



GEORGIA VERMONT

DRB MEETING

Tuesday, July 02, 2024 at 7:00 PM
Chris Letourneau Meeting Room and via Zoom

Agenda

Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWLzVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. **CALL TO ORDER - 7:00 PM**
2. **ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA**
3. **PUBLIC HEARINGS**
 - [A.](#) Site Plan Application, Preschool & Yurt (SP-003-24) for Desiree Vatter & Karen Bouthillette
 - [B.](#) Variance Application for Setbacks (VAR-001-24) for William & Michelle Orosz
4. **APPROVAL OF MINUTES**
 - [A.](#) June 4, 2024
5. **OTHER BUSINESS**
 - [A.](#) Northwest Vermont Solid Waste Management Decision Letter
6. **PLAN NEXT MEETING AGENDA**
 - A. July 16, 2024
7. **DELIBERATIONS**
8. **ADJOURN**

Posted to the Town website, four designated places within the Town of Georgia (Town Clerk's Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.

Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com

**Site Plan Review
Private Preschool with Yurt
SP-003-24**

Owner: Desiree Vatter & Karen Bouthillette 1551 Mill River Road Georgia, VT 05478	Applicant: Desiree Vatter & Karen Bouthillette 1551 Mill River Road Georgia, VT 05478
Surveyor/Engineer:	Property Tax Parcel & Location: 1551 Mill River Road Georgia, VT 05478 Parcel#110400000 Zoning District: AR-2

BACKGROUND

Desiree Vatter & Karen Bouthillette, hereafter referred to as Applicant, is requesting Site Plan Review for a private preschool with yurt on her home property. The parcel is located at 1551 Mill River Road, Georgia, VT 05478, within the AR-2 Residential zoning district. The original parcel is ±1.5 acres in size, benefitted by ±200 ft of frontage along Mill River Road.

Applicant proposes the addition of a 30-foot yurt to be located on the property and within proper setbacks for the purpose of housing the private preschool. A proposed parking lot with spaces for six (6) cars will serve the existing home and preschool.

COMMENTS

General Site Plan Review Requirements

1. **Dimensional Requirements.** The dimensional requirements of the AR-2 Zoning District are as follows: Lot frontage of 150 feet; front setbacks of 75 feet; side setbacks of 25 feet and rear setbacks of 25 feet.
2. **Site Plans.** Applicant has submitted an overall site plan titled “SITE PLAN: 1551 Mill River Road” Prepared by Getasiteplan.com. The submitted overall site plan indicates the following:
 - i. The property lines and setbacks;
 - ii. Existing buildings, driveway and walkways;
 - iii. Proposed yurt location;
 - iv. Proposed parking location and walkways;
 - v. Wastewater and septic locations.
3. **Additional plans, sketches or other information.** Yurt platform construction instructions and materials. Description of the project with a basic outline of the yurt.
4. **Lot layout.** As proposed, the boundary lines are linear and generally regular in shape.

5. **Suitability for development.** The property currently has an existing single-family dwelling, detached garage and shed. The property contains no wetlands according to the Vermont ANR wetland map.
6. **Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.** No proposed changes to existing features.
7. **Open space and recreation.** Not applicable
8. **Storm water & erosion control plan during construction.** Not detailed in this application.
9. **Conformance with Town Plan & Bylaws.** The current regulations allow for “Schools, Private” by permitted use with site plan review in the AR-2 zoning district.
10. **Water & air pollution.** Applicant is waiting to hear back from the state regarding the wastewater system for the preschool.
11. **Compatibility with surroundings.** The proposed preschool and yurt is a permitted use in the AR-2 zoning district.
12. **Density.** Not applicable.
13. **Pedestrian traffic.** Not detailed in this application.
14. **Municipal services.** The Applicant will obtain an ability to serve letter from the Fire Chief.
15. **Water supply.** The preschool will use the existing property well for water.
16. **Vehicular traffic.** The existing private driveway will be used, with the addition of a six (6) space parking area.
17. **Landscaping.** The addition of Safety Fencing, 48 inches tall, will be installed on three (3) sides of the property.
18. **State Permits.** Applicant shall submit a wastewater permit, RBES Vermont Energy Standards certificate, any additional required State Permits, meet the required fire codes from the Vermont Division of Fire and Safety; and meet any necessary licensing requirements to run a private preschool.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Planning & DRB Clerk

SITE PLAN

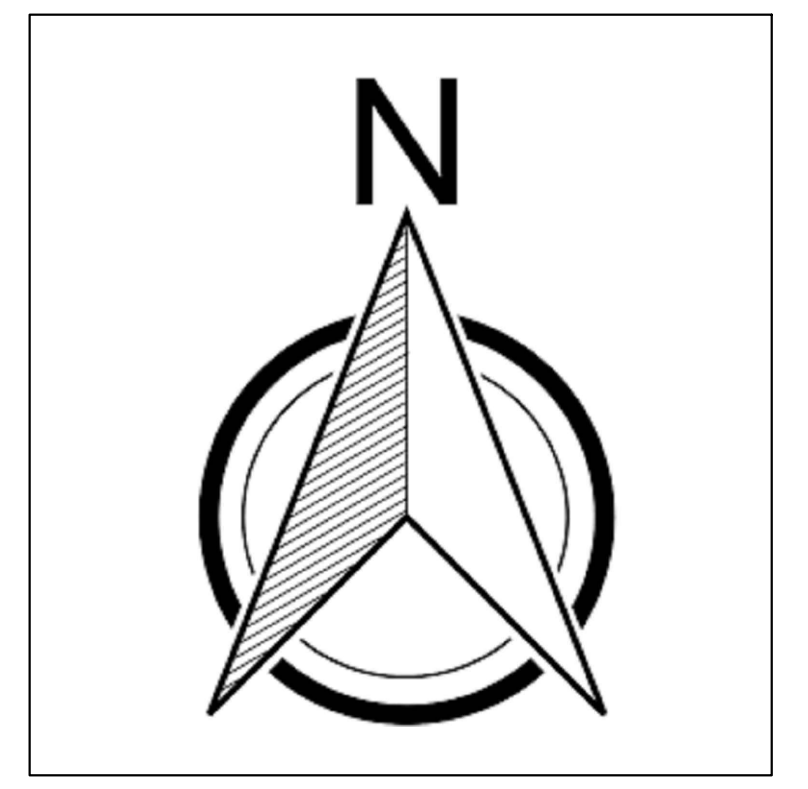
1551 Mill River Rd

Georgia, VT 05478

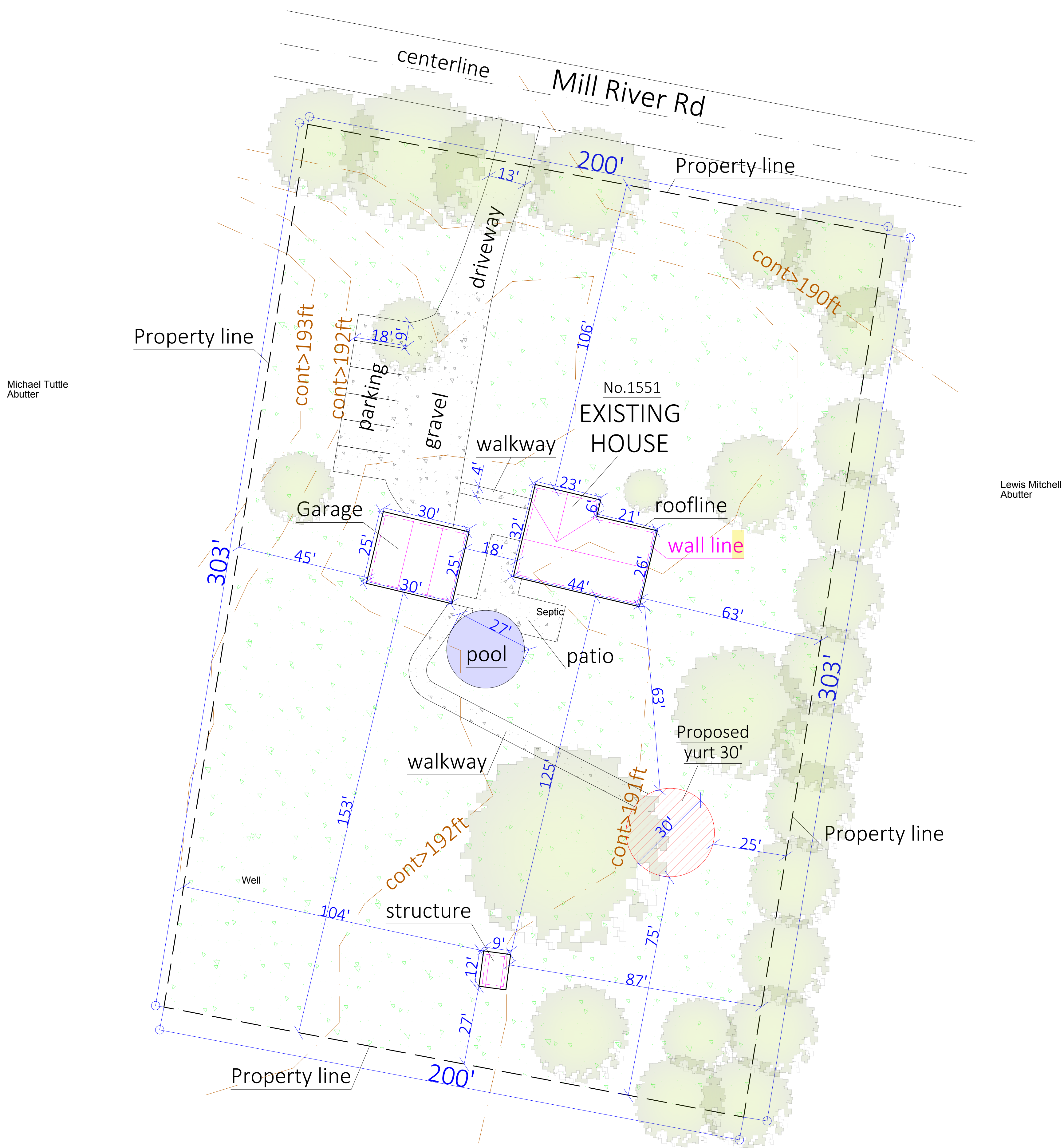
Parcel ID: (076) 110400000

Lot area: 1.50 Acres

Paper Size: 24"x36"

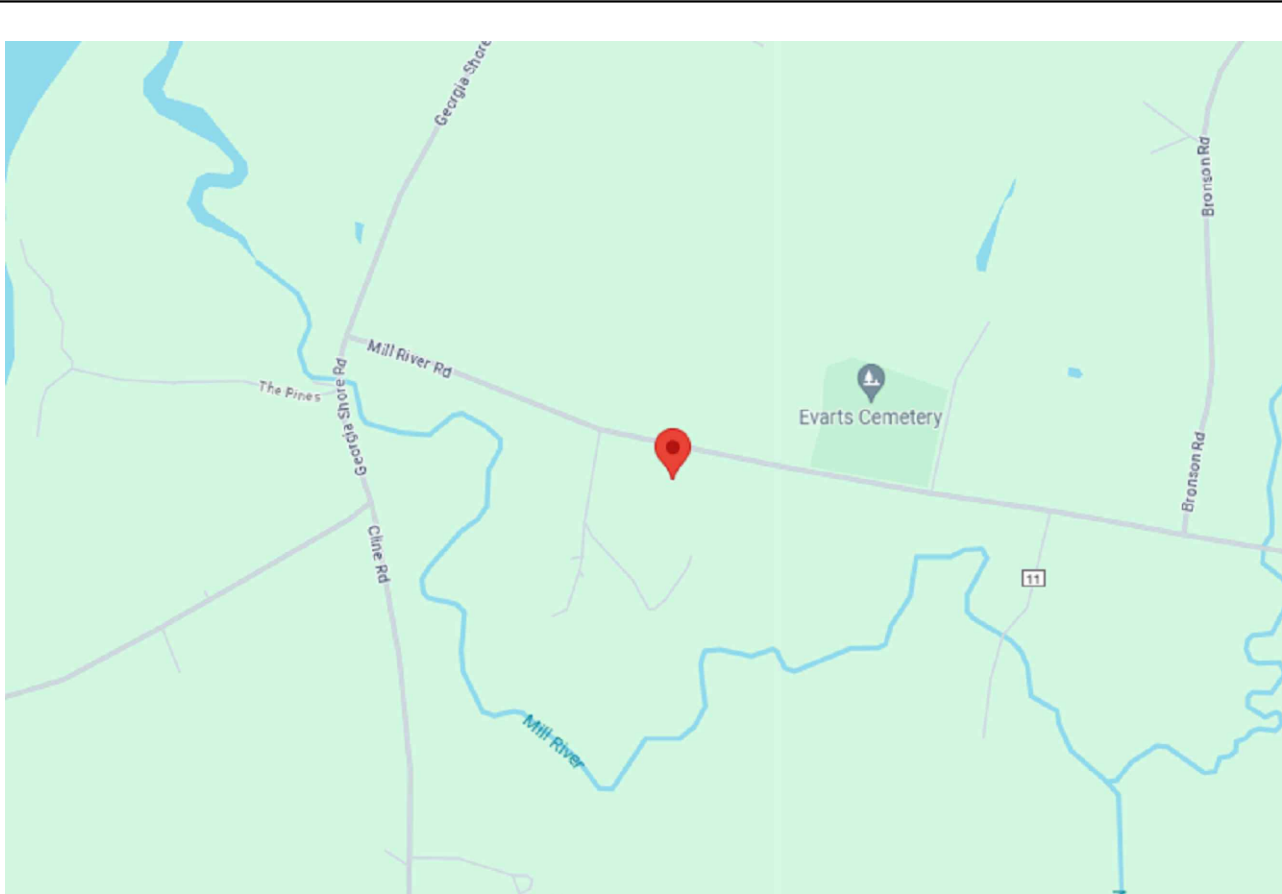


scale 1"=20'



Michael Tuttle
Abutter

Lewis Mitchell
Abutter



VICINITY MAP

Calculating Building and Lot Coverage Percentages

Lot area: 65,340 sq.ft.

Total building coverage (gross floor area): 1,290 sq.ft.

Building Coverage Percentage: $1,290 \text{ sq.ft.} / 65,340 \text{ sq.ft.} = 0.01974 = 1.97\%$

Total Lot Coverage: 8,159 sq.ft.

Lot Coverage Percentage: $8,159 \text{ sq.ft.} / 65,340 \text{ sq.ft.} = 0.12486 = 12.48\%$

*Total landscape areas:

Map Link:

[https://drive.google.com/file/d/1fl65ctoKXjwtuf4ImDOC-2IrmQM27EjB/view?usp=drive link](https://drive.google.com/file/d/1fl65ctoKXjwtuf4ImDOC-2IrmQM27EjB/view?usp=drive_link)

Address of subject property

1551 Mill River Road St. Albans VT 05478

Name and address of the owners of record of the subject property

Desiree Vatter – 1551 Mill River Road 05478

Karen Bouthillette – 82 Nature Nook 05478

Name and address of the owners of record of adjoining lands

Michael Tuttle and Sarah Redfield - 1577 Mill River Road 05478

Lewis and Linda Mitchell - 1521 Mill River Road 05478

Map or survey, drawn to scale, showing existing features, including contours, land use, structures, large trees, roads, easements, rights of way, deed restrictions, name and address of person or firm preparing the map, scale of map, north point, date of map/revisions, and legend.

- Identical to Site Plan below minus the yurt

Site Plan, 24" by 36" digital file in PDF format in size and drawn to an appropriate scale, showing proposed land use areas including proposed structures, roads, driveways, traffic circulation, parking and loading spaces, and pedestrian walkways; landscaping plans including site grading, culverts, drainage, landscape design, screening, signs and lighting; name and address of person or firm preparing the map, scale of map, north point, date of map and revisions, legend, and name, address and interest of the applicant in the subject property.

[https://drive.google.com/file/d/1fl65ctoKXjwtuf4ImDOC-2IrmQM27EjB/view?usp=drive link](https://drive.google.com/file/d/1fl65ctoKXjwtuf4ImDOC-2IrmQM27EjB/view?usp=drive_link)

Construction sequence and timing schedule for completion of each phase for buildings, parking spaces, and landscaped areas of the entire project.

1. Electric, Water, Waste dig. Line install – November 2024
2. Yurt & Platform Build– November 2024
3. Driveway Widening – June 2025
4. Yurt bathroom and kitchen build – June 2025
5. Fencing: Pool & Yard – June 2025
6. Possible gravel walkway – June 2025

Specifications of the materials and plantings to be used.

- Pre-built yurt kit with insulation package
- Yurt platform: see attached document
- White panel fencing: front of property facing road
- Chain link fencing and posts for side and back of property
- Gravel to widen driveway for parking
- Gravel for possible walkway

A site location map showing the location of the project in relation to nearby town highways and developed areas at scale of one inch equals one thousand feet. 10. Uses that will generate more than one hundred and fifty (150) vehicle trip-ends per day (estimates shall be based on the most recent rates provided by the Institute of Transportation Engineers) shall include a traffic study conducted by a professional traffic engineer. The study will include details of existing and proposed ingress and egress, expected traffic volumes, turning movements, existing, and resulting levels of service, and proposed traffic control measures. The DRB may require a traffic study for projects generating less than 150 vehicle trip-ends where it finds there is a potential traffic safety issue.

- Located on proposed site plan map

A letter from the Georgia Fire Chief indicating any fire and rescue concerns with the proposed project.

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All fees according to the Permit Fee Schedule on the website

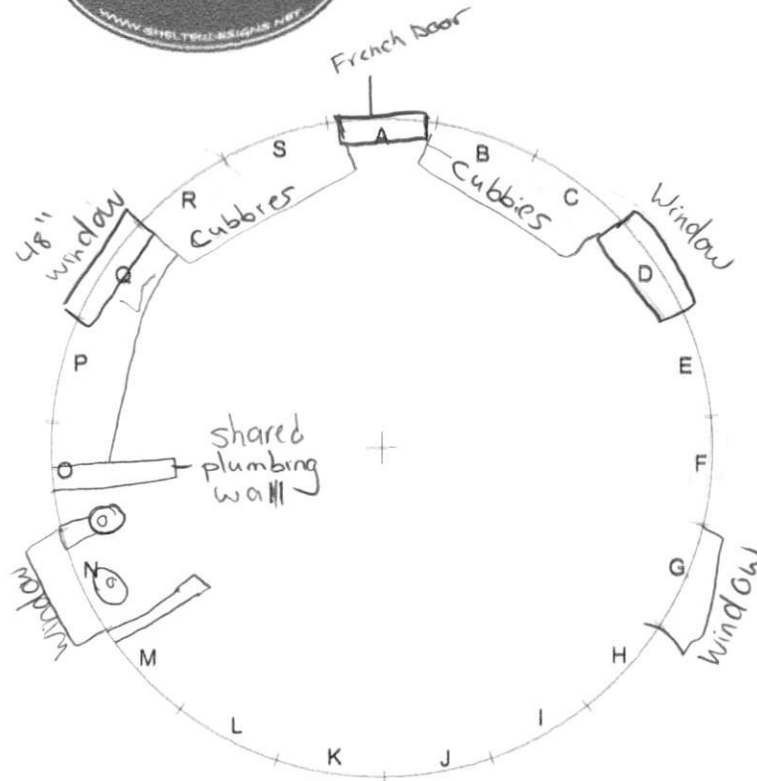
- \$500.00 check

☆ Very basic Floor plan ☆



SHELTERDESIGNS.NET | 406.721.9878 | info@shelterdesigns.net

30' YURT PANEL LAYOUT



30' Yurt

- 19 sections at 59.58"
- 1132" circumference
- 14' centerhub height
- All yurts come with standard 7' 2" walls

DID YOU MARK:

- door swings
- glass window size
- wind direction

CUSTOMER APPROVAL

By signing here, you confirm that your yurt layout as drawn is correct.

NAME _____

DATE _____

SHELTER DESIGNS APPROVAL

NAME _____

DATE _____

Suggested Platform Construction – 30' Yurt

Being what we call a 'soft' structure, the yurt reacts more readily to climatic conditions than do 'rigid' structures, therefore it is important to choose your site carefully and take into account prevailing wind patterns, overhead tree limbs, water runoff, etc. In general, the best site would be protected from the wind, would receive morning sun and afternoon shade and be free from overhead objects such as large dead tree limbs that could damage the yurt in heavy winds. Plan your entry so that the doorway faces away from prevailing winds.

For a secure and comfortable installation, a well-built platform is necessary. To ensure a weather proof installation the platform needs to be circular and the same diameter as the yurt so the side cover fabric can extend below the interior floor level. This will provide a draft-free and watertight seal. Any exterior decking should be separated from, or at a lower level than the yurt platform. Unless you are skilled, enlist the help of an experienced carpenter for building the platform.

The following plans show the typical construction of the yurt platform and are a suggestion only. Keep in mind that every site will be different, so the platform construction and footings should reflect the conditions of each individual site. The site and soil conditions and local building requirements will dictate the footing size and depth below grade. Check with your local building department to determine if you will need an engineered design for permit.

Notes:

1. The total height of the drip edge should be at least 8" to protect the platform's beams. The bottom portion of the drip edge will be visible once the yurt is installed. It should be stained or painted to protect it and to match the exterior color scheme.
2. The 1" portion of the drip edge that extends above floor level will be visible on the inside and can be painted or stained to match the interior color scheme.
3. Plywood skirting (to prevent airflow beneath the floor) and a vapor barrier may also be desirable. Some building departments will require vent openings in the underfloor enclosure to prevent trapped moisture.
4. If you plan to connect the yurt to an existing building (or another yurt) be sure to allow a minimum of 12" between the existing building and your yurt platform. A covered walkway can be built to connect the two after the yurt is installed.
5. Keep in mind that the fabric windows open from the outside. If you plan to have the platform elevated you should consider adding a catwalk or exterior decking for window access.
6. If you plan to install a "floating" floor on your platform, please contact Pacific Yurts for recommendations on how to prepare the platform.
7. When using the 2x6 T&G flooring be sure it is kiln dried and has a low moisture content to avoid gaps as the wood dries.
8. Consider incorporating insulation between the beams maintaining 1" air space from the underside of your flooring. Pacific Yurts recommends using rigid foam insulation with reflective side facing upward, however it is also possible to use other insulation materials.

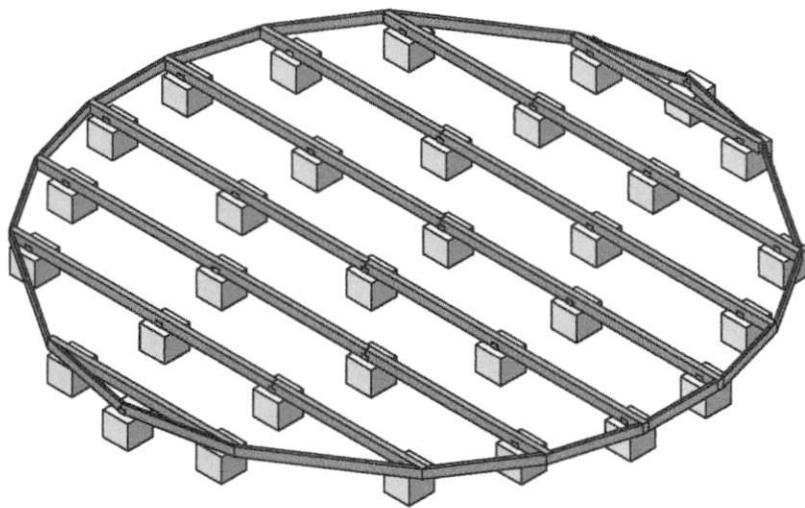
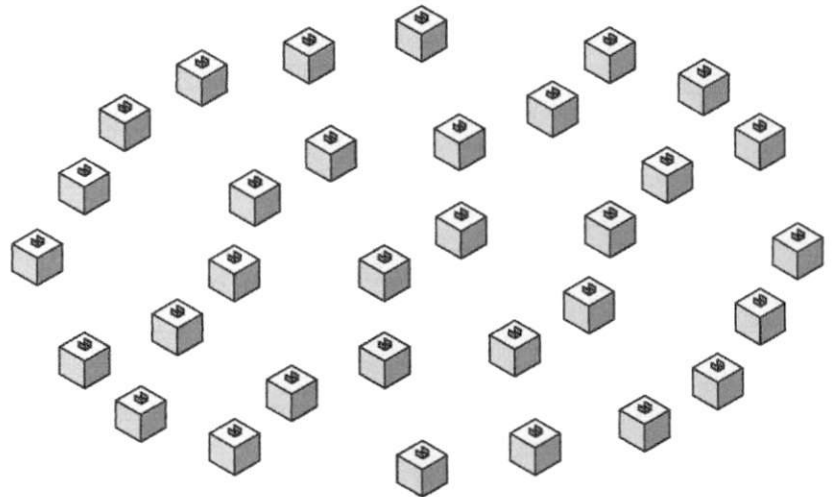


30' Platform Construction Overview

1.) Lay out footings according to framing plan and level.

Notes:

- Poured concrete footings may be required. Consult a local contractor or engineer for proper determination and for local building requirements.
- If you purchase the Central Column option an additional footing will be necessary in the center of the platform.

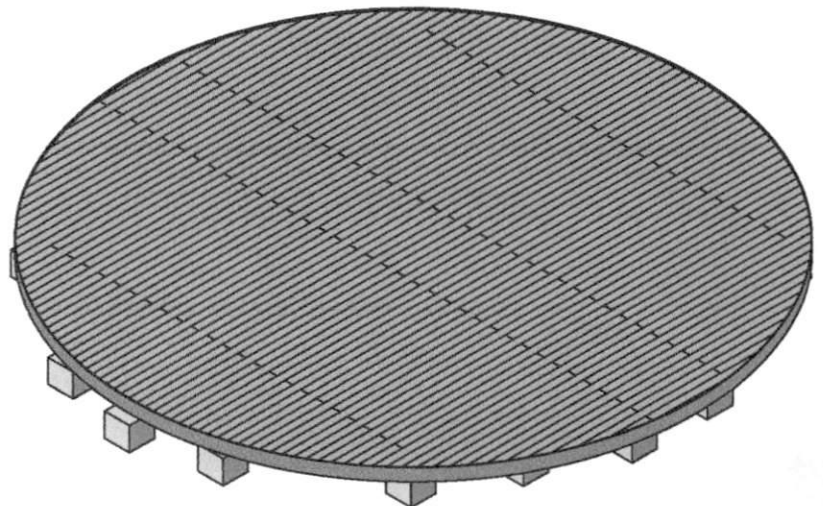


- 2.) Cut beams to length, level them, and fasten onto footings.
 3.) Cut 2x6 perimeter blocking and fasten to beams.
 4.) Install floor insulation (optional).

Notes:

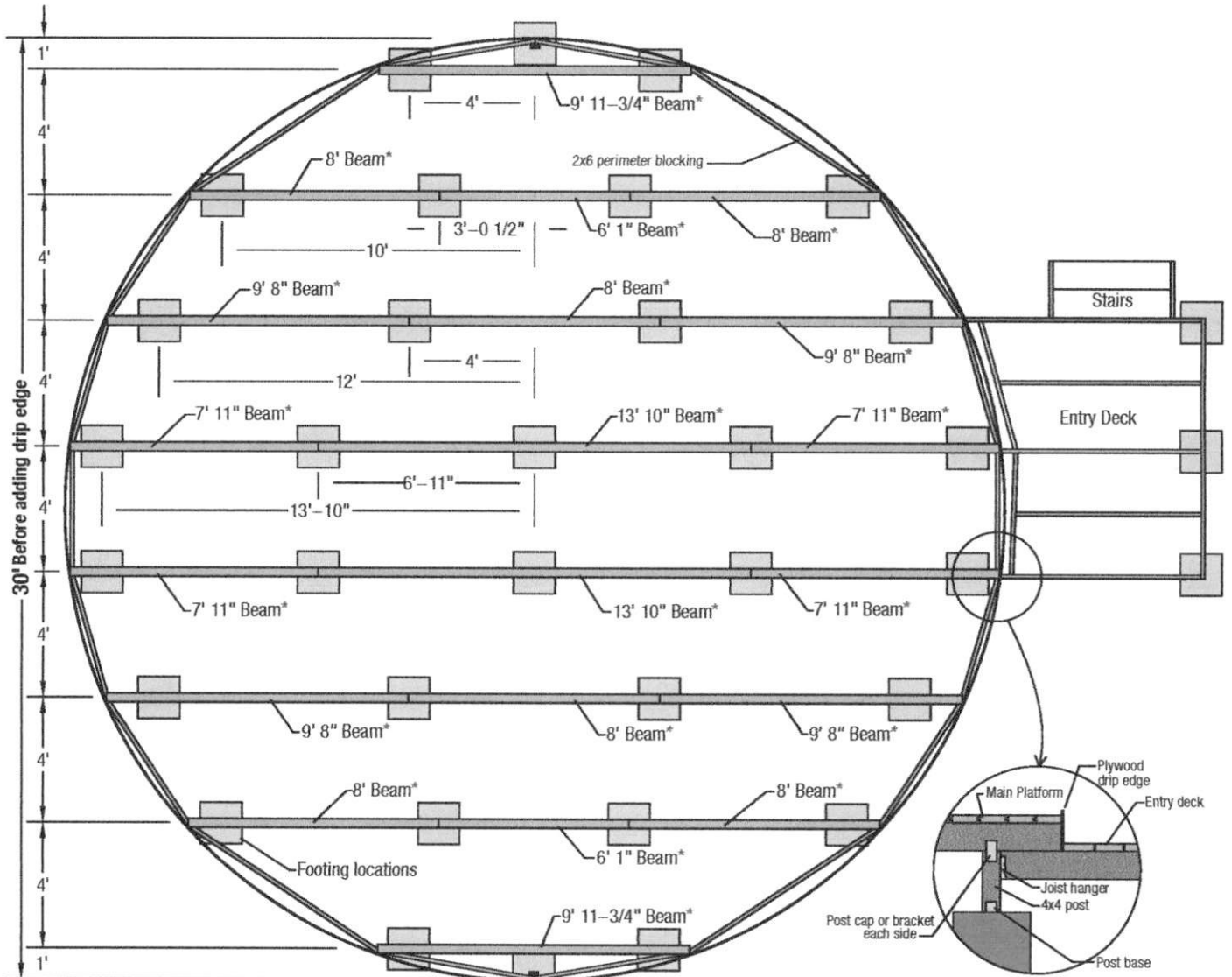
- Diagram assumes level site. On sloping terrain vertical support posts and cross bracing may be necessary.
- If 1-1/8" plywood flooring is used we recommend adding 2x6 blocking between beams (four feet on center).
- If you plan to purchase the cable tie-down option an extra block will be needed in the center of the platform.

- 5.) Fasten flooring (1-1/8" plywood or 2x6 T&G) onto beams.
 6.) Cut flooring into a circle with diameter matching that of the yurt.
 7.) Cut 3/8" exterior plywood (OSB is best for small yurts) into strips of desired width and fasten around perimeter of flooring so that 1" protrudes above floor level. This is the plywood drip edge.
 8.) Use caulking to provide a seal between flooring and drip edge.

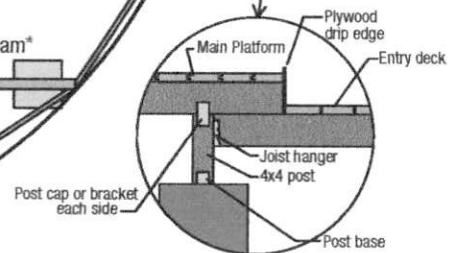




Typical 30' Platform Framing Plan



*4"x6" or 4"x8" beams may be appropriate, depending on use and conditions.

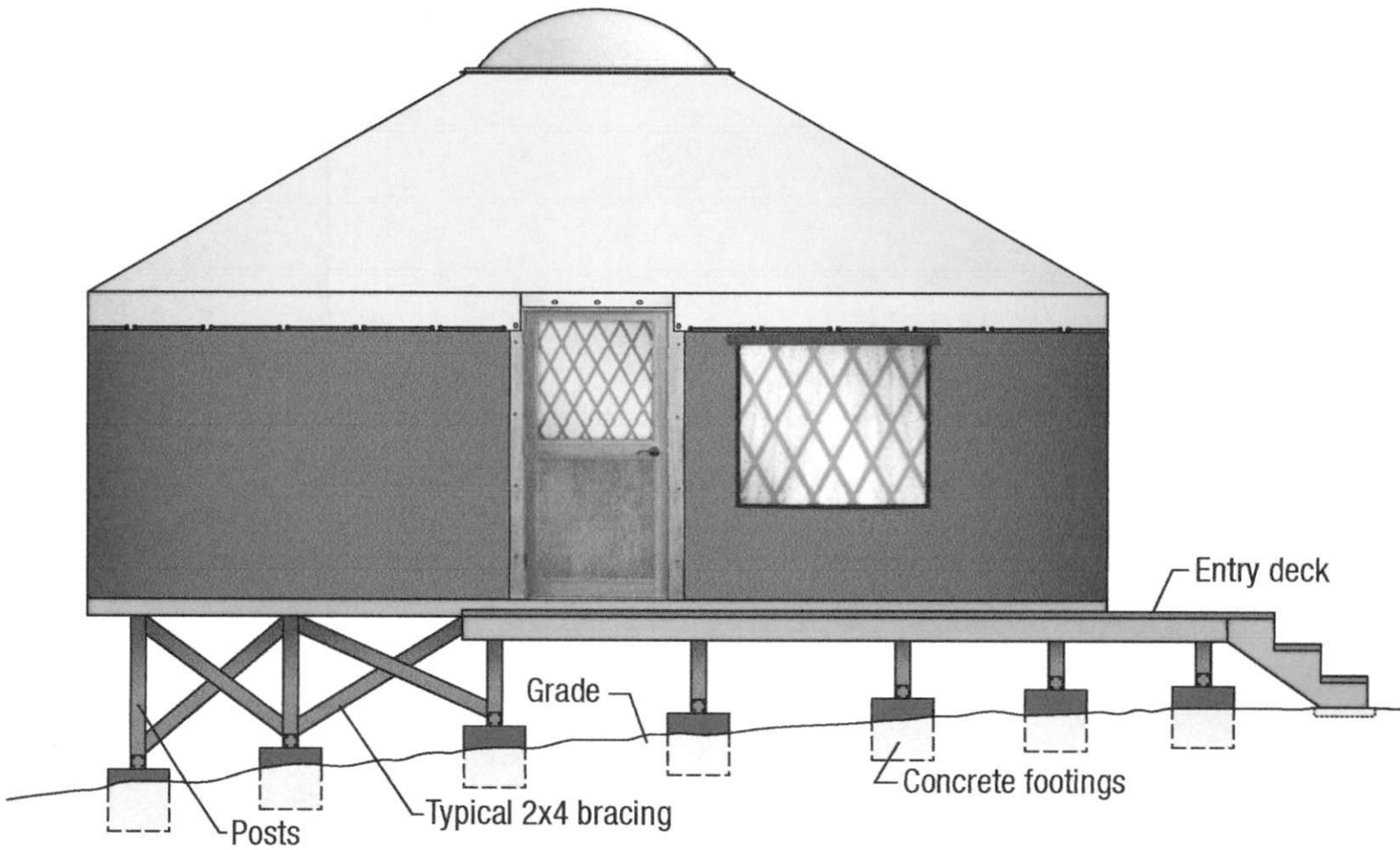


TYPICAL ELEVATION
Entry deck should be below the floor level of the yurt platform so as not to interfere with drip edge.

Notes:

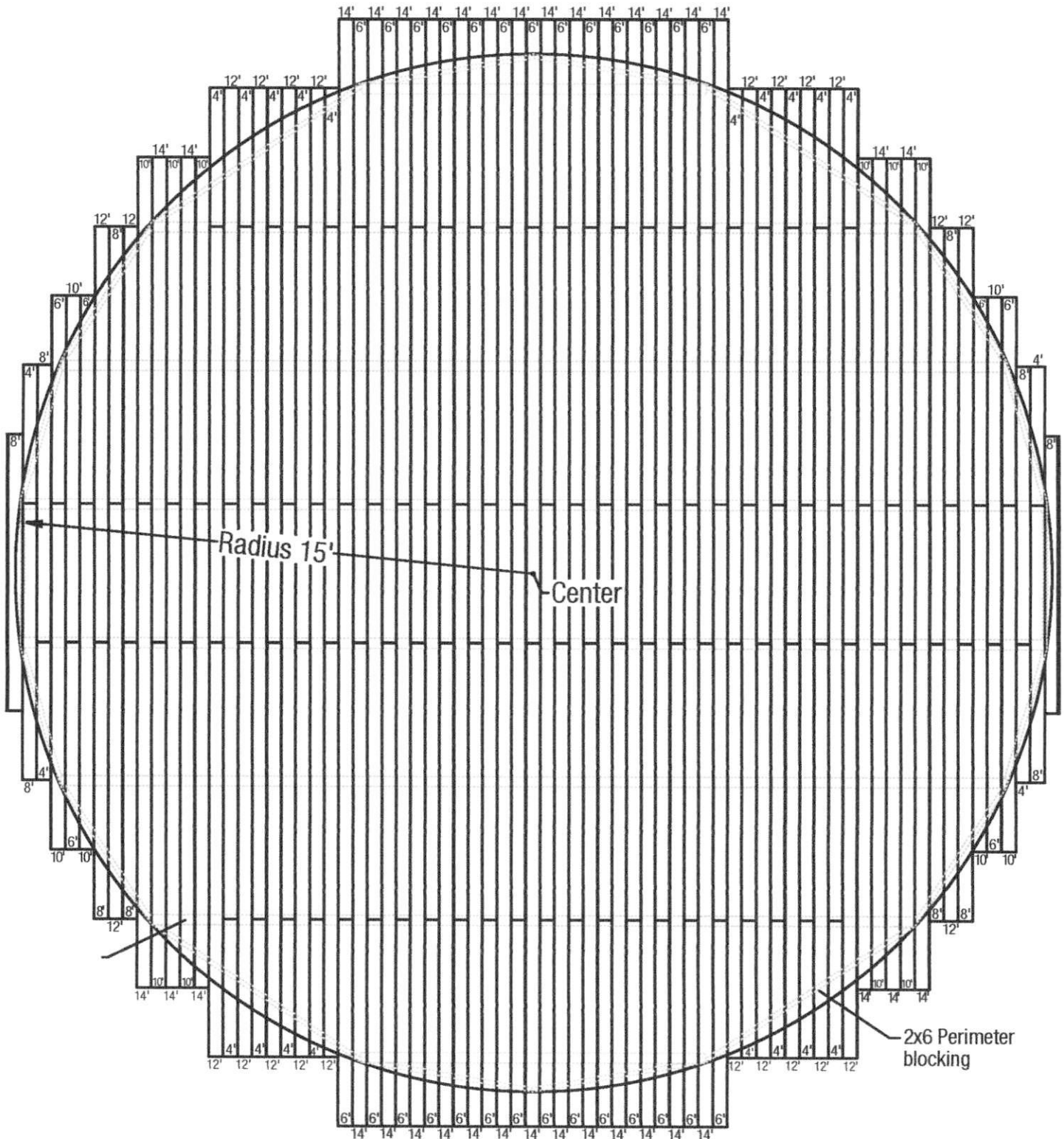
- 1.) Platform construction and footings should reflect conditions of each individual site and local building requirements.
- 2.) 2x6 T&G or 1-1/8" plywood flooring to be laid perpendicular to beams and trimmed to the same diameter as that of the yurt.
- 3.) 30' diameter measurement does not include the drip edge.
- 4.) Site and soil conditions and local building requirements will dictate footing size and depth below grade.
- 5.) Footings may need to be embedded in the ground to below the local frost depth, and should extend 6" above ground surface minimum.

Typical Platform Elevation



Note: Platform and footings should be designed according to the conditions of each individual site and local building requirements. Site and soil conditions will dictate footing size and depth below grade.

2x6 T&G Layout – 30' Yurt

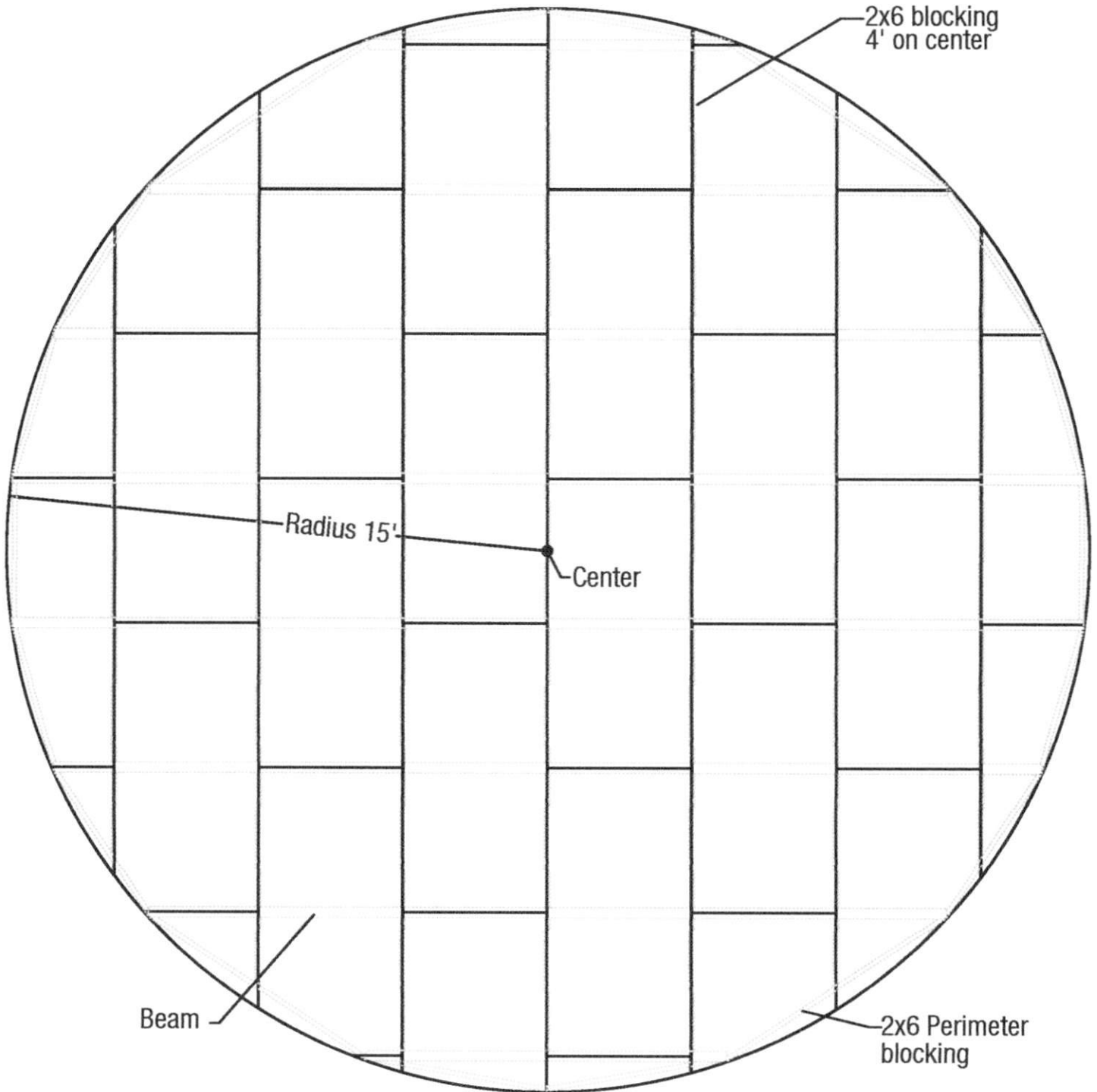


1.) Make a compass using a board or non-stretch string and a nail at the center to mark radius.

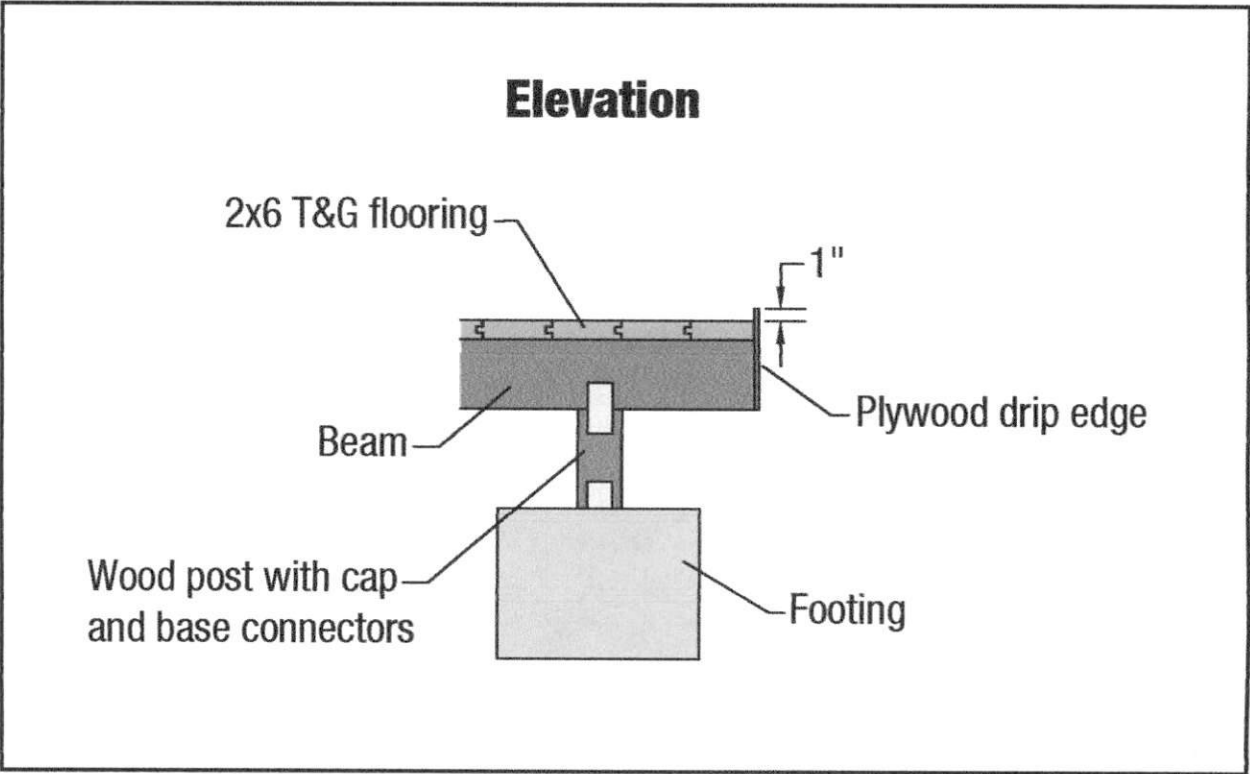
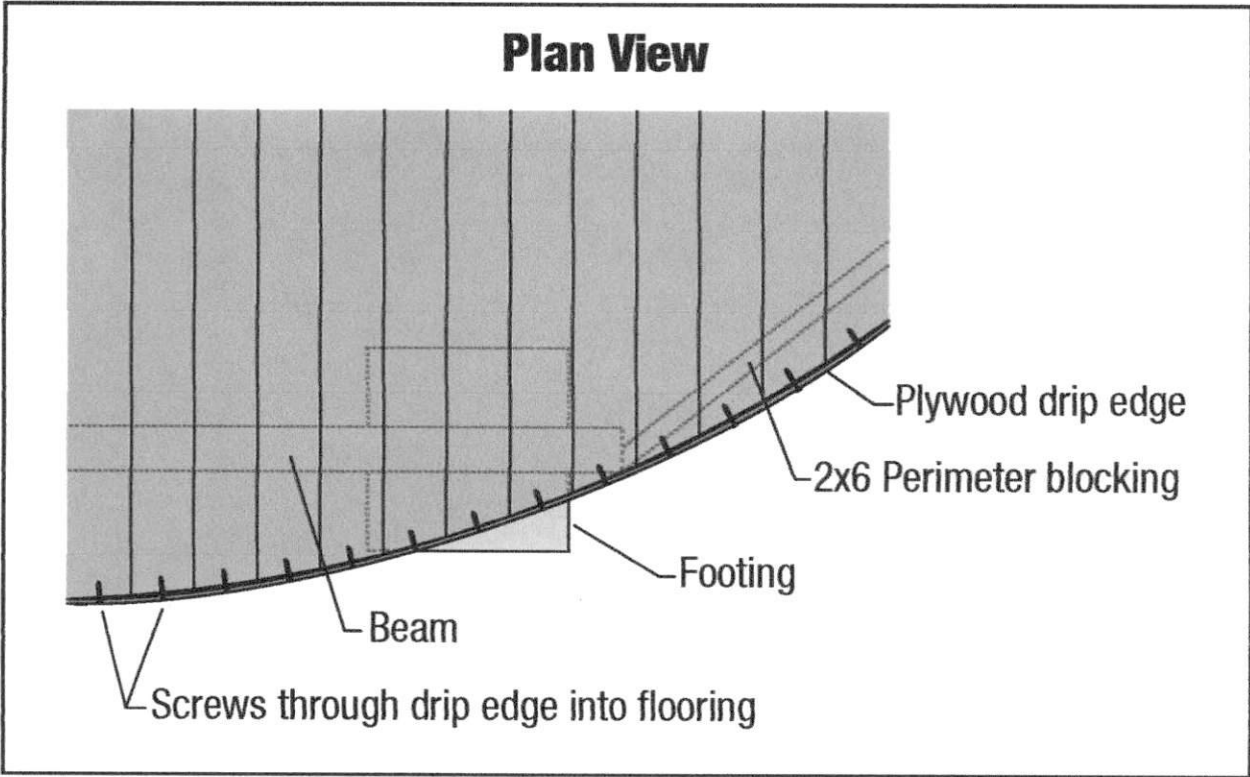
2.) Using a sharp circular saw carefully cut the platform to exactly 30 feet in diameter.

Note: 2x6 T&G is often used for open beam ceilings and may have a V-groove which should face down so as not to catch debris and make floor sweeping difficult.

Plywood Layout – 30' Yurt



- 1.) Make a compass using a board or non-stretch string and a nail at the center to mark radius.
- 2.) Using a sharp circular saw carefully cut the platform to exactly 30 feet in diameter.



**Variance Application
Setbacks for Pool
VAR-001-24**

Owner: William and Michele Orosz 28 Stein Drive Georgia, VT 05468 # 419-512-3203 Shellylynn210@aol.com	Property Tax Parcel & Location: 28 Stein Drive, Georgia, VT Parcel#111590000 Zoning District: AR-1
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BACKGROUND

William and Michelle Orosz, hereafter referred to as Applicants, are requesting a variance of the setbacks required to erect a 24-foot pool in the backyard on their property. The parcel is located at 28 Stein Drive, a PUD neighborhood within the AR-1 zoning district. The parcel is ±2.03 acres in size, benefitted by ±250 ft of frontage along Stein Drive.

Applicant proposes a reduction in the current Right Side Yard Setbacks by 50% in order to accommodate the pool. This request for variance is governed under Section Article 3.5 (C) of the Town of Georgia Zoning Regulations.

VARIANCE JUSTIFICATION

Setbacks for AR-1 Zoning District

Per Town of Georgia Development Regulations dated February 27, 2023 Section 6.4B

	AR-1 Required:	PUD:	28 Stein Drive:
Minimum lot size (four household dwelling)	5 acres	.75 acres	±2.03 acres
Lot Frontage	250 ft.	N/A	250 ft.
Front yard setback	75 ft.	N/A	75 ft.
Left Side yard setback	40 ft.	N/A	40 ft.
Right Side yard setback	40 ft.	N/A	20 ft.
Rear yard setback	40 ft.	N/A	40 ft.

In addition to the variance request, Applicant submitted a waiver request to reduce setback by 50%.

All applications for variance must be heard by the Development Review Board according to the criteria set forth in 24 V.S.A. Section 4469(a). The DRB must find that your application meets **all five of these criteria** in order to approve your application:

1. *There are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property, and that unnecessary hardship is*

due to these conditions, and not the circumstances or conditions generally created by the provisions of the bylaw in the neighborhood or district in which the property is located.: The current lot is a nonconforming lot in acreage, part of a PUD, that did not address setbacks in the DRB decision letter or the deeds. The right side of the house is the best location for the pool, given the rear of the property contains slopes and trees, the left side of the house is shared mound and septic tank, propane and wooded tree area. The proposed area for the pool will preserve the integrity of the land without undue hardship.

2. *Because of these physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the bylaw, and that the authorization of a variance is therefore necessary to enable the reasonable use of the property:* Without a variance of the current setbacks the Applicant will not have full use and enjoyment of their property.
3. *The unnecessary hardship has not been created by the applicant:* no hardship has been created by applicant. Allowing a variance on the right side of the house will ensure no topographical hardship.
4. *The variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located, substantially or permanently impair the appropriate use or development of adjacent property, reduce access to renewable energy resources, or be detrimental to the public welfare:* The swimming pool will not alter the character of the property, the swimming pool is not a permanent structure and will not effect the neighbors.
5. *The variance, if authorized, will represent the minimum variance that will afford relief and will represent the least deviation possible from the bylaw and from the plan.:* The applicant is requesting a 50% reduction in the Right-Side Yard setback requirement as they plan to make minimal changes.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Planning & DRB Clerk



GEORGIA VERMONT

Waiver Request

SECTION 1: OWNER/APPLICANT INFORMATION (complete all)

Owner(s): William Orosz Applicant(s): Michele Orosz
 Address: 28 Stein Dr Address: 28 Stein
Georgia, VT Georgia VT
 Zip Code: 05408 Telephone: 419-512-3203 Zip Code: 05408 Telephone: 419-512-3203
 Email: Shellylynn240@aol.com Email: _____

Tax Parcel ID: 111590000 Zoning District: _____

CERTIFICATION OF APPLICANT(S)

AFFIRMATION: The undersigned hereby certifies that the information submitted in this application is true, accurate, and complete.

Signature of Applicant: Michele Orosz Date: 6/7/24

Signature of Applicant: _____ Date: _____

PROPERTY OWNERS' AUTHORIZATION

The undersigned property owner(s) hereby certify that the information submitted in this application regarding this property is true, accurate and complete and that the Applicant(s) have full authority to request approval for the proposed use of the property and any proposed structure(s).

Signature of Owner: Michele Orosz Date: 6/7/24

Signature of Owner: _____ Date: _____

47 Town Common Road North • St. Albans, VT 05478

Phone: 802-524-3524 • Fax: 802-524-3543 • website: townofgeorgia.com

1. Waiver requested of the DRB?

Reduce set backs by 50%.

2. Request for variance under Section(s) Art 3.5 C of the Town of Georgia Zoning Regulations.

2. Waiver requested of the DRB?

Reduce set backs by 50%.

2. Request for variance under Section(s) Art. 3.5 C of the Town of Georgia Zoning Regulations.

3. Waiver requested of the DRB?

Red

2. Request for variance under Section(s) _____ of the Town of Georgia Zoning Regulations.

The fee for waivers is \$400 each. For more than three waivers please attached a seperate sheet.

DECISION/ACTION TAKEN (FOR TOWN USE ONLY):
 Date received: _____ Fee paid: _____ Check # _____
 Approved _____ Denied _____ Returned (incomplete) _____ Date: _____
 Permit valid on _____
 Signed: _____
 Douglas Bergstrom
 Zoning Administrator
 Planning, DRB & 911 Coordinator
You will receive a written Decision and Finding of Fact within 45 days of the close of the hearing.

All applications for variance must be heard by the Development Review Board (DRB) according to the criteria set forth in 24 V.S.A. Section 4469(a).



GEORGIA VERMONT

DRB MEETING Tuesday, June 04, 2024 at 7:00 PM Chris Letourneau Meeting Room and via Zoom Minutes

Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWLzVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. CALL TO ORDER - 7:00 PM

DRB BOARD PRESENT

- Chair Suzanna Brown
- Vice Chair Charles Cross
- James Powell
- Gilles Rainville
- Glenn Sjoblom
- Lisa Faure
- Jared Waite

DRB BOARD ABSENT

- Greg Drew
- Chris Caspers (alternate)

GUESTS PRESENT:

- John Leddy, Northwest Vermont Solid Waste

STAFF PRESENT:

- Doug Bergstrom, Zoning Administrator
- Kollene Caspers, Zoning Clerk

2. ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA

3. PUBLIC HEARINGS

- A. Site Plan for 3 Additions (SP-002-24) Northwest Vermont Solid Waste Management

John Leddy for NW Solid Waste Management, Site Plan for three (3) additions

- Explained the three different changes to the property-

1. Drive-thru recycle
 2. Bins for drop off
 3. Interior storage space for recyclables, to replace existing trailers on the property.
- Northwest corner of building will include the shed roof for trash compactors and containers indoors to contain recyclables through windows, so they will be covered.
 - Final structure on Southwest corner of building will include storage area for paints, cleaners, etc. The structure will be fire resistant in case of spills; the first floor will be storage. The second floor will be used for office space and a break room for staff who are working in the recycling center.
 - All traffic will exit on the South side of the building. The gate will remain on the North side, and a new gate will be placed on the South side. Parking will be on the left side of the building.
 - Northwest Vermont Solid Waste is part of the office park's wastewater plans. No changes should be made, but the Act 250 has requested additional information from applicants, as well as the electrical plan.
 - Dark, highlighted grey areas are the new structures, concrete work, and covered areas; and the lightest grey areas are existing paving and some new pavement/ parking spaces on the east side for additional parking.
 - The dumpsters will be located on the side and will be sunken in/ below grade (4-foot grade change) so it will be easier for people to unload metals and furniture recycling. Safety railing will be included along the edge so there is an open drop.
 - Stormwater run-off may be more controlled, as there will be storm draining for runoff to go instead of pooling.
 - DRB questions regarding the maps and shaded areas: Does the project cut through the river corridor? The map legend explains buffer, one is the setback and one is the river corridor. J. Leddy will get confirmation on the lines.
 - Peak days, largest number of employees will be 10, lowest day is 5 employees. There are 22 parking spaces, which is fine for light industrial. They currently have 10 parking spots and wanted more parking to accommodate board meetings and visitors to the facility.
 - “Re-use hut” hasn't been around since COVID, they are starting to bring it back with a few tables. With new added storage space there will be more room for re-use ability.
 - DRB has questions about the buffer, whether it is State “river corridor” or wetlands buffer designation. Clarification regarding what the Town's buffer and what is required.
 - Examination of the Ruggiano plans, the lines indicate the original building envelope.

(G. Sjoblom left the meeting at 7:30 PM)

- D. Bergstrom is attempting to find the original data on the Act 250 database, the most recent Act 250 paperwork is an amendment from the original construction.
- In the 2007 Site Plans, the setback plans are within the building envelope.
- DRB will need additional information from Cross Engineering but can approve the plans tonight if the changes are made and submitted prior to the next DRB meeting.

- The DRB may approve the project with changes based upon the map provided, which appears to show building in the open space easement. If changes are made to correct the information on the provided map, a site plan amendment can be made at a further time.

Motion to close the hearing at 8:16 p.m.

Motion made by Rainville, Seconded by Vice Chair Cross.

Voting Yea: Chair Brown, Vice Chair Cross, Waite, Powell, Rainville, Faure

4. APPROVAL OF MINUTES

- A. DRB Meeting Minutes May 21, 2024

Motion to approve minutes with minor change.

Motion made by Rainville, Seconded by Vice Chair Cross.

Voting Yea: Chair Brown, Vice Chair Cross, Waite, Powell, Rainville, Faure

5. OTHER BUSINESS

- A. Sign Nye/Vester (SK-001-24) Decision Letter

Nye/Vester decision letter signed with no changes.

6. PLAN NEXT MEETING AGENDA

- A. July 2, 2024

- June 18th DRB Meeting is cancelled due to no applications submitted and the warning deadline has passed.
- July 2nd DRB meeting will include 1.) Site Plan review for Permitted Use in AR-2 (Preschool with Yurt) and 2.) Setback waiver for pool in an AR-1/PUD, as there was no setback reduction addressed in the 2011 decision letter.

7. DELIBERATIONS

Motion to enter into deliberative session at 8:22 pm

Motion made by Vice Chair Cross, Seconded by Powell.

Voting Yea: Chair Brown, Vice Chair Cross, Waite, Powell, Rainville, Faure

Motion to exit deliberative session at 8:50 pm

Motion made by Rainville, Seconded by Powell.

Voting Yea: Chair Brown, Vice Chair Cross, Waite, Powell, Rainville, Faure

8. ADJOURN

Motion to adjourn at 8:55 pm

Motion made by Powell, Seconded by Waite.

Voting Yea: Chair Brown, Vice Chair Cross, Waite, Powell, Rainville, Faure

Posted to the Town website.

Signed: Kollene Caspers, Zoning Clerk, DRB Clerk

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com



Town of Georgia

47 Town Common Road North. • St. Albans, VT 05478
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NOTICE of DECISION

In re: Northwest Vermont Solid Waste Management, Applicant
Permit Application No.: SP-002-24

Decision and Findings of Fact for Site Plan Review for Three (3) Additions to Existing Structures

Dear Applicant/Owner,

After a duly warned hearing of the Development Review Board (DRB) on June 4, 2024, the following action was taken with regard to your request:

GRANTED WITH CONDITIONS

Note: The application, any and all relevant evidence presented to the Board, and the minutes of the Board at the hearing conducted by the Town of Georgia DRB on June 4, 2024, and relevant information from public records and sources, shall be considered part of the Finding of Fact and kept as part of the permanent record of the applicant/owner.

This official record shall provide additional basis for the Board’s decision.

Background:

This matter came before the Town of Georgia DRB on the application of Northwest Vermont Solid Waste Management, hereinafter referred to as Applicant, requesting Site Plan Review for three (3) additions to existing structures located at 158 Morse Drive within the I-1 zoning district. A Notice of Public Hearing was duly published in the St. Albans Messenger on May 21, 2024, and all abutting property owners were notified.

The DRB conducted a public hearing on this application on June 4, 2024. John Leddy represented Northwest Vermont Solid Waste Management and presented at the meeting. There were no interested parties in attendance. Applicant submitted a Site Plan application and the Zoning Administrator presented a DRB report.

Finding of Facts:

1. Applicant is requesting Site Plan approval for three (3) additions to existing structures located at 158 Morse Drive within the I-1 zoning district.
2. As proposed, the land meets the requirement for additional structures with setbacks, road frontage and acreage as required by the current Town of Georgia Development Regulations dated February 27, 2023.
3. The property is currently in use as a Solid Waste and Recycling Center. The additions will alter the site conditions for improved operations and procedure of traffic flow. The existing building is 9980 square feet, and the proposed addition is 3953 square feet.
4. The three additions include a drive-through recycling center, sunken bins for vehicles to drop off recyclables and a new interior storage space for storage on the first floor and office space and break room on the second floor.
5. A drilled well is located on site and will remain in operation. A new sanitary service is being proposed and will connect to the existing service prior to leaving the site. The existing service connects to the sewer mains in the park leading to the pump station.
6. The following members of the DRB were present for the Site Plan public hearing on June 4, 2024 constituting a quorum: Suzanna Brown, Charles Cross, James Powell, Gilles Rainville, Jr., Lisa Faure, Glenn Sjoblom and Jared Waite. See meeting minutes for a list of others present.
7. The regulations in effect at the time of the decision: **Municipal Town Plan**, last amended January 9, 2017; **Town of Georgia Development Regulations**, last amended February 27, 2023.

Conclusion:

The Board concludes as follows:

1. The Applicant has submitted relevant Site Plan information required by the Georgia Development Regulations, but is in need of additional information from Cross Engineering regarding the building envelope and open space easement.
2. The approval of this Site Plan application is based on all plans and documents submitted and contained in the zoning file for this project.
3. This application was reviewed as an Industrial Light business with conditional use approval (February 27, 2007) and Site Plan approval needed for any additions or changes. The standards and requirements of rule are outlined in Article 2, Zoning Districts and Land Uses and Dimensional Standards; and Article 7, Planning and Design Standards, of the Town of Georgia Development Regulations. The application was deemed consistent with the above-mentioned standards and requirements.
4. The approval of the Site Plan is based on five (5) plans titled “Northwest VT Solid Waste Management District Expansion Project” prepared by Cross Consulting Engineers, PC and dated 03/26/2024. They include: C-1: Overall Site Plan; C-2: Existing Conditions & Demolition Plan; C-3: Layout Plan; C-4: Grading & Utility Map; and C-5: Details.

Decision:

Based on the Findings of Fact and Conclusions set forth above, the Georgia DRB approves the Site Plan for three (3) building additions to existing structures on the property subject to the conditions listed below:

1. Any building shall be outside of the open space easement, including the truck turnaround and concrete dumpster area.
2. Parking regulations shall follow the standards of Light Industrial and include paving, handicapped parking signs and lined spaces. Site map shall also depict delineated parking spaces.
3. New loop driveway shall comply with the Town of Georgia Private Road & Driveway Standards (4/24/23).
4. Any outdoor storage shall be shielded or covered by landscaping or fencing.
5. Applicant shall provide an “Ability to Serve” letter from the Town of Georgia Fire Chief indicating the ability to provide emergency services to the proposed subdivision.
6. Grass landscaping shall be installed by the entrance.
7. The new well shield shall be depicted in the site plans for building permit.
8. Site Plan expires two (2) years from date of issuance, **June 4, 2024**, date of expiration **June 4, 2026** per Article 3, section 3E of the Town of Georgia Development Regulations.
9. Copies of all required State permits including, but not limited to, Act 250, Fire Safety, wastewater and potable water supply permits shall be submitted to the Zoning Administrator for inclusion in the project file prior to the issuance of any zoning permits.
10. This project shall be completed, operated, and maintained as set forth in the plans and exhibits as approved by the DRB and on file in the Town Office, and in accordance with the conditions of this approval.
11. Building permits for the project must be obtained from the Zoning Administrator prior to starting the project.

These conditions shall not be deviated from absent an amendment granted by the Board.

All plats, plans, drawings, etc., listed above or submitted at the hearing and used as a basis for the decision to grant the permit shall be binding on the applicants, their heirs and assigns. Projects must be completed in accordance with such approved plans and conditions. Any deviation shall be a violation of the permit and subject to enforcement action by the Town.

NOTICE: This decision may be appealed to the Vermont Environmental Court by an interested person who participated in the proceeding before the Development Review Board. Such appeal must be taken within 30 days of the date of this decision pursuant to 24 V.S.A. Section 4471. Notice of the appeal shall be filed by certified mailing, with fees, to the environmental court and by mailing a copy to the Zoning Administrator who shall supply a list of interested persons to the appellant within five working days.

Upon receipt of the list of interested persons, the appellant shall, by certified mail, provide a copy of the notice of appeal to every interested person.

EXPIRATION: Pursuant to Section 3.2(D) of the Town of Georgia Development Regulations, approval from the Development Review Board allowing a conditional use shall expire one year from date of issue if construction has not progressed to the point where the property can reasonably be used for its intended purpose as defined and/or all conditions of this decision as set forth above have not been met. An extension of one year will be granted by the Zoning Administrator if application for extension takes place before the approval has expired. At the end of two years, the permit will permanently expire unless the Development Review Board grants a further extension.

Members present and voting for approval: Suzanna Brown, Charles Cross, James Powell, Gilles Rainville, Jr., Lisa Faure and Jared Waite. Members absent from voting: Greg Drew, Glenn Sjoblom and Chris Caspers. Members present and voting against approval: None.

Signature of Chair: _____ Date: _____

Suzanna Brown, DRB Chair

