



## PLANNING & ZONING COMMISSION MEETING

Tuesday, September 26, 2023 at 6:00 PM

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### Agenda

1. **Call to Order**
2. **Consideration and Approval of Minutes**
  - [A\)](#) Consideration And Approval Of August 22, 2023 Minutes
3. **New Site Plan Considerations**
  - [A\)](#) Discussion and Consideration of Four Seasons Drapery and Hardware Site Plan
4. **New Business**
5. **Old Business**
  - [A\)](#) Architectural Controls
6. **Next Meeting**
  - A) The Next Planning and Zoning Meeting Will Be Held on October 24, 2023
7. **Adjourn**



## PLANNING & ZONING COMMISSION MEETING

Tuesday, August 22, 2023, at 6:00 PM

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### Minutes

#### Call to Order

Chairman Greer called the meeting to order.

The following Commissioners were present: Commissioner Andrew Duggar, Commissioner Phillips King, Commissioner Katrina Myricks, Commissioner Kayce Saik and Commissioner Tim Slattery. Commissioner Sam McGaugh participated via phone conference.

City Employees Mike McCollum, Bridgette Smith and City Attorney Zach Giddy were present.

#### Consideration and Approval of Minutes

Commissioner Katrina Myrick made the motion to approve the July 25, 2023, minutes.

Commissioner Tim Slattery second the motion.

The motion carried and was approved by all Commissioners.

#### New Business

Election of New Officers for the Planning and Zoning Commission.

Commissioner Melanie Greer nominated Commissioner Sam McGaugh for Chariman.

Commissioner Andrew made the motion to elect Commissioner Sam McGaugh as the Chairman.

Commissioner Tim Slattery second the motion.

The motion carried and was approved by all Commissioners.

Commissioner Kayce Saik nominated Commissioner Melanie Greer for Vice-Chairman.

Commissioner Phillips King made the motion to elect Commissioner Melanie Greer as the Vice-Chairman.

Commissioner Kayce Saik second the motion.

The motion carried and was approved by all Commissioners.

### **New Site Plan Considerations**

Discussion and Consideration of Four Seasons Drapery and Hardware Site Plan.

Commissioner Tim Slattery made the motion to table the discussion until the next scheduled meeting.

Commissioner Phillips King second the motion.

The motion was carried and approved by all Commissioners.

The Commissioners discussed compiling a list of items to discuss at the next Planning and Zoning meeting regarding the requirements for future development and building regulations.

Commissioner Phillips King requested the Building Department input at the next board meeting to discuss the changes or requirements to shielding the back of the building/structures for future building projects.

### **Next Meeting**

The Next Planning and Zoning Meeting Will Be Held on September 26, 2023

### **Adjourn**

Commissioner Tim Slattery motioned the meeting to adjourn.

Commissioner Andrew Duggar seconded the motion.

The motion carried and was approved by all Commissioners.

The Chairman declared the motion carried.

WITNESS OUR HANDS, this the \_\_\_\_\_ day of \_\_\_\_\_, 2023

\_\_\_\_\_  
MELANIE GREER, Chairman

\_\_\_\_\_  
SAM MCGAUGH, Vice Chairman/Secretary

City of Gluckstadt**Application for Site Plan Review**Subject Property Address: 259 Yandell Rd Canton, MS 39046Parcel #: 082H-27 - 023/25.00 Book 3468, Page 481Owner: Four Seasons Land Holdings, LLCApplicant: Tim HillhouseAddress: 115 Claiborne St.  
Madison, MS 39110Address: 115 Claiborne St  
Madison, MS 39110Phone #: 601-624-6780Phone #: 601-624-6780E-Mail: Tim.Hillhouse@gmail.comE-Mail: Tim.Hillhouse@gmail.comCurrent Zoning District: C1-AAcreage of Property (If applicable): 0.94Use sought of Property: Business + Professional Office**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.



- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.

  
Applicant Signature

2-26-23  
Date

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**  
**OFFICE USE ONLY**

Date Received: 5-2-2023

Application Complete & Approved to Submit to P&Z Board (please check):

Yes \_\_\_\_\_ No \_\_\_\_\_

Signature: \_\_\_\_\_  
Planning & Zoning Administrator (or Authorized Representative)

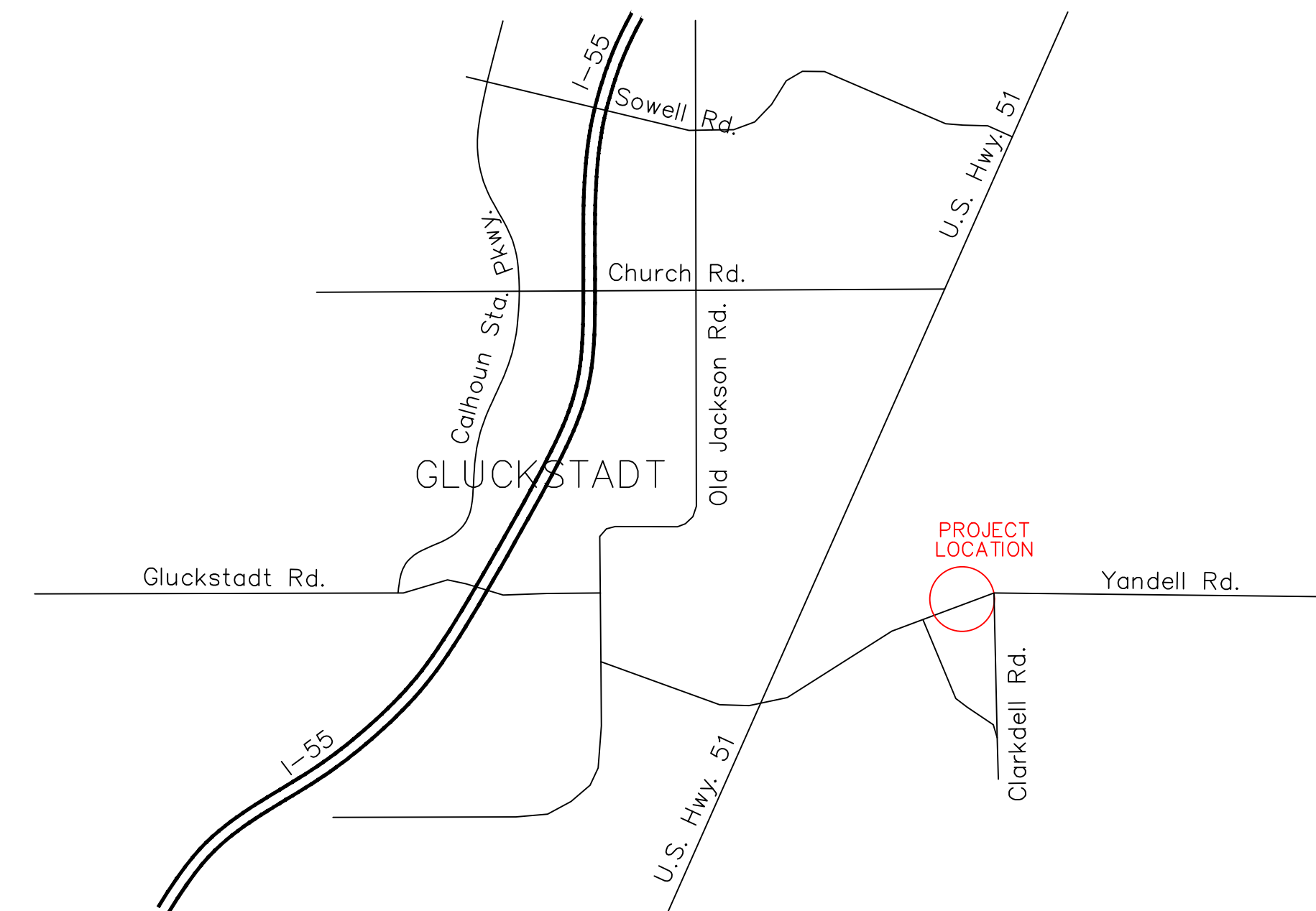
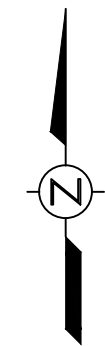
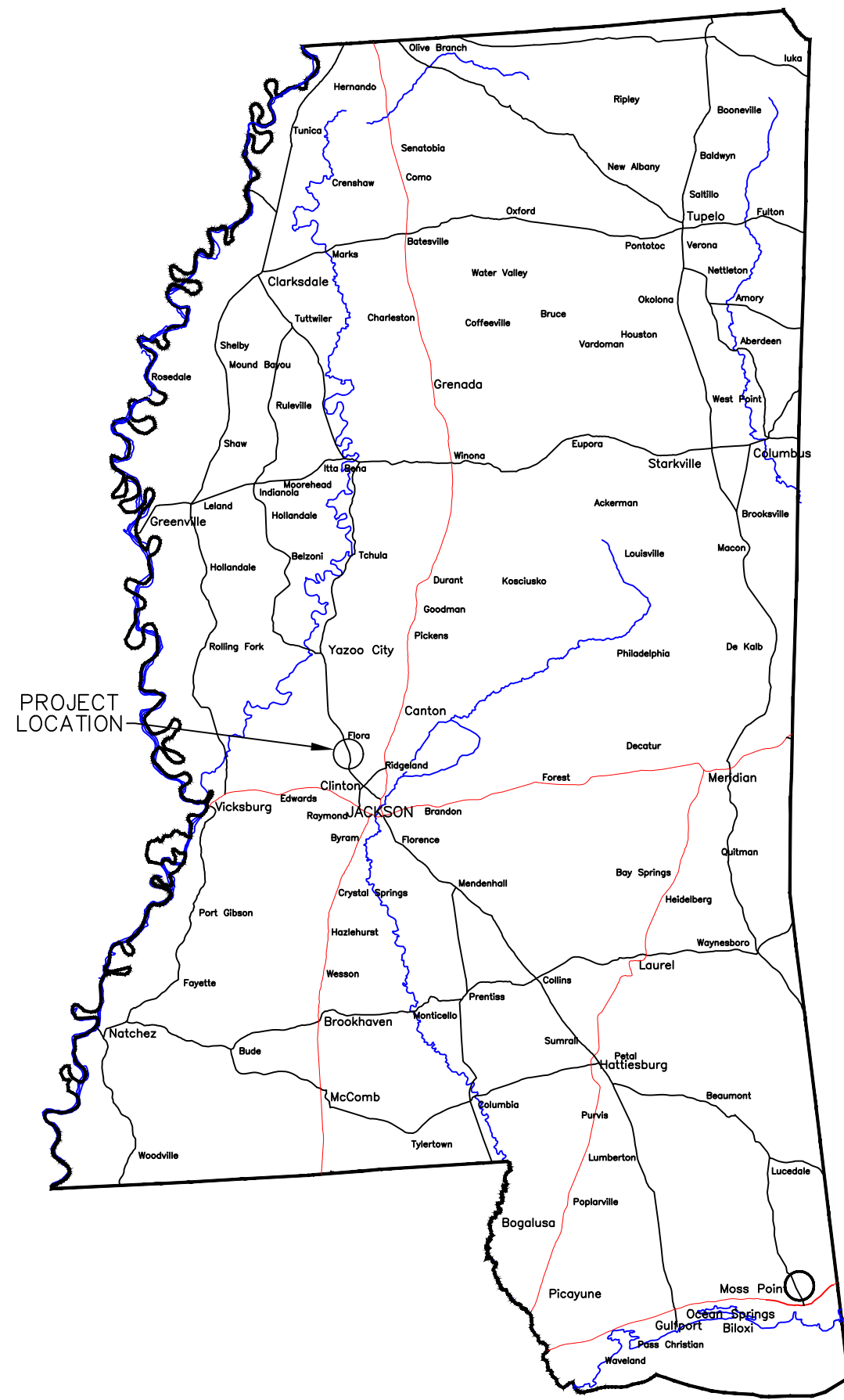
| Gluckstadt Requirement for Site Plan Checklist for Conditional Use, Dimensional Variances and Rezoning |  |           |             |
|--|--|-----------|-------------|
|  |  | Completed | Uncompleted |
| *  | 1 Property Lines and lot numbers   | ✓         |             |
| *  | 2 Zoning of adjacent lots  | ✓         |             |
| *  | 3 Names of owners of adjacent lots within 160 feet   | ✓         |             |
| *  | 4 Rights of Way for existing and proposed streets including streets on the adopted throughfares plan   | ✓         |             |
|  | 5 Accessways, curbcuts, driveways and parking ( Including number of parking spaces to be provided) and loading areas.  | ✓         |             |
| *  | 6 All existing and proposed easements  | ✓         |             |
|  | 7 All existing and proposed water and sanitary sewer lines, also the location of existing and proposed fire hydrants.  | ✓         |             |
|  | 8 A drainage plan showing all existing and proposed storm drain facilities. The drainage plan shall indicate adjacent off-site drainage courses and projected storm water runoff rates from on-site, off-site sources. | ✓         |             |
|  | 9 Contours at five feet or less  | ✓         |             |
|  | 10 Flood zone designations according to maps prepared by the federal Emergency Management Agency , Federal Insurance Administration, and any proposed floodway modifications.  | ✓         |             |
|  | 11 Landscaped Areas and Planting Screens   | ✓         |             |
|  | 12 Building Lines and the location of all structures existing and proposed.  | ✓         |             |
|  | 13 Proposed use of the land and buildings if known   | ✓         |             |
|  | 14 Open Space and Recreational areas when required   |           |             |
| *  | 15 Area of the parcel in square feet or acres  | ✓         |             |
|  | 16 Proposed gross lot coverage of buildings and structures   | ✓         |             |
|  | 17 Number and type of dwelling units (where proposed)  | N/A       |             |
|  | 18 Location of sign structures and drawing, ect in accordance with section 701 of the Zoning Ordinance   |           |             |
|  | 19 A development plan (Section 809.04 when staging development is proposed   | N/A       |             |
|  | 20 Any additional data necessary to allow for a thorough evaluation of the proposed use to include traffic and drainage study's.   |           |             |
|  | 21 Proposed elevations indicating the general design, style, and architecture of the building or structure.  | ✓         |             |

|   |  |   |  |
|---|--|---|--|
| 22  | Proposed materials and color schemes to be utilized in the construction of the exterior of buildings and structures.   | ✓ |  |
| 23  | Number of stories and total square feet, including a notation as to the square footage on each floor or level.   | ✓ |  |
| 24  | Proposed height in feet.   | ✓ |  |
| 25  | Photographs, renderings, color slides, models and similar items may be presented by the applicant at his discretion.   | ✓ |  |
| 26  | Refuse and service areas   | ✓ |  |
| 27  | Number of regular and ADA parking spaces.  | ✓ |  |
| 28  | 1000:1 scale vicinity Map  | ✓ |  |
| 29  | Graphic Scale and North Arrow  | ✓ |  |
| 30  | Provide a PDF digital copy of the Site plan  | ✓ |  |
| <b>Additional Requirements for Conditional Use</b>                      |  |   |  |
| 31  | Screening and buffering with reference to type, dimension and character.   |   |  |
| 32  | Required yards and open space  |   |  |
| 33  | General compatibility with adjacent properties and other properties in the district  |   |  |
| 34  | Any adverse impacts to nearby properties or the community at large.  |   |  |
| 35  | Is lighting that spills onto or is directed toward adjacent property addressed   |   |  |
| 36  | Is noise generated by the conditional use have a negative impact upon the peaceful use and enjoyment of adjacent properties or surrounding neighborhoods.                        |   |  |
| 37  | Is noise generated by patrons, customers, clients, or users of the conditional use have a negative impact upon the peaceful enjoyment of adjacent properties or neighborhoods.   |   |  |
| 38  | Will the proposed conditional use have a cluttered appearance as a result of site design, signage or other features that may be visible from the street or adjoining properties. |   |  |
| 37  | Provide the hours of operation or frequent use.  |   |  |
| 39  | Is there a negative impact to natural features, such as tree cover, drainage courses, flooding and erosion.  |   |  |
| * If the use of the land for rezoning is not known provide these items. |  |   |  |
|   |  |   |  |

# FOUR SEASONS DRAPERY & HARDWARE

## GLUCKSTADT, MISSISSIPPI

| DRAWING INDEX |                         |
|---------------|-------------------------|
| DRAWING NO.   | DESCRIPTION             |
| C-1           | COVER SHEET             |
| C-2           | SITE LOCATION MAP       |
| C-3           | SITE BOUNDARY & TOPO    |
| C-4           | SITE & UTILITY PLAN     |
| C-5           | GRADING & DRAINAGE PLAN |
| C-6           | SITE DETAILS            |



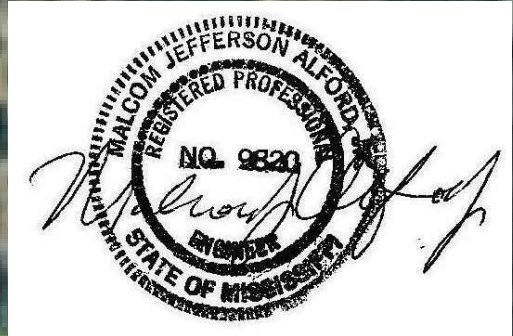
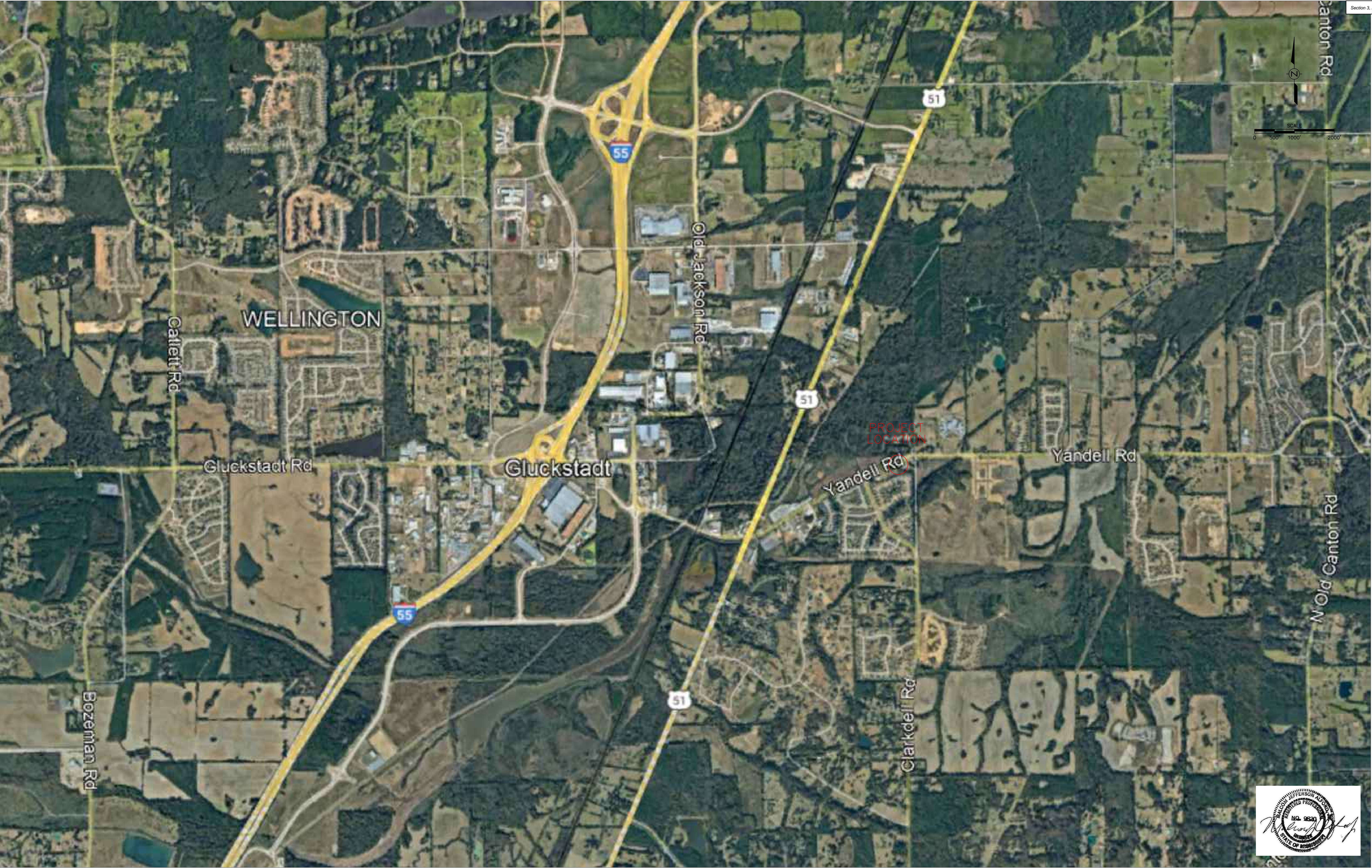
VICINITY MAP  
N.T.S.

MAY 2023



**Alford and Associates**  
Consulting Engineers  
7112 Suite B Siwell Road  
Byram, Mississippi 39272





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| REV. | DESCRIPTION OF REVISION | BY  | REVISION DATE |

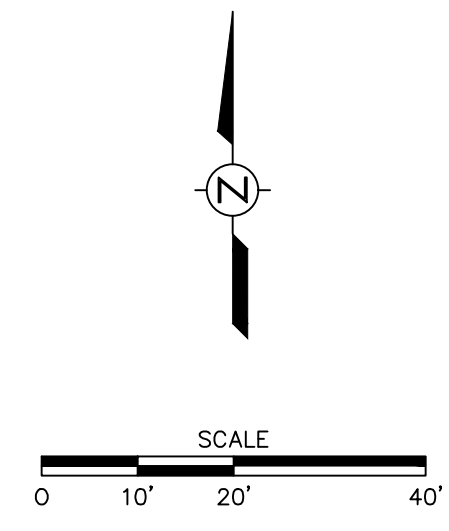
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| DRAWN: MJA           |
| REVIEWED: MJA        |
| PROJECT MANAGER: MJA |
| DATE: 5/5/23         |

**Alford and Associates**  
Consulting Engineers  
7112 Suite B Siwell Road  
Byram, Mississippi 39272

|  |
|--|
| Site Location Map                                |
| Four Seasons Drapery & Hardware<br>Gluckstadt MS |

|               |
|---------------|
| PROJECT No.   |
| CAD FILE NAME |
| DRAWING       |
| 2             |





LEGEND

- FOUND 1/2" REBAR
- FOUND 1" PIPE
- ⊙ GAS VALVE/MARKER
- MEASURED LINE
- GAS — UNDERGROUND GAS
- W — EXISTING 8" WATER MAIN
- FM — EXISTING 10" SEWER FORCE MAIN
- x - - FENCE



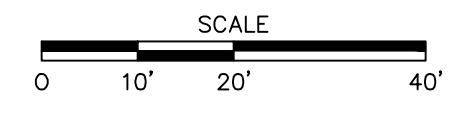
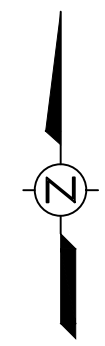
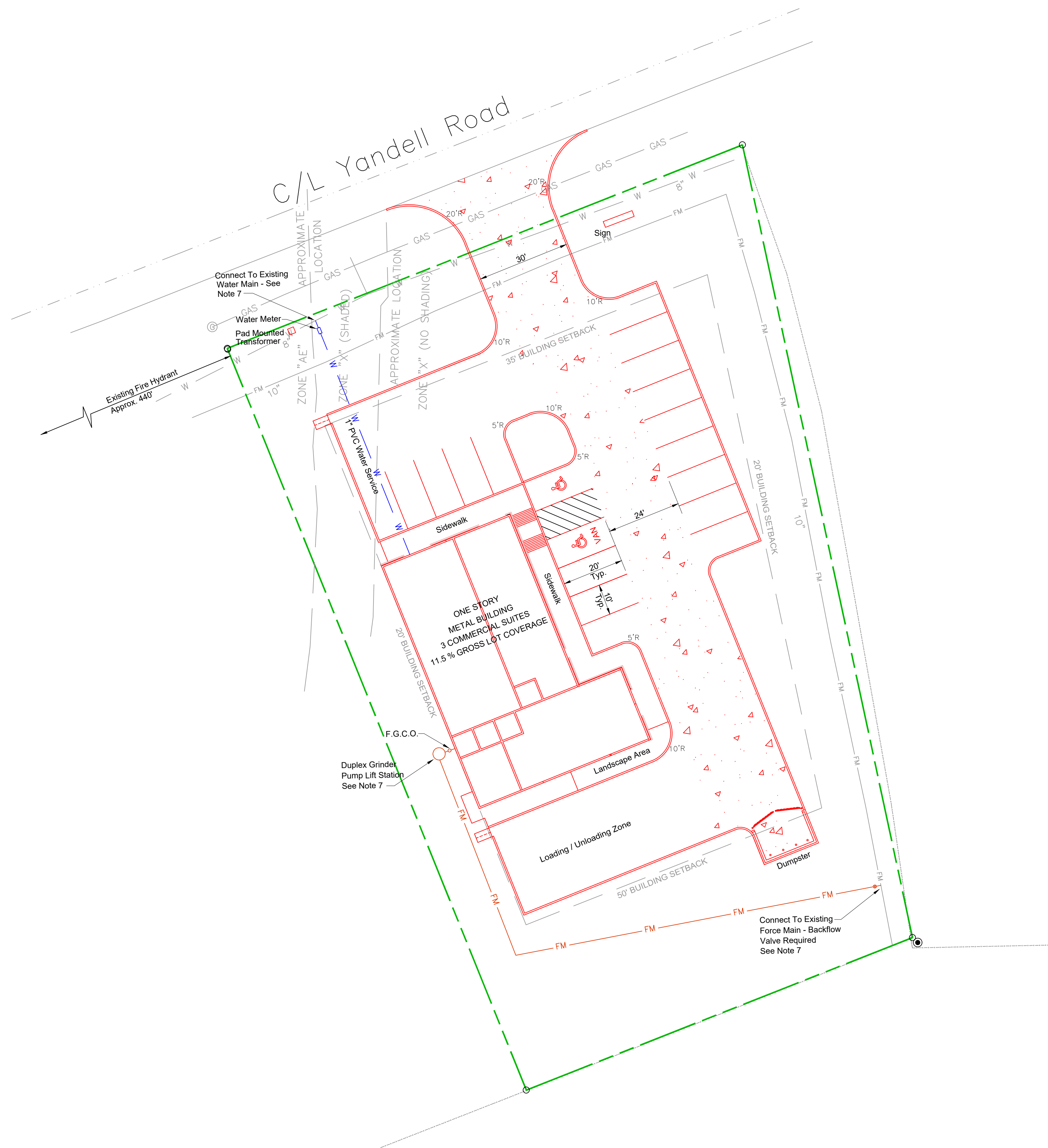
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| REV. | DESCRIPTION OF REVISION | BY  | REVISION DATE |

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| SCALE: SHOWN         |
| DRAWN: MJA           |
| REVIEWED: MJA        |
| PROJECT MANAGER: MJA |
| DATE: 4/25/23        |

**Alford and Associates**  
Consulting Engineers  
7112 Suite B Siwell Road  
Byram, Mississippi 39272

|  |
|--|
| Existing Site Boundary & Topo                    |
| Four Seasons Drapery & Hardware<br>Gluckstadt MS |

|               |
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| PROJECT No.   |
| CAD FILE NAME |
| DRAWING       |
| 3             |

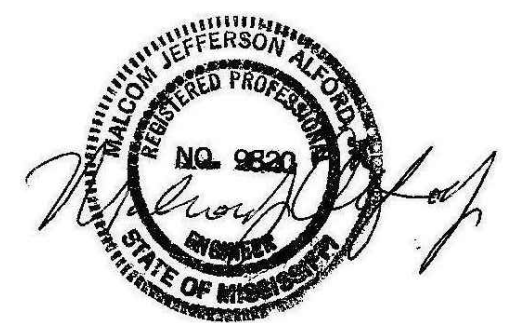


LEGEND

- PROPERTY LINE
- EXISTING 8" WATER MAIN
- EXISTING 10" SEWER FORCE MAIN
- EXISTING NATURAL GAS LINE
- WATER SERVICE
- SEWER SERVICE
- FINISHED GRADE CLEAN-OUT
- SETBACK LINE
- PROPOSED RADIUS TO FACE OF CURB OR EDGE CONCRETE
- HEAVY DUTY CONCRETE PAVING

GENERAL NOTES

- ALL EXCAVATION, OVER EXCAVATION, BACKFILL AND COMPACTION OF FILL MATERIAL SHALL FOLLOW RECOMMENDATIONS OF GEOTECHNICAL REPORT, PROVIDED BY OTHERS. SEE GEOTECH REPORT FOR PAVING RECOMMENDATIONS.
- HANDICAPPED PARKING SPACES, AND ROUTE TO BUILDING SHALL BE 2% MAX. SLOPE.
- CONTRACTOR SHALL NOTIFY MISSISSIPPI 811 BEFORE ANY EXCAVATION TO HAVE UNDERGROUND UTILITIES LOCATED.
- RADII SHOWN ARE TO THE PROPOSED EDGE OF CONCRETE, OR FACE CURB.
- ALL EXPOSED NON PARKING/DRIVE AREAS SHALL BE SEEDED AND MULCHED AFTER CONSTRUCTION.
- ANY CONCRETE PAVING SHALL HAVE SAW CUT JOINTS AT 12.5' ON CENTERS.
- WATER AND SEWER SERVICE PROVIDED BY BEAR CREEK WATER ASSOCIATION. SERVICES SHALL BE FIELD LOCATED TO REQUIRED INLET/OUTLET LOCATIONS. WATER & SEWER CONNECTIONS SHALL BE PER BEAR CREEK W.A. DUPLEX GRINDER PUMP LIFT STATION TO BE SIZED FOR MAXIMUM SEWER FLOWS AND SIZED FOR EXISTING FORCE MAIN FLOW AND HEAD CONDITIONS.
- TOTAL PROPOSED SITE AREA 0.94 AC. – 0.43 AC. HARD SURFACE, 0.51 AC. GRASS.
- MAJORITY OF PROPERTY LOCATED IN FEMA FLOOD ZONE X PER FLOOD MAP 28089C0451F, EFFECTIVE DATE 3–17–10. NORTHWEST CORNER IN FLOOD ZONE AE. 100 YR. BASE FLOOD ELEV. 253.90.



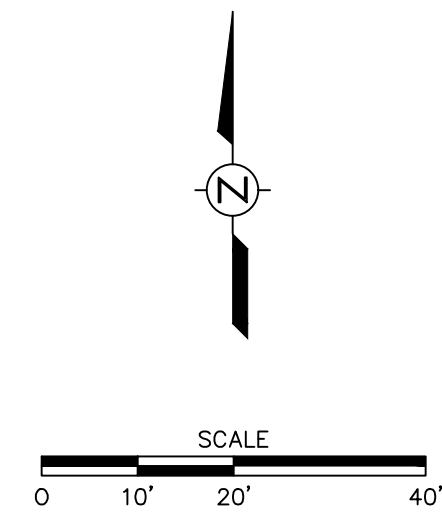
|      |                         |     |               |  |                      |   |  |               |
|------|-------------------------|-----|---------------|--|----------------------|---|--|---------------|
|      |                         |     |               |  | SCALE: SHOWN         | <b>Alford and Associates</b><br><i>Consulting Engineers</i><br>7112 Suite B Siwell Road<br>Byram, Mississippi 39272 | Site & Utility Plan                              | PROJECT No.   |
|      |                         |     |               |  | DRAWN: MJA           |   |  | CAD FILE NAME |
| 2    | DRAINAGE REVISIONS      | MJA | 5/10/23       |  | REVIEWED: MJA        |   | Four Seasons Drapery & Hardware<br>Gluckstadt MS | DRAWING       |
| 1    | REVISIONS PER CITY      | MJA | 5/5/23        |  | PROJECT MANAGER: MJA |   |  | 4             |
| 0    | ISSUED FOR REVIEW       | MJA | 5/1/23        |  | DATE: 4/26/23        |   |  |               |
| REV. | DESCRIPTION OF REVISION | BY  | REVISION DATE |  |                      |   |  |               |





LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE DIRECTION
- PROPOSED SWALE
- PROPOSED SPOT ELEVATION
- SILT FENCE
- STAKED HAY WATTLE



GENERAL NOTES

- ALL EXCAVATION, OVER EXCAVATION, BACKFILL AND COMPACTION OF FILL MATERIAL SHALL FOLLOW RECOMMENDATIONS OF GEOTECHNICAL REPORT, PROVIDED BY OTHERS. SEE GEOTECH REPORT FOR PAVING RECOMMENDATIONS.
- CONTRACTOR SHALL NOTIFY MISSISSIPPI 811 BEFORE ANY EXCAVATION TO HAVE UNDERGROUND UTILITIES LOCATED.
- ALL EXPOSED NON PARKING/DRIVE AREAS SHALL BE SEEDED AND MULCHED AFTER CONSTRUCTION.
- TOTAL PROPOSED SITE AREA 0.94 AC. — 0.43 AC. HARD SURFACE, 0.51 AC. GRASS.
- GRADE TO DRAIN OVER CURB THESE AREAS.
- DRAINAGE SWALE TO ROAD DITCH SHALL BE PROVIDED ALONG EAST PROPERTY LINE.

STORMWATER RUNOFF SUMMARY

|                            |                            |
|----------------------------|----------------------------|
| PRE-DEVELOPMENT:           | POST-DEVELOPMENT:          |
| TOTAL AREA = 0.94 AC       | TOTAL AREA = 0.94 AC       |
| GREEN AREA = 0.94 AC.      | GREEN AREA = 0.51 AC.      |
|                            | IMPERVIOUS AREA = 0.43 AC. |
| C GREEN = 0.64             | C GREEN = 0.64             |
| C IMPERVIOUS = 0.93        | C IMPERVIOUS = 0.93        |
| WEIGHTED C = 0.64          | WEIGHTED C = 0.78          |
| SLOPE = 2.0%               | SLOPE = 2.0%               |
| HYDR. LENGTH = 250'        | HYDR. LENGTH = 250'        |
| TIME CONC. = 10.84 MINUTES | T = 7.30 MINUTES           |
| Q100 = 4.88 cfs            | Q100 = 6.72 cfs            |

HYDRAFLOW STORM WATER/DETENTION RESULTS – RATIONALE METHOD  
GENERAL NOTES: STORM FREQUENCY = 100 YRS.  
 $T_c = (10 * L^{0.37}) / ((17 * C)(S^{0.21}))$



|      |                         |     |               |
|------|-------------------------|-----|---------------|
| 1    | DRAINAGE REVISIONS      | MJA | 5/10/23       |
| 0    | ISSUED FOR REVIEW       | MJA | 5/1/23        |
| REV. | DESCRIPTION OF REVISION | BY  | REVISION DATE |

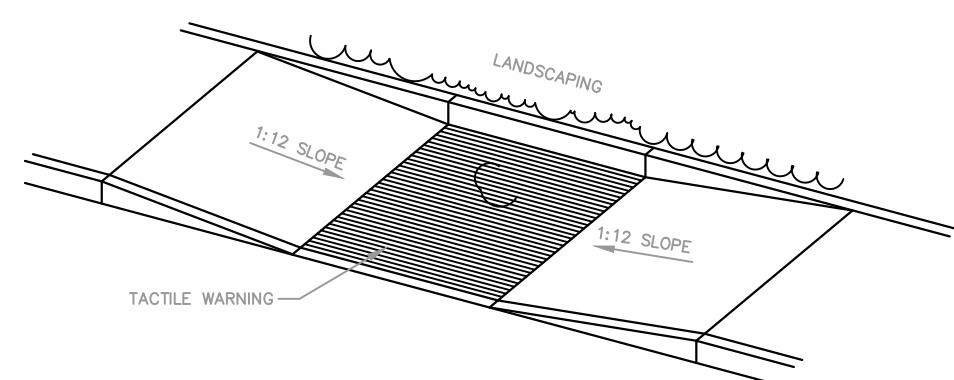
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| DRAWN: MJA           |
| REVIEWED: MJA        |
| PROJECT MANAGER: MJA |
| DATE: 4/26/23        |

**Alford and Associates**  
Consulting Engineers  
7112 Suite B Siwell Road  
Byram, Mississippi 39272

Grading & Drainage Plan  
Four Seasons Drapery & Hardware  
Gluckstadt MS

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| PROJECT No.   |
| CAD FILE NAME |
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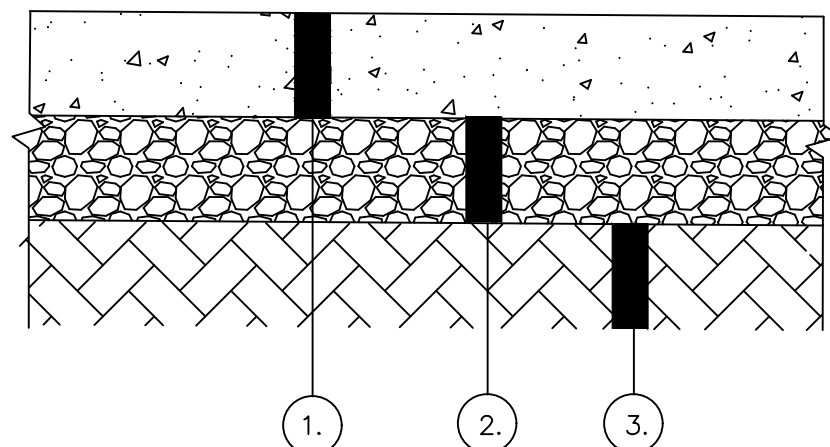




**CURB TRANSITION FOR HANDICAP RAMP**  
N.T.S.

**GENERAL NOTES:**

ALL CAST-IN-PLACE CONCRETE STRUCTURES DENOTED IN THESE CONSTRUCTION PLANS SHALL BE A MINIMUM OF 3,000 PSI UNLESS OTHERWISE NOTED.

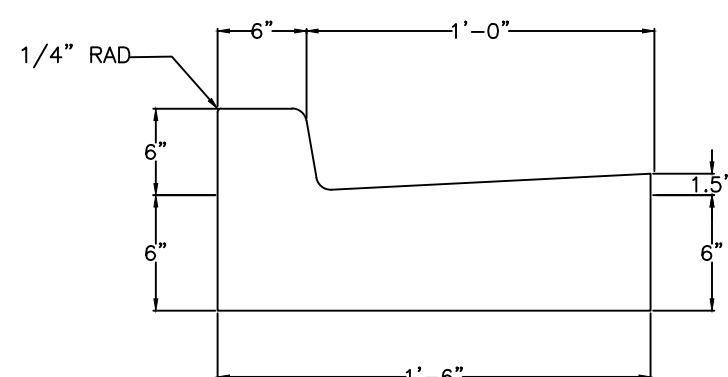


1. 5" MIN. 4000 PSI CONCRETE
2. 6" MIN. CRUSHED AGGREGATE (#610 GRADATION),
3. COMPACTED SUBGRADE - SEE GEOTECH REPORT FOR EXCAVATION AND COMPACTION REQUIREMENTS

NOTE: REFER TO GEOTECHNICAL REPORT FOR PAVING DETAILS/RECOMMENDATIONS

## LIGHT DUTY CONCRETE PAVEMENT

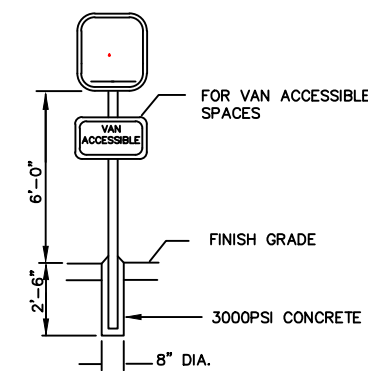
NOT TO SCALE



NOTE:  
DUMMY JOINTS WILL BE MADE AT 10' INTERVALS.  
EXPANSION JOINTS WILL BE MADE AT 40' INTERVALS  
AND PRECUT JOINT MATERIAL TEMPLATES WILL  
BE USED IN ALL EXPANSION JOINTS.

## STAND-UP CURB AND GUTTER

NOT TO SCALE

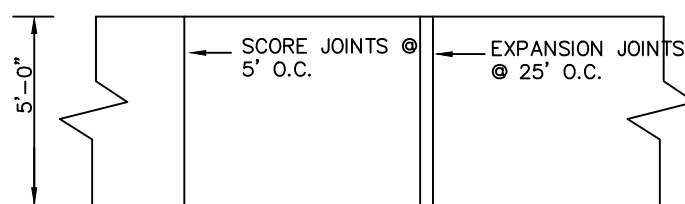


**NOTES:**

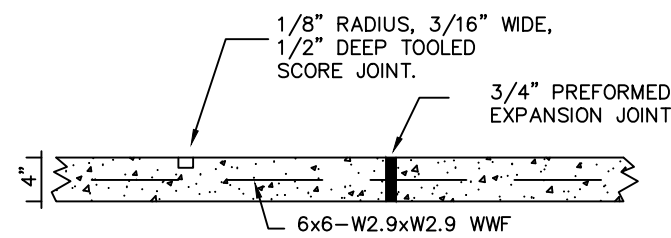
1. HANDICAP PARKING SIGN SHALL CONFORM TO ALL GOVERNING REGULATIONS
2. HANDICAP SIGN SHALL BE 12"x18"x080", FASTENED WITH TWO EACH 3/8" CADDIUM BOLTS,NUTS AND WASHERS.
3. POST SHALL BE 1.75"x3-1/2" HEAVY DUTY GALVANIZED.
4. CONTRACTOR SHALL INSTALL A HANDICAP PARKING SIGN AT EACH HANDICAP PARKING SPACE.

## HANDICAP SIGN

NOT TO SCALE



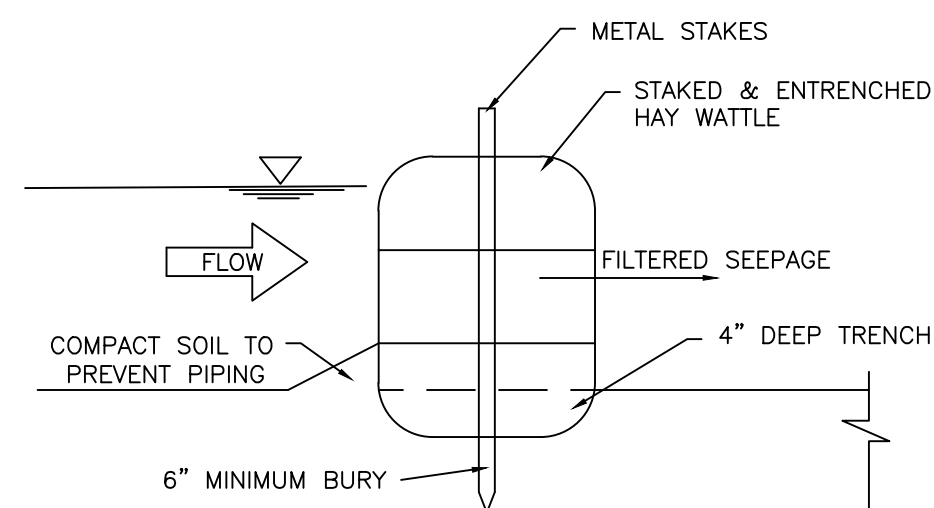
**PLAN VIEW**



CONTRACTOR MAY OMIT WELDED WIRE FABRIC IF CONCRETE CONTAINS FIBROUS REINFORCEMENT.

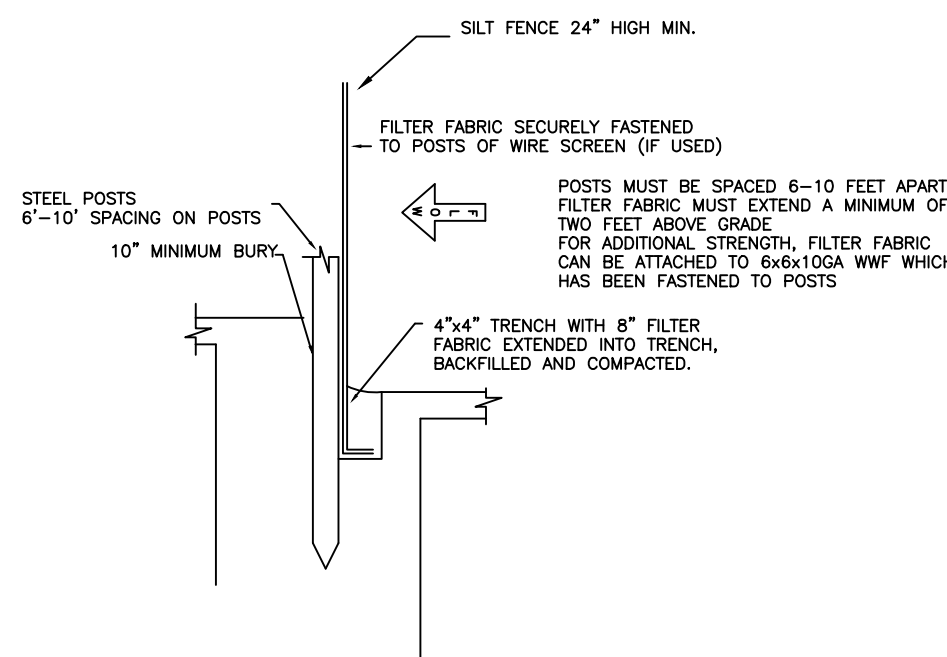
CONCRETE SHALL HAVE 3000 PSI AT 28 DAYS.

## SIDEWALK

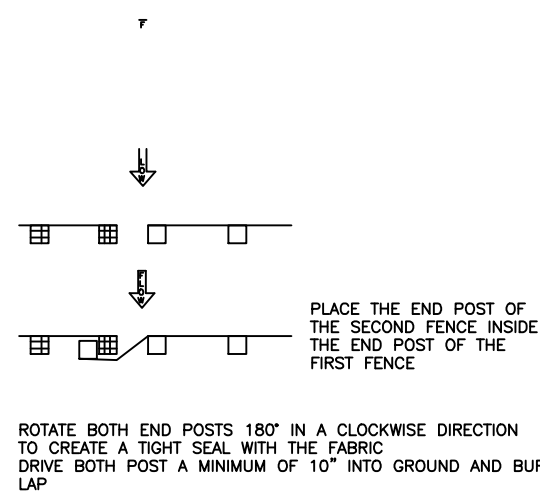


## HAY WATTLE INSTALLATION

SCALE: SHOWN



## SILT FENCE TYPICAL SECTION



## ATTACHING TWO SILT FENCES

### SILT FENCE MAINTENANCE PLAN

1. CARE SHALL BE TAKEN TO MINIMIZE THE MOVEMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES AND PUBLIC STREETS UNTIL THE IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED.
2. A DROP INLET SEDIMENT TRAP WITH PERIMETER SILT FENCING OR PROPERLY INSTALLED HAYBALE BARRIERS IS THE RECOMMENDED METHOD OF INLET PROTECTION. SEDIMENT WILL BE REMOVED FROM THE EXCAVATED DROP INLET SEDIMENT TRAP AND RESTORED TO THE ORIGINAL DEPTH WHEN SEDIMENT ACCUMULATION HAS REACHED HALF THE DEPTH OF THE
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATIONAL INTEGRITY FOLLOWING EVERY RUNOFF PRODUCING RAINFALL BUT IN NO CASE, LESS THAN EVERY WEEK. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN THE MEASURE'S PERFORMANCE AS DESIGNATED.
4. SEDIMENT WIL BE REMOVED FROM THE UPSTREAM FACE OF THE SILT FENCE WHEN IT REACHES A MAXIMUM SIX-INCH (6") DEPTH AT THE FENCE. THE FENCE WILL BE REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. SILT FENCE POSTS SHALL BE ALTERNATING STEEL.



| REV. | DESCRIPTION OF REVISION | BY  | REVISION DATE |
|------|-------------------------|-----|---------------|
| 0    | ISSUED FOR REVIEW       | MJA | 5/1/23        |

|                      |
|----------------------|
| SCALE: SHOWN         |
| DRAWN: MJA           |
| REVIEWED: MJA        |
| PROJECT MANAGER: MJA |
| DATE: 4/26/23        |

**Alford and Associates**  
Consulting Engineers

7112 Suite B Siwell Road  
Byram, Mississippi 39272

Site Details  
Four Seasons Drapery & Hardware  
Gluckstadt MS

PROJECT No.  
CAD FILE NAME  
DRAWING  
**6**

Section 3, Item A) **ge 1**





① Left Elevation Copy 1  
1/4" = 1'-0"

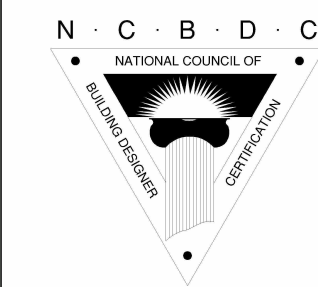


② Right Elevation Copy 1  
1/4" = 1'-0"





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① Front Elevation Copy 1  
1/4" = 1'-0"



③ Rear Elevation Copy 1  
1/4" = 1'-0"

Rendered Elevations

|            |            |
|------------|------------|
| Project    | 4246       |
| Date       | 01-25-2023 |
| Drawn by   | L McCombs  |
| Checked by | U Pineda   |

9

Scale 1/4" = 1'-0"

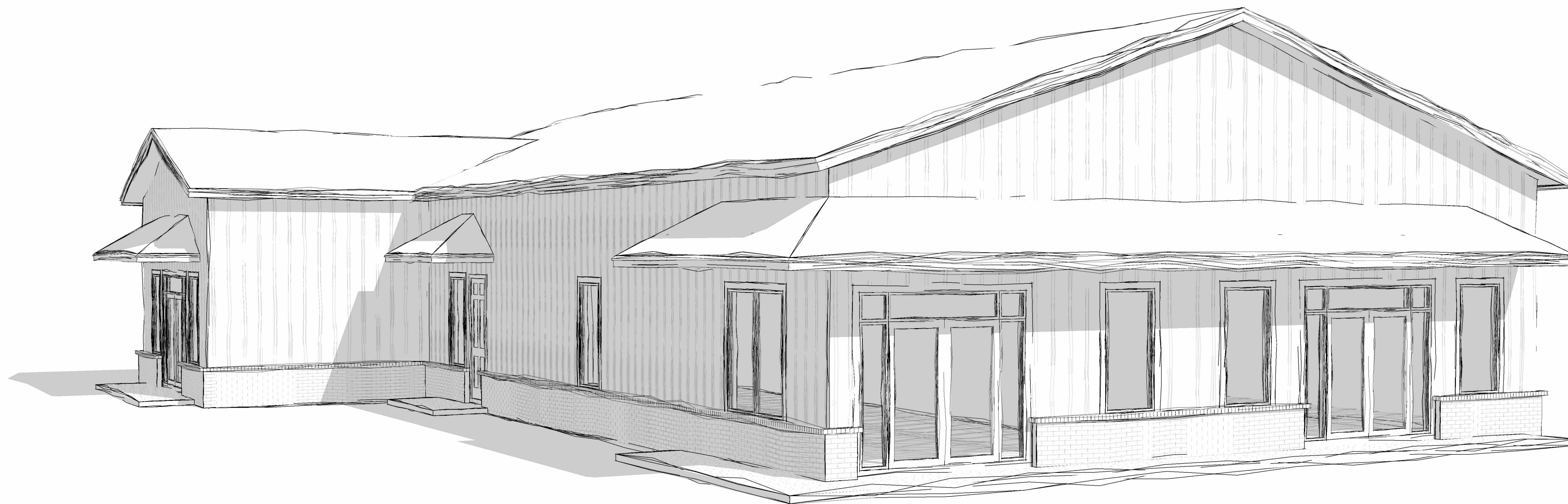


Cover Sheet

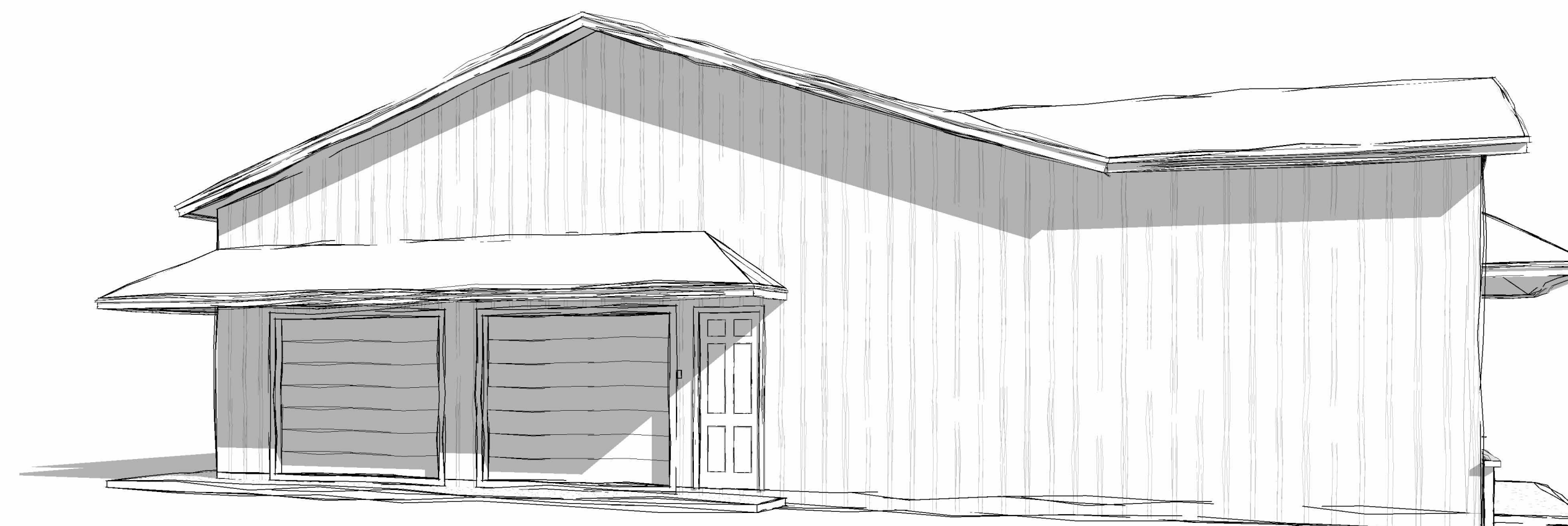
Project 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

1

Scale



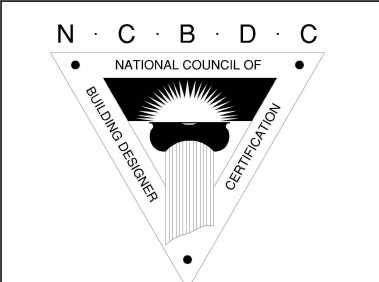
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for  
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PLOT PLAN

SCALE: 1"= 20'-0"

ADDRESS: \_\_\_\_\_

PARCEL NO. 082H-27-023/ 25.00 ON YANDELL RD.

GLUCKSTADT, MADISON COUNTY, MISSISSIPPI

LOT AREA: 0.94 ACRES (+/-)

OWNER: FOUR SEASONS LAND HOLDINGS LLC.

CURRENT ADDRESS: \_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_

BUILDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_

BUILDING PERMIT NO.: \_\_\_\_\_

GENERAL NOTES:

ALL DIMENSIONS, PROPERTY LINES, SETBACK LINES AND EASEMENTS SHALL BE VERIFIED BY OWNER AND CONTRACTOR PRIOR TO ANY WORK.

EXISTING ELEVATIONS SHALL BE NOTED OR VERIFIED BY CONTRACTOR AT EACH PROPERTY CORNER

EXISTING AND FINISH ELEVATIONS SHALL BE NOTED BY CONTRACTOR AT EACH CORNER OF THE PROPOSED RESIDENCE PRIOR TO CONSTRUCTION.

PROPER DRAINAGE PATTERN SHALL BE DETERMINED BY CONTRACTOR AND APPROVED BY BUILDING INSPECTOR PRIOR TO PLACEMENT FOUNDATION FORMS.

DRAINAGE FACILITIES SHALL BE DESIGNED TO PREVENT EXCESSIVE RUNOFF ONTO ADJACENT PROPERTIES. EXCESSIVE RUNOFF PERTAINS TO QUANTITY, EXPRESSED IN CUBIC FEET PER SECOND (CFS) AS WELL AS QUALITY, EXPRESSED AS EROSION, SILTATION, AND CHEMICAL/BIOLOGICAL CONTAMINANTS

FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISH GRADE ELEVATION (INCLUDING SOD).

FINISH GRADE (INCLUDING SOD) AT A 10'-0" PERIMETER DISTANCE FROM THE BUILDING OR MID-DISTANCE THE PROPERTY LINE (WHICHEVER IS LESS) SHALL BE A MINIMUM OF 17" LOWER THAN FINISH FLOOR

GRADING OF ENTIRE LOT SHALL HAVE A MINIMUM OF 2% SLOPE FOR PROPER DRAINAGE.

ALL IMPROVEMENTS SHOWN ARE PROPOSED.

BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BRICK ON PLOT PLAN ONLY.

ALL CURVED LOT DIMENSIONS ARE CHORD LENGTH UNLESS OTHERWISE NOTED.

SIDEWALKS

ALL SIDEWALKS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, WITH A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN TWENTY EIGHT DAYS.

ALL SIDEWALKS ARE TO HAVE A WIDTH AND SHALL BE CONSTRUCTED AS PER THE LOCATION SHOWN ON THESE PLANS.

ALL SIDEWALKS SHALL BE SCORED TO A DEPTH OF 3/4" AT FOUR (4) FOOT INTERVALS, WITH EXPANSION JOINTS PLACED AT TWENTY (20) FOOT INTERVALS.

EXPANSION JOINTS SHALL BE CONSTRUCTED OF 1/2" THICK PRE-MOLDED EXPANSION MATERIAL WITH ALL CORNERS TO BE FORMED BY EXPANSION JOINTS.

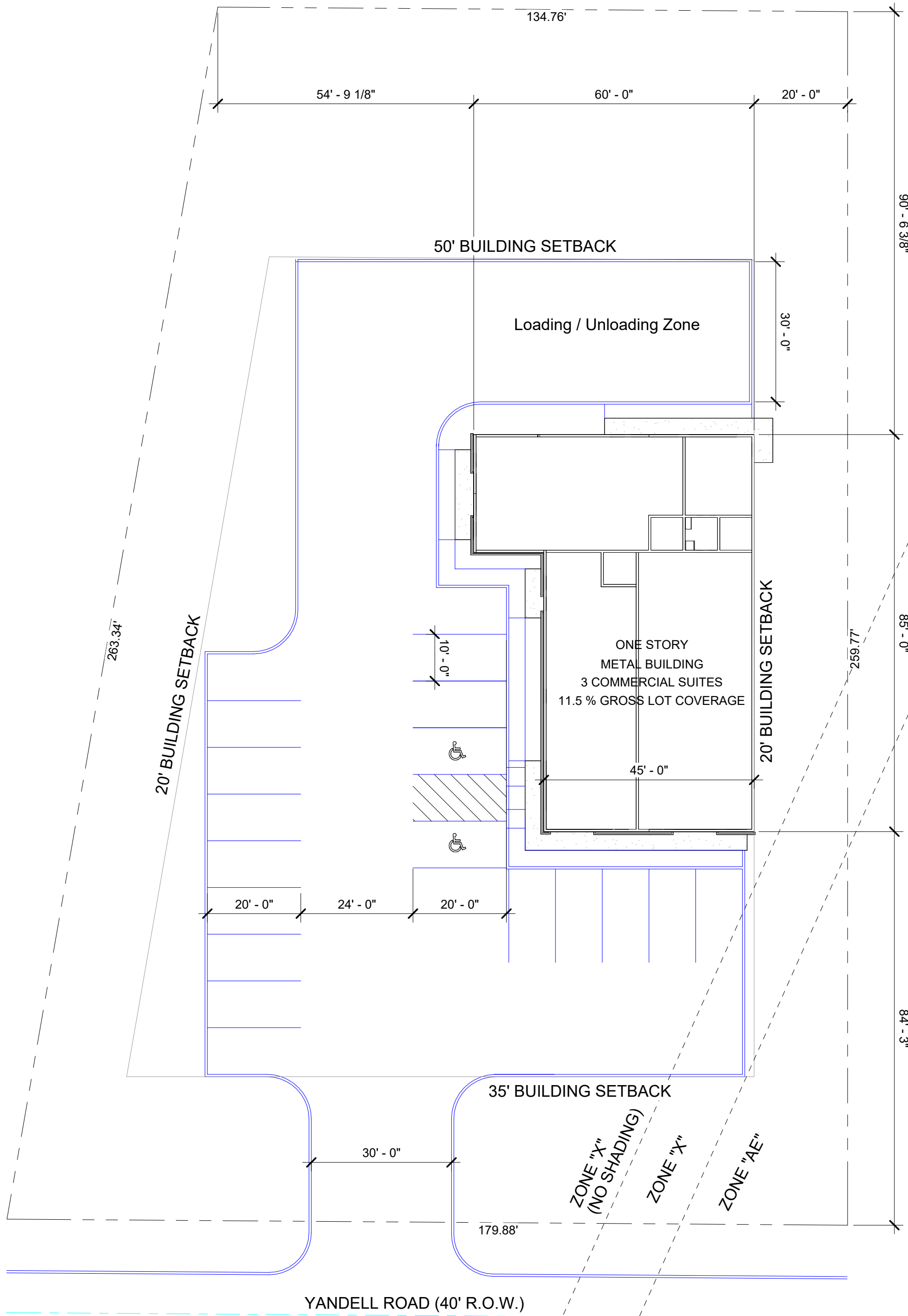
ANY SIDEWALK OR ACCESSIBLE ROUTE THAT IS NOT AT A LEVEL ELEVATION AT ITS INTERSECTION WITH A DRIVEWAY OR STREET WILL BE REQUIRED TO INSTALL A CURB RAMP AT A MAXIMUM SLOPE OF 1:12, WITH A MAXIMUM RISE OF 30" AND A MINIMUM LEVEL STRAIGHT CURB OF 48".

THE TEXTURE OF THE DRIVEWAY AND INTERSECCION HANDICAP RAMP SURFACES SHALL BE CONSTRUCTED OF NON-SLIP SURFACE, ACCOMPLISHED BY "BROOMING" THE RAMP SURFACES AND GROOVING ONE INCH SPACINGS AT RIGHT ANGLE DIRECTIONS. GROVES ARE TO BE APPROXIMATELY 1/4" X 1/8" WIDE.

SIDEWALK SHALL BE SLOPED 1" TOWARDS THE STREET.

DRIVEWAYS

ALL DRIVEWAYS BETWEEN THE STREET AND PROPERTY LINE CONNECTING WITH AN EXISTING ROADWAY ARE TO BE CONSTRUCTED IN ACCORDANCE WITH DETAIL AS SHOWN IN THIS PLAN UNLESS OTHERWISE SPECIFIED BY LOCAL ORDINANCE OR SUBDIVISION COVENANTS.



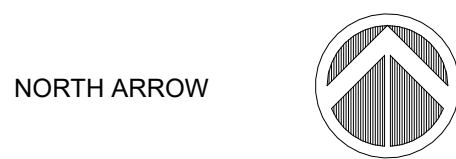
PARCEL NO. 082H-27-023/01.00  
MISSISSIPPI STATE UNIVERSITY

PARKING  
STANDARD SPACES: 17  
HANDICAPPED SPACES: 2  
TOTAL PARKING SPACES: 19

PARCEL NO. 082H-27-024/00.00  
NEW MT. ZION CEMETERY

SYMBOLS:

- PROPERTY LINE PL
- SETBACK LINE SETBACK
- EASEMENT LINE EASEMENT
- CENTERLINE OF STREET CL
- SWALE SWALE
- SILT FENCE
- ELEVATION MARK FIN. EL.: XX.XX' (FINISHED GRADE ELEVATION)
- DRAINAGE DIRECTION



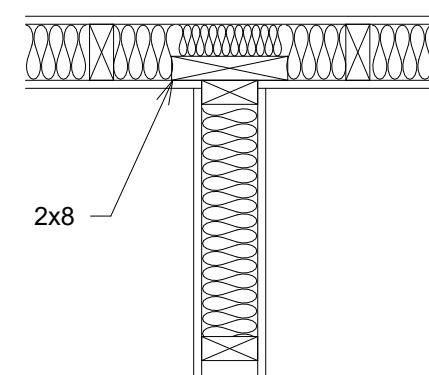
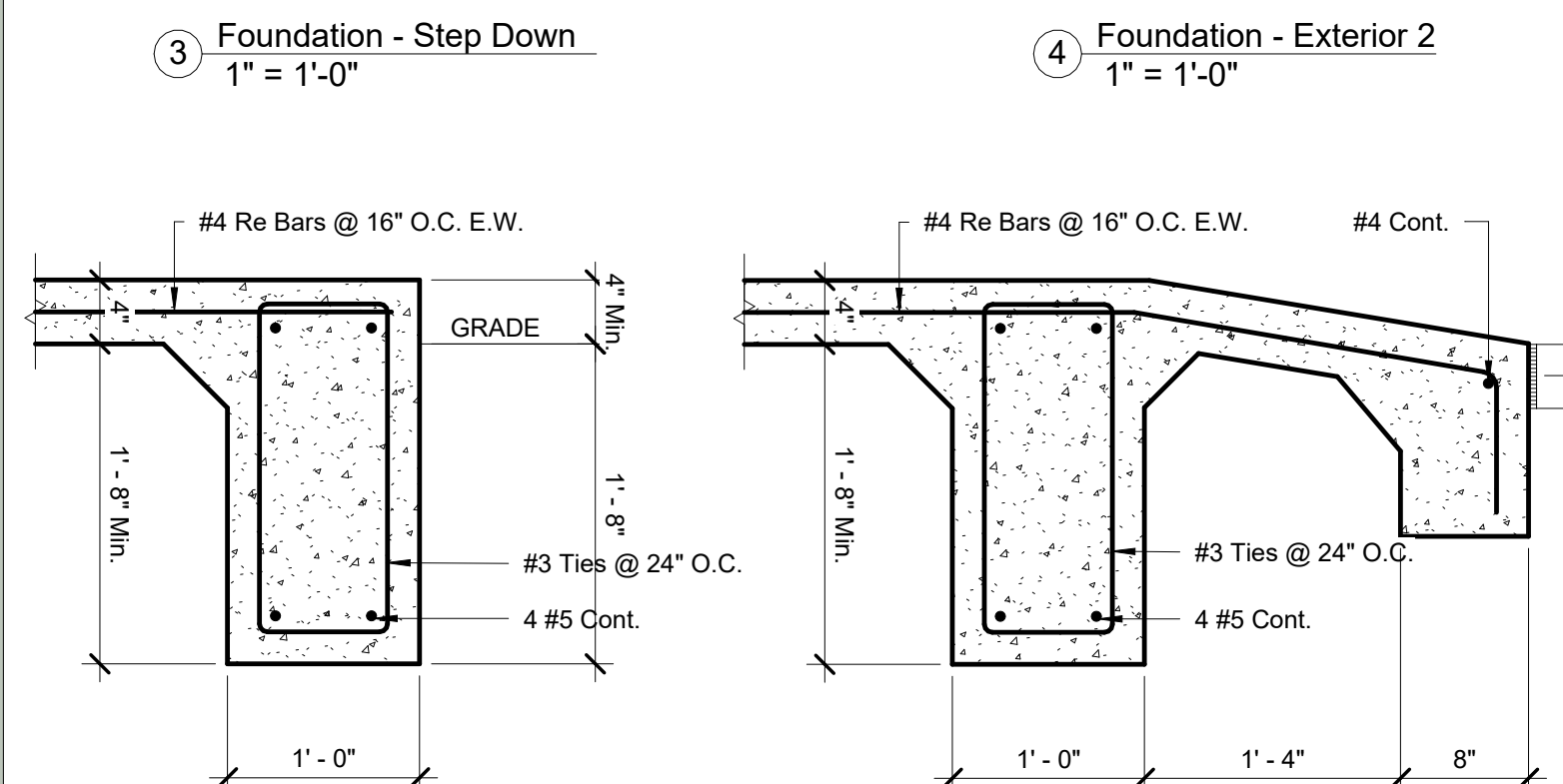
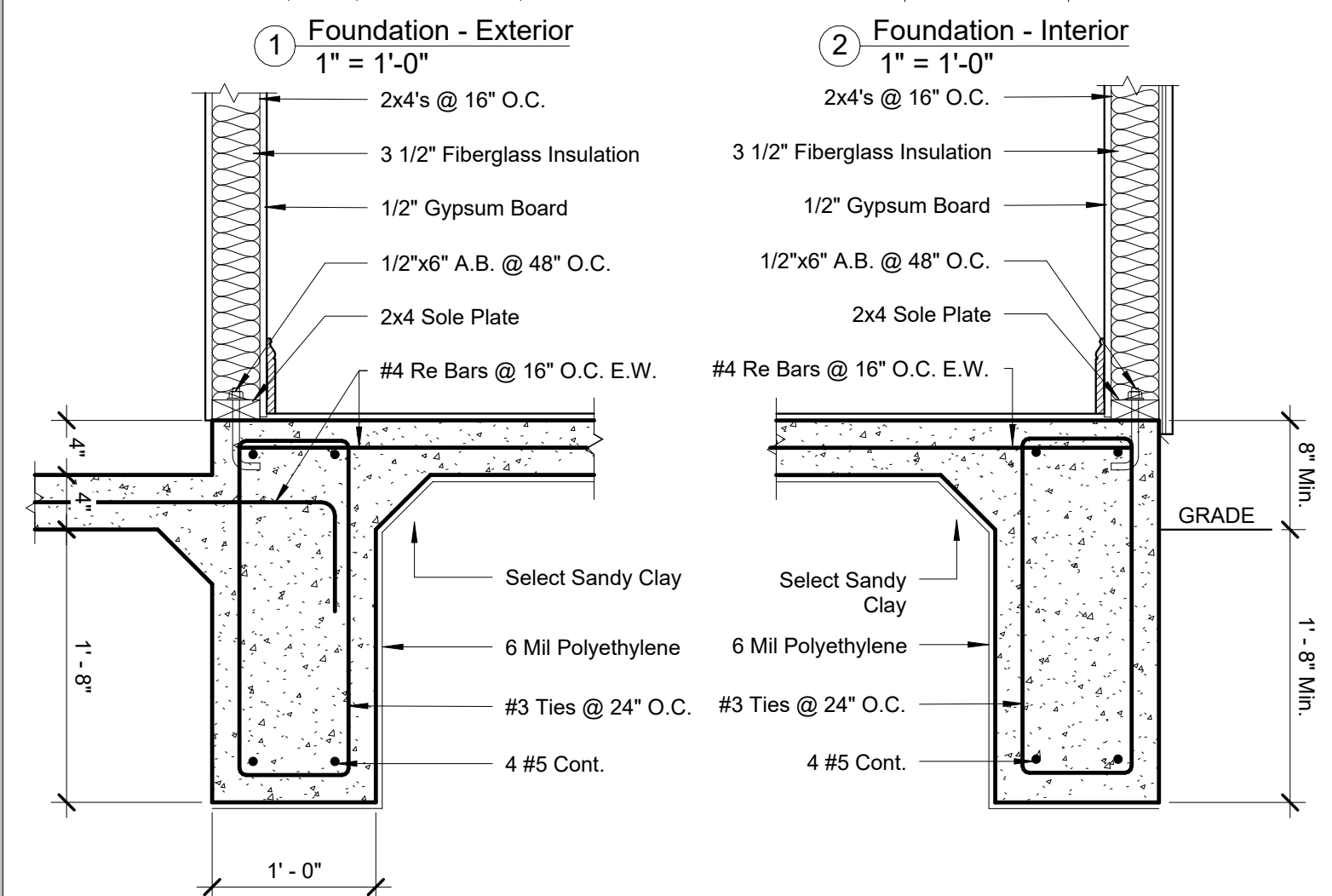
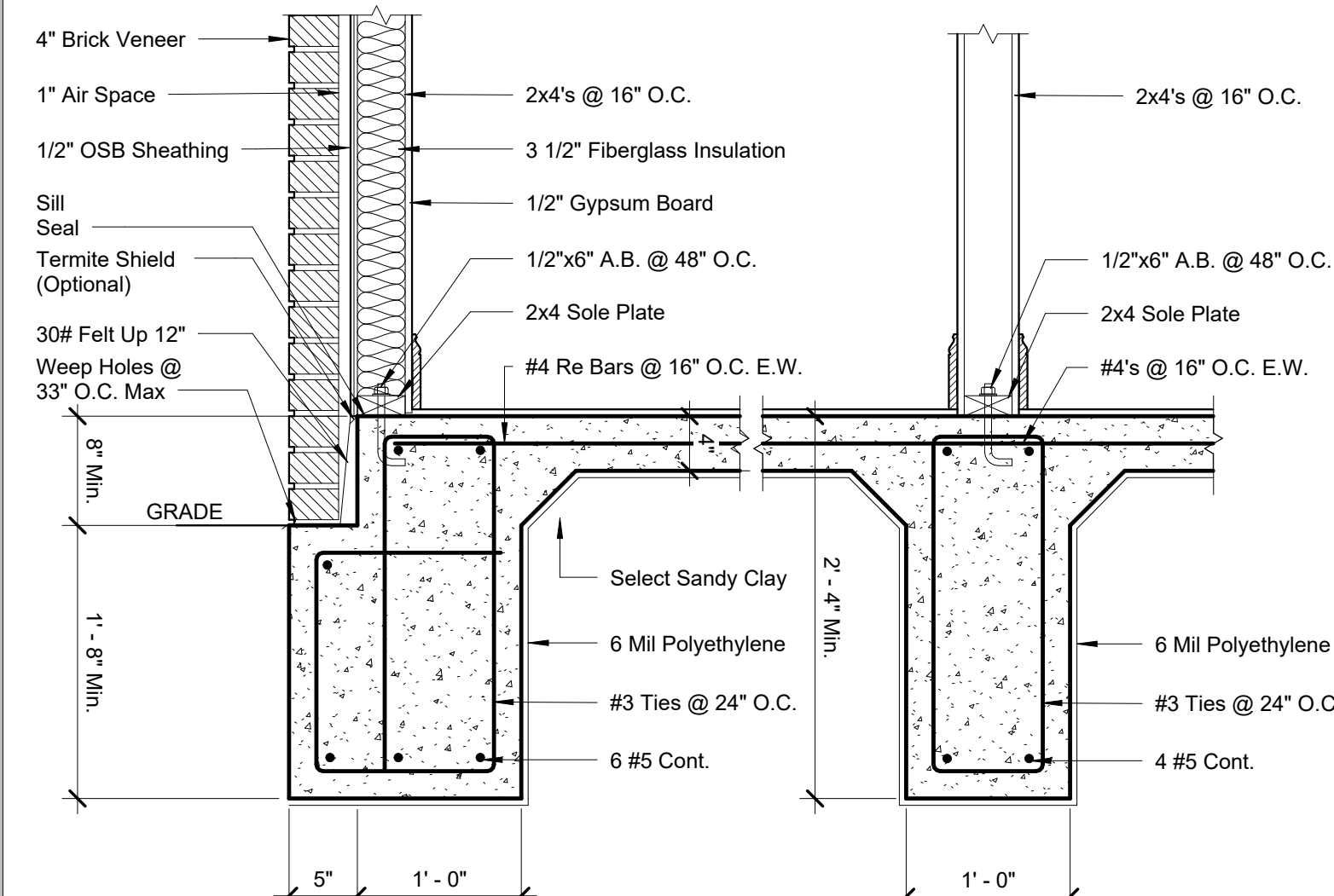
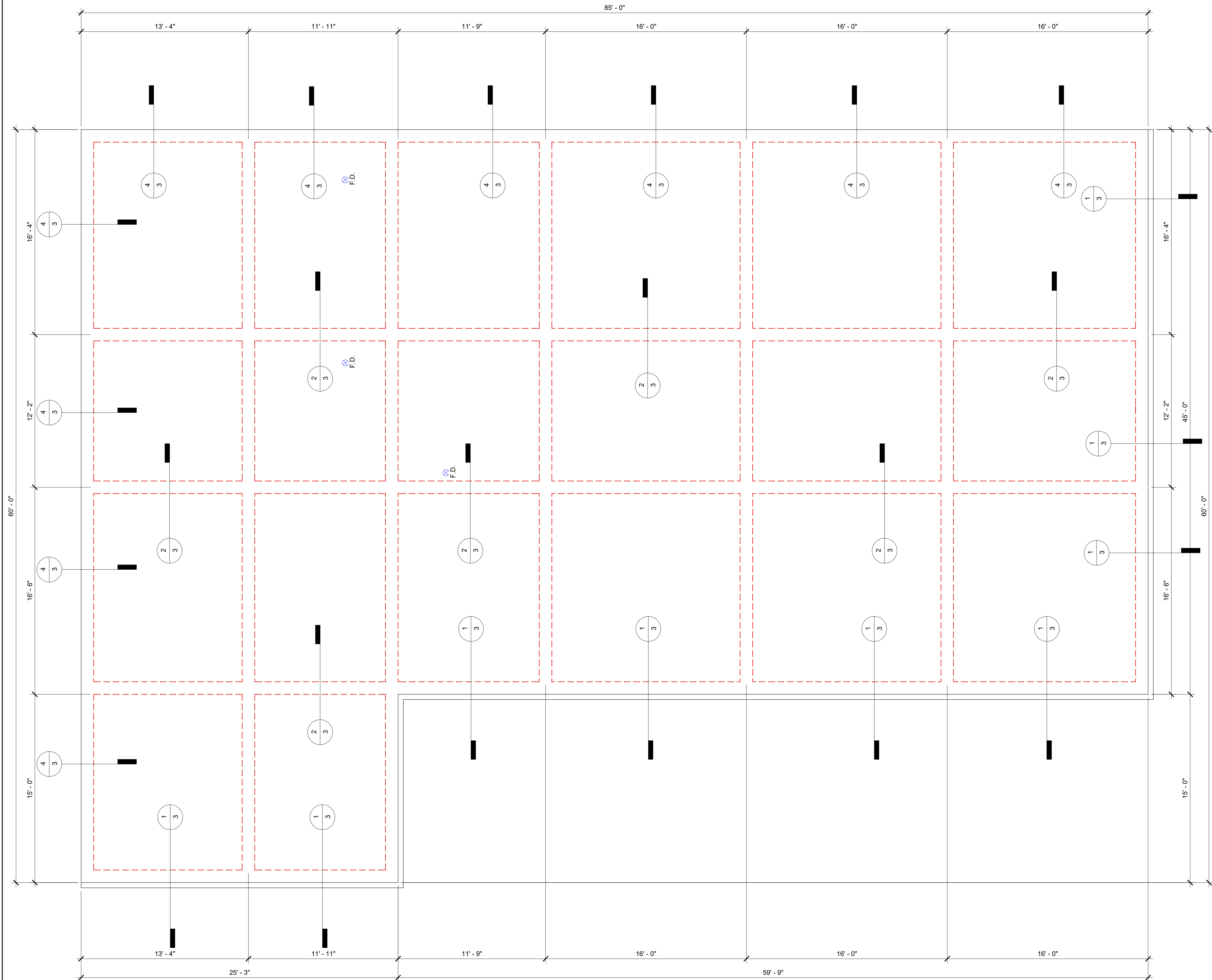
Plot Plan

Project number 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

2

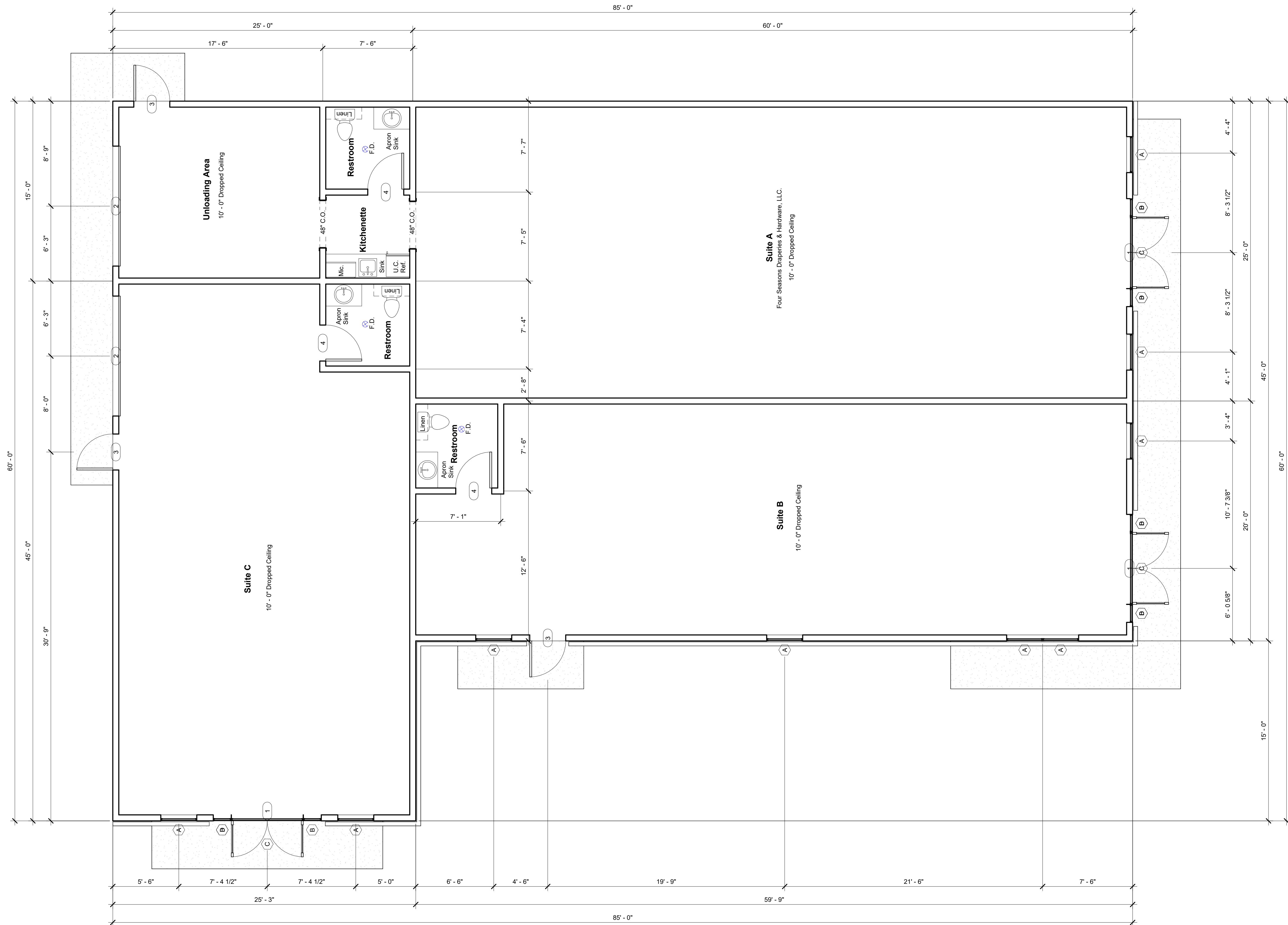
Scale As indicated

## 3



1. ABOVE SECTIONS APPLY TO SITES WITH UPPER SOILS (TOP 8") HAVING A PLASTICITY INDEX UP TO 24. A SOIL TEST SHALL BE TAKEN IN ORDER TO DETERMINE APPLICABILITY OF THESE DETAILS. AN ENGINEER SHALL BE CONSULTED IF SOIL IS NOT IN COMPLIANCE WITH THESE SPECIFICATIONS.
2. ALL FILL MATERIAL SHALL BE SELECT, NON-EXPANSIVE MATERIALS, PLACED AND COMPACTED IN 9" MAXIMUM LOOSE LIFTS. COMPACT EACH LIFT TO 95% STANDARD PROCTOR DENSITY.
3. BORROWED FILL MATERIAL SHALL CONSIST OF SOIL HAVING A MOISTURE CONTENT WITHIN 4% OF OPTIMUM AND A PLASTICITY INDEX OF NOT LESS THAN 10% NOR MORE THAN 7%.
4. PROVIDE 4" MIN. THICKNESS OF GRANULAR FILL (COMPACTED) UNDER SLAB.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB WITH AT LEAST 9" OF SLOPE AT 10' AWAY FROM FOUNDATION.
6. INSTALL .006 VISQUEON OVER FILL UNDER CONCRETE. SEAL AROUND ALL PIPE AND LAP ALL JOINTS A MIN. OF 12".
7. AFTER PLACING GRAVEL FILL UNDER SLABS, AND PRIOR TO PLACING VAPOR BARRIER, APPLY 0.5% DYDLIRIN IN OIL SOLUTION OR WATER EMULSION AT THE RATE OF 1 GALLON PER SEVEN (7) SQUARE FEET. SUCH APPLICATION SHALL BE MADE BY A STATE LICENSED EXTERMINATOR AND HAVE A MIN. OF 5 YEAR WARRANTY.
8. ALL CONCRETE SHALL BE CAST TO MEET CURRENT AC SPECIFICATIONS AND SHALL BE REGULAR SAND AND GRAVEL WITH A MINIMUM OF 3000 P.S.I. IN 28 DAYS.
9. PROVIDE NECESSARY ACCESSORIES TO HELP REINFORCING BARS IN THE PROPER POSITION.
10. #5 BARS AND SMALLER SHALL BE DEFORMED GRADE 40. #6 AND GREATER SHALL BE GRADE 60.
11. LAP #4 BARS 20" MIN. AT SPLICE. PROVIDE 4" CORNER BARS (20" X 20") AT CORNERS.





| Door Schedule |          |         |  |       |         |      |
|---------------|----------|---------|--|-------|---------|------|
| Door Type     | Width    | Height  | Description  | Count | U-Value | SHGC |
| 1             | 6' - 0"  | 6' - 8" | Pair - Exterior Storefront w/ Sidelights and Transom | 3     |         |      |
| 2             | 10' - 0" | 8' - 0" | Overhead Roll Up Door                                | 2     |         |      |
| 3             | 3' - 0"  | 8' - 0" | Ext. Metal Insulated Door                            | 3     |         |      |
| 4             | 3' - 0"  | 8' - 0" | Int. Panel Door                                      | 3     |         |      |

| Window Schedule |         |         |                                     |       |         |      |
|-----------------|---------|---------|-------------------------------------|-------|---------|------|
| Type Mark       | Size    |         | Description                         | Count | U-Value | SHGC |
|                 | Width   | Height  |                                     |       |         |      |
| A               | 3' - 0" | 6' - 0" | Fixed w/ Insulated Glass            | 9     |         |      |
| B               | 1' - 6" | 1' - 4" | Fixed Storefront w/ Insulated Glass | 6     |         |      |
| C               | <varies | 1' - 4" | Fixed Storefront w/ Insulated Glass | 3     |         |      |
| D               | 1' - 6" | 6' - 8" | Fixed Storefront w/ Insulated Glass | 6     |         |      |

| Area Schedule (Gross Building) |         |
|--------------------------------|---------|
| Name                           | Area    |
| Suite A                        | 1875 SF |
| Suite B                        | 1200 SF |
| Suite C                        | 1129 SF |
|                                | 4204 SF |
| Awnings                        | 520 SF  |
|                                | 520 SF  |
| Total Under Roof               | 4723 SF |

Note: See Metal Building Manufacturer Shop Drawings for Roofing and Framing Details

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## First Floor Plan

Project 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

4

Scale 1/4" = 1'-0"

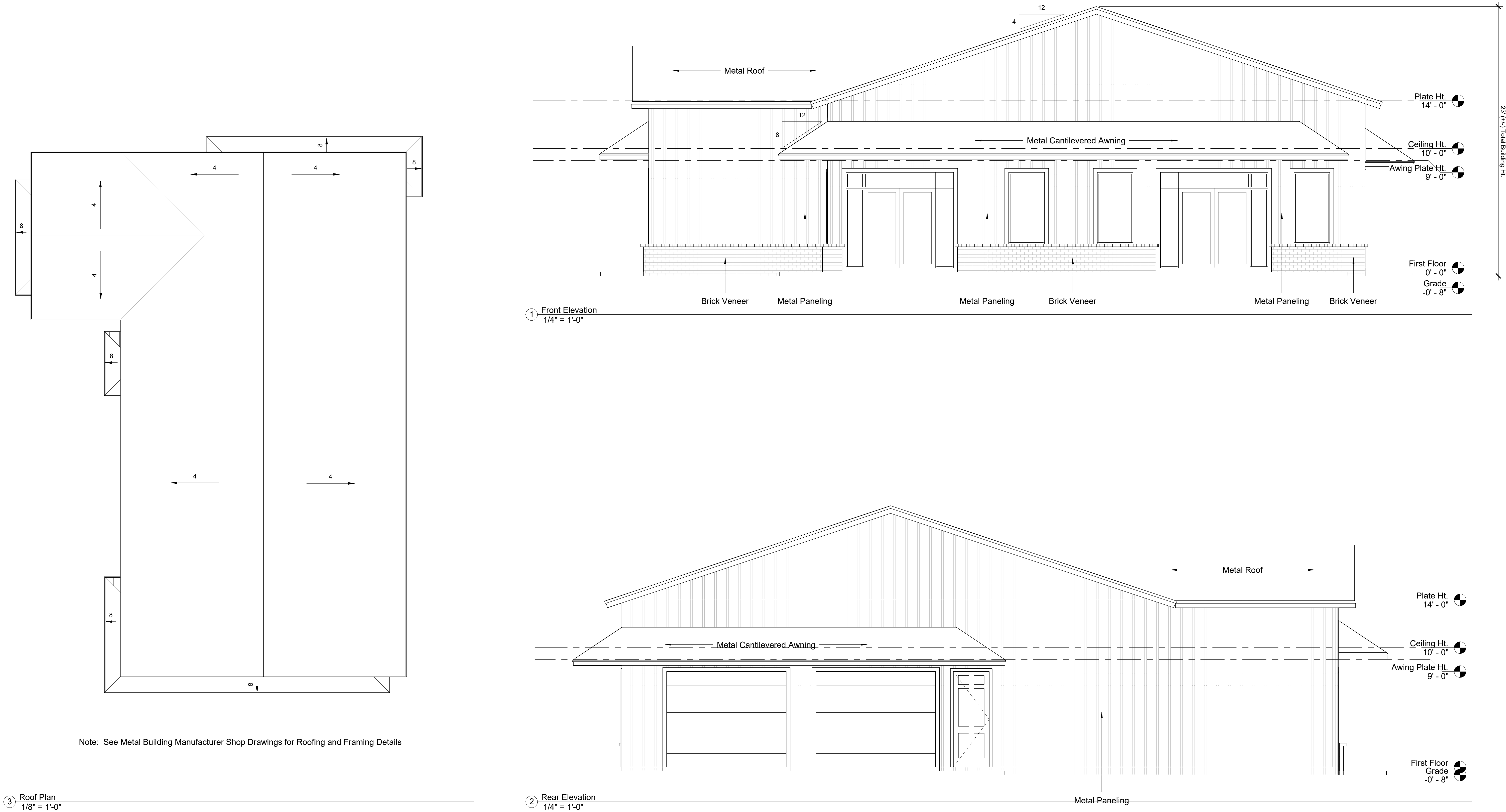


Exterior  
Elevations

|            |            |
|------------|------------|
| Project    | 4246       |
| Date       | 09-14-2023 |
| Drawn by   | L McCombs  |
| Checked by | U Pineda   |

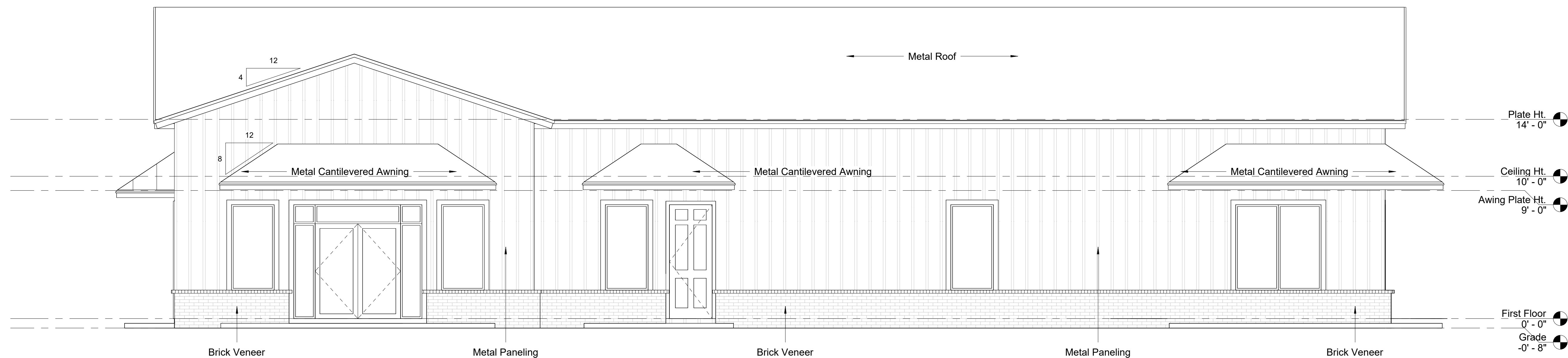
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| Scale | As indicated |
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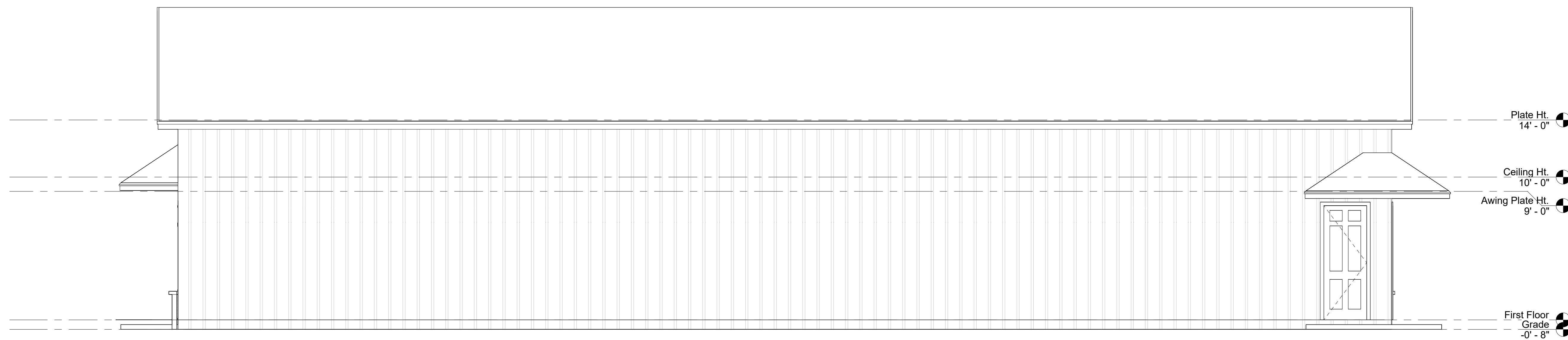


3 Roof Plan  
1/8" = 1'-0"

2 Rear Elevation  
1/4" = 1'-0"



① Left Elevation  
1/4" = 1'-0"



② Right Elevation  
1/4" = 1'-0"

## Exterior Elevations

|            |            |
|------------|------------|
| Project    | 4246       |
| Date       | 09-14-2023 |
| Drawn by   | L McCombs  |
| Checked by | U Pineda   |

7

|       |              |
|-------|--------------|
| Scale | 1/4" = 1'-0" |
|-------|--------------|

Note Exterior Awning and Sign Lights Can Be Placed on Timers

To Rear and Side Floods

To Front Floods

Note Exterior Awning and Sign Lights Can Be Placed on Timers

Note: Suspended Ceiling Pattern and Light Type/ Location TBD and Confirmed During Construction

Note Exterior Awning and Sign Lights Can Be Placed on Timers

ELECTRICAL SYMBOLS

| SYMBOL | DESCRIPTION                     | SYMBOL | DESCRIPTION                        |
|--------|---------------------------------|--------|------------------------------------|
|        | SURFACE CEILING FIXTURE         |        | SINGLE POLE SWITCH                 |
|        | RECESSED CEILING FIXTURE        |        | THREE WAY SWITCH                   |
|        | RECESSED SWIVEL CEILING FIXTURE |        | FOUR WAY SWITCH                    |
|        | HANGING HALOGEN FIXTURE         |        | DIMMER SWITCH                      |
|        | RECESSED MINIATURE HALOGEN      |        | 110 VOLT DUPLEX CONVENIENCE OUTLET |
|        | WALL MOUNTED FIXTURE            |        | GROUND FAULT INTERRUPTER OUTLET    |
|        | FIXTURE WITH PULL SWITCH        |        | WATERPROOF GFCI OUTLET             |
|        | RECESSED BASEBOARD FIXTURE      |        | 110 VOLT DUPLEX SPLIT WIRE OUTLET  |
|        | FLOOD LIGHT                     |        | 220 VOLT DUPLEX CONVENIENCE OUTLET |
|        | FLOURESCENT FIXTURE             |        | 110 VOLT FOURPLEX OUTLET           |
|        | FLOOR. FIXT. UNDER CABINET      |        | 110 VOLT DUPLEX FLOOR OUTLET       |
|        | CEILING FAN                     |        | TELEVISION OUTLET                  |
|        | EXHAUST FAN                     |        | TELEPHONE OUTLET                   |
|        | CARBON MONOXIDE /SMOKE DETECTOR |        | COMPUTER OUTLET                    |
|        | EXIT SIGN                       |        | CHIME                              |
|        | OVERHEAD GARAGE DOOR OPENER     |        | ELECTRICAL PANEL, METER BOX        |
|        |                                 |        | METER BOX                          |

ELECTRICAL NOTES

- MIN. WIRE SIZE SHALL BE #14 AWG COPPER. INSULATION SHALL BE THW, YHWN/THHN OR XHHW.
- SERVICE ENTRANCE CONDUCTOR SHALL BE 2-2-2-4 SER. AL. GROUNDING CONDUCTOR TO BE #6 SOLID COPPER (100A SERVICE) OR #4 SOLID COPPER (200A SERVICE).
- GROUNDING METHOD TO BE 2 - 5/8" (8'-0" LONG) GALVANIZED STEEL GROUND RODS, 6'-0" APART.
- UNLESS NOTED OTHERWISE ALL BRANCH CIRCUIT WIRING SHALL BE TYPE NM CABLE ABOVE CEILINGS, BETWEEN ABOVE CEILINGS, BETWEEN FLOORS OR IN STUD WALL CAVITIES.
- SERVICE PANEL SHALL INCLUDE THE FOLLOWING NUMBER OF CIRCUITS:
  - ONE 15 AMPERE BRANCH CIRCUIT OF EACH 600 SQUARE FEET FOR LIGHTING AND GENERAL PURPOSE RECEPTACLES
  - TWO 20 AMPERE BRANCH CIRCUITS FOR SMALL APPLIANCES.
  - ONE 20 AMPERE BRANCH CIRCUIT FOR THE LAUNDRY.
  - ONE BRANCH CIRCUIT FOR THE RANGE OR COOKTOP.
  - ONE BRANCH CIRCUIT FOR AIR CONDITIONING AND HEATING.PROVIDE THE MAXIMUM AVAILABLE FAULT CURRENT.
- WIRING BELOW SLAB SHALL BE INSTALLED IN CONDUIT. CONDUIT SHALL BE RIGID GALVANIZED STEEL.
- PVC CONDUIT INSTALLED BELOW GRADE WITH NO HARD COVER SHALL BE PROTECTED WITH 2" MIN. CONCRETE COVERAGE ON ALL SIDES.
- ALL WIRING IN ATTIC SHALL BE LAID OUT NEATLY, SECURELY FASTENED TO STRUCTURE, AND SHALL NOT INTERFERE WITH FLOORING OF ATTIC OR ACCESS REQUIREMENTS FOR EQUIPMENT.
- CONNECTIONS TO FURNACES, CONDENSING UNITS AND OTHER MOTORS OR VIBRATING MACHINERY SHALL BE MADE WITH FLEXIBLE CONDUIT (LIQUID-TIGHT IF EXPOSED TO WEATHER) AND STRANDED WIRE, THHN/THWN.
- UNLESS NOTED OTHERWISE ALL LIGHT SWITCHES SHALL BE 44" (48" ACCESSIBLE) A.F.F.

| LOCATION         | HEIGHT               | LOCATION                          | HEIGHT           |
|------------------|----------------------|-----------------------------------|------------------|
| REG. WALL OUTLET | 15" (18" ACCESSIBLE) | BATH WALL OUTLET                  | 8" ABOVE COUNTER |
| KITCHEN WALL     | 42"                  | CLOSET HTG. UNITS & REFRIGERATORS | 36"              |

ELECTRICAL CONTRACTOR SHALL MARK ALL CIRCUITS FOR ELECTRICAL WIRING SYSTEM AT EACH MAIN DISCONNECT.
- ALL 3-WAY SWITCHES MUST HAVE 14/3 WITH GROUND.
- GROUND FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN ALL BATHROOMS, GARAGES AND OUTDOOR OUTLETS.
- GROUND FAULT RECEPTORS IN KITCHEN SHALL BE CIRCUITED SEPARATELY FROM ALL OTHER GFCI OUTLETS
- SMOKE DETECTORS SHALL BE WIRED TOGETHER AND TO THE A.C. POWER SYSTEM AND BATTERY BACKUP.
- ARC FAULT CIRCUIT INTERRUPTER BREAKERS SHALL BE INSTALLED IN ALL BEDROOMS OUTLETS, INCLUDING POWER SUPPLY TO SMOKE DETECTOR.

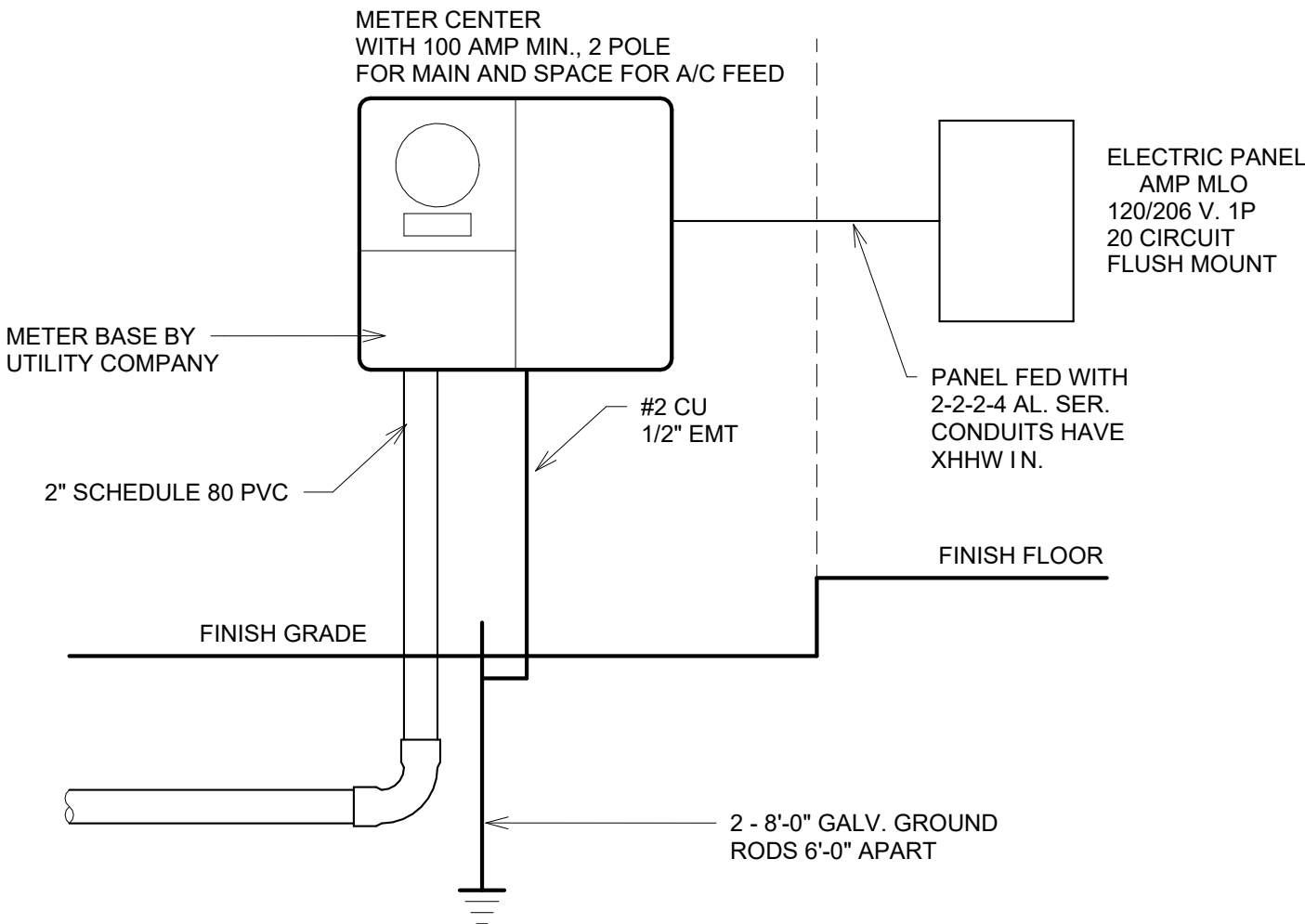
SERVICE SIZE GUIDE

| MINIMUM SERVICE SIZE<br>(ampere rating) | COLUMN 1 (Electric Heat)<br>HEATED AND COOLED AREA<br>(square feet) | COLUMN 2 *<br>HEATED AND COOLED AREA<br>(square feet) |
|---|---|---|
| 100                                     | 850   | 2,250   |
| 110                                     | 1,100   | 2,850   |
| 125                                     | 1,450   | 3,700   |
| 150                                     | 2,000   | 5,150   |
| 175                                     | 2,550   | 6,650   |
| 200                                     | 3,150   | 8,100   |
| 225                                     | 3,700   | 9,600   |

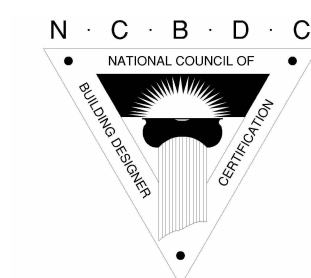
\* COLUMN 2 INCLUDES A CONSERVATIVE ESTIMATE FOR ELECTRIC COOLING LOAD.  
TABLE 1 WAS DEVELOPED USING THE OPTION METHOD AND USING THE FOLLOWING ASSUMPTIONS, THE ASSUMPTIONS MADE SHOULD PROVIDE AN APPROXIMATE ANSWER THAT WILL EQUAL OR EXCEED CODE MORE THAN 90% OF THE CASES.

- Cooling Load = 6 anps / 500 sq. ft.
- Electrical Heating Load = 22 amps / 500 sq. ft.
- Dryer - 5000 VA
- Laundry circuit = 1500 VA
- Two small appliance circuits at 1500 VA EACH
- Range Load = 8000 VA
- Water heater = 4500 VA
- 3 VA / sq. ft. for general lighting and receptacles
- a 40% demand factor is applied to all load except cooling and heating over first 10,000 VA
- Dwellings that are neither electrically cooled or heated shall have the service sized to include the potential cooling load in the future.

POWER RISER DIAGRAM



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Electrical

Project number 4246  
Date 09-14-2023  
Drawn by L McCombs  
Checked by U Pineda

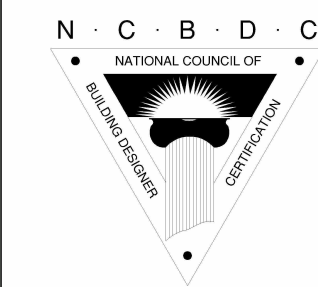
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Scale 1/4" = 1'-0"





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③ Rear Elevation Copy 1  
1/4" = 1'-0"

Rendered Elevations

|            |            |
|------------|------------|
| Project    | 4246       |
| Date       | 09-14-2023 |
| Drawn by   | L McCombs  |
| Checked by | U Pineda   |

9

Scale 1/4" = 1'-0"





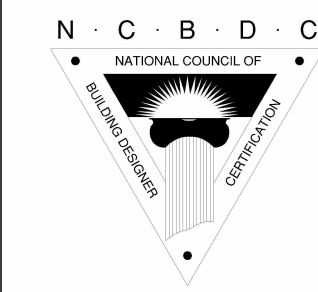
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② Right Elevation Copy 1  
1/4" = 1'-0"



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Rendered  
Elevations

|            |            |
|------------|------------|
| Project    | 4246       |
| Date       | 09-14-2023 |
| Drawn by   | L McCombs  |
| Checked by | U Pineda   |

10

Scale 1/4" = 1'-0"



## CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

### MEMORANDUM

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**TO:** Mayor & Board of Alderman

**FROM:** William Hall, Planning and Zoning Administrator

**DATE:** 09/18/2023

**SUBJECT:** Architectural Controls

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The discussion of architectural appeal came up during the August 22<sup>nd</sup>, 2023 meeting. Several concerns were voiced about the design of buildings and the ability of the board(s) to require building features such as roof top screening, specific regionally inspired architectural design, and other aesthetically pleasing features. The building department was tasked with further research into the extent of control either the Planning and Zoning Board or the Architectural Review Board would have in the influence of building design within the city limits.