



REGULAR MEETING OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, July 09, 2024 at 6:00 PM

Agenda

This notice and agenda of the Regular Meeting of the Mayor and Board of Aldermen is hereby given by the undersigned. Said meeting shall be held on Tuesday, July 09, 2024, at 6:00 PM in the Board Room at City Hall, located at 343 Distribution Drive, Gluckstadt, MS 39110.

The business to be brought before the meeting shall be limited to the following:

1. Call Meeting to Order and Roll Call

2. Opening Prayer and Pledge of Allegiance

3. Approval of Consent Agenda Items

[A\)](#) Approval of June 11, 2024 Meeting Minutes

[B\)](#) Approval of Claims Docket

[C\)](#) Request for Approval to Enter into a Maintenance Agreement with IDEMIA

[D\)](#) Request For Approval to Designate Three Vehicles in Possession of the Gluckstadt Police Department "Unmarked Vehicles"

[E\)](#) Request to Remove Dell Monitor from Fixed Assets

[F\)](#) Approval of Gluckstadt Rd and Bozeman Rd Traffic Signal Special Circumstance

[G\)](#) Building Department, Cash Drawer Request

4. Monthly Budget Report

[A\)](#) Monthly Budget Reports (June)

[B\)](#) City Account Bank Reconciliations (June)

5. New Business

[A\)](#) Discussion of Focus Report, Gluckstadt City Park Feedback

- 6. Grant Administrator, Grant Status Updates (Ruth Marie Stogner)**
 - [A\)](#) Current Grant Projects
 - [B\)](#) Projected Grant Projects
 - [C\)](#) Request to Create a 501(c)3 Non-Profit for Foundation Funding
- 7. City Clerk, City Administration Matters (Lindsay Kellum)**
 - [A\)](#) General Update, City Administration Matters (City Clerk)
 - [B\)](#) Monthly Privilege License Update (Deputy City Clerk)
 - [C\)](#) Authorization to Implement Annual Cyber Security Course for City Staff
 - [D\)](#) Request for Classification of Positions as Exempt from Overtime and Subject to Compensatory Time Policy
- 8. Building Official, Planning and Zoning Matters (William Hall)**
 - [A\)](#) General Update, Planning and Zoning/Building Department
 - [B\)](#) Discussion of Proposed Conditional Use Changes (Alderman Bates)
 - [C\)](#) Discussion and Consideration of The Oaks Conditional Use
 - [D\)](#) Discussion and Consideration of Mills Contracting Site Plan
 - [E\)](#) Amendment to Adopted 2018 IPMC
 - [F\)](#) Discussion of City Regulatory Authority Related to Developers (Alderman Powell)
- 9. Public Works Department (Chris Buckner)**
 - [A\)](#) General Update, Public Works
 - [B\)](#) Request for Approval of Subdivision Regulations Amendment
 - [C\)](#) Request for Approval of Cooperation Agreement with Madison County for Stout Rd Maintenance
- 10. Police Chief, Police Department Matters (Chief Barry Hale)**
 - [A\)](#) General Update, Law Enforcement Matters
 - [B\)](#) Requesting Approval of MOU, GPD & Mississippi Department of Transportation
 - [C\)](#) Discussion of New Police Department Delay in Completion (Entergy Issue)
- 11. Public Comment**
- 12. Closed Session to Determine Need for Executive Session**

13. Adjourn

WALTER C. MORRISON, IV
MAYOR

We the undersigned Aldermen acknowledge that we were given notice of said meeting at least three (3) hours in advance thereof by a copy of this notice.

Alderwoman Bates _____

Alderman Powell _____

Alderman Slay _____

Alderman Taylor _____

Alderwoman Williams _____

ATTEST:

DATE:

LINDSAY D. KELLUM
CITY CLERK

[Seal]



REGULAR MEETING OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI

Tuesday, June 11, 2024, at 6:00 PM

Minutes

1. Call Meeting to Order and Roll Call

The Mayor called the June 11, 2024, Regular Meeting of the Mayor and Board of Aldermen to order. The Mayor presented the Notice of Regular Meeting of the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi acknowledged by all Aldermen. (Exhibit "A").

Board Members Present: Mayor Walter C. Morrison, Alderman John Taylor, Alderwoman Miya Warfield Bates, Alderman Wesley Slay, Alderman Jayce Powell and Alderwoman Lisa Williams.

Staff Members Present: City Clerk Lindsay Kellum, Deputy Clerk Scott Maugh, Executive Assistant Janet Brooks, Planning & Zoning Director / Building Official William Hall (via telephone), Public Works Director Chris Buckner, Chief of Police Barry Hale, Grant Administrator Ruth Stogner, City Attorney John Scanlon, and City Attorney Zachary Giddy.

2. Opening Prayer and Pledge of Allegiance

Pastor Steven Brooks opened the meeting with prayer.

Alderman Powell led the pledge of allegiance.

No action taken.

3. Presented Items

A) Discussion of Morgan Stone Site Access - Gas Pipeline Issue (Mayor Morrison)

The Mayor amended the agenda to take this item (3A) up last in this section, after item 3F.

Ms. Ellen Morgan with Morgan Stone addressed the Mayor and Board of Aldermen raising the issue of a gas pipeline preventing the property owners from accessing their commercial property within the City of Gluckstadt, which was purchased in December of 2022. Morgan Stone is a new stone yard business within the city that has met all city zoning requirements and has received the city's approval on their site plan. The property owners have been unable to begin development of their property or gain access to said property due to a gas line that runs beneath the property along the west side of Hwy 51. Ms. Stone wants to raise awareness of not only the economic hinderance to landowners it affects, but also serious safety concerns, as the pipe is ninety years

old, metal, six inches in diameter, and in some areas it is exposed or not buried deep enough; she has concerns they have not been properly maintained and are in need of upgrades.

The pipeline is owned by Boardwalk Pipelines and Gulf South Pipeline Company; they did not have any representatives attend the board meeting, although the Mayor invited them to address Ms. Morgan's concerns and that of the City of Gluckstadt.

No action taken.

B) Presentation of Donation to Gluckstadt Police Department, Stadt Scramble Golf Tournament Proceeds (Gluckstadt Madison Business Alliance)

Ms. Elizabeth Tyler, Director of the Gluckstadt Madison Business Alliance and Ms. Jamie Lake, President of the Gluckstadt Madison Business Alliance, presented a check in the amount \$5,000.00 to the Gluckstadt Police Department as a donation for gym equipment for the new police department. The proceeds were raised from the 2nd Annual Stadt Scramble Golf Tournament.

The Mayor and Board, as well as the Chief of Police, extended their sincerest gratitude and appreciation to the Gluckstadt Madison Business Alliance for their continued support.

No action taken.

C) Recognition of Lieutenant Stephen Tucker as Gluckstadt's Top Cop 2024

Chief Hale presented Lt. Stephen Tucker with City of Gluckstadt Top Cop Award. Lt. Tucker has been with the Gluckstadt Police Department since June of 2022 and is an asset to the department.

The Mayor and Board, as well as the Chief of Police, expressed their deep pride and sincerest congratulations to Lt. Tucker for all he has accomplished in just two years with the department.

No action taken.

D) Declaration of June 21st as Go Skateboarding Day (Alderman Powell)

The Mayor requested a motion to approve the Resolution Recognizing June 21, 2024, as Go Skateboarding Day in the City of Gluckstadt. (Exhibit "B"). A motion to approve the resolution was made by Alderman Powell and seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

E) Resolution Recognizing Addison Cado, Miss Teen City of Gluckstadt

The Mayor requested a motion to approve the Resolution Recognizing Addison Cado as Miss Teen City of Gluckstadt. (Exhibit "C"). A motion to approve the resolution was made by Alderman Powell and seconded by Alderwoman Williams.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

F) Presentation of Academic Scholarships to Hannah Cole and Matthew Latham, Mayor's Youth Council

The Mayor presented Gluckstadt Senior Academic Scholarships in the amount of five-hundred dollars (\$500) each to Hannah Cole and Matthew Latham, members of the Mayor's Youth Council. The Mayor and Board congratulated both seniors and wished them the best in their collegiate journey.

No action taken.

4. Approval of Consent Agenda Items

- A) Approval of May 14, 2024, Regular Meeting Minutes**
- B) Approval of Claims Docket**
- C) Ordinance Amending Zoning Ordinance Text, Removing Section 407, Food Truck Requirements**
- D) Appointment of 2024 Voting Delegates, Mississippi Municipal League Conference (Elections)**
- E) Requesting Approval for Sergeant Brian McCarty and Investigator Rob Parker to attend Fundamentals of Cellular Analysis (3-Day Virtual Course)**
- F) Request for Approval for Travel and Training Reimbursement for American Law Enforcement Canine Handlers Association Training Seminar (Officer Eric Huff)**
- G) Request for Approval for Lindsay Kellum, City Clerk, to Attend 2024 Labor and Employment Seminar, Gulfport (July 24-26) & Reimbursement of Related Travel Expenses**
- H) Request for Approval of C-Spire Contract For Building Official Cell Phone**
- I) Notification of Special Circumstance Purchase, Big 10**
- G) Request for Approval, Drainage Work at 160 Bradfield Rd**

The Mayor requested a motion to approve the Consent Agenda (Exhibit "D"). A motion to approve the consent agenda was made by Alderman Taylor and seconded by Alderman Slay.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

5. Monthly Budget Report

June 11, 2024, Regular Meeting of the Mayor and Board of Aldermen

A) Monthly Budget Reports

The Mayor presented the monthly budget reports. (Exhibit "E")

No action taken.

B) Bank Reconciliations, May

The Mayor presented the monthly bank reconciliations. (Exhibit "F")

No action taken.

6. New Business**A) Discussion of Germanfest & Annual Planning of Future City Events, City of Gluckstadt (Alderman Powell & Mr. Dusty Alman)**

Mr. Dusty Alman and Mr. Kerry Minninger addressed the board concerning the annual Gluckstadt Germanfest event, and future events. Discussions included the following items:

- *Creation of a Festival / Special Events Committee*
- *Formation of a 501(c)3*
- *Development of Visitor and Tourism Dept. Formation / Community Outreach*
- *Possible 2% Special Tax Increase, Applying for Resort Status*
- *Securing Sponsorships & Relationships with Local Business Community*

No action taken.

7. Old Business**A) Update from City Planner, Comprehensive Plan and Overlay District (Alderman Powell & Chris Watson)**

Chris Watson, City Planner, addressed the board on the status of the comprehensive plan and Gluckstadt overlay district.

No action taken.

8. Court Clerk, Municipal Court Department (Stephanie Gerlach)**A) General Update, Municipal Court**

The Mayor provided an update on court statistics for the month of May.

No action taken.

9. Grant Administrator, Grant Status Updates (Ruth Marie Stogner)**A) General Update, Grant Administrator**

The Grant Administrator provided a status update on active grants.

No action taken.

B) Approval of Request to Purchase a Metrix Three (3) Lane ALPR, Competitive Procurement Request and Authorization for Mayor to Sign

The Mayor requested a motion to approve the purchase of Metrix Three Lane ALPR Cameras (Exhibit "G"). A motion to approve the procurement request was made by Alderman Bates and seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

10. City Clerk, City Administration Matters (Lindsay Kellum)

A) General Update, City Administration

The City Clerk updated the board on city administration matters. (Exhibit "H")

No action taken.

B) Privilege Licenses, Monthly Update

The Deputy Clerk updated the board with the monthly privilege license report. (Exhibit "I").

No action taken.

C) Notification to Mayor and Board of Aldermen, Designation of Lindsay Kellum as Certified Municipal Clerk (Graduation June 2024 at MML)

The City Clerk notified the board of her upcoming graduation as a Certified Municipal Clerk, after completing three years of education and all requirements with the Certified Municipal Clerk Program through the Mississippi State Extension Center for Government and Community Development.

No action taken.

11. Building Official, Planning and Zoning Matters (William Hall)

A) General Update, Planning and Zoning/Building Department

The Planning and Zoning / Building Director addressed the board concerning recent planning and zoning / building matters.

No action taken.

B) Discussion and Consideration of Approval: Application for Rezoning, 342 Old Jackson Road, A-1 to C-2

The Mayor requested a motion to approve the rezoning application for 342 Old Jackson Road, from A-1 to C-2 in accordance with recommendations provided by the Planning and Zoning

Commission. (Exhibit "J"). A motion was made to approve the rezoning application by Alderman Taylor with the finding that there is a change in the characteristic of the neighborhood, and that there is a public need for the rezoning and seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

C) Discussion and Consideration of Magnolia Commons Sign Standard

The Mayor requested a motion to approve the sign standard for Magnolia Commons. (Exhibit "K"). A motion was made to approve the sign standard by Alderman Slay and was seconded by Alderman Taylor.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

D) Discussion and Consideration of Mississippi Tent Conditional Use Appeal

Mr. Hutchinson requested to table this item until the August 2024 Regular Meeting of the Mayor and Board of Aldermen.

Alderman Powell made a motion to table this item to the August 13, 2024, regular meeting, with all notice and process continued to that date, and Alderman Taylor seconded.

All approved.

12. Public Works Department (Chris Buckner)

A) MDOT Project Activation, Calhoun Station Parkway Overlay Project

The Mayor requested a motion to approve the activation of the Calhoun Station Parkway Overlay Project. (Exhibit "L"). A motion was made to approve the project activation for Calhoun Station Parkway Overlay by Alderman Slay and was seconded by Alderman Taylor.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

B) MDOT Project Activation, Gluckstadt Rd Capacity Improvements

The Mayor requested a motion to approve the activation of the Gluckstadt Road Widening Project. (Exhibit "M"). A motion was made to approve the project activation for Calhoun Station Parkway Overlay by Alderman Slay and was seconded by Alderwoman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

C) Request for Authorization to Advertise for Term Bids (Various Goods and Services)

The Mayor requested a motion to authorize the public works director to advertise for various term bids (Exhibit "N"). A motion was made to approve the advertisement for various term bids by Alderman Slay and was seconded by Alderman Taylor.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

D) Request for Approval, Removal & Replacement of Failed Curb & Gutter in Red Oak Subdivision

The Mayor requested a motion to approve the project replacement of failed curb and gutter in Red Oak Subdivision. (Exhibit "O"). A motion was made to approve the project replacement of failed curb and gutter in Red Oak Subdivision by Alderman Slay and was seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

E) Approval of Amendment to Public Works Subdivision Regulations

The Public Works Director requested the Mayor and Board review draft amendments to the subdivision regulations and provide feedback to him ahead of the July regular meeting, where he will request adoption of amended subdivision regulations.

No action taken.

13. Police Chief, Police Department Matters (Chief Barry Hale)

A) General Update, Police Department

The Chief of Police updated the board concerning recent law enforcement matters.

No action taken.

14. Public Comment

Mr. Don Trung, owner of Four Seasons Nail Salon, requested a moratorium or distance requirement in zoning regulations on nail salons in the City of Gluckstadt, as he stated there is an oversaturation or too many so close together in the City of Gluckstadt.

Mr. Lee Hutchinson addressed the board concerning amended subdivision regulations.

No action taken.

15. Closed Session to Determine Need for Executive Session

The Mayor requested a motion to move into closed determination to consider going into executive session. A motion was made by Alderman Slay to enter closed determination and seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

The Board entered closed determination.

Alderman Slay made a motion to move into executive session to discuss the qualifications of an individual for employment in the police department and was seconded by Alderwoman Bates.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

The Board entered executive session. The City Clerk made an announcement to the public that the Board entered executive session to discuss the qualification of an individual for employment in the police department and was seconded by Alderwoman Bates.

A) Consideration of Kori Stewart, Police Officer

Alderman Taylor made a motion to hire Kori Stewart for the position of Police Officer at \$46,000 annual salary + benefits such as health insurance and retirement, contingent upon successful passing of all applicable background checks, and directed the Chief of Police to send a formal offer letter to Ms. Stewart. Alderman Powell seconded the motion.

Voting Yea: Alderman Slay, Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates.

The Mayor declared the motion carried.

Within executive session, Alderwoman Bates made a motion to leave executive session and re-enter open session, Seconded by Alderman Taylor.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay.

The Mayor declared the motion carried and the board re-entered open session.

The City Clerk made the public announcement that the board voted in Executive Session to approve the hire Kori Stewart for Police Officer at \$46,000 + benefits, including city health insurance and retirement, plus supplemental benefits offerings, with employment contingent upon successful passing of all relevant background checks.

No further action taken.

16. Adjourn

Alderman Slay made a motion to adjourn, and it was seconded by Alderman Powell.

Voting Yea: Alderman Powell, Alderman Taylor, Alderwoman Williams, Alderwoman Bates, Alderman Slay

The Mayor declared the motion carried.

WALTER C. MORRISON, IV
MAYOR

ATTEST: _____ DATE: _____

LINDSAY D. KELLUM
CITY CLERK

[Seal]



Gluckstadt, MS

Docket of Claims Register

Section 3, (B)

APPKT00542 - 7.1.24 Payments, Monthly/ Recurring Bills (7/9/24 Claims Docket, Other)

By Docket/Claim Number

Vendor #	Vendor Name Payable Number	Docket/Claim # Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount Distribution Amount
00299	110 Percent, LLC INV0001818	712024 July Rent, Lone Wolf	Invoice	07/01/2024	July Rent, Lone Wolf	001-195-68300	3,000.00 3,000.00
00166	Andrew Duggar INV0001820	712025 P&Z Commission, June Mtg	Invoice	07/05/2024	P&Z Commission, June Mtg	001-190-60103	120.00 120.00
00135	John G. Sims, III INV0001824	712026 July Court Services	Invoice	07/05/2024	July Court Services	001-110-60101	1,200.00 1,200.00
00163	Katrina B. Myricks INV0001822	712027 P&Z Commission, June Mtg	Invoice	07/05/2024	P&Z Commission, June Mtg	001-190-60103	120.00 120.00
00189	Kayce Leigh Saik INV0001823	712028 P&Z Commission, June Mtg	Invoice	07/05/2024	P&Z Commission, June Mtg	001-190-60103	120.00 120.00
00032	Kelly Dabbs Commercial, LLC INV0001819	712029 July Rent, City Hall	Invoice	07/01/2024	July Rent, City Hall	001-195-68300	8,792.00 8,792.00
00142	Marsha Weems Stacey INV0001829	712030 June Court Services	Invoice	07/05/2024	June Court Services	001-110-60102	200.00 200.00
00149	Melanie Greer INV0001825	712031 July P&Z Commission, Mtg	Invoice	07/05/2024	July P&Z Commission, Mtg	001-190-60103	120.00 120.00
00134	Michael Devin Whitt INV0001828	712032 July Court Services	Invoice	07/05/2024	July Court Services	001-110-60201	1,200.00 1,200.00
00139	Mississippi Department of Public INV0001831	712033 June Court Assessments	Invoice	07/01/2024	Interlock Assessment June Special Assessments	001-000-33000 001-000-33000	1,836.94 1,300.00 536.94
00138	State General Fund (DFA) INV0001830	712034 June Court Assessments	Invoice	07/01/2024	June Court Assessments	001-000-33000	32,825.86 32,825.86
Total Claims: 11						Total Payment Amount:	49,534.80



Gluckstadt, MS

Docket of Claims Register

Section 3, (B)

APPKT00548 - July 2024 Claims Docket

By Docket/Claim Number

Vendor #	Vendor Name Payable Number	Docket/Claim # Payable Description	Payable Type	Payable Date	Item Description	Account Number	Payment Amount Distribution Amount
00003	A Complete Flag Source, Inc. 47306	2024503 Gluckstadt Flag & Pole	Invoice	07/09/2024	3x5 FT COG Custom Poly Knit Flag	001-195-92100	392.46
					8 FT x 1 1/4 IN Oak Pole	001-195-92100	216.00
					Cord & Tassel	001-195-92100	74.47
					Spear Plastic Topper 8 IN	001-195-92100	27.99
					Stand Freedom	001-195-92100	25.45
							48.55
00136	Adcamp Inc. 43370	2024504 MONTHLY ASPHALT PURCHASE STREET	Invoice	07/09/2024	MONTHLY ASPHALT PURCHASE - MAY	001-301-55904	535.08
00093	AgUp Equipment P18017	2024505 Oil Filter & Oil	Invoice	07/09/2024	Oil	001-301-52500	29.83
					Oil Filter	001-301-52500	20.13
							9.70
00203	APAC-Mississippi, Inc. 4000178297	2024506 Asphalt	Invoice	07/09/2024	Asphalt	001-301-55904	210.00
00279	AT&T Mobility 062024	2024507 Monthly Backup Line Payment	Invoice	07/09/2024	Monthly Backup Line Payment	001-195-60500	40.23
00078	Axon Enterprise, Inc. INUS253847	2024508 Initial Taser Contract/Recert - Year 3	Invoice	07/09/2024	Initial Taser Contract/Recert - Year 3	001-200-63600	7,200.01
00086	Barry Hale 062024	2024509 2024 MACP Conf. Reimbursement	Invoice	07/09/2024	MACP Conf. Reimbursement	001-200-61000	54.07
00006	Bear Creek Water Association 062024	2024510 Water & Sewer (CH) - June 2024	Invoice	07/09/2024	Water & Sewer (CH) - June 2024	001-195-63003	87.15
					Water & Sewer (LW) - June 2024	001-195-63003	50.34
							36.81
00269	Benchmark Construction Corp. 072024	2024511 PD Building Contractor Payment	Invoice	07/09/2024	PD Building Contractor Payment	006-200-90100	850,601.45
					PD Building Contractor Payment	006-200-90100	100,460.78
					PD Building Contractor Payment	006-200-90100	750,140.67

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00108	Big 10 Tire Co. 5105694	2024512 Tires Unit 2209	Invoice	07/09/2024	Alignment Job Supplies	001-200-57000	1,031.22
					General - 15578240000 255/60/18	001-200-57000	6.65
					Labor: Alignment	001-200-57000	599.96
					Labor: Mount & Balance (4 Tires)	001-200-57000	69.99
					Labor: TPMS reset/rubber valve stem	001-200-57000	80.00
					Mount and Balance Job supplies	001-200-57000	23.48
					Tire Disposal	001-200-57000	9.83
	5106031	Battery Replacement	Invoice	07/09/2024	Battery Gold - 94H7	001-200-57000	20.00
					Labor: Install Battery	001-200-57000	206.34
							14.97
00008	Bridge & Watson, Inc.	2024513					38,298.03
	062024Admin	Admin Billing - June 2024	Invoice	07/09/2024	Admin Billing - June 2024	001-195-60101	1,738.00
	062024Annex	Annexation Billing - 5/20/24 - 6/19/24	Invoice	07/09/2024	Annexation Billing - 5/20/24 - 6/19/24	001-195-60104	26,662.53
	062024Comp	Comp Plan Billing - 4/22/24 - 6/19/24	Invoice	07/09/2024	Comp Plan Billing - 4/22/24 - 6/19/24	001-190-60101	9,897.50
00010	Cascio Sanford Government Law	2024514					3,500.00
	10088	Lobbying Fees - July 2024	Invoice	07/09/2024	Lobbying Fees - July 2024	001-195-60102	3,500.00
00113	Central Pipe Supply Inc.	2024515					12,768.75
	S100369075.001	Germantown Retail Drainage Material	Invoice	07/09/2024	24" #2401Di Nyloplast Drop In Grate	001-301-91200	580.00
					30" Marmac Dissimilar Adapter Coupli	001-301-91200	996.48
					ADS Dual Wall Split Coupler 24"	001-301-91200	81.20
					ADS Dual Wall Split Coupler 30"	001-301-91200	377.54
					ADS Dual Wall Tee 30"X24"	001-301-91200	1,231.73
					ADS N12 Dual Wall HDPE Pipe STIB 24"	001-301-91200	619.80
					ADS N12 Dual Wall HDPE Pipe STIB 30"	001-301-91200	8,882.00
00225	Clark Rental & Supply, LLC	2024516					150.00
	POS3147ref	36' Fan	Invoice	07/09/2024	36' Fan	001-301-91600	150.00
00013	Column Software PBC	2024517					145.89
	20571CB1-0035	Proof of Pub - K & S Warren Rezoning	Invoice	07/09/2024	Proof of Pub - K & S Warren Rezoning	001-190-61500	33.38
	5CAFD01F-0004	PW Term bid Publication/Advertising	Invoice	07/09/2024	PW Term bid Publication/Advertising	001-301-61500	112.51
00115	Core & Main LP	2024518					950.00
	V097396	Perma-Patch 50 Bags Per Pallet	Invoice	07/09/2024	60lb Bag Asphalt Repair Perma-Patch 5	001-301-55904	950.00
00119	Crystal Clean	2024519					3,291.00
	51748	Street Sweeping Services - June 2024	Invoice	07/09/2024	Street Sweeping Services - June 2024	001-301-68600	3,291.00
00300	Curtis Jones	2024520					227.78
	062024	2024 Building Summer Conference Rei	Invoice	07/09/2024	Building Summer Conference Reimbur:	001-280-61000	227.78

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00018	Custom Products Corporation INV10331	2024521 Mowing Ahead, One Lane, & Street Sig	Invoice	07/09/2024	30x12 Hazelton Cove Sign, Gluckstadt I	001-301-55904	679.10
					30x12 Industrial Blvd Sign, Gluckstadt I	001-301-55904	125.70
					30x12 Lexington Drive Sign, Gluckstadt	001-301-55904	251.40
					S3636W204AHHAC 36X36 One Lane Rr	001-301-55904	125.70
					S3636W218HAC 36X36 Mowing Ahead	001-301-55904	88.15
							88.15
00195	Dean Architecture 61824	2024522 Construction Admin Phase - May 2024	Invoice	07/09/2024	Construction Admin Phase - May 2024	002-200-69900	8,137.35
00090	Deviney Rental & Supply IV16984	2024523 Bar/Chain Oil for Chainsaw	Invoice	07/09/2024	Bar/Chain Oil for Chainsaw	001-301-52500	180.90
	IV17181	String 5LB	Invoice	07/09/2024	String 5LB	001-301-50500	31.00
	IV17351	Dust Cover	Invoice	07/09/2024	Dust Cover	001-301-57500	90.65
	IV17366	50:1 Gas Oil Mix	Invoice	07/09/2024	50:1 Gas Oil Mix	001-301-52500	14.25
							45.00
00020	Entergy 100006732140	2024524 Bear Creek Street Lights - June 2024	Invoice	07/09/2024	Bear Creek Street Lights - June 2024	001-301-63102	1,670.34
	10018958737	Collective Bill - June 2024	Invoice	07/09/2024	Street Lights - June 2024	001-301-63102	468.53
					Traffic Signals - June 2024	001-301-63103	57.66
	260006082391	Lone Wolf - June 2024	Invoice	07/09/2024	Lone Wolf - June 2024	001-195-63001	472.19
	385005051665	Ridgefield Street Lights - June 2024	Invoice	07/09/2024	Ridgefield Street Lights - June 2024	001-301-63102	340.03
	420003308095	Arrington Street Lights - June 2024	Invoice	07/09/2024	Arrington Street Lights - June 2024	001-301-63102	117.41
							214.52
00123	Flock Safety INV-39818	2024525 Flock Cameras (New)	Invoice	07/09/2024	Flock Safety Falcon	001-200-64000	43,800.00
					Professional Services - Standard Imp. F	001-200-64000	36,000.00
							7,800.00
00022	FP Mailing Solutions R1106251349	2024526 Postage Meter Quarterly Invoice	Invoice	07/09/2024	Postage Meter Quarterly Invoice	001-195-64000	126.90
00023	Fuelman NP66732176	2024527 Gas & Oil - PD/PW/Building	Invoice	07/09/2024	Gas & Oil - Building	001-280-52500	5,923.21
					Gas & Oil - PD	001-200-52500	106.65
					Gas & Oil - PW	001-301-52500	4,612.28
					PD Automotive Supplies (Wiper Blades	001-200-57000	1,148.31
							55.97
00102	Hartley Equipment Company, Inc 258820	2024528 Oil Change Filter Kit	Invoice	07/09/2024	Oil Change Filter Kit	001-301-52500	138.47
	258858	Oil: 4 Cycle 10W40 S	Invoice	07/09/2024	Oil: 4 Cycle 10W40 S	001-301-52500	89.99
	259589	Nylon Line Round 856' (3LB) .095 Oran	Invoice	07/09/2024	Nylon Line Round 856' (3LB) .095 Oran	001-301-57500	7.49
							40.99
00103	Henry J. Davis 072024	2024529 PW Labor & Milage Reimbursement	Invoice	07/09/2024	PW Labor & Milage Reimbursement	001-301-60101	267.95
00340	Highland Building Services, Inc. 2337-A	2024530 Monthly Janitorial Services (LW) - June	Invoice	07/09/2024	Monthly Janitorial Services (LW) - June	001-195-69900	267.95
	2338-A	Monthly Janitorial Services (CH) - July 2	Invoice	07/09/2024	Monthly Janitorial Services (CH) - July 2	001-195-69900	1,050.00
							275.00
							775.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00368	HITS Training & Consulting, Inc.	2024531					375.00
	1-2024-GLUCK	HITS 69 Conference (Huff)	Invoice	07/09/2024	HITS 69 Conference (Huff)	001-200-61000	375.00
00029	It's Vinyl Y'all	2024532					480.00
	8616	Window Tint	Invoice	07/09/2024	Traditional 4 Door Car/Truck	001-200-90300	266.25
					Traditional Tint Strip	001-200-90300	45.00
					Traditional Windshield	001-200-90300	168.75
00016	Jayce Powell	2024533					298.44
	062024	2024 MML Reimbursement	Invoice	07/09/2024	2024 MML Reimbursement	001-100-61000	298.44
00217	Jeremy Slaven	2024534					107.27
	072024	MS MACP Conf. Reimbursement	Invoice	07/09/2024	MS MACP Conf. Reimbursement	001-200-61000	107.27
00082	John Taylor	2024535					283.03
	062024	2024 MML Reimbursement	Invoice	07/09/2024	2024 MML Reimbursement	001-100-61000	283.03
00186	Lewis Electric, Inc.	2024536					1,150.00
	M2024.112	5/22/24 Bozean at Catlett Loop Card	Invoice	07/09/2024	Loop Card	001-301-57600	300.00
					One Man and a Service Truck	001-301-57600	400.00
	M2024.120	Gluckstadt at Weisenberger Fix Yellow	Invoice	07/09/2024	Gluckstadt at Weisenberger Yellow LEI	001-301-57600	200.00
					One Man and A Bucket Truck	001-301-57600	250.00
00067	Lindsay Kellum	2024537					359.75
	062024	2024 MML Reimbursement	Invoice	07/09/2024	2024 MML Reimbursement	001-140-61000	359.75
00365	Lucky Town Square, LLC	2024538					4,800.00
	LTS06112024-04	Advertising Space on Gluckstadt Signa	Invoice	07/09/2024	Advertising Space on Gluckstadt Signa	001-195-61500	2,400.00
					Advertising Space on Gluckstadt Signa	001-195-61500	2,400.00
00178	Madison County Sheriff's Office	2024539					4,186.72
	GP-0524	Inmate Housing - May 2024	Invoice	07/09/2024	Inmate Housing - May 2024	001-200-68301	3,780.00
	GP-M0524	Inmate Medical - May 2024	Invoice	07/09/2024	Inmate Medical - May 2024	001-200-68301	406.72
00038	MAGCOR (formerly MPIC, INC)	2024540					480.00
	132096	COG Regular and Windowed Envelope:	Invoice	07/09/2024	#10 Digi Safe Envelopes (Windowed)	001-140-62000	267.00
					#10 Envelopes	001-195-62000	213.00
00172	Magnolia Shredding LLC	2024541					75.00
	3379	Monthly Shredding Services - June 202	Invoice	07/09/2024	Monthly Shredding Services - June 202	001-195-69900	75.00
00045	Mills, Scanlon, Dye & Pittman, At	2024542					14,282.75
	062024Annex	Annexation Legal Fees - June 2024	Invoice	07/09/2024	Annexation Legal Fees - June 2024	001-195-60304	4,212.50
	062024Court	Court Legal Fees - June 2024	Invoice	07/09/2024	Court Legal Fees - June 2024	001-110-60301	1,209.75
	062024General&Retainer	General Legal Fees + Retainer - June 20	Invoice	07/09/2024	General Legal Fees - June 2024	001-195-60301	4,705.25
					Retainer - June 2024	001-195-60301	3,000.00
	062024PnZ	PnZ Legal Fees- June 2024	Invoice	07/09/2024	PnZ Legal Fees- June 2024	001-190-60301	1,155.25
00352	Mississippi Department of Public	2024543					60.00
	90145722	Case 24000503 - Examination for Conti	Invoice	07/09/2024	Case 24000503 - Examination for Conti	001-200-60201	60.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description	Payable Type	Payable Date	Item Description	Account Number	Distribution Amount
00199	Motorola Solutions, Inc.	2024544					166,797.90
	1187123320	Motorla CAD for Dispatch Center	Invoice	07/09/2024	Delivery & Implementation	001-200-90100	79,770.25
					Hub	001-200-90100	11,201.00
					Mobile CAD	001-200-90100	8,044.00
					Motorla CAD for Dispatch Center	001-200-90100	18,778.00
					Server	001-200-90100	38,971.00
	8281905288	APX 1500 Enhanced Control Station	Invoice	07/09/2024	APX 1500 Enhanced Control Station	001-200-90100	10,033.65
00257	Murray Mud Jacking Service, Inc.	2024545					12,200.00
	107	Storm Drain Repair - 111 Parkfield Pl	Invoice	07/09/2024	Storm Drain Repair - 111 Parkfield Pl	001-301-56501	1,100.00
	135	108 & 114 Muirfield Storm Drain Repair	Invoice	07/09/2024	108 & 114 Muirfield Storm Drain Repair	001-301-56501	2,200.00
	136	101 Kayfield Pl Storm Drain Repair	Invoice	07/09/2024	101 Kayfield Pl Storm Drain Repair	001-301-56501	1,500.00
	182	113 Colony Place Sinkhole	Invoice	07/09/2024	113 Colony Place Sinkhole	001-301-56501	1,800.00
	187	Storm Drain Repair 106 & 109 Parkfield	Invoice	07/09/2024	Storm Drain Repair 106 & 109 Parkfield	001-301-56501	3,800.00
	203	107 Kayfield Place Storm Drain Repair	Invoice	07/09/2024	107 Kayfield Place Storm Drain Repair	001-301-56501	1,800.00
00329	ODP Business Solutions, LLC	2024546					258.85
	368979046001	10"x800' Emotion Roll, 6/Ct	Invoice	07/09/2024	10"x800' Emotion Roll, 6/Ct	001-190-50000	21.92
						001-280-50000	21.92
						001-301-50000	21.94
	370506727001	PW Office Supplies	Invoice	07/09/2024	BINDER, OD, VW, DR, 2', BLUE	001-301-50000	8.18
					ENVELOPE, #10, C/S, 500BX	001-301-50000	20.52
					ENVELOPE, GRIP-SEAL, 9X12, 100BX	001-301-50000	11.99
					FLAGS, POST-IT (R), SMALL SIZED	001-301-50000	13.86
					MARKER, EXPO, LO/ODR, ULFN, BK	001-301-50000	15.79
					NOTE, POST-IT, 1.5X2", 12PK, NEON	001-301-50000	5.50
	370511688001	Labels, 3-7/16X2/3, 300PK, White	Invoice	07/09/2024	Labels, 3-7/16X2/3, 300PK, White	001-301-50000	13.49
	370511689001	Holder, Job-Ticket, 9x1210Pk	Invoice	07/09/2024	Holder, Job-Ticket, 9x1210Pk	001-301-50000	7.39
	373777218001	LW Office Supplies	Invoice	07/09/2024	BINDER, OD, VW, DR, 1" BLACK	001-301-50000	11.80
					BINDER, OD, VW, DR, 2", BLACK	001-301-50000	16.36
					BINDER, OD, VW, RR, 0.5" BLACK	001-301-50000	5.12
					CHARMIN STR 16MR 242ST	001-301-50000	44.18
					PEN, RT, LIQ, RB, V5, XFINE, DZ, BLUE	001-301-50000	18.89
00152	OP Plus	2024547					279.98
	1045876-0	Towel, Hardwound, 10", WH	Invoice	07/09/2024	Towel, Hardwound, 10", WH	001-190-50000	17.36
						001-280-50000	17.37
						001-301-50000	17.36
	1060174-0	Stamp, Red Ink, Reviewed for Code Coi	Invoice	07/09/2024	Stamp, Red Ink, Reviewed for Code Coi	001-280-50000	20.35
	1060367-0	Paper, Chck, Bttm, 24LB, BE	Invoice	07/09/2024	Paper, Chck, Bttm, 24LB, BE	001-140-50000	69.18
	1060367-1	Paper, CHCK, BTTM, 24LB, BE	Invoice	07/09/2024	Paper, CHCK, BTTM, 24LB, BE	001-140-50000	138.36
00053	Pennington & Trim Alarm Service	2024548					66.00
	818717	Wireless Monitoring & Access Control	Invoice	07/09/2024	Wireless Monitoring & Access Control	001-195-63200	66.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00054	Phelps Dunbar LLP	2024549					86.25
	1361845	General Labor & Employment Advice - Invoice	Invoice	07/09/2024	General Labor & Employment Advice -	001-195-60302	86.25
00055	Printables and More (G&W Mark	2024550					140.00
	30775	Printing - Limb Pickup Policy Door Han	Invoice	07/09/2024	Printing - Limb Pickup policy 4.25 x 11	001-301-62000	140.00
00125	Puckett Rents	2024551					362.04
	1045706-0001	PW Supplies & Tools	Invoice	07/09/2024	Asphalt Lute	001-301-91600	299.78
					Glasses, Ztek, Gray	001-301-53500	9.50
					Soil Probe	001-301-91600	52.76
00311	Revell Hardware Co., Inc.	2024552					16.98
	5978	Caulkgun & Caulk	Invoice	07/09/2024	Caulk #230 Clear Dap	001-301-50500	6.99
					Caulkgun Piston	001-301-50500	9.99
00057	Robert J Young Company	2024553					1,845.42
	INV6980533	Court Copier & Overages - June 2024	Invoice	07/09/2024	Court Copier & Overages - June 2024	001-110-64000	408.92
	INV6995092	Admin Copier & Overages - June 2024	Invoice	07/09/2024	Admin Copier & Overages - June 2024	001-195-64000	415.82
	INV6996640	Board Room Monthly Payment - June 2	Invoice	07/09/2024	Board Room Monthly Payment - June 2	001-195-64000	556.64
	INV7003467	LW Copier & Overages - June 2024	Invoice	07/09/2024	LW Copier & Overages - June 2024	001-190-64000	154.66
						001-280-64000	154.72
						001-301-64000	154.66
00253	S&S Operating, LLC	2024554					178.20
	072024	Open Purchase Order for CWC Work C	Invoice	07/09/2024	Open Purchase Order for CWC Work C	001-301-68301	178.20
00058	Scott Insurance Services LLC	2024555					19,732.00
	51809	2024 Chev. Silv (Partial)	Invoice	07/09/2024	2024 Chev. Silv (Partial)	001-200-62500	31.00
	51810	Auto Insurance Renewal	Invoice	07/09/2024	Auto Insurance Renewal	001-190-62500	550.00
						001-200-62500	14,613.00
						001-280-62500	550.00
						001-301-62500	3,988.00
00154	Southern Benefits Administrators	2024556					100.00
	24061902300000	Caferia Plan - July 2024	Invoice	07/09/2024	Caferia Plan - July 2024	001-195-60003	100.00
00060	Southern Connection Police Supp	2024557					343.80
	30844	Training Targets	Invoice	07/09/2024	Training Targets	001-200-50500	74.80
	30846	PD Tactical Pants	Invoice	07/09/2024	F/T Men's A2 Pants Ranger 36/36 114C	001-200-53500	79.00
					F/T Men's A2 Pants Wolf Grety 36/36 1	001-200-53500	79.00
	30969	BH716 S14 (Badge Holders)	Invoice	07/09/2024	BH716 S14 (Badge Holders)	001-200-53500	111.00
00061	Stantec Consulting Services Inc (S	2024558					1,674.00
	2245061	General Services - May 2024	Invoice	07/09/2024	General Services - May 2024	001-301-60202	1,674.00
00289	Steve Chisholm, LLC	2024559					6,300.00
	052024A	219 Farmers Row Sidewalk & Curb Rep	Invoice	07/09/2024	219 Farmers Row 20' Sidewalk Take Out	001-301-91200	2,000.00
					219 Farmers Row 50' Curb Take Out &	001-301-91200	2,500.00
	062024	Gluckstadt Rd wash out Fix & Seed Str	Invoice	07/09/2024	Gluckstadt Rd wash out Fix & Seed Str	001-301-56501	1,800.00

Docket of Claims Register

Vendor #	Vendor Name	Docket/Claim #	Payable Type	Payable Date	Item Description	Account Number	Payment Amount
Vendor #	Payable Number	Payable Description					Distribution Amount
00367	Stone Ground Coffee	2024560					24.20
	072024PL	PL Refund - Overpayment	Invoice	07/09/2024	PL Refund - Overpayment	001-000-22001	24.20
00361	The 20 LLC	2024561					5,988.00
	INVT20LLC-0029547	Sonic Wall (LW) and PD Laptop Repairs	Invoice	07/09/2024	PD Laptop Screen Repair - Potvin	001-200-57500	225.00
					PD Laptop Screen Repair - Slaven	001-200-57500	225.00
					Sonic Wall TZ370 Support Warranty Re	001-195-68800	195.00
	INVT20LLC-0029548	Dell Laptop Charger 65W USB-C	Invoice	07/09/2024	Dell Laptop Charger 65W USB-C	001-200-91900	41.60
	INVT20LLC-0029743	Dell Latitude Laptop Charger	Invoice	07/09/2024	Dell Latitude Laptop Charger	001-195-91900	36.40
	INVT20LLC-0028862	Monthly IT Services - June 2024	Invoice	07/09/2024	Monthly IT Services - June 2024	001-195-68800	5,265.00
00181	Thomson Reuters - West Paymen	2024562					682.50
	0850439506	Monthly Clear Subscription Charges - J	Invoice	07/09/2024	Monthly Clear Subscription Charges - J	001-200-68800	682.50
00064	Tyler Technologies, Inc.	2024563					180.00
	025-469736	PCI Service Fees	Invoice	07/09/2024	PCI Service Fees	001-195-68800	180.00
00321	Waste Management of Mississippi	2024564					195.00
	3193572-0078-5	Trash Pickup - July 2024	Invoice	07/09/2024	Trash Pickup - July 2024	001-301-64000	195.00
00175	William Hall	2024565					480.92
	062024	2024 BOAM Conference Reimburseme	Invoice	07/09/2024	2024 BOAM Conference Reimburseme	001-190-61000	240.46
						001-280-61000	240.46
Total Claims: 63						Total Payment Amount:	1,226,357.17

MAYOR

Walter C. Morrison, IV

CITY CLERK

Lindsay Kellum

POLICE CHIEF

Barry Hale

**MUNICIPAL COURT
CLERK**

Stephanie Gerlach

**PLANNING & ZONING
ADMIN./BUILDING
DEPT.**

William Hall

PUBLIC WORKS

Chris Buckner

CITY OF GLUCKSTADT
MISSISSIPPI



**343 DISTRIBUTION DRIVE
GLUCKSTADT, MS 39110**

ALDERMEN

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

MEMORANDUM

To: Mayor & Board of Alderman

From: Barry Hale, Police Chief

Date: July 09, 2024

Subject: Request for approval to enter into a maintenance agreement with IDEMIA

I'm requesting the Mayor and Board of Alderman approve a maintenance agreement with IDEMIA (booking machine) from 10/12/2025-10/11/2026 in the amount of \$2,545.00.

Sincerely,

Chief Barry W. Hale



IDEMIA augmented identity
Idemia Identity & Security
 14 Crosby Drive
 Suite 200
 Bedford, MA 01730
 USA
 Phone (888) 435-7439

**MAINTENANCE AGREEMENT ADDENDUM
QUOTATION**

QUOTE ID: 43588
QUOTE DATE: 04/15/24
CUSTOMER ID: BD-65397
PRICE LIST: 2024

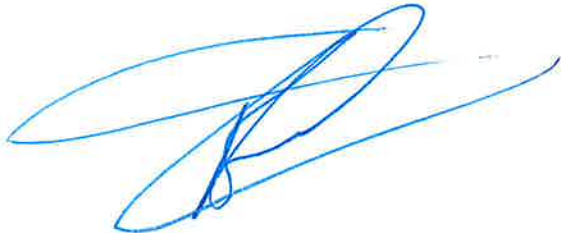
BILL TO: GLUCKSTADT POLICE DEPARTMENT
 PO BOX 2210

COVERAGE
START DATE: 10/12/25
END DATE: 10/11/26

MADISON, MS 39110
 UNITED STATES

COVERAGE TYPE	DESCRIPTION	SERIAL NUMBER	QTY	PRICE
EQUIPMENT LOCATION:	GLUCKSTADT POLICE DEPARTMENT - 343 DISTRIBUTION DR GLUCKSTADT, MS 39110			
TPE-MT2020-M95	MAINTENANCE, LIVESCAN, MTOP2020 SYSTEM, 9X5			
TPE-MT2020D-ED		75882-001	1	\$1,799.00
PRT-DUP-M95	ANNUAL 9/5 MAINTENANCE			
TPE-PRT-DUP		75882-002	1	\$359.00
HWOX-FLTBED-M95	ANNUAL 9/5 MAINTENANCE			
TP-HWOX-FLTBED		75882-004	1	\$255.00
LS-IDRDR-MAINT-95	MAINTENANCE, LIVESCAN, ID READER, 9X5			
TPE-HWOX-IDRDR		75882-003	1	\$132.00
TOTAL:				\$2,545.00

Quote ID: 43588



Page: 1 of 2

**IDEMIA IDENTITY & SECURITY USA LLC
SYSTEM MAINTENANCE TERMS AND CONDITIONS**

Section 3, IC)

for use with

U.S. End User Customers

covering

Idemia® Live Scan Product Line

I. GENERAL SCOPE OF COVERAGE

Subject to payment in full of the applicable maintenance fees for the system (“System”) described in Idemia Identity & Security USA LLC’s (“Idemia”) current Maintenance Agreement Addendum (“Addendum”) with customer (“Customer”), Idemia, or its authorized agents or subcontractors, shall provide the System maintenance services (“Services”) set forth and in accordance with the terms herein (this “Agreement”) and the Addendum. The terms of the Addendum are hereby incorporated into this Agreement by this reference.

II. MAINTENANCE SERVICES

The Services provided by Idemia are those services selected by Customer from one or more of the following maintenance services programs:

A. Included With All Remedial Maintenance Services. *Included With All Remedial Maintenance Services* are as follows:

- Unlimited 24/7 telephone technical support for System hardware and software from the Idemia TouchCare Support Center via Idemia toll free telephone number.
- TouchCare Support Center managed problem escalation, as required, to Idemia’s technical support staff to resolve unique problems.
- Idemia shall furnish all parts and components necessary for the service and maintenance of the System. Replacement parts shall be sent to the Customer. All replaced defective parts shall become Idemia’s property. Idemia shall determine if a replacement part is necessary. Replacement parts and components may be new or refurbished. Unless otherwise agreed by Idemia, replacement parts and components needed at international destinations shall be shipped by Idemia to the Customer-specified United States destination, and the Customer shall arrange for shipment of the parts and components to the final international destination. In the event Idemia ships replacement parts and components to an international destination, the Customer shall be responsible for all shipping expenses, duties, tariffs, taxes, and all other delivery related charges.

- Idemia shall make available to Customer one copy (in electronic or other standard form) of each Update (defined herein) for those System components that are developed by Idemia and for which Idemia, in its sole discretion, elects to develop and generally make available to customers whose Systems are under warranty or under a current Idemia Maintenance Agreement Addendum. Customer shall provide Idemia with continuous network or dial-up access to the System (whether stand alone or connected to a central site), and Idemia shall deliver the Update via this remote means of delivery. In the event continuous network or dial-up access is not available for *24/7 Maintenance Services* and *9/5 Maintenance Services* Customers, then Idemia shall install the Update during any subsequently scheduled on-site visit by Idemia for service of the System. An “Update” means a new release of such System software components that are developed by Idemia which contain (i) bug fixes, corrections, or a work-around of previously identified errors with such software, or (ii) minor enhancements, improvements, or revisions with substantially similar (but not new) functionality to the original licensed System software.

B. 24/7 Maintenance Services. *Idemia’s 24/7 Maintenance Services* are as follows:

- Customer will receive a telephone response to service calls within one (1) hour from the time the Customer places a service call with Idemia’s Help Desk.
- Idemia’s Help Desk will attempt problem resolution via telephonic verbal and dial-in troubleshooting prior to dispatching a Idemia field service engineer to Customer’s facility for on-site service.
- If on-site service is necessary, such service shall be provided 24/7, including holidays. Idemia shall use its best efforts to have a Idemia field service engineer at the Customer’s facility within four (4) hours from the time the engineer is dispatched by Idemia’s Help Desk for customers located within a 100 mile radius of an authorized Idemia’s service location and within 24 hours for customers located outside such 100 mile radius.

- Idemia shall furnish all parts and components necessary for the maintenance of the System. Idemia's shipment of a replacement part to Customer will be initiated promptly after the Idemia's Help Desk determines the need for such item. Replacement part orders initiated prior to 3:00 p.m. Central shall be shipped the same business day, where orders initiated after 3:00 p.m. Central shall be shipped the next business day. All shipments are made via next day priority air.
- If a defective part is required by Idemia to be returned to Idemia, the packaging material used in shipment of the replacement part must be reused to return the defective part. [Note: defective parts are not repaired and returned to Customer. Customer will be invoiced for any defective parts that are not returned to Idemia within two (2) weeks after receipt of the replacement part. Idemia is not responsible for any markings (i.e., asset tags) that Customer may place on System components. It is Customer's responsibility to remove such markings.]
- Upon Customer's request for Idemia on-site service, Idemia shall use its best efforts to have a Idemia field service engineer at the Customer's facility within 48 hours from the time the engineer is dispatched by Idemia's Help Desk. Customer shall pay for such on-site service on a time and travel basis at Idemia's then current rates and travel policies, respectively. Prior to dispatch of a Idemia engineer, Customer shall provide Idemia with a purchase order ("P.O."), complete Idemia's P.O. Waiver form, or provide Idemia with a valid credit card number.

E. Preventive Maintenance Services. Idemia's *Preventive Maintenance Services* are as follows:

- Preventive maintenance service calls consist of System cleaning, verification of calibration, and verification of proper System configuration and operation in accordance with Idemia's specifications for such System. Idemia and Customer will seek to agree upon the scheduling of the preventive maintenance service call promptly after commencement of the term of this Agreement and the commencement of any renewal term.
- Preventive maintenance service calls are only available in connection with Idemia's 24/7 Maintenance Services and Idemia's 9/5 Maintenance Services offerings. Preventive maintenance service calls are priced on a per

call basis in accordance with Idemia's then current published prices for such Services. Preventive Maintenance Services may not be available for certain System components.

III. EXCLUSIONS FROM SERVICES

A. Exclusions. The Services do not include any of the following:

- System relocation.
- Additional training beyond that amount or level of training originally ordered by Customer.
- Maintenance support or troubleshooting for Customer provided communication networks.
- Maintenance required to the System or its parts arising out of misuse, abuse, negligence, attachment of unauthorized components (including software), or accessories or parts, use of sub-standard supplies, or other causes beyond Idemia's control.
- Maintenance required due to the System being modified, damaged, altered, moved or serviced by personnel other than Idemia's authorized service representatives, or if parts, accessories, or components not authorized by Idemia are fitted to the System.
- Maintenance required due to failures caused by Customer or Customer's software or other software, hardware or products not licensed by Idemia to Customer.
- Providing or installing updates or upgrades to any third party (i.e., Microsoft, Oracle, etc.) software.
- Providing consumable parts and components (i.e., platens, toner cartridges, etc.); such items are replaced at the Customer's expense.
- Maintenance required due to failures resulting from software viruses, worms, Trojans, and any other forms of destructive or interruptive means introduced into the System.
- Maintenance required due to failures caused by Customer facility issues such as inadequate power sources and protection or use of the System in environmental conditions outside of those conditions specified in Idemia's System documentation.

B. Availability of Additional Services. At Customer's request, Idemia may agree to perform the excluded services described immediately above in accordance with Idemia's then current rates. Other excluded services that may be agreed to be performed by Idemia shall require Idemia's receipt of a Customer P.O., Customer's completion of Idemia's P.O. Waiver form, or Customer providing Idemia with a valid credit card number before work by Idemia is commenced.

VIII. LIMITED LICENSE TO UPDATES

Idemia may deliver Idemia-developed Updates to Customer. The terms of Idemia's end user license for the Idemia's software delivered as part of the System shall govern Customer's use of the Updates.

IX. MISCELLANEOUS

This Agreement shall be governed by and construed according to the laws of the Commonwealth of Massachusetts, excluding its conflict of laws provisions. This Agreement constitutes the entire agreement between the parties regarding the subject matter described herein and may not be modified except in writing signed by duly authorized representatives of Idemia and the Customer. This Agreement may not be assigned by Customer without the prior express written consent of Idemia.

MAYOR

Walter C. Morrison, IV

CITY CLERK

Lindsay Kellum

POLICE CHIEF

Barry Hale

**MUNICIPAL COURT
CLERK**

Stephanie Gerlach

**PLANNING & ZONING
ADMIN./BUILDING
DEPT.**

William Hall

PUBLIC WORKS

Chris Buckner

**CITY OF GLUCKSTADT
MISSISSIPPI**



**343 DISTRIBUTION DRIVE
GLUCKSTADT, MS 39110**

ALDERMEN

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

To Mayor and Board of Aldermen,

Please allow three vehicles in possession of the Gluckstadt Police Department to be considered "Unmarked Vehicles". They are used primarily for sting operations, narcotics operations or apprehending criminals without alerting them to their presence. The three vehicles requested are:

- 1) 2019 Black Tahoe VIN: 1GNLCDEC0KR241142, Prop #: 200-0061
- 2) 2019 Black Tahoe VIN: 1GNLCDEC8KR245102, Prop #: 200-0060
- 3) 2024 Black 1500 VIN: 1GCUAED9RZ350307, Prop #: 200-0124

In reference to the Black 1500, we are requesting \$16.00 for the issuance of a standard Mississippi license plate to aid in its use in surveillance.

Thank you for your consideration in this matter.

Respectfully,

Chief Barry Hale
Gluckstadt Police Department



CITY OF GLUCKSTADT
MISSISSIPPI
OFFICE OF THE CITY CLERK

MEMORANDUM

TO: Mayor & Board of Aldermen
FROM: Barry Hale, Chief of Police
DATE: 07/02/2024
SUBJECT: Request for Discussion and Approval to Remove Dell Monitor from Fixed Assets and disposal of item.

I am requesting the Mayor and Board of Alderman discuss and approve the City Clerk's Office to remove a Dell Monitor from fixed assets as well as its disposal. The value of this item is zero. The serial number is CN-06H6FX-74445-22R-AVDM.

The monitor in question no longer functions properly, and I recommend its disposal. I have attached some backup documentation for your review.

Sincerely,



Barry W. Hale
Chief of Police





CITY OF GLUCKSTADT

MISSISSIPPI
PUBLIC WORKS DEPARTMENT

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: Chris Buckner, Public Works Director

DATE: 6/28/2024

SUBJECT: Gluckstadt and Bozeman Traffic Signal Special Circumstance Purchase

On May 22, 2024, Public Works called Lewis Electric to help figure out what was wrong with the traffic signal at Gluckstadt Rd and Bozeman/Catlett Rd because we were having a significant amount of traffic backing up. Upon inspection, they determined that it was a faulty loop card in the control box. Due to the amount of traffic backing up, causing delays and possibly effecting emergency personal response, I had them go ahead replace the card without getting a quote first or a purchase order. We have received the invoice for this repair in the amount of \$700.

If you have any questions or concerns, please contact me.

**CITY OF GLUCKSTADT
SPECIAL CIRCUMSTANCES APPROVAL FORM**

This form must be completed and submitted when requesting authority to purchase under any of the following special circumstances: Emergency Purchase, Sole-Source Purchase, and Exemption from State Contract.

Department Submitting Request:

Public Works

Date: 6/27/2024

Type of Special Circumstance:

- Emergency Purchase
- Sole-Source Purchase
- Exemption from State Contract

PLEASE NOTE THAT SOLE-SOURCE PURCHASES, AND EXEMPTIONS FROM STATE CONTRACT PURCHASES REQUIRE PRIOR APPROVAL. REQUESTS FOR APPROVAL OF EMERGENCY PURCHASES MAY BE MADE AFTER THE PURCHASE HAS BEEN MADE.

JUSTIFICATION

Please submit a justification in sufficient detail so that a person not familiar with the situation could be expected to understand the need to forego the normal purchasing procedure. The justification can be typed on the back of this form or submitted on an attached sheet. Consider the following questions when preparing the justification:

Emergency:

- Does it fall under the definition of an emergency set forth in the Purchasing Policy?
- What happened to cause the emergency?
- What would be the negative consequences of following normal purchasing procedures?

Sole Source:

- Do other companies make similar commodities that will do the same job or meet the same goals?
- How is this item unique from all others?
- What can this item do that the others can't?

- Is there a copyright or patent on the commodity? Is this item available from other distributors?

Exemption from State Contract:

- What is the state contract price for a comparable item?
- Is the quality level equal to or better than that on contract?
- What are the transportation costs?
- Have all applicable costs been included in the evaluation?

JUSTIFICATION

Attach an additional page if needed. Remember to submit two copies of all applicable attachments.

On May 22, 2024 we called Lewis Electric to help figure out what was wrong with the traffic signal at Gluckstadt Rd and Bozeman/Catlett Rd because we were having a significant amount of traffic backing up. Upon inspection, they determined that it was a faulty loop card in the control box. Due to the amount of traffic backing up, causing delays and possibly effecting emergency personal response, I had them go ahead replace the card without getting a quote first or a purchase order. We have received the invoice for this repair in the amount of \$700.

CERTIFICATIONS

As per the Purchasing Policy the certification for an emergency purchase must be signed by the executive head of the requesting agency. Other certifications should be signed by the individual responsible for the justification.

- EMERGENCY PURCHASE** “This is to certify that an extreme emergency existed to such an extent that delay incident to obtaining competitive quotations would have resulted in loss and/or harm to the agency.”

Chris Buckner

Signed

Walter Monst
6/27/24

- b. **SOLE-SOURCE PURCHASE** “This is to certify that this purchase covers a commodity which is available from one source only and neither comparative nor competitive quotations can be obtained.”

Signed

- c. **EXEMPTION FROM STATE CONTRACT** “This is to certify that this purchase covers a commodity which is available by a non-state vendor for an equal or lesser value.

Signed

LEWIS ELECTRIC, INC.

Section 3, IF)

Fed ID #64-0823637
 601-932-0101
 P. O. Box 320337
 Flowood, MS 39232

Date	Invoice #
6/12/2024	M2024.112

Bill To
CITY OF GLUCKSTADT 343 DISTRIBUTION DRIVE GLUCKSTADT, MS 39110

P.O. No.	Terms	Project
	NET DUE 30 DAYS	

Quantity	Description	Rate	Amount
	5/22/24: BOZEMAN AT CATLETT OBSERVED MORNING RUSH AND ADJUSTED TIMINGS ACCORDINGLY REPLACED FAULTY LOOP DETECTION CARD		
2	ONE MAN AND A SERVICE TRUCK	200.00	400.00
1	LOOP CARD	300.00	300.00
NO TAX - GOVERNMENT AGENCY		Total	\$700.00



CITY OF GLUCKSTADT

MISSISSIPPI

PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: William Hall, Planning and Zoning Administrator

DATE: 07/01/2024

SUBJECT: Cash Till Request for Building Department

The Building Department is requesting permission to purchase a lockable cash till for use when receiving cash payments for permits. Most payments are made using check. Occasionally we have a cash payment for small permits. These are commonly sign permits with payments of \$10 per permit. Every so often we have a utility reconnect permit to get paid using cash. These permits are \$85, which typically results in a \$100 bill being presented for payment. We do not have a cash drawer to make change for the permit fee. While most are willing to bring back an exact payment, we recently had an issue with a contractor not able to bring in change due to the work needing to be undertaken immediately. It was for a meter base change out that was keeping a local business from opening until the work was completed and power restored to the location.

We are asking for a cash till balance of \$100 for change purposes when issuing permits. All permits calculate to a dollar amount with no coinage necessary. The cash till will be counted each day and verified each day by a second person that is also bonded with the city (see verification sheet example below). The primary location of the cash till will be in Ms. Bridgette's office as she is the primary payment point for permits and other department-related fees. A monthly report will be provided along with any additional reports as required by the City Clerk's office to maintain audit standards. The specific line item for funding the till has not been determined at this time. We will coordinate with the City Clerk's office to determine the best source of funding for the till.

Date	Cash Till Balance	Initials 1	Initials 2



Gluckstadt, MS

My Budget Report

Group Summary

Section 4, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 07/31/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 001 - GENERAL FUND							
Revenue							
Department: 000 - NON DEPARTMENT							
Department: 000 - NON DEPARTMENT Total:	5,947,110.00	6,639,472.60	-22,669.05	5,667,033.59	0.00	-972,439.01	14.65%
Revenue Total:	5,947,110.00	6,639,472.60	-22,669.05	5,667,033.59	0.00	-972,439.01	14.65%
Expense							
Department: 100 - LEGISLATIVE - BOARD							
004 - PERSONNEL SERVICES	35,670.00	35,670.00	1,253.70	25,074.00	0.00	10,596.00	29.71%
005 - SUPPLIES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
006 - CONTRACTUAL SERVICES	12,500.00	12,500.00	719.39	7,668.23	0.00	4,831.77	38.65%
009 - CAPITAL OUTLAY	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
Department: 100 - LEGISLATIVE - BOARD Total:	49,170.00	49,170.00	1,973.09	32,742.23	0.00	16,427.77	33.41%
Department: 110 - JUDICIAL/MUNICIPAL COURT							
004 - PERSONNEL SERVICES	136,095.46	139,695.46	5,262.27	104,533.64	0.00	35,161.82	25.17%
005 - SUPPLIES	11,000.00	9,500.00	0.00	901.82	0.00	8,598.18	90.51%
006 - CONTRACTUAL SERVICES	81,400.00	81,400.00	4,218.67	38,159.82	0.00	43,240.18	53.12%
009 - CAPITAL OUTLAY	0.00	2,000.00	0.00	1,334.54	0.00	665.46	33.27%
Department: 110 - JUDICIAL/MUNICIPAL COURT Total:	228,495.46	232,595.46	9,480.94	144,929.82	0.00	87,665.64	37.69%
Department: 120 - EXECUTIVE - MAYOR							
005 - SUPPLIES	500.00	500.00	0.00	0.00	0.00	500.00	100.00%
006 - CONTRACTUAL SERVICES	9,500.00	9,750.00	0.00	6,325.64	0.00	3,424.36	35.12%
Department: 120 - EXECUTIVE - MAYOR Total:	10,000.00	10,250.00	0.00	6,325.64	0.00	3,924.36	38.29%
Department: 140 - ADMINISTRATION - FINANCIAL							
004 - PERSONNEL SERVICES	319,615.46	319,615.46	11,996.83	236,451.79	0.00	83,163.67	26.02%
005 - SUPPLIES	7,500.00	7,500.00	207.54	1,224.46	0.00	6,275.54	83.67%
006 - CONTRACTUAL SERVICES	89,300.00	89,300.00	644.17	32,655.28	0.00	56,644.72	63.43%
009 - CAPITAL OUTLAY	15,500.00	15,500.00	0.00	1,125.00	0.00	14,375.00	92.74%
Department: 140 - ADMINISTRATION - FINANCIAL Total:	431,915.46	431,915.46	12,848.54	271,456.53	0.00	160,458.93	37.15%
Department: 190 - PLANNING & ZONING							
004 - PERSONNEL SERVICES	107,420.07	107,420.07	3,641.10	69,002.87	0.00	38,417.20	35.76%
005 - SUPPLIES	8,750.00	9,250.00	39.28	714.05	0.00	8,535.95	92.28%
006 - CONTRACTUAL SERVICES	170,900.00	168,200.00	12,511.25	74,389.77	0.00	93,810.23	55.77%

My Budget Report

For Fiscal: 2023-2024 (FY24) Period Endin

Section 4, IA

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
009 - CAPITAL OUTLAY	0.00	1,000.00	0.00	220.00	0.00	780.00	78.00%
Department: 190 - PLANNING & ZONING Total:	287,070.07	285,870.07	16,191.63	144,326.69	0.00	141,543.38	49.51%
Department: 195 - ADMINISTRATION - GENERAL							
004 - PERSONNEL SERVICES	89,396.46	89,396.46	3,267.72	64,954.23	0.00	24,442.23	27.34%
005 - SUPPLIES	4,500.00	4,500.00	0.00	1,950.34	0.00	2,549.66	56.66%
006 - CONTRACTUAL SERVICES	974,650.00	1,116,342.36	70,201.50	683,616.60	392.46	432,333.30	38.73%
009 - CAPITAL OUTLAY	20,250.00	20,250.00	428.86	8,106.48	125.00	12,018.52	59.35%
Department: 195 - ADMINISTRATION - GENERAL Total:	1,088,796.46	1,230,488.82	73,898.08	758,627.65	517.46	471,343.71	38.31%
Department: 200 - POLICE							
004 - PERSONNEL SERVICES	1,116,446.73	1,156,446.73	46,065.99	845,282.82	0.00	311,163.91	26.91%
005 - SUPPLIES	127,950.00	140,819.93	6,493.27	84,754.06	8,307.62	47,758.25	33.91%
006 - CONTRACTUAL SERVICES	181,600.00	252,287.50	71,641.13	144,226.73	2,150.00	105,910.77	41.98%
009 - CAPITAL OUTLAY	364,841.10	1,134,603.09	167,319.50	355,187.82	565,215.60	214,199.67	18.88%
Department: 200 - POLICE Total:	1,790,837.83	2,684,157.25	291,519.89	1,429,451.43	575,673.22	679,032.60	25.30%
Department: 260 - FIRE							
006 - CONTRACTUAL SERVICES	60,000.00	60,000.00	0.00	60,000.00	0.00	0.00	0.00%
Department: 260 - FIRE Total:	60,000.00	60,000.00	0.00	60,000.00	0.00	0.00	0.00%
Department: 280 - BUILDING INSPECTION & CODE							
004 - PERSONNEL SERVICES	176,287.80	176,287.80	6,498.75	116,067.57	0.00	60,220.23	34.16%
005 - SUPPLIES	7,750.00	7,750.00	166.29	2,633.40	0.00	5,116.60	66.02%
006 - CONTRACTUAL SERVICES	14,070.00	15,370.00	1,288.84	4,698.66	0.00	10,671.34	69.43%
009 - CAPITAL OUTLAY	2,000.00	2,000.00	0.00	784.95	0.00	1,215.05	60.75%
Department: 280 - BUILDING INSPECTION & CODE Total:	200,107.80	201,407.80	7,953.88	124,184.58	0.00	77,223.22	38.34%
Department: 301 - STREETS							
004 - PERSONNEL SERVICES	441,010.36	441,010.36	14,122.45	244,871.64	0.00	196,138.72	44.47%
005 - SUPPLIES	121,400.00	151,400.00	19,280.54	56,583.89	28,120.89	66,695.22	44.05%
006 - CONTRACTUAL SERVICES	550,681.00	485,981.00	11,453.62	111,496.83	8,663.08	365,821.09	75.27%
009 - CAPITAL OUTLAY	895,200.00	895,200.00	17,771.29	329,655.16	481,793.95	83,750.89	9.36%
Department: 301 - STREETS Total:	2,008,291.36	1,973,591.36	62,627.90	742,607.52	518,577.92	712,405.92	36.10%
Department: 900 - TRANSFERS							
009 - CAPITAL OUTLAY	617,030.71	621,438.35	0.00	621,538.35	0.00	-100.00	-0.02%
Department: 900 - TRANSFERS Total:	617,030.71	621,438.35	0.00	621,538.35	0.00	-100.00	-0.02%
Expense Total:	6,771,715.15	7,780,884.57	476,493.95	4,336,190.44	1,094,768.60	2,349,925.53	30.20%
Fund: 001 - GENERAL FUND Surplus (Deficit):	-824,605.15	-1,141,411.97	-499,163.00	1,330,843.15	-1,094,768.60	1,377,486.52	120.68%
Report Surplus (Deficit):	-824,605.15	-1,141,411.97	-499,163.00	1,330,843.15	-1,094,768.60	1,377,486.52	120.68%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
001 - GENERAL FUND	-824,605.15	-1,141,411.97	-499,163.00	1,330,843.15	-1,094,768.60	1,377,486.52
Report Surplus (Deficit):	-824,605.15	-1,141,411.97	-499,163.00	1,330,843.15	-1,094,768.60	1,377,486.52



Gluckstadt, MS

My Budget Report

Group Summary

Section 4, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 07/31/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 002 - POLICE STATION CAPITAL PROJECT FUND							
Expense							
Department: 200 - POLICE							
006 - CONTRACTUAL SERVICES	120,094.00	120,094.00	0.00	41,725.80	0.00	78,368.20	65.26%
009 - CAPITAL OUTLAY	191,690.00	191,690.00	0.00	0.00	0.00	191,690.00	100.00%
Department: 200 - POLICE Total:	311,784.00	311,784.00	0.00	41,725.80	0.00	270,058.20	86.62%
Expense Total:	311,784.00	311,784.00	0.00	41,725.80	0.00	270,058.20	86.62%
Fund: 002 - POLICE STATION CAPITAL PROJECT FUND Total:	311,784.00	311,784.00	0.00	41,725.80	0.00	270,058.20	86.62%
Report Total:	311,784.00	311,784.00	0.00	41,725.80	0.00	270,058.20	86.62%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
002 - POLICE STATION CAPITAL PI	311,784.00	311,784.00	0.00	41,725.80	0.00	270,058.20	86.62%
Report Total:	311,784.00	311,784.00	0.00	41,725.80	0.00	270,058.20	86.62%



Gluckstadt, MS

My Budget Report

Group Summary

Section 4, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 07/31/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 005 - PD CAPITAL PROJECT FUND #2 (2023)							
Expense							
Department: 200 - POLICE							
009 - CAPITAL OUTLAY	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
Department: 200 - POLICE Total:	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
Expense Total:	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
Fund: 005 - PD CAPITAL PROJECT FUND #2 (2023) Total:	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
Report Total:	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
005 - PD CAPITAL PROJECT FUND	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%
Report Total:	750,000.00	750,000.00	0.00	0.00	0.00	750,000.00	100.00%



Gluckstadt, MS

My Budget Report

Group Summary

Section 4, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 07/31/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 006 - PD STATION CAPITAL PROJECT FUND #3, BOND ISSUE							
Expense							
Department: 200 - POLICE							
009 - CAPITAL OUTLAY	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%
Department: 200 - POLICE Total:	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%
Expense Total:	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%
Fund: 006 - PD STATION CAPITAL PROJECT FUND #3, BOND ISSUE Total:	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%
Report Total:	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
006 - PD STATION CAPITAL PROJE	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%
Report Total:	5,888,014.00	5,888,014.00	0.00	3,560,702.60	0.00	2,327,311.40	39.53%



Gluckstadt, MS

My Budget Report

Group Summary

Section 4, IA)

For Fiscal: 2023-2024 (FY24) Period Ending: 07/31/2024

Sub...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 200 - PD BUILDING DEBIT SERVICE FUND							
Revenue							
Department: 000 - NON DEPARTMENT							
	617,030.71	621,438.35	0.00	621,538.35	0.00	100.00	0.02%
Department: 000 - NON DEPARTMENT Total:	617,030.71	621,438.35	0.00	621,538.35	0.00	100.00	0.02%
Revenue Total:	617,030.71	621,438.35	0.00	621,538.35	0.00	100.00	0.02%
Expense							
Department: 200 - POLICE							
006 - CONTRACTUAL SERVICES	0.00	500.00	0.00	500.00	0.00	0.00	0.00%
008 - DEBT SERVICE	617,030.71	620,938.35	0.00	620,938.35	0.00	0.00	0.00%
Department: 200 - POLICE Total:	617,030.71	621,438.35	0.00	621,438.35	0.00	0.00	0.00%
Expense Total:	617,030.71	621,438.35	0.00	621,438.35	0.00	0.00	0.00%
Fund: 200 - PD BUILDING DEBIT SERVICE FUND Surplus (Deficit):	0.00	0.00	0.00	100.00	0.00	100.00	0.00%
Report Surplus (Deficit):	0.00	0.00	0.00	100.00	0.00	100.00	0.00%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
200 - PD BUILDING DEBIT SERVIC	0.00	0.00	0.00	100.00	0.00	100.00
Report Surplus (Deficit):	0.00	0.00	0.00	100.00	0.00	100.00



Gluckstadt, MS

Bank Statement Register

Section 4, 1B)

GENERAL LEDGER, PUBLIC FUNDS

Period 6/1/2024 - 6/30/2024

Packet: BRPKT00122

Bank Statement		General Ledger	
Beginning Balance	6,304,062.77	Account Balance	6,321,946.06
Plus Debits	474,251.76	Less Outstanding Debits	3,912.70
Less Credits	429,783.58	Plus Outstanding Credits	30,497.59
Adjustments	0.00	Adjustments	0.00
Ending Balance	6,348,530.95	Adjusted Account Balance	6,348,530.95
Statement Ending Balance		6,348,530.95	
Bank Difference		0.00	
General Ledger Difference		0.00	

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

- 001-000-10100 CASH
- 001-100-44001 FEDERAL TAXES

Cleared Deposits

Item Date	Reference	Item Type	Description	Amount
05/29/2024	DEP0002037	Deposit	DEPOSIT CASH RECEIPTS	1,308.00
05/30/2024	DEP0002038	Deposit	DEPOSIT CASH RECEIPTS	1,868.00
05/30/2024	DEP0002047	Deposit	CLPKT00595 BG:CC Payment	983.50
05/31/2024	DEP0002039	Deposit	DEPOSIT CASH RECEIPTS	1,425.50
06/03/2024	DEP0002040	Deposit	DEPOSIT CASH RECEIPTS	874.00
06/03/2024	DEP0002043	Deposit	CLPKT00594 BG:Cash	8,255.00
06/03/2024	DEP0002043	Deposit	CLPKT00594 BG:CC Payment	1,572.50
06/04/2024	DEP0002044	Deposit	DEPOSIT CASH RECEIPTS	1,468.00
06/04/2024	DEP0002053	Deposit	CLPKT00597 BG:Cash	3,813.00
06/04/2024	DEP0002053	Deposit	CLPKT00597 BG:CC Payment	3,196.50
06/05/2024	DEP0002054	Deposit	DEPOSIT CASH RECEIPTS	1,308.00
06/05/2024	DEP0002057	Deposit	CLPKT00598 BG:CC Payment	223.00
06/05/2024	DEP0002057	Deposit	CLPKT00598 BG:Cash	9,891.00
06/06/2024	DEP0002058	Deposit	DEPOSIT CASH RECEIPTS	2,277.00
06/06/2024	DEP0002061	Deposit	CLPKT00599 BG:CC Payment	198.00
06/06/2024	DEP0002061	Deposit	CLPKT00599 BG:Cash	1,439.00
06/06/2024	DEP0002064	Deposit	CLPKT00600 BG:CC Payment	25.00
06/07/2024	DEP0002068	Deposit	DEPOSIT CASH RECEIPTS	2,628.00
06/07/2024	DEP0002071	Deposit	CLPKT00602 BG:Cash	6,311.33
06/07/2024	DEP0002071	Deposit	CLPKT00602 BG:CC Payment	1,079.00
06/07/2024	DEP0002074	Deposit	CLPKT00603 BG:CC Payment	25.00
06/10/2024	DEP0002077	Deposit	CLPKT00604 BG:Cash	265.00
06/10/2024	DEP0002078	Deposit	DEPOSIT CASH RECEIPTS	7,457.50
06/11/2024	DEP0002079	Deposit	DEPOSIT CASH RECEIPTS	869.00

Item Date	Reference	Item Type	Description	Amount
06/11/2024	DEP0002082	Deposit	CLPKT00605 BG:Cash	9,176.00
06/11/2024	DEP0002082	Deposit	CLPKT00605 BG:CC Payment	2,874.50
06/11/2024	DEP0002085	Deposit	CLPKT00606 BG:CC Payment	50.00
06/12/2024	DEP0002086	Deposit	DEPOSIT CASH RECEIPTS	1,111.50
06/12/2024	DEP0002089	Deposit	CLPKT00607 BG:Cash	5,080.00
06/13/2024	DEP0002090	Deposit	DEPOSIT CASH RECEIPTS	639.00
06/13/2024	DEP0002093	Deposit	CLPKT00608 BG:Cash	940.80
06/13/2024	DEP0002093	Deposit	CLPKT00608 BG:CC Payment	255,350.49
06/14/2024	DEP0002094	Deposit	DEPOSIT CASH RECEIPTS	1,147.50
06/14/2024	DEP0002097	Deposit	CLPKT00609 BG:CC Payment	1,585.00
06/14/2024	DEP0002097	Deposit	CLPKT00609 BG:Cash	2,282.00
06/17/2024	DEP0002098	Deposit	DEPOSIT CASH RECEIPTS	2,139.50
06/17/2024	DEP0002101	Deposit	CLPKT00610 BG:CC Payment	1,044.50
06/17/2024	DEP0002101	Deposit	CLPKT00610 BG:Cash	30,318.50
06/17/2024	DEP0002104	Deposit	CLPKT00611 BG:CC Payment	25.00
06/18/2024	DEP0002105	Deposit	DEPOSIT CASH RECEIPTS	530.50
06/18/2024	DEP0002108	Deposit	CLPKT00612 BG:CC Payment	2,049.88
06/18/2024	DEP0002108	Deposit	CLPKT00612 BG:Cash	1,383.50
06/18/2024	DEP0002111	Deposit	CLPKT00613 BG:CC Payment	50.00
06/19/2024	DEP0002112	Deposit	DEPOSIT CASH RECEIPTS	679.00
06/20/2024	DEP0002113	Deposit	DEPOSIT CASH RECEIPTS	2,117.00
06/20/2024	DEP0002116	Deposit	CLPKT00614 BG:CC Payment	2,253.00
06/20/2024	DEP0002116	Deposit	CLPKT00614 BG:Cash	2,188.25
06/20/2024	DEP0002120	Deposit	CLPKT00615 BG:CC Payment	22,799.14
06/20/2024	DEP0002123	Deposit	CLPKT00616 BG:CC Payment	25.00
06/21/2024	DEP0002117	Deposit	DEPOSIT CASH RECEIPTS	803.50
06/21/2024	DEP0002126	Deposit	CLPKT00617 BG:Cash	10,979.50
06/21/2024	DEP0002126	Deposit	CLPKT00617 BG:CC Payment	313.00
06/21/2024	DEP0002129	Deposit	CLPKT00618 BG:CC Payment	25.00
06/24/2024	DEP0002130	Deposit	DEPOSIT CASH RECEIPTS	1,180.00
06/24/2024	DEP0002139	Deposit	CLPKT00620 BG:CC Payment	150.00
06/25/2024	DEP0002131	Deposit	DEPOSIT CASH RECEIPTS	639.00
06/25/2024	DEP0002142	Deposit	CLPKT00621 BG:CC Payment	25.00
06/26/2024	DEP0002132	Deposit	DEPOSIT CASH RECEIPTS	639.00
06/26/2024	DEP0002145	Deposit	CLPKT00622 BG:CC Payment	25.00
06/27/2024	DEP0002136	Deposit	CLPKT00619 BG:Cash	6,265.00
06/27/2024	DEP0002148	Deposit	CLPKT00623 BG:CC Payment	75.00
06/28/2024	DEP0002152	Deposit	CLPKT00624 BG:Cash	1,064.00
06/28/2024	DEP0002169	Deposit	CLPKT00629 BG:CC Payment	11,546.42
Total Cleared Deposits (63)				440,328.81

Item Date	Reference	Item Type	Description	Amount
05/17/2024	1528	Check	Bridge & Watson, Inc.	-31,436.50
05/17/2024	1529	Check	Canton Sanitary Landfill	-1,362.40
05/17/2024	1533	Check	Crystal Clean	-3,291.00
05/17/2024	1541	Check	Highland Building Services, Inc.	-1,050.00
05/17/2024	1545	Check	Madison County Sheriff's Office	-1,857.88
05/17/2024	1551	Check	Mississippi Department of Public Safety (Cr	-180.00
05/17/2024	1553	Check	Mississippi Municipal League	-1,950.00
05/17/2024	1569	Check	Tactical Officer Survival School	-900.00
05/28/2024	1576	Check	Torri Parker Martin, Chapter 13 Trustee	-922.00
06/04/2024	1577	Check	110 Percent, LLC	-3,000.00
06/04/2024	1578	Check	Kelly Dabbs Commercial, LLC	-8,792.00
06/04/2024	1579	Check	Mississippi Department of Public Safety	-478.74
06/04/2024	1580	Check	State General Fund (DFA)	-31,046.75
06/07/2024	133	Check	133	-1,393.88
06/07/2024	1581	Check	State General Fund (DFA)	-30,568.01
06/11/2024	1582	Check	AgUp Equipment	-64.95
06/11/2024	1583	Check	AT&T Mobility	-40.23
06/11/2024	1584	Check	Bear Creek Water Association	-87.33
06/11/2024	1585	Check	Big 10 Tire Co.	-1,136.71
06/11/2024	1586	Check	Blaising Fire and Water, Inc.	-410.00
06/11/2024	1588	Check	Canton Mac Haik CDJR LTD	-954.82
06/11/2024	1589	Check	Canton Sanitary Landfill	-775.01
06/11/2024	1590	Check	Cascio Sanford Government Law Group PLL	-3,500.00
06/11/2024	1591	Check	CDW LLC	-261.08
06/11/2024	1592	Check	Centennial Plaza, LLC	-387.98
06/11/2024	1593	Check	Clark Rental & Supply, LLC	-42.84
06/11/2024	1594	Check	Classic Creations, Inc.	-28.00
06/11/2024	1595	Check	Column Software PBC	-33.38
06/11/2024	1596	Check	Crystal Clean	-3,291.00
06/11/2024	1597	Check	Custom Products Corporation	-754.20
06/11/2024	1598	Check	Deviney Rental & Supply	-939.63
06/11/2024	1599	Check	Entergy	-1,591.03
06/11/2024	1600	Check	Executive Landscape	-285.00
06/11/2024	1601	Check	Fuelman	-6,544.83
06/11/2024	1602	Check	Global Police Solutions	-129.00
06/11/2024	1603	Check	Glock Professional	-250.00
06/11/2024	1604	Check	Gulf States Distributors, Inc.	-13,759.00
06/11/2024	1605	Check	Hannah Cole	-500.00
06/11/2024	1606	Check	Hartley Equipment Company, Inc.	-317.33
06/11/2024	1607	Check	Henry J. Davis	-107.97
06/11/2024	1608	Check	Highland Building Services, Inc.	-1,050.00
06/11/2024	1610	Check	Jane Lever	-225.00
06/11/2024	1611	Check	Jeremy Slaven	-147.79
06/11/2024	1612	Check	Lewis Electric, Inc.	-32,403.00
06/11/2024	1613	Check	Linco Developments, LLC	-4,059.98

Cleared Checks

Section 4, 1B)

Item Date	Reference	Item Type	Description	Amount
06/11/2024	1614	Check	Madison County Publishing Company, Inc.	-21.00
06/11/2024	1616	Check	MAGCOR (formerly MPIC, INC)	-290.00
06/11/2024	1617	Check	Magnolia Shredding LLC	-75.00
06/11/2024	1618	Check	Matthew Latham	-500.00
06/11/2024	1619	Check	Metrix Solutions	-11,800.00
06/11/2024	1620	Check	MHI - Olive Branch F OpCo, LLC	-276.00
06/11/2024	1621	Check	Mills, Scanlon, Dye & Pittman, Attorneys at	-17,883.75
06/11/2024	1622	Check	Mississippi Trophy, LLC	-88.00
06/11/2024	1623	Check	OP Plus	-865.19
06/11/2024	1625	Check	Parkway Diesel Service & Accessories LLC	-351.00
06/11/2024	1626	Check	Pennington & Trim Alarm Services, Inc	-66.00
06/11/2024	1627	Check	Perry Wayne Brown	-300.00
06/11/2024	1628	Check	Phelps Dunbar LLP	-5,714.21
06/11/2024	1629	Check	Printables and More (G&W Marketing)	-59.50
06/11/2024	1630	Check	Puckett Rents	-113.88
06/11/2024	1631	Check	Revell Hardware Co., Inc.	-87.29
06/11/2024	1632	Check	Robert J Young Company	-1,963.92
06/11/2024	1633	Check	Ruth Marie Stogner	-133.67
06/11/2024	1634	Check	S&S Operating, LLC	-123.28
06/11/2024	1635	Check	Scott Maugh	-254.23
06/11/2024	1636	Check	Southern Benefits Administrators	-100.00
06/11/2024	1637	Check	Southern Connection Police Supplies, LLC	-1,685.17
06/11/2024	1638	Check	Stantec Consulting Services Inc (SCSI)	-1,314.00
06/11/2024	1639	Check	Terminix Commercial	-179.00
06/11/2024	1640	Check	The 20 LLC	-5,265.00
06/11/2024	1641	Check	The Range of Mississippi, LLC	-179.00
06/11/2024	1642	Check	Thomson Reuters - West Payment Center	-682.50
06/11/2024	1643	Check	Trustcare Health, LLC	-50.00
06/11/2024	1644	Check	Urgivet, LLC	-926.13
06/11/2024	1645	Check	Walter C. Morrison, IV	-3,167.14
06/11/2024	1646	Check	Waste Management of Mississippi, Inc.	-195.00
06/21/2024	134	Check	134	-1,393.88
06/21/2024	1647	Check	Mississippi Department of Human Services	-301.86
06/21/2024	1648	Check	Torri Parker Martin, Chapter 13 Trustee	-922.00
Total Cleared Checks (79)				-249,632.85

Cleared Other

Item Date	Reference	Item Type	Description	Amount
06/01/2024	MISC0000151	Miscellaneous	\$213 Inverse "Placement" for \$1308 Batch	-213.00
06/03/2024	DFT0000901	Bank Draft	Entergy	-731.18
06/03/2024	DFT0000902	Bank Draft	Cspire Business	-878.98
06/03/2024	DFT0000982	Bank Draft	Blue Cross Blue Shield Of Mississippi	-9,843.89
06/03/2024	DFT0000983	Bank Draft	Blue Cross Blue Shield Of Mississippi	-10,224.82

Item Date	Reference	Item Type	Description	Amount
06/04/2024	DFT0000900	Bank Draft	CenterPoint Energy	-54.79
06/04/2024	DFT0000941	Bank Draft	IRS Taxpayer Assistance Center	-3,049.14
06/04/2024	DFT0000942	Bank Draft	IRS Taxpayer Assistance Center	-1,761.68
06/04/2024	DFT0000943	Bank Draft	IRS Taxpayer Assistance Center	-71.04
06/04/2024	DFT0000944	Bank Draft	IRS Taxpayer Assistance Center	-114.69
06/04/2024	DFT0000945	Bank Draft	IRS Taxpayer Assistance Center	-7,532.76
06/04/2024	DFT0000946	Bank Draft	IRS Taxpayer Assistance Center	-16.60
06/04/2024	DFT0000947	Bank Draft	IRS Taxpayer Assistance Center	-7,654.64
06/04/2024	DFT0000948	Bank Draft	IRS Taxpayer Assistance Center	-3,312.00
06/04/2024	DFT0000949	Bank Draft	IRS Taxpayer Assistance Center	-1,790.18
06/05/2024	DFT0000903	Bank Draft	Cspire Business	-1,324.45
06/05/2024	DFT0000950	Bank Draft	Mississippi Department of Revenue	-1,457.00
06/05/2024	DFT0000951	Bank Draft	Mississippi Department of Revenue	-1,509.00
06/05/2024	DFT0000952	Bank Draft	Mississippi Department of Revenue	-10.00
06/05/2024	DFT0000958	Bank Draft	American Family Life Assurance Company c	-79.16
06/05/2024	DFT0000959	Bank Draft	American Family Life Assurance Company c	-17.88
06/05/2024	DFT0000960	Bank Draft	American Family Life Assurance Company c	-135.71
06/05/2024	DFT0000961	Bank Draft	American Family Life Assurance Company c	-135.71
06/05/2024	DFT0000962	Bank Draft	American Family Life Assurance Company c	-61.86
06/05/2024	DFT0000963	Bank Draft	American Family Life Assurance Company c	-17.88
06/05/2024	DFT0000964	Bank Draft	American Family Life Assurance Company c	-150.66
06/05/2024	DFT0000965	Bank Draft	American Family Life Assurance Company c	-79.16
06/05/2024	DFT0000966	Bank Draft	American Family Life Assurance Company c	-40.80
06/05/2024	DFT0000967	Bank Draft	American Family Life Assurance Company c	-61.86
06/05/2024	DFT0000968	Bank Draft	American Family Life Assurance Company c	-150.66
06/05/2024	DFT0000969	Bank Draft	American Family Life Assurance Company c	-40.80
06/06/2024	DFT0000953	Bank Draft	Mississippi Public Employees Retirement Sy	-15,901.95
06/06/2024	DFT0000954	Bank Draft	Mississippi Public Employees Retirement Sy	-118.32
06/06/2024	DFT0000955	Bank Draft	Mississippi Public Employees Retirement Sy	-151.25
06/06/2024	DFT0000956	Bank Draft	Mississippi Public Employees Retirement Sy	-103.53
06/06/2024	DFT0000957	Bank Draft	Mississippi Public Employees Retirement Sy	-16,031.58
06/06/2024	DFT0000970	Bank Draft	Morgan White Administrators, Inc.	-355.69
06/06/2024	DFT0000971	Bank Draft	Morgan White Administrators, Inc.	-101.43
06/06/2024	DFT0000972	Bank Draft	Morgan White Administrators, Inc.	-355.69
06/06/2024	DFT0000973	Bank Draft	Morgan White Administrators, Inc.	-177.65
06/06/2024	DFT0000974	Bank Draft	Mississippi Deferred Compensation	-270.00
06/06/2024	DFT0000975	Bank Draft	Mississippi Deferred Compensation	-270.00
06/07/2024	1213	EFT	Andrew Duggar	-120.00
06/07/2024	1214	EFT	Charles Phillips King	-120.00
06/07/2024	1215	EFT	John G. Sims, III	-1,200.00
06/07/2024	1216	EFT	Katrina B. Myricks	-120.00
06/07/2024	1217	EFT	Kayce Leigh Saik	-120.00
06/07/2024	1218	EFT	Marsha Weems Stacey	-400.00
06/07/2024	1219	EFT	Melanie Greer	-120.00
06/07/2024	1220	EFT	Michael Devin Whitt	-1,200.00

Cleared Other

Item Date	Reference	Item Type	Description	Amount
06/07/2024	1221	EFT	Sam McGaugh	-120.00
06/07/2024	1222	EFT	Timothy Slattery	-120.00
06/07/2024	1580	Check Reversal	State General Fund (DFA) Reversal	31,046.75
06/07/2024	EFT0000059	EFT	Payroll EFT	-45,437.27
06/10/2024	MISC0000153	Miscellaneous	Timothy Mason Bond Money Transfer. Adju	2,000.00
06/13/2024	MISC0000157	Miscellaneous	6/13/24 Deposit Error/Mistake (Stone Grou	24.20
06/20/2024	DFT0000976	Bank Draft	Madison County Tax Collector	-903.59
06/20/2024	DFT0000981	Bank Draft	BankPlus	-20.00
06/21/2024	EFT0000060	EFT	Payroll EFT	-43,760.90
06/28/2024	DFT0000980	Bank Draft	BankPlus	-29.90
06/28/2024	MISC0000155	Miscellaneous	6/27 \$1465.50 JE to Split Batch According	852.00
Total Cleared Other (61)				-146,227.78

Outstanding Deposits

Item Date	Reference	Item Type	Description	Amount
06/27/2024	DEP0002133	Deposit	DEPOSIT CASH RECEIPTS	1,352.50
06/27/2024	DEP0002136	Deposit	CLPKT00619 BG:CC Payment	1,465.50
06/28/2024	DEP0002149	Deposit	DEPOSIT CASH RECEIPTS	666.50
06/28/2024	DEP0002155	Deposit	CLPKT00625 BG:CC Payment	75.00
Total Outstanding Deposits (4)				3,559.50

Outstanding Checks

Item Date	Reference	Item Type	Description	Amount
10/12/2022	56	Check	Dainty Magnolia	-20.00
02/06/2023	269	Check	Kayce Leigh Saik	-120.00
04/10/2024	1491	Check	MCR Hospitality Fund II TRS LLC	-428.00
04/10/2024	1509	Check	Warner, Inc.	-504.61
04/30/2024	1514	Check	S.T.O.R.M., Incorporated	-200.00
05/17/2024	1552	Check	Mississippi Department of Revenue	-10.00
06/11/2024	1587	Check	Bridge & Watson, Inc.	-16,925.25
06/11/2024	1609	Check	James W Irby Jr PHD ABPP	-1,575.00
06/11/2024	1615	Check	Madison County Sheriff's Office	-2,783.92
Total Outstanding Checks (9)				-22,566.78

Outstanding Other

Item Date	Reference	Item Type	Description	Amount
09/30/2022	DFT0000023	Bank Draft	Mississippi Public Employees Retirement Sy	-7,480.76
11/23/2022	DFT0000083	Bank Draft	Southern Benefits Administrators	-80.78
12/08/2022	DFT0000074	Bank Draft Reversal	IRS Taxpayer Assistance Center	67.00
12/08/2022	DFT0000075	Bank Draft Reversal	IRS Taxpayer Assistance Center	257.58

Outstanding Other

Item Date	Reference	Item Type	Description	Amount
12/08/2022	DFT0000077	Bank Draft Reversal	IRS Taxpayer Assistance Center	28.62
01/01/2023	DFT0000117	Bank Draft	Southern Benefits Administrators	-80.78
01/02/2023	DFT0000127	Bank Draft	Southern Benefits Administrators	-80.78
11/30/2023	DFT0000667	Bank Draft	Southern Benefits Administrators	-161.56
01/31/2024	DFT0000678	Bank Draft	Southern Benefits Administrators	-46.15
Total Outstanding Other (9)				-7,577.61

Voided Checks

Item Date	Reference	Item Type	Description	Amount
06/11/2024	1624	Check	Void Check	0.00
Total Voided Checks (1)				0.00

Bank Statement Register

Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Bank Draft Reversal	3	353.20	0.00	353.20
Bank Draft	50	-7,930.81	-87,099.56	-95,030.37
Check	89	-22,566.78	-249,632.85	-272,199.63
Deposit	67	3,559.50	440,328.81	443,888.31
EFT	12	0.00	-92,838.17	-92,838.17
Check Reversal	1	0.00	31,046.75	31,046.75
Miscellaneous	4	0.00	2,663.20	2,663.20
		-26,584.89	44,468.18	17,883.29



Gluckstadt, MS

Bank Statement Register Section 4, IB)

POLICE STATION FUND, CAPITAL PROJECT

Period 6/1/2024 - 6/28/2024

Packet: BRPKT00117

Bank Statement		General Ledger	
Beginning Balance	268,018.30	Account Balance	263,423.95
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	4,594.35	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	263,423.95	Adjusted Account Balance	263,423.95

Statement Ending Balance	263,423.95
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

002-000-10100 CASH

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
06/11/2024	15	Check	Dean Architecture	-4,594.35
Total Cleared Checks (1)				-4,594.35

Bank Statement Register

Transaction Summary



Gluckstadt, MS

CITY OF
Gluckstadt
INCORPORATED 2021

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-4,594.35	-4,594.35
		0.00	-4,594.35	-4,594.35



Gluckstadt, MS

Bank Statement Register Section 4, 1B)

STATION FUND #2, CAPITAL PROJECTS 2023

Period 5/29/2024 - 6/28/2024

Packet: BRPKT00118

Bank Statement

General Ledger

Beginning Balance	750,000.00	Account Balance	750,000.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	750,000.00	Adjusted Account Balance	750,000.00

Statement Ending Balance	750,000.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

005-000-10100 CASH



Gluckstadt, MS

Bank Statement Register Section 4, IB)

STATION FUND #3, CAPITAL PROJECTS 2023

Period 6/1/2024 - 6/28/2024

Packet: BRPKT00119

Bank Statement

General Ledger

Beginning Balance	2,864,824.29	Account Balance	2,239,911.44
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	624,912.85	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	2,239,911.44	Adjusted Account Balance	2,239,911.44

Statement Ending Balance	2,239,911.44
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

006-000-10100 CASH

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
06/11/2024	16	Check	Benchmark Construction Corp.	-624,912.85
Total Cleared Checks (1)				-624,912.85

Bank Statement Register

Transaction Summary



Gluckstadt, MS

CITY OF
Gluckstadt
INCORPORATED 2021

Transaction Type	Count	Outstanding	Cleared	Total
Check	1	0.00	-624,912.85	-624,912.85
		0.00	-624,912.85	-624,912.85



Gluckstadt, MS

Bank Statement Register

POLICE STATION DEBT SERVICE FUND

Period 6/1/2024 - 6/28/2024

Packet: BRPKT00121

Bank Statement		General Ledger	
Beginning Balance	100.00	Account Balance	100.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	100.00	Adjusted Account Balance	100.00

Statement Ending Balance	100.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

200-000-10100 CASH



Gluckstadt, MS

Bank Statement Register Section 4, IB)

OFFICE STATION SEARCH AND SEIZURE ACCOUNT

Period 5/29/2024 - 6/28/2024

Packet: BRPKT00116

Bank Statement		General Ledger	
Beginning Balance	2,773.00	Account Balance	2,773.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	2,773.00	Adjusted Account Balance	2,773.00

Statement Ending Balance	2,773.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

100-000-10100 CASH



Gluckstadt, MS

Bank Statement Register
COURT BOND ACCOUNT (HOLDING)

Period 6/1/2024 - 6/28/2024

Packet: BRPKT00120

Bank Statement		General Ledger	
Beginning Balance	16,908.00	Account Balance	14,908.00
Plus Debits	0.00	Less Outstanding Debits	0.00
Less Credits	2,000.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	14,908.00	Adjusted Account Balance	14,908.00

Statement Ending Balance	14,908.00
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

003-000-10100 CASH

Cleared Other

Item Date	Reference	Item Type	Description	Amount
06/10/2024	MISC0000154	Miscellaneous	Timothy Mason Bond Money Transfer. Adju	-2,000.00
Total Cleared Other (1)				-2,000.00

Bank Statement Register

Transaction Summary



Gluckstadt, MS

Transaction Type	Count	Outstanding	Cleared	Total
Miscellaneous	1	0.00	-2,000.00	-2,000.00
		0.00	-2,000.00	-2,000.00

City of Gluckstadt Park Development

Community Feedback Report

Six Dimensions

NAKEITRA L. BURSE, DRPH, CHES AND JASMINE MARTIN, BS



six dimensions

OVERVIEW

Six Dimensions conducted three (3) focus groups in May and June 2024 to gather feedback on what residents, community members, and business owners would like to see in a local park for the city of Gluckstadt. Six Dimensions and City of Gluckstadt officials aimed to gain feedback from various sectors of the community to ensure the community voice is heard and utilized in the development of a city park. Focus group participants were recruited by three community demographics:

1. Parents of school-aged children
2. Aging and active/empty-nesters
3. Gym and business owners

Participants were recruited by word of mouth and social media. Each group had five (5) community members present. Additionally, city officials including aldermen, city clerk, public works, planning and zoning, police, and others were present. Questions focused on four (4) broad areas of discussion which included, park amenities, community recreational activities, park aesthetics and park safety. Overwhelmingly, residents were excited about the possibility of a park in the community for multipurpose use and provided significant details on what they would like to see. Overall, most desired a safe place in the community for everyone to exercise, play, and fellowship. This report provides an overview of the most common themes among each group.

PARK AMENITIES

Each group began with a discussion about park amenities. Participants were asked to first describe what types of outdoor activities they engage in, how much time they spend outdoors and who they engage with during outdoor activities (i.e. their children, other family members, etc.). This led into a more detailed discussion about what type of outdoor activities they participate in and what they would like to see in a local park. Specifically, regarding time spent outside, participants provided specific information regarding some of the park amenities. A description of those amenities is described below.

Walking Trail

Most participants expressed that they would like to see a walking trail for physical exercise at a community park. Participants expressed the desire for a smooth asphalt surface that does not dip off too hard on the sides, for safety purposes. Specifically for the aging population, they

stated that rest areas along the trail that also had space for people with different abilities to also rest and sit would be helpful. Also along the route, residents stated that they would like to have small workout equipment such as stretching, calisthenics and other therapeutic fitness. Relative to the aging population, it was also suggested that sway/swinging benches be placed along the trail. Additionally, residents requested that small play pockets be incorporated in different areas around the park and along the trail. This would help break up the monotony of the walk; support all fitness levels and abilities; and support parents exercising while their children are close by.

Additionally, participants stated that they wanted water fountains and bathrooms within close proximity to the walking trail. Each group specifically asked about dogs being at the park and along the trail and most stated that they did not want dogs to be allowed at the park, specifically unleashed dogs. Participants also expressed the desire to be able to see their children on the playground from the walking trail. Therefore, a clear walking trail with no trees that may obstruct views was important. City officials noted that the trail would be a standard ten (10) foot trail to ensure that people can walk on both sides.

City officials noted that there will likely be a nature trail at the park as well. Participants were excited about the possibility of a nature trail. More than one participant discussed having historical facts about the city of Gluckstadt along the nature trail to give the park a very personal touch. Additionally, a discussion ensued about having a disc golf course throughout the nature trail.

Multipurpose Courts

Participants expressed the desire for multipurpose courts with interchangeable flooring and amendable equipment that could easily switch between different sports and recreational events. Activities described were basketball, pickleball, and bocce ball. It was acknowledged that there has been talk about a multipurpose sports complex coming to the area, therefore, multi-use courts may not be the best allocation of resources.

Playgrounds

Playground equipment was a very robust discussion that focused on safety, accommodations, shade from the sun, seating, colors, types of play equipment, etc. Participants discussed the need for an abundance of seating that allowed them to be able to view their child from multiple angles. Additionally, they expressed the need for adequate shade sails as well as natural shade, as the Mississippi heat can be unbearable at times. Participants also expressed the need for comfortable and sturdy seating. They recognized that wood seating (i.e. benches and picnic tables) does not withstand weather, long term and that they can lead to splinters and other injuries. Therefore, residents suggested the use of metal seats with rubber coating. Logistically, they also expressed the need for the playgrounds to be close to restrooms.

Significantly, participants noted that parents may want/need to work while they bring their children to the park. Therefore, participants discussed seating that welcomes working parents, potentially a bench or table that is conducive to remote work. In this same vein, participants also discussed access to wifi and charging stations.

Relative to playground equipment, an overwhelming majority of participants in each group discussed the need for children to be separated by age group to maintain safety among all children. Specifically, it was noted that the play area should be gated/fenced off. It was also noted that there need to be areas that are age group specific. Participants expressed a need for older youth to be entertained to avoid getting into trouble. A specific example was a rock-climbing wall or an American Ninja Warrior style obstacle course for the older youth. Additionally, residents noted that the flooring for the playground should be material that is safe and soft for falls and other accidents (i.e. rubber impact flooring). Overall, families stated that they wanted equipment that was family friendly, safe and compatible for children and parents (or other family members) to play on together.

Regarding ADA accommodations, all participants noted that the playground should have equipment for children with all abilities. In discussing ADA accommodations for the playground, residents noted that this should be seamlessly integrated into playground equipment to ensure inclusion among all children. Additionally, relative to ADA accommodations, participants expressed that the park in general should be accommodating to citizens with different abilities.

Relative to the color and style of the playground, residents noted that the playground should be bright and multi-colored. Alderman Miya Warfield provided the suggestion that the playground design be a four-leaf clover for the city of Gluckstadt. She noted that an aerial view of a clover would be nice to see.

Splash Pad

Residents were excited about the possibility of a splash pad at a local park. Specifically, participants wanted to ensure that the splash pad and playground areas were separate to ensure safety and preserving the playground equipment. Additionally, there was discussion about a separate dressing room structure to avoid using restrooms for changing.

Other Amenities

Residents discussed other amenities that were important to a park. These amenities were family-based activities that support a variety of activities that focus on outdoor activities together. Table 1 provides a general overview of the responses to questions asked relative to park amenities.

Overall, most participants acknowledged that they traveled to parks outside the City of Gluckstadt to engage in outdoor activities, but that they would prefer to utilize a park in their home community.

Table 1. Park Amenities	
Question	Responses
Type of outdoor activities do participants usually engage in	<ul style="list-style-type: none"> ● Walking ● Bicycling ● Skateboarding ● Gardening (Specific to Active and Aging Group)

	<ul style="list-style-type: none"> ● Water activities
<p>Amenities they would like to see in the local parks</p>	<ul style="list-style-type: none"> ● Skateboard park ● Splash pad ● Walking trail ● Bike trail ● Green space ● Cooking areas & Grills ● Pickleball court ● Book exchange box ● Crafting area ● Sand-volleyball courts ● Zipline

COMMUNITY RECREATIONAL ACTIVITIES

Participants were asked about community events that they would like to see in order to gain a better understanding of how the park would be utilized in the community outside of the playground and physical activity amenities. Participants were asked what type of events they would like to see hosted in the park. Most of the participants acknowledged they would like to see regular scheduled events in the park especially since they would be using the park outside of playground amenities. They desired to see a green space where they could host events surrounding health, wellness, arts and crafts, and entertainment.

Health and Wellness

Participants provided various types of events and initiatives that they would like to see surrounding health and wellness. This feedback consisted of events that were either health education, promoted healthy living and physical activity classes. A community health fair was a common suggestion among all three (3) focus groups. Participants would like to see a collaboration with local clinics and organizations to help educate community members on healthy living and education. Next, participants desired to see a collaboration between Callaway’s and community members to host events surrounding gardening. The implementation of a community garden to be tended by residents was also suggested. Participants would also like to see regularly scheduled farmer’s markets. Using the green space, participants suggested having physical activity classes such as: yoga in the park, dance in the park, and age-based workout classes.

Entertainment

City officials stated that in the current plan for the park, there is the design for an amphitheater that could host various artists and performers. Therefore, questions were asked about the types of activities they would like to see in the park in general and around the amphitheater. Participants stated they would like to see concerts and city-sponsored festivals and parades hosted at the park. It was also noted that they would like to see a decent-sized green space built to hold larger crowds and temporary event stages. Lastly, participants suggested that the park could host the majority of the city’s Christmas festivities. Specifically, the lighting of a city’s Christmas tree and the annual parade route starting and ending at the park.

Private and Semi-Private Events

Participants suggested that they would like to have spaces to host semi-private events such as: birthday parties, company/work events, family events and classes. The building of pavilions and eating areas would provide the opportunity to host previously mentioned events. With the hosting of public and private events, we discussed what reserving and renting areas of the park look like. It was suggested that a 1–2-person team was hired to manage the reserving and renting of spaces throughout the park for events. In regard to rental fees, it would be up to the city and respective staff to create fees for both public and private events.

PARK AESTHETICS

A part of the discussion focused on aesthetics and what features residents would like to see in the park. Participants overwhelmingly expressed the desire to incorporate the history of Gluckstadt into the park. Some ideas for this included history along the nature trail and possibly the pond, and murals designed and painted by community members and local artists.

Regarding colors, they expressed wanting bright, “happy” colors. Additionally, participants discussed partnering with local schools to create specific amenities like benches and art that have been created to include elements of the community.

Regarding landscaping, residents wanted landscaping that potentially includes a wildflower area. Participants also discussed a water feature in the pond such as a fountain or a feature that lights up for special occasions. Residents also discussed maintained green spaces that foster picnics, family gatherings, and birthday parties. Additionally, most participants discussed the desire to have photo opportunities throughout the park. This could be in the form of murals, lattices with greenery, a colorful arch such as the one at the MS Museum of Art, greenery walls or statement pieces. Residents also discussed a deck area for people to sit out and enjoy the water.

PARK SAFETY

Park safety was discussed in detail as well. Much of the discussion focused on ensuring that there will be safeguards in place to deter teens from getting into trouble as well as ensuring that residents feel safe while engaging in family and/or exercise activities.

Precautions

Residents as well as city officials agreed that the hours of operation should be dawn to dusk. This also means that there needs to be signage at the entrance and exit of the park to ensure adherence. Additionally, providing officers in the area to ensure that those walking in the evening feel safe and to drive out any unwanted activity. Additionally, it was stated that barriers should be considered in various places to prevent driving on the grass and damaging equipment. Signage was of great importance to residents as well. Signage encouraging safety in all areas of the park was discussed. This includes safety around the pond, water safety at the splash pad, safety on the exercise equipment, and playground safety. It was encouraged to protect the city.

Safety Features

Participants expressed their thoughts on safety features that would help them feel more comfortable patronizing the park and its amenities. A major discussion in each group revolved around pets. Overwhelmingly participants and city officials expressed that it would be best to have a no pets allowed policy, but also rely on the citizens and individuals to adhere to such a policy. And if citizens do not adhere to the policy, encourage them to take accountability for their own pets by keeping them on a leash and cleaning up after them. Thus, it was suggested that clean-up and water stations would be implemented along the walking trail to serve as a precaution.

Lighting along both the walking trail and the nature trail was important. Residents expressed that some people prefer to walk early in the morning before the sun rises or later in the evening after getting off work. Maintaining lighting would be important for this.

Additionally, police surveillance at all times was important. Gluckstadt police noted the safety measures they are committed to by discussing cameras and the ability to monitor the park remotely via a surveillance camera. Overwhelmingly, call boxes were requested throughout the park and walking trails. This will give patrons that opportunity to have an officer dispatched in case of emergency.

For patrons visiting the park it was important that seating and walking areas are safe and ADA accommodating. It was recommended that benches are wheel-chair accessible and an accommodating height for those who might have physical challenges. It was also suggested that heavily trafficked walking paths are smooth for safe walking. Lastly, for those enjoying the park amenities, it was recommended that water bottle stations were built throughout the park for patrons to refill. It was also suggested that a bathroom should be in close proximity to the playground for those with children.

CONCLUSION

Across each of the focus groups and among city officials a robust discussion was held that provided great insight to support the design of a community park. Overall, the community was excited about the possibility of a park. The city is in a position to incorporate the feedback into the current plans for the park. Though the numbers were small, each of the groups expressed many of the same or similar desires.



CITY OF GLUCKSTADT

MISSISSIPPI
EXTERNAL FUNDING

MEMORANDUM

TO: Mayor & Board of Aldermen

FROM: Ruth Marie Stogner, Grant Writer

DATE: July 9, 2024

SUBJECT: July 9 Board of Aldermen Meeting

A review of current grant-funded projects. Two (2) attachments: grants document and city park development study.

CITY OF GLUCKSTADT

CURRENT AWARDED GRANTS
STATUS

July 2024

GRANT TITLE	FUNDING SOURCE	AMOUNT	CURRENT STATUS
Mayoral Health Council	Mississippi State Department of Health	\$5,000.00	The public was invited to attend three focus groups that were conducted in May & June. These focus groups were conducted to solicit public input on suggestions the public would like to see for a city park. The report from these meetings is attached.
Automated License Plate Reader, Prime Mover and Tactical Equipment and Commodities	Mississippi Department of Public Safety – <i>Office of Homeland Security</i>	\$150,000.00	License plate readers have been ordered and are currently being installed in locations selected by the police department administration. These readers will enhance the ability of the police department to monitor the city for people with warrants. It will also provide another tool for investigators to use when solving crimes that occur in the city. The Prime mover and tactical items were received.
Tactical Gear	Mississippi Department of Public Safety – <i>Office of Homeland Security</i>	\$14,000.00	Personal protective equipment and items for police personnel whom are members of the Madison County Sheriff's Office Special Weapons and Tactics (SWAT) Team.
Police Traffic Services	Mississippi Department of Public Safety – <i>Office of Highway Safety</i>	\$20,000.00	This grant provides funds to pay officers to conduct additional patrols and checkpoints in addition to normal patrols focusing on safety related violations. Total grant-issued citations for occupant protection performance measures are: 46 seatbelt, 15 child restraint and 168 speed. The PD participated in two (2) national blitzes: Drive Sober or Get Pulled Over and Click It Or Ticket so far during this grant.

TOTAL GRANTS		\$189,000.00	

City of Gluckstadt Park Development

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NAKEITRA L. BURSE, DRPH, CHES AND JASMINE MARTIN, BS



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For patrons visiting the park it was important that seating and walking areas are safe and ADA accommodating. It was recommended that benches are wheel-chair accessible and an accommodating height for those who might have physical challenges. It was also suggested that heavily trafficked walking paths are smooth for safe walking. Lastly, for those enjoying the park amenities, it was recommended that water bottle stations were built throughout the park for patrons to refill. It was also suggested that a bathroom should be in close proximity to the playground for those with children.

CONCLUSION

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CITY OF GLUCKSTADT

MISSISSIPPI
EXTERNAL FUNDING

MEMORANDUM

TO: Mayor & Board of Aldermen

FROM: Ruth Marie Stogner, Grant Writer

DATE: July 9, 2024

SUBJECT: July 9 Board of Aldermen Meeting

A review of projected grant-funded projects. One (1) attachment: grants document.

CITY OF GLUCKSTADT

GRANT APPLICATIONS
CURRENTLY SUBMITTED for FY 2025

July 2024

GRANT TITLE	FUNDING SOURCE	AMOUNT & REQUEST	CURRENT STATUS
Mayoral Health Council	Mississippi State Department of Health	\$10,000.00	This grant application is a continuation of the existing park project and will allow the development of community outreach projects.
Disaster Preparedness	Mississippi Department of Public Safety – <i>Office of Homeland Security</i>	\$72,000.00	This application is to request the purchase of a prime mover vehicle and response trailer and generator. The application has been submitted to the Office of Homeland Security
Police Traffic Services FY 2025	Mississippi Department of Public Safety – <i>Office of Highway Safety</i>	\$25,000.00	This application to provide salaries and technology/equipment to be used by officers in for the increase in patrols for street/highway safety. This grant is similar to the grant awarded in 2024. The application has been submitted to the Office of Highway Safety.
Bulletproof Vest Partnership	U.S. Dept. of Justice	\$5,803.00	This application provides for matching funds that will be used by the police department to purchase bulletproof vests for officers. This grant requires a 50% match using city funds. This grant application has been submitted to the United States Department of Justice.
Walking Trail(s)	MS Outdoor Stewardship Trust Fund & Mississippi Department of Wildlife, Fisheries & Parks	\$618,700.00	This application will be submitted as soon as the Notice of Funding Opportunity (NOFO) is released. This will provide funds for walking trails in the city other than those planned for the city park. The projected match is 20%.
Total Current Grant Applications Amount		\$731,503.00	



CITY OF GLUCKSTADT

MISSISSIPPI
EXTERNAL FUNDING

MEMORANDUM

TO: Mayor & Board of Aldermen

FROM: Ruth Marie Stogner, Grant Writer

DATE: July 9, 2024

SUBJECT: July 9 Board of Aldermen Meeting

There are a significant number of private and corporate foundations with grant programs that limit funding to IRS designated non-profit entities. I ask the board to vote on pivoting the Mayoral Health Council from a committee to a 501(c)3 non-profit. This will allow for a new pipeline of corporate and private grant projects.

The process will take 2 – 6 months to finalize. Financials will be kept separate from the city budget.



CITY OF GLUCKSTADT

MISSISSIPPI
OFFICE OF THE CITY CLERK

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: Lindsay Kellum, City Clerk

DATE: July 02, 2024

SUBJECT: General Update, City Administration

The City Clerk will provide a brief update on the below city administration matters.

Items:

- Finance & Budget
- Accounts Payable
- Fixed Assets
- Software Implementation
- Training & Education
- Human Resources and Payroll
- Communications and Website
- Public Records Requests
- Events & Chamber of Commerce
- Mayor's Youth Council



CITY OF GLUCKSTADT

MISSISSIPPI
OFFICE OF THE CITY CLERK

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: Scott Maugh, Deputy City Clerk

DATE: 07/02/2024

SUBJECT: Privilege & Transient Vendor License Report (Monthly Update)

From June 1, 2024, to June 30, 2024, the City of Gluckstadt processed forty-three (43) Regular Privilege Licenses.

The amount of fees collected in 2024 to date is as follows:

Privilege: \$23,442.94

Transient: \$0

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				INTEREST	
					FEE	PENALTY	TAX			
0000117	DEPENDABLE PEST SER	11/16/2023	00095	Payment	33.00-	.00	.00	.00	.00	33.00-
0000127	RIVER OAKS ROOFING	11/03/2023	00092	Payment	30.00-	.00	.00	.00	.00	30.00-
0000129	PEDIATRIC HAVEN PPE	11/06/2023	00093	Payment	30.00-	.00	.00	.00	.00	30.00-
0000131	REFLECTIONS VISION	11/06/2023	00093	Payment	65.00-	.00	.00	.00	.00	65.00-
0000132	CARDINAL HEALTH 110	11/16/2023	00095	Payment	1,840.00-	.00	.00	.00	.00	1,840.00-
0000134	GLUCKSTADT FITNESS	11/17/2023	00096	Payment	20.00-	.00	.00	.00	.00	20.00-
0000143	UNIQUE RENOVATIONS,	11/30/2023	00097	Payment	30.00-	.00	.00	.00	.00	30.00-
0000228	PTS PHYSICAL THERAP	11/06/2023	00093	Payment	30.00-	.00	.00	.00	.00	30.00-
0000229	PUTTING ON AIRS, LL	11/16/2023	00095	Payment	25.00-	.00	.00	.00	.00	25.00-

Section 7, (B)

===== FEE CODE TOTALS BY TYPE =====							
FEE CODE	TYPE	COUNT	===== DISTRIBUTION =====				TOTAL
			FEE	PENALTY	TAX	INTEREST	
OPTOMETRIS	Payment	1	25.00CR	0.00	0.00	0.00	25.00CR
Schdl-A	Payment	4	1,925.00CR	0.00	0.00	0.00	1,925.00CR
Schdl-B	Payment	5	153.00CR	0.00	0.00	0.00	153.00CR
GRAND TOTAL FOR PERIOD							2,103.00CR

Section 7, (B)

===== TOTALS BY TRANSACTION TYPE =====						
TYPE	COUNT	===== DISTRIBUTION =====				TOTAL
		FEE	PENALTY	TAX	INTEREST	
Payment	9	2,103.00CR	0.00	0.00	0.00	2,103.00CR
TOTAL FOR PERIOD	9					2,103.00CR

SELECTION CRITERIA

Section 7, 1B)

REPORT OPTIONS:

LICENSE RANGE: THRU ZZZZZZZZZZ
 PACKET RANGE: 0 THRU 99999
 TRANSACTION RANGE: 11/01/2023 THRU 11/30/2023
 LICENSE STATUS: All
 LICENSE CODE: All
 FEE CODE: All

PRINT OPTIONS:

PRINT TOTALS ONLY: NO

TRANSACTION TYPE OPTIONS:

ALL: YES
 PAYMENT: YES
 REFUND CHECK: YES
 REVERSE PAYMENT: YES
 REVERSE REFUND: YES

ADJUSTMENT OPTIONS:

ADJUSTMENT CODE: ALL

*** END OF REPORT ***

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				INTEREST	
					FEE	PENALTY	TAX			
0000008	THE MAILROOM GLUCKS	6/04/2024	00179	Payment	20.00-	.00	.00	.00	.00	00-
0000010	VERACITY, LLC	6/17/2024	00187	Payment	30.00-	.00	.00	.00	.00	30.00-
0000017	MECHANICAL SYSTEMS	6/21/2024	00190	Payment	30.00-	.00	.00	.00	.00	30.00-
0000020	DECORATIVE CENTER I	6/07/2024	00182	Payment	1,840.00-	.00	.00	.00	.00	1,840.00-
0000021	MONO LLC	6/03/2024	00178	Payment	30.00-	.00	.00	.00	.00	30.00-
0000025	ETAIROS HVAC, INC.	6/03/2024	00178	Payment	1,680.00-	.00	.00	.00	.00	1,680.00-
0000026	GLUCKSTADT FAMILY D	6/03/2024	00178	Payment	20.00-	.00	.00	.00	.00	20.00-
0000028	STEVENS MECHANICAL	6/04/2024	00179	Payment	20.00-	.00	.00	.00	.00	20.00-
0000030	STORAGE DEPOT, LLC	6/27/2024	00191	Payment	20.00-	.00	.00	.00	.00	20.00-
0000032	CIA WHOLESALE INC.	6/03/2024	00178	Payment	25.00-	.00	.00	.00	.00	25.00-
0000033	BRACY'S AUTO SALES	6/18/2024	00188	Payment	32.50-	.00	.00	.00	.00	32.50-
0000034	SYNERGY ELECTRIC, I	6/10/2024	00183	Payment	150.00-	.00	.00	.00	.00	150.00-
0000037	MADISON AESTHETIC &	6/21/2024	00190	Payment	30.00-	.00	.00	.00	.00	30.00-
0000041	FUTURE LABS, LLC	6/04/2024	00179	Payment	30.00-	.00	.00	.00	.00	30.00-
0000043	BOB TOMPKINS STUDIO	6/03/2024	00178	Payment	20.00-	.00	.00	.00	.00	20.00-
0000048	SS MEDICAL, INC.	6/07/2024	00182	Payment	30.00-	.00	.00	.00	.00	30.00-
0000050	PARKWAY QUICKLUBE &	6/04/2024	00179	Payment	40.00-	.00	.00	.00	.00	40.00-
0000053	RINEWALT ELECTRIC	6/03/2024	00178	Payment	30.00-	.00	.00	.00	.00	30.00-
0000055	WOMACK HOLDINGS INC	6/20/2024	00189	Payment	20.00-	.00	.00	.00	.00	20.00-
0000056	CANVAS SALON	6/06/2024	00181	Payment	30.00-	.00	.00	.00	.00	30.00-
0000057	PARKWAY DIESEL SERV	6/04/2024	00179	Payment	160.00-	.00	.00	.00	.00	160.00-
0000059	PERFORMANCE THERAPY	6/04/2024	00179	Payment	30.00-	.00	.00	.00	.00	30.00-
0000064	DIXIE EQUINE MEDICI	6/28/2024	00192	Payment	30.00-	.00	.00	.00	.00	30.00-
0000180	NETLINK CABLING SYS	6/11/2024	00184	Payment	39.00-	.00	.00	.00	.00	39.00-

Section 7, (B)

ID	ISSUED TO	DATE	PACKET	TYPE	===== DISTRIBUTION =====				INTEREST	
					FEE	PENALTY	TAX			
0000182	LPA LLC	6/07/2024	00182	Payment	395.00-	.00	.00	.00	.00	00-
0000185	WENDELTA, INC.	6/27/2024	00191	Payment	45.00-	.00	.00	.00	.00	45.00-
0000188	THE MADISON LANDCSC	6/03/2024	00178	Payment	30.00-	.00	.00	.00	.00	30.00-
0000189	BRYAN TIRES SERVICE	6/04/2024	00179	Payment	25.00-	.00	.00	.00	.00	25.00-
0000190	TENDER TRANSITIONS,	6/21/2024	00190	Payment	20.00-	.00	.00	.00	.00	20.00-
0000192	PRIORITY ONE BANK	6/04/2024	00179	Payment	30.00-	.00	.00	.00	.00	30.00-
0000193	REPEAT PERFORMANCE	6/11/2024	00184	Payment	20.00-	.00	.00	.00	.00	20.00-
0000194	MADISON COUNTY SPOR	6/28/2024	00192	Payment	170.00-	.00	.00	.00	.00	170.00-
0000195	CENTRAL TOWER COMMU	6/03/2024	00178	Payment	20.00-	.00	.00	.00	.00	20.00-
0000197	SGAK LLC	6/05/2024	00180	Payment	210.00-	.00	.00	.00	.00	210.00-
0000199	STADT NUTRITION	6/03/2024	00178	Payment	20.00-	.00	.00	.00	.00	20.00-
0000294	LOCAL NAIL SALON	6/03/2024	00178	Payment	30.00-	.00	.00	.00	.00	30.00-
0000295	THE PUPPY LODGE LLC	6/03/2024	00178	Payment	60.00-	.00	.00	.00	.00	60.00-
0000296	SIP OUTDOORS	6/10/2024	00183	Payment	75.00-	.00	.00	.00	.00	75.00-
0000297	UNITED RENTALS, INC	6/10/2024	00183	Payment	20.00-	.00	.00	.00	.00	20.00-
0000298	SAFELITE AUTO GLASS	6/11/2024	00184	Payment	30.00-	.00	.00	.00	.00	30.00-
0000299	SOCIAL THE DRESS ED	6/11/2024	00184	Payment	20.00-	.00	.00	.00	.00	20.00-
0000300	STONE GROUND COFFEE	6/13/2024	00185	Payment	50.80-	.00	.00	.00	.00	50.80-
0000301	LAVENDER CHIROPRACT	6/20/2024	00189	Payment	20.00-	.00	.00	.00	.00	20.00-

Section 7, (B)

===== F E E C O D E T O T A L S B Y T Y P E =====

Section 7, (B)

===== DISTRIBUTION =====							
FEE CODE	TYPE	COUNT	FEE	PENALTY	TAX	INTEREST	TOTAL
AMUSEMENT	Payment	1	45.00CR	0.00	0.00	0.00	45.00CR
BEER FLAT	Payment	2	30.00CR	0.00	0.00	0.00	30.00CR
Over11	Payment	4	294.00CR	0.00	0.00	0.00	294.00CR
Schdl-A	Payment	13	4,567.50CR	0.00	0.00	0.00	4,567.50CR
Schdl-B	Payment	26	700.80CR	0.00	0.00	0.00	700.80CR
VENDING	Payment	3	40.00CR	0.00	0.00	0.00	40.00CR

GRAND TOTAL FOR PERIOD 5,677.30CR

===== T O T A L S B Y T R A N S A C T I O N T Y P E =====

===== DISTRIBUTION =====							
TYPE	COUNT	FEE	PENALTY	TAX	INTEREST	TOTAL	
Payment	43	5,677.30CR	0.00	0.00	0.00	5,677.30CR	
TOTAL FOR PERIOD	43					5,677.30CR	

SELECTION CRITERIA

Section 7, 1B)

REPORT OPTIONS:

LICENSE RANGE: THRU ZZZZZZZZZZ
 PACKET RANGE: 0 THRU 99999
 TRANSACTION RANGE: 6/01/2024 THRU 6/30/2024
 LICENSE STATUS: All
 LICENSE CODE: All
 FEE CODE: All

PRINT OPTIONS:

PRINT TOTALS ONLY: NO

TRANSACTION TYPE OPTIONS:

ALL: YES
 PAYMENT: YES
 REFUND CHECK: YES
 REVERSE PAYMENT: YES
 REVERSE REFUND: YES

ADJUSTMENT OPTIONS:

ADJUSTMENT CODE: ALL

*** END OF REPORT ***

From: [Mike Lenoir](#)
To: [Lindsay Kellum](#)
Subject: Good news
Date: Thursday, June 13, 2024 10:21:45 AM
Attachments: [HIPAA-verified-600px_230857d7-0ace-4215-85bb-841dc449b15f.png](#)
[codetwo-reseller-400x56_13bd863f-c0b8-40cf-a3b9-05d5524e9c9a.png](#)
[1partnercertlogo_sales-1024x1024_8728c9a1-17a9-4bc8-bea7-816e792dd7e2.png](#)

I will be sending you a link shortly to a resource for training. There is also a cybersecurity course.

This is a FREE resource that The20 offers to our clients.

It integrates with O365 so you will use your same email address / password / authentication to log into it.

You can also run reports to see who is running which courses.

Look for it soon.....

Mike Lenoir
 Senior Engineer

mike@matrix.ms



117A Millcreek Corners
 Brandon, MS 39047
 601.992.6789
www.matrixsolutions.com



Please email support@matrix.ms for all requests.



CITY OF GLUCKSTADT

MISSISSIPPI
OFFICE OF THE CITY CLERK

MEMORANDUM

TO: Mayor & Board of Aldermen

FROM: Lindsay Kellum, City Clerk

DATE: 07/03/2024

SUBJECT: Department of Labor, Salary Threshold (Overtime Exemption), Effective July 1st

Mayor and Board,

I need to make the board aware that the Department of Labor has handed down a new regulation affecting certain employees who make \$43,888 or above annually and further, meet one of the delimiting exemptions for executive, administrative or professional classifications, related to the accruing of overtime at time and a half. This regulation went into effect on July 1st and is currently being challenged legally in a number of states, most recently blocked in Texas; at this point, it remains in effect for Mississippi. Please review the supplemental documents provided by Phelps Dunbar in addition to my memo by Phelps Dunbar (salary threshold information and DOL fact sheet).

Note: All department heads clearly fall under the DOL executive classification, plus meet the salary threshold, and currently accrue comp time in lieu of overtime (for reference, the compensatory time policy was passed by the board at the April 9 meeting); first responders who are not considered executive staff do not qualify; this request does not apply to either.

After my review, this regulation will only impact a handful of positions within the city of which could potentially accrue overtime; therefore, I am requesting the board classify the following positions as overtime exempt, meeting the administrative classification + new salary threshold:

- Deputy Court Clerk, Salary: \$45,360.00
- Deputy City Clerk, Salary: \$60,900.00
- Lieutenant, Police Department: \$63,000.00

Further, I am requesting that these positions be allowed to accrue compensatory time in line with the department heads, on an as needed basis only, and only if authorized prior (after review of workload) by their direct supervisor.

Thank you for your consideration.

From: [Todd Butler \(3366\)](#)
To: [Lindsay Kellum](#)
Subject: DOL Fact Sheet on Exemptions - Privileged
Date: Tuesday, July 2, 2024 3:53:07 PM

<https://www.dol.gov/agencies/whd/fact-sheets/17a-overtime>

Executive Exemption

To qualify for the executive employee exemption, all of the following tests must be met:

- The employee must be compensated on a [salary basis](#) (as defined in the regulations) at a rate not less than \$684* per week;
- The employee's primary duty must be managing the enterprise, or managing a customarily recognized department or subdivision of the enterprise;
- The employee must customarily and regularly direct the work of at least two or more other full-time employees or their equivalent; and
- The employee must have the authority to hire or fire other employees, or the employee's suggestions and recommendations as to the hiring, firing, advancement, promotion or any other change of status of other employees must be given particular weight.

Administrative Exemptions

To qualify for the administrative employee exemption, all of the following tests must be met:

- The employee must be compensated on a [salary](#) or fee basis (as defined in the regulations) at a rate not less than \$684* per week;
- The employee's primary duty must be the performance of office or non-manual work directly related to the management or general business operations of the employer or the employer's customers; and
- The employee's primary duty includes the exercise of discretion and independent judgment with respect to matters of significance.

Professional Exemption

To qualify for the learned professional employee exemption, all of the following tests must be met:

- The employee must be compensated on a [salary](#) or fee basis (as defined in the regulations) at a rate not less than \$684* per week;
- The employee's primary duty must be the performance of work requiring advanced knowledge, defined as work which is predominantly intellectual in character and which includes work requiring the consistent exercise of discretion and judgment;
- The advanced knowledge must be in a field of science or learning; and
- The advanced knowledge must be customarily acquired by a prolonged course of specialized intellectual instruction.

To qualify for the creative professional employee exemption, all of the following tests must be met:

- The employee must be compensated on a salary or fee basis (as defined in the regulations) at a rate not less than \$684* per week;

- The employee’s primary duty must be the performance of work requiring invention, imagination, originality or talent in a recognized field of artistic or creative endeavor.

Computer Employee Exemption

To qualify for the computer employee exemption, the following tests must be met:

- The employee must be compensated either on a salary or fee basis (as defined in the regulations) at a rate not less than \$684* per week or, if compensated on an hourly basis, at a rate not less than \$27.63 an hour;
- The employee must be employed as a computer systems analyst, computer programmer, software engineer or other similarly skilled worker in the computer field performing the duties described below;
- The employee’s primary duty must consist of:
 1. The application of systems analysis techniques and procedures, including consulting with users, to determine hardware, software or system functional specifications;
 2. The design, development, documentation, analysis, creation, testing or modification of computer systems or programs, including prototypes, based on and related to user or system design specifications;
 3. The design, documentation, testing, creation or modification of computer programs related to machine operating systems; or
 4. A combination of the aforementioned duties, the performance of which requires the same level of skills.

NOTE RE Police Officers, Fire Fighters and Other First Responders

29 C.F.R. § 541.3 provides that police officers, detectives, deputy sheriffs, state troopers, highway patrol officers, investigators, inspectors, correctional officers, parole or probation officers, park rangers, fire fighters, paramedics, emergency medical technicians, ambulance personnel, rescue workers, hazardous materials workers and similar employees (“first responders”) who perform work such as preventing, controlling or extinguishing fires of any type; rescuing fire, crime or accident victims; preventing or detecting crimes; conducting investigations or inspections for violations of law; performing surveillance; pursuing, restraining and apprehending suspects; detaining or supervising suspected and convicted criminals, including those on probation or parole; interviewing witnesses; interrogating and fingerprinting suspects; preparing investigative reports; and other similar work are not exempt under Section 13(a)(1) or the regulations and thus are protected by the minimum wage and overtime provisions of the FLSA.

First responders generally do not qualify as exempt executives because their primary duty is not management. They are not exempt administrative employees because their primary duty is not the performance of office or non-manual work directly related to the management or general business operations of the employer or the employer’s customers. Similarly, they are not exempt learned professionals because their primary duty is not the performance of work requiring knowledge of an advanced type in a field of science or learning customarily acquired

by a prolonged course of specialized intellectual instruction. Although some first responders have college degrees, a specialized academic degree is not a standard prerequisite for employment.

G. Todd Butler

Phelps Dunbar LLP
4270 I-55 North
Jackson, MS 39211
Direct: 601-360-9366
Fax: 601-360-9777
Email: todd.butler@phelps.com

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CERTAIN SALARY THRESHOLDS FOR OVERTIME EXEMPTIONS TO POTENTIALLY INCREASE ON JULY 1, 2024

By: Phelps Dunbar

The Department of Labor issued its long-awaited final rule defining and delimiting exemptions for executive, administrative, professional, outside sales, and computer employees on April 23, 2024.

Most notably, the final rule sets compensation thresholds for determining exemption status under the Fair Labor Standards Act (FLSA). The salary minimums for full-time salaried workers and for highly compensated workers are increasing in a phased approach, with the initial increase occurring on July 1, 2024.

Under the final rule, the new salary thresholds will increase as follows:

Standard Salary Level:

- July 1, 2024: \$43,888 annually (\$844 per week)
- Jan. 1, 2025: \$58,656 annually (\$1,128 per week)

Highly Compensated Employees:

- July 1, 2024: \$132,964
- Jan. 1, 2025: \$151,164

Employees making less than the standard salary threshold, as well as employees who do not qualify as a highly compensated employee, will be eligible to receive overtime pay for hours worked in excess of 40 in a workweek. Both the standard salary level and the highly compensated salary level will be updated every three years, with the first update on July 1, 2027.

Previously, the standard salary level was \$35,568 per year (\$684 per week), and the highly compensated salary level was \$107,432 per year. DOL estimates that 1 million employees will be impacted by the July 1, 2024, standard salary increase to \$844 per week, and that 3 million employees will be impacted by the additional salary increase scheduled to take place in January 2025.

The final rule does not make substantive changes to provisions related to the salary basis or job duties tests.

Although legal challenges are anticipated based on the public's response to DOL's prior attempts at salary threshold rulemaking, employers should begin evaluating impacted positions now in light of the July 1, 2024, effective date.

Contact **Todd Butler** at ButlerT@phelps.com if you have questions or need compliance advice and guidance.



CITY OF GLUCKSTADT

MISSISSIPPI
PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: William Hall, Planning and Zoning Administrator

DATE: 06/28/2024

SUBJECT: General Update, Planning and Zoning/Building Department

In the month of June, the Building Department issued 27 permits totaling \$60,506.

A total of 28 inspections occurred.

There are 163 active permits currently, not including sign permits.

**MINUTES OF THE REGULAR MEETING
OF THE PLANNING AND ZONING COMMISSION
OF THE CITY OF GLUCKSTADT, MISSISSIPPI**

A regular meeting of the Planning and Zoning Commission of the City of Gluckstadt, Mississippi (“the Board”), was duly called, held, and conducted on Tuesday, June 25, 2024, at 6:00 p.m. at Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, Madison County, Mississippi.

The following members were present, to-wit:

- Melanie Greer (Vice-Chairwoman)
- Andrew Duggar
- Katrina B. Myricks (via phone)
- Kayce Saik

Absent:

- Sam McGaugh (Chairman)
- Tim Slattery
- Phillips King

Also present:

- Zachary L. Giddy, Attorney (via phone)
- William Hall, City of Gluckstadt

Vice-Chairwoman Melanie Greer called the meeting to order. Roll was called and it was announced that a majority of the voting members of the Board were present, and that said number constituted a quorum.

Commissioner Kayce Saik opened the meeting with prayer and Commissioner Melanie Greer led the Pledge of Allegiance.

All members of the Board present acknowledged receipt of the agenda and the agenda was as follows:

- 1. Call to Order**
- 2. Opening Prayer and Pledge of Allegiance**
- 3. Consideration and Approval of Minutes**

A) May 28, 2024 Planning and Zoning Meeting Minutes

4. New Site Plan Considerations

- A) Discussion and Consideration of Mills Contracting Site Plan
- B) Discussion and Consideration of The Oaks Conditional Use

5. New Business

6. Next Meeting

- A) The Next Planning and Zoning Meeting Will Be Held on July 23, 2024.

7. Adjourn

The Board considered the Minutes of the May 28, 2024, regular meeting. Commissioner Andrew Duggar moved to approve the minutes presented as written. The motion was seconded by Commissioner Kayce Saik and approved unanimously by all present Commissioners. The Vice-Chairwoman declared the motion carried.

Site Plan - Mills Contracting, LLC

The Board next considered the site plat for Mills Contracting, LLC for an office building in a C-2 zoning district located off Stout Road in the City of Gluckstadt. Matt Mills was present on behalf of the Applicant and addressed the Board. Mr. Mills stated there will be no heavy equipment parked on site. The site plans have been reviewed by Gluckstadt’s Police Department, Fire Department and Public Works Department, none of which requested any changes or revisions to the plans. There will be one point of ingress/egress and parking is sufficient. There will be a parapet wall on three sides , but not on rear. The rear is not visible from the road. CMU does not provide gravity service. DEQ has approved installation of a septic system. On motion by Commissioner Kayce Saik and seconded by Commissioner Andrew Duggar, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve the site plan with the condition that Applicant shall provide exterior samples at the Mayor and Board of Aldermen meeting. The Vice-Chairwoman declared the motion carried.

Public Hearing for Application for Conditional Use Permit for The Oaks

The next matter of business brought for consideration is the Application for Conditional Use Permit request by CPOR REL, LLC for property located on Calhoun Station Parkway in the City of Gluckstadt and identified by Tax Parcel No. 082B-09-002/04.00. The subject property is presently zoned C-2 Highway Commercial District. William Hall noted that notice posting and publication requirements were met. The Applicant is seeking a conditional use permit to allow a

personal care/assisted living facility on the subject property. The facility will consist of 15 units for assisting living.

Chad Phillips appeared and spoke on behalf of the application. Mr. Phillips stated the building will contain 15 units for 15 patients that are elderly and/or disabled. There will be one caregiver per five patients and a nurse on site from 8:00 a.m. till 5:00 p.m.. The facility will be for individuals who need assistance with one or more daily tasks and cannot accept patients that are wheelchair bound or bed ridden.

Opposition was given an opportunity to respond, but there was no opposition present.

Vice-Chairwoman Melanie Greer closed the Public Hearing and called for a vote on the Application. On motion by Commissioner Andrew Duggar and seconded by Commissioner Kayce Saik, the Board present voted unanimously to recommend to the Mayor and Board of Aldermen that they approve a conditional use for Applicant to allow a personal care/assisted living facility on the subject property located in the C-2 zoning district. The Chairman declared the motion carried.

OLD BUSINESS

None.

NEW BUSINESS

There was discussion had regarding the comprehensive plan. No action taken.

There was no further business to be presented.

ADJOURN

Commissioner Kayce Saik moved that the meeting be adjourned. The motion was seconded by Commissioner Andrew Duggar and approved unanimously by all present Commissioners. The Chairman declared the Motion carried.

WITNESS OUR HANDS, this the _____ day of _____, 2024.

SAM McGAUGH, Chairman

MELANIE GREER, Vice Chairman/Secretary

Type	Street Number	Street Name	Applicant	Applied Date	Issued Date
Addition Commercial	203	CALHOUN STATION PKWY	JASON VASSAR	6/24/2024	6/24/2024
Accessory Residential	168	DEERWOOD CROSSING	KIMBERLY WHITTINGTON	6/21/2024	6/21/2024
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	6/21/2024	6/21/2024
Sign	203	CALHOUN STATION PKWY	MS HEALTH EXPRESS	6/21/2024	6/21/2024
Addition Commercial	124	KIMBALL DR	TATE HOMES, LLC	6/20/2024	6/20/2024
New Building Commercial	525	CHURCH RD	HARTLEY EQUIPMENT COMPANY INC	6/20/2024	6/20/2024
Sign	114	DEES DR.	DUB'S CLUBS CUSTOM GOLF SHOP	6/18/2024	6/18/2024
Sign	111	DEES DRIVE, STE. E.	SOCIAL THE DRESS EDITION	6/18/2024	6/18/2024
Addition Commercial	124	KIMBALL DR	TATE HOMES, LLC	6/17/2024	6/17/2024
New Building Commercial	217	WEISENBERGER RD	K & S WARREN PROPERTIES, LLC	6/14/2024	6/14/2024
New Building Commercial	2221	HIGHWAY 51	SHELL CONVENIENCE STATION	6/14/2024	6/14/2024
Addition Residential	182	CHURCH RD	KEVIN CAMPBELL	6/13/2024	6/13/2024
New Building Commercial		GLUCKSTADT RD	PREET PROPERTIES LLC	6/10/2024	6/10/2024
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY SPA	6/10/2024	6/10/2024
Accessory Residential	121	LAKESHIRE CIRCLE	J B BROWN	6/7/2024	6/7/2024
Accessory Commercial	130Z	AMERICAN WAY	TILLMAN INFRASTRUCTURE	6/6/2024	6/6/2024
Accessory Commercial	130B	AMERICAN WAY	A T & T	6/6/2024	6/6/2024
Sign	112	DEES DRIVE	RANGE, THE	6/5/2024	6/5/2024
New Building Commercial	690	CALHOUN STATION PKWY	MILLS CONTRACTING LLC	6/4/2024	6/4/2024
Sign	316	OLD JACKSON RD	SWEET N SAVI	6/4/2024	6/4/2024
Plumbing Commercial	148	WEISENBERGER ROAD	Sam & Kelly Jo Riden	6/3/2024	6/3/2024
New Building Commercial	259	YANDELL RD	TIM HILLHOUSE	6/3/2024	6/3/2024
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY COMPANY	6/3/2024	6/3/2024
New Building Commercial		CALHOUN STATION PKWY	CPOR REI, LLC	6/3/2024	6/3/2024
New Building Commercial		547 CHURCH RD	DANNY BOLANOS	5/22/2024	5/22/2024
Sign	1085	GLUCKSTADT ROAD	RENEW AUDIOLOGY HEARING AID	5/22/2024	5/22/2024
Re-Roof	105	GREER CT	MILTON BOOKER	5/22/2024	5/22/2024
Accessory Residential	231	FARMERS ROW	KATHY WALL	5/21/2024	5/21/2024
Addition Commercial	346	CHURCH ROAD	EL RANCHITO 3, LLC	5/21/2024	5/21/2024
Addition Commercial	203	CALHOUN STATION PKWY	EXPRESS HEALTH	5/17/2024	5/17/2024
Sign	576	CHURCH RD	STEEL TECHNOLOGIES	5/15/2024	5/15/2024
Fence	102	LONE WOLF DRIVE	TINO'S PET GROOMING	5/15/2024	5/15/2024
Addition Residential	102	JORN CIRCLE	STEVE CRAWFORD	5/14/2024	5/14/2024
Sign	1076	GLUCKSTADT RD	AUTOZONE	5/14/2024	5/14/2024
Re-Roof	109	STONE CREEK DR	JAN DYKES	5/10/2024	5/10/2024
Remodel Residential	159	BEAR CREEK CIRCLE	CARL MCKINLEY	5/6/2024	5/6/2024
Sign	154	CALHOUN STATION PKWY	PEDIATRIC DENTISTRY OF GLUCKST	5/6/2024	5/6/2024
Re-Roof	192	BRADFIELD DR	LAMONT BRADFIELD	5/3/2024	5/3/2024
Addition Commercial	412	BUSINESS PARK DR	SIP MISSISSIPPI	5/1/2024	5/1/2024
Sign	112	DEES DRIVE	RANGE, THE	5/1/2024	5/1/2024
Addition Commercial	418	BUSINESS PARK DR	EASTSIDE PLAZA LLC	4/29/2024	4/29/2024
Addition Commercial	111	DEES DRIVE	ELITE PHYSICAL THERAPY	4/29/2024	4/29/2024
Sign	166	CALHOUN STATION PKWY	TWISTED TURNIP	4/29/2024	4/29/2024
Fence	184	AMERICAN WAY	STEPHANIE MCCORMICK	4/26/2024	4/26/2024
Sign	119	ENTERPRISE DR	SAFELITE	4/26/2024	4/26/2024
Re-Roof	100	HAYFIELD PLACE	VAL BUGGS	4/23/2024	4/23/2024

Addition Commercial	342	OLD JACKSON RD	RANDY & TONYA TUCKER	4/22/2024	4/22/2024
Addition Commercial	346	CHURCH RD	ACE BOLT & SCREW	4/18/2024	4/18/2024
Sign	109	LONE WOLF DR	MAVERICK SERVICES LLC	4/18/2024	4/18/2024
Sign	203	CALHOUN STATION PKWY	LOCAL NAIL SALON	4/17/2024	4/17/2024
Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY SPA	4/17/2024	4/17/2024
Re-Roof	132	FAIRCHILD COVE	DAVID RUSHING	4/17/2024	4/17/2024
Addition Commercial	154	CALHOUN STATION PKWY	PEDIATRIC DENTISTRY OF GLUCKST	4/12/2024	4/12/2024
Re-Roof	155	BRADFIELD RD	ANGEL STENMARK	4/12/2024	4/12/2024
Sign	102	LONE WOLF DR	TENCARVA	4/11/2024	4/11/2024
Sign	178	CALHOUN STATION PKWY	CHEVRON	4/9/2024	4/9/2024
Addition Residential	146	S TAYLOR LANE	MARCUS HUNTER	4/4/2024	4/4/2024
Sign	1716	HWY 51	BARRE BY ERIN, THE	4/2/2024	4/2/2024
Sign	346	CHURCH RD	LOCAL MIXER, THE	4/2/2024	4/2/2024
Sign	346	CHURCH RD	HAYZIE ROOS	4/2/2024	4/2/2024
Addition Commercial	384	CHURCH RD	HUTCHINSON OFFICE PROPERTIES	4/1/2024	4/1/2024
Addition Commercial	119	ENTERPRISE DR	SAFELITE	3/28/2024	3/28/2024
Sign	1716	HWY 51	BARRE BY ERIN, THE	3/26/2024	3/26/2024
Sign	238	WEISENBERGER RD	SEASONS	3/22/2024	3/22/2024
Sign	346	CHURCH RD	BLUE FUJI SUSHI GRILL	3/20/2024	3/20/2024
Sign	124	KIMBALL DR., STE. F.	SOUTHERN MOTORCARZ	3/20/2024	3/20/2024
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	3/19/2024	3/19/2024
New Building Residential	113	ARRINGTON DR	KENNETH/SHARON PROSPER	3/19/2024	3/19/2024
Sign	1091	GLUCKSTADT RD	DOMINO'S	3/18/2024	3/18/2024
New Building Commercial	203	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	3/18/2024	3/18/2024
New Building Commercial	203	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	3/18/2024	3/18/2024
Accessory Residential	112	GERMANTOWN RD	STEVE HOPPER	3/13/2024	3/13/2024
New Building Commercial		STOUT RD	MEADOWS AT STOUT FARMS, PART 4	3/8/2024	3/8/2024
New Building Commercial	150	AUTOBAHN LOOP	CANTON MAC HAIK CDJR LTD	3/7/2024	3/7/2024
New Building Commercial	150	AUTOBAHN LOOP	MAC HAIK CANTON	3/7/2024	3/7/2024
Addition Commercial	109	LONE WOLF DR	MAVERICK SERVICES LLC	3/6/2024	3/6/2024
Sign	111	DEES DRIVE	ELITE PHYSICAL THERAPY	3/5/2024	3/5/2024
New Building Commercial		CHURCH RD	BENSON BUILDERS AND PROPERTIES	3/4/2024	3/4/2024
Re-Roof		118 JORN CIRCLE	BOB LUCROY	3/4/2024	3/4/2024
Accessory Commercial	1743	HIGHWAY 51	MARLO'S EATERY	3/1/2024	3/1/2024
Addition Commercial	108	DEES DR	JORDAN DOTTLEY	2/28/2024	2/28/2024
Gas Commercial	178	CALHOUN STATION PKWY	CHEVRON	2/27/2024	2/27/2024
Sign	160	WEISENBERGER ROAD	KEBAB & CURRY	2/21/2024	2/21/2024
Sign	1091	GLUCKSTADT RD	DOMINO'S	2/16/2024	2/16/2024
Addition Commercial	124	KIMBALL DR	TATE HOMES LLC	2/16/2024	2/16/2024
Sign	1076	GLUCKSTADT RD	AUTOZONE, INC	2/14/2024	2/14/2024
Addition Commercial	272	CALHOUN STATION PKWY	ANGELOS TOO	2/14/2024	2/14/2024
Hood Suppression	316	OLD JACKSON RD	FIT CHEF	2/14/2024	2/14/2024
Hood Suppression	178	CALHOUN STATION PKWY	CHEVRON	2/14/2024	2/14/2024
Sign	316	OLD JACKSON RD	PTS PHYSICAL THERAPY AND SPORT	2/6/2024	2/6/2024
Sign	464	CHURCH RD	ALFA INSURANCE	2/1/2024	2/1/2024
Addition Commercial	346	CHURCH RD	LOCAL MIXER, THE	1/29/2024	1/29/2024
Addition Commercial	418	BUSINESS PARK DR	JOHNNY GOOCH	1/26/2024	1/26/2024
Sign	178	CALHOUN STATION PKWY	CHEVRON	1/24/2024	1/24/2024
Addition Commercial	346	CHURCH RD	AMAZING NAILS AND PRO DIP LLC	1/23/2024	1/23/2024

Sign	203	CALHOUN STATION PKWY	PUPPY LODGE BOARDING & DAY SPA	1/22/2024	1/22/2024
New Building Commercial	130Z	AMERICAN WAY	HARMON QUALITY BUILDERS, LLC	1/18/2024	1/18/2024
Electical Commercial	178	CALHOUN STATION PKWY	CERTIFIED CONSTRUCTION LLC	1/8/2024	1/8/2024
New Building Commercial		HWY 51 & BROWNWOOD	MICHAEL ENGLISH	1/5/2024	1/5/2024
New Building Commercial		CHURCH RD	KIRKLAND PROPERTIES	1/5/2024	1/5/2024
New Building Commercial		CHURCH RD/JACKSON RD	PATRICK ROWLAND	1/5/2024	1/5/2024
Addition Residential	176	CATLETT RD	PENNY COULON	1/4/2024	1/4/2024
Addition Commercial	203	CALHOUN STATION PKWY	LOCAL NAIL SALON	1/2/2024	1/2/2024
Sign	210	AUTOBAHN LOOP	CRASH CHAMPIONS, LLC	12/28/2023	12/28/2023
Sign	316	OLD JACKSON RD	KINDER BOUTIQUE	12/22/2023	12/22/2023
Sign	316	OLD JACKSON RD	JAZZY DANCER	12/22/2023	12/22/2023
Re-Roof	119	BEAR CREEK CIRCLE	JERRY HILLIARD	12/20/2023	12/20/2023
Addition Commercial	432	CHURCH RD	VERIZON WIRELESS	12/19/2023	12/19/2023
Electical Commercial	644	CHURCH RD	TITAN DEVELOPNMENT CO.	12/19/2023	12/19/2023
Re-Roof	103	RIDGEFIELD	Umathanulan Moorthy	12/18/2023	12/18/2023
New Building Commercial	141	W. SOWELL ROAD	BRANDON SERVICE COMPANY, INC.	12/13/2023	12/13/2023
New Building Commercial		GLUCKSTADT RD	RPM REALTY, LLC	12/13/2023	12/13/2023
Sign	124	KIMBALL DR	COLORIZE HAIR STUDIO	12/11/2023	12/11/2023
Sign	316	OLD JACKSON RD	PTS PHYSICAL THERAPY AND SPORT	12/11/2023	12/11/2023
Electrical Residential	144	OLD ORCHARD RD	HERMAN WASHINGTON	12/11/2023	12/11/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/8/2023	12/8/2023
New Building Commercial		KIMBALL DR	MICHAEL TATE	12/8/2023	12/8/2023
New Building Commercial	386	INDUSTRIAL DR S	FORD MUNDY	12/8/2023	12/8/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/5/2023	12/5/2023
Re-Roof	140	BEAR CREEK CIRCLE	ANDY DILLON	12/5/2023	12/5/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/4/2023	12/4/2023
New Building Commercial	2210	HIGHWAY 51	RAVI BEDI	12/4/2023	12/4/2023
Re-Roof	137	BEAR CREEK CIRCLE	BEST CHOICE ROOFING	12/4/2023	12/4/2023
Re-Roof	126	BEAR CREEK CIRCLE	JACK DONALD	12/4/2023	12/4/2023
Sign	105	LEXINGTON DR., C.	MAKE IT POP	12/4/2023	12/4/2023
Gas Commercial	135	INDUSTRIAL DR	STOIC EQUITY	11/30/2023	11/30/2023
Sign	125	KIMBALL DR	CPS POOLS AND SPAS INC	11/29/2023	11/29/2023
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	11/28/2023	11/28/2023
Addition Commercial	346	CHURCH RD	WEN HUA TANG	11/28/2023	11/28/2023
Sign	232	OLD JACKSON RD	HUNTER ENGINEERING	11/27/2023	11/27/2023
Addition Commercial	124	KIMBALL DR	MYERS CONSTRUCTION	11/17/2023	11/17/2023
Sign	1021	GLUCKSTADT RD	TINDLE FAMILY DENTISTRY	11/16/2023	11/16/2023
Re-Roof	219	FARMERS ROW	MARILYN CLARK	11/13/2023	11/13/2023
Addition Commercial	203	CALHOUN STATION PKWY	SHREKA CLEVELAND	11/13/2023	11/13/2023
Addition Residential	109	SUNRISE COVE	JACOB BAIN	11/9/2023	11/9/2023
New Building Commercial	346	CHURCH RD	BLURTON HOLDINGS INC	11/9/2023	11/9/2023
Sign	154	CALHOUN STATION PKWY	METHODIST REHABILITATION CENTER	11/6/2023	11/6/2023
Electrical Residential	208	MUNICH COVE	GEORGE HEMBREE	11/1/2023	11/1/2023
Sign	316	OLD JACKSON RD	PTS SPORTS PERFORMANCE	10/31/2023	10/31/2023
Sign	1237	GLUCKSTADT ROAD	SONIC DRIVE IN	10/31/2023	10/31/2023
Sign	316	OLD JACKSON RD	PTS SPORTS PERFORMANCE	10/31/2023	10/31/2023
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY	10/30/2023	10/30/2023
New Building Commercial	608	CHURCH ROAD	PUCKETT MACHINERY	10/30/2023	10/30/2023
New Building Commercial		CHURCH RD	S & D REALTY, LLC	10/30/2023	10/30/2023

New Building Commercial		CHURCH RD	S & D REALTY, LLC	10/30/2023	10/30/2023
New Building Commercial	130B	AMERICAN WAY	AT & T	10/30/2023	10/30/2023
Sign	124	KIMBALL DR. UNIT 100	TIMBER TAVERN, LLC	10/24/2023	10/24/2023
Addition Commercial	124	KIMBALL DR	BTH PROPERTIES	10/20/2023	10/20/2023
Addition Commercial	384	CHURCH RD	LEE HUTCHINSON	10/20/2023	10/20/2023
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	10/16/2023	10/16/2023
Sign	1227	GLUCKSTADT ROAD	SUBWAY	10/10/2023	10/10/2023
Re-Roof	210	N INDUSTRIAL DR	WESTLAKE CHEMCIAL	10/9/2023	10/9/2023
Solar	453	STOUT RD	JERRY BOULDIN	10/6/2023	10/6/2023
Sign	154	CALHOUN STATION PKWY	METHODIST REHABILITATION CENTE	10/5/2023	10/5/2023
New Building Commercial	140	GLUCKSTADT WAY	CITY OF GLUCKSTADT	9/27/2023	9/27/2023
Sign	154	CALHOUN STATION PKWY	IMPROMPTU GIFTS AND BOUTIQUE	9/26/2023	9/26/2023
Re-Roof	107	BEAR CREEK	REGINALD WOODARD	9/26/2023	9/26/2023
Addition Commercial	1240	GLUCKSTADT ROAD	CARDINAL HEALTH	9/14/2023	9/14/2023
Sign	141	W SOWELL RD	BRANDON SERVICE COMPANY	9/12/2023	9/12/2023
Sign	102	DEES DR	WON WOK	9/7/2023	9/7/2023
New Building Commercial		BUSINESS PARK DR	JOHN GOOCH	9/1/2023	9/1/2023
Addition Residential	200	PLANTERS COVE	ROBERT GIORDANO	8/31/2023	8/31/2023
Addition Residential	103	GERMANTOWN RD	JEFFREY GUY	8/31/2023	8/31/2023
Addition Residential	130	RIDGEFIELD DR	TED CRAWLEY	8/21/2023	8/21/2023
Sign	154	CALHOUN STATION PKWY	GLUCKSTADT PHARMACY	8/9/2023	8/9/2023
Sign	1706	HIGHWAY 51	BUMPERS DRIVE IN	8/4/2023	8/4/2023
Sign	102	LONE WOLF DR	BLACK DIAMOND RACING CUSTOMS	8/4/2023	8/4/2023
Sign	113	DEES DR	SIGNATURE SMILES	8/4/2023	8/4/2023
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	8/3/2023	8/3/2023
Addition Residential	108	PERRY COVE	DAVID TULLOS	8/2/2023	8/2/2023
Addition Commercial	102	DEES DR	TONY VU dba VU CONTRACTORS	8/2/2023	8/2/2023
Addition Residential	102	DEES DR	TONY VU dba VU CONTRACTORS	8/1/2023	8/1/2023
Sign	195	INDUSTRIAL BLVD	SANHUA INTERNATIONAL, INC.	8/1/2023	8/1/2023
Addition Commercial	359	OLD JACKSON RD	FASTENAL COMPANY	7/28/2023	7/28/2023
New Building Commercial	264	CALHOUN STATION PKWY	CORNER AT CALHOUN STATION	7/28/2023	7/28/2023
Addition Commercial	210	N INDUSTRIAL DR	WESTLAKE CHEMCIAL	7/28/2023	7/28/2023
Addition Commercial	140	AUTOBAHN LOOP	MADISON MAC HAIK CHEVROLET LTD	7/26/2023	7/26/2023
Sign	140	ENTERPRISE DRIVE	HOMEWELL CARE SERVICES	7/21/2023	7/21/2023
Sign	154	CALHOUN STATION PKWY	SIMPLI NAIL SPA LLC	7/21/2023	7/21/2023
Re-Roof	168	HUNTERS ROW	MORAIN TONY	7/18/2023	7/18/2023
Sign	102	DEES DR	EL SOMBRERO	7/17/2023	7/17/2023
Sign	311	CALHOUN STATION PKWY	HOTSPOT MARKET	7/10/2023	7/10/2023
New Building Commercial	311	CALHOUN STATION PKWY	CALHOUN STATION	7/6/2023	7/6/2023
Accessory Residential	127	RIDGEFIELD DR	RNC SERVICES LLC	7/5/2023	7/5/2023
New Building Commercial	1025	GLUCKSTADT RD	GLUCKSTADT PLACE	6/28/2023	6/28/2023
Sign	111	AULENBROCK DR	CHRISTIAN LEARNING CENTER	6/28/2023	6/28/2023
New Building Commercial	1	KAYO DR	KAYO PLACE	6/23/2023	6/23/2023
Sign	102	DEES DR	MISSISSIPPI CANDY COMPANY	6/19/2023	6/19/2023
Fence	102	LONE WOLF DRIVE	TINO'S PET GROOMING LLC	6/15/2023	6/15/2023
Addition Commercial	300	YANDELL RD	MADISON CROSSING ELEM SCHOOL	6/15/2023	6/15/2023
Sign	102	LONE WOLF DRIVE	TINO'S PET GROOMING LLC	6/12/2023	6/12/2023
Sign	1743	HIGHWAY 51	BRYAN TIRES SREVICE	6/7/2023	6/7/2023
Sign	111	DEES DRIVE	3 HOUSES	6/6/2023	6/6/2023

Sign	108	DEES DRIVE	BURGER KING	6/6/2023	6/6/2023
Sign	1240	GLUCKSTADT ROAD	CARDINAL HEALTH	6/1/2023	6/1/2023
New Building Commercial	409	CALHOUN STATION PKWY	MADISON COUNTY SCHOOL DISTRICT	5/30/2023	5/30/2023
Sign	154	CALHOUN STATION PKWY	YAMI ASIAN RESTAURANT	5/24/2023	5/24/2023
Mechanical Residential	103	COTTON COVE	AIRSOUTH, LLC	5/24/2023	5/24/2023
Sign	154	CALHOUN STATION PKWY	TIME 4 TOYS	5/24/2023	5/24/2023
Fence	125	KIMBALL DR	CPS POOLS AND SPAS INC	5/23/2023	5/23/2023
New Building Commercial	109	ENTERPRISE DRIVE	GREEN OAK	5/19/2023	5/19/2023
Generator	216	CRESCENT RIDGE	Robert Hinton	5/19/2023	5/19/2023
Generator	123	LAKESHIRE COVE	DEBBIE HARDEE	5/19/2023	5/19/2023
Addition Residential	146	STRIBLING RD EXT	ZACH ETHERIDGE	5/18/2023	5/18/2023
Sign	102	DEES DR BLG 300	MISSISSIPPI CANDY COMPANY	5/16/2023	5/16/2023
Accessory Residential	111	MUIRFIELD PLACE	JACQUELINE PATTON	5/10/2023	5/10/2023
Sign	138	W. SOWELL ROAD	CLASSIC RESTORATIONS, LLC	5/9/2023	5/9/2023
Sign	576	CHURCH RD	STEEL TECHNOLOGIES	5/4/2023	5/4/2023
Sign	1716	HIGHWAY 51	RIPTIDE OUTDOORS	4/19/2023	4/19/2023
Electical Commercial	1267	GLUCKSTADT RD	DAMPIER LIGHTING	4/18/2023	4/18/2023
Addition Commercial	155	CALHOUN STATION PKWY	SULLIVAN'S GROCERY	4/17/2023	4/17/2023
Sign	240	AUTOBAHN LOOP	CRASH CHAMPIONS	4/14/2023	4/14/2023
Addition Residential	216	CRESCENT RIDGE	Robert Hinton	3/29/2023	3/29/2023
Fence	111	AULENBROCK DR	CHRISTIAN LEARNING CENTER	3/28/2023	3/28/2023
Sign	102	DEES DR	MAGNOLIA HEMP COMPANY	3/28/2023	3/28/2023
Addition Commercial	195	INDUSTRIAL BLVD	CADENA SMITH, LLC	3/20/2023	3/20/2023
Gas Residential	105	ARRINGTON DR	JOHN DYKES	3/17/2023	3/17/2023
Addition Residential	113	MUIRFIELD PLACE	LARRY FRANKLIN	3/15/2023	3/15/2023
Re-Roof	111	FIRST COLONY BLVD	GUARANTEED ROOFING COMPANY	3/10/2023	3/10/2023
Sign	103	TRUSTMARK DR	TRUSTMARK NATIONAL BANK	3/7/2023	3/7/2023
New Building Commercial	800	SAHLER LANE	FIT CHEF	3/6/2023	3/6/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	3/3/2023	3/3/2023
Gas Residential	131	SUNRISE COVE	BUTLER PLUMBING	3/3/2023	3/3/2023
Sign	1715	HIGHWAY 51	BOO'S SMOKEHOUSE BBQ LLC	3/1/2023	3/1/2023
Accessory Residential	175	BRADFIELD DR	MARQUEUS DRAPER	3/1/2023	3/1/2023
Sign	154	CALHOUN STATION PKWY	SOULSHINE PIZZA	2/22/2023	2/22/2023
Sign	112	LONE WOLF DR	SCOTT C WOODS & ASSOC P. A.	2/16/2023	2/16/2023
New Building Commercial	102	DEES DR	4 SEASONS NAILS	2/16/2023	2/16/2023
Driveway	101	FIRST CHOICE DR	FIRST CHOICE DRIVE LLC	2/10/2023	2/10/2023
Sign	1091	GLUCKSTADT RD	DOMINO'S	2/8/2023	2/8/2023
Sign	160	WEISENBERGER RD	KEBAB & CURRY	2/7/2023	2/7/2023
Sign	112	LONE WOLF DR	SCOTT C WOODS & ASSOC P. A.	2/7/2023	2/7/2023
Sign	124	LONE WOLF DR	FUTURE LABS, LLC	2/7/2023	2/7/2023
Sign	115	AULENBROCK DR	WEEMS MCDONALD	2/7/2023	2/7/2023
New Building Commercial	346	CHURCH RD	JLS CONSTRUCTION	2/6/2023	2/6/2023
Driveway	347	DISTRIBUTION DR	CLARK RENTAL AND SUPPLY	2/2/2023	2/2/2023
Sign	116	LONE WOLF DRIVE	HYDRONIC TECHNOLOGY	1/31/2023	1/31/2023
Sign	102	DEES DR	EPIC DONUT/STONE GROUND COFF	1/30/2023	1/30/2023
Sign	166	CALHOUN STATION PKWY	TWISTED TURNIP	1/30/2023	1/30/2023

Electical Commercial	200	CALHOUN STATION PKWY	GERMANTOWN HIGH SCHOOL	1/26/2023	1/26/2023
Addition Commercial	102	DEES DR	SOUTHERN MAGNOLIA HEMP COMP	1/26/2023	1/26/2023
Sign	1715	HIGHWAY 51	BOO'S SMOKEHOUSE BBQ LLC	1/26/2023	1/26/2023
Sign	333	DISTRIBUTION DR	GLUCKSTADT BODY SHOP	1/25/2023	1/25/2023
Sign	104	CHURCH RD	PRIORITY ONE BANK	1/25/2023	1/25/2023
Addition Commercial	128	WEISENBERGER RD	BMC GENERAL CONTRACTORS LLC	1/24/2023	1/24/2023
Sign	112	LEXINGTON DR	THE OFFICE	1/19/2023	1/19/2023
Sign	105	LEXINGTON DR	BUDGET BLINDS	1/19/2023	1/19/2023
Sign	272	CALHOUN STATION PKWY	JOHNNY'S PIZZA	1/17/2023	1/17/2023
Sign	105	LEXINGTON DR	MAGNOLIA CONCESSIONS LLC	1/13/2023	1/13/2023
Sign	124	ENTERPRISE DR	SOUTHERNEASTERN AUTOMATIC SPI	1/13/2023	1/13/2023
Sign	111	DEES WAY	GO SHINE EXPRESS CARWASH	1/12/2023	1/12/2023
Sign	109	AULENBROCK DR	HARTLEY EQUIPMENT	1/12/2023	1/12/2023
New Building Commercial	1	BLDG C CALHOUN STATI	AOK PROPERTIES LLC	1/11/2023	1/11/2023
Sign	102	LEXINGTON DR	DOGWOOD OFFICE CENTER	1/10/2023	1/10/2023
Sign	243	INDUSTRIAL DR	BEN NELSON GOLF & OUTDOOR	1/10/2023	1/10/2023
Sign	115	LONE WOLF DR	ETAIROS VHAC	1/10/2023	1/10/2023
Sign	155	AMERICAN WY	DIXIE EQUINE	1/10/2023	1/10/2023
Sign	168	AMERICAN WAY	BOH INC	1/9/2023	1/9/2023
Sign	331	DISTRIBUTION DR	GULF EQUIPMENT CORPORATION	1/9/2023	1/9/2023
Sign	1706	HIGHWAY 51	ALPHA FINANCIAL & TAX SERVICES	1/5/2023	1/5/2023
Sign	184	AMERICAN WAY	AFTERZONE, LLC	1/5/2023	1/5/2023
Sign	100	FIRST CHOICE DR	DEPENDABLE PEST SERVICE INC	1/3/2023	1/3/2023
New Building Commercial	1091	GLUCKSTADT RD	ALTHLETICO PHYSICAL THERAPY	12/29/2022	12/29/2022
Sign	555	INDUSTRIAL DR S	V2X	12/28/2022	12/28/2022
Sign	137	YANDELL RD	BAMBOO EXPRESS	12/28/2022	12/28/2022
Sign	120	YANDELL RD	OUTLETS OF MISSISSIPPI	12/28/2022	12/28/2022
Sign	102	DEES DR BLG 300	SOPHIE'S MILKSHAKES & SUNDAES	12/28/2022	12/28/2022
Sign	102	DEES DR	GERMANTOWN DENTAL	12/28/2022	12/28/2022
Sign	114	DEES DR	GLUCKSTADT FITNESS	12/28/2022	12/28/2022
Accessory Commercial	238	WEISENBERGER RD	4 SEASONS	12/21/2022	12/21/2022
Accessory Commercial	103	DEES DR	4 SEASONS	12/21/2022	12/21/2022
Accessory Commercial	154	CHURCH RD	4 SEASONS	12/21/2022	12/21/2022
New Building Commercial	130B	AMERICAN WAY	GREEN STEEL COATINGS	12/21/2022	12/21/2022
Mechanical Commercial	166	CALHOUN STATION PKWY	PRO SERVICE LLC	12/19/2022	12/19/2022
Electical Commercial	195	INDUSTRIAL BLVD	COVINGTON ELECTRIC	12/15/2022	12/16/2022
Sign	1085	GLUCKSTADT PLACE	GLUCKSTADT PLACE	12/14/2022	12/14/2022
New Building Commercial	154	CALHOUN STATION PKWY	ANTHONY MORRISON	12/13/2022	12/13/2022
Sign	2125	HIGHWAY 51	W L BURLE ENGINEERS P A	12/12/2022	12/12/2022
New Building Residential	1004	Madison Ave	AMANDA LORIAN	12/9/2022	12/9/2022
AC Change Out	1004	Madison Ave	Rachel Sargent	12/9/2022	12/9/2022
Sign	102	DEES DR	4 SEASON NAILS	12/2/2022	12/2/2022
Addition Residential	144	OLD ORCHARD RD	EAGLE CARPORTS	11/23/2022	11/23/2022
New Building Commercial	124	KIMBALL DR	BTH PROPERTIES	8/7/2022	8/7/2022



CITY OF GLUCKSTADT

MISSISSIPPI
PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: William Hall, Planning and Zoning Administrator

DATE: 07/01/2024

SUBJECT: Proposed Conditional Use Changes – Alderman Bates

I'm requesting an addition to the agenda for the upcoming July Board meeting regarding a discussion for proposed changes to the planning and zoning ordinance.

Specifically, to amend the ordinance to include, but not be limited to, the following items:

To move the following types of business request to conditional use to zoning I-2:

1. Vaporizer Stores
2. Bail bonds
3. Night club

To move the following types of business requests to conditional use with NO zoning changes

4. Group homes of any type
5. Daycare/childcare centers or any type of service similar with minors in residential zoning
6. Animal kennels
7. Junk-yards

To move the following types of business requests to conditional use with a required distance requirement from any existing locations.

8. Nail salons
9. Hair salons
10. Barber shops
11. All-service spas or any like entity

These additions aim to prevent an overconcentration of businesses and to increase transparency regarding the types of businesses entering the city.

Ordinance 2022-13 moved several Conditional Use occupancies from C-2 to I-2. These include Urban Banks, Tattoo and/or bod piercing parlor, Wholesale or discount sales of tobacco and/or beer, Palm reading or fortune telling businesses, and Pawn Shops. Vapes are also commonly known as Electronic Cigarettes or E-Cigarettes. Vaporizer Stores were not specifically named in this ordinance and thus remain as a Conditional Use in C-2 zoning. This amendment would serve to move vape stores to meet the same requirements of I-2 Conditional Use.

Night Club is not specifically defined. The following are two definitions from other municipalities within Mississippi:

1. "Any places of entertainment principally offering alcoholic beverages for consumption on the premises, which may provide a floor show and music as well as a place for dancing and which are not an accessory use."

-and-

2. "A building or part of a building used primarily for the sale or dispensing of alcoholic beverages or liquor by the drink. Live entertainment is permitted, subject to all applicable City regulations."

City of Gluckstadt

Application for Conditional Use

Subject Property Address: Section 9, T8N, R2E, Calhoun Station Pkwy Gluckstadt, MS 39110

Parcel #: 082B-09-002/04.00

Owner: Third Floor Investments, LLC

Applicant: CPOR REI LLC

Address: 103B Plantation CV
Madison, MS 39110

Address: 282 Lake Village Dr
Madison, MS 39110

Phone #: 601 209 9971

Phone #: (601) 955-7911

E-Mail: jp9669@gmail.com

E-Mail: jrphilli7669@gmail.com

Current Zoning District: Commercial-2

Acreage of Property (If applicable): 5.0 +/-

Use sought of Property: Personal Care Home- Assisted Living

2024094

Requirements of Applicant:

1. Letter demonstrating how the proposed use will comply with or otherwise satisfy the requirements for granting a Conditional Use pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional Items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing
5. Site Plan as required in Section 807-810

Requirements for Granting Conditional Use: (Section 805.01, Zoning Ordinance)

A Conditional Use shall not be granted unless satisfactory provisions and arrangements have been made concerning all the following:

- (a). Ingress and egress to property and proposed structures
- (b). Off-Street parking and loading areas
- (c). Refuse and service areas
- (d). Utilities, with reference locations, availability, and compatibility.
- (e). Screening and buffering with reference to type, dimensions, and character.
- (f). Required yards and other open spaces.
- (g). General compatibility with adjacent properties and other properties in the district.
- (h). Any other provisions deemed applicable by the Mayor and Board of Aldermen.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood and agreed that permission is given to the Zoning Administrator to have a sign erected on subject property, giving notice to the public that said property is being considered for a dimensional variance.

James Phillips

Applicant Signature

5/29/2024

Date

[Handwritten Signature]

Property Owner Signature

5/29/2024

Date

AFFP

Conditional Use for CPOR REI, LLC

AFFIDAVIT OF PUBLICATION

State of Florida, County of Duval, ss:

Laquansay Nickson Watkins, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Madison County Journal, a newspaper printed and published in the City of Ridgeland, County of Madison, State of Mississippi, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

PUBLICATION DATES:

Jun. 6, 2024

NOTICE ID: YHN01byomzsJMxaIH7LS

NOTICE NAME: Conditional Use for CPOR REI, LLC

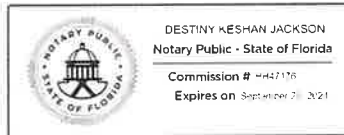
Publication Fee: 33.38

That said newspaper was regularly issued and circulated on those dates.

Laquansay Nickson Watkins

VERIFICATION

State of Florida
County of Duval



Subscribed in my presence and sworn to before me on this: 06/11/2024

Destiny K. Jackson

Notary Public

Notarized remotely online using communication technology via Proof.

NOTICE IS HEREBY GIVEN TO THOSE PARTIES IN INTEREST that there will be a hearing on Tuesday, June 25, 2024, at 6:00 PM before the Planning and Zoning Board at City Hall, 343 Distribution Drive, Gluckstadt, MS 39110 for the purpose of determining whether or not a Petition and Application for a Conditional Use Permit which applicant CPOR REI, LLC has filed with the City Clerk/Administrative Director of the City of Gluckstadt, Mississippi, to allow for a Public Quasi facility, specifically a 15 bed assisted living home, in a C-2 zoning district, as provided by the Zoning Ordinance of the City of Gluckstadt, Mississippi. The property is located on Calhoun Station Parkway near the Stout Road intersection.

Madison County Tax Parcel No. 082B-09-002/04.00

The Public Hearing in relation thereto shall provide parties in interest, and citizens an opportunity to be heard. A copy of the Conditional Use shall be available at the City Hall for inspection by the public.

/s/ Lindsay Kellum
City Clerk's Signature

AFFP

Conditional Use for CPOR REI, LLC

AFFIDAVIT OF PUBLICATION

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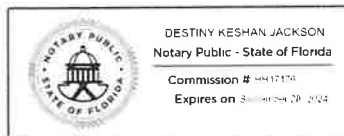
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/s/ Lindsay Kellum
City Clerk's Signature



The Oaks Residence

Personal Care Assisted Living

Gluckstadt, MS

Sheet Index

A-1 Title Sheet

Square Footage

First Floor Living: 11,550 SQFT
Part Cochere: 550 SQFT
Porches: 1,020 SQFT

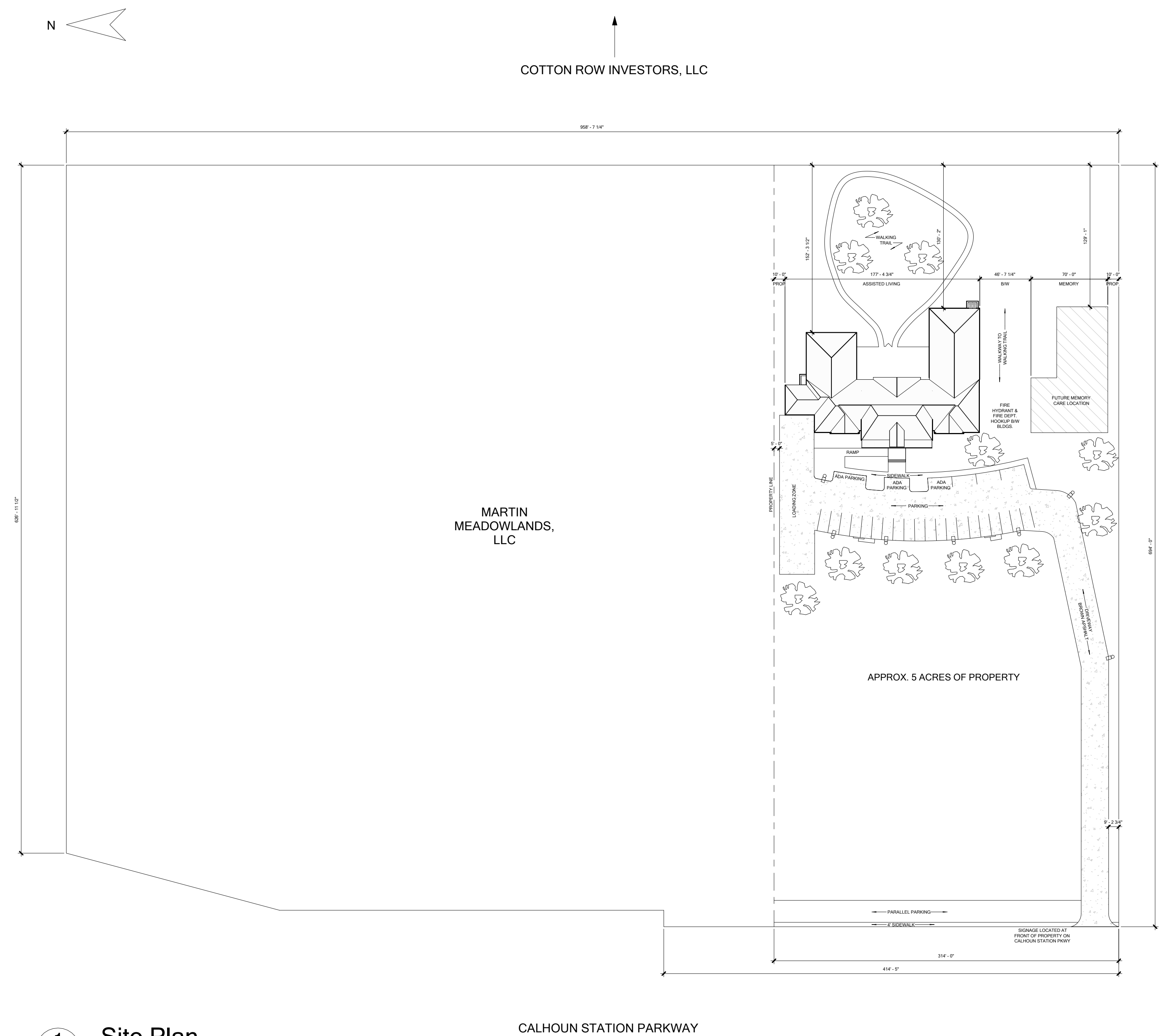
Total Living: 11,550 SQFT
Total Gross Lot Coverage: 13,120 SQFT

Parcel Acreage: APPROX. 5 ACRES

Total Parcel Area: 652,050 SQFT
Parcel Area Needed: 217,913 SQFT

Program Information:

Proposed Use: Personal Care Assisted Living
Number / Type of Units: 15 Assisted Care
Percentage of Lot Developed For This Use: 33.4%



1 Site Plan
A-1 1/64" = 1'-0"

Flynn Designs
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

The Oaks Residence
Personal Care Assisted Living
Gluckstadt, MS

PROJECT NUMBER: FD23006
DATE: 5.31.2024
DRAWN BY: RLD
CHECKED BY: JEF

TITLE: Title Sheet

SHEET:

A-1



OAK TREE



CREPE MYRTLE



BOXWOOD
- ROUND



AGAPANTHUS



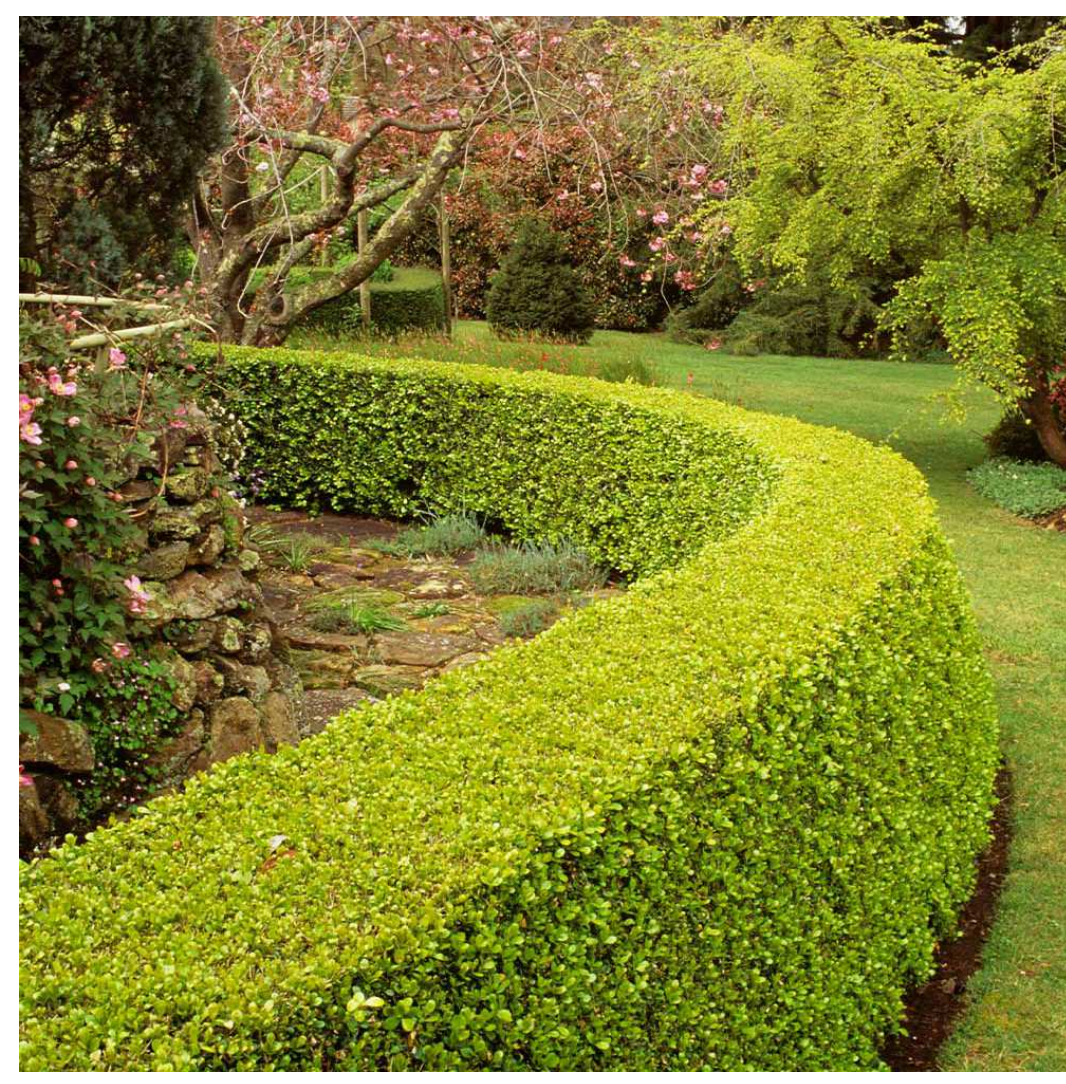
TOPIARY



SAVANNAH HOLLY



MAGNOLIA TREE



BOXWOOD
- LINEAR



FENCE ALONG
PROPERTY SETBACK



STREET LAMP POST

The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: F022006
DATE: 10.19.2023
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

Reference Images

SHEET:

A-1.3



Joseph Flynn Architect, LLC
 8903 Jefferson Hwy
 River Ridge LA, 70123
 504.667.3837

The Oaks Residence
 Personal Care Assisted Living
 Madison County, MS

PROJECT NUMBER: FD23006
 DATE: 10.19.2023
 DRAWN BY: RLD
 CHECKED BY: JEF
 TITLE:

Floor Plans

SHEET:

A-2

Schematic Design

Door Schedule			
Mark	Width	Height	Description
1	6' - 0"	9' - 0"	Exterior Double Wood or Vinyl Door W/ Transom; O.S.
2	12' - 0"	9' - 0"	4-Panel Sliding Glass Doors; O.S.
3	3' - 0"	8' - 0"	Exterior Single Door; O.S.
4	3' - 0"	8' - 0"	Interior Single Door; O.S.
5	2' - 8"	8' - 0"	Interior Single Door; O.S.
6	5' - 0"	8' - 0"	Interior Double Doors; O.S.
7	6' - 0"	8' - 0"	Interior Double Doors; O.S.
8	8' - 0"	8' - 0"	Cased Opening; O.S.
9	5' - 0"	8' - 0"	Double Panel Pocket Door; O.S.

NOTE:
 ALL DOOR SIZES ARE APPROXIMATE AND/ OR SELECTED BY OWNER.
 VERIFY WITH DOOR MANUFACTURER FOR AVAILABLE SIZES AND SELECTIONS.

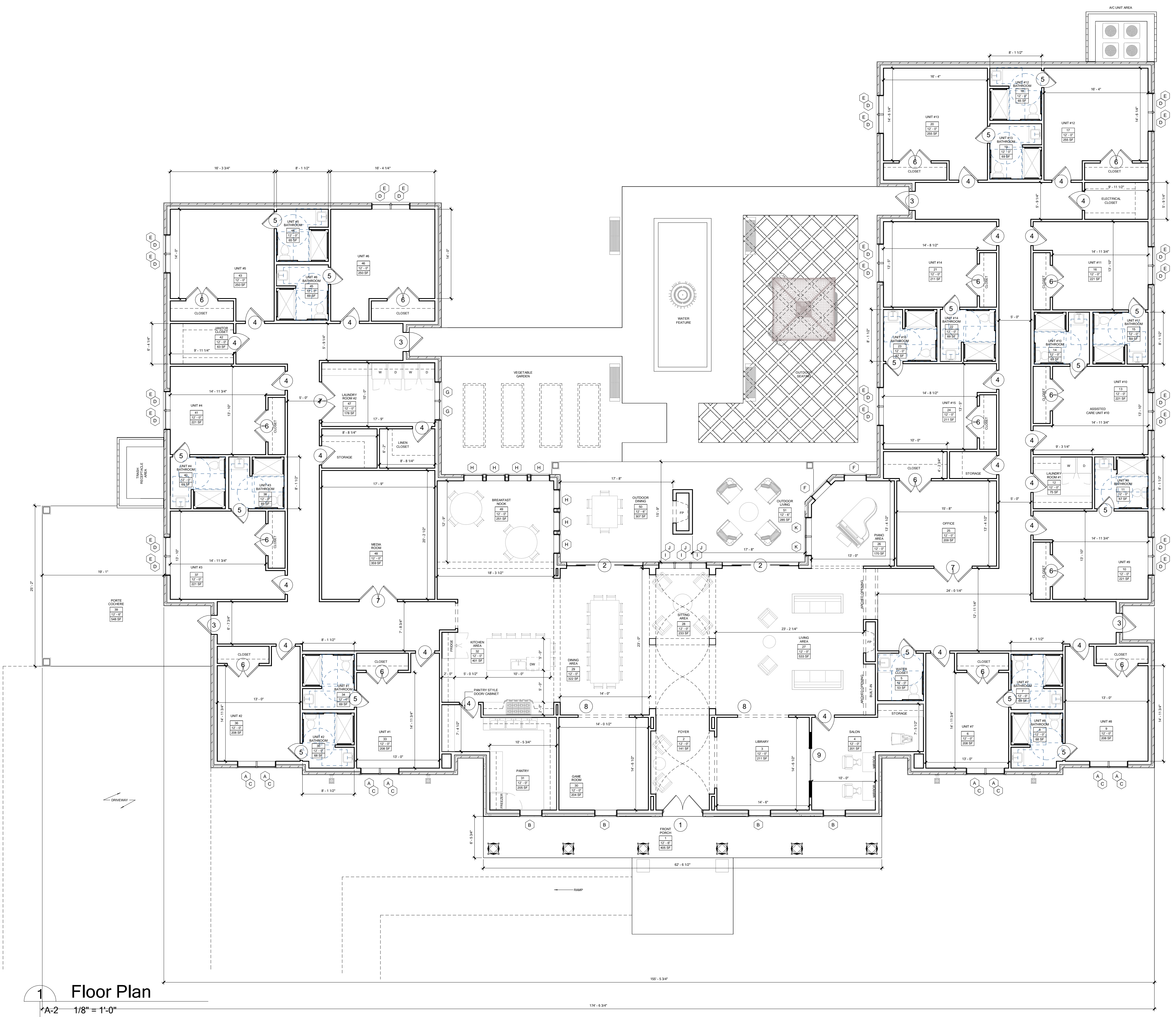
Window Schedule				
Mark	Width	Height	Head Height	Description
A	3' - 0"	7' - 0"	8' - 0"	(2) 6-Lite Wood or Vinyl Casement Window W/ Transom (C); O.S.
B	3' - 6"	10' - 0"	11' - 6"	15-Lite Wood or Vinyl Fixed Window; O.S.
C	6' - 0"	2' - 0"	10' - 0"	Transom; O.S.
D	3' - 0"	5' - 0"	8' - 0"	(2) Mull Together Single Hung W/ Transom (E); O.S.
E	3' - 0"	2' - 0"	10' - 0"	Transom; O.S.
F	3' - 6"	6' - 0"	8' - 0"	Fixed; O.S.
G	3' - 0"	4' - 0"	8' - 0"	(2) Mull Together Single Hung; O.S.
H	3' - 0"	6' - 0"	8' - 0"	Fixed Window; O.S.
I	2' - 6"	6' - 0"	7' - 0"	(3) Fixed Windows W/ Transom (J); O.S.
J	2' - 6"	2' - 0"	9' - 0"	Transom; O.S.
K	3' - 0"	6' - 0"	8' - 0"	(2) Mull Together Fixed; O.S.

PLEASE SEE SECOND FLOOR PLAN AND/ OR ELEVATIONS FOR DORMER WINDOWS AND/ OR OTHER WINDOWS MARKED WITH ().

- NOTE:**
- ALL WINDOWS SIZES ARE APPROXIMATE AND/ OR SELECTED BY OWNER. VERIFY WITH WINDOW MANUFACTURER FOR AVAILABLE SELECTIONS AND SIZING.
 - SAFETY GLAZING/ TEMPERED GLAZING SHALL BE PROVIDED IN 18". REFER TO IRC 2021, SECTION 308.
 - WINDOWS INSTALLED IN BATHROOM ENCLOSURES, LESS THAN 60" FROM THE FLOOR, REQUIRE SAFETY GLAZING IN ACCORDANCE WITH IRC 2021 R308.4.5.
 - ALL WINDOWS MUST MEET THE FOLLOWING EGRESS REQUIREMENTS PER THE IRC 2021:

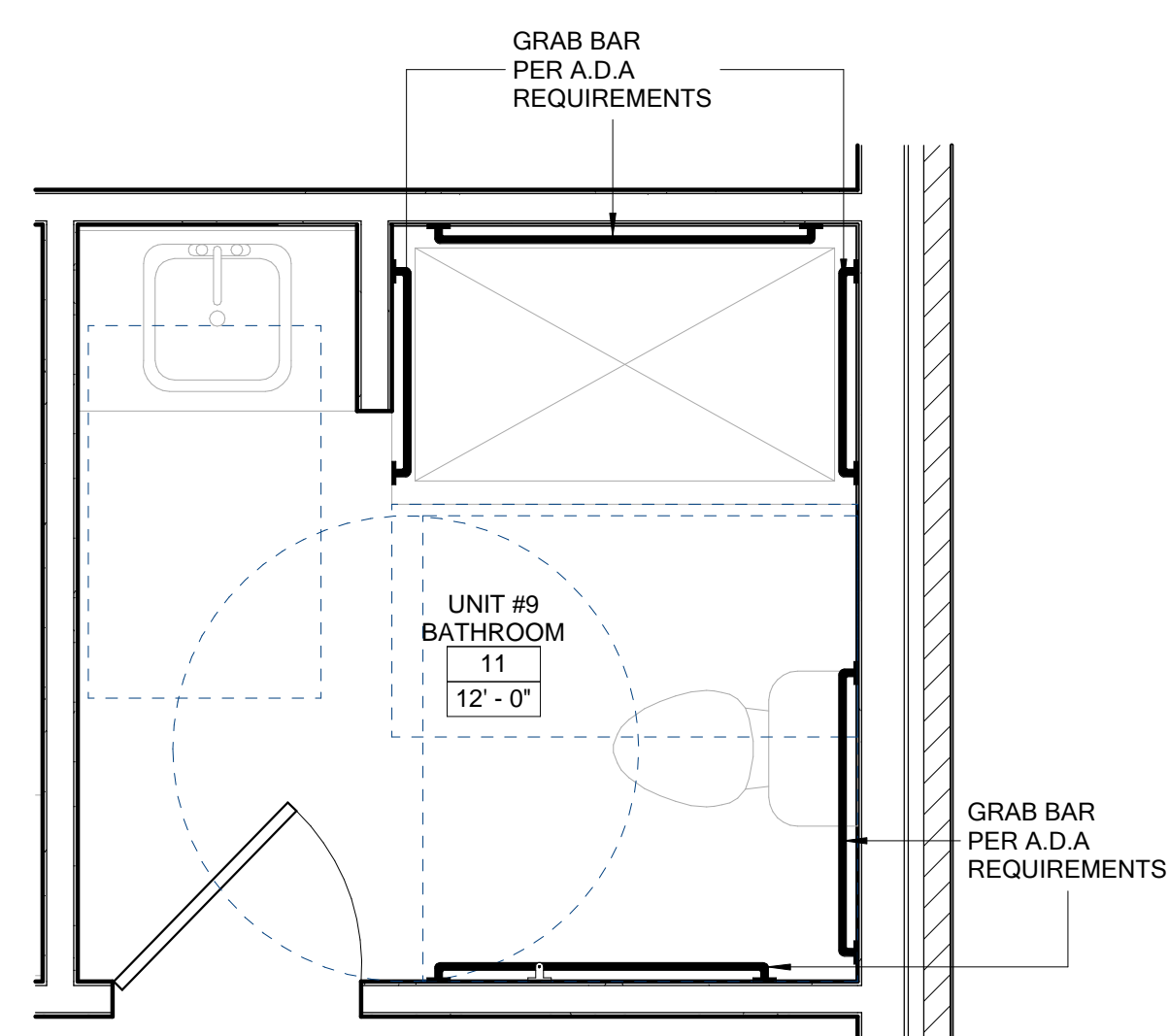
1ST FLOOR:
 CLEAR OPENING WIDTH >20"
 CLEAR OPENING HEIGHT >24"
 MINIMUM CLEAR OPENING SQFT = 5.0 SQFT
 MAXIMUM SILL HEIGHT ABOVE FLOOR = 44"

2ND FLOOR:
 CLEAR OPENING WIDTH >20"
 CLEAR OPENING HEIGHT >24"
 MINIMUM CLEAR OPENING SQFT = 5.7 SQFT
 MAXIMUM SILL HEIGHT ABOVE FLOOR = 44"

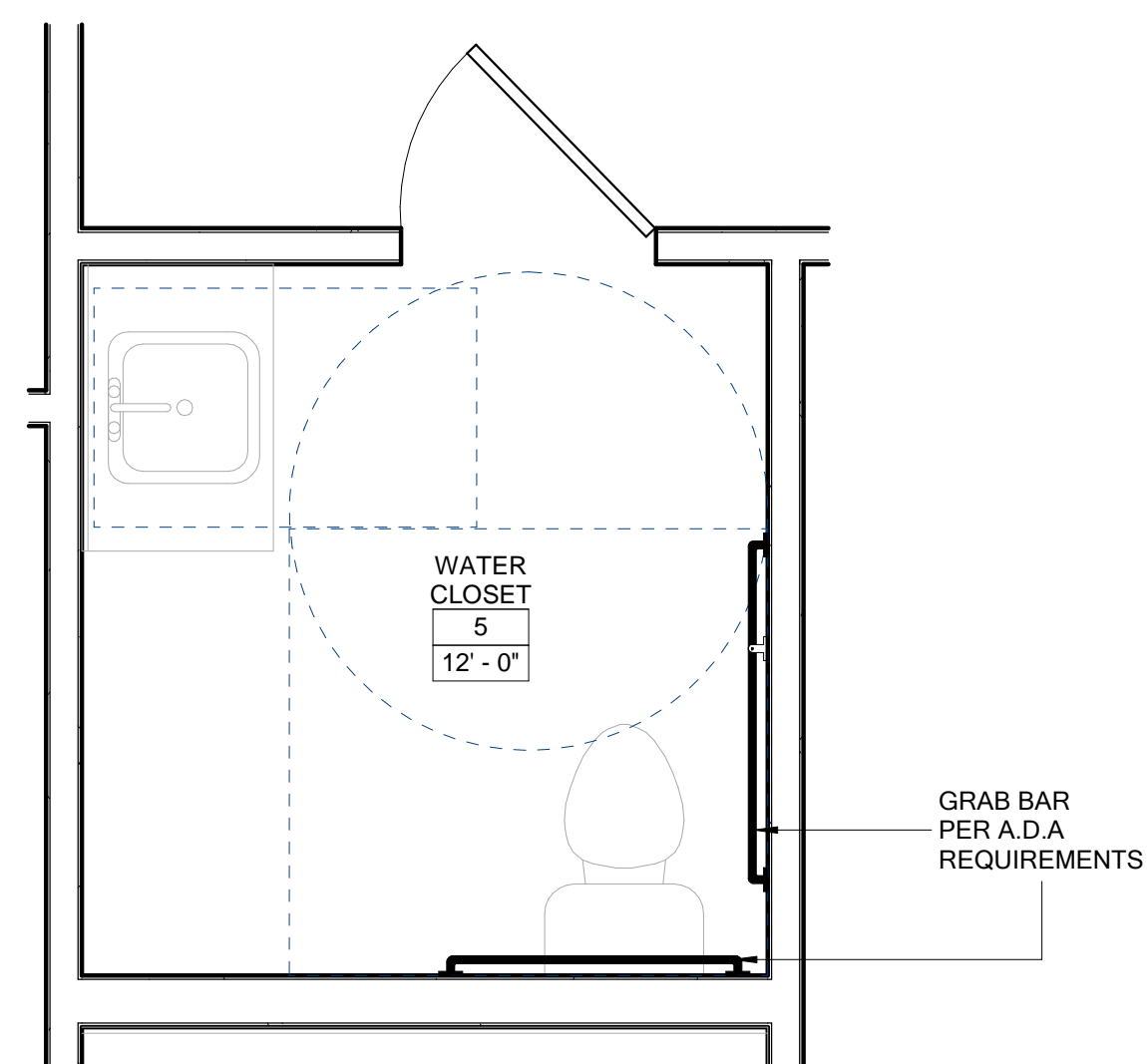


1 Floor Plan
 1/8" = 1'-0"

Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837



1 Unit Bathroom Layout
A-2.1 1/2" = 1'-0"



2 Water Closet
A-2.1 1/2" = 1'-0"

The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: FD22006
DATE: 10.19.2023
DRAWN BY: VG
CHECKED BY: JEF

TITLE: Bathrooms

SHEET:

A-2.1

Schematic Design

Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

The Oaks Residence
Personal Care Assisted Living
Madison County, MS

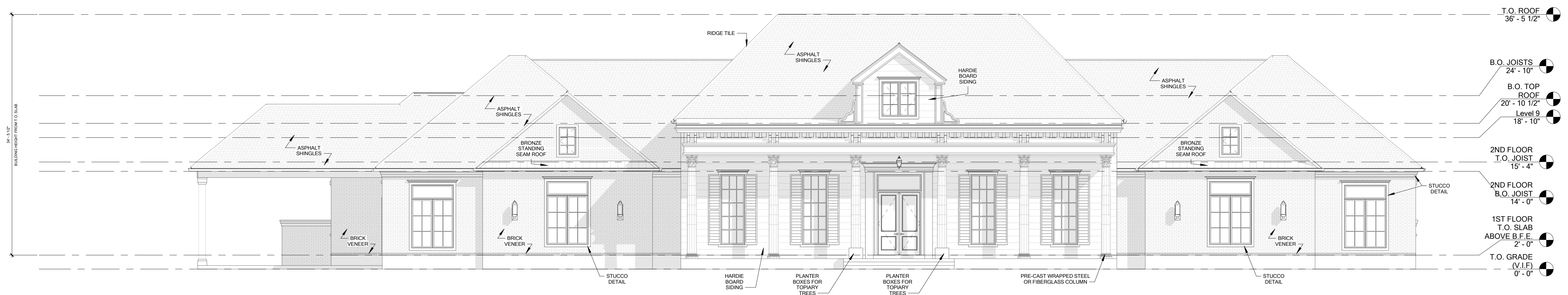
PROJECT NUMBER: FD22006
DATE: 10.19.2023
DRAWN BY: VG
CHECKED BY: JEF

TITLE: Elevations
SHEET:

A-4



2 Rear Elevation
A-4 1/8" = 1'-0"

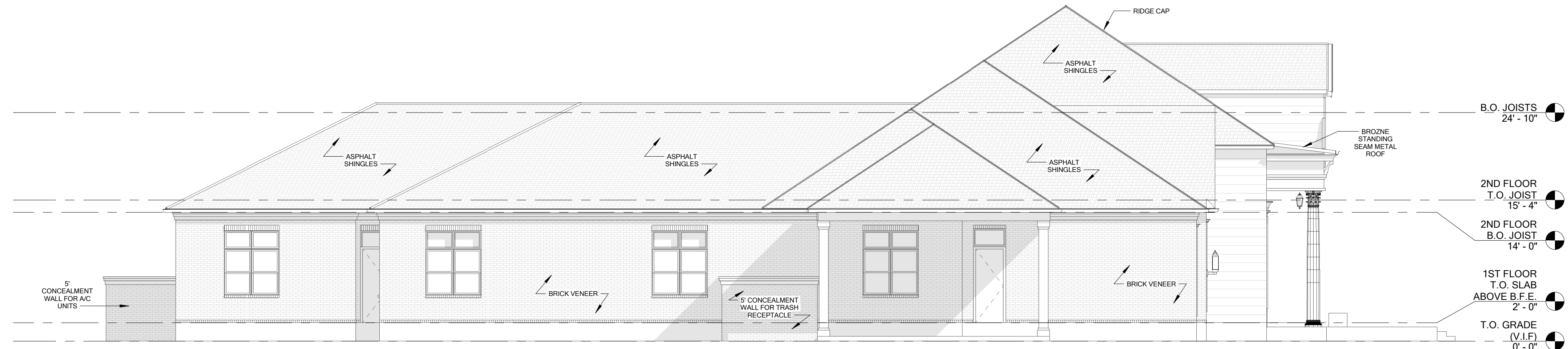


1 Front Elevation
A-4 1/8" = 1'-0"

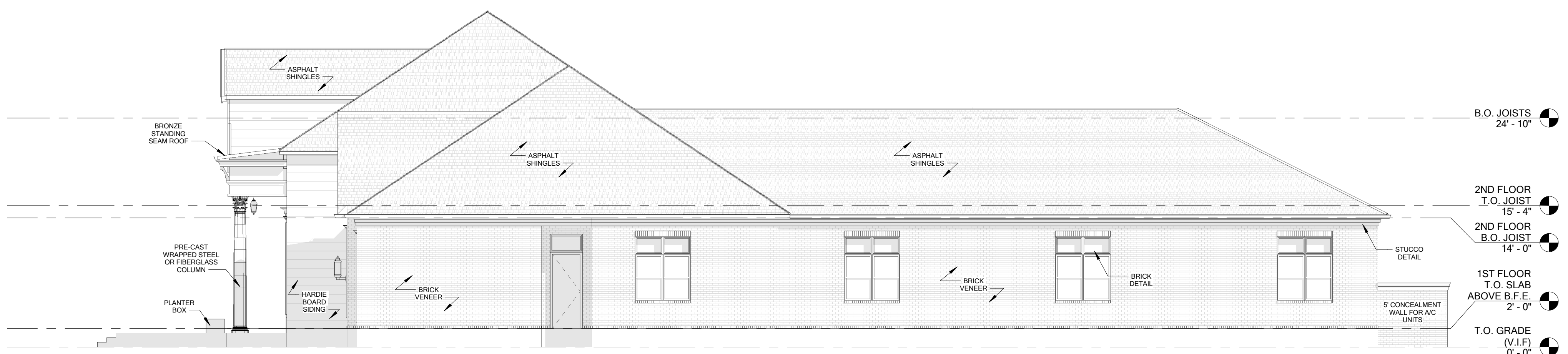


FLYNN ARCHITECT
DESIGN-ARCHITECTURE-INTERIORS

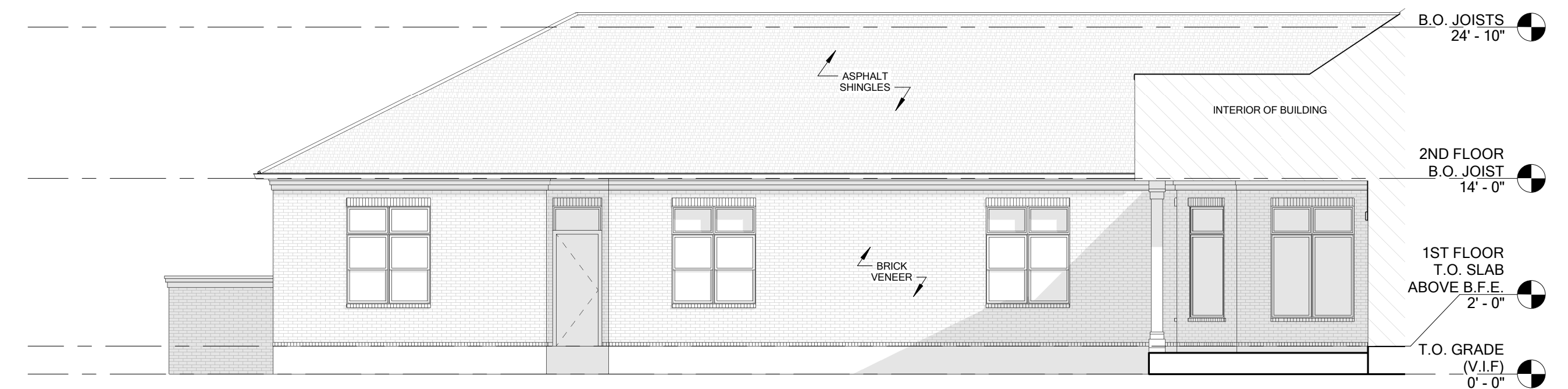
Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837



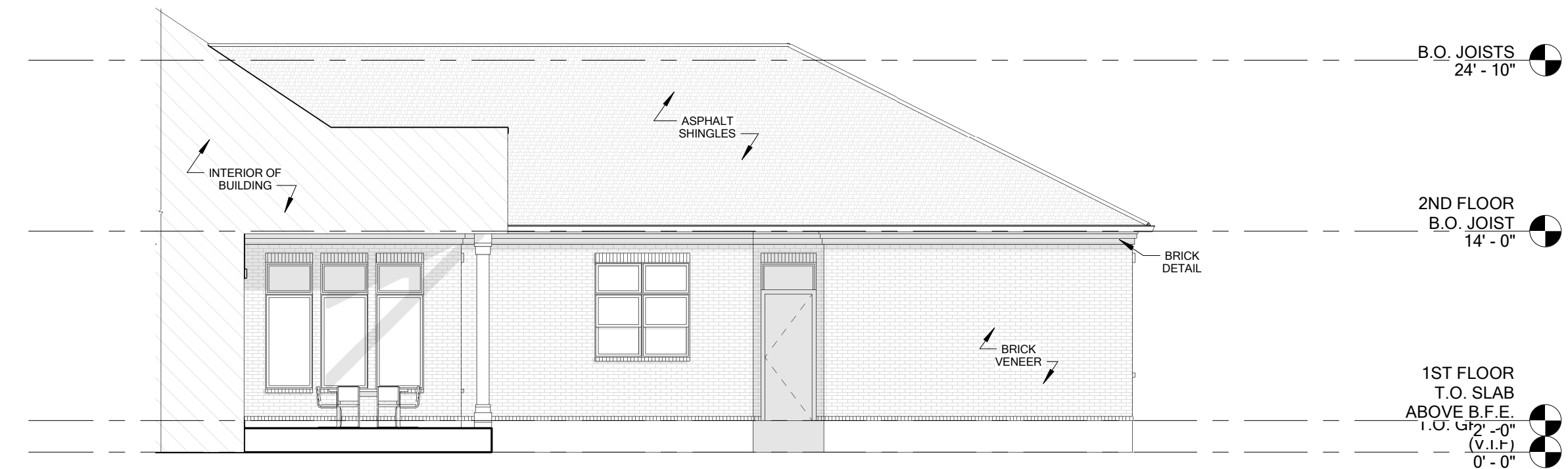
2 Livingston Side Elevation
A-4.1 1/8" = 1'-0"



1 Side Elevation
A-4.1 1/8" = 1'-0"



3 Courtyard Elevation - Left
A-4.1 1/8" = 1'-0"



4 Courtyard Elevation - Right
A-4.1 1/8" = 1'-0"

The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: FD22006
DATE: 10.19.2023
DRAWN BY: RLD
CHECKED BY: JEF

TITLE: Elevations

SHEET:

A-4.1

Schematic Design



FLYNN ARCHITECT
DESIGN-ARCHITECTURE-INTERIORS

Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837



The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: F022006
DATE: 10.19.2023
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

3D Render

SHEET:

A-4.2



Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837



The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: F022006
DATE: 10.19.2023
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

3D Render

SHEET:

A-4.3

Schematic Design



Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: F022006
DATE: 10.19.2023
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

3D Render

SHEET:

A-4.4

Schematic Design

Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837



The Oaks Residence
Personal Care Assisted Living
Madison County, MS

PROJECT NUMBER: F022006
DATE: 10.19.2023
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

3D Render

SHEET:

A-4.5

Schematic Design

ORDER APPROVING AND GRANTING A CONDITIONAL USE PERMIT ALLOWING A PERSONAL CARE/ASSISTED LIVING FACILITY ON PROPERTY BEING APPROXIMATELY 5± ACRES LOCATED ON CALHOUN STATION PARKWAY, BEING WITHIN AND A PART OF PARCEL NO. 082B-09-002/04.00, IN A DISTRICT ZONED C-2, CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI

THERE CAME ON for consideration by applicant, CPOR REI, LLC, the issue of whether a Conditional Use allowing a personal care/assisted living facility in a district zoned C-2 in the City of Gluckstadt, Mississippi, should be permitted. The Mayor and Board of Aldermen hereby find as follows:

WHEREAS, Applicant now requests the governing authorities of City of Gluckstadt, Mississippi, to grant a Conditional Use as permitted by Section 2202 for the property described herein, which property is located in a C-2 Highway Commercial District, under the City of Gluckstadt’s Official Zoning Ordinance of Dec. 16, 2021, to Applicant, allowing a personal care/assisted living facility in a district zoned C-2, subject property being approximately 5± acres located on Calhoun Station Parkway being within and a part of Tax Parcel No. 082B-09-002/04.00 in the City of Gluckstadt; and

WHEREAS, the Applicant advises the City the real property is owned by Third Floor Investments, LLC, and Applicant is planning to develop and operate a personal care/assisted living facility on the subject property; and

WHEREAS, the City of Gluckstadt scheduled a public hearing on said Application for June 25, 2024, at 6:00 o'clock p.m. before the City’s Planning and Zoning Commission. After review of the Application by the Planning and Zoning Commission of the City of Gluckstadt – the Board was advised that the Planning and Zoning Commission at its June 25, 2024, meeting, recommended approval of the requested conditional use allowing Applicant to operate a personal

care/assisted living facility on the subject property; and

WHEREAS, all notice requirements of the Zoning Ordinance of the City of Gluckstadt were accomplished – the City Clerk did cause notice of the June 25, 2024, hearing to be published in the Madison County Journal, a newspaper of general circulation in the City of Gluckstadt, Madison County, Mississippi, in the manner and for the time required by law, and the Zoning Administrator did post notice of same upon the affected property in the manner and for the time required by Section 811.02 of the Zoning Ordinance of the City of Gluckstadt and by law; and

WHEREAS, at the time, date and place specified in the City’s public notice the Planning and Zoning Commission of the City of Gluckstadt, Mississippi, did conduct a full and complete public hearing on the Application on June 25, 2024, and received comments and heard evidence presented by the Applicant and by all others desiring to be heard, whether in support of or in opposition to the Application; and,

WHEREAS, the Planning and Zoning Commission upon conclusion of its June 25, 2024, meeting recommended in writing that the Board of Aldermen approve the request for a Conditional Use; and

WHEREAS, the Mayor and Board of Aldermen are fully familiar with the request and the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Order, have duly considered the matters and facts within their personal knowledge as same affect the land uses required in the Application;

BE IT HEREBY ORDERED by the Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, that the request of Applicant to grant a Conditional Use for subject

property being approximately 5± acres located on Calhoun Station Parkway being within and a part of Tax Parcel No. 082B-09-002/04.00 in the City of Gluckstadt for a personal care/assisted living facility is hereby granted; such action is taken pursuant to the findings of fact set out as follows:

1. The Mayor and Board of Aldermen of the City of Gluckstadt, Mississippi, have the final authority with regard to all matters involving the Zoning Ordinance.
2. The written recommendation of the Planning and Zoning Commission is advisory in nature.
3. The Mayor and Board of Aldermen have knowledge of the area involved and are aware of the need for the Conditional Use.
4. The requested designation of a convenience store with fuel pumps within an allowable use of a Conditional Use of the Zoning Ordinance pursuant Section 2202.C.
5. The subject property described herein, below, is within a zoning district zoned C-2:

See attached published notice. Otherwise, being approximately 5± acres located on Calhoun Station Parkway being within and a part of Tax Parcel No. 082B-09-002/04.00 in the City of Gluckstadt.
6. The Conditional Use will promote the general welfare of the City of Gluckstadt and will not adversely affect the public interest or adjacent property. Future projects within the designation area will remain subject to the Zoning Ordinance and approval of site plans or other matter will allow the City to continue to monitor the area.
7. The establishment of this Conditional Use is not detrimental to the public health, safety, or general welfare, and this Conditional Use is compatible with the existing and intended character of the surrounding zoning district.

- 8. The Mayor and Board of Aldermen find that all portions of Section 805.01 (A) - (I) of the Zoning Ordinance have also been complied with and that all requirements of Section 805.01 (A) - (I) of the Zoning Ordinance are satisfied based upon the presentation of the applicant and all documents presented to the Planning and Zoning Commission and to the Mayor and Board of Aldermen.
- 9. The granting of this Conditional Use does not relieve the requested use from compliance with any applicable law, court order, covenants, or contracts.
- 10. The Conditional Use is granted with the following additional conditions:

ORDERED, ADOPTED AND APPROVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting thereof held on the _____ day of _____ 2024.

The foregoing Order, having been reduced to writing, Alderman _____ moved that said Order be adopted. Alderman _____ seconded. The vote was as follows:

Alderman Miya Warfield-Bates voted: _____

Alderman Jayce Powell voted: _____

Alderman Richard Wesley Slay voted: _____

Alderman John Taylor voted: _____

Alderman Lisa Williams voted: _____

Whereupon, the Mayor declared the Motion carried and the Order approved and adopted.

SO ORDERED, this the ____ day of _____, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: _____
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: _____
LINDSAY KELLUM, CITY CLERK

[SEAL]

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI
DENYING A CONDITIONAL USE PERMIT FOR PROPERTY BEING
APPROXIMATELY 5± ACRES LOCATED ON CALHOUN STATION PARKWAY,
AND BEING WITHIN AND A PART OF PARCEL NO. 082B-09-002/04.00,
CITY OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI**

WHEREAS, CPOR REI, LLC (the "Applicant"), did file an Application for a Conditional Use Permit on property described herein, which property is located in a C-2 Highway Commercial District Classification under the City of Gluckstadt Zoning Ordinance of December 16, 2021 (the "Application"); and,

WHEREAS, the Mayor and Board of Aldermen referred the Application to the Planning and Zoning Commission of the City of Gluckstadt, which Planning and Zoning Commission scheduled a hearing on said Application for June 25, 2024, at 6:00 o'clock p.m.; and,

WHEREAS, the Mayor and Board of Aldermen are familiar with the property and existing land uses within the City of Gluckstadt and in the area of the City where the property is located, and in acting on this Resolution, have duly considered the matters and facts within their personal knowledge as same affects the land uses requested in the Application filed herein; and,

WHEREAS, at the conclusion of the discussion of the Planning and Zoning Commission's recommendation, the Mayor asked whether the Board of Aldermen desired to take any action regarding the Application and the recommendation of the Planning and Zoning Commission and after discussion thereof, Alderman _____ offered the following Resolution and moved that it be adopted, to-wit:

IT IS, THEREFORE, RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, as follows, to-wit;

SECTION 1. That the matters and facts stated in the preamble hereof are found, determined, and adjudicated to be true and correct.

SECTION 2. That it is hereby found and determined that the conditions precedent to the granting of a Conditional Use Permit as required by Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, do not exist, and have not been satisfied by the Applicant regarding the granting of a Conditional Use Permit allowing an automotive repair business with outdoor storage in a district zoned C-2.

SECTION 3. That the Application to grant a Conditional Use Permit pursuant to Section 805 of the City of Gluckstadt Zoning Ordinance of December 16, 2021, on the following described property, be and same is hereby denied. The property referenced in the Application (the "property") is described as follows:

Approximately 5± acres located on Calhoun Station Parkway being within and a part of Tax Parcel No. 082B-09-002/04.00 in the City of Gluckstadt.

SO RESOLVED by the Mayor and Board of Aldermen of the City of Gluckstadt, Madison County, Mississippi, at a regular meeting held on ____ day of _____, 2024.

The motion for adoption was seconded by Alderman _____, and the foregoing Resolution having been first reduced to writing, was submitted to the Board of Aldermen for passage or rejection on roll call vote with the following results:

- Alderman Miya Warfield-Bates voted: _____
- Alderman Jayce Powell voted: _____
- Alderman Richard Wesley Slay voted: _____
- Alderman John Taylor voted: _____
- Alderman Lisa Williams voted: _____

Whereupon, the Mayor declared the motion carried and the Resolution adopted.

The foregoing Resolution is approved, this the ____ day of _____, 2024.

CITY OF GLUCKSTADT, MISSISSIPPI

BY: _____
WALTER C. MORRISON, IV, MAYOR

ATTEST:

BY: _____
LINDSAY KELLUM, CITY CLERK

[SEAL]

City of Gluckstadt

Application for Site Plan Review

Subject Property Address: 690 Calhoun Station Road, Madison, Mississippi 39110

Parcel #: 082B-09-002/04.00

Owner: Mills Contracting, LLC

Applicant: Matt Mills

Address: 1085 Gluckstadt Road
Bldg. 300, Suite E, Madison MS 39110

Address: 1085 Gluckstadt Road
Bldg. 300, Suite E, Madison, MS 39110

Phone #: 601-842-6216

Phone #: 601-842-6216

E-Mail: mmills@millscontracting.net

E-Mail: mmills@millscontracting.net

Current Zoning District: C-2

Acreage of Property (If applicable): _____

Use sought of Property: Commerical Office Building

2024094

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.



 Applicant Signature

6/4/24

 Date

CITY OF GLUCKSTADT BUILDING DEPARTMENT
OFFICE USE ONLY

Date Received: _____

Application Complete & Approved to Submit to P&Z Board (please check):

Yes _____ No _____

Signature: _____
 Planning & Zoning Administrator (or Authorized Representative)

Legal Description

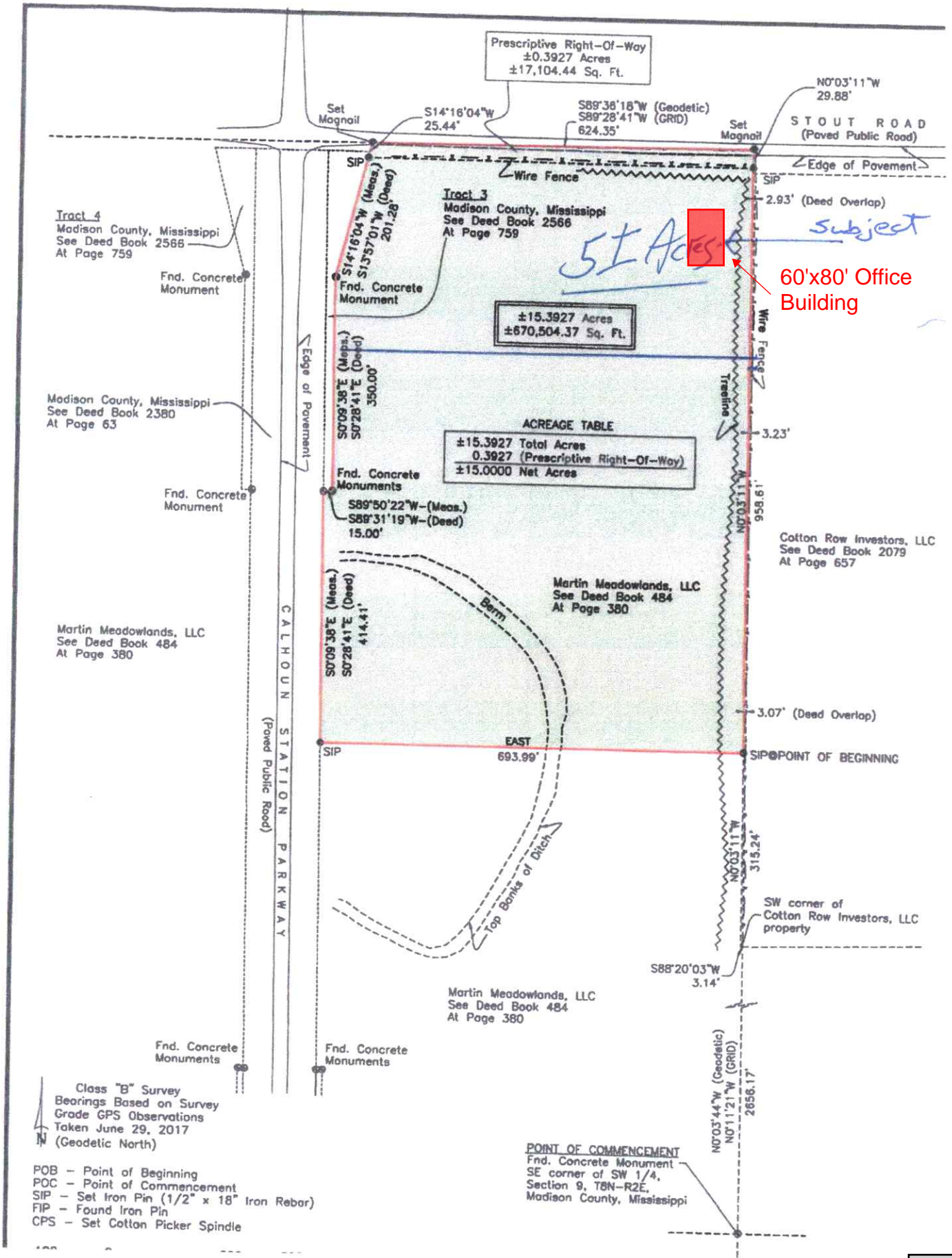
A parcel or tract of land, containing 5.393 acres, more or less, lying and being situated in the SW ¼ and the NW ¼ of Section 9, T8N-R2E, Madison County, Mississippi, being a part of the Third Floor Investments, LLC property as described in Deed Book 3532 at Page 390 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi, and being more particularly described as follows:

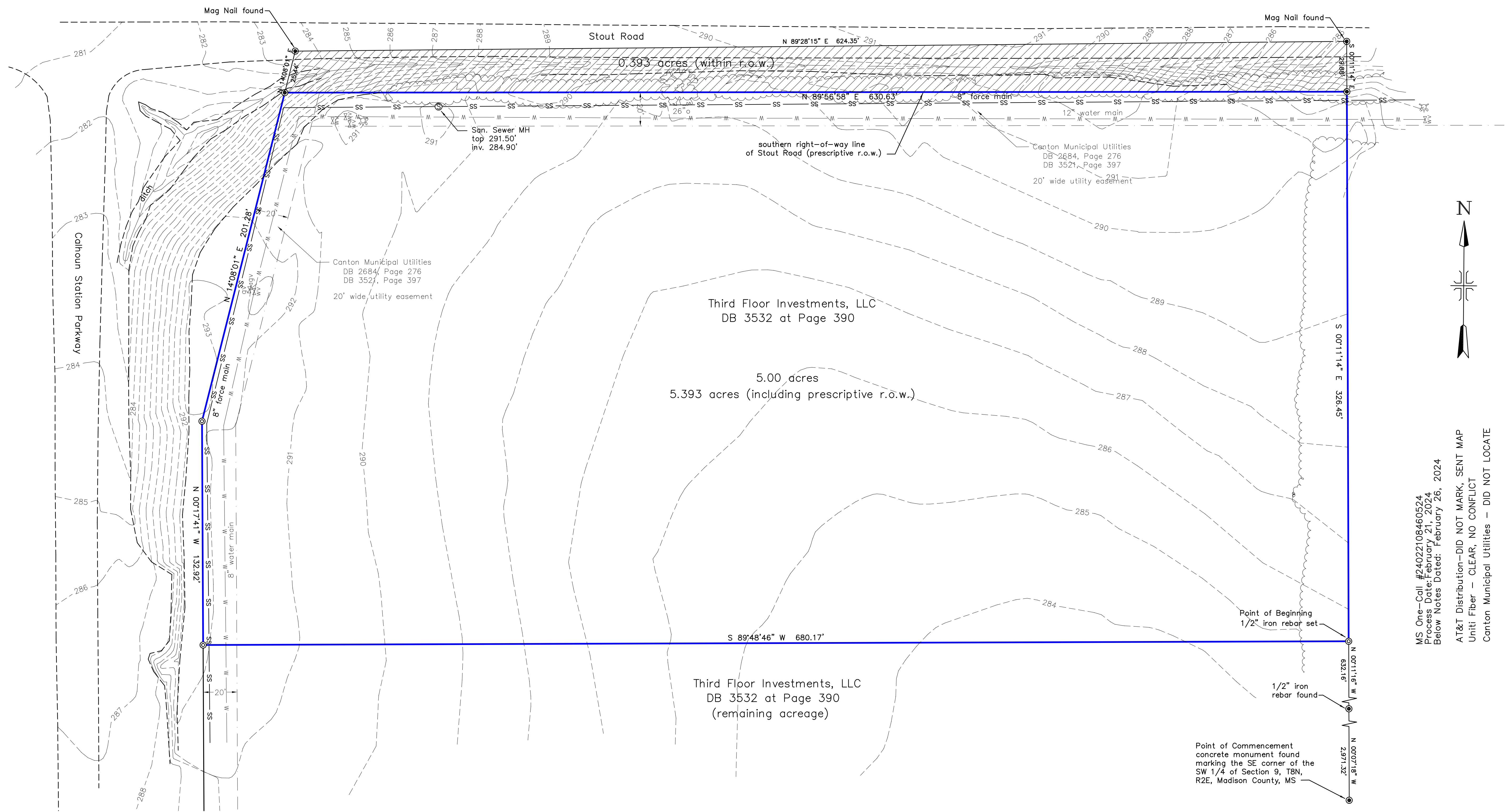
COMMENCING at a found concrete monument lying at the SE corner of the SW ¼ of said Section 9, T8N-R2E, Madison County, Mississippi and run thence North 00 degrees 07 minutes 18 seconds West for a distance of 2,971.32 feet to ½” iron rebar found marking the southeast corner of the Third Floor Investments, LLC property as described in Deed Book 3532 at Page 390 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi; thence run North 00 degrees 11 minutes 16 seconds West for a distance of 632.16 feet to ½” iron rebar set marking the Point of Beginning of the tract herein described:

From the Point of the Beginning thence run South 89 degrees 48 minutes 46 seconds West for a distance of 680.17 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence run North 00 degrees 17 minutes 41 seconds West, along said right-of-way line, for a distance of 132.92 feet to ½” iron rebar set on the east right-of-way line of Calhoun Station Parkway; thence run North 14 degrees 08 minutes 01 seconds East, along said right-of-way line, for a distance of 201.28 feet to ½” iron rebar found at the intersection of the east right-of-way line of Calhoun Station Parkway with the south right-of-way line of Stout Road; thence run North 14 degrees 08 minutes 01 seconds East for a distance of 25.44 feet to a mag nail found; thence run North 89 degrees 28 minutes 15 seconds East for a distance of 624.35 feet to a mag nail found; thence run South 00 degrees 11 minutes 14 seconds East for a distance of 29.88 feet to a ½” iron rebar found on the south right-of-way line of Stout Road; thence run South 00 degrees 11 minutes 14 seconds East for a distance of 326.45 feet back to the Point of Beginning.

Prepared by:

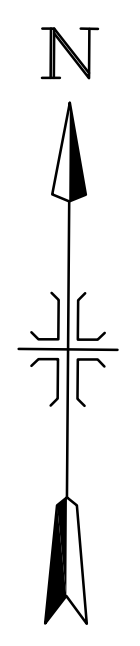
Colin L. Baird
Baird Engineering, Inc.
Clinton, Mississippi





MS One-Call #24022108460524
 Process Date: February 21, 2024
 Below Notes Dated: February 26, 2024

AT&T Distribution-DID NOT MARK, SENT MAP
 Uniti Fiber - CLEAR, NO CONFLICT
 Canton Municipal Utilities - DID NOT LOCATE



No.	Revisions:	By:	Date:

BAIRD ENGINEERING, INC.
 506 Jefferson Street, Clinton, MS 39056
 Phone: (601) 925-5015
 www.baird.com

Project No.: # 4868
 Date: 02/29/2024
 Scale: 1" = 30'
 Designed By: CLB
 Reviewed By: CLB

BOUNDARY & TOPOGRAPHIC SURVEY
 MILLS CONTRACTING
 GLUCKSTADT, MISSISSIPPI

Date of field survey: February 28, 2024.

Reference Bearing are based on the Mississippi State Plane Coordinate System, NAD 83 - Mississippi West Zone.

Subject property is located in Flood Zone X according to the FIRM Map for Madison County (280228), map reference 28089 C 415F, effective date March 17, 2010

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

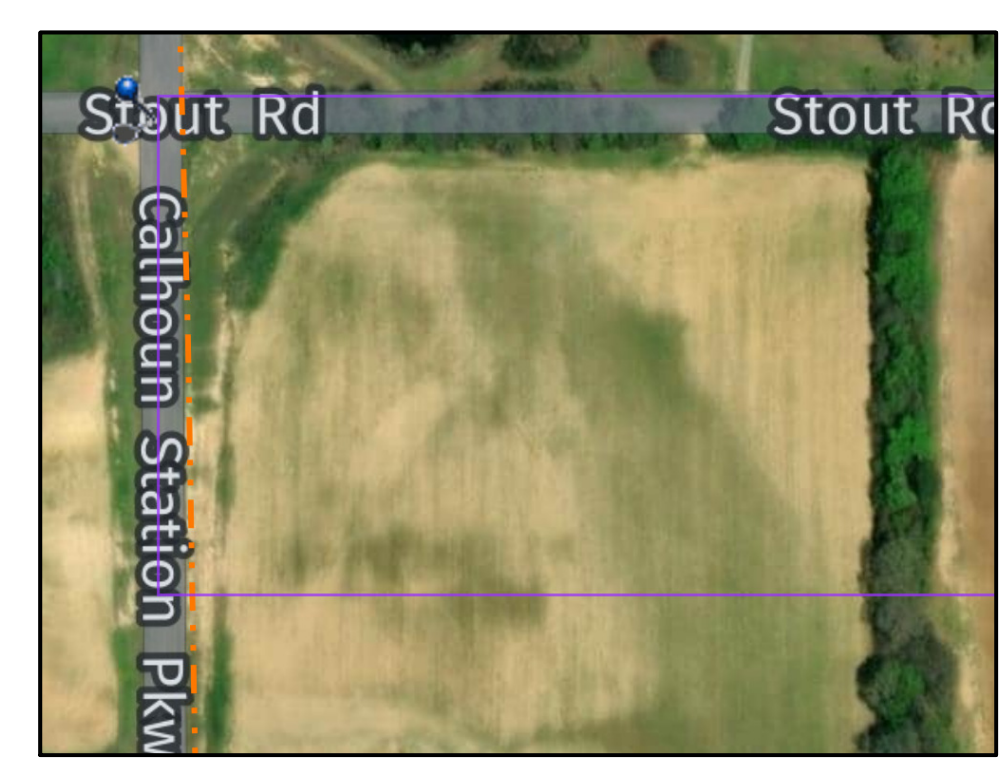
Vertical elevations are referenced to NAVD88

Reference: Plat by McMasters and Associates dated July 77, 2017.

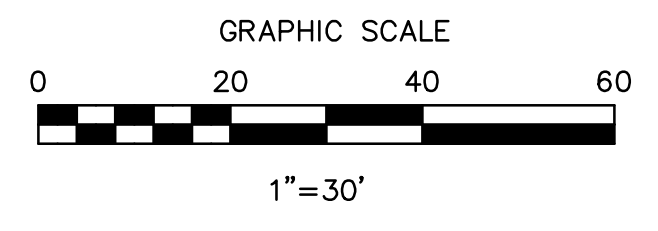
This boundary and topographic survey was performed and this plat was prepared by Baird Engineering, Inc. 506 Jefferson Street, Clinton, MS 39056 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on February 29, 2024.



NOTE: AT&T Distribution Drawing shows a line running along road in orange



LEGEND	
	CABLE PEDESTAL
	UTILITY POLE
	GAS VALVE
	WATER VALVE
	1/2" IRON REBAR FOUND
	1/2" IRON REBAR SET (18" long)
	LIGHT POLE
	WATER METER
	SEWER CLEANOUT
	POWER METER
	GAS METER
	PINE TREE
	WATER METER
	FIRE HYDRANT
	TELEPHONE PEDESTAL
	SIGN
	STORM INLET
	SAN. SEWER MANHOLE
	SOIL BORING
	SAN. SEWER
	GAS LINE
	UNDERGROUND TELECOMMUNICATION
	CONTOURS
	OVERHEAD POWER
	UNDERGROUND ELECTRIC
	WATER MAIN
	OAK TREE
	AIR CONDITION UNIT



SITE PLAN NOTES

GENERAL

- TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 07-29-2022.
- CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
- DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
- ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOO UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
- CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
- ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK, ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
- ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
- SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING PAVEMENT AND CURBS.
- SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- PARKING PROVIDED IN THIS PROJECT (WITHIN THE MALL PARCEL):
2 ADA COMPLIANT PARKING SPACES
21 STANDARD PARKING SPACES
23 TOTAL PARKING SPACES PROVIDED
- DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).

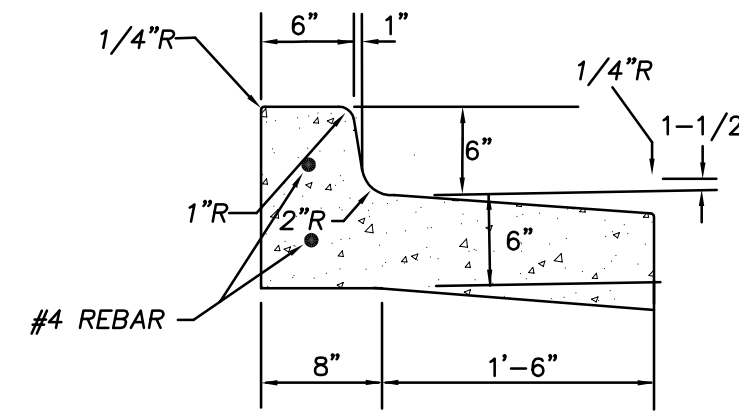
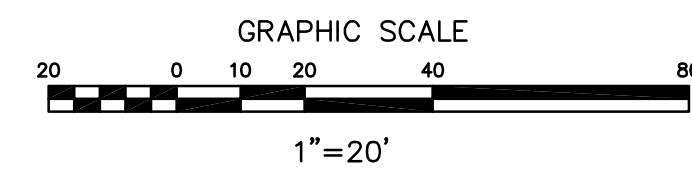
- PROPERTY IS ZONED C-2 (GENERAL COMMERCIAL DISTRICT), CITY OF GLUCKSTADT
- ADJOINING PROPERTIES TO THE SOUTH IS ZONED C-2 (GENERAL COMMERCIAL DISTRICT) AND TO THE EAST IS ZONED A-1 (AGRICULTURAL DISTRICT)
- SETBACKS:
FRONT - 40 FEET (35 FOOT OPTION IF CORNER LOT)
SIDE - 5 FEET (50 FEET ADJOINING AGRICULTURAL)
REAR - 5 FEET (50 FEET ADJOINING AGRICULTURAL)
MAXIMUM HEIGHT RESTRICTION: AS DETERMINED BY THE IBC
- NO BUILDING IS LOCATED ON THE SUBJECT PARCEL.
- SUBJECT PROPERTY IS LOCATED WITHIN THE CITY LIMITS OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI.
- SUBJECT PROPERTY IS LOCATED IN ZONE "X" AS DETERMINED BY FIRM NO. 28089 C 415F, MADISON COUNTY, REVISION DATE-3/17/2010

PARKING FEATURES LEGEND

- | | |
|--|--------------------------------------|
| ① TRAFFIC STRIPE (PARKING) | 4" CONTINUOUS WHITE |
| ② TRAFFIC STRIPE (HANDICAP) | 4" CONTINUOUS BLUE |
| ③ HANDICAP PARKING SIGN (R7-8)-DETAIL 1/C5.1 | SEE MUTCD MANUAL FOR SPECIFICATIONS. |
| ④ STOP SIGN (DETAIL 2/C5.1) | SEE MUTCD MANUAL FOR SPECIFICATIONS. |
| ⑤ 24" LEGEND | WHITE |

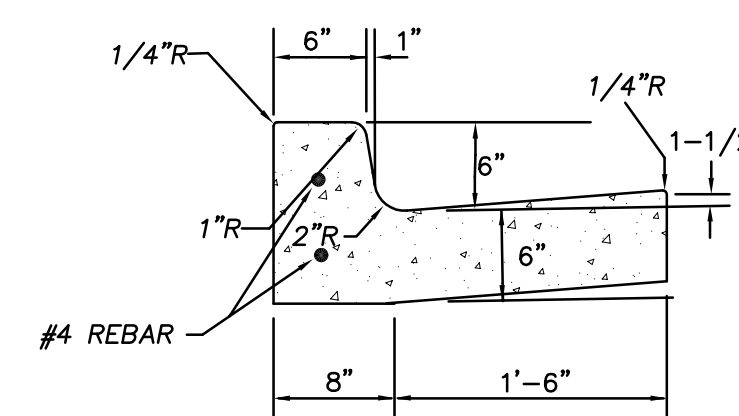
LEGEND

- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C2.0)
- HANDICAP PARKING
- PROPERTY LINE



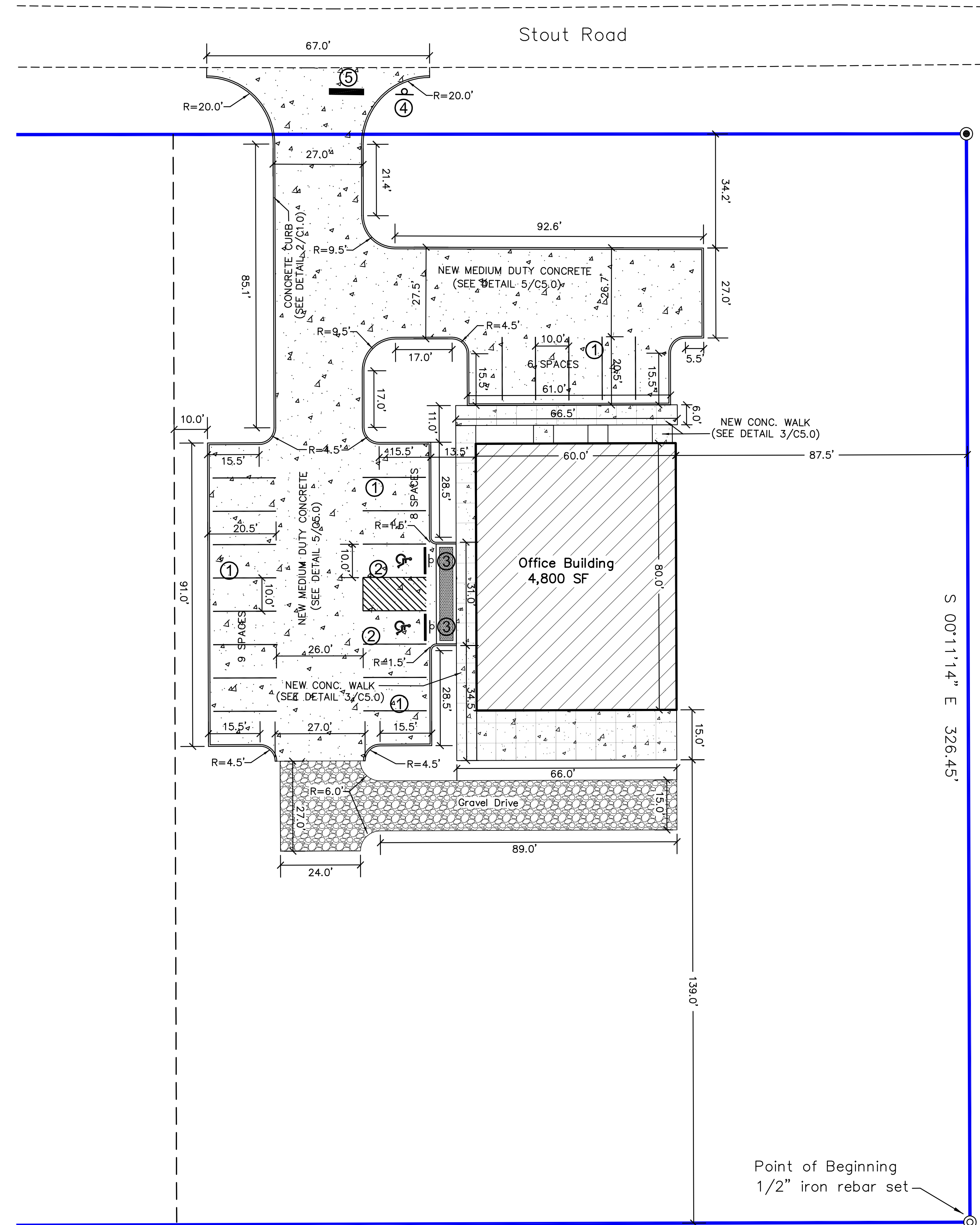
2 CONCRETE CURB & GUTTER (PITCH-AWAY) N.T.S.

CONTRACTOR SHOULD USE CORRECT CURB & GUTTER DETAIL IN ACCORDANCE TO THE GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN



1 CONCRETE CURB & GUTTER N.T.S.

*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT



Point of Beginning 1/2" iron rebar set

Section 8.1D)
Date:
By:
Revisions:
No.

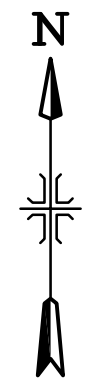
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BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39056
Phone: (601) 925-5015

Project No.: # 4868
Date: 05/05/24
Scale: 1" = 20'
Designed By: CLB
Reviewed By: CLB

SITE PLAN
MILLS CONTRACTING
GLUCKSTADT, MISSISSIPPI

C 1.0



NOTE: SEE ARCHITECTURAL SITE PLAN FOR DOWNSPOUT LOCATIONS AND CONNECTION TO STORM SEWER SYSTEM.

1. GENERAL

THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF GLUCKSTADT STANDARDS.
TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY BAIRD ENGINEERING, INC.

2. CLEARING

PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE

3. GRUBBING

REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.

4. CLEAN-UP

UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

5. SITE GRADING

PROFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 98% ASTM D698 PRIOR TO FILL PLACEMENT.
CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.
ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.

6. FILLING AND BACKFILLING MATERIALS

IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH ±2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.

HYDRAULIC INFORMATION

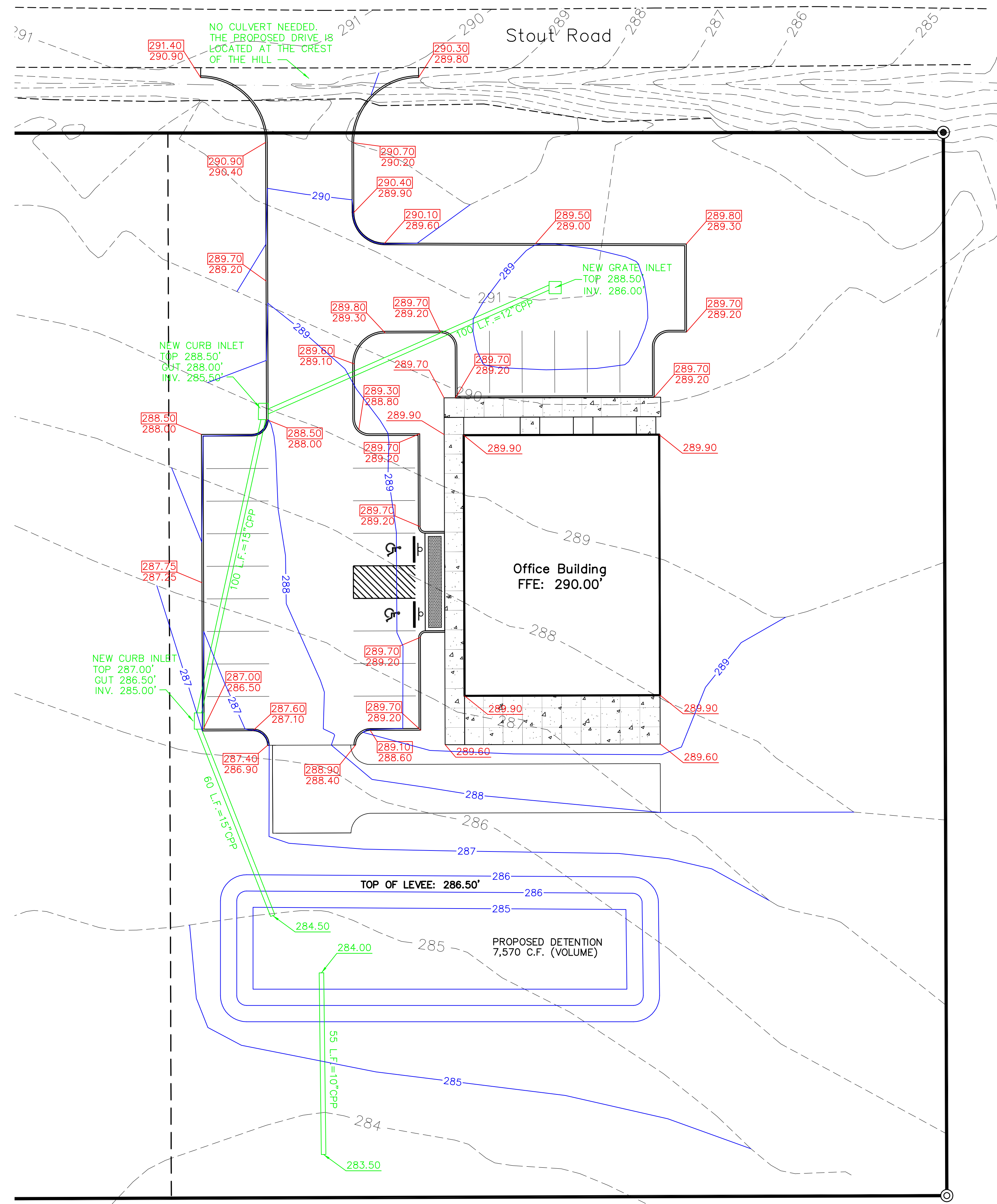
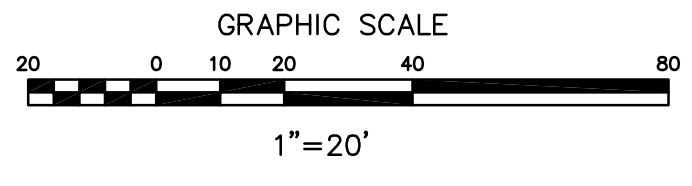
DETENTION BASIN

2 year runoff (pre)-1.293 cfs	25 year runoff (pre)-2.053 cfs
2 year runoff (post)-6.051 cfs	25 year runoff (post)-9.513 cfs
Detention Outflow-1.661 cfs	Detention Outflow-2.147 cfs
Detention Max. Elev.-284.82'	Detention Max. Elev.-285.17'
5 year runoff (pre)-1.549 cfs	50 year runoff (pre)-2.276 cfs
5 year runoff (post)-7.208 cfs	50 year runoff (post)-10.60 cfs
Detention Outflow-1.885 cfs	Detention Outflow-2.257 cfs
Detention Max. Elev.-284.97'	Detention Max. Elev.-285.26'
10 year runoff (pre)-1.763 cfs	100 year runoff (pre)-2.498 cfs
10 year runoff (post)-8.188 cfs	100 year runoff (post)-11.56 cfs
Detention Outflow-2.05 cfs	Detention Outflow-2.351 cfs
Detention Max. Elev.-285.06'	Detention Max. Elev.-285.35'

Drainage Area (pre) - 1.08 acres
Drainage Area (post) - 1.08 acres

DETENTION DATA

Top of Dam Elev. - 286.50'
Bottom Elev.-284.50'
Surface Area at Top of Dam - 4,327 s.f.

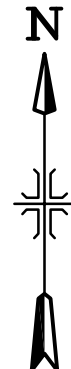


Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clarks, MS 39056
Phone: (601) 925-5015

Project No.: # 4868
Date: 05/05/24
Scale: 1" = 20'
Designed By: CLB
Reviewed By: CLB

GRADING PLAN
MILLS CONTRACTING
GLUCKSTADT, MISSISSIPPI



PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

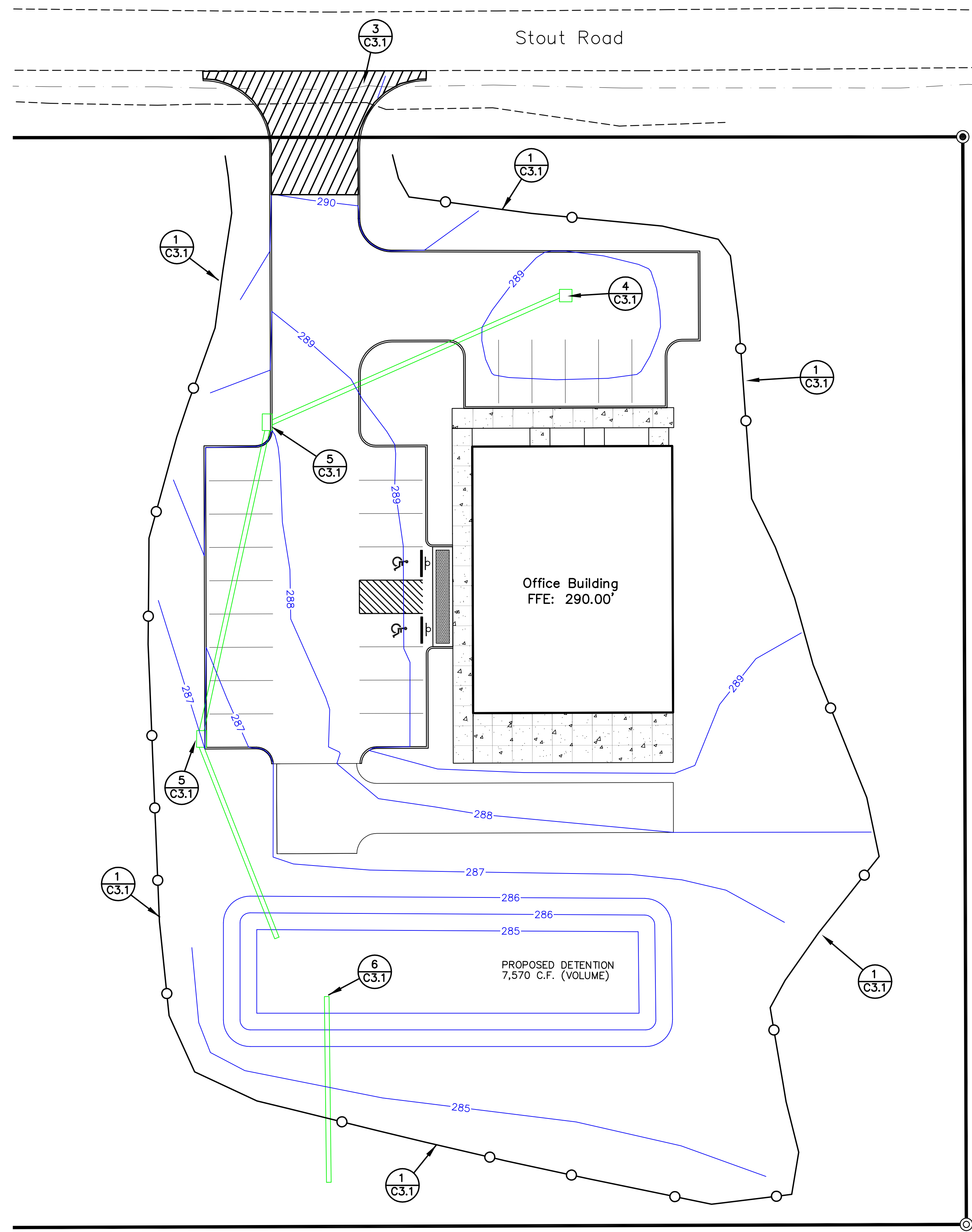
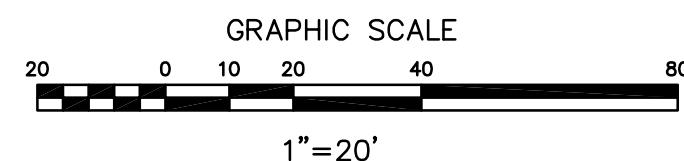
1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

NOTES:

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".



Date:	
By:	
Revisions:	
No.	

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BAIRD ENGINEERING, INC.
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Project No.: # 4868
 Date: 05/05/2024
 Scale: 1" = 20'
 Designed By: CLB
 Reviewed By: CLB

EROSION CONTROL PLAN
 MILLS CONTRACTING
 GLUCKSTADT, MISSISSIPPI

C 3.0

Date:	
By:	
Revisions:	
No.	

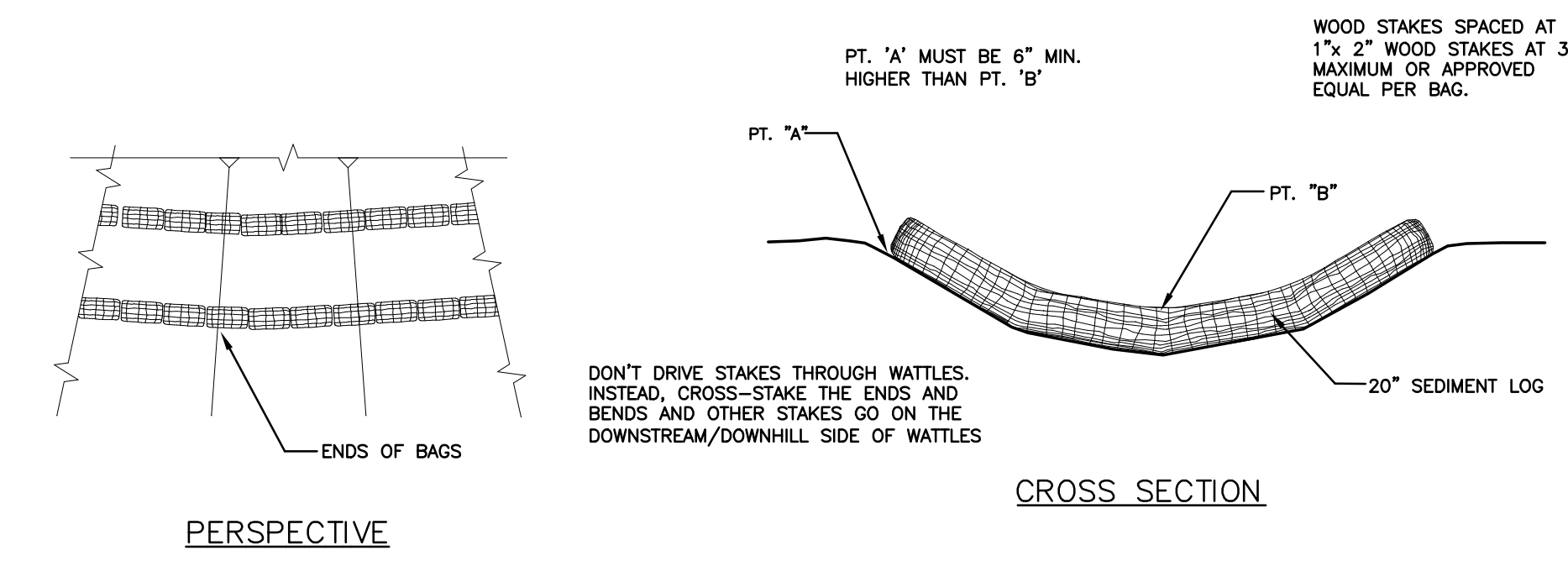
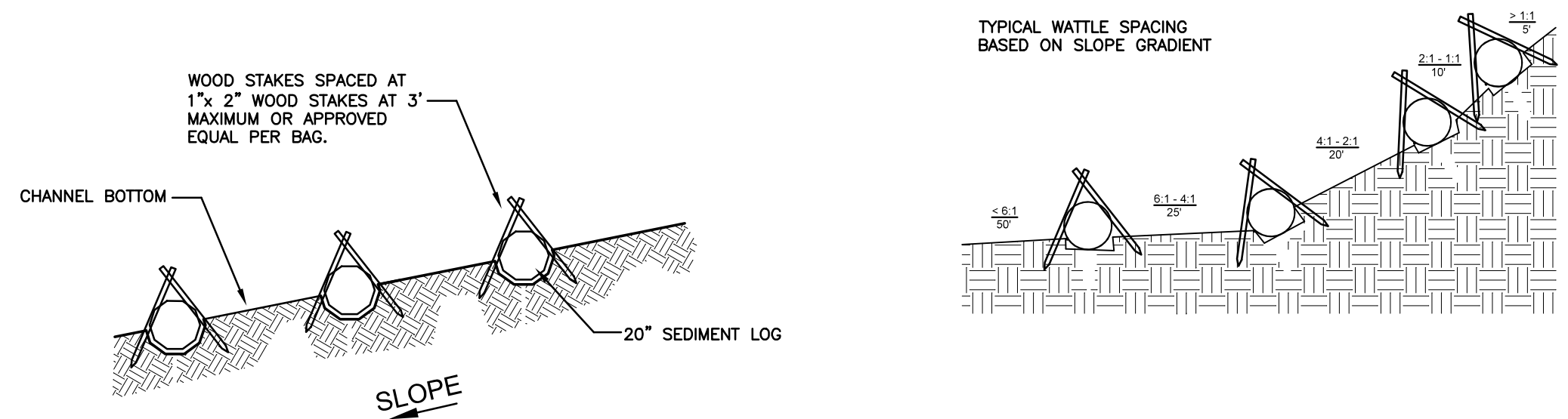
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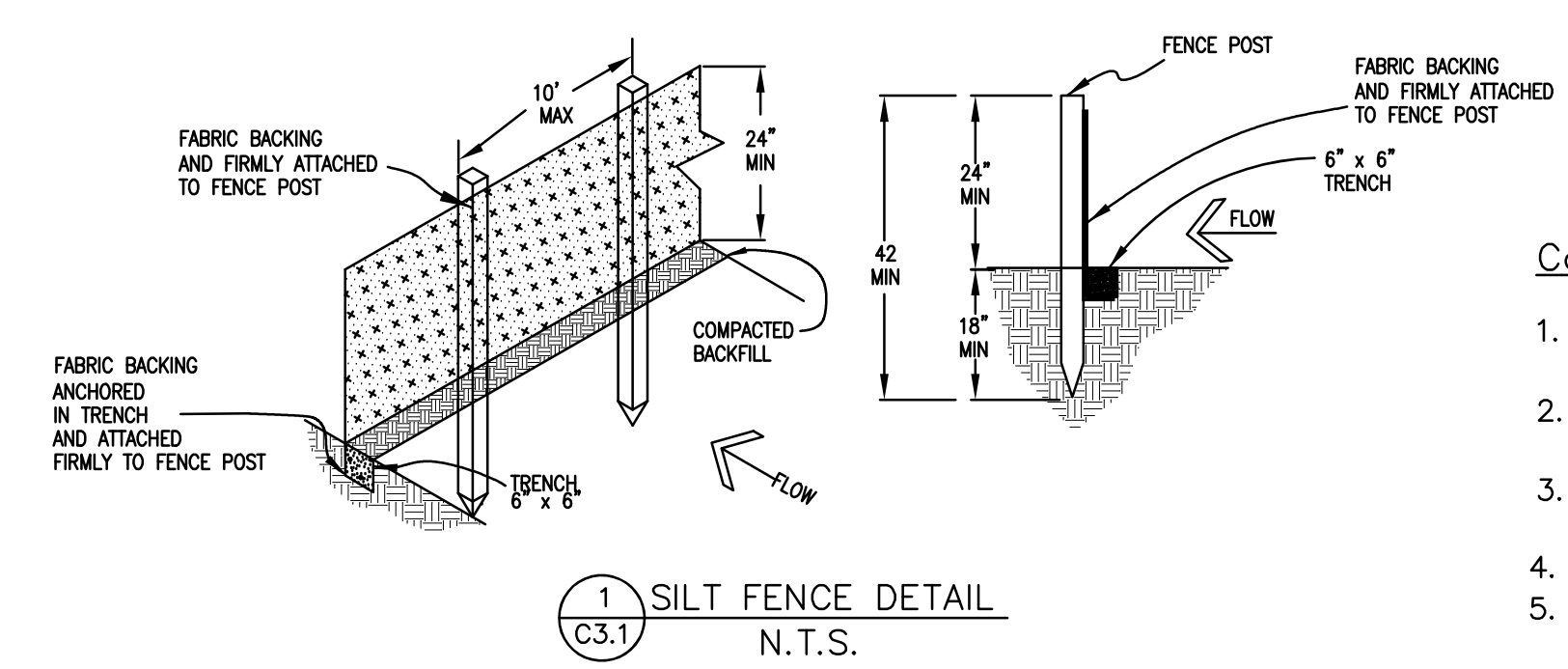
Project No.: # 4568
 Date: 05/05/2024
 Scale: N.T.S.
 Designed By: CLB
 Reviewed By: CLB

EROSION CONTROL DETAILS
 MILLS CONTRACTING
 Gluckstadt, Mississippi

C 3.1



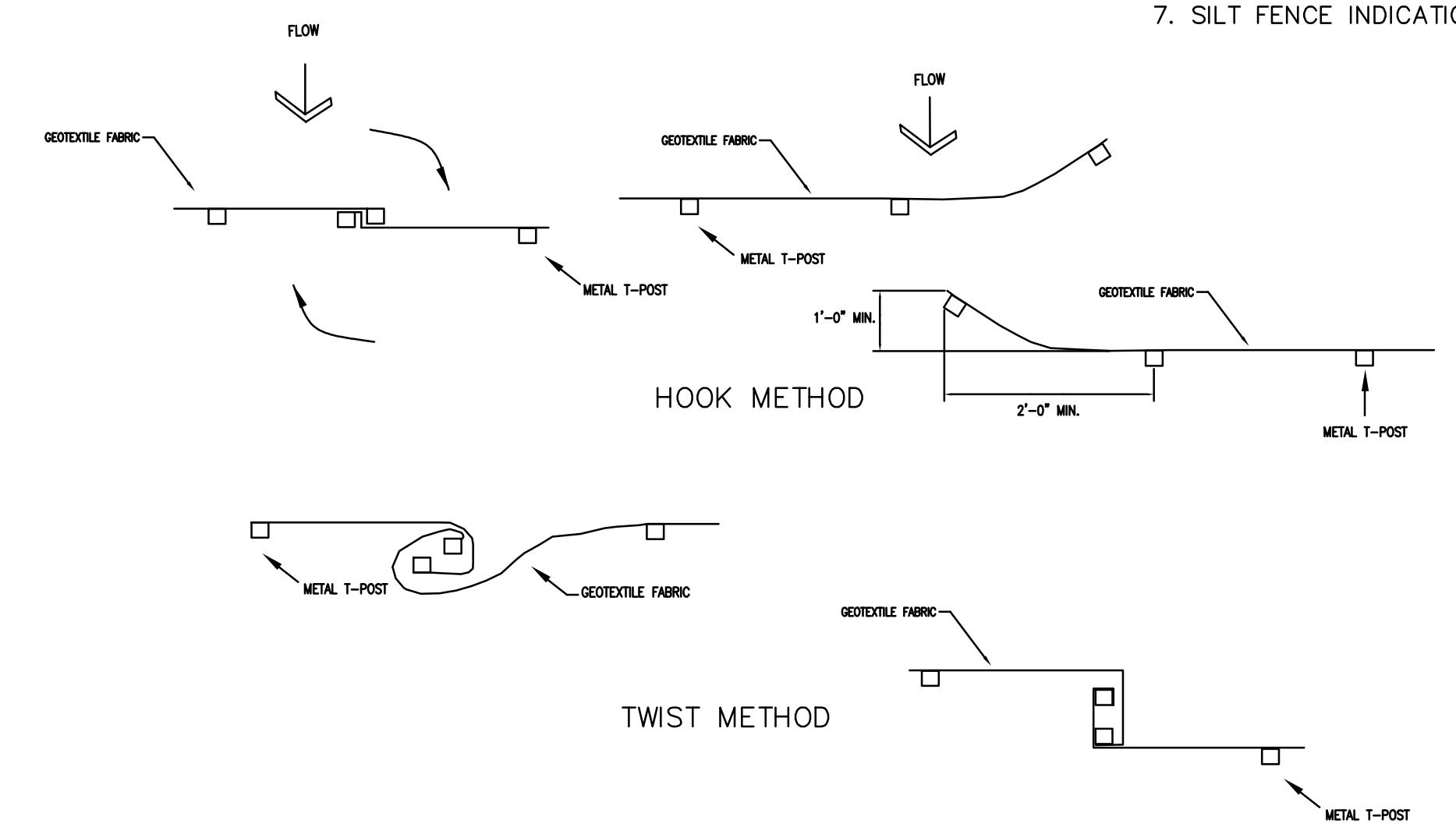
7 SEDIMENT LOG DITCH CHECK
 C3.1 N.T.S.



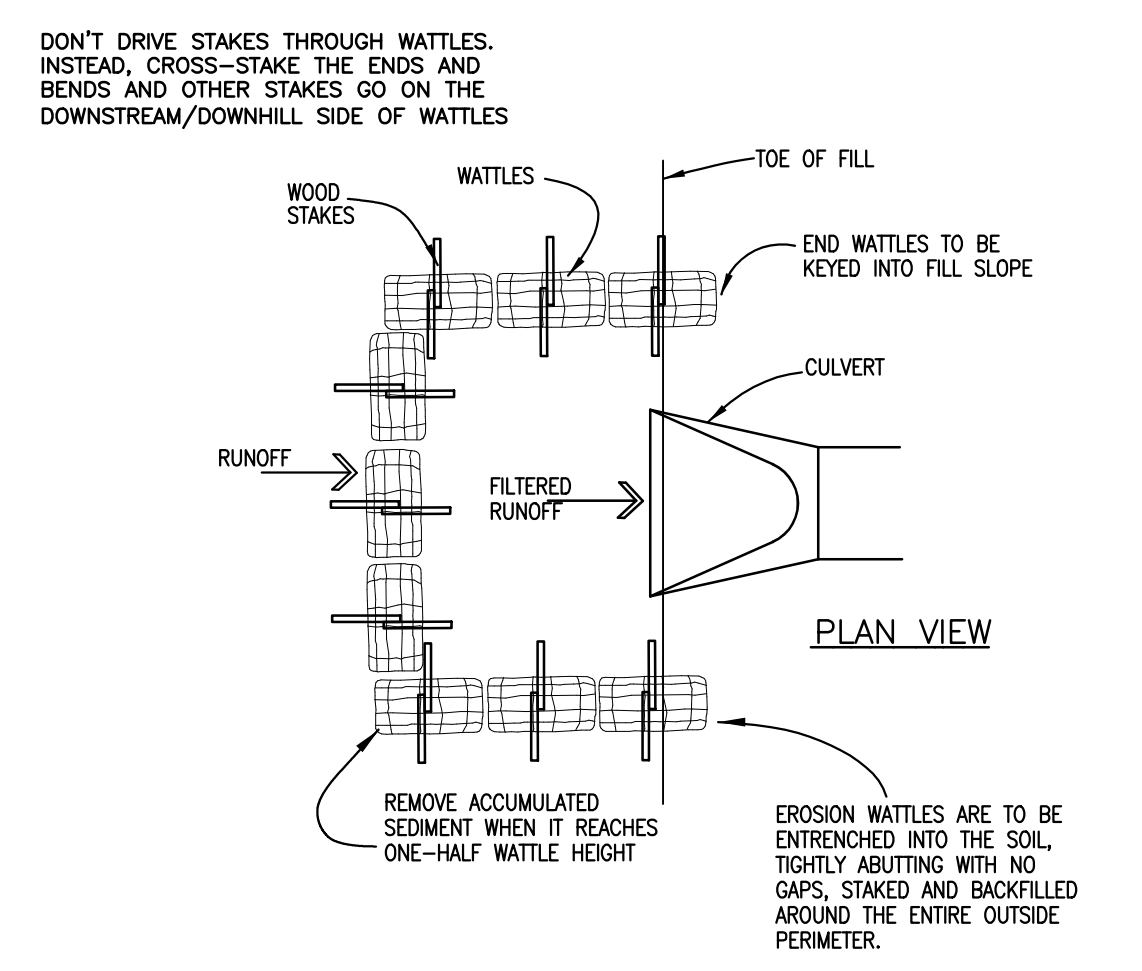
1 SILT FENCE DETAIL
 C3.1 N.T.S.

Construction Notes for Silt Fence:

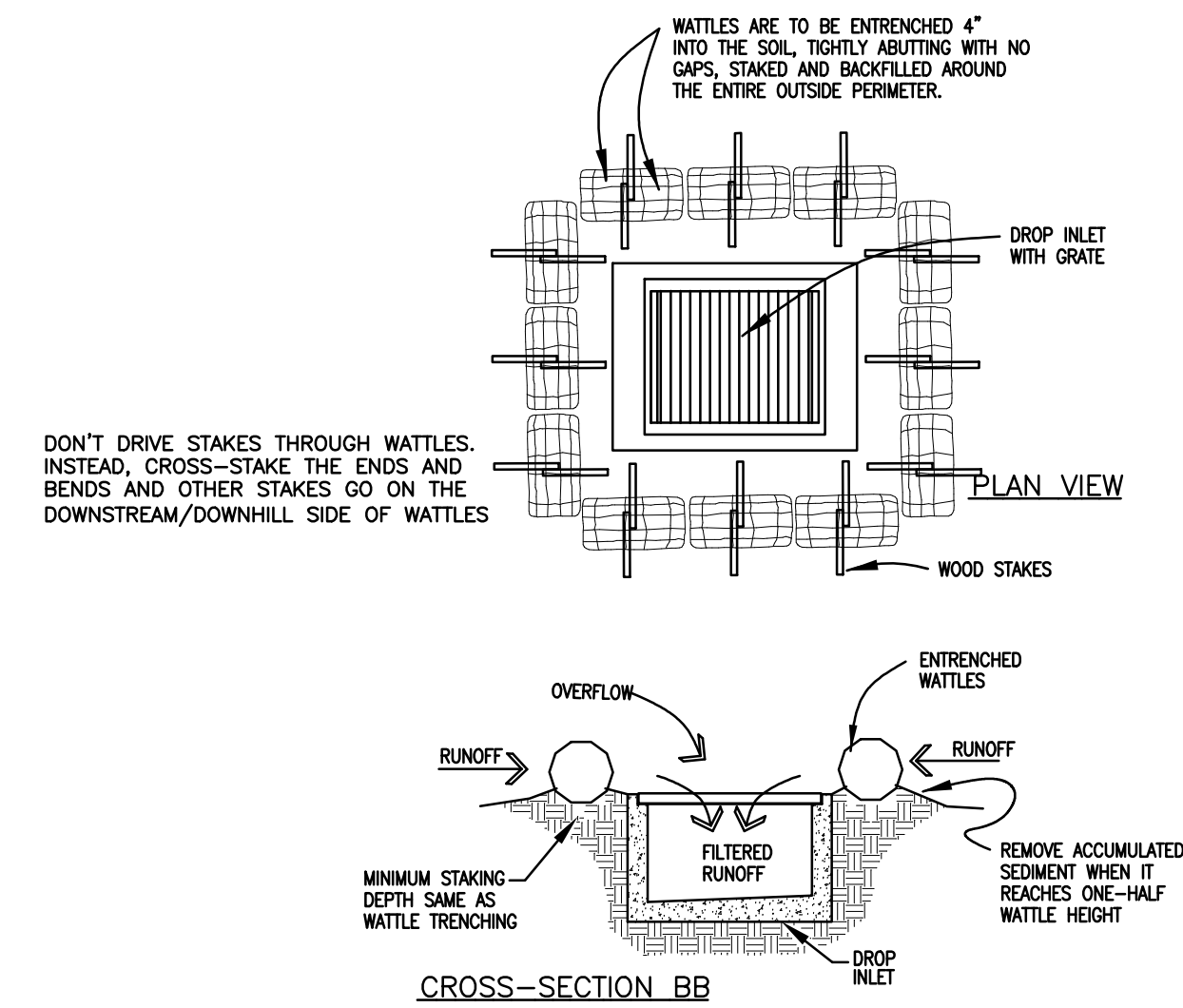
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
 4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN
 POSTS: LOCATE MAXIMUM OF 6 FEET O.C.
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING
 FILER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL
6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
 7. SILT FENCE INDICATION ON THE PLANS AS



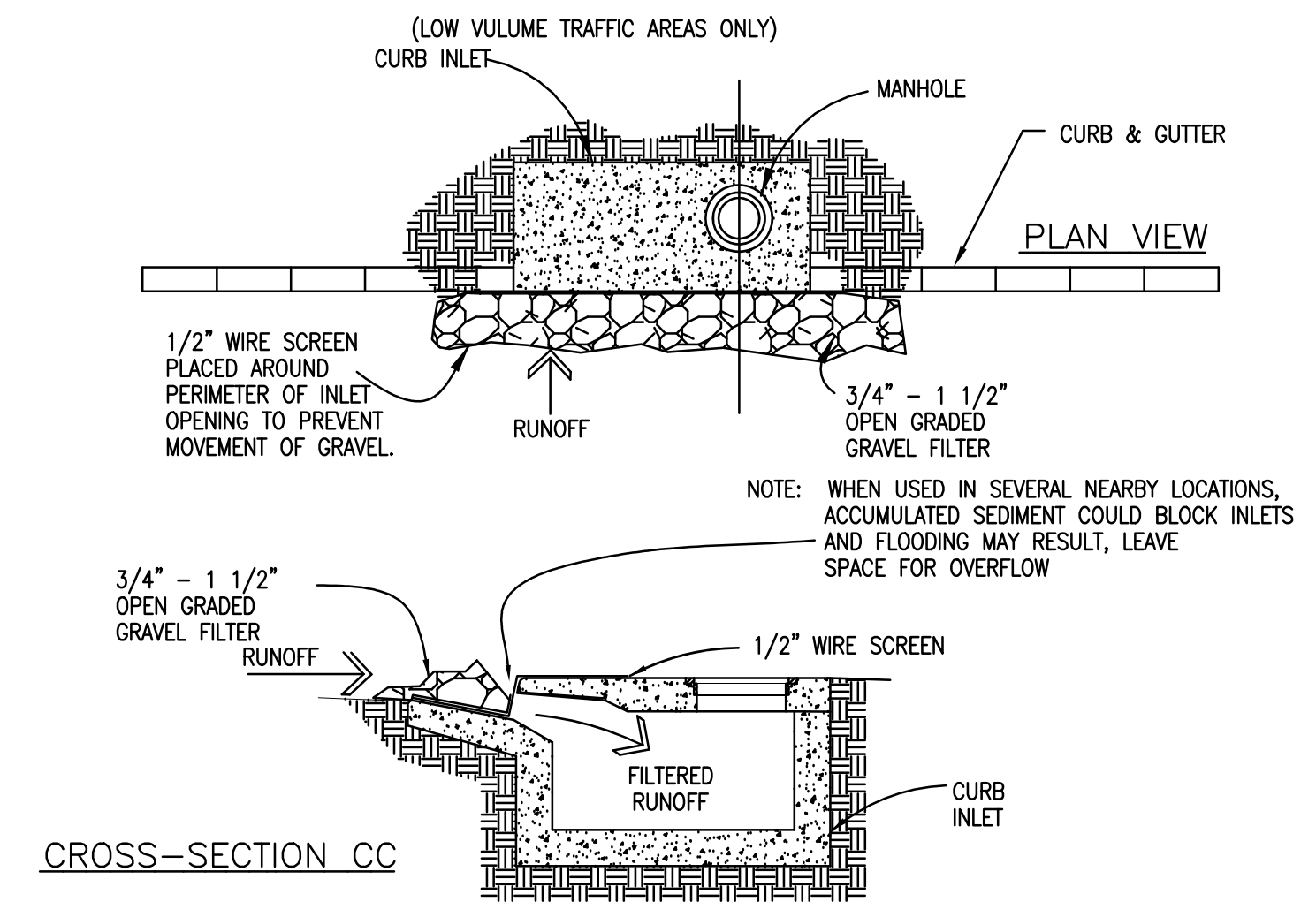
2 JOINING TWO LENGTHS OF SILT FENCE
 C3.1 N.T.S.



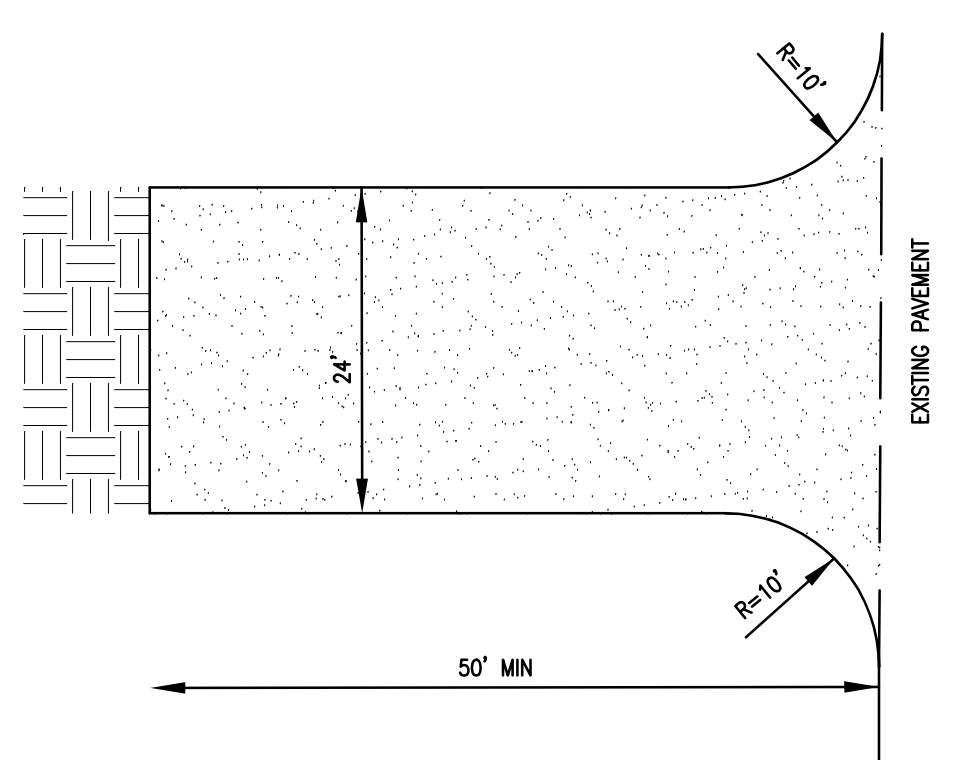
6 CULVERT EROSION BALE INLET PROTECTION
 C3.1 N.T.S.



4 DROP INLET EROSION FILTER
 C3.1 N.T.S.



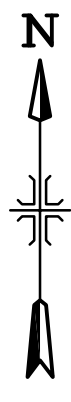
5 CURB INLET GRAVEL AND WIRE MESH FILTER TRAP
 C3.1 N.T.S.



3 CONSTRUCTION ENTRANCE
 C3.1 N.T.S.

NOTES:

1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
2. THICKNESS - NOT LESS THAN 6".
3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. WIDTH - 30 FOOT MINIMUM
6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMEN SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.



UTILITIES NOTES

1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH ENTERGY.

GAS SERVICE TO BE COORDINATED WITH ATMOS.

2. SANITARY SEWER AND WATER CONNECTIONS

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

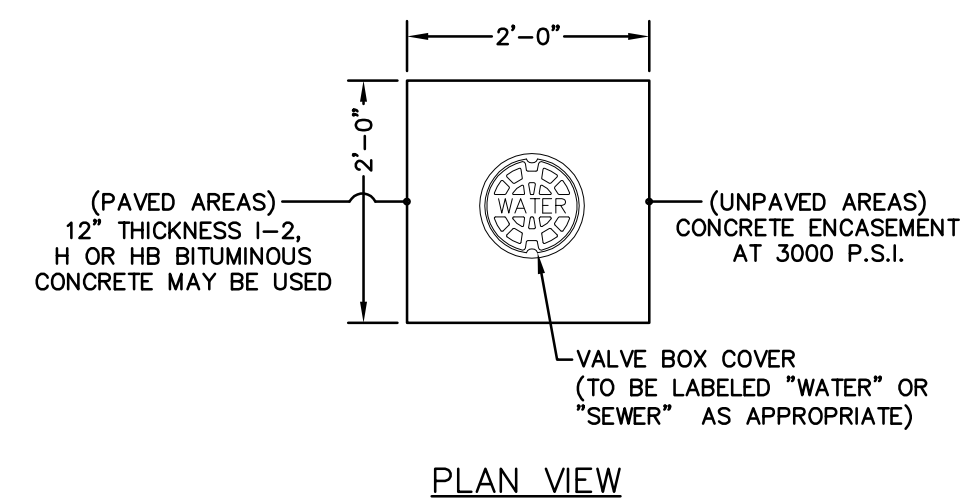
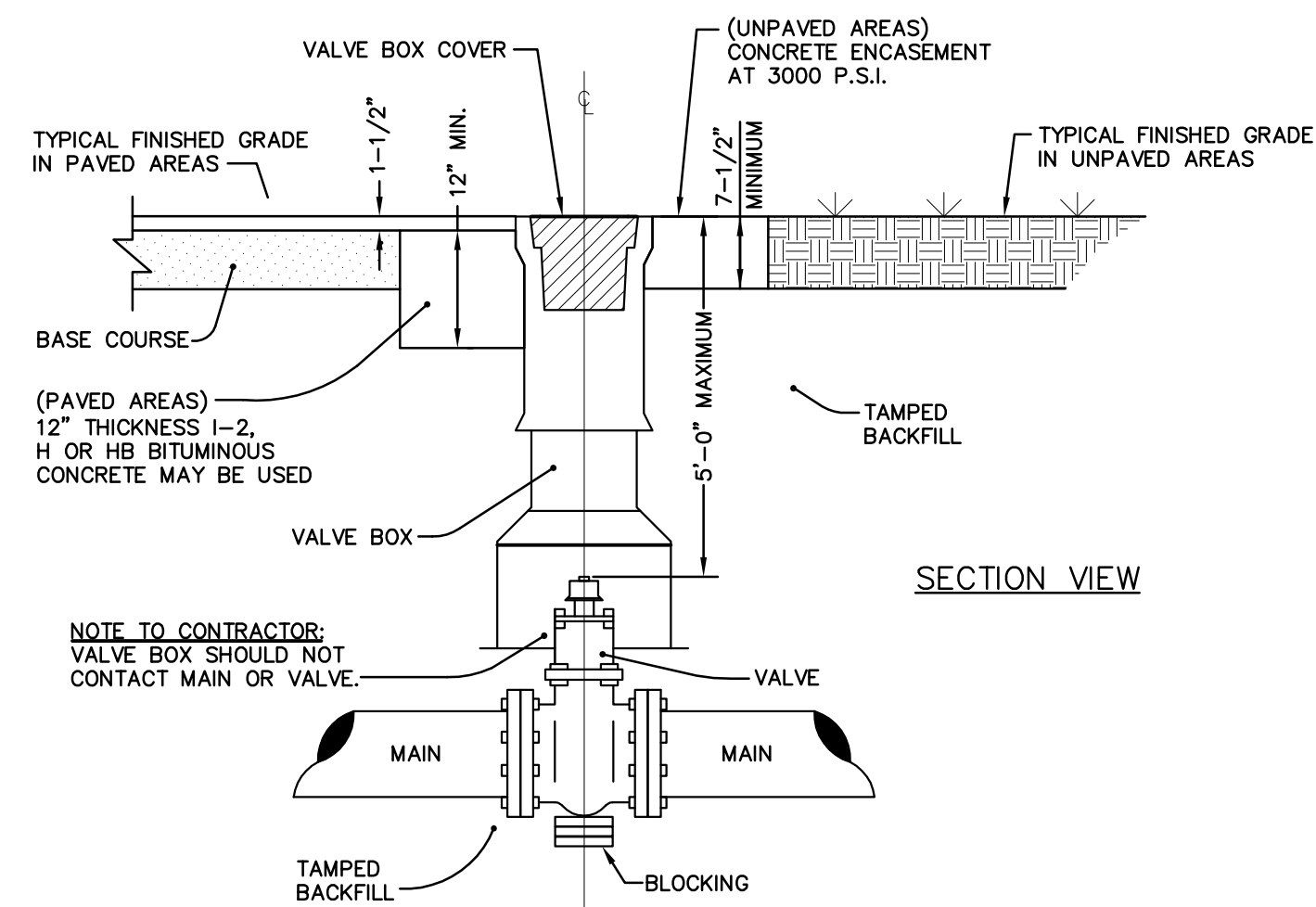
ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD, C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

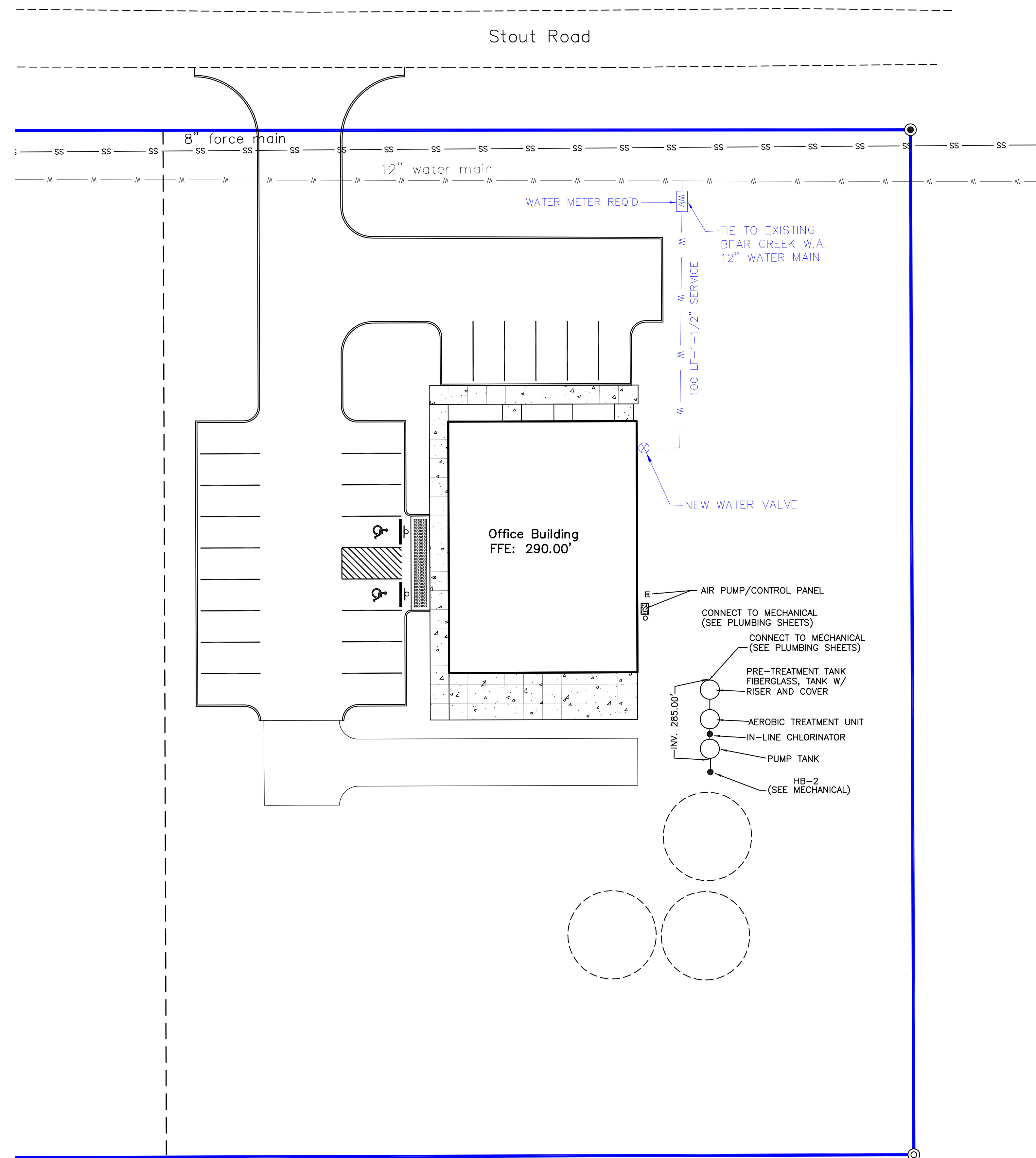
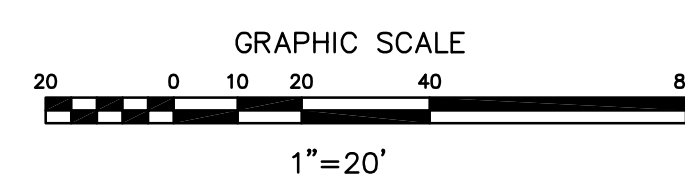
CONTRACTOR TO FOLLOW THE BEAR CREEK WATER ASSOCIATION UTILITY CONNECTION INSPECTION GUIDE



NOTES:

1. ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
2. VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5' (ft.) FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
3. PRECAST CONCRETE ENCASEMENT IS ALLOWED OUTSIDE OF PAVED AREAS.

VALVE BOX DETAIL

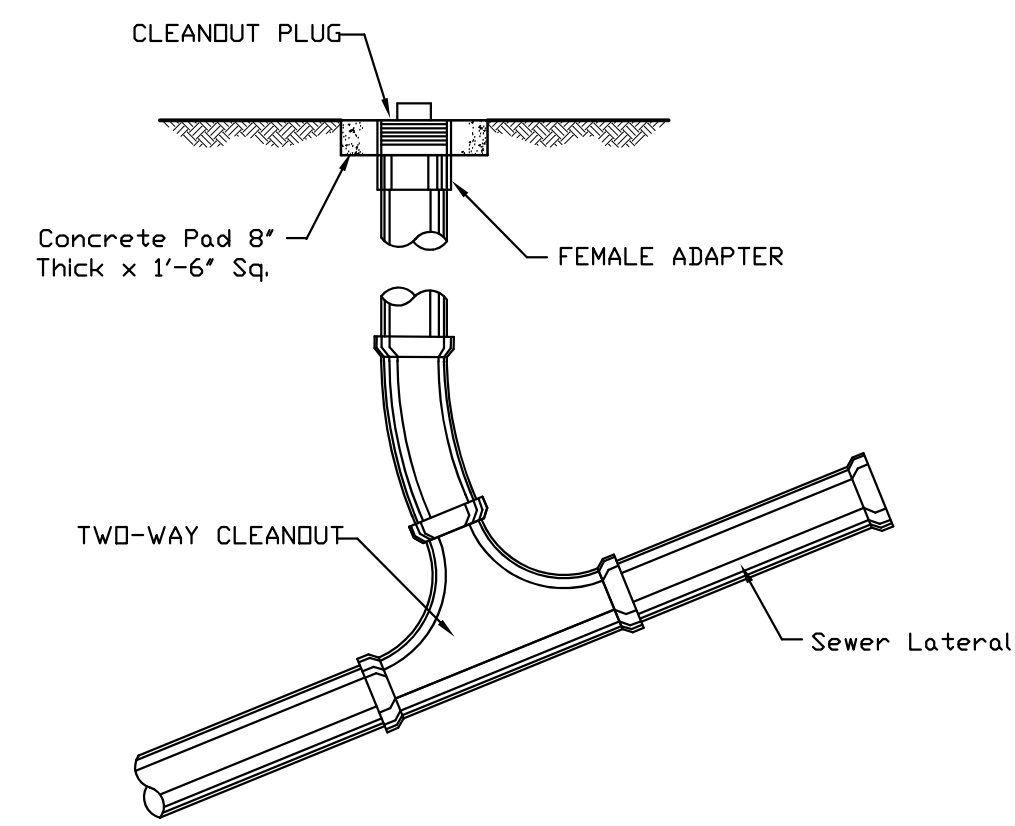


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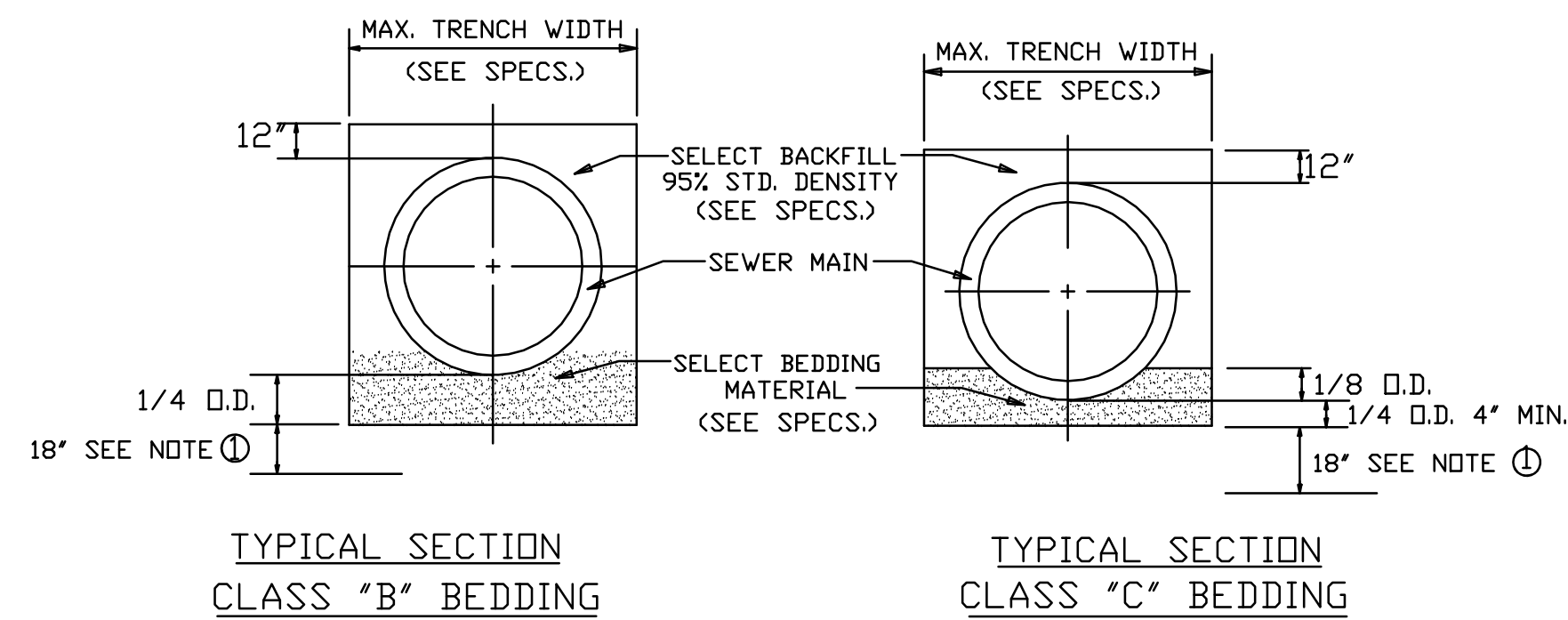
BAIRD ENGINEERING, INC.
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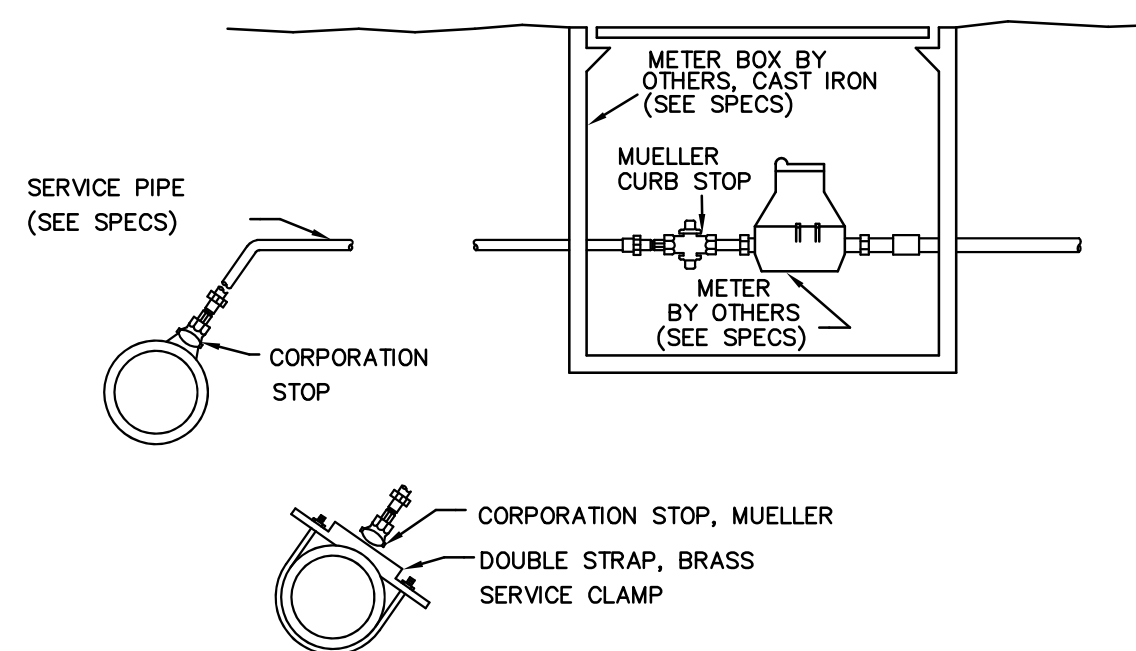
UTILITY PLAN
MILLS CONTRACTING
GLUCKSTADT, MISSISSIPPI



1 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL
5.0 N.T.S.

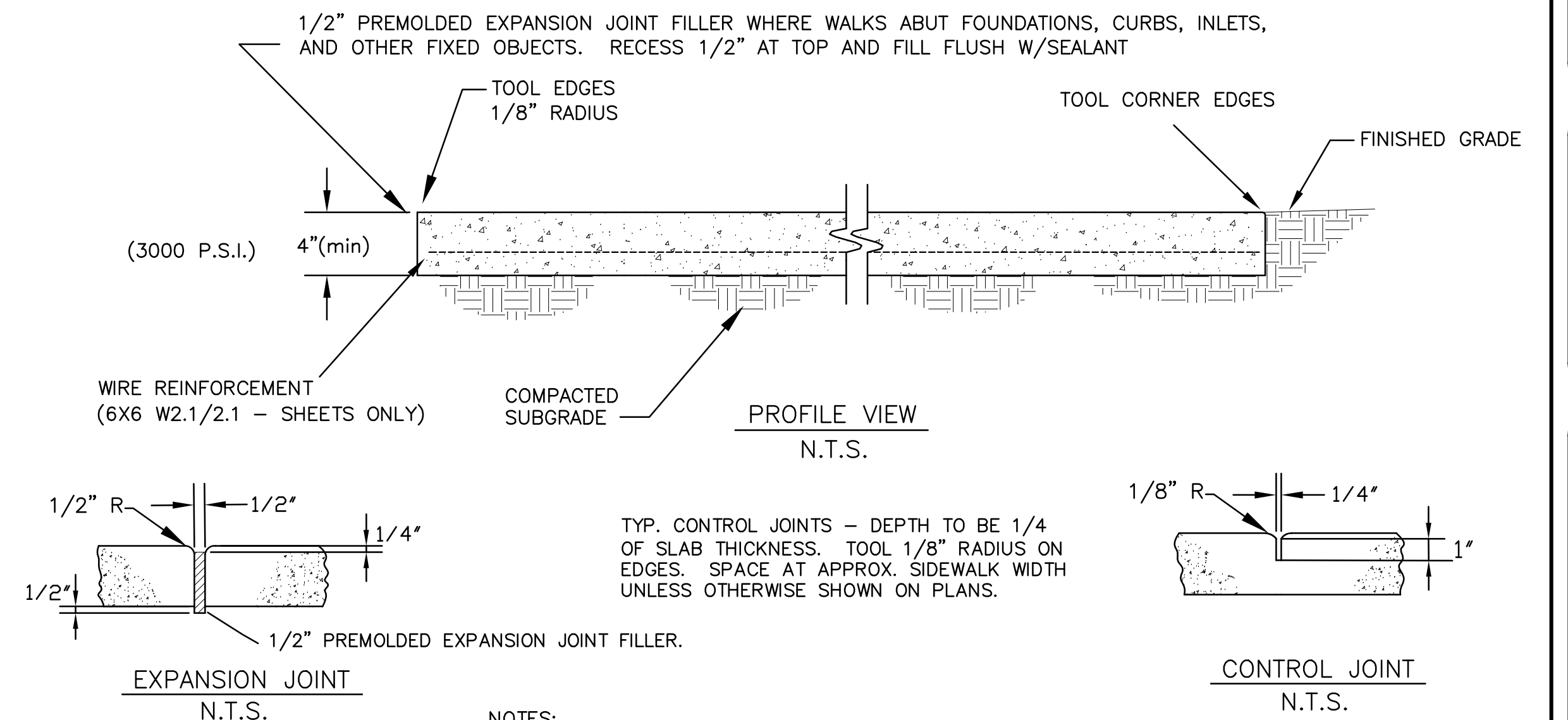
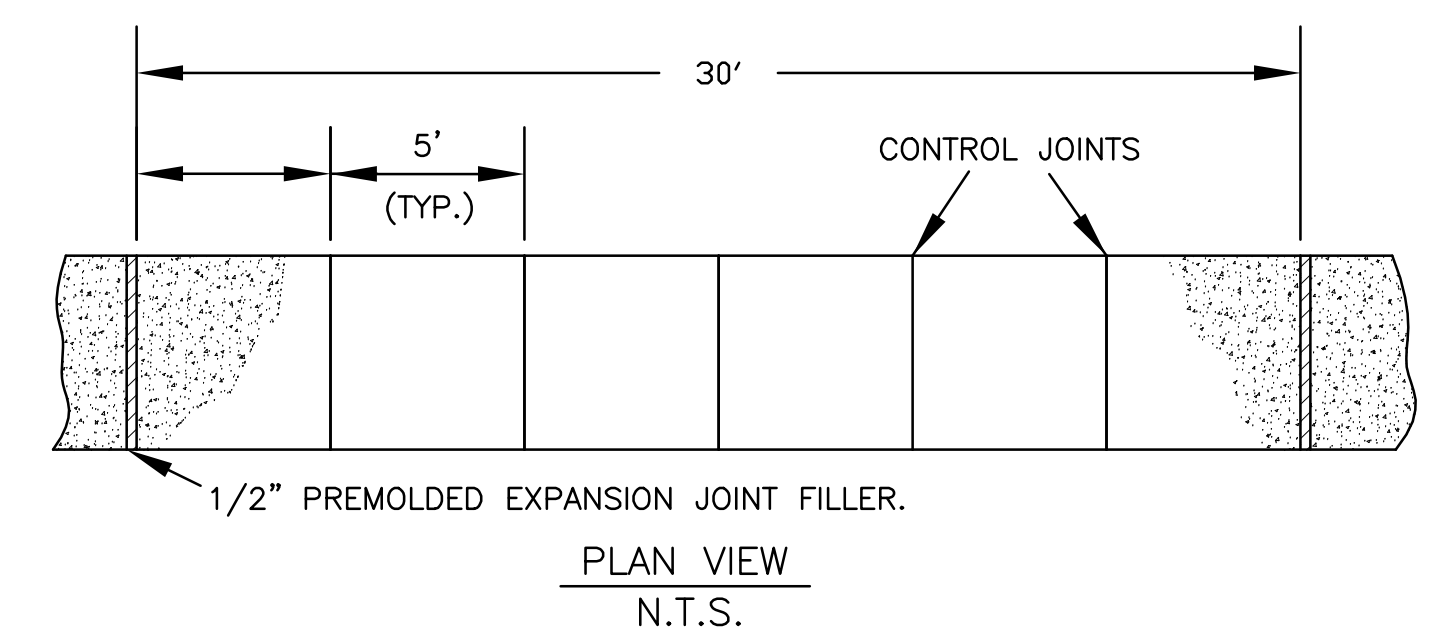


- 1 DEWATERING REQ'D. TO THIS LEVEL (MIN.). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- 2 WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.

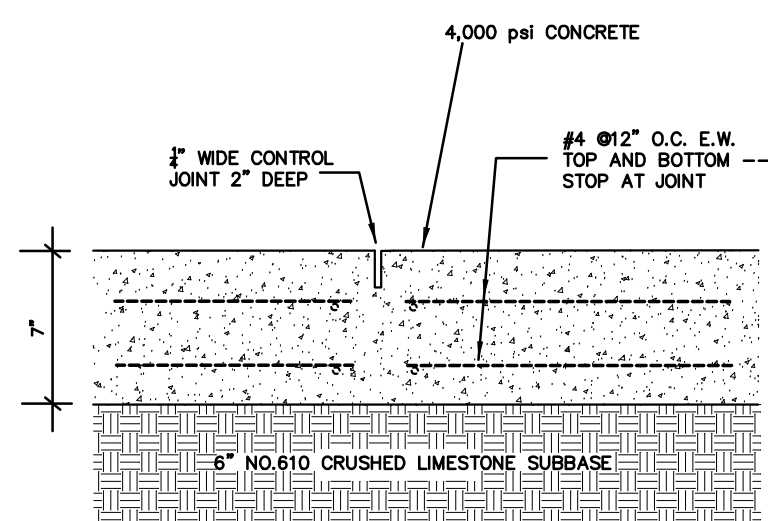


2 TYPICAL SERVICE ASSEMBLY
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NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY

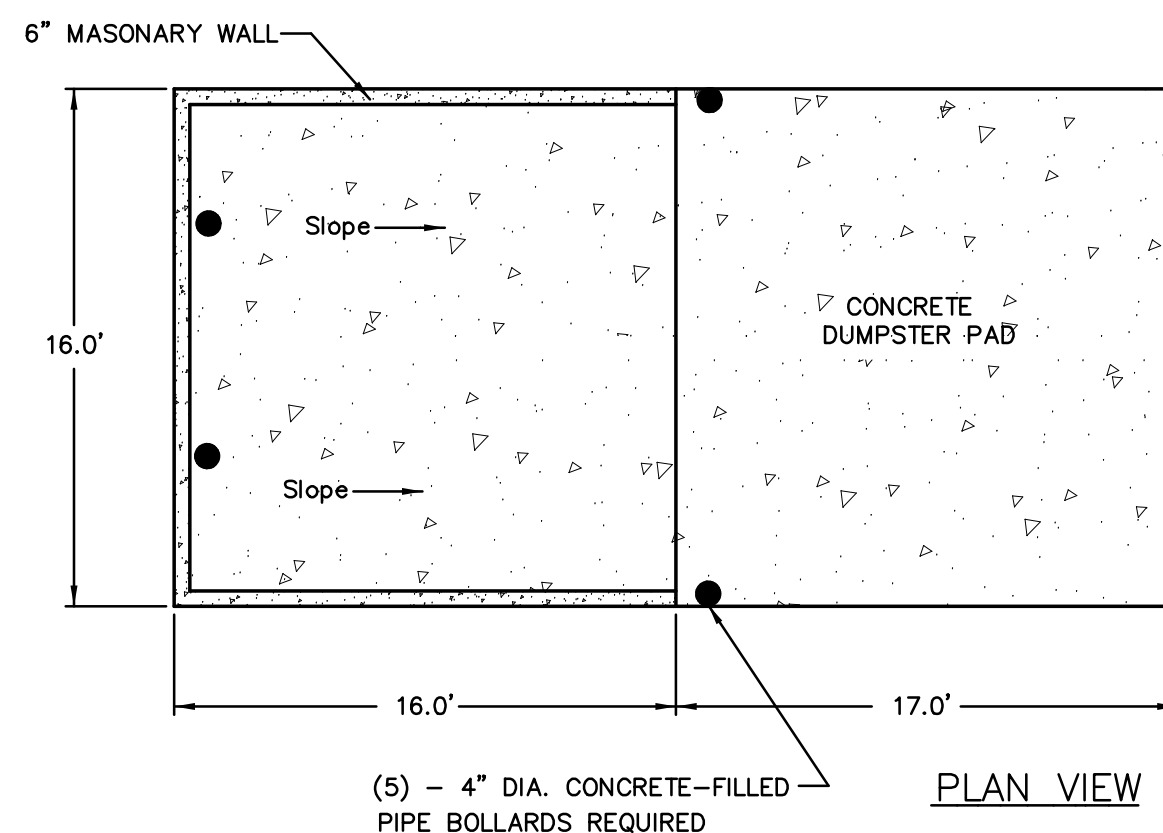


3 CONCRETE SIDEWALK SECTION DETAILS
5.0 N.T.S.



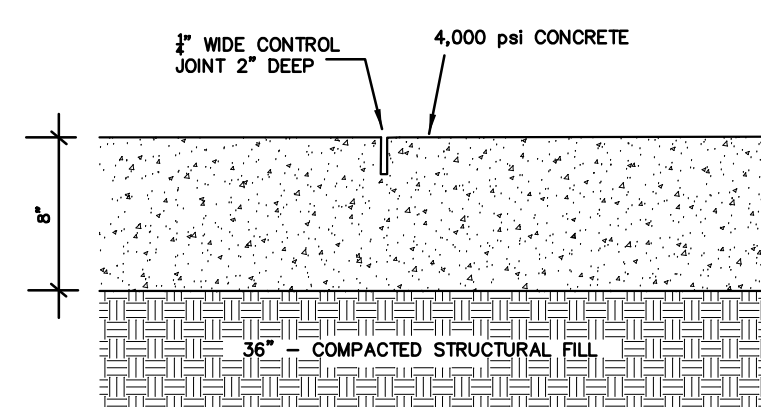
- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.

9 HEAVY DUTY CONCRETE PAVEMENT DETAIL
5.0 N.T.S.



6 DUMPSTER DETAIL
5.0 N.T.S.

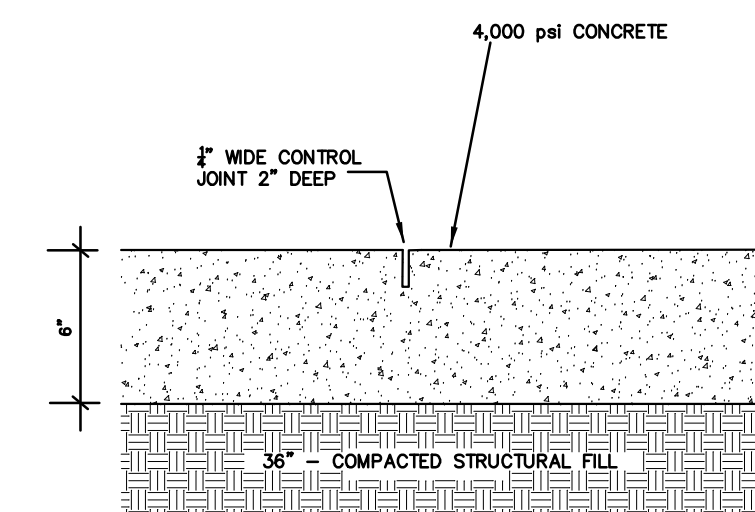
- NOTES:
1. 6 FOOT TALL CYCLONE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
2. 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
3. DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.



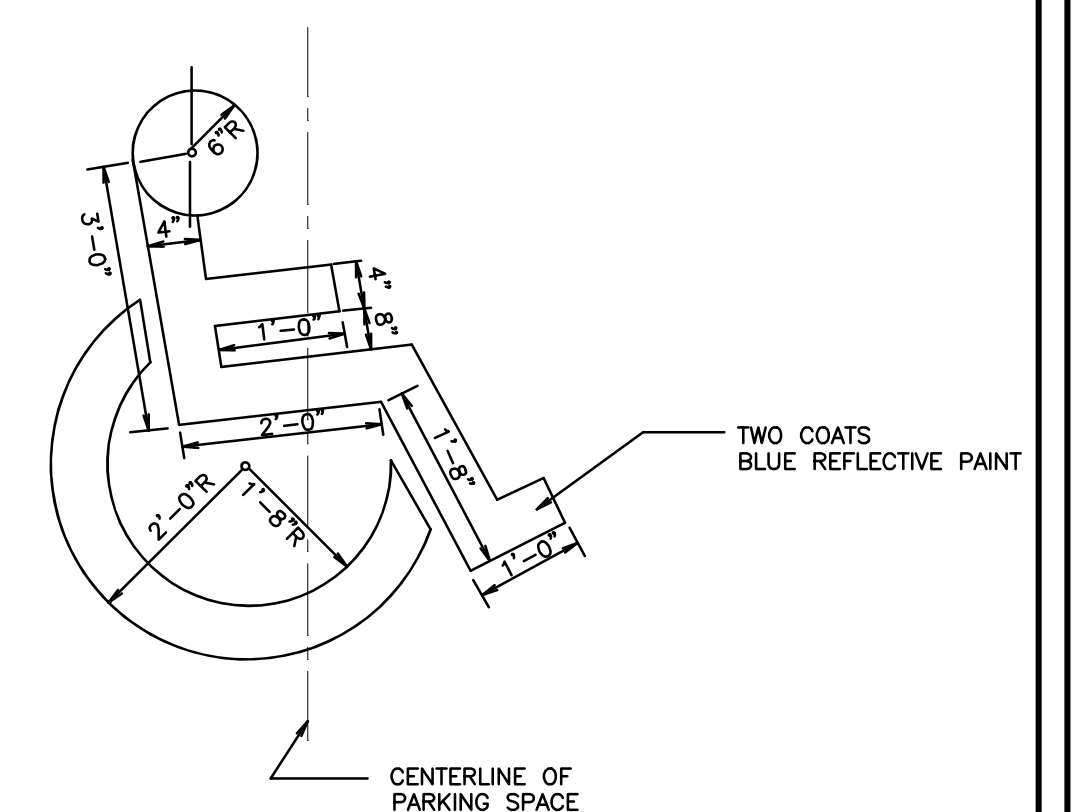
- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AS DESCRIBED IN THE GEOTECHNICAL REPORT BY BURNS COOLEY DENNIS, INC.
2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
3. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
4. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
5. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

8 HEAVY DUTY CONCRETE (DUMPSTER AREA)
5.0 N.T.S.

- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
4. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
5. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
6. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.



5 MEDIUM DUTY CONCRETE PAVEMENT DETAIL
5.0 N.T.S.



4 ACCESSIBILITY PARKING SYMBOL
5.0 N.T.S.

- NOTES:
1. ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.
4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

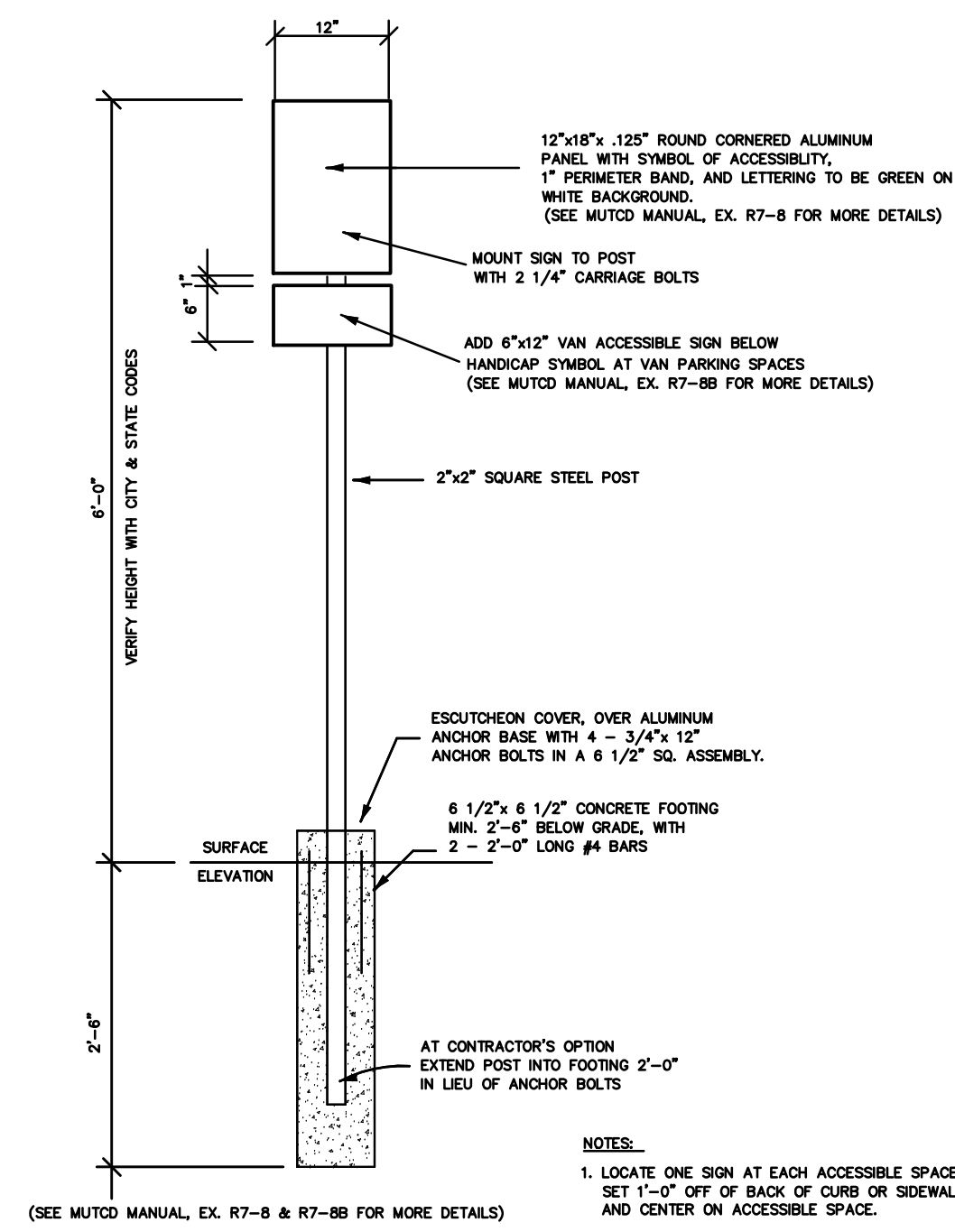
Date:	3/11/20
By:	CLB
Revisions:	Update Concrete Details
No.	1

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506 Jefferson Street - Clinton, MS 39056
Phone: (601) 925-5015

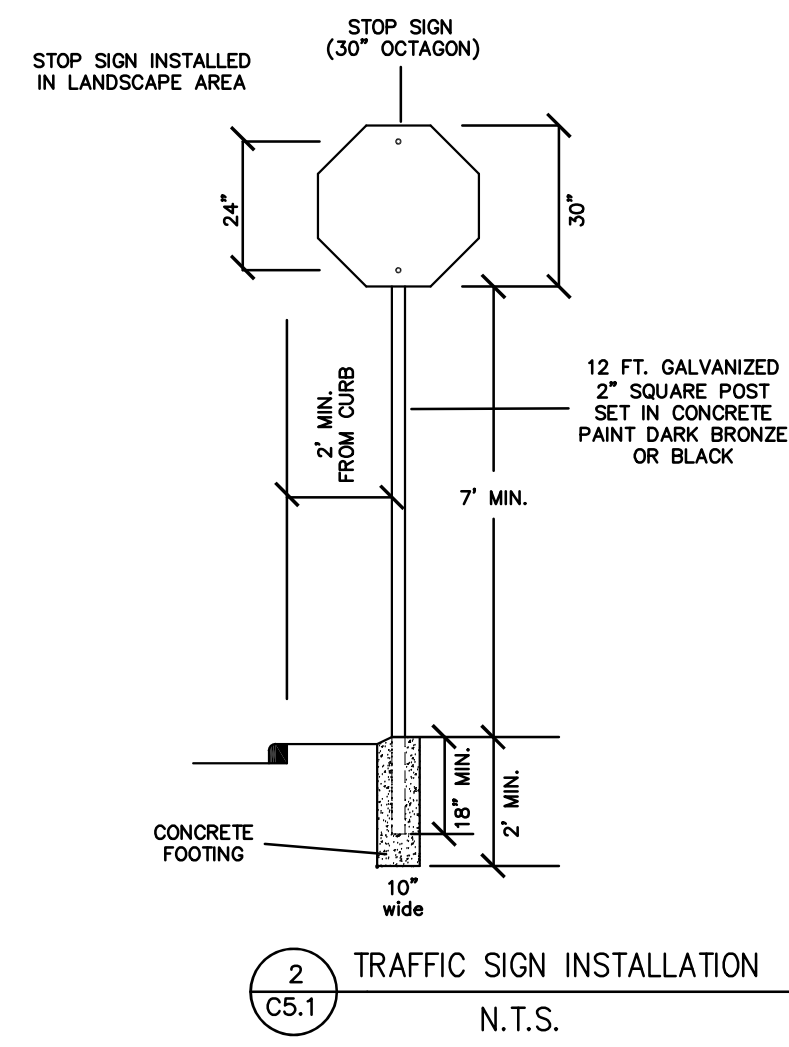
Project No.: # 4868
Date: 05/05/24
Scale: N.T.S.
Designed By: CLB
Reviewed By: CLB

SITE DETAILS
MILLS CONTRACTING
GLUCKSTADT, MISSISSIPPI

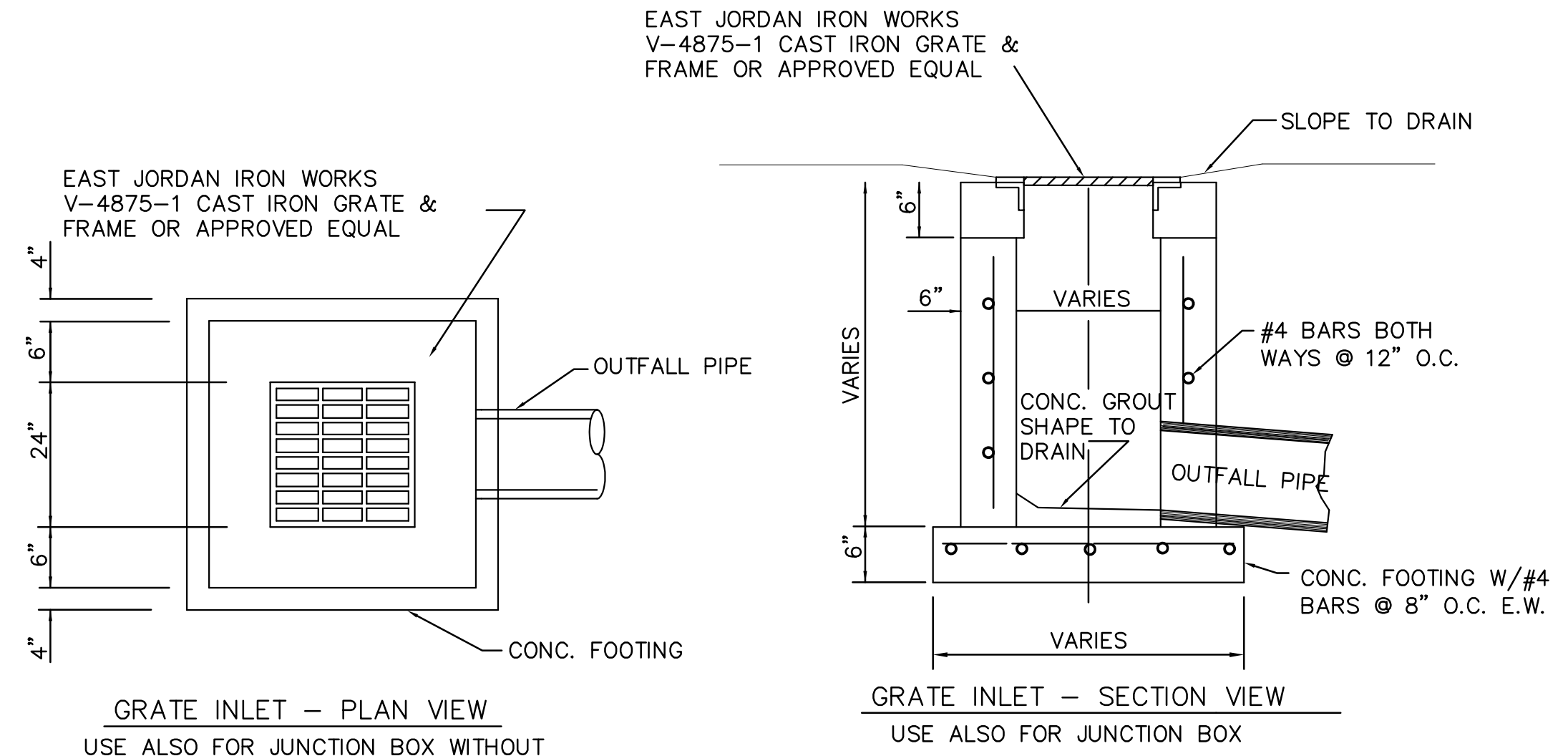
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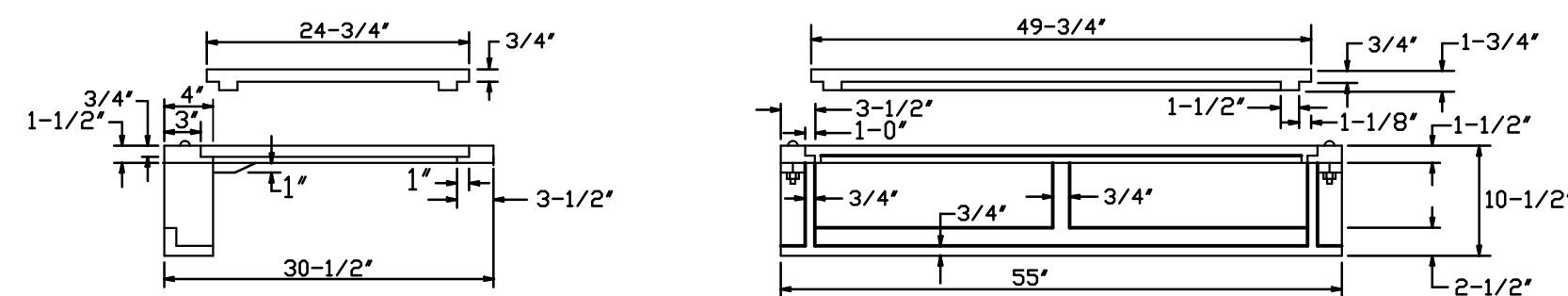
1 ACCESSIBILITY SIGNAGE DETAIL
N.T.S.



2 TRAFFIC SIGN INSTALLATION
N.T.S.

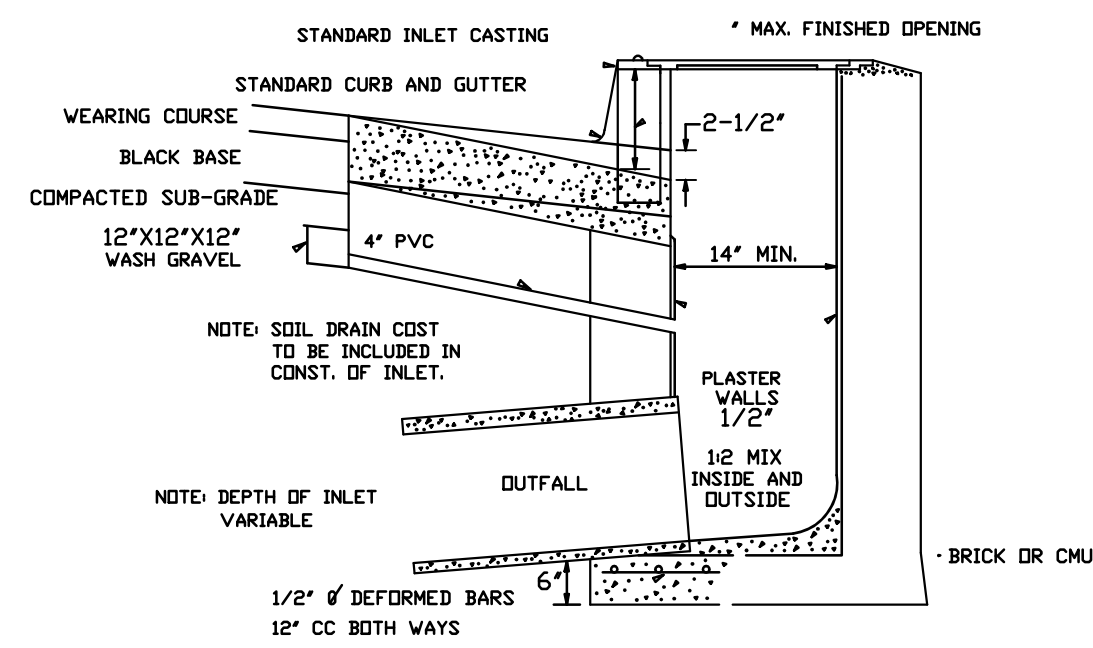


4 GRATE INLET DETAIL
N.T.S.



3 STANDARD CURB INLET CASTING
(VULCAN RCB-7)
NO SCALE

3 CURB INLET DETAIL
N.T.S.



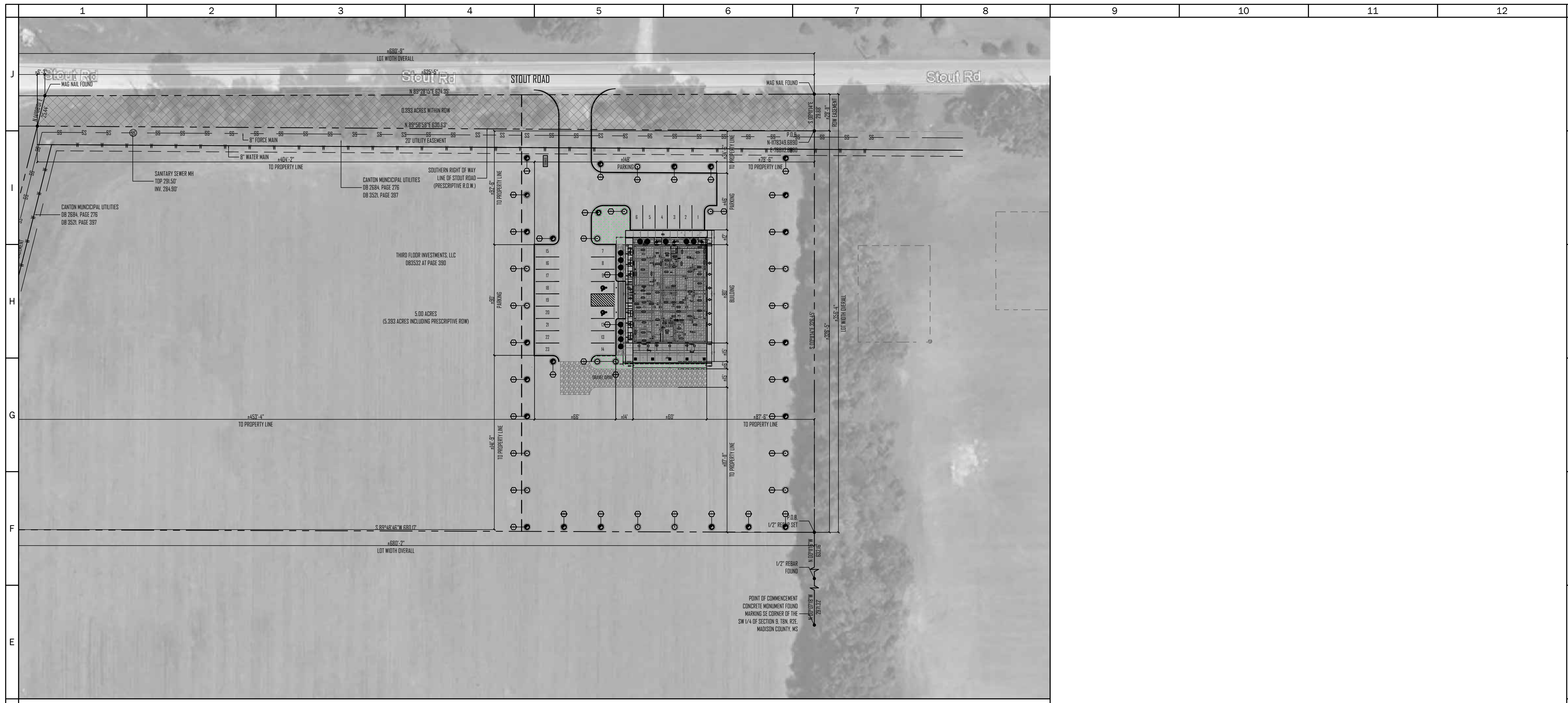
SECTION OF STANDARD CURB INLET
NO SCALE

Date:	3/11/20
By:	CLB
Revisions:	
No.	1
	Update Concrete Details

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39056
Phone: (601) 925 - 5015

Project No.: # 4868
Date: 05/05/2024
Scale: N.T.S.
Designed By: CLB
Reviewed By: CLB

SITE DETAILS
MILLS CONTRACTING
GLUCKSTADT, MISSISSIPPI



A1 LANDSCAPE PLAN
Scale: 1/4" = 1'-0"

GROUND COVER SCHEDULE					
SYMBOL	BOTANICAL NAMES	COMMON NAME	QTY.	MATURE SIZES	NOTES (SPREAD X HEIGHT)
GRASS					
	CYNODON DACTYLON	BERMUDA			VERIFY SEED AMT. N/A
INDICATES AREAS THAT ARE TO BE SOODED					
MULCH					
	N/A	PINE STRAW MULCH			VERIFY AMT. N/A
NATURALLY INSECT RESISTANT					
MISC.					
	N/A	CONCRETE SIDEWALK			VERIFY AMT. N/A
AS PER SITE PLANS AND DETAILS					
GENERAL NOTES					
CONSTRUCTION EXTENTS NOT SPECIFICALLY DESIGNATED FOR SOODING SHALL BE GRASS SEED AT A MINIMUM RATE OF 120-140 SEEDS PER SQUARE FOOT 20 POUNDS PER ACRE MINIMUM.					
PROVIDE PINE STRAW MULCH AS SHOWN AT A RATE OF 1 SQUARE BALE PER 9 SQUARE FEET					

A1 GROUND COVER SCHEDULE
Scale: 1/4" = 1'-0"

TREE AND SHRUB SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	MATURE SIZES	NOTES (SPREAD X HEIGHT)
TREES					
	WAXMYRTLE	MYRTICA CERIFERA	A		3' SPREAD X 6' HEIGHT PROVIDE 3" DIAMETER PINE STRAW OR MULCH PINE STRAW TREE BASE SINGLE TRUNK BASE PREFERRED
	POPPLELEAF PLUM	PRUNUS CCAHOCTERUS "ATYRSOPPUREA"	B		3' SPREAD X 6' HEIGHT PROVIDE 3" DIAMETER PINE STRAW OR MULCH PINE STRAW TREE BASE SINGLE TRUNK BASE PREFERRED
PLANT SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	MATURE SIZES	NOTES
PLANTS					
	BUDAI SEMPERVIRENS SUFRUTICOSA	DWARF REDWOOD	C		TYPICAL 2.5 QUART CONTAINER SIZE PLANT AT 7" ON CENTER BOTH DIRECTIONS IN AREAS DESIGNATED ON PLANS
	HEX CRENATA	TOUCH OF GOLD HOLLY	D		TYPICAL 2.5 QUART CONTAINER SIZE PLANT AT 7" ON CENTER BOTH DIRECTIONS IN AREAS DESIGNATED ON PLANS
GENERAL NOTES					
PROVIDE PINE STRAW MULCH AS SHOWN AT A RATE OF 1 SQUARE BALE PER 9 SQUARE FEET					
IF MULTIPLE SPECIES FOR EACH SYMBOL, ARE LISTED IN SCHEDULE PROVIDE EQUAL AMOUNTS OF THAT LISTED SPECIES					

A1 TREE AND SHRUB SCHEDULE
Scale: 1/4" = 1'-0"

ALL CONCEPTS, AND IDEAS CONVEYED IN CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF MC3LROY ARCHITECTURE, PLLC AND ASSOCIATED CONSULTANTS. THEY ARE SOLELY INTENDED FOR USE ON THIS PROJECT. ANY REUSE, REPRODUCTION OR ANY OTHER UNWARRANTED APPLICATION OF THESE DOCUMENTS ARE STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF MC3LROY ARCHITECTURE, PLLC. DO NOT SCALE FROM DRAWINGS. DIMENSIONS ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF THE PROJECT. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING THE ARCHITECT.

MC3LROY
ARCHITECTURE
William L. McElroy, AIA, NCARB
4880 McWILLIE CIRCLE
JACKSON, MISSISSIPPI 39206
TELEPHONE: (601) 981-1227
FACSIMILE: (601) 983-4444

PROJECT:
MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
???? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McElroy
PROJECT NUMBER: 24-006
DATE: 03/01/2024
DRAWN BY: PLM
CHECKED BY: McElroy
REVISIONS: 1. 05/21/24
2. _____
3. _____
4. _____

SEAL:

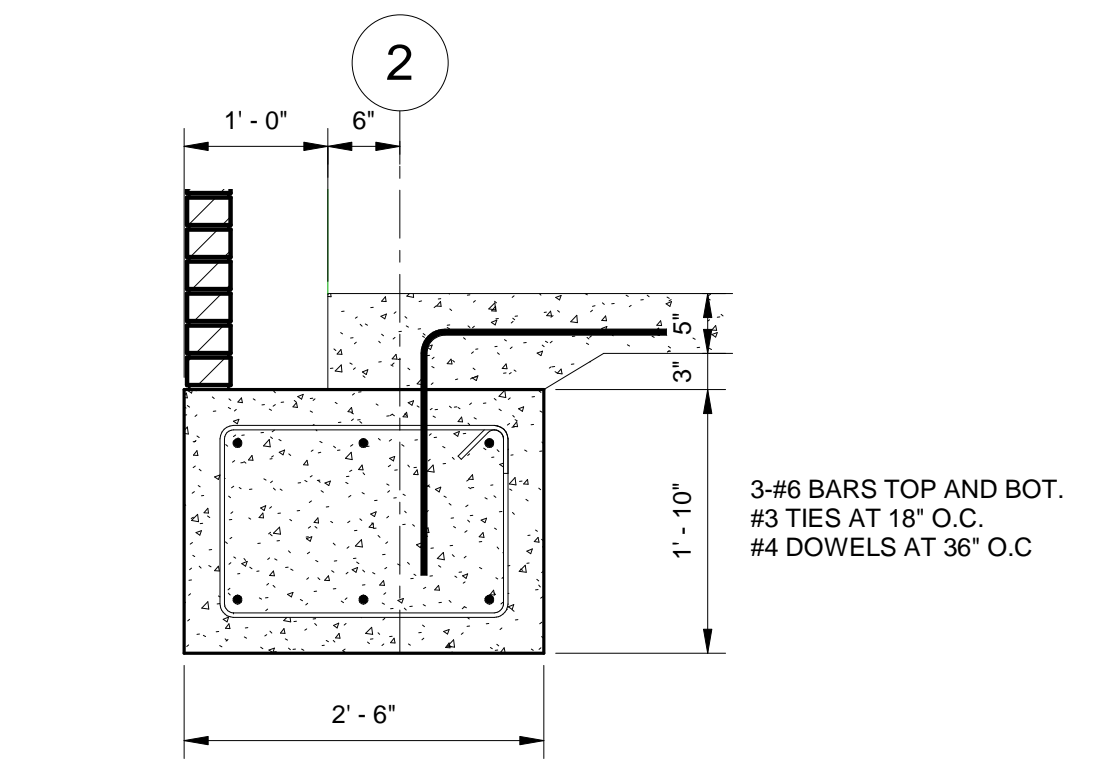
SHEET TITLE:
PROJECT LANDSCAPE PLAN

SHEET NUMBER:
L1.00.0
Mc3LROY ARCHITECTURE, PLLC

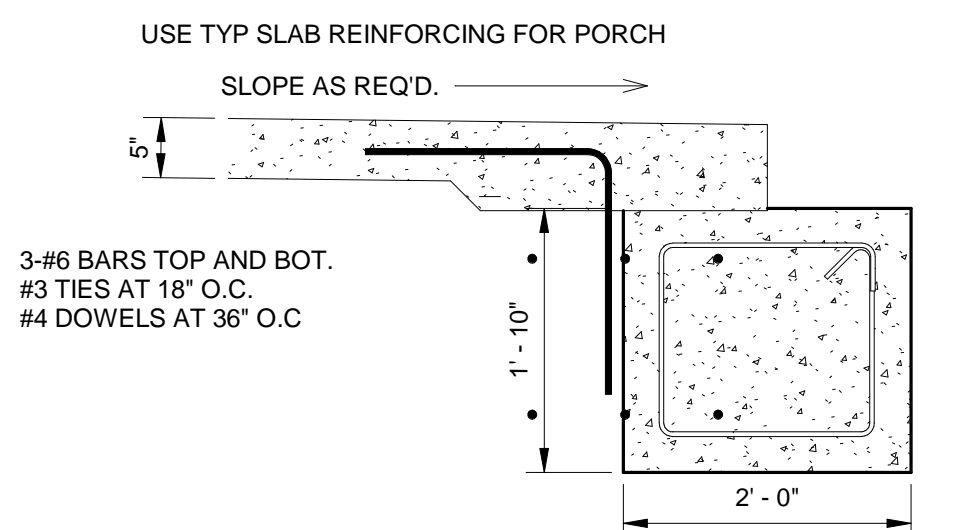
GENERAL NOTES:

- All concrete shall conform to current ACI specifications and shall be as follows: regular sand and gravel with minimum of 3500 psi compressive strength in 28 days in slabs and gradebeams. Maximum slump of 5".
- Provide necessary reinforcing steel accessories to hold bars in proper position.
- Provide corner bars of same size and number as horizontal bars at all corners of gradebeams.
- All reinforcing shall be deformed, ASTM 615, Grade 60.
- All detailing and fabrication of reinforcing bars must follow the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures."
- All placing of reinforcing bars in the forms must follow the CRSI "Recommended Practice for Placing Reinforcing Bars."
- All bars are to be supported in the forms with wire bar supports meeting the requirements of the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures."
- Lap splices as specifically called for, but as least 36 bar diameters (18" min.).
- All reinforcing bars shall be securely wired together in the forms. Two-way mats of steel column ties, and beam stirrups shall be tied sufficiently to hold them securely in place.
- All reinforcing shall have concrete cover as specified in ACI-318.
- Design live loads for roofs and wind are in accordance with the "International Building Code", 2018 Edition.
ULTIMATE WIND SPEED = 120 MPH
RISK CATEGORY II
EXPOSURE CATEGORY = B
- The contractor shall be responsible for the design, placement, and maintenance of any and all shoring, bracing, or tie-backs needed to support any part of the construction during the construction process. It is the contractor's responsibility to ensure the safety and integrity of the structure until the necessary permanent elements are in place.
- This design is for foundation **ONLY**. All other aspects of this building is by others. **Verify all with architectural drawings.**
SOIL BORINGS HAVE BEEN DONE BY LADNER ON 2/2/24. THESE DO NOT HAVE RECOMMENDATIONS. SOIL REPORT WITH RECOMMENDATIONS REQUIRED TO VERIFY THE FOLLOWING ASSUMPTIONS:
1. THE SOIL WILL SUPPORT 2000PSF FROM BUILDING.
2. THE TOTAL SETTLEMENT IS LESS THAN 1"
3. THE TOTAL DIFFERENTIAL SETTLEMENT IS LESS THAN 1" ACROSS THE DIAGONAL OF THE BUILDING.

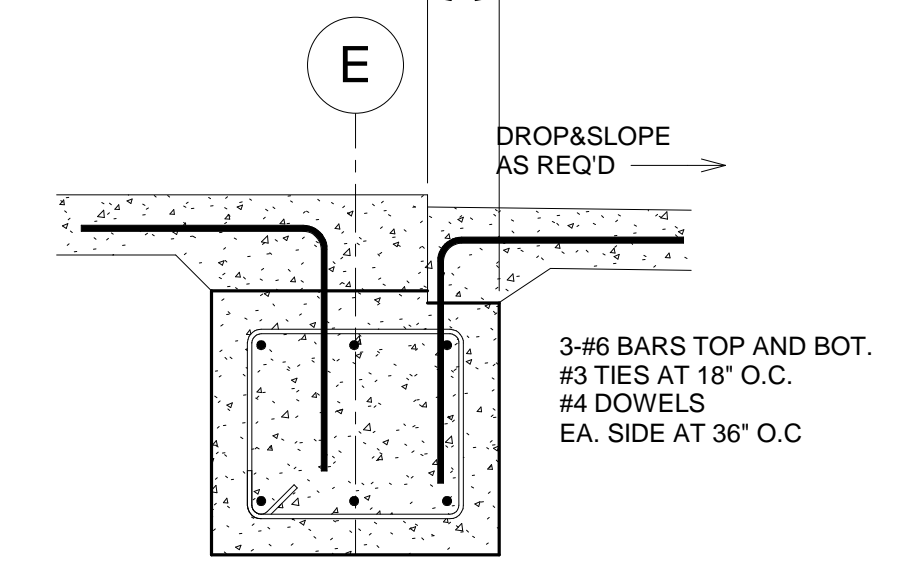
1 NOTES
3/16" = 1'-0"



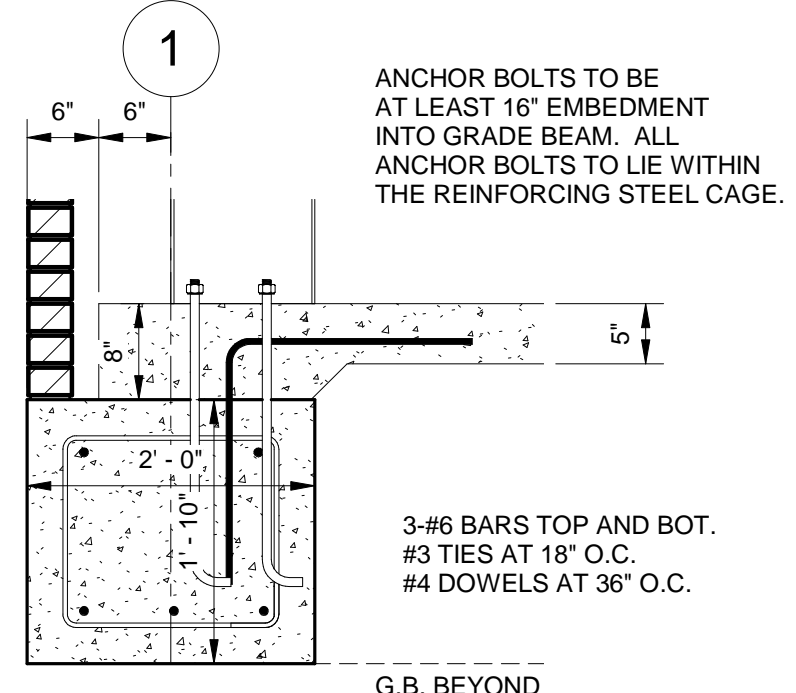
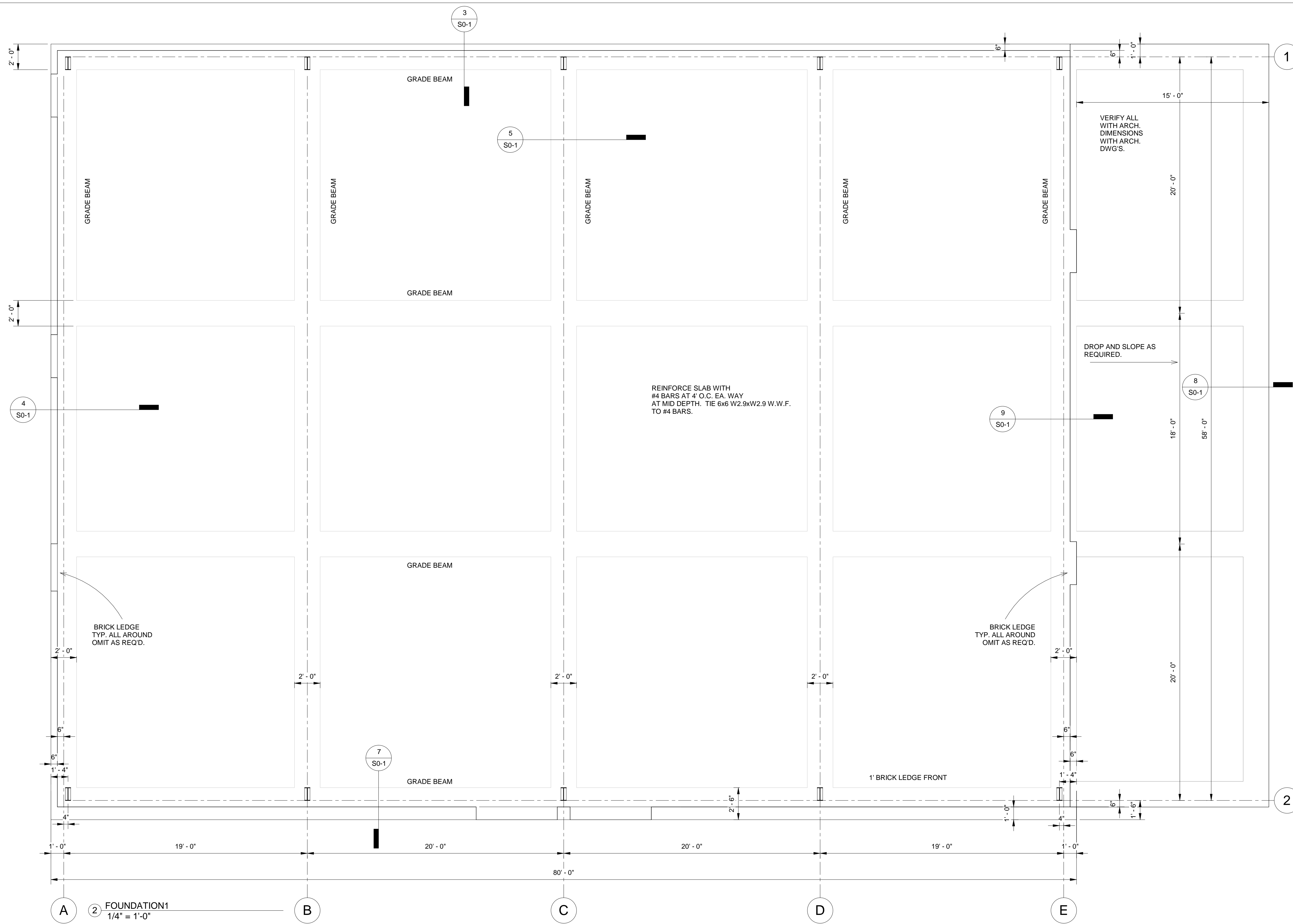
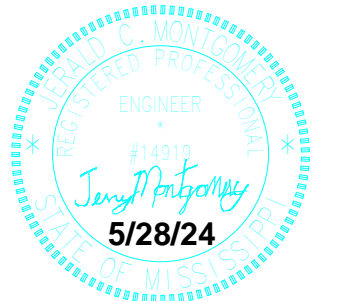
7 EXTERIOR G.B. FRONT
3/4" = 1'-0"



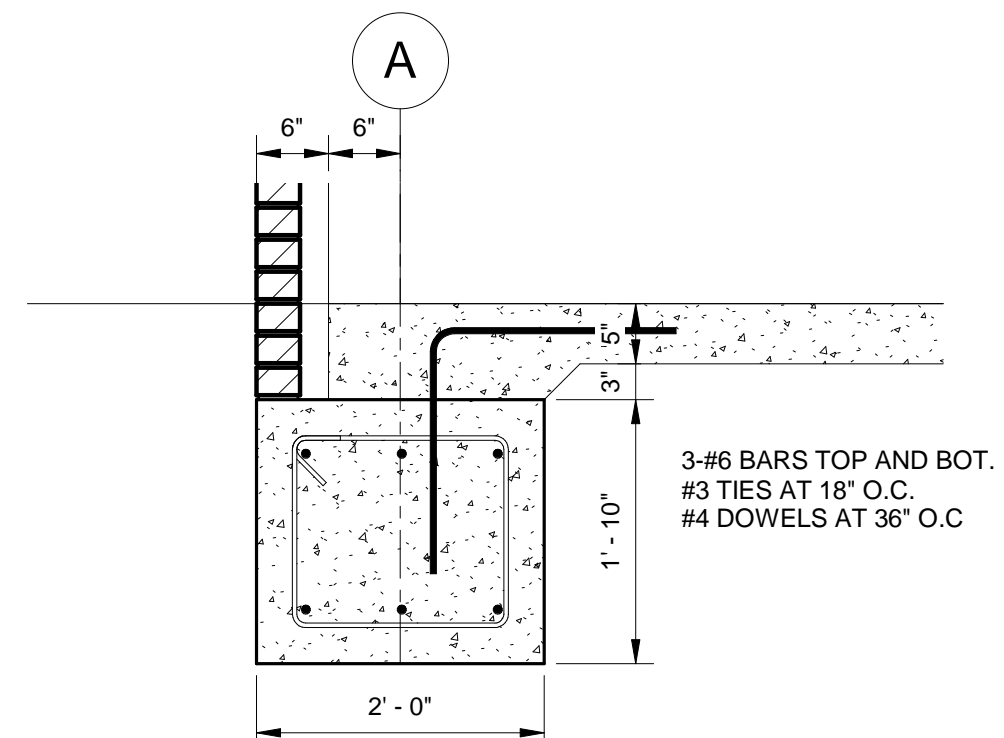
8 PORCH
3/4" = 1'-0"



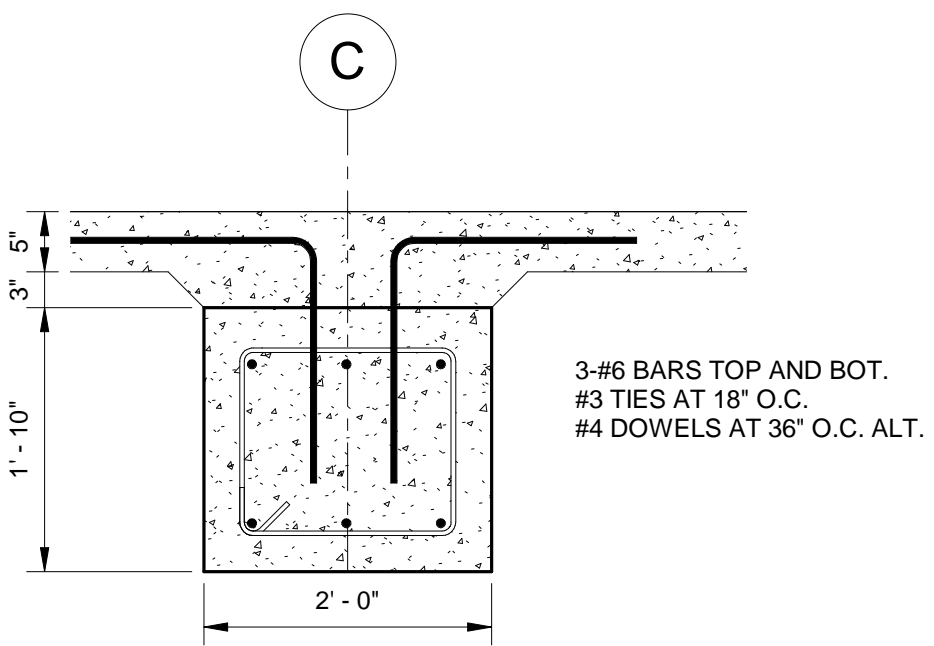
9 PORCH/BUILDING
3/4" = 1'-0"



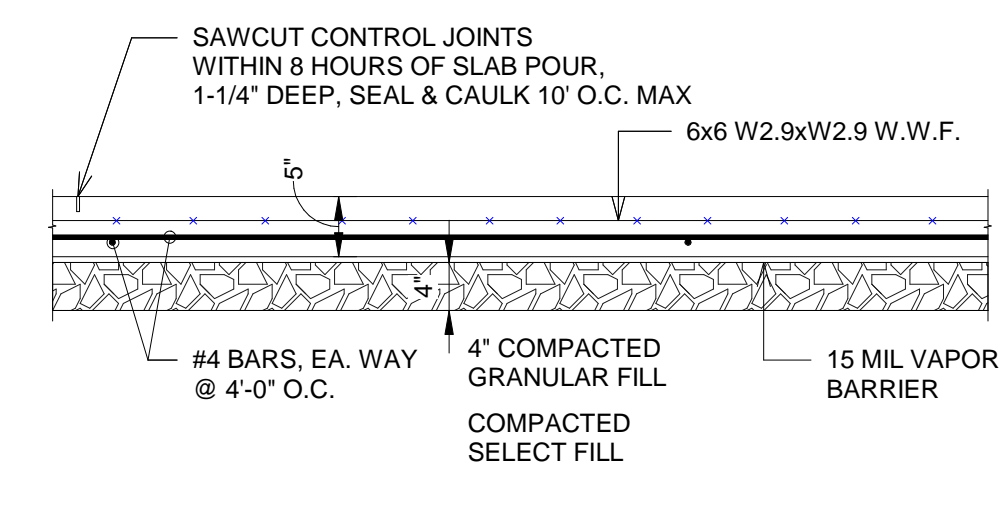
3 EXTERIOR G.B. BACK
3/4" = 1'-0"



4 EXTERIOR G.B. LEFT & RIGHT
3/4" = 1'-0"



5 INTERIOR G.B.
3/4" = 1'-0"

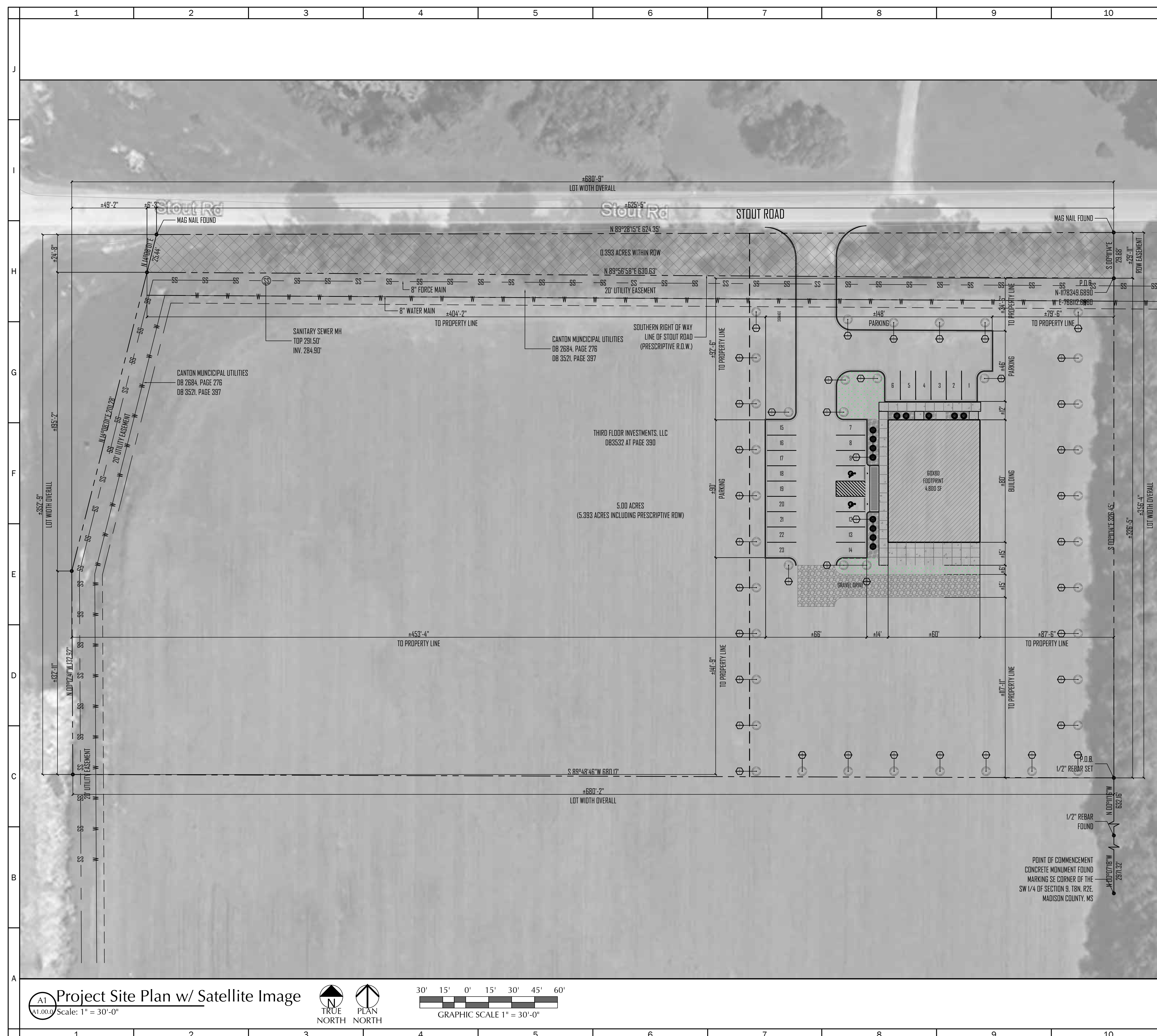


6 TYPICAL SLAB ON GRADE DETAIL
3/4" = 1'-0"

2nd Moment
STRUCTURAL ENGINEERING

P.O. Box 889
Florence, MS 39073
Phone: (601) 845-1655
Fax: (601) 845-0785

DRAWN BY: J.M.	JOB #
CHECKED BY: J.M.	DATE: MAY 2024
MILLS CONTRACTING	
GLUCKSTADT, MS	
REVISIONS	



GENERAL NOTES:

- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS OR SUSPECTS ANY DISCREPANCY BETWEEN THE DRAWINGS, AND THE PHYSICAL CONDITIONS OF THE SITE OR WORK, OR ANY ERRORS OR OMISSIONS IN THE CONTRACT DRAWINGS OR SPECIFICATIONS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, AND THE ARCHITECT SHALL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNLESS AUTHORIZED, SHALL BE AT THE CONTRACTOR'S RISK.
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- IN CASE OF CONFLICT BETWEEN ARCHITECT'S GENERAL SITE NOTES AND ENGINEERS GENERAL SITE NOTES, THE ENGINEERS GENERAL SITE NOTES SHALL TAKE PRECEDENCE. ALL A.D.A. SINAGE AND DESIGNATIONS SHALL BE CONSTRUCTED UP TO THE STANDARDS OF THE LATEST EDITION OF THE A.D.A. STANDARDS OF ACCESSIBLE DESIGN AND SHALL TAKE PRECEDENCE OVER ARCHITECT'S DRAWINGS.
- ALL DISTURBED AREAS OF THE SITE SHALL ALSO BE FINE GRADED WITH NEW TOPSOIL AND PLANTED WITH SPECIFIED GRASS SEED WITH MULCH COVER OR SPECIFIED SOLID SOD.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE PROTECTED BY EROSION CONTROL MEASURES SUCH AS FABRIC FENCING, HAY BALES, ETC. AS DIRECTED BY THE CIVIL ENGINEER.
- THE CONTRACTOR SHALL GRADE AROUND THE BUILDING TO ACHIEVE A SWALE AND PROPER DRAINAGE AWAY FROM THE BUILDING. DRAINAGE WORK MUST PREVENT THE BUILDINGS FROM RECEIVING ANY OF THE DRAINAGE TOWARD THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT STAKING AND OTHER SURVEYING REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS.

Mc3LROY ARCHITECTURE

William L. McElroy, AIA, NCARB
 4880 McWILLIE CIRCLE
 JACKSON, MISSISSIPPI 39206
 TELEPHONE: (601) 981-1227
 FACSIMILE: (601) 985-4444

PROJECT: _____

MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
 A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
 ??? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McELROY

PROJECT NUMBER: 24-006

DATE: 03/01/2024

DRAWN BY: PLM

CHECKED BY: McELROY

REVISIONS: 1. 05/21/24
 2. _____
 3. _____
 4. _____

SEAL: _____

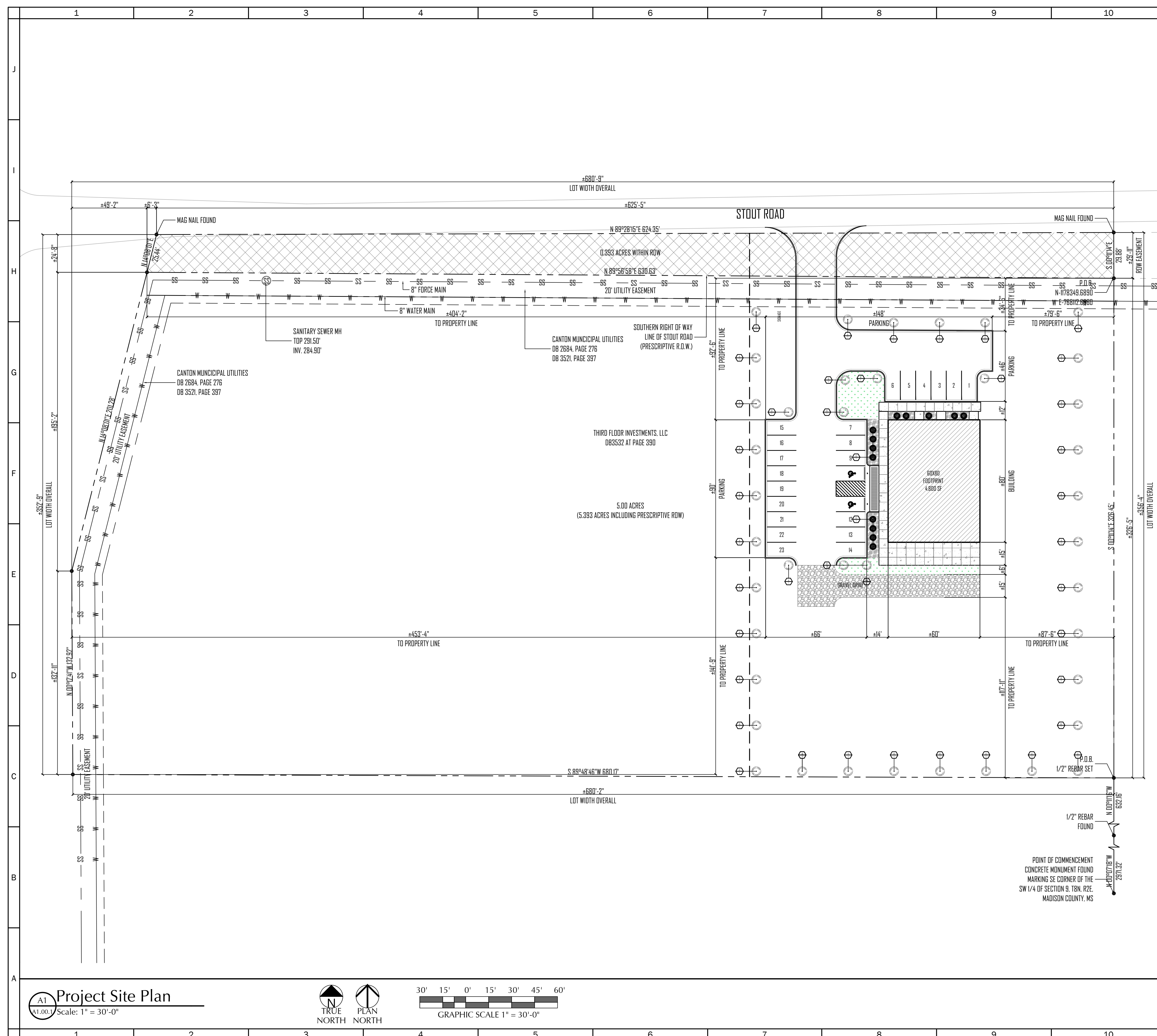
SHEET TITLE:
 PROJECT
 SITE PLAN
 W/ SATELLITE IMAGE

SHEET NUMBER
A1.00.0
 Mc3LROY
 ARCHITECTURE, PLLC

A1 Project Site Plan w/ Satellite Image
 Scale: 1" = 30'-0"

TRUE NORTH PLAN NORTH

30' 15' 0' 15' 30' 45' 60'
 GRAPHIC SCALE 1" = 30'-0"



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- ALL DISTURBED AREAS OF THE SITE SHALL ALSO BE FINE GRADED WITH NEW TOPSOIL AND PLANTED WITH SPECIFIED GRASS SEED WITH MULCH COVER OR SPECIFIED SOLID SOD.
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- THE CONTRACTOR SHALL GRADE AROUND THE BUILDING TO ACHIEVE A SWALE AND PROPER DRAINAGE AWAY FROM THE BUILDING. DRAINAGE WORK MUST PREVENT THE BUILDINGS FROM RECEIVING ANY OF THE DRAINAGE TOWARD THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT STAKING AND OTHER SURVEYING REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS.

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PROJECT: _____

MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
???? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McELROY

PROJECT NUMBER: 24-006

DATE: 03/01/2024

DRAWN BY: PLM

CHECKED BY: McELROY

REVISIONS: 1. 05/21/24
2. _____
3. _____
4. _____

SEAL: _____

SHEET TITLE:
PROJECT SITE PLAN

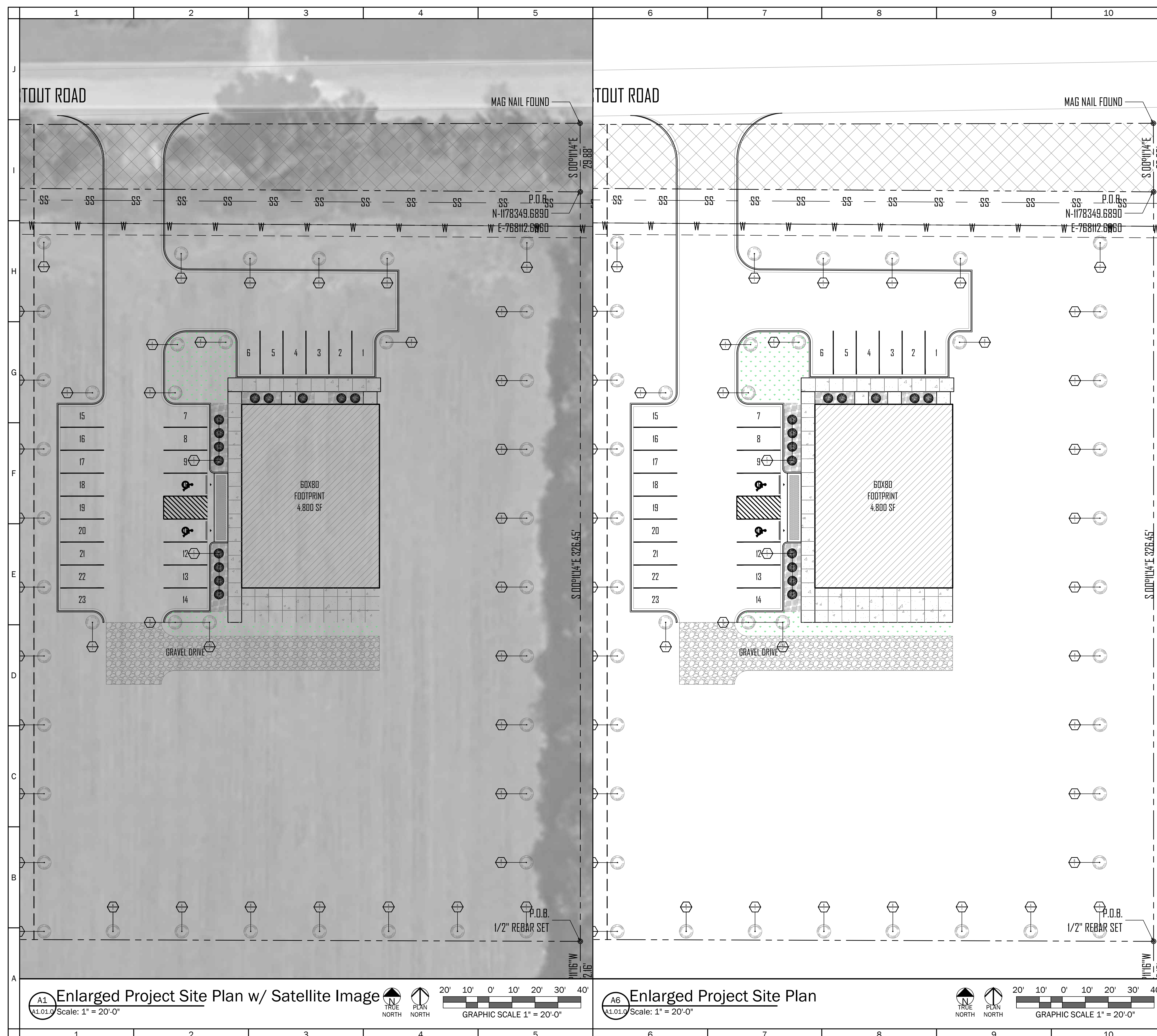
SHEET NUMBER
A1.00.1
Mc3LROY ARCHITECTURE, PLLC

A1 Project Site Plan
Scale: 1" = 30'-0"

TRUE NORTH PLAN NORTH

30' 15' 0' 15' 30' 45' 60'
GRAPHIC SCALE 1" = 30'-0"

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GENERAL NOTES:

- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS OR SUSPECTS ANY DISCREPANCY BETWEEN THE DRAWINGS, AND THE PHYSICAL CONDITIONS OF THE SITE OR WORK, OR ANY ERRORS OR OMISSIONS IN THE CONTRACT DRAWINGS OR SPECIFICATIONS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, AND THE ARCHITECT SHALL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNLESS AUTHORIZED, SHALL BE AT THE CONTRACTOR'S RISK.
- THE CONTRACTOR SHALL, PRIOR TO CONSTRUCTION FLAG ANY AND ALL UTILITY LINES, PIPES, AND CONDUITS, AND USE EXTREME CAUTION WHEN WORKING OVER OR NEAR SUCH LINES. ANY DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES THAT ARE SUBJECT TO DAMAGE FROM THE CONSTRUCTION PROCESS OR CONSTRUCTION VEHICLES AND/OR EQUIPMENT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DAMAGES OR WOUNDS TO THE TREES. ALL SUCH DAMAGES OR WOUNDS SHALL BE TREATED IN A MANNER DIRECTED BY THE ARCHITECT.
- ALL DIMENSIONS ARE TO FACE OF WALLS, CURBS, OR SURFACES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- UTILITY LAYOUTS SHOWN ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATION WITH THE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING UTILITY PLACEMENT WITH THE APPROPRIATE UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH AND DEBRIS FROM THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SITE AGAINST VANDALS AND THEFT. THE TERM "TYPICAL" SHALL DENOTE THE SAME OR SIMILAR MANNER OF WORK AND MATERIALS AS DESIGNATED THROUGHOUT THE CONTRACT CONSTRUCTION DRAWINGS AND AS DESCRIBED BY THE PROJECT SPECIFICATIONS IN APPROPRIATE AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATIONS AND QUANTITIES OF MATERIALS TO BE INSTALLED AND USED.
- ALL ITEMS ON THESE PLANS EITHER DRAWN, NOTED OR OTHERWISE IMPLIED SHALL BE CONSIDERED A PART OF THESE PLANS. FOR ANY AREAS OR ITEMS IN QUESTION THE CONTRACTOR SHALL CONTACT THE ARCHITECT IN WRITING TWO DAYS BEFORE SUBMITTING HIS BID OTHERWISE THE ARCHITECT'S INTERPRETATION MUST BE ACCEPTED.
- THE CONTRACTORS SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND IN ACCORDANCE WITH THE LOCAL JURISDICTION'S CODES.
- THE CONTRACTOR SHALL COORDINATE WITH ALL SUBCONTRACTORS AND SUPPLIERS AS TO WHO FURNISHES AND WHO FINISHES ITEMS FOR A COMPLETED JOB.
- NO OPENINGS IN SLABS SHALL BE PROVIDED UNLESS SHOWN ON THE FOUNDATION PLAN AND/OR APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL REMOVE ALL WOOD SCREEDS AND STAKES FROM THE CONCRETE AFTER POURS. NO WOOD OR OTHER ORGANIC MATERIALS WILL BE LEFT IN OR BELOW CONCRETE AREAS.
- ALL CONCRETE FLOOR SLABS SHALL HAVE A FINISH TO A MAXIMUM TOLERANCE OF 1/8" IN 10'.
- ALL PERSONS DESIRING TO SUBMIT A FORMAL BID FOR THE SCOPE OF WORK OUTLINED WITHIN THESE CONSTRUCTION DOCUMENTS SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO SUBMITTING A FORMAL BID TO FAMILIARIZE THEMSELVES WITH THE SITE.

GENERAL SITE NOTES:

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL COORDINATE THE LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY BEFORE CONSTRUCTION BEGINS.
- UTILITY MAIN LINES OR SERVICE LINES ENCOUNTERED DURING CONSTRUCTION, WHETHER SHOWN ON THE DRAWINGS OR NOT, SHALL BE PROTECTED BY THE CONTRACTOR AND REPAIRS NECESSARY DUE TO DAMAGE TO SAME BY THE CONTRACTOR SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL ESTABLISH A VEGETATIVE COVER ON ALL AREAS WHERE THE EXISTING VEGETATION WAS REMOVED OR DISTURBED DURING CONSTRUCTION, UNLESS SOLID SOD IS REQUIRED. SOLID SOD MAY BE REQUIRED AS DIRECTED BY THE ENGINEER. AT A MINIMUM, DEGRADABLE EROSION CONTROL BLANKET IS REQUIRED ON ALL SLOPES 3:1 OR GREATER AND ALL FLOWLINES.
- UNSATURABLE BEDDING, BACKFILL OR SITE SUBGRADE MATERIAL WHICH MAY BE ENCOUNTERED SHALL BE EXCAVATED TO THE LIMITS REQUIRED AND BACKFILLED WITH ACCEPTABLE MATERIAL TO THE LINES AND GRADES AS SHOWN ON DRAWINGS.
- TBM'S WHICH ARE OR MAY BE IN CONFLICT WITH CONSTRUCTION ACTIVITIES SHALL BE RELOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THE IMMEDIATE AREA.
- DETAILED CONSTRUCTION STAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AN ABSORBED COST ITEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL FEDERAL, STATE, AND LOCAL PERMITS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKETS AND ESTABLISH A VEGETATIVE COVER ON ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF WORK IN THE ASSOCIATED AREA SUCH THAT EROSION OF DISTURBED AREAS IS MINIMIZED.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- PROVISIONS TO PREVENT EROSION OF SOILS FROM SITE SHALL BE AT MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOUISIANA DEPARTMENT OF ENVIRONMENTAL QUALITY, BEST MANAGEMENT PRACTICES.
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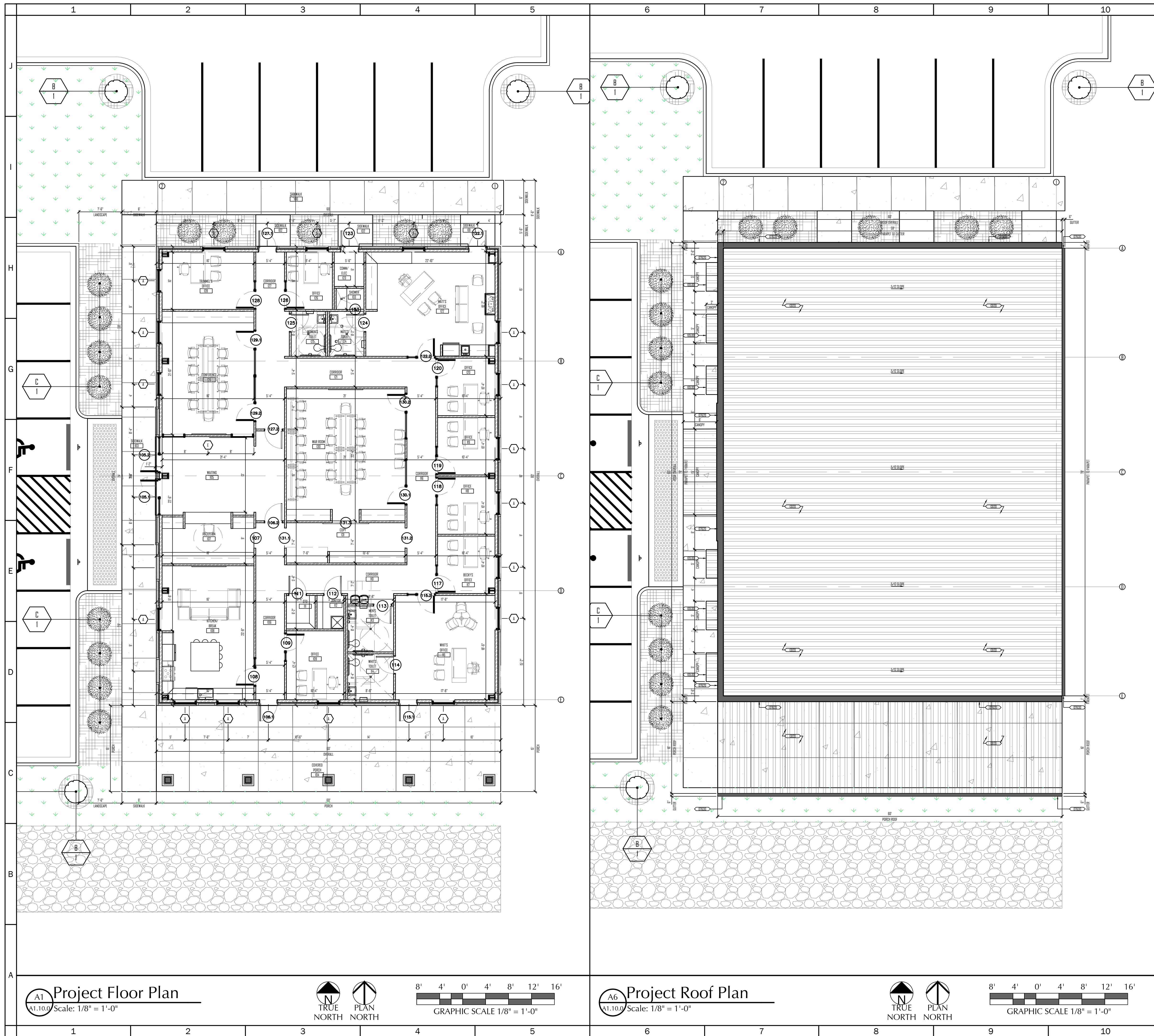
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SEAL: _____

SHEET TITLE:
ENLARGED PROJECT SITE PLANS

SHEET NUMBER
A1.01.0
Mc3LROY ARCHITECTURE, PLLC

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- ROOF PLAN KEY NOTES**
- 07620 SHEET METAL FLASHING AND TRIM
0.05 ALUMINUM FLASHING, KYNAR 500 FINISH, COLOR SELECTED FROM MANUFACTURERS STANDARD RANGE
 - 07630 GUTTERS AND DOWNSPOUTS
6" RECTANGULAR STYLE ALUMINUM GUTTER, COLOR SELECTED FROM STANDARD RANGE
 - 10530 EXTRUDED ALUMINUM WALKWAY COVERS
HEAT TREATED ALUMINUM EXTRUDED CANOPY WITH FACTORY FINISHED BAKED ON POLYESTER COATING, COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD RANGE, WALL MOUNTED WITH HANGER ROD SUPPORTS
 - 12020 PRE ENGINEERED METAL BUILDING SYSTEM
PRE ENGINEERED METAL BUILDING ROOF PANELS (SEE SPECS)
- GENERAL STANDING SEAM METAL ROOF NOTES**
1. DETAILS OUTLINED WITHIN THIS PROJECT ARE BASED ON THE INSTALLATION OF A STANDING SEAM METAL ROOF SYSTEM. REFER TO SPECIFICATIONS FOR ACCEPTABLE EQUAL PRODUCTS (IF APPLICABLE) AND WARRANTY REQUIREMENTS. SYSTEM INSTALLATION SHALL BE IN STRICT CONFORMANCE TO MANUFACTURERS RECOMMENDATIONS.
 2. EXAMINE METAL PANEL SYSTEM SUBSTRATE AND SUPPORTS WITH INSTALLER PRESENT. INSPECT FOR ERECTION TOLERANCES AND OTHER CONDITIONS THAT WOULD ADVERSELY AFFECT INSTALLATION OF METAL PANEL INSTALLATION.
 3. INSPECT METAL PANEL SUPPORT SUBSTRATE TO DETERMINE IF SUPPORT COMPONENTS ARE INSTALLED AS INDICATED ON APPROVED SHOP DRAWINGS. CONFIRM PRESENCE OF ACCEPTABLE SUPPORTS AT RECOMMENDED SPACINGS TO MATCH INSTALLATION REQUIREMENTS OF METAL PANELS.
 4. CONFIRM THAT PANEL SUPPORTS ARE WITHIN TOLERANCES ACCEPTABLE TO METAL PANEL SYSTEM MANUFACTURER BUT NOT GREATER THAN THE FOLLOWING:
 - A. 1/4 INCH (6 MM) IN 20 FOOT (6.1 M) IN ANY DIRECTION.
 - B. 3/8 INCH (9.5 MM) OVER ANY SINGLE ROOF PLANE.
 5. CORRECT OUT-OF-TOLERANCE WORK AND OTHER DEFICIENT CONDITIONS PRIOR TO PROCEEDING WITH INSULATED METAL ROOF PANEL SYSTEM INSTALLATION.
 6. INSTALL SUBFRAMING, CHITS, FURRING, AND OTHER MISCELLANEOUS PANEL SUPPORT MEMBERS ACCORDING TO ASTM C754 AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
 7. PROVIDE FLASHINGS AS REQUIRED TO COMPLETE METAL ROOF PANEL SYSTEM. INSTALL IN ACCORDANCE WITH SECTION 07 62 00 "SHEET METAL FLASHING AND TRIM" AND APPROVED SHOP DRAWINGS.
 8. INSTALL WEATHERTIGHT METAL PANEL SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, APPROVED SHOP DRAWINGS, AND PROJECT DRAWINGS. INSTALL METAL ROOF PANELS IN ORIENTATION, SIZES, AND LOCATIONS INDICATED. FREE OF WAVES, WARPS, BUCKLES, FASTENING STRESSES, AND DISTORTIONS. ANCHOR PANELS AND OTHER COMPONENTS SECURELY IN PLACE. PROVIDE FOR THERMAL AND STRUCTURAL MOVEMENT.
 9. ATTACH PANELS TO SUPPORTS USING CLIPS, SCREWS, FASTENERS, AND SEALANTS RECOMMENDED BY MANUFACTURER AND INDICATED ON APPROVED SHOP DRAWINGS.
 10. FASTEN METAL PANELS TO SUPPORTS WITH CONCEALED CLIPS AT EACH LOCATION INDICATED ON APPROVED SHOP DRAWINGS, WITH SPACING AND FASTENERS RECOMMENDED BY MANUFACTURER.
 11. CRIMP STANDING SEAMS WITH MANUFACTURER-APPROVED, MOTORIZED SEAMER TOOL SO CLIP, METAL ROOF PANEL, AND FACTORY-APPLIED SEALANT ARE COMPLETELY ENGAGED.
 12. PROVIDE WEATHERPROOF JACKS FOR PIPE AND CONDUIT PENETRATING METAL PANELS OF TYPES RECOMMENDED BY MANUFACTURER.
 13. WHERE ELEMENTS OF METAL PANEL SYSTEM WILL COME INTO CONTACT WITH DISSIMILAR MATERIALS, TREAT FACES AND EDGES IN CONTACT WITH DISSIMILAR MATERIALS AS RECOMMENDED BY MANUFACTURER.
 14. INSTALL METAL PANEL TRIM, FLASHING, AND ACCESSORIES USING RECOMMENDED FASTENERS AND JOINT SEALERS, WITH POSITIVE ANCHORAGE TO BUILDING, AND WITH WEATHER TIGHT MOUNTING. PROVIDE FOR THERMAL EXPANSION. COORDINATE INSTALLATION WITH FLASHINGS AND OTHER COMPONENTS.
 15. INSTALL COMPONENTS REQUIRED FOR A COMPLETE METAL PANEL ASSEMBLY, INCLUDING TRIM, COPINGS, FLASHINGS, SEALANTS, CLOSURE STRIPS, AND SIMILAR ITEMS.
 16. COMPLY WITH DETAILS OF ASSEMBLIES UTILIZED TO ESTABLISH COMPLIANCE WITH PERFORMANCE REQUIREMENTS AND MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. PROVIDE CONCEALED FASTENERS EXCEPT WHERE NOTED ON APPROVED SHOP DRAWINGS.
 17. SET UNITS TRUE TO LINE AND LEVEL AS INDICATED. INSTALL WORK WITH LAPS, JOINTS, AND SEAMS THAT WILL BE PERMANENTLY WEATHER RESISTANT.
 18. INSTALL JOINT SEALERS WHERE INDICATED AND WHERE REQUIRED FOR WEATHERTIGHT PERFORMANCE OF METAL PANEL ASSEMBLIES. IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 19. PREPARE JOINTS AND APPLY SEALANTS PER REQUIREMENTS OF DIVISION 07 SECTION "JOINT SEALANTS."
 20. REMOVE TEMPORARY PROTECTIVE FILMS IMMEDIATELY IN ACCORDANCE WITH METAL ROOF PANEL MANUFACTURER'S INSTRUCTIONS. CLEAN FINISHED SURFACES AS RECOMMENDED BY METAL ROOF PANEL MANUFACTURER.
 21. REPLACE DAMAGED PANELS AND ACCESSORIES THAT CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.

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SHEET TITLE:
FLOOR AND ROOF PLANS

SHEET NUMBER
A1.10.0
Mc3LROY ARCHITECTURE, PLLC

A1 Project Floor Plan
Scale: 1/8" = 1'-0"

TRUE NORTH PLAN NORTH

GRAPHIC SCALE 1/8" = 1'-0"

A6 Project Roof Plan
Scale: 1/8" = 1'-0"

TRUE NORTH PLAN NORTH

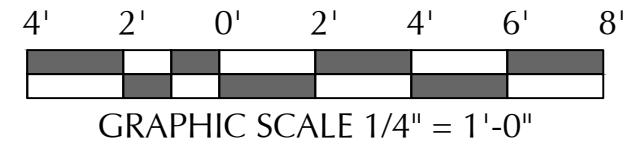
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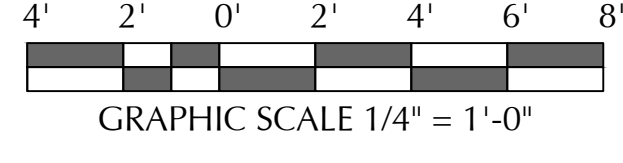
ELEVATION KEY NOTES

- 04205 MASONRY VENEER
 - 04205.1 - ASTM C216 GRADE MW, TYPE FBS EXPOSED BRICK VENEER, 3-5/8" X 2-1/4" X 7-5/8" COLOR AND TEXTURE TO BE SELECTED BY OWNER. PROVIDE SELECTION SAMPLES
 - 04205.2 - ASTM C216 GRADE MW, TYPE FBS EXPOSED BRICK VENEER, 3-5/8" X 2-1/4" X 7-5/8" COLOR AND TEXTURE TO BE SELECTED BY OWNER. PROVIDE SELECTION SAMPLES
- 06200 FINISH CARPENTRY
 - 06200.1 - FINISHED WOOD WRAPPED COLUMN COVER, SPECIES AND STAIN SELECTED BY OWNER
 - 06200.2 - FINISHED WOOD 2X RAFTERS AND ROOF SUPPORT, SPECIES AND STAIN SELECTED BY OWNER
- 07620 SHEET METAL FLASHING AND TRIM
 - 07620.1 - 0.05 ALUMINUM FLASHING, KYNAR 500 FINISH, COLOR SELECTED FROM MANUFACTURERS STANDARD RANGE
- 07630 GUTTERS AND DOWNSPOUTS
 - 07630.1 - 6" 0.032 ALUMINUM GUTTER, CDA RECTANGULAR STYLE GUTTER, COMPATIBLE PRIMER AND FINISH 0.7 MILS COLOR SELECTED FROM STANDARD RANGE
 - 07630.2 - 4" 0.032 ALUMINUM DOWNSPOUT, CDA RECTANGULAR STYLE DOWNSPOUT, COMPATIBLE PRIMER AND FINISH 0.7 MILS COLOR SELECTED FROM STANDARD RANGE, CONNECT TO SITE CIVIL STORM WATER SYSTEM, WITH ALUMINUM DOWN SPOUT BOOT BASIS OF DESIGN TO BE KINETIC ARCHITECTURAL PRODUCT K-45-G, INCLUDE COVER PLATE ASSEMBLY AT EACH DOWNSPOUT BOOT
- 08120 HOLLOW METAL FRAMES
 - PROVIDE METAL FRAMES OF TYPES AND STYLES AS SHOWN ON DRAWINGS. SEE DOOR AND WINDOW SCHEDULE FOR DETAILED PROFILES, CONCEALED FASTENERS, FABRICATE FROM 14 GAGE COLD ROLLED STEEL CONFORMING TO ASTM A663 AND ASTM A563. EXTERIOR FRAMES TO BE GALVANIZED, TO BE PAINTED AS SELECTED BY ARCHITECT
- 08300 METAL DOORS
 - COLD ROLLED SHEET STEEL WITH G90 GALVANIZED COATING TYPICAL 1-3/4" THICKNESS, FULL FLUSH 18 GAGE FACES, FACTORY PRIMED, FIELD PAINT READY, COLOR TO BE SELECTED BY ARCHITECT. SEE DOOR SCHEDULE FOR EXACT DETAILS
- 08410 ALUMINUM STOREFRONT DOORS
 - 8063-T6 ALUMINUM ALLOY THERMALLY BROKEN ENTRANCE SYSTEM W/ 2-1/8" SIDE AND TOP RAIL, 4" BOTTOM RAIL, 3-3/4" DEPTH, 4" MIDRAIL, 1" INSULATED INSIDE GLAZED, AAMA GH CLASS 1 AA-MIDC2044 FINISH
- 08510 ALUMINUM FRAMED STOREFRONTS
 - 8063-T6 ALUMINUM ALLOY THERMALLY BROKEN 2" PRIMARY MULLION, 4-1/2" DEPTH STOREFRONT FRAMED SYSTEM, 1" INSULATED CENTER GLAZED, AAMA GH CLASS 1 AA-MIDC2044 FINISH
- 10300 EXTERIOR SIGNAGE
 - FABRICATED PAINTED FINISH ALUMINUM FACE LIT LETTER SERIES, S052 ALLOY, TYPE FACE TO BE SELECTED BY ARCHITECT, PAINTED FINISH, TEXT AS PER DRAWINGS, REMOVABLE CAN MOUNTING, PROVIDE LED LIGHTING PACKAGE, COORDINATE WITH ELECTRICAL ENGINEER AND ELECTRICAL SUBCONTRACTOR
- 10530 EXTRUDED ALUMINUM WALKWAY COVERS
 - HEAT TREATED ALUMINUM EXTRUDED CANOPY WITH FACTORY FINISHED BAKED DN POLYESTER COATING, COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD RANGE, WALL MOUNTED WITH HANGER ROD SUPPORTS
- 13120 PRE-ENGINEERED METAL BUILDING
 - 13120.1 - PRE-ENGINEERED METAL BUILDING SYSTEM MANUFACTURER STANDARD METAL WALL SYSTEM, CONCEALED FASTENER, SMOOTH PANEL, BASIS OF DESIGN MCCI FW-120 DR EQUAL COLOR SELECTED BY OWNER
 - 13120.2 - PRE-ENGINEERED METAL BUILDING SYSTEM ROOF PANELS, COLOR SELECTED BY OWNER

F1 Exterior Building Elevation - Side Facade (South)
 A2.10.0 Scale: 1/4" = 1'-0"



A1 Exterior Building Elevation - Front Facade (West)
 A2.10.0 Scale: 1/4" = 1'-0"



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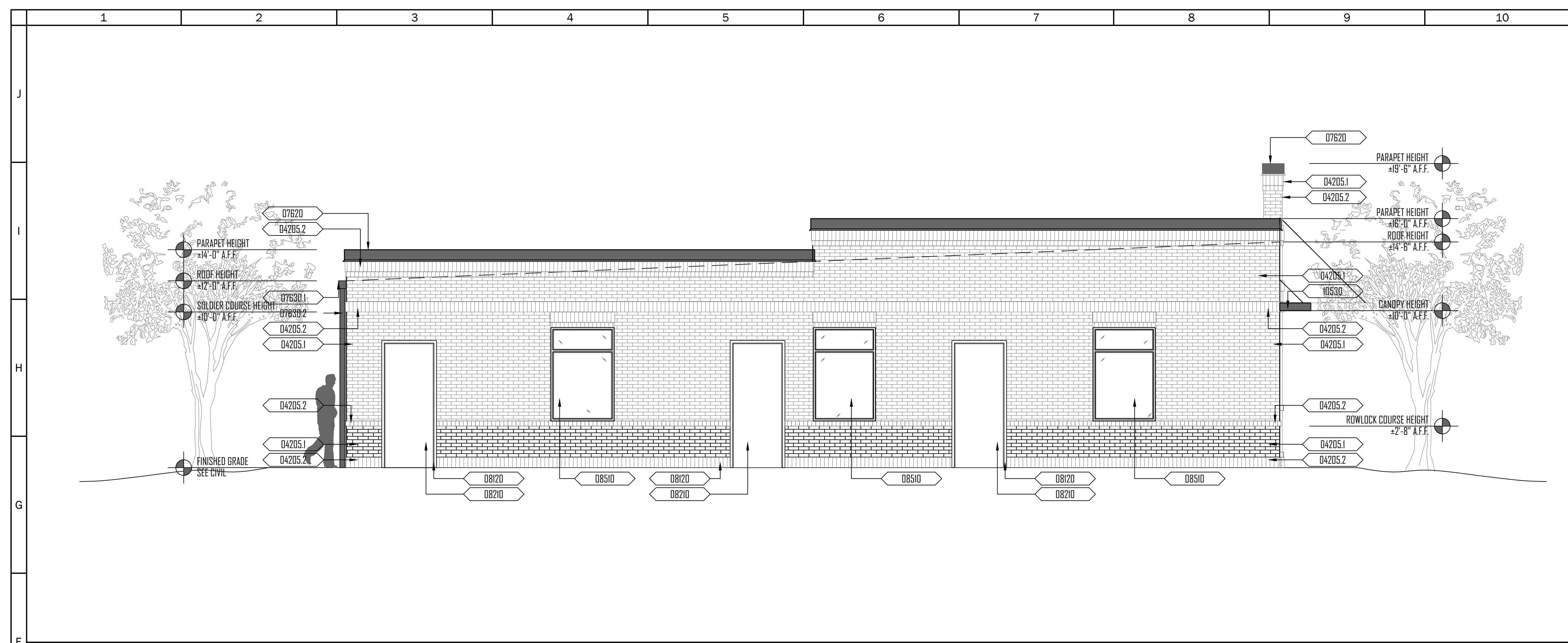
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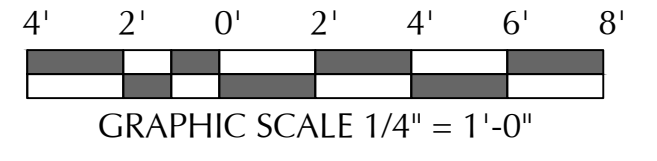
SEAL:

SHEET TITLE:
 EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER
A2.10.0
 Mc3LROY ARCHITECTURE, PLLC

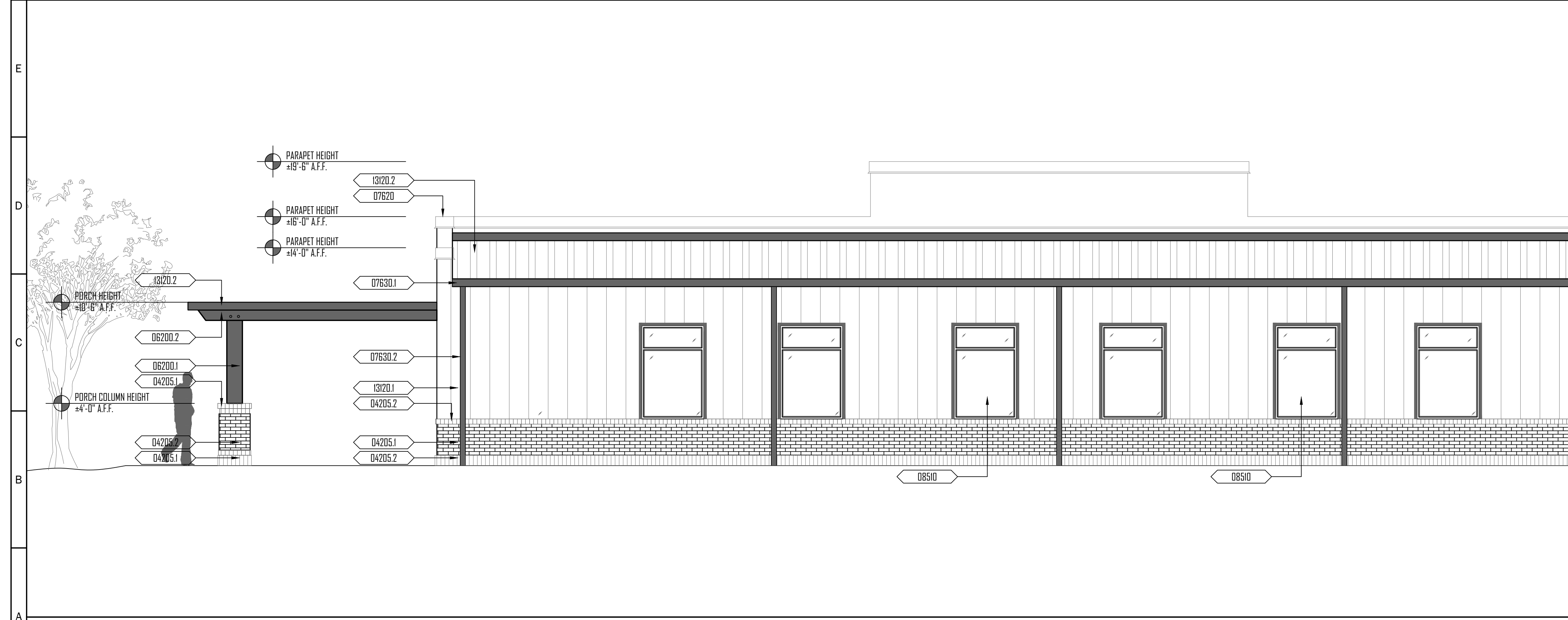


F1 Exterior Building Elevation - Side Facade (North)
 Scale: 1/4" = 1'-0"

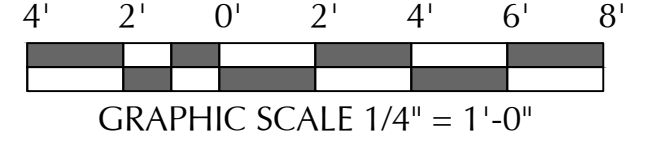


ELEVATION KEY NOTES

- 04205 MASONRY VENEER
 04205.1 - ASTM C216 GRADE MW, TYPE FBS EXPOSED BRICK VENEER, 3-5/8" X 2-1/4" X 7-5/8"
 COLOR AND TEXTURE TO BE SELECTED BY OWNER. PROVIDE SELECTION SAMPLES
 04205.2 - ASTM C216 GRADE MW, TYPE FBS EXPOSED BRICK VENEER, 3-5/8" X 2-1/4" X 7-5/8"
 COLOR AND TEXTURE TO BE SELECTED BY OWNER. PROVIDE SELECTION SAMPLES
- 06200 FINISH CARPENTRY
 06200.1 - FINISHED WOOD WRAPPED COLUMN COVER, SPECIES AND STAIN SELECTED BY OWNER
 06200.2 - FINISHED WOOD 2X RAFTERS AND ROOF SUPPORT, SPECIES AND STAIN SELECTED BY OWNER
- 07620 SHEET METAL FLASHING AND TRIM
 07620.1 - 0.05 ALUMINUM FLASHING, KYNAR 500 FINISH, COLOR SELECTED FROM MANUFACTURERS STANDARD RANGE
 07620.2 - 0.05 ALUMINUM FLASHING, KYNAR 500 FINISH, COLOR SELECTED FROM MANUFACTURERS STANDARD RANGE
- 07630 GUTTERS AND DOWNSPOUTS
 07630.1 - 6" 0.032 ALUMINUM GUTTER, CDA RECTANGULAR STYLE GUTTER, COMPATIBLE PRIMER AND FINISH 0.7 MILS COLOR SELECTED FROM STANDARD RANGE
 07630.2 - 4" 0.032 ALUMINUM DOWNSPOUT, CDA RECTANGULAR STYLE DOWNSPOUT, COMPATIBLE PRIMER AND FINISH 0.7 MILS COLOR SELECTED FROM STANDARD RANGE
- 08210 CONNECT TO SITE CIVIL STORM WATER SYSTEM, WITH ALUMINUM DOWN SPOUT BASIS OF DESIGN TO BE KINETIC ARCHITECTURAL PRODUCT K-45-G, INCLUDE COVER PLATE ASSEMBLY AT EACH DOWNSPOUT BOOT
- 08510 HOLLOW METAL FRAMES
 PROVIDE METAL FRAMES OF TYPES AND STYLES AS SHOWN ON DRAWINGS. SEE DOOR AND WINDOW SCHEDULE FOR DETAILED PROFILES, CONCEALED FASTENERS, FABRICATE FROM 14 GAGE COLD ROLLED STEEL CONFORMING TO ASTM A606 AND ASTM A568. EXTERIOR FRAMES TO BE GALVANIZED, TO BE PAINTED AS SELECTED BY ARCHITECT
- 08830 METAL DOORS
 COLD ROLLED SHEET STEEL WITH G90 GALVANIZED COATING TYPICAL 1-3/4" THICKNESS, FULL FLUSH 18 GAGE FACES, FACTORY PRIMED, FIELD PAINT READY, COLOR TO BE SELECTED BY ARCHITECT. SEE DOOR SCHEDULE FOR EXACT DETAILS
- 08840 ALUMINUM STOREFRONT DOORS
 8884-16 ALUMINUM ALLOY THERMALLY BROKEN ENTRANCE SYSTEM W/ 2-1/8" SIDE AND TOP RAIL, 4" BOTTOM RAIL, 1-3/4" DEPTH, 4" MIDRAIL, 1" INSULATED INSIDE GLAZED, AAMA GH CLASS 1 AA-MIDC2044 FINISH
- 08850 ALUMINUM FRAMED STOREFRONTS
 8885-16 ALUMINUM ALLOY THERMALLY BROKEN 2" PRIMARY MULLION, 4-1/2" DEPTH STOREFRONT FRAMED SYSTEM, 1" INSULATED CENTER GLAZED, AAMA GH CLASS 1 AA-MIDC2044 FINISH
- 10530 EXTERIOR SIGNAGE
 FABRICATED PAINTED FINISH ALUMINUM FACE LIT LETTER SERIES, S052 ALLOY, TYPE FACE TO BE SELECTED BY ARCHITECT, PAINTED FINISH, TEXT AS PER DRAWINGS, REMOVABLE CAN MOUNTING, PROVIDE LED LIGHTING PACKAGE, COORDINATE WITH ELECTRICAL ENGINEER AND ELECTRICAL SUBCONTRACTOR
- 10530 EXTRUDED ALUMINUM WALKWAY COVERS
 HEAT TREATED ALUMINUM EXTRUDED CANOPY WITH FACTORY FINISHED BAKED DN POLYESTER COATING, COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD RANGE, WALL MOUNTED WITH HANGER ROD SUPPORTS
- 13220 PRE-ENGINEERED METAL BUILDING
 13220.1 - PRE ENGINEERED METAL BUILDING SYSTEM MANUFACTURER STANDARD METAL WALL SYSTEM, CONCEALED FASTENER, SMOOTH PANEL, BASIS OF DESIGN MBD1 FW-120 DR EQUAL COLOR SELECTED BY OWNER
 13220.2 - PRE ENGINEERED METAL BUILDING SYSTEM ROOF PANELS, COLOR SELECTED BY OWNER



A1 Exterior Building Elevation - Rear Facade (East)
 Scale: 1/4" = 1'-0"



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MC3LROY
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PROJECT:

MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
 A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
 ??? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McElroy
 PROJECT NUMBER: 24-006
 DATE: 03/01/2024
 DRAWN BY: PLM
 CHECKED BY: McElroy

REVISIONS: 1. 05/21/24
 2. _____
 3. _____
 4. _____

SEAL:

SHEET TITLE:
 EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER
A2.20.0
 Mc3LROY ARCHITECTURE, PLLC

ROOM FINISH SCHEDULE										GENERAL INTERIOR FINISH NOTES	
ROOMS		FINISHES									
NO.	NAME	FLOOR	BASE	N. WALL	E. WALL	S. WALL	W. WALL	CEILING	NOTES		
100	SIDEWALK	BROOM FINISH CONCRETE	-	-	-	-	-	-	-		
101	SIDEWALK	BROOM FINISH CONCRETE	-	-	-	-	-	-	-		
102	SIDEWALK	BROOM FINISH CONCRETE	-	-	-	-	-	-	-		
103	SIDEWALK	BROOM FINISH CONCRETE	-	-	-	-	-	-	-		
104	SIDEWALK	BROOM FINISH CONCRETE	-	-	-	-	-	-	-		
105	WAITING	PORCELAIN TILE	WOOD	FEATURE WALL/ GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	FEATURE WALL/ GYP BRD PAINT	ALLOWANCE FEATURE	-		
106	CORRIDOR	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
107	RECEPTION	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
108	KITCHEN/BREAK	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT WET FORMED	-		
109	OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
110	CORRIDOR	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
111	STORAGE	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
112	JANITOR	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
113	MEN'S TOILET	CERAMIC TILE	CERAMIC	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	LAT WET FORMED	-		
114	WHIT'S TOILET	CERAMIC TILE	CERAMIC	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	LAT WET FORMED	-		
115	WHIT'S OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
116	CORRIDOR	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
117	BECKY'S OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
118	OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
119	OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
120	OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
121	CORRIDOR	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
122	MATT'S OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
123	COMM/ELEC	SEALED CONCRETE	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
124	MATT'S TOILET	CERAMIC TILE	CERAMIC	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	LAT WET FORMED	-		
125	WOMEN'S TOILET	CERAMIC TILE	CERAMIC	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	CERAMIC TILE 8' GYP BRD PAINT	LAT WET FORMED	-		
126	OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
127	CORRIDOR	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
128	TRAMMEL'S OFFICE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
129	CONFERENCE	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	FEATURE WALL/ GYP BRD PAINT	GYP BRD PAINT	LAT	-		
130	WAR ROOM	CARPET	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
131	COPY	LVT	RUBBER	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	GYP BRD PAINT	LAT	-		
132	SIDEWALK	BROOM FINISH CONCRETE	-	-	-	-	-	-	-		

1. ALL GALVANIZED FRAMES SHALL RECEIVE A GLOSS FINISH, UNLESS OTHERWISE NOTED.
2. ALL TRANSITIONS BETWEEN DISSIMILAR FLOORING MATERIALS TO RECEIVE A REDUCER/TRANSITION STRIP MEETING ADA REQUIREMENTS.
3. WHEN COLOR OR STYLE IS NOT INDICATED, ARCHITECT AND OWNER WILL SELECT COLOR FROM MFGR.'S STANDARD RANGE.
4. ALL MISCELLANEOUS GRILLES, LIDERS, DIFFUSERS, ACCESS PANELS, LIGHT FIXTURE TRIM, ETC. SHALL BE FINISHED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
5. ALL SURFACES TO RECEIVE A FINISH APPLICATION SHALL BE COMPLETELY SMOOTH AND FREE OF DEBRIS. IF SURFACES ARE NOT ACCEPTABLE NOTIFY THE ARCHITECT TO HAVE SURFACES CORRECTED BEFORE APPLYING FINISH APPLICATION.
6. FINISH APPLICATIONS SHALL BE FREE OF IMPERFECTIONS.
7. UNLESS OTHERWISE STATED IN THE SPECIFICATIONS, ALL PAINTED SURFACES ARE TO RECEIVE ONE SHOP PRIME COAT, AND A MINIMUM OF TWO FIELD APPLIED FINISH COATS. PRIME ALL SURFACES ACCORDING TO MANUFACTURER'S SPECIFICATIONS PRIOR TO APPLICATION OF PAINT. THE NUMBER OF COATS SPECIFIED IS THE MINIMUM NUMBER OF COATS. WHEN UNDERCOATS, STAINS, OR OTHER CONDITIONS SHOW THROUGH "FINAL" COAT OF FINISH APPLY ADDITIONAL COATS UNTIL FINISH IS UNIFORM IN COLOR, AND APPEARANCE.
8. UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS ALL PAINTED WOOD TRIM, MOLDINGS, DOORS, CASEWORK, METAL DOORS, AND METAL DOOR FRAMES, SHALL RECEIVE A GLOSS FINISH. REFER TO DETAILS UNLESS OTHERWISE STATED.
9. ALL MATERIALS AND SURFACES WHICH ARE TO RECEIVE A FINISH SHALL MATCH SAMPLES PROVIDED TO ARCHITECT. CONTRACTOR SHALL PREPARE A SAMPLE OF EACH FINISH ON THE APPROPRIATE SURFACES AND SUBMIT THAT AS A FIELD REVIEW SAMPLE TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FINISHING OF ANY SURFACE. CONTRACTOR SHALL PROVIDE A FINAL MOCK UP SAMPLE FOR VERIFICATION ON SITE BY ARCHITECT AND OWNER OF SELECTED FINISH BEFORE PROCEEDING WITH FINISHING OF ANY SURFACE.
10. REFER TO MANUFACTURER'S PROCEDURES AND RECOMMENDATIONS FOR APPLICATION, INSTALLATION, AND MAINTENANCE OF FINISHES LISTED IN THE LEGEND. IF CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTRUCTIONS SHOULD CONFLICT, CONTRACTOR IS TO FOLLOW MANUFACTURER'S INSTRUCTIONS.
11. ALL VERTICAL SURFACES TO RECEIVE FINISH SHALL BE THE SAME AS SURFACE DESIGNATION, UNLESS OTHERWISE STATED.
12. PROVIDE EPOXY BASED PAINTS IN ALL RESTROOMS, CORRIDORS, AND OTHER HIGH ABUSE AREAS OR WATER BASED AREAS. SHOULD ANY QUESTIONS ARISE REGARDING PAINT FINISH, THE ARCHITECT IS TO BE CONSULTED BEFORE PROCEEDING.
13. PROVIDE A BULL NOSE EDGE TILE WHEN STOPPING SHORT OF CEILING FOR ALL WALL TILE APPLICATIONS.
14. ALL EXPOSED METALS BOTH INTERIOR AND EXTERIOR TO BE PAINTED, INCLUDING GALVANIZED AND NON GALVANIZED SURFACES.
15. SECURITY TYPE SEALANT TO BE USED TO SEAL ALL TRANSITIONS AND GAPS IN BUILDING MATERIALS. COLOR TO MATCH ADJACENT SURFACES.
16. EXPOSED STRUCTURE TO BE PAINTED. COLORS AND LOCATIONS OF COLORS TO BE SELECTED BY ARCHITECT.
17. PROVIDE RADIUS EGED CMU UNITS FOR ALL EXPOSED CORNERS AND ENDS OF WALLS, SILLIS, JAMBS, HEADS ETC.
18. EXPOSED BUILDING SYSTEMS TO BE PAINTED. COLORS AND LOCATIONS OF COLORS TO BE SELECTED BY ARCHITECT.

Mc3LROY
ARCHITECTURE

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PROJECT: _____

MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
???? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McELROY
PROJECT NUMBER: 24-006
DATE: 03/01/2024
DRAWN BY: PLM
CHECKED BY: McELROY

REVISIONS: 1. 05/21/24
2. _____
3. _____
4. _____

SEAL: _____

SHEET TITLE:
FINISH SCHEDULE

SHEET NUMBER
A5.00.0
Mc3LROY ARCHITECTURE, PLLC

Finish Schedule
Scale: NTS

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1	2		3			4			5			6			7			8			9			10			11			12		
DOOR SCHEDULE																																
DOOR NUMBER	DOOR									FRAME						HARDWARE			NOTES													
	SIZE			MAT.	PAIR	TYPE	GLAZ	ACCESS CONTROL	RATING	MAT.	TYPE	GLAZ	DETAILS			SET	ADA ASSIST	-														
	WIDTH	HEIGHT	THICK										HEAD	JAMB	SILL																	
105.1	3'-0"	9'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A1	-	-	-	-	H7	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
105.2	3'-0"	9'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A1	-	-	-	-	H7	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
106.1	3'-0"	7'-0"	1-3/4"	HM		B	-	-	-	HM	MI	-	-	-	-	H1	-	-	HOLLOW METAL DOOR AND FRAME													
106.2	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H2	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
107	3'-0"	7'-0"	-	-		E	-	-	-	-	-	-	-	-	-	-	-	-	CASED OPENING													
108	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
109	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
111	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H5	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
112	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H5	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
113	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H4	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
114	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H4	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
115.1	3'-0"	7'-0"	1-3/4"	HM		B	-	-	-	HM	MI	-	-	-	-	H1	-	-	HOLLOW METAL DOOR AND FRAME													
115.2	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
117	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
118	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
119	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
120	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
122.1	3'-0"	7'-0"	1-3/4"	HM		B	-	-	-	HM	MI	-	-	-	-	H1	-	-	HOLLOW METAL DOOR AND FRAME													
122.2	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
123	3'-0"	7'-0"	1-3/4"	HM		B	-	-	-	HM	MI	-	-	-	-	H7	-	-	HOLLOW METAL DOOR AND FRAME													
124	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H4	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
125	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H4	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
126	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
127.1	3'-0"	7'-0"	1-3/4"	HM		B	-	-	-	HM	MI	-	-	-	-	H1	-	-	HOLLOW METAL DOOR AND FRAME													
127.2	3'-0"	7'-0"	1-3/4"	WD		D	-	-	-	HM	MI	-	-	-	-	H2	-	-	WOOD DOOR AND HOLLOW METAL FRAME													
128	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A2	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
129.1	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A3	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
129.2	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A3	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
130.1	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A3	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
130.2	3'-0"	7'-0"	1-1/2"	AL		A	G1/G2	-	-	AL	A3	-	-	-	-	H3	-	-	ALUMINUM FRAMED STOREFRONT DOOR ASSEMBLY													
131.1	3'-0"	7'-0"	-	-		E	-	-	-	-	-	-	-	-	-	-	-	-	CASED OPENING													
131.2	3'-0"	7'-0"	-	-		E	-	-	-	-	-	-	-	-	-	-	-	-	CASED OPENING													
131.3	3'-0"	7'-0"	-	-		-	-	-	-	-	-	-	-	-	-	-	-	-	SLIDING BARN DOORS													

- GENERAL DOOR NOTES:
- ANY DOOR OR FRAME LISTED AS GALVANIZED SHALL BE FABRICATED FROM HOT DIPPED AND GALVANIZED.
 - ALL VERTICAL STIFFENERS TO BE 18 GAUGE SPACED AT 4" O.C.
 - ALL WELDS TO BE 2" SPOT WELDS AT 8" O.C. UNLESS OTHERWISE NOTED. ALL WELDS SHALL BE GROUND AND SANDED SMOOTH, CLEANED AND FREE OF WELDING SPOOLS AND REPRIMED IMMEDIATELY AFTER WELDING IS PERFORMED.
 - PROVIDE PLASTER GUARDS AND JUNCTION BOXES TO PROTECT HARDWARE PREPARATIONS AND TAPPED MOUNTING HOLES FROM MASONRY GROUT.
 - ALL FRAMES INSTALLED ON AN EXTERIOR WALL, OR "WET" AREA OF A BUILDING SHALL BE FULLY GALVANIZED OUTSIDE AND INSIDE OF FRAME.
 - FRAMES ARE TO BE MORTISED, DRILLED, TAPPED, AND REINFORCED. FOR ALL HARDWARE IN ACCORDANCE WITH APPROVED HARDWARE SCHEDULE AND TEMPLATES.
 - ALL FRAMES TO BE PRE PUNCHED FOR ALL SILENCERS.
 - REFER TO SPECIFICATIONS FOR FINISH HARDWARE REQUIREMENTS. CONTRACTOR TO VERIFY HARDWARE SET REQUIREMENTS, QUANTITIES AND LOCATIONS.
 - ALL MATERIALS TO BE MARKED LEGIBLY WITH CORRECT INFORMATION TO LOCATE BEFORE ARRIVING ON SITE.
 - NO FABRICATION OF MATERIALS SHALL BEGIN UNTIL ARCHITECT AND OWNER HAVE REVIEWED SHOP DRAWING SUBMITTALS.
 - MANUFACTURER TO COORDINATE WITH GLAZING AND FINISH HARDWARE MANUFACTURER TO ENSURE COMPATIBILITY WITH ALL PRODUCTS.
 - REINFORCE DOORS AND FRAMES FOR SURFACE MOUNTED HARDWARE AS NEEDED.
 - ALL FIRE RATED DOORS AND FRAMES MUST BE LISTED AS A UL APPROVED MATERIAL AND LABELED AS SUCH BEFORE ARRIVING ON SITE.
 - FURNISH LOOSE ASTRAGALS FOR ALL DOOR PAIRS FOR FIELD INSTALLATION.
 - PROVIDE LOUVERS FOR ALL MECHANICAL, ELECTRICAL, AND IDF ROOM DOORS.
 - ALL DOOR UNDERCUTS TO BE PERFORMED BY MANUFACTURER, NO FIELD UNDERCUTTING ALLOWED.
 - APPLY WEATHER STRIPPING PRIOR TO INSTALLING SURFACE APPLIED HARDWARE. DO NOT NOTCH WEATHER STRIPPING.
 - PROVIDE COMPATIBLE ASTRAGALS AND SEALS FOR ALL PAIRS OF DOORS.
 - REMOVEABLE MULLION - KR822
 - MULLION SEAL - NGP510DS
 - MEETING EDGE SEALS - H5NA
 - CONTRACTOR RESPONSIBLE FOR MAKING ADJUSTMENTS TO HARDWARE SET FOR PAIRS OF DOORS.
 - HARDWARE SUPPLIER SHOULD VERIFY ALL QUANTITIES IN THE FOLLOWING SCHEDULE. THE FOLLOWING IS A GENERAL LISTING OF HARDWARE REQUIREMENTS AND IS NOT INTENDED FOR USE AS A FINAL HARDWARE SCHEDULE. ANY ITEMS OF HARDWARE REQUIRED BY ESTABLISHED STANDARDS OF PRACTICE, OR TO MEET STATE AND LOCAL CODES SHALL BE FURNISHED WHETHER OR NOT SPECIFICALLY CALLED OUT IN THE FOLLOWING LISTED GROUPS.
 - SUPPLIER SHALL SUPPLY HARDWARE FOR EVERY NUMBERED OPENING, WHETHER SPECIFIED IN THE ABOVE HARDWARE SETS OR NOT. HARDWARE SHALL BE SAME AS SIMILAR OPENINGS.
 - CONTRACTOR RESPONSIBLE FOR MAKING ADJUSTMENTS TO HARDWARE SETS REQUIRED TO BE LABELED AND RATED FOR CODE COMPLIANCE. STANDARDS FOR FIRE RATED DOORS AND FRAMES SHALL BE NFPA 80 - STANDARD FOR FIRE DOORS AND OTHER OPENING PROTECTIVE'S.
- HARDWARE SCHEDULE
- | SET# | HARDWARE | QTY | DESCRIPTION |
|---|-------------------|-----|----------------------------|
| H1 - EXTERIOR ENTRANCES NON STOREFRONT | | | |
| | CYLINDER | 1 | CORBIN 3080-178-6-626 |
| | EXTERIORHINGE | 1 | IVES 2240 B3" AL |
| | CLOSER | 1 | LCN 404XP |
| | EXIT DEVICE | 1 | VON DUHRN 98L 996L #17 32D |
| | REM MULL | 1 | VON DUHRN KR4954 SP28 |
| | CYLINDER | 1 | CORBIN 1080-14-A06-6 626 |
| | KICKPLATE | 1 | IVES 8400 10X34 32D |
| | WEATHERSTRIP | 1 | NGP H5NA |
| | SWEEP | 1 | NGP 101V |
| | THRESHOLD | 1 | NGP 896V WS/PAH2 |
| | CYLINDER | 1 | CORBIN 3080-178-6 626 |
| H2 - CORRIDOR DOORS | | | |
| | HINGE | 3 | IVES 588HW 4.5"X4.5" 26D |
| | CLOSER | 1 | LCN 404XP |
| | EXIT DEVICE | 1 | VON DUHRN 98L 996L #17 32D |
| | FLOOR STOP | 1 | IVES FS40 26D |
| | KICK PLATE | 1 | IVES 8400 10X34 32D |
| | SILENCER | 3 | IVES SR64 GREY |
| H3 - OFFICES | | | |
| | HINGE | 3 | IVES 588I 4.5X4.5 26D |
| | CLOSER | 1 | LCN 404XP |
| | LOCKSET | 1 | SCHLAGE 1907L 17A 626 |
| | CYLINDER | 1 | CORBIN 1080-14-A06-6 626 |
| | KICK PLATE | 1 | IVES 8400 10X34 32D |
| | FLOOR STOPPER | 1 | IVES FS40 26D |
| | SILENCER | 3 | IVES SR64 GREY |
| H4 - SINGLE TOILETS | | | |
| | HINGE | 3 | IVES 588I 4.5X4.5 26D |
| | FLOOR STOP | 1 | IVES FS40 26D |
| | LOCKSET | 1 | SCHLAGE 1904D 17A 626 |
| | CLOSER | 1 | LCN 404XP |
| | KICK PLATE | 1 | IVES 8400 10X34 32D |
| | SILENCER | 3 | IVES SR64 GREY |
| H5 - STORAGE ROOMS | | | |
| | HINGE | 3 | IVES 588I 4.5X4.5 26D |
| | O.H. STOP | 1 | GJ 454S 652 |
| | LOCKSET | 1 | SCHLAGE 1907L 17A 626 |
| | CYLINDER | 1 | CORBIN 1080-14-A06-6 626 |
| | KICK PLATE | 1 | IVES 8400 10X34 32D |
| | SILENCER | 3 | IVES SR64 GREY |
| H6 - EXTERIOR MECH/ELEC | | | |
| | HINGE | 1 | IVES 2240 B3" AL |
| | CLOSER | 1 | LCN 404XP |
| | LOCKSET | 1 | SCHLAGE 1908B0RD 17A 626 |
| | FLUSHBOLT | 1 | IVES FB459 12" 26D |
| | WEATHER STRIPPING | 1 | NGP 161V 72" X 84" |
| | THRESHOLD | 1 | NGP 896 SA X L.A.R. |
| | SWEEP | 1 | NGP 101V 38"18 |
| | CYLINDER | 1 | CORBIN 3080-178-6-626 |
| H7 - STOREFRONT ENTRANCES | | | |
| | CLOSER | 1 | LCN 404XP |
| | HINGE | 3 | BY STOREFRONT MFR |
| | THRESHOLD | 1 | BY STOREFRONT MFR |
| | WEATHERSTRIPPING | 3 | BY STOREFRONT MFR |
| | EXIT DEVICE | 1 | VON DUHRN 98L 996L #17 32D |
| | FLOOR STOP | 1 | IVES FS40 26D/BOTTOM |
| | SEAL | 1 | BY STOREFRONT MFR |

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PROJECT: _____

MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
???? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McELROY
PROJECT NUMBER: 24-006
DATE: 03/01/2024
DRAWN BY: PLM
CHECKED BY: McELROY

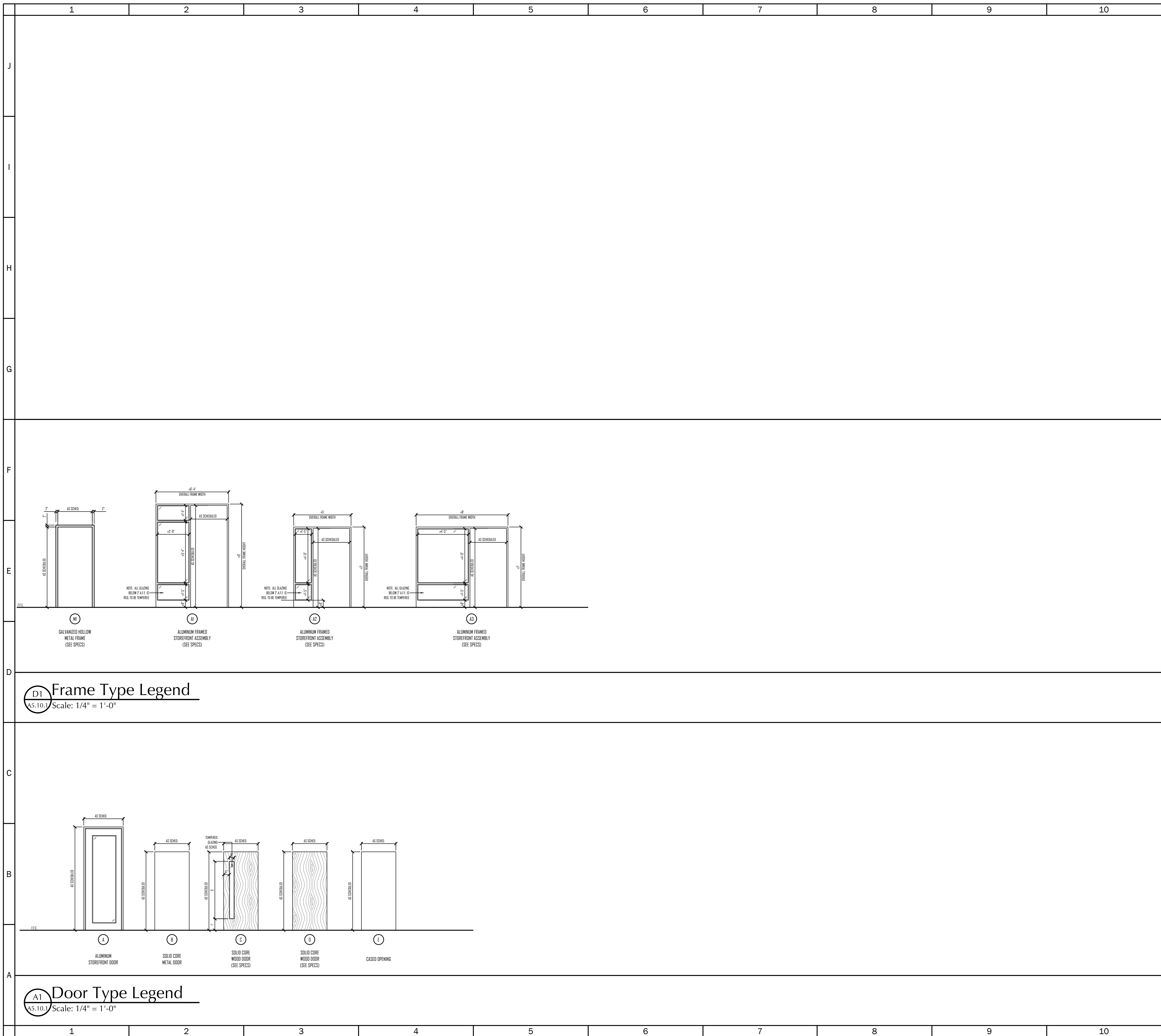
REVISIONS: 1. 05/21/24
2. _____
3. _____
4. _____

SEAL: _____

SHEET TITLE:
DOOR SCHEDULE

SHEET NUMBER
A5.10.0
Mc3LROY ARCHITECTURE, PLLC

Door Schedule
Scale: NTS



GENERAL DOOR AND HARDWARE NOTES:

- ANY DOOR OR FRAME LISTED AS GALVANIZED SHALL BE FABRICATED FROM HOT DIPPED AND GALVANIZED.
- ALL VERTICAL STIFFENERS TO BE 18 GAUGE SPACED AT 4" O.C.
- ALL WELDS TO BE 2" SPOT WELDS AT 8" O.C. UNLESS OTHERWISE NOTED. ALL WELDS SHALL BE GROUND AND SANDED SMOOTH, CLEANED AND FREE OF WELDING SPOILS AND REPRIMED IMMEDIATELY AFTER WELDING IS PERFORMED.
- ALL FRAMES INSTALLED ON AN EXTERIOR WALL OR "WET" AREA OF A BUILDING SHALL BE FULLY GALVANIZED OUTSIDE AND INSIDE OF FRAME.
- FRAMES ARE TO BE MORTISED, DRILLED, TAPPED, AND REINFORCED. FOR ALL HARDWARE IN ACCORDANCE WITH APPROVED HARDWARE SCHEDULE AND TEMPLATES.
- ALL FRAMES TO BE PRE PUNCHED FOR ALL SILENCERS.
- ALL MATERIALS TO BE MARKED LEGIBLY WITH CORRECT INFORMATION TO LOCATE BEFORE ARRIVING ON SITE.
- NO FABRICATION OF MATERIALS SHALL BEGIN UNTIL ARCHITECT AND OWNER HAVE REVIEWED SHOP DRAWING SUBMITTALS.
- MANUFACTURER TO COORDINATE WITH GLAZING AND FINISH HARDWARE MANUFACTURER TO ENSURE COMPATIBILITY WITH ALL PRODUCTS.
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HARDWARE SCHEDULE

SET#	HARDWARE	QTY.	DESCRIPTION
H1 - EXTERIOR ENTRANCES NON STOREFRONT			
	CYLINDER	1	CORBIN 3080-178-6-626
	EXTERIORHINGE	1	IVES 2240 B3" AL
	CLOSER	1	LCN 404DXP
	EXIT DEVICE	1	VON DUHRN 98L 996L #17 32D
	REM MULL	1	VON DUHRN KR4954 SP28
	CYLINDER	1	CORBIN 1080-14-A06-6-626
	KICKPLATE	1	IVES 8400 10X34 32D
	WEATHERSTRIP	1	NCP 15NA
	SWEEP	1	NCP 10IV
	THRESHOLD	1	NCP 895V WS/PAH2
	CYLINDER	1	CORBIN 3080-178-6-626
H2 - CORRIDOR DOORS			
	HINGE	3	IVES 588HW 4.5"X4.5" 26D
	CLOSER	1	LCN 404DXP
	EXIT DEVICE	1	VON DUHRN 98L 996L #17 32D
	FLOOR STOP	1	IVES FS40 26D
	KICK PLATE	1	IVES 8400 10X34 32D
	SILENCER	3	IVES SR64 GREY
H3 - OFFICES			
	HINGE	3	IVES 588I 4.5X4.5 26D
	CLOSER	1	LCN 404DXP
	LOCKSET	1	SCHLAGE 19070L 17A 626
	CYLINDER	1	CORBIN 1080-14-A06-6-626
	KICK PLATE	1	IVES 8400 10X34 32D
	FLOOR STOPPER	1	IVES FS40 26D
	SILENCER	3	IVES SR64 GREY
H4 - SINGLE TOILETS			
	HINGE	3	IVES 588I 4.5X4.5 26D
	FLOOR STOP	1	IVES FS40 26D
	LOCKSET	1	SCHLAGE 19040 17A 626
	CLOSER	1	LCN 404DXP
	KICK PLATE	1	IVES 8400 10X34 32D
	SILENCER	3	IVES SR64 GREY
H5 - STORAGE ROOMS			
	HINGE	3	IVES 588I 4.5X4.5 26D
	O.H. STOP	1	GJ 454S 65Z
	LOCKSET	1	SCHLAGE 19070L 17A 626
	CYLINDER	1	CORBIN 1080-14-A06-6-626
	KICK PLATE	1	IVES 8400 10X34 32D
	SILENCER	3	IVES SR64 GREY
H6 - EXTERIOR MECH/ELEC			
	HINGE	1	IVES 224HD B3" AL
	CLOSER	1	LCN 404DXP
	LOCKSET	1	SCHLAGE 19080RD 17A 626
	FLUSHBOLT	1	IVES 19459 12" 26D
	WEATHER STRIPPING	1	NCP 16DV 72" X 84"
	THRESHOLD	1	NCP 896 SA X L.A.R.
	SWEEP	1	NCP 10IV 36"18
	CYLINDER	1	CORBIN 3080-178-6-626
H7 - STOREFRONT ENTRANCES			
	CLOSER	1	LCN 404DXP
	HINGE	3	BY STOREFRONT MFR
	THRESHOLD	1	BY STOREFRONT MFR
	WEATHERSTRIPPING	3	BY STOREFRONT MFR
	EXIT DEVICE	1	VON DUHRN 98L 996L #17 32D
	FLOOR STOP	1	IVES FS40 26D/BOTTOM
	SEAL	1	BY STOREFRONT MFR

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MC3LROY
ARCHITECTURE

William L. McElroy, AIA, NCARB
4880 McWILLIE CIRCLE
JACKSON, MISSISSIPPI 39206
TELEPHONE: (601) 981-1227
FACSIMILE: (601) 983-4444

PROJECT:

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SEAL:

SHEET TITLE:
DOOR AND FRAME LEGEND

SHEET NUMBER
A5.10.1
Mc3LROY ARCHITECTURE, PLLC

	1	2	3	4	5	6	7	8	9	10	11	12																																																																		
J												<p>GENERAL WINDOW NOTES:</p> <ol style="list-style-type: none"> REVIEW CONTRACT DOCUMENTS, CHECK SHOP DRAWINGS, INSTALLATION INSTRUCTIONS, ARCHITECTURAL DRAWINGS AND SHIPPING LISTS TO BECOME THOROUGHLY FAMILIAR WITH THE PROJECT. THE SHOP DRAWINGS TAKE PRECEDENCE AND INCLUDE SPECIFIC DETAILS FOR THE PROJECT. NOTE ANY FIELD VERIFIED NOTES ON THE SHOP DRAWINGS PRIOR TO INSTALLING. THE INSTALLATION INSTRUCTIONS ARE OF GENERAL NATURE AND COVER MOST CONDITIONS. ALL MATERIALS ARE TO BE INSTALLED PLUMB, LEVEL AND TRUE. INSTALL OPERABLE WINDOWS PREGLAZED ONLY. ALL WORK SHOULD START FROM BENCH MARKS AND/OR COLUMN LINES AS ESTABLISHED BY THE ARCHITECTURAL DRAWINGS AND THE GENERAL CONTRACTOR WITH GUARANTEED ACCURACY. ALL FIELD WELDING MUST BE ADEQUATELY SHIELDED TO AVOID ANY SPLATTER ON GLASS OR ALUMINUM. RESULTS WILL BE UNSIGHTLY AND/OR STRUCTURALLY UNSOUND. ADVISE GENERAL CONTRACTOR AND OTHER TRADES ACCORDINGLY. ALL FIELD WELDS OF STEEL ANCHORS MUST RECEIVE TOUCH-UP PAINT (ZINC CHROMATE) TO AVOID RUST. MAKE CERTAIN THAT CONSTRUCTION WHICH WILL RECEIVE YOUR MATERIALS IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. IF NOT, NOTIFY THE GENERAL CONTRACTOR IN WRITING AND RESOLVE DIFFERENCES BEFORE PROCEEDING WITH WORK. ALUMINUM TO BE PLACED IN DIRECT CONTACT WITH UNFINISHED MASONRY OR INCOMPATIBLE MATERIALS SHOULD BE ISOLATED WITH A HEAVY COAT OF ZINC CHROMATE OR BITUMINOUS PAINT. SEALANTS MUST BE COMPATIBLE WITH ALL MATERIALS WITH WHICH THEY HAVE CONTACT, INCLUDING OTHER SEALANT SURFACES. CONSULT WITH SEALANT MANUFACTURER FOR RECOMMENDATIONS RELATIVE TO JOINT SIZE, SHELF LIFE, COMPATIBILITY, CLEANING/PRIMING, TOOLING, ADHESION, ETC. IT IS THE RESPONSIBILITY OF THE GLAZING CONTRACTOR TO SUBMIT A STATEMENT FROM THE SEALANT MANUFACTURER INDICATING THAT GLASS AND GLAZING MATERIALS HAVE BEEN TESTED FOR COMPATIBILITY AND ADHESION WITH GLAZING SEALANTS, AND INTERPRETING TEST RESULTS RELATIVE TO MATERIAL PERFORMANCE, INCLUDING RECOMMENDATIONS FOR PRIMERS AND SUBSTRATE PREPARATION REQUIRED TO OBTAIN ADHESION. THE CHEMICAL COMPATIBILITY OF ALL GLAZING MATERIALS AND FRAMING SEALANTS WITH EACH OTHER AND WITH LIKE MATERIALS USED IN GLASS FABRICATION MUST BE ESTABLISHED. AS SOON AS A REPRESENTATIVE AMOUNT OF THE WALL HAS BEEN GLAZED (500 SQUARE FEET OR 46.5 M2) A WATER HOSE TEST SHOULD BE CONDUCTED IN ACCORDANCE WITH AAMA 501.2 SPECIFICATIONS TO CHECK THE INSTALLATION. ON ALL JOBS THE HOSE TEST SHOULD BE REPEATED EVERY 500 SQUARE FEET (46.5 M2) DURING THE GLAZING OPERATION. COORDINATE WITH THE GENERAL CONTRACTOR ANY SEQUENCE WITH OTHER TRADES WHICH OFFSET INSTALLATION (I.E. FIRE PROOFING, BACK-UP WALLS, PARTITIONS, CEILINGS, MECHANICAL DUCTS, CONVERTERS ETC.). FINAL CLEANING OF EXPOSED ALUMINUM SURFACES SHOULD BE DONE IN ACCORDANCE WITH AAMA 605.1 FOR ANODIZED ALUMINUM AND 610.1 FOR PAINTED ALUMINUM. 																																																																		
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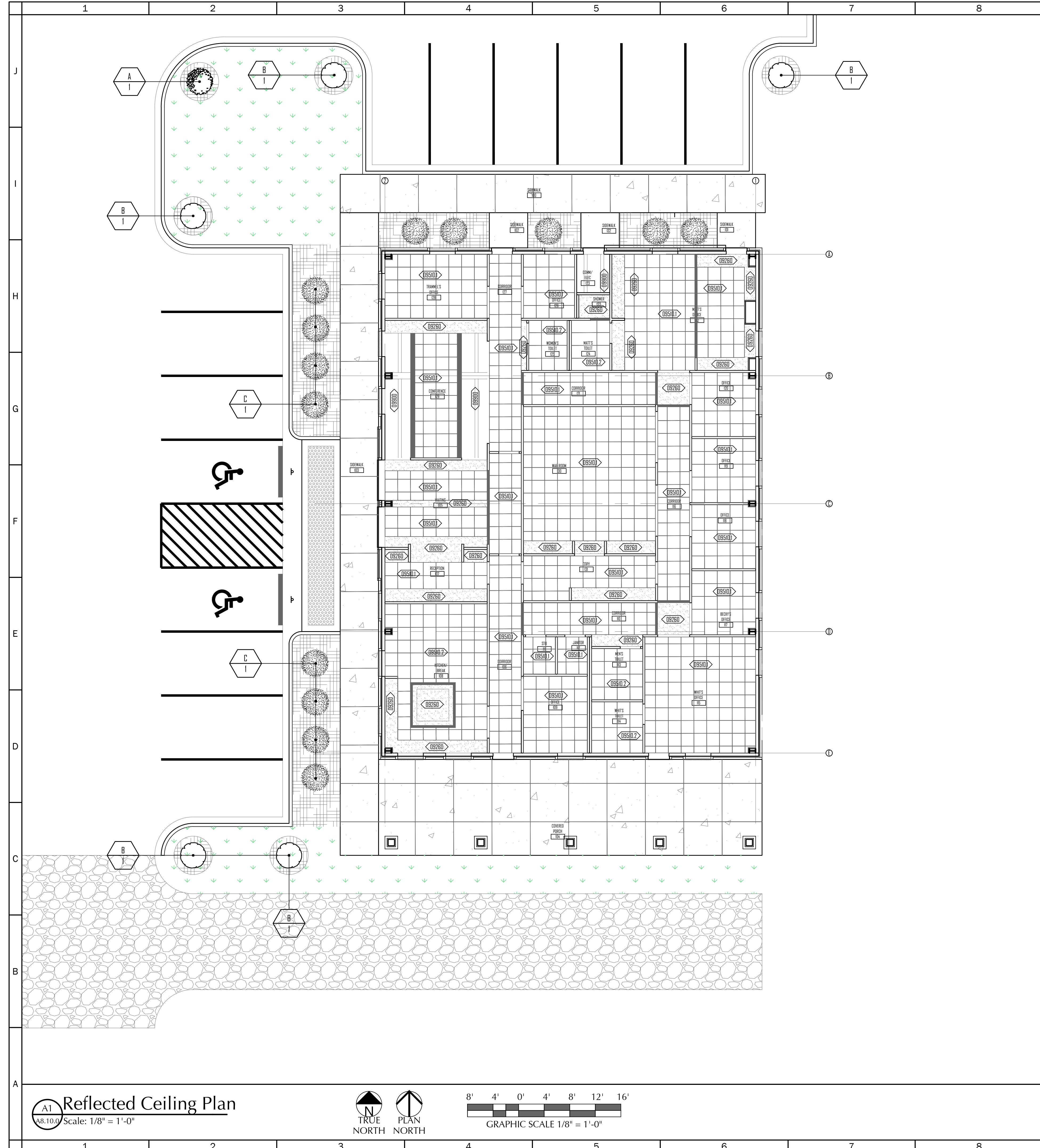
PROJECT ARCHITECT: McELROY
PROJECT NUMBER: 24-006
DATE: 03/01/2024
DRAWN BY: PLM
CHECKED BY: McELROY

REVISIONS: 1. 05/21/24
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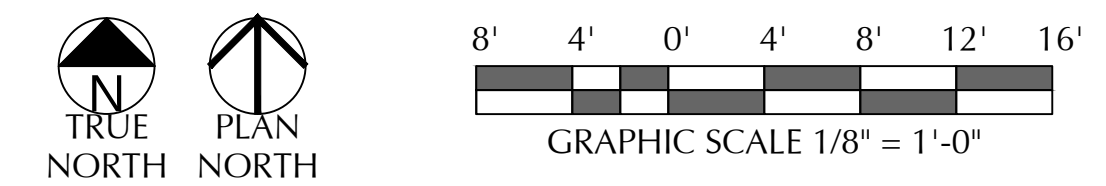
SEAL:

SHEET TITLE:
WINDOW SCHEDULE AND LEGEND

SHEET NUMBER
A5.20.0
Mc3LROY ARCHITECTURE, PLLC



A1 Reflected Ceiling Plan
 Scale: 1/8" = 1'-0"



GYPSUM CEILING GENERAL NOTES

- GYPSUM BOARD CONSTRUCTION SHALL BE DONE IN THE MANNER AND WITH THE MATERIALS SPECIFIED AND WHEN REQUIRED FOR FIRE PROTECTION.
- GYPSUM BOARD MATERIALS AND ACCESSORIES SHALL BE IDENTIFIED BY THE MANUFACTURER'S DESIGNATION TO INDICATE COMPLIANCE WITH THE APPROPRIATE STANDARDS REFERENCED IN THIS SPECIFICATIONS AND STORED TO PROTECT SUCH MATERIALS FROM THE WEATHER.
- GYPSUM BOARD MATERIALS SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED AT IBC 2012 AS PER TABLE 2508.2 GYPSUM BOARD MATERIALS AND ACCESSORIES, AND WHERE REQUIRED FOR FIRE PROTECTION, SHALL CONFORM TO THE PROVISIONS OF CHAPTER 7 IBC 2012.
- GYPSUM WALLBOARD, GYPSUM LATH OR GYPSUM PLASTER SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.
- EDGES AND ENDS OF GYPSUM BOARD SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS THAT ARE PERPENDICULAR TO THE FRAMING MEMBERS. EDGES AND ENDS OF GYPSUM BOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE-RESISTANCE-RATED CONSTRUCTION, SHEAR RESISTANCE OR DIAPHRAGM ACTION IS NOT REQUIRED.
- FASTENERS AT THE TOP AND BOTTOM PLATES OF VERTICAL ASSEMBLIES, OR THE EDGES AND ENDS OF HORIZONTAL ASSEMBLIES PERPENDICULAR TO SUPPORTS, AND AT THE WALL LINE ARE PERMITTED TO BE OMITTED EXCEPT ON SHEAR RESISTING ELEMENTS OR FIRE-RESISTANCE-RATED ASSEMBLIES. FASTENERS
- SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD.
- GYPSUM BOARD FIRE RESISTANCE RATED ASSEMBLIES SHALL HAVE JOINTS AND FASTENER TREATMENT.
- JOINT AND FASTENER TREATMENT NEED NOT BE PROVIDED WHERE ANY OF THE FOLLOWING CONDITIONS OCCUR:
 A) ON SINGLE LAYER SYSTEMS WHERE JOINTS OCCUR OVER FRAMING MEMBERS
 B) SQUARE EDGE OR TONGUE-AND-GROOVE EDGE GYPSUM BOARD (V-EDGE), GYPSUM BACKING BOARD OR GYPSUM SHEATHING.
 C) ON MULTI LAYER SYSTEMS WHERE THE JOINTS OF ADJACENT LAYERS ARE OFFSET FROM ONE TO ANOTHER
 D) ASSEMBLIES TESTED WITHOUT JOINT TREATMENT.
- THE MAXIMUM ALLOWABLE DIAPHRAGM PROPORTIONS SHALL BE 1 1/2" BETWEEN SHEAR RESISTING ELEMENTS. ROTATION OR CANTILEVER CONDITIONS SHALL NOT BE PERMITTED.
- GYPSUM BOARD USED IN A HORIZONTAL CEILING SHALL BE INSTALLED PERPENDICULAR TO CEILING FRAMING MEMBERS. END JOISTS OF ADJACENT COURSES OF GYPSUM BOARD SHALL NOT OCCUR ON THE SAME JOIST.
- ALL PERIMETER EDGES SHALL BE BLOCKED USING A MEMBER NOT LESS THAN 2-INCH BY 6-INCH NOMINAL DIMENSION. BLOCKING MATERIAL SHALL BE INSTALLED FLAT OVER THE TOP PLATE OF THE WALL TO PROVIDE A NAILING SURFACE NOT LESS THAN 2 INCHES IN WIDTH FOR THE ATTACHMENT OF THE GYPSUM BOARD.
- FASTENERS USED FOR THE ATTACHMENT OF GYPSUM BOARD TO A HORIZONTAL CEILING SHALL BE AS DEFINED IN TABLE 2508.5 AS OF IBC 2012. FASTENERS SHALL BE SPACED NOT MORE THAN 7 INCHES ON CENTER AT ALL SUPPORTS, INCLUDING PERIMETER BLOCKING, AND NOT MORE THAN 3/8" FROM THE EDGES AND ENDS OF THE GYPSUM BOARD.
- GYPSUM BOARD SHALL NOT BE USED IN CEILINGS TO RESIST LATERAL FORCES IMPOSED BY MASONRY OR CONCRETE CONSTRUCTION.
- SHOWERS AND PUBLIC TOILET WALLS SHALL CONFORM TO SECTIONS 1210.2 AND 1210.3 AS OF IBC 2012.
- CEMENT, FIBER-DIMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1178, C 1288 OR C 1325 AND INSTALLED IN ACCORDANCE WITH ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER BASE CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840 AND MANUFACTURER RECOMMENDATIONS. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840.
- PROVIDE CONTROL JOINTS IN LOCATIONS AS FOLLOWS:
 A) WHERE A PARTITION WALL OF CEILING TRAVERSES A CONSTRUCTION JOINT IN THE BASE BUILDING STRUCTURE
 B) WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30 LINEAR FEET
 C) WHERE INTERIOR CEILING WITH PERIMETER RELIEF SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 50 FEET AND TOTAL AREA BETWEEN CONTROL JOINTS DOES NOT EXCEED 2500 SQ FT
 D) WHERE INTERIOR CEILINGS WITHOUT PERIMETER RELIEF SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 30 FEET AND TOTAL AREA BETWEEN CONTROL JOINTS DOES NOT EXCEED 900 SQ FT
 E) WHERE EXTERIOR CEILINGS AND SOFFITS SHALL BE INSTALLED SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 30 FEET AND TOTAL AREA BETWEEN CONTROL JOINTS DOES NOT EXCEED 900 SQ FT.
 F) WHERE CEILING FRAMING MEMBERS CHANGE DIRECTION
 G) WHERE SPECIFIED BY THE ARCHITECT AS A DESIGN ACCENT OR FEATURE
 H) WHERE A CONTROL JOINT OCCURS IN AN ACOUSTICAL OR FIRE RATED SYSTEM, BLOCKING SHALL BE PROVIDED BEHIND THE CONTROL JOINT BY USING A BACKING MATERIAL SUCH AS 1/2" TYPE 'X' GYPSUM BOARD, MINERAL FIBER OR OTHER TESTED EQUIVALENT
- WHERE CONTROL JOINTS ARE INSTALLED IN NON RATED ASSEMBLIES AND ARE PARALLEL TO THE FRAMING MEMBERS, A FRAMING MEMBER IS REQUIRED ON EACH SIDE OF THE OPENING. ADDITIONAL FRAMING IS NOT REQUIRED FOR CONTROL JOINTS THAT ARE INSTALLED PERPENDICULAR TO THE FRAMING MEMBERS WITH FRAMING SPACING UP TO 24" ON CENTER. WHERE CONTROL JOINTS ARE INSTALLED IN RATED ASSEMBLIES AND ARE PARALLEL TO THE FRAMING MEMBERS, A FRAMING MEMBER IS REQUIRED ON EACH SIDE OF THE OPENING. IN RATED ASSEMBLIES, THE CONTROL JOINTS SHOULD BE PLACED SO THAT THE GYPSUM BOARD STRIPS ARE CONTINUOUS. IF THE GYPSUM BOARD STRIPS CANNOT BE CONTINUOUS, AN APPROVED ALTERNATIVE SHALL BE AGREED UPON BEFORE INSTALLING THE CONTROL JOINT IN THE DESIGN LOCATION.
- WHERE CONTROL JOINTS ARE INSTALLED IN NON RATED ASSEMBLIES AND ARE PARALLEL TO THE FRAMING MEMBERS, A FRAMING MEMBER IS REQUIRED ON EACH SIDE OF THE OPENING. ADDITIONAL FRAMING IS NOT REQUIRED FOR CONTROL JOINTS THAT ARE INSTALLED PERPENDICULAR TO THE FRAMING MEMBERS WITH FRAMING SPACING UP TO 24" ON CENTER. WHERE CONTROL JOINTS ARE INSTALLED IN RATED ASSEMBLIES AND ARE PARALLEL TO THE FRAMING MEMBERS, A FRAMING MEMBER IS REQUIRED ON EACH SIDE OF THE OPENING. IN RATED ASSEMBLIES, THE CONTROL JOINTS SHOULD BE PLACED SO THAT THE GYPSUM BOARD STRIPS ARE CONTINUOUS. IF THE GYPSUM BOARD STRIPS CANNOT BE CONTINUOUS, AN APPROVED ALTERNATIVE SHALL BE AGREED UPON BEFORE INSTALLING THE CONTROL JOINT IN THE DESIGN LOCATION.

REFLECTED CEILING PLAN KEY NOTES

G9260 GYPSUM BOARD ASSEMBLIES
 GYPSUM BOARD CEILING AS PER TYPICAL DETAIL. HEIGHT TO BE 8' A.F.F. PROVIDE MR GYPSUM SHEATHING IN WET AREAS. PROVIDE 6" BATT INSULATION ABOVE

G9500 SUSPENDED ACOUSTICAL CEILINGS
 G9500-1 2'X2' PAINTED NATURAL MINERAL FIBER ACOUSTICAL CEILING TILE ASTM E 1264 TYPE III, ON 1/2" SUSPENSION SYSTEM AS PER SPECS AND DETAILS. PROVIDE 6" BATT INSULATION ABOVE. HEIGHT TO BE 10' A.F.F. GRID TO BE BLACK, TILE TO BE WHITE

G9900 PAINTS AND COATINGS
 EXPOSED STRUCTURE, PIPING, CONDUITS, BUILDING SYSTEMS TO BE PAINTED AS PER MATERIAL AND PAINT SYSTEM REQUIREMENTS PER SPECIFICATIONS. ARCHITECT TO SELECT COLORS. PROVIDE FOR MIN. 2 COLORS PER ROOM

GENERAL CEILING NOTES

- THE CONTRACTOR SHALL COMPARE THE REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, EXIT SIGNAGE AND FIRE ALARM DEVICES, ETC.
- SPRINKLER HEADS ARE NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. CONTRACTOR TO INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE 100% COVERAGE AS REQUIRED UNDER NFPA 13 AND OWNERS' INSURANCE COMPANIES' REQUIREMENTS. CENTER ALL SPRINKLER HEADS IN CEILING TILES AND GYPSUM CEILING.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING AND/OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.
- ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OF GYPSUM BOARD CEILING.
- ALL CEILING GRIDS TO BE CENTERED BETWEEN WALLS
- PAINT ALL MECHANICAL, PLUMBING, ELECTRICAL AND/OR STRUCTURAL ELEMENTS EXPOSED TO VIEW.

SUSPENDED ACOUSTICAL CEILING GENERAL NOTES

- SEQUENCE WORK TO ENSURE ACOUSTICAL CEILINGS ARE NOT INSTALLED UNTIL BUILDING IS ENCLOSED, SUFFICIENT HEAT IS PROVIDED, DUST GENERATING ACTIVITIES HAVE TERMINATED, AND OVERHEAD WORK IS COMPLETED, TESTED, AND APPROVED.
- DO NOT INSTALL ACOUSTICAL UNITS UNTIL AFTER INTERIOR WET WORK IS DRY.
- MAINTAIN UNIFORM TEMPERATURE OF MINIMUM 60 DEGREES F. AND MAXIMUM HUMIDITY OF 40 PERCENT PRIOR TO DURING AND AFTER ACOUSTICAL UNIT INSTALLATION.
- UNITS FOR INSTALLATION IN FIRE-RATED SUSPENSION SYSTEM: LISTED AND CLASSIFIED FOR THE FIRE-RESISTIVE ASSEMBLY THE SUSPENSION SYSTEM IS A PART OF.
- UNITS FOR INSTALLATION IN "WET" AREAS SHALL BE HUMIDITY RESISTANT, WITH ANTI-MICROBIAL COATING. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. VERIFY THAT LAYOUT HANGERS WILL NOT INTERFERE WITH OTHER WORK.
- RIGIDLY SECURE SYSTEM, INCLUDING INTEGRAL MECHANICAL AND ELECTRICAL COMPONENTS, FOR MAXIMUM DEFLECTION OF 1/320.
- INSTALL AFTER MAJOR ABOVE-CEILING WORK IS COMPLETE. COORDINATE THE LOCATION OF HANGERS WITH OTHER WORK.
- HANG SUSPENSION SYSTEM INDEPENDENT OF WALLS, COLUMNS, DUCTS, PIPES AND CONDUIT, WHERE CARRYING MEMBERS ARE SPLICED. AVOID VISIBLE DISPLACEMENT OF FACE PLANE OF ADJACENT MEMBERS.
- WHERE OBJECTS OR OTHER EQUIPMENT PREVENT THE REGULAR SPACING OF HANGERS, REINFORCE THE NEAREST AFFECTED HANGERS AND RELATED CARRYING CHANNELS TO SPAN THE EXTRA DISTANCE.
- DO NOT SUPPORT COMPONENTS ON MAIN RUNNERS OR CROSS RUNNERS IF WEIGHT CAUSES TOTAL DEAD LOAD TO EXCEED DEFLECTION CAPABILITY.
- SUPPORT FIXTURE LOADS USING SUPPLEMENTARY HANGERS LOCATED WITHIN 6 INCHES OF EACH CORNER, OR SUPPORT COMPONENTS INDEPENDENTLY.
- DO NOT ECCENTRICALLY LOAD SYSTEM OR INDUCE ROTATION OF RUNNERS.
- PERIMETER MOLDING: INSTALL AT INTERSECTION OF CEILING AND VERTICAL SURFACES AND AT JUNCTIONS WITH OTHER INTERRUPTIONS. USE LONGEST PRACTICAL LENGTHS. OVERLAP AND RIVET CORNERS.
- INSTALL LIGHT FIXTURE BOXES CONSTRUCTED OF GYPSUM BOARD ABOVE LIGHT FIXTURES IN ACCORDANCE WITH FIRE RATED ASSEMBLY REQUIREMENTS AND LIGHT FIXTURE VENTILATION REQUIREMENTS.
- INSTALL ACOUSTICAL UNITS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- FIT ACOUSTICAL UNITS IN PLACE, FREE FROM DAMAGED EDGES OR OTHER DEFECTS DETRIMENTAL TO APPEARANCE AND FUNCTION.
- FIT BORDER TRIM NEATLY AGAINST ABUTTING SURFACES.
- INSTALL UNITS AFTER ABOVE-CEILING WORK IS COMPLETE.
- INSTALL ACOUSTICAL UNITS LEVEL IN UNIFORM PLANE, AND FREE FROM TWIST, WARP, AND DENTS.
- MAKE FIELD CUT EDGES OF SAME PROFILE AS FACTORY EDGES.
- INSTALL HOLD-DOWN CLIPS ON EACH PANEL TO RETAIN PANELS TIGHT TO GRID SYSTEM. COMPLY WITH FIRE RATINGS REQUIREMENTS.
- MAXIMUM VARIATION FROM FLAT AND LEVEL SURFACE, 1/8" INCH IN 10 FEET.
- MAXIMUM VARIATION FROM PLUMB OF GRID MEMBERS CAUSED BY ECCENTRIC LOADS: 2 DEGREES.

REFLECTED CEILING PLAN LEGEND

- GYPSUM BOARD ASSEMBLIES - CEILING
- GYPSUM BOARD ASSEMBLIES - FURROWDOWN TYPICAL 6" BELOW ADJACENT CEILING HEIGHT
- SUSPENDED ACOUSTICAL CEILINGS - LAT TYPE 1 UNITS - SEE SPECS
- SUSPENDED ACOUSTICAL CEILINGS - LAT TYPE 2 UNITS - SEE SPECS
- EXPOSED PRE ENGINEERED ROOF FRAMING SYSTEM, WITH VINYL FACED INSULATION. ALL PEMB ROOF FRAMING MEMBERS TO BE PAINTED

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MC3LROY
 ARCHITECTURE

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PROJECT:

MARCH 1, 2024 - PRELIMINARY PRICING SET FOR:
 A NEW OFFICE BUILDING FOR:
MILLS CONTRACTING LLC
 ??? STOUT ROAD, GLUCKSTADT, MS

PROJECT ARCHITECT: McElroy
 PROJECT NUMBER: 24-006
 DATE: 03/01/2024
 DRAWN BY: PLM
 CHECKED BY: McElroy

REVISIONS: 1. 05/21/24
 2. _____
 3. _____
 4. _____

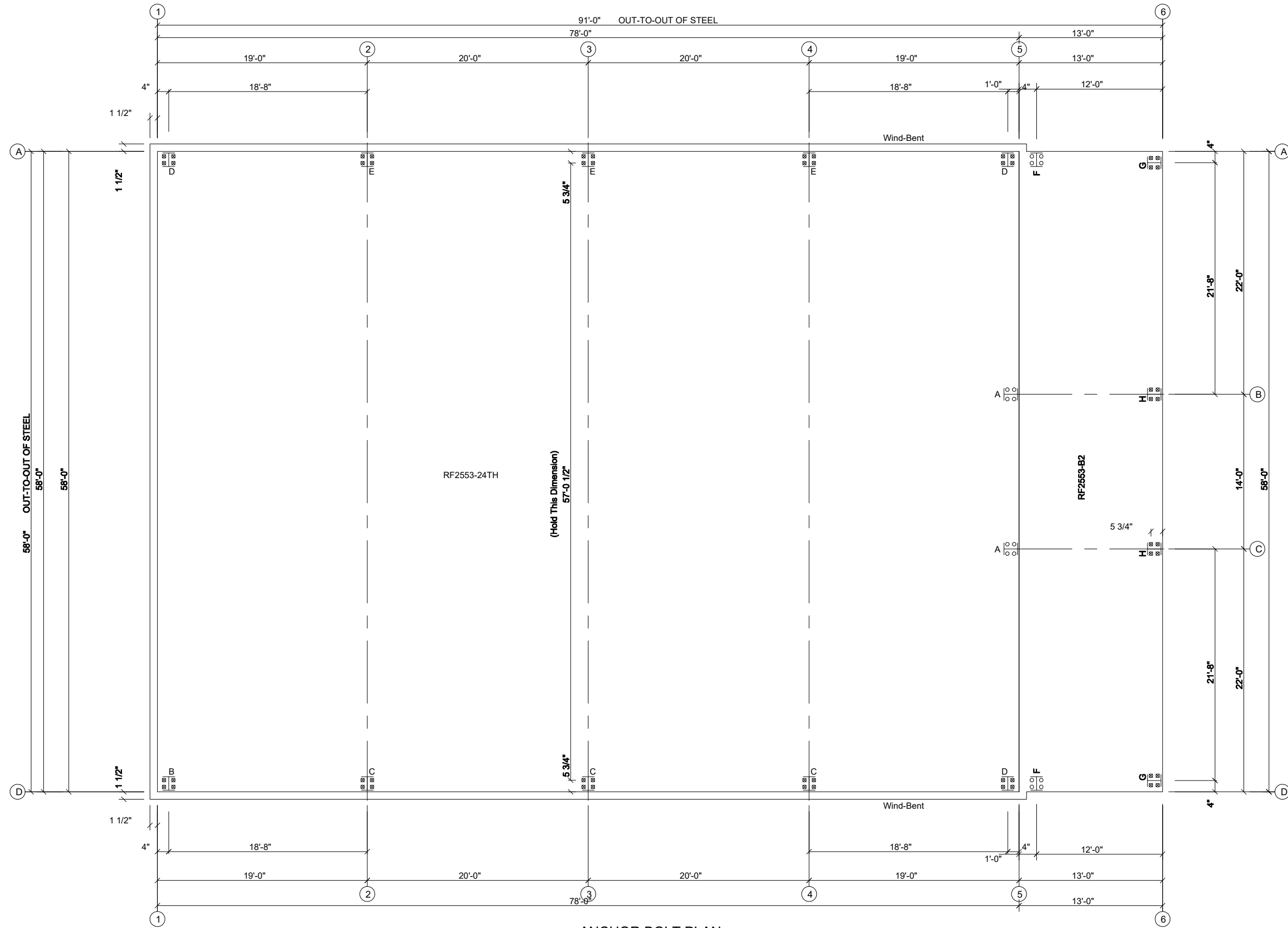
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SHEET TITLE:
 REFLECTED CEILING PLAN

SHEET NUMBER:
A8.10.0
 Mc3LROY ARCHITECTURE, PLLC

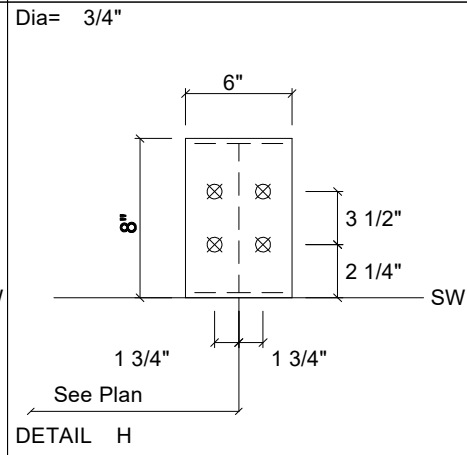
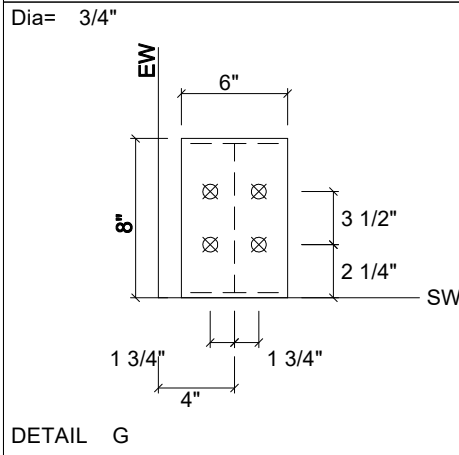
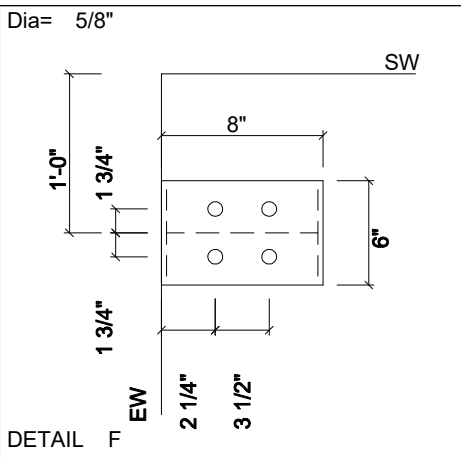
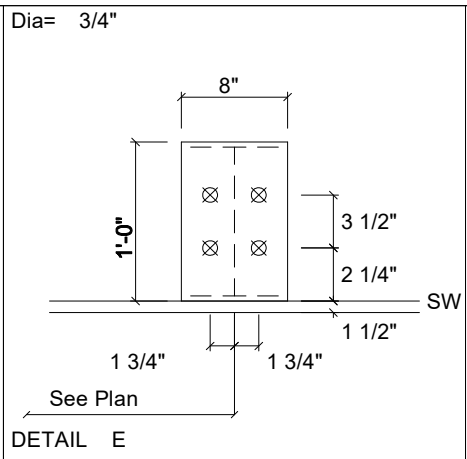
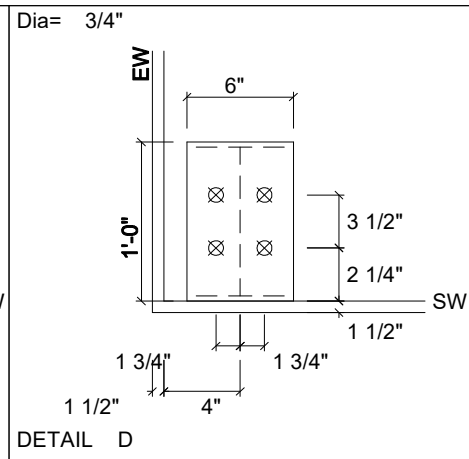
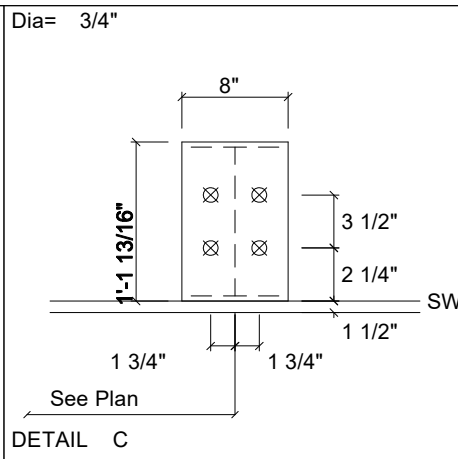
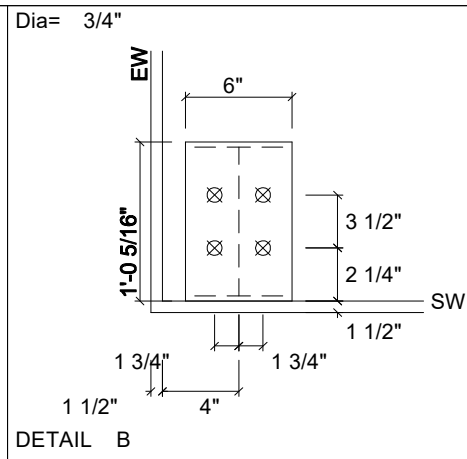
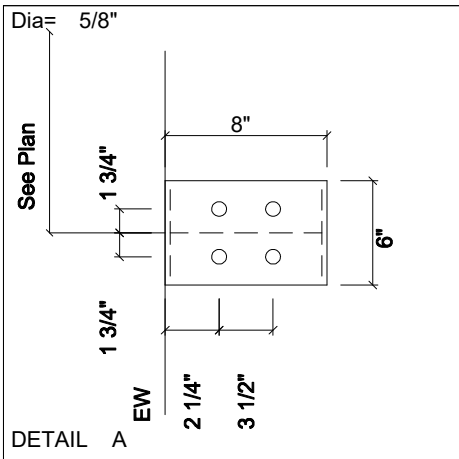
ANCHOR BOLT SUMMARY

Qty	Locate	Section 8, ID)	
16	Endwall	5/8"	A307
56	Frame	3/4"	A307



ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)

DRAWING REVISIONS	DRAWING USAGE		ANCHOR BOLT PLAN & REACTIONS	RF2553-24TH	SHEET
			MILLS CONTRACTING	MILLS OFFICE	
			CUSTOMER 1085 GLUCKSTADT ROAD MADISON, MS 39110	PROJECT MADISON, MS 39110	

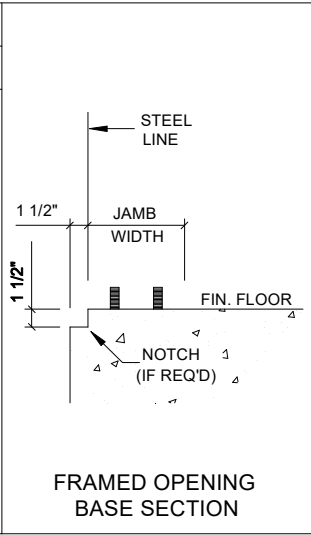
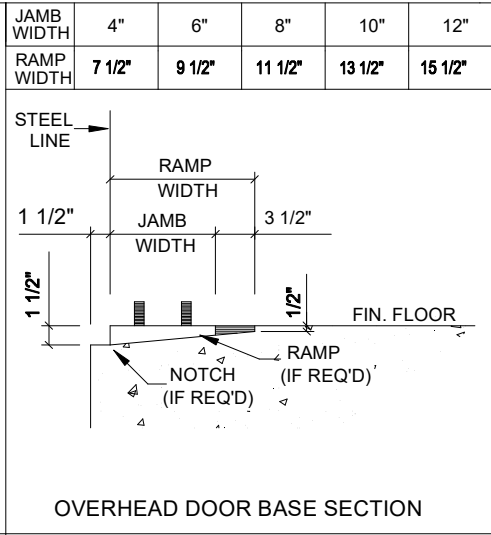
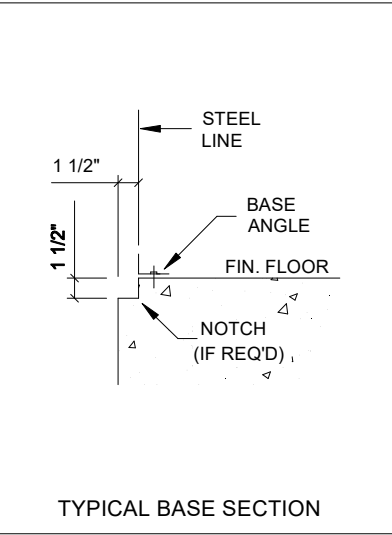
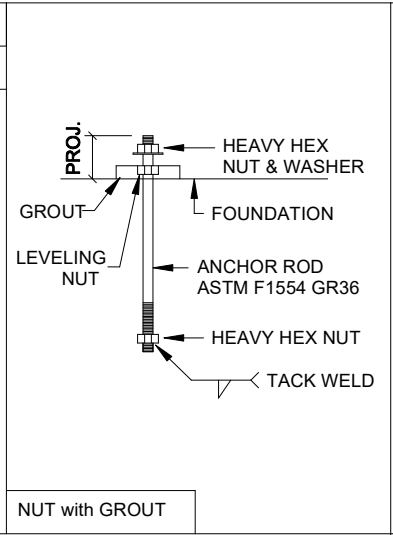


ANCHORS ARE DESIGNED FOR THE BASE PLATE TO ANCHOR INTERACTION PER AISC, ANCHOR TO CONCRETE INTERACTION IS BY OTHERS

DESIGN OF SHEAR ANGLES, TENSION PLATES, HAIRPINS, AND ANY OTHER EMBEDDED MATERIAL IN THE CONCRETE SHALL BE DETERMINED BY THE FOUNDATION ENGINEER AND PROVIDED BY OTHERS.

ANCHOR ROD PROJECTION IS FROM BOTTOM OF BASE PLATE UNLESS GROUT IS REQUIRED.

DIA.	1/2"	5/8"	3/4"	7/8"	1"	1 1/4"
PROJ.	1 1/2"	2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"



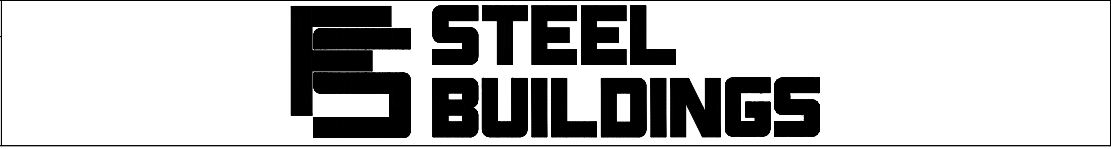
GENERAL NOTES

ANCHOR RODS BY OTHERS

WEDGE ANCHOR BY OTHERS

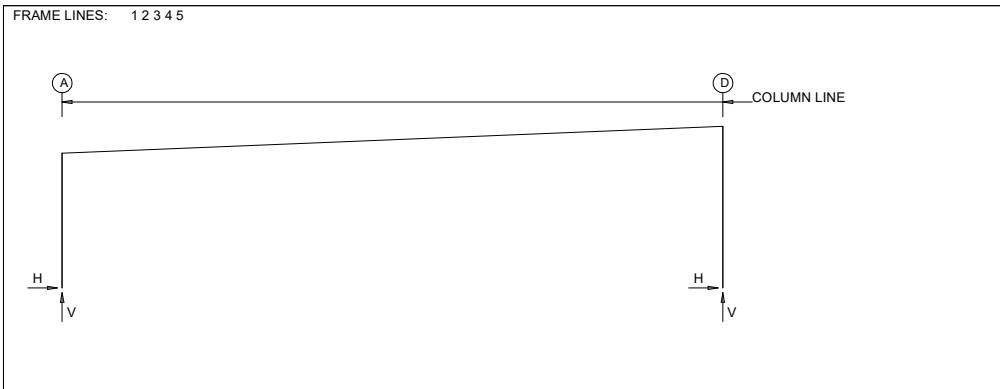
DRAWING REVISIONS

DRAWING USAGE



ANCHOR BOLT DETAILS
MILLS CONTRACTING
1085 GLUCKSTADT ROAD MADISON, MS 39110

RF2553-24TH
MILLS OFFICE
MADISON, MS 39110



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)			Grout (in)
		Load Id	Hmax H	Vmax V	Load Id	Hmin H	Vmin V			Width	Length	Thick	
1	A	1	4.3	6.4	3	-2.2	-2.5	4	0.750	6.000	12.00	0.375	0.0
		6	-2.1	-3.8	6	-2.1	-3.8						
1	D	1	2.3	-3.8	1	-4.3	6.5	4	0.750	6.000	12.31	0.375	0.0
		6	-4.3	6.5	6	2.3	-3.8						

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)			Grout (in)
		Load Id	Hmax H	Vmax V	Load Id	Hmin H	Vmin V			Width	Length	Thick	
2*	A	1	8.3	12.3	3	-4.8	-5.5	4	0.750	8.000	12.00	0.375	0.0
		5	-2.7	-6.2	5	-2.7	-6.2						
2*	D	4	3.1	-3.0	1	-8.3	12.5	4	0.750	8.000	13.81	0.375	0.0
		1	-8.3	12.5	5	2.8	-6.5						

2* Frame lines: 2 3 4

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)			Grout (in)
		Load Id	Hmax H	Vmax V	Load Id	Hmin H	Vmin V			Width	Length	Thick	
5	A	1	4.2	8.1	3	-2.2	-3.8	4	0.750	6.000	12.00	0.375	0.0
		5	-2.1	-5.8	5	-2.1	-5.8						
5	D	5	2.2	-6.1	1	-4.2	8.2	4	0.750	6.000	12.00	0.375	0.0
		1	-4.2	8.2	5	2.2	-6.1						

NOTES FOR REACTIONS

- All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
- Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:
 - Width (ft) = 58.0
 - Length (ft) = 78.0
 - Eave Height (ft) = 12.0/ 14.4
 - Roof Slope (rise/12) = 0.50
 - Roof Dead Load (psf) = 2.5
 - Wall Dead Load (psf) = 25.0
 - Left Endwall (psf) = 25.0
 - Right Endwall (psf) = 25.0
 - Front Sidewall (psf) = 25.0
 - Back Sidewall (psf) = 25.0
 - Roof Live Load (psf) = 20.0
 - Frame Live Load (psf) = 12.0
 - Min (psf) = 12.0
 - Max (psf) = 12.8
 - Collateral Load (psf) = 5.0
 - Snow Load (psf) = 3.5
 - Minimum Snow (psf) = 5.0
 - Wind Speed (mph) = 110.0
 - Wind Code = IBC 18
 - Exposure = C
 - Closure = Enclosed
 - Internal Wind Coeff = -0.18, +0.18
 - Risk Category = II - Normal
 - Importance - Wind = 1.00
 - Importance - Seismic = 1.00
 - Seismic Design Category = C
 - Seismic Coeff (Sms) = 0.24
- Loading conditions are:
 - Dead+Collateral+Live
 - Dead+Collateral+Snow+Snow_Drift
 - 0.6Dead+0.6Wind_Left1
 - 0.6Dead+0.6Wind_Right1
 - 0.6Dead+0.6Wind_Long1L
 - 0.6Dead+0.6Wind_Long1R
 - 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L
 - 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	---Dead---		--Collateral--		----Live----		----Snow----		--Wind_Left1-		-Wind_Right1-	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1	A	0.9	1.4	1.0	1.4	2.5	3.6	0.7	1.0	-4.6	-5.6	-1.1	-3.1
1	D	-0.9	1.5	-1.0	1.4	-2.5	3.6	-0.7	1.0	2.6	-5.2	3.3	-3.7
1	A	-3.6	-3.4	0.0	-0.9	-4.4	-7.7	-2.2	-4.4	-0.5	-0.2	0.5	0.2
1	D	1.6	-3.0	2.2	-1.5	4.7	-7.8	2.3	-4.4	-0.4	0.2	0.4	-0.2
1	A	1.0	1.4										
1	D	-1.0	1.4										
5	A	0.8	1.6	1.0	1.5	2.4	5.0	0.7	1.2	0.0	1.1	-4.5	-8.0
5	D	-0.8	1.7	-1.0	1.5	-2.4	5.0	-0.7	1.2	0.0	1.1	2.4	-7.6
5	A	-1.0	-5.6	-3.5	-5.8	0.1	-3.3	-4.3	-11.2	-2.1	-7.4	-0.6	-0.2
5	D	3.1	-6.1	1.4	-5.4	2.0	-3.9	4.6	-11.9	2.2	-8.0	-0.5	0.2
5	A	0.6	0.2	0.0	-1.2	1.0	1.4						
5	D	0.5	-0.2	0.0	-1.6	-1.0	1.4						
2*	A	1.5	2.4	2.0	2.9	4.8	6.9	1.4	2.0	-9.4	-11.5	-2.2	-6.5
2*	D	-1.5	2.6	-2.0	2.9	-4.8	7.0	-1.4	2.0	5.2	-10.8	6.7	-7.6
2*	A	-7.4	-6.9	0.1	-1.9	-6.0	-12.8	-3.3	-8.7	-0.5	-0.2	0.5	0.2
2*	D	3.2	-6.2	4.4	-3.0	6.2	-13.5	3.2	-9.3	-0.4	0.2	0.4	-0.2
2*	A	0.0	-1.2	2.0	2.9								
2*	D	0.0	-1.6	-2.0	2.9								

2* Frame lines: 2 3 4

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Snow Drift Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	W Lc	W R
5	C	0.5	0.1	2.1	0.4	1.8	-3.0	-3.0	-3.0	-3.0	-2.2	2.4	-3.0	-3.0
5	B	0.4	0.1	2.1	0.4	1.8	-3.0	-3.0	-3.0	-3.0	-2.0	2.2	-3.0	-3.0
5	C	-0.4	0.1											
5	B	-0.4	0.1											

ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)			Grout (in)
		Load Id	Hmax H	Vmax V	Load Id	Hmin H	Vmin V			Width	Length	Thick	
5	C	7	1.4	-1.5	8	-1.3	-1.5	4	0.625	6.000	8.000	0.375	0.0
		1	0.0	2.7	7	1.4	-1.5						
5	B	7	1.3	-1.5	8	-1.2	-1.5	4	0.625	6.000	8.000	0.375	0.0
		2	0.0	2.7	7	1.3	-1.5						

ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type
8	Endwall	5/8"	A307
40	Frame	3/4"	A307

BUILDING BRACING REACTIONS

Wall Loc	Col Line	Reactions(k)				Panel Shear (lb/ft)	Note
		Wind Horiz	Wind Vert	Seismic Horiz	Seismic Vert		
L_EW	1					(h)	
F_SW	D	4.5	1.6	2.2	1.2	1.6	(b)
R_EW	5					(h)	
B_SW	A	4.5	1.5	1.7	1.1	1.2	(b)

(b) Wind bent in bay, base above finish floor
(h) Rigid frame at endwall

Reactions for seismic represent shear force, Eh
Reaction values shown are unfactored

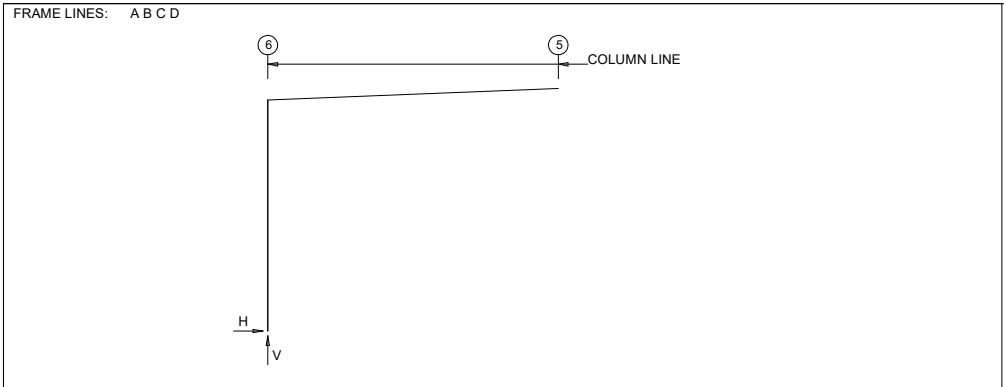
Section 8, ID

DRAWING REVISIONS	DRAWING USAGE



ANCHOR BOLT REACTIONS		RF2553-24TH	
CUSTOMER	MILLS CONTRACTING	PROJECT	MILLS OFFICE
	1085 GLUCKSTADT ROAD MADISON, MS 39110		MADISON, MS 39110

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RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	---Dead---	---Collateral---	---Live---	---Snow---	--Snow Drift--	--Wind_Left1--
		Horz	Vert	Horz	Vert	Horz	Vert
A*	6	0.0	0.4	0.0	0.1	0.0	0.4
Frame Line	Column Line	-Wind_Right1-	-Wind_Left2-	-Wind_Right2-	--Wind_Long1-	--Wind_Long2-	-MIN_SNOW-
A*	6	1.0	-1.8	-1.0	-0.9	-0.3	0.1
Frame Line	Column Line	---Dead---	---Collateral---	---Live---	---Snow---	--Snow Drift--	--Wind_Left1--
B*	6	0.0	0.5	0.0	0.2	0.0	2.0
Frame Line	Column Line	Horz	Vert	Horz	Vert	Horz	Vert
B*	6	1.5	-2.8	-1.6	-1.4	-0.4	0.2

A* Frame lines: A D
B* Frame lines: B C

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Wind Press Horz	Wind Suct Horz	Seis Left Vert	Seis Right Vert
A	5	0.1	-1.5	1.6	0.0	0.0
D	5	0.1	-1.5	1.6	0.0	0.0

ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column Reactions(k)			Bolt(in)		Base_Plate(in)			Grout (in)			
		Load Id	Hmax	V Vmax	Qty	Dia	Width	Length	Thick				
A	5	6	0.9	0.1	7	-0.9	0.1	4	0.625	6.000	8.000	0.375	0.0
D	5	6	1.0	0.1	7	-0.9	0.1	4	0.625	6.000	8.000	0.375	0.0
		8	1.0	0.1									

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column Reactions(k)						Bolt(in)		Base_Plate(in)			Grout (in)
		Load Id	Hmax	V Vmax	Load Id	Hmin	V Vmin	Qty	Dia	Width	Length	Thick	
A*	6	5	0.7	-0.9	3	-0.6	-0.3	4	0.750	6.000	8.000	0.375	0.0
		1	0.0	2.4	4	0.7	-1.4						

A* Frame lines: A D

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column Reactions(k)						Bolt(in)		Base_Plate(in)			Grout (in)
		Load Id	Hmax	V Vmax	Load Id	Hmin	V Vmin	Qty	Dia	Width	Length	Thick	
B*	6	5	1.1	-1.2	3	-1.0	-0.5	4	0.750	6.000	8.000	0.375	0.0
		1	0.0	3.7	2	0.2	-2.3						

B* Frame lines: B C

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	± Reactions(k)				Panel Shear (lb/ft)		Note
			Wind Horz	Wind Vert	Seismic Horz	Seismic Vert	Wind	Seis	
L_EW	A							(h)	
F_SW	5							(e)	
R_EW	D							(h)	
B_SW	6		Torsional Bracing Used						

(e) Bracing loads must be applied to supporting building
(h) Rigid frame at endwall

Reactions for seismic represent shear force, Eh
Reaction values shown are unfactored

NOTES FOR REACTIONS

- All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
- Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:
 - Width (ft) = 13.0
 - Length (ft) = 58.0
 - Eave Height (ft) = 10.5/ 11.0
 - Roof Slope (rise/12) = 0.50
 - Roof Dead Load (psf) = 2.5
 - Wall Dead Load (psf) = 2.0
 - Left Endwall (psf) = 2.0
 - Right Endwall (psf) = 2.0
 - Front Sidewall (psf) = 2.0
 - Back Sidewall (psf) = 2.0
 - Roof Live Load (psf) = 20.0
 - Frame Live Load (psf) = 20.0
 - Min (psf) = 19.3
 - Max (psf) = 20.0
 - Collateral Load (psf) = 1.0
 - Snow Load (psf) = 3.5
 - Minimum Snow (psf) = 5.0
 - Wind Speed (mph) = 110.0
 - Wind Code = IBC 18
 - Exposure = C
 - Closure = Partially Enclosed
 - Internal Wind Coeff = -0.55, +0.55
 - Risk Category = II - Normal
 - Importance - Wind = 1.00
 - Importance - Seismic = 1.00
 - Seismic Design Category = C
 - Seismic Coeff (Sms) = 0.24
- Loading conditions are:
 - Dead+Collateral+Live
 - 0.6Dead+0.6Wind_Left1
 - 0.6Dead+0.6Wind_Left2
 - 0.6Dead+0.6Wind_Long1R
 - 0.6Dead+0.6Wind_Long2R
 - 0.6Dead+0.6Wind_Right2+0.6Wind_Suction
 - 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
 - Dead+0.6Wind_Right2+0.6Wind_Suction

ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type
8	Endwall	5/8"	A307
16	Frame	3/4"	A307

DRAWING REVISIONS

Rev	Description

DRAWING USAGE

Usage	Date

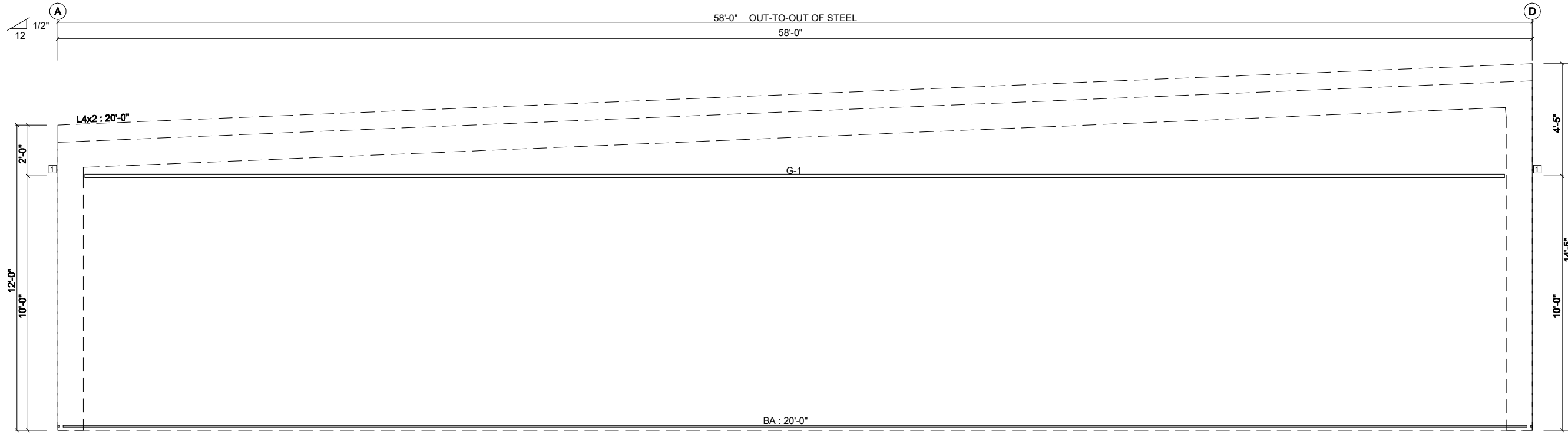


ANCHOR BOLT REACTIONS

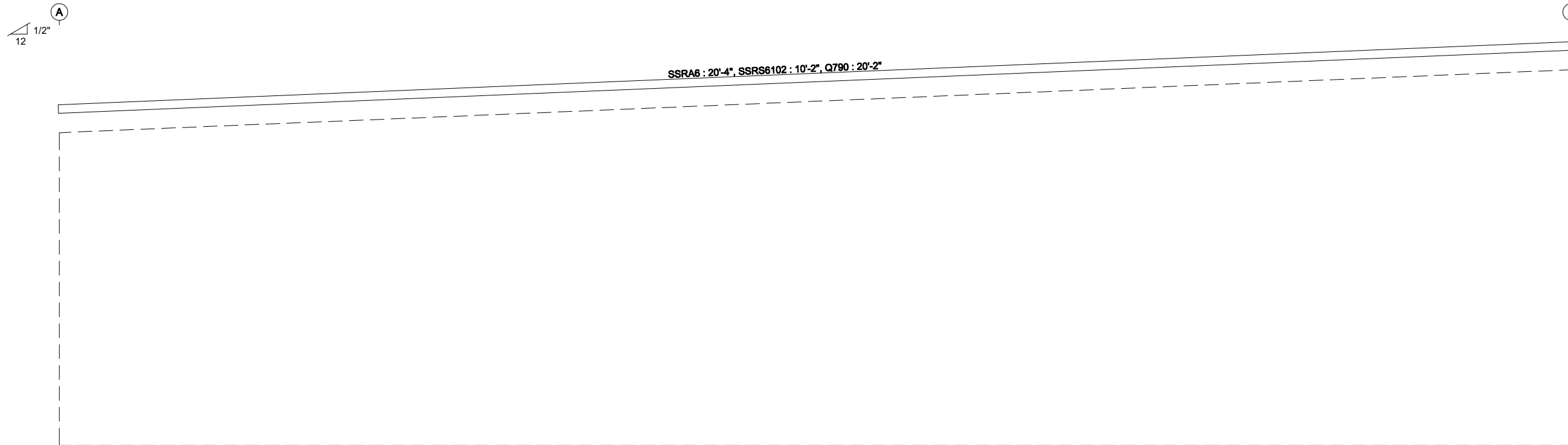
MILLS CONTRACTING
1085 GLUCKSTADT ROAD MADISON, MS 39110

PROJECT

RF2553-24TH
MILLS OFFICE
MADISON, MS 39110



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

MEMBER TABLE: FRAME LINE 1			
QUAN	MARK	PART	
1	G-1	W8X48	Section 8, ID)

TRIM TABLE (Trim laps 2" unless noted otherwise)				
QID	QUAN	MARK	LENGTH	DETAIL
0	3	Q790	20'-2"	TRIM_310
0	6	SSRS61	10'-2"	TRIM_311
0	3	SSRA6	20'-4"	TRIM_310

CLIP TABLE: FRAME LINE 1			
QID	QUAN	MARK	
1	2	Z42516	

ANGLE TABLE: FRAME LINE 1			
QID	QUAN	MARK	LENGTH
0		BA	20'-0"
0		L4x2	20'-0"

DRAWING REVISIONS

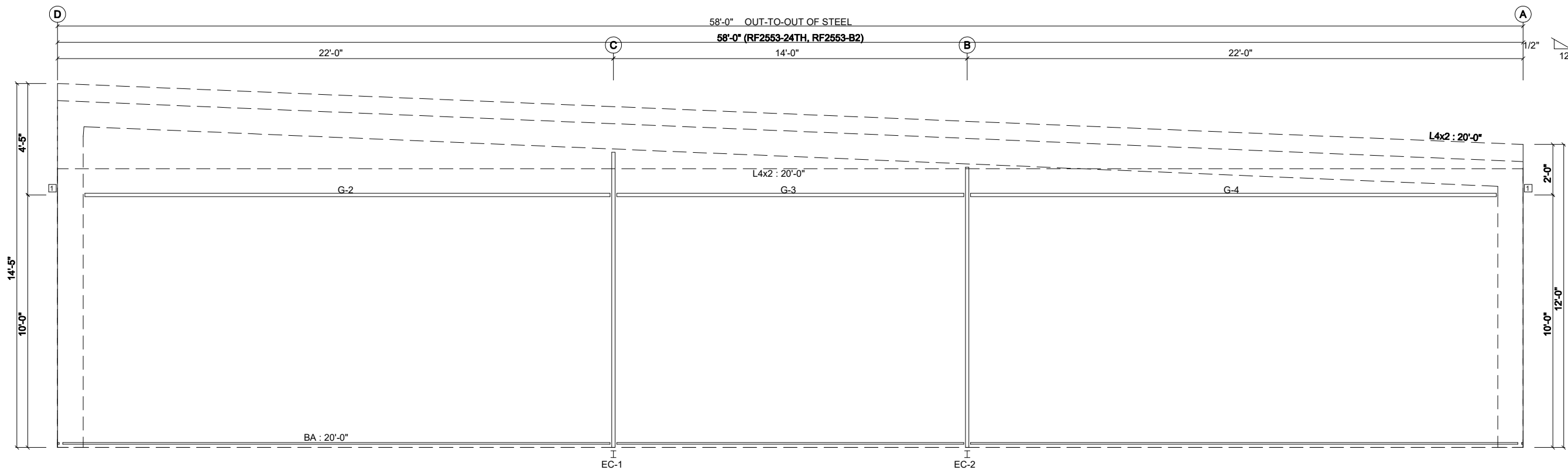
DRAWING USAGE



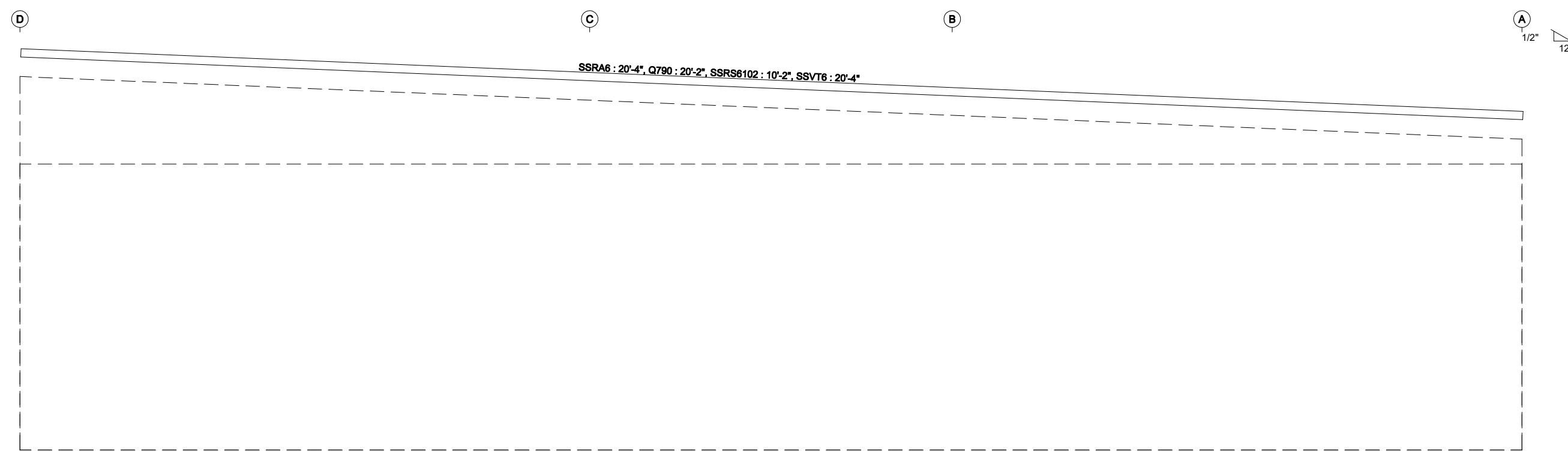
ENDWALL FRAMING
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RF2553-24TH
MILLS OFFICE
MADISON, MS 39110

BHEET	162
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ENDWALL FRAMING: FRAME LINE 5



ENDWALL SHEETING & TRIM: FRAME LINE 5

MEMBER TABLE: FRAME LINE 5

QUAN	MARK	PART		
1	EC-1	W8X10	Section 8, ID)	
1	EC-2	W8X10		
1	G-2	W8X13		20'-8 5/16"
1	G-3	W8X10		13'-5 1/2"
1	G-4	W8X13	20'-2 3/8"	

TRIM TABLE
(Trim laps 2" unless noted otherwise)

<ID	QUAN	MARK	LENGTH	DETAIL
0	3	SSVT6	20'-4"	TRIM_312
0	6	SSRS61	10'-2"	TRIM_312
0	3	Q790	20'-2"	TRIM_310
0	3	SSRA6	20'-4"	TRIM_310

BOLT TABLE: FRAME LINE 5

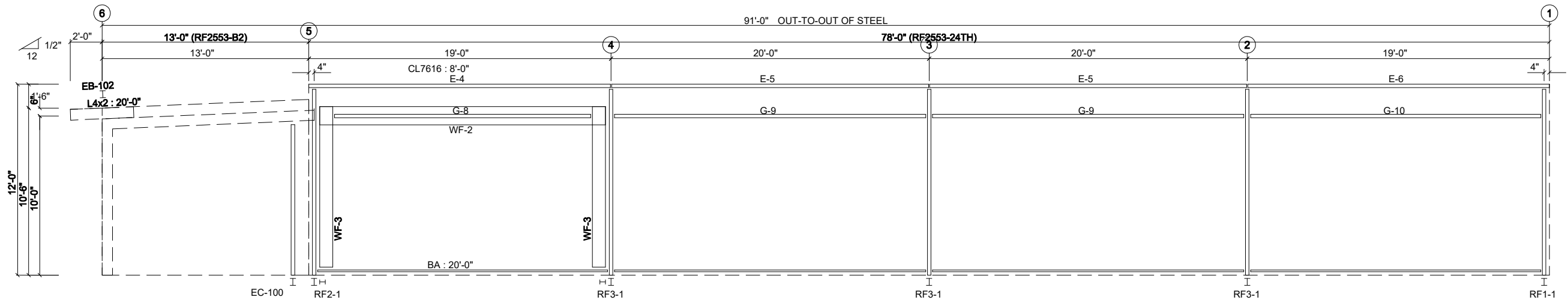
LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Raf	2	A325	5/8"	1 1/2"
Columns/Raf	2	A325	5/8"	1 1/2"

CLIP TABLE: FRAME LINE 5

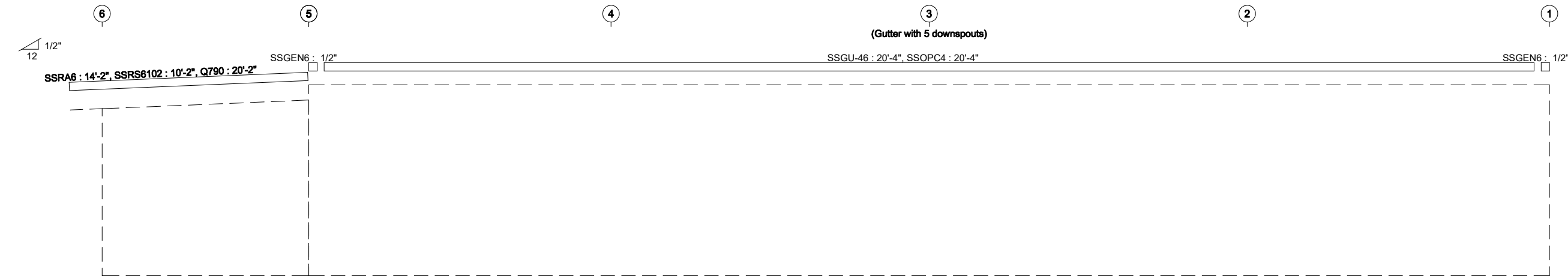
ID	QUAN	MARK
1	2	Z42516

ANGLE TABLE: FRAME LINE 5

<ID	QUAN	MARK	LENGTH
0		BA	20'-0"
0		L4x2	20'-0"



WALL FRAMING: FRAME LINE A



WALL SHEETING & TRIM: FRAME LINE A

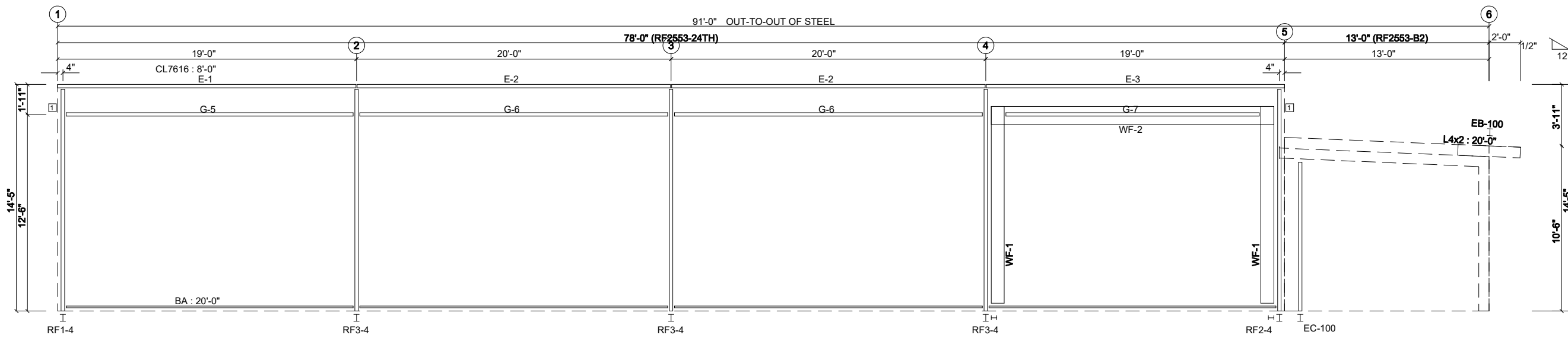
MEMBER TABLE: FRAME LINE A				
QUAN	MARK	PART	Section 8, ID)	
1	WF-2	W14X22		
2	WF-3	W10X12		
1	E-4	08534DU1	18'-11 1/2"	
2	E-5	08534DU1	19'-11 1/2"	
1	E-6	08534DU1	18'-11 1/2"	
1	G-8	W8X10	18'-6 1/4"	
2	G-9	W8X10	19'-4 1/2"	
1	G-10	W8X10	18'-1 3/4"	
1	EB-102	W8X10	3'-6 3/8"	
1	EC-100	W8X10	9'-5 15/16"	

TRIM TABLE (Trim laps 2" unless noted otherwise)				
QID	QUAN	MARK	LENGTH	DETAIL
0	1	SSGEN6	1/2"	TRIM_308
0	4	SSOPC4	20'-4"	TRIM_308
0	4	SSGU-4	20'-4"	TRIM_308
0	1	Q790	20'-2"	TRIM_310
0	2	SSRS61	10'-2"	TRIM_311
0	1	SSRA6	14'-2"	TRIM_310

BOLT TABLE: FRAME LINE A				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-3 - WF-2	8	A325	3/4"	1 3/4"
WF-3 - RF2-1	8	A325	5/8"	1 3/4"
WF-3 - RF3-1	8	A325	5/8"	1 3/4"
Cor_Column/Raf	2	A325	5/8"	1 1/2"
WF-3 - WF-2	8	A325	3/4"	1 3/4"
WF-3 - RF2-1	8	A325	5/8"	1 3/4"
WF-3 - RF3-1	8	A325	5/8"	1 3/4"
Cor_Column/Raf	2	A325	5/8"	1 1/2"

ANGLE TABLE: FRAME LINE A			
QID	QUAN	MARK	LENGTH
0		BA	20'-0"
0		CL7616	8'-0"
0		L4x2	20'-0"

DRAWING REVISIONS	DRAWING USAGE		SIDEWALL FRAMING	RF2553-24TH	SHEET
			MILLS CONTRACTING	MILLS OFFICE	
			1085 GLUCKSTADT ROAD MADISON, MS 39110	MADISON, MS 39110	



WALL FRAMING: FRAME LINE D



WALL SHEETING & TRIM: FRAME LINE D

MEMBER TABLE: FRAME LINE D				
QUAN	MARK	PART	Section 8, ID)	
2	WF-1	W10X12		
1	WF-2	W14X22		
1	E-1	08534DD0	18'-11 1/2"	
2	E-2	08534DD0	19'-11 1/2"	
1	E-3	08534DD0	18'-11 1/2"	
1	G-5	W8X10	18'-1 5/8"	
2	G-6	W8X10	19'-4 1/4"	
1	G-7	W8X10	18'-6 1/8"	
1	EB-100	W8X10	3'-6 3/8"	
1	EC-100	W8X10	9'-5 15/16"	

TRIM TABLE (Trim laps 2" unless noted otherwise)				
Q>ID	QUAN	MARK	LENGTH	DETAIL
0	1	SSVT6	14'-2"	TRIM_312
0	2	SSRS61	10'-2"	TRIM_312
0	1	Q790	20'-2"	TRIM_310
0	1	SSRA6	14'-2"	TRIM_310
0	1	SSRE4	1'-0"	TRIM_507
0	4	SSHI-2	20'-4"	TRIM_309

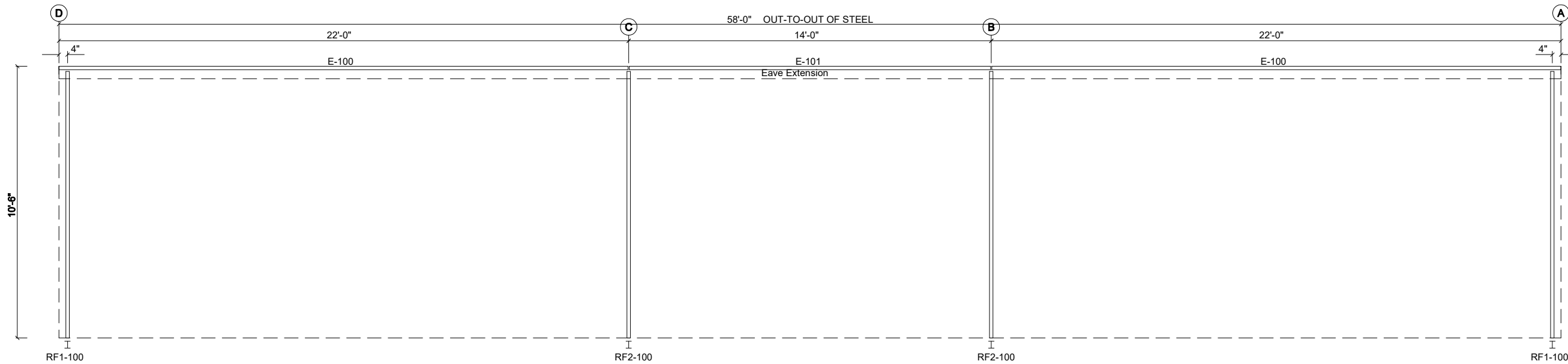
BOLT TABLE: FRAME LINE D				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - WF-2	8	A325	3/4"	1 3/4"
WF-1 - RF3-4	8	A325	5/8"	1 3/4"
WF-1 - RF2-4	8	A325	5/8"	1 3/4"
Cor_Column/Raf	2	A325	5/8"	1 1/2"
WF-1 - WF-2	8	A325	3/4"	1 3/4"
WF-1 - RF3-4	8	A325	5/8"	1 3/4"
WF-1 - RF2-4	8	A325	5/8"	1 3/4"
Cor_Column/Raf	2	A325	5/8"	1 1/2"

CLIP TABLE: FRAME LINE D			
Q>ID	QUAN	MARK	
1	2	Z42516	

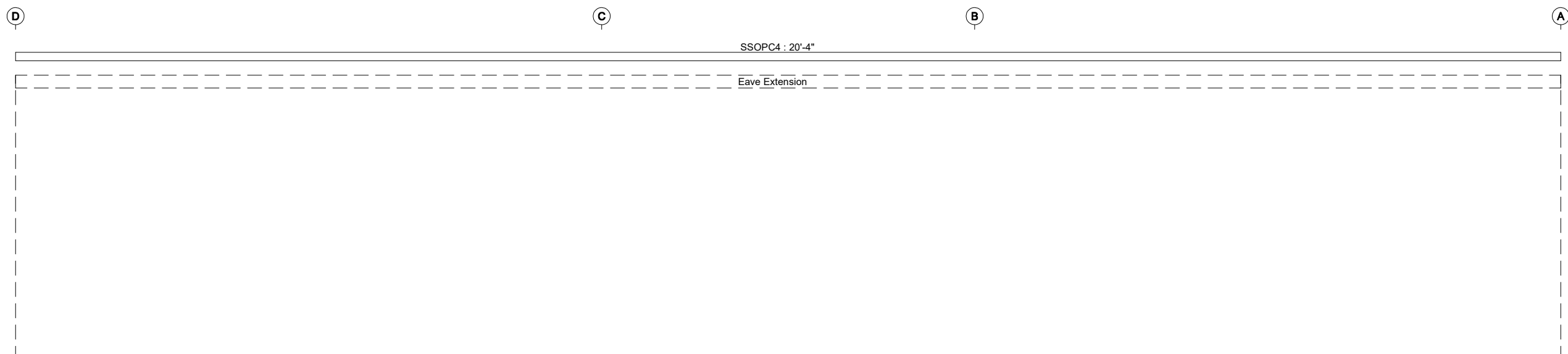
ANGLE TABLE: FRAME LINE D			
Q>ID	QUAN	MARK	LENGTH
0		BA	20'-0"
0		L4x2	20'-0"
0		CL7616	8'-0"

MEMBER TABLE: FRAME LINE 6			
QUAN	MARK	PART	
2	E-100	08534DU1	Section 8, ID)
1	E-101	08534DU1	

TRIM TABLE (Trim laps 2" unless noted otherwise)				
QID	QUAN	MARK	LENGTH	DETAIL
0	3	SSOPC4	20'-4"	TRIM_321

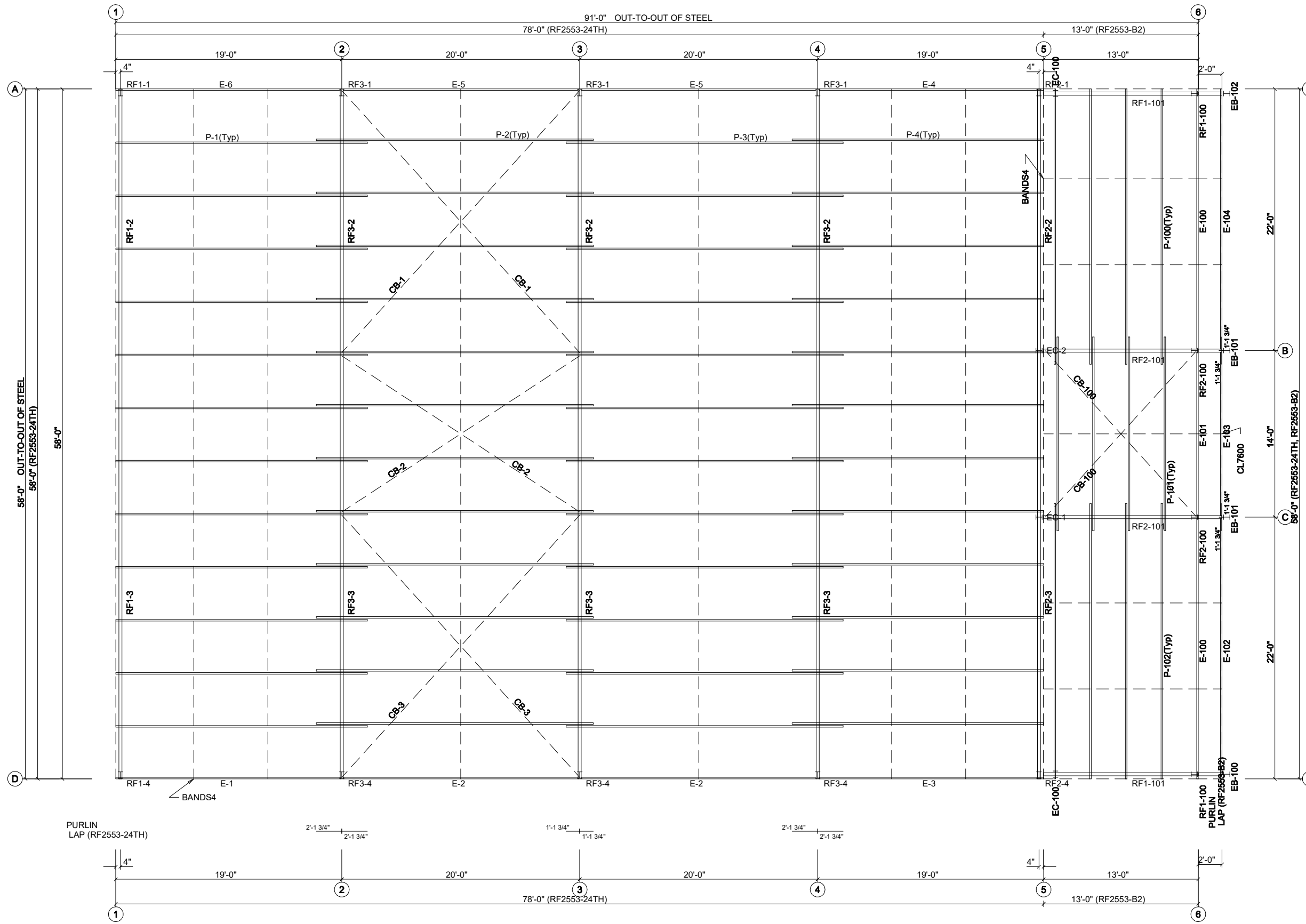


SIDEWALL FRAMING: FRAME LINE 6



SIDEWALL SHEETING & TRIM: FRAME LINE 6

DRAWING REVISIONS	DRAWING USAGE		SIDEWALL FRAMING	RF2553-24TH	SHEET
			MILLS CONTRACTING	MILLS OFFICE	
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ROOF FRAMING PLAN

BOLT TABLE: FRAME LINE					
LOCATION	QUAN	TY	Section 8, ID		
EB-100	4	A3			
EB-101	4	A3			
EB-102	4	A325	5/8"		1 3/4"

MEMBER TABLE: FRAME LINE				
QUAN	MARK	PART	LENGTH	
12	P-1	Z82516	21'-1 1/2"	
12	P-2	Z82516	23'-3 1/2"	
12	P-3	Z82516	23'-3 1/2"	
12	P-4	Z82516	21'-1 1/2"	
1	E-1	08534DD0	18'-11 1/2"	
2	E-2	08534DD0	19'-11 1/2"	
1	E-3	08534DD0	18'-11 1/2"	
1	E-4	08534DU1	18'-11 1/2"	
2	E-5	08534DU1	19'-11 1/2"	
1	E-6	08534DU1	18'-11 1/2"	
2	CB-1	HW373	29'-0 1/4"	
2	CB-2	HW373	24'-0 1/4"	
2	CB-3	HW373	29'-8 1/4"	
1	EB-100	W8X10	3'-6 3/8"	
2	EB-101	W8X10	3'-6 3/8"	
1	EB-102	W8X10	3'-6 3/8"	
4	P-100	Z82516	23'-1 1/2"	
4	P-101	Z82516	16'-3 1/2"	
4	P-102	Z82516	23'-1 1/2"	
2	E-100	08534DU1	21'-1 1/2"	
1	E-101	08534DU1	13'-5 1/2"	
1	E-102	08534DU1	21'-8 1/2"	
1	E-103	08534DU1	13'-5 1/2"	
1	E-104	08534DU1	21'-8 1/2"	
2	CB-100	HW373	18'-6 1/4"	

ANGLE TABLE: FRAME LINE			
ID	QUAN	MARK	LENGTH
0	2	BANDS4	300'-0"
0	8	CL7600	8'-0"

DRAWING REVISIONS

DRAWING USAGE



STEEL BUILDINGS

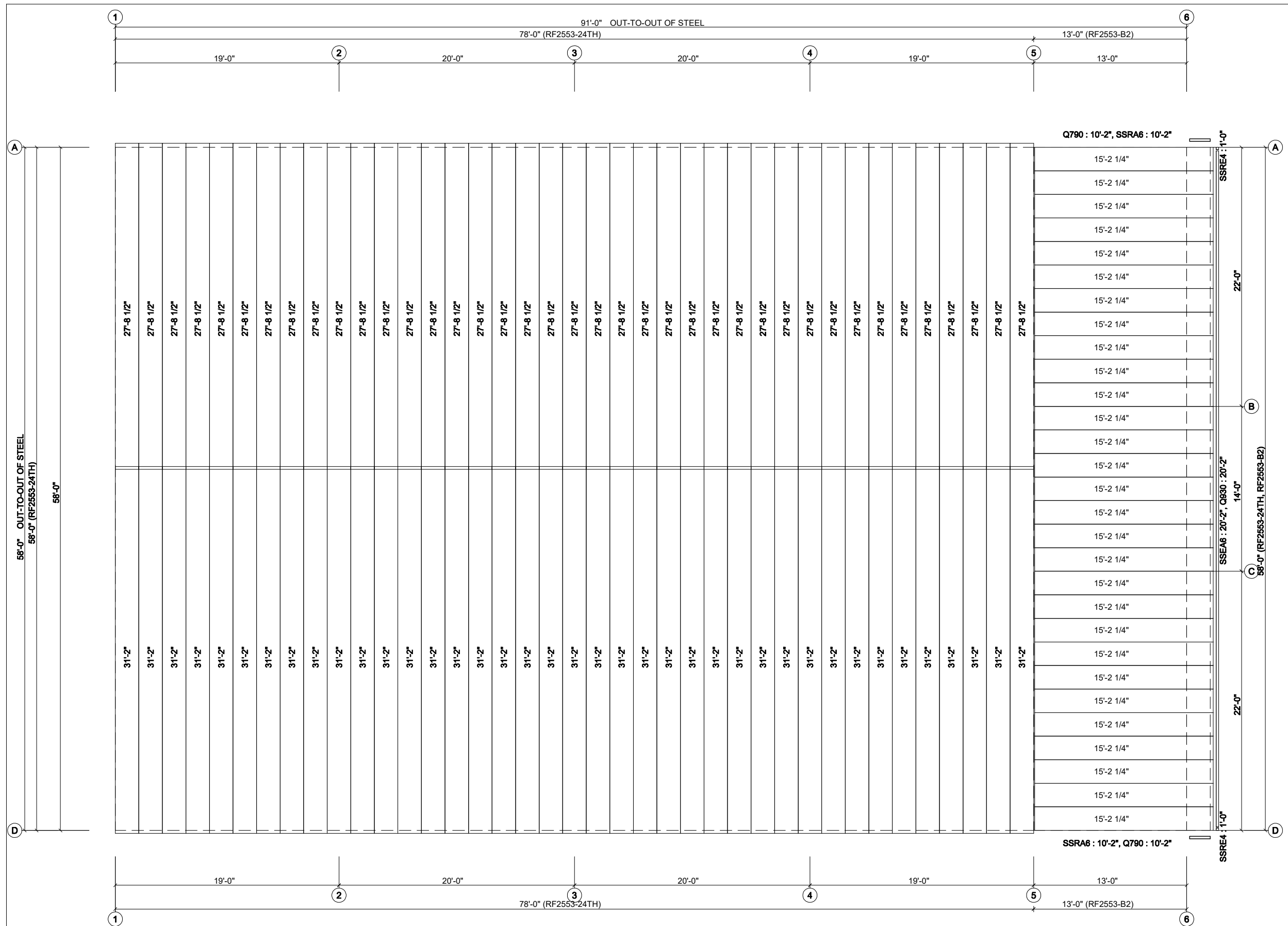
ROOF FRAMING
MILLS CONTRACTING
1085 GLUCKSTADT ROAD MADISON, MS 39110

RF2553-24TH
MILLS OFFICE
MADISON, MS 39110

SHEET	167
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EXTENSION/CANOPY BOLTS			
ROOF PLAN			
MARK	QUAN	TY	
EB-100	4	A33	
EB-101	4	A33	
EB-102	4	A325	5/8 1 3/4

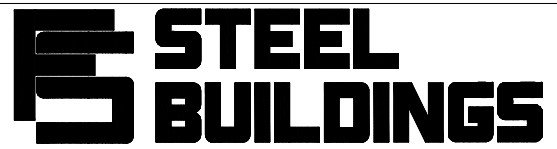
Section 8, ID



ROOF SHEETING PLAN
PANELS: 24 Ga. CSM+

DRAWING REVISIONS

DRAWING USAGE



ROOF SHEETING	RF2553-24TH
MILLS CONTRACTING	MILLS OFFICE
1085 GLUCKSTADT ROAD MADISON, MS 39110	MADISON, MS 39110

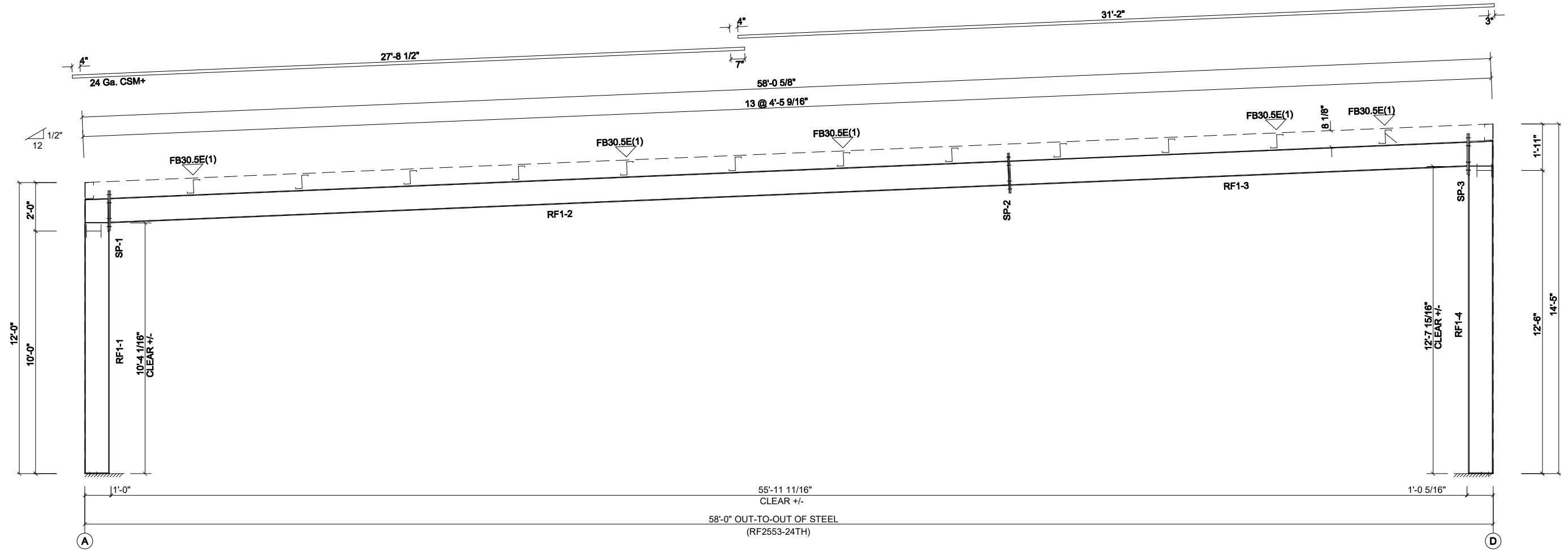
CUSTOMER	PROJECT
1085 GLUCKSTADT ROAD MADISON, MS 39110	MADISON, MS 39110

SHEET	168
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SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	0	A325	3/4"	2 1/4"	6"	5/8"	1'-8 1/4"
SP-2	4	4	0	A325	3/4"	2"	6"	1/2"	1'-7 3/4"
SP-3	4	4	0	A325	3/4"	2 1/4"	6"	5/8"	1'-8 1/2"

MEMBER SIZE TABLE			
MARK	MEMBER	LENG	
RF1-1	W12X16	11'-3"	Section 8, ID)
RF1-2	W12X19	37'-4"	
RF1-3	W12X19	18'-11 3/8"	
RF1-4	W12X22	13'-8 7/8"	

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxE(1); xx=length(in)
 E - L2X2X1/8



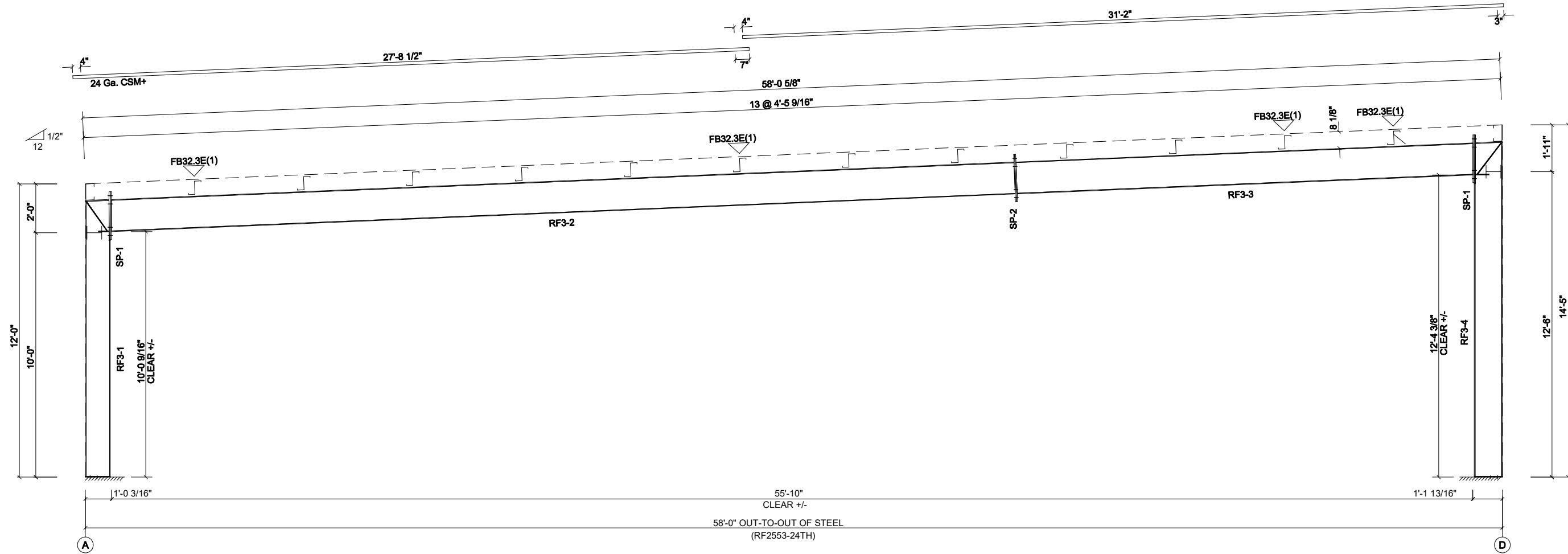
RIGID FRAME ELEVATION: FRAME LINE 1

DRAWING REVISIONS	DRAWING USAGE		RIGID FRAME ELEVATION	RF2553-24TH	SHEET
			MILLS CONTRACTING	MILLS OFFICE	
			1085 GLUCKSTADT ROAD MADISON, MS 39110	MADISON, MS 39110	

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	0	A325	3/4"	2 1/4"	8"	5/8"	2'-0"
SP-2	4	4	0	A325	3/4"	2"	6"	1/2"	1'-11 1/4"

MEMBER SIZE TABLE			
MARK	MEMBER	LENG	
RF3-1	W12X26	11'-3"	Section 8, ID)
RF3-2	W16X26	37'-4"	
RF3-3	W16X26	18'-9 13/16"	
RF3-4	W14X30	13'-8 7/8"	

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxE(1); xx=length(in)
 E - L2X2X1/8



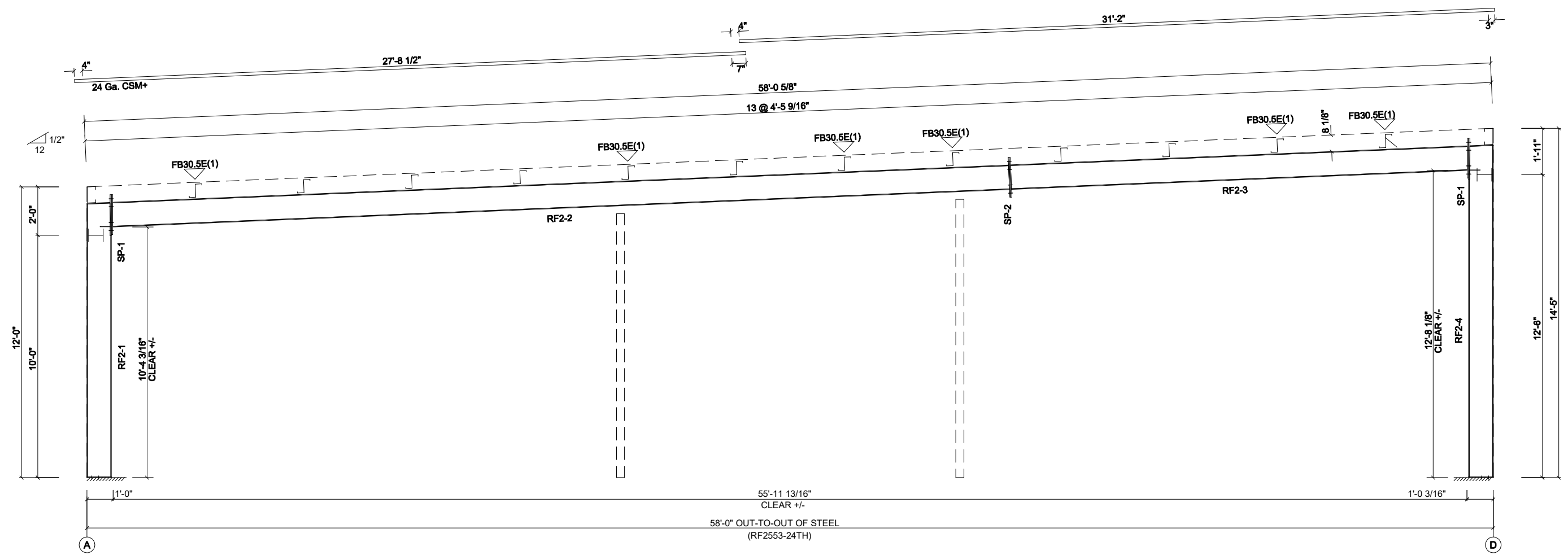
RIGID FRAME ELEVATION: FRAME LINE 2 3 4

DRAWING REVISIONS	DRAWING USAGE		RIGID FRAME ELEVATION	RF2553-24TH	SHEET
			MILLS CONTRACTING	MILLS OFFICE	
			1085 GLUCKSTADT ROAD MADISON, MS 39110	MADISON, MS 39110	

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	0	A325	3/4"	2 1/4"	6"	5/8"	1'-8 1/4"
SP-2	4	4	0	A325	3/4"	2"	6"	1/2"	1'-7 3/4"

MEMBER SIZE TABLE			
MARK	MEMBER	LENG	
RF2-1	W12X16	11'-3"	Section 8, ID)
RF2-2	W12X19	37'-4"	
RF2-3	W12X19	18'-11 7/16"	
RF2-4	W12X19	13'-8 7/8"	

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxE(1); xx=length(in)
 E - L2X2X1/8



RIGID FRAME ELEVATION: FRAME LINE 5

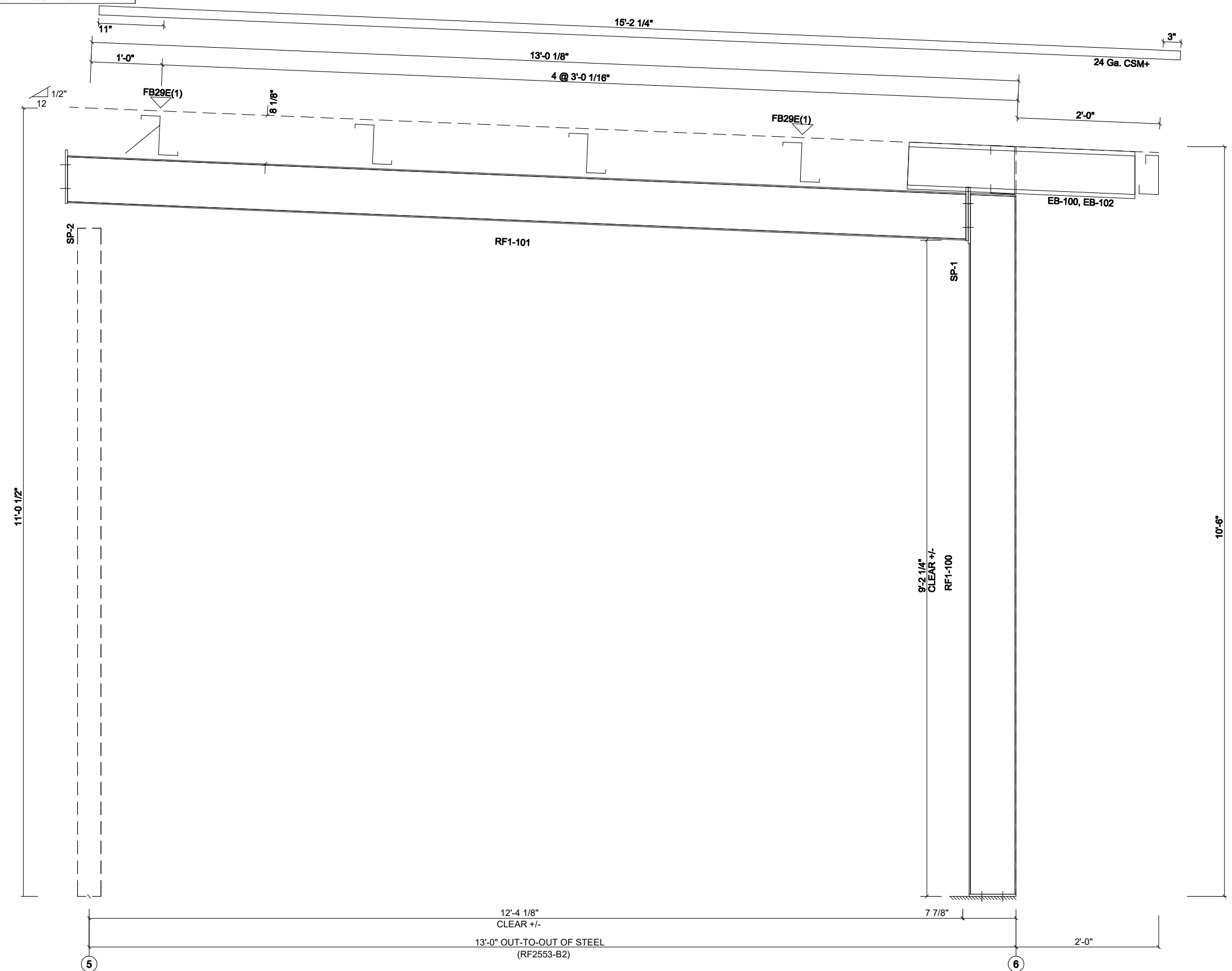
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			MILLS CONTRACTING	MILLS OFFICE	
			1085 GLUCKSTADT ROAD MADISON, MS 39110	MADISON, MS 39110	

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	0	0	A325	3/4"	1 3/4"	6"	3/8"	9 1/2"
SP-2	4	0	0	A325	3/4"	1 3/4"	6"	3/8"	9"

MEMBER SIZE TABLE		
MARK	MEMBER	LENG
RF1-100	W8X10	9'-9"
RF1-101	W8X10	12'-8"

Section 8, ID

FLANGE BRACES: Both Sides(U.N.)
 FBxxE(1): xx=length(in)
 E - L2X2X1/8



RIGID FRAME ELEVATION: FRAME LINE A D

DRAWING REVISIONS

DRAWING USAGE



RIGID FRAME ELEVATION
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RF2553-24TH
MILLS OFFICE
MADISON, MS 39110

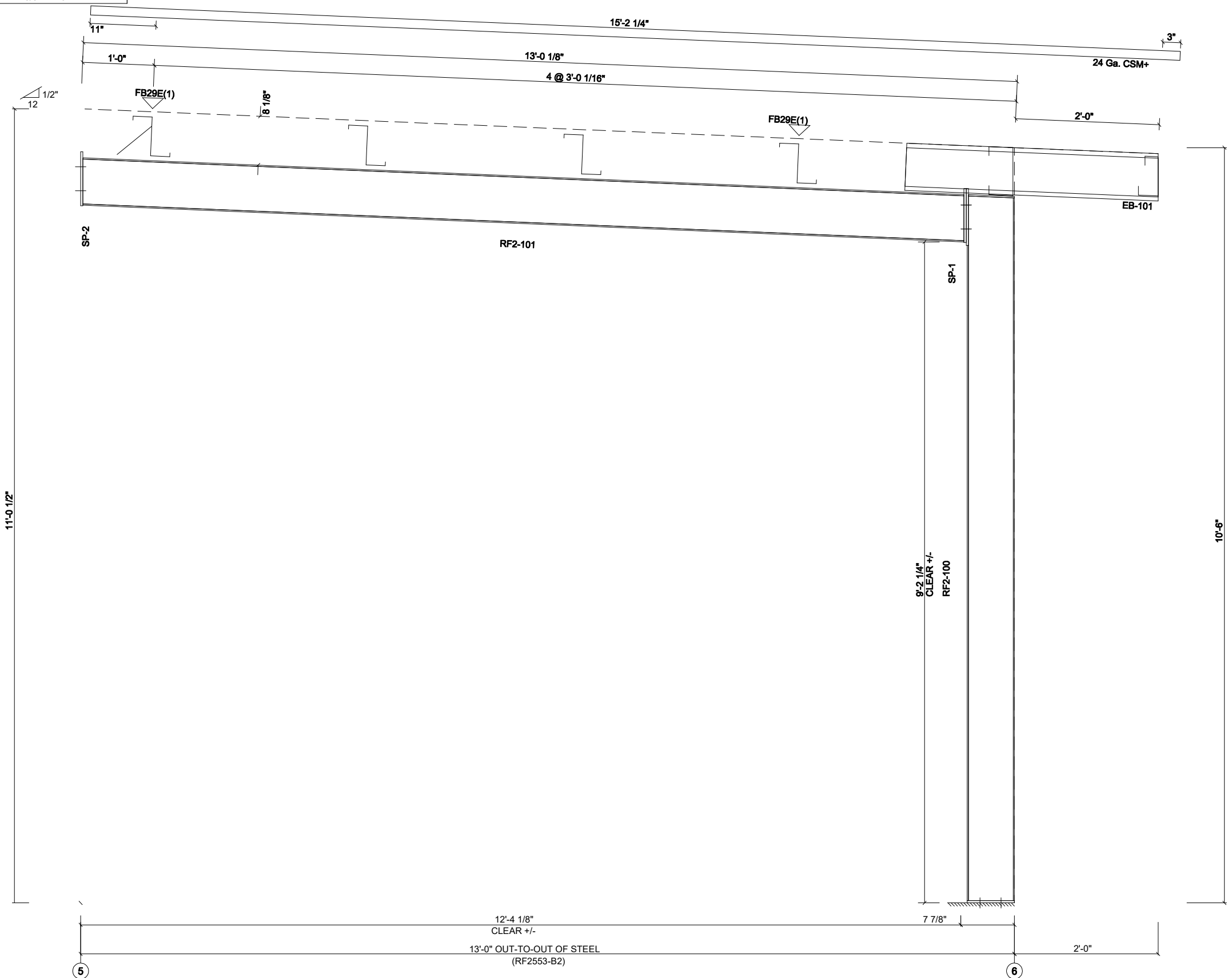
BHEET	172
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SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	0	0	A325	3/4"	1 3/4"	6"	3/8"	9 1/2"
SP-2	4	0	0	A325	3/4"	1 3/4"	6"	3/8"	9"

MEMBER SIZE TABLE		
MARK	MEMBER	LENG
RF2-100	W8X10	9'-9"
RF2-101	W8X10	12'-4"

Section 8, ID

FLANGE BRACES: Both Sides(U.N.)
 FBxxE(1); xx=length(in)
 E - L2X2X1/8



RIGID FRAME ELEVATION: FRAME LINE B C

DRAWING REVISIONS

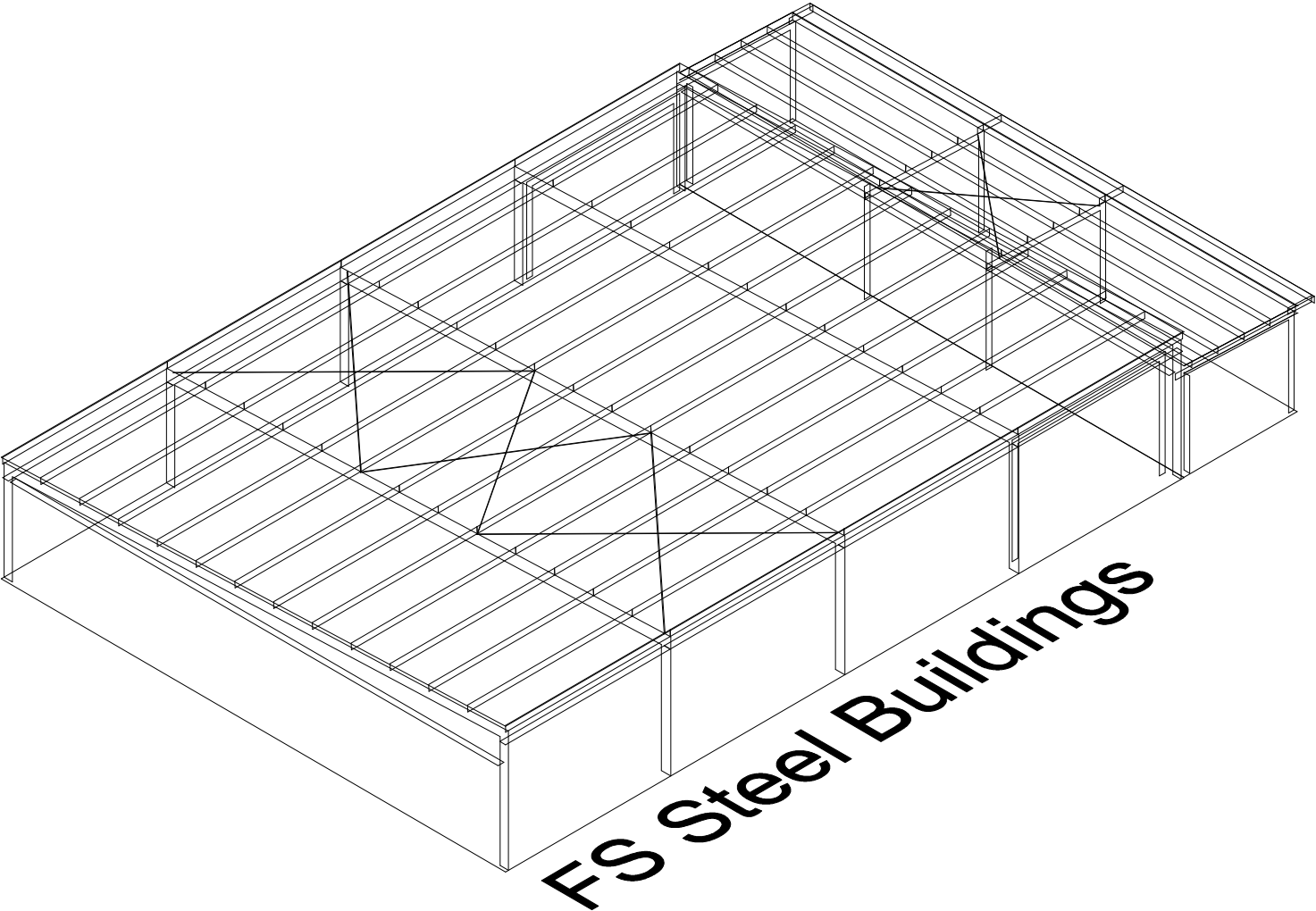
DRAWING USAGE



RIGID FRAME ELEVATION
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RF2553-24TH
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MADISON, MS 39110

SHEET	173
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STANDARD PLUMBING LEGEND

DOMESTIC COLD WATER	_____	TRAP PRIMER	□ T.P.
DOMESTIC HOT WATER	_____	WATER HAMMER ARRESTOR	□ P.D.I.
DOMESTIC HOT WATER RETURN	_____	CLEANOUT	C.O.
SANITARY SEWER PIPING	_____	WALL CLEANOUT	W.C.O. +
DEMO	_____	FINISH FLOOR CLEANOUT	FFCO ○
EXISTING DOMESTIC COLD WATER	_____	FLUSH GRADE CLEANOUT	FGCO □
EXISTING DOMESTIC HOT WATER	_____	NATURAL GAS PIPING	— G —
EXISTING DOMESTIC HOT WATER RETURN	_____		
EXISTING SANITARY SEWER PIPING	_____		
EXISTING STORM PIPING	_____		
EXISTING COMPRESSED AIR PIPING	ExSTORM		
EXISTING NATURAL GAS PIPING	ExA		
EXISTING DRY NITROGEN PIPING	ExG		
CONDENSATE DRAIN	D		
AUXILIARY DRAIN	AD		
BALL VALVE	⊗		
BALANCE VALVE	⊕		



CONTRACTOR TO CONNECT DOMESTIC WATER AND WASTE FROM DISHWASHER TO SINK S-1 INSIDE CABINET.

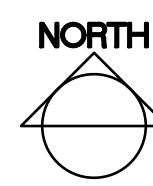
SEE CIVIL DRAWINGS FOR CONTINUATION.



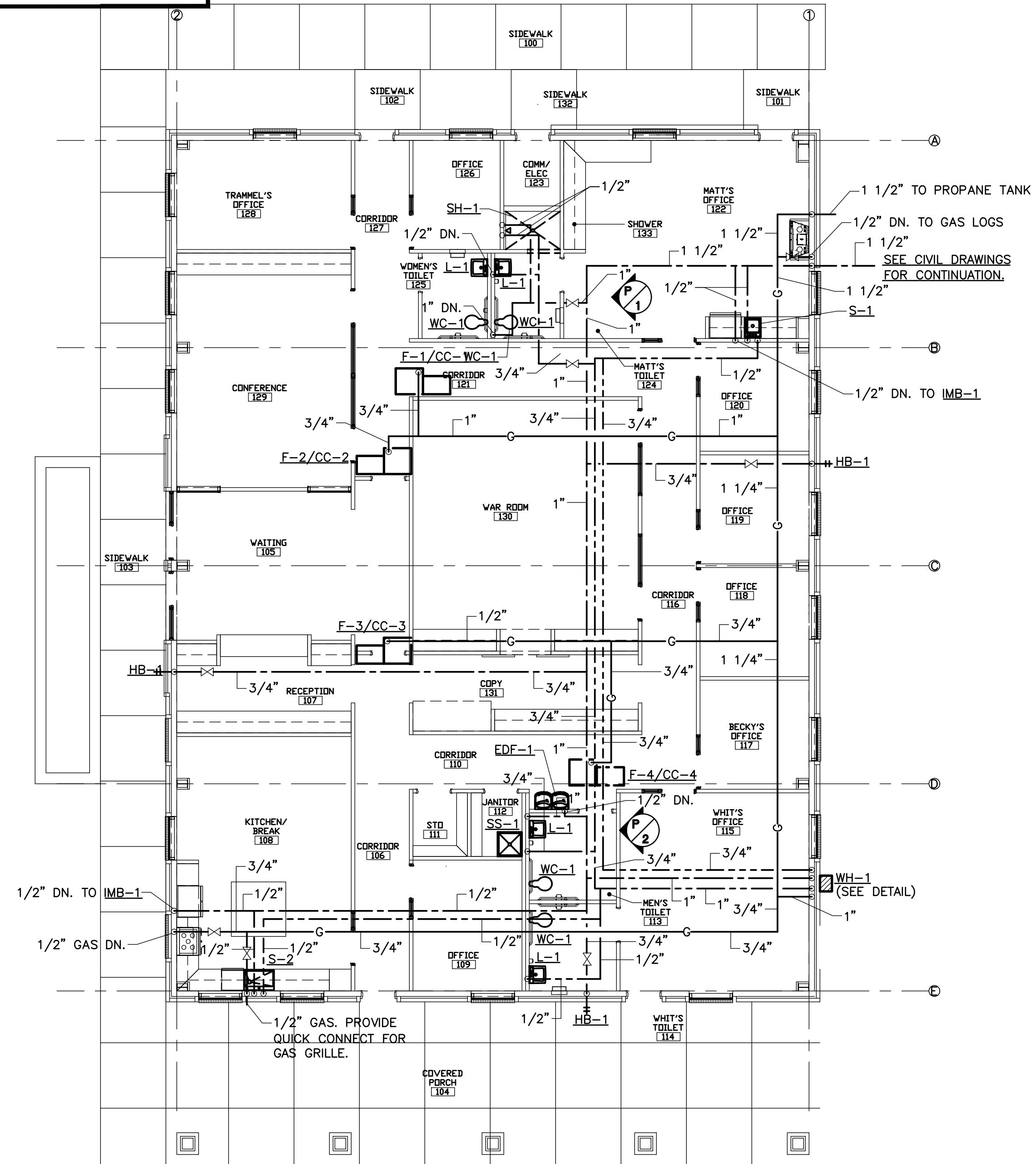
FLOOR PLAN - PLUMBING - WASTE AND VENT
SCALE 1/8" = 1'-0"

PLUMBING GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE SEWER INVERTS WITH EXISTING SEWER BEFORE INSTALLING PIPING.
2. ALL SANITARY SEWER PIPING SHALL BE SLOPED AT 1/8" PER FOOT MINIMUM UNLESS NOTED OTHERWISE.
3. ALL VENT PIPING SHALL BE ABOVE THE CEILING UNLESS NOTED OTHERWISE.
4. ALL DOMESTIC WATER PIPING SHALL BE ABOVE THE CEILING UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL PROVIDE A PDI ABOVE CEILING ON EACH DOMESTIC WATER LINE SERVING A SINGLE FIXTURE.
6. CONTRACTOR SHALL SAW CUT EXISTING CONCRETE SLAB AS REQUIRED TO INSTALL NEW SANITARY SEWER PIPING BELOW SLAB.
7. CONTRACTOR SHALL FIRE CAULK AROUND ALL PENETRATION THROUGH A FIRE RATED ASSEMBLY.



FLOOR PLAN - PLUMBING - DOMESTIC WATER
SCALE 1/8" = 1'-0"



1/2" GAS DN. PROVIDE QUICK CONNECT FOR GAS GRILLE.

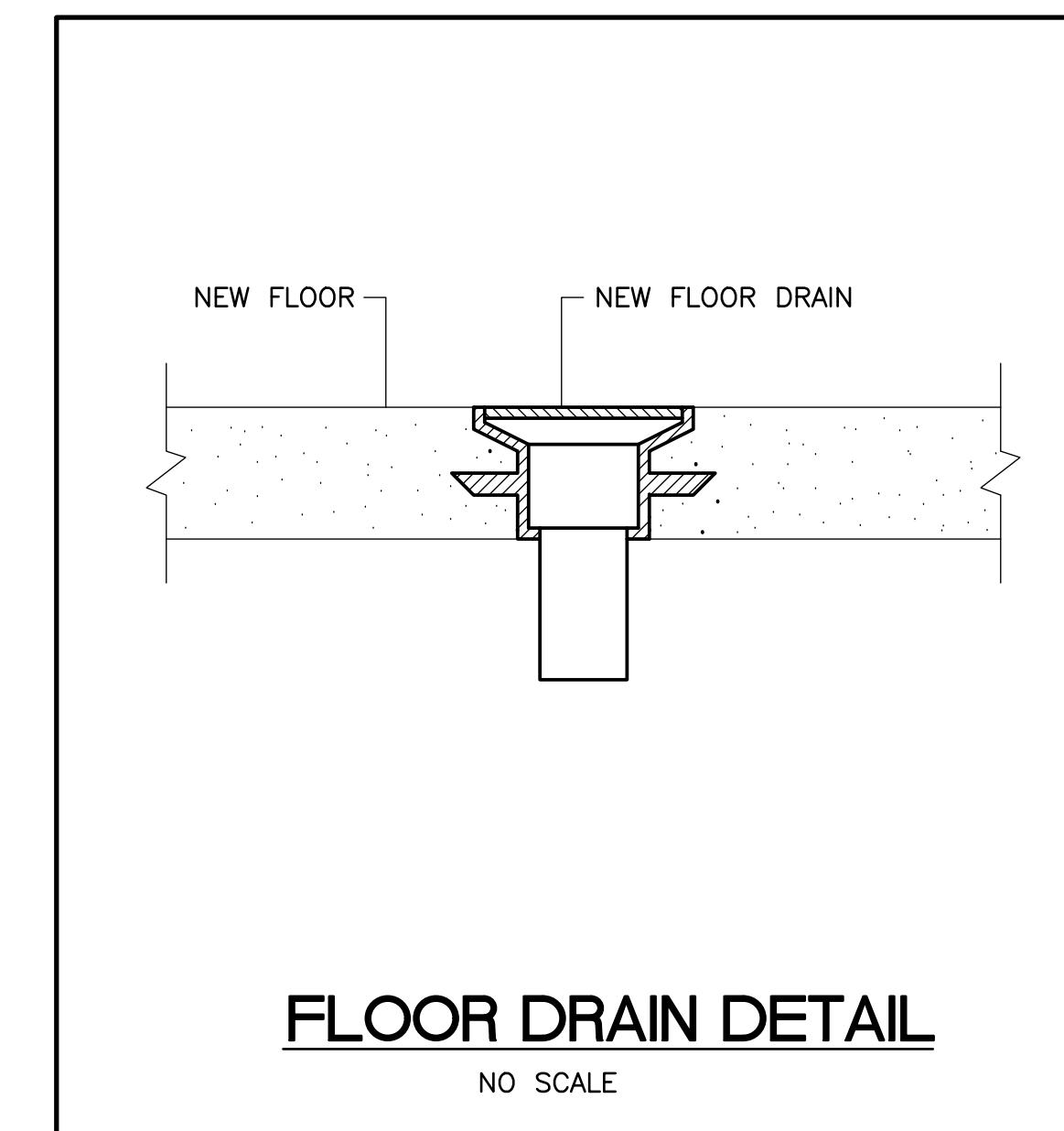
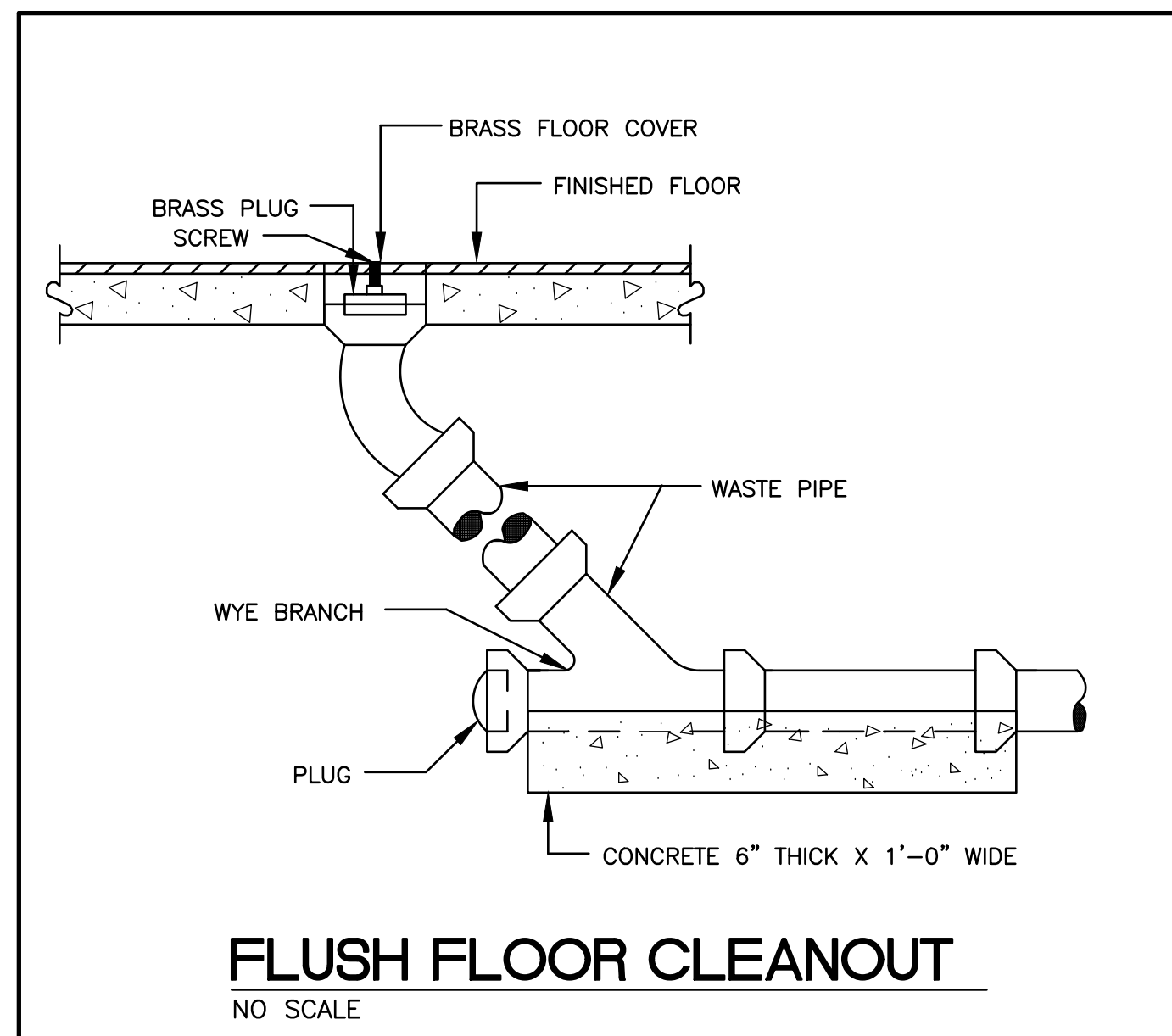
WH-1 (SEE DETAIL)

MARK	DATE	DESCRIPTION

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PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	MAKE	MODEL	SUPPLY FITTING	SUPPLY PIPE(S)	DRAIN	TRAP	ROUGH-IN SIZES					REMARKS
								C.W.	H.W.	WASTE	VENT	TRAP	
WC-1	WATER CLOSET, FLOOR MOUNTED, TANK TYPE A.D.A.	PROFLO	PF1403T PF2312	---	ZURN ZH8824CR	---	---	1/2"	---	4"	2" or 4"	INT.	TOILET SEAT EQUAL TO A KOHLER LUSTRA K4650.
L-1	LAVATORY, WALL HUNG A.D.A., 20"x18"	PROFLO	PF5414WH	PROFLO PFX304	ZURN ZH8824LR	ZURN Z-8746	ZURN Z8710BN	1/2"	1/2"	2"	2"	1 1/4"	W/ ZURN FIXTURE SUPPORT. COORDINATE ROUGH-IN WITH DRAIN ASSEMBLY. INSULATE DRAIN, P-TRAP AND SUPPLY PIPES WITH TRAP WRAP C500-RHS.
S-1	SINK, STAINLESS STEEL, SINGLE COMPARTMENT 25"x22"x8"	PROFLO	PFSR252283A	PROFLO PFXU308	ZURN ZH8824LR	ELKAY LK-35	ZURN Z8702BN	1/2"	1/2"	2"	2"	1 1/2"	
S-2	SINK, STAINLESS STEEL, TWO COMPARTMENT 32"x22"	PROFLO	PFSR331183A	PROFLO PFXU308	ZURN ZH8824LR	ELKAY LK-35	ZURN Z8702BN	1/2"	1/2"	2"	2"	1 1/2"	
FD-1	FLOOR DRAIN POLISHED BRONZE	ZURN	Z415-6B	---	---	---	---	---	---	3"	2"	3"	
TS-1	TRAP SEAL	RECTORSEAL	REC970	---	---	---	---	---	---	---	---	---	
SS-1	SERVICE SINK, FLOOR MOUNTED, 24"x24"	PROFLO	PFMB2424	PROFLO PF1118	---	---	---	3/4"	3/4"	3"	2"	3"	WITH VACUUM BREAKER.
IMB-1	ICE MACHINE BOX	WATER TITE	9000	---	---	---	---	1/2"	---	---	---	---	
HB-1	HOSE BIBB, ENCASED POLISHED BRONZE, FREEZE PROOF	ZURN	Z-1320-6	---	---	---	---	3/4"	---	---	---	---	WITH VACUUM BREAKER.
EDF-1	ELECTRIC DRINKING FOUNTAIN, TWO LEVEL, A.D.A.	ELKAY	EZSTLG-8-C	---	ZURN ZH8824LR	---	ZURN Z87019BN	1/2"	---	2"	2"	1 1/2"	WITH ZURN FIXTURE SUPPORT. BASE RATE 8.0 GPH. MOUNT AT A.D.A. HEIGHT.
SH-1	60"x42" SHOWER BASE	KOHLER	K-8659	DELTA 1323-WS	---	---	---	1/2"	1/2"	2"	2"	2"	SHOWER WALLS BY GENERAL CONTRACTOR.

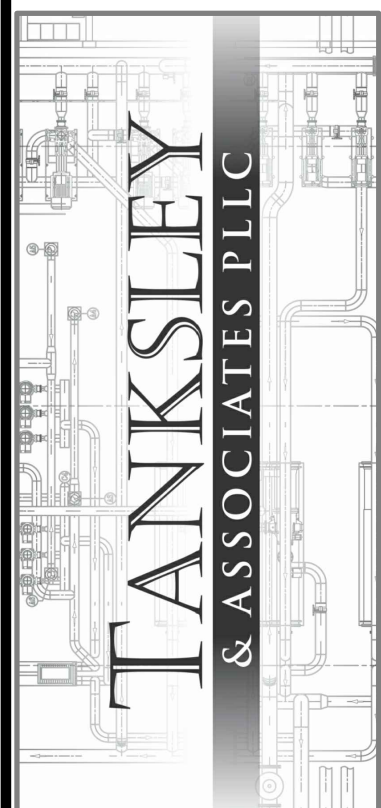
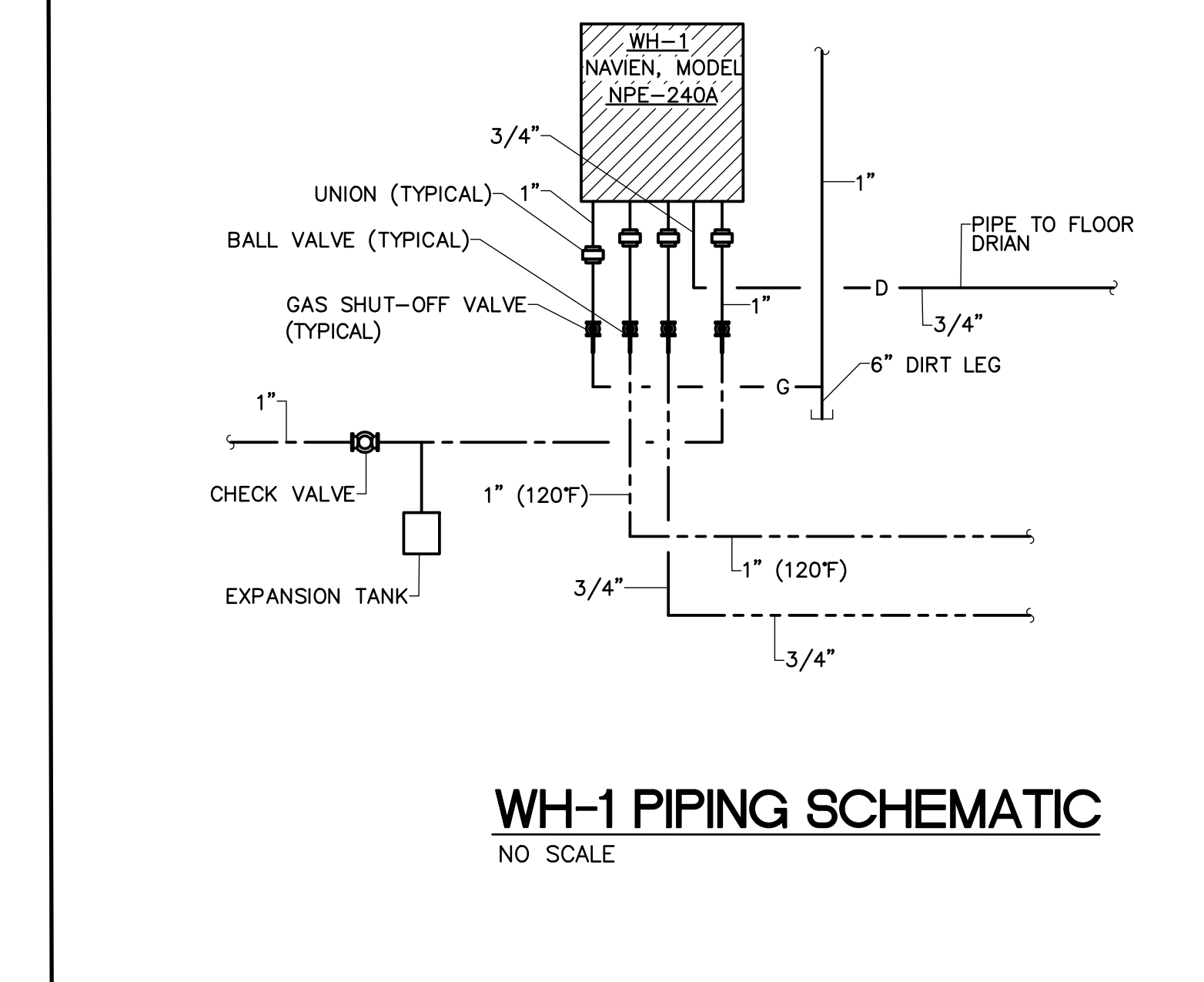
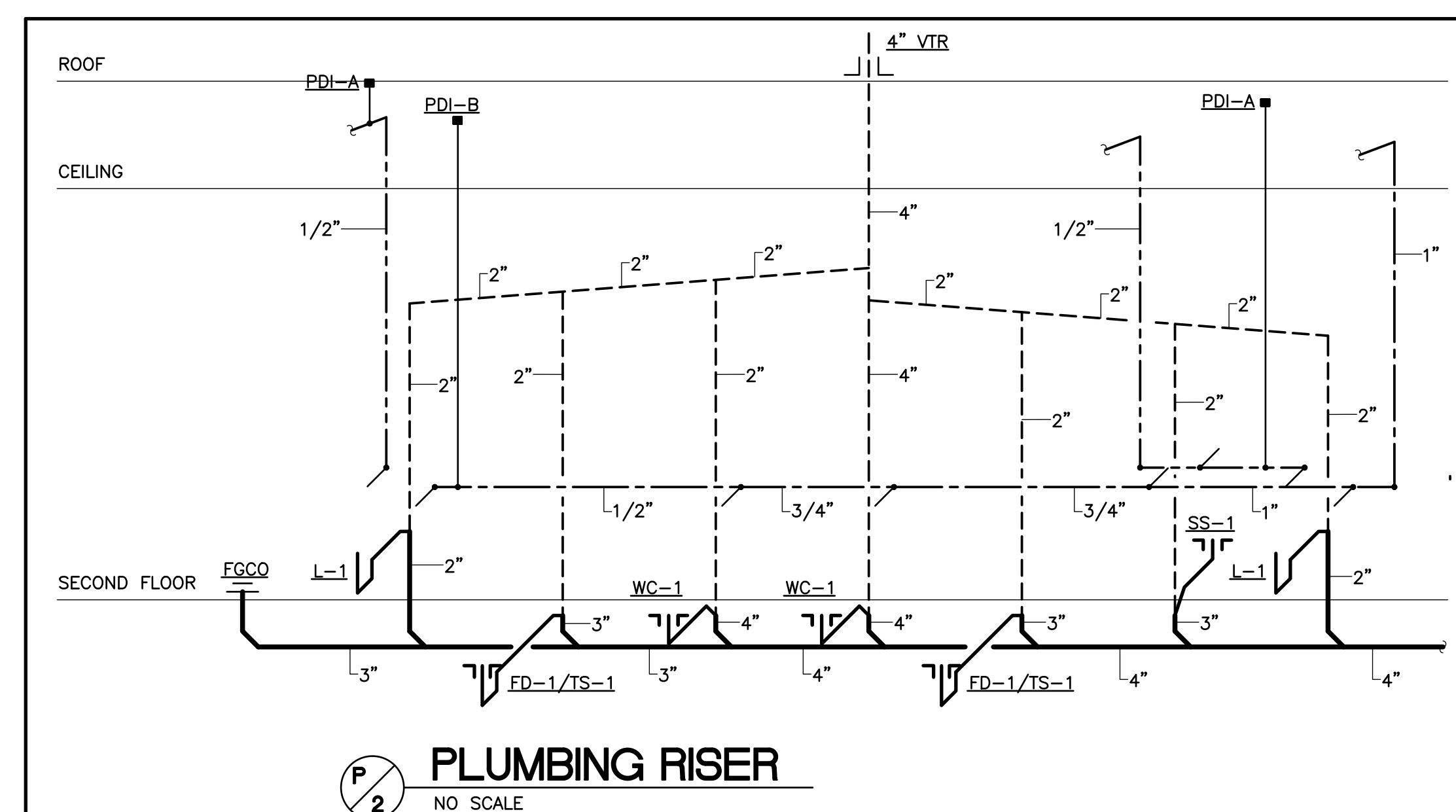
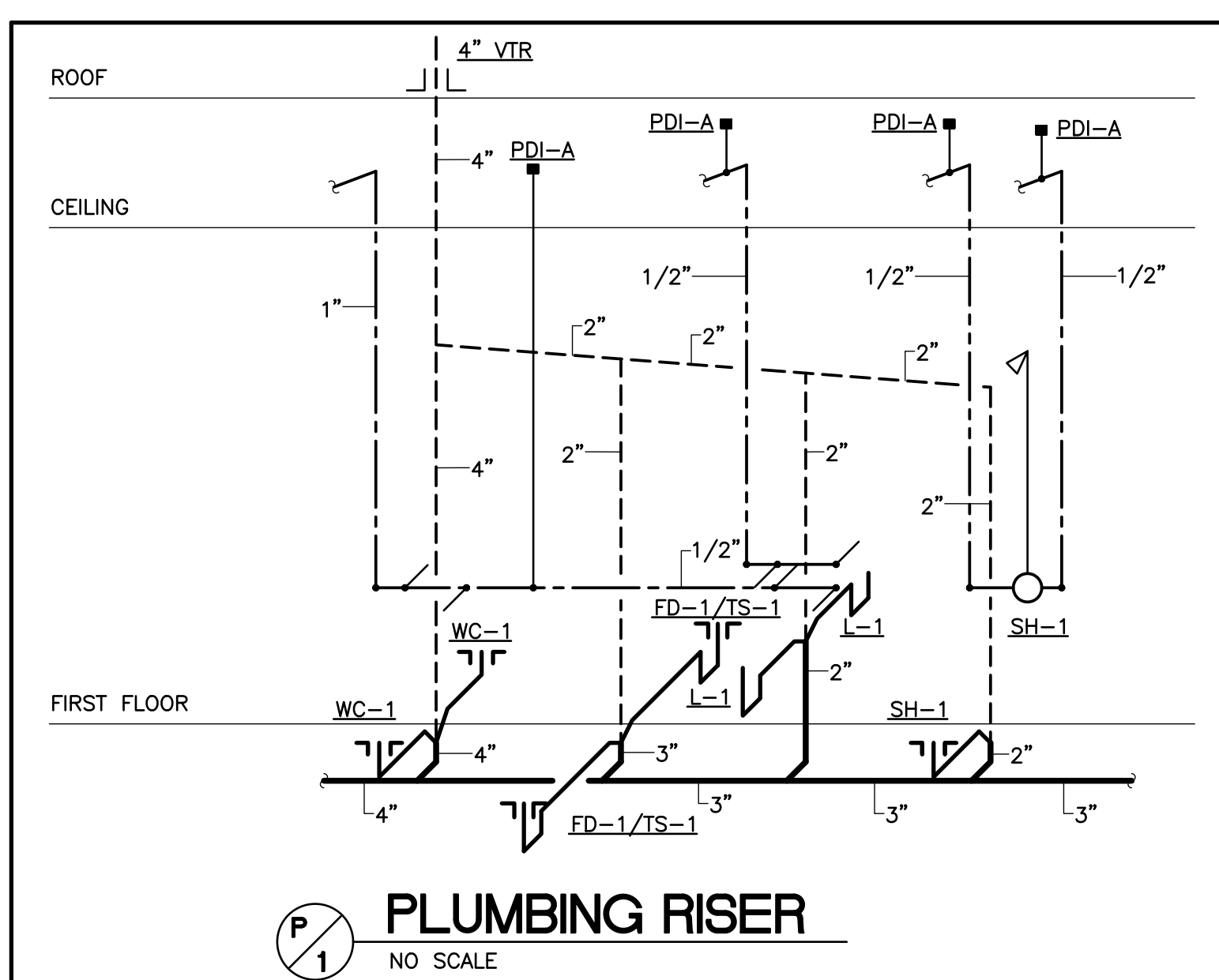


WATER HEATERS (TANKLESS)

MARK	FUEL	STORAGE GALLONS	GPM @ 70° RISE	INPUT M.B.H.	LWT (°F)	ELEC. DATA			FLUE	MFR. AND MODEL	ACCESSORIES	REMARKS
						SERVICE	BLOWER H.P.	AMPS				
WH-1	NAT. GAS	TANKLESS	5.6	199.0	120.0	120/1PH	---	2.0	---	NAVLEN, NPE-240A2	1	

ACCESSORIES:
1. FACTORY INSTALLED RE-CIRCULATION SYSTEM INCLUDING PUMP AND BUFFER TANK.

NOTE:
1. PROVIDE WITH FACTORY PROVIDED AND INSTALLED OUTDOOR VENT KIT.
2. PROVIDE WITH FACTORY PROVIDED AND INSTALLED RE-CIRCULATION PUMP.



117 SAGAMORE CIRCLE
COLUMBUS, MS 39705
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MILLS CONTRACTING
NEW OFFICE
GLUCKSTAT, MISSISSIPPI

MARK	DATE	DESCRIPTION

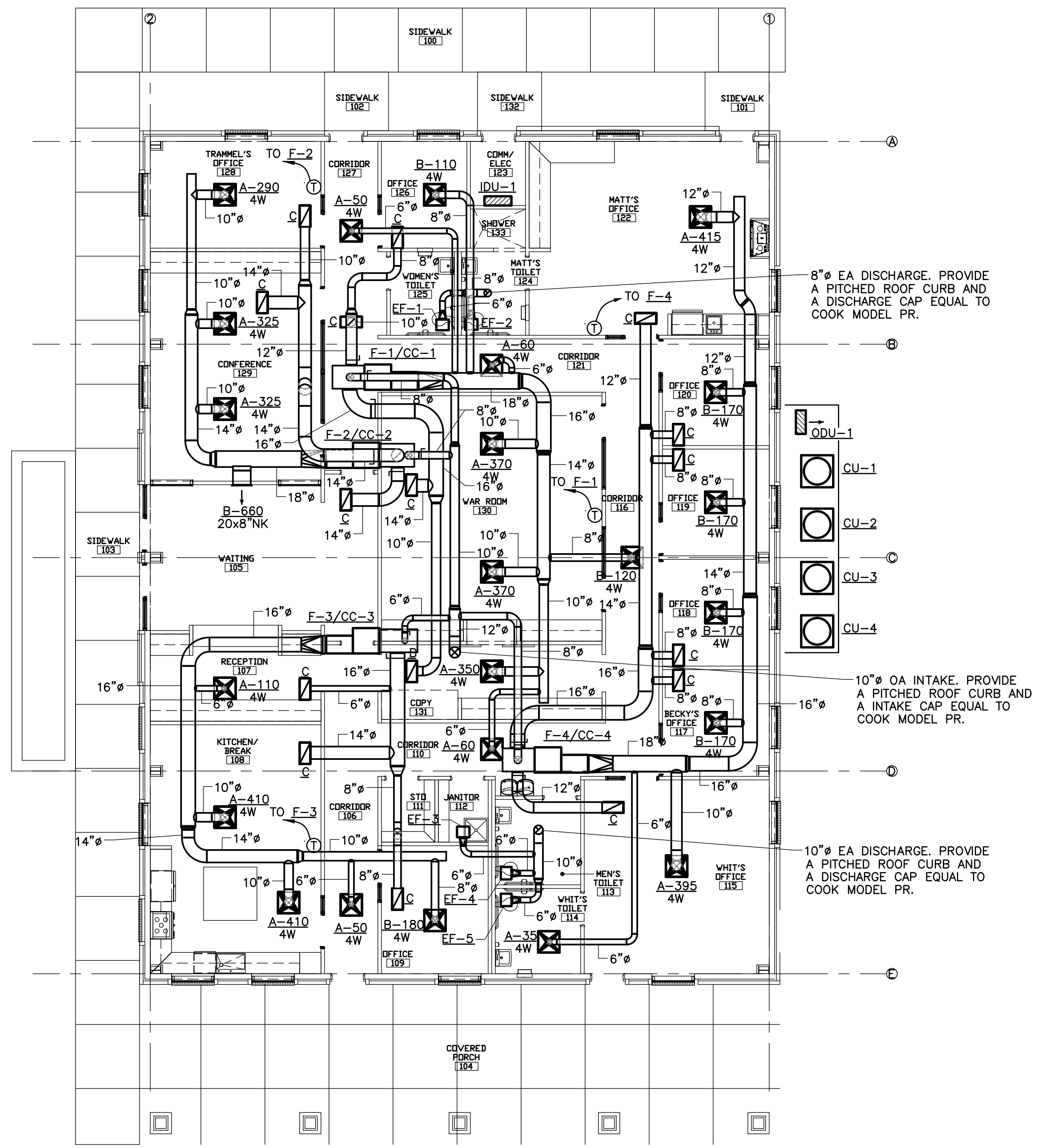
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**STANDARD MECHANICAL LEGEND
DUCTWORK SYMBOLS**

DUCTWORK	
SUPPLY AIR DUCT, UP	
SUPPLY AIR DUCT, DN	
RETURN, EXHAUST, OR OUTSIDE AIR DUCT, UP	
RETURN, EXHAUST, OR OUTSIDE AIR DUCT, DN	
RETURN OR EXHAUST GRILLE, CEILING MTD.	
SIDEWALL GRILLE OR REGISTER	
MANUAL VOLUME DAMPER	
SUPPLY AIR DIFFUSER, CEILING MTD.	
THERMOSTAT, WALL MTD., 4'-0" A.F.F.	

DIFFUSER SIZING SCHEDULE

CFM	NECK SIZE
0-100	6x6
101-199	8x8
191-270	9x9
200-275	10x10
276-400	12x12
401-500	14x14
501-625	15x15
626-710	16x16



NORTH
FIRST FLOOR - HVAC
SCALE 1/8" = 1'-0"

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GLUCKSTAT, MISSISSIPPI

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GAS FURNACE SCHEDULE

MARK	MAKE	MODEL	TYPE	MBH INPUT	MBH OUTPUT	TOTAL CFM	OA CFM	ESP	MOTOR			TYPE GAS	VENT SIZE	COMB. SIZE	ACCESSORIES	REMARKS
									HP	VOLTS	PHASE					
F-1	RHEEM	R92PA0851521MSA	VERTICAL	84.0	78.0	1510	165	0.50"	3/4	115	1	NATURAL	3"	3"	1	PROVIDE WITH CONCENTRIC VENT KITS
F-2	RHEEM	R92PA0851521MSA	VERTICAL	84.0	78.0	1600	150	0.50"	3/4	115	1	NATURAL	3"	3"	1	PROVIDE WITH CONCENTRIC VENT KITS
F-3	RHEEM	R92PA0701317MSA	VERTICAL	70.0	65.0	1160	110	0.50"	1/2	115	1	NATURAL	3"	3"	1	PROVIDE WITH CONCENTRIC VENT KITS
F-4	RHEEM	R92PA0851521MSA	VERTICAL	84.0	78.0	1525	150	0.50"	3/4	115	1	NATURAL	3"	3"	1	PROVIDE WITH CONCENTRIC VENT KITS

ACCESSORIES:
1. BI-POLAR ION GENERATOR EQUAL TO A GPS MODEL FC24-AC.

COOLING COIL SCHEDULE

LOCATION	MAKE	MODEL	CFM	EA DB	EA WB	TOT MBH	SENS MBH	APD IN WG	REMARKS
CC-1	RHEEM	RCFLAU4821	1510	75.0"	67.0"	47.5	34.0	0.25"	
CC-2	RHEEM	RCFLAU4821	1600	75.0"	67.0"	47.5	34.0	0.25"	
CC-3	RHEEM	RCFLAU3617	1160	75.0"	67.0"	34.6	23.4	0.25"	
CC-4	RHEEM	RCFLAU4821	1525	75.0"	67.0"	47.5	34.0	0.25"	

CONDENSING UNIT SCHEDULE

MARK	MAKE	MODEL	TYPE	MBH @ ARI	COMPRESSOR				CONDENSER FANS				MIN. CIRCUIT AMPACITY	MAX. FUSE SIZE	REMARKS		
					AMBIENT	NO	VOLTS	PHASE	FLA	NO	HP	VOLTS				PHASE	FLA
CU-1	RHEEM	RA1448	SCROLL	48.0	95"	1	208	1	18.0	1	1/5	208	1	1.0	24.0	40.0	
CU-2	RHEEM	RA1448	SCROLL	48.0	95"	1	208	1	18.0	1	1/5	208	1	1.0	24.0	40.0	
CU-3	RHEEM	RA1436	SCROLL	36.0	95"	1	208	1	13.0	1	1/6	208	1	0.8	20.0	30.0	
CU-4	RHEEM	RA1448	SCROLL	48.0	95"	1	208	1	18.0	1	1/5	208	1	1.0	24.0	40.0	

FAN SCHEDULE

MARK	MAKE	MODEL	TYPE	CFM	RPM	ESP	WHEEL		DRIVE	SONES	MOTOR			REMARKS
							TYPE	MIN DIA			WATTS	VOLTS	PHASE	
EF-1	COOK	GC-128	CEILING MTD	75	750	.15"	---	---	DIRECT	1.0	28.4	115	1	PROVIDE WITH SPEED CONTROLLER, BACKDRAFT DAMPER, INTERLOCK WITH LIGHTS
EF-2	COOK	GC-128	CEILING MTD	75	750	.15"	---	---	DIRECT	1.0	28.4	115	1	PROVIDE WITH SPEED CONTROLLER, BACKDRAFT DAMPER, INTERLOCK WITH LIGHTS
EF-3	COOK	GC-146	CEILING MTD	100	900	.15"	---	---	DIRECT	1.3	35.3	115	1	PROVIDE WITH SPEED CONTROLLER, BACKDRAFT DAMPER, INTERLOCK WITH LIGHTS
EF-4	COOK	GC-128	CEILING MTD	75	750	.15"	---	---	DIRECT	1.0	28.4	115	1	PROVIDE WITH SPEED CONTROLLER, BACKDRAFT DAMPER, INTERLOCK WITH LIGHTS
EF-5	COOK	GC-128	CEILING MTD	75	750	.15"	---	---	DIRECT	1.0	28.4	115	1	PROVIDE WITH SPEED CONTROLLER, BACKDRAFT DAMPER, INTERLOCK WITH LIGHTS

GRILLE, REGISTER AND DIFFUSER SCHEDULE

MARK	MAKE	MODEL	TYPE	USE		MTG	PANEL SIZE	NECK SIZE	MAX CFM	MAX PD	DAMPER	FINISH	PATTERN	REMARKS
				S	R									
A	PRICE	SCD	LOUVER FACE	x		LAY-IN	24x24"	SEE PLANS	SEE PLANS	.07"	---	WHITE	SEE PLANS	
B	PRICE	620	DOUBLE DEFLECTION	x		SIDEWALL	MFGR'S RECM.	SEE PLAN	SEE PLANS	.07"	---	WHITE	FULLY ADJUSTABLE	
C	PRICE	80	CUBE CORE	x		LAY-IN	24x12"	22x10"	SEE PLANS	.06"	---	WHITE	---	

INDOOR HEAT PUMP SCHEDULE - DUCTLESS MINI SPLIT

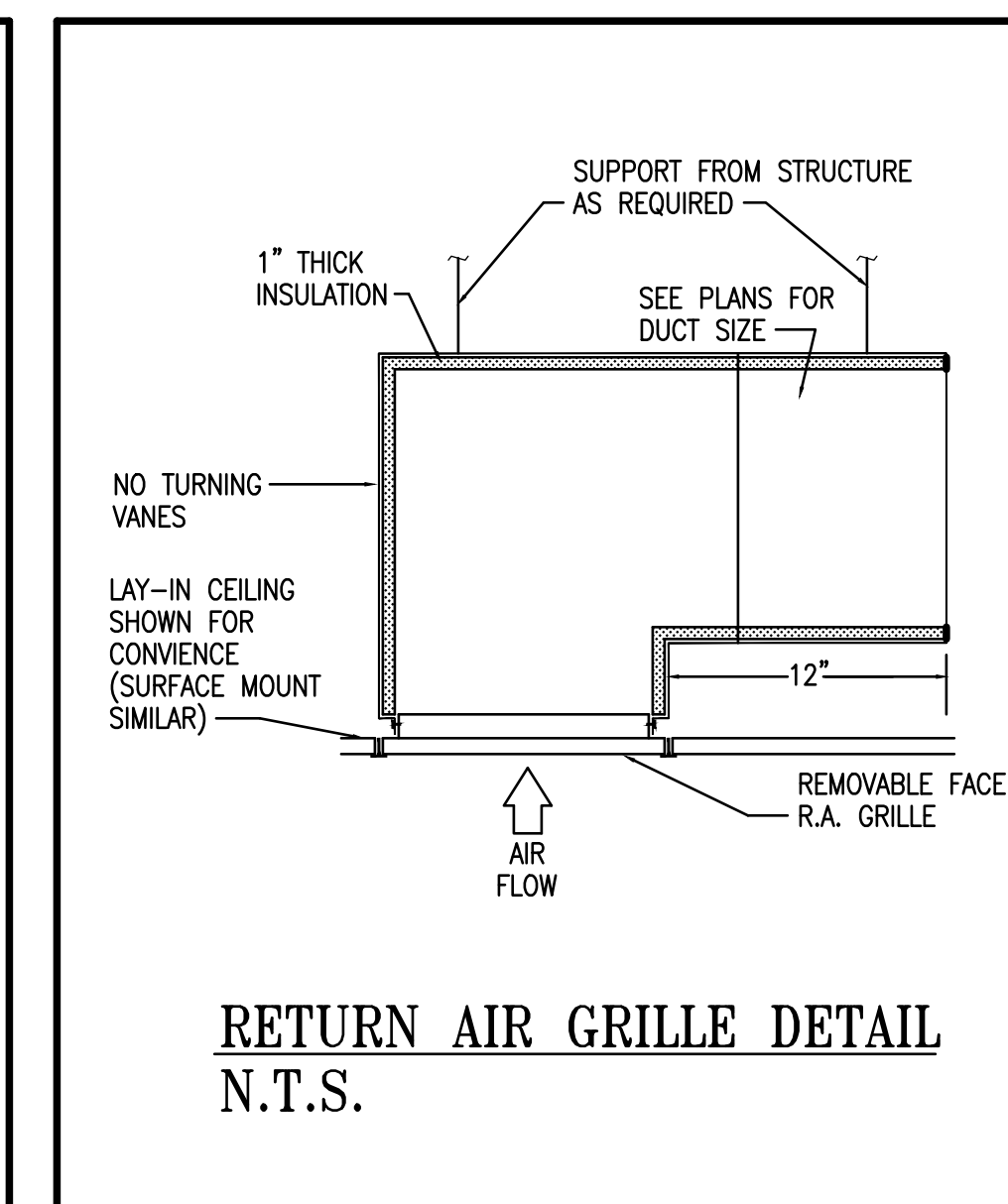
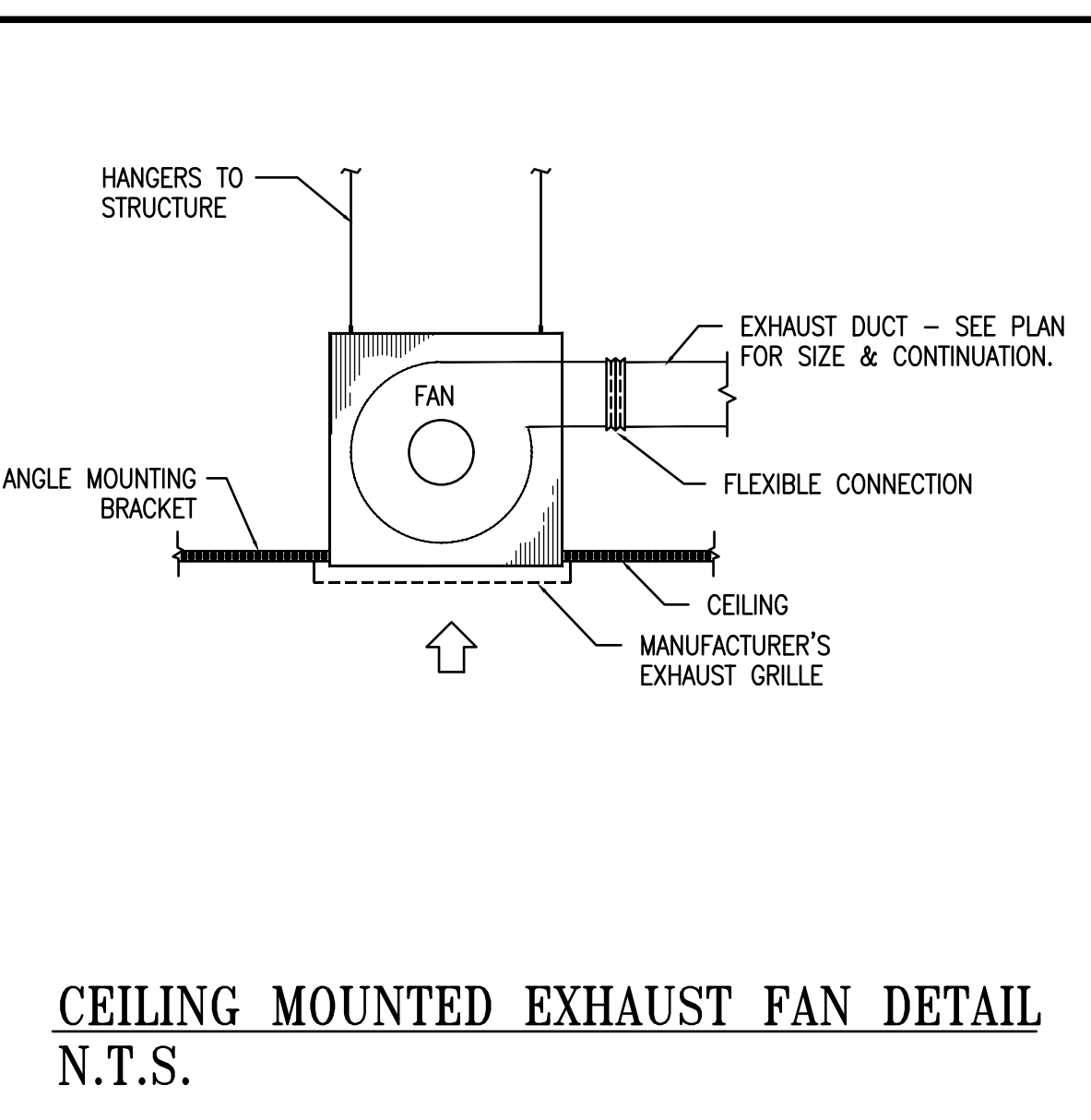
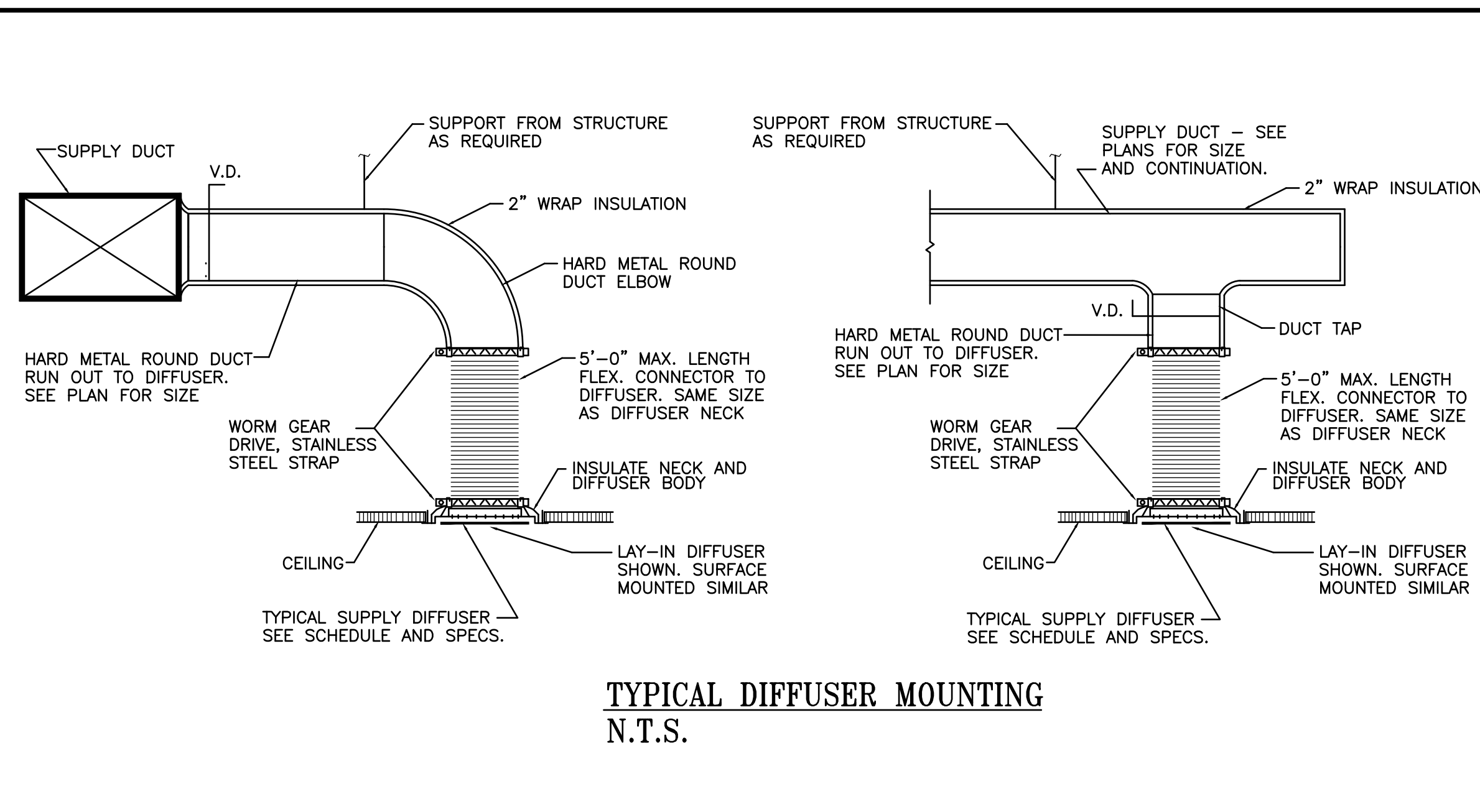
MARK	MAKE	MODEL	TYPE	SA CFM	OA CFM	COOLING-95°F AMBIENT		HEATING-47°F AMBIENT		ELECTRICAL SERVICE	NOTES	OUTDOOR UNIT	REMARKS
						ENTERING AIR	MIN. TOTAL COOLING CAPACITY (BTU/HR)	ENTERING AIR	MIN. TOTAL HEATING CAPACITY (BTU/HR)				
IDU-1	DAIKIN	FTX12BXVJU	WALL	436	---	80	67	10,900	75	13,500	POWER IS PROVIDED BY OUTDOOR UNIT	1,2	ODU-1

NOTES:
1. PROVIDE WITH HARD WIRED WALL MOUNTED THERMOSTAT.
2. PROVIDE WITH INTEGRAL CONDENSATE PUMP.

OUTDOOR HEAT PUMP SCHEDULE - DUCTLESS MINI SPLIT

MARK	MAKE	MODEL	COMPRESSOR TYPE	COOLING CAPACITY			HEATING-47°F AMBIENT		ELECTRICAL SERVICE	MCA/MOP	NOTES	INDOOR UNIT	REMARKS
				OUTDOOR DB (°F)	MIN. TOTAL COOLING CAPACITY (BTU/HR)	MIN. SEN. COOLING CAPACITY (BTU/HR)	HSPF	MIN. TOTAL HEATING CAPACITY (BTU/HR)					
ODU-1	DAIKIN	RX12BXVJU	INVERTED	95	10,900	8,100	---	13,500	208V/1PH	12.4/15.0	1,2	IDU-1	

NOTES:
1. PROVIDE LOW AMBIENT CONTROLS.
2. REFRIGERANT PIPING TO BE SIZED PER THE MANUFACTURER RECOMMENDATIONS.
3. PROVIDE WITH HIGH/LOW PRESSURE SWITCHES.
4. PROVIDE WITH HARD SHUTOFF KIT.



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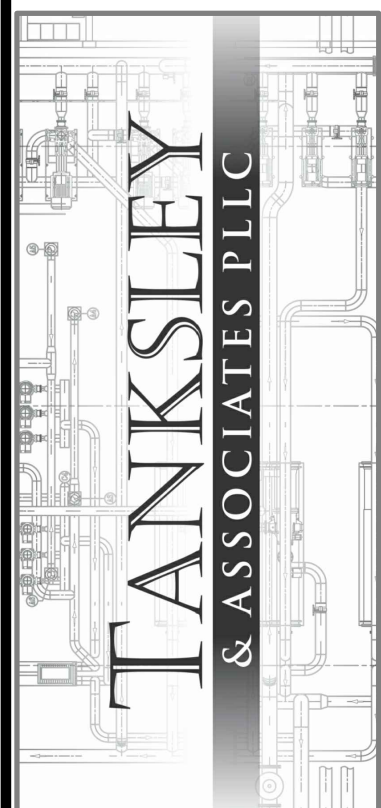


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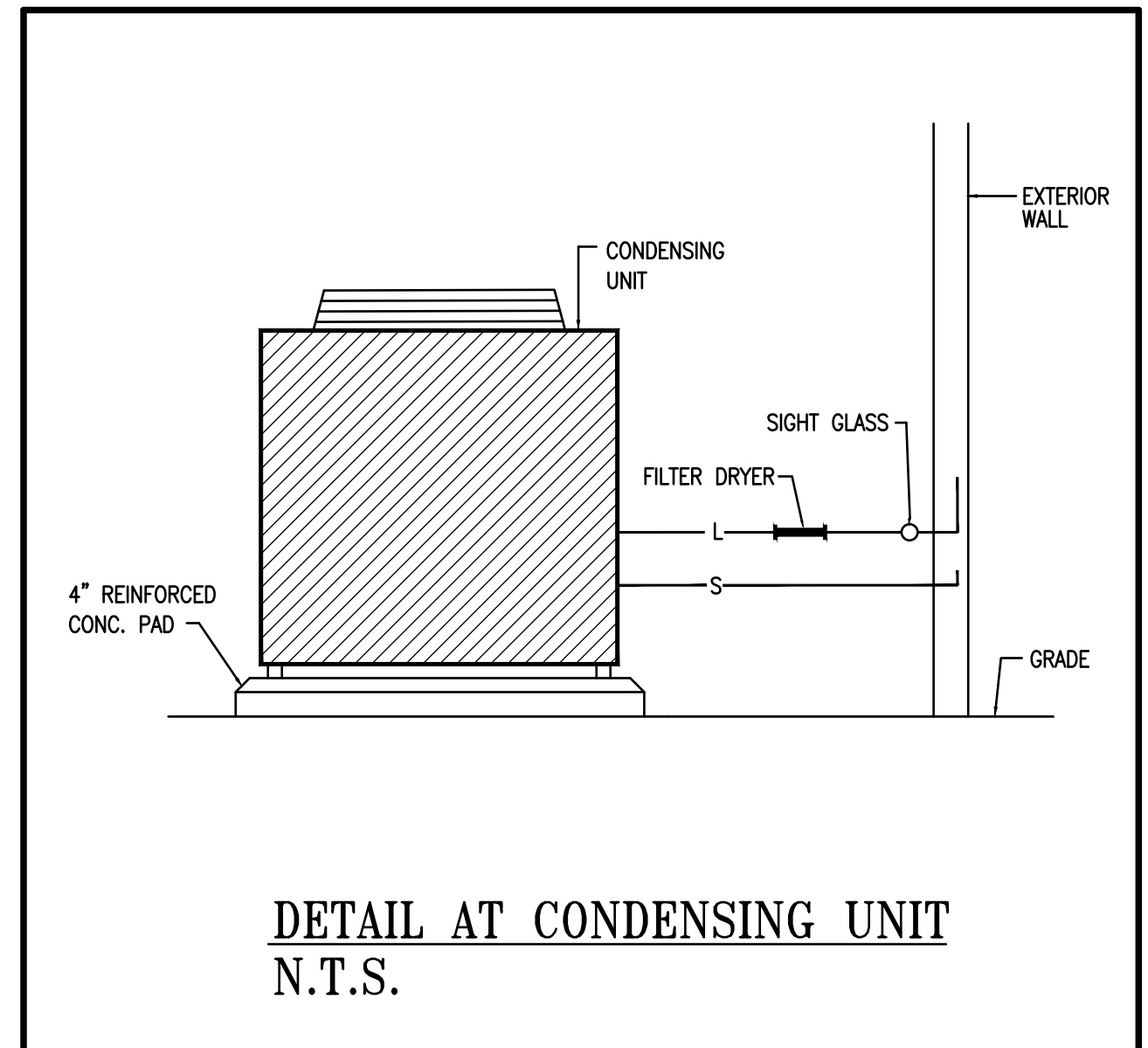
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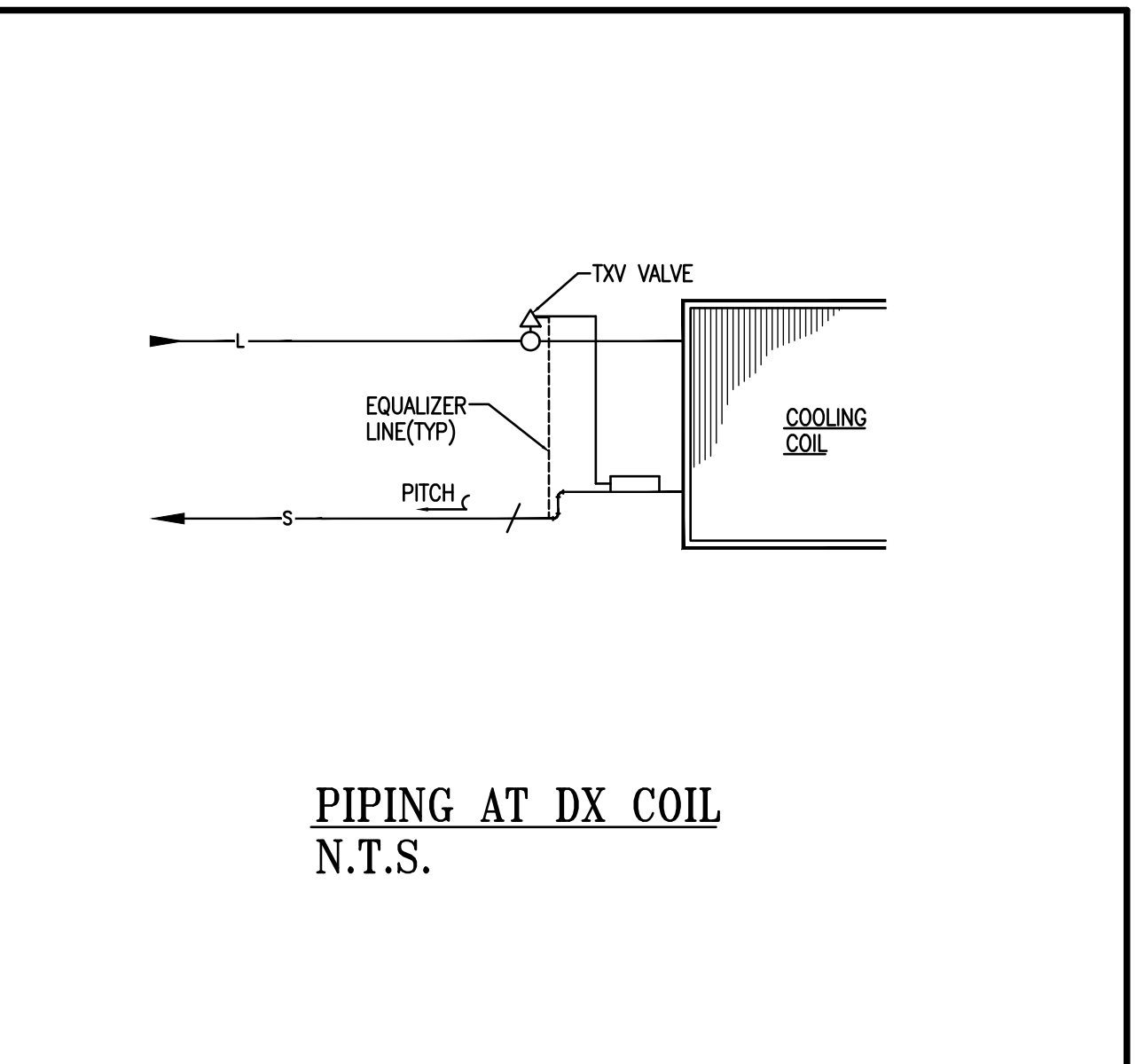


ENGINEER

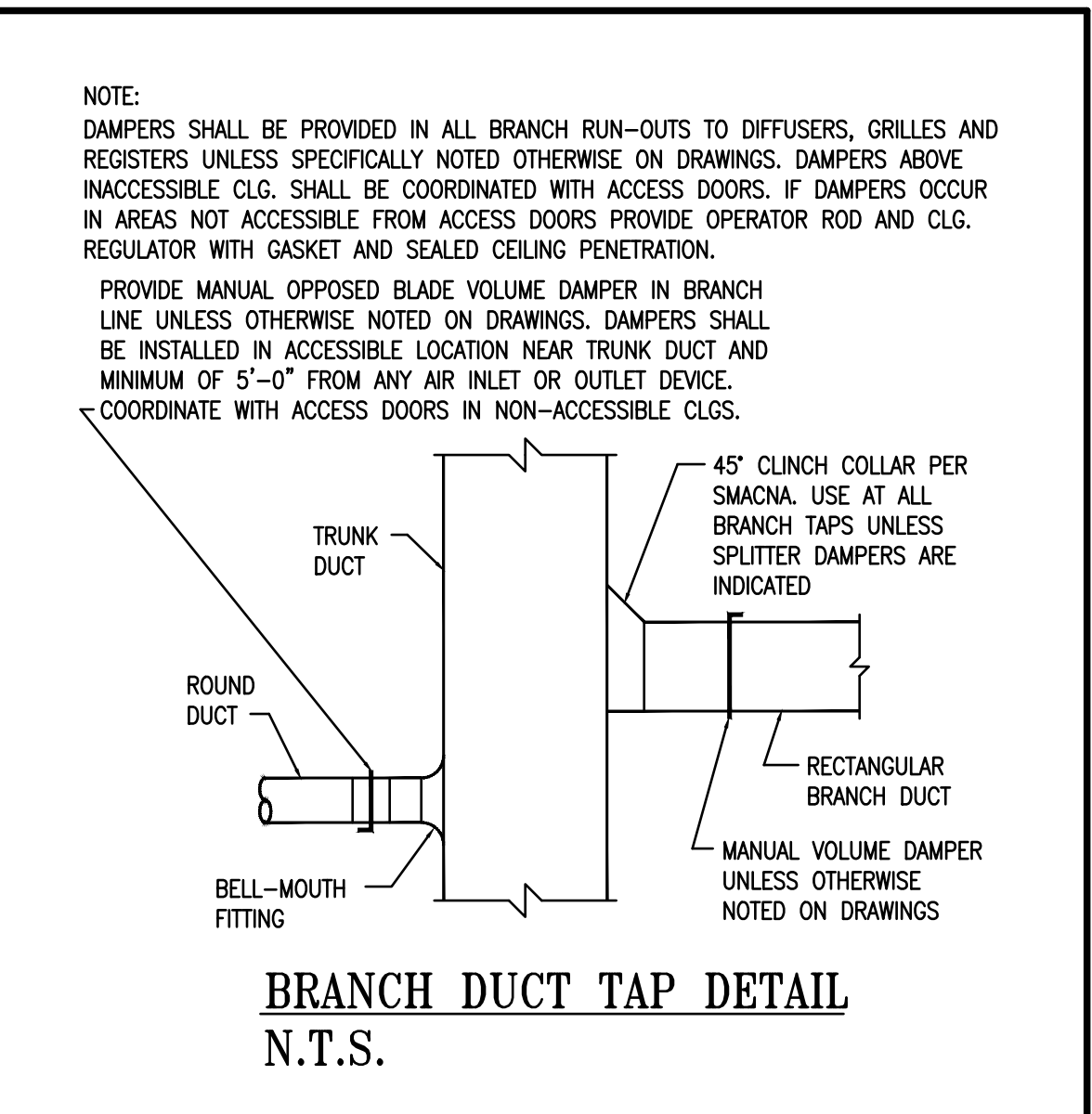
MILLS CONTRACTING
NEW OFFICE
GLUCKSTAT, MISSISSIPPI



DETAIL AT CONDENSING UNIT
N.T.S.

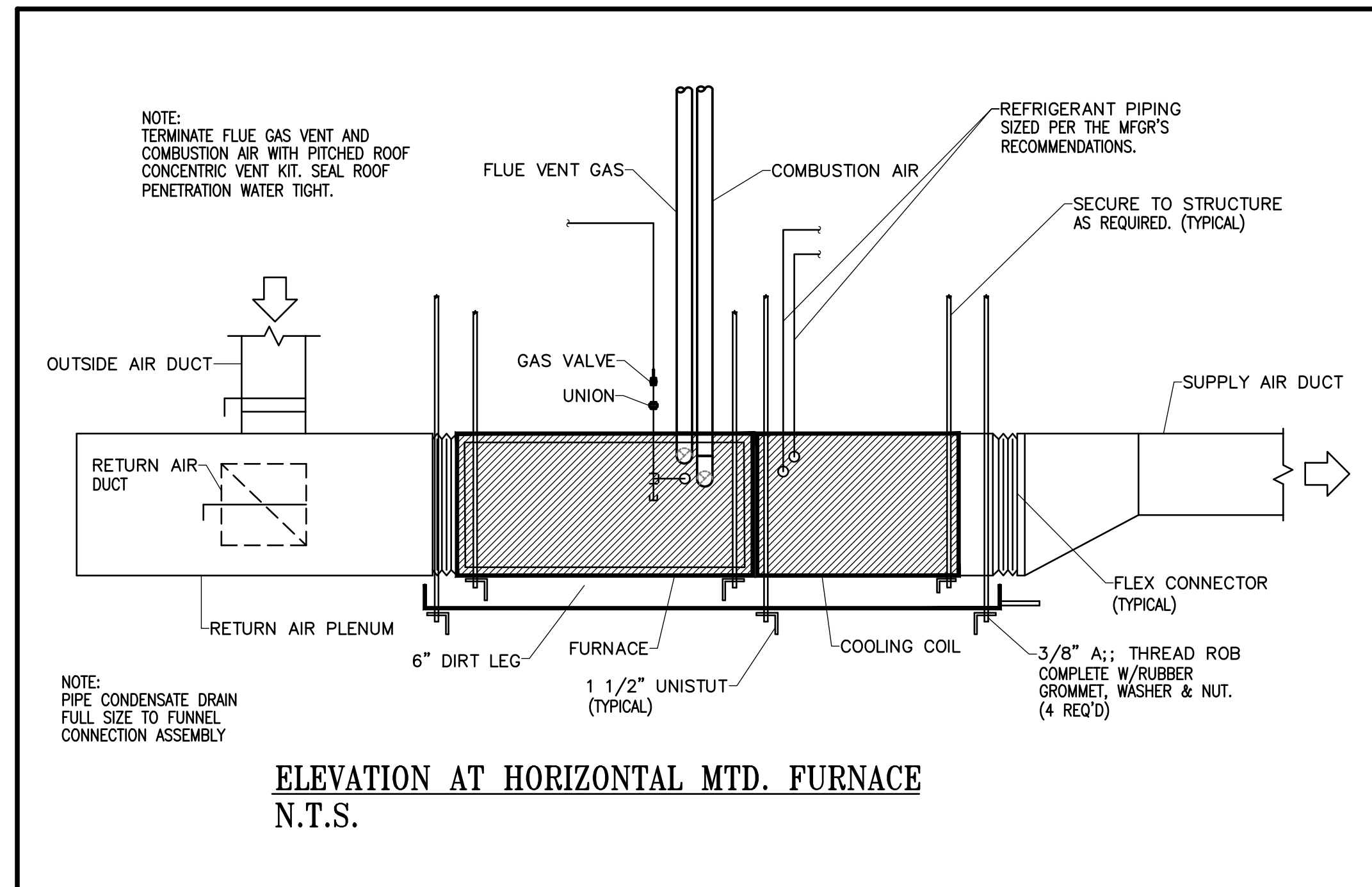


PIPING AT DX COIL
N.T.S.



NOTE:
DAMPERS SHALL BE PROVIDED IN ALL BRANCH RUN-OUTS TO DIFFUSERS, GRILLES AND REGISTERS UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS. DAMPERS ABOVE INACCESSIBLE CLG. SHALL BE COORDINATED WITH ACCESS DOORS. IF DAMPERS OCCUR IN AREAS NOT ACCESSIBLE FROM ACCESS DOORS PROVIDE OPERATOR ROD AND CLG. REGULATOR WITH GASKET AND SEALED CEILING PENETRATION.
PROVIDE MANUAL OPPOSED BLADE VOLUME DAMPER IN BRANCH LINE UNLESS OTHERWISE NOTED ON DRAWINGS. DAMPERS SHALL BE INSTALLED IN ACCESSIBLE LOCATION NEAR TRUNK DUCT AND MINIMUM OF 5'-0" FROM ANY AIR INLET OR OUTLET DEVICE.
COORDINATE WITH ACCESS DOORS IN NON-ACCESSIBLE CLGS.

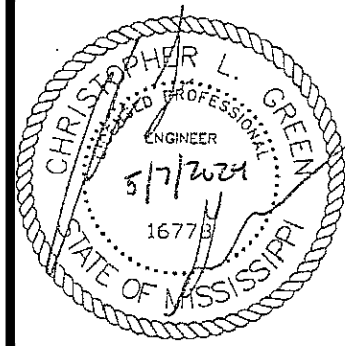
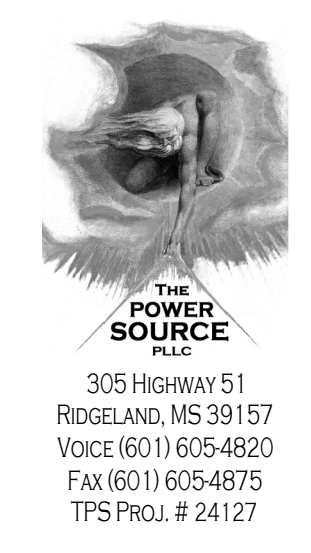
BRANCH DUCT TAP DETAIL
N.T.S.



ELEVATION AT HORIZONTAL MTD. FURNACE
N.T.S.

MARK	DATE	DESCRIPTION

PROJECT NO: ---
 CAD DWG FILE: ---
 DRAWN BY: GDT
 CHK'D BY: GDT
 COPYRIGHT: MAY 31, 2024



ELECTRICAL LEGEND

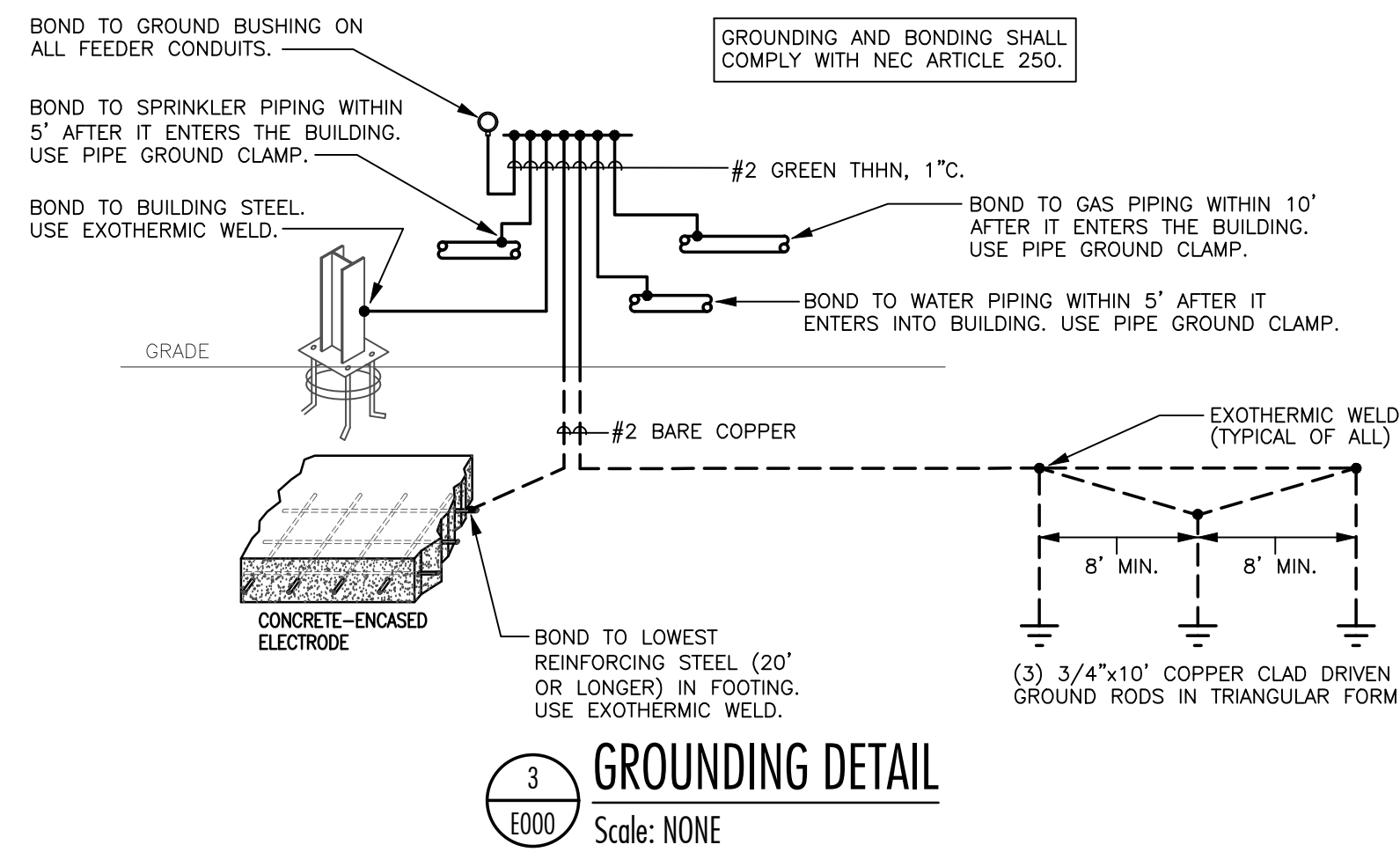
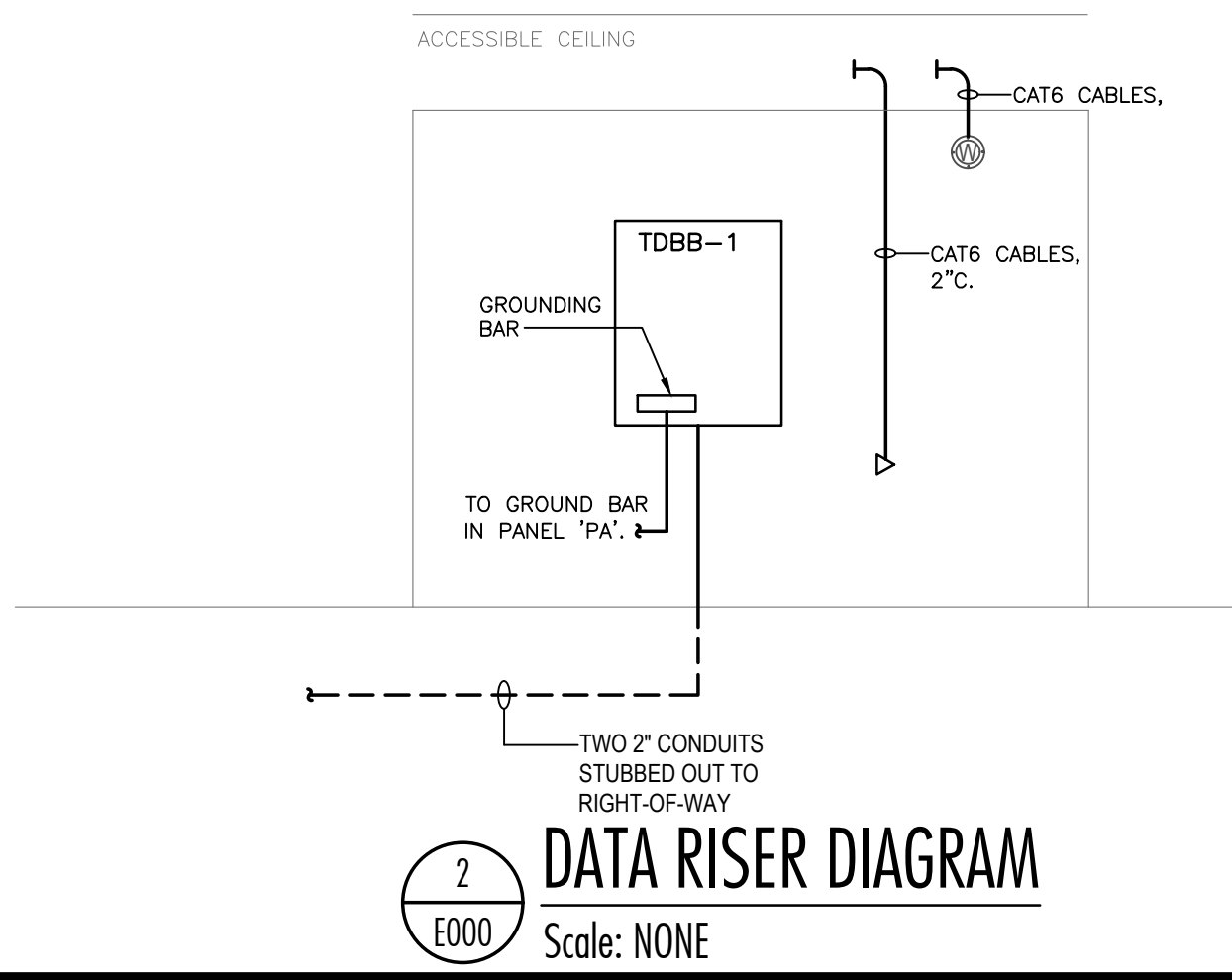
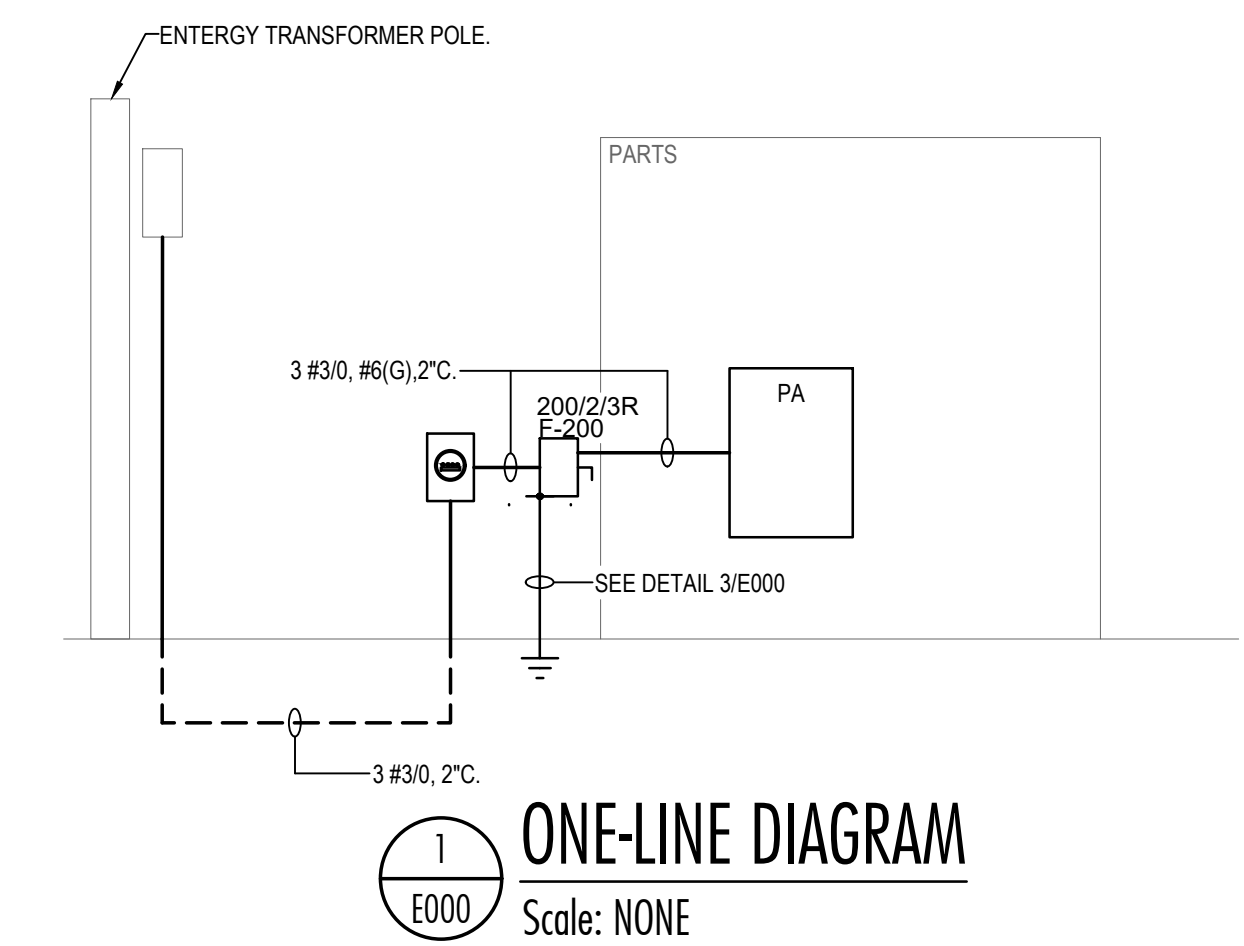
GENERAL NOTES	CONDUIT AND WIRING																											
<p>1. ALL EQUIPMENT AND DEVICES ARE TO BE FLUSH MOUNTED UNLESS OTHERWISE NOTED.</p> <p>2. DEVICES NOTED AS "GFI" SHALL BE GROUND FAULT CIRCUIT INTERRUPTING DEVICES.</p> <p>3. DEVICES NOTED AS "WP" SHALL BE WEATHERPROOF WHILE-IN-USE.</p> <p>4. DEVICES NOTED AS "DL" SHALL BE RATED FOR DAMP LOCATION.</p> <p>5. DEVICES NOTED AS "NL" SHALL BE NIGHT LIGHTS. PROVIDE UNSWITCHED POWER TO FIXTURE.</p> <p>6. DEVICES NOTED AS "WG" SHALL BE PROVIDED AND INSTALLED WITH A WIRE GUARD.</p> <p>7. DEVICES NOTED AS "TR" SHALL BE TAMPER RESISTANT.</p> <p>8. PROVIDE UNSWITCHED POWER TO EMERGENCY BATTERY PACKS.</p> <p>9. "W/E" INDICATES DEVICE/DISCONNECT PROVIDED WITH THE EQUIPMENT BY OTHERS.</p>	<p>CONDUCTORS IN CONDUIT CONCEALED WITHIN WALL OR CEILING. TIC MARKS INDICATE NUMBER OF CONDUCTORS. THE EQUIPMENT GROUNDING CONDUCTOR IS NOT SHOWN, BUT SHALL BE PROVIDED. SIZE THE EQUIPMENT GROUNDING CONDUCTOR AND THE CONDUIT PER THE NEC. THE ABSENCE OF TIC MARKS SIGNIFIES THAT TWO CONDUCTORS PLUS AN EQUIPMENT GROUNDING CONDUCTOR SHOULD BE PROVIDED. FOR EXAMPLE, THE MARKINGS TO THE LEFT SIGNIFY THAT THREE CONDUCTORS PLUS AN EQUIPMENT GROUNDING CONDUCTOR SHOULD BE PROVIDED.</p> <p>THE TEXT INSIDE THE ARC INDICATES THE AWG SIZE OF THE CONDUCTORS THAT SHALL BE RUN IN THE CONDUIT. THE ABSENCE OF TEXT SIGNIFIES THAT THE CONDUCTORS SHOULD BE #12 AWG.</p> <p>CIRCUITRY RUN IN STRAIGHT LINE SEGMENTS SIGNIFIES EXPOSED SURFACE-MOUNTED RACEWAY (SEE SPECIFICATIONS).</p> <p>CONDUCTORS IN CONDUIT CONCEALED BELOW GRADE OR FLOOR. TIC MARKS INDICATE NUMBER OF CONDUCTORS. THE EQUIPMENT GROUNDING CONDUCTOR IS NOT SHOWN, BUT SHALL BE PROVIDED. SIZE THE EQUIPMENT GROUNDING CONDUCTOR AND THE CONDUIT PER THE NEC. THE ABSENCE OF TIC MARKS SIGNIFIES THAT TWO CONDUCTORS PLUS AN EQUIPMENT GROUNDING CONDUCTOR SHOULD BE PROVIDED. THE MARKINGS TO THE LEFT SIGNIFY THAT THREE CONDUCTORS PLUS AN EQUIPMENT GROUNDING CONDUCTOR SHOULD BE PROVIDED.</p> <p>HOMERUN TO PANELBOARD. ARC DENOTES CONCEALED CIRCUITRY. TEXT DENOTES PANELBOARD NAME WITH CIRCUIT NUMBER. DEVICES HAVING CIRCUIT NUMBERS LOCATED BESIDE THEM MAY NOT SHOW THE CIRCUIT NUMBERS AT THE HOMERUN ARROWS.</p> <p>PARTIAL HOMERUN TO PANELBOARD. COMBINE ALL PARTIAL HOMERUNS THAT ARE ON THE SAME CIRCUIT IN A JUNCTION BOX PRIOR TO ENTERING THE PANELBOARD.</p> <p>LOW VOLTAGE CONDUCTORS USED FOR MOTION DETECTOR CIRCUITRY. SEE MANUFACTURER'S RECOMMENDATIONS FOR CONDUCTOR REQUIREMENTS.</p>																											
<p>LUMINAIRES (See Light Fixture Schedule)</p> <p>NOTE: THE NUMBER INSIDE THE CIRCLE IS THE CIRCUIT NUMBER, THE LETTER BESIDE THE SYMBOL IS THE FIXTURE TYPE DESCRIBED IN THE LIGHT FIXTURE SCHEDULE.</p> <p>2'X4' RECESSED FIXTURE.</p> <p>SURFACE MOUNTED OR SUSPENDED EMERGENCY FIXTURE.</p> <p>RECESSED CEILING FIXTURE.</p> <p>CEILING MOUNTED EXIT SIGN. PROVIDE CHEVRONS AS INDICATED BY ARROWS.</p> <p>EXIT SIGN WITH EMERGENCY LIGHTING.</p> <p>WALL MOUNTED EXIT SIGN. PROVIDE CHEVRONS AS INDICATED BY ARROWS.</p> <p>EMERGENCY LIGHTING.</p> <p>WALL MOUNTED FIXTURE.</p>	<p>VOLTAGE DROP CHART FOR 20A, 1Ø CIRCUITS</p> <table border="1"> <thead> <tr> <th>Voltage</th> <th>Circuit Length</th> <th>Conductor Size (AWG)</th> </tr> </thead> <tbody> <tr> <td>120</td> <td>< 50'</td> <td>#12</td> </tr> <tr> <td>120</td> <td>> 50'</td> <td>#10</td> </tr> <tr> <td>120</td> <td>> 90'</td> <td>#8</td> </tr> <tr> <td>120</td> <td>> 140'</td> <td>#6</td> </tr> <tr> <td>277</td> <td>< 130'</td> <td>#12</td> </tr> <tr> <td>277</td> <td>> 130'</td> <td>#10</td> </tr> <tr> <td>277</td> <td>> 200'</td> <td>#8</td> </tr> <tr> <td>277</td> <td>> 330'</td> <td>#6</td> </tr> </tbody> </table> <p>VOLTAGE DROP CHART NOTES:</p> <p>1) CIRCUIT SIZES INDICATED ON THE DRAWINGS ARE MINIMUM REQUIREMENTS. REFER TO THIS CHART FOR UPSIZING CONDUCTORS AS NEEDED.</p> <p>2) DO NOT CONNECT CONDUCTORS LARGER THAN #10 DIRECTLY TO A RECEPTACLE OR A SWITCH. PROVIDE A JUNCTION BOX TO DOWNSIZE THE CONDUCTOR TO #12 AT THE DEVICE.</p> <p>3) FOR CIRCUITS LONGER THAN THOSE LISTED ABOVE, CONSULT WITH THE ENGINEER FOR CONDUCTOR SIZES.</p>	Voltage	Circuit Length	Conductor Size (AWG)	120	< 50'	#12	120	> 50'	#10	120	> 90'	#8	120	> 140'	#6	277	< 130'	#12	277	> 130'	#10	277	> 200'	#8	277	> 330'	#6
Voltage	Circuit Length	Conductor Size (AWG)																										
120	< 50'	#12																										
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277	> 130'	#10																										
277	> 200'	#8																										
277	> 330'	#6																										
<p>SWITCHES</p> <p>HORSEPOWER RATED SWITCH WITH THERMAL OVERLOADS (MANUAL MOTOR STARTER).</p> <p>SINGLE-POLE, SINGLE-THROW SWITCH. MOUNT CENTERLINE OF BOX AT 45" A.F.F. UNLESS NOTED OTHERWISE.</p> <p>THREE-WAY SWITCH. MOUNT CENTERLINE OF BOX AT 45" A.F.F. UNLESS NOTED OTHERWISE.</p> <p>AUTOMATIC WALL SWITCH. SENSORSWITCH #WSXA-PDT OR APPROVED EQUAL. MOUNT CENTERLINE OF BOX AT 45" A.F.F. UNLESS NOTED OTHERWISE.</p> <p>AUTOMATIC WALL SWITCH WITH INTEGRAL 0-10V DIMMER. SENSORSWITCH #WSXA-PDT-D-VA OR APPROVED EQUAL. MOUNT CENTERLINE OF BOX AT 45" A.F.F. UNLESS NOTED OTHERWISE.</p> <p>PASSIVE INFRARED AND ULTRASONIC DUAL TECHNOLOGY OCCUPANCY SENSOR WITH A 12" RADIAL COVERAGE. CEILING MOUNTED. SENSORSWITCH #CM-PDT-9 OR APPROVED EQUAL.</p> <p>PASSIVE INFRARED AND ULTRASONIC DUAL TECHNOLOGY OCCUPANCY SENSOR WITH A 28" RADIAL COVERAGE. CEILING MOUNTED. SENSORSWITCH #CM-PDT-10 OR APPROVED EQUAL.</p> <p>POWER PACK MOUNTED ABOVE CEILING. SENSORSWITCH #PP20 OR APPROVED EQUAL.</p>	<p>COMMUNICATIONS</p> <p>DATA OUTLET MOUNTED 18" A.F.F. TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.</p> <p>DATA OUTLET MOUNTED WITH BOTTOM OF BOX 2" ABOVE COUNTER BACKSPLASH. WHERE THERE IS NO BACKSPLASH MOUNT 6" ABOVE COUNTER. WHERE TELEPHONE/DATA OUTLET IS SHOWN IN AN AREA WITH NO COUNTER, MOUNT 45" A.F.F. TO CENTERLINE OF BOX.</p> <p>DOUBLE DUPLEX RECEPTACLE, NEMA 5-20R AND A DATA OUTLET MOUNTED IN A FLOOR BOX.</p> <p>WIFI.</p>																											
<p>GEAR</p> <p>FUSED DISCONNECT SWITCH. TEXT INDICATES AMPACITY/NUMBER OF POLES/ENCLOSURE TYPE; F-(RATING OF FUSES).</p> <p>NON-FUSED DISCONNECT SWITCH. TEXT INDICATES AMPACITY/NUMBER OF POLES/ENCLOSURE TYPE.</p> <p>PANELBOARD.</p>																												
<p>RECEPTACLES</p> <p>DUPLEX RECEPTACLE, NEMA 5-20R, MOUNTED 18" A.F.F. TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.</p> <p>DOUBLE DUPLEX RECEPTACLE, NEMA 5-20R, ONE COVER PLATE, MOUNTED 18" A.F.F. TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.</p> <p>DOUBLE DUPLEX RECEPTACLE, NEMA 5-20R, ONE COVER PLATE, MOUNTED WITH BOTTOM OF BOX 2" ABOVE COUNTER BACKSPLASH. WHERE THERE IS NO BACKSPLASH MOUNT 6" ABOVE COUNTER. WHERE RECEPTACLE IS SHOWN IN AN AREA WITH NO COUNTER, MOUNT 45" A.F.F. TO CENTERLINE OF BOX.</p> <p>DUPLEX RECEPTACLE, NEMA 5-20R, MOUNTED WITH BOTTOM OF BOX 2" ABOVE COUNTER BACKSPLASH. WHERE THERE IS NO BACKSPLASH MOUNT 6" ABOVE COUNTER. WHERE RECEPTACLE IS SHOWN IN AN AREA WITH NO COUNTER, MOUNT 45" A.F.F. TO CENTERLINE OF BOX.</p> <p>DUPLEX RECEPTACLE, NEMA 5-20R, FOR DRINKING FOUNTAIN FED FROM GFCI BREAKER. MOUNTED IN ACCORDANCE WITH MANUFACTURER'S ROUGH-IN REQUIREMENTS. VERIFY CONNECTION TYPE PRIOR TO BID. RECEPTACLE SHALL BE MOUNTED, CONCEALED BEHIND THE SHROUD OF THE DRINKING FOUNTAIN.</p>																												

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	PART NUMBER	LAMPS	MOUNTING	REMARKS
A	LITHONIA	CPX-2X4-AL08-80CRI-SWW7-MVOLT	LED, 24,9W 3,672 LUMENS	RECESSED	
B	LITHONIA	CPX-2X4-AL08-80CRI-SWW7-MVOLT	LED, 34,4W 4,982 LUMENS	RECESSED	
C	LITHONIA	CPX-2X4-AL08-80CRI-SWW7-MVOLT	LED, 45,2W 6,383 LUMENS	RECESSED	
D	LITHONIA	WF6-LED-30K-MW	LED, 13W 1,020 LUMENS	RECESSED	
EM	LITHONIA	ELM4	LED	WALL	-WITH EMERGENCY BATTERY PACK.
FE	LITHONIA	ZL1N-L48-5000LM-FST-MVOLT-40K 80CRI-E10WLCP	LED, 34W 4,585 LUMENS	SURFACE	-WITH EMERGENCY BATTERYPACK.
G	LITHONIA	WDGE2-LED-P1-40K-80CRI-VF-MVOLT	LED, 10W 1,200 LUMENS	WALL	
GE	LITHONIA	WDGE2-LED-P1-40K-80CRI-VF-MVOLT E10WH	LED, 10W 1,200 LUMENS	WALL	-WITH EMERGENCY BATTERY PACK
XEM	LITHONIA	LHQM-LED-G-HO	LED	WALL/ CEILING	-WITH EMERGENCY BATTERYPACK.

GENERAL LIGHTING NOTES:
1. ALL LIGHT FIXTURE WITH SELECTABLE COLOR TEMPERATURER SHALL BE SET TO 4000 KELVIN UNLESS NOTED OTHERWISE.

PANEL	LOCATION	ELEC	LUG LOCATION:	TOP FEED	PANELBOARD AIC RATING (A):		
PA		240/120V, 1Ø, 3W 200A	MAIN BUS: MOUNTING	MAIN LUGS ONLY W/FEED THRU LUGS SURFACE	22,000		
CIRCUIT NO	BREAKER	DESCRIPTION	PHASE LOAD (KVA)		DESCRIPTION	BREAKER	CIRCUIT NO
	AMPS		L1	L2		AMPS	
1	20	LTS - OFFICES, RESTROOMS, ELEC	1.0	1.3	REC - ELEC, RESTROOM, HALL	20	1
3	20	LTS - HALLWAY, WAR ROOM			REC - TDBB	20	1
5	20	LTS - OFFICE, CONF, RECEPTION, BREAK	0.6	0.5	REC - TDBB	20	1
7	20	LTS - EXTERIOR			REC - MATTS OFFICE	20	1
9	20	REC - OFFICE	0.5	0.2	REC - MATTS OFFICE	20	1
11	20	REC - BREAK ROOM			REC - MATTS OFFICE	20	1
13	20	REC - DISPOSAL	0.8	0.5	REC - OFFICE	20	1
15	20	REC - BREAK ROOM DISH WASHER			REC - DRINKING FOUNTAIN	20	1
17	20	REC - BREAK ROOM	0.2	1.1	REC - OFFICES	20	1
19	20	REC - BREAK ROOM			REC - OFFICES	20	1
21	20	REC - BREAK ROOM MICROWAVE	1.0	0.9	REC - OFFICES	20	1
23	20	REC - BREAK ROOM RANGE			REC - VWAR ROOM	20	1
25	20	REC - BREAK ROOM	0.2	0.4	REC - VWAR ROOM	20	1
27	20	REC - BREAK ROOM			REC - VWAR ROOM	20	1
29	20	REC - RECEPTION	0.9	0.2	REC - COPY	20	1
31	20	REC - CONFERENCE			REC - COPY	20	1
33	20	REC - TRAMMELS OFFICE	0.0	0.8	REC - COPY	20	1
35	20	REC - EXTERIOR			REC - COPY	20	1
37	**40	CU-1	1.7	1.4	REC - RESTROOM, BREAK ROOM	20	1
39	-	-			F-1	20	1
41	**40	CU-2	1.7	1.8	F-2	20	1
43	-	-			F-3	20	1
45	**40	CU-3	1.7	1.8	F-4	20	1
47	-	-			WH-1	20	1
49	**40	CU-4	1.7	0.0	SPARE	20	1
51	-	-			SPARE	20	1
53	30	SPARE	0.0	0.0	SPARE	20	1
TOTAL		**COORDINATE BREAKER SIZE WITH MECHANICAL CONTRACTOR	22.7	20.8	*GFCI BREAKER		

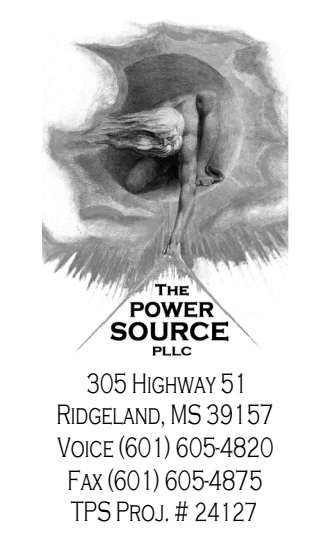


MILLS GLOBAL
GLUCKSTADT, MS

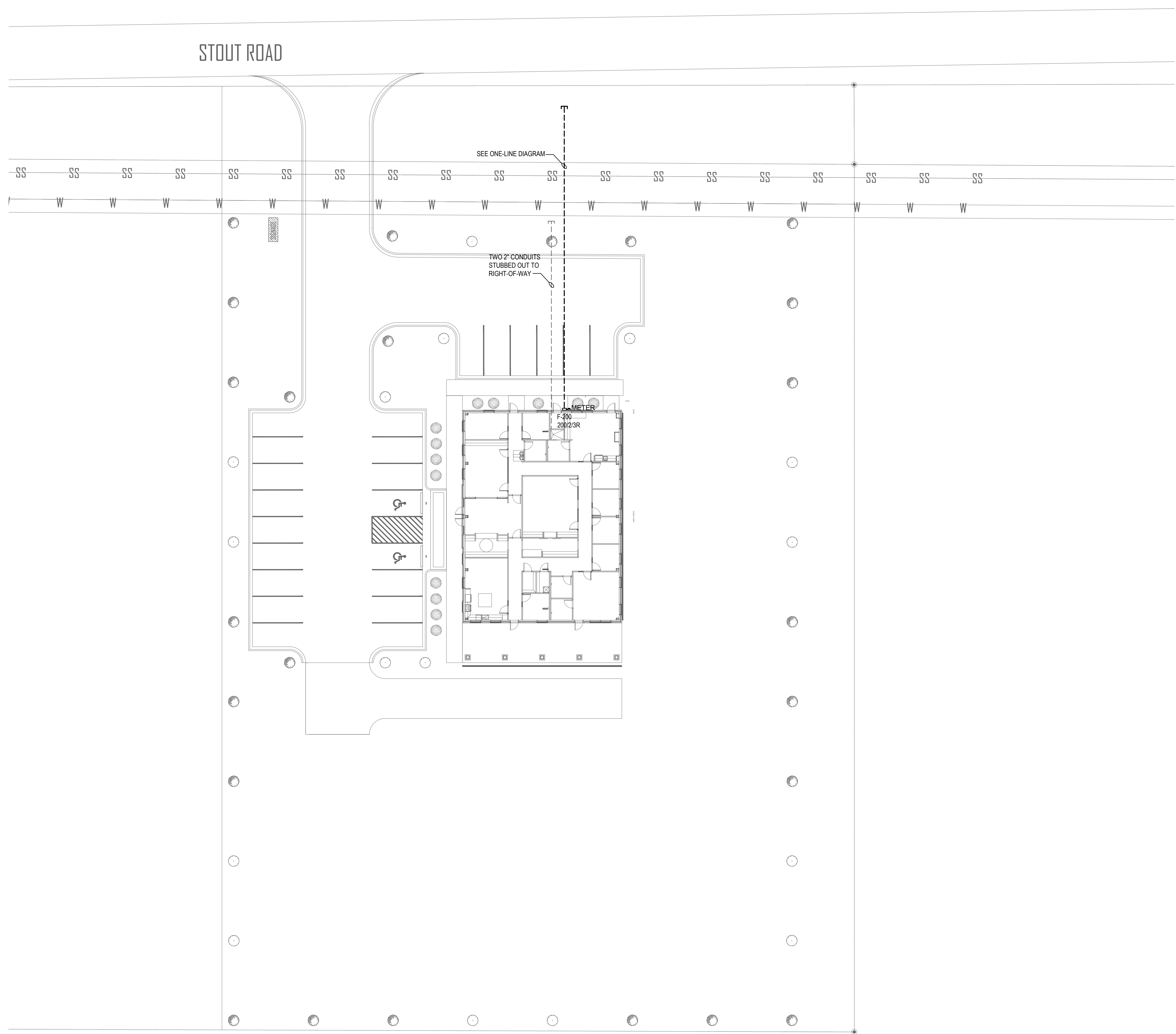
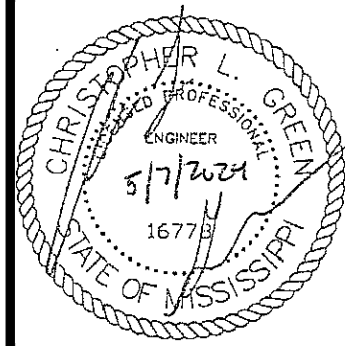
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CHECKED: CLG

REVISIONS

DATE	DESCRIPTION
5/7/2024	E000



305 HIGHWAY 51
RIDGELAND, MS 39157
VOICE (601) 605-4820
FAX (601) 605-4875
TPS PROJ. # 24127



1 ELECTRICAL SITE PLAN
E001 Scale: 1" = 20'-0"

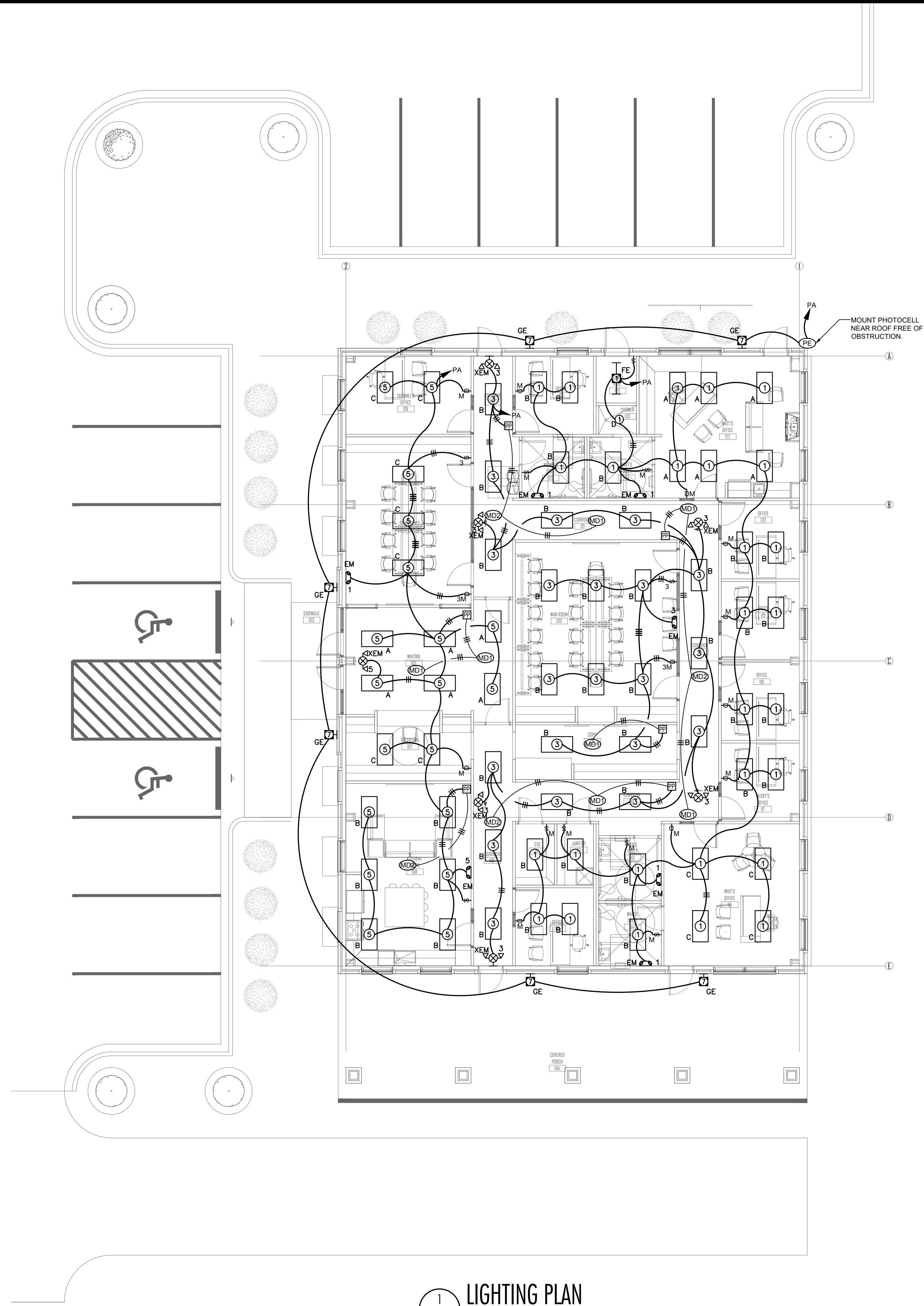
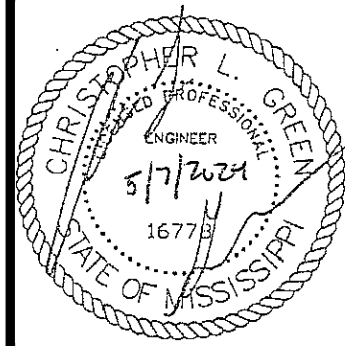
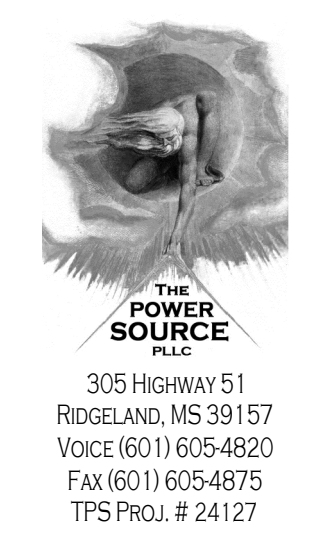
MILLS GLOBAL
GLUCKSTADT, MS

DRAWN: BRC
CHECKED: CLG

REVISIONS

DATE: 5/7/2024

E001



1 LIGHTING PLAN
E100 Scale: 1/8" = 1'-0"

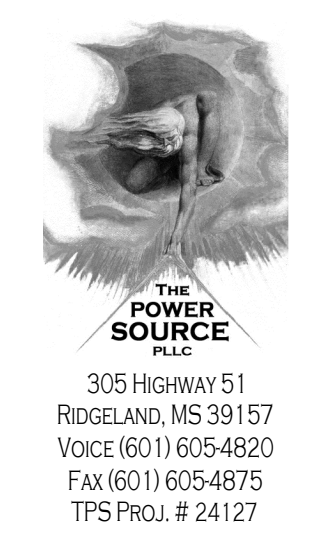
**MILLS GLOBAL
GLUCKSTADT, MS**

DRAWN: BRC
CHECKED: CLG

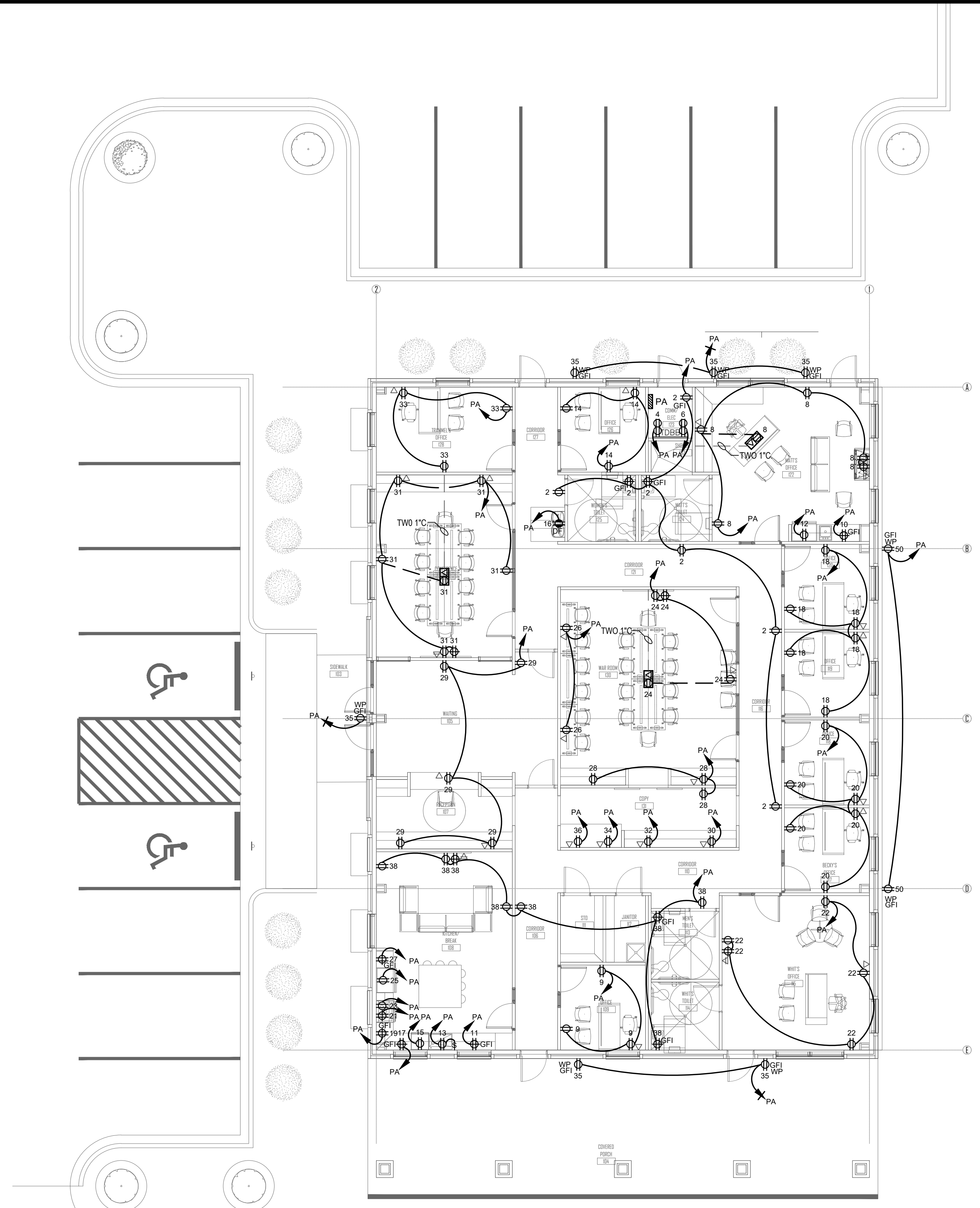
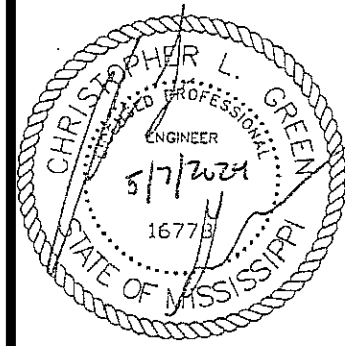
REVISIONS

DATE:
5/7/2024

E 100



The POWER SOURCE LLC
305 HIGHWAY 51
RIDGELAND, MS 39157
VOICE (601) 605-4820
FAX (601) 605-4875
TFS PROJ. # 24127



1 POWER PLAN
E200 Scale: 1/8" = 1'-0"

MILLS GLOBAL
GLUCKSTADT, MS

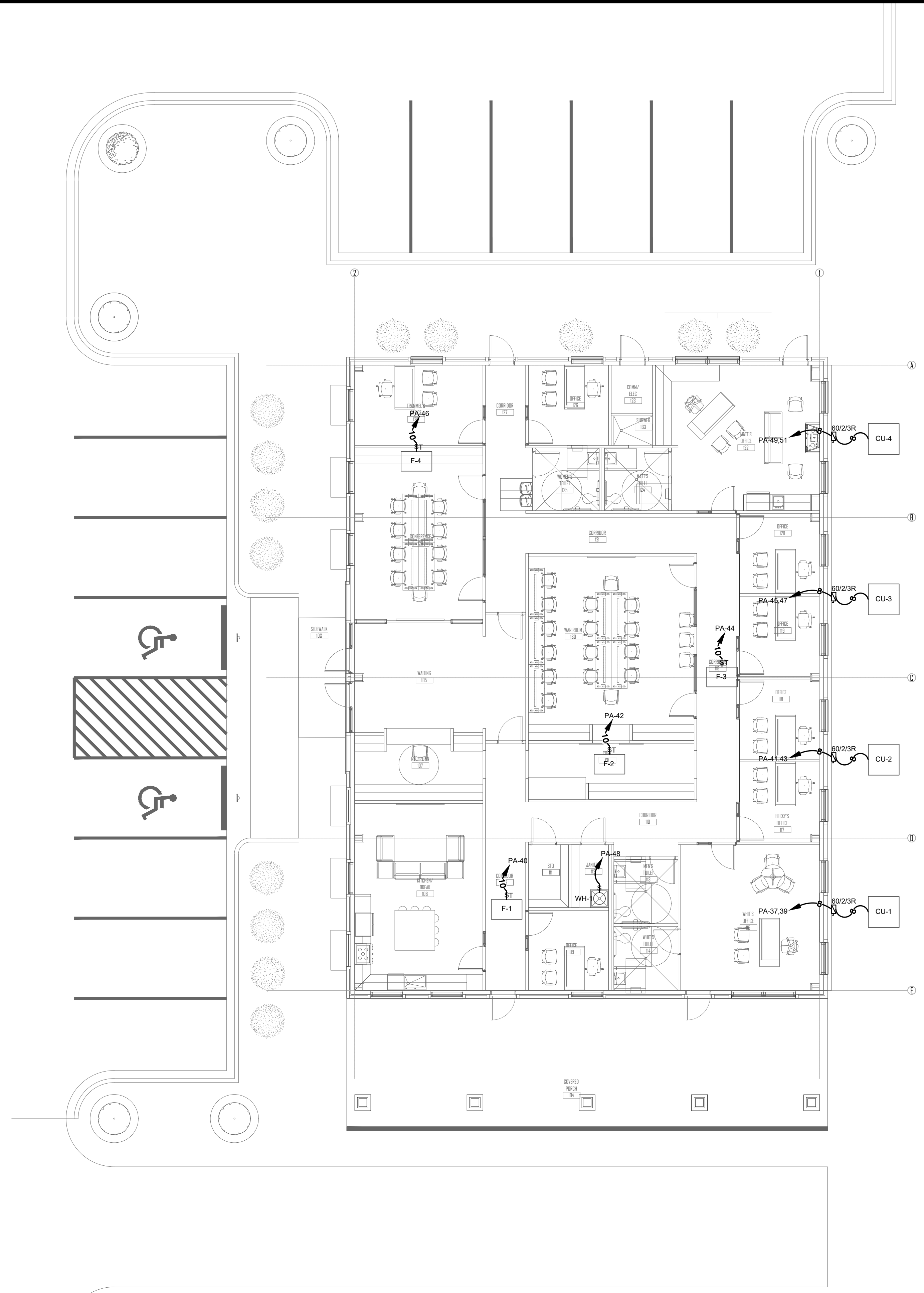
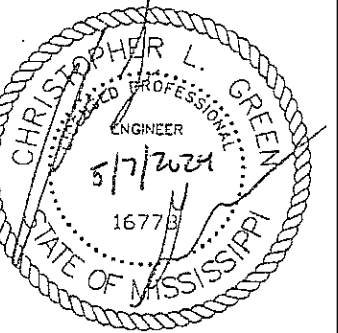
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CHECKED: CLG

REVISIONS

DATE: 5/7/2024

E200

The POWER SOURCE
P.L.L.C.
305 HIGHWAY 51
RIDGELAND, MS 39157
VOICE (601) 605-4820
FAX (601) 605-4875
TPS PROJ. # 24127



MECHANICAL PLAN
Scale: 1/8" = 1'-0"

**MILLS GLOBAL
GLUCKSTADT, MS**

DRAWN: BRC
CHECKED: CLG

NO.	DATE	DESCRIPTION

DATE: 5/7/2024

E300

**DRAINAGE CALCULATIONS
FOR**

Mills Contracting

In cooperation with:

Matt Mills

Analysis and report prepared by:

Colin L. Baird, PE, PLS
Baird Engineering, Inc.
506 Jefferson Street
Clinton, Mississippi 39056

Date: May 5, 2024



INTRODUCTION

In response to the proposed construction of a new building, concrete parking area and drives located on Stout Road in Gluckstadt, Mississippi, it was requested that Baird Engineering, Inc. perform rainfall-runoff analyses of the site for both pre- and post-construction conditions. This analysis is a part of this report.

The site currently has NO existing building, parking lot and driveways and is open land. The entire area for the proposed project is approximately 1.08 acres. Currently, the surface drains to the south end of the property. A copy of the topographic survey is included in the civil plans by Baird Engineering, Inc.

The proposed improvements are shown on civil plans by Baird Engineering, Inc. The site layout is shown on the Site & Drainage Plan attached to this report.

ANALYSES

Hydrologic analyses for the site were performed in which pre- and post-construction conditions were examined. The Rational Method for computing runoff was used.

Basin Model

Hydrology Studio v 3.0.0.27

Pre Mills



Post Mills



Post Ross Furniture

Hydrograph by Return Period

Hydrology Studio v 3.0.0.27

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Outflow (cfs)							
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
1	Rational	Pre Mills		1.293		1.549	1.763	2.053	2.276	2.498
2	Rational	Post Mills		6.051		7.208	8.188	9.513	10.60	11.56
3	Pond Route	Post Ross Furniture		1.661		1.885	2.008	2.147	2.257	2.351

Hydrograph 2-yr Summary

Hydrology Studio v 3.0.0.27

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Mills	1.293	0.47	2,173	---		
2	Rational	Post Mills	6.051	0.10	2,178	---		
3	Pond Route	Post Ross Furniture	1.661	0.17	2,173	2	284.82	1,654

Hydrograph Report

Pre Mills

Hyd. No. 1

Hydrograph Type = Rational

Storm Frequency = 2-yr

Time Interval = 1 min

Drainage Area = 1.08 ac

Tc Method = User

IDF Curve = Jackson Mississippi.idf

Freq. Corr. Factor = 1.00

Peak Flow = 1.293 cfs

Time to Peak = 0.47 hrs

Runoff Volume = 2,173 cuft

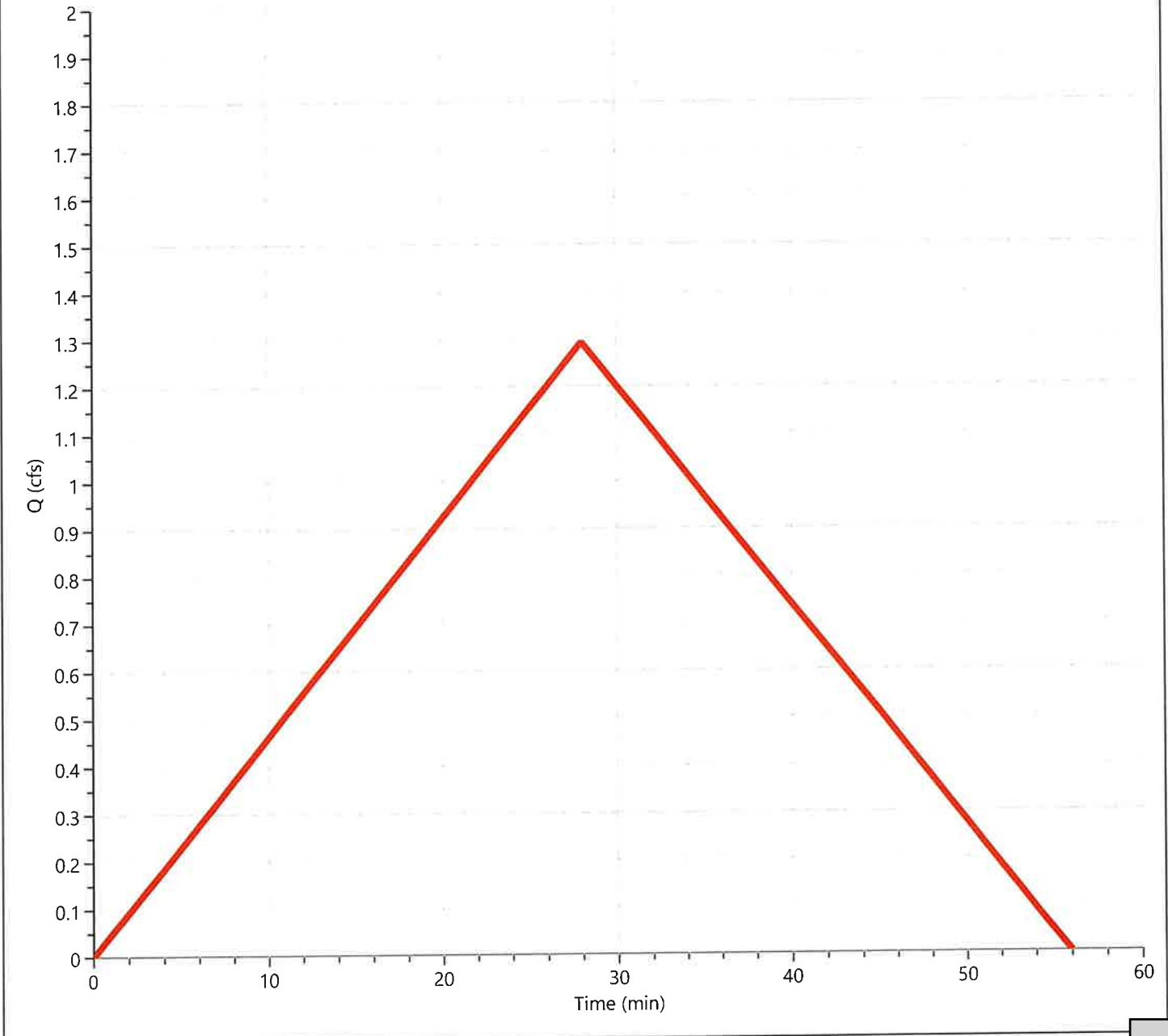
Runoff Coeff. = 0.4

Time of Conc. (Tc) = 28.0 min

Intensity = 2.99 in/hr

Asc/Rec Limb Factors = 1/1

Qp = 1.29 cfs

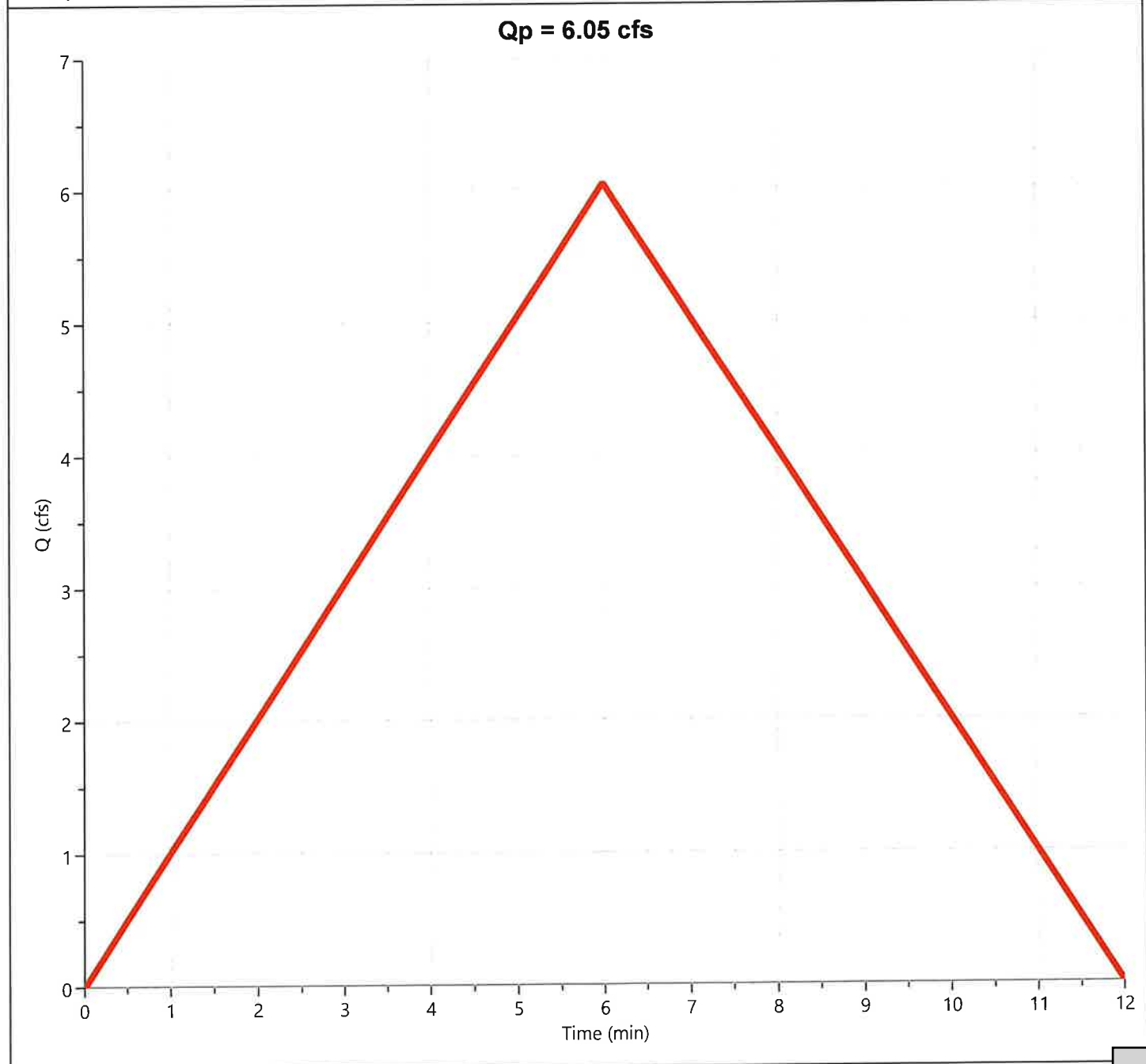


Hydrograph Report

Post Mills

Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 6.051 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 2,178 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 6.23 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



Hydrograph Report

Post Ross Furniture

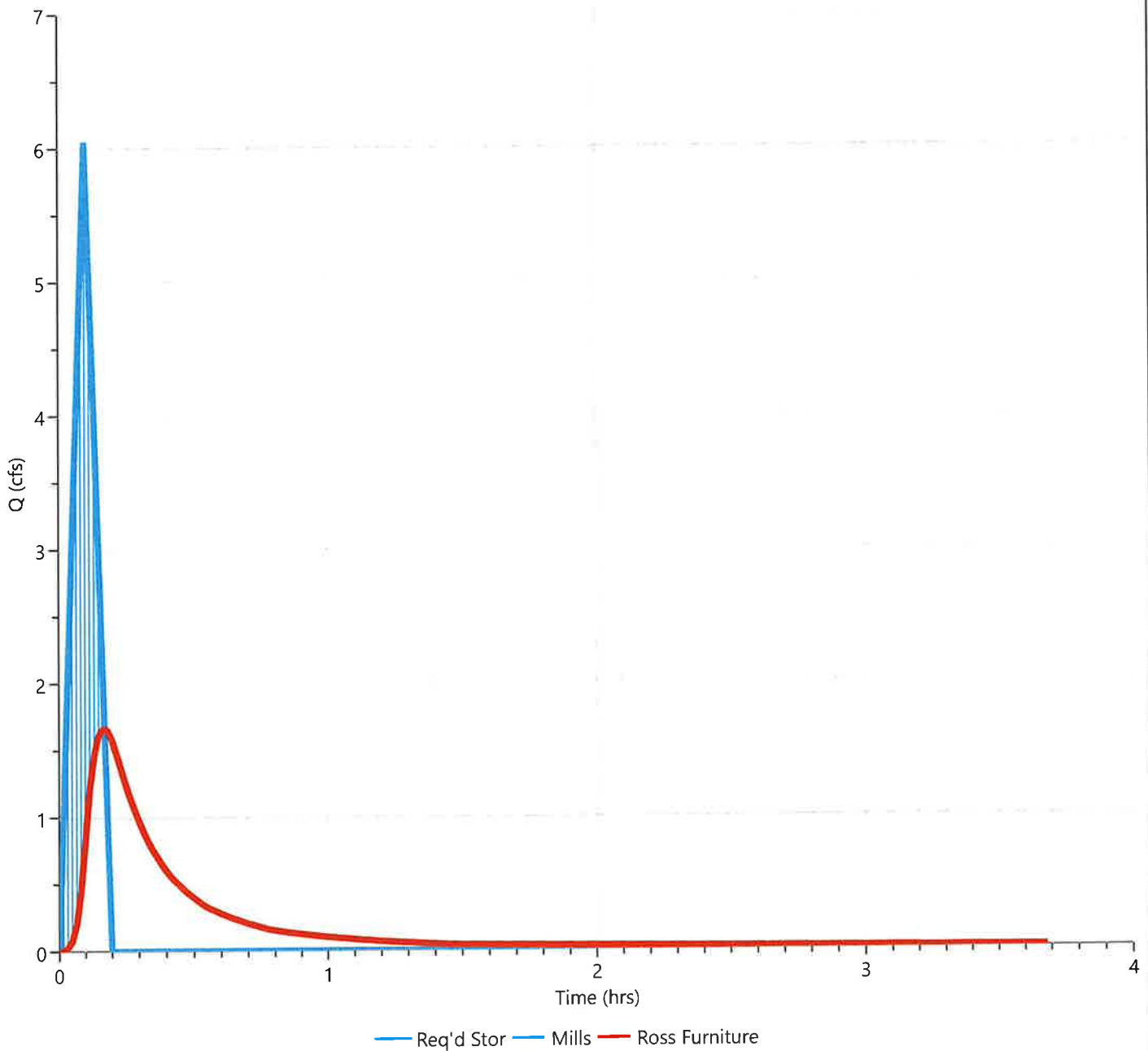
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 1.661 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 2,173 cuft
Inflow Hydrograph	= 2 - Mills	Max. Elevation	= 284.82 ft
Pond Name	= Mills	Max. Storage	= 1,654 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 22 min

Qp = 1.66 cfs



Hydrograph 5-yr Summary

05-05-2024

Hydrology Studio v 3.0.0.27

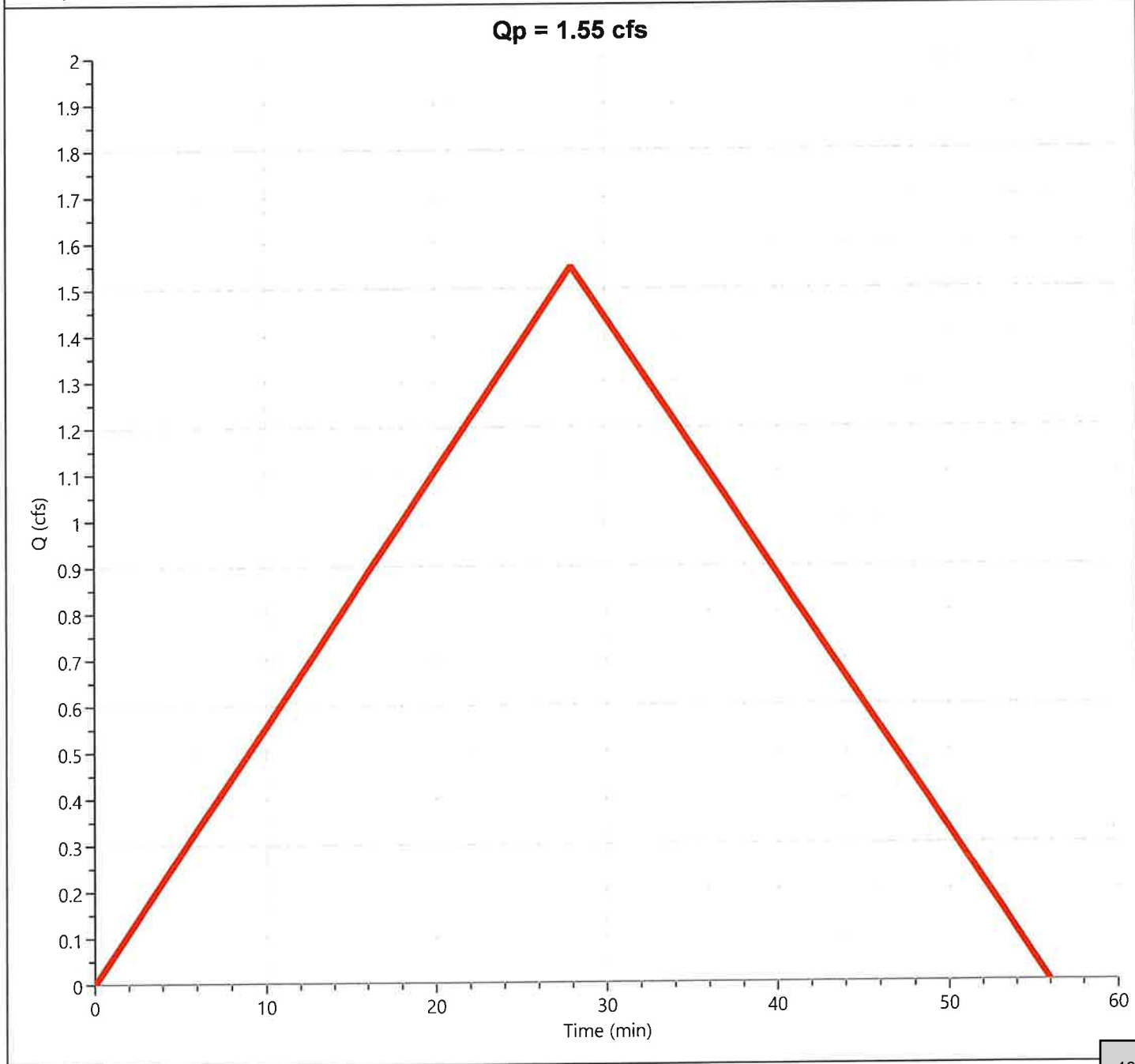
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Mills	1.549	0.47	2,602	----		
2	Rational	Post Mills	7.208	0.10	2,595	----		
3	Pond Route	Post Ross Furniture	1.885	0.17	2,590	2	284.97	1,962

Hydrograph Report

Pre Mills

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.549 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.47 hrs
Time Interval	= 1 min	Runoff Volume	= 2,602 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 28.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 3.58 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

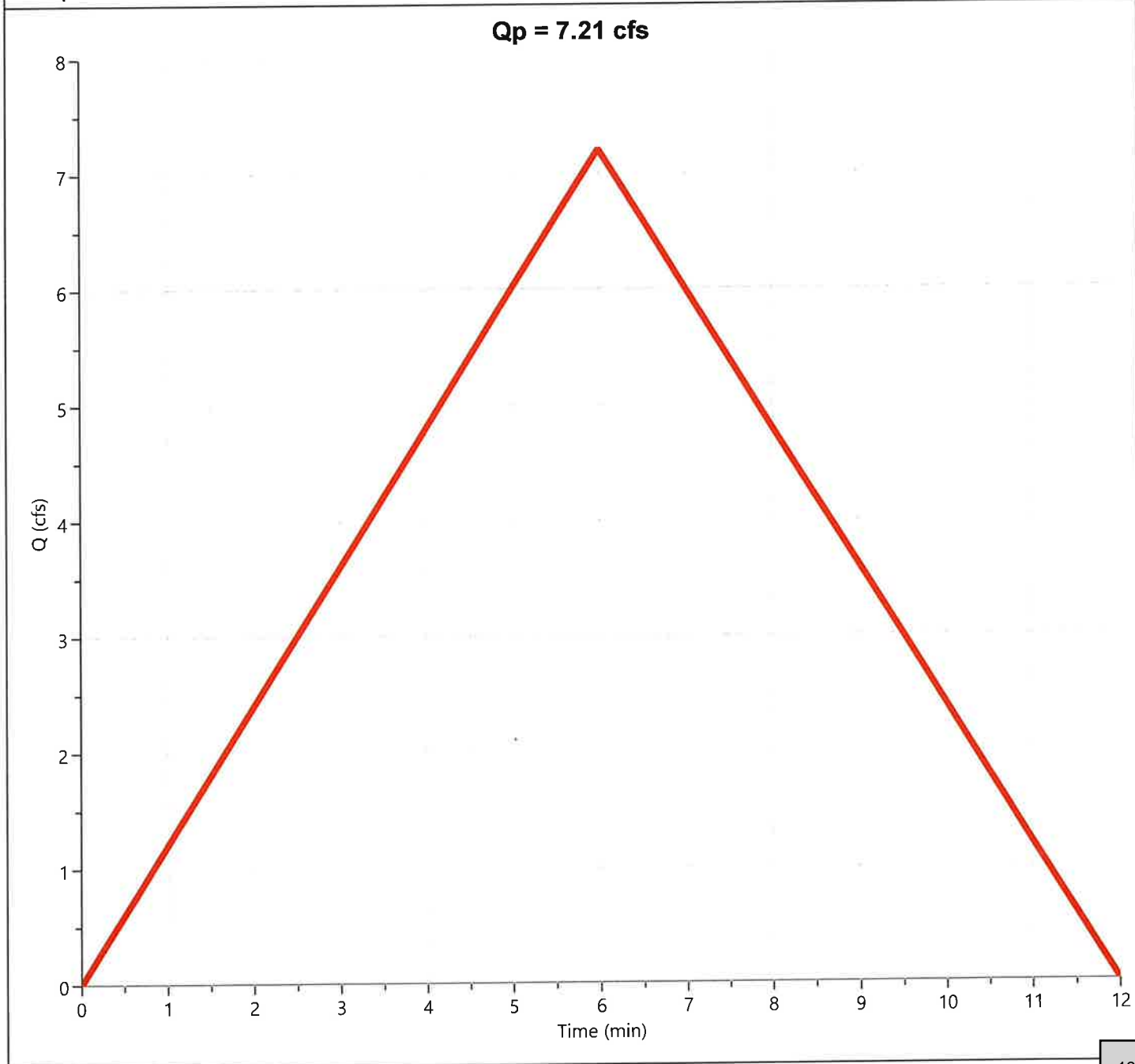


Hydrograph Report

Post Mills

Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 7.208 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 2,595 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 7.42 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



Hydrograph Report

Hydrology Studio v 3.0.0.27

05-05-2024

Post Ross Furniture

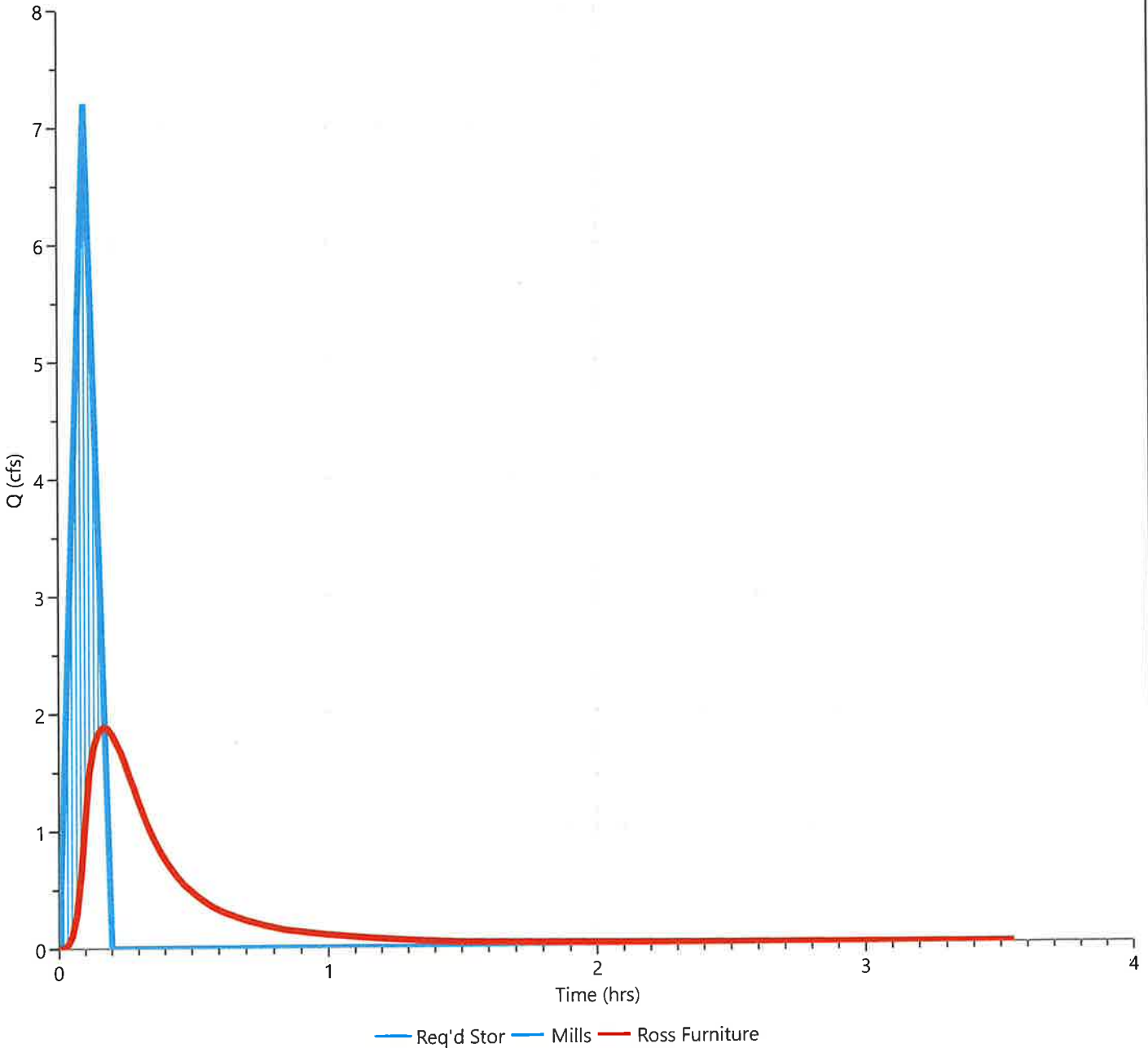
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 1.885 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.17 hrs
Time Interval	= 1 min	Hydrograph Volume	= 2,590 cuft
Inflow Hydrograph	= 2 - Mills	Max. Elevation	= 284.97 ft
Pond Name	= Mills	Max. Storage	= 1,962 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 21 min

Qp = 1.89 cfs



Hydrograph 10-yr Summary

Hydrology Studio v 3.0.0.27

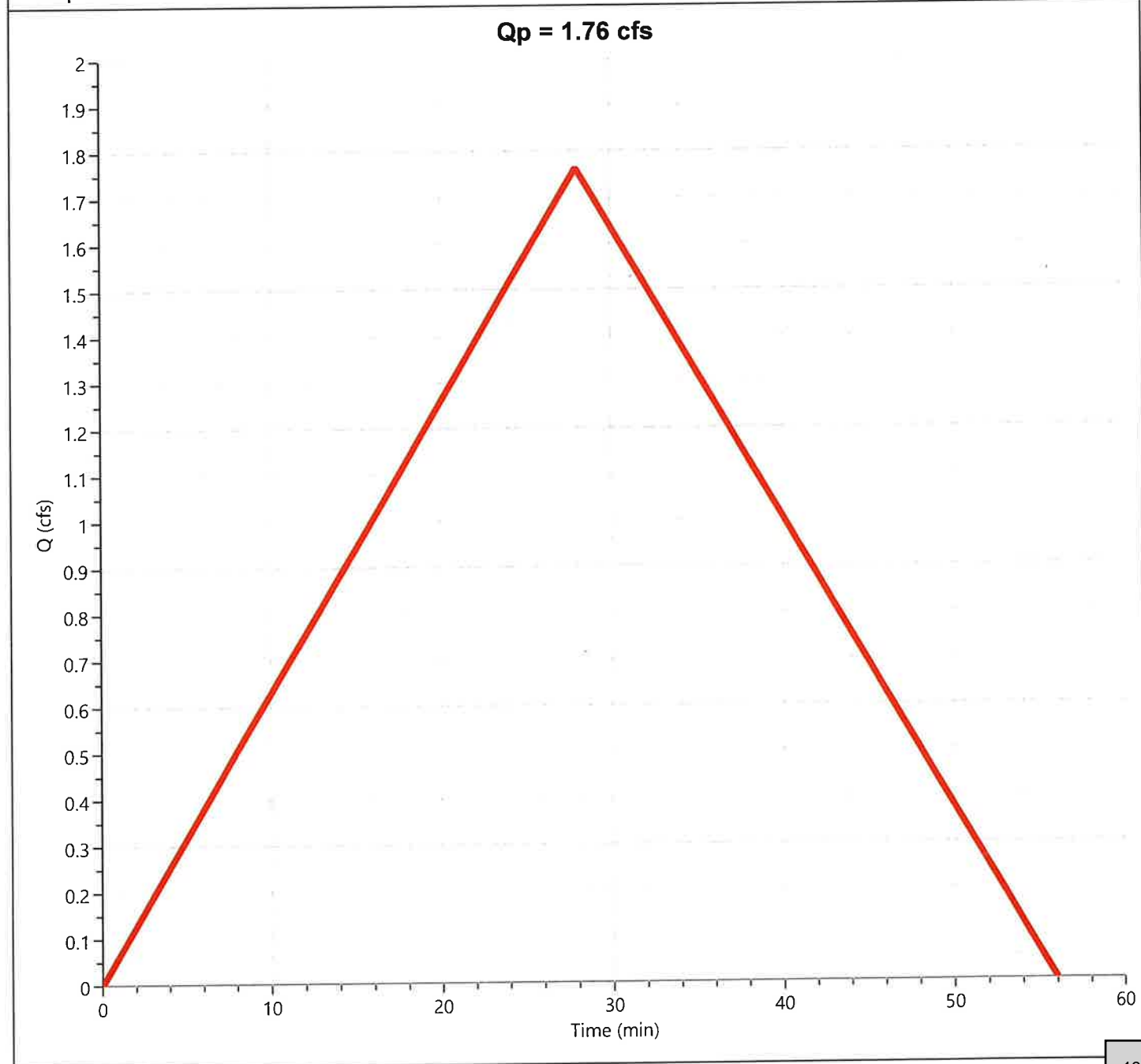
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Mills	1.763	0.47	2,962	---		
2	Rational	Post Mills	8.188	0.10	2,948	---		
3	Pond Route	Post Ross Furniture	2.008	0.18	2,943	2	285.06	2,236

Hydrograph Report

Pre Mills

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 1.763 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.47 hrs
Time Interval	= 1 min	Runoff Volume	= 2,962 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 28.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 4.08 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

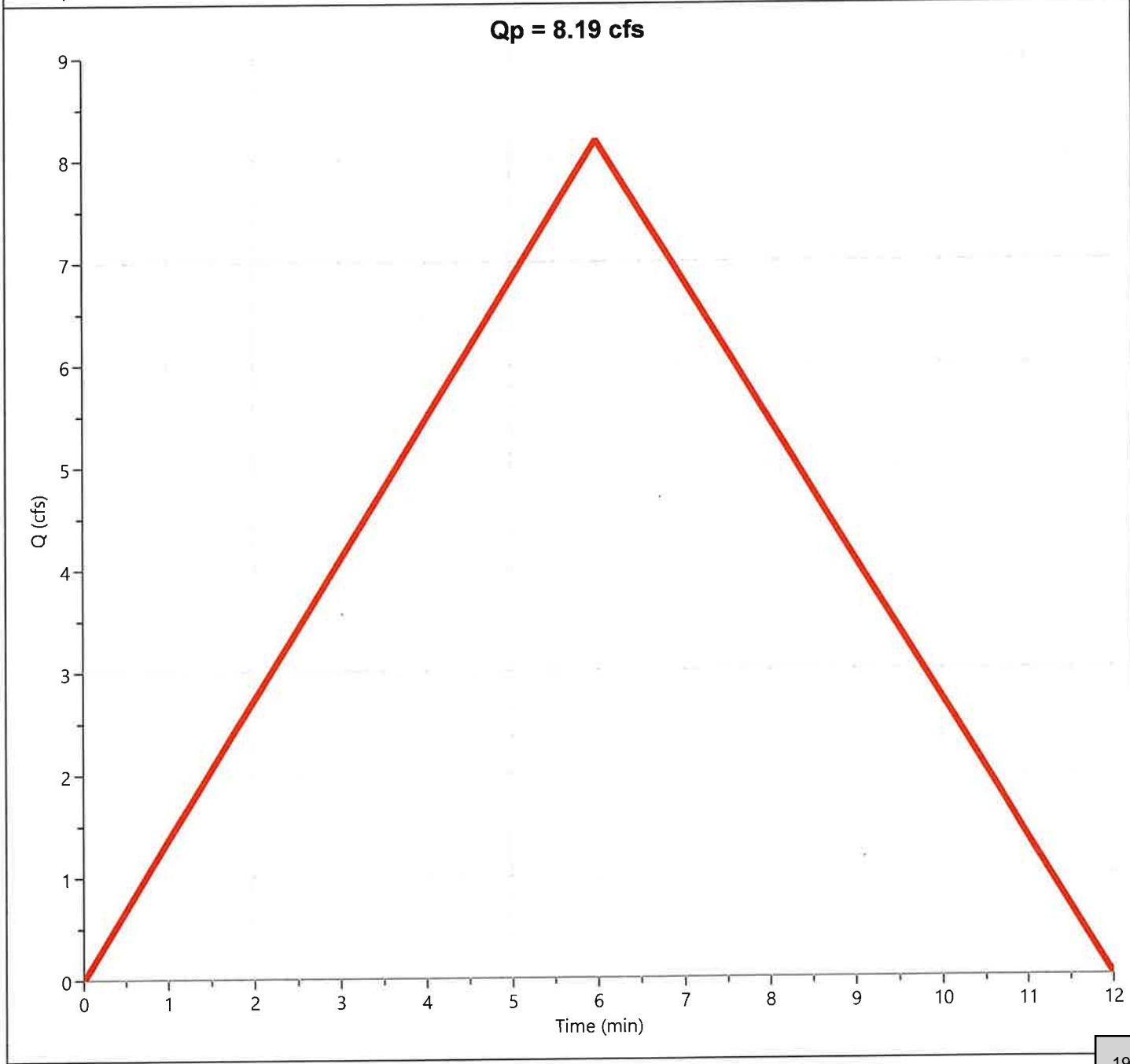


Hydrograph Report

Post Mills

Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 8.188 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 2,948 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 8.42 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



Hydrograph Report

Post Ross Furniture

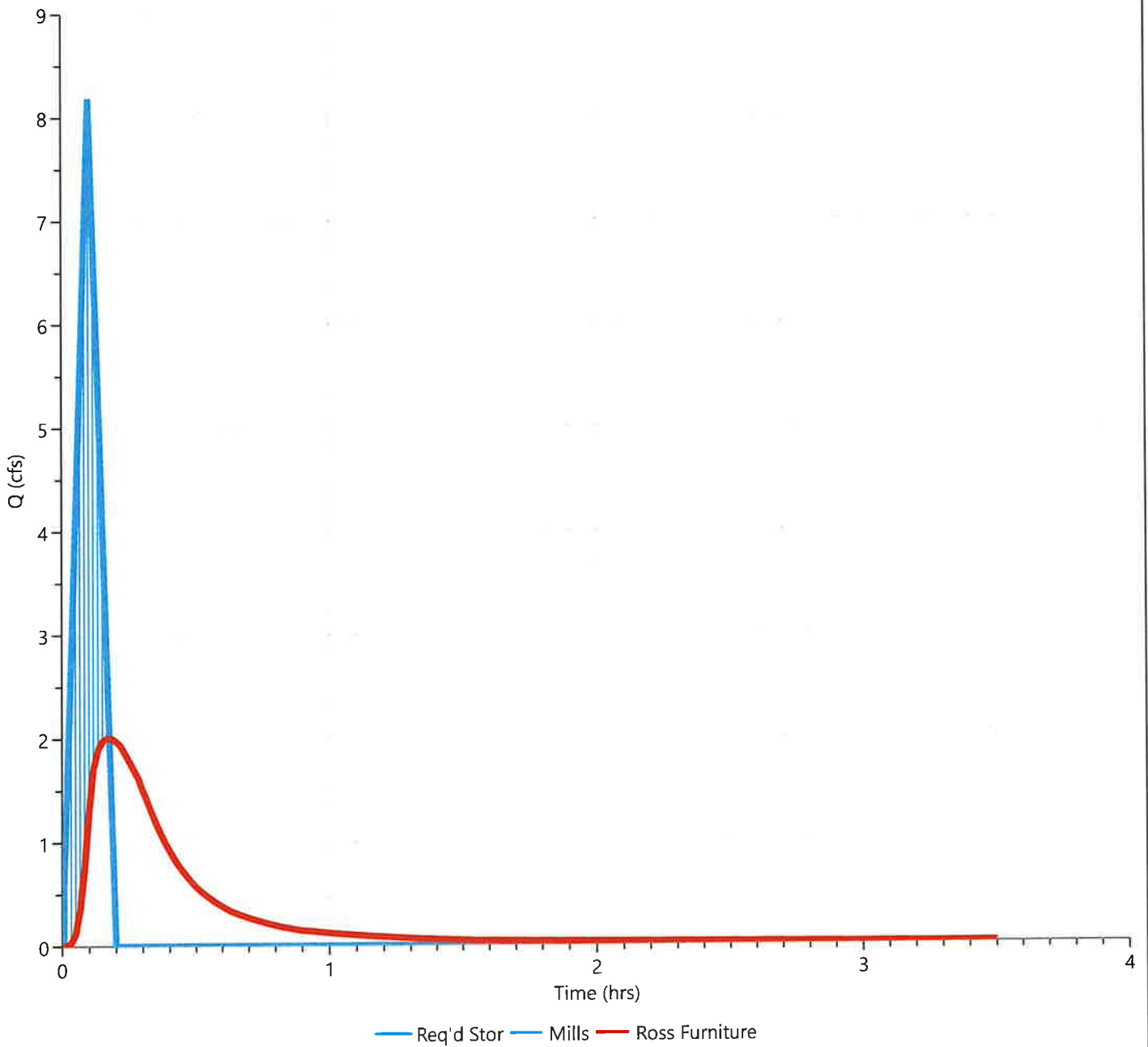
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.008 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.18 hrs
Time Interval	= 1 min	Hydrograph Volume	= 2,943 cuft
Inflow Hydrograph	= 2 - Mills	Max. Elevation	= 285.06 ft
Pond Name	= Mills	Max. Storage	= 2,236 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 20 min

Qp = 2.01 cfs



Hydrograph 25-yr Summary

05-05-2024

Hydrology Studio v 3.0.0.27

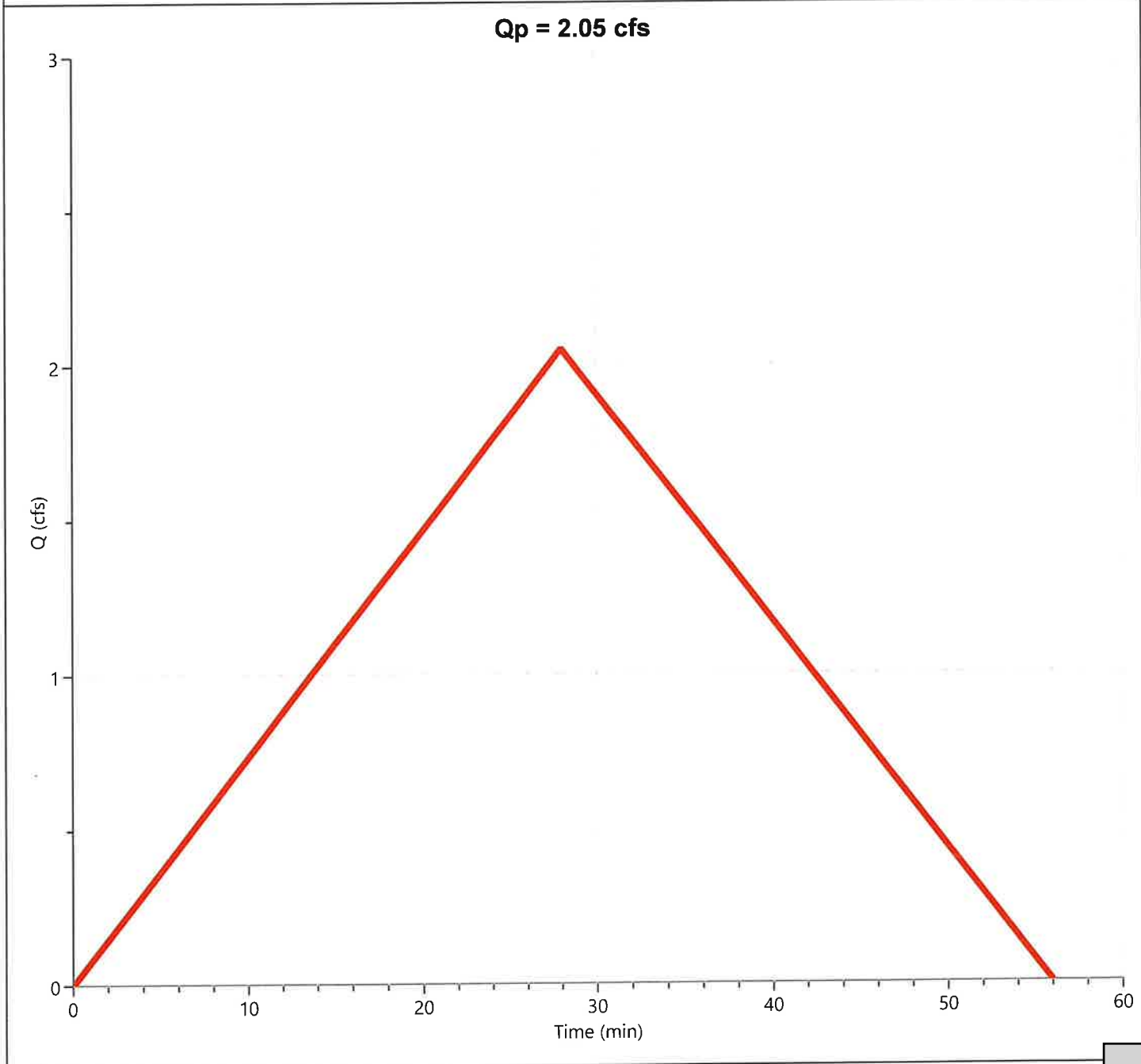
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Mills	2.053	0.47	3,449	---		
2	Rational	Post Mills	9.513	0.10	3,425	---		
3	Pond Route	Post Ross Furniture	2.147	0.18	3,420	2	285.17	2,629

Hydrograph Report

Pre Mills

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.053 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.47 hrs
Time Interval	= 1 min	Runoff Volume	= 3,449 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 28.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 4.75 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

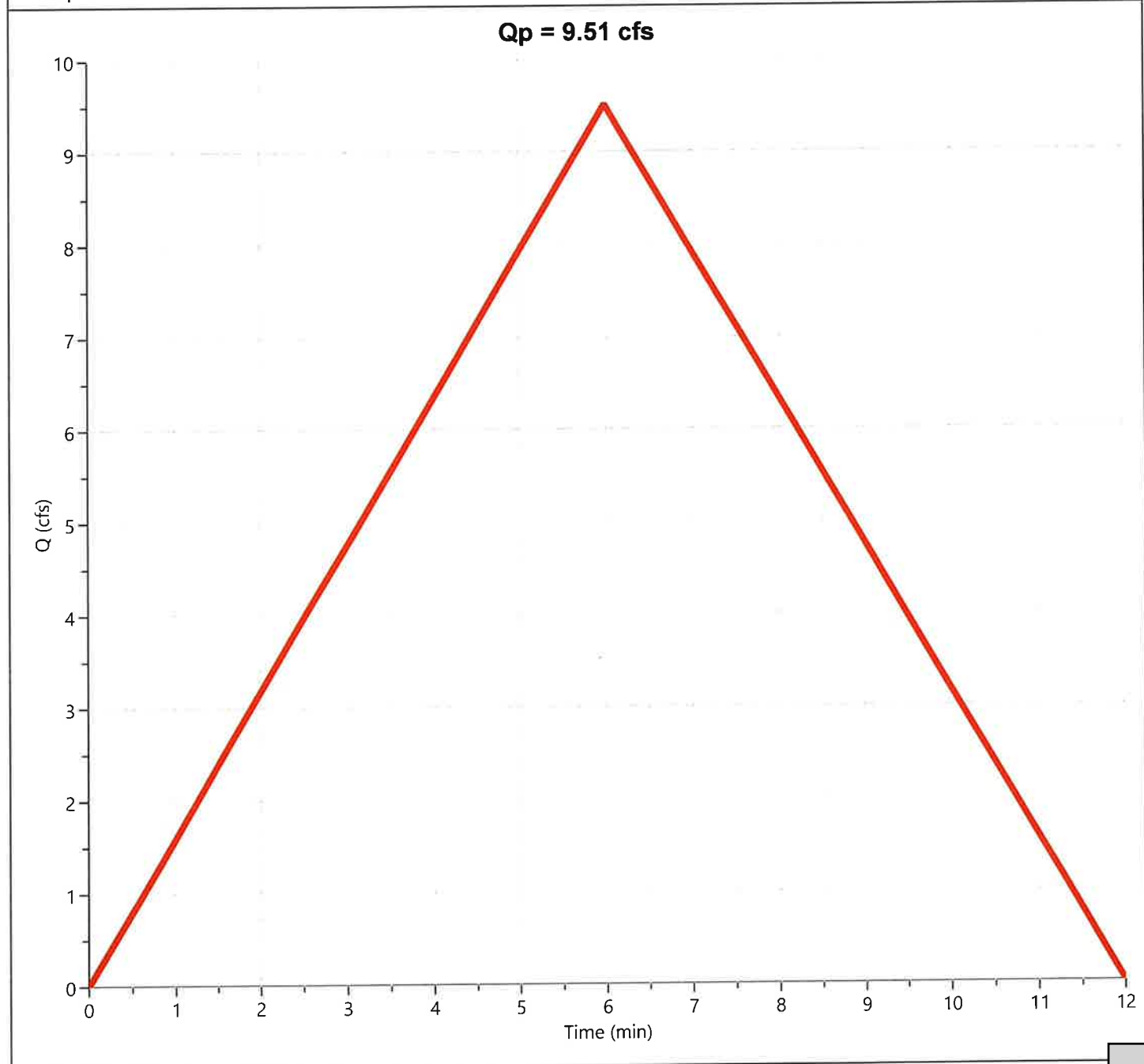


Hydrograph Report

Post Mills

Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 9.513 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 3,425 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 9.79 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



Hydrograph Report

Post Ross Furniture

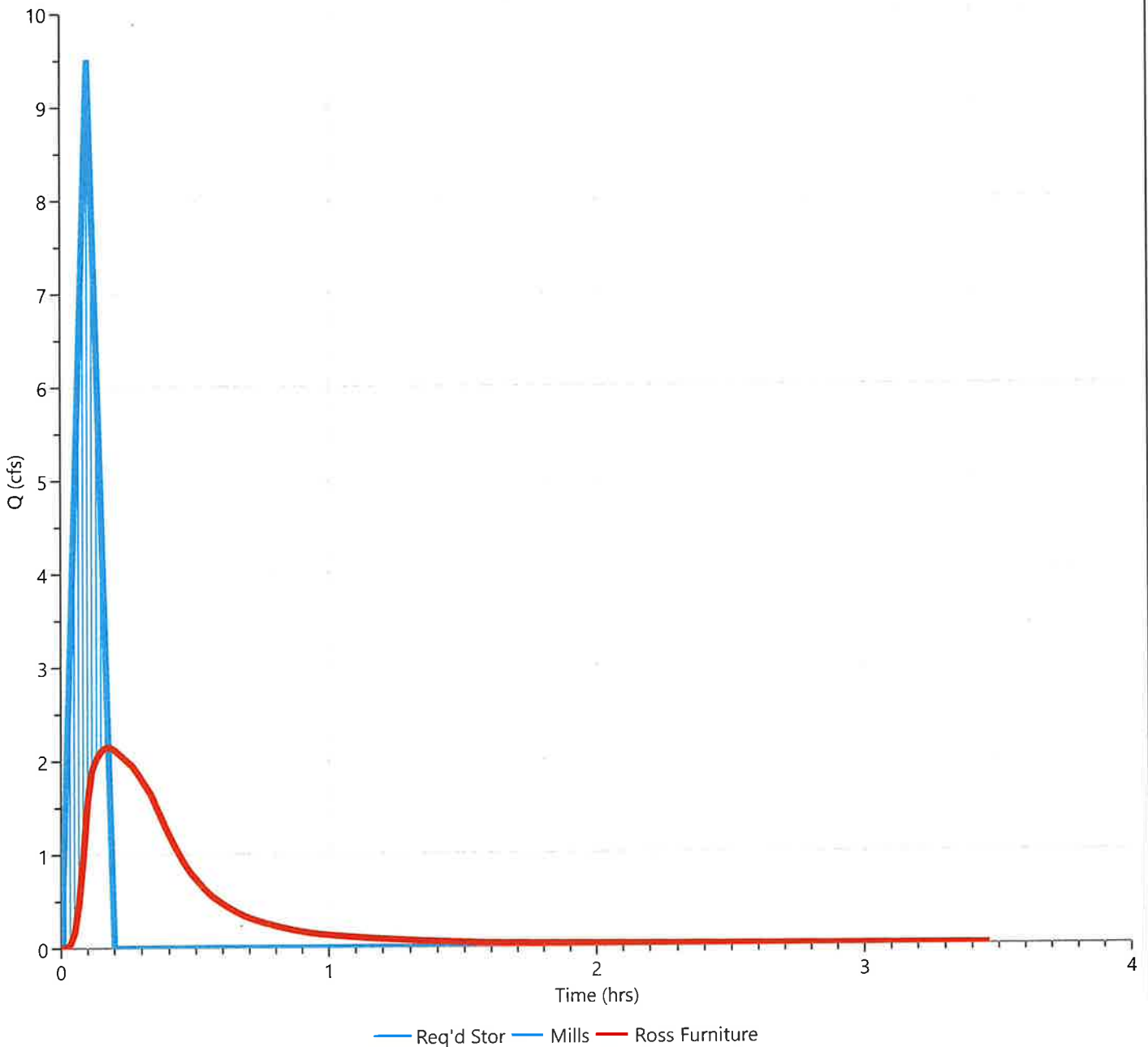
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.147 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.18 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,420 cuft
Inflow Hydrograph	= 2 - Mills	Max. Elevation	= 285.17 ft
Pond Name	= Mills	Max. Storage	= 2,629 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 20 min

Qp = 2.15 cfs



Hydrograph 50-yr Summary

Hydrology Studio v 3.0.0.27

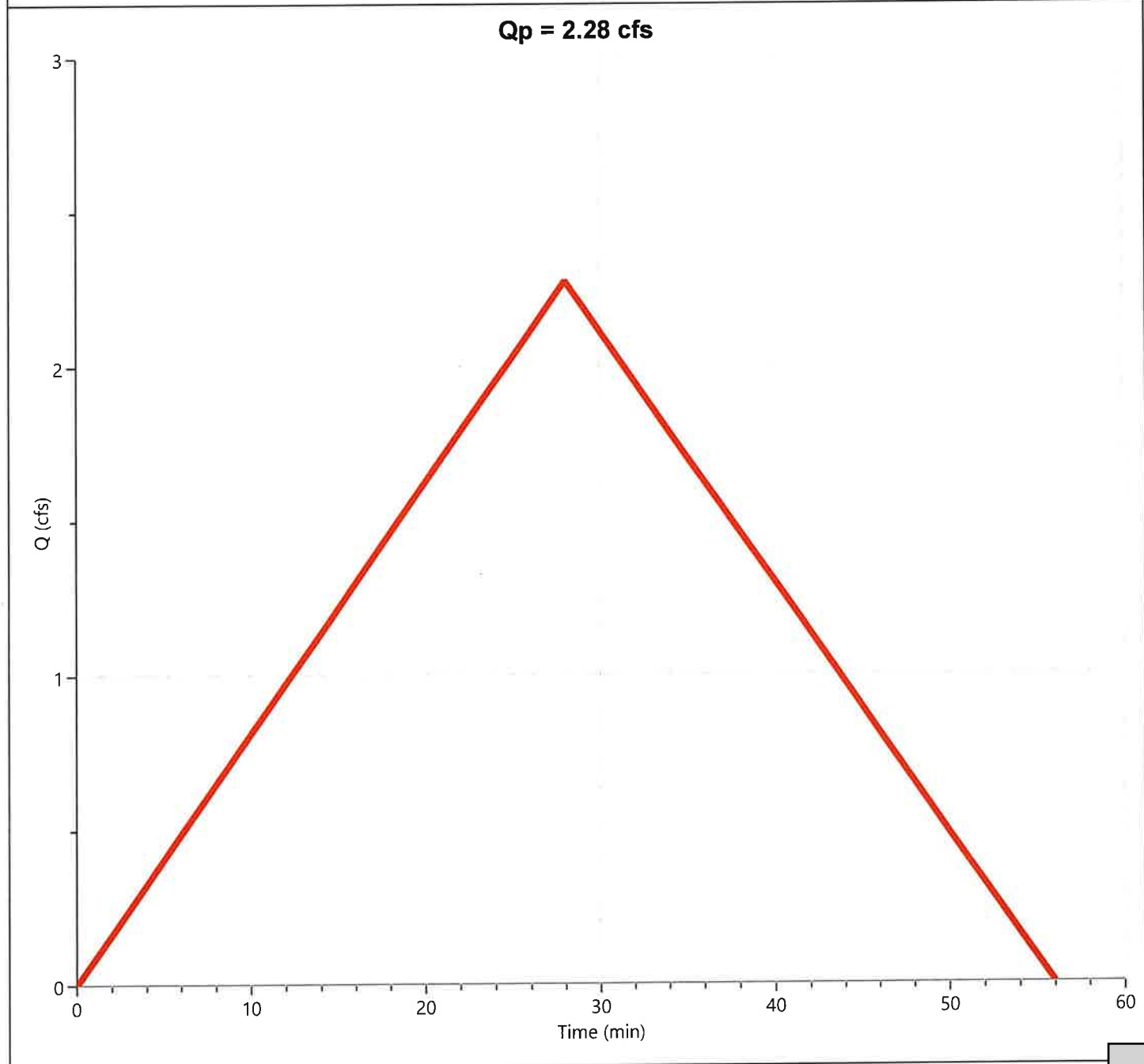
Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Mills	2.276	0.47	3,824	---		
2	Rational	Post Mills	10.60	0.10	3,815	---		
3	Pond Route	Post Ross Furniture	2.257	0.18	3,809	2	285.26	2,958

Hydrograph Report

Pre Mills

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.276 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.47 hrs
Time Interval	= 1 min	Runoff Volume	= 3,824 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 28.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 5.27 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

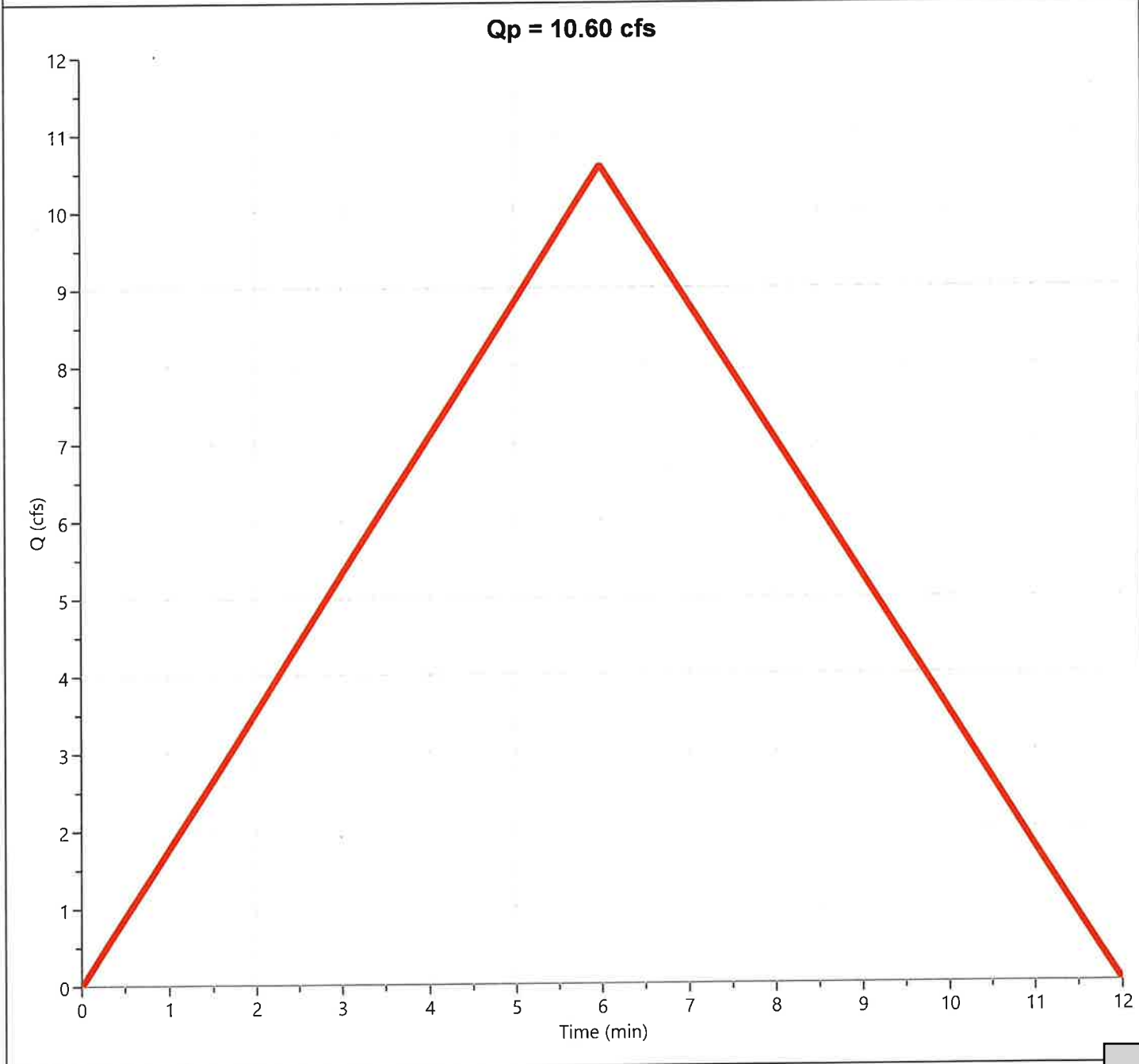


Hydrograph Report

Post Mills

Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 10.60 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 3,815 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 10.90 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



Hydrograph Report

Post Ross Furniture

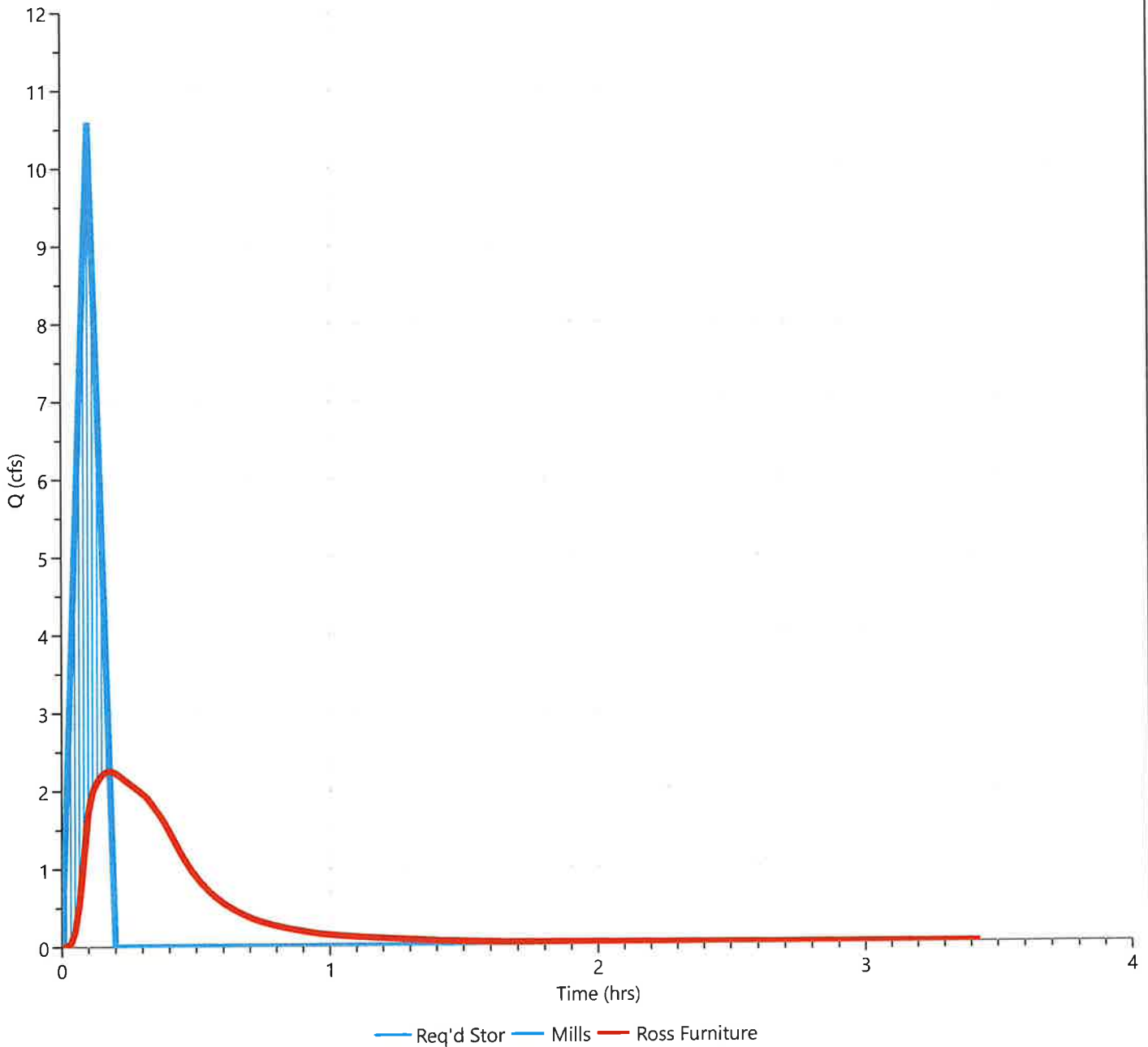
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.257 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.18 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,809 cuft
Inflow Hydrograph	= 2 - Mills	Max. Elevation	= 285.26 ft
Pond Name	= Mills	Max. Storage	= 2,958 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 20 min

Qp = 2.26 cfs



Hydrograph 100-yr Summary

Hydrology Studio v 3.0.0.27

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Pre Mills	2.498	0.47	4,197	---		
2	Rational	Post Mills	11.56	0.10	4,162	---		
3	Pond Route	Post Ross Furniture	2.351	0.18	4,157	2	285.35	3,254

Hydrograph Report

Section 8, ID)

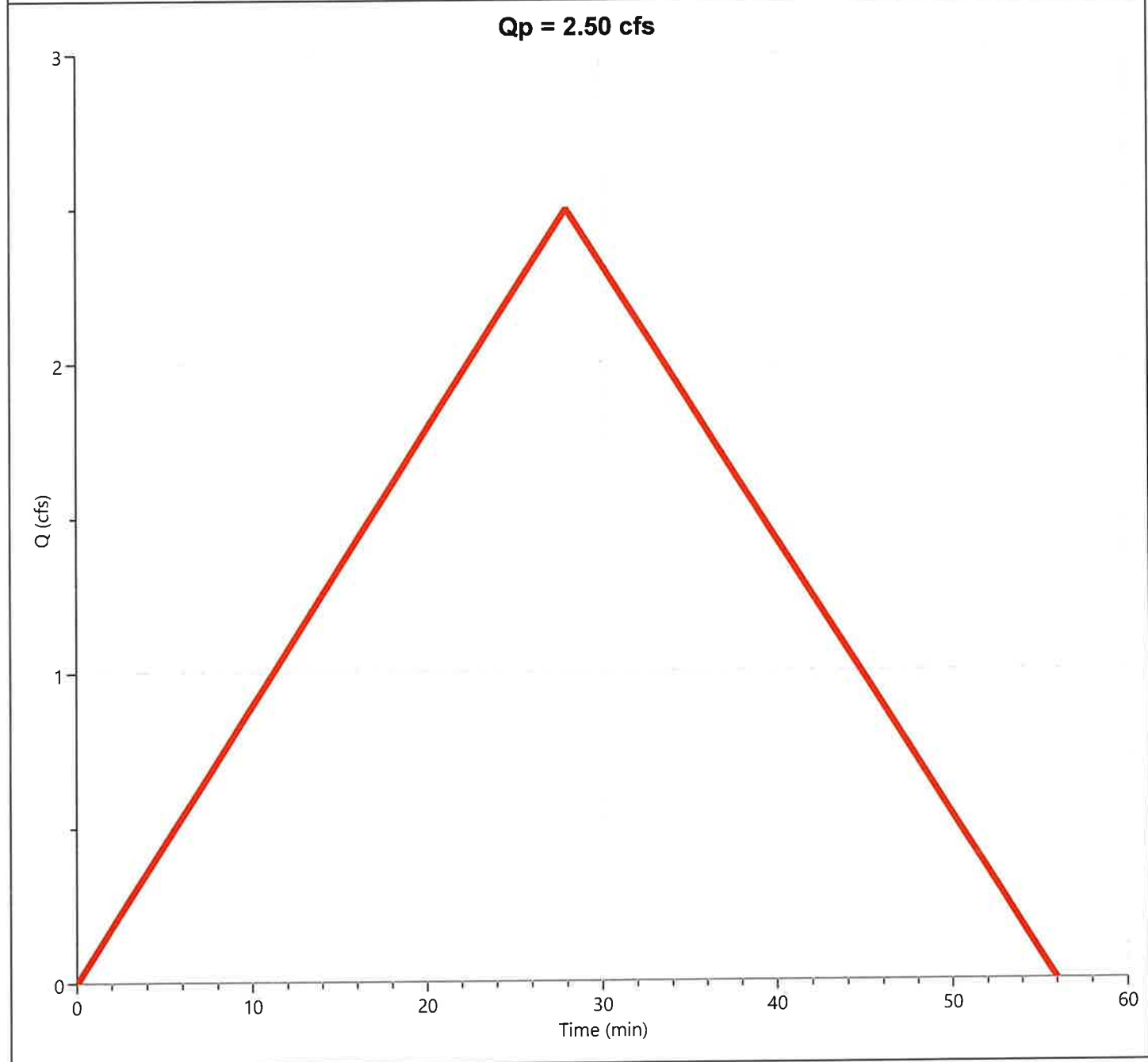
Hydrology Studio v 3.0.0.27

05-05-2024

Pre Mills

Hyd. No. 1

Hydrograph Type	= Rational	Peak Flow	= 2.498 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.47 hrs
Time Interval	= 1 min	Runoff Volume	= 4,197 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.4
Tc Method	= User	Time of Conc. (Tc)	= 28.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 5.78 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1

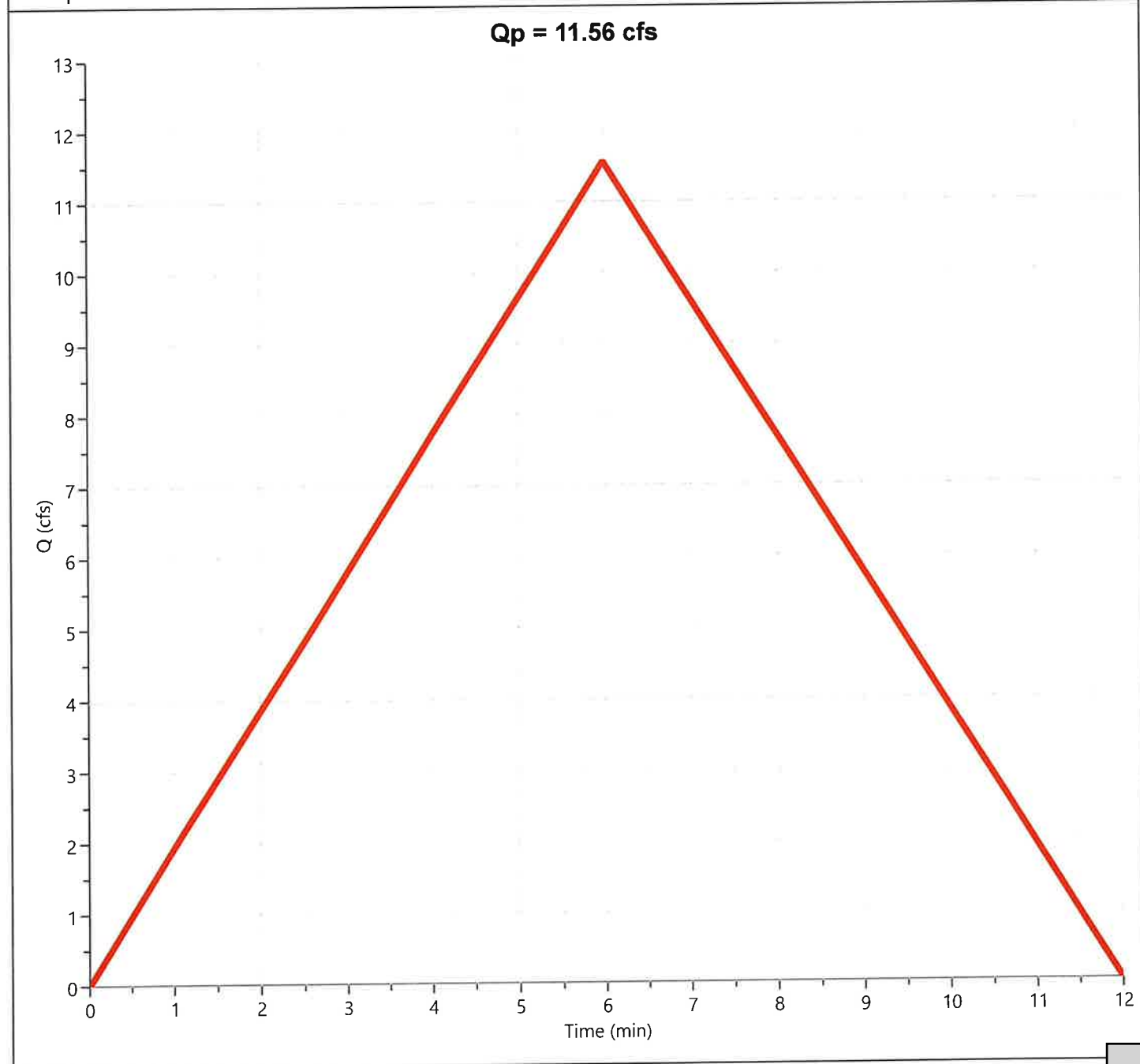


Hydrograph Report

Post Mills

Hyd. No. 2

Hydrograph Type	= Rational	Peak Flow	= 11.56 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.10 hrs
Time Interval	= 1 min	Runoff Volume	= 4,162 cuft
Drainage Area	= 1.08 ac	Runoff Coeff.	= 0.9
Tc Method	= User	Time of Conc. (Tc)	= 6.0 min
IDF Curve	= Jackson Mississippi.idf	Intensity	= 11.90 in/hr
Freq. Corr. Factor	= 1.00	Asc/Rec Limb Factors	= 1/1



Hydrograph Report

Post Ross Furniture

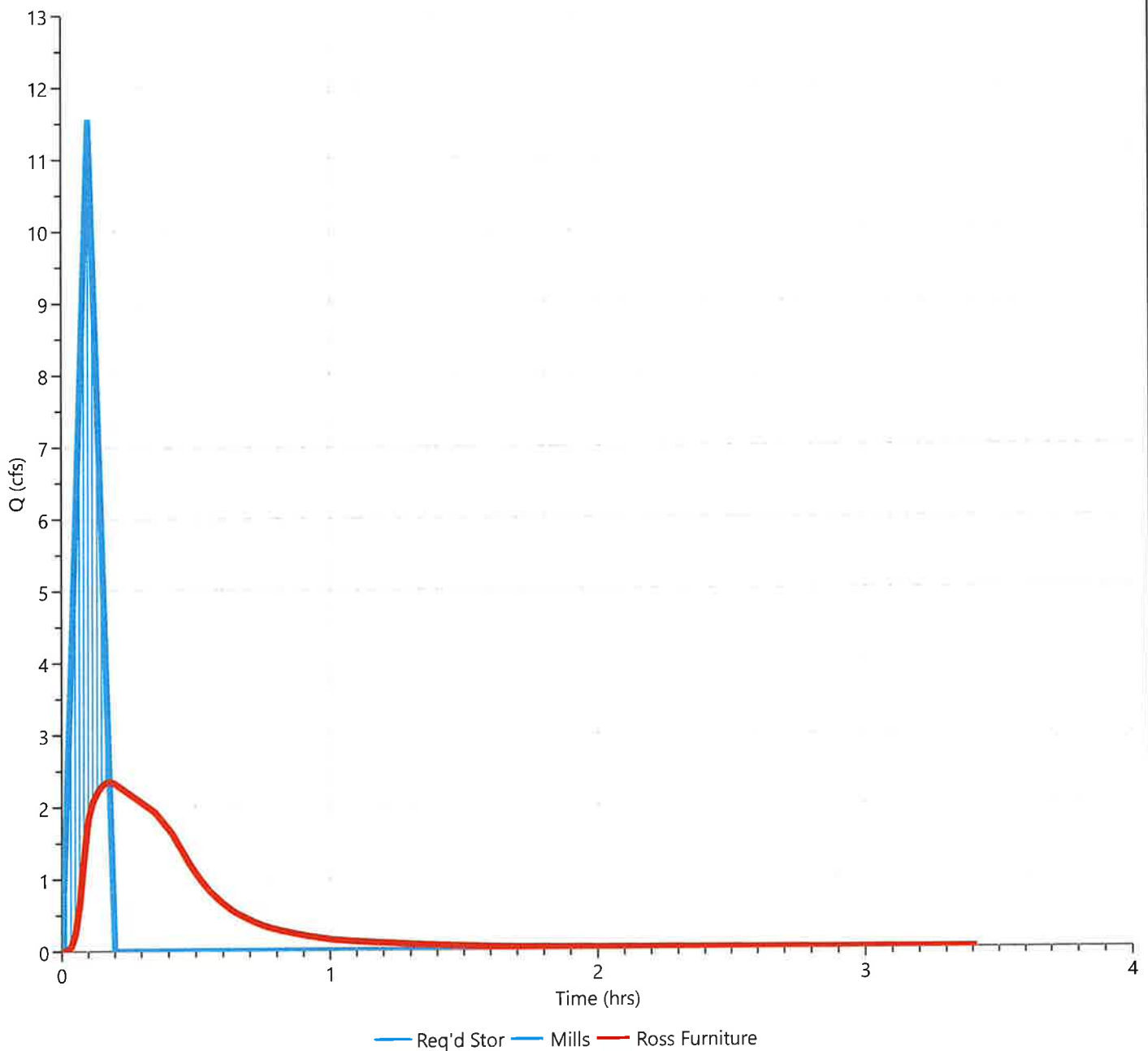
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.351 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.18 hrs
Time Interval	= 1 min	Hydrograph Volume	= 4,157 cuft
Inflow Hydrograph	= 2 - Mills	Max. Elevation	= 285.35 ft
Pond Name	= Mills	Max. Storage	= 3,254 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 20 min

Qp = 2.35 cfs



IDF Report

Hydrology Studio v 3.0.0.27

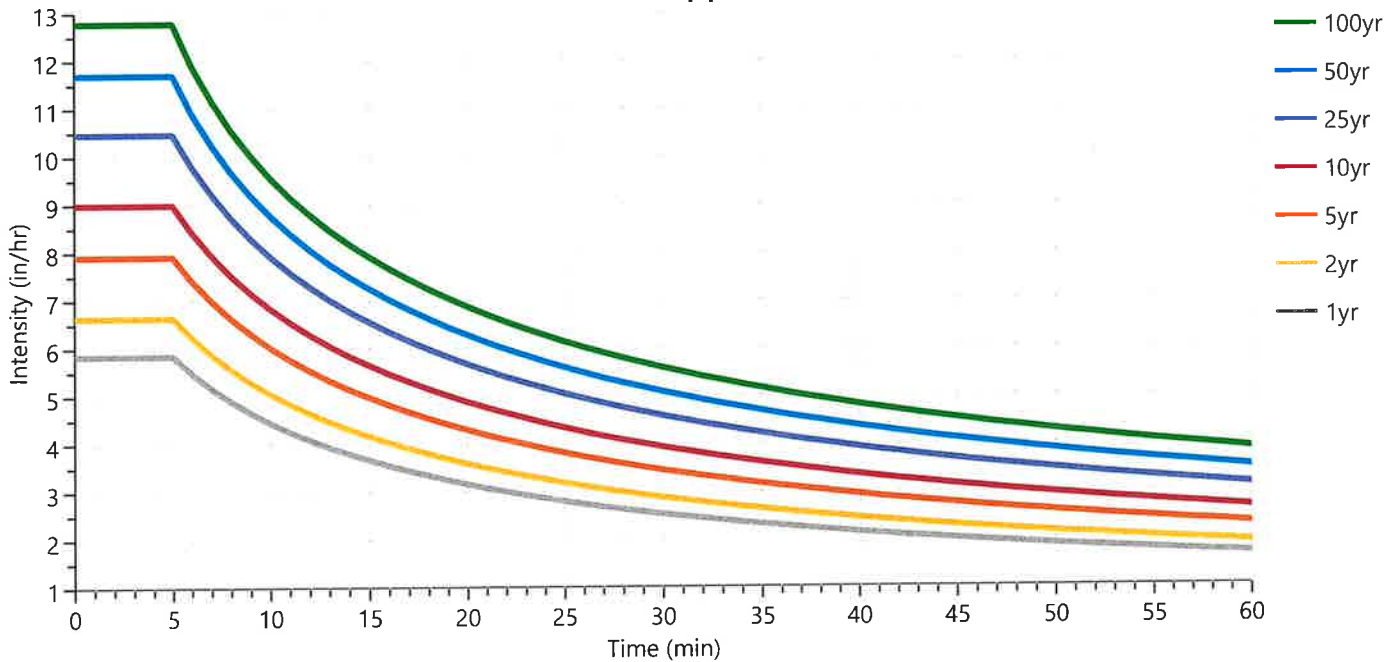
Equation Coefficients	Intensity = B / (Tc + D)^E (in/hr)								
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
B	26.0235	28.5705	0.0000	33.1705	35.3629	37.4541	37.9551	38.6689	
D	4.7000	4.5000	0.0000	4.4000	4.0000	3.4000	2.7000	2.3000	
E	0.6572	0.6480	0.0000	0.6397	0.6230	0.5989	0.5767	0.5571	

Minimum Tc = 5 minutes

Tc (min)	Intensity Values (in/hr)								
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
Cf	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
5	5.85	6.64	0	7.91	9.00	10.47	11.70	12.78	
10	4.45	5.05	0	6.02	6.83	7.91	8.76	9.55	
15	3.67	4.17	0	4.98	5.65	6.55	7.24	7.90	
20	3.16	3.60	0	4.30	4.88	5.67	6.27	6.86	
25	2.80	3.19	0	3.81	4.34	5.05	5.59	6.13	
30	2.53	2.88	0	3.45	3.93	4.58	5.08	5.58	
35	2.32	2.64	0	3.16	3.61	4.21	4.68	5.15	
40	2.14	2.44	0	2.93	3.35	3.92	4.36	4.80	
45	2.00	2.28	0	2.74	3.13	3.67	4.09	4.51	
50	1.88	2.14	0	2.57	2.95	3.46	3.86	4.27	
55	1.77	2.02	0	2.43	2.79	3.28	3.66	4.05	
60	1.68	1.92	0	2.31	2.65	3.12	3.49	3.87	

Cf = Correction Factor applied to Rational Method runoff coefficient.

Mississippi, USA



Precipitation Report

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
Active			✓		✓	✓	✓	✓	✓
SCS Storms	> SCS Dimensionless Storms								
SCS 6hr		1.20	1.50	0	1.86	2.18	2.64	3.01	3.41
Type I, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type IA, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type II, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type II FL, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type III, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Synthetic Storms	> IDF-Based Synthetic Storms								
1-hr		1.68	1.92	0	2.31	2.65	3.12	3.49	3.87
2-hr		2.18	2.51	0	3.03	3.51	4.19	4.74	5.32
3-hr		2.53	2.92	0	3.54	4.12	4.95	5.65	6.38
6-hr	✓	3.24	3.75	0	4.57	5.38	6.58	7.61	8.71
12-hr		4.12	4.81	0	5.89	7.02	8.71	10.23	11.86
24-hr		5.24	6.15	0	7.58	9.13	11.52	13.73	16.13
Huff Distribution	> 1st Quartile (0 to 6 hrs)								
1-hr		0.76	0.98	0	1.33	1.61	2.01	2.34	2.69
2-hr		0.89	1.14	0	1.50	1.80	2.24	2.60	2.99
3-hr		0.98	1.24	0	1.59	1.90	2.33	2.68	3.07
6-hr		1.20	1.50	0	1.86	2.18	2.64	3.01	3.41
Huff Distribution	> 2nd Quartile (>6 to 12 hrs)								
8-hr		0	0	0	0	0	0	0	0
12-hr		0	0	0	0	0	0	0	0
Huff Distribution	> 3rd Quartile (>12 to 24 hrs)								
18-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
Custom Storms	> Custom Storm Distributions								
My Custom Storm 1		0	0	0	0	0	0	0	0
My Custom Storm 2		0	0	0	0	0	0	0	0
My Custom Storm 3		0	0	0	0	0	0	0	0
My Custom Storm 4		0	0	0	0	0	0	0	0
My Custom Storm 5		0	0	0	0	0	0	0	0
My Custom Storm 6		0	0	0	0	0	0	0	0
My Custom Storm 7		0	0	0	0	0	0	0	0
My Custom Storm 8		0	0	0	0	0	0	0	0
My Custom Storm 9		0	0	0	0	0	0	0	0
My Custom Storm 10		0	0	0	0	0	0	0	0

Precipitation Report Cont'd

Precipitation filename: Jackson

Section 8, ID)

Rainfall totals in inches

05-05-2024

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
Active			✓		✓	✓	✓	✓	✓
Huff Indiana	> Indianapolis								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
Huff Indiana	> Evansville								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
Huff Indiana	> Fort Wayne								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
Huff Indiana	> South Bend								
30-min		0.99	1.19	0	1.44	1.63	1.89	2.08	2.28
1-hr		1.21	1.46	0	1.81	2.08	2.45	2.75	3.06
2-hr		1.46	1.77	0	2.22	2.57	3.05	3.44	3.85
3-hr		1.57	1.90	0	2.38	2.76	3.30	3.75	4.21
6-hr		1.92	2.31	0	2.88	3.36	4.01	4.56	5.13
12-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0

Precipitation Report Cont'd

Precipitation filename: Jackson

Section 8, ID)

Rainfall totals in Inches

05-05-2024

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
Active			✓		✓	✓	✓	✓	✓
NRCS Storms	> NRCS Dimensionless Storms								
NRCS MSE3, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE4, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE3, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE4, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE5, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCS MSE6, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-A, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-B, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-C, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NOAA-D, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-A, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-B, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-C, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
NRCC-D, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-1, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-2, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-3, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-4, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-5, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
CA-6, 24-hr		2.72	3.27	0	4.07	4.72	5.63	6.37	7.15
FDOT Storms	> Florida DOT Storms								
FDOT, 1-hr		0	2.14	2.36	2.58	2.92	3.35	3.66	3.95
FDOT, 2-hr		0	2.70	3.00	3.26	3.69	4.24	4.64	5.00
FDOT, 4-hr		0	3.28	3.76	4.00	4.80	5.50	6.20	6.80
FDOT, 8-hr		0	3.76	4.32	4.80	5.60	6.20	7.20	8.00
FDOT, 24-hr		0	4.28	4.75	5.21	6.11	7.53	8.78	10.20
FDOT, 72-hr		0	5.44	6.10	6.74	7.98	9.92	11.60	13.40
SFWMD, 72-hr		0	5.44	6.10	6.74	7.98	9.92	11.60	13.40
Austin Storms	> Austin Frequency Storms								
Austin Zone 1, 24-hr		0	4.14	0	5.51	6.84	8.90	10.69	12.80
Austin Zone 2, 24-hr		0	4.06	0	5.38	6.65	8.59	10.28	12.23



CITY OF GLUCKSTADT

MISSISSIPPI
PLANNING AND ZONING ADMINISTRATOR

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: William Hall, Planning and Zoning Administrator

DATE: 06/27/2024

SUBJECT: Amendment to Adopted 2018 IPMC

The following are recommended amendments for the adopted 2018 International Property Maintenance Code (IPMC).

Section 302.4 reads as follows:

302.4 Weeds.

Premises and exterior property shall be maintained free from weeds or plant growth in excess of twelve (12) inches. Noxious weeds shall be prohibited. Weeds shall be defined as all grasses, annual plants and vegetation, other than trees or shrubs provided; however, this term shall not include cultivated flowers and gardens.

Upon failure of the owner or agent having charge of a property to cut and destroy weeds after service of a notice of violation, they shall be subject to prosecution in accordance with Section 106.3 and as prescribed by the authority having jurisdiction. Upon failure to comply with the notice of violation, any duly authorized employee of the jurisdiction or contractor hired by the jurisdiction shall be authorized to enter upon the property in violation and cut and destroy the weeds growing thereon, and the costs of such removal shall be paid by the owner or agent responsible for the property.

Proposed subsections in addition to 302.4 as adopted:

302.4.1 Vegetation located beyond fifty feet (50') from the back of the road right of way on a lot over one acre that is in a natural state shall be exempt from the requirements of this section.

302.4.2 Vegetation located on an unimproved, cleared lot shall be maintained to prohibit vegetation over thirty-six (36) inches in height.

Add the following subsection to 302:

302.10 Maintenance of Right-of-Way. It is the responsibility of the property owner, of both residential and developed commercial properties, to keep any alley or adjoining street right of way that abuts the owner's property mowed and free of trash and debris including edging, weed eating, and excess clipping removal up to back of curb or edge of asphalt.



CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: Chris Buckner, Public Works Director

DATE: 2/8/2024

SUBJECT: Public Works General Update

Public Works would like to give a general update as to what the department has been working on:

- Yandell Rd and Weisenberger Rd street lighting has been installed.
- We have sent our activation packet to MDOT for Gluckstadt Rd and Calhoun Station Parkway Grants.
- We have received our second park concept drawing. See attached.
- Curb and gutter will be being replaced in Red Oak Subdivision by Bulldog Construction mid-July. ADCAMP should begin paving immediately after Bulldog has finished.
- FY25 Term Bids will be opening on July 23rd and we will be looking to award bids at the next Board of Alderman meeting August.

If you have any questions or concerns, please contact me.

CONCEPTUAL MASTER PLAN STUDY

Gluckstadt Park



Madison Premier Preschool & Afterschool

Callaway's Yard & Garden Center

Rick's Pro Truck

Suggested Amenities

- Shade Structures
- Restrooms
- Benches
- Picnic Tables
- Native Plant Material
- Concrete Walking Path
- Nature Trails
- Playgrounds (fenced)
- Splashpad
- Pavilion with Stage
- Security Cameras

Scale: 1" = 60'



This master plan has been prepared for the purpose of illustrating the general concept of the development. The Developer reserves the right to alter or revise the uses and locations illustrated on this plan without notice. All measurements and acreages shown are approximate.





CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: Chris Buckner, Public Works Director

DATE: 6/28/2024

SUBJECT: Request for Approval of Subdivision Regulations Amendment

Public Works has been updating our Subdivision Regulations which affect the construction and design standards to which commercial and residential subdivisions, developments, and properties are required to meet. Majority of the changes we have made are to clarify and expand on text that was already within the regulations but could be difficult to explain at times, such as:

- Cleaned up text concerning the requirement of curb and gutter alongside roads being developed.
- Cleaned up text concerning the requirement of roadside sidewalks being installed for new developments.

Other highlights to what's being changed is:

- Requiring all developments to have a plat for the proposed development and not allowing parcels within the development to be sold off or changed by process of metes and bounds.
- Changing our Plat Procedures to mirror what the Zoning Ordinance now requires. Construction Plans are now a "step 2" after the approval of a Preliminary Plat instead of having a whole set turned in with the Preliminary Plat.
- Expanding on certain conditions within the Final Plat approval such as letters of credit.
- Construction of new open ditches in new commercial and residential subdivisions, developments, and properties are not permitted.
- Added language requiring developments that significantly impact drainage downstream to pay a prorated cost to the City for any upgrades that would be necessary.
- Added Subdivision Development Permit to Exhibits.

If you have any questions or concerns, please contact me.

PREAMBLE

ORDINANCE NO. 2022-7

AN ORDINANCE REQUIRING SUBDIVISION PLATS AND ADOPTING
SUBDIVISION REGULATIONS FOR THE CITY OF GLUCKSTADT, MISSISSIPPI, AND
PROVIDING FOR THE ADMINISTRATION AND ENFORCEMENT THEREOF.

WHEREAS, the statutes of the State of Mississippi, Sections 17-1-23 and 17-1-25 of
the Mississippi Code of 1972, empower the City to enact subdivision regulations and to provide
for their administration, enforcement, and amendment; and

WHEREAS the Mayor and Board of Aldermen deem it necessary, for the purpose of
promoting the health, safety, and general welfare of the City, to enact such a regulation; and

WHEREAS, the Mayor and Board of Aldermen have prepared such regulations designed
to set forth certain procedures, standards of design and specifications to be followed in the
development or redevelopment of land subdivisions in the City of Gluckstadt to assure that
development of the City is orderly, helpful, efficient, and economical; therefore,

BE IT ORDAINED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY
OF GLUCKSTADT, MISSISSIPPI: That the following Subdivision Regulations and Standards
of Design and Specifications for Subdivisions one hereby adopted as an official Ordinance of the
City of Gluckstadt, Mississippi.



603. Penalties

603.01 Any person, firm, entity, or corporation using an approved and unrecorded plat in the sale of subdivided land or violating any of the terms or provisions of these subdivision regulations shall be guilty of a misdemeanor, and, upon conviction, may be punished by a fine of not more than One Thousand Dollars (\$1000.00) and not more than 90 days confinement in the county jail. Each violation and each day of failure to comply with the provisions of these regulations shall constitute a separate violation.

604. Amendments

604.01 The Board may from time to time adopt amendments that will tend to increase the effectiveness of these subdivision regulations. The subdivision regulations may be revised or amended by the Board as required by law.

605. Validity

605.01 If for any reason any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be held invalid, it shall not affect the remaining provisions of this, or any ordinance of the City, to which these rules and regulations relate.

606. Repealer

606.01 All ordinances or parts of ordinances in conflict with this ordinance or inconsistent with the provisions of this ordinance, are hereby repealed to the extent necessary to give this ordinance full force and effect.

607. Effective Date

607.01 This ordinance shall take effect on ~~the~~ force ~~thirty (30) days fi-om and after~~ its passage. Adopted on the 13/ day of _____, 20"Z-2-

ATTEST:

c'imtw
City of Gluckstadt, Mississippi

AA}qltii
Mayor, City of Gluckstadt, Mississippi



SUBDIVISION REGULATIONS
City of Gluckstadt

PREAMBLE

ORDINANCE NO. 2022-7

AN ORDINANCE REQUIRING SUBDIVISION PLATS AND ADOPTING
SUBDIVISION REGULATIONS FOR THE CITY OF GLUCKSTADT, MISSISSIPPI, AND
PROVIDING FOR THE ADMINISTRATION AND ENFORCEMENT THEREOF.

WHEREAS, the statutes of the State of Mississippi, Sections 17-1-23 and 17-1-25 of the Mississippi Code of 1972, empower the City to enact subdivision regulations and to provide for their administration, enforcement, and amendment; and

WHEREAS the Mayor and Board of Aldermen deem it necessary, for the purpose of promoting the health, safety, and general welfare of the City, to enact such a regulation; and

WHEREAS, the Mayor and Board of Aldermen have prepared such regulations designed to set forth certain procedures, standards of design and specifications to be followed in the development or redevelopment of land subdivisions in the City of Gluckstadt to assure that development of the City is orderly, helpful, efficient, and economical; therefore,

BE IT ORDAINED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF GLUCKSTADT, MISSISSIPPI: That the following Subdivision Regulations and Standards of Design and Specifications for Subdivisions one hereby adopted as an official Ordinance of the City of Gluckstadt, Mississippi.

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EXHIBIT

“A” 36

ARTICLE II
GENERAL

200. Title

200.01 These regulations shall be known as the “City of Gluckstadt Subdivision Regulations” and shall govern all development within its jurisdiction and may be so cited.

201. Purpose

201.01 These regulations have as their purpose and are designed to:

201.01-01 Establish procedures governing the filing and approval of land subdivision plats and data in the City of Gluckstadt.

201.01-02 Establish minimum standards governing streets, utilities, and other required improvements as well as compliance with zoning ordinance.

201.01-03 Establish minimum standards governing the preparation and filing of land subdivision plats and data to be submitted to the City for approval.

201.01-04 Ensure the proper coordination of future streets and their development with existing or planned streets.

201.01-05 Fix penalties for the violation of the provisions of these regulations.

201.01-06 Provide that the City may vary these regulations in certain cases or under certain conditions.

202. Scope

202.01 It shall be unlawful for any person or entity to lay out, subdivide, re-subdivide, plat, or re-plat any land into lots, blocks, or streets, or to sell property therein, ~~for residential purposes,~~ which has not been subdivided, re-subdivided, platted, or re-platted according to this regulation.

~~202.02 All land subdivision shall require a plat to be filed with the Public Works Department and approved by the Mayor and Board of Aldermen, and no permits shall be issued for the construction of buildings, unless all applicable terms and conditions of these subdivision regulations have been met.~~

~~202.01~~

~~Notwithstanding the provisions of this ordinance to the contrary, commercial, industrial or public or semi-public property may elect to subdivide property by metes and bounds without necessity of platting in accordance with the following procedures:~~

- ~~1. When an election is made to subdivide by metes and bounds without a plat, a site plan sufficient to meet all requirements now existing or as may be adopted, shall be submitted for Architectural Review along with a~~

~~landscaping plan and a plan showing all reserved easements and rights-of-way protecting access to the remaining property.~~

~~2. The applicant shall also submit a plan depicting all exterior building elevations, a material board and a color rendering with all exterior colors shown.~~

~~3. The Director of Community Development shall ensure that the overall goals, objectives, specifications and purposes of this ordinance are fully met.~~

202.02 The Mayor and Board of Aldermen will withhold improvements of any nature whatsoever, including the acceptance and maintenance of streets and the connection of water or sewerage facilities, until a plat of the subdivision has been approved by the Mayor and Board of Aldermen and lawfully recorded in the Chancery Clerk’s office. Lots shall not be sold nor any plat recorded until such plat has been approved as required herein.

202.03 All land subdivision of two (2) or more lots or parcels, any one of which has an area less than two (2) acres, either by plat or metes and bounds description, for the purpose of transfer of ownership or building development, or regardless of size when the dedication or vacation of any street, road, or alley is involved, shall require a plat to be filed with and approved by the Mayor and Board of Aldermen.

203. Exceptions from the Regulations

203.01. General

The following types or classes of land improvement or boundary modifications are excluded from compliance with these regulations. The provision for and granting of the following specified exceptions shall in no way be construed as conferring to any excepted tract of land any special privilege that is denied by this ordinance to other lands similarly situated within this jurisdiction.

203.02 Land in Agricultural Use

The division of land into tracts of two acres or more for bona-fide agricultural purposes is hereby excluded from these regulations provided such division of land does not require or involve the construction of a public street, road or highway.

203.3 Property Line Adjustment

The transfer of land between adjacent property owners and involving minor property line adjustment is hereby excluded from the provisions of these regulations provided no additional building site is created by the property line adjustment. All adjustments of a property line are required to comply with the City of Gluckstadt Zoning Ordinance and Building Codes.

203.4 Cemeteries

The interior layout of cemeteries is hereby excluded from these regulations, but the layout of the boundaries of the cemetery and the boundary lines of any street joining or entering a public thoroughfare shall comply with these regulations.

204. Definitions

204.01 For the purpose of interpreting this regulation, the following definitions shall be used. The work “shall” be mandatory and not discretionary.

204.01-01 Alley: A minor way used primarily for vehicular service to the rear or side of properties otherwise abutting on a street.

204.01-02 Arterial Street – A street or roadway which is used principally for fast or heavy traffic movement and forms a part of the primary street and highway system. A street which carries traffic from collector and local streets.

204.01-03 Board: The Mayor and Board of Aldermen of the City of Gluckstadt.

204.01-04 Building Line: The distance from a property line from which buildings must be set back from the street or road right-of-way line on which the property abuts. In the case of private streets there shall be an assumed property line starting at the edge of the curb or street whichever is further.

204.01-05 City Engineer: The Public Works Director or his designated representative.

204.01-06 City Consulting Engineer: The designated City Consulting Engineer(s).

204.01-07 City Consulting Architect: The designated City Consulting Architect(s).

204.01-08 City Consulting Landscape Architect: The designated City Consulting Landscape Architect (s).

204.01-09 Collector Street: A street having a primary function of collecting and distributing traffic between local streets or areas and the major street or highway network.

204.01-10 Conditional: Granted or made on provisions set forth in a resolution or ordinance.

204.01-11 Cul-de-Sac: A short minor street having but one vehicular access to another street and terminated with a vehicular turnaround, and not intended to be extended in the future.

204.01-12 Lot: Any parcel of land having an area of less than two (2) acres.

204.01-13 Minor or Local Street: A street having a primary function of providing service and access to abutting properties and not designated or intended to carry large traffic volumes but having sufficient width for occasional parking.

204.01-14 100-Year Flood: The highest level of flooding that, on ~~the~~ averageaverage, is likely to occur once every one hundred (100) years.

204.01-15 Planning and Zoning Board: The duly appointed City of Gluckstadt Planning and Zoning Board. In the event such appointed Planning and Zoning Board is not functioning, then the Mayor and Board of Aldermen shall be considered the Planning and Zoning Board.

204.01-16 Construction Plans: All drawings, including cross-sections, profiles, working details, and specifications, which the developer prepares for the purpose

of showing the type, character, extent, and details of the improvements required under these regulations.

204.0 1-17 Re-subdivision: The re-subdivision of any part or all of any block or blocks of a previously platted subdivision, addition, lot, or tract.

204.0 1-18 Street: A right-of-way for vehicular traffic, whether designated a street, highway, thoroughfare, parkway, thruway, road, avenue, boulevard, place, or however otherwise designated.

204.01-19 Developer: Any person, owner, agent, or entity having control of any land within the City of Gluckstadt and proposing to develop or subdivide such land into lots.

204.01-20 Subdivision: Any division of any tract or parcel of land in two (2) or more lots or parcels any of which has an area of less than two (2) acres, for the purpose, whether immediate or future, of sale or building development. It also includes re-subdivision or re-platting of land, lots or tracts. Division of land into parcels of two (2) acres or more shall not be included within this definition, unless any such division of two (2) acres or more includes the planning or development of a new street or access easement.

204.01-21 Preliminary Plat: All drawings which fulfill the intent of Article III, 302.02

204.01-22 Final Plat: All drawings which fulfill the intent of Article III, 303.

204.01-23 Record or As-Built Drawings: All drawings as defined under Construction Plan which may have been modified to show the actual field construction details or changes.

ARTICLE III
PLAT PROCEDURES

300. Pre-application Conference

A pre-application conference may be held with the developer prior to preparation of the preliminary plat. The purpose of this conference is to afford the developer an opportunity to avail himself of the advice and assistance of the Public Works and Community Development Departments before preparation of the preliminary plat and before formal application for its approval.

In the pre-application conference, the developer shall provide general information on the type of subdivision proposed. This information shall include data on existing zoning, land characteristics, and available community facilities and utilities. It shall also include information describing the subdivision proposal, such as number of residential lots; typical lot width and depth; business areas; playgrounds, park areas, and other public areas; proposed protective covenants; and proposed utilities and street improvements. In the pre-application conference, it shall be determined if the land is to be developed at one time or on a phased basis.

The developer shall also consult with other parties potentially interested in the development, such as the Mississippi State Department of Health and the Mississippi Department of Environmental Quality, regarding the suitability of the location of the proposed subdivision, the most advantageous subdivision plan, the arrangement of streets and lots, and the types of water and sewer systems to be installed.

301 Procedure for Approval of Preliminary Plats (s)

Upon reaching conclusions regarding the general program and objectives, the developer may begin preparation of the required preliminary plat (s), ~~together with construction plans for the required improvements specified in Article IV.~~

The Preliminary Plat shall be clearly and legibly drawn at a minimum scale of one inch (1") equals two hundred feet (200'). Minimum sheet size shall be eighteen by twenty-four inches (18" x 24"). If the complete plat cannot be shown on one (1) sheet of this size, it may be shown on more than one (1) sheet with an index map on a separate sheet of the same size. Plats shall be numbered "Sheet 1 of , Sheet 2 of ," etc. Preliminary Plats shall include the following:

~~The preliminary plat shall be at a scale of not less than one (1) inch equals one hundred (100) feet and shall show the following proposed improvements and conditions:~~

- 301.01-01 Title under which proposed subdivision is to be recorded, with names and addresses of owners, notation stating acreage, graphic scale, north arrow (true north), datum, benchmarks, and date of survey.
- 301.01-02 Vicinity map at a scale of approximately one (1) inch equals one thousand (1,000) feet or as appropriate, showing the location of the site for the proposed subdivision.
- 301.01-03 Bearings and distances along boundary and mathematical closure of survey.
- 301.01-04 Location, width, and purpose of easements.
- 301.01-05 Names, right-of-way and roadway widths of streets, and approximate grades and gradients; ~~similar data for alleys, if any.~~
- 301.01-06 Lot lines, and lot numbers.
- 301.01-07 Sites, if any, to be reserved or dedicated for parks, playgrounds, or other uses public or private.
- 301.01-08 Utility line sizes, with approximate invert elevations (where appropriate).
- 301.01-09 Sites, if any, for apartment buildings, shopping centers, churches, industries or other non-public uses exclusive of single-family dwellings.
- 301.01-10 Building setback lines.
- 301.01-11 Contours based on mean sea level shall be shown with a two (2) foot interval when slope is less than four (4) percent and with five (5) foot intervals for slopes over four (4) percent; and spot elevations along canals or ditches and at any breaks in grade or changes in elevation not readily discernible from the contours shall be shown.
- 301.01-12 Watercourses, marshes, flood areas, wooded areas, houses, and other significant features.
- 301.01-13 Any proposed protective covenants.
- 301.01-14 ~~The location, widths, direction/traffic flow and names of all major existing, proposed and/or platted streets and other public ways within and/or adjacent to the tract, railroad right-of-way and other important features, such as section lines, political subdivisions and corporation lines;~~
- ~~301.01-15~~ All pages must be signed and sealed by a design professional registered to practice in the State of Mississippi.
- 301.01-16 ~~The location of all monuments;~~
- 301.01-17 ~~Indicate all flood plains and floodways within and adjoining the proposed development by lot if plat contains different zones. Plat shall reflect site topography with two foot (2') contour intervals National Geodetic Vertical Datum (NGVD). Plat shall reflect the 100-year flood plain limits and the location of the floodway and other requirements for subdivision development in the flood prevention ordinance; establish Finished Floor Elevation (FFE) in floodways;~~

301.01-18 Preliminary plat shall include conceptual compliance requirements of stormwater detention ordinance, erosion control ordinance, landscape ordinance, Storm Water Pollution Prevention Plan (SWPPP) and the zoning ordinance;

301.01-19 Where required, a road widening easement and width shall be shown;

301.01-20 Location of construction entrances for all phases (where required) and placement of construction traffic signs shown;

301.01-21 Minimum square footage of Residences/Buildings (heated and cooled).

301.01-22 Show proposed drainage of all lots with direction arrows

~~302.02-~~

302 Procedure for Approval of Construction Plans

~~Construction plans for required improvements as specified in Article IV shall be submitted for review and approval by the Public Works Director.~~

~~302.02-01 The improvements specified herein shall be designed by and constructed under the inspection of a registered professional engineer, registered to practice in Mississippi.~~

~~302.02-02 In order to obtain approval for the construction of improvements in a subdivision, the developer shall submit construction plans showing the types of improvements contemplated. Said plans shall be submitted and approved by the Public Works Director before construction is begun in the subdivision unless otherwise approved by the Public Works Director. The construction plans shall be prepared on sheets twenty four (24) by thirty six (36) inches and shall consist of a combination plan and profile for each street and a typical cross-section of~~

~~the proposed grading, drainage, base course, and pavement. Detailed plans shall be submitted for the water and sanitary sewer systems and for culverts, drainage structures, and bridges. The plan and profile sheets (streets and sanitary sewers) shall be drawn to a horizontal scale designated by the Public Works Director and referenced to State Plane Coordinates.~~

~~302.3 Four (4) copies of the preliminary plat, for required improvements specified in Article IV shall be submitted initially to the Planning and Zoning Board with a letter requesting approval. This data shall be submitted at least fifteen (15) days prior to the Planning and Zoning Board meeting at which it is to be considered. Failure of the Planning and Zoning Board to review an application within sixty (60) days after submission to the City Clerk shall permit the applicant to submit the application directly to the Board. Two copies of the construction plans shall be submitted to the Public Works Department for review and approval.~~

~~302.4 Following a review of the preliminary plat construction plans and other material submitted for conformity to these regulations and following negotiations with the developer on changes deemed advisable and the type of improvements to be made in the proposed subdivision, the Community Development and Public Works Departments, respectively, shall express informally their approval or disapproval and state of conditions. The Community Development Department shall maintain a project file of departmental comments.~~

~~302.5 The Planning and Zoning Boards decision concerning the Preliminary Plat can be appealed to the Board within 3 working days of the Planning & Zoning Board action. The preliminary plat approval can be extended for one additional year per request by action of the Planning & Zoning Board. A total of two one-year extensions can be granted by the Planning & Zoning Board.~~

~~302.6 Approval of the preliminary plat shall not constitute approval of the final plat, nor shall the preliminary plat be recorded in the Chancery Clerk's office. Approval of the preliminary plat by the Board shall not constitute authorization for the developer to proceed with construction of the subdivision until written certification from the Mississippi State Department of Health and the Mississippi Department of Environmental Quality that the proposed systems are in conformance with all applicable laws and regulations is furnished to the Board. Construction of all required improvements is subject to inspection and approval by the Public Works Director and other appropriate officials or agencies which have a lawful interest in the development. All construction shall be done in conformance with the approved preliminary plat and construction plans. The Community Development Department with the concurrence of the Public Works Department shall issue a permit to start work once all of the required approvals have been granted and all required fees have been paid. A permit card shall be~~

~~posted on the subject property that is visible to the street. Failure to obtain and post the permit is a violation of this ordinance.~~

After approval by the Mayor and Board of Aldermen of the preliminary plat, three (3) sets of construction plans and specifications shall be submitted to the Public Works Director for preliminary review. All construction plans must be approved before any work starts.

Upon receiving preliminary review comments from the Public Works Director and City Engineer, the Developer or his Engineer shall resubmit the corrected set of plans and specifications to the Public Works Director and the City Engineer along with approval letters from all regulatory agencies. All engineering plans and specifications for extensions or modifications to water or sewer systems must be approved by the Mississippi State Department of Health (MSDH) or the Mississippi Department of Environmental Quality (DEQ) prior to beginning construction.

When final review has been completed, all corrections made and all approval letters received, the Public Works Director will advise the Developer or his Engineer in writing of his plan's acceptance.

Prior to any improvements being made, the Developer must complete a "SUBDIVISION DEVELOPMENT PERMIT" (see exhibit #1) issued by the Public Works Director, as well as any other permits required by other governing entities.

Construction pursuant to the approved construction plans must commence within sixty (60) days of construction plan approval. The developer must maintain steady progress. If the City of Gluckstadt determines that the developer is not making steady and acceptable progress the governing authority may, after fifteen (15) days written notice to the developer, revoke all prior approvals for any portion thereof.

303. Final Plat

The final plat shall conform substantially to the preliminary plat as approved; and if desired by the developer, it may constitute only that portion of the approved preliminary plat which he proposes to record and develop at the time; provided, however, that such portion conforms to all requirements of these regulations. One (1) copy of the final plat or plats shall be provided on good muslin-backed paper, (KP5), eighteen (18) by twenty-four (24) inches, and four (4) copies of the final plat shall be provided on mylar sheets accompanied by an index sheet showing the entire subdivision. A digital copy of the plat is required in a format as specified by the

Department of Community Development in order to integrate the plat into the Geographic Information System. The final plat shall be prepared at a scale of one (1) inch equals two hundred (~~100~~200) feet and shall contain the following information:

303.01-01 Primary control points, approved by the City Engineer, or descriptions and “Ties” to such control points to which all dimensions, angles, half section lines with ties to lot corners shall be shown.

303.01-02 Tract boundary lines, right-of-way lines of streets and easements, and property lines of residential lots and other sites. Sufficient data shall be shown, accurate dimensions, bearings, deflection angles and radii, arcs, and central angles of all curves to determine readily and reproduce on the ground any lines on the map.

303.01-03 Name and width of each street or other right-of-way.

303.01-04 Location, dimension, and purpose of any easements.

303.01-05 Number to identify each lot or site.

303.01-06 Purpose for which sites, other than residential lots, are dedicated or reserved, and any areas subject to flooding by a one hundred (100) year frequency flood shall be clearly identified and delineated. The floodway shall also be shown.

303.03-07 Building setback line on all lots and other sites.

303.01-08 Location and description of boundary monuments.

303.01-09 Title, graphic scale, north arrow (true north), and date.

303.01-10 Any proposed protective covenants in the form for recording.

303.01-11 A metes and bounds description of the subdivision boundary.

303.01-12 Certificates, Acknowledgments and Evidence of Approval.

Evidence of the formal approvals as required by the Subdivision Regulations other acknowledgments, certificates and statements required on the Record Plat shall be worded and prepared in substantial accordance with the following formats:

303.01-13

CERTIFICATES OF PERFORMANCE

SURVEYOR'S CERTIFICATE
STATE OF MISSISSIPPI
COUNTY OF MADISON

I, _____ (Civil Engineer) (Land Surveyor) do hereby certify that I have subdivided and platted the following described land being situated in the _____ of the _____ of _____, Section _____, Township _____ Range _____, City of Gluckstadt, Madison County, Mississippi, and being more particularly described as follows:

Beginning at the (Enter legal description of outer boundary here) to the point of beginning.

WITNESS MY SIGNATURE on this the ____ day of _____, 20__

Registration Number _____

(Land Surveyor) (Civil Engineer)

303.01-14

OWNER'S CERTIFICATE OF OWNERSHIP AND DEDICATION
STATE OF MISSISSIPPI
COUNTY OF MADISON

(I)(We) hereby certify that (I am) (We are) the Owners (s) of the property shown on the Plat and described in the Certificate of _____, the (Civil Engineer) (Land Surveyor) appearing hereon; have caused same to be subdivided and platted as shown; and the property is all (or a part of) that tract as recorded in Deed Book _____, Page _____, in the office of the Chancery Clerk of Madison County, Mississippi; and that (I) (We) hereby adopt this plan of subdivision with (My) (Our) free consent, and dedicate all streets, alleys, walks, parks and other open spaces to public use or to private use as noted.

WITNESS MY SIGNATURE on this the ____ Day of _____, 20__

Owner

Proprietor

303.01-15

(SURVEYOR’S) (ENGINEER’S) CERTIFICATE OF COMPLIANCE WITH
SUBDIVISION REGULATIONS
STATE OF MISSISSIPPI
COUNTY OF MADISON

I hereby certify that the monuments and markers shown hereon are in place on the ground and the plan and plat shown and described hereon area true and correct representation of a survey to the accuracy designated in the Subdivision Regulations for the City of Gluckstadt, Madison County, Mississippi.

WITNESS MY SIGNATURE on the ____ day of _____, 20__

REGISTERED (ENGINEER)
(SURVEYOR)

303.01-16

ACKNOWLEDGMENT OF SIGNATURES
STATE OF MISSISSIPPI
CITY OF GLUCKSTADT)
COUNTY OF MADISON

Personally appeared before me the undersigned authority in and for the jurisdiction aforesaid, the within named _____, _____ who acknowledges to me that he executed the foregoing instrument as Owner, and who acknowledged to me that he executed same as (Engineer) or (Land Surveyor), for the purpose therein contained.

Witness my hand and official seal of office on this the ____ day of _____, 20__

My Commission Expires:

NOTARY PUBLIC

303.01-17

CITY PLANNING AND ~~ENGINEER'S~~PUBLIC
WORKS DIRECTOR'S APPROVAL STATE OF
MISSISSIPPI
CITY OF GLUCKSTADT
COUNTY OF MADISON

We have examined this plat and find that it conforms to all conditions set forth on the preliminary plat as approved by the Mayor and Board of Aldermen and thus recommend final approval.

Zoning and Planning
Planning and Zoning Administrator
Board

~~Chairman, City Planning and Zoning~~
Public Works Director

303.01-18

CITY APPROVAL CERTIFICATE
STATE OF MISSISSIPPI
CITY OF GLUCKSTADT
COUNTY OF MADISON

I hereby certify that this is a true copy and that this plat was approved by the Mayor and Board of Aldermen in session on the _____ day of _____, 20____

ATTEST:

CITY CLERK
CITY OF GLUCKSTADT

MAYOR
CITY OF GLUCKSTADT

~~One (1) original KP5 and four (4) mylar copies of the final plat shall be prepared and submitted to the Board and the Public Works Director within one (1) year after approval of the preliminary plat unless an extension (s) has been granted by the Planning & Zoning Board. A digital copy shall be provided as specified by the Department of Community Development.~~

It shall be the duty of the Public Works Director And Planning and Zoning Administrator to examine the final plat to be certain that it conforms to existing streets, drainage, and utility systems and that all conditions set forth on the preliminary plat have been satisfied.

The final plat shall not be approved by the Board until the developer has done ~~one (1) of~~ the following:

303.04-01 Actually completed construction and passed inspection by Public Works Department and Community Development Department of all improvements as required in Article IV and as approved on the preliminary plat; or

303.04-02 Given to the ~~B~~board a performance bond, or certified check, letter of credit, or establish an escrow account in an amount equal to ~~21.5~~ times the total estimated cost of installation of the required improvements, as determined by the Public Works, ~~and Community Development Directors after inspection by the Public Works Department and Community Development Department.~~ A bond or certified check, or letter of credit must be annually renewed by the developer at the discretion of the City. The bond, check or letter of credit shall be for the asphalt wearing surface and/or other items approved by the Public Works Director subject to the condition that the improvements will be completed within one year after approval of the final plat. Performance bond, certified check or letter of credit shall be required on all streets, public or private.

~~303.5 At the time of dedication of the streets, roads, and utility systems to the City, the developer shall submit to the Board a title certificate to the land being subdivided.~~

~~303.06 Upon approval of the final plat by the Board, an endorsement shall be made thereon by the Mayor and attested by the City Clerk indicating approval together with the date of the approval by the Board. One (1) original mylar copy of the final plat shall be returned to the developer; one (1) KP5 exact duplicate and one (1) original mylar of the final plat shall be filed with the Chancery Clerk; one (1) mylar copies shall be retained by the Community Development Director; one (1) mylar copy shall be returned to the Engineer/Surveyor. A digital copy shall be provided as specified to the Community Development Director.~~

Following review by the Mayor and Board of Aldermen a notation of the action taken by the City shall be made on the original and three (3) copies of the final plat, including a statement of the reasons thereof if the final plat is disapproved. Upon approval of the final plat, the subdivider shall have the plat and protective covenants duly recorded in the Office of the Chancery Clerk of Madison County as required by law. No owner or agent of the owner of any land located in a subdivision as defined by these Regulations shall transfer or sell such land before a plat of such subdivision has been duly approved and recorded in the Office of the Chancery Clerk of Madison County, Mississippi.

Following the recording of the final plat, two (2) copies of the final plat with all certificates required shall be provided by the subdivider for the records of the Public Works Director. The plat cabinet number, slot number and page numbers where the plat and protective covenants are recorded shall be shown on the copies of the final plat and protective covenants furnished to the Public Works Director.

ARTICLE IV
REQUIRED IMPROVEMENTS AND DESIGN STANDARDS

400. Subdivision Improvements

400.01 In consideration of the acceptance by the City and assumption of the responsibility for maintaining the dedicated streets and utilities constructed therein, developers of the subdivision shall cause to be constructed, at no expense to the City, the following improvements according to the specifications set forth hereinafter.

400.01.01 Cost of survey and plat, prepared by a professional land surveyor registered in the State of Mississippi;

400.01.02 Cost of testing laboratory subgrade soil profile for structural design of streets, pavement and in-place material testing;

400.01.03 Cost of establishing grades prescribed by the City for streets, alleys and sidewalks;

400.01.04 Cost of construction of sanitary sewer facilities within and into the subdivision;

400.01.05 Cost of construction of water facilities within and into the subdivision;

400.01.06 Cost of construction of curb and gutter;

400.01.07 Cost of street paving for the subdivision, street warning signs and name signs;

400.01.08 Cost of preparation of all maps on and all reviews and approvals by applicable regulatory agencies for all above improvements. These maps and plans shall be prepared by a professional Engineer registered in the State of Mississippi;

400.01.09 All costs for plan review and inspections;

400.01.10 Cost of underground power and street light service;

400.01.11 Cost of underground telephone service, cable television, gas or other City franchise services.

400.01

400.02 All services for utilities shall be made available for each lot in such manner as will eliminate disturbing the street pavement and drainage structures when connections are made.

400.03 Upon completion of construction of any such utilities or improvements, three (3) sets of “Record Drawings or As-Builts” (one shall be mylar reproducible set), dated, signed, and certified by the Engineer in charge, shall be filed with the Public Works Director showing all features as actually installed, including materials, size, location, depth or elevation, numbers, ends of lines, connections, wyes, valves, storm sewer drains, inlets, and all other pertinent information; all gate valves shall be referenced by two (2) point reference; all water and sewer services shall be noted on the “Record or As-Built Drawings” and located by two reference points and a distance from each reference point. Services may also be marked on the curb; however, reference points shall also be provided on the “Record Drawings or As-Builts”. A digital copy of “Record Drawing” is required as specified by the Public Works Director.

401. Streets

401.01 The Public Works Director and Planning and Zoning Board shall review the street system for the proposed subdivision and shall classify all proposed streets in one of the following categories:

401.01-01 Collector: Streets that carry traffic from local streets to arterial streets or highways, including the principal entrance streets of the Subdivision.

401.01-02 Local: Streets that are used primarily for access to abutting properties.

401.02

401.03 Street right-of-way widths shall be as follows:

<u>Type of Street</u>	<u>Minimum Right-of-Way Width</u>
Arterial	100 feet
Collector	60 feet
Local	50 feet

401.04 Minimum sight distance shall be as follows:

<u>Type of Street</u>	<u>Minimum Stopping Sight Distance</u>
Arterial	400 feet
Collector	300 feet
Local	200 feet

401.05 Traffic Calming

Street layout will be designed in such a way as to keep travel speeds at a minimum. Developers are to use traffic calming measures such as, but not limited to; discontinuous streets, curves, islands, medians, round-a-bouts, speed tables, etc. to ensure that speeds are kept low.

Prior to the installation of the final surface course, if there are verified speeding problems the developers shall be required to install additional traffic calming measures at no expense to the City of Gluckstadt.

401.06 The arrangement of streets in a subdivision shall either provide for the continuation of existing streets in surrounding areas; or conform to a plan for the neighborhood as a whole that has been devised to meet an unusual situation such as topography or other conditions that make continuation of existing streets impractical. Residential streets shall be laid out so that their use by through traffic will be discouraged. Where a proposed subdivision abuts or contains an existing or proposed arterial or collector street, the Mayor and Board of Alderman may require that the streets and/or lots be designed in such a way as to provide adequate protection of residential properties. Such a neighborhood plan shall be prepared by the developer and is subject to approval by the Board.

401.07 No trees or shrubs taller than twenty-four (24) inches will be permitted to be planted at street intersection; however, controlled planting of shrubs and trees on public property, provided that plantings do not interfere with proper drainage and maintenance or obstruct vision required for public safety, may be permitted.

401.08 Street jogs with centerline offsets of less than one hundred twenty-five (125) feet shall be avoided.

401.09 Reverse curves shall be avoided when possible. Should it become absolutely necessary to utilize a reverse curve, a tangent of at least one hundred feet (100') shall be introduced between curves

~~401.10 A tangent of at least one hundred (100) feet shall be introduced between reverse curves on collector streets. Horizontal curves on collector streets shall have a minimum of a four hundred (400) foot radius computed from the center line. Horizontal curves on local streets shall have a minimum of a two hundred (200) foot radius computed from the centerline.~~

~~401.11~~401.10 Streets shall be laid out so as to intersect as nearly as possible at right angles, and no street shall intersect any other street at less than seventy-five (75) degrees.

401.10 Property lines at street intersections shall be rounded with a radius of ten (10) feet or with a greater radius or angled when the Public Works Director deems it necessary. The Public Works Director may require comparable cutoffs or chords in place of rounded corners. A comparable chord shall be considered a chord or line connecting the points of tangency of the radius it is replacing.

401.11 Half-streets shall be prohibited, except in such cases where there exists a half-street contiguous thereto. Wherever a half-street is adjacent to a tract to be subdivided, the other half of the street shall be platted within such tract.

401.12 Permanent dead-end streets shall not be longer than five hundred (500) feet and shall be provided at the closed end with a turnaround having a paved surface diameter of at least eighty (80) feet and a street property line diameter of at least one hundred (100) feet.

401.13 Street names shall not be used which will duplicate or be confused with the names of existing streets. Street names shall be subject to the approval of the Board and the Madison County Emergency 911 Coordinator.

402. Monuments

402.01 Monuments shall be placed at all corners or changes in alignment along the boundary of the subdivision and at all block corners, angle points, or curves in street right-of-way boundary lines. These monuments shall consist of a four (4) inch by four (4) inch concrete post not less than thirty (3) inches in length and reinforced with a single one-half (1/2) inch steel rod in the center that extends not less than one-fourth (1/4) inch above the top of the concrete.

402.02 Markers shall be placed at all corners or changes in alignment in lot boundaries. The markers shall consist of a reinforcing rod of not less than one-half (1/2) inch in diameter and not less than twenty-four (24) inches in length.

402.03 All monuments or markers shall be set with the top thereof flush with the finished grade. Where necessary to prevent disturbance, the monument shall be buried underground and referenced to permanent landmarks.

403. Easements

403.01 Easements across lots or centered on rear or side lot lines shall be provided for utilities where necessary and shall be at least fifteen (15) feet wide at ground level, or a width designated by the Public Works Director.

403.02 Where easements intersect or sharp changes in alignment are necessary, corners shall be cut off sufficiently to permit equipment access as determined by the Public Works Director.

403.03 Permanent buildings, paving, planting, or fences will not be permitted in easements without Board approval.

403.04 Any overhanging limbs, shrubbery, or vegetation of any kind may be removed from within the limits of easements at the sole discretion of the maintenance personnel of the utilities installed or to be installed in or above the easements.

403.05 Where a subdivision is traversed by a watercourse, drainage way, channel, or stream, there shall be provided a storm water easement or drainage easement conforming substantially with the lines of such watercourse or an accepted canal or drainage course, and any further width of construction as will be adequate for drainage purposes.

404. Blocks

404.01 The lengths, widths, and shapes of blocks shall be determined with due regard to:

404.01-01 Building sites that are suitable for the special needs of the uses contemplated.

404.01-02 Convenient access, circulation, control, and safety of street traffic.

404.01-03 Limitation and opportunities of topography.

404.02 As a usual practice, block lengths shall not exceed eighteen hundred (1,800) feet or be less than four hundred (400) feet.

405. Alleys

405.01 Alleys may be provided in commercial or industrial subdivisions. All alleys will be considered private and are to be maintained by developer, property owner, or HOA.

405.02 The right-of-way width of an alley in commercial and industrial areas shall be a minimum of twenty-five (25) feet.

405.03 Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be cut off sufficiently to permit safe vehicular movement and sight distance.

405.04 Dead-end alleys shall be avoided where possible, but if unavoidable, shall be provided with a turnaround having an outside roadway diameter of at least eighty (80) feet and a right-of-way diameter of at least one hundred (100) feet. The Public Works Director may recommend to the Board a larger turnaround when it

is determined necessary to provide adequate turnaround space.

405.05 Alleys may be provided in residential areas. All alleys will be considered private and are to be maintained by developer, property owner, or HOA.

406. Lots

406.01 All subdivisions shall be surveyed and laid out in such a manner that each and every lot intended for sale shall abut a dedicated public street or road.

406.02 Lot sizes and dimensions shall conform with the Zoning Ordinance.

407. Floodplain Areas

407.01 Land subject to flooding with a frequency of a one hundred (100) year flood shall not be subdivided unless precautionary measures are taken to eliminate or minimize flood hazards. All building finished floor elevations shall be raised to an elevation one (1) foot above the one hundred (100) year flood elevation in accordance with the latest FEMA map for the area or calculated for the area in which the proposed subdivision is situated.

Provided, however, that no fill shall be made, or any subdivision constructed, which will increase flood hazards to other lands, or in any manner impede or restrict the flow of water in a flood situation. All areas which will remain subject to flooding after the subdivision is constructed shall be delineated on the final plat.

407.02 All utilities and facilities, such as water, sewer, gas, and electrical systems, shall be located, elevated, and constructed to eliminate or minimize flood damage; and adequate drainage shall be provided so as to reduce exposure to flood hazards.

407.03

408. Water System

408.01 Water main design and construction shall be as set out in the Bear Creek Water Association Standards of Design and Specifications as well as any State and Federal requirements.

408.02 In the event that oversize water mains shall be installed within the proposed subdivision to serve other areas, appropriate arrangements for construction must be made between the developer and the Bear Creek Water Association prior to installation.

409. Sanitary Sewers

409.01 Sanitary sewerage facilities shall be provided in all subdivisions and shall

conform to all applicable Federal and State laws pertaining to sewage collection and treatment as well as the Bear Creek Water Association Standards of Design and Specifications.

409.02 In the event that oversize sewer mains shall be installed within the proposed subdivision to serve other areas, appropriate arrangements for construction must be made between the developer and the Bear Creek Water Association prior to installation.

410. Storm Drainage

410.01 Design, materials and construction shall conform to the City of Gluckstadt Standards of Design and Specifications for subdivisions.

410.02 Adequate protection of invert slopes shall be provided to prevent erosion.

411. General Grading

411.01 Grading and centerline gradients shall be in accordance with plans and profiles approved by the City Engineer.

411.02 Areas to be graded by cutting or filling shall be rough graded to within two-tenths (0.2) of a foot of the accepted elevation after necessary allowance has been made for the thickness of topsoil, paved areas, and other installations.

411.03 Final cross sections and profiles of streets and other installations shall conform to grades approved by the City Engineer. Elevations shall be based on mean sea level.

411.04 All timber, logs, trees, brush, biodegradable matter, and other rubbish shall be removed or otherwise disposed of in accordance with the rules and regulations of the Mississippi Department of Environmental Quality so as to leave areas that have been disturbed with a neat and finished appearance.

412. Erosion and Sediment Control

412.01 Installation of the above improvements shall be done in such a manner as to provide for the most effective control of erosion and sediment. All erosion control measures shall be in accordance with the State and Federal requirements. Practical combinations of the following technical principles shall be used:

412.01-01 The smallest practical area of land shall be exposed at any one-time during development.

412.01-02 When land is exposed during development, the exposure shall be kept to the shortest practical period of time.

412.01-03 Temporary vegetation and/or mulching shall be used to protect

critical areas exposed during development.

412.01-04 Sediment basins (debris basins, desilting basins, or silt traps) shall be installed and maintained to remove sediment from runoff waters from land undergoing development.

412.01-05 Provisions shall be made to effectively accommodate the runoff caused by changed soil conditions during and after development.

412.01-06 Permanent final vegetation and structures shall be installed as soon as practical in the development.

412.01-07 The development plan shall be fitted to the topography and soils so as to create the least possible erosion.

412.01-08 Whenever feasible, natural vegetation shall be retained and protected.

413. Stormwater Detention Facilities

413.01 This design standard shall apply to any residential development of five acres or more or any nonresidential development of one acre or more. This ordinance shall also apply to any residential development of less than five acres or any nonresidential development of less than three acres but having 50% or greater impervious surface.

Rate of run-off shall be determined at each point where run-off leaves the property being developed in its pre-development state. The stormwater management system shall be designed so that the peak flow rate at any exit point in the post-developed conditions shall be less than or equal to the peak flow rate for that exit point in the pre-developed condition for the 2-year, 10-year, 25-year, and 100-year 24-hour storms.

The increased stormwater runoff resulting from the proposed development shall be detained by retention or detention facilities, or by other means subject to the approval of the City Engineer.

Retention or detention facilities shall be designed with sufficient capacity to accommodate all runoff caused by the development in excess of that runoff which would occur from the site if left in its natural, undeveloped condition. This storage shall be sufficient to control the excess runoff for the 2-year, 10-year, 25-year, and 100-year storms (24-hour duration).

It is the responsibility of the developer to ensure that the stormwater runoff from the proposed development shall not increase channel instability downstream or change the timing of the 100-year peak flow so as to increase flood damages to existing developments or property. In determining downstream effects from storm water management structures and the development, hydrologic-hydraulic engineering studies shall extend downstream to a point where the proposed development represents less than ten percent of the total watershed draining to that point.

If detention storage is provided within the 100-year floodplain, NO storage volume for the facility may be considered below the base flood elevation established for that floodplain. Retention/detention facilities may NOT be located in a regulatory floodway.

Drainage systems shall have adequate capacity to pass the existing flow from all upstream areas through the development.

Should the City determine that the proposed development significantly impacts the existing upstream or down- stream stormwater drainage system and requires the capacity of the City's stormwater drainage system to be increased in any way, the City shall estimate the total cost of same including any city costs for engineering. This total cost shall be prorated by the percentage of increased drainage used by the developer's proposed subdivision.

Should the developer agree to payment of such cost to the City, the Building Official & Public Works Department will recommend the stormwater drainage system during the review and approval process.

Should the developer disagree; these figures will be submitted to the Planning and Zoning Board for review and recommendation to the Mayor and Board for their decision as to:

- a. If the developer should be required to pay any fee;
- b. The amount of the fee that should be paid to the city to offset the impact of such city drainage;

413.02 The following information and data shall be furnished with the plans of each proposed residential, commercial and industrial development. This information and data must be prepared and certified by a licensed professional engineer registered in the State of Mississippi:

A topographic map with (as a minimum) two-foot interval contours of the land to be subdivided and such adjoining land whose topography may affect the layout or drainage of the subdivision. On such a map, the following shall be shown:

- 413.02.01 The banks and centerline of streams and channels.
- 413.02.02 The normal shoreline of lakes, ponds, and retention/detention basins, and lines of inflow and outflow.
- 413.02.03 The location, size and slope of stormwater conduits and drainage swales.
- 413.02.04 Storm, sanitary and combined sewers and outfalls of record.
- 413.02.05 Delineation of upstream and downstream drainage features and watersheds which might be affected by the development.
- 413.02.06 Base flood (100-year) elevations and regulatory floodways which have been identified for the property.
- 413.02.07 Environmental features including the limits of wetlands areas and any designated natural areas.

A comprehensive drainage plan designed to safely and completely handle the stormwater

runoff and to detain increased stormwater runoff. This plan shall provide and be accompanied by maps and/or other descriptive material showing the following:

- i. The extent and area of each watershed tributary to the drainage channels in the development.
- ii. The storm sewers and other storm drains to be built, the basis of their design, the outfall and outlet locations and elevations, receiving stream or channel and its high-water elevation and the functioning of the drains during high water conditions.
- iii. Existing streams and floodplains to be maintained and new channels to be constructed including their locations, cross-sections and profiles.
- iv. Proposed culverts and bridges to be built including their materials, elevations, waterway openings and basis of design.
- v. Existing retention/detention facilities to be maintained, enlarged or altered and new facilities to be built including their design.
- vi. The estimated location and percentage of impervious surfaces existing and expected to be constructed when the development is completed.
- vii. The slope, type, and size of all sewers and other waterways
- viii. Any proposed environmental enhancement or mitigation features.
- ix. Retention/detention basins to be built including a plot or tabulation of storage volumes with corresponding water surface elevations and of the basin outflow rates for those water surface elevations.
- x. For all retention/detention basins, design hydrographs of inflow and outflow for the 100-year peak flows from the site under natural and developed conditions.
- xi. Landscaping plan for retention/detention facility.
- xii. One or more typical cross-sections of all existing and proposed channels or other open drainage facilities, showing the elevation of the existing land and the proposed changes thereto, together with the high-water elevations expected from stormwater runoffs under the controlled conditions called for by this design standard, and the relationship of structures, street and other utilities.

413.03 Detention Basins: A detention basin is a surface water run-off storage facility which is designed to hold runoff temporarily during and immediately after a runoff event. This includes but is not limited to swales with crosswise earthen berms, constructed or natural surface depressions, subsurface tanks, pipes or reservoirs. Detention basins will conform to the following standards:

413.03.01 The volume of storage provided in these basins, together with such storage as may be authorized in other detention facilities, shall be sufficient to control the excess runoff from the 2-year, 10-year, 25 year, and 100-year storm of 24-hour duration.

413.03.02 The maximum planned depth of stormwater stored shall not exceed five feet unless natural ground conditions lend themselves to greater depths.

413.03.03 The side slopes of the basin shall conform as closely as possible to

natural land contours. Re-grading is preferable if necessary to keep the slopes under ten percent. Erosion control measures shall be provided as well as devices or measures to ensure public safety.

413.03.04 Outlet control structures shall be designed as simply as possible and shall operate automatically. They will be designed to limit discharges into existing or planned downstream channels or conduits so as not to exceed predetermined safe capacities and not in excess of flows which would have occurred with the land in its natural, undeveloped condition. If necessary, velocity dissipation measures shall be employed to ensure that the discharge does not increase downstream erosion.

413.03.05 Emergency spillways should be constructed in cut sections whenever possible. In the event that a ramp spillway is required by site conditions, this spillway must be paved using either concrete or riprap from the beginning of the control section to at least five feet past the downstream toe of the dam. The emergency spillway must be designed to pass the 100 -year/24-hour storm.

413.03.06 Detention facilities shall, where possible, use natural topography and natural vegetation. In lieu of this, these facilities shall have planted trees and vegetation such as shrubs and permanent ground cover on their borders. In no case should trees or deep-rooted vegetation be planted in the levee itself. This requirement does not supersede the Landscape Ordinance of the City of Gluckstadt.

413.03.07 The Mayor and Board of Aldermen of the City of Gluckstadt may elect to require the facility to be enclosed by fencing. The Mayor and Board of Aldermen will approve the type, size and appearance of fencing.

413.04 Retention Basins: Basins designed with permanent pools shall conform to the standards for detention basins as specified in paragraph c. unless modified or amended as follows:

413.04.01 The minimum normal depth of the permanent pool shall be four feet.

413.04.02 For emergency purposes, cleaning or shoreline maintenance, facilities shall be provided, or plans prepared for the use of auxiliary equipment to permit emptying and drainage.

413.04.03 Aeration facilities may be required, dependent on the quality of the influent and detention time.

413.04.04 The side slopes shall be of non-erosive material with a slope of 3:1 or flatter. The ledge shall be four to six feet wide three feet below normal water depth and sloped gently toward the shore to prevent people or objects from sliding into deep water. Alternate designs for side slopes may be considered under special circumstances where good engineering practice is demonstrated.

413.04.05 All retention basins shall have a minimum freeboard of 18 inches above the high-water elevation of the routed 100-year/24-hour storm event.

413.04.06 Adequate area for sediment storage shall be provided in all retention basins. Sediment removal should be required no more than annually.

413.05 The developer shall be responsible for the maintenance of all improvements until such time as 80 percent of the lots have been improved with buildings and Occupancy permits issued or until such time as 80 percent of the lots in the development have been sold. However, the developer shall not transfer these improvements for the purpose of maintenance until he has complied with the above and until he has received final approval, final inspection, and a Certificate of Compliance from the City Engineer.

All improvements, including landscaping, shall be maintained in perpetuity and cannot be developed for any other use which would limit or cause to limit the use of the improvements. The improvements shall be owned and/or maintained by the Property Owner's Association of the development. Each property owner shall own a proportionate share of the improvements and shall bear his proportionate responsibility for the continued maintenance in accordance with the above.

Each property owner shall, within the contents of his deed, be liable for the combined maintenance of the improvements. A special note to this effect shall appear on any final plat of subdivision or any plat of condominium and their declarations.

The Property Owners' Association shall be formed in perpetuity for the maintenance of the improvements. Membership shall be mandatory by all property owners. Articles of agreement of the Property Owner's Association must be approved by the Board of Alderman of the City of Gluckstadt before recording.

In subdivisions consisting of five single-family residential lots or fewer, the provision of a Property Owners' Association may be waived, provided that other parts of this Section have been met.

When problems arise due to inadequate maintenance, the City Engineer of the City of Gluckstadt may inspect the improvements and compel the correction of the problem by written notice. In the case of failure of a facility, the Property Owners' Association may contract with the City of Gluckstadt for the correction of the problem, provided the City is adequately reimbursed.

413.06 Whenever drainage facilities are planned to service several projects or a specific area deemed necessary by the City of Gluckstadt, the City may elect to accept the drainage facilities by dedication to the City. When these projects are of a regional nature, the City of Gluckstadt will maintain these facilities. In these cases, access easements shall be provided to the city.

413.07 The City Engineer shall inspect all drainage facilities while under construction. When facilities are not constructed according to approved plans, the City of Gluckstadt has the explicit authority to compel compliance and have any situations corrected which are not according to the approved plans. All drainage facilities located on private property, whether dedicated to the City or not, shall be accessible at all times for inspection by the City Engineer or other responsible public official.

413.08 The requirement for onsite retention/detention facilities may be waived by the City of Gluckstadt if it is determined that a development project is too small, or if engineering, aesthetic or economic factors make a combined or regional facility more practical for construction by the city. In this case, the City of Gluckstadt shall require a fee and/or dedication of land from the developer, which the city shall use to construct the regional facility. This fee and/or dedication of land shall be based on the proportionate share for the development in its completely developed state of the present costs of constructing the regional facility.

ARTICLE V

REQUIRED IMPROVEMENTS AND STANDARDS OF PERFORMANCE

500. General Requirements

All grading, drainage, street construction, utility installation and other installation and construction must be accomplished by the developer in accordance with the requirements listed herein and the City of Gluckstadt Standards of Design and Specifications, a copy of which is attached hereto and is incorporated herein as an official ordinance of the City of Gluckstadt, Mississippi as if fully copied herein.

All improvements and installations to be dedicated to the City for maintenance shall be constructed from materials meeting or exceeding the requirements of the specifications on file with the Public Works Director and to the standards of construction contemplated by these regulations and outlined herein and in the Standards of Design and Specifications.

501. Site Improvement, Grading and Drainage

All unsightly topographic features will be rounded, leveled, filled or otherwise graded to a pleasant appearance in a configuration commensurate with the overall development.

All trash and debris and other unsightly material will be removed from all premises located within the outer boundary of the tract of land being subdivided and/or developed. Erosion will be prevented, and sediment controlled by the planting of grass and shrubbery or by other remedial procedures.

All building sites and lands immediately adjacent thereto, streets and other surfaces shall be graded and shaped in a manner that will cause storm water and snow melt to drain away from buildings and away from the subdivision in a natural water course or in a man-made channel acceptable to all parties involved.

The developer must provide for the discharge from the area of all storm water entering the subdivision from lands upstream in the storm water basin as well as for all rain water falling on the lands being subdivided, and will be required to obtain the written consent of all affected abutters of downstream water courses in those instances where downstream storm discharge is through widened, improved and/or relocated channels. For those drainage basins with an adopted Stormwater Management Plan, the plan shall be used to design stormwater management facilities. Drainage plans shall conform to Article IV of these regulations.

502. Street Construction

All streets shall be laid out and located in general accord with the pattern, grade section and routing depicted in the comprehensive plan adopted or to be adopted by the Board. Street construction shall comply with the construction minimums listed in the City of Gluckstadt Standards of Design and Specifications.

503. Water Distribution System

A means of delivering potable water from an approved water supply to each lot in a developed subdivision or to each residential unit in planned unit development at times of peak demand shall begin at the nearest existing water main and terminate with a suitable valve at the front lot (street) line of each lot or at the building wall or other proper location in planned unit development.

Water mains shall be correlated with and connected into the water distribution system in a manner commensurate with future needs, must comply with the requirements imposed by the Mississippi State Department of Health, and consumers shall not be connected to the system through recently constructed facilities until a clear or negative sample report has been obtained from the Mississippi State Department of Health.

504. Wastewater Collection and Disposal System

A system of sewers and appurtenances shall be provided for the collection of wastewaters from each lot or other contributing unit with subsequent transport of the wastewater to a place of treatment and/or disposal away from the area being developed.

All sewer mains and appurtenances shall be correlated with and connected into the sewage collection and transport system in a manner commensurate with future need including those of upstream properties and shall be installed in accordance with the Bear Creek Water Association Standards of Design and Specifications and written approval of the plans by the Mississippi Department of Environmental Quality and/or the Mississippi State Department of Health, or both as appropriate.

505. Other Utilities and Miscellaneous Requirements

All other utilities including street lighting shall be installed as directed in the franchise granted to the company providing the service and in accordance with the latest published edition of the appropriate industry recognized publications using design parameters recognized as suitable for central Mississippi.

An accurate map showing the exact location of both underground and above ground facilities shall be furnished to the City prior to formal acceptance of the record plat.

Street name signs and traffic signs must be provided at all street intersections and at such other locations as necessary to identify and locate the address of individual premises. The sign shall be identical to the standard street name signs for the Bear Creek Water Association unless otherwise approved by the Public Works Director.

505.01 Electric Service and Street Lighting

A minimum of one (1) streetlight shall be provided for each eight (8) lots and at each street intersection. The lights along the street shall be 150-watt high pressure sodium or an approved substitute with photoelectric cell for automatic operation. The lights at the intersection of arterial streets and arterial streets and collector streets shall be 250-watt high pressure sodium or an approved substitute with photoelectric cell for

automatic operation. The poles shall be pre-cast concrete or an approved substitute. Steel utility poles are an approved substitute for pre-cast concrete utility poles, subject to review and approval by the Planning and Zoning Administrator.

All installation of conduit and wiring shall be underground. The electrical junction boxes and streetlights shall be located as near as possible to the lot lines. Junction boxes shall be installed flush with the surrounding ground.

No transformer or pedestal shall be set in front of or within five (5) feet of a fire hydrant. Underground wiring and poles shall be located along front lot lines within the street right-of-way where possible. Underground wiring shall not be installed in the same trench with water or sewer utilities. Minimum horizontal and vertical clearances of two (2) feet and one (1) foot respectively shall be required, unless prior approval is obtained from the Planning and Zoning Administrator. All trenches shall be properly filled, leveled and re-leveled as required to maintain the natural slope. Any property corner survey markers destroyed by the electrical utility or its contractor during construction of the underground electrical service shall be reestablished by the electric utility at no cost to the owner, developer, or City.

505.01-01 Utility Services

All services for utilities shall be made available for each lot in such a manner that it will not be necessary to disturb the street pavement, curb, gutter, and drainage structure when connections are made. All services shall terminate at or near the lot line unless approved otherwise by the Bear Creek Water Association.

505.01-02 Trenching or Boring

No trenching or boring pits shall be allowed within two (2) feet of the back of curb. Under no circumstances should any trench or boring pit be left open overnight without notifying the Bear Creek Water Association Public Works Department. Any trench or pit left open shall be properly flagged or marked.

505.01-03 Easements

Utility and/or drainage easements of an appropriate width as required shall be provided with fifteen (15) feet being a minimum.

Where easements intersect or sharp changes in alignment are necessary, corners shall be tapered sufficiently to permit equipment access, subject to the approval of the Bear Creek Water Association.

No buildings or structures are permitted in utility easements or road rights-of-way.

506. Supervision of Development

All installation and construction shall be observed by a registered professional engineer or his designated representative and/or a representative of the City, and a record made of the phase of development observed, whether such development complies with these regulations, and the date of the observation. In the case of a subdivision or other development accepted upon recommendation of a registered professional engineer employed by the owner or the developer, the engineer shall submit to the City, under his professional seal, a certificate to

the effect that the subdivision has been developed in substantial accordance with these regulations, with any and all exceptions noted thereon.

507. Warranty in Lieu of Completion

Any subdivision and/or development of lands subject to the requirements of this ordinance shall be subdivided and fully completed in accordance with the regulations and standards included herein prior to its adoption and/or acceptance by the Board.

The Board may, however, at their discretion, accept a partially developed subdivision or tract of land if the owner or developer or another proprietor thereof shall provide such bond or other warranty in lieu of completion as may be determined necessary by the Board.

ARTICLE VI
MISCELLANEOUS

600. Fees

600.01 Preliminary Plat Filing Fee At the time of filing an application for preliminary plat the developer shall pay to the City Clerk a filing fee of One Hundred Dollars (\$100.00).

600.02 Final Plat Filing Fee At the time of filing an application for final plat approval, the developer shall pay to the Department of Community Development a filing fee of One Hundred Dollars (\$100.00), plus Five Dollars (\$5.00) per lot. For subdivisions with lots larger than one (1) acre, the additional fee shall be One Dollar (\$1.00) per acre for the entire subdivision. No action of the Planning & Zoning Board shall be valid until the fee has been paid to the City Clerk. This fee shall be charged on all plats, regardless of whether the plat is approved or disapproved. There will also be a fee of Fifty Dollars (\$50.00) to record the final plat.

600.03 Inspection Fee When improvements are completed, an inspection shall be requested by the developer and a fee of Two Hundred Dollars (\$200.00) shall be paid at the Department of Community Development for each final approval inspection request. If the work is turned down (not approved) each subsequent inspection will require payment of an additional One Hundred Dollars (\$100.00) fee.

601. One Year Warranty

Prior to the final acceptance by the City of Gluckstadt of the dedicated utilities and streets, a one-year warranty (see Exhibit A) shall be submitted by all prime contractors for their phase of the work and by the owner for all the work performed. [The warranty begins after the final surface of asphalt has been installed.] The City of Gluckstadt does not accept the dedicated streets for maintenance until the final surface of asphalt has been installed.

602. Variances

602.01 Where the Board finds that extraordinary hardships may result from strict compliance with these regulations, they may vary the regulations so that substantial justice may be done and public interest secured, provided that such variance will not have the effect of nullifying the intent and purpose of these regulations.

602.02 In granting variances, the Board may require such conditions that are necessary, in their judgment, to secure substantially the objectives of the standards or requirements so varied or modified.

603. Penalties

603.01 Any person, firm, entity, or corporation using an approved and unrecorded plat in the sale of subdivided land or violating any of the terms or provisions of these subdivision regulations shall be guilty of a misdemeanor, and, upon conviction, may be punished by a fine of not more than One Thousand Dollars (\$1000.00) and not more than 90 days confinement in the county jail. Each violation and each day of failure to comply with the provisions of these regulations shall constitute a separate violation.

604. Amendments

604.01 The Board may from time to time adopt amendments that will tend to increase the effectiveness of these subdivision regulations. The subdivision regulations may be revised or amended by the Board as required by law.

605. Validity

605.01 If for any reason any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be held invalid, it shall not affect the remaining provisions of this, or any ordinance of the City, to which these rules and regulations relate.

606. Repealer

606.01 All ordinances or parts of ordinances in conflict with this ordinance or inconsistent with the provisions of this ordinance, are hereby repealed to the extent necessary to give this ordinance full force and effect.

607. Effective Date

607.01 This ordinance shall take effect and be in force thirty (30) days from and after its passage. Adopted on the _____ day of _____, 20__.

ATTEST:

Mayor, City of Gluckstadt, Mississippi

City Clerk,
City of Gluckstadt, Mississippi

Exhibit "A"

ONE YEAR WARRANTY

_____ SUBDIVISION

All work performed by _____ and consisting generally of _____

_____ is hereby guaranteed by the undersigned against defects resulting from the use of inferior materials, equipment or workmanship for one year from date of final completion and acceptance by the City of Gluckstadt, Mississippi or when the final surface of asphalt has been installed, whichever is later. If, in the opinion of the City Engineer for the City of Gluckstadt, Mississippi, the materials, equipment and/or construction fail to serve the purpose for which they are installed, the undersigned agrees to repair or replace the said defective parts or workmanship to the complete satisfaction of the City Engineer for the City of Gluckstadt, Mississippi and without cost to the City of Gluckstadt, Mississippi.

Title: _____

Date: _____

Date of Final Acceptance by the City of Gluckstadt, Mississippi.

Date of acceptance of Final Surface of Asphalt

STANDARDS OF DESIGN AND SPECIFICATIONS
FOR SUBDIVISIONS
CITY OF GLUCKSTADT, MISSISSIPPI

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Adopted by the
Mayor and Board of Aldermen
on

STANDARDS OF DESIGN AND SPECIFICATIONS

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STANDARDS OF DESIGN AND SPECIFICATIONS

DESIGN STANDARDS

Gated, private, and/or public developments shall be designed and constructed in accordance with City of Gluckstadt development regulations unless otherwise granted a variance by the Mayor and Board of Alderman. The City reserves the right to refuse the dedication of a private street regardless of a previous variance being granted.

A. FILLING AN GRADING

All swampy or low areas shall be filled and/or drained to prevent ponding of water and nuisances occasioned thereby as well as rounded, leveled and/or otherwise graded to a configuration commensurate with the overall development.

All swales and other areas within twenty-five (25) feet of a building site shall be sloped to a gradient in excess of one (1) foot per one hundred (100) feet with the exception that deep well-defined flat and wide bottomed ditches may be sloped at gradients occasioned by the formulae outlined in the following part section of this resolution. Gradients causing flows of less than three (3) feet per second will not be permitted. Ditches with gradients causing velocities in excess of five (5) feet per second shall be lined with solid sod, concrete or other approved materials. Street grading will be accomplished as outlined in Part Section C of this resolution.

B. STORM SEWERS, CULVERTS AND CHANNELS

All stormwater drainage structures and watercourses including storm sewers, roadway culverts, bridges, cross drains, ditches and open drainage channels shall be designed to carry, as a minimum, the peak quantity of storm water run-off expected during or following a rainfall of an intensity and duration recurring in the locality only once in twenty-five years and anticipating the urbanization of the drainage basin at the end of the next twenty-five (25) years.

For drainage areas less than one square mile (640 acres), the Rational Method (using a minimum value of 0.75 as the run-off coefficient) and Manning's Equation shall be used for sizing the storm water drainage structure or water course. Design of storm drain systems must consider the energy grade line.

For drainage areas greater than one square mile (640 acres), a generally accepted runoff model (such as HEC-1 or TR-20) or U.S.G.S. regression equations for the State of Mississippi shall be used for sizing the stormwater drainage structure or water course.

Storm sewers and culverts shall not be less than fifteen (15) inches in diameter. Storm water drainage systems shall include headwalls, inlets, manholes, rip rap and other appurtenances generally recognized as necessary for the proper functioning of the system. All manholes shall have epoxy coated steps as approved by the Public Works Director.

Storm sewer piping shall be designed for a minimum velocity of three (3) feet per second and a maximum velocity of ten (10) feet per second using Mannings' formula with $N = 0.015$ for concrete pipe; $N = 0.025$ for corrugated metal pipe and $N = 0.035$ for earth channels. Earth channels= velocities shall not exceed five (5) feet per second, unless lining or solid sodding is provided. Final plans shall show drainage areas and capacities of entrance to all structures.

Inlet structures shall be designed with sufficient length and sump to carry the required water and shall be constructed of plastered brick, cmu block, or precast concrete with an approved cast iron casting and cover.

The cover shall provide sufficient opening for cleaning and inspection. The use of Valley gutters to reduce the number of inlets required is not permissible.

Manholes shall be placed at all changes in size alignment and grade except where storm inlets may occur and be used as a manhole.

Storm drainage improvements will consist of adequate pipes, catch basins and curb inlets. Corrugated metal and concrete pipes will not be acceptable. Construction of any new open ditches will not be allowed unless otherwise approved by Public Works Department. Only existing natural drains that already run through the development may be reutilized in the overall subdivision drainage plan unless a special variance is granted by the Mayor and Board after review and findings by the Public Works Department. In no case shall ditches be permitted without the prior approval of the ~~Building Official~~ Public Works Department. However, swales on property lines to get stormwater to the street, or in approved cases to the rear of property, may be used to a limited extent. The length of a swale shall not exceed three hundred (300) feet unless approved by the Public Works Department. Maintenance of swales shall not be the responsibility of the City of Gluckstadt. Natural and existing ditches and canals shall have sufficient side slopes to provide for mowing and maintenance.

Where driveway culverts are required the drainage area calculated and each culvert shall be sized for the proper capacity. An alternative to this would be sizing all driveway culverts in a block equal to that size required for the largest (downstream) culvert in the block.

C. STREETS

The recommendations, standards, criteria and parameters of design listed in the latest published edition of A Policy on Arterial Highways in Urban Areas and Standard Specifications for Highway Bridges and Culverts, as distributed by the American Association for State Highway Officials shall apply to the geometrics, routing and safety features of street design and construction unless such recommendation, standard, criteria or parameter is in conflict with these regulations or any comprehensive plan adopted or to be adopted by the City of Gluckstadt.

Streets shall be constructed with a bituminous surfacing covering a clay gravel, stabilized sand clay, soil cement or asphalt stabilized base of a thickness adequate to support the contemplated vehicular loading on the type of soil comprising the subgrade. The base shall be supported by a compact natural earth, or an embankment compacted to the prescribed density and placed upon a subgrade free of debris and other objectionable materials. All streets shall be completely free of sections or isolated locations of earth with weak supporting characteristics.

A steel reinforced cement concrete pavement of adequate thickness may be used in lieu of the base and bituminous surfacing described above.

D. CURB AN GUTTER

Surface drainage of streets shall have approved concrete curb and gutter, except where not required on major arterial streets, with curb inlets, manholes, and underground storm sewers with all exposed drains protected from mud and foreign material.

Reinforced concrete barrier type curb and gutter shall be used to support the edge of pavements or surfacing on streets abutted by lands in, or designated for, residential and commercial use as well as those locations where the barrier-type curb is required for channelization and control of traffic. A reinforced curb and gutter or raised edge curb shall be used in cut sections where the gradient of the street exceeds four percent (4%).

The requirements listed in the table "Construction Minimums for Streets" are hereby established as the minimum dimensions for the category of street shown; however, the Board reserves the right to establish other and higher standards and criteria of design for any street proposed for maintenance by city forces. Detailed specifications for materials and construction shall ~~be in compliance with~~follow the Paving and Drainage Specifications, City of Gluckstadt, Standards of Design and Specifications.

E. SIDEWALKS

Concrete sidewalks shall be constructed or caused to be constructed in accordance with the City of Gluckstadt's designs requirements. Where sidewalks and roads intersect, the sidewalks will be constructed to meet the requirements of the American Disabilities Act (ADA). Specific ADA design applications should be discussed with the Public Works Director during the design phase of the project. All sidewalks shall be a minimum of four feet (4') in width, 3000 pounds per square inch (psi) and 4-inches thick and shall fall 1/4 inch per foot sloped toward the roadway and have a minimum of two feet (2') grassed or landscaped median area separating the sidewalk and adjacent curb, unless otherwise approved in writing by the Public Works Director. Sidewalks and (2') grassed or landscaped medians shall allow yards to drain to gutter without holding water. Control joints 1/4 slab thickness should occur no greater than 5'-0" off center construction joints with appropriate expansion material at the discontinuation of pours or where abutting existing paving or structures. In the case of existing open ditch streets, the actual location of the sidewalk shall be as directed by the Public Works Director. Sidewalks shall be required on both sides of all local, collector, or arterial streets. All maintenance of sidewalks located within City right-of-way shall be the responsibility of the City of Gluckstadt, its agents or assigns, except in cases where the road or subdivision is privately owned.

CONSTRUCTION MINIMUMS FOR STREETS

Component	Arterial Street	Collector Street	Local Street	Cul-de-Sac
Number of Travel Lanes	4	2	2	2
Width of Travel Lanes	12'	12'	10'	9' (a)
Parking	Opt.	1 Side	1 Side	1 Side
Width of Parking Strip	8' (b)	8'	8'	8'
Radius of Pavement @ Intersection	36'	30'	20'	20'
Width of Sidewalk	Not Req'd 8'	8' 6' (c)	4' (c)	4'
Width of Base	Pavement Width+2'	29'	25'	23'
Curb to Curb, Back-to-Back	Varies/Proj Spec Not Req'd	33' 36'	28' 29'	28' 27'
Width of Shoulder	10'	-	-	-
Fore Slopes	4:1	-	-	-
Back Slopes	3:1	3:1	2:1	2:1
Depth of Ditch (d)	3.0'	-	-	-
Gradient of Roadway (C&G)	0.3%	0.4%	0.4%	0.4%
Gradient of Ditches	0.3%	-	-	-
Type Pavement	Asp. Conc.	Asp. Conc.	Asp. Conc.	Asp. Conc.
Thickness of Pavement	2"	2"	2"	2"
Base Thickness (e)				
Asphalt Stabilized	8"	6"	4"	4"
Clay Gravel	14"	12"	9"	9"
Lime Treated Sub-grade	8"	8"	8"	8"
Slope of Crown	1/4"/ft.	1/4"/ft.	1/4"/ft..	1/4"/ft.
Embankment Compaction	95%	95%	95%	95%
Sub-grade (Top 6 Inches)	95%	95%	95%	95%
Right-of-Way	100'	60'	50'	50'

- (a) If Cul-de-Sac serves more than seven (7) lots, this dimension shall be ten (10) feet.
- (b) Stabilized shoulder may be provided in lieu of Parking Strip.
- (c) Sidewalks shall be required in commercial areas and locations of high pedestrian density such as walks to schools, playgrounds, etc.
- (d) As measured vertically from the shoulder line to the ditch invert.
- (e) See Table 1 Minimum Requirements for Asphalt Pavements

DIVISION 100 - CONCRETE STRUCTURES

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DIVISION 100

DETAILED SPECIFICATIONS – CONCRETE STRUCTURES

101 CONCRETE

101-10 GENERAL The requirements of this section apply to all concrete work, concrete surface treatments, cement finishes, cast-in anchorages, and similar work. Concrete work called for by other sections of these specifications, if not specifically described, otherwise, shall conform to the requirements of this section.

101-10.01 COMPOSITION Concrete shall be composed of fine and coarse aggregates, Portland Cement, water, and such admixtures as may be specified. See table 3 “MASTER PROPORTION TABLE FOR STRUCTURAL CONCRETE DESIGN” of MDOT Special Provision No. 907-804 for information on proportioning concrete mixtures.

Class B	3500 psi for Structures
Class C	3000 psi for Sidewalks, Curbs
Class D	2000 psi Concrete Encasement

All concrete shown in the MDOT table contains air entrainment. Any concrete not exposed to the environment does not require air entrainment. Mix designs submitted shall indicate where the mixture is to be used and whether or not it is an air entrained mix design.

101-20 CONCRETE MATERIALS

101-20.01 CEMENT Cement shall be Type I, Type II, or Type III Portland Cement, the composition, marking, handling, and storage of which shall conform with ASTM C-150. Type III (High Early Strength) cement shall be subject to the approval of the Engineer in each instance for its proposed use. Cement which has become damp, lumpy, or otherwise affected so as to reduce its strength shall not be used in the work. The Contractor shall furnish the City with Certified Mill Test Reports for all cementitious used on the work. The maximum replacement of Portland cement by weight is 25% for fly ash and 50% for ground granulated blast furnace slag.

101-20.02 AGGREGATES Coarse and fine aggregates used in Portland cement concrete must comply with the requirements listed in sections 703.01, 703.02, and 703.03 and of MDOT’s “Mississippi Standard Specifications For Road and Bridge Construction” and ASTM C 33. The mixing water shall comply with the requirements listed in Section 5.1.3 of ASTM C-94 “The Standard Specification for Ready-Mixed Concrete”. Admixtures to enhance strength and workability will be permitted if the Contractor proposes their use, subject to the approval of the City Engineer. All admixtures used shall meet the requirements of ASTM C 494. Water reducing admixtures may be used to increase the

specified slump up to 6 inches with an approved mid- range water reducer or up to 8 inches with an approved type F or G high range water reducer. A mid-range water reducer is classified as a water reducer that reduces the mix water a minimum of 8% when compared to a control mix with no admixtures. Aggregate for cement finish, whether integral or separate topping, shall be clean washed and so graded that no more than five percent will pass through a 10-mesh sieve and no more than fifteen percent will pass a 50-mesh sieve.

101-20.03 MIXING AND PROPORTIONING CONCRETE Concrete shall be produced from a facility that meets the requirements of the National Ready Mixed Concrete Association (NRMCA) Quality Control Manual Section 3 Checklist. Proof of meeting these requirements shall be provided to the Engineer.

If “Ready-Mixed” concrete is used, the mixing and transportation operations shall conform to ASTM C-94. The requirements of Section 11.7 of C-94 shall be followed except; a maximum of 1-½ gallons of water per cubic yard shall be allowed to be added to bring the slump within the required limits.

If dry batched on the job site, the batching plant operations shall be performed in such a manner as to prevent loss, segregation, or contamination of the ingredients. If job proportioned and mixed, the aggregate shall be stockpiled separately and handled in such a manner as to prevent the inclusion of any foreign materials.

Cement shall be stored in a watertight building with the floor raised off the ground. Except for emergency hand mixing under approved conditions, all concrete shall be machine-mixed in an approved type of mixer for a minimum period of 1.5 minutes in a drum rotating at a peripheral speed of about 200 feet per minute.

Aggregates shall be proportioned by weight unless the Engineer approves a satisfactory volumetric method of measurement. The use of fractional sacks of cement will not be permitted unless the cement is proportioned by weight.

The technician proportioning the mix shall use the absolute volume method described in ACI’s Committee 211 “Standard Practice for Selecting Proportions for Normal, Heavyweight and Mass Concrete (ACI 211.1)”. The technician shall perform all services necessary for the design of mix and redesign where changes are made in the aggregates or in the plasticity or workability of the concrete. An individual meeting the requirements of MDOT QC/QA Concrete Technician Class 3 or equivalent shall design all concrete mixes.

Sampling and testing fresh concrete shall comply with the requirements listed in Section 16 of C-94. All technicians testing concrete in the field shall be certified as an ACI Concrete Field-Testing Technician Grade 1.

The testing laboratory shall submit a report on each strength test. These reports shall show all of the data customarily listed by the laboratory in reporting on such strength tests. One (1) copy of these reports shall be given to the City Engineer

and one (1) copy to the ready-mix producer. All strength tests shall be the average of at least two cylinders.

102 CONSTRUCTION

102-10.01 FORMS Forms for concrete work shall be so constructed that the finished concrete will conform to the shapes, lines, grades, and dimensions indicated on the drawings. Materials used in these forms for exposed surfaces shall be dressed to a uniform thickness and shall be free of defects. Joints in forms shall be horizontal or vertical, unless otherwise specified. Lumber once used in forms, or used lumber, shall be cleaned and satisfactorily reconditioned. Where concrete surfaces are exposed on the exterior or interior of walls or other surfaces are to be plastered, the use of large surface form material such as ¾” plywood or Masonite concrete form boards will be required. Undersides of exposed concrete slabs shall be a true plane.

Forms shall be sufficiently tight to prevent the leakage of mortar. They shall be properly shored, braced, and otherwise supported so as to maintain the desired position and shape during and after placing concrete. Exposed concrete shall have form marks rubbed down, having a smooth surface and finished as hereinafter specified.

Internal metal ties shall be so arranged that when the forms are removed, no metal shall be within one inch of any surface. Reinforcing steel shall have a minimum concrete cover as specified in Section 7.7 of ACI 318 “Building Code Requirements for Structural Concrete.”

Bottoms of earth forms for beams shall be level; the sides shall be even and clean, and unless otherwise shown, shall be vertical. The inside of forms shall be coated with a non-staining mineral oil or other approved material. Oil shall be applied before the reinforcement is placed.

A one-inch chamfer strip shall be placed at all exterior exposed corners and where shown on plans.

Temporary openings shall be provided at the base of column and wall forms and at other points where necessary to facilitate cleaning and inspection immediately before depositing concrete.

The removal of forms shall be subject to the Engineer’s approval and shall not be started until the concrete has attained the necessary strength to support its own weight and any construction live loads.

102-10.02 DEPOSITING CONCRETE Concrete delivered in cold weather shall have the minimum temperature specified in Section 11.8 of C-94. When the Contractor proposes to place concrete during seasons when there is a probability of ambient temperatures lower than 40°F, the Contractor shall have available on the project the approved facilities necessary to enclose uncured concrete and to keep the temperature of the air inside the enclosure within the ranges and for the minimum periods specified herein.

When there are indications of temperatures of less than 40°F during the first four days after placement of the concrete, the concrete shall be protected from cold temperatures by maintaining a temperature between 50°F and 100°F for at least four days after placement and between 40°F and 100°F for at least three additional days. The Contractor shall use such heating equipment such as stoves, salamanders, or steam equipment as deemed necessary to protect the concrete. When dry heat is used, means of maintaining atmospheric moisture shall be provided.

Hardened concrete and foreign materials shall be removed from the inner surfaces of mixing and conveying equipment before concrete is mixed. Before depositing concrete, forms shall be thoroughly wetted, and all debris removed.

Water shall be removed from the space to be occupied by concrete, and any continuous flow of water shall be diverted to a sump or removed by pumping. Concrete shall be deposited in the forms as rapidly as practicable to its final position and in such a manner as to prevent segregation.

Concrete during and immediately after depositing shall be thoroughly compacted by means of suitable tools, the use of approved type mechanical vibration is recommended.

No concrete shall be deposited with a free fall of more than 5'-0". The engineer shall approve the use of a tremie or other mechanisms for conveying concrete to point of deposit. Proper openings shall be constructed in high wall forms for pouring concrete.

Concrete shall be deposited continuously or in layers of such thickness that no concrete will be deposited against concrete which has hardened. If a section cannot be placed continuously, construction joints may be located at points as provided for in the drawings or approved by the Engineer. Before depositing new concrete against old, the forms shall be re-tightened, the hardened surfaces cleaned and covered with a coating of neat cement grout. Contractors shall provide a slump test and stress test for each 500 cubic feet of concrete poured in accordance with NCI standards. (At least one required).

102-10.03 FINISHING AND CURING SLABS All slabs will receive either wood float or steel trowel finish as shown on plans. Immediately after final troweling, all concrete floors and roof slabs of building shall be cured with an approved curing compound meeting the requirements of ASTM C -1315 applied in accordance with the manufacturer's recommendation. The engineer shall approve the use of curing compounds when used on concrete to receive flooring and other products. No compound shall be placed on construction joints and dowels. The engineer shall approve other methods of curing.

102-10.04 WALL FINISHING All forms on exposed surfaces to be rubbed shall be removed within 48 hours. Soft forms shall remain in place until curing time has elapsed. All form ties shall be cut back into wall 1" and pointed and patched. When the pointing has set sufficiently to permit, all exposed wall surfaces shall be wet with a brush and given a first surface rubbing with a No. 16 Carborundum

Stone or an abrasive of equal quality. The rubbing shall be continued sufficiently to bring a smooth dense surface without pits or irregularities. The use of cement to form a surface paste will not be permitted. The material which has been ground to a paste in this process shall be carefully spread or brushed uniformly over the surface and allowed to take a reset.

102-10.05 USE SPECIFICATIONS Following a schedule of the locations and uses for which concrete, its various surfacing and finishing treatments, cast-in anchorage, various accessories, and protective covering materials and methods.

Aggregate Sizes: The nominal maximum size of coarse aggregate shall be as specified in Section 3.3.2 of ACI 318.

Built-In Connections, Sleeves, and so forth Contractors for other trades requiring built-in connections, sleeves, slots, chases, recesses, and so forth, in concrete work will be responsible for the placing of same before concrete is poured.

102-10.06 WALKS The Contractor shall install all concrete walks as indicated on plans. The sub-grade to be properly prepared, tamped, and covered with a 1" sand fill, and walks shall be full thickness of 4" minimum with a 5" for all areas with control joints over 4'-0" apart.

Walks to be well troweled and finished in a brush finish, with neatly tooled edges and joints 4' 0" apart. All surfaces are to be sloped to drain. Provide steps where required.

Provide ½" isolation joints where joining fixed objects and other structures.

102-10.07 CONSTRUCTION JOINTS AND WATERPROOFING In waterproofing, where shown on plans, over the sand fill under floor slabs, lay one layer, .022, "Visqueen" manufactured by Visking Manufacturing Company, or equal, lap material 6" at all points. All punctures and torn places shall be patched before placing concrete.

Joints that are indicated on the plans shall be so made and located as to least impair the strength of the structure. Where a joint is to be made, the surface of the concrete shall be thoroughly cleaned. In addition to the foregoing, vertical joints shall be thoroughly wetted and slushed with a new coat of neat cement grout immediately before placing of new concrete.

At least two hours must lapse after depositing concrete in the columns or walls, and before depositing in the beams, girders, or slabs supported thereon.

Beams, girders, brackets, column capitals, and haunches shall be considered as part of the floor system and shall be placed monolithically therewith.

All locations shown on plans and all construction joints subjected to hydrostatic head shall have rubber water stops equal to the manufacture of Williams Equipment Company.

Construction joints in floor shall be located near the middle of the spans of slabs, beams, or girders, unless a beam intersects a girder at this point, in which case the joints in the girders shall be offset a distance equal to twice the width of the beam.

In the last case, provisions shall be made for shear by use of inclined reinforcement.

103 REINFORCEMENT STEEL

103-10 GENERAL The work covered by this section includes the furnishing of all labor, materials, and equipment required for reinforcing and structural steel.

103-10.01 SHOP DRAWINGS Shop drawings shall be submitted in triplicate for the Engineer's approval and correction, and after final approval, three corrected and approved sets are to be furnished.

103-10.02 MATERIALS Reinforcing steel: Reinforcing bars shall conform to ASTM Specifications A-15 or A-16. Deformations of deformed bars shall conform to ASTM Specifications A-305.

Cold drawn wire shall conform to ASTM Specifications A-82. Welded wire fabric shall conform to ASTM Specifications A-185. Wall and beam reinforcement and stirrups shall conform to ASTM Specifications A-15 or A-16 for intermediate or hard grade deformed bars.

103-10.03 PLACEMENT Placement shall be accurately formed to the dimensions on the drawings. All bars shall be bent cold and shall not be straightened in a manner which will injure the metal.

Placing Reinforcement: Metal reinforcement before being placed shall be free from scale, heavy rust, and other coatings which would reduce the bond.

Reinforcement shall be accurately positioned and unless otherwise shown or specified, shall be secured against displacement by using, at intersections, annealed iron wire of not less than 18 gauge or suitable metal clips. Metal chairs, spacers, hangers, or bolsters or concrete blocks shall support the reinforcement.

Reinforcement in floors above earth shall be supported by masonry blocking of suitable height to hold the reinforcement at the proper level. Bars shall be spaced and positioned, as shown on the drawings, reinforcement if not otherwise shown shall be placed, spliced, and located in accordance with the recommendations of the Concrete Reinforcing Steel Institute.

104 ACCESSORIES

104-10 POSITIONING ACCESSORIES Positioning accessories shall include metal spacers, chairs, ties, and such other approved devices as are necessary for proper assembling, spacing, and supporting the reinforcement in position. All such accessories shall be subject to the Engineer's approval for each condition of use. An appropriate accessory or other approved means of positioning and holding shall be used for reinforcement, bolts, anchors, and all members to be cased in concrete.

DIVISION 200
PAVING & DRAINAGE

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DIVISION 200DETAILED SPECIFICATIONS - PAVING AND DRAINAGE201 CLEARING AND GRUBBING

202-10 DESCRIPTION This work shall consist of clearing, grubbing, removing and disposing of all things within the limits of the right-of-way, easement areas, borrow and material pits, ditch inlets and outlets, channel changes, or any property or easement acquired by the Owner for the construction of the project, except such things as are designated to remain or be removed in accordance with other provisions of the contract. This work shall also include the preservation from injury, or defacement, of all vegetation, objects or materials designated to be salvaged or to remain and shall also include removal and disposal of obstructions and salvageable material encountered, when such removal and disposal is not otherwise provided in the contract.

201-20 CONSTRUCTION METHODS - CLEARING AND GRUBBING All surface objects and all trees, stumps, roots and other protruding or underground obstructions, not designated to remain, shall be cleared and/or grubbed (including mowing as required); except undisturbed stumps and roots and non-perishable solid objects which will be a minimum of three (3) feet below the bottom of the subgrade or slope of embankments.

The Project Engineer may permit ground stumps to remain outside of the construction limits or in the area to be rounded at the top of cut backslopes provided they are cut off flush with or below the surface of the final ground line.

Stump holes and other holes from which obstructions are removed, except in areas to be excavated, shall be backfilled with suitable material and thoroughly compacted as specified.

All operations shall be conducted in such a manner as to prevent injury to anything that is to remain on the right-of-way, or damage to adjacent property.

If perishable material is burned, it shall be done under the constant care of competent watchmen at such times and in such manner that surrounding vegetation, or other adjacent property, or anything designated to remain on the right-of-way will not be jeopardized. Burning shall be done in accordance with applicable laws and ordinances.

Materials and debris which are not burned shall be removed from the right-of-way and disposed of out of sight at locations obtained by the contractor as evidenced by two signed copies of a release from the property owner for the servitude of his lands.

It shall be the responsibility of the contractor to inform himself as to any prior agreements regarding merchantable timber prior to submitting his bid.

202 EXCAVATION AND EMBANKMENT

202-10 DESCRIPTION The work covered by this section consists of excavating and satisfactorily disposing of all material of whatever character within the limits of the work and shall include such excavation as is necessary for the construction, preparation and completion of all embankment, subgrades, shoulders, ditches, shaping and sloping, gutters, intersections, approaches, private entrances, inlet and outlet ditches, changing and completing drainage channels, all in accordance with these specifications and in reasonable close conformity with the alignment, grades, cross-sections shown on the plans or established by the Engineer.

202-20 CLASSIFICATION OF EXCAVATION Unless otherwise stipulated in the Special Provisions, all excavation will be classified as Unclassified Excavation, Rock Excavation, Muck Excavation, Channel Excavation and shall include all materials excavated within the limits of the work.

Unclassified Excavation shall consist of the excavation, removal and disposal of all materials of whatever character encountered in the work except for those classes of excavation which are listed under separate pay items.

Rock Excavation shall consist of igneous, metamorphic and sedimentary rock which cannot be excavated by the use of power equipment but will require removal by blasting and drilling. It shall include all detached boulders, stones and like material having a volume of one-half (1/2) cubic yard or more, which cannot be economically removed without blasting. The use of the words "rock", "boulders", or "stone" or synonyms of these words shall not imply that such materials may be included under this classification, except as provided in this subsection (202-20).

Muck excavation shall consist of the removal and disposal of muck. When other unsatisfactory foundation material directly beneath or immediately adjacent to muck is ordered removed by the Engineer, such removal and disposal shall be included as muck excavation.

Channel excavation shall consist of excavation and disposal of all material of whatever nature necessary for the widening, deepening or straightening of an existing channel or the construction of a new channel. However, when any material from channel excavation is used in the roadbed or other required embankment construction the excavation shall be classified and paid for as unclassified excavation as the case may be.

202-30 CONSTRUCTION REQUIREMENTS

202-30.01 GENERAL Excavation and disposal of excavated materials may be started in such sequence as the Engineer may approve.

All suitable materials excavated shall be used in the formation of the roadbed including the embankment, subgrade, slopes, backfill for structures and at such other places as directed.

Where the salvaging and stockpiling of Loamy Topsoil is shown on the plans, or directed, this operation shall be completed before excavation of the underlying material starts.

Excavation and disposal of the material shall be conducted in such manner, when practical, that the most suitable material will be placed in the top portion of the embankment and that adequate drainage, which will conform to the finished drainage system, is maintained. Prior to acceptance the entire roadbed shall be machined and the ditches bladed for proper drainage.

All earth cut slopes shall be dressed to a smooth and uniform surface and shall conform reasonably close to the typical section shown on the plans or as directed. Machine dressed slopes will be classed as satisfactory and hand dressing will not ordinarily be required. Allowable tolerances for cut slopes shall be plus or minus five-tenths (0.5) foot horizontally at subgrade elevation. On deep cuts a greater tolerance is allowable but is not to exceed an additional three-tenths (0.3) foot horizontally for each ten feet of height. Allowable vertical tolerances at subgrade elevation shall be a plus or minus one-tenth (0.1) foot in elevation.

Excavation operations shall be so conducted as to minimize the loosening of any material outside of the required Roadway Prism, or below the indicated subgrade.

The Contractor shall properly maintain the road surface and road approaches and driveways at all times and other portions of the work as directed.

202-40 EMBANKMENTS

202-40.01 DESCRIPTION Embankment shall consist of the preparation of the area for and the construction of the roadbed above the ground surface, which shall include the formation, compaction, the stabilizing of the embankment and the disposal of surplus and unsuitable materials all in accordance with the provisions and requirements of these specifications and in reasonably close conformity with the lines, grades and cross-sections indicated on the plans or as established.

202-40.02 MATERIALS Embankments shall be constructed with suitable excavated materials and with any excess materials from other operations which are acceptable and suitable for use. Unsuitable materials or perishable materials such as rubbish, sod, brush, roots, loose stumps, logs, heavy vegetation, etc., shall not be incorporated or buried in any embankment.

All rock or stone to be incorporated in the top eight (8) inches of the embankment shall pass a three (3) inch sieve.

202-40.03 PREPARATION OF EMBANKMENT AREAS After clearing and grubbing has been completed in accordance with these specifications and stump holes and depressions have been filled and compacted the area on which the embankment is to be placed shall be plowed in furrows uniformly spaced so that at least seventy-five (75) percent of the surface will be broken to a depth of not less than six (6) inches. Areas to be covered by embankments on hillsides or slopes or included in the widening of existing embankment shall be denuded of all existing sod and other vegetation and then plowed to a depth of six (6) inches. If the nature of the ground justifies it the construction of steps or benches will be required to secure a good bond between the old and new materials.

All portions of the surface of an existing road on which an embankment is to be placed shall be completely broken up by plowing or scarifying and all cleavage planes destroyed before embankment construction will be permitted.

202-40.04 EMBANKMENT FORMATION After the area to be covered has been fully and completely prepared the embankment shall be constructed of suitable excavated materials placed in successive layers parallel to the finished grade, with each layer to be not more than eight (8) inches loose in thickness for the full width of the cross-section.

Each layer of excavated material so placed shall be satisfactorily spread and compacted so as to construct an embankment which, after full compaction and shrinkage, will conform reasonably close to the lines, grade and cross-section shown on the Plans or otherwise designated.

On low swampy ground which will not support the weight of the hauling equipment the lower part of the embankment may be built with uniformly distributed layer of sufficient thickness to support the equipment while placing subsequent layers as indicated and specified above.

Rock used in embankment shall be distributed over the area so as to avoid bridging, nests, or pockets and all interstices shall be completely filled with earth or small stone. Rock fill will not be permitted within eight (8) inches of the finished subgrade elevation.

202-40.05 EMBANKMENT FORMATION ADJACENT TO STRUCTURES Embankment formation adjacent to structures shall be constructed under direct supervision of the Engineer. This construction shall not be started until after the backfilling has been fully completed and approved by the Engineer.

Material used for the construction adjacent to structures shall be selected by the Engineer and shall be, when practical to obtain, non-plastic, sandy or loamy earth placed in six (6) inch uniform level layers thoroughly compacted at the proper moisture content as hereinafter described.

202-40.06 COMPACTION OF EMBANKMENTS Compaction of embankments shall be done while the embankment material is at satisfactory moisture content using approved pneumatic tired multi-wheel rollers or self-cleaning tamping rollers. The roller shall be so operated that the compaction of each layer will begin at the bottom and continue toward the top for the full width of the cross-section. The soil beneath each layer shall be stable enough to support, without displacement, the rolling specified for each succeeding layer except as hereinbefore specified.

Each layer shall be compacted to its maximum practical density. Under no condition shall a layer be covered until the compacting equipment has covered the entire area at least five (5) times. The maximum practical density referred to above shall mean a density of not less than ninety-five percent (95%) of the maximum density for the soil used when tested in accordance with AASHTO method T-99, method C. Field density determination will be made in accordance with AASHTO T-99 modified to include only material passing a 3/4 inch screen. Density tests of embankments will be made at such spacings and locations as the engineer considers necessary and appropriate to assure compliance with the compaction requirements.

202-40-07 MAINTENANCE AND STABILITY Embankments shall be maintained to the grades and cross-sections shown on the plans, or as established, until the completion and acceptance of the contract.

The contractor shall be responsible until final acceptance for the stability of all embankments and shall replace, without extra compensation, any portion which has become displaced or damaged due to carelessness or negligence on the contractor's part, such as inadequate ditching, failure to remove forms or other obstructions, or other avoidable damages. If the engineer determines work has been properly constructed and protected and the damage to the embankment occurs due to the action of the elements, such as storms, cloudbursts, floods, slides or subsidence, etc., the contractor may be paid at the contract unit price for the excavation material and haul therefore used in making the necessary repairs.

202-40.08 FINISHING EMBANKMENT Disposal of surplus or unsuitable material shall be performed in accordance with the provisions as set out in this Section covering excavation.

The embankment shall be finished, shaped and formed reasonably close to lines, grade and cross-section indicated on the plans, or as established and shall present a finished appearance. Machine finish will be accepted where the desired results can be obtained by this method. Hand dressing will not ordinarily be required.

The allowable tolerances for slopes on fills shall be plus or minus five-tenths (0.5) foot horizontally. The vertical tolerance at subgrade elevation shall be a plus or minus one-tenth (0.1) foot in elevation.

203 LINEAR GRADING

203-10 DESCRIPTION This work shall consist of grading sections of roadway where, in general, the elevation of the existing ground surface or roadbed is practically parallel with the proposed grade line and the bulk of such excavation made will make the necessary embankment construction and can be moved by motor patrols, bull dozers or other similar equipment to its final position on the adjacent roadway.

The portions of road on which this type of work is proposed will be shown on the plans as Linear Grading.

203-20 CONSTRUCTION REQUIREMENTS

203-20.01 CONSTRUCTION DETAILS (A) Types of Linear Grading:

Linear Grading (Light) shall consist of pulling ditches, shaping foreslopes and machining the roadbed on a previously constructed road where only a small amount of machining is required to produce a finished section. Unless specifically shown on the plans machining of backslopes will not be required.

Linear Grading (Heavy) shall consist of grading of such character that, in general, the excavation from backslopes, ditches and roadbed will be sufficient to construct the roadbed to the required lines, grades and cross-section.

General Requirements. Clearing and Grubbing, when required, shall be done only within the grading construction limits plus the addition of any necessary clearing for sight distance.

After the completion of the clearing and grubbing, removal of heavy sod and vegetable matter, the construction shall proceed. Such loosening as is

necessary shall be done by plowing or scarifying preparatory to moving the excavation.

The finished section, constructed as shown on the typical section, shall be maintained and preserved by machining. The ditches shall be reasonably close to line and grade and completely drained.

Compaction will be made at the proper moisture content, determined by the engineer and to the specified density.

Disposal of Excess Material. Where Linear Grading is performed and the yield from pulling ditches, shaping backslopes or roadbed is in excess of the material necessary for the construction of the adjacent embankment and cannot be economically moved into its final position with a motor patrol or bulldozer or if necessary to obtain embankment material from other sources to complete the incidental grading corrections, such materials shall be classed as Unclassified Excavation and shall be hauled to their designated final position, or disposal made as ordered.

204 SUBGRADE PREPARATION

204-10 DESCRIPTION The sub-grade is designated as that part of the roadbed consisting of the design soils upon which the base structure or a surface course is to be placed and its finished construction shall conform to the provisions herein and such special preparation as may be required for the particular base structure or surface course to be constructed. The sub-grade preparation shall consist of the construction and compaction of the sub-grade in accordance with these specifications.

204-20 SUBGRADE PREPARATION The sub-grade shall be constructed as indicated above and in reasonably close conformity with the lines, grades and typical section for the particular type of base structure, or surface course as shown on the plans or established by the engineer. No base structure, or surface course shall be placed on the sub-grade until same has been checked and approved by the engineer.

Site Preparation. As an initial step of site preparation, trees located within the pavement area shall be removed, including stumps and roots. Stripping shall be performed to a sufficient depth throughout the construction area to remove organic-laden surficial soils, vegetation, debris, brush and roots. Excavation shall be performed to remove weak soils. The lateral and vertical extent of excavation required to remove weak soils must be determined in the field during earthwork construction. Excavation to remove weak soils shall extend laterally not less than 3 ft beyond pavement edges. Temporary construction excavation slopes shall not be steeper than 1H:1V.

204-30 Bridging. Bridging over weak soils can be allowed. Excavation shall be performed to a sufficient depth to allow placement of an adequate bridging lift and not less than 3 ft of compacted select fill materials to directly underlie the pavement structure. Bridging materials shall consist of either clean sands (SP) or slightly silty sands (SP-SM) with less than 10 percent fines passing the No. 200 sieve. The bridging lift shall not be more than 18 in. thick. The bridging materials shall be spread and compacted by repeated passes of a dozer not larger than a D4. A geotextile can be utilized beneath the bridging materials to initiate compaction with stability. That the geotextile utilized for this purpose shall be Type V geotextile as specified in the Mississippi Standard Specifications for Road and Bridge Construction (1990 Edition).

204-40 Undercutting. Undercutting shall be performed to remove expansive clays (CH) as required to allow for the placement of compacted select low permeability soils to create a no expansive soil buffer that shall extend not less than 3 ft below the subgrade level for pavements. Undercutting will be needed within areas where existing on-site silty clays (CL), silts (ML) and sandy clays (CL) by themselves or in combination with select fill do not provide the recommended buffer thickness. The lateral extent of undercutting required to remove expansive clays (CH) must be determined in the field during earthwork construction. Undercutting shall extend laterally not less than 3 ft beyond pavement edges. Temporary undercut excavation slopes shall not be steeper than 1H:1V.

204-50 Scarification and Compaction. The soils exposed after stripping, excavation and undercutting shall be scarified to a minimum depth of 6 in. and compacted to not less than **95 percent of standard Proctor maximum dry density (ASTM D 698)** with stability present. The exposed soils shall be proof rolled to demonstrate stability.

Stability is defined as the absence of significant pumping or yielding of soils during compaction or proof-rolling. If stability is not evident in some areas, either additional excavation or treatment of the in soils with an admixture, or a combination of these approaches, will be required to achieve stable conditions. Scarification/compaction and/or proof-rolling of the in-situ soils is not required in areas where bridging is to be conducted.

204-60 Pumping Soils. On-site natural silty clays (CL), clayey silts (ML) and silts (ML) exposed after stripping and excavation are susceptible to pumping under wet conditions. The construction techniques and types of equipment utilized, and site drainage provided during construction will have a great effect on the performance of these soils throughout the project. The routing of heavy rubber-tired equipment shall be controlled to minimize, as much as possible, traffic over the site. All traffic shall be discouraged during periods of inclement weather. If pumping is initiated in subgrade soils (CL or ML), as a construction expedient the pumping can be counteracted by treating these materials with hydrated lime. It is estimated that about 4 to 6 percent hydrated lime by dry weight of soil will be required. The actual lime percentage needed to hydrate moisture and eliminate pumping shall be determined during construction by laboratory testing

conducted on representative samples of the pumping soils. Lime treatment shall be performed in conformance with Section 307 of the Mississippi Standard Specifications for Road and Bridge Construction (1990 Edition). On-site natural soils treated with lime shall be compacted to not less than **95 percent of standard Proctor maximum dry density (ASTM D 698)**. Class C lime treatment which requires spreading the lime, mixing, compacting and finishing shall be used.

204-70 Fill Placement. Fill materials shall be placed to achieve planned grades. Excavated on-site silty clays (CL) and sandy clays (CL) that are free of organic matter can be utilized as select fill. Imported fill soils shall consist of select, non-organic and debris-free silty clays (CL) or sandy clays (CL) having a plasticity index (PI) within the range of 10 to 24 and a liquid limit less than 45, or clayey sands (SC) or silty sands (SM) with a plasticity index of 4 to 15 and a liquid limit less than 35. To be classified as silty clays (CL) or sandy clays (CL), the fill materials must have more than 50 percent fines passing the No. 200 sieve. **Sands (SC or SM) shall not be used as backfill placed in undercut areas over expansive clays (CH).** Select fill materials placed along the roadway shall be compacted from maximum 9-in. thick loose lifts to not less than **95 percent of standard Proctor maximum dry density (ASTM D 698)** at moisture contents within 3 percentage points of optimum.

204-80 Proof-rolling. Stability must be evident during compaction of each lift before any subsequent lifts of fill material are added. Stability is defined as the absence of significant pumping or yielding of soils under compaction. In addition to density requirements the final layer of fill material (finished subgrade elevation) shall be proof-rolled in the presence of a city representative with a loaded dump truck to demonstrate stability after compaction requirements have been achieved. Finished site grades shall be sloped to provide for quick runoff of storm waters.

204-90 Lime Stabilization All subgrade soils must be treated with 6 percent hydrated lime by dry weight of soil to a minimum depth of 8 in. Lime treatment shall be performed in conformance with Section 307 of the Mississippi Standard Specifications for Road and Bridge Construction (1990 Edition). Class C lime treatment requires mixing with a pulver mixer. The lime treated subgrade soils shall be compacted to not less than **95 percent of standard Proctor Maximum dry density (ASTM D 698)** at moisture contents within 3 percentage points of optimum moisture content.

204-100 PROTECTION OF SUBGRADE All soft and yielding or other unsuitable material which will not compact readily shall be removed and disposed of as directed.

All loose rock or boulders found in the sub-grade shall be removed or broken off to a depth of not less than eight (8) inches below the elevation of the sub-grade.

The volume of such unsuitable materials described above shall be replaced with approved material and the entire sub-grade brought to lines, grades and uniform compaction.

After the sub-grade has been prepared, as specified above, it shall be maintained in a smooth and compacted condition free from ruts and depressions and shall be adequately drained. In handling of materials and the operation of tools and equipment, the Contractor shall protect the sub-grade from damage. If damage occurs the sub-grade shall be reshaped, re-compacted and maintained reasonably close to line and grade until the base, surfacing or pavement is placed.

205 SUBBASES AND BASES

The sections in the 405 series include the specification requirements for sub-bases, bases, shoulders and other work closely related to the construction of the designed foundation for the pavement and the contract surface of the shoulders.

The term "course" used in this series of sections shall be understood to mean a layer of specified thickness shown on the Plans and for which quantities are estimated on the Plans and in the Proposal as the basis for bidding. In general, the formation of shoulder courses shall be accomplished by constructing each sub- base and base layer for the full width between side slopes.

205-10 PLANT MIX BITUMINOUS BASE COURSE (BLACK BASE)

205-10.01 DESCRIPTION This work shall consist of the construction of a base course composed of mineral aggregates mixed in a central mixing plant with bituminous materials in the proportions specified and placed hot. The base course shall be constructed on a prepared sub-grade foundation in accordance with these specifications and in reasonably close conformity with the thickness, lines, grades and cross-section shown on the Plans. This item also includes the conditioning of the sub-grade except for additional materials needed to prepare the subgrade surface.

205-10.02 GENERAL REQUIREMENTS The general requirements specified for bituminous plant mixtures and the equipment required as set out in Section 206 of these specifications shall apply to the Bituminous Hot Plant Mix Base Course except where otherwise indicated below.

205-10.03.01 GENERAL The materials and their use shall conform to the requirements of Subsections 406-20 through 406-40.03 except where otherwise indicated in the specific requirements.

205-10.03.02 SPECIFIC REQUIREMENTS

Coarse Aggregate shall be either crushed stone, crushed slag, crushed natural limestone rock asphalt, or gravel (crushed or uncrushed), or combinations thereof, as indicated in Table A in Subsection 406-30.01.02. Uncrushed gravel will be permitted provided the required properties of the mix are obtained; otherwise, the

addition of crushed gravel or other approved material will be required in an amount necessary to obtain the required properties. Only one kind and type, or combination shall be used in any one contract, unless authorized by the engineer in writing. Natural limestone rock asphalt shall conform to the requirements of Subsection 406-30.01 .02 (2). Crushed stone, crushed slag or gravel (crushed or uncrushed) shall conform to the following requirements:

- Percentage of wear, Los Angeles Abrasion Test, not more than fifty (50).
- Weight per cubic foot, pounds, not less than seventy (70).
- When crushed gravel is required at least eighty-five percent (85%) of the gravel retained on the No. 4 sieve shall have one or more fractured faces.

Fine aggregate shall consist of hard, durable particles of naturally disintegrated rock, or material obtained by crushing stone, slag, or gravel and shall be reasonably free of lumps of clay, loam, organic or foreign matter. (It is the intent of this specification to permit a reasonable amount of silt as fine aggregate).

Fine aggregate prepared by crushing stone, slag, or gravel shall be manufactured from aggregate meeting the requirements of paragraph (A) above.

Fine aggregate shall be of such gradation that, when combined with other aggregate fractions in the proper proportion, the resultant mixture will meet the required gradation.

Mineral filler used in the mixture shall meet the requirements of Subsection 406-30.02. Mineral filler may be used as necessary to obtain the desired properties on the base course mixture; however, its excessive use will not be permitted.

Bituminous materials used in the mixture shall be petroleum asphalt cement grade A-6 unless otherwise designated in the contract.

Tack Coat, if required, shall be the same grade asphalt cement as used in the mix or Emulsified Asphalt, Grade EA-4. When emulsified asphalt is used the engineer may require dilution with additional water to meet job conditions.

Stability. The layers of bituminous mixtures for the Bituminous Hot Plant Mix Base Course shall develop the following properties as determined by the laboratory tests from specimens which have been subjected to seventy-five (75) blows of a standard Marshall Hammer on each end of the specimen.

Average Marshall Stability at 1400 F., all layers, 1000 pounds.

205-10.04 CONSTRUCTION REQUIREMENTS

205-10.04.01 GENERAL The construction requirements shall be as prescribed in Subsections 406-40.01 through 406-40.14 except where otherwise indicated in the specific requirements.

405-10.04.02 SPECIFIC REQUIREMENTS

Tack Coat. If and when required by the engineer, the tack coat shall be applied to the previously placed subbase or base course and between the several layers of mixture. The tack coat shall be applied as a complete coating, fog coating or "spider webbing", as directed.

Cut Off Temperatures for Breakdown Rolling. The base course of mix BB-1 may be required to be placed in one or more courses by the engineer. The designated thickness for any course shall not be less than one and one-half (1 - 1/2) inches nor greater than six (6) inches compacted. The rate of delivery of the Hot Plant Mix material to the road and the rate of spreading and compacting shall be synchronized to provide the most nearly continuous operation feasible while placing the mixture prior to excessive loss of temperature.

Breakdown rolling and compaction of thick lifts of hot plant mix courses must be accomplished while the temperature is 1750 F or more in order to obtain the density and stability required. Therefore, the following guide list of time is recommended for breakdown rolling when the mix temperature will allow rolling without displacement on the roadway subgrade or surface for a two (2) inch mat and when the base temperature is 500 F or more:

Temperature of Mix at Placement	Maximum Rolling Time on the Road for Compaction
175E F	5 minutes
200E F	6 minutes
220E F	7 minutes
240E F	9 minutes
260E F	12 minutes
280E F	15 minutes

The placement of a three (3) or four (4) inch mat thickness of base course would hold a higher temperature a little longer, however, the rolling time should not be increased more than 25% of the above recommended time allowed for

compaction. Paving operations during the hot summer temperatures would also increase the maximum time for compactive effort but should not be increased by more than 25% of the recommended schedule.

Density. The density of samples obtained from the first completed layer of base course shall be at least 95% of the density of laboratory specimens made from the same mixture. The density of each subsequent completed layer of base course shall be at least 96% of the density of laboratory specimens made from the same mixture. Density tests will not be made on layers of base course less than one and one-half (1-1/2) inches in thickness. However, the compactive effort applied to portions less than 1-1/2 inches in thickness shall be comparable to that applied to the portions equaling or exceeding 1-1/2 inches in thickness.

When the maximum compactive effort has been made by the contractor on the bituminous mixture and the required density is not 95% of the average laboratory density made from the same mix; the Project Engineer may modify the density requirement if conditions warrant a modification.

Joints. Longitudinal and transverse joints shall be in accordance with Subsection 406-40.05.

Surface Requirements. The finished surface of the layers of Plant Mix Bituminous Base Course shall conform to the designated grade and cross-section and tested by the engineer using a ten (10) foot straight edge placed parallel to the center line. The variations of the surface from the testing edge of the straight edge placed on the finished layer shall not exceed one-half (1/2) inch. All knots and depressions exceeding this tolerance shall be corrected.

During the finishing and compacting operations of the base course, it shall be the responsibility of the contractor to check the surface obtained against the surface requirements set out in the contract.

The contractor shall provide a competent employee whose duty it shall be to test the finished surface of the course with a ten (10) foot straight edge in the presence of and at the time and location selected by the engineer or his representative.

Tolerance in Base Thickness. The finished surface of the several layers of bituminous base course shall conform to the designated grade and cross section within the following tolerances from grade stakes or other designated grade references provided at intervals not to exceed fifty (50) feet.

	<u>Bottom and Intermediate Layers</u>	<u>Top Layer</u>
Maximum deviation from grade and cross section at any point	3/4"	1/2"
Maximum variance when tested by "high-low" Dector or ten (10) foot straight edge applied parallel or perpendicular to the centerline	1/2"	1/2"

Correction of sections of layers or courses of bituminous sub-base or base on which allowable surface tolerances are exceeded shall be made at the contractor's expenses by satisfactory removal or addition of mixture as necessary.

Temperature And Weather Controls. The job mix formula will specify definite mixing and laying temperatures for the asphaltic mixture. The temperature of the materials will be verified before discharge at the placing site by means of thermometers inserted through holes drilled in all vehicle bodies for that purpose. The mixture shall comply with specified temperatures within reasonable tolerance allowances set out in the job mix formula.

Bituminous Hot Plant Mixtures shall be placed only when the air temperature is above 40° F. and rising or above 50° F. if falling and when the weather is not rainy or foggy.

205-20 GRANULAR BASE OR SUBBASE

205-20.01 DESCRIPTION This work shall consist of soil or soil aggregate material selected for use as a sub-base or base on a previously prepared roadbed or on other areas designated on the Plans. It may also consist of material to be used in incidental construction such as a cushion or leveling course, construction of shoulders, backfill at bridge ends, spur dyke fill material, sub-drain filler media, all of which may be used with or without the use of stabilizer aggregate, admixtures, lime, cement, chemicals or asphalt, as specified in the plans and proposals. This work shall include the mining, mixing at the pit, depositing, spreading, machining, maintaining, incorporation of admixtures and for mixing, shaping, and compaction of material within the areas shown on the plans, and furnishing the material. Such bases and subbases shall be constructed on the prepared subgrade in accordance with the provisions and requirements of these specifications and in reasonably close conformity with lines, grades and typical section shown on the plans or established by the Project Engineer.

205-20.02 MATERIALS

General. Granular materials shall be composed of a natural or artificial mixture of soil binder and sand, or soil binder, sand and gravel, or stone, or slog, or combinations thereof, having satisfactory cementing qualities, homogeneous in character and reasonably free of clay balls, vegetative matter, or other deleterious substances that cannot be classed as serviceable.

In order that adequate soil drainage through the shoulders will be insured no material used above the design soil in the construction of, or foundation for, shoulders shall have a Minus 200 sieve fraction, Liquid Limit (L. L.) or Plasticity Index (P.I.) appreciably exceeding like characteristics in adjacent sub-base or base course(s).

It shall be understood, however, that a material with a better gradation, as determined by an approved testing laboratory, than that specified may be furnished provided the material furnished shall comply with the Liquid Limit, Plasticity Index and other requirements of these specifications for the group specified in the contract.

Fine Aggregate (Portion Passing the No. 10 Sieve). The fine aggregate shall be composed of a natural or artificial mixture of soil binder and granular material. The soil binder shall be clay, silt, or other materials, or combinations thereof, having satisfactory cementing qualities, homogeneous in character, reasonably free of vegetable matter, clay balls, or other deleterious substances that cannot be classed as serviceable. Unless otherwise indicated, the fraction of the binder soil passing a No. 40 sieve shall have a liquid limit not greater than 25 and the plasticity of the binder soil shall be such that when combined with granular material the mixture will have the required degree of plasticity. The granular portion shall be composed of sand, stone or slag screenings and shall be hard, durable and preferably sharp.

Coarse Aggregate (Portion Retained on the No. 10 Sieve). The coarse aggregate shall be composed of gravel, stone, slag, or combinations thereof and shall consist of hard, durable particles reasonably free of vegetable matter or other deleterious substances. Materials that break up and weather rapidly when alternately frozen and thawed or wetted and dried shall not be used.

Coarse aggregate, when tested in accordance with AASHTO Designation: T-96, shall have a percentage of wear not to exceed forty (40).

Gradation. The gradations shown in the table under (C) are the maxima and minima for all sources and the gradation from any one source shall be reasonably uniform and not subject to the extreme limits in the table.

It shall be the responsibility of the contractor to furnish a material which will have sufficient silt and clay or other binder within the ranges permitted in the table to ensure that the material, when processed in accordance with the contract, will bind together to form a dense, stable coarse and, when properly compacted, have the required density. The gradation of the composite mixture shall meet the following requirements:

**GRANULAR MATERIALS
GRADATION CHART
PERCENTAGE (BY WEIGHT) PASSING SQUARE MESH SIEVES**

TYPE	CLAY	GRAVEL	SEMI- GRAVEL	SAND CLAY	TOPPING
CLASS	1 & 2	3 & 4	5 & 6	7	8	9	10
Passing 3"	100	100	100	100	100	100	100
1-1/2"	85-100	85-100	85-100				
1"	65-100	65-100	65-100				
1/2"	35-90	35-90	35-100				
NO. 4	30-70	30-75	30-85				
NO. 10	30-50	30-55	30-65	30-100	30-100	30-100	30-100

Note: The minimum percentage passing the No. 10 sieve may be lowered to 25% by the Engineer if proper placement characteristics and stability can be obtained by the coarser gradation.

MATERIAL PASSING THE NO. 10 SIEVE

TYPE	CLAY		GRAVEL		SEMI- GRAVEL		SAND CLAY	TOPPING
CLASS	1	2	3	4	5	6	7	8	9	10
NO. 10	100	100	100	100	100	100	100	100	100	100
NO. 40	20- 80	20- 90	20- 90	20- 90	20- 100	20- 100	40-80	20-85	20-100	20-100
NO. 60	15- 70	15- 80	15- 80	15- 80	15- 80	15- 80	30-70	15-70	15-85	15-100
NO. 200	8- 40	6- 40	8- 40	6- 40	8- 40	6- 40	10-40	8-40	6-40	8-60

MATERIAL PASSING THE NO. 40 SIEVE SHALL MEET THE FOLLOWING:

<u>GROUP SYMBOL</u>	<u>LL</u> <u>MAX.</u>	<u>PI</u> <u>MIN.</u>	<u>MAX.</u>
A	25	NP	6
B	25	NP	8
C	30	NP	10
**D	35	NP	15
**E	35	6	15

Granular materials furnished by the contractor shall be as specified on the plans and in the proposal. The contractor shall obtain materials from approved sources of this own selection. He shall bear all the expense of exploring, procuring and delivering the materials, including the purchase price paid the owner, clearing and grubbing, stripping of overburden, opening and operating the pit, pit moves, constructing and maintaining haul roads and hauling the material to its final position on the roadbed.

Approval of source of supply of all materials shall be obtained from the engineer prior to the delivery of any material and only materials conforming to these specifications, or the special provisions, will be acceptable. Samples from each source shall not be construed as acceptance of materials from the same source delivered later. Final acceptance of such materials shall be made after they reach their position on the roadbed. Material of such nature that it cannot be made acceptable shall be removed and replaced with suitable material by the contractor without extra compensation.

Granular material outside of the base course prism, when obtained from the same deposits and manipulated in the same manner as the material within the base course prism, may have percentages passing the No. 10 sieve and the No. 4 sieve five (5) percent higher than those in the

chart. "The base course prism" will be construed to be the area one foot beyond the back of curb and a minimum of six (8) eight inches below the bottom of the pavement and curb, unless shown differently on the typical section.

Mixing, shaping and compaction shall not be started until the engineer has received the tests results for quality of the material and until provisions are made for incorporating admixtures, if needed.

205-20.03 CONSTRUCTION REQUIREMENTS

205-20.03.01 EQUIPMENT The final evaluation of acceptable capacity and efficiency of machinery and equipment shall be its actual performance on the site. The machinery shall be sufficiently suited to the work so that its usage introduces no hazard to workmen, does not injure or damage other component parts of the roadway and has the capacity to contribute to the accomplishment of the work with dispatch and without significant overloading.

Normally a motor grader of not less than 5-ton capacity, sheet foot roller, pneumatic rollers, trucks, mixing equipment and sprinkling equipment are needed.

205-20.03.02 SUBGRADE PREPARATION Subgrade preparation, when required, shall be in conformity with Section 404 or as set out in Special Provisions. The subgrade must be approved by the engineer prior to placing any subbase or base course material. The surface shall be smooth, firm, compacted, free from loose material or pockets of soft materials, graded to the proper crown and width as shown on the typical section and shall be at the proper moisture content to receive the new material.

205-20.03.03 APPLICATION OF SAND CLAY TOPPING MATERIAL AS A SUBBASE COURSE.

When sand clay topping material is used for a subbase, or when it is to be incorporated into the future base course, all layers (or lifts) shall be constructed smooth, firm, free of soft areas, or sand pockets, dampened and compacted. Where the sand clay topping is to be incorporated in the base course prism, and pavement is to be placed under the current contract the top six (6) inch lift of material shall be constructed smooth, firm, to grade, cross-section as shown on the typical section and compacted with the proper moisture content. Where sand clay topping material is specified for areas other than the base course structure such as ramps, bridge ends, shoulders, spur dikes, etc., the material shall be dressed to line and grade, moistened and compacted as directed by the Engineer.

205-20.03.04 APPLICATION OF NATURAL CLAY GRAVEL MATERIAL

AS A BASE COURSE When the application of a natural clay gravel material is required for a base course placed either over a sand clay subbase, or directly upon the subgrade, the following requirements shall apply:

Subgrade or Roadbed. Unless otherwise stipulated the subgrade (or roadbed) shall be machined, shaped, compacted and dampened prior to placing any new material.

Forms. Unless shown on the plans or in special provisions, the use of forms will not be required.

Hauling and Placing. The placing of material shall, when practical, start at the point most distant from the source of supply, progressing toward the source. The engineer shall determine the maximum distance for which the base material may be dumped and spread ahead of subsequent operations.

Unless otherwise stipulated the material will be dumped directly on the prepared subgrade or subbase. It shall be uniformly spread to full depth required, unless the compacted base is to be in excess of six (6) inches, in which case the material shall be spread and compacted successively in equal lifts of six (6) inches or less. Whether built in one or more lifts, sufficient material shall be placed to produce a base which, when tested, will be of specified thickness after full completion.

During placing and shaping of the base material, the contractor shall maintain proper drainage in the side ditches.

Mixing. When the base course material is of uniform quality and gradation meeting the specification requirements and is placed over the existing subgrade or subbase to the depth shown on the plans, preliminary mixing for purposes other than pulverizing the materials may be omitted.

Shaping. After the materials for the shoulders and base have been properly placed and any required mixing performed, the entire roadbed shall be shaped to reasonably close conformity to the specified cross-section and grade. During this operation, the base course shall be brought to the proper moisture content preparatory to compaction.

205-20.03.05 DENSITY REQUIREMENTS FOR BASE COURSE PRISMS After the base course material is in place and mixed uniformly for the full width of one (1) foot each side of the proposed surface width and in roadway lengths sufficient to accommodate the contractor's forces and

equipment, the watering and rolling for maximum density shall be started. The maximum density required, when expressed as a percentage number, shall be based on the standard (proctor) density obtained using material from the same source and tested in accordance with AASHTO T-99. Field, or in-place density tests will be made by the engineer at such spacings or locations (not to exceed 1000-foot intervals) as found necessary to assure compliance with these requirements and tested in accordance with the AASHTO designation T-191.

The specified density of the base course prism shall be 100% of the AASHTO designation T-99.

The specified density of material outside the base course prism shall be 95% of the AASHTO designation T-99.

205-20.03.06 MISCELLANEOUS USES. Where a clay gravel base course is specified and pavement is not to be placed over it under the current contract, all layers (or lifts) shall be compacted to a density of 95%. Where material meeting this specification is provided in areas other than a base course such as ramps, at bridge ends, spur dikes, etc., the material shall also be compacted to a density of 95% of the AASHTO T-191.

205-20.03.07 SURFACE REQUIREMENTS. The surface of the completed base shall present a uniform appearance and a smooth riding surface without sharp breaks or depressions which will collect or hold water. The finished grade, crown and width shall be in reasonably close conformity to that shown on the typical section as can be constructed with proper expert manipulation of a motor grader.

205-20.03.08 GRAVEL SURFACE COURSE. The general requirements specified for gravel base course, Section 405-20.03.04, shall apply in all respects for gravel surface courses except as stipulated as follows:

- The use of forms will not be required.
- Straight edging the surface will not be required.
- A stipulated maintenance period will not be required; however, prior to acceptance, the gravel surface course shall be maintained under traffic for a sufficient time to secure satisfactory compaction and riding surface.

A material meeting Class I through 6, Group B, C, D, or E may be used.

205-20.03.09 SHOULDERS. Whenever the plans indicate that sand clay topping material will be used for construction of shoulders the specifications for this material will be shown under the appropriate pay item for the material specified and as set out in the material gradation chart, 405-20.02. The shoulders shall be formed and compacted as set out in Section 405-40 with the following provision:

Where material for shoulders is obtained from a different source than the base course material, the material for the shoulders shall either be placed to the thickness of the finished base course or in layers of the same thickness as the base course lifts. Shoulder material to be placed adjacent to the base course material shall not be stockpiled along the roadway for any appreciable time before placing the base course material. In any event, care shall be taken to prevent mixing or wasting of materials.

205-20.03.10 MAINTENANCE. The maintenance of the base shall begin when the base course has been constructed as specified herein.

Base maintenance shall consist of correcting any defects which may develop due to traffic, erosion or other causes and includes watering, machining, compacting and other operations necessary to preserve the base intact and free from lamination and also to further compact and prepare it for any surface course to be superimposed.

Working days used for base maintenance will be considered a part of the working days of the contract.

205-30 SHOULDERS

205-40.01 DESCRIPTION This work shall consist of the construction of shoulders of approved materials reasonably close to the lines, grades and cross- sections shown on the plans or as established by the engineer.

205-40.02 MATERIALS The materials used in the construction of the shoulders normally will be the same material used in the construction of the adjacent sub- base or base course, and, when this is the case, the material used shall conform to the requirements specified in the Material Section for selected Materials for Bases and Subbases, Subsection 205-20.02.

Where other than normal conditions exist, the material used for constructing the shoulders shall be a granular type of material sufficiently friable to produce a shoulder stable enough to support the emergency parking of vehicles without rutting or distortion of the shoulder portion of the roadway prism.

205-40.03 CONSTRUCTION REQUIREMENTS Unless otherwise specified, the construction of each course of the shoulders shall be in accordance with controlling requirements for subbases and bases constructed of like material.

The specified density for the shoulder portion of any layer or course shall be 95% of the AASHO designation, T-99.

206 HOT BITUMINOUS PAVEMENT

206-10 DESCRIPTION This work shall consist of constructing one or more courses of bituminous pavement on a prepared base, pavement structure or bridge deck in accordance with the requirements of these specifications and in reasonably close conformity with lines, grades, thicknesses and typical sections shown on the plans or established by the Engineer. This work shall also include applicable preparation of the underlying base or subgrade course in accordance with the appropriate subsections.

The bituminous pavement shall be composed of mineral aggregates, filler or other materials (if required) and bituminous material mixed in a central plant and placed hot.

206-20 COMPOSITION OF MIXTURES The bituminous plant mix shall be composed of a mixture of aggregate, mineral filler and other material (when required) and bituminous material.

The several aggregate components, including mineral filler and other materials (when required) shall be sized, uniformly graded and combined in such proportions that the resulting mixture meets the gradation requirements of the specific type of pavement shall be combined with the other components of the mixture.

The overall limits set out in Table "B" of this section encompass the extreme limits for material or combinations of materials from all possible sources and closer controls appropriate to the job materials shall be established for each specific mixture required under any contract in accordance with a job mix formula established as follows:

Prior to the proposed use of each mixture to be placed on the project, the Contractor shall make available for sampling and testing by the laboratory materials conforming to these specifications and proposed for use in the mixture and the Contractor may submit for the Engineer's approval a single job-mix formula for each group of materials submitted for the mixture.

The job-mix formula for each mixture shall establish a single definite percentage of aggregate including mineral filler and other materials (when required) passing each required sieve size a single definite percentage of bitumen to be added to the aggregate and a single definite temperature at which the mixture is to be discharged from the mixer.

The ranges of the components of the bituminous mixture set out in Table "B", shall have no bearing upon the determination of the percentage established for the job-mix formula, except that no job-mix formula will be approved or established having permissible ranges outside of the master range for the particular mixture.

The job-mix temperature shall be the lowest considered to be satisfactory to obtain the desired mixture.

No mixture will be accepted for use, nor shall any mixture be placed, until the Engineer has approved a tentative job-mix formula for the particular mixture. The job-mix formula thus approved, or established from laboratory test results, shall be considered as tentative until a sufficient amount of the mixture has actually been processed through the plant, spread and compacted to determine by tests the necessity and effectiveness of corrections and adjustments to the plant operation and to spreading and compaction procedures.

Extractions shall be made on each mixture before any of the mixture is placed on the project and no mixture shall be placed which does not meet the requirements of the job-mix formula in effect (within the allowable tolerances). Sample of the actual mixture in use will be taken as many times daily as necessary, at the discretion of the Engineer.

206-30 Hot Mix Asphalt Specifications The hot mix asphalt (HMA) mixtures shall meet the following production requirements. At least **10 days prior to the start of work** the Contractor shall submit for approval by the City Engineer a proposed job-mix formula (JMF) signed by a MDOT Certified Mixture Design Technician meeting the requirements listed as follows. The bituminous base course and asphalt surface course materials shall conform with all applicable specifications for BB-1 and SC-1 presented in the Mississippi Standard Specifications for Road and Bridge Construction (1990 Edition) plus requirements listed in the following tables.

**Table B
Hot Mix Asphalt Gradations
Master Design Requirements**

Sieve Size	Base Course (BB-1)	Surface Course (SC-1)
1 2 inch	100	-----
1 inch	83 – 100	-----
2 inch	56 – 95	100
3/8 inch	-----	87 - 100
No. 4	29 – 70	54 - 80
No. 8	19 – 54	32 - 63
No. 30	8 – 30	12 - 33
No. 50	4 – 20	6 - 20
No. 200	2 – 10	2 - 10

Table A
Hot Mix Asphalt Mixture Design Requirements
Marshall Compaction - 75 blows (MT-35)

Mixture Requirements	Base Course		Wearing Course	
	BB-1A	BB-1B	SC-1A	SC-1B
Stability (lbs.)	1400	1400 (min)	1500	1500 (min)
Total Air Voids (%)	3.0 – 5.0	3.0-5.0	3.0 - 5.0	3.0-5.0
VMA (%)	12.0	12.0	15.0	15.0
Tensile Strength Ratio (%)	85	75	85	75
Hydrated Lime (%)	1.0	0	1.0	0
Minimum Asphalt Content (%)	4.0	4.0	4.0	4.0
Crushed Limestone Content (%)	0	0	20-30	0
Fractured Faces - + No. 4 Sieve (%) min.	70 (one face)	0	90 (two faces)	90 (two faces)
Natural Sand Content (%) max	20	20	20	20
RAP Material (%) max	30	30	15	15

The tentative job-mix formula together with its adjustments to plant operation and spreading and compaction procedure (when required) will be considered as conditionally approved until it is rejected, or the Project Engineer confirms its approval.

After the Project Engineer confirms approval of the tentative job-mix formula, the mixture furnished for the project shall conform thereto within the range of tolerances specified for the

particular mixture. No change in properties or proportions of any ingredient of the mix shall be made without permission of the Project Engineer.

The approved job-mix formula for each mixture shall be in effect until modified, in writing, by the Project Engineer.

The components of the mixture will be conditionally accepted at the plant site, subject to later rejection if such materials are incorporated in a mixture or if work for any reason or cause fails to meet contract requirements.

206-40.03 BITUMINOUS MATERIALS The bituminous material used in the mixture shall be Performance Grade PG 67-22

206-50 CONSTRUCTION REQUIREMENTS

206-50.01 WEATHER LIMITATIONS Bituminous plant mix shall not be placed on any wet surface, frozen foundation, or when weather conditions otherwise prevent the proper handling or finishing of the bituminous mixture; except that when paving operations are discontinued due to rain, the mixture in transit at that time may be held in the transporting vehicles (properly protected) until the rain has ceased and the surface on which the mixture is to be spread has been swept to remove as much moisture as possible, the mixture may be placed at the Contractor's risk and subject to removal and replacement at his expense if satisfactory results are not obtained.

Hot bituminous leveling and binder courses of pavement shall be placed only when the air temperature in the shade is 40B F. or above and rising or 50B F. if falling.

Hot bituminous surface courses of pavement shall be placed only when the air temperature in the shade is 50B F. or above.

206-50.02 TACK COAT When required by the Engineer, tack coat shall be applied to the previously placed base course or road surface and between the several layers of mixture.

206-50.03 SPREADING AND FINISHING The mixture shall be placed upon a foundation which has been prepared in accordance with Section 405, except as provided under Subsection 406-40.01 and struck off to grade and elevation established. The compacted thickness of any layer shall not exceed six (6) inches.

The edge of the bituminous plant mix or pavement shall be established by a string line for a distance of not less than five hundred (500) feet ahead of spreading of

the mixture, except when curb and gutter, concrete pavement or similar installations are favorable for alignment reference.

Bituminous pavers shall be used to spread the mixture to such appropriate loose depth and width as will secure the compacted thickness to the required line, grade and cross-section.

A minimum of two pavers of the same make, and type will be required when it is feasible to operate them in echelon on adjacent through traffic lanes and the amount of bituminous mixture to be placed under the contract as shown in the proposal as 20,000 tons or more. Only one (1) paver will be required when single lane construction is required or when the amount of bituminous mixture to be placed under the contract is shown in the proposal as less than 20,000 tons.

The pavers shall be operated at a constantly uniform speed and as continuously as practical except that the hopper shall not be emptied completely of the mixture, prior to dumping therein of the next load, in a continuous run.

Immediately after screening of any course and prior to roller compaction, the surface of the unrolled material shall be checked by the Contractor and inequalities adjusted. The unsupported edge of the mixture shall be sealed prior to rolling by tamping to a face having approximately the same slope as the angle of repose of the loose mixture (not to exceed an angle of 45° from vertical), except when the edge is to become part of a hot joint formed by pavers traveling in echelon. When the edge is feathered as in the case of a wedge course, it may be sealed by rolling.

Inequalities in alignment and grade along the edges shall be corrected by the addition (or removal) of mixture before the edges are rolled. All sandy accumulations and all fat spots shall be removed and replaced with fresh mixture when necessary to correct pavement irregularities.

For hot mix bituminous pavement, the mixture shall be delivered to the paver at a temperature of 225B to 350B F. The mixture shall be free of lumps and in workable condition.

Where irregularities or unavoidable obstructions make the use of a mechanical spreading and finishing equipment impractical, the mixture shall be spread, raked with hand tools or other approved methods. For such areas the mixture shall be dumped, spread and screeded to give the required compacted thickness and meet all other contract requirements.

If during construction, it is found that the spreading and finishing equipment in operation leaves tracks in the new course or indented areas that are not

satisfactorily corrected by the scheduled operations, or if it produces other permanent blemishes, the use of such equipment shall be discontinued and other spreading and finishing equipment which produces satisfactory work shall be provided by the Contractor.

206-50.04 COMPACTION After the bituminous mixture has been spread, screeded or struck off to appropriate loose depth and width and surface irregularities corrected, it shall be thoroughly and uniformly compacted by rolling to the required lines, grades and cross-sections and to the required density.

The mixture shall be rolled while it is at the proper temperature and in proper condition and when the rolling does not cause undue displacement, cracking or shoving. To prevent adhesion of the mixture to the roller, the wheels or tires shall be kept properly moistened with water or water mixed with a small quantity of approved material. The liquid shall not be applied at an excessive rate.

The rollers shall operate at a slow but uniform speed (not to exceed three miles per hour for steel wheel rollers and not to exceed five miles per hour for pneumatic tire rollers) and the line of rolling shall not be suddenly changed or the direction of rolling suddenly reversed. Any displacement of mixture occurring as a result of the operation of the rollers (or from any other cause) shall be corrected at once by the use of rakes and addition of fresh mixture when required. Any mixture that becomes loose, broken, mixed with dirt or shows an excess (or deficiency) of bituminous material, or is in any way defective, shall be removed and replaced with fresh mixture which shall be shaped and compacted to conform with the surrounding area.

Unless otherwise specified in the contract, a minimum of one (1) breakdown roller and one (1) intermediate roller shall be provided for each bituminous paver used. In addition, one (1) finish roller shall be provided for each paving operation; however, where only a small amount of material is to be placed such that the breakdown roller can be used satisfactorily for both breakdown rolling and finish rolling, a separate finish roller will not be required.

In general, rolling shall be done in three stages as follows:

Breakdown Rolling: Breakdown (or initial) rolling shall be performed with the use of steel wheel tandem, or three-wheel rollers used as soon as the mixture is at the proper temperature or condition to obtain the required compaction for density. The breakdown roller shall be operated with the drive roller (or wheel) nearest to the paver except when rolling on steep slopes or super-elevated curves that require the use of the tiller wheel closer to the paver.

Intermediate Rolling: Following the breakdown rolling, intermediate rolling shall be performed with pneumatic tire rollers, as soon as practical and while the

mixture is in the proper range of temperature to obtain the best compaction. The tires shall be inflated, and the roller loaded with ballast (as required) to obtain the average ground contact pressure necessary to obtain proper compaction of the mixture. The intermediate rolling shall be completed while the mixture is still hot enough to perform the final rolling at the proper temperature and condition.

Finish Rolling: Finish rolling will be performed with steel wheel tandem or three-wheel rollers when the mixture is at the proper temperature and condition to accomplish the required elimination of roller marks.

Each stage or rolling shall proceed in the following order:

1. Roll transverse joints.
2. Roll longitudinal joints.
3. Roll edge and progress gradually to the center parallel with the centerline of the road overlapping on successive passes by at least one-half the width of the rear wheels; however, on super-elevated curves, rolling shall progress from the lower to the upper side uniformly lapping each preceding track until the entire surface has been rolled by the rear wheels.

When paving in echelon, the breakdown roller shall leave unrolled two or three inches and the intermediate pneumatic tire rollers shall leave unrolled approximately six inches of the edge being followed by the paver placing the subsequent lane. These edges shall be rolled when the joint between the lane is rolled. When paving in single lanes, the entire width shall be rolled with steel wheel rollers except as noted below. The pneumatic tire roller shall avoid rounding of the edge that will become a part of the longitudinal joint when the adjacent lane is spread.

In sealing and compacting all unconfined edges, the Contractor shall give full consideration to all of the field conditions including, but not limited to, the weight and type of roller, the consistency and temperature of the mixture, the cross slope of the section and the pattern of rolling shall so perform the work that, when fully completed, the edges of the particular course shall not be rounded or depressed with respect to courses in the adjacent lanes, shoulders or other adjacent construction.

Along forms, curbs, headers, walls and other places not accessible to the rollers, the mixture shall be thoroughly compacted with hand tampers, smoothing irons, mechanical tampers or a combination of such approved equipment. On depressed areas a trench roller may be used.

Rolling shall progress as uniformly as practicable and shall continue until all roller marks or other irregularities are eliminated and the required density has been obtained.

The rolling pattern may be modified when conditions warrant the modification.

206-50.05 JOINTS Joints between pavement previously placed and pavement in process of being placed shall be so formed as to insure thorough and continuous bond.

Transverse construction joints shall be formed by cutting into the previously placed mixture to expose an approximately vertical face for the full depth of the course. When a header is used to form a satisfactory vertical contact surface for new work, the cutting may be omitted. The contact surface of transverse joints shall be painted with a thin uniform coat of tack coat material before additional mixture is placed against the previously rolled material.

Longitudinal joints shall be formed by overlapping of the paver on the previously placed material for a width of at least one (1) inch and depositing a sufficient amount of mixture to form a joint that will be smooth and tight.

The mixture shall be spread in such widths that will provide for offsetting of longitudinal joints approximately twelve (12) inches in successive layers (or courses) of pavement except that the joints in the surface course shall be placed at the edges of traffic lanes with an offset from the joint in the previously placed layer (or course) of not less than six (6) inches. In special cases on areas where irregularities (or unavoidable obstacles) make it impractical to arrange the joints as specified above the Engineer may authorize or require a modification of the arrangement of the joints.

The contact face of all longitudinal joints (except hot joints) shall be formed during construction or cut to a near vertical face (not to exceed an angle of 45° from vertical) and pointed with a thin coat of bituminous material (tack coat) before additional mixture is placed against the previously placed mixture.

206-50.06 PAVEMENT SAMPLES The Contractor shall cut samples from completed layers of pavement or base at the time and locations designated by the Engineer. Such samples of the mixtures shall be taken for the full depth of the layer and shall be of a size approved by the Engineer, but not to exceed one hundred (100) square inches. Tools used for cutting or coring of samples shall be of the revolving blade type such as saw or core drill.

Where samples have been taken, a fresh mixture shall be placed, compacted and finished by the Contractor to conform with the surrounding area. No additional compensation will be allowed for furnishing test samples and replacing the areas with new pavement.

206-50.07 DENSITY See Section 413 for Testing Requirements

206-50.08 SURFACE TOLERANCES The finished surface of the several layers of asphaltic pavement shall conform to the designated grade and cross-section within the following tolerances from grade stakes or other grade reference points set at fifty (50) foot intervals.

	Leveling Course	Binder Course	Surface Course
Maximum deviation from grade and cross section at any point	1/2"	3/8"	1/4"
Maximum variance at any point from a ten foot straight-edge applied to the surface parallel to the centerline	1/2"	3/8"	1/4"

Resurfacing of an old pavement: The top binder course and/or surface course placed over an old pavement shall present a smooth riding surface free from depressions or low areas. The old pavement and base shall be repaired and leveled prior to beginning the placement of plan thickness of hot bituminous material. The finished surface shall be checked for maximum variance in accordance with the tolerances set out below.

The placement of a hot bituminous surface on a prepared base: When the plans show a hot bituminous pavement is to be placed over a previously prepared unpaved base, the Engineer shall be assured that the finished base surface is within reasonable tolerance to receive the planned surface thickness without excessive overrun of hot bituminous material. The unpaved granular base surface shall be smooth, firm, free from depressions or irregularities and compacted to a density of 100%, according to AASHO designation, T-191, or MT-10, Mississippi Modification.

The placing of binder, leveling or surface courses will be tested by the Engineer using a ten (10) foot straight edge at selected locations. The variations of the surface from the testing edge of the straight edge placed parallel to the centerline between any two contacts with the surface shall not exceed 1/2 inch for leveling course, 3/8 inch for binder course, or 1/4 inch for finished surface courses. All humps or depressions exceeding these tolerances shall be corrected by removing defective work and replacing it with new material as directed.

During the finishing and compacting operations of placing the pavement, it shall be the Contractor's responsibility to check the surface progress toward conformance to surface requirements.

The Contractor shall provide a competent workman whose duty it shall be to test the finished surface of the course with a ten (10) foot straight edge in the presence

of the Project Engineer, or his representative, at the time and locations selected by the Engineer or his representative.

Sections or layers or course of pavement exceeding the allowable surface tolerances shall be corrected at the Contractor's expense by methods as follows:

On leveling, or Binder Courses Removal or addition of mixture as necessary on areas requiring correction to conform with surface requirements specified for the corrected layer or course, using skin patching, feather edging, wedge course construction or full course depth patching where appropriate when these types of corrections can be completed in a satisfactory manner.

Superimposing additional layer(s), or course(s), finished to conform with surface requirements specified for the layer or course. Such additional layer(s) or course(s) shall be approved grade raises and extend for the full width of the pavement and for not less than the full length of the area to be corrected.

On Wearing Courses Removal of sufficient mixture and the addition of sufficient satisfactory mixture to provide a minimum thickness of one (1) inch of material finished to conform with the surface requirements specified for the course. By this method, the minimum thickness of one (1) inch of additional mixture shall extend to the full width of the land placed, as determined by the pavement edges and longitudinal joints, and for not less than the full length of the area to be corrected. Transverse joints at the ends of the corrected area(s) shall be perpendicular to the centerline of the lane.

Superimposing additional one (1) inch (minimum thickness) layer(s), or course(s), finished to conform to the surface requirements specified for the layer(s), or course(s). Such additional layer(s) or course(s) shall be approved grade raises and shall extend for the full length of the area to be corrected. Transverse joints at the end of the corrected layer(s) or course(s) shall be made perpendicular to the centerline of the pavement.

When the riding surface is to be accomplished by using a "Skill attached to the asphaltic spreader, the Ski shall be a sufficient length to meet the surface tolerance of 1/4 inch in ten feet as shown above.

When applying an overlay surface course to an existing pavement, the existing riding surface shall be leveled, patched and repaired so that an asphalt spreader equipped with a "Skill may be used to place the thickness of surface course material shown on the plans and in the proposal.

Thickness determinations of the courses placed will be made by the Engineer when density samples are taken and at other selected points to check or control plan requirements.

206-50.09 WIDENING OF BASE OR PAVEMENT OPERATIONS The

foundation required for widening shall be formed by trenching or excavating to the required depth and constructing a smooth, firm, and compacted foundation free of loose and uncompacted material. The completed foundation shall have sufficient density and stability to withstand the placement and compaction of subsequent courses. Soft, yielding or other unsuitable material which the Engineer determines will not compact readily shall be removed and the area shall be backfilled with granular material or hot bituminous mixture as directed.

Excavation for widening and undercutting, including material removed from shoulders, shall be spread along adjacent shoulders and fore-slopes and will be an absorbed item. However, when the quantity is in excess of that which may be used satisfactorily on adjacent areas, the Engineer may direct that the material be loaded, hauled to and spread uniformly on disposal areas selected by the Engineer.

Removal and disposal of old stakes, forms and other debris encountered in excavating shall be considered as incidental to and included in the contract unit prices bid for other items and no separate measurement will be made therefor. Pavement edges and surface shall be cleaned prior to final shaping and compaction of adjacent trenching and undercut areas.

Granular material required for widening shall be placed in accordance with the typical section(s) on a previously smooth, firm and unyielding foundation.

Density of granular material, at the time hot mixture is placed, shall be that specified in Section 405-40.03.

Hot bituminous mixture meeting the requirements for the bituminous plant mixture designated for the superimposed pavement course shall be used to backfill the trench constructed for widening and will be included in the contract quantity for some. The bituminous mixture shall be placed in one or more layers as shown on the plans or directed. The surface of the hot bituminous mixture shall be finished approximately in line with the slope of adjacent in-place pavement.

Trench rollers or other compaction equipment approved by the Engineer shall be used to compact the foundation granular material and hot bituminous mixture for widening when compacting below the plane of the pavement is required.

206-50.10 PATCHING Failed areas of pavement and pavement areas not satisfactorily stabilized shall be removed as directed. Backfill required by

removal of pavement and/or undercutting to remove soft, spongy or other unsuitable material, shall consist of granular material or hot bituminous mixture of the type specified for the superimposed course.

206-50.11 PRELIMINARY PATCHING AND LEVELING Where irregularities on existing base or pavement are such as to result in excessive rolldown differential in subsequent pavement course(s), patching and leveling in advance of the first overall course shall be performed. Such preliminary corrections may include skin-patching, featheredging, or wedge course(s) performed in accordance with the governing specifications. Hot bituminous plant mixture meeting the requirements for the bituminous plant mixture designated for the superimposed pavement course shall be used and will be included in the contract quantity for same.

206-50.12 PLACEMENT OF COURSES The overall leveling course shall be placed in a layer not exceeding (approximately) two and one-half inches compacted thickness.

When single lane construction is required, placement of the overall leveling, binder and surface courses, shall be limited to the distance covered in one and one-half days in advance of that placed in the adjacent lane.

206-50.13 PROTECTION OF PAVEMENT The pavement or base shall be protected and properly maintained until it has hardened sufficiently for use by traffic.

206-50.14 THICKNESS REQUIREMENTS It is the intent of these specifications that hot bituminous pavement courses shall be constructed as nearly in accordance with the thickness(es) indicated by the typical section(s) shown on the plans as the condition of the underlying pavement or foundation and the surface tolerances will permit. Periodic and accumulative yield tests will be made to determine practicable conformity with the intent of the contract with respect to the thickness(es) for each course and combinations of courses of material being placed. The Engineer may, at his discretion, order modifications in placement thickness where such will be advantageous in correcting existing crown or profile or to prevent unwarranted variations in planned quantities of materials used as contemplated in the contract.

207 CULVERTS AND STORM DRAINS

207-10 GENERAL This item shall consist of concrete culverts and storm drains of the type, sizes and dimensions as shown on the plans, furnished and installed at such places as designated by the Engineer, all in accordance with these specifications, and in conformance with the lines and grades as shown on the plans. This item shall include

excavation, backfilling, trench bracing as required, and all fittings required to complete the pipelines.

207-20 MATERIALS

207-20.01 PIPE Pipe 21" in diameter and smaller shall be Extra Strength Concrete Sewer Pipe conforming to ASTM Specification, Designation C-14, latest revision.

Storm drains 24u and larger shall be Reinforced Concrete Culvert Pipe, ASTM Specifications, Designation C-76, Class 11, Wall "B", latest revision.

All pipes shall be new except were stated on the Plans or directed by the Engineer; existing pipe may be re-used. Pipe shall be of the sizes and classes as shown on the plans and in the proposal. All pipes shall be tested and marked in accordance with the above-mentioned ASTM Specifications.

207-20.02 MORTAR Mortar for pipe joints and connections to other drainage structures shall be composed of one part of volume of Portland Cement and two parts to mortar sand. The Portland Cement shall conform to the requirements of ASTM Designation C-150, Type 1. The sand shall conform to the requirements of AASHO Specification M-45. Hydrated lime may be added to the mixture of sand and cement in an amount equal to fifteen percent (15%) of the weight of cement used. Just enough clean, potable water will be added to make the mix of such consistency that it can be easily handled and spread with a trowel. Any mortar that is not used within forty-five (45) minutes after water has been added will be wasted. Re-tempering of mortar will not be permitted.

207-30 CONSTRUCTION METHODS Each pipe shall be set on end and rung before laying, and any pipe found to be cracked or damaged shall be plainly marked in such a manner the marking will not rub or wash off and shall subsequently be removed from the site. Before laying the pipe, the bottom of the trench shall be carefully graded, and prepared and bell holes excavated so that the pipe shall have a uniform support along at least three-quarters (3/4) of its length. All pipes shall be laid with the bell up grade. Each pipe shall be laid to the line and grade given by the Engineer, using batter boards and top lines. Except by special permission, all pipes shall be laid in the presence of an Inspector. Each pipe as laid shall be plumbed for line with a plumb-bob and graded with the grade stick for elevation. The accuracy of the finished line and grade of the pipe shall be obtained in the preparation of the subgrade. Care shall be taken that each spigot is properly centered in the bell of the preceding pipe, and that each pipe is solidly bedded so that the settlement will not subsequently occur. As the work progresses, the interior of the sewer will be cleaned of all dirt and superfluous material of every description.

Laying and backfilling of all sewer lines laid in trenches shall follow the excavation of trenches as closely as practicable. Not more than 400 feet of trench shall be opened in advance of the pipe laying without authorization of the Engineer. Work on sewers crossing the road shall be done in such a manner as to interfere as little as possible with the movement of traffic on the roads. Mortar joints shall be made in the following manner: Before jointing, the lower half of the inside of the bell of the previous joints shall be plastered with a stiff mortar. The spigot shall then be inserted, carefully lifting the pipe so as not to displace the mortar and the annular ring between the spigot and bell thoroughly and filled with mortar. The mortar shall be carefully pressed into place, using a caulking tool, if necessary, to make the joint watertight. Each joint shall be completed with an adequate bevel. Excess mortar extruded in the interior of the pipe shall be removed immediately.

No water shall be permitted to come into contact with mortar joints until the mortar has been placed for a sufficient time to set.

The Contractor shall do such trench bracing, sheathing or shoring as necessary to perform and protect the excavation and shall remove such materials as backfill progresses. The backfill material shall be as approved by the Engineer. Great care shall be used to obtain thorough compaction under and along the sides and to the top of the pipe. Back-fill shall be placed in a loose layer, not exceeding six (6) inches in depth and succeeding layers shall not be placed until thorough compaction has been obtained. Trenches in areas to be paved shall be compacted to 98% standard Proctor density.

208 CURB AND GUTTER

208-10 GENERAL This item shall consist of concrete combined curb and gutter, beader, and turnouts and all poured on the prepared subgrade in one course and in accordance with the sections, dimensions and grades shown on the plans.

208-20 MATERIALS

208-20.01 CONCRETE Concrete for curb and gutter, header and turnouts shall comply with Section 100 of these specifications.

208-20.02 EXPANSION JOINTS Pre-molded joint material for expansion joints shall meet the requirements of one of the following AASHO specifications: M-58, M-59 or M-90.

208-30 CONSTRUCTION METHODS The subgrade upon which these items are constructed shall be compacted to a firm and uniform density and grade. Should the alignment of these items fall along an existing side ditch, all unsuitable material shall be excavated and wasted and the backfill shall be made of selected materials. Subgrade

compaction shall reach at least 98% standard Proctor method density at optimum moisture content.

Pre-molded expansion joints one-half (1/2) inch thick shall be placed at intervals not to exceed thirty (30) feet. The expansion joint material shall fill the full cross section and any protruding material shall be trimmed flush with the surface after the concrete has set. No expansion joint shall be set within the limits of driveways or alley turnouts.

Concrete shall only be poured in forms of steel or wood, free from warp, sufficiently strong to prevent any lateral deflection. Templates shall be set at a maximum spacing of ten (10) feet except in driveways. The concrete shall be placed in the forms to the final depth required and shall be tamped and spaded until it is consolidated, and mortar entirely covers and forms the top surface. The exposed surfaces of the concrete shall be floated smooth, and the edges rounded to the radius shown on the Plans. Before the concrete is given the final finishing the surface shall be tested with a ten-foot straight edge and irregularities of more than one-quarter (1/4) inch in ten (10) feet shall be eliminated.

Curing of the concrete shall be as set up in Section 100 of these specifications.

209INLETS, CATCH BASINS, JUNCTION BOXES AND MANHOLES

209-10 GENERAL This item shall consist of storm water inlets, catch basins, junction boxes, manholes, openings and covers constructed in accordance with these specifications, and in the locations shown and in conformity with the plans. These structures shall include the connection to all existing or new drainage lines, entering or leaving the inlet, junction box or basin. The Contractor shall perform all excavation required for the structure and footing to the required line and grade.

209-20 MATERIALS

209-20.01 CONCRETE Concrete necessary for construction of these items shall be concrete complying with Section 101 of these specifications.

209-20.02 CASTINGS All castings shall be sound gray iron, true to form and dimension and shall be free from inclusions of foreign matter, blow holes and other defects rendering them unsuitable. The bearing surface shall be machine ground to prevent rocking or rattling. Castings may be selected from manufacturer's stock patterns which conform generally to the plans and with the approval of the Engineer prior to purchase. Cuts of costing proposed to be used shall be furnished to the Engineer showing designs, dimensions and weights.

Inlet grates, if so, shown on the plans, shall be fabricated of rod and bar stock as shown on the Plans. After fabrication, the grates shall be cleaned, sealed and painted with two (2) coats of approved bituminous base paint.

409-20.03 BRICK The brick shall have a fine grained, uniform and dense structure, free from lumps of lime, lamination, cracks, checks, soluble salts, or

other defects which may in any way impair their strength, durability, appearance or usefulness for the purpose intended. Bricks shall emit a clear, metallic ring when struck with a hammer.

Grade SW brick for masonry, unless otherwise stipulated, shall conform to the requirements of the Standard Specifications for Building Brick (made from clay or shale) of the AASHTO, Designation M-1 14.

209-20.04 MORTAR Mortar shall be mixed only in quantities required for immediate use. Unless an approved mortar mixing machine is used, the sand and cement shall be mixed dry in a tight box until the mixture assumes a uniform color, after which water shall be added as the mixing continues until the mortar attains the proper consistency.

Mortar which is not used within 45 minutes after water has been added shall be wasted. Re-tempering of mortar will not be permitted.

209-30 CONSTRUCTION METHODS The inlets, catch basins, and junction boxes shall be constructed with tops and bottoms of concrete as specified in detail under the section entitled "Concrete" of these Specifications, and shall be of the dimensions and thicknesses as shown on the Plans. The invert shall be sloped to drain. Inlet and outlet pipes shall be set flush with the wall and with a neat watertight connection. Casting frames as shown on the Plans shall be set true to line and grade and in a mortar bed. The hand tamped backfill shall be performed after the concrete has set. Covers and grates, if called for on the Plans, shall be set so as to be removable.

Brick masonry shall not be constructed in freezing weather or when bricks contain frost, except by written permission of the Engineer and subject to such conditions as he may require.

Brick for exposed surfaces, comers, etc., shall be selected from approved brick as to color and uniformity.

Brick shall be laid upon prepared and approved foundations in accordance with the design indicated on the Plans or as directed. All brick must be thoroughly clean and saturated with water immediately before being laid. They shall be laid in courses and in such a manner as will thoroughly bond them into the freshly made mortar by means of the "shove joint" method; "buttered" or plastered joints will not be permitted. The arrangement of headers and stretchers shall be such as will thoroughly bond the mass, and unless otherwise specified, brick work shall be of alternate headers and stretchers with consecutive courses breaking joints.

All joints shall be completely filled with mortar. They shall not be less than one-quarter (1/4) inch and not more than one-half (1/2) inch in thickness, and the thickness shall be

uniform throughout. All joints shall be finished properly as the work progresses and on exposed walls they shall be neatly struck, using the "weather" joint.

No bats or spans shall be used except for shaping around irregular openings or when unavoidable to finish out a course, in which case full bricks shall be placed at the corners, the bats being placed in the interior course. Filling materials for the interior of the walls shall be of the same quality as used in the face of the unit, unless otherwise indicated on the Plans or directed.

In case any brick is moved, or the joints broken after laying, the brick shall be taken up, the mortar thoroughly cleaned from the brick, bed and joints and the brick re-laid in fresh mortar.

In hot dry weather, brick masonry shall be protected and kept wet for a period of at least forty-eight (48) hours after laying brick.

None but expert bricklayers shall be employed in the work and all details of the construction shall be in accordance with the most approved and satisfactory practice.

All brick masonry shall present on even, uniform, neat and workmanlike appearance and the exposed surfaces shall be thoroughly cleaned of all mortar and scars, leaving a surface of the natural color of the brick.

210 MANHOLE ADJUSTED TO GRADE

210-10 GENERAL This item shall consist of the raising or lowering of existing manholes to grades established by the Engineer.

210-20 MATERIALS Materials for this item shall be similar or equal to those existing.

210-30 CONSTRUCTION METHODS Top elevations of manholes to be changed shall be built up or lowered to the elevations as established by the Engineer. The complete structure shall be true in all details, in size, lines, etc., as was the original. Manhole rims and covers together with all other iron originally installed shall be re-set in the revised structure. Masonry construction shall comply with masonry construction item 409-30 of these Specifications.

211 VALVE BOX ADJUSTED TO GRADE

211-10 GENERAL This item shall consist of raising or lowering of existing valve boxes to the grades established by the Engineer.

211-20 MATERIALS Materials for this item shall be similar or equal to those existing.

211-30 CONSTRUCTION METHODS Top elevations of valve boxes to be changed shall be built up or lowered to the elevation established by the Engineer. The completed structure shall be true in all details as was originally.

406. SEEDING

212-10 GENERAL The work in this section consists of ground preparation, fertilizing and planting designated areas in accordance with the Plans (or by direction) and these Specifications.

212-20 GROUND PREPARATION The ground preparation shall consist of obtaining a well pulverized soil to a depth of from 2" to 4" by an approved method. The surface shall be free of large clods, boulders, stumps or other objectionable material.

If wetting of soil is necessary for proper preparation, the Contractor shall furnish the water and equipment for its application.

212-30 FERTILIZER An approved commercial fertilizer of 12-24-12 mixture shall be applied at the rate prescribed on the bag.

Full strength fertilizer shall not be in contact with grass roots.

212-40 SEEDING A good stand of grass must be established by the Contractor using approved sowing methods and grass seed.

213 Testing Requirements

213-10 Subgrade - Testing requirements include, at a minimum, classification of subgrade soils, determination of Atterberg limits, percent passing No. 200 sieve, optimum moisture content, maximum dry density and in-place field moisture density. Soil classification tests and laboratory moisture-density relationship (Proctor) tests shall be conducted at the beginning of earthwork construction and for every 1000 cu yd placed. **As a minimum, one moisture/density test shall be taken per lift for each 300 ft of roadway or each 2,500 sq ft of parking area.** These quality control tests shall be run by a MDOT Certified Soil Technician. Laboratory tests shall be conducted by a certified laboratory.

213-20 Asphalt Testing requirements include, at a minimum, determination of HMA mixture gradation, total voids, VMA, asphalt content, maximum specific gravity of the HMA mixture, Marshall stability and roadway density tests. These test samples shall be randomly taken at the HMA production plant or at the placement site during production. These quality control tests shall be run by a MDOT Certified Asphalt Technician I. **At least one quality control sample shall be obtained and tested for each 500 tons produced (minimum one per day) or at intervals determined by the City of Gluckstadt.** The Contractor shall report all quality control tests to the City on a daily

basis. While the Contractor is responsible for production quality control of the HMA, the City may obtain and test HMA samples on a random basis during production.

A minimum of five (5) roadway density tests shall be conducted for each day's production. For each day's production found not to meet the density requirement of 92.0 percent of maximum density may remain in place with a reduction in payment as set in the following table.

Payment Schedule for Asphalt Compaction	
Pay Factor	Average Density % of Maximum Density
1.00	92.0 and above
0.90	91.0 - 91.9
0.75	90.0 - 90.9
*	below 90.0

Note (*) - Any day's production or portion thereof with density of less than 90.0 percent maximum density shall be removed and replaced at no additional cost to the City of Gluckstadt or left in place at a pay factor determined by the City of Gluckstadt (50 percent or less).

213-30 Concrete - Testing requirements include, at a minimum, **evaluating the quality of the concrete every 50-cu yd or fraction thereof of concrete placed each day**. The slump, air content and temperature of the concrete mixture shall be evaluated. Compressive strength specimens shall be molded to determine 7- and 28-day strengths. These quality control field tests shall be run by an ACI/MDOT certified field technician. Compressive strength tests shall be conducted by a certified laboratory.

**MATERIAL SUBMITTALS AND
JOB CONTROL SAMPLING AND TESTING**

Section 9, 1B)

LAYER	TESTS	FREQUENCY
Sub-grade	Classification	1000 C. Y.
	Proctor	1000 C. Y.
	Density	300 - 500 ft per layer
	Sub-grade Profile	200 - 500 ft intervals 3 ft depth
	Proof-rolling	Final layer
	Material Submittal	5 days prior to construction
Lime Treated Sub-grade	Proctor	1000 C. Y.
	Proof-rolling	Final layer
	Density	300 - 500 ft per layer
Granular Base	Classification	1000 C. Y.
	Proctor	1000 C. Y.
	Proof-rolling	Final layer
	Density	300 - 500 ft per layer
	Material Submittal	5 days prior to construction
Hot Mix Asphalt	Mix Tests - Extraction - Stability - Voids - Maximum Specific Gravity	1 per 500 tons (minimum 1 per day)
	Density	5 per day
	TSR	1 per 10 days of production
	Mix Design	10 days prior to construction
Concrete	Compressive Strength	50 C. Y. (minimum 1 set per day)
	Air Content	50 C. Y.
	Slump	50 C. Y.
	Temperature	50 C. Y.
	Mix Design	10 days prior to construction

Currently the Standards of Design and Specifications for Subdivisions for the City of Gluckstadt categorizes city streets according to the pavements intended purpose and expected traffic volume. The four classes of city streets, ranging from highest to lowest traffic volumes are arterial streets, collector streets, local streets, and cul-de-sacs. The primary difference in the traffic level categories is the anticipated level of heavy truck traffic and the total number of vehicles over the design life of the pavement. Cul-de-sac and local streets (light duty) are anticipated to carry a very limited amount of heavy truck traffic (i.e., moving van and garbage truck). Collector streets (medium duty) are designed to accommodate a minimal amount of daily heavy truck traffic. Arterial streets (heavy duty) are designated as principal traffic ways and are designed to accommodate moderate to heavy levels of daily heavy truck traffic.

Minimum pavement thicknesses are presented in the following tables for asphalt and concrete pavement sections for each of the city traffic level categories and commercial developments. The minimum pavement thicknesses are valid for typical soil conditions in the Gluckstadt area (CBR=5 and K=150 pci). All pavement thicknesses shall be verified for actual expected traffic volumes and loadings using appropriate design parameters for subgrade soils and pavement structure materials. Pavement sections for heavy traffic streets shall be designed according to anticipated heavy truck volumes to insure adequate structural capacity. Typical curb and gutter sections are shown in Figure 1. Typical asphalt pavement sections are illustrated in Figure 2.

TABLE 1. MINIMUM REQUIREMENTS FOR ASPHALT PAVEMENTS

CITY STREETS

Pavement Layer	THICKNESS (IN)								
	Arterial Street (Heavy Duty)			Collector Street (Medium Duty)			Local Street/ Cul-De-Sac (Light Duty)		
	1	2	3	1	2	3	1	2	3
Asphalt Surface	2	5	5	2	4	4	2	3	3
Bituminous Base	8	---	---	6	---	---	4	---	---
Crushed Limestone	---	10	---	---	8	---	---	6	---
Sand-Clay-Gravel (1)	---	---	14	---	---	12	---	---	9
Lime Treated Sub-grade (2)	8	8	8	8	8	8	8	8	8

Notes:

(1) Sand-clay-gravel base materials only allowed in embankment construction with parallel side ditches-no curb and gutter sections.

(2) Sub-grade soil shall be treated with 6 % hydrated lime by dry weight of soil. Lime treatment shall extend at least 1 foot beyond back of curb.

**TABLE 2. RECOMMENDED MINIMUM REQUIREMENTS
FOR ASPHALT PAVEMENTS
COMMERCIAL DEVELOPMENT**

Pavement Layer	THICKNESS (IN)			
	LIGHT DUTY		HEAVY DUTY	
	1	2	1	2
Asphalt Surface	2	3	3	5
Bituminous Base	4	X	6	---
Crushed Limestone	X	6	X	9
Lime Treated Sub-grade (1)	8	8	8	8

Note:

(1) Sub-grade soil shall be treated with 6 % hydrated lime by dry weight of soil. Lime treatment shall extend at least 1 foot beyond back of curb.

**TABLE 3. MINIMUM REQUIREMENTS FOR
CONCRETE PAVEMENTS**

Traffic Category	THICKNESS (IN)		
	Concrete	Subbase (1)	Lime Treated Subgrade
Arterial Street	8.0	6.0	8.0
Collector Street	6.0	6.0	8.0
Local Street	5.0	X	8.0
Cul-de-sac	5.0	X	8.0
Light duty-commercial	5.0	X	8.0
Heavy duty-commercial	7.0	6.0	8.0

Note:

- (1) Sub-base material - No. 610 limestone.
- (2) Sub-grade soil shall be treated with 6 percent hydrated lime by dry weight of soil. Lime treatment shall extend at least 1 foot beyond back of curb.

**TABLE 4. CRUSHED LIMESTONE
AGGREGATE SUBBASE MATERIAL**

Crushed Stone Gradation Limits	
Sieve Size	% Passing
1 1/2"	100
1"	90 – 100
3/4"	70 – 100
2"	62 – 90
3/8"	50 – 80
#4	40 – 65
#40	12 – 26
#200	5 – 12

DIVISION 300
PAVEMENT REPAIRS AND EROSION CONTROL

INDEX

301	General
301-10	Description
302	Materials
302-10	Seed
302-20	Fertilizer
302-30	Clay Gravel
302-40	Asphalt
302-50	Concrete
303	Execution
303-10	Seeding and Fertilizing
303-20	Clay Gravel Installation
303-30	Asphalt Pavement Installation
303-40	Concrete Installation

DIVISION 300**DETAILED SPECIFICATIONS - PAVEMENT REPAIRS AND EROSION CONTROL**301 - GENERAL301-10 DESCRIPTION

301-10.01 Work under this item shall include the replacement of various types of pavements and seeding and fertilizing operations at the locations shown on the plans and as described herein. Such work shall include ground surface preparation, blading, harrowing, furnishing seed and fertilizer, watering, compacting, pavement replacement, repairing and other items as may be subsidiary to the completion of the work.

301-10.02 Work done under this item will generally be related to, associated with and completed following the installation of streets, sidewalks, walking trails and/or water, sewer, storm sewer, or other utility improvements along or across roadways, driveways, right-of-ways, easements and other routes as may be designated by the Engineer or shown on the plans.

301-10.03 All work shall be done to the extent directed by the Engineer to the Owner's satisfaction.

302 - MATERIALS302-10 SEED

302-10.01 All seeds shall meet the requirements of the Seed Laws of the State of Mississippi and shall be tested in accordance with the U.S.D.A. guidelines. The seed shall be delivered in bags or containers bearing seed certification tags and other identification showing percent germination and purity of the seed.

302-10.02 Bermuda seed shall be common, hulled, fresh, clean, new crop seed testing at least 95% for purity and 90% for germination.

302-10.03 Rye grass seed shall be fresh, clean, new crop seed testing at least 95% for purity and 90% for germination.

302-20 FERTILIZER

302-20.01 All fertilizer shall be an approved commercial grade containing nitrogen, phosphorus and potash and shall be delivered accompanied by identification of the brand and grade being furnished. Fertilizer may be furnished in bulk, in bags or

302-20.02 Unless otherwise specified, fertilizer shall be dry granular grade 13- 13-13 (triple thirteen) containing equal parts of nitrogen, phosphorus and potash, respectively.

302-30 CLAY GRAVEL

302-30.01 Clay gravel shall consist of a natural or artificial mixture of uncrushed gravel coarse aggregate, sand or granular material and soil binder composed of silt and clay or other minerals having a satisfactory cementing value. Clay gravel shall be produced by mining and mixing selected materials found in suitable natural deposits or in lieu thereof, by combining mixtures of gravel, coarse aggregate, sand or granular material and soil binder in the proper proportions.

302-30.02 Clay gravel utilized on the project shall meet the gradation, liquid limit and plasticity tests specified by the Engineer.

302-40 ASPHALT

302-40.01 All materials for asphalt paving and related work shall comply with Mississippi Standard Specification for Road and Bridge Construction, MSHD, Latest English Units Edition including all current special provisions as follows:

1. Base course - Section 301
2. Tack coat - Section 407
3. Binder course - Section 403
4. Surface Course - Section 403

302-40.02 Asphalt materials utilized in the project shall be Type BB-1 base course, Type BC-1 binder course and Type SC-1 Type VIII surface course, as specified on the Proposal or indicated on the plans.

302-50 CONCRETE

302-50.01 All materials for concrete paving and related work shall comply with the Mississippi Standard Specifications for Road and Bridge Construction, Latest English Units Edition, as follows:

1. Fine Aggregate - Section 703.01-B (2)
2. Coarse Aggregate - Section 703, Size 467
3. Portland Cement - Section 701, Type I
4. Water - Section 714.01

302-50.02 Portland cement concrete utilized in the project shall have a minimum 28-day compressive strength and a maximum slump specified herein for the particular purposes desired.

303 - EXECUTION

303-10 SEEDING AND FERTILIZING

303-10.01 The area to be planted shall be disced and prepared to a depth of at least four (4) inches. The specified amount of fertilizer shall be applied uniformly over the surface and harrowed lightly so that it will be incorporated into the upper two (2) inches of the soil. If the soil is not moist, it shall be watered until it is in workable condition. The completed area to be planted shall present a smooth, uniform surface true to line and cross section.

Planting shall follow immediately.

303-10.02 Seeding shall be completed at a rate of 10 LBS/Acre unless otherwise specified.

303-10.03 Fertilized shall be completed at a rate of 500 LBS/Acre unless otherwise specified.

303-20 CLAY GRAVEL INSTALLATION

303-20.01 Clay gravel shall be installed for the width of the drive or roadway disturbed during the construction to a depth of at least one (1) foot below the top of the original ground for the width of the trench opened.

303-20.02 Clay gravel shall be deposited in 6" lifts and compacted with mechanical tampers to at least 95% maximum density.

303-30 ASPHALT PAVEMENT INSTALLATION

303-30.01 Asphalt pavement repairs shall be made for the length of the open cut in the drive or roadway at such widths as may be necessary to remove broken or disturbed pavement along each side of the trench.

303-30.02 Asphalt pavement shall be deposited on a prepared subgrade of in place or select materials compacted to 95% maximum density with mechanical tampers.

303-30.03 Pavement replacement shall consist of placement of a 6" base course and 2" surface course unless otherwise specified, which shall be finished to the grade elevation of the existing pavement.

303-30.04 Asphalt utilized in pavement repairs shall be surface course, Type SC- 1 Type VIII unless otherwise approved by the Engineer.

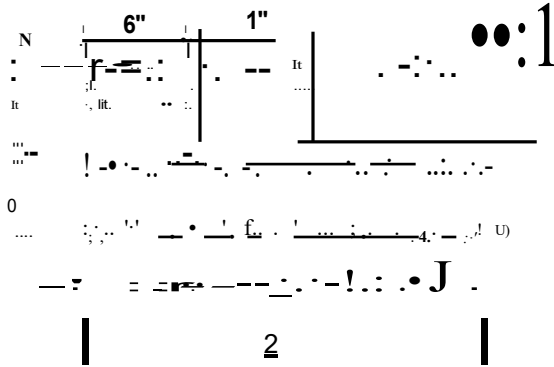
303-40 CONCRETE PAVEMENT INSTALLATION

303-40.01 Concrete pavement repairs shall be made for the length of the open cut in the drive or roadway at such width as may be necessary to remove broken or disturbed pavement along each side of the trench.

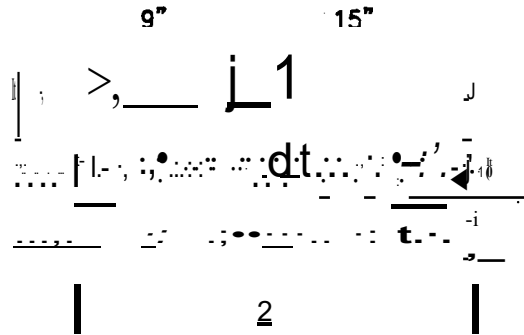
303-40.02 Concrete pavement shall be deposited on a prepared subgrade of in- place or select materials compacted to 95% maximum density with mechanical tampers.

303-40.03 Pavement replacement shall consist of placement of a 2 2" concrete base unless otherwise specified, which shall be finished to the grade elevation of the existing pavement.

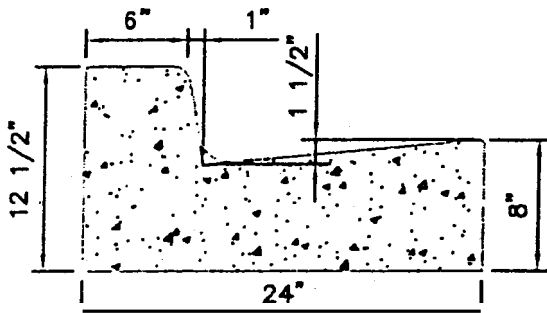
303-40.04 Concrete utilized in pavement repairs shall be 2000 PSI Portland cement concrete with a maximum slump of 5 inches unless otherwise approved by the Engineer.



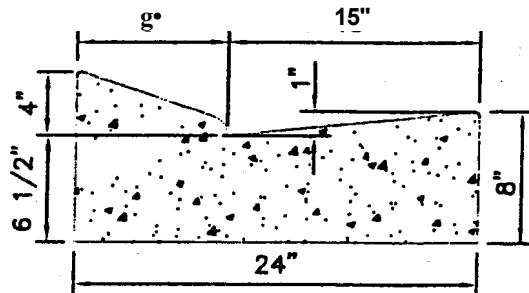
TYPE I CURB AND GUTTER
6" BASE



TYPE II CURB AND GUTTER
6" BASE



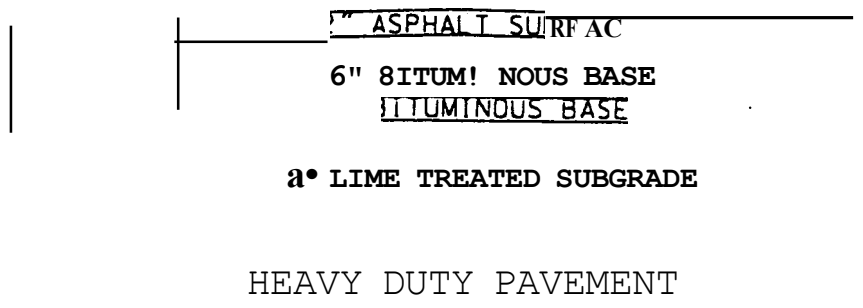
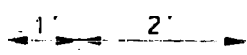
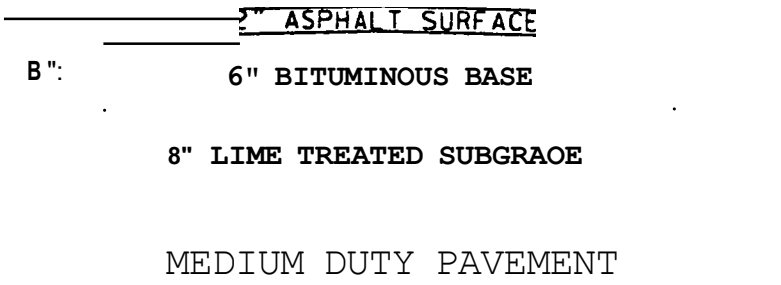
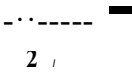
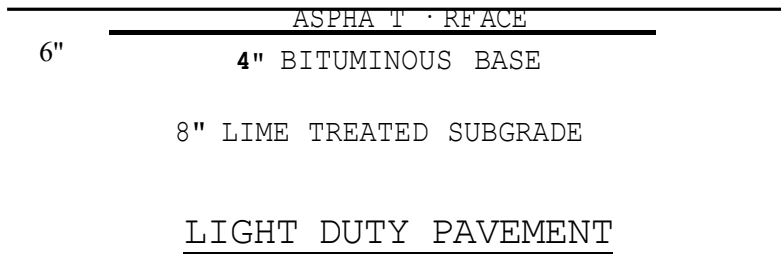
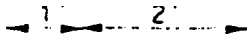
TYPE I CURB AND GUTTER
8" BASE



TYPE II CURB AND GUTTER
8" BASE

TYPICAL CURB AND GUTTER SECTIONS

JOB NO. 02591 | SCALE: N.T.S. I FIGURE 1



TYPICAL ASPHALT PAVEMENT SECTIONS

BURNS COOLEY DENNIS, INC.
551 SUNNYBROOK ROAD
GLUCKSTADT, MISSISSIPPI 39157

SUBDIVISION DEVELOPMENT PERMIT

CITY OF GLUCKSTADT, MISSISSIPPI

SUBDIVISION NAME: _____ APPLICATION DATE: _____
DEVELOPER NAME: _____ CONTACT: _____
ADDRESS: _____ CITY, STATE ZIP: _____
TELEPHONE: _____ FAX: _____
EMAIL: _____ CELL: _____
PROPERTY DESCRIPTION: _____ Acres located in the _____ ¼ of the _____ ¼ of Section _____, T _____, R _____

CONSTRUCTION APPROVAL – REQUIRED PRIOR TO CONSTRUCTION:

- 1. Preliminary Plat Approval _____, 20
- 2. Land Disturbance Plan Approval _____, 20
- 3. Construction Plans Approval:
 - a. By City Engineer _____, 20
 - b. By Bureau of Pollution Control _____, 20
 - c. By MS State Dept of Health _____, 20
 - d. By City Attorney _____, 20

THIS PERMIT APPLICATION SUBMITTED HEREWITH BY:

DATE: _____
DEVELOPER OR DEVELOPER'S AGENT

APPROVAL FOR CONSTRUCTION GRANTED BY:

DATE: _____ DATE: _____
PUBLIC WORKS DIRECTOR PLANNING & ZONING OFFICIAL

NOTE: No work shall commence on the above referenced subdivision prior to receiving the approval of the City of Gluckstadt's Engineer or Public Works Director. Failure to adhere to this requirement will constitute a violation of the City of Gluckstadt's Subdivision Regulations.

FINAL PLAT APPROVAL:

Inspector

- 1. Final Inspection & Punch List _____, 20 Initials _____
- 2. Reinspection _____, 20 Initials _____
- 3. Final Certification _____, 20 Initials _____
 - Letter to City from Developer's Engineer
- 4. Final Approval Letter _____, 20 Initials _____
 - From Bureau of Pollution Control
- 5. Final Approval Letter _____, 20 Initials _____
 - From MS State Dept of Health
- 6. Bond Amount Submitted for Final Paving _____, 20 Initials _____
- 7. Dev. Review Fees: No. of Lots X \$ _____ = _____, 20 Initials _____
- 8. Special Assessments: X \$ _____ = _____, 20 Initials _____
- 9. As-Built Plans Received: _____, 20 Initials _____
- 10. Street Signs Received: _____, 20 Initials _____
- 11. Two (2) Good Water Samples Received: _____, 20 Initials _____
- 12. Water Meter Boxes Received # _____, 20 Initials _____
- 13. Board Approval Of Final Plat _____, 20 Initials _____

RECOMMENDED FOR APPROVAL

DATE: _____
PUBLIC WORKS DIRECTOR

DATE: _____
PLANNING & ZONING OFFICIAL



CITY OF GLUCKSTADT

MISSISSIPPI

PUBLIC WORKS DEPARTMENT

MEMORANDUM

TO: Mayor & Board of Alderman

FROM: Chris Buckner, Public Works Director

DATE: 7/2/2024

SUBJECT: Request for Approval of Cooperation Agreement with Madison County for Stout Rd Maintenance

Public Works is requesting the Board to approve the Cooperation Agreement with Madison County for the patching, paving and continuing maintenance of Stout Rd. Madison County has agreed to the regular maintenance of Stout Rd until December 30, 2027 due to the heavy construction traffic associated with a couple developments within the County coming through a portion of Stout Rd within the City. If needed, this mutual agreement can be extended upon agreement by both parties.

If you have any concerns, please contact me.

COOPERATION AGREEMENT BETWEEN MADISON COUNTY, MISSISSIPPI, AND THE CITY OF GLUCKSTADT, MISSISSIPPI, REGARDING THE PATCHING, PAVING AND CONTINUING MAINTENANCE OF THAT PORTION OF "STOUT ROAD" LYING WITHIN THE MUNICIPAL LIMITS OF GLUCKSTADT WITH SAID PAVING ACTIVITES BEING COMPLETED BY COUNTY

This Cooperation Agreement, (the "Agreement") is made and entered into by and between the City of Gluckstadt, Mississippi, a municipal corporation organized and existing under the laws of the State of Mississippi (the "City"), and Madison County, Mississippi, a political subdivision of the State of Mississippi (the "County"), on the date set forth hereinafter.

RECITALS:

WHEREAS, the City and County agree, find and determine as follows:

1. In addition to any words and terms elsewhere defined herein, the following words and terms shall have the following meanings, unless some other meaning is plainly intended:

"City" shall mean the City of Gluckstadt, Mississippi.

"County" shall mean Madison County, Mississippi.

"Project shall mean the paving of and improvement to certain roads as specified within Exhibit "A", namely that portion of Stout Road that lies within the municipality of City, but which traverses the joint jurisdictions of City and County.

2. The governing authorities of the City and County desire to mutually enter an effort to achieve the most efficient and economic use of their powers and resources, and to enable them to enhance the general welfare of the City and County and the citizens of each, through the improvements as specified herein.
3. This Agreement which provides for improvements and maintenance of a portion of Stout Road shall terminate on December 30, 2027, and could be extended by mutual agreement of the governing authorities in office at that time.
4. In mutual recognition that the damage to the subject portion of Stout Road has occurred, over time, by heavy traffic precipitated by construction activities permitted and approved by County, City and County have agreed that County shall conduct the work

necessary to patch and pave the specified road within City, through the direct and continued use of County labor and equipment. It has been determined that the public interest would best be served by entering this arrangement as specified in the Agreement.

5. It is necessary for the City and County to enter into this Agreement to enable the County to proceed with the Project with a clear understanding and commitment as to the nature of City's participation by City and County.
6. The County agrees to assume the work necessary to undertake the Project. The County agrees to maintain the area of Stout Road that is the subject of this Agreement. City agrees to provide traffic control to facilitate the safe and expeditious completion of work done by County, on an as-needed basis. City will also monitor the anticipated deterioration of Stout Road and agrees to alert County when said repairs are needed. It is estimated that the expenses associated with the Project will be up to a maximum of One Hundred Thousand Dollars (\$100,000.00.)
7. It is in the best interests of the citizens of City, that City would enter and execute the Agreement.
8. It is in the best interests of the citizens of County, that County would enter and execute the Agreement.

NOW, THEREFORE, FOR AND INCONSIDERATION OF THE ABOVE AND THE MUTUAL BENEFITS ACCRUING TO THE CITY AND COUNTY, THE CITY AND COUNTY DO HEREBY AGREE AS FOLLOWS:

Section 1. Duration: This Agreement shall be in force and effect until terminated in accordance with the provisions of Section 3 herein.

Section 2. Purpose: The purpose of this Agreement is to define the respective responsibilities of the City and County, as regards the financing and completion of the Project, as defined above.

Section 3. Organization and Statutory Authority. There will be no separate legal or administrative entity created pursuant to this Agreement. The City is authorized by §21-37-3 MS Code of 1972 (Annotated), and the County is authorized by §19-3-41 MS Code of 1972 (Annotated), as well as by §65-7-85 MS Code of 1972 9 (Annotated), to exercise and to carry out the powers, authorities, and responsibilities to be exercised by each of them pursuant to the terms of this Cooperative Agreement. The authority for City and County to enter into this Cooperative Agreement is discussed within MS AG Op., Davis (December 27, 2005.)

Section 4. Financing, Staffing and Supplying. The Project will be undertaken by the County, using labor and equipment provided by County. No reimbursement or financial contribution other than expenses incident to "traffic control" and monitoring will be required of City. County acknowledges that the damage to that portion of Stout Road, which is the subject of this Agreement, occurs primarily due to the permitting authority of County, for development activities within the County, and the heavy construction traffic that results therefrom which crosses onto an area of Stout Road, lying within the municipality of City. It is estimated that One Hundred Thousand Dollars (\$100,000.00), reasonably represents costs to be incurred in performance of work necessary to accomplish the Project. The Project, including regular maintenance will continue until December 30, 2007, and can be extended by mutual agreement of the parties at that time.

Section 5. Termination, Disposition or Property. This Agreement will terminate on December 30, 2027. At the termination of the Agreement, any property and/or equipment owned by the City and County, respectively, shall remain their property. Due to the nature of the Agreement, it is anticipated that there will be no surplus funds or property to be disposed of when the work has been completed.

Section 7. Amendment. This Agreement may be amended at any time by the mutual consent of City and County, by an agreement entered into by the parties.

Section 8. Effective Date. This Agreement will be effective as of the date it is approved by the respective governing bodies of the City and County, and upon the action by both bodies to place the Cooperative Agreement upon the minutes of each participating body. The initial term of this Agreement shall commence on the effective date hereof and extend through completion of the Project.


WITNESS the signatures of the duly authorized officers of the City and County, on this the

1 day of July 2024.

For: CITY OF
GLUCKSTADT, MISSISSIPPI:

Walter C. Morrison IV
Mayor

For: MADISON COUNTY, MISSISSIPPI

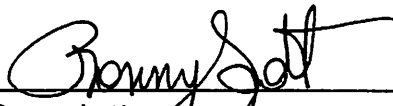


Gerald Steen, President
Board of Supervisors

ATTEST:

City Clerk

ATTEST:



Ronny Lott
Chancery Clerk



EXHIBIT "A"

PROJECT DESCRIPTION:

The Project shall consist of patching, paving and improvements to that portion of Stout Road that lies within the City of Gluckstadt comprising a cost of up to One Hundred Thousand Dollars (\$100,000.00)

MAYOR

Walter C. Morrison, IV

CITY CLERK

Lindsay Kellum

POLICE CHIEF

Barry Hale

**MUNICIPAL COURT
CLERK**

Stephanie Gerlach

**PLANNING & ZONING
ADMIN./BUILDING
DEPT.**

William Hall

PUBLIC WORKS

Chris Buckner

CITY OF GLUCKSTADT
MISSISSIPPI



**343 DISTRIBUTION DRIVE
GLUCKSTADT, MS 39110**

ALDERMEN

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

MEMORANDUM

To: Mayor & Board of Alderman
From: Barry Hale, Police Chief
Date: July 09, 2024
Subject: General Update, Police Department

The Police Chief will provide a brief update on the below police department matters.

Items:

- Stats (Tickets)
- Arrests
- Accidents Worked
- Warrants Served
- New Police Building
- Training

MAYOR

Walter C. Morrison, IV

CITY CLERK

Lindsay Kellum

POLICE CHIEF

Barry Hale

**MUNICIPAL COURT
CLERK**

Stephanie Gerlach

**PLANNING & ZONING
ADMIN./BUILDING
DEPT.**

William Hall

PUBLIC WORKS

Chris Buckner

**CITY OF GLUCKSTADT
MISSISSIPPI**



**343 DISTRIBUTION DRIVE
GLUCKSTADT, MS 39110**

ALDERMEN

Miya Bates

Jayce Powell

Wesley Slay

John Taylor

Lisa Williams

MEMORANDUM

To: Mayor & Board of Alderman

From: Barry Hale, Police Chief

Date: July 02, 2024

Subject: Requesting approval for the Gluckstadt Police Department to enter an MOU with the Mississippi Department of Transportation.

I'm requesting the Mayor and Board of Alderman approve the Gluckstadt Police Department to enter an MOU with the Mississippi Department of Transportation. This MOU will be for the permits of three Flock Safety LPR cameras to be placed on U.S.51 in the City of Gluckstadt.

Sincerely,

Chief Barry W. Hale



MEMORANDUM OF UNDERSTANDING
BETWEEN
THE MISSISSIPPI TRANSPORTATION COMMISSION
AND

Wicksburg Police Dept. of Wicksburg, MISSISSIPPI
(List the Municipal, County, or State Agency)

This Memorandum of Understanding (“Agreement”) is made and entered into by and between the Mississippi Transportation Commission (“COMMISSION”), a body corporate of the State of Mississippi, acting by and through the duly-authorized Executive Director of the Mississippi Department of Transportation (“MDOT”), and the (Wicksburg Police Dept.) (“Local Agency”), effective as of the date of latest execution below.

WITNESSTH:

WHEREAS, the COMMISSION, through MDOT, is charged with the construction and maintenance of the State Highway System; and

WHEREAS, pursuant to Section 65-1-8 of the Miss. Code Ann. (1972), the COMMISSION is further charged with making proper and reasonable rules and regulations for the removal of any form of obstruction from the public rights-of-way, and reserves the authority to remove any and all unauthorized obstructions from said rights-of-way; and

WHEREAS, the Local Agency is a duly-elected or appointed governmental organization for the above-named jurisdiction and is responsible for the placement and maintenance of **Automatic License Plate Readers (ALPR)** or other permanently mounted law enforcement devices including but not limited to those provided through the Department of Homeland Security; and

WHEREAS, the Local Agency is desirous of placing a ALPR on MDOT rights-of-way and agrees to assume all responsibility for the safety of its employees and/or agents working within said rights-of-way; and

WHEREAS, the COMMISSION is a body corporate under the laws of the State of Mississippi, and is authorized to enter into this Agreement under the provisions of Section 65-1-8 of the Miss. Code Ann. (1972), and the Local Agency and the COMMISSION desire to set forth more fully the understandings of the parties by which this will be accomplished.

NOW, THEREFORE, for and in consideration of the stated premises and of the mutual promises contained herein, the Local Agency and COMMISSION do agree as follows:

I. DUTIES AND RESPONSIBILITIES

A. THE LOCAL AGENCY:

1. Provide MDOT through the District Office with all required permit documents that include but are not limited to the following:
 - a. Provide MDOT with half-scale plans signed by a licensed professional Engineer in the State of Mississippi depicting all aspects of the ALPR hardware proposed for installation including a separate electrical power source and separate cabinet installation;
 - b. Provide MDOT with a Traffic Control Plan as well as administer the placement of all temporary traffic control devices in accordance with Part 6 of the Manual On Uniform Traffic Control Devices (MUTCD) that are necessary for the work within the right of way necessary for the installation, repair, or removal of the ALPR;
2. Notify the MDOT designee in writing within a minimum of one (1) week prior to installation or removal of an ALPR in order to coordinate MDOT's inspection of the work;

B. THE COMMISSION:

1. Upon notification from the Local Agency of an intended installation of an ALPR, MDOT District personnel, upon consultation with the appropriate MDOT support Divisions, will advise the Local Agency designee as to any safety or operational or roadway infrastructure concerns that may result in required actions to be taken by the Local Agency to mitigate these concerns or the denial of the ALPR at the requested location if the identified concerns cannot be mitigated;
2. Inspect as directed, installation, repair, and removal activities for the ALPR;
3. Verify proper placement of all traffic control devices as soon as practical; and
4. Designate an MDOT employee as the point of contact to receive notifications of installation, repair, or removal activities by the Local Agency.

II. NOTICE AND DESIGNATED AGENTS

The COMMISSION executes its orders and directives through MDOT. All notices and correspondence with the COMMISSION shall be directed to the designated agent shown below. Similarly, all notices and correspondence with the Local Agency shall be directed to the agent shown below. All notices and correspondence shall be considered delivered upon receipt at the locations or telephone numbers listed below. All modifications to this Agreement must be submitted in writing through the designated

agents and signed by the parties before they can take effect. Oral agreements cannot serve to modify this Agreement. The designated agents for the parties are:

COMMISSION:

Telephone:
Facsimile:

Local Agency:

*Chickasaw Police Dept.
242 Distribution Drive
Chickasaw, MS 39110
764-567-2713*

Telephone:
Facsimile:

III. GENERAL PROVISIONS

1. The relationship of the Local Agency to the COMMISSION is that of an independent contractor, and the Local Agency covenants and agrees that it and its employees will neither hold themselves out as, or claim to be, officers or employees of the COMMISSION or MDOT by reason hereof. The Local Agency and its employees and officials will not, by reason hereof, make any claim, demand, or application for any right or privilege applicable to an officer or employee of the COMMISSION or MDOT, including but not limited to workers' compensation coverage, unemployment insurance benefits, social security coverage, or any form of tax withholding.
2. All contracts and subcontracts shall include a provision for compliance with the Mississippi Employment Protection Act, codified at Section 71-11-3 of the Mississippi Code of 1972, as amended, and any rules or regulations promulgated by the Commission, the Department of Employment Security, the State Tax Commission, the Secretary of State, or the Department of Human Services in accordance with the Mississippi Administrative Procedures Law (Section 25-43-1, *et seq.*, Mississippi Code of 1972, as amended) regarding compliance with the Act. Under this Act, the Local Agency and every contractor or subcontractor employed by the Local Agency shall register with and participate in a federal work authorization program operated by the United States Department of Homeland Security to electronically verify information of newly hired employees pursuant to the Immigration Reform and Control Act of 1986, Pub.L.99-603, 100 Stat. 3359, as amended.
3. The COMMISSION shall not be a party to any contract or subcontract entered into by the Local Agency, other than this Agreement.

4. The ALPR shall remain the sole and exclusive property of the Local Agency. No provision of this Agreement is intended, nor shall it be construed, to grant any right, title, or interest to the ALPR to the COMMISSION or MDOT or any person or entity not a signatory hereto except as described in this Agreement.

IV. AMENDMENTS

This Agreement may be amended in writing as mutually agreed upon by the parties.

V. SEVERABILITY

Should any provision of this Agreement be found to be unconstitutional, or otherwise be contrary to the laws of the State of Mississippi or United States of America, to the extent that it is reasonably possible to do so, the remainder of this Agreement shall remain in full force and effect.

VI. TERMINATION OF AGREEMENT

This Agreement may be immediately terminated upon the written notification by the Executive Director of MDOT to the Local Agency authorized designee.

VII. LIABILITY

The COMMISSION in executing this Agreement shall not be held responsible for any damage, which may be caused or inadvertently done to the ALPR regardless of the source or cause of any such damage. The Local Agency agrees to assume and accepts all responsibility for the safety of the traveling public during installation, removal, and maintenance of the ALPR and/or any and all traffic control devices described under this Agreement.

The Local Agency does hereby covenant and agree to indemnify and hold harmless the COMMISSION and MDOT from and against any claims, actions, suits, causes, or demands, including court costs and reasonable attorney's fees, proximately resulting from acts or omissions of the Local Agency, or any servants, agents or employees of the Local Agency in the installation, repair, or removal of the ALPR as well as any and all traffic control devices described in the Agreement.

VIII. AUTHORITY TO CONTRACT

The undersigned hereby execute this Memorandum of Understanding and assure that the authority to execute this Agreement has been granted by the appropriate governing bodies.

SO EXECUTED AND AGREED THIS ____ DAY OF _____, 20__.

THE LOCAL AGENCY

By: _____
(*Insert Title*)

SO EXECUTED AND AGREED THIS ____ DAY OF _____, 20__.

**MISSISSIPPI TRANSPORTATION
COMMISSION, by and through the duly
authorized Executive Director**

Brad White, Executive Director
Mississippi Department of Transportation
Book _____ Page _____

MND-004
Rev. 2011

PERMIT NO. _____

Applicant Contact Name: Gluckstadt P.O.
Applicant Contact Phone #: 769-567-2213

**MISSISSIPPI DEPARTMENT OF TRANSPORTATION
APPLICATION FOR PERMIT TO LOCATE CERTAIN FACILITIES
ON OR TO PERFORM CERTAIN WORK ON STATE
HIGHWAY RIGHT OF WAY**

(Please Print) Name: <u>Gluckstadt Police Department</u>		Address: <u>343 Distribution Drive</u>	
	Company (or) Individual	Street/Route	
<u>Gluckstadt</u>	<u>Madison</u>	<u>Mississippi</u>	<u>39110</u>
City	County	State	Zip Code

herein called the applicant, who does hereby make application to the Mississippi Department of Transportation, the duly authorized agent for the Mississippi Transportation Commission, for permission to _____ install one solar-powered automatic license plate reader along MSDOT right-of-way _____ on or across

Highway No. 51 between Twin Cedars Dr and Gross Rd

Latitude (decimal degrees) 32.50227168471527 Longitude (decimal degrees) -90.09032155258419

in Madison County, Mississippi and in consideration of this permit being granted, said applicant does hereby agree to perform the above work in accordance with the plan shown herein below and does further agree, with full understanding of the terms thereof, to the following provisions:

- (a) That the Mississippi Department of Transportation does not purport to grant to said applicant any right, title, claim or easement in or upon said highway or right-of-way appurtenant thereto.
- (b) The plan of the proposed work or facility set out below or attached hereto is incorporated herein by reference and made a part of this application as if fully described herein by words and figures.
- (c) It is agreed that this permit is void if all work shown on this plan is not completed in accordance with this plan within one year after date of approval.
- (d) It is agreed that no trees or shrubs on the highway right-of-way will be cut, trimmed, or damaged during the process of the proposed work or maintenance of this work or facility except as shown on the plan.
- (e) All sod disturbed by the proposed work shall be neatly dressed and grassed in accordance with the vegetation schedule outlined elsewhere in this permit. The applicant shall maintain the dressed and grassed area for a sufficient length of time to insure a growing sod.
- (f) The applicant is responsible for any conflicts with other utilities on the highway right-of-way and is to secure permission from said utilities for any necessary alterations.
- (g) The Mississippi Department of Transportation may at any time require and compel the removal or relocation of any facility herein described, shown or referred to, when said Mississippi Department of Transportation deems it necessary. All expense of said removal or relocation is to be borne exclusively by the applicant, and the Mississippi Department of Transportation is to be in no way liable.
- (h) The applicant accepts the responsibility of the safety of the traveling public and his/her workers and agrees to furnish, place and maintain traffic control devices, if required, in accordance with Part 6 of the Manual On Uniform Traffic Control Devices For Streets and Highways (MUTCD), Current Edition as a minimum. The applicant shall attach a special traffic control plan to the application if special traffic control details are required.
- (i) All work associated with this permit shall be designed, detailed and constructed in accordance with the Department's Roadway and Bridge Design Manuals and Standard Drawings and the Mississippi Standard Specifications for Road and Bridge Construction.
- (j) The Mississippi Department of Transportation in granting this permit does not in any way assume the maintenance or upkeep of the facility or proposed improvement herein described. Nor, will the Mississippi Department of Transportation be held responsible for any damage, which may be inadvertently done to this facility or proposed improvement regardless of the source or cause of such damage.
- (k) A copy of the approved plan is to be kept at the site of the work at all times while work is in progress.
- (l) Said applicant hereby expressly agrees for himself, his heirs, assigns and legal representatives, that upon request of said Mississippi Department of Transportation, he will without delay either reconstruct, remove or move the facility herein described to another location, all in accordance with the terms of the request so made by the said Mississippi Department of Transportation. It is distinctly understood that said new location will be made or designated by said Mississippi Department of Transportation after agreement with said applicant or its successors, if possible. It is further understood and agreed that, if this permit is granted and acted upon by the said applicant, the said Mississippi Department of Transportation will use all reasonable effort to avoid the necessity of requesting that the herein mentioned facility be removed, moved, altered, or reconstructed.

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Rev. 2011

PERMIT NO. _____

(m.) The applicant does hereby covenant and agree to indemnify and hold harmless the Mississippi Transportation Commission and the Mississippi Department of Transportation from and against any claims, actions, suits, causes or demands, including court costs and reasonable attorney's fees, proximately resulting from acts or omissions of the applicant, or applicant's servants, agents or employees in the construction and maintenance of all facilities outlined under this permit.

Witness my signature this 28 day of June 2024, which is applicable to sheets 1 through _____ of permit number _____.

Signature of Applicant
By: Barry Hale Police Chief
Printed Name and Title

STATE OF MISSISSIPPI
COUNTY OF MADISON

Personally appeared before me, the undersigned authority, Barry Hale whose
Printed Name of Applicant

names(s) 15 subscribed to this instrument as the POLICE CHIEF of
is/are Title of Applicant

GLUCKSTADT POLICE DEPARTMENT who having been first fully sworn acknowledged that they
Name of Company (or) Individual

executed the above agreement as the act and deed of the said applicant for the purpose and consideration and in the capacity therein expressed and on the date above written.

Given under my hand and seal of office this the 2 day of July 2024

My Commission Expires



Signature of Notary Officer

Field Inspection By: _____ 20____

Approved: MISSISSIPPI DEPARTMENT OF TRANSPORTATION

Deputy Executive Director/Chief Engineer

By: _____ 20____

Installation Inspection By: _____ 20____

Page ____ of ____

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PERMIT NO. _____

Mississippi Department of Transportation
Completion of Work Certification

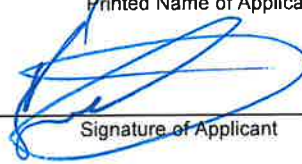
This permit requires that the named applicant submit the following certification with signature(s) and insure proper filing with MDOT's District Permit Department before the permit is closed and all associated bonds are released:

Permit Representative's signature(s) acknowledges the following:

We/(I), certify that the requirements of this permit have been constructed as stated in the approved final permit. Furthermore, no work performed as an exercise of the approved permit, has been relocated or altered without such change being shown on an approved revision of the permit or approved addenda thereto.

Benny Hark

Printed Name of Applicant



Signature of Applicant

**MEMORANDUM OF UNDERSTANDING
BETWEEN
THE MISSISSIPPI TRANSPORTATION COMMISSION**

AND
Cluckstadt Police Dept. of Cluckstadt, MISSISSIPPI
(List the Municipal, County, or State Agency)

This Memorandum of Understanding ("Agreement") is made and entered into by and between the Mississippi Transportation Commission ("COMMISSION"), a body corporate of the State of Mississippi, acting by and through the duly-authorized Executive Director of the Mississippi Department of Transportation ("MDOT"), and the (Cluckstadt Police Dept.) ("Local Agency"), effective as of the date of latest execution below.

WITNESSTH:

WHEREAS, the COMMISSION, through MDOT, is charged with the construction and maintenance of the State Highway System; and

WHEREAS, pursuant to Section 65-1-8 of the Miss. Code Ann. (1972), the COMMISSION is further charged with making proper and reasonable rules and regulations for the removal of any form of obstruction from the public rights-of-way, and reserves the authority to remove any and all unauthorized obstructions from said rights-of-way; and

WHEREAS, the Local Agency is a duly-elected or appointed governmental organization for the above-named jurisdiction and is responsible for the placement and maintenance of **Automatic License Plate Readers (ALPR)** or other permanently mounted law enforcement devices including but not limited to those provided through the Department of Homeland Security; and

WHEREAS, the Local Agency is desirous of placing a ALPR on MDOT rights-of-way and agrees to assume all responsibility for the safety of its employees and/or agents working within said rights-of-way; and

WHEREAS, the COMMISSION is a body corporate under the laws of the State of Mississippi, and is authorized to enter into this Agreement under the provisions of Section 65-1-8 of the Miss. Code Ann. (1972), and the Local Agency and the COMMISSION desire to set forth more fully the understandings of the parties by which this will be accomplished.

NOW, THEREFORE, for and in consideration of the stated premises and of the mutual promises contained herein, the Local Agency and COMMISSION do agree as follows:

I. DUTIES AND RESPONSIBILITIES

A. THE LOCAL AGENCY:

1. Provide MDOT through the District Office with all required permit documents that include but are not limited to the following:
 - a. Provide MDOT with half-scale plans signed by a licensed professional Engineer in the State of Mississippi depicting all aspects of the ALPR hardware proposed for installation including a separate electrical power source and separate cabinet installation;
 - b. Provide MDOT with a Traffic Control Plan as well as administer the placement of all temporary traffic control devices in accordance with Part 6 of the Manual On Uniform Traffic Control Devices (MUTCD) that are necessary for the work within the right of way necessary for the installation, repair, or removal of the ALPR;
2. Notify the MDOT designee in writing within a minimum of one (1) week prior to installation or removal of an ALPR in order to coordinate MDOT's inspection of the work;

B. THE COMMISSION:

1. Upon notification from the Local Agency of an intended installation of an ALPR, MDOT District personnel, upon consultation with the appropriate MDOT support Divisions, will advise the Local Agency designee as to any safety or operational or roadway infrastructure concerns that may result in required actions to be taken by the Local Agency to mitigate these concerns or the denial of the ALPR at the requested location if the identified concerns cannot be mitigated;
2. Inspect as directed, installation, repair, and removal activities for the ALPR;
3. Verify proper placement of all traffic control devices as soon as practical; and
4. Designate an MDOT employee as the point of contact to receive notifications of installation, repair, or removal activities by the Local Agency.

II. NOTICE AND DESIGNATED AGENTS

The COMMISSION executes its orders and directives through MDOT. All notices and correspondence with the COMMISSION shall be directed to the designated agent shown below. Similarly, all notices and correspondence with the Local Agency shall be directed to the agent shown below. All notices and correspondence shall be considered delivered upon receipt at the locations or telephone numbers listed below. All modifications to this Agreement must be submitted in writing through the designated

agents and signed by the parties before they can take effect. Oral agreements cannot serve to modify this Agreement. The designated agents for the parties are:

COMMISSION:

Telephone:
Facsimile:

Local Agency:

Waltham Police Dept.
348 Distribution Drive
Waltham, MS 39110
769-567-2313

Telephone:
Facsimile:

III. GENERAL PROVISIONS

1. The relationship of the Local Agency to the COMMISSION is that of an independent contractor, and the Local Agency covenants and agrees that it and its employees will neither hold themselves out as, or claim to be, officers or employees of the COMMISSION or MDOT by reason hereof. The Local Agency and its employees and officials will not, by reason hereof, make any claim, demand, or application for any right or privilege applicable to an officer or employee of the COMMISSION or MDOT, including but not limited to workers' compensation coverage, unemployment insurance benefits, social security coverage, or any form of tax withholding.
2. All contracts and subcontracts shall include a provision for compliance with the Mississippi Employment Protection Act, codified at Section 71-11-3 of the Mississippi Code of 1972, as amended, and any rules or regulations promulgated by the Commission, the Department of Employment Security, the State Tax Commission, the Secretary of State, or the Department of Human Services in accordance with the Mississippi Administrative Procedures Law (Section 25-43-1, *et seq.*, Mississippi Code of 1972, as amended) regarding compliance with the Act. Under this Act, the Local Agency and every contractor or subcontractor employed by the Local Agency shall register with and participate in a federal work authorization program operated by the United States Department of Homeland Security to electronically verify information of newly hired employees pursuant to the Immigration Reform and Control Act of 1986, Pub.L.99-603, 100 Stat. 3359, as amended.
3. The COMMISSION shall not be a party to any contract or subcontract entered into by the Local Agency, other than this Agreement.

4. The ALPR shall remain the sole and exclusive property of the Local Agency. No provision of this Agreement is intended, nor shall it be construed, to grant any right, title, or interest to the ALPR to the COMMISSION or MDOT or any person or entity not a signatory hereto except as described in this Agreement.

IV. AMENDMENTS

This Agreement may be amended in writing as mutually agreed upon by the parties.

V. SEVERABILITY

Should any provision of this Agreement be found to be unconstitutional, or otherwise be contrary to the laws of the State of Mississippi or United States of America, to the extent that it is reasonably possible to do so, the remainder of this Agreement shall remain in full force and effect.

VI. TERMINATION OF AGREEMENT

This Agreement may be immediately terminated upon the written notification by the Executive Director of MDOT to the Local Agency authorized designee.

VII. LIABILITY

The COMMISSION in executing this Agreement shall not be held responsible for any damage, which may be caused or inadvertently done to the ALPR regardless of the source or cause of any such damage. The Local Agency agrees to assume and accepts all responsibility for the safety of the traveling public during installation, removal, and maintenance of the ALPR and/or any and all traffic control devices described under this Agreement.

The Local Agency does hereby covenant and agree to indemnify and hold harmless the COMMISSION and MDOT from and against any claims, actions, suits, causes, or demands, including court costs and reasonable attorney's fees, proximately resulting from acts or omissions of the Local Agency, or any servants, agents or employees of the Local Agency in the installation, repair, or removal of the ALPR as well as any and all traffic control devices described in the Agreement.

VIII. AUTHORITY TO CONTRACT

The undersigned hereby execute this Memorandum of Understanding and assure that the authority to execute this Agreement has been granted by the appropriate governing bodies.

SO EXECUTED AND AGREED THIS ____ DAY OF _____, 20__.

THE LOCAL AGENCY

By: _____
(*Insert Title*)

SO EXECUTED AND AGREED THIS ____ DAY OF _____, 20__.

**MISSISSIPPI TRANSPORTATION
COMMISSION, by and through the duly
authorized Executive Director**

Brad White, Executive Director
Mississippi Department of Transportation
Book _____ Page _____

MND-004
Rev. 2011

PERMIT NO. _____

Applicant Contact Name: Gluckstadt P. O.
Applicant Contact Phone #: 769-567-2312

**MISSISSIPPI DEPARTMENT OF TRANSPORTATION
APPLICATION FOR PERMIT TO LOCATE CERTAIN FACILITIES
ON OR TO PERFORM CERTAIN WORK ON STATE
HIGHWAY RIGHT OF WAY**

(Please Print) Name: <u>Gluckstadt Police Department</u>		Address: <u>343 Distribution Drive</u>	
	Company (or) Individual	Street/Route	
<u>Gluckstadt</u>	<u>Madison</u>	<u>Mississippi</u>	<u>39110</u>
City	County	State	Zip Code

herein called the applicant, who does hereby make application to the Mississippi Department of Transportation, the duly authorized agent for the Mississippi Transportation Commission, for permission to _____ install one solar-powered automatic license plate reader along MSDOT right-of-way _____ on or across

Highway No. 51 between W Sowell Rd and E Sowell Rd

Latitude (decimal degrees) 32.54080127126819, Longitude (decimal degrees) -90.07051219534249

in Madison County, Mississippi and in consideration of this permit being granted, said applicant does hereby agree to perform the above work in accordance with the plan shown herein below and does further agree, with full understanding of the terms thereof, to the following provisions:

- (a) That the Mississippi Department of Transportation does not purport to grant to said applicant any right, title, claim or easement in or upon said highway or right-of-way appurtenant thereto.
- (b) The plan of the proposed work or facility set out below or attached hereto is incorporated herein by reference and made a part of this application as if fully described herein by words and figures.
- (c) It is agreed that this permit is void if all work shown on this plan is not completed in accordance with this plan within one year after date of approval.
- (d) It is agreed that no trees or shrubs on the highway right-of-way will be cut, trimmed, or damaged during the process of the proposed work or maintenance of this work or facility except as shown on the plan.
- (e) All sod disturbed by the proposed work shall be neatly dressed and grassed in accordance with the vegetation schedule outlined elsewhere in this permit. The applicant shall maintain the dressed and grassed area for a sufficient length of time to insure a growing sod.
- (f) The applicant is responsible for any conflicts with other utilities on the highway right-of-way and is to secure permission from said utilities for any necessary alterations.
- (g) The Mississippi Department of Transportation may at any time require and compel the removal or relocation of any facility herein described, shown or referred to, when said Mississippi Department of Transportation deems it necessary. All expense of said removal or relocation is to be borne exclusively by the applicant, and the Mississippi Department of Transportation is to be in no way liable.
- (h) The applicant accepts the responsibility of the safety of the traveling public and his/her workers and agrees to furnish, place and maintain traffic control devices, if required, in accordance with Part 6 of the Manual On Uniform Traffic Control Devices For Streets and Highways (MUTCD), Current Edition as a minimum. The applicant shall attach a special traffic control plan to the application if special traffic control details are required.
- (i) All work associated with this permit shall be designed, detailed and constructed in accordance with the Department's Roadway and Bridge Design Manuals and Standard Drawings and the Mississippi Standard Specifications for Road and Bridge Construction.
- (j) The Mississippi Department of Transportation in granting this permit does not in any way assume the maintenance or upkeep of the facility or proposed improvement herein described. Nor, will the Mississippi Department of Transportation be held responsible for any damage, which may be inadvertently done to this facility or proposed improvement regardless of the source or cause of such damage.
- (k) A copy of the approved plan is to be kept at the site of the work at all times while work is in progress.
- (l) Said applicant hereby expressly agrees for himself, his heirs, assigns and legal representatives, that upon request of said Mississippi Department of Transportation, he will without delay either reconstruct, remove or move the facility herein described to another location, all in accordance with the terms of the request so made by the said Mississippi Department of Transportation. It is distinctly understood that said new location will be made or designated by said Mississippi Department of Transportation after agreement with said applicant or its successors, if possible. It is further understood and agreed that, if this permit is granted and acted upon by the said applicant, the said Mississippi Department of Transportation will use all reasonable effort to avoid the necessity of requesting that the herein mentioned facility be removed, moved, altered, or reconstructed.

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Rev. 2011

PERMIT NO. _____

(m.) The applicant does hereby covenant and agree to indemnify and hold harmless the Mississippi Transportation Commission and the Mississippi Department of Transportation from and against any claims, actions, suits, causes or demands, including court costs and reasonable attorney's fees, proximately resulting from acts or omissions of the applicant, or applicant's servants, agents or employees in the construction and maintenance of all facilities outlined under this permit.

Witness my signature this 28 day of June 2024, which is applicable to sheets 1 through _____ of permit number _____.

Signature of Applicant
By: Barry Hale Police Chief
Printed Name and Title

STATE OF MISSISSIPPI
COUNTY OF MADISON

Personally appeared before me, the undersigned authority, BARRY HALE whose
Printed Name of Applicant

names(s) 15 subscribed to this instrument as the _____ of
is/are _____ Title of Applicant

GLUCKSTADT POLICE DEPARTMENT
Name of Company (or) Individual

who having been first fully sworn acknowledged that they

executed the above agreement as the act and deed of the said applicant for the purpose and consideration and in the capacity therein expressed and on the date above written.

Given under my hand and seal of office this the 2 day of July 2024

My Commission Expires



Signature of Notary Officer

Field Inspection By: _____ 20____

Approved: MISSISSIPPI DEPARTMENT OF TRANSPORTATION

Deputy Executive Director/Chief Engineer

By: _____ 20____

Installation Inspection By: _____ 20____

Page ____ of ____

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Rev. 2011

PERMIT NO. _____

Mississippi Department of Transportation
Completion of Work Certification

This permit requires that the named applicant submit the following certification with signature(s) and insure proper filing with MDOT's District Permit Department before the permit is closed and all associated bonds are released:

Permit Representative's signature(s) acknowledges the following:

We/(I), certify that the requirements of this permit have been constructed as stated in the approved final permit. Furthermore, no work performed as an exercise of the approved permit, has been relocated or altered without such change being shown on an approved revision of the permit or approved addenda thereto.

Barry Hale

Printed Name of Applicant



Signature of Applicant

**MEMORANDUM OF UNDERSTANDING
BETWEEN
THE MISSISSIPPI TRANSPORTATION COMMISSION
AND**

Cluckstet Police Dept. of Cluckstet, MISSISSIPPI
(List the Municipal, County, or State Agency)

This Memorandum of Understanding ("Agreement") is made and entered into by and between the Mississippi Transportation Commission ("COMMISSION"), a body corporate of the State of Mississippi, acting by and through the duly-authorized Executive Director of the Mississippi Department of Transportation ("MDOT"), and the (Cluckstet Police Dept.) ("Local Agency"), effective as of the date of latest execution below.

WITNESSTH:

WHEREAS, the COMMISSION, through MDOT, is charged with the construction and maintenance of the State Highway System; and

WHEREAS, pursuant to Section 65-1-8 of the Miss. Code Ann. (1972), the COMMISSION is further charged with making proper and reasonable rules and regulations for the removal of any form of obstruction from the public rights-of-way, and reserves the authority to remove any and all unauthorized obstructions from said rights-of-way; and

WHEREAS, the Local Agency is a duly-elected or appointed governmental organization for the above-named jurisdiction and is responsible for the placement and maintenance of **Automatic License Plate Readers (ALPR)** or other permanently mounted law enforcement devices including but not limited to those provided through the Department of Homeland Security; and

WHEREAS, the Local Agency is desirous of placing a ALPR on MDOT rights-of-way and agrees to assume all responsibility for the safety of its employees and/or agents working within said rights-of-way; and

WHEREAS, the COMMISSION is a body corporate under the laws of the State of Mississippi, and is authorized to enter into this Agreement under the provisions of Section 65-1-8 of the Miss. Code Ann. (1972), and the Local Agency and the COMMISSION desire to set forth more fully the understandings of the parties by which this will be accomplished.

NOW, THEREFORE, for and in consideration of the stated premises and of the mutual promises contained herein, the Local Agency and COMMISSION do agree as follows:

I. DUTIES AND RESPONSIBILITIES

A. THE LOCAL AGENCY:

1. Provide MDOT through the District Office with all required permit documents that include but are not limited to the following:
 - a. Provide MDOT with half-scale plans signed by a licensed professional Engineer in the State of Mississippi depicting all aspects of the ALPR hardware proposed for installation including a separate electrical power source and separate cabinet installation;
 - b. Provide MDOT with a Traffic Control Plan as well as administer the placement of all temporary traffic control devices in accordance with Part 6 of the Manual On Uniform Traffic Control Devices (MUTCD) that are necessary for the work within the right of way necessary for the installation, repair, or removal of the ALPR;
2. Notify the MDOT designee in writing within a minimum of one (1) week prior to installation or removal of an ALPR in order to coordinate MDOT's inspection of the work;

B. THE COMMISSION:

1. Upon notification from the Local Agency of an intended installation of an ALPR, MDOT District personnel, upon consultation with the appropriate MDOT support Divisions, will advise the Local Agency designee as to any safety or operational or roadway infrastructure concerns that may result in required actions to be taken by the Local Agency to mitigate these concerns or the denial of the ALPR at the requested location if the identified concerns cannot be mitigated;
2. Inspect as directed, installation, repair, and removal activities for the ALPR;
3. Verify proper placement of all traffic control devices as soon as practical; and
4. Designate an MDOT employee as the point of contact to receive notifications of installation, repair, or removal activities by the Local Agency.

II. NOTICE AND DESIGNATED AGENTS

The COMMISSION executes its orders and directives through MDOT. All notices and correspondence with the COMMISSION shall be directed to the designated agent shown below. Similarly, all notices and correspondence with the Local Agency shall be directed to the agent shown below. All notices and correspondence shall be considered delivered upon receipt at the locations or telephone numbers listed below. All modifications to this Agreement must be submitted in writing through the designated

agents and signed by the parties before they can take effect. Oral agreements cannot serve to modify this Agreement. The designated agents for the parties are:

COMMISSION:

Telephone:
Facsimile:

Local Agency:

*Wichita Police Dept
342 Distribution Drive
Wichita KS 67210
769-567-2313*

Telephone:
Facsimile:

III. GENERAL PROVISIONS

1. The relationship of the Local Agency to the COMMISSION is that of an independent contractor, and the Local Agency covenants and agrees that it and its employees will neither hold themselves out as, or claim to be, officers or employees of the COMMISSION or MDOT by reason hereof. The Local Agency and its employees and officials will not, by reason hereof, make any claim, demand, or application for any right or privilege applicable to an officer or employee of the COMMISSION or MDOT, including but not limited to workers' compensation coverage, unemployment insurance benefits, social security coverage, or any form of tax withholding.
2. All contracts and subcontracts shall include a provision for compliance with the Mississippi Employment Protection Act, codified at Section 71-11-3 of the Mississippi Code of 1972, as amended, and any rules or regulations promulgated by the Commission, the Department of Employment Security, the State Tax Commission, the Secretary of State, or the Department of Human Services in accordance with the Mississippi Administrative Procedures Law (Section 25-43-1, *et seq.*, Mississippi Code of 1972, as amended) regarding compliance with the Act. Under this Act, the Local Agency and every contractor or subcontractor employed by the Local Agency shall register with and participate in a federal work authorization program operated by the United States Department of Homeland Security to electronically verify information of newly hired employees pursuant to the Immigration Reform and Control Act of 1986, Pub.L.99-603, 100 Stat. 3359, as amended.
3. The COMMISSION shall not be a party to any contract or subcontract entered into by the Local Agency, other than this Agreement.

4. The ALPR shall remain the sole and exclusive property of the Local Agency. No provision of this Agreement is intended, nor shall it be construed, to grant any right, title, or interest to the ALPR to the COMMISSION or MDOT or any person or entity not a signatory hereto except as described in this Agreement.

IV. AMENDMENTS

This Agreement may be amended in writing as mutually agreed upon by the parties.

V. SEVERABILITY

Should any provision of this Agreement be found to be unconstitutional, or otherwise be contrary to the laws of the State of Mississippi or United States of America, to the extent that it is reasonably possible to do so, the remainder of this Agreement shall remain in full force and effect.

VI. TERMINATION OF AGREEMENT

This Agreement may be immediately terminated upon the written notification by the Executive Director of MDOT to the Local Agency authorized designee.

VII. LIABILITY

The COMMISSION in executing this Agreement shall not be held responsible for any damage, which may be caused or inadvertently done to the ALPR regardless of the source or cause of any such damage. The Local Agency agrees to assume and accepts all responsibility for the safety of the traveling public during installation, removal, and maintenance of the ALPR and/or any and all traffic control devices described under this Agreement.

The Local Agency does hereby covenant and agree to indemnify and hold harmless the COMMISSION and MDOT from and against any claims, actions, suits, causes, or demands, including court costs and reasonable attorney's fees, proximately resulting from acts or omissions of the Local Agency, or any servants, agents or employees of the Local Agency in the installation, repair, or removal of the ALPR as well as any and all traffic control devices described in the Agreement.

VIII. AUTHORITY TO CONTRACT

The undersigned hereby execute this Memorandum of Understanding and assure that the authority to execute this Agreement has been granted by the appropriate governing bodies.

SO EXECUTED AND AGREED THIS ____ DAY OF _____, 20__.

THE LOCAL AGENCY

By: _____
(*Insert Title*)

SO EXECUTED AND AGREED THIS ____ DAY OF _____, 20__.

**MISSISSIPPI TRANSPORTATION
COMMISSION, by and through the duly
authorized Executive Director**

Brad White, Executive Director
Mississippi Department of Transportation
Book _____ Page _____

MND-004
Rev. 2011

PERMIT NO. _____

Applicant Contact Name: Gluckstadt P.D.
Applicant Contact Phone #: 269-567-2313

**MISSISSIPPI DEPARTMENT OF TRANSPORTATION
APPLICATION FOR PERMIT TO LOCATE CERTAIN FACILITIES
ON OR TO PERFORM CERTAIN WORK ON STATE
HIGHWAY RIGHT OF WAY**

(Please Print) Name: <u>Gluckstadt Police Department</u>		Address: <u>343 Distribution Drive</u>	
	Company (or) Individual	Street/Route	
<u>Gluckstadt</u>	<u>Madison</u>	<u>Mississippi</u>	<u>39110</u>
City	County	State	Zip Code

herein called the applicant, who does hereby make application to the Mississippi Department of Transportation, the duly authorized agent for the Mississippi Transportation Commission, for permission to _____ install one solar-powered automatic license plate reader along MSDOT right-of-way _____ on or across

Highway No. 51 between W Sowell Rd and Church Rd
Latitude (decimal degrees) 32.5380890327727 Longitude (decimal degrees) -90.07173378079376

in Madison County, Mississippi and in consideration of this permit being granted, said applicant does hereby agree to perform the above work in accordance with the plan shown herein below and does further agree, with full understanding of the terms thereof, to the following provisions:

- (a) That the Mississippi Department of Transportation does not purport to grant to said applicant any right, title, claim or easement in or upon said highway or right-of-way appurtenant thereto.
- (b) The plan of the proposed work or facility set out below or attached hereto is incorporated herein by reference and made a part of this application as if fully described herein by words and figures.
- (c) It is agreed that this permit is void if all work shown on this plan is not completed in accordance with this plan within one year after date of approval.
- (d) It is agreed that no trees or shrubs on the highway right-of-way will be cut, trimmed, or damaged during the process of the proposed work or maintenance of this work or facility except as shown on the plan.
- (e) All sod disturbed by the proposed work shall be neatly dressed and grassed in accordance with the vegetation schedule outlined elsewhere in this permit. The applicant shall maintain the dressed and grassed area for a sufficient length of time to insure a growing sod.
- (f) The applicant is responsible for any conflicts with other utilities on the highway right-of-way and is to secure permission from said utilities for any necessary alterations.
- (g) The Mississippi Department of Transportation may at any time require and compel the removal or relocation of any facility herein described, shown or referred to, when said Mississippi Department of Transportation deems it necessary. All expense of said removal or relocation is to be borne exclusively by the applicant, and the Mississippi Department of Transportation is to be in no way liable.
- (h) The applicant accepts the responsibility of the safety of the traveling public and his/her workers and agrees to furnish, place and maintain traffic control devices, if required, in accordance with Part 6 of the Manual On Uniform Traffic Control Devices For Streets and Highways (MUTCD), Current Edition as a minimum. The applicant shall attach a special traffic control plan to the application if special traffic control details are required.
- (i) All work associated with this permit shall be designed, detailed and constructed in accordance with the Department's Roadway and Bridge Design Manuals and Standard Drawings and the Mississippi Standard Specifications for Road and Bridge Construction.
- (j) The Mississippi Department of Transportation in granting this permit does not in any way assume the maintenance or upkeep of the facility or proposed improvement herein described. Nor, will the Mississippi Department of Transportation be held responsible for any damage, which may be inadvertently done to this facility or proposed improvement regardless of the source or cause of such damage.
- (k) A copy of the approved plan is to be kept at the site of the work at all times while work is in progress.
- (l) Said applicant hereby expressly agrees for himself, his heirs, assigns and legal representatives, that upon request of said Mississippi Department of Transportation, he will without delay either reconstruct, remove or move the facility herein described to another location, all in accordance with the terms of the request so made by the said Mississippi Department of Transportation. It is distinctly understood that said new location will be made or designated by said Mississippi Department of Transportation after agreement with said applicant or its successors, if possible. It is further understood and agreed that, if this permit is granted and acted upon by the said applicant, the said Mississippi Department of Transportation will use all reasonable effort to avoid the necessity of requesting that the herein mentioned facility be removed, moved, altered, or reconstructed.

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PERMIT NO. _____

(m.) The applicant does hereby covenant and agree to indemnify and hold harmless the Mississippi Transportation Commission and the Mississippi Department of Transportation from and against any claims, actions, suits, causes or demands, including court costs and reasonable attorney's fees, proximately resulting from acts or omissions of the applicant, or applicant's servants, agents or employees in the construction and maintenance of all facilities outlined under this permit.

Witness my signature this 28 day of June 2024, which is applicable to sheets 1 through _____ of permit number _____.


Signature of Applicant
By: Barry Hale Police Chief
Printed Name and Title

STATE OF MISSISSIPPI
COUNTY OF MADISON

Personally appeared before me, the undersigned authority, Barry Hale whose
Printed Name of Applicant
names(s) is subscribed to this instrument as the Police Chief of
is/are Title of Applicant
Gluckstadt Police Department who having been first fully sworn acknowledged that they
Name of Company (or) Individual

executed the above agreement as the act and deed of the said applicant for the purpose and consideration and in the capacity therein expressed and on the date above written.

Given under my hand and seal of office this the 2 day of July 2024

My Commission Expires _____


Signature of Notary Officer

Field Inspection By: _____ 20____

Approved: MISSISSIPPI DEPARTMENT OF TRANSPORTATION

Deputy Executive Director/Chief Engineer

By: _____ 20____

Installation Inspection By: _____ 20____

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Rev. 2011

PERMIT NO. _____

Mississippi Department of Transportation
Completion of Work Certification

This permit requires that the named applicant submit the following certification with signature(s) and insure proper filing with MDOT's District Permit Department before the permit is closed and all associated bonds are released:

Permit Representative's signature(s) acknowledges the following:

We/(I), certify that the requirements of this permit have been constructed as stated in the approved final permit. Furthermore, no work performed as an exercise of the approved permit, has been relocated or altered without such change being shown on an approved revision of the permit or approved addenda thereto.

Ramy Hale

Printed Name of Applicant



Signature of Applicant

**Timeline for Permanent Power
Gluckstadt Police Department and Municipal Court**

1. Entergy was first contacted on 8-23 by David Bearden (Shivers Electric) to notify them of the project. Zack Thrasher was the contact person. (Exhibit A)
2. Entergy installed temporary power to the site on 11-23, therefore Entergy well aware of the project.
3. We were notified by Entergy on 5-24 that the transformer was in Entergy's yard.
4. We received the transformer pad layout from Entergy on 5-24. The concrete pad layout must accommodate the specific transformer supplied by Entergy.
5. Transformer pad was poured on 5-29-24.
6. Inspections by the electrical engineer and city for the above ceiling electrical work was done approximately on 5-16-24. This is required by Entergy.
7. On 5/24, we were told that Zack Thrasher was no longer handling the project and William Youngblood was the contact person.
8. Benchmark requested permanent power on 6-3-24. Our original schedule shows permanent power on 6-10-24 to 6-12-24. (Exhibit B)
9. Although a permanent meter is always requested by the owner, the city told Benchmark that we must apply for permanent power on 6-10-24.
10. Shortly thereafter we were told that it would be 6 weeks to install the permanent power due to storms in Louisiana and Texas.

Additional Information

1. Permanent power cannot be requested until the building is safe for installation.
2. The electrical engineer makes the determination of when we can request permanent power.
3. The transformer pad has to be in place before the transformer is put in.
4. The building has to be in a condition that it is safe for permanent power, which includes, but not limited to placement of permanent electrical panels.

Although the transformer is earmarked for Benchmark, we have no control over the transformer itself. It belongs to Entergy and will always belong to Entergy. I mention this in case Entergy decides that it may go elsewhere due to some emergency over which Benchmark has no control.

If anyone from the city has a connection with Entergy, it would be helpful.

The importance of the installation of the transformer/permanent power is due to the fact that certain finishes cannot be undertaken until there is a climate-controlled environment. This includes, but is not limited to millwork, floor covering, and wall finishes.

EXHIBIT A

Chris Deupree

From: David Bearden <david.bearden@shiversconstruction.com>
Sent: Tuesday, June 25, 2024 1:25 PM
To: Chris Deupree
Cc: David Bearden
Subject: Entergy

Chris here are the time frames you asked about

1st contact with Entergy (Zack Thrasher) Starting the process of a new project – 8/23
Easement signing delays from city resolved - 11/23
Requested Transformer pad layout from Entergy, Found out Zack T was no longer our contact – 5/24
Telephone conversation stating transformer was in and received pad layout - 5/24
Was told that William Youngblood was new contact, contacted via email - 6/24
Met with William on site 6/19/24 was told Entergy is 4-6 weeks out due to recent weather causing construction delays.

David Bearden
Member/Project Manager
Shivers Electrical

Cell - 601-278-4280
david.bearden@shiversconstruction.com

EXHIBIT B

Task Mode	Task Name	Duration	Start	Finish	Predecessors	July	August
140	Toilet Floors	5.56 wks	Mon 5/13/24	Wed 6/19/24	142,144,47,48	7/2	7/9
145	Permanent Power	3 days	Mon 6/10/24	Wed 6/12/24	129	7/2	7/9
153	Frame Ceilings	5 days	Mon 5/27/24	Fri 5/31/24	144,149,44	7/2	7/9
155	Set Plumbing Fixtu	2 wks	Wed 6/19/24	Wed 7/3/24	149,71,72,152	7/2	7/9
146	Install Toilet Part/Access	1 wk	Wed 7/3/24	Wed 7/10/24	153,55,56	7/2	7/9
147	Lay in Lights	2 wks	Mon 6/3/24	Fri 6/14/24	145,79	7/2	7/9
148	Lay in HVAC	2 wks	Mon 6/3/24	Fri 6/14/24	145,75,76	7/2	7/9
154	Controlled Air Millwork	6 days	Thu 6/13/24	Thu 6/20/24	140,136	7/2	7/9
156	Lay-in Ceiling	4 wks	Fri 6/21/24	Thu 7/18/24	148,17,18,65	7/2	7/9
158	Hang Doors	10 days	Mon 6/17/24	Fri 6/28/24	146,147,45,140	7/2	7/9
159	Trim Electrical	2 wks	Mon 6/17/24	Fri 6/28/24	147,31,32,33,140	7/2	7/9
160	Flooring	25 days	Mon 6/17/24	Fri 6/28/24	146	7/2	7/9
161	Marker Boards, Lockers, FX: Interview Stool & Benches	1 wk	Mon 7/1/24	Fri 8/2/24	156,49,50,51,148	7/2	7/9
162	Install Roller Shade	1 wk	Mon 8/5/24	Fri 8/9/24	157,61,62	7/2	7/9
163	Final Paint	15 days	Mon 8/5/24	Fri 8/23/24	64,157	7/2	7/9
164	Site Finishes	37 days	Fri 7/26/24	Tue 9/17/24	144,148,156,158,	7/2	7/9
165	Curb and Gutter	5 days	Fri 7/26/24	Fri 8/2/24	127	7/2	7/9
166	Base Asphalt	2 wks	Fri 8/2/24	Fri 8/16/24	165,89	7/2	7/9
170	Install Fencing	2 wks	Fri 8/2/24	Fri 8/16/24	165,90	7/2	7/9

Project: Gluckstadt Police Station
Date: Tue 6/25/24

Task	Inactive Summary	External Tasks
Split	Manual Task	External Milestone
Milestone	Duration-only	Deadline
Summary	Manual Summary Rollup	Critical
Project Summary	Manual Summary	Critical Split
Inactive Task	Start-only	Progress
Inactive Milestone	Finish-only	Manual Progress