



## REGULAR MEETING OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, February 03, 2026 at 3:00 PM

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### Agenda

This notice and agenda of the Regular Meeting of the Architectural Review Committee is hereby given by the undersigned. Said meeting shall be held on Tuesday, February 03, 2026, at 3:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

1. **Call Meeting to Order and Roll Call**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
  - [A\)](#) Consideration of Minutes 1/20/26 Special Call Meeting
4. **New Business**
  - [A\)](#) Mount Pleasant Baptist Church Architectural Review
  - [B\)](#) Bridgforth - 110 Weisenberger Rd Renovation
5. **Old Business**
  - A) Continued Discussion of Architectural Standards and Styles
6. **Public Comment**
7. **Next Meeting**
8. **Adjourn**

Commissioner Kayce Saik \_\_\_\_\_

Commissioner Melanie Greer Smith \_\_\_\_\_

Commissioner Lee Sahler \_\_\_\_\_

**Special Meeting of the Architectural Review  
Committee  
of the City of Gluckstadt, Mississippi  
Tuesday January 20, 2026, at 3:00 PM**

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**Minutes**

The business of this meeting with Committee Members Kayce Saik, Melanie Greer and Lee Sahler were as follows:

1. Chairman Kayce Saik called the meeting to order; all members of the board were present.
2. Kayce Saik gave the opening Prayer with Melanie Greer giving the Pledge of Allegiance.
3. Consideration of Minutes:  
Melanie Greer made the motion to approve the minutes of the January 6, 2026, meeting as presented. Lee Sahler seconded the motion with all members voting “AYE” the motion carried.
4. **New Business**
  - A) Discussion of Architectural Standards
    - i. Chris Watson, City Planner, handed out preliminary design guidelines applicable for the Village Zone and Neighborhood Commercial Zone
    - ii. The packet included detailed descriptions of design standards for each discipline of construction. Pictures of similar designs were included in this packet.
    - iii. The committee went through each item of the packet discussing in detail.
    - iv. Chris Watson will update those two zones from today’s discussion and plans to have more zones ready for discussion at the next meeting on February 3, 2026.
    - v. Chris noted he might have a conflict with the next meeting date. He will update the board as we get closer to that time.

No action taken
  - B) Development of Architectural Styles
    - i. Chairman Kayce Saik introduced an Architectural Styles packet from a development in Alabama called Lane Park.
    - ii. The committee briefly discussed the different exterior styles and what is applicable to our designs.
    - iii. Further discussion on Architectural Styles will continue at the next meeting.

No action taken

**5. Public Comment**

No members of the public signed up to address the board.

**6. Next Meeting** - February 3<sup>rd</sup>, 2026, at 3:00 pm 343 Distribution Drive, Gluckstadt, MS 39110.

**7. Adjourn**

Melanie Greer made a motion to adjourn; the motion was seconded by Lee Sahler with all members voting “AYE” the motion passed.

**WITNESS OUR HANDS**, this the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
KAYCE SAIK, Chairman

\_\_\_\_\_  
MELANIE GREER, Vice Chairman



## CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

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**TO:** Architectural Review Board

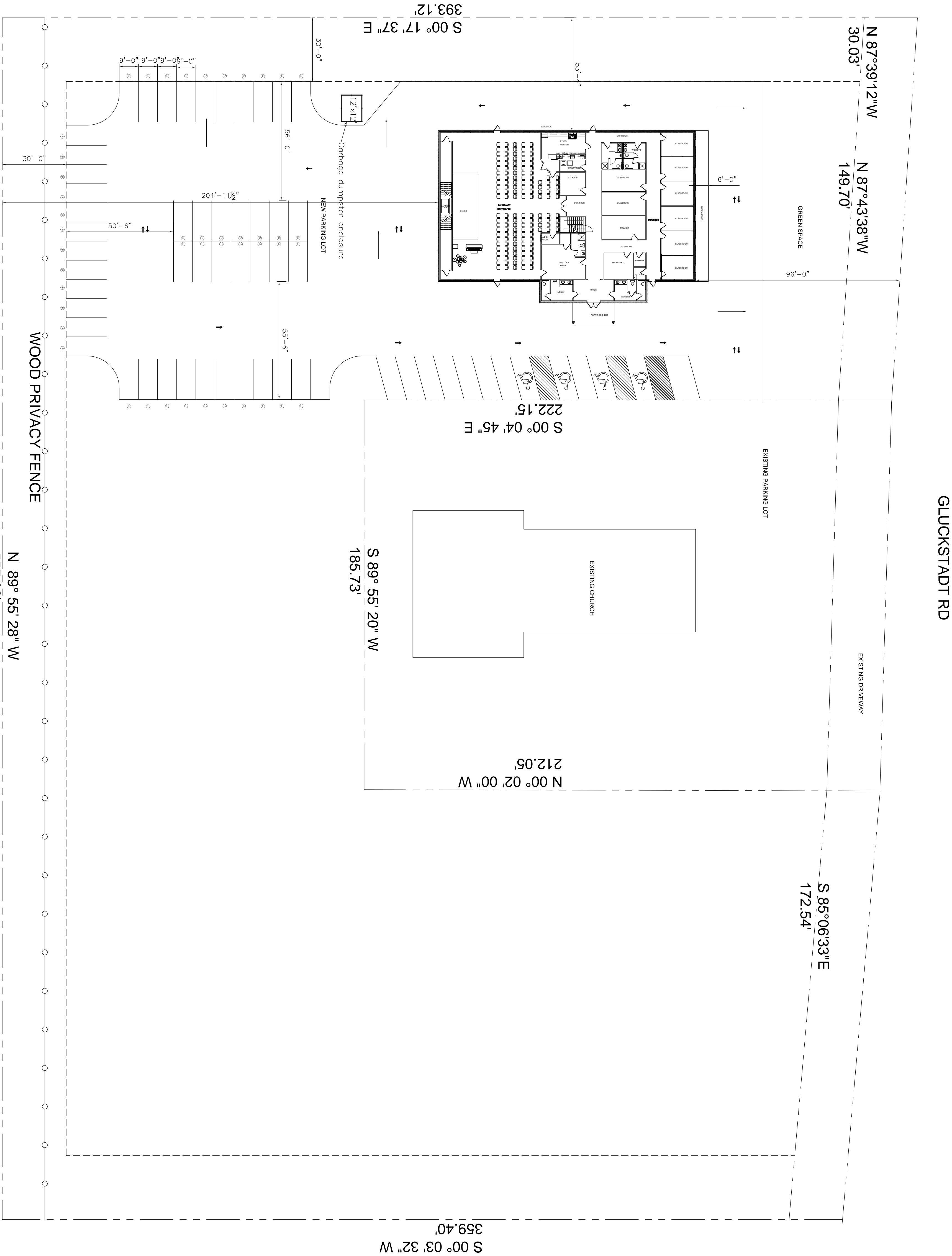
**FROM:** Caine Dearman, Planning and Zoning Administrator

**DATE:** 01/30/2026

**SUBJECT:** Architectural Review Consideration-Gluckstadt Management, LLC

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Mt. Pleasant Baptist Church, located at 729 Gluckstadt Rd, are planning to build a Family Life Center/Multi-use addition to the church property. They have submitted a Conditional Use and Site Plan. The current site plan is still under review, but I have been working with them to get us the appropriate requirements filled. The attached site plan has their building elevations and planned exterior scheme. We wanted to get this in front of the ARC board for review and see if any recommendations are needed. They will go in front of the PnZ board on 2/24. If any updates or recommendations by the ARC is needed, we will have time to review again on 3/3 right before their MMBOA meeting on 3/10.



54-PARKING SPACES  
4-HANDICAP PARKING

- Notes
- 1. Gross lot coverage 4 acres.
  - 2. Approximately 2.5 acres wooded and remain undisturbed around construction site.



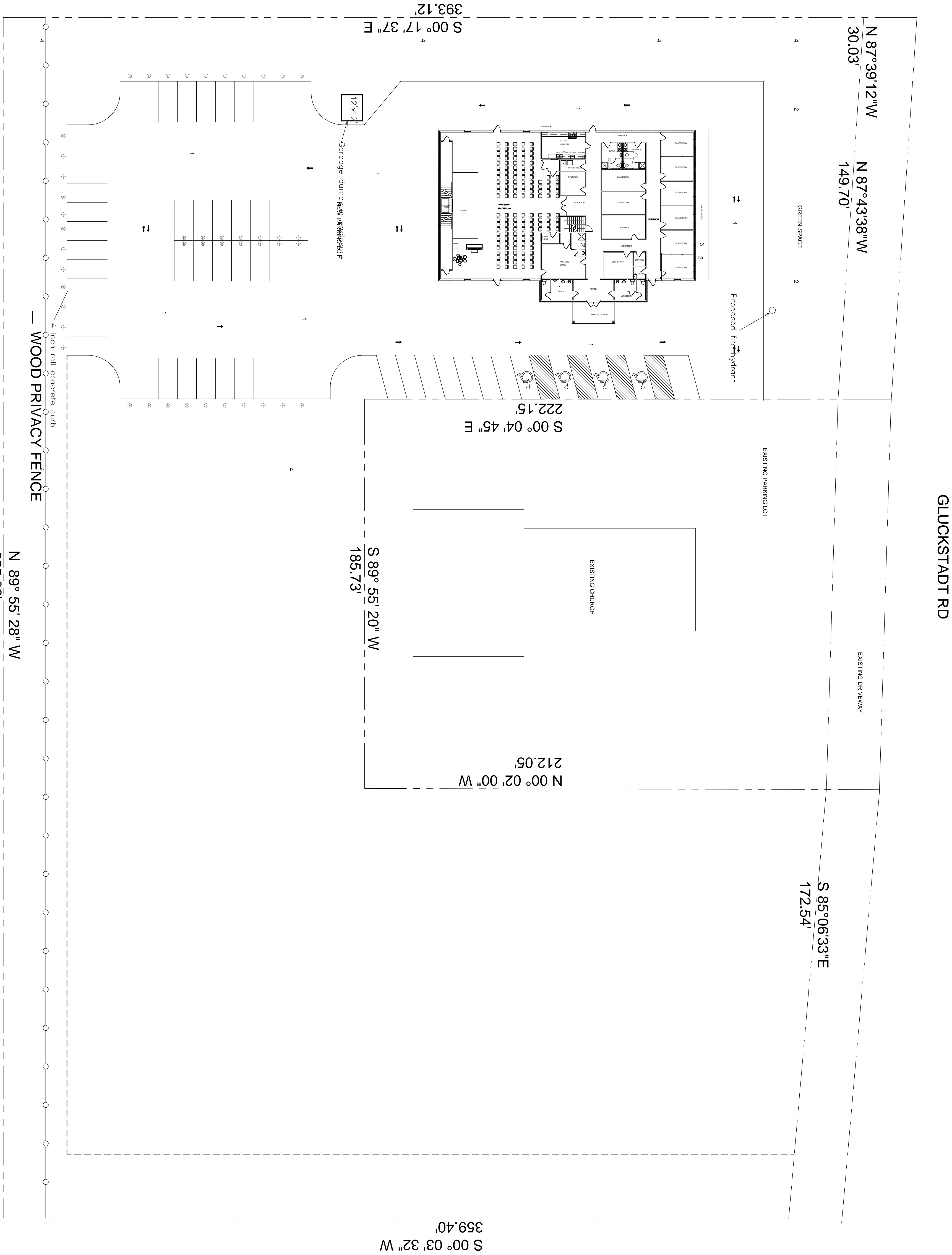
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

MT PLEASANT MB CHURCH

PLOT DATE:  
SCALE: 1:40

DISCLAIMER

G&M CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT ASSUMES NO LIABILITIES FOR ANY PROJECT CONSTRUCTED FROM THESE DRAWINGS. EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.



MT PLEASANT MB CHURCH

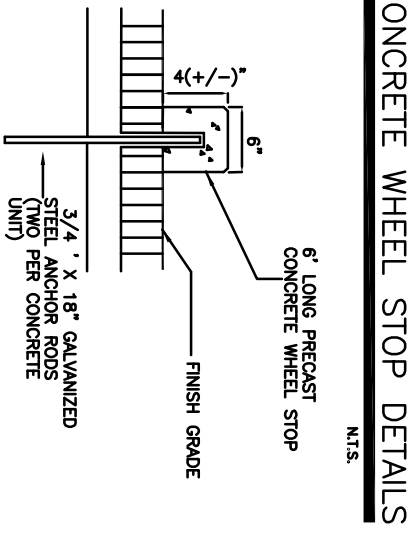
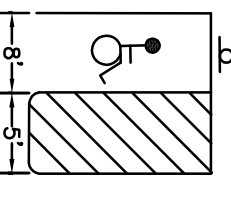
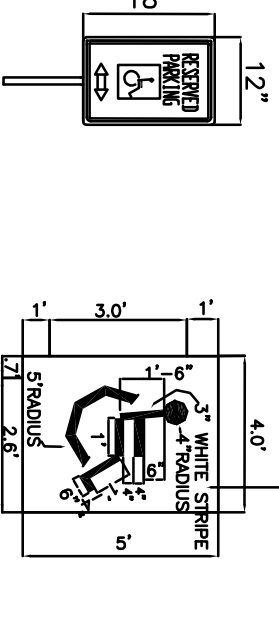
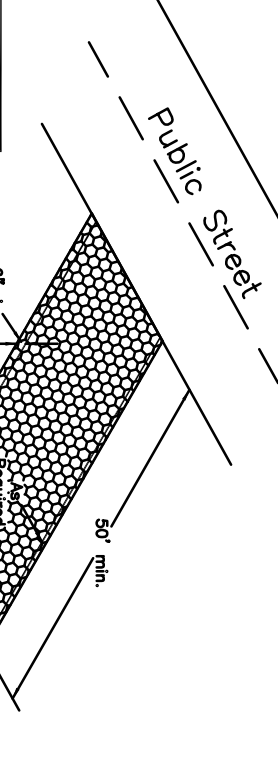
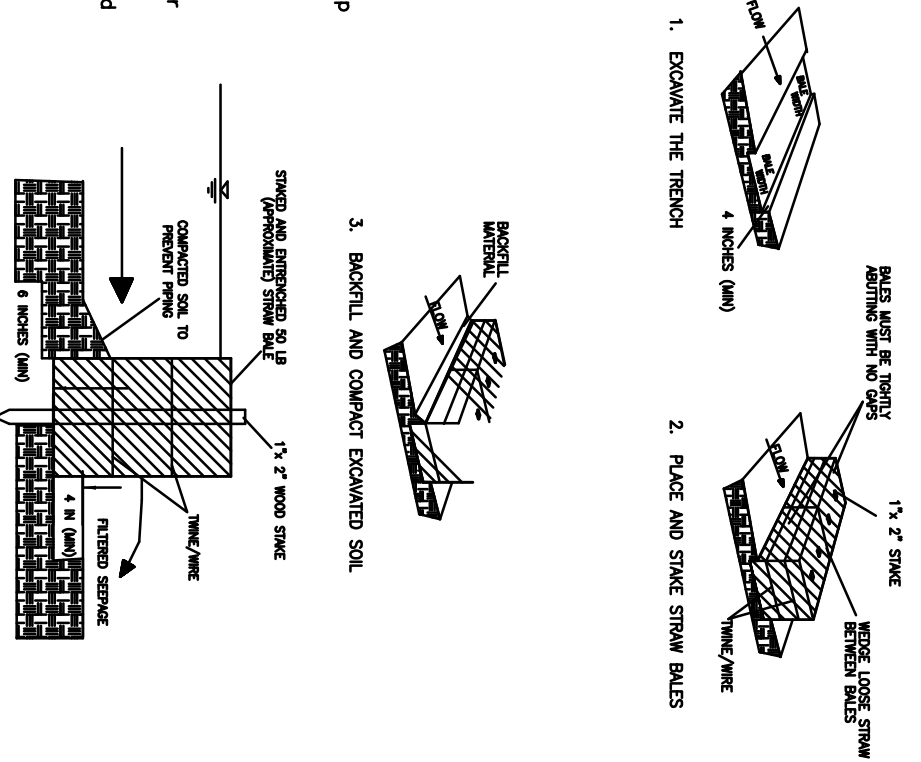

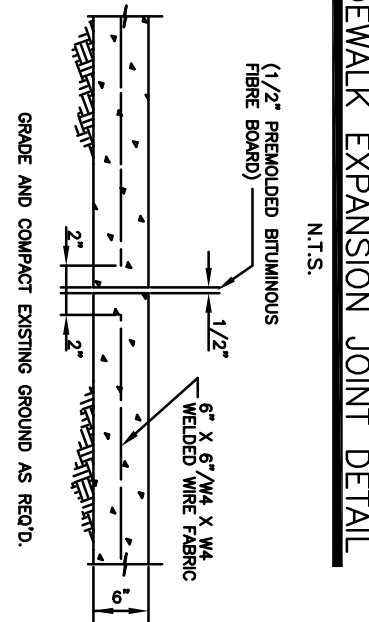
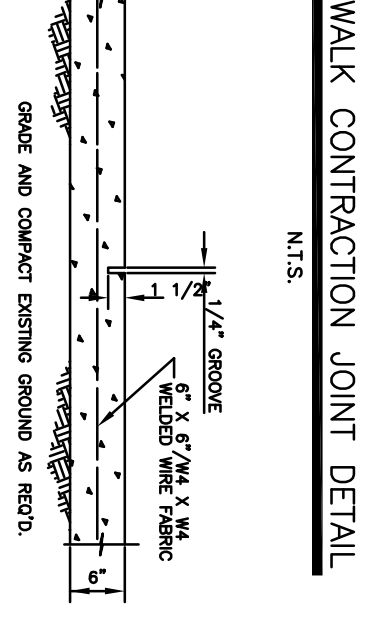
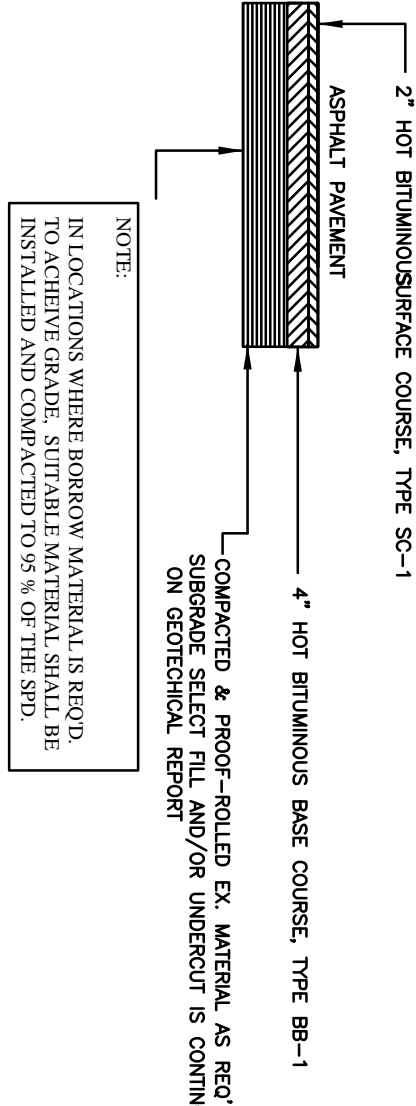
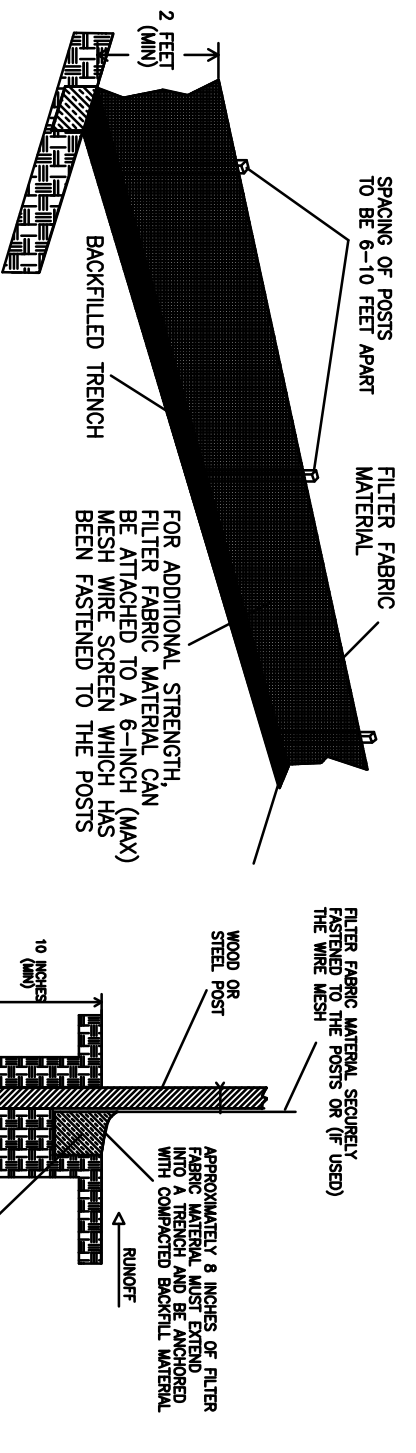
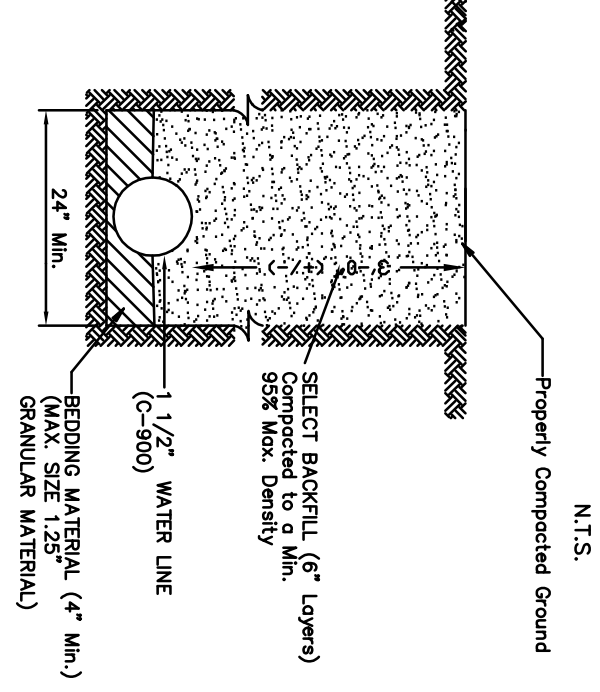
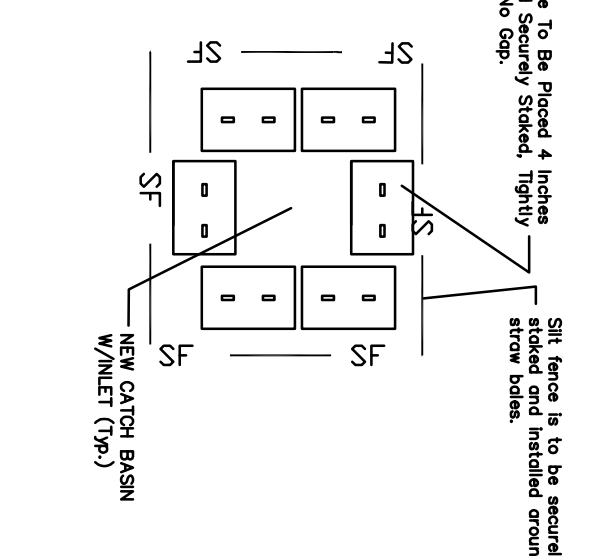
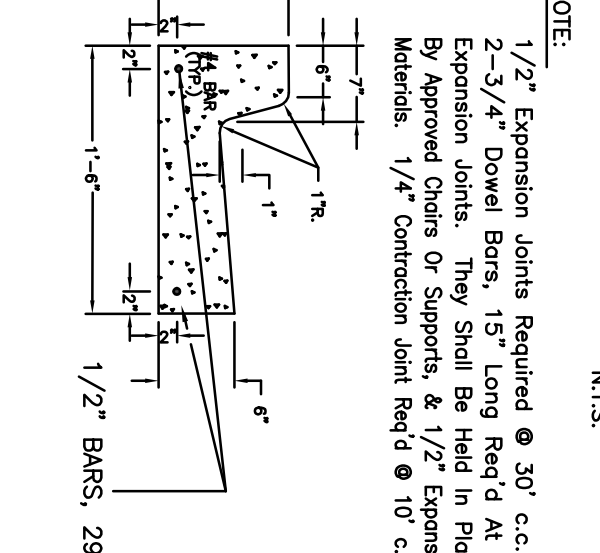
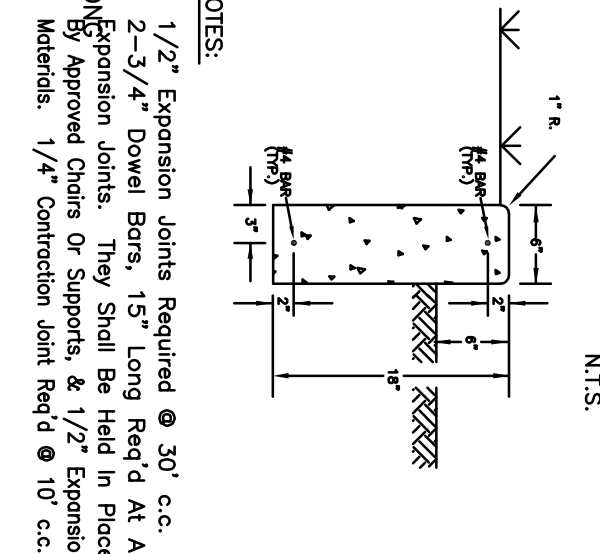
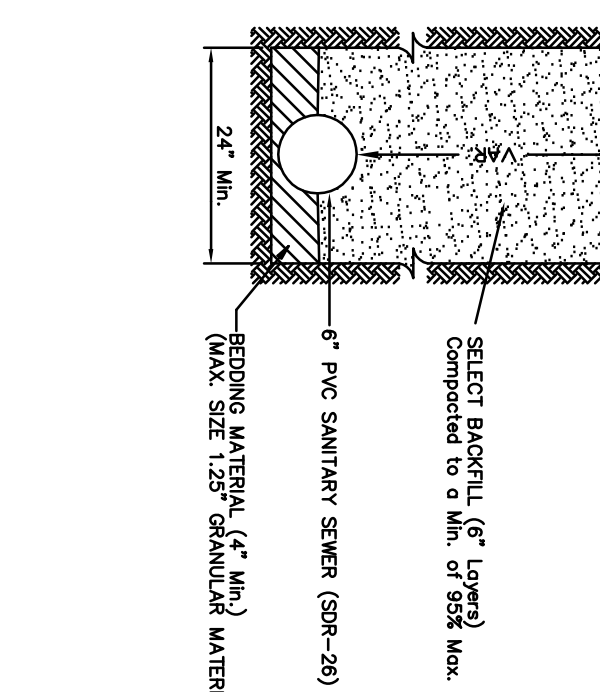

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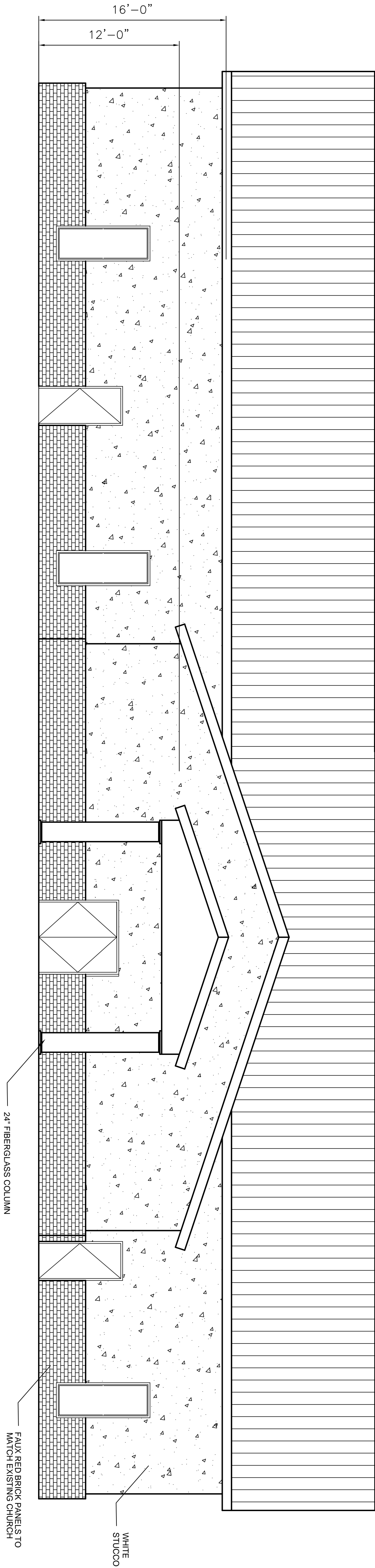
DISCLAIMER

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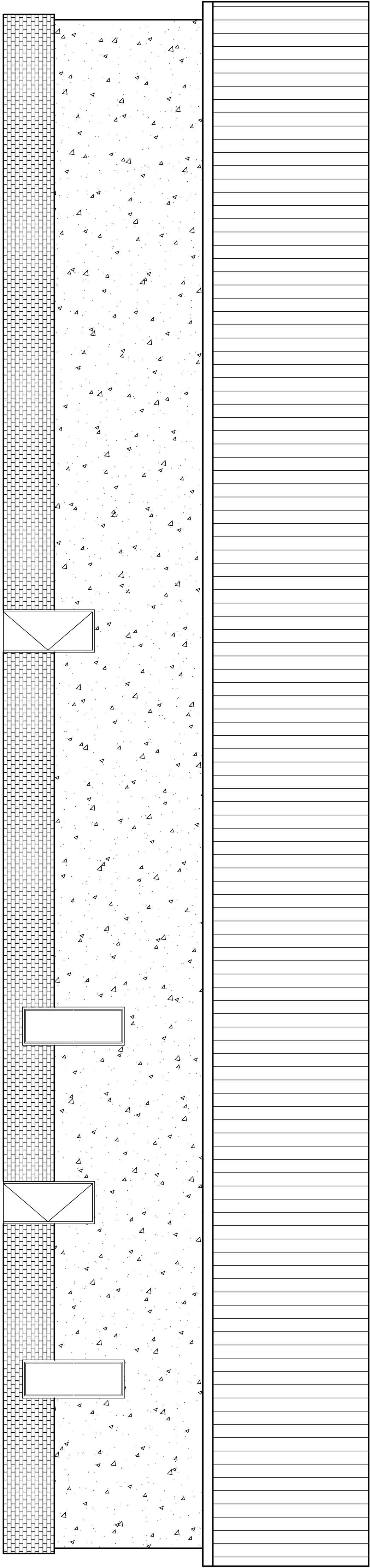


CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

<div>CONCRETE WHEEL STOP DETAILS</div> <div></div> <div>NOTE: ALTERNATE TYPE OF WHEELSTOP MAY BE USED UPON THE APPROVAL OF THE ENGINEER.</div>		<div>HANDICAP DETAILS</div> <div></div> <div>NOTE: Curb face or parking blocks shall be painted blue.</div> <div></div>		<div>CONSTRUCTION INGRESS/EGRESS DETAIL</div> <div></div> <div>NOTE: 1) The site shall be maintained to a condition which will prevent flooding or flow of mud onto public right-of-way. This may require periodic top dressing of the site with straw bales, straw bales, sediment control ponds, drainage pipes, and rock riprap required, prior to the beginning of any stripping and/or excavation. 2) The Contractor shall maintain a minimal buffer of undisturbed areas, where practical, around the perimeter of the site. This buffer will reduce the erosion caused by the site, and water and also help reduce the amount of sediment leaving the site. 3) Each fill procedure will utilize temporary diversions to eliminate surface runoff. 4) The Contractor shall provide for protective measures for the containment of hazardous materials, including petroleum products and lubricants, etc. 5) The Contractor shall provide for trash containers on site for disposal of all construction materials and prevent trash from the site from entering into the storm drainage system. 6) The Contractor shall inspect all installed erosion control measures and repair as necessary during the length of the construction at least every seven (7) days during dry periods. The Contractor shall diligently inspect and repair, within 24 hours of a rainfall event, all erosion control measures. 7) The Contractor shall maintain the erosion control measures required to assure that the storm water discharged shall be free from: a. Debris, oil, silt and other floating materials, other than in trace amounts; b. Eroded soils and other materials that will settle to form objectionable deposits in receiving waters; c. Suspended solids, turbidity and color at levels inconsistent with the receiving waters; d. Chemicals in concentrations that would cause violation of the State Water Quality Criteria in the receiving waters. 8) The Contractor shall maintain adequate record keeping documenting inspection and repair of all erosion control measures installed. 9) The Contractor shall make himself familiar with the Storm Water Construction General Permit Regulations and the Planning and Design Manual for the Control of Erosion, Sediment and Stormwater, published by the MDEC, Mississippi Soil &amp; Water Commission and the USDA Soil Conservation Service. 10) This plan contains the minimum erosion control measures to be taken. The Contractor shall utilize the BMP's outlined in the above referenced material for implementation of additional measures, as required.</div>		<div>INSTALLATION OF STRAW BALES</div> <div></div> <div>NOTE: 1. EXCAVATE THE TRENCH 2. PLACE AND STAKE STRAW BALES</div>	<div>INSTALLATION OF SILT FENCE</div> <div></div> <div>NOTE: CROSS-SECTION OF A PROPERLY INSTALLED STORM BALE NOTE: STRAW BALES SHALL BE REQ'D. AROUND STORM INLETS PRIOR TO THE INSTALLATION OF ASPHALT PAVEMENT.</div>	<div>SIDEWALK EXPANSION JOINT DETAIL</div> <div></div> <div>NOTE: SIDEWALK EXPANSION JOINT DETAIL</div>	<div>SIDEWALK CONTRACTION JOINT DETAIL</div> <div></div> <div>NOTE: SIDEWALK CONTRACTION JOINT DETAIL</div>	<div>TYPICAL SECTION FOR NEW PARKING LOT &amp; DRIVEWAY</div> <div></div> <div>NOTE: IN LOCATIONS WHERE BROWN MATERIAL IS REQ'D, THE ASPHALT PAVEMENT SHALL BE INSTALLED AND COMPACTED TO 95% OF THE STD. SPEC.</div>	<div>INSTALLATION OF SILT FENCE</div> <div></div> <div>NOTE: INSTALLATION OF SILT FENCE</div>	<div>TYPICAL WATER LINE INSTALLATION</div> <div></div> <div>NOTE: TYPICAL WATER LINE INSTALLATION</div>	<div>INLET PROTECTION DETAILS</div> <div></div> <div>NOTE: INLET PROTECTION DETAILS</div>	<div>CURB &amp; GUTTER DETAILS</div> <div></div> <div>NOTE: CURB &amp; GUTTER DETAILS</div>	<div>HEADER CURB DETAILS</div> <div></div> <div>NOTE: HEADER CURB DETAILS</div>	<div>TYPICAL SEWER PIPE INSTALLATION</div> <div></div> <div>NOTE: TYPICAL SEWER PIPE INSTALLATION</div>	<div>STORMWATER MANAGEMENT PLAN</div> <div></div> <div>NOTE: STORMWATER MANAGEMENT PLAN</div>	<div>DISCLAIMER</div> <div><p>G&amp;M CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT ASSUMES NO LIABILITIES FOR ANY PROJECT CONSTRUCTED FROM THESE DRAWINGS. EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.</p></div>		<div>PLOT DATE:</div> <div>SCALE: 1:40</div>		<div>G&amp;M</div> <div>CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT</div>	
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FRONT ELEVATION  
SCALE 3/16"=1'-0"



REAR ELEVATION  
SCALE 3/16"=1'-0"



CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

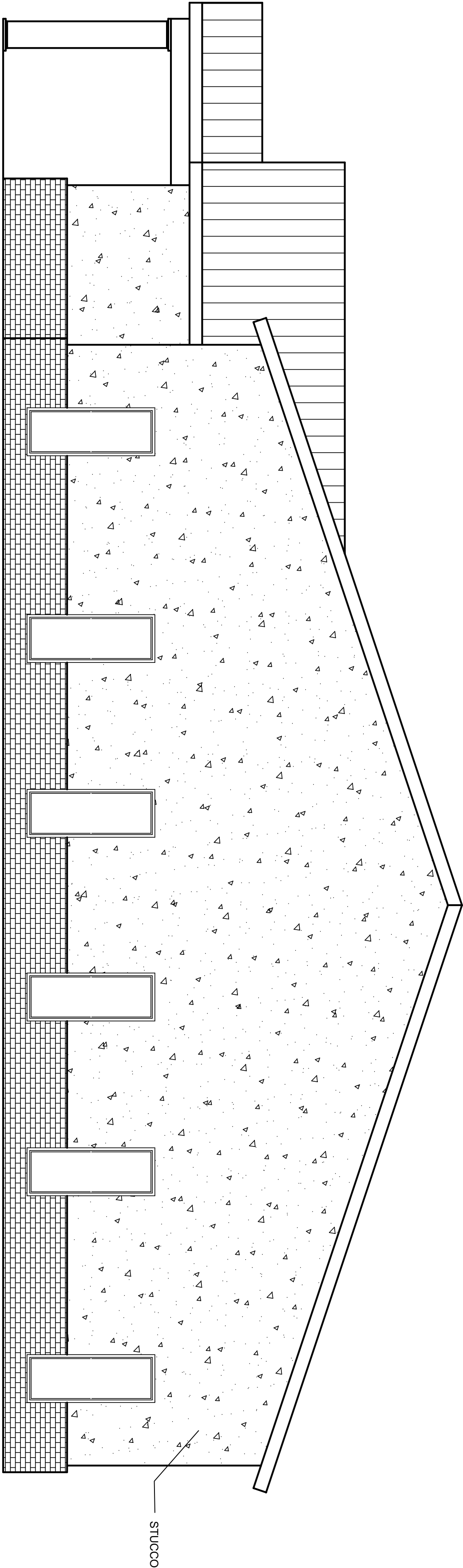
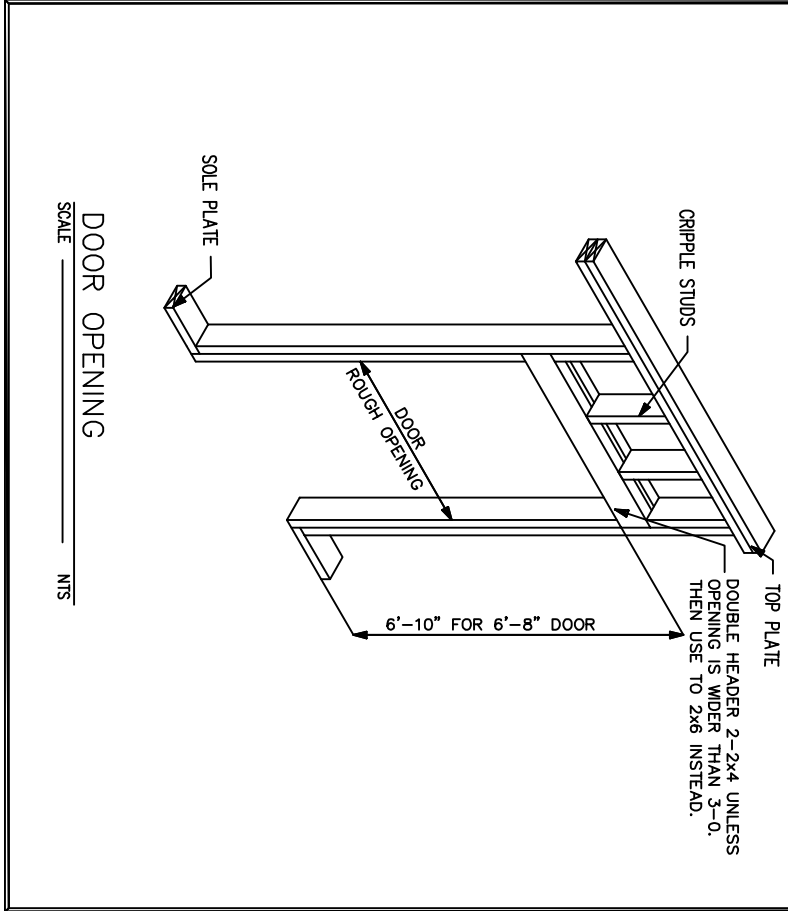
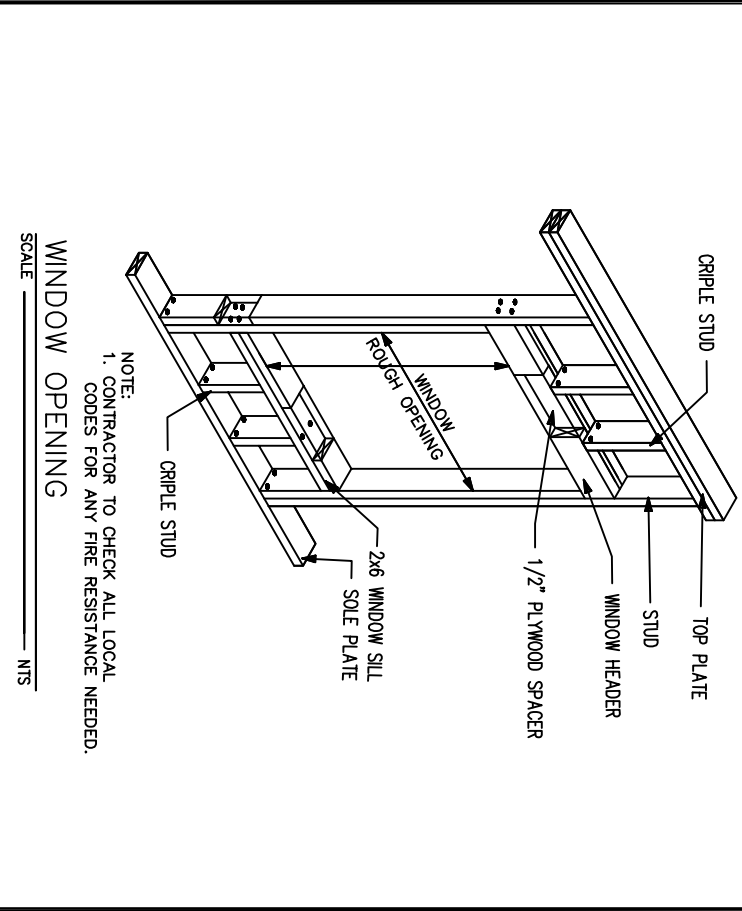
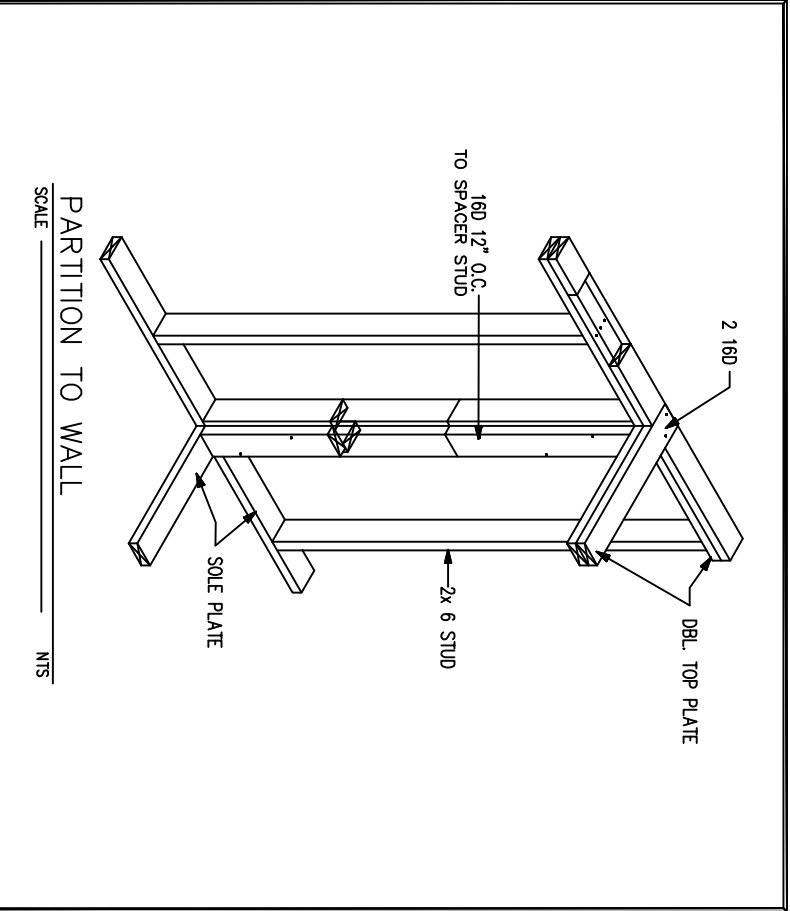
MT PLEASANT MB CHURCH

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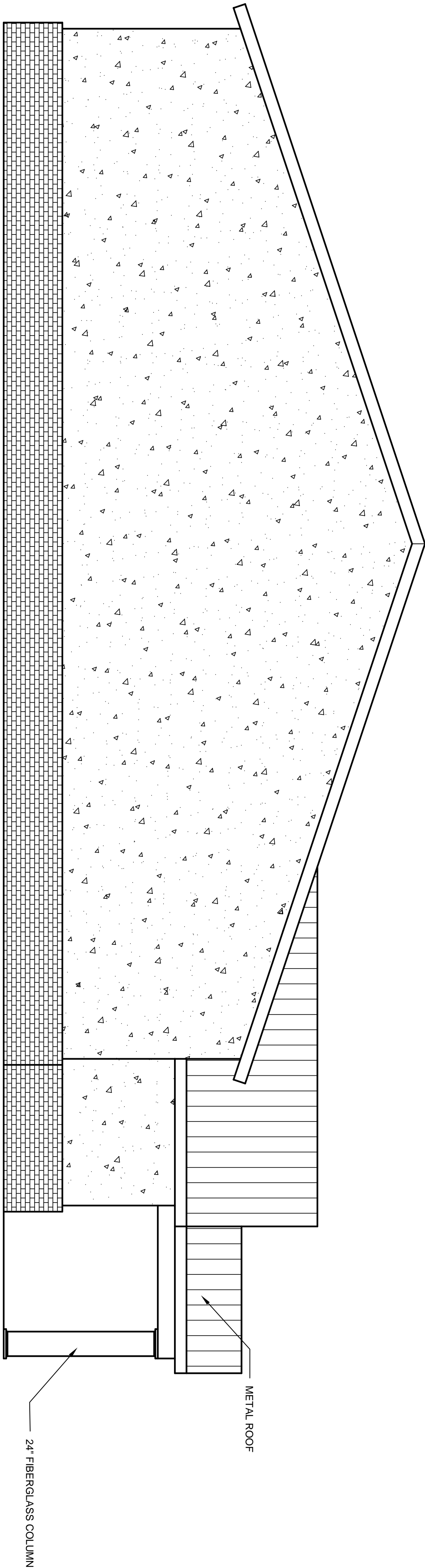
ELEVATION

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RIGHT ELEVATION  
SCALE 3/16"=1'-0"



LEFT ELEVATION  
SCALE 3/16"=1'-0"



CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

MT PLEASANT MB CHURCH

PLOT DATE:

SCALE: 1/4"=1'

ELEVATION

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## Caine Dearman

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**From:** Bridgette Smith  
**Sent:** Friday, January 30, 2026 12:38 PM  
**To:** KEITH Gayden; George Adams; Caine Dearman  
**Subject:** RE: Statement of Intended Use for Family Life and Multipurpose Facility

Hello,  
Received, thank you.

---

**From:** KEITH Gayden <ministergayden@gmail.com>  
**Sent:** Friday, January 30, 2026 12:04 PM  
**To:** George Adams <georgepaul1902@gmail.com>; Bridgette Smith <bridgette.smith@gluckstadt.net>; Caine Dearman <caine.dearman@gluckstadt.net>  
**Subject:** Statement of Intended Use for Family Life and Multipurpose Facility

Mount Pleasant Missionary Baptist Church  
729 Gluckstadt Road  
Gluckstadt, MS 39110  
Phone: (601\*) \*- 842-2462  
Email: [Ministergayden@gmail.com](mailto:Ministergayden@gmail.com)

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Date: January 12, 2026

City of Gluckstadt  
Planning and Zoning Committee  
Gluckstadt, MS

Re: Purpose and Intended Use of Family Life / Multipurpose Facility

Dear Members of the Planning and Zoning Committee,

On behalf of Mount Pleasant Missionary Baptist Church, located at 729 Gluckstadt Road, Gluckstadt, Mississippi, I respectfully submit this letter to outline the purpose and intended use of our proposed Family Life and Multipurpose Facility.

The vision for this facility is to serve as an extension of the church's long-standing commitment to spiritual growth, family enrichment, and community engagement within the City of Gluckstadt. The building will be used primarily for religious, educational, and community-oriented purposes consistent with the mission of Mount Pleasant Missionary Baptist Church.

Intended uses of the Family Life and Multipurpose Facility include, but are not limited to:

- Religious services and church-related gatherings
- Worship services and ministry events

- Church banquets and fellowship meals
- Youth activities and youth development programs
- Weddings and wedding-related ceremonies
- Educational workshops, meetings, and community outreach activities

In addition, this facility will be made available to serve as a voting precinct for the City of Gluckstadt, supporting civic participation and contributing to the democratic process within our community.

All activities conducted within the facility will be managed responsibly and in accordance with applicable city ordinances, zoning regulations, and safety requirements. Our goal is to ensure that the facility is a positive, respectful, and beneficial presence for both our congregation and the surrounding community.

We appreciate the continued support and cooperation of the City of Gluckstadt and the Planning and Zoning Committee as we seek to expand our capacity to serve. Should additional information or clarification be required, please do not hesitate to contact us.

Thank you for your time, consideration, and service to our city.

Respectfully submitted,

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Rev. Dr. Keith E. Gayden  
Pastor  
Mount Pleasant Missionary Baptist Church



## CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

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**TO:** Architectural Review Board

**FROM:** Caine Dearman, Planning and Zoning Administrator

**DATE:** 01/30/2026

**SUBJECT:** Architectural Review Consideration-Gluckstadt Management, LLC

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Gluckstadt Management, LLC recently purchased the property at 110 Weisenberger Rd. They quickly began working on the front exterior with updates. We noticed that no permit or plan was brought to our attention, so we stopped work in order to get this exterior change in front of the Architectural Review Board (ARC). The property owners stopped work and provided the proper information we needed. Attached within is the site plan application, color rendering of the front exterior, and current state of their build before we stopped work. They do have future plans to do more to the exterior, but we felt it was prudent to get this in front of the board for review. We do recommend approval of this renovation.

## City of Gluckstadt

### **Application for Site Plan Review**

**Subject Property Address:** 110 Weisenberger Road, Gluckstadt, MS 39110

**Parcel #:** 082H-28-008/06.00

<p><b>Owner:</b> <u>Gluckstadt Management, LLC</u>  <u>(Attn: Bridgforth Rutledge)</u></p> <p><b>Address:</b> <u>967 Madison Ave., Suite B</u>  <u>Madison, MS 39110</u></p>	<p><b>Applicant:</b> <u>Gluckstadt Management, LLC</u>  <u>(Attn: Bridgforth Rutledge)</u></p> <p><b>Address:</b> <u>967 Madison Ave., Suite B</u>  <u>Madison, MS 39110</u></p>
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<p><b>Phone #:</b> <u>601-291-0211</u></p> <p><b>E-Mail:</b> <u>bridgforth.rutledge@gmail.com</u></p>	<p><b>Phone #:</b> <u>601-291-0211</u></p> <p><b>E-Mail:</b> <u>bridgforth.rutledge@gmail.com</u></p>
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**Current Zoning District:** C-2

**Acreage of Property (If applicable):** 1 acre, more or less

**Use sought of Property:** Not known; To be determined; Probably same as previous

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Three (3) ~~Nine (9)~~ copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.

Gluckstadt Management, LLC

By: BR, Manager

January 27, 2026

Applicant Signature

Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

Date Received: \_\_\_\_\_

Application Complete & Approved to Submit to P&Z Board (please check):

Yes \_\_\_\_\_ No \_\_\_\_\_

Signature: \_\_\_\_\_  
Planning & Zoning Administrator (or Authorized Representative)

Legal Description of Property

A 1.00 acre parcel of land situated in the E  $\frac{1}{2}$  of the W  $\frac{1}{2}$  of the NE  $\frac{1}{4}$  of Section 28, Township 8 North, Range 2 East, Madison County, Mississippi, and being out of and a part of a called 8.59 acre tract as recorded in Deed Book 247 at page 263 in the Chancery Clerk's office of said county and being more particularly described as follows:

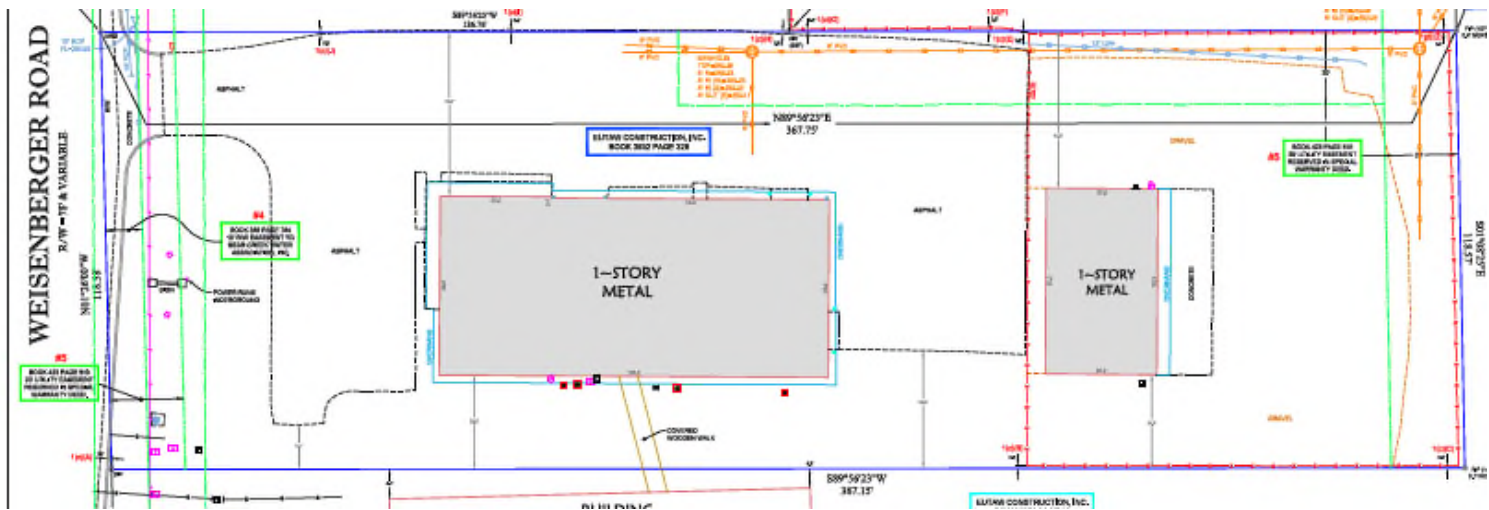
Commencing at an iron pin found at the center of the aforesaid Section 28, Township 8 North, Range 2 East, Madison County, Mississippi; thence run North, 2642.83 feet to a point; thence run East 987.86 feet to a  $\frac{1}{2}$  inch iron pin found at the intersection of the South right of way line of Gluckstadt Road with the East right of way line of Weisenberger Road (S.A.P. 45 (38) connection road). Said iron pin being the most Northerly Northwest corner of the above referenced 8.59 acre tract; thence along the South right of way line of Gluckstadt Road, run North 89 degrees 56 minutes 23 seconds East, 328.59 feet to a  $\frac{1}{2}$  inch iron pin found marking the Northeast corner of said 8.59 acre tract and the Northwest corner of the Ross Chapel tract as recorded in Deed Book 77, at page 430; thence leaving said South right of way line of Gluckstadt Road, and with the East property line of the aforesaid 8.59 acre tract, run South 01 degrees 08 minutes 25 seconds East, 240.70 feet to a  $\frac{1}{2}$  inch iron pin found being the POINT OF BEGINNING of the herein described 1.00 acre parcel; thence continue along said East property line of 8.59 acre tract, South 01 degrees 08 minutes 25 seconds East, 118.57 feet to a  $\frac{1}{2}$  inch iron pin set; thence leaving said East property line, run South 89 degrees 56 minutes 23 seconds West, 367.15 feet to a  $\frac{1}{2}$  inch iron pin set on the aforesaid East right of way line of Weisenberger Road; thence along said East right of way line, run North 01 degrees 26 minutes 00 seconds West, 118.58 feet to a  $\frac{1}{2}$  inch iron pin found; thence leaving said East right of way line, run North 89 degrees 56 minutes 23 seconds East, 367.75 feet to the POINT OF BEGINNING, containing 1.00 Acres (43,560 Square Feet), more or less.

**Color Rendering**



Note: Applicant plans to make additional changes/improvements with a separate application/approval when the proposed design is completed by applicant's architect.

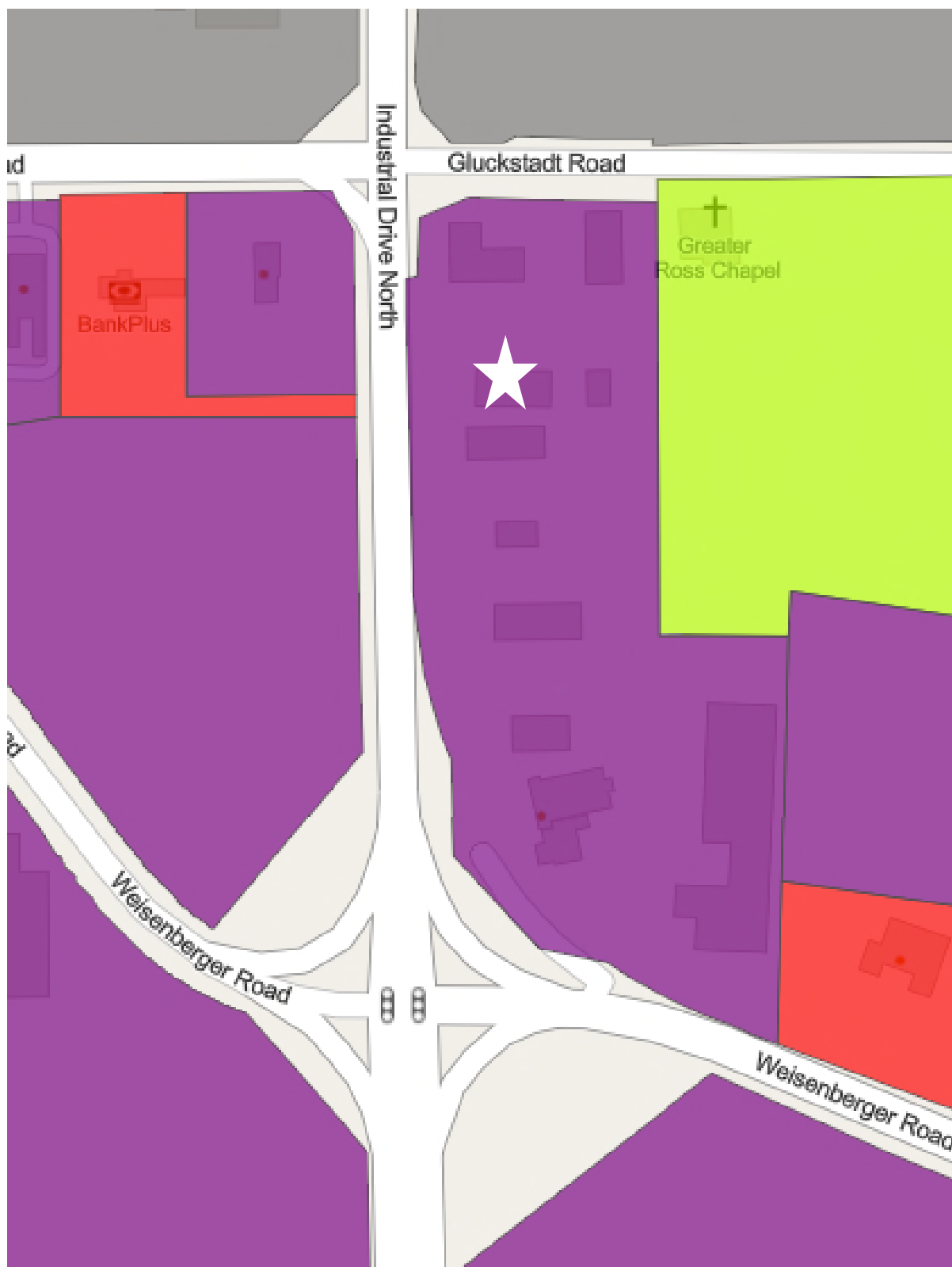
Boundary Survey



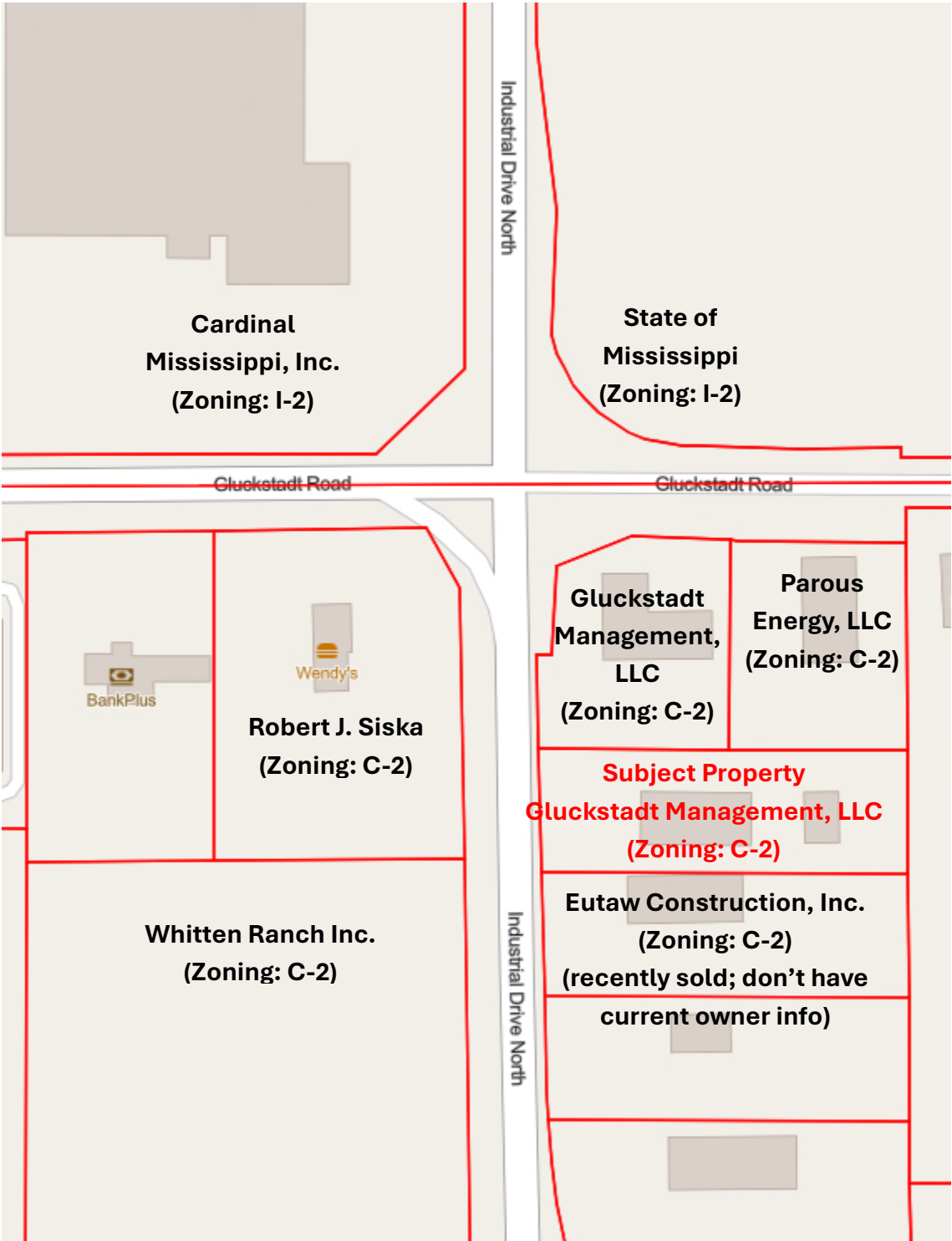
Aerial Photograph



## Zoning Map



Adjacent Owners, Lot Lines, and Zoning



*Section 4, Item B)*

