



PLANNING & ZONING COMMISSION MEETING

Tuesday, June 27, 2023 at 6:00 PM

Agenda

1. **Call to Order**
2. **Consideration and Approval of Minutes**
 - [A\)](#) Approval of May 23rd 2023 minutes
3. **New Site Plan Considerations**
 - [A\)](#) Discussion and Consideration of Conditional Use for Madison Motor Werks
 - [B\)](#) Discussion and Consideration of Madison Motor Werks Site Plan
4. **Request for Rezoning**
5. **New Business**
6. **Next Meeting**
 - A) The Next Planning And Zoning Meeting Will Be Held On July 25, 2023
7. **Adjourn**



PLANNING & ZONING COMMISSION MEETING

Tuesday, May 23, 2023 at 6:00 PM

Minutes

Call to Order

Chairman Greer called the meeting to order.

The following Commissioners were present: Commissioner Sam McGaugh, Commissioner Tim Slattery, Commissioner Katrina Myricks, Commissioner Kayce Saik, Commissioner Andrew Duggar and Commissioner Andrew Duggar.

City Employees William Hall, Mike McCollum and Bridgette Smith and City Attorneys John Scanlon and Zach Giddy were present.

Consideration and Approval of Minutes

Commissioner Greer made the motion to approve the April 25, 2023 minutes.

Commissioner McGaugh second the motion, and the motion carried.

Approval of April 25th 2023 minutes

New Site Plan Considerations

Joni's House Conditional Use Consideration

Commissioner Greer opened the public hearing for Joni's House.

Russ Blount with Dale Partners gave a brief introduction on the development, which will have 30 residential rooms for lodging and 8 camp houses. Commissioner McGaugh recommended the entrance off Stout Road serve as a gated service entrance for controlled access to the property.

The board recommended a variance due to the height requirements which will be 4 stories.

Commissioner McGaugh made the motion to approve.

Commissioner Myrick seconded the motion to approve.

The motion carried and was approved by all Commissioners.

Hilton Home 2 Suite Dimensional Variance Application Consideration

Commissioner Saik suggested a peak roof versus a flat roof surface. The project will consist of 90 rooms with 4 stories in height. The commissioners discussed the drainage concerns for rerouting the streams. The motion was tabled, the board recommended adjustments to decor and color to match adjacent developments and finalize floor plan.

Hilton Home 2 Site Plan Consideration

Commissioner Saik suggested a peak roof versus a flat roof surface. The project will consist of 90 rooms with 4 stories in height. The commissioners discussed the drainage concerns for rerouting the streams. The motion was tabled, the board recommended adjustments to decor and color to match adjacent developments and finalize floor plan.

Springhill Suites Dimensional Variance Application Consideration

The project was approved, contingent on floor plan and storm water review and approval by the City of Gluckstadt Building Department.

Springhill Suites Site Plan Consideration

The project was approved, contingent on floor plan and storm water review and approval by the City of Gluckstadt Building Department.

Madison Motor Werks Site Plan Consideration

The project was tabled until next Planning and Zoning meeting, June 27, 2023.

Autozone Site Plan Consideration

The project was approved, the board requested changes to the facade to make the appear more compatible with the surrounding buildings.

Commissioner Phillips Kind made the motion to approve.

Commissioner Andrew Duggar seconded the motion.

Commissioners Katrina Myricks, Tim Slattery and Melanie Greer voted Yea.

Commissioners Kayce Saik voted Nay.

Commissioner Sam McGaugh abstained

Request for Rezoning

No action was taken.

New Business

The Mayor and Board of Aldeman will hold a Special Call Meeting on May 31, 2023 at 5:00 PM at the City of Gluckstadt Boardroom to discuss the City of Gluckstadt Comprehensive Plan.

Next Meeting

The Next Planning And Zoning Meeting Will Be Held On June 27, 2023

Adjourn

Commissioner McGaugh moved the meeting be adjourned. The motion was seconded by Commissioner Melanie Greer and was approved by all attending members. The Chariman declared the motion carried.

WITNESS OUR HANDS, this the _____ of _____, 2023

MELANIE GREER, Chairman

SAM MCGAUGH, Vice Chairman/Secretary

City of Gluckstadt

Application for Conditional Use

Subject Property Address: Madison Motor Works in Gluckstadt
Parcel #: 082E-21-006
Owner: Stephen Magowan Applicant: Stephen Magowan
Address: 176 American Way Address: _____
Madison MS 39112
Phone #: (601) 968-7838 Phone #: _____
E-Mail: Stephen@madisonmotor E-Mail: _____
works.com
Current Zoning District: C-2
Acreage of Property (If applicable): 1.8/ ac.
Use sought of Property: Automotive Repair

Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.



WOOLDRIDGE & ASSOCIATES
161 CHURCH RD. SUITE 200
MADISON, WI 53703

June 1, 2023

Madison Motor Works

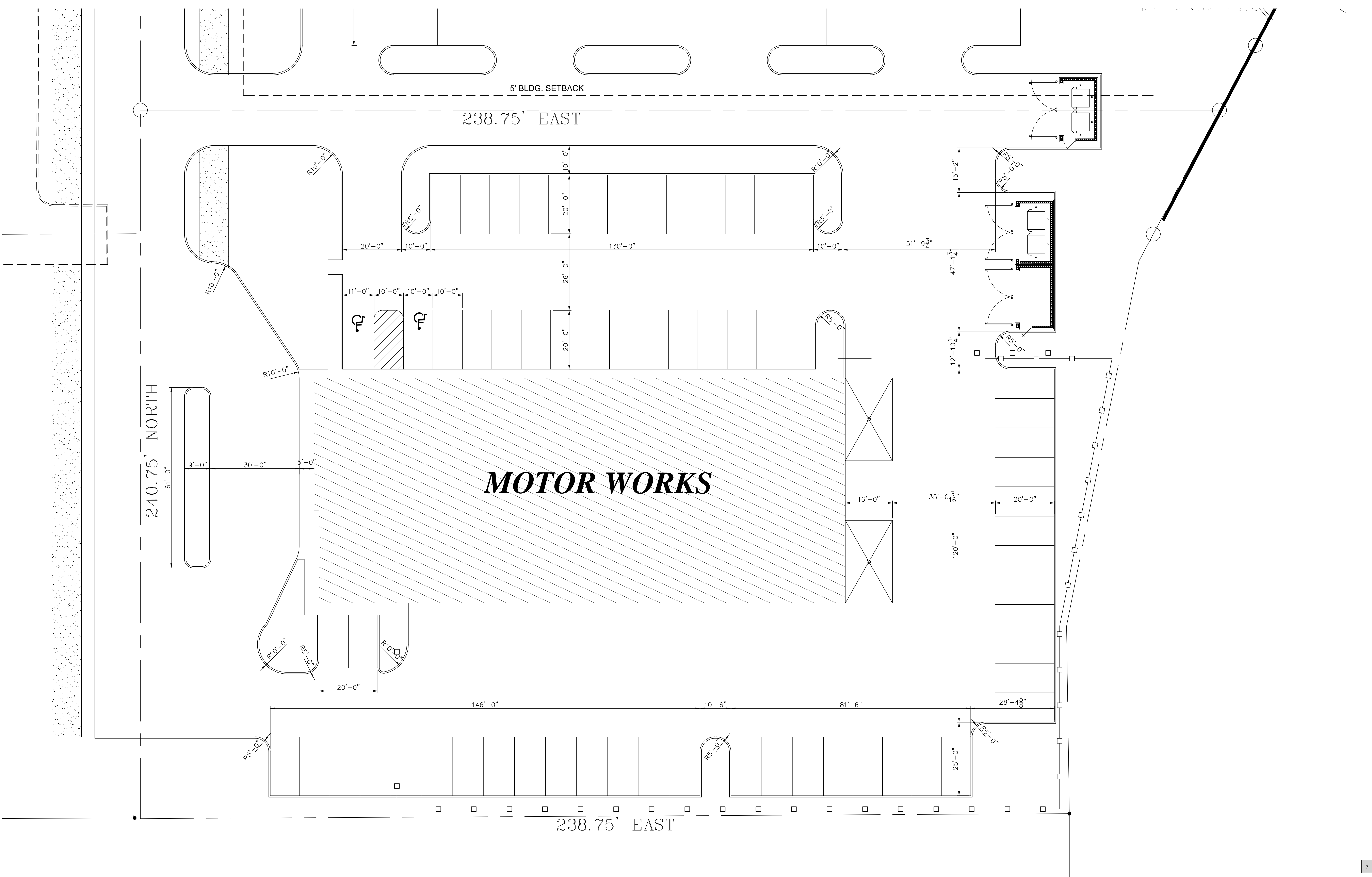
Conditional Use Request

Please find that Madison Motor Works is requesting a Conditional Use as required in article xxii C-2 zoning.

Madison Motor Works will require outside storage on a C-2 zoning. This outside storage will be in the rear of the building with an opaque fence obscuring the view of stored vehicles.

Thank you

Daniel Wooldridge





Section 3, Item A)



Section 3, Item A)

9

Section 3, Item A)



Section 3, Item A)



City of Gluckstadt

Application for Site Plan Review

Subject Property Address: Madison Motorworks in Gluckstadt Village
Parcel #: 082E-21-006

Owner: Stephen Magawen
Address: 176 American Way
Madison, MS 39110

Applicant: Stephen Magawen
Address: _____

Phone #: 601-968-7838

Phone #: 601-968-7838

E-Mail: stephen@madisonmotorworks.com

E-Mail: same

Current Zoning District: C-2

Acreage of Property (if applicable): 1.81 ac

Use sought of Property: Automotive Repair

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.


 Applicant Signature

3.6.23
 Date

CITY OF GLUCKSTADT BUILDING DEPARTMENT

OFFICE USE ONLY

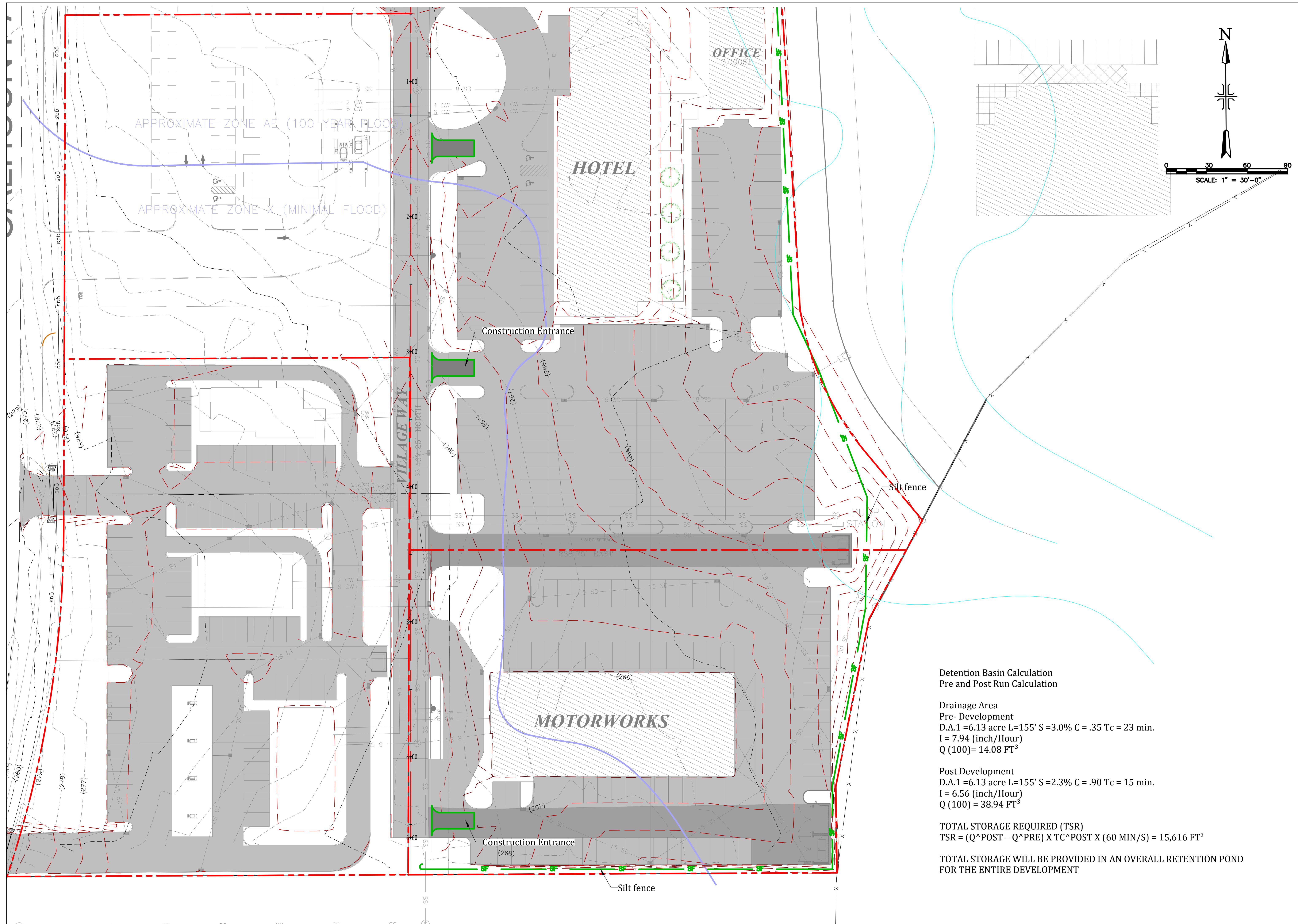
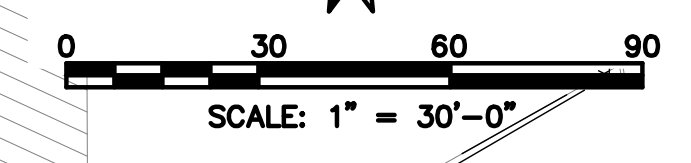
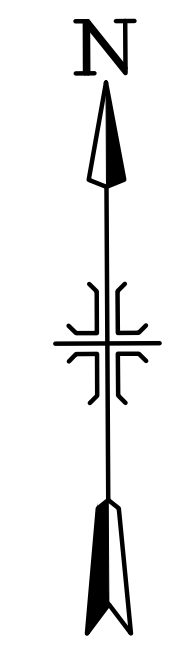
Date Received: _____

Application Complete & Approved to Submit to P&Z Board (please check):

Yes _____ No _____

Signature: _____

Planning & Zoning Administrator (or Authorized Representative)



Detention Basin Calculation
Pre and Post Run Calculation

Drainage Area
Pre- Development
D.A.1 = 6.13 acre L=155' S=3.0% C = .35 Tc = 23 min.
I = 7.94 (inch/Hour)
Q (100) = 14.08 FT³

Post Development
D.A.1 = 6.13 acre L=155' S=2.3% C = .90 Tc = 15 min.
I = 6.56 (inch/Hour)
Q (100) = 38.94 FT³

TOTAL STORAGE REQUIRED (TSR)
TSR = (Q^{POST} - Q^{PRE}) X TC^{POST} X (60 MIN/S) = 15,616 FT³

TOTAL STORAGE WILL BE PROVIDED IN AN OVERALL RETENTION POND FOR THE ENTIRE DEVELOPMENT

**VILLAGE OF GLUCKSTADT
CALHOUN STATION PARKWAY
GLUCKSTADT, MISSISSIPPI
EROSION CONTROL PLAN - SOUTH**

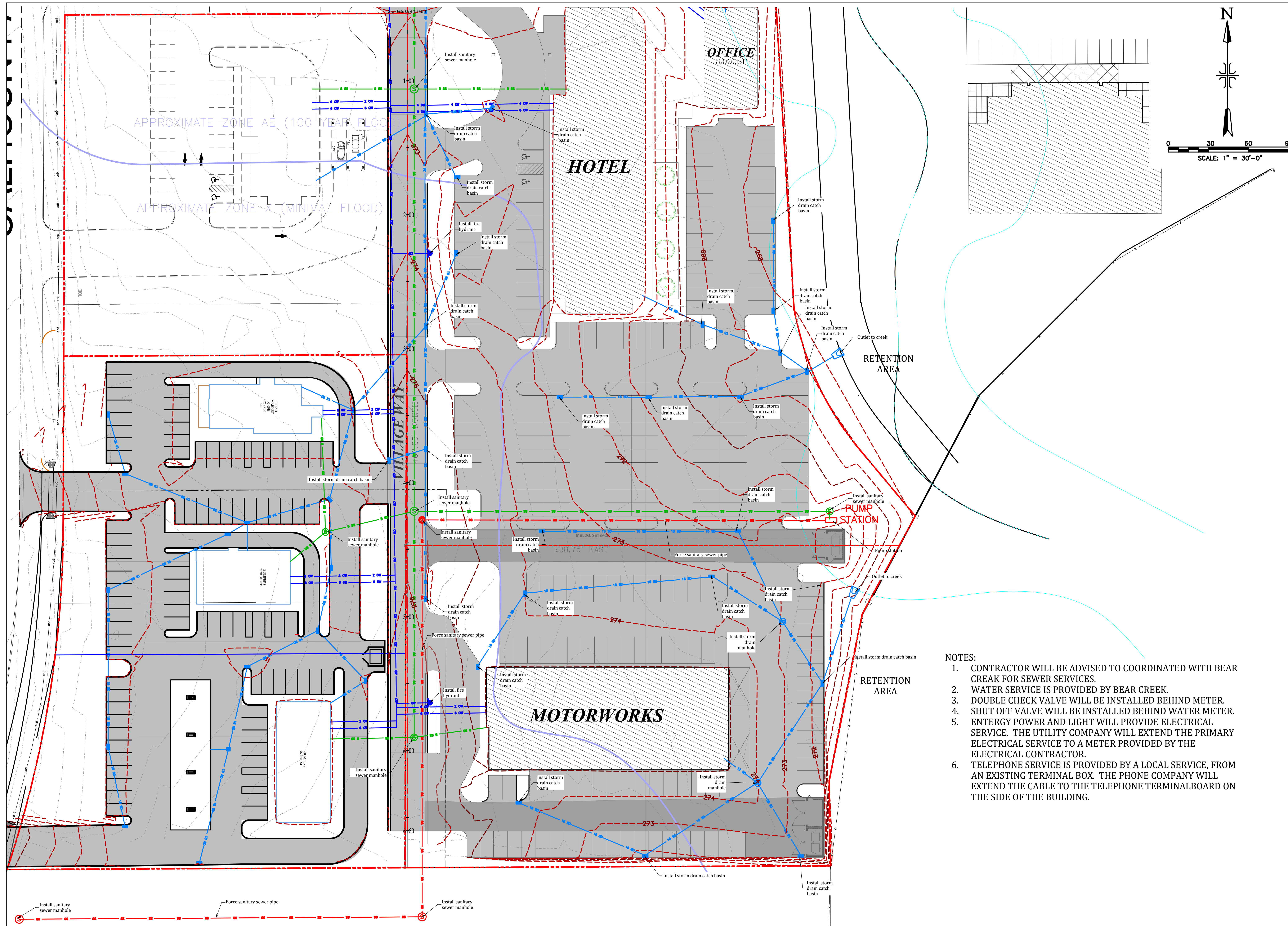
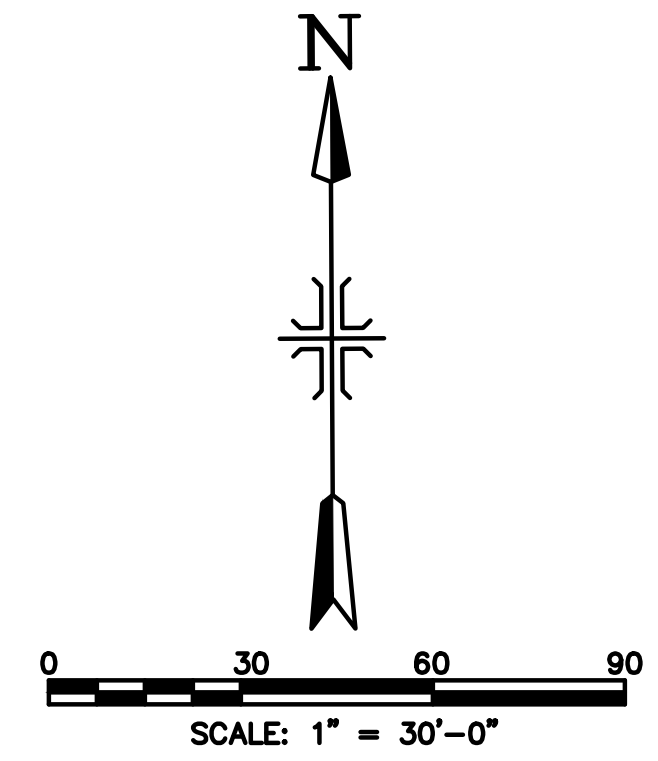
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**VILLAGE OF GLUCKSTADT
CALHOUN STATION PARKWAY
GLUCKSTADT, MISSISSIPPI
UTILITY PLAN - SOUTH**

SYMBOL	REVISIONS	DESCRIPTION	DATE

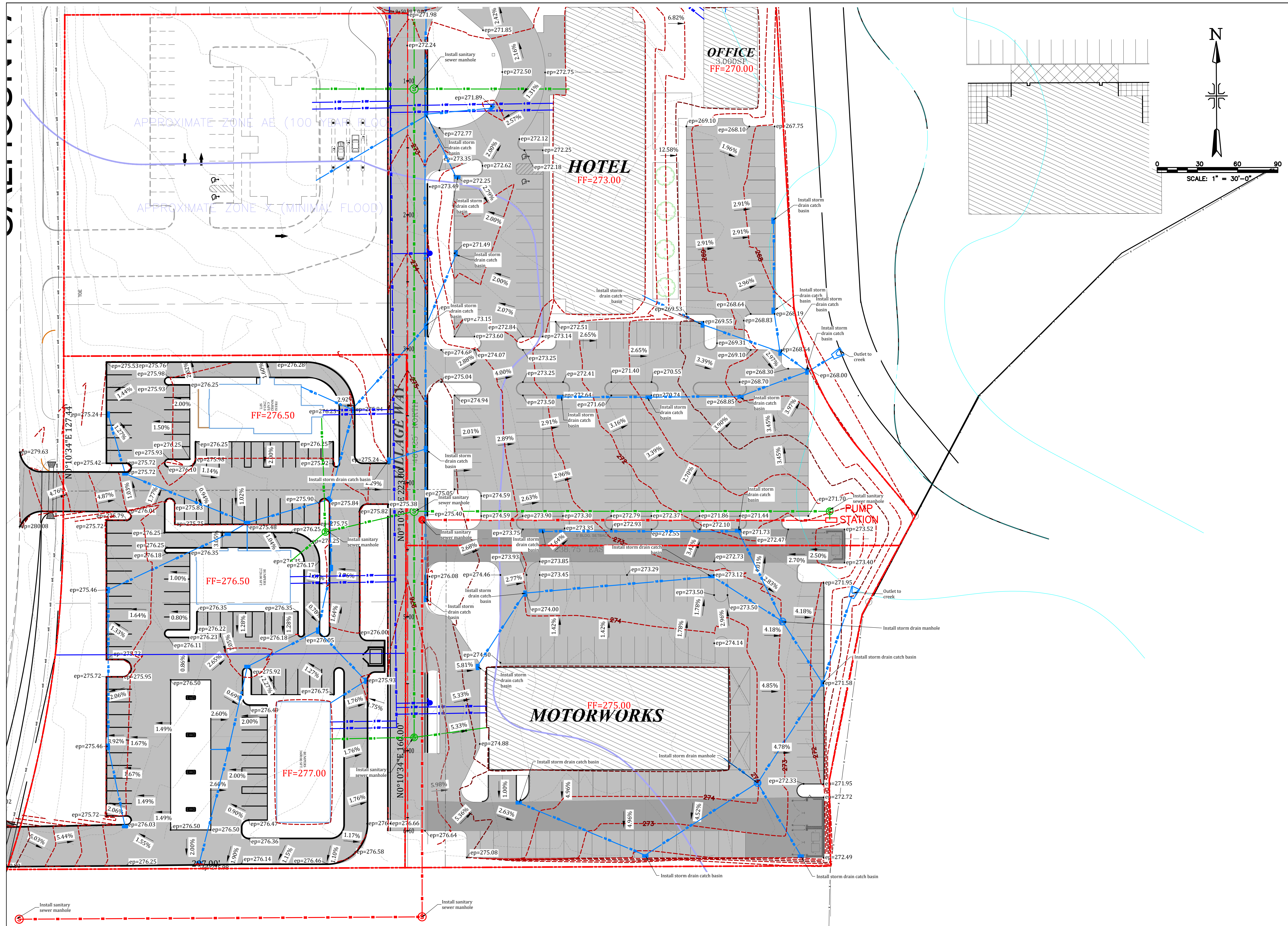
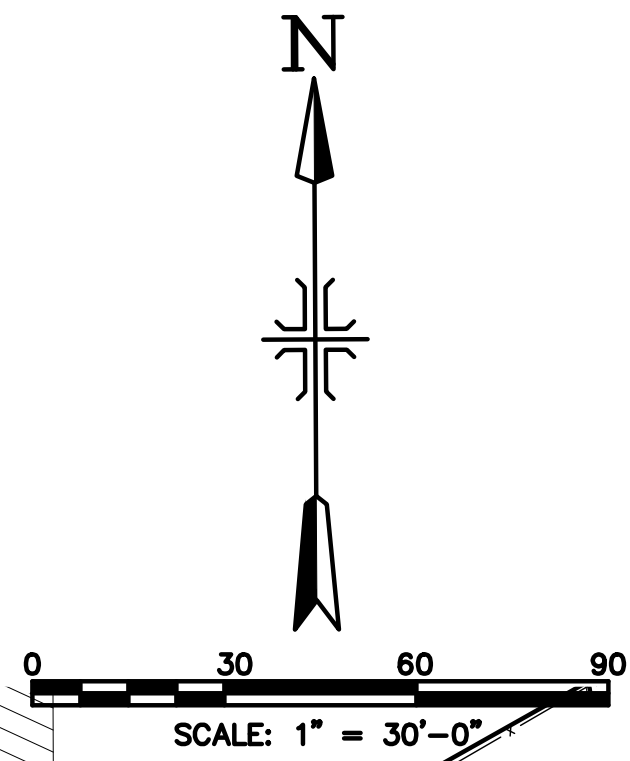
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JLS	MH	MH	03-20-23	1" = 30'	



- NOTES:
1. CONTRACTOR WILL BE ADVISED TO COORDINATED WITH BEAR CREAK FOR SEWER SERVICES.
 2. WATER SERVICE IS PROVIDED BY BEAR CREEK.
 3. DOUBLE CHECK VALVE WILL BE INSTALLED BEHIND METER.
 4. SHUT OFF VALVE WILL BE INSTALLED BEHIND WATER METER.
 5. ENTERGY POWER AND LIGHT WILL PROVIDE ELECTRICAL SERVICE. THE UTILITY COMPANY WILL EXTEND THE PRIMARY ELECTRICAL SERVICE TO A METER PROVIDED BY THE ELECTRICAL CONTRACTOR.
 6. TELEPHONE SERVICE IS PROVIDED BY A LOCAL SERVICE, FROM AN EXISTING TERMINAL BOX. THE PHONE COMPANY WILL EXTEND THE CABLE TO THE TELEPHONE TERMINALBOARD ON THE SIDE OF THE BUILDING.

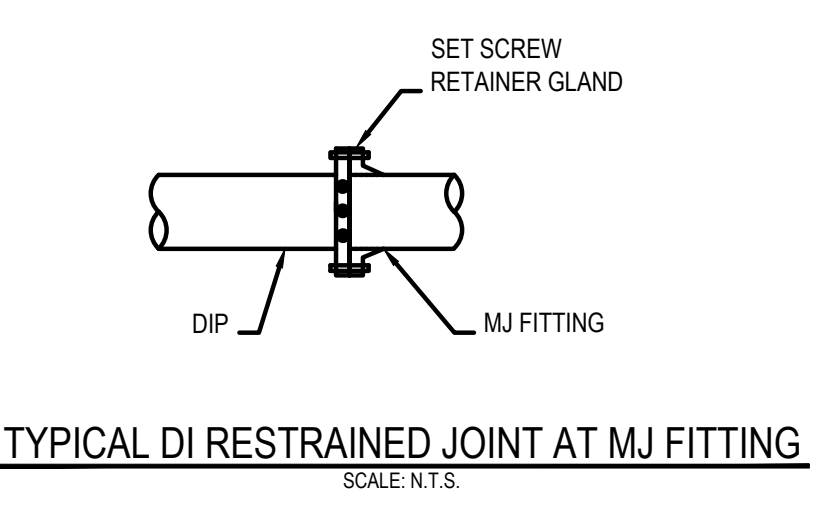
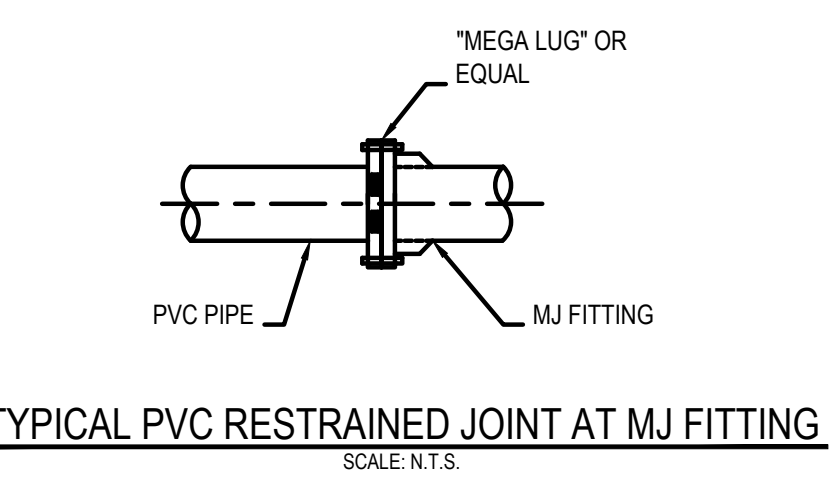
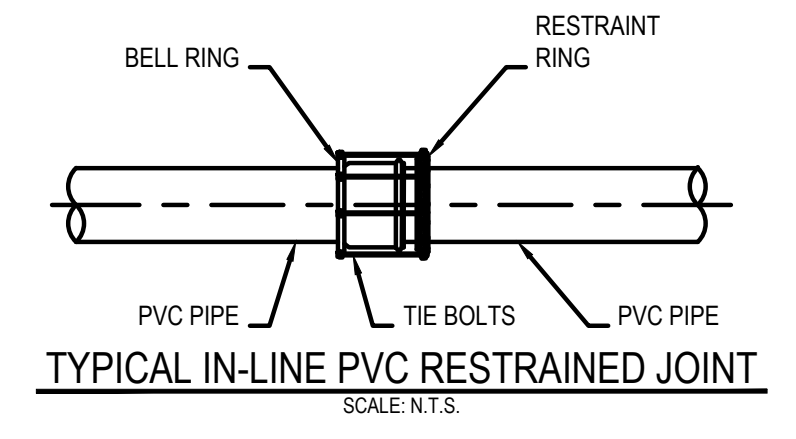
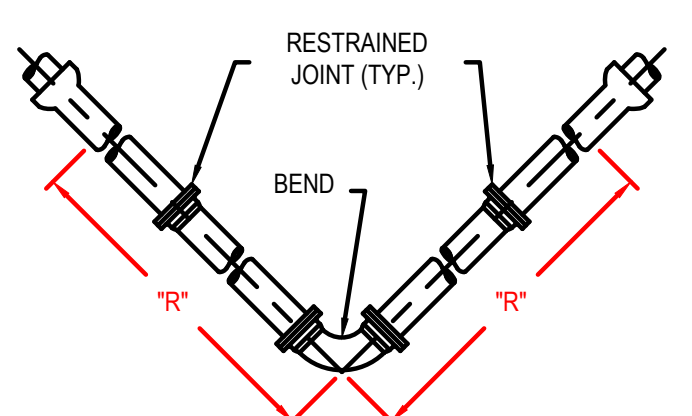
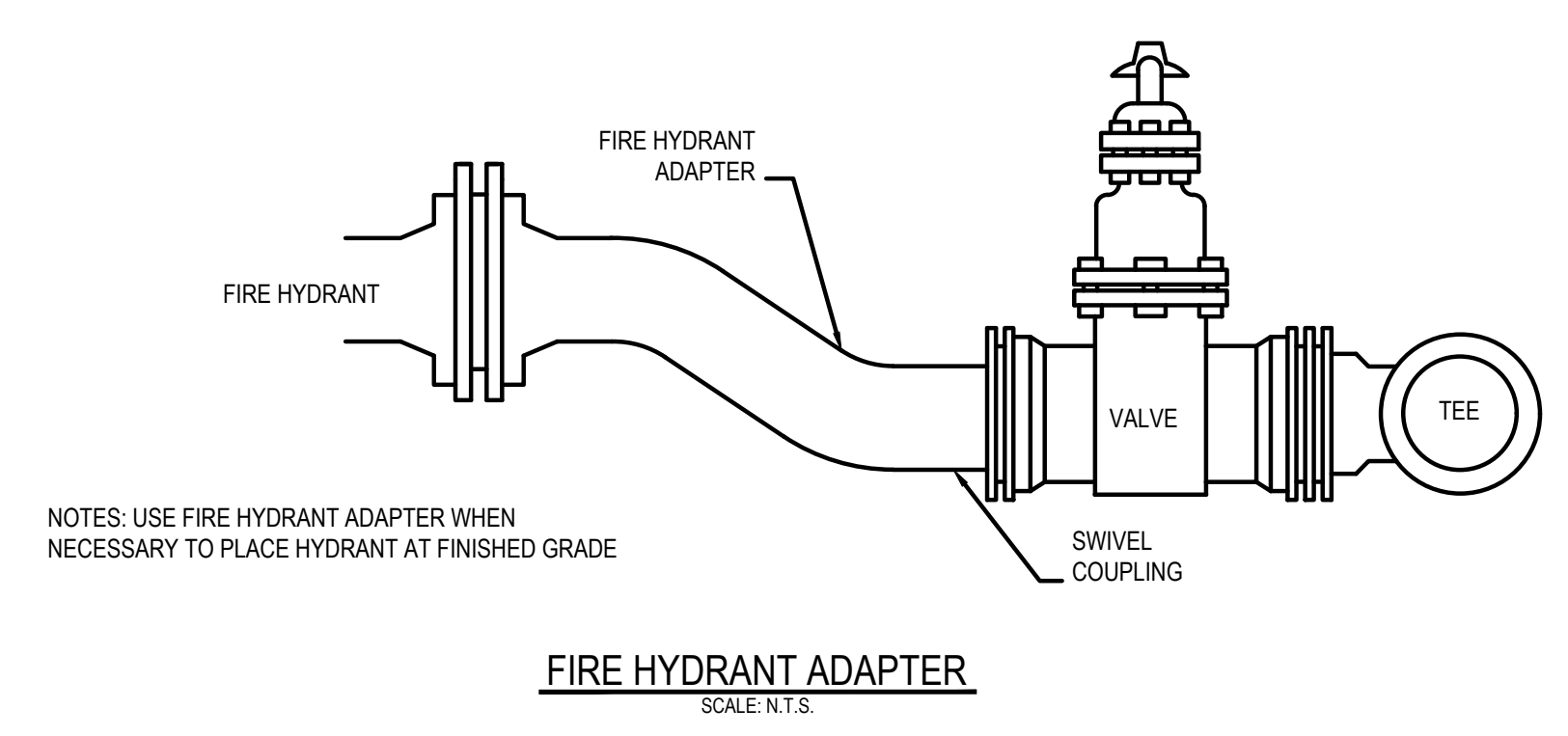
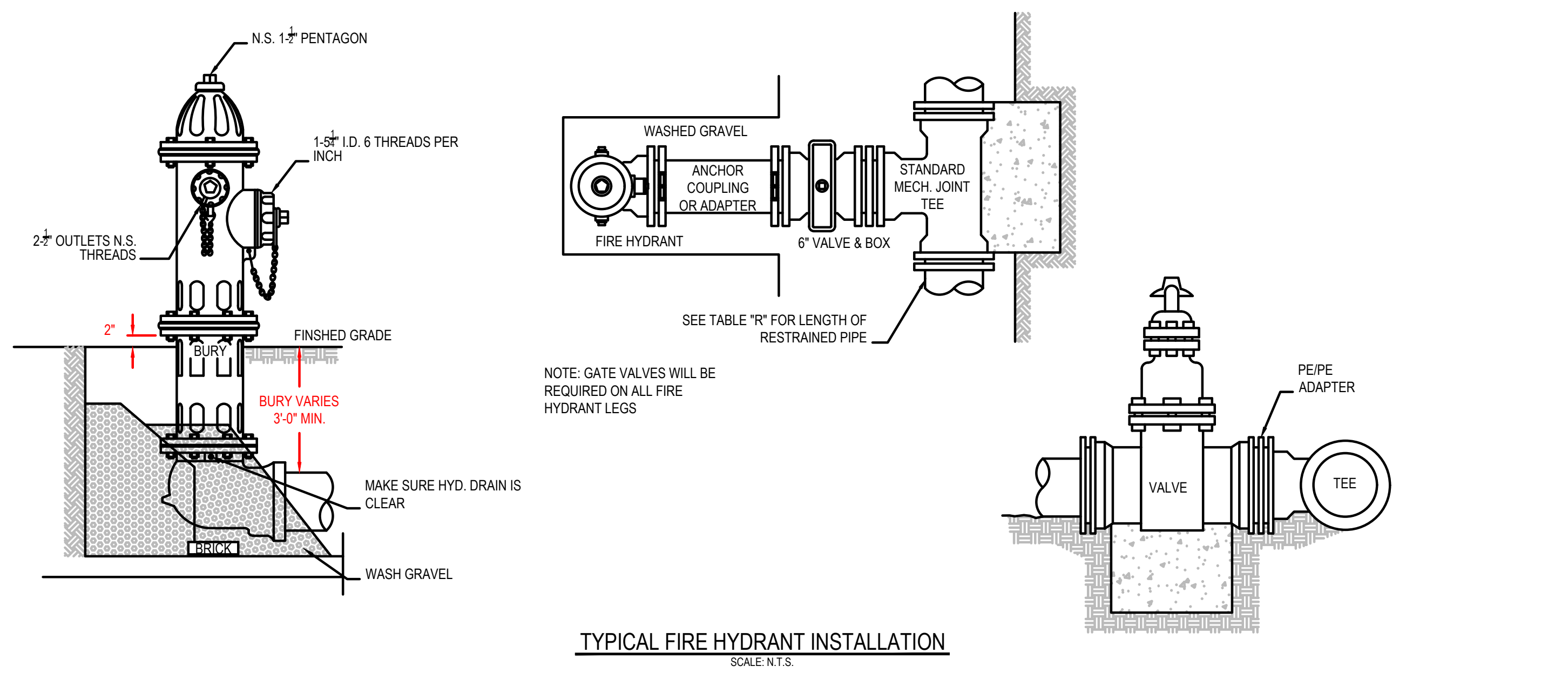


**VILLAGE OF GLUCKSTADT
CALHOUN STATION PARKWAY
GLUCKSTADT, MISSISSIPPI
GRADING PLAN - SOUTH**



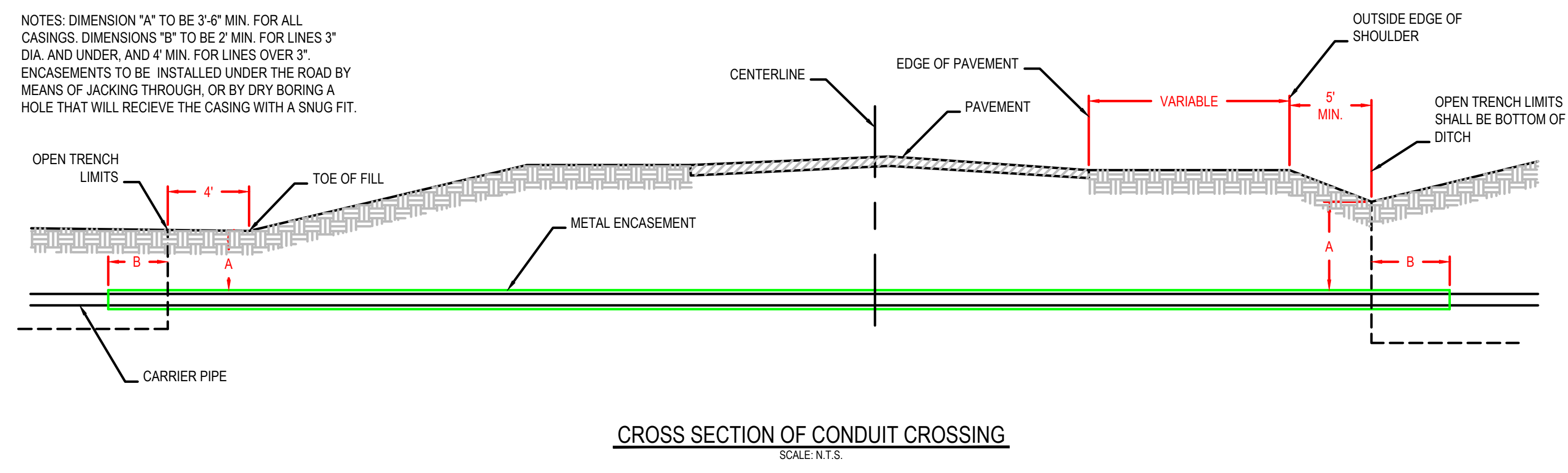
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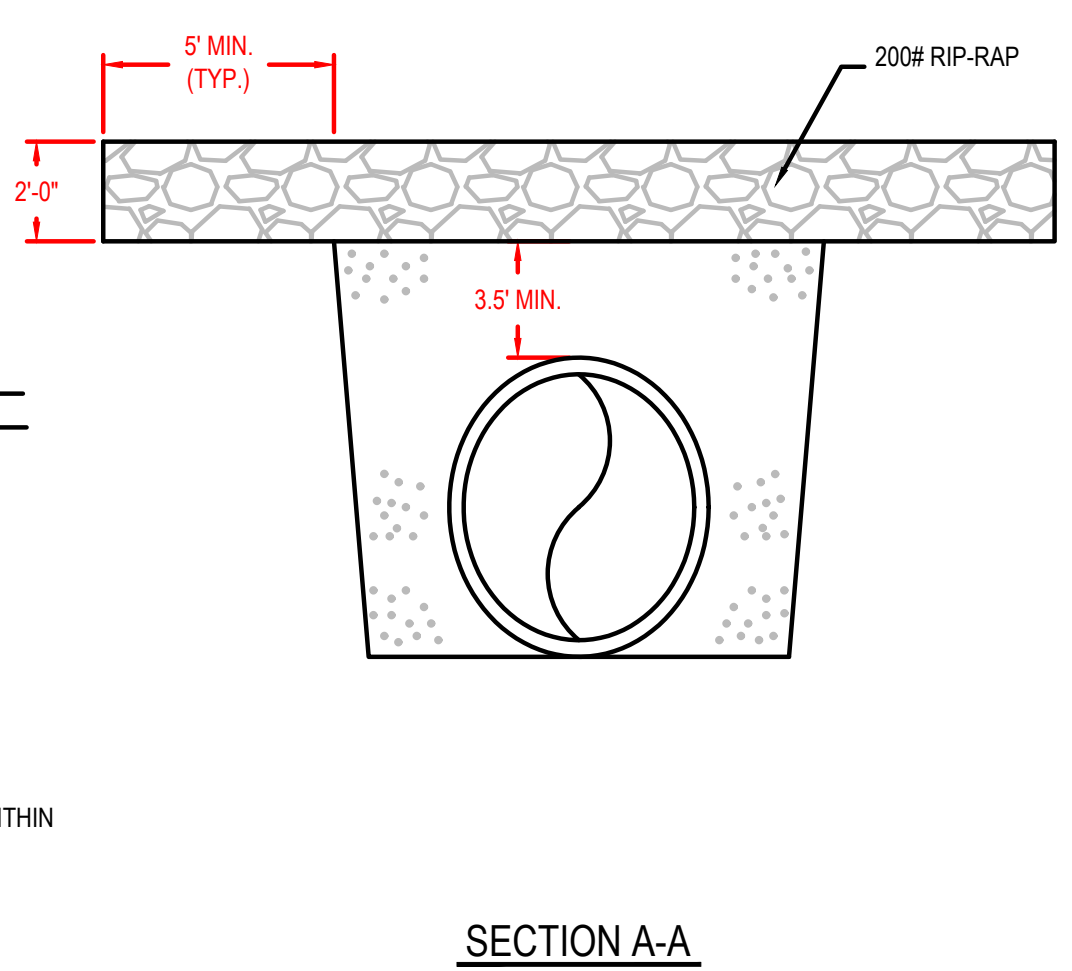
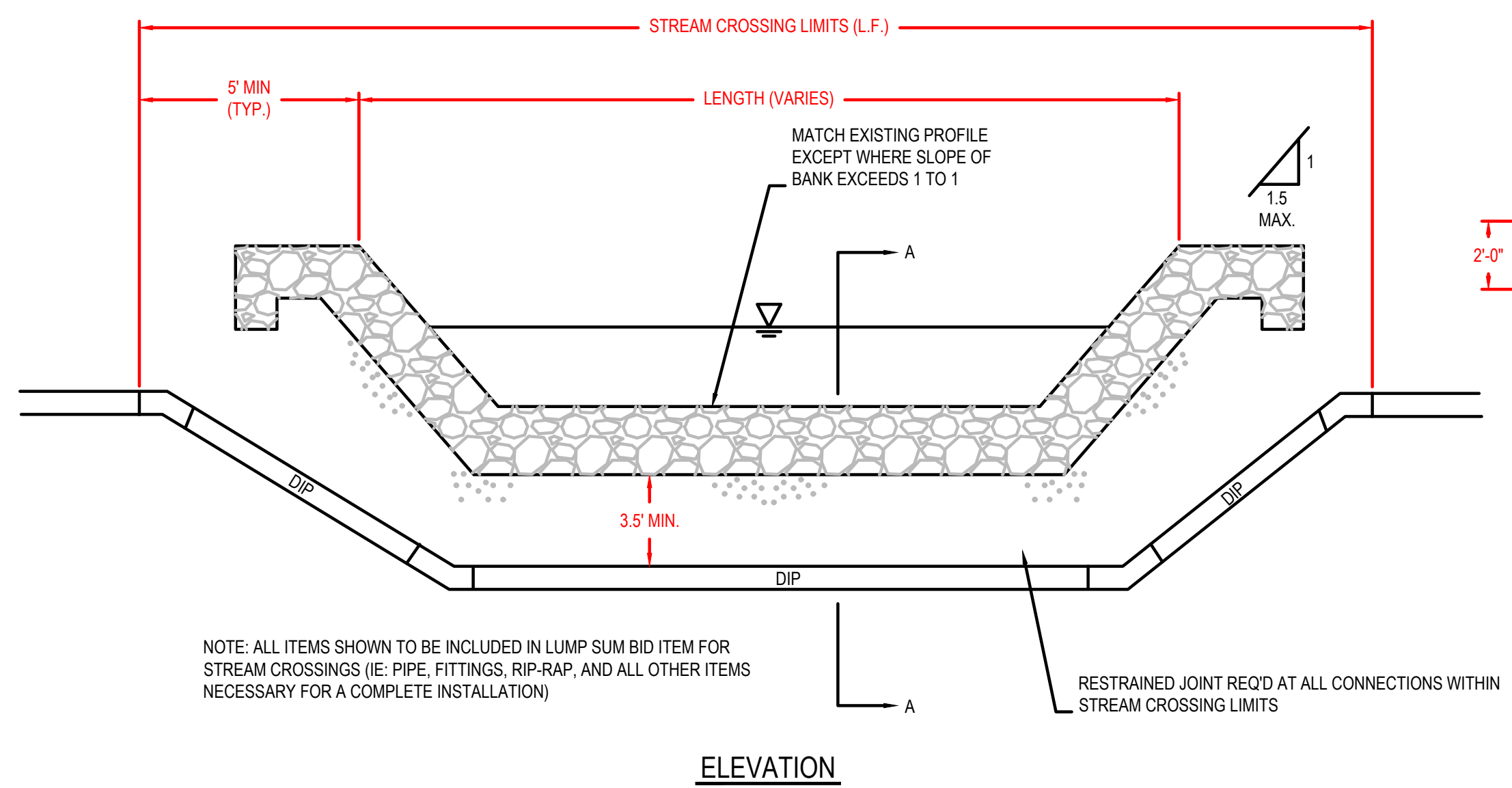
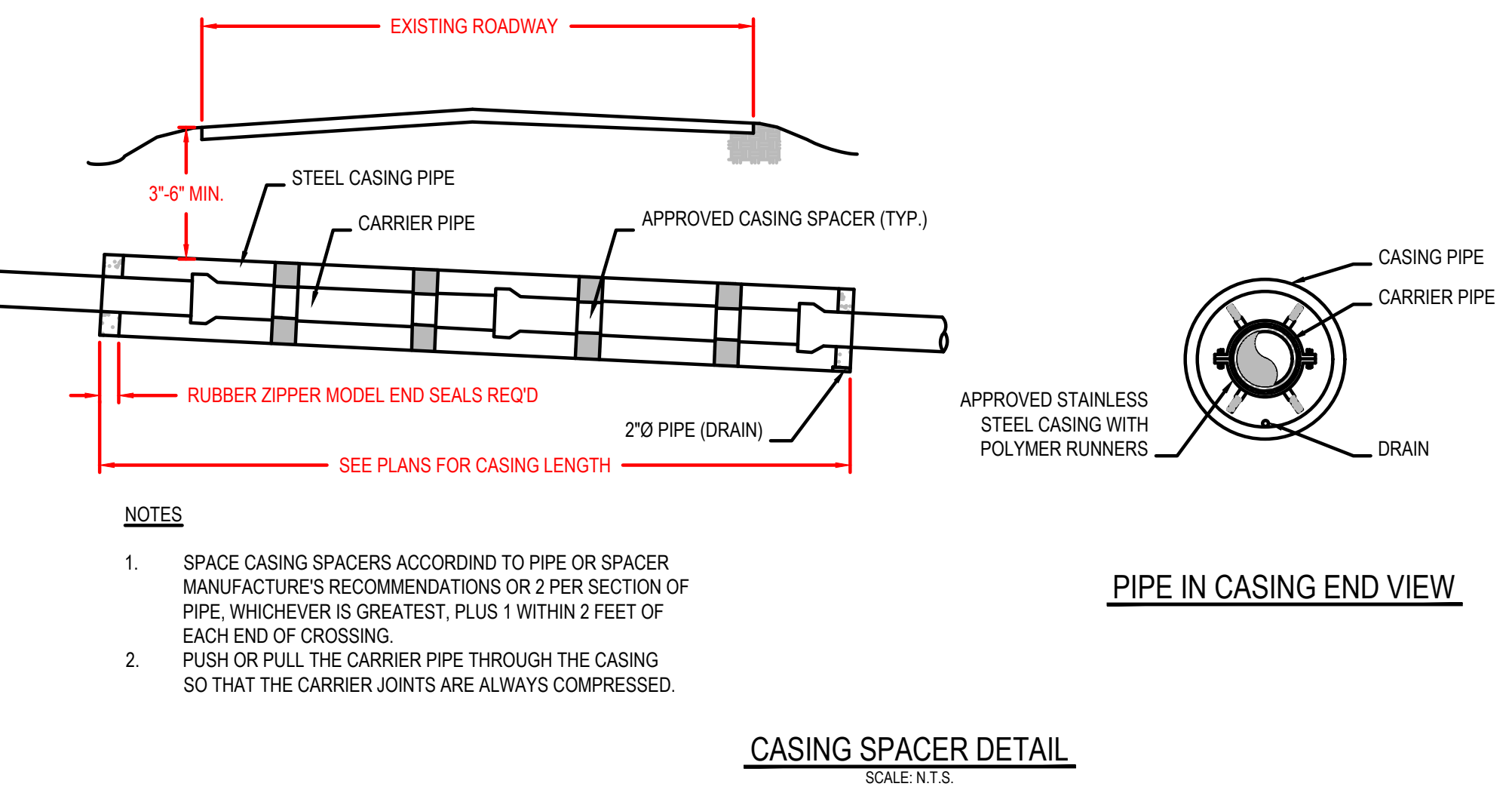


PIPE DIAMETER	"R" FOR 1 1/2" BEND	"R" FOR 2 1/2" BEND	"R" FOR 45° BEND	"R" FOR 90° BEND	"R" FOR DEAD END
8"	3'	6'	12'	25'	25'
12"	4'	8'	17'	42'	37'
16"	5'	11'	23'	55'	49'
18"	6'	12'	25'	61'	55'
24"	8'	16'	33'	80'	73'
30"	10'	20'	41'	99'	90'

- NOTES:
- RESTRAINED JOINT PIPE SHALL BE USED AT ALL BENDS.
 - THE LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND SHALL BE NOT LESS THAN THE "R" DISTANCES.
 - ALL JOINTS WITHIN THE DISTANCE "R" ESTABLISHED ABOVE SHALL BE RESTRAINED.
 - ALL PIPE IN CASINGS SHALL BE RESTRAINED, BUT PIPE LENGTHS IN CASING SHALL NOT APPLY TOWARD REQUIRED RESTRAINED LENGTHS FOR ADJACENT BENDS.
 - RESTRAINED JOINT LENGTHS WERE CALCULATED BASED ON DIPRA THRUST RESTRAINT GUIDELINES UNDER THE FOLLOWING CONDITIONS:
LAYING CONDITION - TYPE 3
SOIL DESIGNATION - CLAY 2
DEPTH OF COVER - 3.5'
DESIGN PRESSURE - 150 PSI
SAFETY FACTOR - 1.5
 - IF ANY OF THESE ASSUMPTIONS SIGNIFICANTLY DIFFER FROM THE LAYING CONDITIONS, NEW THRUST RESTRAINT CALCULATIONS SHOULD BE PERFORMED.
FOR BENDS IN THE VERTICAL PLANE INCREASE THE "R" DISTANCE BY A FACTOR OF 1.75.

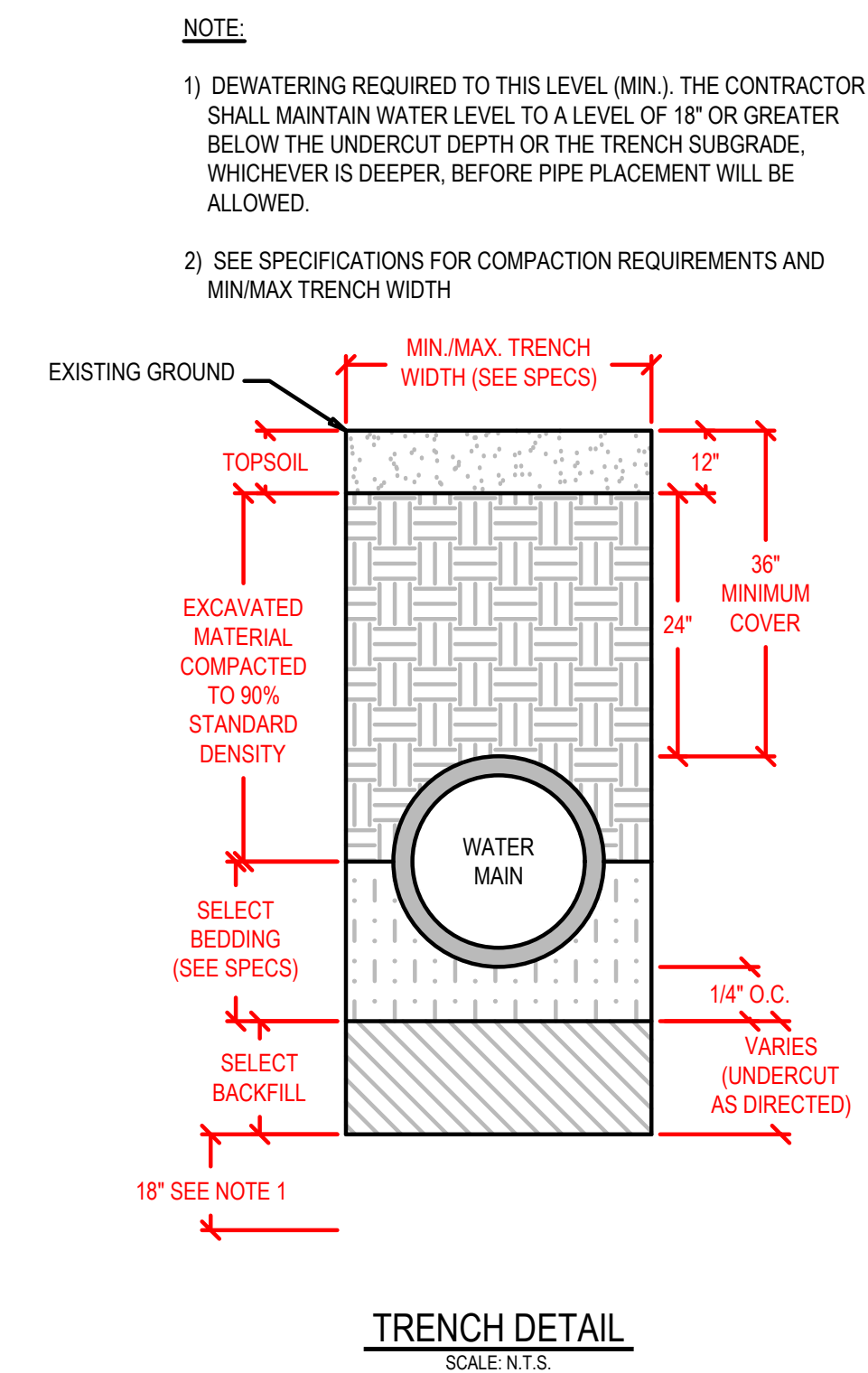
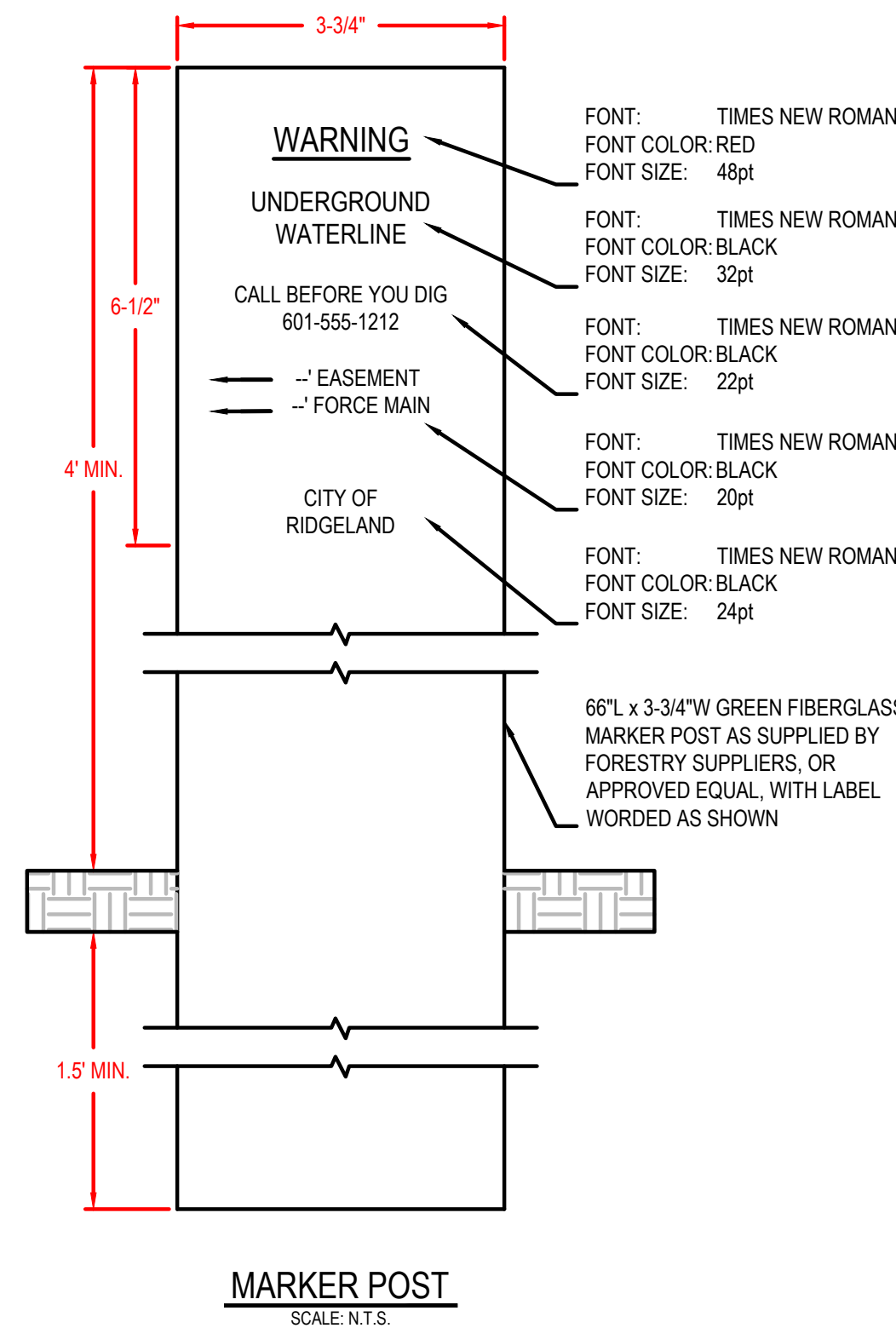
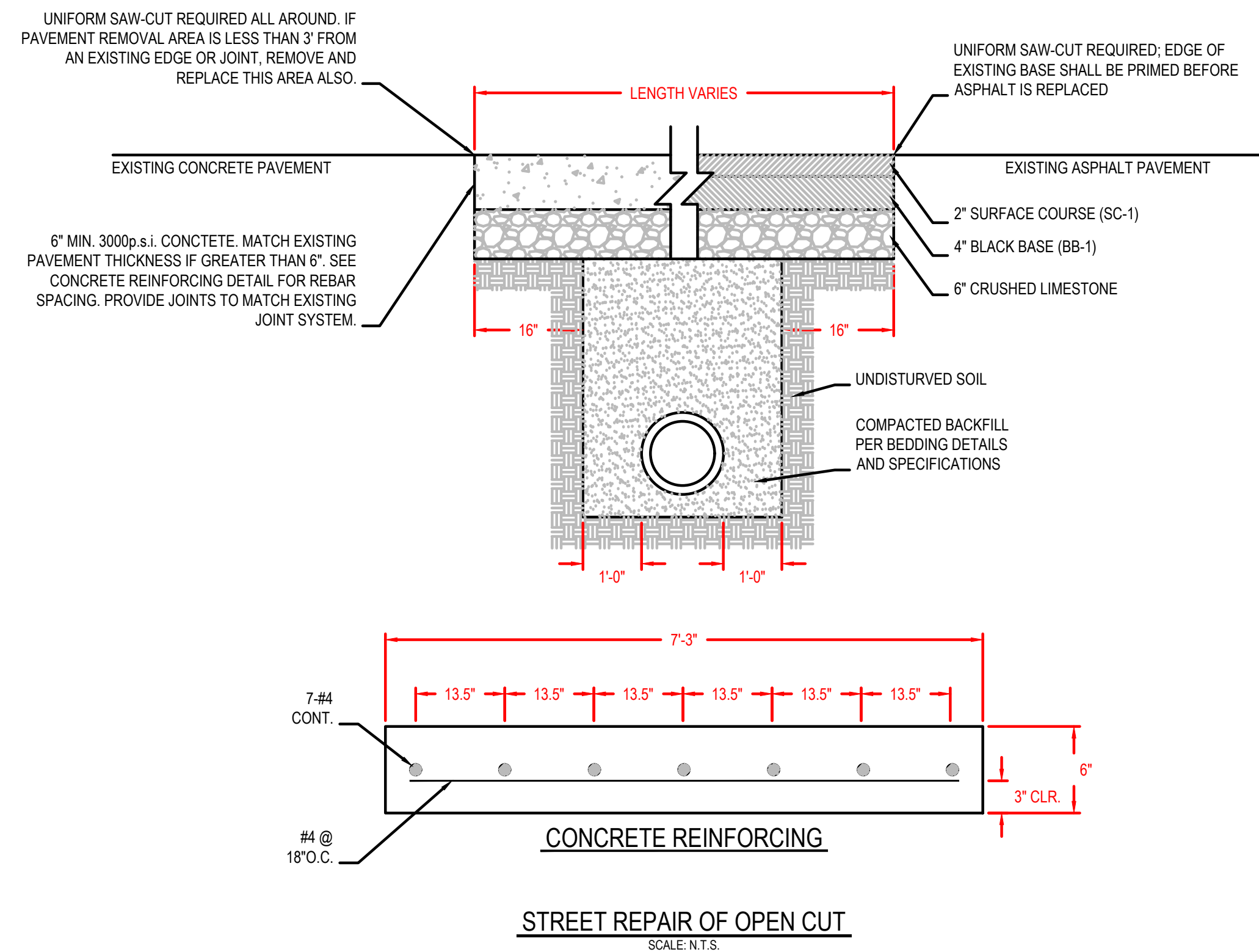
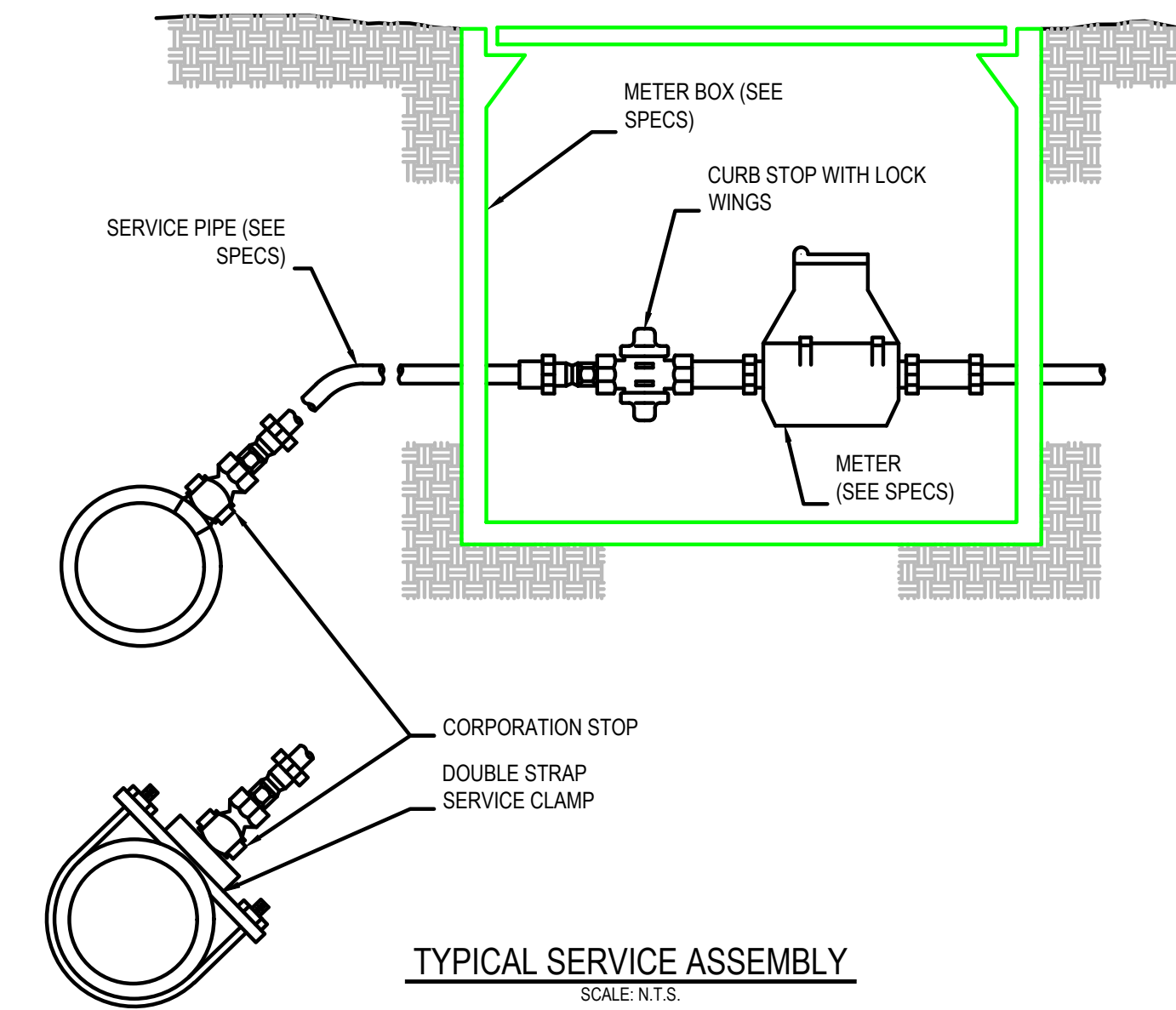
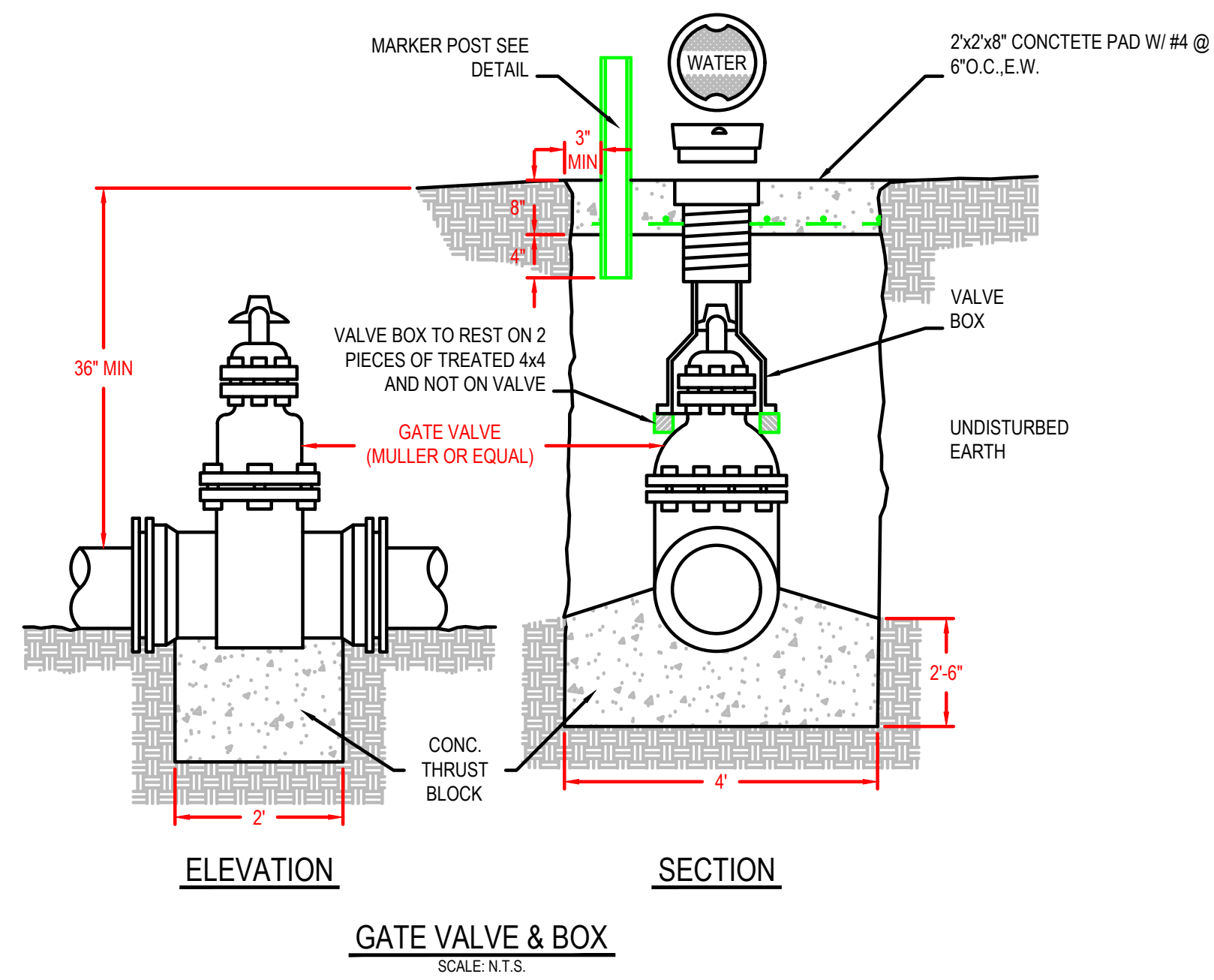
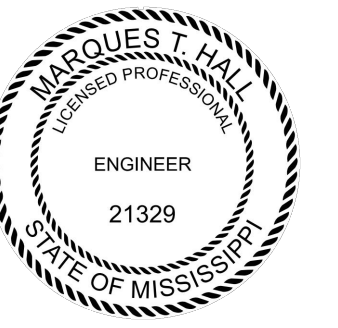


RESTRAINED JOINT DETAIL
SCALE: N.T.S.



STREAM CROSSING
SCALE: N.T.S.

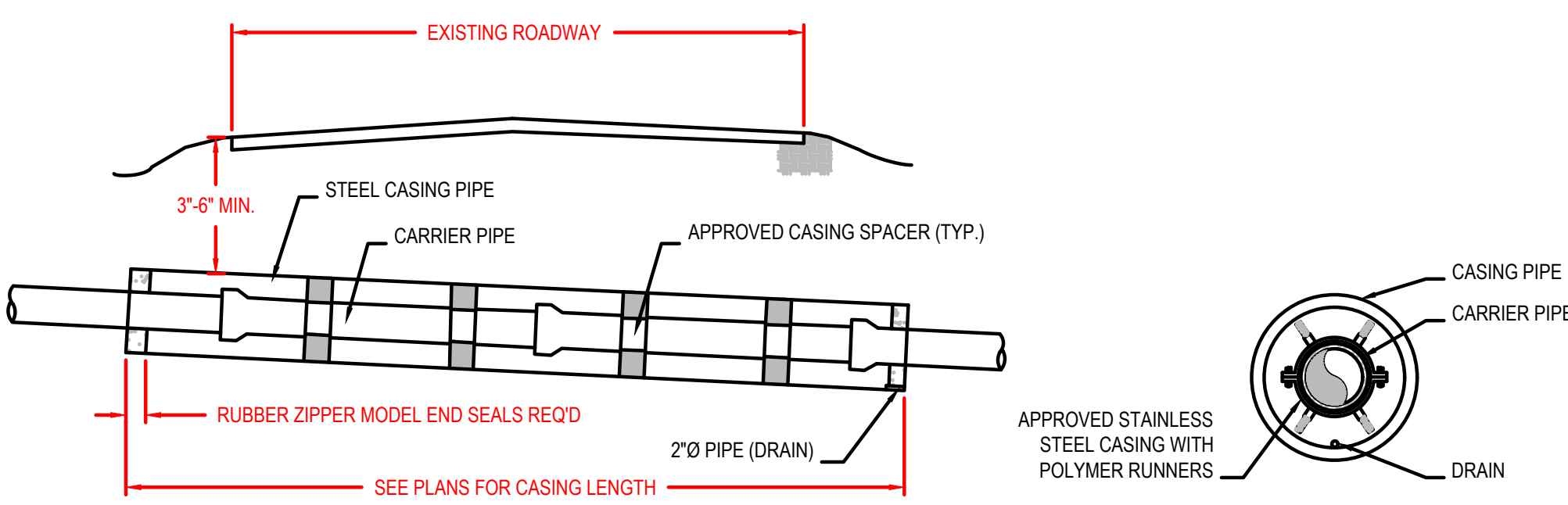
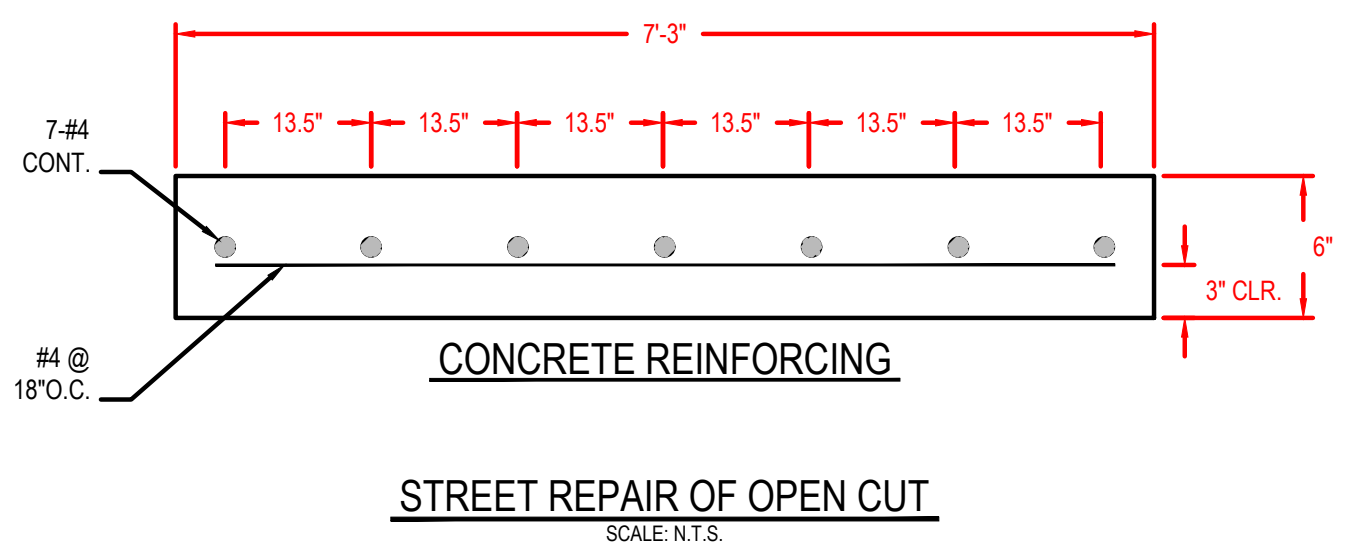
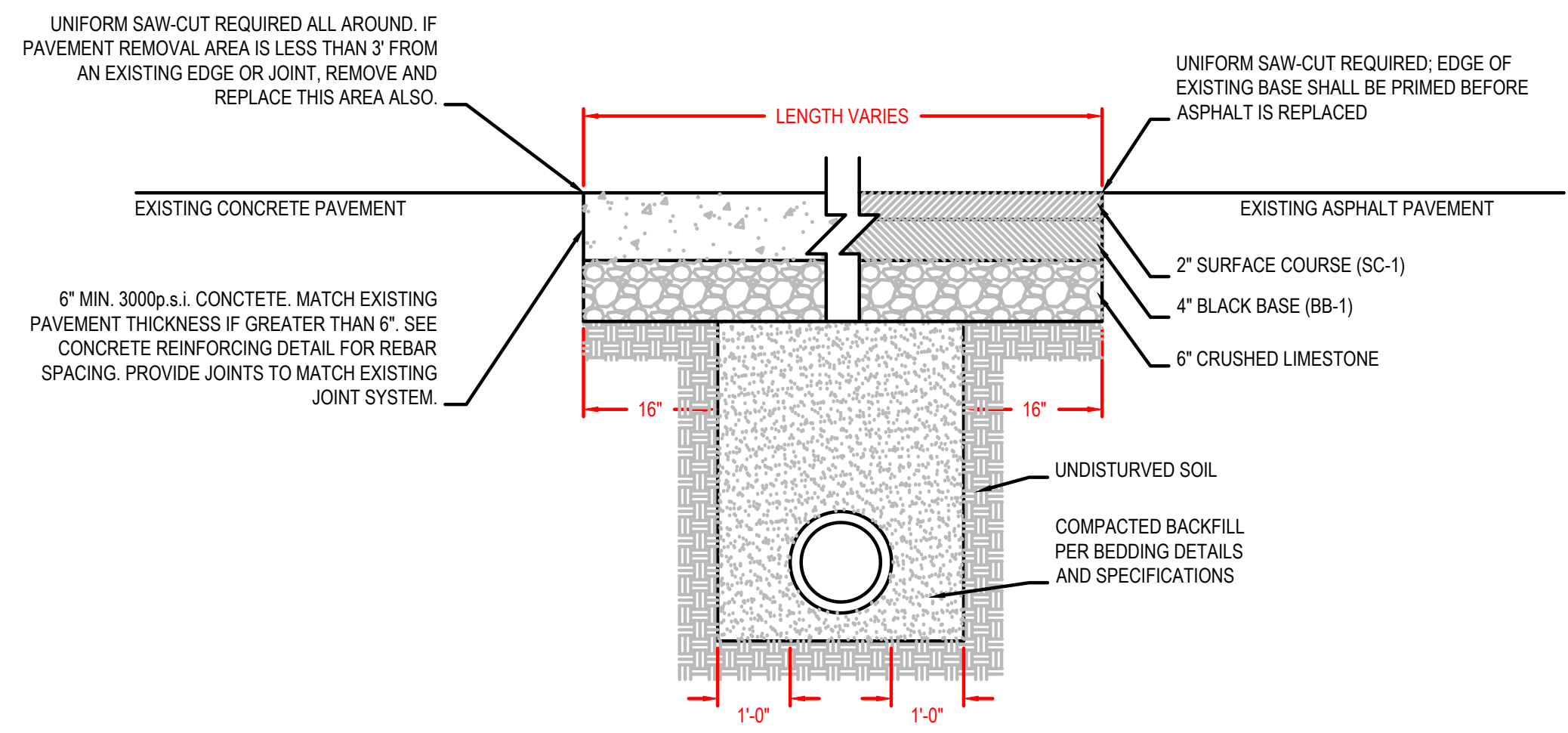
- NOTES:
- SPACE CASING SPACERS ACCORDING TO PIPE OR SPACER MANUFACTURE'S RECOMMENDATIONS OR 2 PER SECTION OF PIPE, WHICHEVER IS GREATEST, PLUS 1 WITHIN 2 FEET OF EACH END OF CROSSING.
 - PUSH OR PULL THE CARRIER PIPE THROUGH THE CASING SO THAT THE CARRIER JOINTS ARE ALWAYS COMPRESSED.



SYMBOL	REVISIONS	DATE	DESCRIPTION	DRAWN	DESIGN	CHECK	SUBMIT	SCALE	PLOTTED
				JLS	MH	MH	MH	03-20-23	N.T.S.

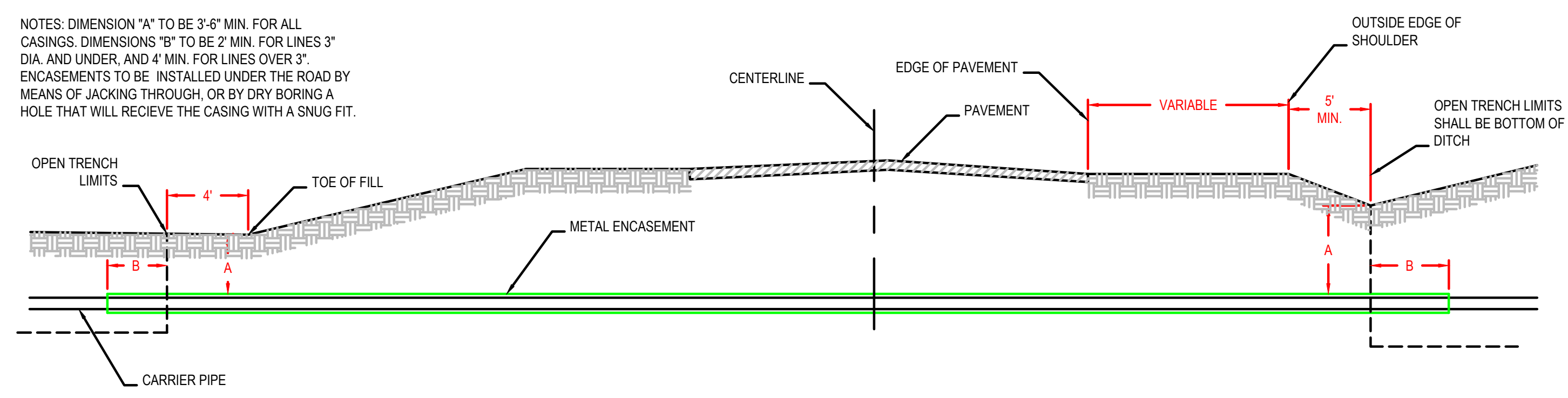


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				JLS	MH	MH	03-20-23	N.T.S.	

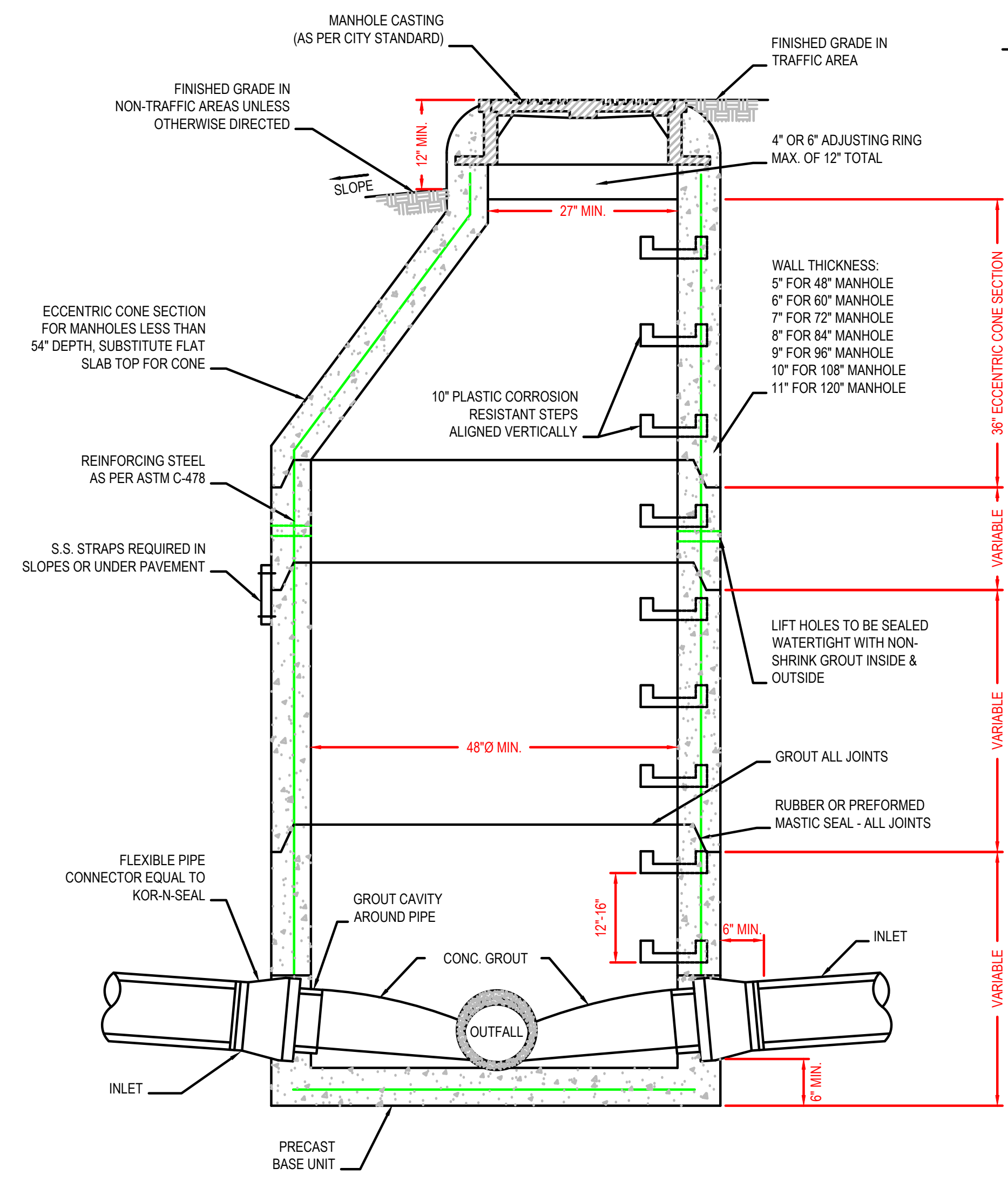


- NOTES**
- SPACE CASING SPACERS ACCORDING TO PIPE OR SPACER MANUFACTURE'S RECOMMENDATIONS OR 2 PER SECTION OF PIPE, WHICHEVER IS GREATEST, PLUS 1 WITHIN 2 FEET OF EACH END OF CROSSING.
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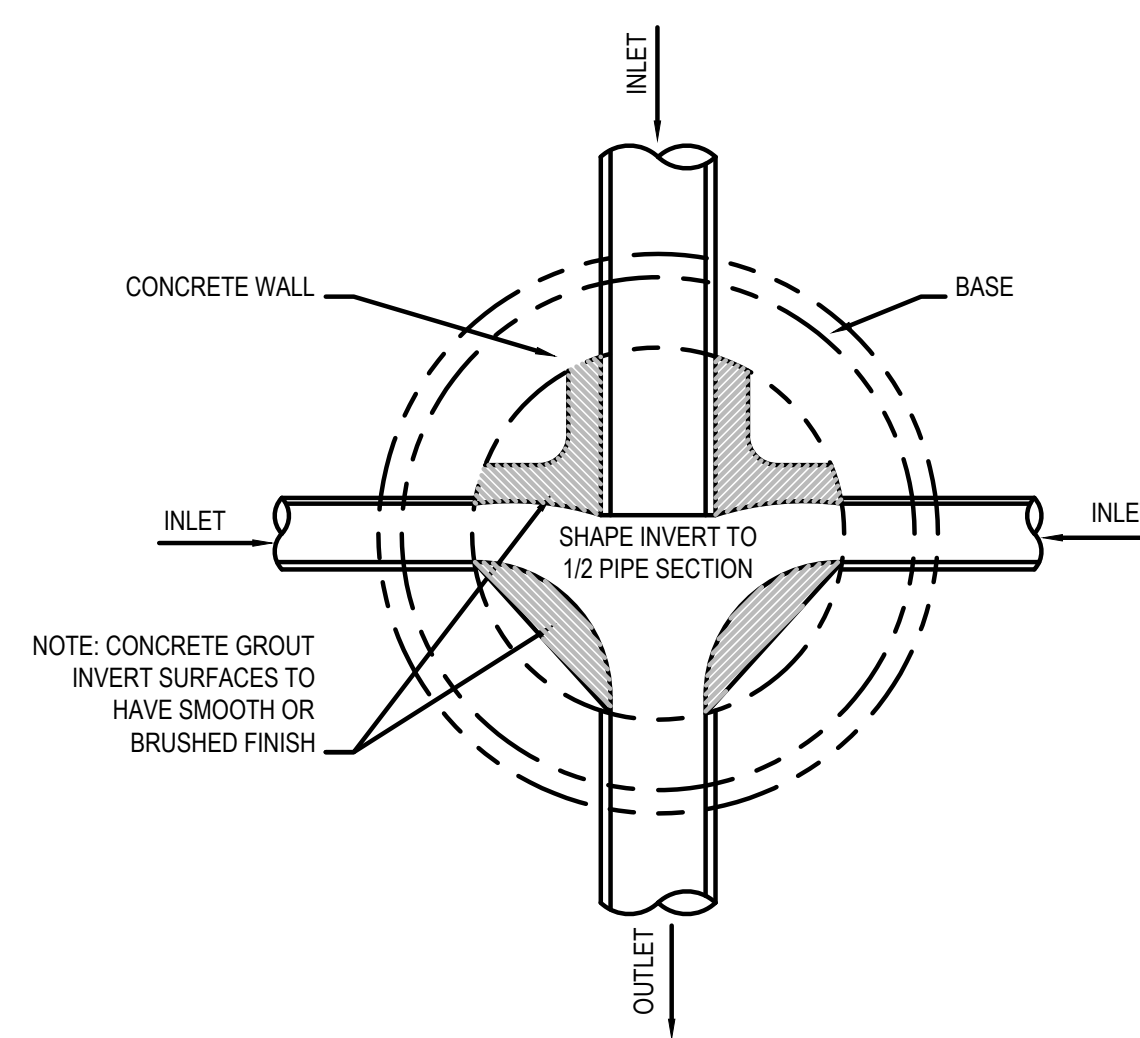
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SCALE: N.T.S.



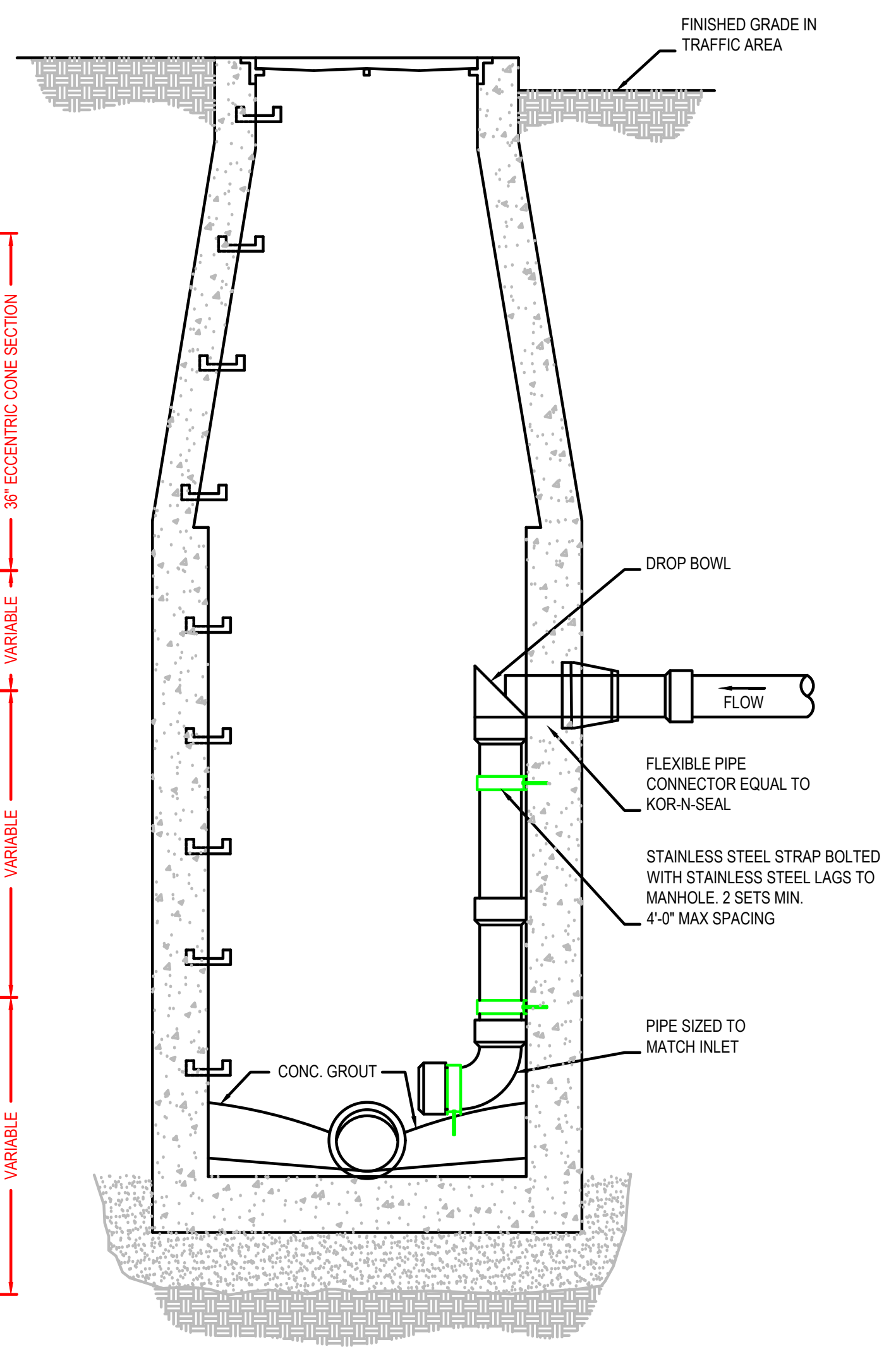
CROSS SECTION OF CONDUIT CROSSING
SCALE: N.T.S.



SECTION - PRECAST CONC. MANHOLE
SCALE: N.T.S.

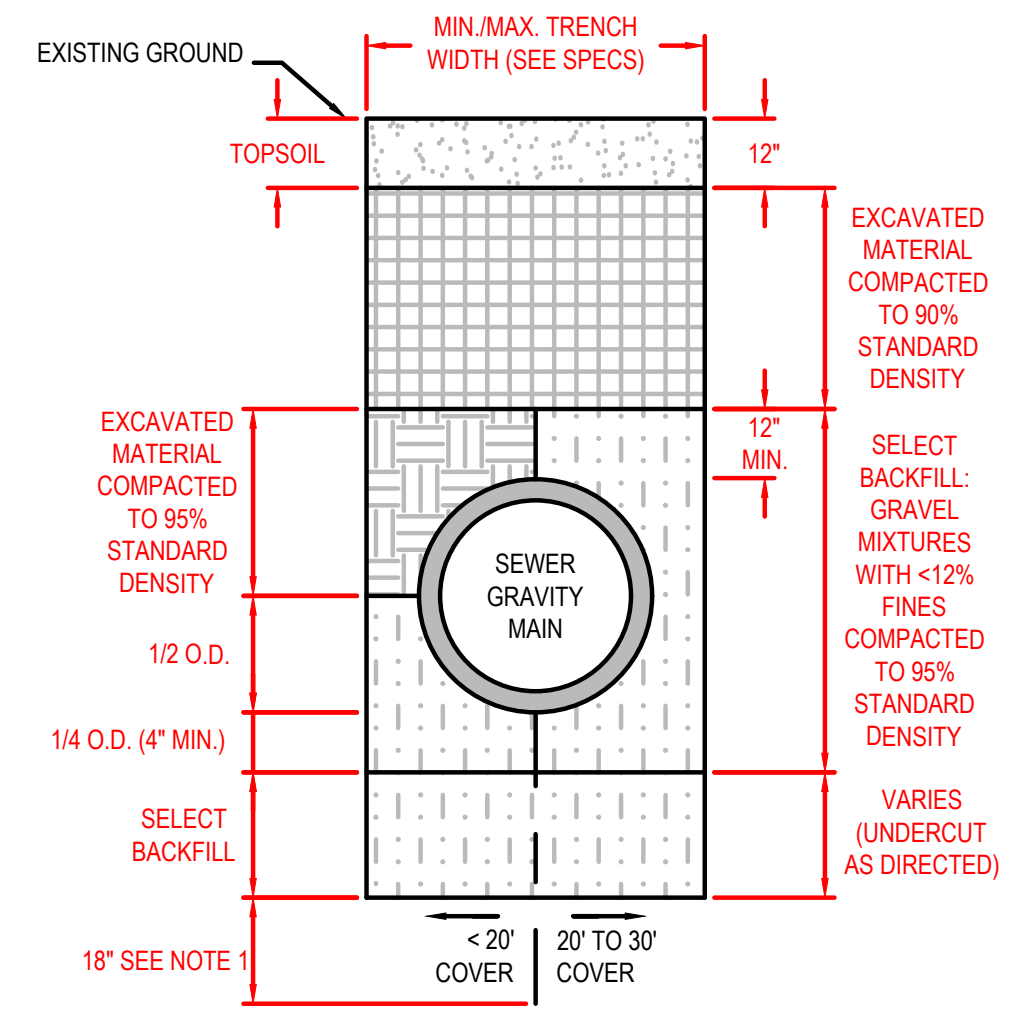


PLAN - MANHOLE FLOW CHANNELS
SCALE: N.T.S.

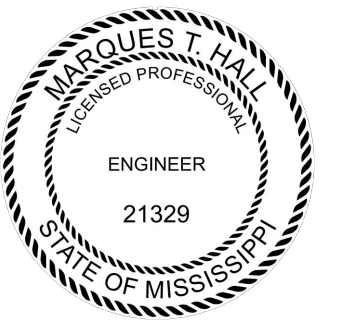


INSIDE DROP INLET
SCALE: N.T.S.

- NOTE:**
- DEWATERING REQUIRED TO THIS LEVEL (MIN). THE CONTRACTOR SHALL MAINTAIN WATER LEVEL TO A LEVEL OF 18" OR GREATER BELOW THE UNDERCUT DEPTH OR THE TRENCH SUBGRADE, WHICHEVER IS DEEPER, BEFORE PIPE PLACEMENT WILL BE ALLOWED.
 - SEE SPECIFICATIONS FOR COMPACTION REQUIREMENTS AND MIN/MAX TRENCH WIDTH

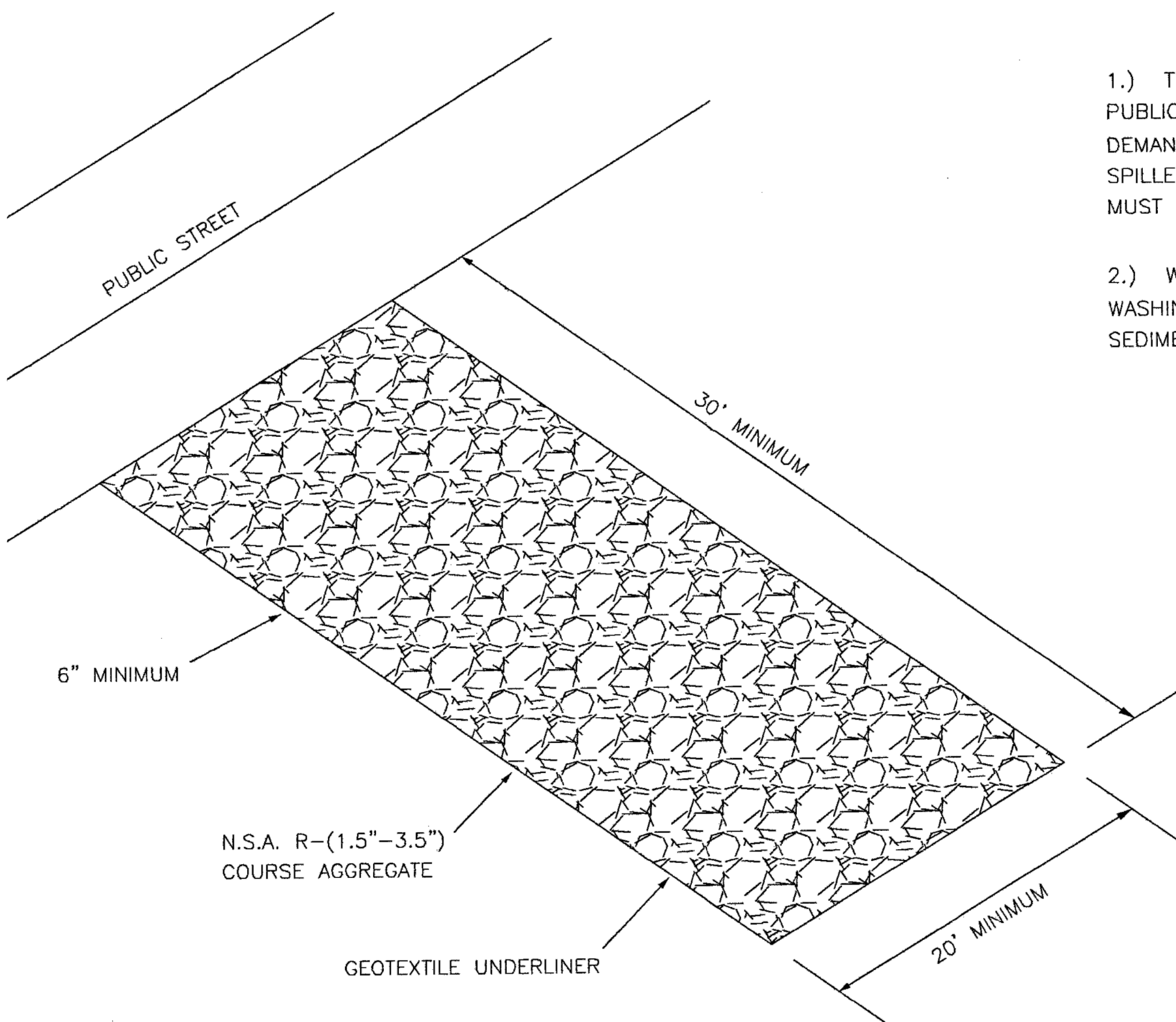


GRAVITY SEWER TRENCH DETAIL
SCALE: N.T.S.



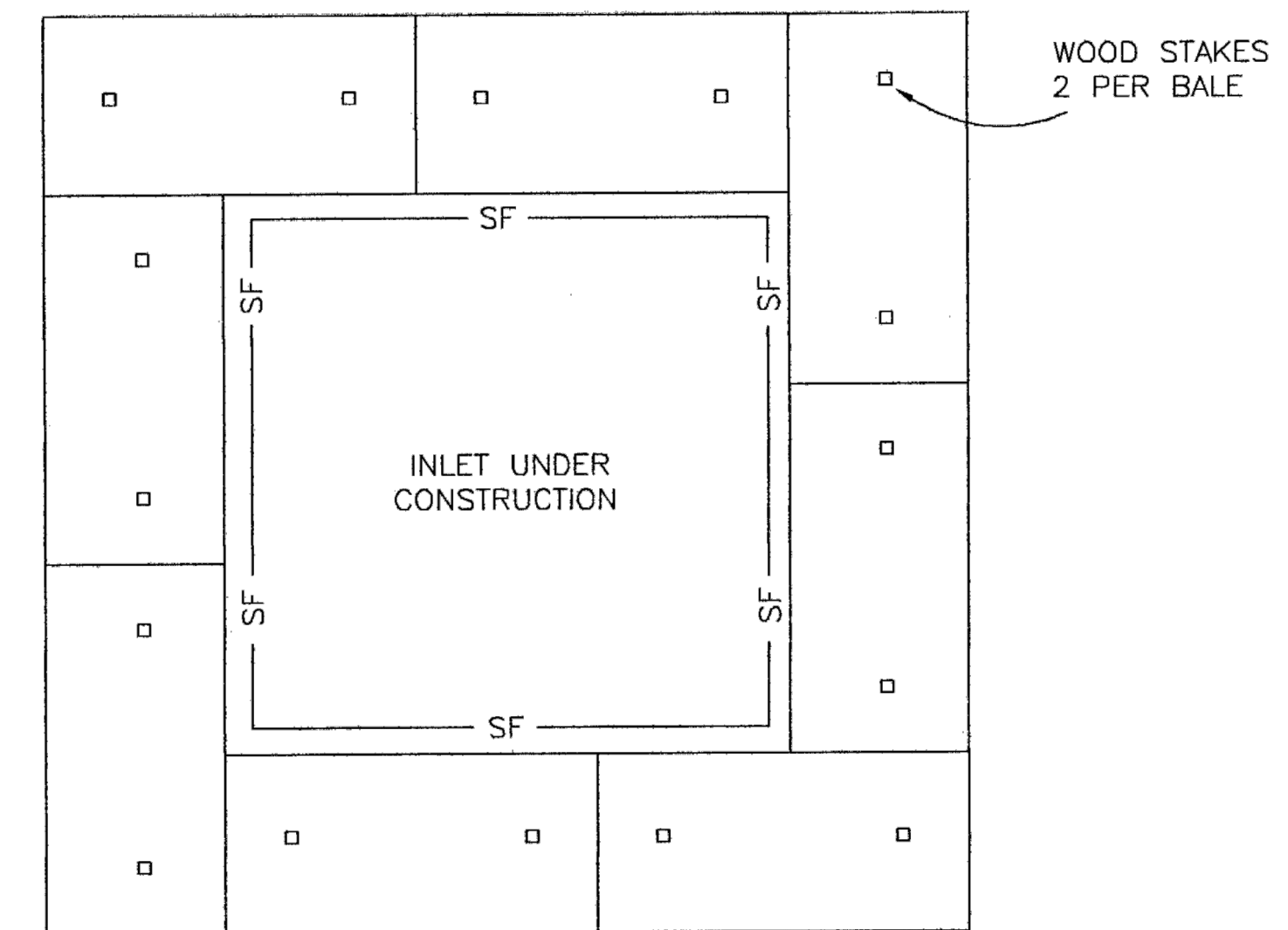
1.) THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

2.) WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

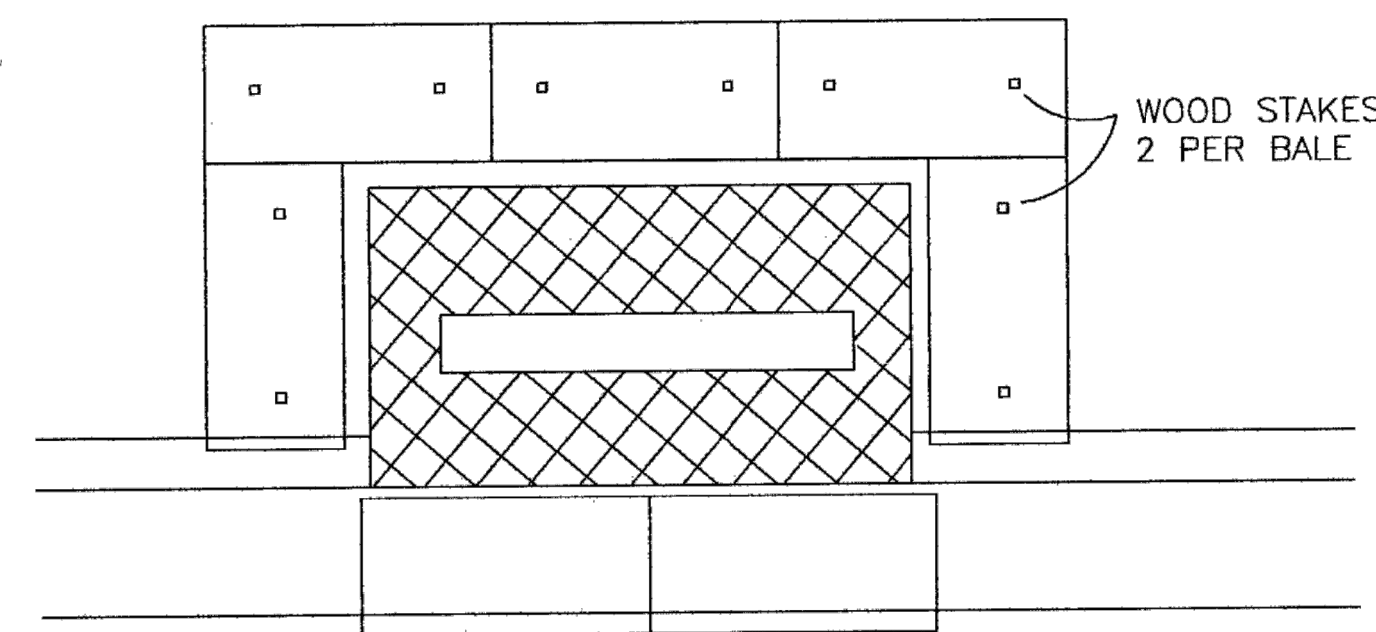


AGGREGATE PAD TEMPORARY CONSTRUCTION ENTRANCE
N.T.S.

NOTE:
Contractor to use wattles in place of hay bales for temporary curb inlet protection.



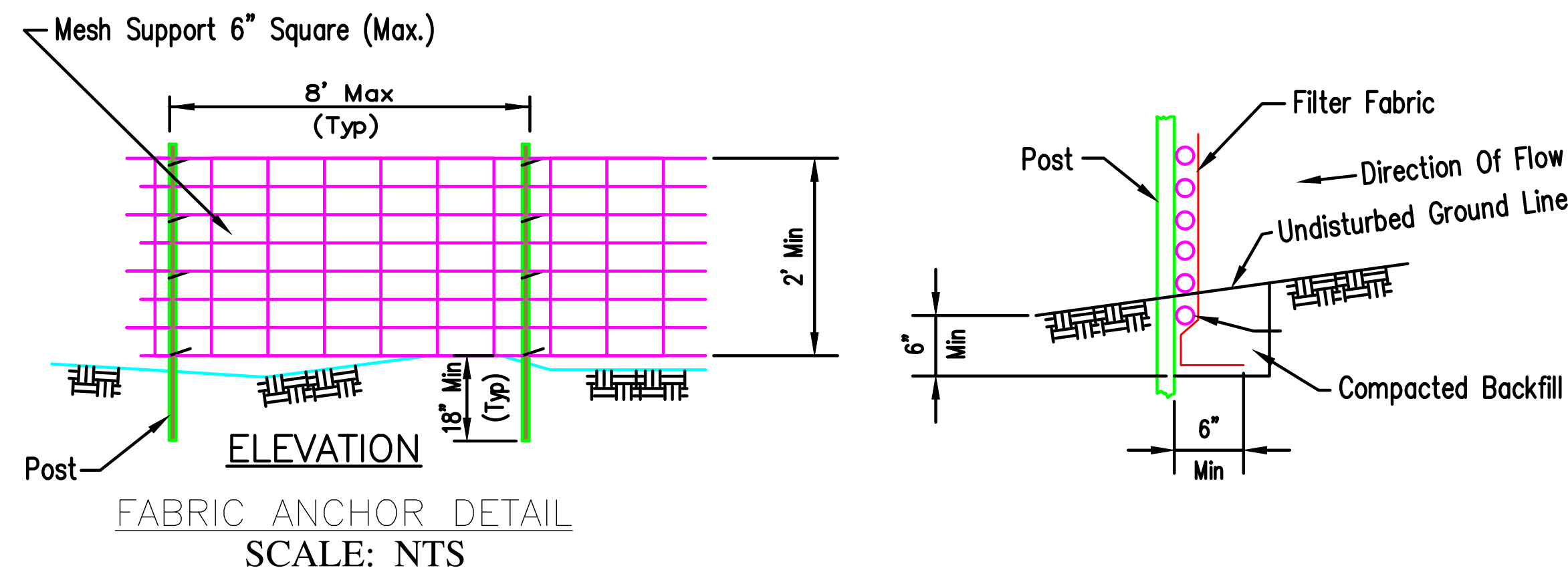
TEMPORARY CURB INLET PROTECTION (INLET UNDER CONSTRUCTION)
N.T.S.



TEMPORARY CURB INLET PROTECTION (INLET COMPLETE)
N.T.S.

STORMWATER MANAGEMENT PLAN

- The Contractor shall install/ implement measures as needed to take all prudent and reasonable measures to protect properties from damage caused by the construction.
- The Contractor shall install all the silt fencing, wattles, sediment control ponds, drainage pipes, and rock riprap required, prior to the beginning of any stripping and / or excavation.
- The Contractor shall maintain a minimal buffer of undisturbed areas, where practical, around the perimeter of the site. This buffer will reduce the erosion caused by wind and water and also help reduce the amount of sediment leaving the site.
- Earth fill procedure will utilize temporary diversions to eliminate surface runoff.
- The Contractor shall provide for protective measures for the containment of hazardous materials, including petroleum products and lubricants, etc.
- The Contractor shall provide trash containers on site for disposal of all construction materials and prevent trash from the site from entering into the storm drainage system.
- The Contractor shall inspect all installed erosion control measures and repair as necessary during the length of the construction at least every seven (7) days during dry periods. The Contractor shall diligently inspect and repair, within 24 hours of a rainfall event, all erosion control measures.
- The Contractor shall maintain the erosion control measures required to assure that the storm water discharged shall be free from:
 - Debris, oil, scum and other floating materials, other than in trace amounts;
 - Eroded soils and other materials that will settle to form objectionable deposits in receiving waters;
 - Suspended solids, turbidity and color at levels inconsistent with receiving waters;
 - Chemicals in concentrations that would cause violation of the State Water Quality Criteria in the receiving waters.
- The Contractor shall maintain adequate record keeping documenting inspection and repair of all erosion control measures installed.
- The Contractor shall make himself familiar with the Storm Water Construction General Permit Regulations and the "Planning and Design Manual for the Control of Erosion, Sediment and Stormwater", published by the MDEQ, Mississippi Soil & Water Commission and the USDA Soil Conservation Service.
- This plan contains the minimum erosion control measures to be taken. The Contractor shall utilize the BMP's outlined in the above referenced material for implementation of additional measures, as required.
- Silt fence will extend 5' beyond disturbed area and curve uphill.

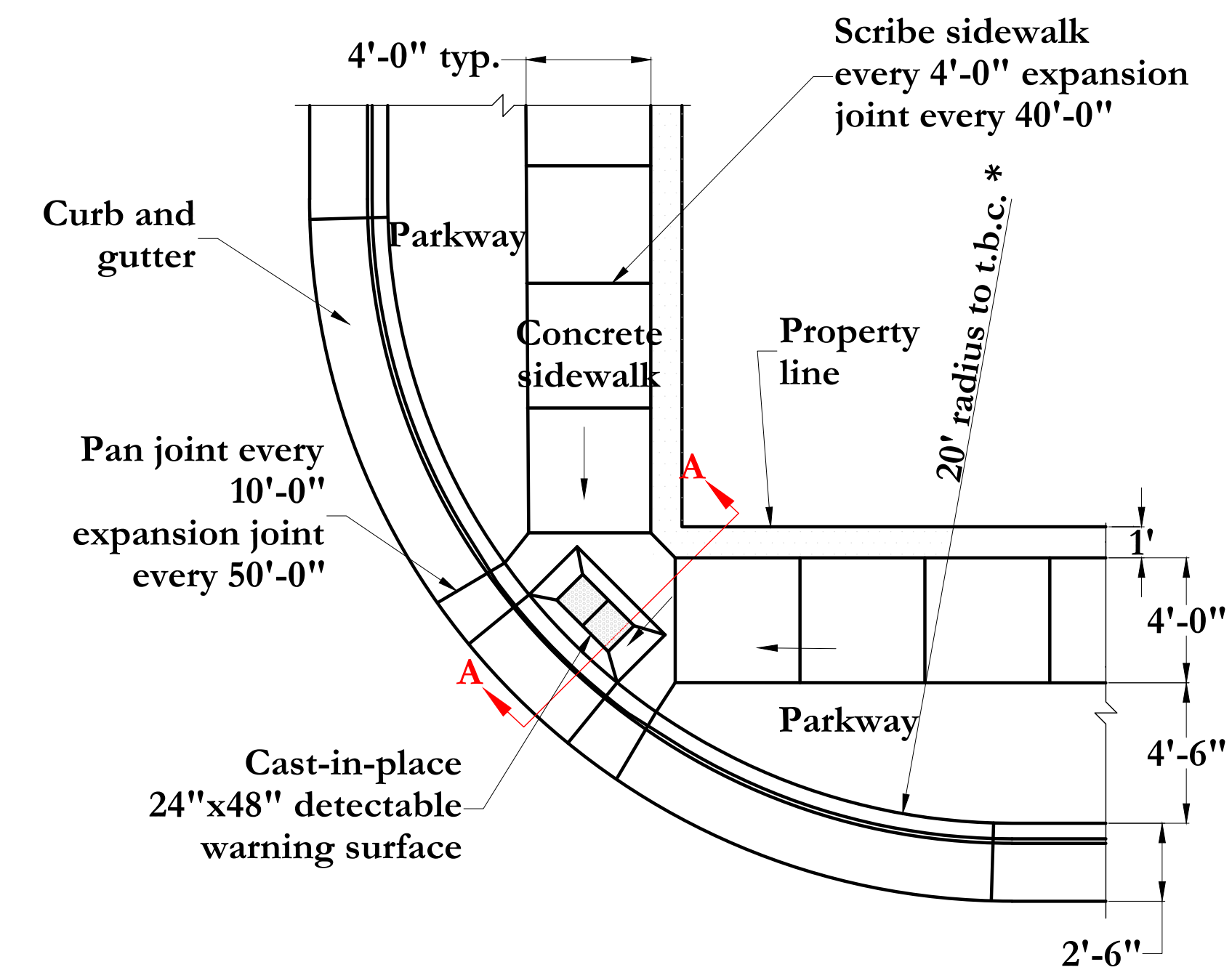


- NOTES:
- Wires of mesh support shall be minimum gage no. 12.
 - Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 - Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 - Fence posts shall be either wood post with a minimum cross-sectional area of 3.0 sq. in. or a standard steel post.

CONSTRUCTION SPECIFICATIONS

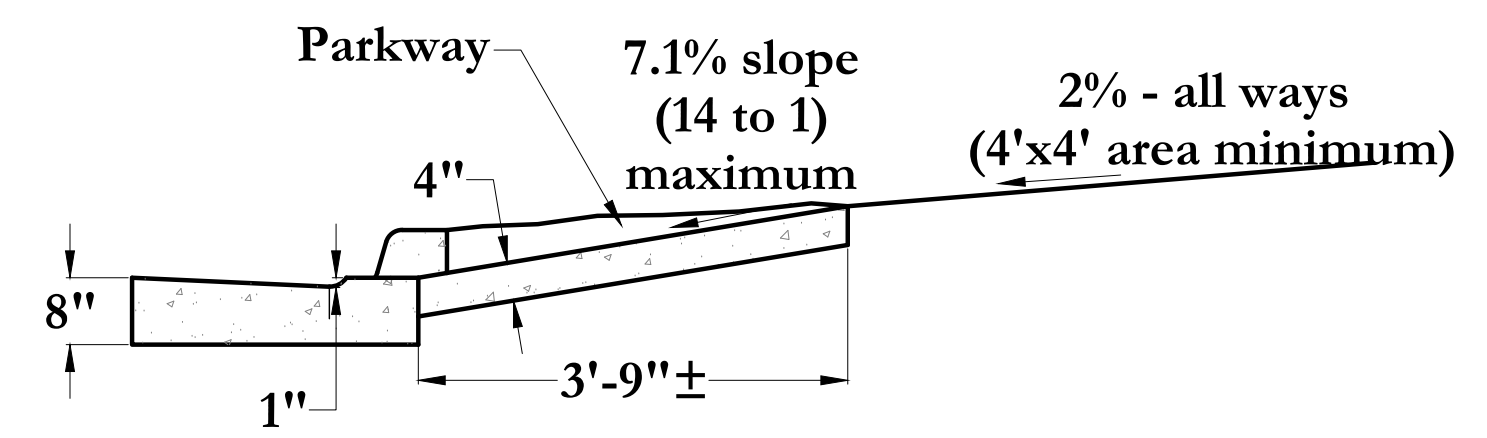
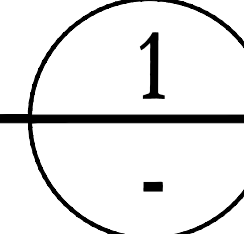
- Wattles shall be placed at the toe of a slope, on the contour, and in a row with the ends of each bale tightly abutting the adjacent bales.
- Each bale shall be entrenched in the soil a minimum of 4" and placed so the bindings are horizontal.
- Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale 12" to 18" into the ground. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the top of the bale.
- Straw bale dikes shall be inspected frequently and after each rain event and maintenance performed as necessary.
- All bales shall be removed when the site has been stabilized. The trench where the bales were located shall be graded flush and stabilized.

REVISIONS	DATE	SCALE	PLOTTED
SYMBOL			
DESCRIPTION			
DRAWN	JLS	DESIGN	MH
CHECK	MH	SUBMIT	03-20-23
			N.T.S.

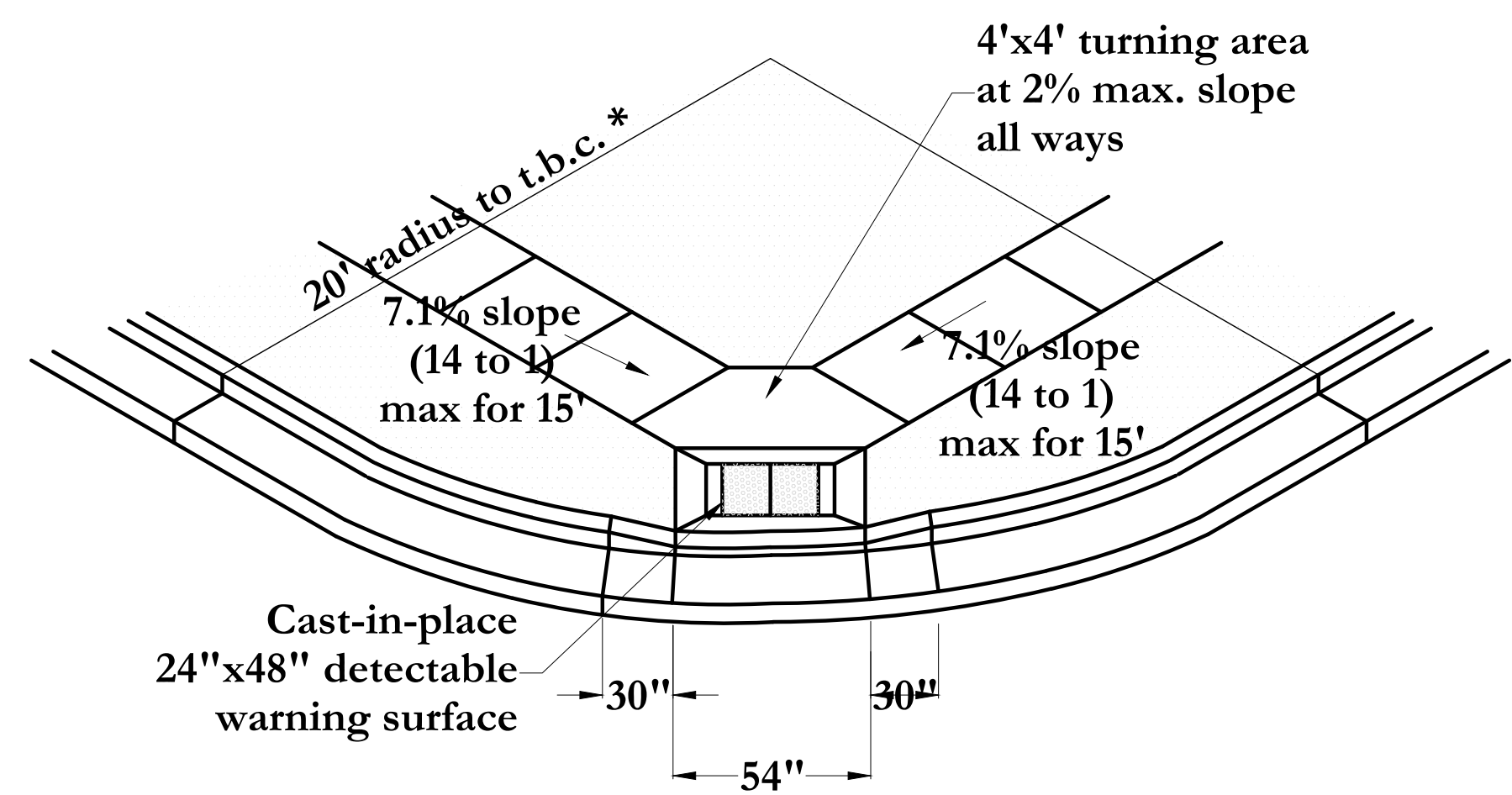


**WHEELCHAIR RAMP-
PEDESTRIAN ACCESS**

SCALE: NONE



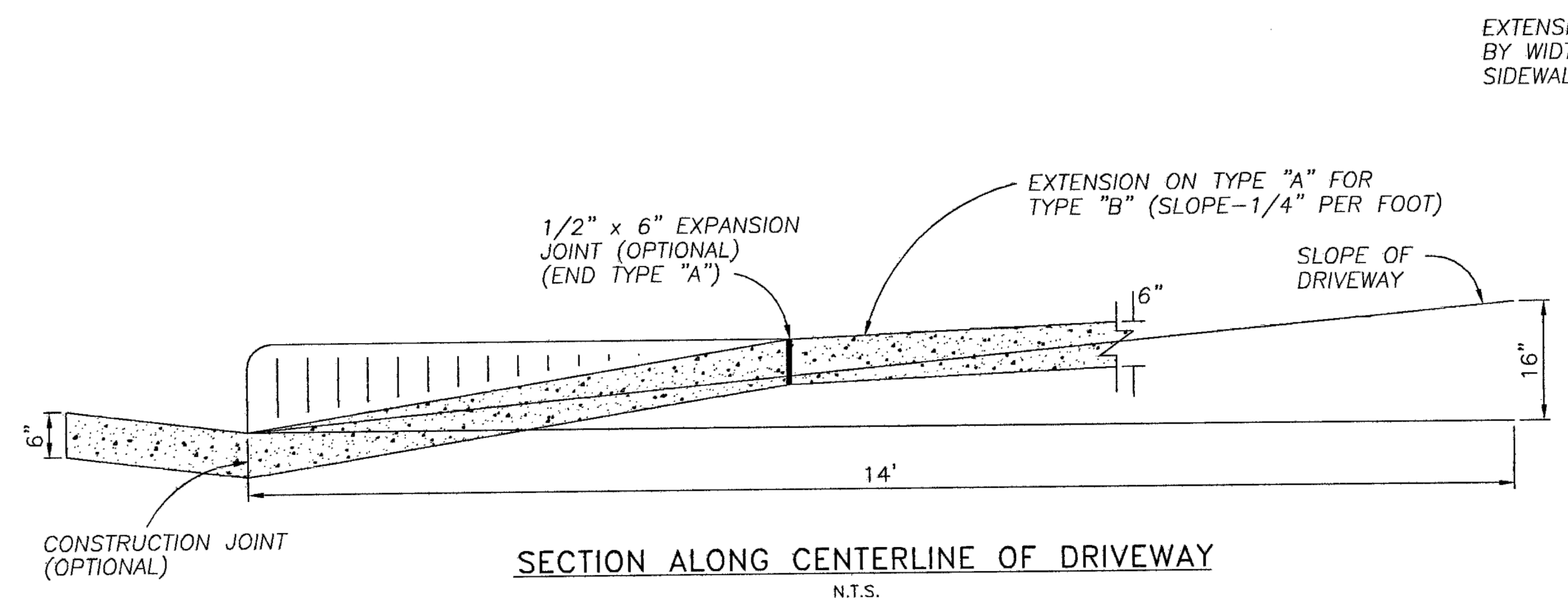
SECTION A



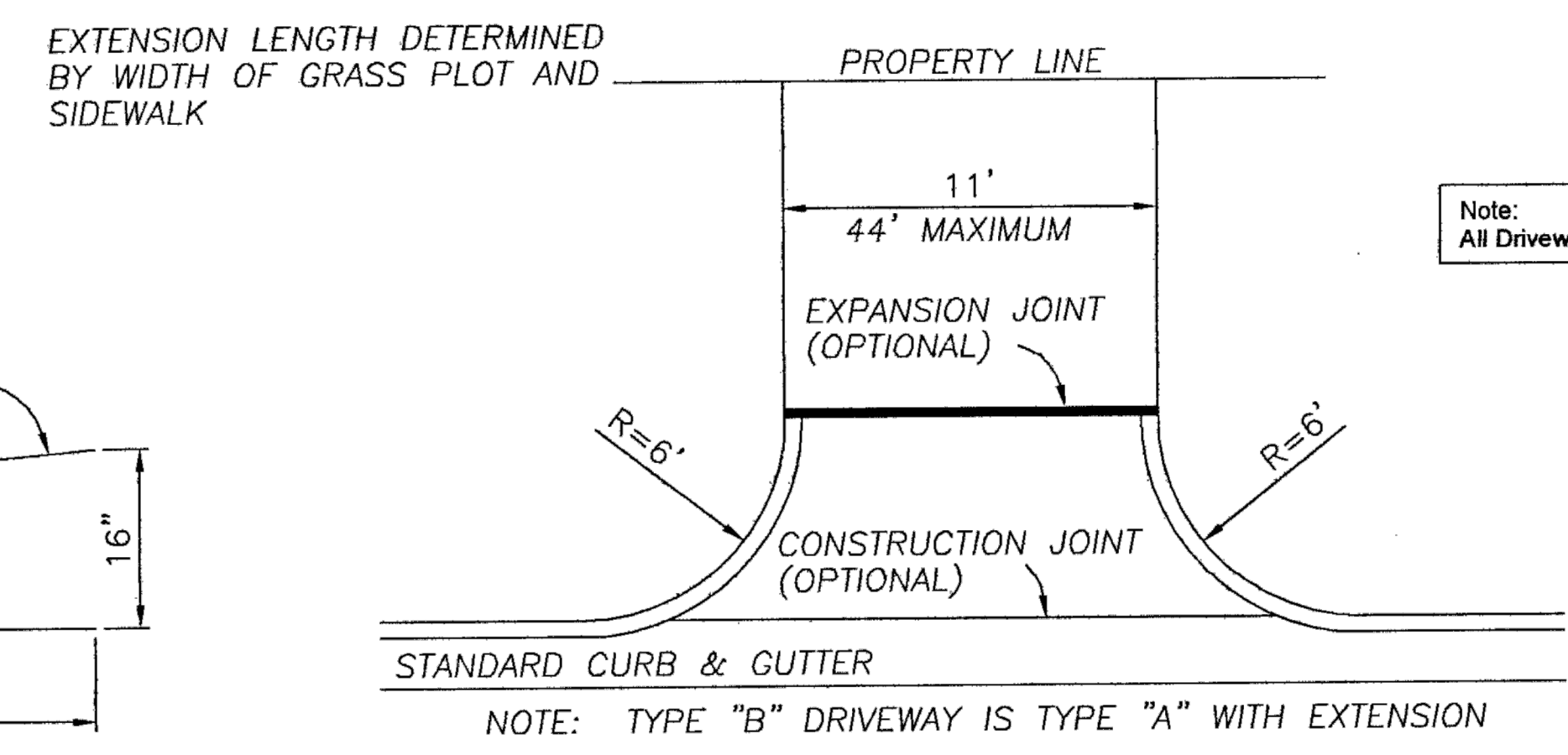
PICTORIAL VIEW

NOTES:

1. A minimum 6" depth of roadbase material or crushed gravel shall be placed to grade and compacted under handicap ramps to 95% of maximum dry density prior to placement of concrete.
2. Locate all inlet grates 2' minimum away from the pedestrian crosswalk, with all drainage intercepted before storm water crosses the crosswalk area.
3. Slopes shown are maximum slopes.
4. Expansion joints shall be constructed by placing an approved material, (typically bituminous impregnated fiberboard), the full depth of the concrete. expansion material shall be set 1/4" below the finish level of sidewalk ramp.
5. Materials, construction, and workmanship shall be in accordance with Clearfield City standards and specifications.
6. When a city roadway intersects with a UDOT road, a 35' minimum radius (or other) will be required as per UDOT requirement.
7. Detectable warning surface materials & installation must conform to "ADA cast-in-place tactile warning panels" requirements & specifications.
8. Detectable warning panels by "ADA Solutions, Inc.", color to be specified by City. (other products to be approved by City prior to installation).

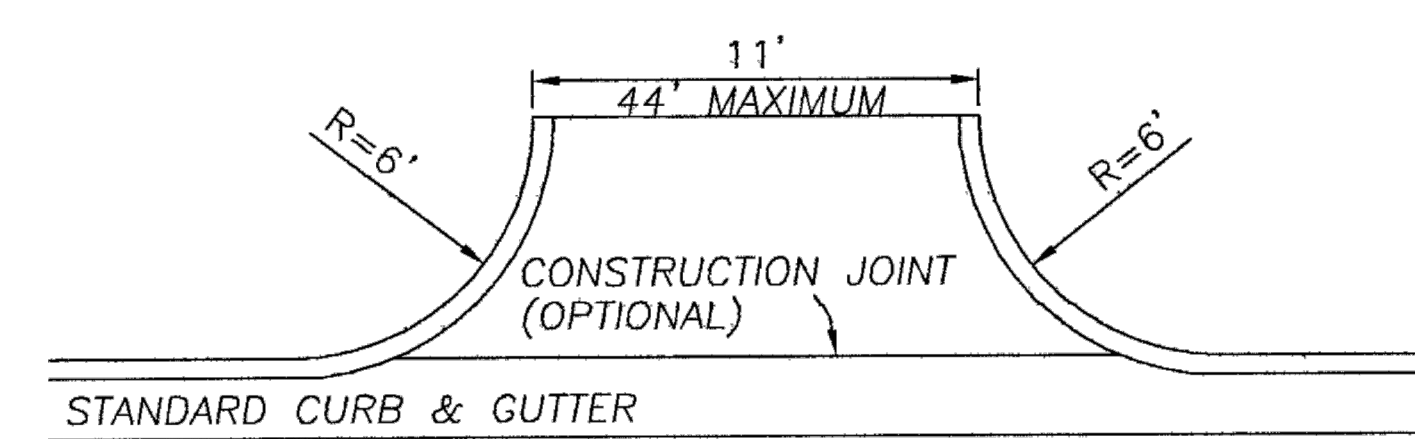


SECTION ALONG CENTERLINE OF DRIVEWAY



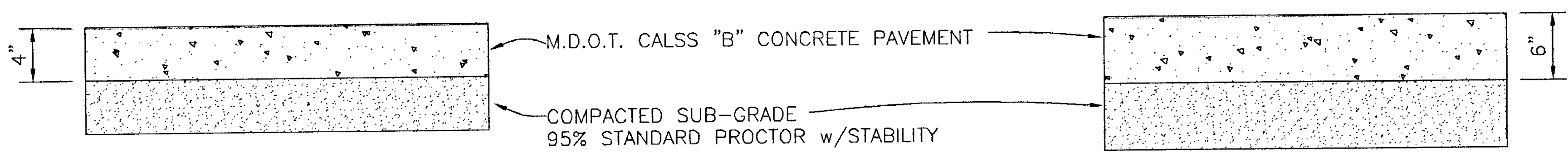
TYPE "B"

Note: All Driveway to be 3500 psi Concrete.

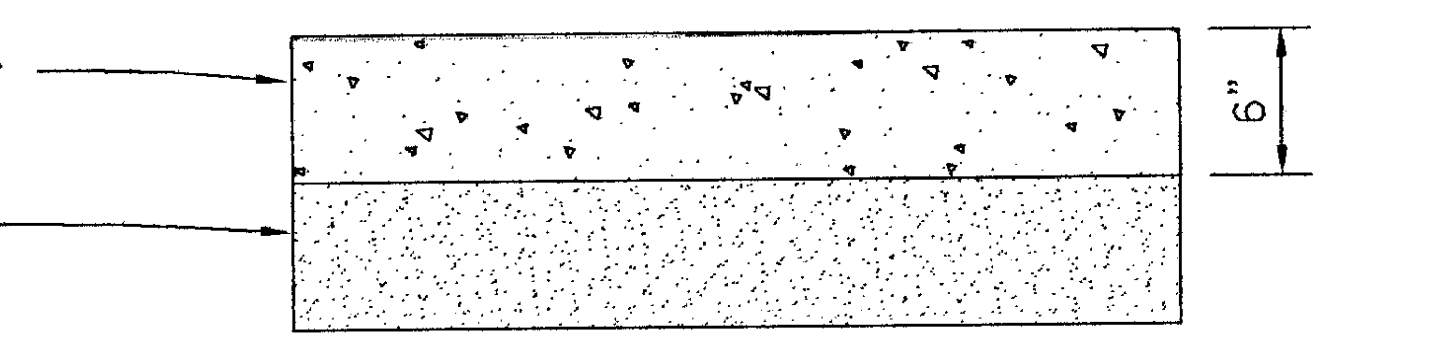


TYPE "A"

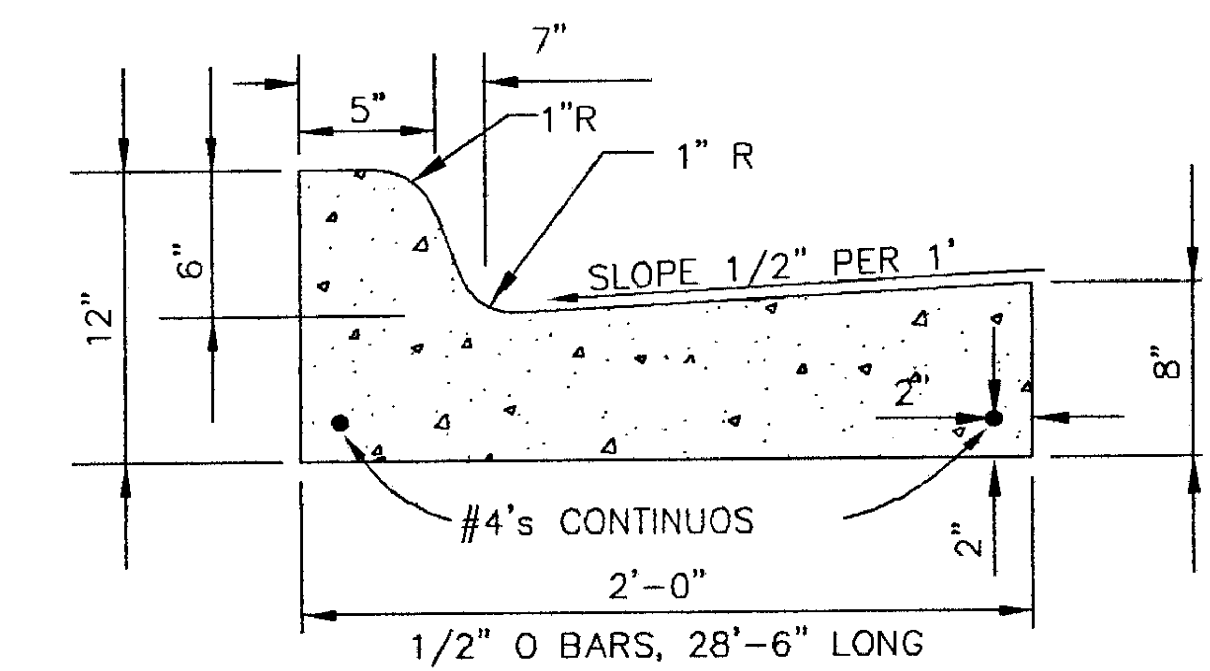
STANDARD DRIVEWAYS



TYPICAL STANDARD-DUTY CONCRETE PAVEMENT



TYPICAL HEAVY-DUTY CONCRETE PAVEMENT



STANDARD CURB & GUTTER

- NOTES: 1. ALL CURBS, GUTTERS & DRIVEWAYS TO BE CONSTRUCTED OF 3000 LB. CONCRETE.
2. 2-3/4" DOWEL BARS, 15" LONG REQ'D. AT EXPANSION JOINTS. THEY SHALL BE HELD IN PLACE BY APPROVED CHAIRS OR SUPPORTS AND 1/2" EXPANSION MATERIALS.

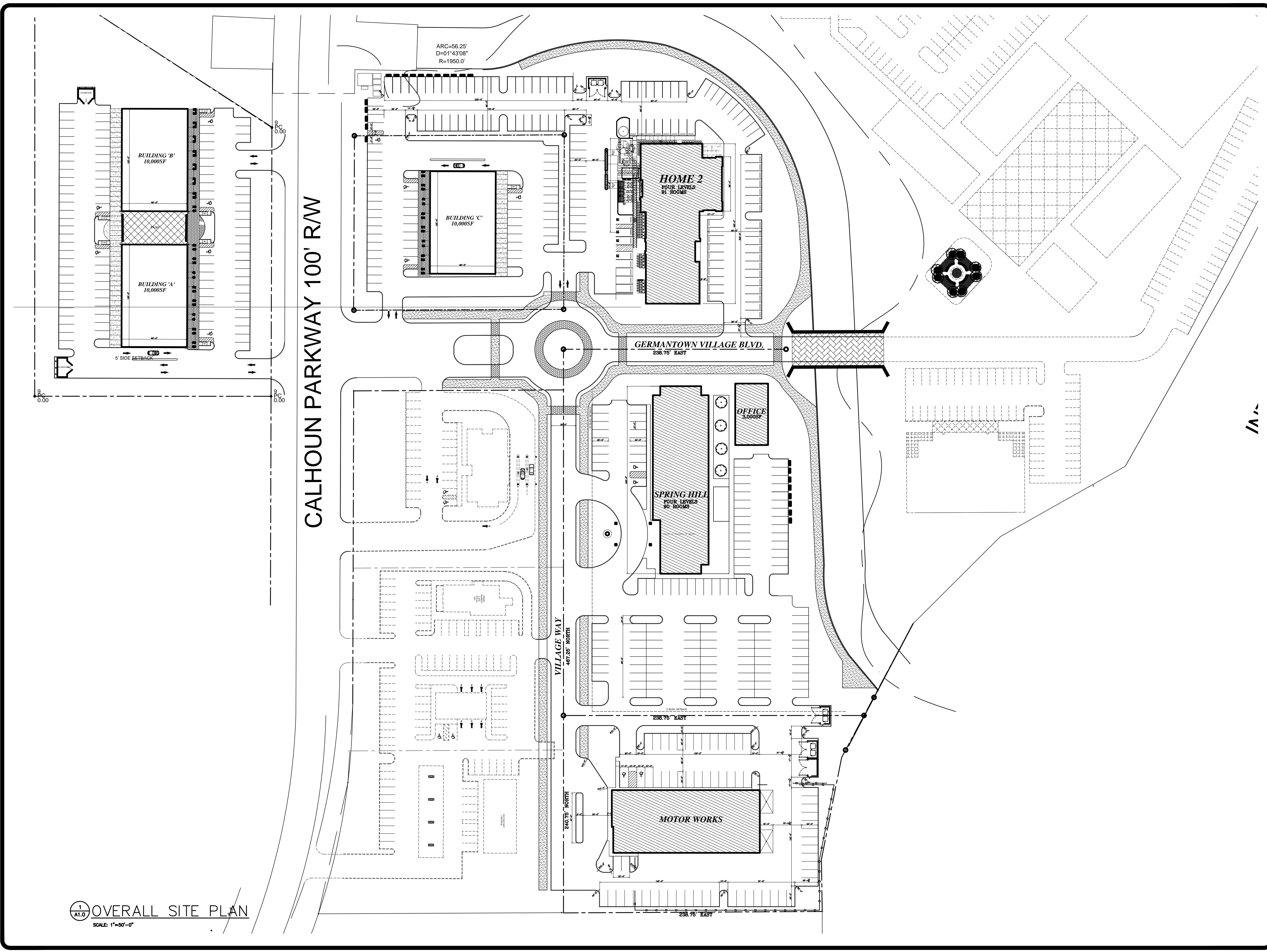
NOTE: MOUNTABLE CURB MAY BE SUBSTITUTED GRATE INLET IN CURB LINE - DF-3623

SYMBOL	REVISIONS	DATE	DESCRIPTION	CHECK	DESIGN	SUBMIT	SCALE	PLOTTED

MOTOR WORKS OVERALL SITE PLAN.dwg

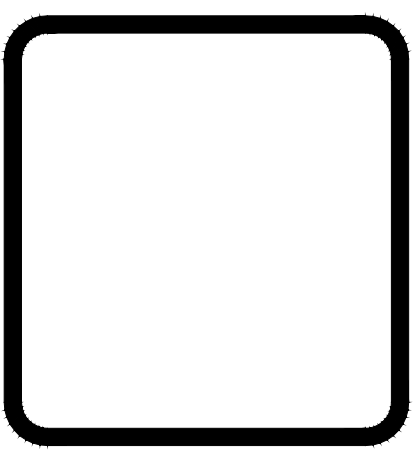
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DW



1
A1.0 OVERALL SITE PLAN
SCALE: 1"=50'-0"

REVISIONS	BY



WOOLDRIDGE & ASSOCIATES
464 CHURCH RD. SUITE 700
MADISON, MS 39110
601-209-8865
WOOLDRIDGEARCHITECTUREWFA100.COM

Village of Gluckstadt
Calhoun Station Parkway
Gluckstadt, Mississippi

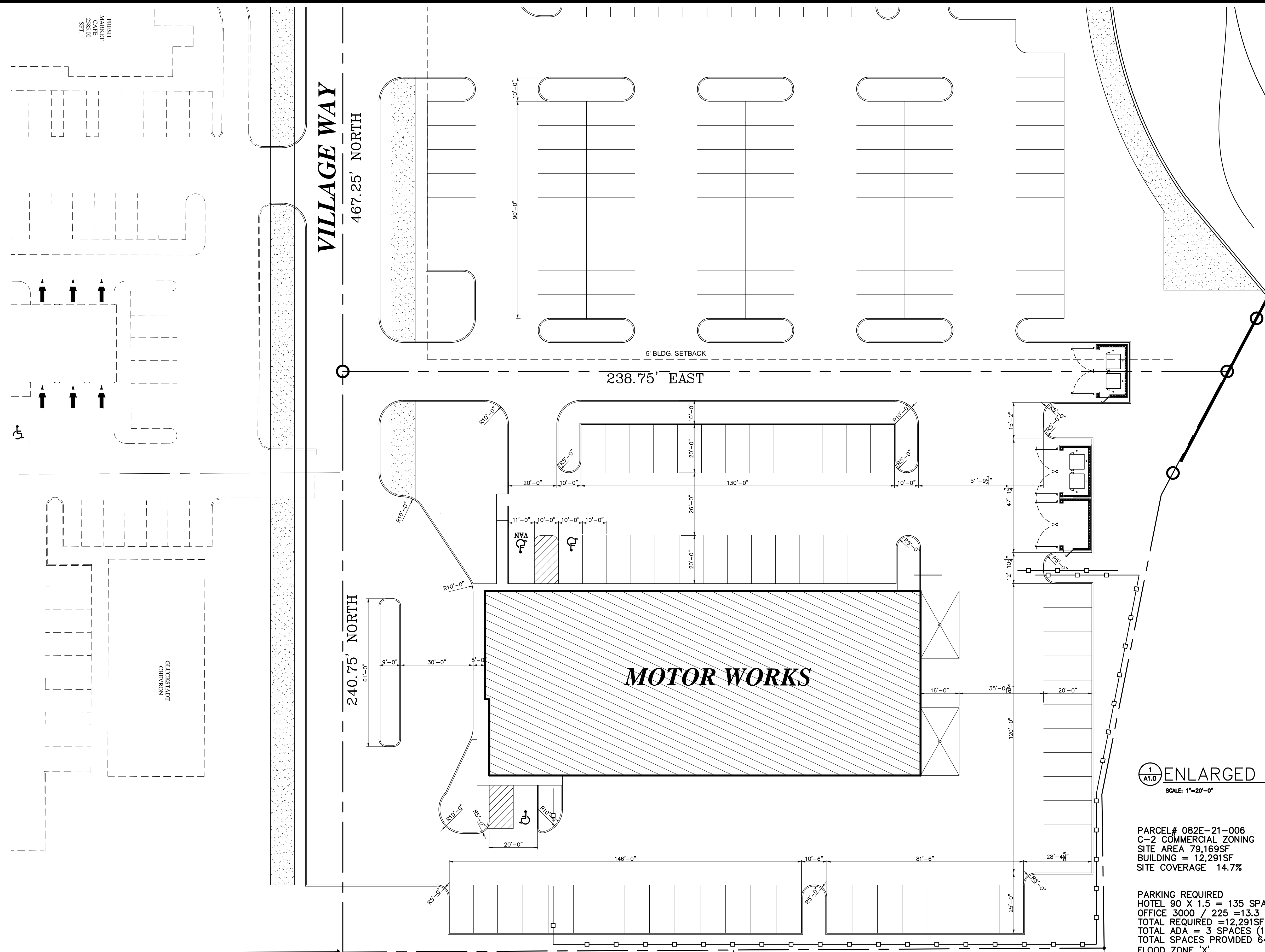
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DRAWN
CHECKED
DATE 4/17/23
SCALE
JOB NO.
SHEET
A0.0
OF SHEETS

MOTOR WORKS OVERALL SITE PLAN.dwg

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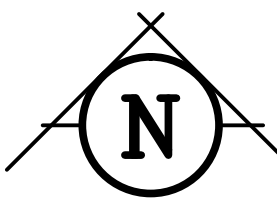
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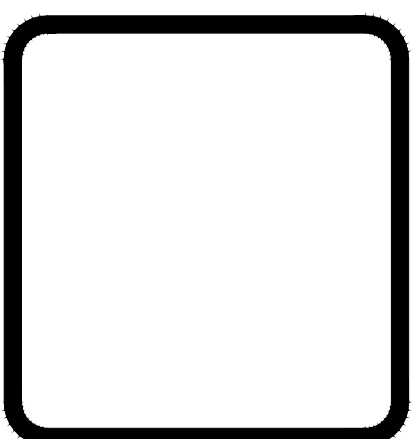
1 A1.0 ENLARGED SITE PLAN
SCALE: 1"=20'-0"

PARCEL # 082E-21-006
C-2 COMMERCIAL ZONING
SITE AREA 79,169SF
BUILDING = 12,291SF
SITE COVERAGE 14.7%

PARKING REQUIRED
HOTEL 90 X 1.5 = 135 SPACES
OFFICE 3000 / 225 = 13.3 SPACES
TOTAL REQUIRED = 12,291SF / 225 = 54.6 (55) SPACES
TOTAL ADA = 3 SPACES (1 VAN INCLUDED)
TOTAL SPACES PROVIDED 64
FLOOD ZONE 'X'
BUILDING USE: HOTEL & OFFICE
BUILDING HT. = 40 FEET



REVISIONS	BY



WOOLRIDGE & ASSOCIATES
484 CHURCH RD. SUITE 700
MADISON, MS 39110
601-209-8666
WOOLRIDGE@GULFCONSTRUCTUREMANAGEMENT.COM

Madison Motor Works
Calhoun Station Parkway
Gluckstadt, Mississippi

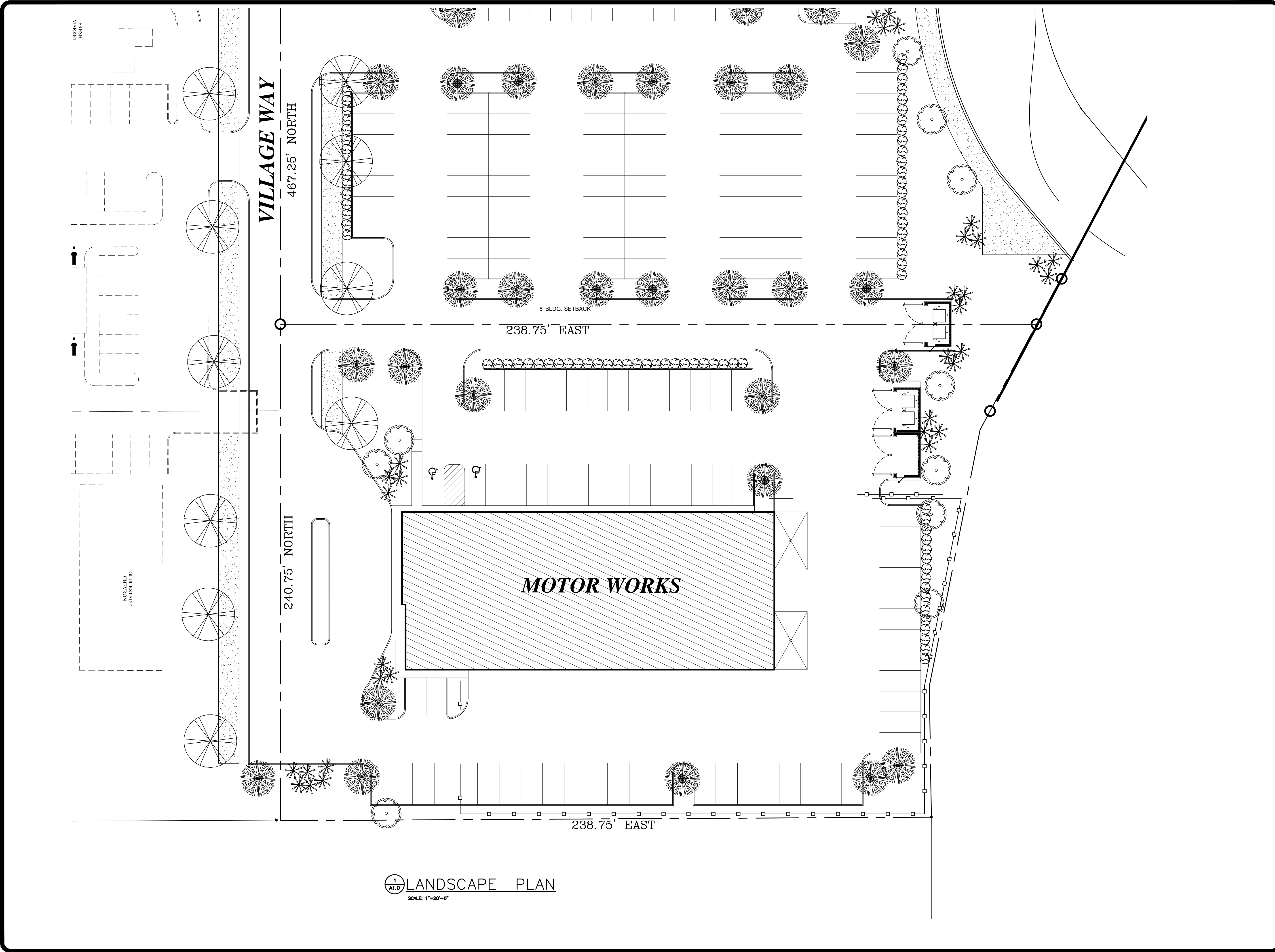
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DATE 4/17/23
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OF SHEETS

MOTOR WORKS OVERALL SITE PLAN.dwg

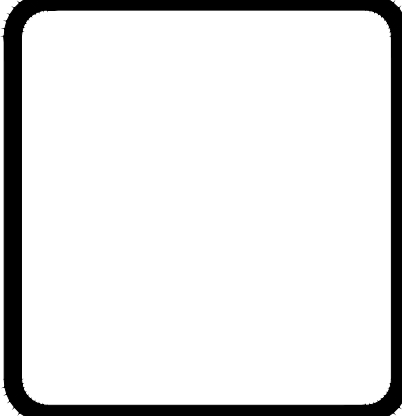
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1 LANDSCAPE PLAN
A1.0
SCALE: 1"=20'-0"

REVISIONS	BY



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Madison Motor Works
Calhoun Station Parkway
Gluckstadt, Mississippi

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