



## PLANNING & ZONING COMMISSION MEETING

Tuesday, October 22, 2024 at 6:00 PM

---

### Agenda

1. **Call to Order**
2. **Opening Prayer and Pledge of Allegiance**
3. **Consideration and Approval of Minutes**
  - A) August 27, 2024 Planning And Zoning Meeting Minutes
4. **New Site Plan Considerations**
  - A) Discussion and Consideration of Surcee Designs Site Plan
  - B) Discussion and Consideration of Mac Haik Site Plan
5. **Request for Rezoning**
6. **New Business**
7. **Next Meeting**
  - A) The Next Planning And Zoning Meeting Will Be Held On November 26, 2024
8. **Adjourn**

**MINUTES OF THE REGULAR MEETING  
OF THE PLANNING AND ZONING COMMISSION  
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, August 27, 2024, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

Sam McGaugh (Chairman)  
Tim Slattery  
Phillips King (via phone)  
Andrew Duggar  
Katrina B. Myricks (via phone)  
Kayce Saik

Absent:

Melanie Greer (Vice-Chairwoman)

Also present:

Zachary L. Giddy, Attorney  
William Hall, City of Gluckstadt

Chairman Sam McGaugh called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Chairman McGaugh opened the meeting with prayer and led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**

A) July 23, 2024 Planning and Zoning Meeting Minutes

**4. New Site Plan Considerations**

- A) Discussion and Consideration of The Oaks Site Plan
- B) Discussion and Consideration of Sowell Road Liquor Store Conditional Use
- C) Discussion and Consideration of Bear Creek Water Conditional Use
- D) Discussion and Consideration of Wellspring Church Conditional Use

**5. Request for Rezoning**

- A) Discussion and Consideration of Application for Rezoning, Ferrous Processing and Trading Company, 082E-15-037/00.00 and 082E-15-038/00.00 (R-1 to I-2)

**6. New Business**

- A) Election of Officers

**7. Next Meeting**

- A) The Next Planning and Zoning Meeting Will Be Held on September 24, 2024.

**8. Adjourn**

The Board considered the Minutes of the July 23, 2024, regular meeting. Commissioner Andrew Duggar moved to approve the minutes presented as written. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present Commissioners. The Chairman declared the motion carried.

**Site Plan – The Oaks**

The Board next considered the site plan for The Oaks Residence Personal Care Assisted Living facility in a C-2 zoning district located on Calhoun Station Parkway in the City of Gluckstadt and identified by Tax Parcel No. 082B-09-002/04.00. The Board was advised that everything has been submitted, including drainage plan and civil engineering plan. On motion by Commissioner Andrew Duggar and seconded by Commissioner Kayce Saik, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan as submitted. The Chairman declared the motion carried.

**Public Hearing for Application for  
Conditional Use Permit for Sowell Road Liquor Store**

The next matter of business brought for consideration is the Application for Conditional Use Permit request by Sowell Rd Shell, LLC for property located at the intersection of Sowell Road and Highway 51 in the City of Gluckstadt and identified by Tax Parcel No. 082F-14-019/01.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a retail liquor store on the subject property.

Daniel Woolridge, architect, received previous site plan approval. The hours of operation will be Monday through Saturday, 10:00 a.m. to 10:00 p.m. and closed on Sunday. The liquor store will be 3,100 sq. ft. and will have a main entrance on Highway 51.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Phillips King and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a retail liquor store on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for  
Conditional Use Permit for Bear Creek Water Association**

The next matter of business brought for consideration is the Application for Conditional Use Permit request by Bear Creek Water Association for property located at 586 Church Road in the City of Gluckstadt and identified by Tax Parcel No. 082E-22-010/02.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a public/quasi-public facility on the subject property.

Tim Getty, architect, stated building plans are still being developed and seeking approval prior to having drainage and civil plans. The layout will be similar to the existing facility.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Tim Slattery, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a public/quasi-public facility on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.



**Public Hearing for Application for  
Conditional Use Permit for Wellspring Methodist Church**

The next matter of business brought for consideration is the Application for Conditional Use Permit request by Wellspring Methodist Church for property located at 418 Business Park Drive in the City of Gluckstadt and identified by Tax Parcel No. 082E-21-024/00.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall advised the Board of the nature of the use and noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a church on the subject property.

Will Johnson, board member for Wellspring Methodist Church, appeared and spoke on behalf of the application. Mr. Johnson stated the build out is currently ongoing and plans have not changed from previously approved plans.

Opposition was given an opportunity to respond, but there was no opposition present.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Tim Slattery and seconded by Commissioner Kayce Saik, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a church on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

**Public Hearing for Application for Rezoning  
for Ferrous Processing and Trading Company**

The next matter of business brought for consideration is the Application for Rezoning for Ferrous Processing and Trading Company for property located east of the railroad track and west of Highway 51 in the City of Gluckstadt and identified as Tax Parcel Nos. 082E-15-037/00.00 and 082E-15-038/00.00. The subject property is presently zoned R-1 Single Family Residential Estate District and applicant is seeking to rezone the subject property to I-2 Heavy Industrial District. William Hall presented the application and advised the Board that notice posting and publication requirements were met. Mr. Hall further stated that he did receive feedback, but all was neutral. The subject property is owned by MMC Materials, Inc. and is part of a larger parcel all being owned by MMC, the entirety of which has been used as a concrete plant for 20 plus years. The applicant desires to purchase the entirety of the MMC property and plans to use the property as a metal materials recycling facility.

Andy Clark attorney for Petitioner, appeared on behalf of the petition to rezone from R-1 to I-2. Mr. Clark stated the proposed use will be a metal compacting and recycling plant for commercial use only. The project will be built in phases. Mr. Clark stated some noise will be generated, but in other jurisdictions decibels are below ordinances in those areas. He further

stated that the access road will be addressed at the site plan phase and roughly 10 trucks per day will access the site by a road built by MMC.

Board members questioned if the use is dependent on railroad spurt? Has approval and/or agreement been reached with railroad

Opposition was given an opportunity to respond.

Marc Brand appeared and spoke on behalf of Devinney Equipment in opposition to the petition and stated they have concerns with debris and dust from vehicles on equipment.

Bruce Devinney, President of Devinney Equipment, appeared and spoke in opposition stating that the dust has been an issue with the previous owner and an agreement to pave the road has alleviated that concern

There was no one present in support other than the Petitioner.

Chairman Sam McGaugh closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Tim Slattery, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the rezoning to rezone the subject property from R-1 Single-Family Residential Estate District to I-2 Heavy Industrial District, finding that there was a both a change in character of the neighborhood and a public need. The Chairman declared the motion carried.

**OLD BUSINESS**

None.

**NEW BUSINESS**

The next matter of business was the election of new officers. On motion by Commissioner Kayce Saik and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to re-elect Sam McGaugh Chair of the Gluckstadt Planning & Zoning Commission. The Chairman declared the motion carried.

There was no further business to be presented.

**ADJOURN**

Commissioner Tim Slattery moved that the meeting be adjourned. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present

Commissioners. The Chairman declared the Motion carried.

**WITNESS OUR HANDS**, this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
SAM McGAUGH, Chairman

\_\_\_\_\_  
MELANIE GREER, Vice Chairman/Secretary

**City of Gluckstadt**

**Application for Site Plan Review**

**Subject Property Address:** 109 Aulenbrock Drive, Canton, MS 39046

**Parcel #:** 082H-27 -023/04.00

**Owner:** Kyler Moppert

**Applicant:** Peoples Construction

**Address:** \_\_\_\_\_  
\_\_\_\_\_

**Address:** 3913 Underwood Drive  
Flowood, Ms 39232

**Phone #:** \_\_\_\_\_

**Phone #:** 601-932-1111

**E-Mail:** kmoppert@surceedesigns.com

**E-Mail:** alex@peoplesconstruction.com

**Current Zoning District:** C-2

**Acreage of Property (If applicable):** 3.78 Acre

**Use sought of Property:** C-2 - Hat Design/production Shop

*2024-164*

**Requirements of Applicant:**

- 1. Copy of written legal description.
- 2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
- 3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

*Template  
45  
Site Plan  
Review*

*Fee code  
ZOB*

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

**Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.**

**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

  
 \_\_\_\_\_  
**Applicant Signature**

9/27/2024  
 \_\_\_\_\_  
**Date**

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**

**OFFICE USE ONLY**

**Date Received:** 9.30.2024

**Application Complete & Approved to Submit to P&Z Board (please check):**

Yes \_\_\_\_\_ No \_\_\_\_\_

**Signature:** \_\_\_\_\_  
**Planning & Zoning Administrator (or Authorized Representative)**



# SURCEE DESIGNS

## A PROPOSED COMMERCIAL SITE DEVELOPMENT

109 AULENBROCK DR.  
GLUCKSTADT, MS 39046

**DEAN**  
ENGINEERING SOLUTIONS INC.  
4780 I-55 NORTH, SUITE 100-4,  
601-557-2002 WWW.DEANESI.COM  
Copyright © DEAN ENGINEERING SOLUTIONS INC. THIS DOCUMENT IS THE  
PROPERTY OF DEAN ENGINEERING SOLUTIONS INC. NO REPRODUCTION OR  
REPRODUCTION OF THIS DOCUMENT OR PORTION THEREOF WITHOUT THE  
WRITTEN PERMISSION OF DEAN ENGINEERING SOLUTIONS INC. WILL BE SUBJECT TO LEGAL ACTION.

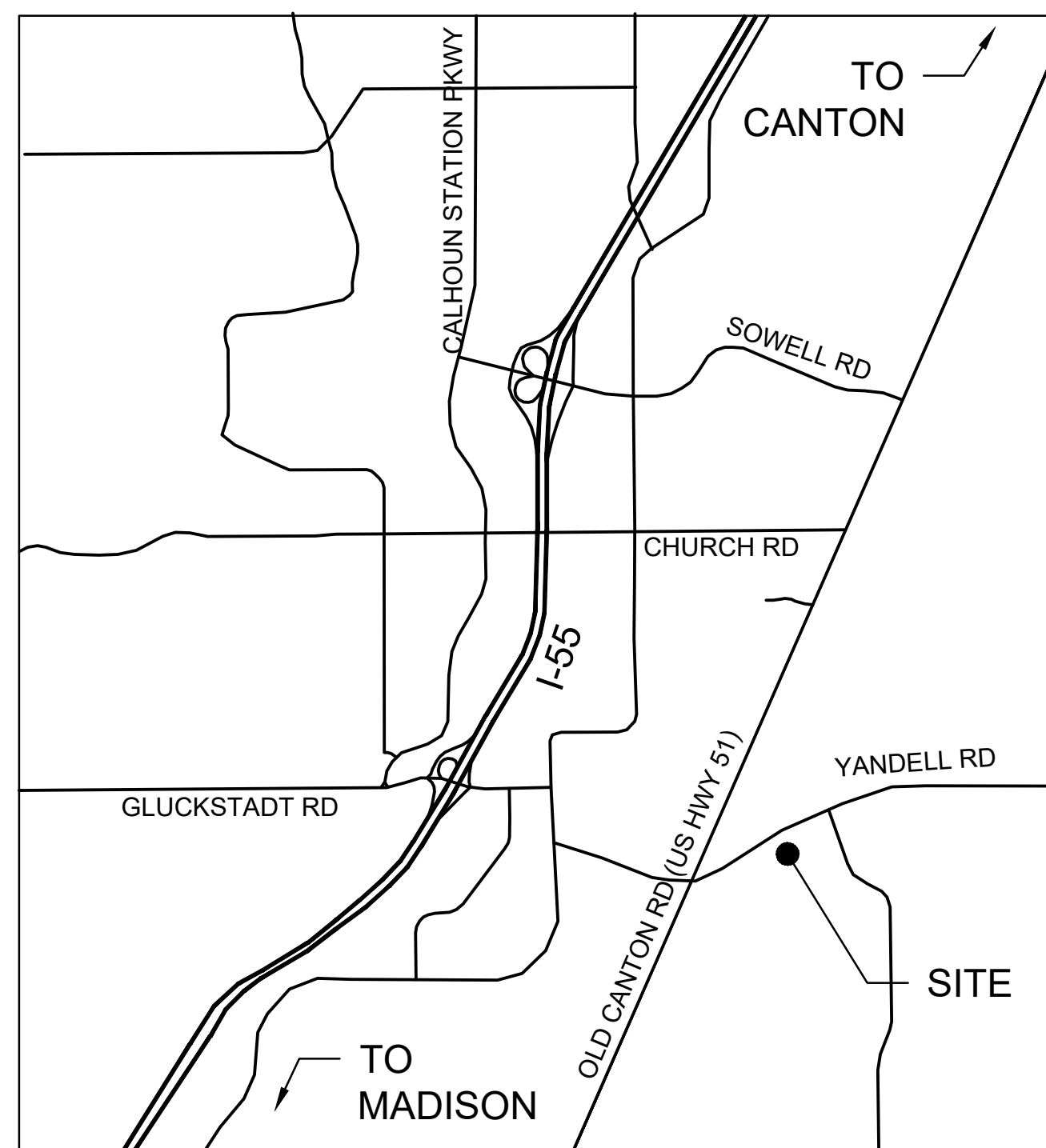


#	Description	Date
1	PLANS SUBMITTED FOR REVIEW	9.25.24

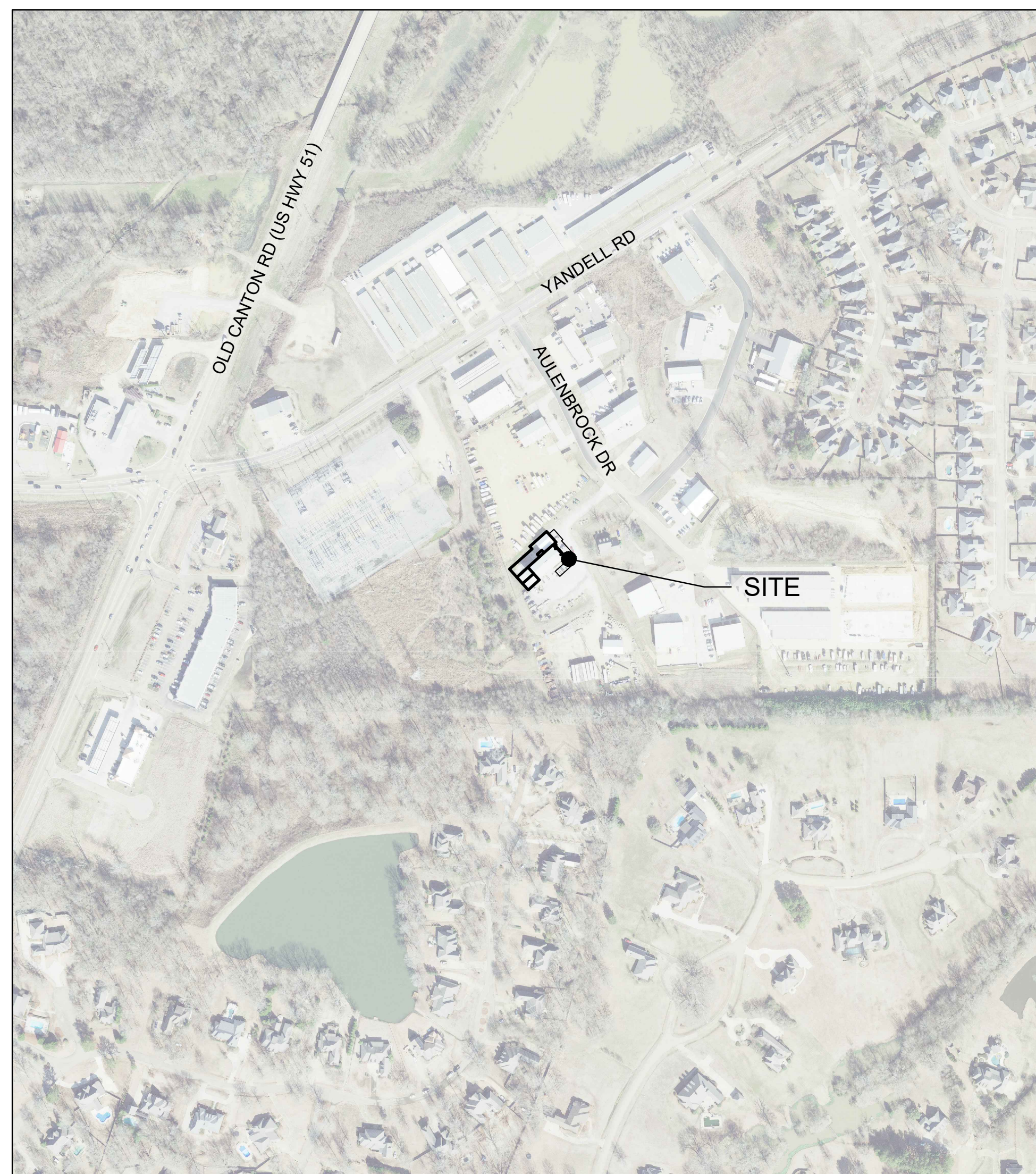
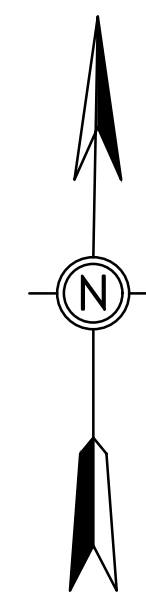
OWNER:  
**SURCEE DESIGNS**  
109 AULENBROCK DR  
CANTON, MS 39046

PROJECT TITLE: SURCEE DESIGNS ADDITION  
SHEET TITLE:  
**COVER**  
SITE DEVELOPMENT

DATE: 00 JAN 2024  
SCALE: AS SHOWN  
DRAWN BY: WSD  
REVIEWED BY: WSD  
SHEET NUMBER:  
**C1.0**



CITY LOCATION



STREET LOCATION

### TABLE OF CONTENTS

- C1.0 COVER
- C2.0 EXISTING CONDITIONS & DEMO PLAN
- C3.0 SITE PLAN
- C4.0 UTILITY PLAN
- C5.0 GRADING PLAN
- C6.0 EROSION CONTROL PLAN (SWPPP)
- C7.0 SITE DETAILS



STATE LOCATION



Know what's below  
Call before you dig



**DEAN**  
ENGINEERING SOLUTIONS INC.  
4780 I-55 NORTH, SUITE 100-4,  
CANTON, MISSISSIPPI 39046  
601-557-2002 WWW.DEANESI.COM  
COPYRIGHT © DEAN ENGINEERING SOLUTIONS INC. THIS DOCUMENT IS THE  
REPRODUCTION OF THE ORIGINAL OR REPRODUCTION WITHOUT THE PERMISSION  
OF DEAN ENGINEERING SOLUTIONS INC. WILL BE SUBJECT TO LEGAL ACTION.

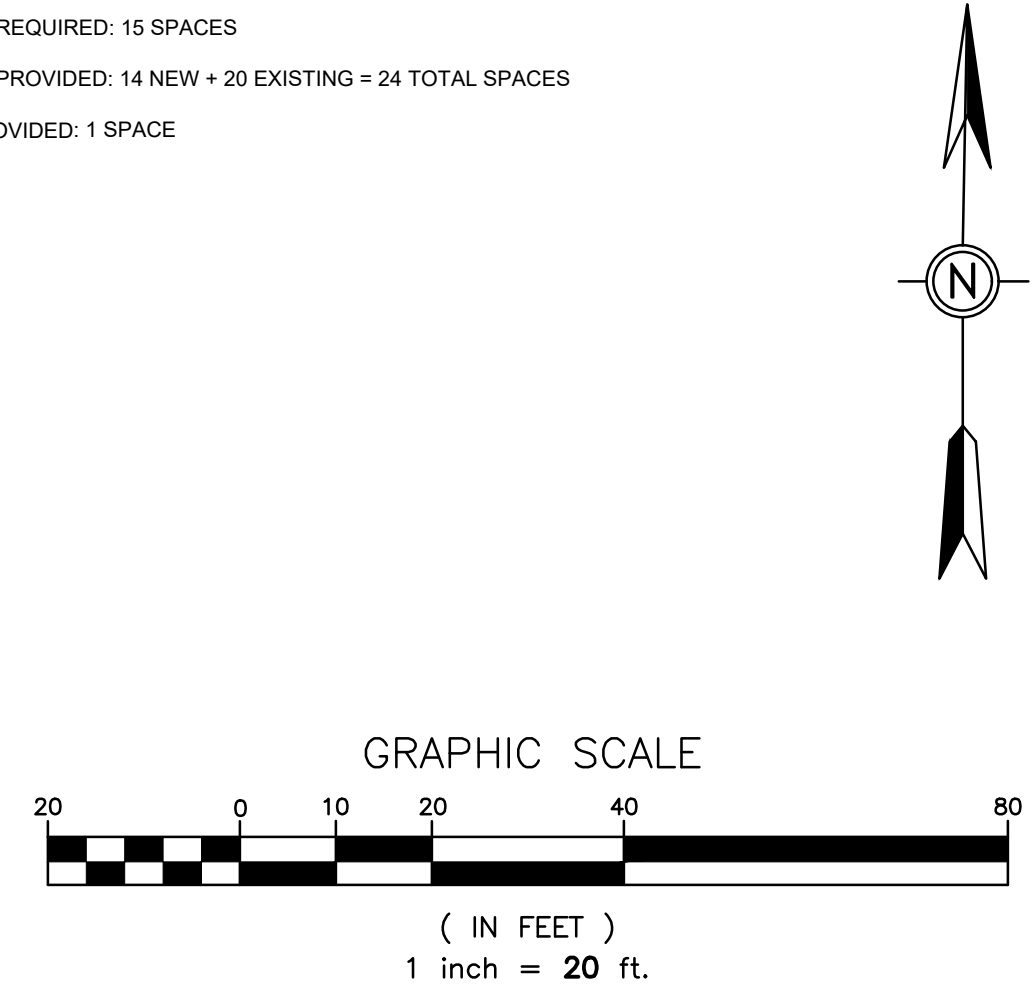
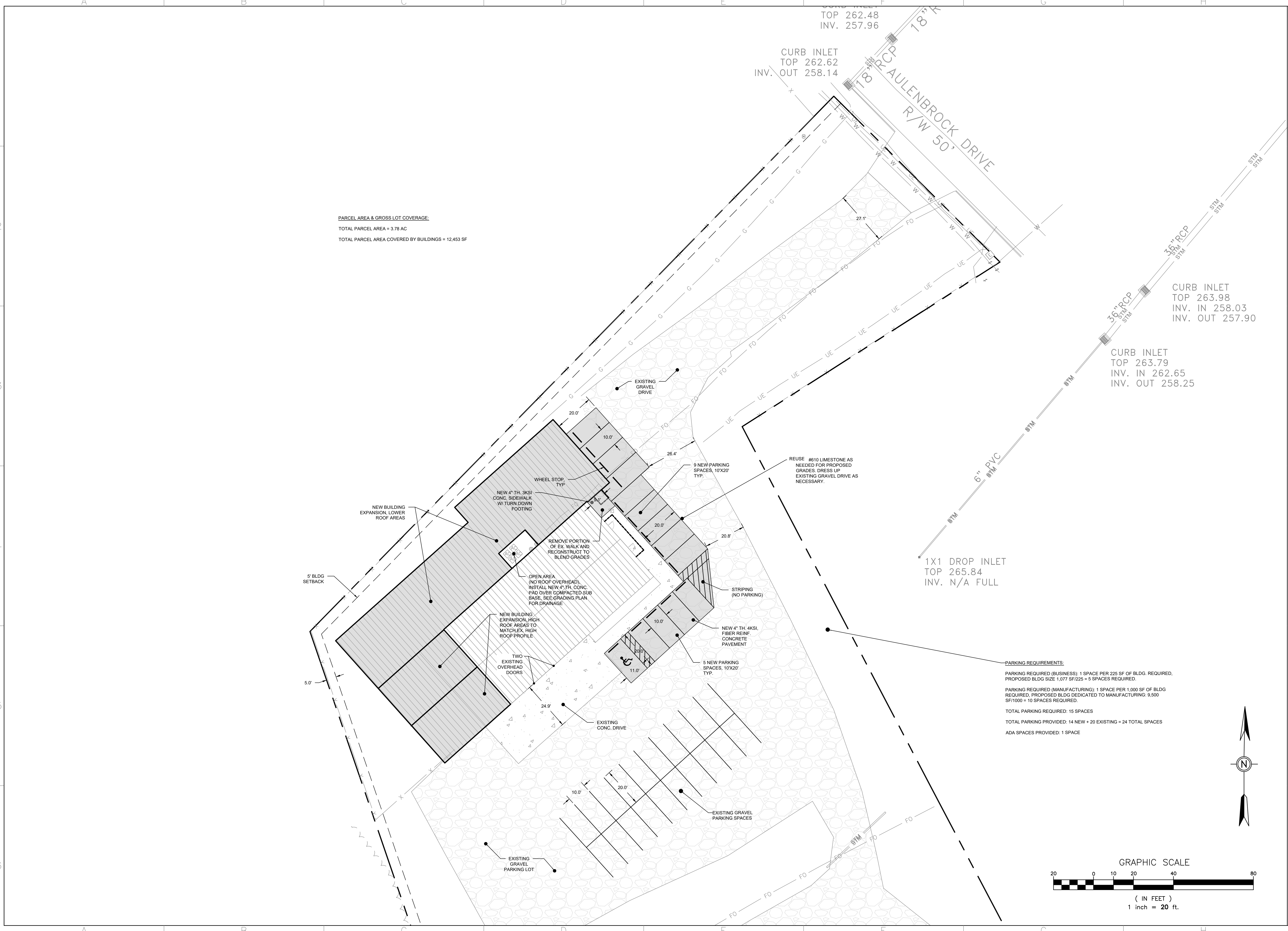


#	Date	Description
1	9.25.24	PLANS SUBMITTED FOR REVIEW

OWNER:  
**SURCEE DESIGNS**  
109 AULENBROCK DR  
CANTON, MS 39046

PROJECT TITLE: SURCEE DESIGNS ADDITION  
SHEET TITLE:  
**SITE PLAN**  
SITE DEVELOPMENT

DATE: 00 JAN 2024  
SCALE: AS SHOWN  
DRAWN BY: WSD  
REVIEWED BY: WSD  
SHEET NUMBER:  
**C3.0**





#	Date	Description
1	9.25.24	PLANS SUBMITTED FOR REVIEW

OWNER:  
**SURCEE DESIGNS**  
109 AULENBROCK DR  
CANTON, MS 39046

PROJECT TITLE: SURCEE DESIGNS ADDITION  
SHEET TITLE:  
**UTILITY PLAN**  
SITE DEVELOPMENT

DATE: 00 JAN 2024  
SCALE: AS SHOWN  
DRAWN BY: WSD  
REVIEWED BY: WSD  
SHEET NUMBER:  
**C4.0**



**PROFILE NOTES:**  
SOLID LINE=PROPOSED GRADE,  
DASHED LINE=EXISTING GROUND.  
SCALE: 1"=20' HORIZONTAL,  
VERTICAL EXAGGERATION=5X

**UTILITY PLAN NOTES**

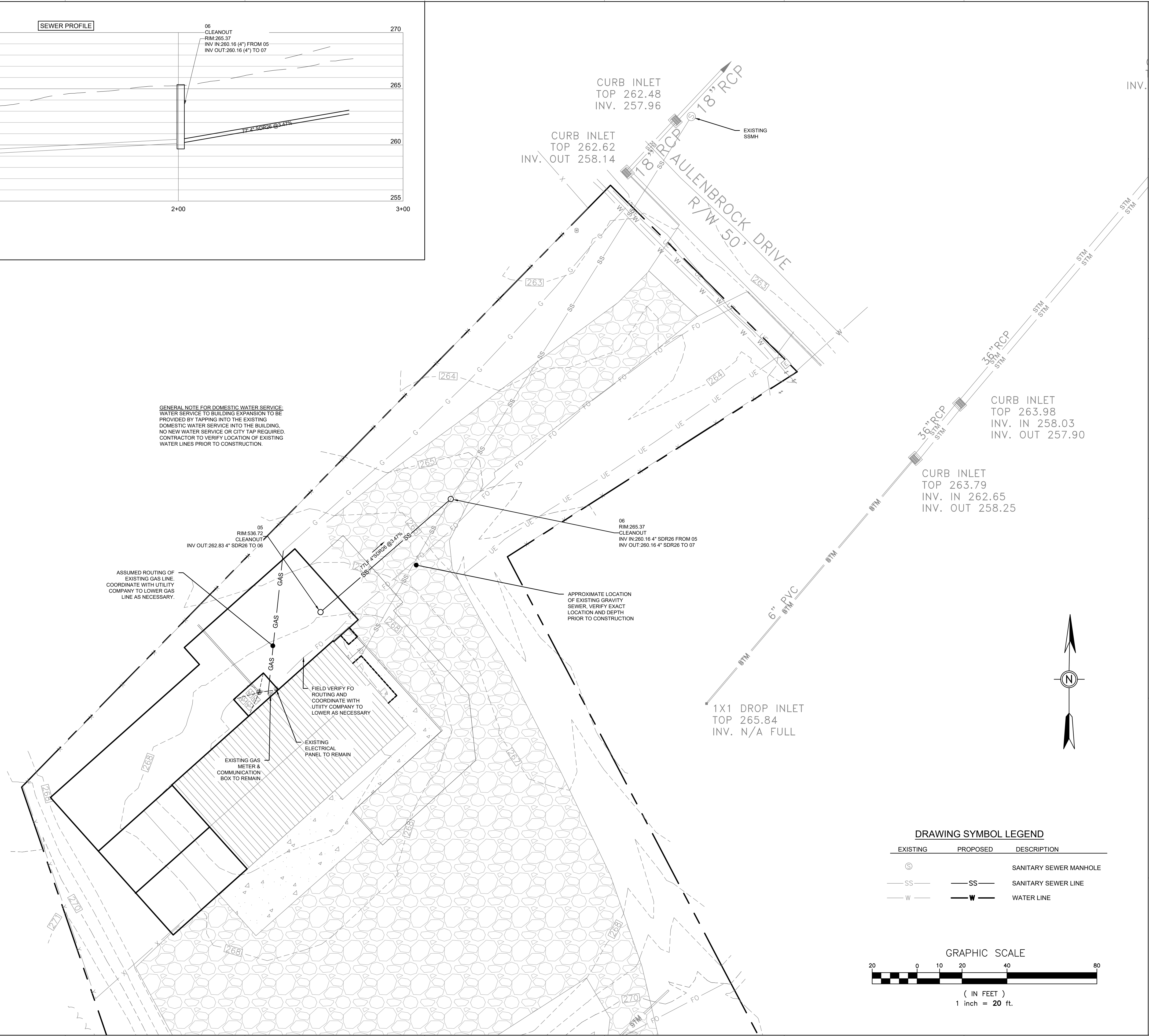
- LOCAL MUNICIPALITY STANDARDS:** ALL NEW WATER & SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND OR UTILITY PROVIDER (BEAR CREEK) THAT SERVES WATER AND SEWER TO THE SITE. CONTRACTOR SHALL CONFIRM LOCAL STANDARDS PRIOR TO CONSTRUCTION.
  - INSPECTIONS:** CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY PROVIDER (BEAR CREEK) TO INSPECT ALL NEW WATER AND SEWER MAINS, CONNECTION AND ACCESSORIES PRIOR TO PLACEMENT OF BACKFILL.
  - UTILITY LOCATIONS:** CONTRACTOR SHALL HAVE MISSISSIPPI ONE CALL (811 OR 800-227-6477) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. ALL NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER PRIOR TO CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED.
  - MEP COORDINATION:** THIS PLAN SHOWS NEW WATER & SEWER SERVICES FOR THE SITE UP TO 5' FROM THE BUILDING. REFER TO MECHANICAL, ELECTRICAL, PLUMBING (MEP) PLANS FOR CONTINUATION INTO BUILDING, INCLUDING FIRE DEPARTMENT CONNECTION AND BACK FLOW PREVENTOR REQUIREMENTS FOR ALL WATER LINES AS NEEDED.
  - WATER LINE THRUST RESTRAINTS:** ALL NEW WATER LINES SHALL HAVE THRUST RESTRAINTS (CONCRETE BLOCKING/RESTRAINT MECHANISMS) AT ALL BENDS, TEES, FITTINGS ETC. SEE DETAILS FOR ADDITIONAL REQUIREMENTS. MEGA-LUG RESTRAINT JOINTS MAY ALSO BE USED WITH PRIOR SUBMITTAL APPROVAL BY ENGR.
  - SEWER CLEANOUTS:** SEE MEP PLANS FOR LOCATION AND ELEVATIONS OF SEWER OUT OF BUILDING. COORDINATE SEWER OUT OF BUILDING WITH CLEANOUTS TO MAIN. INSTALL CLEANOUT TOPS FLUSH WITH ADJACENT PAVEMENT SURFACE.
  - MINIMUM UTILITY SEPARATION DISTANCES:**  
SANITARY SEWER MAINS AND STORM SEWER - 24" VERTICAL  
SANITARY SEWER MAINS AND WATER - 10" HORIZONTAL OR 18" VERTICAL  
STORM SEWER AND WATER - 18" VERTICAL
- IF MINIMUM VERTICAL SEPARATIONS CAN NOT BE ACHIEVED AT UTILITY & STORM DRAIN CROSSING, USE DIP MATERIALS AND INSTALL CONCRETE CRADLE WITH 6" MIN. CLEARANCE.

**GENERAL NOTE FOR DOMESTIC WATER SERVICE:**  
WATER SERVICE TO BUILDING EXPANSION TO BE PROVIDED BY TAPPING INTO THE EXISTING DOMESTIC WATER SERVICE INTO THE BUILDING. NO NEW WATER SERVICE OR CITY TAP REQUIRED. CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER LINES PRIOR TO CONSTRUCTION.

ASSUMED ROUTING OF EXISTING GAS LINE. COORDINATE WITH UTILITY COMPANY TO LOWER GAS LINE AS NECESSARY.

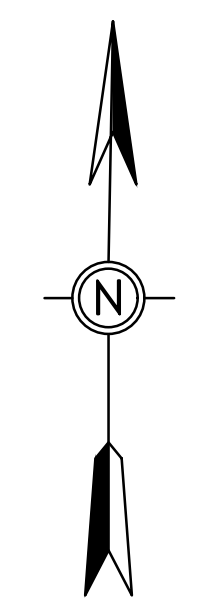
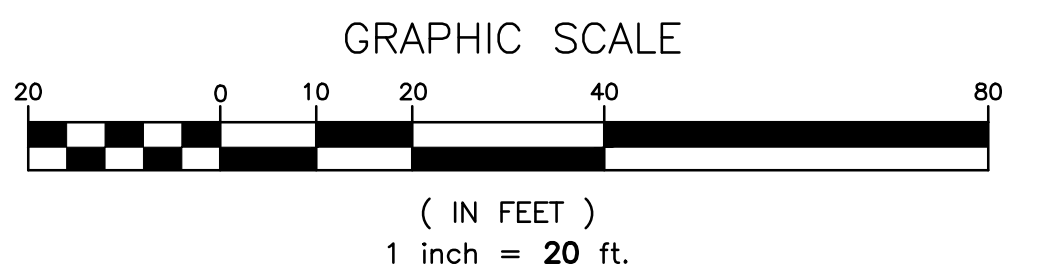
FIELD VERIFY FO ROUTING AND COORDINATE WITH UTILITY COMPANY TO LOWER AS NECESSARY

APPROXIMATE LOCATION OF EXISTING GRAVITY SEWER, VERIFY EXACT LOCATION AND DEPTH PRIOR TO CONSTRUCTION



**DRAWING SYMBOL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
(S)	(S)	SANITARY SEWER MANHOLE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE





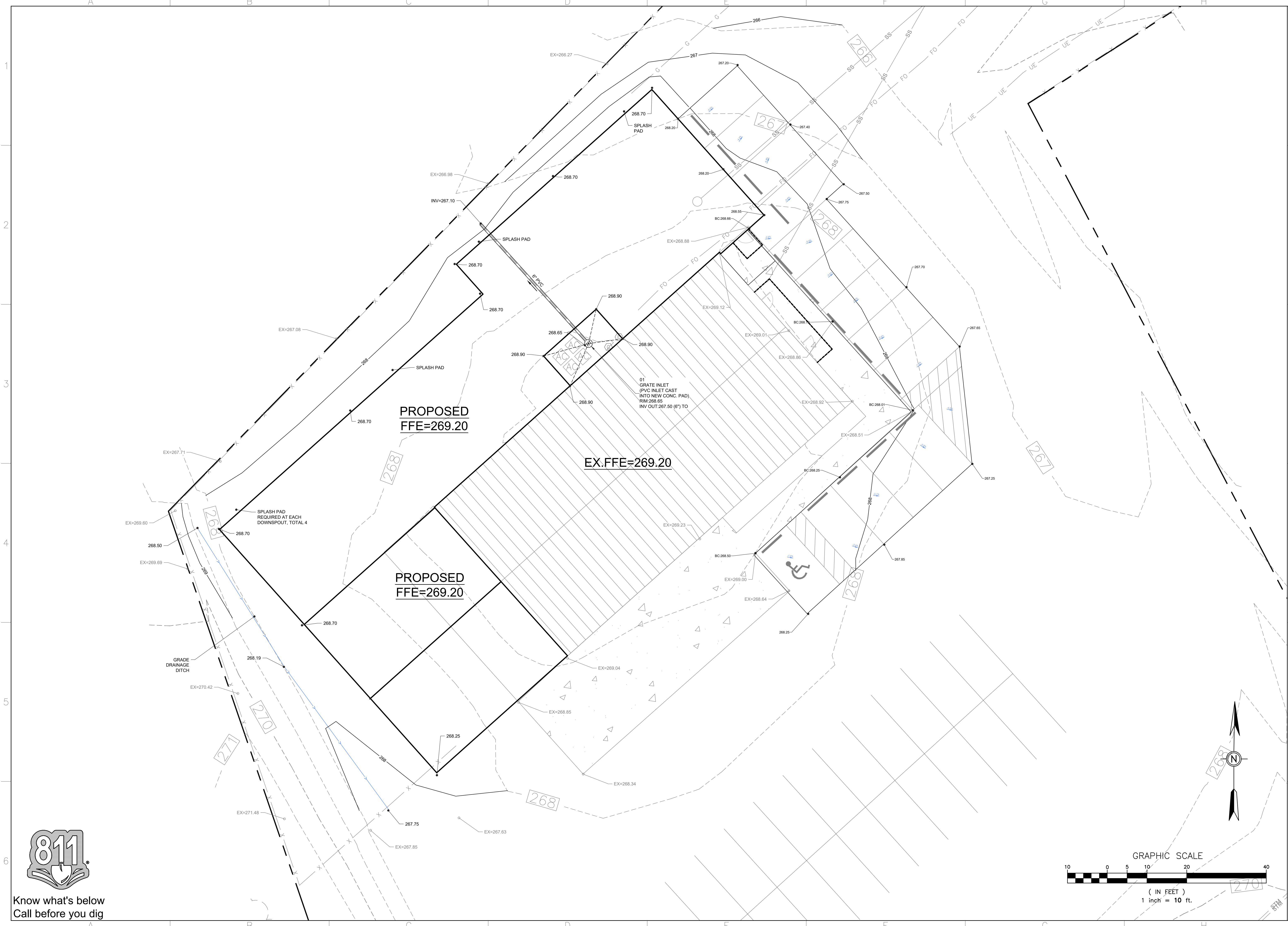


#	Description	Date
1	PLANS SUBMITTED FOR REVIEW	9.25.24

OWNER:  
**SURCEE DESIGNS**  
 109 AULENBROCK DR  
 CANTON, MS 39046

PROJECT TITLE: SURCEE DESIGNS ADDITION  
 SHEET TITLE:  
**GRADING PLAN**  
 SITE DEVELOPMENT

DATE: 00 JAN 2024  
 SCALE: AS SHOWN  
 DRAWN BY: WSD  
 REVIEWED BY: WSD  
 SHEET NUMBER:  
**C5.0**

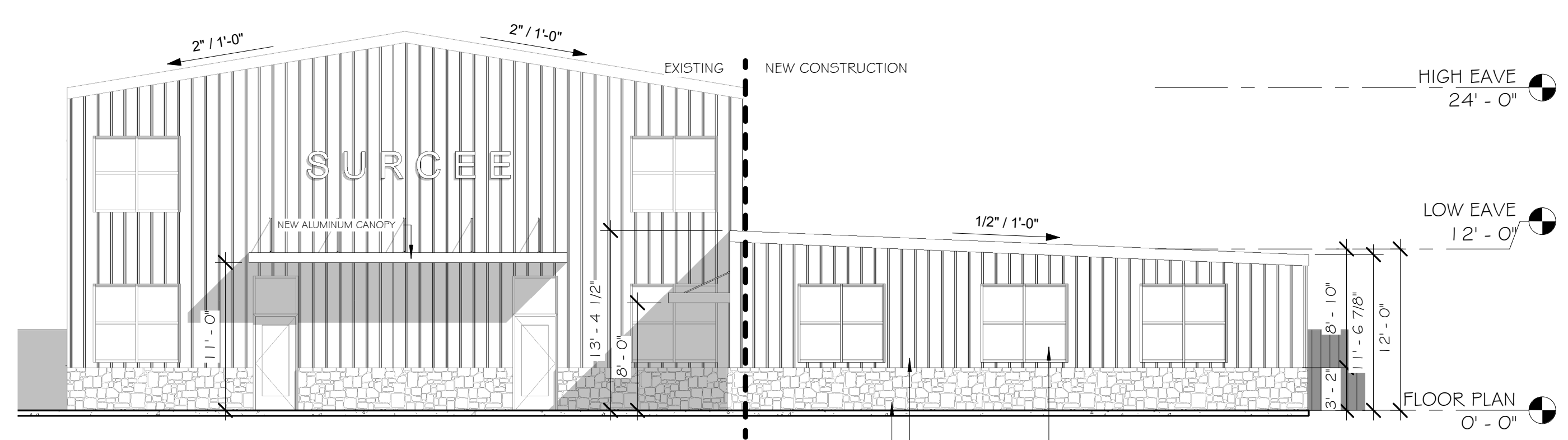


Know what's below  
 Call before you dig

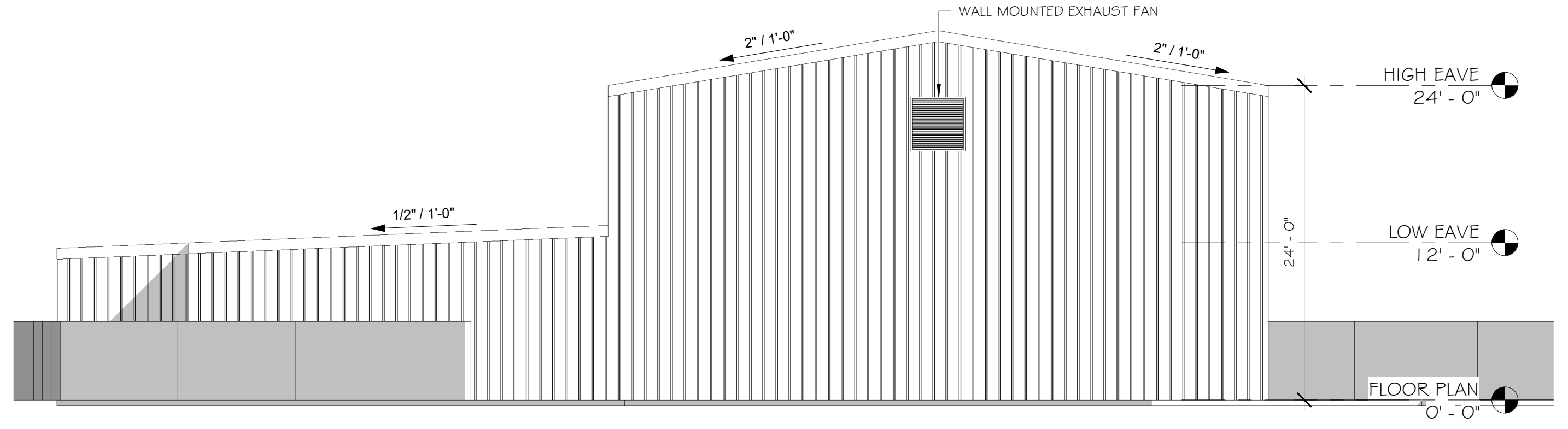




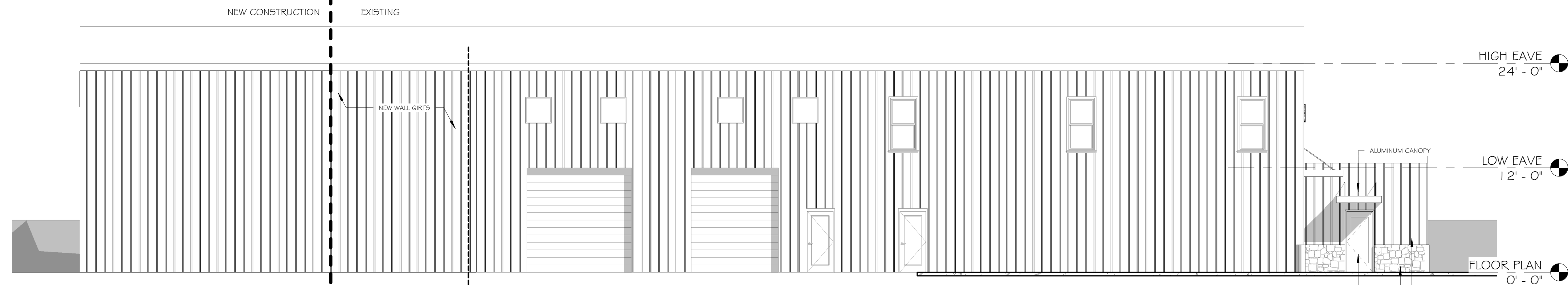
No.	Description	Date



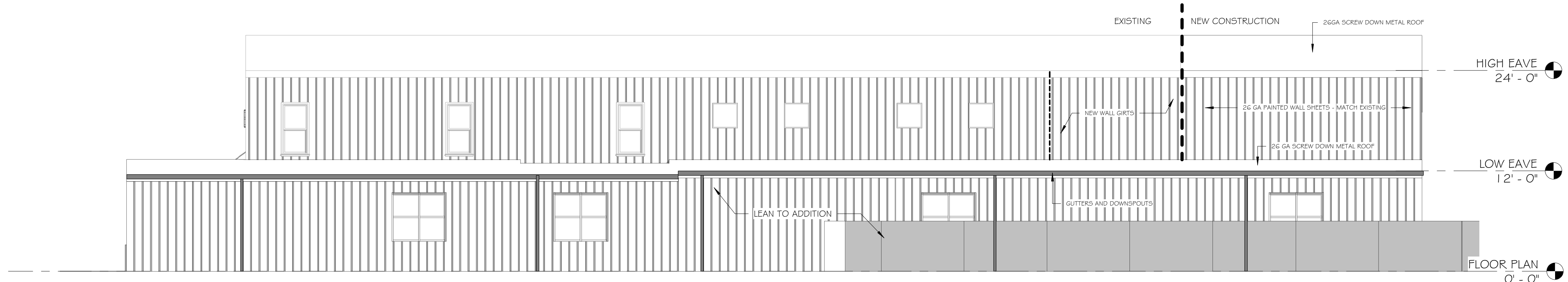
1 Elevation 1 - a  
 1/8" = 1'-0"



4 Elevation 4 - a  
 1/8" = 1'-0"



3 Elevation 3 - a  
 1/8" = 1'-0"



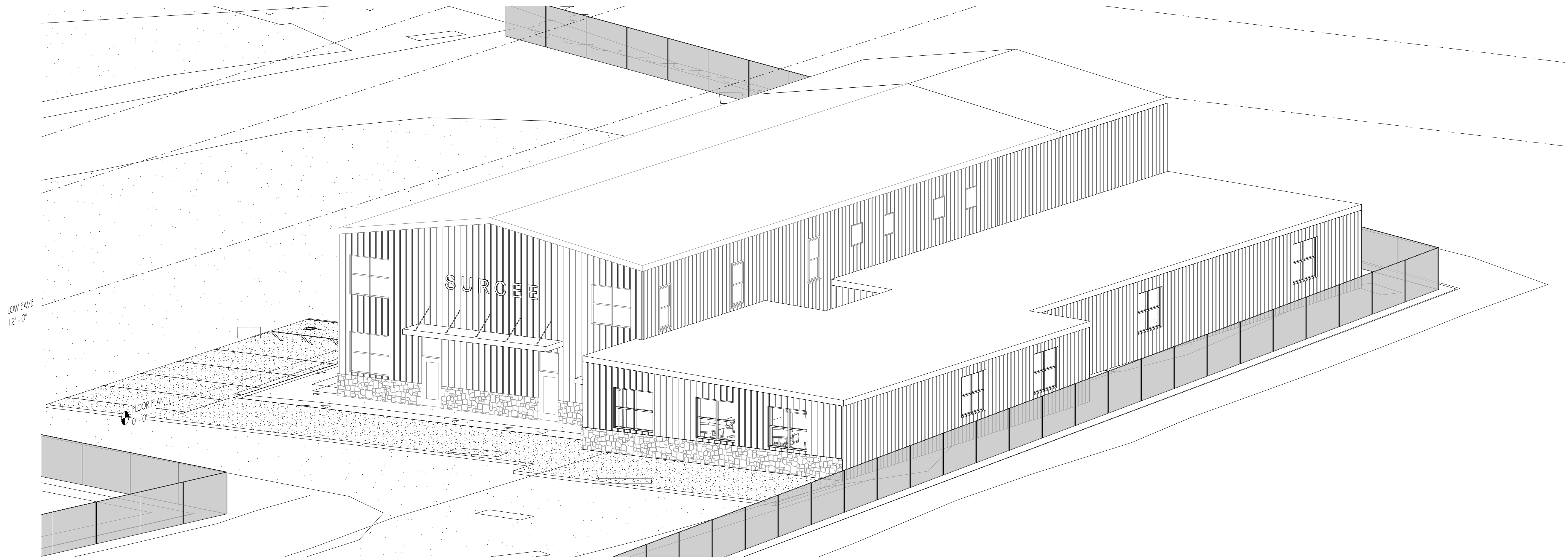
2 Elevation 2 - a  
 1/8" = 1'-0"



Project Title

**SURCEE DESIGN ADDITION**

PROJECT LOCATION



① 3D VIEW

Date

9/27/2024

Drawn By

AGR

Checked By

Checker

No.	Description	Date

Sheet Name

3D  
REFERENCE

Sheet Number

**A4**

50% SALES  
DRAWINGS

# Stormwater Impact Analysis

For

## Surcee Designs

A Proposed Commercial Site Development  
109 Aulenbrock Dr, Canton, MS 39046

Report Prepared by:

**Dean Engineering Solutions Inc.**



09-19-2024

Issue Dates  
19 Sep 2024

Description  
Submittal for Review

**Project Overview**

The existing site lies on a 3.78-acre tract of developed commercial land within the City of Gluckstadt along Aulenbrock Dr. The project will feature a small building and parking expansion along with new utility connections. No stormwater management structure is proposed because the improvements will reduce the existing impervious ground cover and have a slight reduction in peak stormwater discharge rate is illustrated in table 1 below.

**Existing Site Description:**

According to the USDA Natural Resource Conservation Service, Web Soil Survey Service mapping, the existing site soils are predominately Byram silt loam, which belong to USDA hydrologic soils group C.

According to FEMA FIRM Map #28089C0415F, effective March 17, 2010, the site lies within zone X (area of minimal flood hazard).

**Stormwater Management Requirements:**

The City of Gluckstadt requires peak stormwater discharge flows for all new development to be equal to or less than the pre-development condition for the 2-100 year storm events.

**Conclusion:**

The proposed stormwater detention design meets the City’s requirements, reducing stormwater flows below the existing development conditions for the 2-year, 5, 10, 25, 50 and 100-yr storm events as indicated in Table 1 below. See also the list attachments for detailed stormwater pre-vs-post flow results and other pertinent design parameters, inputs and results.

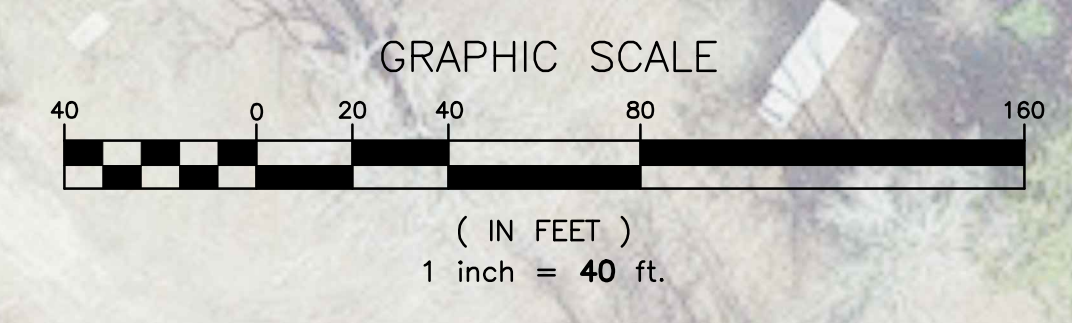
Table 1: Storm Routing Summary

Storm Event (year)	Pre-Developed peak flow (cfs)	Post-Dvlp. Peak flow (detained) (cfs)	Net Decrease
2	16.31	15.60	-0.71
5	22.74	22.07	-0.67
10	27.13	26.49	-0.64
25	31.09	30.49	-0.60
50	35.04	34.47	-0.57
100	39.77	39.22	-0.55

**List of Attachments:**

- Maps
  - DA1 – Pre-Development Drainage Map
  - DA2 – Post Development Drainage Map
  - Natural Resources Conservation Service Web Soil Survey
  - FEMA FIRMette Map
- Calculations
  - HydroCAD Pond Routing Report (2-100 year events)





**DEAN**  
ENGINEERING SOLUTIONS INC.  
4780 I-55 NORTH, SUITE 100-4,  
601-557-2002 WWW.DEANESI.COM  
Copyright © DEAN ENGINEERING SOLUTIONS INC. THIS DOCUMENT IS THE  
REPRODUCTION OF THE ORIGINAL OR REVISIONS WITHOUT PRIOR PERMISSION  
OF DEAN ENGINEERING SOLUTIONS INC. WILL BE SUBJECT TO LEGAL ACTION.

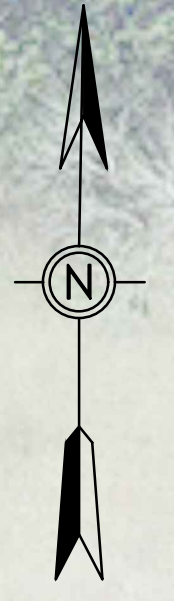


#	Description	Date
1	DRAWING ISSUED PLANS SUBMITTED FOR REVIEW	9.19.24

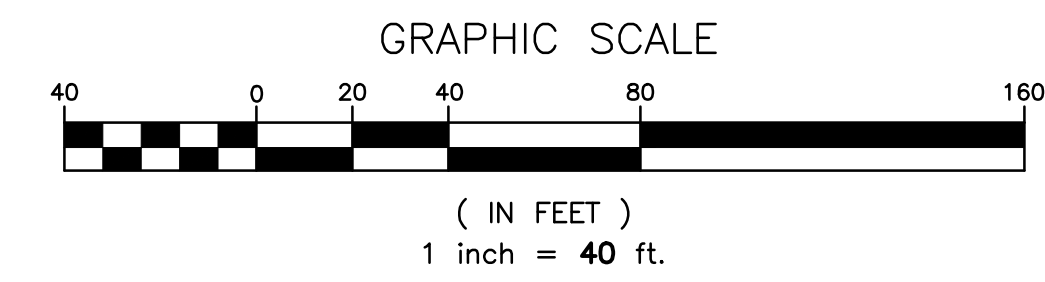
OWNER:  
**SURCEE DESIGNS**  
109 AULENBROCK DR  
CANTON, MS 39046

PROJECT TITLE: SURCEE DESIGNS ADDITION  
SHEET TITLE:  
**EXISTING CONDITIONS DRAINAGE MAP**  
SITE DEVELOPMENT

DATE: 00 JAN 2024  
SCALE: AS SHOWN  
DRAWN BY: WSD  
REVIEWED BY: WSD  
SHEET NUMBER:  
**DA1**







**DEAN**  
ENGINEERING SOLUTIONS INC.  
4780 I-55 NORTH, SUITE 100-4,  
CANTON, MISSISSIPPI 39046  
601-557-2002 WWW.DEANESI.COM



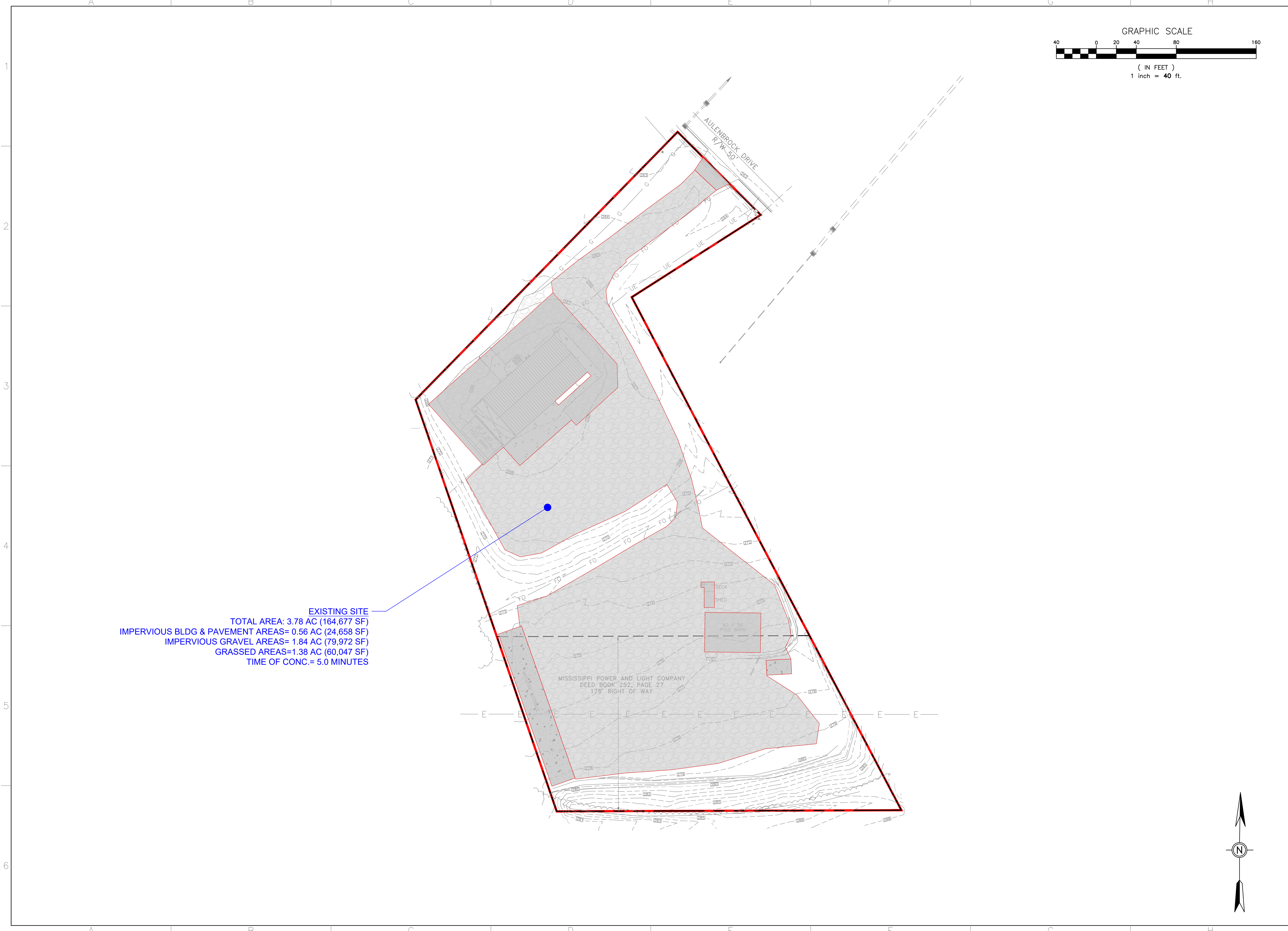
#	Description	Date
1	DRAWING ISSUED PLANS SUBMITTED FOR REVIEW	9.19.24

OWNER:  
**SURCEE DESIGNS**  
109 AULENBROCK DR  
CANTON, MS 39046

PROJECT TITLE: SURCEE DESIGNS ADDITION  
SHEET TITLE:  
**PROPOSED CONDITIONS DRAINAGE MAP**  
SITE DEVELOPMENT

DATE: 00 JAN 2024  
SCALE: AS SHOWN  
DRAWN BY: WSD  
REVIEWED BY: WSD

SHEET NUMBER:  
**DA2**

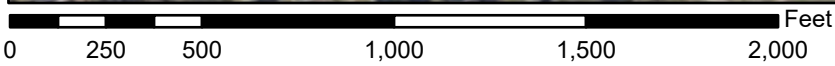
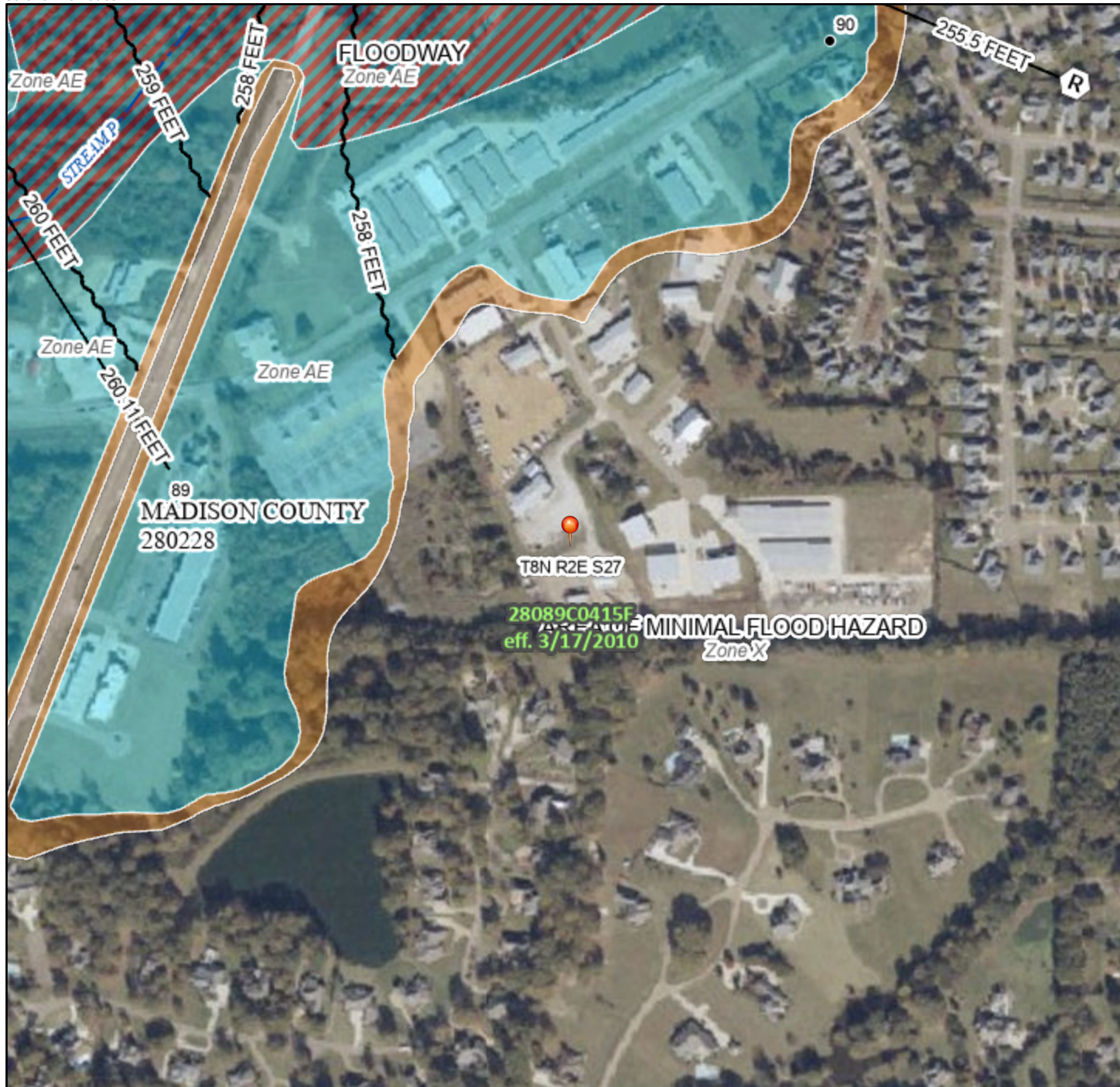




# National Flood Hazard Layer FIRMette



90°5'13"W 32°30'53"N



1:6,000

90°4'35"W 32°30'23"N

Basemap Imagery Source: USGS National Map 2023

## Legend

Section 4, Item A)

SEE FIS REPORT FOR DETAILED LEGEND AND INFORMATION

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Profile Baseline
	Hydrographic Feature	

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **8/22/2024 at 9:42 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifier, FIRM panel number, and FIRM effective date. Map in unmapped and unmodernized areas cannot be used for regulatory purposes.

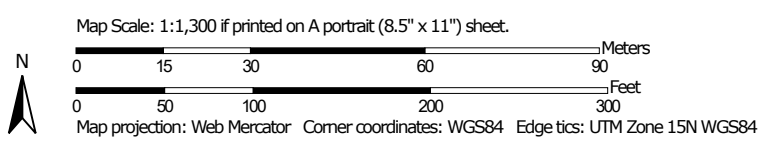


Soil Map—Madison County, Mississippi

Section 4, Item A)




Soil Map may not be valid at this scale.




### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)




















**Soils**







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

**Special Point Features**






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Madison County, Mississippi  
 Survey Area Data: Version 18, Sep 9, 2023

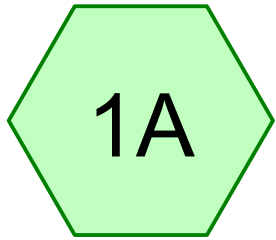
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 8, 2021—Nov 29, 2021

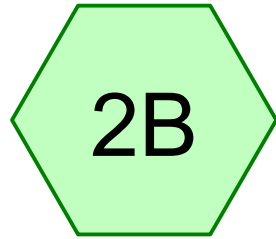
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

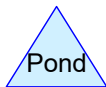
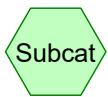
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BrB2	Byram silt loam, 2 to 5 percent slopes, eroded	3.9	88.8%
BrC2	Byram silt loam, 5 to 8 percent slopes, eroded	0.1	1.2%
Oa	Oaklimeter silt loam, 0 to 2 percent slopes, occasionally flooded, north	0.4	10.0%
<b>Totals for Area of Interest</b>		<b>4.4</b>	<b>100.0%</b>



Pre-Basin



Post-Basin



**Routing Diagram for AgUp Surcee**  
Prepared by {enter your company name here}, Printed 9/19/2024  
HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Printed 9/19/2024

Page 2

**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
1.370	79	50-75% Grass cover, Fair, HSG C (1A)
1.380	74	>75% Grass cover, Good, HSG C (2B)
3.860	96	Gravel surface, HSG C (1A, 2B)
0.950	98	Paved parking, HSG C (1A, 2B)
<b>7.560</b>	<b>89</b>	<b>TOTAL AREA</b>

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Printed 9/19/2024

Page 3

**Soil Listing (all nodes)**

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
7.560	HSG C	1A, 2B
0.000	HSG D	
0.000	Other	
<b>7.560</b>		<b>TOTAL AREA</b>

**AgUp Surcee**

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 4

**Ground Covers (all nodes)**

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	1.370	0.000	0.000	1.370	50-75% Grass cover, Fair	1A
0.000	0.000	1.380	0.000	0.000	1.380	>75% Grass cover, Good	2B
0.000	0.000	3.860	0.000	0.000	3.860	Gravel surface	1A, 2B
0.000	0.000	0.950	0.000	0.000	0.950	Paved parking	1A, 2B
<b>0.000</b>	<b>0.000</b>	<b>7.560</b>	<b>0.000</b>	<b>0.000</b>	<b>7.560</b>	<b>TOTAL AREA</b>	



**AgUp Surcee**

Type III 24-hr 2yr Rainfall=4.80"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 5

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1A: Pre-Basin**

Runoff Area=3.780 ac 10.32% Impervious Runoff Depth=3.68"  
Tc=5.0 min CN=90 Runoff=16.31 cfs 1.160 af

**Subcatchment 2B: Post-Basin**

Runoff Area=3.780 ac 14.81% Impervious Runoff Depth=3.48"  
Tc=5.0 min CN=88 Runoff=15.60 cfs 1.096 af

**Total Runoff Area = 7.560 ac Runoff Volume = 2.256 af Average Runoff Depth = 3.58"**  
**87.43% Pervious = 6.610 ac 12.57% Impervious = 0.950 ac**

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 2yr Rainfall=4.80"

Printed 9/19/2024

Page 6

**Summary for Subcatchment 1A: Pre-Basin**

Runoff = 16.31 cfs @ 12.07 hrs, Volume= 1.160 af, Depth= 3.68"

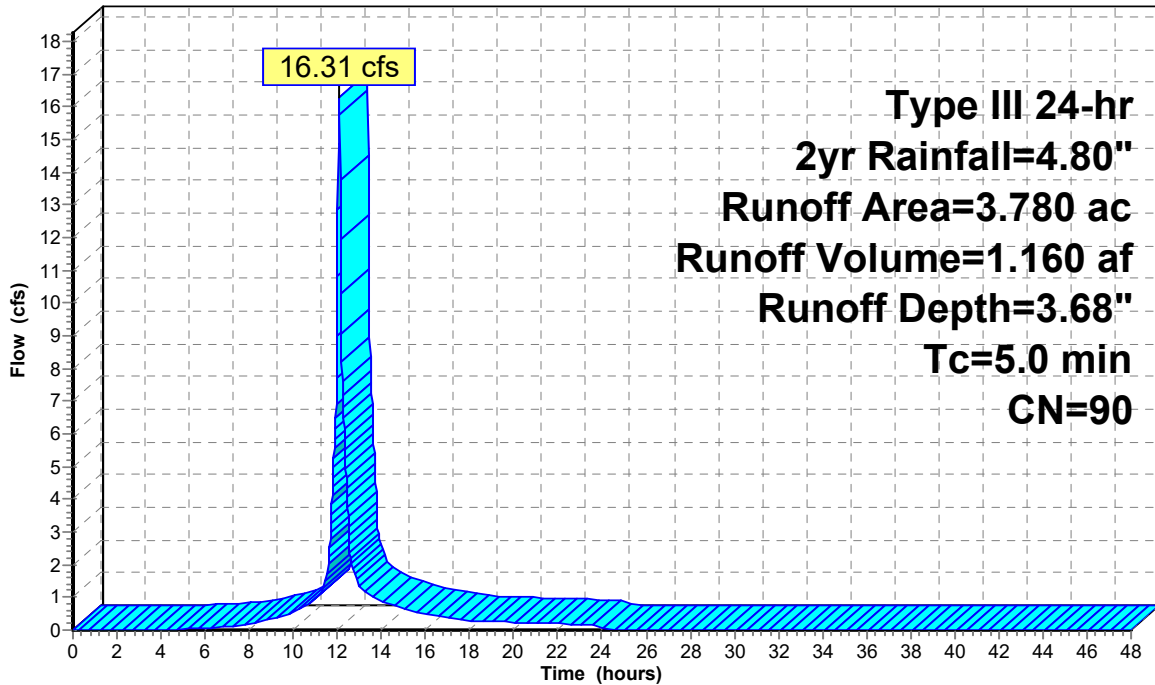
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 2yr Rainfall=4.80"

Area (ac)	CN	Description
0.390	98	Paved parking, HSG C
2.020	96	Gravel surface, HSG C
1.370	79	50-75% Grass cover, Fair, HSG C
3.780	90	Weighted Average
3.390		89.68% Pervious Area
0.390		10.32% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1A: Pre-Basin**

Hydrograph



Runoff

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 2yr Rainfall=4.80"

Printed 9/19/2024

Page 7

**Summary for Subcatchment 2B: Post-Basin**

Runoff = 15.60 cfs @ 12.07 hrs, Volume= 1.096 af, Depth= 3.48"

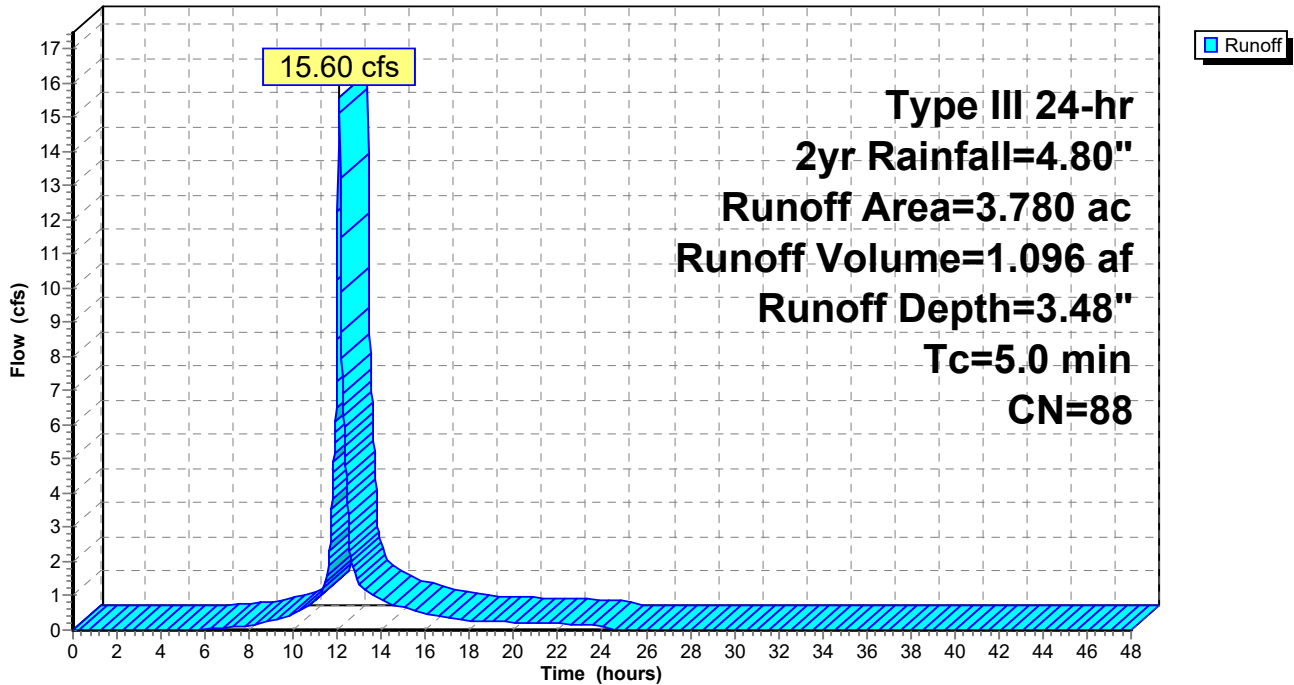
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 2yr Rainfall=4.80"

Area (ac)	CN	Description
0.560	98	Paved parking, HSG C
1.380	74	>75% Grass cover, Good, HSG C
1.840	96	Gravel surface, HSG C
3.780	88	Weighted Average
3.220		85.19% Pervious Area
0.560		14.81% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 2B: Post-Basin**

Hydrograph



**AgUp Surcee**

Type III 24-hr 5yr Rainfall=6.40"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 8

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1A: Pre-Basin**

Runoff Area=3.780 ac 10.32% Impervious Runoff Depth=5.24"  
Tc=5.0 min CN=90 Runoff=22.74 cfs 1.649 af

**Subcatchment 2B: Post-Basin**

Runoff Area=3.780 ac 14.81% Impervious Runoff Depth=5.01"  
Tc=5.0 min CN=88 Runoff=22.07 cfs 1.579 af

**Total Runoff Area = 7.560 ac Runoff Volume = 3.228 af Average Runoff Depth = 5.12"**  
**87.43% Pervious = 6.610 ac 12.57% Impervious = 0.950 ac**

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 5yr Rainfall=6.40"

Printed 9/19/2024

Page 9

**Summary for Subcatchment 1A: Pre-Basin**

Runoff = 22.74 cfs @ 12.07 hrs, Volume= 1.649 af, Depth= 5.24"

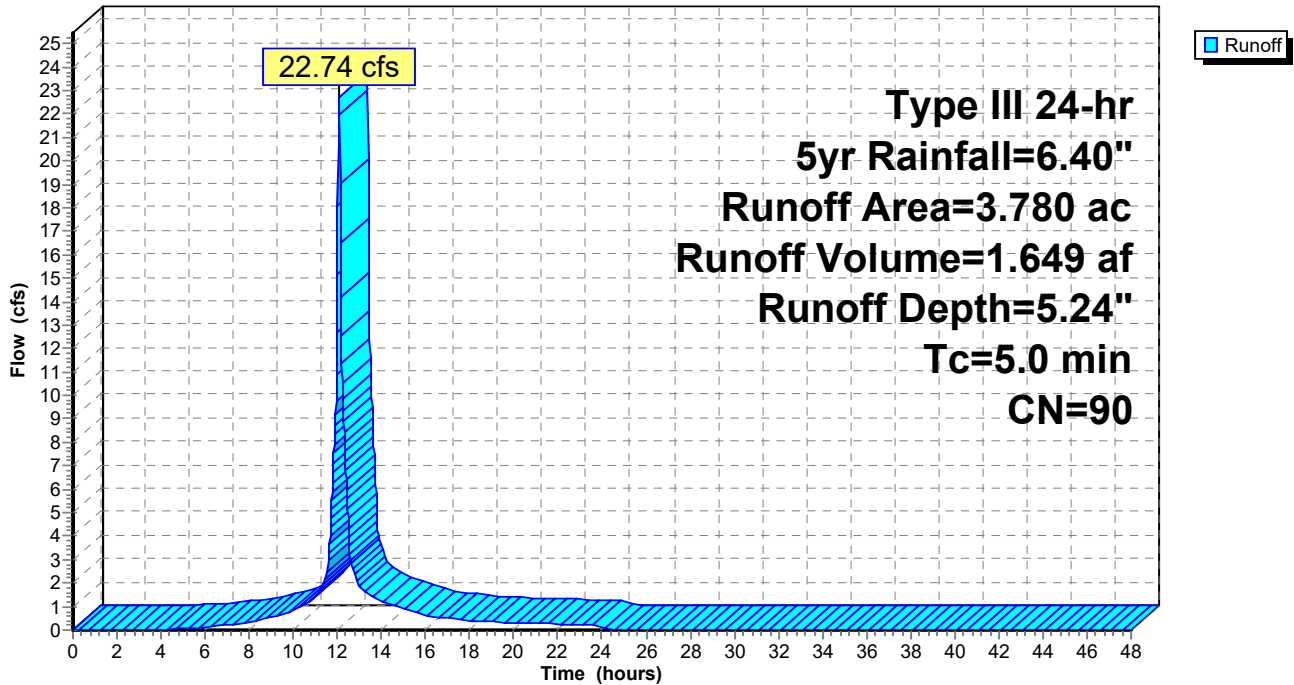
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 5yr Rainfall=6.40"

Area (ac)	CN	Description
0.390	98	Paved parking, HSG C
2.020	96	Gravel surface, HSG C
1.370	79	50-75% Grass cover, Fair, HSG C
3.780	90	Weighted Average
3.390		89.68% Pervious Area
0.390		10.32% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1A: Pre-Basin**

Hydrograph



**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 5yr Rainfall=6.40"

Printed 9/19/2024

Page 10

**Summary for Subcatchment 2B: Post-Basin**

Runoff = 22.07 cfs @ 12.07 hrs, Volume= 1.579 af, Depth= 5.01"

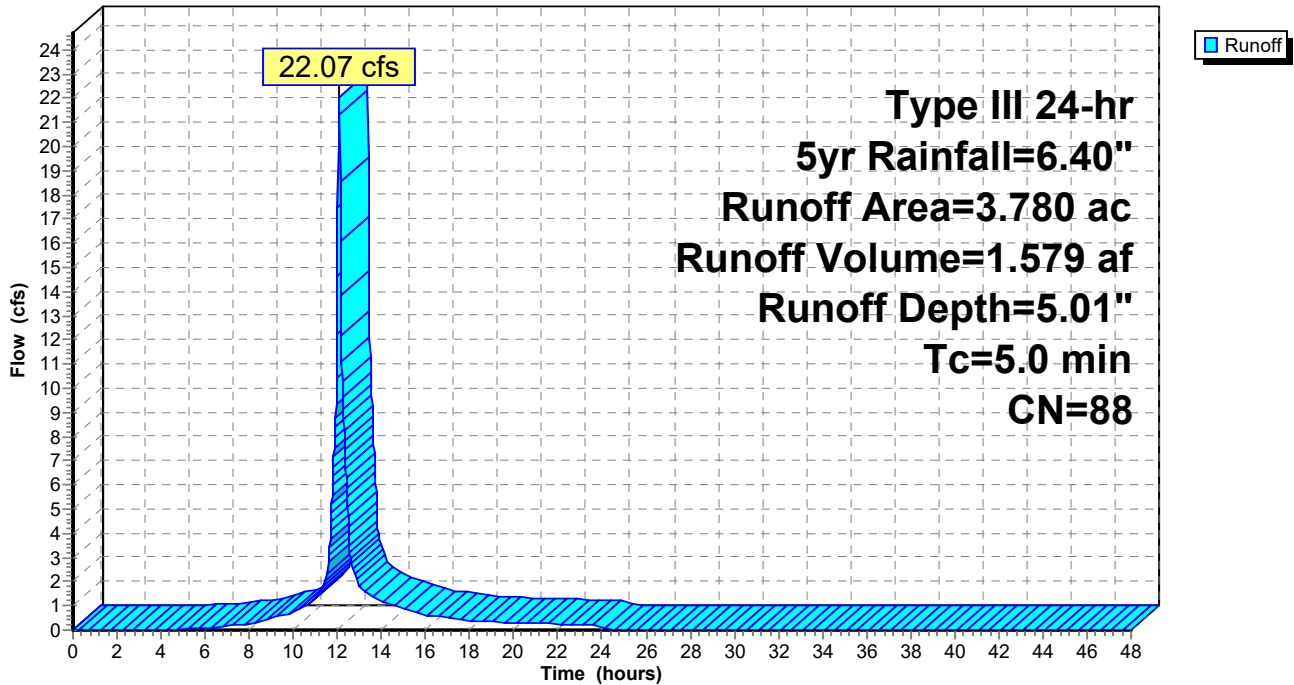
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 5yr Rainfall=6.40"

Area (ac)	CN	Description
0.560	98	Paved parking, HSG C
1.380	74	>75% Grass cover, Good, HSG C
1.840	96	Gravel surface, HSG C
3.780	88	Weighted Average
3.220		85.19% Pervious Area
0.560		14.81% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 2B: Post-Basin**

Hydrograph



**AgUp Surcee**

Type III 24-hr 10yr Rainfall=7.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 11

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1A: Pre-Basin**

Runoff Area=3.780 ac 10.32% Impervious Runoff Depth=6.31"  
Tc=5.0 min CN=90 Runoff=27.13 cfs 1.989 af

**Subcatchment 2B: Post-Basin**

Runoff Area=3.780 ac 14.81% Impervious Runoff Depth=6.08"  
Tc=5.0 min CN=88 Runoff=26.49 cfs 1.915 af

**Total Runoff Area = 7.560 ac Runoff Volume = 3.904 af Average Runoff Depth = 6.20"**  
**87.43% Pervious = 6.610 ac 12.57% Impervious = 0.950 ac**

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 10yr Rainfall=7.50"

Printed 9/19/2024

Page 12

**Summary for Subcatchment 1A: Pre-Basin**

Runoff = 27.13 cfs @ 12.07 hrs, Volume= 1.989 af, Depth= 6.31"

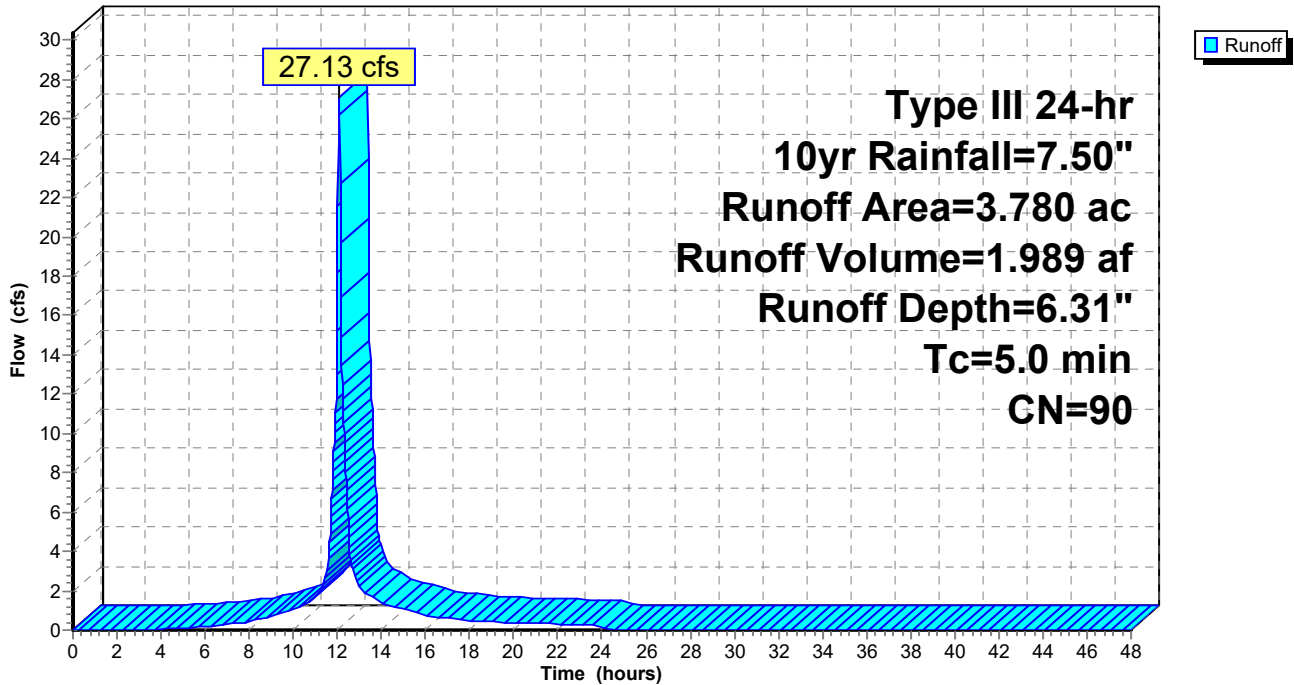
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 10yr Rainfall=7.50"

Area (ac)	CN	Description
0.390	98	Paved parking, HSG C
2.020	96	Gravel surface, HSG C
1.370	79	50-75% Grass cover, Fair, HSG C
3.780	90	Weighted Average
3.390		89.68% Pervious Area
0.390		10.32% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1A: Pre-Basin**

Hydrograph





**AgUp Surcee**

Type III 24-hr 10yr Rainfall=7.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 13

**Summary for Subcatchment 2B: Post-Basin**

Runoff = 26.49 cfs @ 12.07 hrs, Volume= 1.915 af, Depth= 6.08"

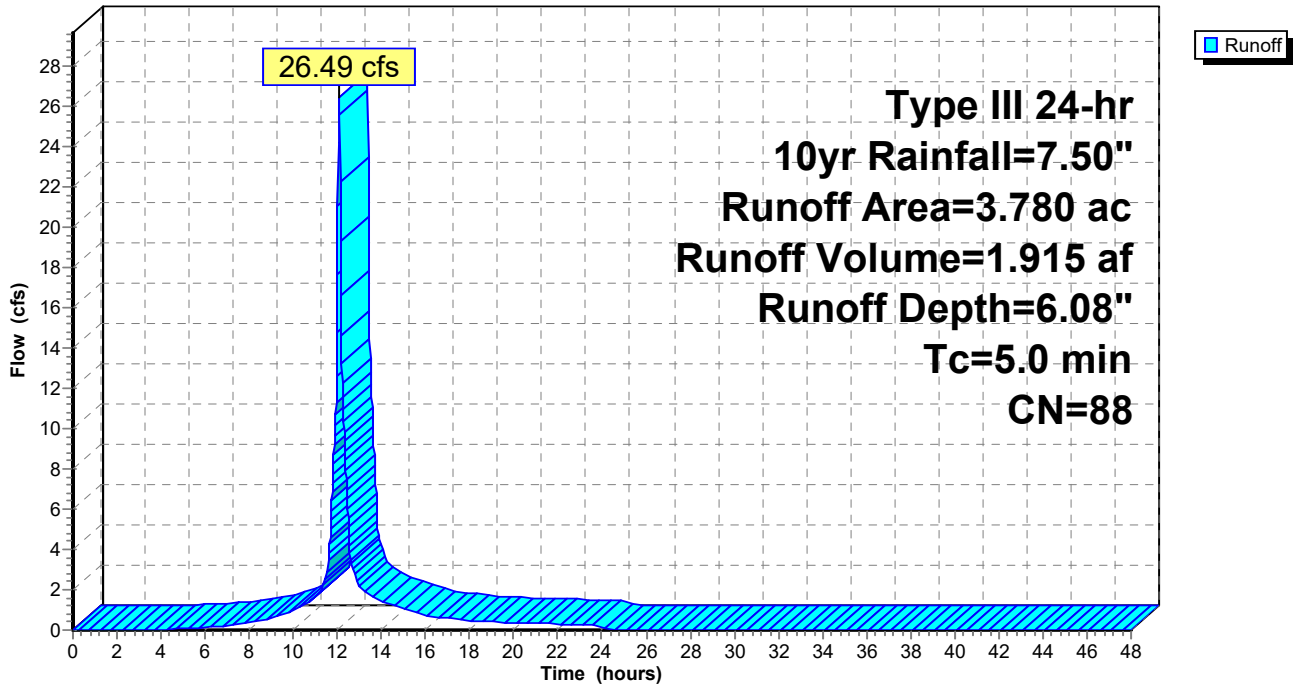
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 10yr Rainfall=7.50"

Area (ac)	CN	Description
0.560	98	Paved parking, HSG C
1.380	74	>75% Grass cover, Good, HSG C
1.840	96	Gravel surface, HSG C
3.780	88	Weighted Average
3.220		85.19% Pervious Area
0.560		14.81% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 2B: Post-Basin**

Hydrograph



**AgUp Surcee**

Type III 24-hr 25yr Rainfall=8.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 14

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1A: Pre-Basin**

Runoff Area=3.780 ac 10.32% Impervious Runoff Depth=7.30"  
Tc=5.0 min CN=90 Runoff=31.09 cfs 2.299 af

**Subcatchment 2B: Post-Basin**

Runoff Area=3.780 ac 14.81% Impervious Runoff Depth=7.06"  
Tc=5.0 min CN=88 Runoff=30.49 cfs 2.223 af

**Total Runoff Area = 7.560 ac Runoff Volume = 4.522 af Average Runoff Depth = 7.18"**  
**87.43% Pervious = 6.610 ac 12.57% Impervious = 0.950 ac**

**AgUp Surcee**

Type III 24-hr 25yr Rainfall=8.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 15

**Summary for Subcatchment 1A: Pre-Basin**

Runoff = 31.09 cfs @ 12.07 hrs, Volume= 2.299 af, Depth= 7.30"

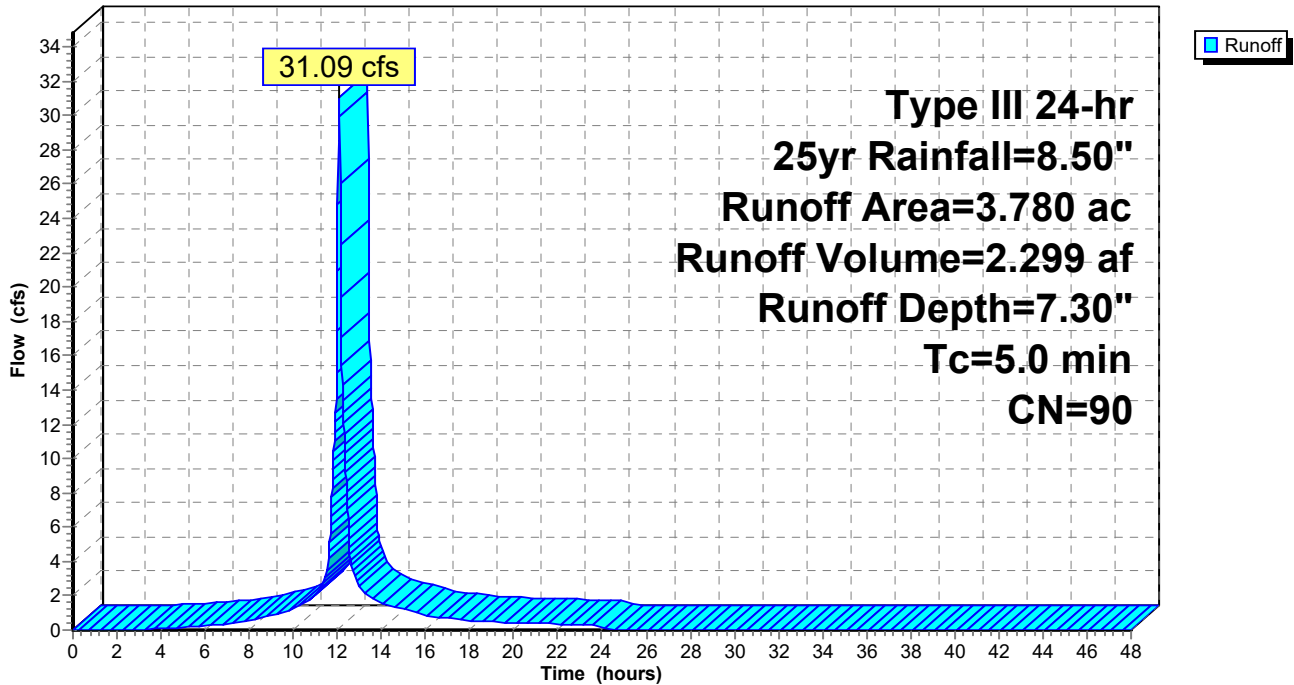
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 25yr Rainfall=8.50"

Area (ac)	CN	Description
0.390	98	Paved parking, HSG C
2.020	96	Gravel surface, HSG C
1.370	79	50-75% Grass cover, Fair, HSG C
3.780	90	Weighted Average
3.390		89.68% Pervious Area
0.390		10.32% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1A: Pre-Basin**

Hydrograph



**AgUp Surcee**

Type III 24-hr 25yr Rainfall=8.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 16

**Summary for Subcatchment 2B: Post-Basin**

Runoff = 30.49 cfs @ 12.07 hrs, Volume= 2.223 af, Depth= 7.06"

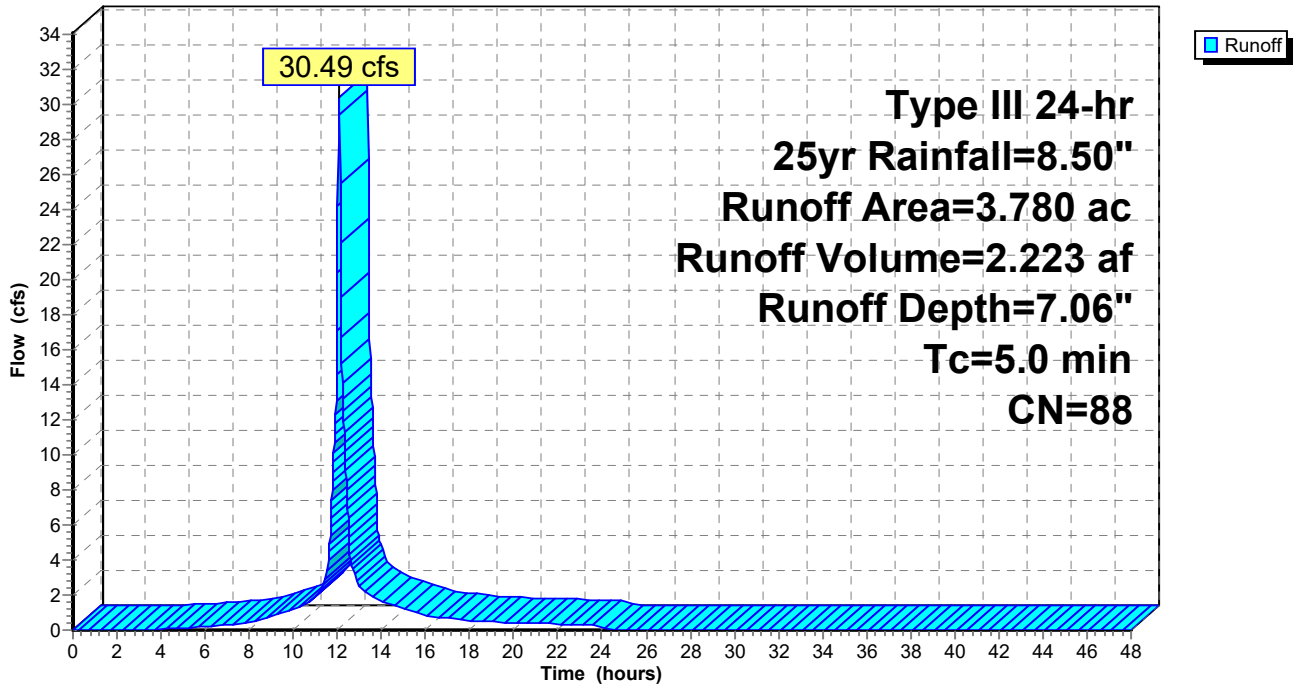
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 25yr Rainfall=8.50"

Area (ac)	CN	Description
0.560	98	Paved parking, HSG C
1.380	74	>75% Grass cover, Good, HSG C
1.840	96	Gravel surface, HSG C
3.780	88	Weighted Average
3.220		85.19% Pervious Area
0.560		14.81% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 2B: Post-Basin**

Hydrograph



**AgUp Surcee**

Type III 24-hr 50yr Rainfall=9.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 17

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1A: Pre-Basin**

Runoff Area=3.780 ac 10.32% Impervious Runoff Depth=8.29"  
Tc=5.0 min CN=90 Runoff=35.04 cfs 2.610 af

**Subcatchment 2B: Post-Basin**

Runoff Area=3.780 ac 14.81% Impervious Runoff Depth=8.04"  
Tc=5.0 min CN=88 Runoff=34.47 cfs 2.532 af

**Total Runoff Area = 7.560 ac Runoff Volume = 5.142 af Average Runoff Depth = 8.16"**  
**87.43% Pervious = 6.610 ac 12.57% Impervious = 0.950 ac**

**AgUp Surcee**

Type III 24-hr 50yr Rainfall=9.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 18

**Summary for Subcatchment 1A: Pre-Basin**

Runoff = 35.04 cfs @ 12.07 hrs, Volume= 2.610 af, Depth= 8.29"

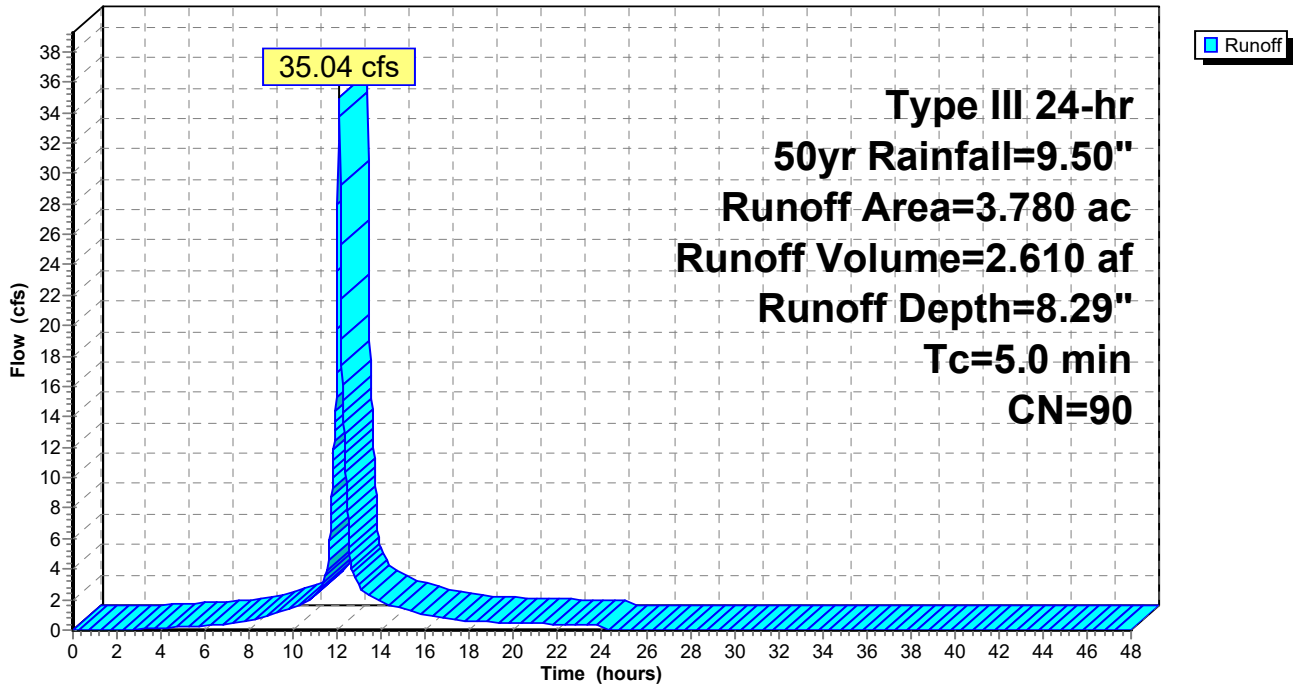
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 50yr Rainfall=9.50"

Area (ac)	CN	Description
0.390	98	Paved parking, HSG C
2.020	96	Gravel surface, HSG C
1.370	79	50-75% Grass cover, Fair, HSG C
3.780	90	Weighted Average
3.390		89.68% Pervious Area
0.390		10.32% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1A: Pre-Basin**

Hydrograph



**AgUp Surcee**

Type III 24-hr 50yr Rainfall=9.50"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 19

**Summary for Subcatchment 2B: Post-Basin**

Runoff = 34.47 cfs @ 12.07 hrs, Volume= 2.532 af, Depth= 8.04"

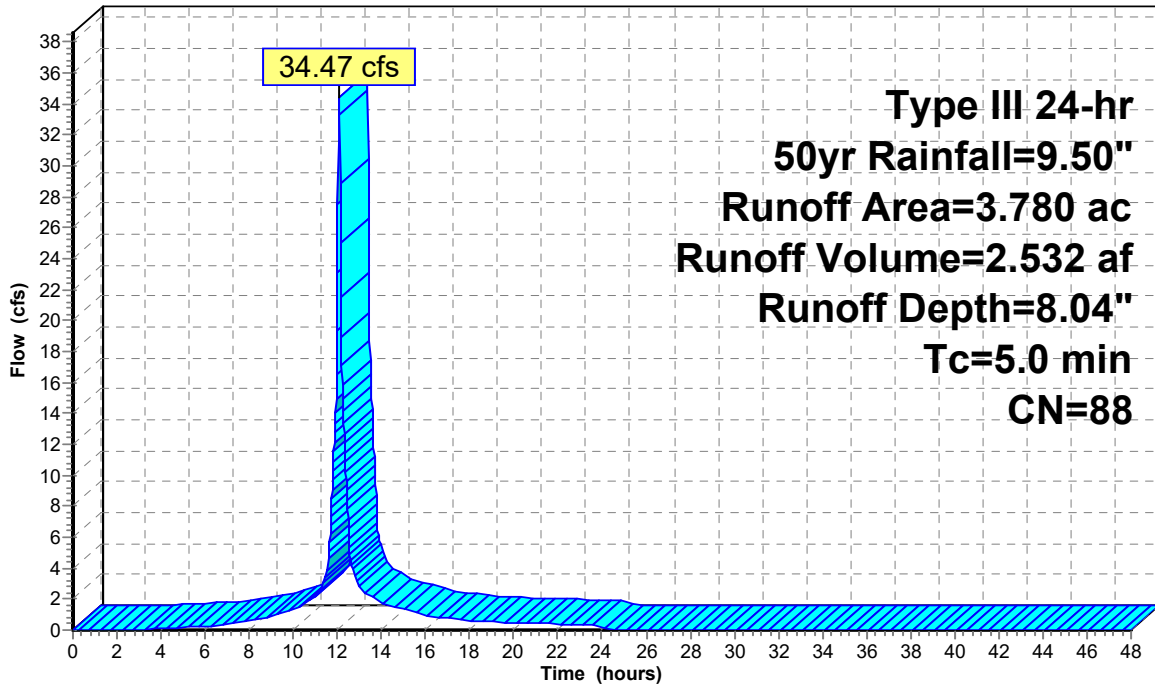
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 50yr Rainfall=9.50"

Area (ac)	CN	Description
0.560	98	Paved parking, HSG C
1.380	74	>75% Grass cover, Good, HSG C
1.840	96	Gravel surface, HSG C
3.780	88	Weighted Average
3.220		85.19% Pervious Area
0.560		14.81% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 2B: Post-Basin**

Hydrograph



Runoff

**AgUp Surcee**

Type III 24-hr 100yr Rainfall=10.70"

Prepared by {enter your company name here}

Printed 9/19/2024

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Page 20

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1A: Pre-Basin**

Runoff Area=3.780 ac 10.32% Impervious Runoff Depth=9.47"  
Tc=5.0 min CN=90 Runoff=39.77 cfs 2.984 af

**Subcatchment 2B: Post-Basin**

Runoff Area=3.780 ac 14.81% Impervious Runoff Depth=9.22"  
Tc=5.0 min CN=88 Runoff=39.22 cfs 2.905 af

**Total Runoff Area = 7.560 ac Runoff Volume = 5.889 af Average Runoff Depth = 9.35"**  
**87.43% Pervious = 6.610 ac 12.57% Impervious = 0.950 ac**



**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 100yr Rainfall=10.70"

Printed 9/19/2024

Page 21

**Summary for Subcatchment 1A: Pre-Basin**

Runoff = 39.77 cfs @ 12.07 hrs, Volume= 2.984 af, Depth= 9.47"

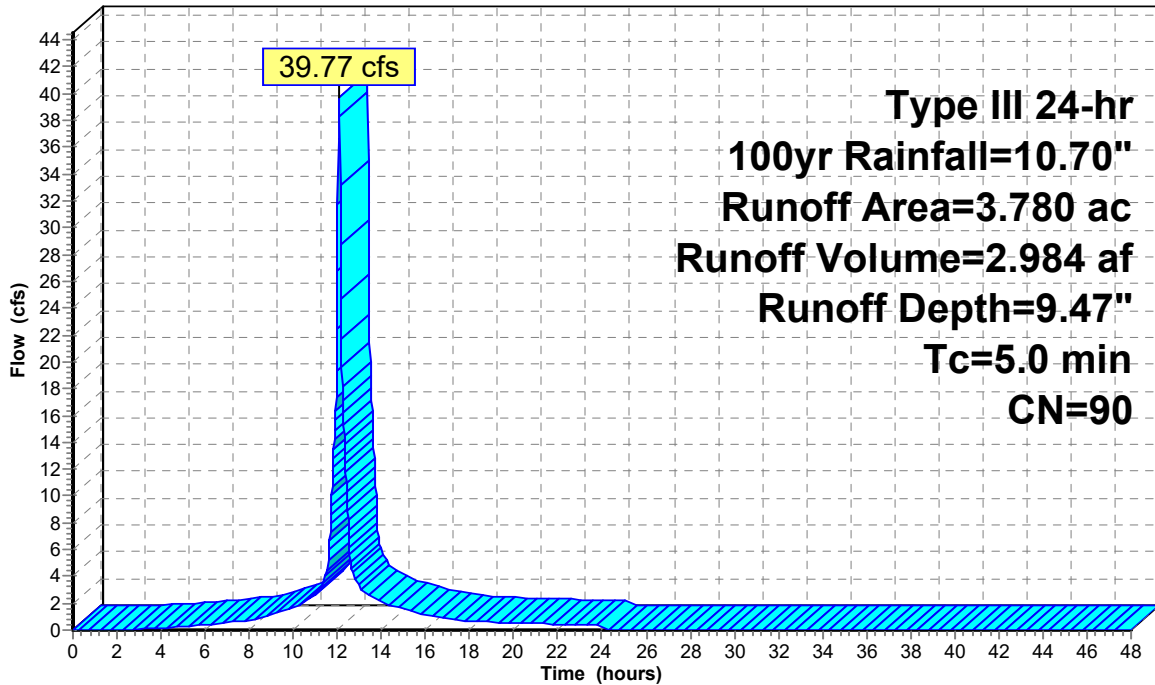
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 100yr Rainfall=10.70"

Area (ac)	CN	Description
0.390	98	Paved parking, HSG C
2.020	96	Gravel surface, HSG C
1.370	79	50-75% Grass cover, Fair, HSG C
3.780	90	Weighted Average
3.390		89.68% Pervious Area
0.390		10.32% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1A: Pre-Basin**

Hydrograph



Runoff

**AgUp Surcee**

Prepared by {enter your company name here}

HydroCAD® 10.00-26 s/n 09984 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr 100yr Rainfall=10.70"

Printed 9/19/2024

Page 22

**Summary for Subcatchment 2B: Post-Basin**

Runoff = 39.22 cfs @ 12.07 hrs, Volume= 2.905 af, Depth= 9.22"

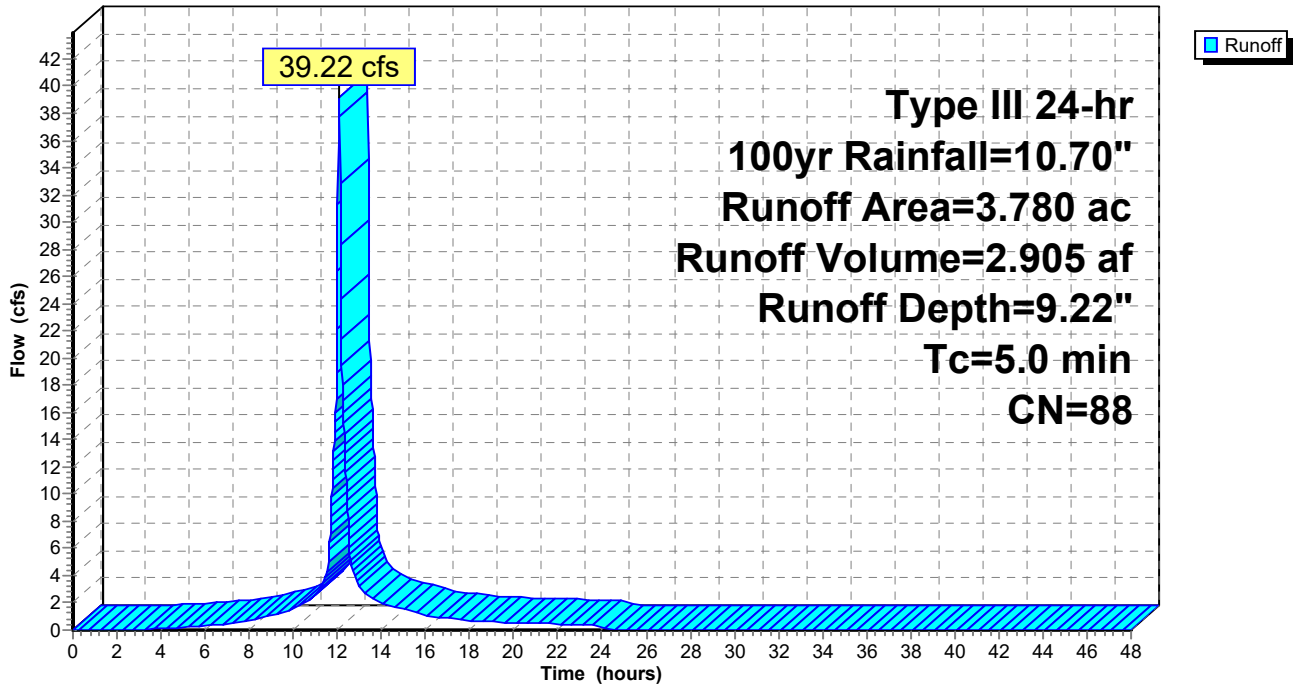
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs  
Type III 24-hr 100yr Rainfall=10.70"

Area (ac)	CN	Description
0.560	98	Paved parking, HSG C
1.380	74	>75% Grass cover, Good, HSG C
1.840	96	Gravel surface, HSG C
3.780	88	Weighted Average
3.220		85.19% Pervious Area
0.560		14.81% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 2B: Post-Basin**

Hydrograph



**City of Gluckstadt**

**Application for Site Plan Review**

**Subject Property Address:** TBD by E911. Adjacent Address is 150 Autobahn Loop, Madison, MS 39110

**Parcel #:** 39110082E-21 -016/19.00

**Owner:** MH Canton CDJR Realty LTD

**Applicant:** Peoples Construction

**Address:** 11757 Katy Freeway #1300  
Houston, Tx 77079

**Address:** 3913 Underwood Drive  
Flowood, MS 39232

**Phone #:** \_\_\_\_\_

**Phone #:** 601-932-1111

**E-Mail:** \_\_\_\_\_

**E-Mail:** alex@peoplesconstruction.com

**Current Zoning District:** C-2

**Acreege of Property (If applicable):** 4.11 acres

**Use sought of Property:** Indoor vehicle service / Enclosed warehouse

*20241167*

**Requirements of Applicant:**

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

**Requirements for Site Plan Submittal** (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

**Site Plan Specifications (Section 809, Zoning Ordinance)**

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

*045  
Site Plan  
Review*

*Fee code  
Z08*

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

**Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.**

**Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.**

**Site Plans shall be submitted by the 5:00 pm on the 5<sup>th</sup> day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.**

**Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5<sup>th</sup> of the following month for the next monthly meeting of the Planning and Zoning Commission.**

**Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.**

  
 \_\_\_\_\_  
**Applicant Signature**

10/1/2024  
 \_\_\_\_\_  
**Date**

**CITY OF GLUCKSTADT BUILDING DEPARTMENT**

**OFFICE USE ONLY**

**Date Received:** 10.01.2024

**Application Complete & Approved to Submit to P&Z Board (please check):**

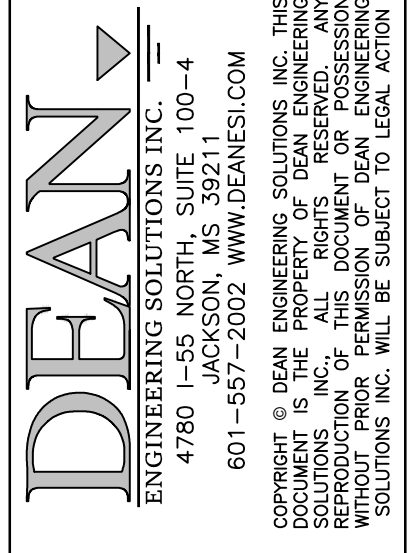
Yes  No

**Signature:**   
 \_\_\_\_\_  
**Planning & Zoning Administrator (or Authorized Representative)**









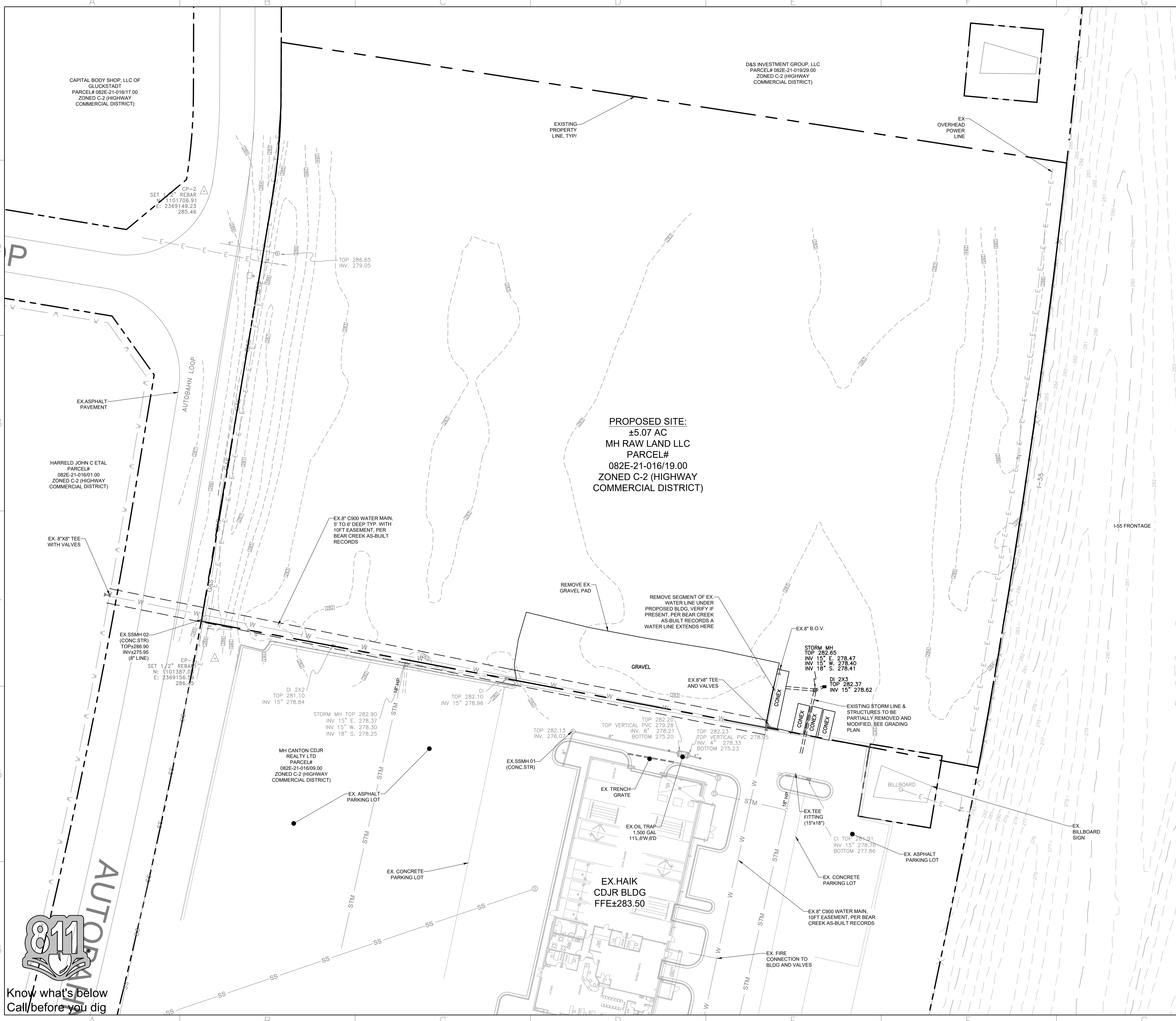
No.	Description	Date
1	PLANS SUBMITTED FOR REVIEW	02-27-2024
2	PLANS REVISED PER REVIEW COMMENTS	03-12-2024
3	BERM ADDED AT I-55 ROW	04-29-2024
4	VE SCOPE REDUCTIONS	09-30-2024

OWNER:  
**MAC HAIK**  
AUTOBahn LOOP  
GLUCKSTADT, MS 39110

PROJECT TITLE: **MAC HAIK NEW SERVICE BUILDING**  
SHEET TITLE:  
**EXISTING CONDITIONS & DEMO PLAN**  
SITE DEVELOPMENT

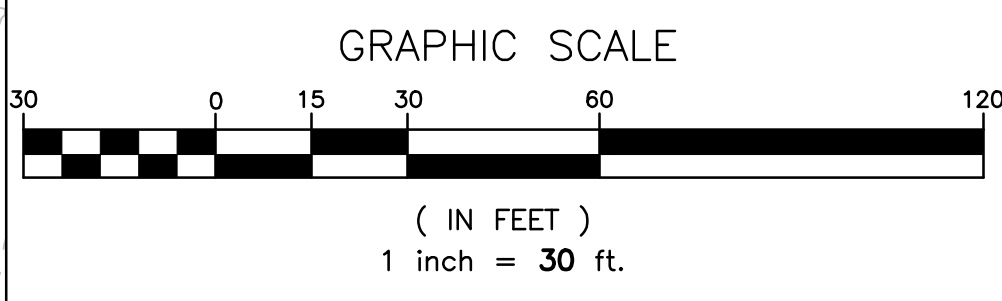
JOB NO.: 240201  
DATE: 05 FEB 2024  
SCALE: AS SHOWN  
DRAWN BY: WSD  
REVIEWED BY: WSD

SHEET NUMBER:  
**2**



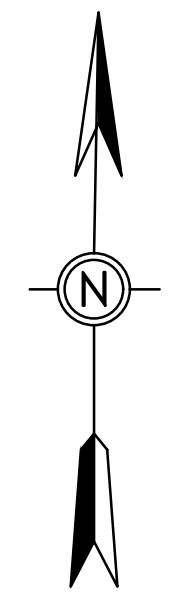
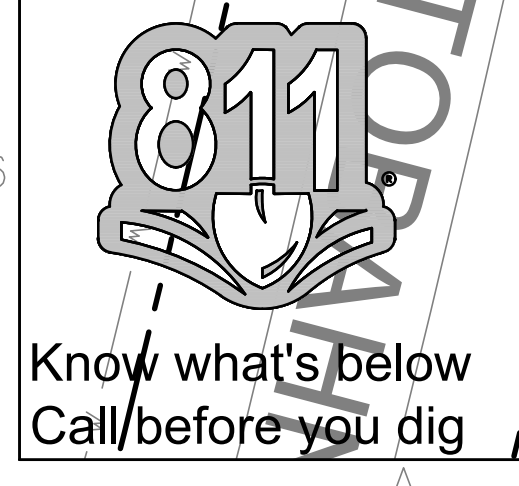
**DRAWING SYMBOL LEGEND**

EXISTING	DESCRIPTION
— E —	OVERHEAD POWER LINE
— SS —	SANITARY SEWER LINE
— W —	WATER LINE
— X — X —	FENCE LINE
— STM —	STORM LINE
— — —	PROPERTY LINE
— 400 —	MAJOR CONTOUR LINE
— 401 —	MINOR CONTOUR LINE
⊙	SANITARY SEWER MANHOLE



**SURVEY NOTES:**

1. LOCATION OF UNDERGROUND UTILITIES & STRUCTURES OF ANY TYPE MAY NOT BE COMPLETE OR EXACT. FOR MORE POSITIVE LOCATIONS CONTACT MISSISSIPPI ONE CALL SYSTEM INC. (TELEPHONE NO. 811) OR OTHER LOCAL AUTHORITIES TO LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. ALL NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER PRIOR TO CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED.



**PROPOSED SITE:**  
±5.07 AC  
MH RAW LAND LLC  
PARCEL#  
082E-21-016/19.00  
ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT)

**EX. HAIK  
CDJR BLDG  
FFE±283.50**

D&S INVESTMENT GROUP, LLC  
PARCEL# 082E-21-019/29.00  
ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT)

CAPITAL BODY SHOP, LLC OF  
GLUCKSTADT  
PARCEL# 082E-21-016/17.00  
ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT)

HARRELD JOHN C ETAL  
PARCEL#  
082E-21-016/01.00  
ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT)

MH CANTON CDJR  
REALTY LTD  
PARCEL#  
082E-21-016/09.00  
ZONED C-2 (HIGHWAY  
COMMERCIAL DISTRICT)

EX SSMH 02  
(CONC STR)  
TOP±286.90  
INV±275.95  
(8" LINE)

STORM MH TOP 282.90  
INV 15" E. 278.37  
INV 15" W. 278.30  
INV 18" S. 278.25

CI TOP 282.10  
INV 15" 278.96

EX SSMH 01  
(CONC STR)

TOP 282.13  
INV. 276.07

TOP VERTICAL PVC 279.26  
INV. 8" 278.21  
BOTTOM 275.20

TOP 282.23  
TOP VERTICAL PVC 278.95  
INV. 4" 278.33  
BOTTOM 275.23

STORM MH  
TOP 282.65  
INV 15" E. 278.47  
INV 15" W. 278.40  
INV 18" S. 278.41

DI 2X3  
TOP 282.37  
INV 15" 278.62

CI TOP 284.91  
INV 15" 278.76  
BOTTOM 277.86

EX. 8" C900 WATER MAIN,  
10FT EASEMENT, PER BEAR  
CREEK AS-BUILT RECORDS

EX. FIRE  
CONNECTION TO  
BLDG AND VALVES

EX. 8" C900 WATER MAIN,  
5' TO 6' DEEP TYP. WITH  
10FT EASEMENT, PER  
BEAR CREEK AS-BUILT  
RECORDS

REMOVE SEGMENT OF EX.  
WATER LINE UNDER  
PROPOSED BLDG. VERIFY IF  
PRESENT, PER BEAR CREEK  
AS-BUILT RECORDS A  
WATER LINE EXTENDS HERE

REMOVE EX.  
GRAVEL PAD

GRAVEL

EX. 8"x8" TEE  
AND VALVES

EX. 8" B.O.V.

EXISTING STORM LINE &  
STRUCTURES TO BE  
PARTIALLY REMOVED AND  
MODIFIED, SEE GRADING  
PLAN.

BILLBOARD

I-55 FRONTAGE

AUTOBAHN LOOP

EX ASPHALT  
PAVEMENT

P

SET 1/2" REBAR  
N: 1101706.91  
E: 2369149.23  
285.46

TOP 286.65  
INV. 279.05

3

4

5

6

C4

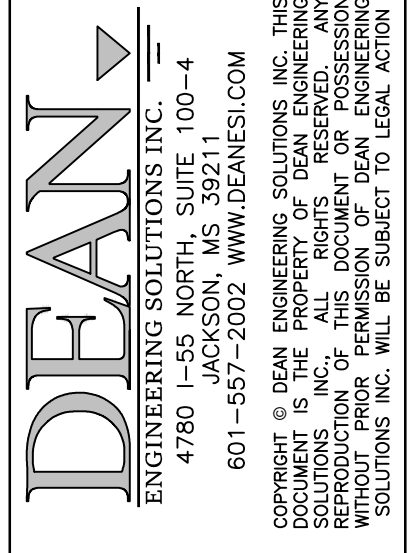
4

C7

6







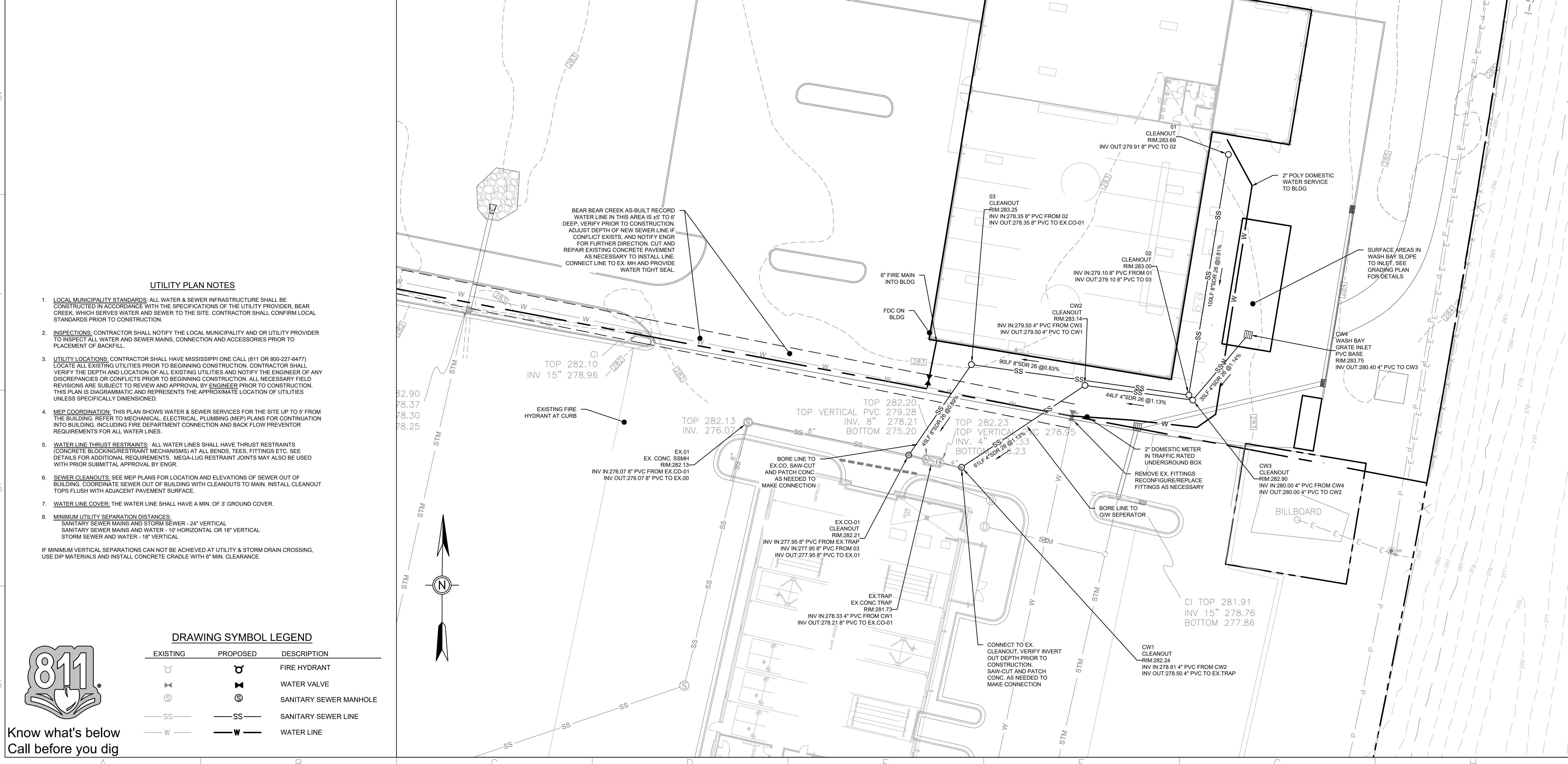
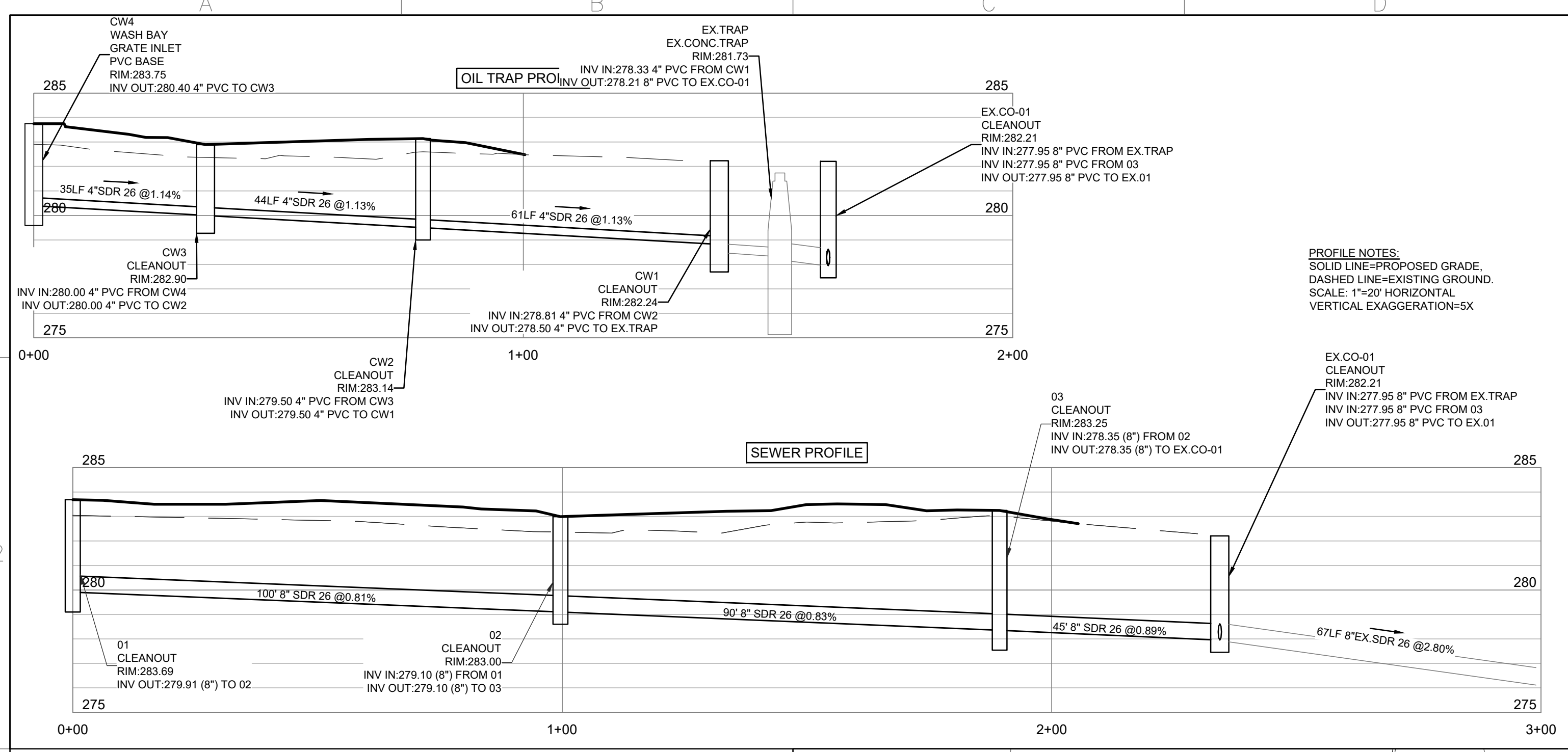
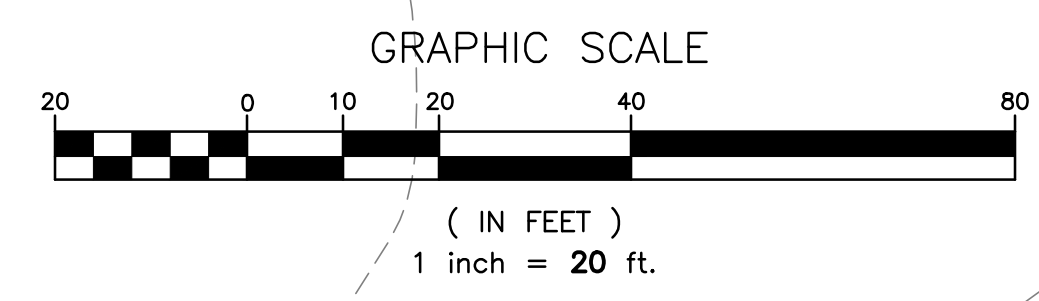
No.	Description	Date
1	PLANS SUBMITTED FOR REVIEW	02-27-2024
2	PLANS REVISED PER REVIEW COMMENTS	03-12-2024
3	BERM ADDED AT I-55 ROW	04-29-2024
4	VE SCOPE REDUCTIONS	09-30-2024

OWNER:  
**MAC HAIK**  
 AUTOBAHN LOOP  
 GLUCKSTADT, MS 39110

PROJECT TITLE: **MAC HAIK NEW SERVICE BUILDING**  
 SHEET TITLE:  
**UTILITY PLAN**  
 SITE DEVELOPMENT

JOB NO.: 240201  
 DATE: 05 FEB 2024  
 SCALE: AS SHOWN  
 DRAWN BY: WSD  
 REVIEWED BY: WSD

SHEET NUMBER:  
**4**



**DRAWING SYMBOL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		FIRE HYDRANT
		WATER VALVE
		SANITARY SEWER MANHOLE
		SANITARY SEWER LINE
		WATER LINE





**DEAN**  
 ENGINEERING SOLUTIONS, INC.  
 4780 I-55 NORTH, SUITE 100-4  
 JACKSON, MS 39211  
 601-557-2002 WWW.DEANESI.COM

COMMITTEE: DEAN ENGINEERING SOLUTIONS, INC. THIS DOCUMENT IS THE PROPERTY OF DEAN ENGINEERING SOLUTIONS, INC. ALL RIGHTS ARE RESERVED. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF DEAN ENGINEERING SOLUTIONS, INC. WILL BE SUBJECT TO LEGAL ACTION.



No.	Description	Date
1	PLANS SUBMITTED FOR REVIEW	02-27-2024
2	PLANS REVISED PER REVIEW COMMENTS	03-12-2024
3	BERM ADDED AT I-55 ROW	04-29-2024
4	VE SCOPE REDUCTIONS	09-30-2024

**DRAWING ISSUED**

OWNER: **MAC HAIK**  
 AUTOBahn LOOP  
 GLUCKSTADT, MS 39110

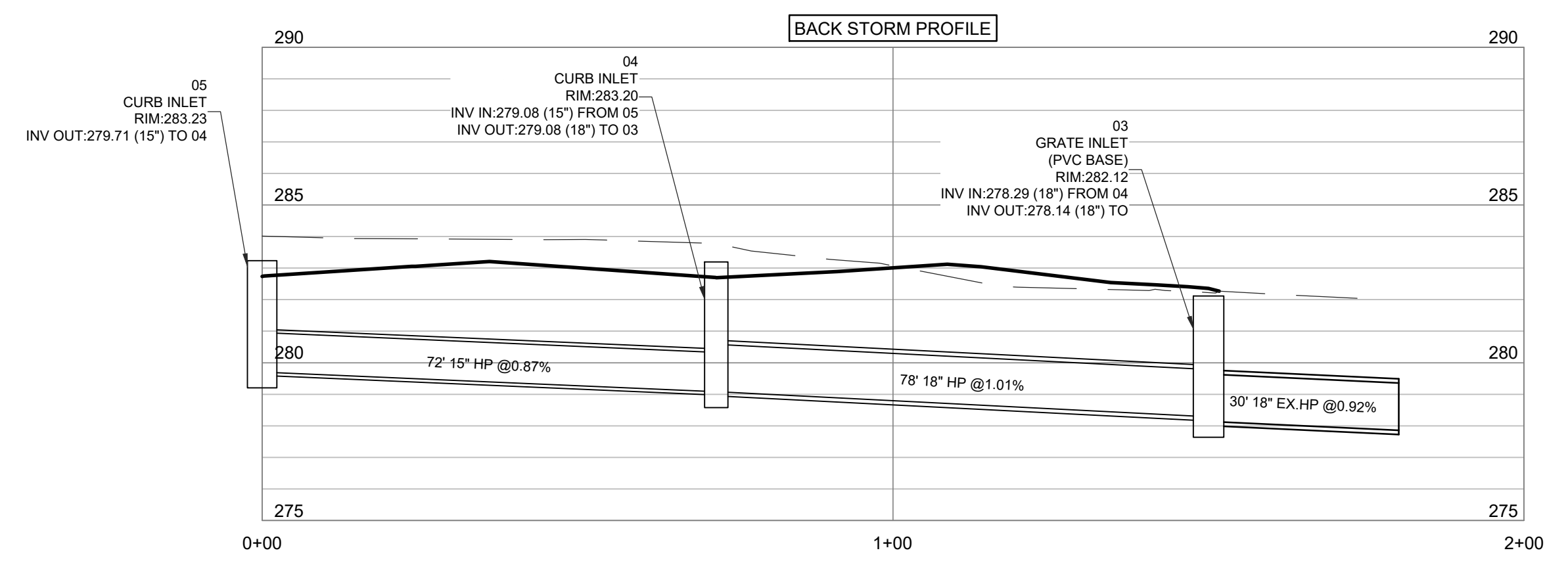
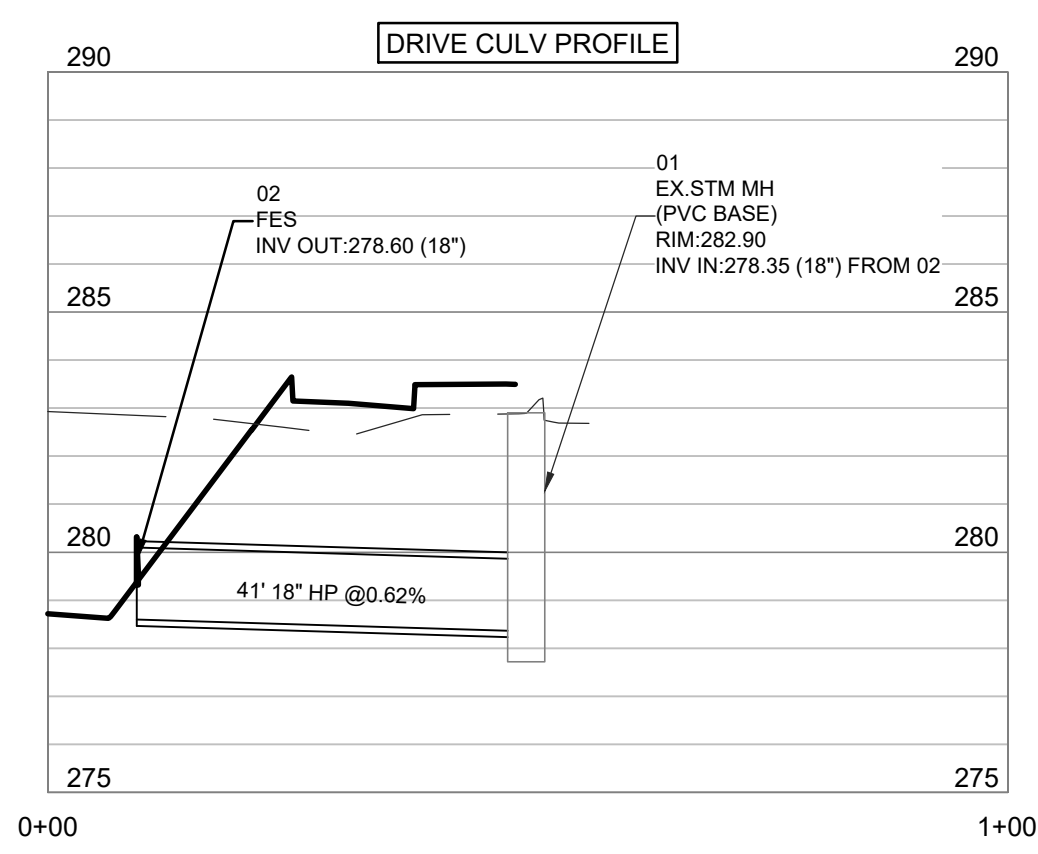
**PROJECT TITLE: MAC HAIK NEW SERVICE BUILDING**  
**SHEET TITLE: GRADING PLAN**  
**SITE DEVELOPMENT**

JOB NO.: 240201  
 DATE: 05 FEB 2024  
 SCALE: AS SHOWN  
 DRAWN BY: WSD  
 REVIEWED BY: WSD

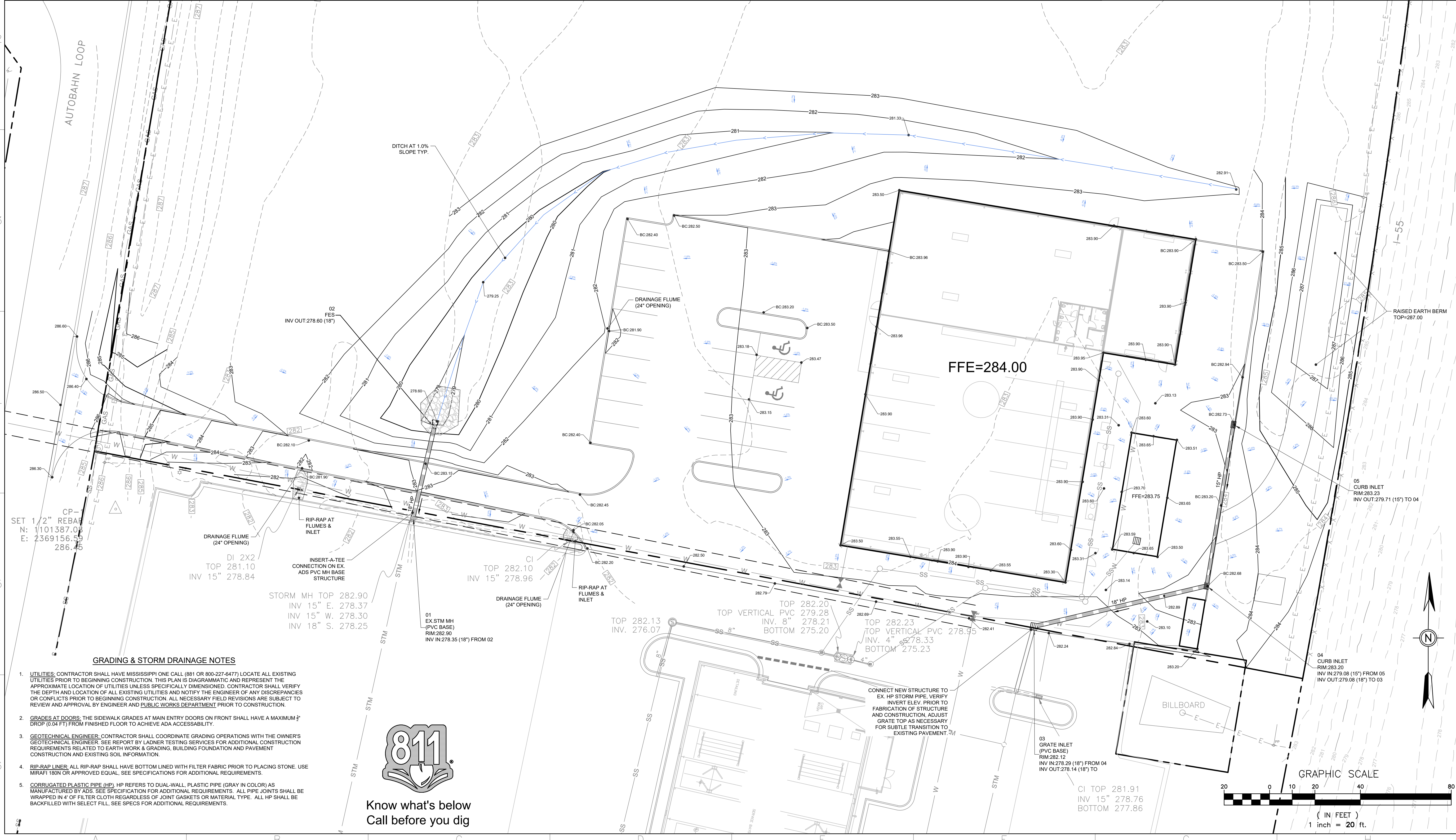
**SHEET NUMBER: 5**

**DRAWING SYMBOL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	CURB INLET (PVC BASE, 2'x3' D.I. TOP)
[Symbol]	[Symbol]	GRATE INLET (CONC. BASE STR., D.I. TOP)
[Symbol]	[Symbol]	FLARED END SECTION (FES)
[Symbol]	[Symbol]	STORM SEWER LINE
[Symbol]	[Symbol]	SLOPE DIRECTION & PERCENT
[Symbol]	[Symbol]	MAJOR CONTOUR LINE
[Symbol]	[Symbol]	MINOR CONTOUR LINE
[Symbol]	[Symbol]	SPOT ELEVATION AT CURB
[Symbol]	[Symbol]	SPOT ELEVATION, BC=BOTTOM OF CURB
[Symbol]	[Symbol]	RIP-RAP APRON PROTECTION

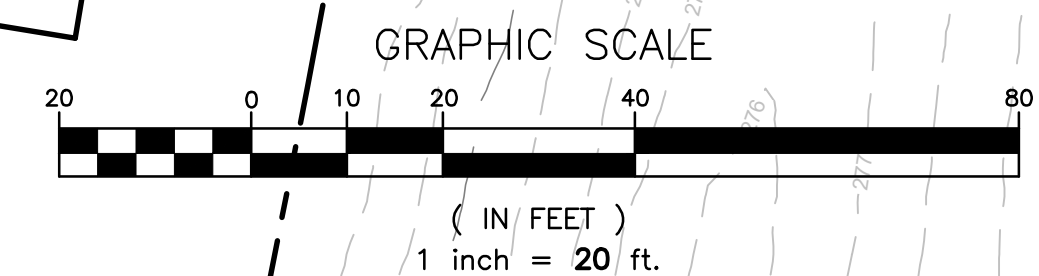


**PROFILE NOTES:**  
 SOLID LINE=PROPOSED GRADE.  
 DASHED LINE=EXISTING GROUND.  
 SCALE: 1"=20' HORIZONTAL  
 VERTICAL EXAGGERATION=5X



CP-  
 SET 1/2" REBAR  
 N: 1101387.08  
 E: 2369156.59  
 286.45

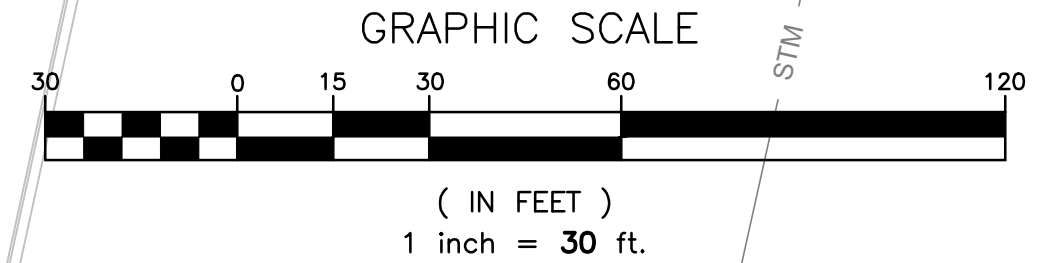
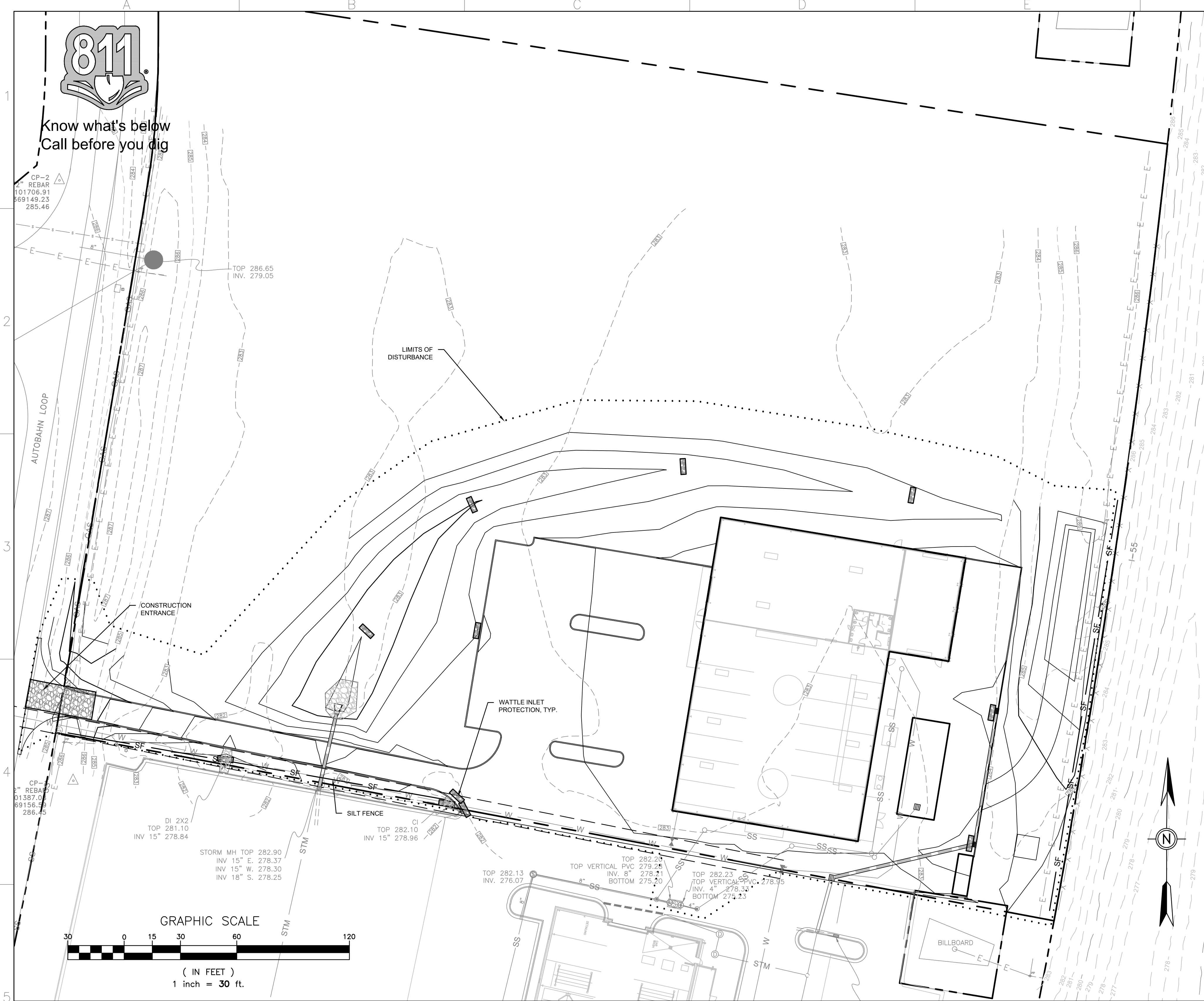
- GRADING & STORM DRAINAGE NOTES**
- UTILITIES: CONTRACTOR SHALL HAVE MISSISSIPPI ONE CALL (881 OR 800-227-6477) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENT THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. ALL NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER AND PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION.
  - GRADES AT DOORS: THE SIDEWALK GRADES AT MAIN ENTRY DOORS ON FRONT SHALL HAVE A MAXIMUM 1/4" DROP (0.04 FT) FROM FINISHED FLOOR TO ACHIEVE ADA ACCESSIBILITY.
  - GEOTECHNICAL ENGINEER: CONTRACTOR SHALL COORDINATE GRADING OPERATIONS WITH THE OWNER'S GEOTECHNICAL ENGINEER. SEE REPORT BY LADNER TESTING SERVICES FOR ADDITIONAL CONSTRUCTION REQUIREMENTS RELATED TO EARTH WORK & GRADING, BUILDING FOUNDATION AND PAVEMENT CONSTRUCTION AND EXISTING SOIL INFORMATION.
  - RIP-RAP LINER: ALL RIP-RAP SHALL HAVE BOTTOM LINED WITH FILTER FABRIC PRIOR TO PLACING STONE. USE MIRAFI 180N OR APPROVED EQUAL. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - CORRUGATED PLASTIC PIPE (HP): HP REFERS TO DUAL-WALL, PLASTIC PIPE (GRAY IN COLOR) AS MANUFACTURED BY ADS. SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS. ALL PIPE JOINTS SHALL BE WRAPPED IN 4" OF FILTER CLOTH REGARDLESS OF JOINT GASKETS OR MATERIAL TYPE. ALL HP SHALL BE BACKFILLED WITH SELECT FILL. SEE SPECS FOR ADDITIONAL REQUIREMENTS.







Know what's below  
Call before you dig

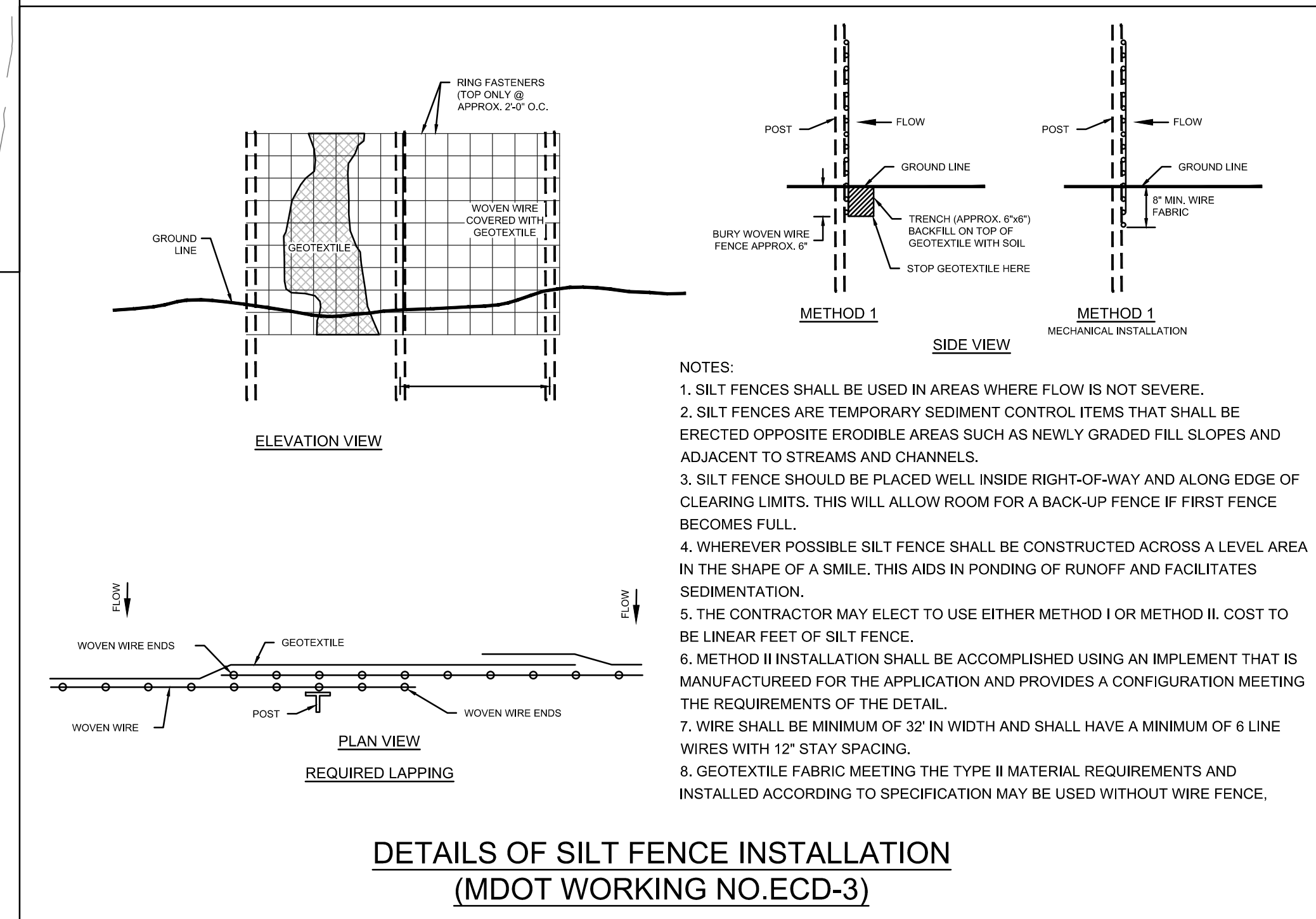
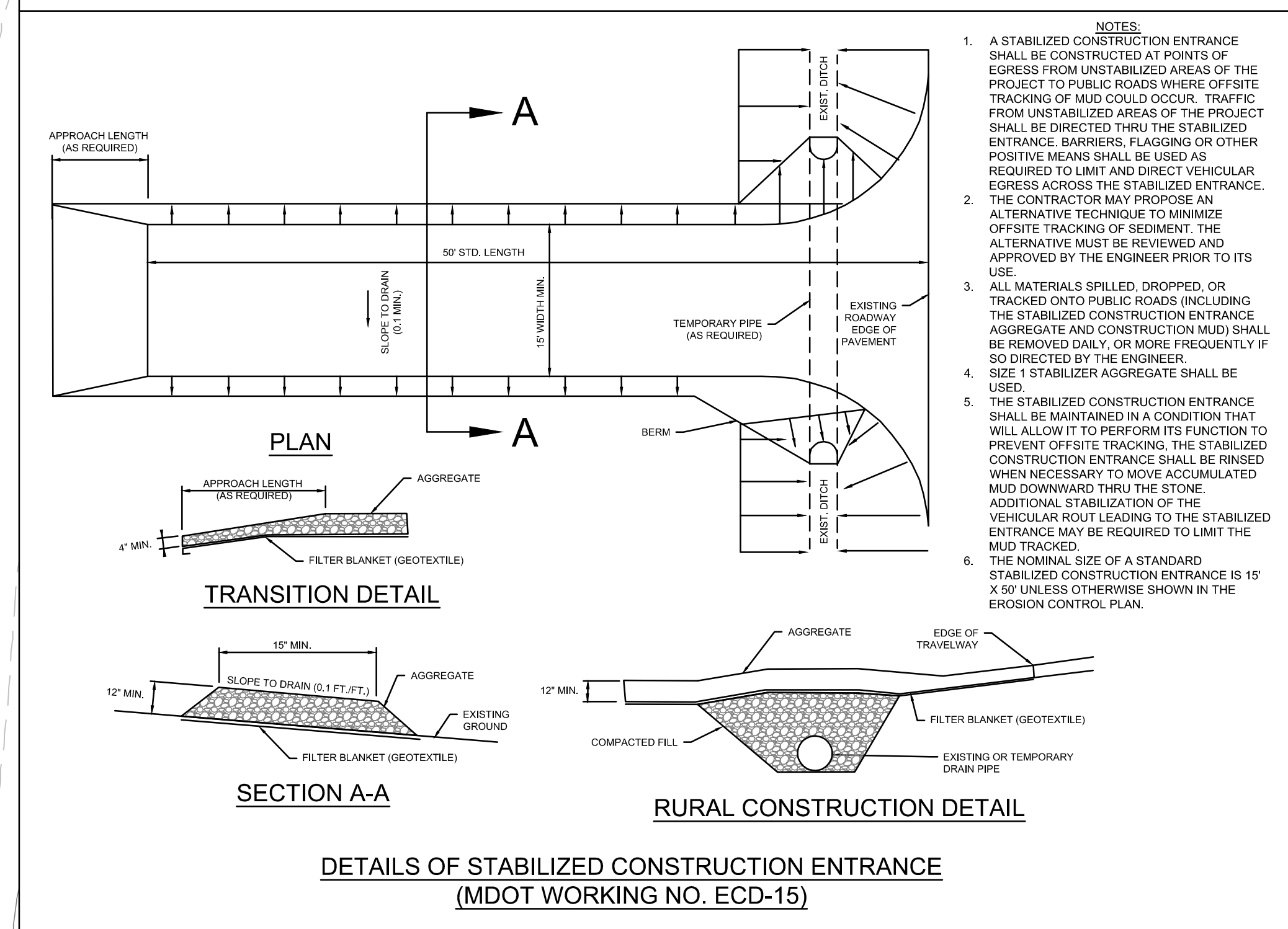
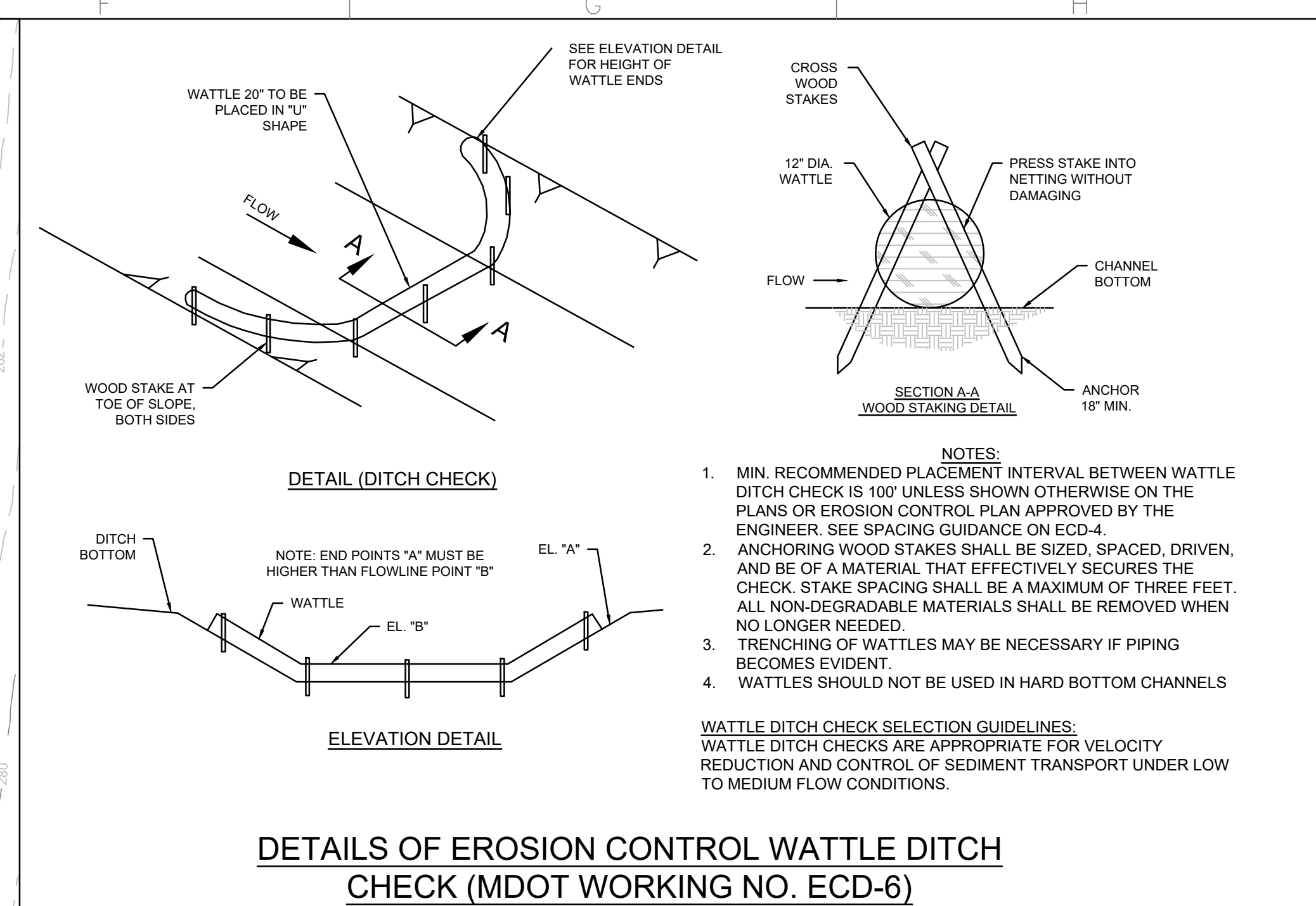


### EROSION CONTROL PLAN NOTES

- TOTAL DISTURBED SITE AREA ± 2.50 AC.
- VEGETATIVE CONTROLS: A COMBINATION OF TEMPORARY AND PERMANENT GRASSING WILL BE USED TO PROTECT SLOPES AS CONSTRUCTION PROGRESSES. REFER TO VEGETATION SPECIFICATIONS FOR DETAILS. SHOULD A DISTURBED AREA BE LEFT UNDISTURBED FOR 14 DAYS OR MORE, TEMPORARY OR PERMANENT VEGETATION SHALL BE PLACED IMMEDIATELY.
- STRUCTURAL CONTROLS: INSTALL CONSTRUCTION ENTRANCES, DIVERSION DITCHES, WATTLE CHECK DAMS, SILT FENCE AND ALL OTHER STRUCTURAL BMPs AS SHOWN BELOW. PERMANENT EROSION CONTROL BMPs AND STRUCTURAL BMPs SHOULD BE PLACED AS SOON AS POSSIBLE TO ENSURE FINAL STABILIZATION OF THE SITE.
- WATTLE CHECK DAMS: SILT FENCE AND HAY BALES ARE NOT ACCEPTABLE FORMS OF CHECK DAMS WITHIN TEMPORARY DIVERSION DITCHES, SWALES OR OTHER AREAS OF CONCENTRATED FLOW. CONTRACTOR SHALL USE SAND BAGS OR STONE DAMS TO CHECK FLOW. WATTLES MAY ALSO BE USED WHERE LOWER FLOWS/SMALLER DRAINAGE AREAS OCCUR.
- HOUSEKEEPING & MAINTENANCE PRACTICES: ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. NON-FUNCTIONING EROSION CONTROLS SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL CONTROLS WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW. WALK THROUGH INSPECTIONS ARE RECOMMENDED BEFORE ANTICIPATED STORM EVENTS TO VERIFY THE INTEGRITY OF EROSION CONTROL MEASURES AND TO DETERMINE IF ADDITIONAL MEASURES ARE NEEDED. SEDIMENT BASINS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 2.0 FEET BELOW THE TOP OF THE RISER, AND/OR WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. SILT FENCE SHALL BE CLEANED OUT WHEN SEDIMENT REACHES 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. MAINTENANCE AND REPAIR OF EQUIPMENT SHALL BE PERFORMED OFF-SITE. MATERIAL WASH OUT SHALL OCCUR EITHER OFF-SITE OR WITHIN DESIGNATED WASH OUT AREAS.
- POST-CONSTRUCTION CONTROL MEASURES: AS CONSTRUCTION IS COMPLETED, PERMANENT VEGETATIVE GROWTH SHALL BE ESTABLISHED ON DISTURBED SOILS TO IMPROVE SOIL STABILITY AND PROVIDE A BUFFER ZONE FOR LOOSE MATERIAL. LINED DITCHES SHALL BE INSTALLED AS SPECIFIED IN THE EROSION CONTROL SEQUENCE TO REDUCE EROSION IN CONCENTRATED FLOW AREAS AND RIP-RAP WILL BE PLACED AS SPECIFIED TO DISSIPATE FLOW ENERGY AND REDUCE FLOW VELOCITY. TEMPORARY BMPs MUST BE REMOVED FROM THE SITE WHEN THEY ARE NO LONGER NEEDED.

### DRAWING SYMBOL LEGEND

PROPOSED	DESCRIPTION
	SILT FENCE PROTECTION
	LIMITS OF DISTURBANCE
	WATTLE CHECK DAM/INLET PROTECTION



Section 4, Item B)

**DEAN ENGINEERING SOLUTIONS, INC.**  
4780 I-55 NORTH, SUITE 100-4  
JACKSON, MS 39211  
601-557-2002 WWW.DEANESI.COM

REGISTERED PROFESSIONAL ENGINEER  
STATE OF MISSISSIPPI  
20957

99-30-2024

**DRAWING ISSUED**

No.	Description	Date
1	PLANS SUBMITTED FOR REVIEW	02-27-2024
2	PLANS REVISED PER REVIEW COMMENTS	03-12-2024
3	BERM ADDED AT I-55 ROW	04-29-2024
4	VE SCOPE REDUCTIONS	09-30-2024

**OWNER:**  
MAC HAIK

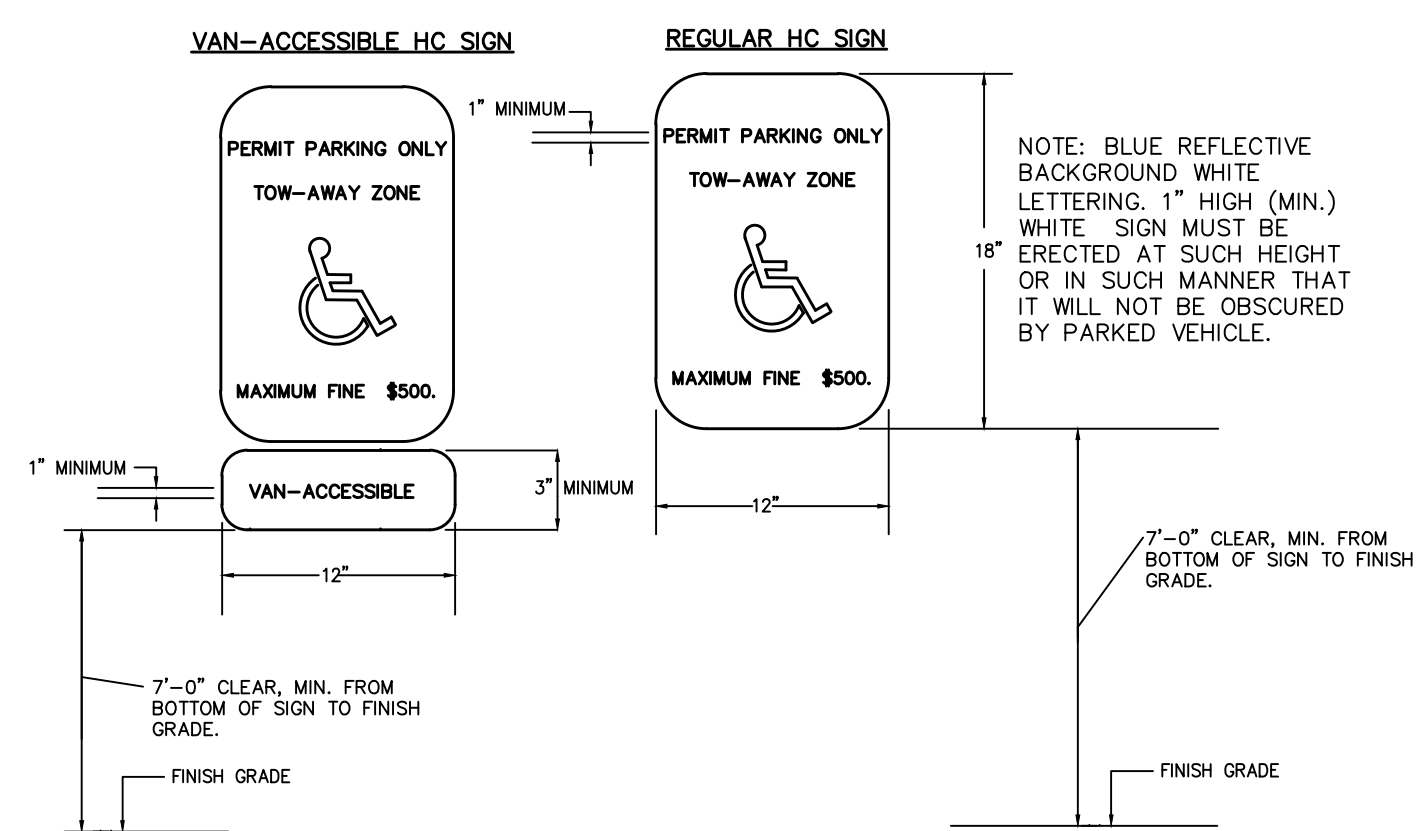
**PROJECT TITLE:** MAC HAIK NEW SERVICE BUILDING

**SHEET TITLE:** EROSION CONTROL PLAN (SWPPP)

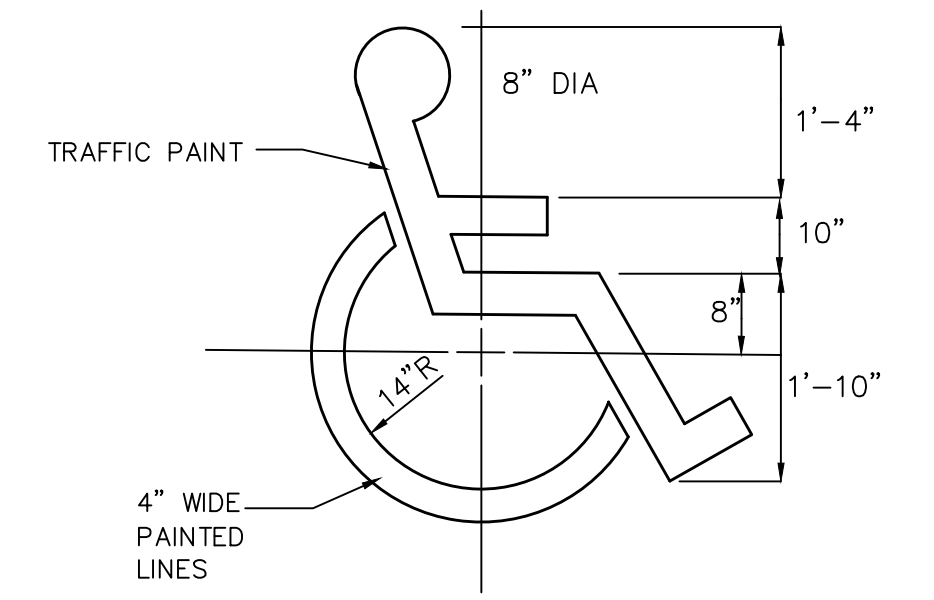
**SITE DEVELOPMENT**

**JOB NO.:** 240201  
**DATE:** 05 FEB 2024  
**SCALE:** AS SHOWN  
**DRAWN BY:** WSD  
**REVIEWED BY:** WSD

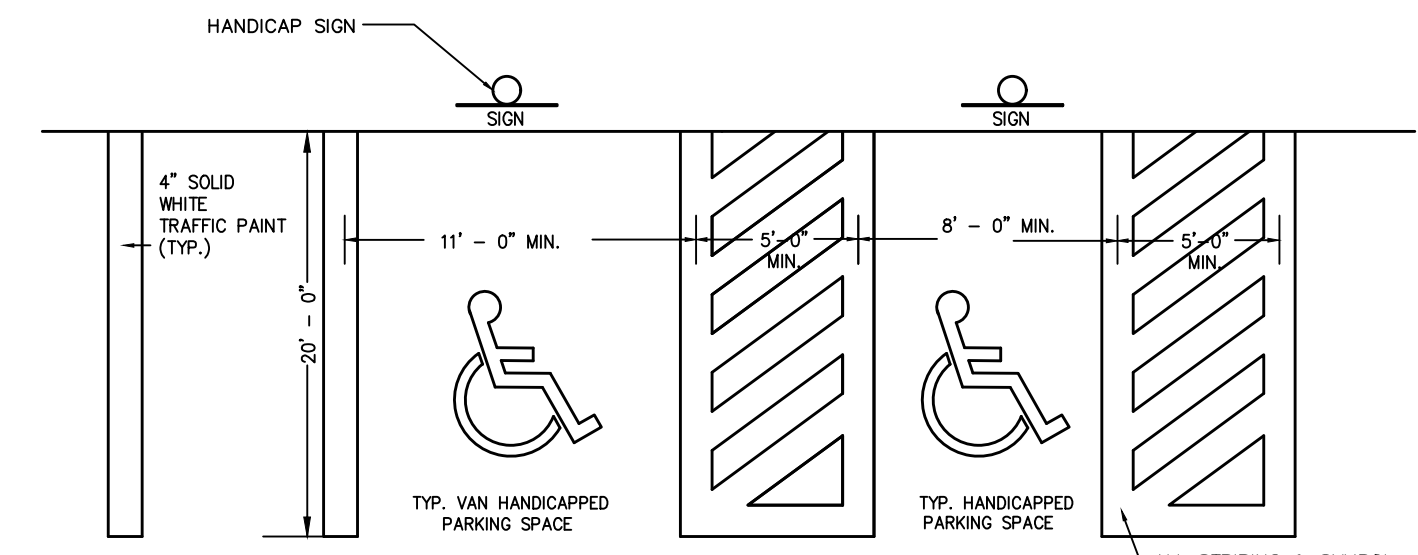
**SHEET NUMBER:**  
**6**



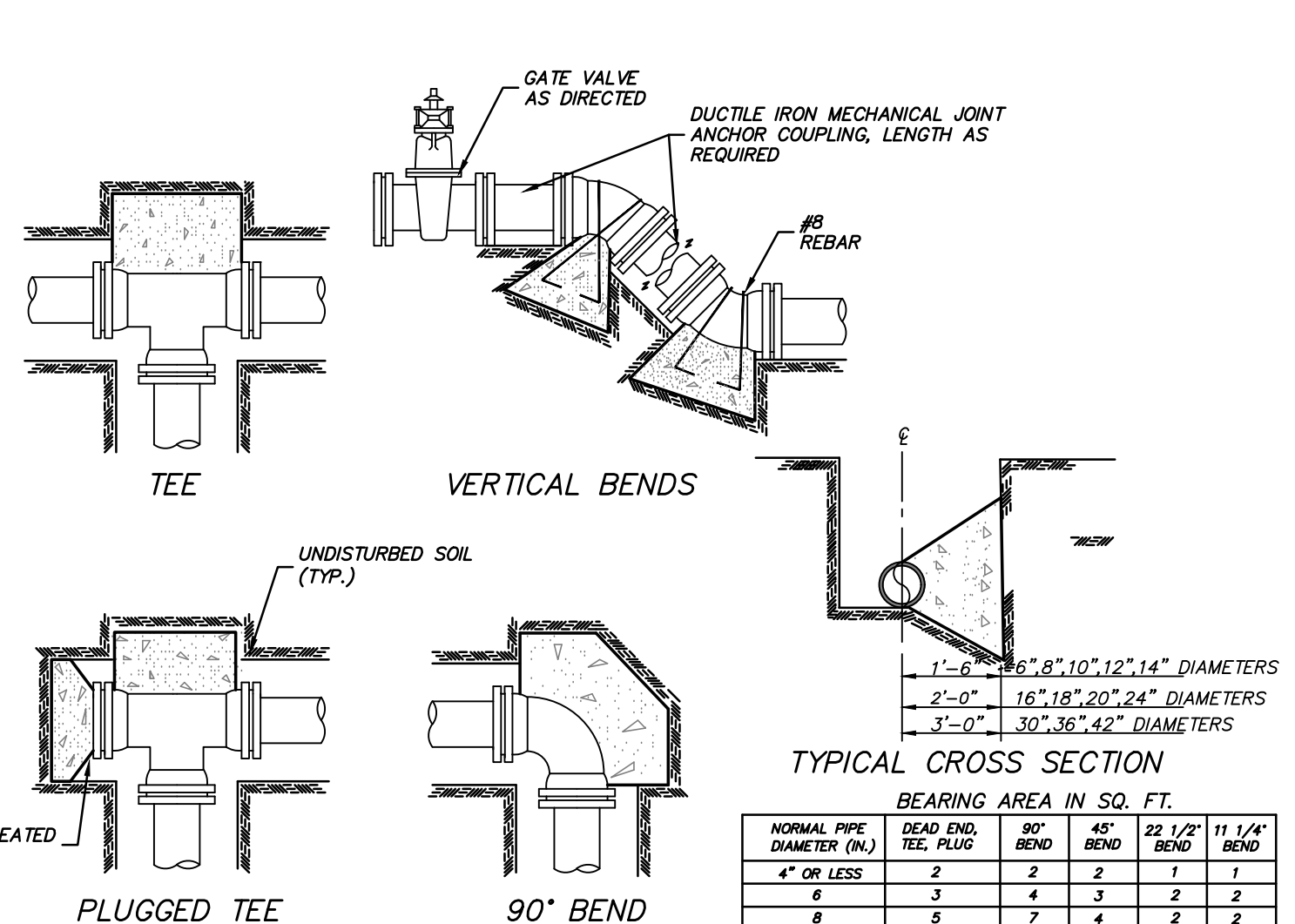
HANDICAP SIGN DETAILS  
N.T.S.



PAINTED HANDICAPPED SYMBOL  
N.T.S.



HANDICAPPED PAVEMENT STRIPING  
N.T.S.



TYPICAL CROSS SECTION

BEARING AREA IN SQ. FT.

NORMAL PIPE DIAMETER (IN.)	DEAD END, RE. PLUG	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4" OR LESS	2	2	1	1	1
6	3	4	3	2	2
8	5	7	4	2	2
10	8	12	6	3	3
12	12	16	9	5	3
14	14	18	11	6	4
16	16	20	12	7	6

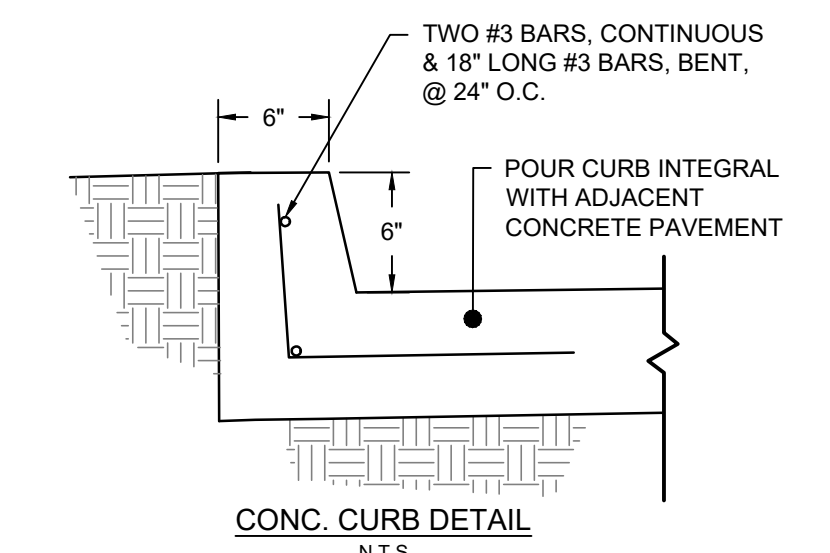
VERTICAL BENDS

4" OR LESS	6	8	10	12	14	16
18.0(22)	14.0(19)	10.0(13)	6.0(8)	4.0(5)	3.0(4)	2.0(3)
22.0(29)	14.0(19)	10.0(13)	6.0(8)	4.0(5)	3.0(4)	2.0(3)
27.0(35)	16.0(21)	11.0(14)	7.0(9)	5.0(6)	4.0(5)	3.0(4)
32.0(42)	18.0(24)	13.0(17)	9.0(12)	6.0(8)	5.0(6)	4.0(5)
37.0(48)	20.0(27)	15.0(20)	11.0(14)	8.0(11)	7.0(9)	6.0(8)
42.0(55)	22.0(29)	17.0(22)	13.0(17)	10.0(13)	9.0(12)	8.0(11)

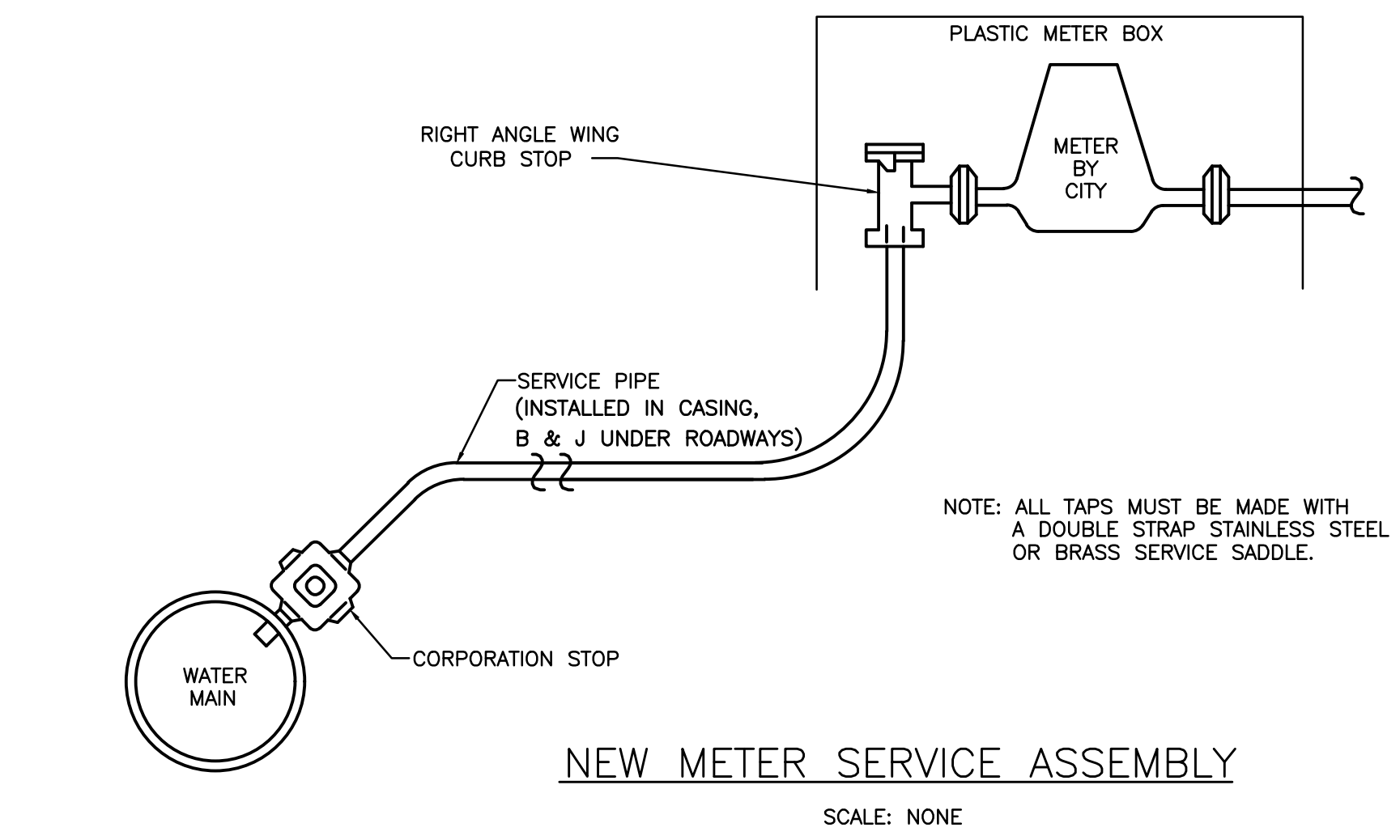
VOLUME OF BLOCKS INCLUDING SOIL LOAD CU. FT. (CU. YDS.)

- THRUST BLOCK NOTES:
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH.
  - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
  - POUR THRUST BLOCKS AGAINST UNDISTURBED SOIL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE SOIL AND EXTEND THRUST BLOCKS TO UNDISTURBED SOIL.
  - IN BACK FILLING, ANY MUCK ENCOUNTERED SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL.
  - WRAP ALL FITTINGS WITH 8-MIL POLYETHYLENE ENCASEMENT.
  - BACK FILL MATERIAL SHALL NOT INCLUDE ROCK OR BOULDERS.
  - ALL CONCRETE SHALL BE MINIMUM 2500 PSI.
  - THRUST BLOCKS SHALL BE AN ABSORBED COST.
  - MEGA LUG RESTRAINTS OR APPROVED EQUAL REQUIRED ON ALL MECHANICAL JOINT FITTINGS.
  - CONTRACTOR SHALL PROVIDE JOINT RESTRAINTS AS REQUIRED PER PROJECT SPECIFICATIONS.

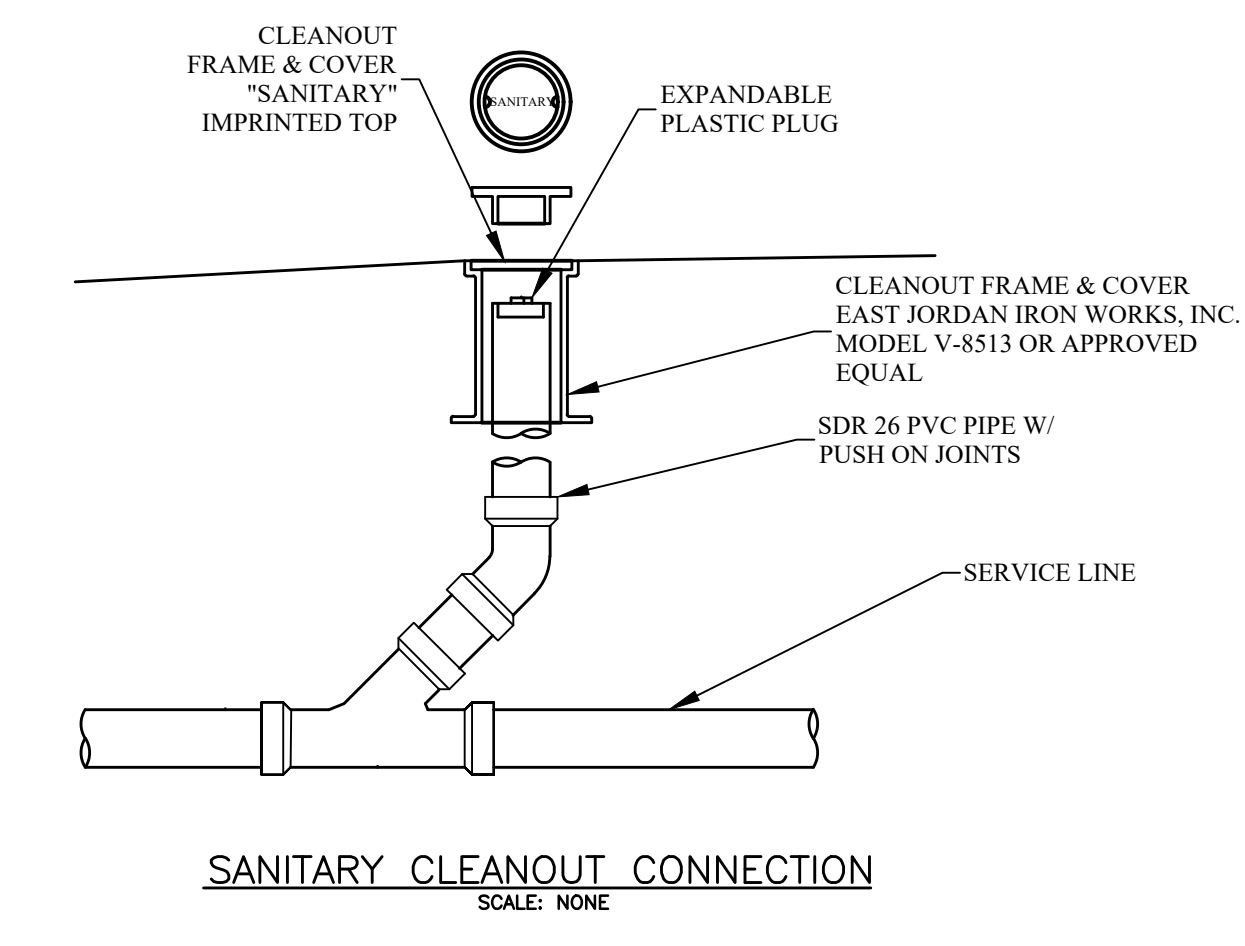
TYPICAL THRUST BLOCK



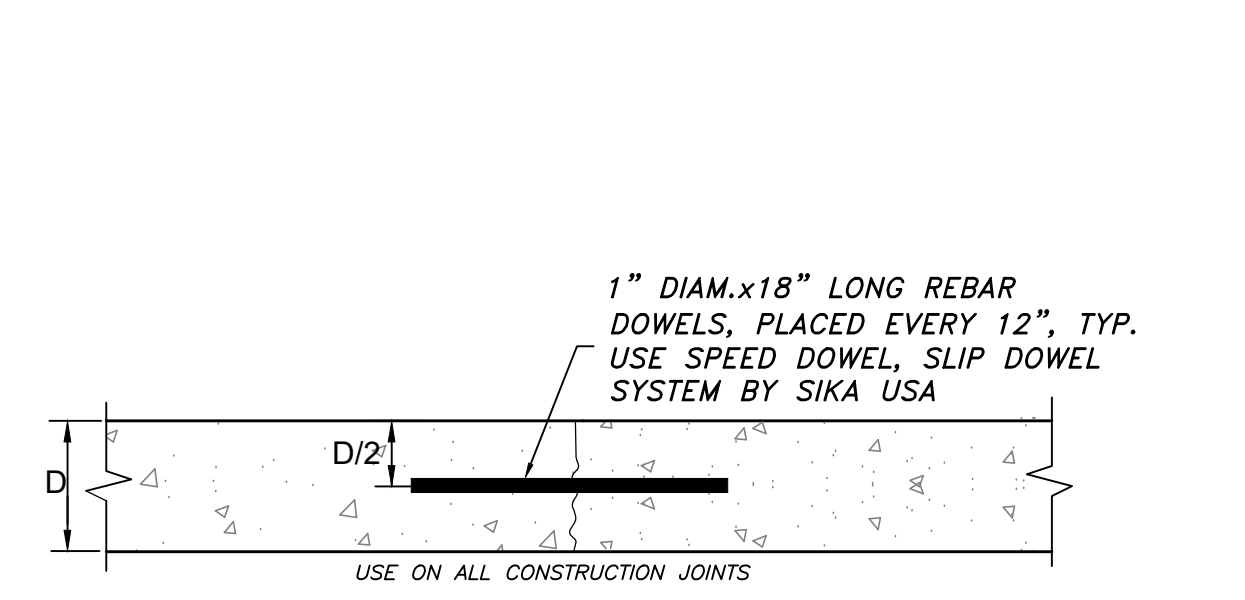
CONCRETE ROLL CURB & GUTTER DETAILS  
N.T.S.



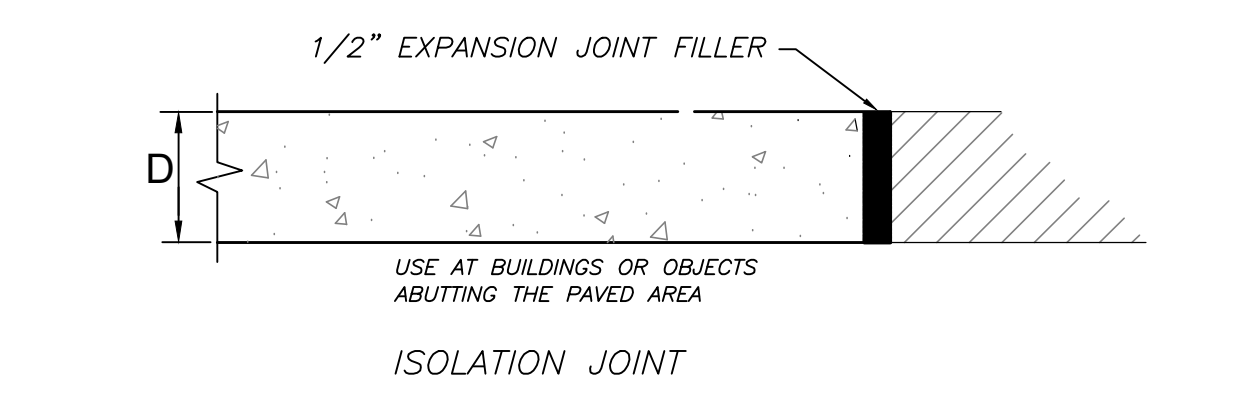
NEW METER SERVICE ASSEMBLY  
SCALE: NONE



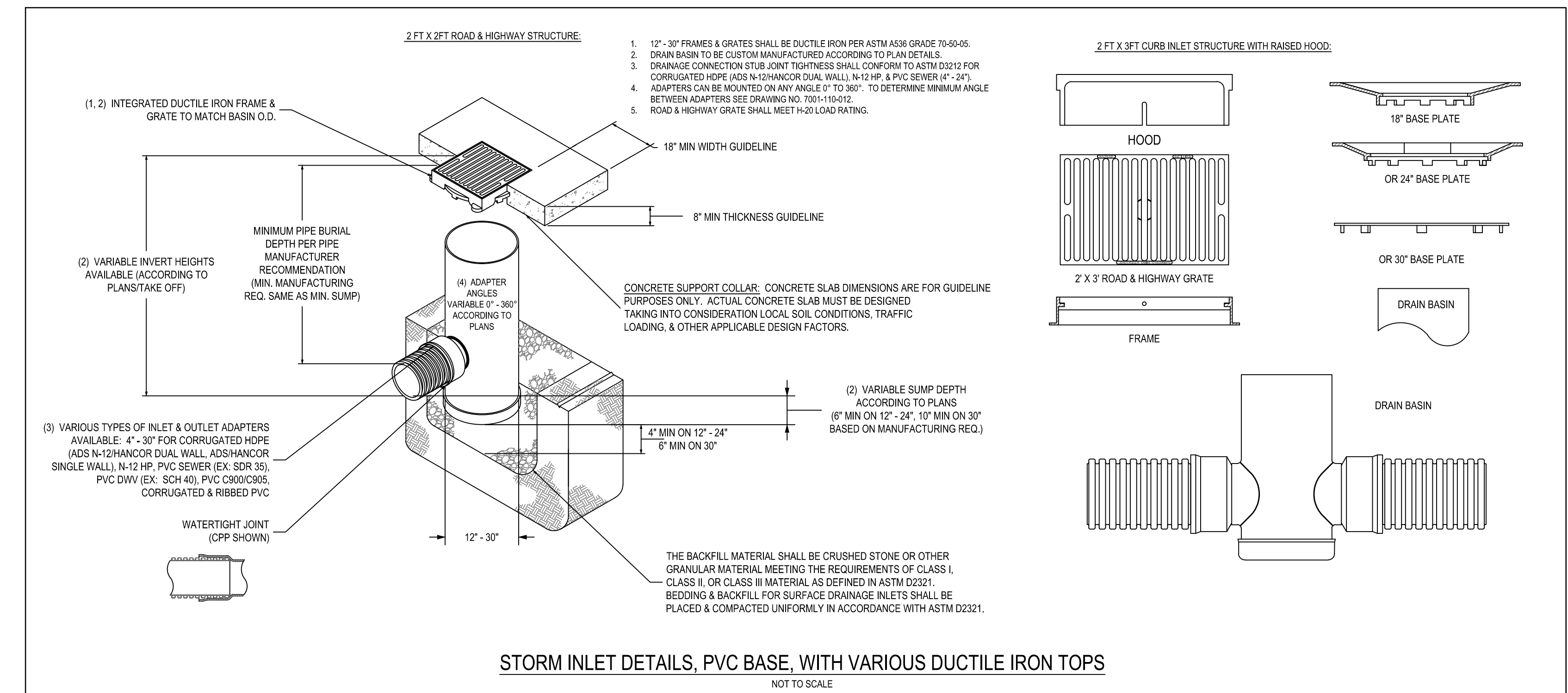
SANITARY CLEANOUT CONNECTION  
SCALE: NONE



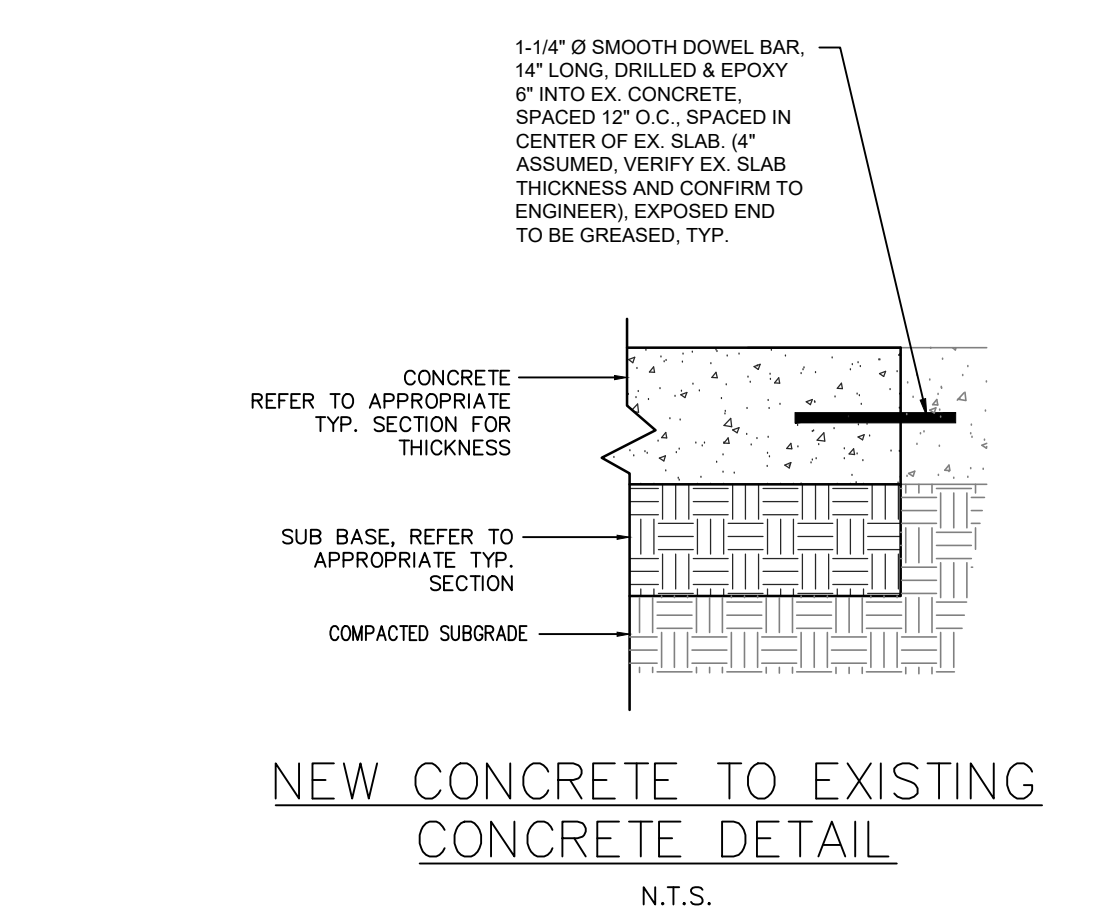
JOINT REINFORCEMENT @ CONSTRUCTION/CONTRACTION JOINTS



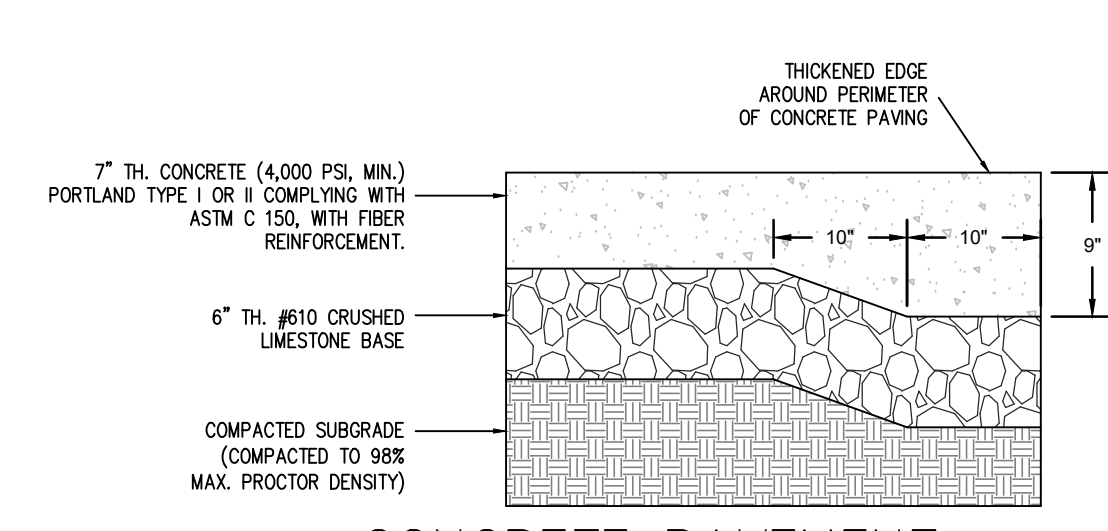
CONCRETE PAVING JOINT DETAILS  
N.T.S.



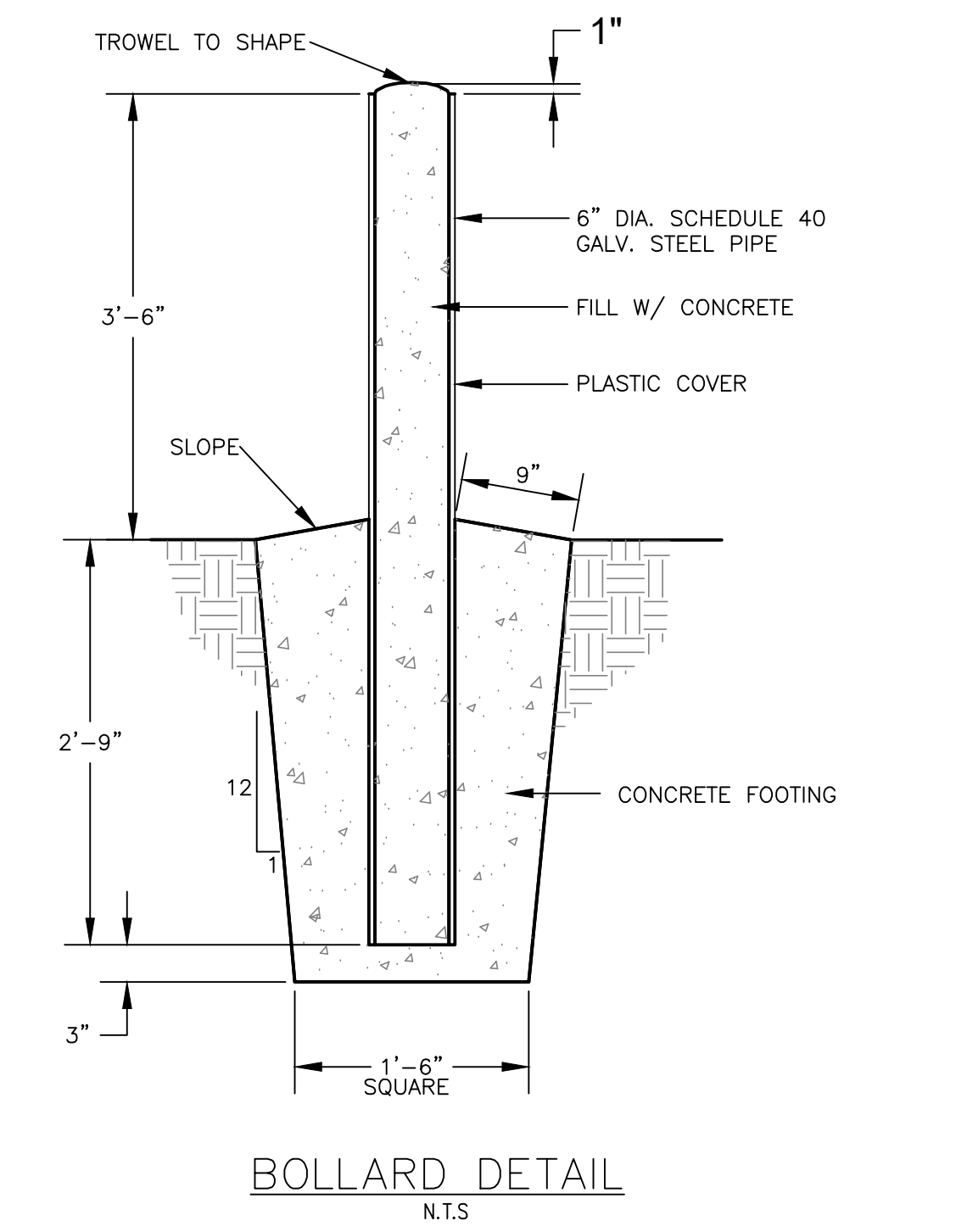
STORM INLET DETAILS, PVC BASE, WITH VARIOUS DUCTILE IRON TOPS  
NOT TO SCALE



NEW CONCRETE TO EXISTING CONCRETE DETAIL  
N.T.S.



CONCRETE PAVEMENT  
N.T.S.



BOLLARD DETAIL  
N.T.S.

**DEAN ENGINEERING SOLUTIONS, INC.**  
 4780 I-55 NORTH, SUITE 100-4  
 JACKSON, MS 39211  
 601-557-2002 WWW.DEANESI.COM

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MISSISSIPPI  
 20057  
 04-29-2024

**W. SETH DEAN**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MISSISSIPPI  
 20057  
 04-29-2024

DRAWING ISSUED

No.	Description	Date
1	PLANS SUBMITTED FOR REVIEW	02-27-2024
2	PLANS REVISED PER REVIEW COMMENTS	03-12-2024
3	BERM ADDED AT I-55 ROW	04-29-2024

OWNER:  
**MAC HAIK**  
 ALTBAHN LOOP  
 GLUCKSTADT, MS 39110

PROJECT TITLE: **MAC HAIK NEW SERVICE BUILDING**  
 SHEET TITLE: **DETAILS**  
 SITE DEVELOPMENT

JOB NO.: 240201  
 DATE: 05 FEB 2024  
 SCALE: AS SHOWN  
 DRAWN BY: WSD  
 REVIEWED BY: WSD

SHEET NUMBER:  
**7**





PEOPLES CONSTRUCTION CORP.

3913 UNDERWOOD DRIVE  
FLOWOOD, MS 39232  
(601) 932-1111

COPYRIGHT

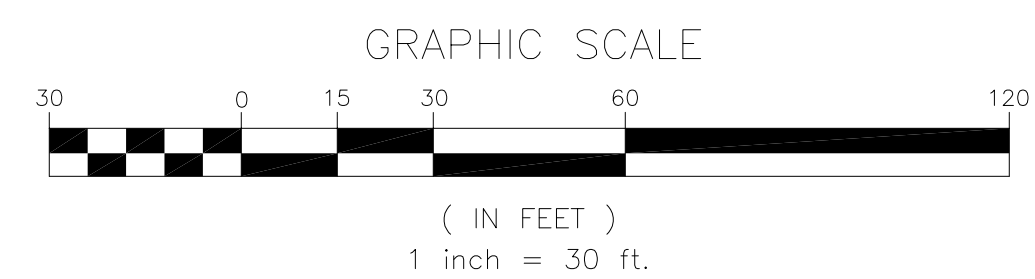
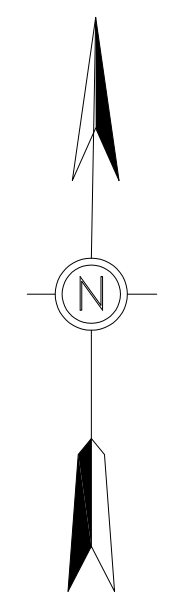
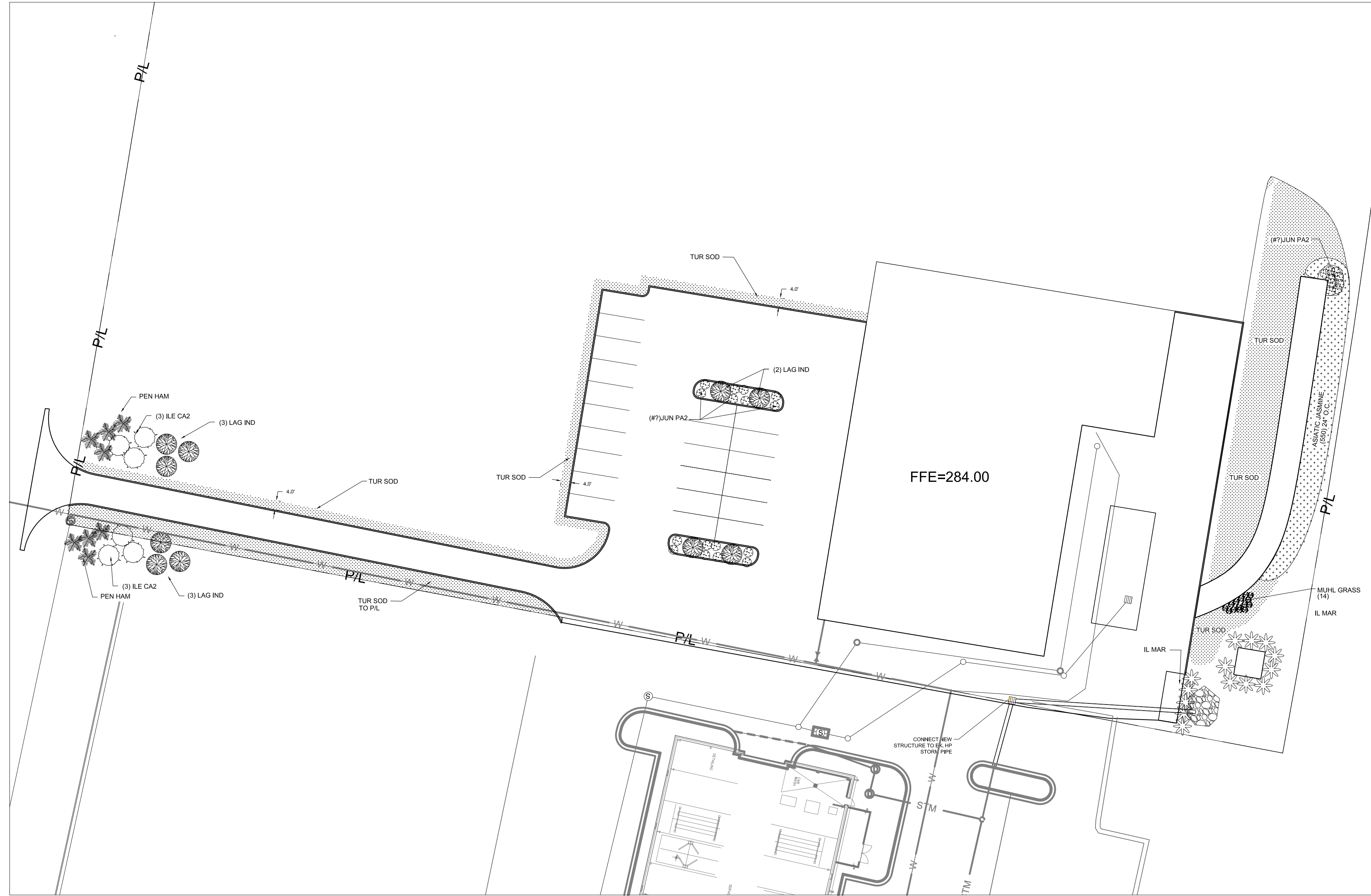
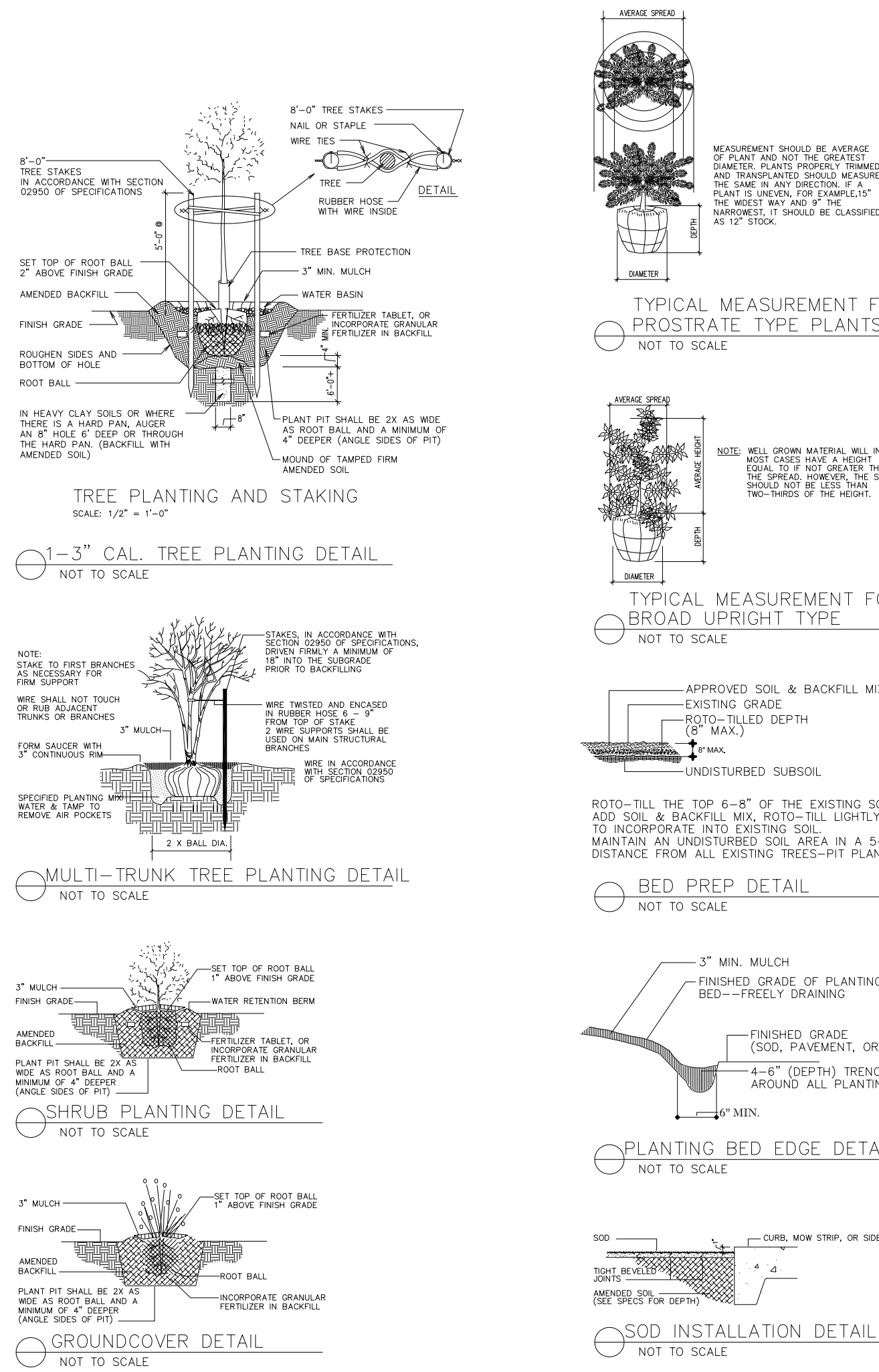
10/01/2024

A PROPOSED LANDSCAPE PLAN FOR:  
**MAC HAIK, GLUCKSTADT**  
GLUCKSTADT, MISSISSIPPI

Drawn by: TMA  
Checked by: JP

SHEET **L-1**

DODGE CHRYSLER			
PLANT SCHEDULE			
TREE	CODE	QTY.	COMMON NAME
	ILE CA2	6	CARRISSA HOLLY
	LAG IND	10	NATCHEZ WHITE CREPE MYRTLE
	PEN HAM	8	HAMELIN DWARF FOUNTAIN GRASS
	JUN PA2	?	PARSONS JUNIPER
	IL MAR	14	NEEDLEPOINT HOLLY
	TUR SOD	7,462 SQ.FT.	TIFWAY 419 BERMUDA
	CYN DAC	DISTURBED AREA	HYBRID BERMUDA GRASS SEED
			MUHLI GRASS





SITE CONTEXT



**PEOPLES CONSTRUCTION**

DESIGN - BUILD GENERAL CONTRACTORS  
3913 Underwood Drive || Flowood, MS 39232  
Office: 601-932-1111 || Fax: 601-932-1112  
www.peoplesconstruction.com

Project Title

**NEW SERVICE BUILDING FOR MAC HAIK**

GLUCKSTADT, MS

Date 6/27/2024  
Drawn By AGR  
Checked By Checker

Sheet Number  
**G1**  
Professional Seal

100% SALES  
DRAWINGS

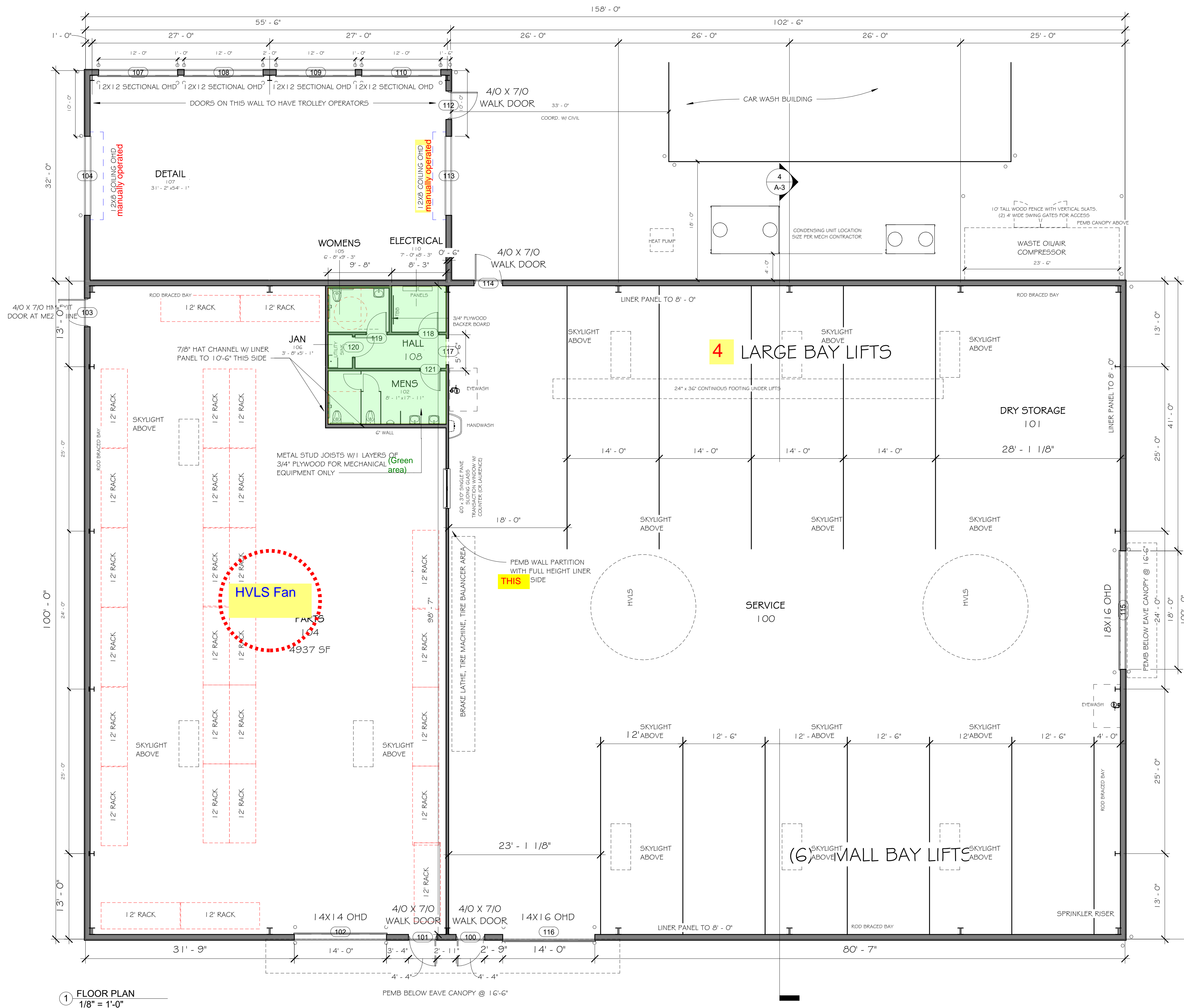


### ARCHITECTURAL NOTES

- 1) PROVIDE 6" WHITE VINYL BACK ROOF INSULATION & 4" WHITE VINYL BACK WALL INSULATION
- 2) PROVIDE FIBERGLASS ROOF SKYLIGHTS
- 3) PROVIDE FULLY SPRINKLERED BUILDING

### BUILDING CALCULATIONS

OVERALL SQUARE FOOTAGE - 17,672 SF  
 TOTAL BUILDING HEIGHT - 24'-1"



1 FLOOR PLAN  
 1/8" = 1'-0"

**PEOPLES CONSTRUCTION**  
 DESIGN - BUILD GENERAL CONTRACTORS  
 3913 Underwood Drive || Flowood, MS 39232  
 Office: 601-932-1111 || Fax: 601-932-1112  
 www.peoplesconstruction.com

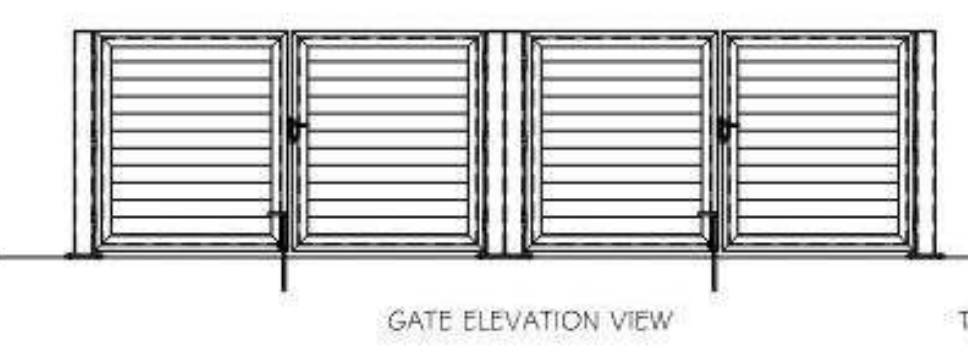
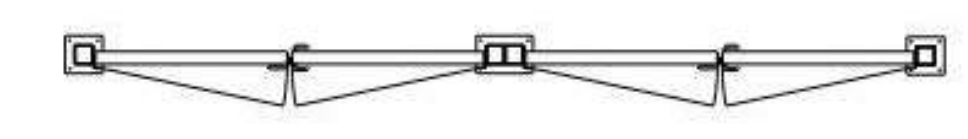
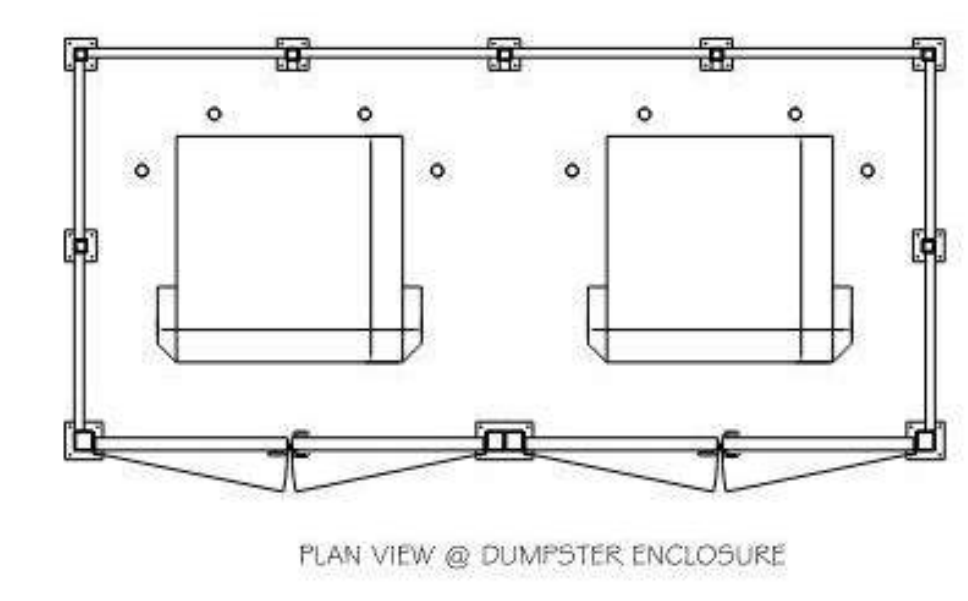
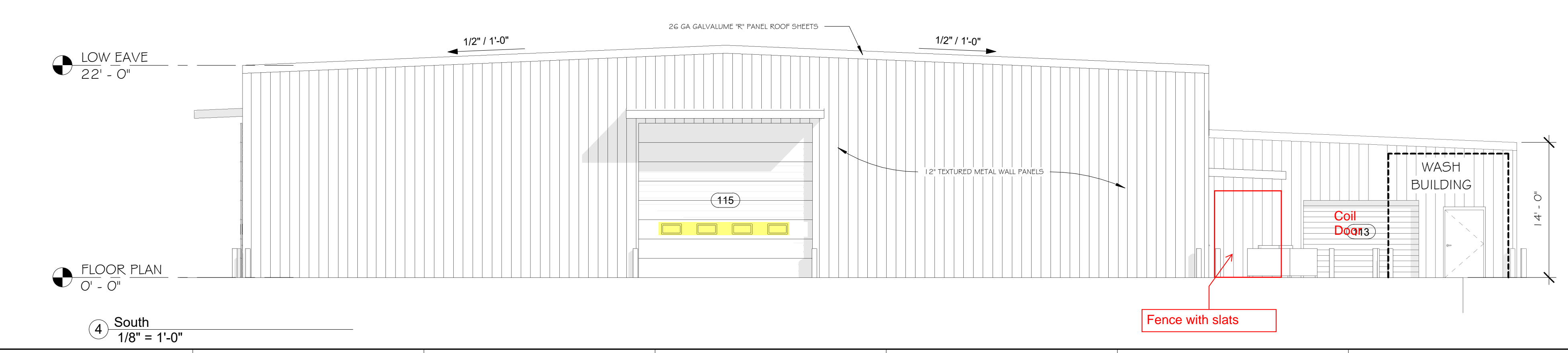
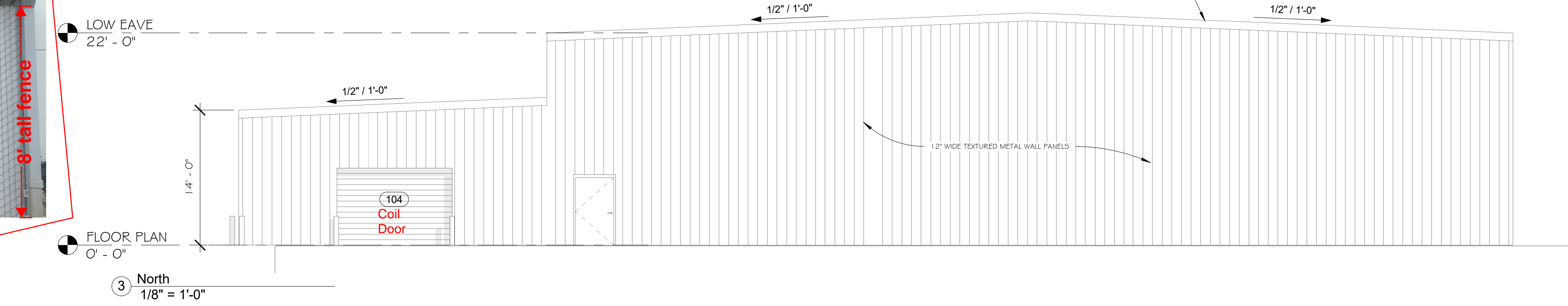
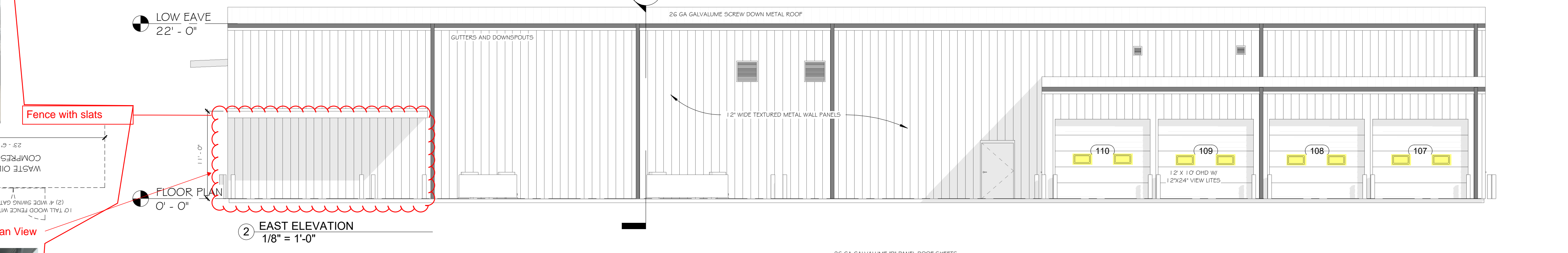
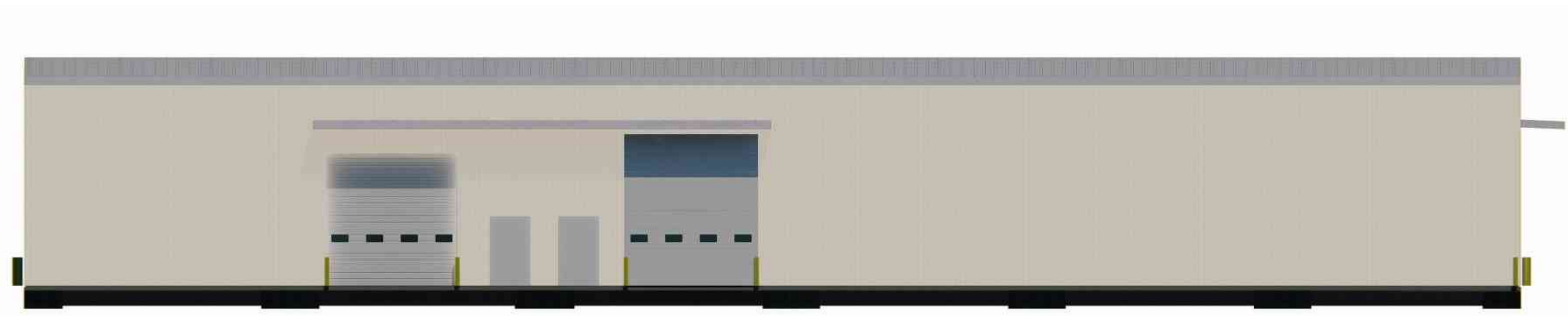
Project Title  
**NEW SERVICE BUILDING FOR MAC HAIK**  
 GLUCKSTADT, MS

Date 6/27/2024  
 Drawn By AGR  
 Checked By Checker

Sheet Number  
**A-1**  
 Professional Seal

100% SALES DRAWINGS





Fence with slats

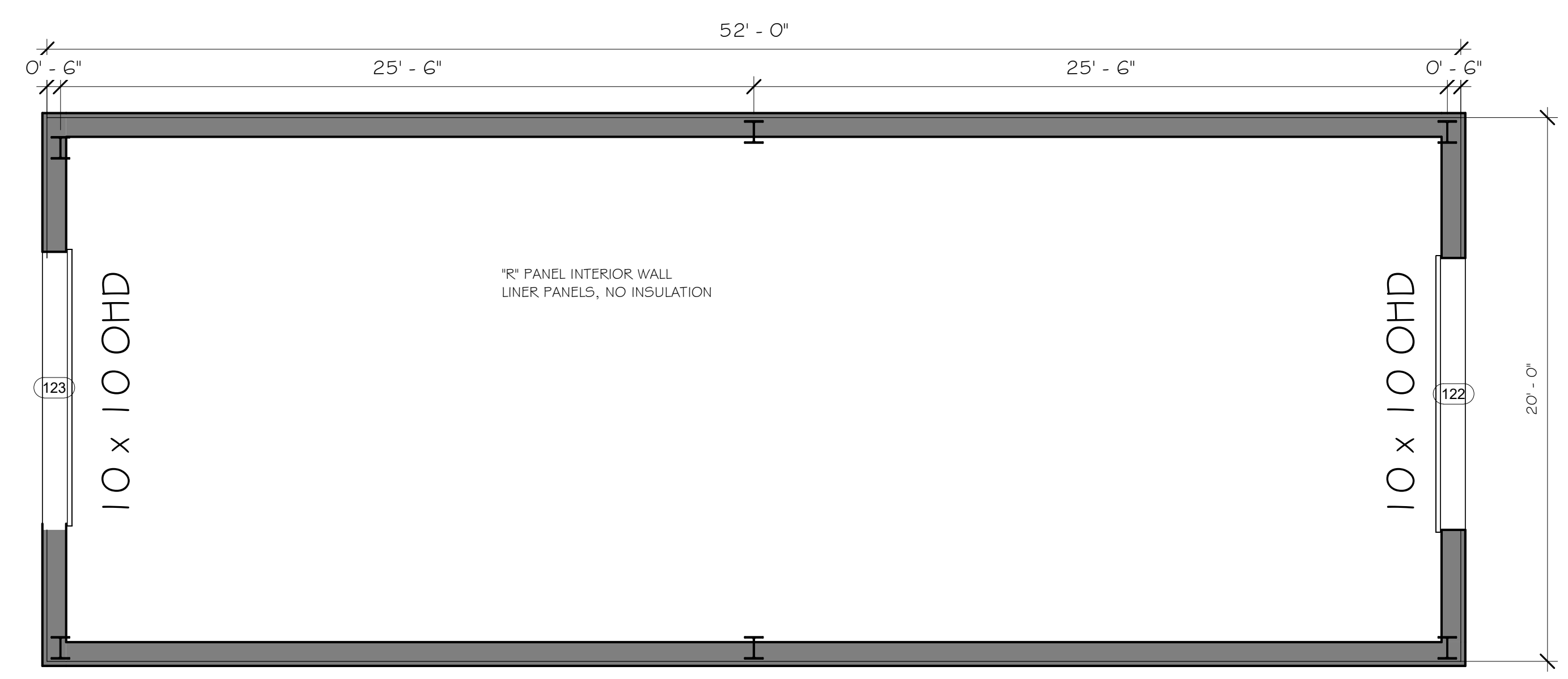
23'-0"  
 WASTE OIL/FARE COMPRESSOR  
 (2) 1/2\"/>

Plan View

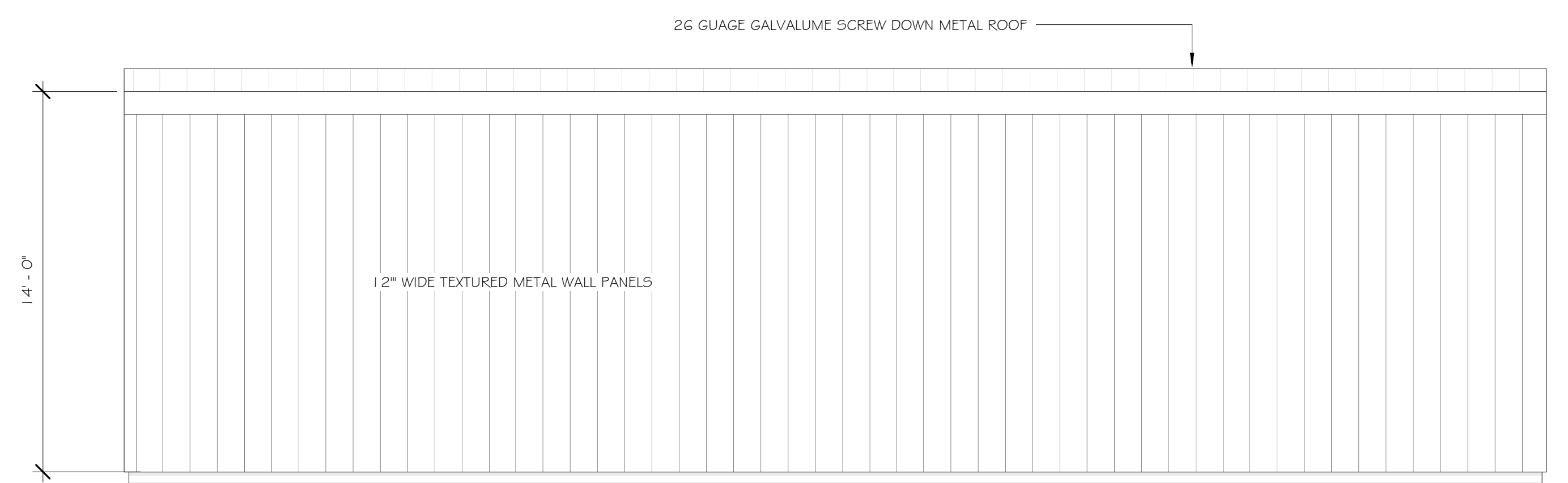


4 South  
 1/8\"/>

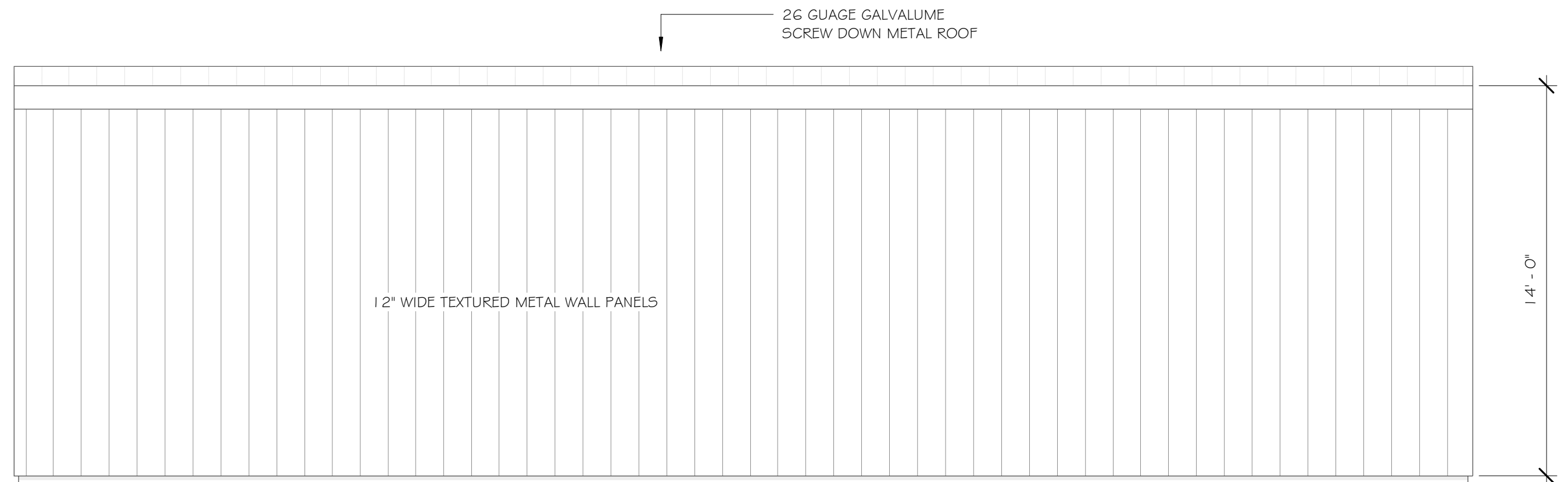




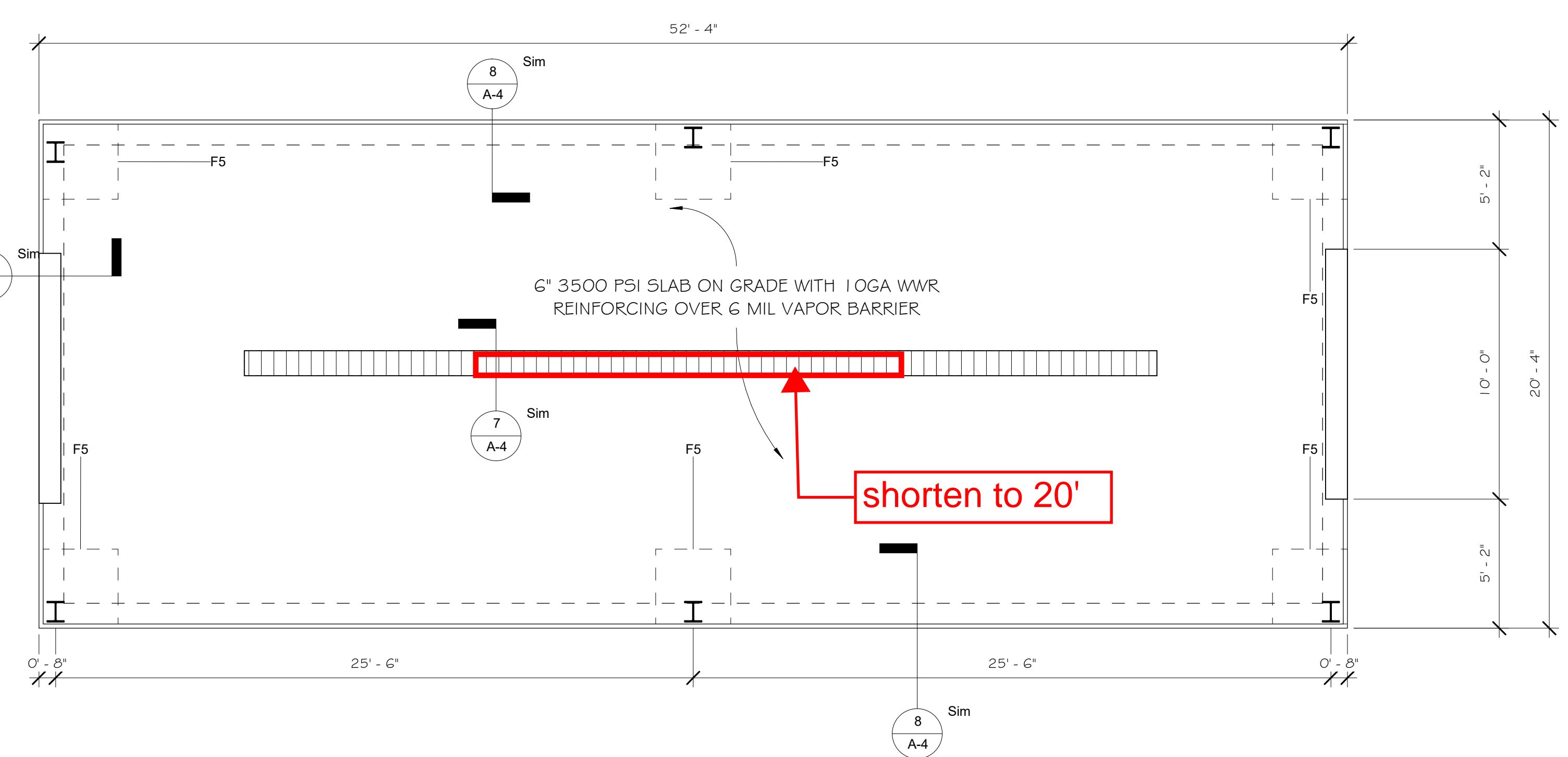
1 WASH BAY FLOOR PLAN  
 1/4" = 1'-0"



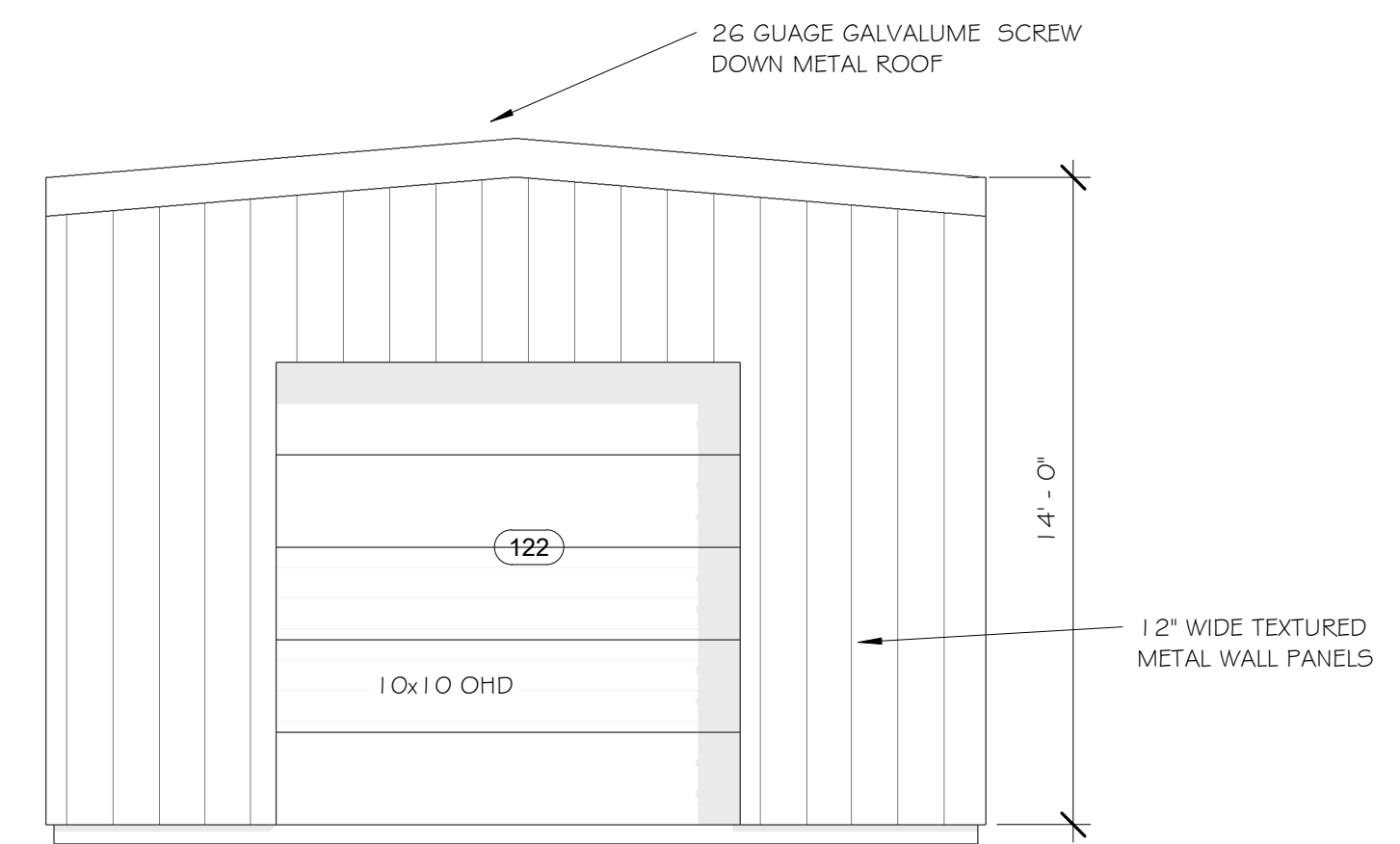
2 WASHBAY EAST ELEVATION  
 1/4" = 1'-0"



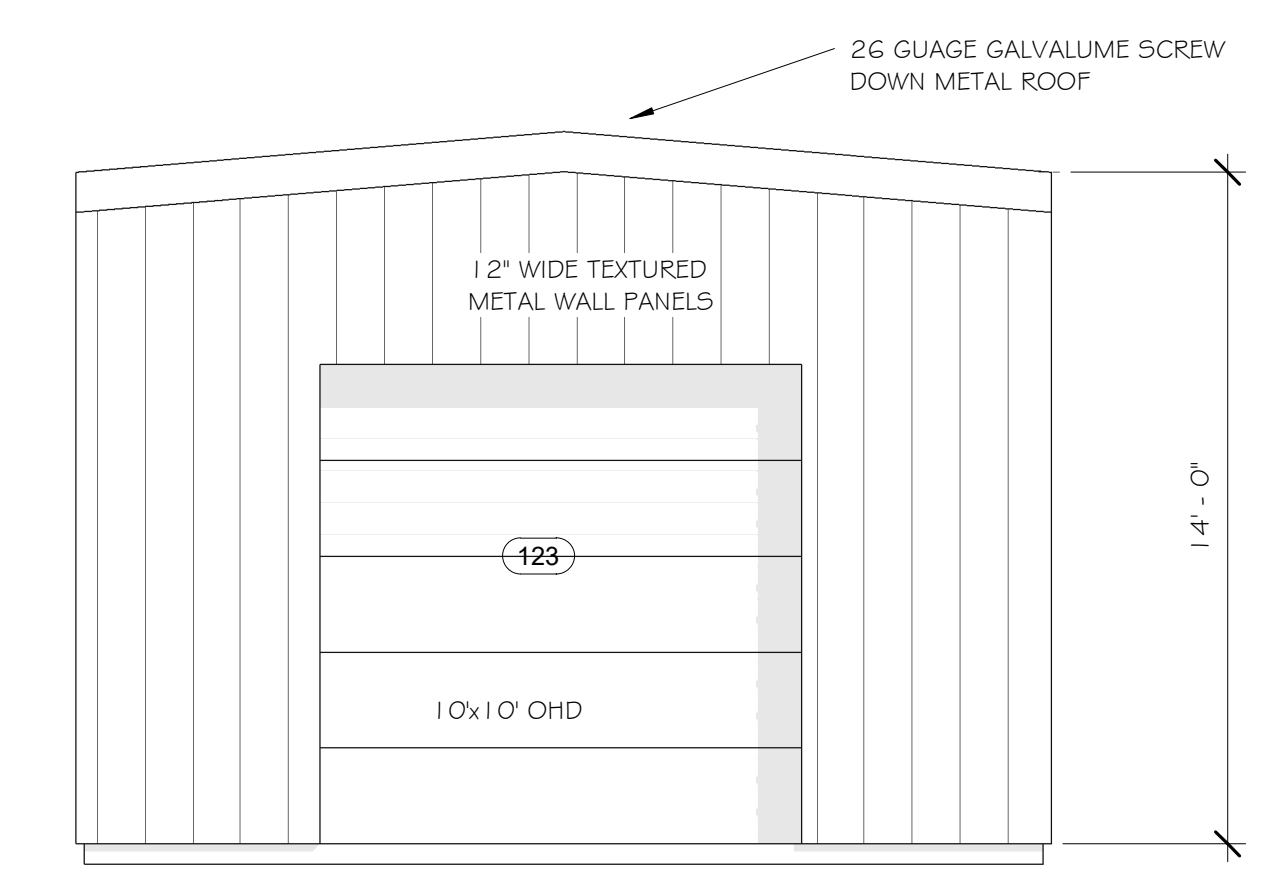
5 WASHBAY WEST ELEVATION  
 1/4" = 1'-0"



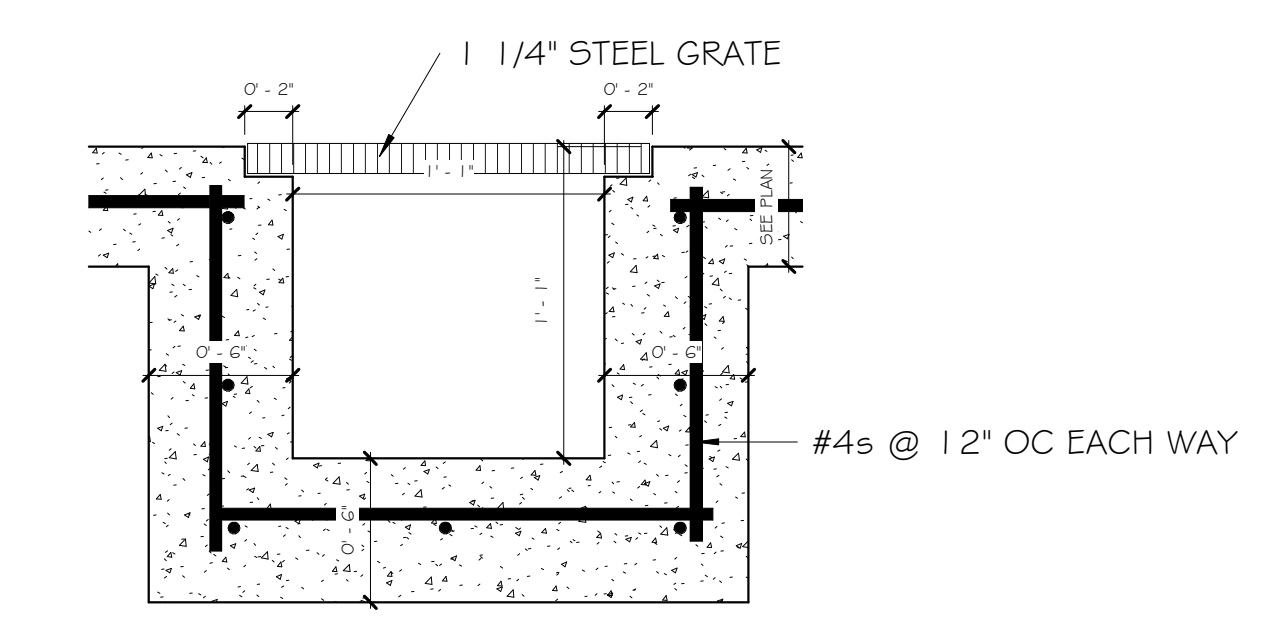
6 Washbay Foundation  
 1/4" = 1'-0"



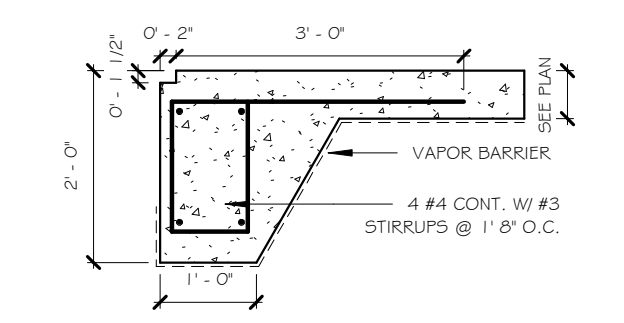
4 WASHBAY NORTH ELEVATION  
 1/4" = 1'-0"



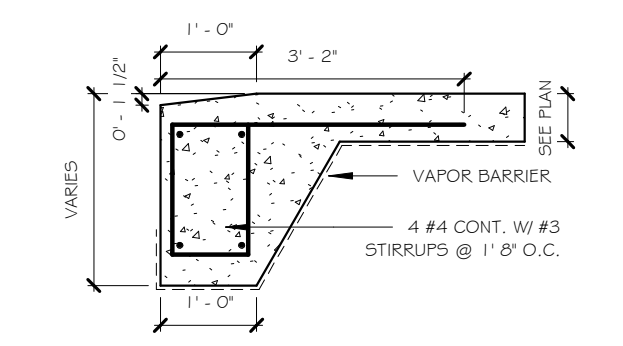
3 WASHBAY SOUTH ELEVATION  
 1/4" = 1'-0"



7 TRENCH DRAIN DETAIL  
 1 1/2" = 1'-0"



8 TYPICAL GRADE BEAM WITH SHEET NOTCH DETAIL 2  
 1/2" = 1'-0"



9 TYPICAL GRADE BEAM AT OHD DETAIL 2  
 1/2" = 1'-0"