



**SPECIAL CALLED MEETING OF THE ARCHITECTURAL REVIEW
COMMITTEE
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

Tuesday, February 24, 2026 at 3:00 PM

Agenda

This notice and agenda of the Special Called Meeting of the Architectural Review Committee is hereby given by the undersigned. Said meeting shall be held on Tuesday, February 24, 2026, at 3:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

- 1. Call Meeting to Order and Roll Call**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**
 - [A\)](#) Consideration of Approval for 02/3/26 Regular Meeting of Architectural Review
- 4. New Business**
 - [A\)](#) Mt Pleasant Family Life Addition Architectural Review
 - [B\)](#) BRH Asset Management Warehouse Addition Architectural Review
- 5. Old Business**
 - A) Continue Discussion of Design Standards for Architectural Districts
- 6. Public Comment**
- 7. Next Meeting**
 - A) March 17th, 2026, at 3:00 pm City Hall 343 Distribution Dr, Gluckstadt, MS 39110
- 8. Adjourn**

Commissioner Kayce Saik _____

Commissioner Melanie Greer Smith _____

Commissioner Lee Sahler _____

**Regular Meeting of the Architectural Review
Committee
of the City of Gluckstadt, Mississippi
Tuesday February 3, 2026, at 3:00 PM**

Minutes

The business of this meeting with Committee Members Kayce Saik, Melanie Greer and Lee Sahler were as follows:

1. Chairman Kayce Saik called the meeting to order; all members of the board were present.
2. Kayce Saik gave the opening Prayer with Melanie Greer giving the Pledge of Allegiance.
3. Consideration of Minutes:
Melanie Greer made the motion to approve the minutes of the January 20, 2026, meeting as presented. Kayce Saik seconded the motion with all members voting “AYE” the motion carried.
4. **New Business**
 - A) Mt Pleasant Baptist Church Architectural Review
 - i. Church representatives were not in attendance
 - ii. Board recommended to table discussion until Church representatives could come and bring exterior color samples for review
 - iii. Melaine Greer made a motion to table discussion; the motion was seconded by Lee Sahler with all members voting “AYE” passing the motion.
 - B) Bridgforth-110 Weisenberger Rd Renovation
 - i. Mr. Rutledge was not in attendance
 - ii. The board discussed the issue and determined that he can get the building dried in, but no other work would be allowed until he submitted the full design thru the proper channels
 - iii. Melaine Greer made a motion to recommend to the MMBOA to allow the business owner to complete the brick front and dry in what he had started. With this recommendation no other work will be allowed until a full design plan is submitted and goes thru the proper channels of approvals. Also, a permit will be issued for the sole purpose of finishing this brick work and drying in the building. A new permit will have to be issued once the full design has been approved. The motion was seconded by Lee Sahler with all members voting “AYE” passing the motion.
5. **Old Business**
 - A) Continued Discussion of Architectural Standards and Styles

- i. Chris Watson was unable to attend this meeting due to recent storms in his hometown.
- ii. Melanie Greer made a motion to table the discussion until next meeting; the motion was seconded by Lee Sahler with all members voting “AYE” passing the motion

6. Public Comment

No members of the public signed up to address the board.

7. Next Meeting – Special Call meeting February 24th, 2026, at 3:00 pm 343 Distribution Drive, Gluckstadt, MS 39110.

A) Caine Dearman brought up the need to move the Regular Meeting of the ARC to the 3rd Tuesday of the month. This would provide a better flow of the approval process and possibly shorten the approval time as well

- i. Melaine Greer made a motion to recommend a new meeting date for the ARC to the MMBOA; the motion was seconded by Lee Sahler with all members voting “AYE” passing the motion.

8. Adjourn

Melanie Greer made a motion to adjourn; the motion was seconded by Lee Sahler with all members voting “AYE” the motion passed.

WITNESS OUR HANDS, this the _____ day of _____, 2026.

KAYCE SAIK, Chairman

MELANIE GREER, Vice Chairman



CITY OF GLUCKSTADT

MISSISSIPPI
PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Architectural Review Committee

FROM: Caine Dearman, Planning and Zoning Administrator

DATE: 02/24/2026

SUBJECT: Architectural Review Consideration-Mt Pleasant Baptist Church

Mt. Pleasant Baptist Church, located at 729 Gluckstadt Rd, is planning to build a Family Life Center/Multi-use addition to the church property. They have submitted a Conditional Use and Site Plan application and are scheduled for the PNZ meeting later tonight. Attached within is their proposed site plan including building elevations. They are proposing a white stucco exterior with a red brick trim around the perimeter of the building. The proposed red brick will match the existing church. They have also included shrubs and two trees along the front of the new building. The church representatives are here today, and they have color samples and/or color identification codes.

Caine Dearman

From: Bridgette Smith
Sent: Friday, January 30, 2026 12:38 PM
To: KEITH Gayden; George Adams; Caine Dearman
Subject: RE: Statement of Intended Use for Family Life and Multipurpose Facility

Hello,
Received, thank you.

From: KEITH Gayden <ministergayden@gmail.com>
Sent: Friday, January 30, 2026 12:04 PM
To: George Adams <georgepaul1902@gmail.com>; Bridgette Smith <bridgette.smith@gluckstadt.net>; Caine Dearman <caine.dearman@gluckstadt.net>
Subject: Statement of Intended Use for Family Life and Multipurpose Facility

Mount Pleasant Missionary Baptist Church
729 Gluckstadt Road
Gluckstadt, MS 39110
Phone: (601*) *- 842-2462
Email: Ministergayden@gmail.com

Date: January 12, 2026

City of Gluckstadt
Planning and Zoning Committee
Gluckstadt, MS

Re: Purpose and Intended Use of Family Life / Multipurpose Facility

Dear Members of the Planning and Zoning Committee,

On behalf of Mount Pleasant Missionary Baptist Church, located at 729 Gluckstadt Road, Gluckstadt, Mississippi, I respectfully submit this letter to outline the purpose and intended use of our proposed Family Life and Multipurpose Facility.

The vision for this facility is to serve as an extension of the church’s long-standing commitment to spiritual growth, family enrichment, and community engagement within the City of Gluckstadt. The building will be used primarily for religious, educational, and community-oriented purposes consistent with the mission of Mount Pleasant Missionary Baptist Church.

Intended uses of the Family Life and Multipurpose Facility include, but are not limited to:

- Religious services and church-related gatherings
- Worship services and ministry events

- Church banquets and fellowship meals
- Youth activities and youth development programs
- Weddings and wedding-related ceremonies
- Educational workshops, meetings, and community outreach activities

In addition, this facility will be made available to serve as a voting precinct for the City of Gluckstadt, supporting civic participation and contributing to the democratic process within our community.

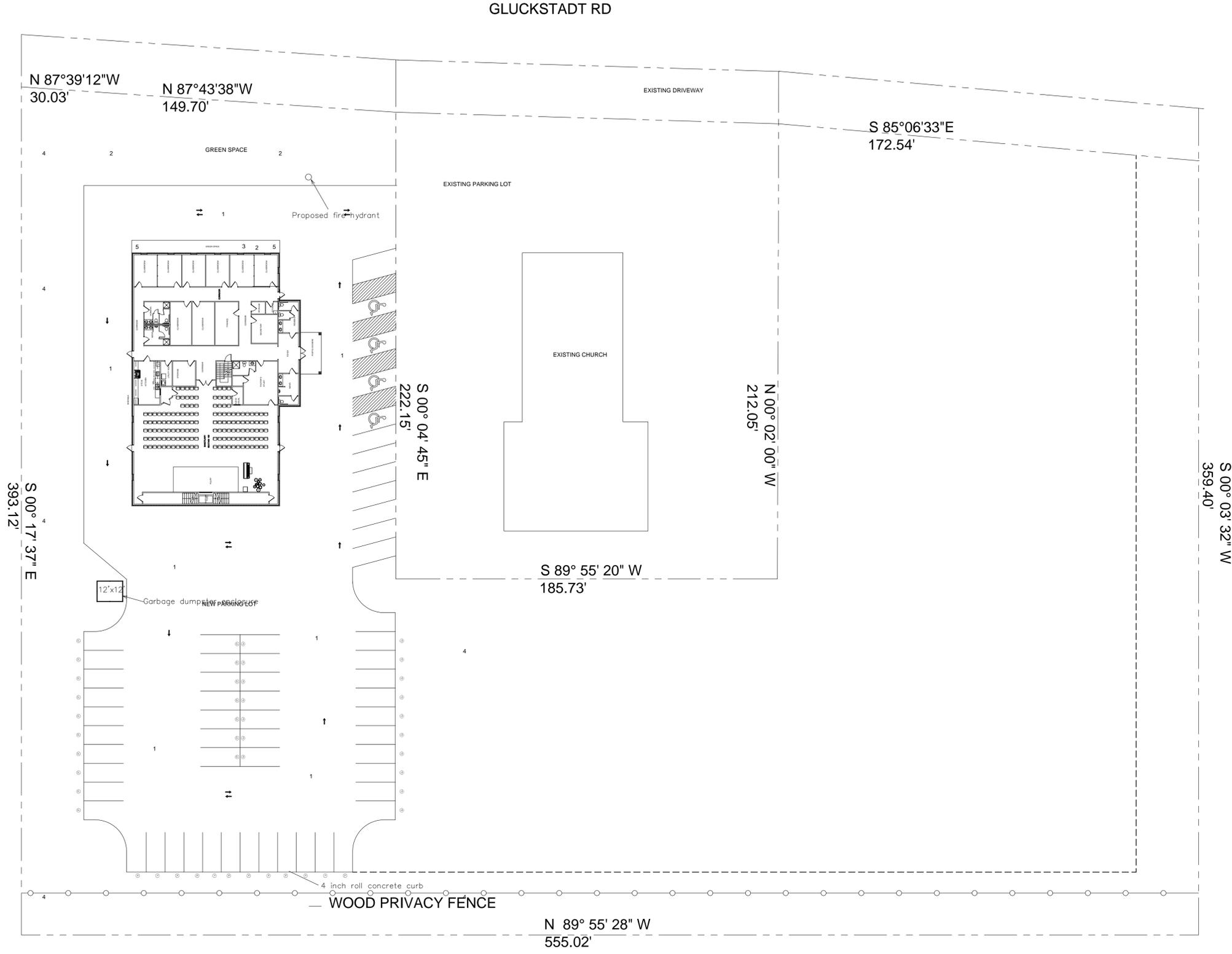
All activities conducted within the facility will be managed responsibly and in accordance with applicable city ordinances, zoning regulations, and safety requirements. Our goal is to ensure that the facility is a positive, respectful, and beneficial presence for both our congregation and the surrounding community.

We appreciate the continued support and cooperation of the City of Gluckstadt and the Planning and Zoning Committee as we seek to expand our capacity to serve. Should additional information or clarification be required, please do not hesitate to contact us.

Thank you for your time, consideration, and service to our city.

Respectfully submitted,

Rev. Dr. Keith E. Gayden
Pastor
Mount Pleasant Missionary Baptist Church



LANDSCAPE
SCALE 1:40

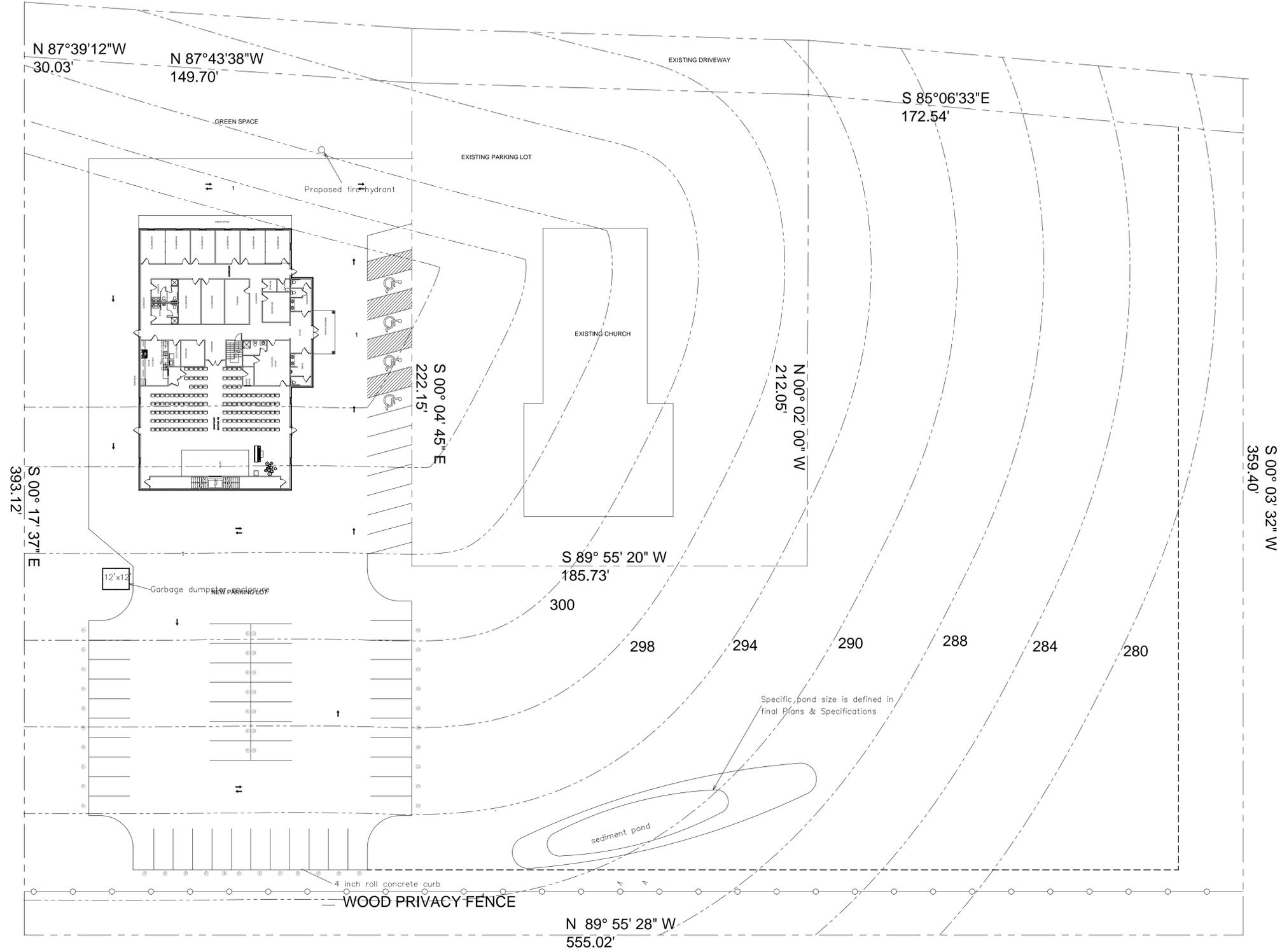
DISCLAIMER
G&M CONSULTING ENGINEERS AND ENVIRONMENTAL ENGINEERS HAS CONDUCTED A VISUAL SITE ANALYSIS AND PRELIMINARY LANDSCAPE DESIGN FOR THE PROJECT. CONSTRUCTION OF THE PROJECT FROM THESE DRAWINGS IS AT THE USER'S RISK. G&M CONSULTING ENGINEERS AND ENVIRONMENTAL ENGINEERS HAS MADE EVERY REASONABLE EFFORT TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER, THE USER SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.

PLOT DATE:
SCALE: 1:40

G&M
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

MT PLEASANT MB CHURCH

GLUCKSTADT RD



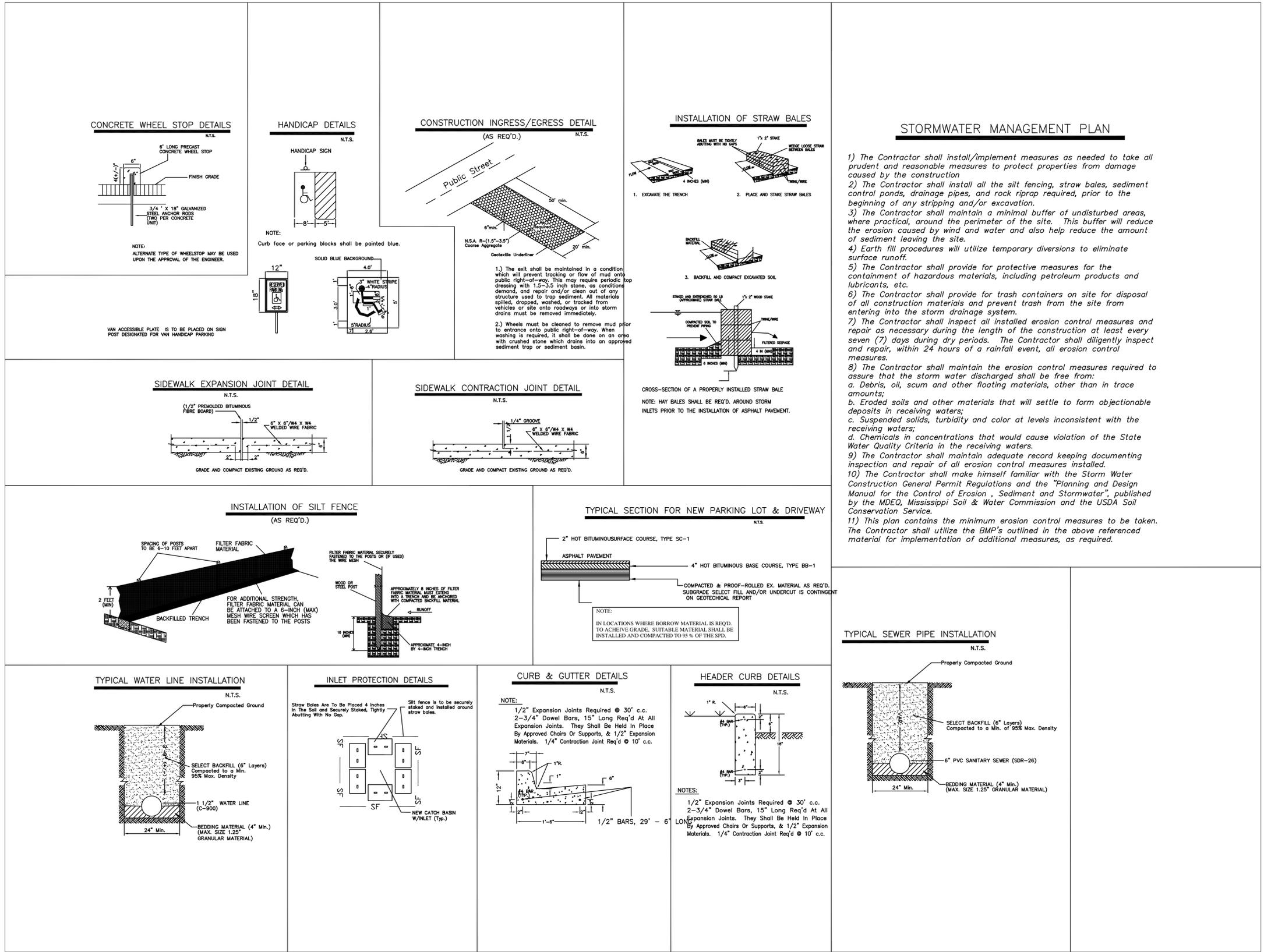
W/ BRICK SQ FT
9100 SQ.FT
FRAMED SQ FT
8934 SQ.FT

TOPO
SCALE 1:40

DISCLAIMER
G&M CONSULTING ENGINEERS AND ENVIRONMENTAL ENGINEERS HAS PREPARED THESE DRAWINGS FOR THE PROJECT CONSTRUCTED FROM THESE DRAWINGS. EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER, THE CONSULTANT SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.

PLOT DATE:
SCALE:

G&M
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT
MT PLEASANT MB CHURCH

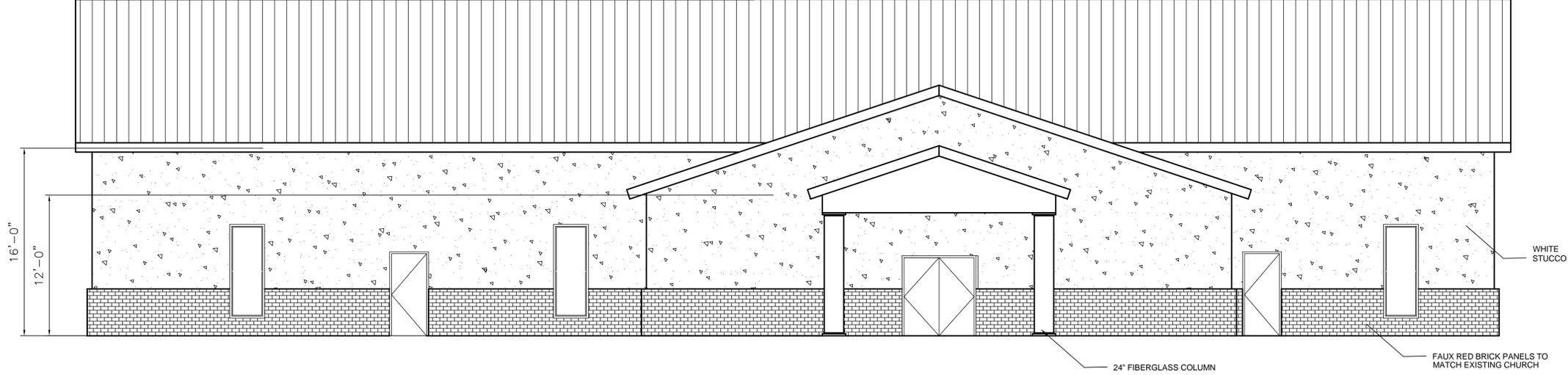


DISCLAIMER
G&M CONSULTING ENGINEERS AND ENVIRONMENTAL ENGINEERS HAS PREPARED THESE DRAWINGS FOR THE PROJECT CONSTRUCTED FROM THESE DRAWINGS. EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER, THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.

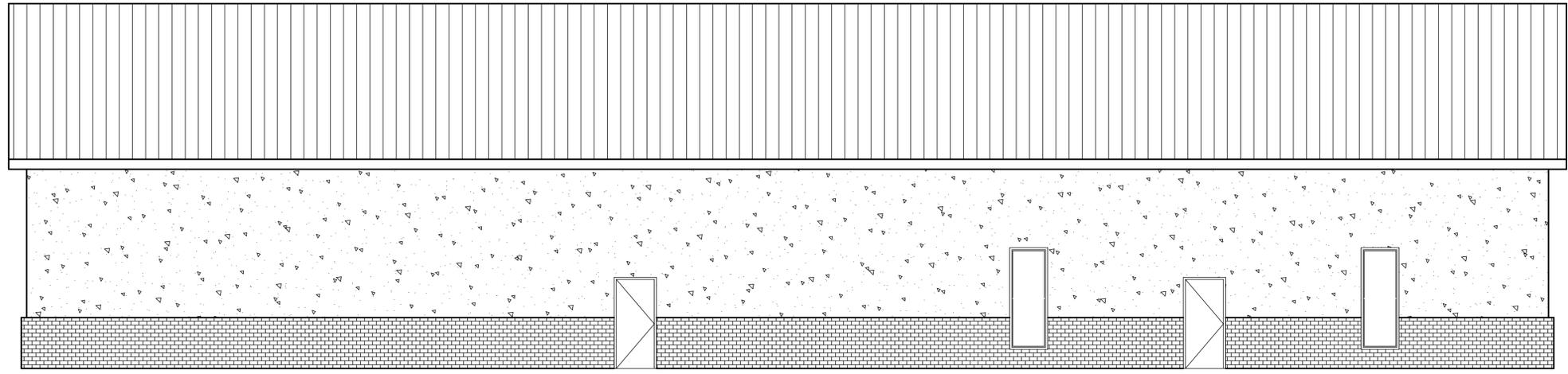
PLOT DATE:
SCALE: 1:40

G&M
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

SITE PLAN
SCALE 1:40



FRONT ELEVATION
SCALE 3/16"=1'-0"



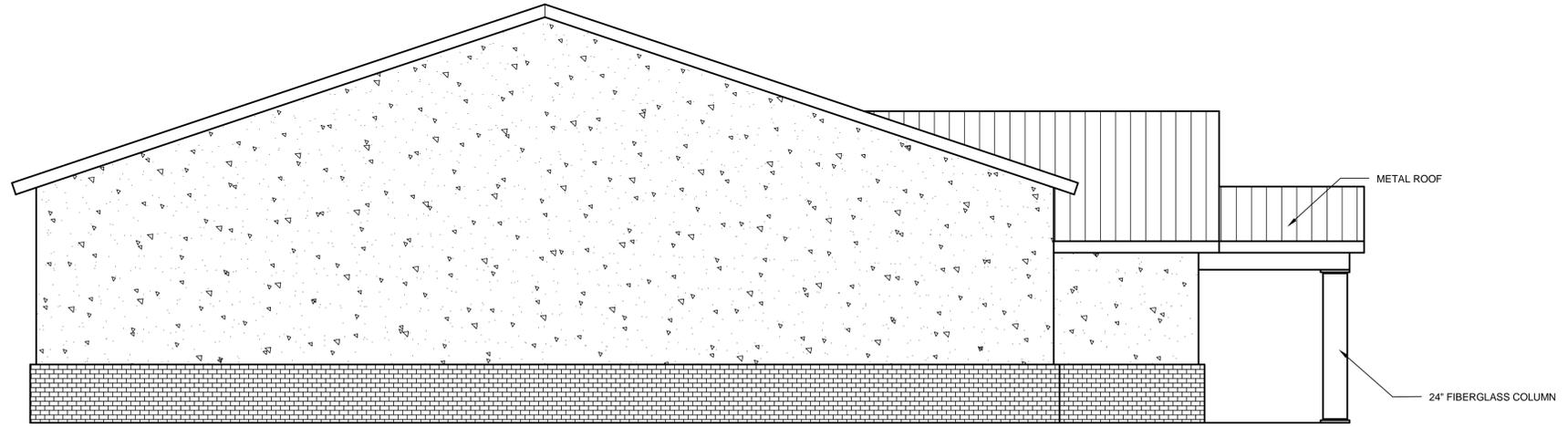
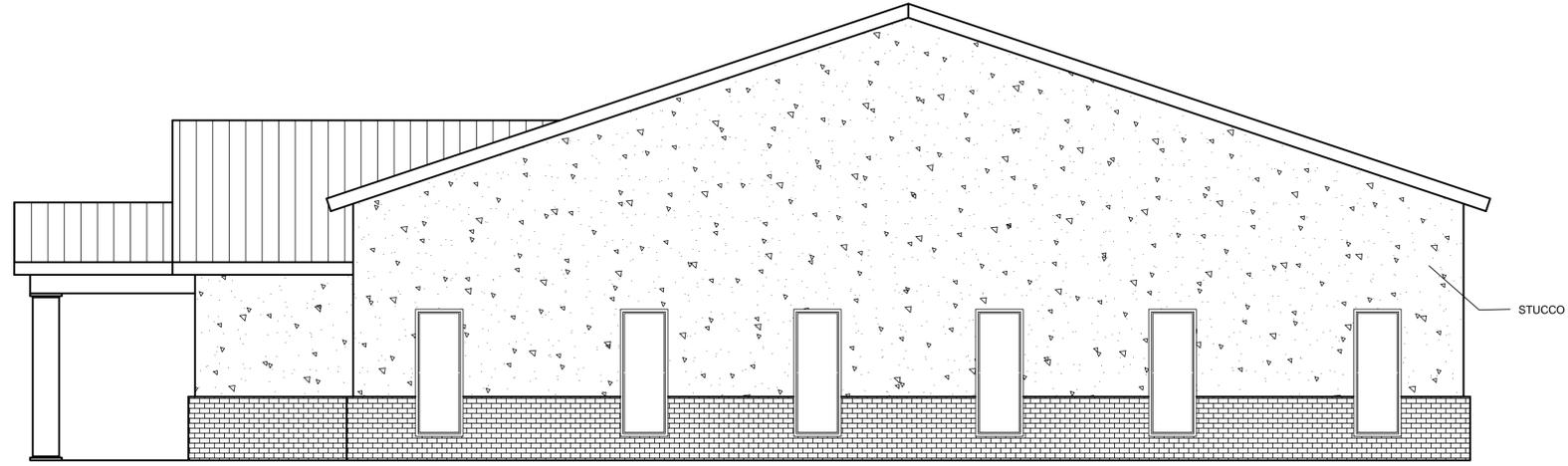
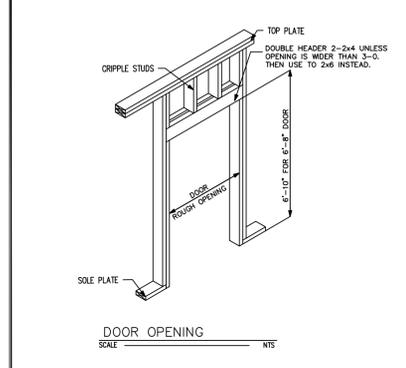
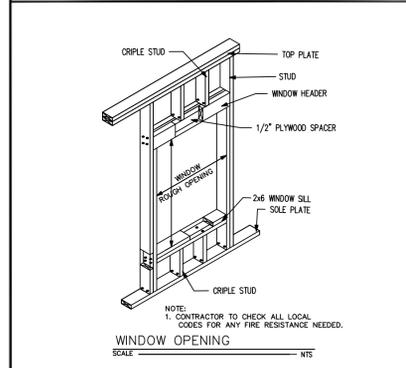
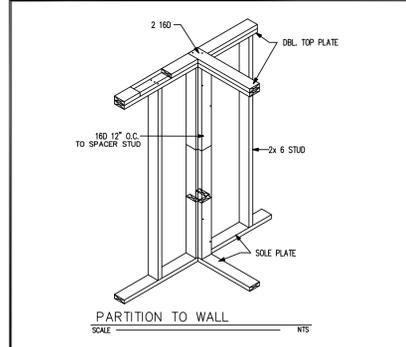
REAR ELEVATION
SCALE 3/16"=1'-0"

DISCLAIMER
G&M CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT HAS PREPARED THESE DRAWINGS FOR THE PROJECT DESCRIBED. G&M CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT HAS MADE EVERY REASONABLE EFFORT TO VERIFY THE ACCURACY OF EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER, THE CONSULTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.

PLOT DATE:
SCALE:
ELEVATION

MT PLEASANT MB CHURCH
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT





DISCLAIMER
G&M CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT SHALL NOT BE RESPONSIBLE FOR THE PROJECT CONSTRUCTION FROM THESE DRAWINGS. EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER, THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.

PLOT DATE: SCALE: 1/4"=1'

ELEVATION

MT PLEASANT MB CHURCH

G&M
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT



CITY OF GLUCKSTADT

MISSISSIPPI
PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Architectural Review Committee

FROM: Caine Dearman, Planning and Zoning Administrator

DATE: 02/24//2026

SUBJECT: Architectural Review Consideration-BRH Asset Management-130 American Way

BRH Asset Management is requesting approval of a 13,500 SF addition to their property at 130 American Way. This space will be utilized as warehousing. They have incorporated the additional parking spaces needed for this property, new concrete paving for vehicle access, and landscaping. Attached within is the site plan that includes building elevations with exterior colors and materials depicted. Also, exterior color samples are here for your review. Representatives are here for any discussion needed. They are scheduled for site plan review later on tonight at the PNZ meeting.



February 10, 2026

City of Gluckstadt
107 Lone Wolf Drive
Gluckstadt, Ms. 39110

Re: **Overview Letter For:**
BRH ASSET MANAGEMENT, LLC
(Green Steel)
130 American Way
Gluckstadt, Ms. 39110

Attn: Mr. Dearman:

We plan to construct a 13,500/sf pre-engineered metal building on the site, per plan. We include sitework, concrete foundation for the building, concrete paving as shown, plumbing for the rest room, fans/louvers and electrical. We include a loading dock on the south side of the building. We include new vehicle paving and landscaping per plan. This building will be used to store Green Steels products and shipped out as purchased.

Respectfully Submitted,

VENTURE SOUTH CONSTRUCTION COMPANY, INC.

A handwritten signature in black ink, appearing to read "Charles Hutson", with a long horizontal flourish extending to the right.

Charles Hutson

Date of field survey: December 23, 2025.

Reference Bearing are based on the Mississippi State Plane Coordinate System, NAD 83 - Mississippi West Zone.

Subject property is located in Flood Zone X according to the FIRM Map for the Madison County (28022B), map reference 28089 C 415F, effective date March 17, 2010.

Property located in Zone I-2 (Heavy Industrial District)
 Front Yard: 100'
 Side/Rear Yard not Abutting Res.: 20'

This topographic survey was performed and this plat was prepared by Baird Engineering, Inc.
 506 Jefferson Street, Clinton, MS 39056
 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

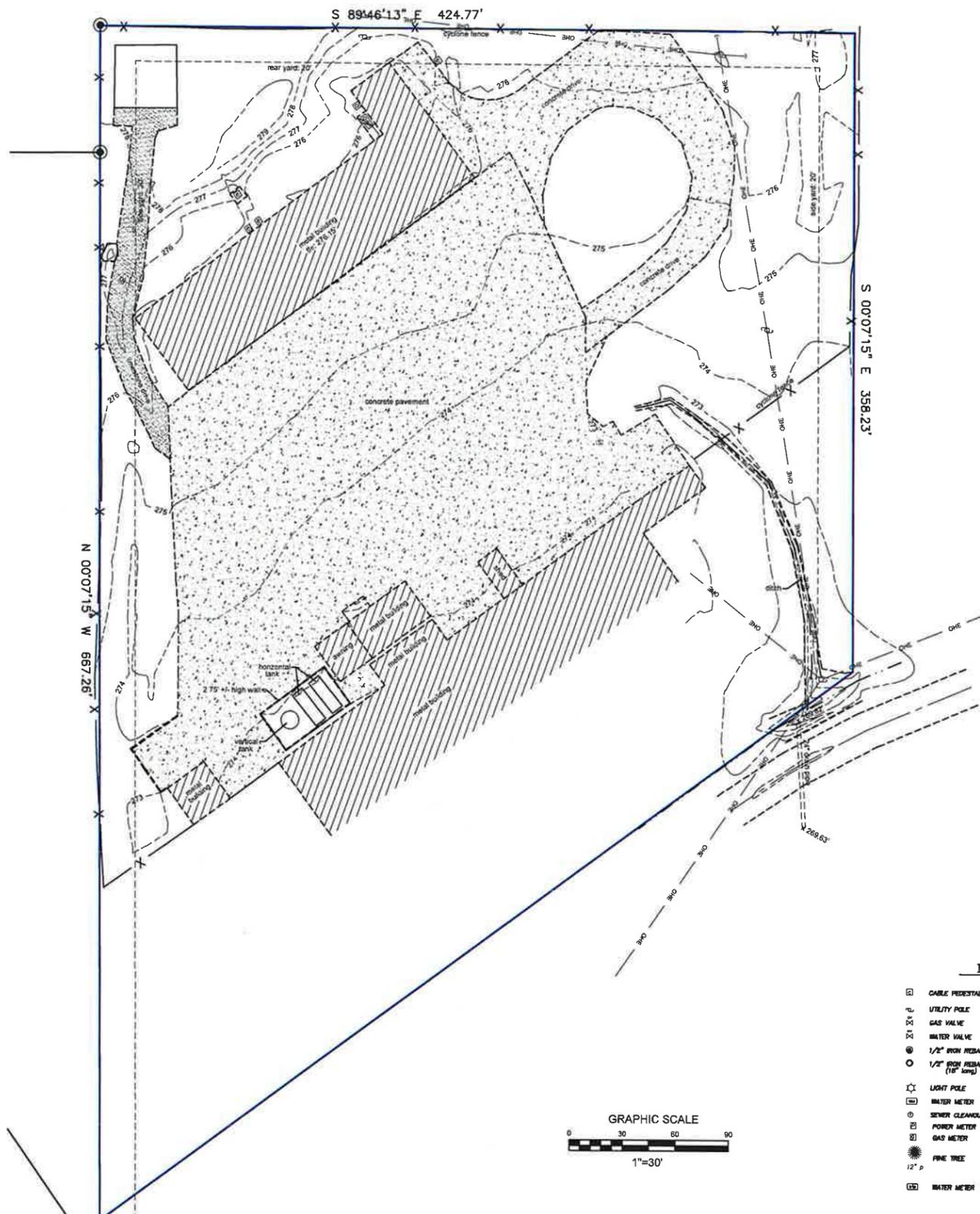
I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on December 23, 2025.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Vertical elevations are referenced to NAVD88

No boundary survey was performed as a part of this survey.

Property Address: 130 American Way, Gluckstadt, MS



LEGEND

☐ CABLE PEDESTAL	XX FIRE HYDRANT
⊕ UTILITY POLE	□ TELEPHONE PEDESTAL
⊗ GAS VALVE	— BGN
⊕ WATER VALVE	□ STORM INLET
⊙ 1/2" IRON REBAR FOUND	⊙ SAN SEWER MANHOLE
⊙ 1/2" IRON REBAR SET (18" deep)	⊙ SOIL BORING
⊙ LIGHT POLE	— 5" SAN SEWER
⊕ WATER METER	— 9" GAS LINE
⊕ SEWER CLEANOUT	— 1" UNDERGROUND TELECOMMUNICATION
⊕ POWER METER	--- 146' CONTOURS
⊕ GAS METER	— OVERHEAD POWER
⊕ FIRE TREE	— UNDERGROUND ELECTRIC
12" ♂	— WATER MAIN
⊕ WATER METER	⊕ OAK TREE
	⊕ AIR CONDITION UNIT

TOPOGRAPHIC SURVEY
 for
 Green Steel

No.	Revisions:	By:	Date:

BAIRD ENGINEERING, INC.
 506 Jefferson Street, Clinton, MS 39056
 Phone: (601) 925-5015

Project No.: 4554
 Date: 12/23/2025
 Scale: 1" = 30'
 Drawn By: CLB
 Reviewed By: CLB

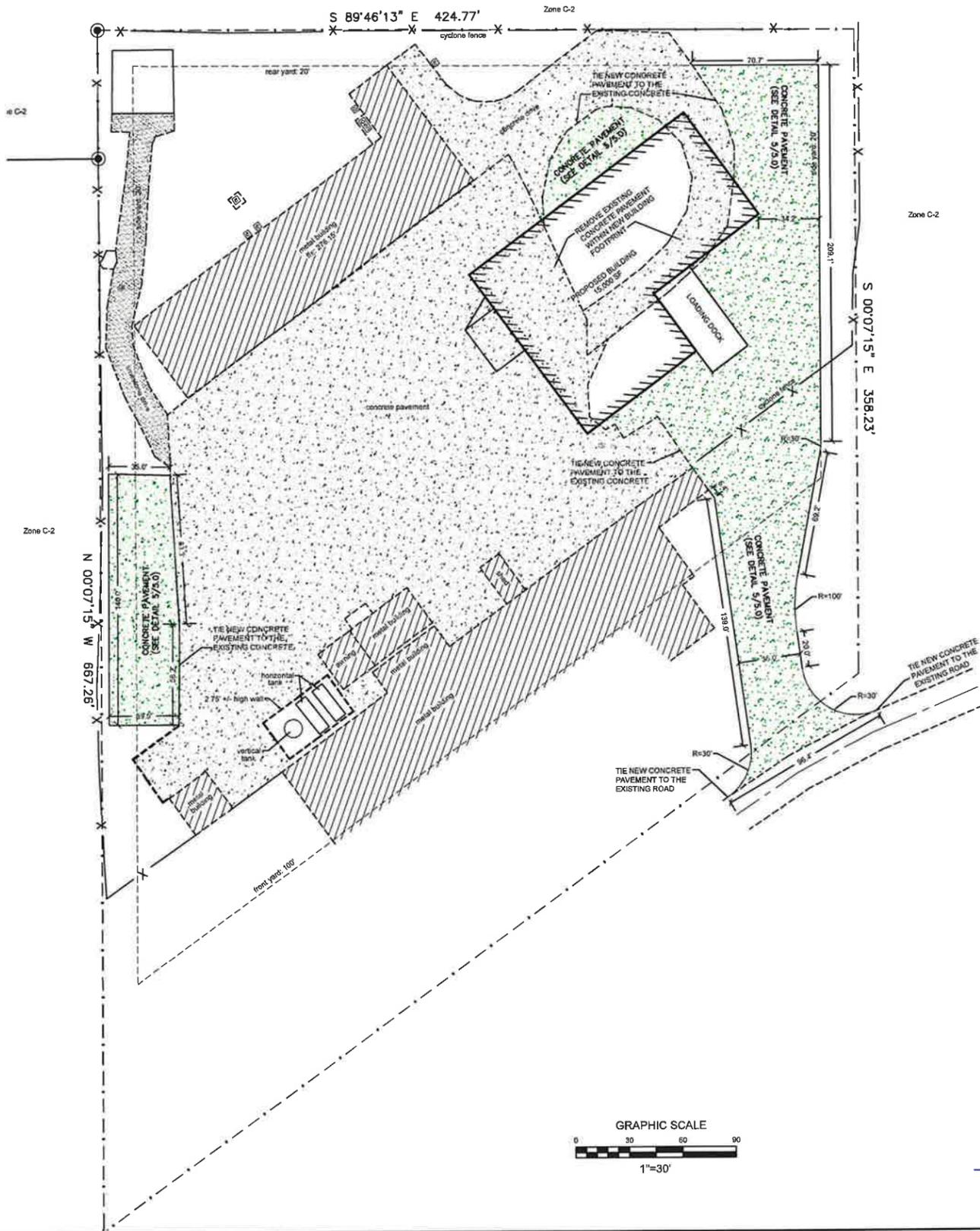
C 0.0

- 1) PROPERTY IS ZONED I-1 (HEAVY INDUSTRIAL DISTRICT), MADISON COUNTY ZONING ORDINANCE, AMENDED DECEMBER 2018.
- 2) ADJOINING PROPERTIES ARE ZONED I-1 (HEAVY INDUSTRIAL DISTRICT)
- 3) SETBACKS:
 FRONT - 100 FEET (50 FOOT OPTION IF CORNER LOT)
 SIDE - 20 FEET
 REAR - 20 FEET
 MAXIMUM HEIGHT RESTRICTION: 40 FEET
- 4) PROPERTY ADDRESS: 130 AMERICAN WAY, GLUCKSTADT, MS
- 5) SUBJECT PROPERTY IS LOCATED WITHIN THE CITY LIMITS OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI.
- 6) SUBJECT PROPERTY IS LOCATED IN ZONE "X" AS DETERMINED BY FRM NO. 28089 C 415F, MADISON COUNTY, REVISION DATE-03/17/2010
- 7) THIS PROJECT INVOLVES A BUILDING ADDITION AND CONCRETE DRIVE IN THE REAR OF THE PROPERTY AS SHOWN ON THIS SHEET.

SITE PLAN NOTES

GENERAL

1. TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 03-09-2022. BOUNDARY SURVEY BY OTHERS.
2. CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
3. CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
4. DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
6. ALL DISTURBED GRASSED AREAS SHALL BE SOLED 500 UNLESS NOTED OTHERWISE.
7. THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
9. CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, ON AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
10. ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
12. BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
13. ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DEPOSED OF OFF-SITE IN A LEGAL MANNER.
14. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
15. SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING PAVEMENT AND CURBS.
16. SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
17. ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
18. ADDITIONAL PARKING PROVIDED IN THIS PROJECT:
 O ADA COMPLIANT PARKING SPACES
 O STANDARD PARKING SPACES
 O TOTAL PARKING SPACES PROVIDED



LEGEND

- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C2.D)
- ♿ HANDICAP PARKING
- PROPERTY LINE

Date:	
By:	
Revisions:	
No.	

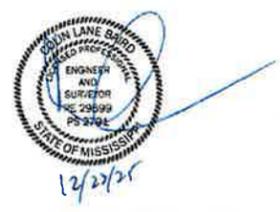
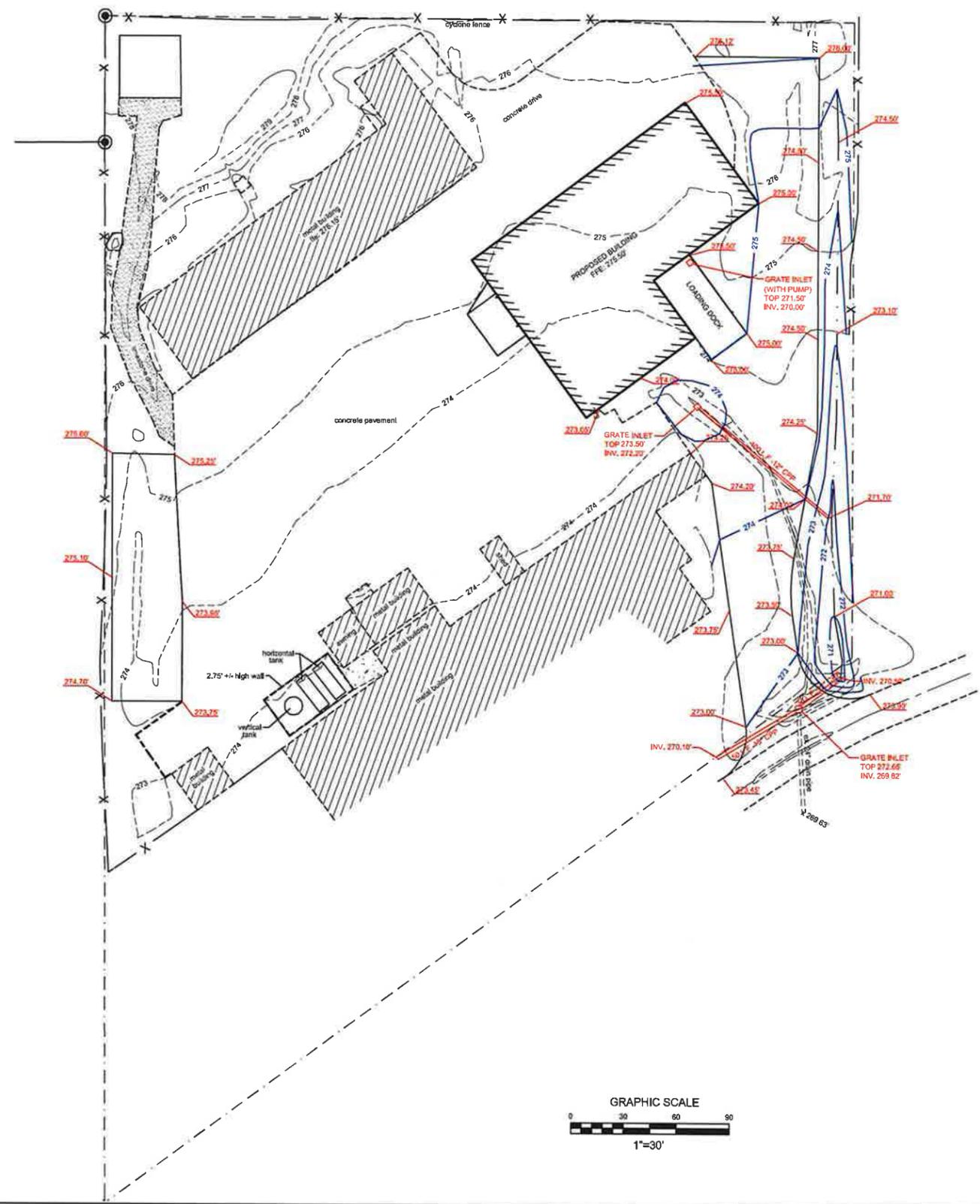
BAIRD ENGINEERING, INC.
 508 Jackson Street, Clarksdale, MS 38056
 Phone: (601) 425-2018

Project No.: # 4564
 Date: 12/23/2023
 Scale: 1" = 30'
 Drawn By: CLB
 Reviewed By: CLB

SITE PLAN
 for
Green Steel

C 1.0

1. **GENERAL**
 THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
 ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF GLUCKSTADT STANDARDS.
 TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY BIRD ENGINEERING, INC.
2. **CLEARING**
 PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.
 REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.
 REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.
 STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.
3. **GRUBBERING**
 REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.
4. **CLEAN-UP**
 UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.
5. **SITE GRADING**
 PROFILING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 98% ASTM D698 PRIOR TO FILL PLACEMENT.
 CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAWN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE FOR GEOTECHNICAL REPORT.
 ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.
6. **FILLING AND BACKFILLING MATERIALS**
 IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO OR MAXIMUM DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION. "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF DESIGNATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.



No.	Revisions	By	Date

BIRD ENGINEERING, INC.
 506 Jefferson Street, Clarks, MS 38008
 Phone: (601) 925-5013

Project No.: 4384
 Date: 12/23/2025
 Scale: 1" = 30'
 Drawn By: CLB
 Reviewed By: CLB

GRADING PLAN
 for
 Green Steel

C 2.0

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE. THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ON-SITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORED ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

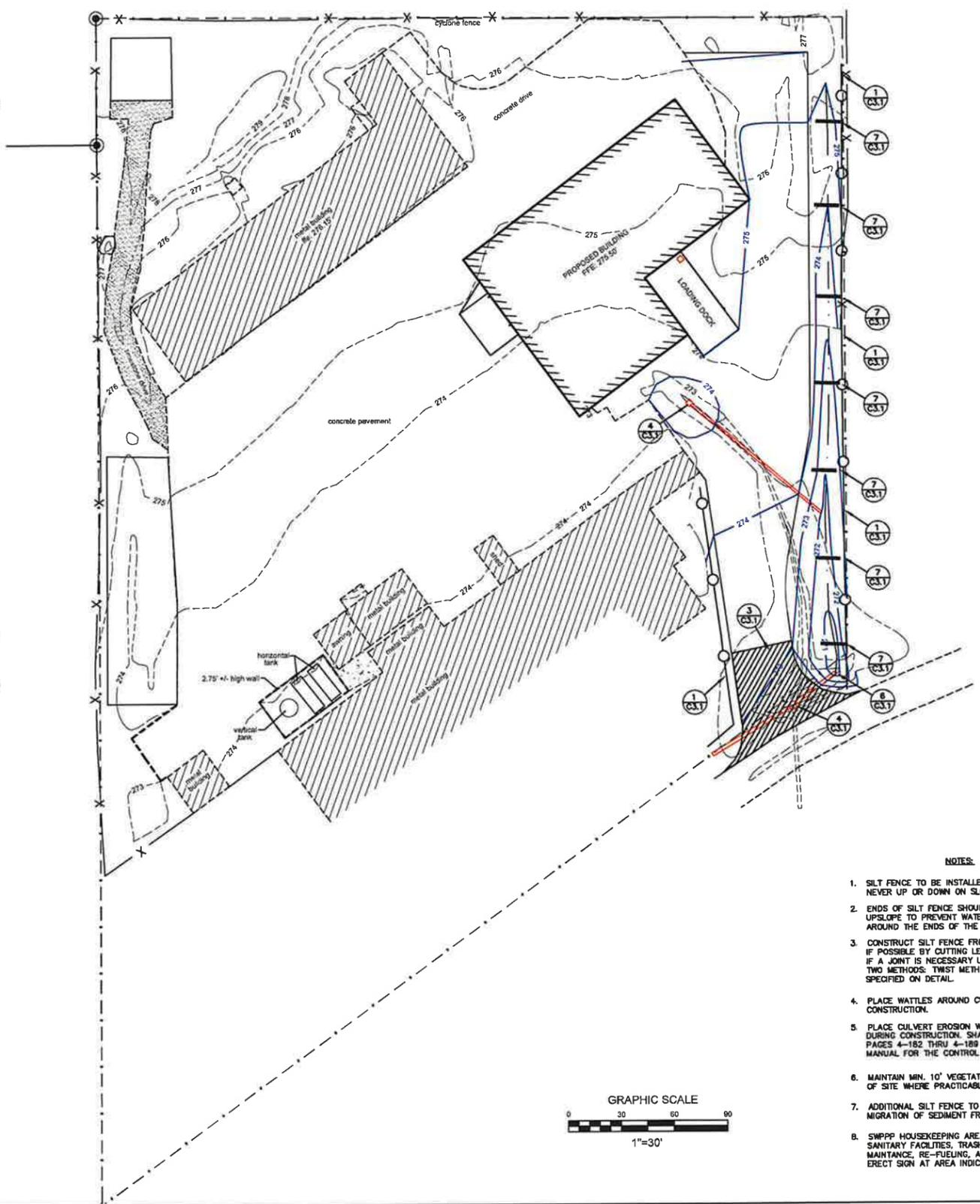
CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

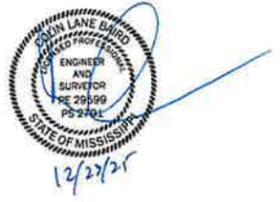
1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

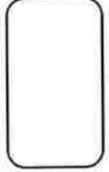
1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).



- NOTES:**
1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
 2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
 4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
 5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
 6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
 7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
 8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40'. LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".



Date:	
By:	
Revisions:	
No.	

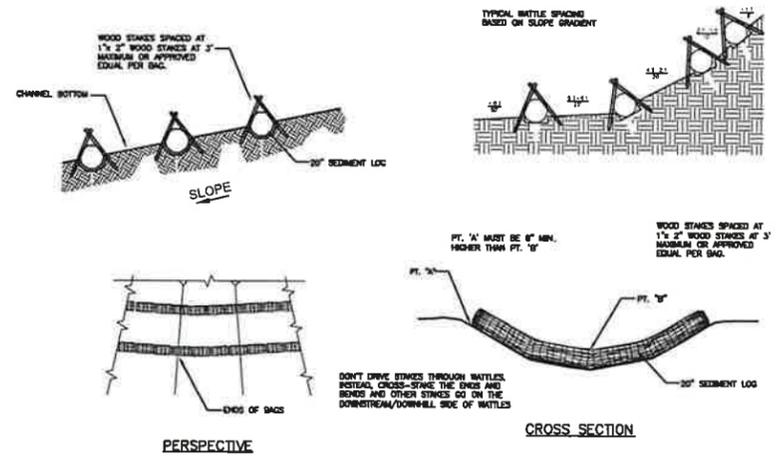


BAIRD ENGINEERING, INC.
 500 Jefferson Street, Canton, MS 39056
 Phone: (601) 925-3015

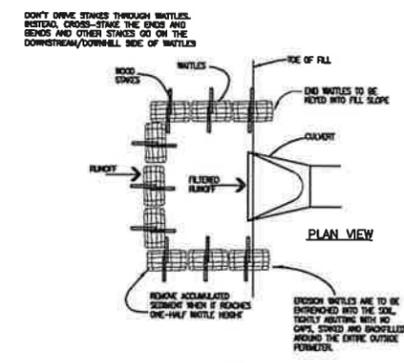
Project No.: # 4554
 Date: 12/23/2025
 Scale: 1" = 30'
 Drawn By: CLB
 Reviewed By: CLB

EROSION CONTROL PLAN
 for
 Green Steel

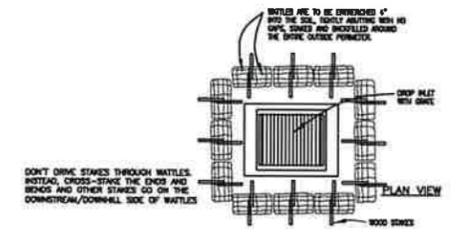
C 3.0



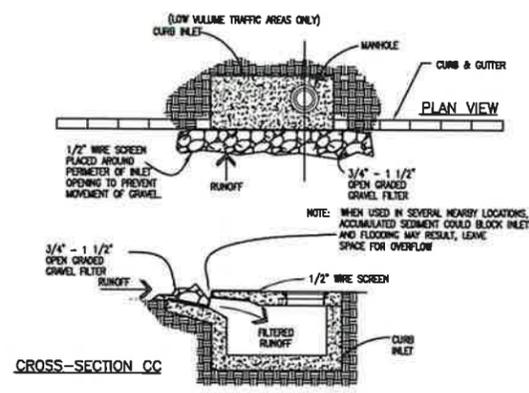
7 SEDIMENT LOG DITCH CHECK
N.T.S.



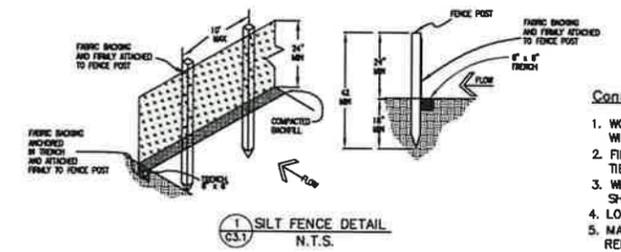
6 CULVERT EROSION BALE INLET PROTECTION
N.T.S.



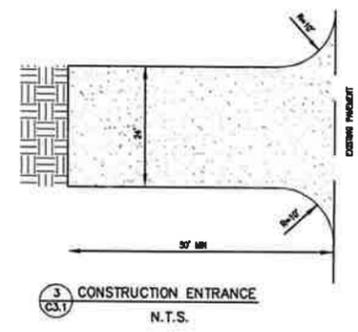
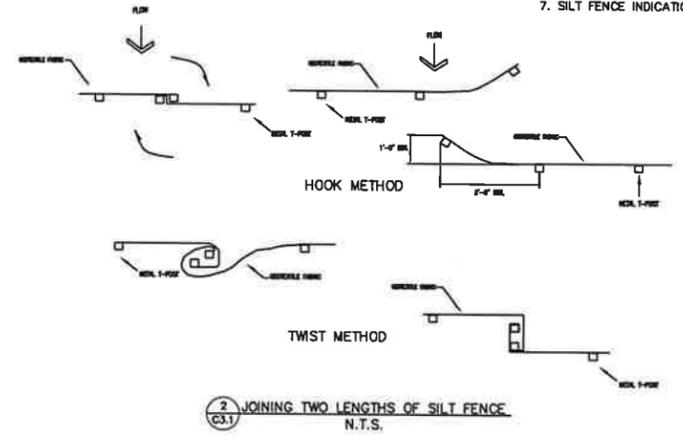
4 DROP INLET EROSION FILTER
N.T.S.



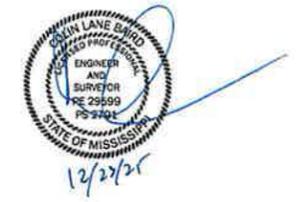
5 CURB INLET GRAVEL AND WIRE MESH FILTER TRAP
N.T.S.



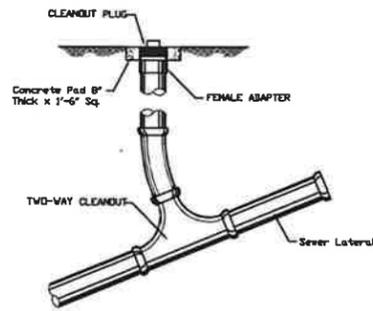
- Construction Notes for Silt Fence:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
 4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN
POSTS: LOCATE MAXIMUM OF 8 FEET O.C.
FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL
6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
 7. SILT FENCE INDICATION ON THE PLANS AS —○—○—○—



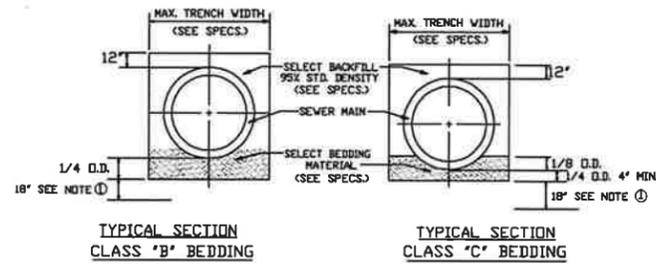
- NOTES:
1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
 2. THICKNESS - NOT LESS THAN 6".
 3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
 4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 5. WIDTH - 30 FOOT MINIMUM
 6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.



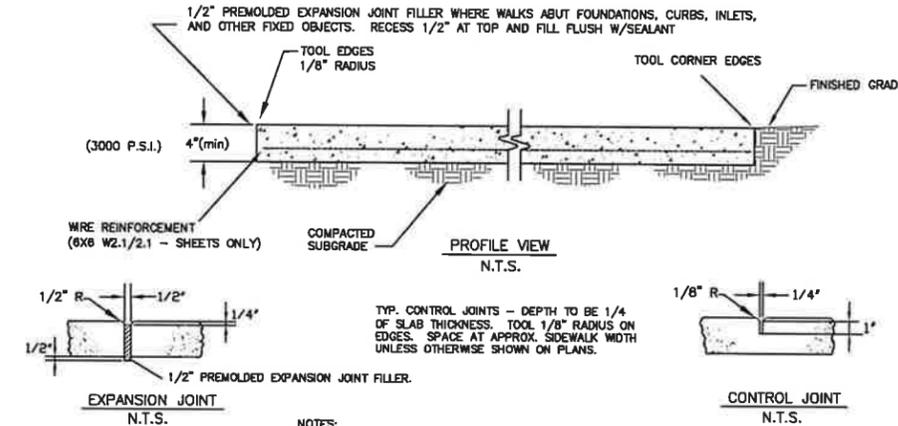
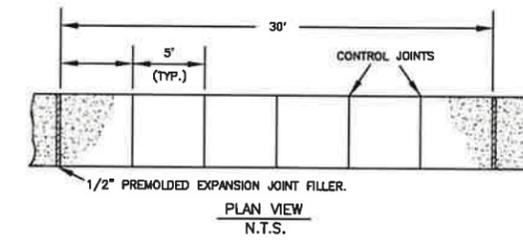
Date:	
By:	
Revisions:	
No.	
BAIRD ENGINEERING, INC. 600 Jefferson Street, Canton, MS 39006 Phone: (601) 225-5015	
Project No. # 4564	
Date: 12/23/2025	
Scale: N.T.S.	
Designed By: CLB	
Reviewed By: CLB	
EROSION CONTROL DETAILS GREEN STEEL GLUCKSTADT, MISSISSIPPI	
C 3.1	



1
5.0 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL
N.T.S.

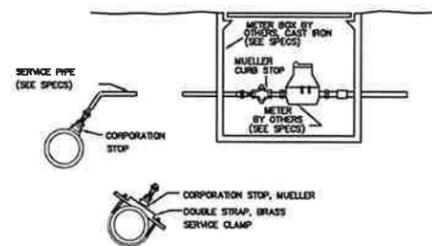


- ① DEWATERING REQ'D TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- ② WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



- NOTES:
- 1) CONCRETE SHALL BE 3,000 psi MINIMUM
 - 2) 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
 - 3) PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
 - 4) HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

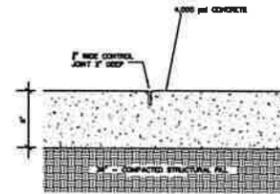
3
5.0 CONCRETE SIDEWALK SECTION DETAILS
N.T.S.



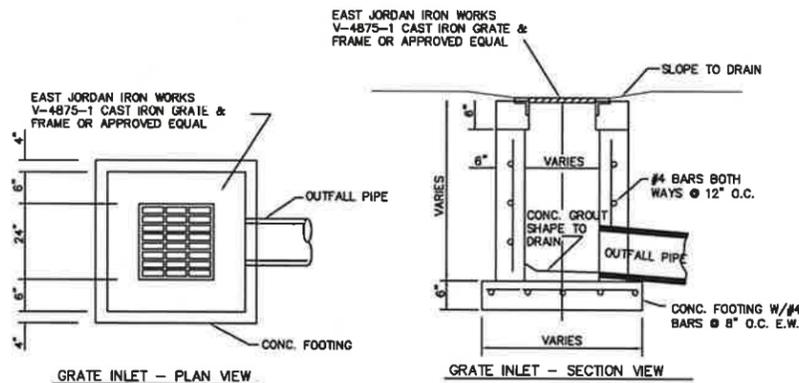
2
5.0 TYPICAL SERVICE ASSEMBLY

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY.

- SLAB GENERAL:**
1. TYPICAL CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SIZE THAT DOES NOT EXCEED 20'x20'.
 2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJACES A BUILDING OR OTHER FIXED STRUCTURE.
 3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUR REINFORCING AT ALL JOINT LOCATIONS.
 4. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAN (UN-REINFORCED) PCC PAVEMENT.
 5. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
 6. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.



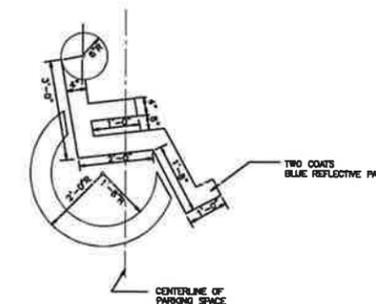
5
5.0 MEDIUM DUTY CONCRETE PAVEMENT DETAIL
N.T.S.



GRATE INLET - PLAN VIEW
USE ALSO FOR JUNCTION BOX WITHOUT GRATE. USE CONCRETE TOP INSTEAD.

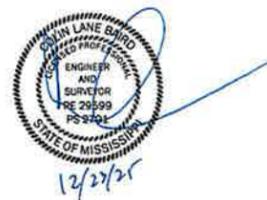
GRATE INLET - SECTION VIEW
USE ALSO FOR JUNCTION BOX

6
5.0 GRATE INLET DETAIL
N.T.S.



4
5.0 ACCESSIBILITY PARKING SYMBOL
N.T.S.

- NOTES:
1. ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
 2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
 3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH A ACCESSIBILITY PARKING SPACE SIGN.
 4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.



Date:	
By:	
Revisions:	
No.:	

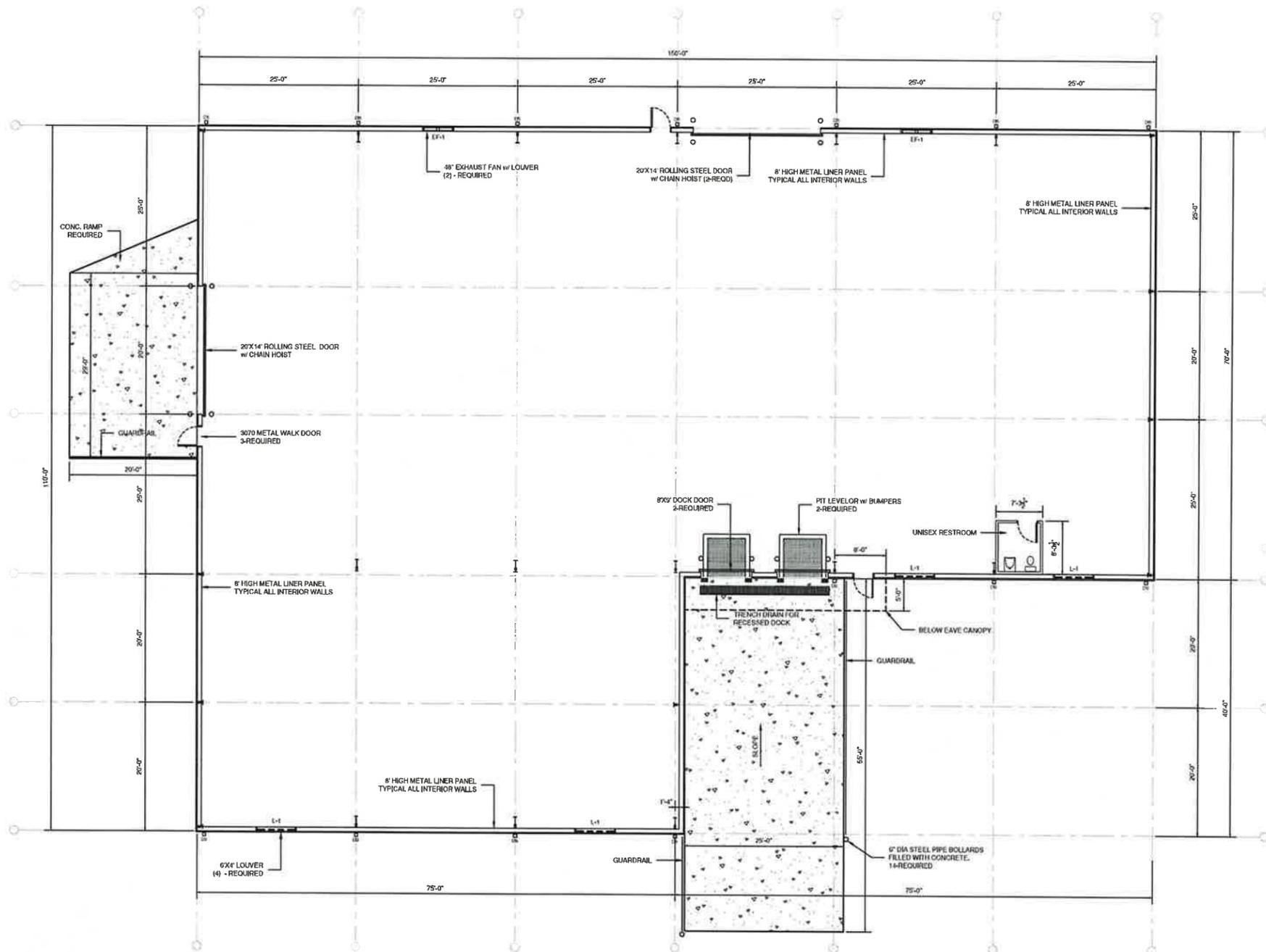
--

BAIRD ENGINEERING, INC.
500 Jefferson Street, Clinton, MS 39056
Phone: (601) 925-5015

Project No.: # 4564
Date: 12/23/23
Scale: N.T.S.
Designed By: CLB
Reviewed By: CLB

SITE DETAILS
for
Green Steel

SHEET
C 5.0



FLOOR PLAN
 1/8" = 1'-0"

REVISIONS	BY



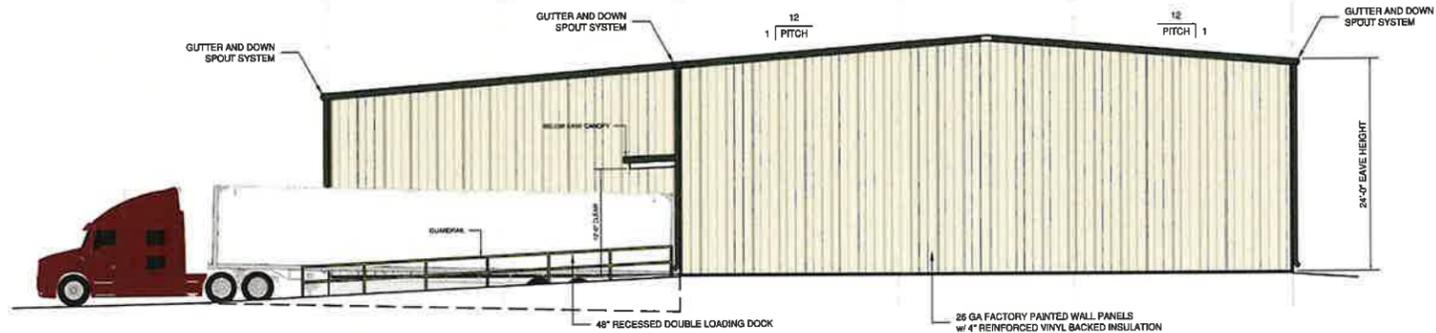
130 AMERICAN WAY
 MADISON, MS 39110

NEW BUILDING FOR
 BRH ASSET MANAGEMENT, LLC

DESIGNED BY	W. WOODBRIDGE
CHECKED BY	
DATE	20 JANUARY 2026
SCALE	
JOB NO.	
SHEET	A1.0



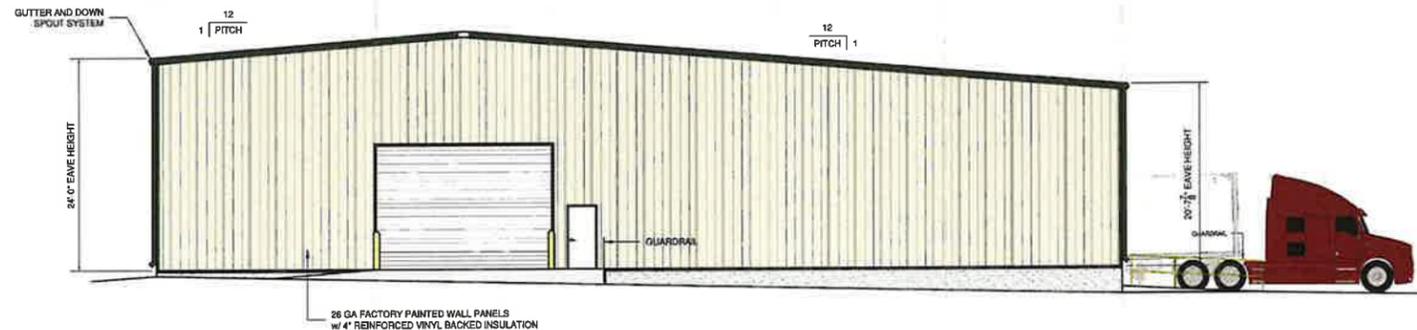
A SOUTH ELEVATION
1/8" = 1'-0"



B EAST ELEVATION
1/8" = 1'-0"

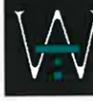


C NORTH ELEVATION
1/8" = 1'-0"



D WEST ELEVATION
1/8" = 1'-0"

REVISIONS	BY



WOOLDRIDGE ARCHITECTS, P.A.C.
444 CHEVY RD. SUITE 100
MADISON, MS 39110
601-209-8888
www.woolldridge.com



VENTURESOUTH
2000 WOODBRIDGE BLVD
MADISON, MS 39110

130 AMERICAN WAY
MADISON, MS 39110

NEW BUILDING FOR
BRH ASSET MANAGEMENT, LLC

2024
WOOLDRIDGE
DESIGNED

SHE
21 NOVEMBER 2025

SCALE

JOB #1

SHEET

A2.0