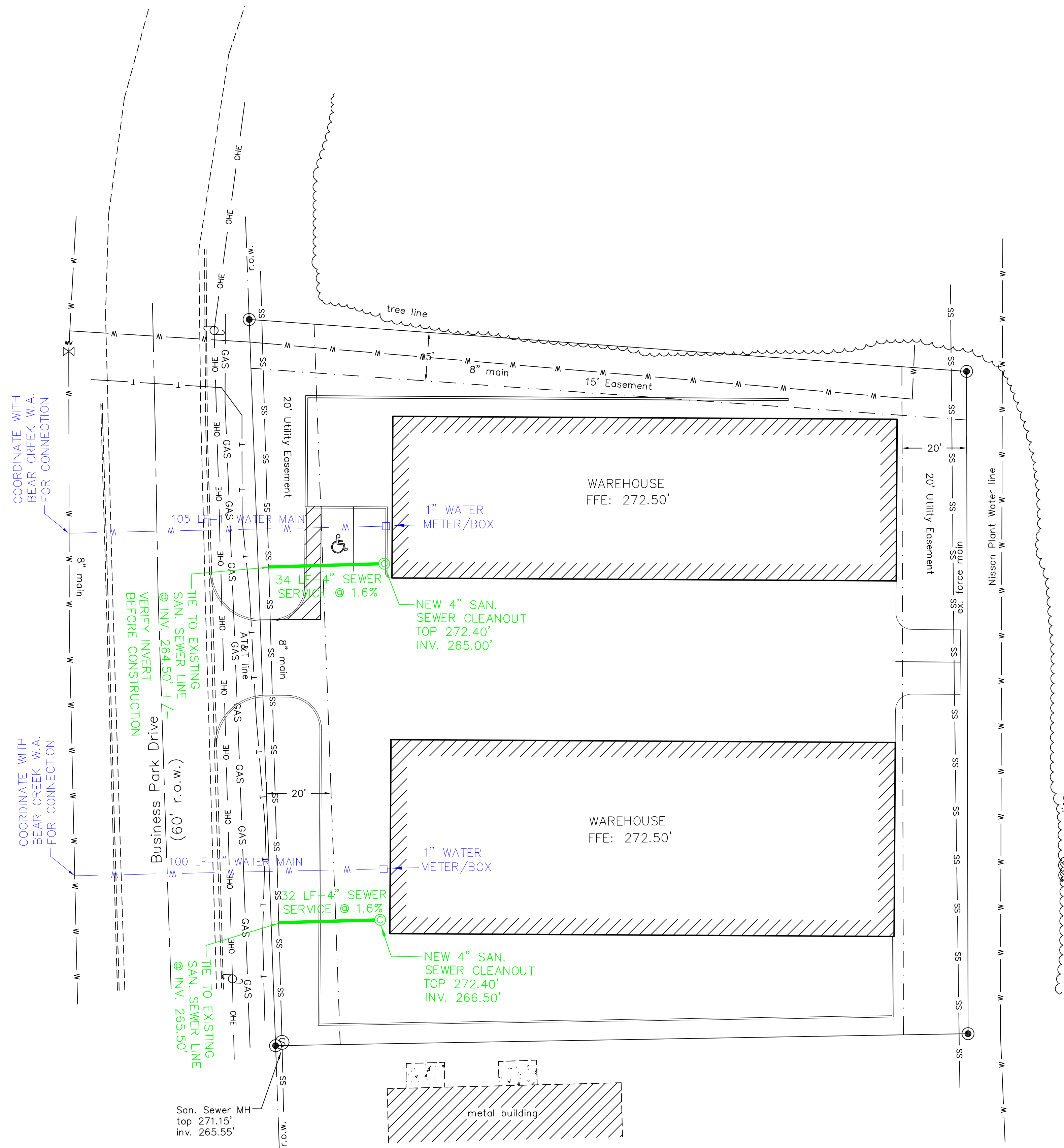
WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

CONTRACTOR TO FOLLOW THE BEAR CREEK WATER ASSOCIATION UTILITY CONNECTION INSPECTION GUIDE



- NOTES**
1. ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
  2. VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5" (FL) FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
  3. PRECAST CONCRETE ENCASUREMENT IS ALLOWED OUTSIDE OF PAVED AREAS.

VALVE BOX DETAIL



No.	Revisions:	By:	Date:

BAIRD ENGINEERING, INC.  
506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 925 - 5015

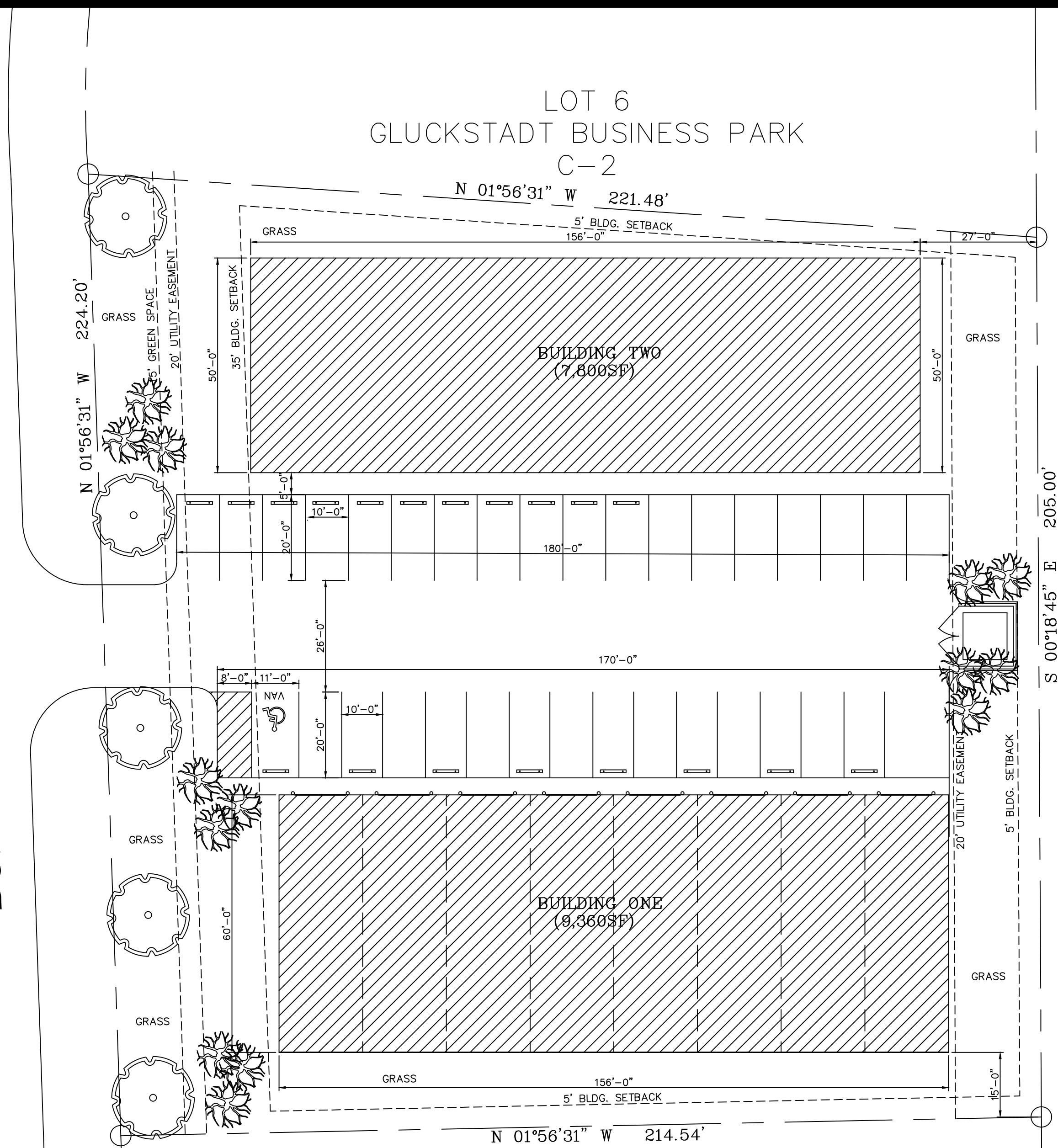
Project No.: # 4585  
Date: 09/15/2022  
Scale: 1" = 20'  
Drawn By: CLB  
Reviewed By: CLB

UTILITY PLAN  
JOHN GOOCH  
Gluckstadt, Mississippi

C 4.0

OWNER 10/5/2023 9:57 AM 1 JOHNNY GOOCH CONSTRUCTION DOCUMENTS\_recover.dwg

BUSINESS PARK DRIVE



LOT 6  
GLUCKSTADT BUSINESS PARK  
C-2  
N 01°56'31" W 221.48'

LOT 4  
GLUCKSTADT BUSINESS PARK  
C-2  
N 01°56'31" W 214.54'

PARCEL # 082E-21-024/00.00  
WAREHOUSE  
ZONING C-2  
TOTAL SITE 46,691SF  
BLDG. 1 = 9,360SF  
BLDG. 2 = 7,800SF  
TOTAL BLDG. = 17,160SF  
LOT COVERAGE % = 36.7%

OFFICE 1,950SF / 225 = 8.6 = 9 PARKING SPACES  
WAREHOUSE 15,210SF / 1,000 = 15.21 = 16 PARKING SPACES  
TOTAL PARKING REQUIRED = 25 PARKING SPACES  
TOTAL PARKING PROVIDED = 34 PARKING SPACES  
FLOOD PLAIN INDEX 28089C0415F  
FLOOD PLAIN 'X'

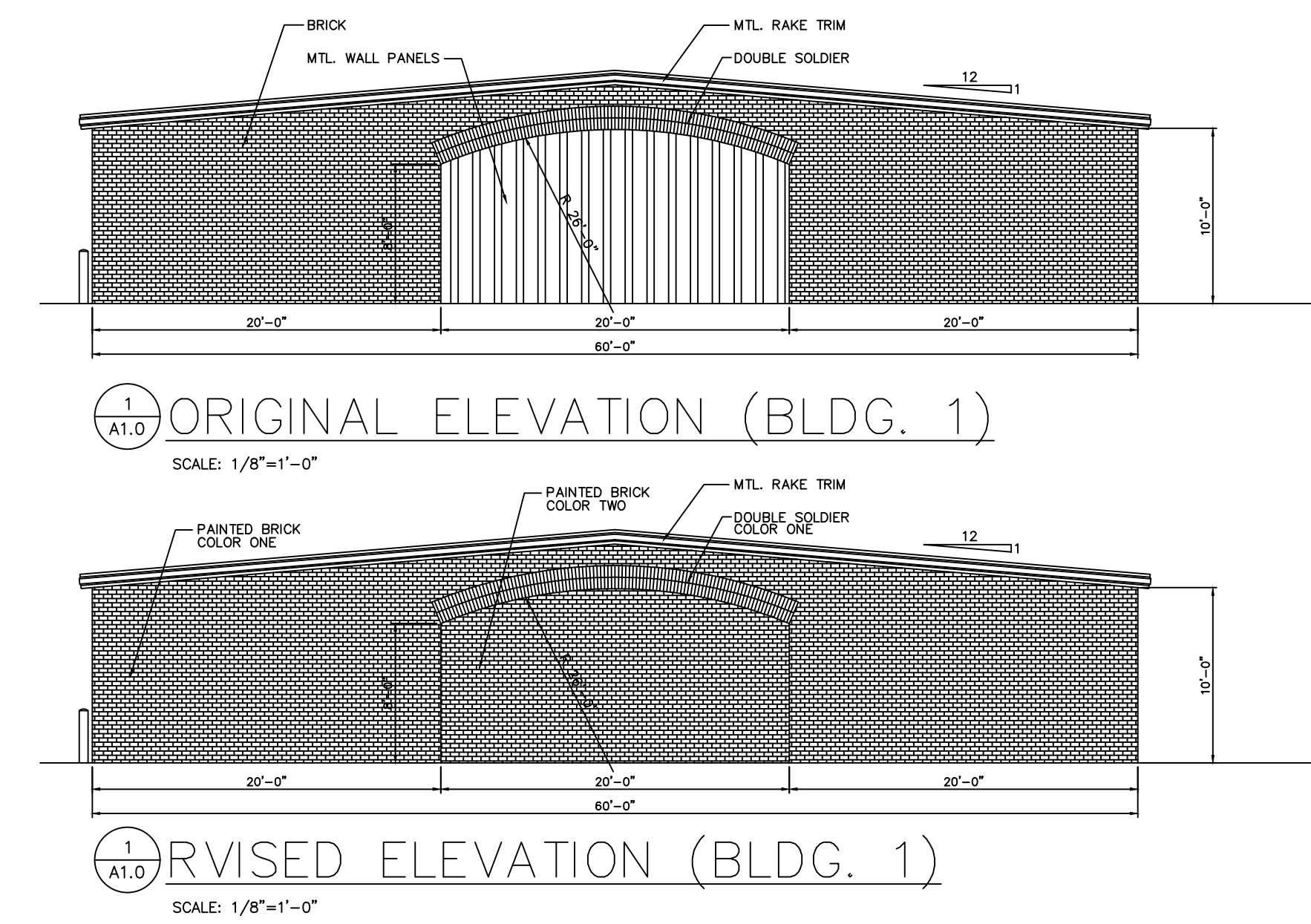
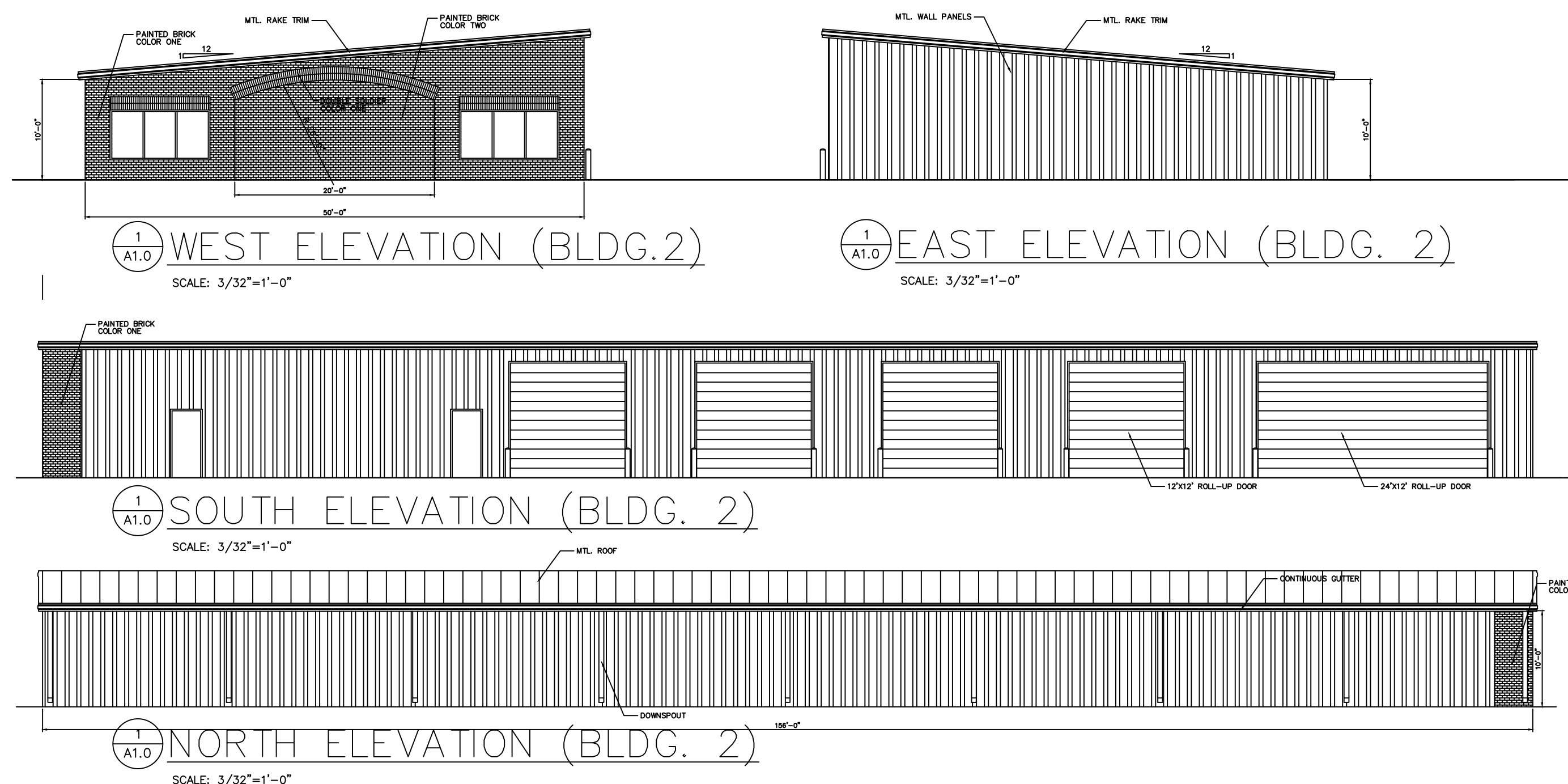
**LEGEND**

- NATCHEZ CRAPE MYRTLE, "LAGERSTROEMIA INDICA X FAURIEI" 7' HTH., 1-1" S.T., 3 TRUNKS MIN.
- WILLOW OAK, QUERCUS PHELLOS, 8 - 10' HTH., 1 - 1 1/2" CAL.

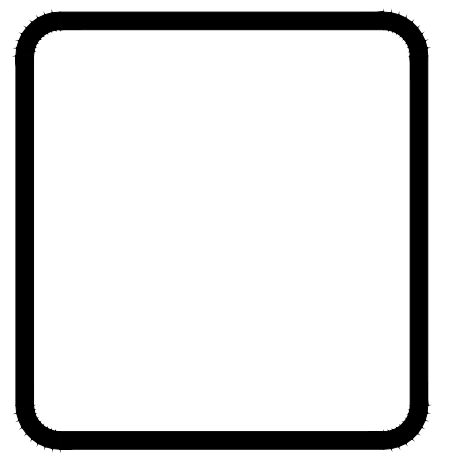
**SCALE: 1"=20'-0"**

1 SITE PLAN  
A1.0  
SCALE: 1"=20'-0"

DR DENNISTHOMAS  
1-2  
S 00°18'45" E 205.00'



REVISIONS	BY

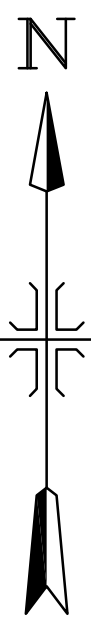


WOOLRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8885  
WOOLRIDGEARCHITECTURE@YAHOO.COM

Johnny Gooch Storage  
Phase Two  
Business Park Drive  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 10/4/23
SCALE
JOB NO.
SHEET
A0.0
07 SHEETS



Date of field survey: July 25, 2022.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Vertical elevations taken from GPS Network NAVD88.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Boundary survey by Baker Bryant with Engineering Service, dated July 1, 2022.

MS One-Call #22072714351635  
 Process Date: July 27, 2022  
 Below Notes Dated: August 1, 2022

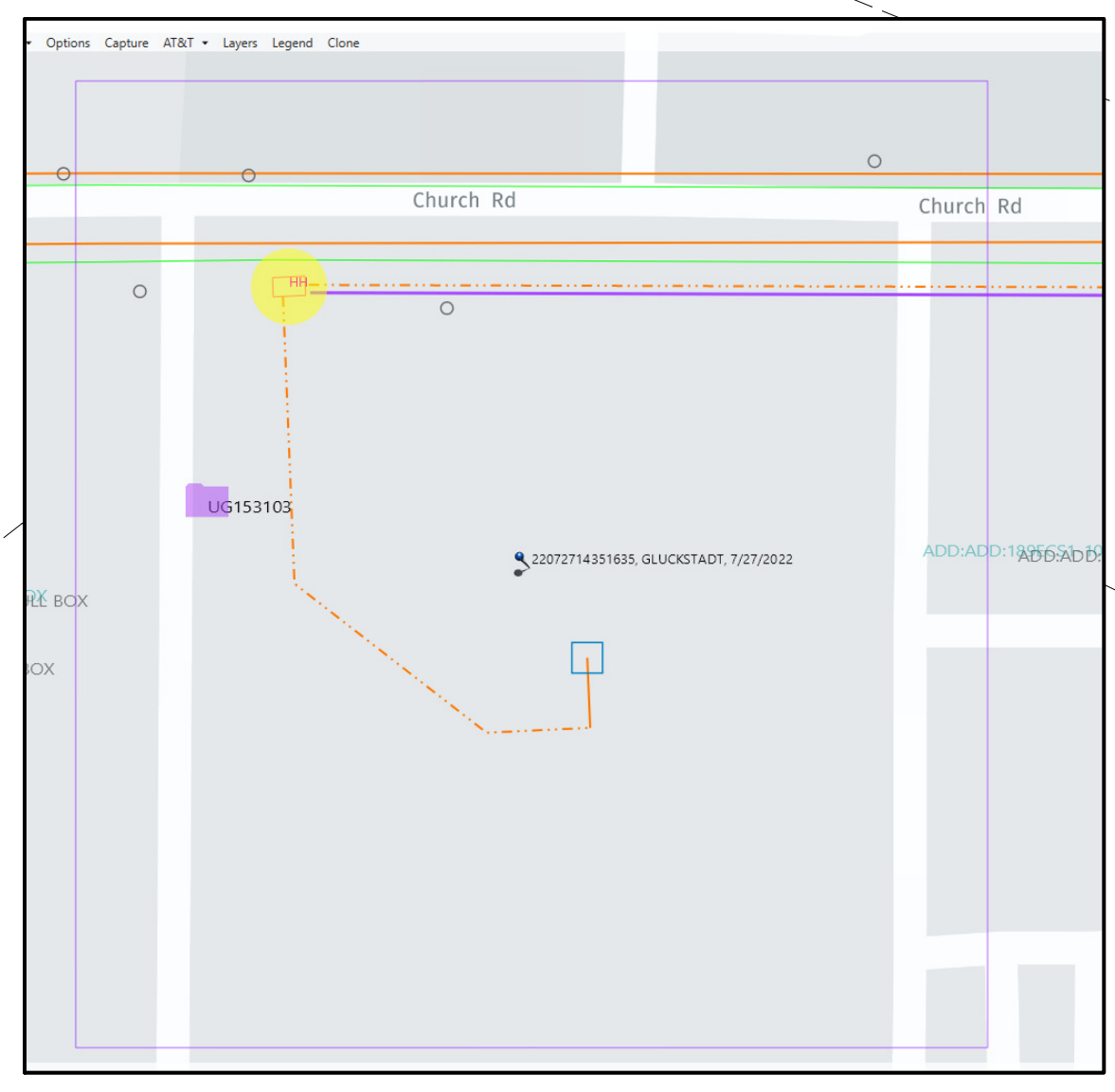
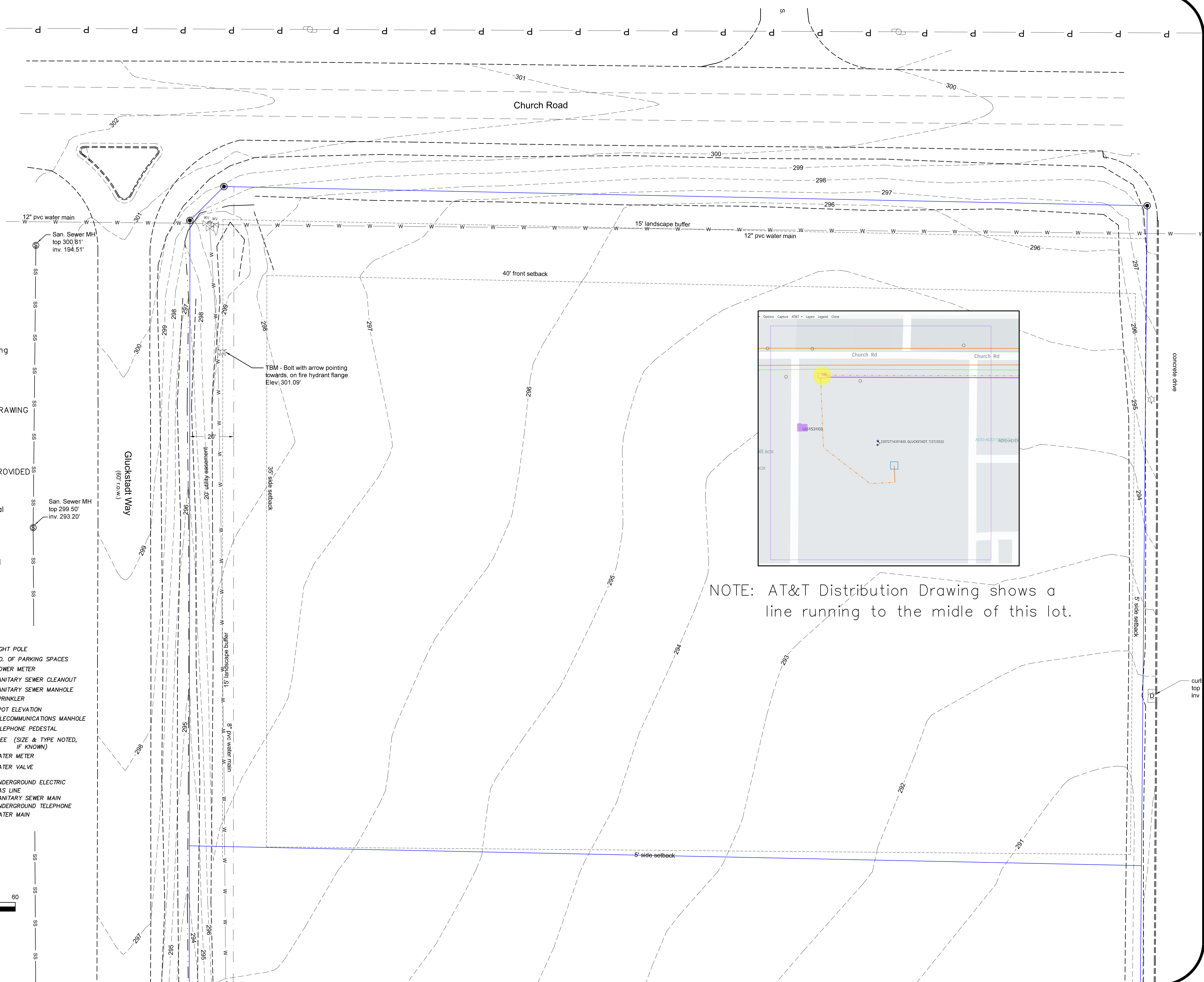
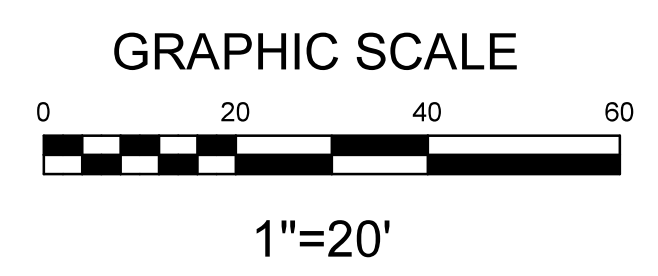
AT&T Distribution - DID NOT LOCATE, PROVIDED DRAWING  
 Entergy MS - NO RESPONSE  
 Uniti Fiber - NO RESPONSE  
 Centerpoint Energy - DID NOT LOCATE DUE TO SURVEY TICKET  
 Comcast Cable of Jackson - DID NOT LOCATE  
 Bear Creek Water Association - ONLY RECORD DRAWINGS PROVIDED

Canton Municipal Utilities - NO CONFLICT  
 Telepak dba C Spire Fiber - NO CONFLICT

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on July 30, 2022

- LEGEND**
- |  |                             |  |                                    |
|--|-----------------------------|--|------------------------------------|
|  | A/C UNIT                    |  | LIGHT POLE                         |
|  | CONC. CURB & GUTTER         |  | NO. OF PARKING SPACES              |
|  | CONTOURS                    |  | POWER METER                        |
|  | DOWNSPOUT                   |  | SANITARY SEWER CLEANOUT            |
|  | DRAINAGE INLET              |  | SANITARY SEWER MANHOLE             |
|  | ELECTRICAL BREAKER BOX      |  | SPRINKLER                          |
|  | ELECTRICAL JUNCTION BOX     |  | SPOT ELEVATION                     |
|  | FINISHED FLOOR ELEVATION    |  | TELECOMMUNICATIONS MANHOLE         |
|  | FIRE HYDRANT                |  | TELEPHONE PEDESTAL                 |
|  | GAS METER                   |  | TREE (SIZE & TYPE NOTED, IF KNOWN) |
|  | GRATE INLET (SIZE NOTED)    |  | WATER METER                        |
|  | GRATE INLET (18" ROUND-TYP) |  | WATER VALVE                        |
|  | IRRIGATION VALVE            |  | UNDERGROUND ELECTRIC               |
|  | OVERHEAD POWER/TELEPHONE    |  | GAS LINE                           |
|  | POTABLE WATER               |  | SANITARY SEWER MAIN                |
|  | UNDERGROUND TELECOMM        |  | UNDERGROUND TELEPHONE              |
|  | UNDERGROUND TELECOMM        |  | WATER MAIN                         |
|  | UNDERGROUND FIBER OPTIC     |  |                                    |



NOTE: AT&T Distribution Drawing shows a line running to the middle of this lot.

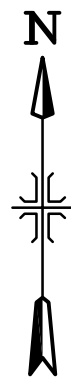
Date:	
By:	
Revisions:	
No.:	

**BAIRD ENGINEERING, INC.**

506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 922-5015  
 www.bairdeng.com

Project No.: # CHURCH RD  
 Date: 07/30/2022  
 Scale: 1" = 20'  
 Designed By: CLB  
 Reviewed By: CLB

**TOPOGRAPHIC SURVEY  
 GERMANTOWN PARK  
 GLUCKSTADT, MISSISSIPPI**

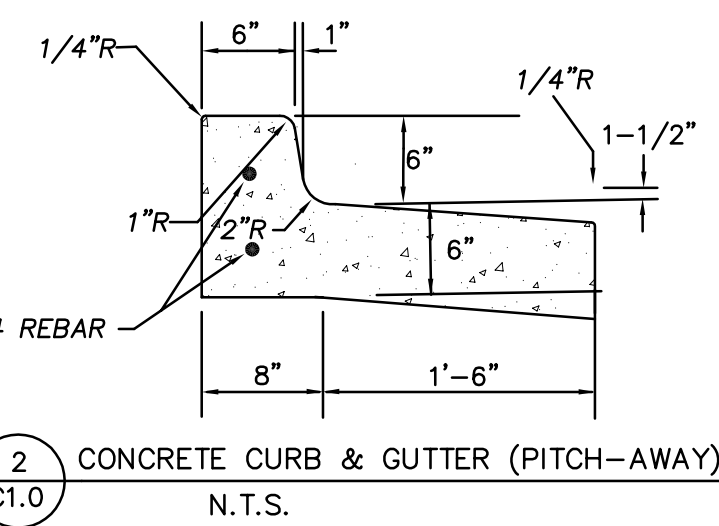


SITE PLAN NOTES

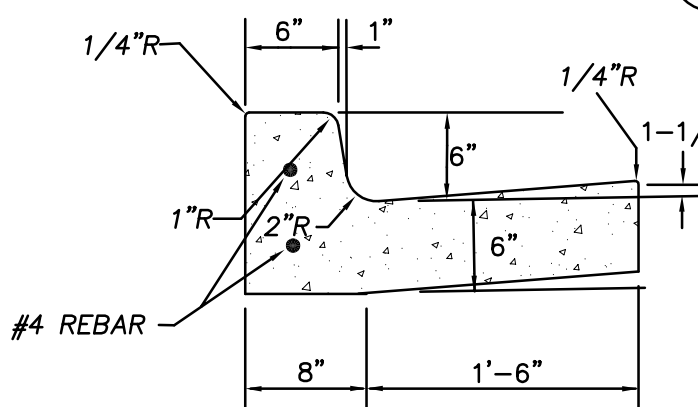
GENERAL

- TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 07-29-2022.
- CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
- DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
- ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOO UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
- CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
- ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
- ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
- SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING PAVEMENT AND CURBS.
- SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- PARKING PROVIDED IN THIS PROJECT (WITHIN THE MALL PARCEL):
  - 3 ADA COMPLIANT PARKING SPACES
  - 137 STANDARD PARKING SPACES
  - 142 TOTAL PARKING SPACES PROVIDED
- DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).

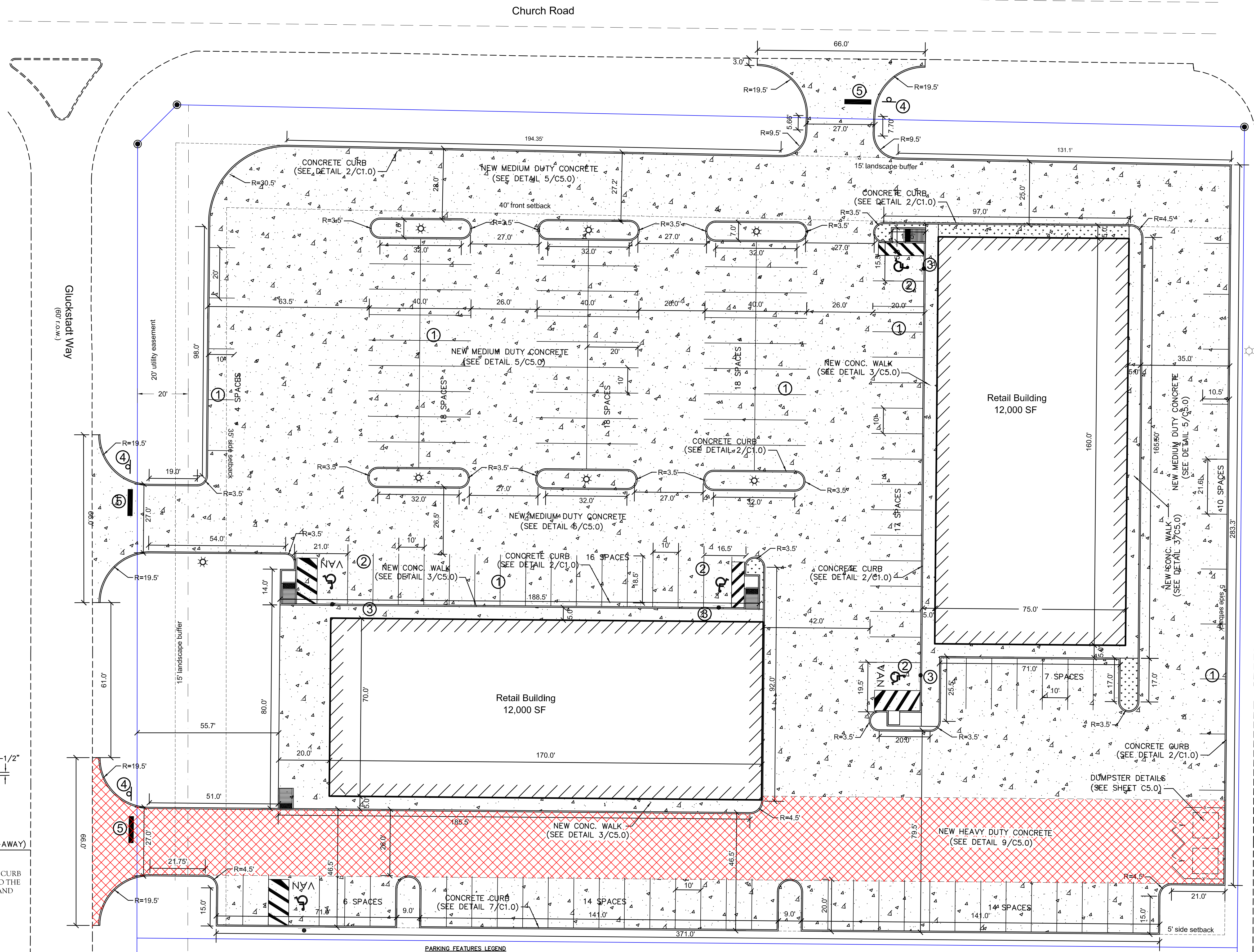
- PROPERTY IS ZONED C-2 (GENERAL COMMERCIAL DISTRICT), CITY OF GLUCKSTADT
- ADJOINING PROPERTIES ARE ZONED C-2 (GENERAL COMMERCIAL DISTRICT)
- SETBACKS:
  - FRONT - 40 FEET (35 FOOT OPTION IF CORNER LOT)
  - SIDE - 5 FEET
  - REAR - 5 FEET
  - MAXIMUM HEIGHT RESTRICTION: AS DETERMINED BY THE IBC
- THERE ARE 2 BUILDINGS UNDER CONSTRUCTION AT THIS TIME.
- SUBJECT PROPERTY IS LOCATED WITHIN THE CITY LIMITS OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI.
- SUBJECT PROPERTY IS LOCATED IN ZONE "X" AS DETERMINED BY FIRM NO. 28089 C 415F, MADISON COUNTY, REVISION DATE-3/17/2010



CONTRACTOR SHOULD USE CORRECT CURB & GUTTER DETAIL IN ACCORDANCE TO THE GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN



\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

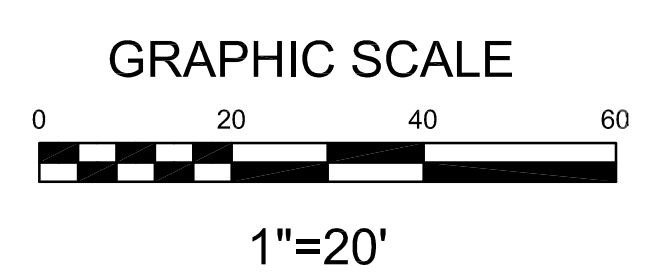


LEGEND

- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C2.0)
- HANDICAP PARKING
- PROPERTY LINE

- PARKING FEATURES LEGEND
- 1 TRAFFIC STRIPE (PARKING)
  - 2 TRAFFIC STRIPE (HANDICAP)
  - 3 HANDICAP PARKING SIGN (R7-8)-DETAIL 1/C5.1
  - 4 STOP SIGN (DETAIL 2/C5.1)
  - 5 24" LEGEND
  - 4" CONTINUOUS WHITE
  - 4" CONTINUOUS BLUE
  - SEE MUTCD MANUAL FOR SPECIFICATIONS.
  - SEE MUTCD MANUAL FOR SPECIFICATIONS.
  - WHITE

- HEAVY DUTY CONCRETE PAVEMENT
- NEW CONCRETE PAVEMENT



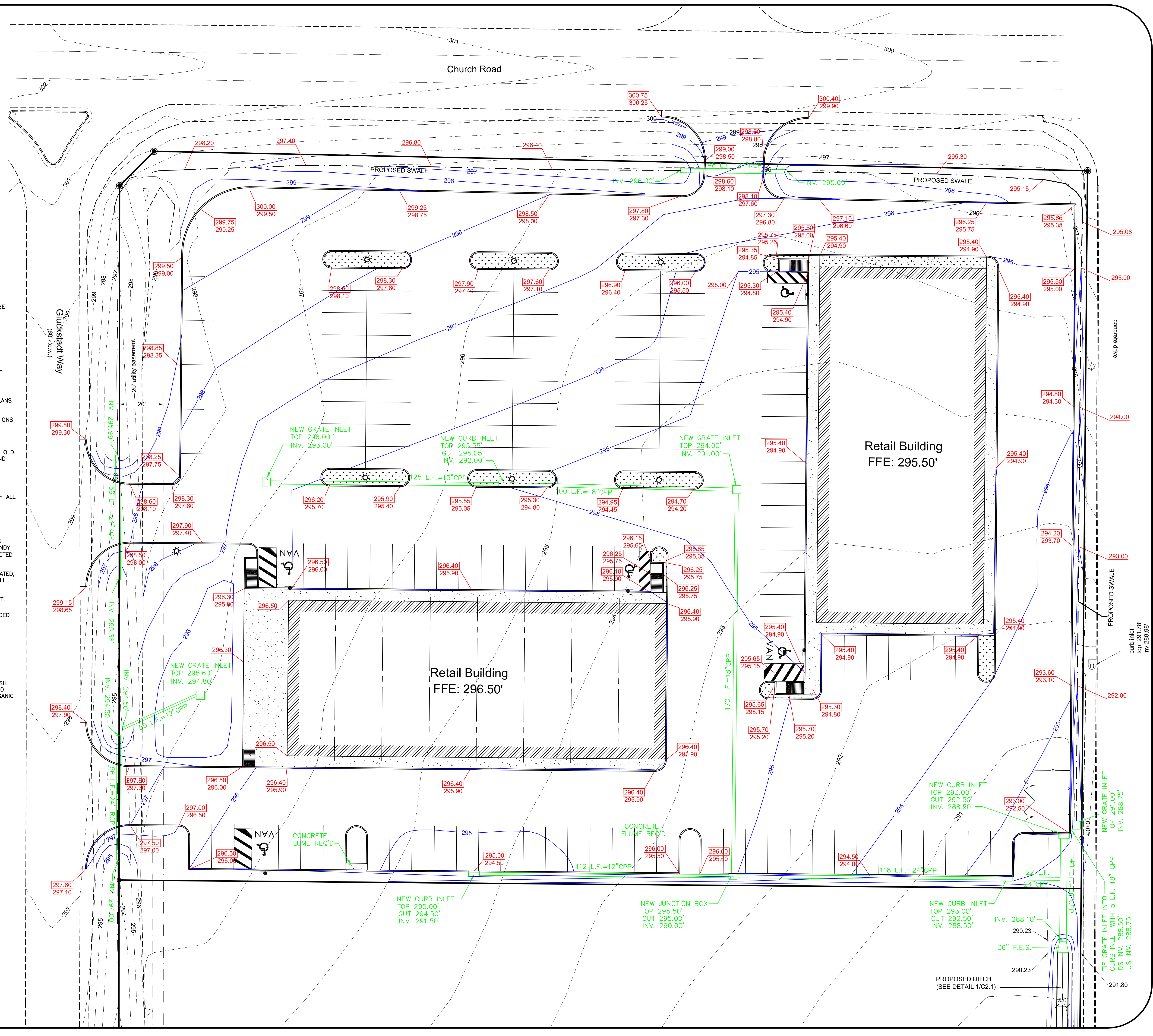
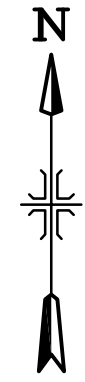
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1	revised parking/drive layout	CLB	09/25/23
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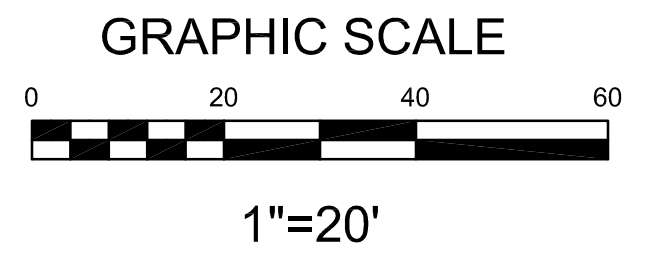
Project No.: # CHURCH RD  
Date: 07/30/2022  
Scale: 1" = 20'  
Designed By: CLB  
Reviewed By: CLB

SITE PLAN  
GERMANTOWN PARK  
GLUCKSTADT, MISSISSIPPI

C 1.0



1. **GENERAL**  
THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED  
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF GLUCKSTADT STANDARDS.  
TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY BAIRD ENGINEERING, INC.
2. **CLEARING**  
PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED  
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING  
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.  
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE
3. **GRUBBING**  
REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.
4. **CLEAN-UP**  
UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.
5. **SITE GRADING**  
PROFFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 98% ASTM D698 PRIOR TO FILL PLACEMENT.  
CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.  
ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.  
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.
6. **FILLING AND BACKFILLING MATERIALS**  
IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH ±2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.
7. **DETENTION POND**  
NO DETENTION REQUIRED FOR THIS PROJECT. DETENTION IS PROVIDED FOR THE SUBJECT PARCEL WHICH HAS BEEN APPROVED BY MADISON COUNTY.



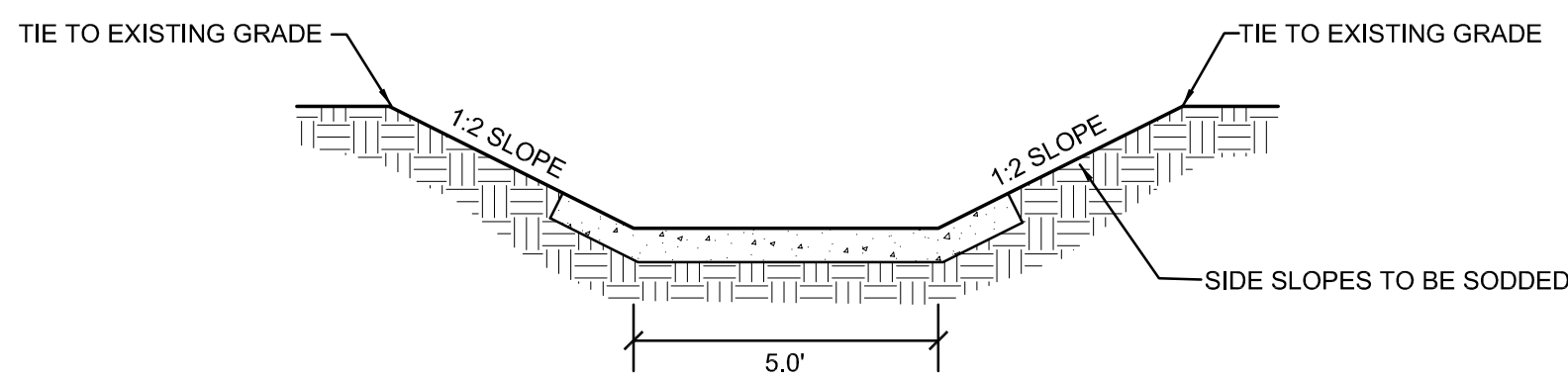
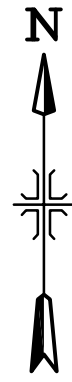
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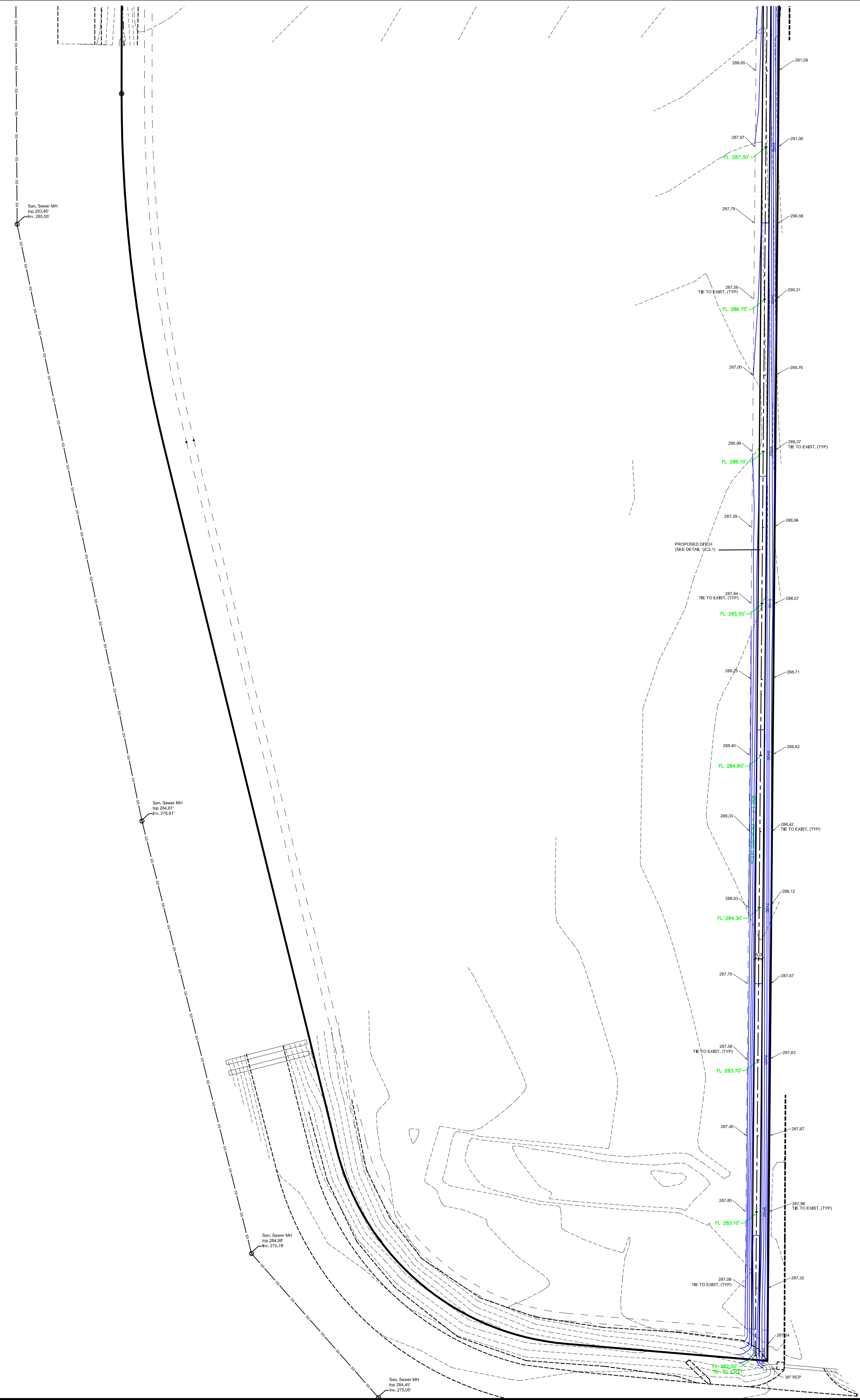
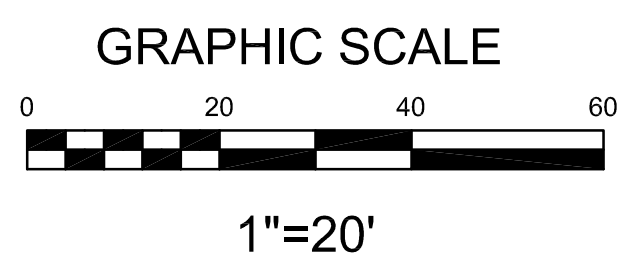
**GRADING PLAN**  
**GERMANTOWN PARK**  
GLUCKSTADT, MISSISSIPPI

C 2.0



1 PROPOSED DITCH CROSS-SECTION  
C2.1 N.T.S.

\*\* FOLLOW GUIDELINES FOR EXPANSION AND CONTROL JOINTS, PAVEMENT THICKNESS AND REINFORCEMENT AS PER SIDEWALK DETAIL 1/C5.0



Section 4, Item D)

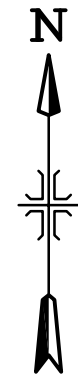
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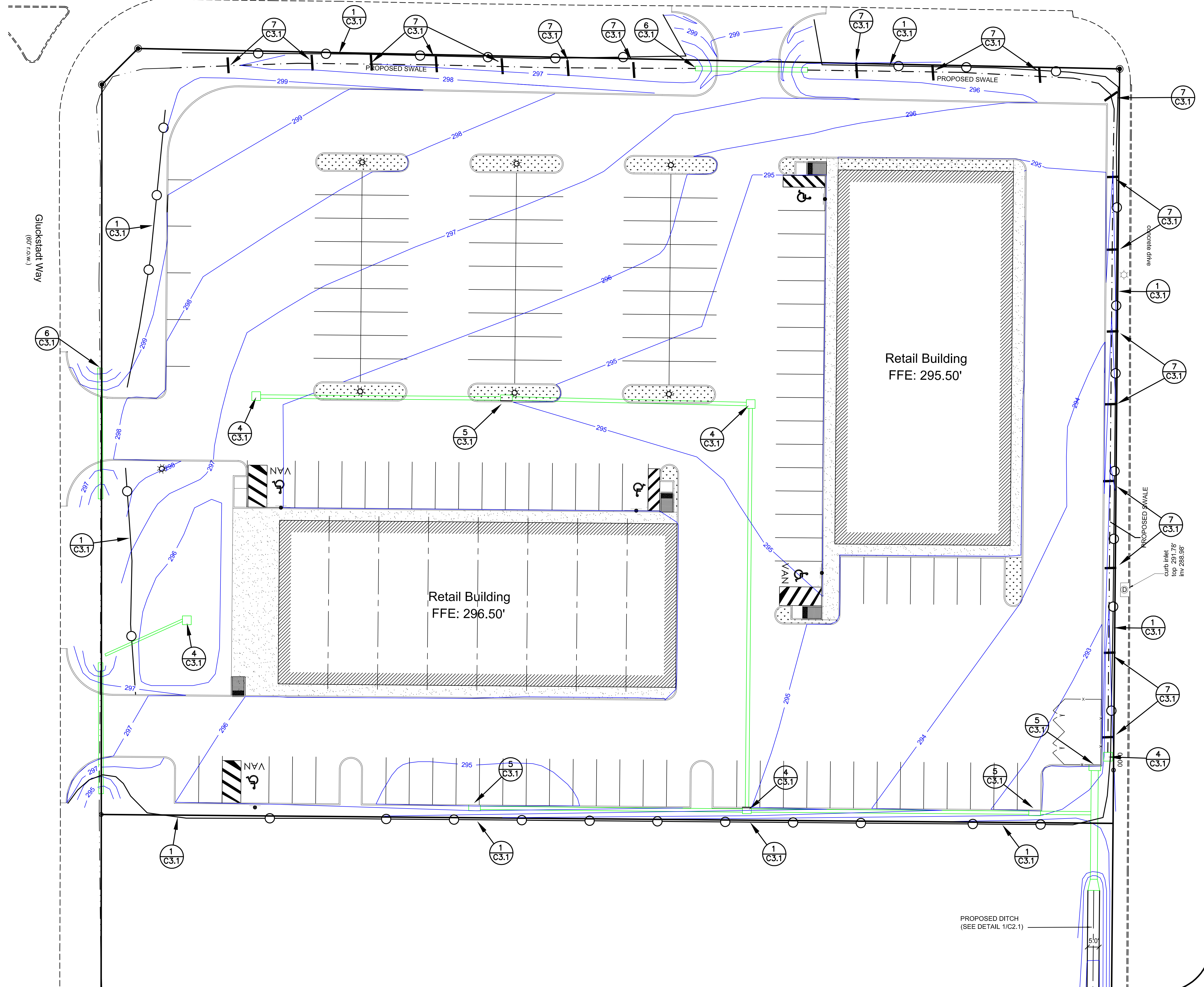
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CLB  
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CLB

GRADING PLAN  
GERMANTOWN PARK  
GLUCKSTADT, MISSISSIPPI

C 2.1



Church Road



**NOTES:**

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND-FILL. LITTER IS TO BE TEMPORARILY STORED ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE: THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

Retail Building  
FFE: 295.50'

Retail Building  
FFE: 296.50'

PROPOSED DITCH  
(SEE DETAIL 1/C2.1)

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2	updated per City comments	CLB	10/13/23

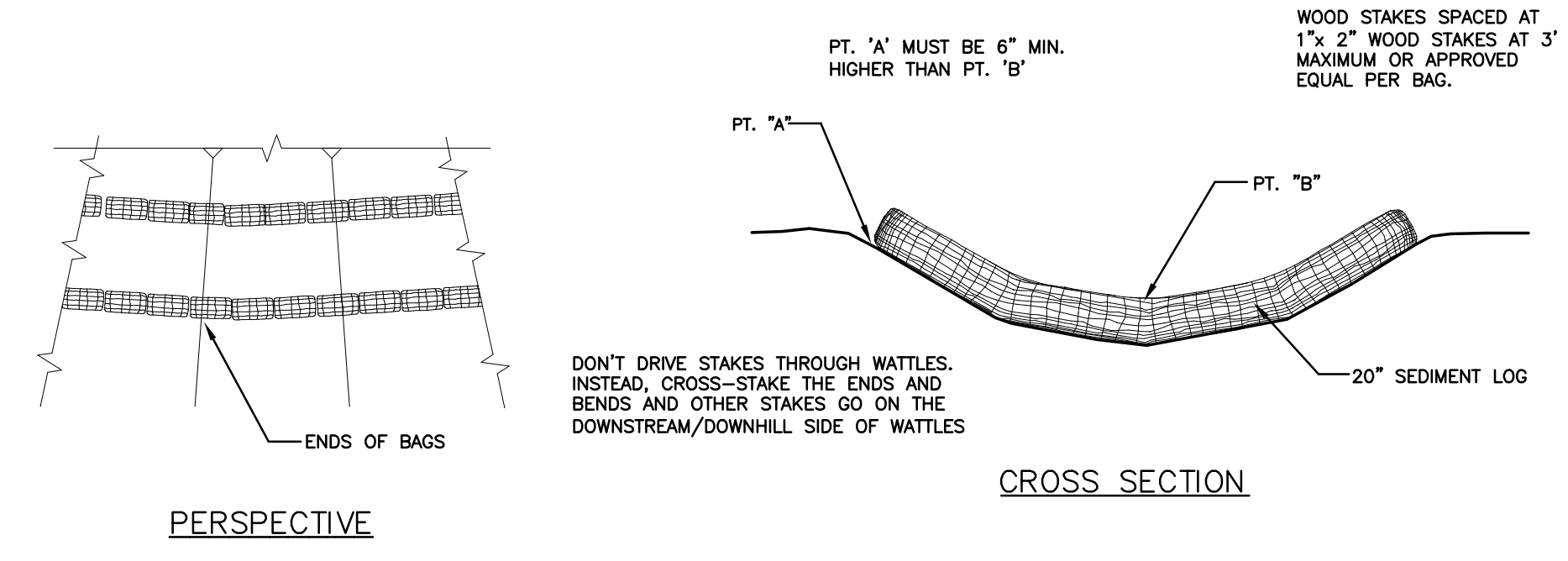
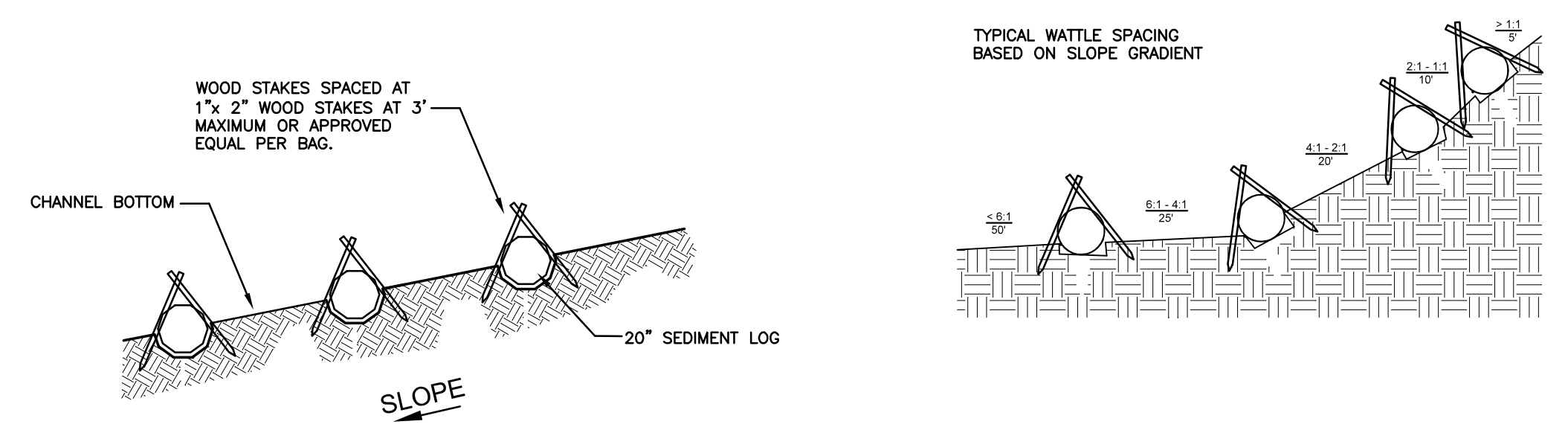
BAIRD ENGINEERING, INC.  
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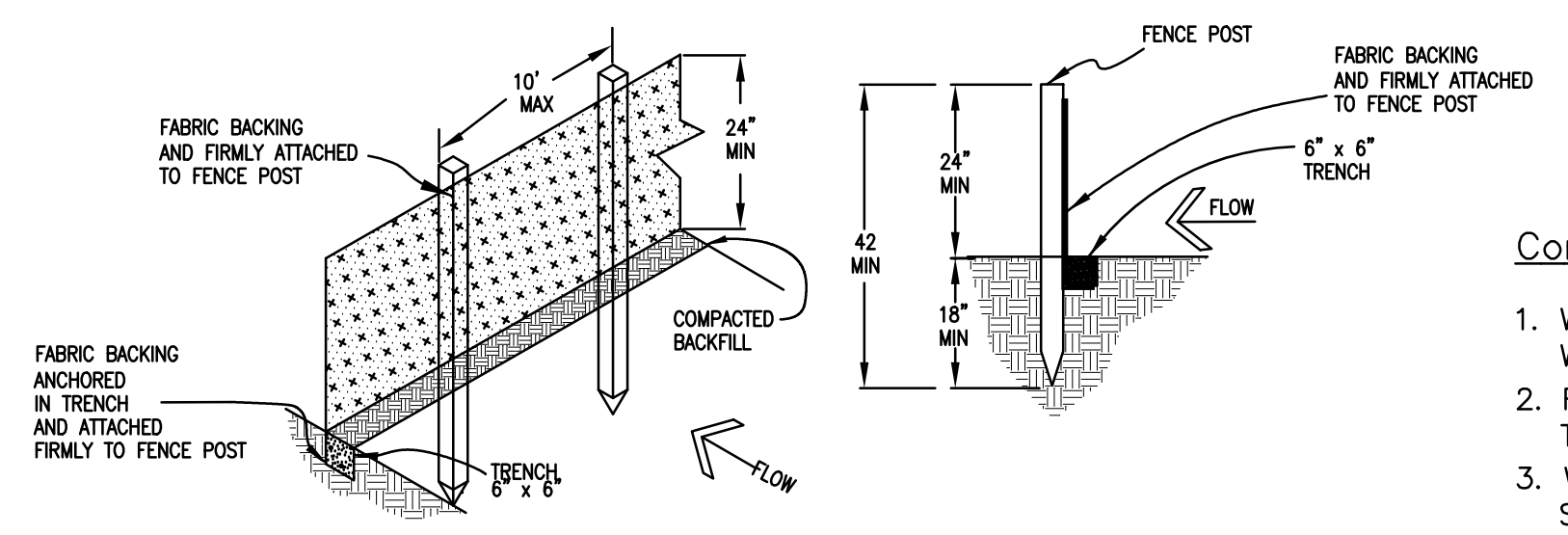
**EROSION CONTROL PLAN**  
**GERMANTOWN PARK**  
**GLUCKSTADT, MISSISSIPPI**

C 3.0





7 SEDIMENT LOG DITCH CHECK  
C3.1 N.T.S.

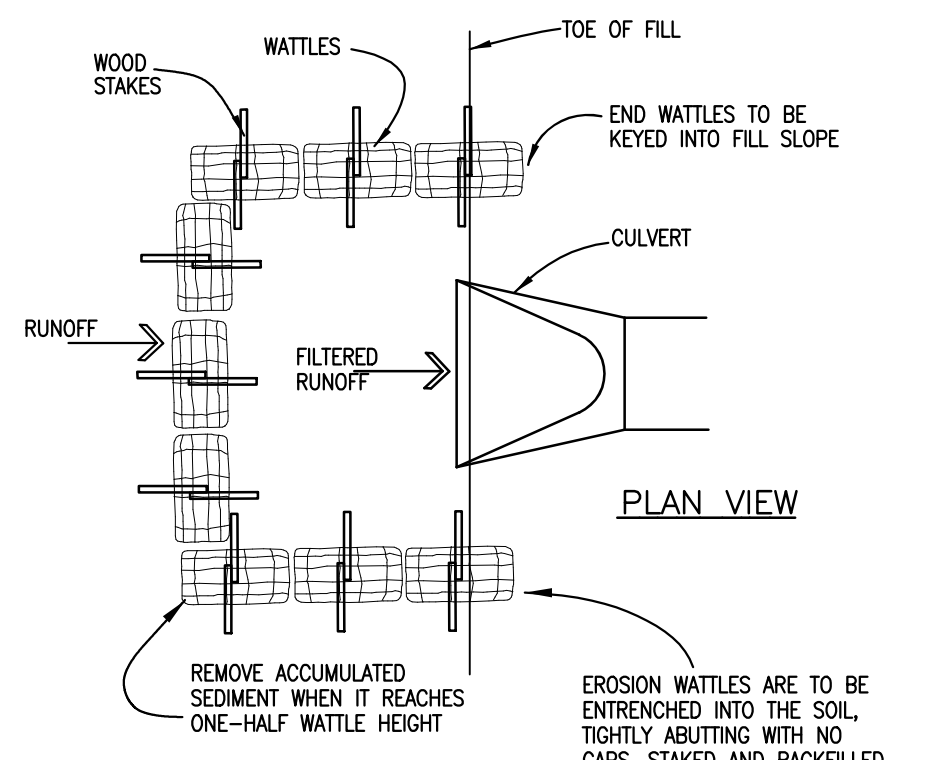


1 SILT FENCE DETAIL  
C3.1 N.T.S.

**Construction Notes for Silt Fence:**

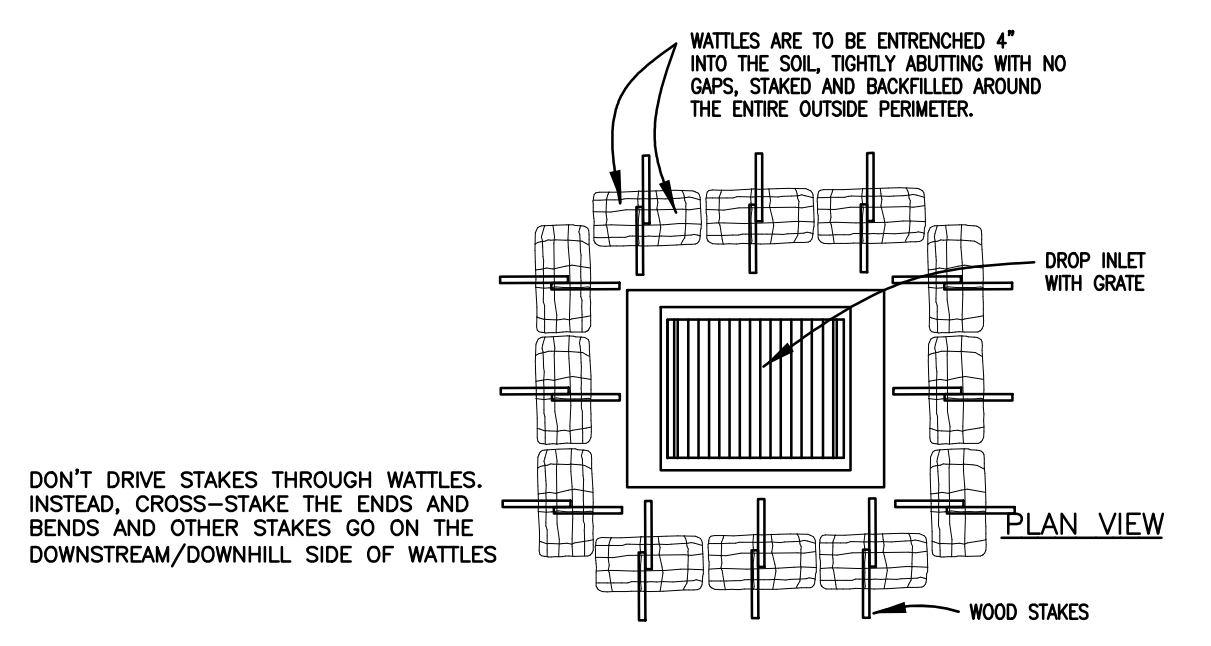
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
  4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN  
POSTS: LOCATE MAXIMUM OF 6 FEET O.C.  
FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING  
FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL
6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
  7. SILT FENCE INDICATION ON THE PLANS AS —○—○—○—

DON'T DRIVE STAKES THROUGH WATTLES. INSTEAD, CROSS-STAKE THE ENDS AND BENDS AND OTHER STAKES GO ON THE DOWNSTREAM/DOWNHILL SIDE OF WATTLES.

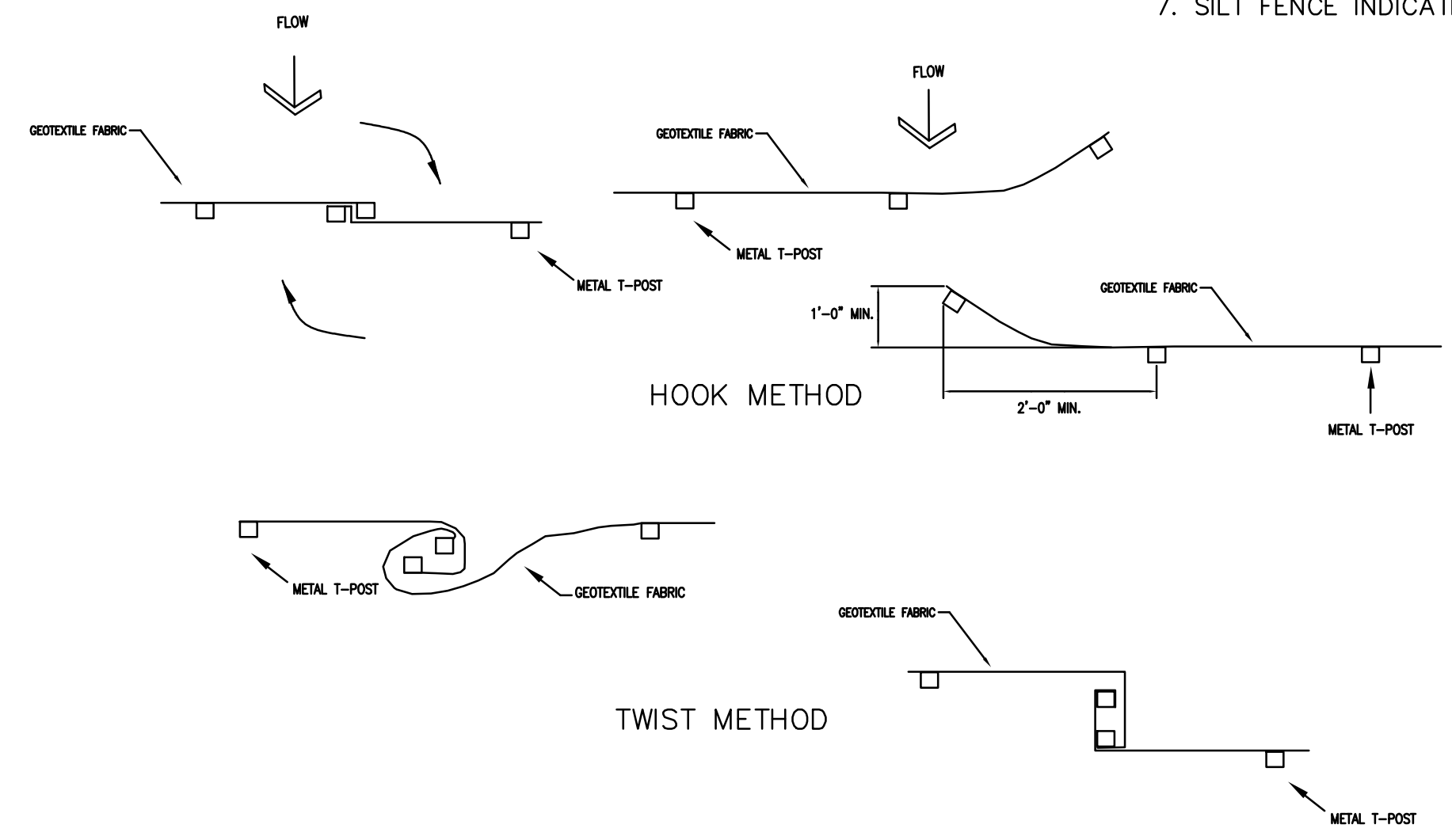


6 CULVERT EROSION BALE INLET PROTECTION  
C3.1 N.T.S.

DON'T DRIVE STAKES THROUGH WATTLES. INSTEAD, CROSS-STAKE THE ENDS AND BENDS AND OTHER STAKES GO ON THE DOWNSTREAM/DOWNHILL SIDE OF WATTLES.



4 DROP INLET EROSION FILTER  
C3.1 N.T.S.



2 JOINING TWO LENGTHS OF SILT FENCE  
C3.1 N.T.S.

**Maintenance Plan:**

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

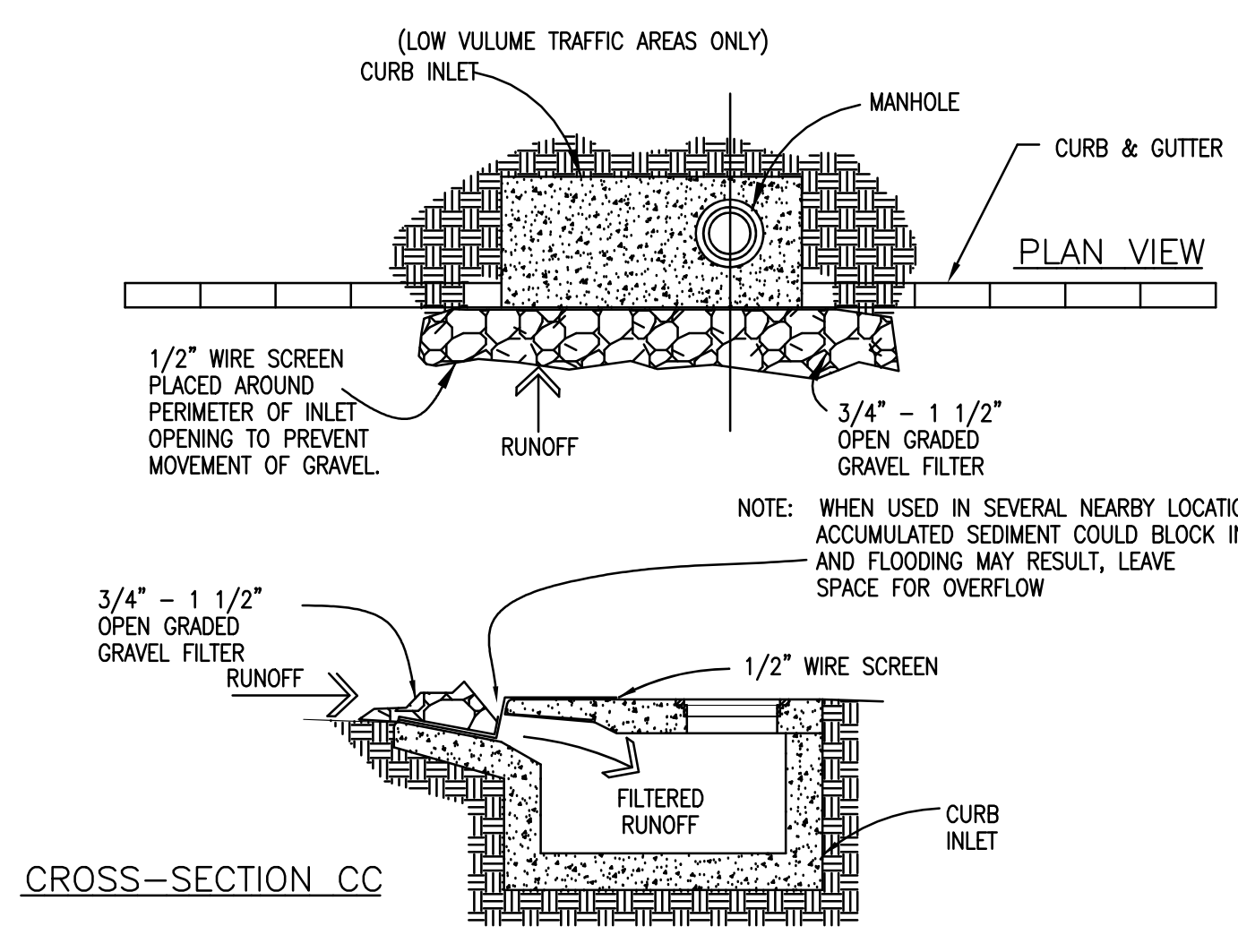
**CONSTRUCTION SEQUENCE**

**Implementation BMP Sequence:**

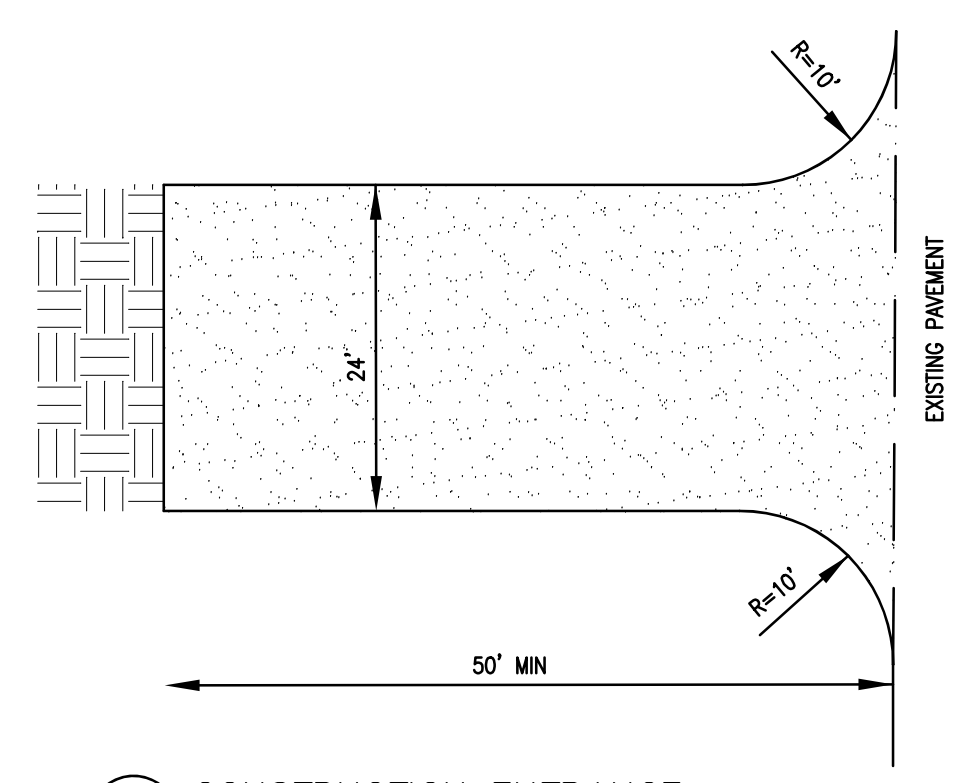
1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

**Vegetative Stabilization Measures**

1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

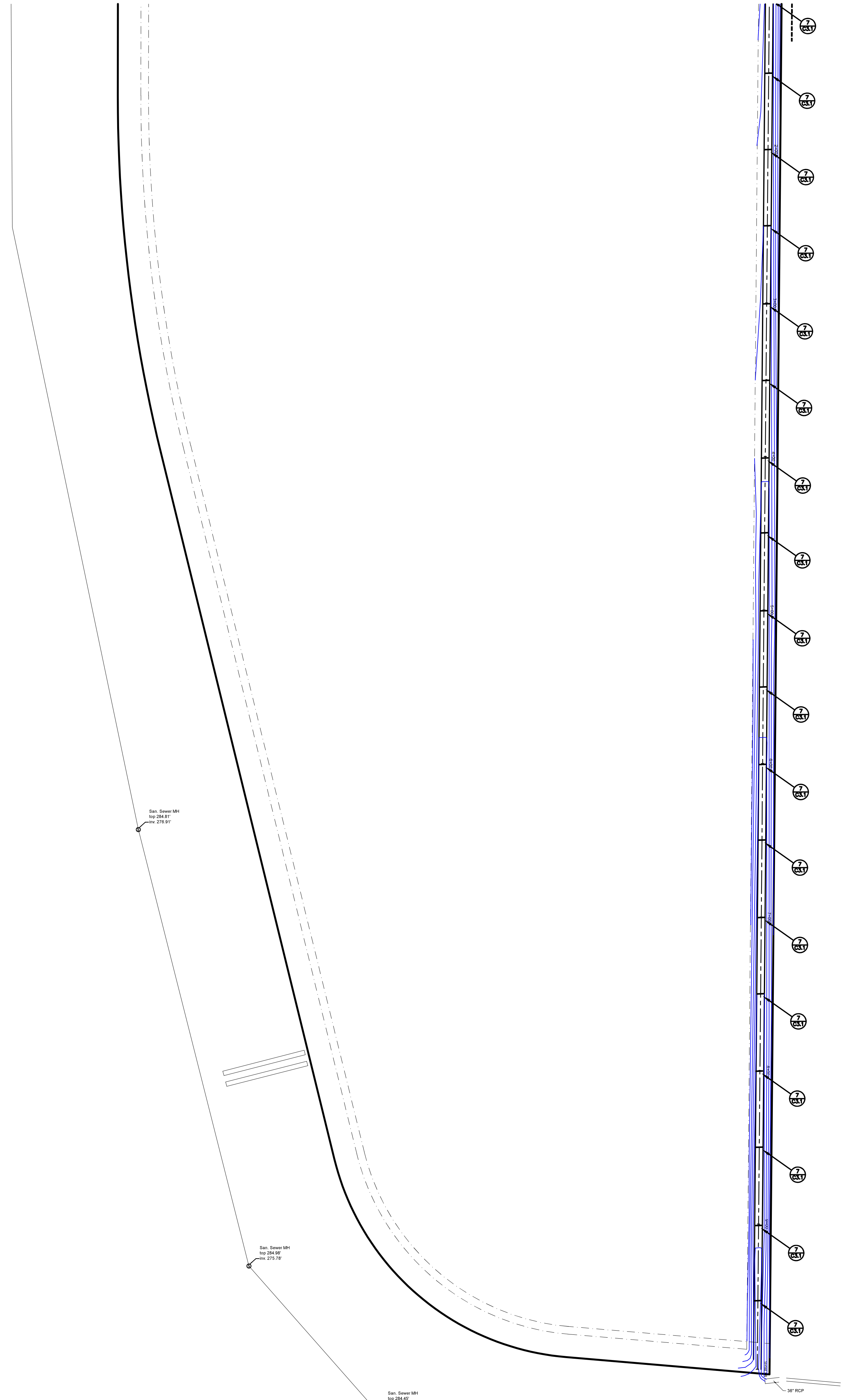
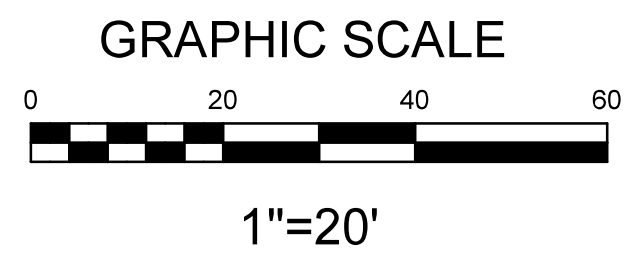
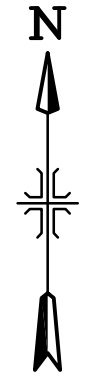


5 CURB INLET GRAVEL AND WIRE MESH FILTER TRAP  
C3.1 N.T.S.

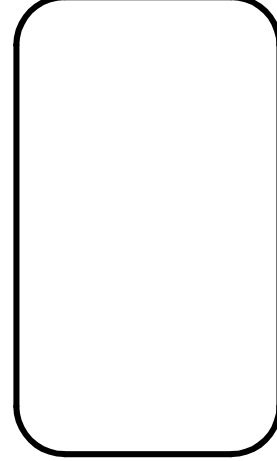


3 CONSTRUCTION ENTRANCE  
C3.1 N.T.S.

- NOTES:**
1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
  2. THICKNESS - NOT LESS THAN 6".
  3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
  4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  5. WIDTH - 30 FOOT MINIMUM
  6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.



No.	Revisions:	By:	Date:



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CLB

EROSION CONTROL PLAN  
GERMANTOWN PARK  
GLUCKSTADT, MISSISSIPPI

C 3.2

UTILITIES NOTES

1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH ENERGY.

GAS SERVICE TO BE COORDINATED WITH ATMOS.

2. SANITARY SEWER AND WATER CONNECTIONS.

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

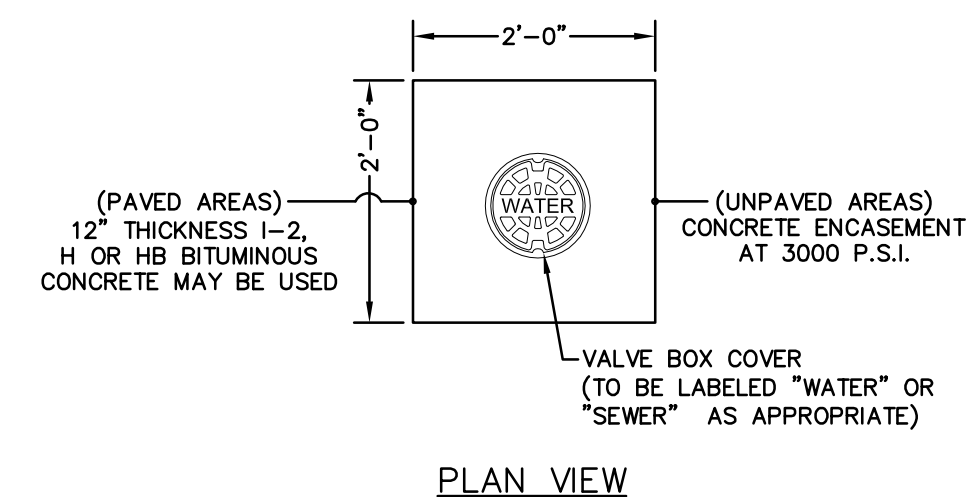
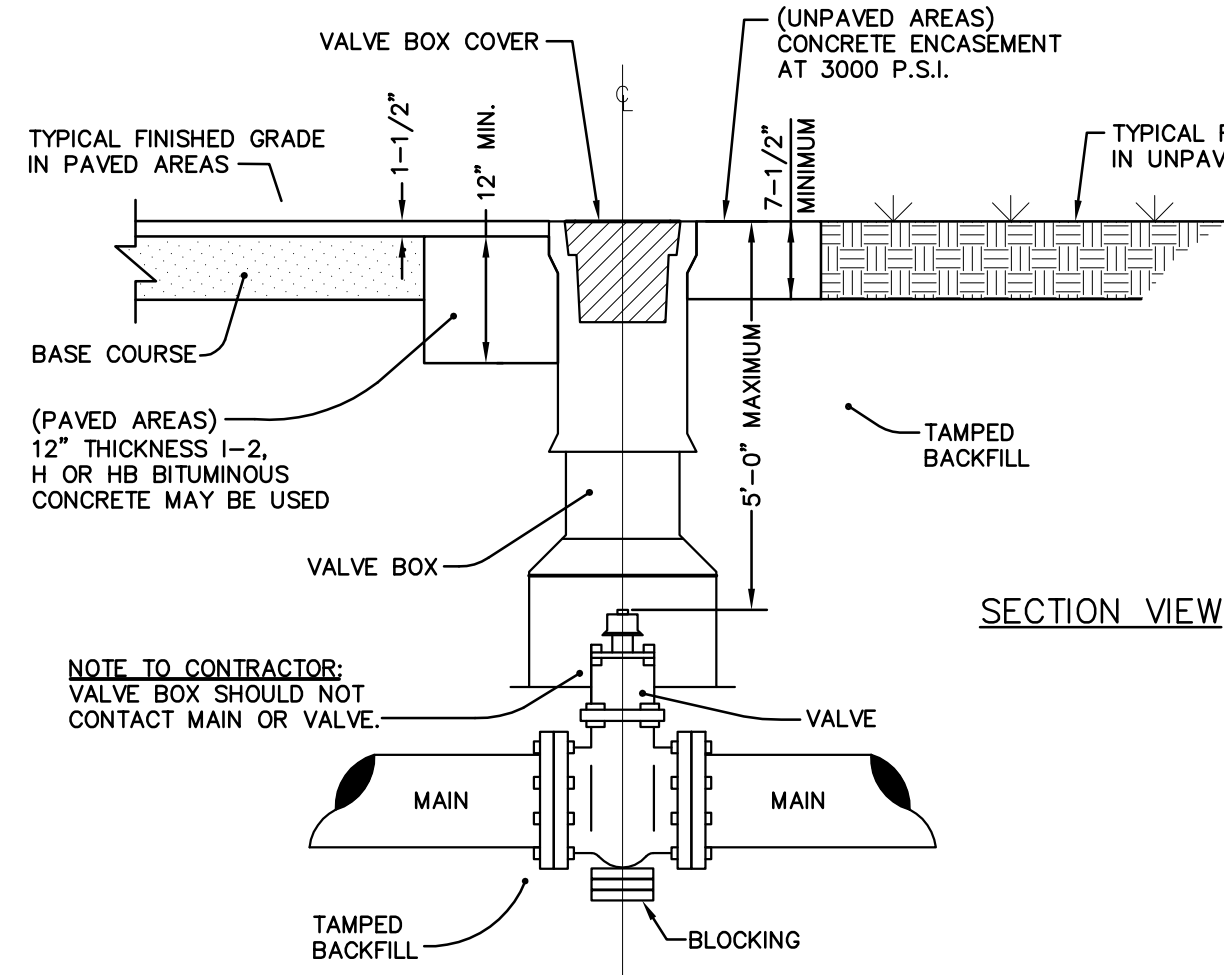
ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD. C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

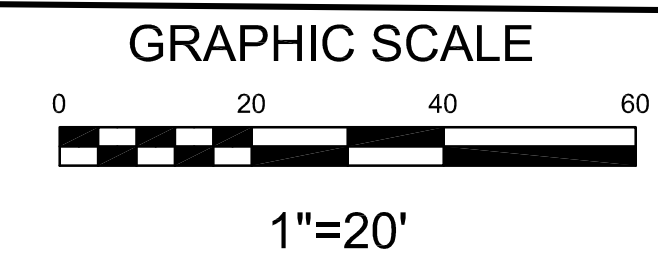
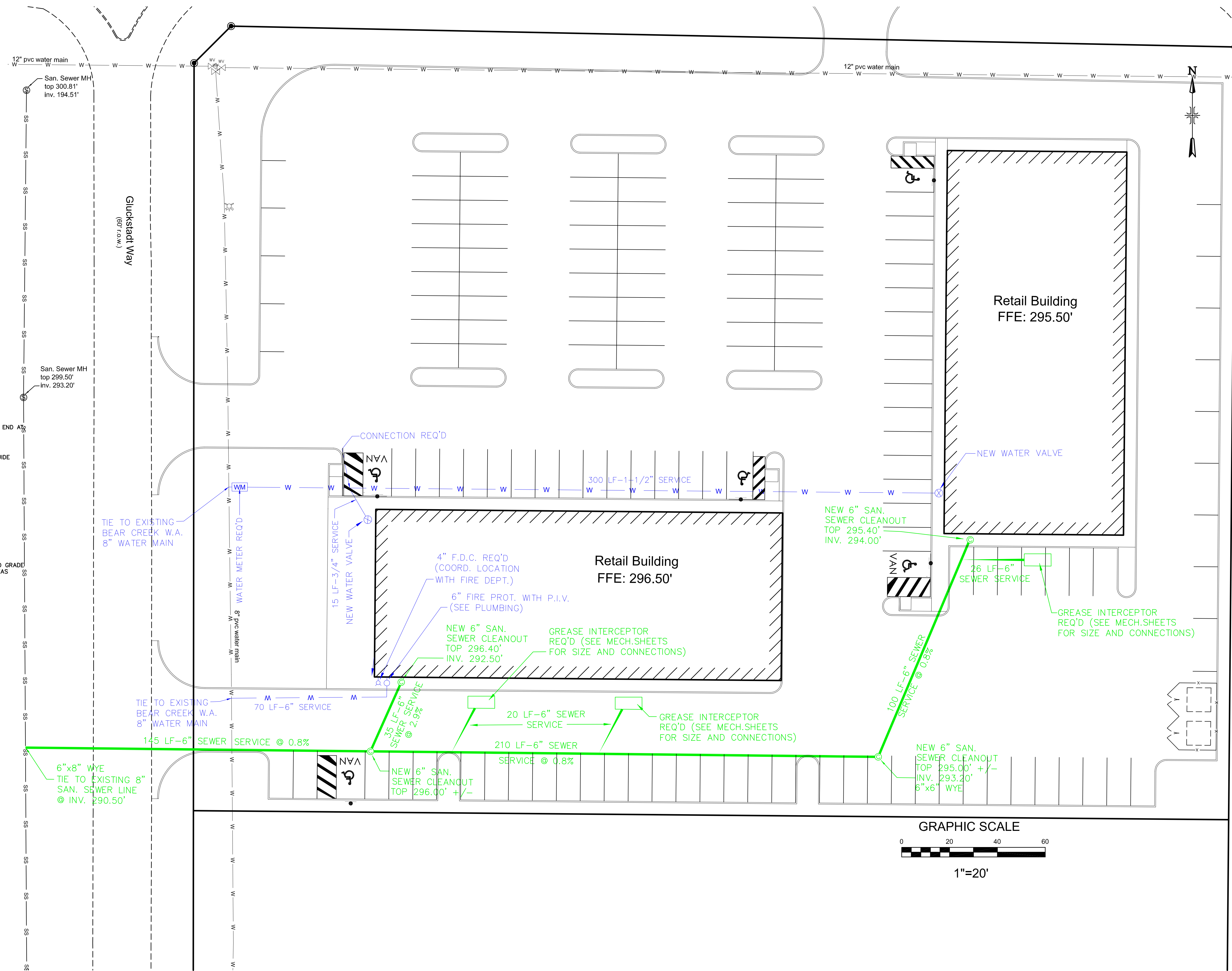
CONTRACTOR TO FOLLOW THE BEAR CREEK WATER ASSOCIATION UTILITY CONNECTION INSPECTION GUIDE



NOTES:

1. ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
2. VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5' (ft.) FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
3. PRECAST CONCRETE ENCASUREMENT IS ALLOWED OUTSIDE OF PAVED AREAS.

VALVE BOX DETAIL



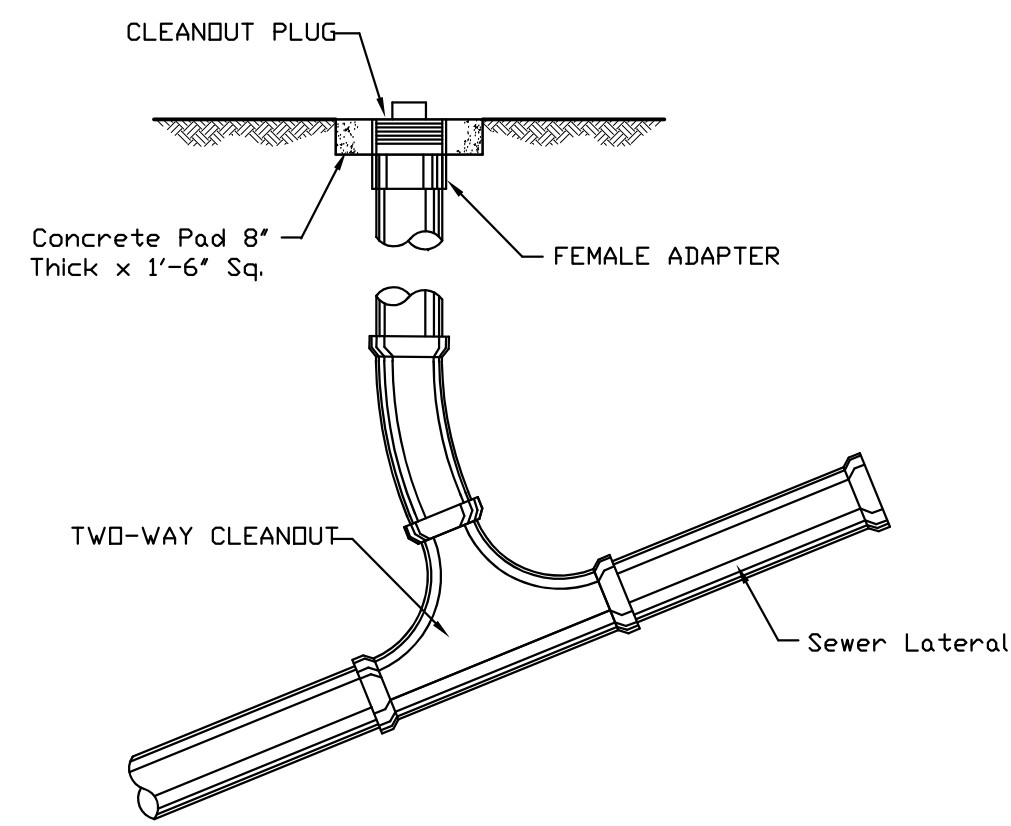
No.	Revisions:	By:	Date:
1	revised parking/drive layout	CLB	09/25/23
2	updated per City comments	CLB	10/13/23

BAIRD ENGINEERING, INC.  
506 Jefferson Street, Clinton, MS 39056  
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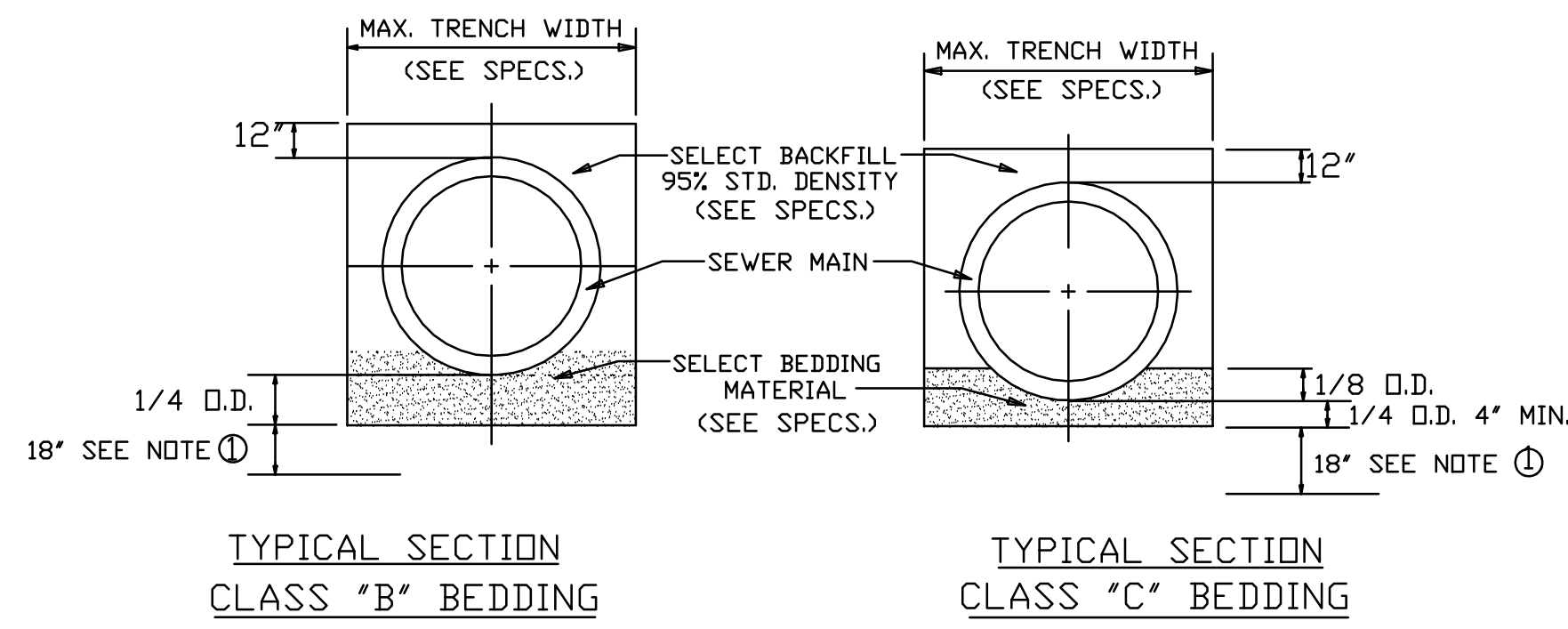
Project No.: # CHURCH RD  
Date: 07/30/2022  
Scale: 1" = 20'  
Designed By: CLB  
Reviewed By: CLB

UTILITY PLAN  
GERMANTOWN PARK  
GLUCKSTADT, MISSISSIPPI

C 4.0



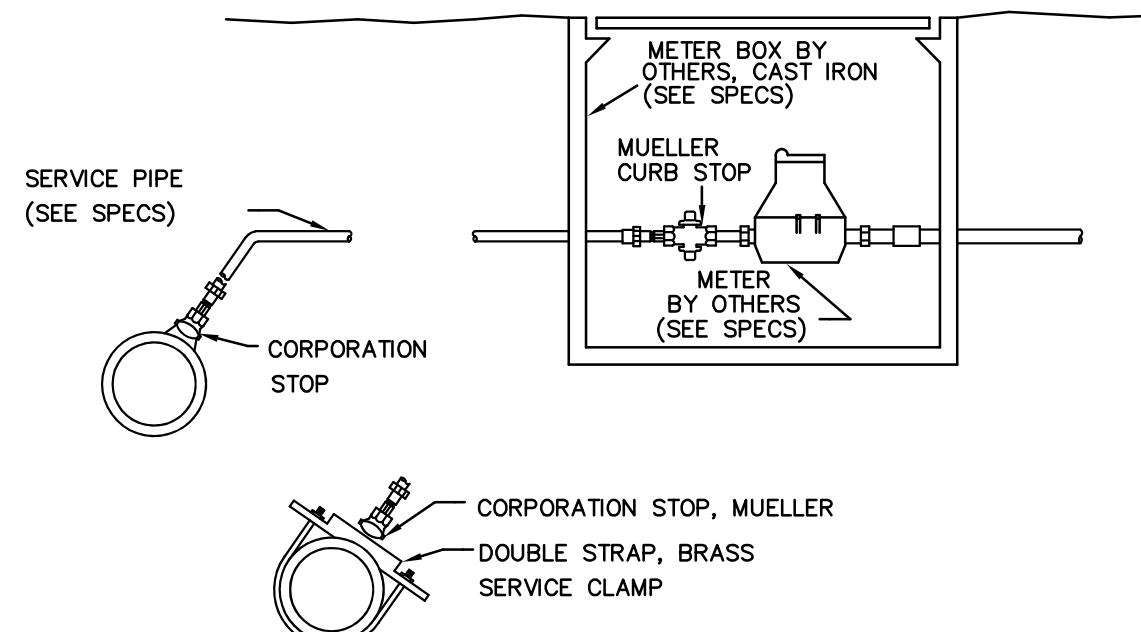
1 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL  
5.0 N.T.S.



TYPICAL SECTION CLASS "B" BEDDING  
TYPICAL SECTION CLASS "C" BEDDING

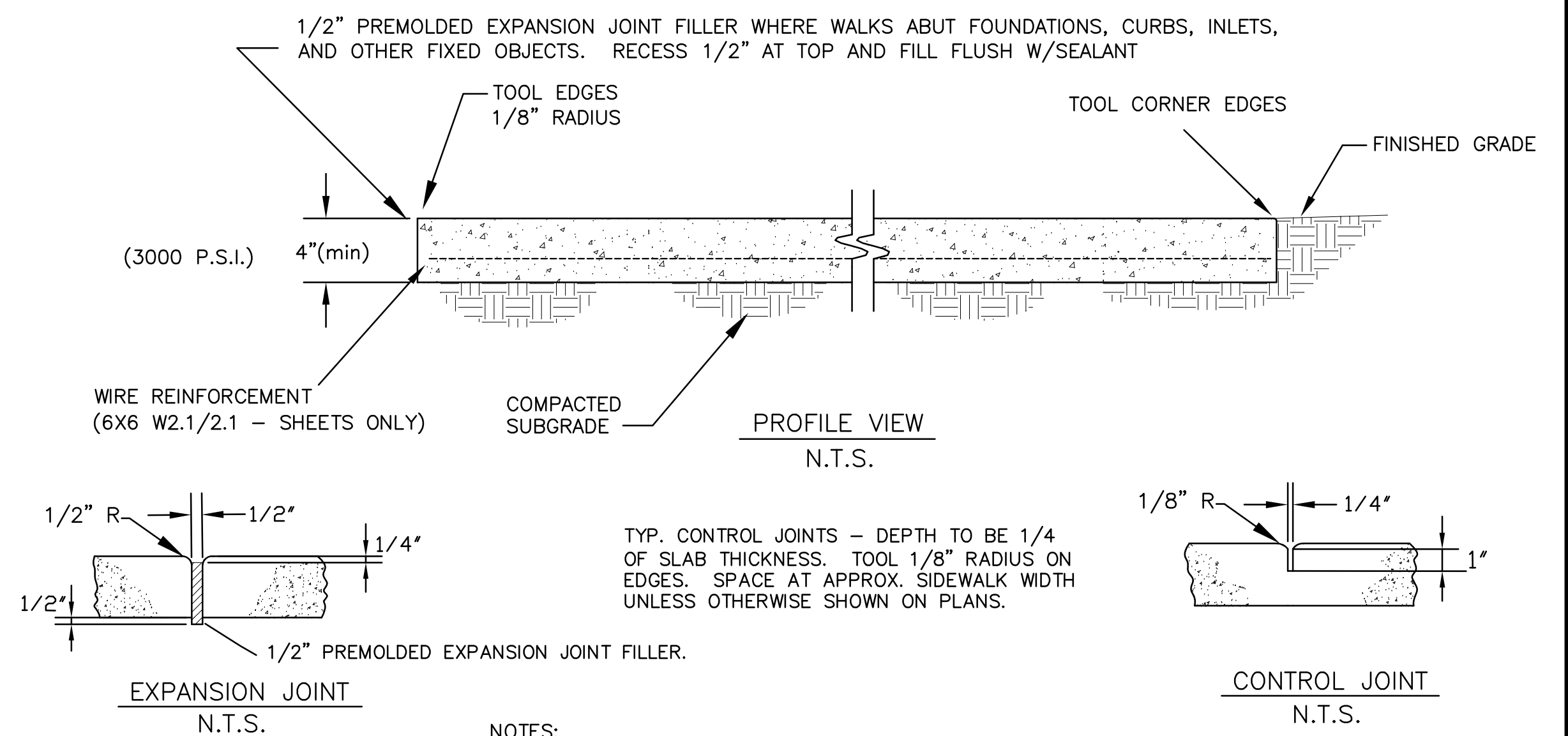
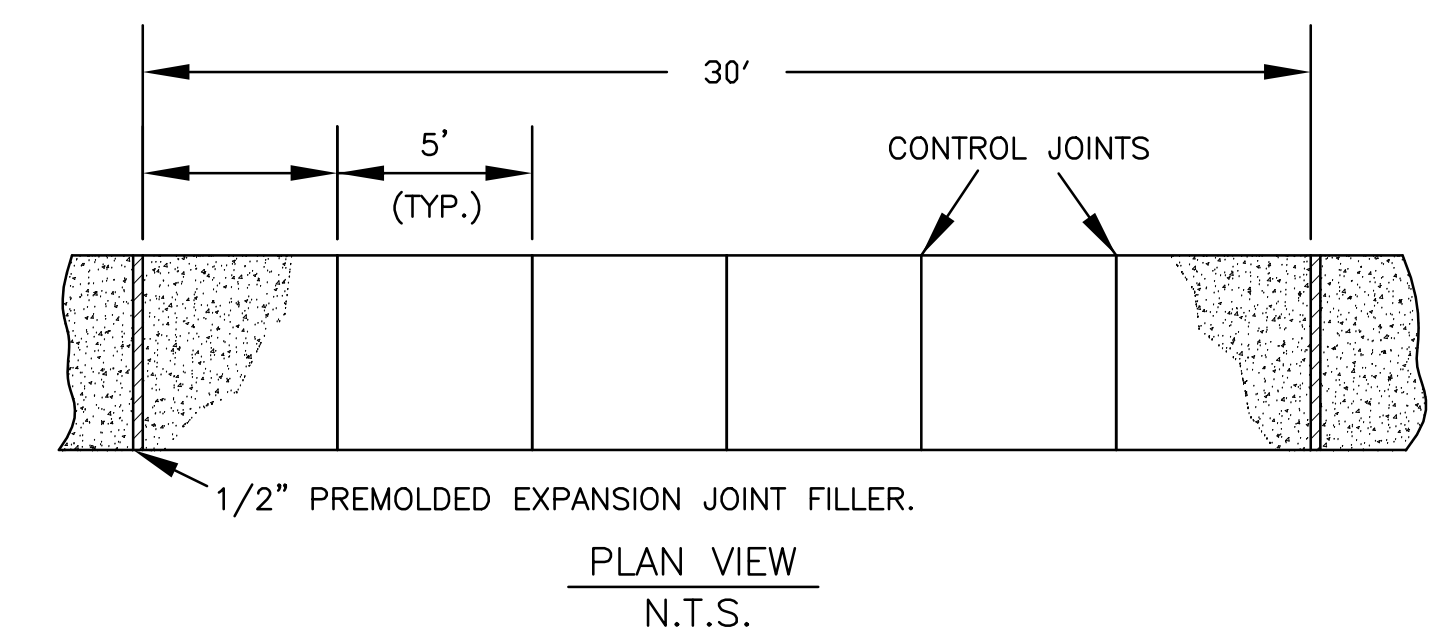
① DEWATERING REQ'D. TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.

② WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



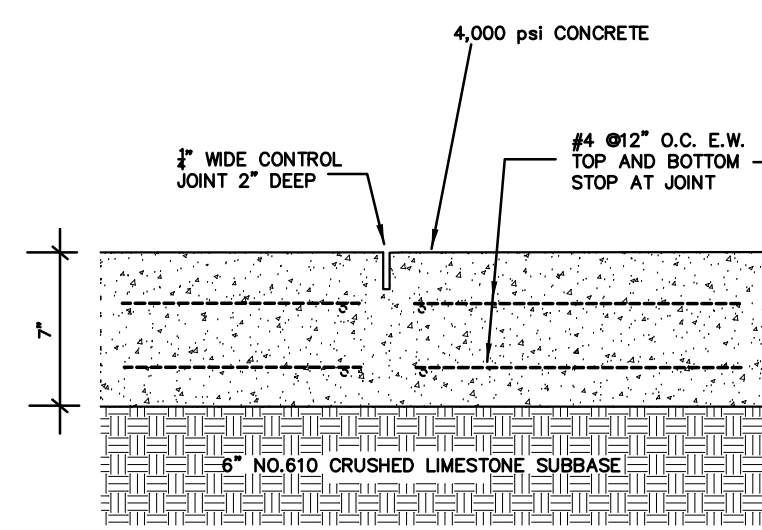
2 TYPICAL SERVICE ASSEMBLY  
5.0

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY



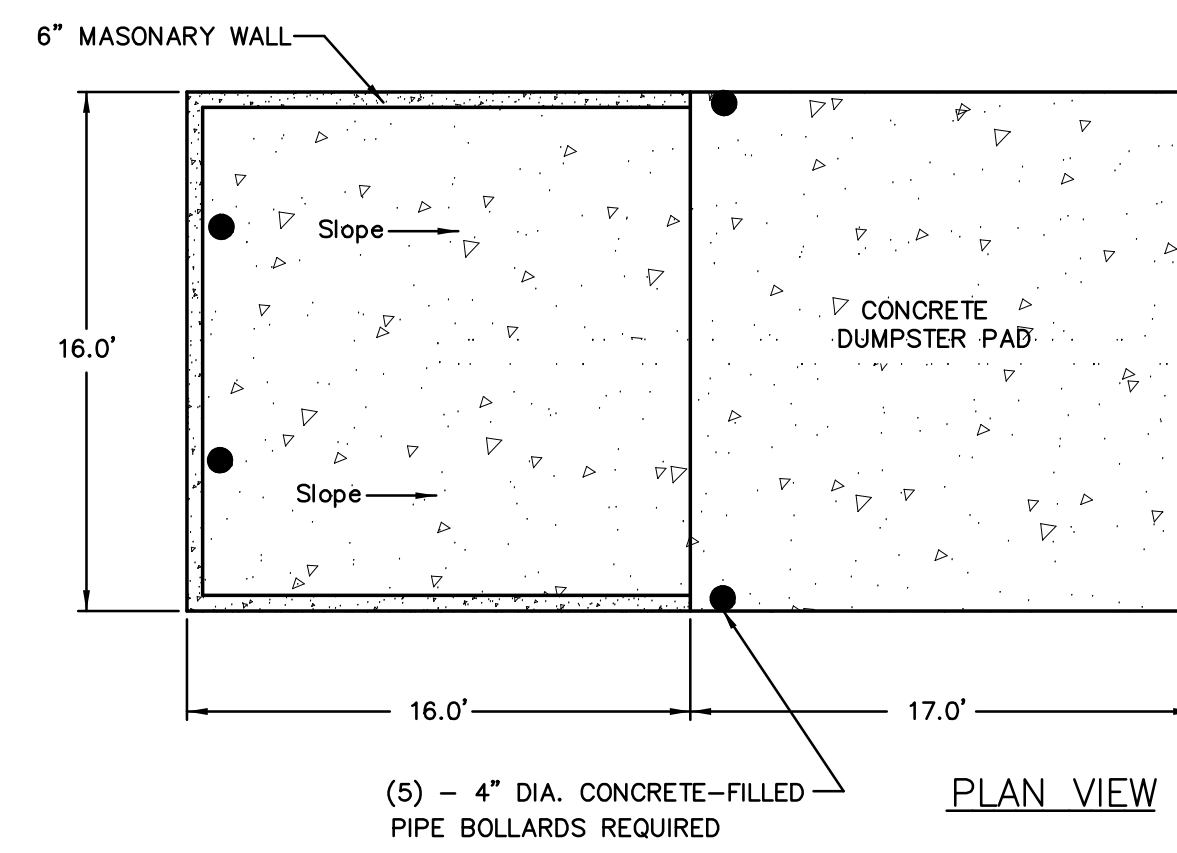
NOTES:  
1) CONCRETE SHALL BE 3,000 PSI MINIMUM  
2) 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)  
3) PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES  
4) HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

3 CONCRETE SIDEWALK SECTION DETAILS  
5.0 N.T.S.



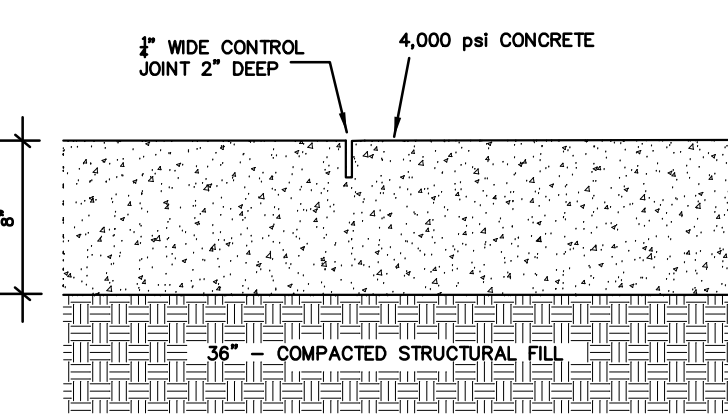
SLAB PROFILE:  
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.  
2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.  
3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.

9 HEAVY DUTY CONCRETE PAVEMENT DETAIL  
5.0 N.T.S.



NOTES:  
1. 6 FOOT TALL CYCLONE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.  
2. 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°  
3. DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.

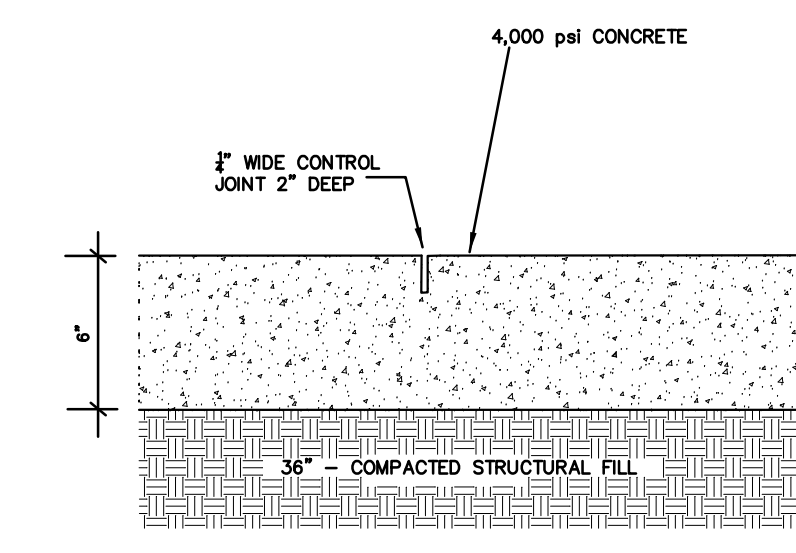
6 DUMPSTER DETAIL  
C5.0 N.T.S.



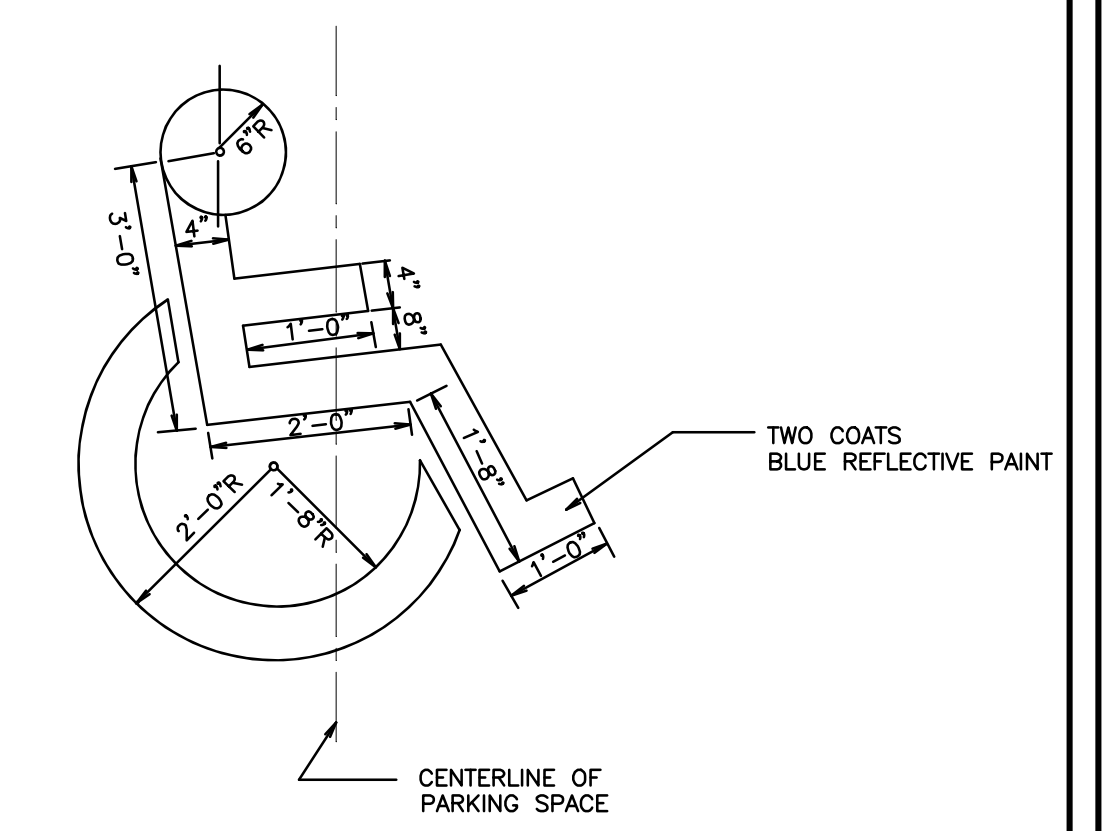
SLAB PROFILE:  
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AS DESCRIBED IN THE GEOTECHNICAL REPORT BY BURNS COOLEY DENNIS, INC.  
2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.  
3. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.  
4. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)  
5. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

8 HEAVY DUTY CONCRETE (DUMPSTER AREA)  
C5.0 N.T.S.

SLAB PROFILE:  
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.  
2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.  
3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.  
4. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.  
5. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)  
6. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.



5 MEDIUM DUTY CONCRETE PAVEMENT DETAIL  
5.0 N.T.S.



4 ACCESSIBILITY PARKING SYMBOL  
5.0 N.T.S.

NOTES:  
1. ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.  
2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.  
3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.  
4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

Date:	3/11/20
By:	CLB
Revisions:	1 Update Concrete Details
No.	

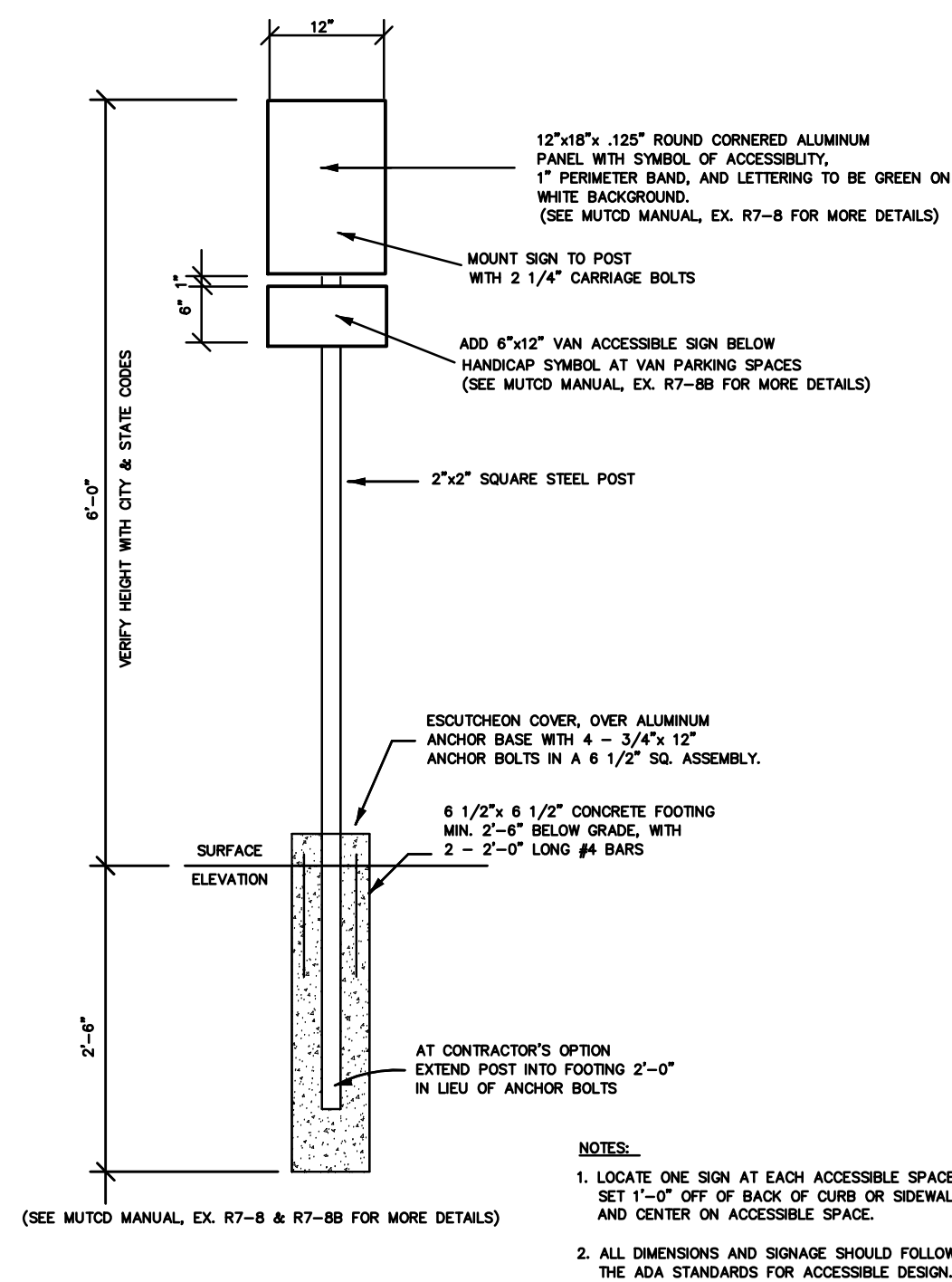
Section 4, Item D)	
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BAIRD ENGINEERING, INC.  
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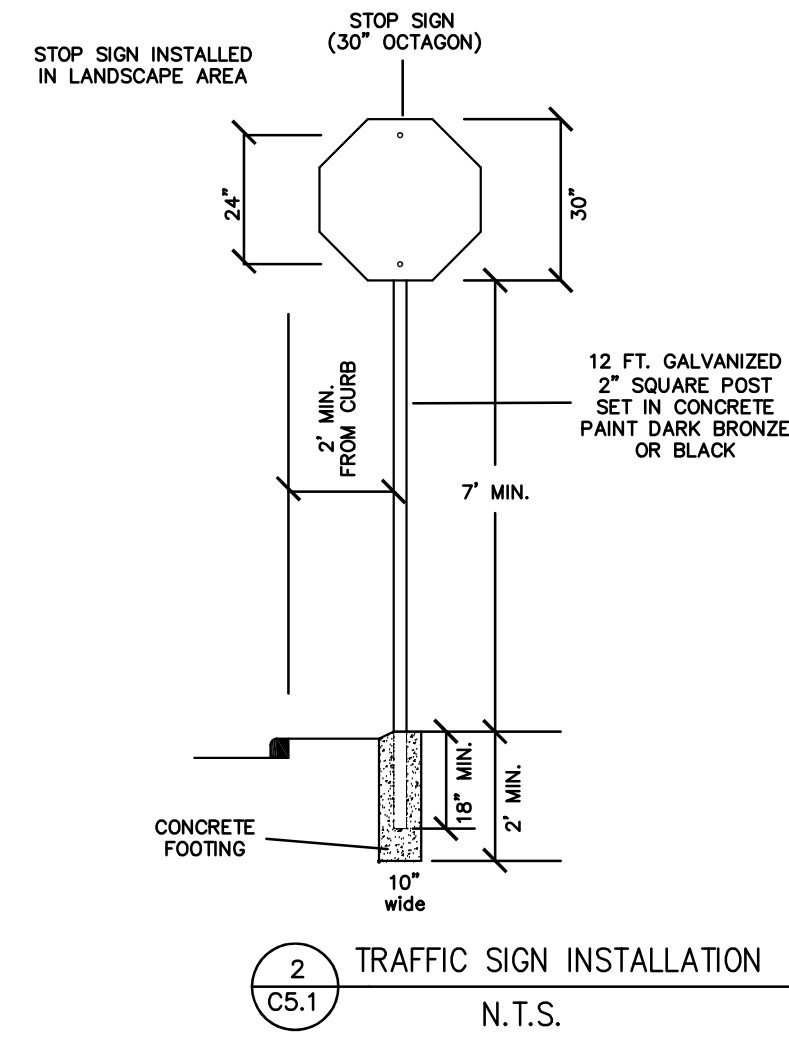
Project No.: # 4317  
Date: 02/15/2021  
Scale: N.T.S.  
Designed By: CLB  
Reviewed By: CLB

SITE DETAILS  
STORAGE CITY OF CLINTON  
CLINTON, MISSISSIPPI

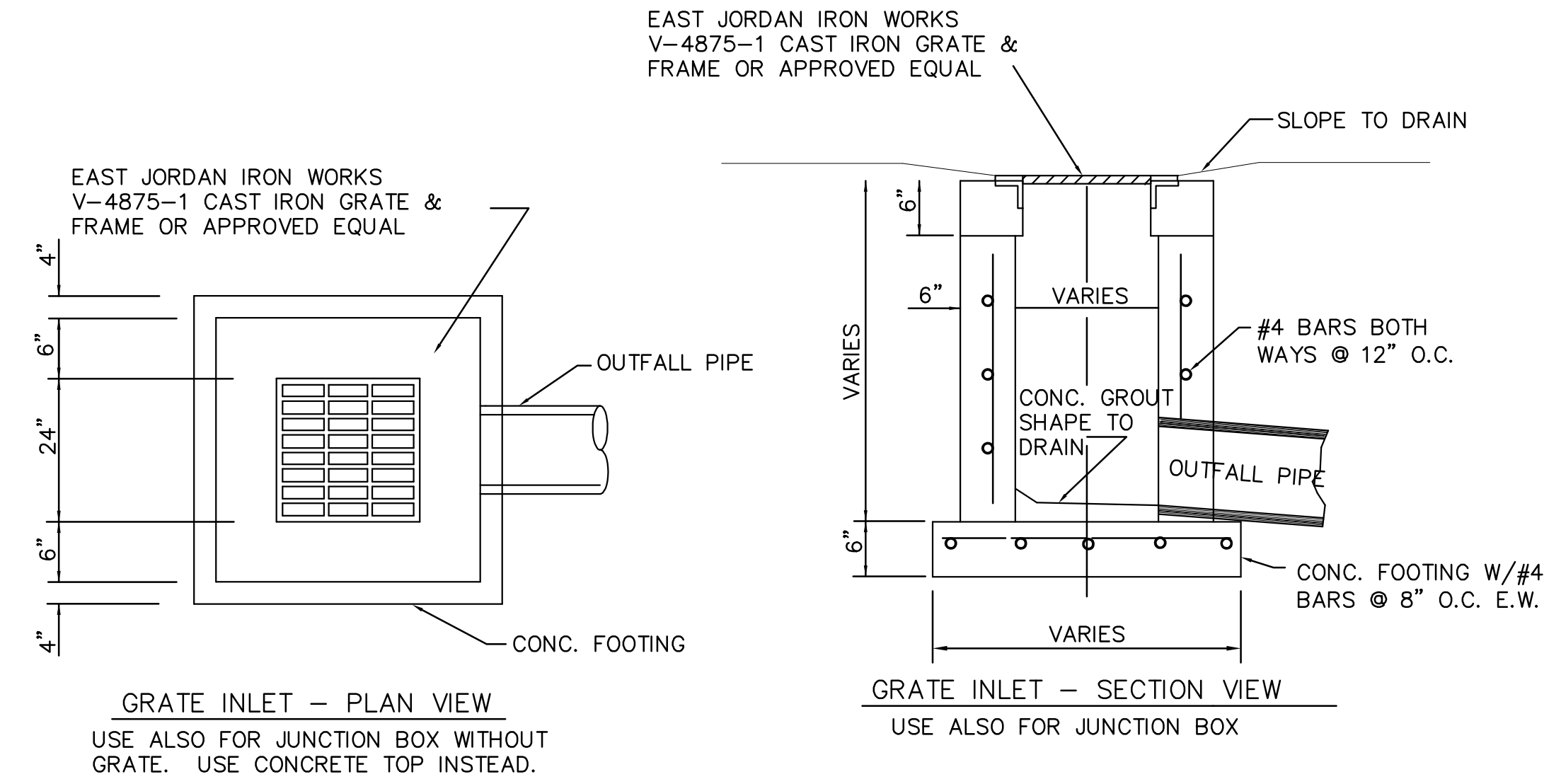
SHEET  
C 5.0



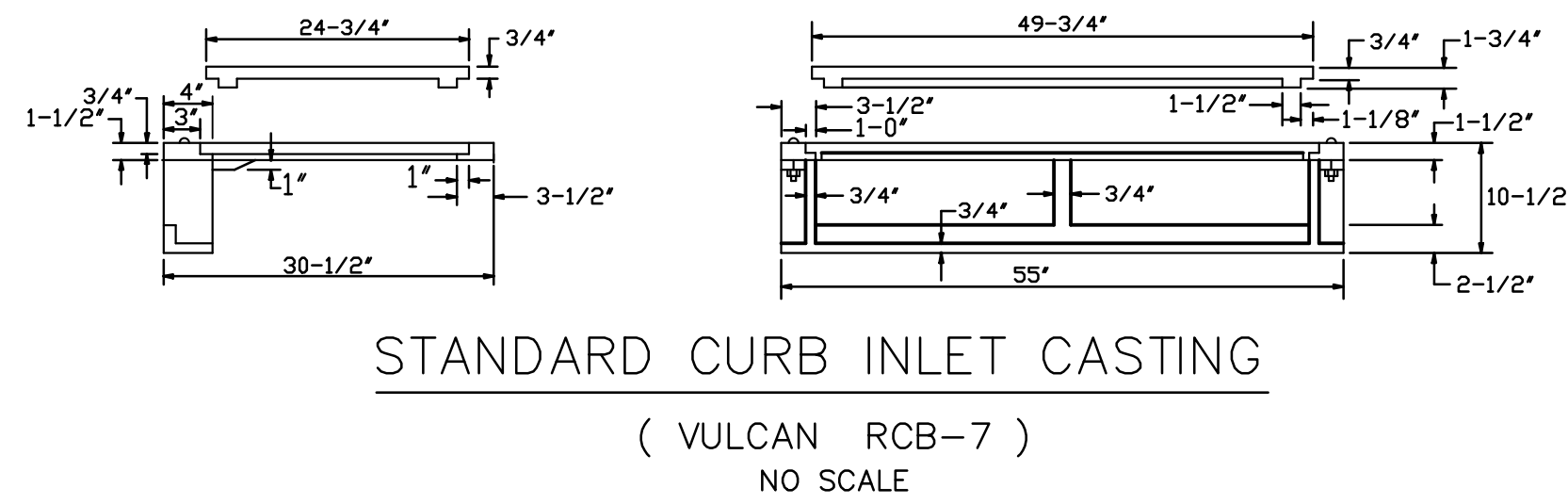
1 ACCESSIBILITY SIGNAGE DETAIL  
N.T.S.



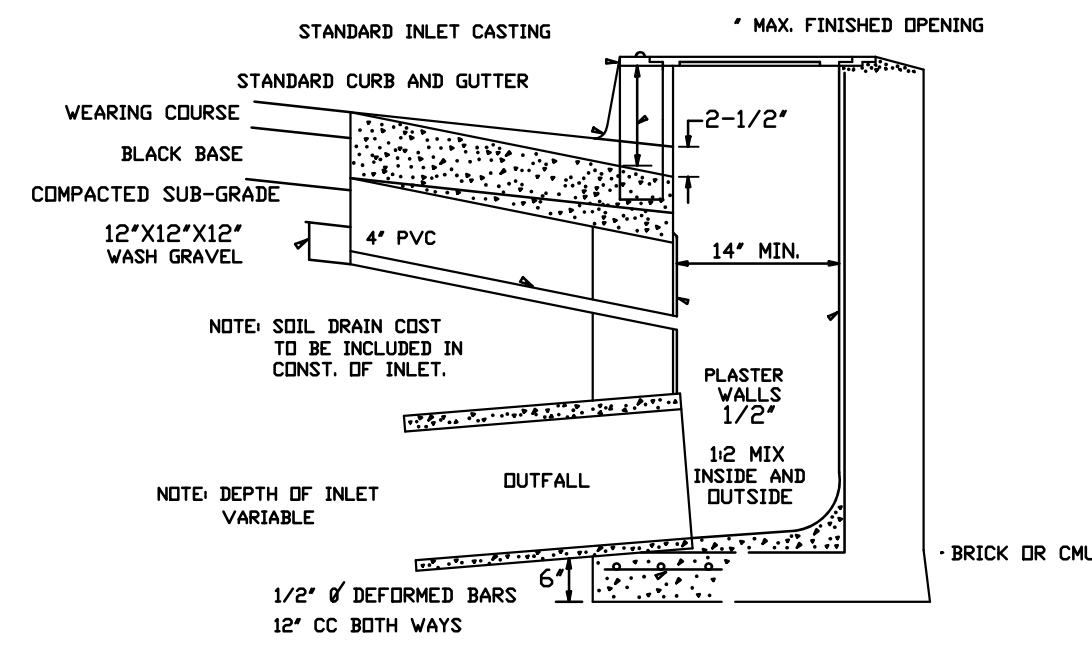
2 TRAFFIC SIGN INSTALLATION  
N.T.S.



4 GRATE INLET DETAIL  
N.T.S.



STANDARD CURB INLET CASTING  
(VULCAN RCB-7)  
NO SCALE



SECTION OF STANDARD CURB INLET  
NO SCALE

3 CURB INLET DETAIL  
N.T.S.

No.	Revisions:	By:	Date:
1	Update Concrete Details	CLB	3/11/20

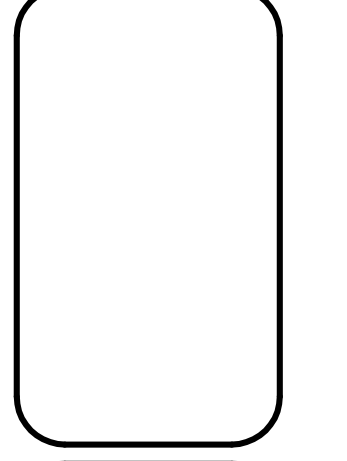
BAIRD ENGINEERING, INC.  
Clinton, MS 39056  
506 Jefferson Street  
Phone: (601) 925 - 5015

Project No.: # 4317  
Date: 02/15/2021  
Scale: N.T.S.  
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Reviewed By: CLB

SITE DETAILS  
STORAGE CITY OF CLINTON  
CLINTON, MISSISSIPPI

SHEET  
C 5.1

No.	Revisions:	By:	Date:

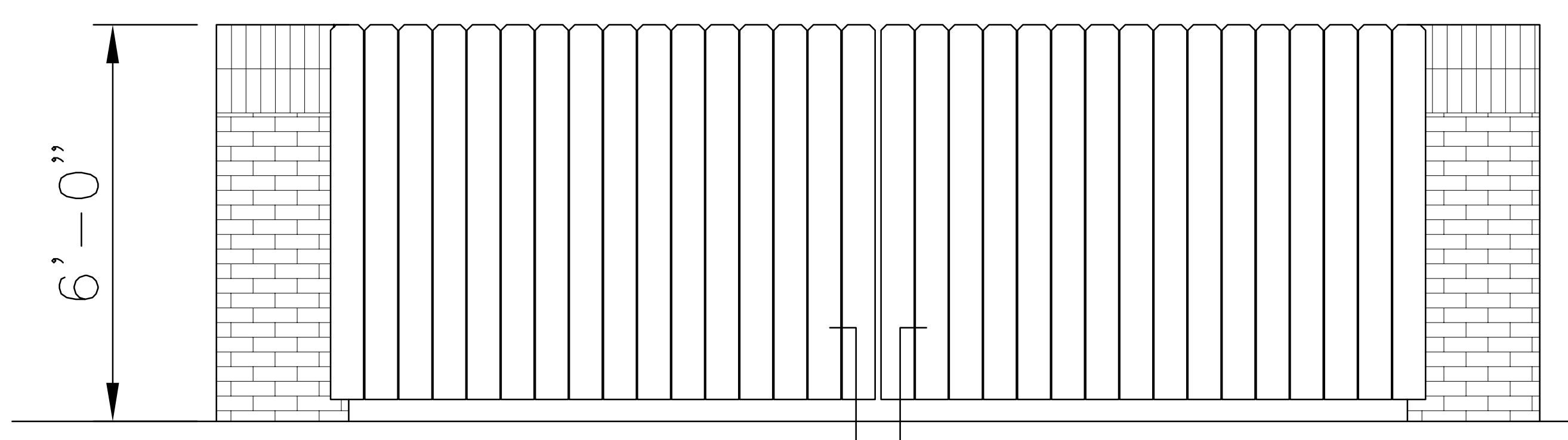
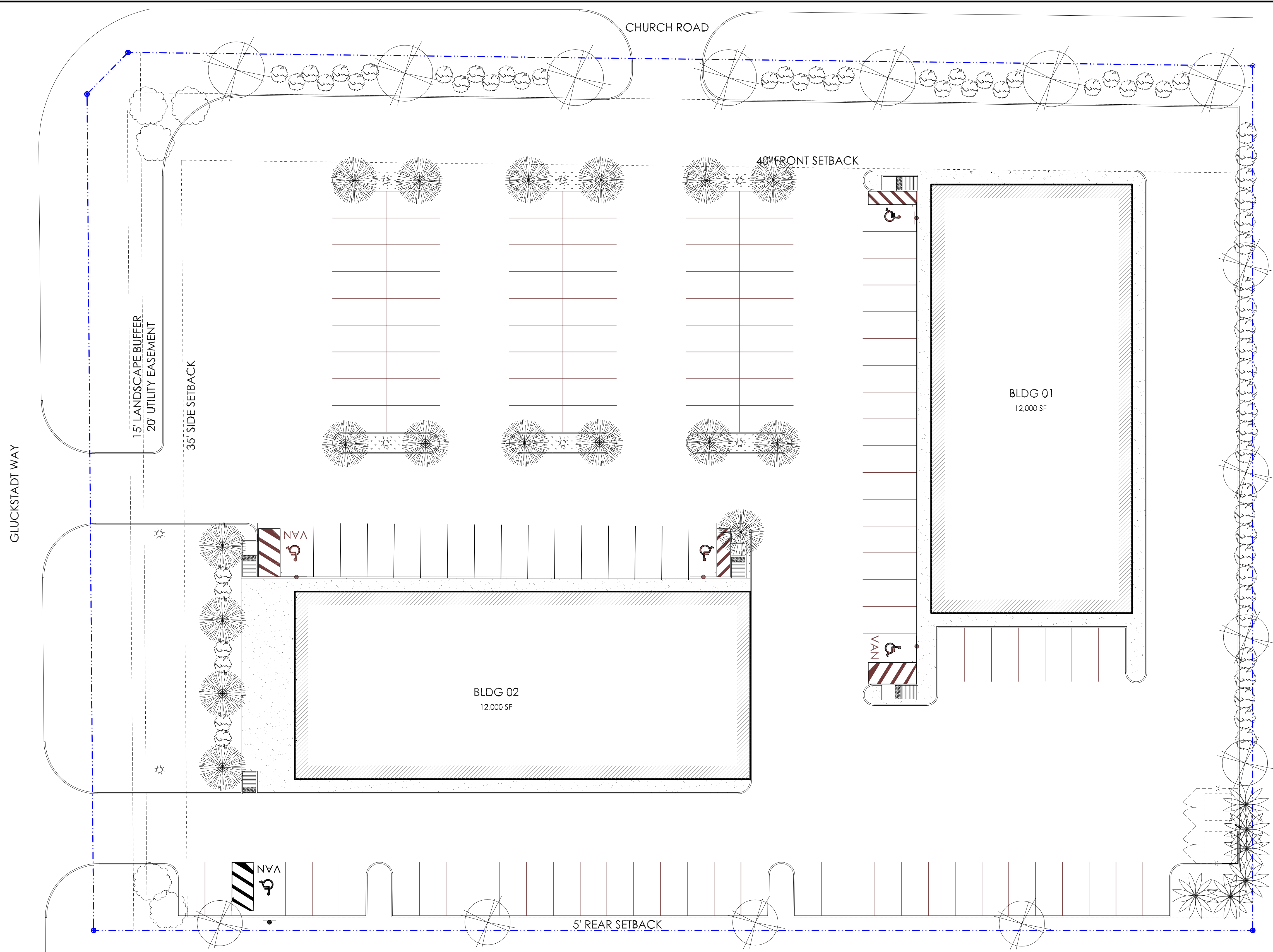


BAIRD ENGINEERING, INC.  
 506 Jefferson Street, Clarks, MS 39056  
 Phone: (601) 925-5015

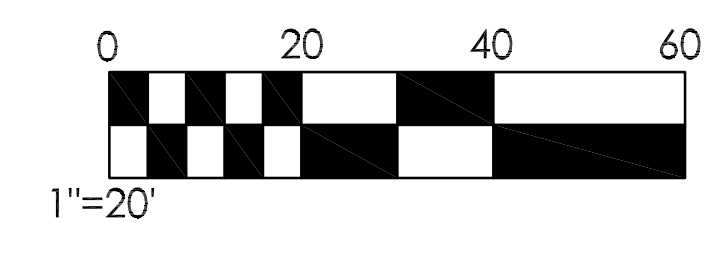
Project No.: # CHURCH RD  
 Date: 07/30/2022  
 Scale: 1" = 20'  
 Designed By: CLB  
 Reviewed By: CLB

LANDSCAPE PLAN  
 GERMANTOWN PARK  
 GLUCKSTADT, MISSISSIPPI

C 6.0



DUMPSTER ENCLOSURE  
 SCALE: 1/4"=1'-0"



- OCTOBER GLORY MAPLE
- NATCHEZ CRAPE MYRTLE, "LAGERSTROEMIA INDICA X FAURIEI"  
7' HTH., f-1" S.T., 3 TRUNKS MIN.
- PARSON JUNIPER, JUNIPERUS CHINENSIS 'PARSONII', 3 GAL. @ 3'-6" O.C.
- SOUTHERN INDICA AZALEAS, RHODODENDRON INDICA  
3 GAL. @ 3'-6" O.C.
- POMPOUS GRASS