



## PLANNING & ZONING COMMISSION MEETING

Tuesday, January 23, 2024 at 6:00 PM

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### Agenda

1. **Call to Order**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
  - A) Consideration And Approval Of December 29, 2023 Minutes
4. **New Site Plan Considerations**
  - A) Discussion and Consideration of Elite Hitting Site Plan
  - B) Discussion and Consideration of Tate Building Phase 2 Site Plan
  - C) Sowell Road Shell Station Conditional Use
  - D) Discussion and Consideration of Sowell Road Shell Site Plan
  - E) Discussion and Considerations of Martin's Corner Site Plan
  - F) Discussion and Consideration of Storage City Site Plan
5. **Request for Rezoning**
  - A) Candlewood Suites Variance Status
6. **New Business**
7. **Next Meeting**
  - A) The Next Planning and Zoning Meeting Will Be Held on February 27, 2024.
8. **Adjourn**



## **SPECIAL CALLED PLANNING & ZONING COMMISSION MEETING**

**Friday, December 29, 2023, at 2:00 PM**

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### **Minutes**

#### **Call to Order**

Sam McGaugh called the meeting to order.

The following Commissioners were present: Commissioner Sam McGaugh, Commissioner Melanie Greer, Commissioner Kayce Saik, Commissioner Phillips King, Commissioner Tim Slattery, Commissioner KaTrina Myricks attended via phone conference call. Commissioner Andrew Duggar was absent.

Staff Members Present: Building Official William Hall, Code Enforcement Officer Curtis Jones Executive Assistant Bridgette Smith and City Attorney Zach Giddy.

#### **Opening Prayer and Pledge of Allegiance**

Commissioner Sam McGaugh opened the meeting with prayer.

Commissioner Sam McGaugh led the Pledge of Allegiance.

#### **Consideration and Approval of Minutes**

Commissioner Melanie Greer made the motion to approve the November 28, 2023, minutes.

Commissioner Katrina Myricks seconded the motion to approve.

The motion was carried and approved by all Commissioners.

#### **New Site Plan Considerations**

##### **Discussion and Consideration of Blurton Holdings Site Plan**

The Blurton Holdings project was previously approved by the Planning and Zoning Board. Puckett Rental is located north of the location and was approved by the Planning and Zoning to add an additional acre to their existing building location from Blurton Holdings. The approval was on contingent of the approval of the Puckett Rental Site Plan.

Commissioner Melanie Greer made a motion to approve.

Commissioner Tim Slattery seconded the motion to approve.

The motion was carried and approved by all Commissioners.

### **Sowell Road Shell Station Conditional Use**

The Sowell Road Shell Station project is a convenience store in a C-2 zoning at this location. William Hall, Building Official has not received the corrected plans as of the Planning and Zoning meeting, he recommended to wait until the corrected plans are submitted and reviewed. Commissioner Sam McGaugh suggested keeping the hearing open and continuing the discussion at the January 23, 2024, meeting.

Commissioner Phillips King made the mote to approve.

Commissioner Melanie Greer seconded the motion to approve.

The motion was carried and approved by all Commissioners.

### **Request for Rezoning**

Discussion and Consideration of Approval: Application for Rezoning, Take 5 Oil Change, 1064 Gluckstadt Road

The subject matter is the rezoning from C-1 to C-2 to allow Take 5 Oil Change to build at this location. Mr. Johnny Minninger addressed the board regarding how this project would affect the current vegetation on the parcel. He does not want all the trees removed or destroyed. Mr. Minninger wanted to know what the hours of operation would be for the business, which would be Monday to Saturday 7:00 AM to 7:00 PM and Sunday 9:00 AM to 5:00 PM.

Jo Harbour emailed William Hall. Ms. Harbour was unable to attend the meeting, in her email she stated she was opposed to the project, no other information was listed on the email.

Sean Doran addressed the board on the hours of operation and submitted a boundary survey of the proposed development. Mr. Doran stated the U. S. Army Corp of Engineers will not allow any construction or damage to the creek on the property. He stated the current location is surrounded by other commercial locations. The customer does not exit their vehicle, all work is completed in an underground bay to change the oil and etc. Tim Slattery asked if the garage doors are up during all hours of operation, which they would stay open and up all day.

Sonya Bedi, owner of the Shell located 1227 Gluckstadt Road addressed the board regarding the rezoning and how that would affect her current business if the zoning changed, and a similar business was to open at this location.

The board rejected the Rezoning Request for Take 5 Oil Change.

Commissioner Phillips King made the motion to reject the Rezoning Request.

Commissioner Kayce Saik seconded the motion to reject.

The motion was carried and approved by all Commissioners to reject.

**New Business**

No action was taken.

**Next Meeting**

The Next Planning and Zoning Meeting Will Be Held on January 23, 2024

**Adjourn**

Commissioner Tim Slattery moved the meeting adjourned.

Commissioner Melanie Greer seconded the motion.

The motion carried and was approved by all Commissioners.

WITNESS OUR HANDS, this the \_\_\_\_\_ day of \_\_\_\_\_, 2024

\_\_\_\_\_

SAM MCGAUGH, Chairman

\_\_\_\_\_

MELANIE GREER, Vice Chairman/Secretary

City of Gluckstadt

**Application for Site Plan Review**

Subject Property Address: 386 Industrial DR. S

Parcel #: 082H-28'003/09.00

Owner: Ford Mundy

Applicant: Ford Mundy

Address: 170 Johnstone DR.  
Madison, MS 39110

Address: 170 Johnstone DR.  
Madison, MS 39110

Phone #: (870) 243-1687

Phone #: (870) 243-1687

E-Mail: mundyford@gmail.com

E-Mail: mundyford@gmail.com

Current Zoning District: 1-2

Acreage of Property (If applicable): 3.45 ac

Use sought of Property: Sports Training

2023273

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

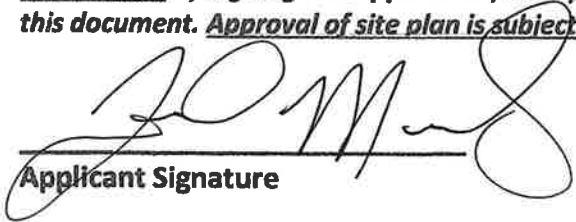
**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

**Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.**

**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

  
 Applicant Signature

11 / 28 / 2023  
 Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

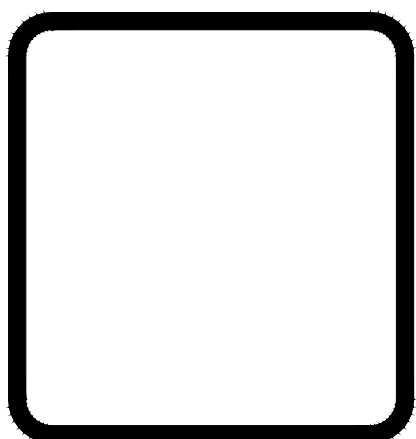
Date Received: \_\_\_\_\_

**Application Complete & Approved to Submit to P&Z Board (please check):**

Yes \_\_\_\_\_ No \_\_\_\_\_

Signature: \_\_\_\_\_  
 Planning & Zoning Administrator (or Authorized Representative)

REVISIONS	BY



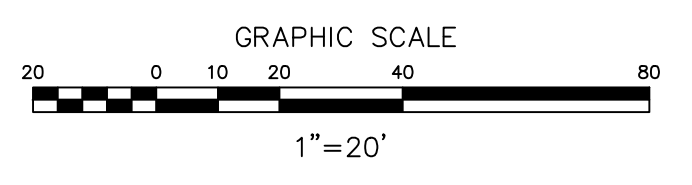
**WOOLDRIDGE & ASSOCIATES**  
 464 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-8885  
 WOOLDRIDGEARCHITECTUREFIRM.COM

**Elite Hitting**  
 386 Industrial Drive  
 Gluckstadt, Mississippi

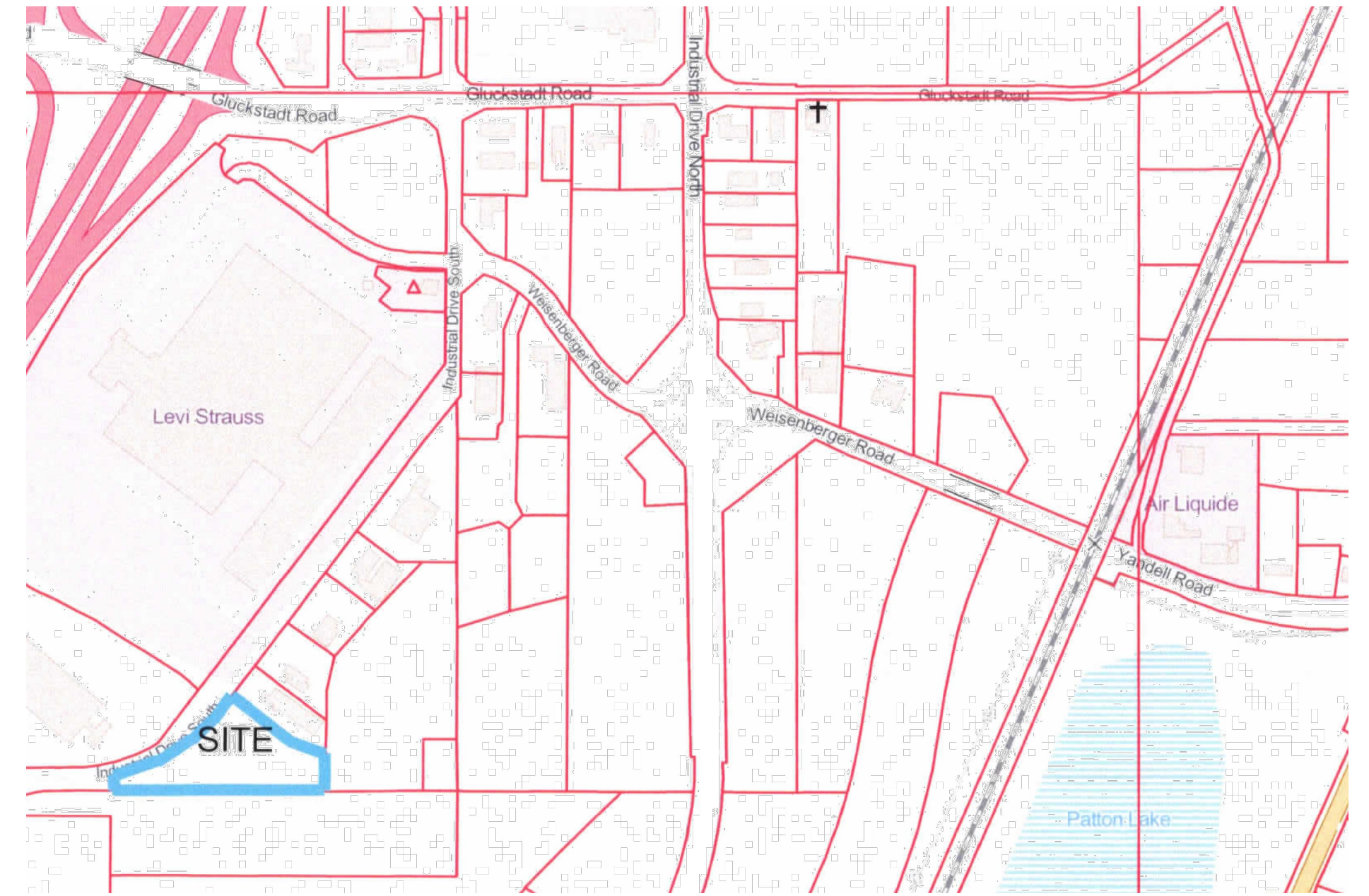
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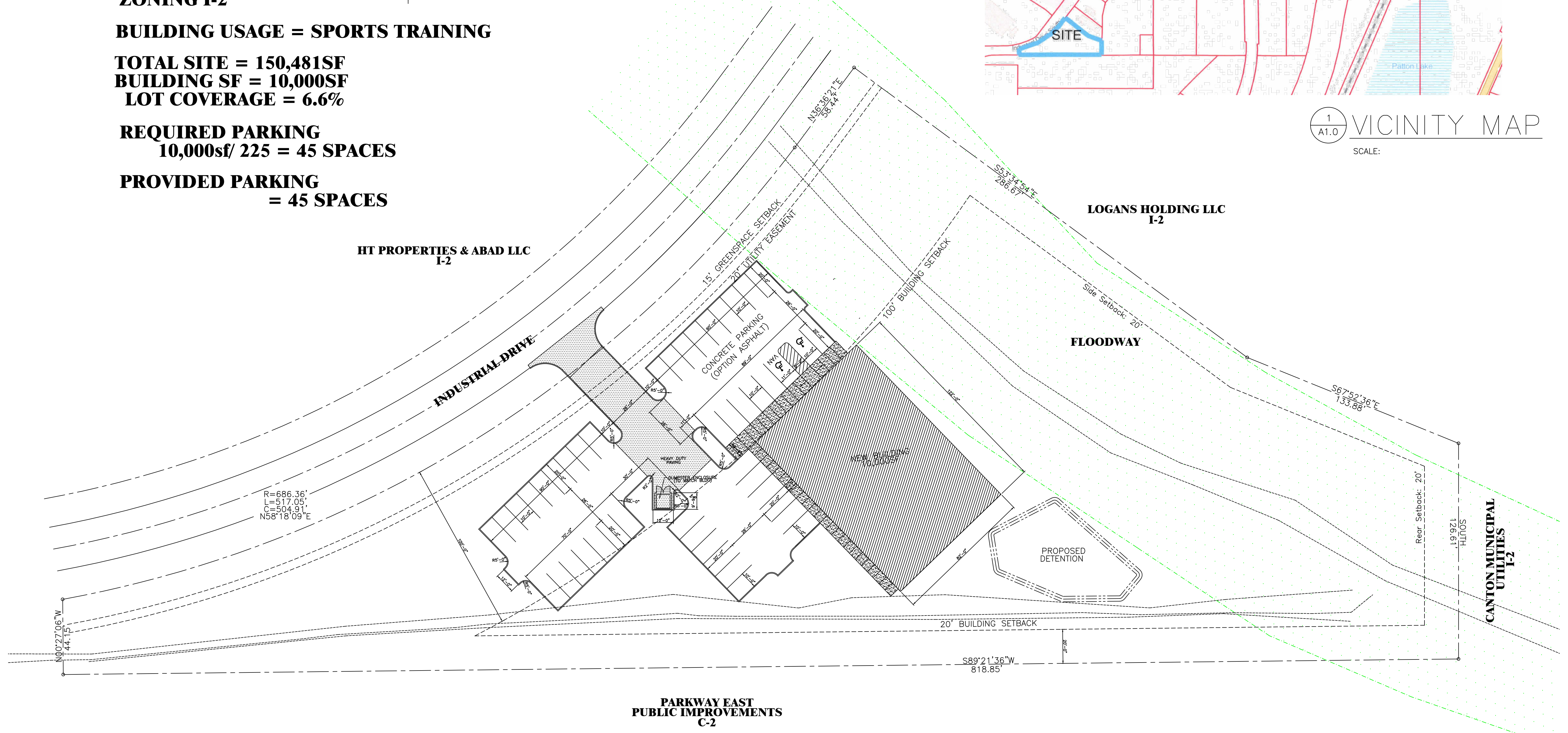
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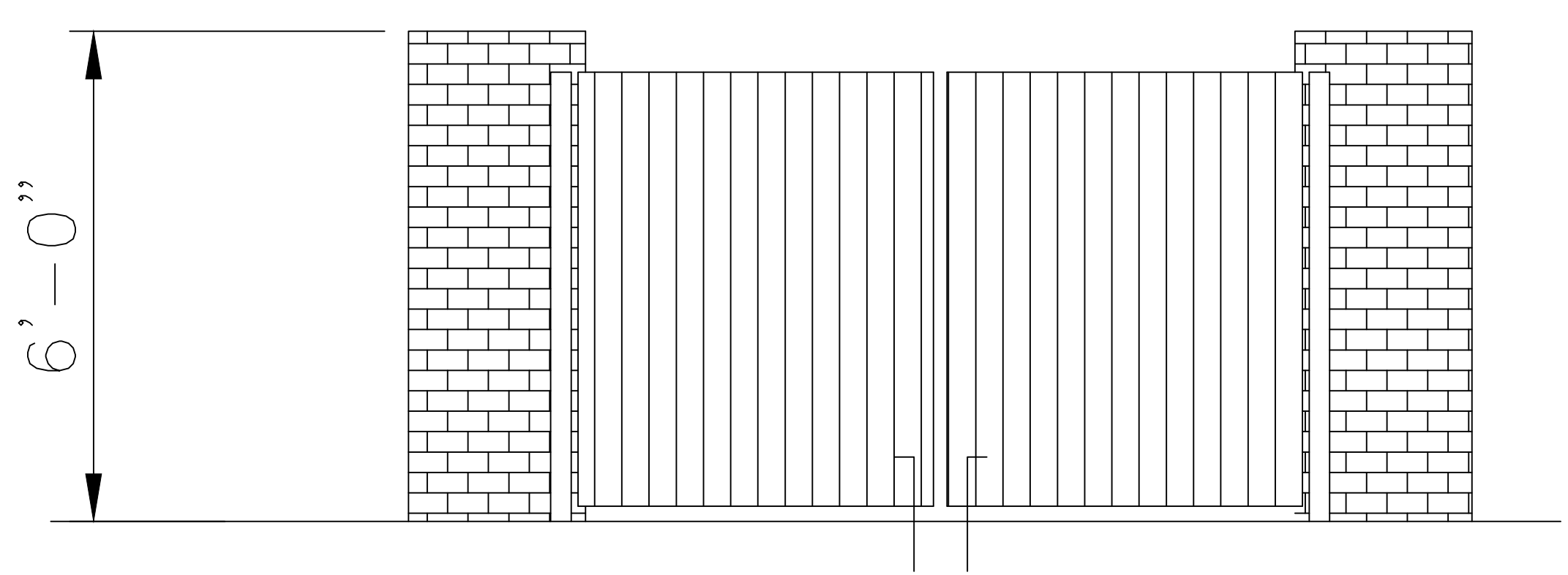
**ZONING I-2**  
**BUILDING USAGE = SPORTS TRAINING**  
**TOTAL SITE = 150,481SF**  
**BUILDING SF = 10,000SF**  
**LOT COVERAGE = 6.6%**  
**REQUIRED PARKING**  
**10,000sf/ 225 = 45 SPACES**  
**PROVIDED PARKING**  
**= 45 SPACES**



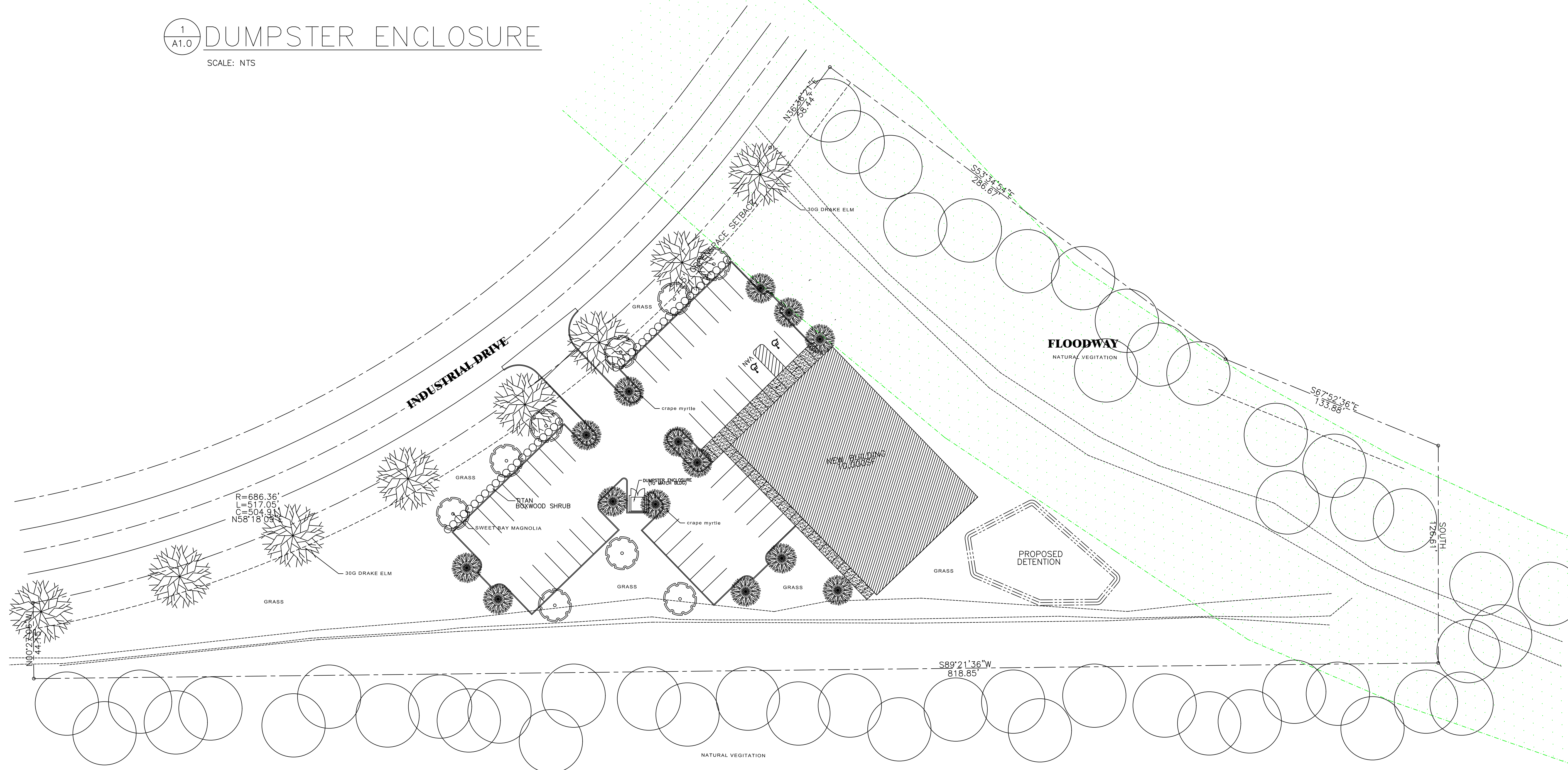
**1 VICINITY MAP**  
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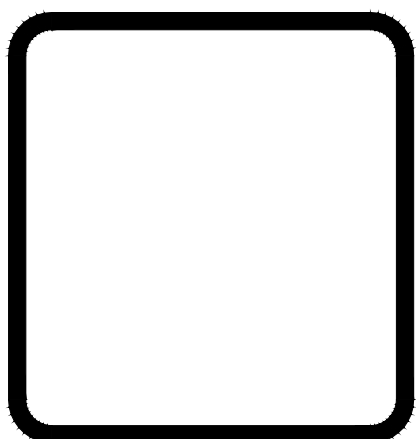
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A1.0 DUMPSTER ENCLOSURE  
SCALE: NTS



1  
A1.0 LANDSCAPE PLAN  
SCALE: 1"=30'-0"

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**W**

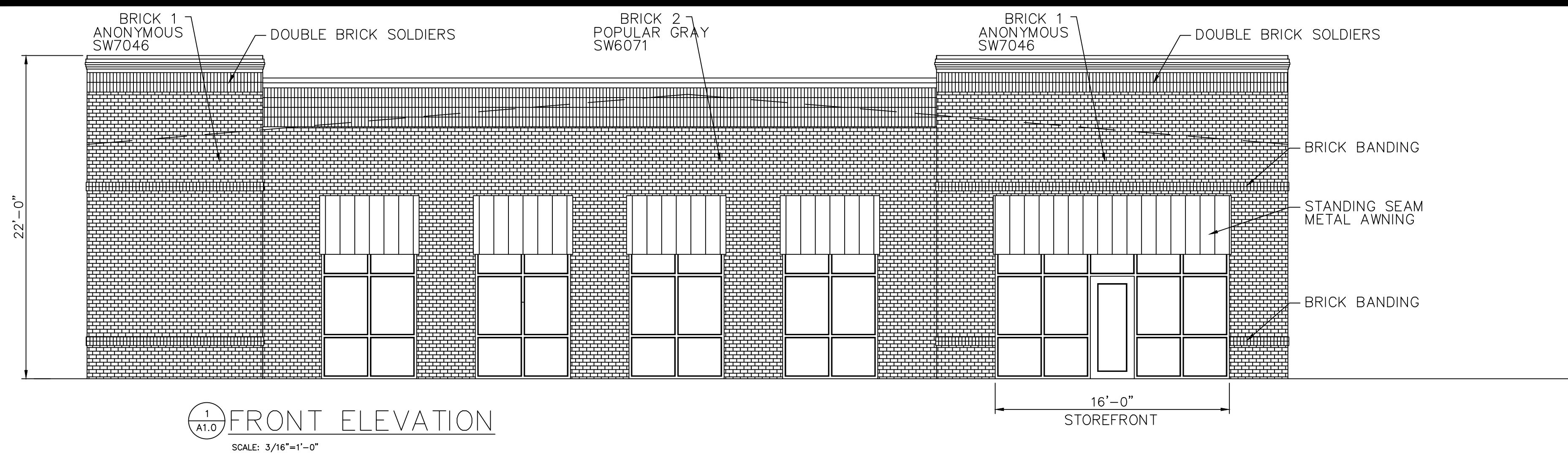
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MADISON, MS 39110  
601-209-8888  
WOOLDRIDGEARCHITECTUREFIRM.COM

Elite Hitting  
386 Industrial Drive  
Gluckstadt, Mississippi

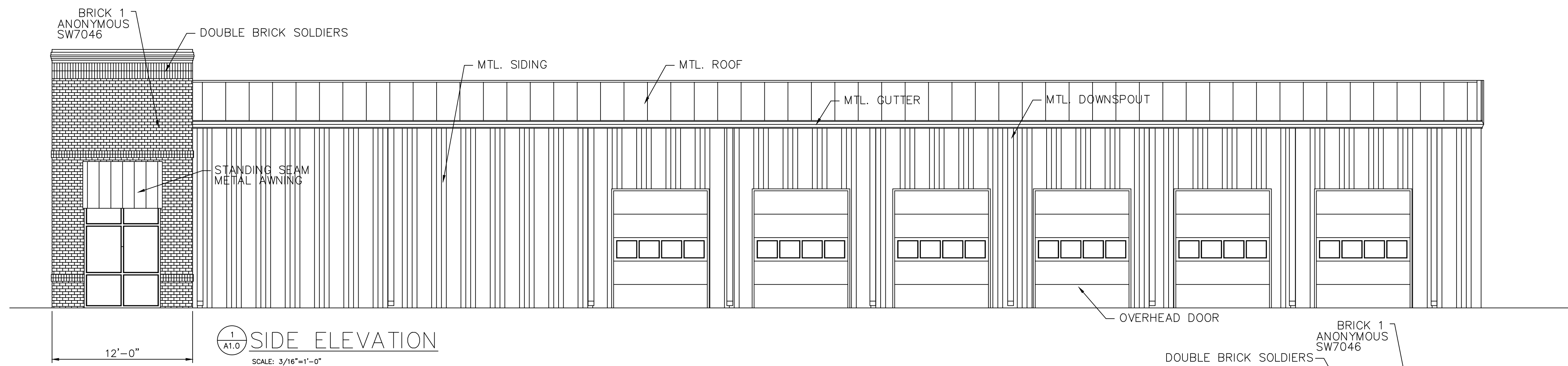
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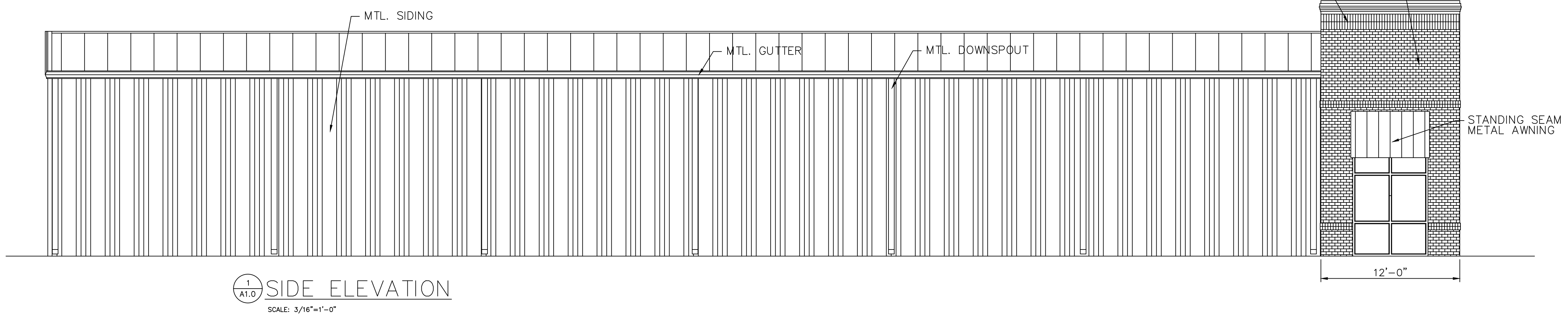




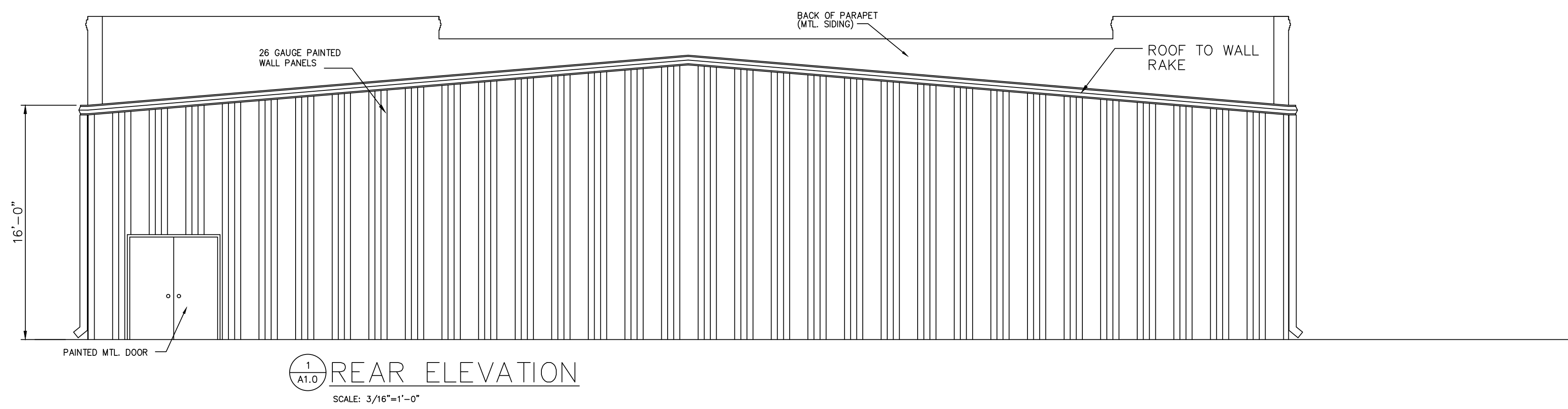
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1  
A1.0 SIDE ELEVATION  
SCALE: 3/16"=1'-0"



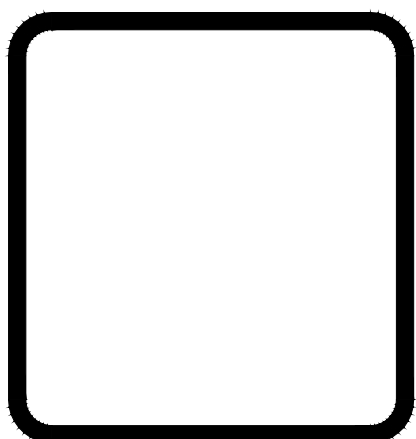
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1  
A1.0 REAR ELEVATION  
SCALE: 3/16"=1'-0"

OWNER 11/28/2023 10:45 AM FORD MONDAY.dwg

REVISIONS	BY



Elite Hitting  
386 Industrial Drive  
Gluckstadt, Mississippi

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**DRAINAGE CALCULATIONS  
FOR**

**Elite Hitting**

In cooperation with:

**Ford Monday**

Analysis and report prepared by:

Colin L. Baird, PE, PLS  
Baird Engineering, Inc.  
506 Jefferson Street  
Clinton, Mississippi 39056

Date: December 26, 2023



## **INTRODUCTION**

In response to the proposed construction of a new building, asphalt parking area and drives located on Industrial Drive in Gluckstadt, Mississippi, it was requested that Baird Engineering, Inc. perform rainfall-runoff analyses of the site for both pre- and post-construction conditions. This analysis is a part of this report.

The site currently has NO existing building, parking lot and driveways and is wooded and open land. The entire area for the proposed project is approximately 1.32 acres. Currently, the surface drains to the southeast corner of the property to an existing ditch. A copy of the topographic survey is included in the civil plans by Baird Engineering, Inc.

The proposed improvements are shown on civil plans by Baird Engineering, Inc. The site layout is shown on the Site & Drainage Plan attached to this report.

## **ANALYSES**

Hydrologic analyses for the site were performed in which pre- and post-construction conditions were examined. The Rational Method for computing runoff was used.

**Pre Elite Hitting**



**Post Elite Hitting**



**Post Elite Hitting**



# Hydrograph by Return Period

Hydrology Studio v 3.0.0.27

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Outflow (cfs)							
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
1	Rational	Pre Elite Hitting		1.158		1.392	1.592	1.868	2.083	2.302
2	Rational	Post Elite Hitting		7.891		9.399	10.69	12.44	13.90	15.18
3	Pond Route	Post Elite Hitting		1.996		2.153	2.266	2.413	2.529	2.614

# Hydrograph 2-yr Summary

Hydrology Studio v 3.0.0.27

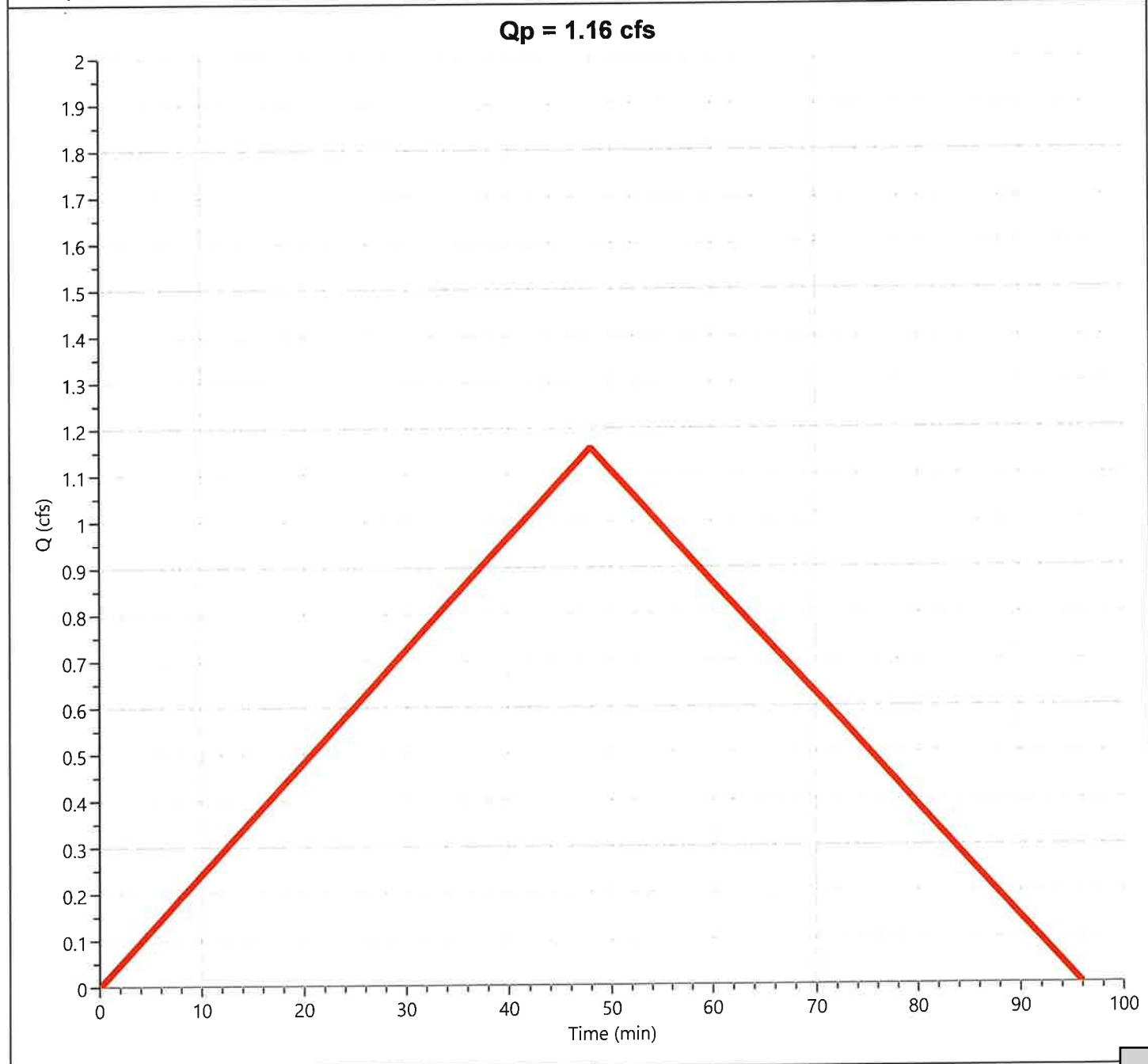
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Elite Hitting	1.158	0.80	3,336	---		
2	Rational	Post Elite Hitting	7.891	0.08	2,367	---		
3	Pond Route	Post Elite Hitting	1.996	0.15	2,365	2	258.88	1,688

# Hydrograph Report

## Pre Elite Hitting

## Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.158 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.80 hrs
Time Interval	= 1 min	Runoff Volume	= 3,336 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 48.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 2.19 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

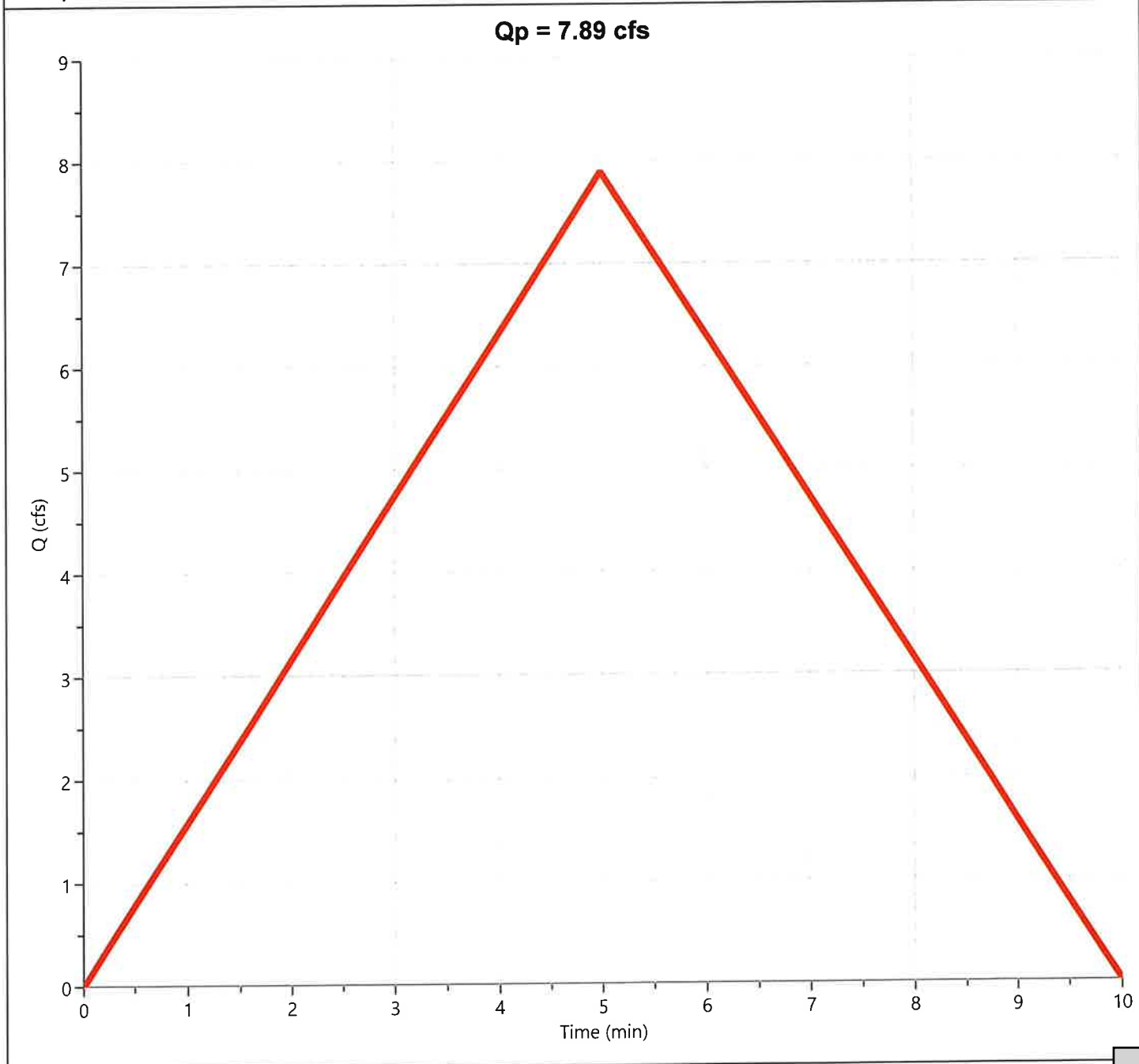


# Hydrograph Report

## Post Elite Hitting

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 7.891 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.08 hrs
Time Interval	= 1 min	Runoff Volume	= 2,367 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 5.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 6.64 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1





# Hydrograph Report

## Post Elite Hitting

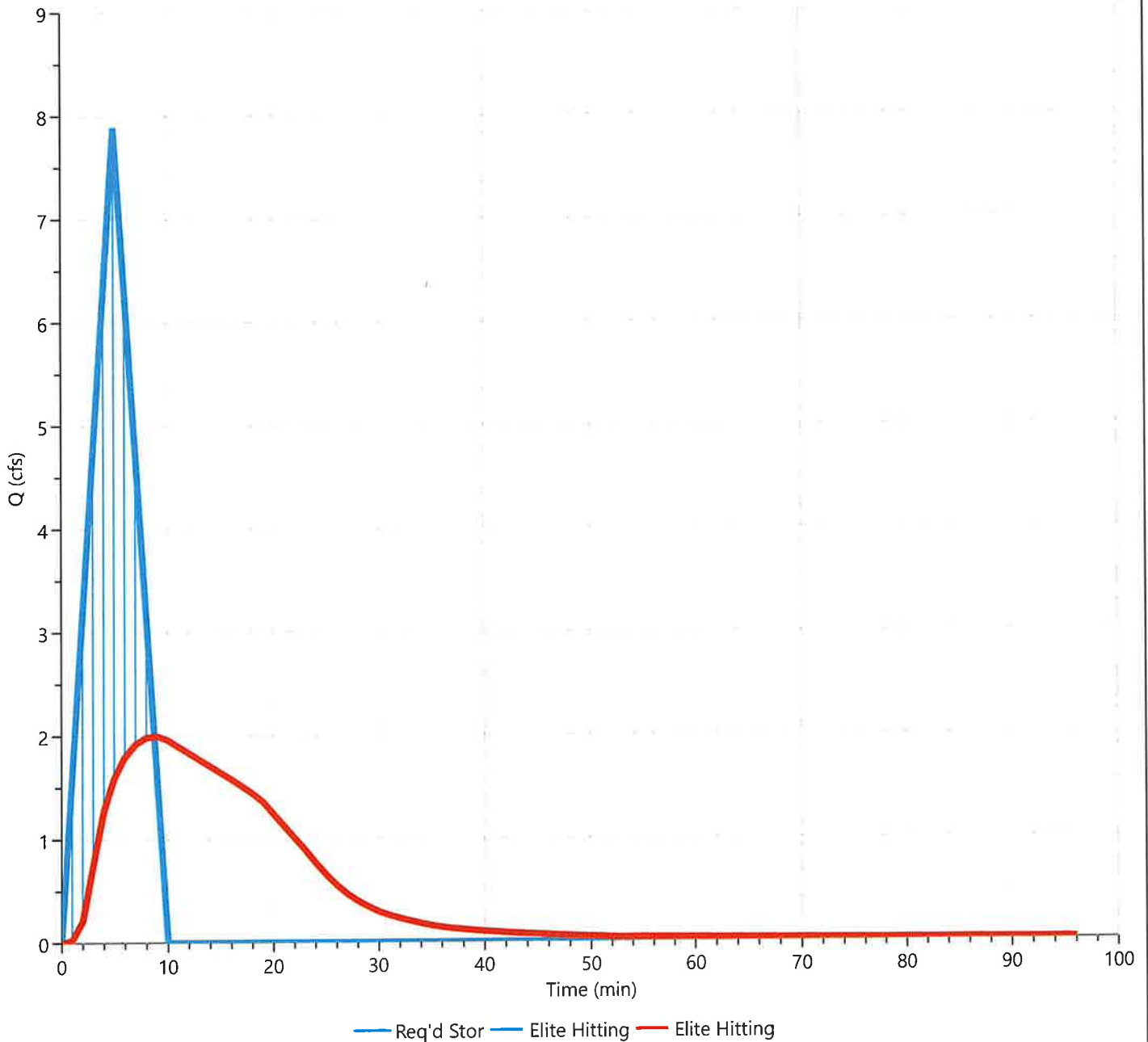
## Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 1.996 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 2,365 cuft
Inflow Hydrograph	= 2 - Elite Hitting	Max. Elevation	= 258.88 ft
Pond Name	= Elite Hitting	Max. Storage	= 1,688 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 11 min

**Qp = 2.00 cfs**



# Hydrograph 5-yr Summary

Hydrology Studio v 3.0.0.27

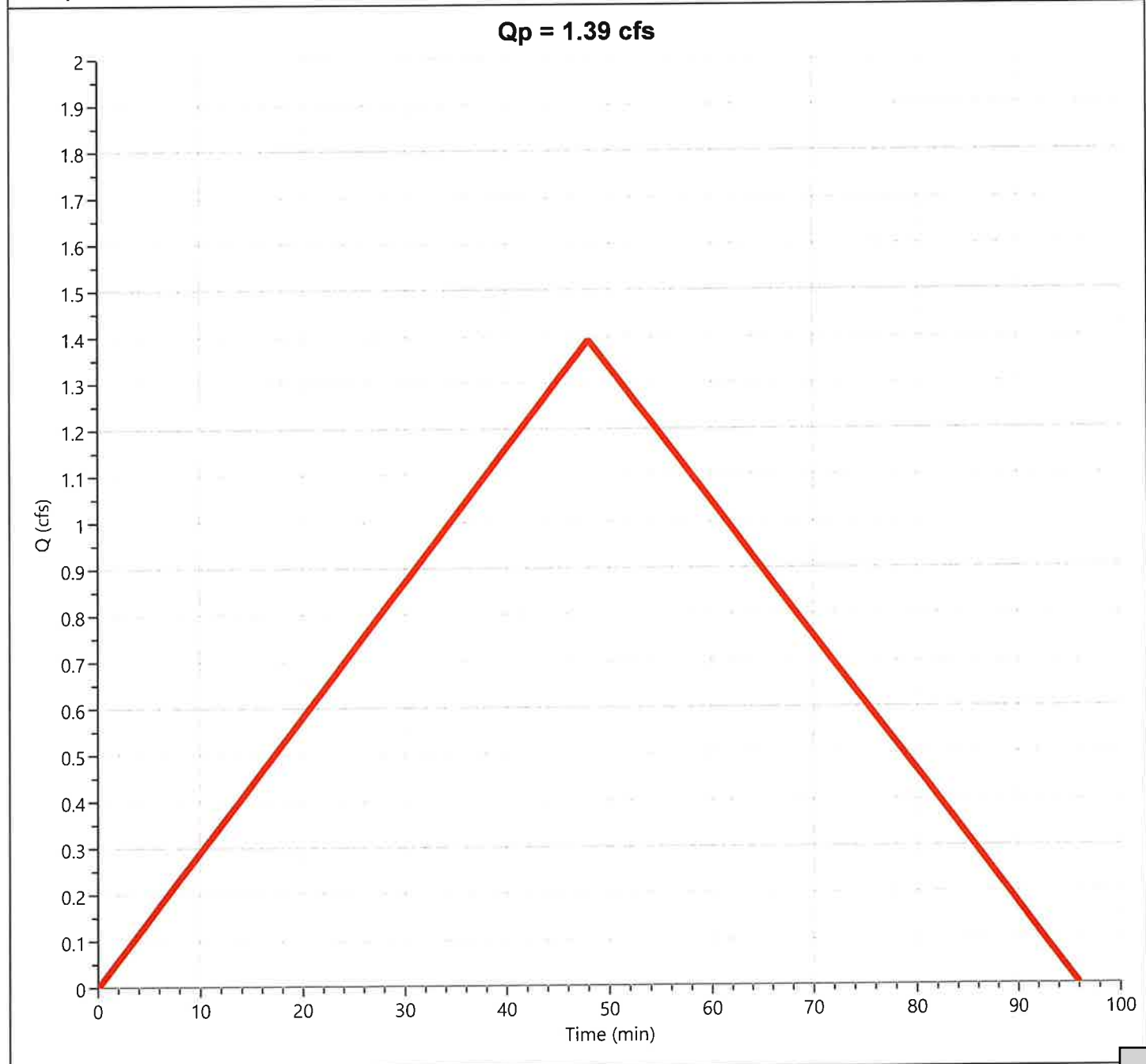
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Elite Hitting	1.392	0.80	4,008	---		
2	Rational	Post Elite Hitting	9.399	0.08	2,820	---		
3	Pond Route	Post Elite Hitting	2.153	0.15	2,818	2	259.16	2,066

# Hydrograph Report

## Pre Elite Hitting

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.392 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.80 hrs
Time Interval	= 1 min	Runoff Volume	= 4,008 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 48.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 2.64 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

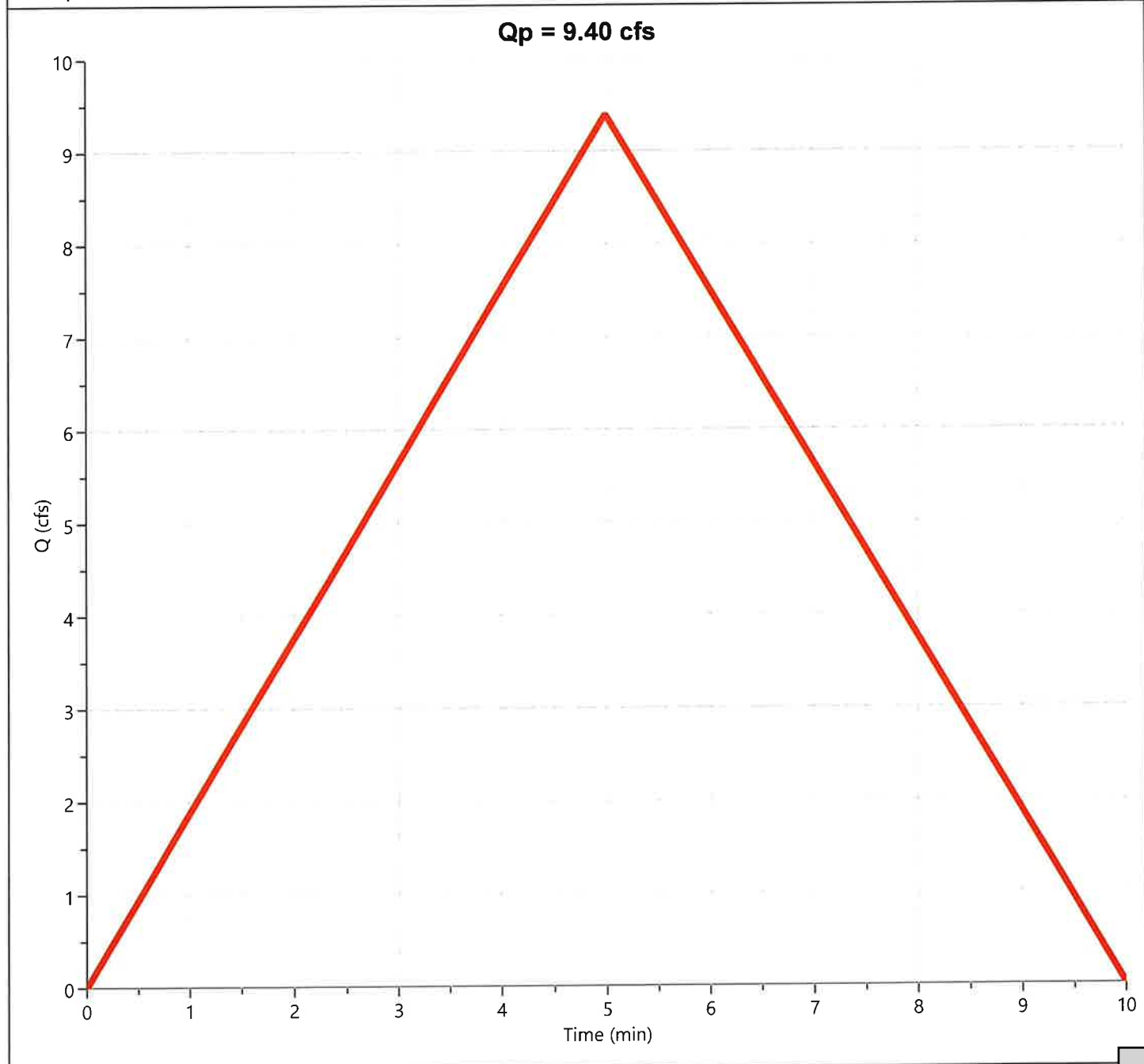


# Hydrograph Report

## Post Elite Hitting

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 9.399 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.08 hrs
Time Interval	= 1 min	Runoff Volume	= 2,820 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 5.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 7.91 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

## Post Elite Hitting

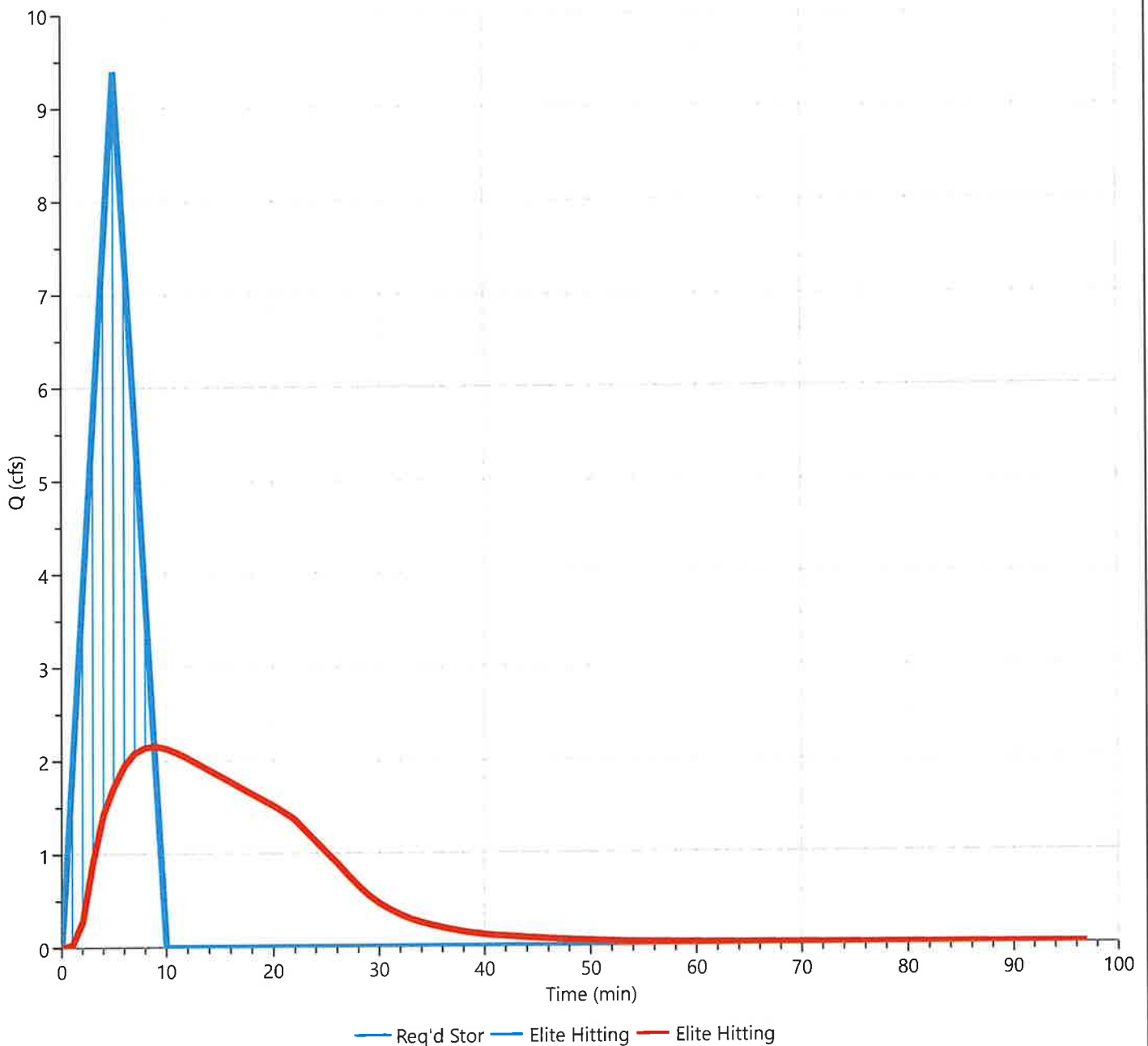
## Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.153 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 2,818 cuft
Inflow Hydrograph	= 2 - Elite Hitting	Max. Elevation	= 259.16 ft
Pond Name	= Elite Hitting	Max. Storage	= 2,066 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 12 min

**Qp = 2.15 cfs**



# Hydrograph 10-yr Summary

12-26-2023

Hydrology Studio v 3.0.0.27

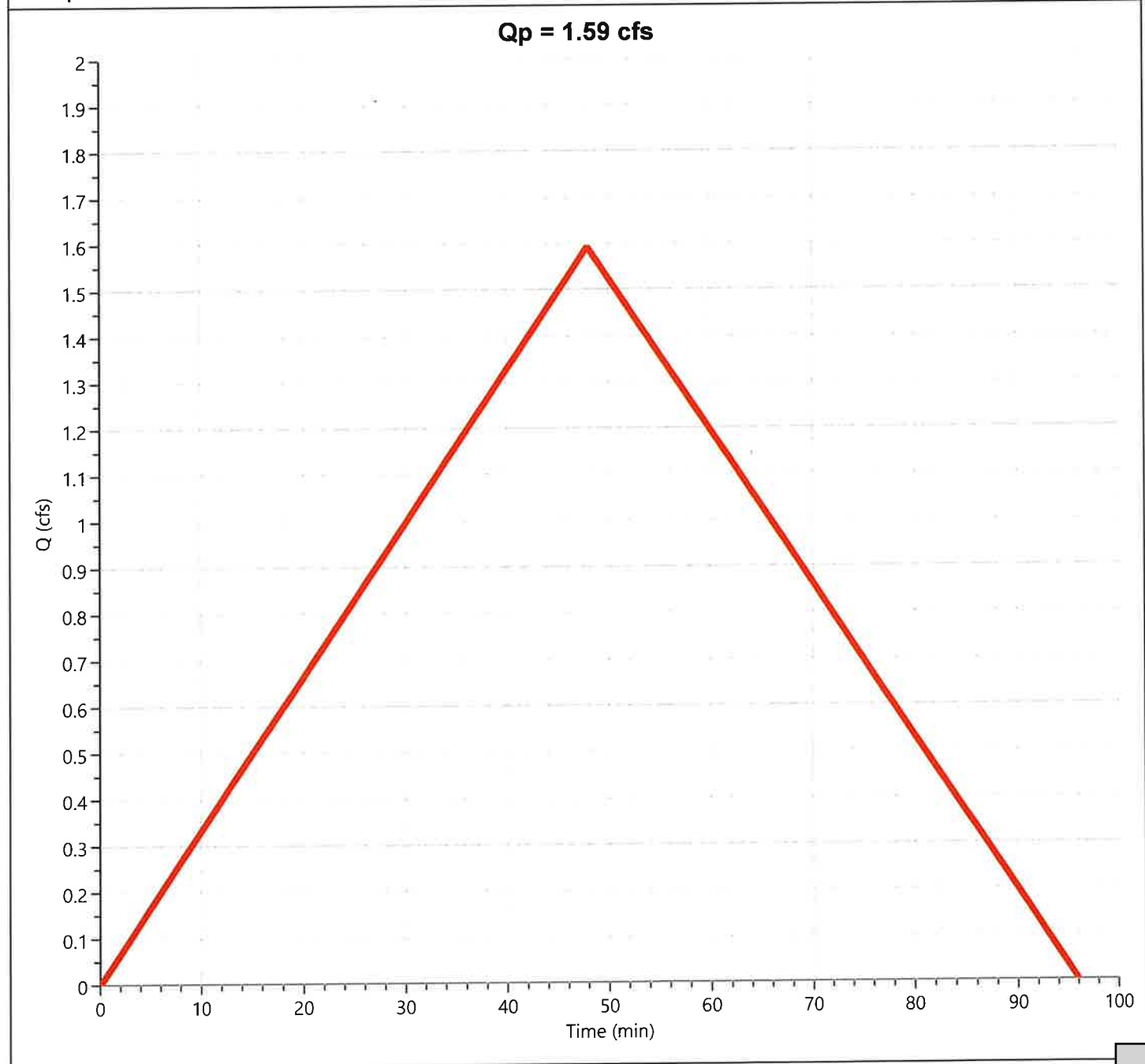
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Elite Hitting	1.592	0.80	4,586	---		
2	Rational	Post Elite Hitting	10.69	0.08	3,206	---		
3	Pond Route	Post Elite Hitting	2.266	0.15	3,204	2	259.37	2,398

# Hydrograph Report

## Pre Elite Hitting

## Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.592 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.80 hrs
Time Interval	= 1 min	Runoff Volume	= 4,586 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 48.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 3.02 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

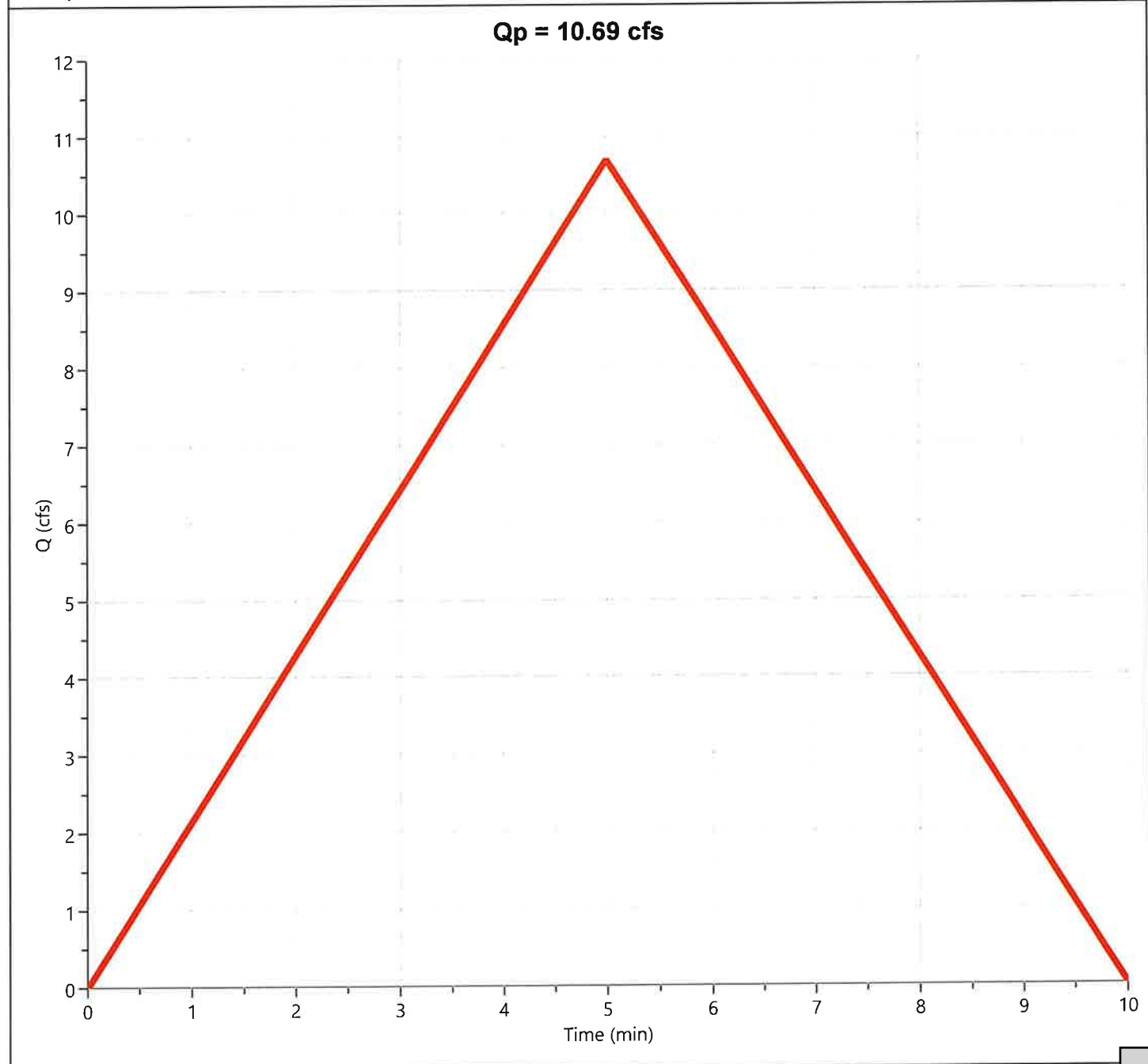


# Hydrograph Report

## Post Elite Hitting

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 10.69 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.08 hrs
Time Interval	= 1 min	Runoff Volume	= 3,206 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 5.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 9.00 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1





# Hydrograph Report

## Post Elite Hitting

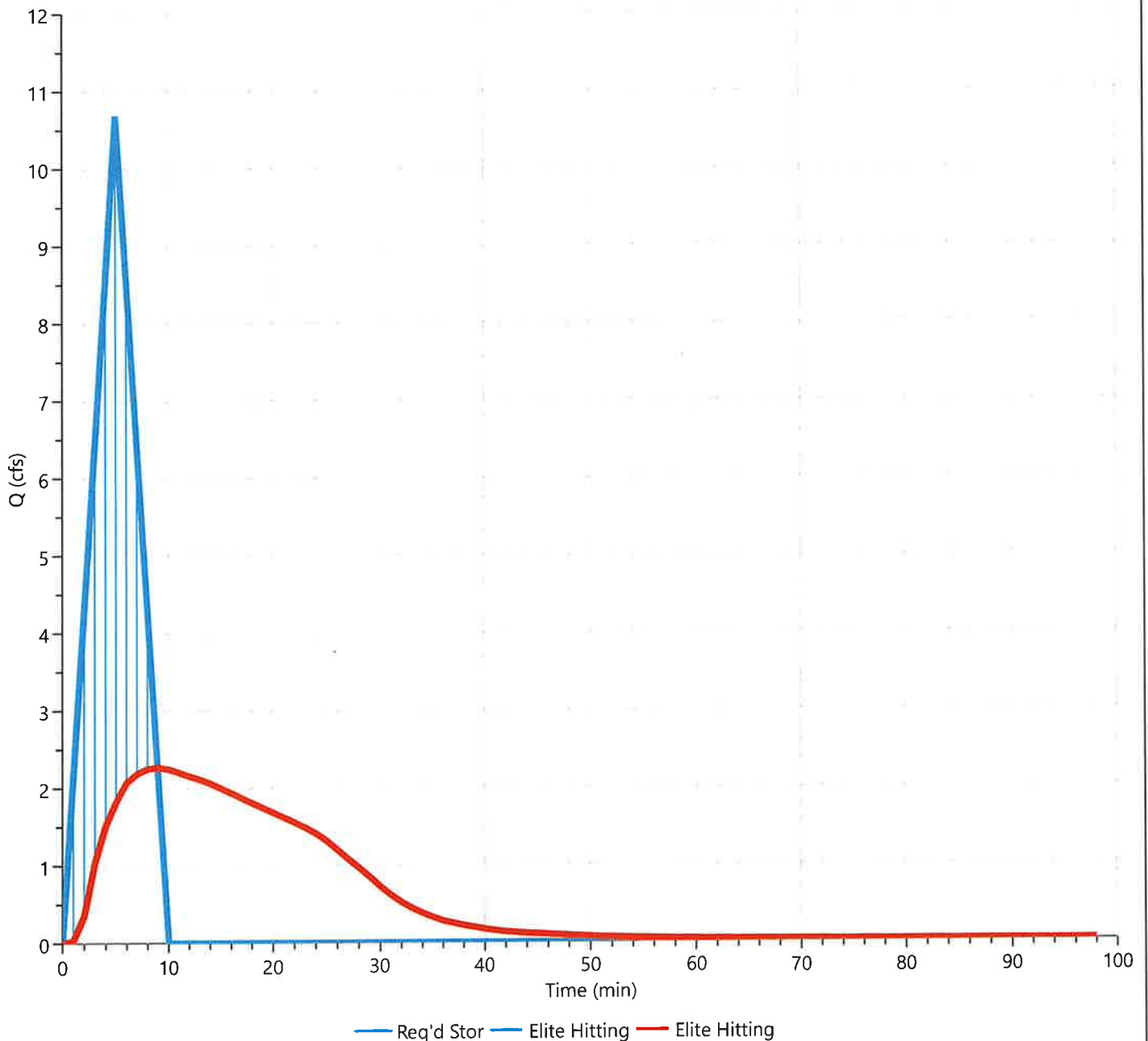
## Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.266 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,204 cuft
Inflow Hydrograph	= 2 - Elite Hitting	Max. Elevation	= 259.37 ft
Pond Name	= Elite Hitting	Max. Storage	= 2,398 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 12 min

**Qp = 2.27 cfs**



# Hydrograph 25-yr Summary

12-26-2023

Hydrology Studio v 3.0.0.27

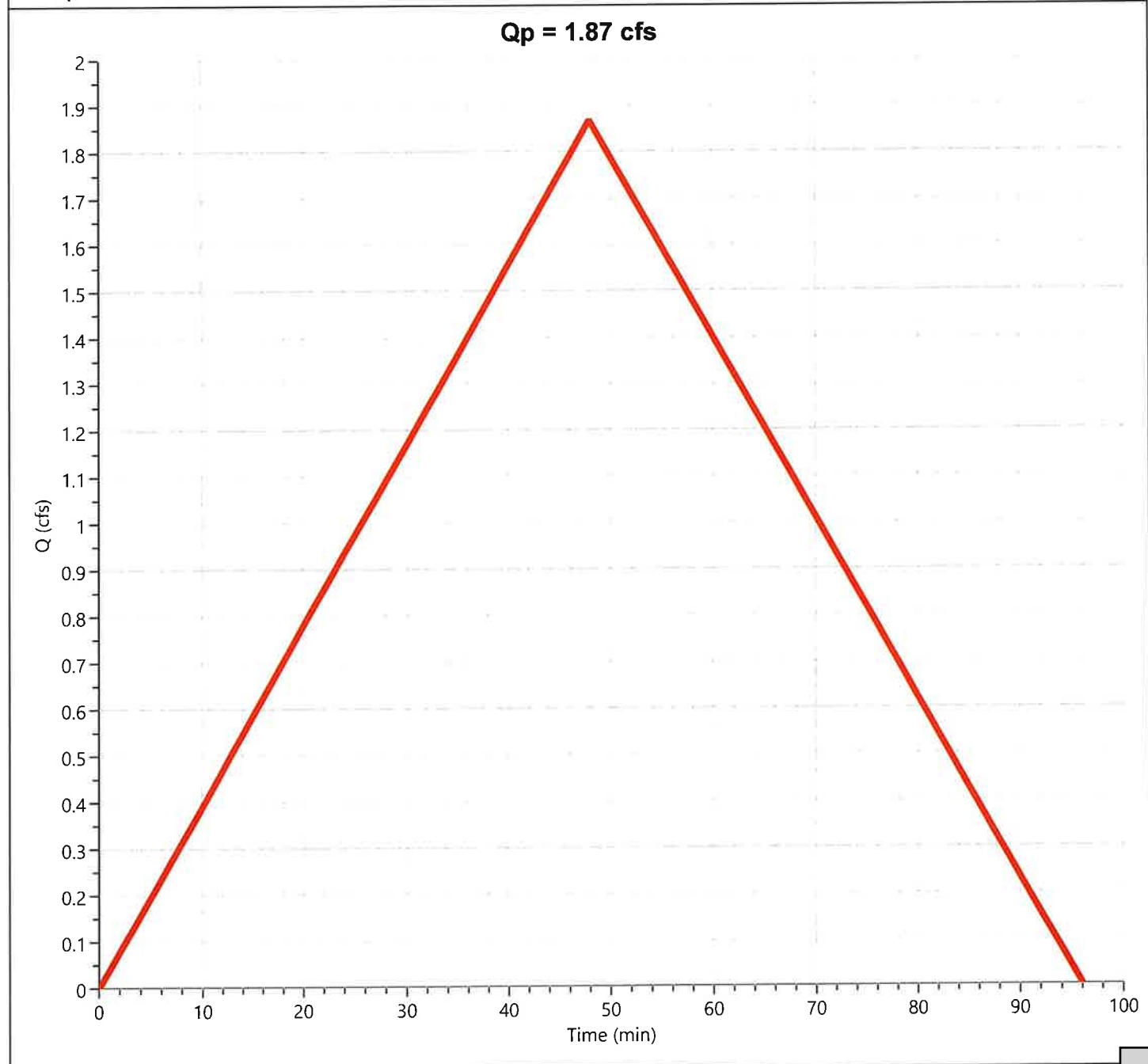
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Elite Hitting	1.868	0.80	5,380	---		
2	Rational	Post Elite Hitting	12.44	0.08	3,731	---		
3	Pond Route	Post Elite Hitting	2.413	0.15	3,729	2	259.66	2,856

# Hydrograph Report

## Pre Elite Hitting

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.868 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.80 hrs
Time Interval	= 1 min	Runoff Volume	= 5,380 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 48.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 3.54 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

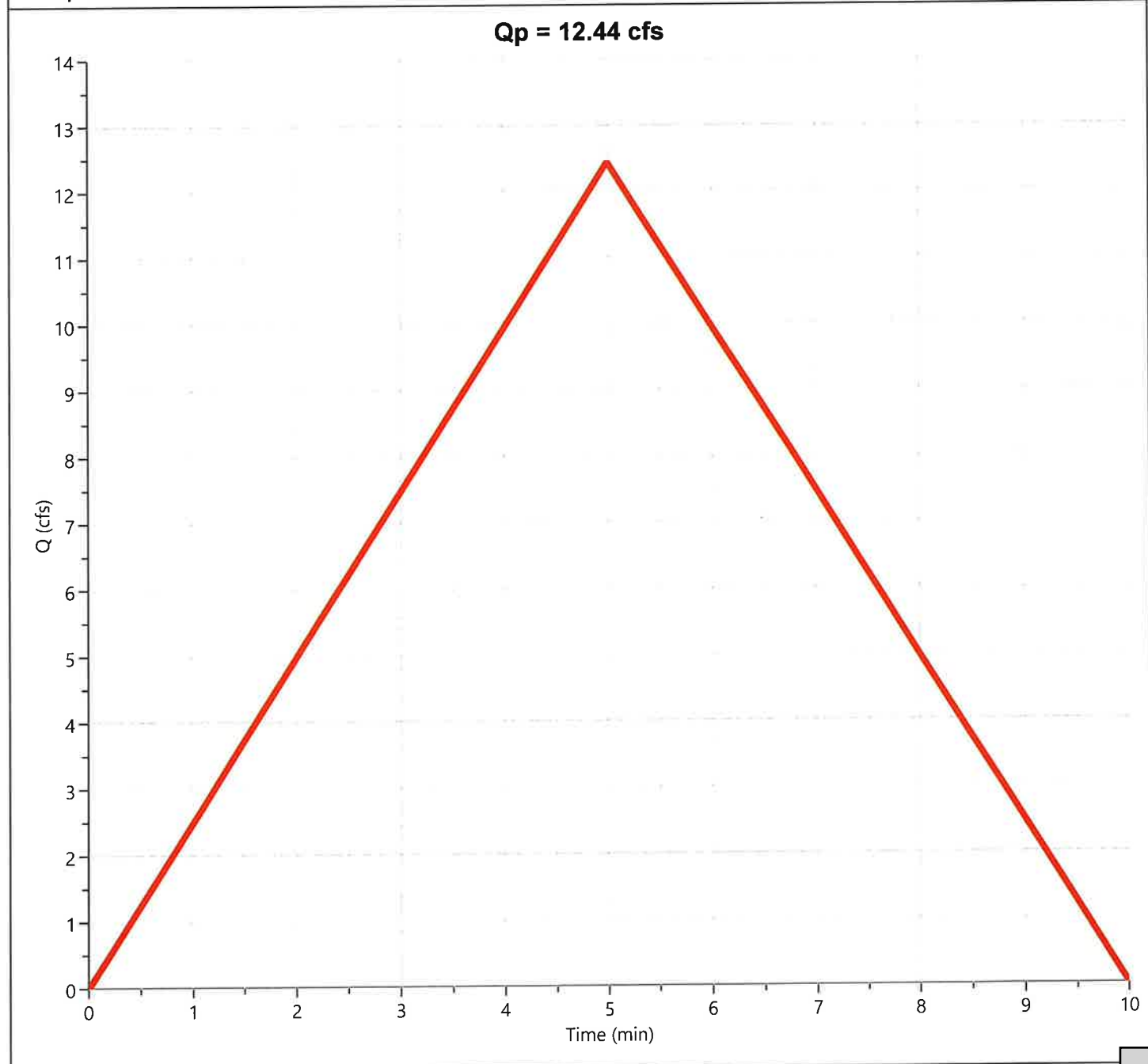


# Hydrograph Report

## Post Elite Hitting

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 12.44 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.08 hrs
Time Interval	= 1 min	Runoff Volume	= 3,731 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 5.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 10.47 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

## Post Elite Hitting

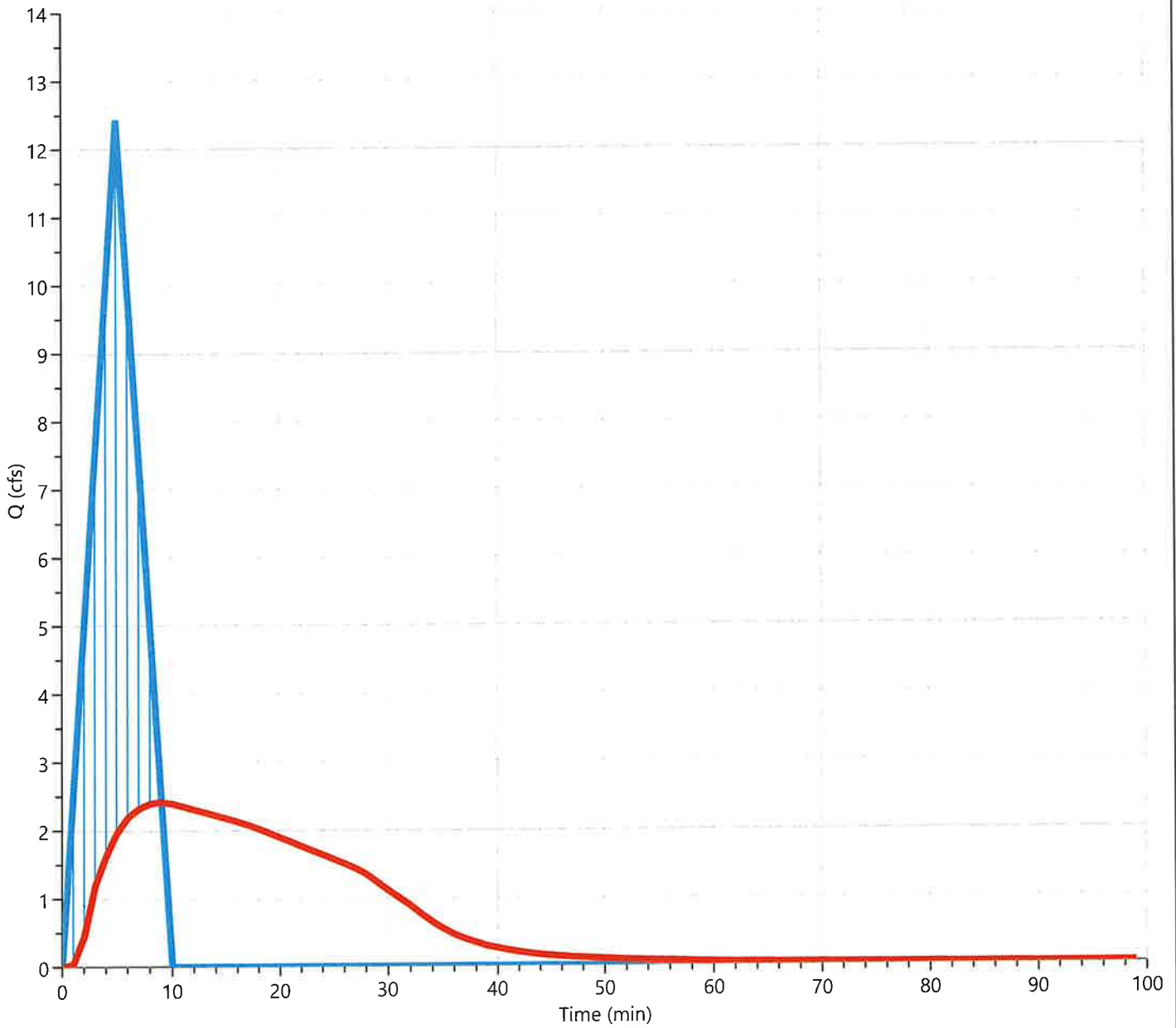
## Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.413 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,729 cuft
Inflow Hydrograph	= 2 - Elite Hitting	Max. Elevation	= 259.66 ft
Pond Name	= Elite Hitting	Max. Storage	= 2,856 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 13 min

**Qp = 2.41 cfs**



— Req'd Stor — Elite Hitting — Elite Hitting

# Hydrograph 50-yr Summary

Hydrology Studio v 3.0.0.27

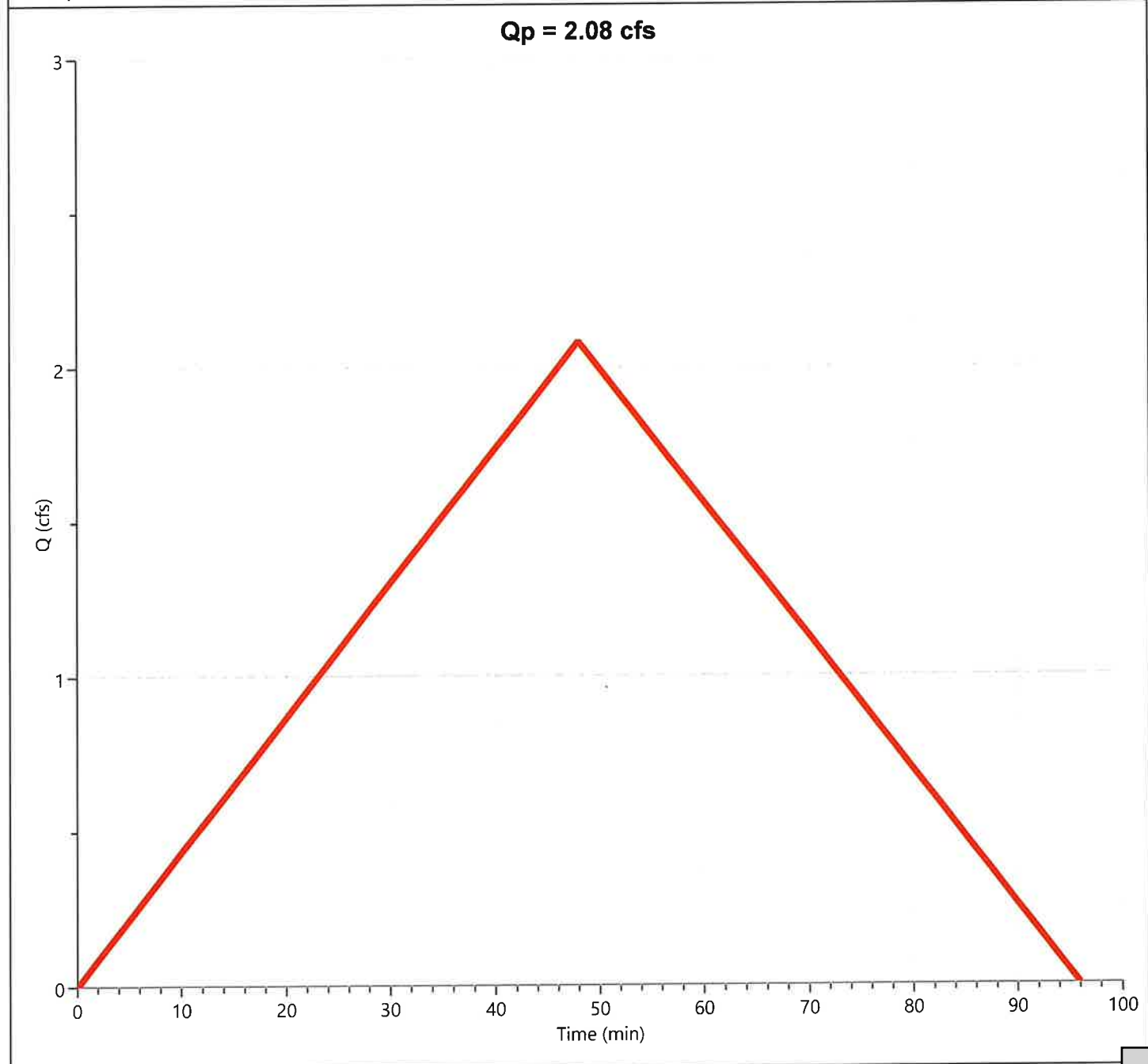
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Elite Hitting	2.083	0.80	5,999	---		
2	Rational	Post Elite Hitting	13.90	0.08	4,169	---		
3	Pond Route	Post Elite Hitting	2,529	0.15	4,167	2	259.91	3,239

# Hydrograph Report

## Pre Elite Hitting

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.083 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.80 hrs
Time Interval	= 1 min	Runoff Volume	= 5,999 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 48.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 3.94 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

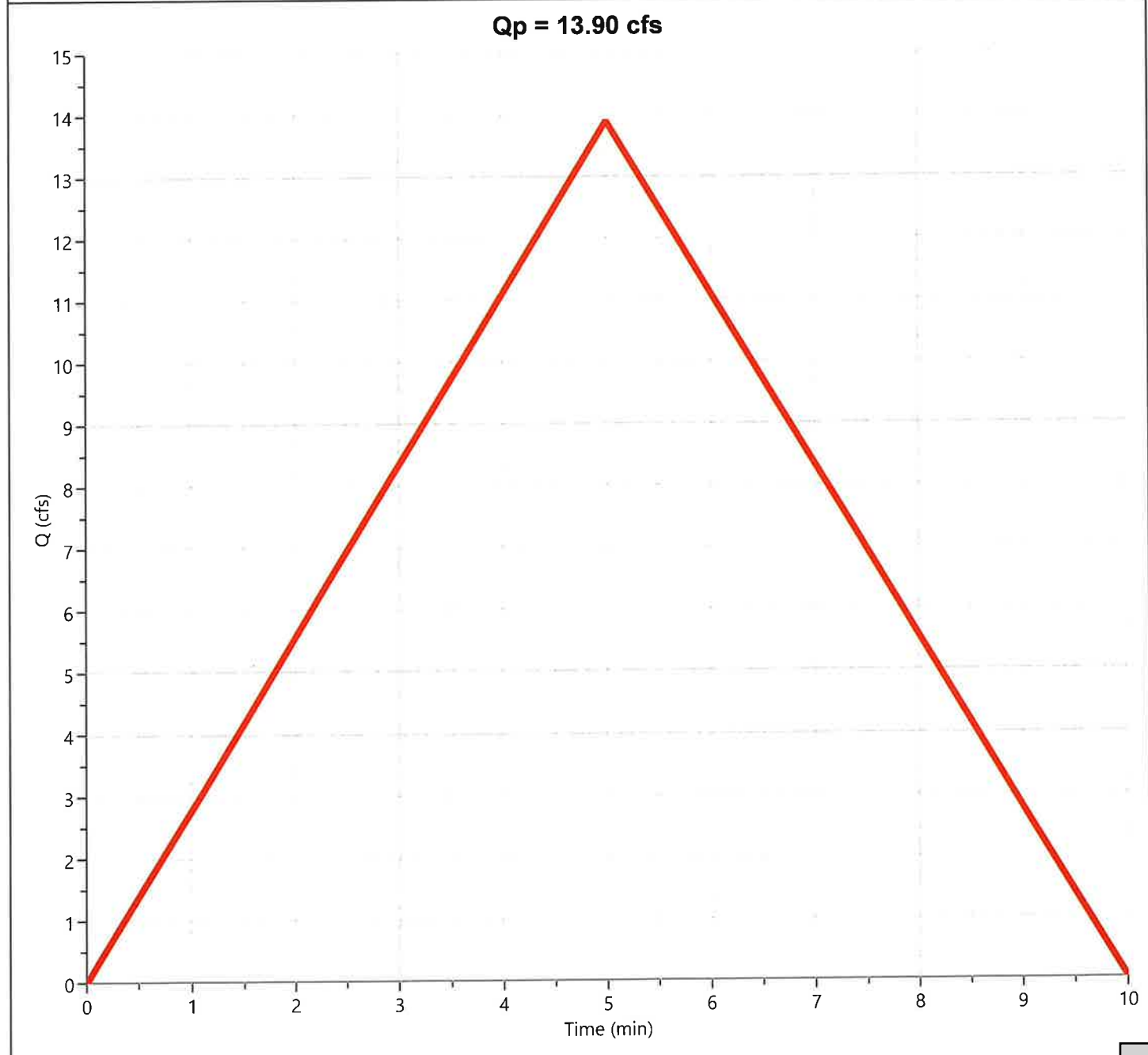


# Hydrograph Report

## Post Elite Hitting

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 13.90 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.08 hrs
Time Interval	= 1 min	Runoff Volume	= 4,169 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 5.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 11.70 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1





# Hydrograph Report

## Post Elite Hitting

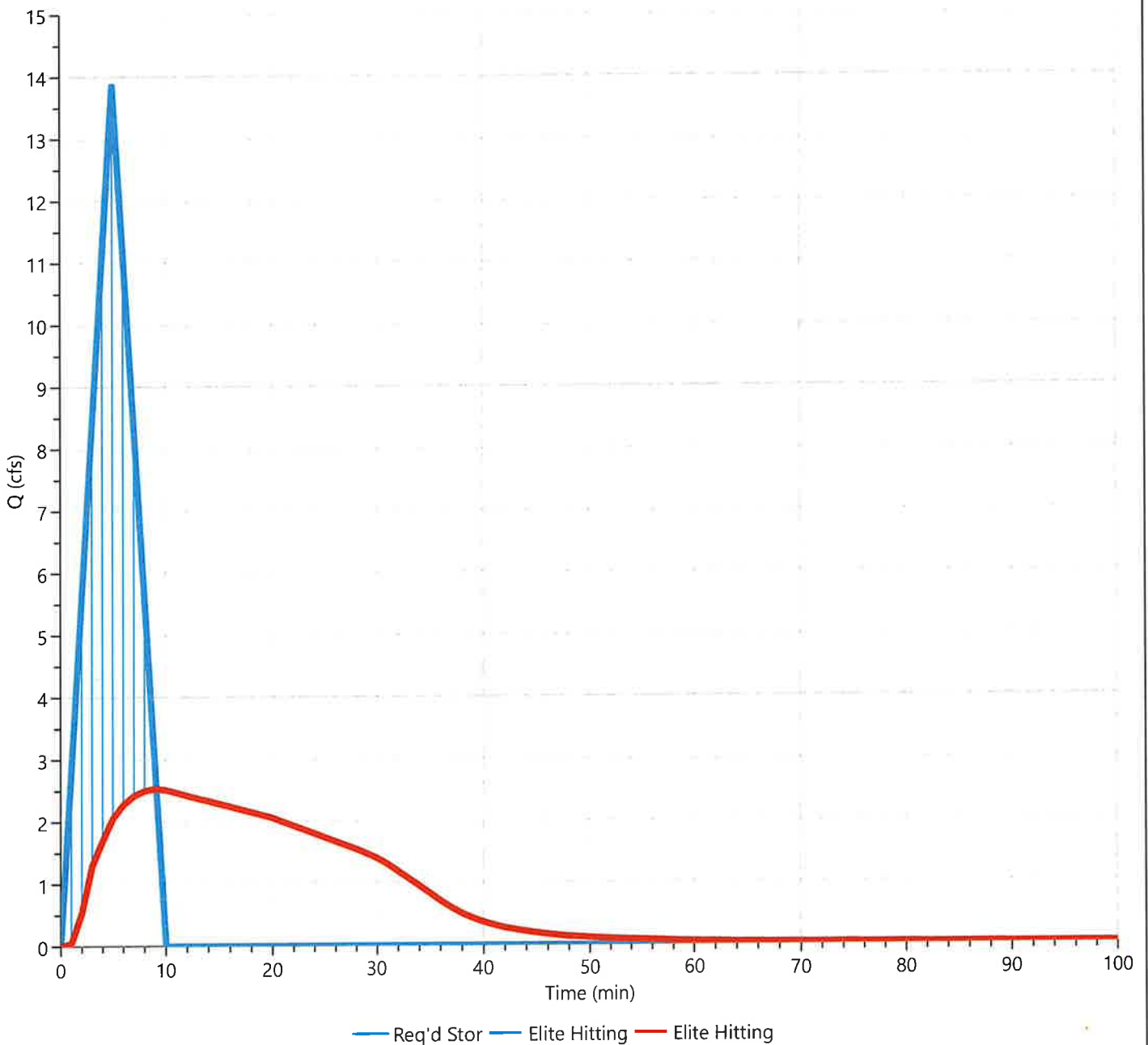
## Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.529 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 4,167 cuft
Inflow Hydrograph	= 2 - Elite Hitting	Max. Elevation	= 259.91 ft
Pond Name	= Elite Hitting	Max. Storage	= 3,239 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 14 min

**Qp = 2.53 cfs**



# Hydrograph 100-yr Summary

Hydrology Studio v 3.0.0.27

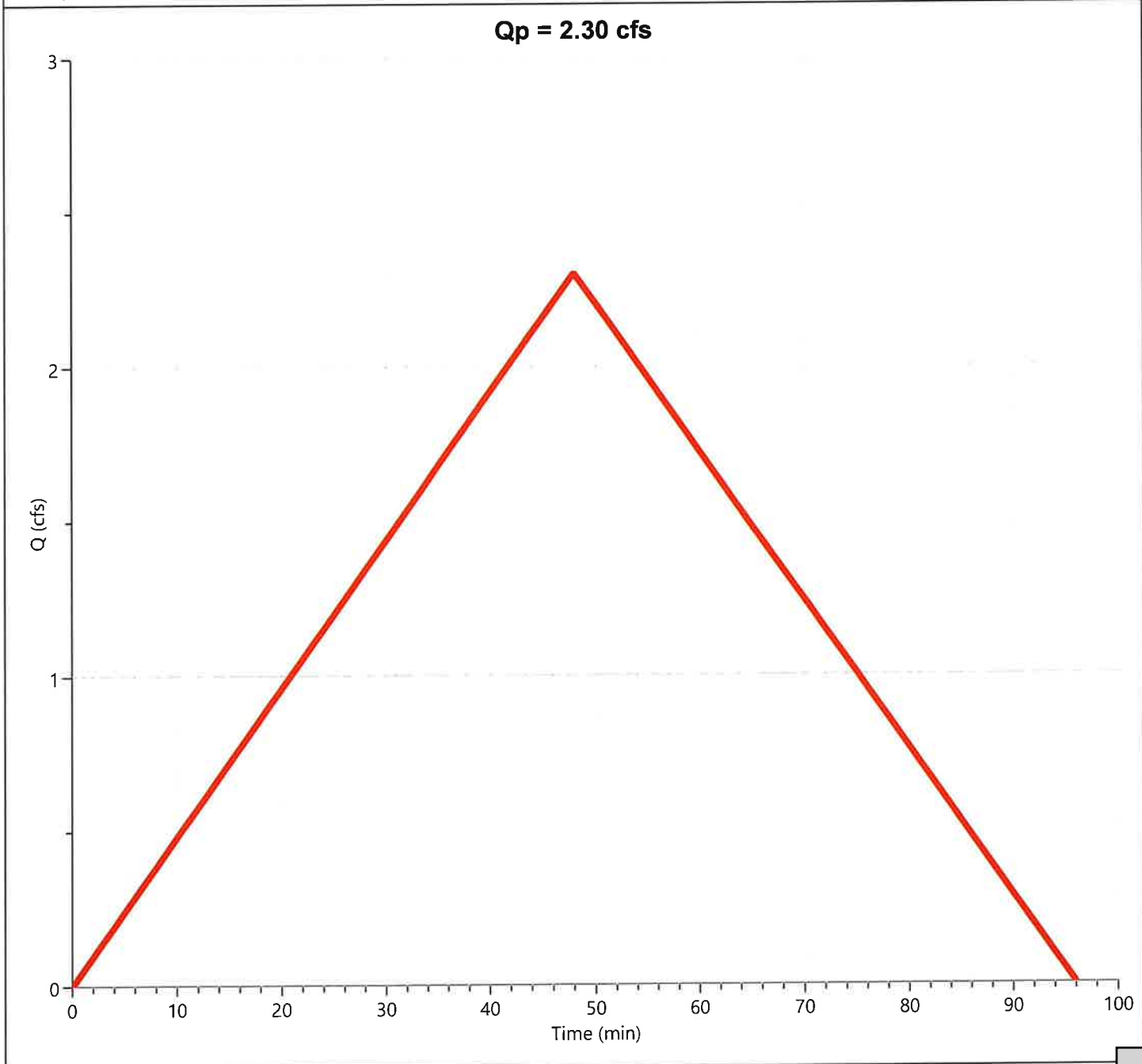
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Elite Hitting	2.302	0.80	6,630	---		
2	Rational	Post Elite Hitting	15.18	0.08	4,554	---		
3	Pond Route	Post Elite Hitting	2.614	0.15	4,552	2	260.10	3,580

# Hydrograph Report

## Pre Elite Hitting

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.302 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.80 hrs
Time Interval	= 1 min	Runoff Volume	= 6,630 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 48.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 4.36 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

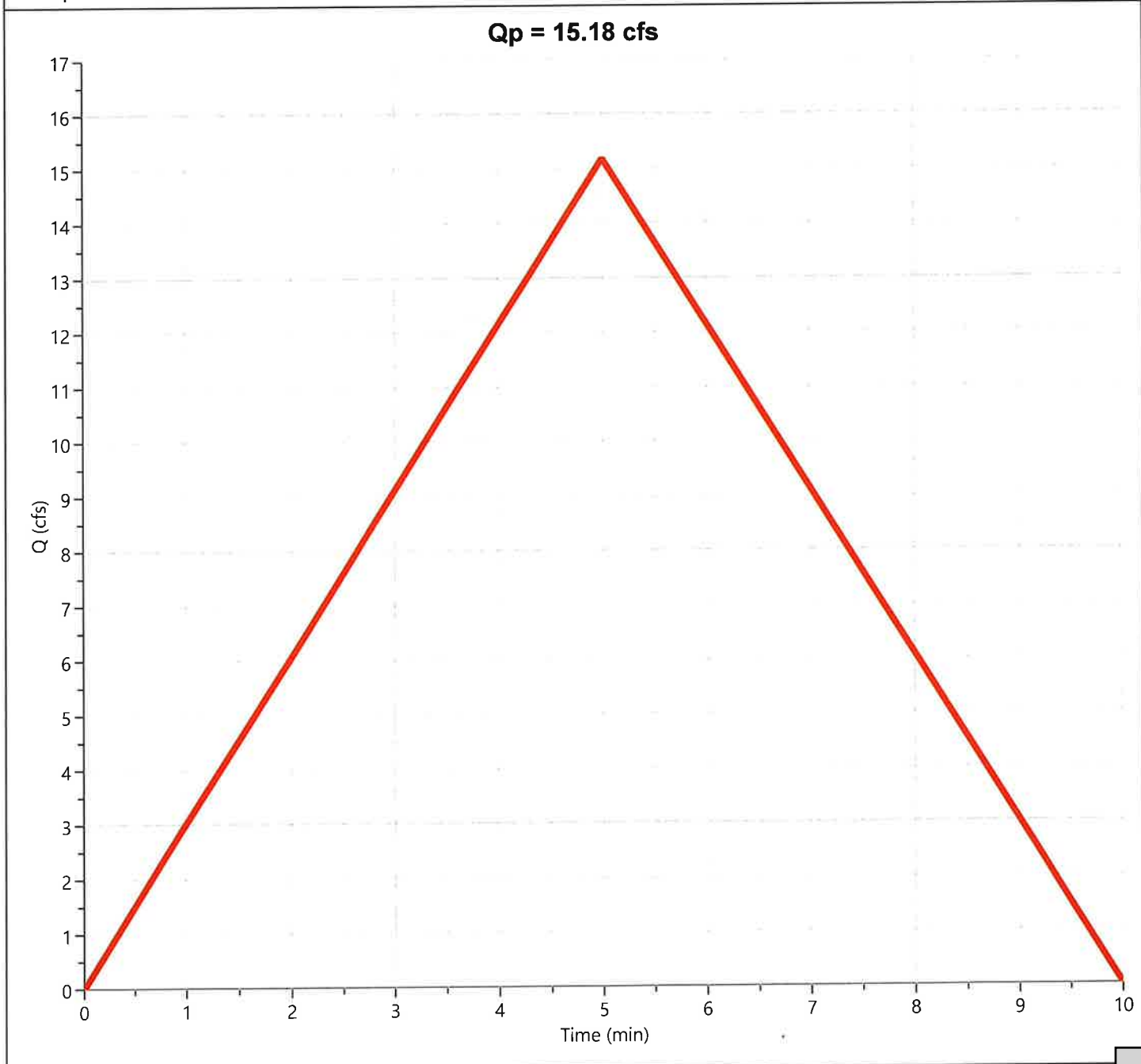


# Hydrograph Report

## Post Elite Hitting

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 15.18 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.08 hrs
Time Interval	= 1 min	Runoff Volume	= 4,554 cuft
Drainage Area	= 1.32 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 5.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 12.78 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

## Post Elite Hitting

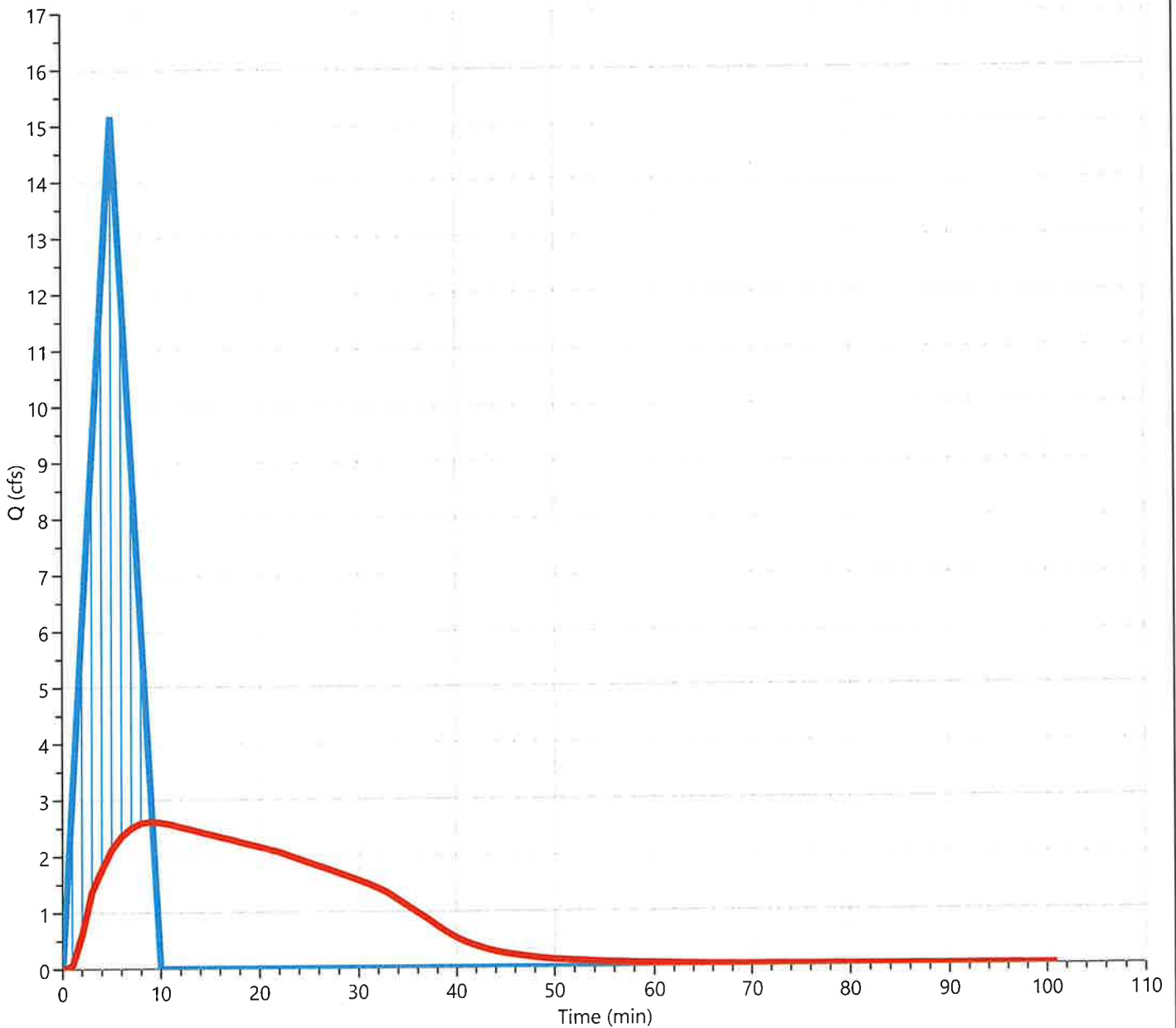
## Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.614 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 4,552 cuft
Inflow Hydrograph	= 2 - Elite Hitting	Max. Elevation	= 260.10 ft
Pond Name	= Elite Hitting	Max. Storage	= 3,580 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 15 min

**Qp = 2.61 cfs**



— Req'd Stor — Elite Hitting — Elite Hitting

# IDF Report

Hydrology Studio v 3.0.0.27

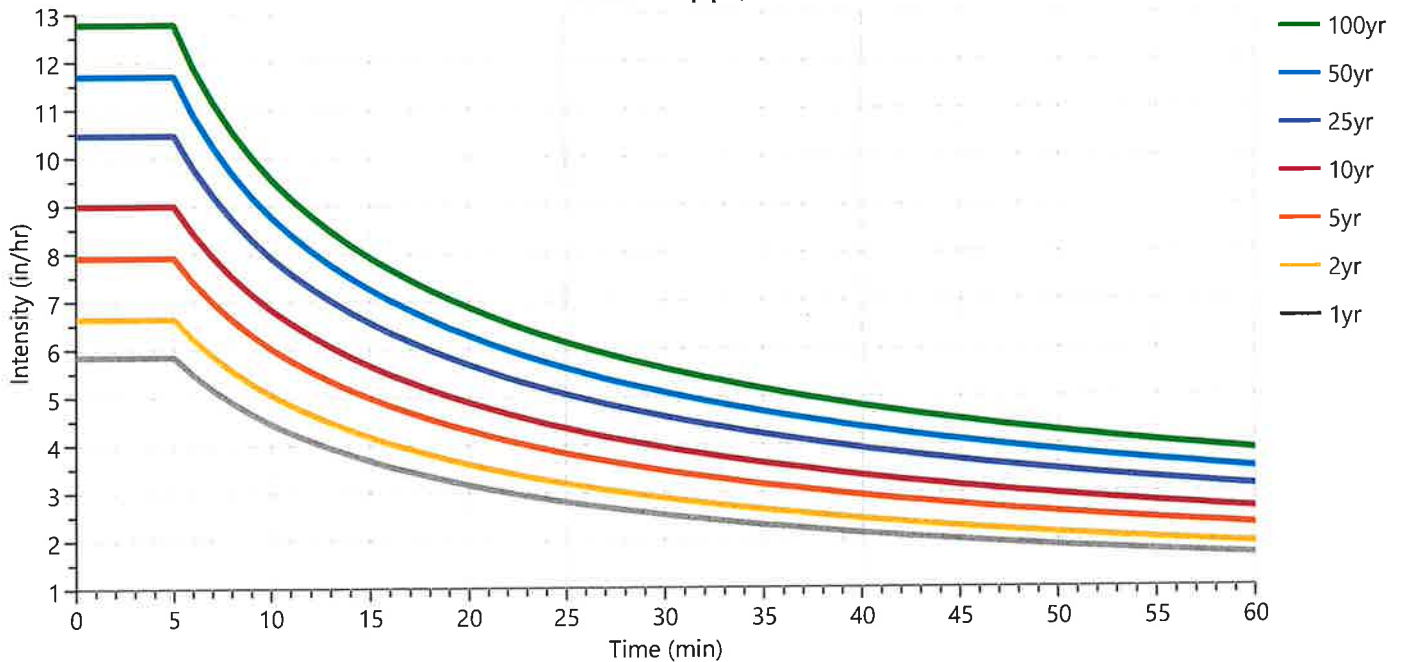
Equation Coefficients	Intensity = B / (Tc + D)^E (in/hr)								
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
<b>B</b>	26.0235	28.5705	0.0000	33.1705	35.3629	37.4541	37.9551	38.6689	
<b>D</b>	4.7000	4.5000	0.0000	4.4000	4.0000	3.4000	2.7000	2.3000	
<b>E</b>	0.6572	0.6480	0.0000	0.6397	0.6230	0.5989	0.5767	0.5571	

Minimum Tc = 5 minutes

Tc (min)	Intensity Values (in/hr)								
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
<b>Cf</b>	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
<b>5</b>	5.85	6.64	0	7.91	9.00	10.47	11.70	12.78	
<b>10</b>	4.45	5.05	0	6.02	6.83	7.91	8.76	9.55	
<b>15</b>	3.67	4.17	0	4.98	5.65	6.55	7.24	7.90	
<b>20</b>	3.16	3.60	0	4.30	4.88	5.67	6.27	6.86	
<b>25</b>	2.80	3.19	0	3.81	4.34	5.05	5.59	6.13	
<b>30</b>	2.53	2.88	0	3.45	3.93	4.58	5.08	5.58	
<b>35</b>	2.32	2.64	0	3.16	3.61	4.21	4.68	5.15	
<b>40</b>	2.14	2.44	0	2.93	3.35	3.92	4.36	4.80	
<b>45</b>	2.00	2.28	0	2.74	3.13	3.67	4.09	4.51	
<b>50</b>	1.88	2.14	0	2.57	2.95	3.46	3.86	4.27	
<b>55</b>	1.77	2.02	0	2.43	2.79	3.28	3.66	4.05	
<b>60</b>	1.68	1.92	0	2.31	2.65	3.12	3.49	3.87	

Cf = Correction Factor applied to Rational Method runoff coefficient.

## Mississippi, USA



# Precipitation Report

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
<b>Active</b>			✓		✓	✓	✓	✓	✓
<b>SCS Storms</b>	<b>&gt; SCS Dimensionless Storms</b>								
SCS 6hr		1.20	1.50	0	1.86	2.18	2.64	3.01	3.41
Type I, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type IA, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type II, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type II FL, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type III, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
<b>Synthetic Storms</b>	<b>&gt; IDF-Based Synthetic Storms</b>								
1-hr		1.68	1.92	0	2.31	2.65	3.12	3.49	3.87
2-hr		2.18	2.51	0	3.03	3.51	4.19	4.74	5.32
3-hr		2.53	2.92	0	3.54	4.12	4.95	5.65	6.38
6-hr	✓	3.24	3.75	0	4.57	5.38	6.58	7.61	8.71
12-hr		4.12	4.81	0	5.89	7.02	8.71	10.23	11.86
24-hr		5.24	6.15	0	7.58	9.13	11.52	13.73	16.13
<b>Huff Distribution</b>	<b>&gt; 1st Quartile (0 to 6 hrs)</b>								
1-hr		0.76	0.98	0	1.33	1.61	2.01	2.34	2.69
2-hr		0.89	1.14	0	1.50	1.80	2.24	2.60	2.99
3-hr		0.98	1.24	0	1.59	1.90	2.33	2.68	3.07
6-hr		1.20	1.50	0	1.86	2.18	2.64	3.01	3.41
<b>Huff Distribution</b>	<b>&gt; 2nd Quartile (&gt;6 to 12 hrs)</b>								
8-hr		0	0	0	0	0	0	0	0
12-hr		0	0	0	0	0	0	0	0
<b>Huff Distribution</b>	<b>&gt; 3rd Quartile (&gt;12 to 24 hrs)</b>								
18-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
<b>Custom Storms</b>	<b>&gt; Custom Storm Distributions</b>								
My Custom Storm 1		0	0	0	0	0	0	0	0
My Custom Storm 2		0	0	0	0	0	0	0	0
My Custom Storm 3		0	0	0	0	0	0	0	0
My Custom Storm 4		0	0	0	0	0	0	0	0
My Custom Storm 5		0	0	0	0	0	0	0	0
My Custom Storm 6		0	0	0	0	0	0	0	0
My Custom Storm 7		0	0	0	0	0	0	0	0
My Custom Storm 8		0	0	0	0	0	0	0	0
My Custom Storm 9		0	0	0	0	0	0	0	0
My Custom Storm 10		0	0	0	0	0	0	0	0

# Precipitation Report Cont'd

Rainfall totals in Inches

12-26-2023

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
<b>Active</b>			✓		✓	✓	✓	✓	✓
<b>Huff Indiana</b>	<b>&gt; Indianapolis</b>								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
<b>Huff Indiana</b>	<b>&gt; Evansville</b>								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
<b>Huff Indiana</b>	<b>&gt; Fort Wayne</b>								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
<b>Huff Indiana</b>	<b>&gt; South Bend</b>								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0

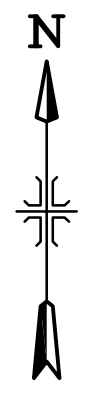


# Precipitation Report Cont'd

Rainfall totals in Inches

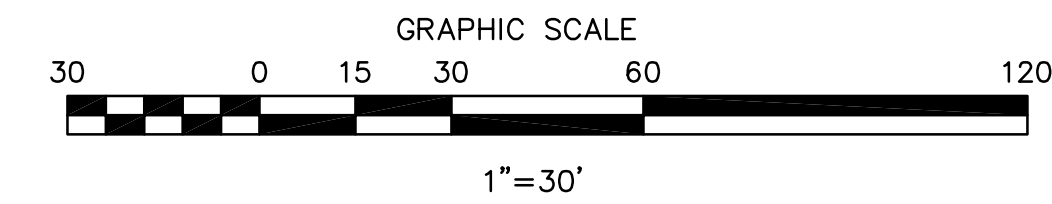
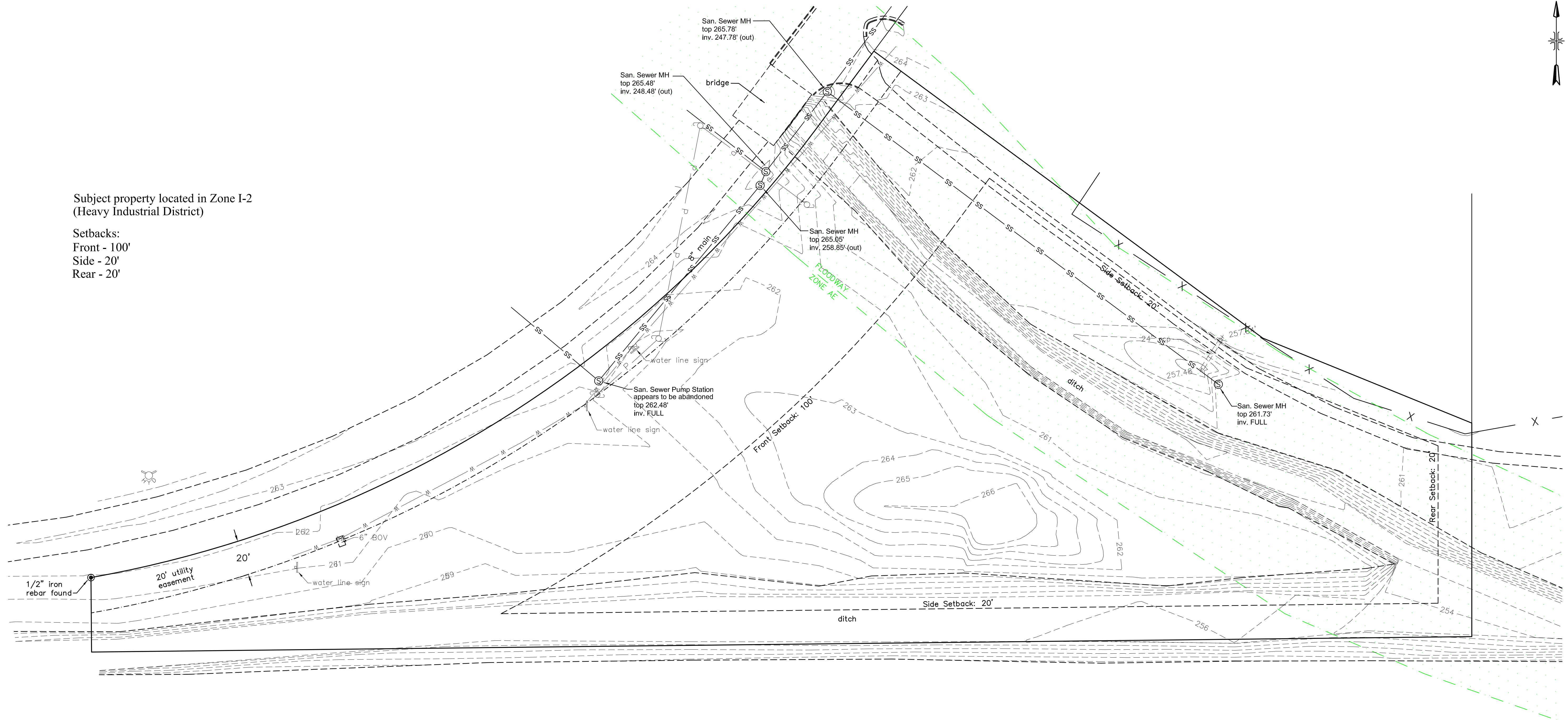
12-26-2023

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
<b>Active</b>			✓		✓	✓	✓	✓	✓
<b>NRCS Storms</b>	<b>&gt; NRCS Dimensionless Storms</b>								
NRCS MSE3, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE4, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE3, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE4, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE5, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE6, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-A, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-B, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-C, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-D, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-A, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-B, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-C, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-D, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-1, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-2, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-3, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-4, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-5, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-6, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
<b>FDOT Storms</b>	<b>&gt; Florida DOT Storms</b>								
FDOT, 1-hr		0	2.14	2.36	2.58	2.92	3.35	3.66	3.95
FDOT, 2-hr		0	2.70	3.00	3.26	3.69	4.24	4.64	5.00
FDOT, 4-hr		0	3.28	3.76	4.00	4.80	5.50	6.20	6.80
FDOT, 8-hr		0	3.76	4.32	4.80	5.60	6.20	7.20	8.00
FDOT, 24-hr		0	4.28	4.75	5.21	6.11	7.53	8.78	10.20
FDOT, 72-hr		0	5.44	6.10	6.74	7.98	9.92	11.60	13.40
SFWMD, 72-hr		0	5.44	6.10	6.74	7.98	9.92	11.60	13.40
<b>Austin Storms</b>	<b>&gt; Austin Frequency Storms</b>								
Austin Zone 1, 24-hr		0	4.14	0	5.51	6.84	8.90	10.69	12.80
Austin Zone 2, 24-hr		0	4.06	0	5.38	6.65	8.59	10.28	12.23



Subject property located in Zone I-2  
(Heavy Industrial District)

Setbacks:  
Front - 100'  
Side - 20'  
Rear - 20'



Date of field survey: November 27, 2023.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Vertical elevations taken from GPS Network NAVD88.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Boundary survey by Tom Ellison with Affordable Surveying Solutions, Inc.

MS One-Call #23112911001242  
Process Date: November 29, 2023  
Below Notes Dated: December 4, 2023

- AT&T Distribution- CLEAR, NO CONFLICT
- Centerpoint Energy - CLEAR, NO CONFLICT
- Canton Municipal Utilities - CLEAR, NO CONFLICT
- Telepak dba C Spire Fiber - CLEAR, NO CONFLICT
- TX Eastern Transmission - CLEAR, NO CONFLICT
- Pearl River Valley Water - NO RESPONSE
- Comcast Cable of Jackson - CLEAR, NO CONFLICT
- Bear Creek Water Assoc.- CLEAR, NO CONFLICT

Site Address: Industrial Drive, Gluckstadt, MS

Subject property is located in Zone AE and Floodway as determined and shown on FEMA Map 28089 C 415F dated March 17, 2010.  
BFE determined to be 264.20' from Stream "O", profile 72P of the FIS Report

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on November 30, 2023

LEGEND

- |  |                             |  |                                    |
|--|-----------------------------|--|------------------------------------|
|  | A/C UNIT                    |  | LIGHT POLE                         |
|  | CONC. CURB & GUTTER         |  | NO. OF PARKING SPACES              |
|  | CONTOURS                    |  | POWER METER                        |
|  | DOWNSPOUT                   |  | SANITARY SEWER CLEANOUT            |
|  | DRAINAGE INLET              |  | SANITARY SEWER MANHOLE             |
|  | ELECTRICAL BREAKER BOX      |  | SPRINKLER                          |
|  | ELECTRICAL JUNCTION BOX     |  | SPOT ELEVATION                     |
|  | FINISHED FLOOR ELEVATION    |  | TELECOMMUNICATIONS MANHOLE         |
|  | FIRE HYDRANT                |  | TELEPHONE PEDESTAL                 |
|  | GAS METER                   |  | TREE (SIZE & TYPE NOTED, IF KNOWN) |
|  | GRATE INLET (SIZE NOTED)    |  | WATER METER                        |
|  | GRATE INLET (18" ROUND-TYP) |  | WATER VALVE                        |
|  | IRRIGATION VALVE            |  | UNDERGROUND ELECTRIC               |
|  | OVERHEAD POWER/TELEPHONE    |  | GAS LINE                           |
|  | POTABLE WATER               |  | SANITARY SEWER MAIN                |
|  | UNDERGROUND TELECOMM        |  | UNDERGROUND TELEPHONE              |
|  | UNDERGROUND TELECOMM        |  | WATER MAIN                         |
|  | UNDERGROUND FIBER OPTIC     |  |                                    |

Date:	
By:	
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No.	


BAIRD ENGINEERING, INC.  
506 Jefferson Street, Clanton, MS 39056  
Phone: (601) 925-5015

Project No.: # 4840  
Date: 11/30/2023  
Scale: 1" = 30'  
Designed By: CLB  
Reviewed By: CLB

TOPOGRAPHIC SURVEY  
FORD MONDAY  
GLUCKSTADT, MISSISSIPPI

C 0.0

Date:	
By:	
Revisions:	
No.	

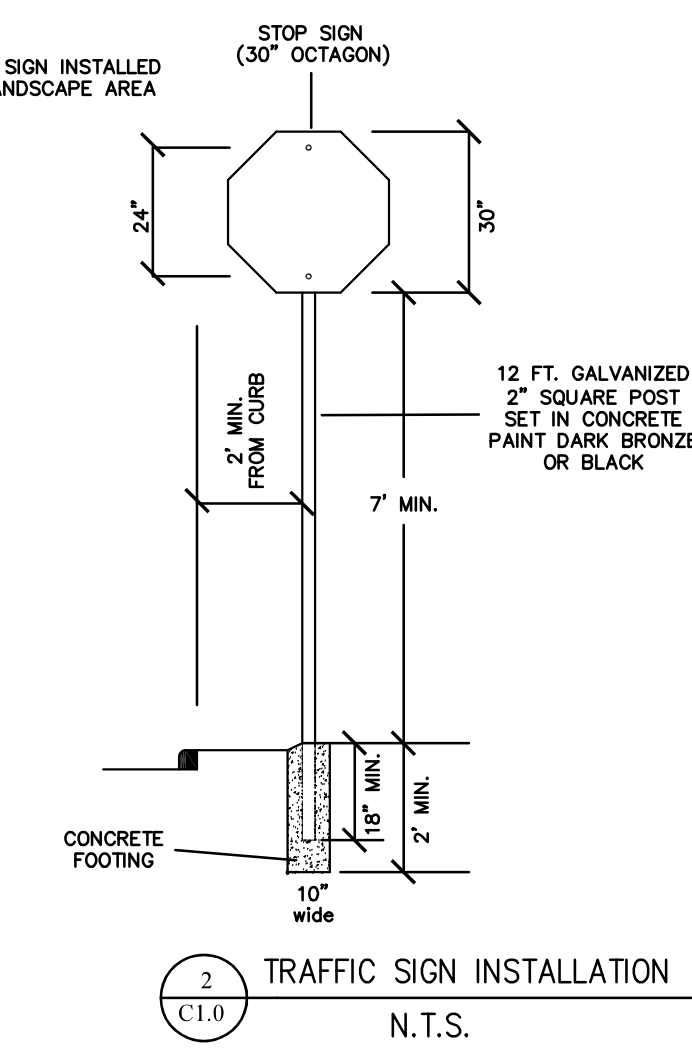
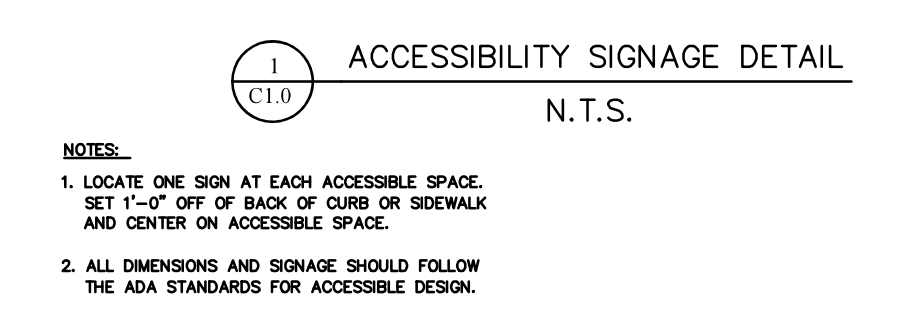
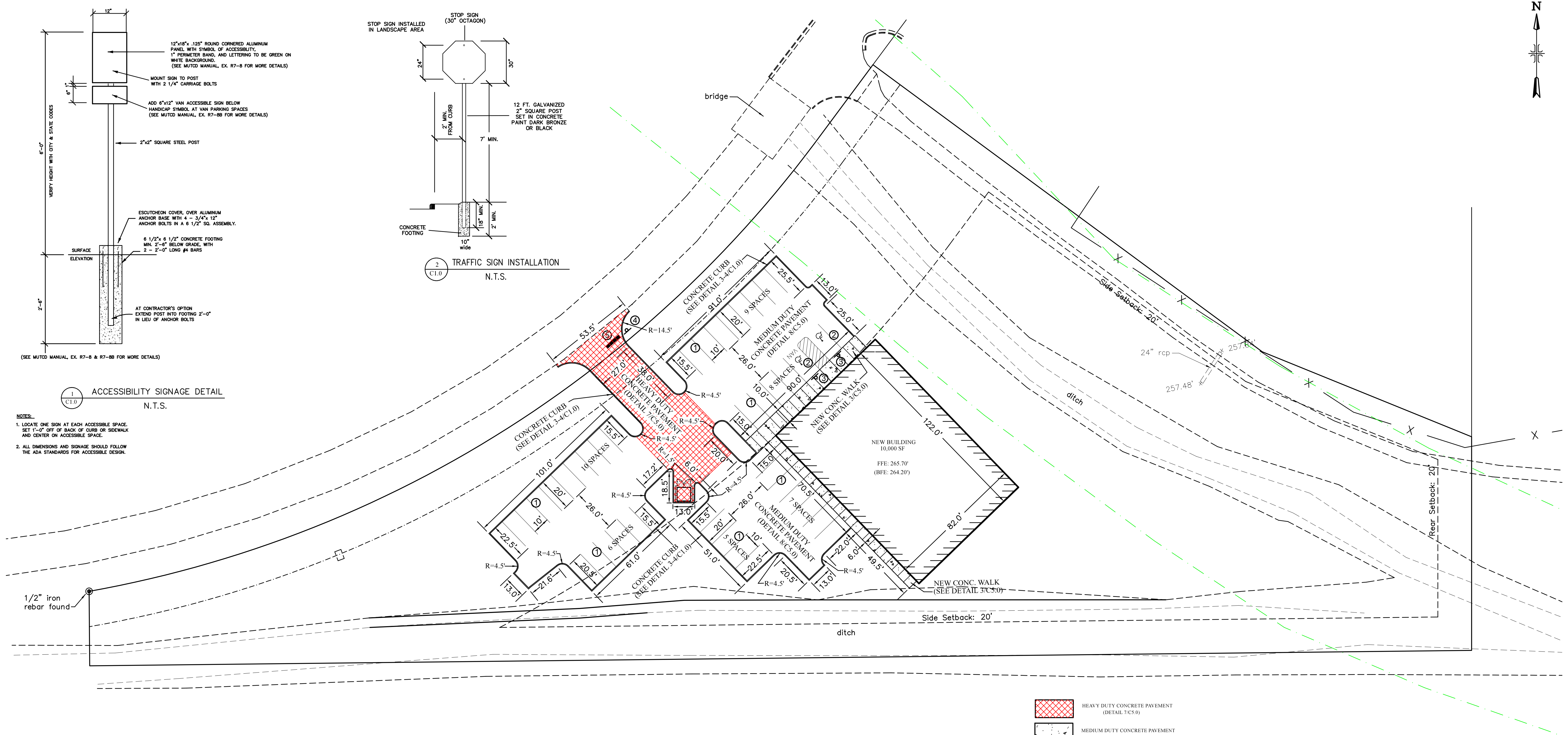
BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39066
Phone: (601) 925-3015

Project No.:	# 4487
Date:	12/05/2023
Scale:	1" = 20'
Designed By:	CLB
Reviewed By:	CLB

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Date:	12/05/2023
Scale:	1" = 20'
Designed By:	CLB
Reviewed By:	CLB

**SITE PLAN**  
**TATE BUILDING, PHASE 2**  
**GLUCKSTADT, MISSISSIPPI**

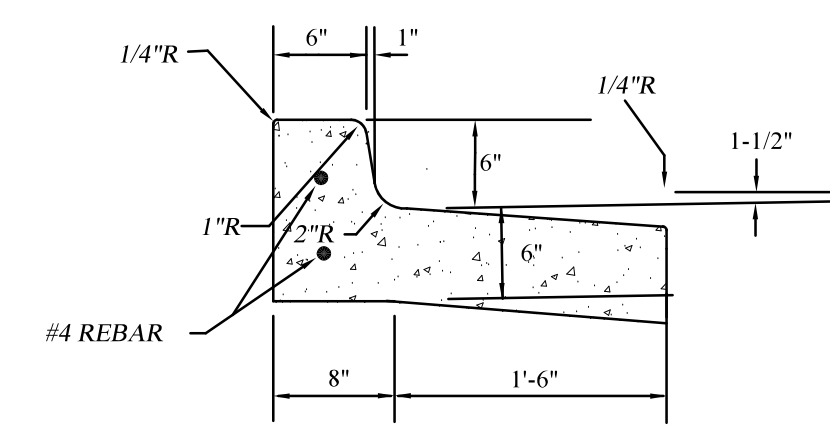
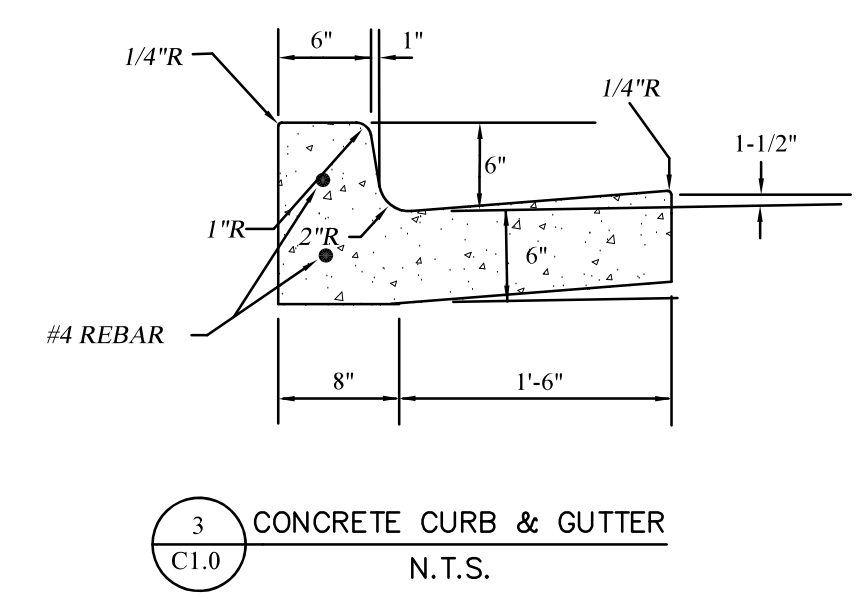
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**SITE PLAN NOTES**

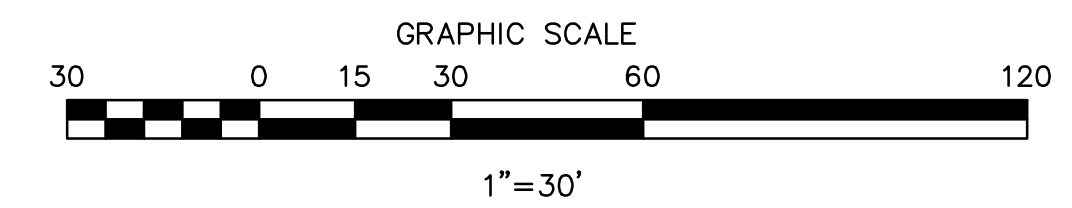
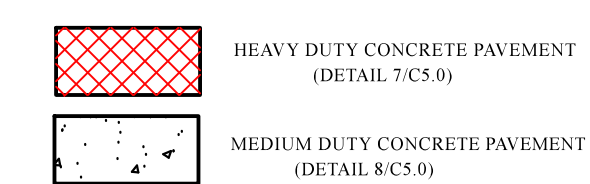
**GENERAL**

- TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 11-15-2022.
- CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
- DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
- ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOD UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
- CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
- ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
- ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
- SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING PAVEMENT AND CURBS.
- SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- PARKING PROVIDED IN THIS PROJECT:  
2 ADA COMPLIANT PARKING SPACES  
43 STANDARD PARKING SPACES  
45 TOTAL PARKING SPACES PROVIDED
- DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).



\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

CONTRACTOR SHOULD USE CORRECT CURB & GUTTER DETAIL IN ACCORDANCE TO THE GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN



- PROPERTY IS ZONED C-2 (GENERAL COMMERCIAL DISTRICT), CITY OF GLUCKSTADT
- ADJOINING PROPERTIES ARE ZONED C-2 (GENERAL COMMERCIAL DISTRICT)
- SETBACKS:  
FRONT - 35 FEET  
SIDE - 5 FEET  
REAR - 5 FEET  
MAXIMUM HEIGHT RESTRICTION: AS DETERMINED BY THE IBC
- NO BUILDING IS LOCATED ON THE SUBJECT PARCEL.
- SUBJECT PROPERTY IS LOCATED WITHIN THE CITY LIMITS OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI.

**PARKING FEATURES LEGEND**

- |  |                                      |
|--|--------------------------------------|
| ① TRAFFIC STRIPE (PARKING)                   | 4" CONTINUOUS WHITE                  |
| ② TRAFFIC STRIPE (HANDICAP)                  | 4" CONTINUOUS BLUE                   |
| ③ HANDICAP PARKING SIGN (R7-8)-DETAIL 1/C1.0 | SEE MUTCD MANUAL FOR SPECIFICATIONS. |
| ④ STOP SIGN (DETAIL 2/C1.0)                  | SEE MUTCD MANUAL FOR SPECIFICATIONS. |
| ⑤ 24" LEGEND                                 | WHITE                                |

\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

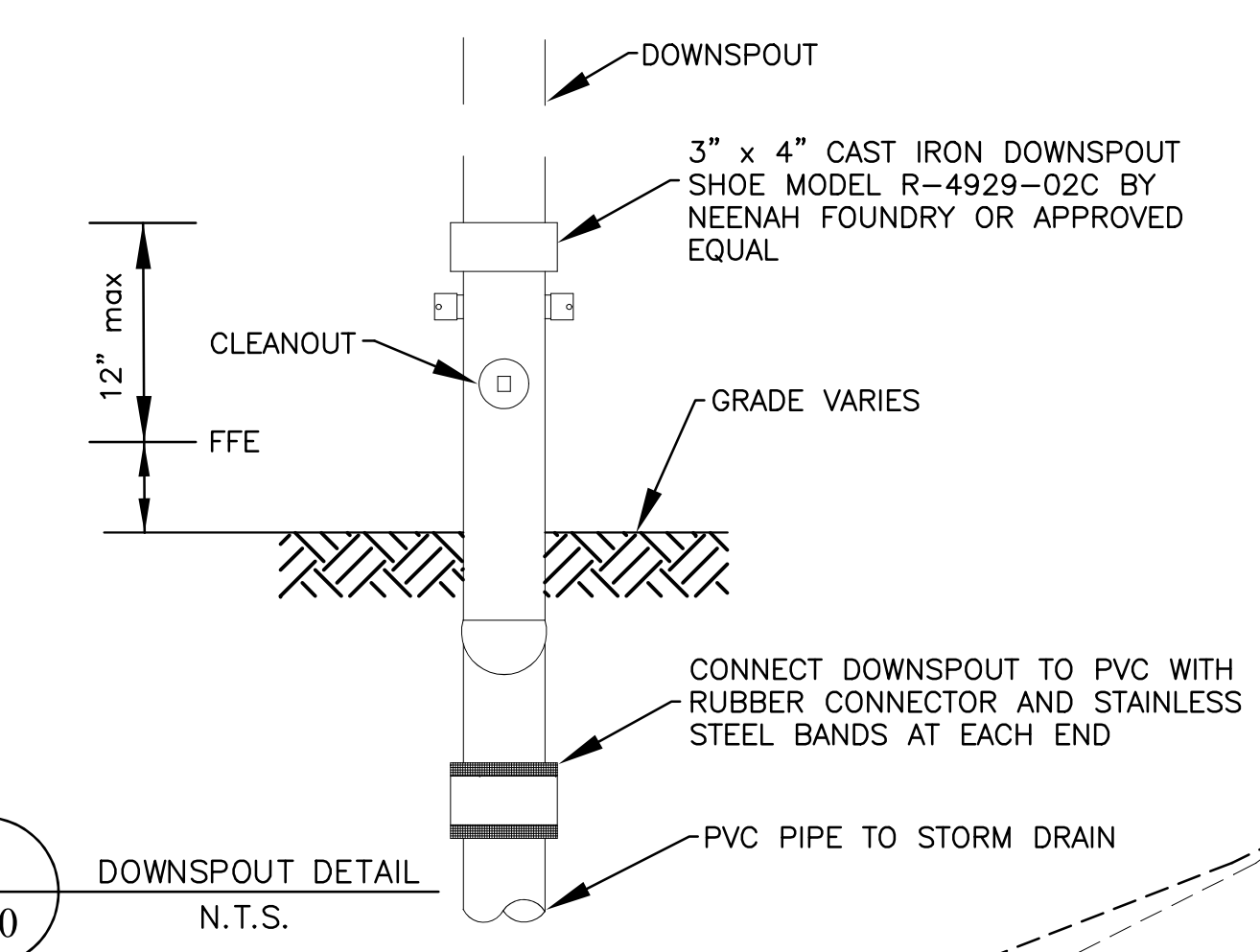
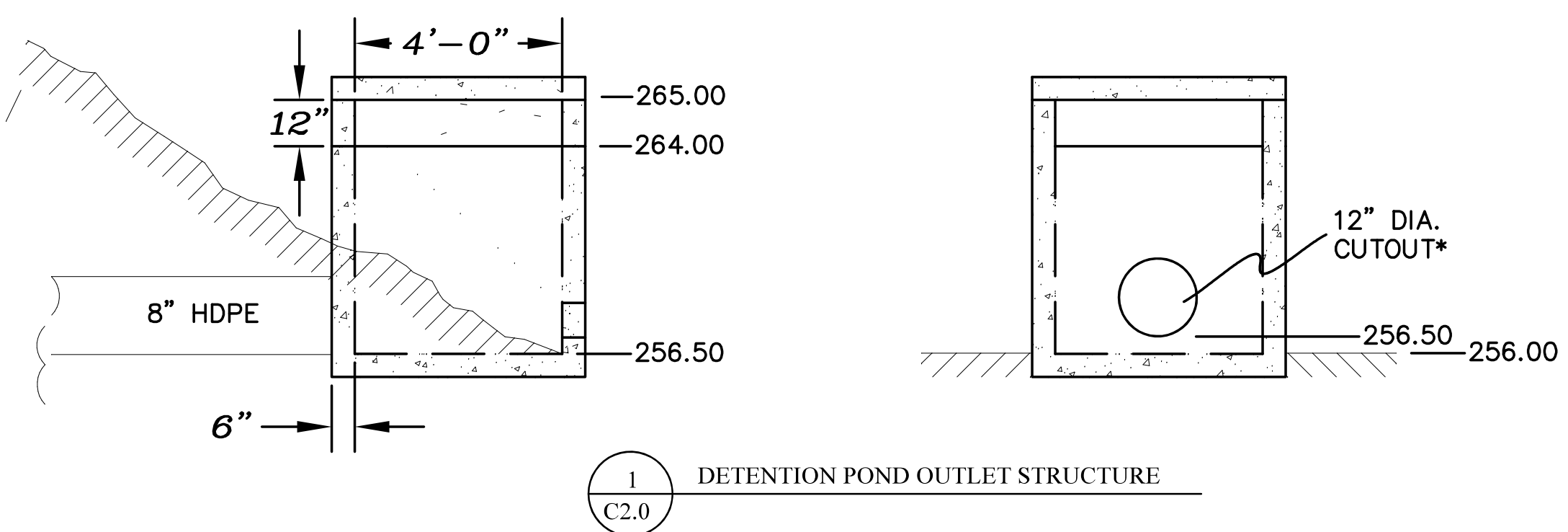
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GRADING PLAN  
 ELITE HITTING  
 GLUCKSTADT, MISSISSIPPI

C 2.0



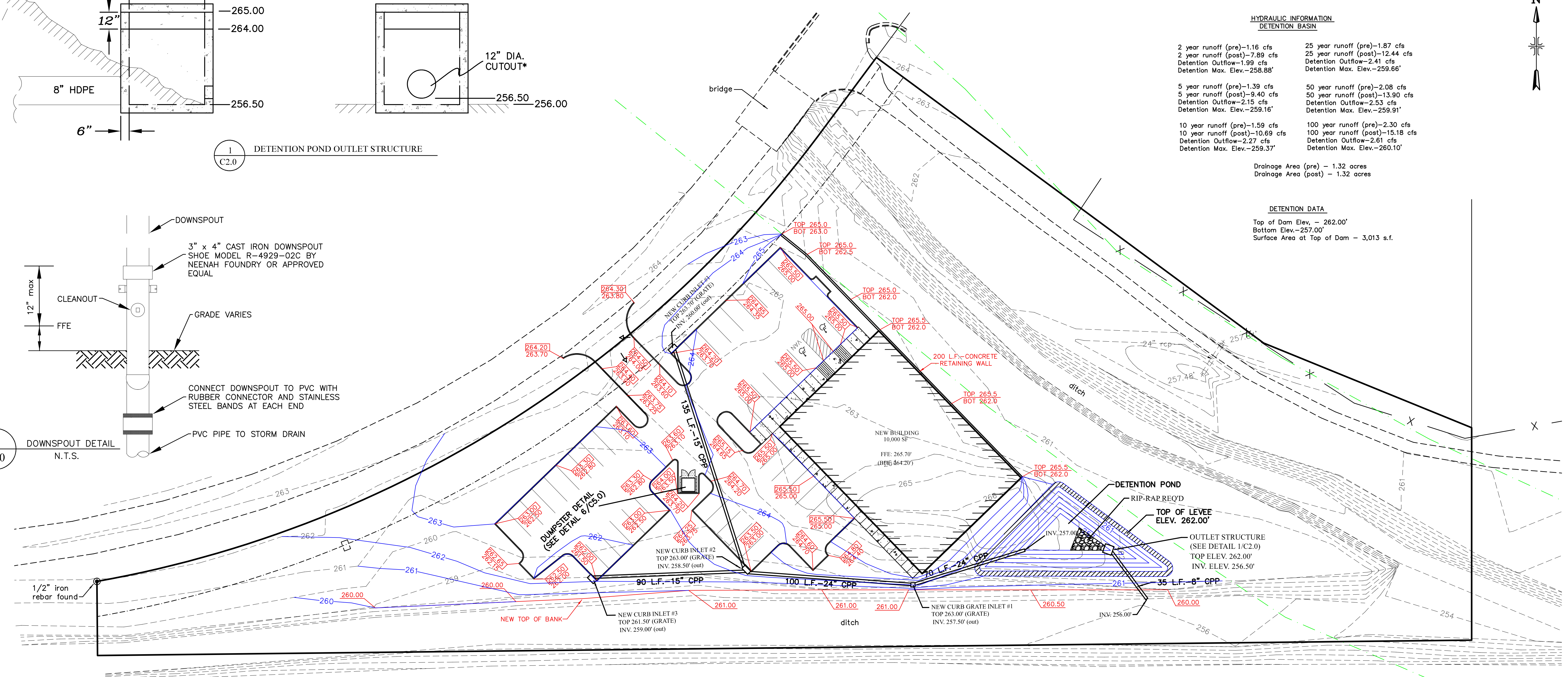
**HYDRAULIC INFORMATION**  
**DETENTION BASIN**

2 year runoff (pre)-1.16 cfs	25 year runoff (pre)-1.87 cfs
2 year runoff (post)-7.89 cfs	25 year runoff (post)-12.44 cfs
Detention Outflow-1.99 cfs	Detention Outflow-2.41 cfs
Detention Max. Elev.-258.88'	Detention Max. Elev.-259.66'
5 year runoff (pre)-1.39 cfs	50 year runoff (pre)-2.08 cfs
5 year runoff (post)-9.40 cfs	50 year runoff (post)-13.90 cfs
Detention Outflow-2.15 cfs	Detention Outflow-2.53 cfs
Detention Max. Elev.-259.16'	Detention Max. Elev.-259.91'
10 year runoff (pre)-1.59 cfs	100 year runoff (pre)-2.30 cfs
10 year runoff (post)-10.69 cfs	100 year runoff (post)-15.18 cfs
Detention Outflow-2.27 cfs	Detention Outflow-2.61 cfs
Detention Max. Elev.-259.37'	Detention Max. Elev.-260.10'

Drainage Area (pre) - 1.32 acres  
 Drainage Area (post) - 1.32 acres

**DETENTION DATA**

Top of Dam Elev. - 262.00'  
 Bottom Elev.-257.00'  
 Surface Area at Top of Dam - 3,013 s.f.



**1. GENERAL**

THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED

ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF CLINTON STANDARDS.

TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY McMASTERS AND ASSOCIATES.

**2. CLEARING**

PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED

REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING

REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.

STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE

**3. GRUBBING**

REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.

**4. CLEAN-UP**

UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

**5. SITE GRADING**

PROOFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO ASTM D698 PRIOR TO FILL PLACEMENT.

CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.

ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.

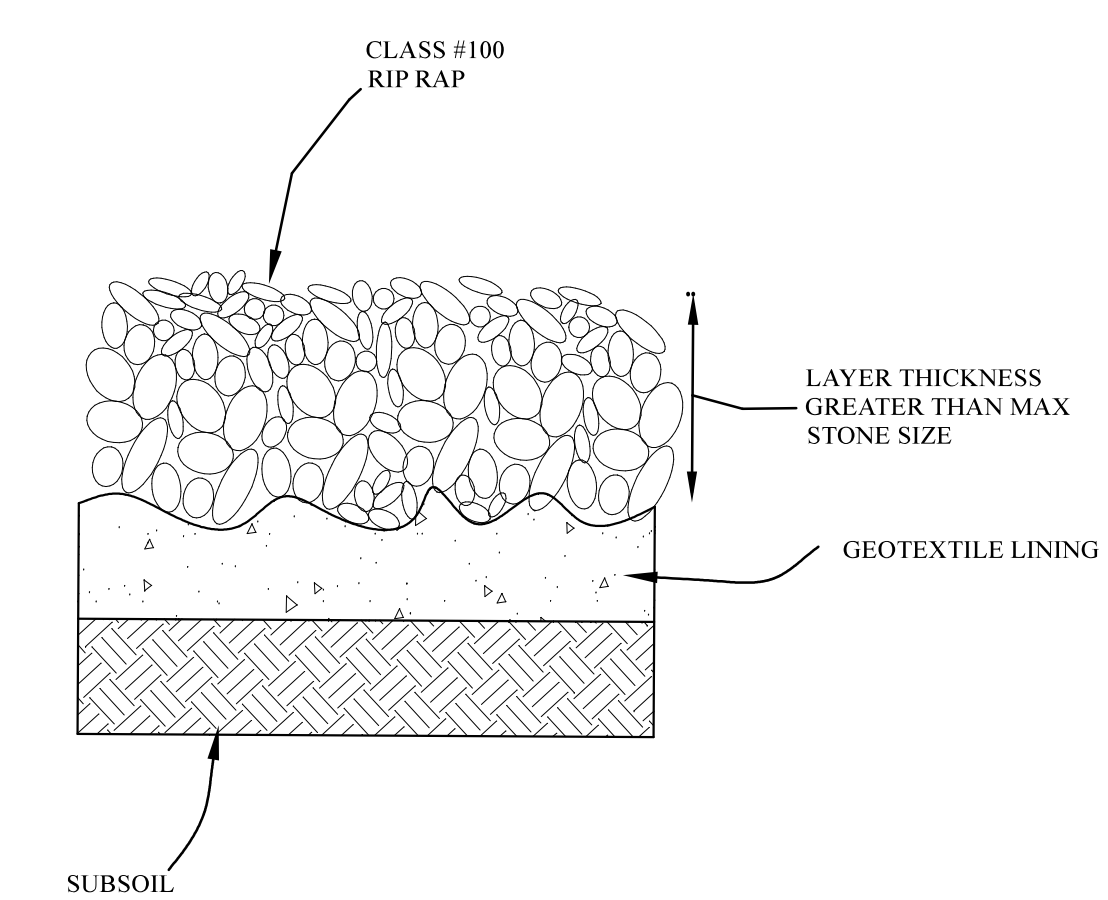
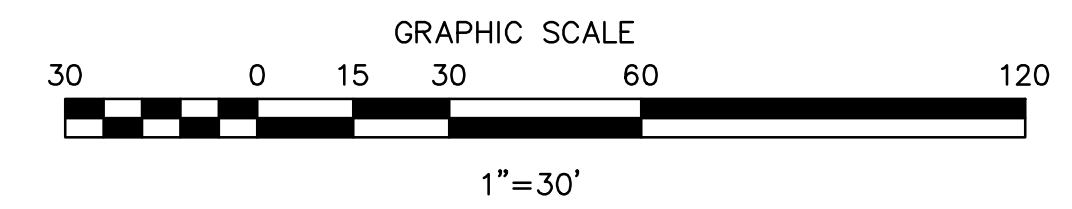
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.

**6. FILLING AND BACKFILLING MATERIALS**

IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO OR GREATER THAN MAXIMUM DENSITY WITH ±2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.

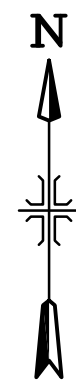
**7. DETENTION POND**

NO DETENTION REQUIRED FOR THIS PROJECT. THERE IS AN EXISTING DETENTION POND SOUTH OF AND ADJACENT TO THE SUBJECT PROPERTY.



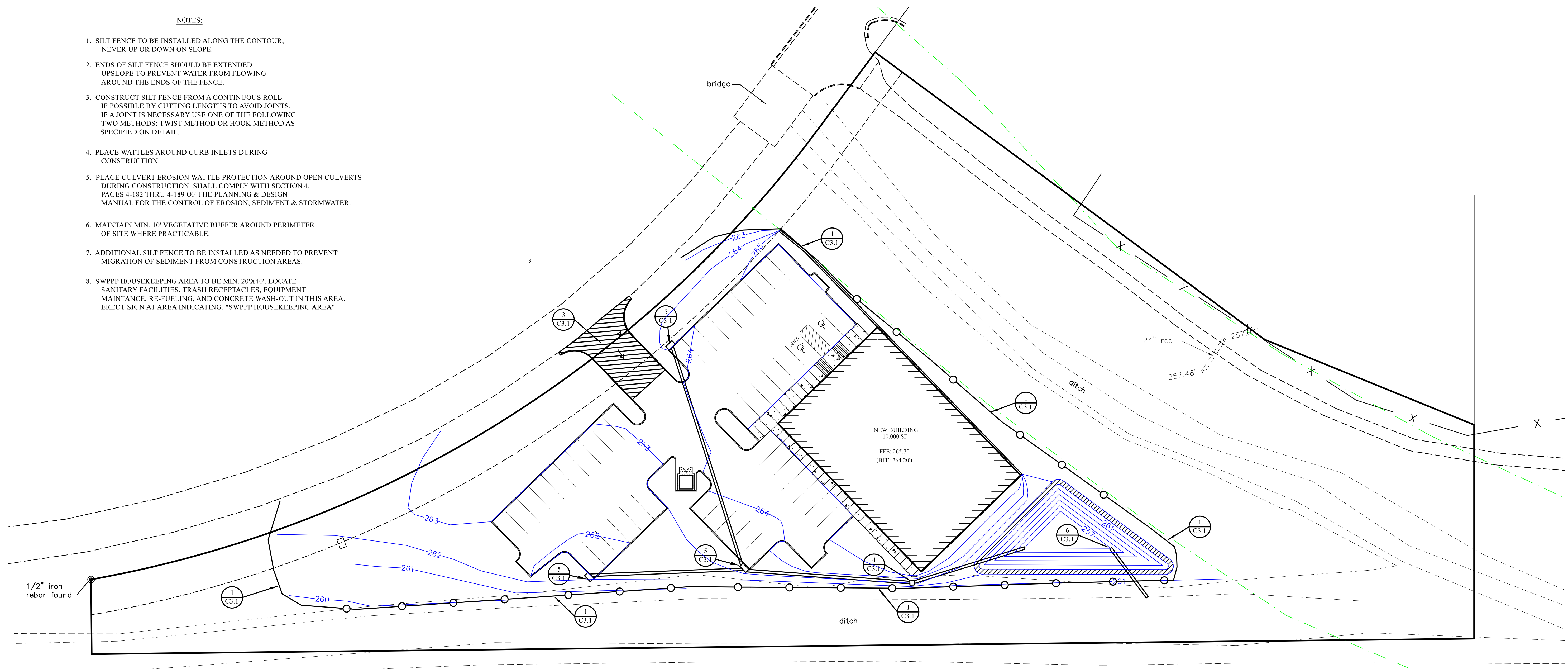
**LEGEND**

⊙	PROPOSED DOWNSPOUT (DETAIL 1/C2.0)
▬	PROPOSED CONCRETE CURB (DETAIL 3 & 4/C2.0)
♿	HANDICAP PARKING
—○—	PROPERTY LINE



NOTES:

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40'. LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

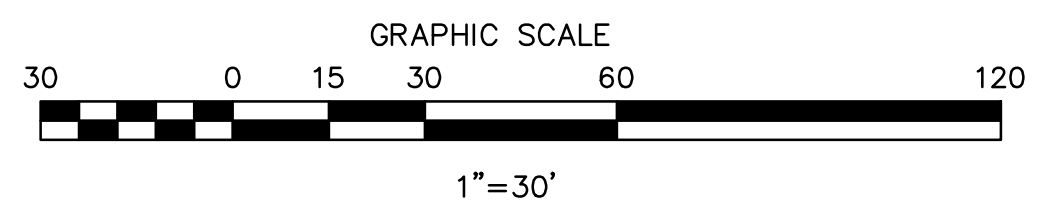


1/2" iron rebar found

NEW BUILDING  
10,000 SF  
FFE: 265.70'  
(BFE: 264.20')

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.



PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ON SITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

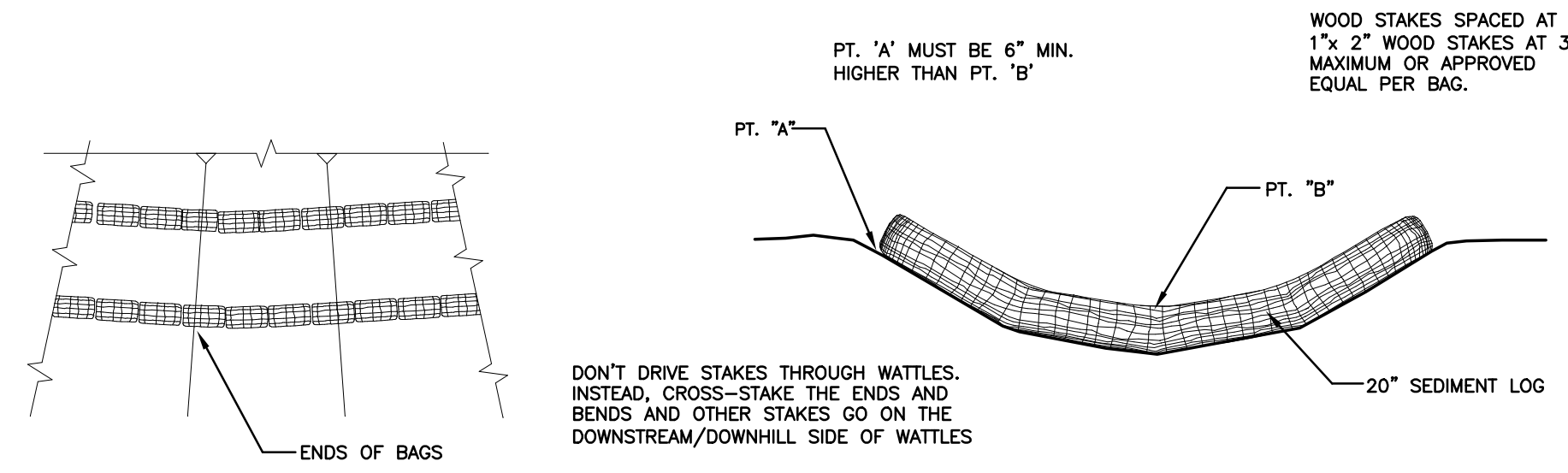
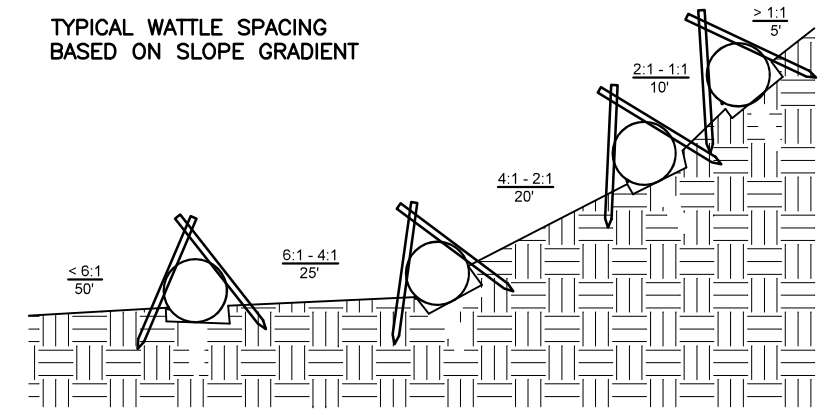
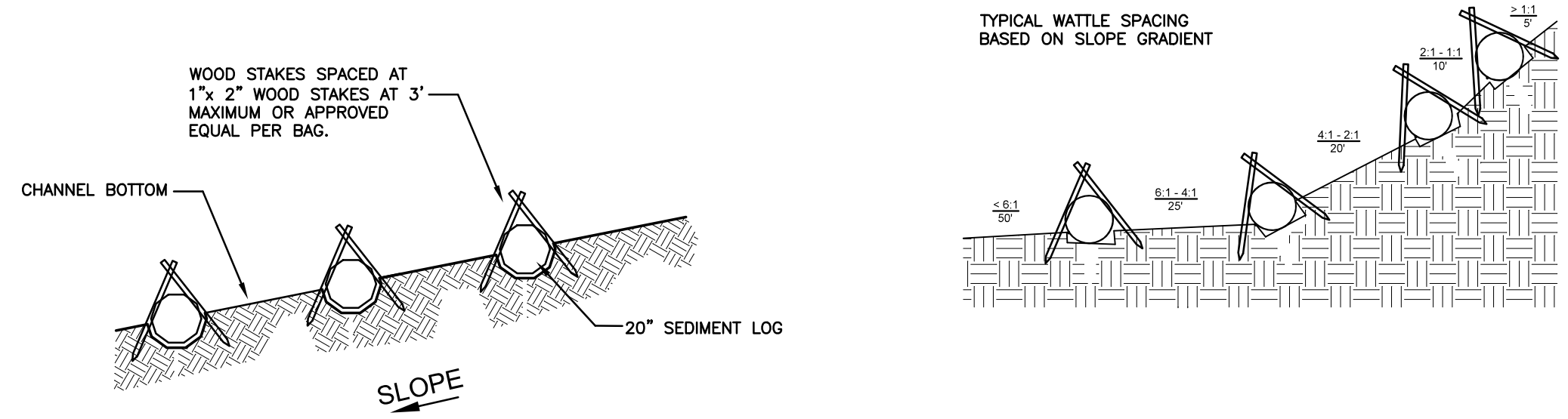
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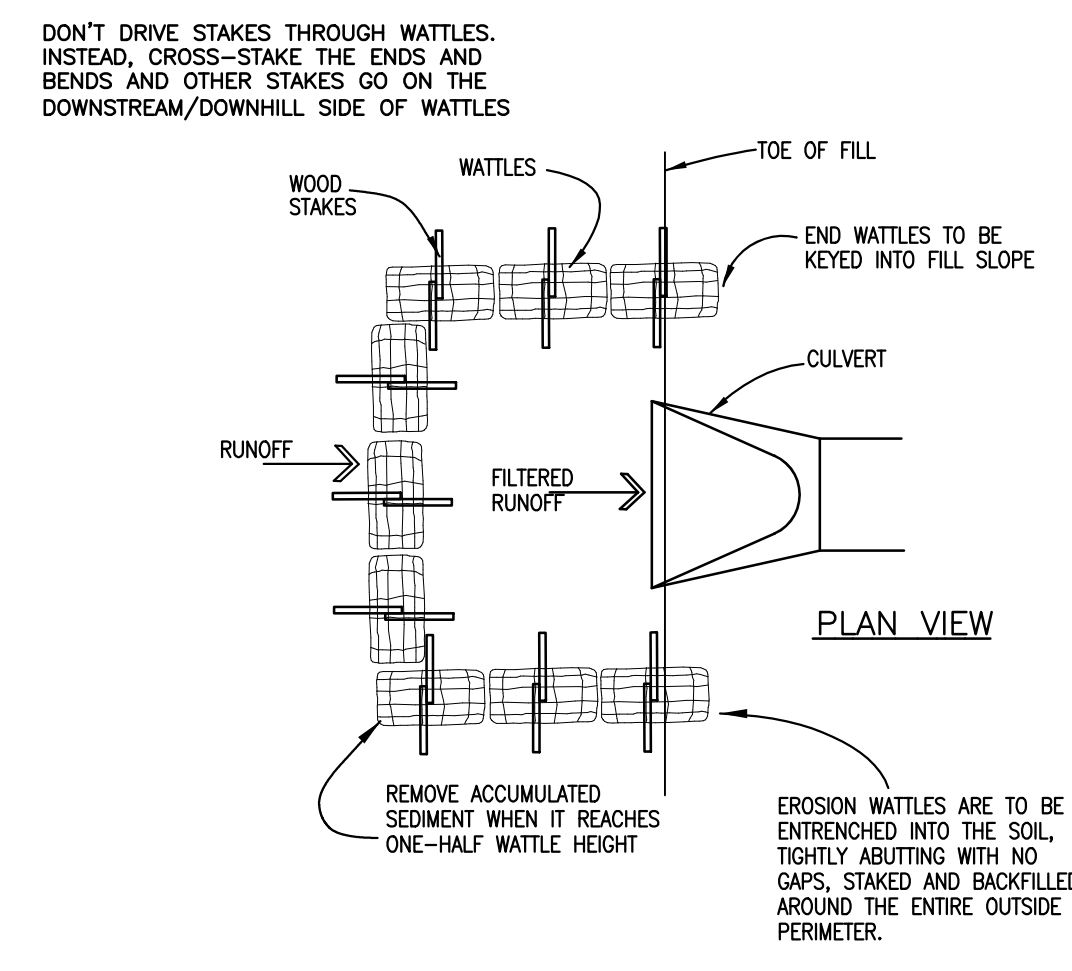
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EROSION CONTROL PLAN  
ELITE HITTING  
GLUCKSTADT, MISSISSIPPI

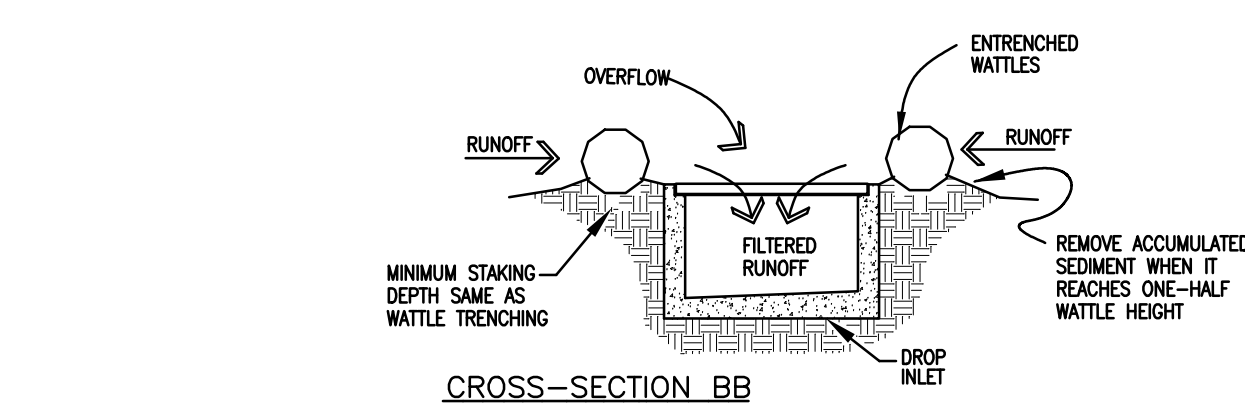
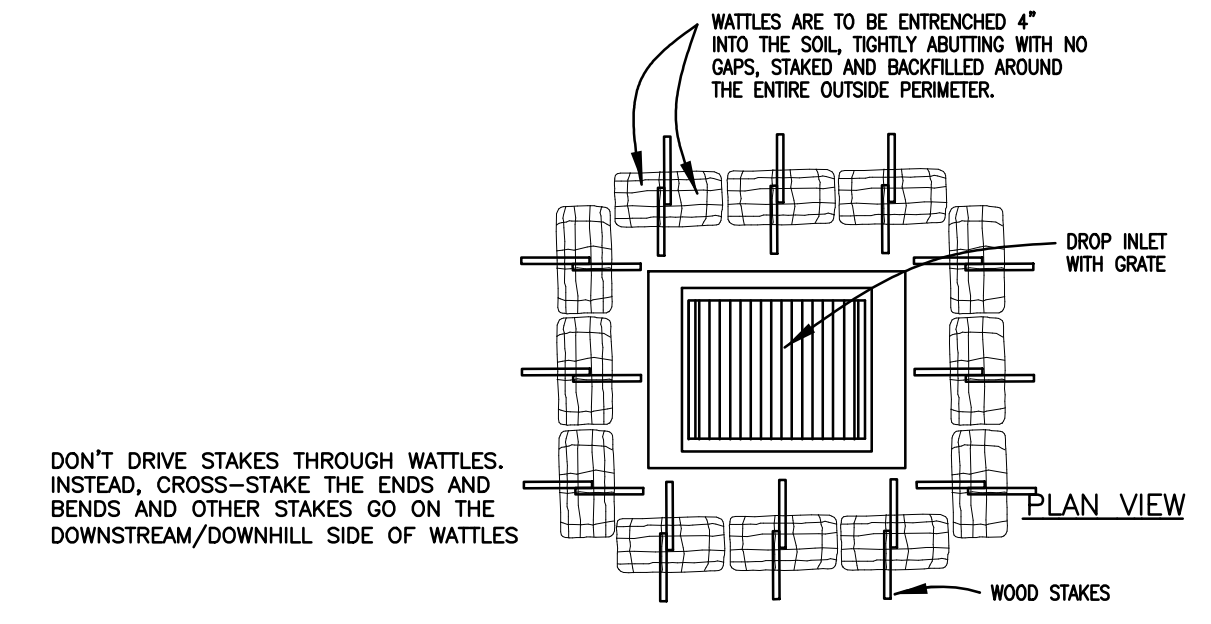
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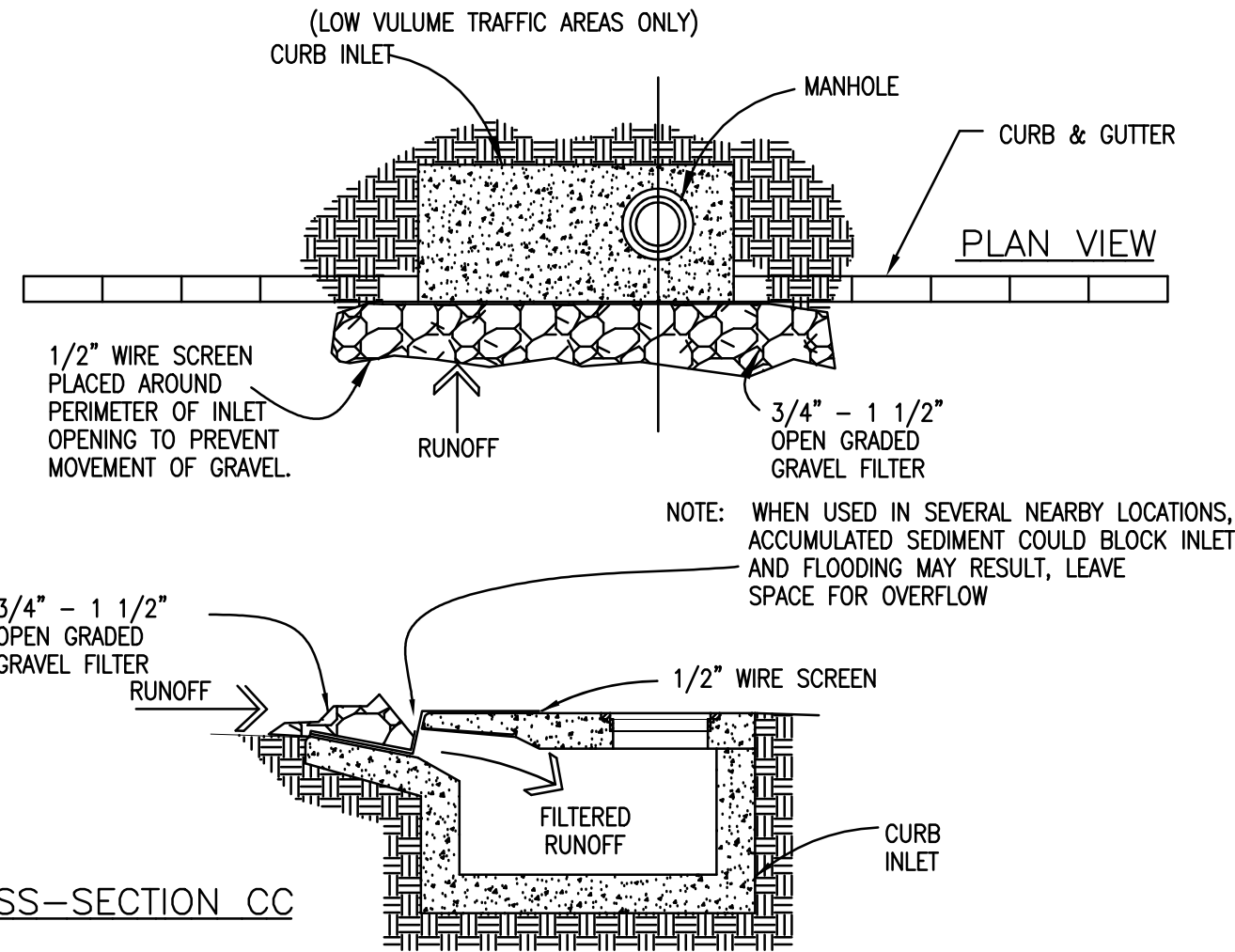
7 SEDIMENT LOG DITCH CHECK  
C3.1 N.T.S.



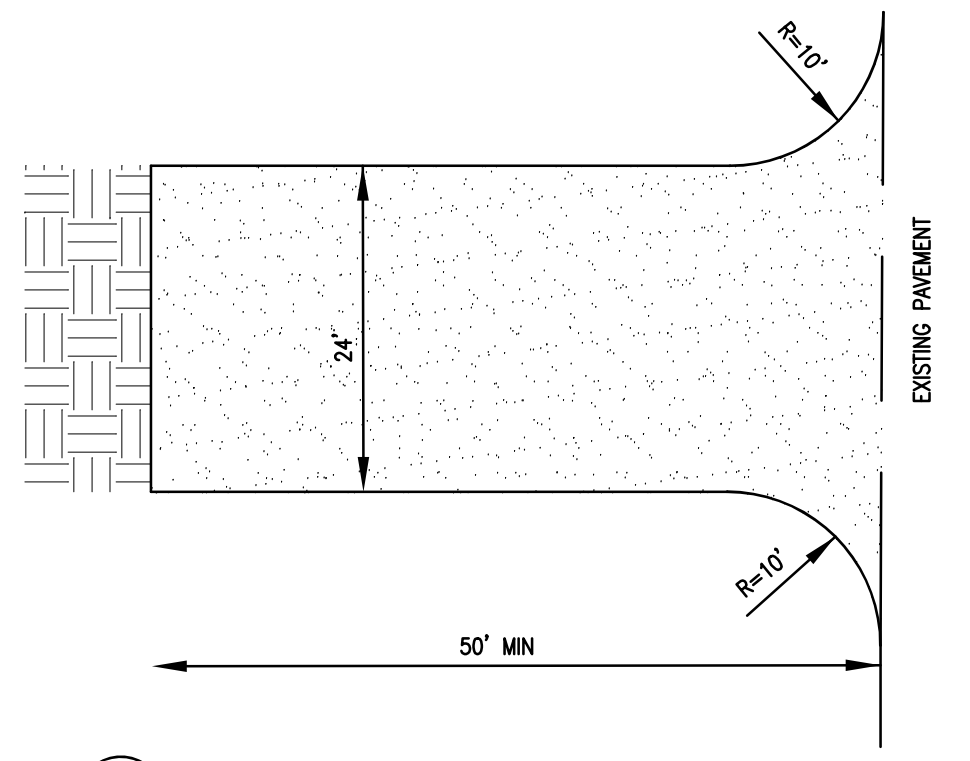
6 CULVERT EROSION BALE INLET PROTECTION  
C3.1 N.T.S.



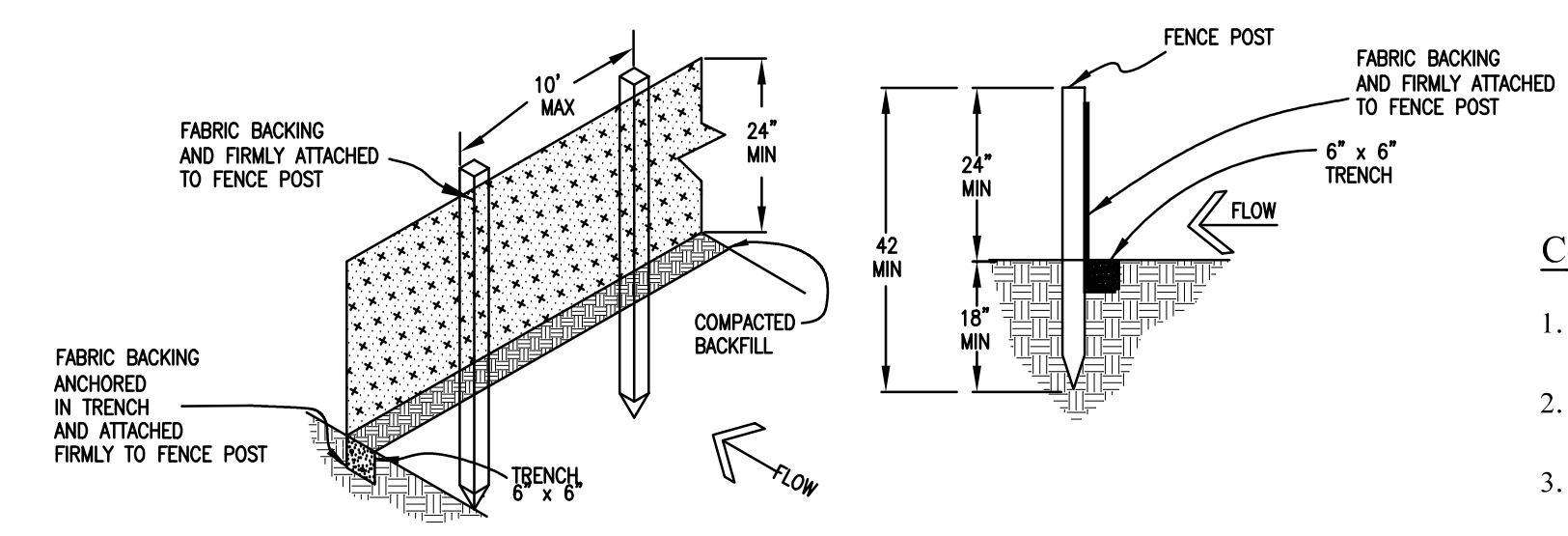
4 DROP INLET EROSION FILTER  
C3.1 N.T.S.



5 CURB INLET GRAVEL AND WIRE MESH FILTER TRAP  
C3.1 N.T.S.



3 CONSTRUCTION ENTRANCE  
C3.1 N.T.S.

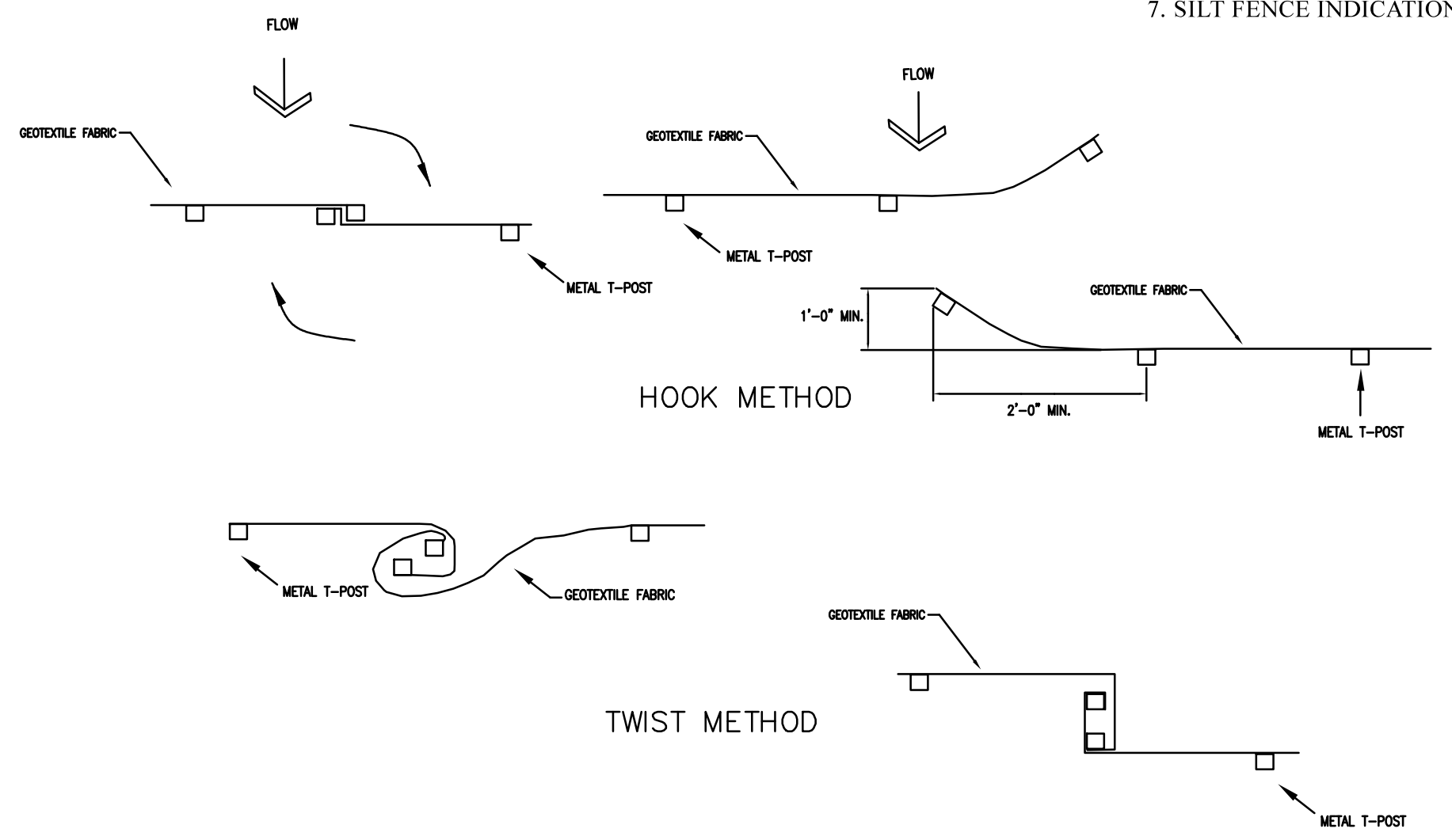


1 SILT FENCE DETAIL  
C3.1 N.T.S.

**Construction Notes for Silt Fence:**

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
  4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN  
POSTS: LOCATE MAXIMUM OF 6 FEET O.C.  
FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING  
FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL

6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
7. SILT FENCE INDICATION ON THE PLANS AS



2 JOINING TWO LENGTHS OF SILT FENCE  
C3.1 N.T.S.

**NOTES:**

1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
2. THICKNESS - NOT LESS THAN 6".
3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. WIDTH - 30 FOOT MINIMUM
6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

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EROSION CONTROL DETAILS  
ELITE HITTING  
GLUCKSTADT, MISSISSIPPI

C 3.1

UTILITIES NOTES

1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

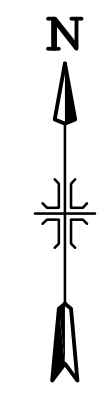
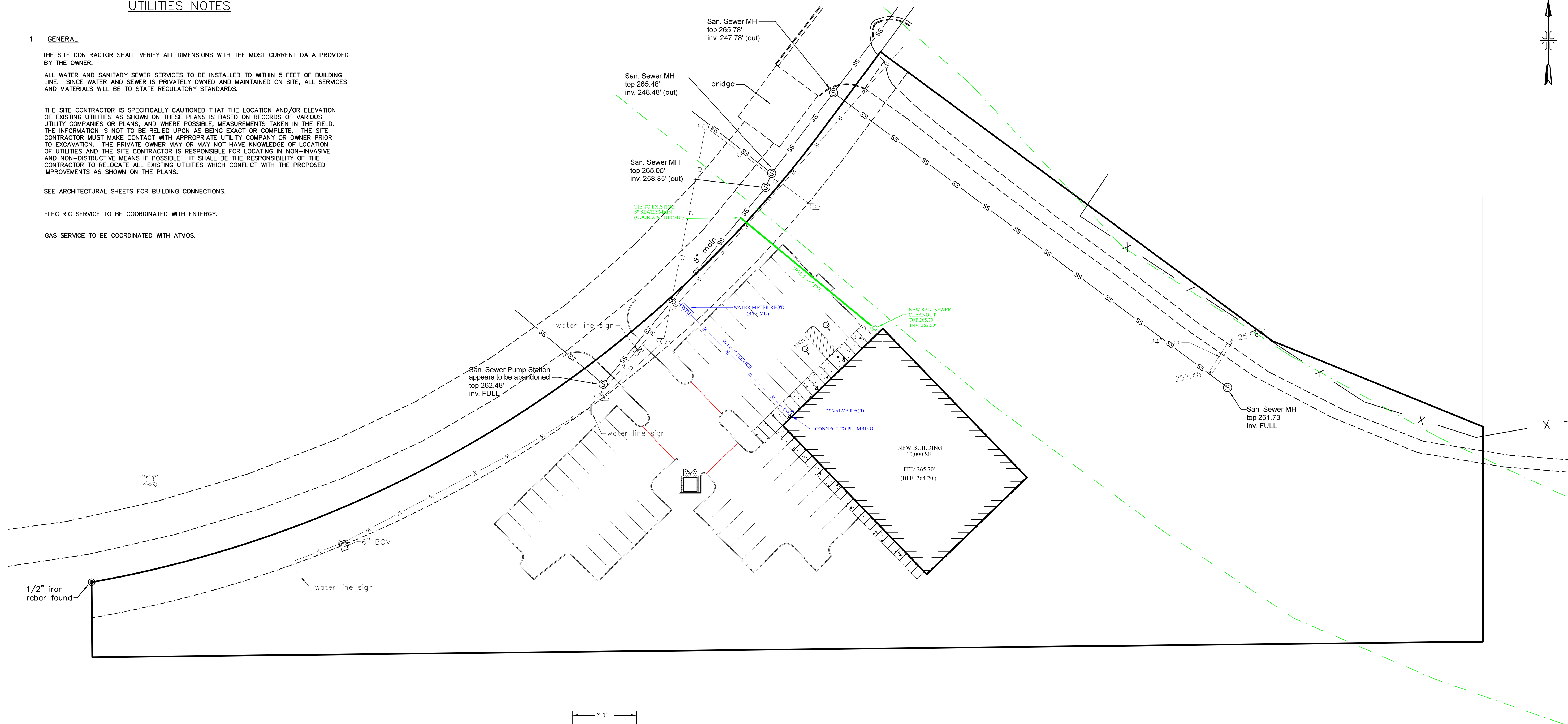
ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

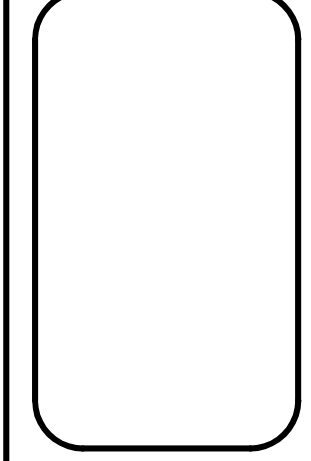
SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH ENTERGY.

GAS SERVICE TO BE COORDINATED WITH ATMOS.



No.	Revisions:	By:	Date:



**BAIRD ENGINEERING, INC.**  
 506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 925 - 5015

Project No.: # 4840  
 Date: 12/05/2023  
 Scale: 1" = 20'  
 Designed By: CLB  
 Reviewed By: CLB

UTILITY PLAN  
**ELITE HITTING**  
 GLUCKSTADT, MISSISSIPPI

C 4.0

2. SANITARY SEWER AND WATER CONNECTIONS

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

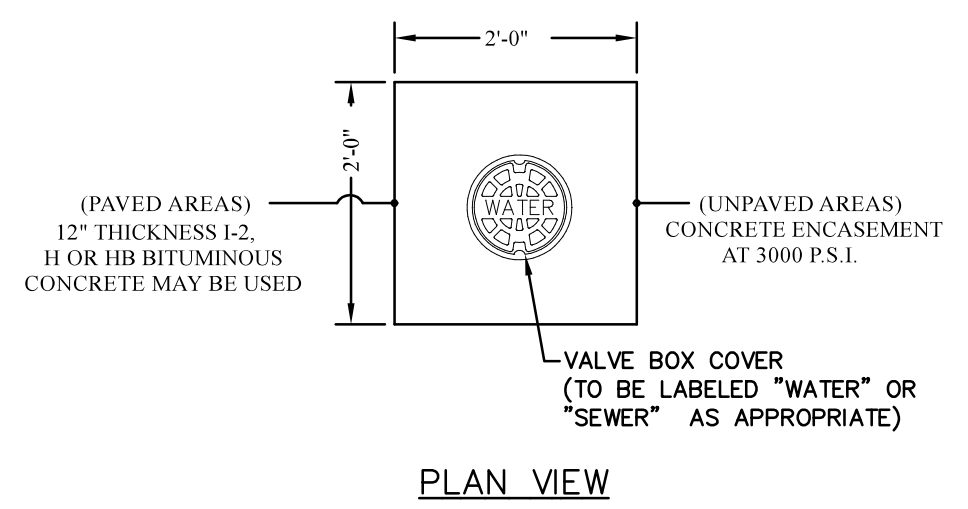
ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD, C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

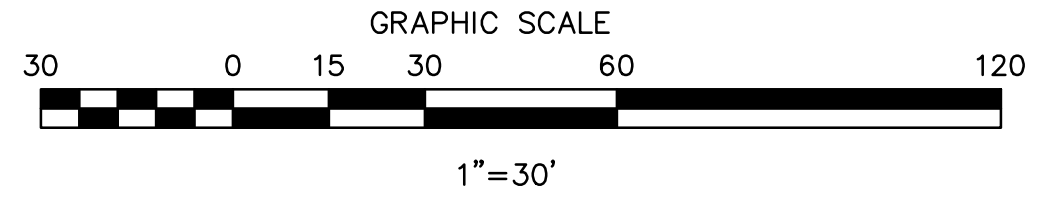
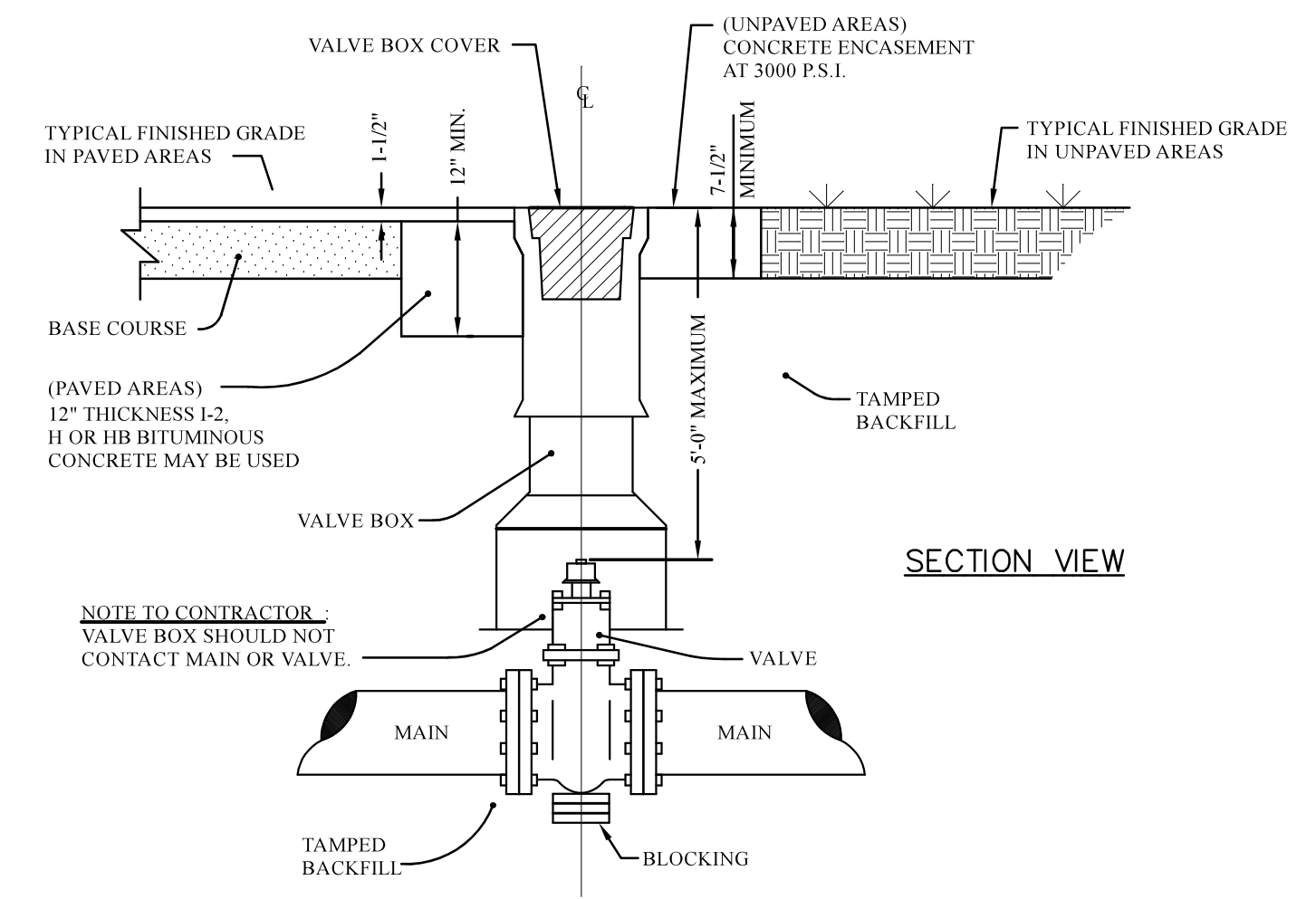
ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY CANTON MUNICIPAL UTILITIES (CMU). CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

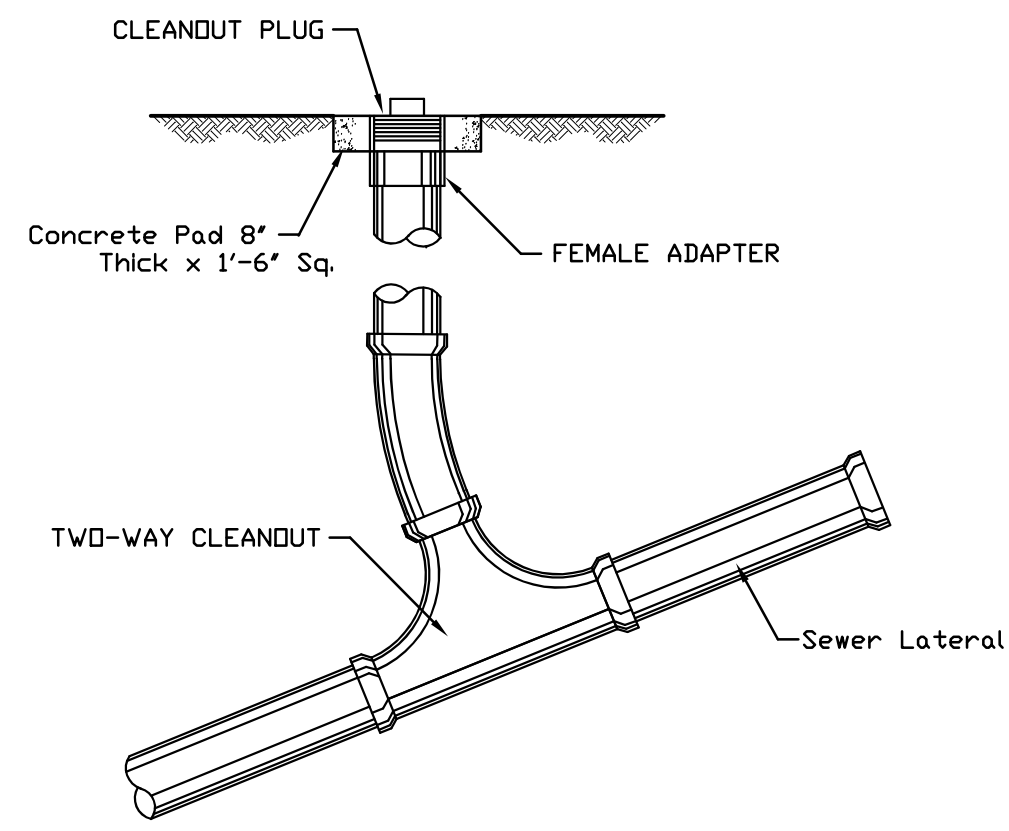
CONTRACTOR TO FOLLOW THE CANTON MUNICIPAL UTILITIES (CMU) UTILITY CONNECTION INSPECTION GUIDE



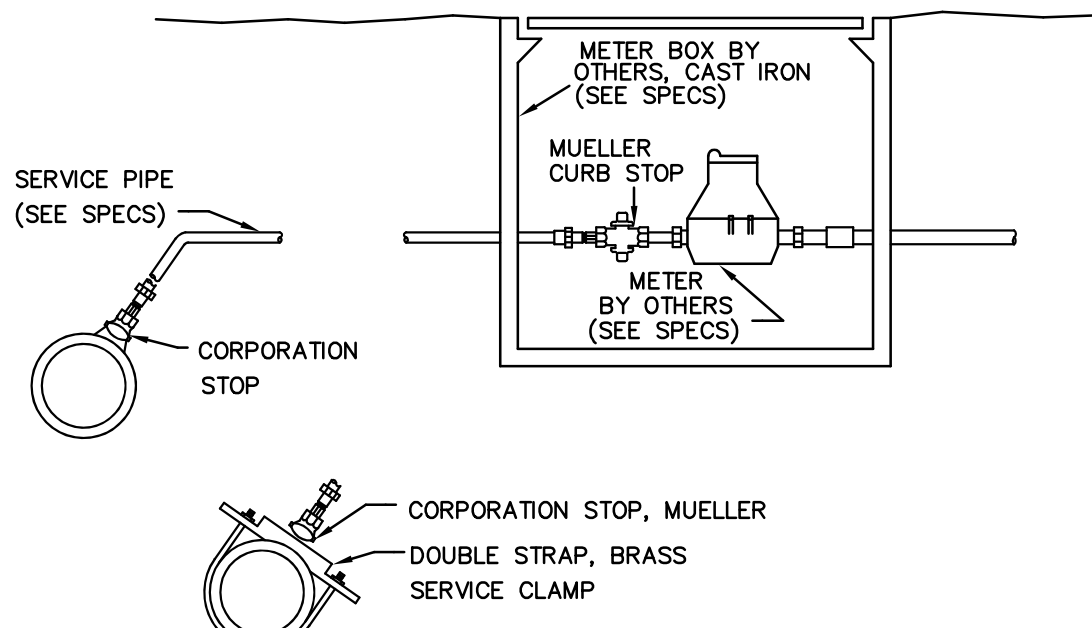
- NOTES**
- ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
  - VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5" (H.) FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
  - PRECAST CONCRETE ENCASEMENT IS ALLOWED OUTSIDE OF PAVED AREAS.



VALVE BOX DETAIL

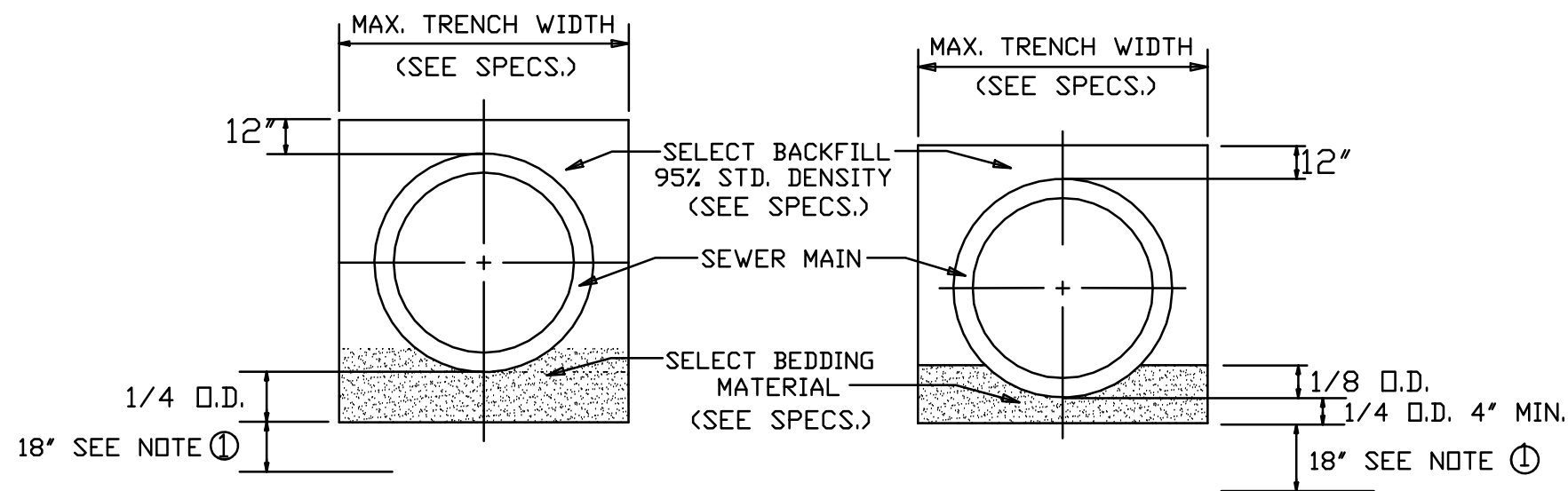


5 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL  
C5.0 N.T.S.



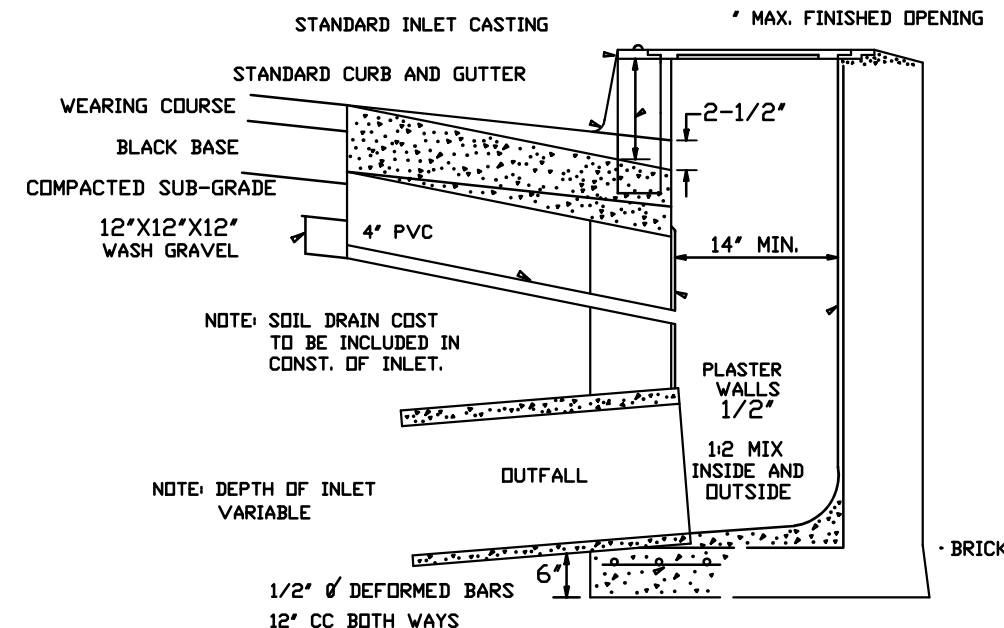
1 TYPICAL SERVICE ASSEMBLY  
C5.0

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY OF JACKSON PRIOR TO INSTALLATION.



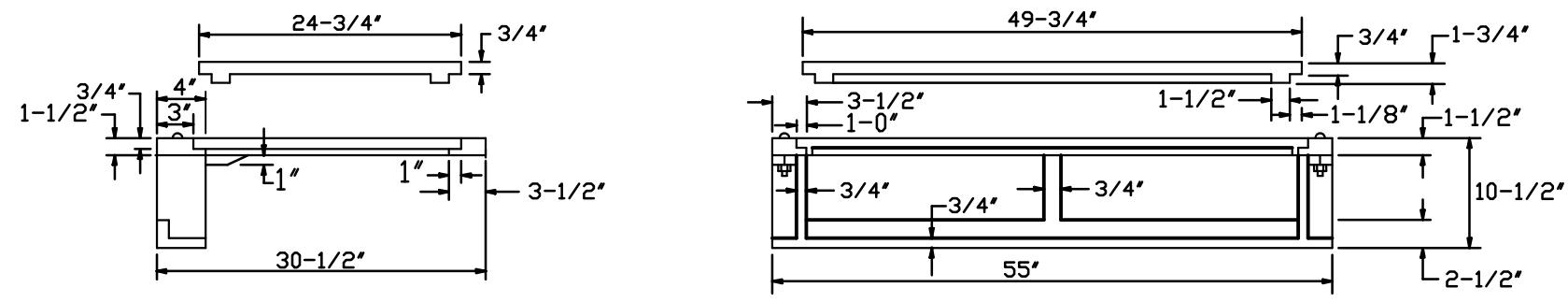
TYPICAL SECTION CLASS "B" BEDDING  
TYPICAL SECTION CLASS "C" BEDDING

- 1 DEWATERING REQ'D TO THIS LEVEL (MIN.). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- 2 WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



SECTION OF STANDARD CURB INLET  
NO SCALE

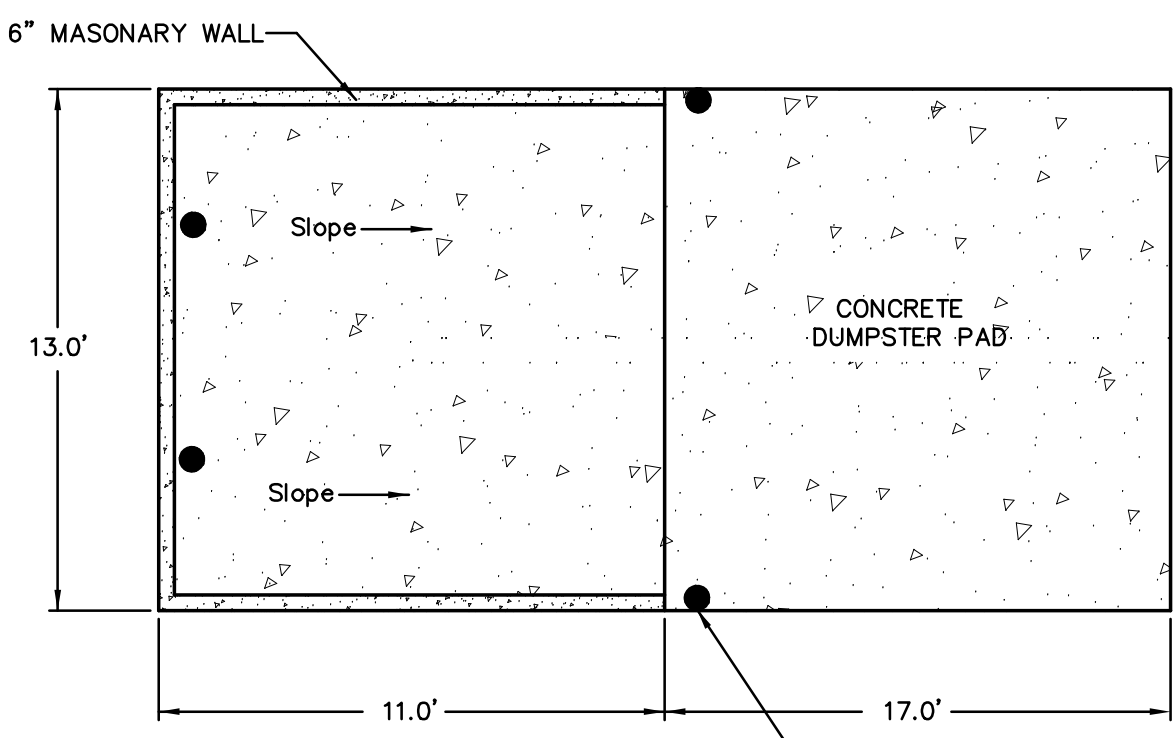
7 CURB INLET DETAIL  
5.0 N.T.S.



STANDARD CURB INLET CASTING  
(VULCAN RCB-7)  
NO SCALE

6 DUMPSTER DETAIL  
C5.0 N.T.S.

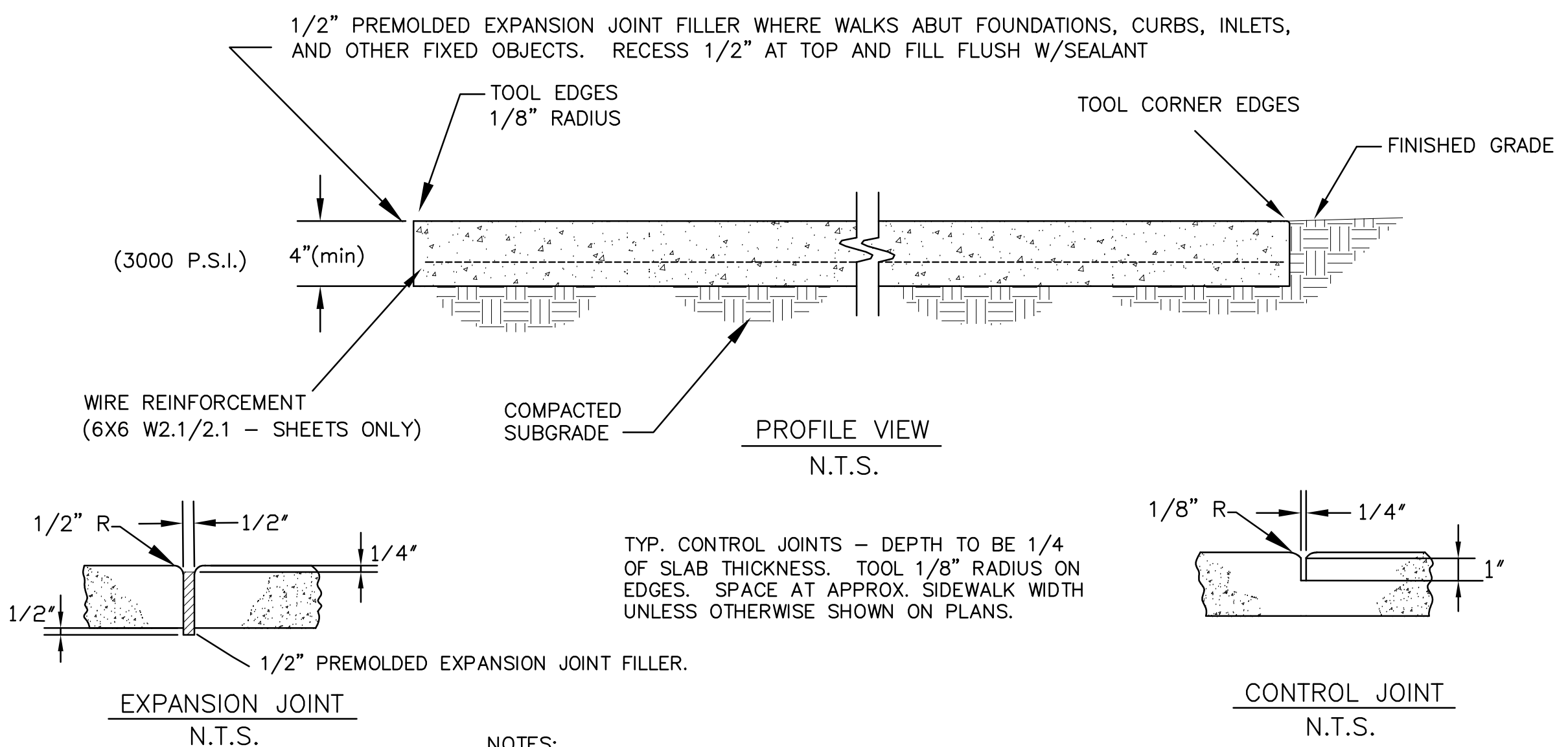
- NOTES
- 6 FOOT TALL CYCLONE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
  - 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
  - DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.



PLAN VIEW

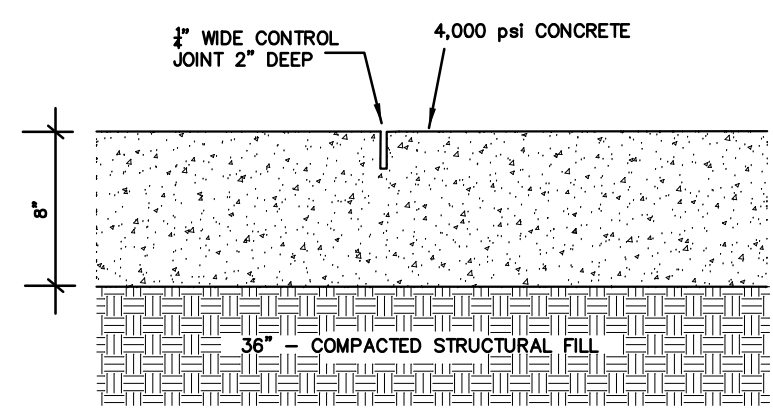
6 DUMPSTER DETAIL  
C5.0 N.T.S.

3 CONCRETE SIDEWALK SECTION DETAILS  
C5.0 N.T.S.



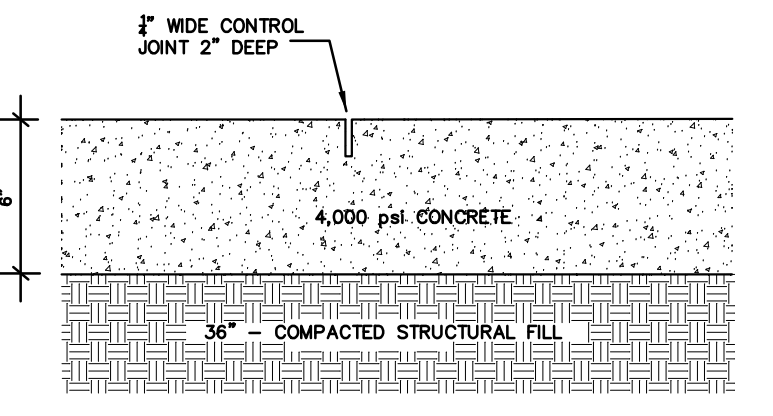
- NOTES:
- 1) CONCRETE SHALL BE 3,000 PSI MINIMUM
  - 2) 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
  - 3) PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
  - 4) HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

7 HEAVY DUTY CONCRETE (DUMPSTER AREA)  
C5.0 N.T.S.

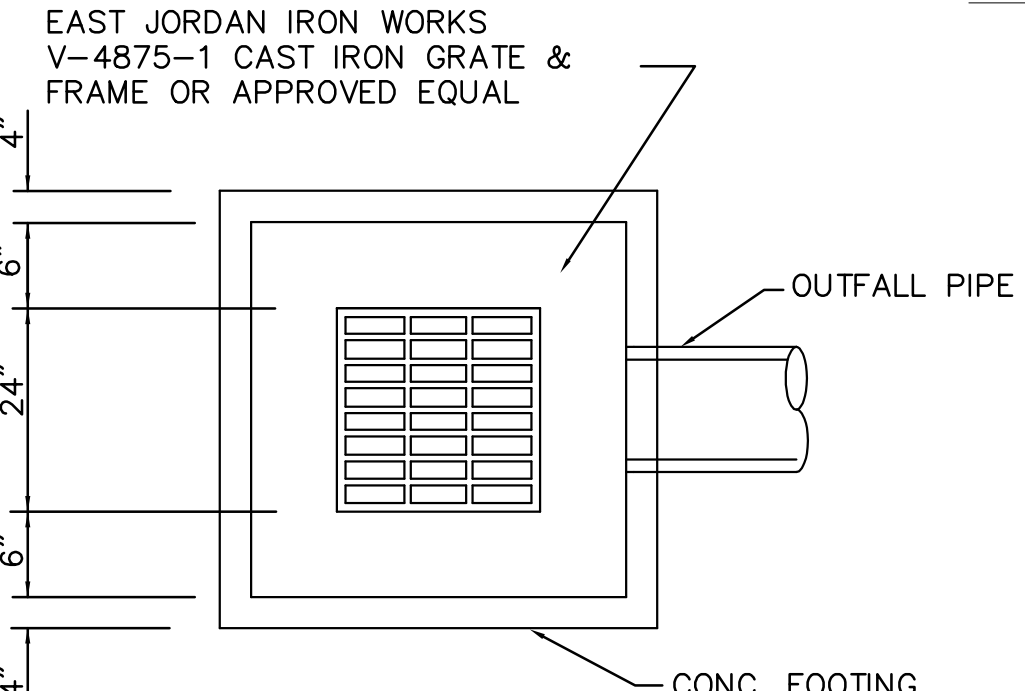


- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AS DESCRIBED IN THE GEOTECHNICAL REPORT BY BURNS COOLEY DENNIS, INC.
  2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  3. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
  4. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
  5. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

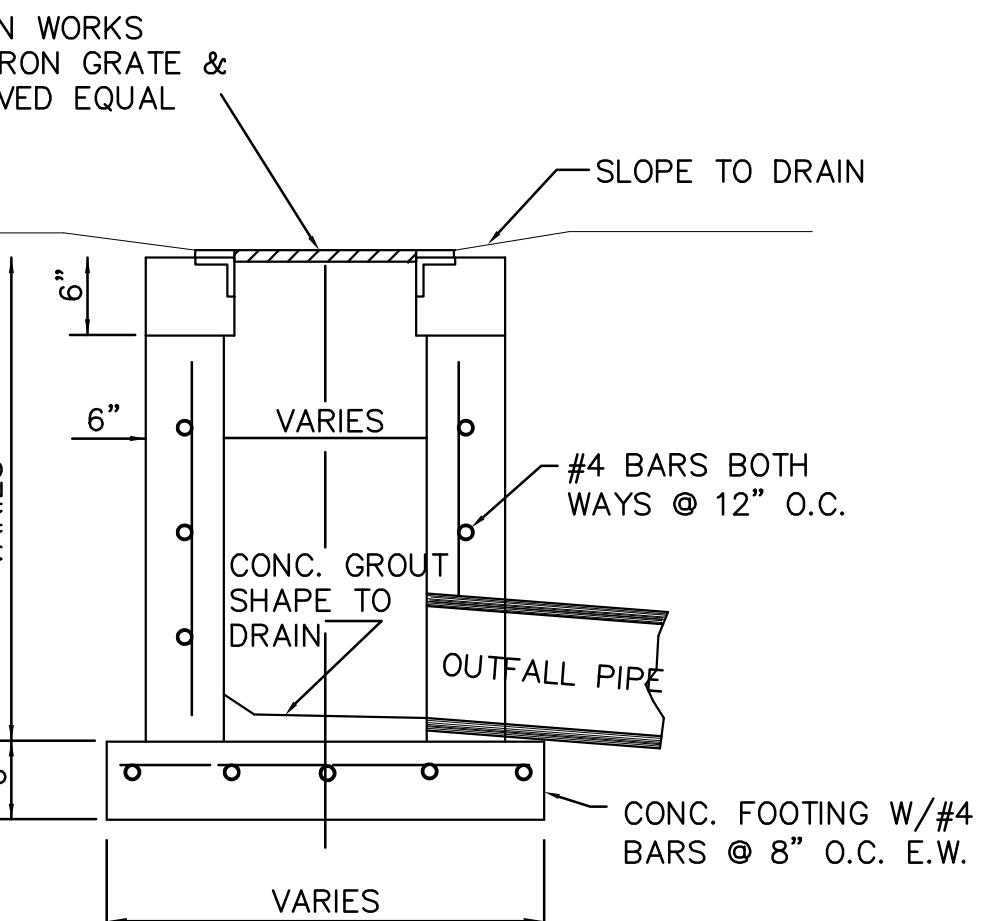
8 MEDIUM DUTY CONCRETE PAVEMENT DETAIL  
C5.0 N.T.S.



- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
  2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
  4. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
  5. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
  6. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

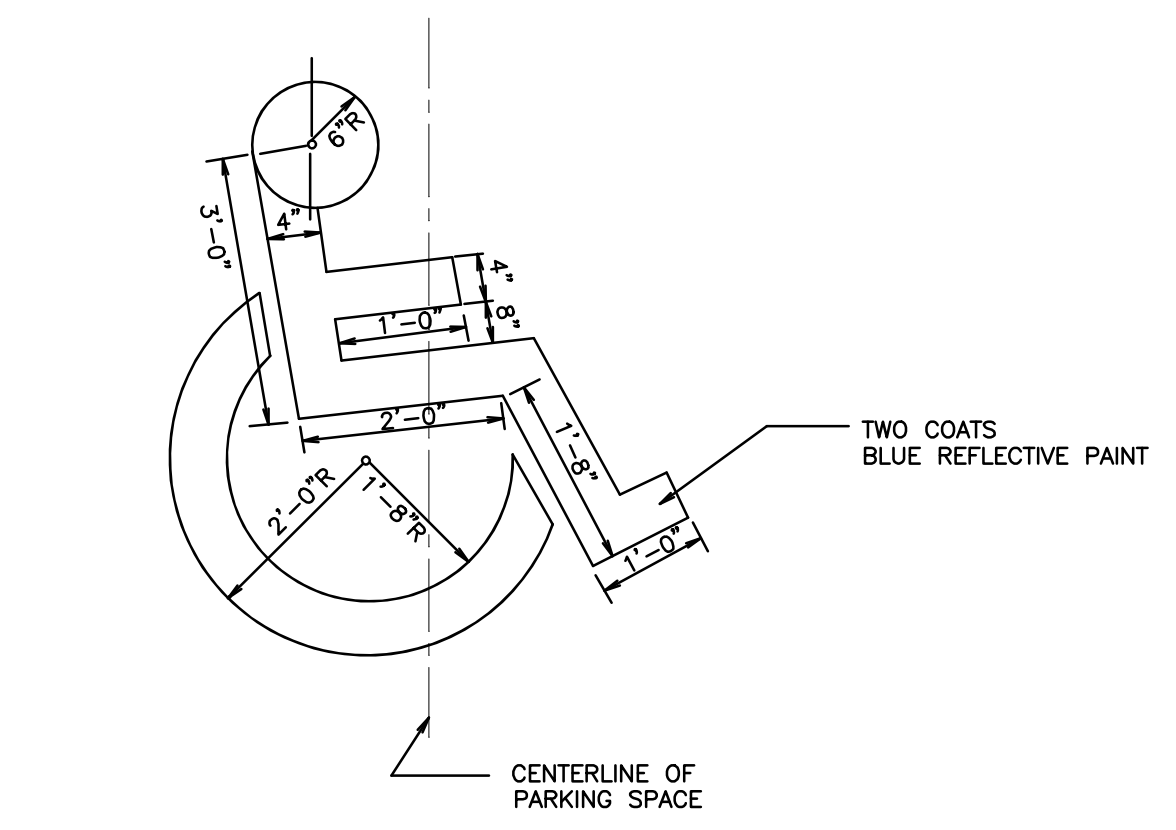


GRATE INLET - PLAN VIEW  
USE ALSO FOR JUNCTION BOX WITHOUT GRATE. USE CONCRETE TOP INSTEAD.



GRATE INLET - SECTION VIEW  
USE ALSO FOR JUNCTION BOX

9 GRATE INLET DETAIL  
5.0 N.T.S.



4 ACCESSIBILITY PARKING SYMBOL  
C5.0 N.T.S.

- NOTES
1. ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
  2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
  3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH A ACCESSIBILITY PARKING SPACE SIGN.
  4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

Date:	
By:	
Revisions:	
No.	

Project No.:	# 4840
Date:	12/05/2023
Scale:	N.T.S.
Designed By:	CLB
Reviewed By:	CLB

BAIRD ENGINEERING, INC.  
506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 923-5015

Project No. # 4840  
Date: 12/05/2023  
Scale: N.T.S.  
Designed By: CLB  
Reviewed By: CLB

SITE DETAILS  
ELITE HITTING  
GLUCKSTADT, MISSISSIPPI



**City of Gluckstadt**

**Application for Site Plan Review**

Subject Property Address: Kimball Drive, Gluckstadt

Parcel #: 082H-28-007/04.03

Owner: Michael Tate

Applicant: Michael Tate

Address: Lexus Properties, LLC

Address: Lexus Properties, LLC

Phone #: 601-826-6935

Phone #: 601-826-6935

E-Mail: mstate1@comcast.net

E-Mail: mstate1@comcast.net

Current Zoning District: C-2

Acreage of Property (If applicable): 1.31 ac

Use sought of Property: Commercial

2023272

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

**Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.**

**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

  
Applicant Signature

12.4.23  
Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

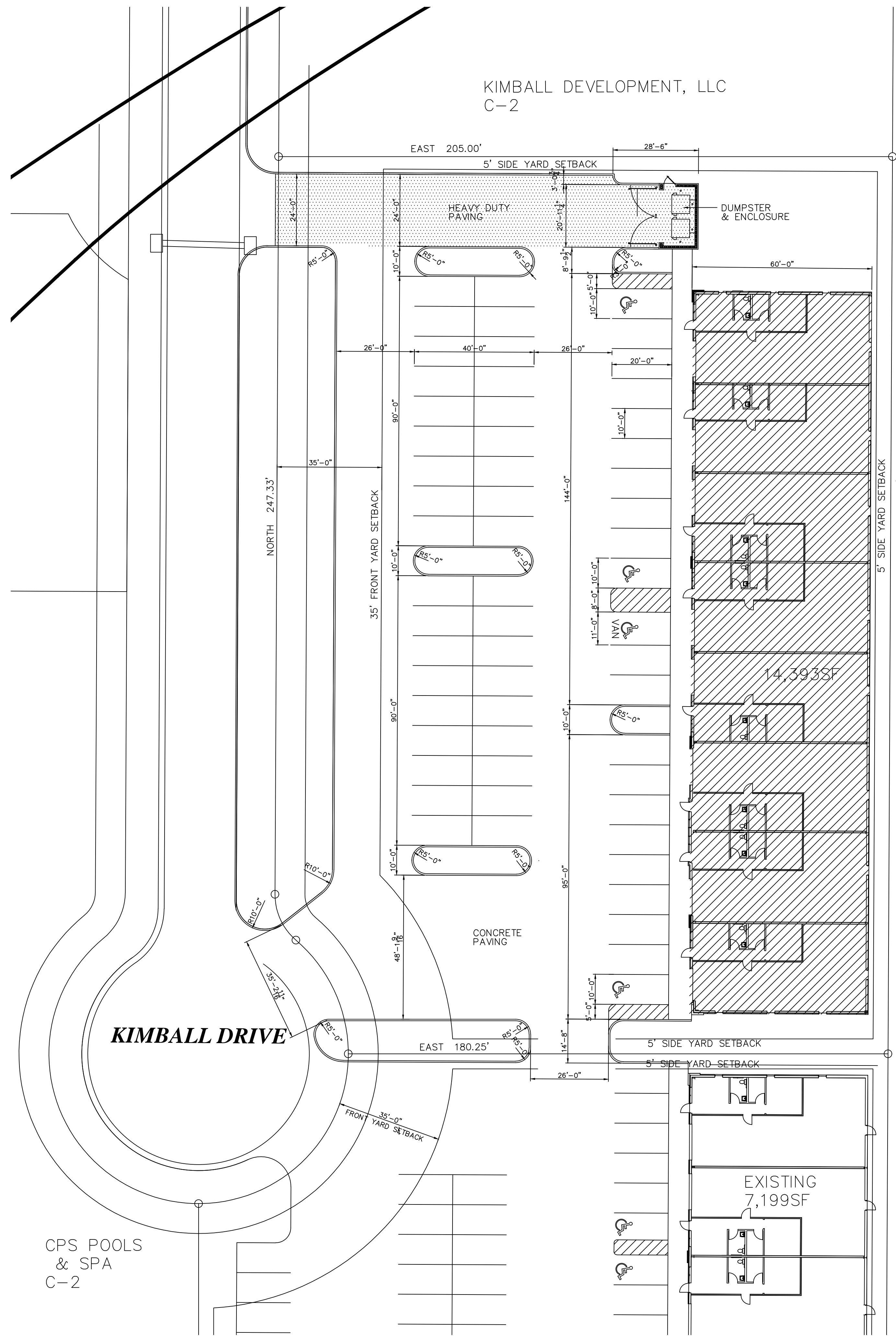
**Date Received:** \_\_\_\_\_

**Application Complete & Approved to Submit to P&Z Board (please check):**

Yes \_\_\_\_\_ No \_\_\_\_\_

**Signature:** \_\_\_\_\_  
**Planning & Zoning Administrator (or Authorized Representative)**

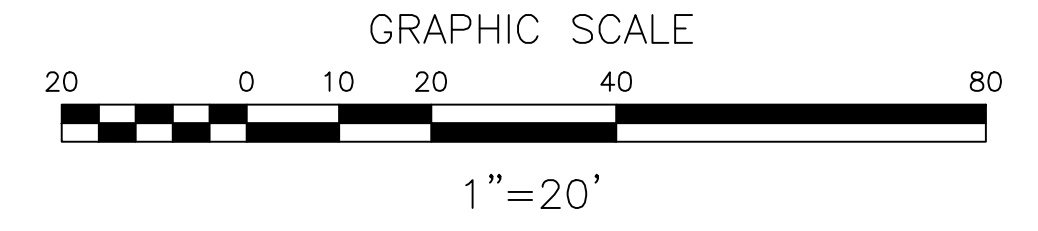
OWNER 12/1/2023 10:38 AM TATE OFFICE PHASE 2.dwg



1  
A1.0 VICINITY MAP  
SCALE:

KIMBALL DEVELOPMENT, LLC  
C-2

1  
A1.0 SITE PLAN  
SCALE: 1"=20'-0"



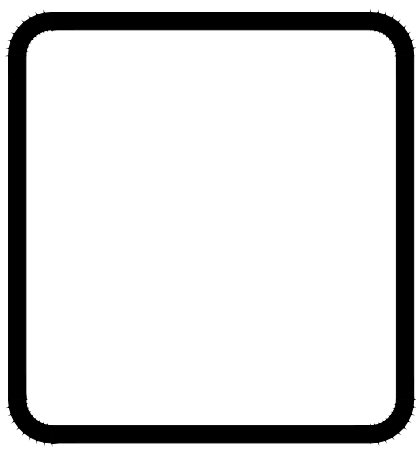
ZONING; C-2  
 BUILDING USAGE; OFFICE WAREHOUSE  
 SITE AREA; 60,664SF  
 TOTAL BLDG. AREA; 14,393SF  
 TOTAL SITE COVERAGE; 23.7%

TOTAL BLDG.; 14,393SF  
 OFFICE AREA; 5,754SF / 225 = 25.5 PARKING SPACES  
 WAREHOUSE AREA; 8,639SF / 1000 = 8.63 PARKING SPACES  
 TOTAL REQUIRED PARKING; 34.13 SPACES (35 SPACES)  
 TOTAL PROVIDED PARKING; 58 SPACES

COLORS TO MATCH EXISTING BUILDINGS (SEE PICTURES)  
 BUILDING NOT SPRINKLED  
 BUILDING SHALL BE DIVIDED BY FIREWALL



REVISIONS	BY



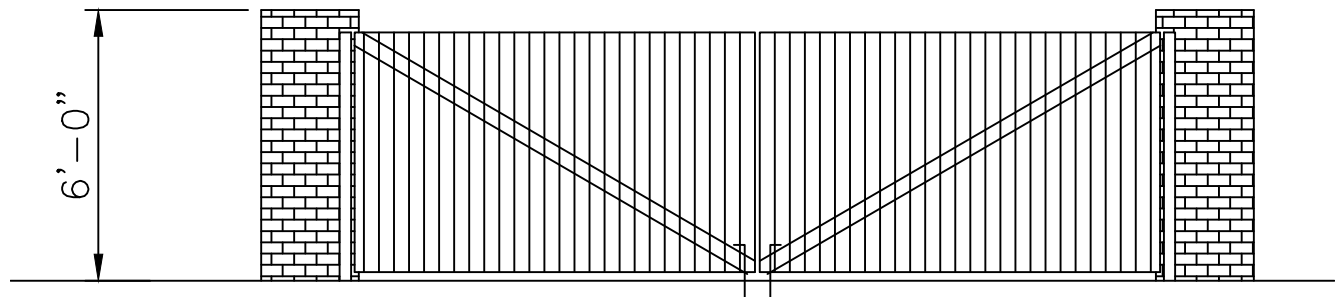
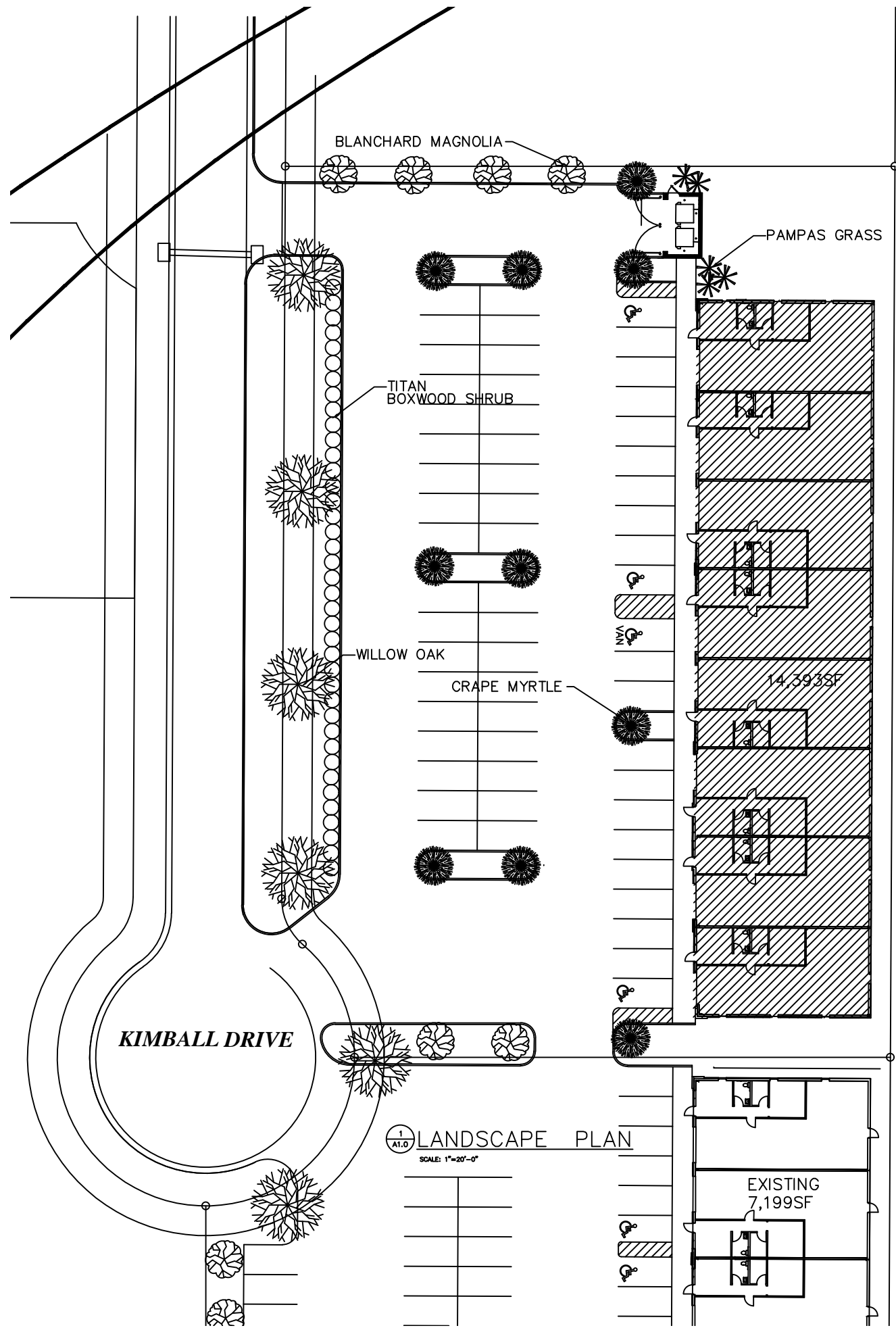
WOODRIDGE & ASSOCIATES  
 464 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-8888  
 WOODRIDGEARCHITECTUREFIRM.COM

Tate Office Warehouse  
 Phase 2  
 Kimball Drive  
 Gluckstadt, Mississippi

THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOODRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 12/1/23
SCALE
JOB NO.
SHEET A0.0
OF SHEETS

OWNER 12/1/2023 10:38 AM TATE OFFICE PHASE 2.dwg



**1**  
A1.0 DUMPSTER ENCLOSURE  
SCALE: NTS

REVISIONS BY  
Section 4, Item B)



WOOLRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8888

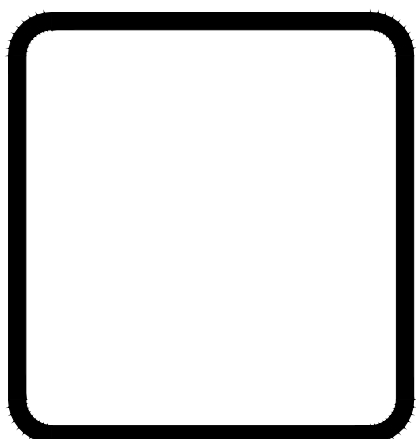
Tate Office Warehouse  
Phase 2  
Kimball Drive  
Gluckstadt, Mississippi

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DRAWN  
CHECKED  
DATE 12/1/23  
SCALE  
JOB NO.  
SHEET

A0.1

REVISIONS	BY

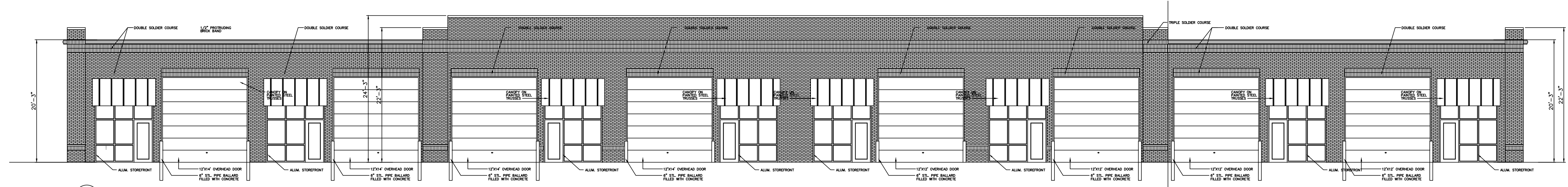


WOOLDRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8385  
WOOLDRIDGEARCHITECTUREFIRM.COM

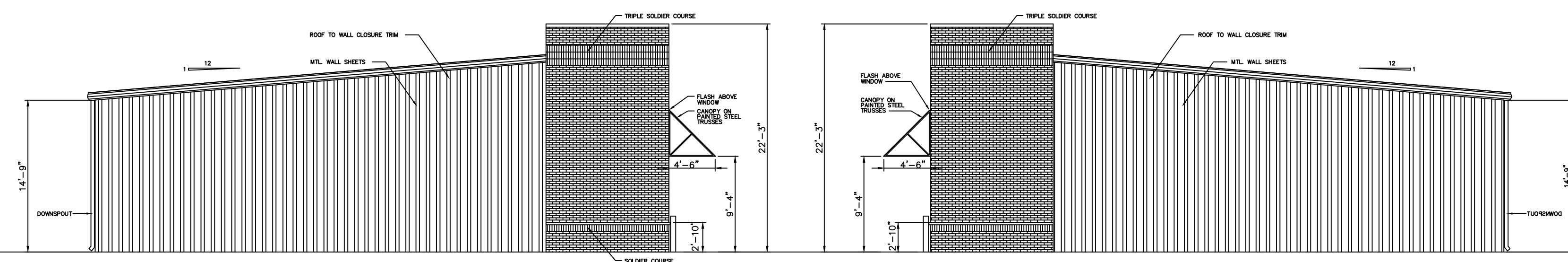
Tate Office Warehouse  
Phase 2  
Kimball Drive  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 12/1/23
SCALE
JOB NO.
SHEET <b>A3.0</b>
OF SHEETS

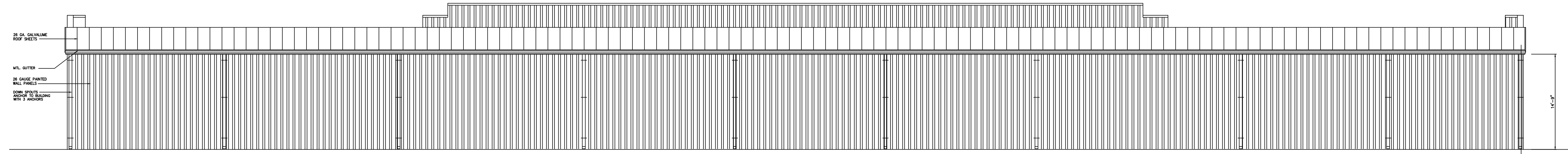


1 FRONT ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 REAR ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

TATE OFFICE PHASE 2.dwg

OWNER 12/1/2023 10:38 AM

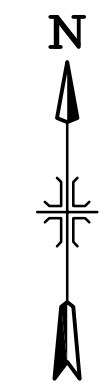
Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39056
Phone: (601) 925-5015

Project No.:	# 4487
Date:	11/28/2023
Scale:	1" = 20'
Designed By:	CLB
Reviewed By:	CLB

TOPOGRAPHIC SURVEY
TATE BUILDING, PHASE 2
MADISON COUNTY, MISSISSIPPI

C
O
O
O



Date of field survey: November 27, 2023.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Vertical elevations taken from GPS Network NAVD88.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Boundary survey by Ron McMaster, Jr. with McMaster and Associates, dated October 19, 2021.

MS One-Call #23112815292178  
Process Date: November 28, 2023  
Below Notes Dated: December 1, 2023

- AT&T Distribution—CLEAR, NO CONFLICT
- Centerpoint Energy – LOCATED, FACILITIES MARKED
- Canton Municipal Utilities – CLEAR, NO CONFLICT
- Telepak dba C Spire Fiber – CLEAR, NO CONFLICT
- TX Eastern Transmission – CLEAR, NO CONFLICT
- Pearl River Valley Water – NO RESPONSE
- Comcast Cable of Jackson – CLEAR, NO CONFLICT
- Entergy MS – CLEAR, NO CONFLICT
- Bear Creek Water Association – ONLY RECORD DRAWINGS PROVIDED

Site Address: 110 Kimball Drive, Gluckstadt, MS

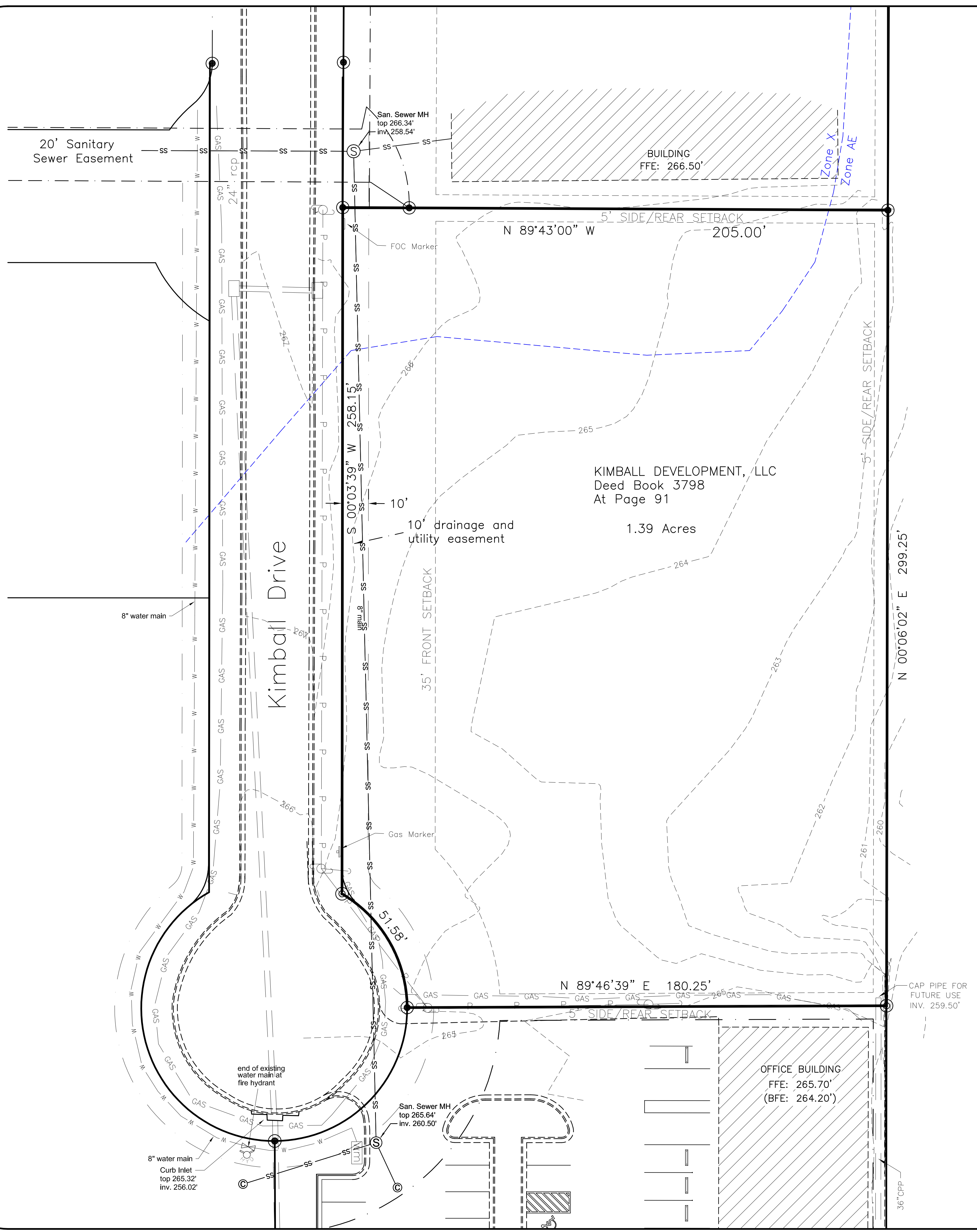
Subject property is located in Zone AE as determined and shown on FEMA Map 28089 C 415F, dated March 17, 2010. BFE determined to be 264.20'

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on November 30, 2023

LEGEND

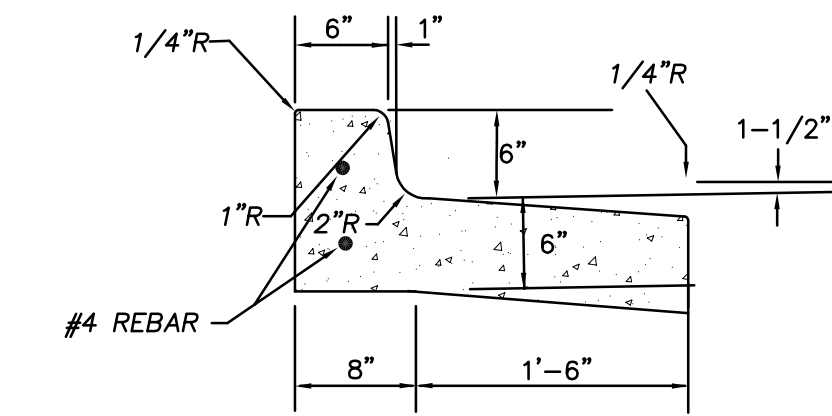
- |  |                             |  |                                    |
|--|-----------------------------|--|------------------------------------|
|  | A/C UNIT                    |  | LIGHT POLE                         |
|  | CONC. CURB & GUTTER         |  | NO. OF PARKING SPACES              |
|  | CONTOURS                    |  | POWER METER                        |
|  | DOWNSPOUT                   |  | SANITARY SEWER CLEANOUT            |
|  | DRAINAGE INLET              |  | SANITARY SEWER MANHOLE             |
|  | ELECTRICAL BREAKER BOX      |  | SPRINKLER                          |
|  | ELECTRICAL JUNCTION BOX     |  | SPOT ELEVATION                     |
|  | FINISHED FLOOR ELEVATION    |  | TELECOMMUNICATIONS MANHOLE         |
|  | FIRE HYDRANT                |  | TELEPHONE PEDESTAL                 |
|  | GAS METER                   |  | TREE (SIZE & TYPE NOTED, IF KNOWN) |
|  | GRATE INLET (SIZE NOTED)    |  | WATER METER                        |
|  | GRATE INLET (18" ROUND—TYP) |  | WATER VALVE                        |
|  | IRRIGATION VALVE            |  | UNDERGROUND ELECTRIC               |
|  | OVERHEAD POWER/TELEPHONE    |  | GAS LINE                           |
|  | POTABLE WATER               |  | SANITARY SEWER MAIN                |
|  | UNDERGROUND TELECOMM        |  | UNDERGROUND TELEPHONE              |
|  | UNDERGROUND TELCOMM         |  | WATER MAIN                         |
|  | UNDERGROUND FIBER OPTIC     |  |                                    |



SITE PLAN NOTES

GENERAL

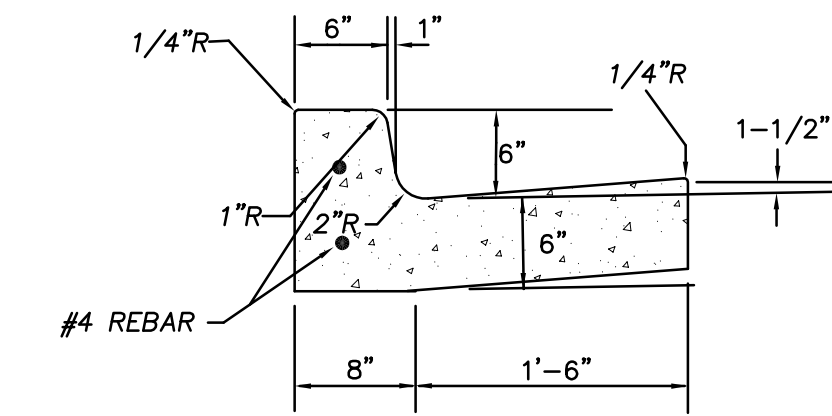
1. TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 11-15-2022.
2. CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
3. CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
4. DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
6. ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOD UNLESS NOTED OTHERWISE.
7. THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
9. CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
10. ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
12. BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
13. ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
14. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
15. SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING PAVEMENT AND CURBS.
16. SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
17. ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
18. PARKING PROVIDED IN THIS PROJECT (WITHIN THE MALL PARCEL):  
4 ADA COMPLIANT PARKING SPACES  
54 STANDARD PARKING SPACES  
58 TOTAL PARKING SPACES PROVIDED
19. DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).



4 CONCRETE CURB & GUTTER (PITCH-AWAY)  
C1.0 N.T.S.

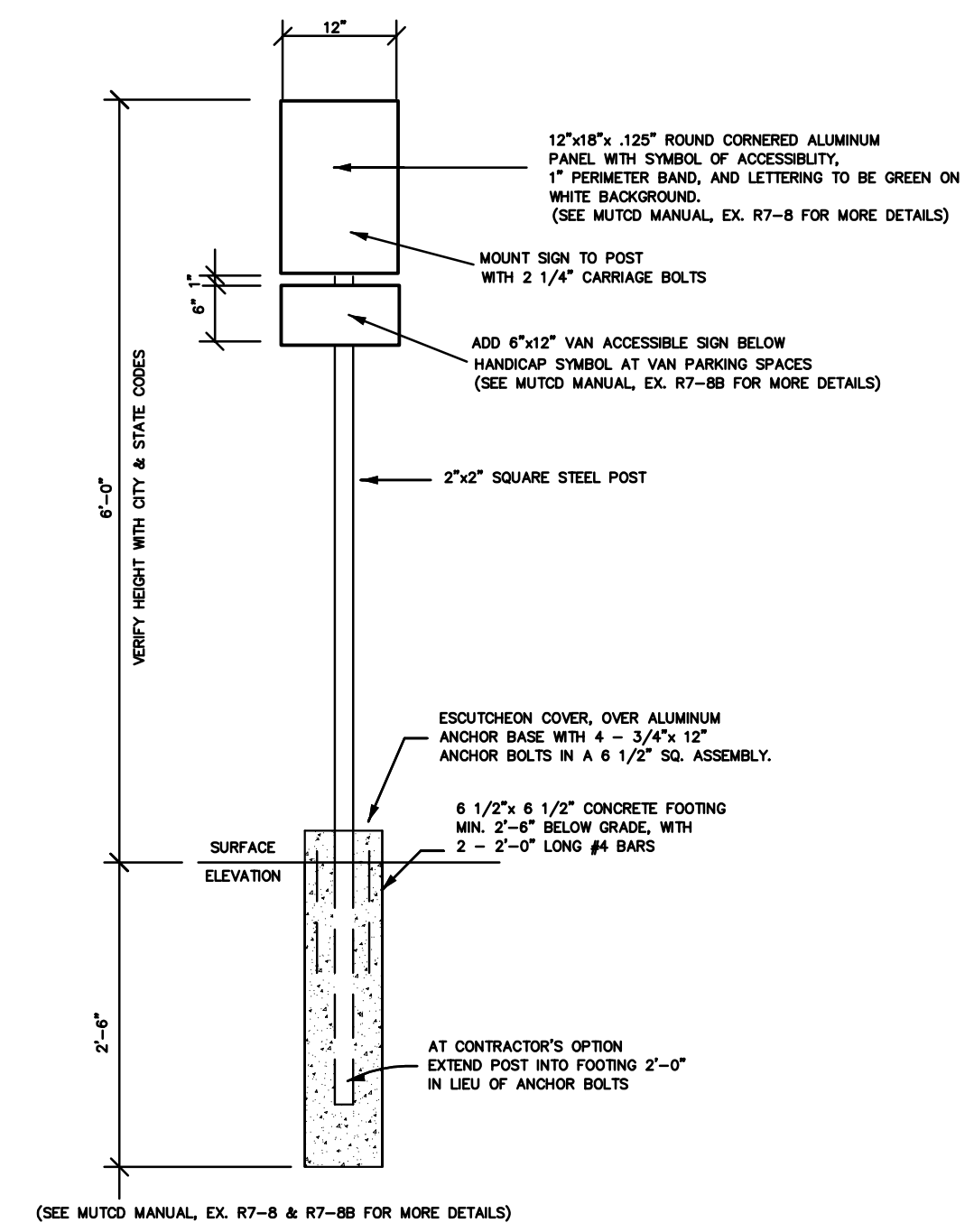
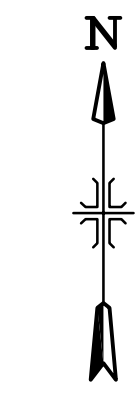
\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

CONTRACTOR SHOULD USE CORRECT CURB & GUTTER DETAIL IN ACCORDANCE TO THE GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN



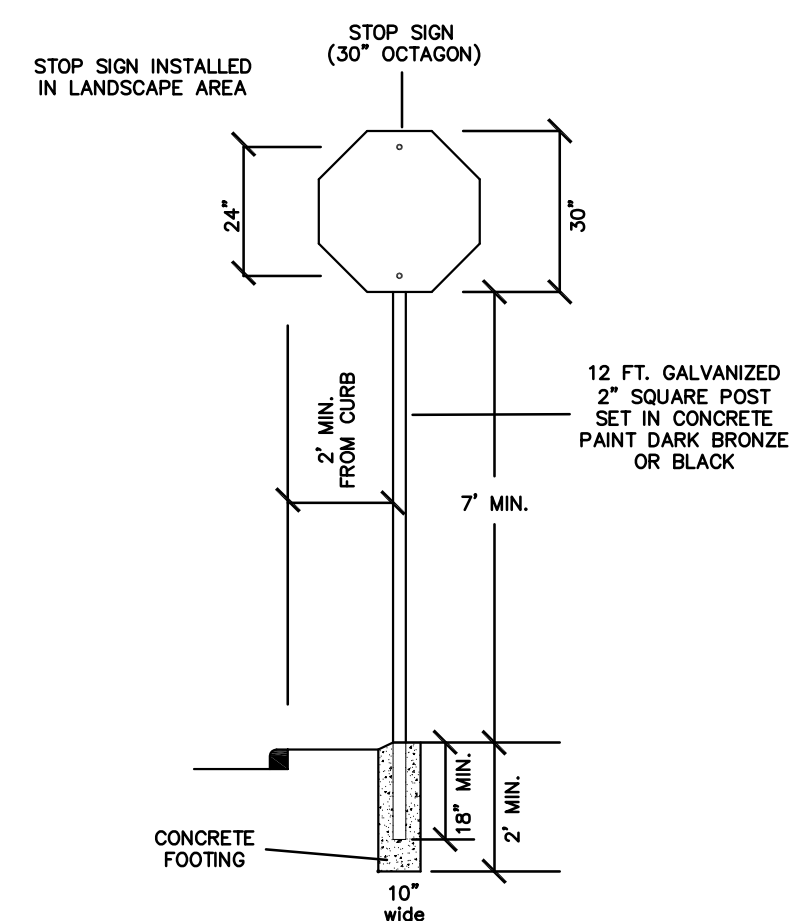
3 CONCRETE CURB & GUTTER  
C1.0 N.T.S.

\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT



1 ACCESSIBILITY SIGNAGE DETAIL  
C1.0 N.T.S.

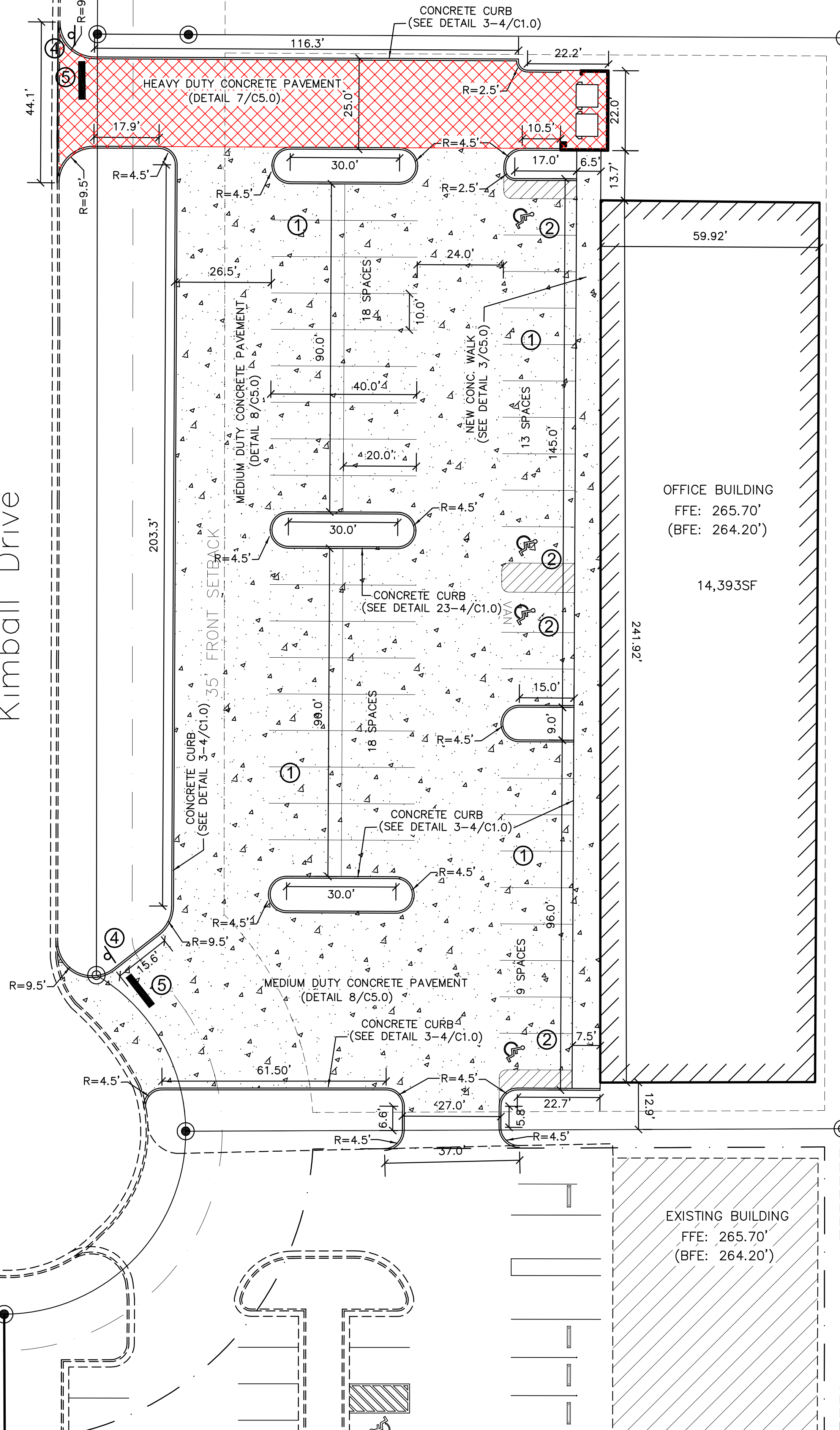
- NOTES:
1. LOCATE ONE SIGN AT EACH ACCESSIBLE SPACE. SET 1'-0" OFF OF BACK OF CURB OR SIDEWALK AND CENTER ON ACCESSIBLE SPACE.
  2. ALL DIMENSIONS AND SIGNAGE SHOULD FOLLOW THE ADA STANDARDS FOR ACCESSIBLE DESIGN.



2 TRAFFIC SIGN INSTALLATION  
C1.0 N.T.S.

Kimball Drive

24" rcp



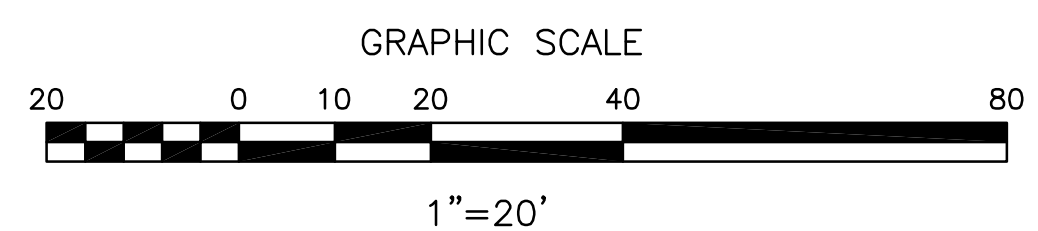
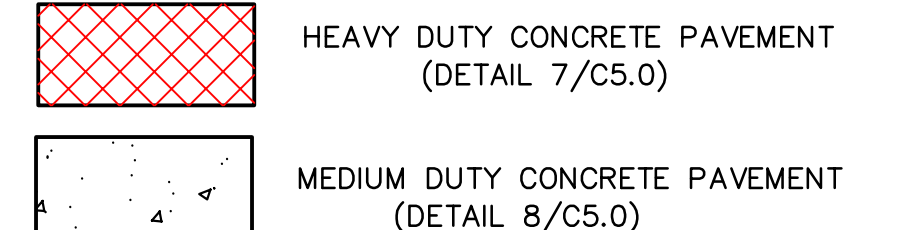
OFFICE BUILDING  
FFE: 265.70'  
(BFE: 264.20')

14,393SF

EXISTING BUILDING  
FFE: 265.70'  
(BFE: 264.20')

PARKING FEATURES LEGEND

① TRAFFIC STRIPE (PARKING)	4" CONTINUOUS WHITE
② TRAFFIC STRIPE (HANDICAP)	4" CONTINUOUS BLUE
③ HANDICAP PARKING SIGN (R7-8)-DETAIL 1/C1.0	SEE MUTCD MANUAL FOR SPECIFICATIONS.
④ STOP SIGN (DETAIL 2/C1.0)	SEE MUTCD MANUAL FOR SPECIFICATIONS.
⑤ 24" LEGEND	WHITE



Date: \_\_\_\_\_

By: \_\_\_\_\_

Revisions:

No.	

BAIRD ENGINEERING, INC.

506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 925-3015

Project No.: # 4487  
Date: 12/05/2023  
Scale: 1" = 20'  
Designed By: CLB  
Reviewed By: CLB

SITE PLAN  
TATE BUILDING, PHASE 2  
GLUCKSTADT, MISSISSIPPI

C 1.0

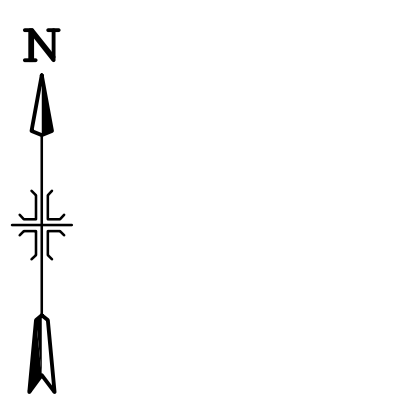
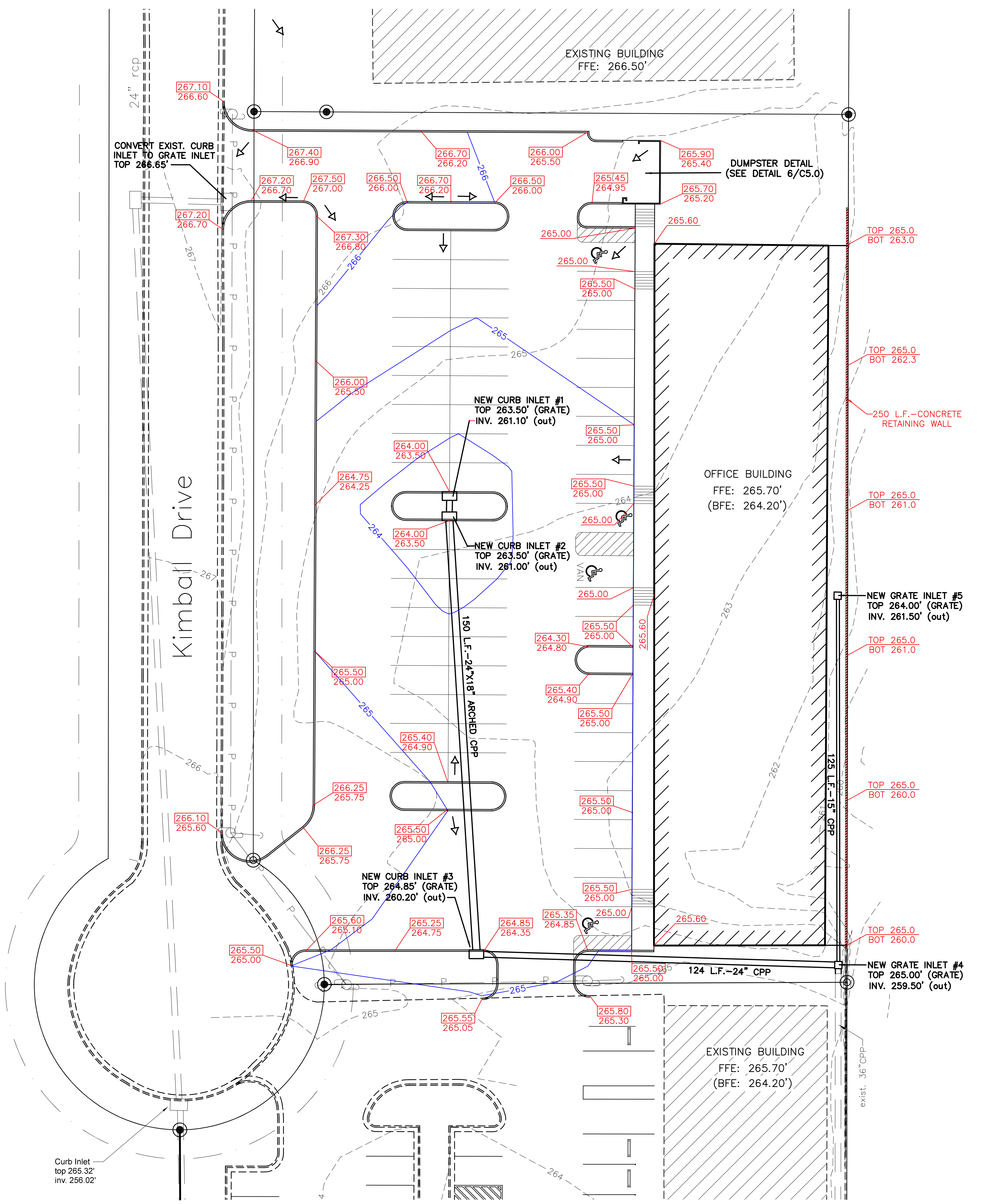
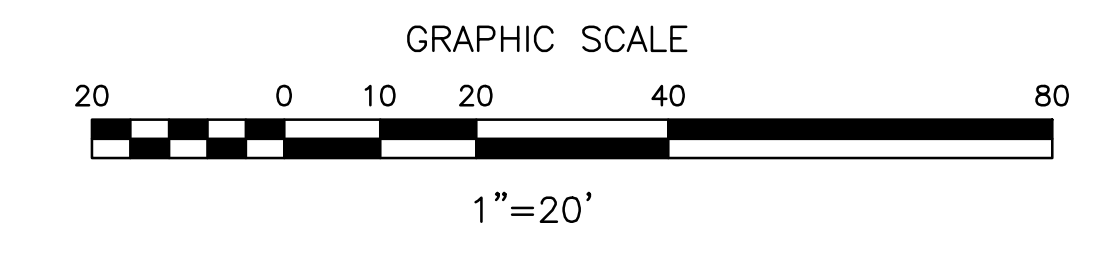
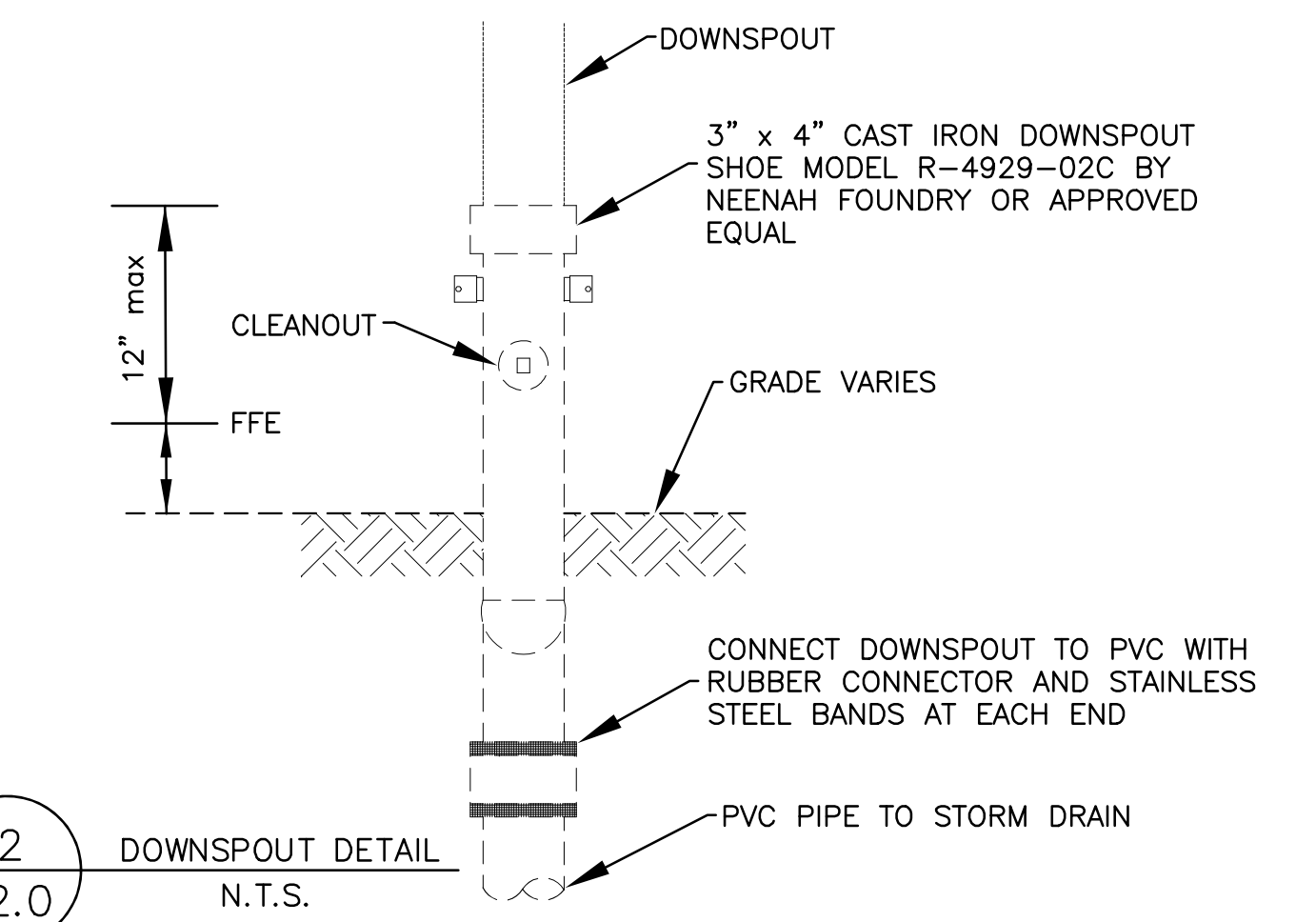
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GRADING PLAN  
TATE BUILDING, PHASE 2  
GLUCKSTADT, MISSISSIPPI

- GENERAL**  
THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.  
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF CLINTON STANDARDS.  
TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY McMASTERS AND ASSOCIATES.
- CLEARING**  
PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.  
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.  
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.  
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.
- GRUBBING**  
REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.
- CLEAN-UP**  
UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.
- SITE GRADING**  
PROFFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO ASTM D698 PRIOR TO FILL PLACEMENT.  
CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.  
ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.  
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.
- FILLING AND BACKFILLING MATERIALS**  
IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE NATURAL GROUND. MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.
- DETENTION POND**  
NO DETENTION REQUIRED FOR THIS PROJECT. THERE IS AN EXISTING DETENTION POND SOUTH OF AND ADJACENT TO THE SUBJECT PROPERTY.



- LEGEND**
- PROPOSED DOWNSPOUT (DETAIL 2/C2.0)
  - PROPOSED CONCRETE CURB (DETAIL 3 & 4/C2.0)
  - HANDICAP PARKING
  - PROPERTY LINE

Curb Inlet  
top 265.32'  
inv. 256.02'



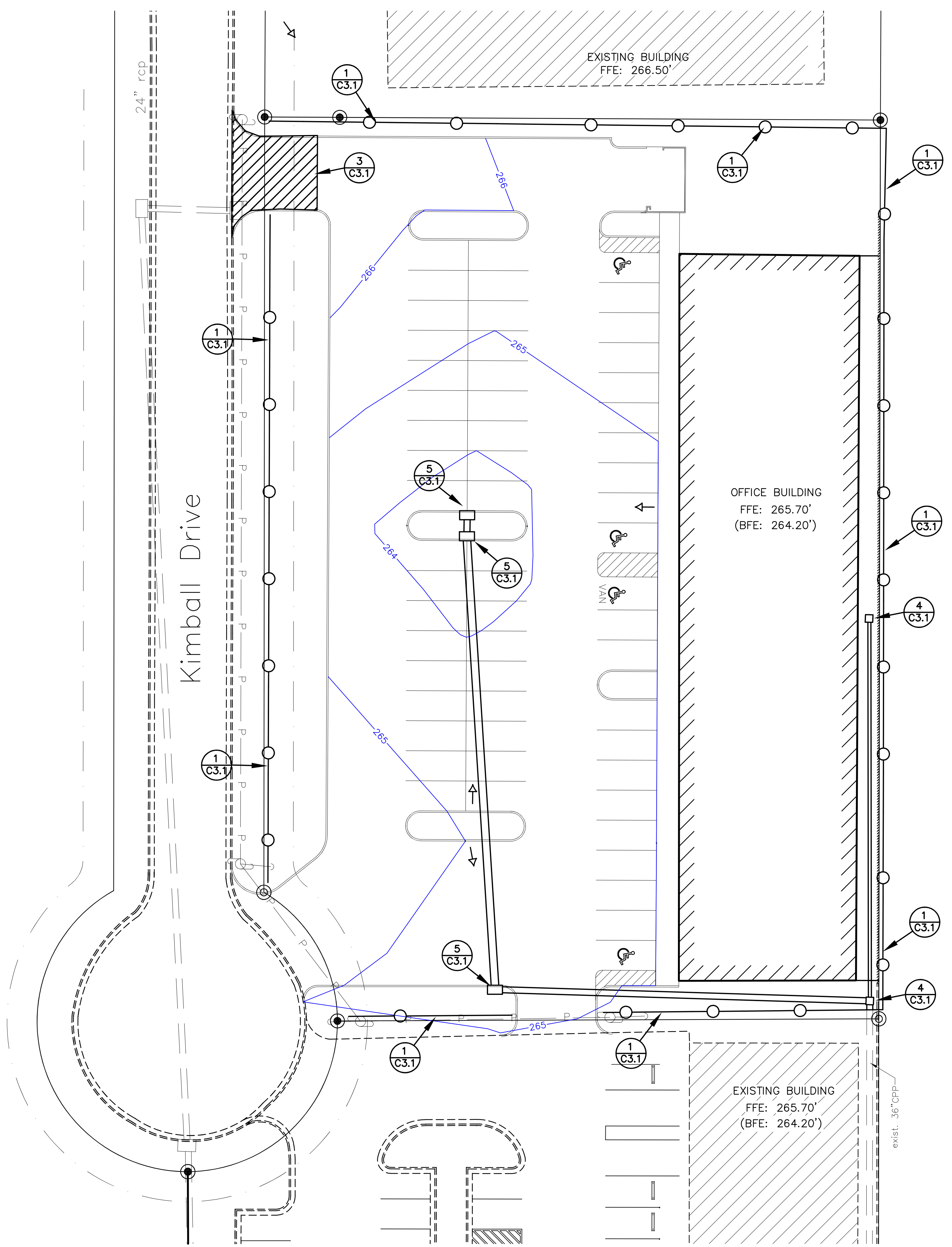
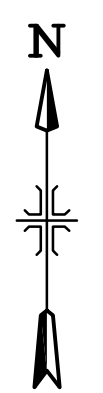
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Revisions:	
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Phone: (601) 925-3015

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Designed By:	CLB
Reviewed By:	CLB

EROSION CONTROL PLAN
TATE BUILDING, PHASE 2
GLUCKSTADT, MISSISSIPPI

C 3.0
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**NOTES:**

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTENANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

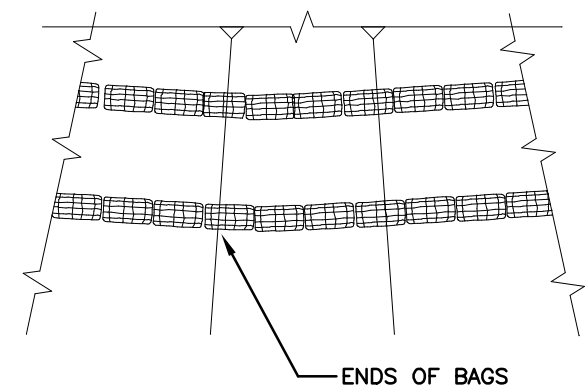
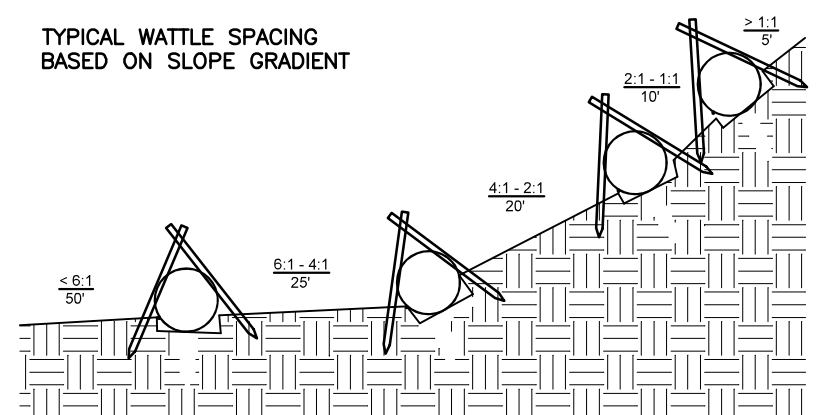
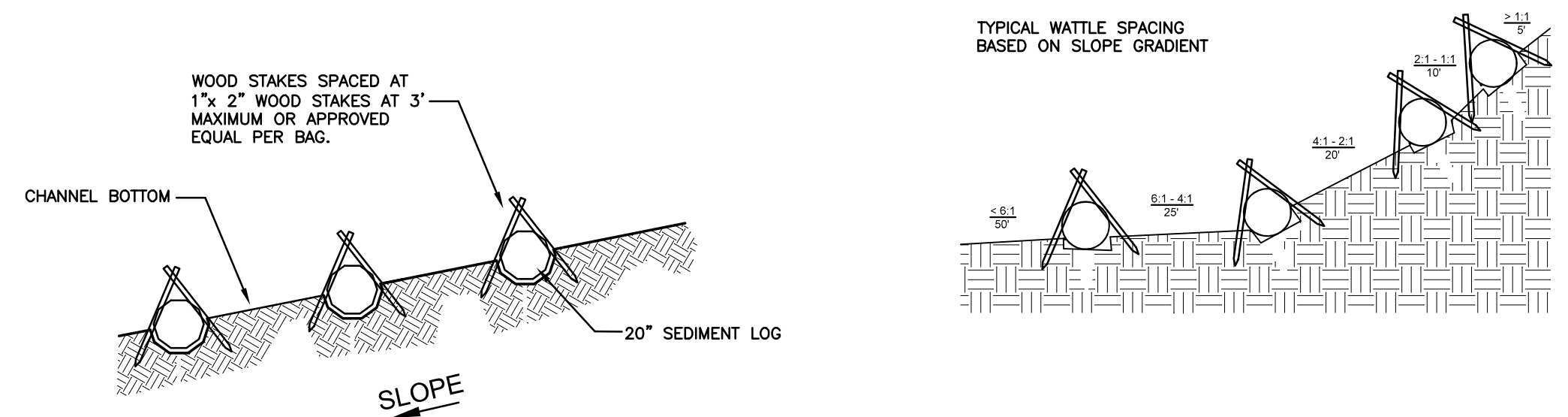
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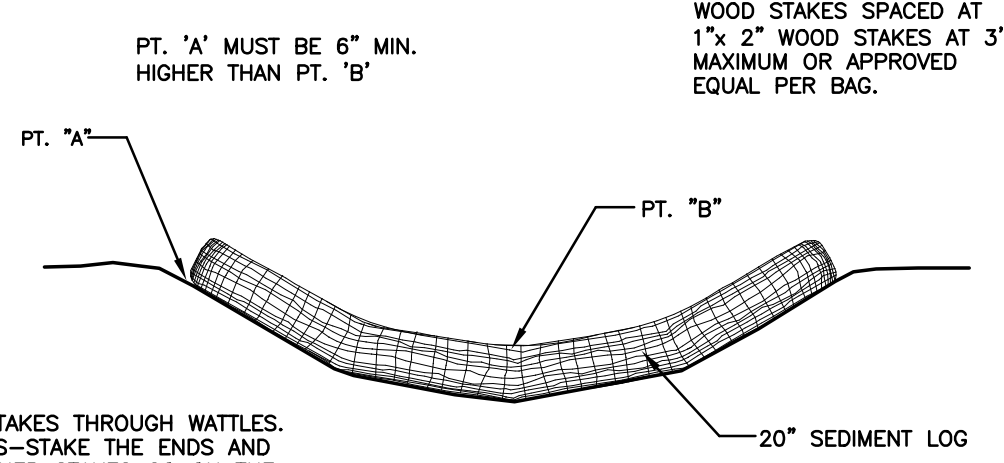
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EROSION CONTROL DETAILS  
 TATE BUILDING, PHASE 2  
 GLUCKSTADT, MISSISSIPPI

C 3.1



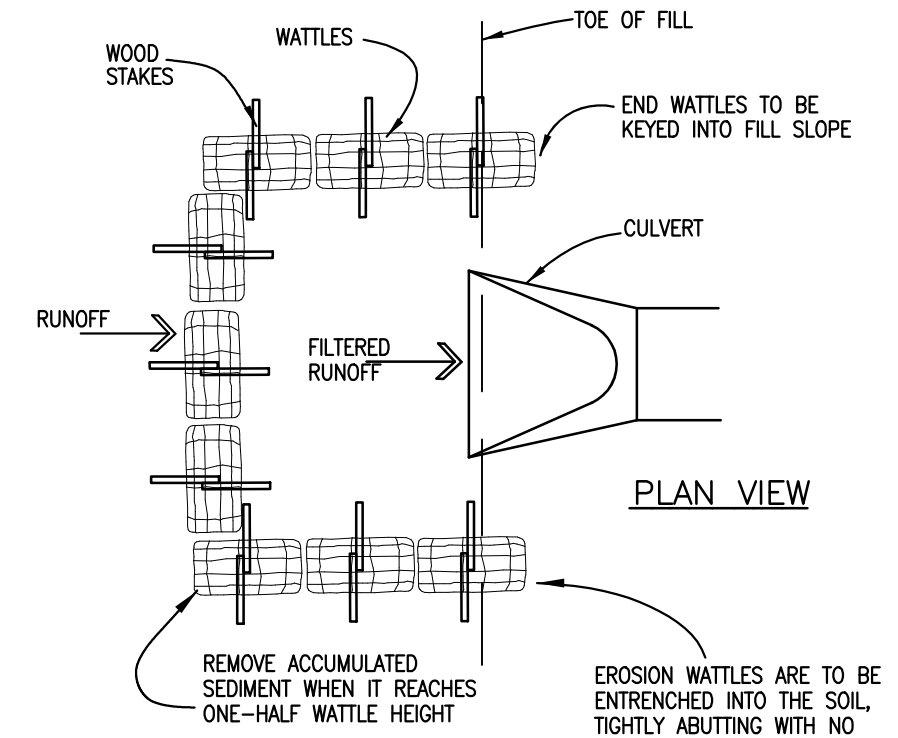
PERSPECTIVE



CROSS SECTION

7 SEDIMENT LOG DITCH CHECK  
 C3.1 N.T.S.

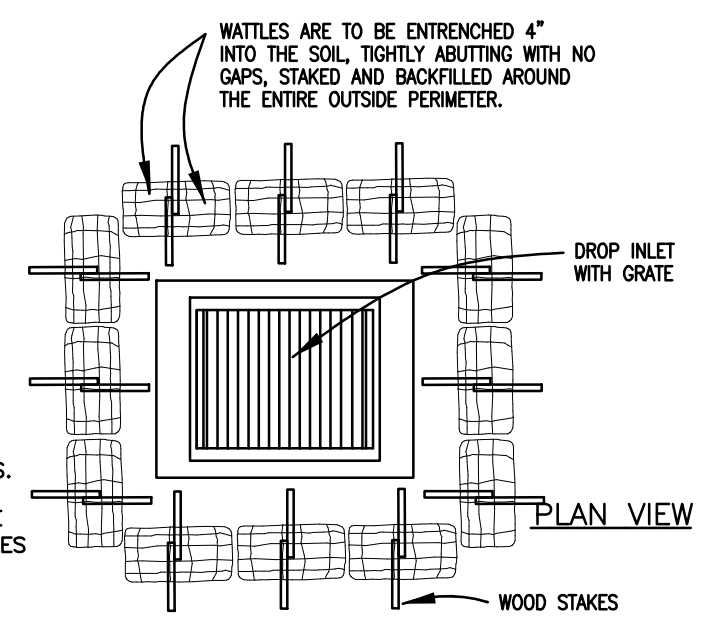
DON'T DRIVE STAKES THROUGH WATTLES. INSTEAD, CROSS-STAKE THE ENDS AND BENDS AND OTHER STAKES GO ON THE DOWNSTREAM/DOWNHILL SIDE OF WATTLES



PLAN VIEW

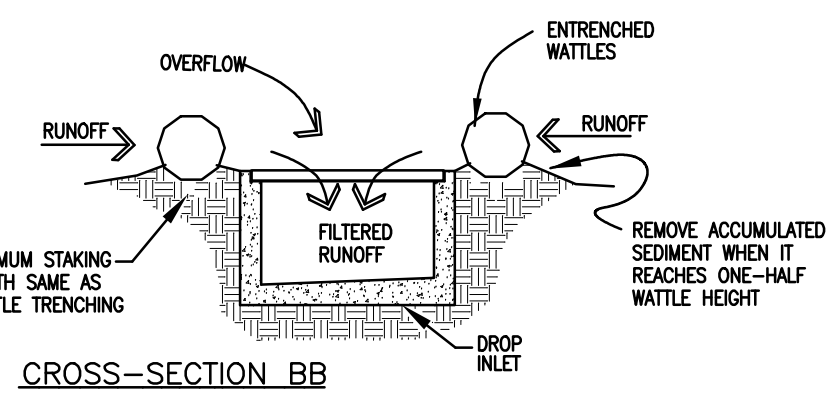
6 CULVERT EROSION BALE INLET PROTECTION  
 C3.1 N.T.S.

DON'T DRIVE STAKES THROUGH WATTLES. INSTEAD, CROSS-STAKE THE ENDS AND BENDS AND OTHER STAKES GO ON THE DOWNSTREAM/DOWNHILL SIDE OF WATTLES

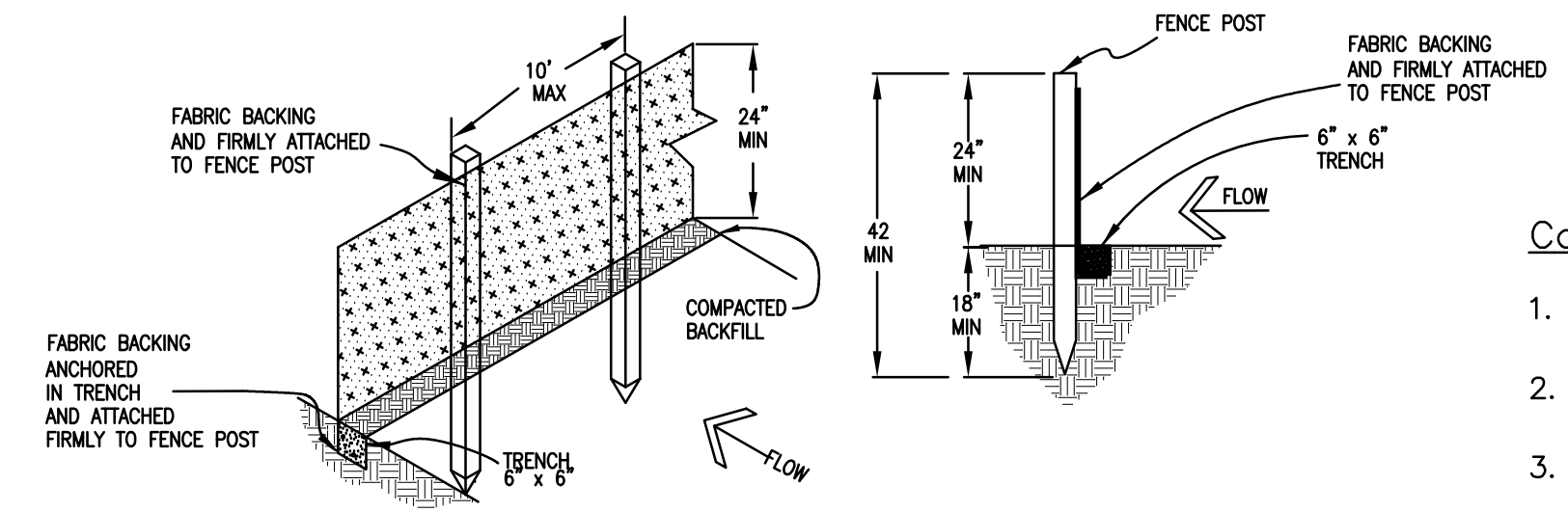


PLAN VIEW

4 DROP INLET EROSION FILTER  
 C3.1 N.T.S.



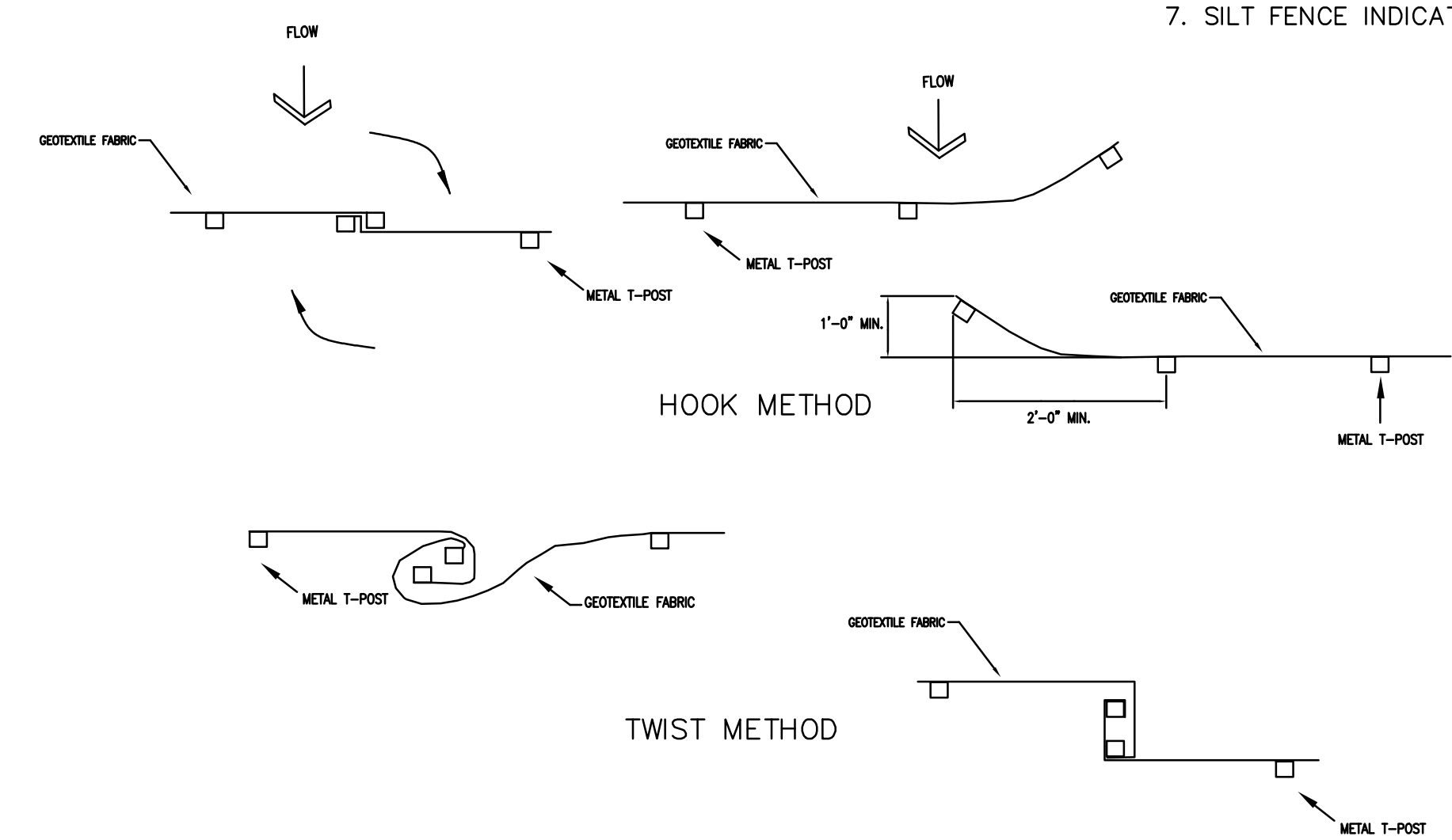
CROSS-SECTION BB



1 SILT FENCE DETAIL  
 C3.1 N.T.S.

Construction Notes for Silt Fence:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
  4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN  
 POSTS: LOCATE MAXIMUM OF 6 FEET O.C.  
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING  
 FILER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL
6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
  7. SILT FENCE INDICATION ON THE PLANS AS —○—○—○—



2 JOINING TWO LENGTHS OF SILT FENCE  
 C3.1 N.T.S.

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

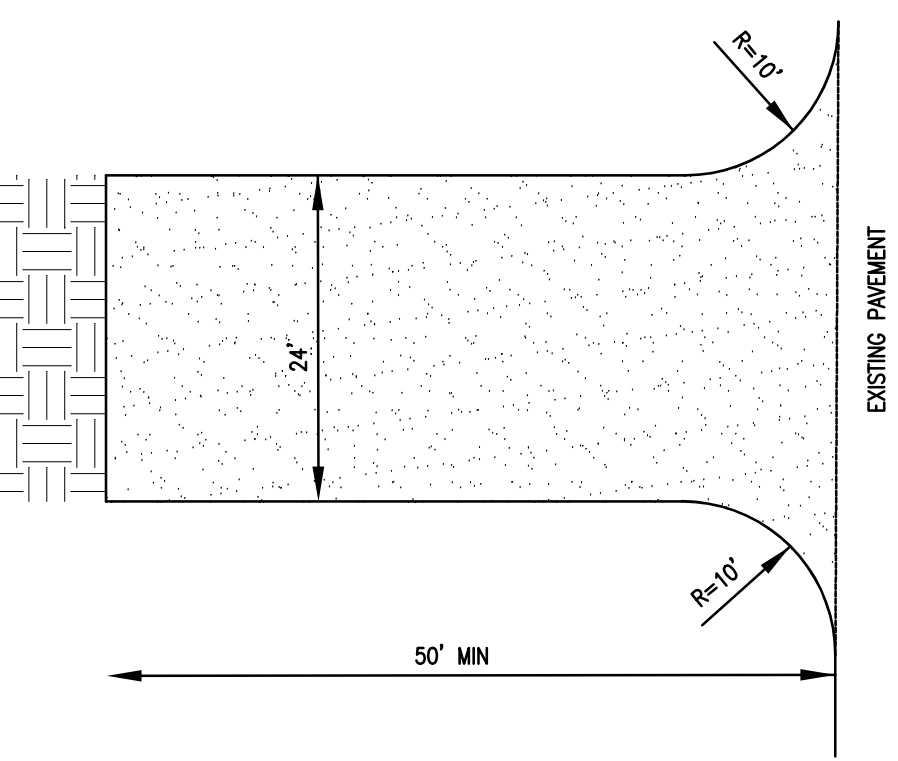
1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

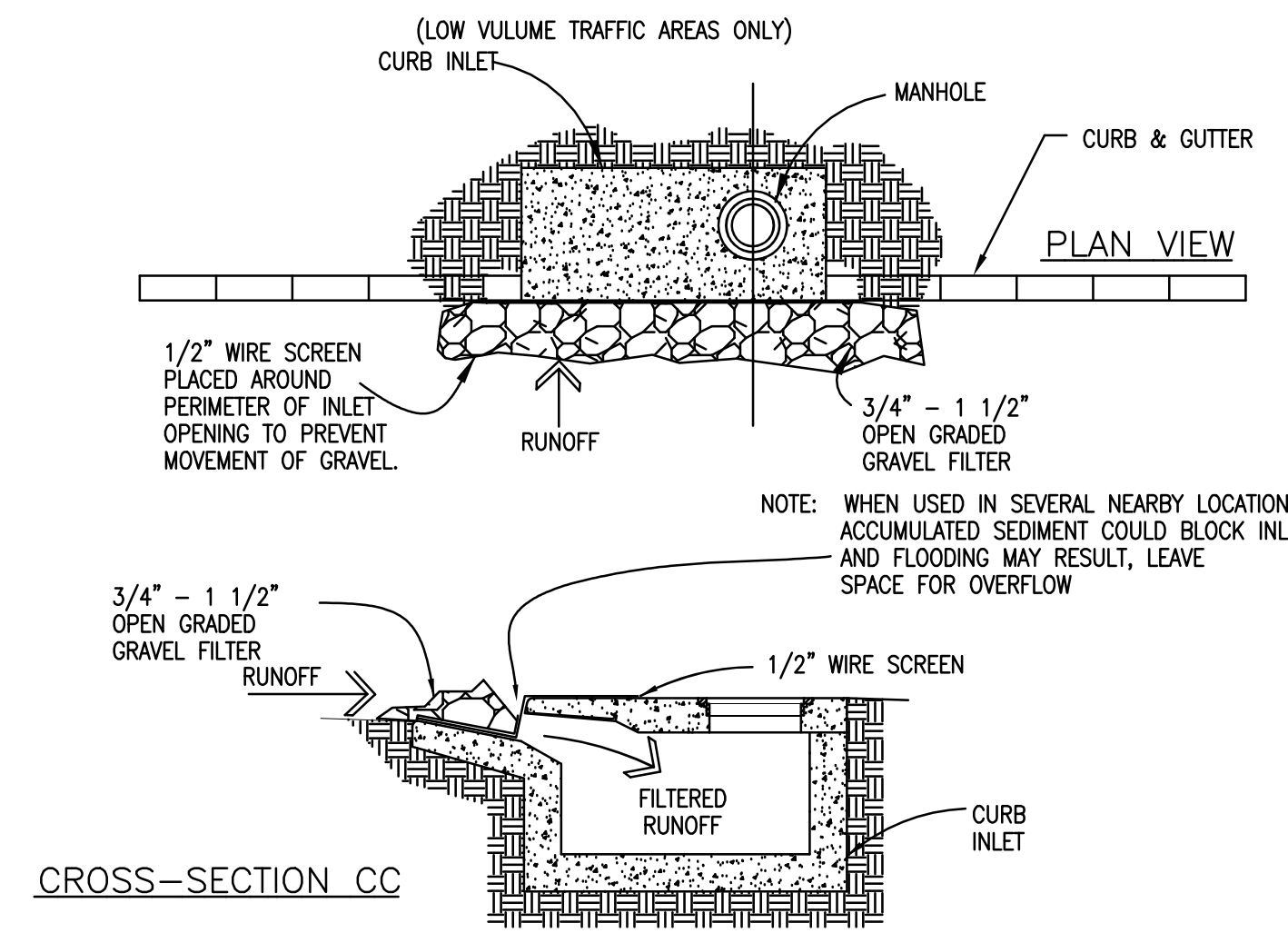
1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

NOTES:

1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
2. THICKNESS - NOT LESS THAN 6".
3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. WIDTH - 30 FOOT MINIMUM
6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

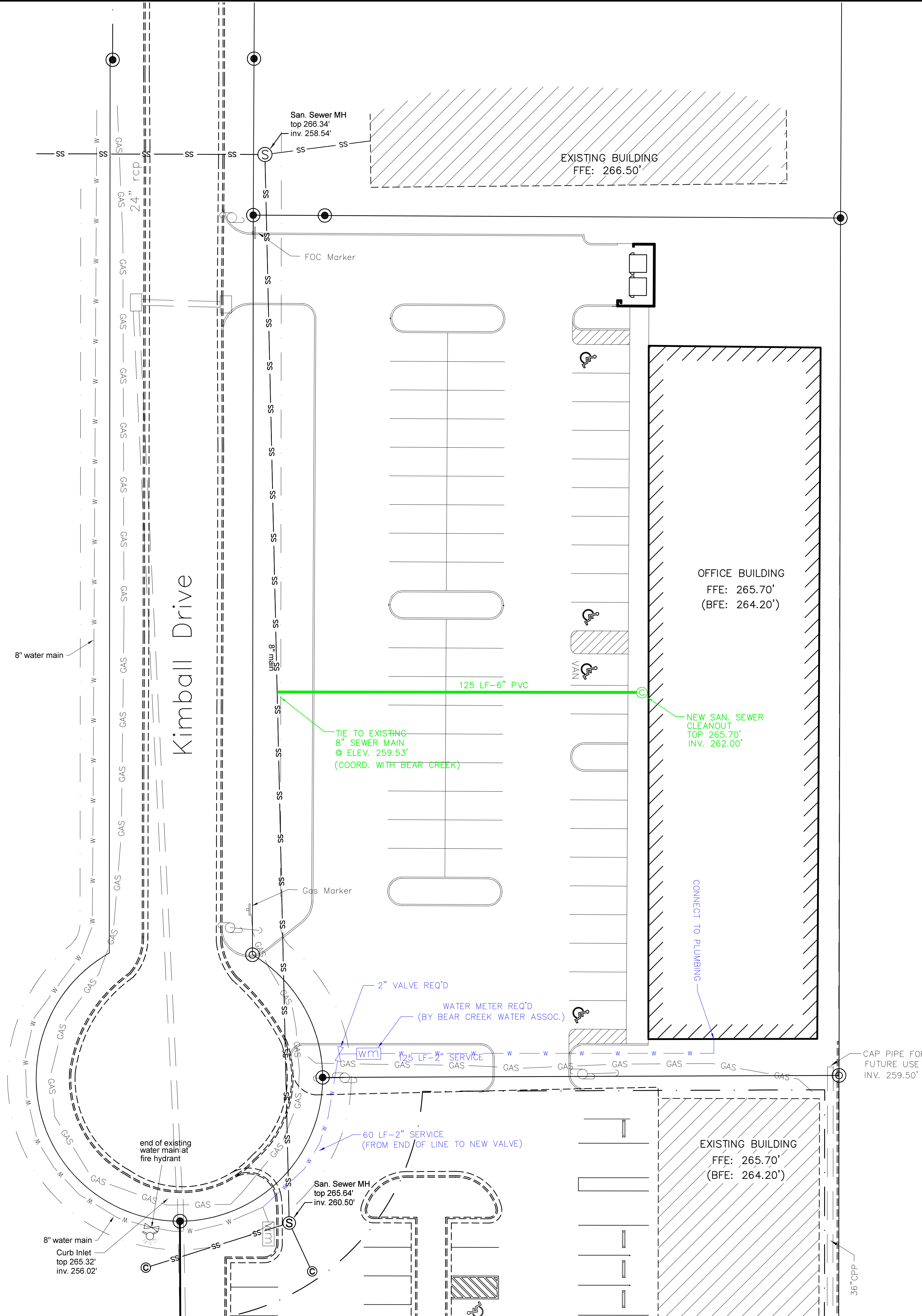


3 CONSTRUCTION ENTRANCE  
 C3.1 N.T.S.



5 CURB INLET GRAVEL AND WIRE MESH FILTER TRAP  
 C3.1 N.T.S.

NOTE: WHEN USED IN SEVERAL NEARBY LOCATIONS, ACCUMULATED SEDIMENT COULD BLOCK INLETS AND FLOODING MAY RESULT, LEAVE SPACE FOR OVERFLOW



### UTILITIES NOTES

#### 1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DSTRUCTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH ENTERGY.

GAS SERVICE TO BE COORDINATED WITH ATMOS.

#### 2. SANITARY SEWER AND WATER CONNECTIONS

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

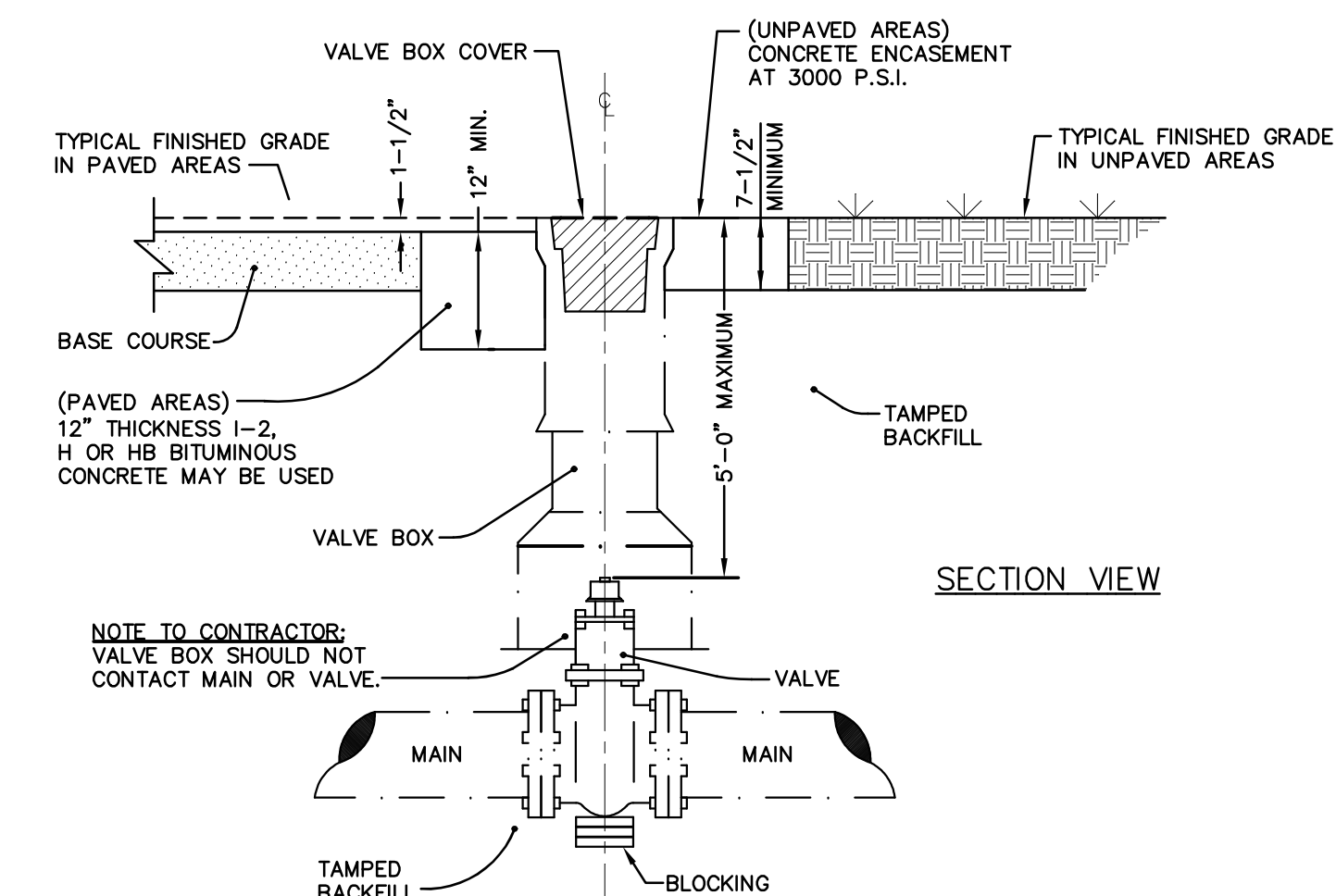
ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD. C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

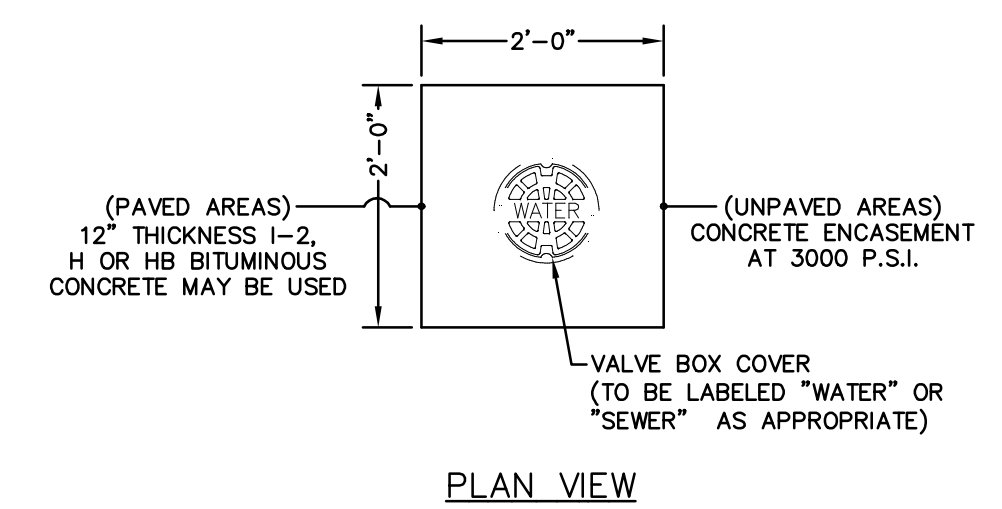
ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

CONTRACTOR TO FOLLOW THE BEAR CREEK WATER ASSOCIATION UTILITY CONNECTION INSPECTION GUIDE



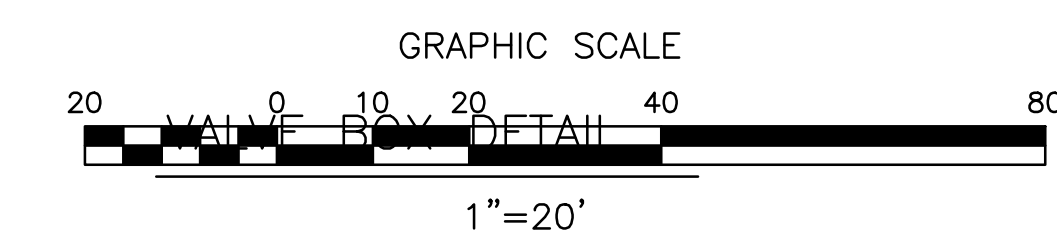
SECTION VIEW



PLAN VIEW

#### NOTES:

1. ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
2. VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5" (FL) FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
3. PRECAST CONCRETE ENCASUREMENT IS ALLOWED OUTSIDE OF PAVED AREAS.



No.	Revisions:	By:	Date:

BEARD ENGINEERING, INC.  
506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 925-5015

Project No.: # 4487  
Date: 12/05/2023  
Scale: 1" = 20'  
Designed By: CLB  
Reviewed By: CLB

UTILITY PLAN  
TATE BUILDING, PHASE 2  
GLUCKSTADT, MISSISSIPPI

C 4.0

Date:	
By:	
Revisions:	
No.	

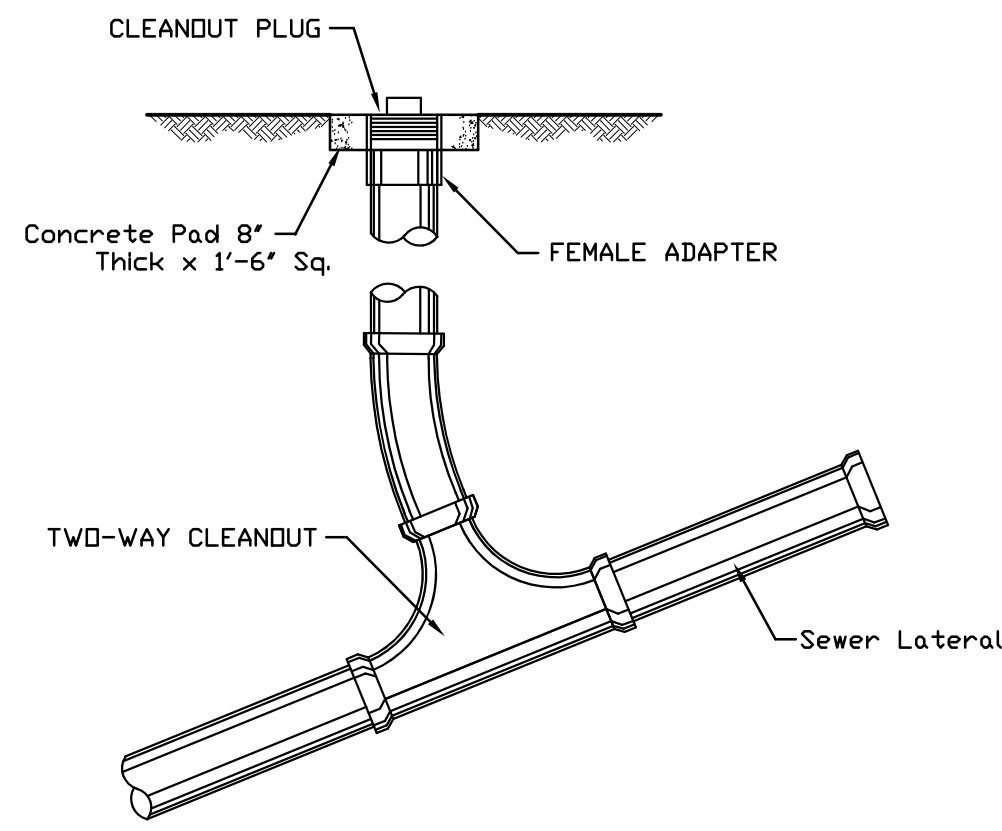
Section 4, Item B)
--------------------

BAIRD ENGINEERING, INC.  
 506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 925-5015

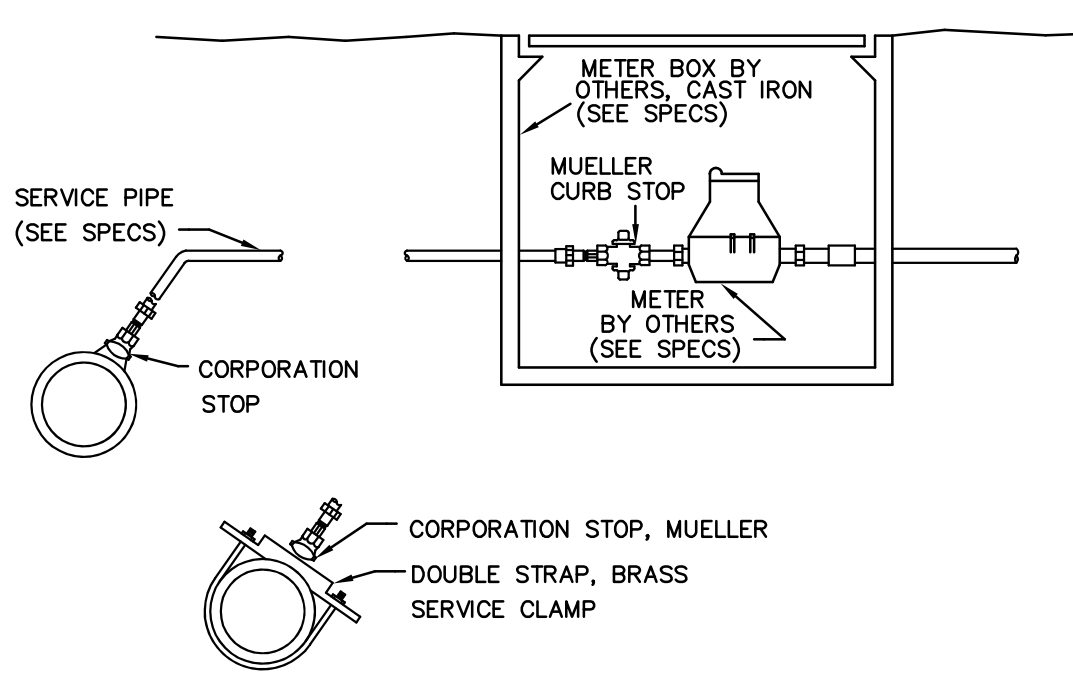
Project No.: # 4487  
 Date: 12/05/2023  
 Scale: N.T.S.  
 Designed By: CLB  
 Reviewed By: CLB

SITE DETAILS  
 TATE BUILDING, PHASE 2  
 GLUCKSTADT, MISSISSIPPI

SHEET  
 C5.0

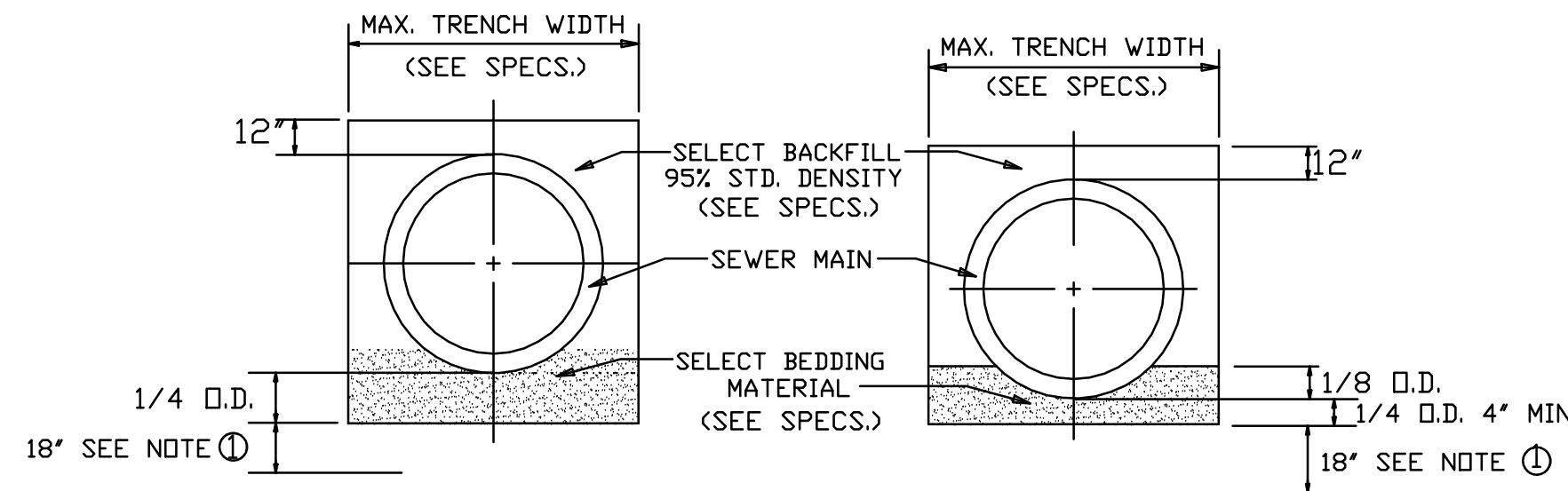


5 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL  
 C5.0 N.T.S.



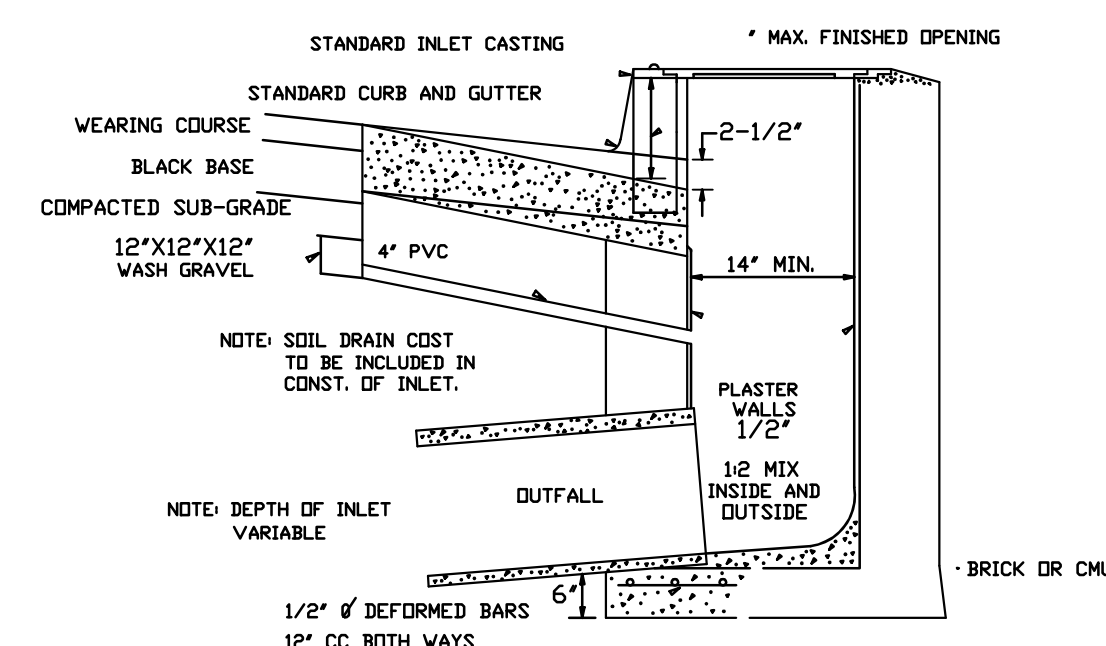
1 TYPICAL SERVICE ASSEMBLY  
 C5.0

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY OF JACKSON PRIOR TO INSTALLATION.



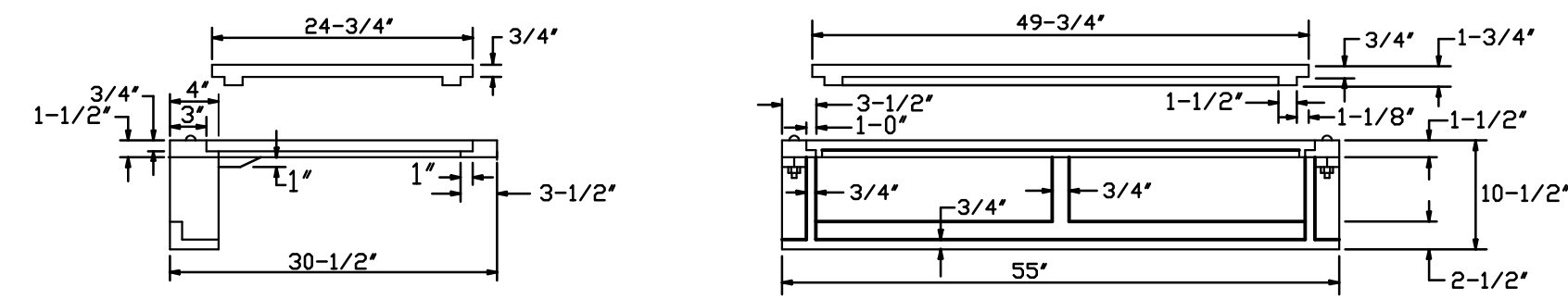
TYPICAL SECTION CLASS "B" BEDDING  
 TYPICAL SECTION CLASS "C" BEDDING

- ① DEWATERING REQ'D. TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- ② WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



SECTION OF STANDARD CURB INLET  
 NO SCALE

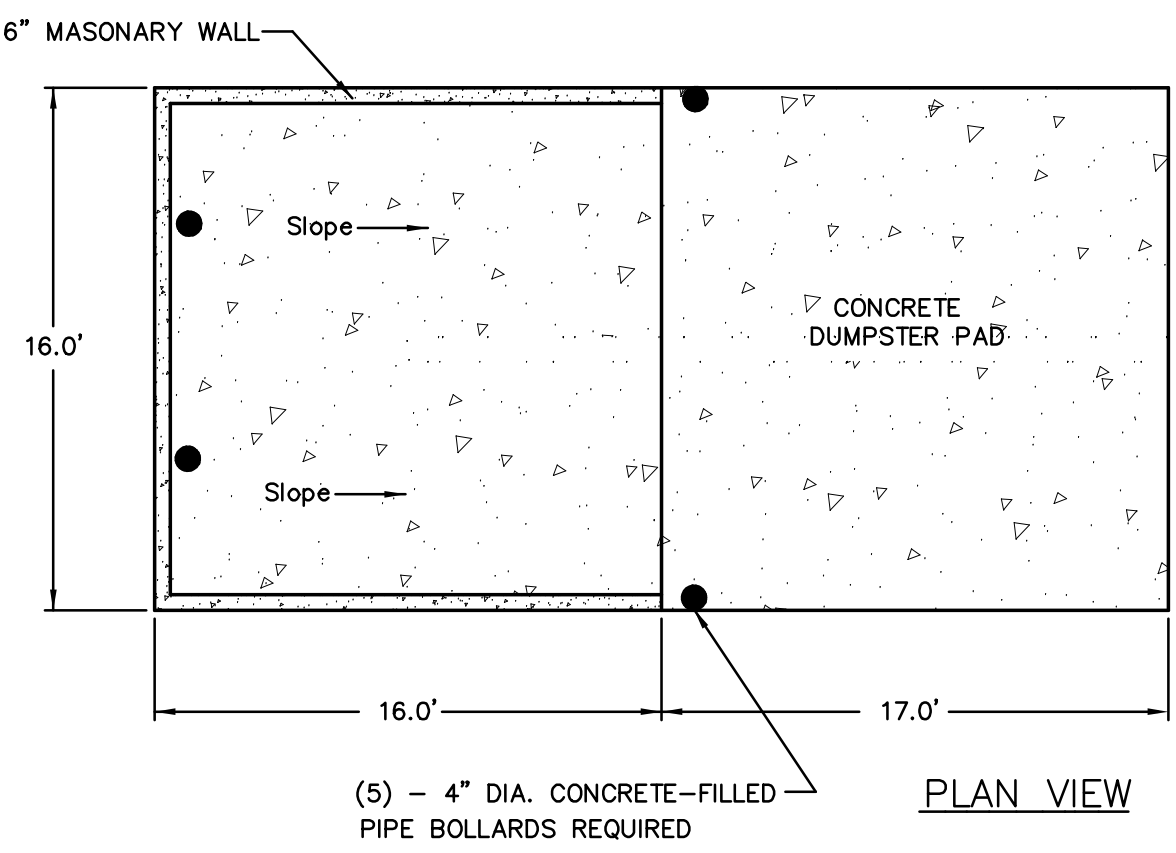
7 CURB INLET DETAIL  
 5.0 N.T.S.



STANDARD CURB INLET CASTING  
 ( VULCAN RCB-7 )  
 NO SCALE

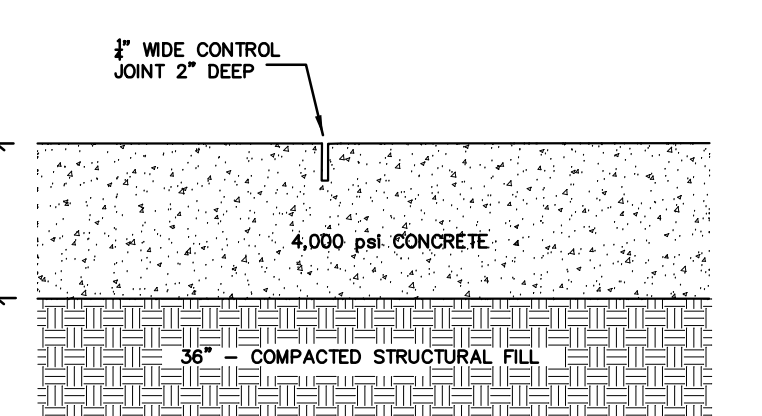
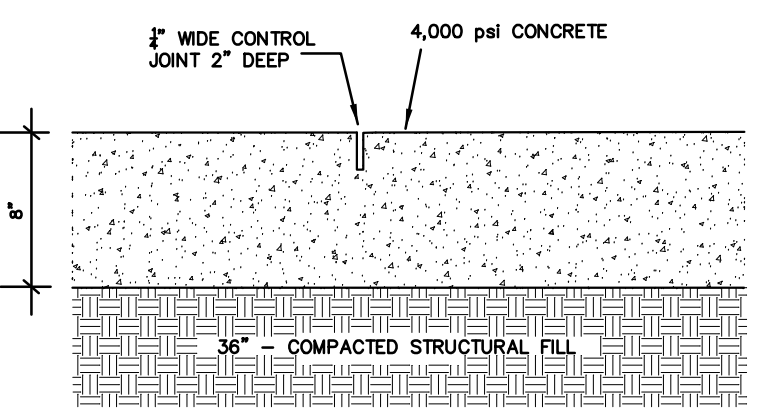
- NOTES
- 6 FOOT TALL CYCLONE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
  - 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
  - DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.

6 DUMPSTER DETAIL  
 C5.0 N.T.S.

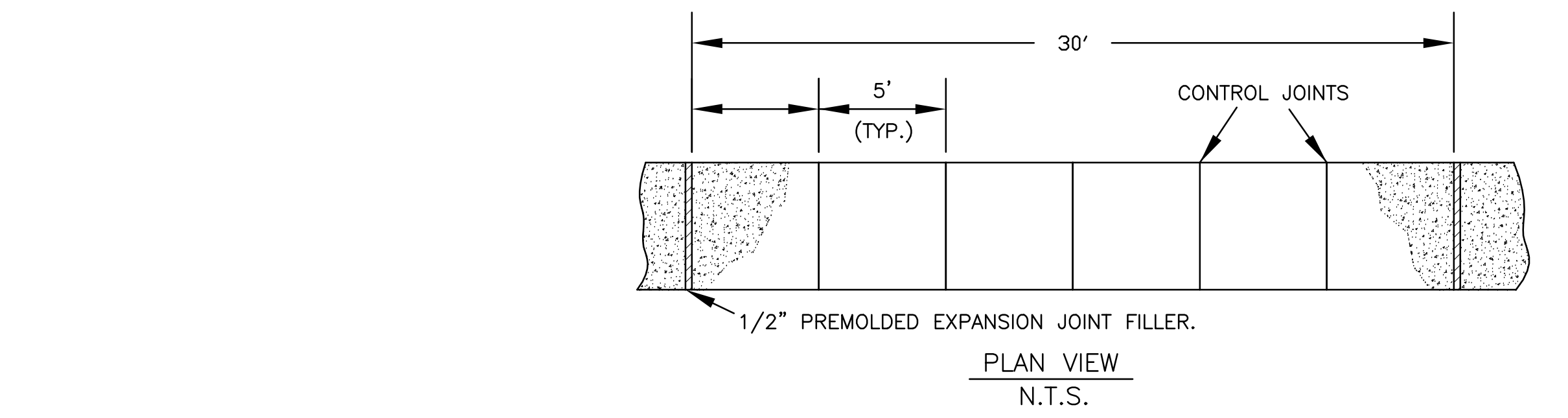


- SLAB PROFILE:
- TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AS DESCRIBED IN THE GEOTECHNICAL REPORT BY BURNS COOLEY DENNIS, INC.
  - EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  - AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
  - THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
  - SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

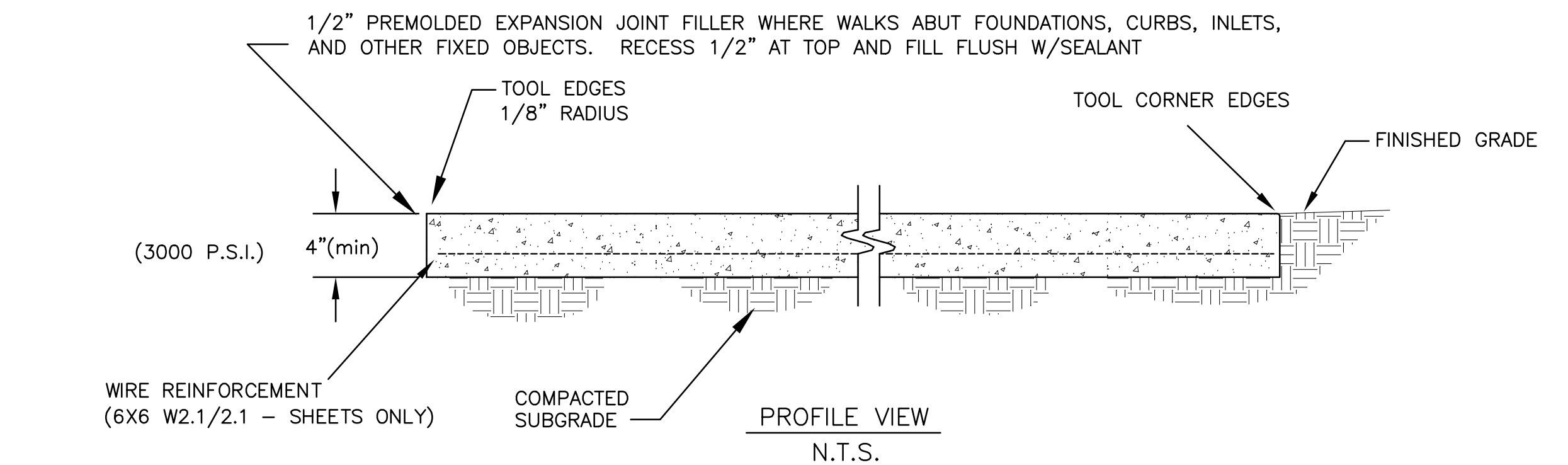
7 HEAVY DUTY CONCRETE (DUMPSTER AREA)  
 C5.0 N.T.S.



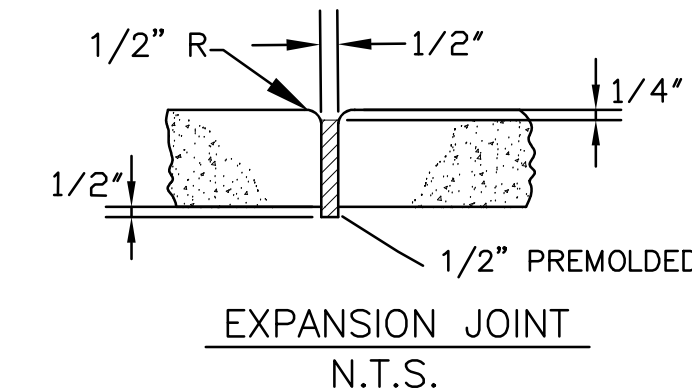
8 MEDIUM DUTY CONCRETE PAVEMENT DETAIL  
 5.0 N.T.S.



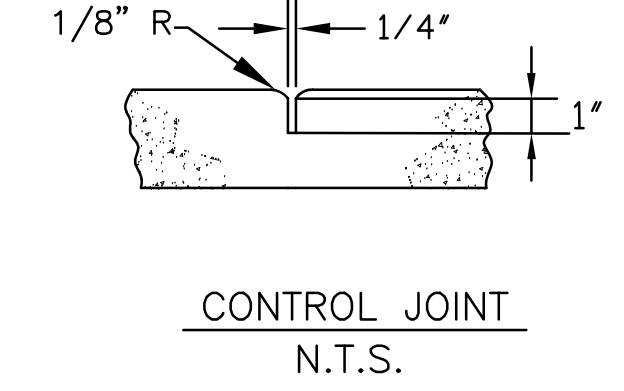
PLAN VIEW  
 N.T.S.



PROFILE VIEW  
 N.T.S.



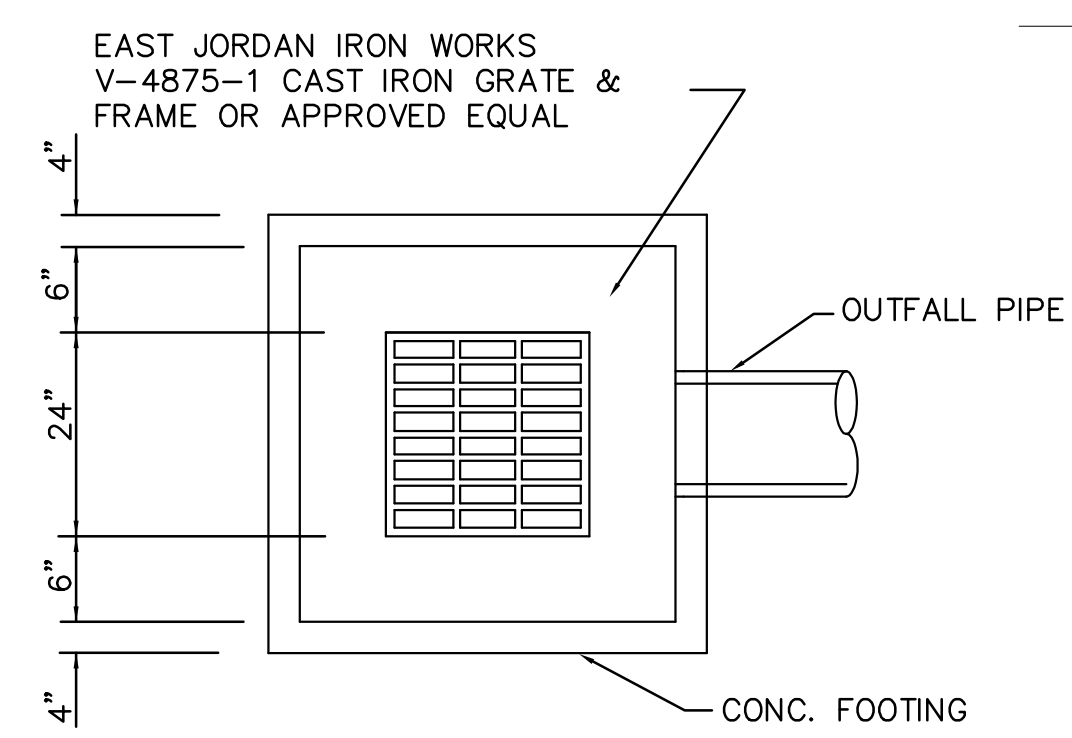
EXPANSION JOINT  
 N.T.S.



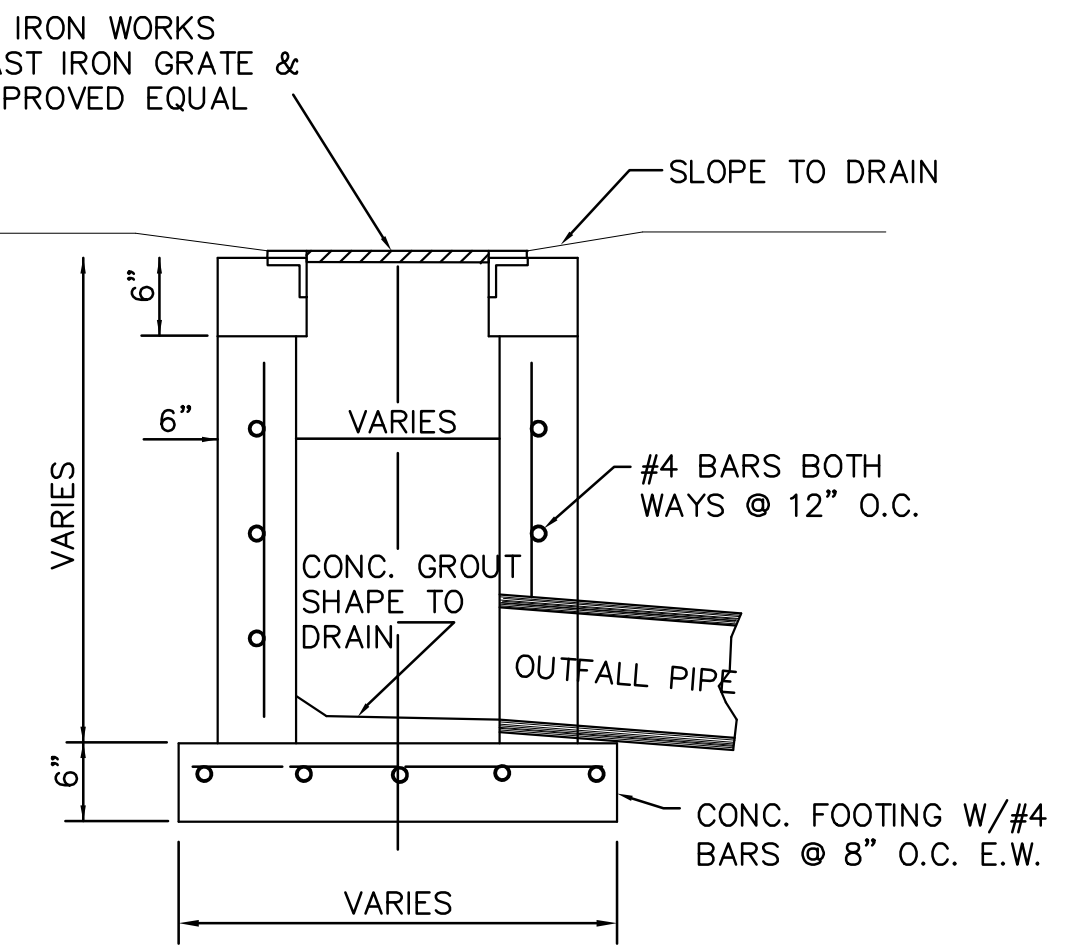
CONTROL JOINT  
 N.T.S.

- NOTES:
- CONCRETE SHALL BE 3,000 PSI MINIMUM
  - 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
  - PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
  - HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

3 CONCRETE SIDEWALK SECTION DETAILS  
 C5.0 N.T.S.

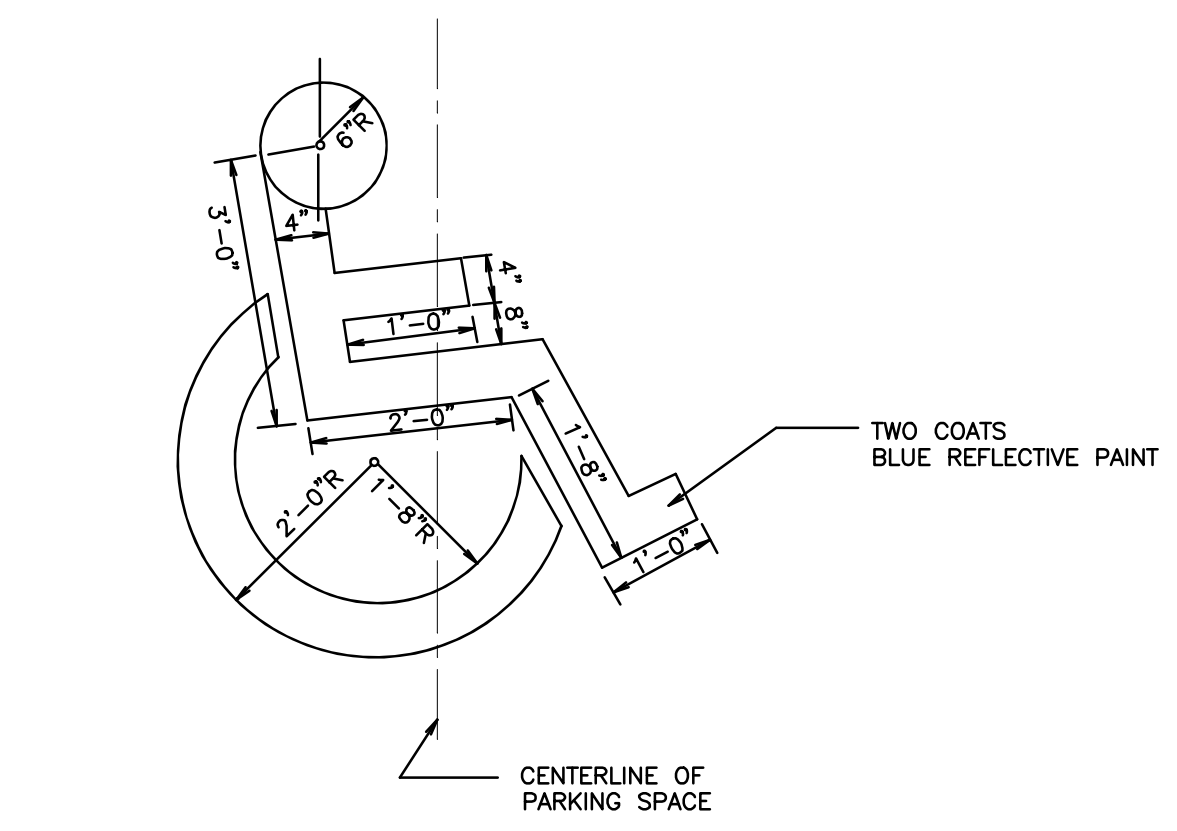


GRATE INLET - PLAN VIEW  
 USE ALSO FOR JUNCTION BOX WITHOUT GRATE. USE CONCRETE TOP INSTEAD.



GRATE INLET - SECTION VIEW  
 USE ALSO FOR JUNCTION BOX

9 GRATE INLET DETAIL  
 5.0 N.T.S.



4 ACCESSIBILITY PARKING SYMBOL  
 C5.0 N.T.S.

- NOTES
- ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
  - ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.
  - BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

### City of Gluckstadt

### Application for Conditional Use

Subject Property Address: Corner Sawell Rd & Hwy 51, 2210  
Parcel #: 082F -14 -49 /00.00

Owner: Rav Bedi  
Address: 2210 Hwy 51

Applicant: Rav Bedi  
Address: 2210 Hwy 51

Phone #: 601-238-5918  
E-Mail: bediinvestments@gmail.com

Phone #: 601-238-5918  
E-Mail: bediinvestments@gmail.com

Current Zoning District: C-2  
Acreage of Property (if applicable): 3.23 ac  
Use sought of Property: Retail

2023266

**Requirements of Applicant:**

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

**Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)**

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

**By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.**

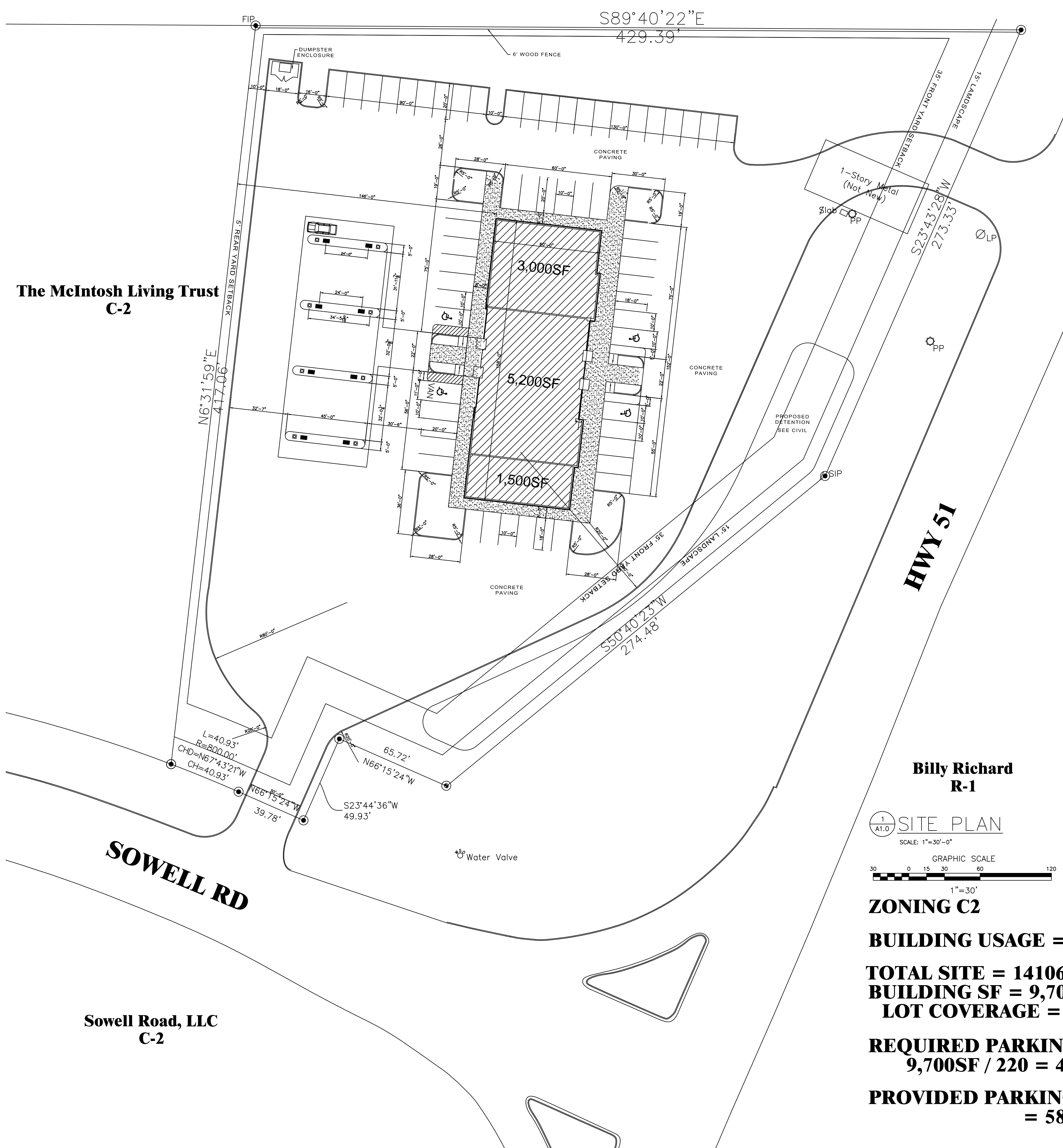
  
\_\_\_\_\_  
**Applicant Signature**

11-22-23  
\_\_\_\_\_  
**Date**

  
\_\_\_\_\_  
**Property Owner Signature**

11-22-23  
\_\_\_\_\_  
**Date**

**Kanwal & Sowita Nair  
R-2**

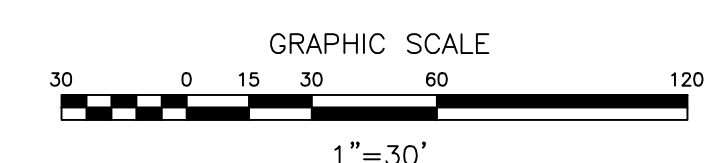


**Storage 51, LLC  
C-2**



**Billy Richard  
R-1**

**SITE PLAN**  
SCALE: 1"=30'-0"



**ZONING C2**

**BUILDING USAGE = RETAIL**

**TOTAL SITE = 141063SF**  
**BUILDING SF = 9,700SF**  
**LOT COVERAGE = 7%**

**REQUIRED PARKING**  
**9,700SF / 220 = 44 SPACES**

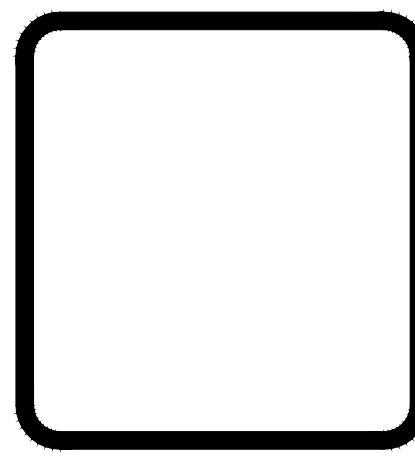
**PROVIDED PARKING**  
**= 58 SPACES**

**The McIntosh Living Trust  
C-2**

**SOWELL RD**

**Sowell Road, LLC  
C-2**

REVISIONS	BY



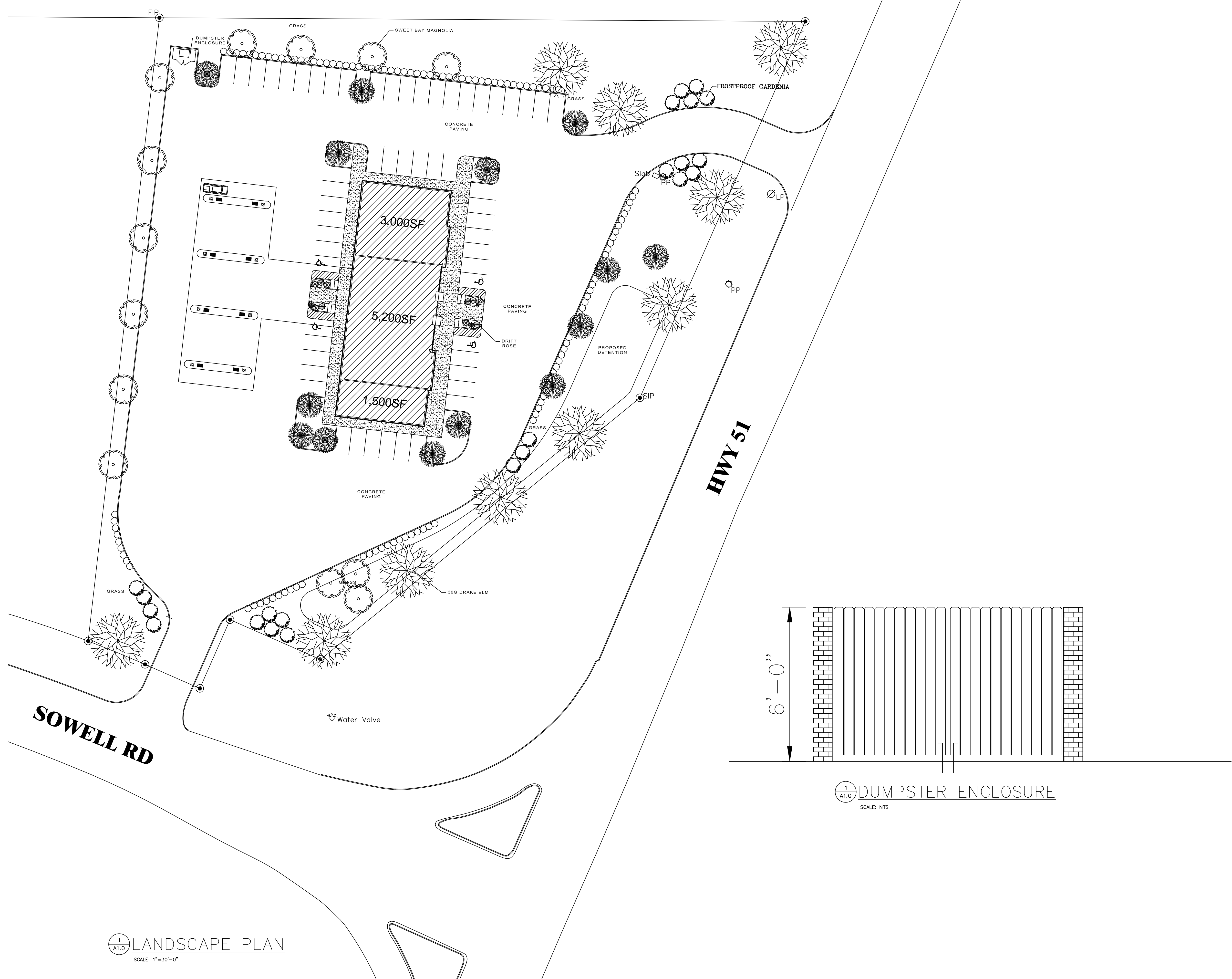
**WOOLDRIDGE & ASSOCIATES**  
 464 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-8885  
 WOOLDRIDGEARCHITECTURE@YAHOO.COM

**Sowell Road Shell**  
 Corner of Sowell Rd. & Hwy. 51  
 Gluckstadt, Mississippi

THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE
3/2/22
SCALE
JOB NO.
SHEET
A0.0

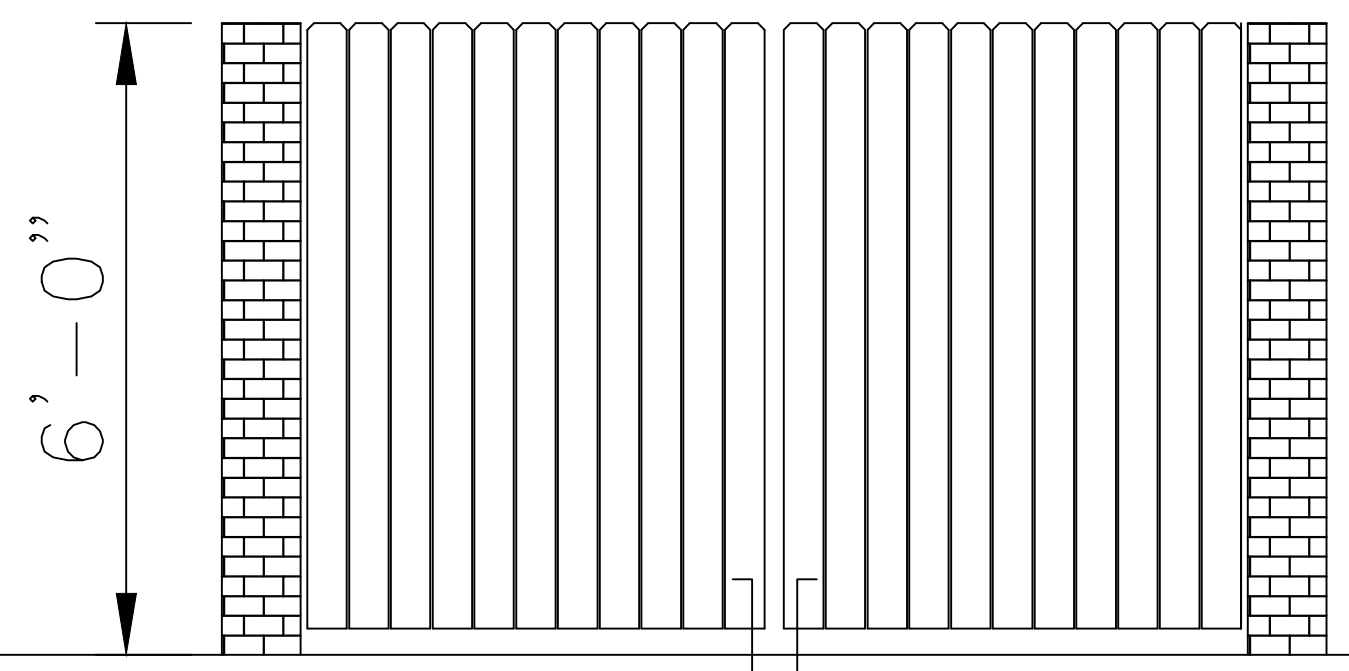
DW 3/28/2022 3:33 PM SITE PLAN.dwg



LANDSCAPE PLAN  
SCALE: 1"=30'-0"

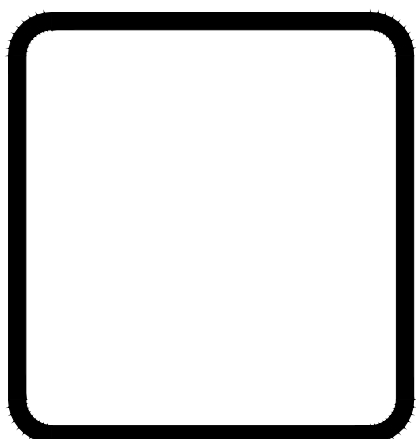
HWY 51

SOWELL RD



1  
A1.0 DUMPSTER ENCLOSURE  
SCALE: NTS

REVISIONS	BY



**W**

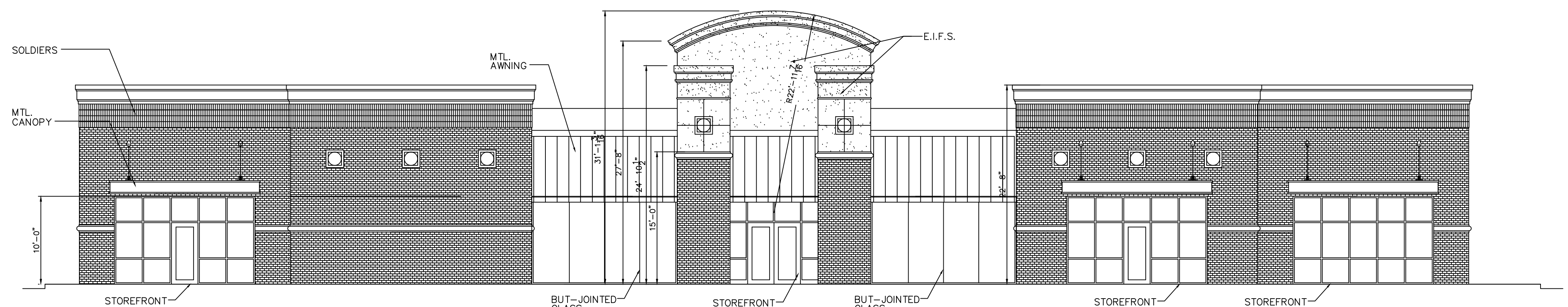
WOOLDRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8885  
WOOLDRIDGEARCHITECTUREFIRM.COM

Sowell Road Shell  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

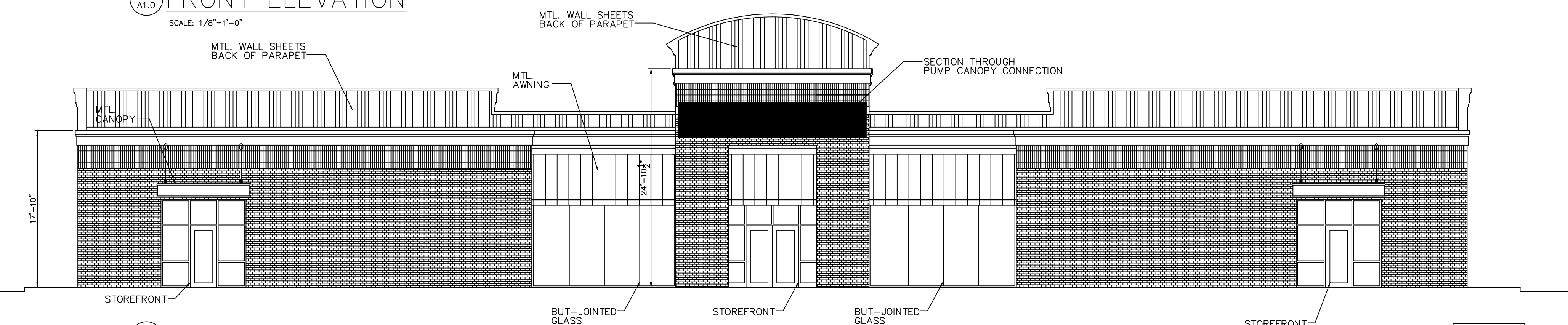
THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET A0.1
OF SHEETS

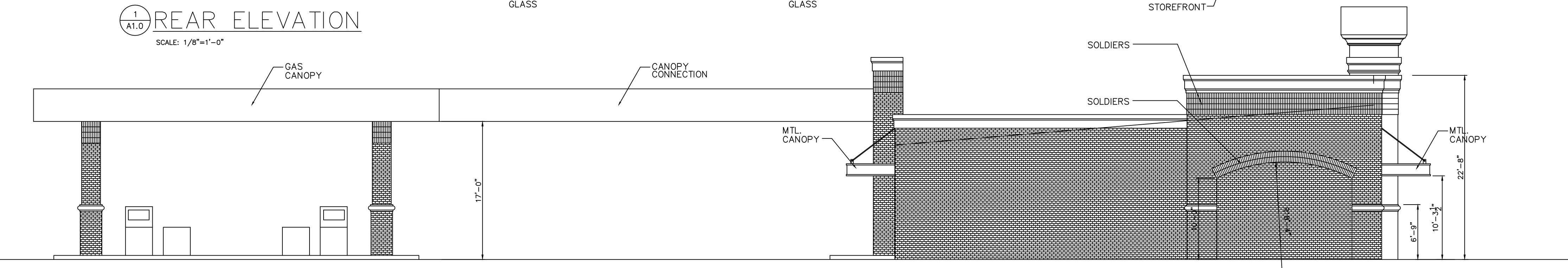




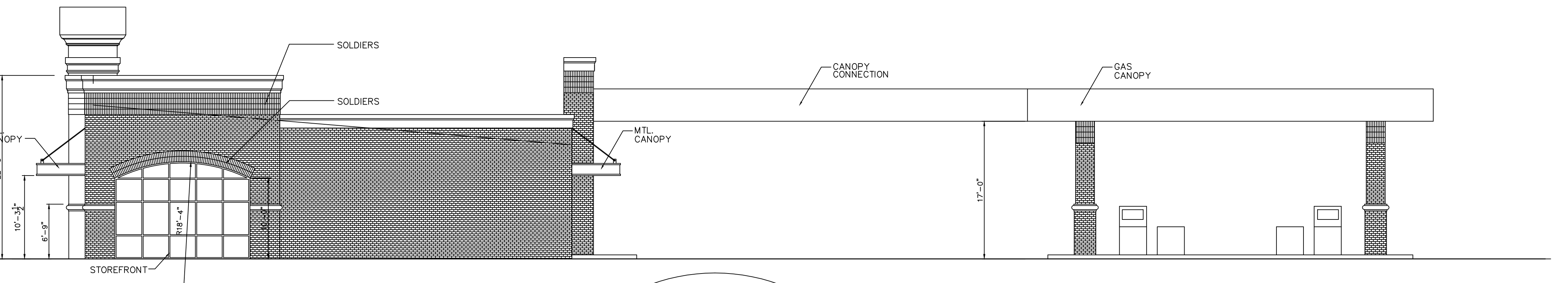
1 FRONT ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 REAR ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

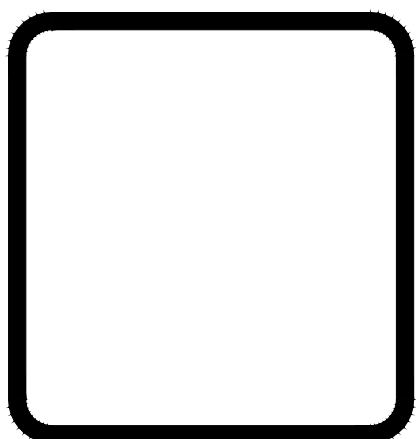


1 SIDE ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"



1 CANOPY ELEVATION  
A1.0  
SCALE: 1/8"=1'-0"

REVISIONS	BY



WOOLRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8865  
WOOLRIDGEARCHITECTUREFIRM.COM

Sowell Road Shell  
Corner of Sowell Rd. & Hwy. 51  
Gluckstadt, Mississippi

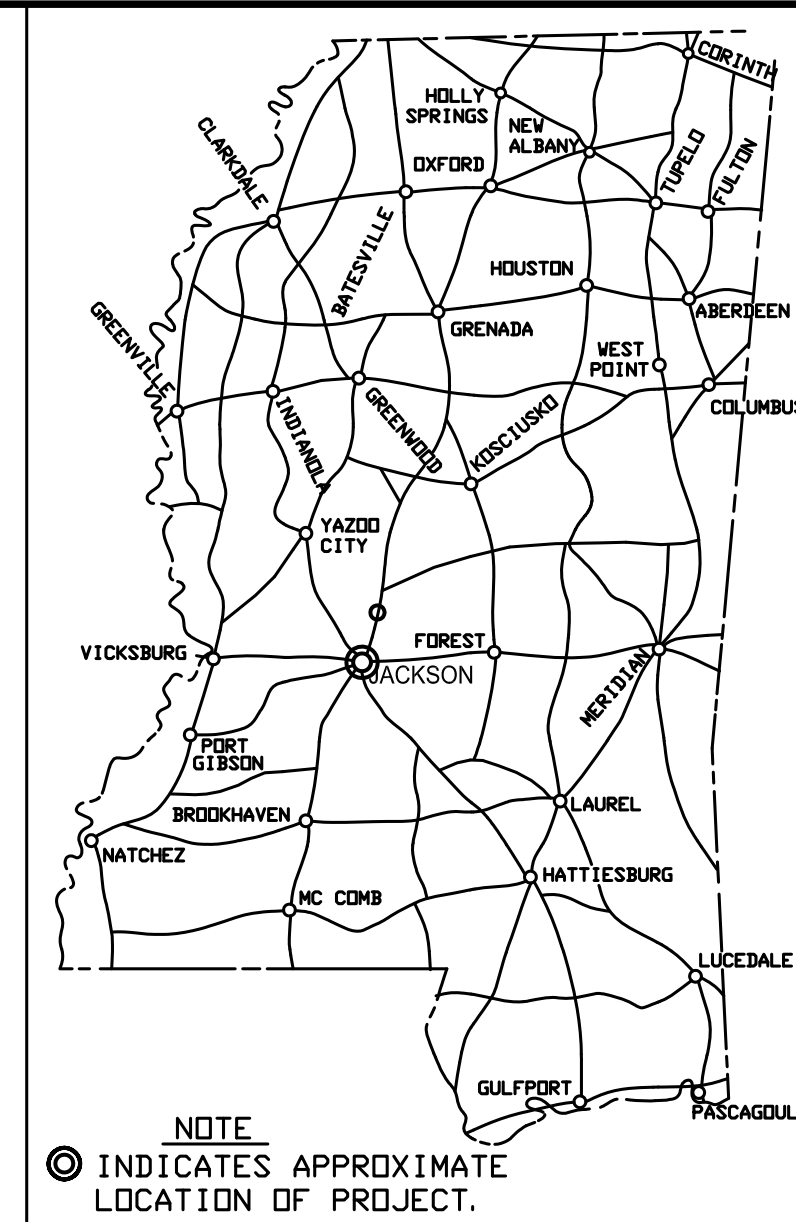
THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 3/2/22
SCALE
JOB NO.
SHEET A3.0
OF SHEETS

DW 3/28/2022 3:33 PM SITE PLAN.dwg



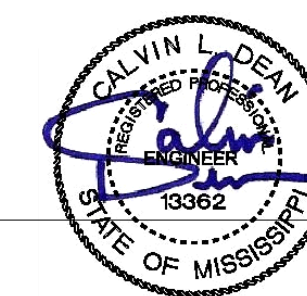
# SITE DEVELOPMENT PLANS NEW CONVENIENCE STORE 2210 HIGHWAY 51 GLUCKSTADT, MS



PROJECT SITE

**Crown Engineering, PLLC**  
 Engineers & Project Managers  
 P.O. Box 16812  
 Jackson, MS 39236  
 Ph.: (601)713-4346

**VICINITY MAP**  
 NOT TO SCALE  
 OCTOBER 2023



DATE: 10.11.2023

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	Title Sheet
2	Existing Site Survey
3	Site Plan
4	Grading, Drainage, and Erosion Control Plan
5	Utility Layout Plan
6	Miscellaneous Detail Sheet

Date:	
By:	
Revisions:	
No.	

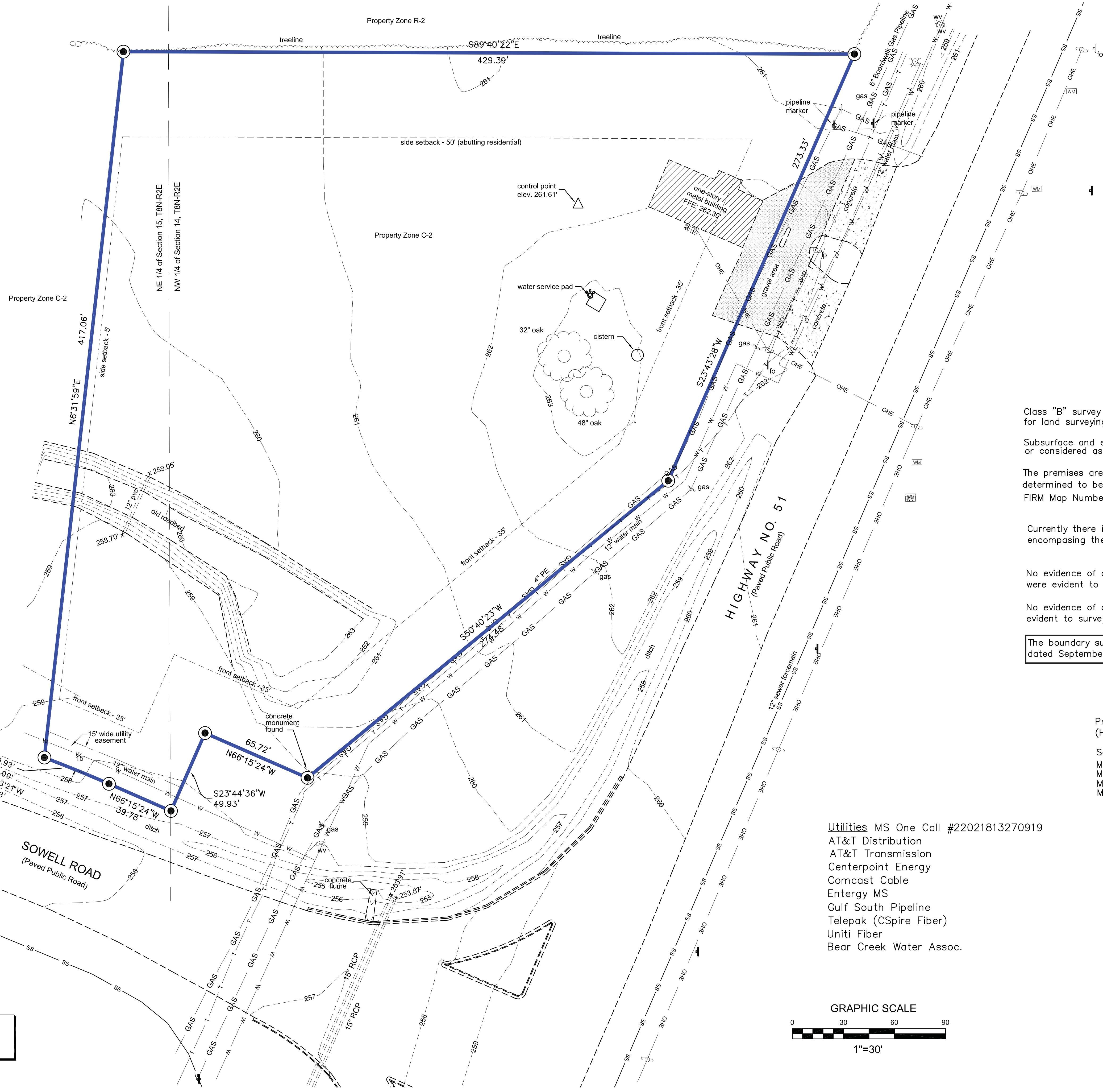
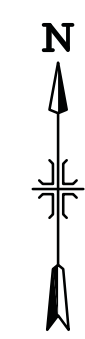
No.	
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BAIRD ENGINEERING, INC.  
506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 925-5015

Project No.: # 4532  
Date: 02/17/2022  
Scale: 1" = 30'  
Drawn By: CLB  
Reviewed By: CLB

TOPOGRAPHIC SURVEY OF CERTAIN PROPERTY IN THE NE 1/4 OF SECTION 15, T8N-R2E AND THE NW 1/4 OF SECTION 14, T8N-R2E, MADISON COUNTY, MISSISSIPPI

DRAWING NUMBER  
**C-1**  
SHEET NO.  
2 of 6



Vertical elevations are referenced to NAVD88

This property may be subject to recorded or unrecorded easements, rights-of-way or other encumbrances which are not evident to the surveyor, but which would be revealed by a title search performed by a competent attorney.

Basis of Bearing: the bearings on this plat are based on and referenced to the Mississippi State Plane Coordinate System Grid North (NAD83—West Zone) as derived using RTK GPS observations using Cors Stations MSJK and MSYZ.

This TOPOGRAPHIC survey was performed and this plat was prepared by Baird Engineering, Inc., 506 Jefferson Street, Clinton, MS 39056 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on February 17, 2022.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

The premises are situated in Zone X—Other Areas, which is defined as, "Areas determined to be outside the 0.2% annual chance floodplain", as shown on FIRM Map Number 28089C0415F, effective date of March 17, 2010.

Currently there is no earth moving work or building construction encompassing the entire property as evident to surveyor at time of survey.

No evidence of a solid waste dump, sump or sanitary landfill were evident to surveyor at time of survey.

No evidence of cemeteries, gravesites or burial grounds were evident to surveyor at time of survey.

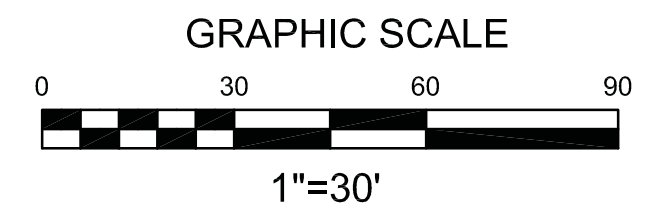
The boundary survey for this property was performed by Ron McMaster, Jr. dated September 7, 2021.

Property is zoned C-2 (Highway Commercial District)

Setback Limits:  
Minimum Front Yard Requirements: 35 feet  
Minimum Side Yard Requirements: 5 feet  
Minimum Rear Yard Requirements: 5 feet  
Minimum Side & Rear Requirements Abutting Residential: 50 feet

Utilities MS One Call #22021813270919  
AT&T Distribution  
AT&T Transmission  
Centerpoint Energy  
Comcast Cable  
Entergy MS  
Gulf South Pipeline  
Telepak (CSpire Fiber)  
Uniti Fiber  
Bear Creek Water Assoc.

TOTAL ACRES: 3.2389 acres



LEGEND

	UTILITY POLE		CABLE PEDESTAL
	GAS VALVE		TELEPHONE PEDESTAL
	WATER VALVE		SIGN
	1/2" IRON REBAR FOUND		STORM INLET
	1/2" IRON REBAR SET (18" long)		SAN. SEWER MANHOLE
	LIGHT POLE		SAN. SEWER
	WATER METER		GAS LINE
	SEWER CLEANOUT		UNDERGROUND TELECOM
	POWER METER		CONTOURS
	GAS METER		OVERHEAD POWER
	MONITORING WELL		UNDERGROUND ELECTRIC
	FIRE HYDRANT		WATER MAIN
			UNDERGROUND POWER
			FENCE

**GENERAL CONSTRUCTION NOTES:**

- Prior to construction, the Contractor shall be responsible for obtaining all permits from the City of Gluckstadt. Coordination by the contractor with the City should continue throughout the entire construction phase. All dimensions and specifications shall be checked and verified by the Contractor prior to the commencement of work.
- All proposed concrete curb and gutter, sidewalks, and concrete structures to be constructed of 3,500 psi concrete. See Drawing C-5 for details for curb and gutter, concrete pavement, sidewalks and other items not shown on this sheet.
- Unless otherwise noted, all striping shall comply with the manual on uniform traffic control devices (latest version).
- See topographic survey and/or civil drawings for all identified utilities. The contractor shall be responsible for determining the exact location of all existing utilities and shall contact any public and/or private utility company prior to construction. (Mississippi One-Call (811) or (601-362-4374).
- The Contractor shall be responsible for traffic control at or near the project site.
- It shall be the responsibility of the contractor to protect existing structures, fire hydrants, pipes, inlets, etc. from damages which might occur during construction. Extreme care should be exercised in work done in this vicinity. The contractor shall replace or repair any structures damaged during the life of the contract.
- Any utility line or service encountered during the construction whether shown on the plans or not, shall be protected by the contractor at no additional cost to the Owner.
- Provide expansion joints with 3/4" expansion joint material at intervals not greater than 30 feet for curb and gutter. Provide contraction joints in curb and gutter at intervals of no greater than 10 feet.
- Daily cleanup of materials and supplies will be required. The job site shall be maintained in a neat and orderly fashion. All Spoil Material (Trees, Shrubs, Old Pavement, etc.) shall be removed on a daily basis.
- The Contractor shall be required to maintain local access to all abutting properties during construction.
- All Areas where the natural vegetation is removed or destroyed during construction shall be seeded, mulched and fertilized, sodded, or planted as required by the Landscape Plan. Any and all temporary structures, embankments and culverts constructed during the progress of work shall be removed and the area restored to its original condition.
- Temporary and Construction Fencing shall be required where applicable.
- The Contractor's Field Representative shall be On-Site any time work is being conducted.
- All Existing Utilities requiring adjustment shall be done by Utility Owners. The Contractor shall be responsible for all repairs to existing utilities damaged during construction.

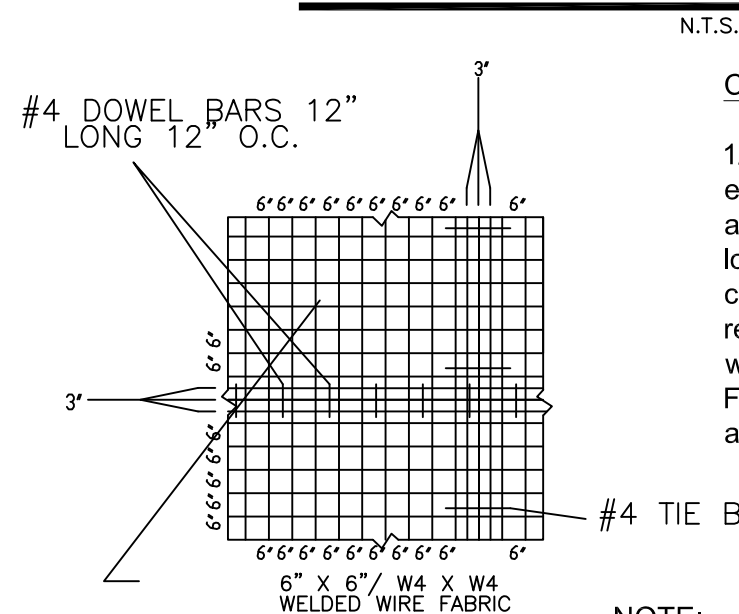
**PARKING REQUIREMENTS**

- PARKING STALL SIZE: (SEE PLANS)
- REQUIRED:

RETAIL: ONE PARKING SPACE FOR EACH 220 SQUARE FEET OF GROSS FLOOR AREA (APPROX. 9700 SQ.FT.) REQUIRED: 44 SPACES.

PROVIDED: 58 STALLS  
INCLUDES 4 HANDICAP STALLS

**EXPANSION JOINT DETAIL FOR CONCRETE PAVEMENT (MIN. 3500 PSI)**



**CONSTRUCTION NOTES:**

1/2" Expansion Joints Required every 30' feet transversely and at center of the driveway longitudinally. Transverse contraction joints shall be required every 10 feet o.c. 1/4" wide and 1 1/2" deep. Wire Fabric shall be held in place by approved chairs or supports.

**NOTE:**

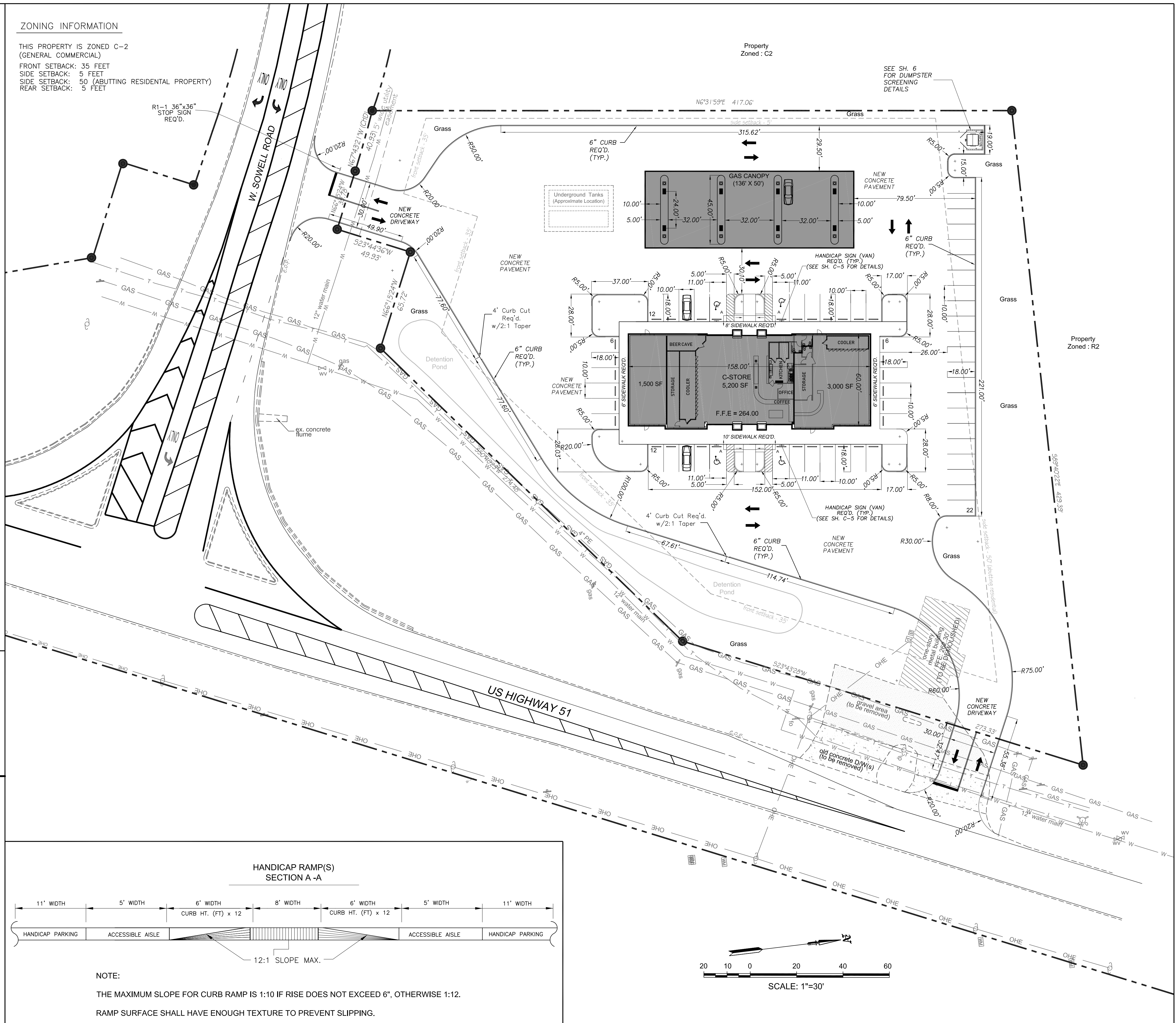
An Alternate Reinforcement can be used as approved by the Engineer.

TRANSVERSE EXPANSION JOINT (30' C. to C)

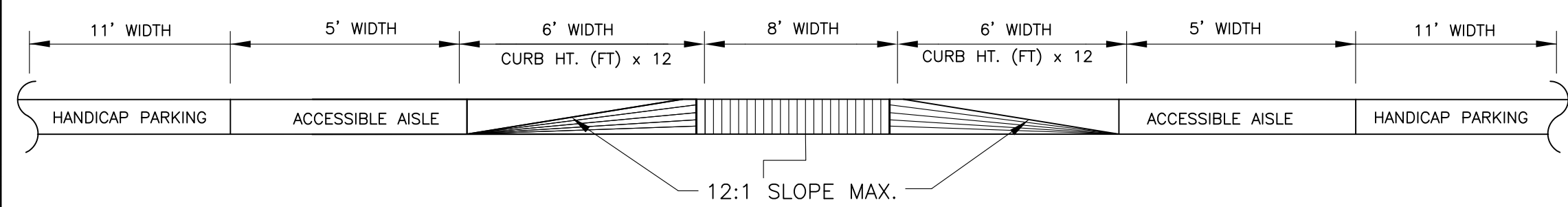
SEE SH. C-5 FOR CONCRETE PAV'T. DETAILS

**ZONING INFORMATION**

THIS PROPERTY IS ZONED C-2 (GENERAL COMMERCIAL)  
FRONT SETBACK: 35 FEET  
SIDE SETBACK: 5 FEET  
SIDE SETBACK: 50 (ABUTTING RESIDENTIAL PROPERTY)  
REAR SETBACK: 5 FEET



**HANDICAP RAMP(S) SECTION A-A**



**NOTE:**

THE MAXIMUM SLOPE FOR CURB RAMP IS 1:10 IF RISE DOES NOT EXCEED 6", OTHERWISE 1:12.  
RAMP SURFACE SHALL HAVE ENOUGH TEXTURE TO PREVENT SLIPPING.

SEAL

THE INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF CROWN ENGINEERING, PLLC AND WAS CREATED SOLELY FOR THE DEVELOPMENT OF THIS PROJECT. THIS DRAWING SHALL NOT BE RE-USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CROWN ENGINEERING, PLLC. THE ENGINEER SHALL BE HELD HARMLESS FROM ANY AND ALL DAMAGES, LOSSES AND EXPENSES ARISING FROM UNAUTHORIZED RE-USE OF THIS DRAWING. UNAUTHORIZED USE OF THE DRAWING IS STRICTLY PROHIBITED.

**Crown Engineering, PLLC**  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph: (601) 713-4346

DATE: 06/08/2023  
CHECKED: CD  
DESIGNED: CD  
DRAWN: JAC

**PROJECT:**  
SITE DEVELOPMENT PLANS  
NEW CONVENIENCE STORE  
2210 HIGHWAY 51  
GLUCKSTADT, MS

**SHEET TITLE:**  
SITE PLAN

NO.	REVISIONS

SCALE:  
1" = 30'

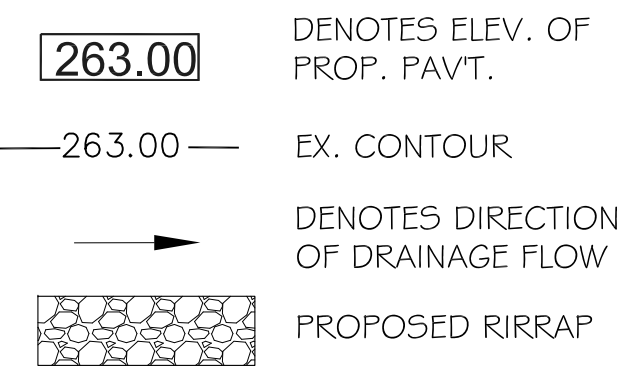
DRAWING NUMBER  
**C-2**  
SHEET NO.  
3 of 6

Construction Notes:

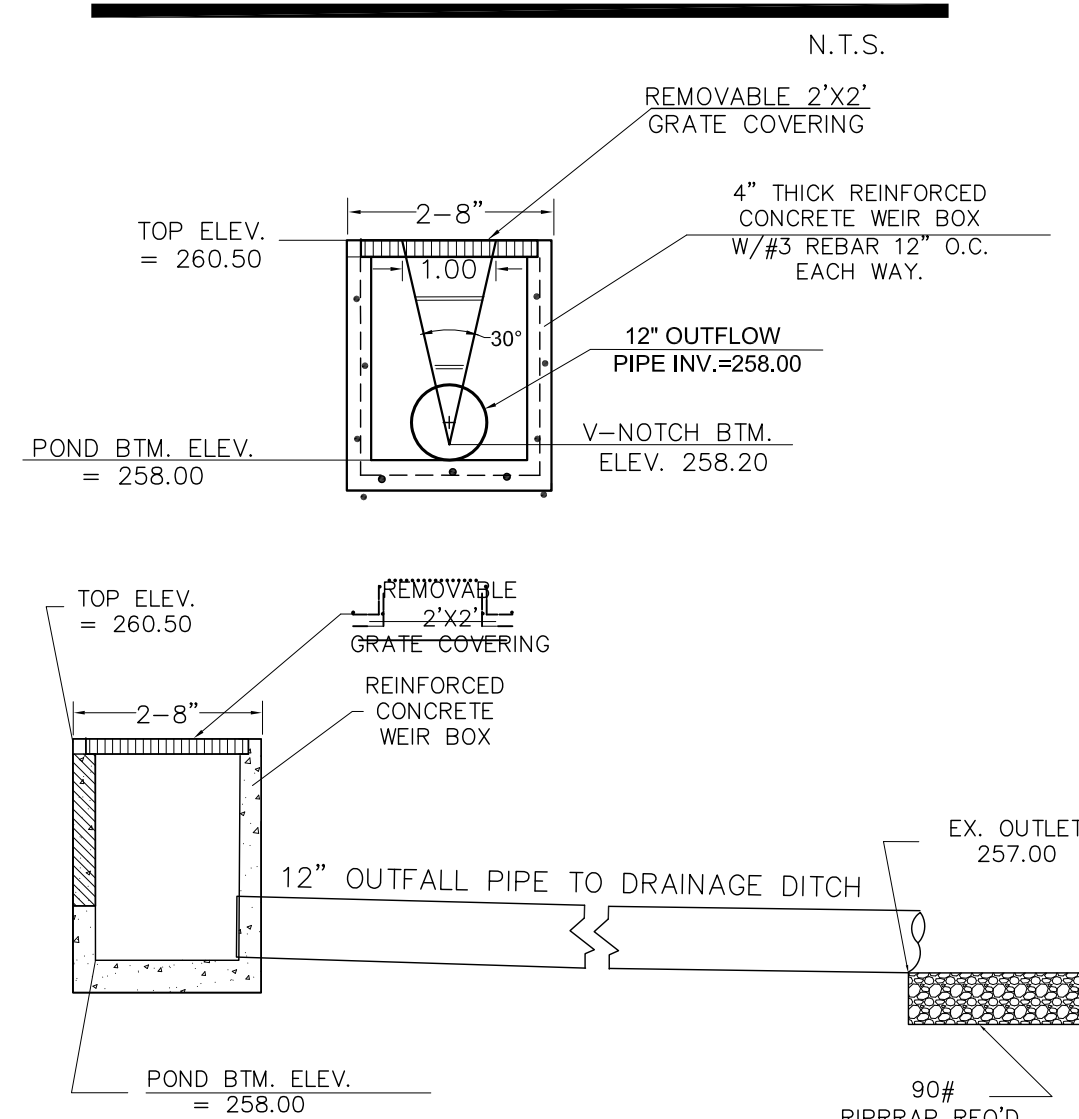
- Prior to excavation, The Contractor must coordinate directly with the involved owners to get underground utility lines field located in advance of construction.
- The Contractor shall be responsible for traffic control at or near the project site.
- It shall be the responsibility of the contractor to protect existing structures, pipes, inlets, selected trees, etc. from damages which might occur during construction. Extreme care should be exercised in work done in this vicinity. The contractor shall replace or repair any structures damaged during the life of the contract.
- Any utility line or service encountered during the construction whether shown on the plans or not, shall be protected by the contractor.
- Daily cleanup of materials and supplies will be required. The job site shall be maintained in a neat and orderly fashion.
- All Areas where the natural vegetation is removed or destroyed during construction shall be seeded, mulched and fertilized or sodded.
- Prior to the placement of any new pavement, the existing subgrade shall be proof-rolled and compacted to min. 95% of the Maximum Standard Proctor and loose soil encountered during compaction shall be removed and replaced with suitable backfill material as required. See Sheet C-5 for details.
- The Existing Contours on the Grading and Drainage Plan are based upon the latest survey supplied by the Surveyor.
- See Dwg. No. C-5 for details for pavement typical section, pipe installation, curb and gutter details
- The Drainage Basins for the Storm Drainage System shall be precast reinforced concrete or cast-in-place reinforced concrete and sized as shown on the drawings. All Storm Pipes shall be reinforced concrete and sized as shown on the drawings. All frames & grates shall be ductile iron per ASTM A536 grade 70-50-05 and shall be traffic rated for H-20 load. Installation shall be per manufacturer's instructions.
- Pipes, bends, tees, and other appurtenances necessary for the underground roof drainage system shall be connected as required for a watertight system and connected to the proposed storm drainage inlet as required. See Arch. Drawings for more details on final roof drain locations and spacing dimensions.

EROSION CONTROL ITEMS:

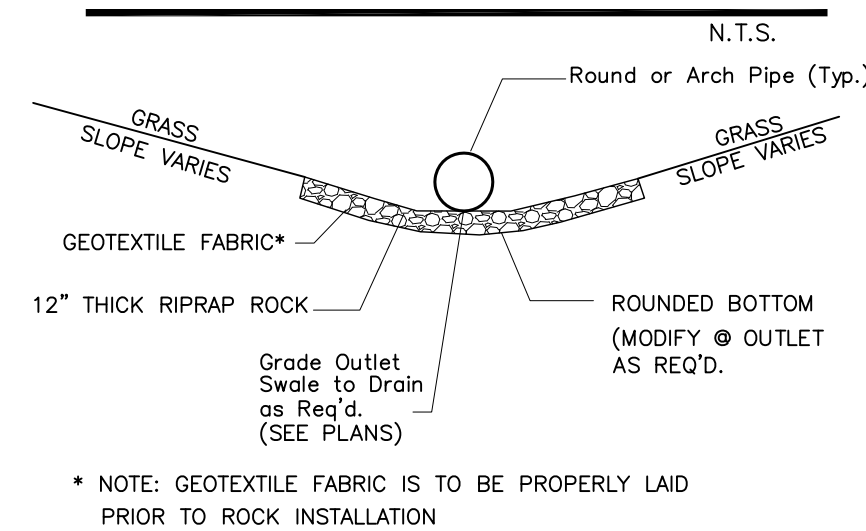
- The Contractor shall plan and execute construction and earthwork by methods to control surface drainage from cuts and fills and from borrow and waste disposal areas, to prevent erosion and sedimentation. The areas of bare soil exposed at one time shall be held to a minimum. Temporary control measures such as silt fences or wattles shall be provided as shown on the plans or as directed by the Engineer.
- See sheet Dwg. No. C-5 for stormwater management plan and installation details of the erosion control items.
- All appropriate measure shall be taken to insure fill materials, construction activities and structures will not encroach on adjacent properties.



CONCRETE V-NOTCH WEIR BOX DETAILS



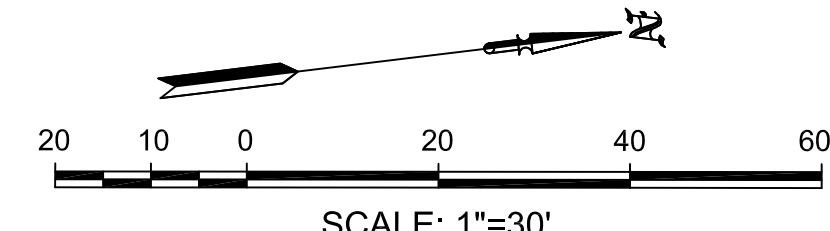
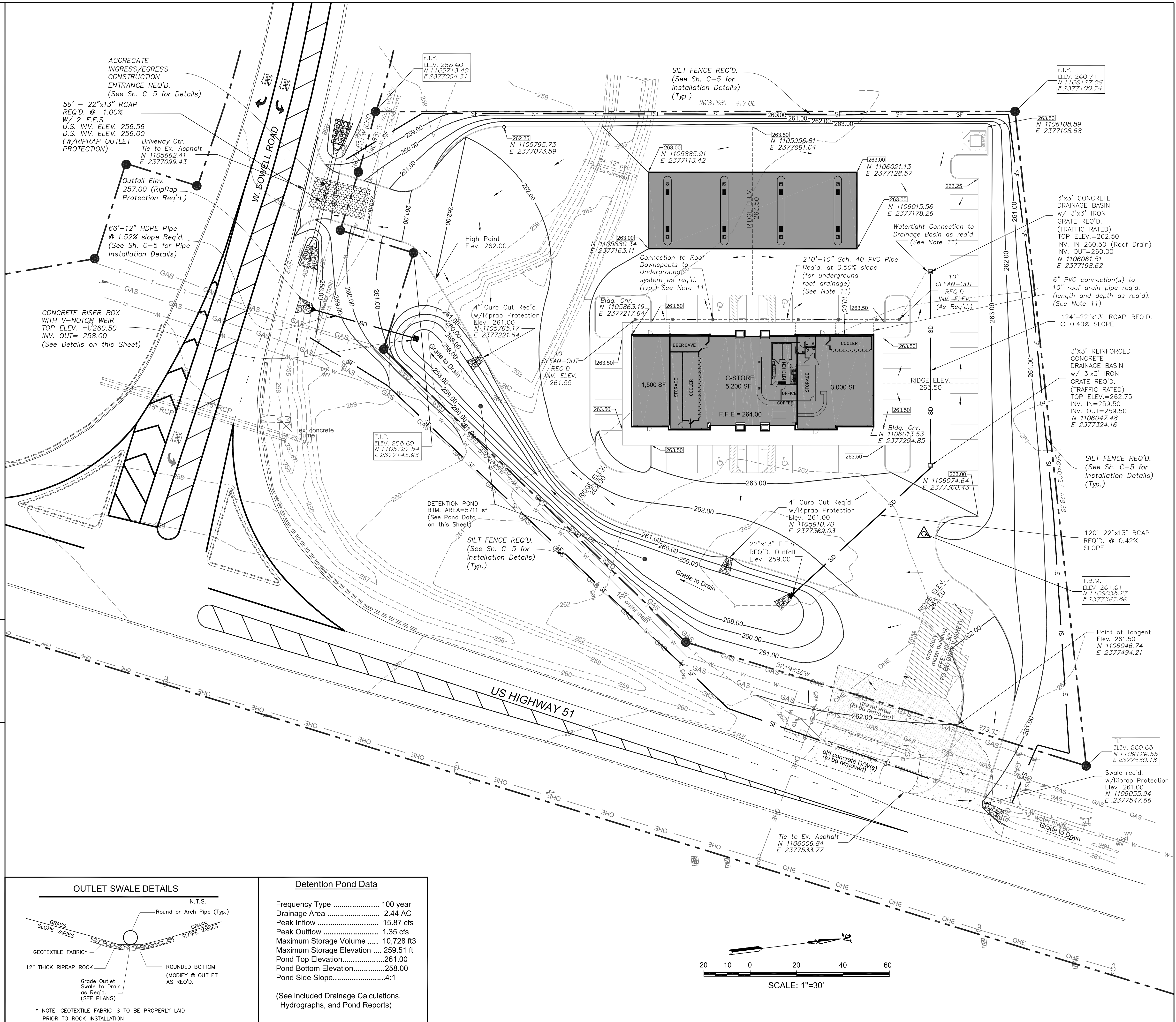
OUTLET SWALE DETAILS



Detention Pond Data

Frequency Type	100 year
Drainage Area	2.44 AC
Peak Inflow	15.87 cfs
Peak Outflow	1.35 cfs
Maximum Storage Volume	10,726 ft <sup>3</sup>
Maximum Storage Elevation	259.51 ft
Pond Top Elevation	261.00
Pond Bottom Elevation	258.00
Pond Side Slope	4:1

(See included Drainage Calculations, Hydrographs, and Pond Reports)



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**Crown Engineering, PLLC**  
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---

**PROJECT:**  
 SITE DEVELOPMENT PLANS  
 NEW CONVENIENCE STORE  
 2210 HIGHWAY 51  
 GLUCKSTADT, MS

---

**SHEET TITLE:**  
 GRADING, DRAINAGE  
 & EROSION CONTROL  
 PLAN

---

REVISIONS

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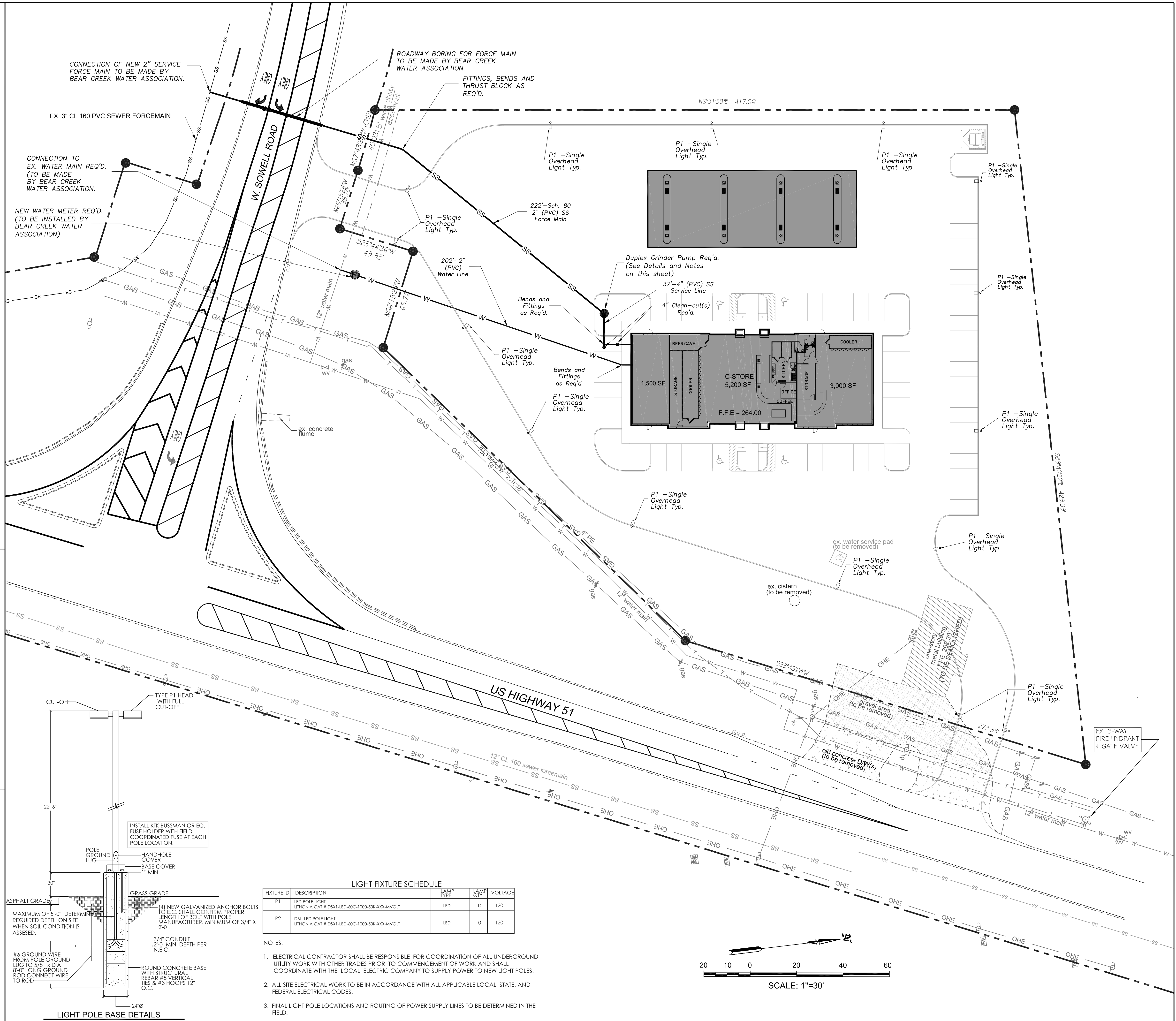
SCALE:  
 1" = 30'

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DRAWING NUMBER  
**C - 3**  
 SHEET NO.  
 4 of 6

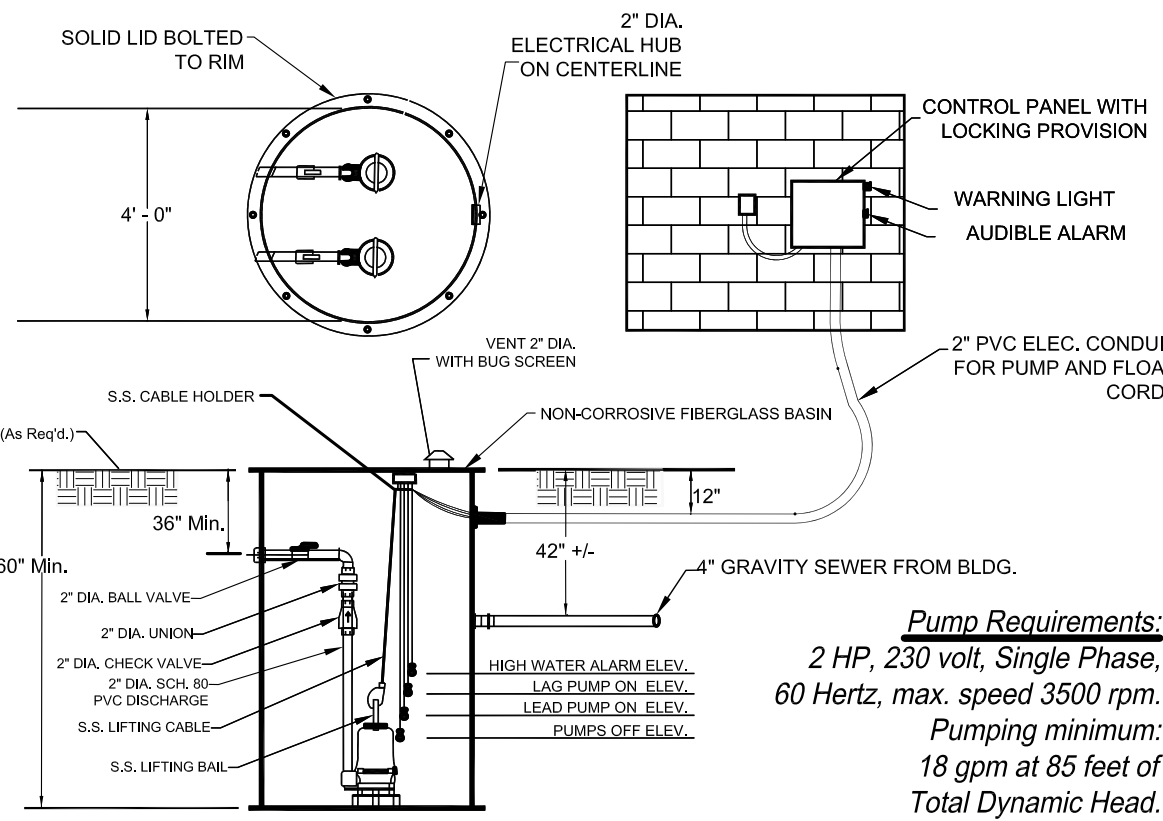
Construction Notes:

- Sanitary Sewer Lines and appurtenances shall conform to applicable requirements of the City of Gluckstadt.
- Water Lines and appurtenances shall conform to all applicable requirements of the City of Gluckstadt.
- Contractor shall verify depths of water and sewer lines prior to placement to meet required clearances. At locations where the water and sewer lines must cross each other, there shall be a minimum vertical clearance of 18 inches with the water line crossing over the sewer line.
- New water service line shall be a minimum of 2" in diameter and installed a minimum of 3 feet from final grade. New sanitary sewer service line shall be 4" in diameter and a 2" Force Main (PVC) as required on drawings.
- 11.25°, 22.50°, 45° bends or a combination thereof shall be installed on the sanitary sewer service liner to achieve the required fall for connection to the existing manhole.
- If applicable, final routing for new gas service line to be determined in the field by the appropriate gas company.
- Clean-outs are to be installed at all locations where change in direction of service line occurs. Depths shall be as required. See architectural drawings for specific locations for continuation of water and sanitary sewer service line piping.
- The Contractor shall furnish, place and maintain all sheeting, shoring, and bracing required to support the sides of all trench excavations. The Contractor shall be responsible for the sufficiency of any such supports to prevent any movement which can in any way damage or delay work; endanger or cause damage to adjacent pavements, buildings, or other structures; or create undue hazards to workmen.
- The location and depth of the existing water and sanitary sewer main line will be checked by the plumbing contractor to verify its conformity to the requirements for new construction prior to the use of any such line. Water and sewer service connections shall be done by the Bear Creek Water Association.
- All existing utilities requiring adjustment shall be done by the appropriate utility owner. The contractor shall be responsible for all repairs to existing utilities damaged during construction.
- Any existing service lines, ex. water meters not used for construction shall be located and removed or abandoned and capped.



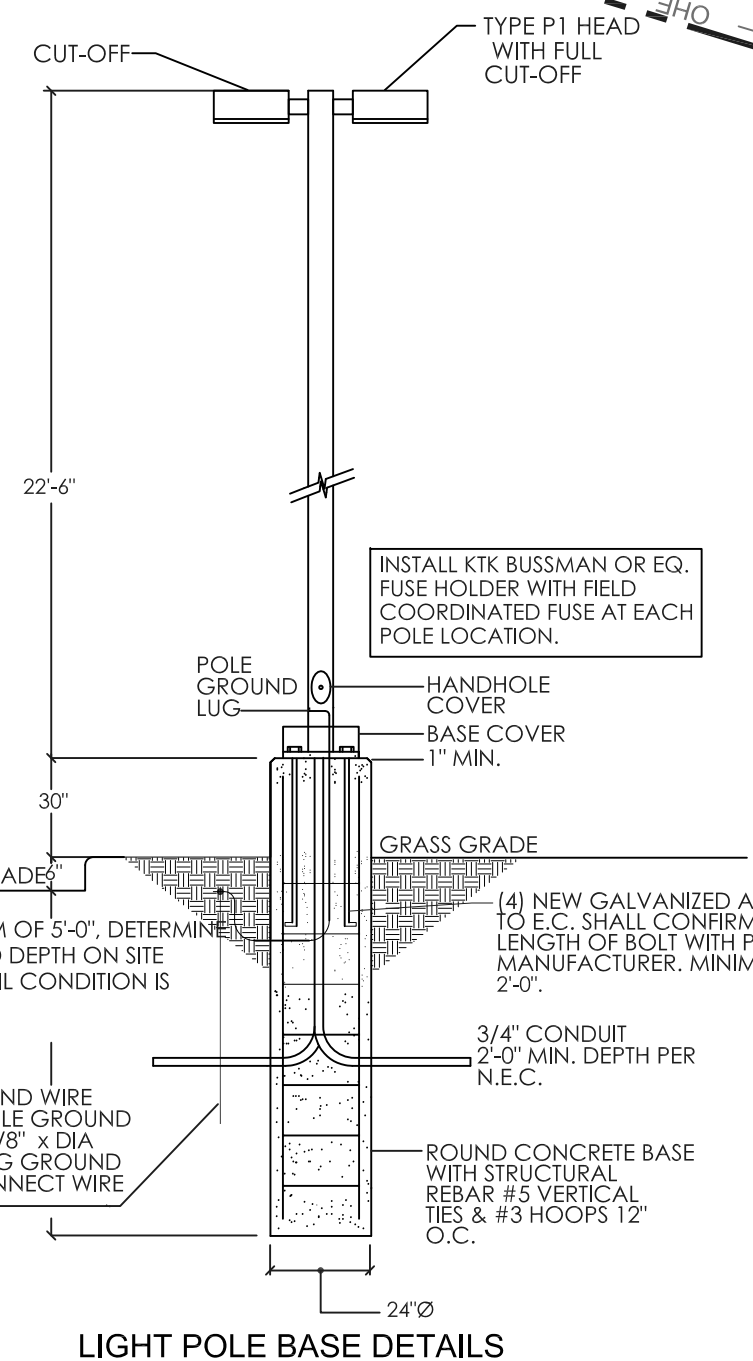
DUPLEX GRINDER PUMP DETAILS

N.T.S.



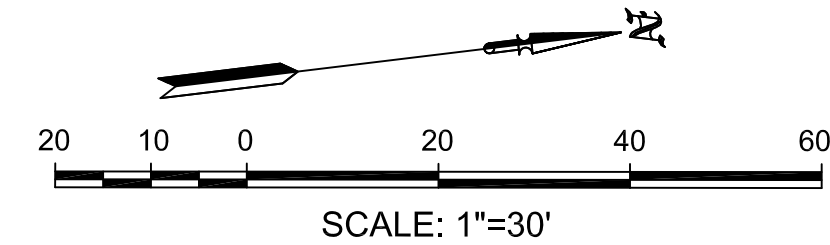
Grinder Pump Construction Notes:

- Grinder Pump to be installed, maintained, and operated by the Owner.
- Pump basins shall be of non-corrosive fiberglass construction. The basin shall be a minimum of 48 inches in diameter and 72 inches in depth unless otherwise approved by the Engineer.
- The pump station discharge piping shall include a self-cleaning ball-type check valve, hydraulically-sealed discharge flange, and a gate valve with handle extension.
- The station shall be equipped with an exterior wall mounted or pedestal mounted electrical control panel in a NEMA4X, weather tight, non-corrosive fiberglass enclosure with a dead front outer door with a locking hasp or handle. A hinged inner door shall be provided for mounting a hand-off-automatic pump control switch, electrical overload reset buttons, running light, and related electrical equipment. **Final Control Panel location to be determined in the field.**
- A 6" Steel Casing shall be used in the following cases:
  - Crosses over or under a water line. (See Note 3)
  - Crosses beneath storm drainage pipe with less than three (3) feet of clearance or above storm drainage pipe with less than two (2) feet of clearance.
  - Cover is less than 36".



LIGHT FIXTURE SCHEDULE				
FIXTURE ID	DESCRIPTION	LAMP TYPE	LAMP Qty	VOLTAGE
P1	LED POLE LIGHT LITHONIA CAT # DSX1-LED-40C-1000-SK-XXXX-MVOLT	LED	15	120
P2	DBL LED POLE LIGHT LITHONIA CAT # DSX1-LED-40C-1000-SK-XXXX-MVOLT	LED	0	120

- NOTES:
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UNDERGROUND UTILITY WORK WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK AND SHALL COORDINATE WITH THE LOCAL ELECTRIC COMPANY TO SUPPLY POWER TO NEW LIGHT POLES.
  - ALL SITE ELECTRICAL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ELECTRICAL CODES.
  - FINAL LIGHT POLE LOCATIONS AND ROUTING OF POWER SUPPLY LINES TO BE DETERMINED IN THE FIELD.



**Crown Engineering, PLLC**  
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P.O. Box 16812  
Jackson, MS 39236  
Ph: (601) 713-4346

DATE: 06/09/2013  
CHECKED: CD  
DESIGNED: CD  
DRAWN: UC

---

PROJECT: **SITE DEVELOPMENT PLANS  
NEW CONVENIENCE STORE  
2210 HIGHWAY 51  
GLUCKSTADT, MS**

---

SHEET TITLE: **WATER & SEWER  
LAYOUT PLAN**

---

REVISIONS:

NO.	DESCRIPTION

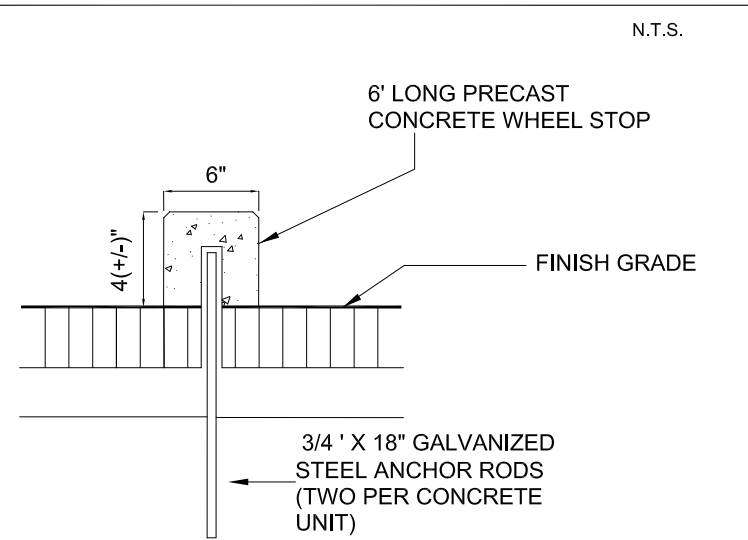
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SCALE: 1" = 30'

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DRAWING NUMBER: **C-4**  
SHEET NO. 5 of 6

### CONCRETE WHEEL STOP DETAILS

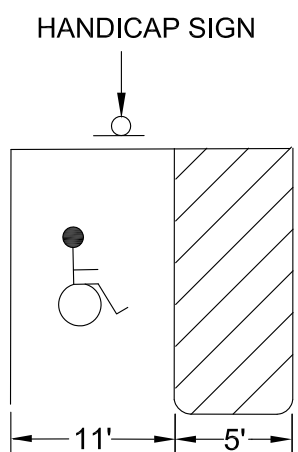


NOTE:  
ALTERNATE TYPE OF WHEELSTOP MAY BE USED UPON THE APPROVAL OF THE ENGINEER.

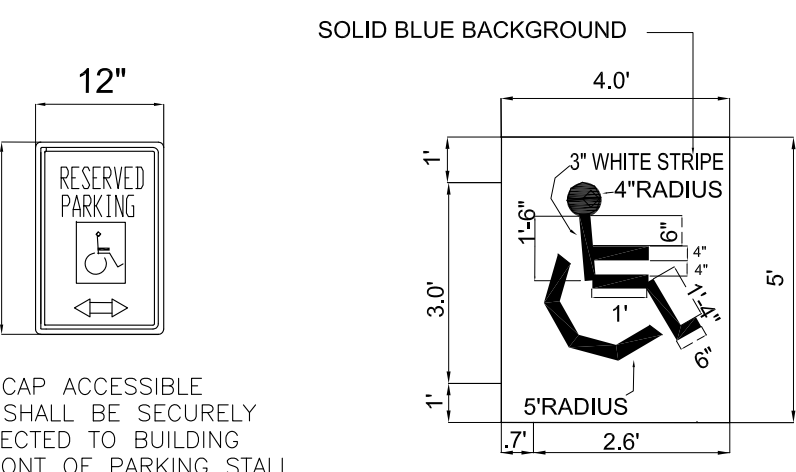


VAN ACCESSIBLE PLATE IS TO BE PLACED ON SIGN POST BELOW THE RESERVED HANDICAP PARKING SIGN

### HANDICAP DETAILS

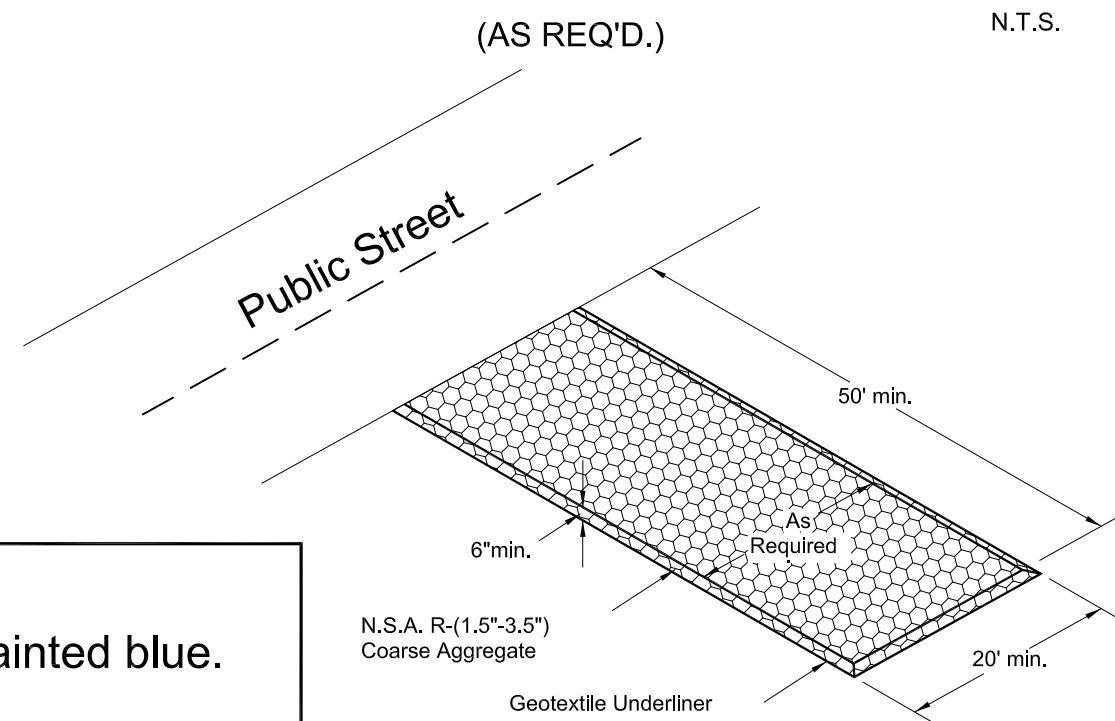


NOTE:  
Curb face or parking blocks shall be painted blue.



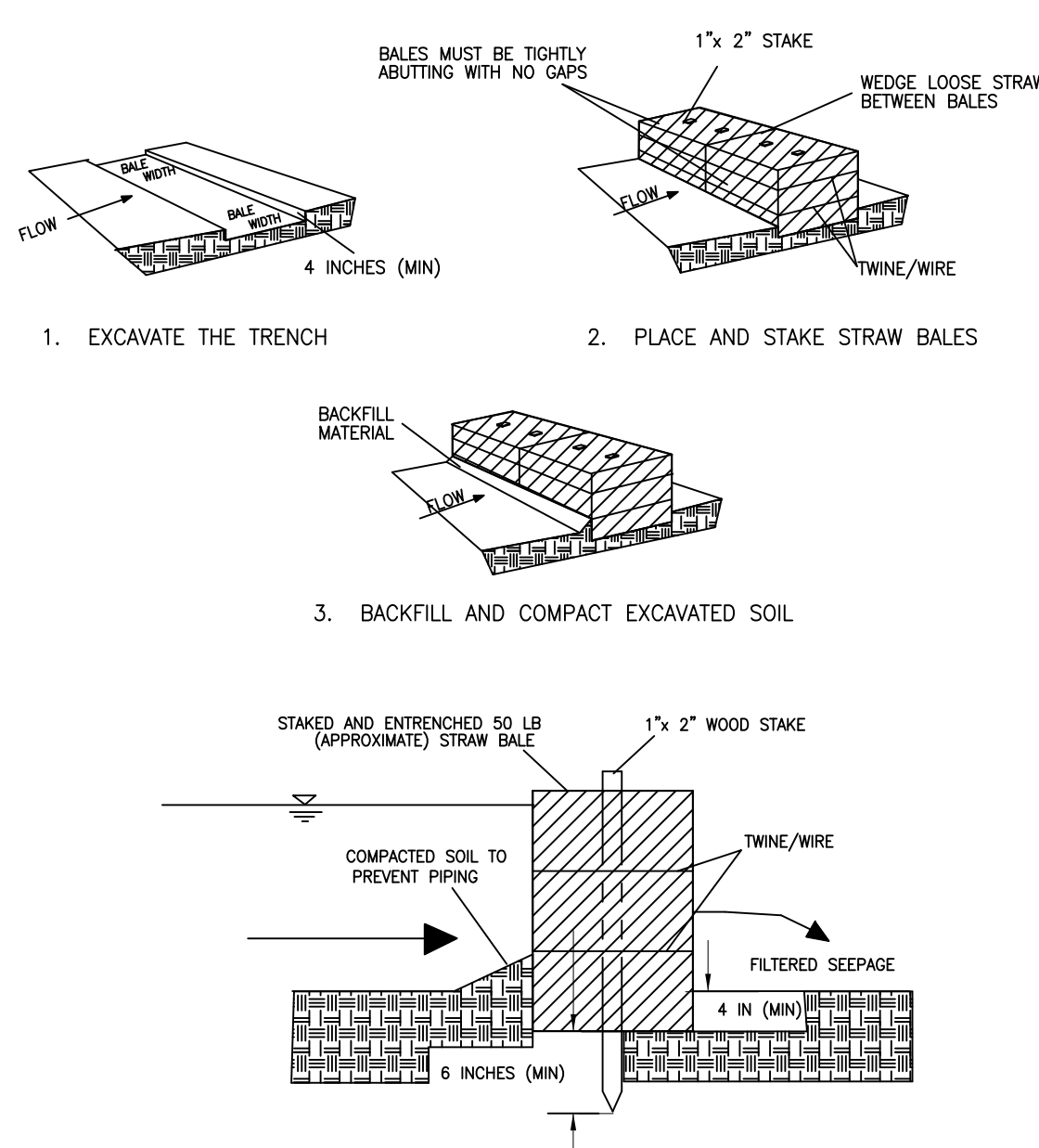
HANDICAP ACCESSIBLE SIGN SHALL BE SECURELY CONNECTED TO BUILDING IN FRONT OF PARKING STALL

### CONSTRUCTION INGRESS/EGRESS DETAIL



- The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public right-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or clean out of any structure used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.
- Wheels must be cleaned to remove mud prior to entrance onto public right-of-way. When washing is required, it shall be done on an area with crushed stone which drains into an approved sediment trap or sediment basin.

### INSTALLATION OF STRAW BALES

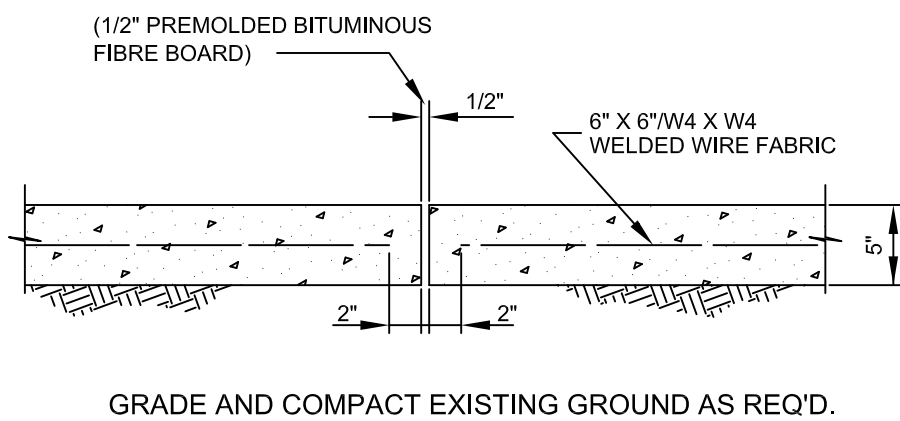


CROSS-SECTION OF A PROPERLY INSTALLED STRAW BALE  
NOTE: HAY BALES SHALL BE REQ'D. AROUND STORM INLETS PRIOR TO THE INSTALLATION OF ASPHALT PAVEMENT.

### STORMWATER MANAGEMENT PLAN

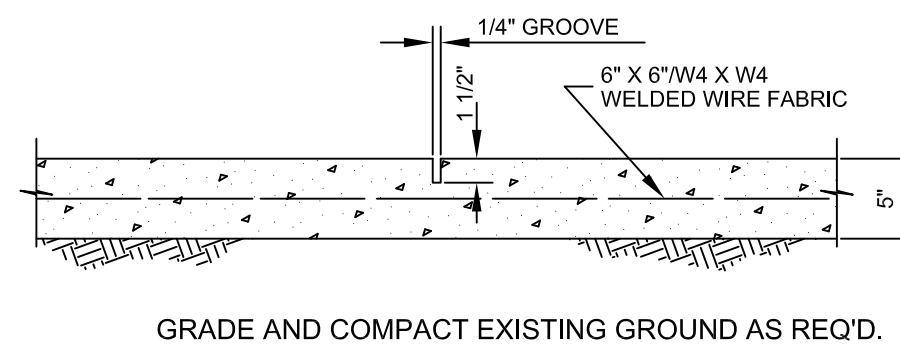
- The Contractor shall install/implement measures as needed to take all prudent and reasonable measures to protect properties from damage caused by the construction
- The Contractor shall install all the silt fencing, straw bales, sediment control ponds, drainage pipes, and rock riprap required, prior to the beginning of any stripping and/or excavation.
- The Contractor shall maintain a minimal buffer of undisturbed areas, where practical, around the perimeter of the site. This buffer will reduce the erosion caused by wind and water and also help reduce the amount of sediment leaving the site.
- Earth fill procedures will utilize temporary diversions to eliminate surface runoff.
- The Contractor shall provide for protective measures for the containment of hazardous materials, including petroleum products and lubricants, etc.
- The Contractor shall provide for trash containers on site for disposal of all construction materials and prevent trash from the site from entering into the storm drainage system.
- The Contractor shall inspect all installed erosion control measures and repair as necessary during the length of the construction at least every seven (7) days during dry periods. The Contractor shall diligently inspect and repair, within 24 hours of a rainfall event, all erosion control measures.
- The Contractor shall maintain the erosion control measures required to assure that the storm water discharged shall be free from:
  - Debris, oil, scum and other floating materials, other than in trace amounts;
  - Eroded soils and other materials that will settle to form objectionable deposits in receiving waters;
  - Suspended solids, turbidity and color at levels inconsistent with the receiving waters;
  - Chemicals in concentrations that would cause violation of the State Water Quality Criteria in the receiving waters.
- The Contractor shall maintain adequate record keeping documenting inspection and repair of all erosion control measures installed.
- The Contractor shall make himself familiar with the Storm Water Construction General Permit Regulations and the "Planning and Design Manual for the Control of Erosion, Sediment and Stormwater", published by the MDEQ, Mississippi Soil & Water Commission and the USDA Soil Conservation Service.
- This plan contains the minimum erosion control measures to be taken. The Contractor shall utilize the BMP's outlined in the above referenced material for implementation of additional measures, as required.

### SIDEWALK EXPANSION JOINT DETAIL

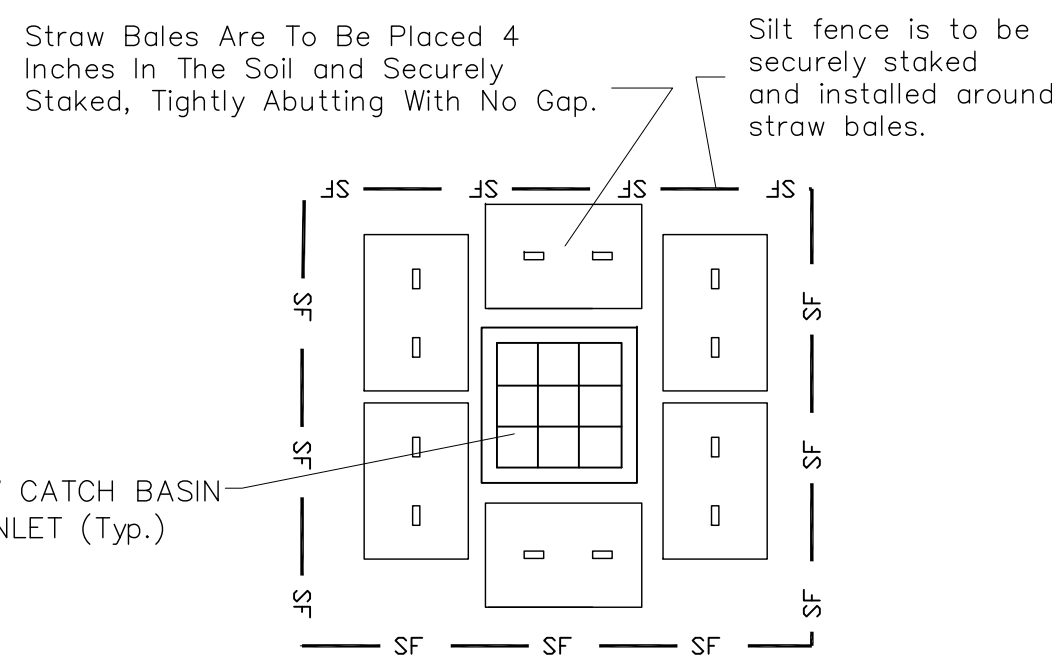


CONSTRUCTION NOTES:  
1/2" Expansion Joints Required @ 20' c.c.  
2-3/4" Dowel Bars, 15" Long Req'd, at all Expansion Joints. They shall be held in place by approved chairs or supports and 1/2" expansion materials. 1/4" Contraction Joints req'd @ 5' c.c.

### SIDEWALK CONTRACTION JOINT DETAIL

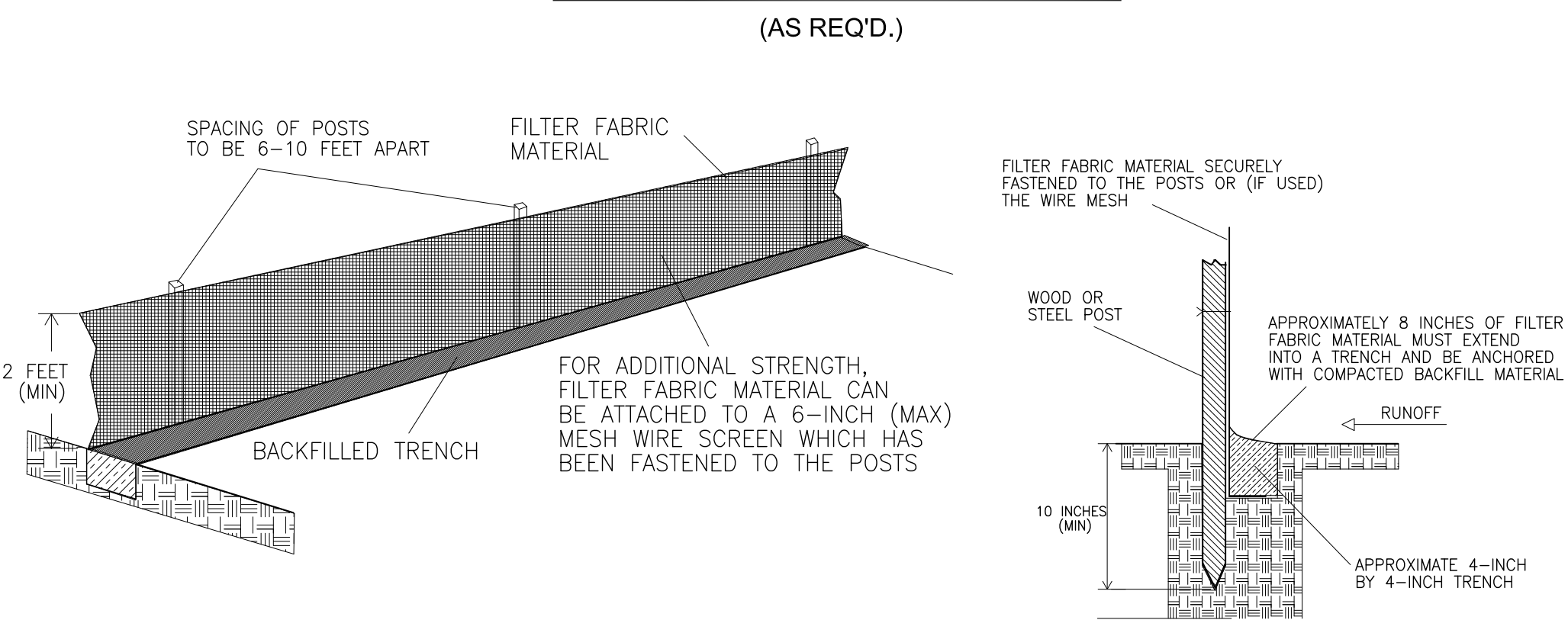


### INLET PROTECTION DETAILS

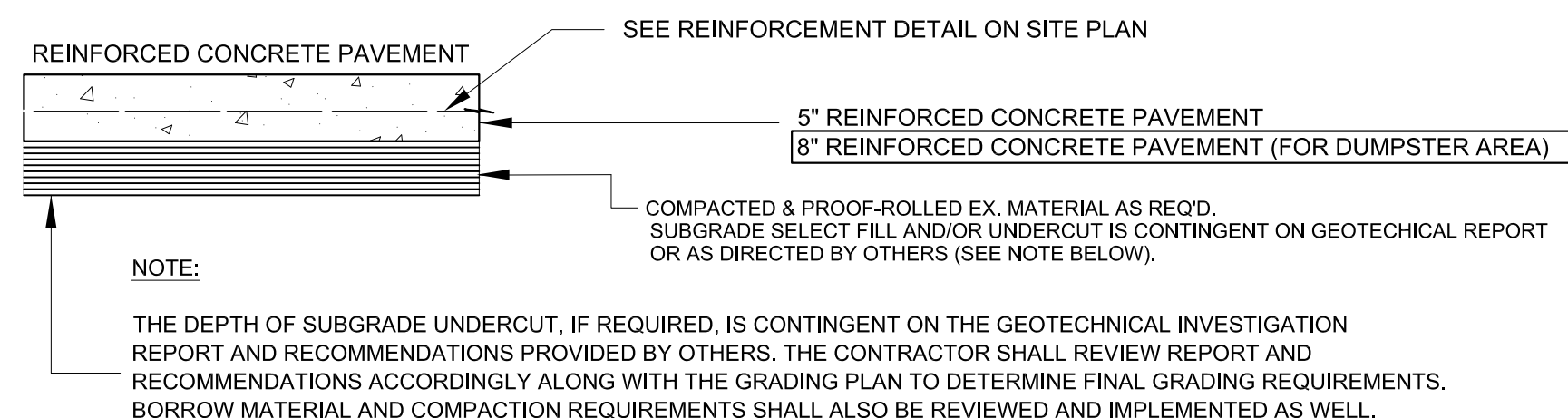


Straw Bales Are To Be Placed 4 Inches In The Soil and Securely Staked, Tightly Abutting With No Gap.  
Silt fence is to be securely staked and installed around straw bales.

### INSTALLATION OF SILT FENCE

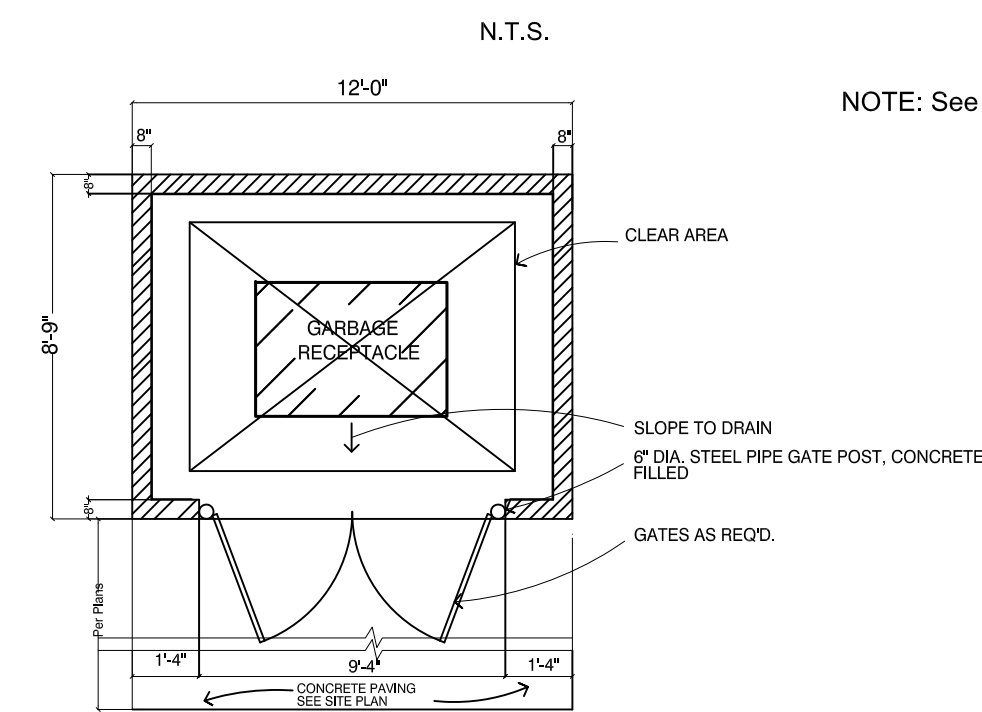


### TYPICAL SECTION FOR NEW PARKING LOT & DRIVEWAY

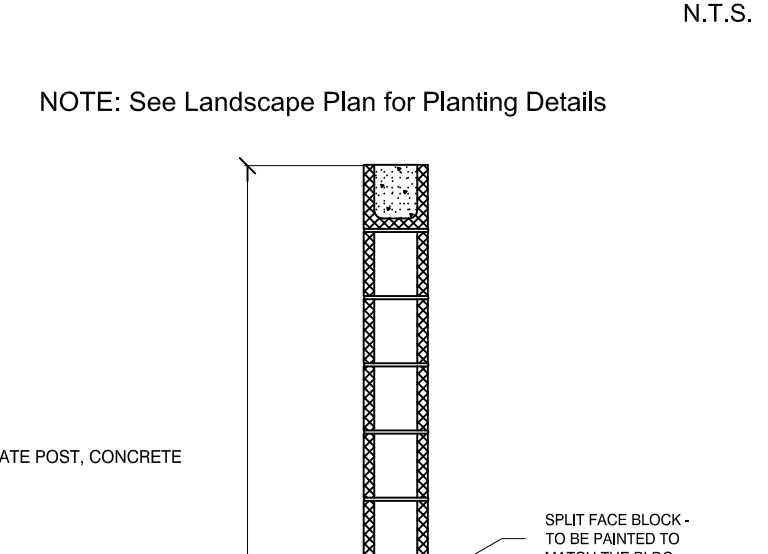


NOTE:  
THE DEPTH OF SUBGRADE UNDERCUT, IF REQUIRED, IS CONTINGENT ON THE GEOTECHNICAL INVESTIGATION REPORT AND RECOMMENDATIONS PROVIDED BY OTHERS. THE CONTRACTOR SHALL REVIEW REPORT AND RECOMMENDATIONS ACCORDINGLY ALONG WITH THE GRADING PLAN TO DETERMINE FINAL GRADING REQUIREMENTS. BORROW MATERIAL AND COMPACTION REQUIREMENTS SHALL ALSO BE REVIEWED AND IMPLEMENTED AS WELL.

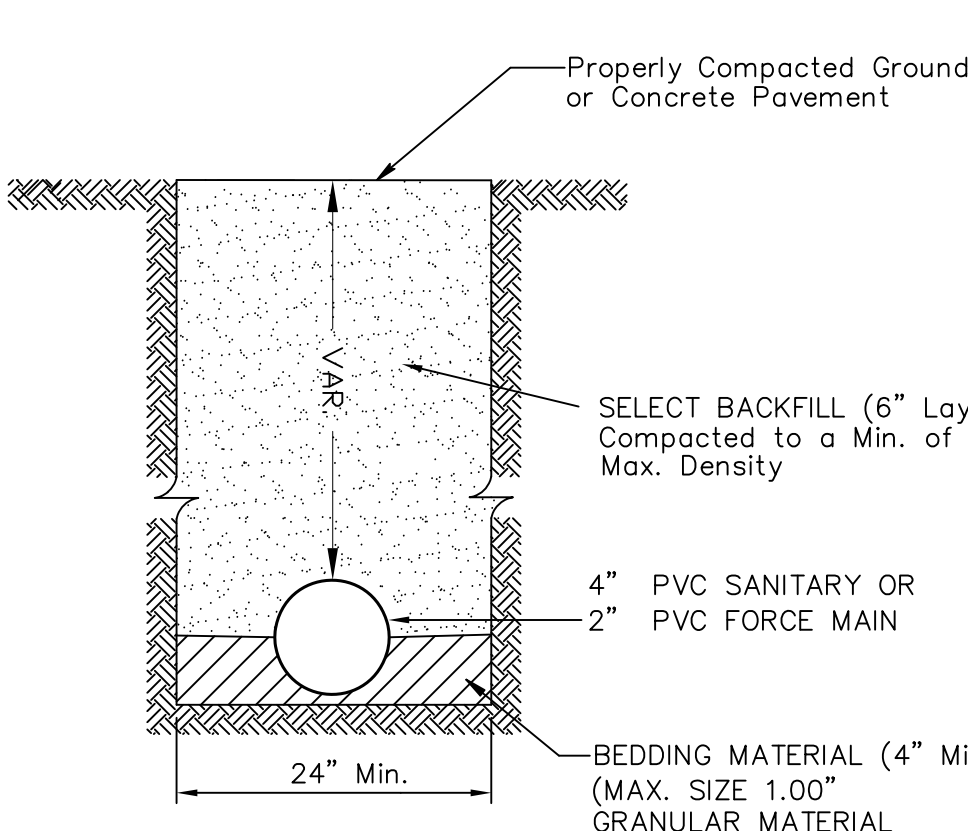
### DUMPSTER DETAILS



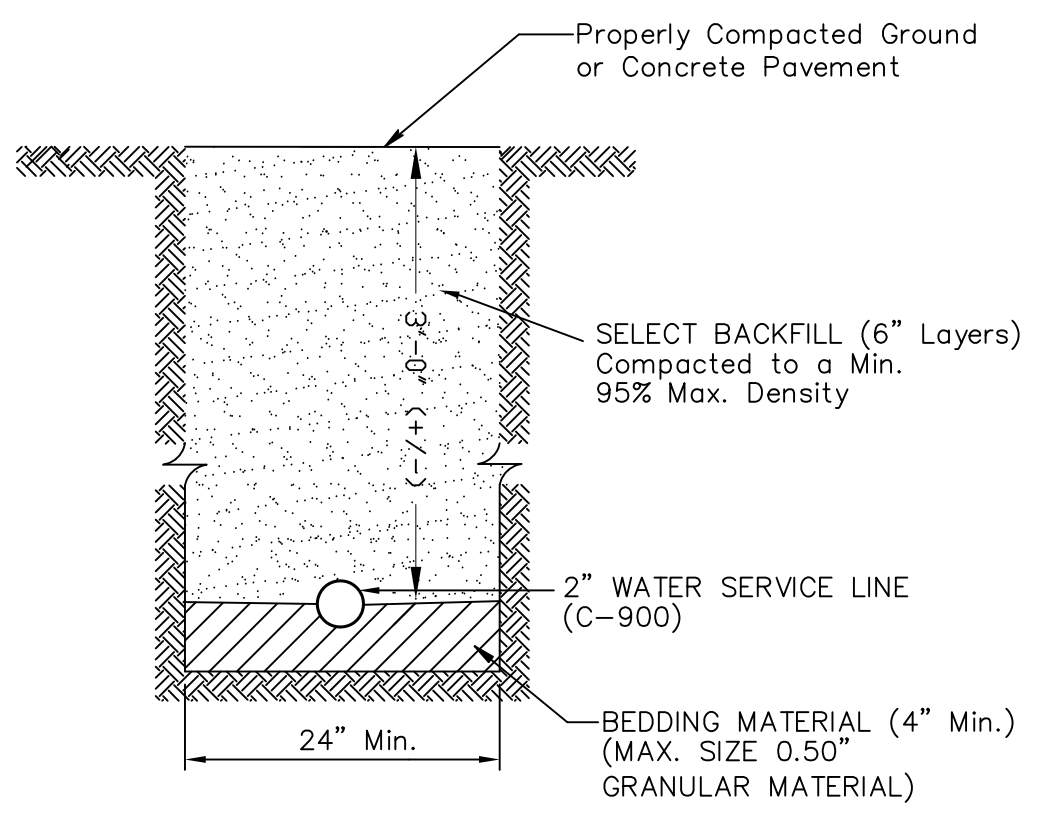
### DUMPSTER SCREENING DETAILS



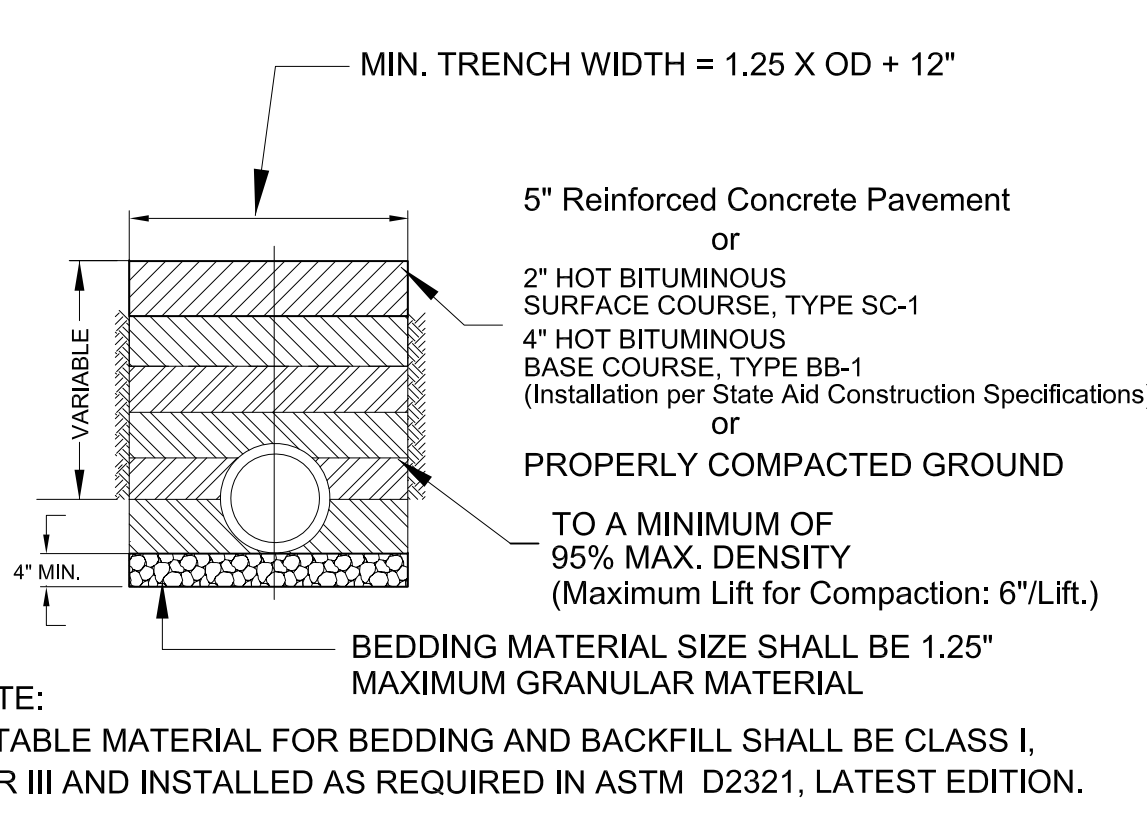
### TYPICAL SEWER PIPE INSTALLATION



### TYPICAL WATER LINE INSTALLATION

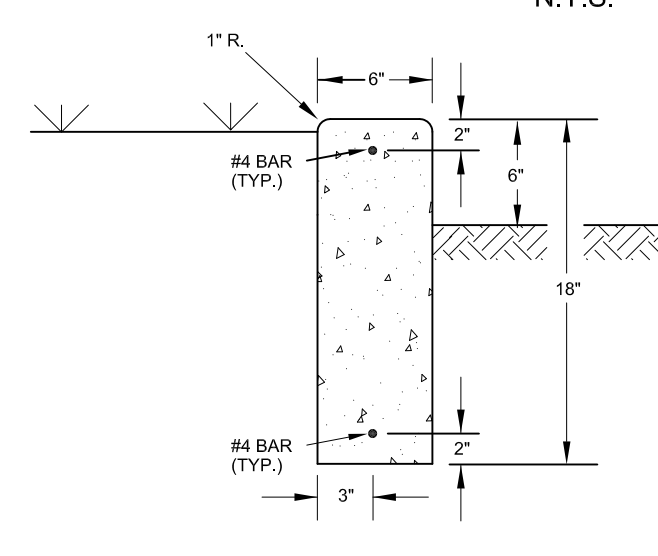


### TYPICAL PIPE INSTALLATION



NOTE:  
SUITABLE MATERIAL FOR BEDDING AND BACKFILL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

### HEADER CURB DETAILS



CONSTRUCTION NOTES:  
1/2" Expansion Joints Required @ 30' c.c. 2-3/4" Dowel Bars, 15" Long Req'd. at all Expansion Joints. They shall be held in place by approved chairs or supports and 1/2" expansion materials. 1/4" Contraction Joints req'd @ 10' c.c.

PROJECT: **SITE DEVELOPMENT PLANS**  
**NEW CONVENIENCE STORE**  
**2210 HIGHWAY 51**  
**GLUCKSTADT, MS**

SHEET TITLE: **MISCELLANEOUS DETAILS**

REVISIONS:

SCALE: N/A

DRAWING NUMBER: **C-5**

SHEET NO. 6 of 6

DATE: OCTOBER 2023  
CHECKED: CD  
DESIGNED: CD  
DRAWN: CD

Crown Engineering, PLLC  
Engineers & Project Managers  
P.O. Box 16812  
Jackson, MS 39236  
Ph: (601) 715-4346

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City of Gluckstadt

**Application for Site Plan Review**

Subject Property Address: 2210 Hwy 51 & Sawell Rd

Parcel #: C82F-14-019/00.00

Owner: Rav Bedi

Applicant: Rav Bedi

Address: 2210 Hwy 51

Address: 2210 Hwy 51

Phone #: 601-238-5918

Phone #: 601-238-5918

E-Mail: bedinvestment@gmail.com

E-Mail: bedinvestments@gmail.com

Current Zoning District: C-2

Acreage of Property (if applicable): 3.32 ac

Use sought of Property: Retail

2023205

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.

  
 \_\_\_\_\_  
 Applicant Signature

11-22-23  
 \_\_\_\_\_  
 Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**

**OFFICE USE ONLY**

Date Received: \_\_\_\_\_

Application Complete & Approved to Submit to P&Z Board (please check):

Yes \_\_\_\_\_ No \_\_\_\_\_

Signature: \_\_\_\_\_

Planning & Zoning Administrator (or Authorized Representative)

**City of Gluckstadt**

**Application for Site Plan Review**

Subject Property Address: Corner Church Rd & Old Jackson Rd  
Parcel #: 082E-21-012/02.00 Martin's Corner Market  
Owner: Patrick Rowland Applicant: Patrick Rowland  
Address: 158 Reunion dr Address: 152 Reunion Dr.  
Medina Ms Madison  
Phone #: 601-624-2048 Phone #: 601-624-2048  
E-Mail: prbuilder27@yahoo.com E-Mail: prbuilder27@yahoo.com  
Current Zoning District: C-2  
Acreage of Property (If applicable): 1.91 ac  
Use sought of Property: Retail 2024006

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

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- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.


**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

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**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

  
 Applicant Signature

1/5/24  
 Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

Date Received: 01.05.24

**Application Complete & Approved to Submit to P&Z Board (please check):**

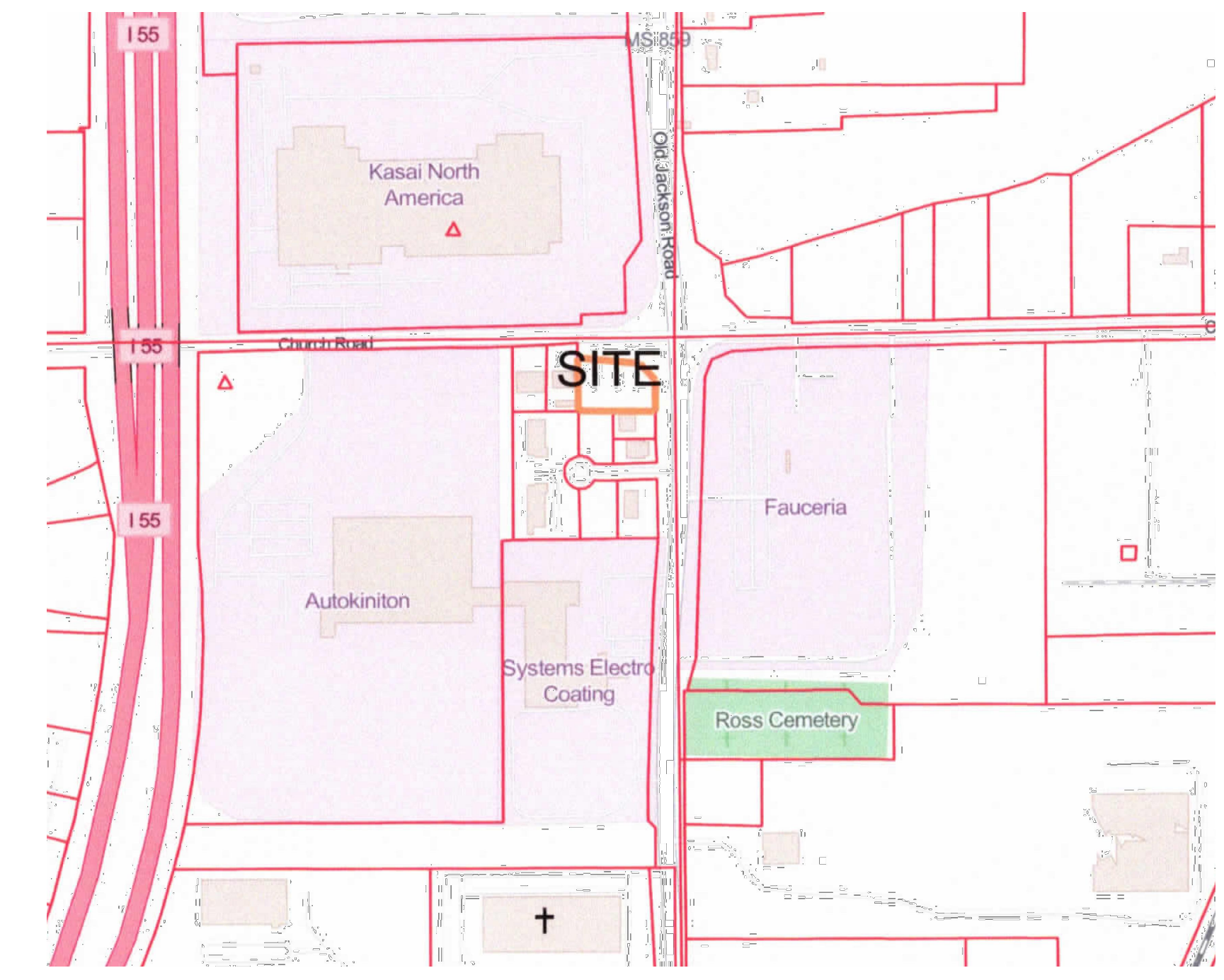
Yes \_\_\_\_\_ No \_\_\_\_\_

**Signature:** \_\_\_\_\_  
 Planning & Zoning Administrator (or Authorized Representative)

OWNER 12/15/2023 10:00 AM REVISED MARTIN'S CROSSING.dwg

CHURCH ROAD

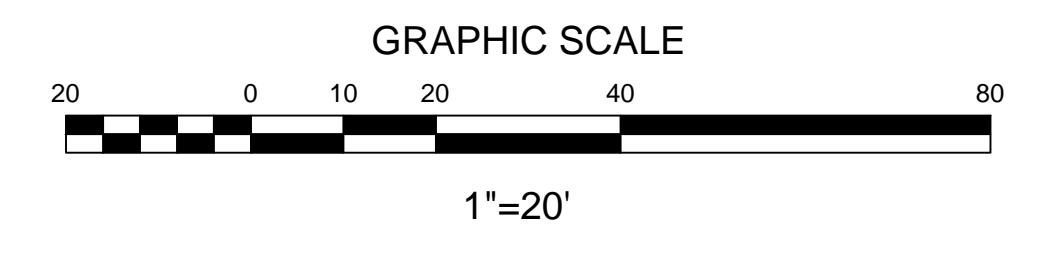
OLD JACKSON RD



VICINITY MAP SCALE: 1"=200'



SITE PLAN SCALE: 1"=20'-0"

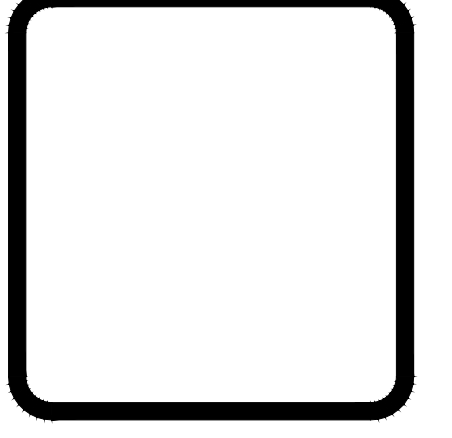


ELMORE ELMORE, LLC C-2

NEW SOUTH ACCESS & ENVIRONMENTAL C-2

C-2 COMMERCIAL ZONING  
SITE AREA 57,437SF  
BUILDING AREA 12,000SF  
AREA COVERAGE 21%  
  
PARKING REQUIRED  
12,000SF / 225 = 53.3 (54) SPACES  
PROVIDED SPACES = 55 SPACES

REVISIONS	BY



**W**

WOOLDRIDGE & ASSOCIATES  
484 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8865  
WOOLDRIDGEARCHITECTURE@YAHOO.COM

**Martins Cornern Market**  
Corner of Church Rd. & Old Jackson  
Gluckstadt, Mississippi

THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 12/15/23
SCALE
JOB NO.
SHEET <b>A0.0</b>
OF
S1.0

REVISED MARTIN'S CROSSING.dwg

12/15/2023 10:00 AM

OWNER

CHURCH ROAD

GRASS

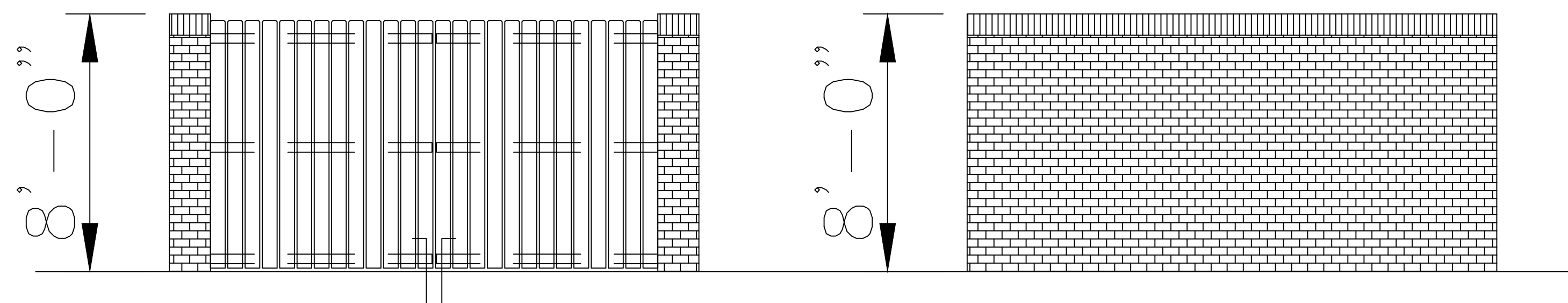
GRASS

OLD JACKSON RD


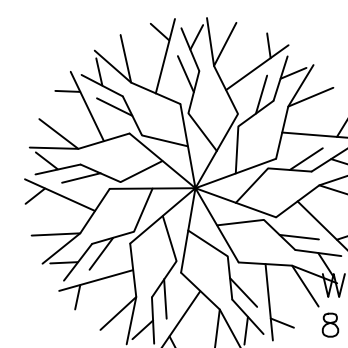




GRASS

12,000SF

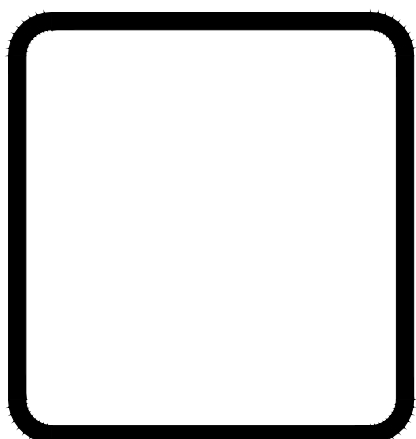
LANDSCAPE PLAN  
SCALE: 1"=20'-0"



LEGEND

-  NATCHEZ GRAPE MYRTLE, "LAGERSTROEMIA INDICA X FAURIEI" 7' HTH., 1-1" S.T., 3 TRUNKS MIN.
-  WILLOW OAK, QUERCUS PHELLOS, 8 - 10' HTH., 1 - 1 1/2" CAL.
-  SWEETBAY MAGNOLIA, "MAGNOLIA VIRGINIANA"
-  RED RUFFLE AZALEAS, RHODODENDRON RUTHERFORD, 3 GAL. @ 3'-6" O.C.
-  PARSON JUNIPER, JUNIPERUS CHINENSIS 'PARSONII', 3 GAL. @ 3'-6" O.C.
-  RIVER BIRCH, 8 - 10' HTH., BETULA NIGRA HERITAGE 1 - 1 1/2" CAL., MULTI-TRUNK, MIN. 3 TRUNKS

REVISIONS	BY



**W**

WOOLDRIDGE & ASSOCIATES  
404 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-200-8865  
WOOLDRIDGEARCHITECTURE@YAHOO.COM

Martins Corner Market  
Corner of Church Rd. & Old Jackson  
Gluckstadt, Mississippi

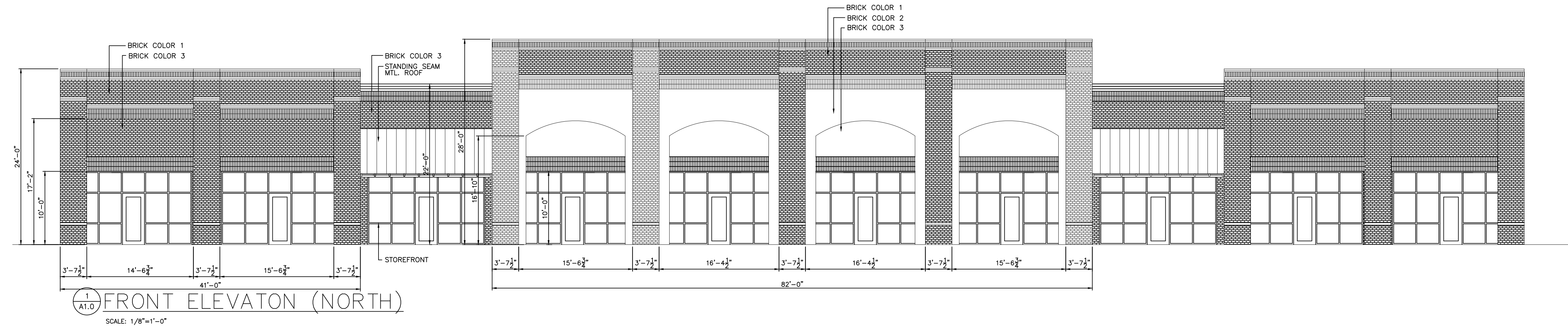
THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IF ANY NOT BE CONSTRUCTED, NO PART OF THIS DOCUMENT IS TO BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 1/4/24
SCALE
JOB NO.
SHEET A0.1
OF 1
ST.0



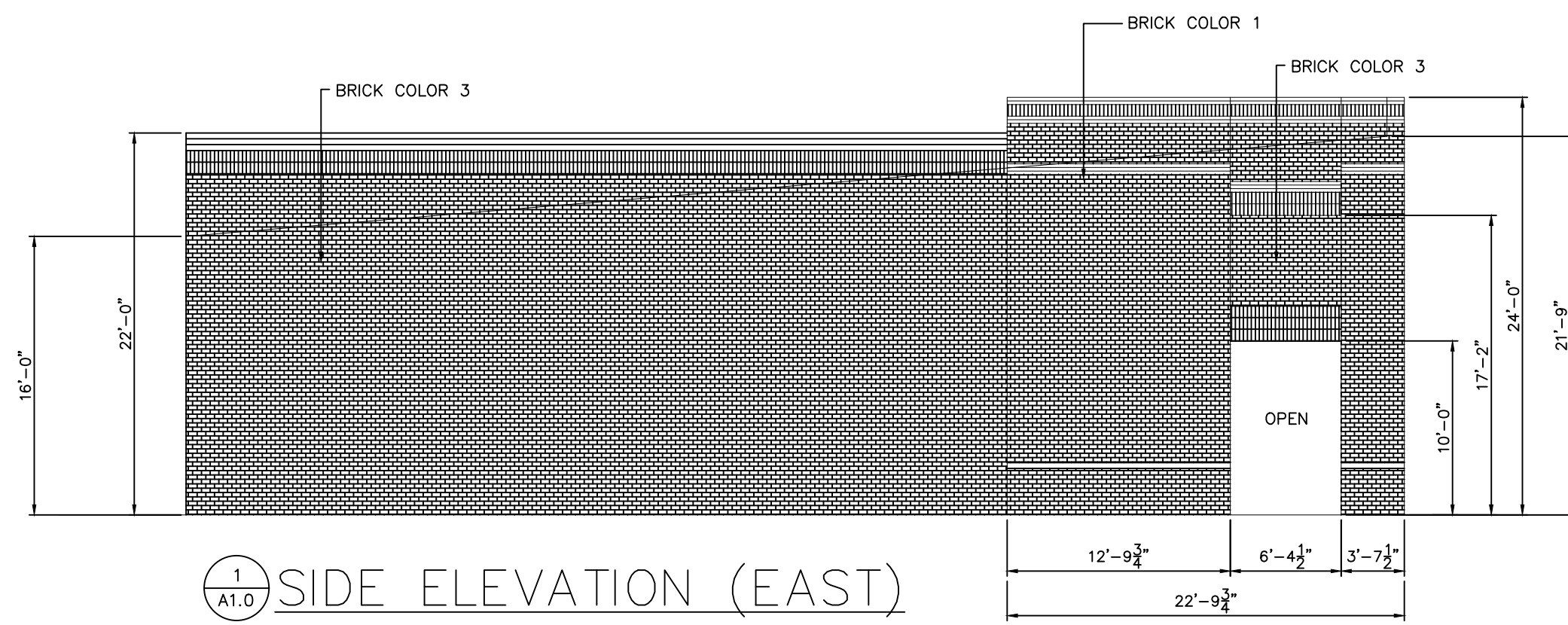
# MARTIN'S CORNER MARKET

GLUCKSTADT, MISSISSIPPI



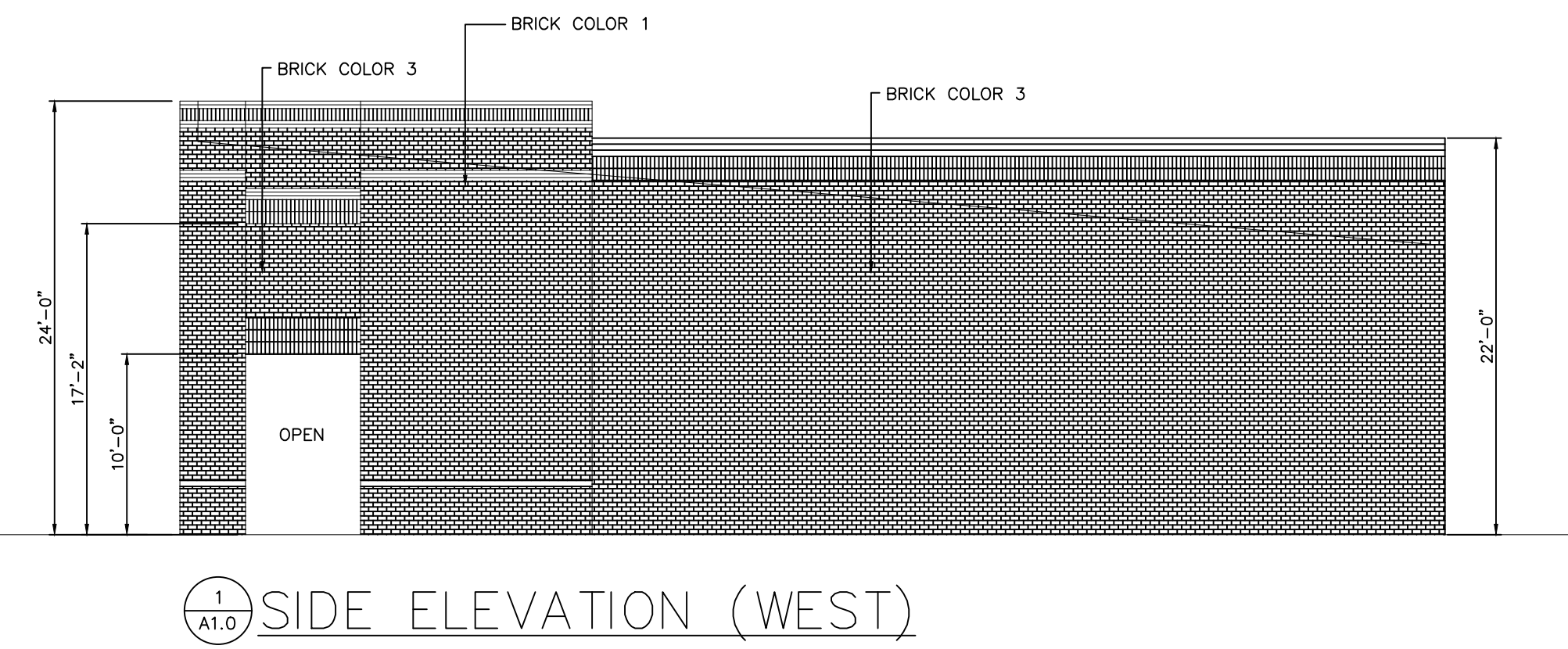
1  
A1.0 FRONT ELEVATION (NORTH)

SCALE: 1/8"=1'-0"



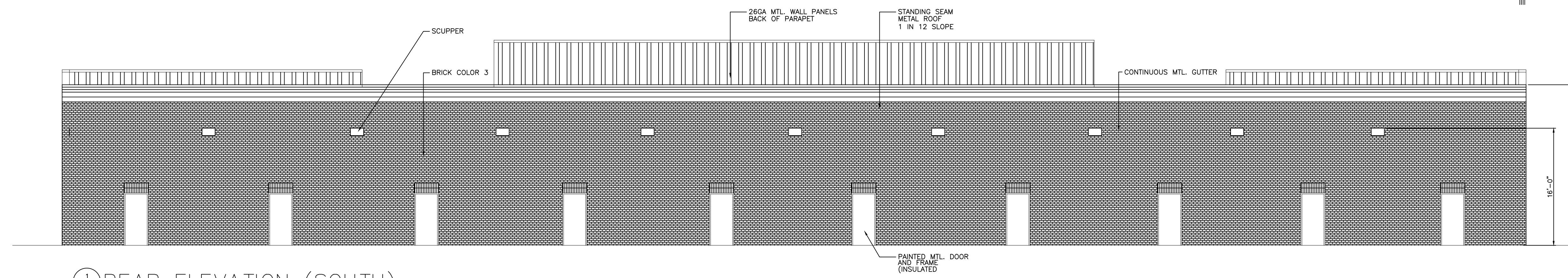
1  
A1.0 SIDE ELEVATION (EAST)

SCALE: 1/8"=1'-0"



1  
A1.0 SIDE ELEVATION (WEST)

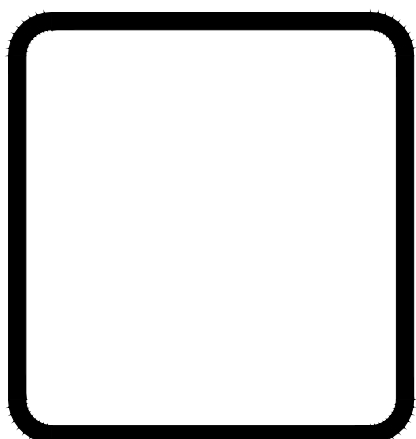
SCALE: 1/8"=1'-0"



1  
A1.0 REAR ELEVATION (SOUTH)

SCALE: 1/8"=1'-0"

REVISIONS	BY



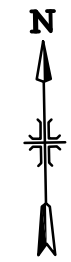
WOOLDRIDGE & ASSOCIATES  
484 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8665  
WOOLDRIDGEARCHITECTURE@YAHOO.COM

Martin's Corner Market  
Corner of Church Rd. & Old Jackson  
Gluckstadt, Mississippi

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DRAWN
CHECKED
DATE 1/4/24
SCALE
JOB NO.
SHEET A3.0
OF
S1.0





MS One-Call #21031008090188

**Utilities**

- Telepak dbx CSPIRE Fiber
- Uniti Fiber - Inline 2
- Comcast Cable
- Centerpoint Energy Byram/Ridgeland
- Bear Creek Water Association
- AT&T Distribution
- Entergy MS
- Canton Municipal Utilities
- Pearl River Valley Water

Property Zoned C-2 (Highway Commercial District)

- Front: 35 feet
- Side: 5 feet
- Rear: 5 feet

Max. Building Height: 40 feet

Date of field survey: March 9, 2021

Reference Bearing are based on the Mississippi State Plane Coordinate System, NAD 83 - Mississippi West Zone.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

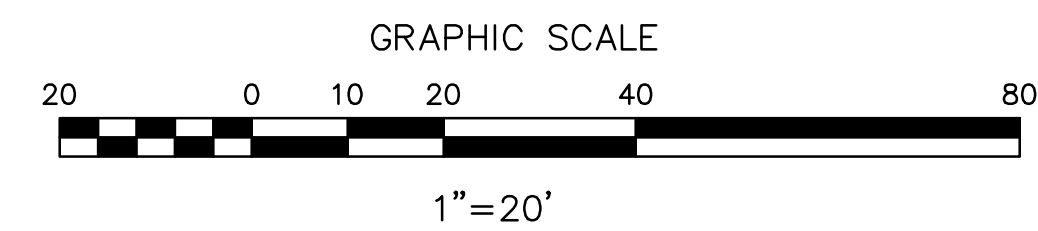
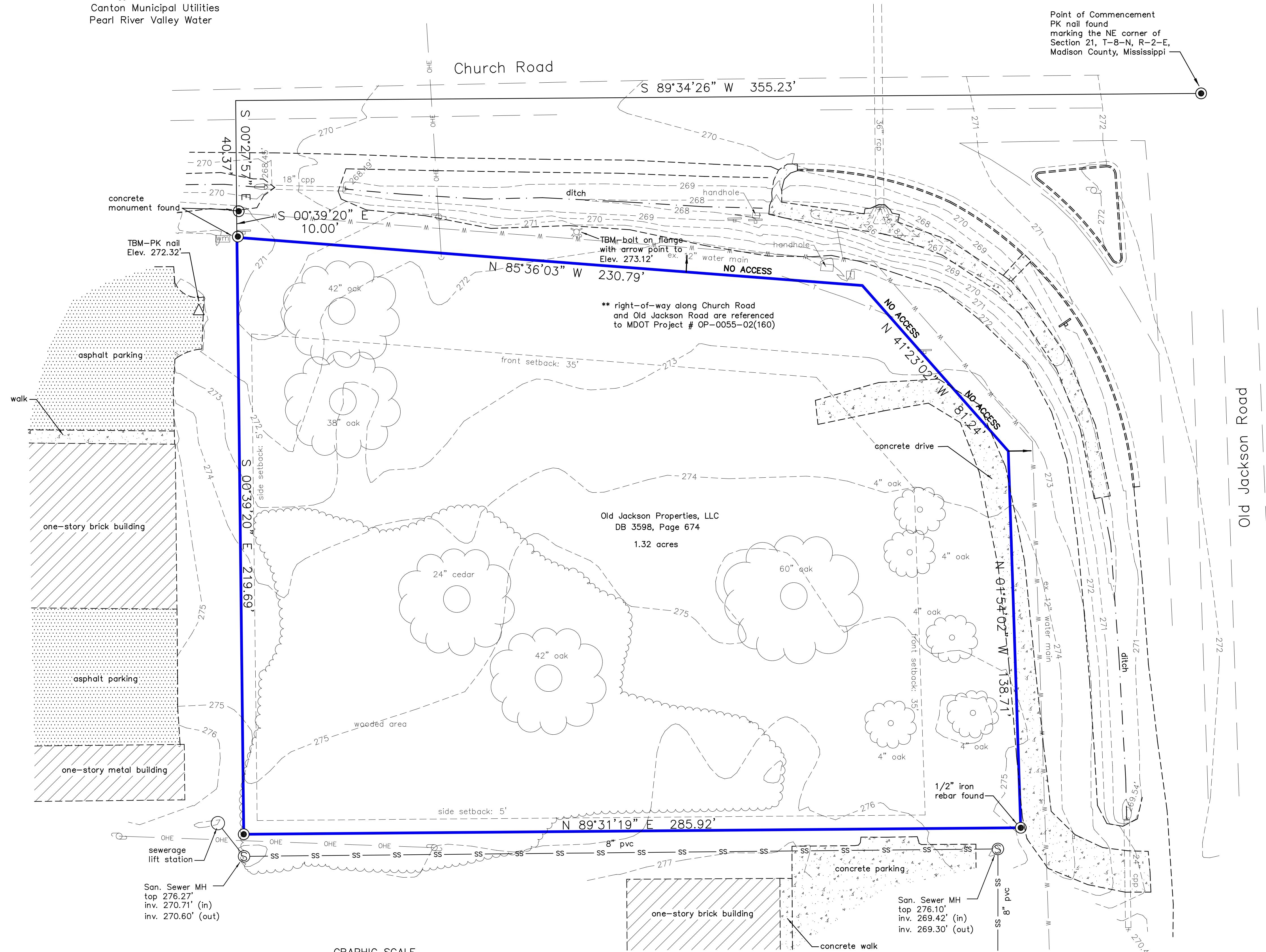
Vertical elevations are referenced to NAVD88

Property located in Zone "X" as referenced to the FEMA Map 28089 C 415 F, dated 3/17/2010

This topographic survey was performed and this plat was prepared by Baird Engineering, Inc. 506 Jefferson Street, Clinton, MS 39056 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on March 8, 2021.



**LEGEND**

	CABLE PEDESTAL		FIRE HYDRANT
	UTILITY POLE		TELEPHONE PEDESTAL
	GAS VALVE		SIGN
	WATER VALVE		STORM INLET
	1/2" IRON REBAR FOUND		SAN. SEWER MANHOLE
	1/2" IRON REBAR SET (18" long)		SOIL BORING
	LIGHT POLE		SAN. SEWER
	WATER METER		GAS LINE
	SEWER CLEANOUT		UNDERGROUND TELECOMMUNICATION
	POWER METER		CONTOURS
	GAS METER		OVERHEAD POWER
	PINE TREE		UNDERGROUND ELECTRIC
	WATER METER		WATER MAIN
			OAK TREE
			AIR CONDITION UNIT

Revisions:

No.	By:	Date:

BAIRD ENGINEERING, INC.  
506 JEFFERSON STREET  
CLINTON, MISSISSIPPI 39056

Project No.: # 1000  
Date: 03/09/2021  
Scale: 1" = 20'  
Drawn By: CLB  
Reviewed By: CLB

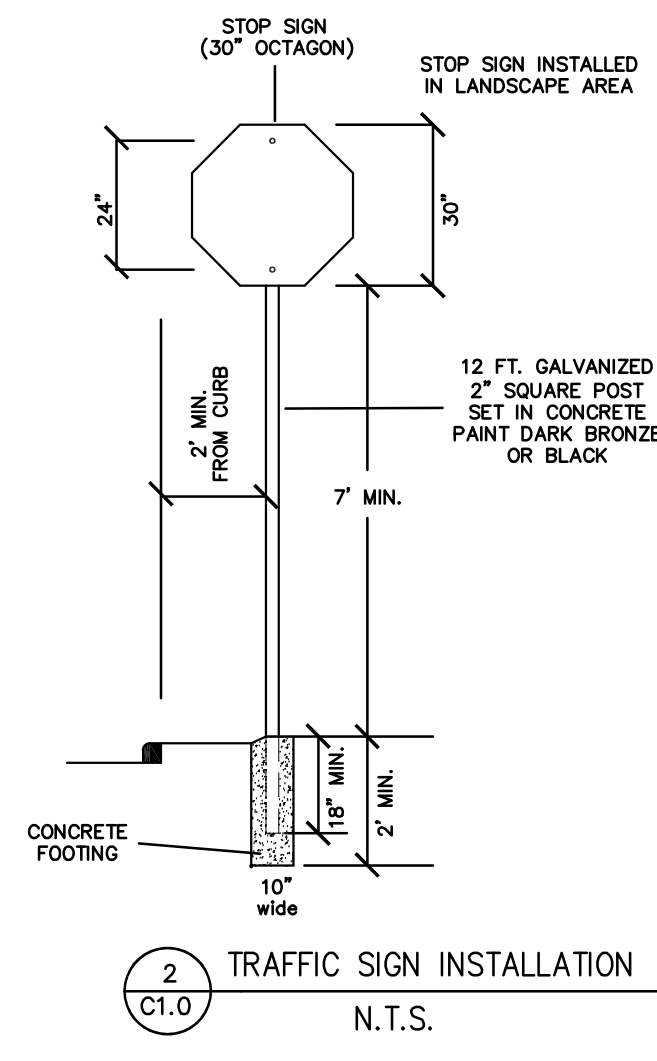
TOPOGRAPHIC SURVEY  
Old Jackson Properties  
GLUCKSTADT, MISSISSIPPI

**PARKING FEATURES LEGEND**

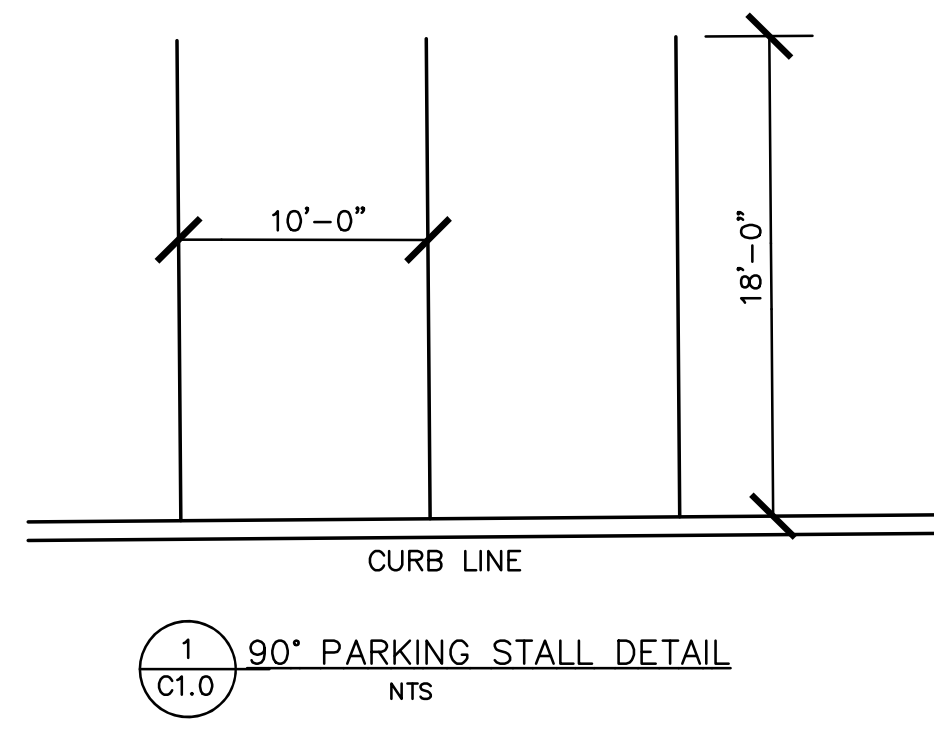
- ① TRAFFIC STRIPE (PARKING) 4" CONTINUOUS WHITE
- ② TRAFFIC STRIPE (HANDICAP) 4" CONTINUOUS BLUE
- ③ HANDICAP PARKING SIGN (R7-B)-DETAIL 6/C1.0 SEE MUTCD MANUAL FOR SPECIFICATIONS.
- ④ STOP SIGN (DETAIL 2/C1.0) SEE MUTCD MANUAL FOR SPECIFICATIONS.
- ⑤ 24" LEGEND WHITE

**SITE PLAN NOTES**

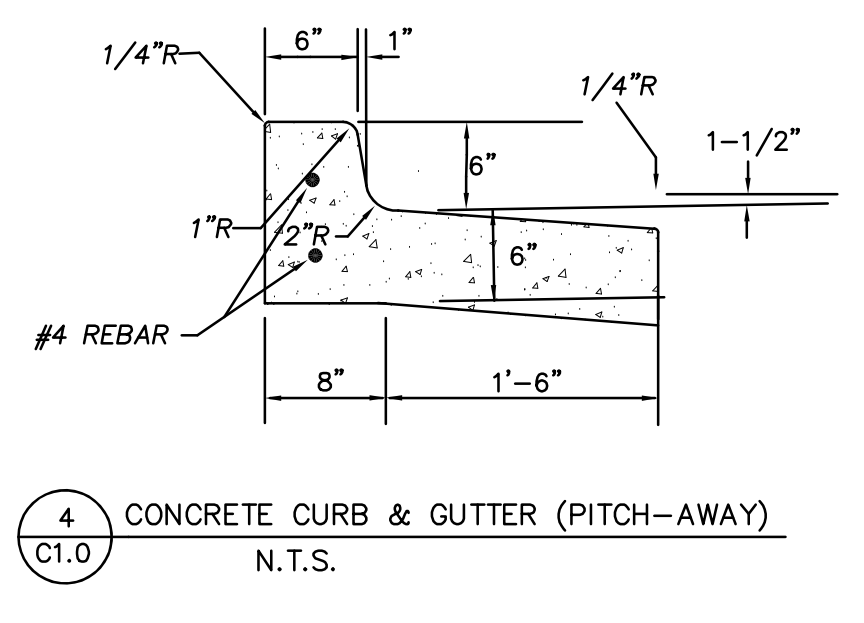
1. BOUNDARY AND TOPOGRAPHIC SURVEY TAKEN FROM A SURVEY PREPARED BY BAIRD ENGINEERING, LLC, DATED APRIL 2021.
2. CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
3. CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
4. DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
6. ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOD UNLESS NOTED OTHERWISE.
7. THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
9. CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
10. ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
12. BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
13. ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
14. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
15. SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING OLD JACKSON ROAD AND CHURCH ROAD.
16. SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
17. SEE ARCHITECTURAL SHEETS FOR BUILDING DIMENSIONS.
18. ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
19. DUMPSTER WILL HAVE A 6' TALL BRICK WALL AROUND AND THE BRICK TO MATCH THE BUILDING. SEE LANDSCAPE PLAN FOR SCREENING AROUND DUMPSTER. THE GATE WILL BE PAINTED STEEL. SEE ARCHITECT PLANS FOR DETAILS.
20. DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).
21. PARKING PROVIDED IN THIS PROJECT:  
 2 ADA COMPLIANT PARKING SPACES  
 53 STANDARD PARKING SPACES  
 55 TOTAL PARKING SPACES PROVIDED



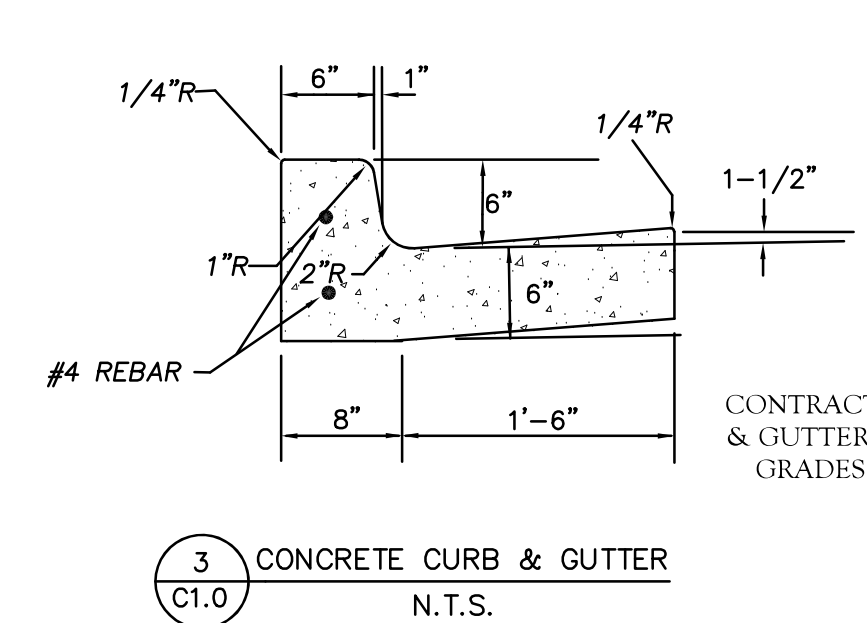
2 TRAFFIC SIGN INSTALLATION  
N.T.S.



1 90° PARKING STALL DETAIL  
N.T.S.



4 CONCRETE CURB & GUTTER (PITCH-AWAY)  
N.T.S.

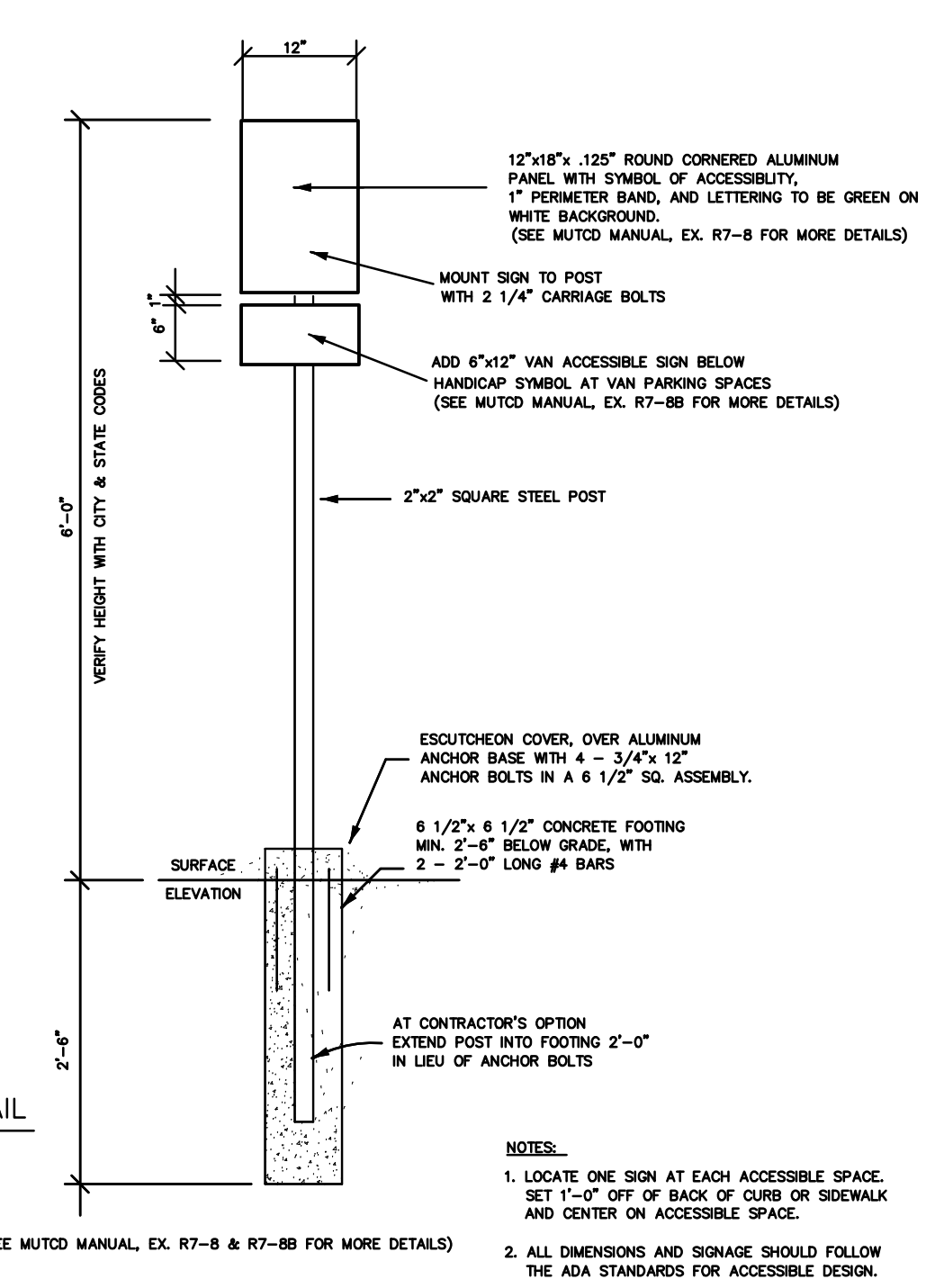
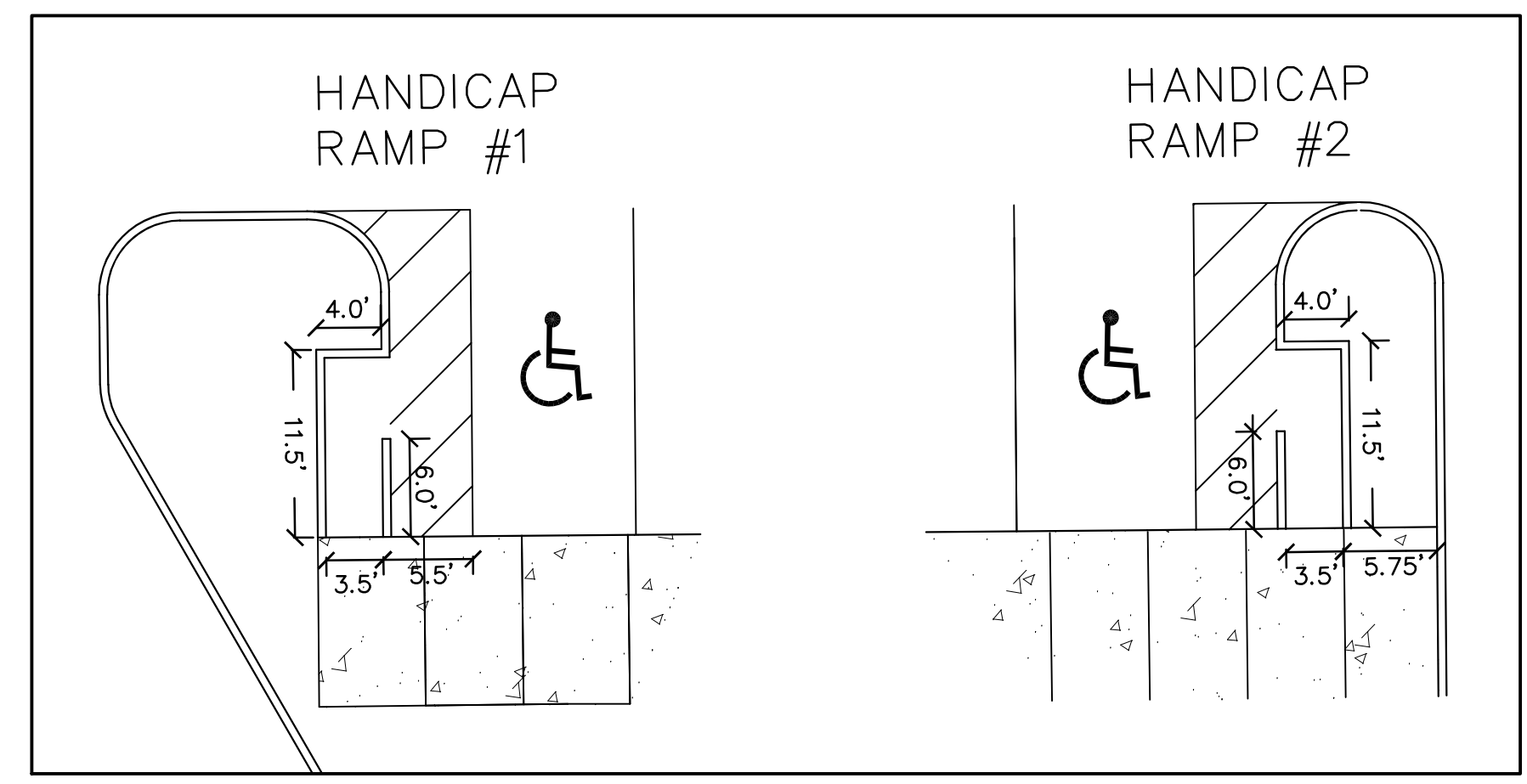
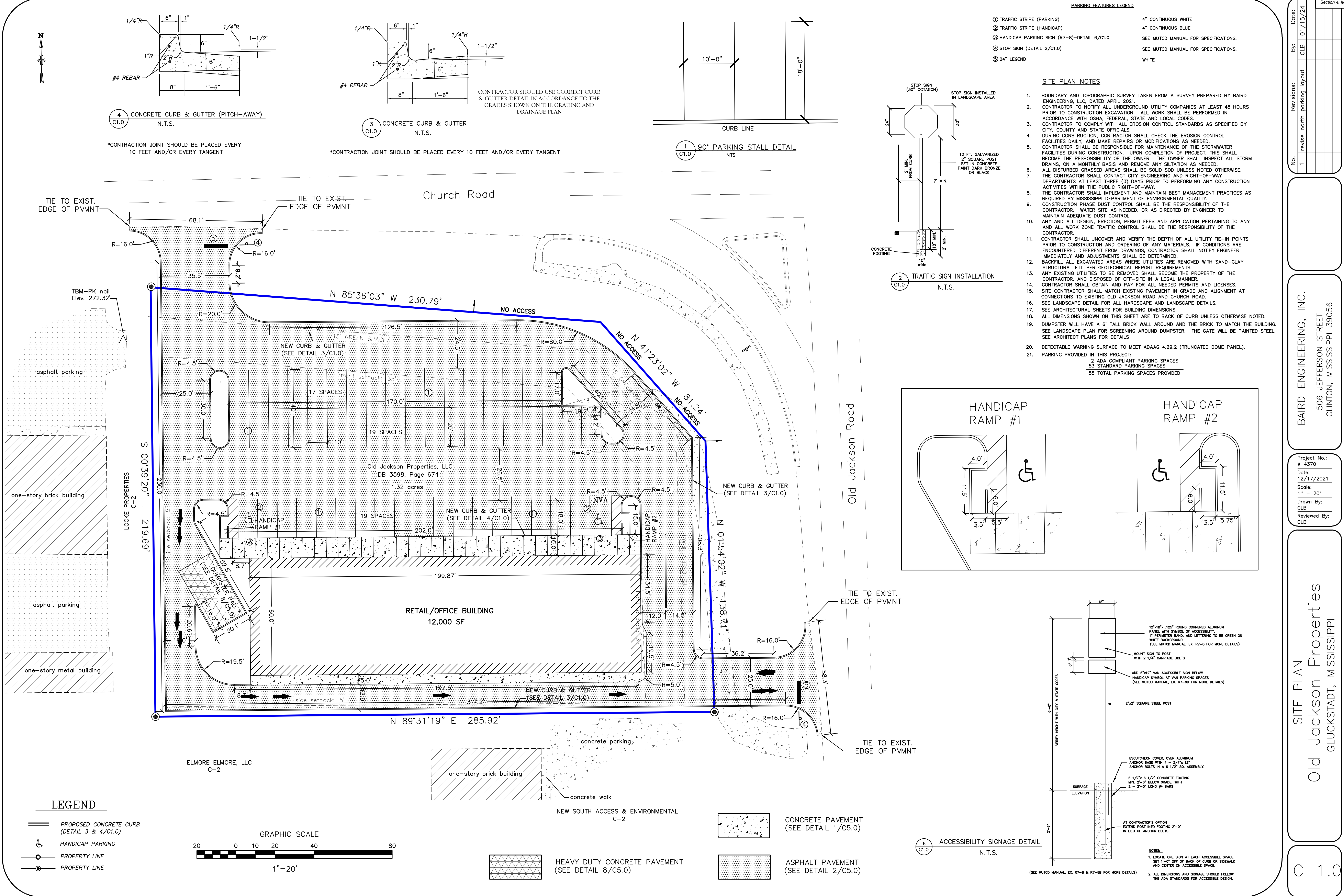


3 CONCRETE CURB & GUTTER  
N.T.S.

CONTRACTOR SHOULD USE CORRECT CURB & GUTTER DETAIL IN ACCORDANCE TO THE GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN

\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

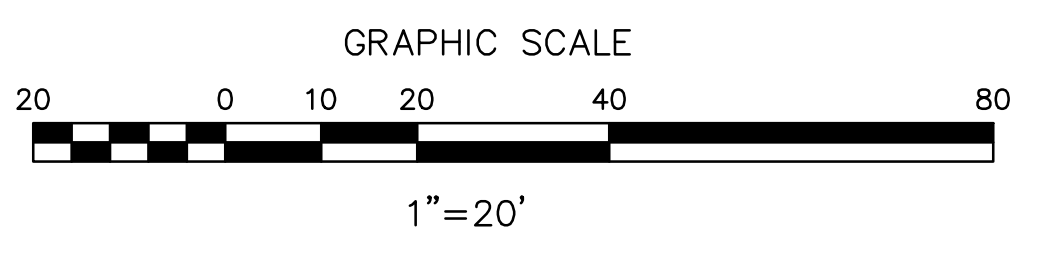
\*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT



6 ACCESSIBILITY SIGNAGE DETAIL  
N.T.S.

NOTES:  
 1. LOCATE ONE SIGN AT EACH ACCESSIBLE SPACE. SET 1'-0" OFF OF BACK OF CURB OR SIDEWALK AND CENTER ON ACCESSIBLE SPACE.  
 2. ALL DIMENSIONS AND SIGNAGE SHOULD FOLLOW THE ADA STANDARDS FOR ACCESSIBLE DESIGN.

- LEGEND**
- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C1.0)
  - ♿ HANDICAP PARKING
  - PROPERTY LINE
  - PROPERTY LINE



HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL 8/C5.0)

CONCRETE PAVEMENT (SEE DETAIL 1/C5.0)  
 ASPHALT PAVEMENT (SEE DETAIL 2/C5.0)

Section 4, Item E)

Date: 01/15/24  
 By: CLB  
 Revisions: revise north parking layout  
 No. 1

BAIRD ENGINEERING, INC.  
 506 JEFFERSON STREET  
 CLINTON, MISSISSIPPI 39056

Project No.: # 4370  
 Date: 12/17/2021  
 Scale: 1" = 20'  
 Drawn By: CLB  
 Reviewed By: CLB

SIT PLAN  
 Old Jackson Properties  
 GLUCKSTADT, MISSISSIPPI

C 1.0

No.	Revisions:	By:	Date:
1	revise north parking layout	CLB	01/15/24

BAIRD ENGINEERING, INC.  
506 JEFFERSON STREET  
CLINTON, MISSISSIPPI 39056

Project No.: # 4370  
Date: 12/17/2021  
Scale: 1" = 20'  
Drawn By: CLB  
Reviewed By: CLB

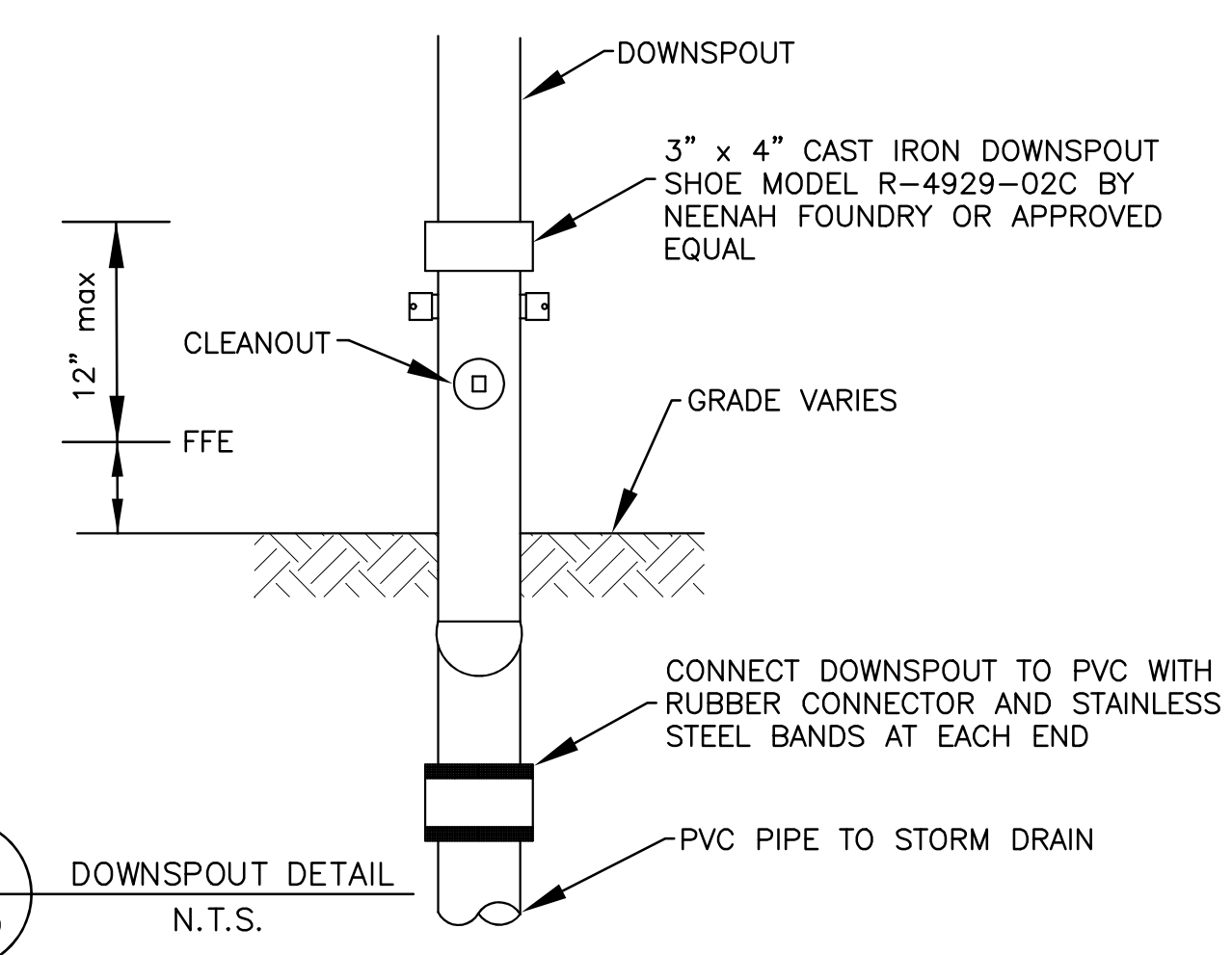
Old Jackson Properties  
GLUCKSTADT, MISSISSIPPI

GRADING PLAN  
Old Jackson Properties  
GLUCKSTADT, MISSISSIPPI

C 2.0

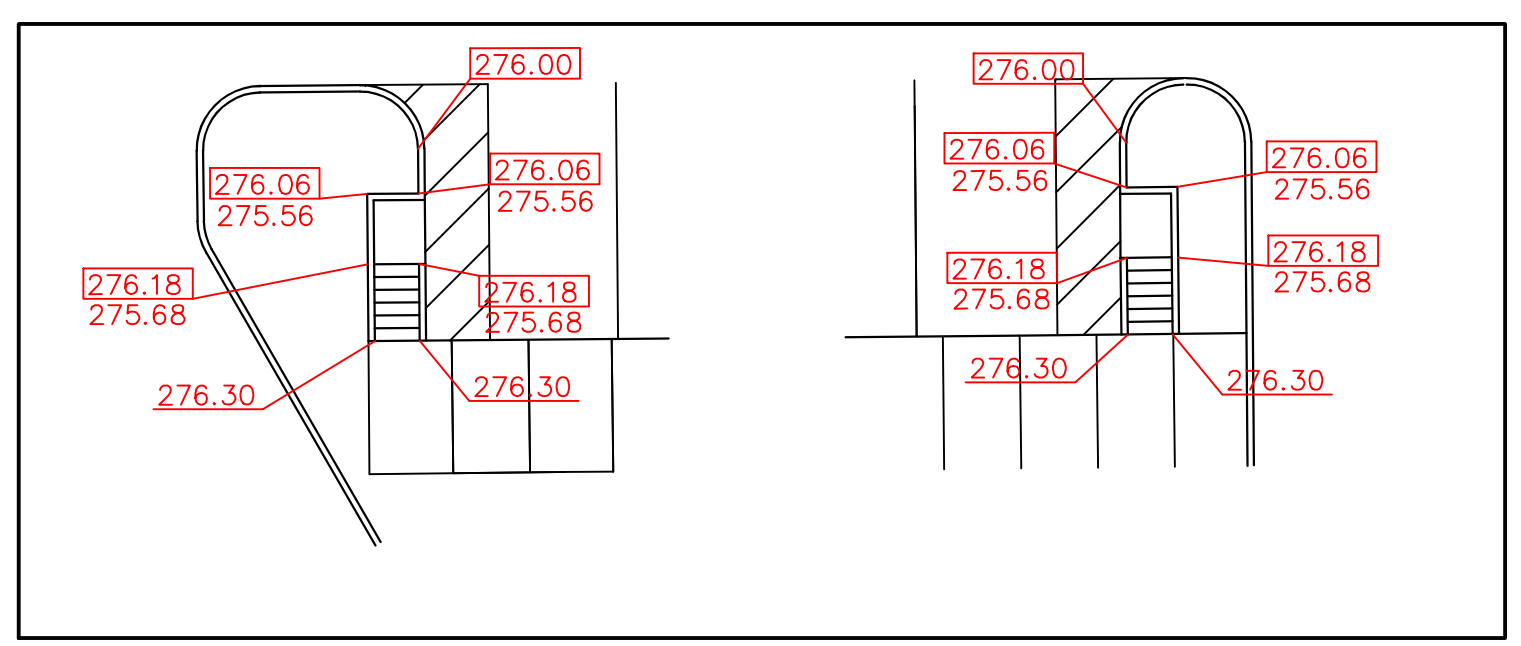
**SITE PREPARATION NOTES**

- GENERAL**  
THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.  
SEE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF DOWN SPOUTS FOR ROOF DRAINAGE.  
TOPOGRAPHIC SURVEY PROVIDED BY BAIRD ENGINEERING AND IS A PART OF THIS SET OF PLANS.  
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE MADISON COUNTY STANDARDS.
- CLEARING**  
PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.  
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.  
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.  
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.
- GRUBBING**  
REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.
- CLEAN-UP**  
UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.
- SITE GRADING**  
PROFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 95% ASTM D698 PRIOR TO FILL PLACEMENT.  
CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.  
ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.  
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.
- FILLING AND BACKFILLING MATERIALS**  
IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 90% MAXIMUM DENSITY WITH 2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 45 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 24.
- STORM DRAIN PIPE**  
NEW STORM PIPE ON THIS SHEET LABELED "CPP" SHALL BE HIGH DENSITY POLYETHYLENE PIPE.



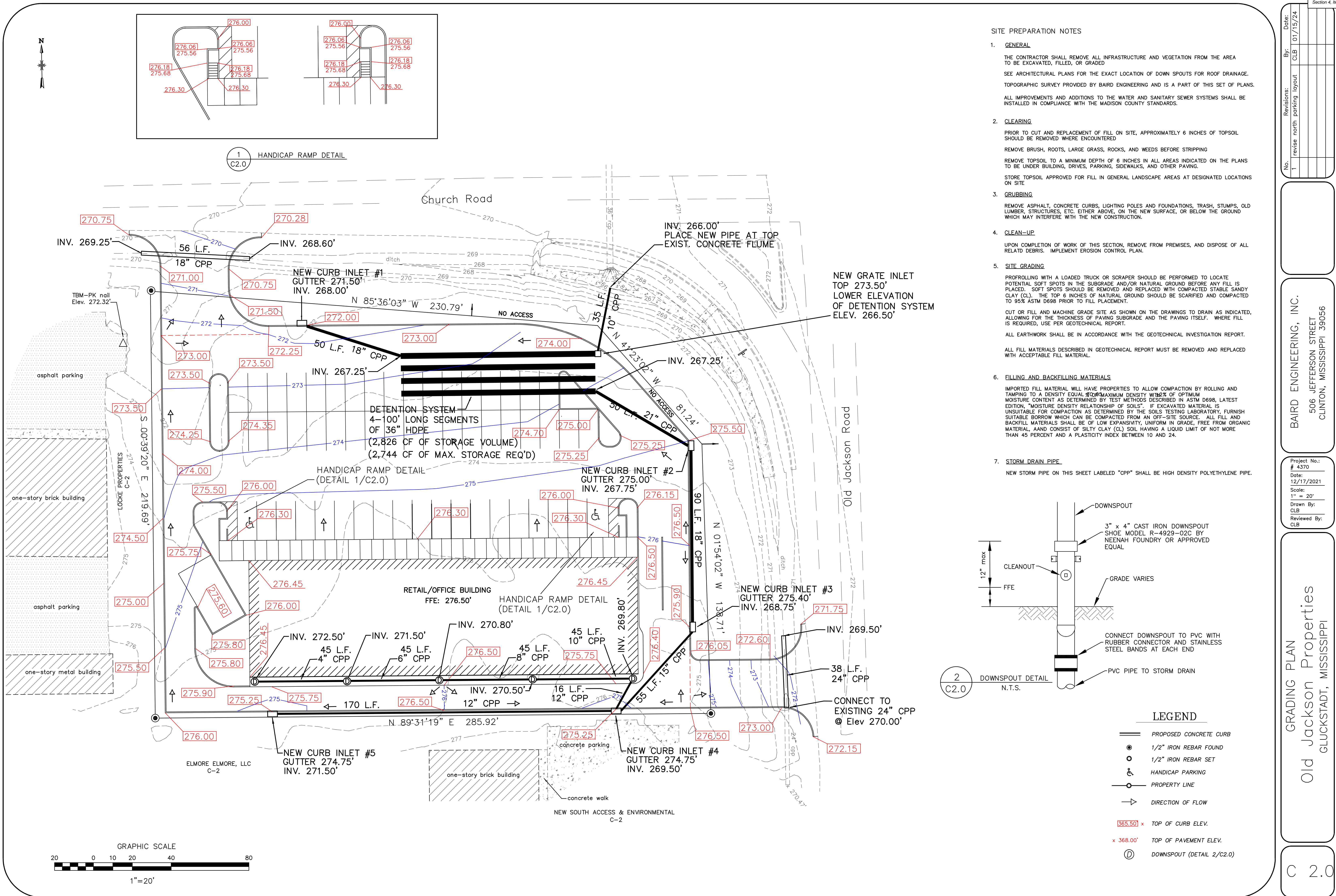
**LEGEND**

- PROPOSED CONCRETE CURB
- 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET
- ♿ HANDICAP PARKING
- PROPERTY LINE
- DIRECTION OF FLOW
- 365.50' x TOP OF CURB ELEV.
- x 368.00' TOP OF PAVEMENT ELEV.
- Ⓧ DOWNSPOUT (DETAIL 2/C2.0)



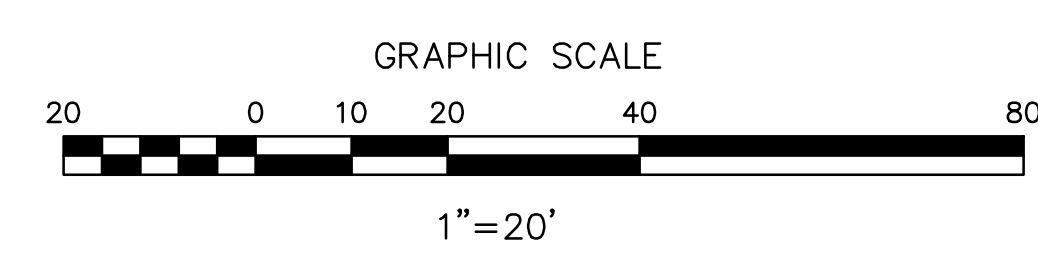
1 HANDICAP RAMP DETAIL  
C2.0

2 DOWNSPOUT DETAIL  
N.T.S.  
C2.0



NEW SOUTH ACCESS & ENVIRONMENTAL  
C-2

ELMORE ELMORE, LLC  
C-2



NOTES:

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

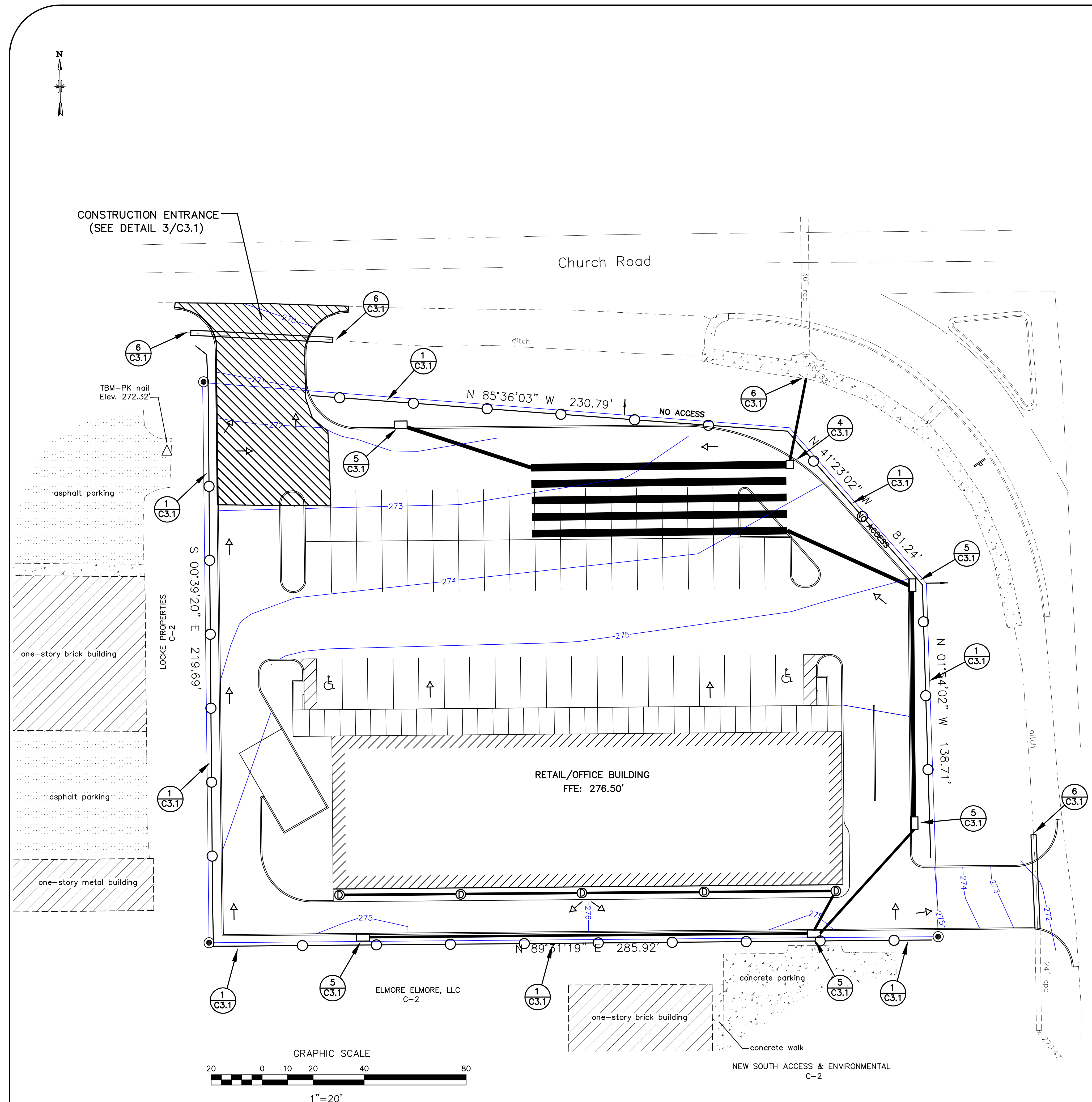
1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.



BAIRD ENGINEERING, INC.  
506 JEFFERSON STREET  
CLINTON, MISSISSIPPI 39056

Project No.: # 4370  
Date: 12/17/2021  
Scale: 1" = 20'  
Drawn By: CLB  
Reviewed By: CLB

EROSION CONTROL PLAN  
Old Jackson Properties  
GLUCKSTADT, MISSISSIPPI

C 3.0

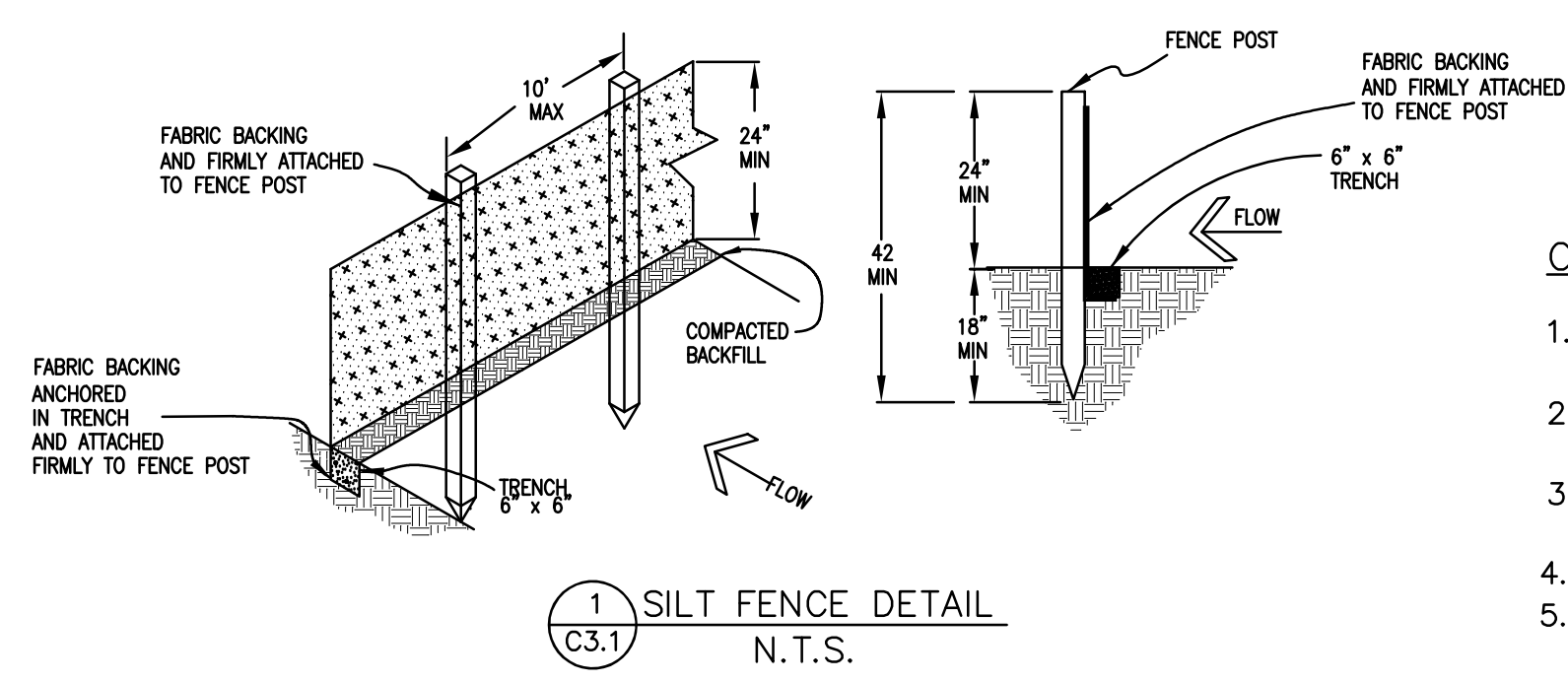
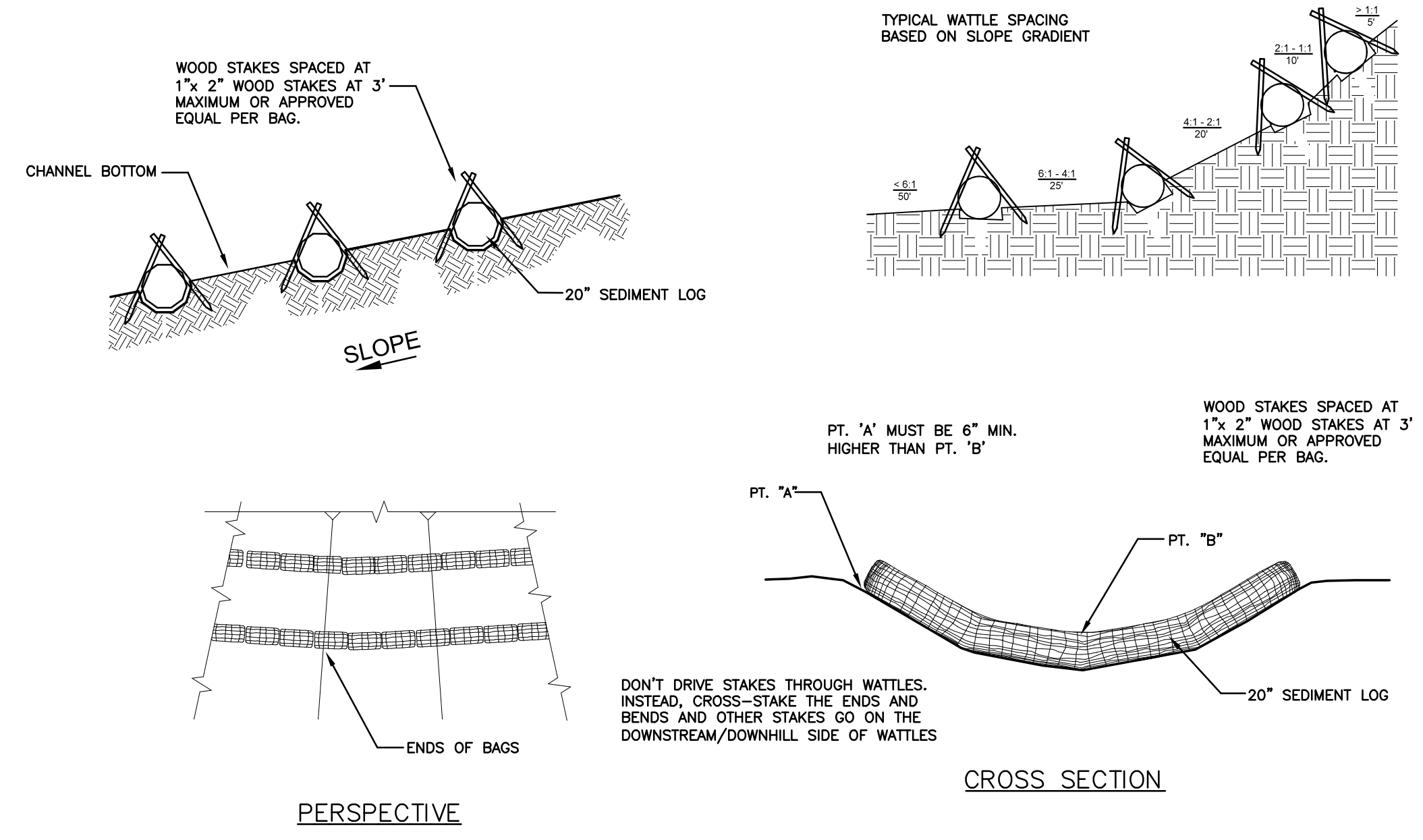
Date:	
By:	
Revisions:	
No.:	


BAIRD ENGINEERING, INC.  
 506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 925 - 5015

Project No.: # 4370  
 Date: 12/17/2021  
 Scale: N.T.S.  
 Designed By: CLB  
 Reviewed By: CLB

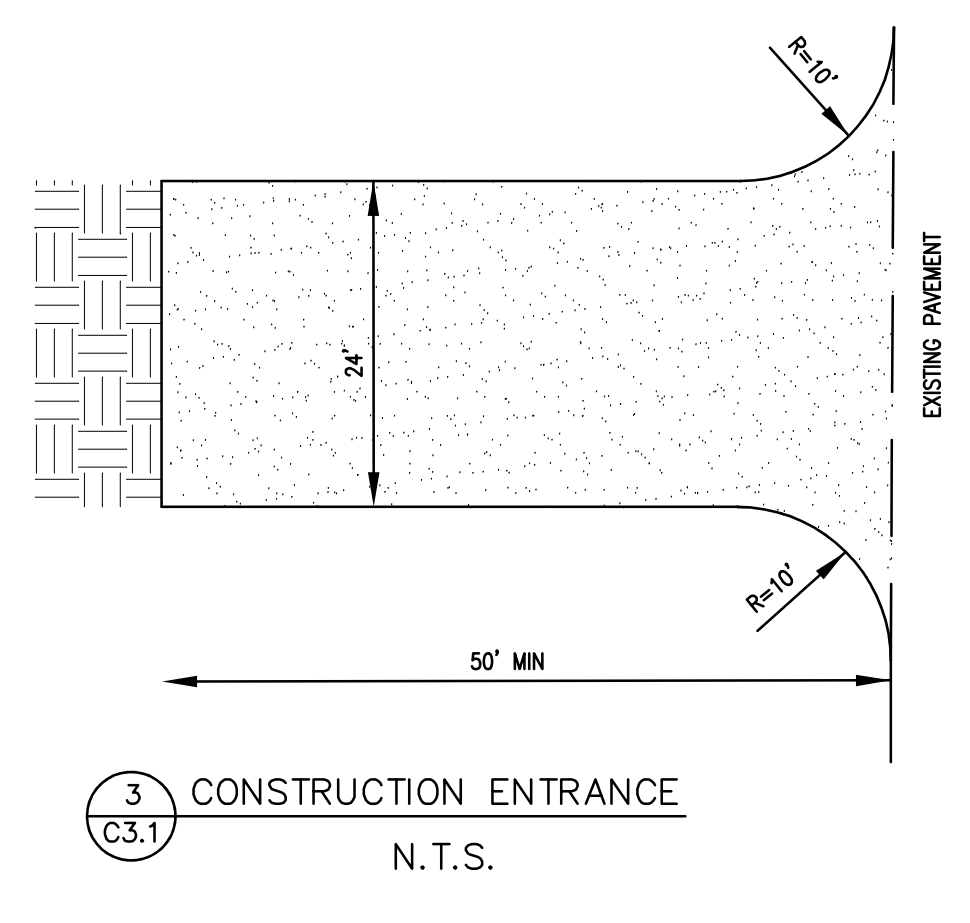
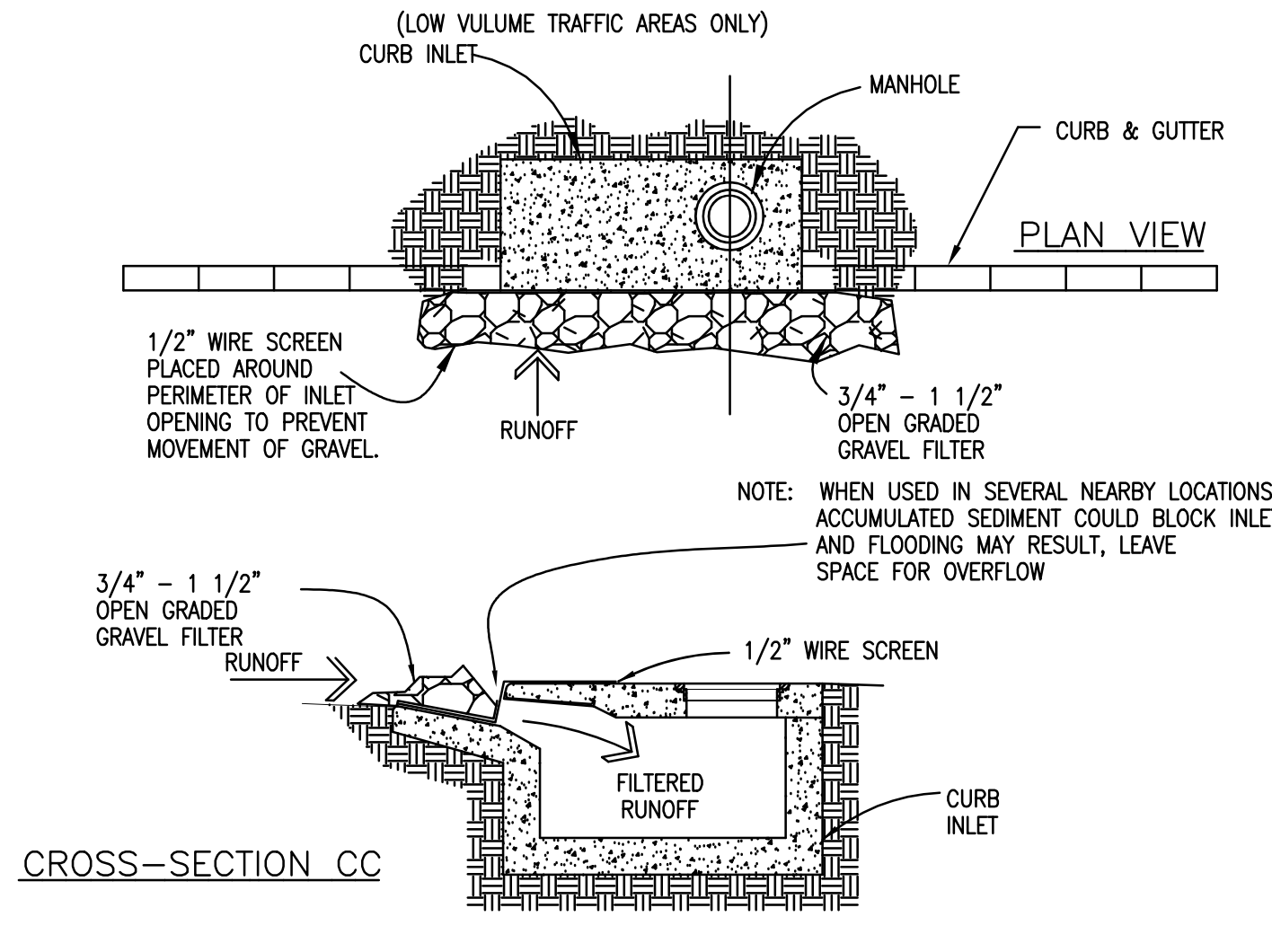
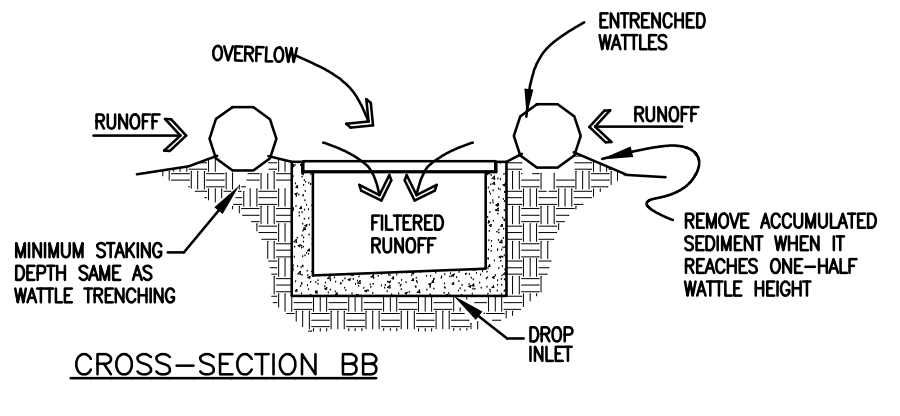
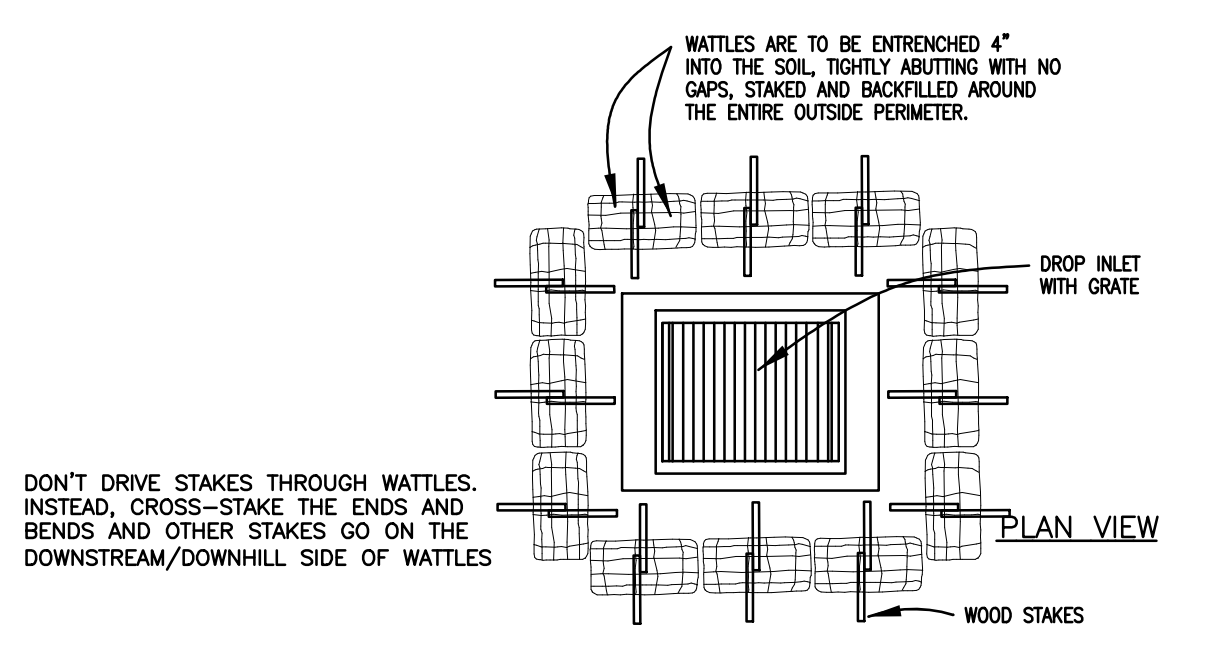
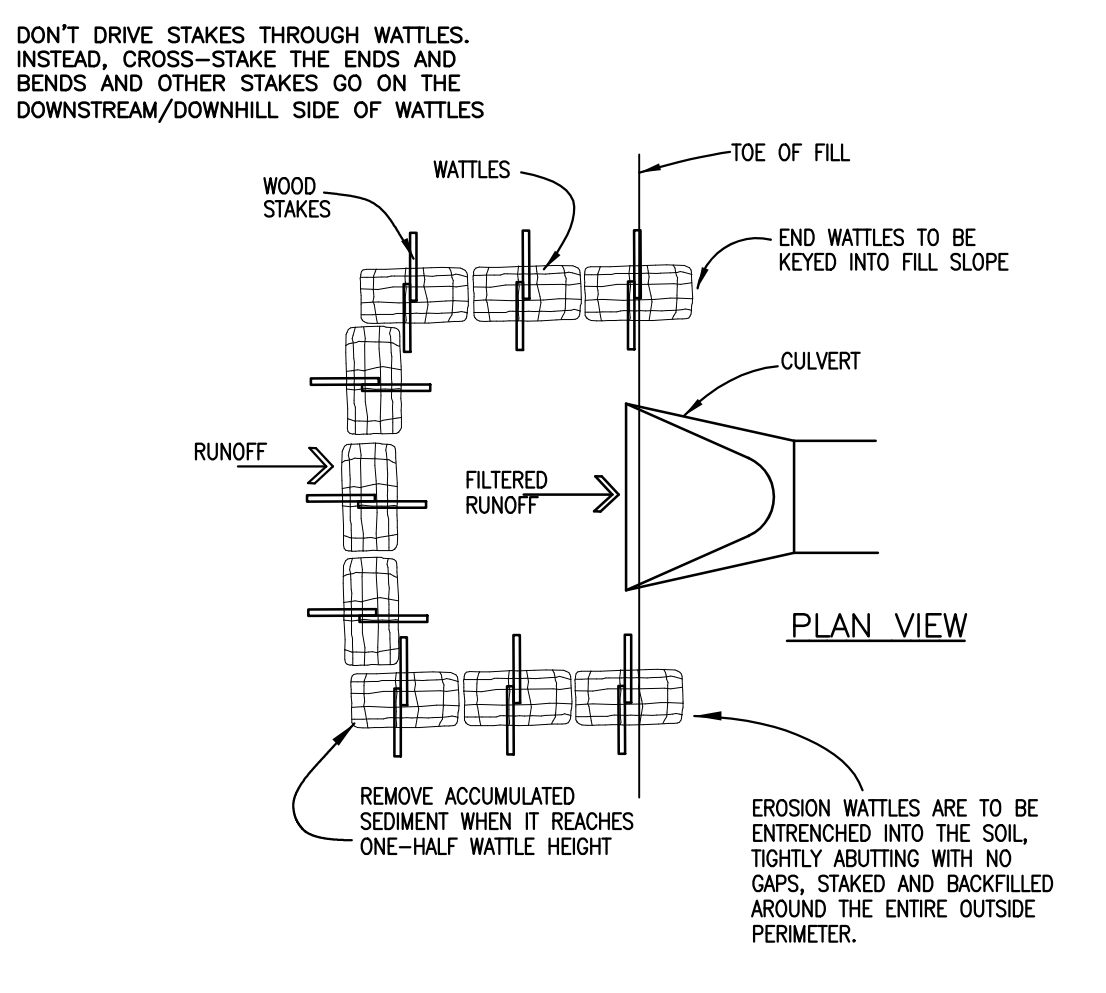
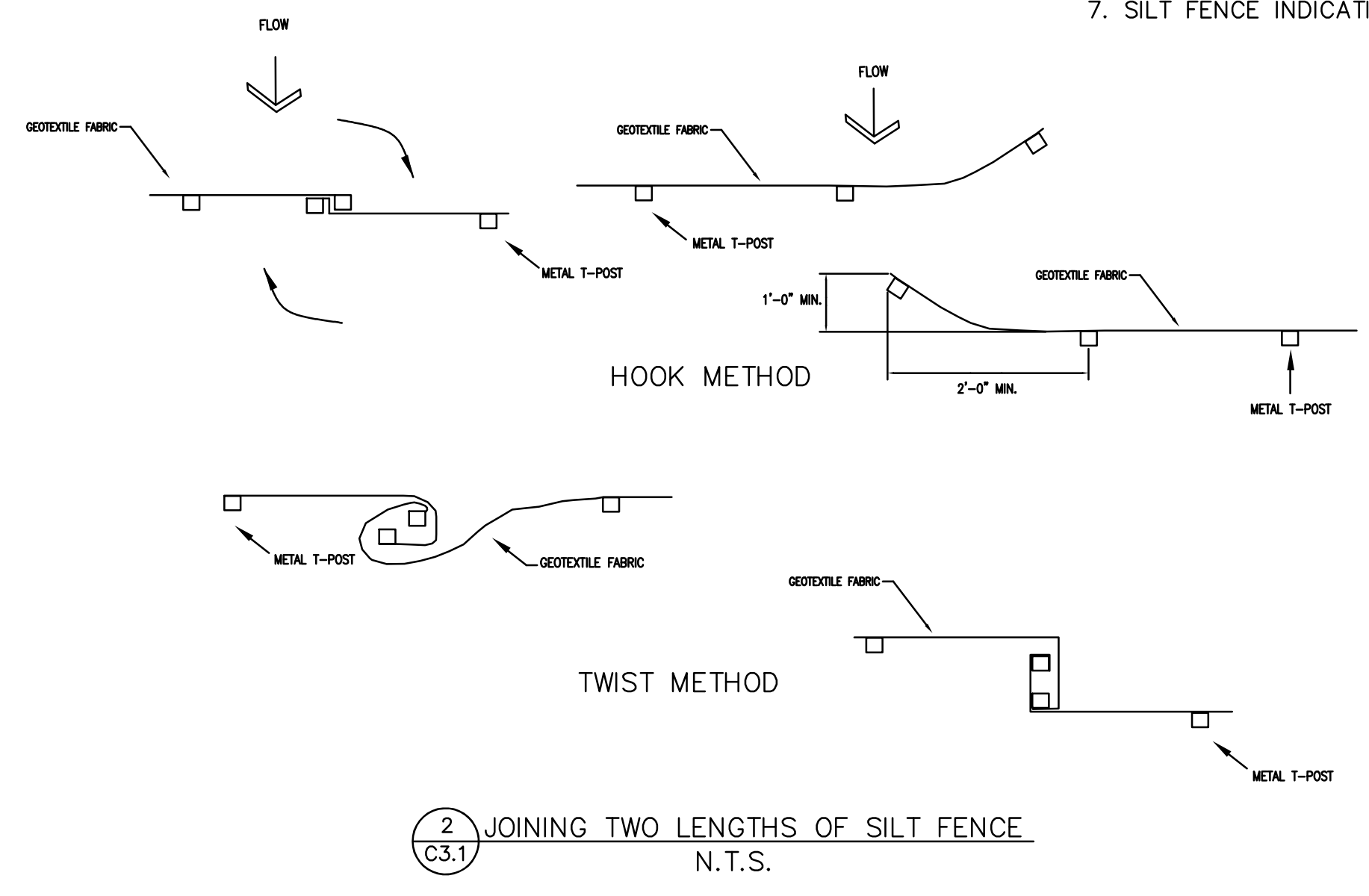
EROSION CONTROL DETAILS  
 Old Jackson Properties

SHEET  
 C 3.1



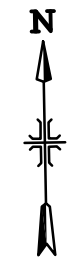
Construction Notes for Silt Fence:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
  4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN  
 POSTS: LOCATE MAXIMUM OF 6 FEET O.C.  
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING  
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL
6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
  7. SILT FENCE INDICATION ON THE PLANS AS —○—○—○—



NOTES:

1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
2. THICKNESS - NOT LESS THAN 6".
3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. WIDTH - 30 FOOT MINIMUM
6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.



### UTILITIES NOTES

#### 1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE MECHANICAL SHEETS FOR BUILDING CONNECTIONS.

GAS COMPANY TO BE RESPONSIBLE FOR THE SIZE AND CONSTRUCTION OF THE PROPOSED GAS LINES AS SHOWN ON THIS PLAN.

#### 2. SANITARY SEWER AND WATER CONNECTIONS

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD, C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY THE CITY OF MADISON. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

#### UTILITY CONNECTIONS

UTILITY CONNECTIONS SHOWN ON THIS PLAN SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY AS INDICATED BELOW AND ARE TO BE INSTALLED IN ACCORDANCE WITH THEIR REGULATIONS AND REQUIREMENTS.

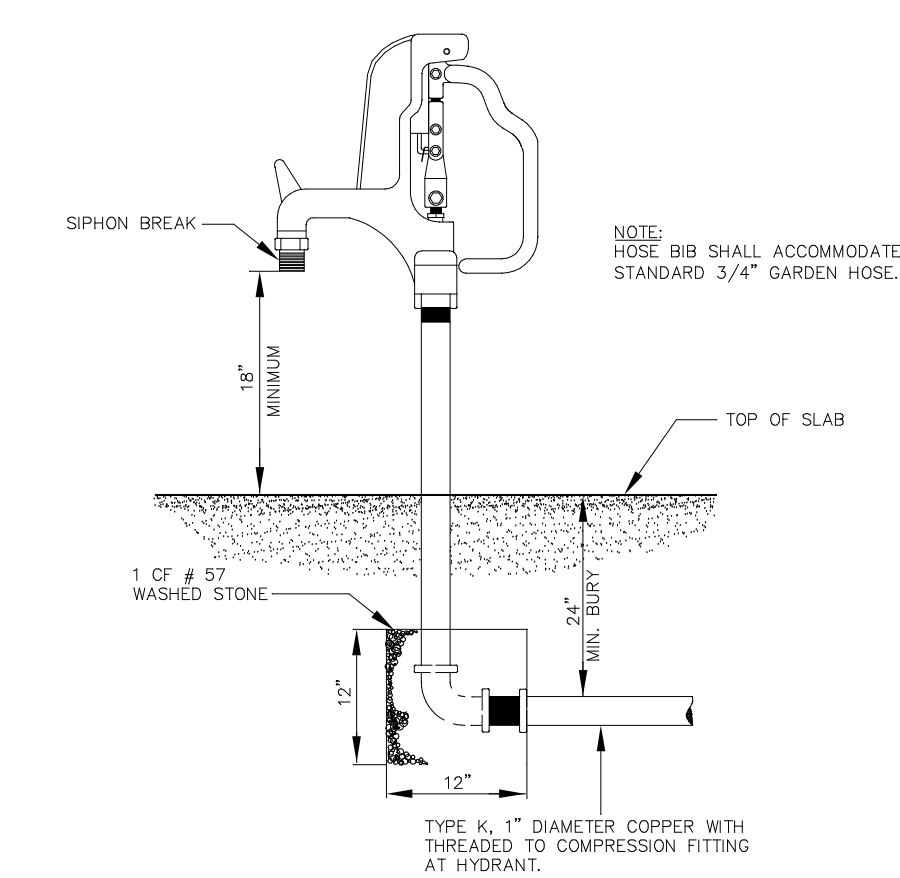
**SANITARY SEWER SERVICE:**  
BEAR CREEK WATER ASSOCIATION  
CONTACT: WATER/SEWER DIVISION  
TELEPHONE: 601-856-5969

**ELECTRIC SERVICE:**  
ENERGY  
CONTACT: JOHN PEACOCK  
TELEPHONE: 1-800-368-3749

**WATER SERVICE:**  
BEAR CREEK WATER ASSOCIATION  
CONTACT: WATER/SEWER DIVISION  
TELEPHONE: 601-856-5969

**NATURAL GAS SERVICE:**  
ATMOS ENERGY  
CONTACT: N/A  
TELEPHONE: N/A

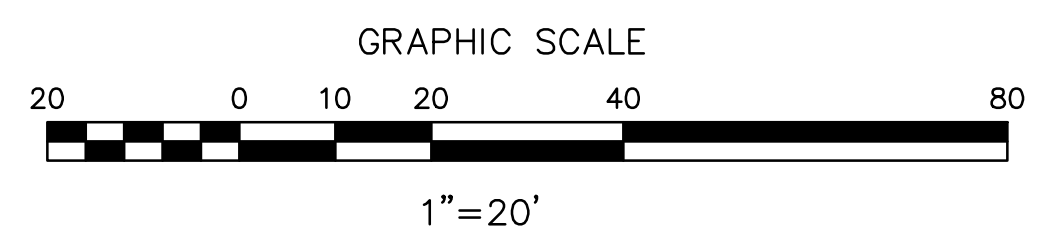
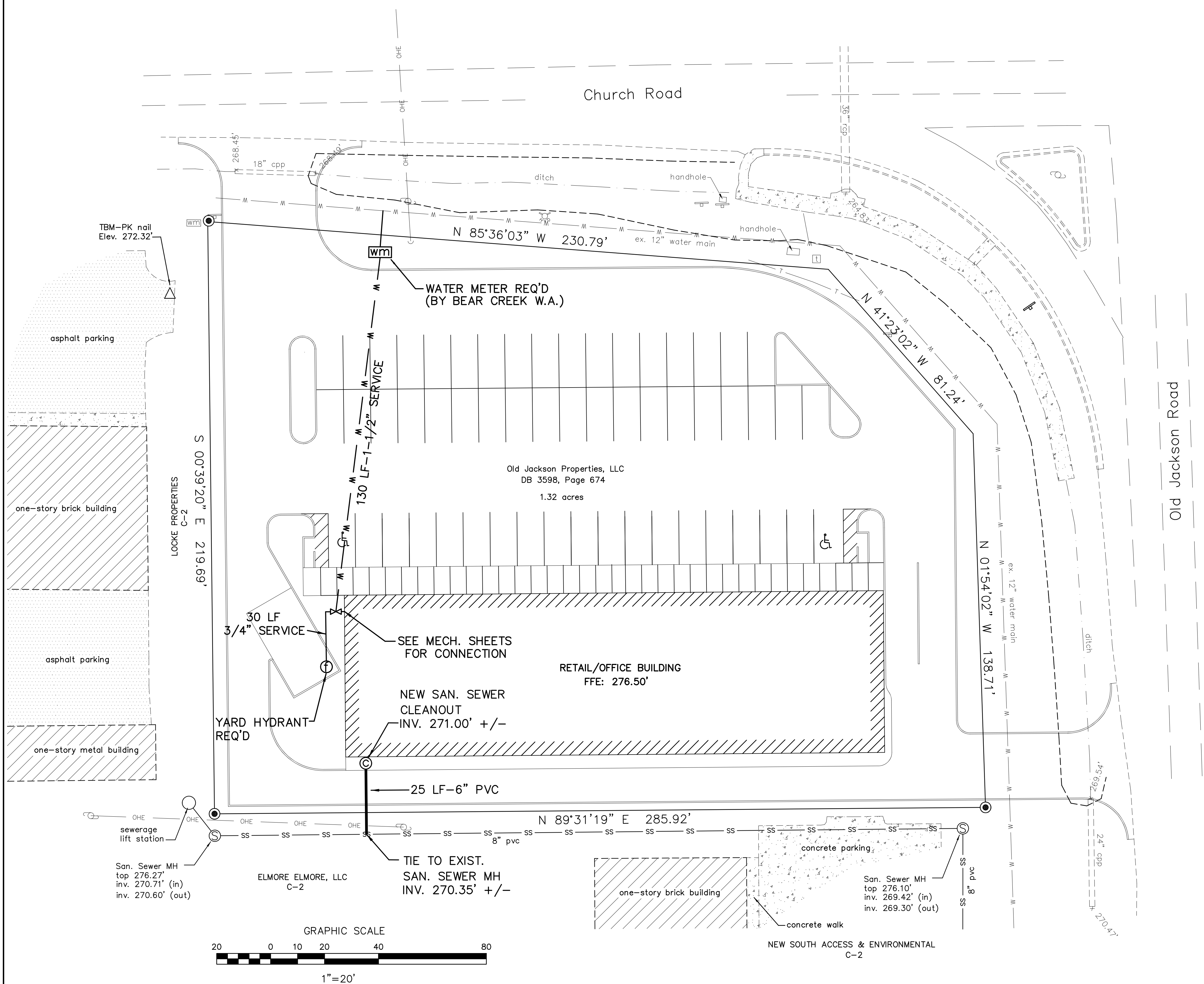
\* SEE MECHANICAL SHEETS (MECHANICAL SITE PLAN) FOR GAS CONNECTIONS AND LAYOUT  
\* SEE ELECTRICAL SHEETS (ELECTRICAL SITE PLAN) FOR ELECTRICAL CONNECTIONS AND LAYOUT



#### LEGEND

- PROPOSED CONCRETE CURB
- 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET
- ♿ HANDICAP PARKING
- PROPERTY LINE
- ⊞ BFP BACKFLOW PREVENTER
- ⊞ FDC FIRE DEPARTMENT CONNECTION

YARD HYDRANT DETAIL



Date:	01/15/24
By:	CLB
Revisions:	1 revise north parking layout
No.	1

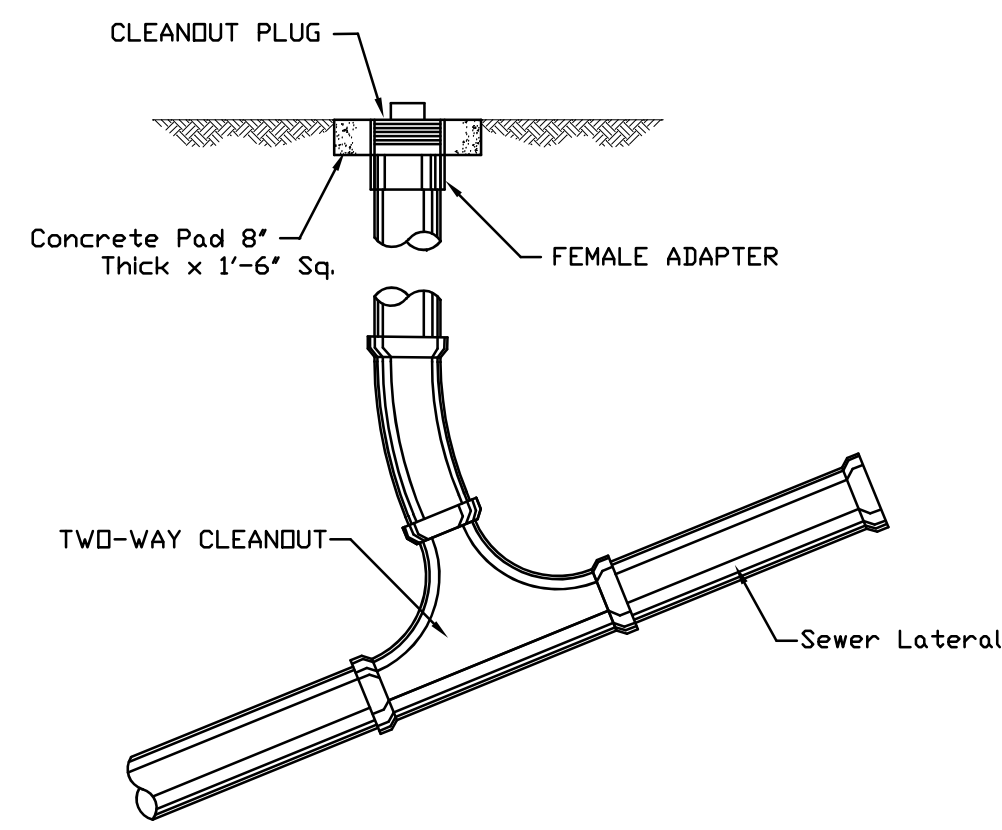
Section 4, Item E)

BAIRD ENGINEERING, INC.  
506 JEFFERSON STREET  
CLINTON, MISSISSIPPI 39056

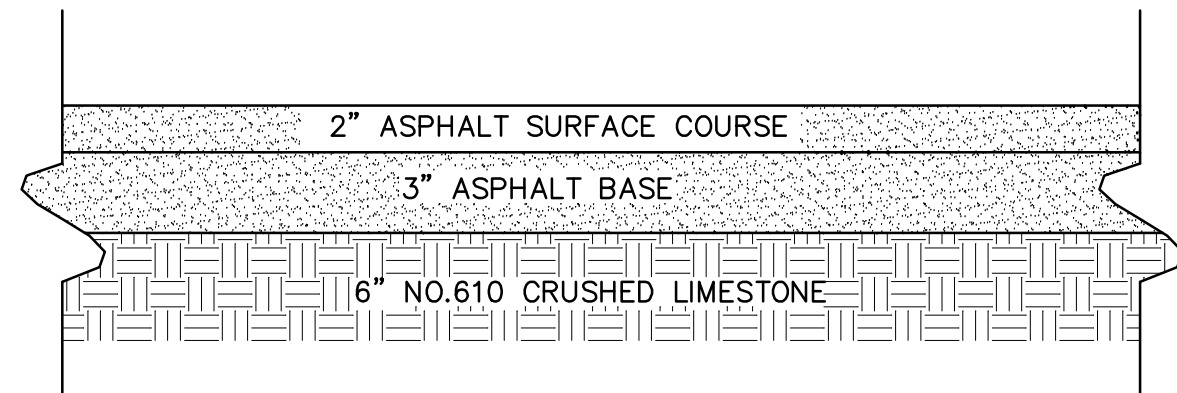
Project No.: # 4370  
Date: 12/17/2021  
Scale: 1" = 20'  
Drawn By: CLB  
Reviewed By: CLB

UTILITY PLAN  
Old Jackson Properties  
GLUCKSTADT, MISSISSIPPI

C 4.0

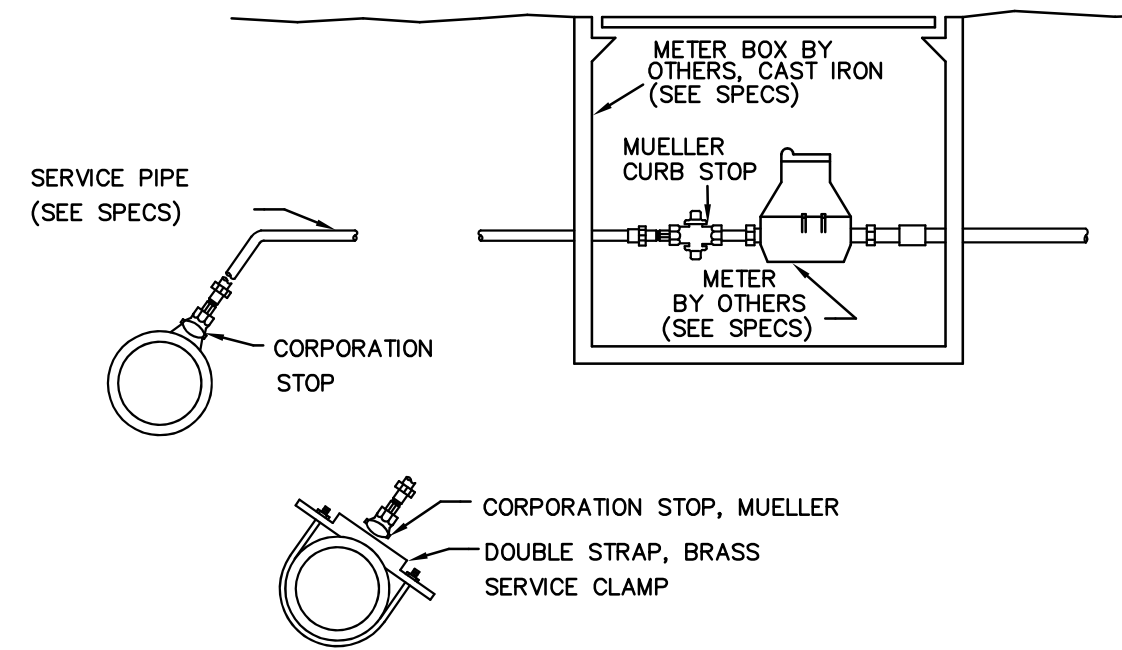


6 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL  
C5.0 NTS



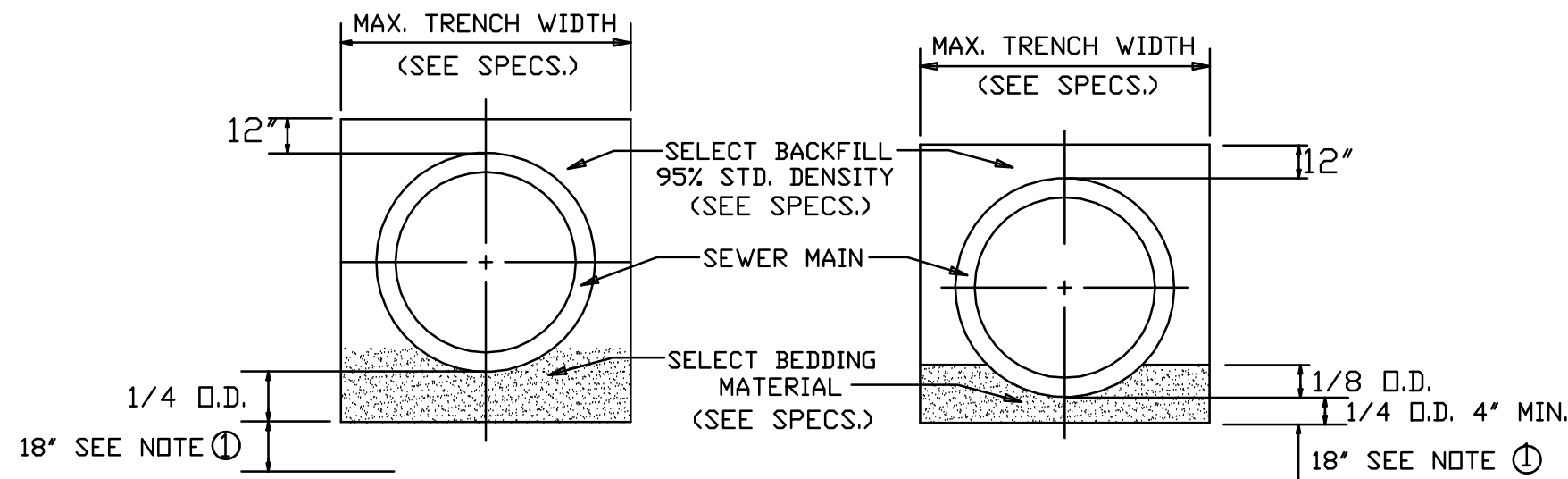
2 ASPHALT PAVEMENT DETAIL  
C5.0 N.T.S.

ASPHALT SURFACE COURSE SHALL CONFORM WITH SPECIFICATIONS FOR SC-1, TYPE 8 PRESENTED IN THE MS STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (1990 EDITION). BITUMINOUS BASE SHOULD CONFORM WITH BB-1, TYPE 6 SPECIFICATIONS.



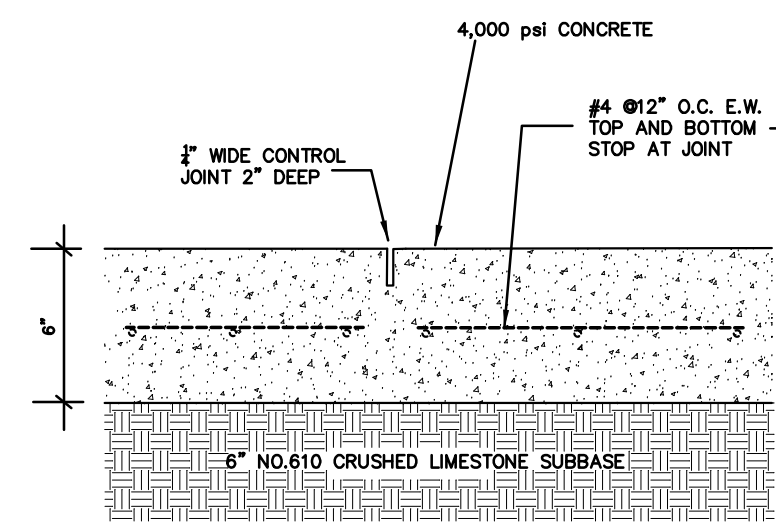
7 TYPICAL SERVICE ASSEMBLY  
C5.0

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY OF JACKSON PRIOR TO INSTALLATION.



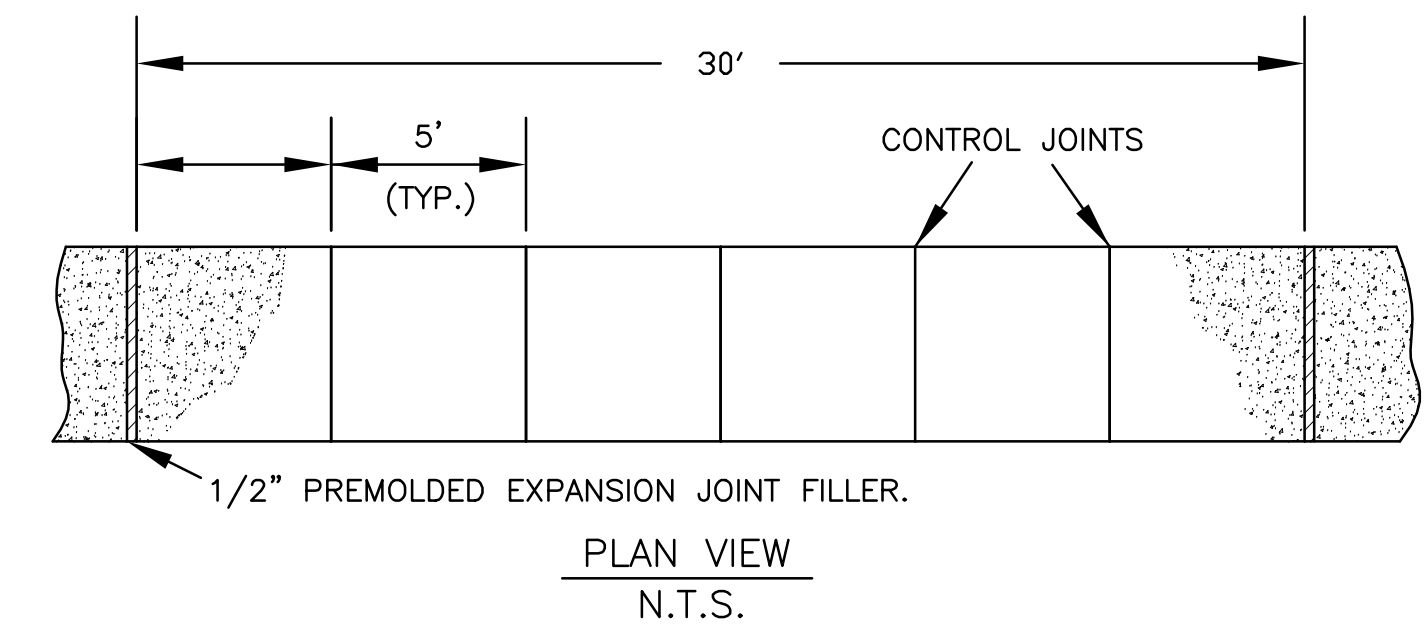
TYPICAL SECTION CLASS "B" BEDDING  
TYPICAL SECTION CLASS "C" BEDDING

- ① DEWATERING REQ'D. TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- ② WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.

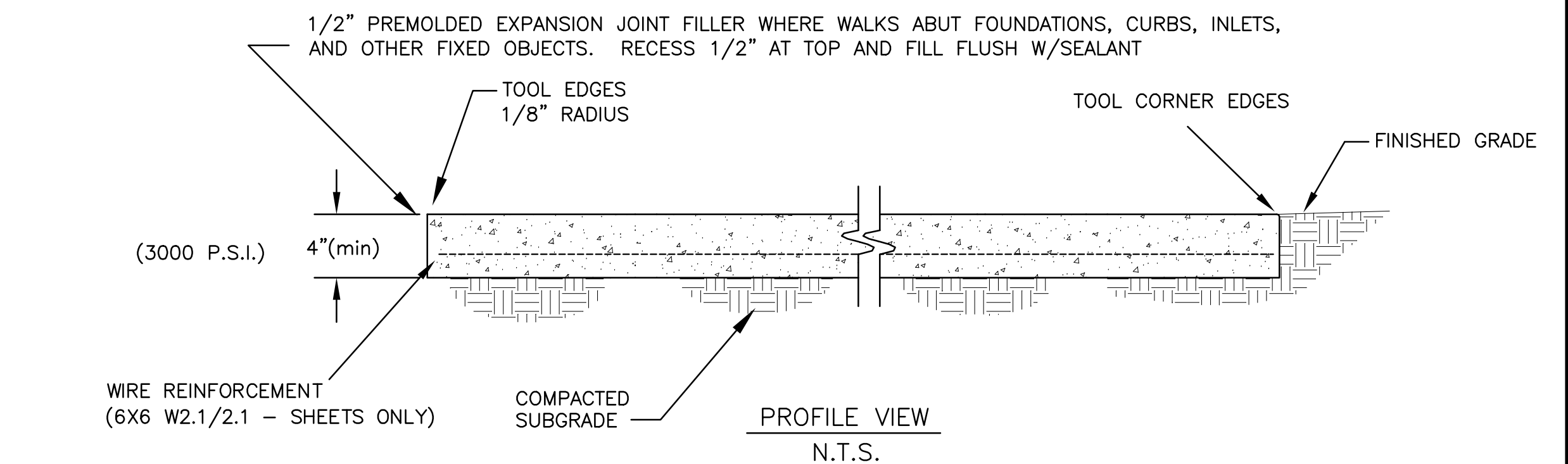


1 CONCRETE PAVEMENT DETAIL  
C5.0 N.T.S.

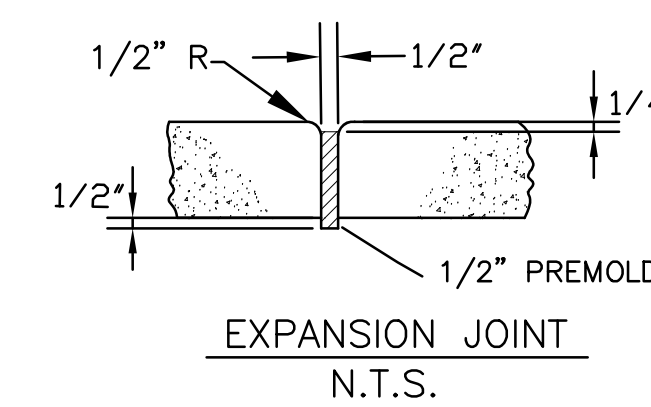
- SLAB PROFILE:
- TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
  - EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  - PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.



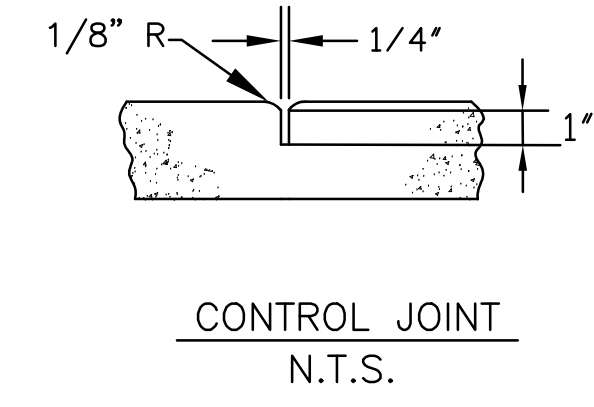
PLAN VIEW  
N.T.S.



PROFILE VIEW  
N.T.S.



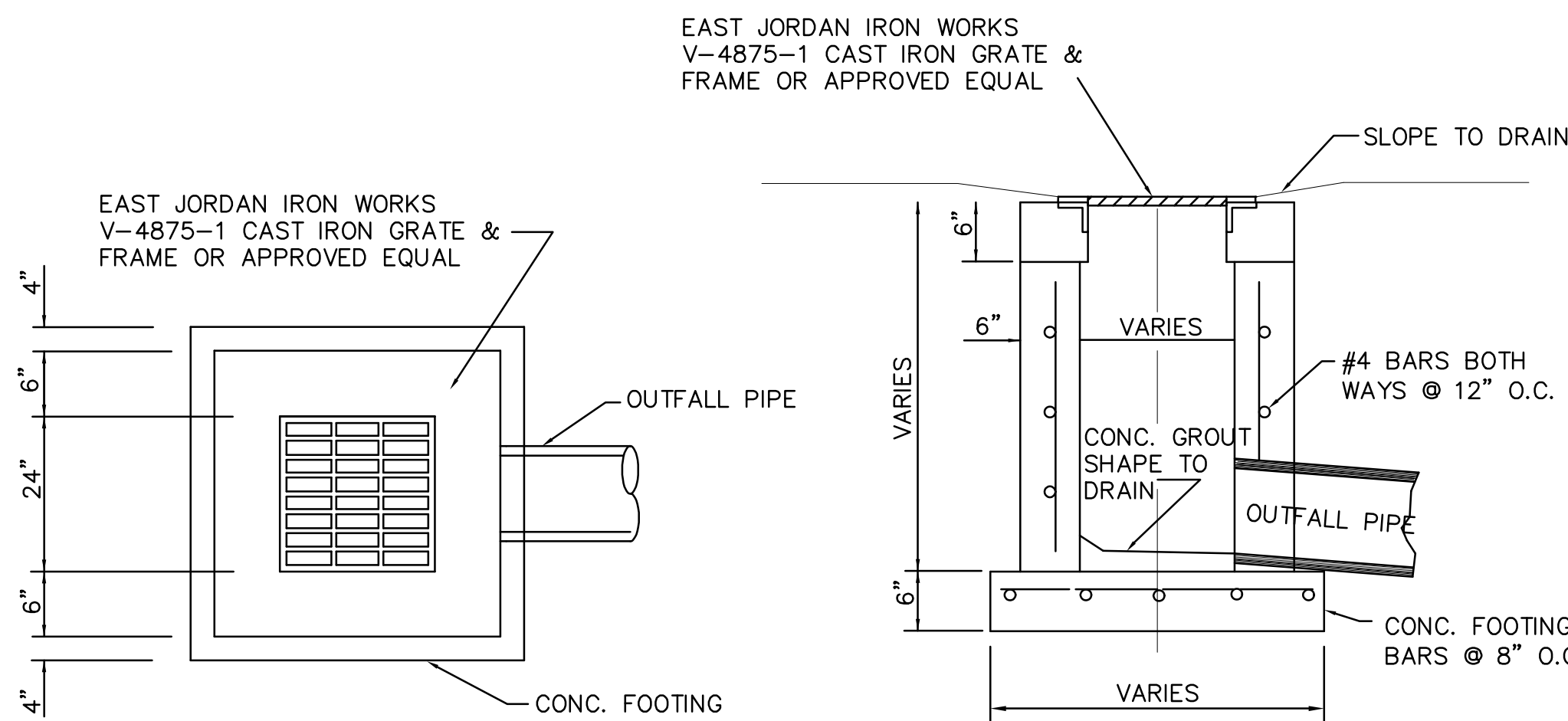
EXPANSION JOINT  
N.T.S.



CONTROL JOINT  
N.T.S.

- NOTES:
- CONCRETE SHALL BE 3,000 PSI MINIMUM
  - 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
  - PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
  - HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

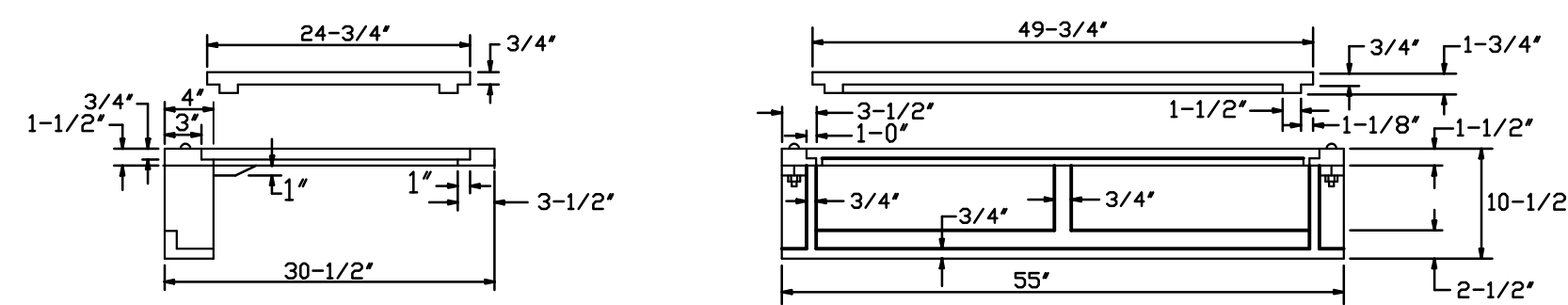
3 CONCRETE SIDEWALK SECTION DETAILS  
C5.0 N.T.S.



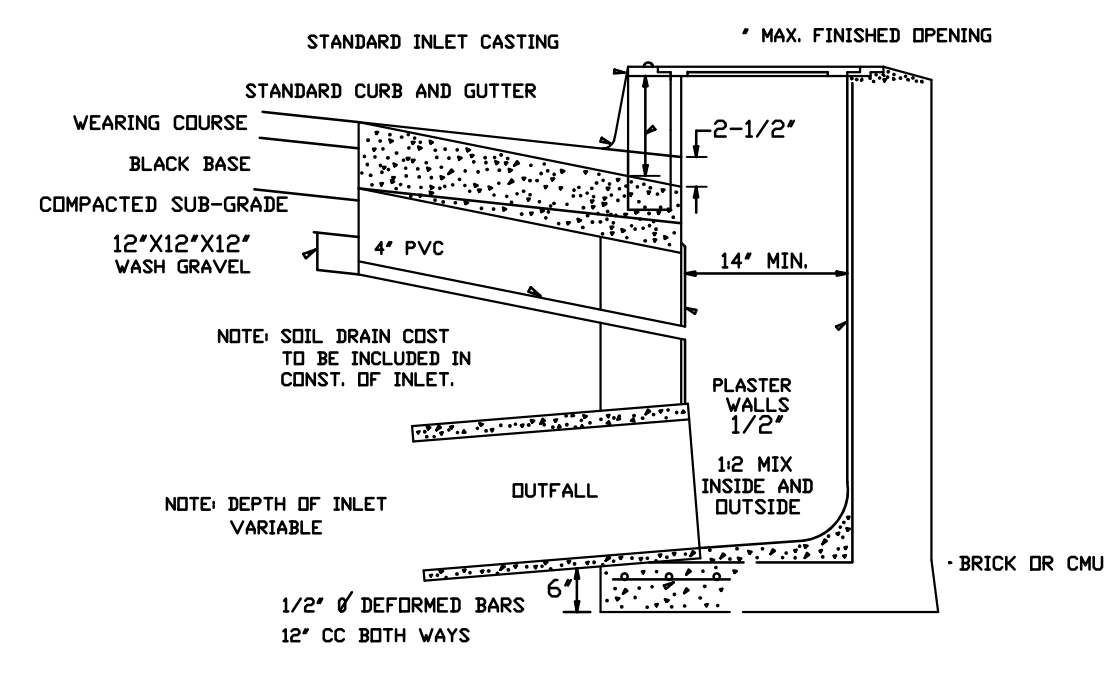
GRATE INLET - PLAN VIEW  
USE ALSO FOR JUNCTION BOX WITHOUT GRATE. USE CONCRETE TOP INSTEAD.

GRATE INLET - SECTION VIEW  
USE ALSO FOR JUNCTION BOX

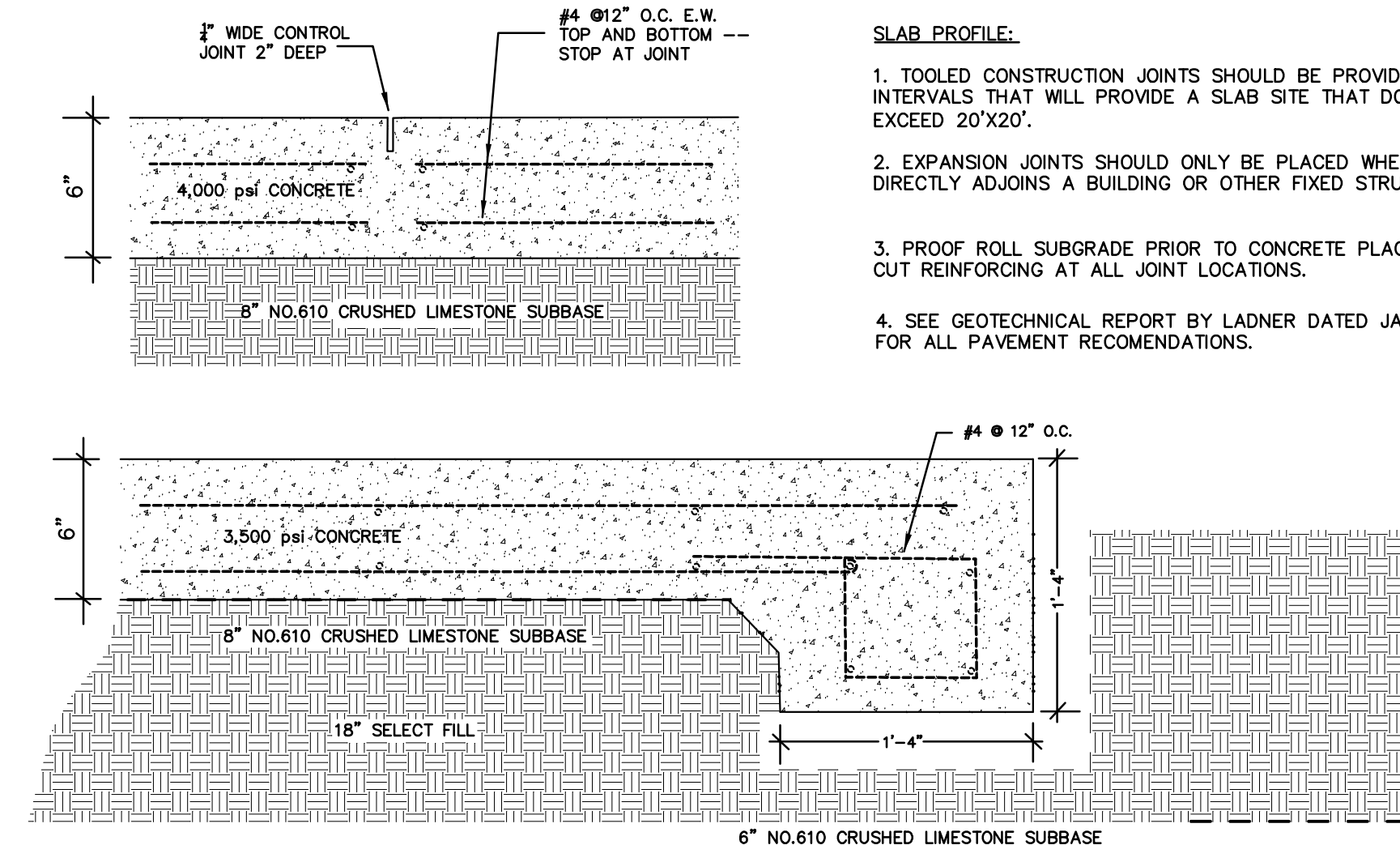
9 GRATE INLET DETAIL  
C5.0 N.T.S.



STANDARD CURB INLET CASTING  
(VULCAN RCB-7)  
NO SCALE

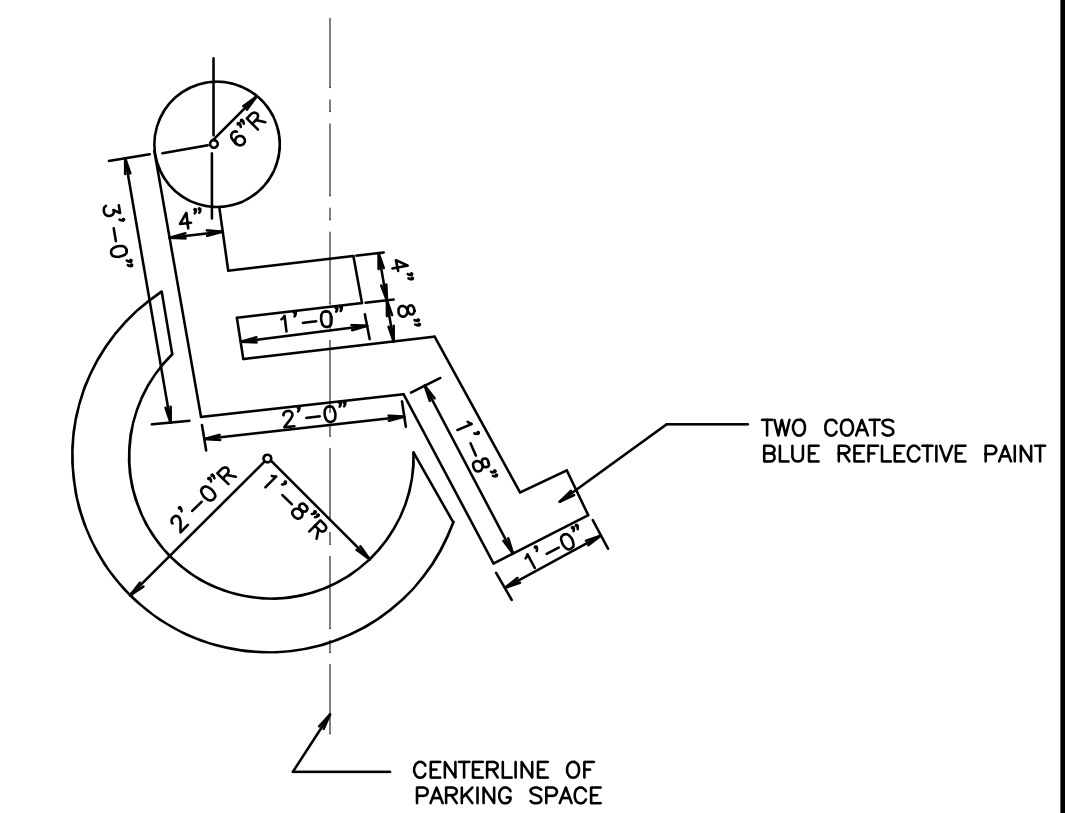


SECTION OF STANDARD CURB INLET  
NO SCALE



8 HEAVY DUTY CONCRETE (DUMPSTER AREA)  
C5.0 N.T.S.

- SLAB PROFILE:
- TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
  - EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  - PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
  - SEE GEOTECHNICAL REPORT BY LADNER DATED JANUARY 2016 FOR ALL PAVEMENT RECOMMENDATIONS.



4 ACCESSIBILITY PARKING SYMBOL  
C5.0 N.T.S.

- NOTES
- ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
  - ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.
  - BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

5 CURB INLET DETAIL  
C5.0 N.T.S.

Date:	01/15/24
By:	CLB
Revisions:	1 revise north parking layout
No.	1

FLOYD S BAIRD ENGINEERING, INC.  
130 E. Northside Drive, Clifton, MS 39056  
Phone: (601) 925-5015  
www.floydbaird.com

Project No.: # 4370  
Date: 12/17/2021  
Scale: N.T.S.  
Designed By: CLB  
Reviewed By: CLB

SITE DETAILS  
OLD JACKSON PROPERTIES

SHEET  
C5.0

**DRAINAGE CALCULATIONS  
FOR  
Old Jackson Properties**

In cooperation with:

**Patrick Rowland**

Analysis and report prepared by:

Colin L. Baird, PE, PLS

Date: December 20, 2023



Baird Engineering, Inc.  
506 Jefferson Street  
Clinton, MS 39056



## INTRODUCTION

In response to the proposed construction of a commercial development with a single building and new concrete parking lot with 2 drives, and located on the west side of Old Jackson Road and the south side of Church Road in Gluckstadt, Mississippi. It was requested that Baird Engineering, Inc. perform rainfall-runoff analyses of the site for both pre- and post-construction conditions. The site currently has NO existing building or parking lot, however, there is an existing concrete driveway and slab. The remainder of the property is composed of open, grass areas with the current runoff to the north and east side of the property.

The entire property is approximately 1.18 acres. Currently, the surface drainage mostly runs off to the north and east towards an existing ditch. A copy of the topographic survey (Sheet C0.0) is attached to this report.

The proposed improvements are shown on civil plans by Baird Engineering, Inc. The site layout is shown on the Grading & Drainage Plan attached to this report.

## ANALYSES

Hydrologic analyses for the site were performed in which pre- and post-construction conditions were examined. The Rational Method for computing runoff was used.

### Existing Conditions

The following calculations were used for existing conditions and the 100 year event:

1. Calculated Weighted Coefficient (c):
 
$$c = c_1A_1 + c_2A_2 + c_3A_3/A$$
 Total Drainage Area (A) = 1.18 acre  
 Grass/Woodland – 0.96 acres (using  $c=0.35$ )  
 Existing pavement – 0.22 acres ( $c=0.90$ )  
 $c(\text{pre})=0.45$

## 2. Calculated Time of Concentration (Tc)

$$T_c = 10(L^{0.37}/17^c * S^{0.21})$$

$$c(\text{pre}) = 0.45$$

$$\text{max elev.} = 276', \text{ min elev.} = 271.5'$$

$$L(\text{pre}) = 288'$$

$$S(\text{pre}) = 1.56\%$$

$$T_c = 20.7 \text{ min}$$

**Proposed Conditions**

The following calculations were used for proposed conditions and the 100 year event:

## 1. Calculated Weighted Coefficient (c):

$$c = c_1A_1 + c_2A_2 + c_3A_3/A$$

$$\text{Total Drainage Area (A)} = 1.18 \text{ acre}$$

$$\text{grass} - 0.09 \text{ acres (using } c = 0.35)$$

$$\text{new building/pavement} - 1.09 \text{ acres (} c = 0.90)$$

$$c(\text{post}) = 0.86$$

## 2. Calculated Time of Concentration (Tc)

$$T_c = 10(L^{0.37}/17^c * S^{0.21})$$

$$c(\text{post}) = 0.86$$

$$\text{max elev.} = 276', \text{ min elev.} = 271.5'$$

$$L(\text{pre}) = 294'$$

$$S(\text{pre}) = 1.65\%$$

$$T_c = 6.45 \text{ min}$$

# Hydrograph 1-yr Summary

Hydrology Studio v 3.0.0.13

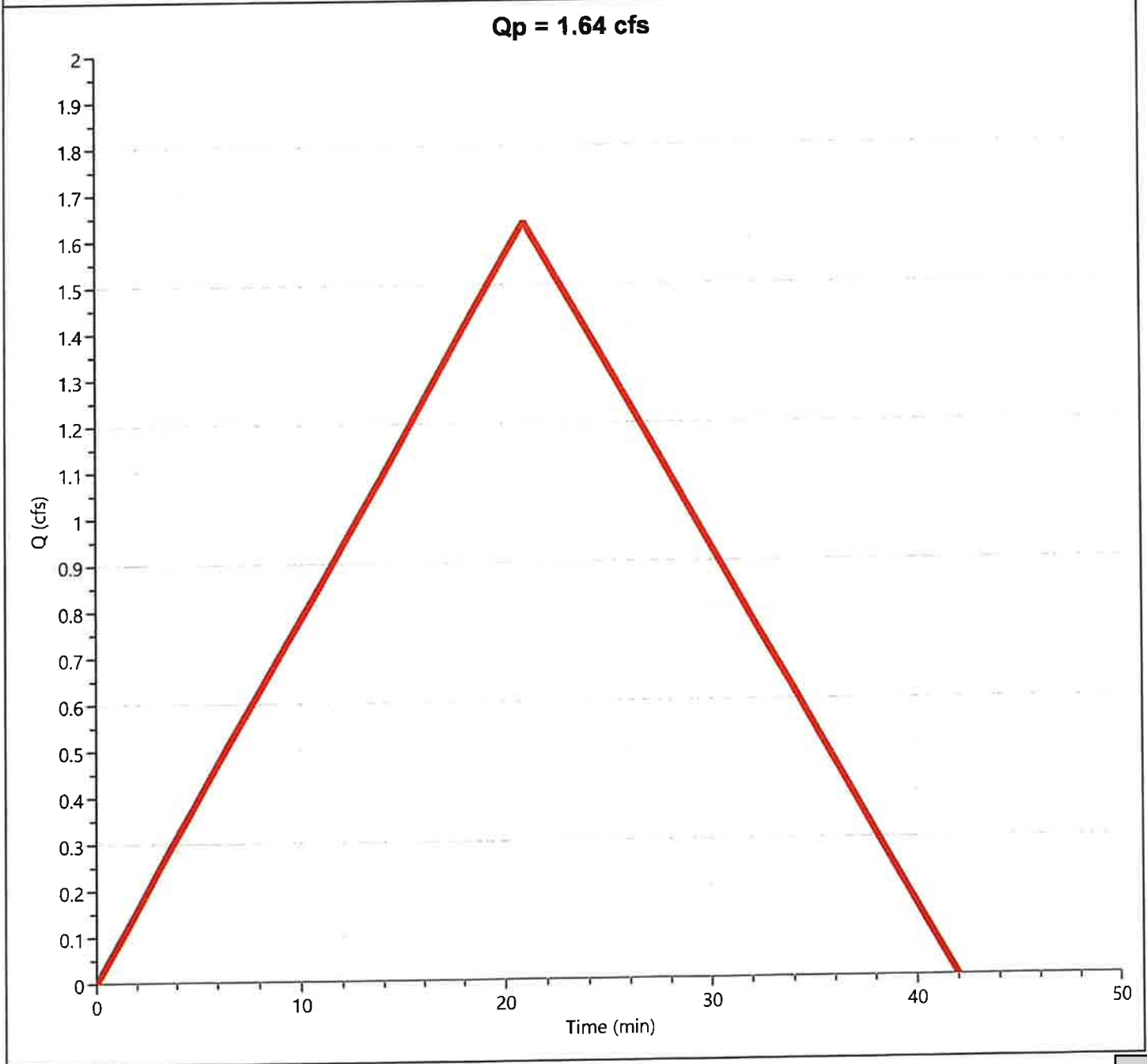
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Rowland	1.636	0.35	2,062	—		
2	Rational	Post Rowland	5.563	0.10	2,003	—		
3	Pond Route	<name>	2.385	0.15	1,997	2	267.75	1,100

# Hydrograph Report

## Pre Rowland

## Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.636 cfs
Storm Frequency	= 1-yr	Time to Peak	= 0.35 hrs
Time Interval	= 1 min	Runoff Volume	= 2,062 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.45
Tc Method	= User	Time of Conc. (Tc)	= 21.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 3.08 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

## Post Rowland

## Hyd. No. 2

Hydrograph Type = Rational

Storm Frequency = 1-yr

Time Interval = 1 min

Drainage Area = 1.18 ac

Tc Method = User

IDF Curve = Jackson Mississippi.idf

Freq. Corr. Factor = 1.00

Peak Flow = 5.563 cfs

Time to Peak = 0.10 hrs

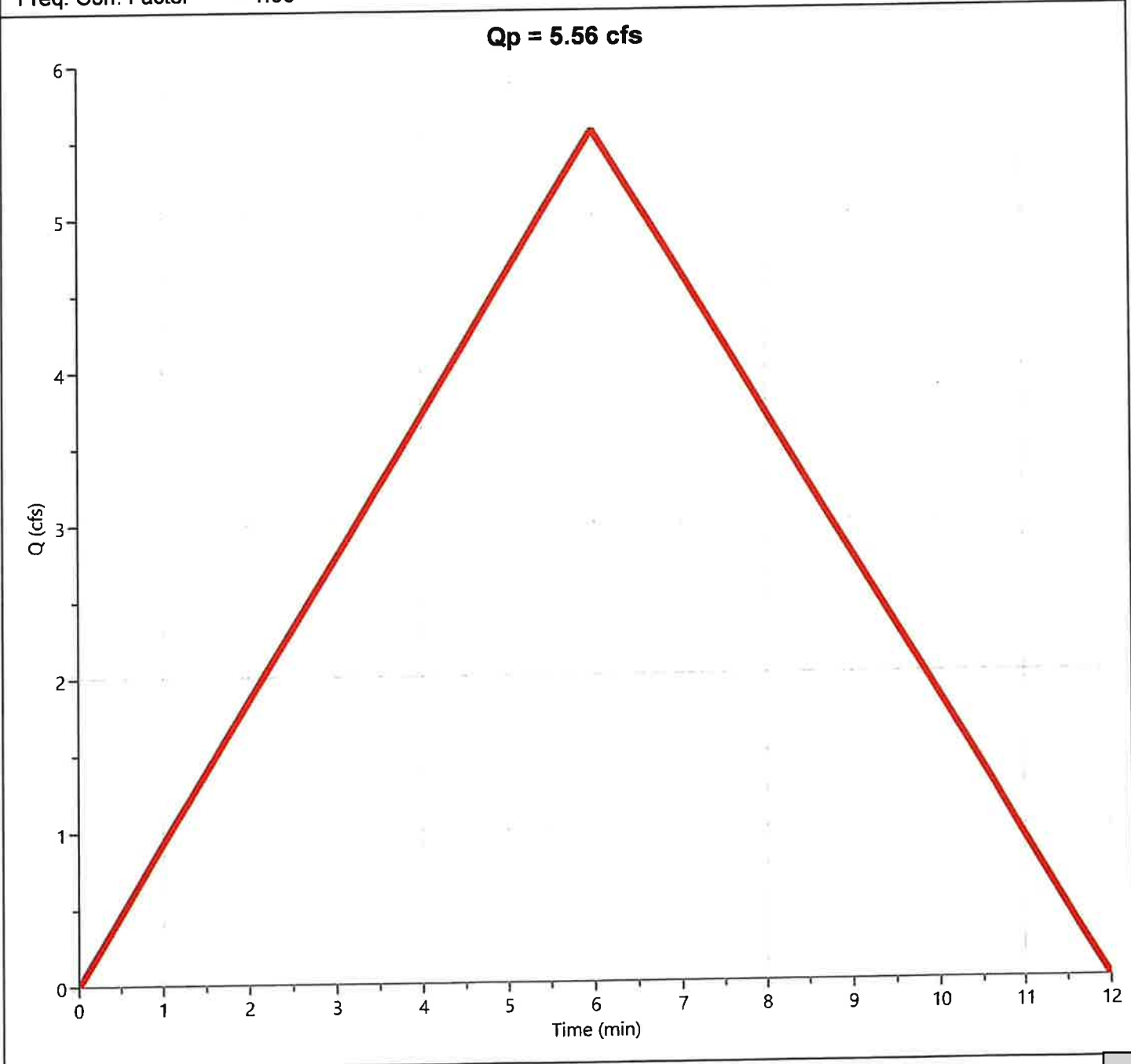
Runoff Volume = 2,003 cuft

Runoff Coeff. = 0.86

Time of Conc. (Tc) = 6.0 min

Intensity = 5.48 in/hr

Asc/Rec Limb Factors = 1/1



# Hydrograph Report

## Hyd. No. 3

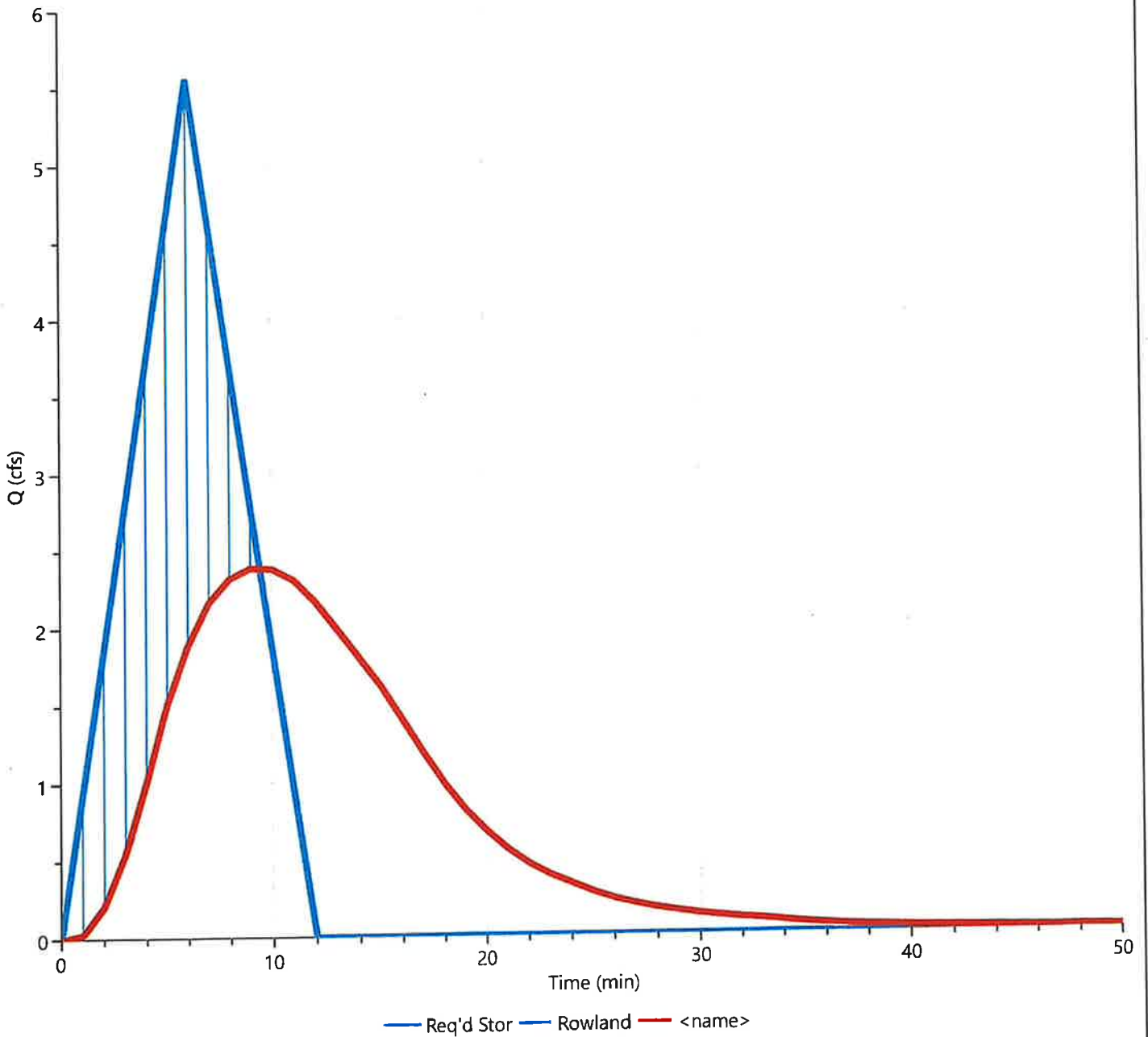
<name>

Hydrograph Type	= Pond Route	Peak Flow	= 2.385 cfs
Storm Frequency	= 1-yr	Time to Peak	= 0.15 hrs
Time Interval	= 1 min	Hydrograph Volume	= 1,997 cuft
Inflow Hydrograph	= 2 - Rowland	Max. Elevation	= 267.75 ft
Pond Name	= Rowland	Max. Storage	= 1,100 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 7 min

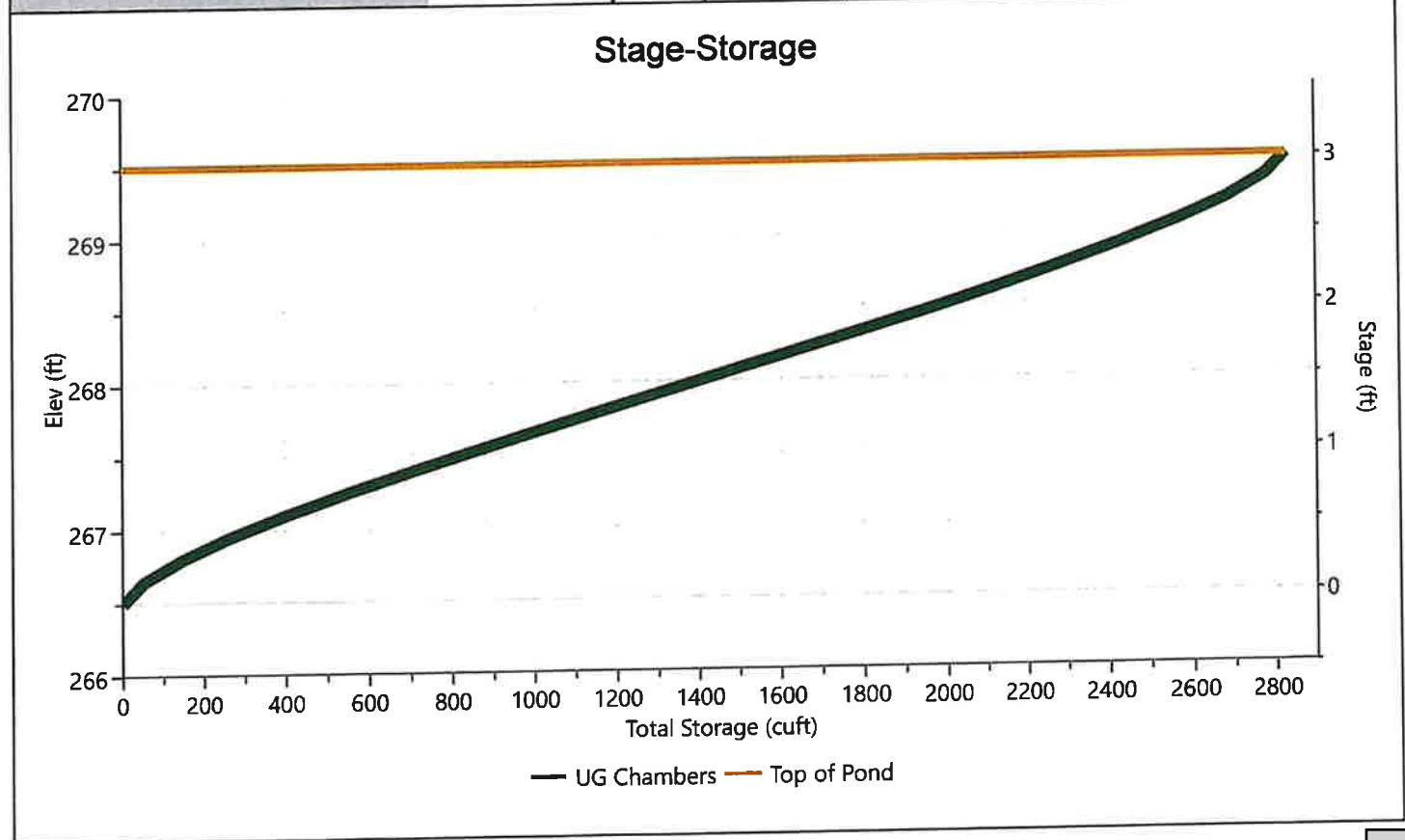
**Qp = 2.38 cfs**



## Rowland

## Stage-Storage

Underground Chambers		Stage / Storage Table				
Description	Input	Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
Invert Elev Down, ft	266.50	0.00	266.50	n/a	0.000	0.000
Chamber Rise, ft	3.00	0.15	266.65	n/a	50.6	50.6
Chamber Shape	Circular	0.30	266.80	n/a	93.9	145
Chamber Span, ft	3.00	0.45	266.95	n/a	119	263
Barrel Length, ft	100.00	0.60	267.10	n/a	137	400
No. Barrels	4	0.75	267.25	n/a	151	551
Barrel Slope, %	0.01	0.90	267.40	n/a	161	712
Headers, y/n	No	1.05	267.55	n/a	170	881
Stone Encasement, y/n	No	1.20	267.70	n/a	174	1,056
Encasement Bottom Elevation, ft	0.00	1.35	267.85	n/a	178	1,234
Encasement Width per Chamber, ft	0.00	1.51	268.01	n/a	180	1,414
Encasement Depth, ft	0.00	1.66	268.16	n/a	180	1,595
Encasement Voids, %	40.00	1.81	268.31	n/a	178	1,773
		1.96	268.46	n/a	175	1,948
		2.11	268.61	n/a	169	2,117
		2.26	268.76	n/a	161	2,278
		2.41	268.91	n/a	150	2,428
		2.56	269.06	n/a	137	2,565
		2.71	269.21	n/a	119	2,684
		2.86	269.36	n/a	93.6	2,777
		3.01	269.51	n/a	50.5	2,828



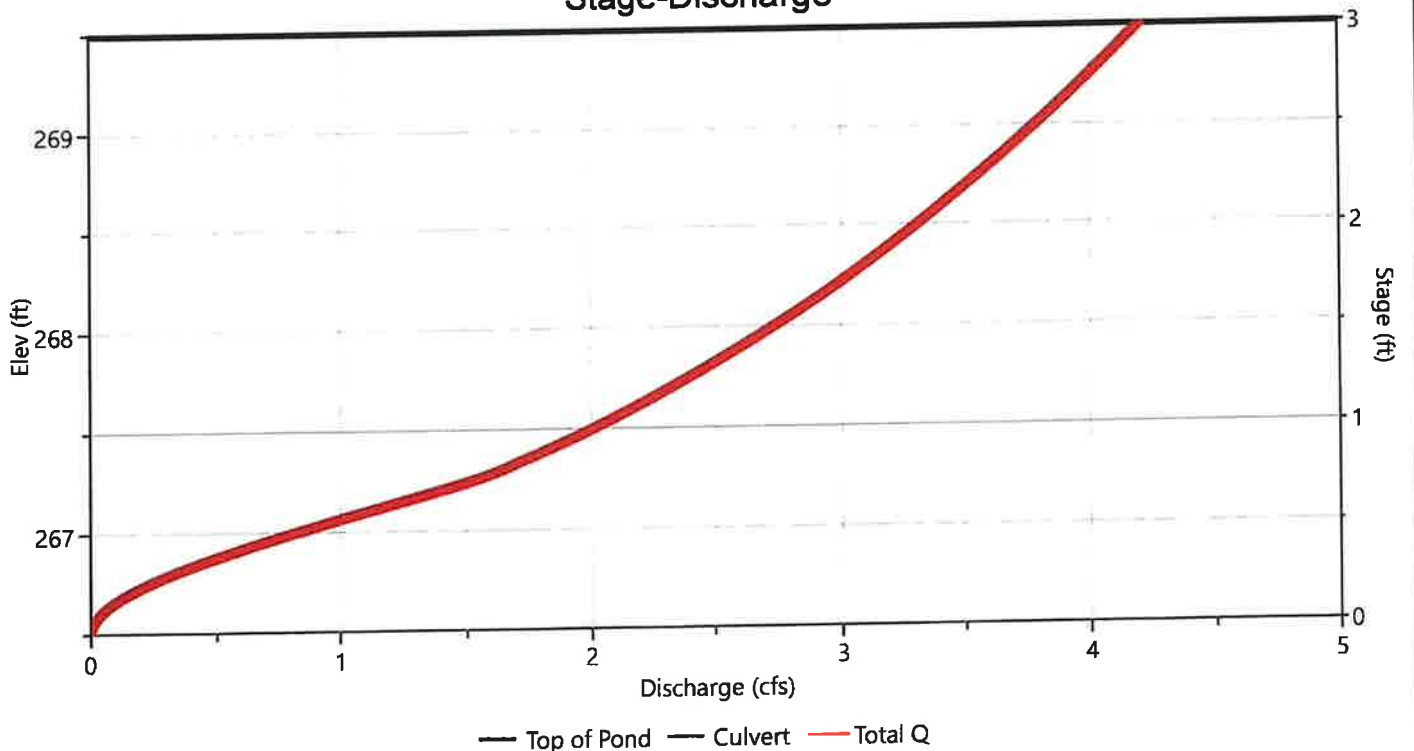
## Rowland

## Stage-Discharge

Culvert / Orifices	Culvert	Orifices			Perforated Riser
		1	2	3	
Rise, in	10				Hole Diameter, in
Span, in	10				No. holes
No. Barrels	1				Invert Elevation, ft
Invert Elevation, ft	266.50				Height, ft
Orifice Coefficient, Co	0.60				Orifice Coefficient, Co
Length, ft	35				
Barrel Slope, %	1.42				
N-Value, n	0.013				
Weirs	Riser*	Weirs			Ancillary
		1	2	3	Exfiltration, in/hr
Shape / Type					
Crest Elevation, ft					
Crest Length, ft					
Angle, deg					
Weir Coefficient, Cw					

\*Routes through Culvert.

### Stage-Discharge





# Pond Report

## Rowland

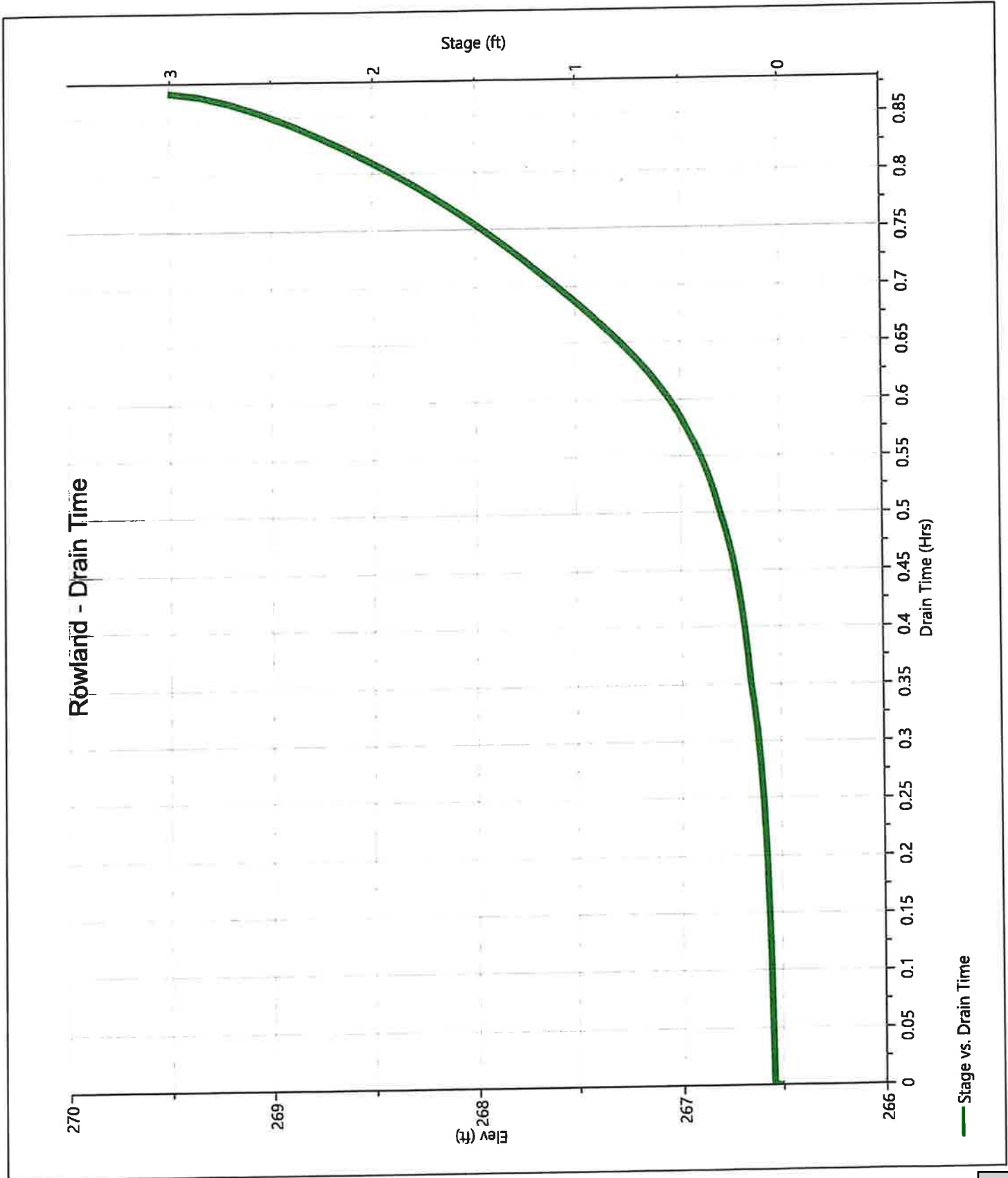
## Stage-Storage-Discharge Summary

Stage (ft)	Elev. (ft)	Storage (cuft)	Culvert (cfs)	Orifices, cfs			Riser (cfs)	Weirs, cfs			Pf Riser (cfs)	Exfil (cfs)	User (cfs)	Total (cfs)
				1	2	3		1	2	3				
0.00	266.50	0.000	0.000											0.000
0.15	266.65	50.6	0.089 ic											0.089
0.30	266.80	145	0.332 ic											0.332
0.45	266.95	263	0.691 ic											0.691
0.60	267.10	400	1.115 ic											1.115
0.75	267.25	551	1.531 ic											1.531
0.90	267.40	712	1.831 ic											1.831
1.05	267.55	881	2.095 ic											2.095
1.20	267.70	1,056	2.330 ic											2.330
1.35	267.85	1,234	2.543 ic											2.543
1.51	268.01	1,414	2.739 ic											2.739
1.66	268.16	1,595	2.923 ic											2.923
1.81	268.31	1,773	3.095 ic											3.095
1.96	268.46	1,948	3.258 ic											3.258
2.11	268.61	2,117	3.414 ic											3.414
2.26	268.76	2,278	3.563 ic											3.563
2.41	268.91	2,428	3.705 ic											3.705
2.56	269.06	2,565	3.843 ic											3.843
2.71	269.21	2,684	3.971 oc											3.971
2.86	269.36	2,777	4.095 oc											4.095
3.01	269.51	2,828	4.215 oc											4.215

Suffix key: ic = inlet control, oc = outlet control, s = submerged weir

## Rowland

## Pond Drawdown



Rowland - Drain Time

— Stage vs. Drain Time

# Design Storm Report

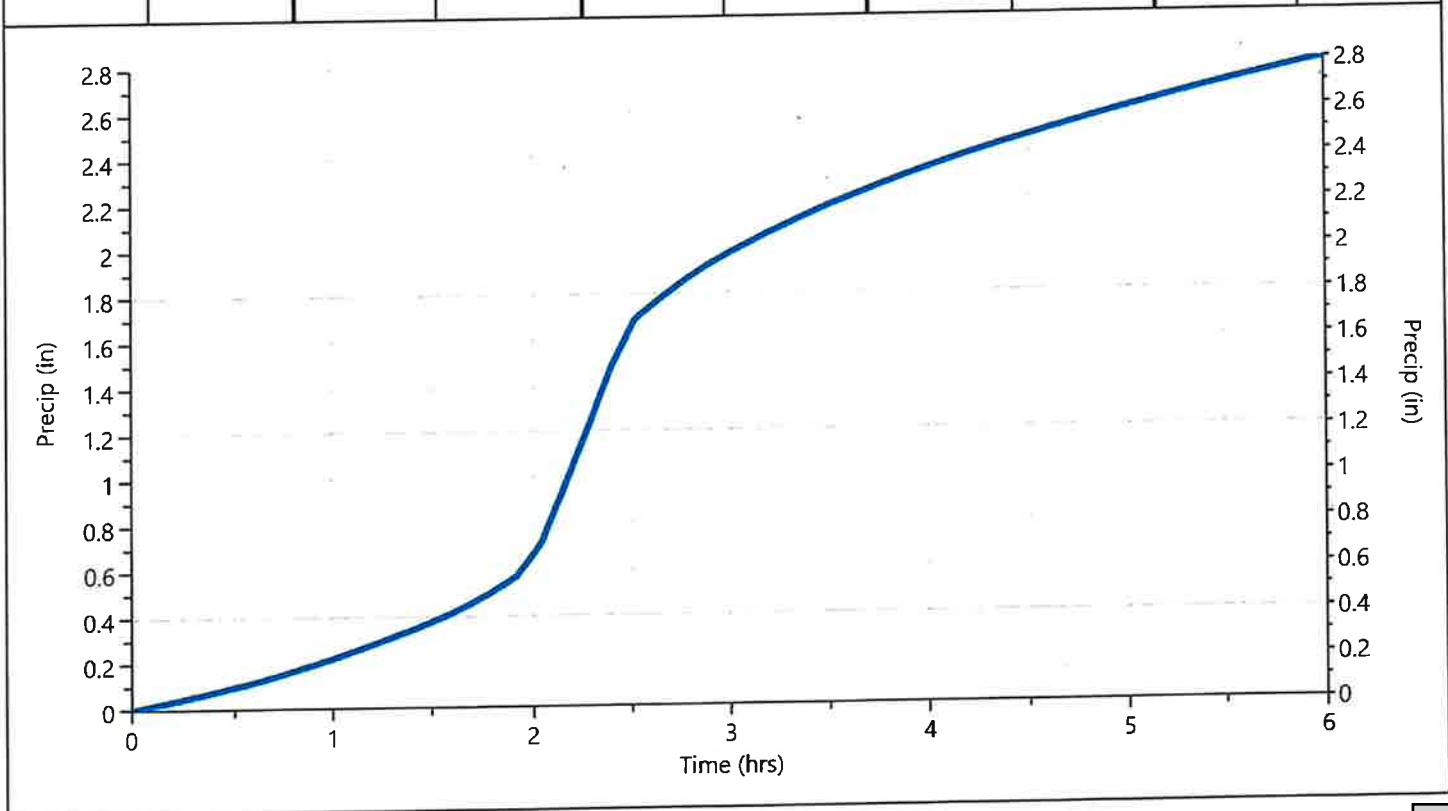
Hydrology Studio v 3.0.0.13

12-21-2021

## Storm Distribution: NRCS/SCS - SCS 6hr

Storm Duration	Total Rainfall Volume (in)							
	✓ 1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
6 hrs	2.80	3.22	0.00	3.94	4.57	5.50	6.25	7.04

Incremental Rainfall Distribution, 1-yr									
Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)
1.83	0.009722	2.02	0.019444	2.20	0.035778	2.38	0.036167	2.57	0.011667
1.85	0.009722	2.03	0.019445	2.22	0.035777	2.40	0.036167	2.58	0.011667
1.87	0.009722	2.05	0.028778	2.23	0.035778	2.42	0.028389	2.60	0.011666
1.88	0.009722	2.07	0.035000	2.25	0.035778	2.43	0.028389	2.62	0.011667
1.90	0.009722	2.08	0.035000	2.27	0.035778	2.45	0.028389	2.63	0.011667
1.92	0.009722	2.10	0.035000	2.28	0.035856	2.47	0.028389	2.65	0.010967
1.93	0.017500	2.12	0.035000	2.30	0.036166	2.48	0.028389	2.67	0.010500
1.95	0.019444	2.13	0.035000	2.32	0.036167	2.50	0.028389	2.68	0.010500
1.97	0.019445	2.15	0.035000	2.33	0.036167	2.52	0.028389	2.70	0.010500
1.98	0.019445	2.17	0.035311	2.35	0.036167	2.53	0.015011	2.72	0.010500
2.00	0.019444	2.18	0.035778	2.37	0.036166	2.55	0.011667	2.73	0.010500



# Hydrograph 5-yr Summary

Hydrology Studio v 3.0.0.13

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Rowland	2.224	0.35	2,803	---		
2	Rational	Post Rowland	7.526	0.10	2,709	---		
3	Pond Route	<name>	2.902	0.17	2,704	2	268.15	1,574

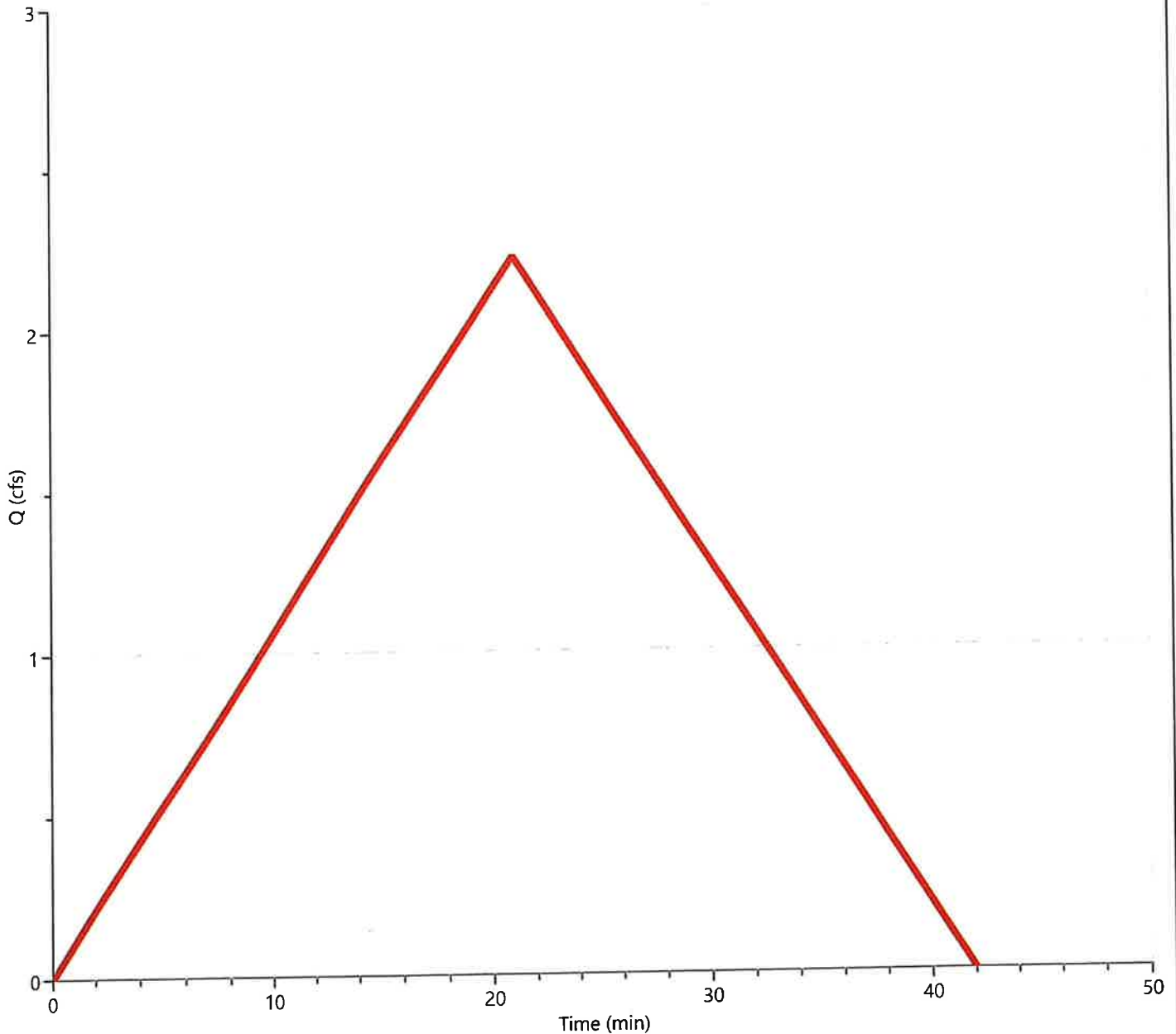
# Hydrograph Report

## Pre Rowland

## Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.224 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.35 hrs
Time Interval	= 1 min	Runoff Volume	= 2,803 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.45
Tc Method	= User	Time of Conc. (Tc)	= 21.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 4.19 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

**Qp = 2.22 cfs**



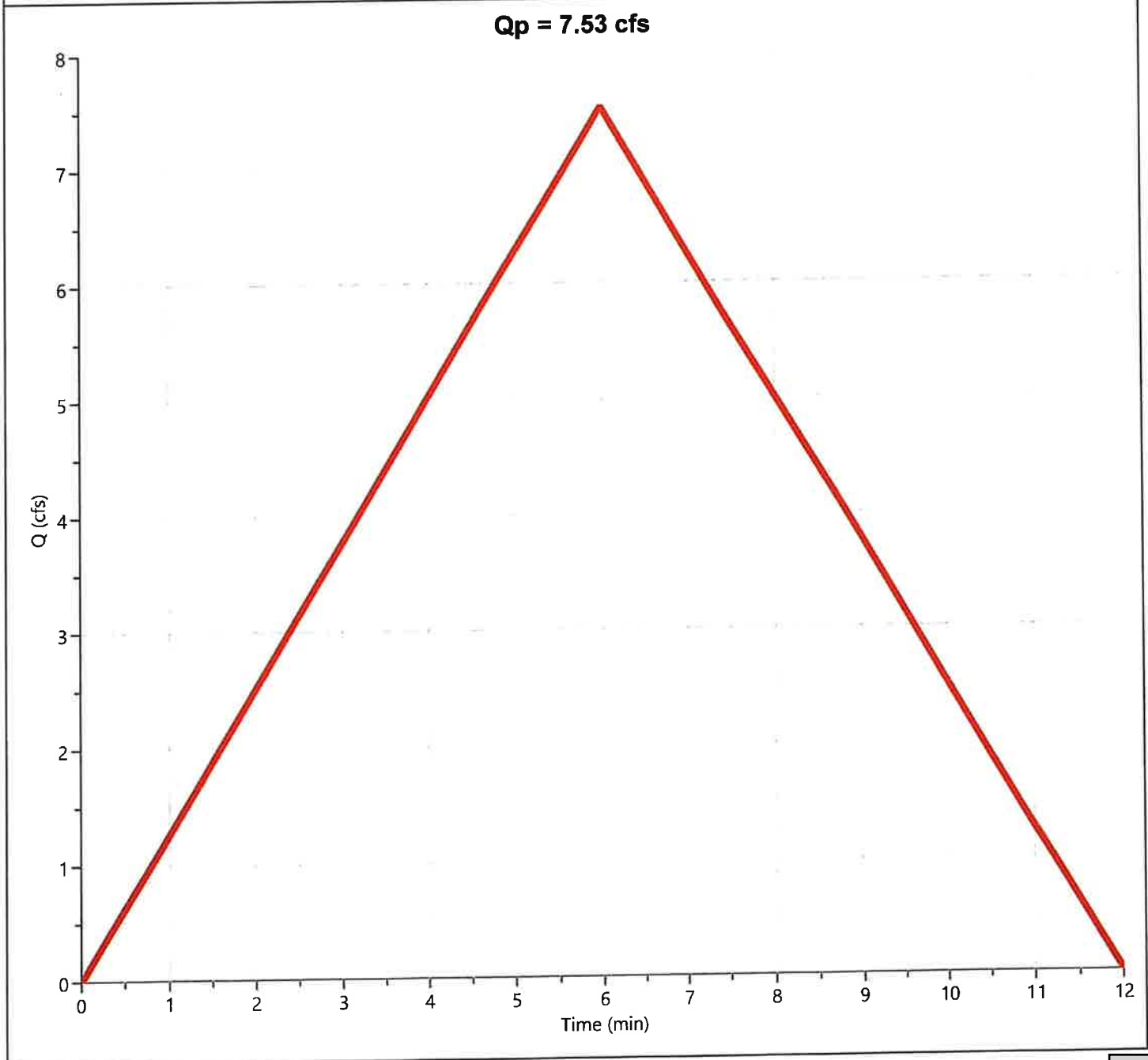
# Hydrograph Report

## Post Rowland

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 7.526 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 2,709 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.86
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 7.42 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

**Qp = 7.53 cfs**



# Hydrograph Report

## Hyd. No. 3

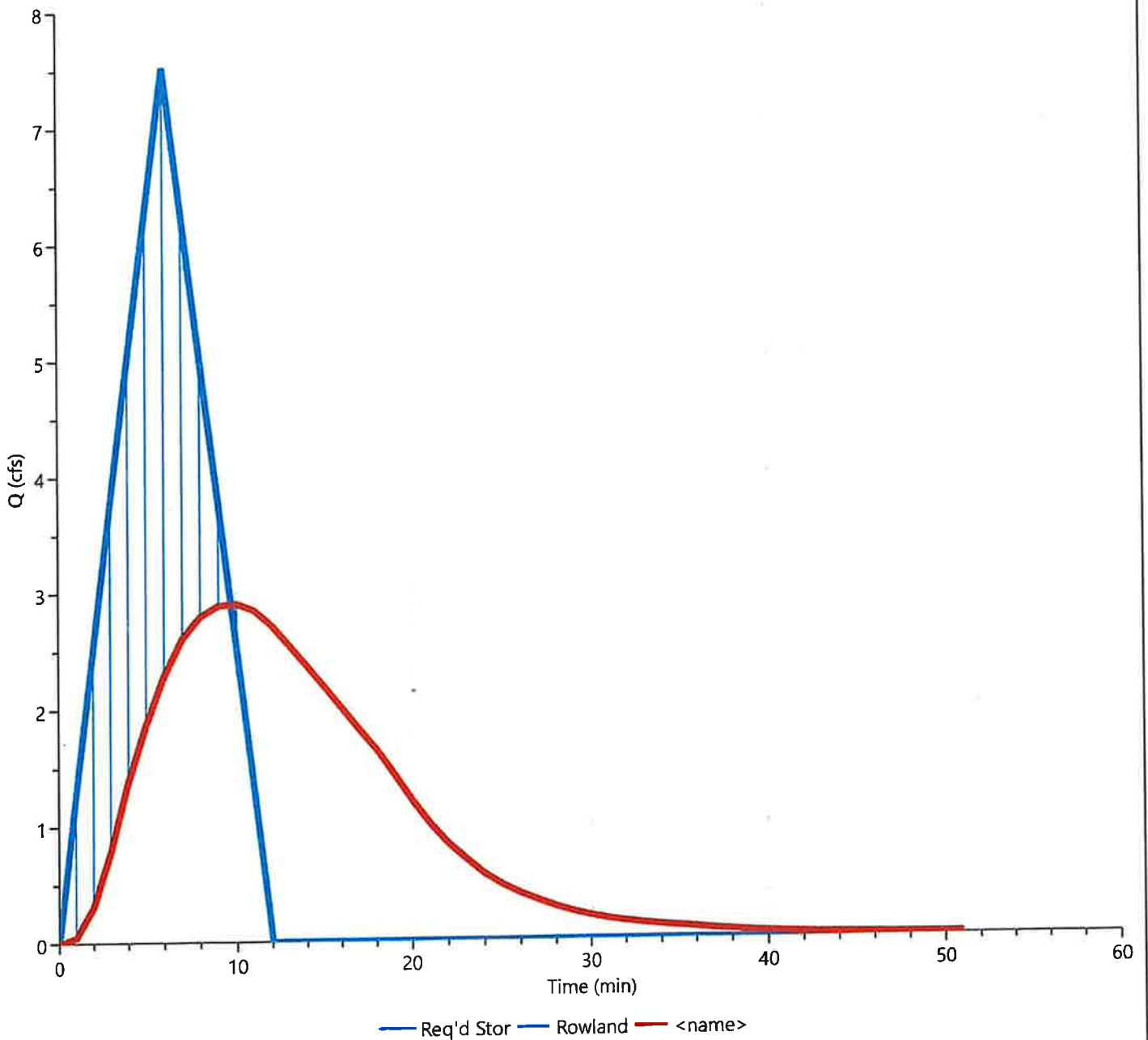
<name>

Hydrograph Type	= Pond Route	Peak Flow	= 2.902 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 2,704 cuft
Inflow Hydrograph	= 2 - Rowland	Max. Elevation	= 268.15 ft
Pond Name	= Rowland	Max. Storage	= 1,574 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 7 min

**Qp = 2.90 cfs**



# Design Storm Report

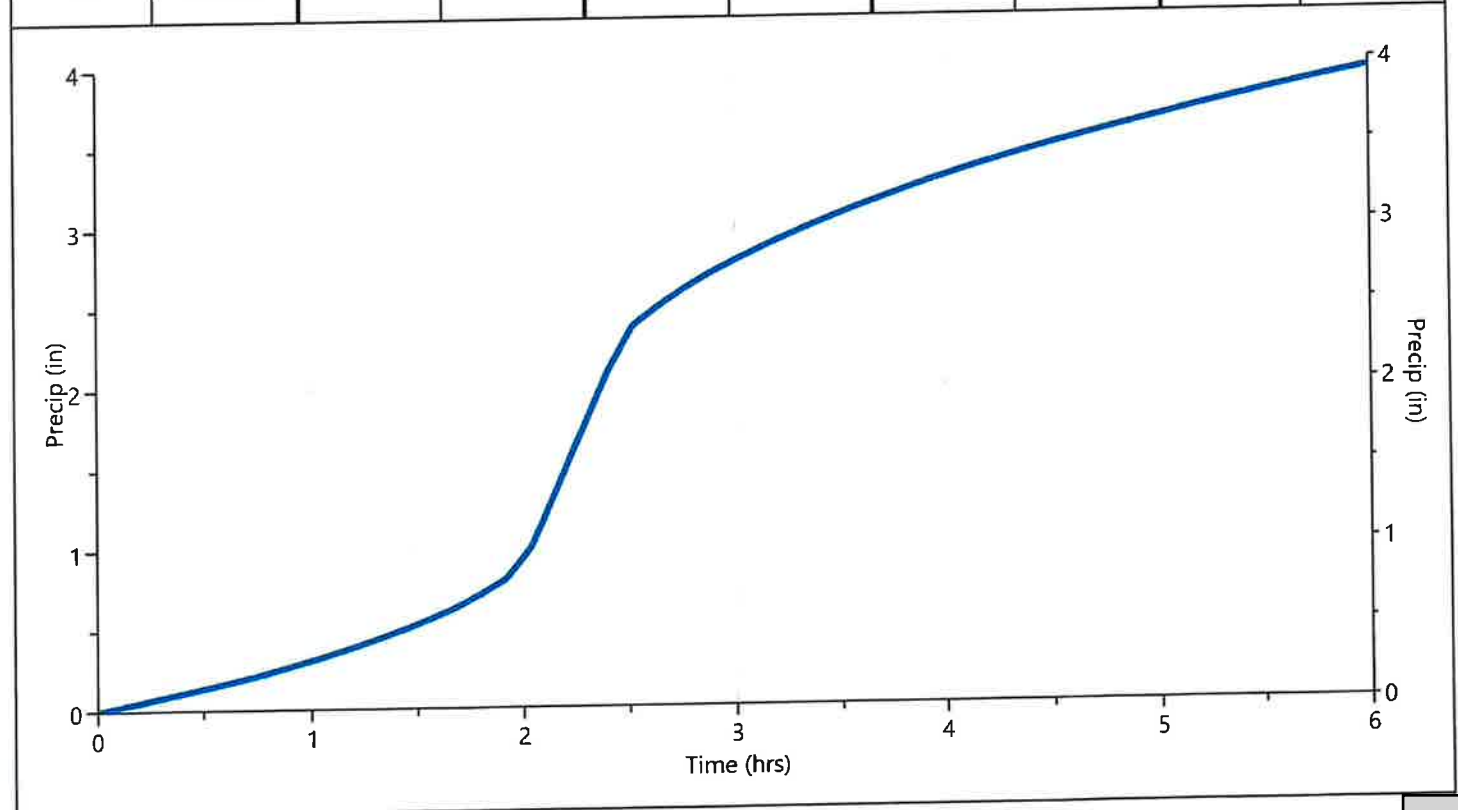
Hydrology Studio v 3.0.0.13

12-21-2021

## Storm Distribution: NRCS/SCS - SCS 6hr

Storm Duration	Total Rainfall Volume (in)							
	1-yr	2-yr	3-yr	✓ 5-yr	10-yr	25-yr	50-yr	100-yr
6 hrs	2.80	3.22	0.00	3.94	4.57	5.50	6.25	7.04

Incremental Rainfall Distribution, 5-yr									
Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)
1.83	0.013681	2.02	0.027361	2.20	0.050345	2.38	0.050892	2.57	0.016417
1.85	0.013681	2.03	0.027361	2.22	0.050344	2.40	0.050892	2.58	0.016417
1.87	0.013681	2.05	0.040495	2.23	0.050345	2.42	0.039947	2.60	0.016417
1.88	0.013681	2.07	0.049249	2.25	0.050345	2.43	0.039947	2.62	0.016417
1.90	0.013681	2.08	0.049250	2.27	0.050345	2.45	0.039947	2.63	0.016417
1.92	0.013681	2.10	0.049250	2.28	0.050454	2.47	0.039948	2.65	0.015432
1.93	0.024625	2.12	0.049250	2.30	0.050891	2.48	0.039947	2.67	0.014775
1.95	0.027361	2.13	0.049250	2.32	0.050892	2.50	0.039947	2.68	0.014775
1.97	0.027361	2.15	0.049249	2.33	0.050892	2.52	0.039947	2.70	0.014775
1.98	0.027361	2.17	0.049688	2.35	0.050892	2.53	0.021123	2.72	0.014775
2.00	0.027361	2.18	0.050345	2.37	0.050891	2.55	0.016417	2.73	0.014775





# Hydrograph 10-yr Summary

Hydrology Studio v 3.0.0.13

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Rowland	2.527	0.35	3,185	—		
2	Rational	Post Rowland	8.549	0.10	3,078	—		
3	Pond Route	<name>	3.151	0.17	3,072	2	268.36	1,833

# Hydrograph Report

Section 4, Item E)

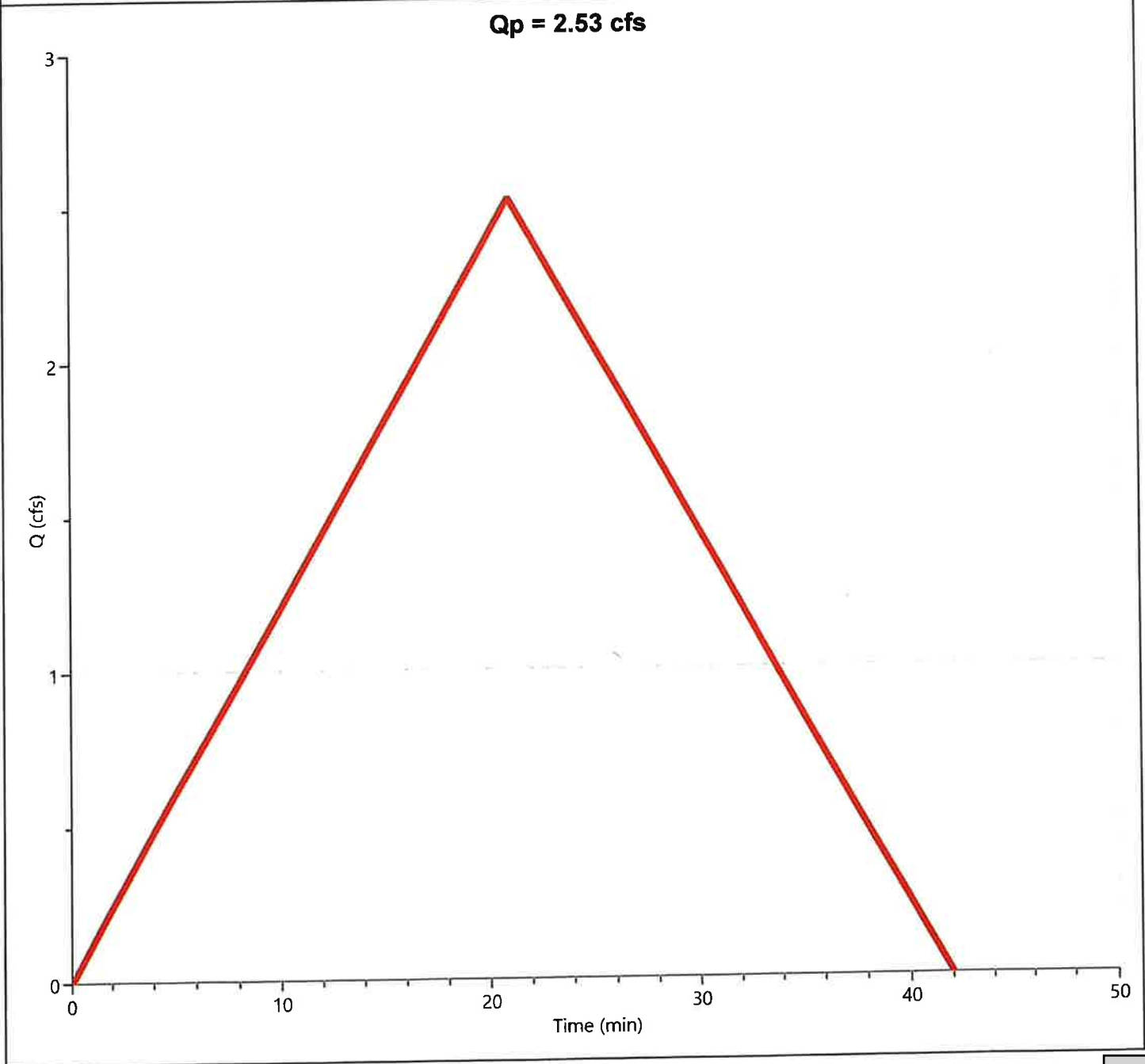
Hydrology Studio v 3.0.0.13

12-21-2021

## Pre Rowland

### Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.527 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.35 hrs
Time Interval	= 1 min	Runoff Volume	= 3,185 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.45
Tc Method	= User	Time of Conc. (Tc)	= 21.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 4.76 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

## Post Rowland

## Hyd. No. 2

Hydrograph Type = Rational

Storm Frequency = 10-yr

Time Interval = 1 min

Drainage Area = 1.18 ac

Tc Method = User

IDF Curve = Jackson Mississippi.idf

Freq. Corr. Factor = 1.00

Peak Flow = 8.549 cfs

Time to Peak = 0.10 hrs

Runoff Volume = 3,078 cuft

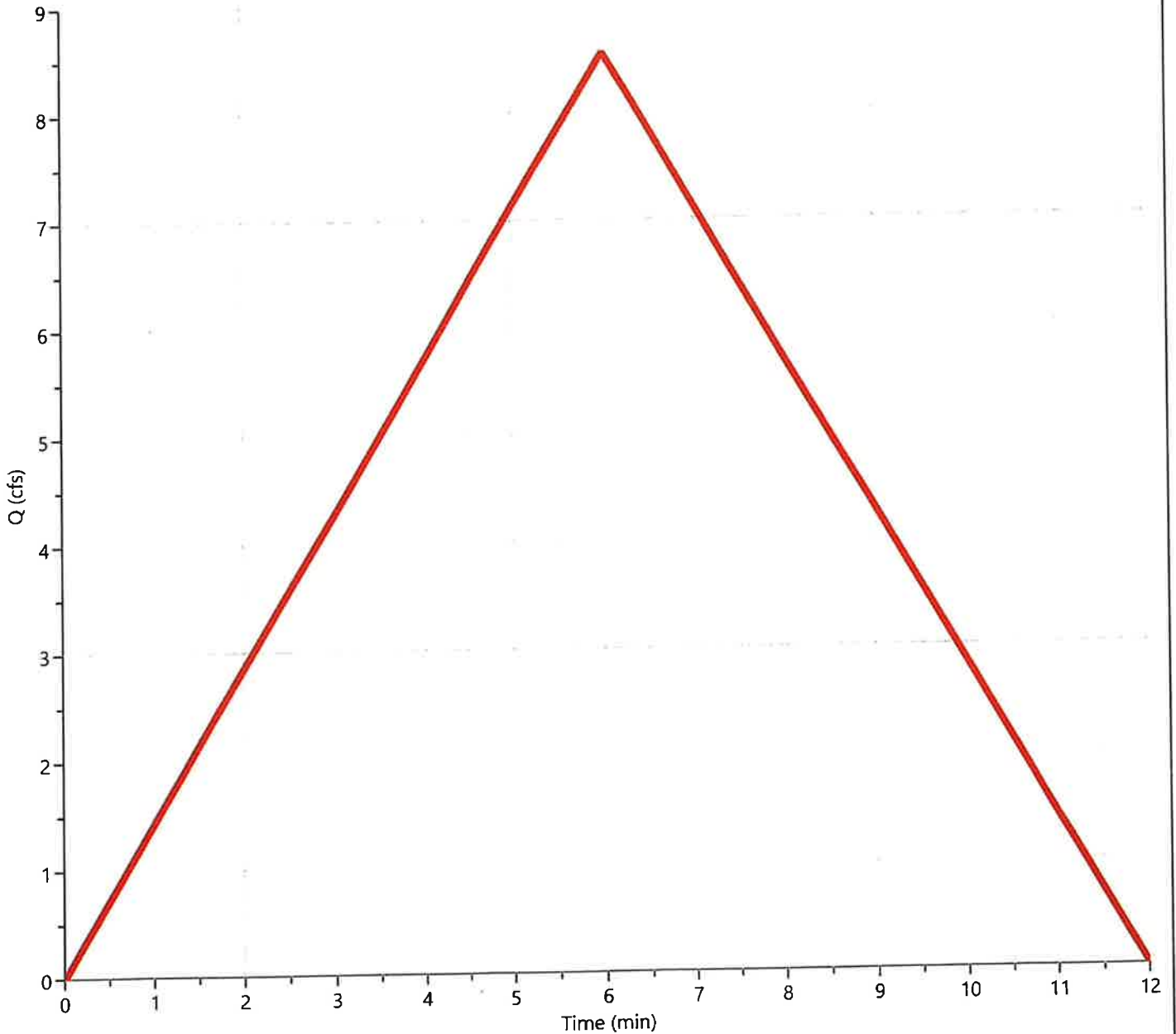
Runoff Coeff. = 0.86

Time of Conc. (Tc) = 6.0 min

Intensity = 8.42 in/hr

Asc/Rec Limb Factors = 1/1

**Qp = 8.55 cfs**



# Hydrograph Report

Section 4, Item E)

Hydrology Studio v 3.0.0.13

12-21-2021

<name>

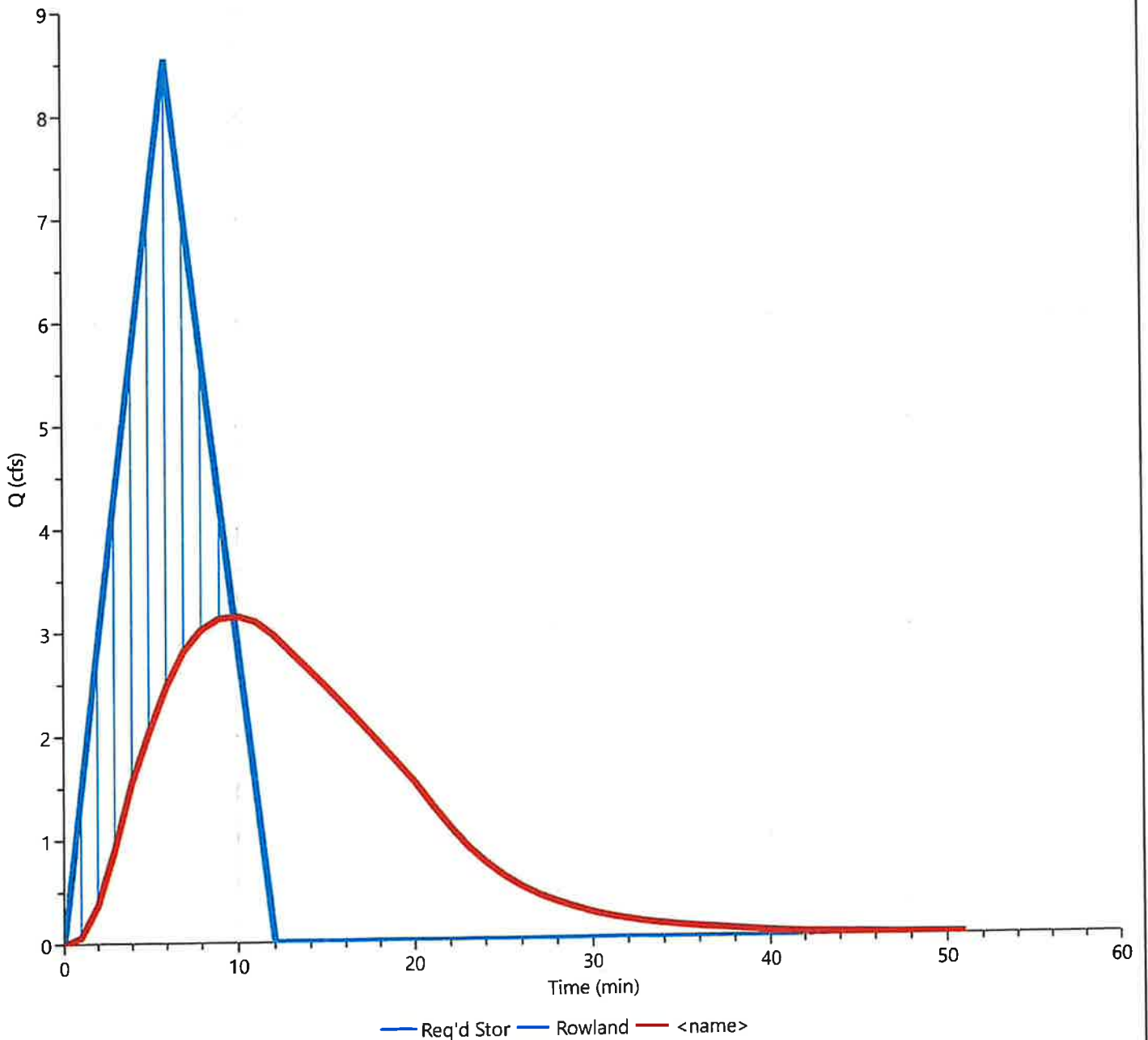
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 3.151 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,072 cuft
Inflow Hydrograph	= 2 - Rowland	Max. Elevation	= 268.36 ft
Pond Name	= Rowland	Max. Storage	= 1,833 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 8 min

**Qp = 3.15 cfs**

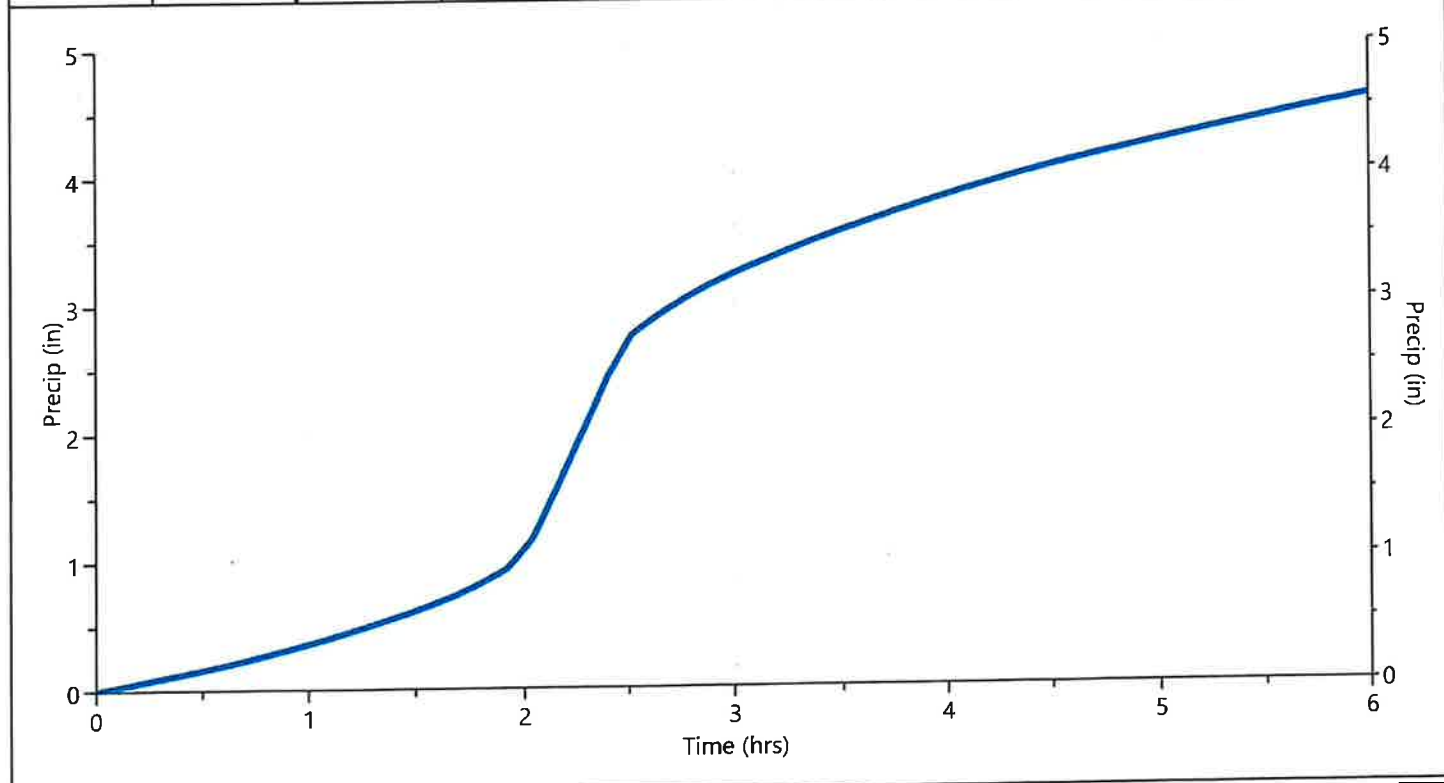


# Design Storm Report

## Storm Distribution: NRCS/SCS - SCS 6hr

Storm Duration	Total Rainfall Volume (in)								
	1-yr	2-yr	3-yr	5-yr	✓ 10-yr	25-yr	50-yr	100-yr	
6 hrs	2.80	3.22	0.00	3.94	4.57	5.50	6.25	7.04	

Incremental Rainfall Distribution, 10-yr									
Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)
1.83	0.015868	2.02	0.031736	2.20	0.058395	2.38	0.059029	2.57	0.019042
1.85	0.015868	2.03	0.031736	2.22	0.058394	2.40	0.059029	2.58	0.019042
1.87	0.015868	2.05	0.046970	2.23	0.058395	2.42	0.046335	2.60	0.019041
1.88	0.015868	2.07	0.057125	2.25	0.058395	2.43	0.046335	2.62	0.019042
1.90	0.015868	2.08	0.057125	2.27	0.058395	2.45	0.046334	2.63	0.019042
1.92	0.015868	2.10	0.057125	2.28	0.058522	2.47	0.046335	2.65	0.017899
1.93	0.028562	2.12	0.057125	2.30	0.059029	2.48	0.046335	2.67	0.017137
1.95	0.031736	2.13	0.057125	2.32	0.059029	2.50	0.046335	2.68	0.017138
1.97	0.031736	2.15	0.057124	2.33	0.059029	2.52	0.046334	2.70	0.017138
1.98	0.031736	2.17	0.057633	2.35	0.059030	2.53	0.024501	2.72	0.017138
2.00	0.031736	2.18	0.058395	2.37	0.059028	2.55	0.019042	2.73	0.017138



# Hydrograph 25-yr Summary

Hydrology Studio v 3.0.0.13

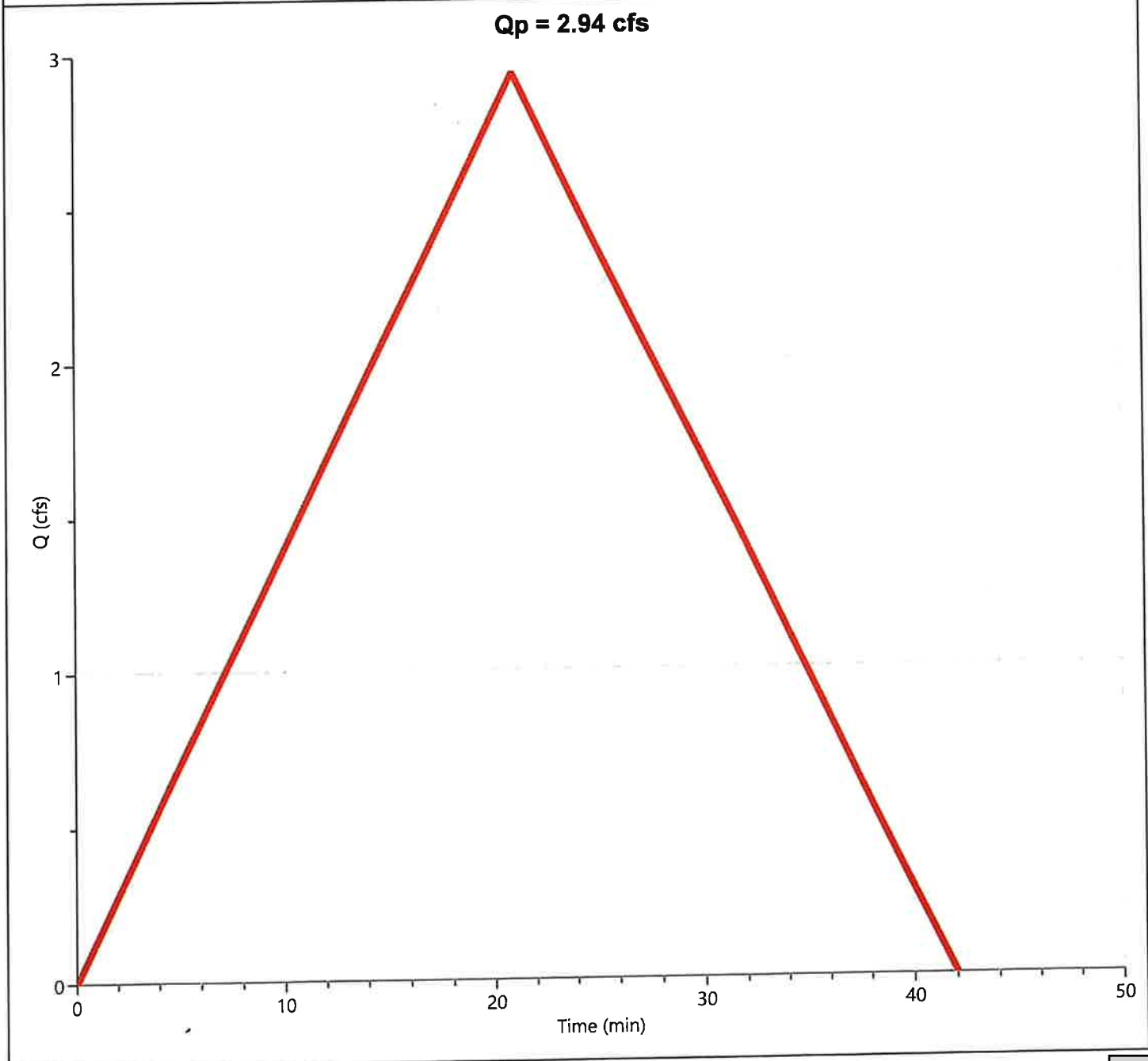
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Rowland	2.935	0.35	3,698	---		
2	Rational	Post Rowland	9.932	0.10	3,575	---		
3	Pond Route	<name>	3.482	0.17	3,570	2	268.68	2,190

# Hydrograph Report

## Pre Rowland

## Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.935 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.35 hrs
Time Interval	= 1 min	Runoff Volume	= 3,698 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.45
Tc Method	= User	Time of Conc. (Tc)	= 21.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 5.53 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

Section 4, Item E)

Hydrology Studio v 3.0.0.13

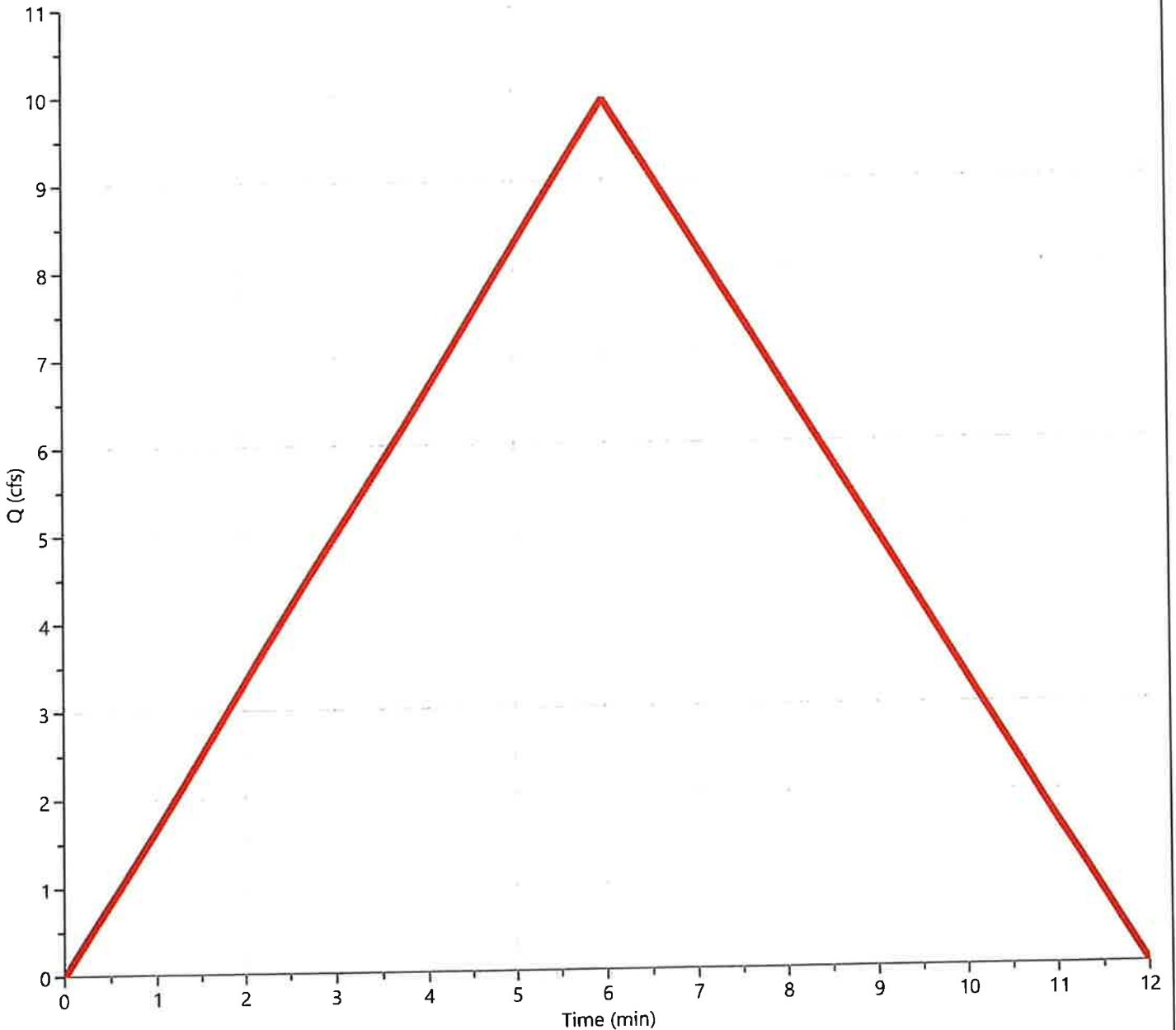
12-21-2021

## Post Rowland

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 9.932 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 3,575 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.86
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 9.79 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

**Qp = 9.93 cfs**





# Hydrograph Report

## Hyd. No. 3

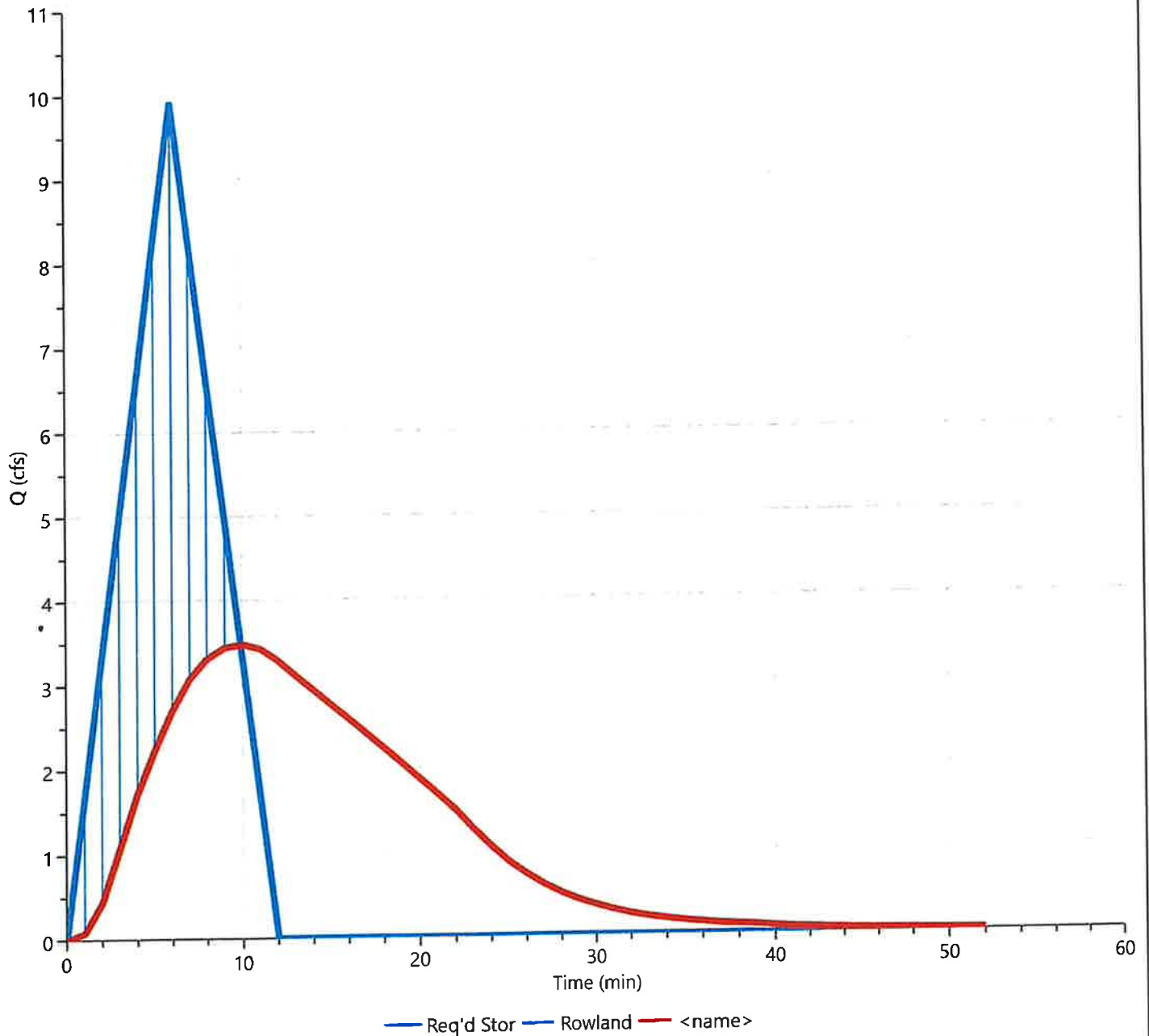
<name>

Hydrograph Type	= Pond Route	Peak Flow	= 3.482 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,570 cuft
Inflow Hydrograph	= 2 - Rowland	Max. Elevation	= 268.68 ft
Pond Name	= Rowland	Max. Storage	= 2,190 cuft

Center of mass detention time = 8 min

Pond Routing by Storage Indication Method

**Qp = 3.48 cfs**



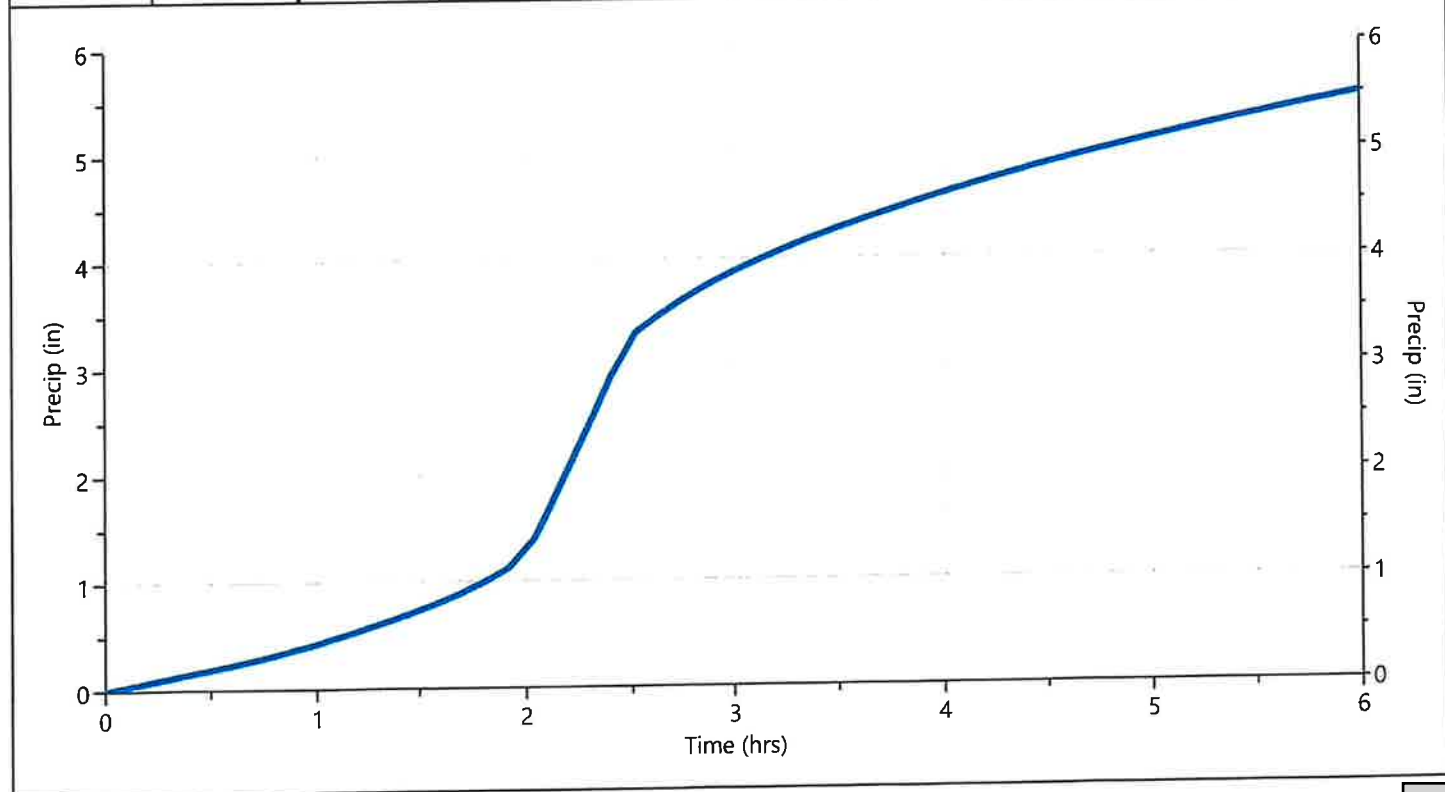
# Design Storm Report

Hydrology Studio v 3.0.0.13

## Storm Distribution: NRCS/SCS - SCS 6hr

Storm Duration	Total Rainfall Volume (in)							
	1-yr	2-yr	3-yr	5-yr	10-yr	✓ 25-yr	50-yr	100-yr
6 hrs	2.80	3.22	0.00	3.94	4.57	5.50	6.25	7.04

Incremental Rainfall Distribution, 25-yr									
Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)
1.83	0.019097	2.02	0.038195	2.20	0.070278	2.38	0.071042	2.57	0.022917
1.85	0.019097	2.03	0.038195	2.22	0.070277	2.40	0.071042	2.58	0.022917
1.87	0.019097	2.05	0.056528	2.23	0.070278	2.42	0.055764	2.60	0.022916
1.88	0.019097	2.07	0.068749	2.25	0.070278	2.43	0.055764	2.62	0.022917
1.90	0.019097	2.08	0.068750	2.27	0.070278	2.45	0.055763	2.63	0.022917
1.92	0.019097	2.10	0.068750	2.28	0.070431	2.47	0.055764	2.65	0.021542
1.93	0.034375	2.12	0.068750	2.30	0.071041	2.48	0.055764	2.67	0.020625
1.95	0.038195	2.13	0.068750	2.32	0.071042	2.50	0.055764	2.68	0.020625
1.97	0.038195	2.15	0.068749	2.33	0.071042	2.52	0.055763	2.70	0.020625
1.98	0.038195	2.17	0.069361	2.35	0.071042	2.53	0.029486	2.72	0.020625
2.00	0.038194	2.18	0.070278	2.37	0.071041	2.55	0.022917	2.73	0.020625



# Hydrograph 50-yr Summary

Hydrology Studio v 3.0.0.13

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Rowland	3.248	0.35	4,092	—		
2	Rational	Post Rowland	11.06	0.10	3,982	—		
3	Pond Route	<name>	3.762	0.17	3,977	2	268.97	2,484

# Hydrograph Report

## Pre Rowland

## Hyd. No. 1

Hydrograph Type = Rational

Storm Frequency = 50-yr

Time Interval = 1 min

Drainage Area = 1.18 ac

Tc Method = User

IDF Curve = Jackson Mississippi.idf

Freq. Corr. Factor = 1.00

Peak Flow = 3.248 cfs

Time to Peak = 0.35 hrs

Runoff Volume = 4,092 cuft

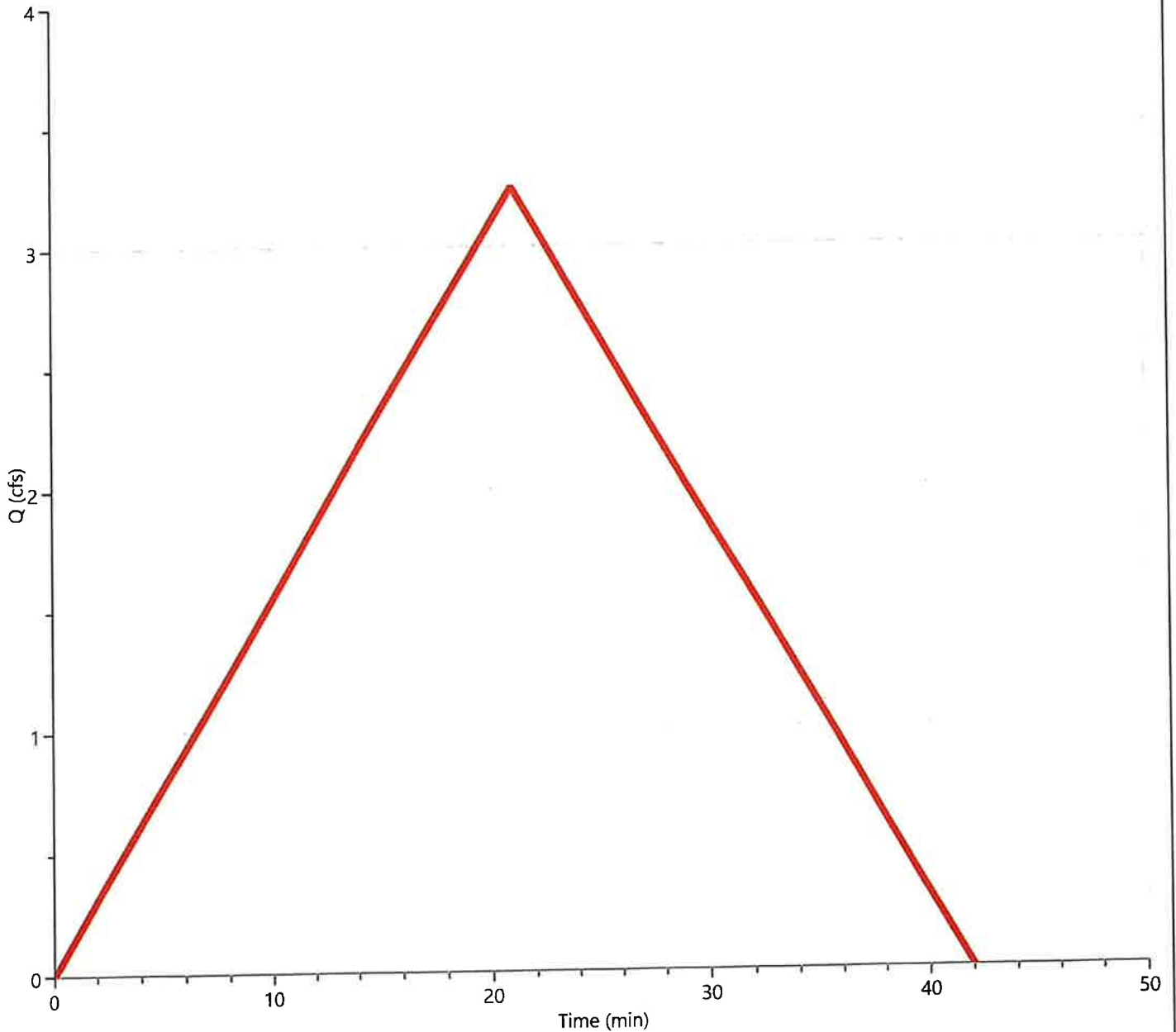
Runoff Coeff. = 0.45

Time of Conc. (Tc) = 21.0 min

Intensity = 6.12 in/hr

Asc/Rec Limb Factors = 1/1

**Qp = 3.25 cfs**

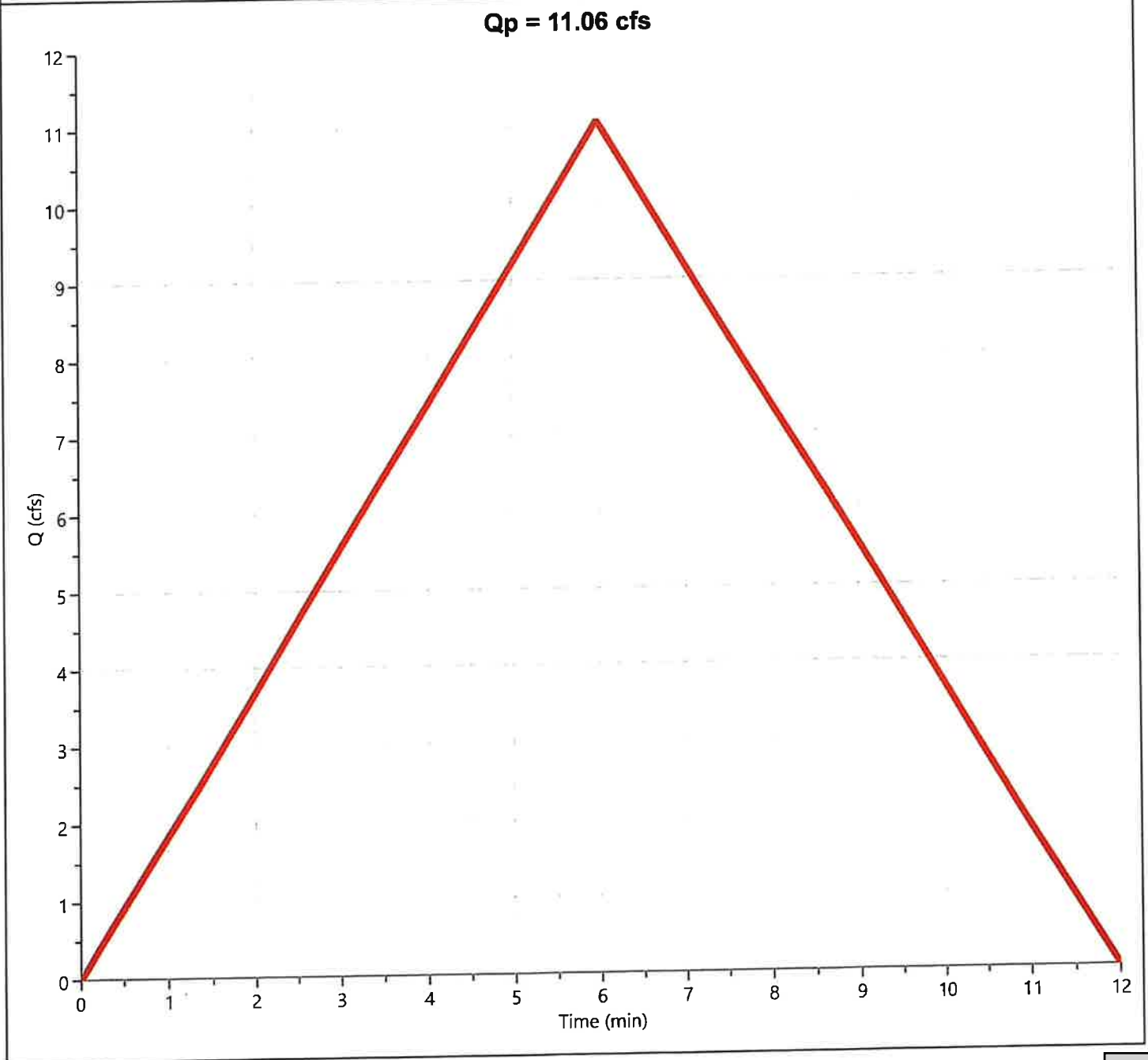


# Hydrograph Report

## Post Rowland

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 11.06 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 3,982 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.86
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 10.90 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

## Hyd. No. 3

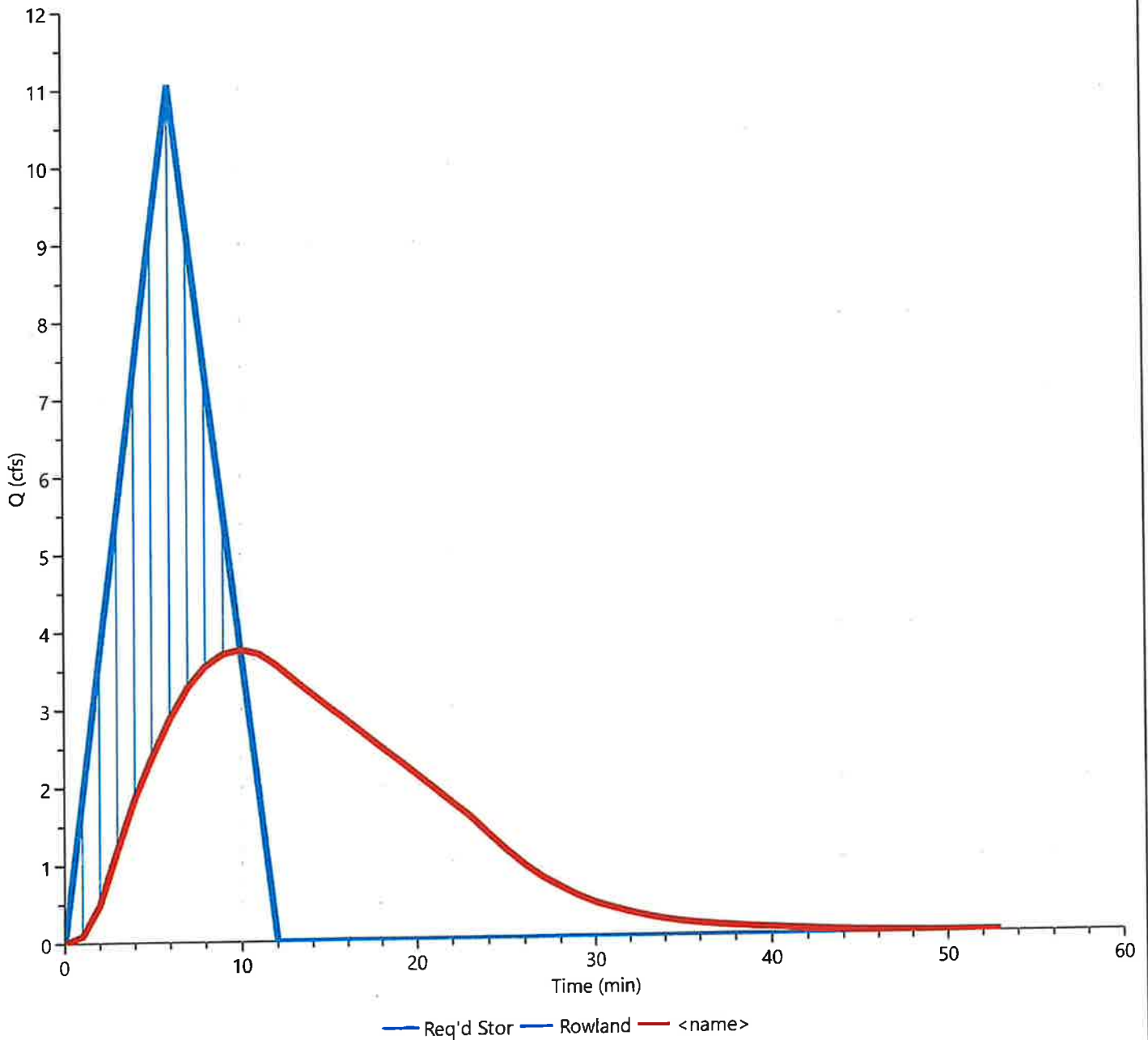
<name>

Hydrograph Type	= Pond Route	Peak Flow	= 3.762 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,977 cuft
Inflow Hydrograph	= 2 - Rowland	Max. Elevation	= 268.97 ft
Pond Name	= Rowland	Max. Storage	= 2,484 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 8 min

**Qp = 3.76 cfs**



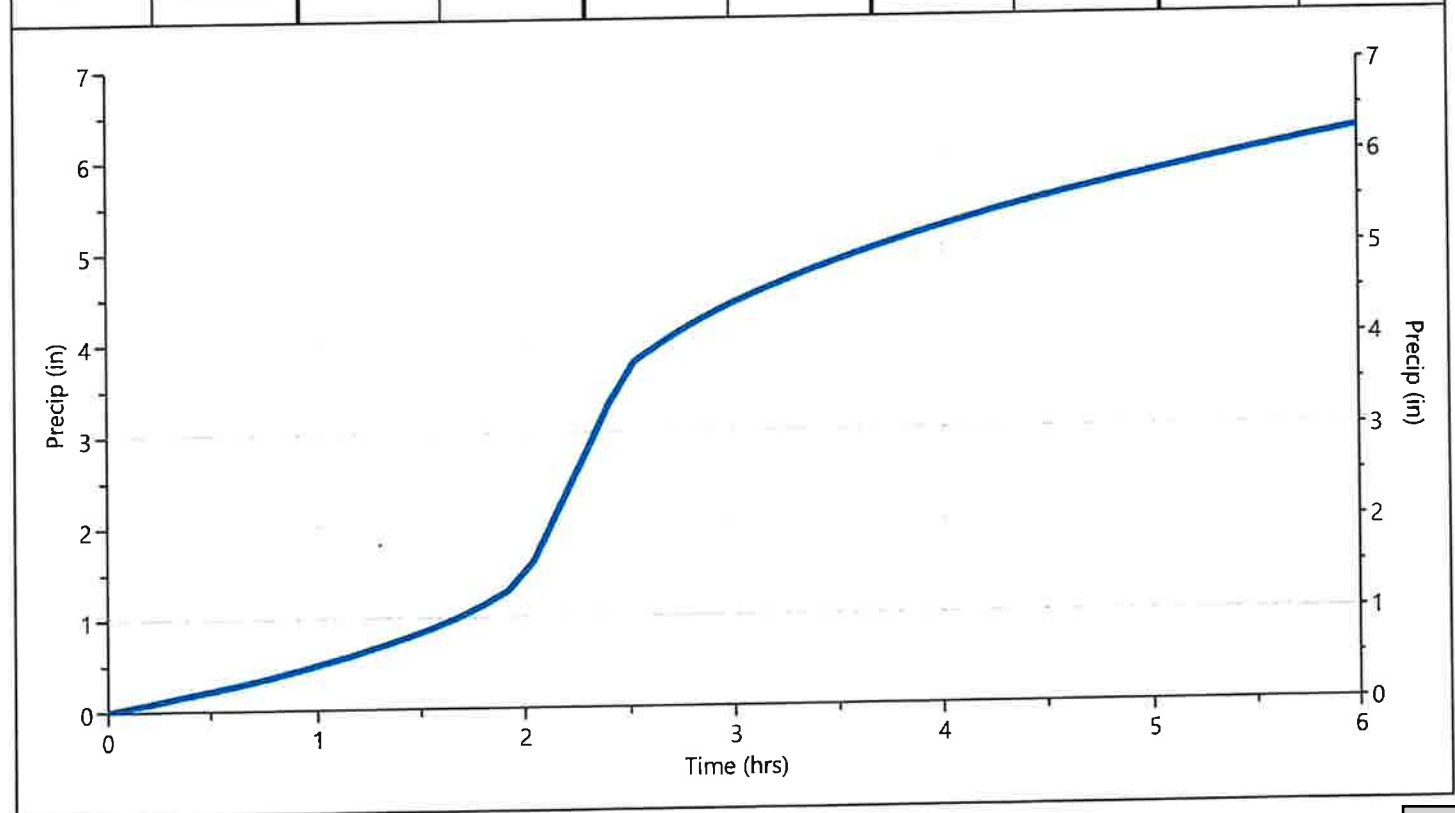
# Design Storm Report

Hydrology Studio v 3.0.0.13

## Storm Distribution: NRCS/SCS - SCS 6hr

Storm Duration	Total Rainfall Volume (in)							
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	✓ 50-yr	100-yr
6 hrs	2.80	3.22	0.00	3.94	4.57	5.50	6.25	7.04

Incremental Rainfall Distribution, 50-yr									
Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)
1.83	0.021701	2.02	0.043403	2.20	0.079861	2.38	0.080729	2.57	0.026042
1.85	0.021701	2.03	0.043403	2.22	0.079860	2.40	0.080729	2.58	0.026042
1.87	0.021701	2.05	0.064236	2.23	0.079861	2.42	0.063368	2.60	0.026041
1.88	0.021701	2.07	0.078124	2.25	0.079861	2.43	0.063368	2.62	0.026042
1.90	0.021701	2.08	0.078125	2.27	0.079861	2.45	0.063367	2.63	0.026042
1.92	0.021701	2.10	0.078125	2.28	0.080035	2.47	0.063368	2.65	0.024479
1.93	0.039062	2.12	0.078125	2.30	0.080728	2.48	0.063368	2.67	0.023437
1.95	0.043403	2.13	0.078125	2.32	0.080729	2.50	0.063368	2.68	0.023438
1.97	0.043403	2.15	0.078124	<b>2.33</b>	<b>0.080729</b>	2.52	0.063367	2.70	0.023438
1.98	0.043403	2.17	0.078820	2.35	0.080729	2.53	0.033507	2.72	0.023438
2.00	0.043402	2.18	0.079861	2.37	0.080728	2.55	0.026042	2.73	0.023438



# Hydrograph 100-yr Summary

Hydrology Studio v 3.0.0.13

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Rowland	3.554	0.35	4,478	—		
2	Rational	Post Rowland	12.07	0.10	4,346	—		
3	Pond Route	<name>	4.052	0.17	4,340	2	269.31	2,744



# Hydrograph Report

Section 4, Item E)

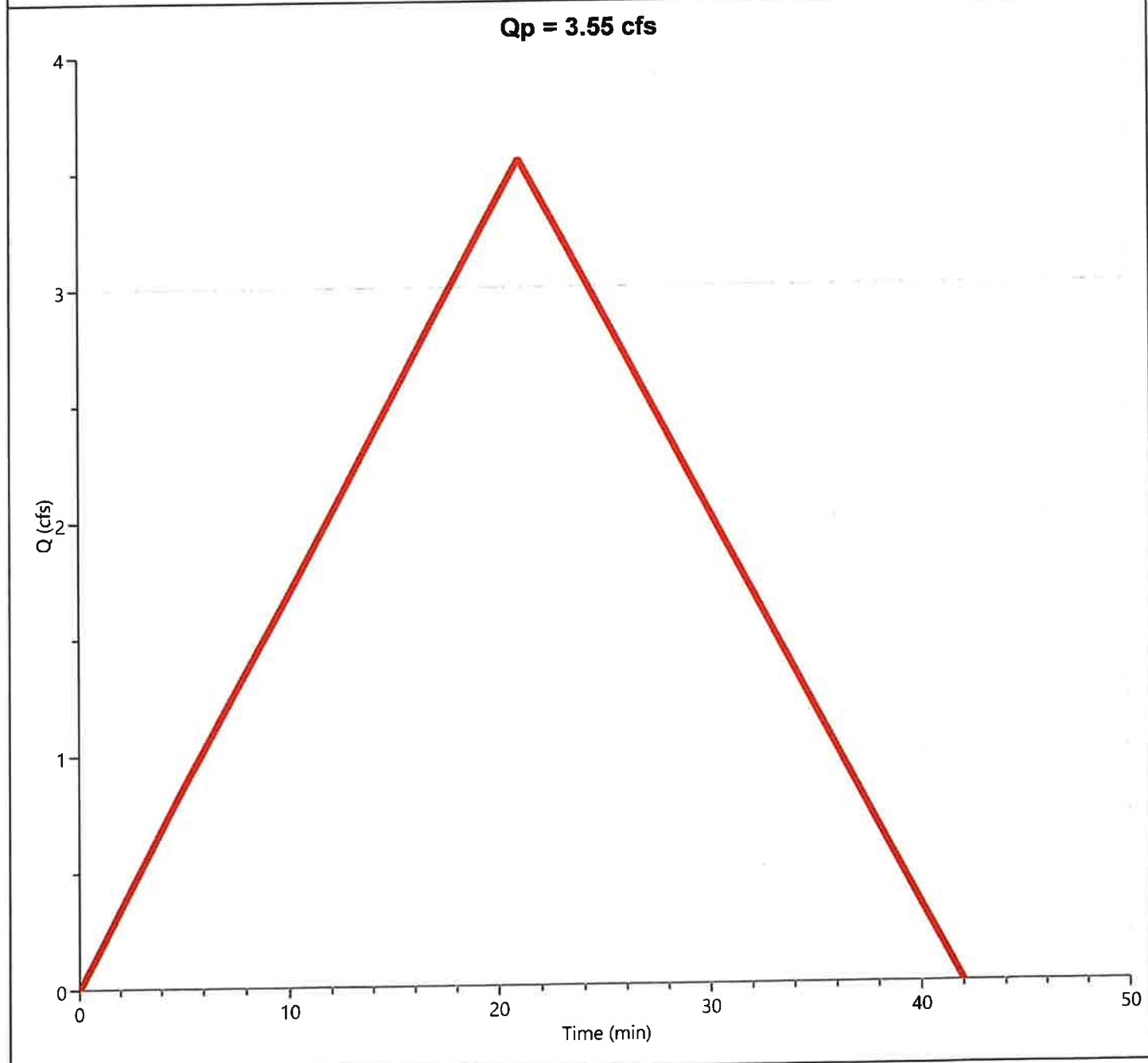
Hydrology Studio v 3.0.0.13

12-21-2021

## Pre Rowland

## Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 3.554 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.35 hrs
Time Interval	= 1 min	Runoff Volume	= 4,478 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.45
Tc Method	= User	Time of Conc. (Tc)	= 21.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 6.69 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

Section 4, Item E)

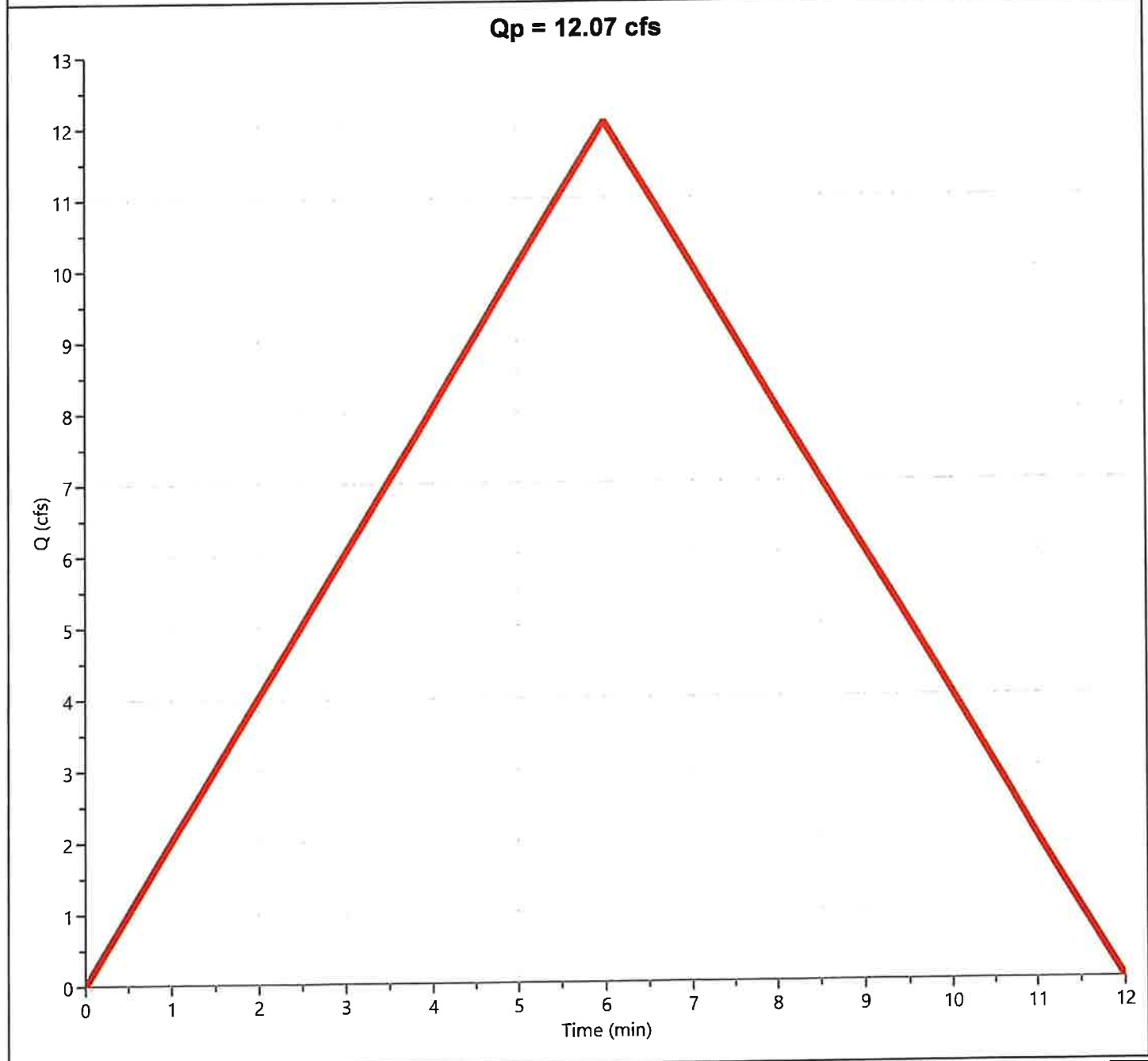
Hydrology Studio v 3.0.0.13

12-21-2021

## Post Rowland

## Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 12.07 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 4,346 cuft
Drainage Area	= 1.18 ac	Runoff Coeff.	= 0.86
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 11.90 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



# Hydrograph Report

<name>

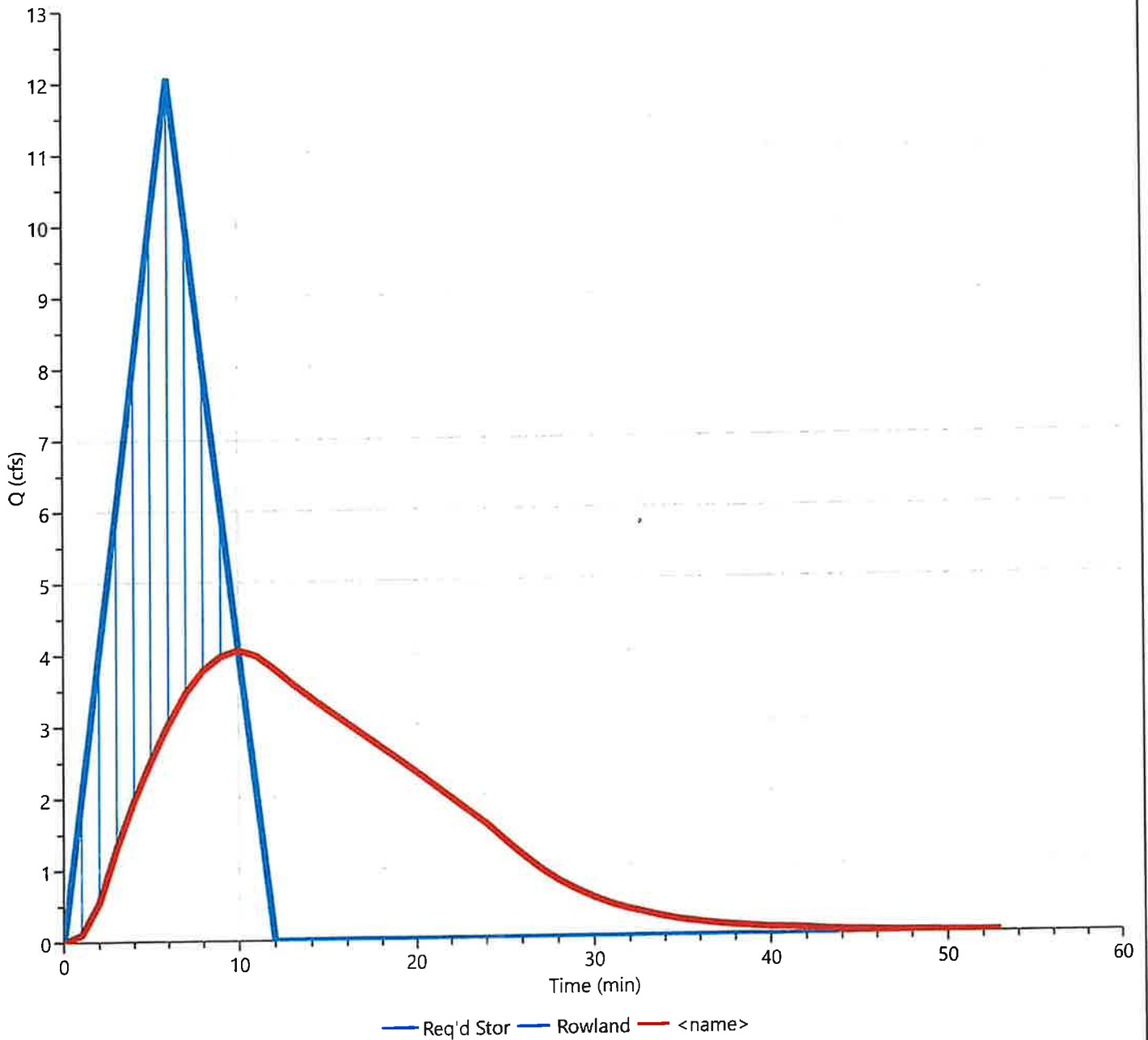
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 4.052 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 4,340 cuft
Inflow Hydrograph	= 2 - Rowland	Max. Elevation	= 269.31 ft
Pond Name	= Rowland	Max. Storage	= 2,744 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 9 min

**Qp = 4.05 cfs**

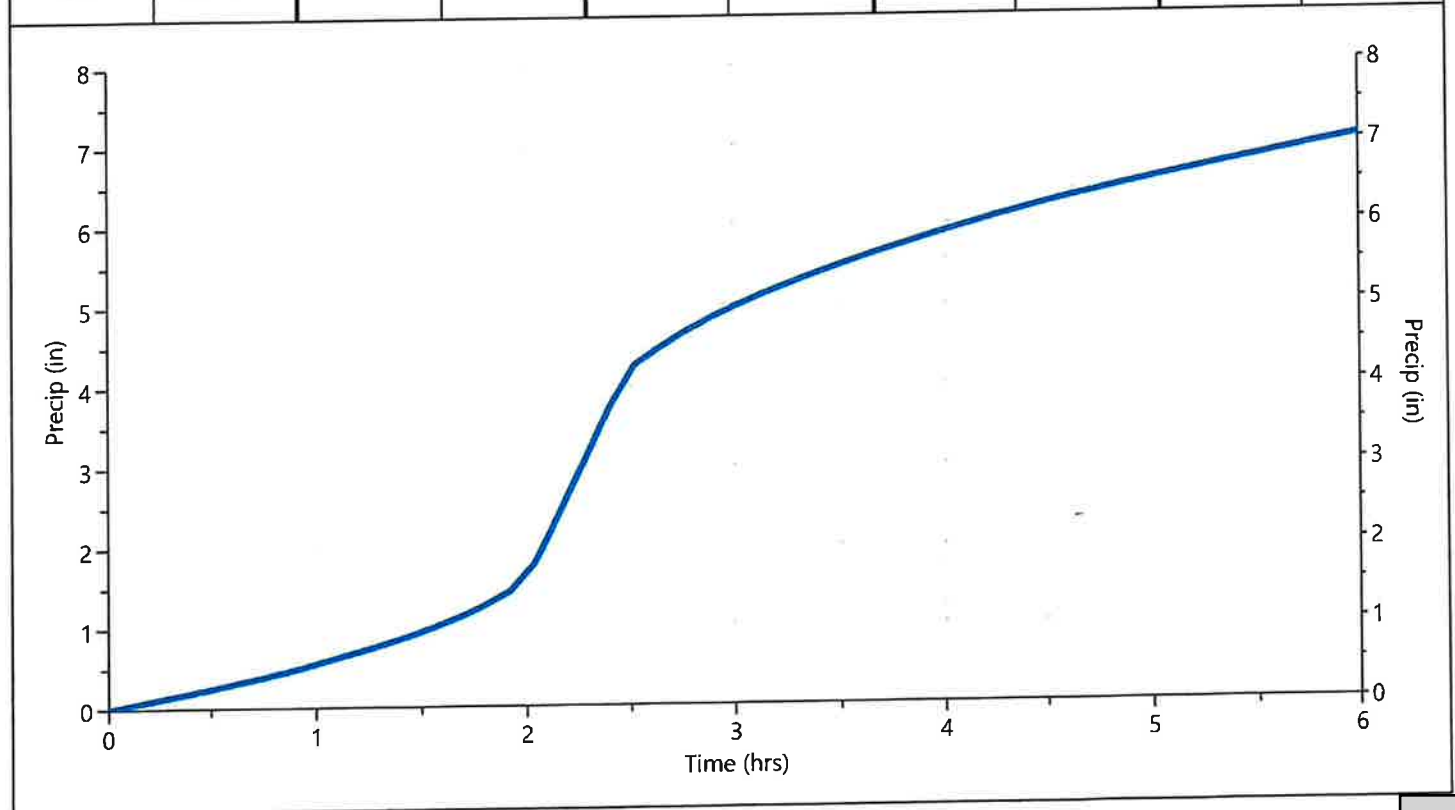


# Design Storm Report

## Storm Distribution: NRCS/SCS - SCS 6hr

Storm Duration	Total Rainfall Volume (in)							
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	✓ 100-yr
6 hrs	2.80	3.22	0.00	3.94	4.57	5.50	6.25	7.04

Incremental Rainfall Distribution, 100-yr									
Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)	Time (hrs)	Precip (in)
1.83	0.024444	2.02	0.048889	2.20	0.089956	2.38	0.090933	2.57	0.029334
1.85	0.024444	2.03	0.048889	2.22	0.089954	2.40	0.090934	2.58	0.029334
1.87	0.024444	2.05	0.072356	2.23	0.089956	2.42	0.071378	2.60	0.029333
1.88	0.024444	2.07	0.087999	2.25	0.089956	2.43	0.071378	2.62	0.029334
1.90	0.024444	2.08	0.088000	2.27	0.089956	2.45	0.071377	2.63	0.029333
1.92	0.024445	2.10	0.088000	2.28	0.090152	2.47	0.071378	2.65	0.027574
1.93	0.044000	2.12	0.088000	2.30	0.090932	2.48	0.071378	2.67	0.026400
1.95	0.048889	2.13	0.088000	2.32	0.090933	2.50	0.071378	2.68	0.026400
1.97	0.048889	2.15	0.087999	2.33	0.090934	2.52	0.071377	2.70	0.026400
1.98	0.048889	2.17	0.088783	2.35	0.090934	2.53	0.037743	2.72	0.026400
2.00	0.048888	2.18	0.089956	2.37	0.090932	2.55	0.029333	2.73	0.026400



**City of Gluckstadt**

**Application for Site Plan Review**

Subject Property Address: Storage City of Gluckstadt  
Parcel #: 082E-14-001/01-02

Owner: Kirkland Properties  
Address: 605 Steel Road  
Ridgeland, MS 39157

Applicant: Kirkland Properties  
Address: 605 Steel Road  
Ridgeland, MS 39157

Phone #: 601-982-7381  
E-Mail: bennick@kirklandprop.com

Phone #: SAMP  
E-Mail: stmr

Current Zoning District: I-2

Acreage of Property (If applicable): 10 ac

Use sought of Property: Climate Central Storage 2024005

**Requirements of Applicant:**

- 1. Copy of written legal description.
- 2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
- 3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

**Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.**

**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

*Ben K. [Signature]*  
Applicant Signature

1/3/24  
Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**

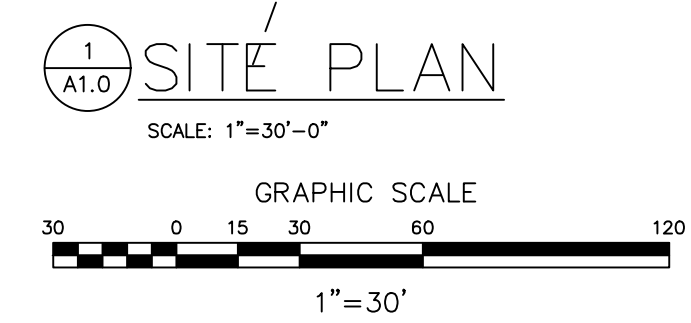
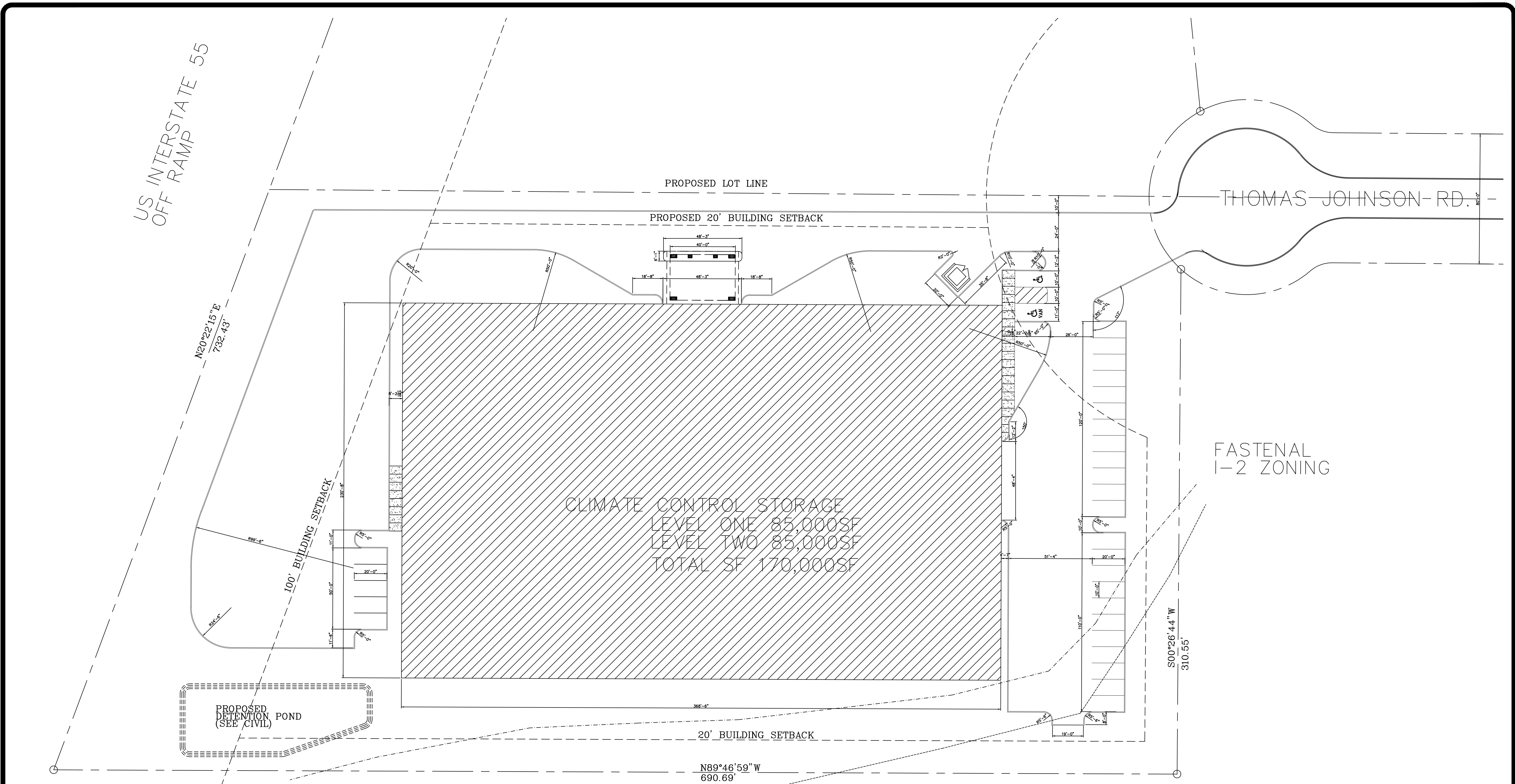
**OFFICE USE ONLY**

**Date Received:** 1.5.2024

**Application Complete & Approved to Submit to P&Z Board (please check):**

Yes \_\_\_\_\_ No \_\_\_\_\_

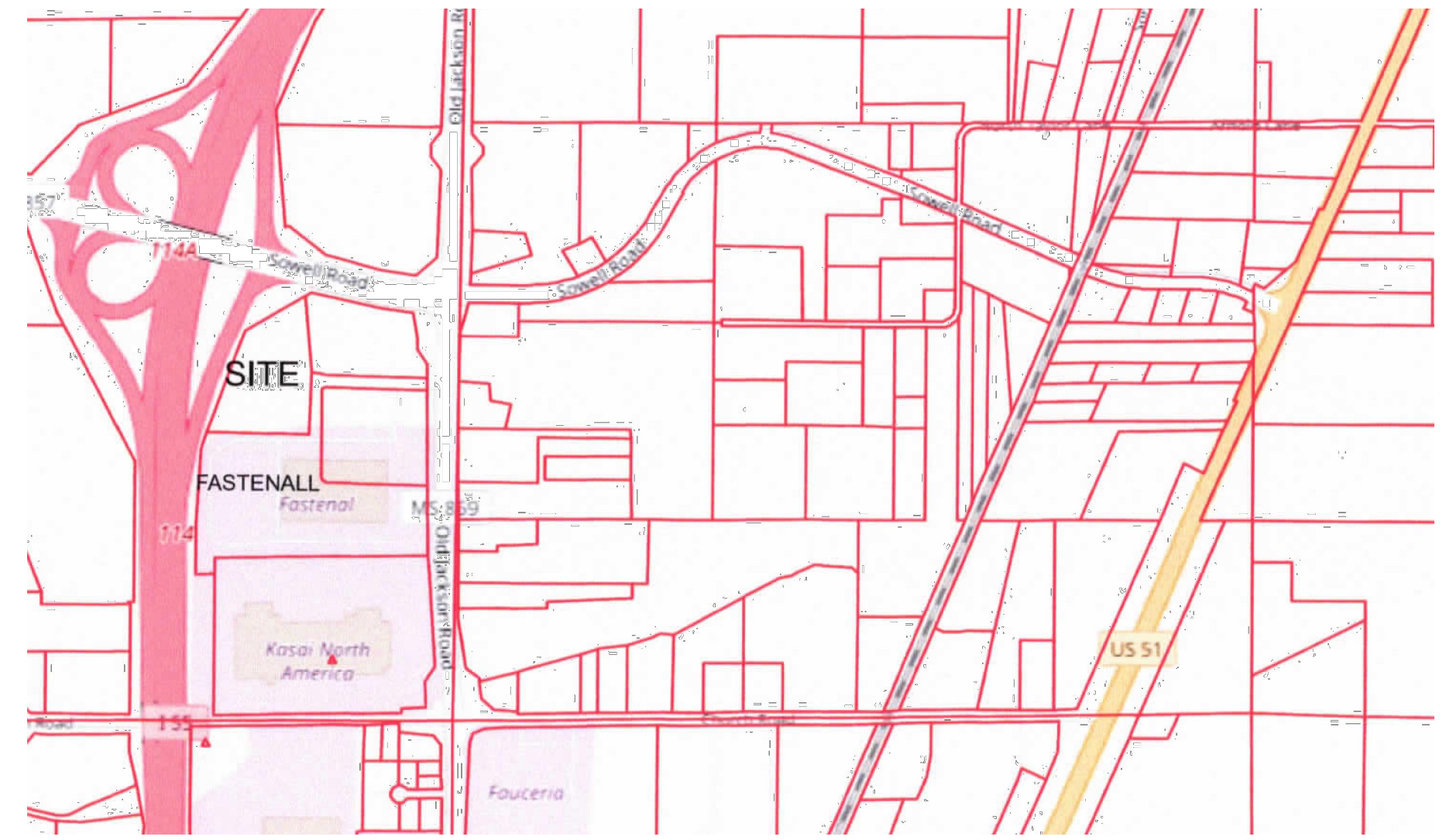
**Signature:** \_\_\_\_\_  
**Planning & Zoning Administrator (or Authorized Representative)**



**1 SITE PLAN**  
 A1.0  
 SCALE: 1"=30'-0"

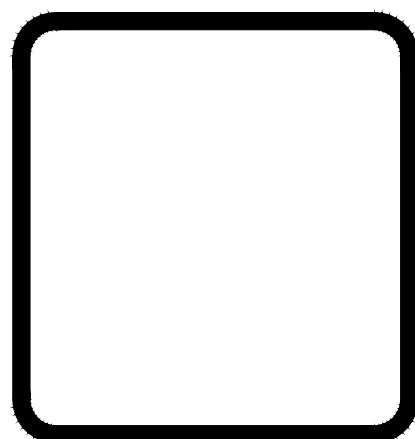
1-2 INDUSTRIAL ZONING  
 SITE AREA 435,600SF  
 BUILDING AREA 85,000SF  
 AREA COVERAGE 19.5%

PARKING REQUIRED  
 $170,000sf / 1000 = 170 \times .16 = 27.2$  PARKING SPACES  
 TOTAL REQUIRED SPACES = 28 SPACES  
 PROVIDED SPACES = 30 SPACES



**1 VICINITY MAP**  
 A1.0  
 SCALE:

REVISIONS	BY



**WOODRIDGE & ASSOCIATES**  
 464 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-8885  
 WOODRIDGEARCHITECTURE@YAHOO.COM

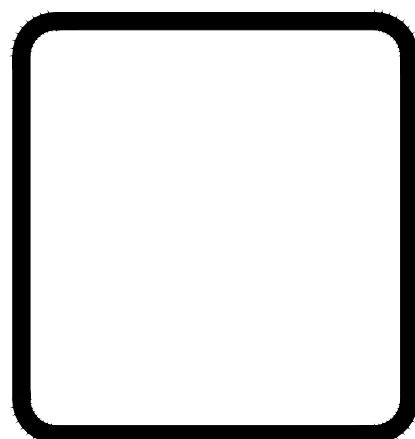
**Storage City of Mississippi**  
 Thomas Johnson Rd  
 Gluckstadt, Mississippi

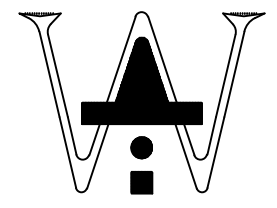
THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOODRIDGE & ASSOCIATES. IT MAY NOT BE CONSTRUCTED NOR SHALL ANY DOCUMENTS BE REPRODUCED FROM THIS DESIGN WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE 1/4/24
SCALE
JOB NO.
SHEET

**A0.0**

REVISIONS	BY

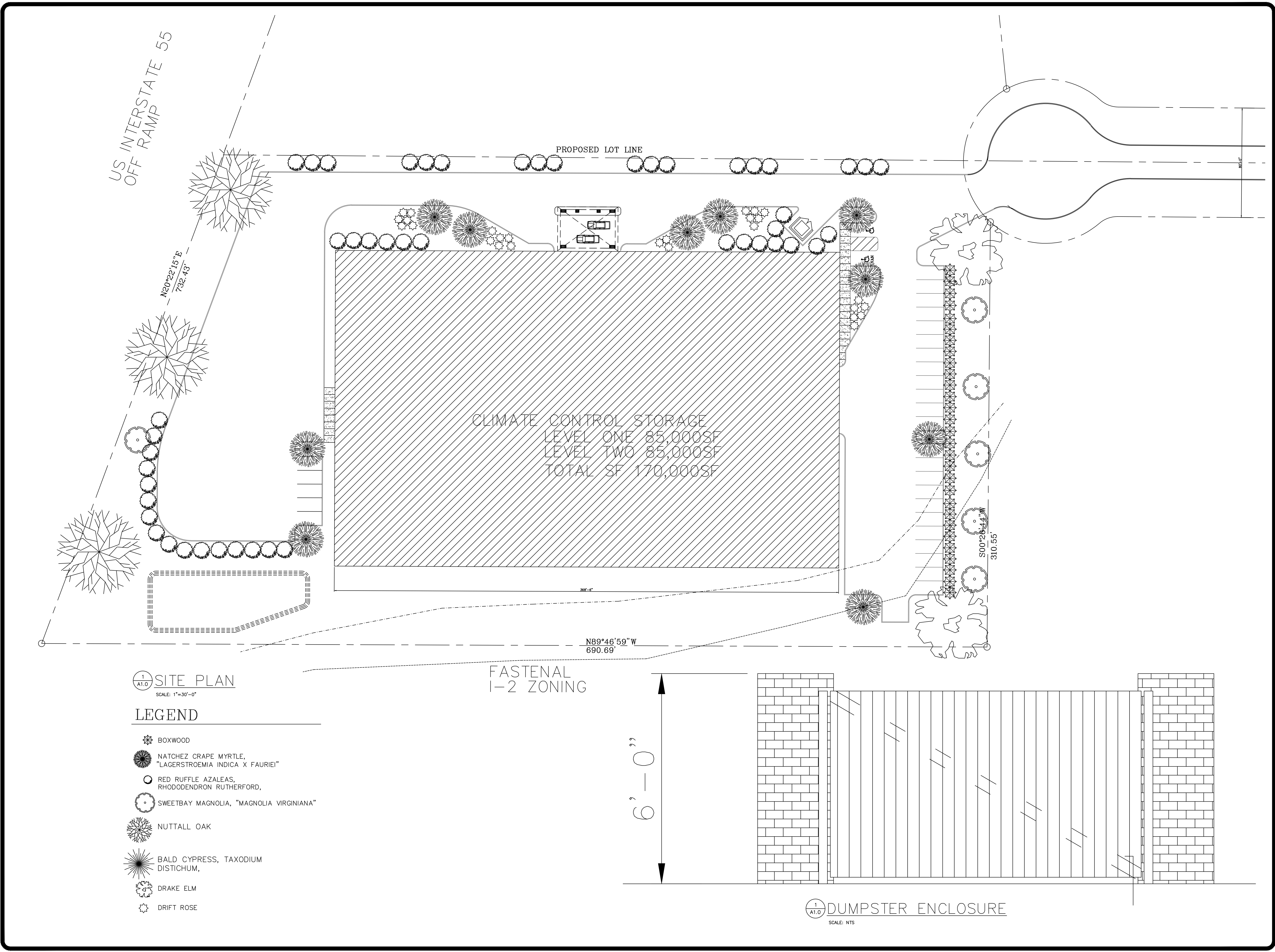


  
**WOODRIDGE & ASSOCIATES**  
 464 CHURCH RD. SUITE 700  
 MADISON, MS 39110  
 601-209-8885  
 WOODRIDGEARCHITECTURE@YAHOO.COM









**Storage City of Mississippi**  
 Thomas Johnson Rd  
 Gluckstadt, Mississippi

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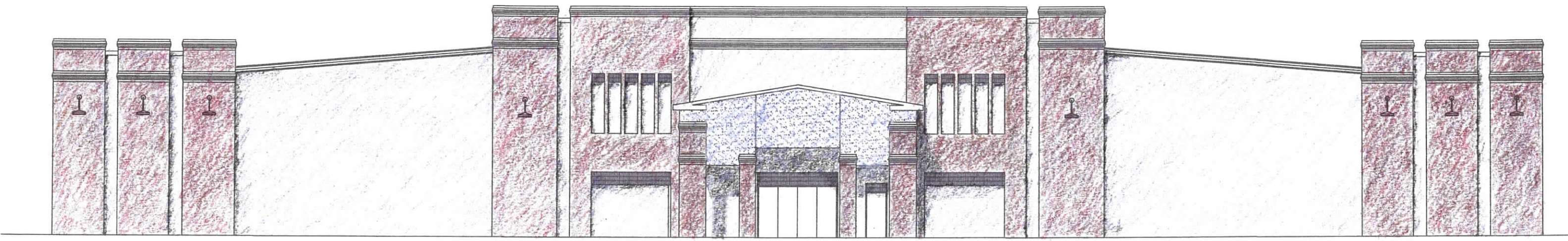
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CHECKED
DATE 1/4/24
SCALE
JOB NO.
SHEET
A0.1
OF SHEETS

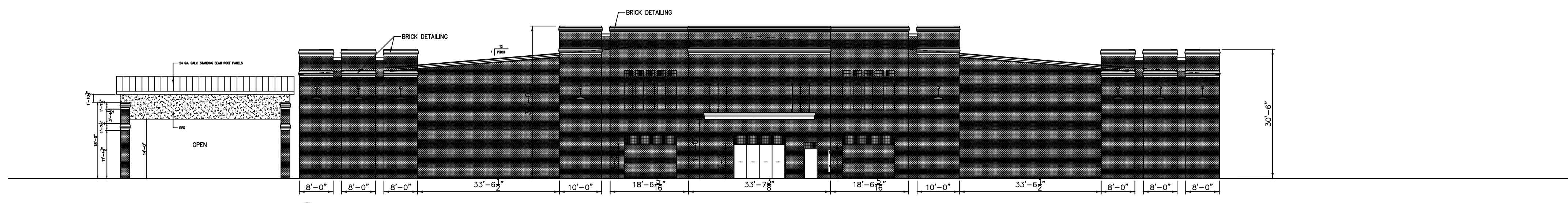


**1 SITE PLAN**  
SCALE: 1"=30'-0"

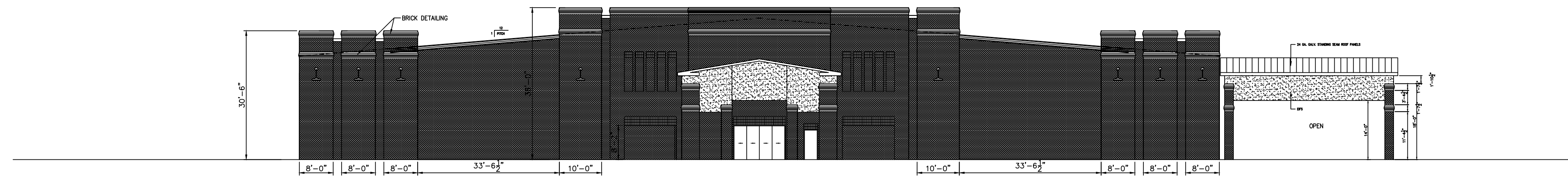
- LEGEND**
-  BOXWOOD
  -  NATCHEZ CRAPE MYRTLE, "LAGERSTROEMIA INDICA X FAURIEI"
  -  RED RUFFLE AZALEAS, RHODODENDRON RUTHERFORD,
  -  SWEETBAY MAGNOLIA, "MAGNOLIA VIRGINIANA"
  -  NUTTALL OAK
  -  BALD CYPRESS, TAXODIUM DISTICHUM,
  -  DRAKE ELM
  -  DRIFT ROSE



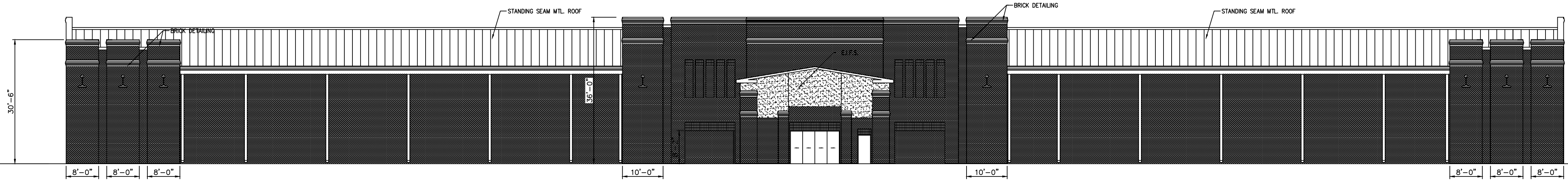




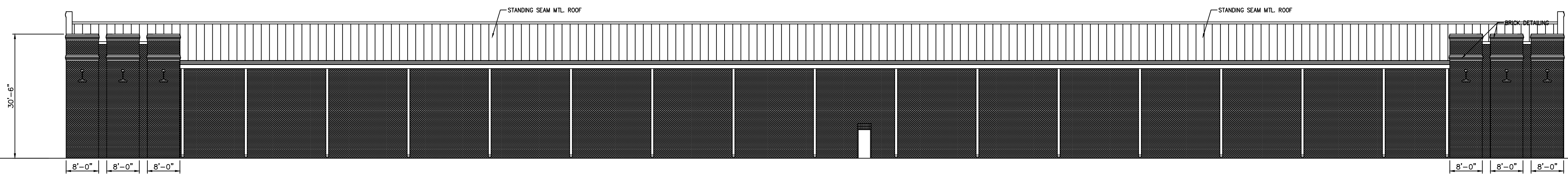
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SCALE: 1/16"=1'-0"



1  
A1.0 EAST ELEVATION  
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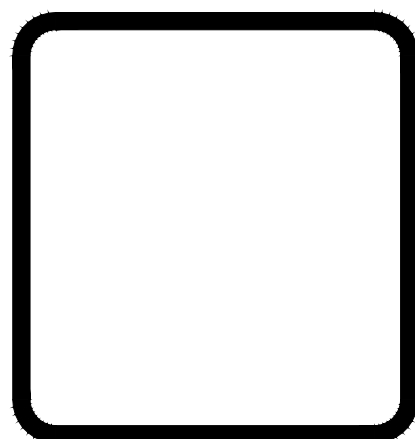


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A1.0 NORTH ELEVATION  
SCALE: 1/16"=1'-0"



1  
A1.0 SOUTH ELEVATION  
SCALE: 1/16"=1'-0"

REVISIONS	BY



WOODRIDGE & ASSOCIATES  
464 CHURCH RD. SUITE 700  
MADISON, MS 39110  
601-209-8885  
WOODRIDGEARCHITECTURE.COM

Storage City of Mississippi  
Thomas Johnson Rd  
Gluckstadt, Mississippi

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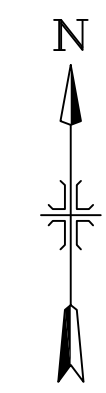
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CHECKED
DATE 8/8/22
SCALE
JOB NO.
SHEET
A3.0
OF SHEETS

SITE PLAN NOTES

MS One Call #21061908520026

PARKING FEATURES LEGEND

- ① TRAFFIC STRIPE (PARKING) 4" CONTINUOUS WHITE
- ② TRAFFIC STRIPE (HANDICAP) 4" CONTINUOUS BLUE
- ③ HANDICAP PARKING SIGN (R7-8)-DETAIL 1/C1.0 SEE MUTCD MANUAL FOR SPECIFICATIONS.
- ④ STOP SIGN (DETAIL 2/C1.0) SEE MUTCD MANUAL FOR SPECIFICATIONS.
- ⑤ 24" LEGEND WHITE

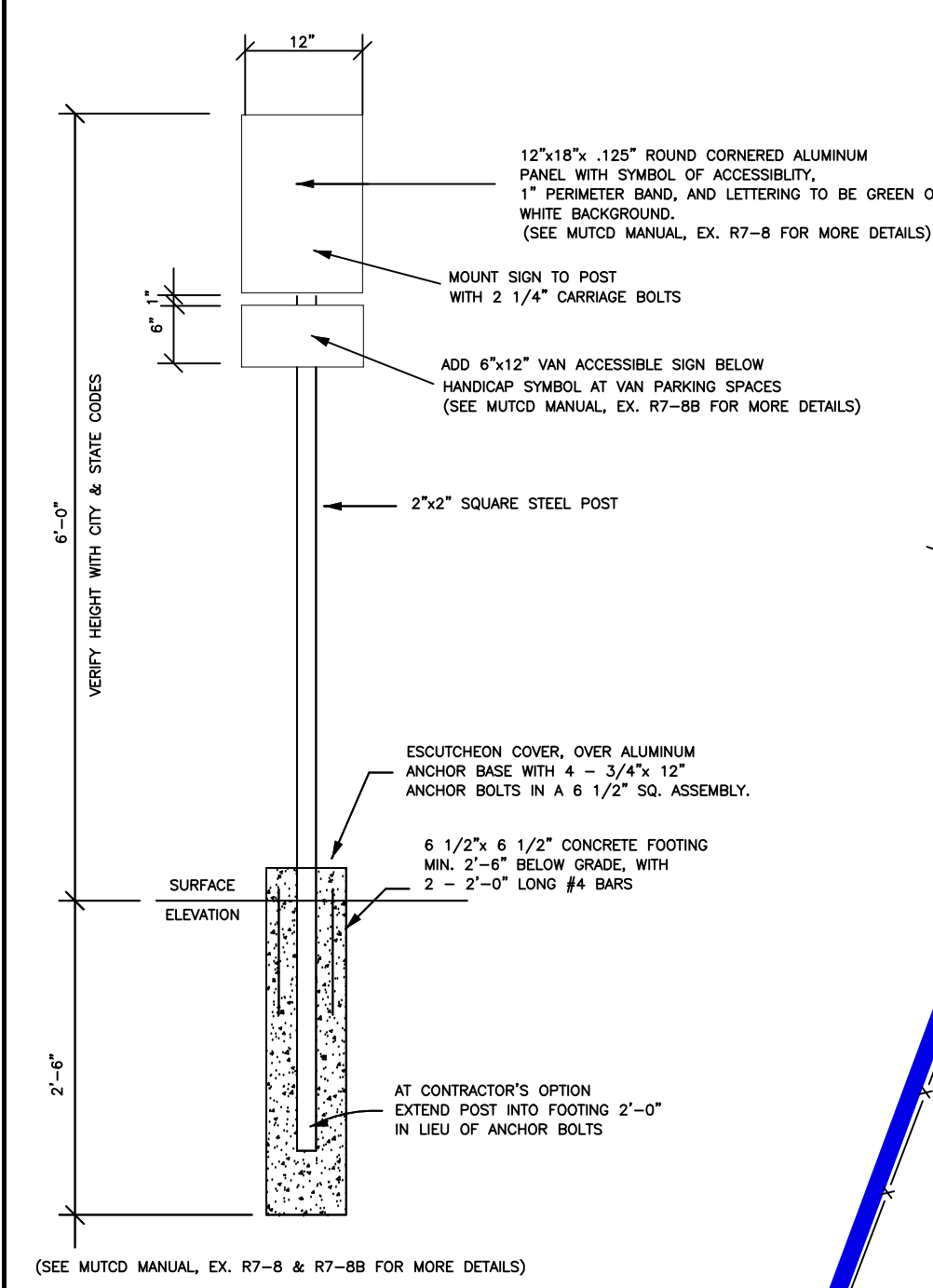
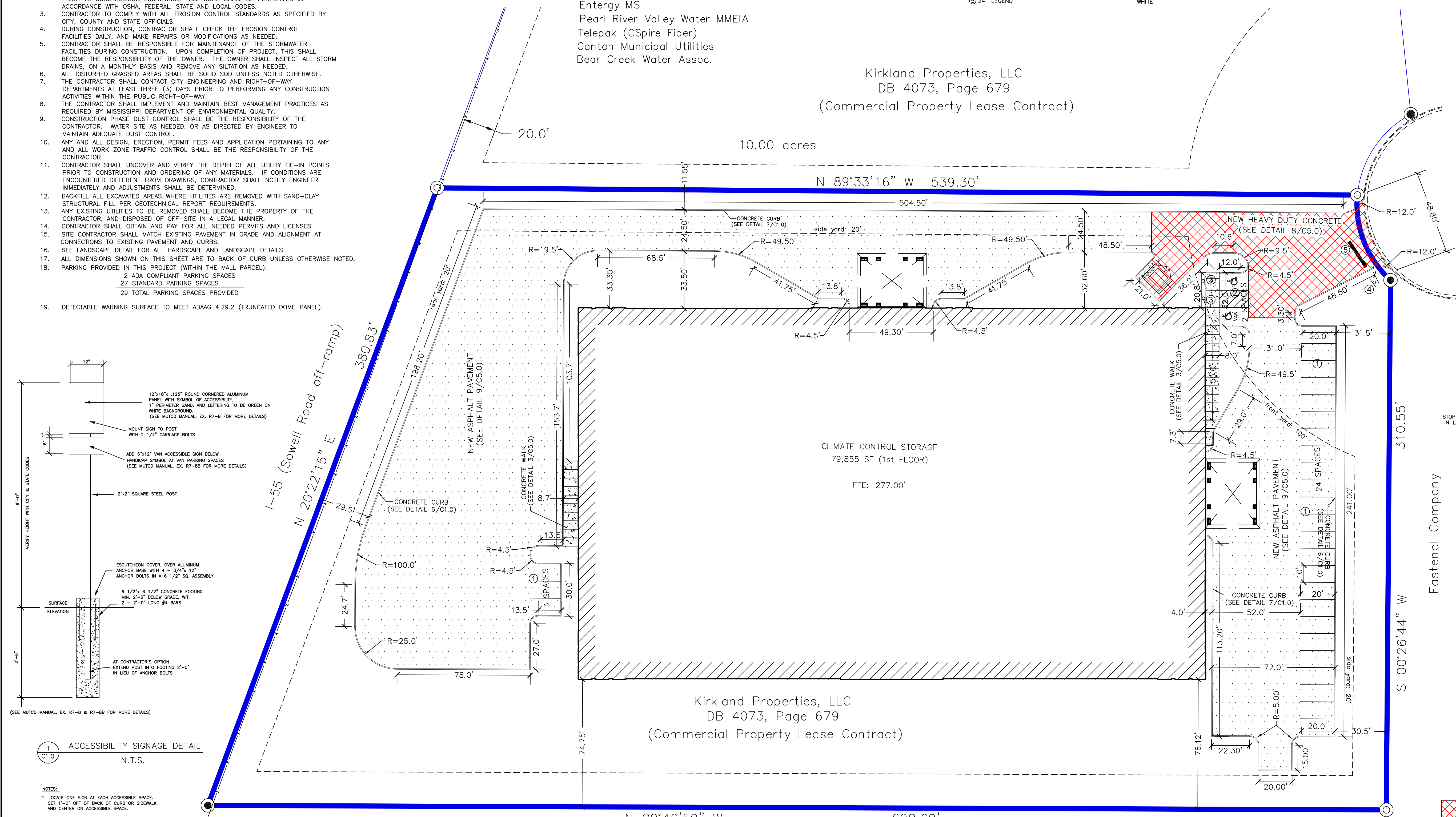


GENERAL

- BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 06-15-2021.
- CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
- DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINAGE, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
- ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOD UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
- CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
- ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
- ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
- SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING PAVEMENT AND CURBS.
- SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- PARKING PROVIDED IN THIS PROJECT (WITHIN THE MALL PARCEL):
  - 2 ADA COMPLIANT PARKING SPACES
  - 27 STANDARD PARKING SPACES
  - 29 TOTAL PARKING SPACES PROVIDED
- DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).

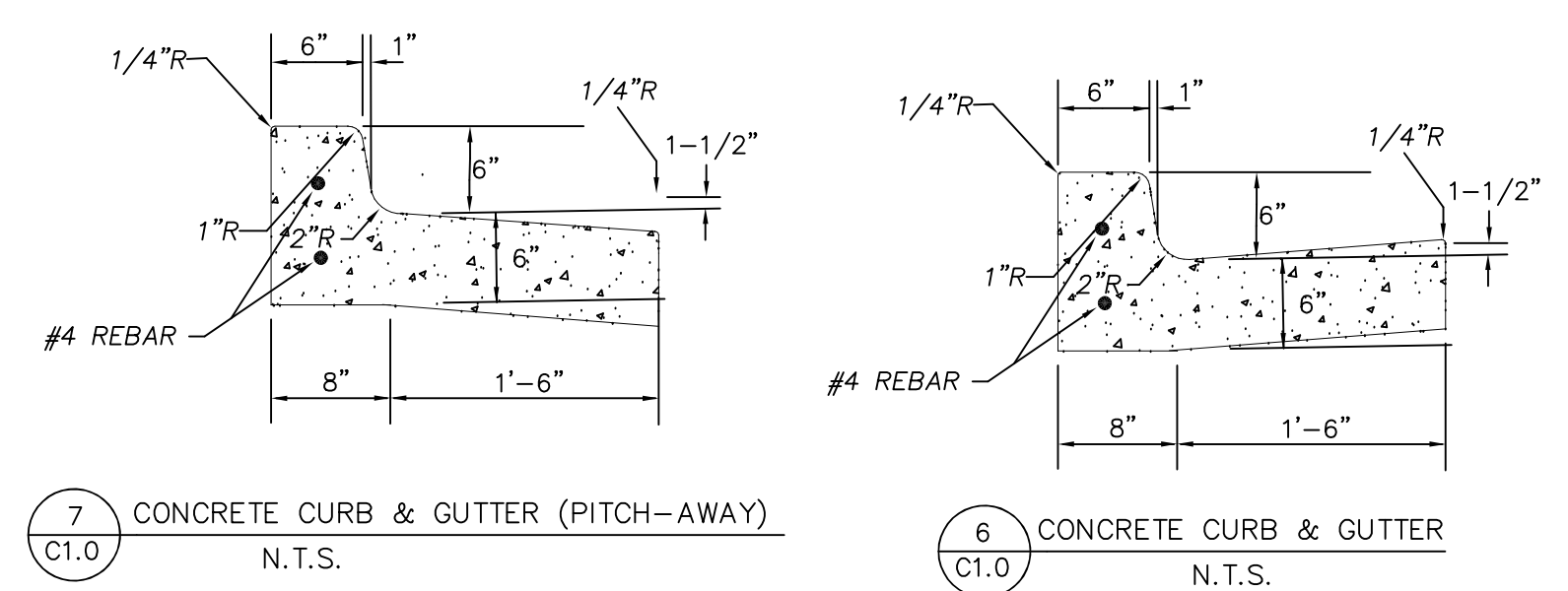
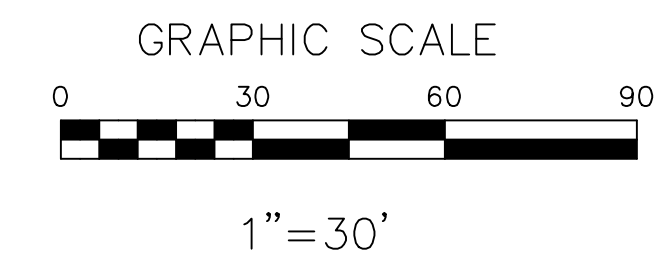
Utilities  
 AT&T  
 Centerpoint Energy  
 Comcast Cable  
 Entergy MS  
 Pearl River Valley Water MMEA  
 Telepak (CSpire Fiber)  
 Canton Municipal Utilities  
 Bear Creek Water Assoc.

Kirkland Properties, LLC  
 DB 4073, Page 679  
 (Commercial Property Lease Contract)



① ACCESSIBILITY SIGNAGE DETAIL  
 N.T.S.

- NOTES:
- LOCATE ONE SIGN AT EACH ACCESSIBLE SPACE. SET 1'-0\"/>
  - ALL DIMENSIONS AND SIGNAGE SHOULD FOLLOW THE ADA STANDARDS FOR ACCESSIBLE DESIGN.



⑦ CONCRETE CURB & GUTTER (PITCH-AWAY)  
 N.T.S.

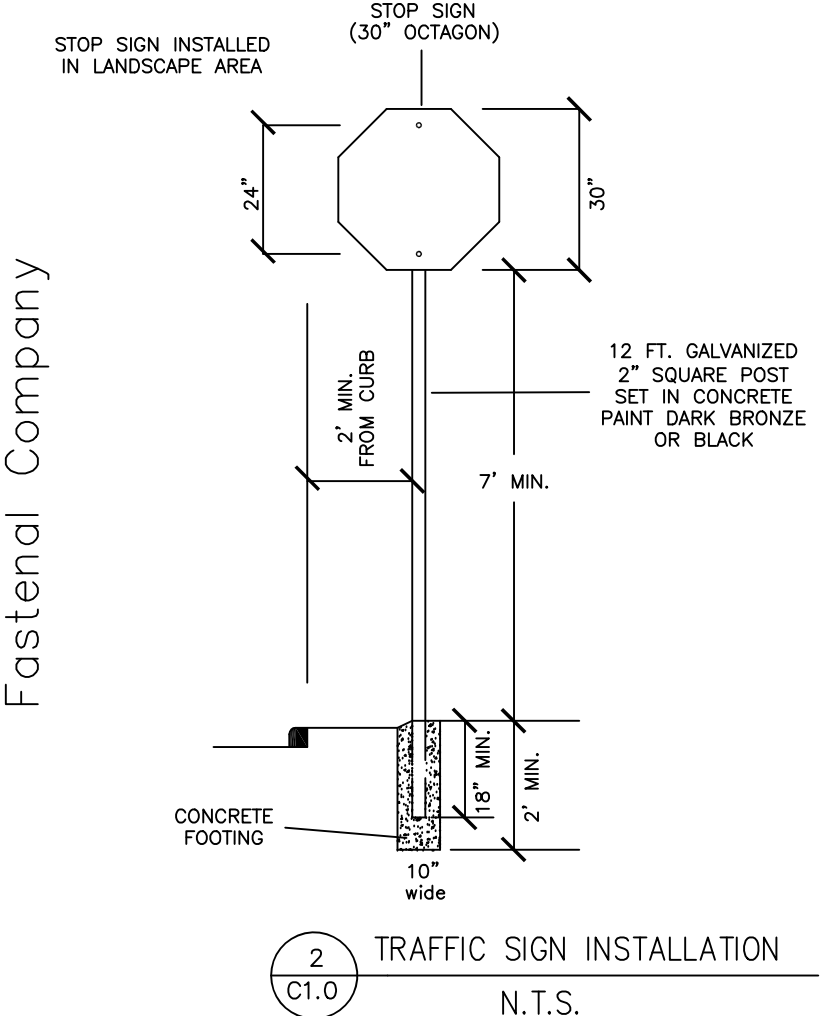
⑧ CONCRETE CURB & GUTTER  
 N.T.S.

CONTRACTOR SHOULD USE CORRECT CURB & GUTTER DETAIL IN ACCORDANCE TO THE GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN

\*CONTRACTOR JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

Property located in Zone 1-2  
 (Heavy Industrial District)  
 Front Yard: 100 feet  
 Side Yard: 20 feet  
 Rear Yard: 20 feet

Property located in Zone X according to the FEMA map for Madison County, 28089 C 415F dated 03/17/2010



② TRAFFIC SIGN INSTALLATION  
 N.T.S.

- HEAVY DUTY CONCRETE PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW ASPHALT PAVEMENT
- PROPOSED BUILDING

LEGEND

- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C2.0)
- HANDICAP PARKING
- PROPERTY LINE

Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, Inc.  
 506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 925-3015

Project No.: # 4400  
 Date: 09/09/2022  
 Scale: 1" = 30'  
 Drawn By: CLB  
 Reviewed By: CLB

SITE PLAN  
 Storage City  
 Gluckstadt, Mississippi

C 1.0

1. GENERAL

THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED

ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF CLINTON STANDARDS.

TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY BAIRD ENGINEERING, INC.

2. CLEARING

PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED

REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING

REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.

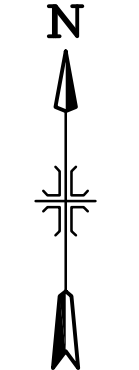
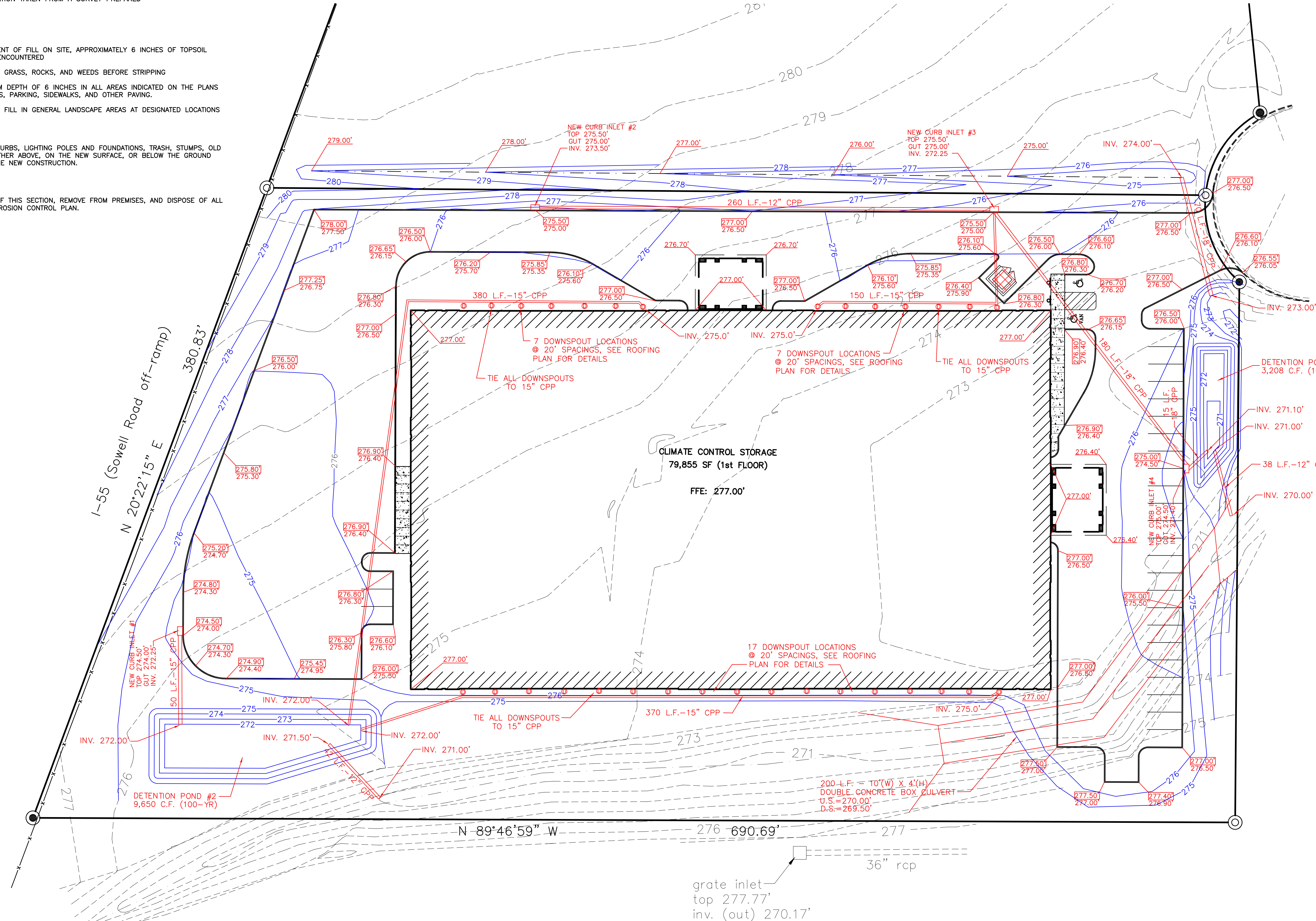
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE

3. GRUBBING

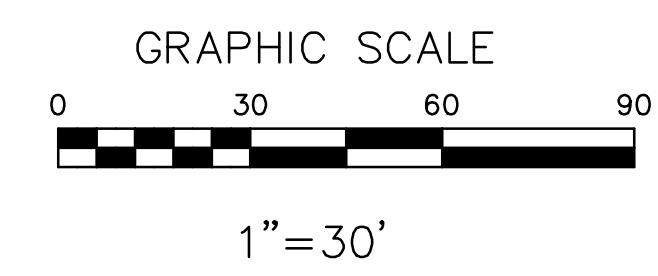
REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.

4. CLEAN-UP

UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.



Thomas Johnson Road



5. SITE GRADING

PROFFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO ASTM D698 PRIOR TO FILL PLACEMENT.

CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.

ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.

ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.

6. FILLING AND BACKFILLING MATERIALS

IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH ±2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTIONED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.

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By:	
Revisions:	
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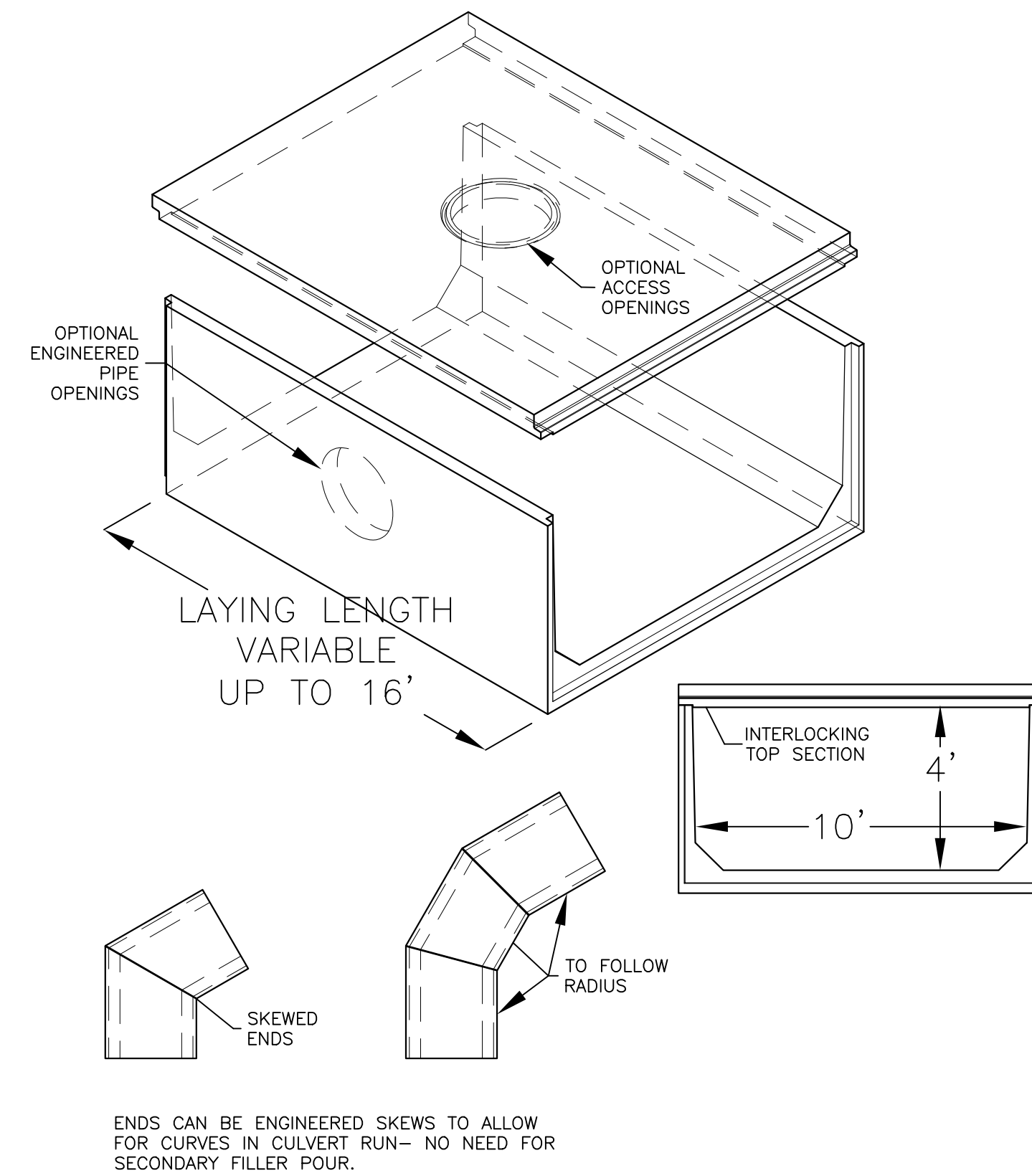
BAIRD ENGINEERING, INC.  
506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 925-3015

Project No.: # 4400  
Date: 09/09/2022  
Scale: 1" = 30'  
Drawn By: CLB  
Reviewed By: CLB

GRADING PLAN  
Storage City  
Gluckstadt, Mississippi

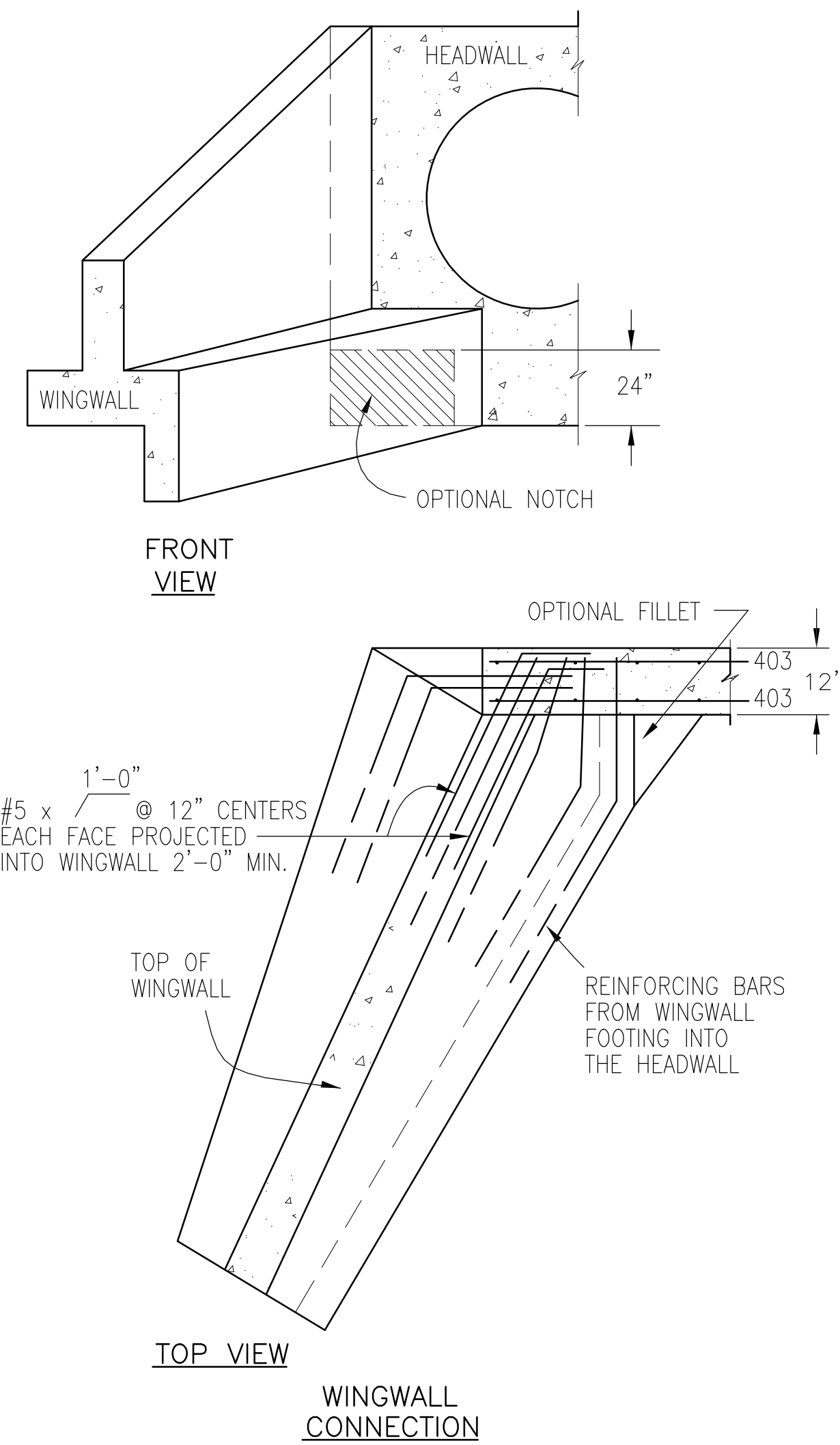
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Date: \_\_\_\_\_  
By: \_\_\_\_\_  
Revisions: \_\_\_\_\_  
No. \_\_\_\_\_



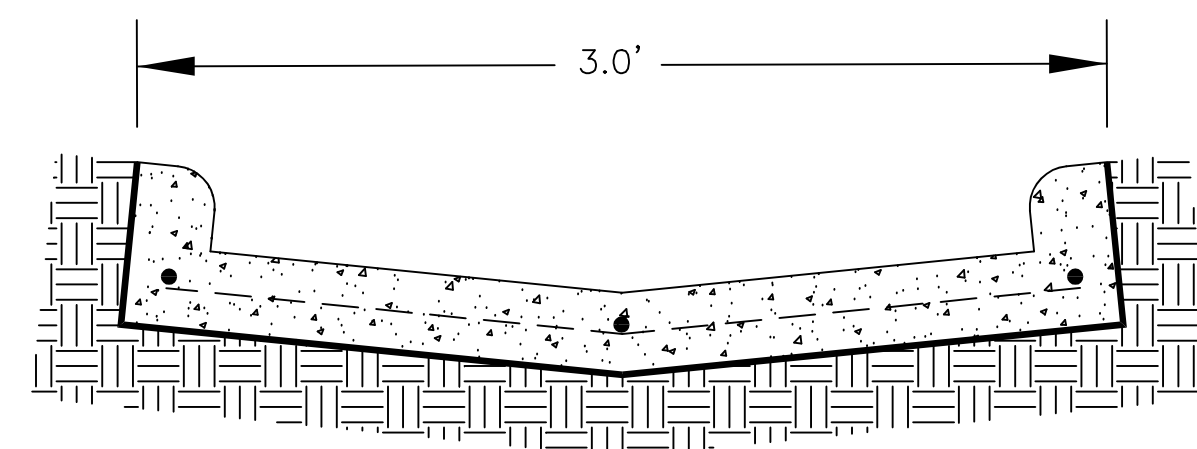
1 PRECAST BOX CULVERT  
C2.1 N.T.S.

\*\* THIS IS A GENERAL DETAIL OF THE PRECAST BOX CULVERT SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED BEFORE CONSTRUCTION



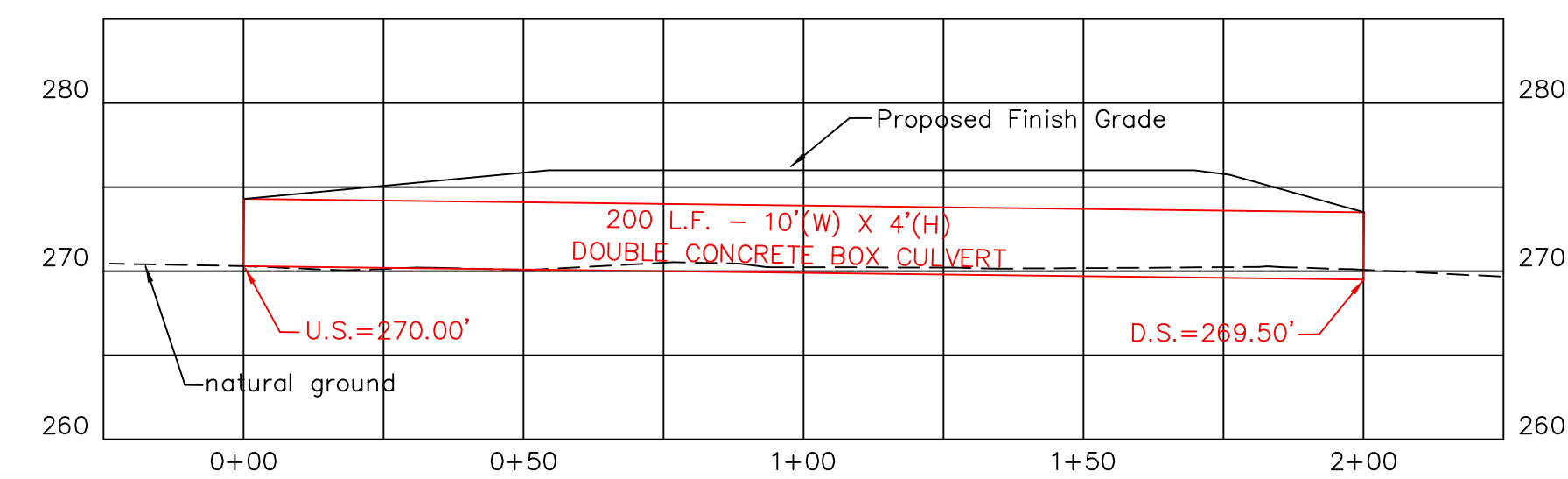
2 WINGWALL CONNECTION DETAIL  
C2.1 N.T.S.

\*\* THIS IS A GENERAL DETAIL OF THE PRECAST BOX CULVERT SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED BEFORE CONSTRUCTION



3 CONCRETE V-SHAPED FLUME DETAIL  
C2.1 N.T.S.

\*\* FOLLOW GUIDELINES FOR EXPANSION AND CONTROL JOINTS AS PER SIDEWALK DETAIL 1/C5.0



4 PRECAST BOX CULVERT PROFILE  
C2.1

BEARD ENGINEERING, Inc.  
506 Jefferson Street, Clinton, MS 39056  
Phone: (601) 923-3015

Project No.: # 4400  
Date: 09/09/2022  
Scale: 1" = 30'  
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Reviewed By: CLB

GRADING PLAN DETAILS  
Storage City  
Gluckstadt, Mississippi

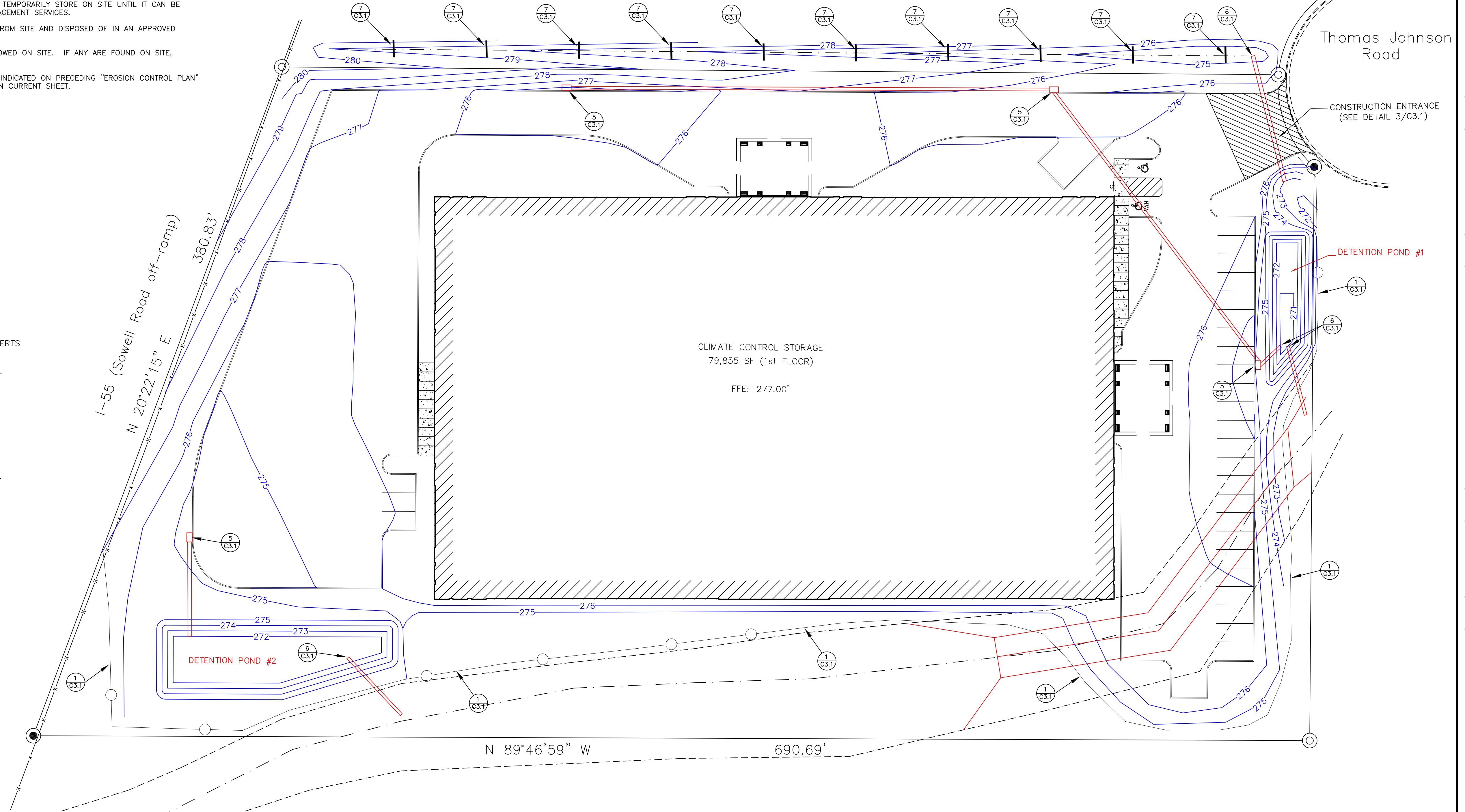
C 2.1

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE. THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

**NOTES:**

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".



**CONSTRUCTION SEQUENCE**

Implementation BMP Sequence:

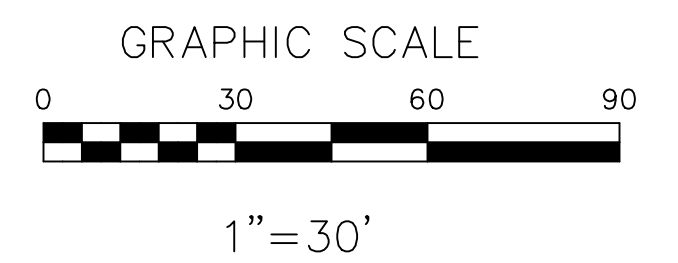
1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.



Section 4, Item F)	
Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clarksdale, MS 39056
Phone: (601) 925-5015

Project No.: # 4400
Date: 09/09/2022
Scale: 1" = 30'
Drawn By: CLB
Reviewed By: CLB

EROSION CONTROL PLAN
Storage City
Gluckstad, Mississippi

C 3.0
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Date:	
By:	
Revisions:	
No.	

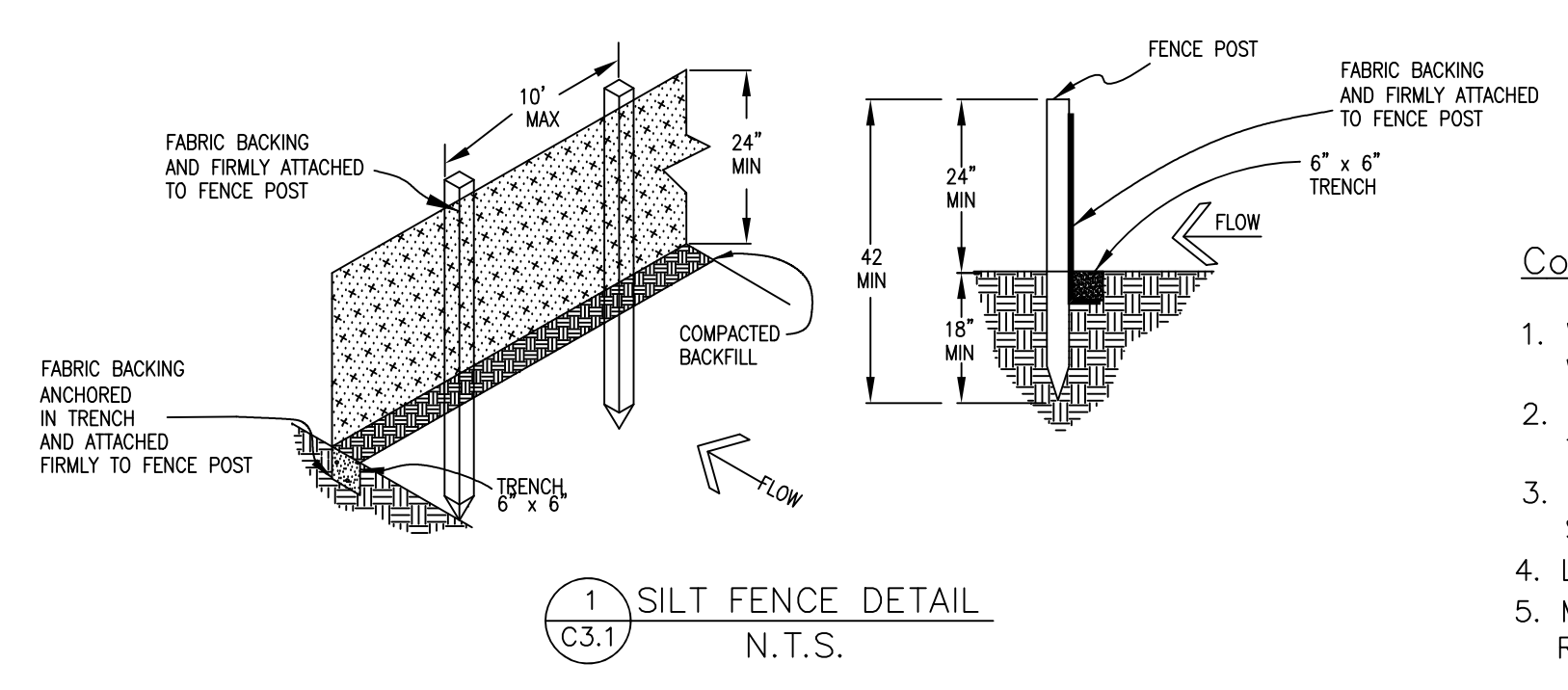
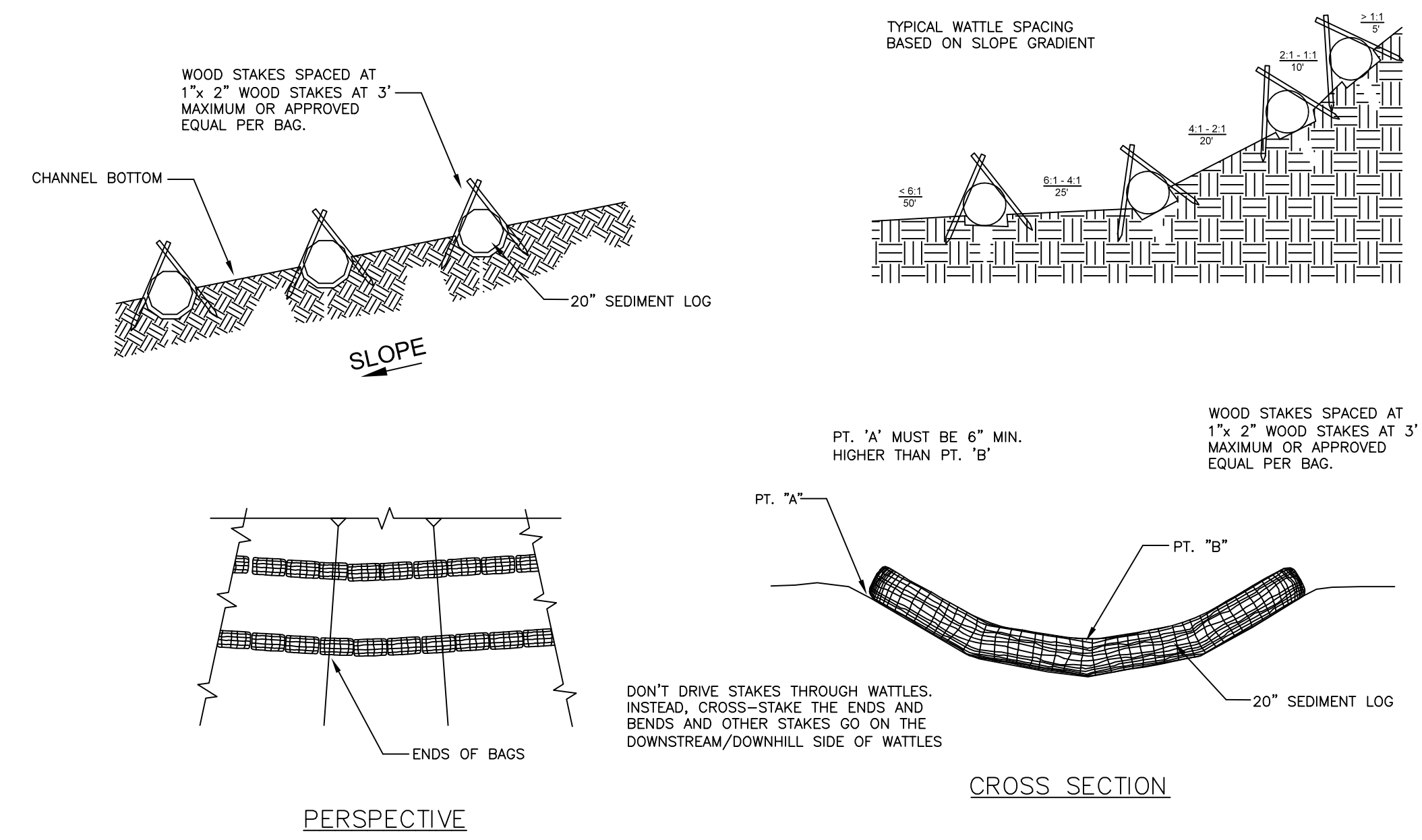
Project No.:	# 4400
Date:	09/09/2022
Scale:	N.T.S.
Designed By:	CLB
Reviewed By:	CLB

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 506 Jefferson Street, Clinton, MS 39056  
 Phone: (601) 925 - 5015

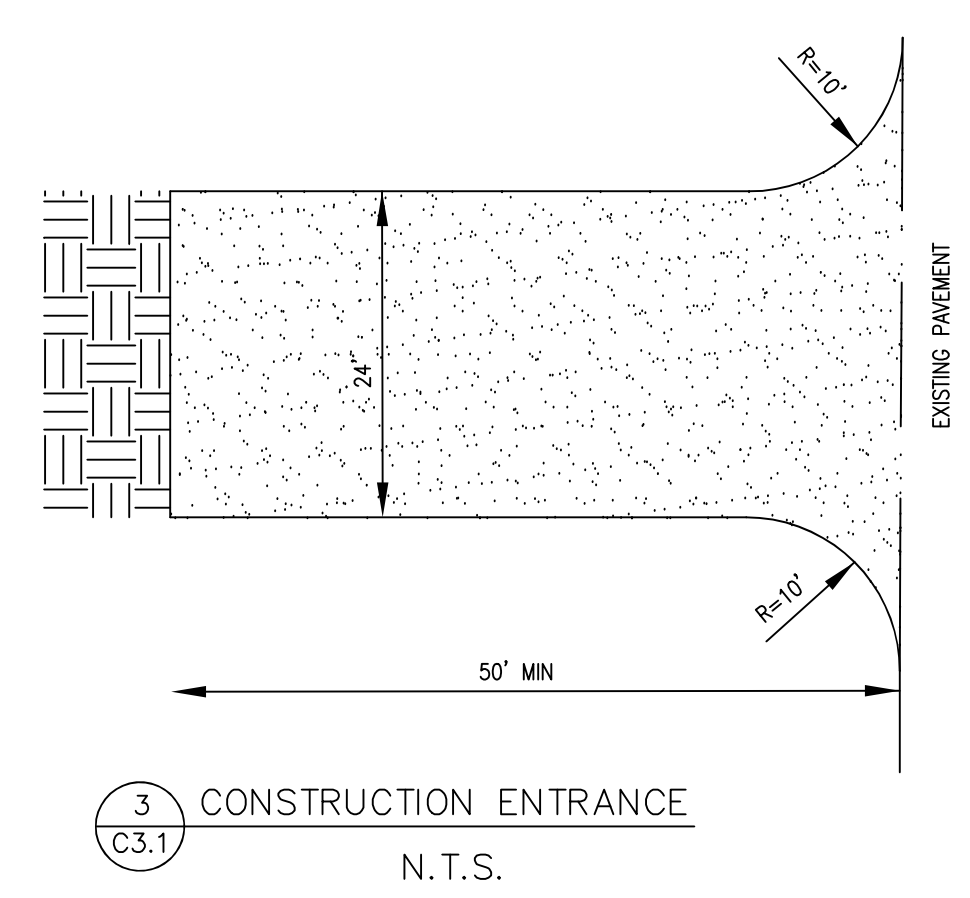
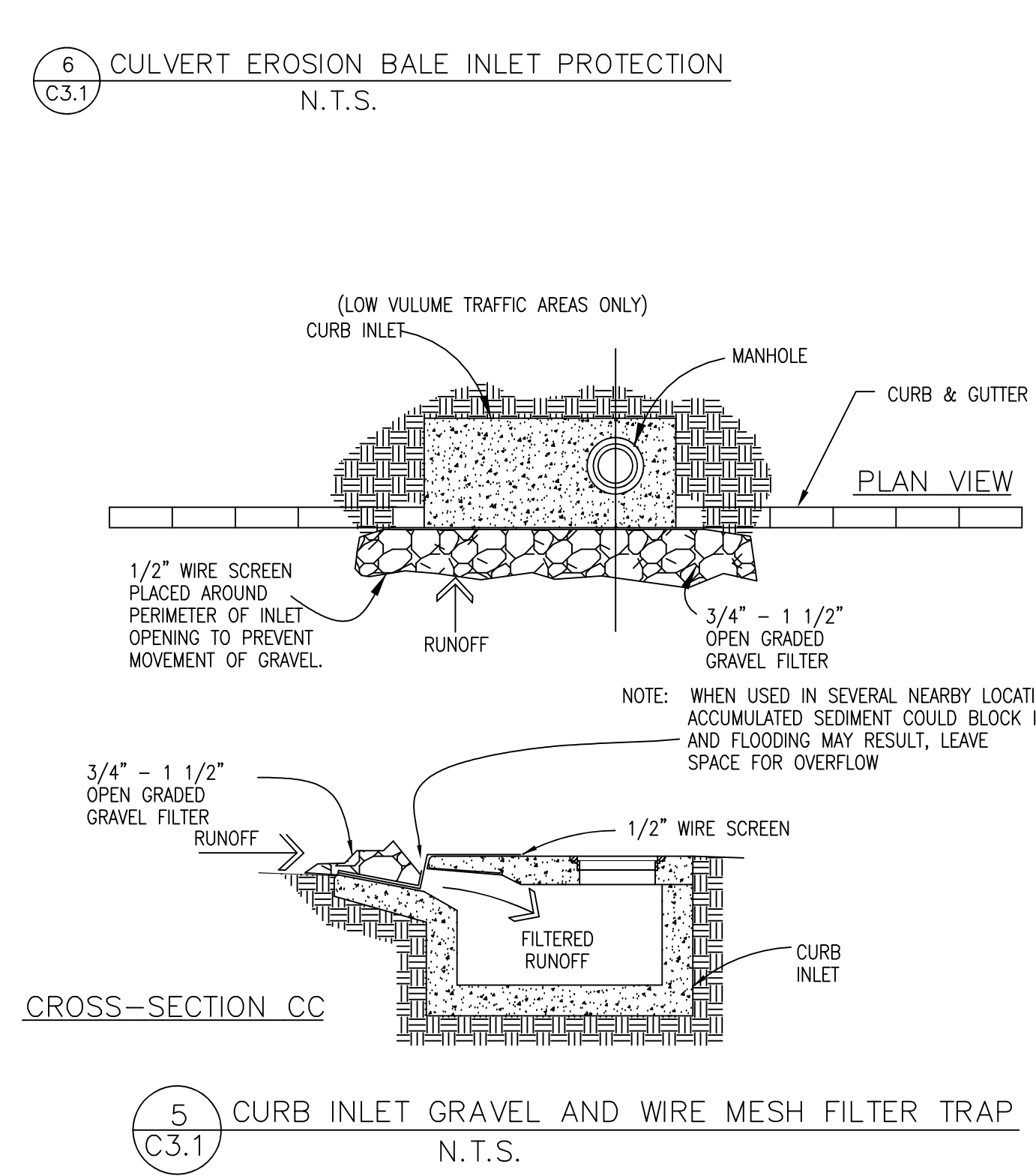
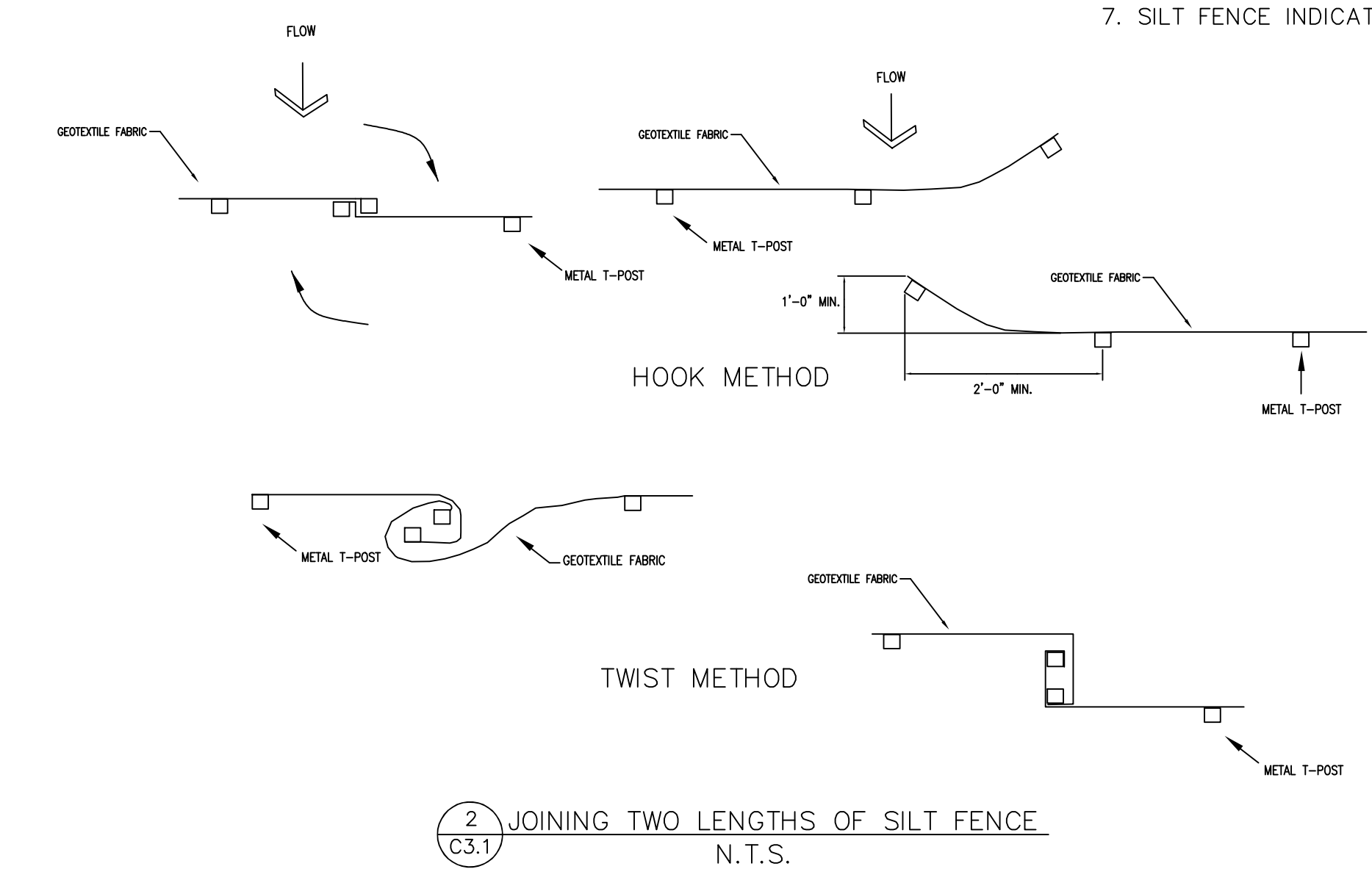
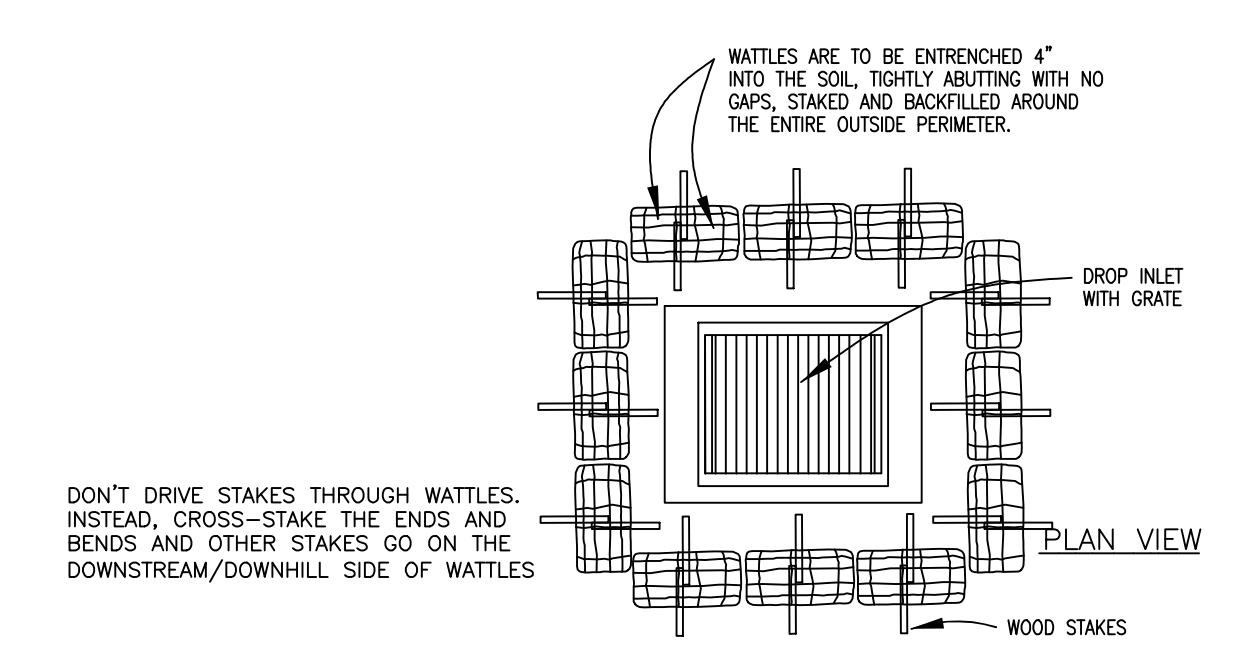
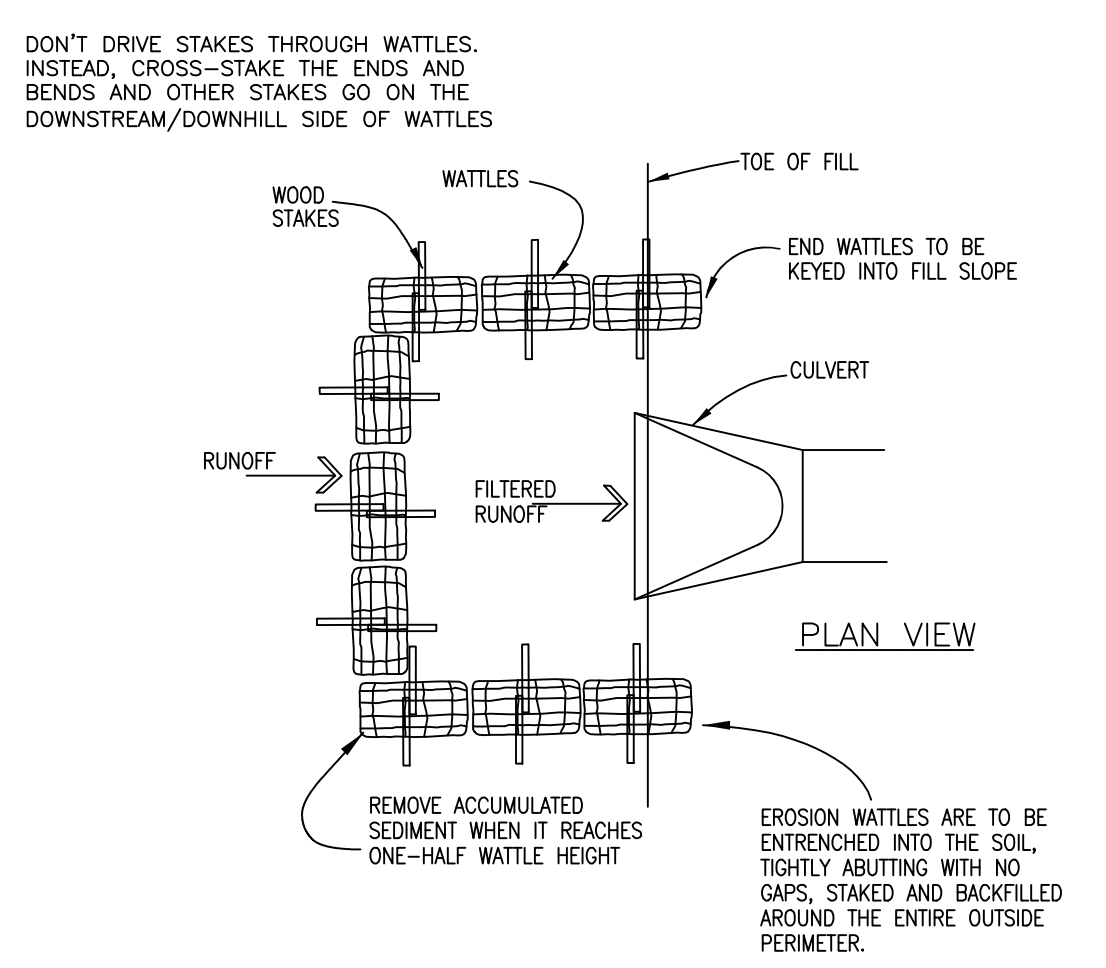
EROSION CONTROL DETAILS  
 Storage City  
 Gluckstadt, Mississippi

EROSION CONTROL DETAILS  
 Storage City  
 Gluckstadt, Mississippi

C 3.1



- Construction Notes for Silt Fence:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  - FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
  - LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN  
 POSTS: LOCATE MAXIMUM OF 6 FEET O.C.  
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING  
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL
- SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
  - SILT FENCE INDICATION ON THE PLANS AS - O - O - O -



- NOTES:**
- STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
  - THICKNESS - NOT LESS THAN 6".
  - FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - WIDTH - 30 FOOT MINIMUM
  - THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

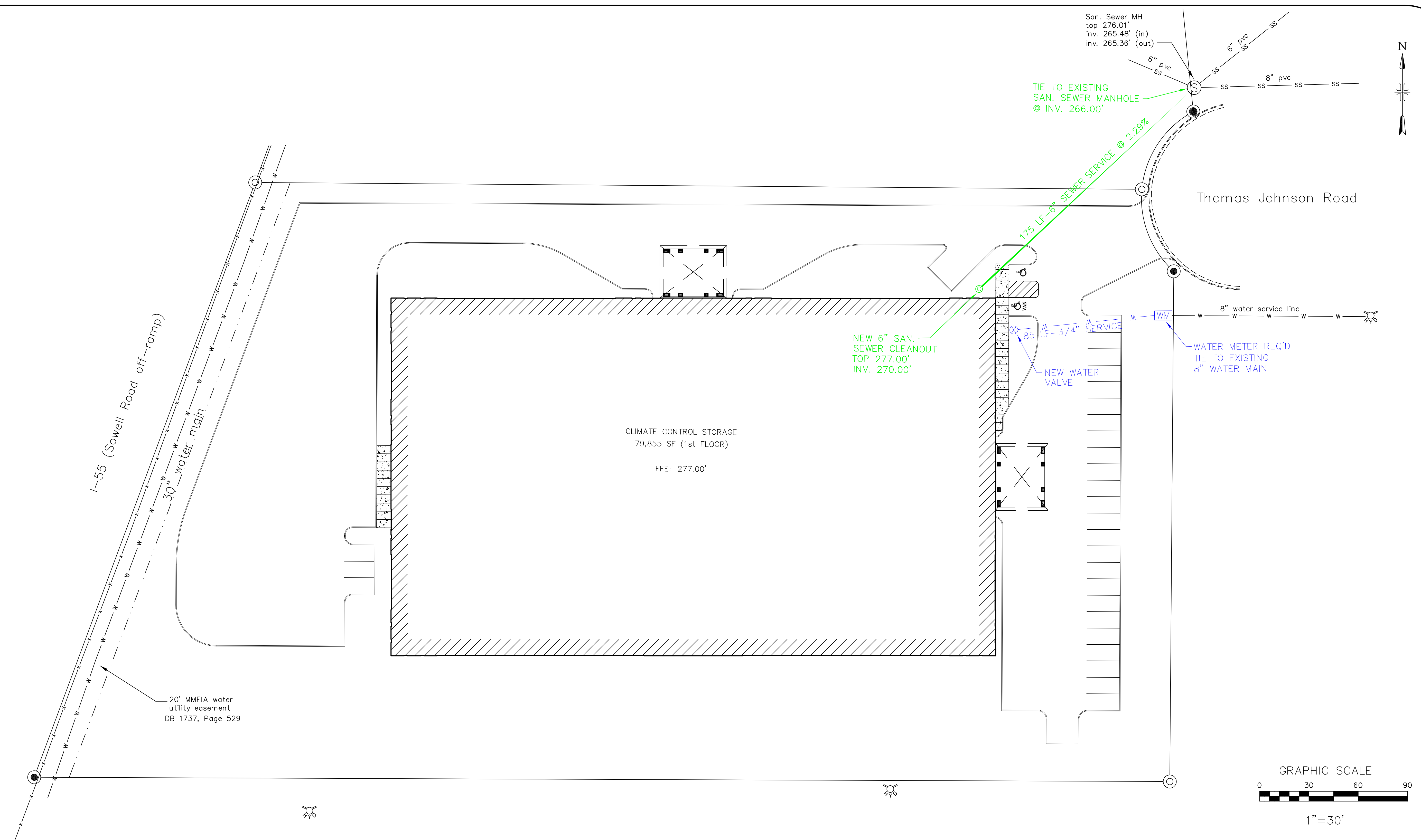
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 Date: 09/09/2022  
 Scale: 1" = 30'  
 Drawn By: CLB  
 Reviewed By: CLB

UTILITY PLAN  
 Storage City  
 Gluckstad, Mississippi

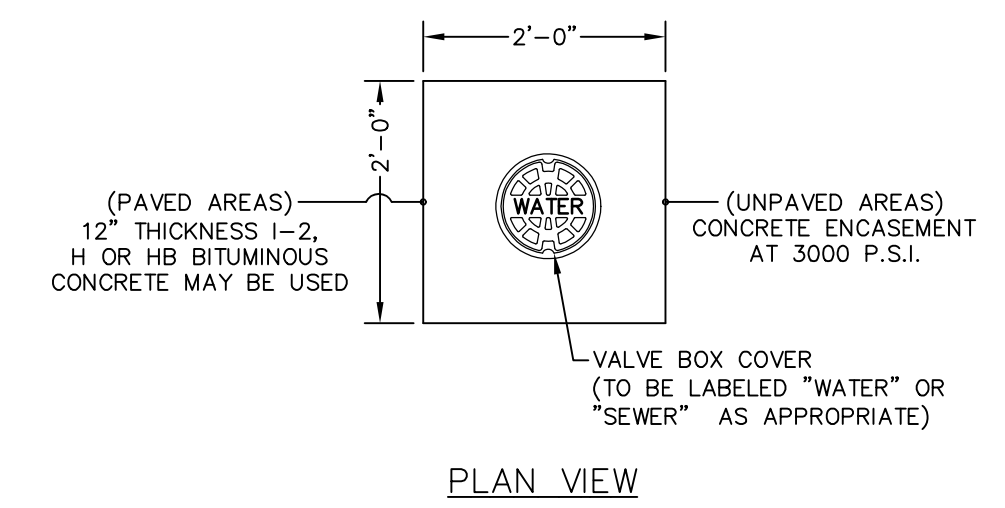
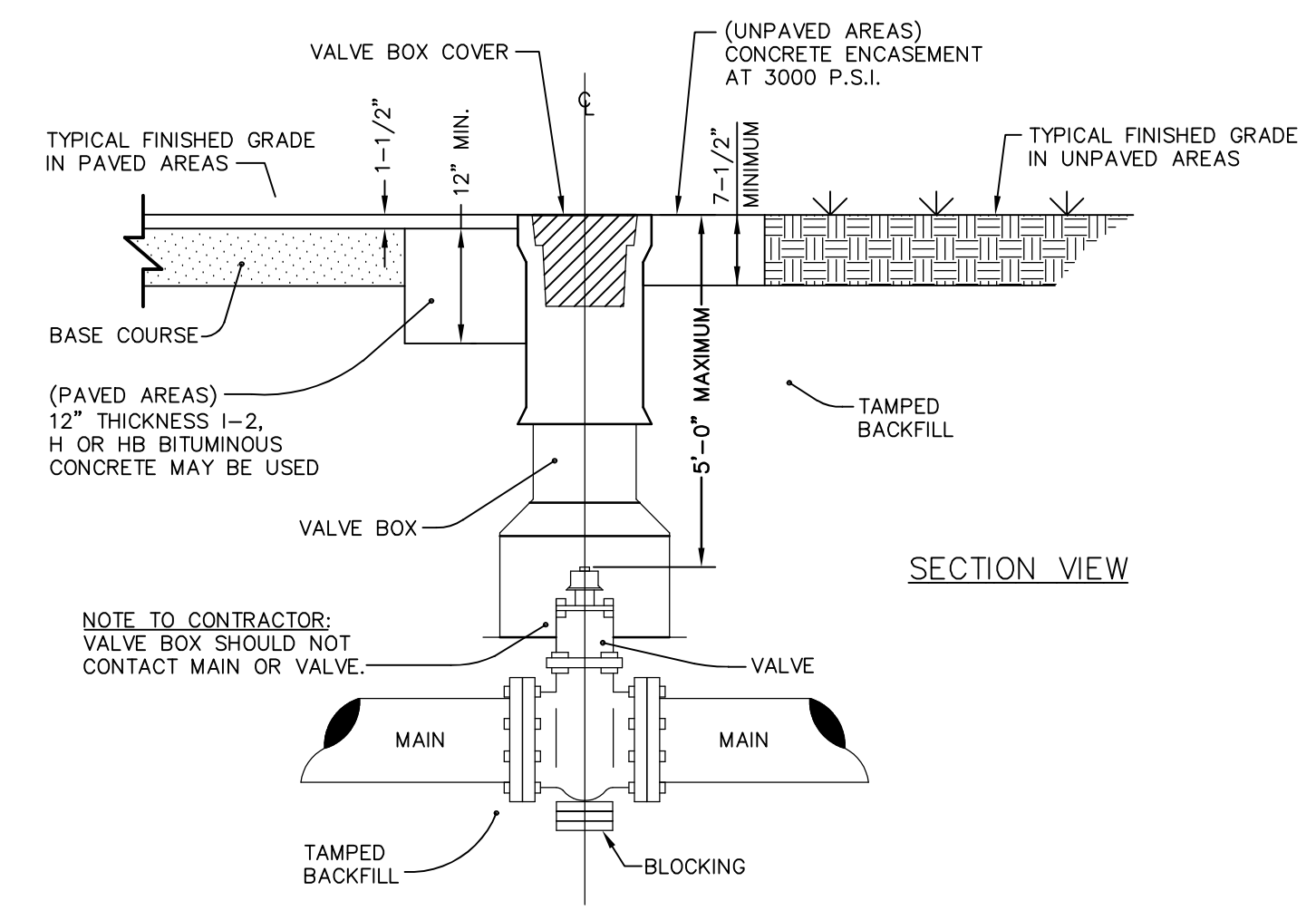
C 4.0



CLIMATE CONTROL STORAGE  
 79,855 SF (1st FLOOR)  
 FFE: 277.00'

**UTILITIES NOTES**

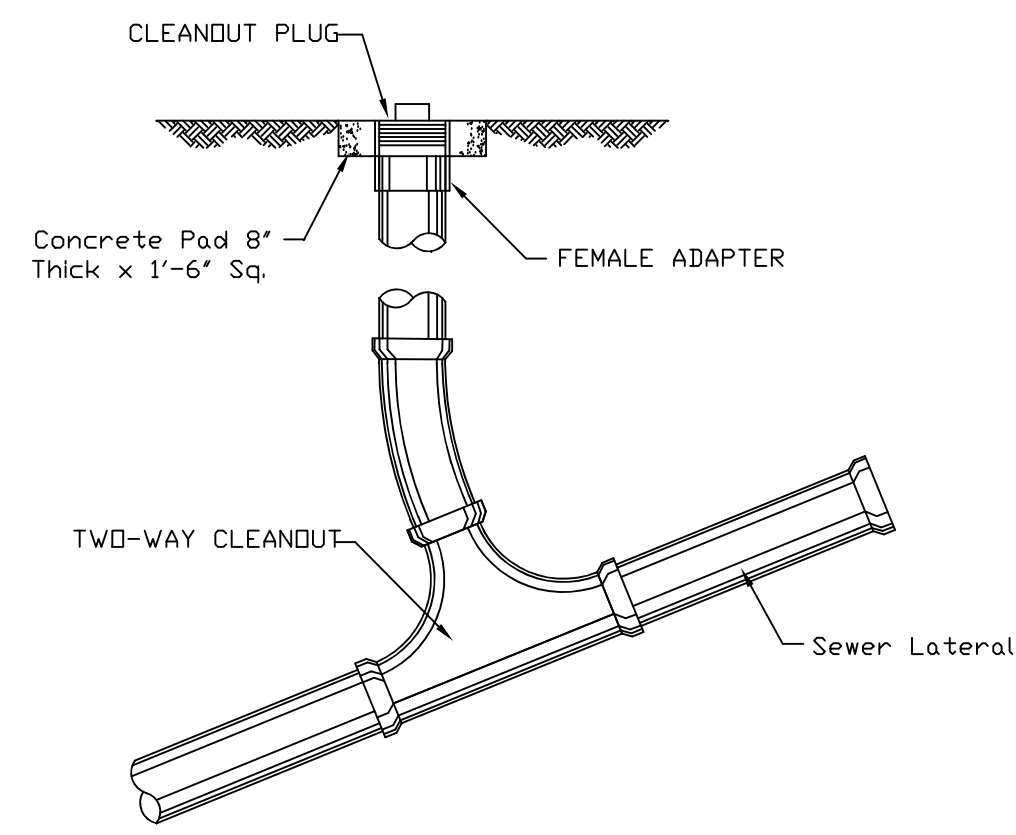
- GENERAL**  
 THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.  
 ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.  
 THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DSTRUCTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.  
 SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.  
 ELECTRIC SERVICE TO BE COORDINATED WITH ENTRY.  
 GAS SERVICE TO BE COORDINATED WITH ATMOS.
- SANITARY SEWER AND WATER CONNECTIONS**  
 CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.  
 SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.  
 SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.  
 SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.  
 ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD. C-902 CLASS 160.  
 SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.  
 ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.  
 WATER METERS ARE TO BE INSTALLED BY CITY OF TUPELO. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.  
 CONTRACTOR TO FOLLOW THE CITY OF CLINTON UTILITY CONNECTION INSPECTION GUIDE



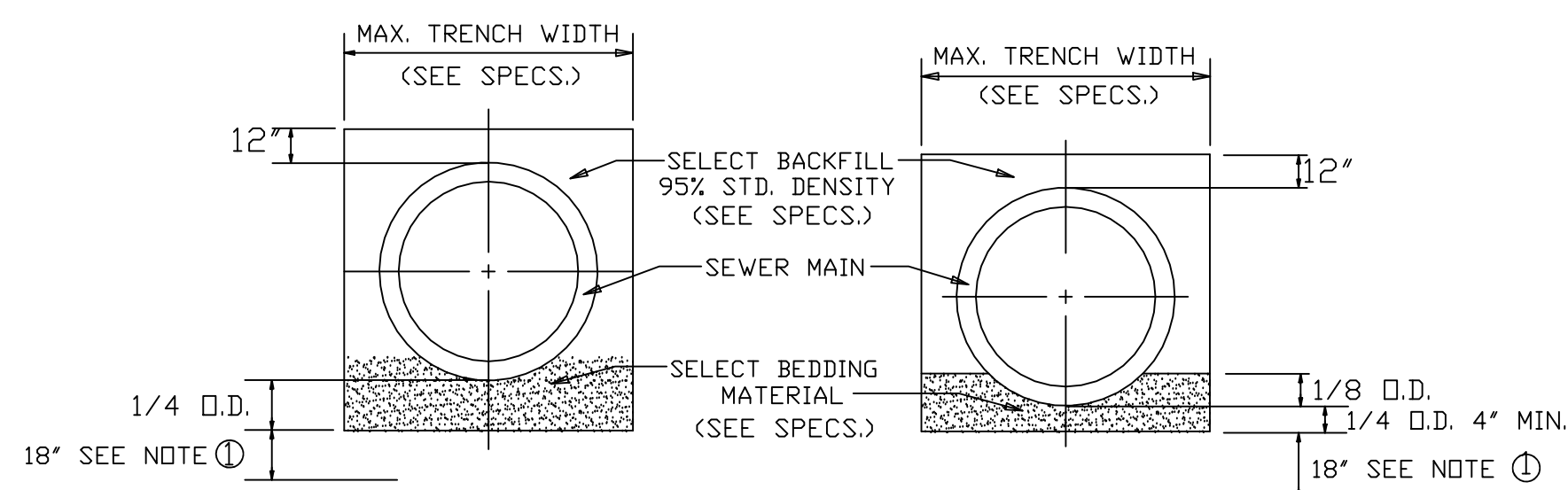
- NOTES:**
- ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
  - VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5" (ft.) FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
  - PRECAST CONCRETE ENCASEMENT IS ALLOWED OUTSIDE OF PAVED AREAS.

**VALVE BOX DETAIL**



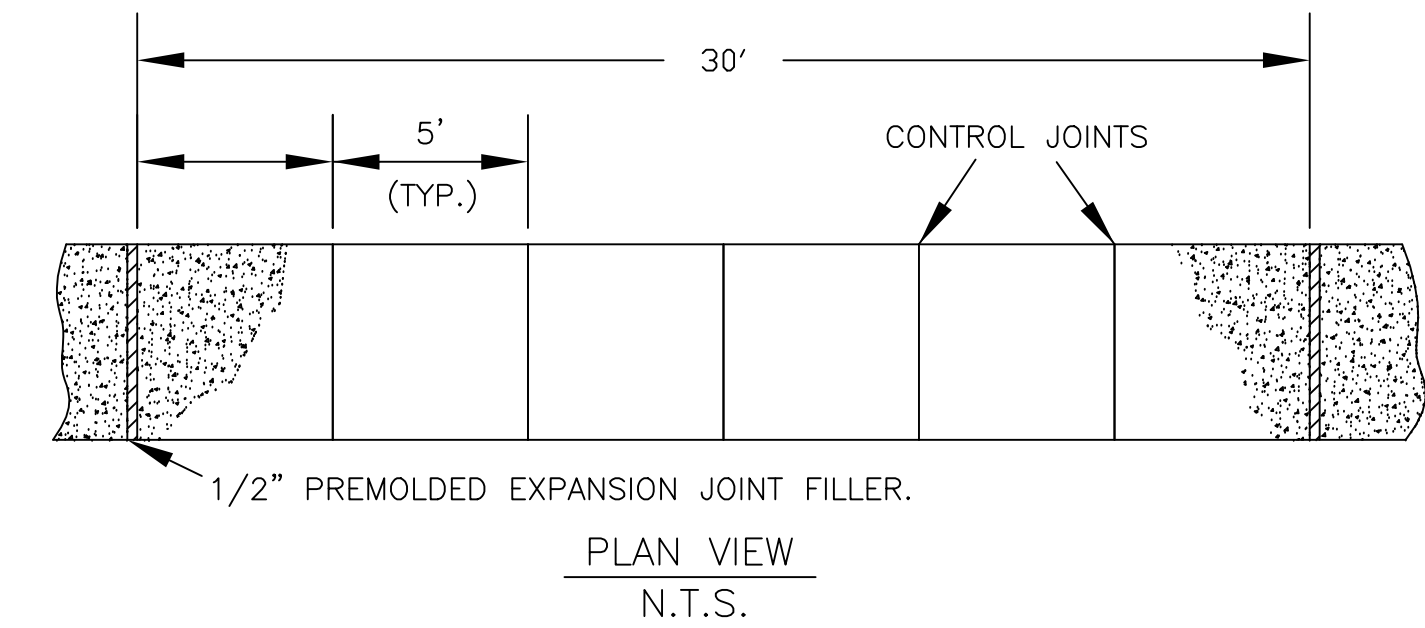


1  
5.0 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL  
N.T.S.

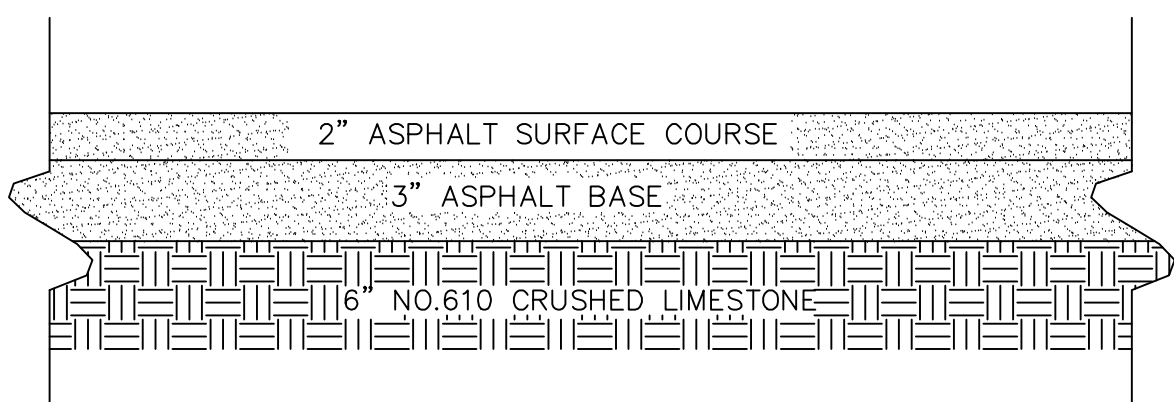


TYPICAL SECTION CLASS "B" BEDDING TYPICAL SECTION CLASS "C" BEDDING

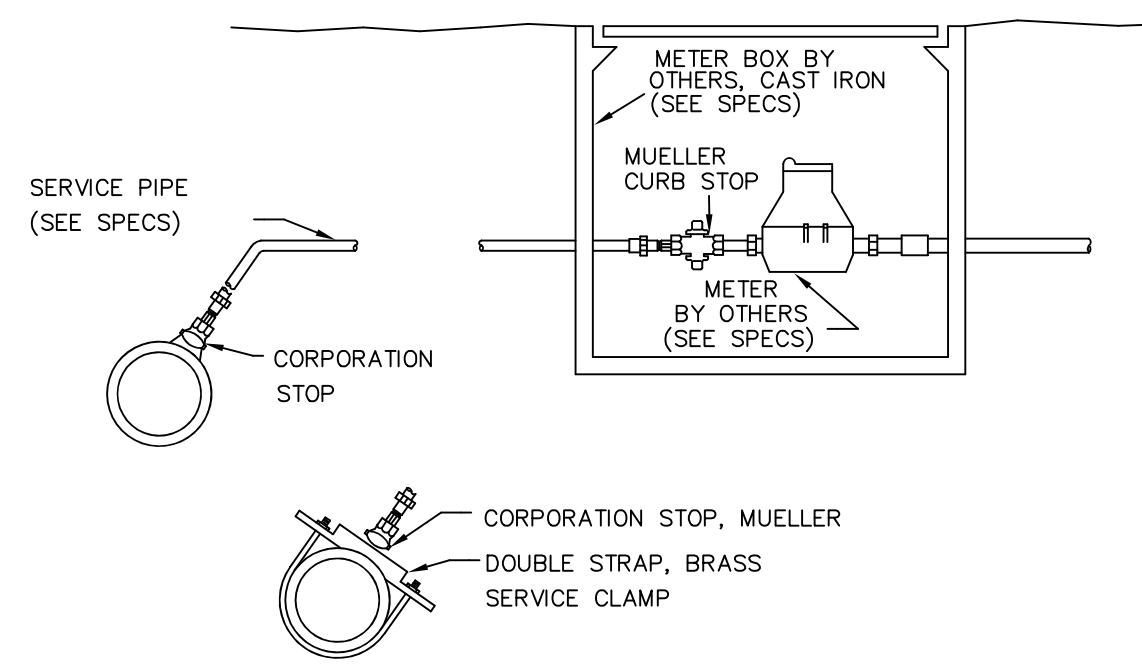
- ① DEWATERING REQ'D TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- ② WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



PLAN VIEW  
N.T.S.

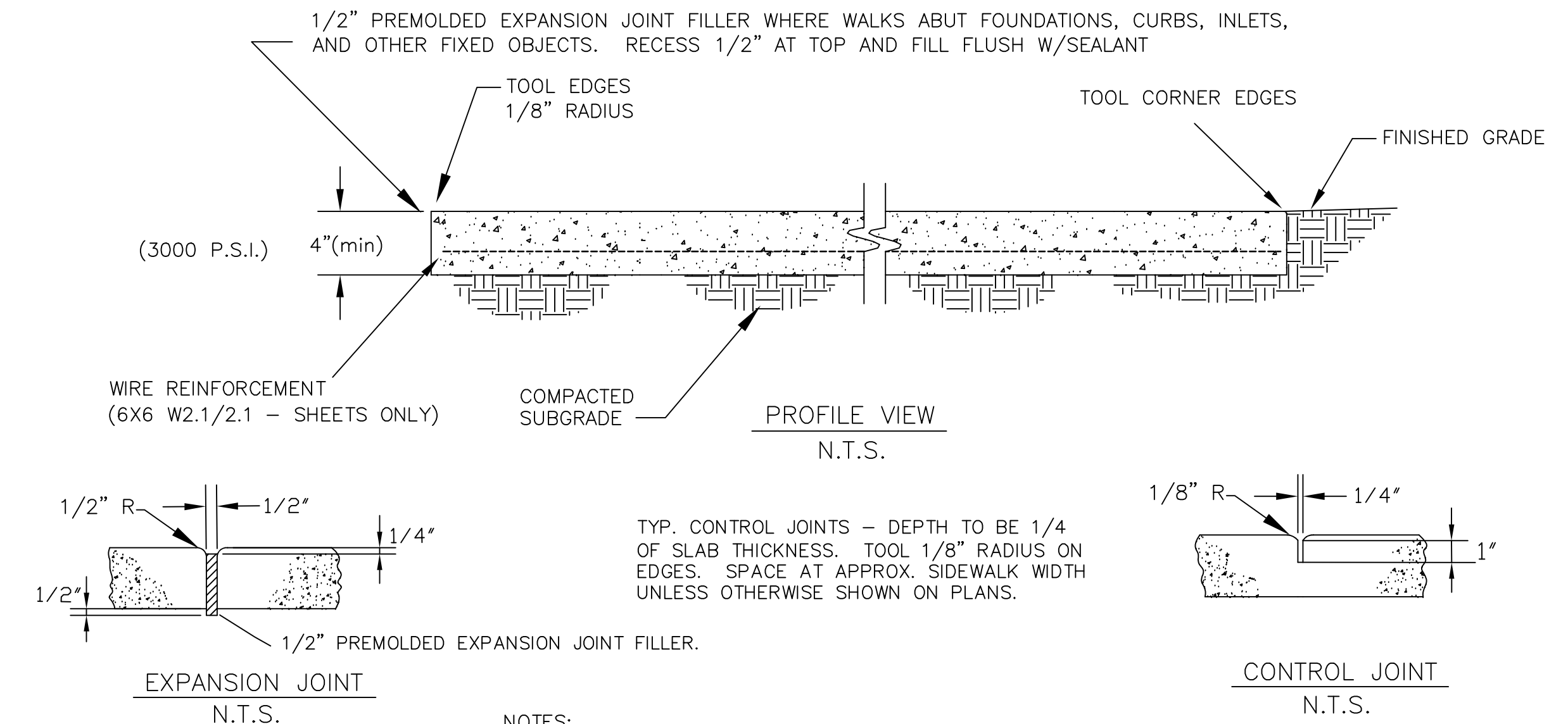


9  
C5.0 ASPHALT PAVEMENT DETAIL  
N.T.S.



2  
5.0 TYPICAL SERVICE ASSEMBLY

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY

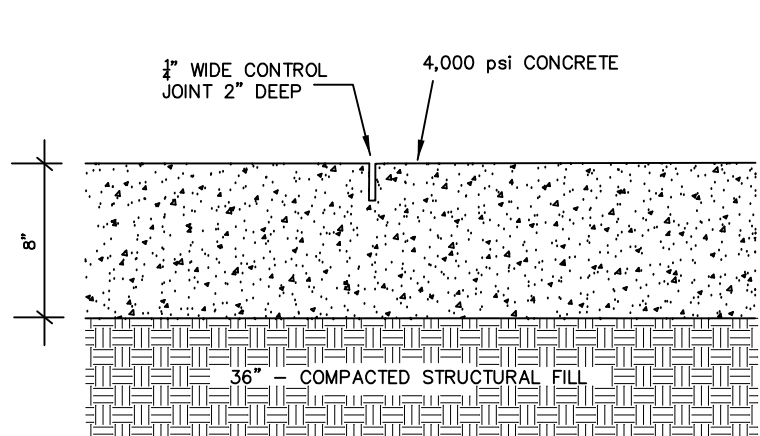


PROFILE VIEW  
N.T.S.

EXPANSION JOINT  
N.T.S.

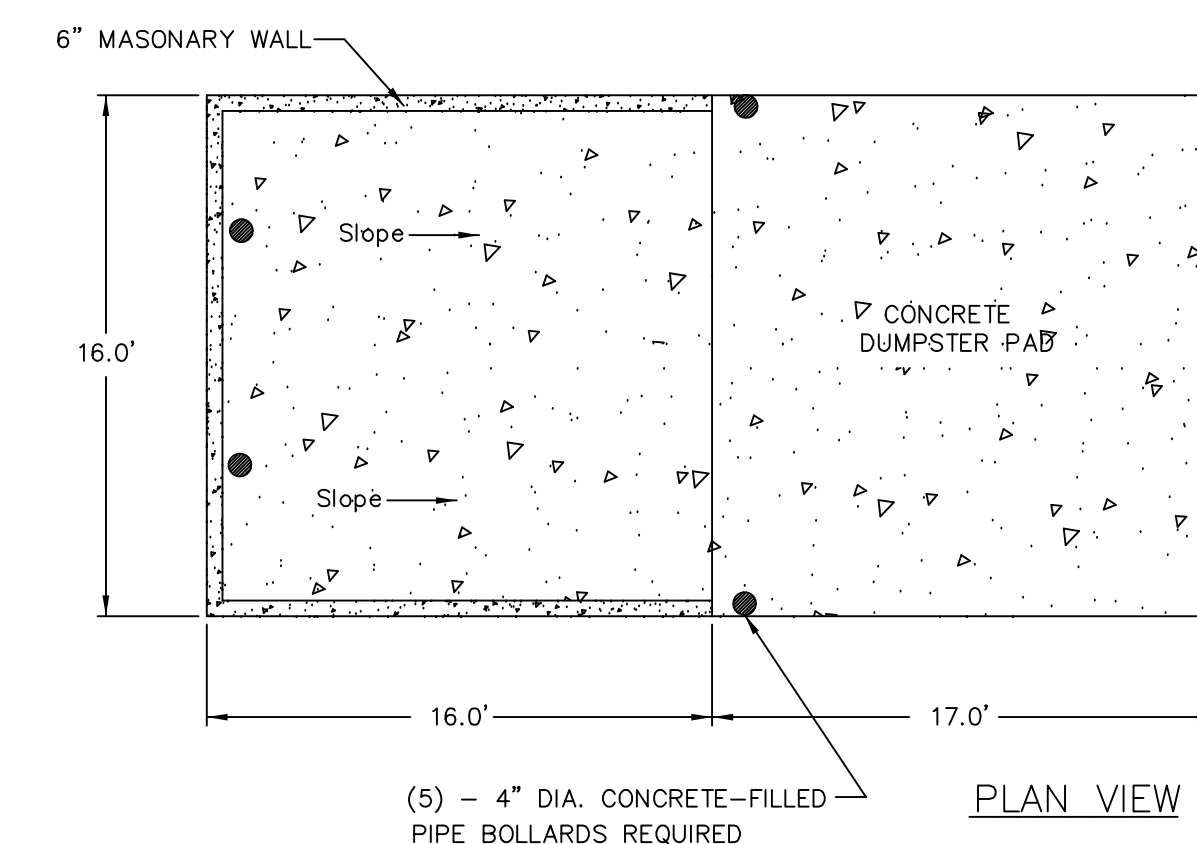
CONTROL JOINT  
N.T.S.

- NOTES:
- 1) CONCRETE SHALL BE 3,000 psi MINIMUM
  - 2) 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
  - 3) PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
  - 4) HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.



- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AS DESCRIBED IN THE GEOTECHNICAL REPORT BY BURNS COOLEY DENNIS, INC.
  2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  3. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
  4. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
  5. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

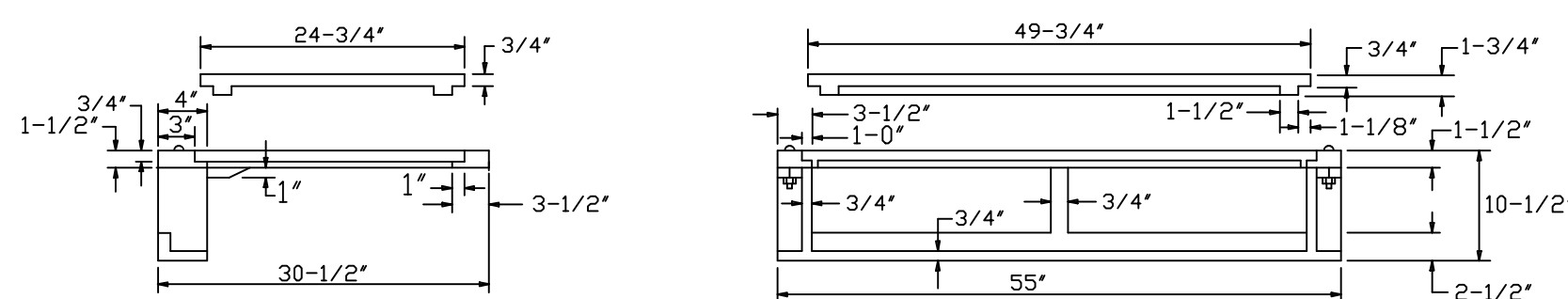
8  
C5.0 HEAVY DUTY CONCRETE (DUMPSTER AREA)  
N.T.S.



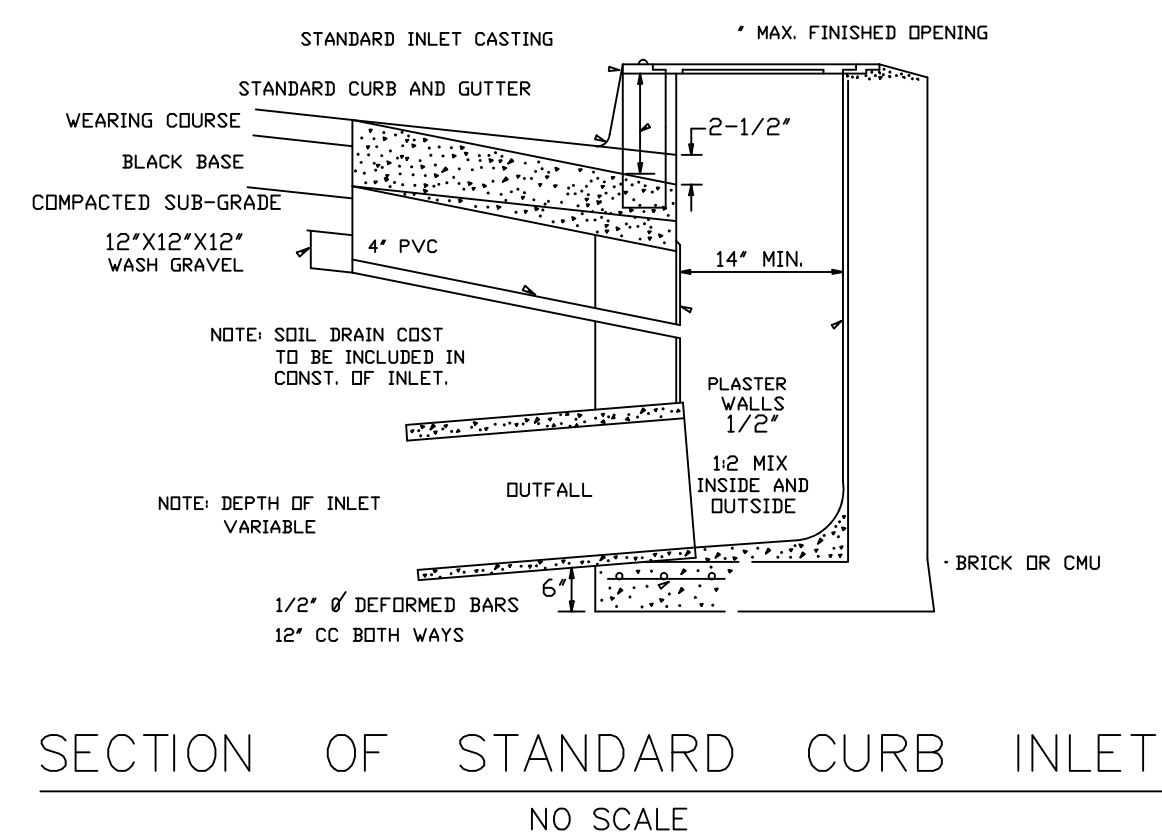
6  
C5.0 DUMPSTER DETAIL  
N.T.S.

- NOTES
1. 6 FOOT TALL CYCLONE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
  2. 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
  3. DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.

3  
5.0 CONCRETE SIDEWALK SECTION DETAILS  
N.T.S.



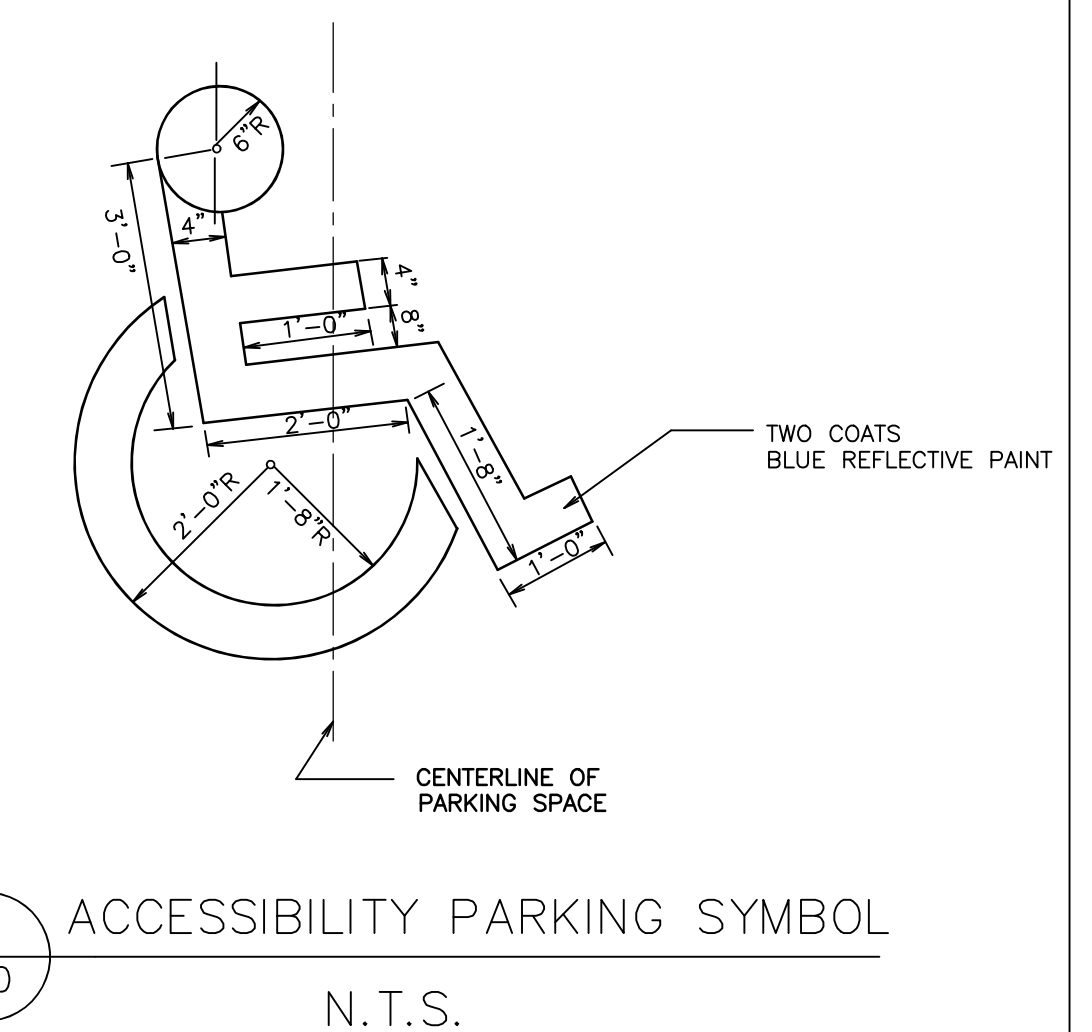
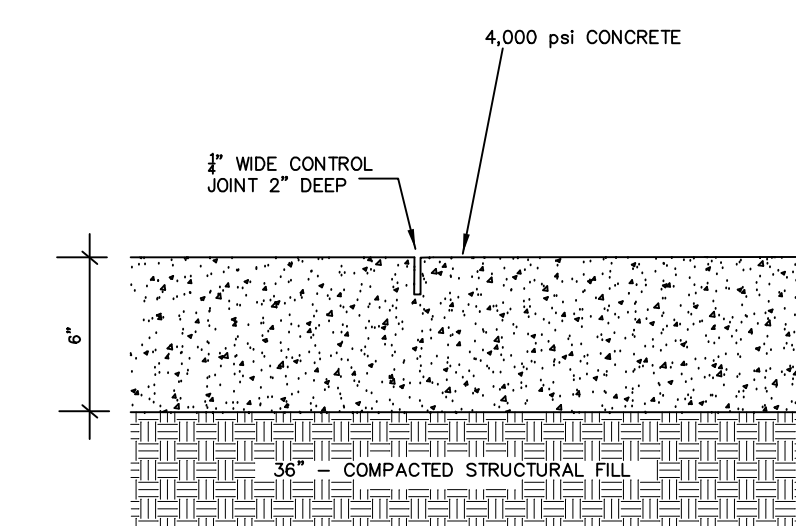
STANDARD CURB INLET CASTING  
(VULCAN RCB-7)  
NO SCALE



SECTION OF STANDARD CURB INLET  
NO SCALE

- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
  2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
  3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
  4. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
  5. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
  6. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

5  
5.0 MEDIUM DUTY CONCRETE PAVEMENT DETAIL  
N.T.S.



4  
5.0 ACCESSIBILITY PARKING SYMBOL  
N.T.S.

- NOTES
1. ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
  2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
  3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.
  4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

7  
5.0 CURB INLET DETAIL  
N.T.S.

Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, INC.  
506 Jefferson Street  
Clinton, MS 39056  
Phone: (601) 923-5015

Project No.: # 4400  
Date: 09/09/2022  
Scale: N.T.S.  
Designed By: CLB  
Reviewed By: CLB

SITE DETAILS  
Storage City  
Gluckstadt, Mississippi



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

---

**TO:** Planning & Zoning Commission

**FROM:** William Hall, P&Z Administrator/Building Official

**DATE:** 01/08/2024

**SUBJECT:** Candlewood Suites Variance Status

---

Candlewood Suites originally came before the board on November 28, 2023 for Consideration and Discussion of Variances for their site plan. The application was continued at the meeting for the January 23<sup>rd</sup>, 2024 meeting. Their site plan is still pending design changes to allow for fire code approval. They have asked for the site plan to be continued till the February 27, 2024 meeting. I recommend the extension of the continuation so they may complete the required modifications to their site plan.

207 Dees Place  
**REQUEST FOR DIMENSIONAL VARIANCE**  
**APPLICATION**

Subject Property Address: Lot 12 Parcel # 082H-28-002/14.00  
Owner: BDP Group LLC Applicant: Candlewood Suites  
Address: 321 Pinehurst Cir Address: Dees Dr.  
Ridgeland MS 39157  
Phone No. (601) 672-1110 Phone No. \_\_\_\_\_  
Current Zoning District: C-2

**Requirements of Applicant:**

1. Letter stating reason for requested dimensional variance.
2. Copy of the written legal description.
3. Site plan, building elevations and floor plan drawings on 8.5" x 11".
4. Four complete sets of working plans.
5. Proposed signage to include color and size.
6. \$250.00 fee required for processing.

**Requirements for Granting Variances:** (Section 3004.01 – Zoning Ordinance)

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.
- (b). Applicant shall demonstrate that literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures or buildings in the same district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor/Board of Aldermen meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

**Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

✓ [Signature]  
Applicant Signature

✓ 10/16/23  
Date

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Date



**OWNER :**  
BDP GROUP, LLC

**FRANCHISE REF :**  
*Location #:* L20930  
*Project #:*  
*InnCode:*  
Version 4.0  
Scheme : Rust

**COVER**  
SCALE : N.T.S.

ALL DRAWINGS, SPECIFICATIONS AND DESIGNS PRESENTED ON THIS SHEET ARE THE PROPERTY OF RANDALL HARRIS & ASSOCIATES, ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RANDALL HARRIS & ASSOCIATES, ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

DRAWN:  
CHECKED:  
DATE : SEP 2020



# CANDLEWOOD SUITES

DEES PLAZA AT INTERSTATE 55,  
GLUCKSTADT, MS

ISSUE
05-07-2021 L.F.P.

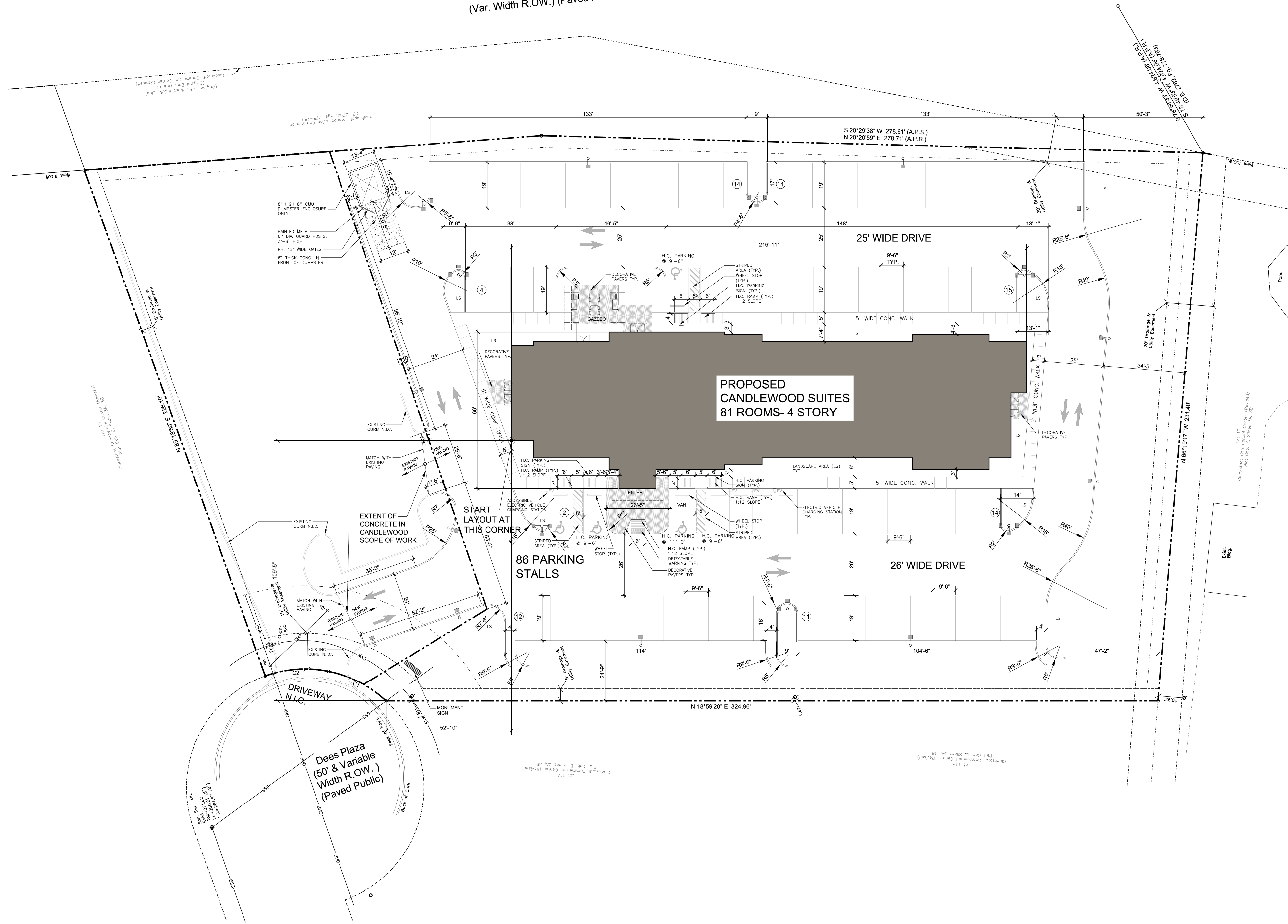


**rha**architect  
Architect + Master Planner  
16043 Barbarossa Drive  
Houston, Texas 77083 e-mail: [RHAarchitect@aol.com](mailto:RHAarchitect@aol.com)  
tel 281 946-6700 fax 281 946-7700  
tel 601 277-4070  
texas ~ louisiana ~ georgia ~ mississippi  
oklahoma ~ arkansas ~ florida  
Randall Harris & Associates, Architect

REVISIONS
△ 02-19-2020 ISSUED FOR FINAL FRANCHISE REVIEW
△ 03-13-2020 FOR MEETING WITH CITY

JOB NO.  
19-09-016  
SHEET NO.  
**A0**

Interstate No. 55  
(Var. Width R.O.W.) (Paved Public)



**PROJECT LOCATION**

**VICINITY MAP**  
SCALE: N.T.S.

**SURVEY WAS PROVIDED BY**

**BENCHMARK ENGINEERING & SURVEYING, LLC**  
181 Highpointe Court, Suite B, Brandon, Mississippi 39042  
Office: 601-829-1017 Fax: 601-891-0211  
E-mail: info@benchmarkms.com

**LEGAL DESCRIPTION**  
LOT 12, GLUCKSTADT COMMERCIAL TERN (REVISED) SITUATED IN THE NW 1/4 OF SECTION 28, T8N, R2E, MADISON COUNTY, MISSISSIPPI

**PARKING SCHEDULE**

GUESTROOMS	76
H.C. GUESTROOMS	5
<b>PARKING REQUIRED</b>	<b>81</b>
<b>PARKING PROVIDED</b>	
CARS 9'-6" X 19'	82
H.C. CAR 9'-6" X 19'	3
H.C. VAN 11' X 19'	1
	<b>86</b>

**AREA SCHEDULE**

FIRST FLOOR AREA (APPROX.)	11,276 SQ. FT.
SECOND FLOOR AREA (APPROX.)	11,153 SQ. FT.
THIRD FLOOR AREA (APPROX.)	11,153 SQ. FT.
FOURTH FLOOR AREA (APPROX.)	11,153 SQ. FT.
<b>TOTAL FLOOR AREA (APPROX.)</b>	<b>44,735 SQ. FT.</b>

**GENERAL NOTE:**

- FIRE SPRINKLER SYSTEM CONTRACTOR SHALL DESIGN AND INSTALL FIRE SPRINKLER SYSTEM AND SHALL OBTAIN SEPERATE PERMIT.
- IRRIGATION SPRINKLER SYSTEM CONTRACTOR SHALL DESIGN IRRIGATION SPRINKLER SYSTEM AND SHALL PROVIDE SEPERATE METER AND CONNECTION FROM WATER MAIN.
- EXISTING OBSTRUCTIONS TO THE PROPOSED DRIVEWAYS/SIDEWALKS (SIGNS, POLES, HYDRANTS, ETC.) SHALL BE REMOVED/RELOCATED.

**GENERAL SHEET REFERENCE NOTES:**

- SEE CIVIL FOR DRAINAGE PLAN
- SEE CIVIL FOR SITE UTILITY PLAN
- SEE ELECTRICAL FOR ELECTRICAL SITE PLAN
- LANDSCAPE PLANS BY OTHERS
- SEE SHT. X1 FOR PAVING AND SITE DETAILS
- COORDINATE THIS SHEET WITH CIVIL DIMENSIONAL SITE PLAN.

**NOTE**  
BUILDING IS FULLY SPRINKLER WITH NFPA 13R

ALL DIMENSIONS, SPECIFICATIONS AND NOTES ARE TO BE SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPECIFICATIONS ON THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND WASTE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS AND AS-BUILT DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

**DRAWN:**  
**CHECKED:**  
**DATE:** SEP 2020

**CANDLEWOOD SUITES**  
AN IHG® HOTEL

# CANDLEWOOD SUITES

DEES PLAZA AT INTERSTATE 55,  
GLUCKSTADT, MS

**ISSUE**  
05-07-2021 LF.P.

**rhaarchitect**  
Architect & Master Planner  
16043 Barbarossa Drive  
Houston, Texas 77083 e-mail: RHAarchitect@aol.com  
tel: 281-946-6700 fax: 281-946-7700  
texas ~ louisiana ~ georgia ~ mississippi  
oklahoma ~ arkansas ~ florida

**Randall Harris & Associates, Architect**

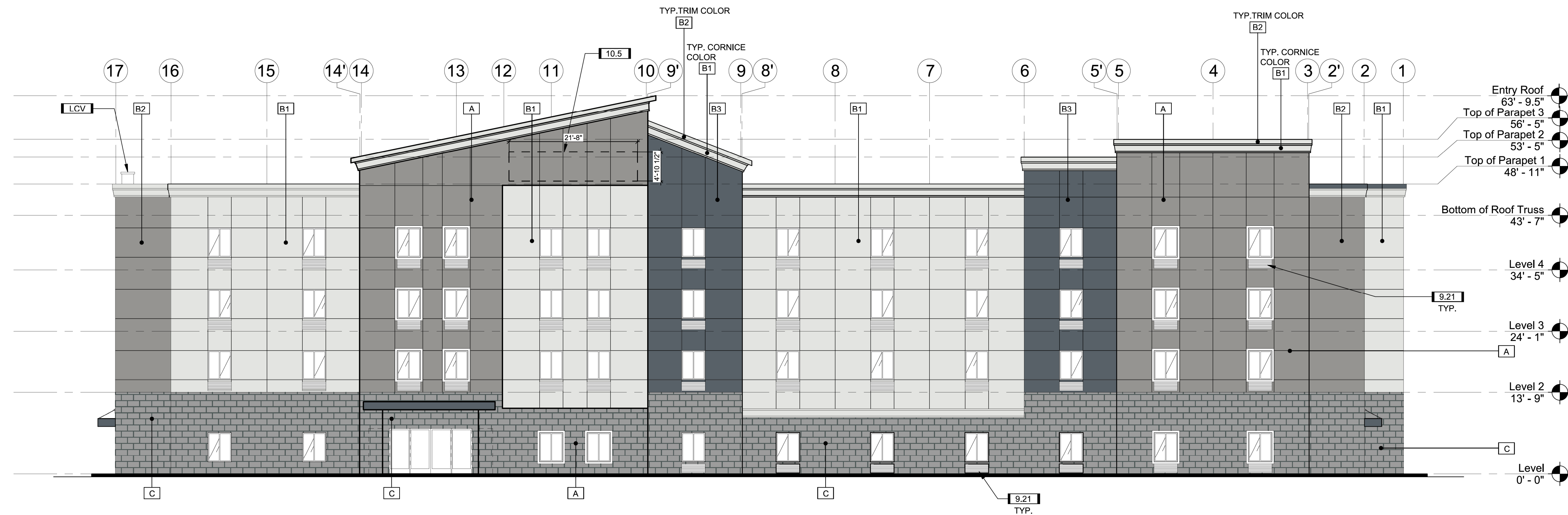
**R E V I S I O N S**

02-19-2020	ISSUED FOR FINAL FRANCHISE REVIEW
03-13-2020	FOR MEETING WITH CITY

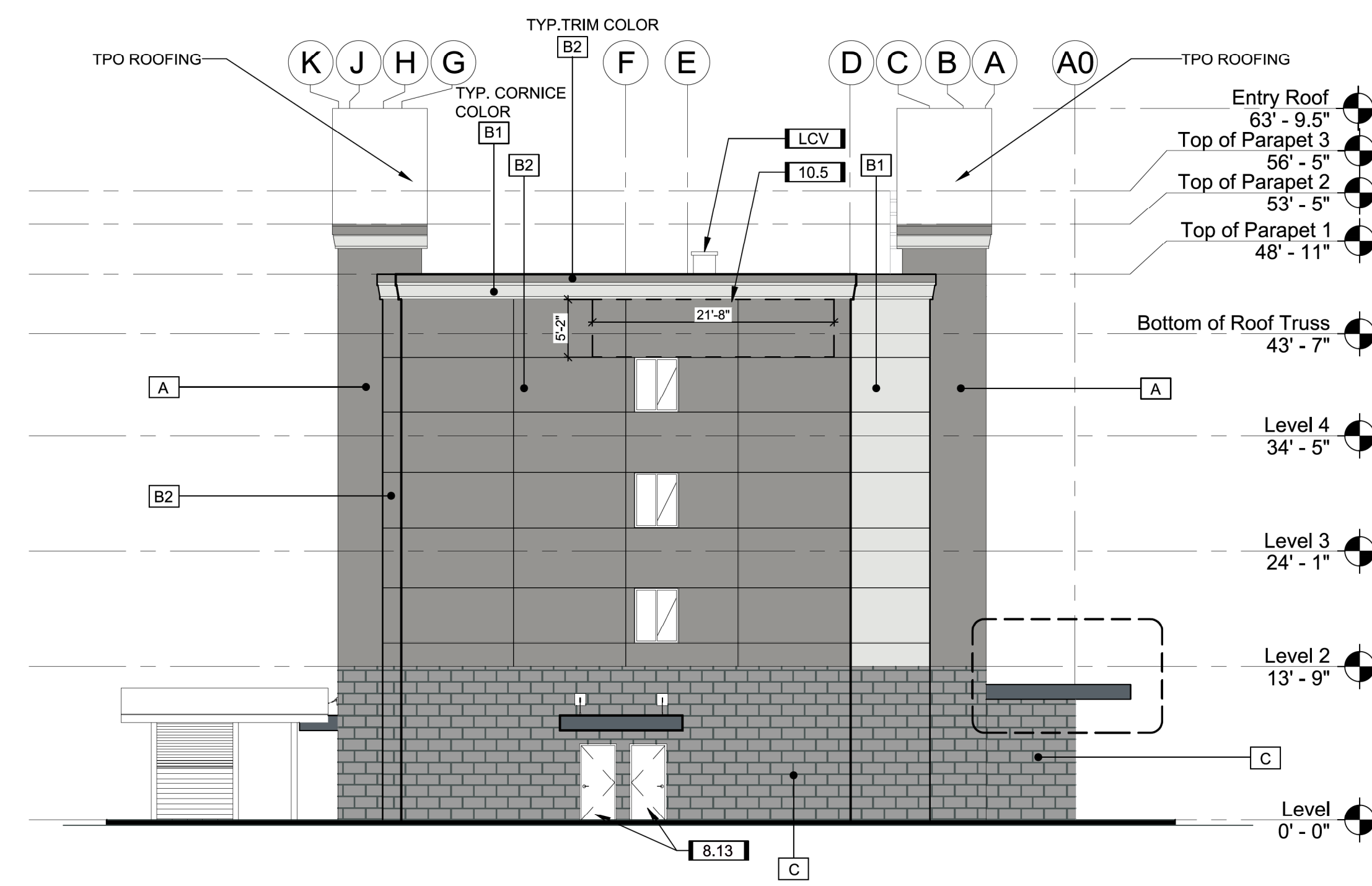
**JOB NO.**  
19-09-016

**SHEET NO.**  
SP1

**SITE PLAN**  
SCALE: 1" = 20'



**1** EXTERIOR ELEVATION - FRONT  
SCALE: 3/32" = 1'-0"



**2** EXTERIOR ELEVATION - LEFT  
SCALE: 3/32" = 1'-0"

**GENERAL NOTES**

- REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHT REQUIREMENTS
- BASIS OF STRUCTURAL DESIGN IS WOOD FRAME.
- WAYFINDING SIGNAGE BY OWNER. REFER TO SIGNAGE PACKAGE.
- COORDINATE EXTERIOR BUILDING SIGNAGE WITH THE BUILDING COLOR PER FRANCHISE REQUIREMENTS.
- EXTERIOR SIGNAGE APPROVAL PROCESS: ALL EXTERIOR BUILDING AND SITE SIGNAGE LOCATIONS AND CONFIGURATIONS MUST BE SUBMITTED TO IHG FOR RECOMMENDATION AND APPROVAL. RECOMMENDATIONS WILL INCLUDE SIGNS THAT ARE PROPERLY CONFIGURED AND SIZED FOR PLACEMENT ON THE BUILDING FACADES WITHOUT CROWDING ADJACENT ARCHITECTURAL FEATURES. CLICK ON EXTERIOR SIGNAGE MANUAL FOR SIGNAGE OPTIONS, STANDARD SIZES AND APPROVED VENDORS. FOR EXTERIOR SIGNAGE QUESTIONS: CONTACT SCOTT ROSS AT SCOTT.ROSS@IHG.COM OR 770-604-5917.

**KEYNOTES**

- 8.13 PAINT DOOR AND FRAME TO MATCH ADJACENT FINISH
- 9.21 PAINT PTAC GRILLE TO MATCH ADJACENT FINISH.
- 10.5 FOR SIGNAGE, REFER TO SIGNAGE PACKAGE. BUILDING SIGN & PERMIT BY SIGN VENDOR/ CONTRACTOR  
PROVIDE BACKING BY G.C., COORDINATE WITH SIGN VENDOR/ CONTRACTOR
- 23.4 EXHAUST VENT, COLOR TO MATCH ADJACENT MATERIAL

**LEGEND - EXTERIOR MATERIALS**

- A** STUCCO COLOR - ACCENT  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7669 SUMMIT GRAY
- B1** STUCCO COLOR 1 - MAIN MASS  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 6252 ICE CUBE
- B2** STUCCO COLOR 2 - ACCENTS  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7669 SUMMIT GRAY
- B3** STUCCO COLOR 3 - ACCENTS  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 6251 OUTERSPACE
- C** DRY STACK STONE (ELDORADO STONE: ZENITH GREY SIERRA)
- LCV** LINEN CHUTE VENT

**EXTERIOR ELEVATIONS**  
SCALE: 3/32" = 1'-0"

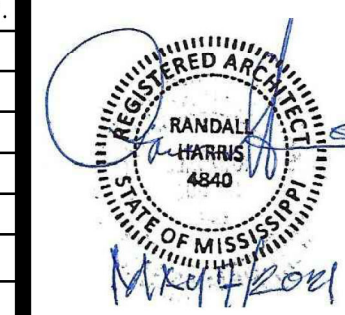
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DRAWN:  
CHECKED:  
DATE: SEP 2020



**CANDLEWOOD SUITES**  
DEES PLAZA AT INTERSTATE 55,  
GLUCKSTADT, MS

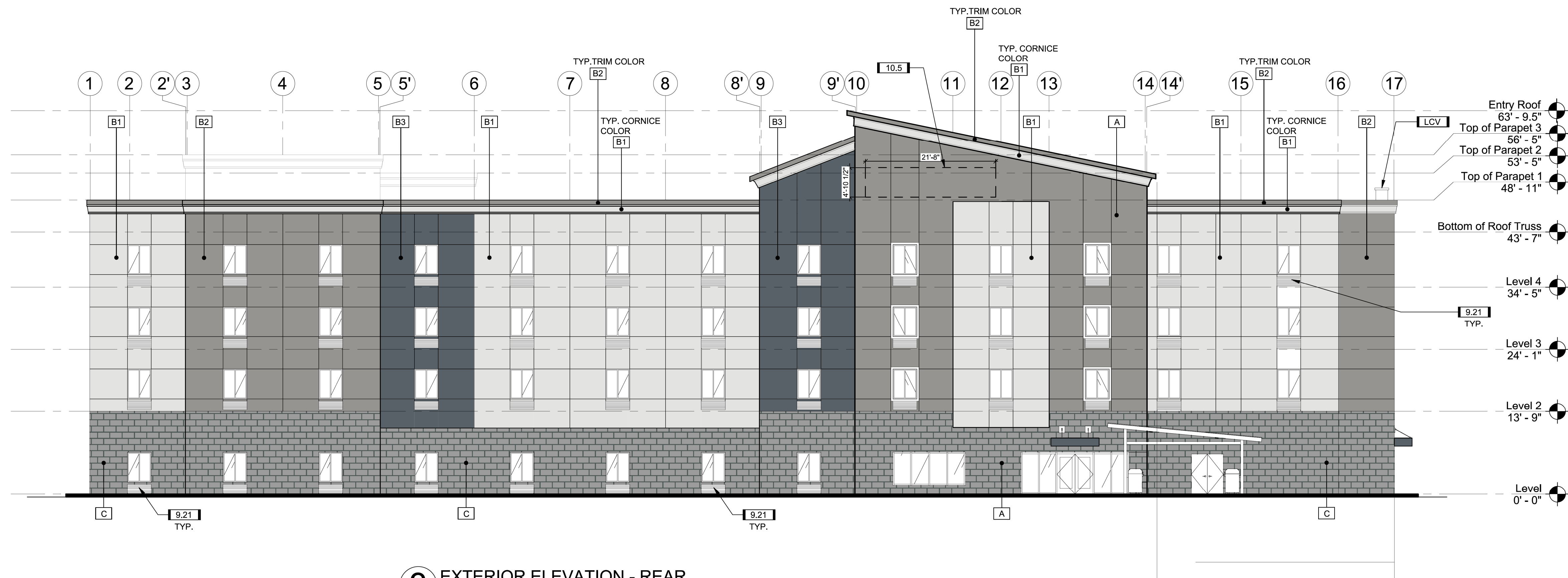
ISSUE  
05-07-2021 L.F.P.



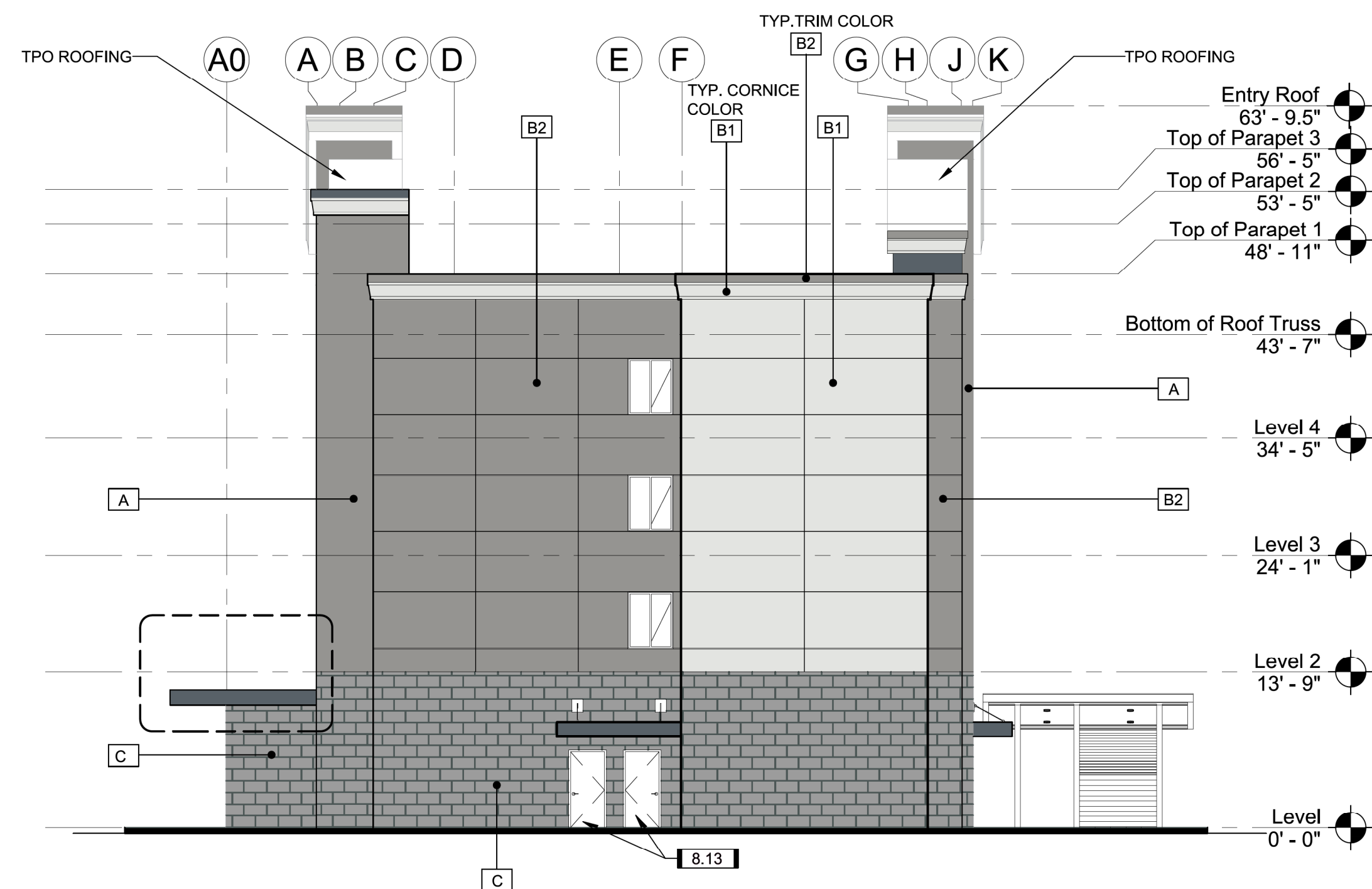
**rhaarchitect**  
Architect + Master Planner  
16043 Barbarossa Drive  
Houston, Texas 77083 e-mail: RHAarchitect@aol.com  
tel 281 545-0000 fax 281 545-0700  
texas ~ louisiana ~ georgia ~ mississippi  
oklahoma ~ arkansas ~ florida  
Randall Harris & Associates, Architect

R E V I S I O N S	
02-19-2020	ISSUED FOR FINAL FRANCHISE REVIEW
03-13-2020	FOR MEETING WITH CITY
09-17-2020	STONE VENEER ADDED AND COLOR SCHEME REVISED FOR CITY AND FRANCHISE REVIEW

JOB NO.  
19-09-016  
SHEET NO.  
**A2.00**



**3** EXTERIOR ELEVATION - REAR  
SCALE: 3/32" = 1'-0"



**4** EXTERIOR ELEVATION - RIGHT  
SCALE: 3/32" = 1'-0"

**GENERAL NOTES**

- REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHT REQUIREMENTS
- BASIS OF STRUCTURAL DESIGN IS WOOD FRAME.
- WAYFINDING SIGNAGE BY OWNER. REFER TO SIGNAGE PACKAGE.
- COORDINATE EXTERIOR BUILDING SIGNAGE WITH THE BUILDING COLOR PER FRANCHISE REQUIREMENTS.
- EXTERIOR SIGNAGE APPROVAL PROCESS: ALL EXTERIOR BUILDING AND SITE SIGNAGE LOCATIONS AND CONFIGURATIONS MUST BE SUBMITTED TO IHG FOR RECOMMENDATION AND APPROVAL. RECOMMENDATIONS WILL INCLUDE SIGNS THAT ARE PROPERLY CONFIGURED AND SIZED FOR PLACEMENT ON THE BUILDING FACADES WITHOUT CROWDING ADJACENT ARCHITECTURAL FEATURES. CLICK ON EXTERIOR SIGNAGE MANUAL FOR SIGNAGE OPTIONS, STANDARD SIZES AND APPROVED VENDORS. FOR EXTERIOR SIGNAGE QUESTIONS: CONTACT SCOTT ROSS AT SCOTT.ROSS@IHG.COM OR 770-604-5917.

**KEYNOTES**

- 8.13 PAINT DOOR AND FRAME TO MATCH ADJACENT FINISH
- 9.21 PAINT PTAC GRILLE TO MATCH ADJACENT FINISH.
- 10.5 FOR SIGNAGE, REFER TO SIGNAGE PACKAGE. BUILDING SIGN & PERMIT BY SIGN VENDOR/ CONTRACTOR. PROVIDE BACKING BY G.C., COORDINATE WITH SIGN VENDOR/ CONTRACTOR
- 23.4 EXHAUST VENT, COLOR TO MATCH ADJACENT MATERIAL

**LEGEND - EXTERIOR MATERIALS**

- A** STUCCO COLOR - ACCENT  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7669 SUMMIT GRAY
- B1** STUCCO COLOR 1 - MAIN MASS  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 6252 ICE CUBE
- B2** STUCCO COLOR 2 - ACCENTS  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7669 SUMMIT GRAY
- B3** STUCCO COLOR 3 - ACCENTS  
FINE SAND FINISH COLOR: SHERWIN WILLIAMS - SW 6251 OUTERSPACE
- C** DRY STACK STONE (ELDORADO STONE: ZENITH GREY SIERRA)
- LCV** LINEN CHUTE VENT

**EXTERIOR ELEVATIONS**  
SCALE: 3/32" = 1'-0"

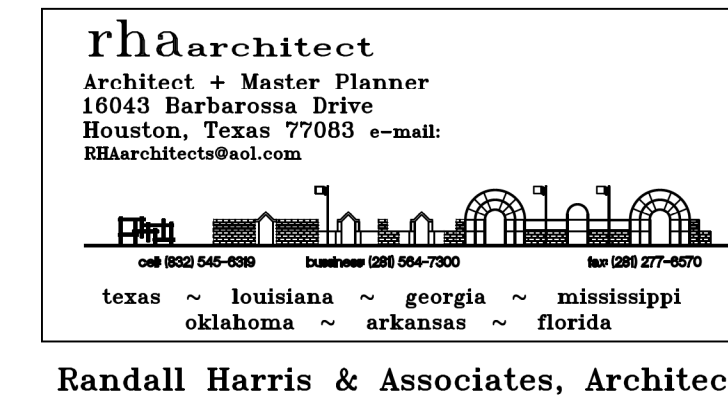
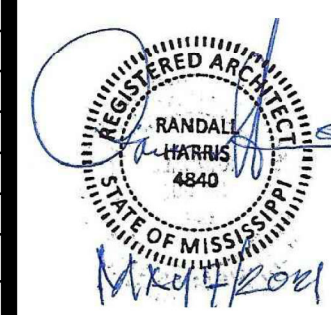
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DRAWN:  
CHECKED:  
DATE: SEP 2020



**CANDLEWOOD SUITES**  
DEES PLAZA AT INTERSTATE 55,  
GLUCKSTADT, MS

ISSUE  
05-07-2021 L.F.P.



R E V I S I O N S	
02-19-2020	ISSUED FOR FINAL FRANCHISE REVIEW
03-13-2020	FOR MEETING WITH CITY
09-17-2020	STONE VENEER ADDED AND COLOR SCHEME REVISED FOR CITY AND FRANCHISE REVIEW

JOB NO.  
19-09-016  
SHEET NO.  
**A2.00A**