



PLANNING & ZONING COMMISSION MEETING

Tuesday, January 28, 2025 at 6:00 PM

Agenda

1. **Call to Order**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
 - A) Approve November 26, 2024 Board Minutes
4. **Request for Rezoning**
 - A) Discussion and Consideration of Approval: Application for Rezoning, Bedi Investments, 1064 Gluckstadt Road
5. **New Site Plan Considerations**
 - A) Discussion and Consideration of Bedi Investments Gluckstadt Liquor Conditional Use
 - B) Discussion and Consideration of Brothers Tacos Conditional Use
 - C) Discussion and Consideration of 342 Old Jackson Project A Dimensional Variance
 - D) Discussion and Consideration of 342 Old Jackson Project B Dimensional Variance
 - E) Discussion and Consideration of D&I Investments Wyndham Hotel Parking Variance
 - F) Discussion and Consideration of D&I Investments Wyndham Hotel Site Plan
6. **Next Meeting**
 - A) The Next Planning and Zoning Meeting Will Be Held on February 25, 2025
7. **Adjourn**

**MINUTES OF THE REGULAR MEETING
OF THE PLANNING AND ZONING COMMISSION
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, November 26, 2024, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Sam McGaugh (Chairman)
Melanie Greer (Vice-Chairwoman)
Tim Slattery (Via telephone, arrived late)
Andrew Duggar
Katrina B. Myricks
Phillips King
Kayce Saik

Absent:

Also present:

John P. Scanlon, Attorney
William Hall, City of Gluckstadt

Chairman Sam McGaugh called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Chairman McGaugh opened the meeting with prayer and led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**

A) October 22, 2024 Planning and Zoning Meeting Minutes

4. New Site Plan Considerations

A) Discussion and Consideration of Bear Creek Water Site Plan

B) Public Hearing & Consideration of Application for Conditional Use, Puckett Machinery, 381 Distribution Drive, Heavy Equipment Sales and Service

5. Request for Rezoning

A) Public Hearing & Consideration of Application for Rezoning, Rands LLC, Parcel ID 082D-19-011/02.00, Catlett Rd (R-1 to R-2)

6. New Business

7. Next Meeting

A) The Next Planning and Zoning Meeting Will Be Held on Friday December 20, 2024 at 1PM

8. Adjourn

The Board considered the Minutes of the October 22, 2024, regular meeting. Commissioner Melanie Greer moved to approve the minutes presented as written. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present Commissioners. The Chairman declared the motion carried.

Site Plan – Bear Creek Water

The Board next considered the site plan for Bear Creek Water for property located at 586 Church Road ~~in a C-2 zoning district~~ in the City of Gluckstadt and identified by Tax Parcel No. 082E-22-010/02.00. William Hall presented Commissioners with the site plan and spoke to the general sufficiency of the application by Bear Creek Water. Nolan Williamson, Bear Creek’s General Manager answered questions regarding traffic, driveway access and future use and Mr. Williamson also addressed further questions regarding drainage. On motion by Commissioner Melanie Greer and seconded by Commissioner Katrina Myricks, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan as submitted. The Chairman declared the motion carried.

**Public Hearing for Application for
Conditional Use Permit for Hastings Puckett**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application for Conditional Use Permit by Hastings Puckett for Puckett Machinery for property located at 381 Distribution Drive in the City of Gluckstadt. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow equipment rental and sales on the subject property.

Mr. Hastings Puckett, President of Puckett Machinery, appeared and spoke on behalf of the application. Commissioners raised questions regarding permission of the landowner (contingency contract), and setbacks as well as future modifications to site plan for wash rock.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Melanie Greer and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow equipment rental and sales on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for Rezoning
for Rands, LLC**

Chairman Sam McGaugh opened the Public Hearing on the Petition and Application to Rezone Real Property for Rands, LLC for property located on Catlett Road and identified by Tax Parcel Number 082D-19-011/02.00 in the City of Gluckstadt. The subject property is presently zoned R-1 Single-Family Residential Estate District. William Hall presented the application and advised the Board that notice posting and publication requirements were met and that Applicant is requesting a rezoning to R-2 Medium Density Residential District. Mr. Steve Rimmer, representative of the developer, Rands, LLC, appeared and spoke on behalf of the Application. Mr. Rimmer answered questions of the Planning and Zoning Commission, including whether there is a plan to expand Catlett Road capacity. Mr. Jonathan Kiser answered questions regarding traffic impact.

Opposition was given an opportunity to respond.

Ms. Penny Coulon appeared and spoke in opposition to the request based on traffic impact and the effect of small houses on surrounding property values.

Commissioner Kacy Saik requested a full traffic study be provided to the Board of Aldermen.

There was no one present in support other than the Petitioner.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Melanie Greer, the Board present voted 4-1 to recommend to the Mayor and Board of Aldermen that they approve the rezoning to rezone the subject property from R-1 Single-Family Residential Estate District to R-2 Medium Density Residential District, finding that there was a both a change in character of the neighborhood and a public need. Commissioners Melanie Greer, Tim Slattery, Andrew Duggar, Katrina Myricks and Phillips King voted Aye. Commissioner Kacy Saik voted Nay. The Chairman declared the motion carried.

OLD BUSINESS

None.

NEW BUSINESS

There was next discussion regarding the December meeting which will be a special called meeting for tentatively set for December 20, 2024 at 1:00 p.m.

There was no further business to be presented.

ADJOURN

Commissioner Andrew Duggar moved that the meeting be adjourned. The motion was seconded by Commissioner Melanie Greer and approved unanimously by all present Commissioners. The Chairman declared the Motion carried.

WITNESS OUR HANDS, this the _____ day of _____, 2024.

SAM McGAUGH, Chairman

MELANIE GREER, Vice Chairman/Secretary

REQUEST FOR REZONING APPLICATION

Subject Property Address: Gluckstadt Rd., Gluckstadt, MS
Owner: bedi investments Applicant: bedi investments
Address: _____ Address: _____

Phone No. 601-238-5918 Phone No. 601-238-5918
Current Zoning District: C-1
Requested Change C-2

Requirements of Applicant:

1. Letter stating reason for requested zoning change.
2. Copy of the written legal description.
3. Site plan of property.
4. Identification of property owners within 160 feet of subject property
5. \$250.00 fee required for processing.

Criteria for Rezoning: *(Section 2406.03 Zoning Ordinance)*

- (a) Show proof that a mistake was made in the original zoning. "Mistake" in this context shall refer to a clerical or administrative error.
- (b) Show proof that the character of the neighborhood has changed to such an extent as to justify reclassification, AND that there is a public need for the rezoning

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for rezoning.

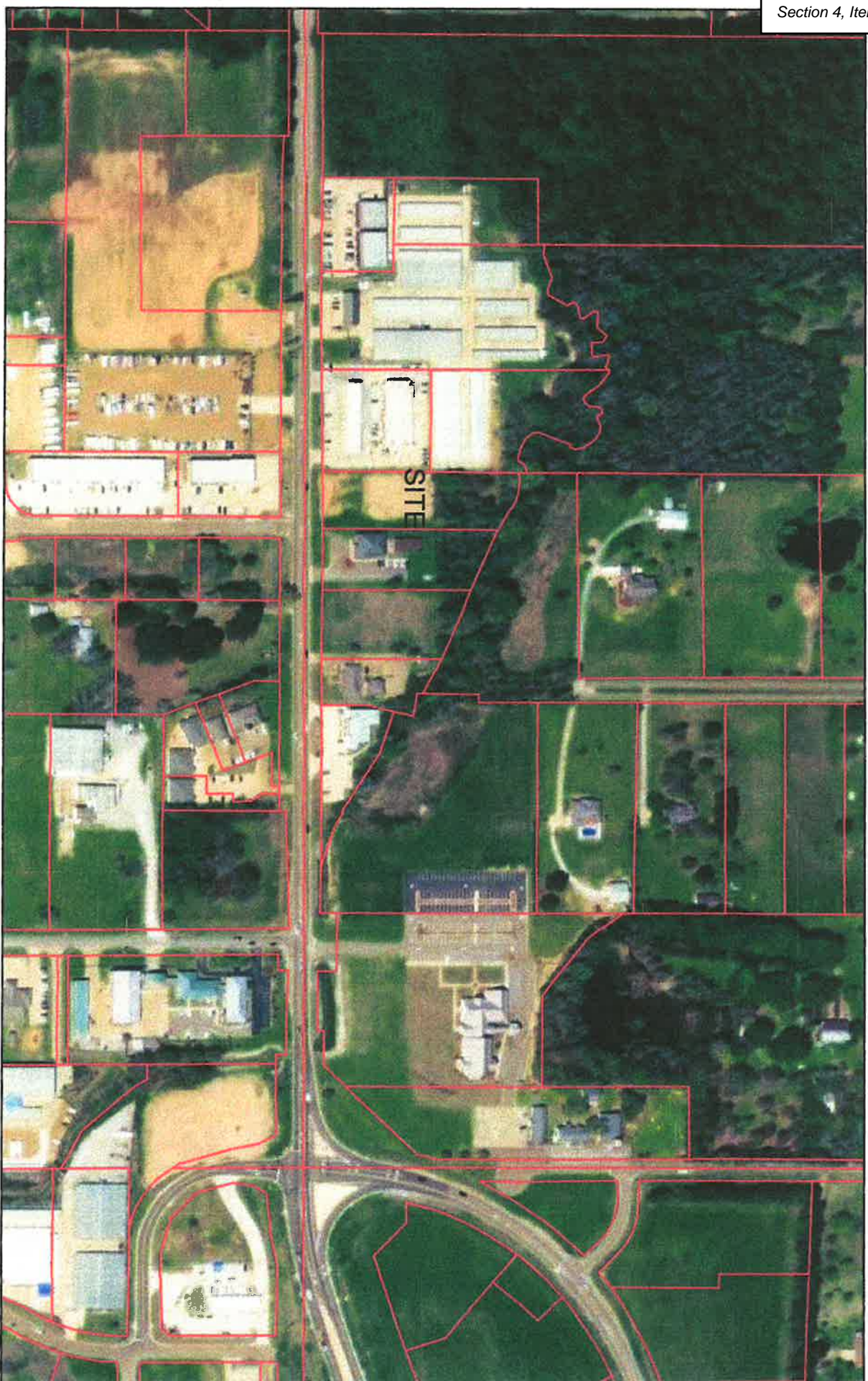
[Signature]
Applicant Signature

12-27-24
Date

[Signature]
Property Owner Signature

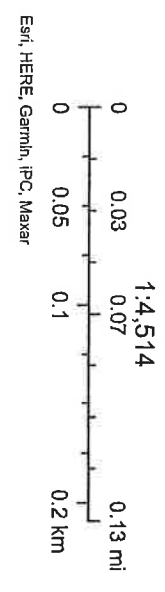
12-27-24
Date

Edit Title Here



12/12/2024, 4:13:41 PM

Parcels



Re: Gluckstadt Road Liquor Store Building

From: dlucas@lucaseng.com (dlucas@lucaseng.com)

To: wooldridgearchitecture@yahoo.com

Date: Monday, December 30, 2024 at 11:33 AM CST

Please see replies to the comments in red and attached revised plans and calculations.

The following are comments from the Engineers:

1) Please provide detailed hydraulic/hydrologic calculations. The provided table does not show time of concentration, intensity reference, etc.

Information is provided in stormwater calculations PDF. PDF was modified to include requested information.

2) Detention is to be provided by the 48" storm drain system. Please provide calculations showing that the 48" pipes will provide sufficient volume to detain the additional runoff created by the development.

Information is provided in stormwater calculations PDF.

3) Clarification: Does flow through 6" orifice on modified SS-3 flow into the 15" outflow pipe?

Yes. Detail was revised to clarify intent.

4) Clarification: Is 24" extension with opening on SS-3 to prevent surcharge for drainage/detention system in case 6" orifice becomes clogged?

No. 24" is just a separation between 6" detaining orifice and 15" outlet pipe. Surcharge flow in case of clogging would be over orifice wall. Detail was revised to clarify intent.

5) Clarification: All inlets appear to be SS-3 or SS-3 modified. Why is the IG-1 grate MDOT standard detail for a median inlet provided? The SS-3 standard contains the dimensions for the grate of an SS-3. Is this for the SS-3 extension opening? If so, please show on detail.

IG-2 standard detail should have been used instead of IG-1 and is now a part of the plans. See note 3 on SS-3 detail.

6) Development does not appear to impact the pending floodway, but designer might consider showing pending floodway line (effective January 17, 2025) on plans for informational purposes. Pending floodway can be found at FEMA Map Service Center website.

Pending floodway line has been considered as a result of this comment. It appears that the new map will only help our design by slightly moving the floodway line north. The map was not available to print to scale to import into cad. We will wait for the full release of the map and reduce the north end of the retaining wall, if possible, before construction.

Don Lucas, P.E.
Principal



763 Clara Foote Road
 Braxton, MS 39044
 Tel. (601)720-3845

From: Daniel Wooldridge <wooldridgearchitecture@yahoo.com>
Sent: Friday, December 27, 2024 10:39 AM
To: Don Lucas <ducas@lucaseng.com>
Subject: Fw: Gluckstadt Road Liquor Store Building

The City has reviewed our drawings and there are some notes below. Can you help us answer their reviews?
 Thank you
 Daniel

----- Forwarded Message -----

From: William Hall <william.hall@gluckstadt.net>
To: Daniel Wooldridge <wooldridgearchitecture@yahoo.com>; Chris Buckner <chris.buckner@gluckstadt.net>
Cc: Bridgette Smith <bridgette.smith@gluckstadt.net>; Amber Trotter <amber.trotter@gluckstadt.net>
Sent: Thursday, December 19, 2024 at 04:56:18 PM CST
Subject: Gluckstadt Road Liquor Store Building

Good morning,

There are a few things we need to get in motion for the proposed Liquor Store Building on Gluckstadt Road.

1. For clarity, the existing store owned by the Bedi family, Germantown Wine and Spirits at 101 Lexington Drive, will be closed so the new proposed location can reopen as the same existing business just with a new location.
2. This property is currently zoned C-1. It must be rezoned to C-2 and have an approved Conditional Use for a liquor store. We can run all three concurrently on the same meeting. Rezone first, Conditional Use second, Site Plan third. There are some requirements of mail outs to surrounding property owners and such that will need to be done to complete the rezone application. We will provide a list of all things needed with the application.
3. There are insufficient parking spaces as designed. 50 are needed and only 45 provided. Please note there is a current project underway to widen Gluckstadt Rd. It is currently in the design phase and it is not known at this time if it will impact the space available at the street frontage side of the lot for parking. Please coordinate with the Public Works Department for information regarding that project.
4. Per the Landscape Ordinance; Trees shall be required at the minimum rate of one (1) natural shade tree for every ten parking spaces. The parking rows shall begin and terminate with a landscape island and no more than fifteen (15) parking spaces shall be permitted in a continuous row without being interrupted by a landscape island. Landscape islands shall be a minimum 200 sq. ft.
5. Color elevation renderings are required.

The following are comments from the Engineers:

- 1) Please provide detailed hydraulic/hydrologic calculations. The provided table does not show time of concentration, intensity reference, etc.
- 2) Detention is to be provided by the 48" storm drain system. Please provide calculations showing that the 48" pipes will provide sufficient volume to detain the additional runoff created by the development.
- 3) Clarification: Does flow through 6" orifice on modified SS-3 flow into the 15" outflow pipe?
- 4) Clarification: Is 24" extension with opening on SS-3 to prevent surcharge for drainage/detention system in case 6" orifice becomes clogged?
- 5) Clarification: All inlets appear to be SS-3 or SS-3 modified. Why is the IG-1 grate MDOT standard detail for a median inlet provided? The SS-3 standard contains the dimensions for the grate of an SS-3. Is this for the SS-3 extension

Section 4, Item A)

opening? If so, please show on detail.



6) Development does not appear to impact the pending floodway, but designer might consider showing pending floodway line (effective January 17, 2025) on plans for informational purposes. Pending floodway can be found at FEMA Map Service Center website.

Please make any revisions necessary and submit three new hard copies (minimum 24x36 sizing) and digital copies for review.

Thank you,



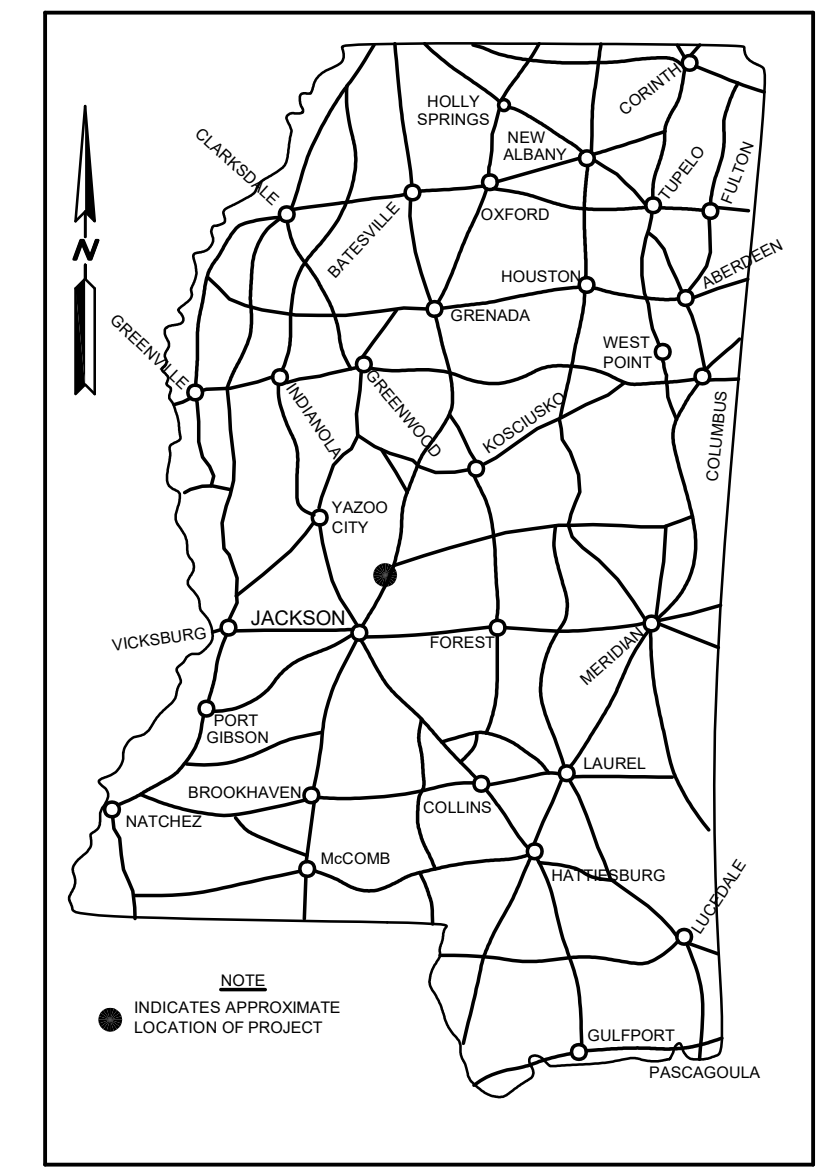
William R. Hall
Planning and Zoning Administrator
Office: (769) 567-2314
Fax: (769) 567-2305

-  Gluckstadt Retail Stormwater Calcs 12-17-24.pdf
698.4kB
-  GLUCKSTADT RETAIL 12-16-24.pdf
2.7MB

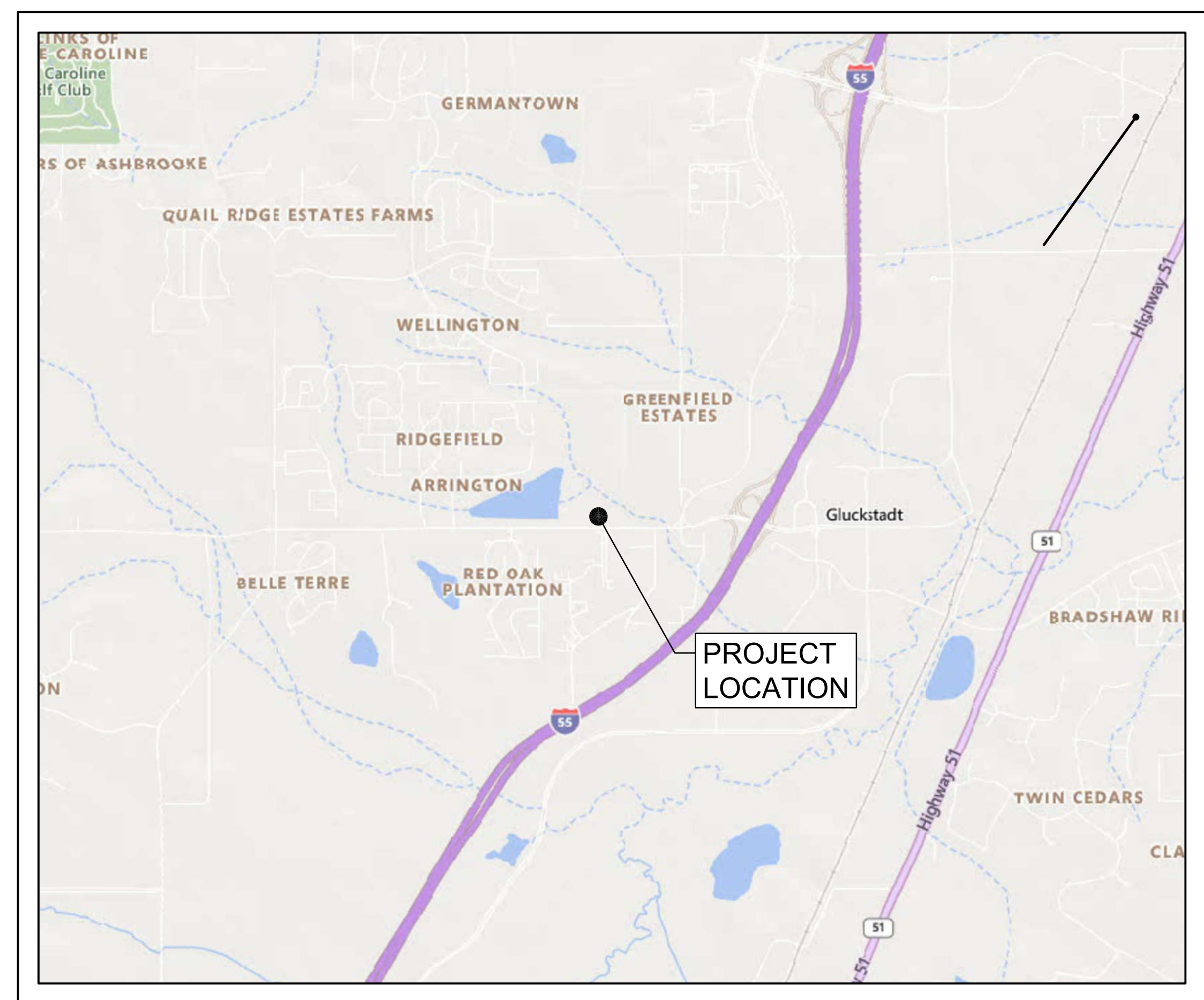
Civil Construction Plans for Gluckstadt Retail Center

City of Gluckstadt, Mississippi
Madison County, Mississippi
December 17, 2024

LEGEND	
•	Property Corner
- 277 -	Existing Ground Contour Line
- 277 -	Finished Ground Contour Line
✕	BOC 429.35 Finished Grade Spot Elevation
BLDG	Building
BM	Bench Mark
BOC	Back of Curb
CONC	Proposed Edge of Concrete
CPP	Corrugated Plastic Pipe
EP	Edge of Pavement
EX	Existing
FFE	Finished Floor Elevation
FOC	Fiber Optic Cable
FG	Proposed Finished Grade
FL	Flow Line
G	Gas Line
INV	Invert
IPF	Iron Pin Found
IPS	Iron Pin Set
LF	Linear Feet
E	East
MNS	Magnetic Nail Set
N	North
NE	North East
NW	North West
P	Overhead Power
PVC	Polyvinyl Chloride
PN	Point Number
○	Power Pole
RCP	Reinforced Concrete Pipe
REQ'D	Required
R2.00'	Radius
R.O.W.	Right of Way
SSMH	Sanitary Sewer Manhole
S	South
SE	South East
SF	Silt Fence
SF	Square Foot
- SS -	Sanitary Sewer Existing
- S -	Sanitary Sewer Service Proposed
SW	South West
SY	Square Yards
TP	Turning Point
TPED	Telephone Pedestal
TIE	Tie to Existing Grade
TYP	Typical
- - W - -	Water Line Existing
- W -	Water Line Service Proposed
W	West

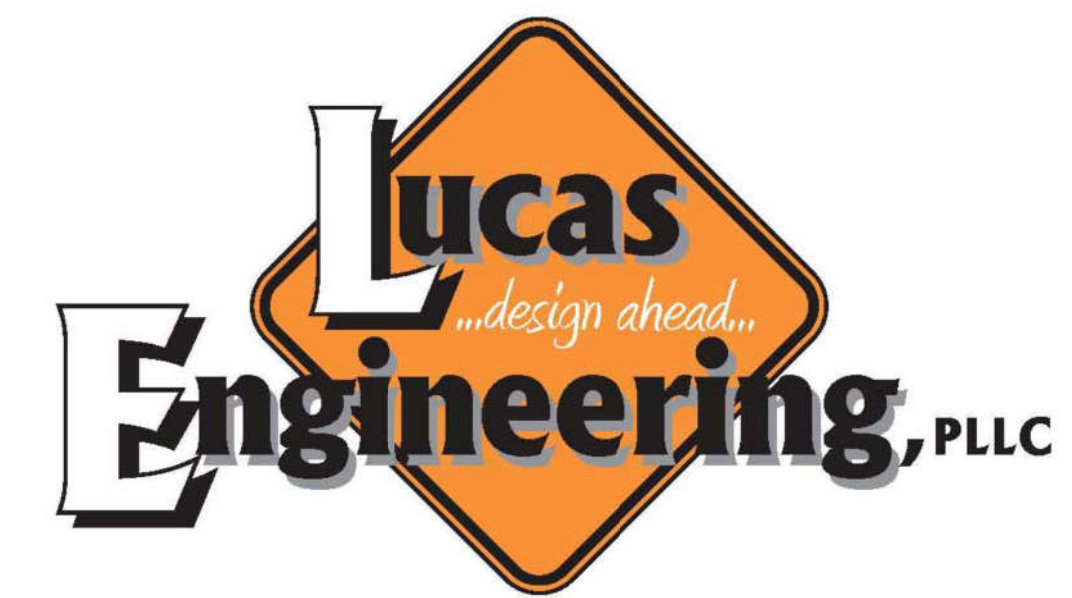


LOCATION MAP

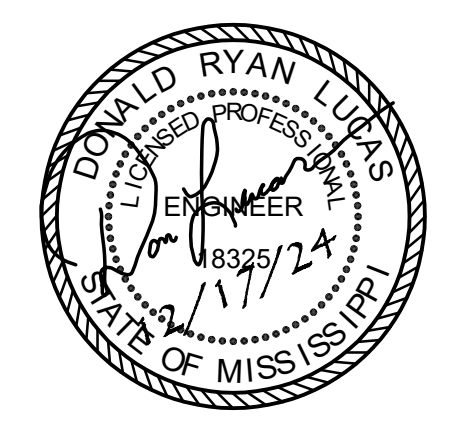


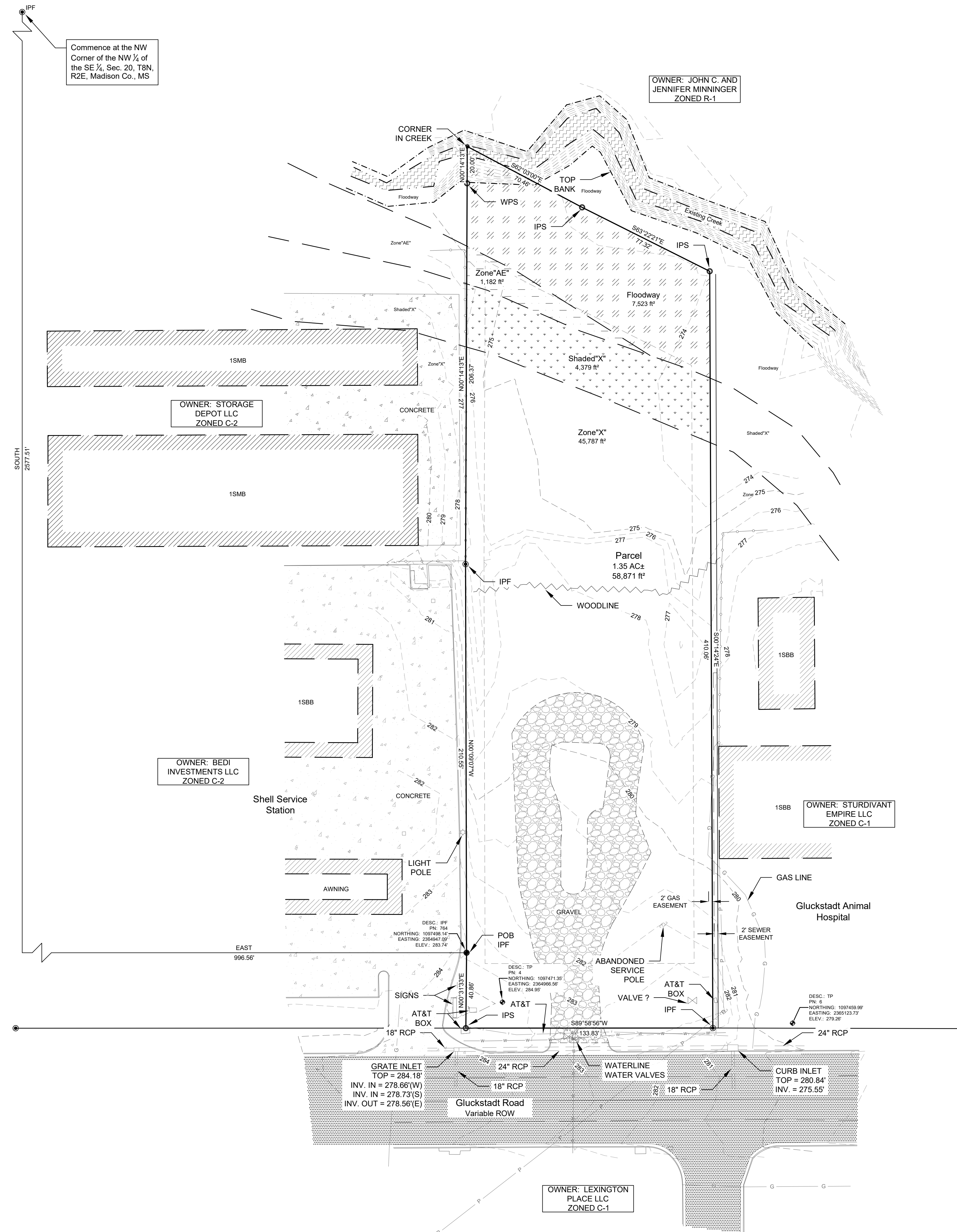
VICINITY MAP

DRAWING INDEX	
Sheet No.	Description
C-1	Cover Sheet
C-2	Topographic Survey
C-3	Site Plan
C-4	Grading and Drainage Plan
C-5	Storm Water Pollution Prevention Plan
C-6	Water and Sewer Plan
MDOT Standard Details IG-1 and SS-3	



763 CLARA FOOTE ROAD
BRAXTON, MS 39044
(601)720-3845
DLUCAS@LUCASENG.COM





Commence at the NW Corner of the NW 1/4 of the SE 1/4, Sec. 20, T8N, R2E, Madison Co., MS

OWNER: JOHN C. AND JENNIFER MINNINGER ZONED R-1

OWNER: STORAGE DEPOT LLC ZONED C-2

OWNER: BEDI INVESTMENTS LLC ZONED C-2

OWNER: STURDIVANT EMPIRE LLC ZONED C-1

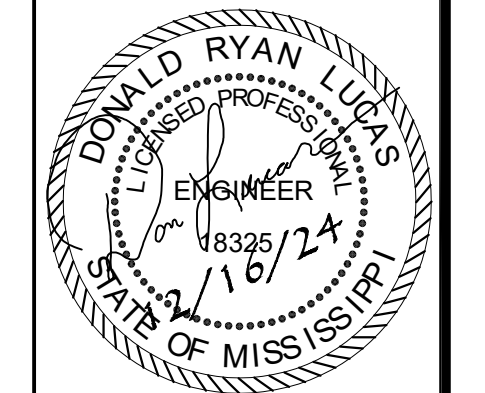
OWNER: LEXINGTON PLACE LLC ZONED C-1

Legend	
○	Monument Set
●	Monument Found
○	No Monument Set
IPF	Iron Pin Found
WPS	Witness Pin Set
TP	Found Metal T-Post
POB	Point of Beginning
ROW	Right of Way
APR	As Per Record
APS	As Per Survey
1SMB	1 Story Metal Building
1SBB	1 Story Brick Building
○	Power Pole
—P—	Overhead Electric Line
—○—	Chain Link Fence



- NOTES:
- EXISTING SEWER COULD NOT BE LOCATED AT TIME OF SURVEY. ACCORDING TO BEAR CREEK WATER ASSOCIATION GRAVITY SEWER IS LOCATED ALONG THE SOUTH SIDE OF GLUCKSTADT ROAD.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", SHADED "X" AND "AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER 28089C0415F, WITH AN EFFECTIVE DATE OF MARCH 17, 2010, FOR COMMUNITY NUMBER 280228 IN MADISON COUNTY, STATE OF MISSISSIPPI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PREMISES IS SITUATED.

CAD FILE: C:\M\Design.dwg
PROJECT NO.: Cluckstadt
SCALE: 1" = 30'
DESIGNED BY: DRL
DRAWN BY: DRL
CHECKED BY: DRL



763 CLARA FOOTER ROAD
BRAXTON, MS 39044
(601) 720-3845
dlucas@lucaseng.com

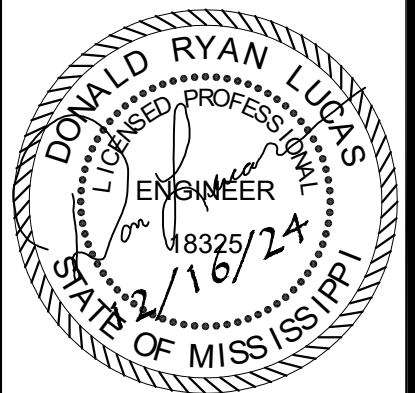


PREPARED FOR:
BEDI INVESTMENTS, LLC
457 BOZEMAN ROAD
MADISON, MS 39110

TOPOGRAPHIC SURVEY
SW 1/4 OF THE SE 1/4 OF SECTION 20, T 8 N, R 2 E
MADISON COUNTY, MISSISSIPPI

SHEET NO.
C-1

CAD FILE: C:\DWG\Design.dwg
PROJECT NO.: Gluckstadt
SCALE: 1" = 20'
DESIGNED BY: DRL
DRAWN BY: DRL
CHECKED BY: DRL



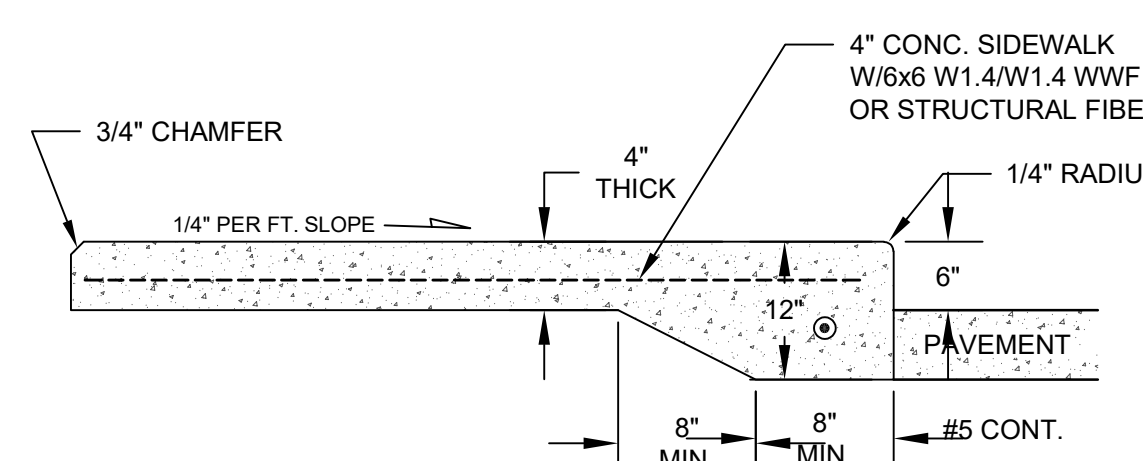
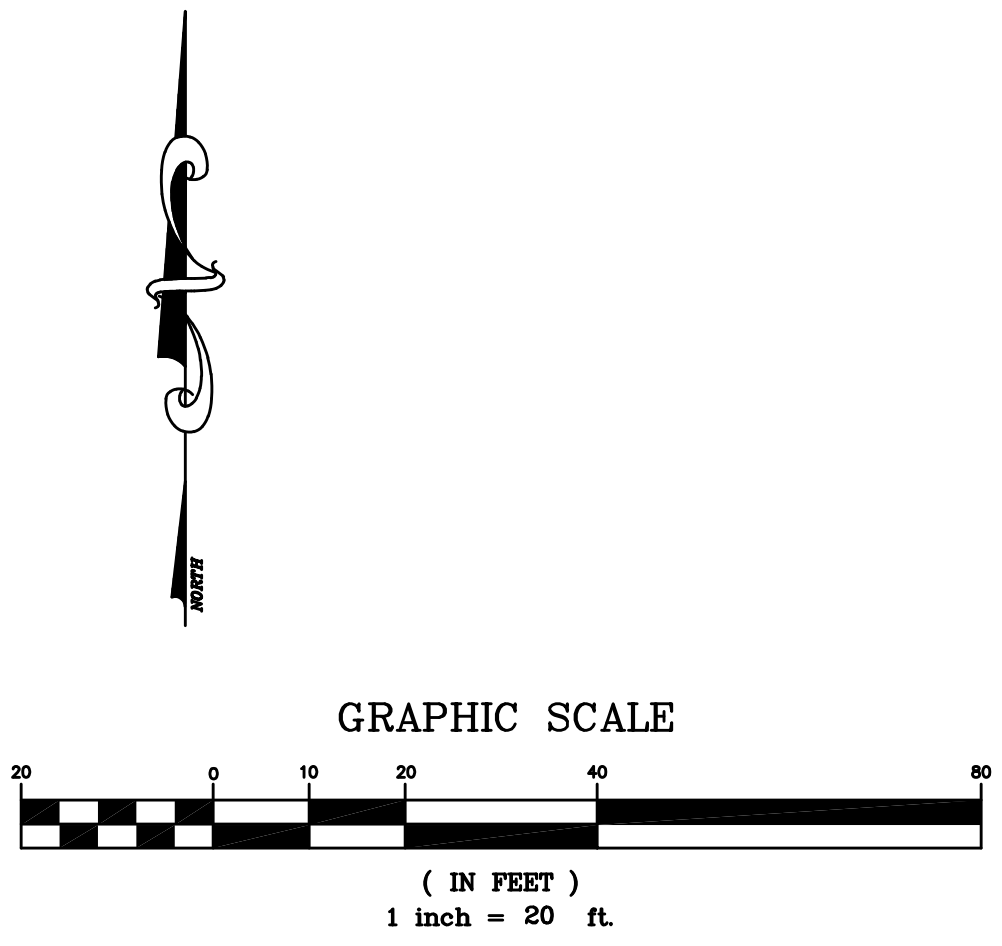
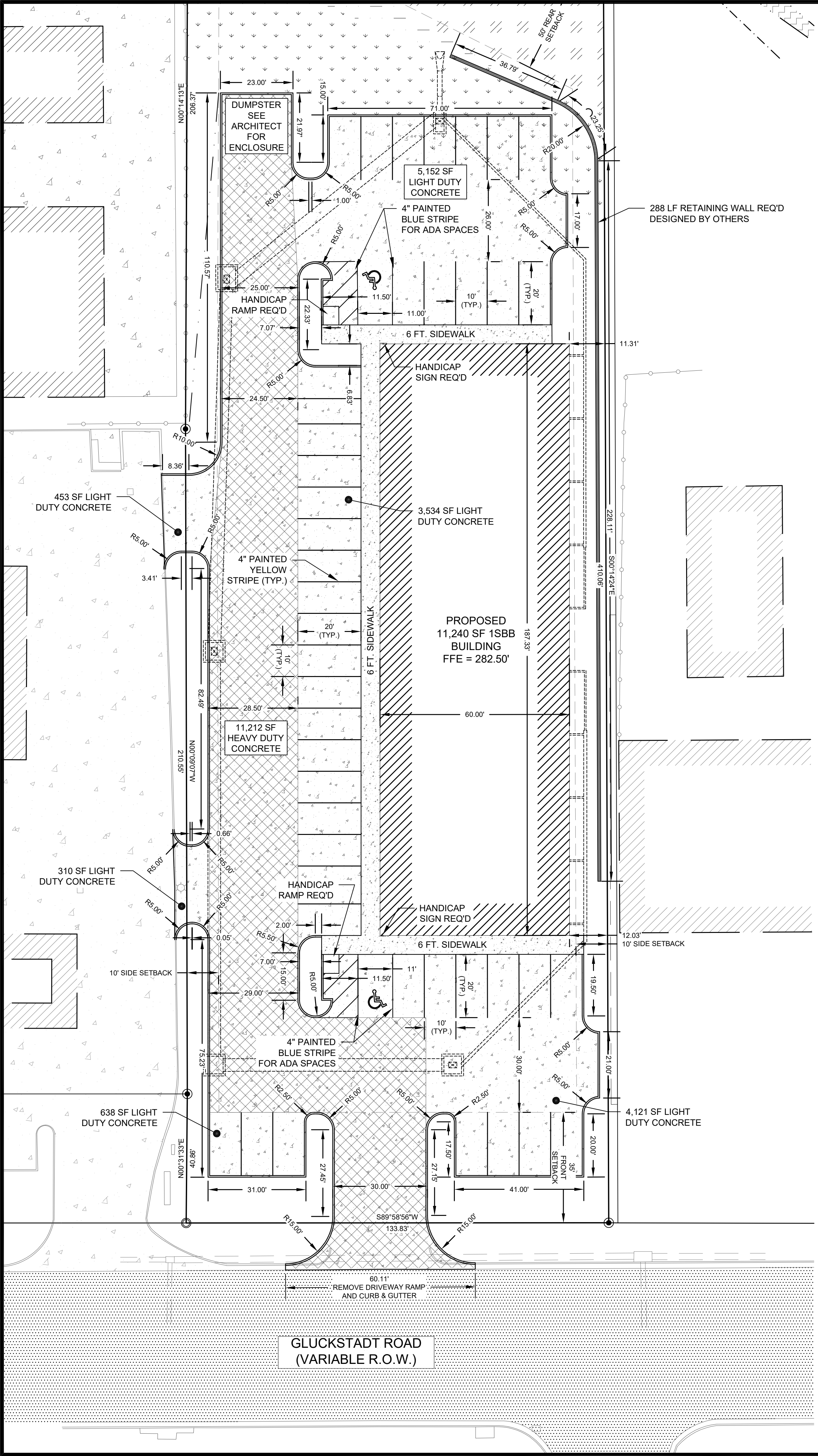
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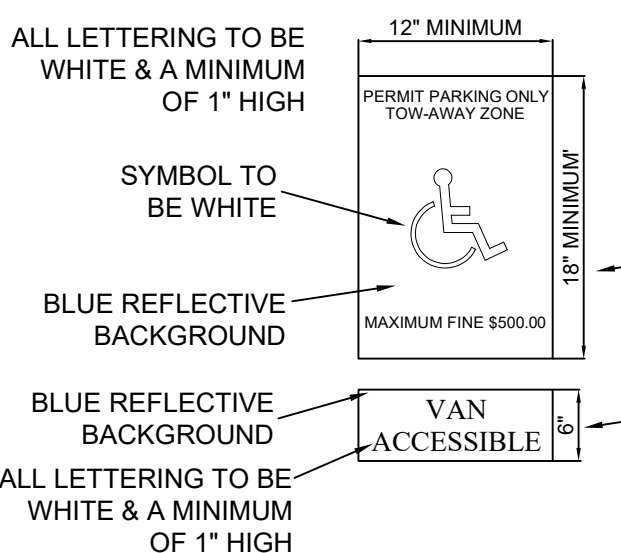
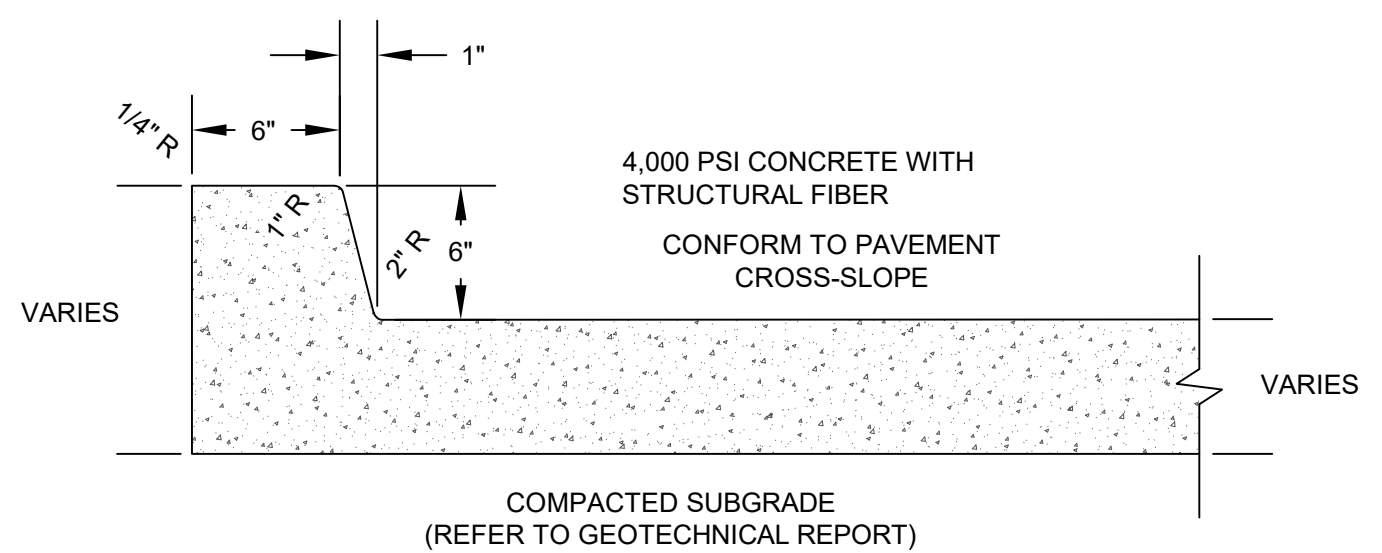
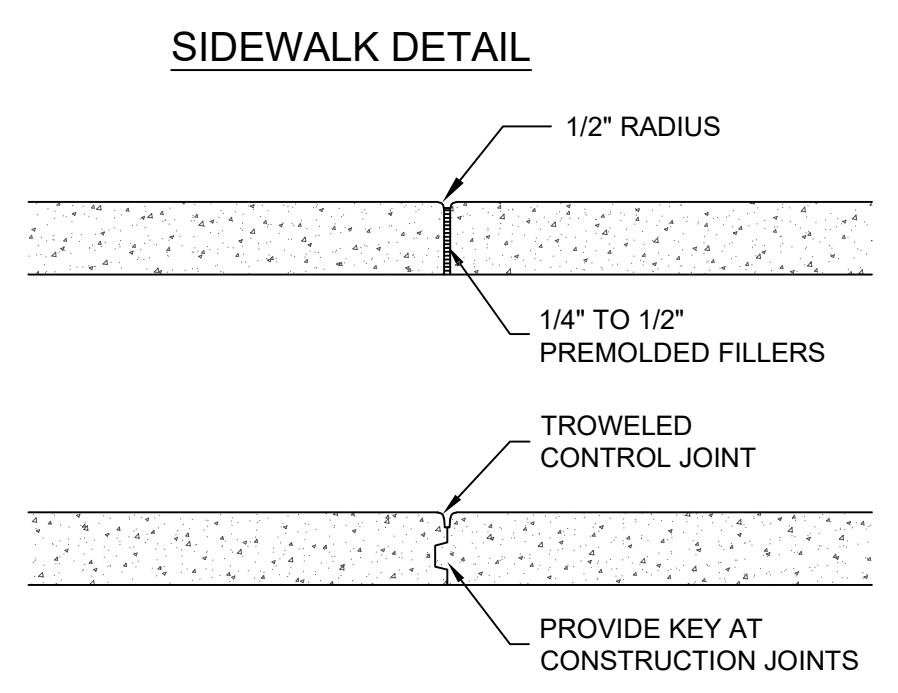
PREPARED FOR:
BEDI INVESTMENTS, LLC
457 BOZEMAN ROAD
MADISON, MS 39110

SITE PLAN
GLUCKSTADT RETAIL CENTER
GLUCKSTADT, MISSISSIPPI

SHEET NO.
C-3

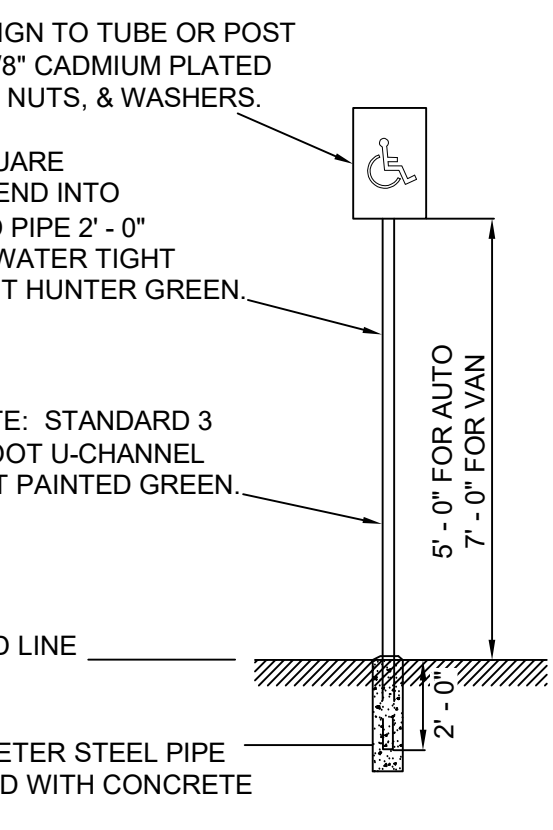


- NOTES:
1. PROVIDE CONTRACTION JOINTS AT 5'-0\"/>



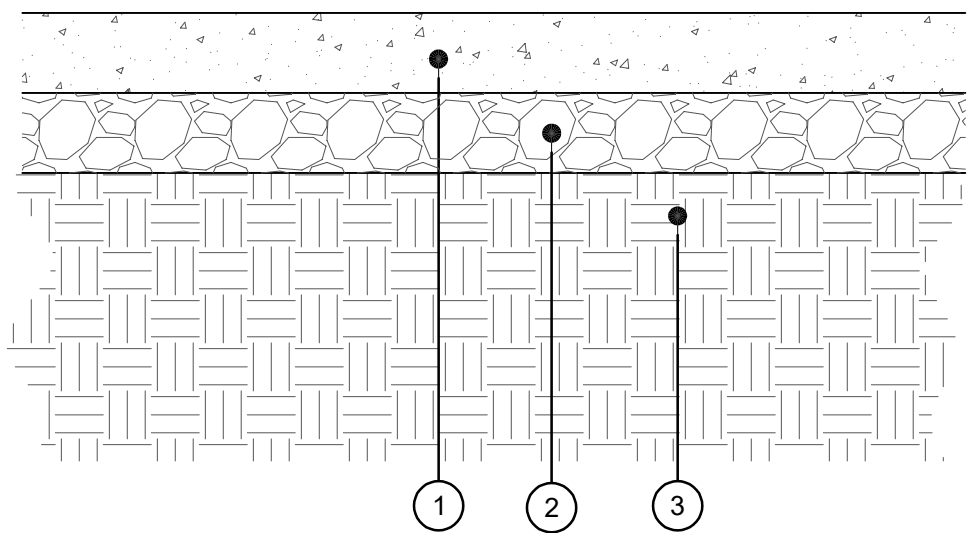
1. ALL SIGNS TO BE 0.080\"/>

HANDICAPPED PARKING SIGN



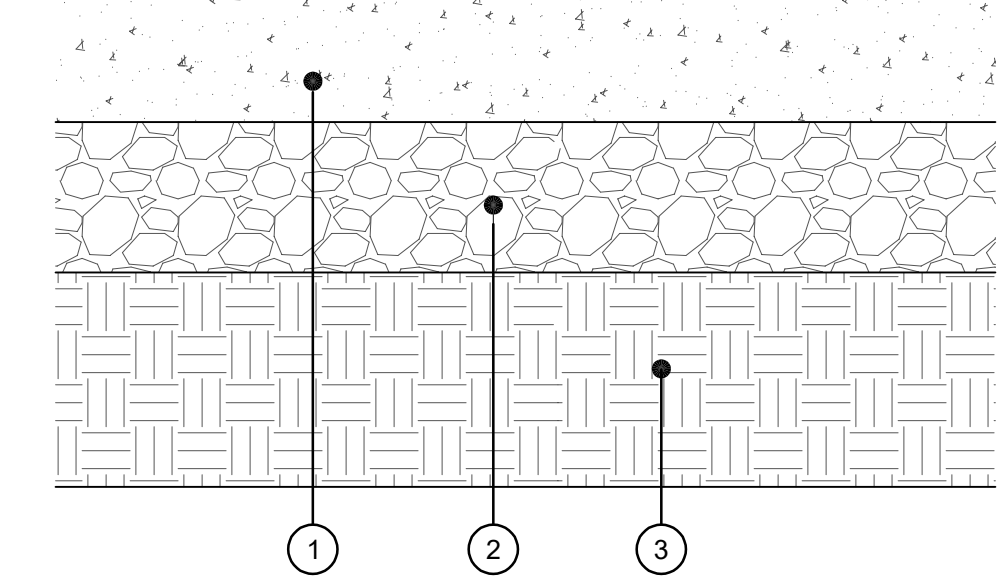
HANDICAP SIGN DETAILS

- NOTES:
1. APPLICABLE SPECIFICATIONS FOR FLEXIBLE PAVEMENT IS THE MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2017 EDITION).
2. ALL PAVEMENT SHOULD HAVE A 3 FT. BUFFER FREE OF EXPANSIVE CLAY (CH) SOILS. AREAS OF UNDERCUT TO BE DETERMINED IN FIELD BY ENGINEER.
3. CONTRACTOR TO ADHERE TO ALL RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION.



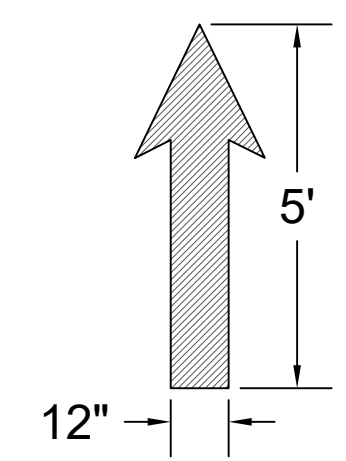
- ① 5\"/>

LIGHT DUTY CONCRETE

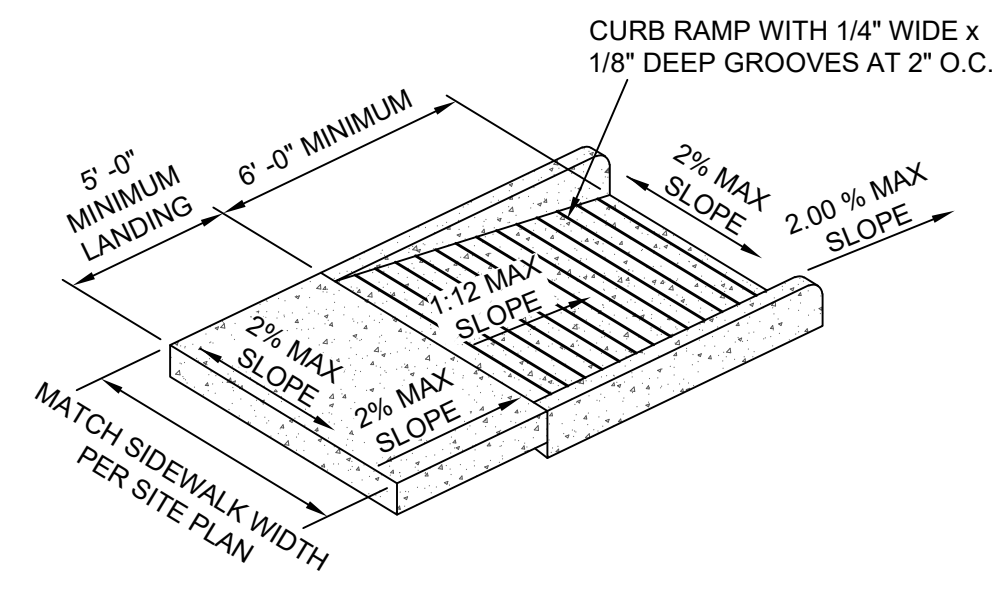


- ① 7\"/>

HEAVY DUTY CONCRETE PAVEMENT

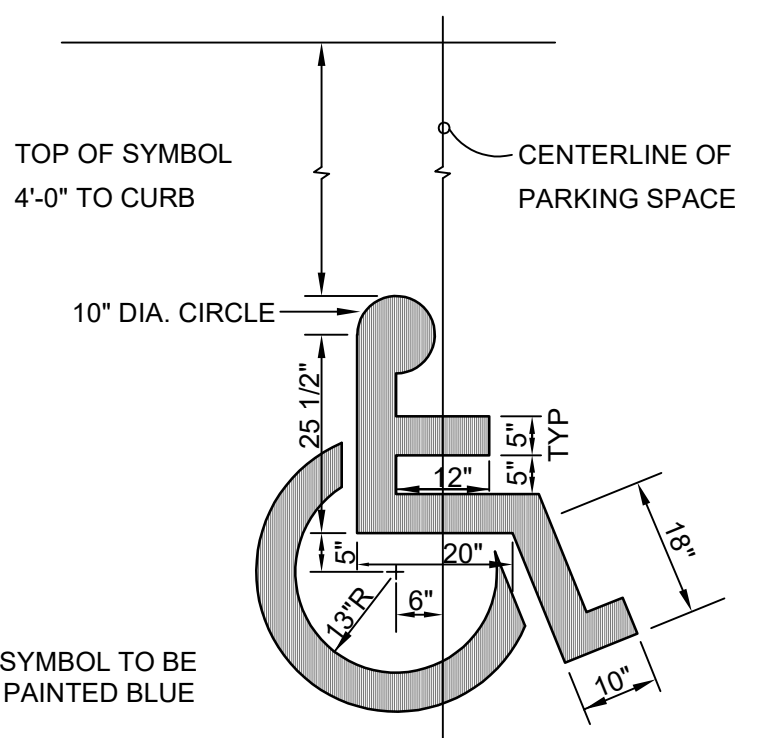


TRAFFIC ARROW DETAIL

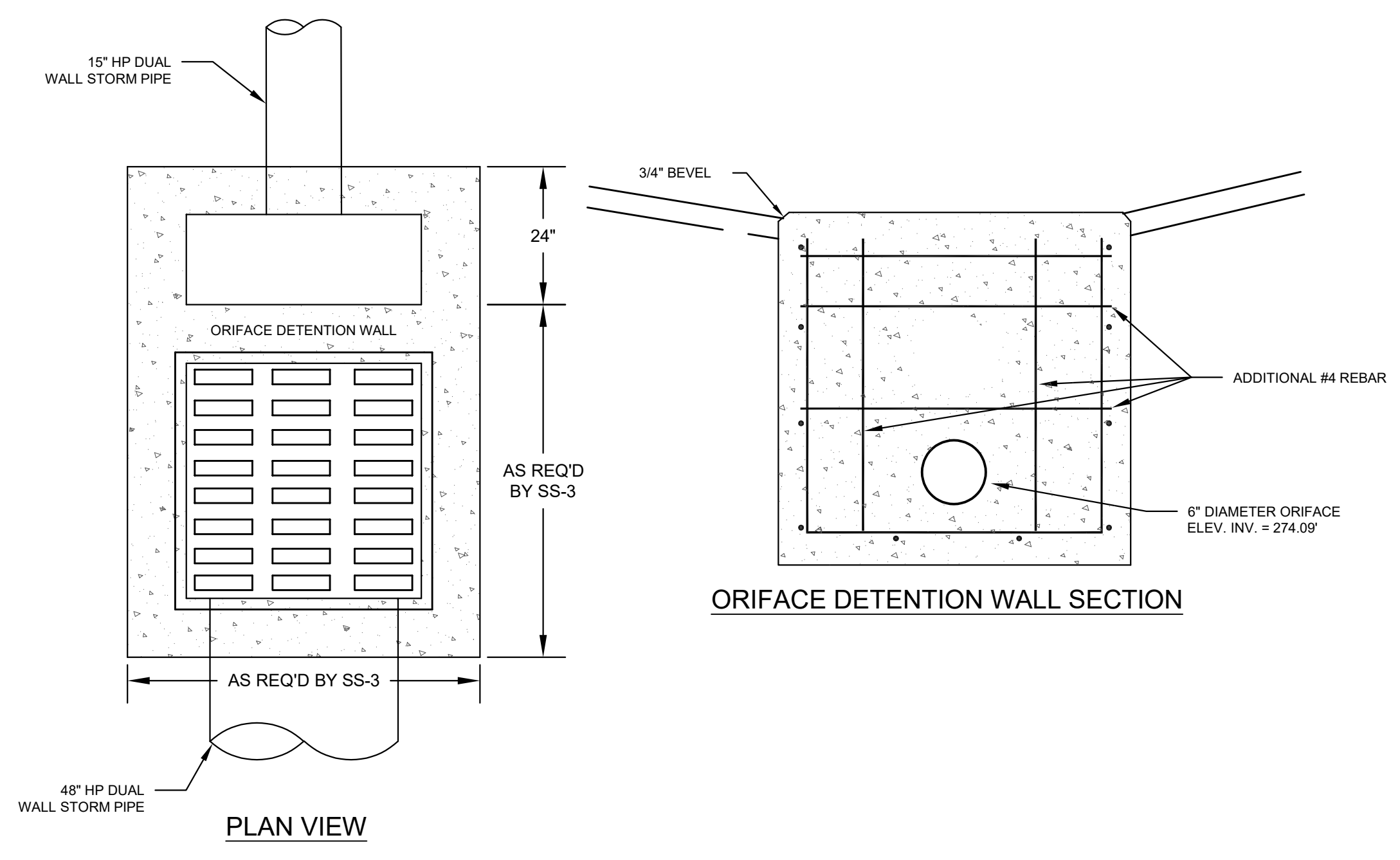
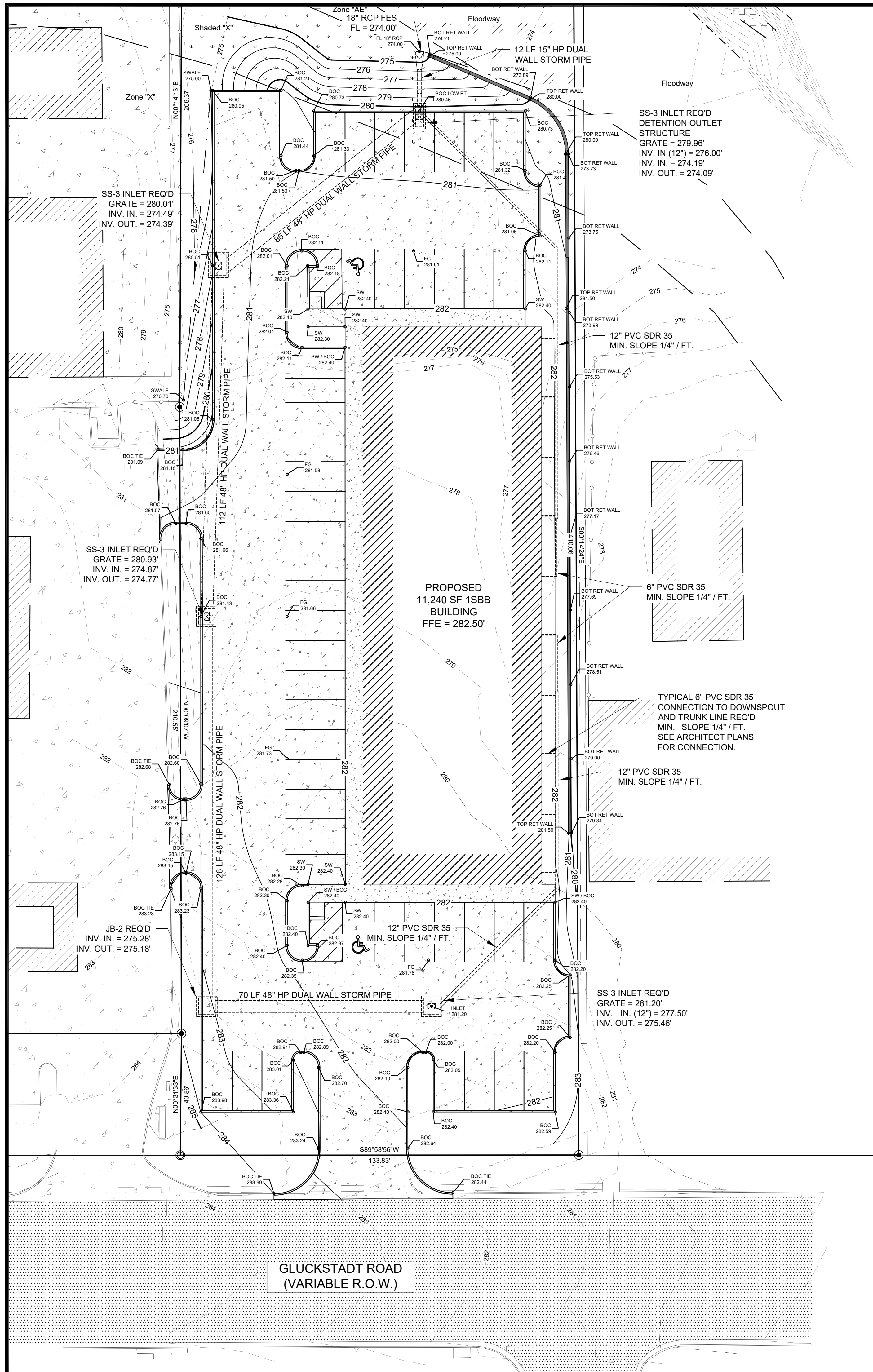


HANDICAP RAMP DETAIL

- SITE PLAN NOTES:
1. ALL LINEAR DIMENSIONS NEAR CURB ARE REFERENCED TO THE BACK OF CURB. ALL RADIUS DIMENSIONS ARE REFERENCED TO THE BACK OF CURB.
2. SOLID SOD SHALL BE ESTABLISHED IN ALL AREAS BEHIND THE CURB OR OUTSIDE OF PAVEMENT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND PROCEDURES REQUIRED WHEN WORKING WITHIN HIGHWAY AND STREET RIGHTS-OF-WAYS.
4. TOTAL NUMBER OF PARKING SPACES PROVIDED: 44
- NUMBER OF REGULAR PARKING SPACES: 42
- NUMBER OF HANDICAP PARKING SPACES: 2
5. PROPERTY IS ZONED C-1 GENERAL COMMERCIAL DISTRICT.
6. TOTAL AREA OF PROPERTY: 1.35 ACRES; TOTAL DISTURBED AREA: 1.13 ACRES.
7. PROPERTY HAS 134 LINEAR FEET OF ROADWAY FRONTAGE ALONG GLUCKSTADT ROAD.
8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", SHADED "X" AND "AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER 28089C0415F, WITH AN EFFECTIVE DATE OF MARCH 17, 2010, FOR COMMUNITY NUMBER 280228 IN MADISON COUNTY, STATE OF MISSISSIPPI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PREMISES IS SITUATED.

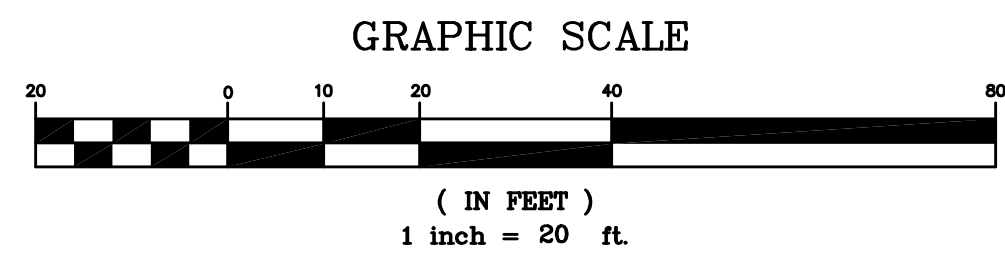


HANDICAPPED SYMBOL



DETENTION OUTLET STRUCTURE
(MODIFIED SS-3 STRUCTURE)

- GRADING AND DRAINAGE NOTES:**
1. SITE GRADING MAY BE FIELD ADJUSTED TO FACILITATE DRAINAGE.
 2. SPOT ELEVATIONS SHOWN ADJACENT TO CURB AND SIDEWALK ARE REFERENCED TO THE BACK OF CURB. THESE REPRESENT ELEVATIONS AT THE COMPLETION OF PAVING, GRADING, AND REPLACEMENT OF TOPSOIL.
 3. THE LOCATION OF EXISTING UTILITIES AND STRUCTURES INDICATED IS APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE SITE. CONTRACTOR SHALL VERIFY THE EXISTING FACILITIES ON THE PROJECT SITE, WHETHER INDICATED OR NOT, BY NOTIFYING THE MISSISSIPPI ONE-CALL NETWORK (811) AND OTHER UTILITY COMPANIES PRIOR TO EXCAVATING. CONTRACTOR SHALL PROMPTLY REPAIR THOSE THAT ARE DAMAGED BY HIS CONSTRUCTION OPERATIONS.
 4. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST IN ADDITION TO THOSE SHOWN. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 5. CONTRACTOR SHALL NOT EXCAVATE ABOVE OR NEAR UNDERGROUND UTILITIES WITHOUT THE KNOWLEDGE AND ASSURANCE THAT THESE ACTIVITIES WILL NOT ADVERSELY AFFECT THE RESPECTIVE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CHANGES REQUIRED IN GRADING TO ACCOMMODATE EXISTING UTILITIES AND SHALL BEAR FULL RESPONSIBILITY FOR MAINTAINING ADEQUATE COVER AS DIRECTED BY EACH UTILITY COMPANY.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND PROCEDURES REQUIRED WHEN WORKING WITHIN HIGHWAY AND STREET RIGHTS-OF-WAY.
 7. CONTRACTOR SHALL GRUB EXISTING SITE AND STRIP EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 9 INCHES.
 8. ALL FILL MATERIAL UNDER PAVEMENT AREAS SHALL BE PLACED IN UNIFORM LOOSE LIFTS NOT TO EXCEED 9 INCHES.
 9. TOPSOIL, ROOTS AND OTHER DEBRIS SHALL BE REMOVED PRIOR TO COMMENCING EARTHWORK OPERATIONS. ALL TOPSOIL WITHIN THE CONSTRUCTION LIMITS SHALL BE STRIPPED, STOCKPILED, AND REPLACED ON SLOPES AND OTHER NON-PAVED AREAS ON THE PROJECT SITE. UPON COMPLETION OF GRADING, THE CONTRACTOR SHALL PLACE A SUFFICIENT QUANTITY OF TOPSOIL (MINIMUM 4") TO INSURE GRASS GROWTH ON THE DESIGNATED AREA.
 10. ADDITIONAL SITE PREPARATION MAY BE REQUIRED ON BUILDING PAD AND PARKING AREAS THAT ARE NOT SHOWN ON THIS DRAWING. REFER TO GEOTECHNICAL REPORT, SPECIFICATIONS, AND OTHER DRAWINGS FOR ADDITIONAL SITE PREPARATIONS.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING A CERTIFIED CONSTRUCTION TESTING LABORATORY TO VERIFY MATERIALS AND COMPACTION. COPIES OF THE TEST REPORTS SHALL BE FURNISHED TO THE ARCHITECT AND/OR ENGINEER.
 12. THIS DRAWING DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY. CONTOURS SHOWN ARE GENERATED FROM A TOPOGRAPHICAL SURVEY BY LUCAS ENGINEERING, PLLC.
 13. SOLID SOIL SHALL BE ESTABLISHED IN ALL AREAS BEHIND THE CURB.
 14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE CURRENT NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 15. THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. ALL SILTS ESCAPING BEYOND THE PROPERTY LINE RESULTING FROM THE CONSTRUCTION ACTIVITY SHALL BE RECLAIMED AND UTILIZED ON-SITE OR HAULED OFF FOR DISPOSAL.
 16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING ALIGNMENT AND GRADES IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
 17. CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING MANHOLES, FLUMES, PIPES, PONDS, ETC., PRIOR TO COMPLETION OF THE PROJECT.
 18. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENT, EROSION, OR POLLUTANTS CAUSED BY THIS WORK.
 19. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LOCAL, STATE, AND FEDERAL STORM WATER REGULATIONS.
 20. CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO ENSURE THAT POSITIVE DRAINAGE OCCURS ON ALL AREAS OF PROJECT SITE DURING ALL STAGES OF CONSTRUCTION.
 21. AT THE EXPENSE OF THE CONTRACTOR, THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND CONSTRUCT TEMPORARY STRUCTURES, EMBANKMENTS, AND CULVERTS AS REQUIRED TO MAINTAIN THE EXISTING DRAINAGE SYSTEM AND CAPACITY IN THE WORK AREA. ANY AND ALL TEMPORARY STRUCTURES, EMBANKMENTS, AND CULVERTS CONSTRUCTED DURING THE PROGRESS OF WORK SHALL BE REMOVED IF NOT NECESSARY FOR FINAL DRAINAGE SYSTEM AND THE AREA RESTORED TO ITS ORIGINAL CONDITION.
 22. A.D.A. REQUIREMENTS:
 - FOR HANDICAP SPACES AND AISLES, FINISHED GRADE SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - LONGITUDINAL SLOPES ALONG SIDEWALKS SHALL NOT EXCEED 5%.
 - TRANSVERSE SLOPES ACROSS SIDEWALKS SHALL NOT EXCEED 2%.
 23. ALL LOCAL PERMITS SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN.
 24. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SPOIL MATERIAL ON A DAILY BASIS.



DRAINAGE SYSTEM IS OVERSIZED TO BE USED A DETENTION STORAGE.

STORMWATER RUNOFF DATA						
24 Hour Storm	2-Year	5-Year	10-Year	25-Year	50-Year	100-Year
Total Drainage Area Across Site	1.40 ac					
Pre Development Areas	0.19 ac semi-impervious (gravel)			1.21 ac pervious		
Pre Development Peak Runoff	1.45 cfs	1.74 cfs	1.98 cfs	2.32 cfs	2.58 cfs	2.84 cfs
Post Development Areas	0.89 ac impervious (building, parking, sidewalks)			0.51 ac pervious (grass)		
Post Development Peak Runoff	1.42 cfs	1.58 cfs	1.71 cfs	1.88 cfs	2.01 cfs	2.14 cfs

CAD FILE: C:\DWG\Design.dwg
 PROJECT NO.: Gluckstadt
 SCALE: 1" = 20'
 DESIGNED BY: DRL
 DRAWN BY: DRL
 CHECKED BY: DRL

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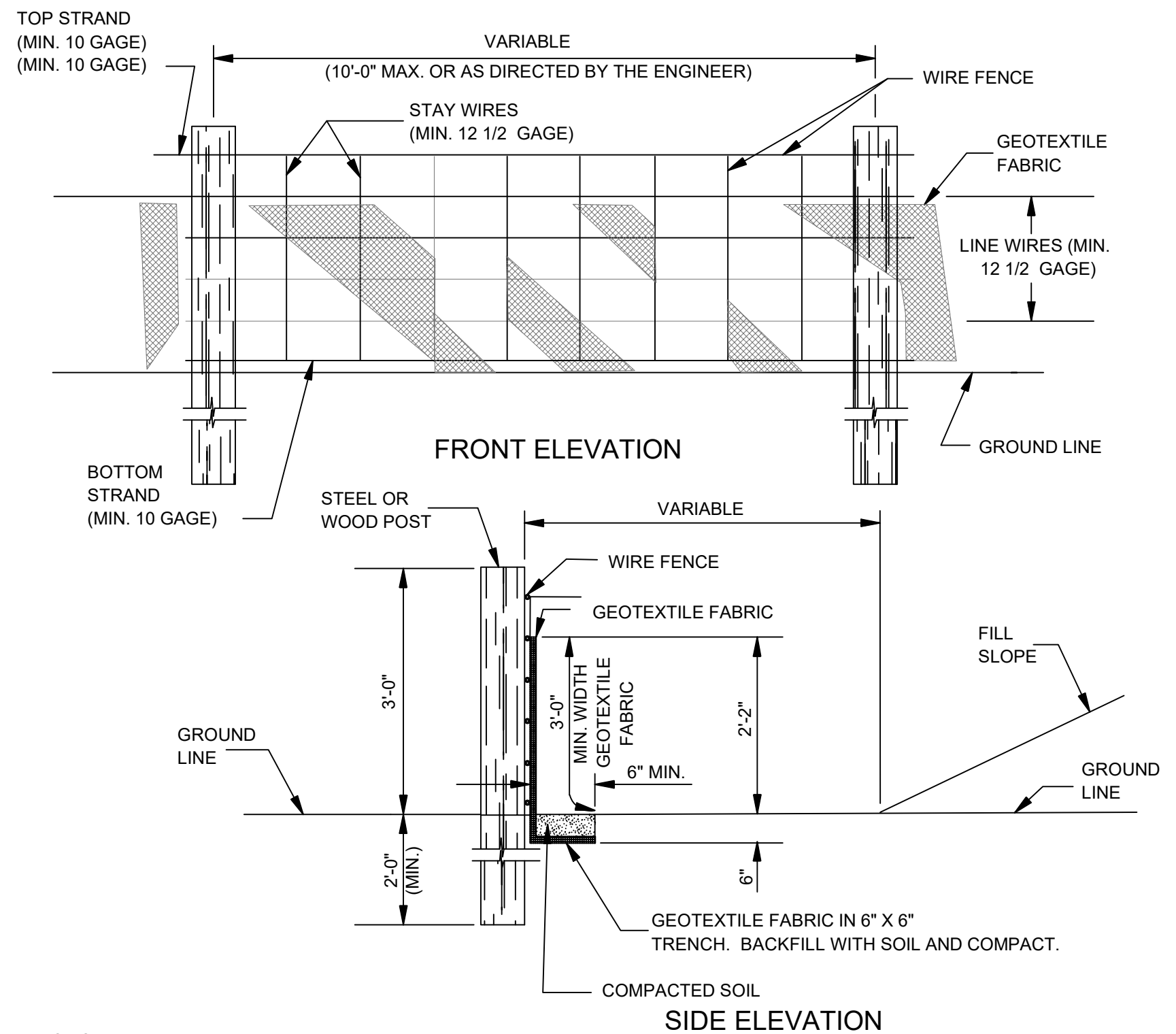
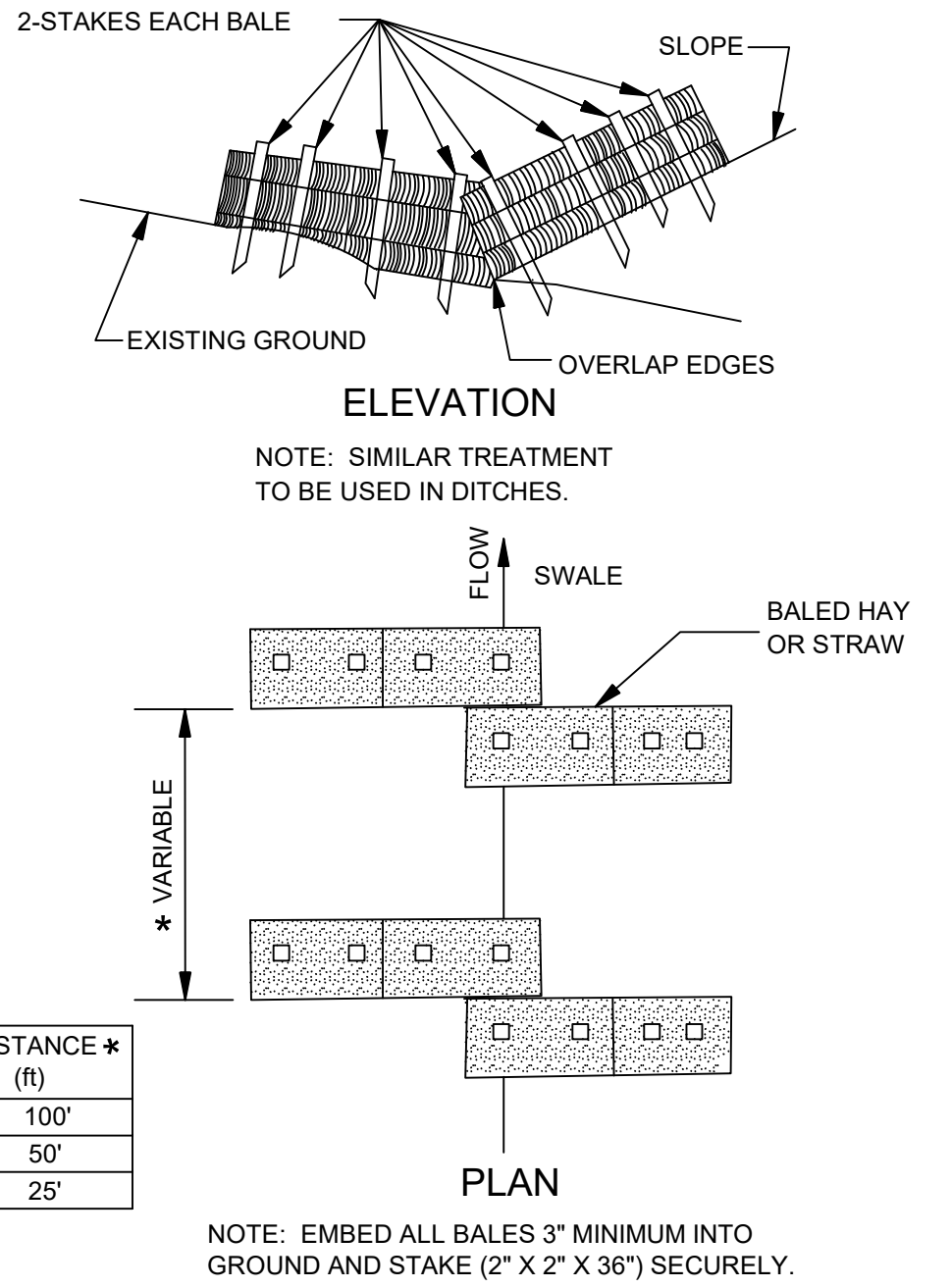
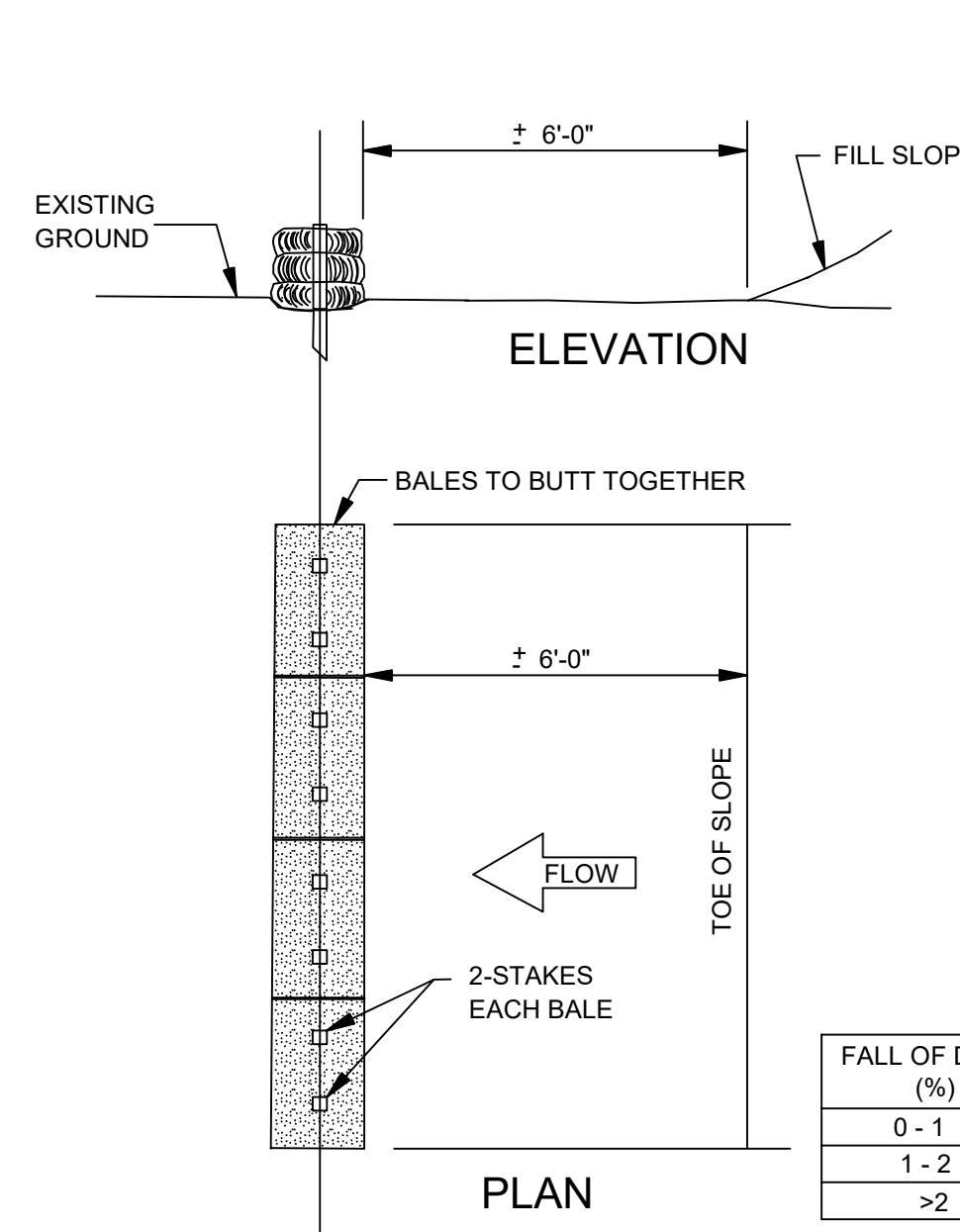
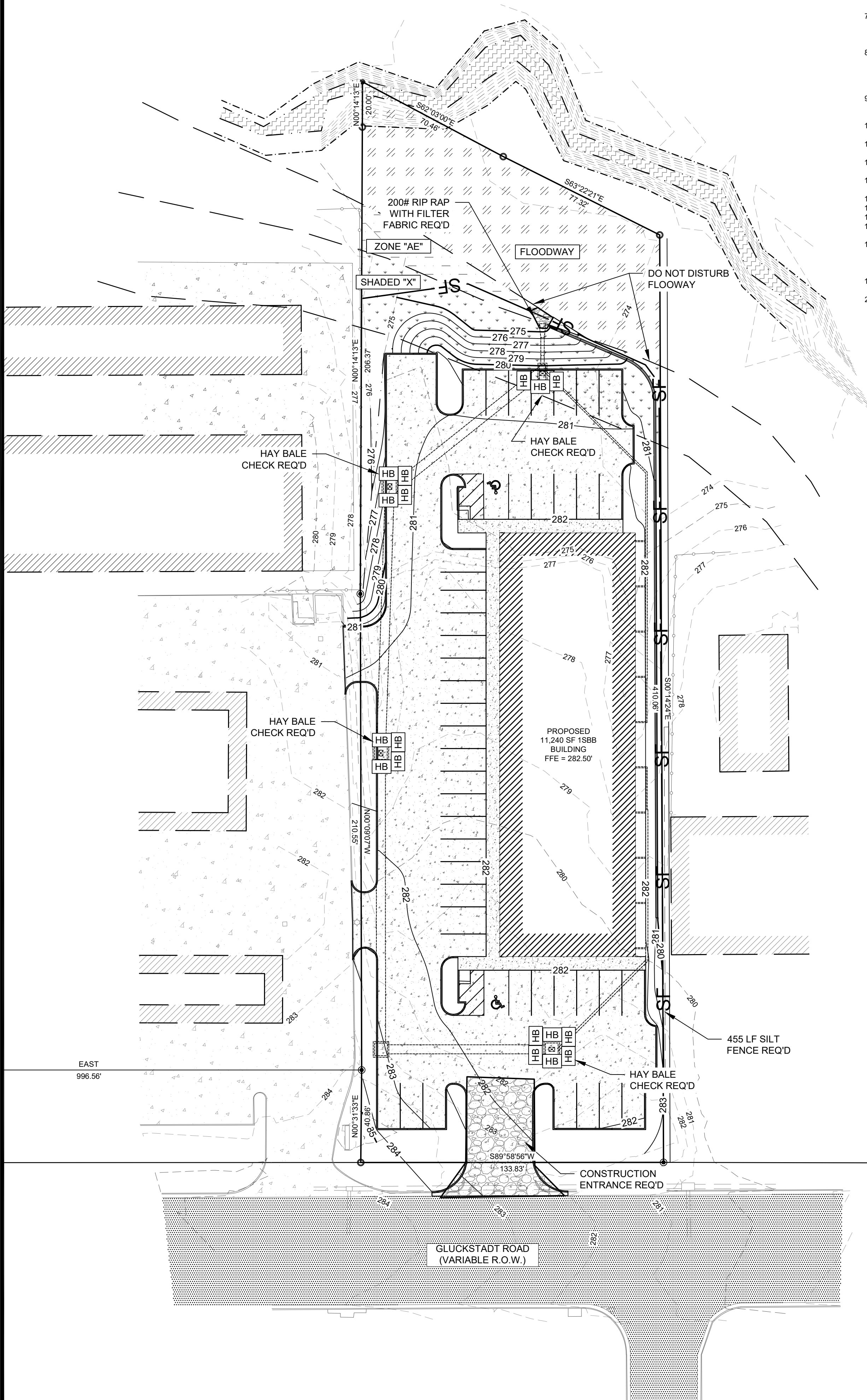
PREPARED FOR:
BEDI INVESTMENTS, LLC
 457 BOZEMAN ROAD
 MADISON, MS 39110

GRADING AND DRAINAGE PLAN
 GLUCKSTADT RETAIL CENTER
 GLUCKSTADT, MISSISSIPPI

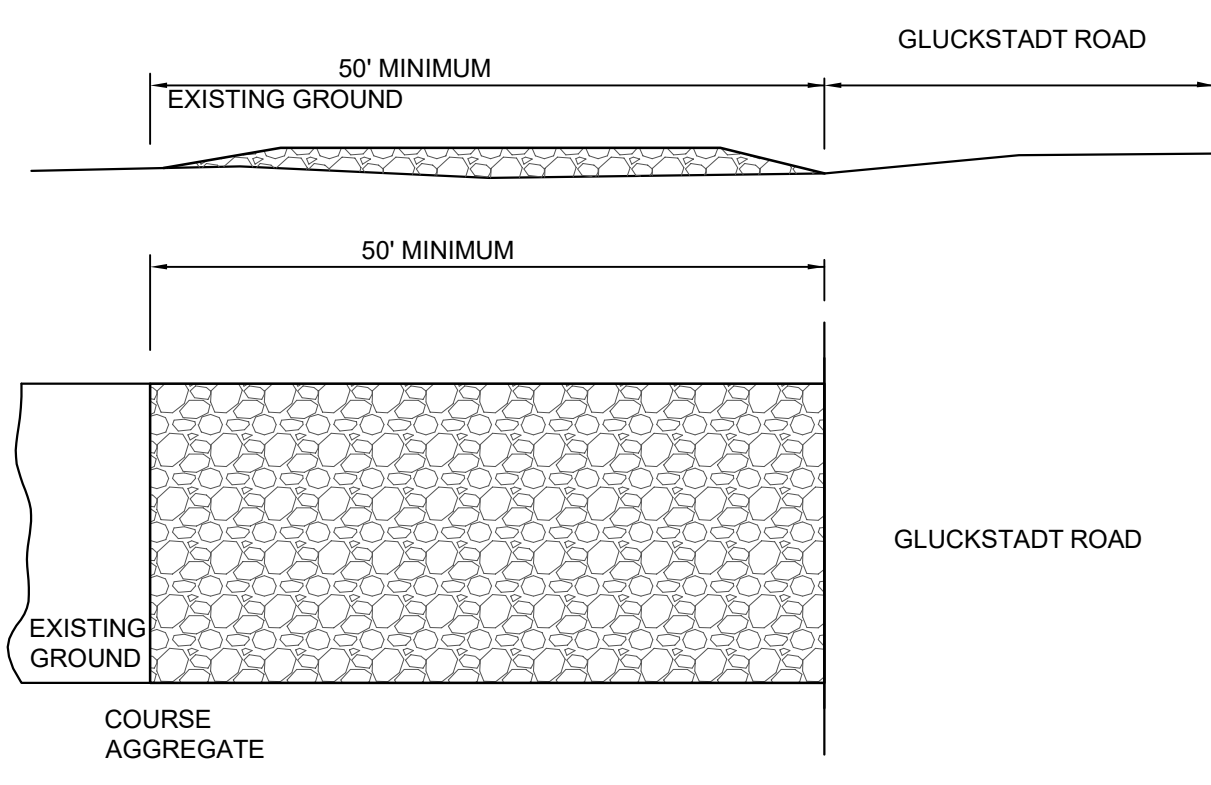
SHEET NO.
C-4

EROSION CONTROL NOTES:

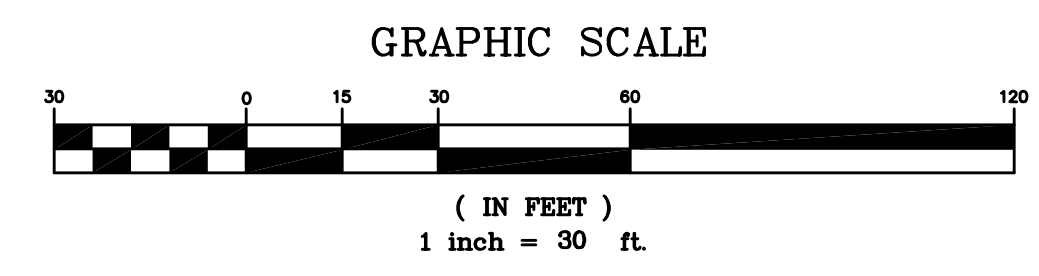
1. CONTOURS SHOWN ARE GENERATED FROM A PREVIOUS TOPOGRAPHIC SURVEY.
2. PLAN TO BE MODIFIED ON AN AS-NEEDED BASIS DURING CONSTRUCTION TO MINIMIZE DEPOSITION OF SILT ONTO OFF-SITE PROPERTY.
3. LOCATION AND NUMBER OF HAY BALES SHALL BE MODIFIED ON AN AS-NEEDED BASIS.
4. LOCATION OF SILT FENCE SHALL BE MODIFIED DURING CONSTRUCTION TO MINIMIZE DEPOSITION OF SILT INTO DITCHES AND WETLAND AREAS.
5. WHERE SIGNIFICANT TREE LOSS COULD OCCUR DURING GRASSSED DRAINWAY CONSTRUCTION, TYPICAL DITCHES MAY BE MODIFIED AT THE ENGINEER'S DISCRETION.
6. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE CURRENT NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LOCAL, STATE, AND FEDERAL STORMWATER REGULATIONS PERTAINING TO CONTROL OF OFF-SITE SEDIMENT RUNOFF.
7. THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. ALL SILTS ESCAPING BEYOND THE PROPERTY LINE RESULTANT FROM THE CONSTRUCTION ACTIVITY SHALL BE RECLAIMED AND UTILIZED ON-SITE OR HAULED OFF FOR DISPOSAL.
8. THE CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT AND EROSION CONTROL DEVICES INCLUDING SILT FENCES, SEDIMENT BALES, AND SEDIMENT BASINS AS INDICATED PRIOR TO COMMENCING ANY EARTHMOVING ACTIVITY. ALL MEASURES INDICATED ON THIS PLAN SHOULD BE CONSIDERED A MINIMUM STANDARD. ADDITIONAL MEASURES MAY BE NECESSARY. THESE CAN BE FOUND IN THE LATEST VERSION OF THE "PLANNING AND DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORM WATER" AVAILABLE FROM MDEQ.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE SILT FENCES THROUGHOUT THE CONSTRUCTION PROCESS AND UNTIL PERMANENT GROUND VEGETATION HAS BEEN ESTABLISHED TO THE SATISFACTION OF THE ENGINEER.
10. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY GOVERNING AUTHORITIES.
11. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING ALIGNMENT AND GRADES IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING MANHOLES, FLUMES, PIPES, PONDS, ETC. PRIOR TO COMPLETION OF THE PROJECT.
13. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENT, EROSION, OR POLLUTANTS CAUSED BY THIS WORK.
14. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LOCAL, STATE, AND FEDERAL STORM WATER REGULATIONS. ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT AND DEBRIS DAILY.
15. SITE IS TO BE CLEANED DAILY FOR DEBRIS THAT MAY ENTER EXISTING DITCHES OR THE STORM DRAINAGE SYSTEM.
16. WHEN CAPACITY OF EROSION AND SEDIMENT CONTROLS HAS BEEN REDUCED BY 50 PERCENT, REMOVE SEDIMENT AND CLEAN, OR REPLACE CONTROLS AS NECESSARY.
17. ALL CONTROLS SHALL BE INSPECTED PRIOR TO ANY STORM EVENTS, AFTER A 2 YEAR, 24 HOUR RAINFALL EVENT, AND AT LEAST ONCE EVERY 7 DAYS. ANY DEFICIENCIES SHALL BE IMMEDIATELY DOCUMENTED, AND REPAIRS OR REPLACEMENTS SHALL BE MADE WITHIN 7 DAYS OF DISCOVERY. CONTRACTOR SHALL PROVIDE A RAIN GAUGE ON-SITE. RAINFALL AMOUNTS SHALL BE MONITORED AND DOCUMENTED BY THE CONTRACTOR DAILY.
18. ALL AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS ARE TO BE TEMPORARILY SEEDED AND MULCHED WITHIN 7 DAYS OF LAST DISTURBANCE.
19. FINAL STABILIZATION IS TO BE ACHIEVED BY SEEDING, FERTILIZING, AND MULCHING ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, AND ENSURING THAT A COMPLETE STAND OF GRASS IS ESTABLISHED.



- NOTES:
1. SILT FENCE OR HAY BALE SEDIMENT BARRIER SHALL BE INSTALLED TO FILTER SEDIMENT FROM RUNOFF.
 2. SILT FENCE SHALL BE LEFT IN PLACE UNTIL PERMANENT VEGETATION COVER IS ESTABLISHED.
 3. AREAS DISTURBED AS A RESULT OF REMOVING THE SILT FENCE SHALL BE RESTABILIZED BY SEEDING ACCORDING TO THE REVEGETATION SPECIFICATIONS.
 4. SILT FENCES SHALL BE PLACED TO FOLLOW THE CONTOURS. ON UPSLOPE INSTALLATIONS, BOTH ENDS OF THE SILT FENCE SHALL BE TURNED AND EXTENDED UPSLOPE.
 5. WIRE SHALL BE MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
 6. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER.
 7. STEEL POST SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE. WOOD POST SHALL BE A MINIMUM OF 5'-0" IN HEIGHT AND 3" OR MORE IN DIAMETER. WIRE FENCE SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN 9 GAGE WIRE STAPLES 1" LONG.
 8. GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.
 9. POSTS SHALL BE 2'-4" LONG AND COMPOSED OF EITHER 2" x 2'-4" WOOD OR 1-1.33 LBLINEAR FOOT STEEL. POSTS SHALL BE SPACED 8'-10' APART WHEN WIRE MESH IS USED AND NO MORE THAN 6' APART WHEN WIRE MESH IS NOT USED.
 10. A TRENCH SHALL BE EXCAVATED 4" TO 8" WIDE AND 4" TO 12" DEEP ALONG THE UPSLOPE SIDE OF THE LINE OF POSTS.
 11. FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST ONCE A WEEK DURING A DRY WEEK. SEDIMENT TO BE REMOVED WHEN IT HAS REACHED 1/3 TO 1/2 THE HEIGHT OF THE FENCE.
 12. FENCE SHALL BE SPACED 8 TO 10 FEET APART WHEN USING WIRE MESH AND 6 FEET APART WITHOUT THE USE OF WIRE MESH SUPPORT.



1. USE SEPARATION GEOTEXTILE FABRIC FOR FULL WIDTH AND LENGTH OF EXIT.
2. GRADE TO PREVENT RUN-OFF FROM LEAVING SITE.
3. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.
4. 2" TO 4" CRUSHED STONE SHALL BE USED FOR THE ENTRANCE.
5. THE ENTRANCE SHALL BE A MINIMUM OF 20' WIDE; POSSIBLY THE WIDTH OF THE ACCESS. IF TRAFFIC VOLUME IS HIGH, ENTRANCE SHALL BE WIDE ENOUGH FOR TWO VEHICLES TO PASS.
6. ENTRANCE TO BE INSPECTED ON A REGULAR BASIS ESPECIALLY AFTER A RAIN EVENT AND/OR A HEAVILY TRAVELED DAY.
7. TO REDUCE MAINTENANCE, ENTRANCE SHALL HAVE GEOTEXTILE FABRIC BENEATH IT AND STONE SHALL BE 6" THICK.
8. APPLY ADDITIONAL STONE PERIODICALLY OR WHEN REPAIR IS NEEDED. REMOVE ALL MATERIAL TRACKED ONTO THE PUBLIC ROADWAY.



CAD FILE: C:\M\Design.dwg
 PROJECT NO.: Gluckstadt
 SCALE: 1" = 30'
 DESIGNED BY: DRL
 DRAWN BY: DRL
 CHECKED BY: DRL

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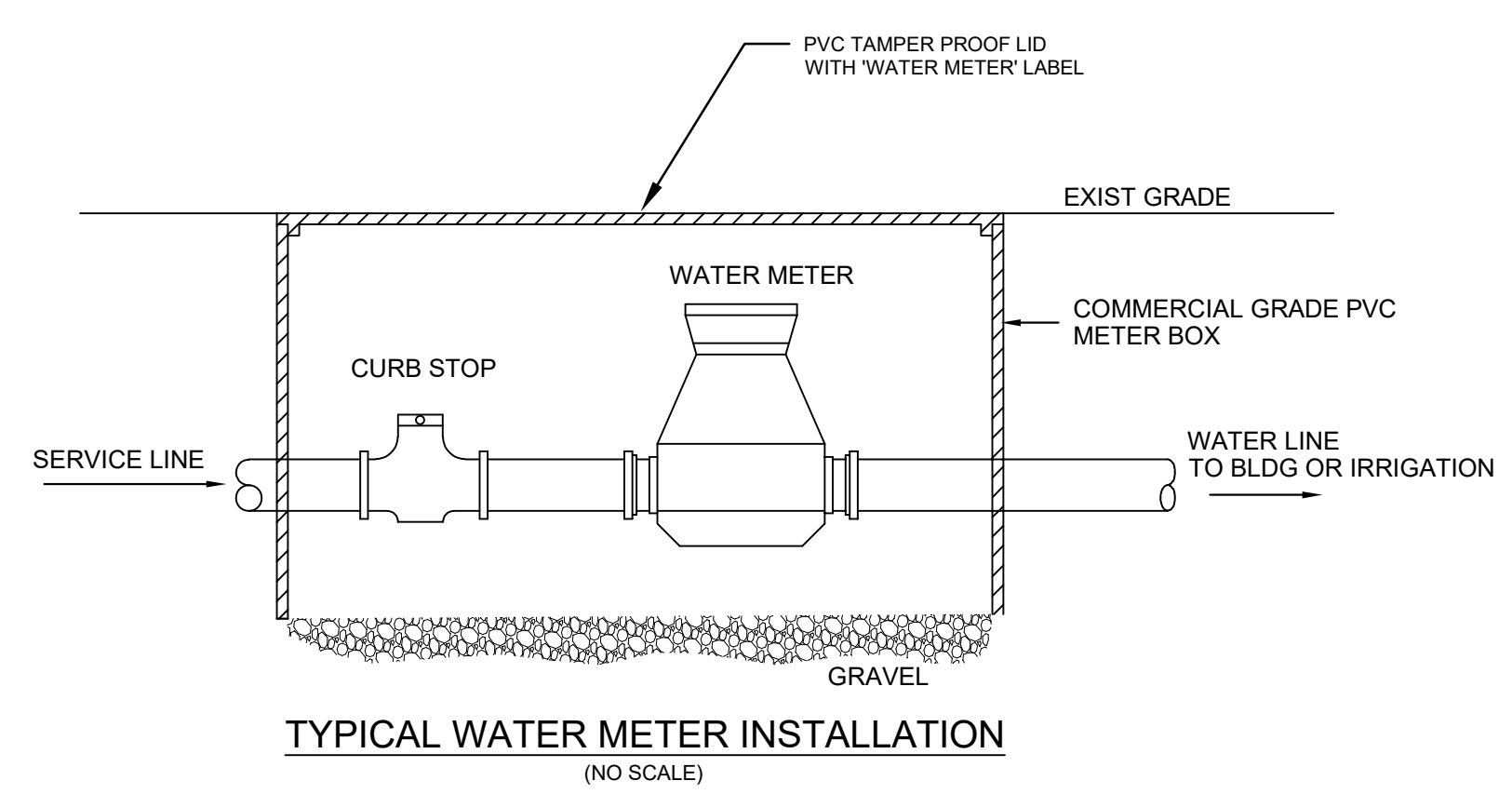
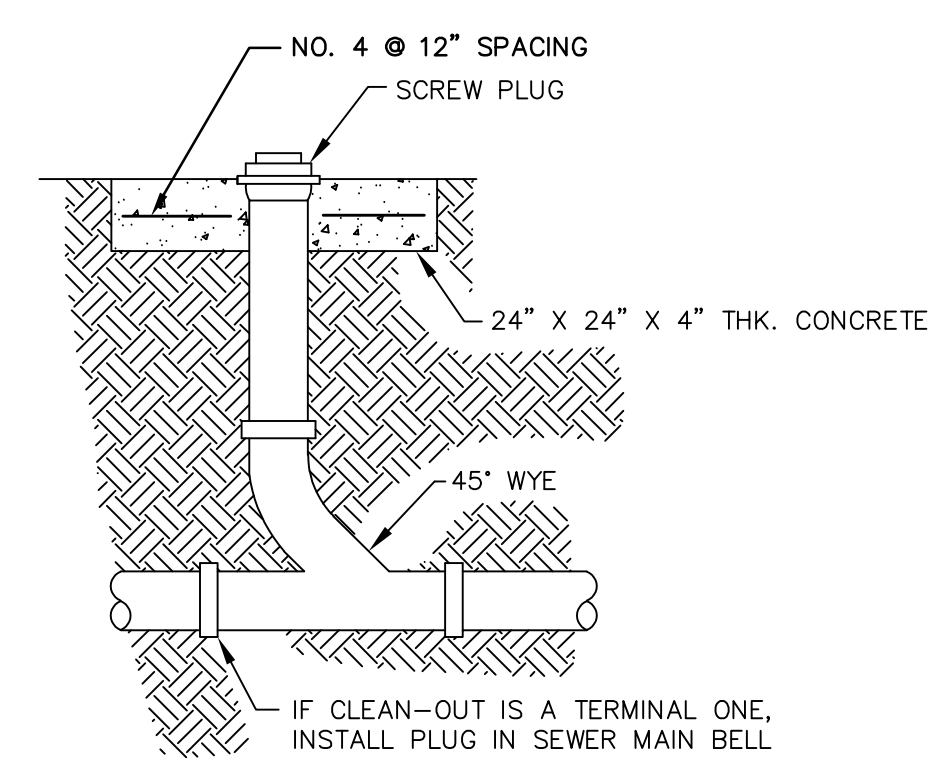
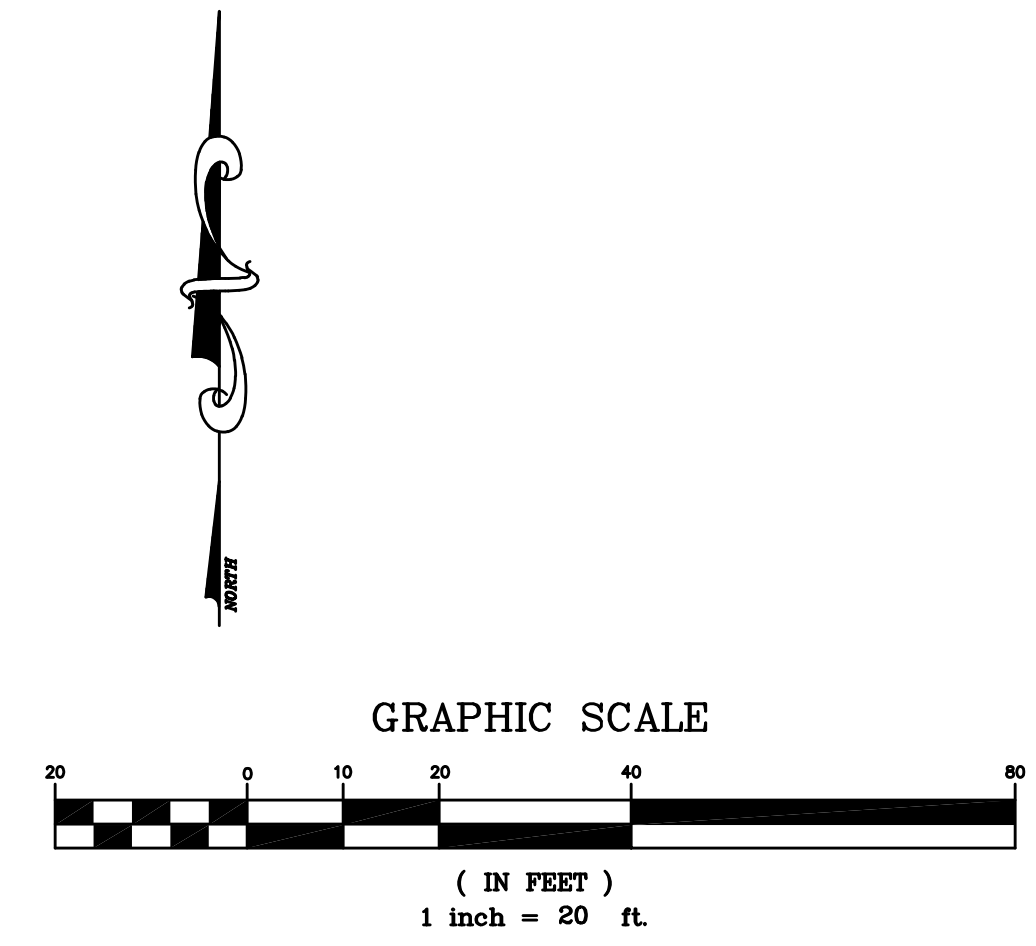
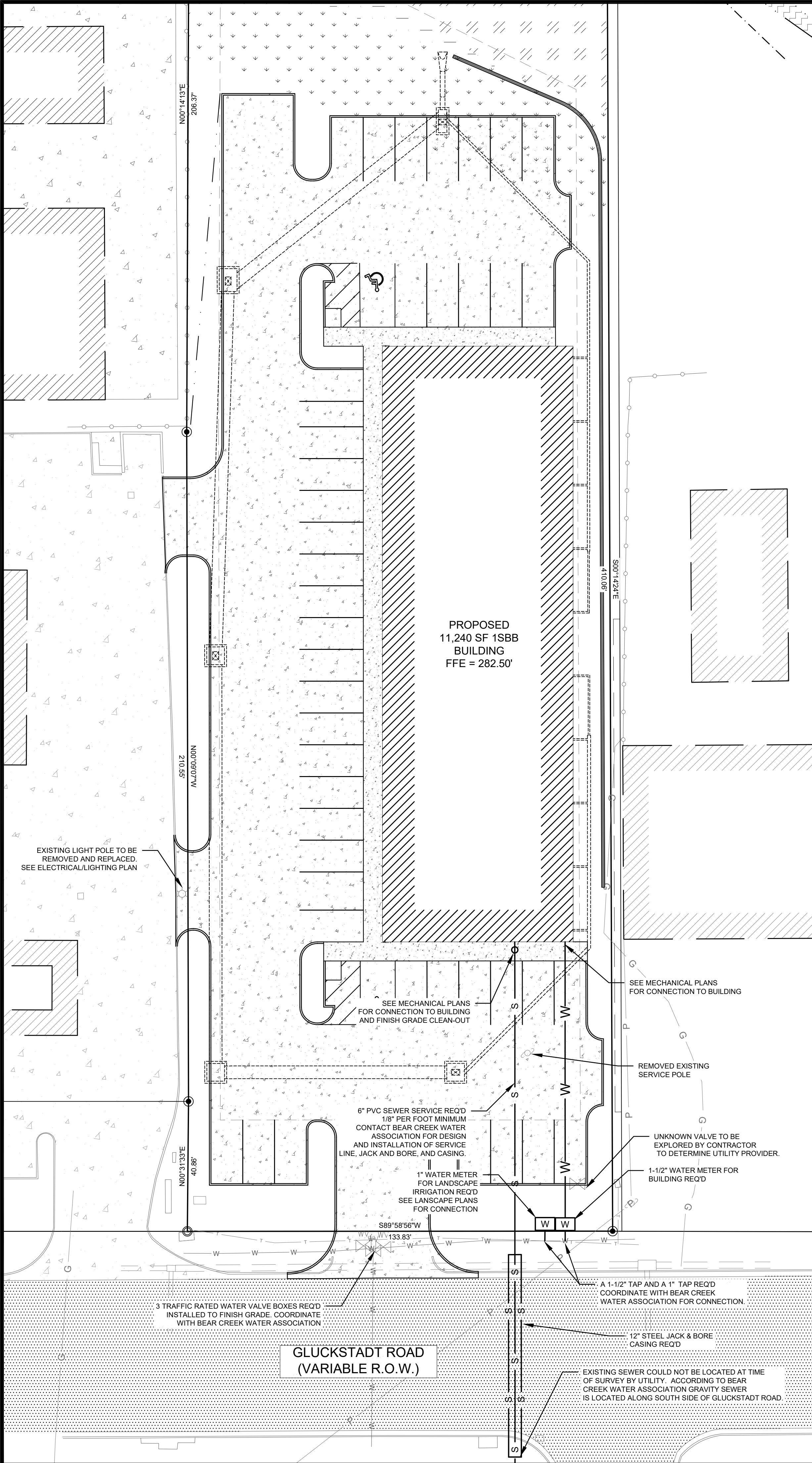
Lucas Engineering, PLLC

PREPARED FOR:
BEDI INVESTMENTS, LLC
 457 BOZEMAN ROAD
 MADISON, MS 39110

STORM WATER POLLUTION PREVENTION PLAN

GLUCKSTADT RETAIL CENTER
 GLUCKSTADT, MISSISSIPPI

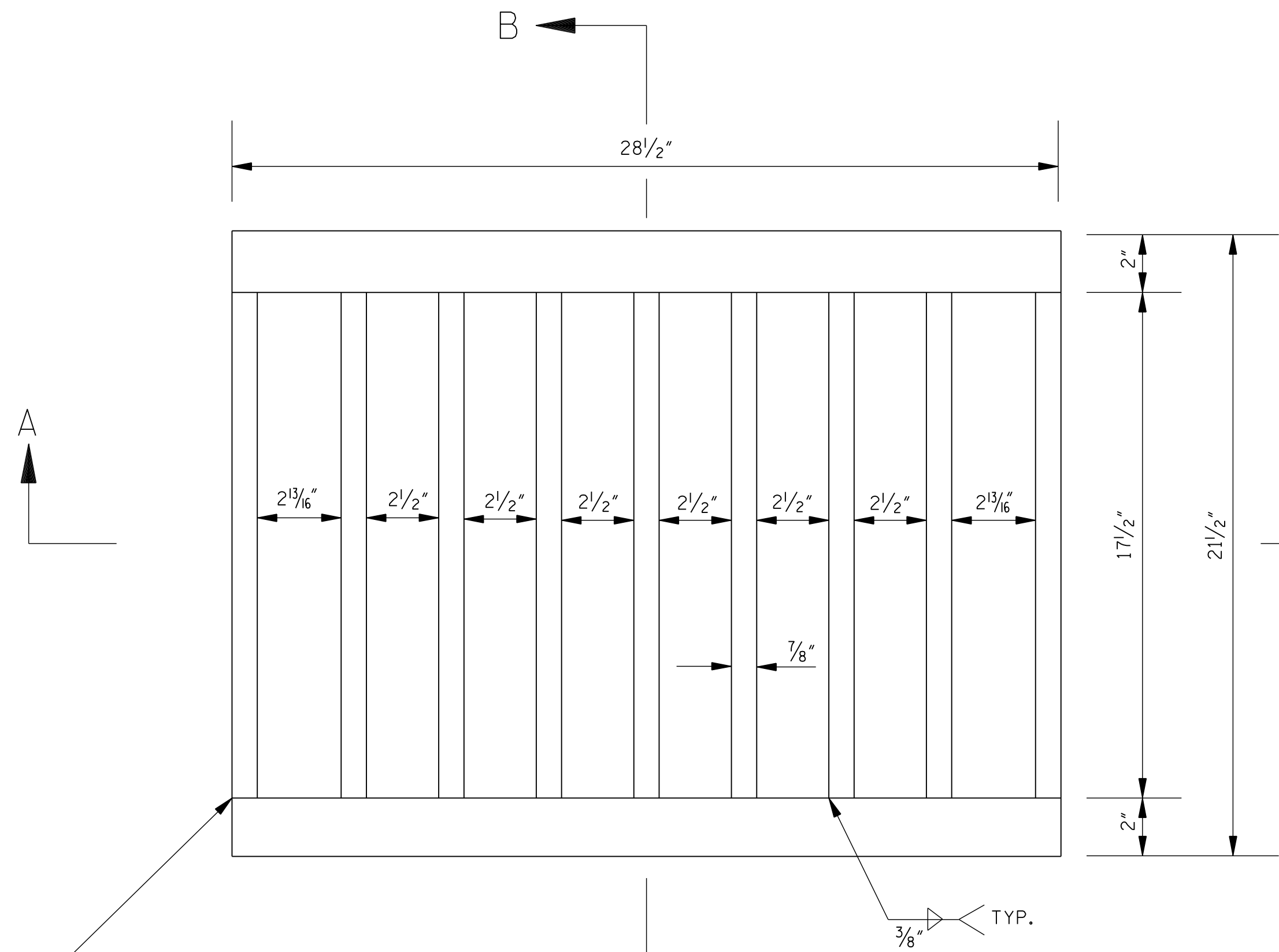
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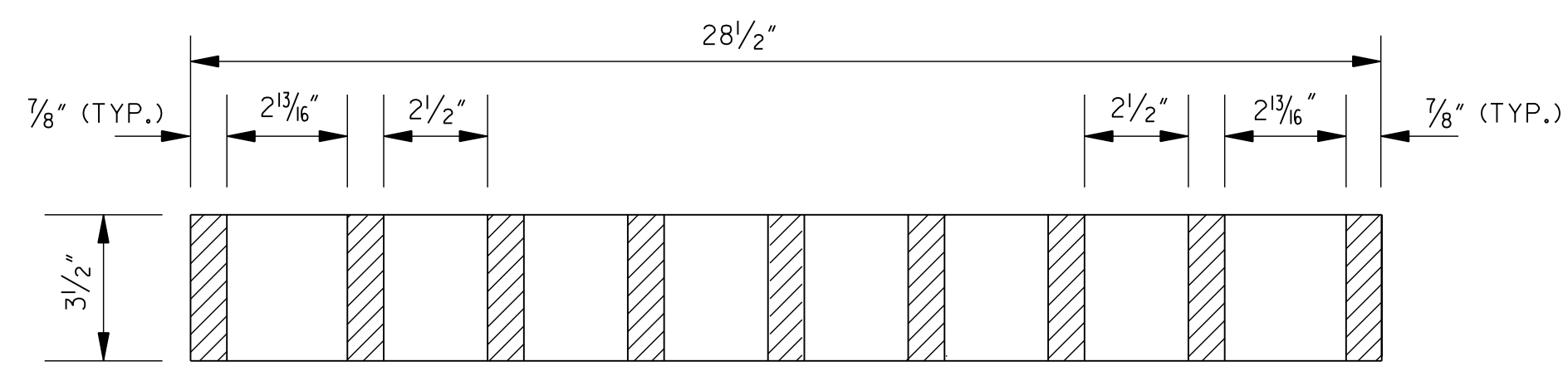
- UTILITY NOTES:
- CONSTRUCTION AND MATERIALS FOR WATER DISTRIBUTION IMPROVEMENTS SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF HEALTH, THE CITY OF GLUCKSTADT, MISSISSIPPI AND BEAR CREEK WATER ASSOCIATION. CONSTRUCTION AND MATERIALS FOR SEWER IMPROVEMENTS SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY, THE CITY OF GLUCKSTADT AND BEAR CREEK WATER ASSOCIATION.
 - WATER AND SEWER SERVICE TO BE PROVIDED BY THE BEAR CREEK WATER ASSOCIATION.
 - WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ANY SEWER MAIN OR MANHOLE (WATER OVER SEWER). WHERE WATER MAINS CROSS OVER SEWER MAINS, THE ABOVE REQUIREMENTS MAY BE WAIVED IF PIPE SEGMENTS ARE CENTERED TO PROVIDE MAXIMUM SPACING OF THE JOINTS OF BOTH WATER AND SEWER MAINS AND A VERTICAL SEPARATION OF AT LEAST 18 INCHES (WATER OVER SEWER) IS MAINTAINED. THE DISTANCES AND SPACING MENTIONED ABOVE ARE CLEAR DISTANCES, AND WHENEVER THE DISTANCE CAN NOT BE MET, THE MAIN MUST BE PLACED IN CASING.
 - THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF EXISTING WATER MAINS PRIOR TO COMMENCING BORING OR CONNECTION OPERATIONS. THE CONTRACTOR SHALL PROVIDE NECESSARY ADJUSTMENTS TO BOTH NEW AND EXISTING WATER LINES TO ALLOW CONNECTION AND INSTALLATION.
 - WATER AND SEWER SERVICES TO EXTEND TO A MAXIMUM OF 30" FROM THE BUILDING WALL AND SHALL BE EXTENDED AS DETERMINED BY ARCHITECTURAL/MECHANICAL DRAWINGS.
 - WATER AND SEWER SERVICES TO BE INSTALLED A MINIMUM OF 36" DEEP.
 - EXISTING UTILITIES SHOWN ARE BASED ON A PREVIOUS TOPOGRAPHIC SURVEY BY LUCAS ENGINEERING, PLLC.
 - EXCAVATION NEAR UTILITIES SHOWN SHOULD BE DONE WITH CAUTION. THE LOCATION OF EXISTING UTILITIES AND STRUCTURES INDICATED IS APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE SITE. CONTRACTOR SHALL VERIFY THE EXISTING FACILITIES ON THE PROJECT SITE, WHETHER INDICATED OR NOT, BY NOTIFYING THE ALABAMA ONE-CALL NETWORK (811) AND OTHER UTILITY COMPANIES PRIOR TO EXCAVATING. CONTRACTOR SHALL PROMPTLY REPAIR THOSE THAT ARE DAMAGED BY HIS CONSTRUCTION OPERATIONS.
 - ADDITIONAL UNDERGROUND UTILITIES MAY EXIST IN ADDITION TO THOSE SHOWN. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. CONTRACTOR SHALL NOT EXCAVATE ABOVE OR NEAR UNDERGROUND UTILITIES WITHOUT THE KNOWLEDGE AND ASSURANCE THAT THESE ACTIVITIES WILL NOT ADVERSELY AFFECT THE RESPECTIVE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CHANGES REQUIRED IN GRADING TO ACCOMMODATE EXISTING UTILITIES AND SHALL BEAR FULL RESPONSIBILITY FOR MAINTAINING ADEQUATE COVER AS DIRECTED BY EACH UTILITY COMPANY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND PROCEDURES REQUIRED WHEN WORKING WITHIN HIGHWAY AND STREET RIGHTS-OF-WAYS.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY.
 - ALL UTILITY TAP FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
 - BACKFLOW PREVENTER MODEL AND TYPE TO BE APPROVED BY BEAR CREEK WATER ASSOCIATION PRIOR TO INSTALLATION, IF REQUIRED.

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763 CLARA FOOTE ROAD BRAXTON, MS 39044 (601)720-3845 dlucas@lucaseng.com					
PREPARED FOR: BEDI INVESTMENTS, LLC 457 BOZEMAN ROAD MADISON, MS 39110					
WATER AND SEWER PLAN GLUCKSTADT RETAIL CENTER GLUCKSTADT, MISSISSIPPI					
SHEET NO. C-6					

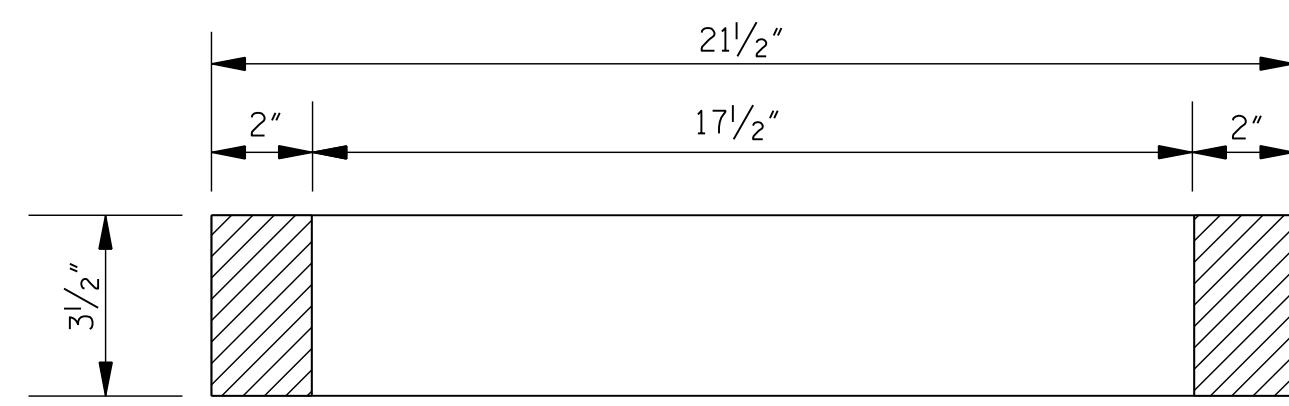
GRATE NO. 1



PLAN OF GRATE NO. 1

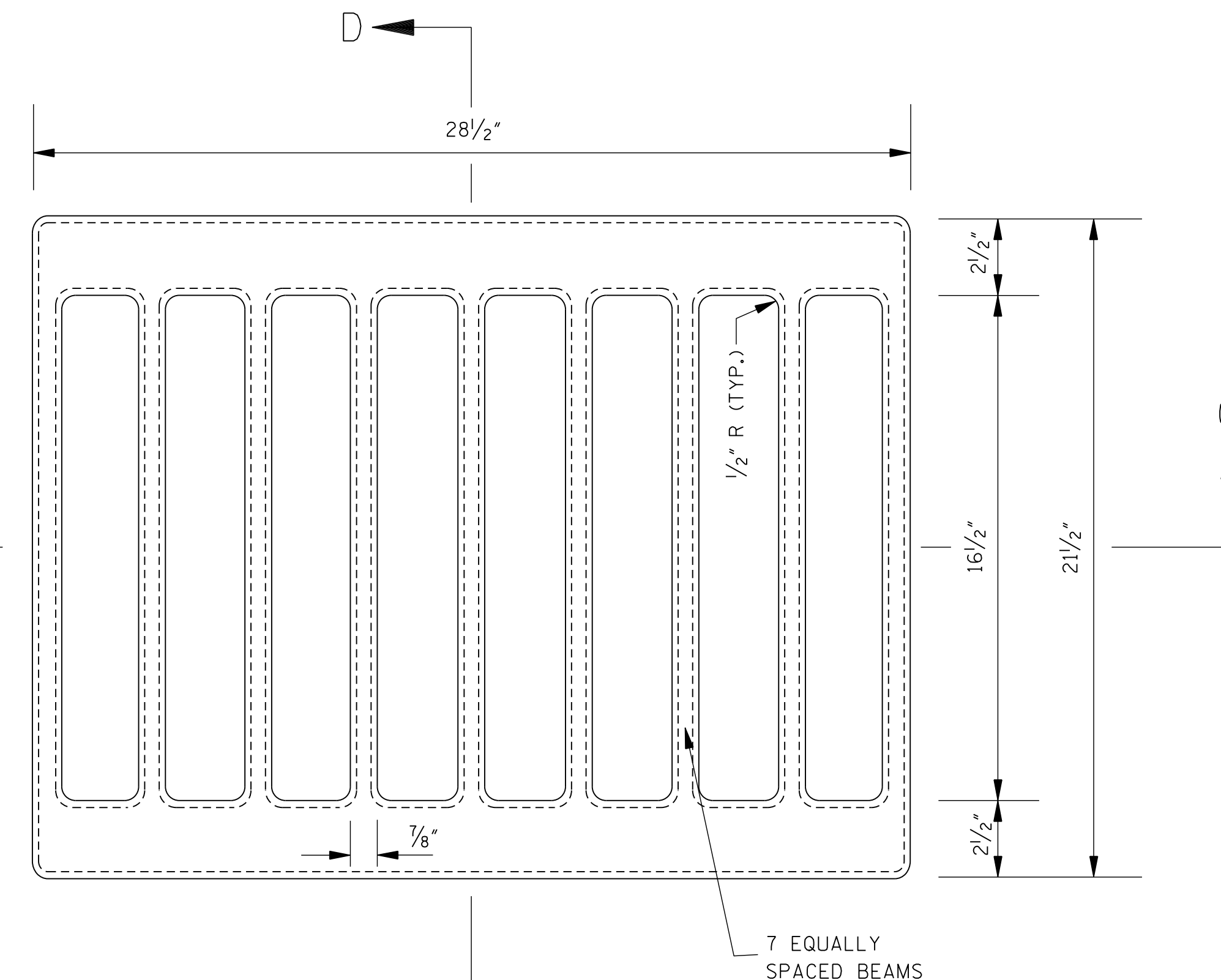


SECTION A-A

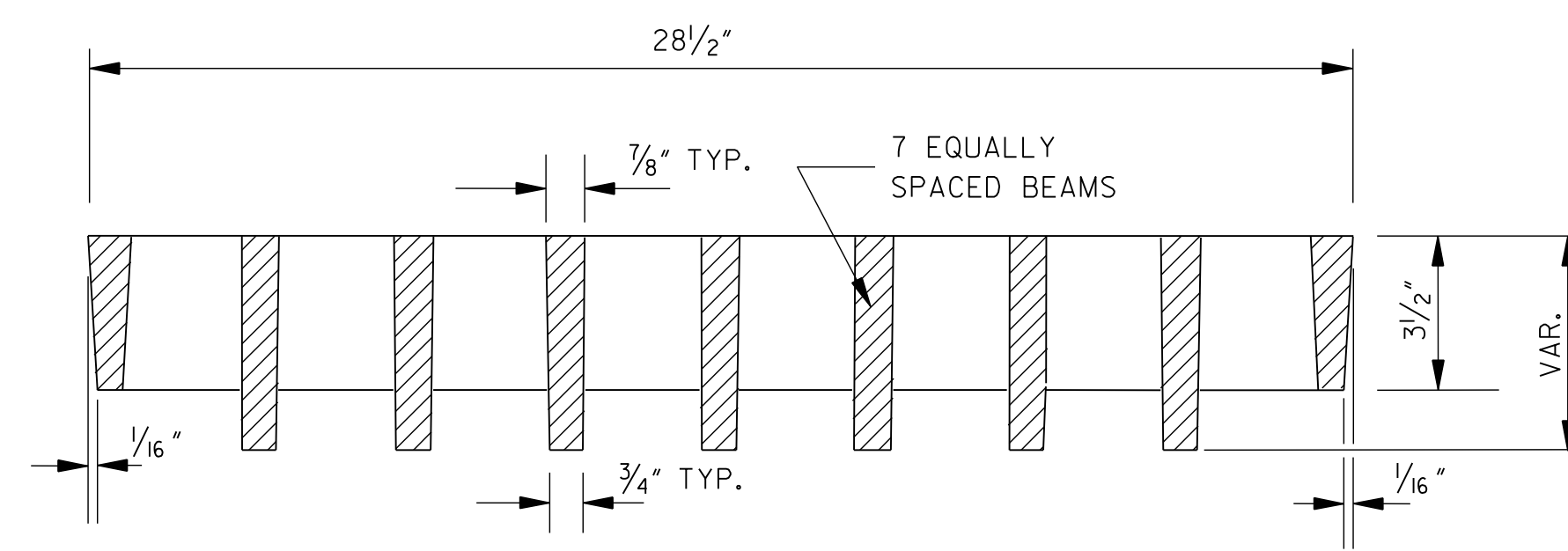


SECTION B-B

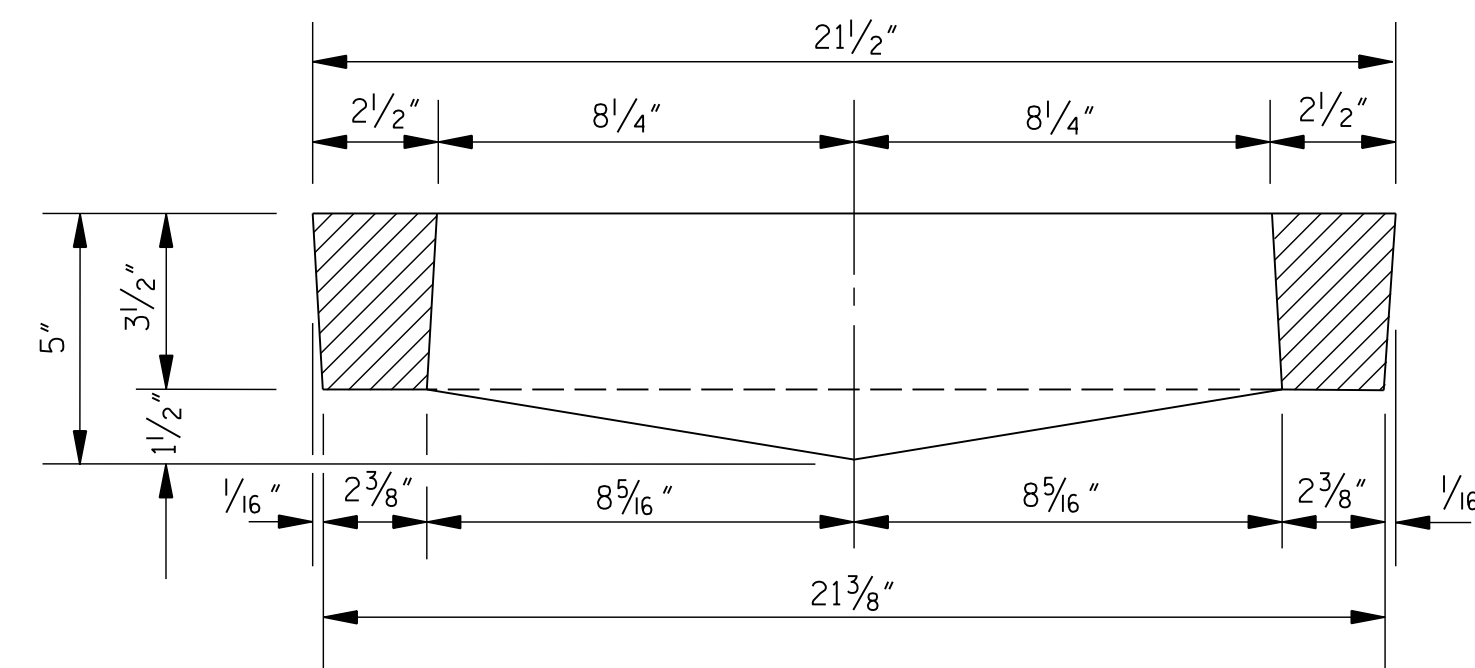
GRATE NO. 2



PLAN OF GRATE NO. 2



SECTION C-C



SECTION D-D

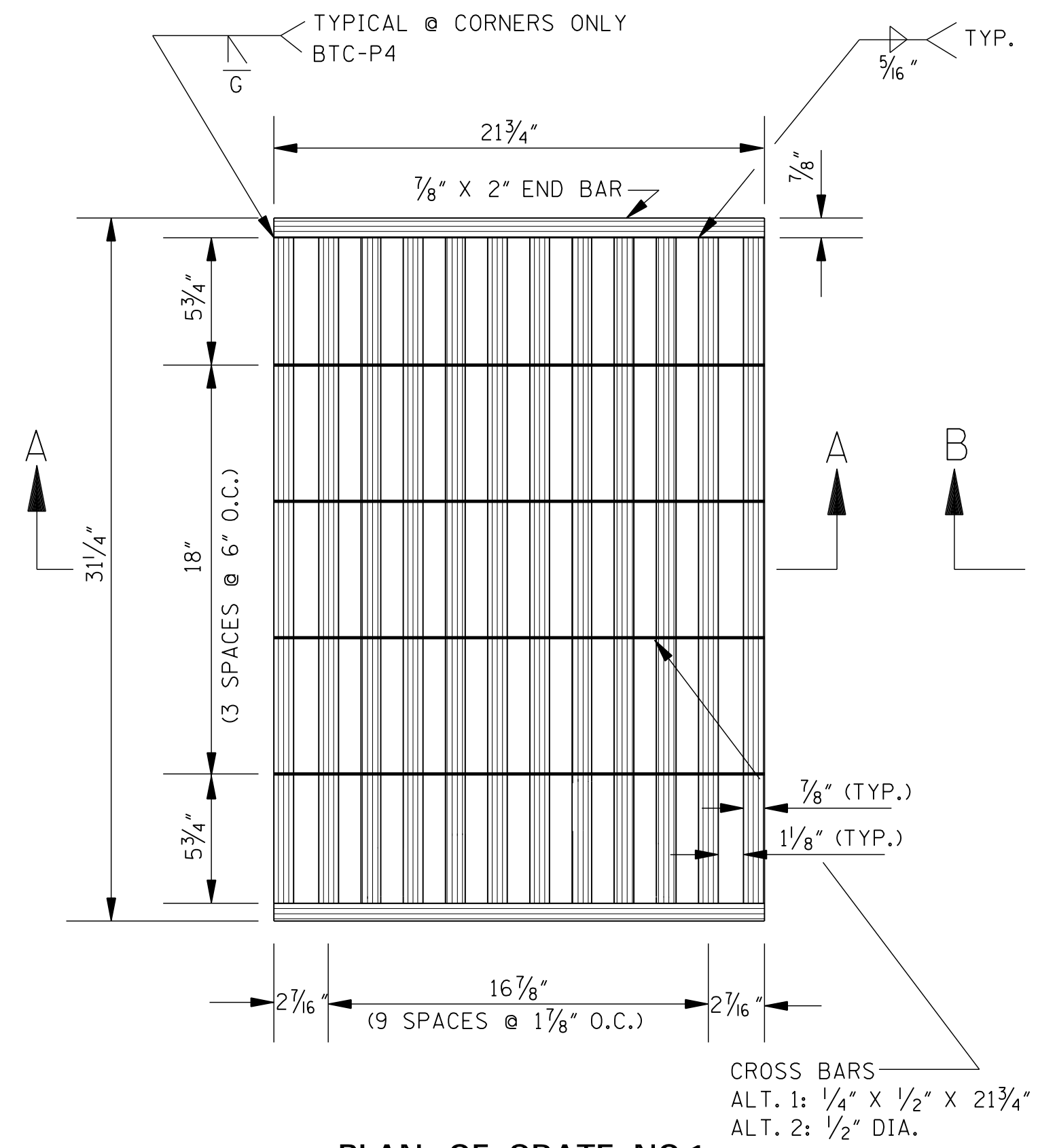
GENERAL NOTES:

1. BASIS OF PAYMENT WILL BE 250 lbs OF GRATING FOR EITHER GRATE.
2. GRATE NO.1
THE GRATE SHALL BE WELDED STEEL (ASTM A 588).
3. GRATE NO.2
THE GRATE SHALL BE DUCTILE IRON (ASTM A 536, GRADE 80-55-06).

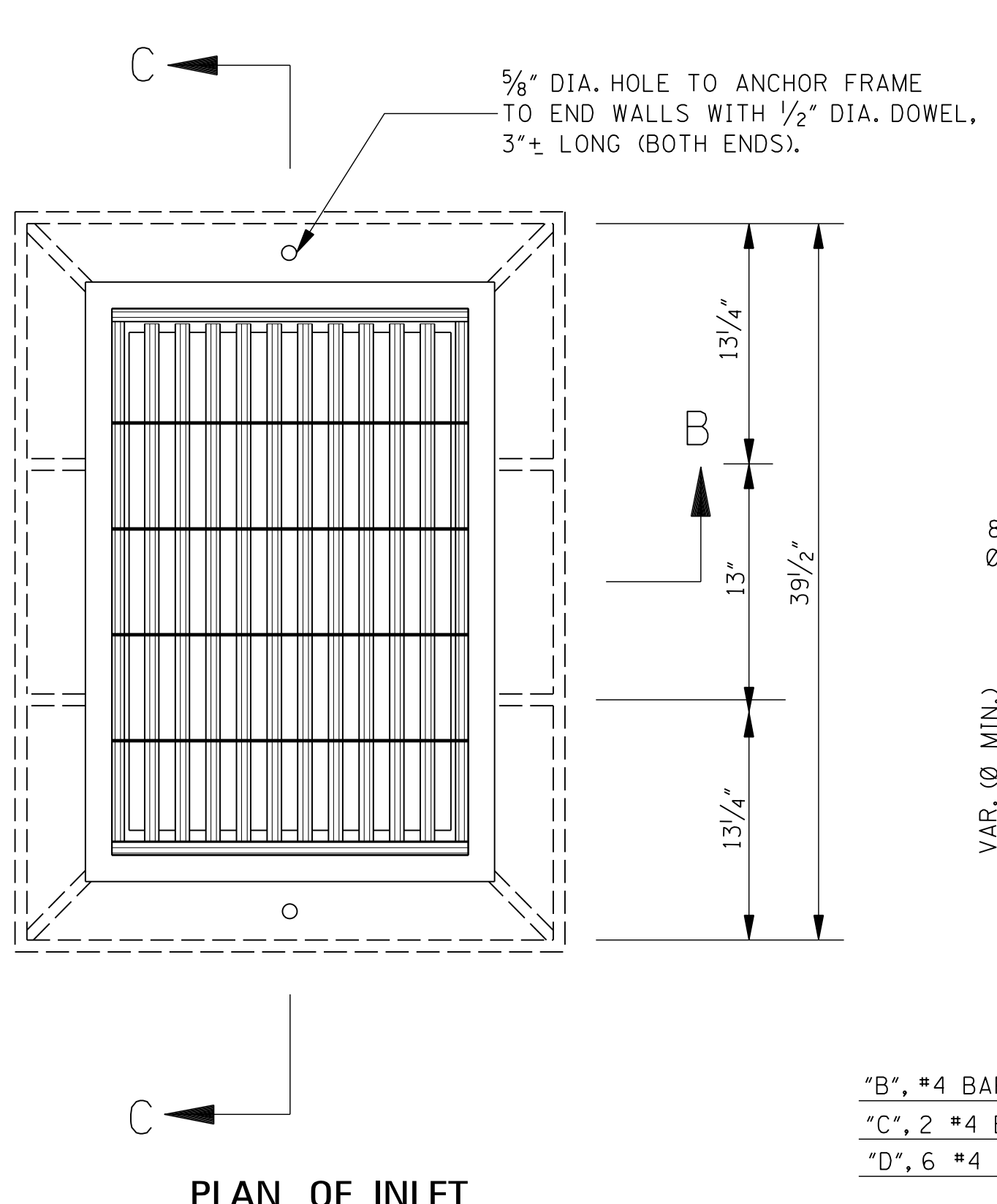
BY	MISSISSIPPI DEPARTMENT OF TRANSPORTATION ROADWAY DESIGN DIVISION STANDARD PLAN
REVISION	DETAILS OF GRATES FOR MEDIAN INLETS
DATE	ISSUE DATE: AUGUST 01, 2017

MDOT
WORKING NUMBER
IG-1
SHEET NUMBER
6516

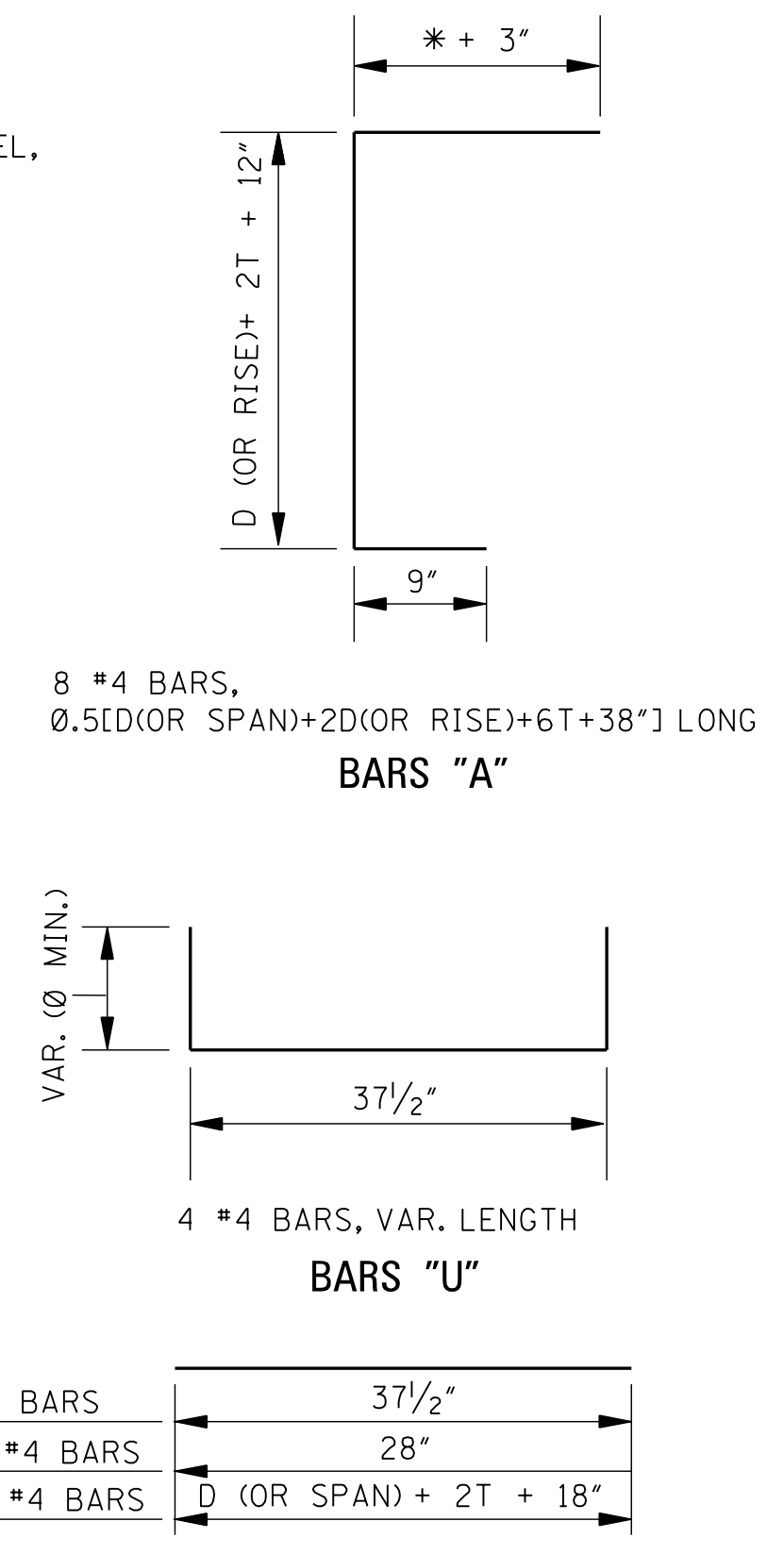
STATE	PROJECT NO.
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PLAN OF GRATE NO.1
NOTE: FOR OTHER GRATE DETAILS SEE SHEET IG-2.



PLAN OF INLET



BAR DETAILS

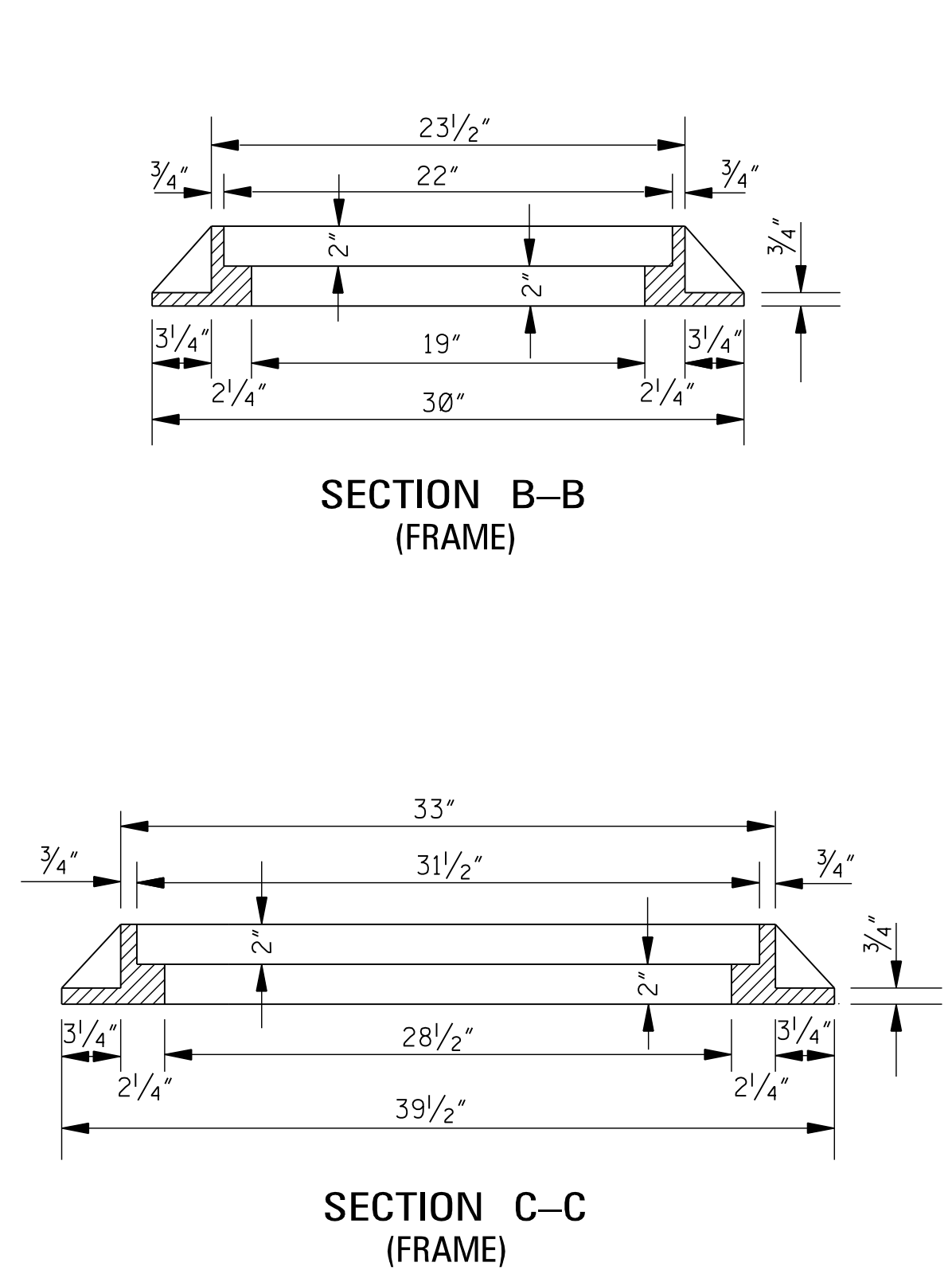
*NOTE:

$$\ast \left[\frac{D \text{ (OR SPAN)} + 2T - 10"}{2} \right]$$

PIPE SIZE	MIN. DEPTH TO F.L.	MIN. DEPTH INLET		PIPE OPENING DEDUCTION (yd ³)	T	BARS/SIZES				
		CONC. (yd ³)	STEEL (lbs)			"A"	"B"	"C"	"D"	"U"
						#4	#4	#4	#4	#4
18"	2.792'	0.869	76	0.053	2 1/2"	8 @ 4'-5 1/2"	12 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 3'-5"	4 @ 3'-9 1/2"
24"	3.334'	1.117	87	0.091	3"	8 @ 5'-4"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 4'-0"	4 @ 3'-9 1/2"
30"	3.875'	1.385	94	0.138	3 1/2"	8 @ 6'-2 1/2"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 4'-7"	4 @ 3'-9 1/2"
36"	4.417'	1.671	105	0.196	4"	8 @ 7'-1"	16 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-2"	4 @ 3'-9 1/2"
42"	4.959'	1.978	116	0.263	4 1/2"	8 @ 7'-11 1/2"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-9"	4 @ 3'-9 1/2"
48"	5.500'	2.305	123	0.340	5"	8 @ 8'-10"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 6'-4"	4 @ 3'-9 1/2"
54"	6.042'	2.650	135	0.427	5 1/2"	8 @ 9'-8 1/2"	20 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 6'-11"	4 @ 3'-9 1/2"
60"	6.583'	3.016	146	0.524	6"	8 @ 10'-7"	22 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 7'-6"	4 @ 3'-9 1/2"
66"	7.125'	3.402	153	0.630	6 1/2"	8 @ 11'-5 1/2"	22 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 8'-1"	4 @ 3'-9 1/2"
72"	7.667'	3.806	164	0.747	7"	8 @ 12'-4"	24 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 8'-8"	4 @ 3'-9 1/2"
22" X 13"	2.417'	0.855	76	0.053	2 1/2"	8 @ 4'-3"	12 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 3'-9"	4 @ 3'-9 1/2"
29" X 18"	2.833'	1.085	83	0.087	3"	8 @ 5'-0 1/4"	12 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 4'-4 1/2"	4 @ 3'-9 1/2"
36" X 23"	3.250'	1.358	94	0.129	3 1/2"	8 @ 5'-10"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-1"	4 @ 3'-9 1/2"
44" X 27"	3.635'	1.631	101	0.185	4"	8 @ 6'-7 1/2"	14 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 5'-10"	4 @ 3'-9 1/2"
51" X 31"	4.068'	1.942	113	0.245	4 1/2"	8 @ 7'-5 1/2"	16 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 6'-6"	4 @ 3'-9 1/2"
58" X 36"	4.500'	2.269	120	0.318	5"	8 @ 8'-3"	16 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 7'-2 1/2"	4 @ 3'-9 1/2"
65" X 40"	4.875'	2.575	130	0.394	5 1/2"	8 @ 9'-0"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 7'-10"	4 @ 3'-9 1/2"
73" X 45"	5.333'	2.966	139	0.489	6"	8 @ 9'-10 1/2"	18 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 8'-7"	4 @ 3'-9 1/2"
88" X 54"	6.167'	3.765	156	0.688	7"	8 @ 11'-6"	20 @ 3'-1 1/2"	2 @ 2'-4"	6 @ 10'-0"	4 @ 3'-9 1/2"

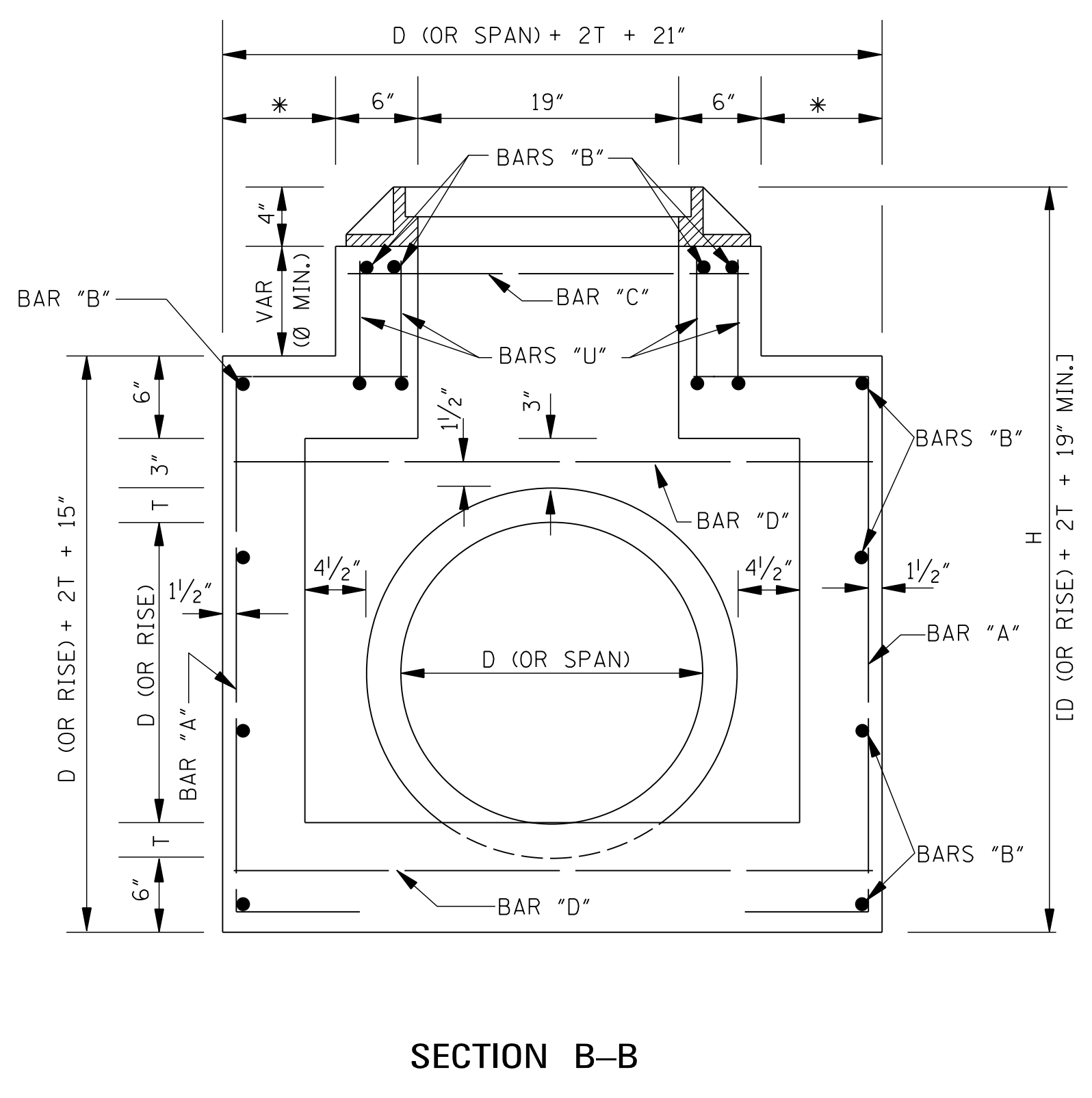
- NOTES: 1. ONE (1) PIPE OPENING HAS BEEN DEDUCTED FROM THE STRUCTURE.
 2. FOR EACH ADDITIONAL FOOT OF INLET HEIGHT, ADD 0.184 yd³ CLASS "B" CONCRETE AND 17 lbs REINFORCING STEEL.
 3. 4 BARS "B" AND 2 BARS "C" REQUIRED PER EACH ADDITIONAL FOOT OF INLET HEIGHT.
 4. WEIGHT OF FRAME CASTING = 244 lbs.
 WEIGHT OF GRATE = SEE SHEET IG-2.

- GENERAL NOTES:
 1. QUANTITIES SHOWN WILL BE THE BASIS OF PAYMENT UNLESS AUTHORIZED MODIFICATIONS ARE MADE.
 2. CONCRETE SHALL BE CLASS "B" CONCRETE AND REINFORCING STEEL SHALL BE DEFORMED BARS.
 3. THE CONTRACTOR HAS THE OPTION TO PROVIDE GRATE NO. 1 OR GRATE NO. 2 AS SHOWN ON SHEET IG-2.
 4. FRAME TO BE GRAY IRON CASTING, (AASHTO M 105, CLASS 30).

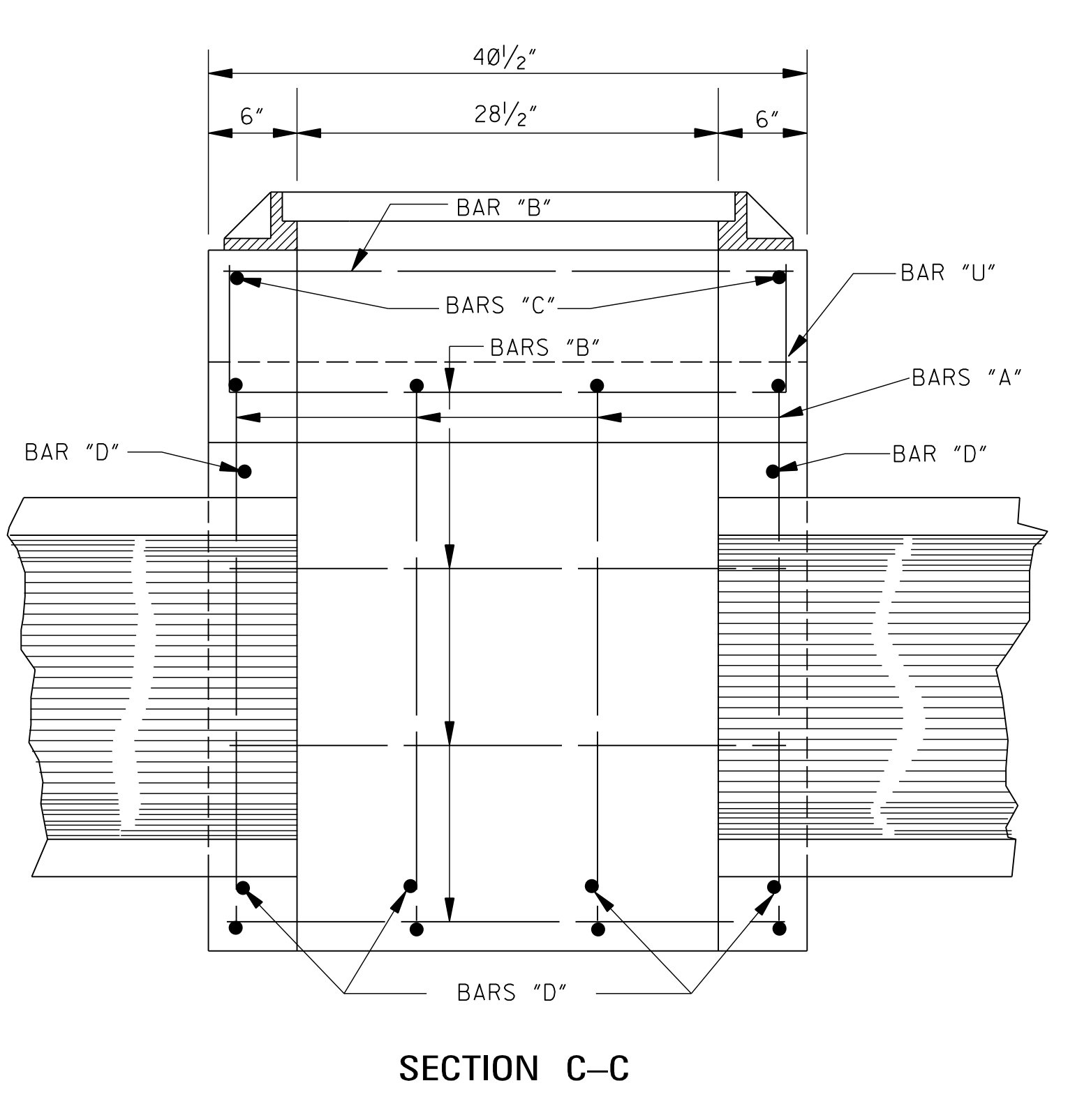


SECTION B-B (FRAME)

SECTION C-C (FRAME)




SECTION B-B

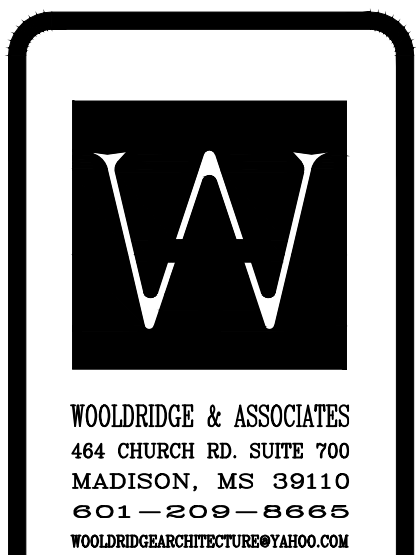
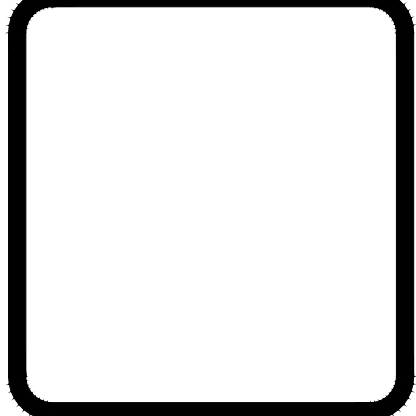


SECTION C-C

BY	MISSISSIPPI DEPARTMENT OF TRANSPORTATION ROADWAY DESIGN DIVISION STANDARD PLAN
REVISION	STORM SEWER INLET TYPE SS-3
DATE	ISSUE DATE: AUGUST 01, 2017


 WORKING NUMBER SS-3
 SHEET NUMBER 6525

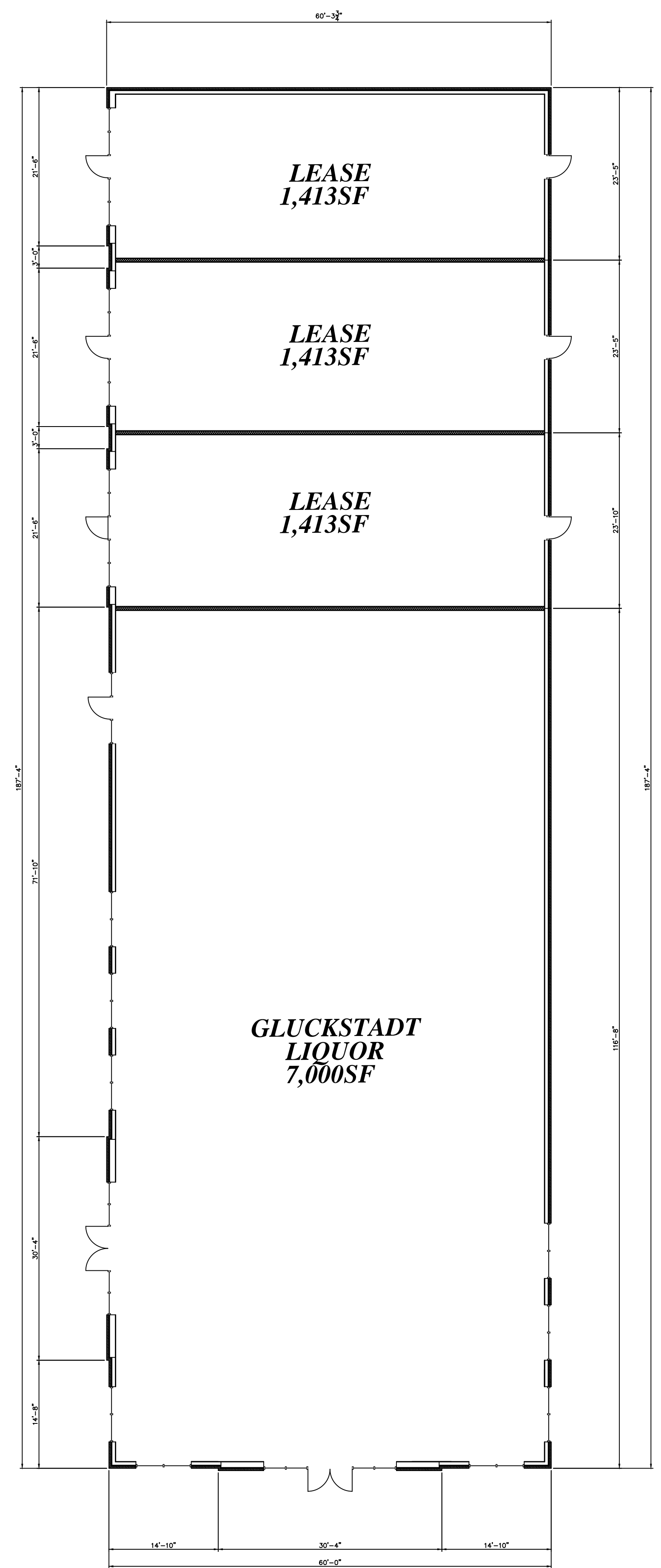
REVISIONS	BY



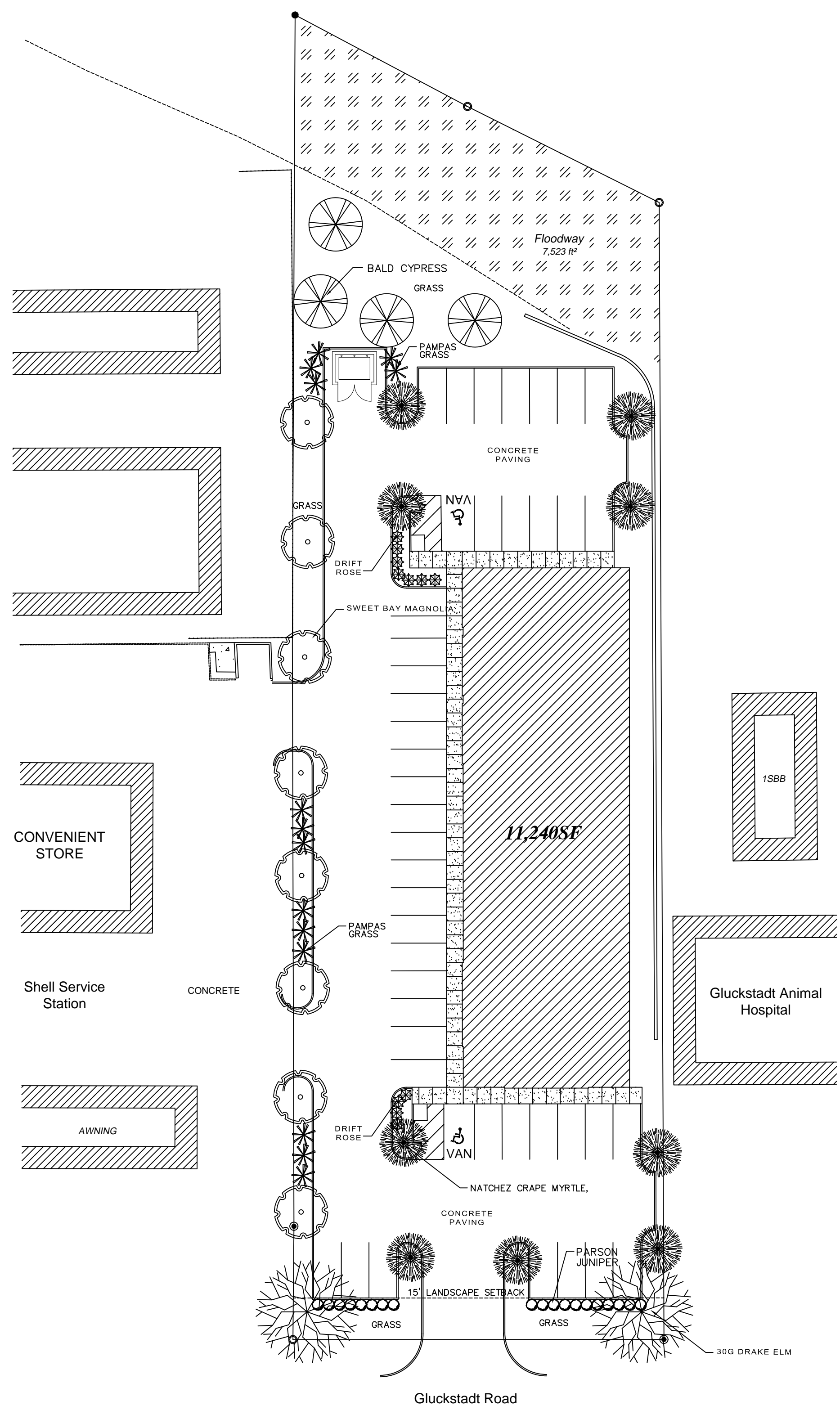
Gluckstadt Liquor
 Gluckstadt Road
 Gluckstadt, Mississippi

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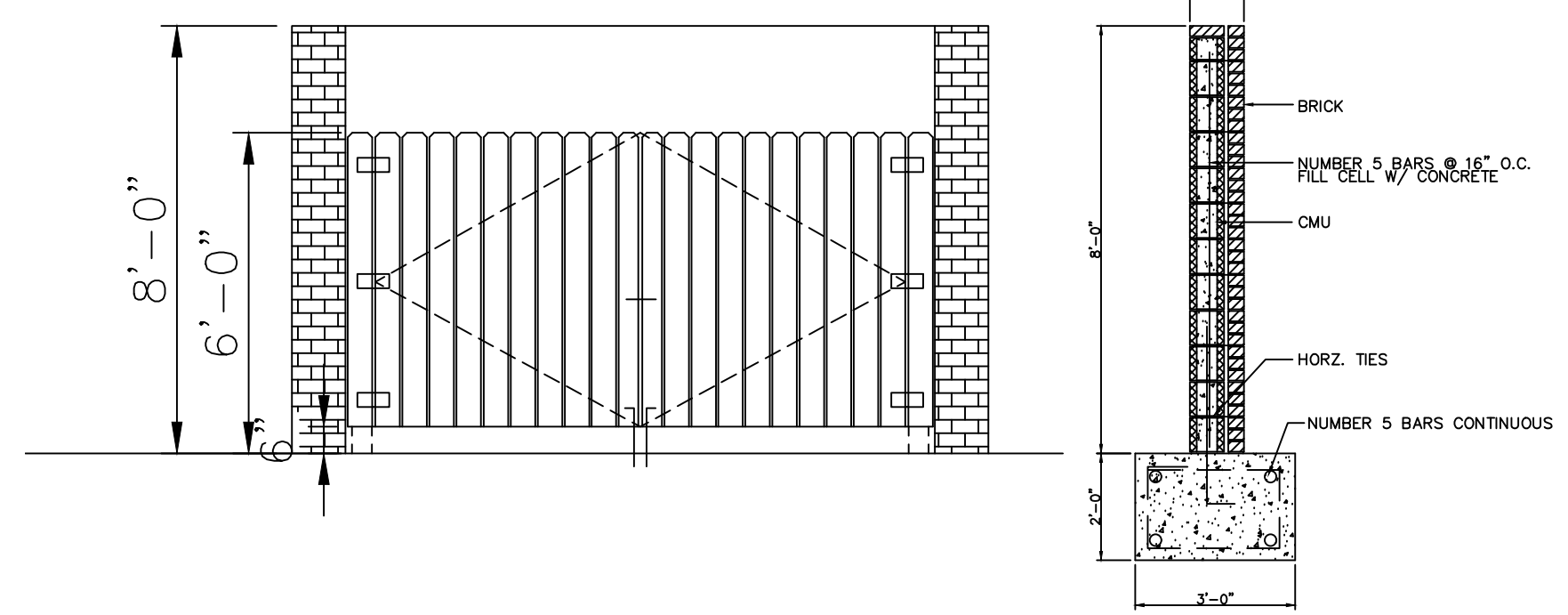
DRAWN
CHECKED
DATE 12/11/24
SCALE
JOB NO.
SHEET
A0.0
OF SHEETS



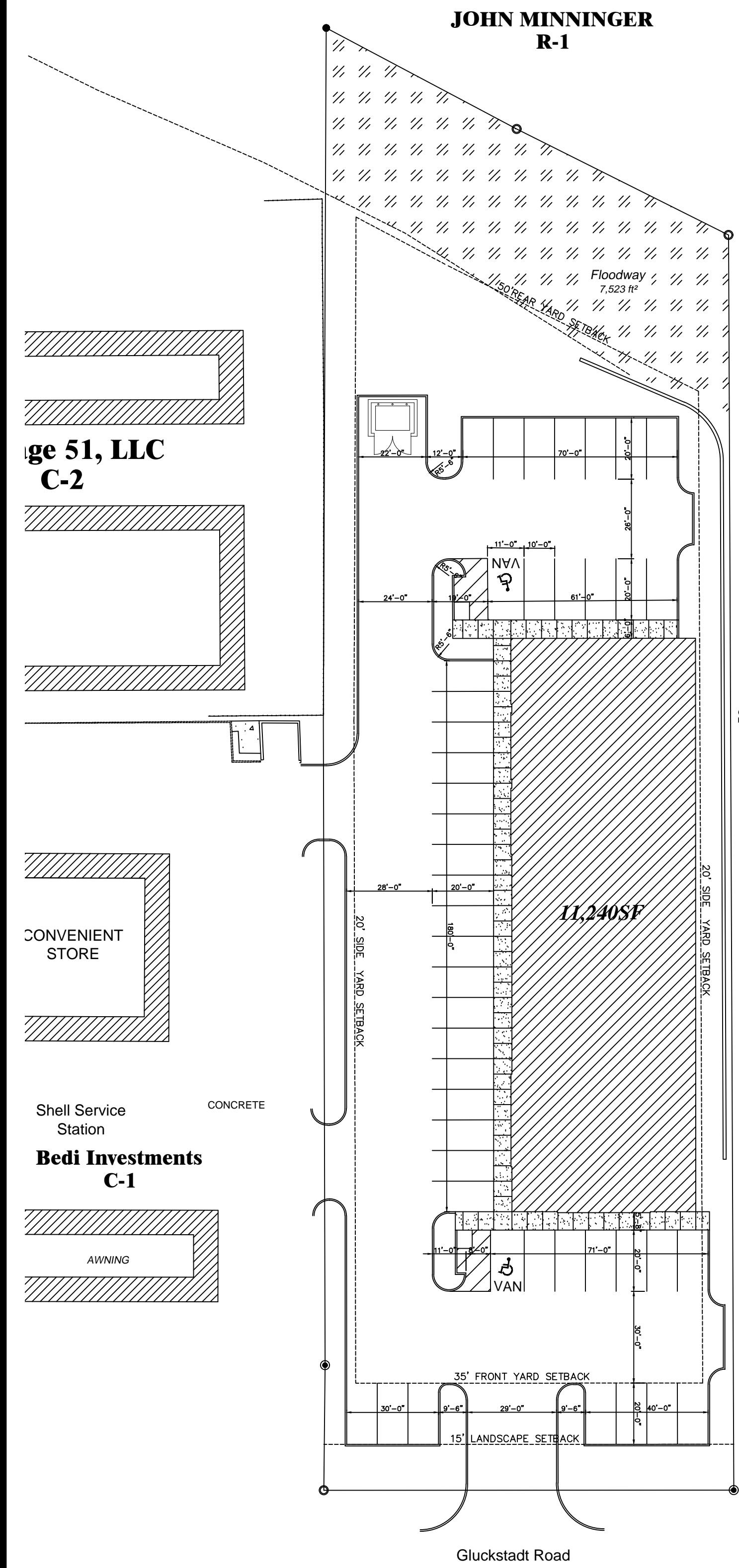
1 A1.0 FLOOR PLAN
SCALE: 3/32"=1'-0"



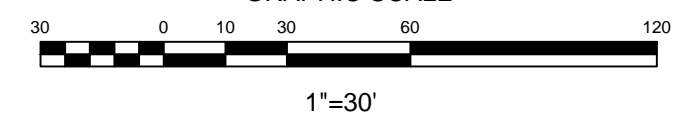
1 A1.0 LANDSCAPE PLAN
SCALE: 1"=30'-0"



1 A1.0 DUMPSTER ENCLOSURE
SCALE: NTS



1 A1.0 SITE PLAN
SCALE: 1"=30'-0"



ZONING C1

BUILDING USAGE = RETAIL

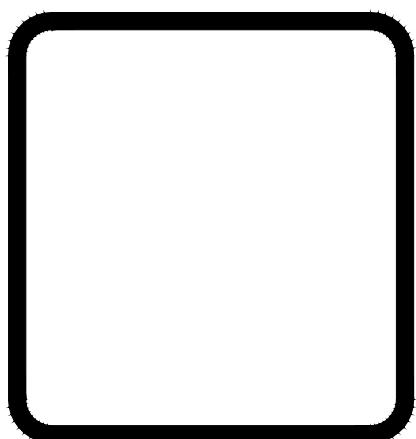
TOTAL SITE = 58,709SF
BUILDING SF = 11,240SF
LOT COVERAGE = 19%

REQUIRED PARKING
11,240SF / 225 = 50 SPACES

PROVIDED PARKING = 45 SPACES

OWNER 12/16/2024 3:35 PM 39272303 DWG FOR ARCH next to shell.dwg

REVISIONS	BY



WOOLDRIDGE & ASSOCIATES
 484 CHURCH RD. SUITE 700
 MADISON, MS 39110
 601-209-8888
 WOOLDRIDGEARCHITECTUREWAAO.COM

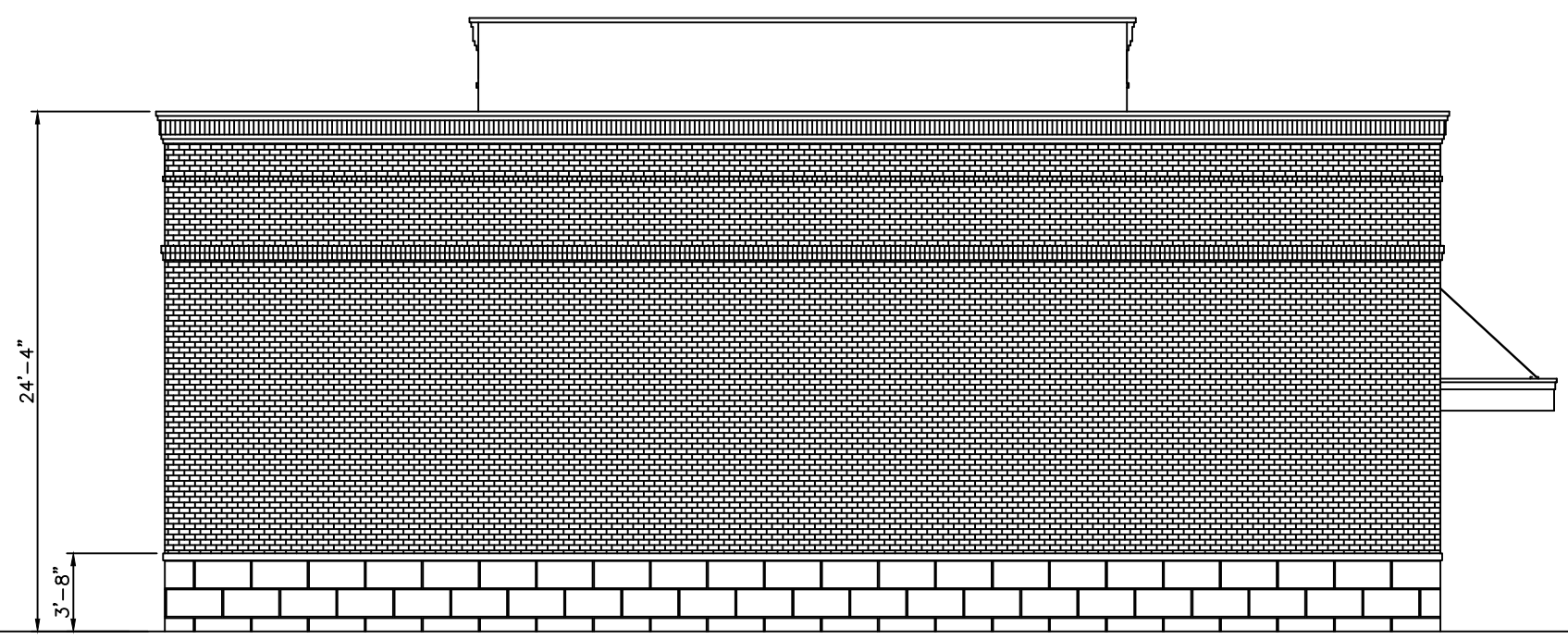
Gluckstadt Liquor
 Gluckstadt Road
 Gluckstadt, Mississippi

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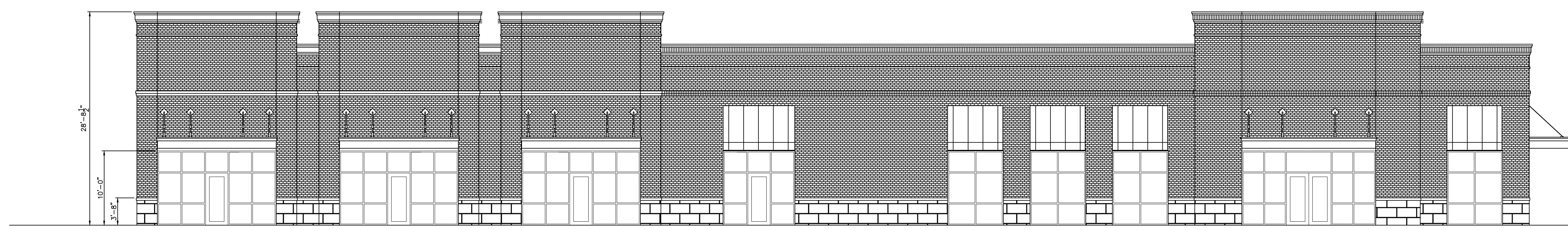
DRAWN
CHECKED
DATE 12/11/24
SCALE
JOB NO.
SHEET A3.0
OF SHEETS



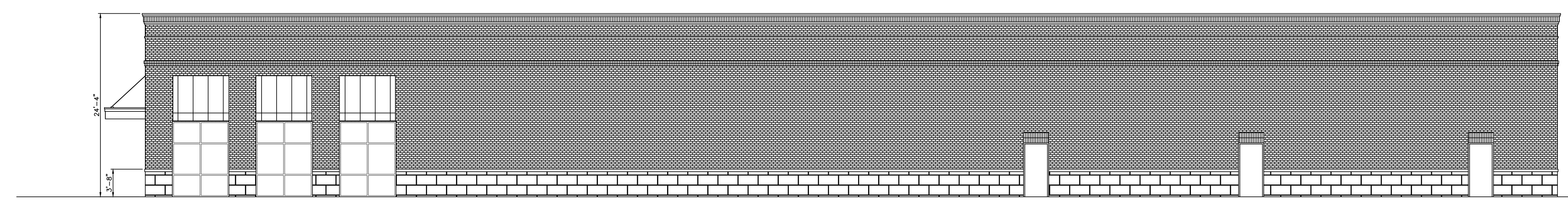
1 SOUTH ELEVATION
 A1.0
 SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
 A1.0
 SCALE: 1/8"=1'-0"



1 WEST ELEVATION
 A1.0
 SCALE: 1/8"=1'-0"



1 EAST ELEVATION
 A1.0
 SCALE: 1/8"=1'-0"

39272303 DWG FOR ARCH next to shell.dwg

OWNER 12/16/2024 3:35 PM

City of Gluckstadt

Application for Conditional Use

Subject Property Address: Gluckstadt Rd, Gluckstadt, Ms
Parcel #: 082D-20-002/03.00

Owner: bediinvestments
Address: _____

Applicant: bediinvestments
Address: _____

Phone #: 601-238-5918
E-Mail: bediinvestments@gmail.com

Phone #: 601-238-5918
E-Mail: bediinvestments@gmail.com

Current Zoning District: C-1
Acreage of Property (If applicable): 1.34 ac.
Use sought of Property: Retail / Liquor Sales

Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.



WOOLDRIDGE & ASSOCIATES
461 CHURCH RD. SUITE 700
MADISON, MS 39110

December 27, 2024

**William Hall
City of Gluckstadt
Planning Administrator**

**Re: Liquor Store Conditional Use Request
Gluckstadt Rd.
Gluckstadt, Ms**

William,

The existing store owned by the Bedi family, Germantown Wine and Spirits at 101 Lexington Drive, will be closed so the new proposed location can reopen as the same existing business just with a new location.

This property is currently zoned C-1. It must be rezoned to C-2 and have an approved Conditional Use for a liquor store.

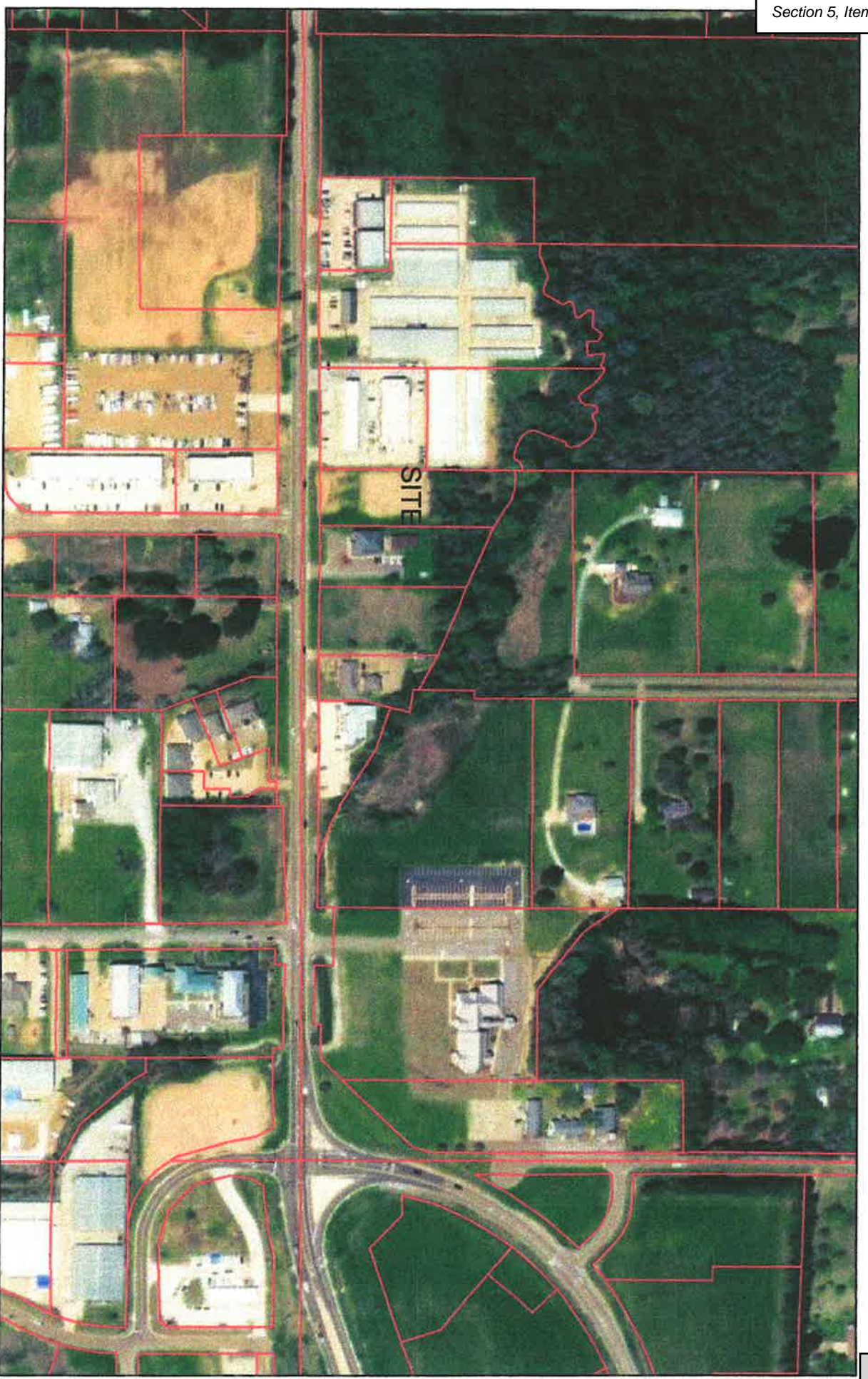
We are requesting a change in zoning from C-1 to C-2 and a request for a Conditional Use for a liquor store.

We are also requesting a parking variance of 5 parking spaces. The adjacent property is owned by the same Bedi Investments, LLC and has a total parking of 77 spaces. This allows for the opportunity of shared crossover parking.

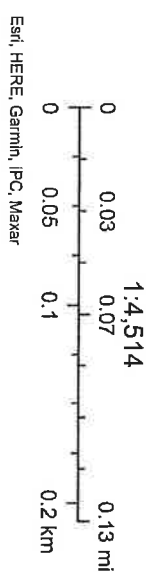
Thank you,

Daniel Wooldridge

Edit Title Here



12/12/2024, 4:13:41 PM
 Parcels



Re: Gluckstadt Road Liquor Store Building

From: dlucas@lucaseng.com (dlucas@lucaseng.com)

To: wooldridgearchitecture@yahoo.com

Date: Monday, December 30, 2024 at 11:33 AM CST

Please see replies to the comments in red and attached revised plans and calculations.

The following are comments from the Engineers:

1) Please provide detailed hydraulic/hydrologic calculations. The provided table does not show time of concentration, intensity reference, etc.

Information is provided in stormwater calculations PDF. PDF was modified to include requested information.

2) Detention is to be provided by the 48" storm drain system. Please provide calculations showing that the 48" pipes will provide sufficient volume to detain the additional runoff created by the development.

Information is provided in stormwater calculations PDF.

3) Clarification: Does flow through 6" orifice on modified SS-3 flow into the 15" outflow pipe?

Yes. Detail was revised to clarify intent.

4) Clarification: Is 24" extension with opening on SS-3 to prevent surcharge for drainage/detention system in case 6" orifice becomes clogged?

No. 24" is just a separation between 6" detaining orifice and 15" outlet pipe. Surcharge flow in case of clogging would be over orifice wall. Detail was revised to clarify intent.

5) Clarification: All inlets appear to be SS-3 or SS-3 modified. Why is the IG-1 grate MDOT standard detail for a median inlet provided? The SS-3 standard contains the dimensions for the grate of an SS-3. Is this for the SS-3 extension opening? If so, please show on detail.

IG-2 standard detail should have been used instead of IG-1 and is now a part of the plans. See note 3 on SS-3 detail.

6) Development does not appear to impact the pending floodway, but designer might consider showing pending floodway line (effective January 17, 2025) on plans for informational purposes. Pending floodway can be found at FEMA Map Service Center website.

Pending floodway line has been considered as a result of this comment. It appears that the new map will only help our design by slightly moving the floodway line north. The map was not available to print to scale to import into cad. We will wait for the full release of the map and reduce the north end of the retaining wall, if possible, before construction.

Don Lucas, P.E.
Principal



763 Clara Foote Road
 Braxton, MS 39044
 Tel. (601)720-3845

From: Daniel Wooldridge <wooldridgearchitecture@yahoo.com>
Sent: Friday, December 27, 2024 10:39 AM
To: Don Lucas <d Lucas@lucaseng.com>
Subject: Fw: Gluckstadt Road Liquor Store Building

The City has reviewed our drawings and there are some notes below. Can you help us answer their reviews?
 Thank you
 Daniel

----- Forwarded Message -----

From: William Hall <william.hall@gluckstadt.net>
To: Daniel Wooldridge <wooldridgearchitecture@yahoo.com>; Chris Buckner <chris.buckner@gluckstadt.net>
Cc: Bridgette Smith <bridgette.smith@gluckstadt.net>; Amber Trotter <amber.trotter@gluckstadt.net>
Sent: Thursday, December 19, 2024 at 04:56:18 PM CST
Subject: Gluckstadt Road Liquor Store Building

Good morning,

There are a few things we need to get in motion for the proposed Liquor Store Building on Gluckstadt Road.

1. For clarity, the existing store owned by the Bedi family, Germantown Wine and Spirits at 101 Lexington Drive, will be closed so the new proposed location can reopen as the same existing business just with a new location.
2. This property is currently zoned C-1. It must be rezoned to C-2 and have an approved Conditional Use for a liquor store. We can run all three concurrently on the same meeting. Rezone first, Conditional Use second, Site Plan third. There are some requirements of mail outs to surrounding property owners and such that will need to be done to complete the rezone application. We will provide a list of all things needed with the application.
3. There are insufficient parking spaces as designed. 50 are needed and only 45 provided. Please note there is a current project underway to widen Gluckstadt Rd. It is currently in the design phase and it is not known at this time if it will impact the space available at the street frontage side of the lot for parking. Please coordinate with the Public Works Department for information regarding that project.
4. Per the Landscape Ordinance; Trees shall be required at the minimum rate of one (1) natural shade tree for every ten parking spaces. The parking rows shall begin and terminate with a landscape island and no more than fifteen (15) parking spaces shall be permitted in a continuous row without being interrupted by a landscape island. Landscape islands shall be a minimum 200 sq. ft.
5. Color elevation renderings are required.

The following are comments from the Engineers:

- 1) Please provide detailed hydraulic/hydrologic calculations. The provided table does not show time of concentration, intensity reference, etc.
- 2) Detention is to be provided by the 48" storm drain system. Please provide calculations showing that the 48" pipes will provide sufficient volume to detain the additional runoff created by the development.
- 3) Clarification: Does flow through 6" orifice on modified SS-3 flow into the 15" outflow pipe?
- 4) Clarification: Is 24" extension with opening on SS-3 to prevent surcharge for drainage/detention system in case 6" orifice becomes clogged?
- 5) Clarification: All inlets appear to be SS-3 or SS-3 modified. Why is the IG-1 grate MDOT standard detail for a median inlet provided? The SS-3 standard contains the dimensions for the grate of an SS-3. Is this for the SS-3 extension

opening? If so, please show on detail.

6) Development does not appear to impact the pending floodway, but designer might consider showing pending floodway line (effective January 17, 2025) on plans for informational purposes. Pending floodway can be found at FEMA Map Service Center website.

Please make any revisions necessary and submit three new hard copies (minimum 24x36 sizing) and digital copies for review.

Thank you,



William R. Hall
Planning and Zoning Administrator
Office: (769) 567-2314
Fax: (769) 567-2305

 Gluckstadt Retail Stormwater Calcs 12-17-24.pdf
698.4kB

 GLUCKSTADT RETAIL 12-16-24.pdf
2.7MB

7020 0090 0002 1645 4181

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 103 Minninger Blvd
 Madison, MS 39110

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 Sturdivant Empire, LLC
 1010 Gluckstadt Rd
 Madison, MS 39110

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Total Postage and Fees	\$9.68

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 Storage Depot, LLC
 1048 Gluckstadt Rd
 Madison, MS 39110

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 Bedi Investments, LLC
 1054 Gluckstadt Rd
 Madison, MS 39110

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Postage \$0.73

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City, State, ZIP+4®
 Madison, MS 39110

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Postage \$0.73

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 Lexington Place LLC

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 Madison, MS 39110

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Extra Services & Fees (check box, add fee as appropriate)

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
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Postage \$0.73

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 Deepwood Office Center, LLC

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 City, State, ZIP+4®
 Madison, MS 39110

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City of Gluckstadt

Application for Conditional Use

Subject Property Address: 137, Yandell - Rd. Canton MS 39046
Parcel #: _____

Owner: RAJINDER SINGH
Address: 150, BIENVILLE DRIVE
MADISON, MS - 39110

Applicant: Moises Almanza
Address: 407 Shady brook Rd.
Ridgeland MS

Phone #: 601-291-1386
E-Mail: Kp.Fuel24@gmail.com

Phone #: 6015213451
E-Mail: muy-roja@hotmail.com

Current Zoning District: _____
Acreage of Property (If applicable): _____
Use sought of Property: _____

Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.


Applicant Signature

12/19/24
Date


Property Owner Signature

12/19/24
Date

Brother Tacos
137 Yandell Road
Gluckstadt Ms 39046
601-708-6337
12/19/2025

To whom it may concern,

I hope this message finds you well. I am writing to request an expansion of my labor hours to accommodate a client request. They have expressed a preference for visiting our food services after their labor hours (5:30 PM) and I believe this would be a great opportunity to further enhance their experience with us.

Given that this request aligns with our goal of providing excellent service and meeting client needs, I feel that extending my hours will allow me to better assist in ensuring a smooth and enjoyable visit for this customer. This change would also enable us to capture potential business.

If you have any concern please reach out to me at 601-708-6337

Thank you!

A handwritten signature in black ink, appearing to read "Alberto Lopez", written in a cursive style.

COMMERCIAL LEASE

This Lease Agreement (this "Lease") is dated as of ~~May 16~~ ^{August 14,} 2024, by and between yandell shell llc ("Landlord"), and victor sanchez ("Tenant"). The parties agree as follows:

PREMISES. Landlord, in consideration of the lease payments provided in this Lease, leases to Tenant front right corner for food truck (the "Premises") located at 137 yandell road, canton, MS 39046.

TERM. The lease term will begin on 09/01/24 and will terminate on 08/31/25.

LEASE PAYMENTS. Tenant shall pay to Landlord monthly installments of \$1,500.00, payable in advance on the first day of each month. Lease payments shall be made to the Landlord at 137 yandell road, canton, Mississippi 39046. The payment address may be changed from time to time by the Landlord.

SECURITY DEPOSIT. At the time of the signing of this Lease, Tenant shall pay to Landlord, in trust, a security deposit of \$1,500.00 to be held and disbursed for Tenant damages to the Premises (if any) as provided by law.

POSSESSION. Tenant shall be entitled to possession on the first day of the term of this Lease, and shall yield possession to Landlord on the last day of the term of this Lease, unless otherwise agreed by both parties in writing. At the expiration of the term, Tenant shall remove its goods and effects and peaceably yield up the Premises to Landlord in as good a condition as when delivered to Tenant, ordinary wear and tear excepted.

USE OF PREMISES. Tenant may use the Premises only for food truck The Premises may be used for any other purpose only with the prior written consent of Landlord, which shall not be unreasonably withheld. Tenant shall notify Landlord of any anticipated extended absence from the Premises not later than the first day of the extended absence.

PROPERTY INSURANCE. Tenant shall maintain casualty insurance on the Premises in an amount not less than \$0.00. Landlord shall be named as an additional insured in such policies. Tenant shall deliver appropriate evidence to Landlord as proof that adequate insurance is in force issued by companies reasonably satisfactory to Landlord. Landlord shall receive advance written notice from the insurer prior to any termination of such insurance policies. Tenant shall also maintain any other insurance which Landlord may reasonably require for the protection of Landlord's interest in the Premises. Tenant is responsible for maintaining casualty insurance on its own property.

RENEWAL TERMS. This Lease shall automatically renew for an additional period of 2 months per renewal term, unless either party gives written notice of termination no later than 1 month days prior to the end of the term or renewal term. The lease terms during any such renewal term shall be the same as those contained in this Lease except that the lease installment payments shall be \$1,500.00 per month.

TAXES. Taxes attributable to the Premises or the use of the Premises shall be allocated as follows:

REAL ESTATE TAXES. Landlord shall pay all real estate taxes and assessments for the Premises.

PERSONAL TAXES. Landlord shall pay all personal taxes and any other charges which may be levied against the Premises and which are attributable to Tenant's use of the Premises, along with all sales and /or use taxes (if any) that may be due in connection with lease payments.

TERMINATION UPON SALE OF PREMISES. Notwithstanding any other provision of this Lease, Landlord may terminate this lease upon 1 month days' written notice to Tenant that the Premises have been sold.

DEFAULTS. Tenant shall be in default of this Lease if Tenant fails to fulfill any lease obligation or term by which Tenant is bound. Subject to any governing provisions of law to the contrary, if Tenant fails to cure any financial obligation within 5 days (or any other obligation within 10 days) after written notice of such default is provided by Landlord to Tenant, Landlord may take possession of the Premises without further notice (to the extent permitted by law), and without prejudicing Landlord's rights to damages. In the alternative, Landlord may elect to cure any default and the cost of such action shall be added to Tenant's financial obligations under this Lease. Tenant shall pay all costs, damages, and expenses (including reasonable attorney fees and expenses) suffered by Landlord by reason of Tenant's defaults. All sums of money or charges required to be paid by Tenant under this Lease shall be additional rent, whether or not such sums or charges are designated as "additional rent". The rights provided by this paragraph are cumulative in nature and are in addition to any other rights afforded by law.

HOLDOVER. If Tenant maintains possession of the Premises for any period after the termination of this Lease ("Holdover Period"), Tenant shall pay to Landlord lease payment(s) during the Holdover Period at a rate equal to the normal payment rate set forth in the Renewal Terms paragraph.

CUMULATIVE RIGHTS. The rights of the parties under this Lease are cumulative, and shall not be construed as exclusive unless otherwise required by law.

NON-SUFFICIENT FUNDS. Tenant shall be charged \$200.00 for each check that is returned to Landlord for lack of sufficient funds.

ACCESS BY LANDLORD TO PREMISES. Subject to Tenant's consent (which shall not be unreasonably withheld), Landlord shall have the right to enter the Premises to make inspections, provide necessary services, or show the unit to prospective buyers, mortgagees, tenants or workers. However, Landlord does not assume any liability for the care or supervision of the Premises. As provided by law, in the case of an emergency, Landlord may enter the Premises without Tenant's consent. During the last three months of this Lease, or any extension of this Lease, Landlord shall be allowed to display the usual "To Let" signs and show the Premises to prospective tenants.

INDEMNITY REGARDING USE OF PREMISES. To the extent permitted by law, Tenant agrees to indemnify, hold harmless, and defend Landlord from and against any and all losses, claims, liabilities, and expenses, including reasonable attorney fees, if any, which Landlord may suffer or incur in connection with Tenant's possession, use or misuse of the Premises, except Landlord's act or negligence.

DANGEROUS MATERIALS. Tenant shall not keep or have on the Premises any article or thing of a dangerous, flammable, or explosive character that might substantially increase the danger of fire on the Premises, or that might be considered hazardous by a responsible insurance company, unless the prior written consent of Landlord is obtained and proof of adequate insurance protection is provided by Tenant to Landlord.

COMPLIANCE WITH REGULATIONS. Tenant shall promptly comply with all laws, ordinances, requirements and regulations of the federal, state, county, municipal and other authorities, and the fire insurance underwriters. However, Tenant shall not by this provision be required to make alterations to the exterior of the building or alterations of a structural nature.

MECHANICS LIENS. Neither the Tenant nor anyone claiming through the Tenant shall have the right to file mechanics liens or any other kind of lien on the Premises and the filing of this Lease constitutes notice that such liens are invalid. Further, Tenant agrees to (1) give actual advance notice to any contractors,

subcontractors or suppliers of goods, labor, or services that such liens will not be valid, and (2) take whatever additional steps that are necessary in order to keep the premises free of all liens resulting from construction done by or for the Tenant.

DISPUTE RESOLUTION. The parties will attempt to resolve any dispute arising out of or relating to this Agreement through friendly negotiations amongst the parties. If the matter is not resolved by negotiation, the parties will resolve the dispute using the below Alternative Dispute Resolution (ADR) procedure.

Any controversies or disputes arising out of or relating to this Agreement will be submitted to mediation in accordance with any statutory rules of mediation. If mediation does not successfully resolve the dispute, then the parties may proceed to seek an alternative form of resolution in accordance with any other rights and remedies afforded to them by law.

ASSIGNABILITY/SUBLETTING. Tenant may not assign or sublease any interest in the Premises, nor effect a change in the majority ownership of the Tenant (from the ownership existing at the inception of this lease), nor assign, mortgage or pledge this Lease, without the prior written consent of Landlord, which shall not be unreasonably withheld.

NOTICE. Notices under this Lease shall not be deemed valid unless given or served in writing and forwarded by mail, postage prepaid, addressed as follows:

LANDLORD:

yandell shell llc
137 yandell road
canton, Mississippi 39046

TENANT:

victor sanchez
137 yandell road
canton, MS 39046

Such addresses may be changed from time to time by any party by providing notice as set forth above. Notices mailed in accordance with the above provisions shall be deemed received on the third day after posting.

GOVERNING LAW. This Lease shall be construed in accordance with the laws of the State of Mississippi.

ENTIRE AGREEMENT/AMENDMENT. This Lease Agreement contains the entire agreement of the parties and there are no other promises, conditions, understandings or other agreements, whether oral or written, relating to the subject matter of this Lease. This Lease may be modified or amended in writing, if the writing is signed by the party obligated under the amendment.

SEVERABILITY. If any portion of this Lease shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this Lease is invalid or unenforceable, but that by limiting such provision, it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.

WAIVER. The failure of either party to enforce any provisions of this Lease shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Lease.

REQUEST FOR DIMENSIONAL VARIANCE
APPLICATION

Subject Property Address: 342 Old Jackson Rd., Madison 39110
 Owner: Sam Martin (The Martin Firm) Applicant: Sam Martin
 Address: 513 N. State St. Suite 200 Jackson, MS 39201 Address: 513 N. State St., Suite 200 Jackson, MS 39201
 Phone No. 601-624-2678 Phone No. 601-624-2678
 Current Zoning District: C-2

Requirements of Applicant:

1. Letter stating reason for requested dimensional variance.
2. Copy of the written legal description.
3. Site plan, building elevations and floor plan drawings on 8.5" x 11".
4. Four complete sets of working plans.
5. Proposed signage to include color and size.
6. \$250.00 fee required for processing.

Requirements for Granting Variances: (Section 3004.01 – Zoning Ordinance)

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.
- (b). Applicant shall demonstrate that literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or buildings in the same district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

Sam Martin
Applicant Signature

12/18/2024
Date

Sam Martin
Property Owner Signature

12/18/2024
Date

IN THE CITY OF GLUCKSTADT, MISSISSIPPI

**THE MARTIN FIRM PLLC AND
GLUCKSTADT OFFICE PARK LLC**

PETITIONERS

PETITION FOR REQUEST FOR DIMENSIONAL VARIANCE

Comes Now, The Martin Firm PLLC and Gluckstadt Office Park LLC, hereinafter referred to as “Petitioners”, and files this Petition for Request for Dimensional Variance and in support thereof, Petitioners specify the following:

FACTS

1. The subject property address is 342 Old Jackson Road, Madison, MS 39110.
2. The current property is zoned C-2 Highway Commercial District.
3. A copy of the legal descriptions for the subject properties is attached as Exhibit A. A copy of the Site Plan and floor plan drawings are attached as Exhibit B.
4. The subject property is currently 2.56 acres and has a residential home on the property. Upon information and belief, the home and its outbuildings have been on the property for more than fifty years.
5. At this time, the 2.56 acre parcel contains a home and two buildings that are adjacent to the home. Petitioners are purchasing parcels that will be separated from the main 2.56 acres for purposes of development. As evident from the legal descriptions of the subject properties, one parcel contains the original home and another building and consists of .95 acres (referred to as “Tract 3” in Exhibit A). Tract 1 in Exhibit A contains a shop and consists of .52 acres. Tract 2 consists of .99 acres and is connected to Old Jackson Road through an Easement. As detailed in the Site Plan

attached as Exhibit B, the existing buildings on Tract 1 and Tract 3 will be renovated and converted into office space. Commercial buildings will be built on Tract 2.

6. Tract 1 is 74.29 feet wide. Tract 2 is 161.11 feet wide. Tract 3 is 134.95 feet wide.

VARIANCE REQUEST

This petition is submitted on behalf of Petitioners seeking a dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.03, which requires a minimum lot width of 200 feet for Commercial C-2 parcels. The petitioner respectfully requests the Board to grant the variance for these Tracts based on the following grounds detailed herein.

Under Mississippi law and according to Section 3004.01 of Gluckstadt’s Zoning Ordinance, a variance shall not be granted unless the applicant demonstrates:

“A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district.

B. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

C. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.”

In regards to Section 3004.01(A), as detailed above, the subject properties contain existing structures that have been on the properties for half a century. The properties also contain many mature oak, willow, maple, and pine trees that are unique to this district of the City. The

property is narrow and almost twice as long east to west than north and south along the roadway. These conditions are peculiar and not applicable to the other areas in this district.

The requirements of Section 3004.01(B) are also satisfied as literal interpretation of the minimum yard requirements would prohibit the Petitioners from being able to use almost all the property for its intended commercial purpose, and as such, would deprive them of the rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

In regards to Section 3004.01(C), Section 17-1-9 of Mississippi Code of 1972 provides that zoning regulations “shall be made with reasonable consideration, among other things, to the character of the district and its peculiar suitability for particular uses, and with a view to conserving the value of buildings, and encouraging the most appropriate use of land throughout such municipality.” Petitioners desire to use their parcels in a manner suitable to its subject zoning and with an eye towards conserving the existing buildings and tree cover. Upon information and belief, many of the subject properties within the district do not meet the minimum yard requirement of the Ordinance. While many of these properties may have been “grandfathered” in when the City of Gluckstadt was incorporated in 2021, granting this variance would not provide a special privilege that is denied by this Ordinance to other properties in the same district.

The requested variance constitutes the minimum allowable deviation from the dimensional regulations to make possible the responsible use of the land, buildings and structures existing on the property. Without a variance for the subject properties, the only other development that could occur on the property would require the demolition of three existing buildings that have been on the property for generations, along with cutting down and grading of many “legacy” trees that provide unique and valuable tree cover in the subject district. This

would not be feasible for the Petitioners or many potential developers and would most likely result in an area that is zoned for commercial use, never achieving its full potential for development and impact in the local community. Simply put, this variance allows the property to be developed to its highest and best use, while providing office space and other commercial buildings that are currently lacking in the City.

The Mississippi Supreme Court has stated that “the variance or exception should not be granted unless the proposed use of the property is within the *spirit* of the zoning regulations.” *Westminster Presbyterian Church v. Jackson*, 252 Miss. 495, 176 So.2d 267, 272 (Miss. 1965)(emphasis added). The proposed development of these parcels will satisfy the spirit of Gluckstadt’s zoning regulations and will be the subject property’s best and most efficient use. By granting the requested variance, the property can retain some of its original characteristics that make this area of Gluckstadt unique, while providing new commercial development and updating and modernizing the buildings on the property to fit the district.

The granting of this dimensional variance will be in harmony with the general purpose and intent of Gluckstadt’s Zoning Ordinance and will not be injurious to the neighborhood or otherwise detrimental to the public welfare. The “neighborhood” surrounding the subject property consists of properties for many miles around that are zoned I-2 (Heavy Industrial District) and C-2 (Highway Commercial District). The properties that are immediately adjacent to the subject property are zoned A-1 (Agricultural District). However, upon information and belief, and based off Gluckstadt’s growth patterns, these properties will be zoned for a commercial purpose eventually and such action would be the properties highest and best use considering its location and adjacent properties. Additionally, the granting of this dimensional variance will not be detrimental to the public welfare as the proposed development of the

property will consist of smaller offices and retail uses and will have less of an impact on traffic and road safety than other uses allowed in C-2 Commercial districts.

CONCLUSION

Based on the foregoing, the petitioner respectfully requests that the Board grant the dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.03, which requires a minimum lot width of 200 feet for Commercial C-2 parcels, for the subject parcels.

Respectfully submitted, this the 18th day of December, 2024.

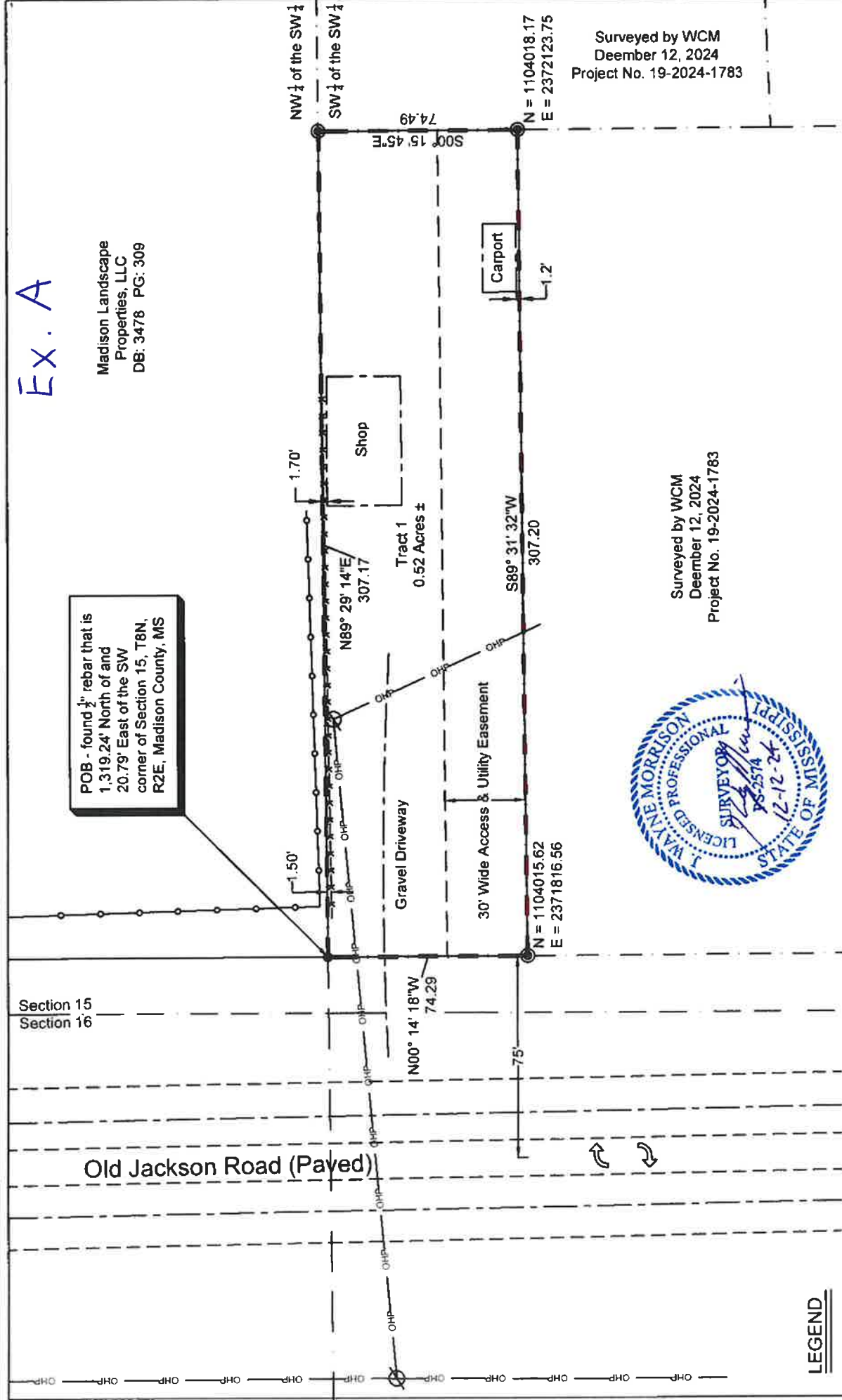
For Petitioners:

By: 
Samuel C. Martin [MSB #105829]
The Martin Firm PLLC
513 North State Street, Suite. 200, Jackson, MS 39201
P.O. Box 161, Flora, MS 39071
(601) 624-2678
Sam@MartinFirmMS.com

EX. A

Madison Landscape Properties, LLC
DB: 3478 PG: 309

POB - found $\frac{1}{2}$ " rebar that is 1,319.24' North of and 20.79' East of the SW corner of Section 15, T8N, R2E, Madison County, MS



Surveyed by WCM
Deember 12, 2024
Project No. 19-2024-1783

Surveyed by WCM
Deember 12, 2024
Project No. 19-2024-1783



Section 5, Item C)

DRAWN BY: CHUCK MCGINTY
DATE: 12/24/2024
PARTY CHIEF: JAKE FL
SIC - MS WEST
DERIVED BY: GPS-RTK OBSERV
JOB NUMBER: 19-2
CLASS "B"
FIELD WORK: 11
WILLIAMS, CLARK & MORRIS
CONSULTING ENGINEERS & SUR
(662) 746-1863
P.O. BOX 567 215 SOUTH MAIN
YAZOO CITY, MISSISSIPPI

MISSISSIPPI STATE PLANE COORDINATE
SYSTEM WEST ZONE, NAD83
SCALE FACTOR: 0.99995653
CONVERGENCE ANGLE: 00° 07' 55"



SURVEY PLAT PREPARED FOR:
TYLER GOOLSBY

SEC. 15, T-8-N, R-2-E
MADISON COUNTY, MISSISSIPPI

LEGEND

- POB POINT OF BEGINNING
- SIP SET IRON PIN 1/2" X 18" REBAR
- PROPERTY CORNERS - IRON PIN SET
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OHP OVER HEAD POWER
- RIGHT OF WAY
- PROPERTY LINE 1

I hereby certify that this survey meets the standards for a Class 'B' survey found in the standards of Practice For Surveying, Appendix 'A'

Tyler Goolsby

Tract 1

A tract or parcel of land containing 0.52 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found ½ inch rebar that is 1,319.24 feet North of and 20.79 feet East of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 89 degrees 29 minutes 14 seconds East for a distance of 307.17 feet to a set ½ inch rebar;

Thence run South 00 degrees 15 minutes 45 seconds East for a distance of 74.49 feet to a set ½ inch rebar;

Thence run South 89 degrees 31 minutes 32 seconds West for a distance of 307.20 feet to a set ½ inch rebar on the East Right of Way of Old Jackson Road;

Thence run North 00 degrees 14 minutes 18 seconds West, along said Right of Way, for a distance of 74.29 feet, back to the POINT OF BEGINNING.

Also: there is a 30 feet wide access/utility easement reserved along the Southern 30 feet of the above described tract to benefit a 0.99 acre tract on the East end of the above described tract.

Note: All set ½ inch rebars have a plastic cap that has C.O.A. S-64 engraved in it.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.
Engineers and Surveyors
213 South Main Street
Yazoo City, MS 39194
662-746-1863

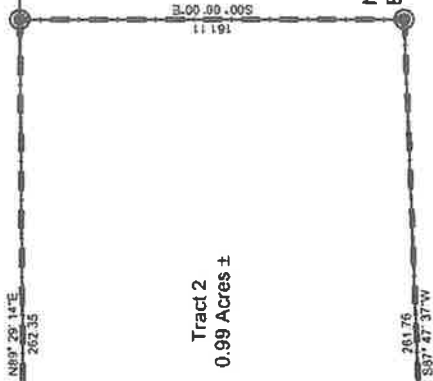
Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.



Madison Landscape Properties, LLC
 DB: 3478 PG: 309

N = 1104092.66
 E = 2372123.41

NW 1/4 of the SW 1/4
 SW 1/4 of the SW 1/4



Tract 2
 0.99 Acres ±

Surveyed by WCM
 December 12, 2024
 Project No. 19-2024-1783

Shop

Carport

30' Width Access/Utility Easement



House

POB - found 3/4" rebar that is 328.73' East of and 1,153.15' North of the SW corner of Section 15, T8N, R2E, Madison County, MS

Christy Stanley & John Dorsey
 DB: 3508 PG: 910

LEGEND

- POB POINT OF BEGINNING
- SET IRON PIN 1/2" X 18" REBAR
- PROPERTY CORNERS - IRON PIN SET
- PROPERTY CORNERS - IRON PIN FOUND
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OVER HEAD POWER
- ROW RIGHT OF WAY
- PROPERTY LINE 2



I hereby certify that this survey meets the standards for Class 'B' survey found in the Standards of Practice For Surveying, Appendix 'A' x

Section 5, Item C)

DRAWN BY: CHUCK MCGINTY
 DATE: 10/24/2024
 PARTY CHIEF: JAKE FLETCHER
 SPC - MS WEST
 DERIVED BY: GIPS-RTK OBSERVATION
 JOB NUMBER: 19-2024-1783
 CLASS "B" SURVEY
 FIELD WORK: 10/24/2024

WILLIAMS, CLARK & MORRISON
 CONSULTING ENGINEERS & SURVEYORS
 (662) 746-1863
 P.O. BOX 567 213 SOUTH MAIN
 YAZOO CITY, MISSISSIPPI

MISSISSIPPI STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83
 SCALE FACTOR: 0.99998653
 CONVERGENCE ANGLE: 00° 07' 55\"/>

SURVEY PLAT PREPARED FOR:
 TYLER GOOLSBY

SEC. 15, T-8-N, R-2-E
 MADISON COUNTY, MISSISSIPPI

Section 15

Section 16

Old Jackson Road (Paved)

75' ROW

Tyler Goolsby

Tract 2

A tract or parcel of land containing 0.99 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found 1/2 inch rebar that is 328.73 feet East of and 1,153.15 feet North of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 00 degrees 15 minutes 45 seconds West for a distance of 168.84 feet to a set 1/2 inch rebar;

Thence run North 89 degrees 29 minutes 14 seconds East for a distance of 262.35 feet to a set 1/2 inch rebar;

Thence run South 00 degrees 00 minutes 00 seconds east for a distance of 161.11 feet to a set 1/2 inch rebar;

Thence run South 87 degrees 47 minutes 37 seconds West for a distance of 261.76 feet, back to the POINT OF BEGINNING.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.
Engineers and Surveyors
213 South Main Street
Yazoo City, MS 39194
662-746-1863

Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.



NW 1/4 of the SW 1/4
SW 1/4 of the SW 1/4

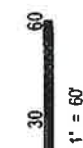
Surveyed by WCM
December 12, 2024
Project No. 19-2024-1783

Surveyed by WCM
December 12, 2024
Project No. 19-2024-1783

POB - found 3/4" rebar that is
328.73' East of and
1,153.15' North of the SW
corner of Section 15, T8N,
R2E, Madison County, MS

Section 5, Item C)

DRAWN BY: CHUCK MCGINTY
DATE: 12/12/2024
PARTY CHIEF: JAKE FLE
SPC - MS WEST
DERIVED BY: CFS-RTK OBSERVA
JOB NUMBER: 19-20
CLASS "B" S
FIELD WORK: 10/1
WILLIAMS, CLARK & MORRISON
CONSULTING ENGINEERS & SURV
P.O. BOX 567 213 SOUTH MAIN
YAZOO CITY, MISSISSIPPI



MISSISSIPPI STATE PLANE COORDINATE
SYSTEM WEST ZONE, NAD83
SCALE FACTOR: 0.99995653
CONVERGENCE ANGLE: 00° 07' 55"

Christy Stanley
& John Dorsey
DB: 3508 PG: 910



GRID
SEC. 15, T-8-N, R-2-E
MADISON COUNTY, MISSISSIPPI

SURVEY PLAT PREPARED FOR:
TYLER GOOLSBY

LEGEND

- POB POINT OF BEGINNING
- SIP SET IRON PIN 1/2" X 16" REBAR
- PROPERTY CORNERS - IRON PIN SET
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OHP OVER HEAD POWER
- ROW RIGHT OF WAY
- PROPERTY LINE 3

I hereby certify that this survey meets the
standards for a Class 'B' survey found in the
standards of Practice For Surveying, Appendix 'A'

Tyler Goolsby

Tract 3

A tract or parcel of land containing 0.95 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found 1/2 inch rebar that is 328.73 feet East of and 1,153.15 feet North of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 00 degrees 15 minutes 45 seconds West for a distance of 94.35 feet to a set 1/2 inch rebar;

Thence run South 89 degrees 31 minutes 32 seconds West for a distance of 307.20 feet to a set 1/2 inch rebar on the Easterly Right of Way of Old Jackson Road;

Thence run South 00 degrees 10 minutes 06 seconds East along said Right of Way for a distance of 134.96 feet to a found 1/2 inch pipe;

Thence run North 89 degrees 31 minutes 32 seconds East for a distance of 307.42 feet to a found 1/2 inch rebar;

Thence run North 00 degrees 15 minutes 45 seconds West for a distance of 40.61 feet back to the POINT OF BEGINNING.

Note: All set 1/2 inch rebars have a plastic cap that has C.O.A. S-64 engraved in it.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.
Engineers and Surveyors
213 South Main Street
Yazoo City, MS 39194
662-746-1863

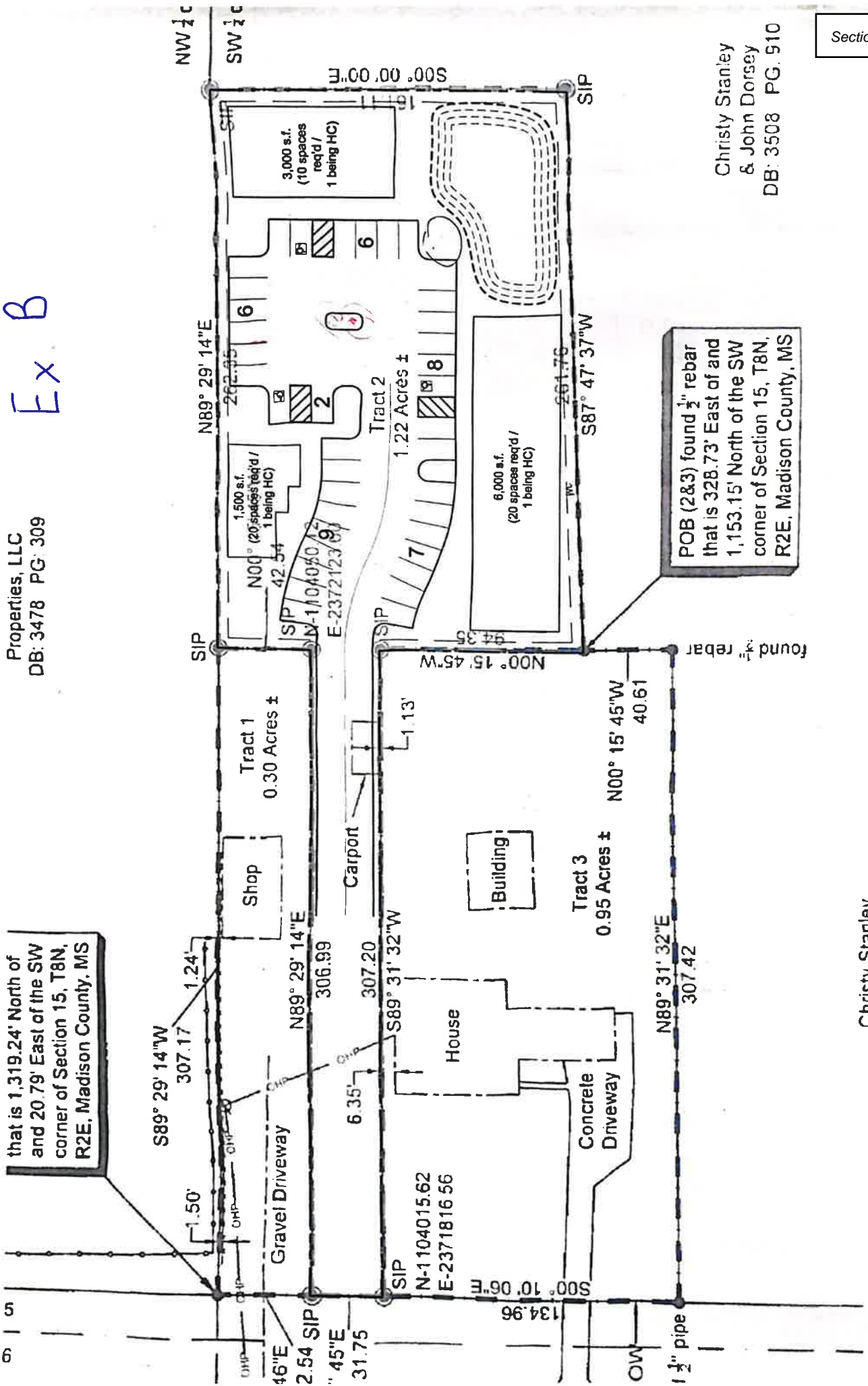
Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.



Ex B

Properties, LLC
DB: 3478 PG. 309

that is 1,319.24' North of
and 20.79' East of the SW
corner of Section 15, T8N,
R2E, Madison County, MS



POB (2&3) found 1/2" rebar
that is 328.73' East of and
1,153.15' North of the SW
corner of Section 15, T8N,
R2E, Madison County, MS

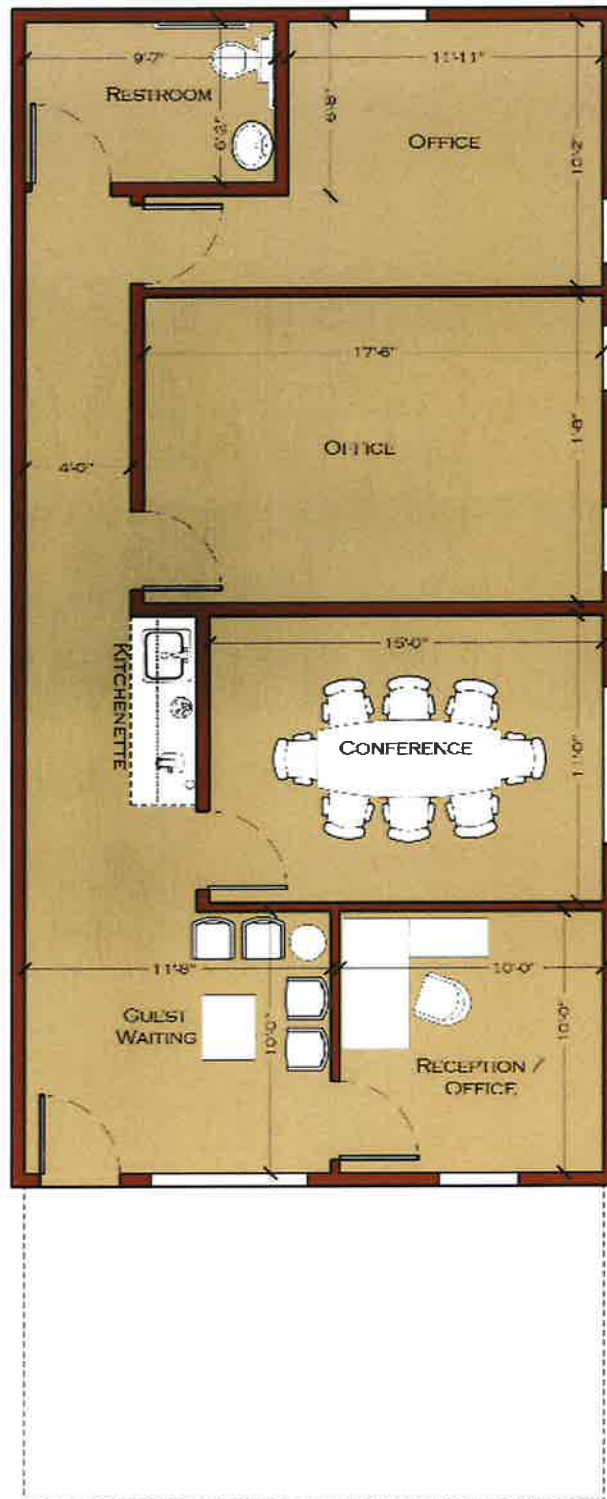
Christy Stanley
& John Dorsey
DB: 3508 PG. 910

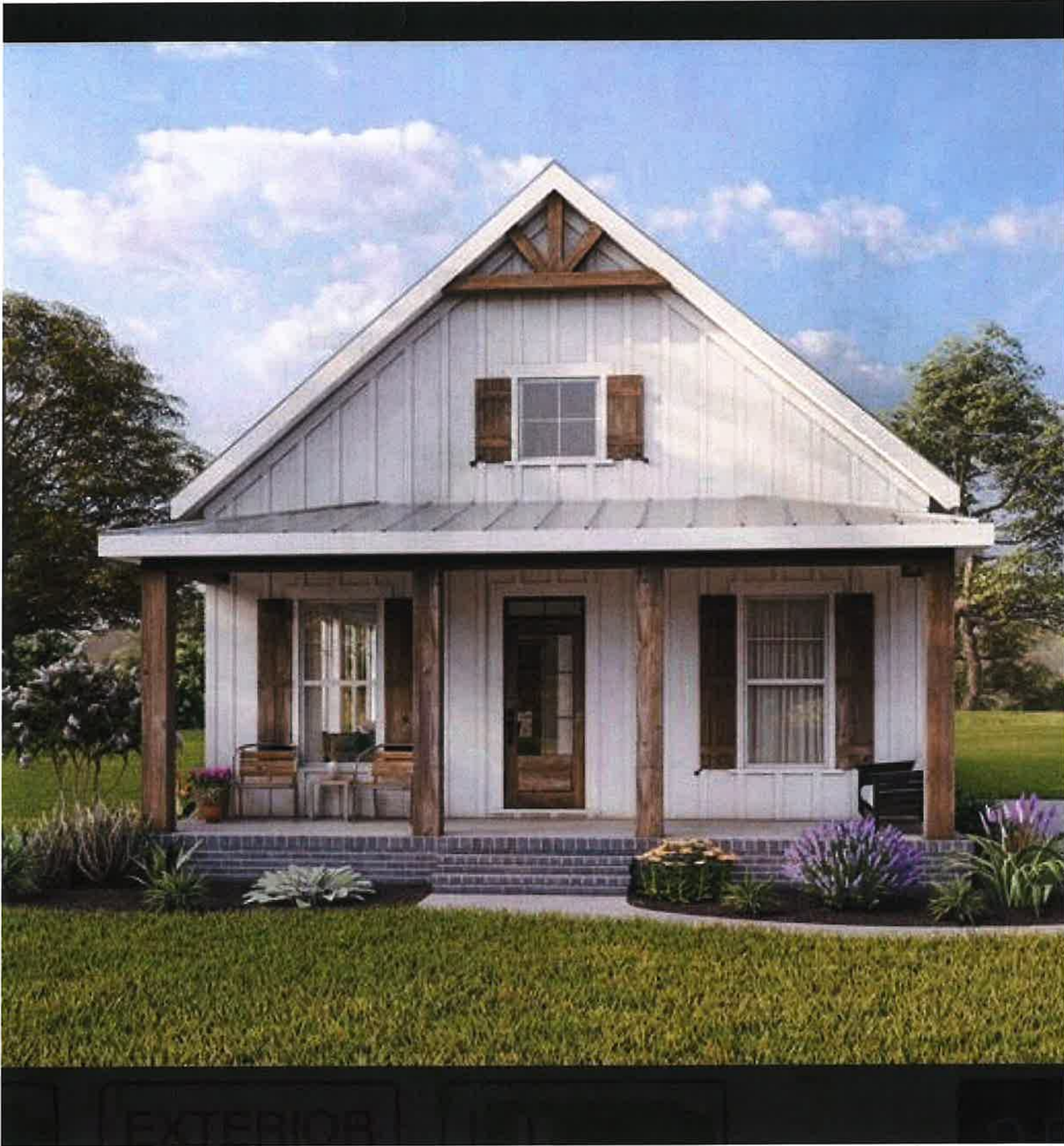
Section 5, Item C)

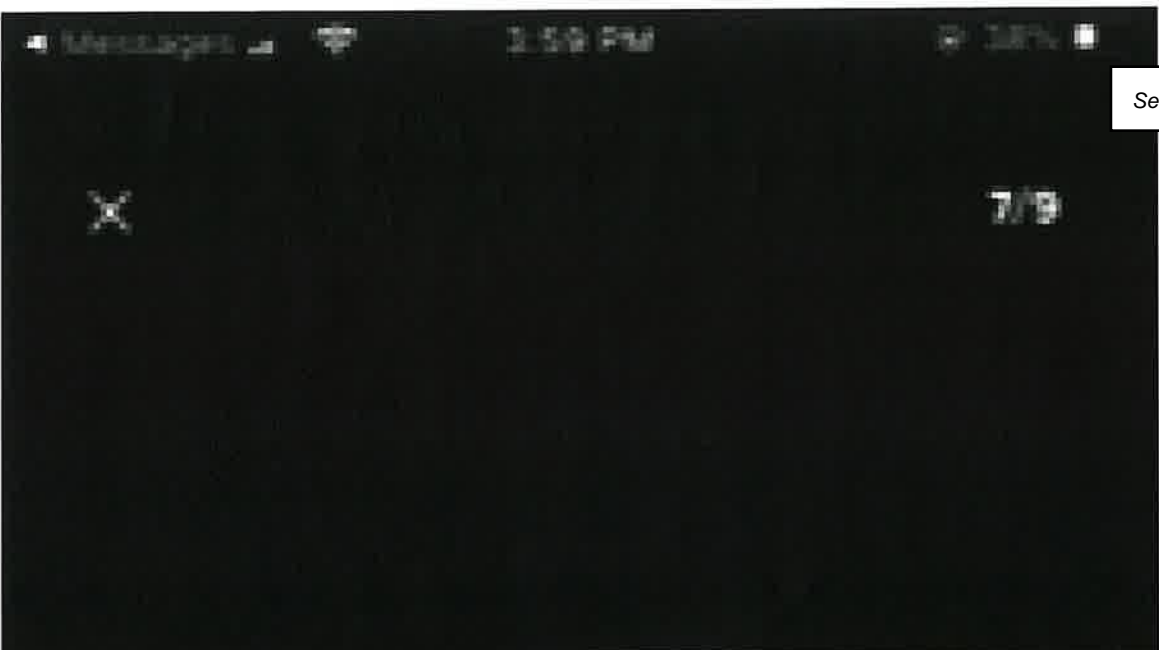
Christy Stanley

Proposed Floor plan and design for Building on Tract 1

Section 5, Item C)







Section 5, Item C)





**REQUEST FOR DIMENSIONAL VARIANCE
APPLICATION**

Subject Property Address: 342 Old Jackson Rd., Madison, MS 39110
 Owner: Gluckstadt Office Park LLC Applicant: Gluckstadt Office Park LLC
 Address: P.O. Box 161 Address: P.O. Box 161
Flora, MS 39071 Flora, MS 39071
 Phone No. 601-624-2678 Phone No. 601-624-2678
 Current Zoning District: C2

Requirements of Applicant:

1. Letter stating reason for requested dimensional variance.
2. Copy of the written legal description.
3. Site plan, building elevations and floor plan drawings on 8.5" x 11".
4. Four complete sets of working plans.
5. Proposed signage to include color and size.
6. \$250.00 fee required for processing.

Requirements for Granting Variances: (Section 3004.01 – Zoning Ordinance)

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.
- (b). Applicant shall demonstrate that literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or buildings in the same district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

Rob Thomas
Applicant Signature

12/18/2024
Date

Rob Thomas
Property Owner Signature

12/18/2024
Date

IN THE CITY OF GLUCKSTADT, MISSISSIPPI

GLUCKSTADT OFFICE PARK LLC

PETITIONERS

PETITION FOR REQUEST FOR DIMENSIONAL VARIANCE

Comes Now, Gluckstadt Office Park LLC, hereinafter referred to as “Petitioner,” and files this Petition for Request for Dimensional Variance and in support thereof, Petitioner specifies the following:

FACTS

1. The subject property address is 342 Old Jackson Road, Madison, MS 39110.
2. The current property is zoned C-2 Highway Commercial District.
3. A copy of the legal descriptions for the subject property is attached as Exhibit A. A copy of the Site Plan is attached as Exhibit B.
4. The subject property is .99 acres and the Petitioner is desiring to develop the property for its intended purpose in a C-2 commercial district.

VARIANCE REQUEST

This petition is submitted on behalf of Petitioner seeking a dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.04 (D), which requires that “Side yards and rear yards where abutting any residential district: fifty (50) feet, which shall remain open and be landscaped; or 20 feet, which shall remain open and be landscaped and a fence approved by the Zoning Administrator along side or rear yards.” The properties that are adjacent to the subject property to the North, East and South are currently zoned A-1, but such classification must be considered Residential for purposes of the Gluckstadt Zoning Ordinance. The Petitioner is

requesting a dimensional variance from this Ordinance to accommodate their proposed development. The Petitioner's Site Plan shows the proposed construction of buildings with at least 5 feet of side yards from the property line. This distance would meet the minimum yard requirements of Section 2203.04 (B) and (C), which only requires 5 feet of distance from side and rear yards where the development does not abut a residential district.

Under Mississippi law and according to Section 3004.01 of Gluckstadt's Zoning Ordinance, a variance shall not be granted unless the applicant demonstrates:

"A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district.

B. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

C. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district."

In regards to Section 3004.01(A), as detailed in the Site Plan, the subject property is narrow and almost twice as long east to west than north and south along the roadway. These conditions are peculiar and not applicable to the other areas in this district. The requirements of Section 3004.01(B) are also satisfied as literal interpretation of the minimum yard requirements would prevent the Petitioner from being able to use most of the property for its intended commercial use, and as such, would deprive them of the rights commonly enjoyed by other

properties in the same district under the terms of this Ordinance. In regards to 3004.01(C), granting the variance will not confer on the Petitioners any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.

The properties that directly surround the subject property stand out as some of the very few parcels still zoned A-1 in the City of Gluckstadt. A cursory glance at the City of Gluckstadt zoning map and growth path, and a quick drive around this area, reveals to all that this area is already being developed for commercial use, is across the street from industrial buildings and sits within a quarter of a mile of a major Interstate exit. Upon information and belief, the property to the north of the subject property is being used for commercial purposes as a landscaping business and the owners of the property to the south and east of the subject property have inquired about rezoning their property for a Commercial purpose. Simply put, these areas are not being used primarily for residential purposes and will not be used for residential purposes in the future.

The requested variance constitutes the minimum allowable deviation from the dimensional regulations to make possible the responsible use of the land. This variance allows the property to be developed to its highest and best use, while providing office space and other commercial buildings that are currently lacking in the City.

The granting of this dimensional variance will be in harmony with the general purpose and intent of Gluckstadt's Zoning Ordinance and will not be injurious to the neighborhood or otherwise detrimental to the public welfare. The "neighborhood" surrounding the subject property consists of properties for many miles around that are zoned I-2 (Heavy Industrial District) and C-2 (Highway Commercial District). The properties that are immediately adjacent to the subject property are zoned A-1 (Agricultural District). However, upon information and

belief, and based off Gluckstadt’s growth patterns, these properties will be zoned for a commercial purpose eventually and such action would be the properties highest and best use considering its location and adjacent properties. Additionally, the granting of this dimensional variance will not be detrimental to the public welfare as the proposed development of the property will consist of smaller offices and retail uses and will have less of an impact on traffic and road safety than other uses allowed in C-2 Commercial districts.

CONCLUSION

Based on the foregoing, the petitioner respectfully requests that the Board grant the dimensional variance from the Gluckstadt Zoning Ordinance Section 2203.04(D), and allow the Petitioners to build their proposed development with at least 5 feet of distance from side and rear yards in accordance with Section 2203.04 (B) and (C).

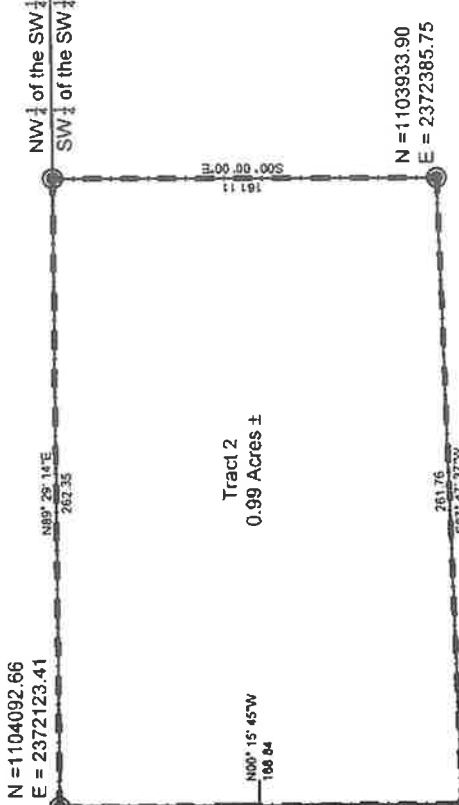
Respectfully submitted, this the 18th day of December, 2024.

For Petitioner:

By: 
Samuel C. Martin [MSB #105829]
The Martin Firm PLLC
513 North State Street, St. 200, Jackson, MS 39201
P.O. Box 161, Flora, MS 39071
(601) 624-2678
Sam@MartinFirmMS.com

Ex. A

Madison Landscape Properties, LLC
DB: 3478 PG: 309



POB - found 1/2" rebar that is 328.73' East of and 1,153.15' North of the SW corner of Section 15, T8N, R2E, Madison County, MS

Shop
Surveyed by WCM
December 12, 2024
Project No. 19-2024-1783

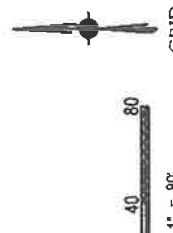
Carport
1.13'

House
Surveyed by WCM
December 12, 2024
Project No. 19-2024-1783

30' WCA Access/Utility Easement

Christy Stanley & John Dorsey
DB: 3508 PG: 910

DRAWN BY: CHUCK MCGINTY
DATE: 10/24/2024
PARTY CHIEF: JAKE FLETCHER
SPC - MS WEST
DERIVED BY: GPS-RTK OBSERVATION
JOB NUMBER: 19-2024-1783
CLASS "B" SURVEY
FIELD WORK: 10/24/2024



MISSISSIPPI STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83
SCALE FACTOR: 0.99995653
CONVERGENCE ANGLE: 00° 07' 55"

GRID
SEC. 15, T-8-N, R-2-E
MADISON COUNTY, MISSISSIPPI

SURVEY PLAT PREPARED FOR:
TYLER GOOLSBY

Christy Stanley & John Dorsey
DB: 3508 PG: 910



LEGEND

- POB POINT OF BEGINNING
- SIP SET IRON PIN 1/2" X 18" REBAR
- PROPERTY CORNERS - IRON PIN SET
- PROPERTY CORNERS - IRON PIN FOUND
- WOOD FENCE
- WIRE FENCE
- POWER POLE
- OHP OVER HEAD POWER
- RIGHT OF WAY
- ROW
- PROPERTY LINE 2

I hereby certify that this survey meets the standards of a Class 'B' survey found in the Standards of Practice for Surveying, Appendix 'A' x

[Signature]

Tyler Goolsby

Tract 2

A tract or parcel of land containing 0.99 acres, lying and being situated in the Southwest quarter of the Northeast quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83, Grid Values, U.S. Survey feet, using a scale factor of 0.99995653 and a grid to geodetic azimuth angle of 00 degrees 07 minutes 55 seconds developed at the below described POINT OF BEGINNING:

Beginning at a found 1/2 inch rebar that is 328.73 feet East of and 1,153.15 feet North of the Southwest corner of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi;

From said point run North 00 degrees 15 minutes 45 seconds West for a distance of 168.84 feet to a set 1/2 inch rebar;

Thence run North 89 degrees 29 minutes 14 seconds East for a distance of 262.35 feet to a set 1/2 inch rebar;

Thence run South 00 degrees 00 minutes 00 seconds east for a distance of 161.11 feet to a set 1/2 inch rebar;

Thence run South 87 degrees 47 minutes 37 seconds West for a distance of 261.76 feet, back to the POINT OF BEGINNING.

The above description is based off plat of survey by Williams, Clark, and Morrison, Inc., dated December 12, 2024.

Williams, Clark, and Morrison, Inc.
Engineers and Surveyors
213 South Main Street
Yazoo City, MS 39194
662-746-1863

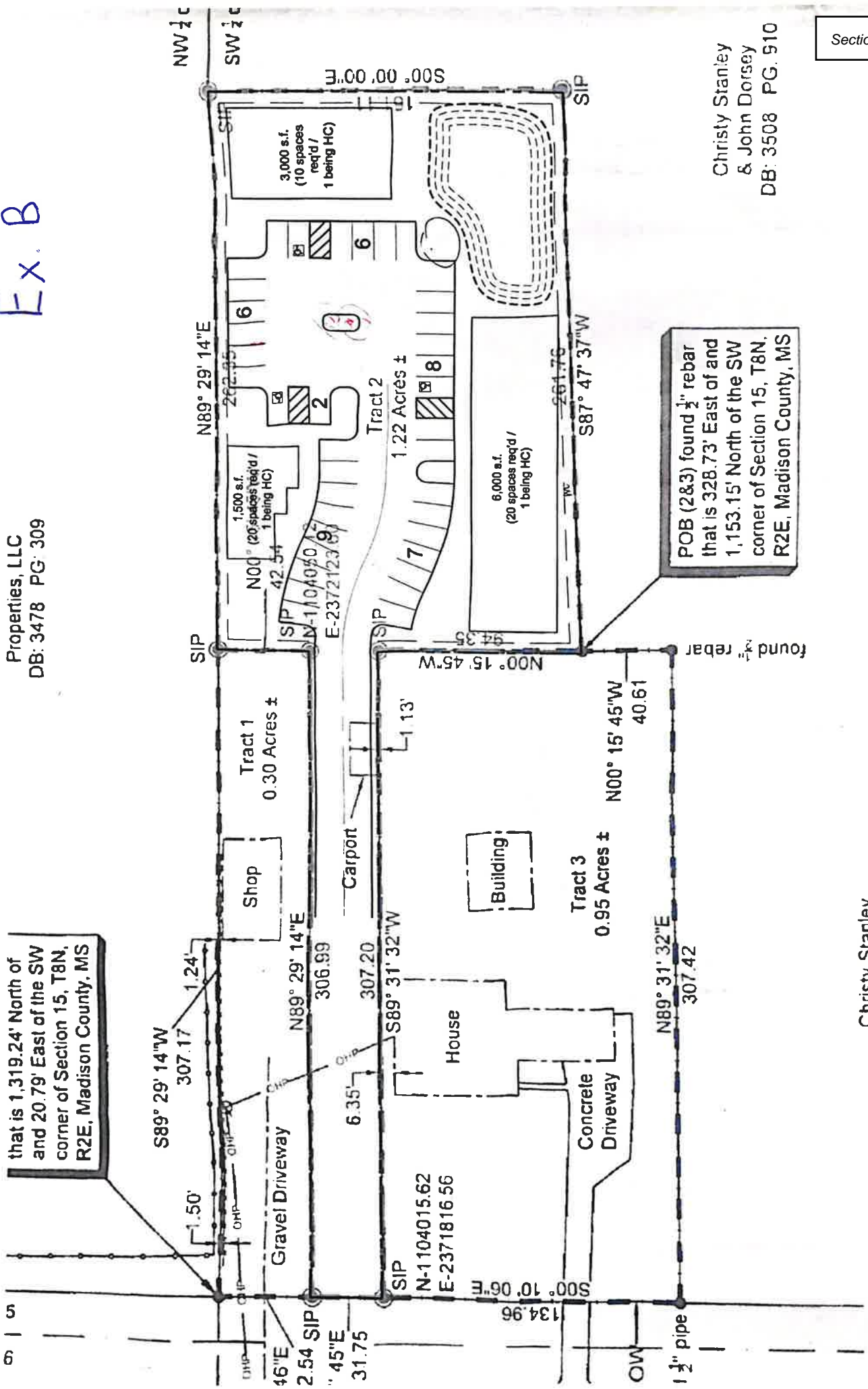
Note of Recordation: The above-described tract of land is all located in the Southwest quarter of the Southwest quarter of Section 15, Township 8 North, Range 2 East, Madison County, Mississippi.



Ex. B

Properties, LLC
DB: 3478 PG. 309

that is 1,319.24' North of
and 20.79' East of the SW
corner of Section 15, T8N,
R2E, Madison County, MS



Christy Stanley
& John Dorsey
DB: 3508 PG. 910

Section 5, Item D)

POB (2&3) found 1/2" rebar
that is 328.73' East of and
1,153.15' North of the SW
corner of Section 15, T8N,
R2E, Madison County, MS

Christy Stanley

REQUEST FOR DIMENSIONAL VARIANCE
APPLICATION

Subject Property Address: Parcel ID#: 082E-21-016/29.00
Owner: D&S Investment Group LLC Applicant: Lee Sahler
Address: Parcel ID#: 082E-21-016/29.00 Address: 103 Eastwick Cv
Madison, MS 39110
Phone No. 601-503-6860 Phone No. 601-503-6860
Current Zoning District: CZ

Requirements of Applicant:

1. Letter stating reason for requested dimensional variance.
2. Copy of the written legal description.
3. Site plan, building elevations and floor plan drawings on 8.5" x 11".
4. Four complete sets of working plans.
5. Proposed signage to include color and size.
6. \$250.00 fee required for processing.

Requirements for Granting Variances: (Section 3004.01 - Zoning Ordinance)

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.
- (b). Applicant shall demonstrate that literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or buildings in the same district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

[Signature]
Applicant Signature

12-30-2024
Date

[Signature]
Property Owner Signature

12-30-2024
Date

AFFIDAVIT OF LEE SAHLER

I, Lee Sahler, state as follows:

1. I am over twenty-one (21) years of age, of sound mind, and have personal knowledge of the following facts.

2. I seek from the City of Gluckstadt, Mississippi site plan approval and a dimensional variance from the City's Zoning Ordinance for property I own through D&S Investment Group, LLC (Parcel ID #082E-21-016/29.00) within the City's boundaries (the "subject property").

3. I hereby authorize Forman Watkins & Krutz LLP and its agents to submit on my and D&S Investment Group, LLC's behalf applications for site plan review and a dimensional variance regarding the subject property and to act on my and D&S Investment Group, LLC's behalf in relation to the applications, including at all meetings and public hearings that concern the applications.

4. I further authorize Forman Watkins & Krutz LLP and its agents to negotiate and agree on my and D&S Investment Group, LLC's behalf to all terms and conditions affecting the subject property which may arise as part of the applications being approved.

5. There are only three members of D&S Investment Group, LLC: me, Billy Joe Dottley, and Teresa G. Dottley. The other two members authorized me to take the above-stated actions on behalf of the LLC.

Executed on Jan 2, 2025.

Lee Sahler

Lee Sahler, individually and on behalf of
D&S Investment Group, LLC
103 Eastwick Cv.
Madison, Mississippi 39110

COUNTY OF Madison

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, Lee Sahler, who after having been duly sworn, states upon oath that the matters and facts set forth above are true and correct to the best of his knowledge and belief.

[Signature]

Notary Public

My Commission Expires January 29, 2026



Spencer Ritchie
Spencer.Ritchie@formanwatkins.com
Direct Dial: 601-960-3172

January 21, 2025

VIA EMAIL DELIVERY

City of Gluckstadt
Planning & Zoning Department
107 Lone Wolf Drive
Gluckstadt, MS 39110

Re: Revised Request for Dimensional Variance Application (Parcel ID #082E-21-016/29.00)

To Whom it May Concern,

We write on behalf of Lee Sahler and D&S Investment Group, LLC concerning the above-referenced application previously submitted and as revised by this letter. The application seeks a dimensional variance to permit the construction of a four-story hotel and associated parking lot on land located within a C2 Zoning District.

The variance is requested because the specifications called for by the hotel franchise include (1) a building elevation that is, at its highest point, approximately seventeen feet higher than what is currently permitted by the Zoning Ordinance for a building within a C2 District (57' versus 40') and (2) a parking lot to service the hotel with approximately ten fewer parking spaces than required by the Zoning Ordinance (approximately 155 versus the minimum 165, which is 1.5 parking spaces per 110 hotel occupant rooms). Without the requested variance, the applicants will not be able to comply with the franchise's specifications.

Granting the variance will not adversely affect the public interest or adjacent property, and future projects in the area will remain subject to the Zoning Ordinance. Additionally, approval of site plans or other matter will allow the City to continue to monitor the area. Finally, granting the variance will be in harmony with the general purpose and intent of the Zoning Ordinance.

Thank you very much for your attention to this matter. Please do not hesitate to contact us if you have any questions or concerns.

Sincerely,

FORMAN WATKINS & KRUTZ LLP

BY: /s/ Spencer M. Ritchie
Spencer M. Ritchie

LEGAL DESCRIPTION

A certain tract of land containing 4.16 acres, more or less, situated in the Northeast Quarter of the Northwest Quarter and in the Northwest Quarter of the Northeast Quarter of Section 21, Township 8 North, Range 2 East, Madison County, Mississippi, and being more particularly described as follows:

Commencing at the P.K. nail in pavement marking the Northwest corner of Section 21, Township 8 North, Range 2 East, Madison County, Mississippi; run thence, South 70°25'39" East for 2781.78 feet to the 1/2" rebar found marking the POINT OF BEGINNING; run thence, along the east right of way of Autobahn Loop for the following 2 courses: North 00°22'44" East for 39.89 feet to a found 1/2" rebar; 125.96 feet along the arc of a curve to the left, said curve having a radius of 60.00 feet and a chord of North 00°12'12" East for 104.07 feet to a found 1/2" rebar; run thence, North 00°11'20" East for 128.54 feet to a found 1/2" rebar; run thence, 143.19 feet along the arc of a curve to the left, said curve having a radius of 550.00 feet and a chord of South 89°36'02" East for 142.79 feet to a found 1/2" rebar; run thence, North 82°56'31" East for 405.73 feet to a found 1/2" rebar; run thence, along the west right of way of Interstate Highway 55 for the following 2 courses: South 11°54'52" East for 81.47 feet to a found 1/2" rebar; 325.53 feet along the arc of a curve to the right, said curve having a radius of 5622.43 feet and a chord of South 04°31'22" West for 325.49 feet to a found 1/2" rebar; run thence, North 81°14'33" West for 543.99 feet back to the 1/2" rebar marking the POINT OF BEGINNING.

The above description is based on True (Geodetic) Bearings.

WYNDHAM GARDEN PROTOTYPE



**WYNDHAM
GARDEN®**

Garden is

Nature

Garden strives to connect its guest to nature. It's a space which envelopes you in natural materials. Honed stones, textured woods and soft dappled lighting draw one through the lobby designed to create the feeling of a casual stroll.



Community

Garden strives to connect its guests to each other. Spaces are purposely carved out to help create comfortable meeting areas where one can sit back, relax and enjoy a good time with friends and colleagues.



You

Garden offers its guest a perfect retreat space to reconnect with one's self. Wood look floors, nubby linen textures and serene color scheme designed to relax the senses and can help one to quiet the mind and focus on the now.



WYNDHAM GARDEN PROTOTYPE

WYNDHAM
GARDEN®

WYNDHAM GARDEN PROTOTYPE



**WYNDHAM
GARDEN**

WYNDHAM GARDEN PROTOTYPE



**WYNDHAM
GARDEN**

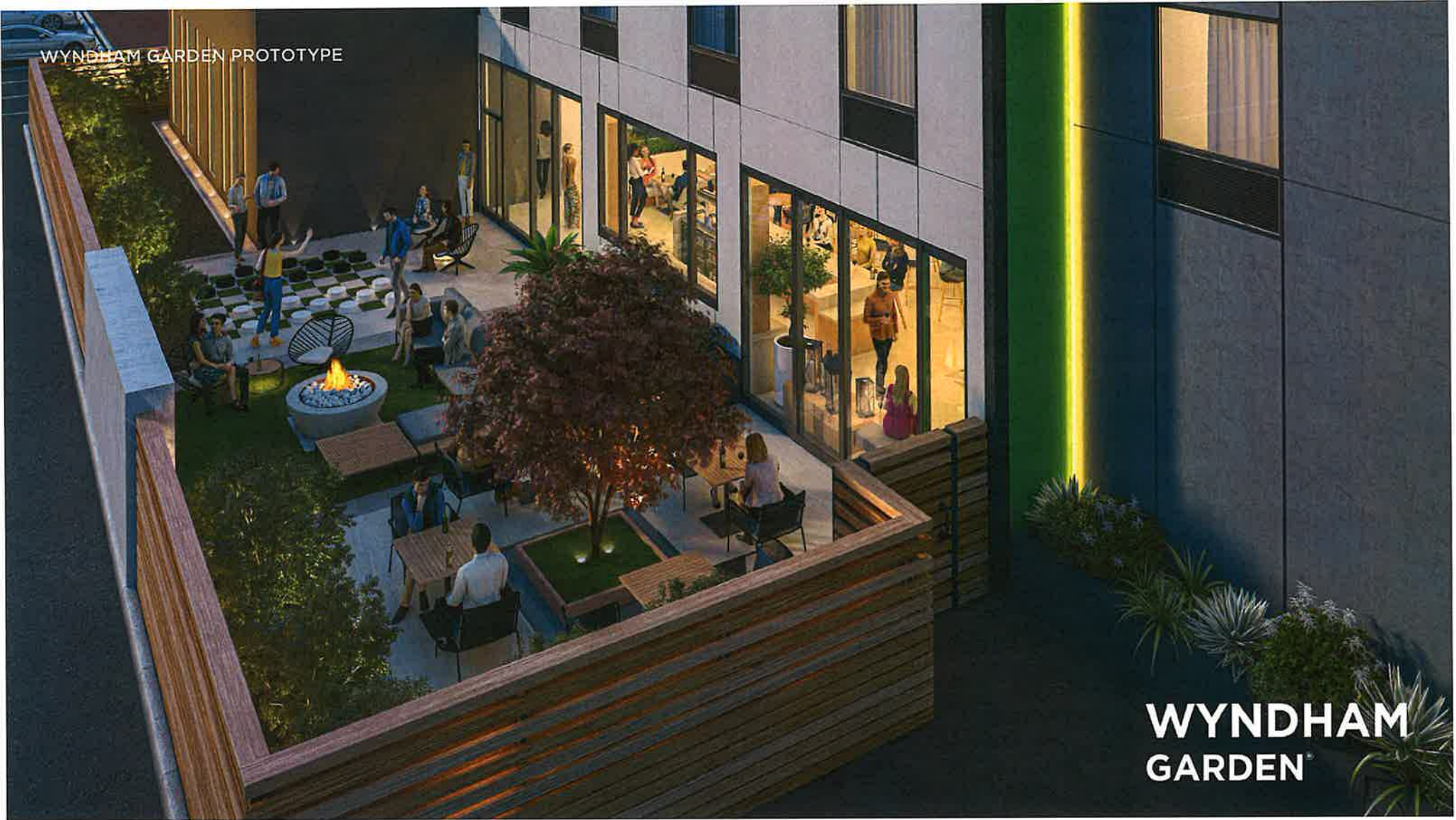


WYNDHAM GARDEN PROTOTYPE



WYNDHAM
GARDEN

WYNDHAM GARDEN PROTOTYPE



**WYNDHAM
GARDEN**

WYNDHAM GARDEN PROTOTYPE



**WYNDHAM
GARDEN**

WYNDHAM GARDEN PROTOTYPE

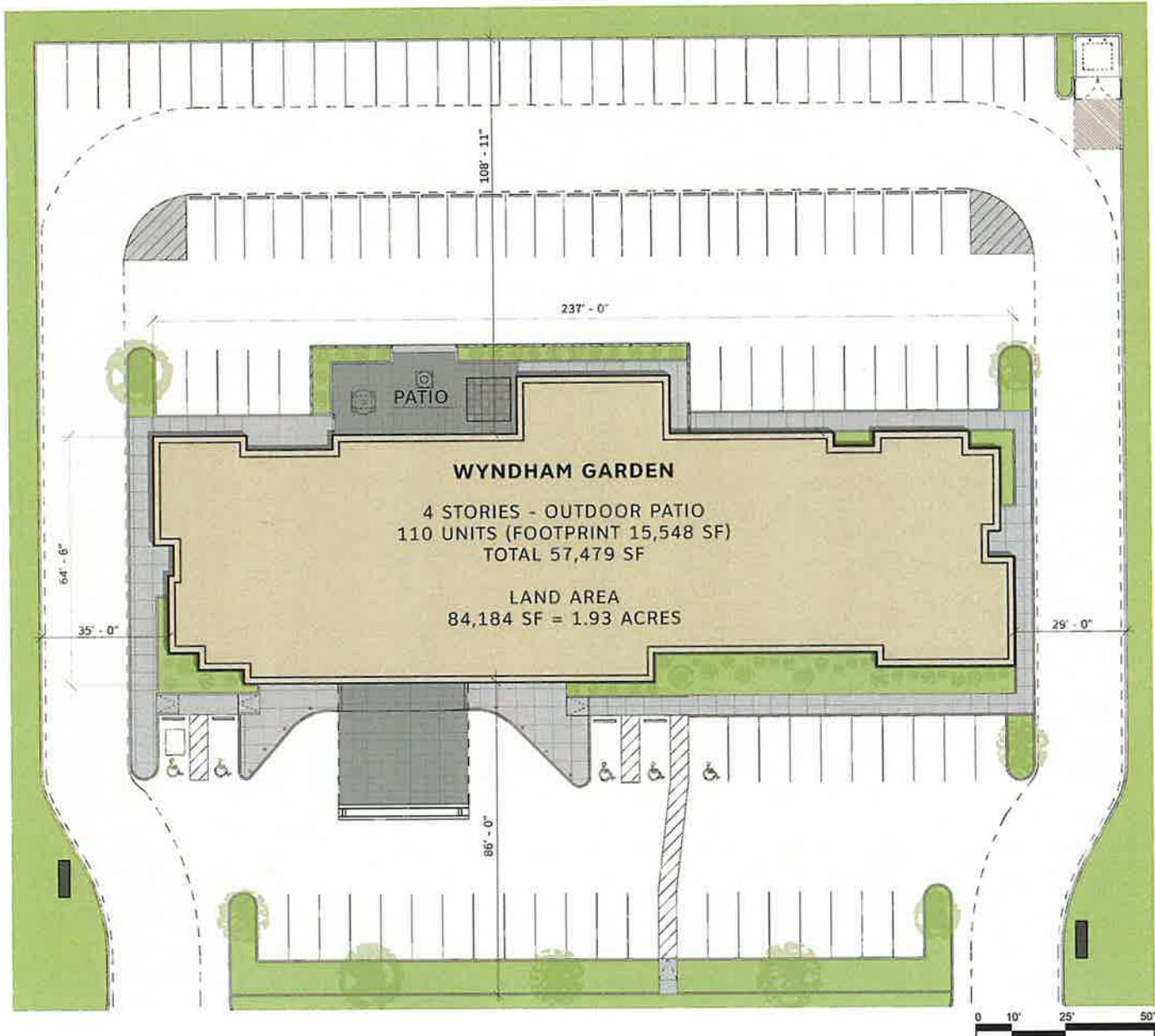


WYNDHAM
GARDEN



PROTOTYPE: SITE PLAN

BUILDING LENGTH	237' - 0" FT
BUILDING DEPTH	64' - 6" FT
FLOORS	4
PARKING SPACES	110



PROTOTYPE: ELEVATION



FRONT ELEVATION: 4 STORIES



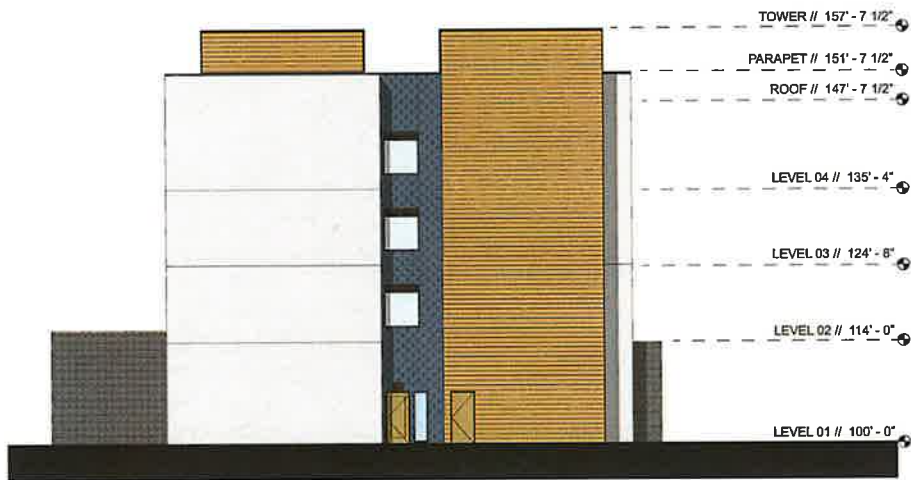
PROTOTYPE: ELEVATION



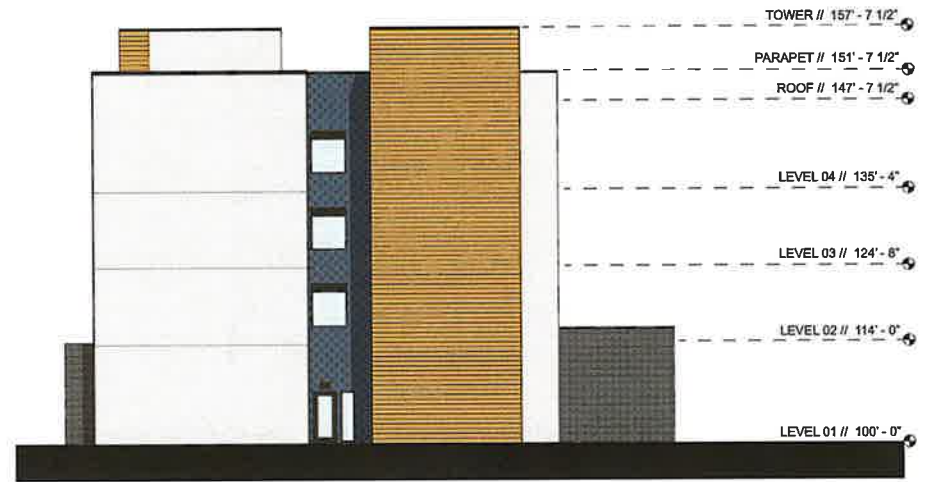
BACK ELEVATION: 4 STORIES



PROTOTYPE: ELEVATION



LEFT ELEVATION: 4 STORIES



RIGHT ELEVATION: 4 STORIES



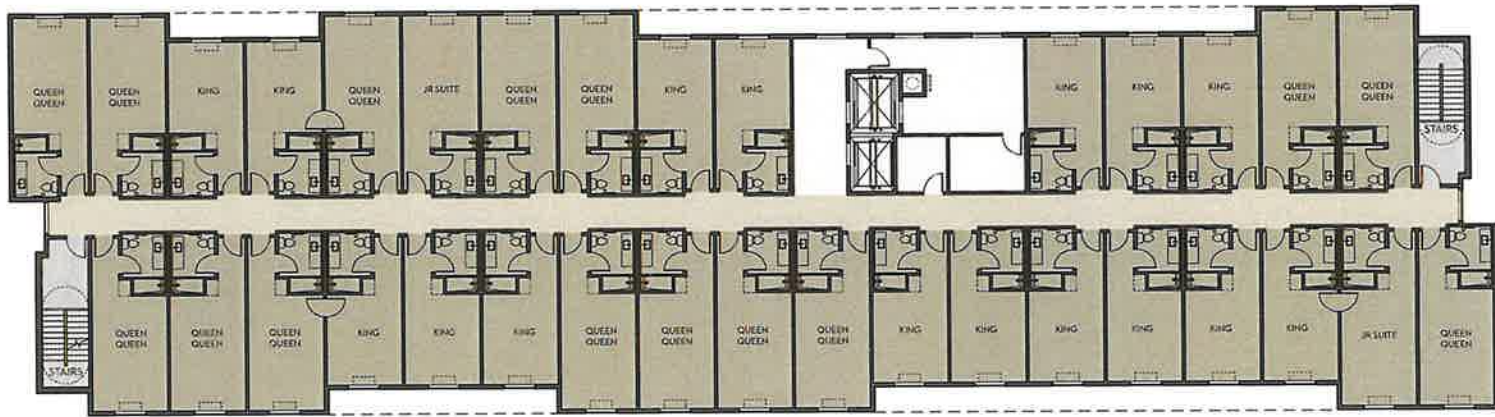
PROTOTYPE: FLOOR PLAN



FLOOR PLAN: GROUND FLOOR



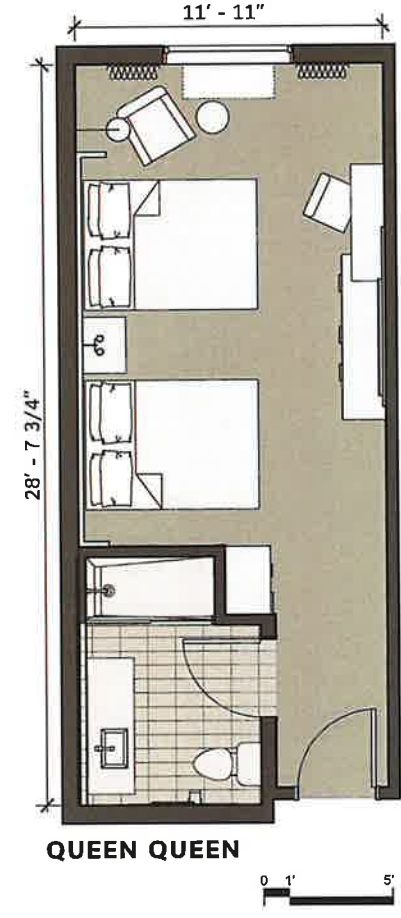
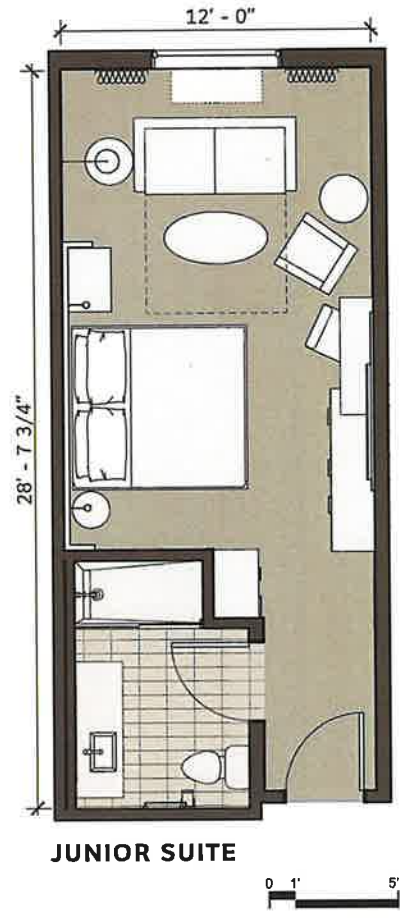
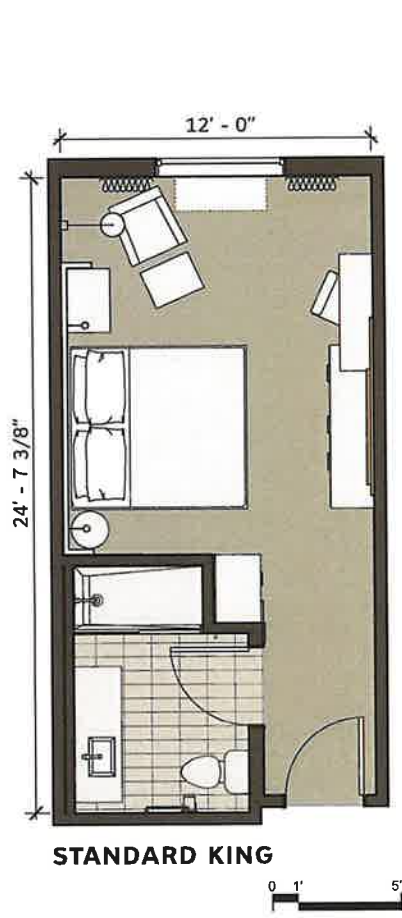
PROTOTYPE: FLOOR PLAN



FLOOR PLAN: TYPICAL GUESTROOM FLOOR



PROTOTYPE: GUEST ROOM PLANS





PROTOTYPE: DEVELOPMENT SUMMARY

GUESTROOM SUMMARY

GUESTROOMS	ROOM MIX (PERCENT %)	UNITS	AREA (SF)	TOTAL (SF)
KING	47%	52	309 SF	16,068 SF
QUEEN QUEEN	41%	46	358 SF	16,468 SF
JR SUITE	5%	5	358 SF	1,790 SF
KING ADA SHOWER	1%	1	309 SF	309 SF
QUEEN QUEEN ADA TUB	1%	1	358 SF	358 SF
KING ADA TUB	2%	2	309 SF	618 SF
QUEEN QUEEN ADA TUB	2%	2	358 SF	716 SF
JR SUITE ADA TUB	1%	1	358 SF	358 SF
TOTAL	100%	110	2,717 SF	36,685 SF

GUESTROOM SUPPORT	1ST	2ND	3RD	4TH	AREA (SF)
CORRIDORS	1,774 SF	1,243 SF	1,243 SF	1,243 SF	7,277 SF
STAIRS	437 SF	466 SF	466 SF	466 SF	1,835 SF
ELEVATOR SHAFT/EQUIP	170 SF	140 SF	140 SF	140 SF	590 SF
ICE MACHINE	0 SF	78 SF	78 SF	78 SF	234 SF
MECH/ELECTRICAL	502 SF	117 SF	117 SF	117 SF	853 SF
HOUSEKEEPING	0 SF	344 SF	344 SF	344 SF	1,032 SF
STORAGE	317 SF	0 SF	0 SF	0 SF	317 SF
TOTAL	2,981 SF	2,233 SF	2,233 SF	2,233 SF	12,138 SF

FRONT OF HOUSE

FOOD & BEVERAGE	AREA
DINING	1,448 SF
FOOD PREP	576 SF
NICE & VICE	257 SF
TOTAL	2,281 SF

FUNCTION	AREA
MEETING ROOM & STORAGE	652 SF
BOARDROOM	300 SF
TOTAL	952 SF

RECREATION	AREA
FITNESS CENTER	645 SF
OUTDOOR GARDEN (BASE OPTION)	1,070 SF
OUTDOOR POOL (ALTERNATE OPTION)	1,236 SF
TOTAL	2,951 SF

PUBLIC MISC	AREA
LOBBY	1,168 SF
RECEPTION	239 SF
VESTIBULE	190 SF
MEN'S ROOM	224 SF
WOMEN'S ROOM	224 SF
TOTAL	2,045 SF

BACK OF HOUSE

SUPPORT	AREA
GM OFFICE	131 SF
ADMIN	319 SF
BREAK ROOM	262 SF
EMPLOYEE RESTROOM	148 SF
MDF/IT	84 SF
LAUNDRY	787 SF
LAUNDRY STORAGE	169 SF
LAUNDRY RESTROOM	80 SF
JANITOR	76 SF
ENGINEER	272 SF
FIRE PUMP	88 SF
TOTAL	2,416 SF

TOTAL GROSS SF	57,479 SF
-----------------------	------------------

WYNDHAM

HOTELS & RESORTS

wyndhamdevelopment.com



REGISTRY
COLLECTIVE HOTELS

WYNDHAM GRAND

DOLCE
HOTELS & RESORTS

esplendor

DAZZLER

WYNDHAM



TM
TRADE MARK

QUINTA

WINGATE
BY WYNDHAM

WYNDHAM
REWARDS

WYNDHAM
GARDEN

HAWTHORN
LUXURY BY WYNDHAM

Americinn

RAMADA

encore

BAYMONT

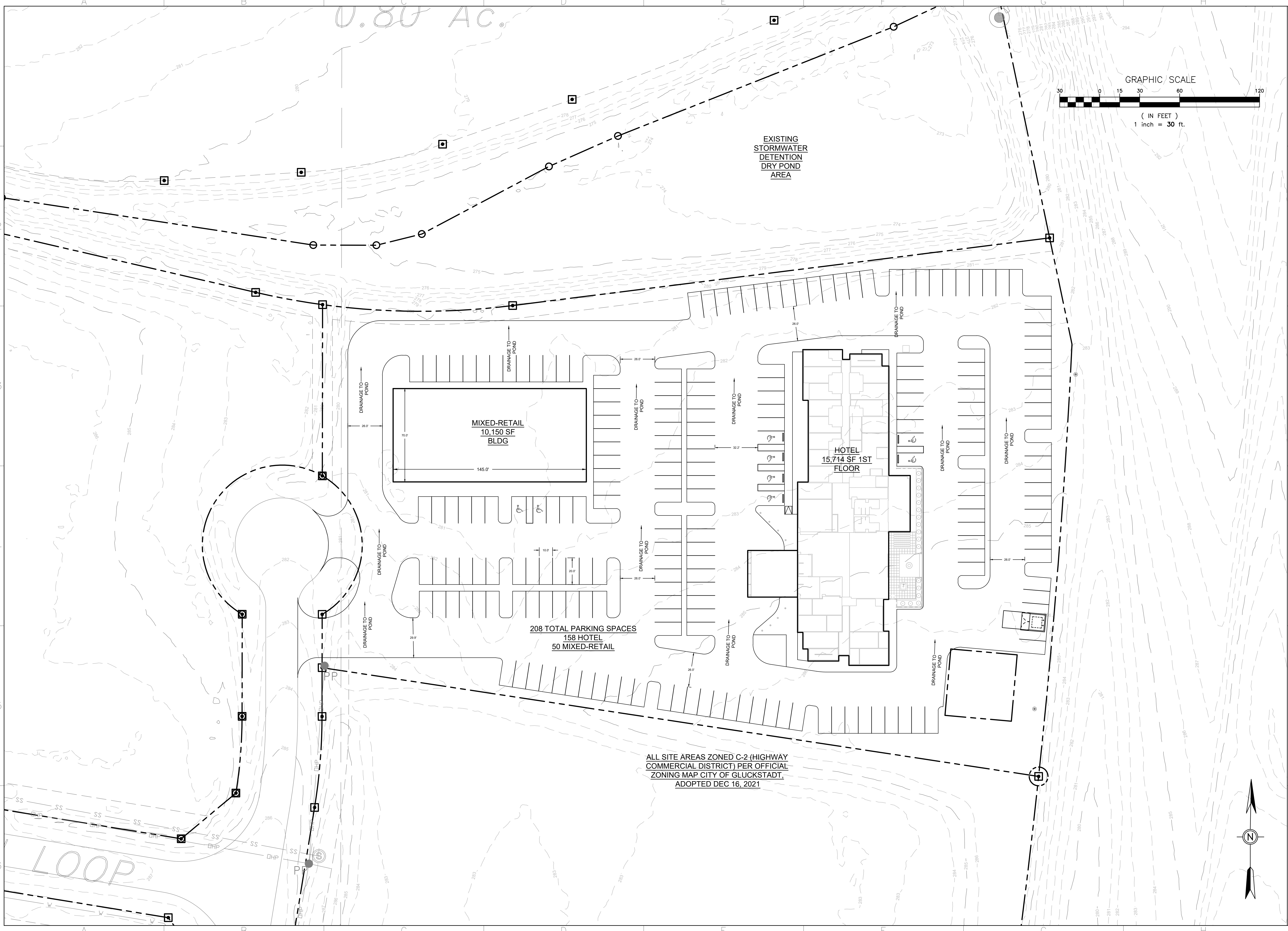
MICROTEL
BY WYNDHAM



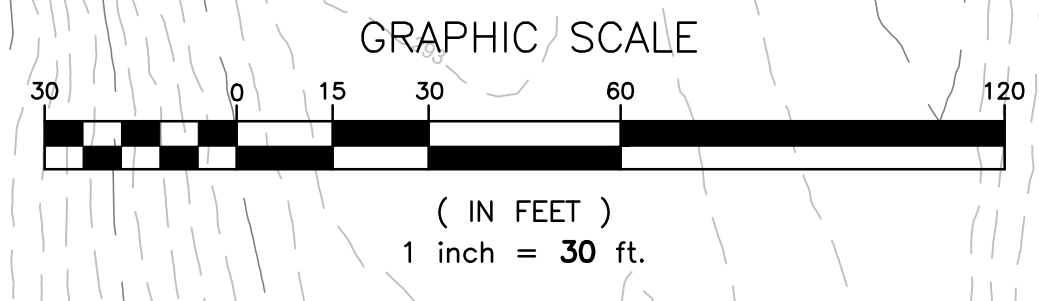
Howard Johnson



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0.80 AC.



EXISTING
STORMWATER
DETENTION
DRY POND
AREA

MIXED-RETAIL
10,150 SF
BLDG

HOTEL
15,714 SF 1ST
FLOOR

208 TOTAL PARKING SPACES
158 HOTEL
50 MIXED-RETAIL

ALL SITE AREAS ZONED C-2 (HIGHWAY
COMMERCIAL DISTRICT) PER OFFICIAL
ZONING MAP CITY OF GLUCKSTADT,
ADOPTED DEC 16, 2021

LOOP

Section 5, Item E)

DEAN
ENGINEERING SOLUTIONS INC.

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W. SETH DEAN
REGISTERED PROFESSIONAL
ENGINEER
**NOT FOR
CONSTRUCTION**
STATE OF MISSISSIPPI
00-00-0000

#	Description	Date
1	PLANS SUBMITTED FOR REVIEW	01.17.25

OWNER:
ProCon
Global Investment Group
3220 N. STATE ST.
JACKSON, MS 39216

PROJECT TITLE: **GLUCKSTADT HOTEL**

SHEET TITLE:
GRADING PLAN

SITE DEVELOPMENT

DATE:	17 JAN 2025
SCALE:	AS SHOWN
DRAWN BY:	WSD
REVIEWED BY:	WSD
SHEET NUMBER:	C5.0

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
Gluckstadt Hotel
Gluckstadt, Mississippi

Revisions

No.	Date	Revisions / Submissions
01	01.20.25	FOR PERMIT

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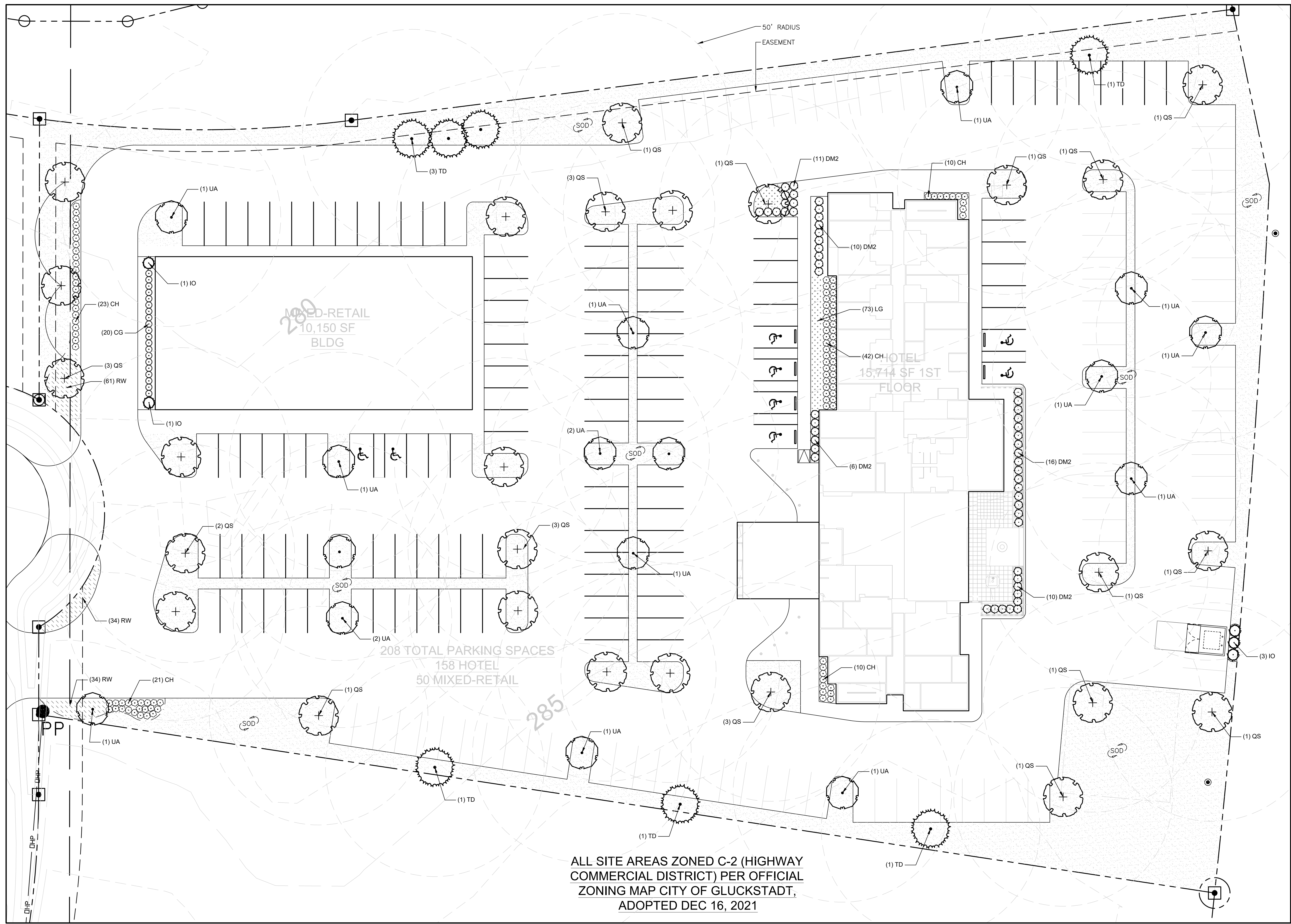
Drawn
YJ
Project Manager
JLA
Principal
253470-003
Project No.
01.17.25
Date

Drawings not valid without seal

Sheet Title

PLANTING PLAN

Sheet No.
LP100



ALL SITE AREAS ZONED C-2 (HIGHWAY COMMERCIAL DISTRICT) PER OFFICIAL ZONING MAP CITY OF GLUCKSTADT, ADOPTED DEC 16, 2021

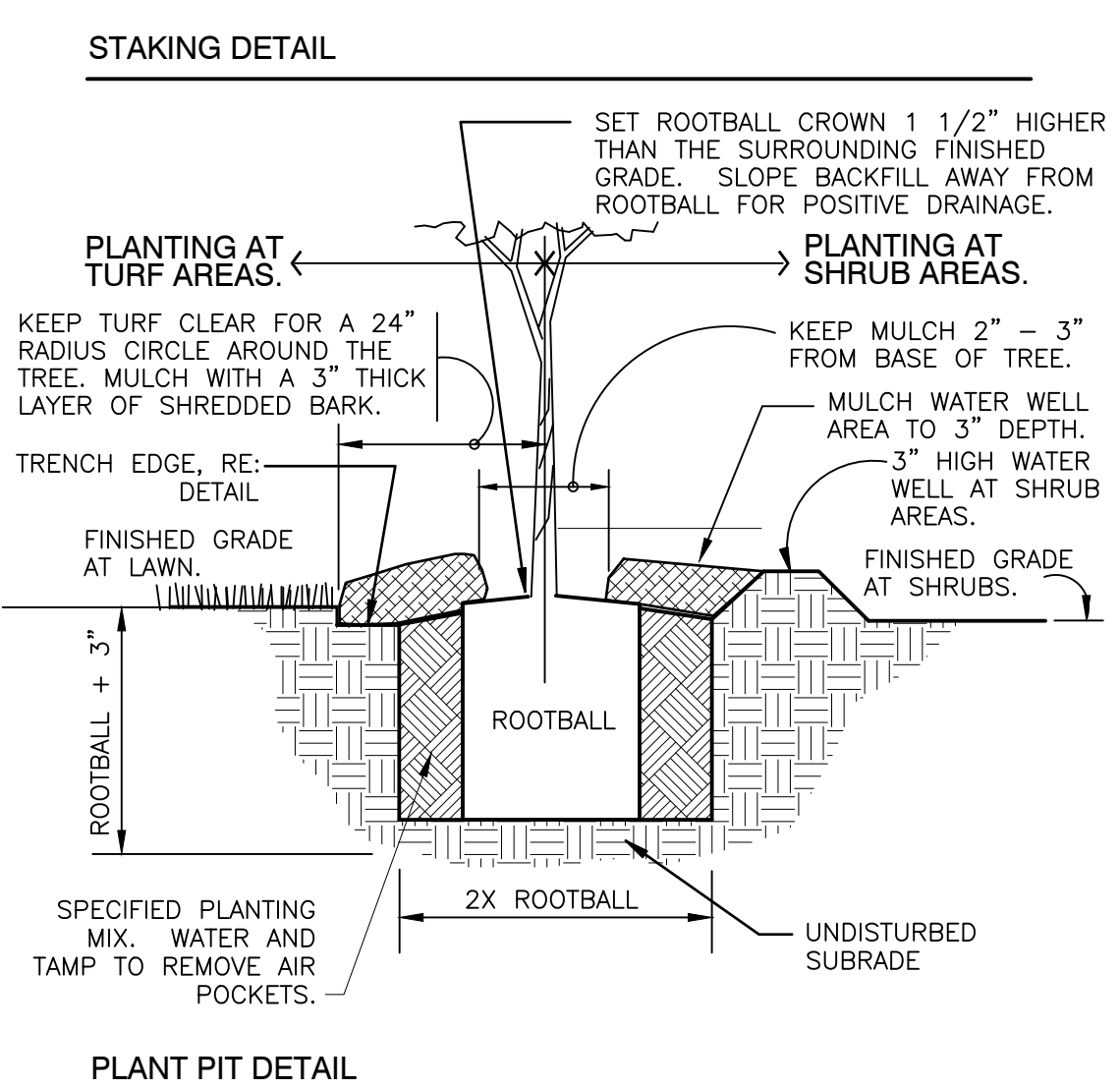
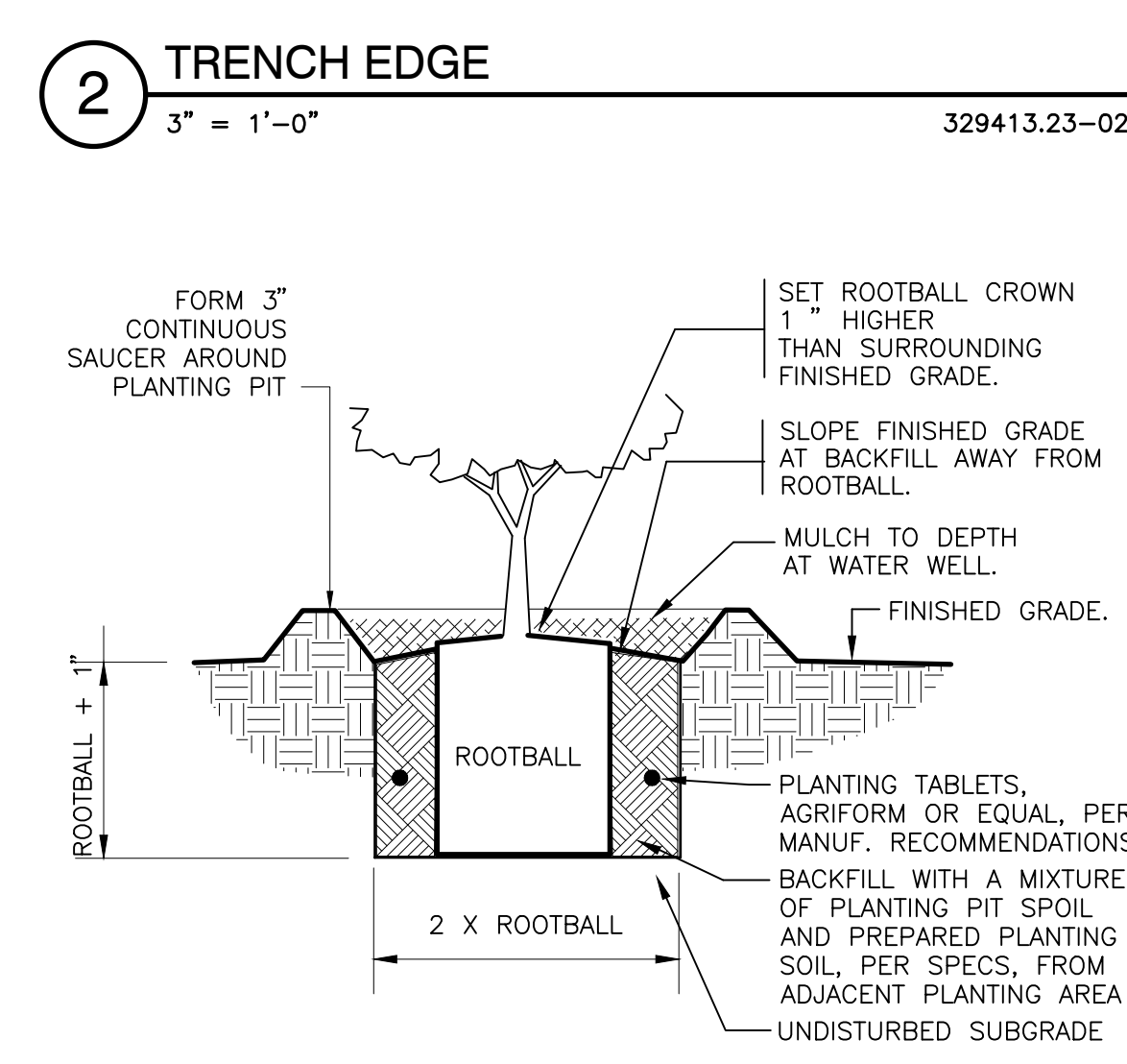
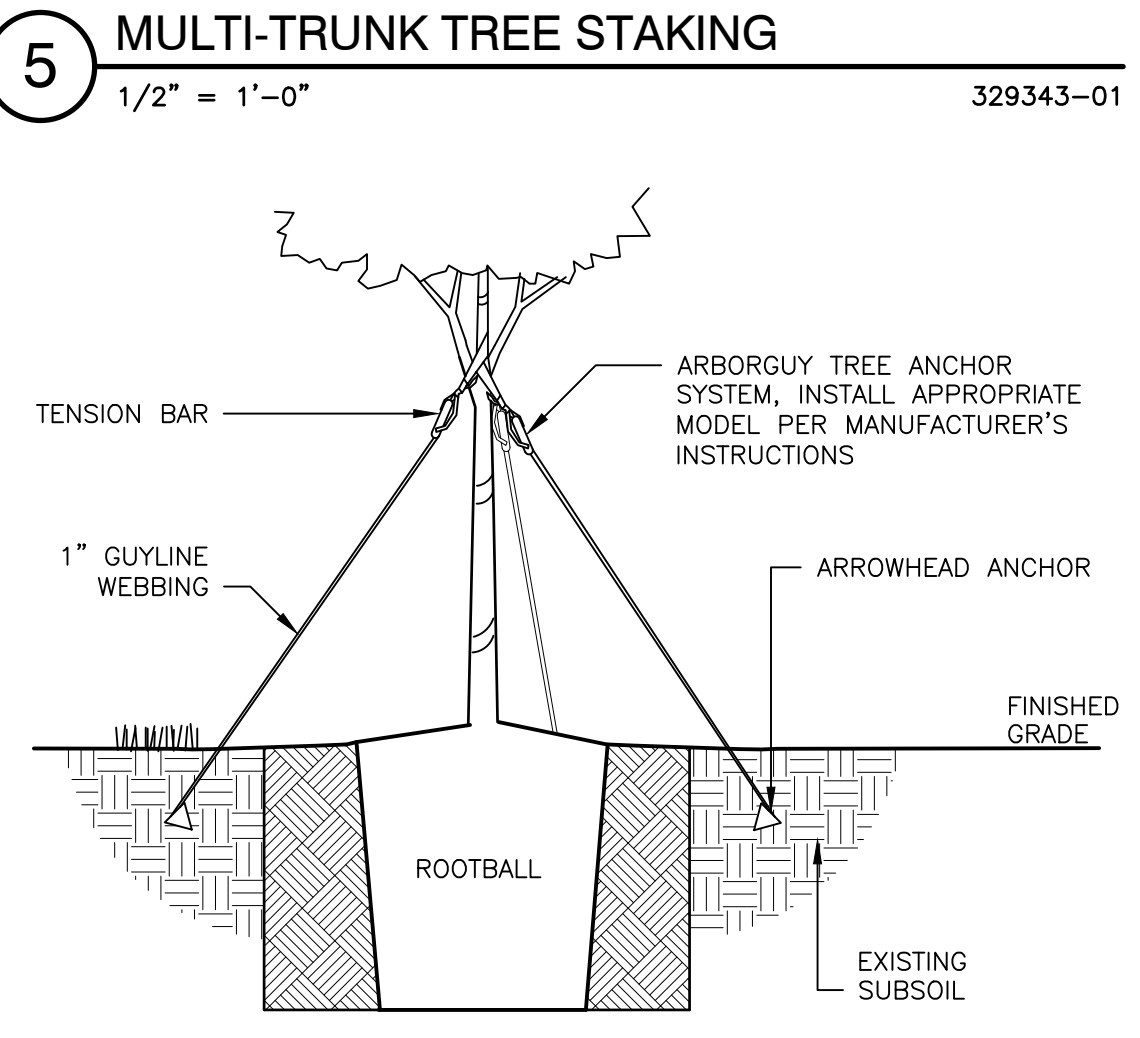
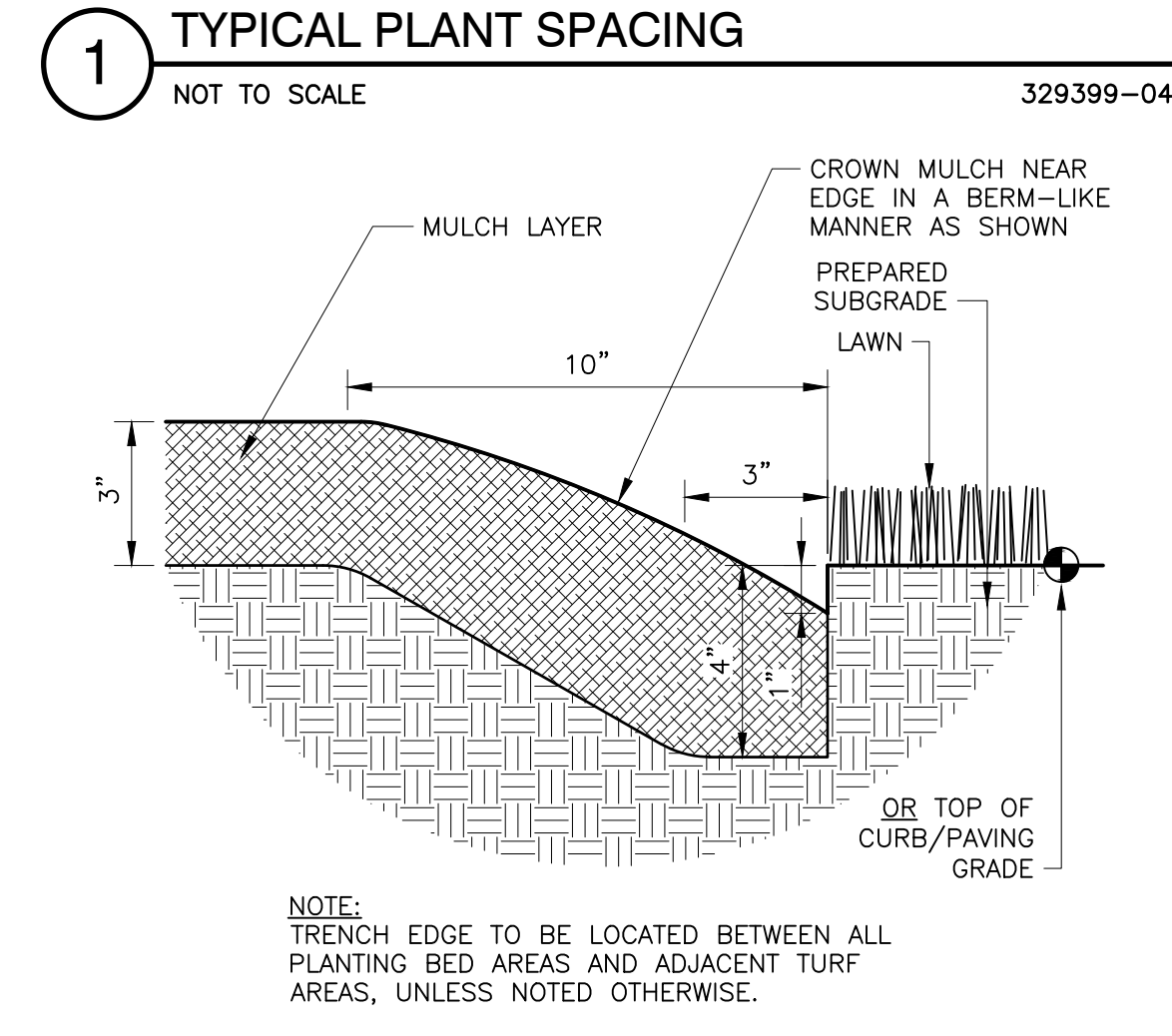
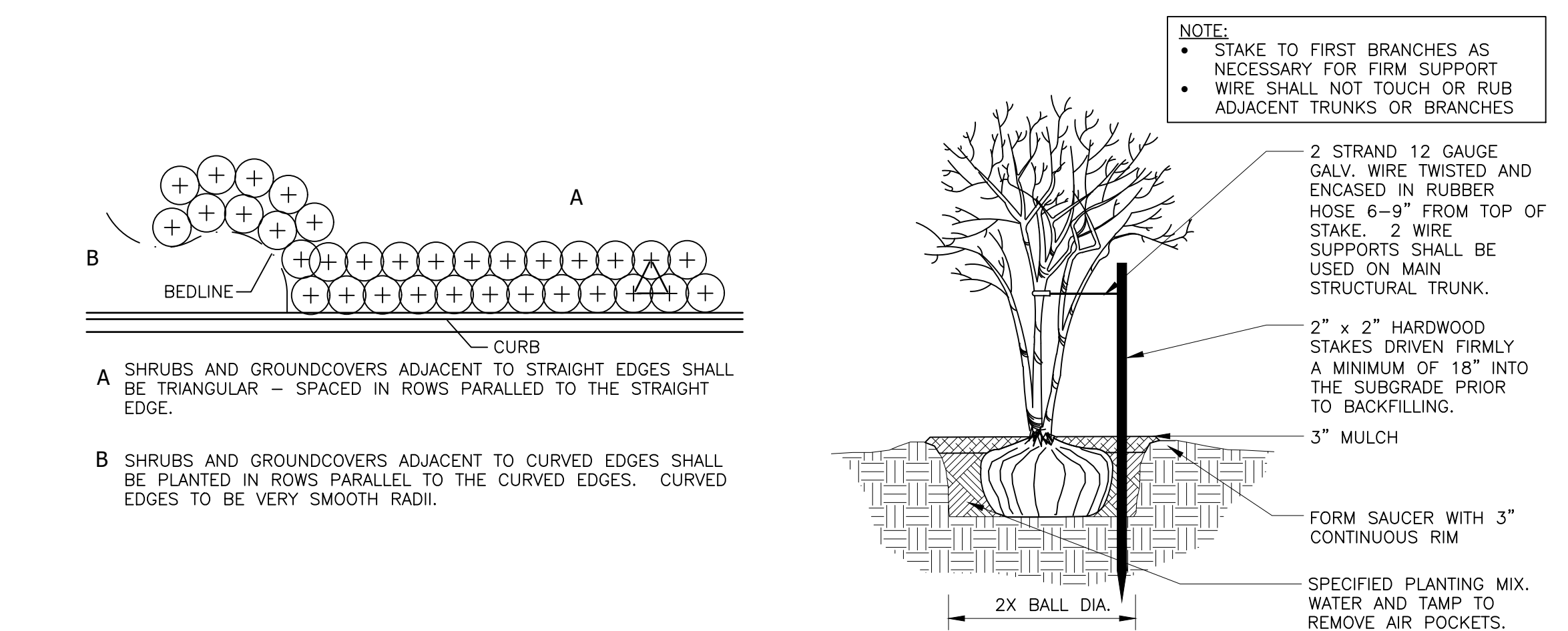
1 PLANTING PLAN
Scale: 1" = 20'

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
TREES						
	IO	5	ILEX HYBRID 'CONAF' / OAK LEAF HOLLY FULL TO GROUND, SPECIMEN QUALITY	B&B OR CONT		6'
	QS	26	QUERCUS SHUMARDII / SHUMARD RED OAK FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	TD	7	TAXODIUM DISTICHUM / BALD CYPRESS FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	UA	16	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	2.0" - 2.5" CAL	10'-12'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	SPACING
SHRUBS						
	CG	20	CAMELLIA SASANQUA 'SHISHI GASHIRA' / SHISHI GASHIRA CAMELLIA	3 GAL		36" o.c.
	DM2	53	DISTYLIUM 'VINTAGE JADE' / VINTAGE JADE DISTYLIUM	3 GAL		48" o.c.
	CH	106	ILEX CORNUTA 'CARISSA' / CARISSA HOLLY FULL FORM	3 GAL		36" o.c.
GROUND COVERS						
	LG	99	LIRIOPE MUSCARI 'EVERGREEN GIANT' / EVERGREEN GIANT LILYTURF	1 GAL		24" o.c.
	RW	129	ROSA 'MEIZORLAND'™ / WHITE DRIFT ROSE	1 GAL		30" o.c.
SOD/SEED						
	SOD	32,424 SF	CYNODON DACTYLON 'TIFWAY 419' / TIFWAY 419 BERMUDA GRASS	SOD		

QUANTITY TAKEOFF DISCLAIMER:
 QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

IRRIGATION NOTE:
 ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.



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A Landscape Development Plan for
Gluckstadt Hotel
 Gluckstadt, Mississippi

Revisions

No.	Date	Revisions / Submissions
01	2025	FOR PERMIT

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YJ Drawn
 YJ Project Manager
 JLA Principal
 253470-003 Project No.
 01.17.25 Date

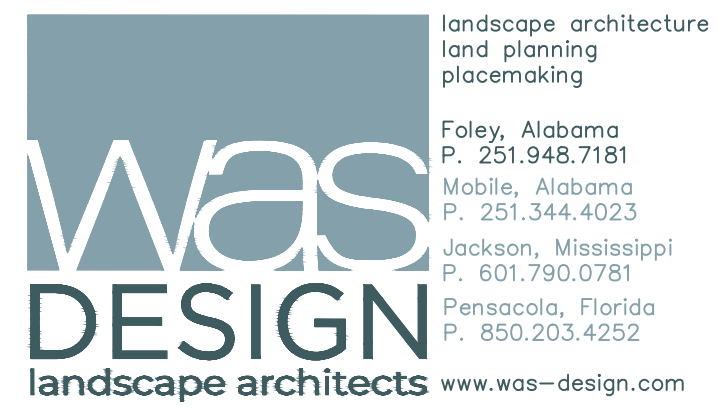
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Drawings not valid without seal

Sheet Title

PLANTING DETAILS

Sheet No.
LP500



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A Landscape Development Plan for
Gluckstadt Hotel
Gluckstadt, Mississippi

SECTION 329200 - TURF AND GRASSES

1.1 RELATED DOCUMENTS
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY
A. Section Includes:
1. Sodding
B. Related Requirements:
1. Section 329300 "Plants" for trees, shrubs, ground covers, and other plants as well as border edgings and mow strips.

1.3 DEFINITIONS
A. Finish Grade: Elevation of finished surface of planting soil.
B. Pesticide: A substance or mixture intended for preventing, destroying, repelling, or mitigating a pest. Pesticides include insecticides, miticides, herbicides, fungicides, rodenticides, and molluscicides. They also include substances or mixtures used as a plant regulator, defoliant, or desiccant.
C. Pests: Living organisms that occur where they are not desired or that cause damage to plants, animals, or people. Pests include insects, mites, grubs, mollusks (snails and slugs), rodents (gophers, moles, and mice), unwanted plants (weeds), fungi, bacteria, and viruses.
D. Planting Soil: Existing, on-site soil; imported soil; or manufactured soil that has been modified with soil amendments and perhaps fertilizers to produce a soil mixture best for plant growth. See Section 329113 "Soil Preparation" and drawing designations for planting soils.

1.4 PREINSTALLATION MEETINGS
A. Preinstallation Conference: Conduct conference at Project site.

1.5 INFORMATIONAL SUBMITTALS
A. Product Certificates: For fertilizers, from manufacturer.

1.6 CLOSEOUT SUBMITTALS
A. Maintenance Data: Recommended procedures to be established by Owner for maintenance of turf during a calendar year. Submit before expiration of required maintenance periods.

1.7 DELIVERY, STORAGE, AND HANDLING
A. Sod: Harvest, deliver, store, and handle sod according to requirements in "Specifications for Turfgrass Sod Materials" and "Specifications for Sod Transplanting and Installation" sections in TPI's "Guideline Specifications to Turfgrass Sodding." Deliver sod within 24 hours of harvesting and in time for planting promptly. Protect sod from breakage and drying.
B. Bulk Materials:
1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants.
2. Accompany each delivery of bulk materials with appropriate certificates.

1.8 FIELD CONDITIONS
A. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit planting to be performed without optimum results may be obtained. Apply products during favorable weather conditions according to manufacturer's written instructions.

1.9 TURFGRASS SOD
A. Turfgrass Sod: Certified, complying with "Specifications for Turfgrass Sod Materials" in TPI's "Guideline Specifications to Turfgrass Sodding." Furnish viable sod of uniform density, color, and texture that is strongly rooted and capable of vigorous growth and development when planted.
B. Turfgrass Species: Tifton 419 Bermudagrass (Cynodon dactylon 'Tifton 419').

1.10 FERTILIZERS
A. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea formaldehyde, phosphorus, and potassium in the following composition:
1. Composition: 1 lb/1000 sq. ft. of actual nitrogen, 4 percent phosphorus, and 2 percent potassium, by weight.
B. Slow-Release Fertilizer: Granular or pelleted fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorus, and potassium in the following composition:
1. Composition: 20 percent nitrogen, 10 percent phosphorus, and 10 percent potassium, by weight.
2. Composition: Nitrogen, phosphorus, and potassium in amounts recommended in soil reports from a qualified soil-testing laboratory.

1.11 PESTICIDES
A. General: Pesticide, registered and approved by the EPA, acceptable to authorities having jurisdiction, and of type recommended by manufacturer for each specific problem and as required for Project conditions and application. Do not use restricted pesticides unless authorized in writing by authorities having jurisdiction.
B. Pre-Emergent Herbicide (Selective and Nonselective): Effective for controlling the germination or growth of weeds within planted areas at the soil level directly below the mulch layer.
C. Post-Emergent Herbicide (Selective and Nonselective): Effective for controlling weed growth that has already germinated.

1.12 EXAMINATION
A. Examine areas to be planted for compliance with requirements and other conditions affecting installation and performance of the Work.
1. Verify that no foreign or deleterious material or liquid such as paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, or acid has been deposited in soil within a planting area.
2. Suspend planting operations during periods of excessive soil moisture until the moisture content reaches acceptable levels to attain the required results.
3. Uniformly moisten excessively dry soil that is not workable or which is dusty.
B. Proceed with installation only after unsatisfactory conditions have been corrected.
C. If contamination by foreign or deleterious material or liquid is present in soil within a planting area, remove the soil and contamination as directed by Architect and replace with new planting soil.

1.13 PREPARATION
A. Protect structures; utilities; sidewalks; pavements; and other facilities, trees, shrubs, and plantings from damage caused by planting operations.
1. Protect grade stakes set by others until directed to remove them.

1.14 TURF AREA PREPARATION
A. General: Till and rake planting area free and clear of debris to allow for a smooth planting surface. Adjust elevation of planting soil to accept thickness of sod to achieve a smooth plane for optimal mowing equipment.
B. Moisture prepared area before planting if soil is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.
C. Before planting, obtain Architect's acceptance of finish grading; restore planting areas if eroded or otherwise disturbed after finish grading.

1.15 SODDING
A. Lay sod within 24 hours of harvesting unless a suitable preservation method is accepted by Architect prior to delivery time. Do not lay sod if dormant or if ground is frozen or muddy.
B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod; do not stretch or overlap. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to soil or sod during installation. Tamp and roll lightly to ensure contact with soil, eliminate air pockets, and form a smooth surface. Work sifted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass.
1. Lay sod across slopes exceeding 1:3.
2. Anchor sod on slopes exceeding 1:6 with wood pegs spaced as recommended by sod manufacturer but not less than two anchors per sod strip to prevent slippage.
C. Saturate sod with fine water spray within two hours of planting. During first week after planting, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1-1/2 inches below sod.

1.16 TURF MAINTENANCE
A. General: Maintain and establish turf by watering, fertilizing, weeding, mowing, trimming, replanting, and performing other operations as required to establish healthy, viable turf. Roll, regrade, and replant bare or eroded areas and reseed to produce a uniformly smooth turf. Provide materials and installation the same as those used in the original installation.
1. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace materials and turf damaged or lost in areas of subsidence.
2. Apply treatments as required to keep turf and soil free of pests and pathogens or disease. Use integrated pest management practices whenever possible to minimize the use of pesticides and reduce hazards.
B. Watering: Install and maintain temporary piping, hoses, and turf-watering equipment to convey water from sources and to keep turf uniformly moist to a depth of 4 inches.
1. Schedule watering to prevent wilting, puddling, erosion, and displacement of seed or mulch. Lay out temporary watering system to avoid walking over muddy or newly planted areas.
2. Water turf with fine spray at a minimum rate of 1 inch per week unless rainfall precipitation is adequate.
C. Mow turf as soon as top growth is tall enough to cut. Repeat mowing to maintain specified height without cutting more than one-third of grass height. Remove no more than one-third of grass-leaf growth in initial or subsequent mowings. Do not delay mowing until grass blades bend over and become matted. Do not mow when grass is wet. Schedule initial and subsequent mowings to maintain the following grass height:
1. Mow Tifton 419 bermudagrass to a height of 1/2 to 1 inch.
D. Turf Postfertilization: Apply commercial fertilizer after initial mowing and when grass is dry.
1. Use fertilizer that provides actual nitrogen of at least 1 lb/1000 sq. ft. to turf area.

1.17 SATISFACTORY TURF
A. Turf installations shall meet the following criteria as determined by Architect:
1. Satisfactory Sodded Turf: At end of maintenance period, a healthy, well-rooted, even-colored, viable turf has been established, free of weeds, open joints, bare areas, and surface irregularities.
B. Use specified materials to reestablish turf that does not comply with requirements, and continue maintenance until turf is satisfactory.

1.18 PESTICIDE APPLICATION
A. Apply pesticides and other chemical products and biological control agents according to requirements of authorities having jurisdiction and manufacturer's written recommendations. Coordinate applications with Owner's operations and others in proximity to the Work. Notify Owner before each application is performed.
B. Post-Emergent Herbicides (Selective and Nonselective): Apply only as necessary to treat already-germinated weeds and according to manufacturer's written recommendations.

1.19 CLEANUP AND PROTECTION
A. Promptly remove soil and debris created by turf work from paved areas. Clean wheels of vehicles before leaving site to avoid tracking soil onto roads, walks, or other paved areas.
B. Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash, and debris, and legally dispose of them off Owner's property.
C. Erect temporary fencing or barricades and warning signs as required to protect newly planted areas from traffic. Maintain fencing and barricades throughout initial maintenance period and remove after plantings are established.

1.20 MAINTENANCE SERVICE
A. Turf Maintenance Service: Provide full maintenance by skilled employees of landscape installer. Maintain as required in "Turf Maintenance" Article. Begin maintenance immediately after each area is planted and continue until acceptable turf is established, but for not less than the following periods:
1. Sodded Turf: 30 days from date of Substantial Completion.

SECTION 329300 - PLANTS

1.1 RELATED DOCUMENTS
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY
A. Section Includes:
1. Plants:
2. Planting soils.
B. Related Sections:
1. Section 311030 "Site Clearing" for protection of existing trees and plantings, topsoil stripping and stockpiling, and site clearing.
2. Section 329200 "Turf and Grasses" for turf (lawn) and meadow planting, hydroseeding, and erosion-control materials.

1.3 UNIT PRICES
A. Work of this Section is affected by unit prices specified in Section 012200 "Unit Prices."
1. Unit prices apply to authorized work completed by quality allowances.
2. Unit prices apply to additions to and deletions from Work as authorized by Change Orders.

1.4 DEFINITIONS
A. Backfill: The earth used to replace or the act of replacing earth in an excavation.
B. Balled and Burlapped Stock: Plants dug with firm, natural balls of earth in which they were grown, with ball size not less than diameter and depth recommended by ANSI Z60.1 for type and size of plant required; wrapped with burlap, tied, rigidly supported, and drum laced with twine with the root flare visible at the surface of the ball as recommended by ANSI Z60.1.
C. Balled and Potted Stock: Plants dug with firm, natural balls of earth in which they are grown and placed, unbroken, in a container. Ball size is not less than diameter and depth recommended by ANSI Z60.1 for type and size of plant required.
D. Bare-Root Stock: Plants with a well-branching, fibrous-root system developed by transplanting or root pruning with soil or growing medium removed, and with not less than minimum root spread according to ANSI Z60.1 for type and size of plant required.
E. Container-Grown Stock: Healthy, vigorous, well-rooted plants grown in a container, with a well-established root system reaching sides of container and maintaining a firm ball when removed from container. Container shall be rigid enough to hold ball shape and protect root mass during shipping and be sized according to ANSI Z60.1 for type and size of plant required.
F. Duff Layer: The surface layer of native topsoil that is composed of mostly decayed leaves, twigs, and detritus.
G. Finish Grade: Elevation of finished surface of planting soil.
H. Pests: Living organisms that occur where they are not desired, or that cause damage to plants, animals, or people. These include insects, mites, grubs, mollusks (snails and slugs), rodents (gophers, moles, and mice), unwanted plants (weeds), fungi, bacteria, and viruses.
I. Planting Area: Area to be planted.
J. Planting Soil: Standardized topsoil; existing, native surface topsoil; existing, in-place surface soil; imported topsoil; or manufactured topsoil that is modified with soil amendments and perhaps fertilizers to produce a soil mixture best for plant growth.
K. Plant: Plants: Plant Material: These terms refer to vegetation in general, including trees, shrubs, vines, ground covers, ornamental grasses, bulbs, corns, tubers, or herbaceous vegetation.
L. Root Flare: Also called "trunk flare." The area at the base of the plant's stem or trunk where the stem or trunk broadens to form roots; the area of transition between the root system and the stem or trunk.
M. Stem Girdling Roots: Roots that encircle the stems (trunks) of trees below the soil surface.
N. Subgrade: Surface or elevation of subsoil remaining after excavation is complete, or the top surface of a fill or backfill before planting soil is placed.
O. Subsoil: All soil beneath the topsoil layer of the soil profile, and typified by the lack of organic matter and soil organisms.
P. Surface Soil: Soil that is present at the top layer of the existing soil profile at the Project site. In undisturbed areas, the surface soil is typically topsoil; but in disturbed areas such as urban environments, the surface soil can be subsoil.

1.5 ACTION SUBMITTALS
A. Product Data: For each type of product indicated, including soils.
1. Plant Materials: Include quantities, sizes, quality, and sources for plant materials.
2. Plant Photographs: Include color photographs in digital format of each required species and size of plant material as it will be furnished to the Project. Take photographs from an angle depicting true size and condition of the typical plant to be furnished. Include a scale rod or other measuring device in each photograph. For species where more than 20 plants are required, include a minimum of three photographs showing the average plant, the best quality plant, and the worst quality plant to be furnished. Identify each photograph with the full scientific name of the plant, plant size, and name of the growing nursery.
B. Samples for Verification: For each of the following:
1. Organic Mulch: 1-pint volume of organic mulch required; in sealed plastic bags labeled with composition/material by percentage of weight and source of mulch. Each Sample shall be typical of the lot of material to be furnished; provide an accurate representation of color, texture, and organic makeup.

1.6 INFORMATIONAL SUBMITTALS
A. Maintenance Instructions: Recommended procedures to be established by Owner for maintenance of plants during a calendar year. Submit before start of required maintenance periods.
B. Warranty: Sample of special warranty.

1.7 QUALITY ASSURANCE
A. Provide quality, size, genus, species, and variety of plants indicated, complying with applicable requirements in ANSI Z60.1.
B. Measurements: Measure according to ANSI Z60.1, typical, or Florida Grades & Standards, if referenced. Do not prune to obtain required sizes.
1. Trees and Shrubs: Measure with branches and trunks or canes in their normal position. Take height measurements from or near the top of the root flare for field-grown stock and container grown stock. Measure main body of tree or shrub for height and spread; do not measure branches or roots top to tip. Take caliper measurements 6 inches above the root flare for trees up to 4-inch caliper size, and 12 inches above the root flare for larger sizes.
2. Other Plants: Measure with stems, petioles, and foliage in their normal position.
C. Plant Material Observation: Architect may observe plant material either at place of growth or at site before planting for compliance with requirements for genus, species, variety, cultivar, size, and quality. Architect retains right to observe trees and shrubs further for size and condition of balls and root systems, pests, disease symptoms, injuries, and latent defects and to reject unsatisfactory or defective material at any time during progress of work. Remove rejected trees or shrubs immediately from Project site.
1. Notify Architect of sources of planting materials seven days in advance of delivery to site.
D. Preinstallation Conference: Conduct conference at Project site.

1.8 DELIVERY, STORAGE, AND HANDLING
A. Packaged Materials: Deliver packaged materials in original, unopened containers showing weight, certified analysis, name and address of manufacturer, and indication of conformance with state and federal laws if applicable.
B. Bulk Materials:
1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants.
2. Provide erosion-control measures to prevent erosion or displacement of bulk materials, discharge of soil-bearing water runoff, and airborne dust reaching adjacent properties, water conveyance systems, or walkways.
3. Accompany each delivery of bulk fertilizers and soil amendments with appropriate certificates.
C. Deliver bare-root stock plants freshly dug. Immediately after digging up bare-root stock, pack root system in eroded areas and reseed to produce a uniformly smooth turf. Provide materials and installation the same as those used in the original installation.
D. Do not prune trees and shrubs before delivery. Protect bark, branches, and root systems from sun scald, drying, wind burn, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees or shrubs in such a manner as to destroy their natural shape. Provide protective covering of plants during shipping and delivery. Do not drop plants during delivery and handling.
E. Handle planting stock by root ball.
F. Store bulbs, corns, and tubers in a dry place at 60 to 65 deg F until planting.

1.9 PROJECT CONDITIONS
A. Field Measurements: Verify actual grade elevations, structure and utility locations, irrigation system components, and dimensions of plantings and construction contiguous with new plantings by field measurements before proceeding with planting work.
B. Interruption of Existing Services or Utilities: Do not interrupt services or utilities to facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary services or utilities according to requirements indicated:
1. Notify Architect no fewer than two days in advance of proposed interruption of each service or utility.
2. Do not proceed with interruption of services or utilities without Architect's written permission.
C. Planting Restrictions: Plant during one of the following periods. Coordinate planting periods with maintenance periods to provide required maintenance from date of Substantial Completion.
D. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit planting to be performed when beneficial and optimum results may be obtained. Apply products during favorable weather conditions according to manufacturer's written instructions and warranty requirements.
E. Coordination with Turf Areas (Lawns): Plant trees, shrubs, and other plants after finish grades are established and before planting turf areas unless otherwise indicated.
1. When planting trees, shrubs, and other plants after planting turf areas, protect turf areas, and promptly repair damage caused by planting operations.

1.10 WARRANTY
A. Special Warranty: Installer agrees to repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period.
1. Failures include, but are not limited to, the following:
a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond Contractor's control.
b. Structural failures including plantings falling or blowing over.

c. Deterioration of metals, metal finishes, and other materials beyond normal weathering.
2. Warranty Periods from Date of Substantial Completion:
a. Trees, Shrubs, Vines, and Ornamental Grasses: 12 months.
b. Ground Covers, Biennials, Perennials, and Other Plants: 12 months.
c. Annuals: Three months.
3. Include the following remedial actions as a minimum:
a. Immediately remove dead plants and replace unless required to plant in the succeeding planting season.
b. Replace plants that are more than 25 percent dead or in an unhealthy condition at end of warranty period.
c. A limit of one replacement of each plant will be required except for losses or replacements due to failure to comply with requirements.
d. Provide extended warranty for period equal to original warranty period, for replaced plant material.

1.11 MAINTENANCE SERVICE
A. Initial Maintenance Proposal: From Installer to Owner and/or Bld Administrator, in the form of a standard yearly (or other period) maintenance agreement as an addendum to Bid Proposal or Bid Form if not requested otherwise in bidding documents, starting on date that maintenance begins as defined in this Section. State services, obligations, conditions, and terms for agreement period and for future renewal options.
B. Initial Maintenance Service for Trees and Shrubs: Provide maintenance by skilled employees of landscape installer. Maintain as required in Part 3. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established but for not less than maintenance period below.
1. Maintenance Period: 12 months from date of Substantial Completion.
C. Initial Maintenance Service for Ground Cover and Other Plants: Provide maintenance by skilled employees of landscape installer. Maintain as required in Part 3. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established but for not less than maintenance period below.
1. Maintenance Period: Six months from date of Substantial Completion.
D. Continuing Maintenance Proposal: From Installer to Owner, in the form of a standard yearly (or other period) maintenance agreement, starting on date initial maintenance service is concluded. State services, obligations, conditions, and terms for agreement period and for future renewal options.

1.12 PLANT MATERIAL
A. General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant Schedule or Plant Legend shown on Drawings and complying with ANSI Z60.1; and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and discoloration.
1. Trees with damaged, crooked, or multiple leaders; light vertical branches where bark is squeezed between two branches or between trunk and trunk (included bark*); crossing trunks; cut-off limbs more than 3/4 inch in diameter; or with stem girdling roots will be rejected.
2. Collected Stock: Do not use plants harvested from the wild, from native stands, from an established landscape planting, or not grown in a nursery unless otherwise indicated.
B. Provide plants of sizes, grades, and ball or container sizes complying with ANSI Z60.1 for types and form of plants required. Plants of a larger size may be used if acceptable to Architect, with a proportionate increase in size of roots or balls.
C. Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which shall begin at root flare according to ANSI Z60.1. Root flare shall be visible before planting.
D. Labeling: Label at least one plant of each variety, size, and caliper with a securely attached, waterproof tag bearing legible designation of common name and full scientific name, including genus and species. Include nomenclature for hybrid, variety, or cultivar, if applicable for the plant as shown on Drawings.
E. If formal arrangements or consecutive order of plants is shown on Drawings, select stock for uniform height and spread, and number the labels to assure symmetry in planting.
F. Annuals: Provide healthy, disease-free plants of species and variety shown or listed, with well-established root systems reaching to sides of the container to maintain a firm ball, but not with excessive root growth encircling the container. Provide only plants that are acclimated to outdoor conditions before delivery.

1.13 ORGANIC SOIL AMENDMENTS
A. Compost: Well-composted, stable, and weed-free organic matter, pH range of 5.5 to 8; moisture content of 35 to 55 percent by weight; 100 percent passing through 1/2-inch sieve; soluble salt content of 10 to 15 decigrams/m; not exceeding 0.5 percent inert contaminants and free of substances toxic to plantings; and as follows:
1. Organic Matter Content: 50 to 60 percent of dry weight.
2. Feedstock: Agricultural, food, or industrial residuals; biosolids; yard trimmings; or source-separated or compostable mixed solid waste.
B. Wood Derivatives: Decomposed, nitrogen-treated sawdust, ground bark, or wood waste; of uniform texture and free of chips, stones, sticks, soil, or toxic materials.
1. In lieu of decomposed wood derivatives, mix partially decomposed wood derivatives with ammonium nitrate at a minimum rate of 0.15 lb/cu. ft. of loose sawdust or ground bark, or with ammonium sulfate at a minimum rate of 0.25 lb/cu. ft. of loose sawdust or ground bark.
2. Some regional trade names include "Topsoil Conditioner" or "IP Mulch".

1.14 FERTILIZERS
A. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea formaldehyde, phosphorus, and potassium in the following composition:
1. Composition: 1 lb/1000 sq. ft. of actual nitrogen, 4 percent phosphorus, and 2 percent potassium, by weight.
B. Slow-Release Fertilizer: Granular or pelleted fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorus, and potassium in the following composition:
1. Composition: 20 percent nitrogen, 10 percent phosphorus, and 10 percent potassium, by weight.
C. Planting Tablets: Tightly compressed chip type, long-lasting, slow-release, commercial-grade planting fertilizer in tablet form. Tablets shall break down with soil bacteria, converting nutrients into a form that can be absorbed by plant roots.
1. Size: 21-grain tablets.
2. Nutrient Composition: 20 percent nitrogen, 10 percent phosphorus, and 5 percent potassium, by weight plus micronutrients.

1.15 PLANTING SOILS
A. Planting Soil, typical: Existing, native surface topsoil formed under natural conditions with the duff layer retained during excavation process. Verify suitability of native surface topsoil to produce viable planting soil. Clean soil of roots, plants, sod, stones, clay lumps, and other extraneous materials harmful to plant growth.
1. Mix existing, native surface topsoil with either of the following soil amendments and fertilizers in the following quantities to produce planting soil:
a. Ratio of Loose Compost to Topsoil by Volume: 1:3.
b. Ratio of Loose Wood Derivatives to Topsoil by Volume: 1:3.
c. Weight of Commercial Fertilizer per 1000 Sq. Ft.: 1 lb.
d. Weight of Slow-Release Fertilizer per 1000 Sq. Ft.: 1 lb..

1.16 MULCHES
A. Organic Mulch: Free from deleterious materials and suitable as a top dressing of trees and shrubs, consisting of one of the following:
1. Type: Longleaf pine needles.
2. Color: Natural.

1.17 EXAMINATION
A. Examine areas to receive plants for compliance with requirements and conditions affecting installation and performance.
1. Verify that no foreign or deleterious material or liquid such as paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, or acid has been deposited in soil within a planting area.
2. Do not mix or place soils and soil amendments in frozen, wet, or muddy conditions.
3. Suspend soil spreading, grading, and tilling operations during periods of excessive soil moisture until the moisture content reaches acceptable levels to attain the required results.
4. Uniformly moisten excessively dry soil that is not workable and which is too dusty.
B. Proceed with installation only after unsatisfactory conditions have been corrected.
C. If contamination by foreign or deleterious material or liquid is present in soil within a planting area, remove the soil and contamination as directed by Architect and replace with new planting soil.

1.18 PREPARATION
A. Protect structures, utilities, sidewalks, pavements, and other facilities and turf areas and existing plants from damage caused by planting operations.
B. Install erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water or airborne dust to adjacent properties and walkways.
C. Lay out individual tree and shrub locations and areas for multiple plantings. Stake locations, outline areas, or shade), protect from weather and mechanical damage, and keep roots moist.
D. Make minor adjustments as required.
E. Lay out plants at locations directed by Architect. Stake locations of individual trees and shrubs and outline areas for multiple plantings.

1.19 PLANTING AREA ESTABLISHMENT
A. Loosen subgrade of planting areas to a minimum depth of 4 inches. Remove stones larger than 1 inch in any dimension and sticks, roots, rubbish, and other extraneous matter and legally dispose of them off Owner's property.
1. Apply each fertilizer directly to subgrade before loosening.
2. Till and rake planting area to receive amendments. Spread amendments to achieve rates at 4" depth. Till and incorporate fully into subgrade before loosening.
B. Finish Grading: Grade planting areas to a smooth, uniform surface plan with loose, uniformly fine texture. Roll and rake, remove ridges, and fill depressions to meet finish grades.
C. Before planting, obtain Architect's acceptance of finish grading; restore planting areas if eroded or otherwise disturbed after finish grading.

1.20 EXCAVATION FOR TREES AND SHRUBS
A. Planting Pits and Trenches: Excavate circular planting pits with sides sloping inward at a 45-degree angle. Excavations with vertical sides are not acceptable. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil to prevent settling. Scarify sides of planting pit smeared or smoothed during excavation.
1. Excavate approximately three times as wide as ball diameter for balled and burlapped stock.
2. Excavate at least 12 inches wider than depth of root spread and deep enough to accommodate vertical roots for bare-root stock.
3. Do not excavate deeper than depth of the root ball, measured from the root flare to the bottom of the root ball.
4. If area under the plant was initially dug too deep, add soil to raise it to the correct level and thoroughly tamp the added soil to prevent settling.
5. Maintain required angles of repose of adjacent materials as shown on the Drawings. Do not excavate subgrades of adjacent paving, structures, hardscapes, or other new or existing improvements.
6. Maintain supervision of excavations during working hours.

7. Keep excavations covered or otherwise protected after working hours.
B. Subsoil and topsoil removed from excavations may be used as planting soil.
C. Obstructions: Notify Architect if unexpected rock or obstructions detrimental to trees or shrubs are encountered in excavations.
1. Hardpan Layer: Drill 6-inch-diameter holes, 24 inches apart, into free-draining strata or to a depth of 10 feet, whichever is less, and backfill with free-draining material.
D. Drainage: Notify Architect if subsol conditions evidence unexpected water seepage or retention in tree or shrub planting pits.
E. Fill excavations with water and allow to percolate away before positioning trees and shrubs.

1.21 TREE, SHRUB, AND VINE PLANTING
A. Before planting, verify that root flare is visible at top of root ball according to ANSI Z60.1. If root flare is not visible, remove soil in a level manner from the root ball to where the top-most root emerges from the trunk. After soil removal to expose the root flare, verify that root ball still meets size requirements.
B. Remove stem girdling roots and kninked roots. Remove injured roots by cutting cleanly to cut break.
C. Set balled and burlapped stock plumb and in center of planting pit or trench with root flare 1 inch above adjacent finish grade.
1. Use planting soil, typical, for backfill.
2. After placing some backfill around root ball to stabilize plant, carefully cut and remove burlap, rope, and wire baskets from tops of root balls and from sides, but do not remove from under root balls. Remove pallets, if any, before setting. Do not use planting stock if root ball is cracked or broken before or during planting operation.
3. Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed.
4. Place planting tablets in each planting pit when pit is approximately one-half filled; in amounts recommended in soil reports from soil-testing laboratory. Place tablets beside the root ball about 1 inch from root tips; do not place tablets in bottom of the hole.
5. Continue backfilling process: Water again after placing and tamping final layer of soil.
D. Set container-grown stock plumb and in center of planting pit or trench with root flare 1 inch above adjacent finish grade.
1. Use planting soil, typical, for backfill.
2. Carefully remove root ball from container without damaging root ball or plant.
3. Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed.
4. Place planting tablets in each planting pit when pit is approximately one-half filled; in amounts recommended in soil reports from soil-testing laboratory. Place tablets beside the root ball about 1 inch from root tips; do not place tablets in bottom of the hole.
5. Continue backfilling process: Water again after placing and tamping final layer of soil.
E. When planting on slopes, set the plant so the root flare on the uphill side is flush with the surrounding soil on the slope; the edge of the root ball on the downhill side will be above the surrounding soil. Apply enough soil to cover the downhill side of the root ball.

1.22 TREE, SHRUB, AND VINE PRUNING
A. Prune, thin, and shape trees, shrubs, and vines as directed by Architect.
B. Do not apply pruning paint to wounds.

1.23 GROUND COVER AND PLANT PLANTING
A. Set out and space ground cover and plants other than trees, shrubs, and vines as indicated in even rows with triangular spacing.
B. Use planting soil, typical, for backfill.
C. Dig holes large enough to allow spreading of roots.
D. For rooted cutting plants supplied in flats, plant each in a manner that will minimally disturb the root system but to a depth not less than two nodes.
E. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water.
F. Water thoroughly after planting, taking care not to remove plant crowns with wet soil.
G. Protect plants from hot sun and wind; cover planting plants with soil evidence of recovery from transplanting shock.

1.24 PLANTING AREA MULCHING
A. Mulch backfilled surfaces of planting areas and other areas indicated.
1. Trees and Tree-like Shrubs in Turf Areas: Apply organic mulch ring of 3-inch average thickness, with 36-inch radius around trunks or stems. Do not place mulch within 3 inches of trunks or stems.
2. Organic Mulch in Planting Areas: Apply 3-inch average settled thickness of organic mulch over whole surface of planting area, and finish level with adjacent finish grades. Do not place mulch within 2 inches of trunks or stems.

1.25 PLANT MAINTENANCE
A. Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring planting saucers, and adjusting and repairing tree-stabilization devices, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.
B. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence.

1.26 CLEANUP AND PROTECTION
A. During planting, keep adjacent paving and construction clean and work area in an orderly condition.
B. Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.
C. After installation and before Substantial Completion, remove nursery tags, nursery stakes, tie tape, labels, wire, burlap, and other debris from plant material, planting areas, and Project site.

1.27 DISPOSAL
A. Remove surplus soil and waste material including excess subsoil, unsuitable soil, trash, and debris and legally dispose of them off Owner's property.

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Revisions		Revisions / Submissions
No.	Date	
	01.20.25	FOR PERMIT

YJ

Drawn

YJ

Project Manager

JLA

Principal

253470-003

Project No.

01.17.25

Date

Registration - FL LA6666896

Drawings not valid without seal

Sheet Title

PLANTING SPECIFICATIONS

LP501

Sheet No.

City of Gluckstadt

Application for Site Plan Review

Subject Property Address: Parcel ID#: 082E-22-016/29.00Parcel #: See above.Owner: D&S Investment Group, LLCApplicant: Lee SahlerAddress: 103 Eastwick Cv.Address: 103 Eastwick Cv.Madison, MS 39110Madison, MS 39110Phone #: 601-503-6860Phone #: 601-503-6860E-Mail: jlsconst@yahoo.comE-Mail: jlsconst@yahoo.comCurrent Zoning District: C2

Acreage of Property (If applicable): _____

Use sought of Property: Hotel constructionRequirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

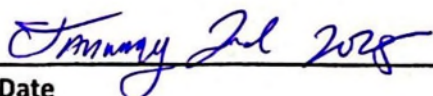
Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.



 Applicant Signature



 Date

CITY OF GLUCKSTADT BUILDING DEPARTMENT
OFFICE USE ONLY

Date Received: _____

Application Complete & Approved to Submit to P&Z Board (please check):

Yes _____ No _____

Signature: _____
 Planning & Zoning Administrator (or Authorized Representative)

DEAN
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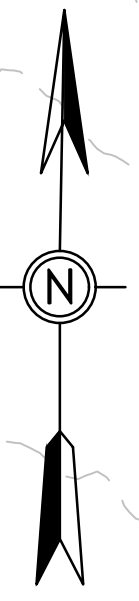
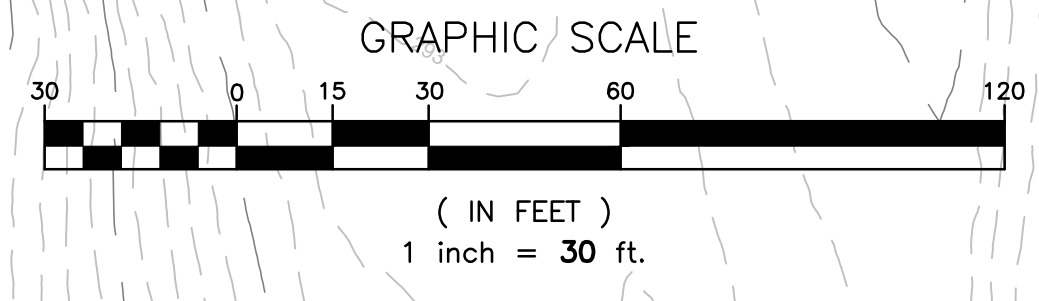
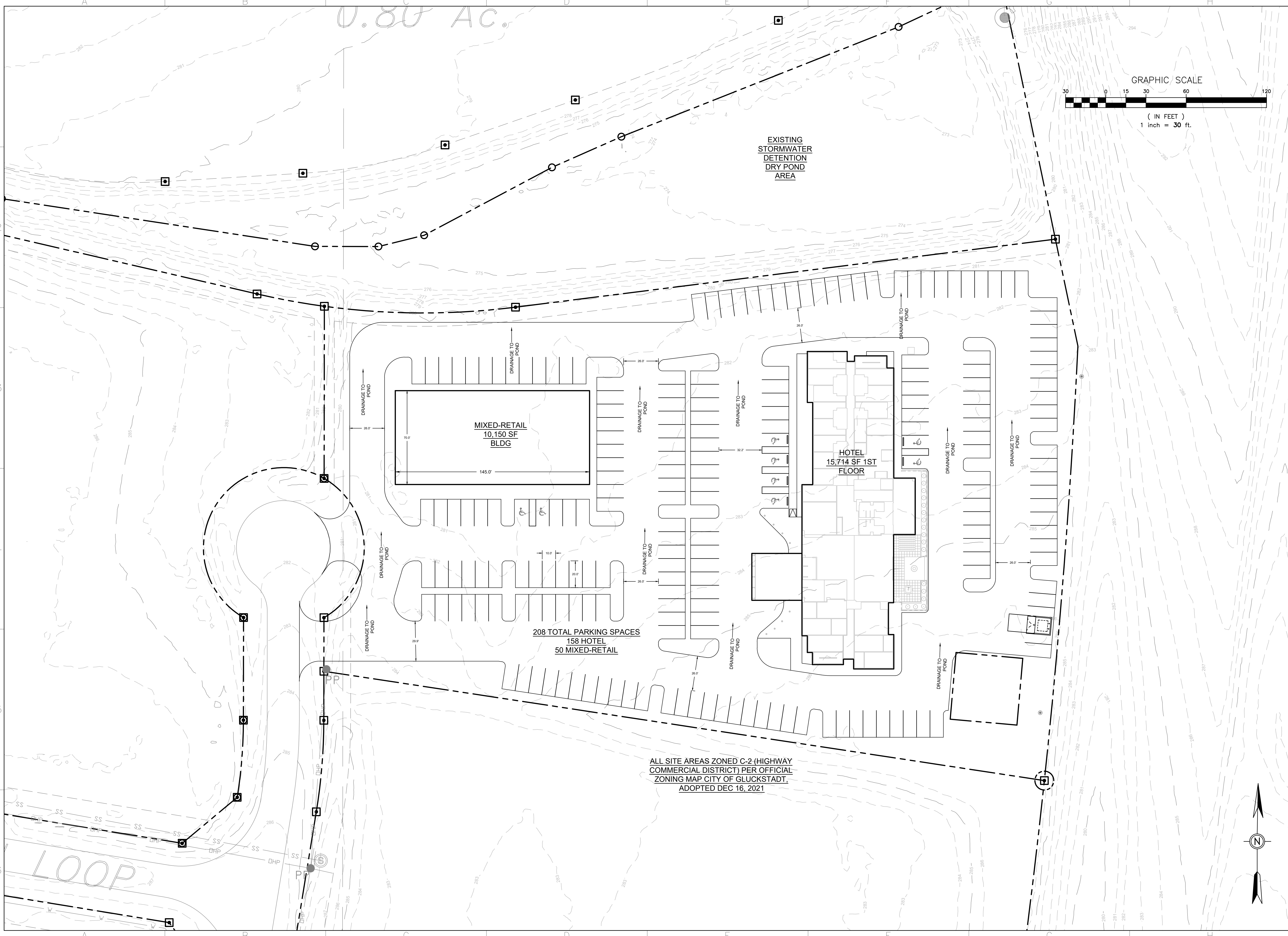


#	Description	Date
1	PLANS SUBMITTED FOR REVIEW	01.17.25

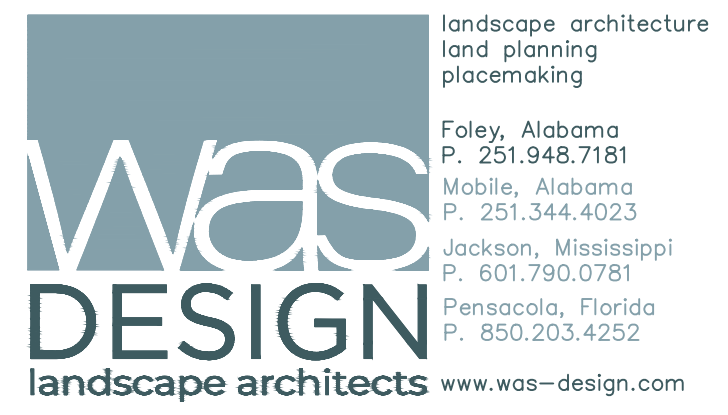
OWNER:
PraCon
Global Investment Group
3220 N. STATE ST.
JACKSON, MS 39216

PROJECT TITLE: GLUCKSTADT HOTEL
SHEET TITLE:
GRADING PLAN
SITE DEVELOPMENT

DATE: 17 JAN 2025
SCALE: AS SHOWN
DRAWN BY: WSD
REVIEWED BY: WSD
SHEET NUMBER:
C5.0



ALL SITE AREAS ZONED C-2 (HIGHWAY
COMMERCIAL DISTRICT) PER OFFICIAL
ZONING MAP CITY OF GLUCKSTADT,
ADOPTED DEC 16, 2021



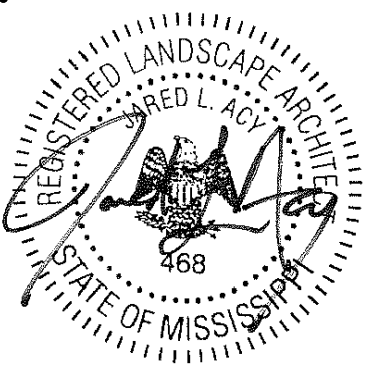
NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Gluckstadt Hotel
Gluckstadt, Mississippi

Revisions		
No.	Date	Revisions / Submissions
01	01.20.25	FOR PERMIT

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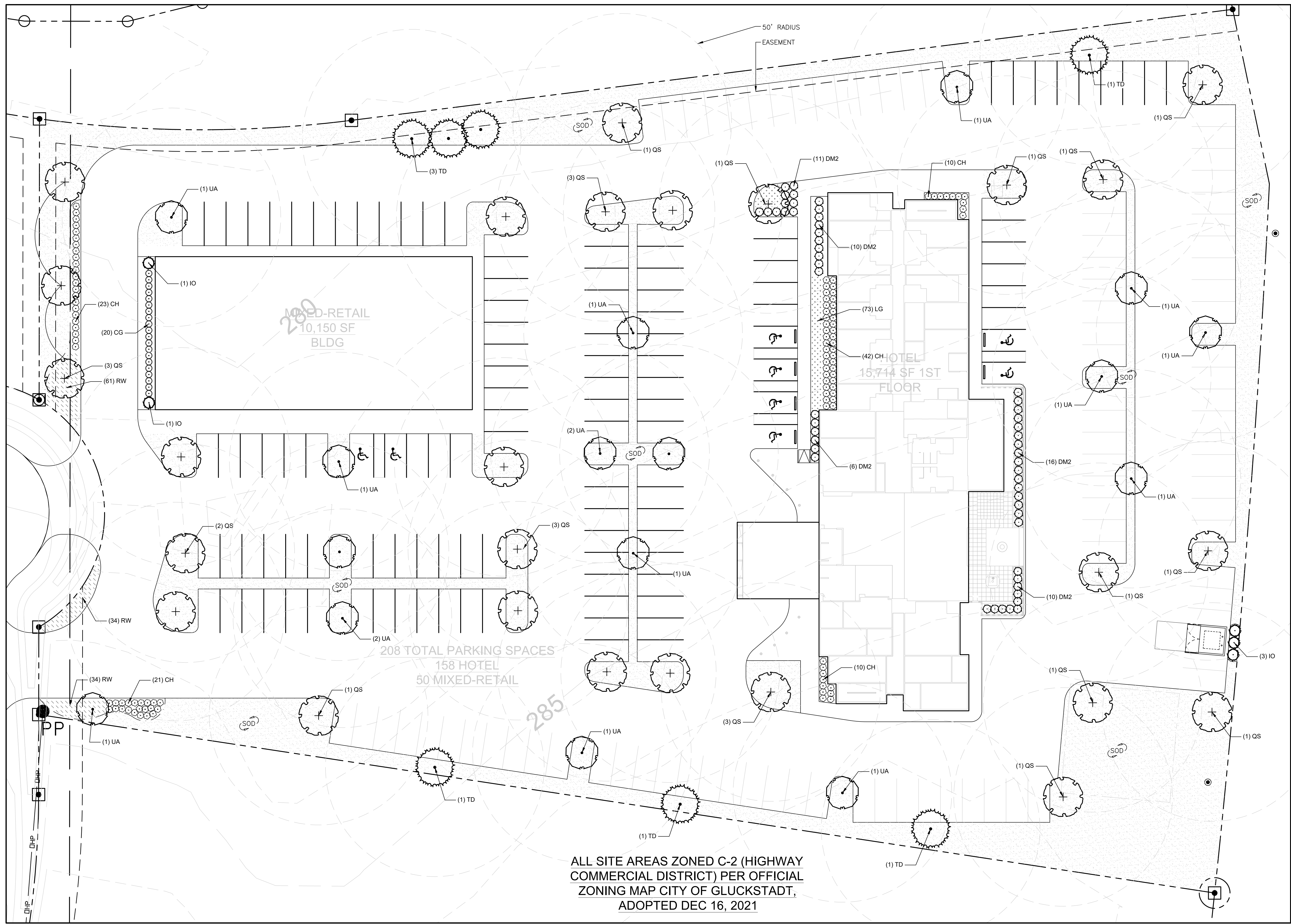
YJ _____ Registration - FL LA666896
 Drawn YJ
 Project Manager JLA
 Principal JLA
 253470-003
 Project No. 01.17.25
 Date _____
 Drawings not valid without seal



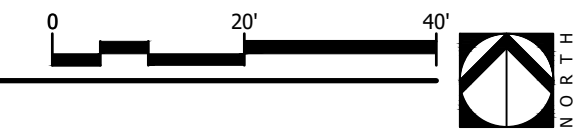
Sheet Title

PLANTING PLAN

Sheet No. **LP100**



1 PLANTING PLAN
Scale: 1" = 20'

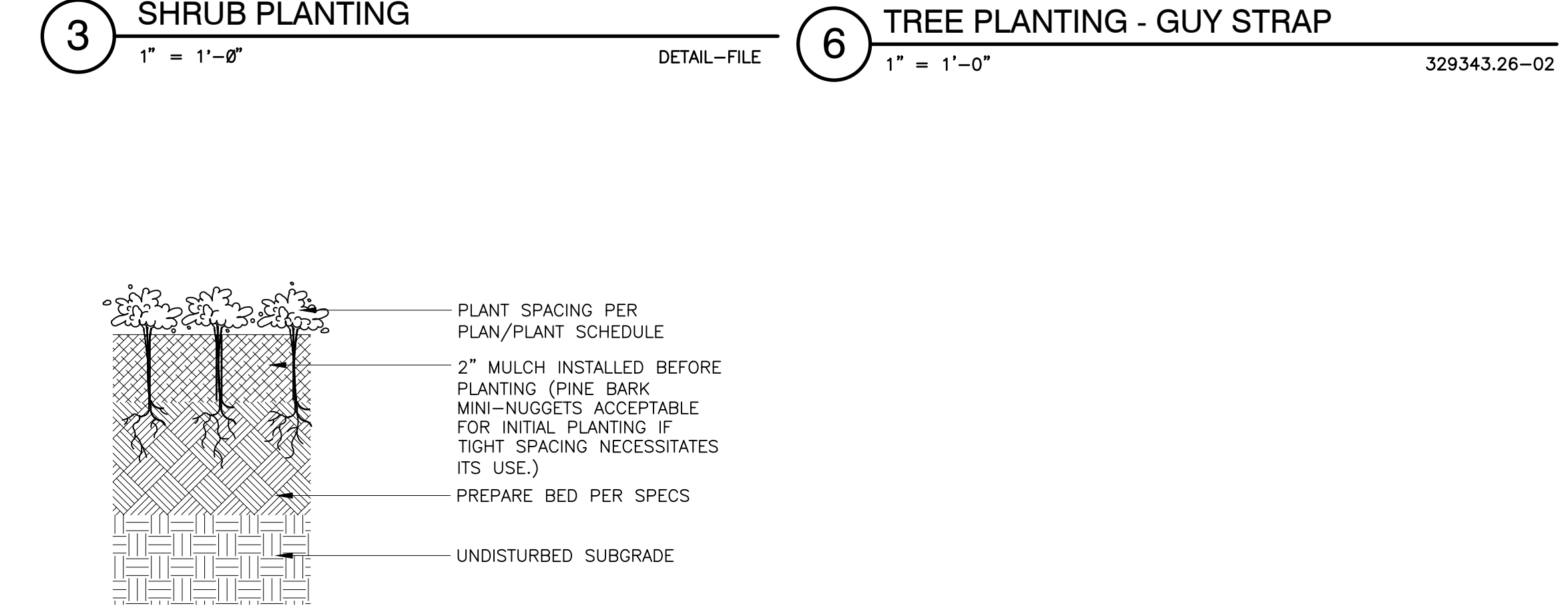
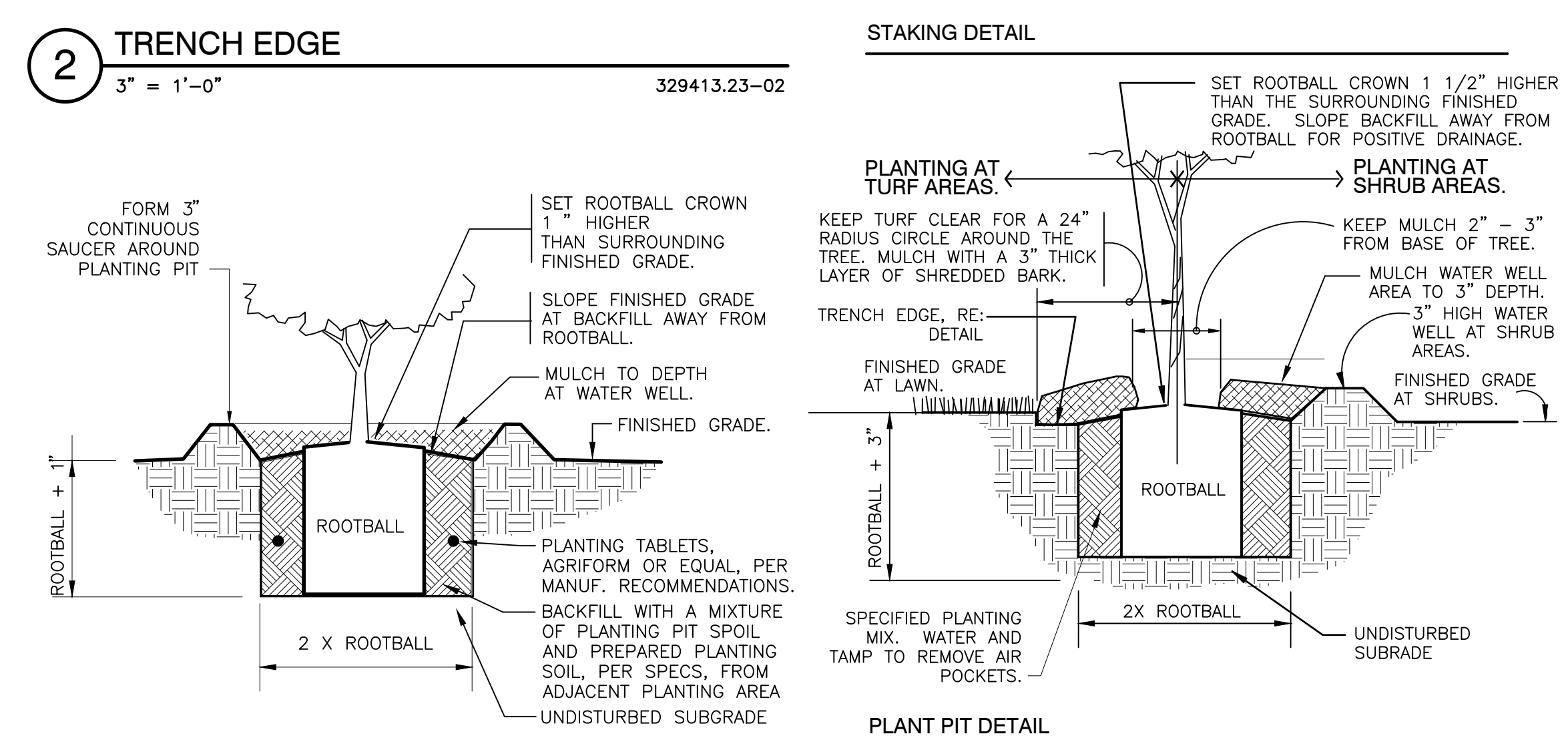
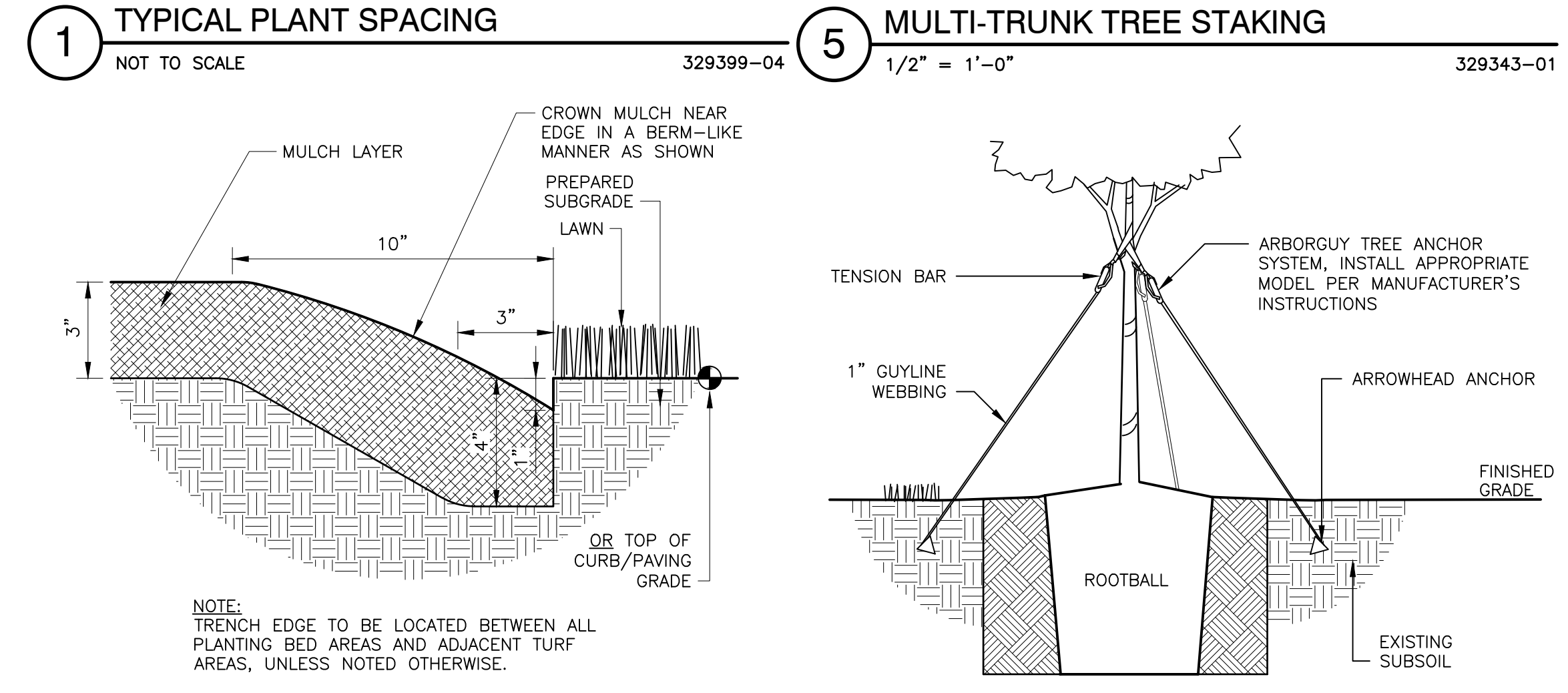
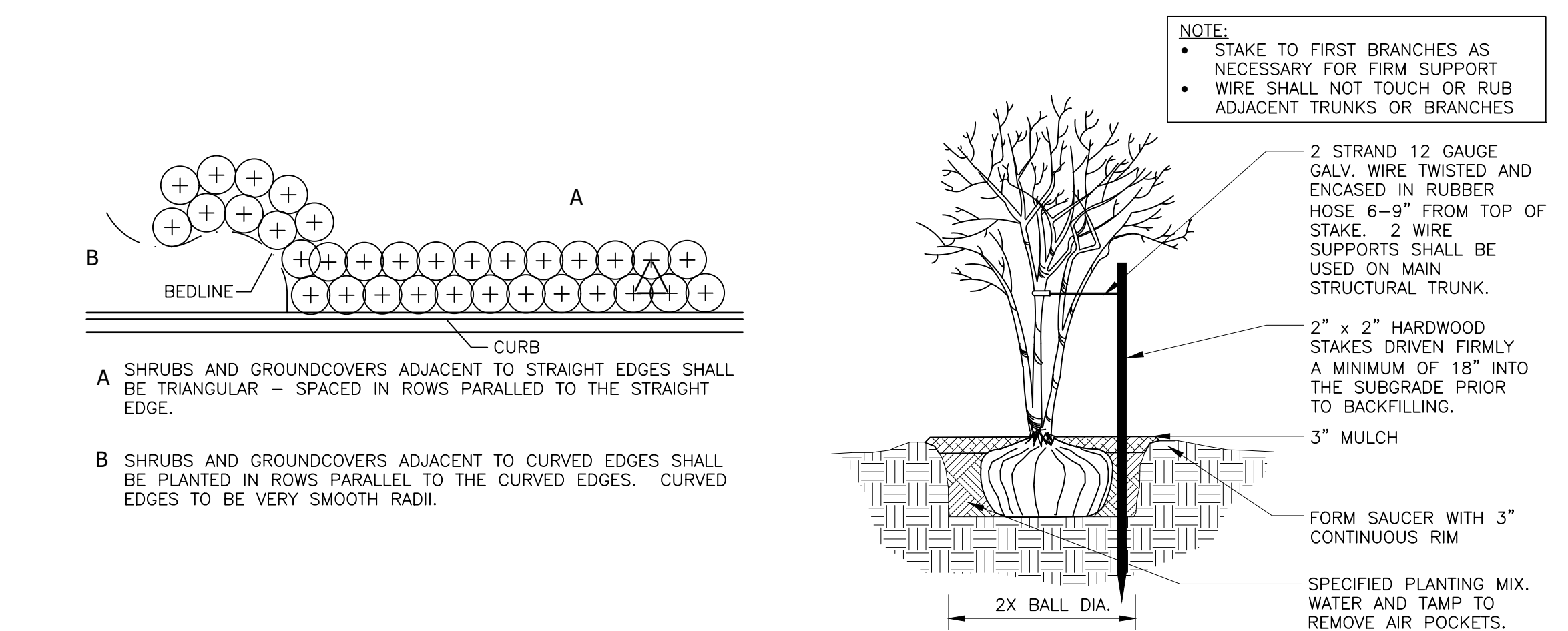


PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
TREES						
	IO	5	ILEX HYBRID 'CONAF' / OAK LEAF HOLLY FULL TO GROUND, SPECIMEN QUALITY	B&B OR CONT		6'
	QS	26	QUERCUS SHUMARDII / SHUMARD RED OAK FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	TD	7	TAXODIUM DISTICHUM / BALD CYPRESS FULL HEAD, SPECIMEN QUALITY	45 GAL	2.0" - 2.5" CAL	10'-12'
	UA	16	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	2.0" - 2.5" CAL	10'-12'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	SPACING
SHRUBS						
	CG	20	CAMELLIA SASANQUA 'SHISHI GASHIRA' / SHISHI GASHIRA CAMELLIA	3 GAL		36" o.c.
	DM2	53	DISTYLIUM 'VINTAGE JADE' / VINTAGE JADE DISTYLIUM	3 GAL		48" o.c.
	CH	106	ILEX CORNUTA 'CARISSA' / CARISSA HOLLY FULL FORM	3 GAL		36" o.c.
GROUND COVERS						
	LG	99	LIRIOPE MUSCARI 'EVERGREEN GIANT' / EVERGREEN GIANT LILYTURF	1 GAL		24" o.c.
	RW	129	ROSA 'MEIZORLAND'™ / WHITE DRIFT ROSE	1 GAL		30" o.c.
SOD/SEED						
	SOD	32,424 SF	CYNODON DACTYLON 'TIFWAY 419' / TIFWAY 419 BERMUDA GRASS	SOD		

QUANTITY TAKEOFF DISCLAIMER:
 QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

IRRIGATION NOTE:
 ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.



landscape architecture
 land planning
 placemaking

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NOT FOR CONSTRUCTION
 THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Gluckstadt Hotel
 Gluckstadt, Mississippi

Revisions

No.	Date	Revisions / Submissions
01	2025	FOR PERMIT

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YJ Drawn
 YJ Project Manager
 JLA Principal
 253470-003 Project No.
 01.17.25 Date

Registration - FL LA666896

Drawings not valid without seal

Sheet Title

PLANTING DETAILS

Sheet No. **LP500**

