



## REGULAR MEETING OF THE PLANNING & ZONING COMMISSION OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, April 28, 2026 at 6:00 PM

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### Agenda

This notice and agenda of the Regular Meeting of the Planning & Zoning Commission is hereby given by the undersigned. Said meeting shall be held on Tuesday, April 28, 2026, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

1. **Call to Order**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
  - A) Consideration of Minutes-Regular Meeting 3/24/26
4. **Request for Rezoning**
5. **New Site Plan Considerations**
  - A) Memo-PNZ Update
  - B) Memo-The Oaks Memory Care
  - C) Consideration of Site Plan Amendment-The Oaks Memory Care
6. **New Business**
7. **Next Meeting**
  - A) Next Regular Meeting of the Planning and Zoning Commission, May 26, 2026
8. **Adjourn**

Commissioner Patrick Beasley \_\_\_\_\_

Commissioner Lauren Bishop \_\_\_\_\_

Commissioner Andrew Duggar \_\_\_\_\_

Commissioner Melanie Greer \_\_\_\_\_

Commissioner Phillips King \_\_\_\_\_

Commissioner Katrina Myricks \_\_\_\_\_

Commissioner Kayce Saik \_\_\_\_\_

**MINUTES OF THE REGULAR MEETING  
OF THE PLANNING AND ZONING COMMISSION  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, March 24, 2026, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Melanie Greer  
Patrick Beasley  
Andrew Duggar (arrived after minutes)  
Katrina B. Myricks  
Phillips King  
Kayce Saik

Absent:

Lauren Bishop

Also present:

Zachary L. Giddy, Attorney  
Caine Dearman, Chris Buckner, and Christian Hall City of Gluckstadt

Chairman Melanie Greer called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Vice Chairman Kayce Saik opened the meeting with prayer and Melanie Greer led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**

A) Consideration of Minutes-2/24/26 PNZ Regular Meeting

**4. New Site Plan Considerations**

A) Planning and Zoning Update

**5. New Business**

A) Request for Rezoning-26-019-Sahler Property Stout Rd

B) Request for Conditional Use-26-020-Sahler Stout Rd Property-Indoor/Outdoor  
Baseball Training Facility

C) Consideration of Site Plan-26-021-Sahler Stout Rd Property-Indoor/Outdoor Baseball  
Training Facility

D) Request for Rezoning-26-015-UCR Properties 158 American Way

E) Request for Rezoning-26-023-RANDS LLC Rezoning Catlet Rd

F) Consideration of Site Plan-Martin Group-Gluckstadt Office Park

G) Request for Conditional Use-Quiet Waters-Calhoun Station & Stout Rd

H) Consideration of Site Plan-Hederman Brothers-247 Industrial Dr. N

I) Consideration of Site Plan-Taco Bell-1021 Gluckstadt Rd

**6. Next Meeting**

A) Regular Meeting April 28th, 2026, 6:00 pm City Hall

**7. Adjourn**

The Board considered the Minutes of the February 24, 2026, regular meeting. Commissioner Katrina Myricks moved to approve the minutes presented as written with no corrections. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present Commissioners. The Chairman declared the motion carried.

Commissioner Andrew Duggar arrived at the meeting.

**Public Hearing for Application for Rezoning  
for Lee Sahler - JLS Construction, LLC**

Chairman Melanie Greer opened the Public Hearing on the Petition and Application to Rezone Real Property for Lee Sahler – JLS Construction, LLC for property located on Stout Road in the City of Gluckstadt and being identified as Tax Parcel No. 082B-09-005/01.00. The subject property is presently zoned A-1 Agricultural District. Caine Dearman presented the application and advised the Board that Applicant is requesting a rezoning from the current A-1 classification to C-1A Restricted Commercial District. Mr. Dearman further advised the Board that notice posting and publication requirements were met and that applicant sent letters to surrounding properties. Mr. Lee Sahler appeared and spoke on behalf of the Application. Mr. Sahler advised the Board that the Applicant is requesting the rezoning to allow Applicant to obtain a conditional use to allow an indoor/outdoor athletic training facility on the subject property. The surrounding property is zoning C-2. The requested rezoning is for only 10 acres of the 40-acre parcel owned by Applicant.

Chad Phillips, a neighboring property owner appeared and spoke in favor of the rezoning. Mr. Phillips stated there is a need for this type of facility.

Mr. Sahler addressed concerns over light pollution.

Opposition was given an opportunity to respond.

Mr. Paul Clark appeared and spoke. Mr. Clark stated he is not opposed but is concerned about light pollution.

There was no additional opposition present or support.

Chairman Melanie Greer closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Patrick Beasley, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested rezoning to rezone the subject property from A-1 Agricultural District to C-1A Restricted Commercial District. The Chairman declared the motion carried.

**Public Hearing for Application for  
Conditional Use Permit for Lee Sahler - JLS Construction, LLC**

Chairman Melanie Greer opened the Public Hearing on the Petition and Application for Conditional Use Permit by Lee Sahler – JLS Construction, LLC for property located on Stout Road in the City of Gluckstadt and identified by Tax Parcel Number 082B-09-005/01.00. Mr. Dearman advised that the subject property is presently zoned A-1 and is the same property considered in the previous agenda item for a rezoning recommendation to the Board of Aldermen to rezone to C-1A. Mr. Dearman advised the Board that conditional use request is allowable for an indoor/outdoor athletic facility for athletic training. Mr. Sahler advised the Board that the facility will be an 11,500 sq. ft. building and that the facility will be used for practice and not for tournaments and/or games. Mr. Dearman further advised the Board that notice posting and publication requirements were met.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Melanie Greer closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Kayce Saik and seconded by Commissioner Katrina Myricks, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to an indoor/outdoor athletic facility for athletic training on the subject property in the C-1A zoning district. The Chairman declared the motion carried.

**Site Plan – Lee Sahler - JLS Construction, LLC**

The Board next considered the site plan submitted by Lee Sahler - JLS Construction, LLC for property located on Stout Road in the City of Gluckstadt and being identified as Tax Parcel No. 082B-09-005/01.00. Caine Dearman advised the Commissioners that the subject property is the same as the subject property in the request for rezoning and conditional use hearing just prior to consideration of this site plan for an indoor/outdoor athletic training facility. Mr. Dearman presented Commissioners with the site plan and advised the Board that the City’s Planning & Zoning Department had reviewed the site plan and meets the City’s requirements. Lee Sahler addressed the Commissioners regarding the coloring of the building – updated from the submitted site plan. Mr. Sahler further stated the site plan allows for sufficient parking and landscape requirements are met. Mr. Sahler stated the dumpster needs to be repositioned. On motion by Commissioner Phillips King and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan with the condition of revisions prior to the Mayor and Board of Aldermen meeting that the site plan be revised to include the dumpster relocation, ingress/egress, concrete pad and new color rendering. The Chairman declared the motion carried.

**Public Hearing for Application for Rezoning  
for UCR Management, LLC**

Chairman Melanie Greer opened the Public Hearing on the Petition and Application to Rezone Real Property for UCR Management, LLC for property located at 158 American Way in the City of Gluckstadt and being identified as Tax Parcel No. 082I-29-010/11.00. The subject property is presently zoned partially I-2 Heavy Industrial District and partially C-2 Highway Industrial District. Caine Dearman presented the application and advised the Board that notice posting and publication requirements were met and that applicant sent letters to surrounding properties. Warren Miconi appeared and spoke on behalf of the Applicant. Mr. Miconi advised the Board that the property is currently zoned half C-2 and half I-2 and Applicant is seeking to rezone the C-2 portion of the property to make the entire property zoned as I-2 for the purpose of marketing the property to potential tenants. Commissioner Phillips King expressed concerns over the property being rezoned to I-2 based on purpose of industrial district and further that the industrial zoning is inconsistent with the City’s Comprehensive Plan where it is shown as C-2.

Opposition was given an opportunity to respond, but there was no opposition present.

Applicant stated that it would maintain a 50 foot buffer zone and work with neighboring properties.

Chairman Melanie Greer closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Kayce Saik and seconded by Commissioner Phillips King, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they deny the requested rezoning to rezone the subject property from a split zoning of C-2 Highway Commercial District and I-2 Heavy Industrial District to fully I-2 Heavy Industrial District. The Chairman declared the motion carried.

**Public Hearing for Application for Rezoning  
for RANDS, LLC**

Chairman Melanie Greer opened the Public Hearing on the Petition and Application to Rezone Real Property for RANDS, LLC for property located on Catlett Road in the City of Gluckstadt and being identified as Tax Parcel Nos. 082D-19-010/00.00 and 082D-19-010/01.00. Caine Dearman presented the application and advised the Board that Applicant is requesting a rezoning from the current R-1 classification to R-2 classification based on a mistake. Mr. Dearman further advised the Board that notice posting and publication requirements were met and that applicant sent letters to surrounding properties. Mr. Rick Eisenberger appeared and spoke on behalf of the Applicant. Mr. Eisenberger discussed the procedural history and advised Commissioners that the property was rezoned from R-1 to R-2 by the County prior to Gluckstadt's incorporation. The rezoning was appealed and the Board of Supervisors and the Madison County Circuit Court upheld the decision to rezone from R-1 to R-2. Upon incorporation Gluckstadt adopted the County Map and modified Zoning Ordinance and Comprehensive Plan. Mr. Eisenberger discussed the *Dicks v. City of Vicksburg* case wherein there was a mistake in zoning.

Opposition was given an opportunity to respond.

Penny Coulon, who lives across the street from the subject property appeared and spoke in opposition to the rezoning. Ms. Coulon stated she has concerns over the number of houses to be built and congestion of the roadway.

There was no additional opposition present or support.

Chairman Melanie Greer closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Patrick Beasley, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the requested rezoning to rezone the subject property from R-1 to R-2. The Chairman declared the motion carried.

**Site Plan – The Martin Firm PLLC and the Martin Group**

The Board next considered the site plan submitted by The Martin Firm PLLC and the Martin Group for property located at 342 Old Jackson Road in the City of Gluckstadt and identified by Tax Parcel Number 082E-15-003/00.00. Caine Dearman presented Commissioners with the site plan and stated the Applicant plans to build a 2,100 sq. ft. building on the subject property. Mr. Dearman advised that Applicant’s plans have been approved by the Gluckstadt ARC. Mr. Dearman advised that the Applicant requested and received a dimensional variance in 2025 to reduce the side and rear setbacks on the subject property and that Applicant has satisfied the parking space requirements. Applicant will utilize existing dumpster per agreement with Gluckstadt Office Park. Mr. Dearman advised the Board that the City’s Planning & Zoning Department has reviewed the site plan and recommends approval. On motion by Commissioner Kayce Saik and seconded by Commissioner Katrina Myricks, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan as submitted. The Chairman declared the motion carried.

**Public Hearing for Application for Conditional Use Permit  
for Matt Vitart / Quiet Waters Ministries, Inc.**

The Board next considered the site plan submitted by Matt Vitart on behalf of Quiet Waters Ministries, Inc. for property located at the corner of Calhoun Station Parkway and Stout Road in the City of Gluckstadt and being identified as Tax Parcel Nos. 082B-09-002/00.00 and 082B-09-002/07.00. Mr. Dearman advised that the subject property is presently zoned A-1, C-2, and R-1. Mr. Dearman advised the Board that notice posting and publication requirements were met and that applicant sent letters to surrounding properties. Matt Vitart appeared and spoke on behalf of the Applicant. Mr. Vitart advised the Board that a conditional use for the subject property was originally granted in 2023 for a similar use. Applicant currently operates at a different property outside the City limits. Applicant is seeking the conditional use to operate a respite ministry as a quai-public facility.

Opposition was given an opportunity to respond, but there was no opposition present.

Chad Phillips, a neighboring property owner appeared and spoke in favor of the requested conditional use and stated he believes the requested use to be compatible with the area.

Chairman Melanie Greer closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Kayce Saik, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to operate a quasi-public respite ministry center on the subject property in the A-1, C-2, and R-1 zoning districts. The Chairman declared the motion carried.

**Site Plan Amendment – Doug Hederman / Hederman Brothers Printing**

The Board next considered the site plan submitted by Doug Hederman / Hederman Brothers Printing for property located at 247 Industrial Drive North in the City of Gluckstadt and identified by Tax Parcel Number 082E-21-017/08.00. Caine Dearman presented Commissioners with the site plan and stated the Applicant is requesting approval of a previously approved site plan which was approved in 2025. The Applicant is resubmitting the site plan for additional warehousing and office space, but the project is similar to the previous approved site plan. Mr. Dearman advised that Applicant has satisfied the parking and landscape requirements that the City’s Planning & Zoning Department has reviewed the site plan and recommends approval. On motion by Commissioner Andrew Duggar and seconded by Commissioner Patrick Beasley, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan as submitted. The Chairman declared the motion carried.

**Site Plan Amendment – Albert Palacios – Pacific Bells, LLC (Taco Bell)**

The Board next considered the site plan submitted by Albert Palacios – Pacific Bells, LLC for property located at 1029 Gluckstadt Road in the City of Gluckstadt and identified as West side of Tax Parcel Number 082I-29-010/22.00. Caine Dearman presented Commissioners with the site plan and stated the Applicant is requesting approval of a site plan for Taco Bell restaurant. Taco Bell representatives were present via video stream and advised the Board that the proposed Taco Bell would be a 2,241 sq. ft. building next to Take 5. Applicant plans an added privacy fence and screening between the subject restaurant and Red Oak Subdivision. The proposed restaurant will not be open 24/7. Closing will be 1:00 a.m. on Friday and Saturday and 12:00 a.m. on Sunday. The site plan includes light pollution illustrated to not project on residential lots. The parking and drive lane meet requirements. Applicant has a 25-year lease with Taco Bell franchising. Gluckstadt ARC review is still ongoing as they work with Applicant through modifications.

Commissioners expressed concerns over proximity to residential neighborhoods; compatibility with abutting neighborhood; and location of outside existing turn lane which would cause traffic back up. On motion by Commissioner Phillips King and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they deny the site plan as submitted. The Chairman declared the motion carried.

**NEW BUSINESS**

Mr. Dearman updated Commissioners on recent Planning and Zoning matters.

**OLD BUSINESS**

None.

There was no further business to be presented.

**ADJOURN**

Commissioner Kayce Saik moved that the meeting be adjourned. The motion was seconded by Commissioner Katrina Myricks and approved unanimously by all present Commissioners. The Chairman declared the Motion carried.

**WITNESS OUR HANDS**, this the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
MELANIE GREER, Chairman

\_\_\_\_\_  
KAYCE SAIK, Vice Chairman/Secretary



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

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**TO:** Planning and Zoning Board

**FROM:** Caine Dearman, Planning and Zoning Administrator

**DATE:** 04/28/26

**SUBJECT:** Planning and Zoning-Update

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Since the last regular meeting of the PNZ board, we have a few items approved by the MMBOA. All the items from last meeting were approved by the MMBOA with one contingent on final exterior approval by the ARC Board. We are currently working with Pacific Bell on their exterior material and color scheme.

We only have one item to discuss tonight and that will be presented here shortly.

We have a few other items in the works but still waiting on some revisions. We hope to bring those to you next month.



## CITY OF GLUCKSTADT

MISSISSIPPI  
PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

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**TO:** Planning and Zoning Commission

**FROM:** Caine Dearman, Planning and Zoning Administrator

**DATE:** 04/21/26

**SUBJECT:** Consideration of Site Plan Amendment-The Oaks Memory Care

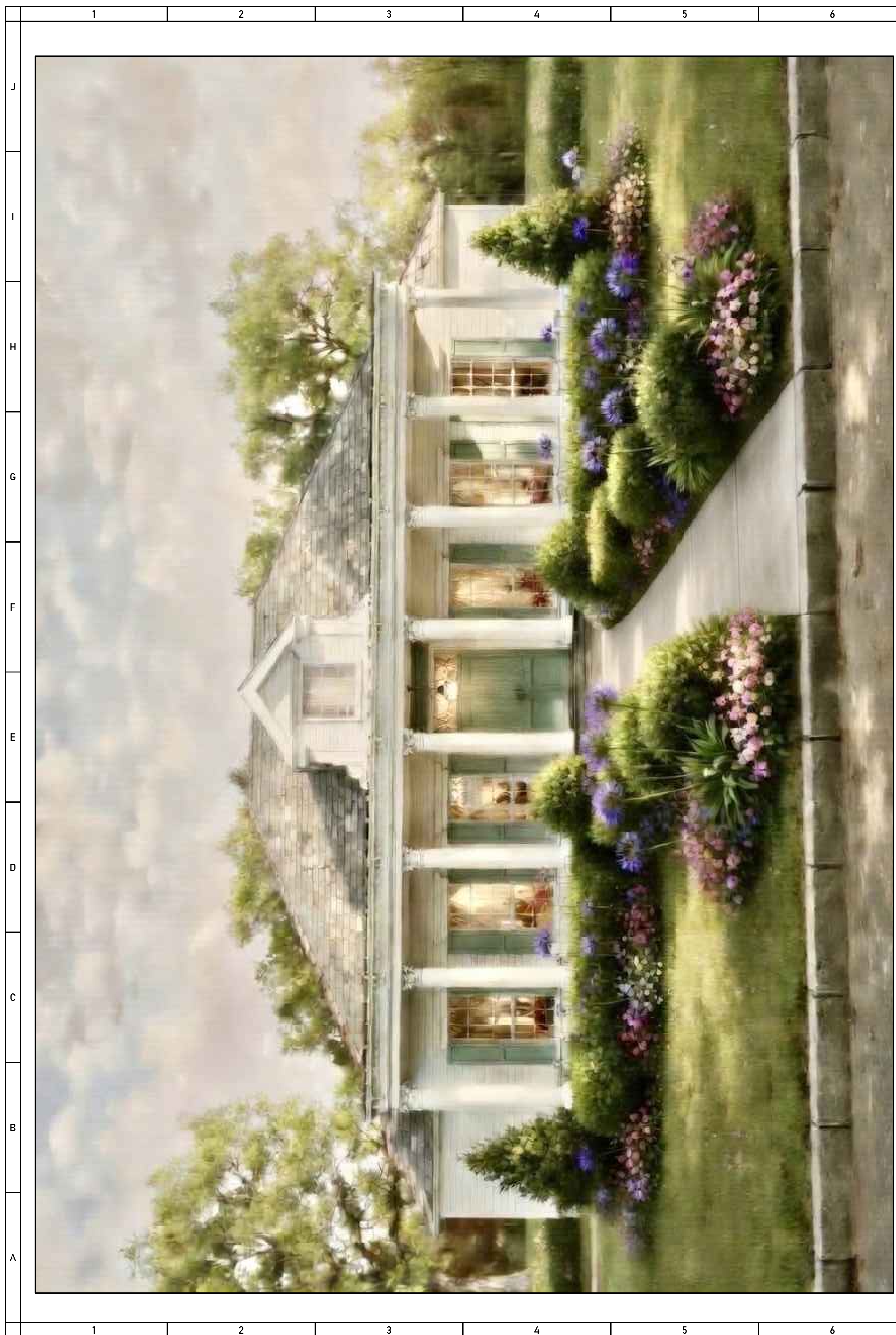
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Chad Phillips is requesting approval of a site plan amendment for The Oaks property. Previously approved in 2025, he is planning an addition of a new Memory Care building on the Oaks property on Calhoun Station. This addition is an 11,000 SF live in Memory Care facility. The original plan was phased out with this future building in mind, and they did receive approval for Conditional Use for the entire property in 2025.

Included in this amendment is an adjustment to the existing retention pond in order to fit the new building in. They have provided the proper hydraulics report for the new pond and we have confirmed with City Engineer that the pond is sufficiently designed to account for this addition.

We presented this new addition to the ARC Board last week, and they voted to recommend approval of the exterior scheme and landscaping.

We do recommend the approval of this site plan amendment.



APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT REVIEW SET FOR:  
**THE OAKS MEMORY CARE FACILITY**

654 CALHOUN STATION PARKWAY  
 MADISON, MS 39110

SHEET INDEX

- TITLE - TITLE PAGE
- LANDSCAPE PLAN
- C-00 COVER SHEET
- C-01 EXISTING PLAN
- C-02 SITE & UTILITY PLAN
- C-03 GRADING PLAN
- C-04 SEWER PLAN & PROFILE 1
- C-05 SEWER PLAN & PROFILE 2
- C-06 EROSION CONTROL PLAN
- C-07 EROSION CONTROL DETAILS
- C-08 CONSTRUCTION DETAILS - 1
- C-09 CONSTRUCTION DETAILS - 2
- C-10 CONSTRUCTION DETAILS - 3
- C-11 CONSTRUCTION DETAILS - 4
- C-12 CONSTRUCTION DETAILS - 5
- 1.00.0 - EXISTING SITE PLAN W/ SATELLITE IMAGE
- 1.00.1 - EXISTING SITE PLAN
- 1.10.0 - PROPOSED SITE PLAN W/ SATELLITE IMAGE
- 1.10.1 - PROPOSED SITE PLAN
- 1.10.2 - ENLARGED PROPOSED SITE PLAN
- 1.11.0 - DUMPSTER ENCLOSURE DETAILS
- 1.20.0 - FLOOR PLAN
- 1.21.0 - ENLARGED FLOOR PLANS
- 1.30.0 - ROOF PLAN
- 2.00.0 - PROJECT RENDERINGS
- 2.00.1 - PROJECT RENDERINGS
- 2.00.2 - PROJECT RENDERINGS
- 2.10.0 - EXTERIOR BUILDING ELEVATIONS
- 2.20.0 - EXTERIOR BUILDING ELEVATIONS
- 2.30.0 - EXTERIOR BUILDING ELEVATIONS

CODE INFORMATION

CODE ENFORCEMENT JURISDICTION  
 CITY-GLUCKSTADT  
 COUNTY-MADISON  
 STATE-MISSISSIPPI

APPLICABLE CODE DESIGN DATA  
 2018 INTERNATIONAL BUILDING CODE  
 PLUMBING CODE:  
 2018 INTERNATIONAL PLUMBING CODE  
 MECHANICAL CODE:  
 2018 INTERNATIONAL MECHANICAL CODE  
 FIRE CODE:  
 2018 INTERNATIONAL FIRE CODE  
 NFPA 101 LIFE SAFETY CODE - 2012  
 FUEL GAS CODE:  
 2018 INTERNATIONAL FUEL GAS CODE  
 ELECTRICAL CODE:  
 2017 NATIONAL ELECTRIC CODE

PROJECT TYPE  
 NEW CONSTRUCTION

PROJECT TEAM

PROJECT  
 THE OAKS MEMORY CARE FACILITY

OWNER NAME  
 CPOR REL, LLC  
 282 LAKE VILLAGE DRIVE  
 MADISON, MS 39110

OWNER CONTACT:  
 CHAD PHILLIPS  
 CEO & PRESIDENT  
 601-955-7911 - P  
 chad@oaksresidence.com

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PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
 Calhoun Station Parkway, Madison, MS 39110

PROJECT NUMBER: 25.004.01  
 DATE: 04/08/2026

REVISIONS: 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_

PRELIMINARY CONCEPT  
 DRAWINGS ONLY  
 NOT FOR CONSTRUCTION

SHEET TITLE:  
 TITLE PAGE

SHEET NUMBER  
**TITLE**



F1 Exterior Rendering - Rear Facade (East)  
2.00.0 Scale: NTS



A1 Exterior Rendering - Front Facade (West)  
2.00.0 Scale: NTS

**Palladian Blue**  
HC-144

**Benjamin Moore**

G11 Front Door Color  
2.00.0 Scale: NTS

**White Dove**  
OC-17

D11 Exterior Wall Color  
2.00.0 Scale: NTS

A11 Shingle Color  
2.00.0 Scale: NTS

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PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
Calhoun Station Parkway, Madison, MS 39110

PROJECT NUMBER: 25.004.01  
DATE: 04/08/2026

REVISIONS: 1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

PRELIMINARY CONCEPT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

SHEET TITLE:  
PROJECT RENDERINGS

SHEET NUMBER  
**2.00.0**



F1 Exterior Rendering - Side Facade (South)  
2.001 Scale: NTS



A1 Exterior Rendering - Side Facade (North)  
2.001 Scale: NTS

**Palladian Blue**  
HC-144

**Benjamin Moore**

G11 Front Door Color  
2.001 Scale: NTS

**White Dove**  
OC-17

D11 Exterior Wall Color  
2.001 Scale: NTS



A11 Shingle Color  
2.001 Scale: NTS

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PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
Calhoun Station Parkway, Madison, MS 39110

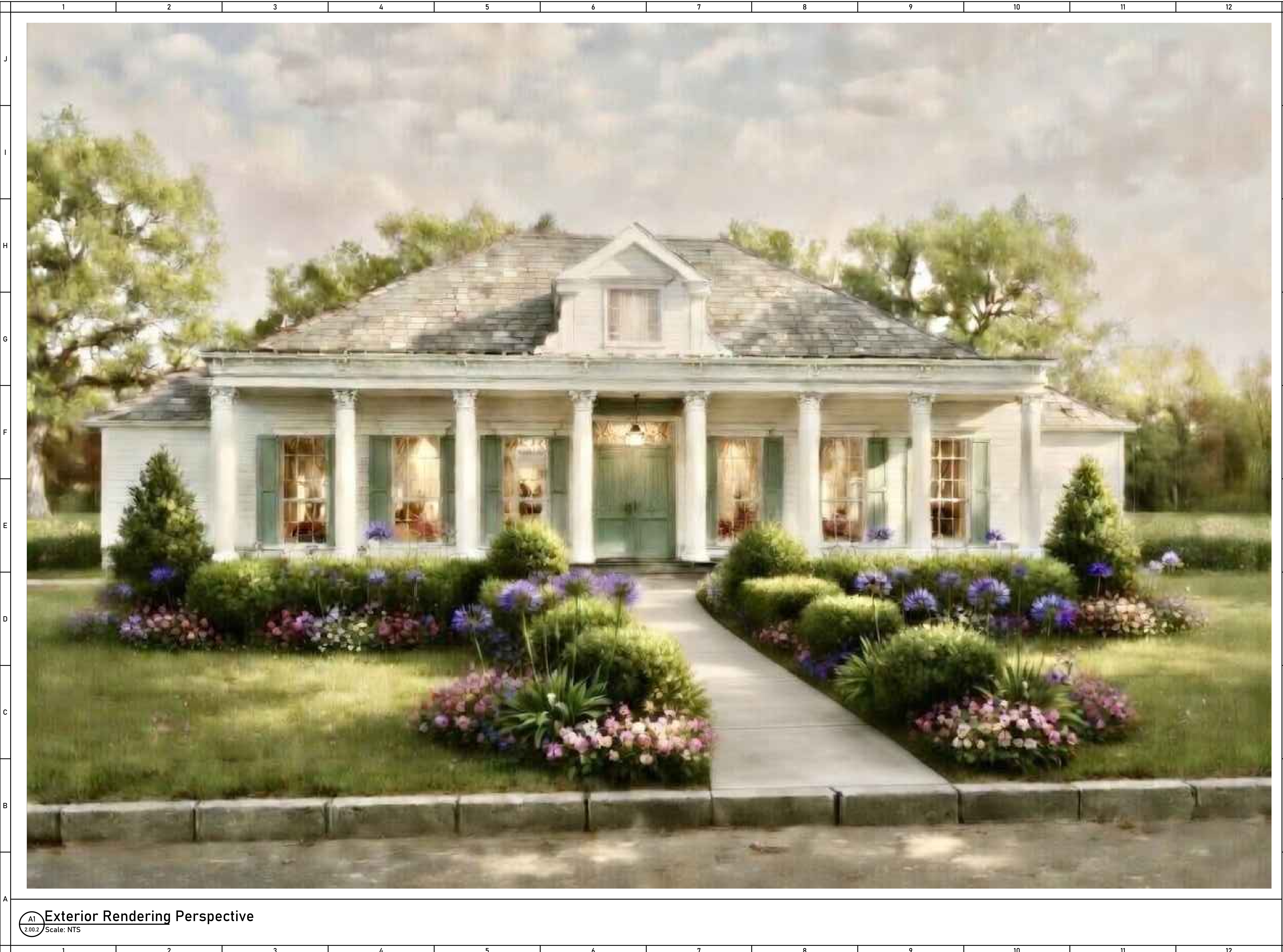
PROJECT NUMBER: 25.004.01  
DATE: 04/08/2026

REVISIONS: 1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

PRELIMINARY CONCEPT  
DRAWINGS ONLY  
NOT FOR CONSTRUCTION

SHEET TITLE:  
PROJECT RENDERINGS

SHEET NUMBER  
**2.00.1**



**A1 Exterior Rendering Perspective**  
 Scale: NTS

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PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
 Calhoun Station Parkway, Madison, MS 39110

PROJECT NUMBER: 25.004.01  
 DATE: 04/08/2026

REVISIONS: 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_

PRELIMINARY CONCEPT  
 DRAWINGS ONLY  
 NOT FOR CONSTRUCTION

SHEET TITLE:  
 PROJECT RENDERINGS

SHEET NUMBER  
**2.00.2**



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PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
 Calhoun Station Parkway, Madison, MS 39110

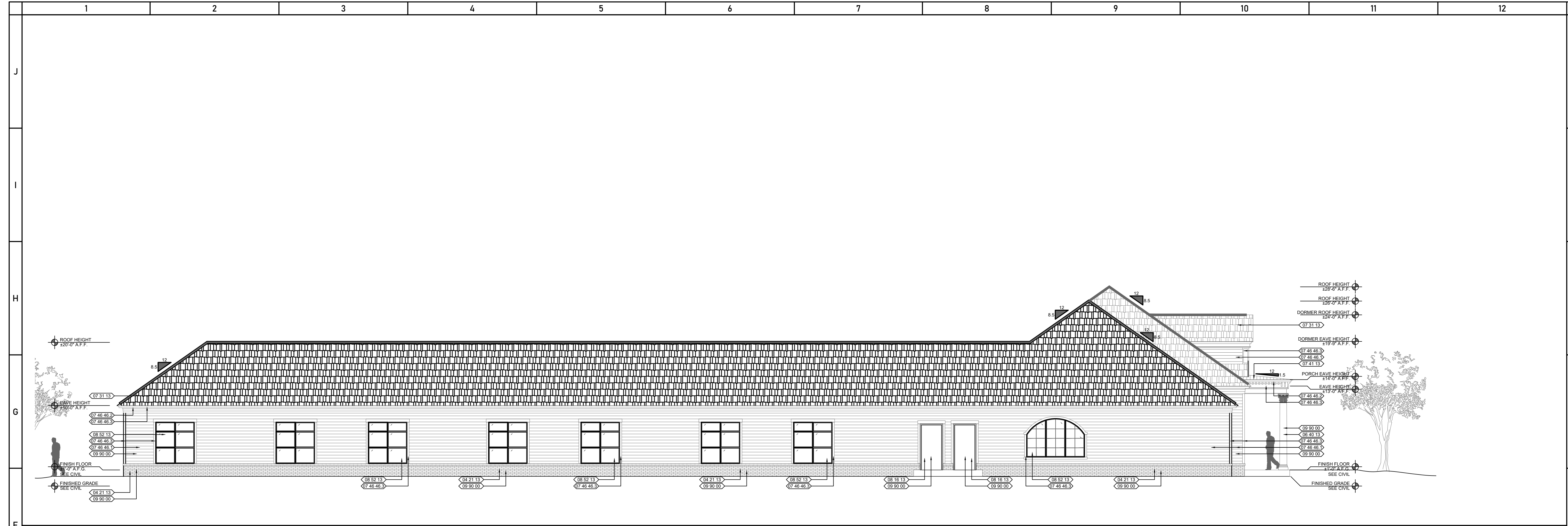
PROJECT NUMBER: 25.004.01  
 DATE: 04/08/2026

REVISIONS: 1.  
 2.  
 3.  
 4.

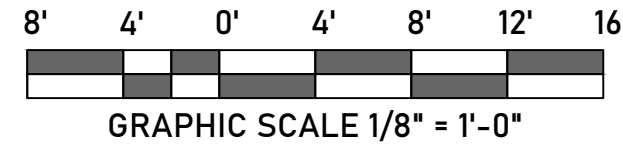
PRELIMINARY CONCEPT  
 DRAWINGS ONLY  
 NOT FOR CONSTRUCTION

SHEET TITLE:  
 EXTERIOR  
 BUILDING  
 ELEVATIONS

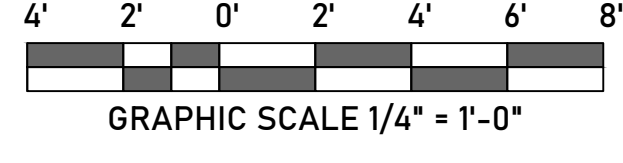
SHEET NUMBER  
**2.10.0**



**F1** Exterior Elevation - Side Facade (North)  
 Scale: 1/8" = 1'-0"



**A1** Exterior Elevation - Front Facade (West)  
 Scale: 1/4" = 1'-0"



- ELEVATION KEY NOTES**
- 04 21 13 MASONRY VENEER  
 ASTM C216 GRADE MW, TYPE FBS EXPOSED BRICK VENEER, 3-5/8" X 2-1/4" X 7-5/8" COLOR AND TEXTURE TO BE SELECTED BY OWNER, PROVIDE SELECTION SAMPLES - BRICK TO BE PAINTED
  - 06 40 13 EXTERIOR ARCHITECTURAL WOODWORK  
 HANDCRAFTED ARCHITECTURAL WOOD COLUMNS, BASIS OF DESIGN MELTON CLASSICS, CLASSICWOOD ROMAN CORINTHIAN #250RC ARCHITECTURAL WOOD COLUMNS, DESIGNED FOR EXTERIOR APPLICATIONS
  - 07 31 13 ASPHALT SHINGLES  
 FIBERGLASS ASPHALT SHINGLES, BASIS OF DESIGN - CERTAINTED LANDMARK PRO
  - 07 41 13 METAL ROOF PANELS  
 24 GAUGE MECHANICALLY SEALED STEEL ROOFING SYSTEM, CONCEALED FASTENING, STANDARD FINISH, COLOR SELECTED BY OWNER
  - 07 46 46 FIBER CEMENT SIDING  
 07 46 46.1 - FIBER CEMENT PLANK LAP SIDING, TYPE A, GRADE II, ASTM C1186, BASIS OF DESIGN - JAMES HARDIE BUILDING PRODUCTS, INC. HARDIE PLANK LAP SIDING, SMOOTH TEXTURE, 5-1/4 INCH WITH 4 INCH EXPOSURE  
 07 46 46.2 - FIBER CEMENT VENTED SOFFIT PANELS, TYPE A, GRADE II, ASTM C1186, BASIS OF DESIGN - JAMES HARDIE BUILDING PRODUCTS, INC. HARDIE SOFFIT, SMOOTH TEXTURE, 12 INCH WIDTH, LENGTH AS REQUIRED  
 07 46 46.3 - FIBER CEMENT TRIM, TYPE A, GRADE I, ASTM C1186, BASIS OF DESIGN - JAMES HARDIE BUILDING PRODUCTS, INC. HARDIETRIM TRIM BOARDS, SMOOTH TEXTURE, WIDTH, THICKNESS AND LENGTH AS REQUIRED
  - 08 14 00 1-3/4" THICK SOLID WOOD PRE HUNG FRONT ENTRY DOOR, WITH ENGINEERED STILE AND RAIL, DOUBLE PANE, INSULATED LOW E TEMPERED GLAZING, STAIN GRADE AND/OR PAINT GRADE FINISH AS PER OWNER DIRECTION, SPECIES TO BE SELECTED BY OWNER
  - 08 16 13 FIBERGLASS ENTRY DOORS  
 FIBERGLASS REINFORCED THERMOSET COMPOSITE, WOOD GRAINED STAINABLE/PAINTABLE ENTRY DOORS, BASIS OF DESIGN - THERMA TRU OAK COLLECTION, PROVIDE ROT RESISTANT FRAMES, MULLIONS, BRICKMOLD ETC. - KILN DRIED MATERIALS. STANDARD JAMB WIDTH, ALUMINUM THERMAL BREAK SILL, FACTORY GLAZED DOUBLE PANE UNIT
  - 08 52 13 ALUMINUM CLAD WOOD WINDOWS  
 ALUMINUM CLAD WOOD WINDOWS, BASIS OF DESIGN SIERRA PACIFIC WINDOWS, FEELSAFE, WITH KILN DRIED WATER REPELLENT PRESERVATIVE TREATED WOOD, PRE TREATED ALUMINUM SURFACE GLAZING WITH BAKED ON POWDER COAT FINISH, FACTORY GLAZED LOW E INSULATED, TEMPERED AS REQUIRED
  - 09 90 00 PAINTS AND COATINGS  
 PROVIDE INTERIOR AND EXTERIOR PAINT AND COATING SYSTEMS AS SPECIFIED FOR COMPATIBLE SUBSTRATE APPLICATIONS

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MILLS CONTRACTING, LLC  
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MADISON, MISSISSIPPI 39110  
601-339-6455  
www.millscontracting.net

PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
Calhoun Station Parkway, Madison, MS 39110

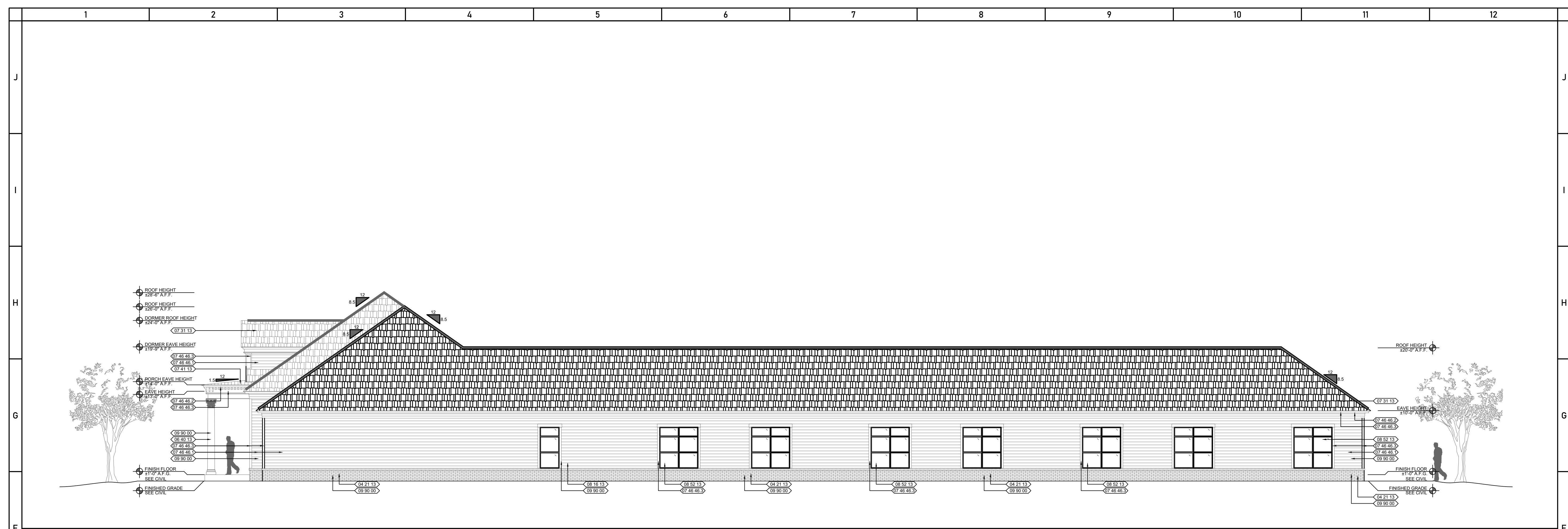
PROJECT NUMBER: 25.004.01  
DATE: 04/08/2026

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3. \_\_\_\_\_  
4. \_\_\_\_\_

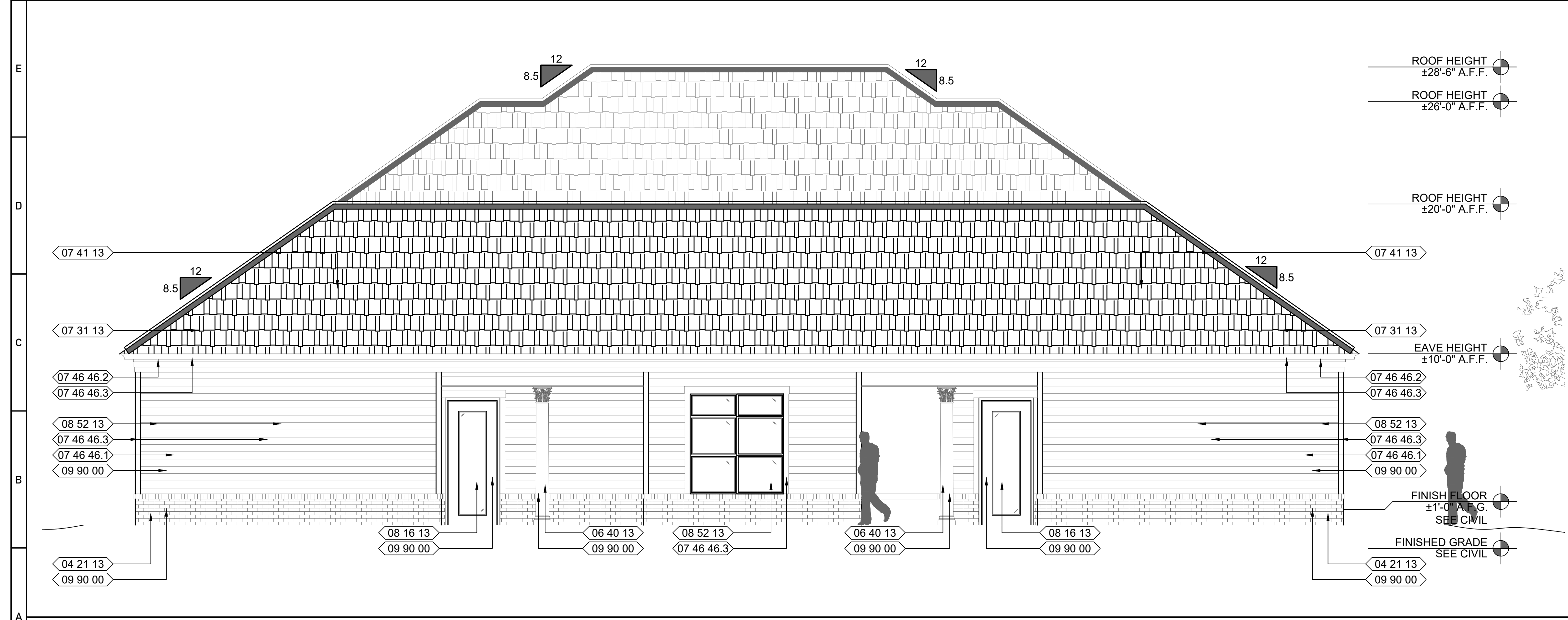
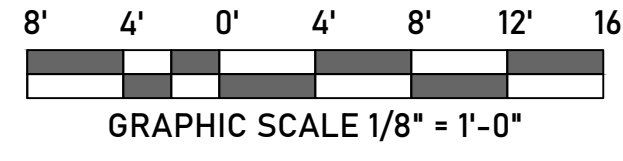
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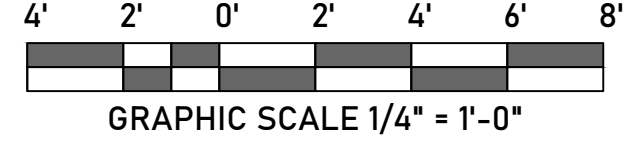
SHEET NUMBER  
**2.20.0**



**F1** Exterior Elevation - Side Facade (South)  
Scale: 1/8" = 1'-0"



**A1** Exterior Elevation - Rear Facade (East)  
Scale: 1/4" = 1'-0"



- ELEVATION KEY NOTES**
- 04 21 13 MASONRY VENEER  
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PROJECT:

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**THE OAKS MEMORY CARE FACILITY**  
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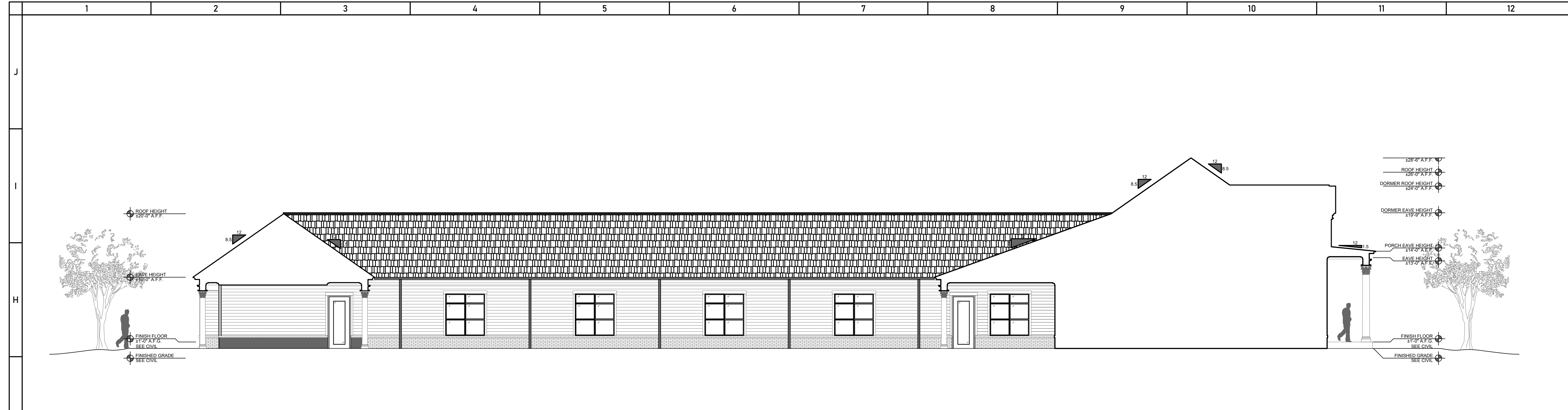
PROJECT NUMBER: 25.004.01  
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REVISIONS: 1. \_\_\_\_\_  
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3. \_\_\_\_\_  
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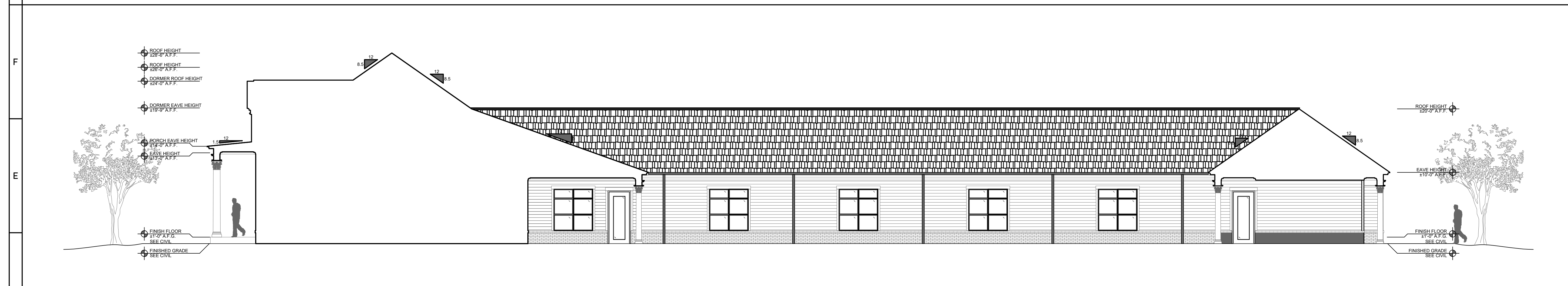
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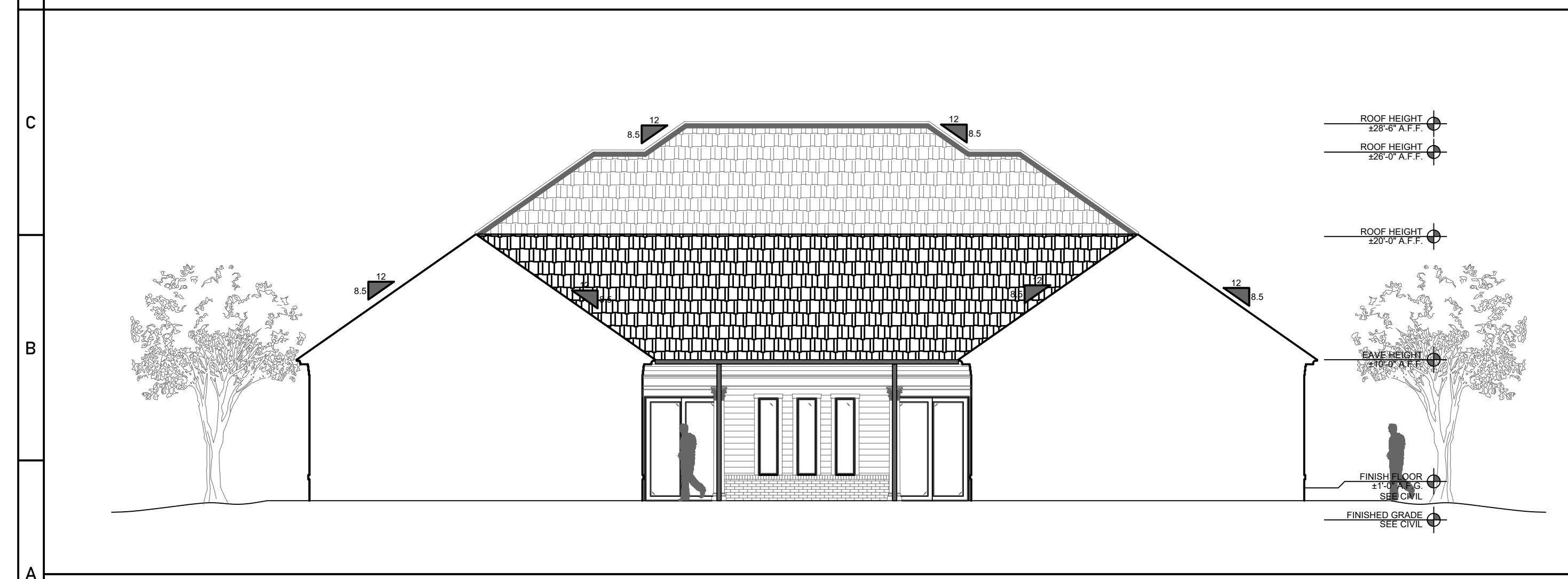
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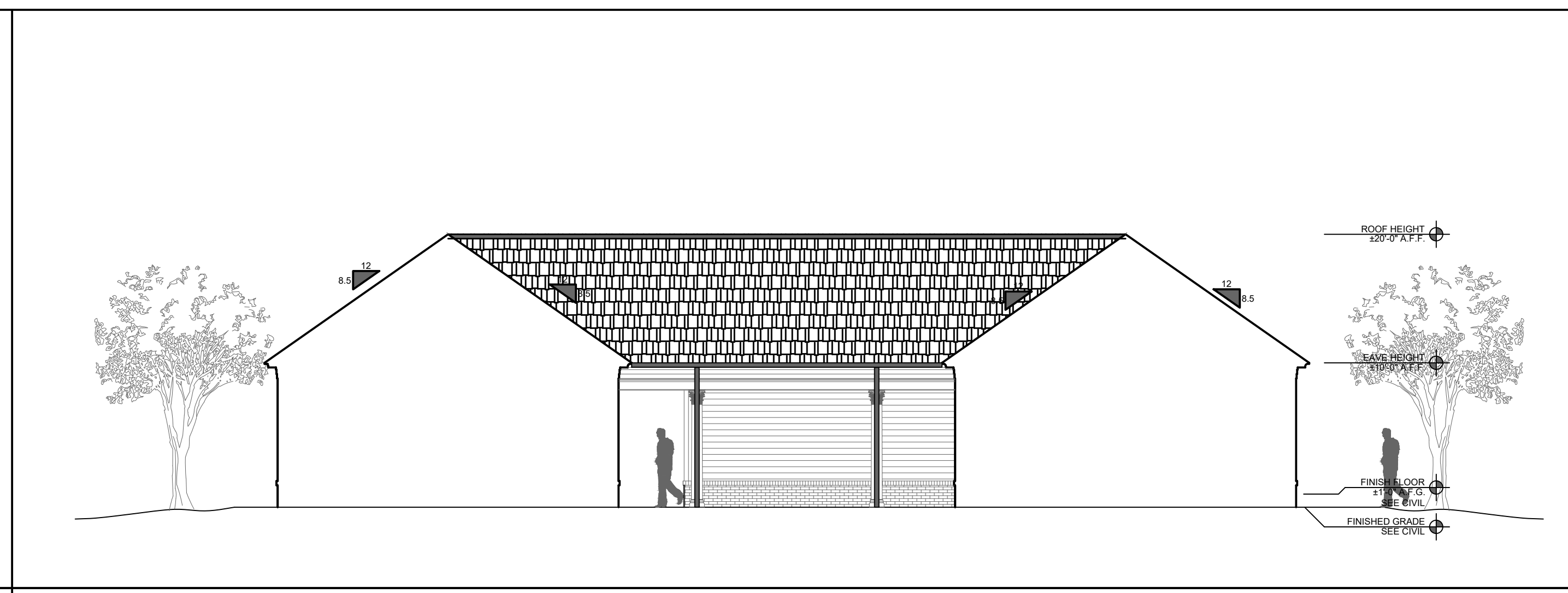
**G1 Exterior Elevation - Courtyard Facade (North)**  
Scale: 1/8" = 1'-0"  
GRAPHIC SCALE 1/8" = 1'-0"



**D1 Exterior Elevation - Courtyard Facade (South)**  
Scale: 1/8" = 1'-0"  
GRAPHIC SCALE 1/8" = 1'-0"



**A1 Exterior Elevation - Courtyard Facade (West)**  
Scale: 1/8" = 1'-0"  
GRAPHIC SCALE 1/8" = 1'-0"



**A7 Exterior Elevation - Courtyard Facade (East)**  
Scale: 1/8" = 1'-0"  
GRAPHIC SCALE 1/8" = 1'-0"

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# IMPROVEMENT PLANS FOR OAKS RESIDENCE PERSONAL CARE HOME: MEMORY CARE GLUCKSTADT, MISSISSIPPI

SHEET INDEX	
Sheet Number	Sheet Title
C-00	COVER SHEET
C-01	EXISTING PLAN
C-02	SITE & UTILITY PLAN
C-03	GRADING PLAN
C-04	DRAINAGE BASINS
C-05	SEWER PLAN & PROFILE 1
C-06	SEWER PLAN & PROFILE 2
C-07	EROSION CONTROL PLAN
C-08	EROSION CONTROL DETAILS
C-09	CONSTRUCTION DETAILS - 1
C-10	CONSTRUCTION DETAILS - 2
C-11	CONSTRUCTION DETAILS - 3
C-12	CONSTRUCTION DETAILS - 4
C-13	CONSTRUCTION DETAILS - 5



PROJECT LOCATION

**VICINITY MAP**  
SCALE: 1"=1000'

**LEGEND AND SYMBOLS**

Centerline of road	Culinary water manhole & pipe	Fire hydrant
Contour line	Fiber optic box & line	Storm drain catch basin
Curb & gutter	Gas manhole & line	Street sign
Easement line	Irrigation manhole and pipe	Street light
Fence	Land drain manhole & pipe	Water meter
Lot line	Power pole and line	Water valve
Phase/boundary line	Sanitary sewer manhole & pipe	*Note: All existing features will be in a shaded line
Right of way line	Storm drain manhole & pipe	
Section corner & line	Telephone pedestal & line	

**DEVELOPMENT CONTACTS**

**CIVIL ENGINEER:**  
Hall Engineering  
4607 Womack  
Jackson, MS 39209  
601-398-4941

**DEVELOPER:**  
CPOR REL LLC

**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
COVER SHEET**

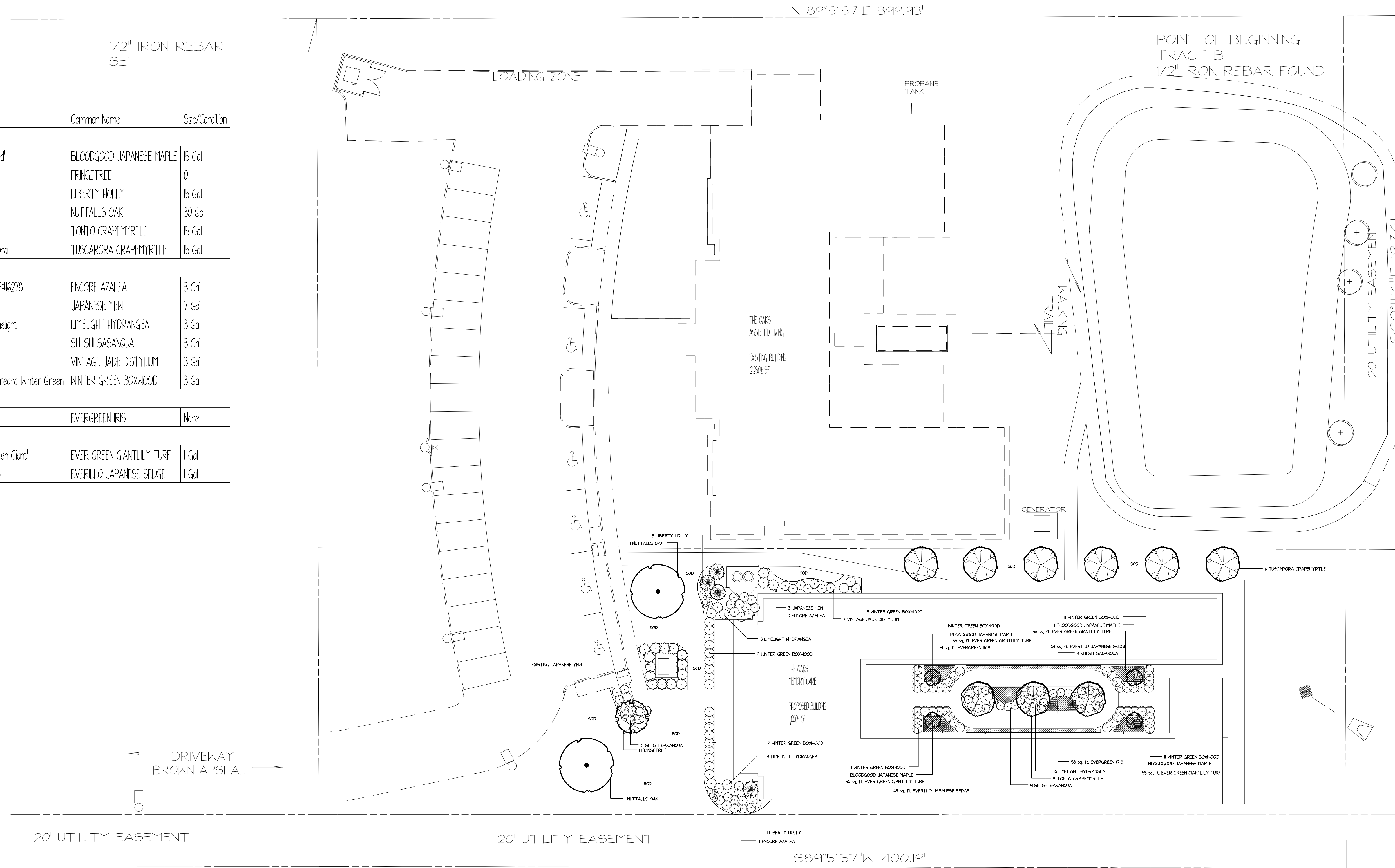
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1	SEWER LIFT STATION DESIGN	06-19-25		
2	SEWER DESIGN 2	10-16-25		
3	SIDEWALK GRADING	10-29-25		
4	MEMORY CARE SITE ADDITION	04-03-26		
5	MEMORY CARE SITE ADDITION - R1	04-20-26		
	DRAWN DESIGN CHECK SUBMIT	MH MH	04-20-26	1" = 1000'



Approved for Construction  
Gluckstadt City Engineer  
Date: \_\_\_\_\_

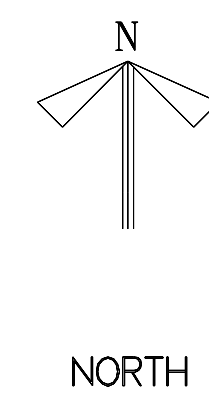
THIS DRAWING IS THE PROPERTY OF THE MADISON LANDSCAPE CO. LLC AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERMISSION.

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
4	<i>Acer palmatum</i> 'Bloodgood'	BLOODGOOD JAPANESE MAPLE	15 Gal
1	<i>Chionanthus virginicus</i>	FRINGETREE	0
4	(New Plant)	LIBERTY HOLLY	15 Gal
2	<i>Quercus nuttallii</i>	NUTTALLS OAK	30 Gal
3	<i>Lagerstroemia</i> x 'Tonto'	TONTO CRAPEMYRTLE	15 Gal
6	<i>Lagerstroemia</i> x 'Tuscarora'	TUSCARORA CRAPEMYRTLE	15 Gal
<b>Shrubs</b>			
21	<i>Rhododendron</i> 'Rabied' PP#16278	ENCORE AZALEA	3 Gal
3	<i>Podocarpus macrophyllus</i>	JAPANESE YEW	7 Gal
12	<i>Hydrangea paniculata</i> 'Limelight'	LIMELIGHT HYDRANGEA	3 Gal
30	<i>Camellia sasanqua</i>	SHI SHI SASANGUA	3 Gal
7	<i>Distylum</i> 'Vintage Jade'	VINTAGE JADE DISTYLUM	3 Gal
65	<i>Buxus microphylla</i> var. 'koreana' 'Winter Green'	WINTER GREEN BOXWOOD	3 Gal
<b>Perennials</b>			
104 sq. ft.	<i>Diets bicolor</i>	EVERGREEN IRIS	None
<b>Groundcovers</b>			
220 sq. ft.	<i>Liriope muscari</i> 'Ever Green Giant'	EVER GREEN GIANTLILY TURF	1 Gal
126 sq. ft.	<i>Carex oshimensis</i> 'Everillo'	EVERILLO JAPANESE SEDGE	1 Gal

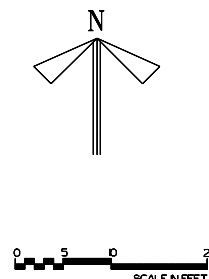


- LANDSCAPE AND IRRIGATION NOTES:**
1. PLANTING BEDS TO RECEIVE 3" OF PINESTRAW MULCH, 13-13 FERTILIZER TILLED TO A DEPTH OF 6-8". SOIL MAY BE PREMIXED.
  2. ALL BEDS AND PIT PLANTINGS SHALL RECEIVE SNAPSHOT PRE-EMERGENT OR APPROVED EQUAL.
  3. ALL BEDS TO BE MULCHED WITH A MIN. OF 3 INCHES OF PINESTRAW MULCH. ALL TREES TO HAVE A MIN. OF 3" DIAMETER MULCH RING.
  4. IRRIGATION SYSTEM TO BE DESIGN/BUILD PROVIDED BY A LANDSCAPE CONTRACTOR. IRRIGATION WATER LINES TO BE CONNECTED TO WATER LINE AS SHOWN ON CIVIL SITE UTILITY PLAN, WITH A CITY OF GLUCKSTADT APPROVED BACKFLOW PREVENTOR.

THE OAKS MEMORY CARE FACILITY  
CALHOUN STATION PARKWAY, MADISON, MS 3910



LANDSCAPE PLAN  
SCALE 1" = 20'-0"  
DATE 04-06-2026  
DRAWING # 1 OF 1





**HALL ENGINEERING, LLC**

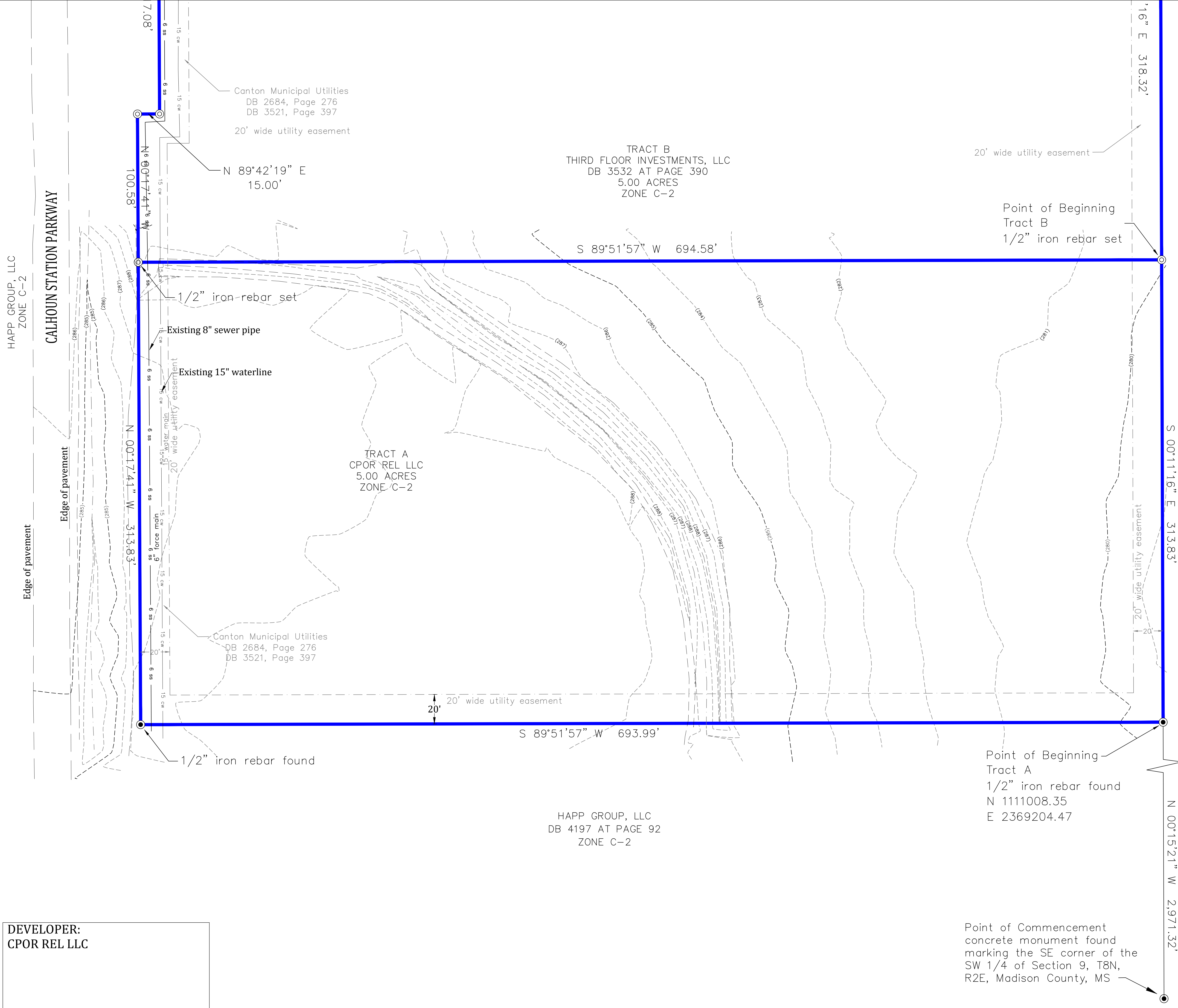
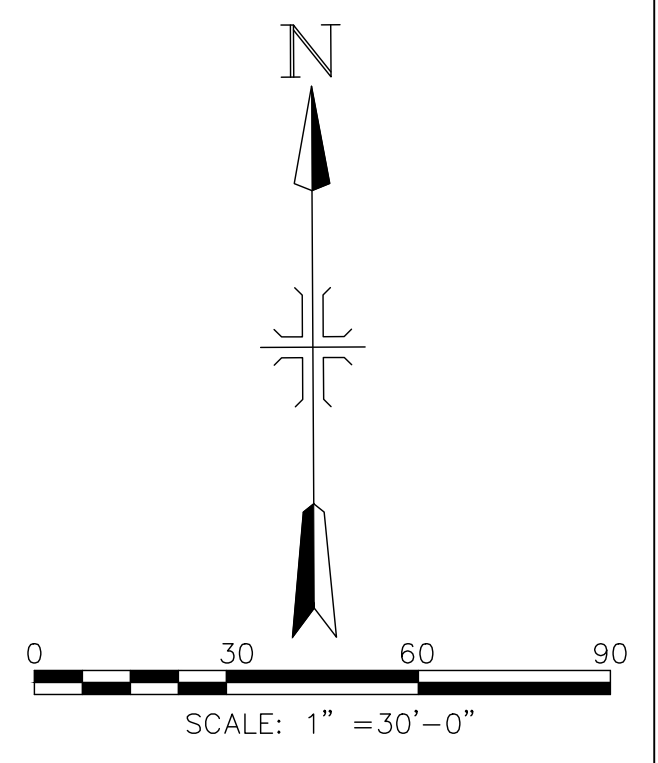
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JACKSON MS 39209



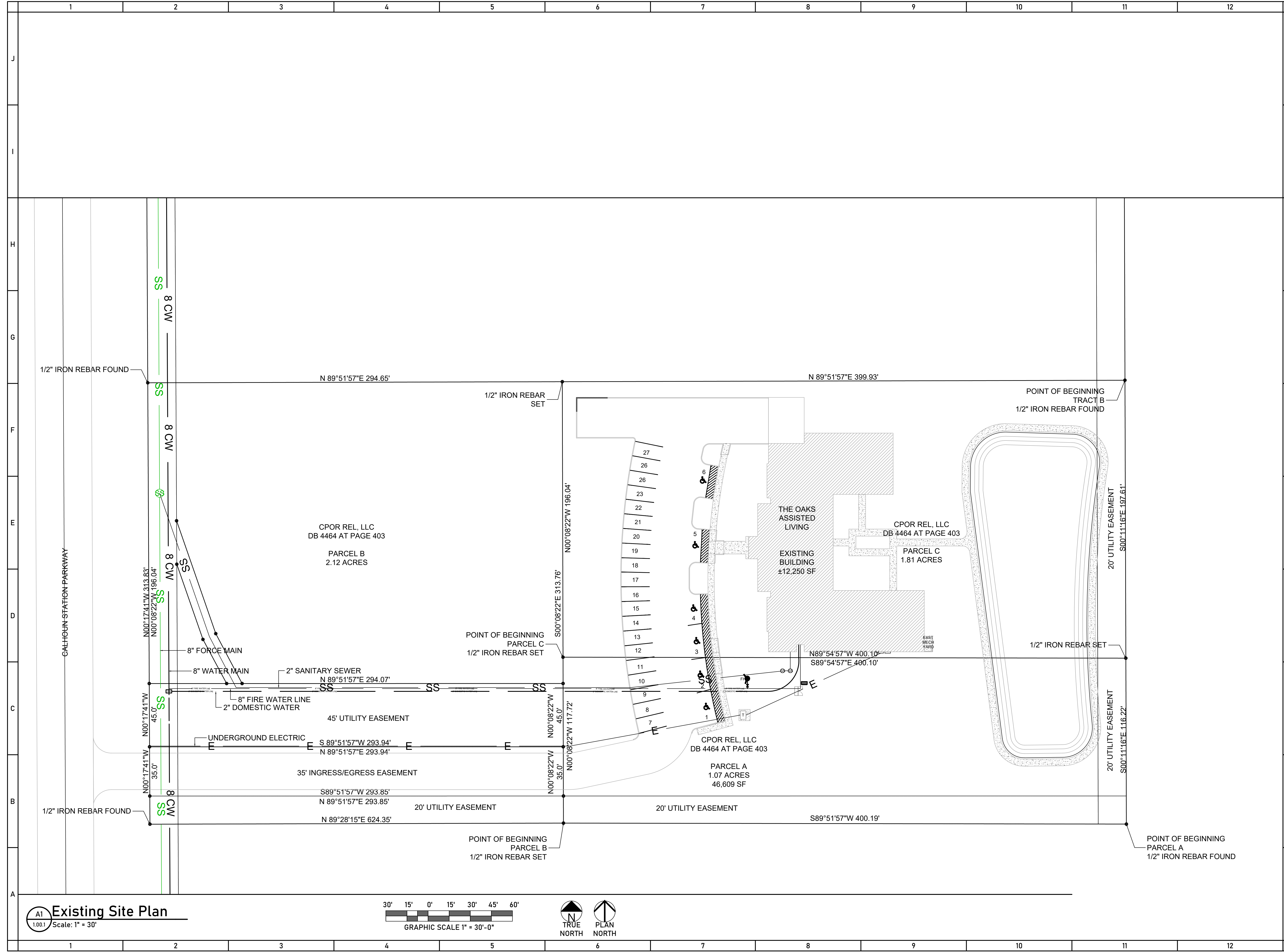
**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
EXISTING PLAN**

REVISIONS	DESCRIPTION	DATE
1	SEWER LIFT STATION DESIGN	06-19-25
2	SEWER DESIGN 2	10-16-25
3	SIDEWALK GRADING	10-29-25
4	MEMORY CARE SITE ADDITION	04-05-26
5	MEMORY CARE SITE ADDITION - R1	04-20-26
DRAWN	DESIGN	CHECK
JLS	MH	MH
	SCALE	1" = 30'

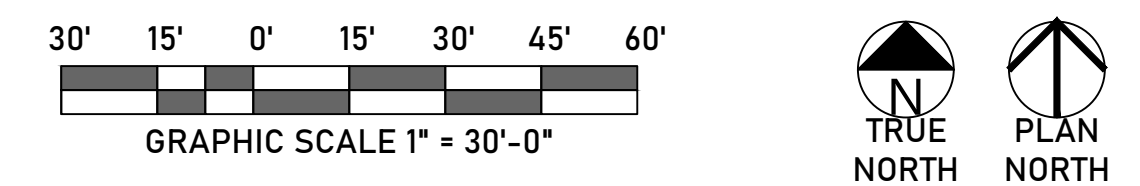
C-01



DEVELOPER:  
CPOR REL LLC



**A1 Existing Site Plan**  
 Scale: 1" = 30'



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 601-339-6455  
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PROJECT:

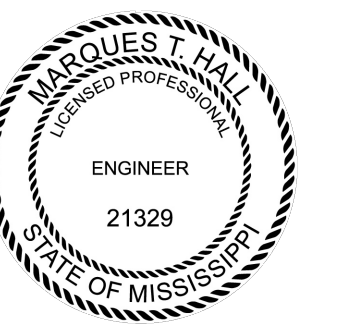
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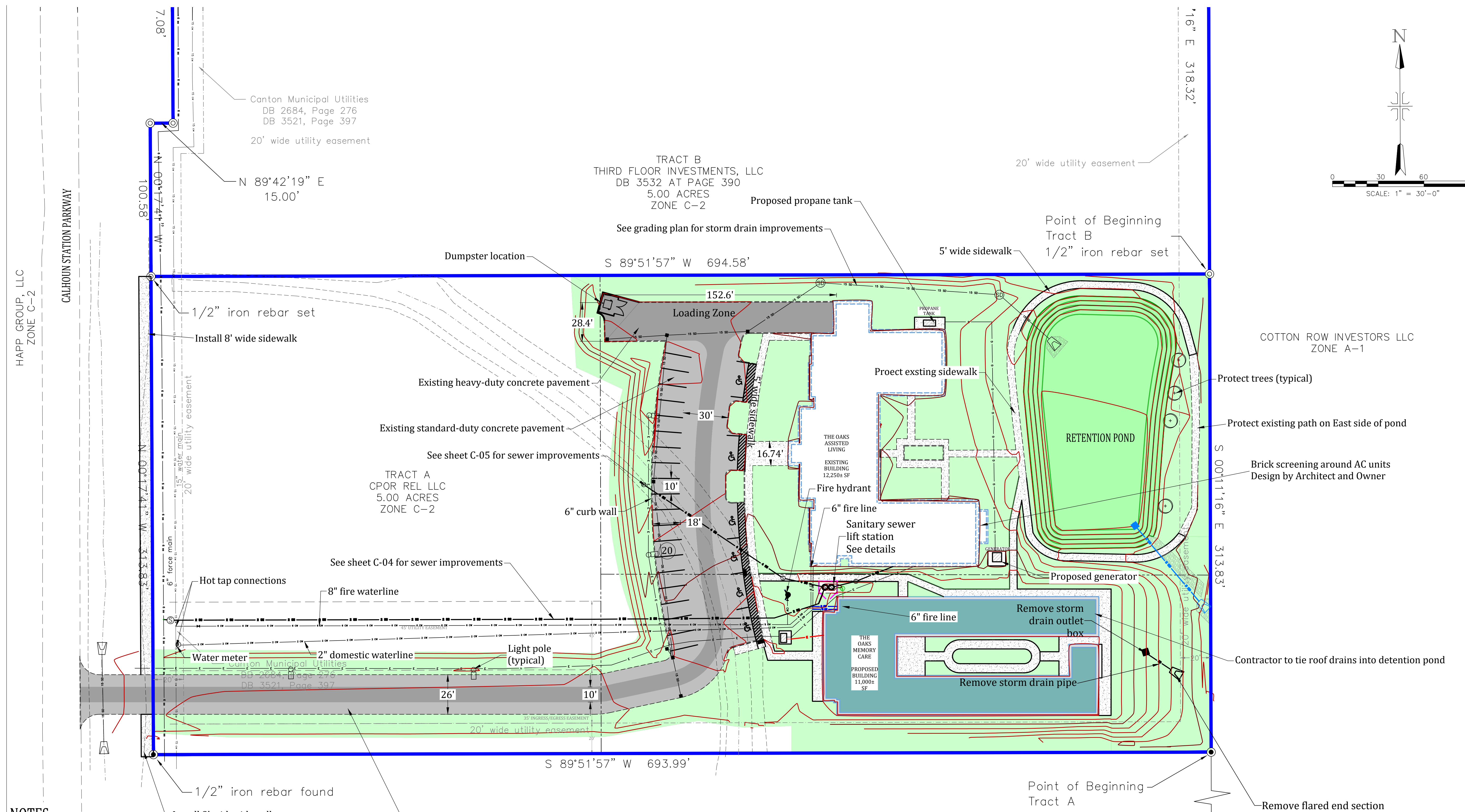
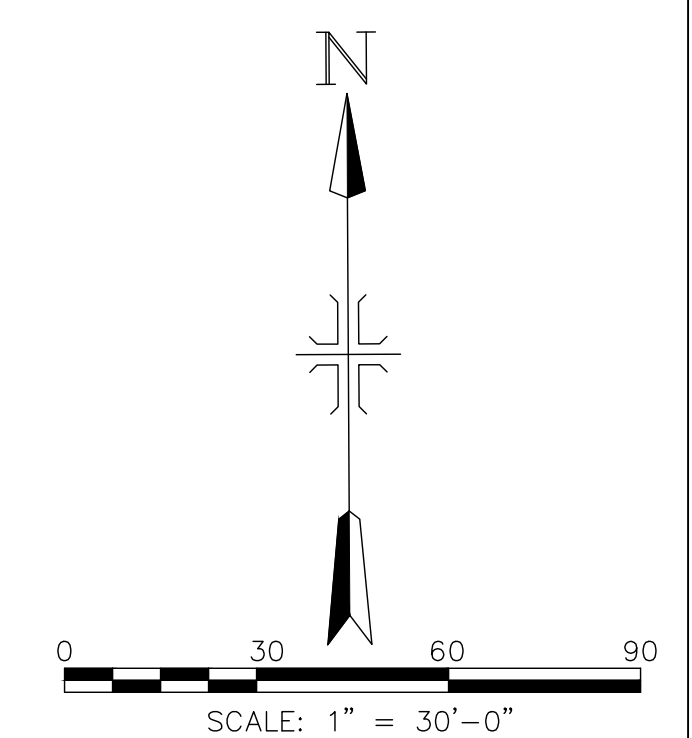
SHEET TITLE:  
 EXISTING  
 SITE  
 PLAN

SHEET NUMBER  
**1.00.1**



**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
SITE &  
UTILITY PLAN**

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	DRAWN	DESIGN	CHECK
	JLS	MH	MH
		04-20-26	
		SCALE	PLOTTED
		1" = 30'	



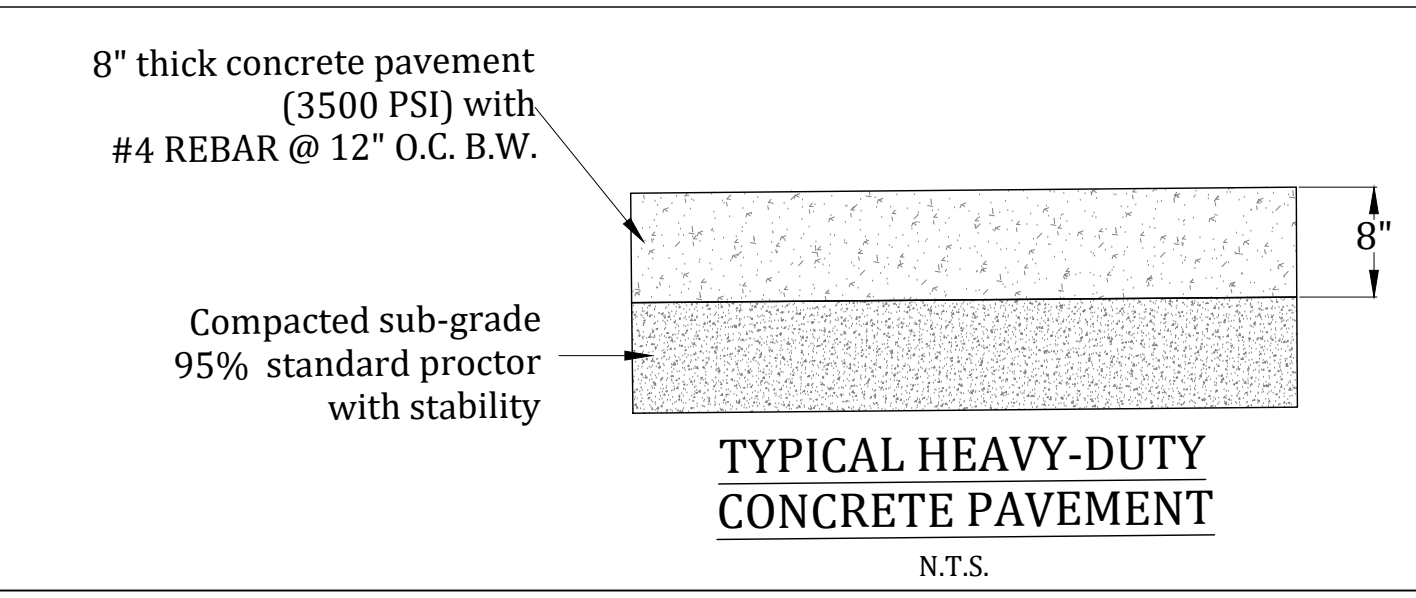
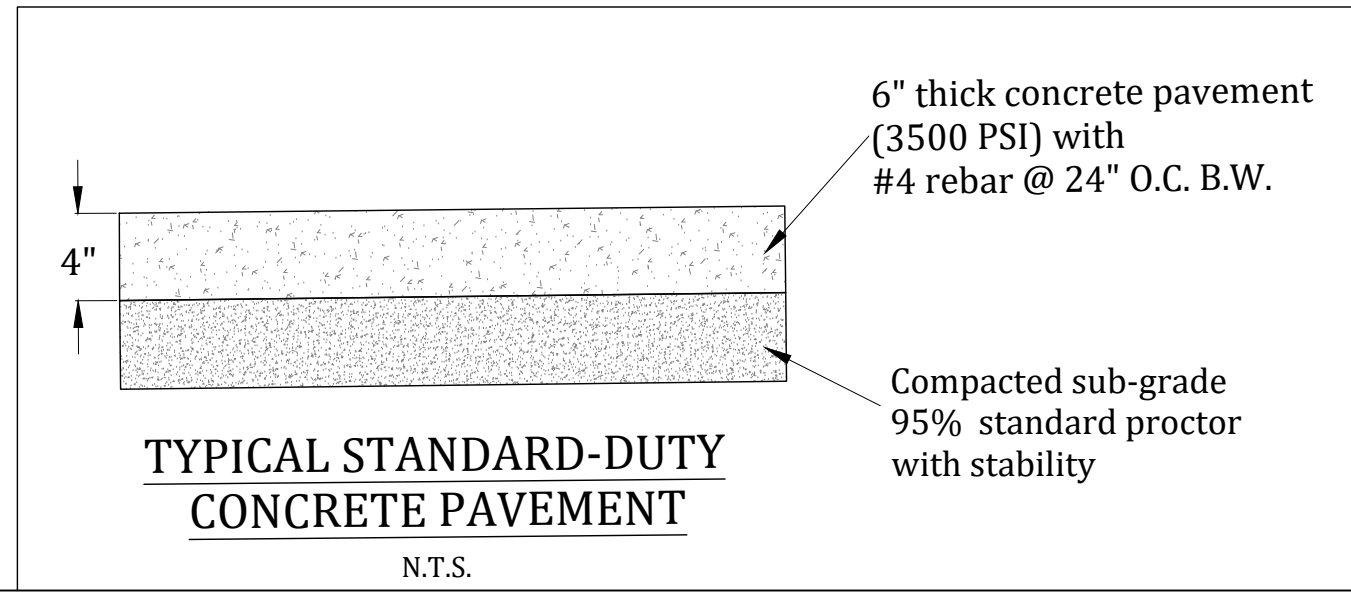
**NOTES:**

Total Parking Stalls: 20 stalls (10'x18' unless noted)  
 Total Handicap Stalls: 6 stall  
 Overall Total Parking Stalls: **26 stalls**  
 (# - indicates number of stalls available)

Undeveloped Area:	1.72 acres	(34.4%)
Landscaping Area:	1.74 acres	(34.8%)
Building Area:	0.53 acres	(10.6%)
Impervious Area:	1.01 acres	(20.2%)
Total Site Area:	5.00 acres	

**DEVELOPER:**  
CPOR REL LLC

Know what's below  
Call before you dig.  
CALL 811  
UTILITY NOTIFICATION CENTER  
www.MS811.COM



Point of Commencement  
concrete monument found  
marking the SE corner of the  
SW 1/4 of Section 9, T8N,  
R2E, Madison County, MS



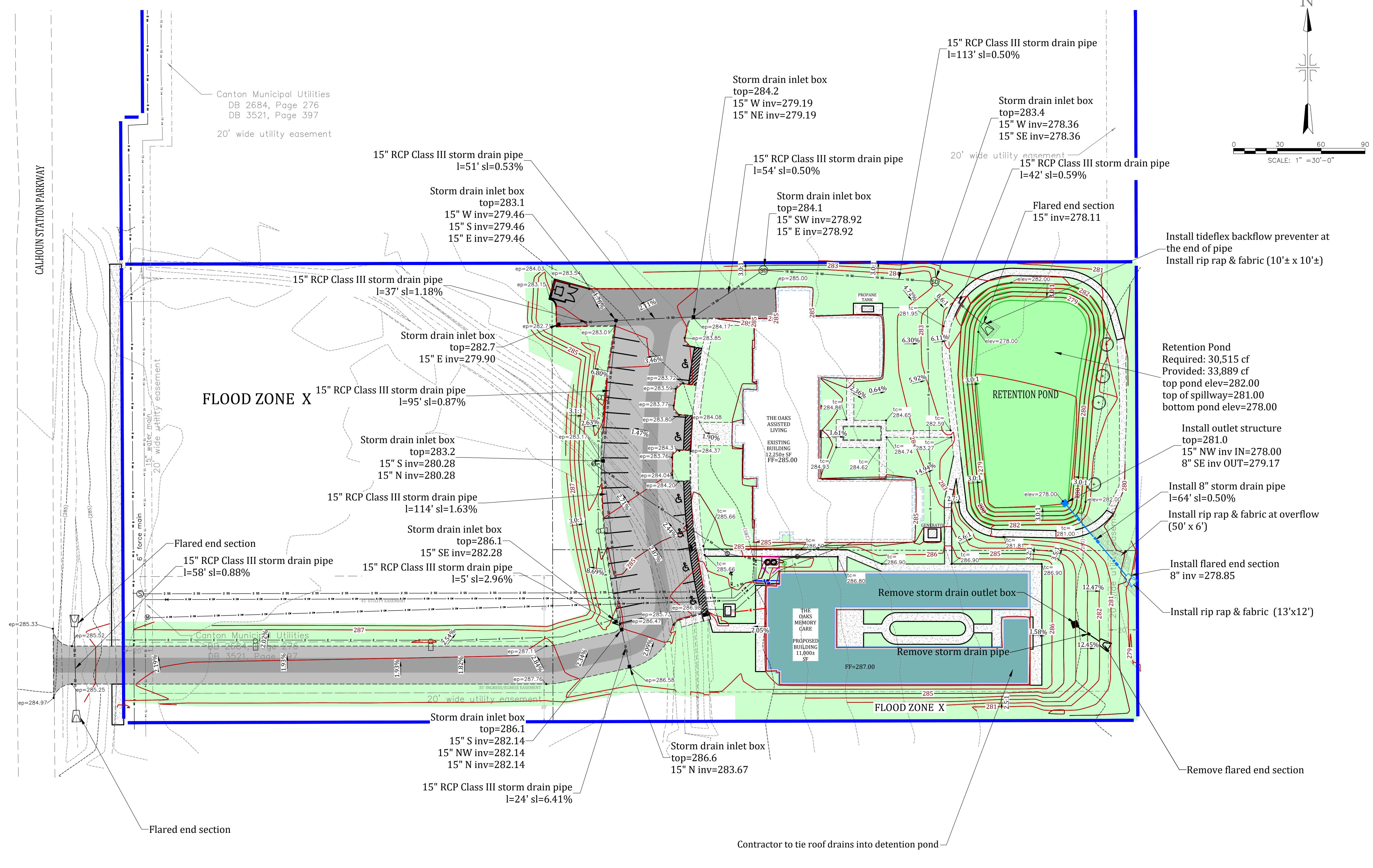
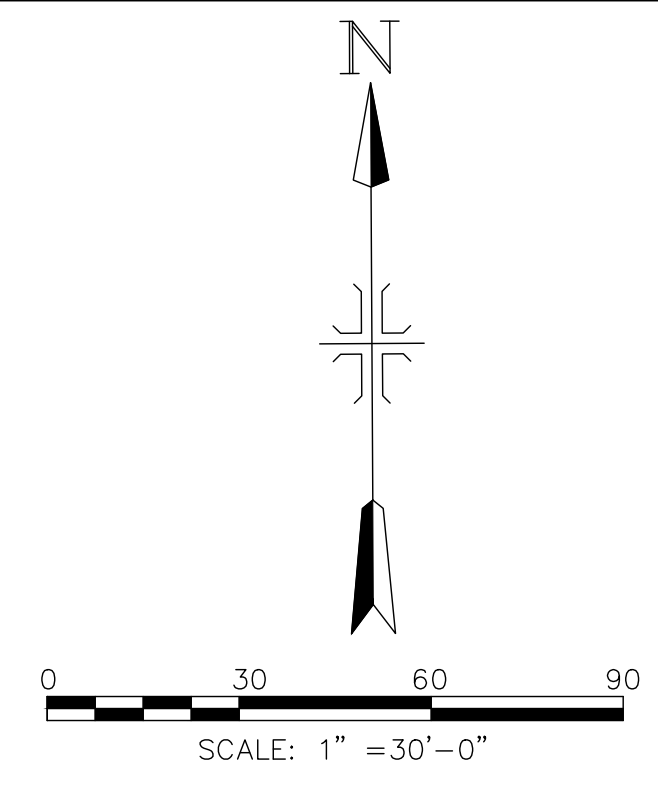
HALL ENGINEERING, LLC

4607 WOMACK JACKSON MS 39209



OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
GRADING PLAN

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1	SEWER LIFT STATION DESIGN	06-19-25	
2	SEWER DESIGN 2	10-16-25	
3	SIDEWALK GRADING	10-29-25	
4	MEMORY CARE SITE ADDITION	04-03-26	
5	MEMORY CARE SITE ADDITION - R1	04-20-26	
	DRAWN	DESIGN	CHECK
	JLS	MH	MH
		04-20-26	1"=30'



Canton Municipal Utilities  
DB 2684, Page 276  
DB 3521, Page 397  
20' wide utility easement

FLOOD ZONE X

Canton Municipal Utilities  
DB 2684, Page 276  
DB 3521, Page 397  
20' wide utility easement

20' wide utility easement

Flared end section

15" RCP Class III storm drain pipe  
l=51' sl=0.53%

Storm drain inlet box  
top=283.1  
15" W inv=279.46  
15" S inv=279.46  
15" E inv=279.46

15" RCP Class III storm drain pipe  
l=37' sl=1.18%

Storm drain inlet box  
top=282.7  
15" E inv=279.90

15" RCP Class III storm drain pipe  
l=95' sl=0.87%

Storm drain inlet box  
top=283.2  
15" S inv=280.28  
15" N inv=280.28

15" RCP Class III storm drain pipe  
l=114' sl=1.63%

Storm drain inlet box  
top=286.1  
15" SE inv=282.28  
15" RCP Class III storm drain pipe  
l=5' sl=2.96%

Flared end section  
15" RCP Class III storm drain pipe  
l=58' sl=0.88%

Storm drain inlet box  
top=286.1  
15" S inv=282.14  
15" NW inv=282.14  
15" N inv=282.14

15" RCP Class III storm drain pipe  
l=24' sl=6.41%

Storm drain inlet box  
top=284.2  
15" W inv=279.19  
15" NE inv=279.19

15" RCP Class III storm drain pipe  
l=54' sl=0.50%

Storm drain inlet box  
top=284.1  
15" SW inv=278.92  
15" E inv=278.92

15" RCP Class III storm drain pipe  
l=113' sl=0.50%

Storm drain inlet box  
top=283.4  
15" W inv=278.36  
15" SE inv=278.36

15" RCP Class III storm drain pipe  
l=42' sl=0.59%

Flared end section  
15" inv=278.11

Install tideflex backflow preventer at the end of pipe  
Install rip rap & fabric (10'± x 10'±)

Retention Pond  
Required: 30,515 cf  
Provided: 33,889 cf  
top pond elev=282.00  
top of spillway=281.00  
bottom pond elev=278.00

Install outlet structure  
top=281.0  
15" NW inv IN=278.00  
8" SE inv OUT=279.17

Install 8" storm drain pipe  
l=64' sl=0.50%  
Install rip rap & fabric at overflow (50' x 6')

Install flared end section  
8" inv =278.85

Install rip rap & fabric (13'x12')

Remove storm drain outlet box

Remove storm drain pipe

Remove flared end section

Contractor to tie roof drains into detention pond

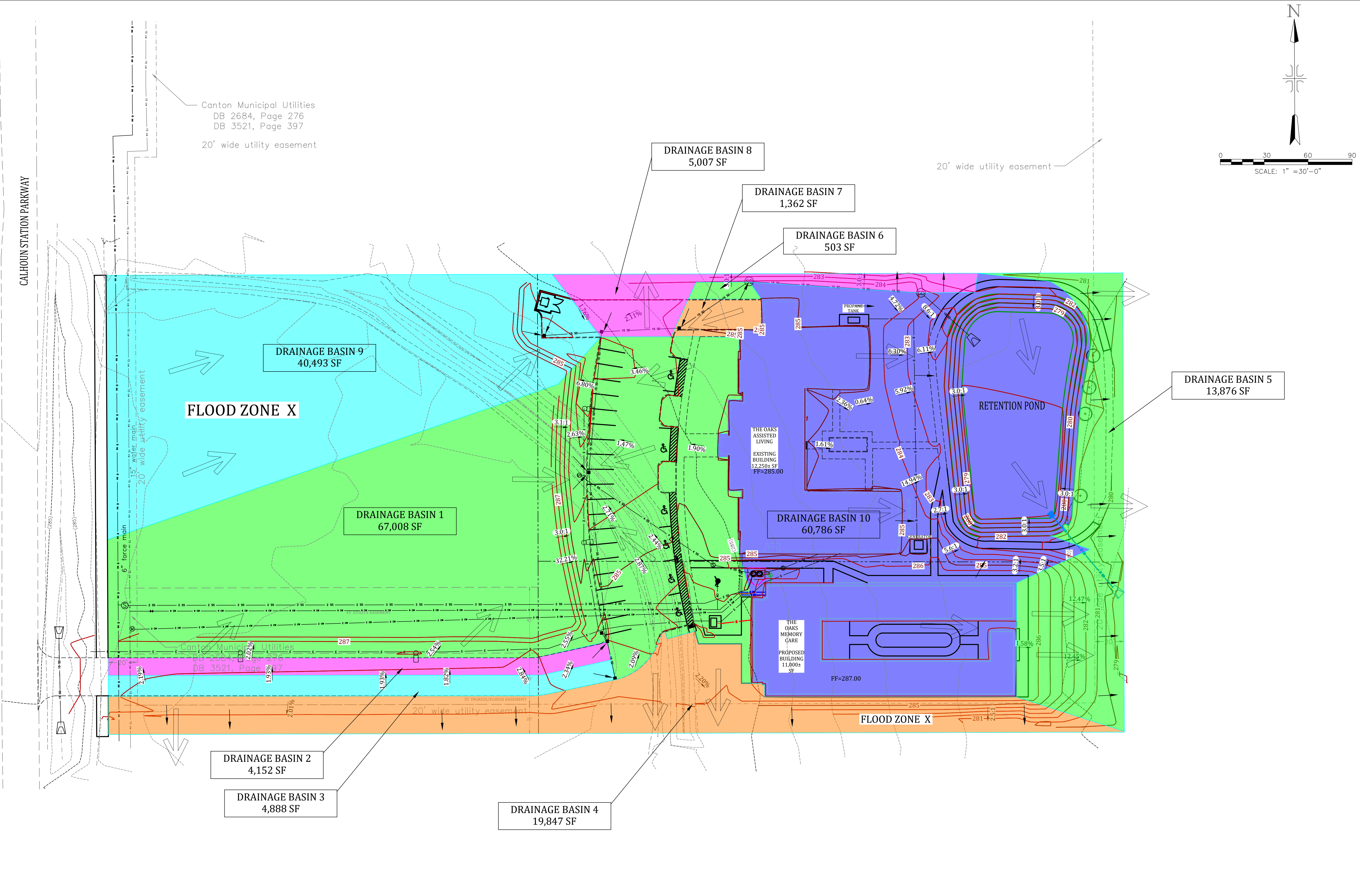
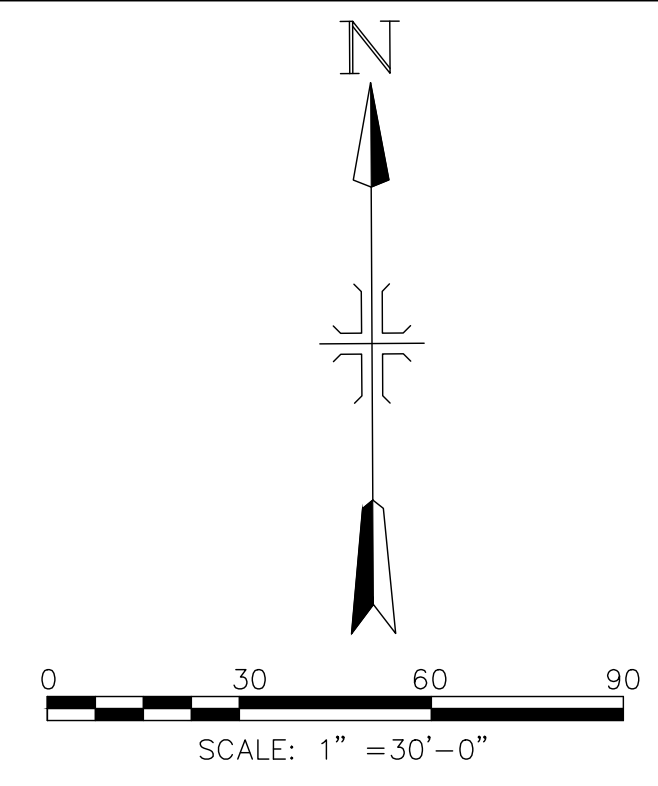


DEVELOPER:  
CPOR REL LLC



**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
DRAINAGE BASINS**

#	REVISIONS DESCRIPTION	DATE
1	SEWER LIFT STATION DESIGN	06-19-25
2	SEWER DESIGN 2	10-16-25
3	SIDEWALK GRADING	10-29-25
4	MEMORY CARE SITE ADDITION	04-03-26
5	MEMORY CARE SITE ADDITION - R1	04-20-26
	DRAWN DESIGN CHECK SUBMIT	
JLS	MH	MH
		04-20-26
		1" = 30'

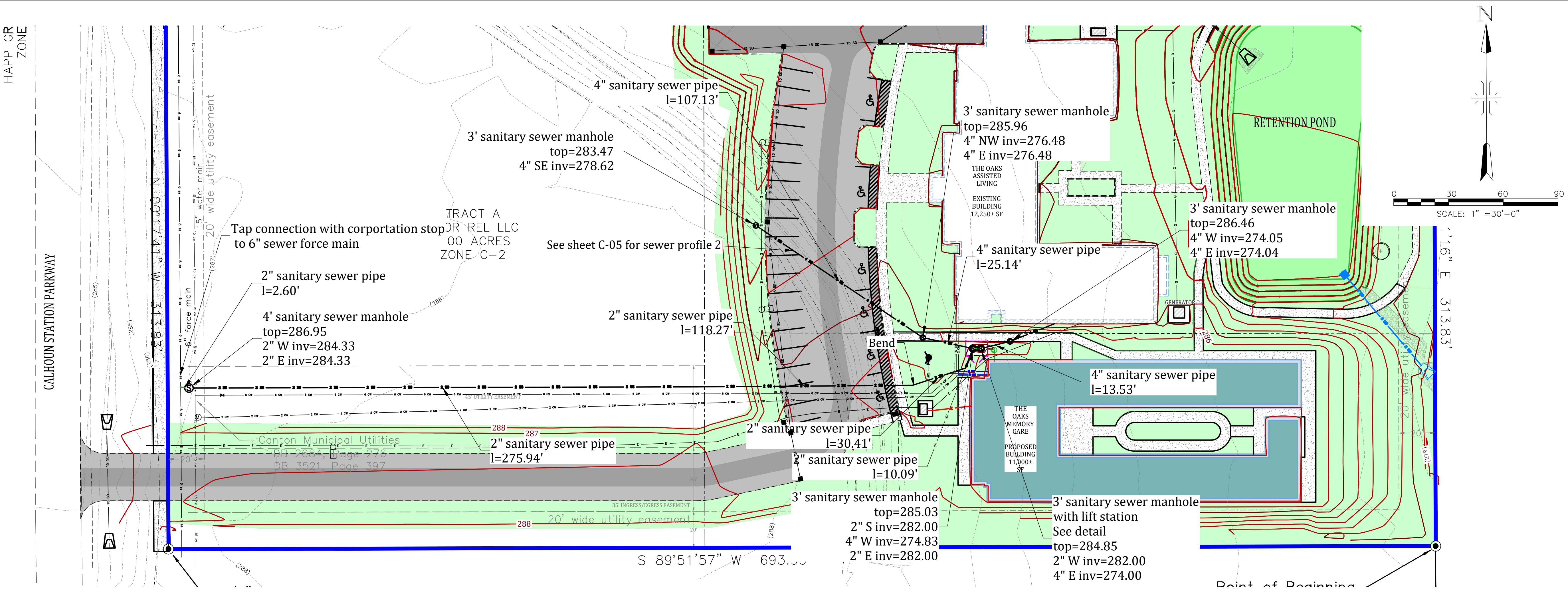


DEVELOPER:  
CPOR REL LLC



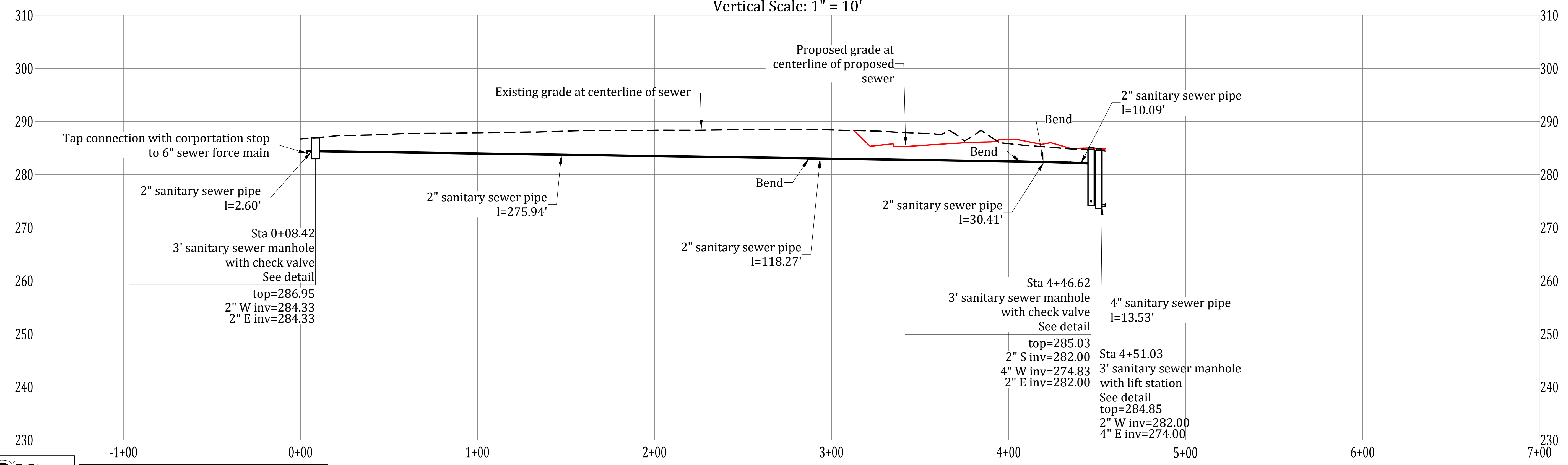
**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
SEWER PLAN & PROFILE 1**

#	REVISIONS DESCRIPTION	DATE	SCALE	PLOTTED
1	SEWER LIFT STATION DESIGN	06-19-25		
2	SEWER DESIGN 2	10-16-25		
3	SIDEWALK GRADING	10-29-25		
4	MEMORY CARE SITE ADDITION	04-03-26		
5	MEMORY CARE SITE ADDITION - R1	04-20-26		
	DRAWN	JLS		
	DESIGN	MH		
	CHECK	MH		
	SUBMIT	MH		
	SCALE		1" = 30'	



NOTE: THE SEWER IMPROVEMENTS  
HAVE BEEN INSTALLED

**PROPOSED SEWER PROFILE 1**  
Horizontal Scale: 1" = 30'  
Vertical Scale: 1" = 10'

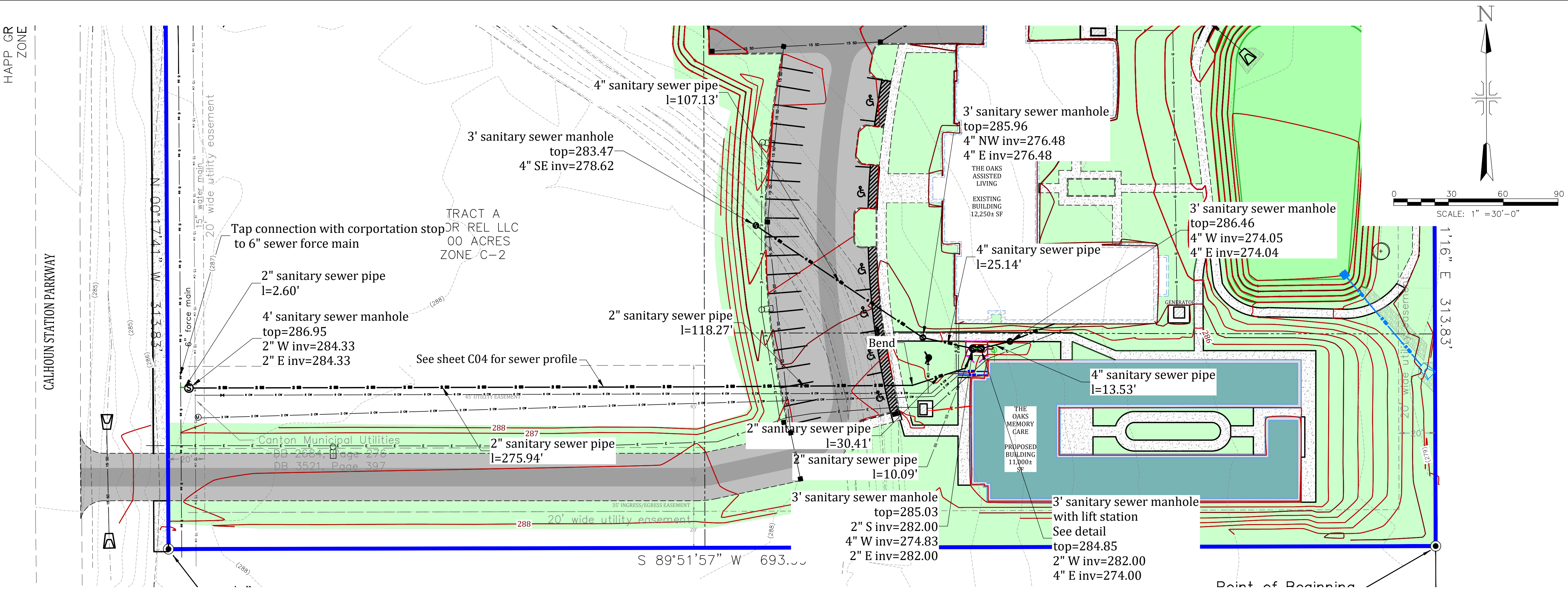


DEVELOPER:  
CPOR REL LLC



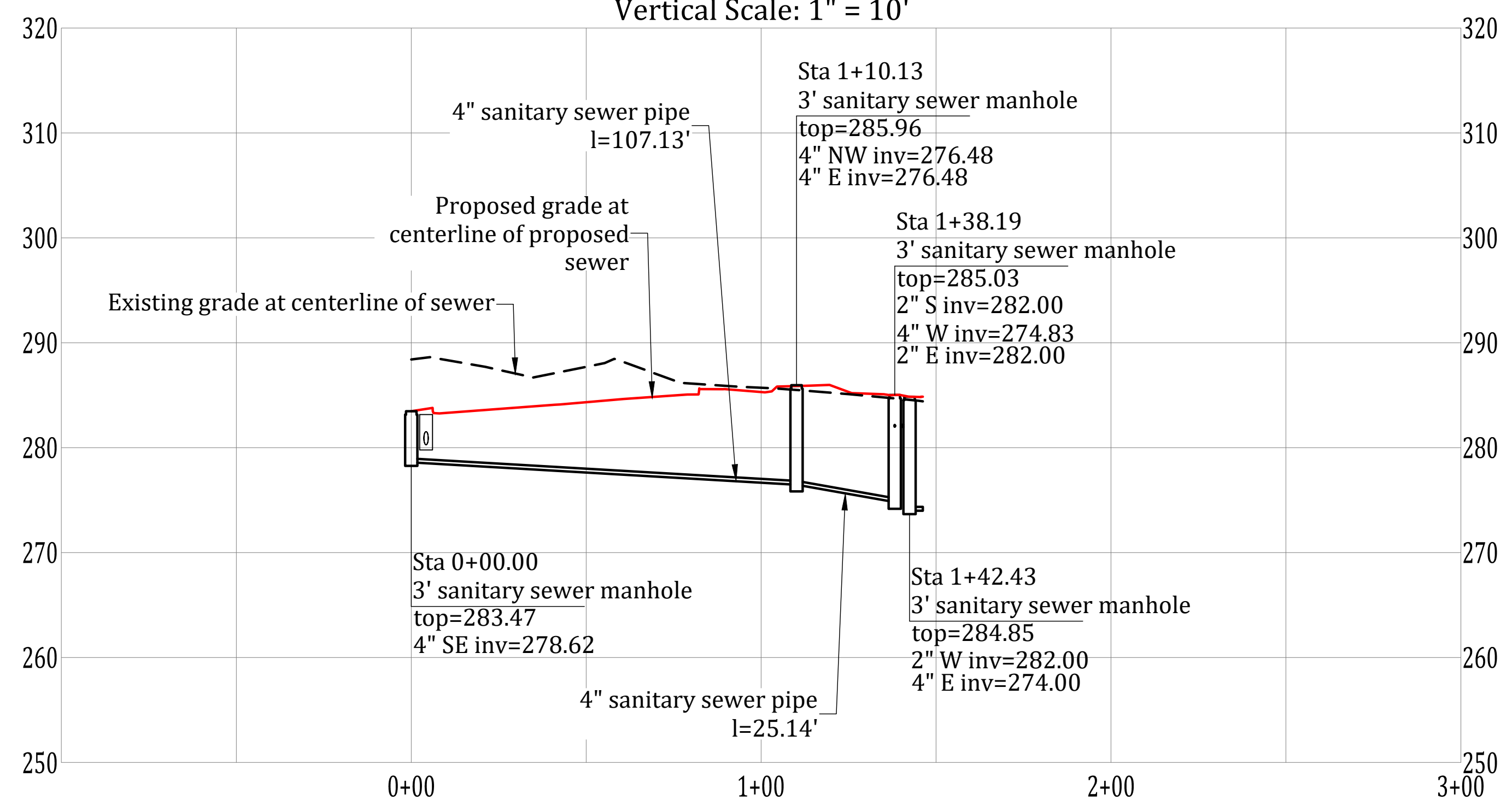
**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI**  
#####

#	REVISIONS DESCRIPTION	DATE	SCALE	PLOTTED
1	SEWER LIFT STATION DESIGN	06-19-25		
2	SEWER DESIGN 2	10-16-25		
3	SIDEWALK GRADING	10-29-25		
4	MEMORY CARE SITE ADDITION	04-03-26		
5	MEMORY CARE SITE ADDITION - R1	04-20-26		
	DRAWN	DESIGN	CHECK	SUBMIT
JLS	MH	MH	MH	MH



NOTE: THE SEWER IMPROVEMENTS HAVE BEEN INSTALLED

**PROPOSED SEWER PROFILE 2**  
Horizontal Scale: 1" = 30'  
Vertical Scale: 1" = 10'

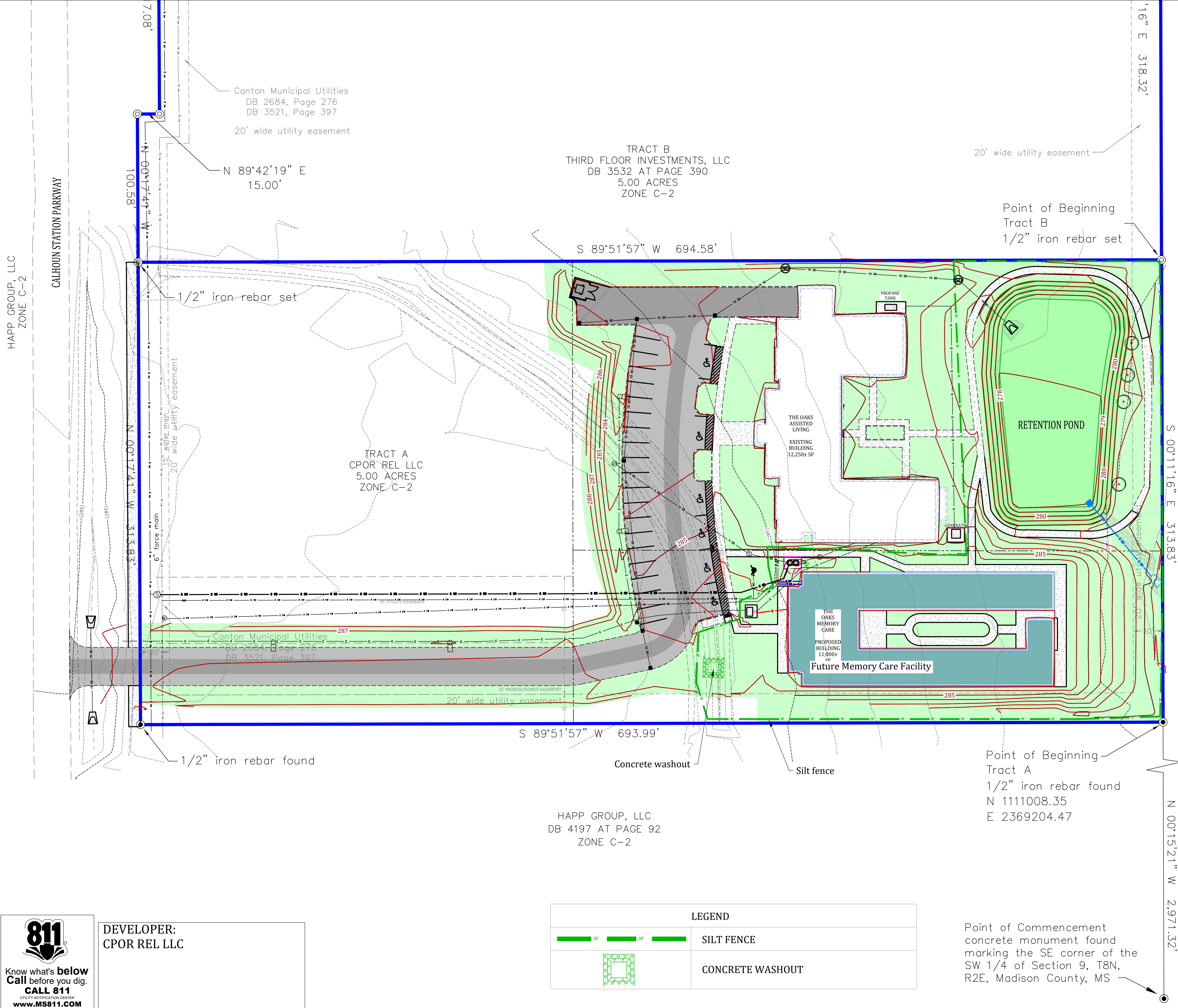
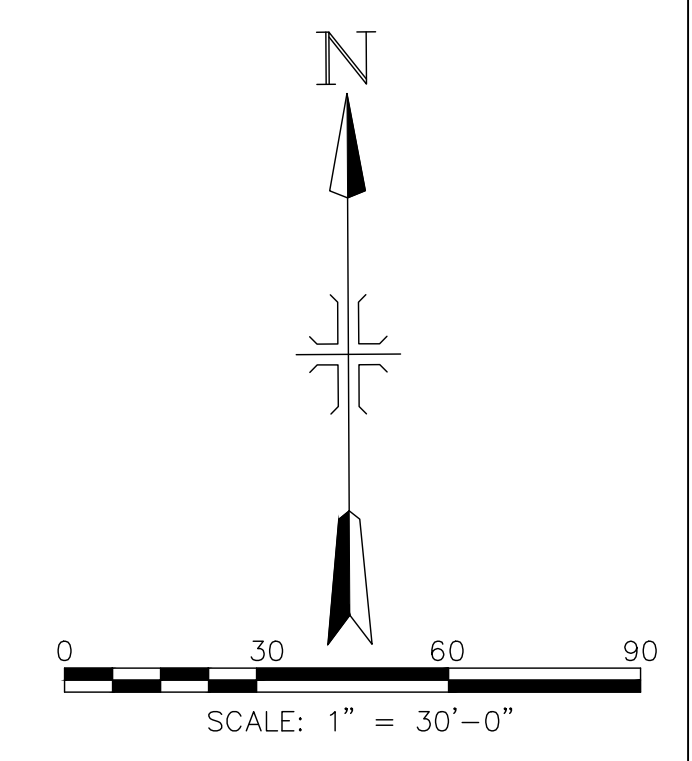


DEVELOPER:  
CPOR REL LLC



**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
EROSION CONTROL PLAN**

REVISIONS	DESCRIPTION	DATE				
1	SEWER LIFT STATION DESIGN	06-19-25				
2	SEWER DESIGN 2	10-16-25				
3	SIDEWALK GRADING	10-29-25				
4	MEMORY CARE SITE ADDITION	04-03-26				
5	MEMORY CARE SITE ADDITION - R1	04-20-26				
	DRAWN	DESIGN	CHECK	SUBMIT	SCALE	PLOTTED
JLS	MH	MH	MH	MH	04-20-26	1" = 30'



LEGEND	
	SILT FENCE
	CONCRETE WASHOUT



DEVELOPER:  
CPOR REL LLC



MILLS CONTRACTING, LLC  
581 STOUT ROAD  
MADISON, MISSISSIPPI 39110  
601-339-6455  
www.millscontracting.net

PROJECT:

APRIL 8, 2026 - UPDATED - CITY OF GLUCKSTADT SET FOR:  
**THE OAKS MEMORY CARE FACILITY**  
Calhoun Station Parkway, Madison, MS 39110

PROJECT NUMBER: 25.004.01  
DATE: 04/08/2026

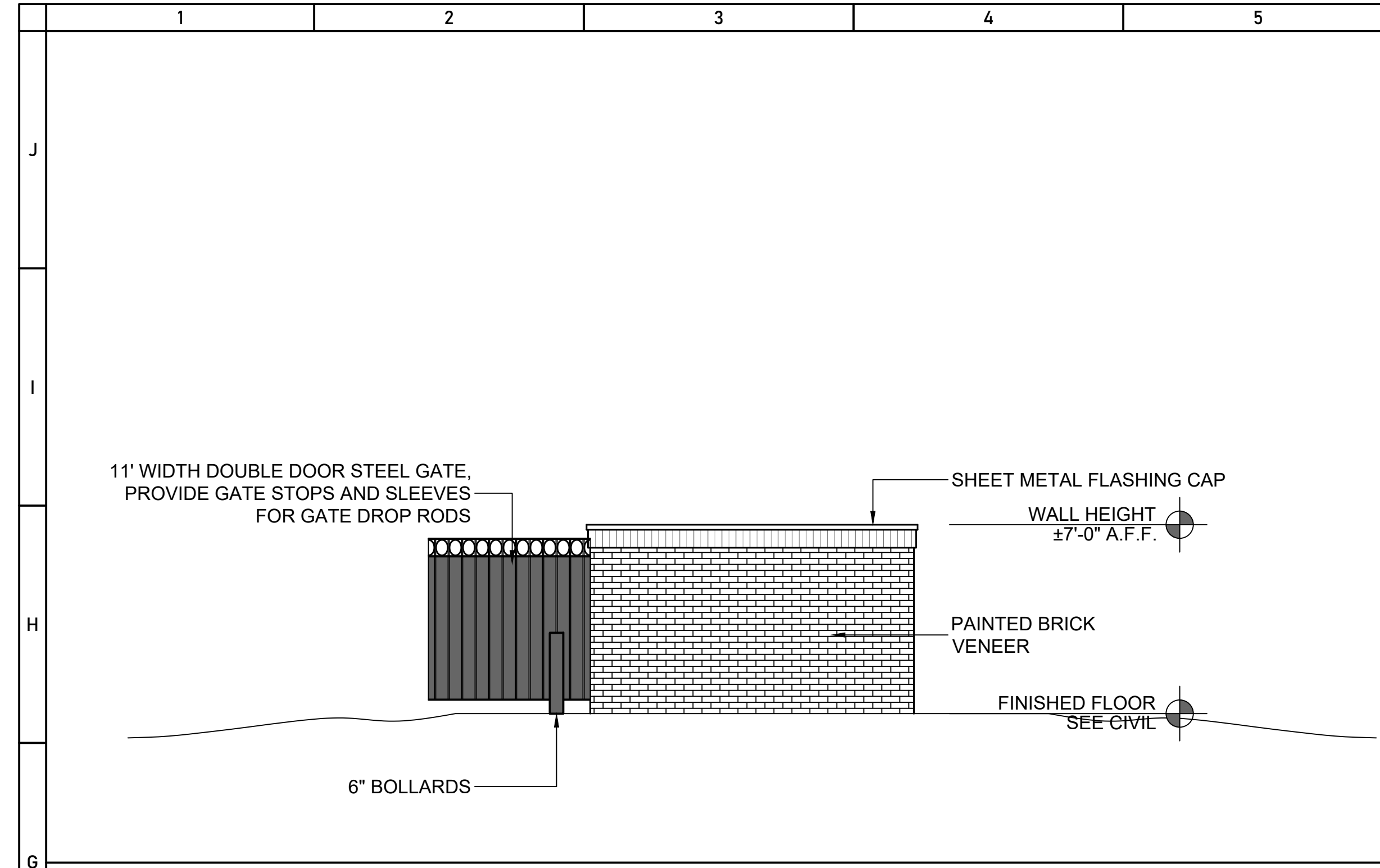
REVISIONS: 1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

PRELIMINARY CONCEPT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

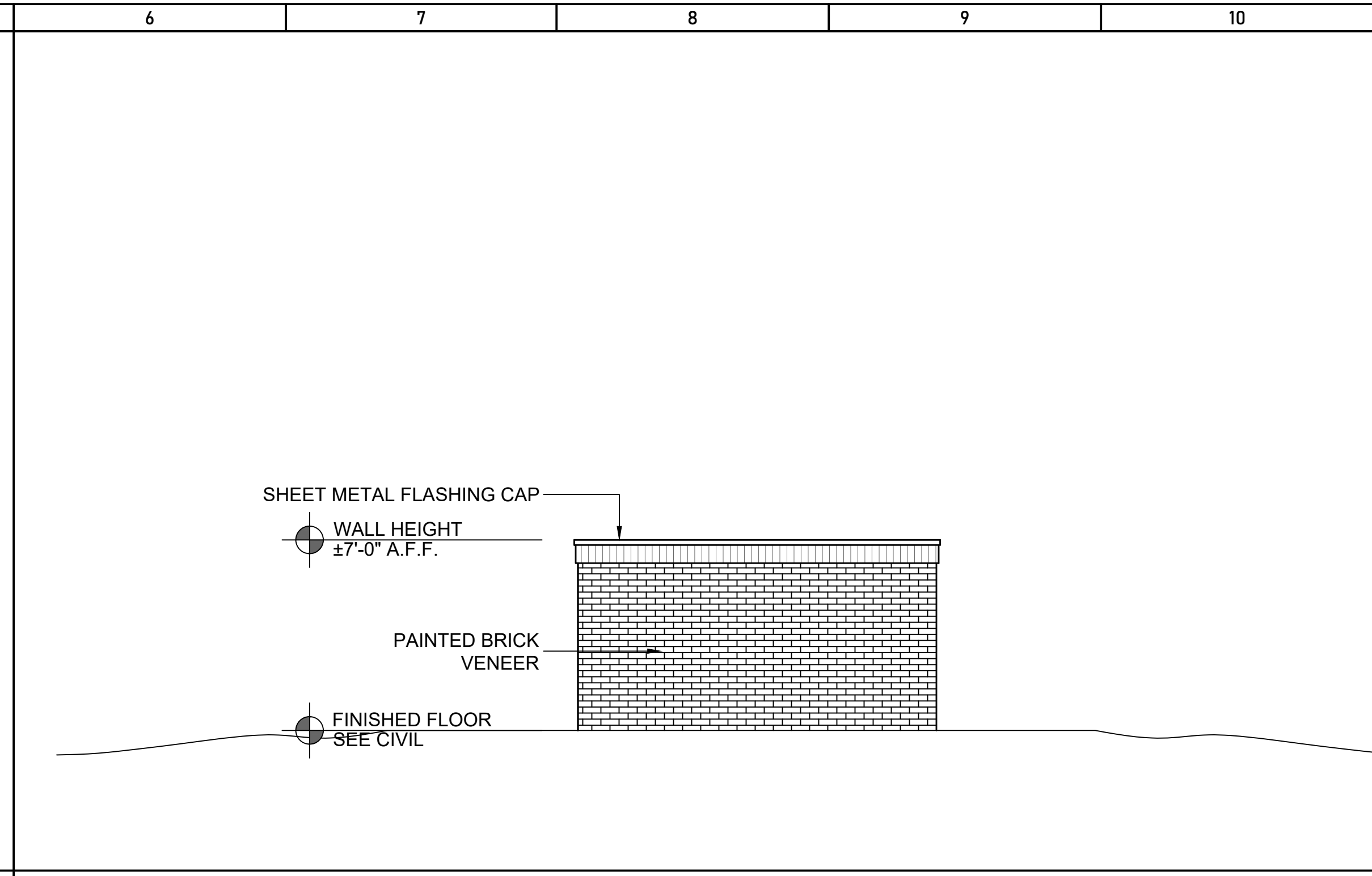
SHEET TITLE:  
DUMPSTER ENCLOSURE DETAILS

SHEET NUMBER  
**1.11.0**

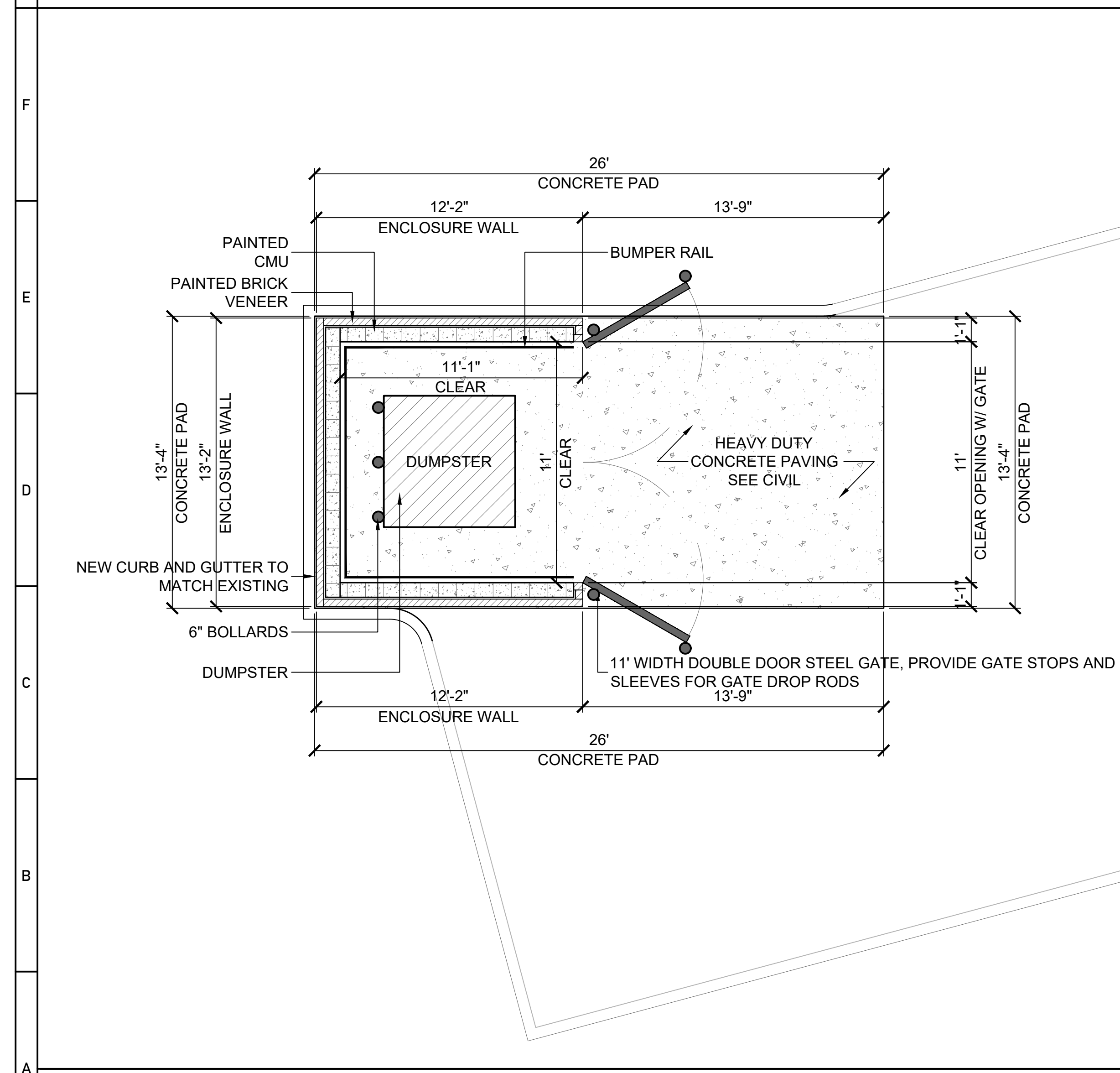
DRAWINGS AND CONCEPTS ARE FOR INFORMATIONAL AND CONCEPTUAL PURPOSES ONLY, AND ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. MILLS CONTRACTING, LLC ASSUMES NO RESPONSIBILITY FOR THE UNAUTHORIZED USE OF THESE DRAWINGS, AND RECOMMENDS THAT A LICENSED PROFESSIONAL BE HIRED TO PREPARE PROPER STAMPED AND SEALED CONSTRUCTION DOCUMENTS. ALL CONCEPTS, AND IDEAS CONVEYED IN DOCUMENTS, ARE THE PROPERTY OF MILLS CONTRACTING, LLC. ANY REUSE, REPRODUCTION OR ANY OTHER UNWARRANTED APPLICATION OF THESE DOCUMENTS ARE STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF MILLS CONTRACTING, LLC.



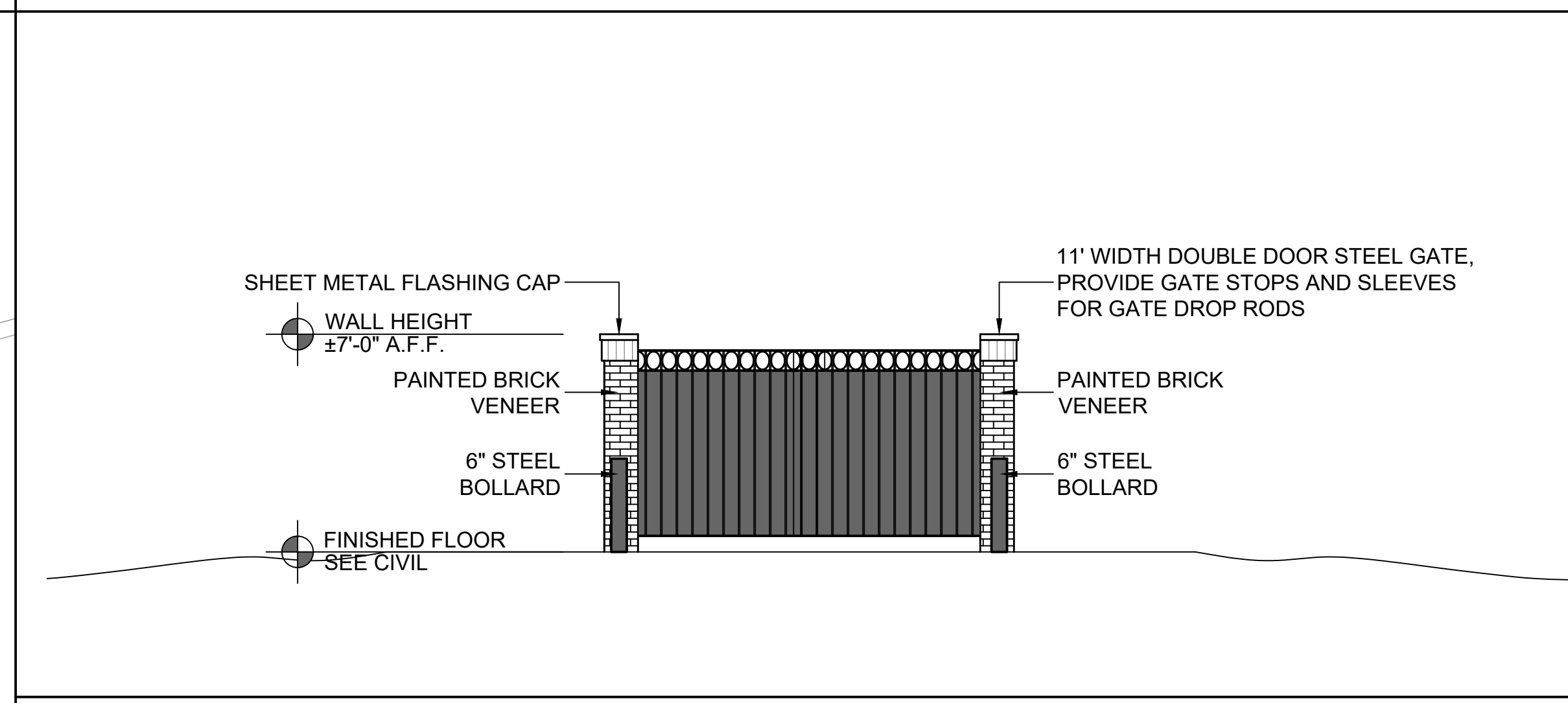
**G1 Exterior Elevation - Dumpster Enclosure (North)**  
Scale: 1/4" = 1'-0"  
GRAPHIC SCALE 1/4" = 1'-0"



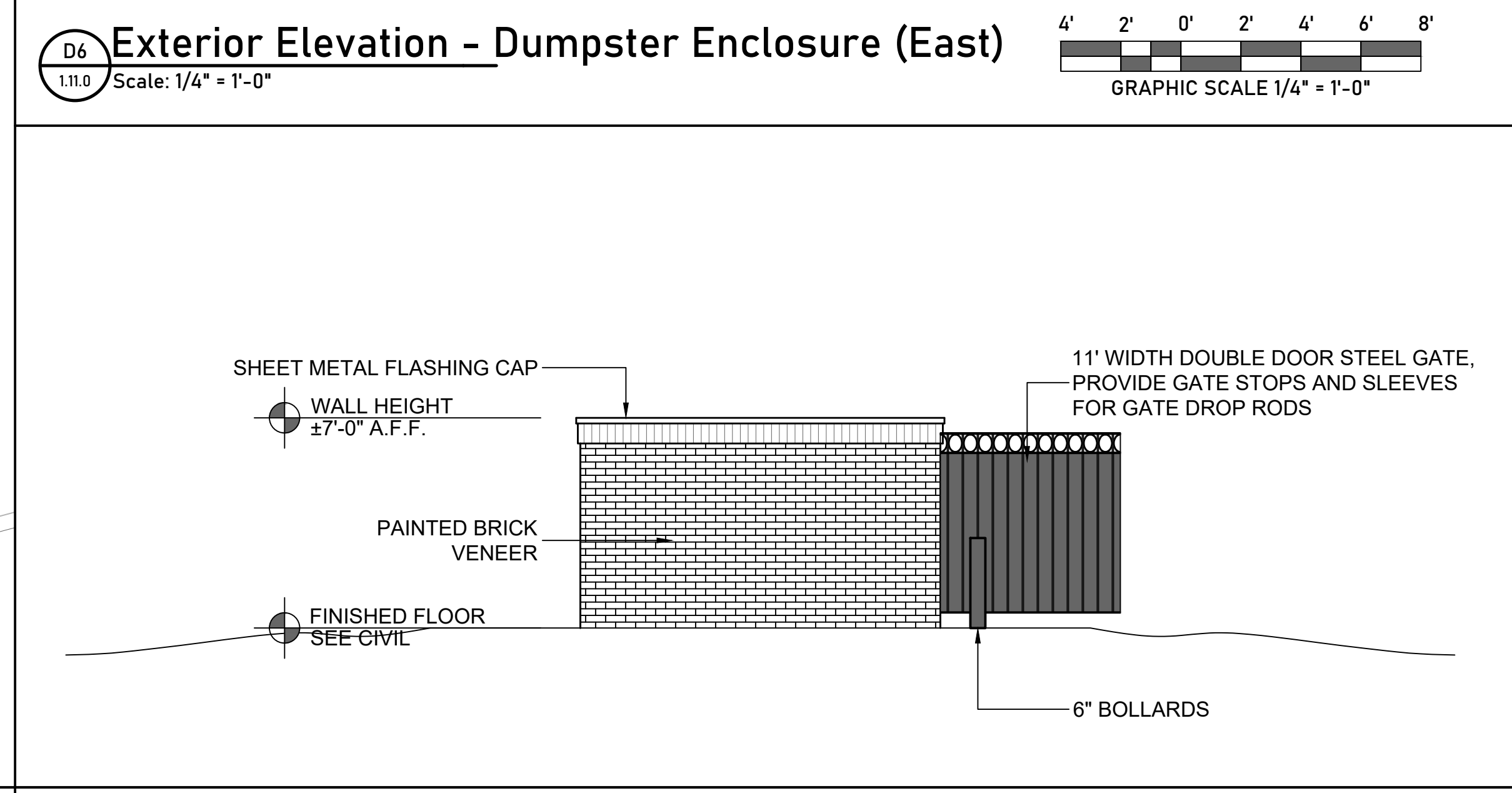
**G6 Exterior Elevation - Dumpster Enclosure (West)**  
Scale: 1/4" = 1'-0"  
GRAPHIC SCALE 1/4" = 1'-0"



**A1 Enlarged Plan - Dumpster Enclosure**  
Scale: 1/4" = 1'-0"  
GRAPHIC SCALE 1/4" = 1'-0"



**D6 Exterior Elevation - Dumpster Enclosure (East)**  
Scale: 1/4" = 1'-0"  
GRAPHIC SCALE 1/4" = 1'-0"



**A6 Exterior Elevation - Dumpster Enclosure (South)**  
Scale: 1/4" = 1'-0"  
GRAPHIC SCALE 1/4" = 1'-0"

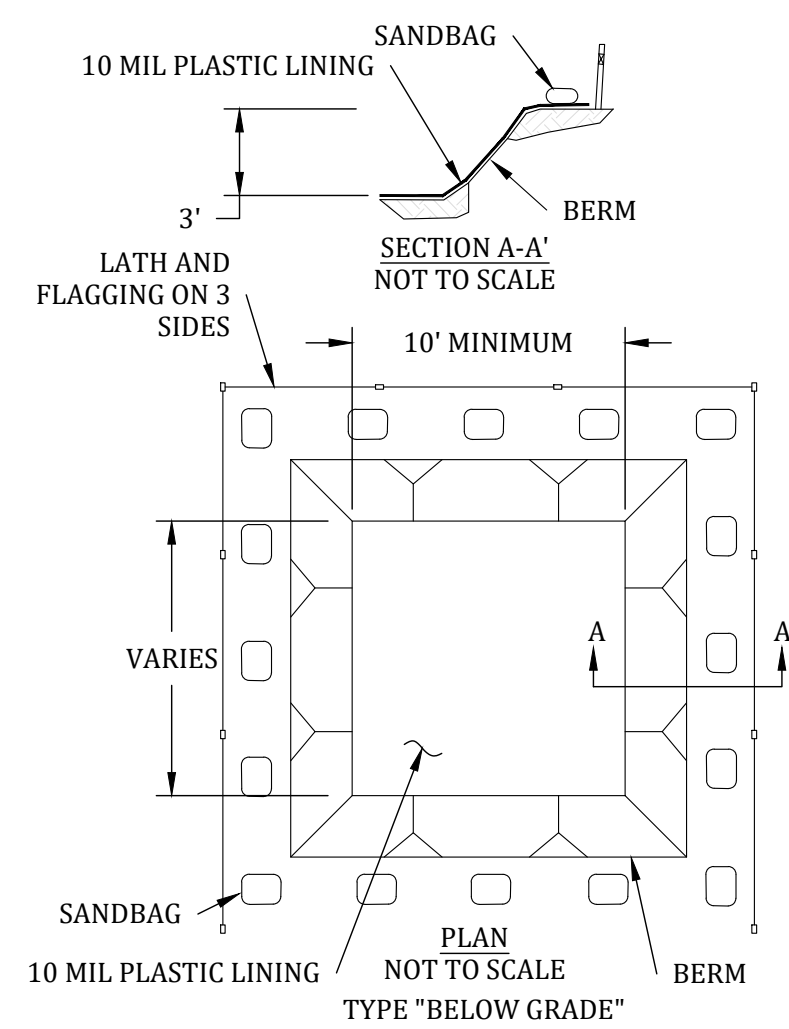


REVISIONS	DATE	DESCRIPTION	SCALE	PLOTTED
1	06-19-25	SEWER LIFT STATION DESIGN	NTS	
2	10-16-25	SEWER DESIGN 2		
3	10-29-25	SIDEWALK GRADING		
4	04-03-26	MEMORY CARE SITE ADDITION		
5	04-20-26	MEMORY CARE SITE ADDITION - R1		
DRAWN	DESIGN	CHECK	SUBMIT	SCALE
JLS	MH	MH	MH	NTS

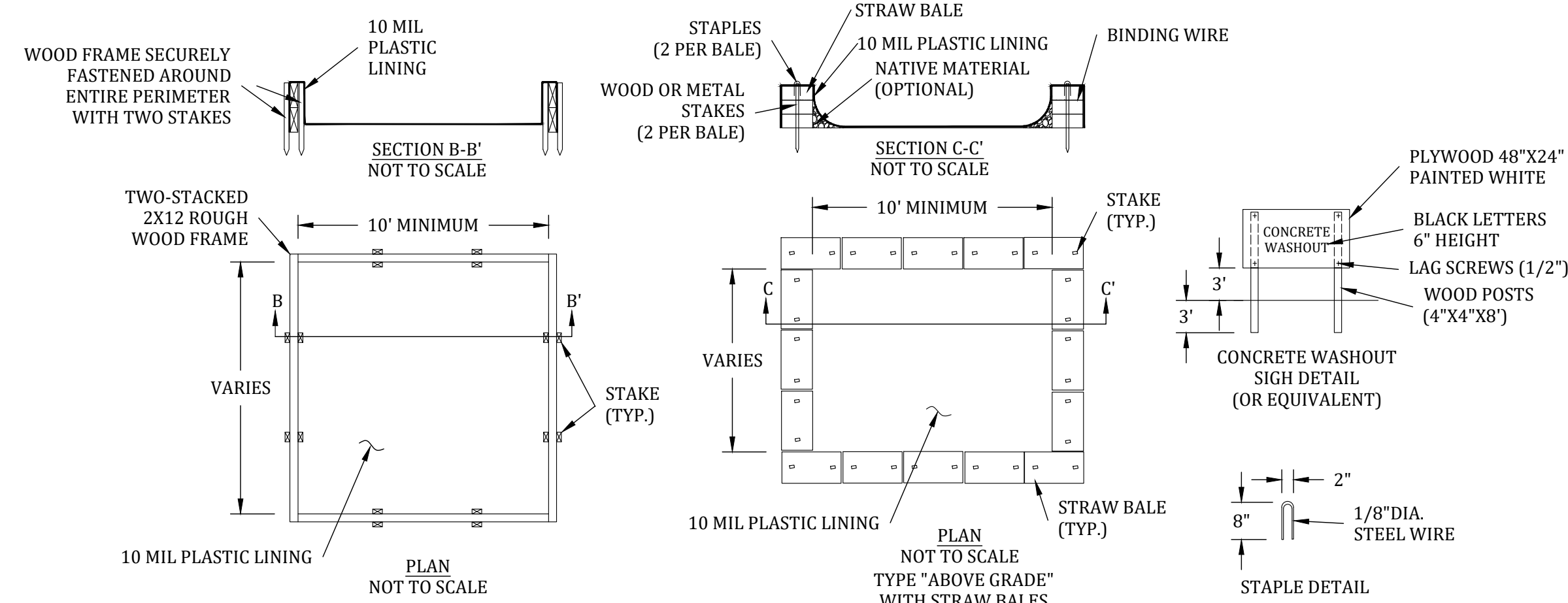
**STORM WATER MANAGEMENT PLAN**

- THE CONTRACTOR SHALL INSTALL/ IMPLEMENT MEASURES AS NEEDED TO TAKE ALL PRUDENT AND REASONABLE MEASURES TO PROTECT PROPERTIES FROM DAMAGE CAUSED BY THE CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL THE SILT FENCING, WATTLES, SEDIMENT CONTROL PONDS, DRAINAGE PIPES, AND ROCK RIPRAP REQUIRED, PRIOR TO THE BEGINNING OF ANY STRIPPING AND / OR EXCAVATION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMAL BUFFER OF UNDISTURBED AREAS, WHERE PRACTICAL, AROUND THE PERIMETER OF THE SITE. THIS BUFFER WILL REDUCE THE EROSION CAUSED BY WIND AND WATER AND ALSO HELP REDUCE THE AMOUNT OF SEDIMENT LEAVING THE SITE.
- EARTH FILL PROCEDURE WILL UTILIZE TEMPORARY DIVERSIONS TO ELIMINATE SURFACE RUNOFF.
- THE CONTRACTOR SHALL PROVIDE FOR PROTECTIVE MEASURES FOR THE CONTAINMENT OF HAZARDOUS MATERIALS, INCLUDING PETROLEUM PRODUCTS AND LUBRICANTS, ETC.
- THE CONTRACTOR SHALL PROVIDE TRASH CONTAINERS ON SITE FOR DISPOSAL OF ALL CONSTRUCTION MATERIALS AND PREVENT TRASH FROM THE SITE FROM ENTERING INTO THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR SHALL INSPECT ALL INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY DURING THE LENGTH OF THE CONSTRUCTION AT LEAST EVERY SEVEN (7) DAYS DURING DRY PERIODS. THE CONTRACTOR SHALL DILIGENTLY INSPECT AND REPAIR, WITHIN 24 HOURS OF A RAINFALL EVENT, ALL EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES REQUIRED TO ASSURE THAT THE STORM WATER DISCHARGED SHALL BE FREE FROM:
  - DEBRIS, OIL, SCUM AND OTHER FLOATING MATERIALS, OTHER THAN IN TRACE AMOUNTS;
  - ERODED SOILS AND OTHER MATERIALS THAT WILL SETTLE TO FORM OBJECTIONABLE DEPOSITS IN RECEIVING WATERS;
  - SUSPENDED SOLIDS, TURBIDITY AND COLOR AT LEVELS INCONSISTENT WITH RECEIVING WATERS;
  - CHEMICALS IN CONCENTRATIONS THAT WOULD CAUSE VIOLATION OF THE STATE WATER QUALITY CRITERIA IN THE RECEIVING WATERS.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD KEEPING DOCUMENTING INSPECTION AND REPAIR OF ALL EROSION CONTROL MEASURES INSTALLED.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE STORM WATER CONSTRUCTION GENERAL PERMIT REGULATIONS AND THE "PLANNING AND DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT AND STORMWATER", PUBLISHED BY THE MDEQ, MISSISSIPPI SOIL & WATER COMMISSION AND THE USDA SOIL CONSERVATION SERVICE.
- THIS PLAN CONTAINS THE MINIMUM EROSION CONTROL MEASURES TO BE TAKEN. THE CONTRACTOR SHALL UTILIZE THE BMP'S OUTLINED IN THE ABOVE REFERENCED MATERIAL FOR IMPLEMENTATION OF ADDITIONAL MEASURES, AS REQUIRED.
- SILT FENCE WILL EXTEND 5' BEYOND DISTURBED AREA AND CURVE UPHILL.

**CONCRETE WASHOUT DETAIL**

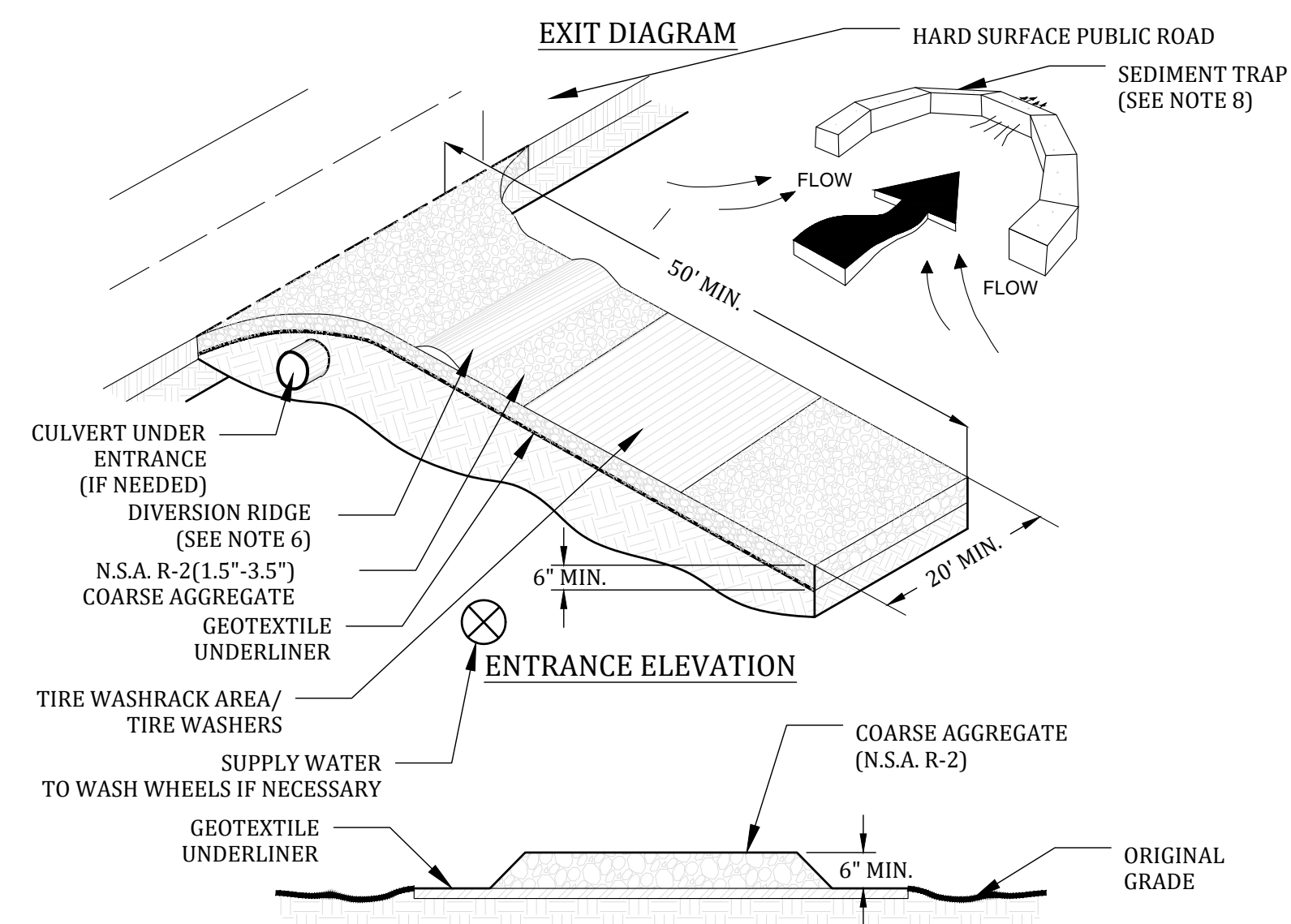


- NOTES:**
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
  - HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
  - WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED. ADDITIONAL INFORMATION ABOUT BEST MANAGEMENT PRACTICES FOR CONCRETE WASHOUT IS AVAILABLE AT THE USEPA WEBSITE.
  - A WASHOUT PIT MADE WITH HAY BALES AND A PLASTIC LINING SHALL BE USED TO CLEAN UP ONLY CONCRETE CHUTES, HOPPERS, WHEELBARRROW OR HAND HELD TOOLS.
  - SUCH PITS CAN BE DUG INTO THE GROUND OR BUILT ABOVE GRADE. THE PLASTIC LINING SHOULD BE FREE OF TEARS OR HOLES THAT WOULD ALLOW THE WASHWATER TO ESCAPE.
  - AFTER THE PIT IS USED TO WASH DOWN THE CHUTES OF MULTIPLE READY MIXED TRUCKS AND THE WASHWATER HAS EVAPORATED OR HAS BEEN VACUUMED OFF, THE REMAINING HARDENED SOLIDS CAN BE BROKEN UP AND REMOVED FROM THE PIT. THIS PROCESS MAY DAMAGE THE HAY BALES AND PLASTIC LINING. IF DAMAGE OCCURS, THE PIT WILL NEED TO BE REPAIRED AND RELINED WITH NEW PLASTIC. WHEN THE HARDENED SOLIDS ARE REMOVED, THEY MAY BE BOUND UP WITH THE PLASTIC LINING AND HAVE TO BE SENT TO A LANDFILL, RATHER THAN RECYCLED.
  - IF THE PIT IS GOING TO BE EMPTIED AND REPAIRED MORE THAN A FEW TIMES, THE HAY BALES AND PLASTIC WILL BE GENERATING ADDITIONAL SOLID WASTE.



- NOTES:**
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE WASHOUT FACILITY

**CRUSHED STONE CONSTRUCTION EXIT**



- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
  - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
  - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
  - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
  - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
  - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
  - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
  - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

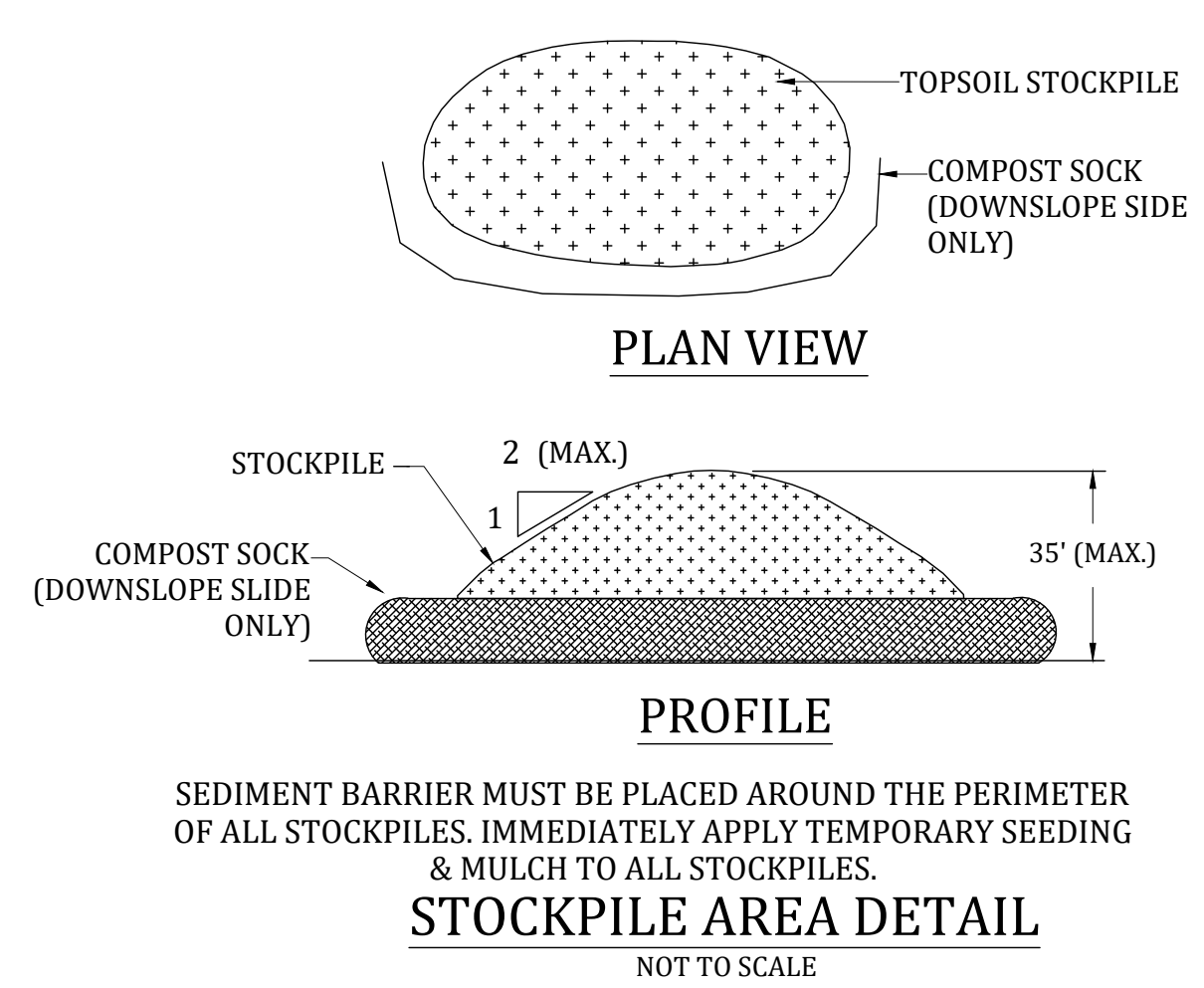
**DUST CONTROL ON DISTURBED AREAS**

**DEFINITION**  
CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION SITES.

**CONDITIONS**  
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST WHERE ON AND OFF-SITE DAMAGE MAY OCCUR WITHOUT TREATMENT.

**METHOD AND MATERIALS**

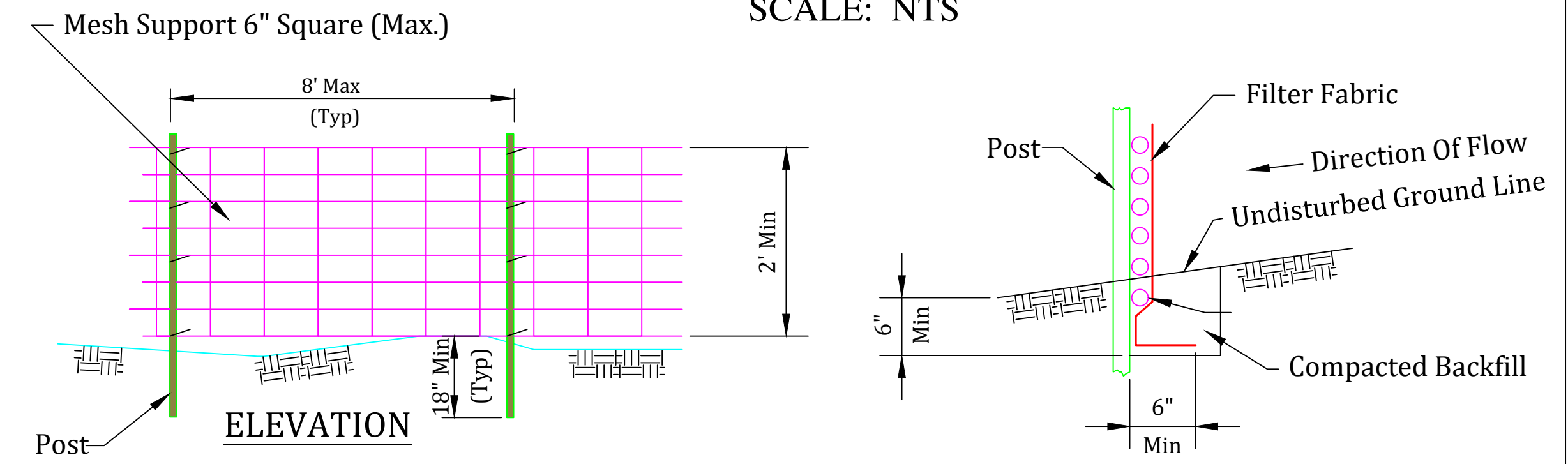
- A. TEMPORARY METHODS**
- MULCHES. SEE STANDARD DS1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO STANDARD TB-TACKIFIERS AND BINDERS. RESINS SUCH AS CURASOL OR TERRATAK SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- VEGETATIVE COVER. SEE STANDARD DS2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING).
- SPRAY-ON ADHESIVES. THESE ARE USED ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO STANDARD TB-TACKIFIERS AND BINDERS.
- TILLAGE. THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION. THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
- BARRIERS. SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.
- CALCIUM CHLORIDE. APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
- B. PERMANENT METHODS**
- PERMANENT VEGETATION. SEE STANDARD DS3 - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOPSOILING. THIS ENTAILS COVERING THE SURFACE WITH LESS EROSIIVE SOIL MATERIAL. SEE STANDARD TP - TOPSOILING.
- STONE. COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE STANDARD CR-CONSTRUCTION ROAD STABILIZATION.



SEDIMENT BARRIER MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING & MULCH TO ALL STOCKPILES.

**STOCKPILE AREA DETAIL**  
NOT TO SCALE

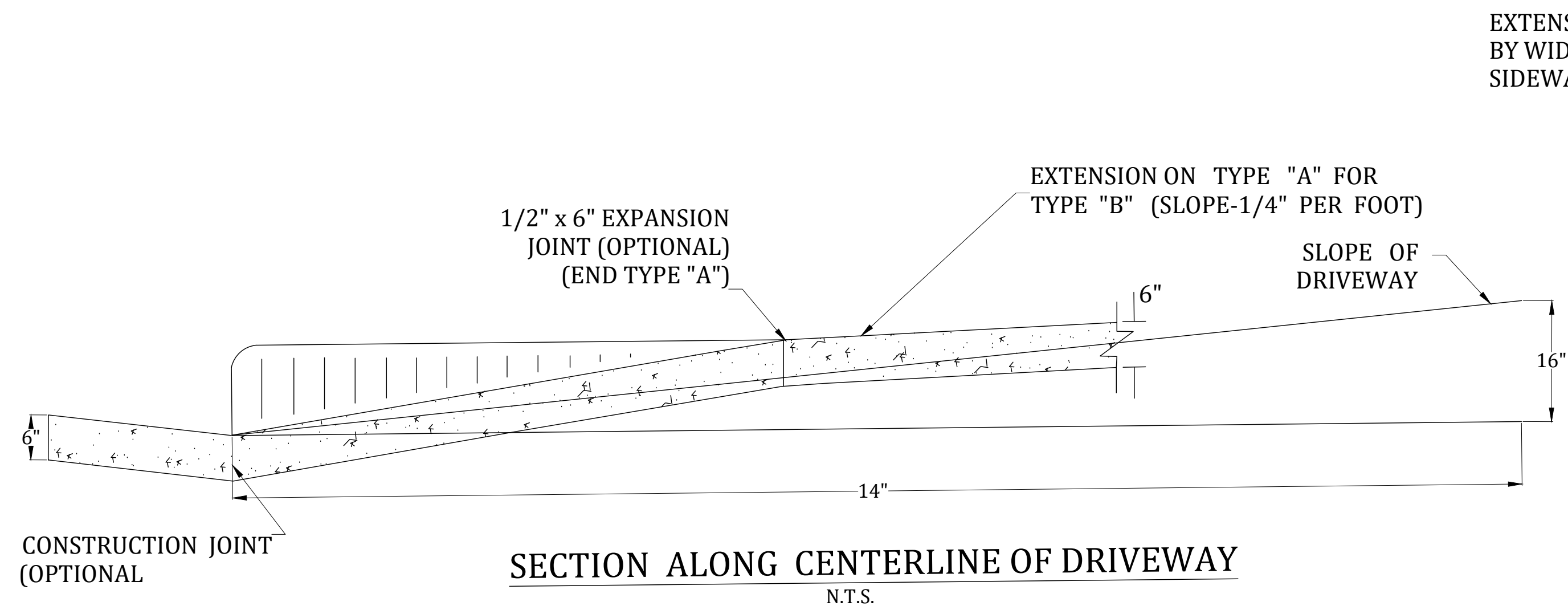
**FABRIC ANCHOR DETAIL**  
SCALE: NTS



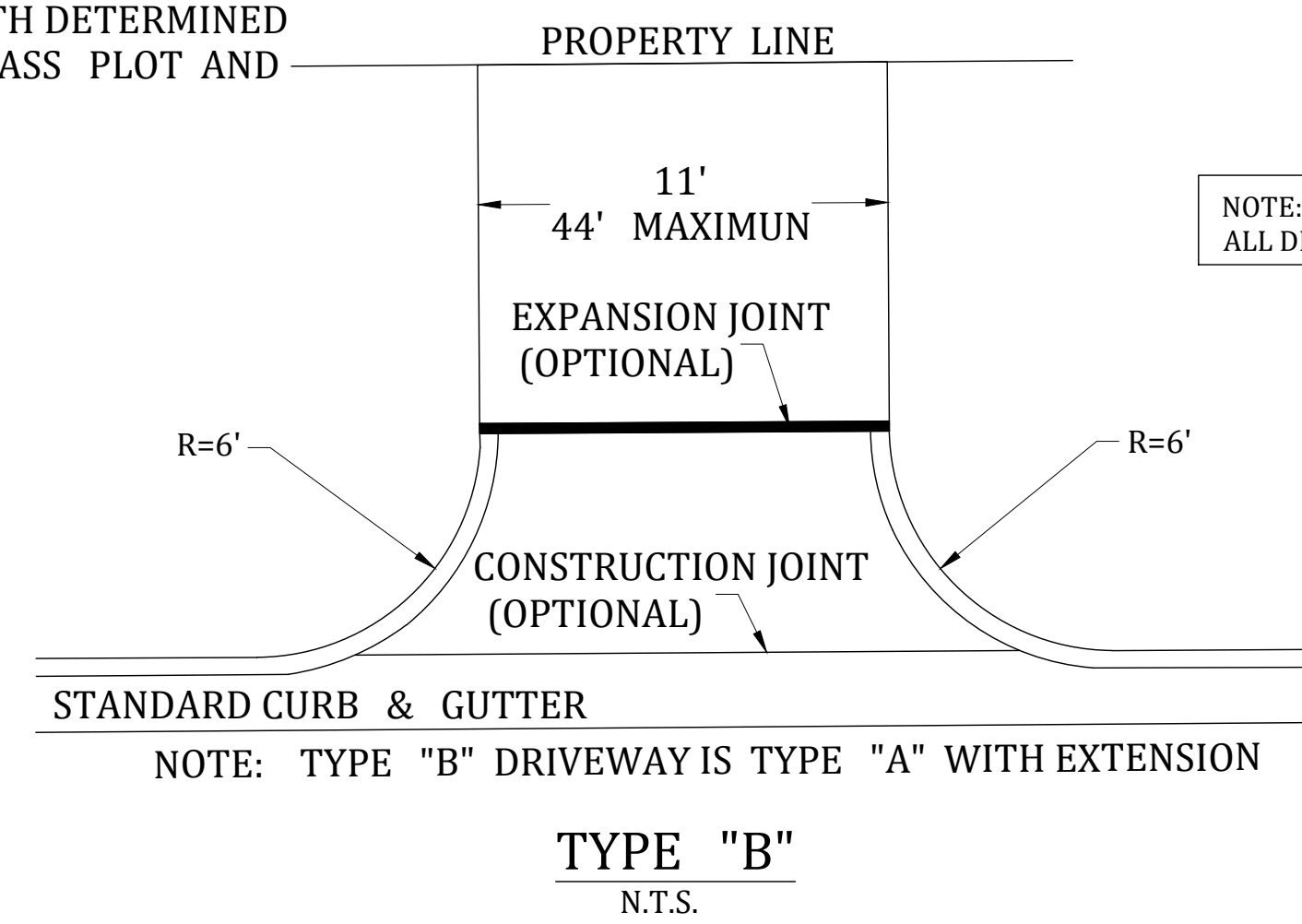
- NOTES:**
- WIRES OF MESH SUPPORT SHALL BE MINIMUM GAGE NO. 12.
  - TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
  - FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
  - FENCE POSTS SHALL BE EITHER WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN. OR A STANDARD STEEL POST.



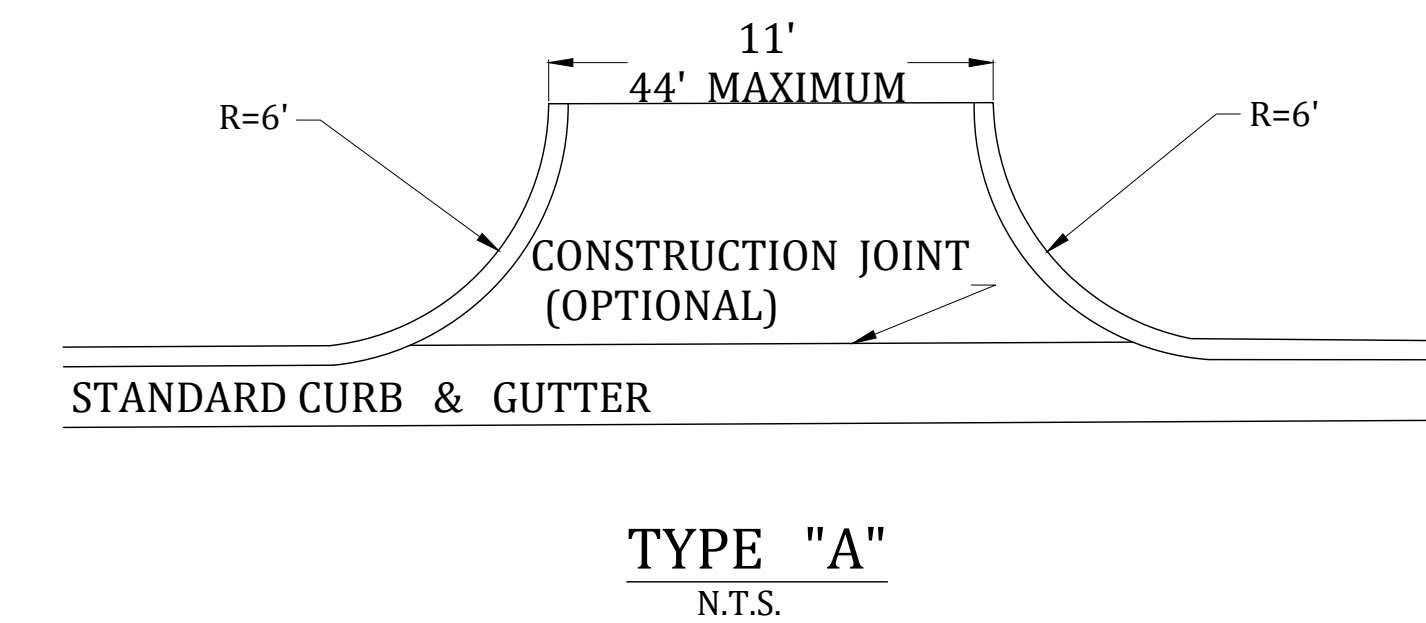
REVISIONS	DESCRIPTION	DATE	SCALE	PLOTTED
1	SEWER LIFT STATION DESIGN	08-19-25		
2	SEWER DESIGN 2	10-16-25		
3	SIDEWALK GRADING	10-29-25		
4	MEMORY CARE SITE ADDITION	04-05-26		
5	MEMORY CARE SITE ADDITION - R1	04-20-26		
DESIGN	CHECK	04-20-26		
DRAWN	SUBMIT	04-20-26		
JLS	MH			N.T.S.



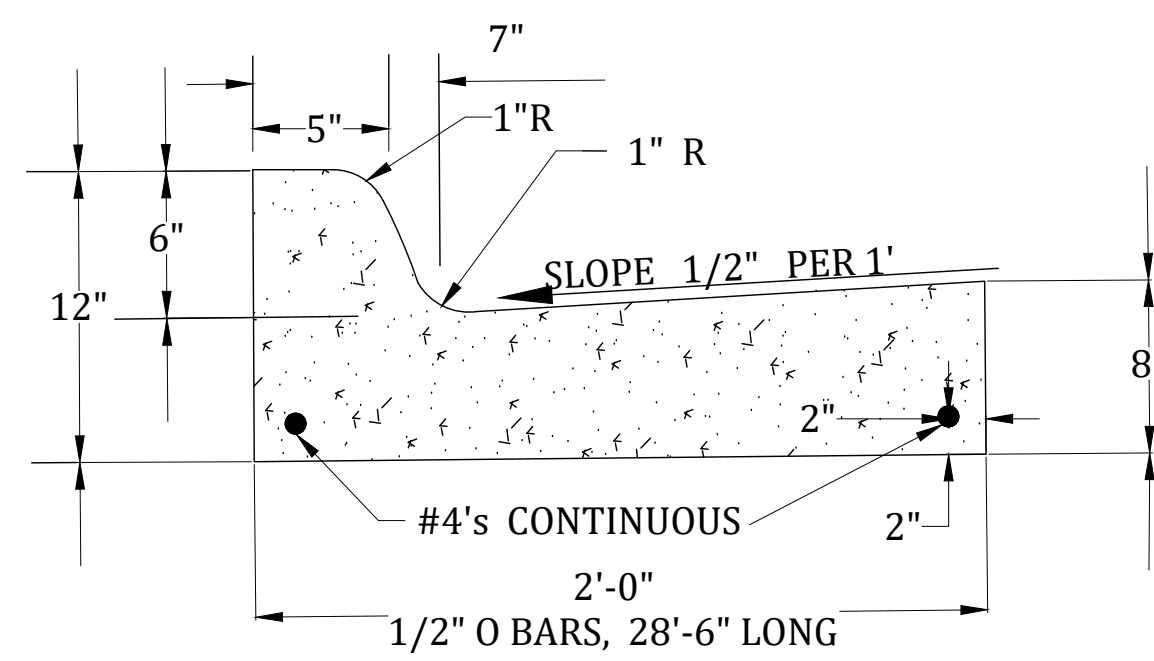
EXTENSION LENGTH DETERMINED BY WIDTH OF GRASS PLOT AND SIDEWALK



NOTE: ALL DRIVEWAY TO BE 3500 PSI CONCRETE



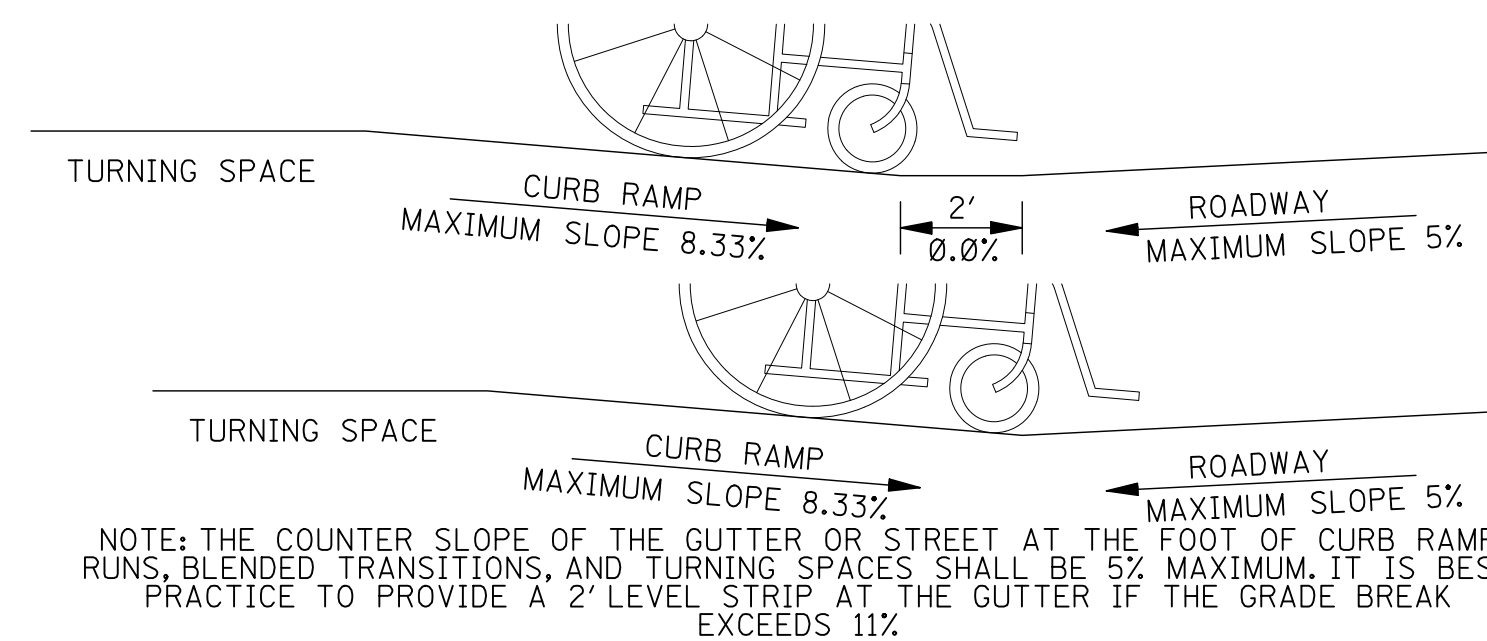
**STANDARD DRIVEWAYS**



- NOTES 1. ALL CURBS, GUTTERS AND DRIVEWAYS TO BE CONSTRUCTED OF 3000 LB. CONCRETE.  
2. 2-3/4" DOWEL BARS, 15" LONG REQ'D. AT EXPANSION JOINTS. THEY SHALL BE HELD IN PLACE BY APPROVED CHAIRS OR SUPPORTS AND 1/2" EXPANSION MATERIALS.

**STANDARD CURB AND GUTTER**

NOTE: MOUNTABLE CURB MAY BE SUBSTITUTED GRATE INLET IN CURB LINE - DF - 3623



**HANDICAP RAMP NOTE:**  
Contractor shall use MDOT Type 5 ramp on 2-way pedestrian crossings and Type 4 on 1-way pedestrian crossings.

GENERAL NOTES

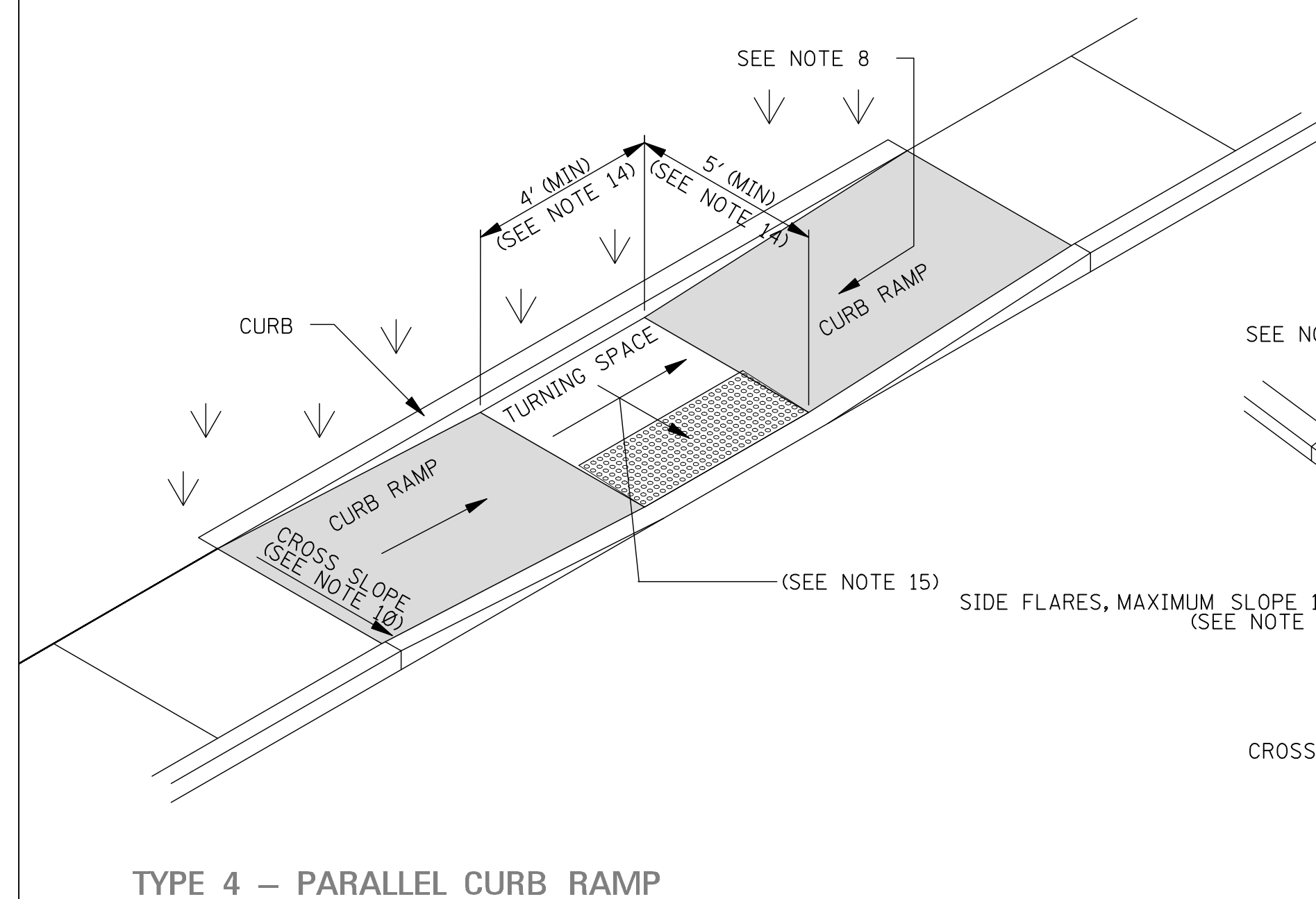
1. THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND MDOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG).
2. CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO THE DETECTABLE WARNING DETAILS ON WK. NO. CR-4 FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS.
3. THE LOCATION, ORIENTATION, AND TYPE OF CURB RAMPS SHOULD BE AS SHOWN IN THE PLANS.
4. ANY COMBINATION OF PERPENDICULAR, PERPENDICULAR RETURNED, AND PARALLEL CURB RAMPS MAY BE USED TO ACHIEVE AN ACCESSIBLE DESIGN AS LONG AS THE BASIC REQUIREMENTS FOR CURB RAMPS ARE MET.
5. CURB RAMPS SHALL BE PAID FOR AS SIDEWALK.
6. THE THICKNESS OF THE CURB RAMP SHALL BE A MINIMUM OF 4".
7. BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4' MINIMUM BY 4' MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE.

CURB RAMP NOTES:

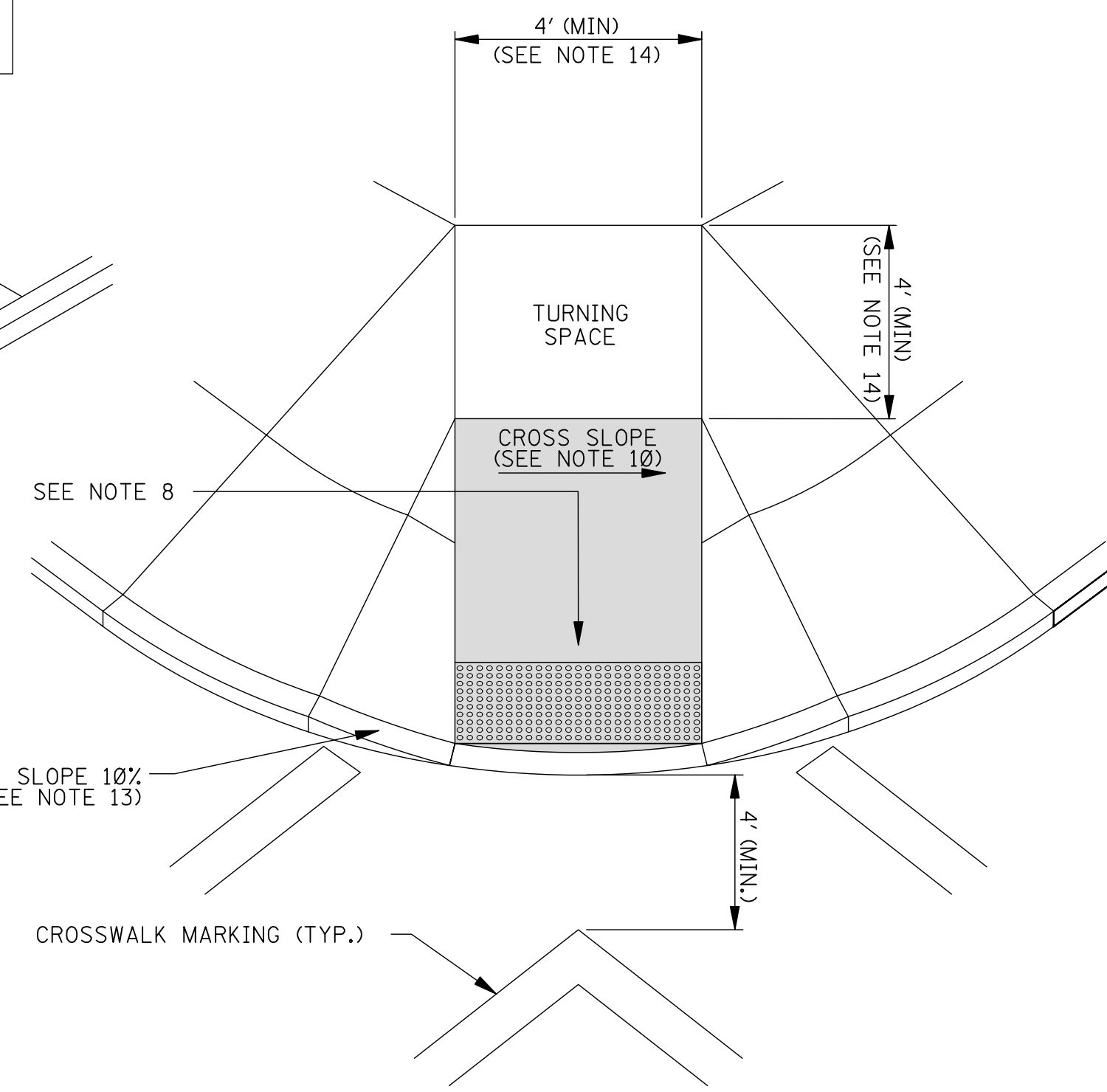
8. THE CLEAR WIDTH OF CURB RAMP RUNS (EXCLUDING ANY FLARED SIDES), BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE THE WIDTH OF THE SIDEWALK, OR 4' MINIMUM. THE RUNNING SLOPE OF A CURB RAMP SHALL BE 5% MINIMUM, AND 8.33% MAXIMUM (7.1% PREFERRED). THE RUNNING SLOPE OF BLENDED TRANSITIONS SHALL BE 5% MAXIMUM.
9. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33%, THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP EXCEED 15'.
10. THE CROSS SLOPE OF CURB RAMPS, BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE 2% MAXIMUM (1.5% PREFERRED). AT PEDESTRIAN STREET CROSSINGS WITHOUT YIELD OR STOP CONTROL AND AT MIDBLOCK PEDESTRIAN STREET CROSSINGS, THE CROSS SLOPE IS PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE.
11. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
12. RAMP TRANSITIONS BETWEEN WALKS, TURNING SPACES, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES.
13. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES SHALL BE SLOPED 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE.

TURNING SPACE NOTES:

14. A TURNING SPACE 4' MINIMUM BY 4' MINIMUM SHALL BE PROVIDED AT THE TOP OF PERPENDICULAR RAMPS AND AT THE BOTTOM OF PARALLEL RAMPS. TURNING SPACES ARE ALLOWED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. IF THE TURNING SPACE IS CONSTRAINED BY A CURB, WALL, OR OTHER OBSTRUCTION, THE TURNING SPACE SHALL BE 4' MINIMUM BY 5' MINIMUM, WITH THE 5' DIMENSION PROVIDED IN THE DIRECTION OF TRAVEL TOWARD THE CONSTRAINT.
15. THE RUNNING SLOPE OF TURNING SPACES SHALL BE 2% MAXIMUM (1.5% PREFERRED). THE CROSS SLOPE OF TURNING SPACES SHALL BE 2% MAXIMUM (1.5% PREFERRED). AT PEDESTRIAN STREET CROSSINGS WITHOUT YIELD OR STOP CONTROL AND AT MIDBLOCK PEDESTRIAN STREET CROSSINGS, THE CROSS SLOPE SHALL BE PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE.
16. BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE 4' MINIMUM BY 4' MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE.
17. THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF CURB RAMP RUNS, BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE 5% MAXIMUM. IT IS BEST PRACTICE TO PROVIDE A 2' LEVEL STRIP AT THE GUTTER IF THE GRADE BREAK EXCEEDS 11%.



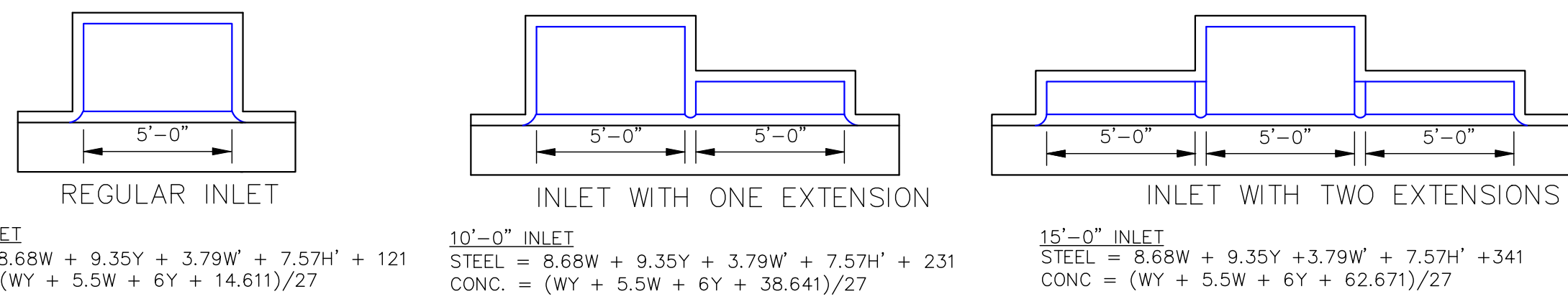
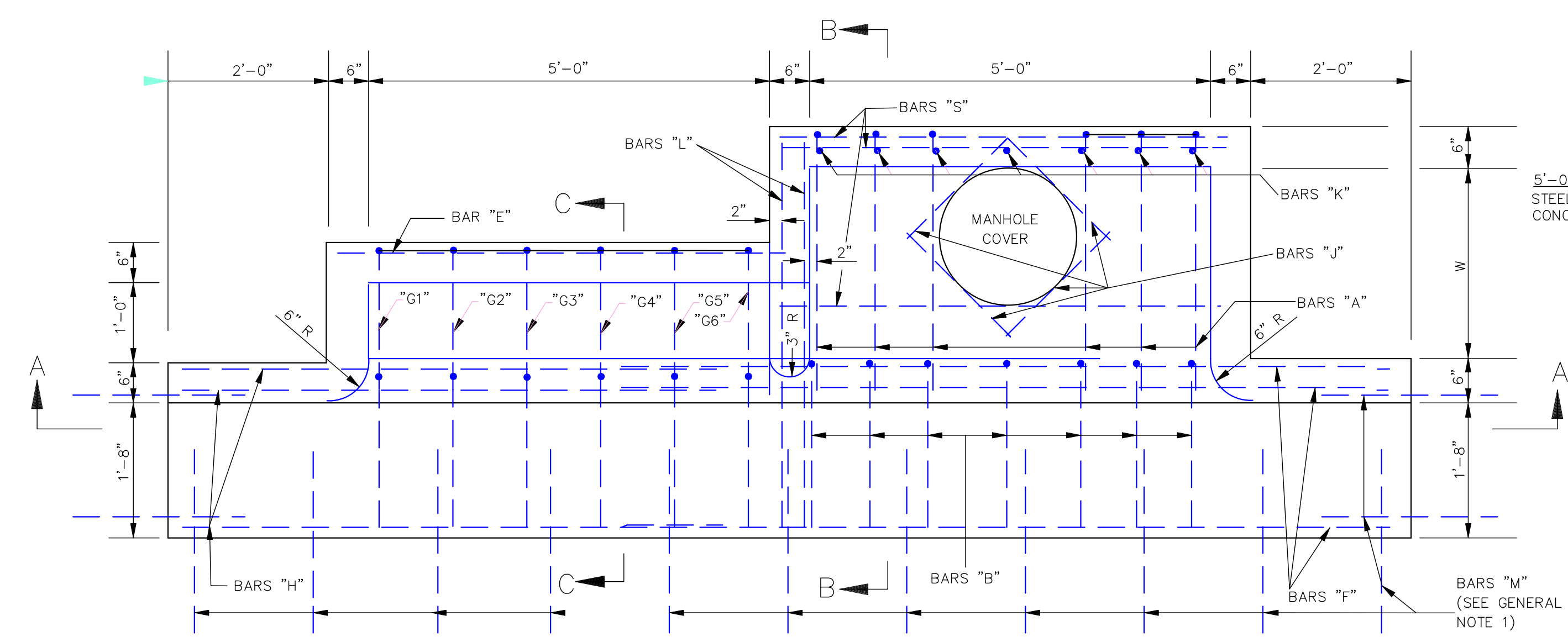
THE CURB BEHIND THE TURNING SPACE AND RAMPS IS NOT REQUIRED, BUT IS SUGGESTED FOR RETAINING SOIL AND PROVIDING AN EDGE FOR PEDESTRIANS WITH VISUAL IMPAIRMENTS.



DIAGONAL CURB RAMPS ARE UNACCEPTABLE IN NEW CONSTRUCTION. THEY MAY BE USED FOR ALTERATIONS ONLY IF IT IS THE ONLY OPTION THAT WILL WORK.



REVISIONS	DATE	DESCRIPTION	SCALE	PLOTTED
1	06-19-25	SEWER LIFT STATION DESIGN	N.T.S.	
2	10-16-25	SEWER DESIGN 2	N.T.S.	
3	10-29-25	SIDWALK GRADING	N.T.S.	
4	04-03-26	MEMORY CARE SITE ADDITION	N.T.S.	
5	04-20-26	MEMORY CARE SITE ADDITION - R1	N.T.S.	
		DESIGN CHECK		
		DESIGN SUBMIT		
		DRAWN		
		JLS		



- NOTES:
1. W AND H ARE EXPRESSED IN DECIMAL FEET.
  2. W = W ROUNDED TO NEAREST WHOLE FOOT.
  3. Y = (H-0.5).
  4. H' = (H - 2.08) ROUNDED TO NEAREST WHOLE FOOT.
  5. NO DEDUCTIONS ARE MADE FOR PIPE OPENINGS IN FORMULAS.

5'-0" INLET  
STEEL = 8.68W + 9.35Y + 3.79W' + 7.57H' + 121  
CONC. = (WY + 5.5W + 6Y + 14.611)/27

W	yd <sup>3</sup> /ft	H	yd <sup>3</sup> /ft
2'-6"	0.315	3'-6"	0.315
3'-0"	0.333	4'-0"	0.333
3'-6"	0.352	4'-6"	0.352
4'-0"	0.371	5'-0"	0.370
4'-6"	0.389	5'-6"	0.389
5'-0"	0.408	6'-0"	0.408
5'-6"	0.426	6'-6"	0.426
6'-0"	0.445	7'-0"	0.445
6'-6"	0.463	7'-6"	0.463
7'-0"	0.481	8'-0"	0.482
		8'-6"	0.500

QUANTITIES FOR ONE EXTENSION

BAR	SIZE	LENGTH	SPACING	NUMBER	WEIGHT
"E"	#4	5'-8"	AS SHOWN	3	11
"G"	#6	SEE SCHEDULE	0'-11"	6	34
"H"	#6	6'-9"	AS SHOWN	5	51
"L"	#6	4'-9"	AS SHOWN	2	14

TOTAL STEEL FOR ONE EXTENSION = 110 lbs  
TOTAL CONCRETE FOR ONE EXTENSION = 0.89 yd

NOTE: WHERE EXTENSION IS USED WITH CONCRETE PAVEMENT, ADD 27 LBS OF STEEL FOR BARS "M".

W=2'-6" BILL OF REINFORCING STEEL FOR 1-5'-0" INLET

H	BAR "A"	BAR "C"	BAR "S"	BAR "D"	BAR "F"	BAR "J"	BAR "B"	BAR "K"	*TOTAL STEEL	TOTAL CONC.										
	#4 @ 9"	#4 @ 9"	#4 @ 12"	#4 @ 12"	#6	#4	#4 @ 9"	#4 @ 9"	lbs	yd <sup>3</sup>										
3'-6"	6	17	7	27	5	19	5	19	5	73	4	6	3'-10"	7	18	2'-7"	7	12	190	1.99
4'-0"	6	17	7	27	5	19	7	26	5	73	4	6	4'-4"	7	20	3'-1"	7	14	202	2.15
4'-6"	6	17	7	27	5	19	7	26	5	73	4	6	4'-10"	7	23	3'-7"	7	17	207	2.31
5'-0"	6	17	7	27	5	19	9	34	5	73	4	6	5'-4"	7	25	4'-1"	7	19	219	2.47
5'-6"	6	17	7	27	5	19	9	34	5	73	4	6	5'-10"	7	27	4'-7"	7	21	224	2.62
6'-0"	6	17	7	27	5	19	11	42	5	73	4	6	6'-4"	7	30	5'-1"	7	24	238	2.78
6'-6"	6	17	7	27	5	19	11	42	5	73	4	6	6'-10"	7	32	5'-7"	7	26	240	2.94
7'-0"	6	17	7	27	5	19	13	49	5	73	4	6	7'-4"	7	34	6'-1"	7	28	253	3.10
7'-6"	6	17	7	27	5	19	13	49	5	73	4	6	7'-10"	7	37	6'-7"	7	31	257	3.25

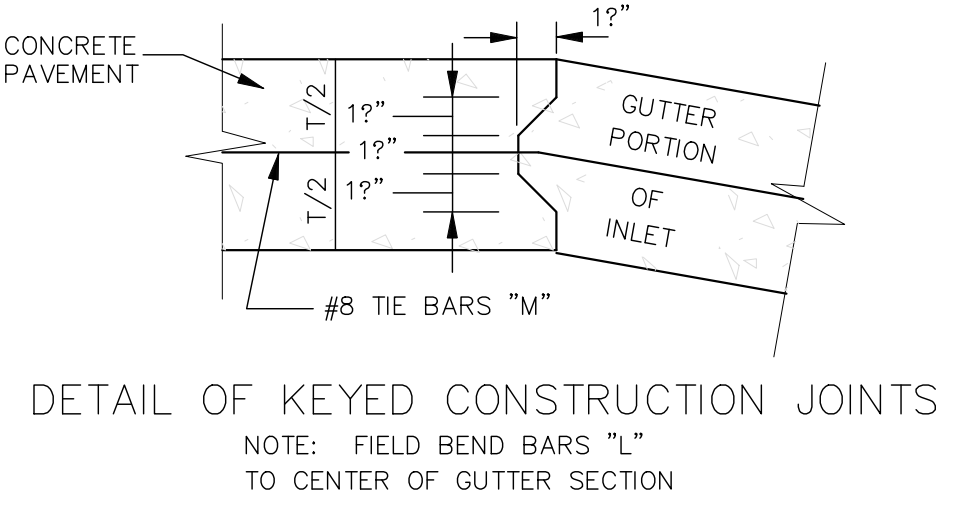
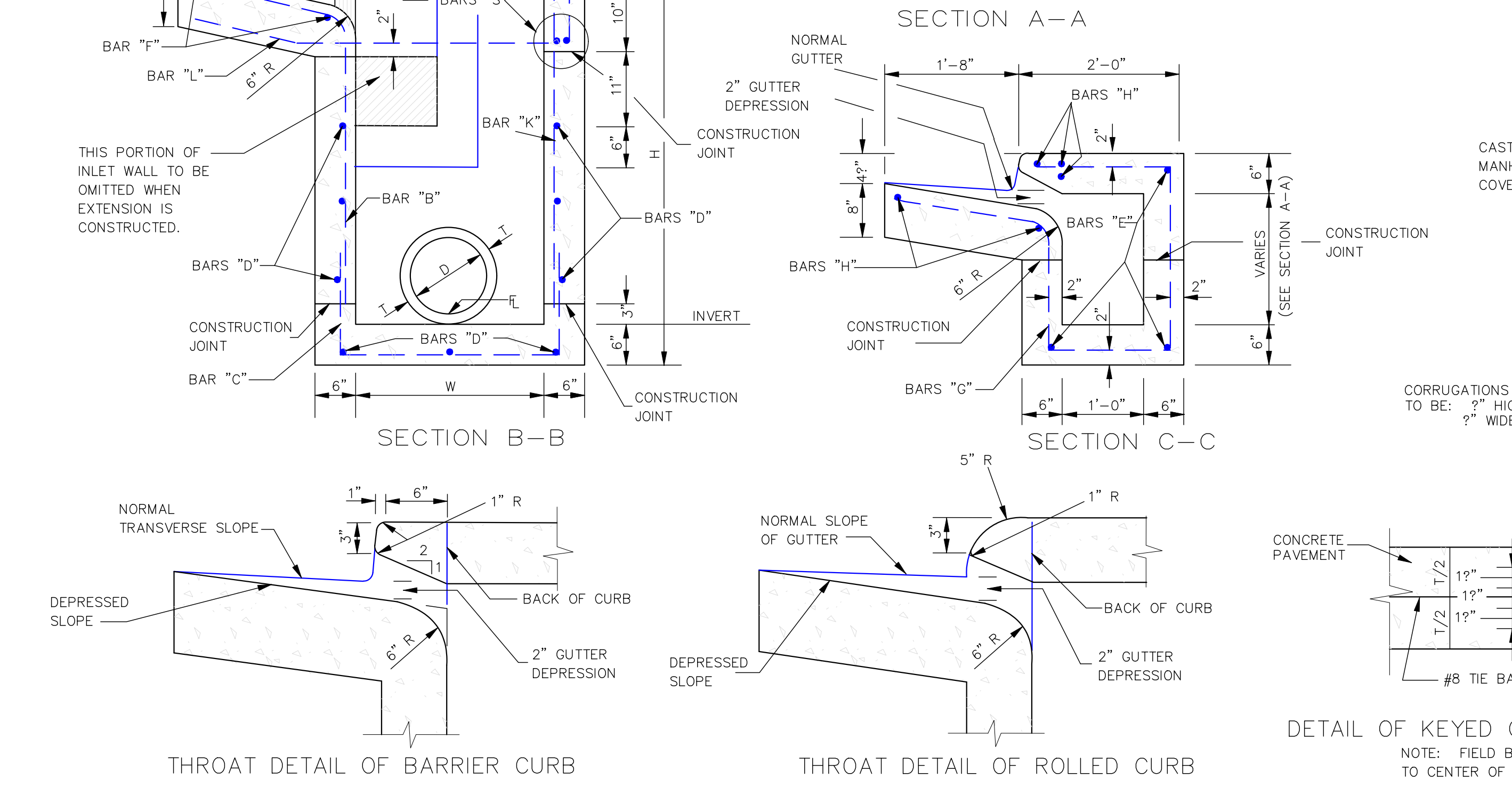
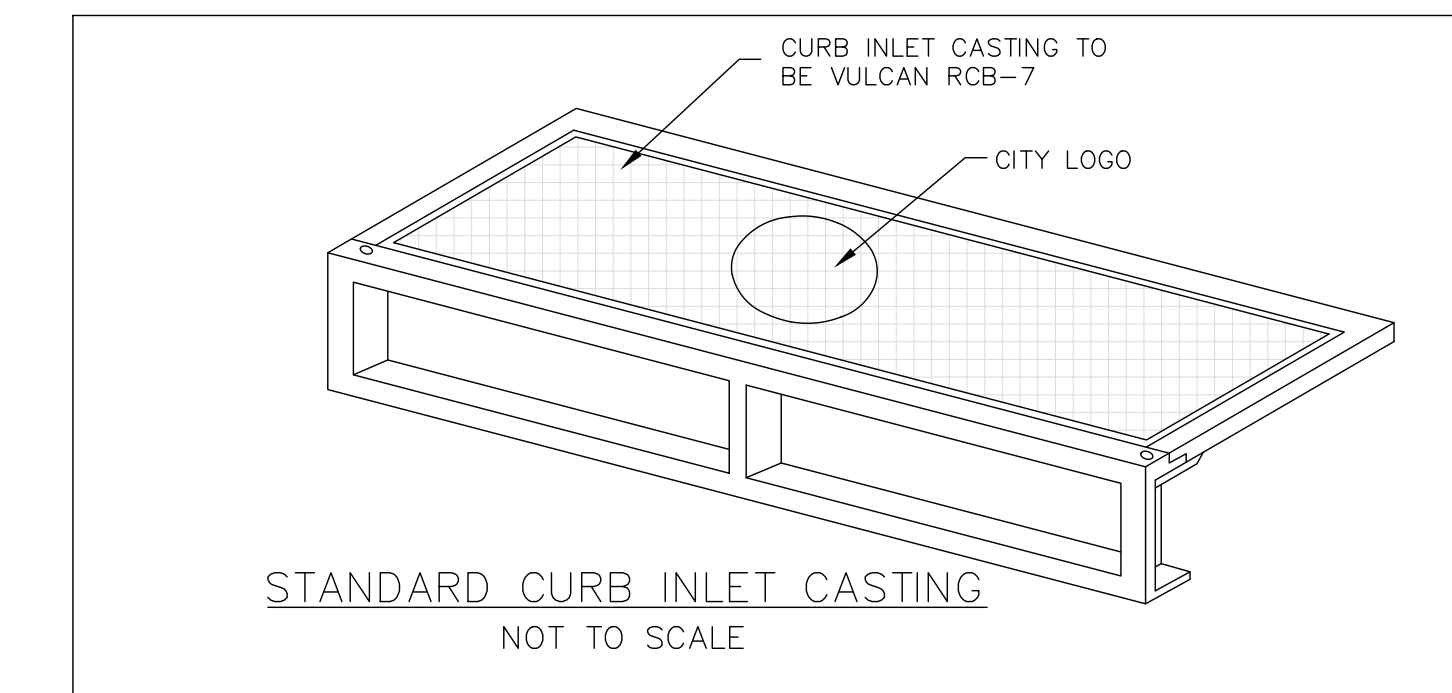
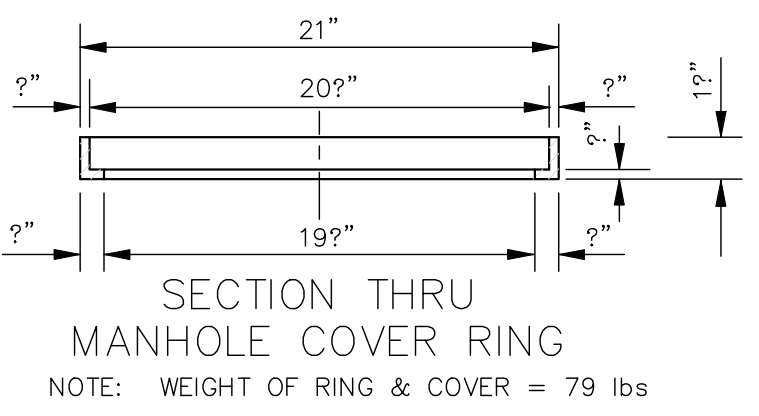
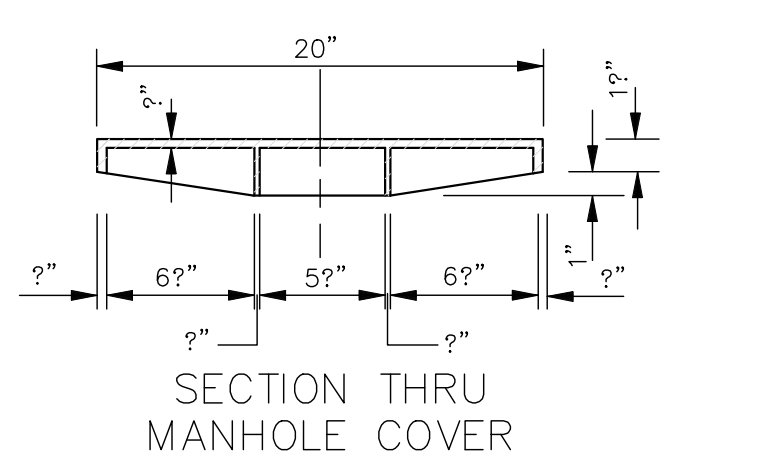
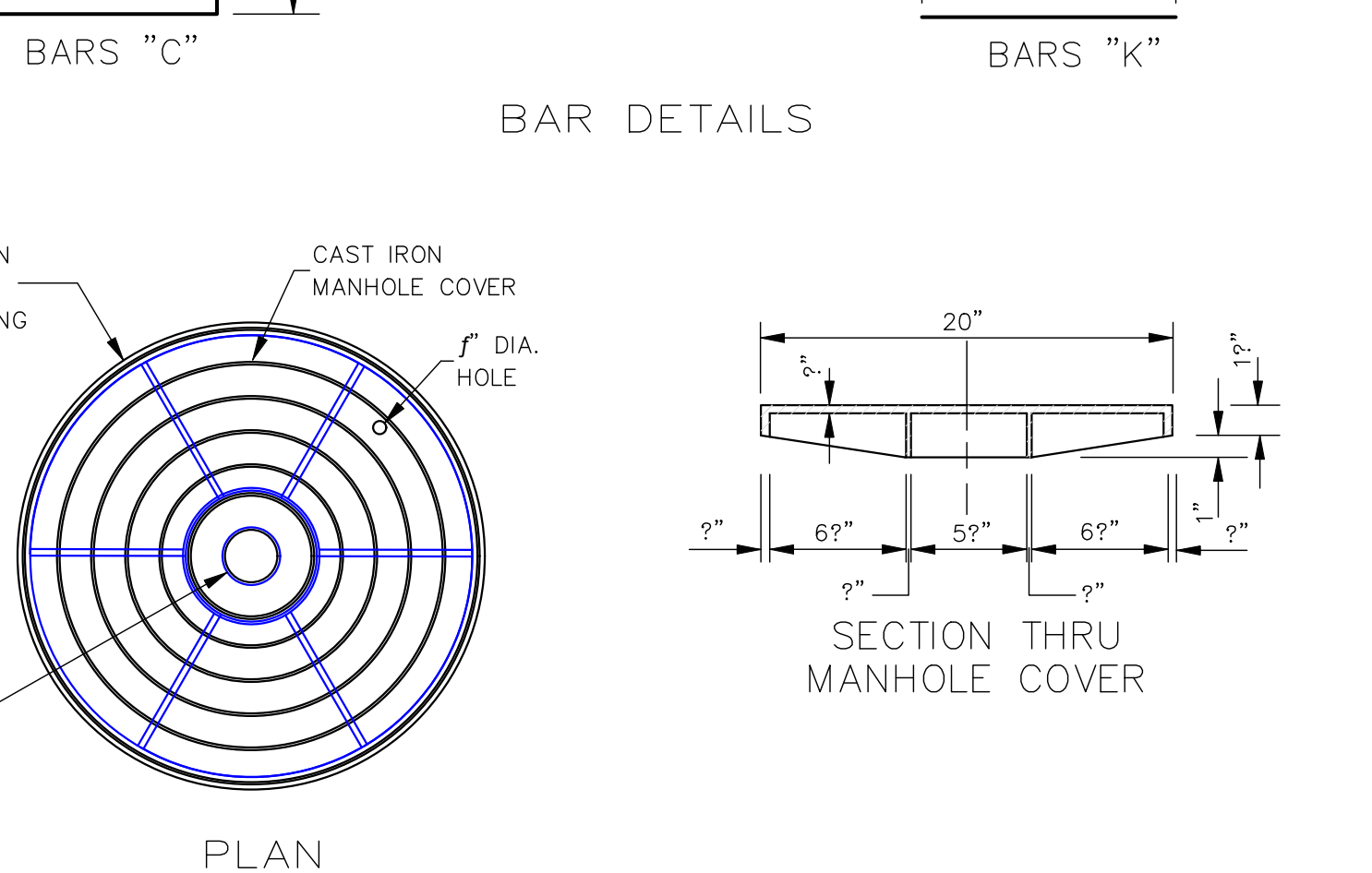
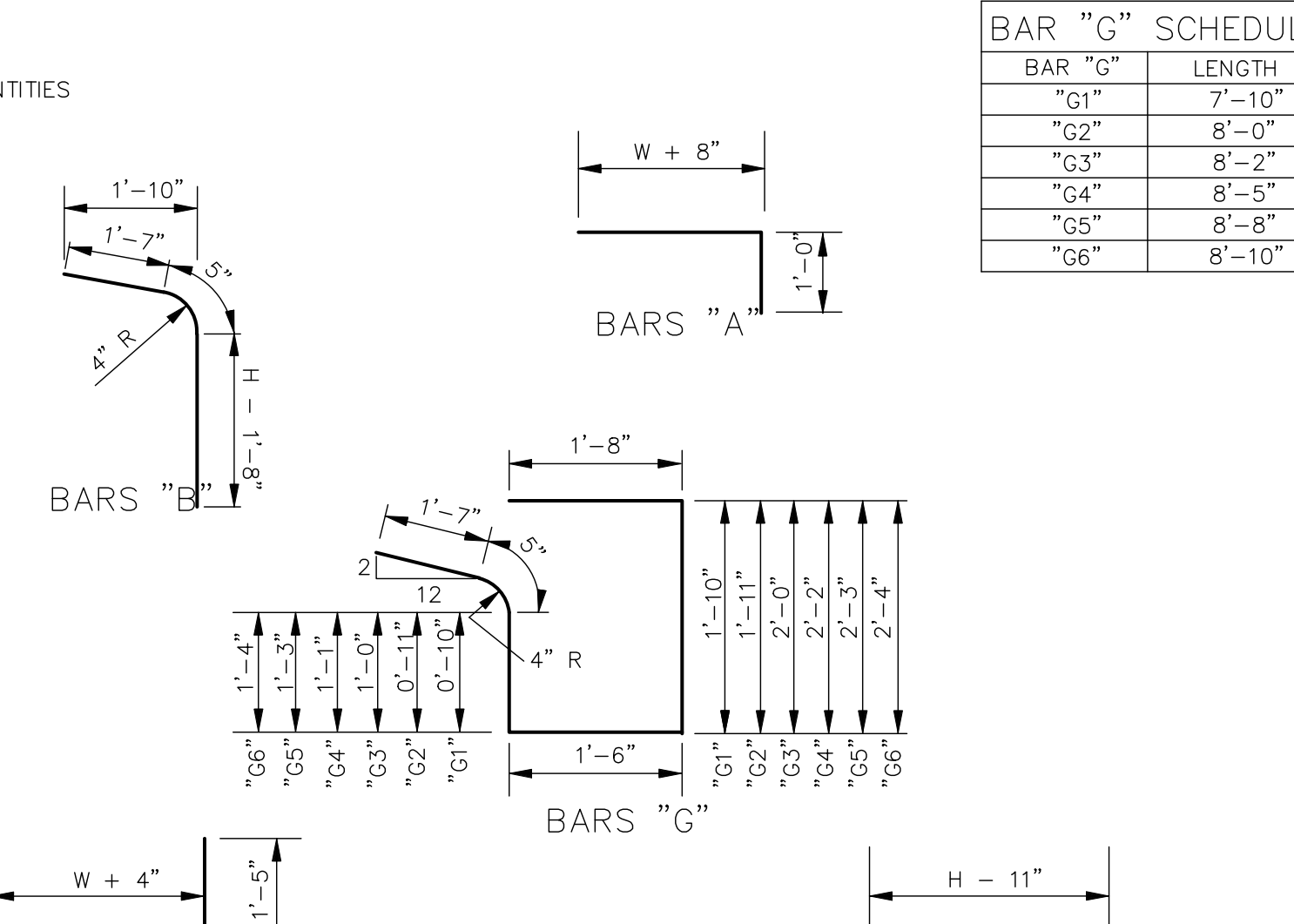
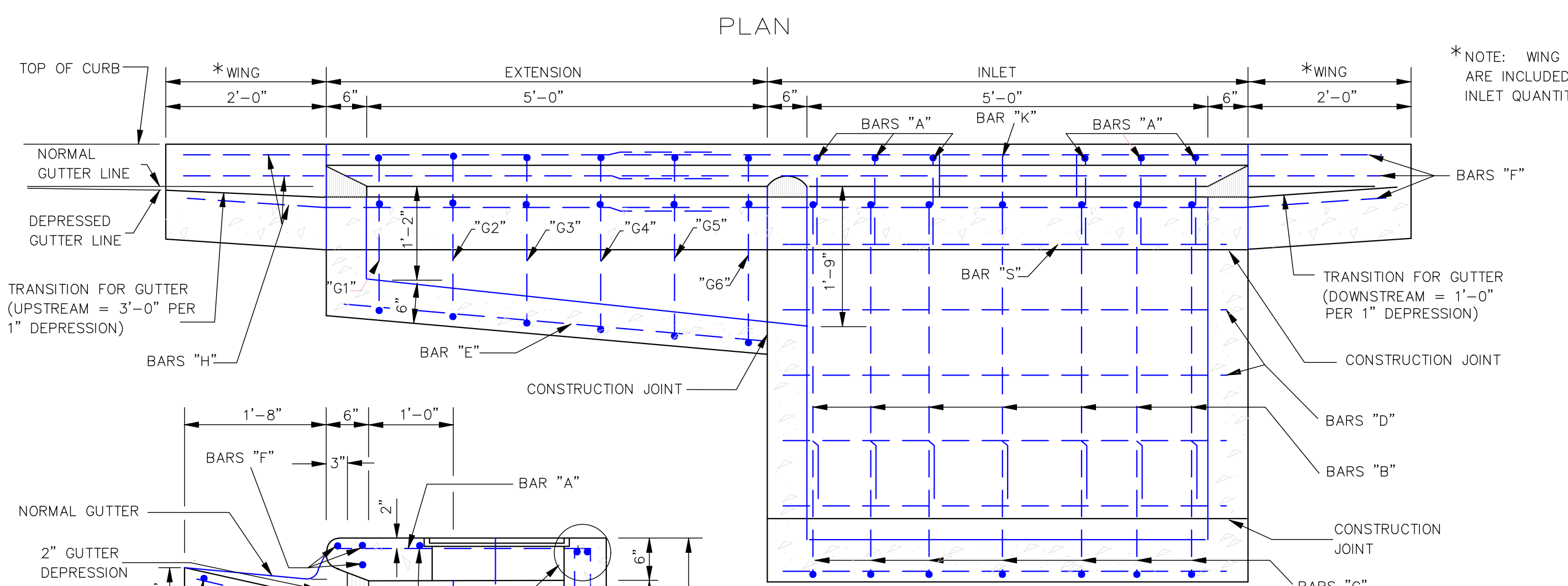
W=3'-0" BILL OF REINFORCING STEEL FOR 1-5'-0" INLET

H	BAR "A"	BAR "C"	BAR "S"	BAR "D"	BAR "F"	BAR "J"	BAR "B"	BAR "K"	*TOTAL STEEL	TOTAL CONC.										
	#4 @ 9"	#4 @ 9"	#4 @ 12"	#4 @ 12"	#6	#4	#4 @ 9"	#4 @ 9"	lbs	yd <sup>3</sup>										
3'-6"	6	19	7	29	5	19	5	19	5	73	4	6	3'-10"	7	18	2'-7"	7	12	194	2.15
4'-0"	6	19	7	29	5	19	7	26	5	73	4	6	4'-4"	7	20	3'-1"	7	14	206	2.32
4'-6"	6	19	7	29	5	19	7	26	5	73	4	6	4'-10"	7	23	3'-7"	7	17	211	2.49
5'-0"	6	19	7	29	5	19	9	34	5	73	4	6	5'-4"	7	25	4'-1"	7	19	223	2.65
5'-6"	6	19	7	29	5	19	9	34	5	73	4	6	5'-10"	7	27	4'-7"	7	21	228	2.82
6'-0"	6	19	7	29	5	19	11	42	5	73	4	6	6'-4"	7	30	5'-1"	7	24	240	2.99
6'-6"	6	19	7	29	5	19	11	42	5	73	4	6	6'-10"	7	32	5'-7"	7	26	245	3.15
7'-0"	6	19	7	29	5	19	13	49	5	73	4	6	7'-4"	7	34	6'-1"	7	28	257	3.32
7'-6"	6	19	7	29	5	19	13	49	5	73	4	6	7'-10"	7	37	6'-7"	7	31	262	3.49

W=3'-6" BILL OF REINFORCING STEEL FOR 1-5'-0" INLET

H	BAR "A"	BAR "C"	BAR "S"	BAR "D"	BAR "F"	BAR "J"	BAR "B"	BAR "K"	*TOTAL STEEL	TOTAL CONC.										
	#4 @ 9"	#4 @ 9"	#4 @ 12"	#4 @ 12"	#6	#4	#4 @ 9"	#4 @ 9"	lbs	yd <sup>3</sup>										
3'-6"	6	21	7	31	5	19	6	23	5	73	4	6	3'-10"	7	18	2'-7"	7	12	202	2.31
4'-0"	6	21	7	31	5	19	8	30	5	73	4	6	4'-4"	7	20	3'-1"	7	14	214	2.49
4'-6"	6	21	7	31	5	19	8	30	5	73	4	6	4'-10"	7	23	3'-7"	7	17	219	2.66
5'-0"	6	21	7	31	5	19	10	38	5	73	4	6	5'-4"	7	25	4'-1"	7	19	231	2.84
5'-6"	6	21	7	31	5	19	10	38	5	73	4	6	5'-10"	7	27	4'-7"	7	21	236	3.01
6'-0"	6	21	7	31	5	19	12	45	5	73	4	6	6'-4"	7	30	5'-1"	7	24	248	3.19
6'-6"	6	21	7	31	5	19	12	45	5	73	4	6	6'-10"	7	32	5'-7"	7	26	253	3.37
7'-0"	6	21	7	31	5	19	14	53	5	73	4	6	7'-4"	7	34	6'-1"	7	28	265	3.54
7'-6"	6	21	7	31	5	19	14	53	5	73	4	6	7'-10"	7	37	6'-7"	7	31	270	3.72

- GENERAL NOTES:
1. WHERE INLET OR INLET WITH EXTENSION(S) IS USED WITH CONCRETE PAVEMENT WITH INTERGRAL CURB, THE PAVEMENT IS TO BE BLOCKED OUT TO THE DIMENSIONS AS SHOWN FOR THE GUTTER PORTION OF THE INLET OR INLET WITH EXTENSION(S). THE PORTION BLOCKED OUT SHALL BE PLACED INTEGRAL WITH THE TOP OF THE INLET OR INLET WITH EXTENSION(S). #8 DEFORMED BARS 30" LONG SHALL BE PLACED ON 18" CENTERS AT THE CENTER OF THE PAVEMENT. THESE BARS SHALL EXTEND INTO THE GUTTER PORTION OF THE INLET OR INLET WITH EXTENSION(S) 15". THE CONSTRUCTION JOINT BETWEEN THE CONCRETE PAVEMENT AND THE INLET OR INLET WITH EXTENSION(S) SHALL BE A KEYS JOINT AS SHOWN. A SMOOTH CONSTRUCTION JOINT WILL NOT BE PERMITTED. QUANTITIES FOR BLOCKED OUT AREA OF PAVEMENT SHALL BE INCLUDED IN QUANTITIES FOR INLET OR INLET WITH EXTENSION(S).
  2. THE STANDARD SPECIFICATIONS ADOPTED BY THE MISSISSIPPI DEPARTMENT OF TRANSPORTATION SHALL APPLY TO ALL ITEMS ON THIS SHEET.
  3. THE QUANTITIES SHOWN, MINUS VOLUMETRIC DISPLACEMENT OF CONCRETE BY PIPE CULVERTS THROUGH INLET WALLS, WILL BE USED AS THE BASIS OF FINAL PAYMENT UNLESS THIS PLAN IS MODIFIED.
  4. FOR CONVENIENCE, DEPTHS OF INLETS SHOWN IN ABOVE TABLE ARE INCREMENTS OF 6". BUT ANY DEPTHS OTHER THAN THESE SHOWN MAY BE USED WHEREVER DEEMED NECESSARY. QUANTITIES FOR OTHER DEPTHS, FALLING WITHIN THE LIMITS OF THE TABLE, MAY BE FOUND BY INTERPOLATION.
  5. FIELD CUT AND BEND BARS AS NECESSARY TO ACCOMMODATE STORM SEWER. NO DEDUCTIONS ARE TO BE MADE IN STEEL QUANTITIES.

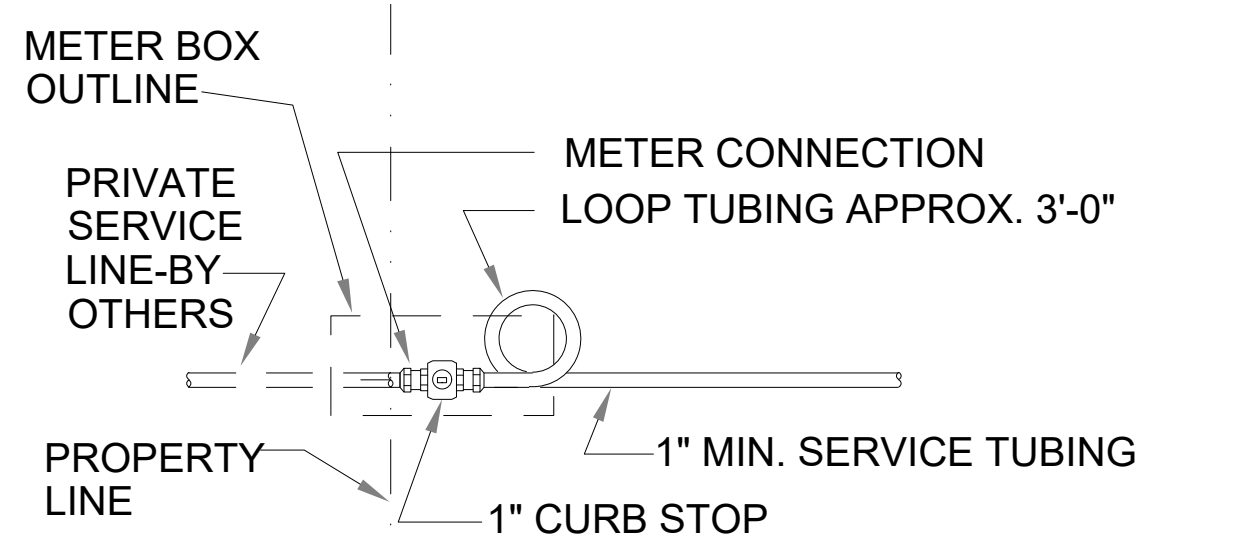


STORM SEWER STRUCTURE TYPE SS-2

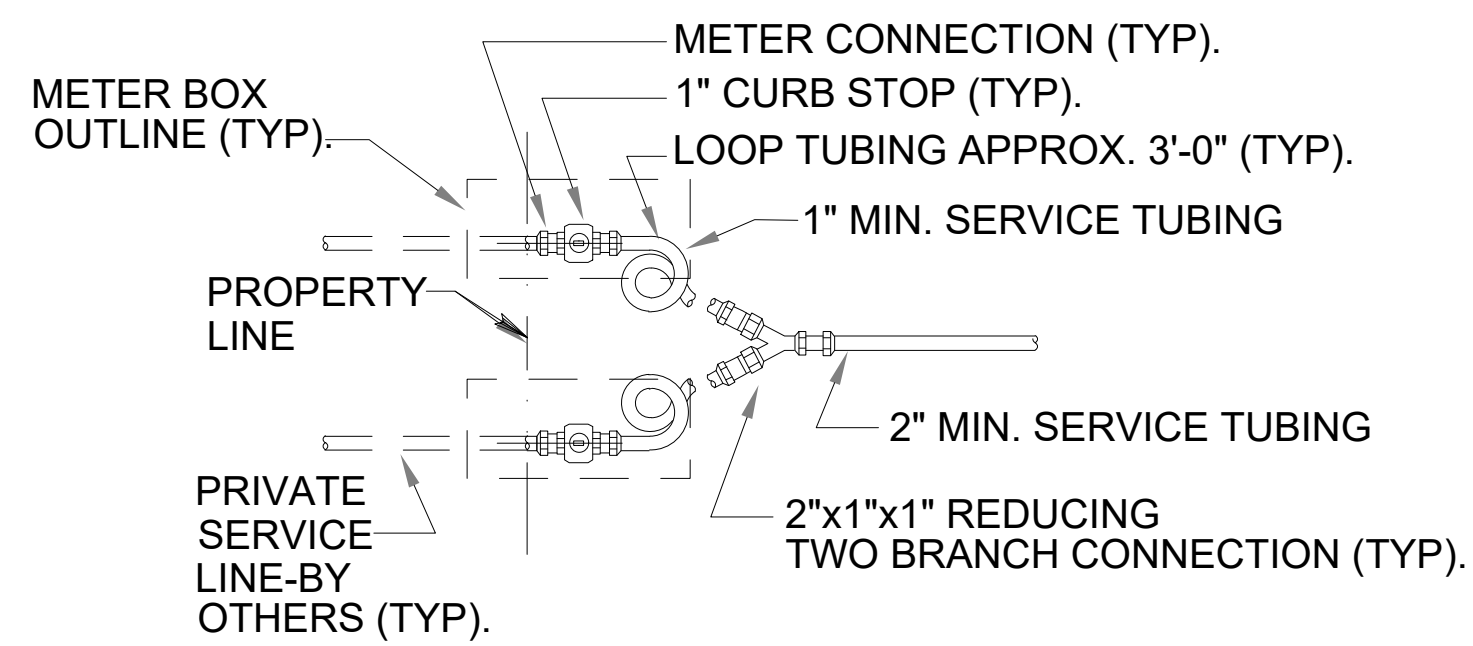




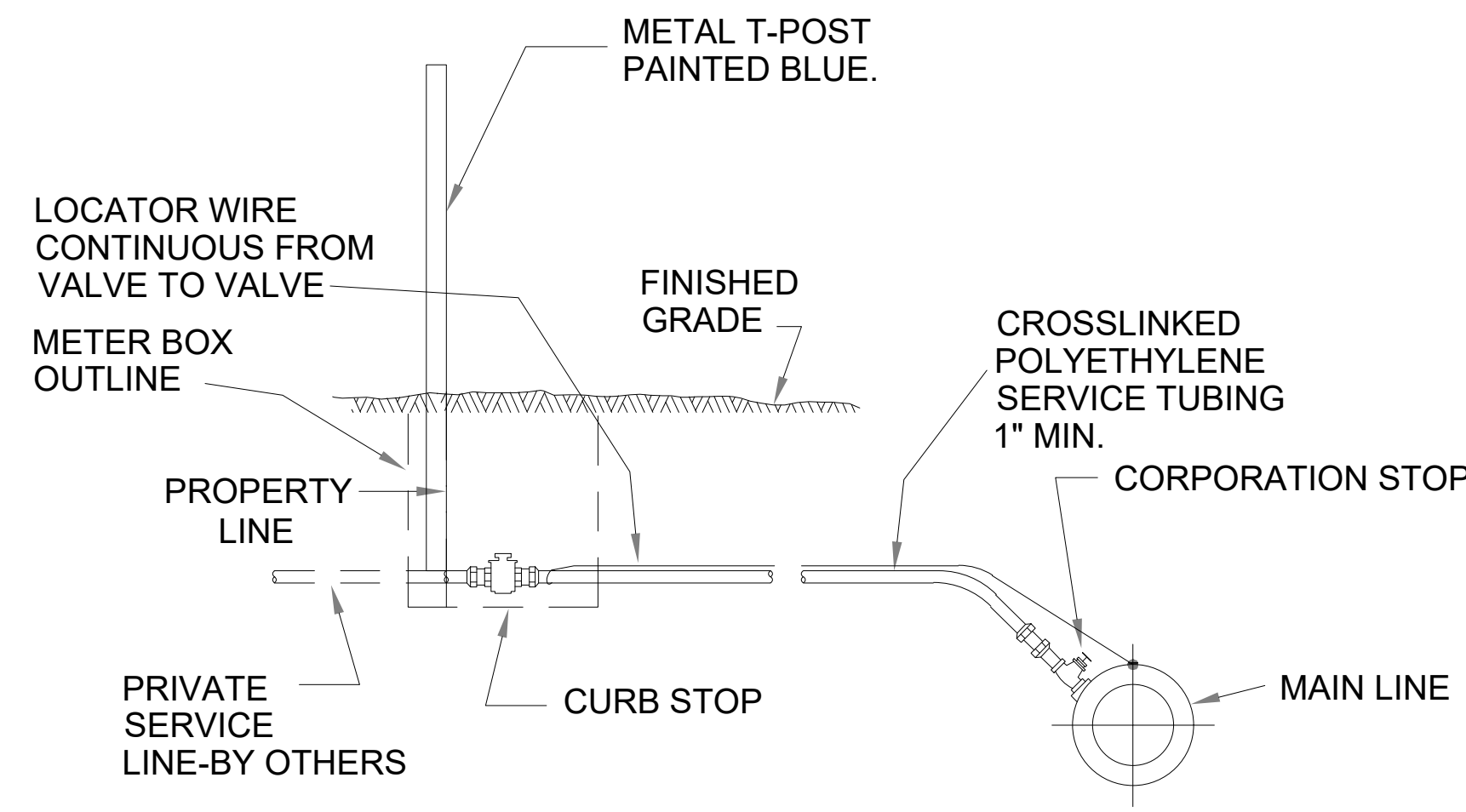
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1	SEWER LIFT STATION DESIGN	06-19-25			
2	SEWER DESIGN 2	10-16-25			
3	SIDEWALK GRADING	10-29-25			
4	MEMORY CARE SITE ADDITION	04-03-26			
5	MEMORY CARE SITE ADDITION - R1	04-20-26			
	DRAWN	DESIGN	CHECK	SUBMIT	SCALE
	JLS	MH	MH	MH	N.T.S.



**SINGLE LOT WATER SERVICE WITH SINGLE METER PLAN**



**SINGLE LOT WATER SERVICE WITH DOUBLE METER PLAN**

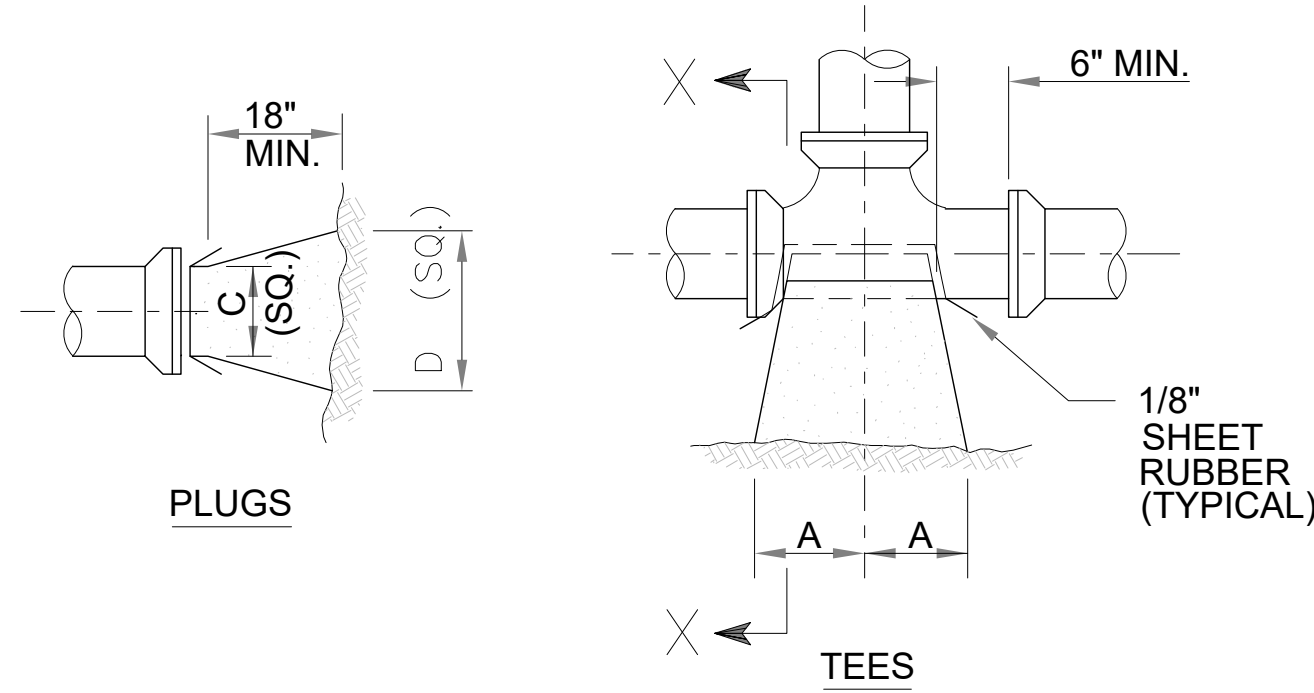
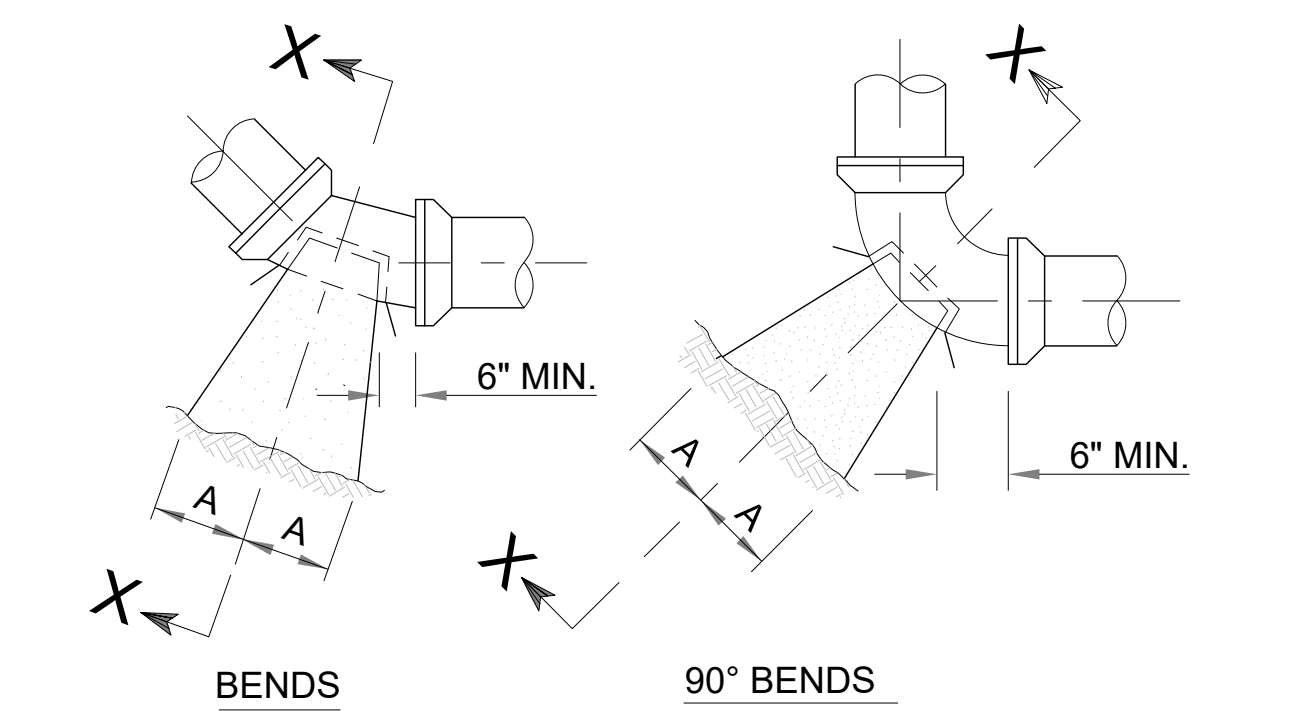


NOTE:  
ADDITIONAL SPLITTERS, LOOPS AND FITTINGS NOT SHOWN FOR CLARITY. SEE PLAN VIEWS.

**WATER SERVICE ELEVATION**

**SINGLE LOT WATER SERVICE CONNECTION DETAILS**

SCALE: N.T.S.



SECTION X-X

**THRUST BLOCK DETAILS**

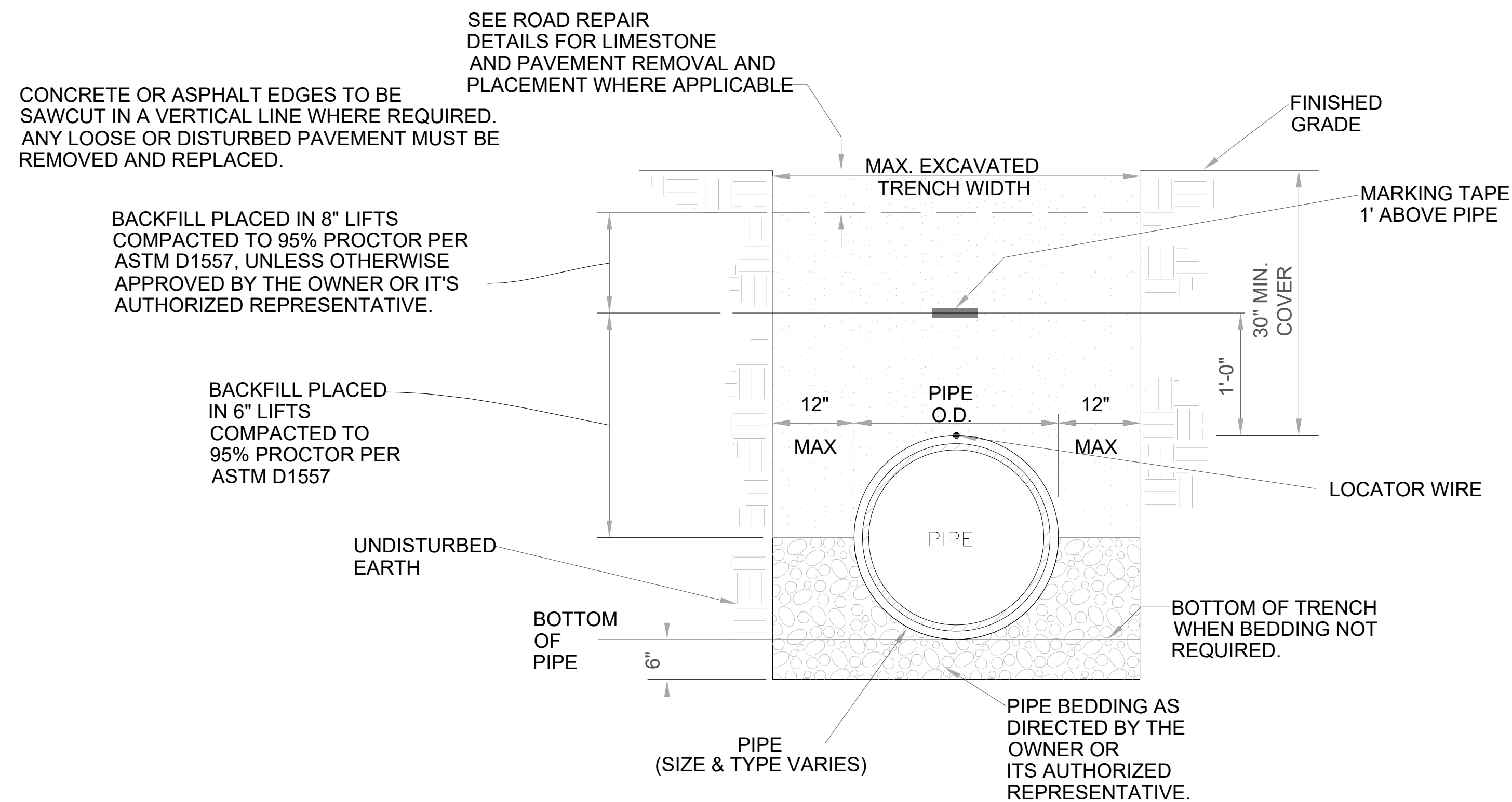
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**THRUST BLOCK NOTES:**

1. ALL DIMENSIONS ARE IN INCHES.
2. THRUST BLOCKS SHALL BE USED FOR WATER LINES AND SEWER FORCE MAINS.
3. ALL CONCRETE AND PIPE SHALL BE SEPARATED BY A NON-CONDUCTIVE MATERIAL. TYPICALLY 1/8" SHEET RUBBER.
4. 2000 PSF SOIL SHALL BE ASSUMED UNLESS DESIGNATED OTHERWISE ON THE PLANS OR IN THE SPECS.

**WATER SERVICE NOTES**

1. ALL CURB STOPS, CORPORATION STOPS, SPLITTERS, REDUCERS, AND OTHER MISC. HARDWARE AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. CROSSLINKED POLYETHYLENE SERVICE TUBING SHALL BE AS MANUFACTURED BY REHAU MUNICIPEX OR APPROVED EQUAL.
3. THE MINIMUM SIZE SERVICE SHALL BE 1". IF THE EXISTING SERVICE IS SMALLER THAN THE NEW SERVICE, THE CONTRACTOR SHALL PROVIDE APPROPRIATE SIZED REDUCER. THE COST OF REDUCERS OR ANY OTHER HARDWARE NEEDED FOR THE PROPER WATER SERVICE INSTALLATION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR WATER SERVICES.
4. WATER SERVICE SIZE SHALL MATCH EXISTING, BUT SHALL NOT BE LESS THAN 1" UNLESS DIRECTED OTHERWISE BY OWNER OR ITS AUTHORIZED REPRESENTATIVE.
5. STAMP "W" IN THE FACE OF CURB AT EACH SERVICE LOCATION AND "V" AT EACH VALVE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT SERVICE AND VALVE LOCATIONS ARE ACCURATELY MARKED.
6. EXACT LOCATION OF ALL SERVICES AND VALVES SHALL BE SHOWN ON FINAL AS-BUILTS, THE CONTRACTOR SHALL DIMENSION THE LOCATION OF SERVICE OR VALVE FROM THE NEAREST CROSS STREET CENTERLINE OR ANOTHER PERMANENT LANDMARK APPROVED BY THE OWNER OR ITS AUTHORIZED REPRESENTATIVE.
7. ALL NEW WATER SERVICES SHALL BE INSTALLED WITH LOCATOR WIRE. THE WIRE SHALL BE CONTINUOUS FROM MAIN TO PROPERTY LINE. WIRE SHALL BE SPLICED AT EACH SPLITTER.
8. NO PAYMENT FOR SERVICE CONNECTIONS WILL BE MADE UNTIL CITY UTILITY DEPARTMENT HAS INSPECTED AND ACCEPTED THE COMPLETED WORK.
9. PAYMENTS FOR WATER SERVICE TUBING SHALL BE MEASURED AS A STRAIGHT, HORIZONTAL LINE FROM THE WATER MAIN POINT OF CONNECTION TO THE WATER METER CONNECTION.



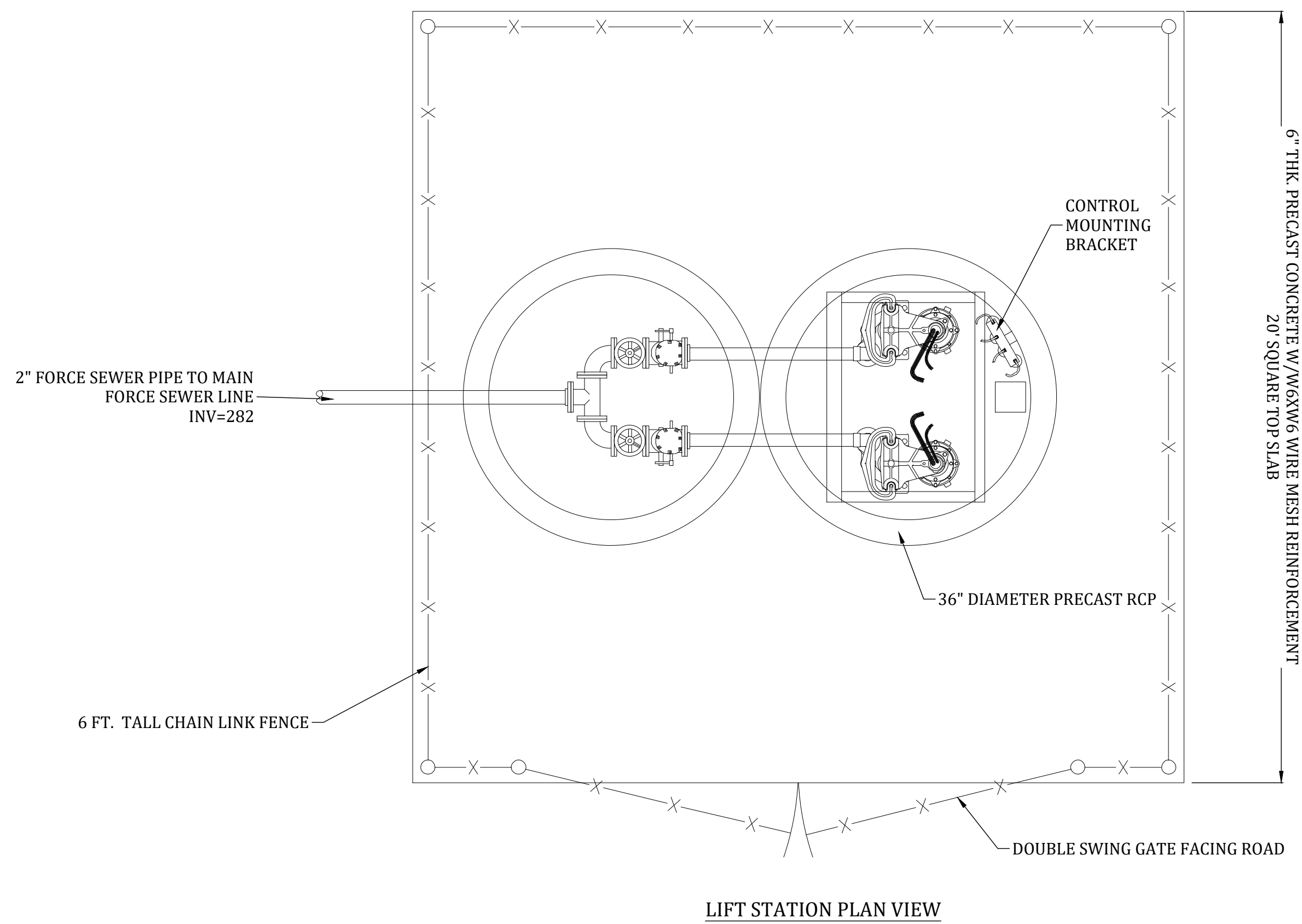
**WATER PIPE PLACEMENT**

SCALE: N.T.S. UPDATED: 5/8/2024

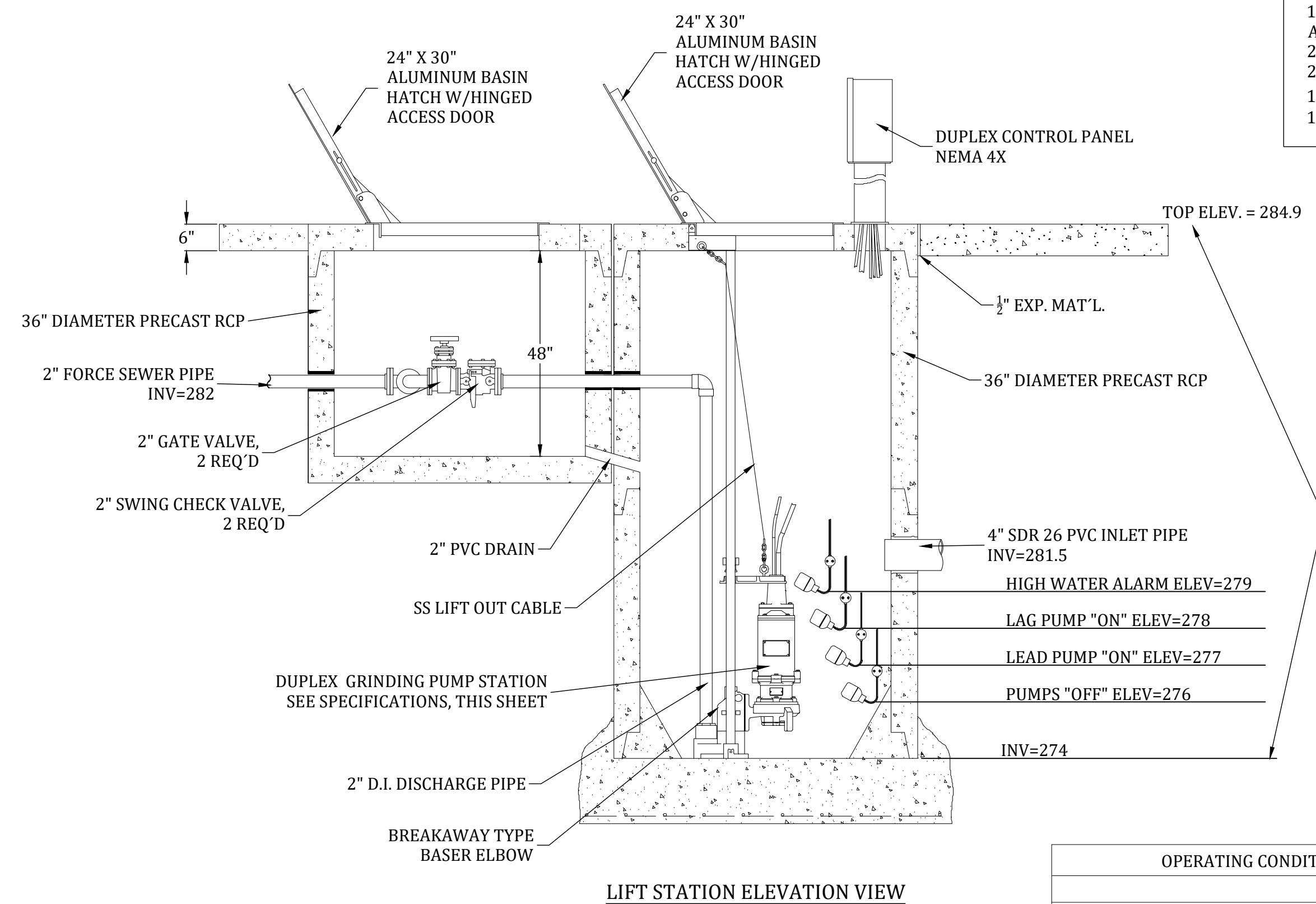
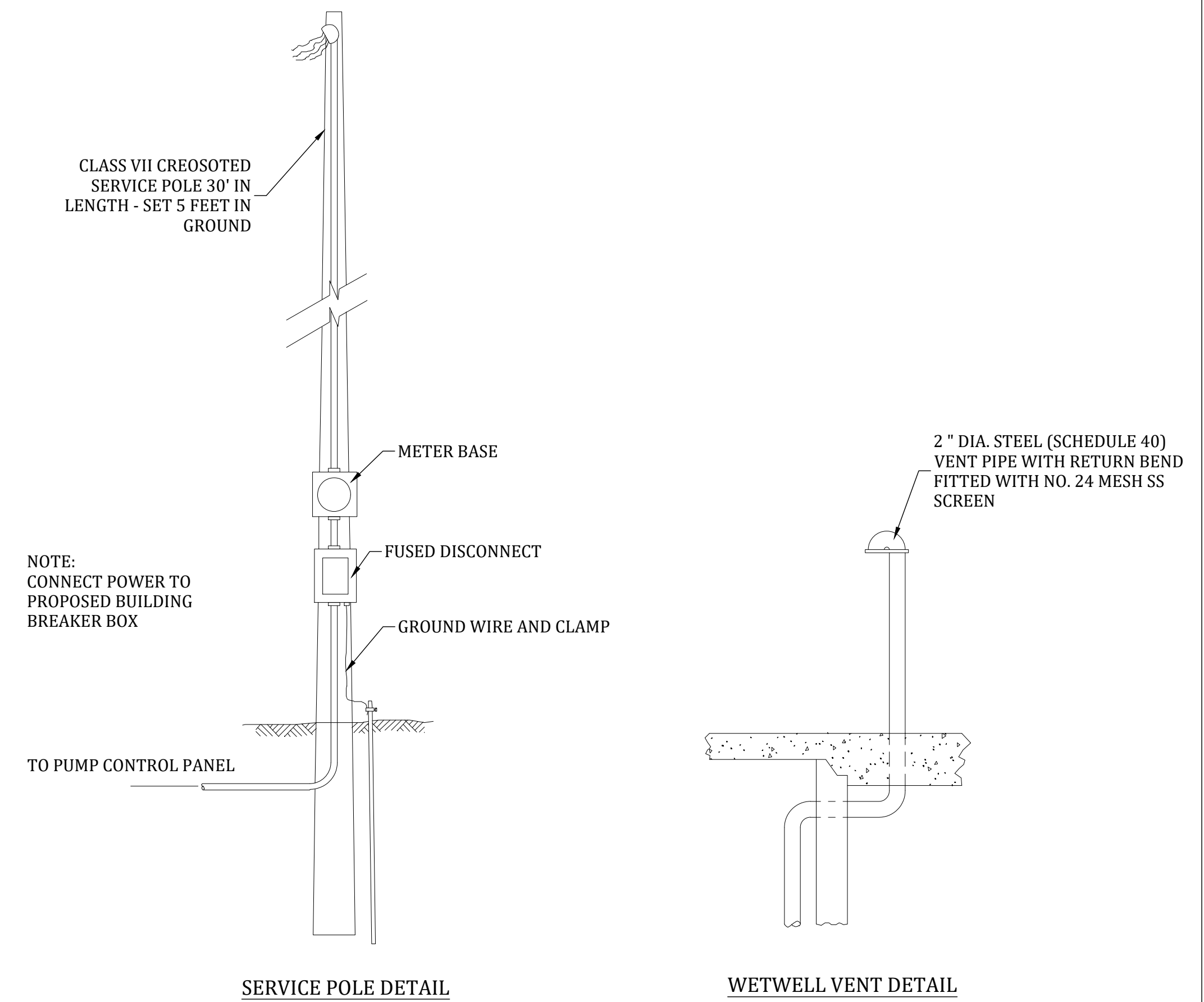


**OAKS RESIDENCE  
PERSONAL CARE HOME: MEMORY CARE  
GLUCKSTADT, MISSISSIPPI  
CONSTRUCTION DETAILS - 5**

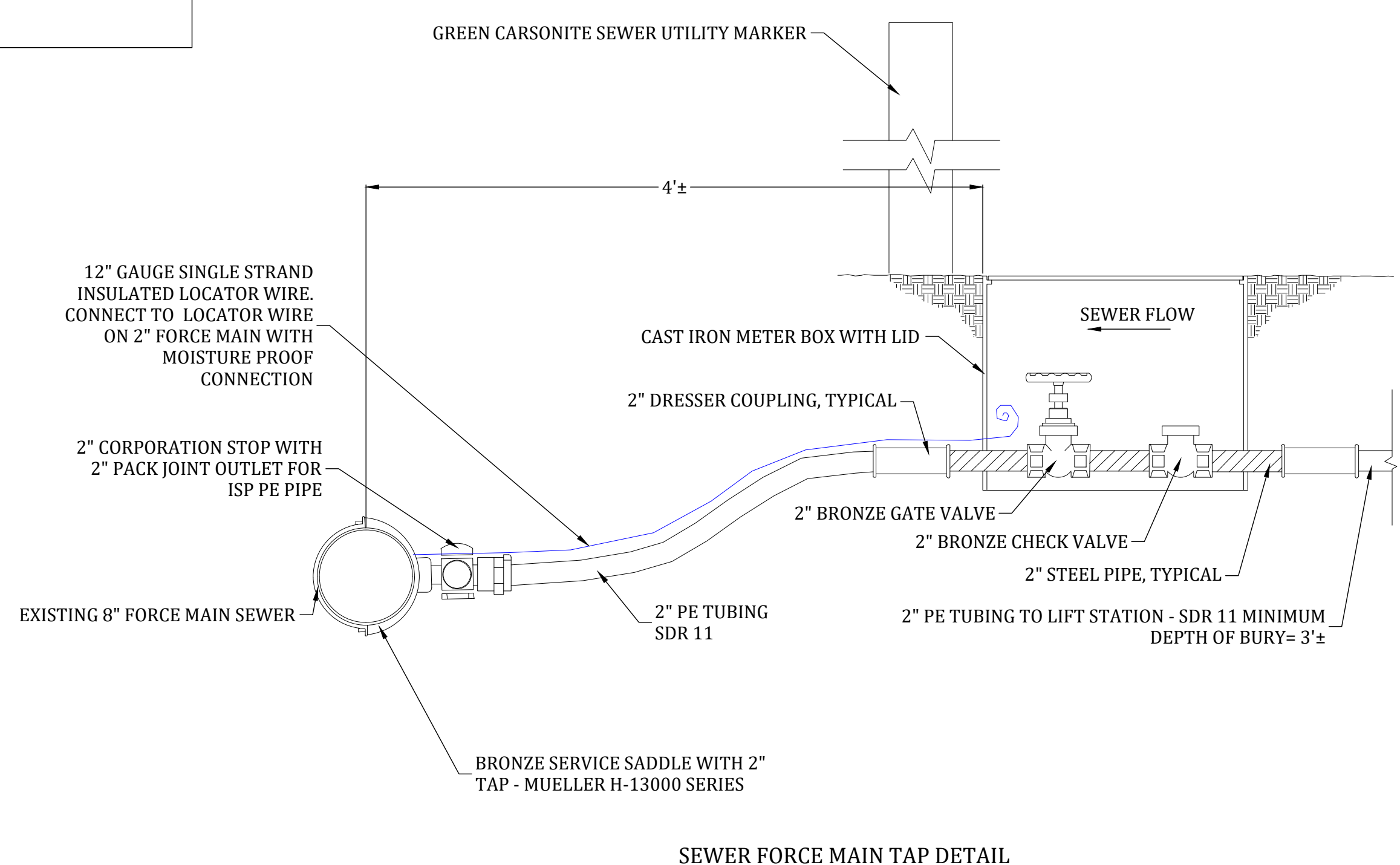
REVISIONS	DESCRIPTION	DATE	BY	SCALE	PLOTTED
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2	SEWER DESIGN 2	10-16-25			
3	SIDEWALK GRADING	10-29-25			
4	MEMORY CARE SITE ADDITION	04-03-26			
5	MEMORY CARE SITE ADDITION - R1	04-20-26			
	DRAWN	DESIGN	CHECK	SUBMIT	SCALE
	JLS	MH	MH	MH	N.T.S.



- DUPLEX GRINDING PUMP STATION**  
RATED CAPACITY: 25 GPM  
RATED HEAD: 20 TDH  
ELECTRICAL SERVICE: 1 PH. 230 VOLT  
WET WELL SIZE: 36" DIA. X 108" DEEP
- 2 GRP19/1, 2HP, SUBMERSIBLE SEWER GRINDER PUMPS W/30' CABLE & STAND, HOMA
  - 4 FLOAT CONTROLS WITH 30' CABLE
  - 1 DUPLEX CONTROL PANEL, COMPLETE WITH RED HIGH LEVEL ALARM LIGHT, NEMA 4X FRP
  - 1 FLOAT CONTROL BRACKET, SST
  - 1 C1R42 ALUMINUM COVER WITH ACCESS DOOR, LOCKABLE HASP, 2" VENT COUPLING
  - 1 36 DIA. X 72" DEEP REINFORCED FIBERGLASS BASIN WITH ANTI-FLOTATION RING
  - 1 2" VENT ASSEMBLY
  - A/R 2" DISCHARGE PIPE & FITTINGS, PVC, SCH 80
  - 1 4" INLET GASKET
  - 1 FREIGHT
- DETACHED VALVE VAULT**  
VALVE VAULT SIZE: 30" DIA. X 48" DEEP
- 1 36" DIA. X 48" DEEP REINFORCED FIBERGLASS BASIN W/ ANTI-FLOTATION RING
  - 1 C1R42 ALUMINUM COVER WITH ACCESS DOOR, LOCKABLE HASP, 2" VENT COUPLING
  - 1 2" VENT ASSEMBLY
  - A/R 2" DISCHARGE PIPE & FITTINGS, PVC SCH 80
  - 2 2" CHECK VALVE, BRASS
  - 2 2" GATE VALVE, BRASS
  - 1 1 1/2" DRAIN PACKAGE
  - 1 FREIGHT



OPERATING CONDITIONS	
CAPACITY (GPM)	25
TDH (FT)	20
MOTOR HORSEPOWER (MIN.)	2
FORCE MAIN (IN.)	2"



THESE CAN BE CHANGED TO SUIT SITE/LOCATION, MUST MAINTAIN 13" DEPTH