



REGULAR MEETING OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, February 03, 2026 at 3:00 PM

Agenda

This notice and agenda of the Regular Meeting of the Architectural Review Committee is hereby given by the undersigned. Said meeting shall be held on Tuesday, February 03, 2026, at 3:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

- 1. Call Meeting to Order and Roll Call**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**
 - A) Consideration of Minutes 1/20/26 Special Call Meeting
- 4. New Business**
 - A) Mount Pleasant Baptist Church Architectural Review
 - B) Bridgforth - 110 Weisenberger Rd Renovation
- 5. Old Business**
 - A) Continued Discussion of Architectural Standards and Styles
- 6. Public Comment**
- 7. Next Meeting**
- 8. Adjourn**

Commissioner Kayce Saik _____

Commissioner Melanie Greer Smith _____

Commissioner Lee Sahler _____

**Special Meeting of the Architectural Review
Committee
of the City of Gluckstadt, Mississippi
Tuesday January 20, 2026, at 3:00 PM**

Minutes

The business of this meeting with Committee Members Kayce Saik, Melanie Greer and Lee Sahler were as follows:

1. Chairman Kayce Saik called the meeting to order; all members of the board were present.
2. Kayce Saik gave the opening Prayer with Melanie Greer giving the Pledge of Allegiance.
3. Consideration of Minutes:

Melanie Greer made the motion to approve the minutes of the January 6, 2026, meeting as presented. Lee Sahler seconded the motion with all members voting “AYE” the motion carried.

4. New Business

A) Discussion of Architectural Standards

- i. Chris Watson, City Planner, handed out preliminary design guidelines applicable for the Village Zone and Neighborhood Commercial Zone
- ii. The packet included detailed descriptions of design standards for each discipline of construction. Pictures of similar designs were included in this packet.
- iii. The committee went through each item of the packet discussing in detail.
- iv. Chris Watson will update those two zones from today’s discussion and plans to have more zones ready for discussion at the next meeting on February 3, 2026.
- v. Chris noted he might have a conflict with the next meeting date. He will update the board as we get closer to that time.

No action taken

B) Development of Architectural Styles

- i. Chairman Kayce Saik introduced an Architectural Styles packet from a development in Alabama called Lane Park.
- ii. The committee briefly discussed the different exterior styles and what is applicable to our designs.
- iii. Further discussion on Architectural Styles will continue at the next meeting.

No action taken

5. Public Comment

No members of the public signed up to address the board.

6. Next Meeting - February 3rd, 2026, at 3:00 pm 343 Distribution Drive, Gluckstadt, MS 39110.

7. Adjourn

Melanie Greer made a motion to adjourn; the motion was seconded by Lee Sahler with all members voting “AYE” the motion passed.

WITNESS OUR HANDS, this the _____ day of _____, 2026.

KAYCE SAIK, Chairman

MELANIE GREER, Vice Chairman



CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Architectural Review Board

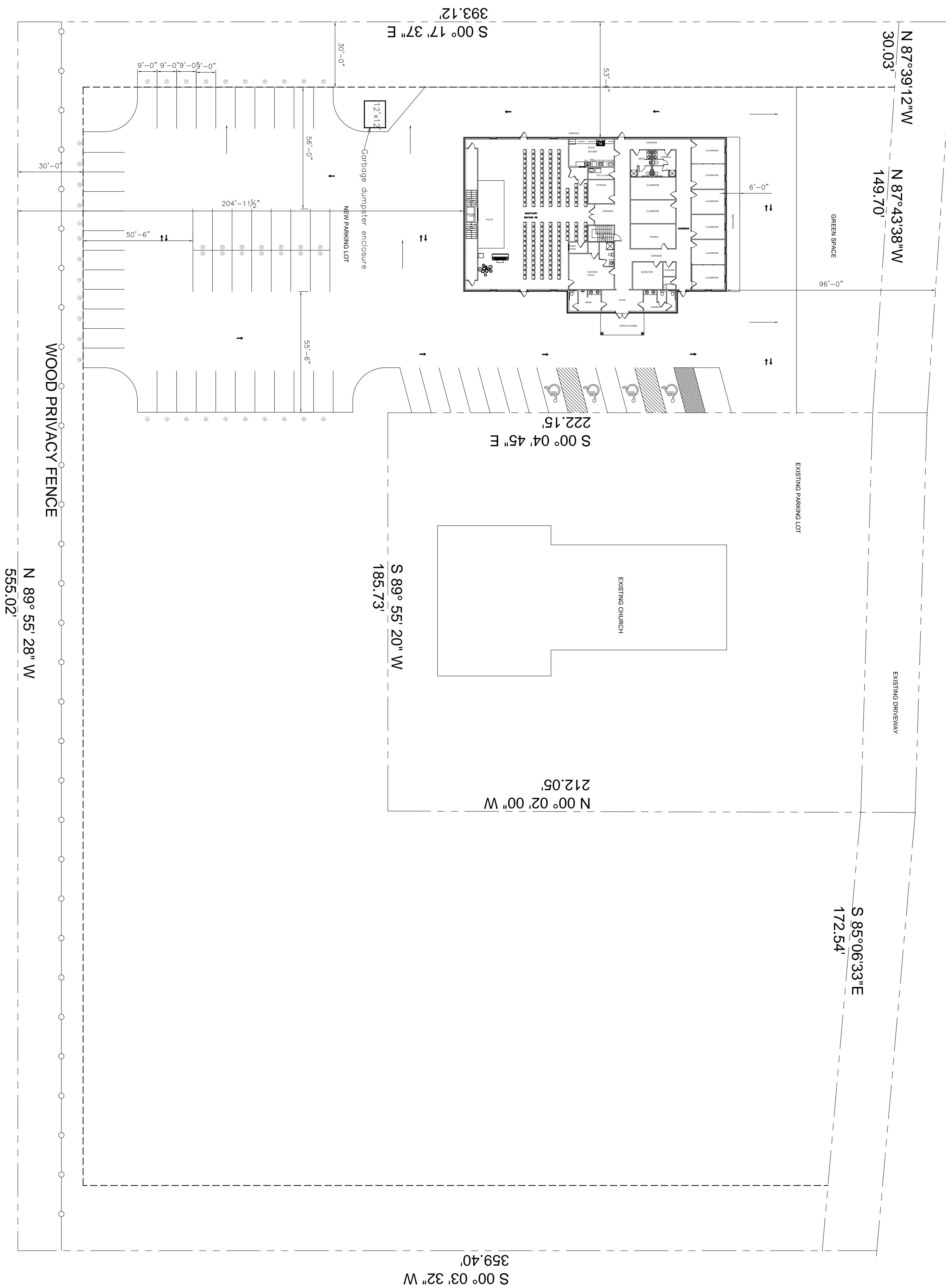
FROM: Caine Dearman, Planning and Zoning Administrator

DATE: 01/30/2026

SUBJECT: Architectural Review Consideration-Gluckstadt Management, LLC

Mt. Pleasant Baptist Church, located at 729 Gluckstadt Rd, are planning to build a Family Life Center/Multi-use addition to the church property. They have submitted a Conditional Use and Site Plan. The current site plan is still under review, but I have been working with them to get us the appropriate requirements filled. The attached site plan has their building elevations and planned exterior scheme. We wanted to get this in front of the ARC board for review and see if any recommendations are needed. They will go in front of the PnZ board on 2/24. If any updates or recommendations by the ARC is needed, we will have time to review again on 3/3 right before their MMBOA meeting on 3/10.

GLUCKSTADT RD



MT PLEASANT MB CHURCH

CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

PLOT DATE:
SCALE: 1:40

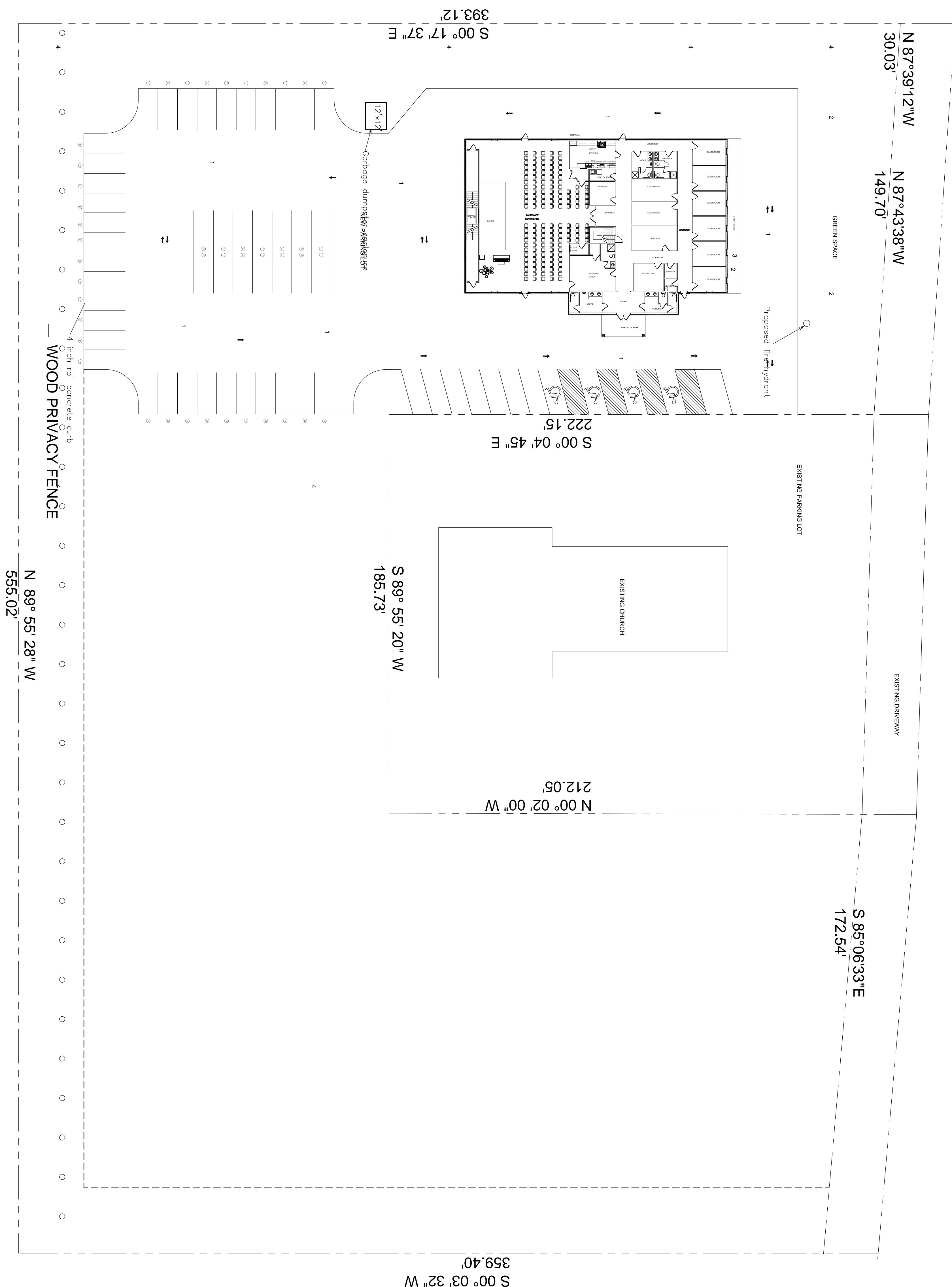
DISCLAIMER

G&M CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT ASSUMES NO LIABILITIES FOR ANY PROJECT CONSTRUCTED FROM THESE DRAWINGS. EVERY REASONABLE EFFORT HAS BEEN MADE TO ELIMINATE ERRORS AND OMISSIONS. HOWEVER THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE CONSTRUCTION BEGINS.

Notes
1. Gross lot coverage 4 acres.
2. Approximately 2.5 acres wooded and remain undisturbed around construction site.

54-PARKING SPACES
4 HANDICAP PARKING

GLUCKSTADT RD



LANDSCAPE
SCALE 1:40

LEGEND
1. ASPHALT
2. SOD
3. 3FT HEDGE
4. EXISTING TREES

G&M

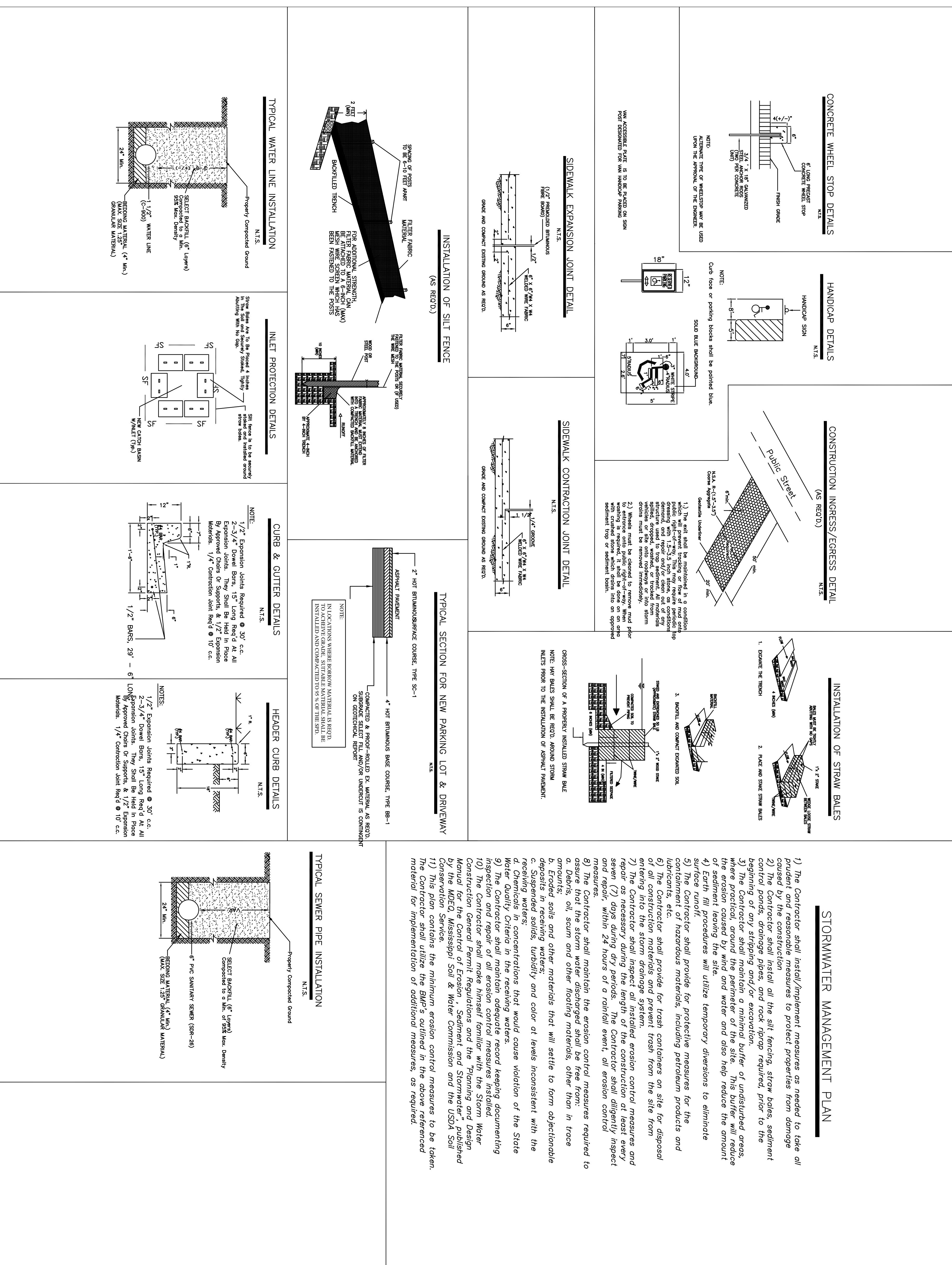
MT PLEASANT MB CHURCH

CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

PLOT DATE:
SCALE: 1:40

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SITE PLAN

SCALE 1:40



CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

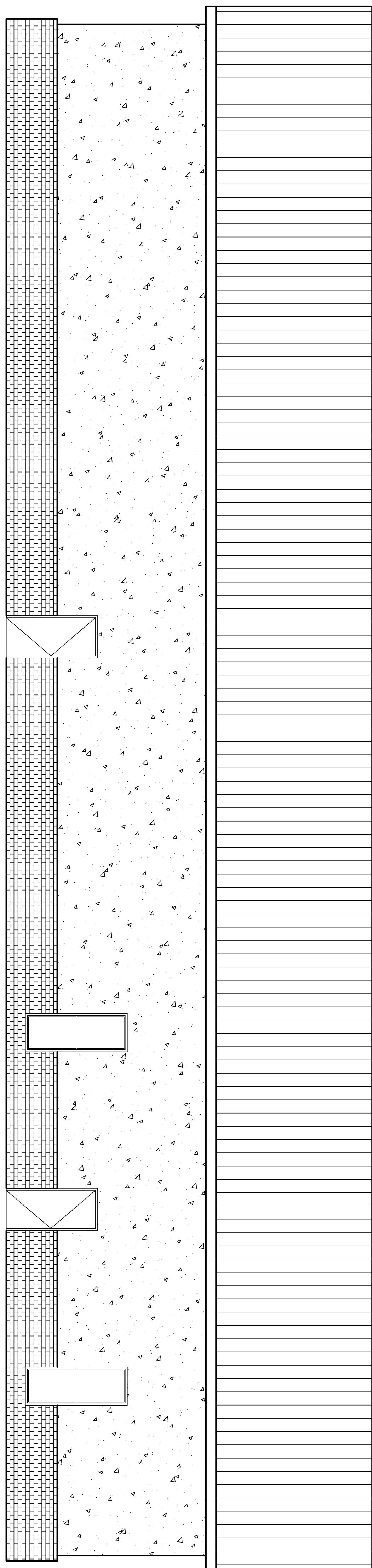
PLOT DATE:
SCALE: 1:40

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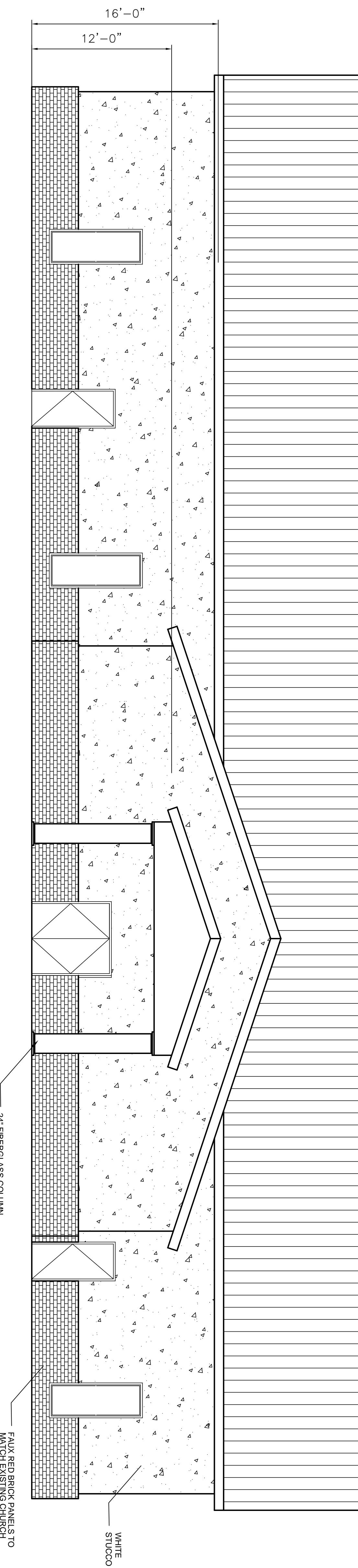
REAR ELEVATION

SCALE 3/16"=1'-0"



FRONT ELEVATION

SCALE 3/16"=1'-0"



MT PLEASANT MB CHURCH

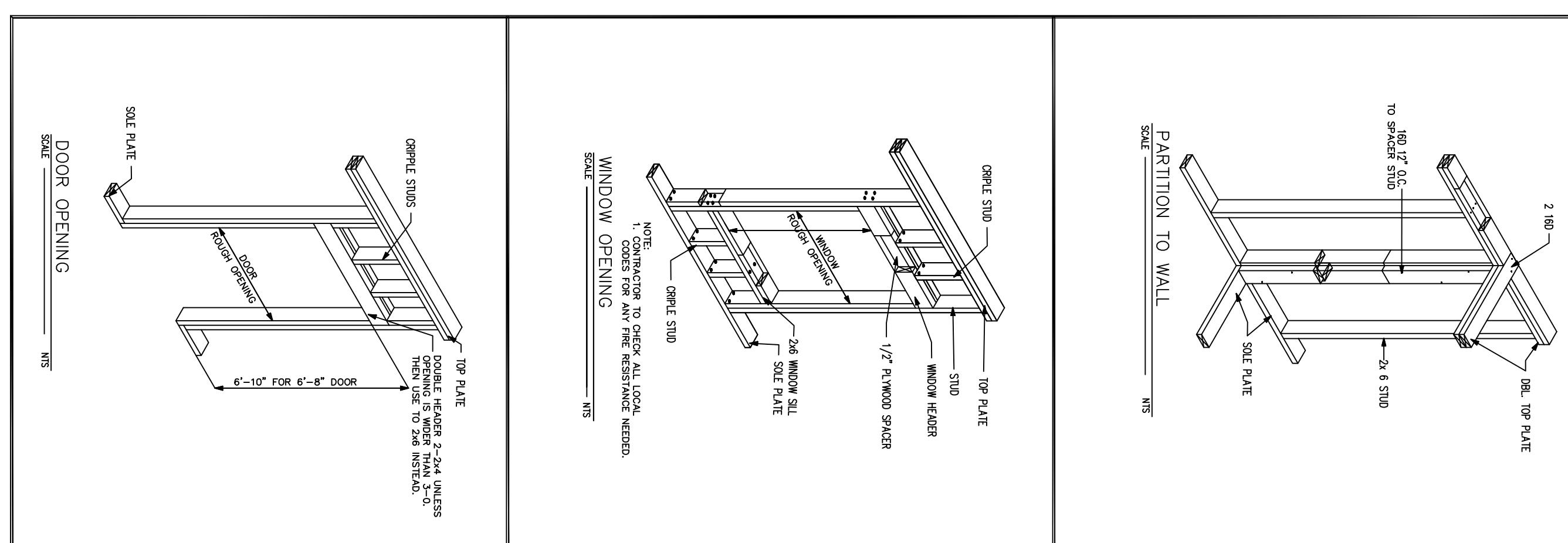
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

PLOT DATE:
SCALE:

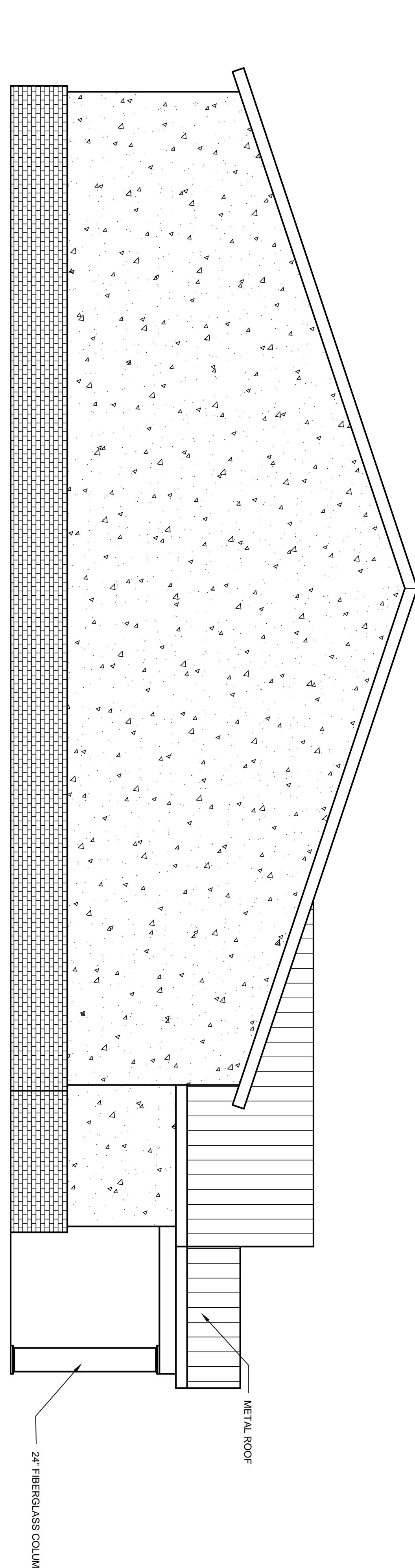
ELEVATION

DISCLAIMER

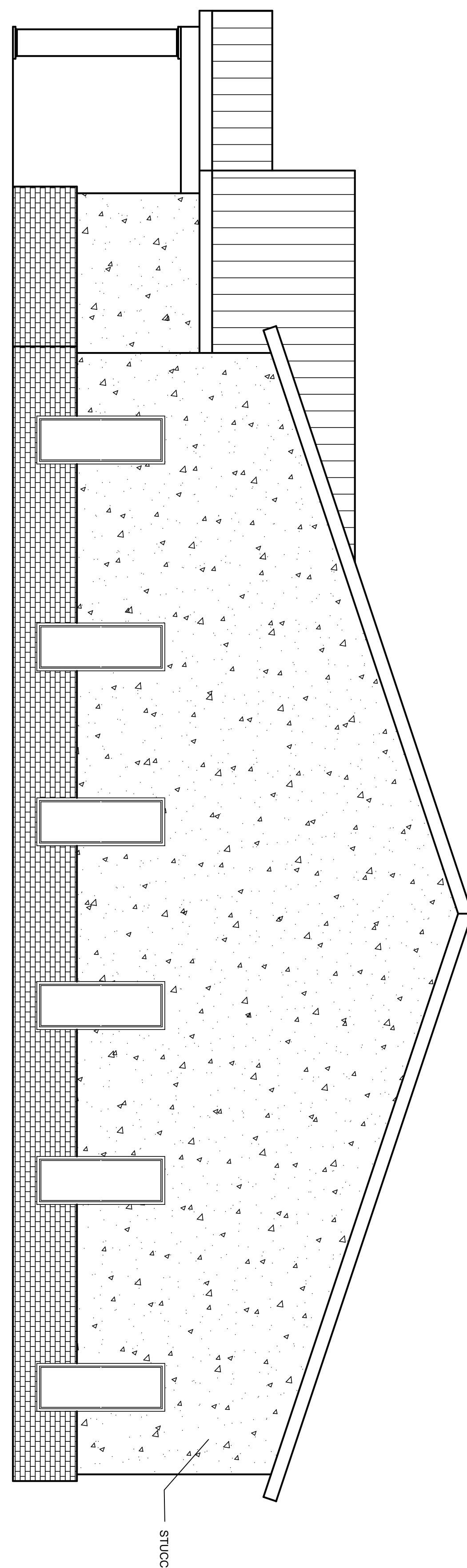
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LEFT ELEVATION
SCALE 3/16"=1'-0"



RIGHT ELEVATION
SCALE 3/16"=1'-0"



MT PLEASANT MB CHURCH

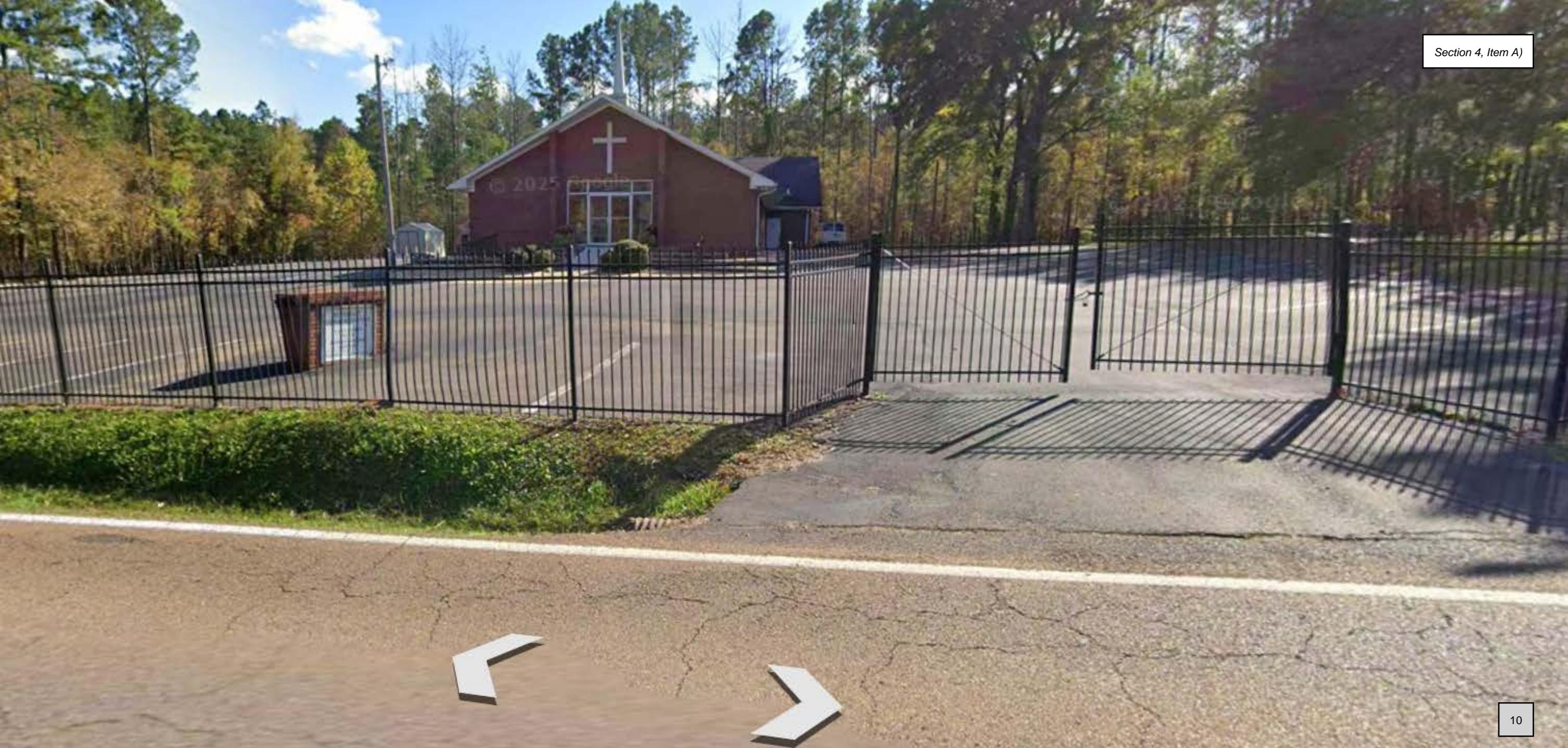
CONSULTING ENGINEERS AND ENVIRONMENTAL MANAGEMENT

PLOT DATE:
SCALE: 1/4"=1'

ELEVATION

DISCLAIMER

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Caine Dearman

From: Bridgette Smith
Sent: Friday, January 30, 2026 12:38 PM
To: KEITH Gayden; George Adams; Caine Dearman
Subject: RE: Statement of Intended Use for Family Life and Multipurpose Facility

Hello,
 Received, thank you.

From: KEITH Gayden <ministergayden@gmail.com>
Sent: Friday, January 30, 2026 12:04 PM
To: George Adams <georgepaul1902@gmail.com>; Bridgette Smith <bridgette.smith@gluckstadt.net>; Caine Dearman <caine.dearman@gluckstadt.net>
Subject: Statement of Intended Use for Family Life and Multipurpose Facility

Mount Pleasant Missionary Baptist Church
 729 Gluckstadt Road
 Gluckstadt, MS 39110
 Phone: (601*) *- 842-2462
 Email: Ministergayden@gmail.com

Date: January 12, 2026

City of Gluckstadt
 Planning and Zoning Committee
 Gluckstadt, MS

Re: Purpose and Intended Use of Family Life / Multipurpose Facility

Dear Members of the Planning and Zoning Committee,

On behalf of Mount Pleasant Missionary Baptist Church, located at 729 Gluckstadt Road, Gluckstadt, Mississippi, I respectfully submit this letter to outline the purpose and intended use of our proposed Family Life and Multipurpose Facility.

The vision for this facility is to serve as an extension of the church's long-standing commitment to spiritual growth, family enrichment, and community engagement within the City of Gluckstadt. The building will be used primarily for religious, educational, and community-oriented purposes consistent with the mission of Mount Pleasant Missionary Baptist Church.

Intended uses of the Family Life and Multipurpose Facility include, but are not limited to:

- Religious services and church-related gatherings
- Worship services and ministry events

- Church banquets and fellowship meals
- Youth activities and youth development programs
- Weddings and wedding-related ceremonies
- Educational workshops, meetings, and community outreach activities

In addition, this facility will be made available to serve as a voting precinct for the City of Gluckstadt, supporting civic participation and contributing to the democratic process within our community.

All activities conducted within the facility will be managed responsibly and in accordance with applicable city ordinances, zoning regulations, and safety requirements. Our goal is to ensure that the facility is a positive, respectful, and beneficial presence for both our congregation and the surrounding community.

We appreciate the continued support and cooperation of the City of Gluckstadt and the Planning and Zoning Committee as we seek to expand our capacity to serve. Should additional information or clarification be required, please do not hesitate to contact us.

Thank you for your time, consideration, and service to our city.

Respectfully submitted,

Rev. Dr. Keith E. Gayden
Pastor
Mount Pleasant Missionary Baptist Church



CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Architectural Review Board

FROM: Caine Dearman, Planning and Zoning Administrator

DATE: 01/30/2026

SUBJECT: Architectural Review Consideration-Gluckstadt Management, LLC

Gluckstadt Management, LLC recently purchased the property at 110 Weisenberger Rd. They quickly began working on the front exterior with updates. We noticed that no permit or plan was brought to our attention, so we stopped work in order to get this exterior change in front of the Architectural Review Board (ARC). The property owners stopped work and provided the proper information we needed. Attached within is the site plan application, color rendering of the front exterior, and current state of their build before we stopped work. They do have future plans to do more to the exterior, but we felt it was prudent to get this in front of the board for review. We do recommend approval of this renovation.

City of Gluckstadt

Application for Site Plan Review

Subject Property Address: 110 Weisenberger Road, Gluckstadt, MS 39110

Parcel #: 082H-28-008/06.00

Owner: Gluckstadt Management, LLC
(Attn: Bridgforth Rutledge)
Address: 967 Madison Ave., Suite B
Madison, MS 39110

Applicant: Gluckstadt Management, LLC
(Attn: Bridgforth Rutledge)
Address: 967 Madison Ave., Suite B
Madison, MS 39110

Phone #: 601-291-0211

Phone #: 601-291-0211

E-Mail: bridgforth.rutledge@gmail.com

E-Mail: bridgforth.rutledge@gmail.com

Current Zoning District: C-2

Acreage of Property (If applicable): 1 acre, more or less

Use sought of Property: Not known; To be determined; Probably same as previous

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)

Three (3) Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator.
Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: *By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.*

Gluckstadt Management, LLC

By: BR, Manager

Applicant Signature

January 27, 2026

Date

CITY OF GLUCKSTADT BUILDING DEPARTMENT

OFFICE USE ONLY

Date Received: _____

Application Complete & Approved to Submit to P&Z Board (please check):

Yes _____ No _____

Signature: _____

Planning & Zoning Administrator (or Authorized Representative)

Legal Description of Property

A 1.00 acre parcel of land situated in the E $\frac{1}{2}$ of the W $\frac{1}{2}$ of the NE $\frac{1}{4}$ of Section 28, Township 8 North, Range 2 East, Madison County, Mississippi, and being out of and a part of a called 8.59 acre tract as recorded in Deed Book 247 at page 263 in the Chancery Clerk's office of said county and being more particularly described as follows:

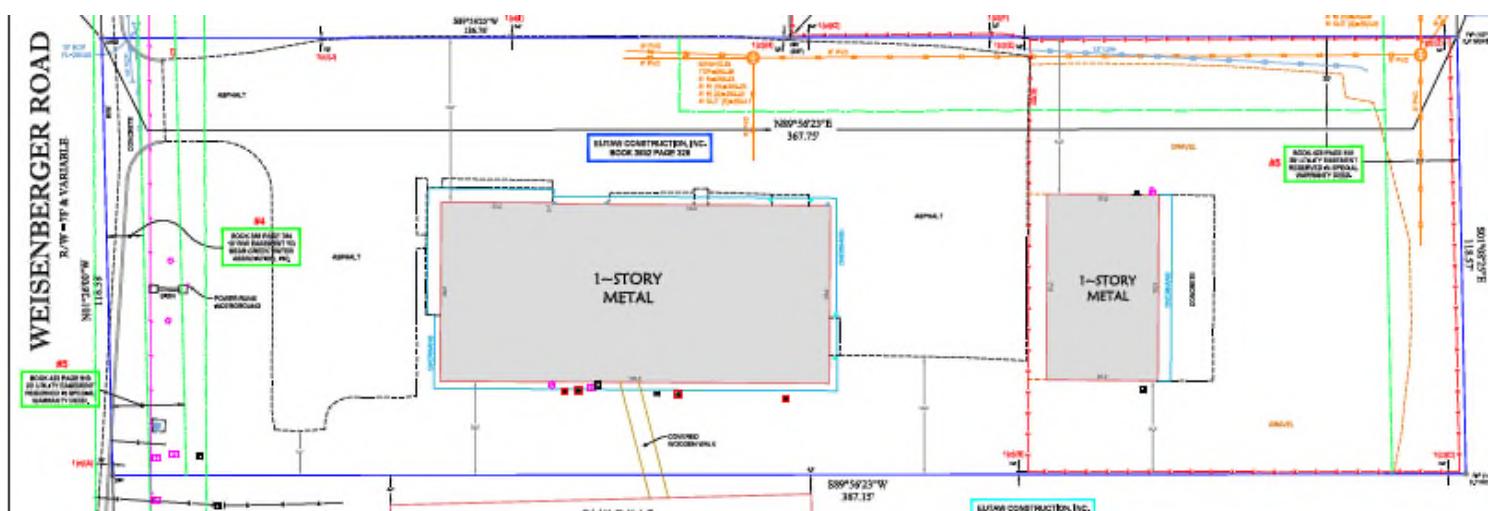
Commencing at an iron pin found at the center of the aforesaid Section 28, Township 8 North, Range 2 East, Madison County, Mississippi; thence run North, 2642.83 feet to a point; thence run East 987.86 feet to a $\frac{1}{2}$ inch iron pin found at the intersection of the South right of way line of Gluckstadt Road with the East right of way line of Weisenberger Road (S.A.P. 45 (38) connection road). Said iron pin being the most Northerly Northwest corner of the above referenced 8.59 acre tract; thence along the South right of way line of Gluckstadt Road, run North 89 degrees 56 minutes 23 seconds East, 328.59 feet to a $\frac{1}{2}$ inch iron pin found marking the Northeast corner of said 8.59 acre tract and the Northwest corner of the Ross Chapel tract as recorded in Deed Book 77, at page 430; thence leaving said South right of way line of Gluckstadt Road, and with the East property line of the aforesaid 8.59 acre tract, run South 01 degrees 08 minutes 25 seconds East, 240.70 feet to a $\frac{1}{2}$ inch iron pin found being the POINT OF BEGINNING of the herein described 1.00 acre parcel; thence continue along said East property line of 8.59 acre tract, South 01 degrees 08 minutes 25 seconds East, 118.57 feet to a $\frac{1}{2}$ inch iron pin set; thence leaving said East property line, run South 89 degrees 56 minutes 23 seconds West, 367.15 feet to a $\frac{1}{2}$ inch iron pin set on the aforesaid East right of way line of Weisenberger Road; thence along said East right of way line, run North 01 degrees 26 minutes 00 seconds West, 118.58 feet to a $\frac{1}{2}$ inch iron pin found; thence leaving said East right of way line, run North 89 degrees 56 minutes 23 seconds East, 367.75 feet to the POINT OF BEGINNING, containing 1.00 Acres (43,560 Square Feet), more or less.

Color Rendering



Note: Applicant plans to make additional changes/improvements with a separate application/approval when the proposed design is completed by applicant's architect.

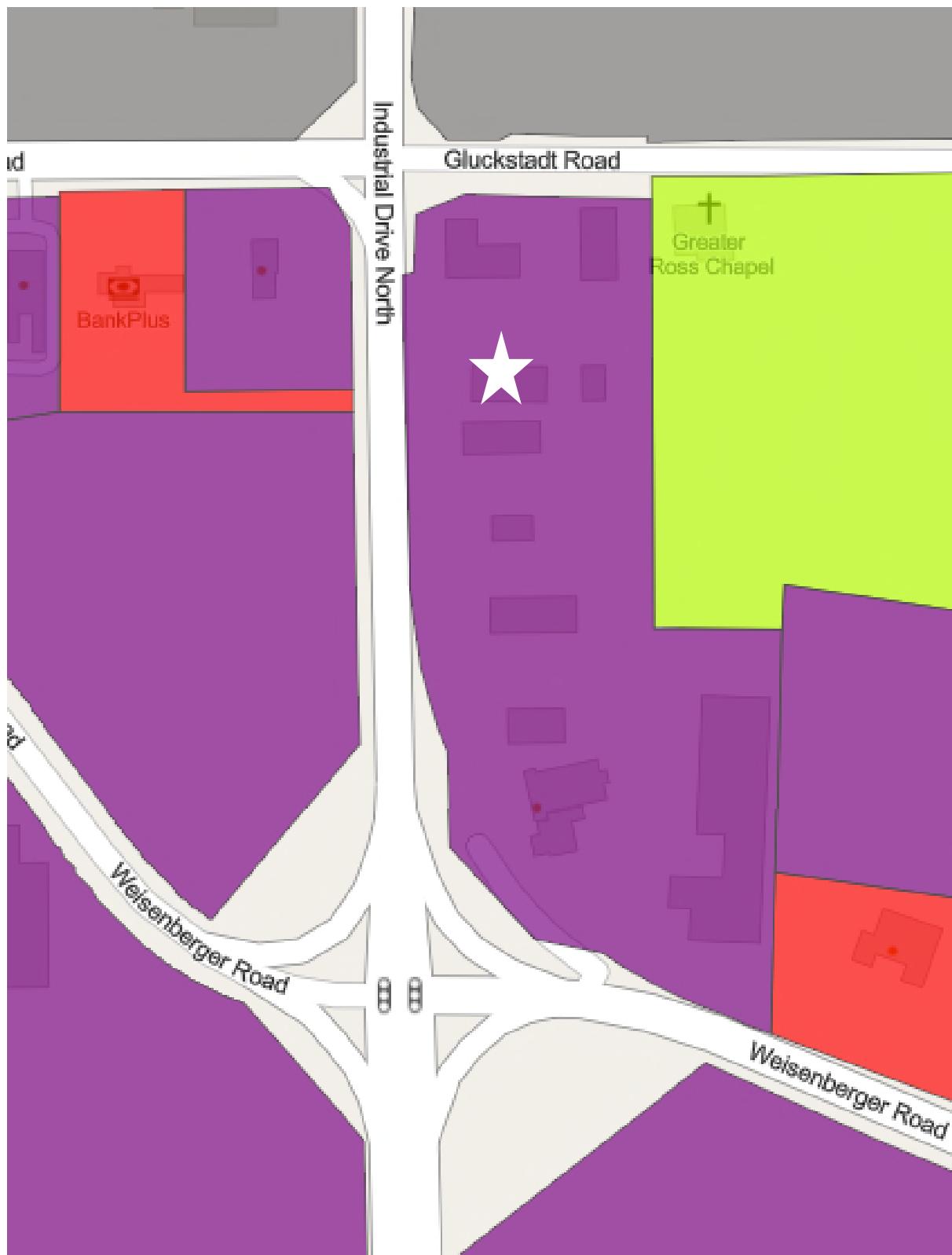
Boundary Survey

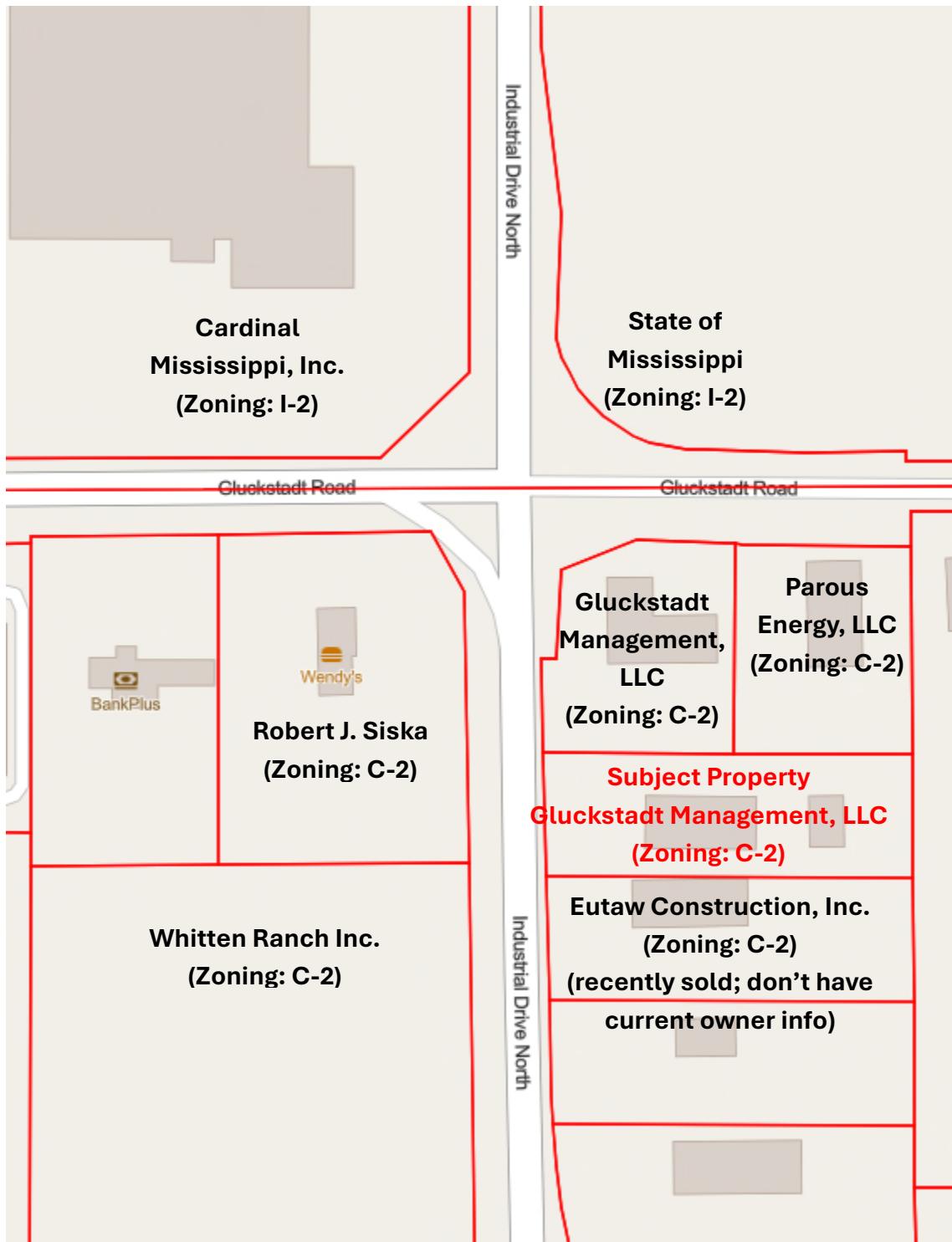


Aerial Photograph



Zoning Map



Adjacent Owners, Lot Lines, and Zoning

Section 4, Item B)

