



GEORGIA VERMONT

DRB MEETING

Tuesday, October 15, 2024 at 7:00 PM

Chris Letourneau Meeting Room and via Zoom

Agenda

Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWLzVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. **CALL TO ORDER - 7:00 PM**
2. **ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA**
3. **PUBLIC HEARINGS**
 - [A.](#) Northwest Solid Waste Management (SA-002-24) Site Plan Amendment for Setbacks
 - [B.](#) Rooney & Rooney (SK-003-24) for Two-Lot Subdivision
 - [C.](#) Cline Road LLC (FP-004-24) for 16 Lot, 14 Unit Major PUD Subdivision
4. **APPROVAL OF MINUTES**
 - [A.](#) DRB Meeting Minutes: October 1, 2024
5. **OTHER BUSINESS**
 - [A.](#) Decision Letter for Paradis, Two-Lot Subdivision (FP-003-24)
6. **PLAN NEXT MEETING AGENDA**
 - A. November 19, 2024
7. **DELIBERATIONS**
8. **ADJOURN**

Posted to the Town website, four designated places within the Town of Georgia (Town Clerk's Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.

Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com



Town of Georgia

47 Town Common Road North. • St. Albans, VT 05478
• Phone: 802-524-3524 • Fax: 802-524-3543 • website: townofgeorgia.com

Site Plan Application Application #SP _____

Submission Requirements: An application for Sketch Plan Review will consist of one set 11"x17" site plan maps plus a digital file in *.pdf format which includes scale, north arrow, legend, abutters, title block, with supporting data to include items listed on the attached checklist, and as approved in the original Site Plan. The application will not be deemed complete until all required materials have been submitted. Failure to submit a complete application, as defined herein, shall be grounds for denial of the application by the DRB.. Applicant must also submit a list for all abutters, including those across a public or private right of way. **Incomplete applications will be returned and will delay scheduling your hearing.**

SECTION 1: OWNER/APPLICANT INFORMATION (complete all)

Owner(s): <u>Northwest VT Solid Waste Ma</u>	Applicant(s): <u>Same as Owners</u>
Address: <u>158 Morse Drive</u>	Address: _____
<u>Fairfax, VT</u>	_____
Zip Code <u>05454</u> Telephone <u>802-524-5986</u>	Zip Code _____ Telephone _____
Email <u>jleddy@nswsd.org</u>	Email _____

Tax Parcel ID: 108290600 Zoning District: Industrial PUD Yes No No

CERTIFICATION OF APPLICANT(S)

AFFIRMATION: The undersigned hereby certifies that the information submitted in this application is true, accurate, and complete.

Signature of Applicant: John Leddy Date: 09-26-24

Signature of Applicant: _____ Date: _____

PROPERTY OWNERS' AUTHORIZATION

The undersigned property owner(s) hereby certify that the information submitted in this application regarding this property is true, accurate and complete and that the Applicant(s) have full authority to request approval for the proposed use of the property and any proposed structure(s).

Signature of Owner: John Leddy Date: 09-26-24

Signature of Owner: _____ Date: _____

Location of Property: 158 Morse Drive

Parcel ID No.: 108290600 Zoning District: _____

Deed Reference: Volume _____ Page _____ Size of Parcel: _____ acres

Previous subdivision of parcel (if applicable)

Permittee name: Morse Industrial Park
Date: _____ Map # _____

Previous Site Plan Approval (if applicable)

Permittee name: Northwest VT Solid Wastement Management
Date: 07/11/24 _____ Map # _____

If applicable:

Engineer: Cross Consulting Engineers, PC (Nick Bouton) Surveyor: _____
Phone: 802-524-2113 Phone: _____
Email: nbouton@crossconsultingengineers.com Email: _____

Description of proposed project: (Please describe here or attach a separate proposal)

Amendment of a previously proposed project to alter site conditions for Improved Operation and Procedure of Traffic Flow
Adding 3 additions to existing structure; covered and partially enclosed storage area, covered material drop-off zone; drive thru material drop-off area with a material storage area and a second floor office area.

Names and addresses of abutting property owners:

Georgia Self-Storage, 200 Carpenter Hill Road, St. Albans, VT 05478
YIN & YANG LLC C/O GEORGE A LAMPHERE, 273 Rollin Irish Road, Westford, VT 05494
B&T Properties, LLC, 122 Morse Drive, Fairfax, VT 05454

Existing and/or proposed means of access to the site:

One curb cut exists off Morse Dr. An additional curb cut is being Proposed south of the facility.

List of plans, sketches, or other information submitted with this application:

C-1 Overall Site Plan, C-2 Existing Conditions & Demolition Plan, C-3 Layout Plan, C-4 Grading and Utility Plan, C-5 Details
Dated: 03/26/24; Revised 09/09/24

Location of parking and proposed number of spaces:

An expansion to the existing parking area is being proposed in front to the facility. In total 22 spaces will be provided.

Existing and/or proposed road & driveway access to site:

The site is currently accessed from a single curb cut. A loop road and additional curb cut are bing proposed.

Existing and/or proposed easements and rights-of-way:

The shared stormwater treatment system for the industrial park is located along the northern boundary.

Proposed and/or existing wastewater disposal and water supply:

A drilled well is located on site and will remain in operation.

A new sanitary service is being proposed and will connect to the existing service prior to leaving the site. the existing service connects to the sewer mains in the park leading to the pump station.

Proposed drainage/storm water runoff (if required):

All runoff will be routed via grass swales and a storm drain system to an existing permitted stormwater treatment system.

Proposed landscaping (if applicable):

treas are being protected to the greatest extent possible. A community garden is being proposed.

Size and location of proposed and/or existing buildings:

Existing building 9980 SF; proposed addition 3953 SF

State permits required and/or obtained for this project:

Act 250, Water/Wastewater, Fire Safety

Proposed lighting (if any):

One yard light is being proposed in the parking area. Wall Pak lights over entrance and exits.

Notes

- 1) Narratives which summarize the purpose, scope and key proposed changes to the approved subdivision and/or site plan are encouraged & may be attached.
- 2) Application standards for subdivision approval appear in the Georgia Development Regulations as Article 4. Site Plan Review and Approval standards appear in Article 3.

Site Plan Review Checklist:

This checklist is intended to be used as an aid in developing a complete application for Site Plan Review before the DRB. An application for Site Plan Review will consist of eight (8) sets of site plan maps and supporting data which will include the following information, and such information as indicated in the Concept Plan Recommendation, if applicable. The DRB may require additional information as necessary to determine compliance with the regulations.

- 1. Address of subject property.
- 2. Name and address of the owners of record of the subject property
- 3. Name and address of the owners of record of adjoining lands.
- 4. Map or survey, drawn to scale, showing existing features, including contours, land use, structures, large trees, roads, easements, rights of way, deed restrictions, name and address of person or firm preparing the map, scale of map, north point, date of map/revisions, and legend.

5. Site Plan, 24" by 36" digital file in PDF format in size and drawn to an appropriate scale showing proposed land use areas including proposed structures, roads, driveways, traffic circulation, parking and loading spaces, and pedestrian walkways; landscaping plans including site grading, culverts, drainage, landscape design, screening, signs and lighting; name and address of person or firm preparing the map, scale of map, north point, date of map and revisions, legend, and name, address and interest of the applicant in the subject property.
6. The DRB may require that the map or survey and site plan be prepared by a landscape architect, registered land surveyor, registered civil engineer, or registered architect if the proposed project utilizes more than 3,500 square feet, including parking area, or is a complex proposal that could have impacts on surrounding property owners, major roads, or important resources.
7. Construction sequence and timing schedule for completion of each phase for buildings, parking spaces, and landscaped areas of the entire project.
8. Specifications of the materials and plantings to be used.
9. A site location map showing the location of the project in relation to nearby town highways and developed areas at scale of one inch equals one thousand feet.
10. Uses that will generate more than one hundred and fifty (150) vehicle trip-ends per day (estimates shall be based on the most recent rates provided by the Institute of Transportation Engineers) shall include a traffic study conducted by a professional traffic engineer. The study will include details of existing and proposed ingress and egress, expected traffic volumes, turning movements, existing, and resulting levels of service, and proposed traffic control measures. The DRB may require a traffic study for projects generating less than 150 vehicle trip-ends where it finds there is a potential traffic safety issue.
10. A letter from the Georgia Fire Chief indicating any fire and rescue concerns with the proposed project.
11. A lighting plan including the location and height of mountings and/or light poles, fixture type, lamp type, wattage, level of illumination (footcandles). The DRB may require that the lighting plan be developed by a qualified professional. This plan shall show light levels, evenness, and patterns of light distribution, and should also indicate the lamp type, wattage, and lamp loss factors applied.
12. Sign details including dimensions, height, material, and proposed lighting.
13. At the request of the applicant, the DRB may waive any of the above submission requirements, but only where it finds that the size and scope of the application is such that the requirements represent an undue burden on the applicant and are clearly not necessary for the Commission to make findings on the application consistent with the requirements of these Zoning Regulations.
14. All fees according to the Permit Fee Schedule on the website at:

[Fee Schedule](#)

Decisions

The DRB shall act to approve or disapprove Site Plan applications in writing within forty-five (45) days after closure of the public hearing. Failure to act within the 45-day period shall constitute deemed approval on the 46th day. The DRB may recess and continue a hearing pending receipt of requested information, and non-submittal of requested information shall constitute grounds for Site Plan denial. The DRB shall prepare written findings-of-fact and conclusions setting forth background and rationale for their decision. The DRB may attach conditions of approval to ensure the intent of applicable bylaws and the municipal plan are met.

Site Plan decisions shall be distributed per requirements in Title 24, Chapter 117, Section 4464(b) Vermont Statutes Annotated.

Section 3. Item #A.

(FOR TOWN USE ONLY):

Date received: _____ Fee paid: _____ Check # _____

Returned (incomplete) _____ Date: _____

Signed: _____

Douglas Bergstrom

Zoning Administrator

Planning, DRB & 911 Coordinator

You will receive a written Decision and Finding of Fact within 45 days of the close of the hearing.

**Site Plan Amendment
Three (3) Additions to Existing Structure
SA-002-24 for SP-002-24**

Owner: Northwest Vermont Solid Waste Management 158 Morse Drive Fairfax, VT 05454 802-524-5986	Applicant: Same
Surveyor/Engineer: Nick Bouton Cross Consulting Engineers, PC 103 Fairfax Road, St. Albans, VT 05478 802-524-2113	Property Tax Parcel & Location: 158 Morse Road/Morse Industrial Park Georgia, Vermont Parcel#108290600 Zoning District: Industrial (I-1)

BACKGROUND

Northwest Vermont Solid Waste Management, hereafter referred Applicant, is requesting Site Plan Review for three (3) building additions to existing structures on the property. The parcel is located at 158 Morse Road, within the Industrial (I-1) zoning district. The parcel #108290600 is ±5.07 acres in size.

Applicant proposes to alter the site conditions for improved operations and procedure of traffic flow. Adding three (3) additions to existing structure 1.) covered and partially enclosed storage area, 2.) covered material drop-off zone, and 3.) drive-thru material drop-off area with a material storage area and a second-floor office area.

The Site Plan Amendment is looking to update the plat considering changes made by the State of Vermont regarding setbacks for the conservation easement originally done for the act 250 permitting for the industrial park. This has been updated so that the conservation easement now follows the Deer Brook setback of 200'. This change in setback requirements will allow for the building asphalt maneuverings area and concrete ramp.

COMMENTS

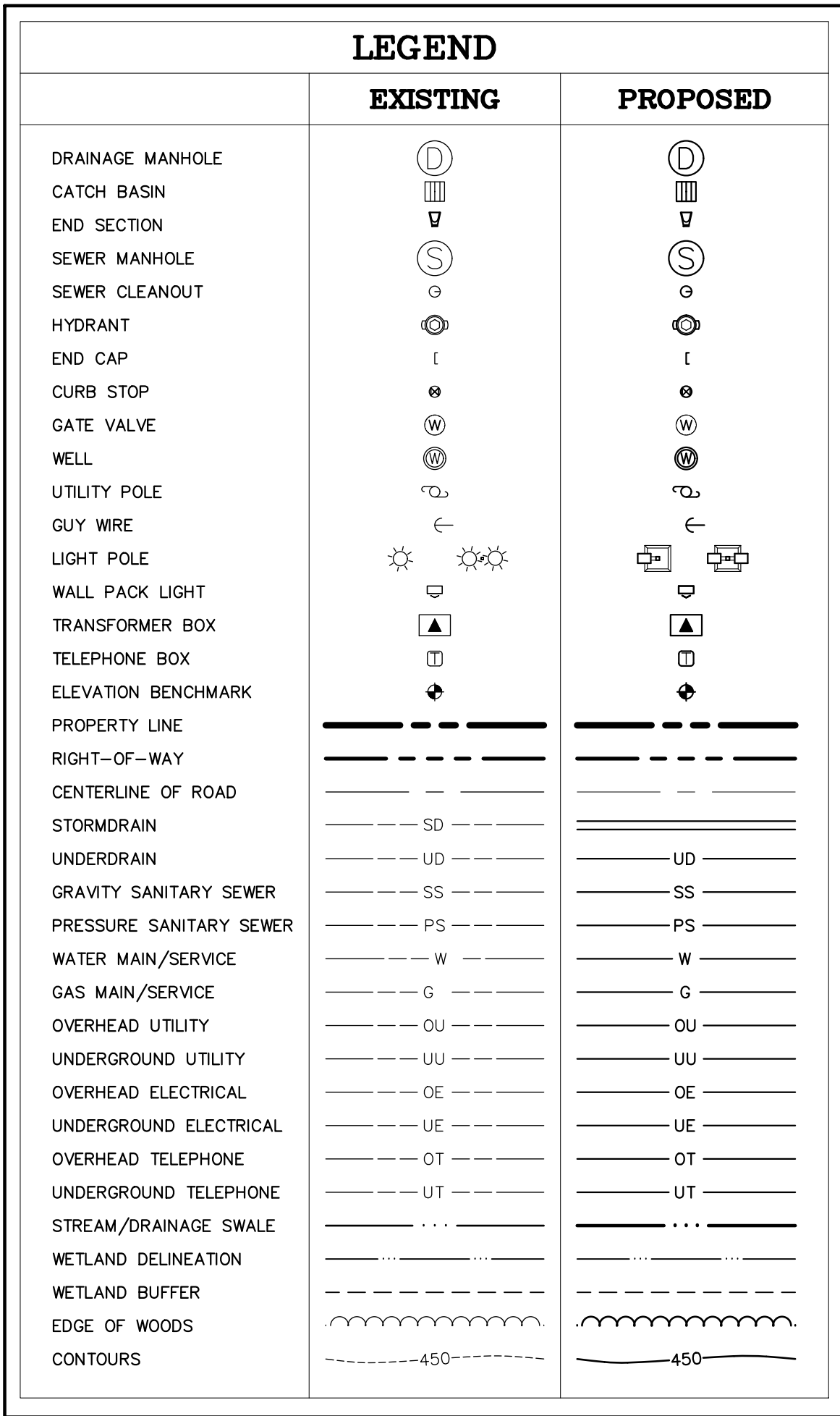
General Site Plan Review Requirements

- 1. Dimensional Requirements.** The dimensional requirements for the Industrial Zoning District: Lot Frontage, 150 feet; Front yard setback, 75 feet; and Side & Rear yard setbacks, 30 feet.
- 2. Site Plans.** Applicant has submitted five (5) plans titled “Northwest VT Solid Waste Management District Expansion Project” prepared by Cross Consulting Engineers, PC and dated 03/26/2024. They include: C-1: Overall Site Plan; C-2: Existing Conditions & Demolition Plan; C-3: Layout Plan; C-4: Grading & Utility Map; and C-5: Details.
- 3. Lot layout.** As proposed, the boundary lines are linear and generally regular in shape.

4. **Suitability for development.** The property is currently in use as a Solid Waste and Recycling Center. The additions will alter the site conditions for improved operations and procedure of traffic flow. Existing building is 9980 square feet, the proposed addition is 3953 square feet.
5. **Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.** No proposed changes to existing features. Areas are being protected to the greatest extent possible.
6. **Open space and recreation.** A community garden is being proposed.
7. **Storm water & erosion control plan during construction.** All drainage and runoff will be routed via grass swales and a storm drain system to an existing permitted stormwater treatment system.
8. **Conformance with Town Plan & Bylaws.** The current regulations allow for the proposed additional structures in the I-1 zoning district. Proposed setbacks appear to be sufficient.
9. **Water & air pollution.** Not addressed in application.
10. **Compatibility with surroundings.** The proposed additional structures appear to be compatible with properties in the surrounding Industrial area.
11. **Municipal services.** The Applicant shall obtain an ability to serve letter from the Fire Chief.
12. **Water supply.** A drilled well is located on site and will remain in operation. A new sanitary service is being proposed and will connect to the existing service prior to leaving the site. The existing service connects to the sewer mains in the park leading to the pump station.
13. **Vehicular traffic.** The site is currently accessed from a single curb cut off Morse Drive. A loop road and additional curb cut are being proposed south of the facility. An expansion to the existing parking area is being proposed in front of the facility. In total 22 parking spaces will be provided.
14. **State Permits.** Act 250, Water/Wastewater and Fire Safety.
15. **Proposed Lighting.** One yard light is being proposed in the parking area. Wall Pak lights will be placed over entrance and exits.
16. **Previously approved decision,** Site Plan Review, March 19, 2007.

Respectfully submitted,

Douglas Bergstrom
Zoning Administrator and DRB Coordinator
Town of Georgia



GENERAL NOTES

RECORD OF OWNERSHIP
Northwest VT Solid Waste MGT DIST
158 Morse Dr
Fairfax, VT 05454

TOPOGRAPHY PROVIDED BY:
CROSS CONSULTING ENGINEERS, PC
103 FAIRFAX RD
ST. ALBANS VERMONT 05478

1. The contractor shall be responsible for verifying and determining the location, size and elevation of all existing utilities shown or not shown on this plan prior to the start of construction. The engineer shall be notified, in writing, of any utilities found or suspected by the contractor. The contractor shall take appropriate remedial action shall be taken once proceeding with the work. The contractor shall verify all dimensions and elevations in the field before commencing construction and notify the engineer, in writing, of any discrepancy found.
2. Notify DigSafe (1-888-DIG-SAFE or 811) before commencing construction to verify utility locations. Website at www.digsafe.com

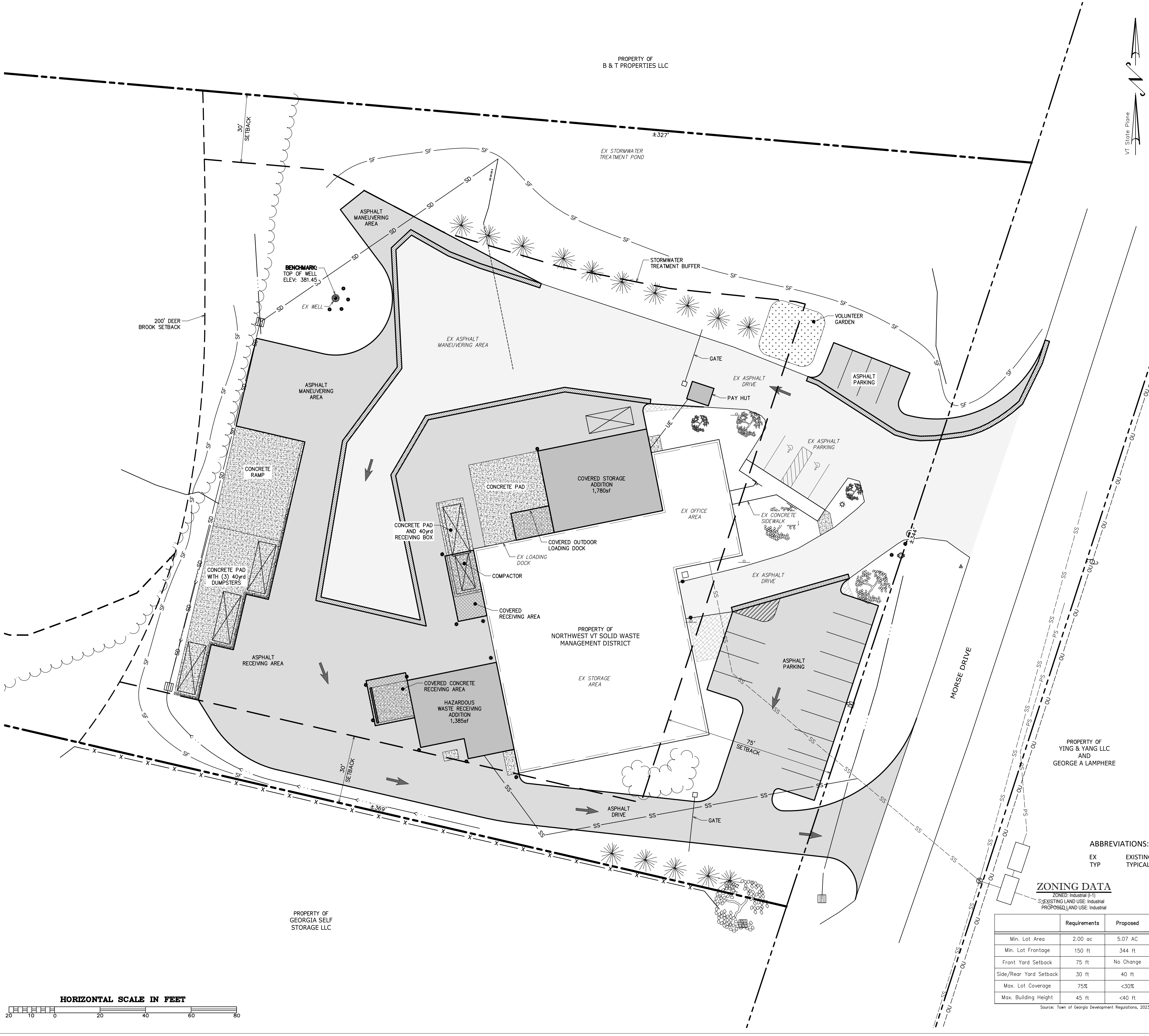


Sheet List Table	
Sheet Number	Sheet Title
C-1	Overall Plan
C-2	Existing Conditions & Demolition Plan
C-3	Layout Plan
C-4	Grading and Utility Plan
C-5	Details

ISSUED FOR BID 6/21/24

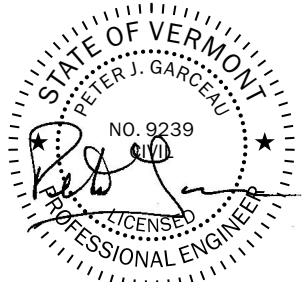
	Requirements	Proposed
Min. Lot Area	2.00 ac	5.07 AC
Min. Lot Frontage	150 ft	344 ft
Front Yard Setback	75 ft	No Change
Side/Rear Yard Setback	30 ft	40 ft
Max. Lot Coverage	75%	<30%
Max. Building Height	45 ft	<40 ft

Source: Town of Georgia Development Regulations, 2023



PROJECT: 21001
DATE: March 26, 2024
DESIGN: NRB
DRAWN: NRB
CHECKED: PJG
APPROVED: PJG

Tel: 802-524-2113
Fax: 802-524-9681
CROSS
CONSULTING ENGINEERS, P.C.
103 Fairfax Rd.
St. Albans, Vermont 05478
© COPYRIGHT 2024
Cross Consulting Engineers, P.C.



Existing Conditions & Demolition Plan

Northwest VT Solid Waste Management District
Georgia, VT
Expansion Project
Georgia, VT
Morse Dr.

CIVIL

C-2

Q:\2020 Drawings\20001 - NWESWD - Georgia\Current\C-2 Existing Conditions & Demolition Plan.dwg Plotted: 9/9/2024 11:52:13 AM

ABBREVIATIONS:

EX	EXISTING
TBR	TO BE REMOVED
TBRC	TO BE RECONSTRUCTED
TBRL	TO BE RELOCATED
TRM	TO BE REMAIN
TBS	TO BE SALVAGED
TYP	TYPICAL

LEGEND

	- Asphalt area to remain.
	- Asphalt area to be removed/reconstructed.
	- Structures to remain.
	- Structure to be demolished
	- Gravel areas to be removed/replaced. (All Gravel)
	- Concrete to remain.
	- Concrete to be removed/replaced.

NOTES:

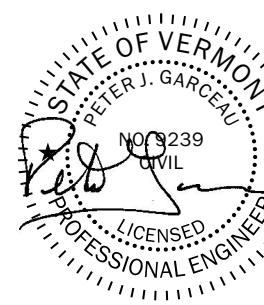
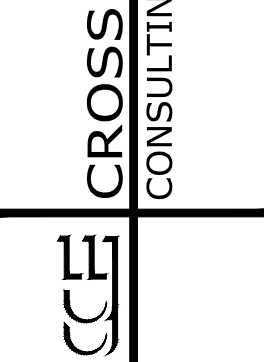
1. Refer to specifications for demolition requirements.
2. Refer to the MEP plans for additional utility details and notes.
3. Refer to the Architectural and Structural plans for additional building demolition and coordination details.
4. Field verify location of existing underground utilities in the work area and protect the utilities to remain during construction.
5. Coordinate with utility companies before working near their utilities.
6. Existing utilities are in use. Maintain utility services unless shutdown authorized by owner and utility.
7. All existing Conex boxes, dumpsters, and trailers are to be relocated and/or removed from the site by the owner. Contractor to coordinate with the owner.

HORIZONTAL SCALE IN FEET



PROJECT: 21001
DATE: March 26, 2024
DESIGN: NRB
DRAWN: NRB
CHECKED: PJG
APPROVED: PJG

Tel: 802-524-2113
Fax: 802-524-9681
CROSS
CONSULTING ENGINEERS, P.C.
103 Fairfax Rd.
St. Albans, Vermont 05478
© COPYRIGHT 2024
Cross Consulting Engineers, P.C.



REUSED WASTE STORAGE AREAS AND MANEUVERING AREAS TO
ACCOMMODATE APPLICABLE DRILLED WELL SETBACKS.

Georgia, VT

Northwest VT Solid Waste Management District
Georgia, VT
Expansion Project
Morse Dr.

CIVIL
C-3

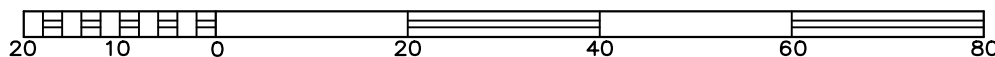
SHEET 3 OF 5



NOTES:

1. Refer to the structural plans for more details.
2. Refer to the Architectural plans for more details.
3. Gates are to be specified by owner. Contractor to install gate and electrical if required.
4. The pay hut is to be specified by the owner and installed by the contractor. Electric and data conduits to be installed by the contractor.
5. Mill 2 ft strip of existing asphalt adjacent to the saw cut line where asphalt is to be removed/reconstructed. Overlay milled section of existing asphalt with wearing course of new asphalt.
6. All dumpsters and Conex boxes are to be supplied and placed by the owner.
7. Refer to the MEP plans for more details.
8. Site bollard, refer to 10 - Site Bollard on C-5.

HORIZONTAL SCALE IN FEET



ISSUED FOR BID 6/21/24

Q:\2020 Drawings\20001 - NWESWD - Georgia\Current\C-4 Grading And Utility Plan.dwg Plotted: 9/9/2024 12:38:39 PM

NOTES:

1. Refer to the structural plans for more details.
2. Refer to the Architectural plans for more details.
3. Gates are to be specified by owner. Contractor to install gate and electrical if required.
4. The pay hut is to be specified by the owner and installed by the contractor. Electric and data conduits to be installed by the contractor.
5. Mill 2 ft strip of existing asphalt adjacent to the saw cut line where asphalt is to be removed/reconstructed. Overlay milled section of existing asphalt with wearing course of new asphalt.
6. All dumpsters and Conex boxes are to be supplied and placed by the owner.
7. Refer to the MEP plans for more details.
8. Site bollard, refer to 10 - Site Bollard on C-5.

HORIZONTAL SCALE IN FEET



Lot 6 Water/Wastewater Basis of Design

TYPE OF ESTABLISHMENT: NORTHWEST SOLID WASTE DISTRICT
EXISTING DESIGN FLOW PER WW-6-1462: 10,600sf RECYCLING BUILDING WITH 6 EMPLOYEES @ 15gpd/EMPLOYEE WITH A 10% LOW FLOW FIXTURE CREDIT = 81 GAL./DAY
ORIGINAL LEACHFIELD SIZING DESIGN FLOW DETERMINATION PER EC-6-1851-1: LEACHFIELD SIZED FOR EACH LOT TO HAVE 14 EMPLOYEES @ 15gpd/EMPLOYEE WITH A 10% LOW FLOW FIXTURE CREDIT = 189gpd/LOT
PROPOSED DESIGN FLOW: 11,985sf RECYCLING BUILDING WITH 10 EMPLOYEES @ 15gpd/EMPLOYEE = 150gpd

NOTE: APPLY 4" OF TOPSOIL SEED AND MULCH TO ALL DISTURBED AREAS NOT RECEIVING NEW IMPERVIOUS SURFACES.



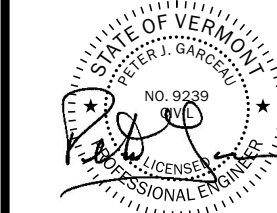
Grading And Utility Plan

Northwest VT Solid Waste Management District
Georgia, VT
Expansion Project
Morse Dr.

CIVIL
C-4

SHEET 4 OF 5

REUSED WASTE STORAGE AREAS AND MANEUVERING AREAS TO ACCOMMODATE APPLICABLE DRILLED WELL SETBACKS.

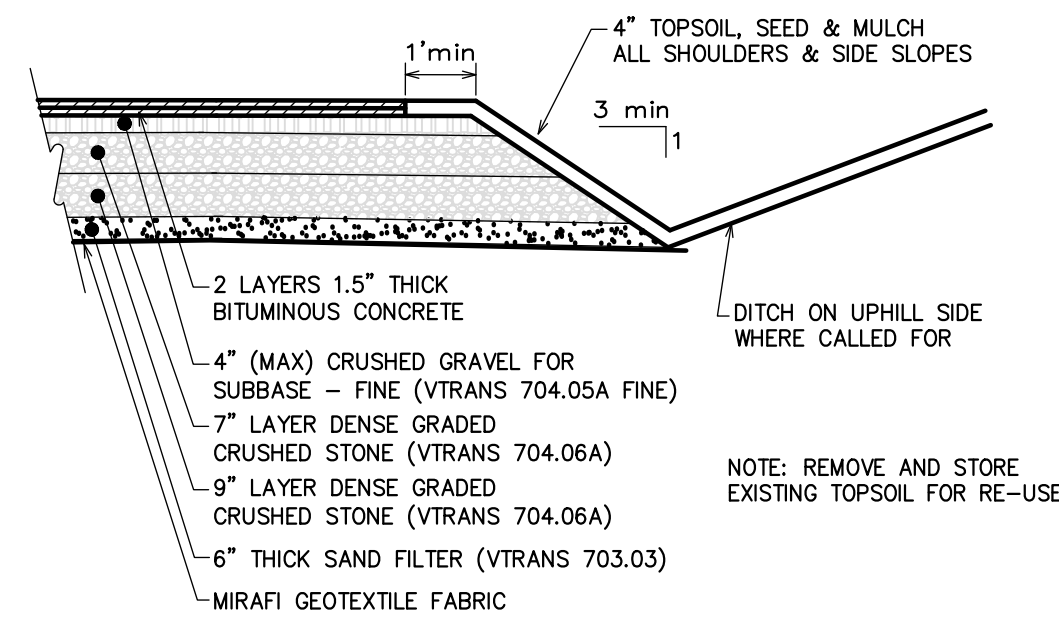


CROSS
CONSULTING ENGINEERS, P.C.

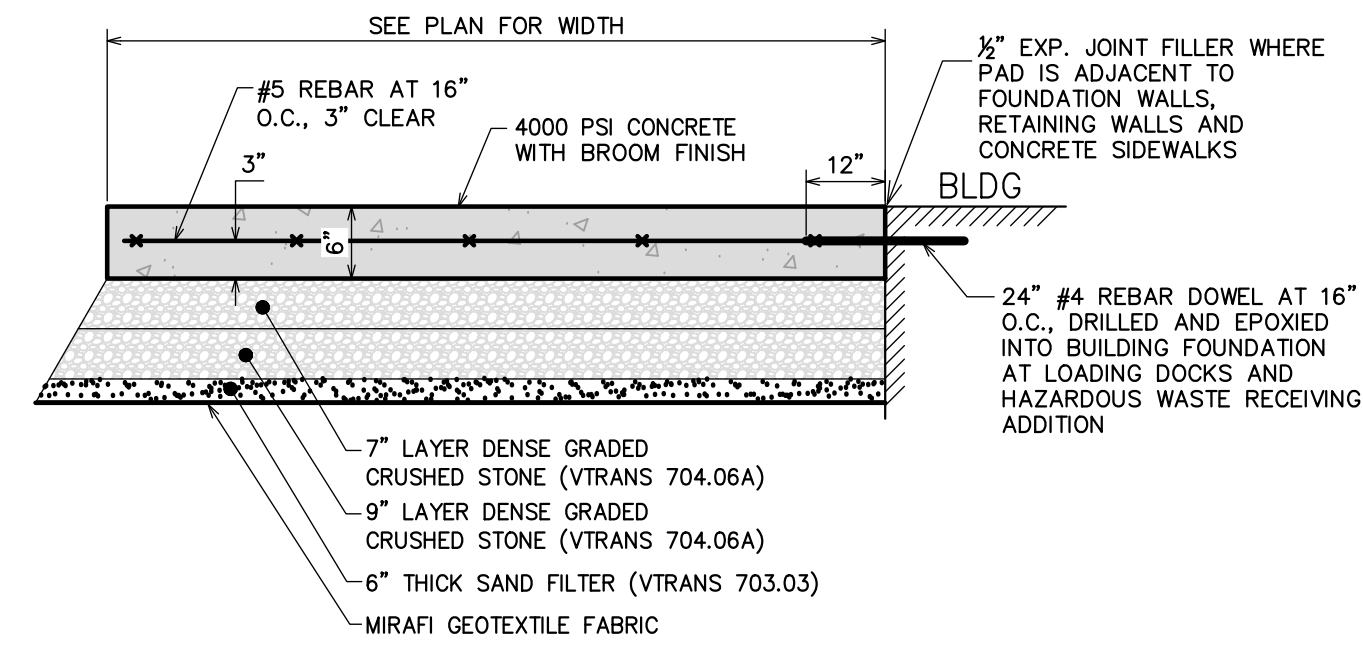
PROJECT: 21001
DATE: March 26, 2024
DESIGN: NRB
DRAWN: NRB
CHECKED: PJG
APPROVED: PJG

Tel: 802-524-2113
Fax: 802-524-9681
103 Fairfax Rd.
St. Albans, Vermont 05478
© COPYRIGHT 2024
Cross Consulting Engineers, P.C.

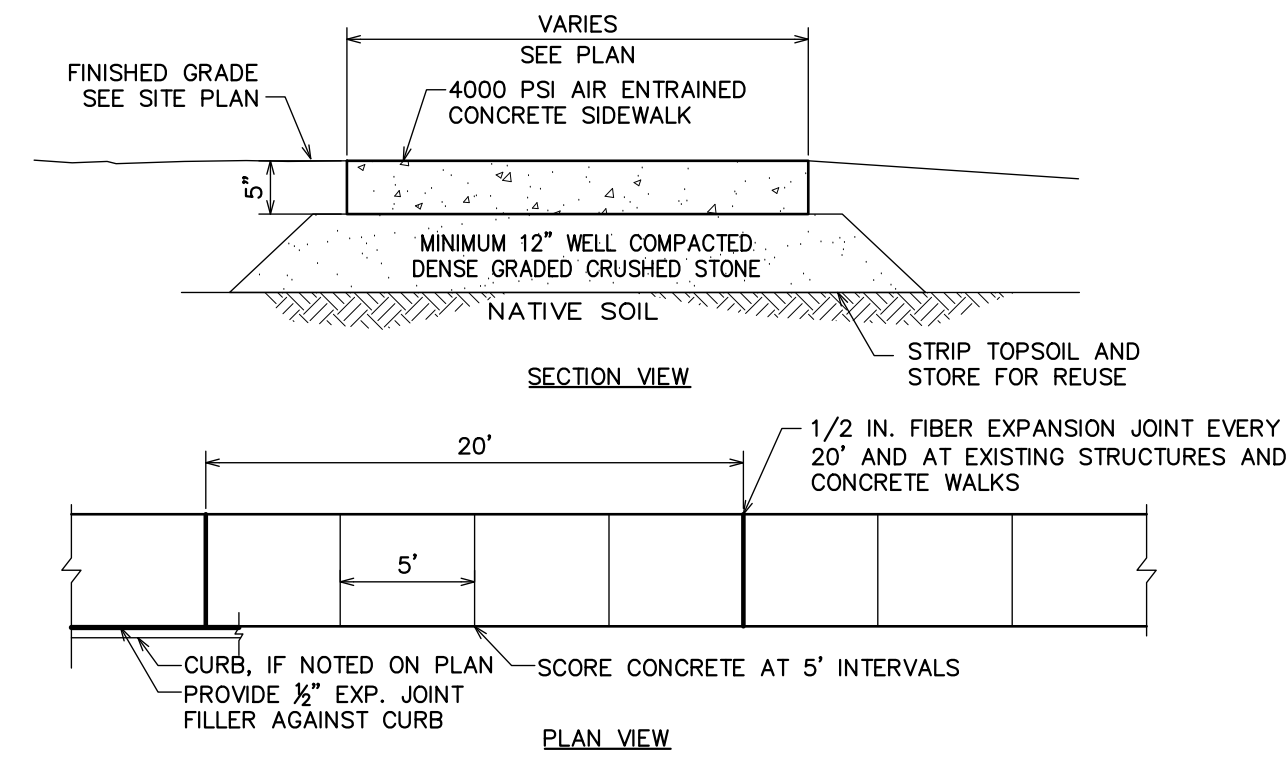
ISSUED FOR BID 6/21/24



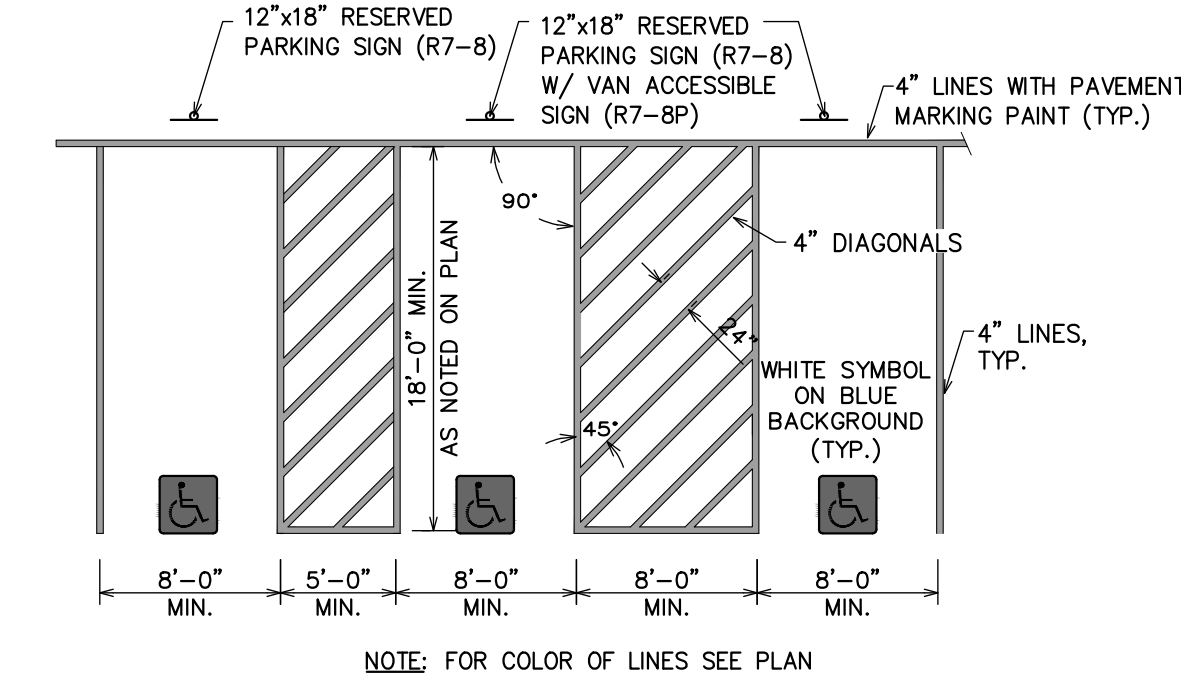
01 Asphalt Section
C-5 NOT TO SCALE



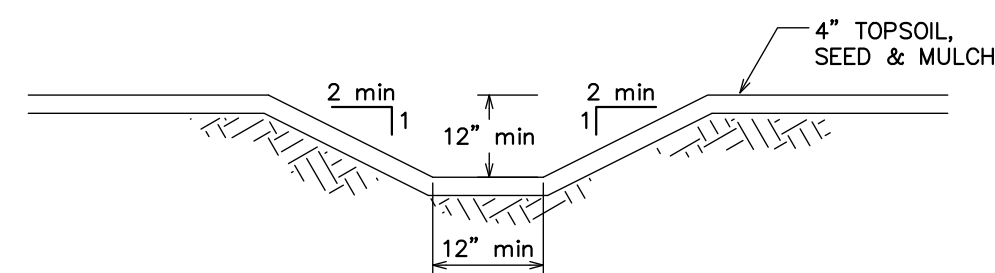
02 Concrete Pad
C-5 NOT TO SCALE



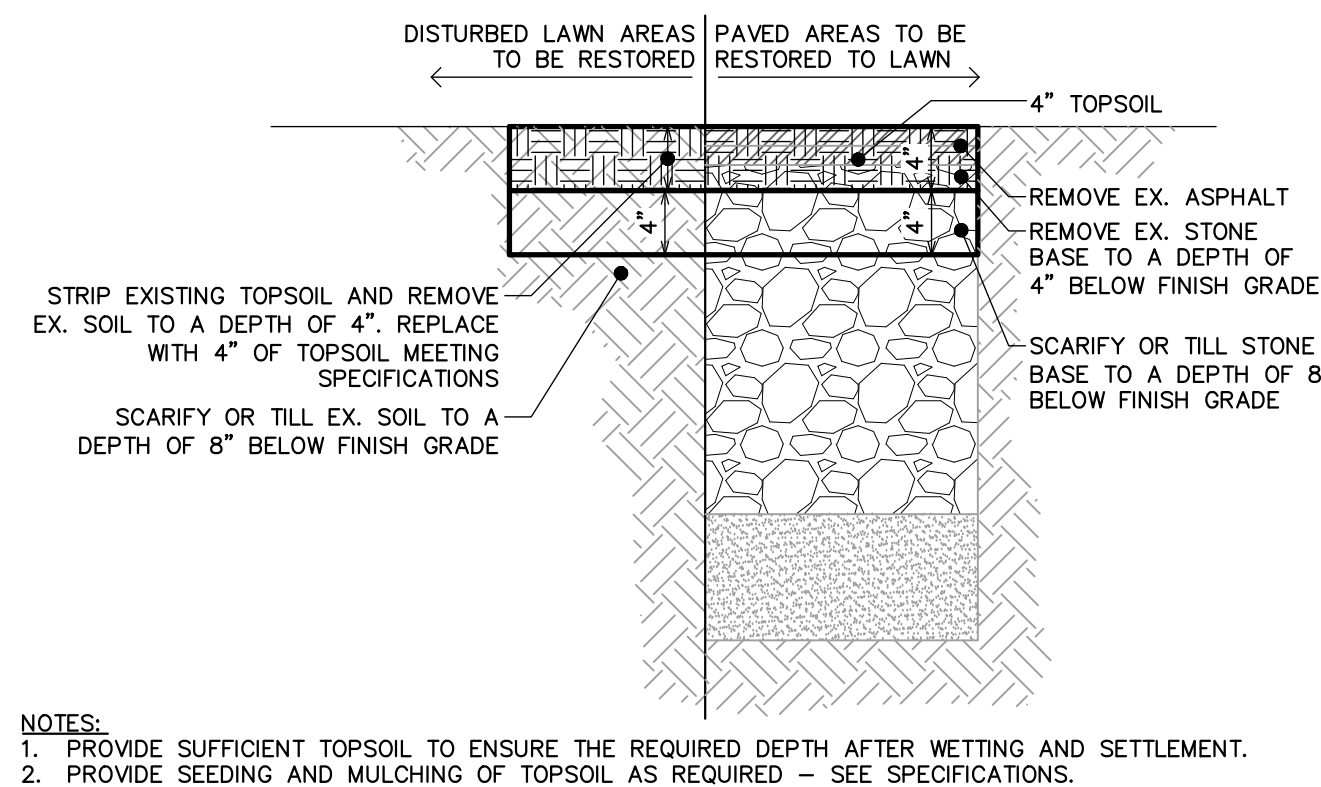
03 Concrete Sidewalk
C-5 NOT TO SCALE



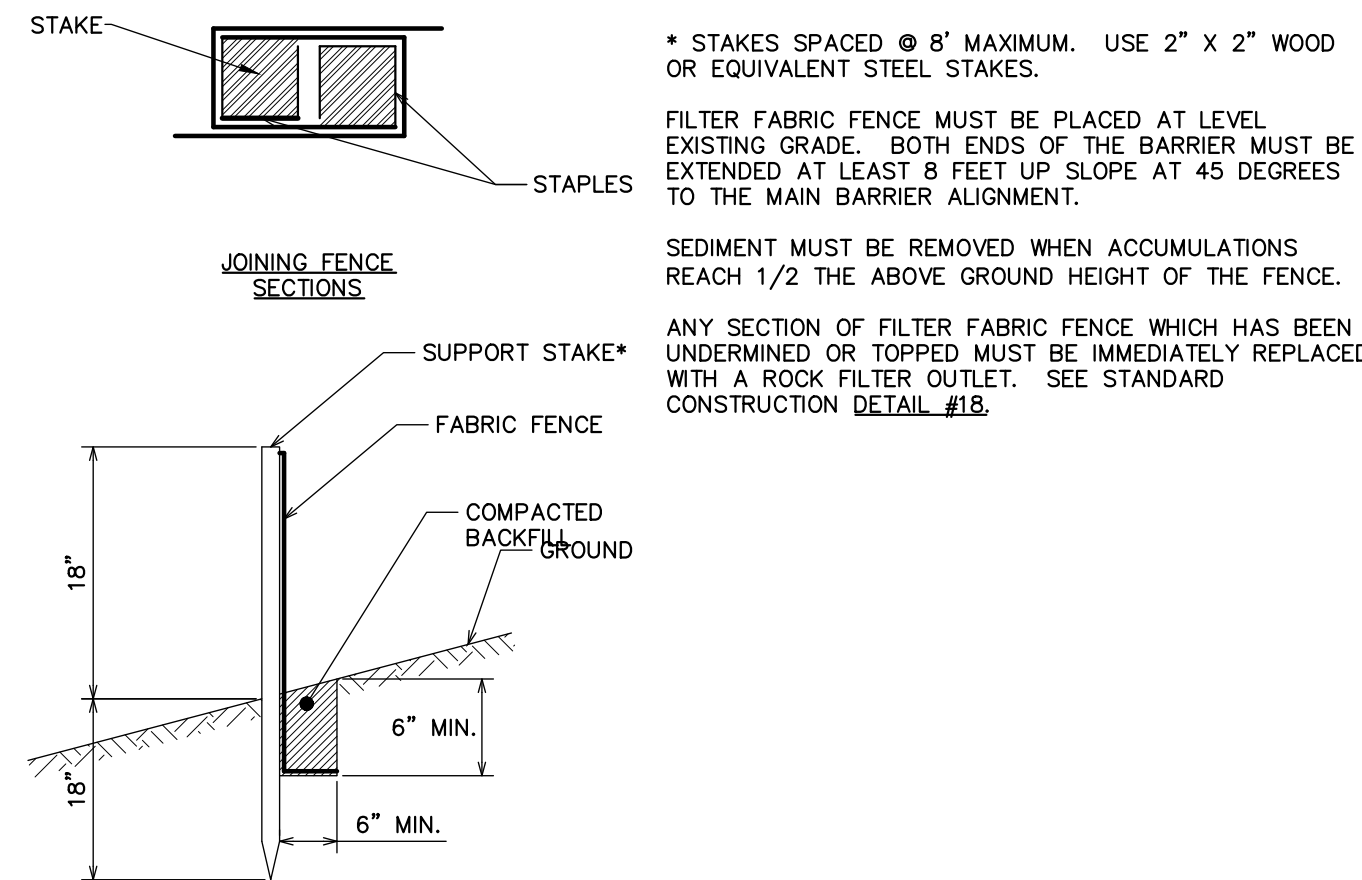
04 ADA Parking
C-5 NOT TO SCALE



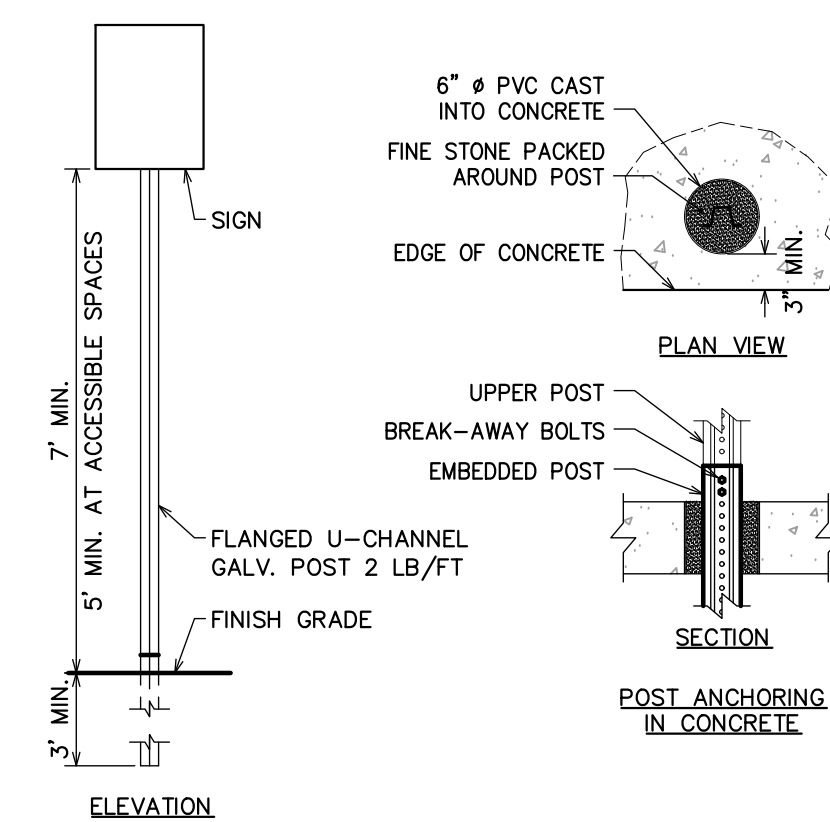
05 Grass Swale
C-5 NOT TO SCALE



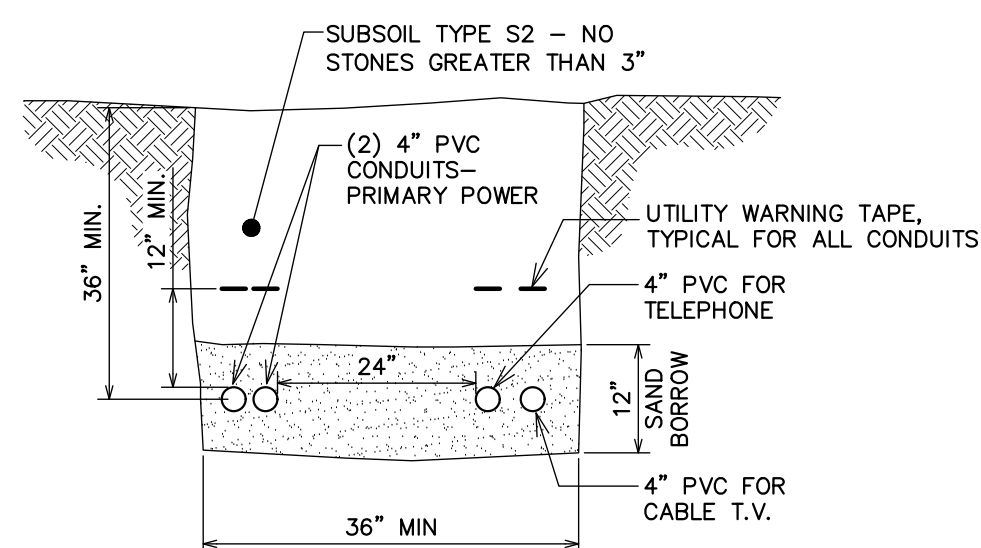
06 Lawn Restoration
C-5 NOT TO SCALE



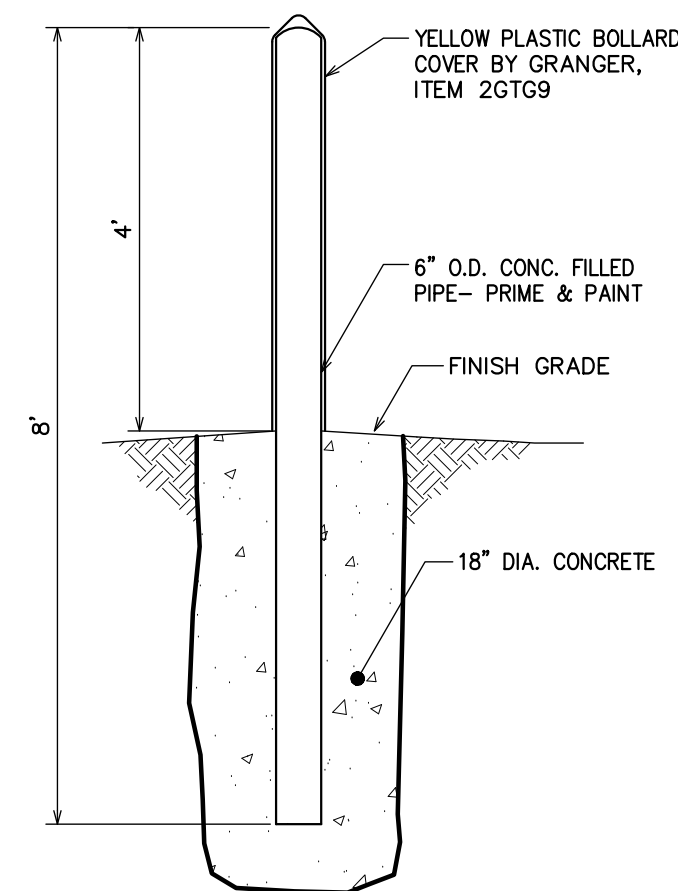
07 Silt Fence
C-5 NOT TO SCALE



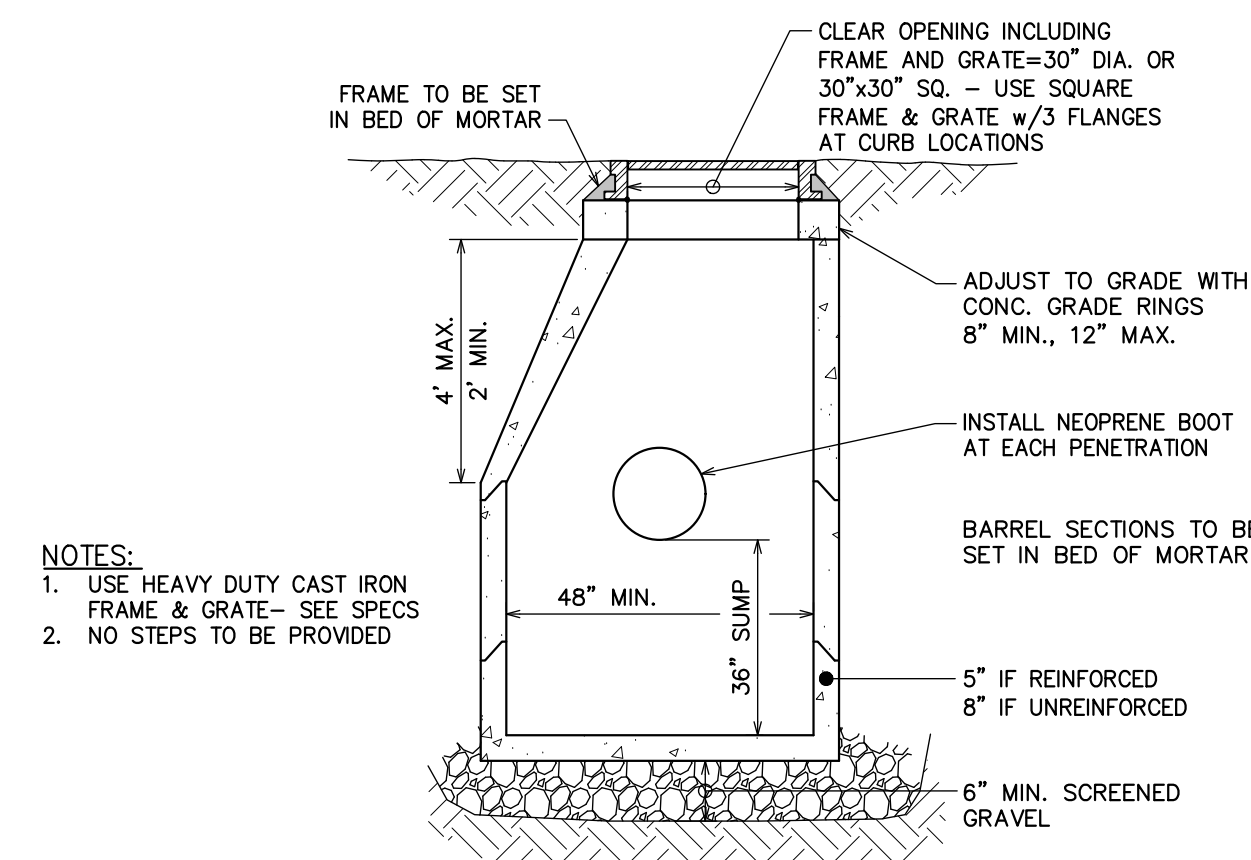
08 Typical Sign
C-5 NOT TO SCALE



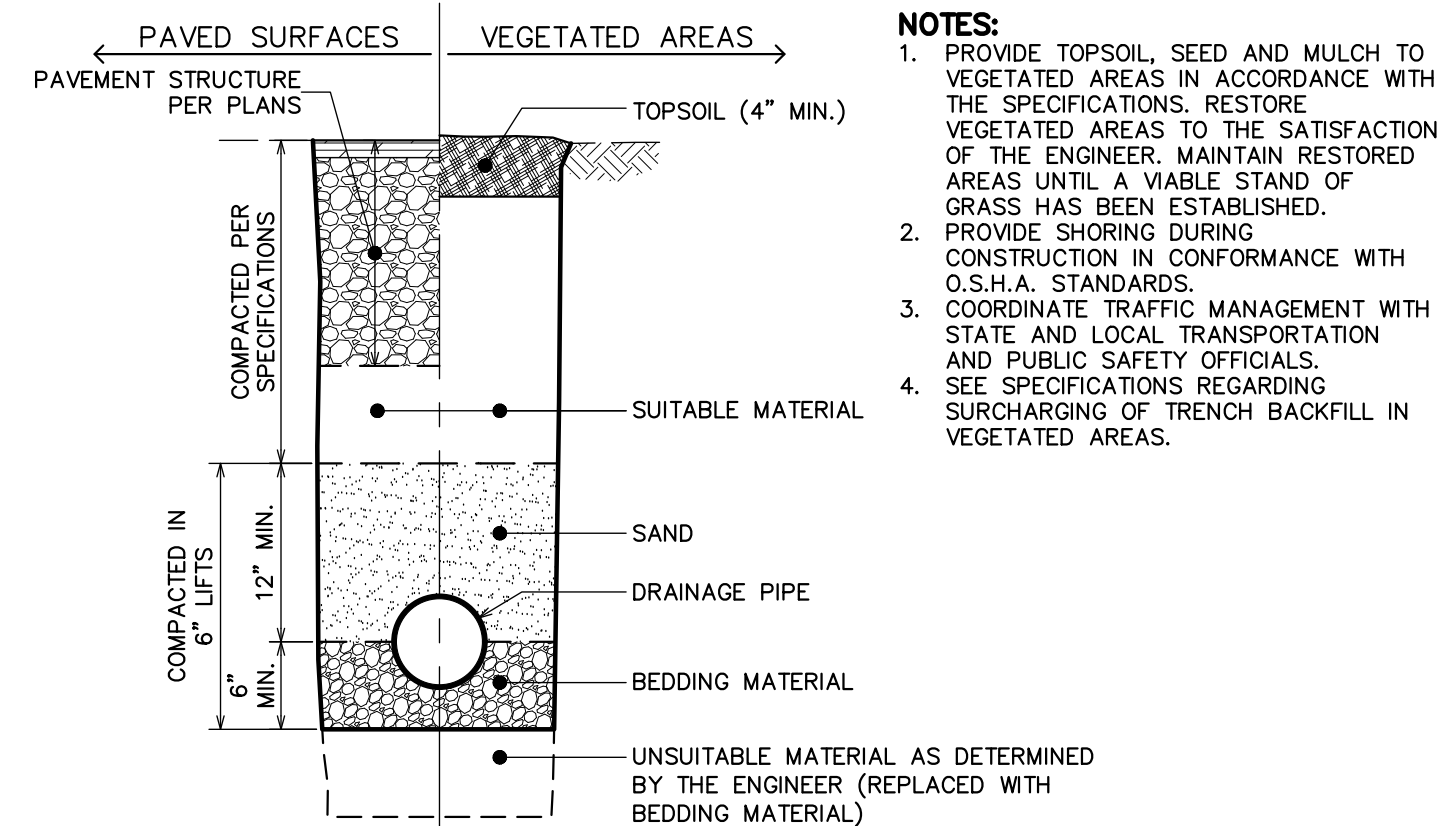
09 Utility Trench
C-5 NOT TO SCALE



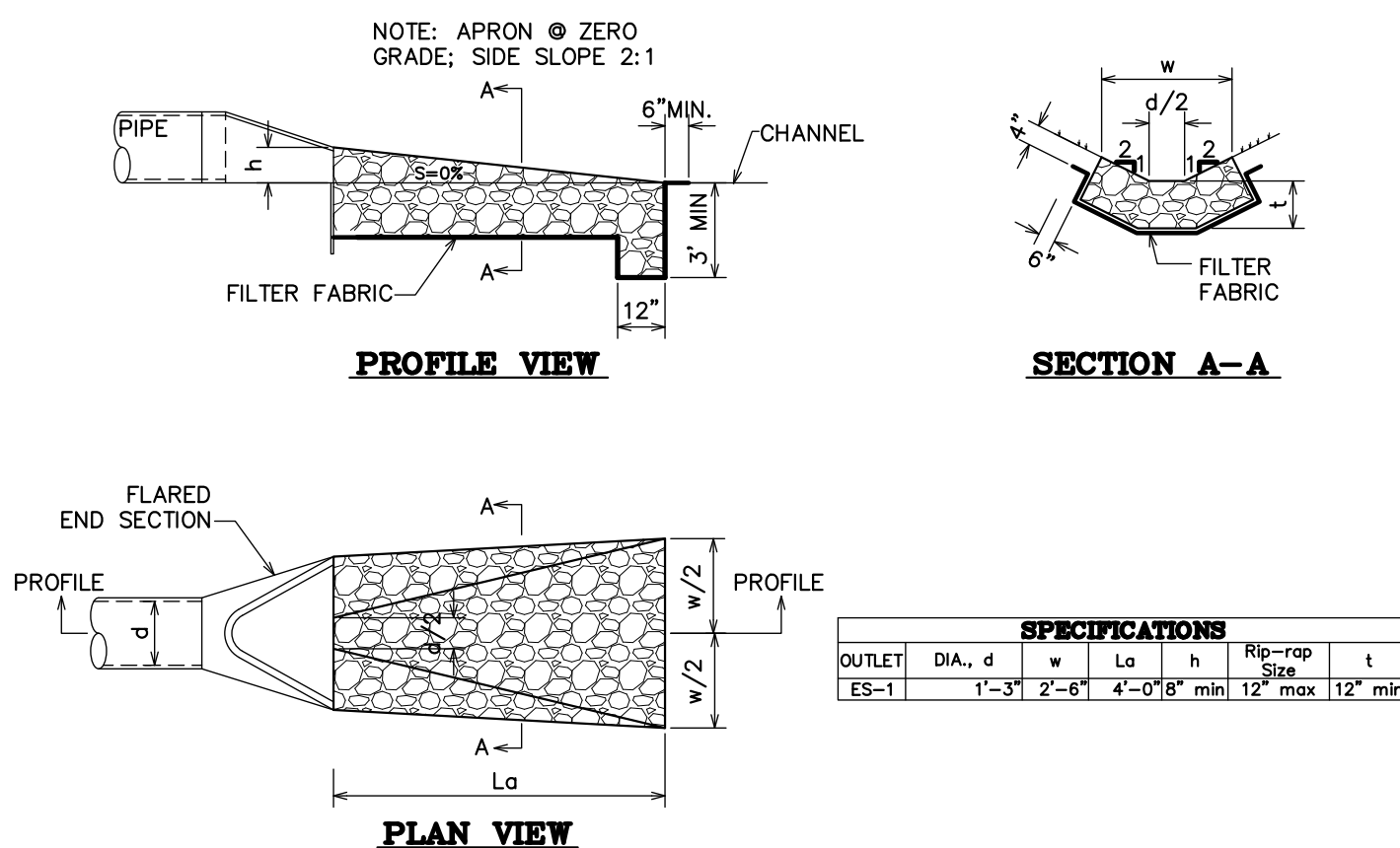
10 Site Bollard
C-5 NOT TO SCALE



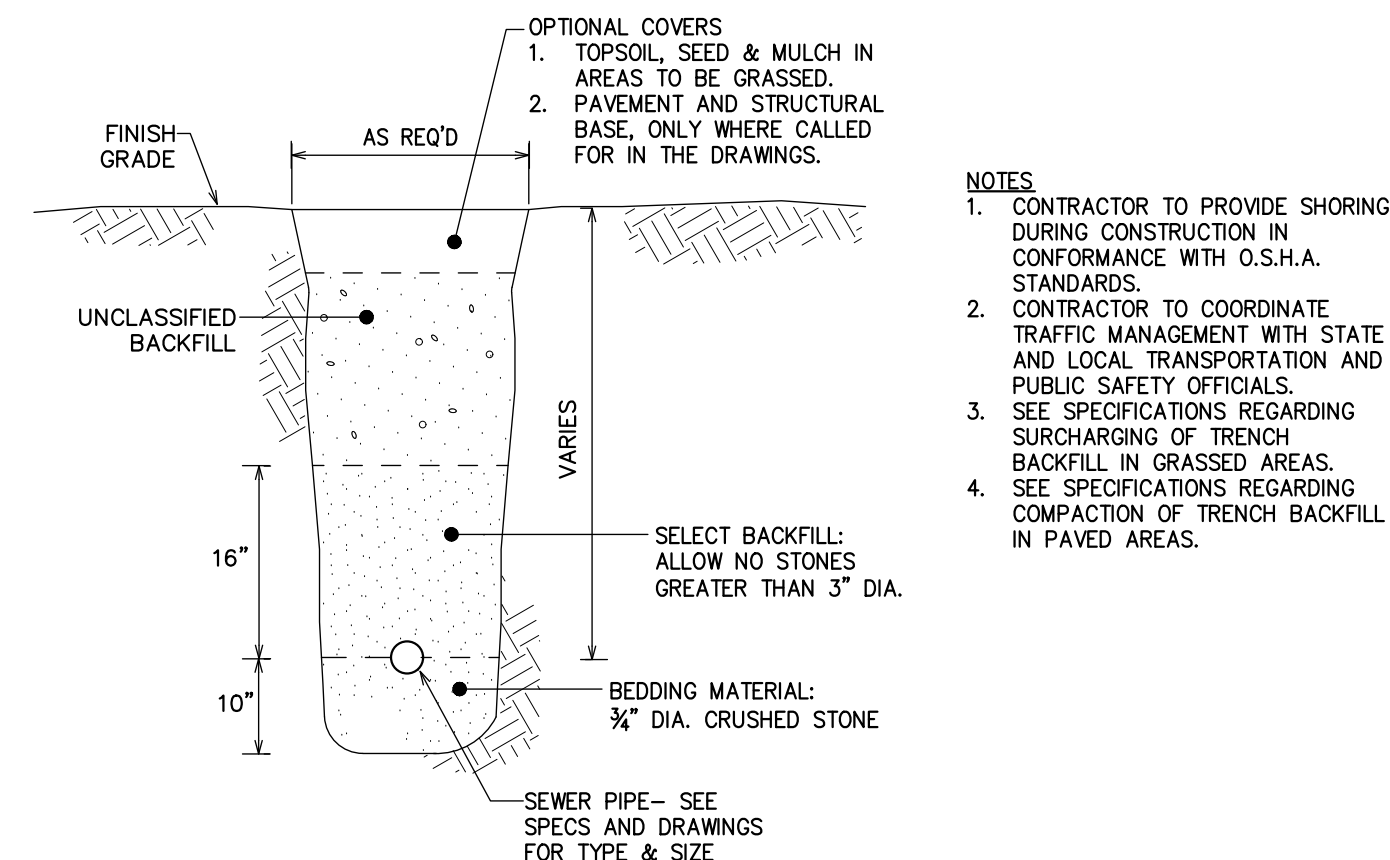
11 Catch Basin
C-5 NOT TO SCALE



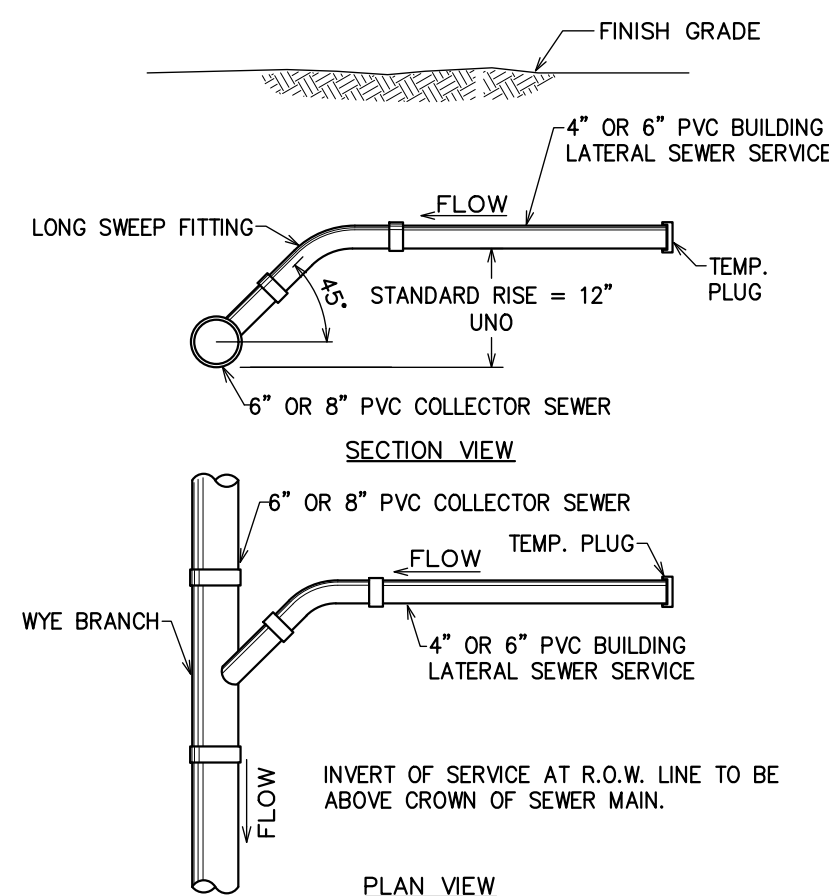
12 Storm Drain Trench
C-5 NOT TO SCALE



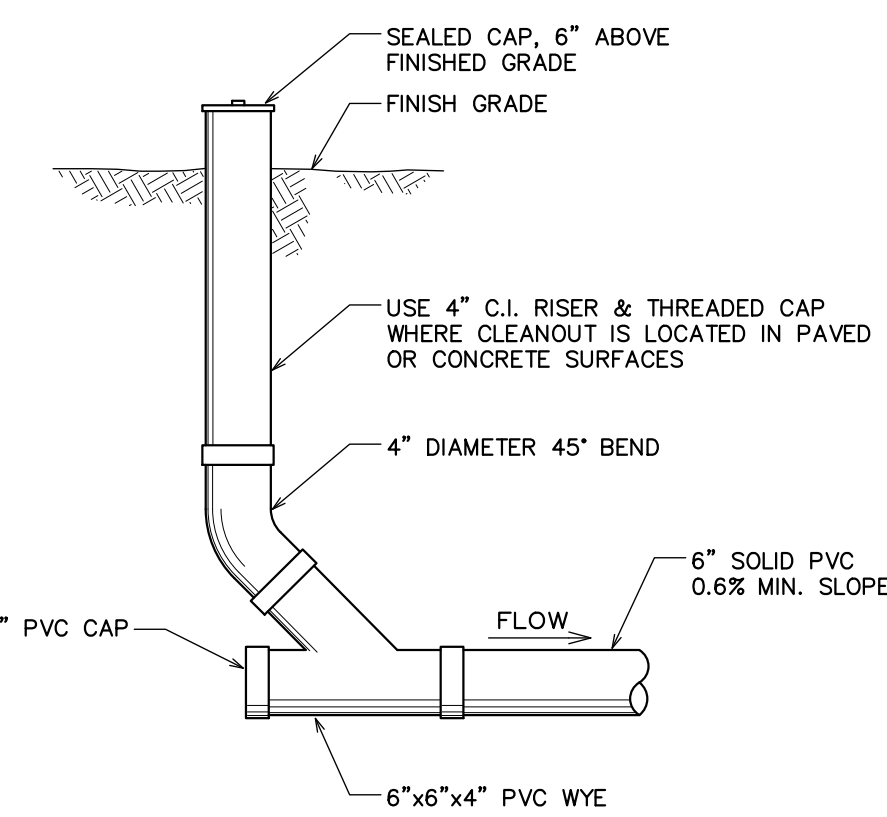
13 Storm Drain Outfall
C-5 NOT TO SCALE



14 Sewer Trench
C-5 NOT TO SCALE



15 Sewer Service Wye
C-5 NOT TO SCALE



16 Sewer Cleanout
C-5 NOT TO SCALE

ISSUED FOR BID 6/21/24

Details

Northwest VT Solid Waste Management District
Georgia, VT
Expansion Project
Morse Dr.
Georgia, VT

CIVIL
C-5



Town of Georgia

47 Town Common Road North • St. Albans, VT 05478
• Phone: 802-524-3524 • Fax: 802-524-3543 • website: townofgeorgia.com

NOTICE of DECISION

In re: Northwest Vermont Solid Waste Management, Applicant
Permit Application No.: SP-002-24

Decision and Findings of Fact for Site Plan Review for Three (3) Additions to Existing Structures

Dear Applicant/Owner,

After a duly warned hearing of the Development Review Board (DRB) on June 4, 2024, the following action was taken with regard to your request:

GRANTED WITH CONDITIONS

Note: The application, any and all relevant evidence presented to the Board, and the minutes of the Board at the hearing conducted by the Town of Georgia DRB on June 4, 2024, and relevant information from public records and sources, shall be considered part of the Finding of Fact and kept as part of the permanent record of the applicant/owner.

This official record shall provide additional basis for the Board's decision.

Background:

This matter came before the Town of Georgia DRB on the application of Northwest Vermont Solid Waste Management, hereinafter referred to as Applicant, requesting Site Plan Review for three (3) additions to existing structures located at 158 Morse Drive within the I-1 zoning district. A Notice of Public Hearing was duly published in the St. Albans Messenger on May 21, 2024, and all abutting property owners were notified.

The DRB conducted a public hearing on this application on June 4, 2024. John Leddy represented Northwest Vermont Solid Waste Management and presented at the meeting. There were no interested parties in attendance. Applicant submitted a Site Plan application and the Zoning Administrator presented a DRB report.

Finding of Facts:

1. Applicant is requesting Site Plan approval for three (3) additions to existing structures located at 158 Morse Drive within the I-1 zoning district.
2. As proposed, the land meets the requirement for additional structures with setbacks, road frontage and acreage as required by the current Town of Georgia Development Regulations dated February 27, 2023.
3. The property is currently in use as a Solid Waste and Recycling Center. The additions will alter the site conditions for improved operations and procedure of traffic flow. The existing building is 9980 square feet, and the proposed addition is 3953 square feet.
4. The three additions include a drive-through recycling center, sunken bins for vehicles to drop off recyclables and a new interior storage space for storage on the first floor and office space and break room on the second floor.
5. A drilled well is located on site and will remain in operation. A new sanitary service is being proposed and will connect to the existing service prior to leaving the site. The existing service connects to the sewer mains in the park leading to the pump station.
6. The following members of the DRB were present for the Site Plan public hearing on June 4, 2024 constituting a quorum: Suzanna Brown, Charles Cross, James Powell, Gilles Rainville, Jr., Lisa Faure, Glenn Sjoblom and Jared Waite. See meeting minutes for a list of others present.
7. The regulations in effect at the time of the decision: **Municipal Town Plan**, last amended January 9, 2017; **Town of Georgia Development Regulations**, last amended February 27, 2023.

Conclusion:

The Board concludes as follows:

1. The Applicant has submitted relevant Site Plan information required by the Georgia Development Regulations, but is in need of additional information from Cross Engineering regarding the building envelope and open space easement.
2. The approval of this Site Plan application is based on all plans and documents submitted and contained in the zoning file for this project.
3. This application was reviewed as an Industrial Light business with conditional use approval (February 27, 2007) and Site Plan approval needed for any additions or changes. The standards and requirements of rule are outlined in Article 2, Zoning Districts and Land Uses and Dimensional Standards; and Article 7, Planning and Design Standards, of the Town of Georgia Development Regulations. The application was deemed consistent with the above-mentioned standards and requirements.
4. The approval of the Site Plan is based on five (5) plans titled "Northwest VT Solid Waste Management District Expansion Project" prepared by Cross Consulting Engineers, PC and dated 03/26/2024. They include: C-1: Overall Site Plan; C-2: Existing Conditions & Demolition Plan; C-3: Layout Plan; C-4: Grading & Utility Map; and C-5: Details.

Decision:

Based on the Findings of Fact and Conclusions set forth above, the Georgia DRB approves the Site Plan for three (3) building additions to existing structures on the property subject to the conditions listed below:

1. Any building shall be built outside of the open space easement, including the truck turnaround and concrete dumpster area.
2. Parking regulations shall follow the standards of Light Industrial and include paving, handicapped parking signs and lined spaces. Site map shall also depict delineated parking spaces.
3. New loop driveway shall comply with the Town of Georgia Private Road & Driveway Standards (4/24/23).
4. Any outdoor storage shall be shielded or covered by landscaping or fencing.
5. Applicant shall provide an "Ability to Serve" letter from the Town of Georgia Fire Chief indicating the ability to provide emergency services to the proposed subdivision.
6. Grass landscaping shall be installed by the entrance.
7. The new well shield shall be depicted in the site plans for building permit.
8. Site Plan expires two (2) years from date of issuance, **June 4, 2024**, date of expiration **June 4, 2026** per Article 3, section 3E of the Town of Georgia Development Regulations.
9. Copies of all required State permits including, but not limited to, Act 250, Fire Safety, wastewater and potable water supply permits shall be submitted to the Zoning Administrator for inclusion in the project file prior to the issuance of any zoning permits.
10. This project shall be completed, operated, and maintained as set forth in the plans and exhibits as approved by the DRB and on file in the Town Office, and in accordance with the conditions of this approval.
11. Building permits for the project must be obtained from the Zoning Administrator prior to starting the project.

These conditions shall not be deviated from absent an amendment granted by the Board.

All plats, plans, drawings, etc., listed above or submitted at the hearing and used as a basis for the decision to grant the permit shall be binding on the applicants, their heirs and assigns. Projects must be completed in accordance with such approved plans and conditions. Any deviation shall be a violation of the permit and subject to enforcement action by the Town.

NOTICE: This decision may be appealed to the Vermont Environmental Court by an interested person who participated in the proceeding before the Development Review Board. Such appeal must be taken within 30 days of the date of this decision pursuant to 24 V.S.A. Section 4471. Notice of the appeal shall be filed by certified mailing, with fees, to the environmental court and by mailing a copy to the Zoning Administrator who shall supply a list of interested persons to the appellant within five working days.

Upon receipt of the list of interested persons, the appellant shall, by certified mail, provide a copy of the notice of appeal to every interested person.

EXPIRATION: Pursuant to Section 3.2(D) of the Town of Georgia Development Regulations, approval from the Development Review Board allowing a conditional use shall expire one year from date of issue if construction has not progressed to the point where the property can reasonably be used for its intended purpose as defined and/or all conditions of this decision as set forth above have not been met. An extension of one year will be granted by the Zoning Administrator if application for extension takes place before the approval has expired. At the end of two years, the permit will permanently expire unless the Development Review Board grants a further extension.

Members present and voting for approval: Suzanna Brown, Charles Cross, James Powell, Gilles Rainville, Jr., Lisa Faure and Jared Waite. Members absent from voting: Greg Drew, Glenn Sjoblom and Chris Caspers. Members present and voting against approval: None.

Signature of Chair: _____

Suzanna Brown

Date: _____

2 July 2024

Suzanna Brown, DRB Chair

**SKETCH PLAN REVIEW
Two-Lot Minor Subdivision
SK-003-24**

Owner/Applicant: Robert Rooney & Terry Rooney 138 Swanton Road, St. Albans VT 05478 PH: 802-752-7463	Property Tax Parcel & Location: 4451 Ethan Allen Highway Georgia, VT 05478 Parcel#116080000 Zone: AR-1 & AR-2
Engineer: Peter Mazurak, P.E. PH: 802-752-7328 aevermont@gmail.com	Surveyor: Harvey W. Chaffee, L.S. PH: 802-393-2289 harvey@chaffeesurveying.com

Background

Robert Rooney and Terry Rooney, hereafter referred to as Applicants, are requesting Sketch Plan review for a two-lot Minor Subdivision at 4451 Ethan Allen Highway and consisting of ± 50.5 acres. The parcel is located in the AR-1 and AR-2 zoning districts, with Lot 1 located in AR1 & AR-2 zoning districts and Lot 2 entirely within the AR-2 zoning district. Said parcel is benefitted by ± 805 ft of road frontage along Ethan Allen Highway.

Applicant is proposing a subdivision of the ± 50.5 acres into two (2) lots: ± 47.8 acres (Lot 1) and ± 2.7 acres (Lot 2).

COMMENTS

General Subdivision and Site Plan Review Requirements

- 1. Dimensional Requirements.** The dimensional requirements of the Zoning Districts and the proposed lot dimensions are as follows:

	AR-1	AR-2	Lot 1	Lot 2
Minimum Lot Size	5 acres	2 acres	± 47.8 acres	± 2.7 acres
Lot Frontage	250 ft	150 ft	± 350 ft	± 465 ft
Front Yard Setback	75 ft	75 ft	N/A	± 134 ft
Side Setbacks	40 ft	25 ft	N/A	± 31 ft
Rear Setbacks	40 ft	25 ft	N/A	± 94 ft

- 2. Site plans.** Applicant has submitted one map titled, “Overall Site Plan” prepared by Apex Engineering, LLC on 9/23/2024 and labeled C2-01.
- 3. Lot layout.** The proposed layout will divide the current lot into two lots, where Lot 2 will contain the existing dwelling and Lot 1 will remain vacant land.
- 4. Suitability for development.** The front lot has the current single-family dwelling and a 50’ easement to VGS for a gas pipeline. The rear lot contains a brook and buffer zone.

5. **Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.** N/A
6. **Storm water and erosion control plan during construction.** N/A
7. **Conformance with Town Plan and Bylaws.** This project meets the minimum dimensional requirements for the AR-1 and AR-2 districts
8. **Compatibility with surroundings.** The proposed two lot subdivision will conform with the existing zoning standards.
9. **Municipal Services.** The existing single-family dwelling has already confirmed municipal services. Gas line easement and water line easement will remain unchanged.
10. **Individual Water Supply.** The existing drilled well and wastewater disposal system will need no changes, see permit WW-6-3753.
11. **Vehicular Traffic.** N/A
12. **Landscaping Plan and Lighting.** N/A
13. **State permits.** An amendment to reflect the change of property details may be needed for the wastewater permit located on Lot 2.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Town of Georgia

cc: Applicant



GEORGIA VERMONT

Sketch Plan Review Application

Application #SK - 003-24

☒ Minor (3 lots or less) ☐ Major (4 lots or more)

Submission Requirements: An application for Sketch Plan Review will consist of one set 11"x17" site plan maps plus a digital file in *.pdf format which includes scale, north arrow, legend, abutters, title block, existing and proposed lots, existing and proposed structures, roads, driveways, easements and/or rights of way.

Applicant must also submit a list for all abutters, including those across a public or private right of way.

Incomplete applications will be returned and will delay scheduling your hearing.

SECTION 1: OWNER/APPLICANT INFORMATION (complete all)

Owner(s): Robert Rooney
Address: & Terry Rooney
138 Swanton Road. St. Albans. VT
Zip Code 05478 Telephone 802-752-7463
Email lindalee818@comcast.net

Applicant(s): Same as owners
Address: _____
Zip Code _____ Telephone _____
Email _____

Tax Parcel ID: 116080000 Zoning District: AR-2 & AR-1 PUD ☐ Yes ☒ No

CERTIFICATION OF APPLICANT(S)

AFFIRMATION: The undersigned hereby certifies that the information submitted in this application is true, accurate, and complete.

Signature of Applicant: Robert J Rooney Date: 9-23-24

Signature of Applicant: Terry Rooney Date: 9-23-24

PROPERTY OWNERS' AUTHORIZATION

The undersigned property owner(s) hereby certify that the information submitted in this application regarding this property is true, accurate and complete and that the Applicant(s) have full authority to request approval for the proposed use of the property and any proposed structure(s).

Signature of Owner: _____ Date: _____

Signature of Owner: _____ Date: _____

47 Town Common Road North. • St. Albans, VT 05478

Phone: 802-524-3524 • Fax: 802-524-3543 • website: townofgeorgia.com

Location of Property:

4451 ETHAN ALLEN HWY, Georgia, VT

Parcel ID No.: 116080000

Zoning District: AR-2 & AR-1

Deed Reference: Volume _____ Page _____

Size of Parcel: 50.5 _____ acres

Previous subdivision of parcel (if applicable)

Permittee name: Stuart & Ester Newton

Date: 5/19/1986

Map # 4/65

Previous Site Plan Approval (if applicable)

Permittee name: _____

Date: _____

Map # _____

If applicable:

Engineer: Peter Mazurak, P.E.

Surveyor: Harvey W. Chaffee, L.S.

Phone: 802-752-7328

Phone: (802) 393-2289

Email: aeevermont@gmail.com

Email: harvey@chaffeesurveying.com

Description of proposed project: (Please describe here or attach a separate proposal)

Two lot subdivision, with one lot to contain the existing dwelling and the second lot to remain vacant.

Number and size of lots proposed (including all building lots, common area lots, retained lots, and donated/ open space lots):

Two

If a PUD, are you requesting waivers for proposed lot size & setbacks?

____ Yes ____ No (If yes please describe here)

N/A

List of plans, sketches, or other information submitted with this application:

Overall Site Plan by Apex Engineering, LLC dated 9/23/2024

Names and addresses of abutting property owners:

ELIZABETH M GAGNE 4549 ETHAN ALLEN HWY, GUNNER BEVILACQUA 24 REYNOLDS RD

NATHAN & RACHEL VALYOU 4311 ETHAN ALLEN HWY, PAUL & SUZANNE A BERLIAND 4394 ETHAN ALLEN HWY

DELNIQUICO HUE-NUNEZ 331 REYNOLDS RD, NORINE DAUGHERTY 222 REYNOLDS RD

GEORGIA ELEMENTARY & MIDDLE SCHOOL 4416 ETHAN ALLEN HWY, MARILYN WEBSTER 4376 ETHAN ALLEN HWY

Existing and/or proposed road & driveway access to site:

Existing Driveway off Ethan Allen Highway

Existing and/or proposed easements and rights-of-way:

Gas Line easement book 29 page 351, Water line easement book 29 page 188-189.

Proposed and/or existing wastewater disposal and water supply:

Existing drilled well and wastewater disposal system with no proposed changes, see permit WW-6-3753.

Proposed drainage/storm water runoff (if required):

N/A

Proposed landscaping (if applicable):

N/A

Size and location of proposed and/or existing buildings:

The property contains a four bedroom, single family residence.

State permits required and/or obtained for this project:

Amendment to WW-6-3753 is likely needed.

Please Note: *sketch plan review does not constitute approval of a proposed subdivision plat. Following the public meeting, Applicant will receive a letter classifying the project as a Major or Minor subdivision, with guidance regarding next steps for their application.*

For the purpose of classification and initial discussion, subdivision applicants, prior to submitting applicable Preliminary or Final Plat applications, shall submit Sketch Plan information as outlined below. Applications shall be submitted at least 15 days prior to a regularly scheduled meeting of the Development Review Board (DRB) and no meeting shall be scheduled until all application materials are received. Applicants will be notified in writing if application materials are missing following submission. Sketch Plan meetings shall be noticed to adjacent property owners and posted at the Georgia Municipal Building. Sketch plans shall not be publicly warned in the Town’s newspaper of general circulation, as they do not constitute Public Hearings. (Section 4.3 (C)(1), Town of Georgia Development Regulations 05.02.22).

A Sketch Plan meeting with the DRB is required for all subdivisions (Major or Minor). Following Sketch Plan review, the DRB, will send a letter to all applicants summarizing feedback provided at the Sketch Plan meeting.

Sketch Plan review is intended to be an informal meeting. Surveyed and/or engineered drawings are not expected. Instead, the intention is for the Applicant to provide scaled and accurate drawings indicating proposed subdivision layout and related improvements. The DRB can then provide verbal and subsequent written feedback about applicable regulations prior to the Applicant incurring investment in survey and engineering work. Sketch Plan review does not constitute approval of a subdivision plat and is merely authorization for the Applicant to file a preliminary plat or final plat application.

APPLICATION SUBMITTAL REQUIREMENTS:

- 1) Completed Sketch Plan application form.
- 2) Sketch Plan application fee. Fee schedule is on the website at townofgeorgia.com.
- 3) A List for all adjacent property owners and current addresses, including all properties abutting the property proposed for subdivision and those properties across a street, highway, or other right-of-way
- 4) The Sketch Plan application shall consist of one or more maps or drawings which may be printed or reproduced on paper with all dimensions shown in feet or decimals of a foot, drawn to a scale of not more than one hundred (100) feet per inch, showing or accompanied by the following information:
 - a) Proposed subdivision name or identifying title and the name of the town.
 - b) Name and address of the record owner and applicant (if different).
 - c) Boundaries and area of proposed subdivision.
 - d) Size of lots and number of proposed lots.
 - e) Existing and proposed layout of property lines, type, and location of existing and proposed restrictions on land, such as easement and covenants, buildings, existing septic systems, well, water courses and other essential existing physical features, including mapped wetlands and flood plains.
 - f) Type, location, and approximate size of existing and proposed streets, utilities, and open space, if applicable.
 - g) Date, true north arrow, and scale (numerical and graphic).
 - h) Location map showing relation of proposed subdivision to adjacent property and surrounding area. Page 4 of 4
 - i) Deed reference and parcel tax identification number.
 - j) Zoning district(s) designation of the area to be subdivided and any zoning district boundaries affecting the subject parcel.

Please submit 11"x17" of sketch plans and a digital file of plans.

The subdivider, or a duly authorized representative, shall attend the meeting of the DRB on the sketch plan to discuss the requirements of these regulations for streets, improvements, drainage, sewage, water supply, fire protection, and similar aspects, as well as the availability of existing services and facilities and other pertinent information.

The DRB shall study the sketch plan to determine whether or not it conforms to, or would be in conflict with, the town plan, zoning regulations, and any other by-laws then in effect, and shall, where it deems necessary, make specific recommendations for changes

in subsequent submissions, which recommendations shall be provided in writing to the Applicant/Owner.

Section 3. Item #B.

Approval of a sketch plan shall not constitute approval of a subdivision plat and is merely authorization for the Applicant to file a preliminary or final plat application.

(FOR TOWN USE ONLY):

Date received: 9/24/24 Fee paid: 400 Check # 3294 Mtg - 10/15/24

Returned (incomplete) _____ Date: _____

Signed: [Signature]

Douglas Bergstrom

Zoning Administrator

Planning, DRB & 911 Coordinator

You will receive a written Decision and Finding of Fact within 45 days of the close of the hearing.



PROJECT INFORMATION:

1.

OWNER OF RECORD:

TERRY ROONEY & ROBERT ROONEY
2.

TAX PARCEL ID:

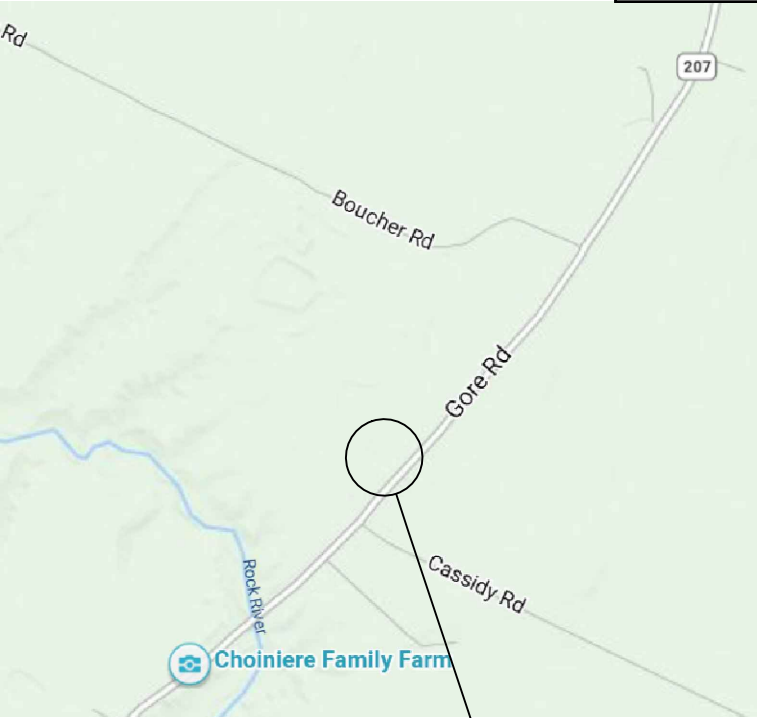
116080000
3.

PHYSICAL ADDRESS
OF PROPERTY:

4451 ETHAN ALLEN HIGHWAY
GEORGIA, VT

PURPOSE OF DESIGN:

THESE PLANS ARE BEING SUBMITTED TO ACQUIRE THE PERMITTING TO SUBDIVIDE THE PROPERTY INTO A TOTAL OF TWO LOTS. ONE LOT WILL CONTAIN THE EXISTING DWELLING AND THE OTHER LOT WILL BE VACANT.



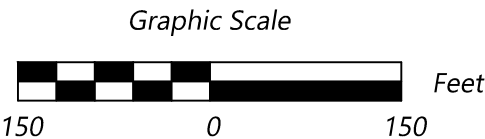
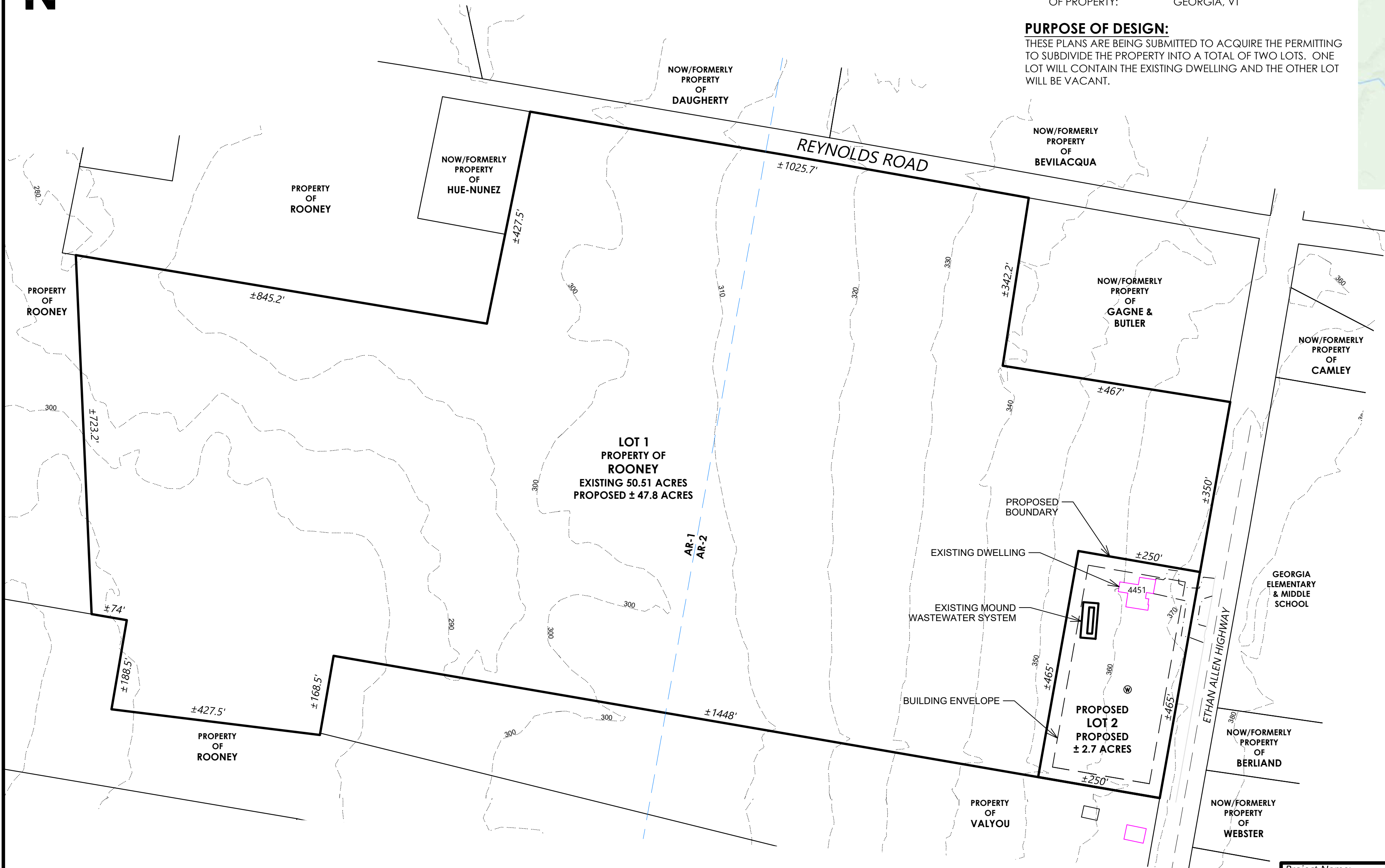
PROJECT LOCATION

GENERAL NOTES:

1. FOR BOUNDARY INFORMATION SEE PLAN ENTITLED "BOUNDARY SURVEY", STUART & ESTER NEWTON DATED MAY 1986, PREPARED S. BROOKS, L.S..

EXISTING CONDITIONS NOTES:

1. THIS PLAN DEPICTS THE PERTINENT EXISTING CONDITIONS AS OF AUGUST , 2024.
2. VERTICAL DATUM IS BASED ON NAVD88 (GEOID 12).
3. COORDINATE SYSTEM IS BASED ON VERMONT STATE PLANE (U.S. SURVEY FEET).
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ARE BASED ON RESEARCH, UTILITY PLANS PROVIDED BY OTHERS, AND/OR SURFACE EVIDENCE ENCOUNTERED AND WERE OBTAINED IN A MANNER CONSISTENT WITH THE ORDINARY STANDARD OF PROFESSIONAL CARE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE DESIGN ENGINEER. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. ENGINEER SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE ENCOUNTERED. ACTUAL LOCATION OF UNDERGROUND UTILITIES MAY VARY. DIG-SAFE MUST BE CONTACTED PRIOR TO ANY EXCAVATION. CALL 1-888-DIG SAFE (344-7233).



SITE PLAN
SCALE 1 INCH = 150 FEET

ZONING NOTES:
ZONING DISTRICT (AR-2)

	REQUIRED	PROVIDED
MINIMUM LOT AREA (ACRES)	2	2.7
MINIMUM ROAD FRONTAGE (FEET)	150	464
MINIMUM FRONT YARD (FEET FROM CL)	75	134
MINIMUM SIDE YARD (FEET)	25	31
MINIMUM REAR YARD (FEET)	25	94

LEGEND

- DRIVE OR ROAD
- TOPOGRAPHIC CONTOURS
- SEWER LINE
- WATER SERVICE
- PROPERTY LINE
- OVERHEAD UTILITY
- SETBACKS
- UTILITY POLE
- DRILLED WELL

Revisions:

Project Name:

ROONEY
4451 ETHAN ALLEN HWY.
GEORGIA, VERMONT

Sheet Title:

Overall
Site Plan

Project #: 20-005
Date: 9/23/2024
Drawn By: PM
Scale: 1" = 150'

Apex Engineering, LLC
p. (802) 752-7328
e. aevermont@gmail.com

Sheet #

C2-01





Town of Georgia

47 Town Common Road North • St. Albans, VT 05478
• Phone: 802-524-3524 • Fax: 802-524-3543 • website: townofgeorgia.com

Final Plat Application Application # FP 004-24

Submission Requirements: Within six months of Preliminary Plat approval for a major subdivision, or classification at Sketch Plan review as a minor subdivision, submit this application with all required elements from the attached outline & fees. Submit one set 11"x17" site plan maps plus a digital file in *.pdf format which includes scale, north arrow, legend, abutters, title block and following the approved layout as shown on the preliminary plat, incorporating any recommendations made by the DRB in their preliminary plat approval decision. The application will not be deemed complete until all required materials have been submitted. Failure to submit a complete application, as defined herein, shall be grounds for denial of the application by the DRB.. Applicant must also submit a list for all abutters, including those across a public or private right of way. **Incomplete applications will be returned and will delay scheduling your hearing.**

SECTION 1: OWNER/APPLICANT INFORMATION (complete all)

Owner(s): <u>Cline Road, LLC</u>	Applicant(s): <u>Same</u>
Address: <u>7 Oak Street</u>	Address: _____
<u>St. Albans, VT</u>	_____
Zip Code <u>05478</u> Telephone _____	Zip Code _____ Telephone _____
Email <u>jakesmithconstruct@gmail.com</u>	Email _____
Tax Parcel ID: <u>102130000</u> Zoning District: <u>AR-1</u> PUD ☒ Yes ☐ No	

CERTIFICATION OF APPLICANT(S)

AFFIRMATION: The undersigned hereby certifies that the information submitted in this application is true, accurate, and complete.

Signature of Applicant: <u>[Signature]</u>	Date: <u>9/18/24</u>
Signature of Applicant: <u>[Signature]</u>	Date: <u>9/18/24</u>

PROPERTY OWNERS' AUTHORIZATION

The undersigned property owner(s) hereby certify that the information submitted in this application regarding this property is true, accurate and complete and that the Applicant(s) have full authority to request approval for the proposed use of the property and any proposed structure(s).

Signature of Owner: <u>[Signature]</u>	Date: <u>9/18/24</u>
Signature of Owner: <u>[Signature]</u>	Date: <u>9/18/24</u>

Location of Property: Undeveloped parcel across from 891 Cline Road
Parcel ID No.: 102130000 Zoning District: AR-1 Is this a PUD? ☒ Yes ☐ No
Deed Reference: Volume 282 Page 288 Size of Parcel: 94 acres

Previous subdivision of parcel (if applicable)
Permittee name: _____
Date: _____ Map # _____

Previous Site Plan Approval (if applicable)
Permittee name: _____
Date: _____ Map # _____

If applicable:
Engineer: Ruggiano Engineering Surveyor: Day Land Surveying, PLLC

Phone: 802-524-9300 Phone: 802-849-6516

Email: luke@shrugg.com Email: mark@daylandsurveying.com

Project Description: Provide a detailed narrative, on a separate sheet of paper, describing the scope and layout of the proposed development. The narrative should explain the proposed use of the property & all key elements, as presented on the site plan. Please address each of the following elements: building size(s) and type, landscaping and screening, road and driveway access to the property, impact on traffic, internal circulation of vehicular and pedestrian traffic, parking (# of spaces), stormwater and erosion control measures, lighting (size, type, location, and number), and signage, if any. Summarize all details below:

Number and size of proposed lots:
(14) Residential Single Family Residence Lots - Variable size from 0.81 acres - 1.42 acres
(1) Remaining lands lot with Open Space Easements = 79.87 acres. To be retained by Cline Road, LLC.

Names and addresses of abutting property owners:
See attached

Existing and/or proposed means of access to the site:
Existing curb cut off Cline Road across from 891 Cline Road.

List of plans, sketches, or other information submitted with this application:
Civil Planset containing sheets C-1 through C-11

Location of parking and proposed number of spaces:
All parking to be contained on individual residential lots

Existing and/or proposed road & driveway access to site:

Proposed 60' ROW with 24' road to serve the development with cul-de-sac turnaround at the end.

Existing and/or proposed easements and rights-of-way:

Existing VELCO power easement and access ROW.

Proposed 60' road ROW, 60' ROW easement to neighboring property, 20' pedestrian easement to Falls Road

Proposed Open Space easements totaling +/- 19 acres

Proposed and/or existing wastewater disposal and water supply:

Proposed community wastewater collection system and community mound.

Each lot to have individual drilled well.

Proposed drainage/storm water runoff (if required):

Roadside ditches to proposed structural stormwater practices designed to State regulations.

Proposed rooftop and driveway disconnections for individual lots where possible.

Proposed landscaping (if applicable):

Proposed headlight screening for proposed Lots 1&2.

All other portions of the project will be screened by existing forest and vegetated buffers to remain.

Size and location of proposed and/or existing buildings:

See site plan. Existing dilapidated farm buildings to be removed. Proposed new buildings will all be single family residential structures. 25% of the proposed houses will be limited to 1500 square feet for the first 5 years per regulations.

State permits required and/or obtained for this project:

State of Vermont - Potable Water and Wastewater Disposal Permit, Operational Stormwater Permit, Construction Stormwater Permit

Act 250 Land Use Permit, Wetlands Impact Permit

Proposed lighting (if any):

None Proposed.

Notes

- 1) * Per Sec. 3.5.B.2, major subdivisions in the AR-1, AR-2, AR-3, and L-2 districts must be submitted under Planned Unit Development (PUD) rules. PUDs optional in other districts.
- 2) Application standards for subdivision approval appear in the Georgia Development Regulations as Article 4. Site Plan Review and Approval standards appear in Article 3.

Application Submission Requirements Final Plat for Major and Minor Subdivisions

The Final Subdivision Plat shall consist of one or more sheets of drawings which conform to the following requirements: It shall be on Mylar paper clearly and legibly drawn, and the size of the sheets shall be 18 inches x 24 inches. Such sheets shall have a margin of two (2) inches outside of the border lines on the left side for binding and a one (1) inch margin outside the border along the remaining sides. Space shall be reserved thereon for endorsement by all appropriate agencies. The final plat for a major subdivision shall conform in all respects to the preliminary plat as approved by the Commission. The Subdivision Plat shall indicate the following as applicable:

- (5) Proposed subdivision name or identifying title, the name of the municipality, the name and address of the record owner and subdivider, the name, license number and seal of the licensed land surveyor, the boundaries of the subdivision and its general location in relation to existing streets or other landmarks and scale, date and true north point.
- (2) Street names, lines, pedestrian ways, lots, reservations, easements and area to be dedicated to public use as approved by the Commission.
- (3) Sufficient data acceptable to the Commission to determine readily the location, bearing and length of every street line, lot line, boundary line and to reproduce such lines upon the ground. When practicable these should be tied to reference points previously established by a public authority.
- (4) The length of all straight lines, the deflection angles, radii, length of curves and central angles of all curves, tangent distances and tangent bearings for each street.
- (5) By proper designation on such Plat, all public open space for which offers of cession are made by the subdivider and those spaces title to which is reserved by the subdivider.
- (6) Lots within the subdivision numbered in alternating order within the blocks.
- (7) The location of all of the improvements referred to in Article VIII and, in addition thereto, the location of all fire protection devices, utility poles, sewage disposal systems, and rough grading and other devices and methods of draining the area within the subdivision.
- (8) Permanent reference monuments and lot corner markers shall be clearly indicated.
- (9) Monuments shall be set at all corners and angle points of the boundaries of the subdivision, and for new roads at all street intersections, angle points in street lines, points of curve and such intermediate points as shall be required by the Commission.
- (10) Deed reference, tax map reference.

If required by Preliminary Plat Approval, Applicant shall also provide the following documents:

- (5) Copies of proposed deeds, agreements or other documents showing the manner in which streets, open space, including park and recreational areas served and maintained, and a certificate from the Legislative Body or town attorney that these documents are satisfactory. Such certificate shall not be construed, however, as acceptance by the Town of Georgia of any areas proposed to be dedicated to the Town.

(Continued on Next Page)

- (2) A certificate from a Town consulting engineer as to the satisfactory completion of all improvements may be required by the Commission, or in lieu thereof, a performance bond to secure completion of such improvements and their maintenance for a period of two (2) years, with a certificate from the Legislative Body that it is satisfied either with the bonding or surety company, or with security furnished by the subdivider.
- (3) Any other documents required by the Commission as a result of preliminary plat approval.
- (4) The final plan application for a minor or major subdivision shall be accompanied by a Certificate of Title showing the ownership of all property and easements to be dedicated or acquired by the Town, or reserved, and said Certificate of Title shall be approved by the town attorney. Copies of all proposed Offers of Dedication, deeds, easements, or other instruments conveying property or easements to the Town shall also accompany the final application and be approved by the town attorney.
- (5) Bonding shall be required sufficient to cover the completion of required improvements and maintenance of such improvements for a period of two years after completion. The amount of bond shall be established by the Planning Commission based upon the subdivider's estimate, bids or other information deemed necessary by the Planning Commission but shall not exceed 150% of the projected improvement and maintenance costs.

Please include all fees according to the Permit Fee Schedule on the website at: [Fee Schedule](#)

Decisions

The DRB shall act to approve or disapprove Final Plat applications in writing within forty-five (45) days after closure of the public hearing. Failure to act within the 45-day period shall constitute deemed approval on the 46th day. The DRB shall prepare written findings-of-fact and conclusions setting forth background and rationale for their decision. The DRB may attach conditions of approval to ensure the intent of applicable bylaws and the municipal plan are met.

Decisions shall be distributed per requirements in Title 24, Chapter 117, Section 4464, Vermont Statutes Annotated.

(FOR TOWN USE ONLY):

Date received: 9/18 Fee paid: w/prev Check # _____

Returned (incomplete) _____ Date: _____ Date Application Accepted: _____

Date of Hearing: _____

Signed: _____

Douglas Bergstrom
Zoning Administrator
Planning, DRB & 911 Coordinator

You will receive a written Decision and Finding of Fact within 45 days of the close of the hearing.

FINAL PLAT REVIEW
16 Lot, 14 Unit Major PUD Subdivision
FP-004-24

Owner: Cline Road LLC 7 Oak Street St. Albans, VT 05478	Property Tax Parcel & Location: Parcel ID#102130000 Cline Road, Georgia, VT Zoning District: AR-1
Engineer: Luke Willey, Ruggiano Engineering 5 Lake Street St. Albans, VT 05478 PH: 802-524-9300 luke@shrugg.com	Surveyor: Day Land Surveying, PLLC PH: 802-849-6516 mark@daylandsurveying.com

BACKGROUND

Cline Road, LLC, hereafter referred to as Applicant, is requesting Final Plat review for a 16-lot 14-unit Major Planned Unit Development (PUD) subdivision. The parcel is located at Cline Road and Horseshoe Barn Road and consists of ±94.49 acres. The parcel is located within the AR-1 zoning district.

Applicant is proposing the creation of sixteen (16) lots:

- Proposed Lot 1 will consist of ±.85 acres.
- Proposed Lot 2 will consist of ±.85 acres.
- Proposed Lot 3 will consist of ±1.01 acres.
- Proposed Lot 4 will consist of ±1.0 acres.
- Proposed Lot 5 will consist of ±1.15 acres.
- Proposed Lot 6 will consist of ±1.09 acres.
- Proposed Lot 7 will consist of ±1.00 acres.
- Proposed Lot 8 will consist of ±1.23 acres.
- Proposed Lot 9 will consist of ±.84 acres.
- Proposed Lot 10 will consist of ±1.42 acres.
- Proposed Lot 11 will consist of ±.83 acres.
- Proposed Lot 12 will consist of ±.81 acres.
- Proposed Lot 13 will consist of ±.82 acres.
- Proposed Lot 14 will consist of ±.85 acres.
- Proposed Lot 15 will consist of four (4) separate areas with a total of ± 45.5 acres and includes the road, front wetland area and ±19 acres listed as *open space easement*. **Open Space for PUD (20% total acreage = 18.90 acres)**
- Proposed Lot 16 will consist of ±.35.5 acres of remaining property.

COMMENTS

General Subdivision AND Site Plan Review Requirements

1. **Waivers Requested:** Applicant has requested a waiver of the 1500' max road length for private dead-end roads. The proposed road is the minimum distance to access the developable portion of the site where all lots can be clustered to the greatest extent possible. The total proposed road length is ±2,460'.

2. **Dimensional Requirements.** The dimensional requirements of the AR-1 zoning district and the proposed dimensional measurements are as follows:

	Minimum Lot Size	Lot Frontage	Front Yard Setbacks	Side Setbacks	Rear Setbacks
AR-1/ PUD Requirements	Min .75 acres per use	250 ft	±50 ft	±50 ft	±50 ft
LOT 1	±.85 acres	116.1'	±50 ft	±50 ft	±50 ft
LOT 2	±.85 acres	162.33'	±50 ft	±50 ft	±50 ft
LOT 3	±1.01 acres	189.02'	±50 ft	±50 ft	±50 ft
LOT 4	±1.0 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 5	±1.15 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 6	±1.09acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 7	±1.00 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 8	±1.23 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 9	±.86 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 10	±1.42 acres	49.16'	±50 ft	±50 ft	±50 ft
LOT 11	±.83 acres	180.3'	±50 ft	±50 ft	±50 ft
LOT 12	±.81 acres	145.2'	±50 ft	±50 ft	±50 ft
LOT 13	±.82 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 14	±.85 acres	Not Listed	±50 ft	±50 ft	±50 ft
LOT 15	± 45.5 acres with Open Space (20%) totaling ± 19 acres				
LOT 16	± 35.5 acres of remaining property				

3. **Site plans.** Applicant has submitted 12 site plans prepared by Ruggiano Engineering, dated 7/14/2023 (C1-C2, C7-C11) and 6/27/2023 (C3-C6). Applicant has also submitted two plats from Day Land Surveying, PLLC dated 8/2/23. Collectively, the Site Plans include:

- i. The proposed property lines.
- ii. The proposed boundaries for Lots 1-16.
- iii. The location of Open Spaces.
- iv. The location of wetland areas.
- v. Location of existing barn to be removed.
- vi. Locations for utility and access easements.
- vii. Location of proposed 20' wide pedestrian easement over Lot 15 to benefit the Town of Georgia.
- viii. Existing stone wall that will remain in place.
- ix. Proposed locations for wastewater disposal for Lots 1-9, 11-14 and access for maintenance.
- x. Proposed drilled well on each lot.
- xi. Proposed Private Road, 24' wide paved road with 2' shoulders and 24' steel culvert.
- xii. Proposed cul-de-sac roundabout.
- xiii. Proposed 4-bedroom single-family dwelling on lots 1-14.
- xiv. Proposed 10' driveways wit 2' grass shoulders to each lot.
- xv. Proposed landscaping

- A Final Plat layout of Lot 15 and Lot 16 will be available prior to the meeting on October 15th.

4. **Lot layout.** As proposed, the boundary lines are linear and proposed lots are generally regular in shape.
5. **The land is suitable for subdivision or development.** The property is undeveloped, consisting of woods, plains and wetlands. The land meets the requirements for the PUD subdivision with acreage and use, with waiver request for private road length.
6. **The proposed development will not result in undue water or air pollution.** Applicant should submit to the Zoning Administrator a state Act 250 permit navigator. The site plans label Class II and Class III wetlands.
7. **Legal language.** Applicant shall submit the *Attorney Review Application* and \$500 for escrow to cover the legal review of deeds, agreements and any other legal instruments by the attorney for the Town of Georgia. Any funds not expended on the legal review will be refunded to the Applicant.
8. **Legal Review:** Applicant shall submit draft deeds, HOA documents, private road maintenance agreements, common property uses and any other required legal instruments for all impacted lots and public infrastructure for review and approval by the attorney for the Town of Georgia. All requested revisions must be complete before the Plat may be recorded. Only instruments approved by the Town of Georgia may be recorded in the Town of Georgia Land Records. The attorney for the Town of Georgia must approve the subdivision plat prior to filing the final plat on mylar.
9. **Access permit.** The proposed development will be accessed via an existing curb cut utilized by historic farm activities, directly across from 891 Cline Road. Applicant shall submit a signed Private Road Agreement with the Town of Georgia.
10. **State permits.** State of Vermont Wastewater System and Potable Supply Permit (for water and wastewater systems); State of Vermont Construction Central Permit #3-9020 (for discharge of storm water runoff from construction activity); State of Vermont Wetlands General Permit #3-9025 (for private road crossing wetland and/or buffer.); and Act 250. Applicants shall submit Permit Navigator Results Act 250 compliance. Copies of all required state permits shall be submitted to the Zoning Administrator upon receipt. The applicant is responsible for identifying any further state permits for this proposal.
11. **Easements.** 60' easement through lot 15 near lot 1 for access to the Wilcox property. 20' pedestrian easement to the South of lot 5 to benefit the Town of Georgia. Proposed Open Space easements totaling ± 19 acres on Lot 15. Existing 60' VELCO power easement and access ROW.
12. **Fire protection** – The Applicant has not obtained an ability to serve letter from the Fire Chief.
13. **Financial surety** – Not applicable.
14. **Performance Standards** - The use must conform to the Performance Standards in Section 3.6 of the Georgia Development Regulations.
15. **Road Name-** The new shared private road will be at the approximate location of the existing farm drive access. Each lot will have a private driveway off the new shared road. Road name has not been submitted. A road name application will need to be submitted to the Zoning Administrator for E911 review and approval. Private road must conform with Town of Georgia Private Road and Driveway Standards.

16. **Driveway Standards** – Driveway must conform with Town of Georgia Private Road and Driveway Standards.
17. **Proposed and/or existing wastewater disposal and water supply** – Proposed community wastewater collection system and community mound. Each lot shall have an individual drilled well.
18. **Size and location of proposed and/or existing buildings** – Existing dilapidated farm buildings to be removed, see site plan. The proposed new buildings will all be single family residential structures. 25% of the proposed houses (every 4th unit constructed- 3 units total) shall be restricted to 1500 square feet for a minimum of five (5) years after construction.

ARTICLE 7 PLANNING and DESIGN STANDARDS:

Section 7.1 Energy Efficient Design – Developments are encouraged to incorporate energy-efficient siding of buildings.

Section 7.2 Farm and Forestland Preservation – Many of the existing trees along the perimeter of the lots will be kept for screening.

Section 7.3 Site Design – See site plans.

Section 7.4 Exterior Storage of Materials or Equipment – Not applicable.

Section 7.5 Landscaping and Screening – Applicant shall install an appropriate landscaping buffer targeted on the eastern edge to block headlights from Lot 1 and Lot 2. Such landscaping should include native plants, habitat appropriate and within a size (minimum 3 feet) that will screen light pollution. All other portions of the project will be screened by existing forest, and vegetated buffers will remain. See site plan C-3 for additional landscaping information.

Section 7.6 Outdoor Lighting – No outdoor lighting proposed in the Final Plat application. Per Town of Georgia regulations, any outdoor lighting installed at the dwellings shall be designed to direct light downward and adjusted so as not to cast light directly on adjacent roadways or properties. The DRB may prohibit fixtures that cause excessive glare within the property or on adjoining properties. Outdoor lighting may be required by the DRB to illuminate areas such as streets, sidewalks, and parking areas

Section 7.7 Vehicular Circulation – Lots will be accessed by use of proposed private road with cul-de-sac.

Section 7.8 Pedestrian Accessibility – A 20' wide pedestrian easement between Lots 5 and 7 will benefit Town of Georgia residents.

Section 7.9 Parking, Traffic Access, and Circulation – Each lot will have its own driveway for parking.

Section 7.10 Street Signs – Street signs shall be installed in accordance with Town of Georgia regulations

Section 7.11 Public and Private Road Standards – Applicant shall utilize plans C-3, C-4 and C-5 Road Plans and Profiles as submitted, and shall follow A76 Standards and the Town of Georgia's Private Road and Driveway Standards.

Section 7.12 Site Preservation and Erosion Control – Applicant has not indicated any additional site preservation and or erosion control. See site plan C-11 for details on erosion control blanket slope installation.

Section 7.13 Stormwater – Roadside ditches to proposed structural stormwater practices designed to State regulations. Proposed rooftop and driveway disconnections for individual lots where possible. Also referenced in site plans C-8 and C-9, Stormwater Plans and Details.

Applicant submitted plans entitled, “Cline Road LLC, Project Number 23022” dated 07/14/2023, prepared by Ruggiano Engineering, PLC.

- C-1 of 11 – Site Plan
- C-2 of 11 – Overall Development Plan
- C-3 of 11 – Road Plan and Profile, STA. 00+00, 09+00
- C-4 of 11 – Road Plan and Profile, STA. 09+00, 21+50
- C-5 of 11 – Road Plan and Profile, STA. 21+50, 24+60
- C-6 of 11 – Wastewater Plans and Details
- C-7 of 11– Wastewater Details
- C-8 of 11– Stormwater Plans & Details
- C-9 of 11– Stormwater Details
- C-11 of 11– Details
- Revised C-2, Overall Development Plan, Cline Road, LLC

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Planning & DRB Clerk

cc: Applicant and Engineer

PROJECT NARRATIVE

The applicants, Cline Road, LLC, are proposing a (15) lot Planned Unit Development on an undeveloped parcel located on Cline Road in the Town of Georgia. The existing parcel consists of +/- 94 acres of agricultural fields and wooded areas. The proposed development will be accessed via an existing curb cut utilized by historic farm activities, directly across from 891 Cline Road.

Proposed development will consist of a proposed 24' private road in a 60' ROW serving (14) single family dwelling units. Each lot will be served by individual drilled wells and a community wastewater system with two (2) shared mound system located on Lot 15. Stormwater will be collected via roadside swales and treated in a combination of structural stormwater practices at various points within Lot 15. Open space is provided as easements within Lot 15 totaling +/- 19.42 acres (20.6%) and will be kept in ownership by Cline Road, LLC.

As stipulated during the sketch approval, every 4th unit constructed (total of 3 units) will be restricted to 1500 square feet of living space for a minimum of 5 years from the date of construction.

Per discussion and findings of the sketch hearing, the applicant is requesting the following waiver:

- Waiver of the 1500' max road length for private dead end roads. The proposed road is the minimum distance to access the developable portion of the site where all lots can be clustered to the greatest extent possible. Total proposed road length is +/- 2,460'.

Pending State Permits:

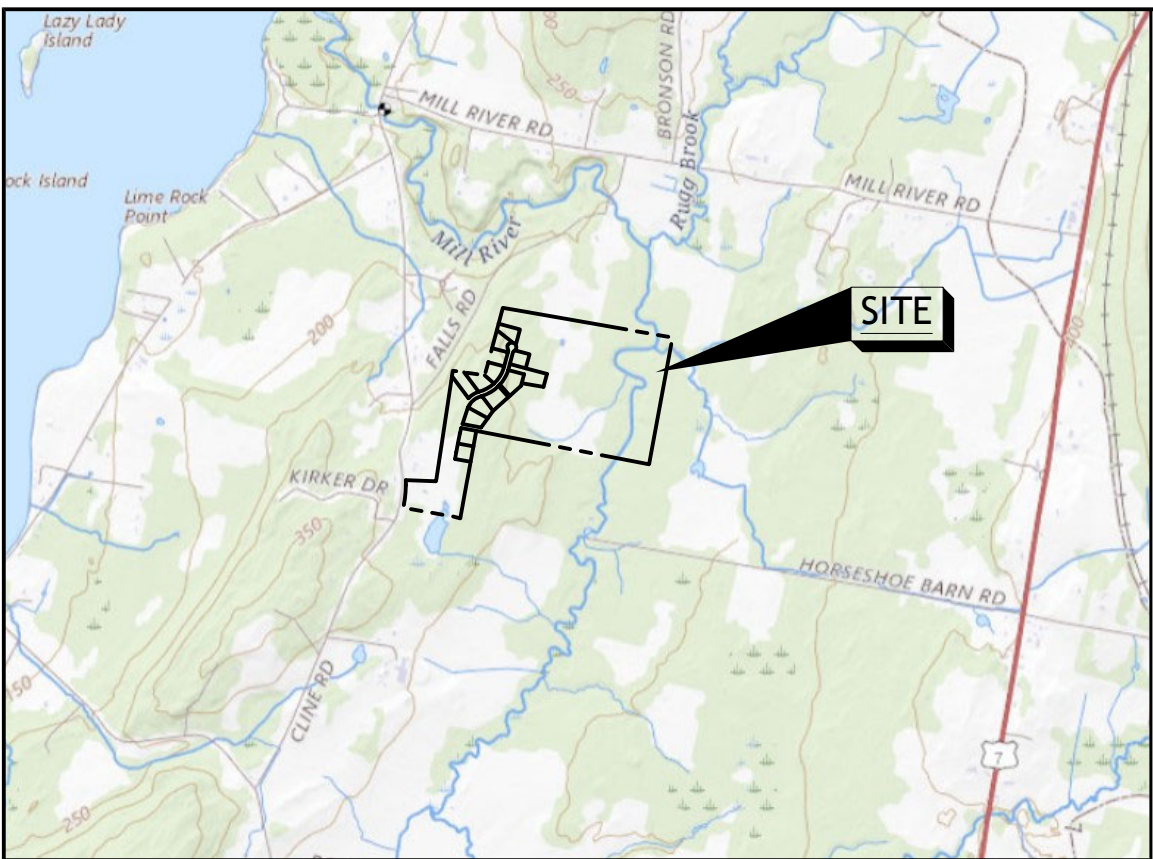
- Potable Water and Wastewater Disposal System Permit – Pending upon approval of the Final Plat.
- Wetlands Conditional Use Permit – Pending upon approval of the Final Plat. The State has visited the site and given preliminary concurrence of the project given the existing farm road that has crossed the wetlands for many years.
- Construction General Permit – Pending upon approval of the Final Plat. It is presumed the project will qualify as Low Risk and be subject to the State Low Risk Handbook to dictate all erosion control measures.
- Operational Stormwater Permit – Pending upon approval of the Final Plat.
- Act 250 Land Use Permit – Pending upon approval of the Final Plat.

Civil Planset Drawing List:

C-1 EXISTING CONDITIONS PLAN
C-2 OVERALL DEVELOPMENT PLAN
C-3 ROAD PLAN & PROFILE, STA. 00+00 - 09+00
C-4 ROAD PLAN & PROFILE, STA. 09+00 - 21+50
C-5 ROAD PLAN & PROFILE, STA. 21+50 - 24+60
C-6 WASTEWATER PLAN & DETAILS

C-7 WASTEWATER DETAILS
C-8 STORMWATER PLAN & DETAILS
C-9 STORMWATER DETAILS
C-10 MAINTENANCE PLAN
C-11 DETAILS

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C20	1381.78'	278.42'	277.95'	N 06°33'15" E	11°32'41"
C21	1381.78'	60.07'	60.06'	N 00°27'49" W	2°29'26"
C22	147.15'	215.26'	196.58'	S 50°12'12" W	83°48'53"
C26	207.15'	303.03'	276.73'	S 50°12'12" W	83°48'53"



LOCUS MAP
NOT TO SCALE

LEGEND

- IRON PIPE (FOUND)
- ⊙ REBAR (FOUND)
- #6 REBAR TO BE SET WITH DAY LAND SURVEYING ALUMINUM CAP
- △ CALCULATED POINT
- UTILITY POLE
- EXISTING BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- X- BARBED WIRE FENCE
- STONE WALL

TOWN OF GEORGIA, VERMONT
RECEIVED FOR RECORD

A.D. 20

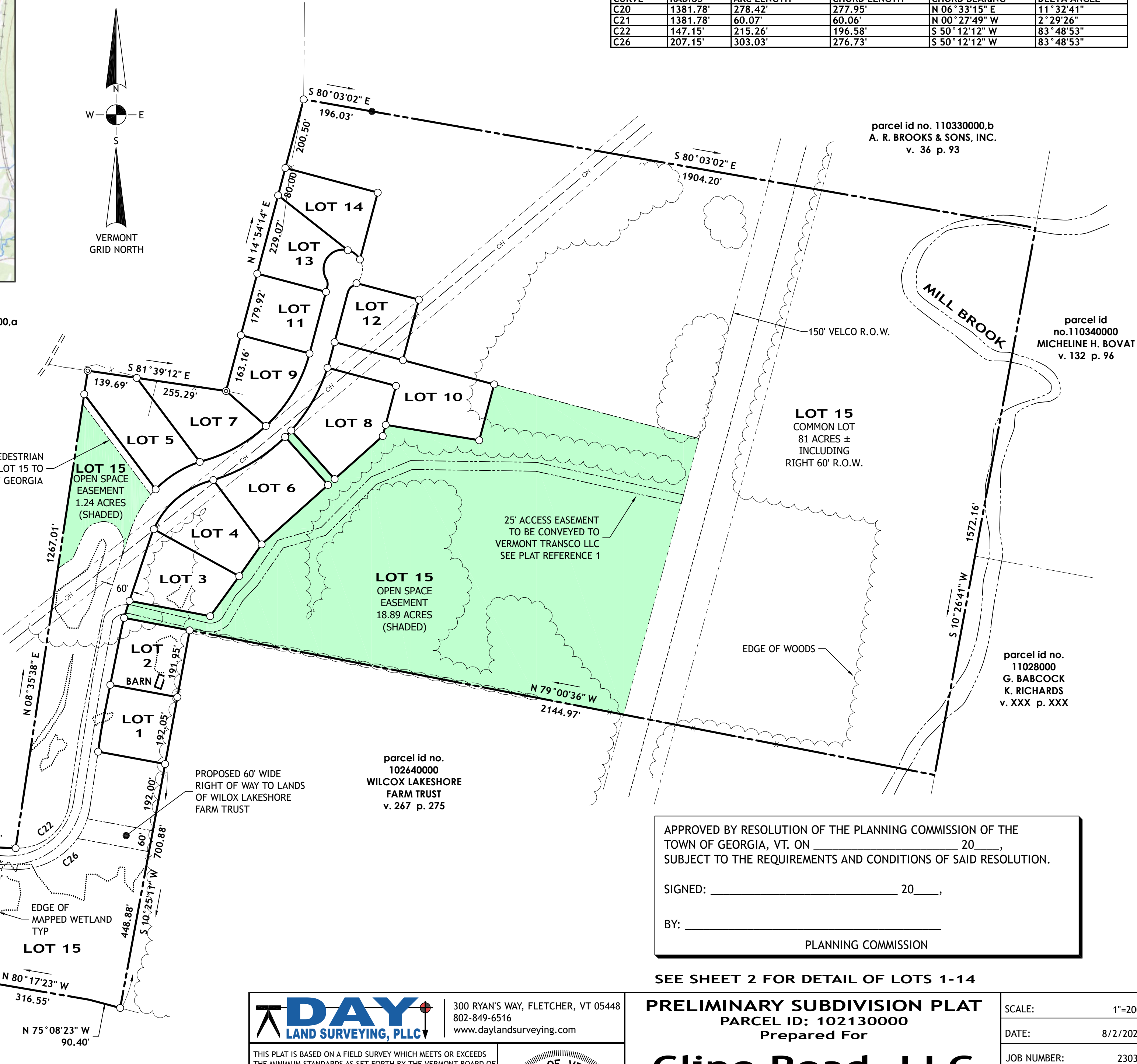
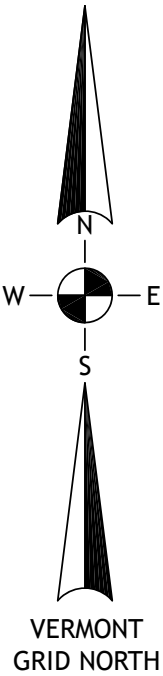
AT O'CLOCK MINUTES M.

AND RECORDED IN MAP SLIDE

ATTEST:

parcel id no. 102160000,a
A. VILLANI
J. MACARTHY
v. 182 p. 171
map slide 90, 42

PROPOSED 20' WIDE PEDESTRIAN
EASEMENT OVER LOT 15 TO
BENEFIT THE TOWN OF GEORGIA



APPROVED BY RESOLUTION OF THE PLANNING COMMISSION OF THE
TOWN OF GEORGIA, VT. ON 20,
SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.

SIGNED: 20,

BY: PLANNING COMMISSION

SEE SHEET 2 FOR DETAIL OF LOTS 1-14

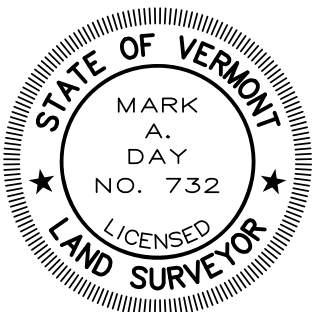


300 RYAN'S WAY, FLETCHER, VT 05448
802-849-6516
www.daylandsurveying.com

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS
THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF
LAND SURVEYORS. FIELD MEASUREMENTS AND PERTINENT RECORD
INFORMATION WAS USED IN THE CALCULATION AND DETERMINATION
OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES
ARE SHOWN HEREON. TO THE BEST OF MY KNOWLEDGE THIS PLAT
MEETS THE REQUIREMENTS OF 27 VSA 1403.

MARK A. DAY, L.S. VT #732

DATE



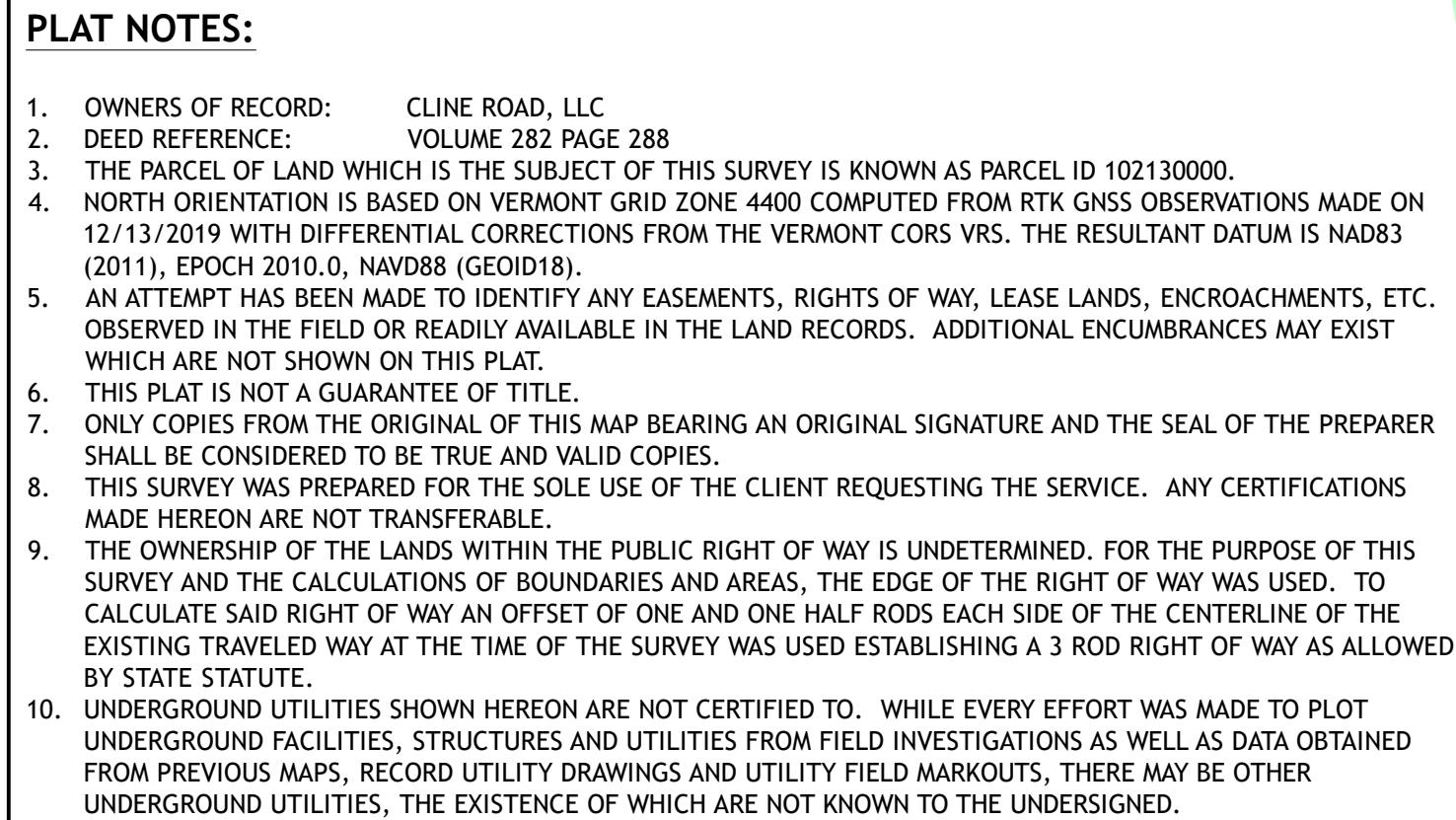
PRELIMINARY SUBDIVISION PLAT
PARCEL ID: 102130000
Prepared For

Cline Road, LLC

CLINE ROAD
GEORGIA, VERMONT



SCALE:	1"=200'
DATE:	8/2/2023
JOB NUMBER:	23037
DRAWING:	23037 splat
DATE OF SURVEY:	2/2019
SURVEY BY:	MD/HB
SHEET:	1 OF 2

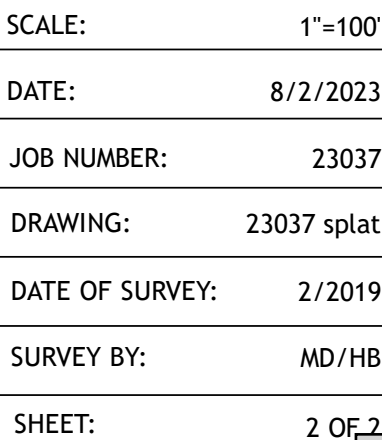


- 

The seal is circular with a double-lined border. The outer ring contains the text "STATE OF VERMONT" at the top and "LICENSED LAND SURVEYOR" at the bottom, separated by two stars. The inner circle contains the text "MARK A. DAY" and "NO. 732".

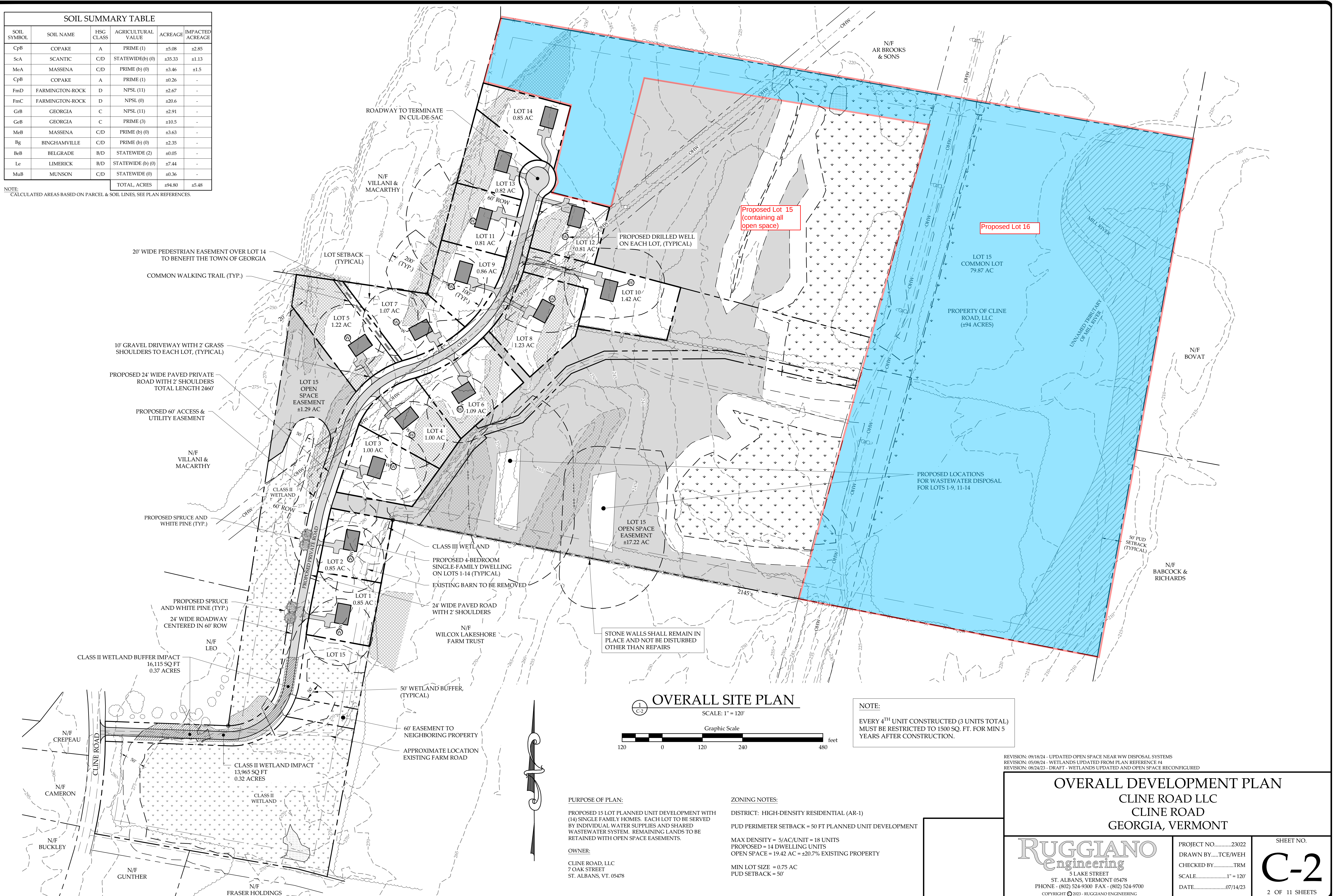
PRELIMINARY SUBDIVISION PLAT
PARCEL ID: 102130000
Prepared For

CLINE ROAD
GEORGIA, VERMONT



SOIL SUMMARY TABLE					
SOIL SYMBOL	SOIL NAME	HSG CLASS	AGRICULTURAL VALUE	ACREAGE	IMPACTED ACREAGE
CpB	COPAKE	A	PRIME (1)	±5.08	±2.85
ScA	SCANTIC	C/D	STATEWIDE(b) (0)	±35.33	±1.13
MeA	MASSENA	C/D	PRIME (b) (0)	±3.46	±1.5
CpB	COPAKE	A	PRIME (1)	±0.26	-
FmD	FARMINGTON-ROCK	D	NPSL (11)	±2.67	-
FmC	FARMINGTON-ROCK	D	NPSL (0)	±20.6	-
GrB	GEORGIA	C	NPSL (11)	±2.91	-
GrB	GEORGIA	C	PRIME (3)	±10.5	-
MeB	MASSENA	C/D	PRIME (b) (0)	±3.63	-
Bg	BINGHAMVILLE	C/D	PRIME (b) (0)	±2.35	-
BeB	BELGRADE	B/D	STATEWIDE (2)	±0.05	-
Le	LIMERICK	B/D	STATEWIDE (b) (0)	±7.44	-
MuB	MUNSON	C/D	STATEWIDE (0)	±0.36	-
NOTE:			TOTAL, ACRES	±94.80	±5.48

NOTE: CALCULATED AREAS BASED ON PARCEL & SOIL LINES, SEE PLAN REFERENCES.





GEORGIA VERMONT

In re: Cline Road, LLC, Applicant
Permit Application No.: PR-002-23

RECEIVED & RECORDED
Sep 20, 2023 11:39A
DOCUMENT TYPE: LETTER
DOCUMENT NUMBER: 00105231
CHERYL LETOURNEAU, TOWN CLERK
GEORGIA, VT

Decision and Findings of Fact for Preliminary Plat Review

Dear Applicant/Owner,

After duly warned hearings of the Development Review Board (DRB) on August 15, 2023 and September 5, 2023, the following action was taken with regard to your request:

APPROVED FOR FINAL PLAT APPLICATION WITH CONDITIONS

Note: The application, any and all relevant evidence presented to the Board, and the minutes of the Board at the hearings conducted by the Town of Georgia DRB on August 15, 2023 and September 5, 2023, and relevant information from public records and sources, shall be considered part of the Finding of Fact and kept as part of the permanent record of the applicant/owner.

This official record shall provide additional basis for the Board's decision.

Background:

This matter came before the Town of Georgia DRB on the application of Cline Road, LLC, hereinafter referred to as Applicant, requesting Preliminary Plat review for a 15-lot 14 unit Planned Unit Development (PUD) subdivision located at Cline Road and Horseshoe Barn Road in the AR-1 zoning district. Notices of Public Hearing were duly published in the St. Albans Messenger on August 4, 2023 and on August 18, 2023 and all abutting property owners were notified.

The DRB conducted a public hearing on this application on August 15, 2023 with a continuance on September 5, 2023. Luke Willey, Ruggiano Engineering was present at the meetings along with Aaron O'Grady and Jake Smith from Cline Road, LLC. Interested parties in attendance included Fred and Heather Grimm, Bruce Leo, Annette Villani and Scott MacArt. Applicant submitted a Preliminary Plat application and the Zoning Administrator presented a DRB report.

Finding of Facts:

1. Applicant is requesting preliminary plat approval for a 15-lot 14 unit Planned Unit Development (PUD) subdivision located at Cline Road and Horseshoe Barn Road in the AR-1 zoning district. Sketch plan review was conducted on November 1, 2022 and the associated sketch plan letter was mailed to the Applicant on January 16, 2023.

2. The subject parcel is entirely located within the Agricultural/ Rural Residential (AR-1) zoning district. As proposed, the land meets the requirement for the PUD subdivision with acreage and use as required by the currently warned draft Town of Georgia Development Regulations dated February 27, 2023. Applicant has requested Waiver of the 1500 ft max road length for private dead-end roads.
3. The subject parcel is located on Cline Road and Horseshoe Barn Road and consists of ± 94.49 acres in size off of Cline Road. Said parcel is suitable for development, consisting of pastures, woodlands with some wetlands.
4. Applicant proposes to subdivide one lot to create fourteen (14) new single-family dwelling lots ranging in size between $\pm .81$ to ± 1.42 acres in size; and another ± 19.42 acres set aside to accommodate PUD open space within the remaining lots.
5. The fourteen (14) new lots are proposed to be serviced by a private road located within a 60' wide right-of-way easement off Cline Road. A Waiver of the 1500 ft max road length for private dead-end roads was requested and granted. Private road will be $\pm 2,460$ ft and comply with the Town of Georgia Private Roads and Driveway Policy (02.28.20) and A-76 standards.
6. Applicant has not provided an "Ability to Serve" letter from the Town of Georgia Fire Chief indicating the ability to provide emergency services to the proposed subdivision.
7. The following members of the DRB were present for the Preliminary Plat public hearing on August 15, 2023, constituting a quorum: Suzanna Brown, Chuk Cross, Greg Drew, James Powell, Gilles Rainville, Jr. and Glenn Sjoblom. The following members of the DRB were present for the Preliminary Plat continuance on September 5, 2023, constituting a quorum: Suzanna Brown, Chuk Cross, Greg Drew, Lisa Faure, James Powell, Gilles Rainville, Jr. and Glenn Sjoblom. See meeting minutes for a list of others present.
8. The regulations in effect at the time of the decision: **Municipal Town Plan**, last amended January 9, 2017; **Town of Georgia Development Regulations**, warned February 27, 2023.

Conclusion:

The Board concludes as follows:

1. The Applicant has submitted all relevant preliminary plat information required by the Georgia Development Regulations.
2. This application was reviewed as a major subdivision PUD pursuant to the requirements and standards outlined in Article 4, Subdivision Approval; Article 3.5, Planned Use Development; Article 2, Zoning Districts and Land Uses and Dimensional Standards; and Article 7, Planning and Design Standards, of the Town of Georgia Development Regulations. The application was deemed consistent with the above-mentioned standards and requirements, with setback and lot frontage waivers granted.
3. The approval of the preliminary plat is based on all preliminary plat and sketch plan documents contained in the Cline Road, LLC SK-009-22 and PR-002-23 folders in the DRB files.

Conditions for Final Plat Approval:

Based on the Findings of Fact and Conclusions set forth above, the Georgia DRB approves the Preliminary Plat for a 15-lot 14 unit Planned Unit Development (PUD) subdivision and site plan subject to the conditions listed below:

1. The submitted plans shall indicate the following:
 - a. Lots within the subdivision will be numbered.
 - b. Building envelopes showing proposed setbacks.
 - c. Calculated metes and bounds for all rights of way and easement areas.
 - d. Wastewater details with associated isolation areas, calculated metes and bounds of any easements.
 - e. Drilled wells and well isolation areas.
 - f. Drainage details.
 - g. Erosion control details.
 - h. Stormwater details.
 - i. Proposed contour lines at 5' intervals.
 - j. Existing and proposed utilities
 - k. Existing and proposed driveways.
 - l. Existing and proposed landscaping details.
 - m. Typical cross sections of the proposed grading of roadways.
 - n. Natural features of the proposed site including wetlands with associated required buffers, streams with associated required buffers, prime agricultural soils, rock outcroppings, and slopes > 25%.
 - o. Include the general outline of abutting properties to get the full scope of the location
 - n. DRB and Town Clerk signature blocks.
2. The final plat plan shall be accompanied by a vicinity map drawn at the scale of not over four hundred (400) feet to the inch to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area.
3. The Final Plat shall be submitted on Mylar measuring 18" by 24" with Town of Georgia signature block, shall be filed by the subdivider with the Town Clerk within 180 days of the DRB's signed written decision. Final approval shall expire if the Final Plat is not filed by the subdivider within the 180-day period. One ninety (90) day extension may be granted pursuant to Title 24 Ch. 117, Section 4463(b)(1), Vermont Statutes Annotated.
 - a. Approval expires March 18, 2024.
4. Applicant will submit draft Deed language for the fifteen (15) lots. Deed will require legal review by the Town of Georgia. Applicant shall submit \$500 with the Final Application to cover the legal review of the deeds and any other required legal instruments by the attorney for the Town of Georgia. Any funds not expended on the legal review will be refunded to the Applicant.

Applicant shall submit draft deeds and any other associated legal instruments for all impacted lots and public infrastructure for review and approval by the attorney for the Town of Georgia. All requested revisions must be complete before the Plat may be recorded. Only instruments approved by the Town of Georgia may be recorded in the Town of Georgia Land Records. The attorney for the Town of Georgia must approve the subdivision plat prior to filling the final plat on mylar.

5. Applicant will include a 10 ft easement/ Right-of-Way (ROW) to the right of Lot 5 for proposed public access to the Town of Georgia's Falls Trail.
6. The HOA Documents for this PUD shall include maintenance and use of the private road, Lot 15 Open Space restrictions and the Town of Georgia's 10 ft easement/ROW to the Falls Trail. HOA documents should also include language restricting mowing on the wetlands properties.
7. Applicant shall install an appropriate landscaping buffer targeted on the eastern edge to block headlights from Lot 1 and Lot 2. Such landscaping should include native plants, habitat appropriate, and within a size (minimum 3 feet) that will screen light pollution.
8. Applicant shall construct every fourth house, or approximately three total homes, no larger than 1500 sq ft for a maximum of five (5) years. Accessory Dwelling Units (ADU's) will be available during that time and builder may incorporate a larger septic system.
9. Proposed 24 foot wide private road shall be constructed in accordance with Section 7.11 of the Georgia Development Regulations and the Town of Georgia Private Roads and Driveway Policy. A cul-de-sac for emergency turn around is proposed at the end of the private road. Each lot will have a driveway off the shared access.
10. Applicant shall submit road naming documents as soon as possible to the Zoning Administrator to name the private road. Road documents can be found on the Town of Georgia website. Applicant will work with E911 coordinator to ensure all residences have been addressed and properly labeled according to 911 standards.
11. Applicant shall provide an "Ability to Serve" letter from the Town of Georgia Fire Chief indicating the ability to provide emergency services to the proposed subdivision.
12. Copies of all required State permits including, but not limited to, wastewater and potable water supply permits and wetland permits shall be submitted to the Zoning Administrator for inclusion in the project file prior to the issuance of any zoning permits.
13. Prior to the commencement of any construction of additional structures or land development on any of the buildable lots, Applicant shall obtain Site Plan Approval from the DRB and/or any requisite zoning permit(s) from the Town Zoning Administrator. All structures shall meet the requirements of the zoning district as identified in the Georgia Development Regulations.
14. This project shall be completed, operated, and maintained as set forth in the plans and exhibits as approved by the DRB and on file in the Town Office, and in accordance with the conditions of this approval.
15. No changes, erasures, modifications, or revisions other than those required by this decision shall be made on the subdivision plat after Final Plat approval, unless said plat is first resubmitted to and approved by the DRB. In the event the subdivision plat is recorded without complying with this requirement, the plat shall be considered null and void.
16. All plans, drawings, and conditions/requirements etc. listed above or submitted at the hearing and used as the basis for the decision to grant this permit shall be binding on the applicants, and their heirs and assigns. Projects shall be completed in accordance with such approved plans and conditions. Any

deviation from the approved plans shall constitute a violation of permit and be subject to enforcement action by the Town.

These conditions shall not be deviated from absent an amendment granted by the Board.

All plats, plans, drawings, etc., listed above or submitted at the hearing and used as a basis for the decision to grant the permit shall be binding on the applicants, their heirs and assigns. Projects must be completed in accordance with such approved plans and conditions. Any deviation shall be a violation of the permit and subject to enforcement action by the Town.

NOTICE: This decision may be appealed to the Vermont Environmental Court by an interested person who participated in the proceeding before the Development Review Board. Such appeal must be taken within 30 days of the date of this decision pursuant to 24 V.S.A. Section 4471. Notice of the appeal shall be filed by certified mailing, with fees, to the environmental court and by mailing a copy to the Zoning Administrator who shall supply a list of interested persons to the appellant within five working days. Upon receipt of the list of interested persons, the appellant shall, by certified mail, provide a copy of the notice of appeal to every interested person.

EXPIRATION: Pursuant to Section 3.2(D) of the Town of Georgia Development Regulations, approval from the Development Review Board allowing a conditional use shall expire one year from date of issue if construction has not progressed to the point where the property can reasonably be used for its intended purpose as defined and/or all conditions of this decision as set forth above have not been met. An extension of one year will be granted by the Zoning Administrator if application for extension takes place before the approval has expired. At the end of two years, the permit will permanently expire unless the Development Review Board grants a further extension.

Members present and voting for approval: Suzanna Brown, Charles Cross, Greg Drew, Lisa Faure, James Powell, Gilles Rainville, Jr. and Glenn Sjoblom. Members present and voting against approval: None.

Signature of Chair:

Date:

Suzanna Brown, DRB Chair

9/19/2023



GEORGIA VERMONT

DRB MEETING Tuesday, October 01, 2024 at 7:00 PM Chris Letourneau Meeting Room and via Zoom Minutes

Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. CALL TO ORDER - 7:00 PM

BOARD PRESENT

Chair Suzanna Brown
Vice Chair Charles Cross
Greg Drew
Jared Waite
Gilles Rainville
Glenn Sjoblom
Lisa Faure

BOARD ABSENT

James Powell
Chris Caspers

STAFF PRESENT

Doug Bergstrom, Zoning Administrator
Kollene Caspers, Zoning Clerk

GUESTS PRESENT

Larry and Marie Paradis
Chad Heath

2. ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA

Development Regulation Review for Revision- Other Business

3. PUBLIC HEARINGS

A. Paradis (FP-003-24) Final Plat for 2 Lot Minor Subdivision

- Larry and Marie Paradis and Chad Heath were present for the Final Plat Review.
- S. Brown introduced the Final Plat Review for 2 lot minor subdivision on Bronson Road.
- Waiver for the road frontage, 150 feet reduced to 75 feet.
- Stream crosses through proposed driveway, a culvert will be installed to access the parcel.
- Green Mountain Power has consulted with Applicants, recommended one pole, buried lines, and electrical box on the Lot 2 property. Also discussed solar options.
- ANR marked wetlands buffers, 100 ft from stream and around it. Also recommended the Applicants dispose of some brush that may be a fire hazard.

Motion to close the hearing at 7:10pm

Motion made by Rainville, Seconded by Drew.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Waite, Rainville, Sjoblom, Faure

4. APPROVAL OF MINUTES

A. DRB Meeting Minutes: September 3, 2024

Minutes approved with no edits.

Motion made by Rainville, Seconded by Waite.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Waite, Rainville, Sjoblom, Faure

5. OTHER BUSINESS

A. Development Regulation Review for Revision

- S. Brown explained that Michael Allen with ReGrowth Planning will be revising the Town of Georgia Development Regulations. ReGrowth will work with the Planning Commission to revise the regulations, following the changes made in the updated Town Plan.
- As the new Town Plan is going through the approval process, the Planning Commission and the Town of Georgia Zoning office will be updating the regulations.
- S. Brown asked the DRB to submit ideas for any changes, updates, edits or inclusions they would like to see in the Development Regulations.
- Procedures for Development Regulation revision and approval were explained, the Planning Commission will revise the Development Regulations together with ReGrowth and with input from the DRB. Once drafted, a Public Hearing will be held for the Draft Development Regulations to be reviewed by the public. The Draft will be reviewed and revised before the Selectboard adopts them. This is much like the process for approving the new Town Plan.
- D. Bergstrom navigated the Town of Georgia website to show the DRB the current Development Regulations.
- S. Brown explained the incentives in our current regulations, such as bonus lots, etc. for developers or new homeowners to include solar or other alternative energy sources.
- G. Rainville suggested highlighting the incentives and the most recent Zoning changes in the beginning of the new Development Regulations.
- S. Brown suggested posting any new changes to Zoning laws on the Town website to make the information available to residents.
- “3-Acre Rule” explained, there was a meeting September 30, 2024 in Saint Albans. D. Bergstrom recapped the meeting and the necessary HOA changes for certain identified

subdivisions to have a stormwater run-off, pools or any plans in place for stormwater run-off. Some of these neighborhoods do not have HOAs or any organization to make the changes.

6. PLAN NEXT MEETING AGENDA

A. October 15, 2024

The October 15th meeting shall reference the following:

- Site Plan Amendment (SA-002-24) for Northwest Solid Waste Management to amend a prior Site Plan (SP-002-24) at 158 Morse Drive, Parcel ID#108290600 in the Industrial Zoning district.
- Sketch Plan Review (SK-003-24) for Robert Rooney and Terry Rooney for a two-lot subdivision at 4451 Ethan Allen Highway, Parcel ID#116080000 in the AR-1 & AR-2 Zoning districts.
- Final Plat Review (FP-004-24) for Cline Road, LLC for a 16 Lot, 14 Unit Planned Unit Development (PUD) at Cline Road and Horseshoe Barn Road, Parcel ID# 102130000, in the AR-1 Zoning district.

7. DELIBERATIONS

Motion to enter deliberative session at 7:30pm

Motion made by Waite, Seconded by Drew.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Waite, Rainville, Sjoblom, Faure

Motion to exit deliberative session at 8:12pm

Motion made by Sjoblom, Seconded by Cross.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Waite, Rainville, Sjoblom, Faure

8. ADJOURN

Motion to adjourn the meeting at 8:13pm

Motion made by Rainville, Seconded by Drew.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Waite, Rainville, Sjoblom, Faure

Posted to the Town website.

Signed: Kollene Caspers, Zoning Clerk, DRB Clerk

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com

**TOWN OF GEORGIA
DEVELOPMENT REVIEW BOARD
FINDINGS OF FACT, CONCLUSIONS & ORDER**

**NOTICE OF DECISION
FP-003-24**

**Owner & Applicant: Larry and Marie Paradis
Final Plat for a 2-Lot Minor Subdivision**

This matter came before the Georgia Development Review Board (DRB) on the application of Larry and Marie Paradis, hereafter referred to as Applicants, for Final Plat approval of a 2-lot minor subdivision on the property located at 312 Bronson Road, Georgia, VT. Parcel ID#101576000 in the AR-1 & AR-2 zoning districts. A Notice of Public Hearing was duly published on September 17, 2024, in the St. Albans Messenger, and all adjoining property owners were notified.

The DRB held a public hearing on October 1, 2024. Applicants were present to represent the project. See meeting notes for a list of others in attendance.

Applicants have submitted a site plan titled “Two Lot Subdivision Survey Plat” prepared by Barnard & Gervais, LLC dated 7/3/2024.

Based on the above-mentioned public hearing, plans submitted, and additional documents contained in the planning file for this proposal, the DRB enters the following Findings of Fact, Conclusions and Order.

FINDINGS OF FACT

NOTE: The application, any and all relevant evidence presented to the Commission, and the minutes of the hearing conducted by the Town of Georgia DRB on October 1, 2024, shall be considered part of the Findings of Fact and kept as part of the permanent record of the Applicants. This official record shall provide an additional basis for the DRB’s decision.

1. Applicants are requesting final plat approval for a 2-lot minor subdivision property located at 312 Bronson Road, Georgia, VT. Parcel ID#101576000 within the AR-1 & AR-2 zoning districts. Sketch plan review was conducted on August 6, 2024, and the associated sketch plan letter was mailed to the Applicants on August 12, 2024.
2. The subject parcel consists of consists of ±10.05 acres. The parcel is split between the AR-1 and AR-2 zoning districts, with the proposed Lot 2 located entirely within the AR-1 Zoning district. Total parcel is benefitted by ± 500 total feet of road frontage along Bronson Road, with Lot 2 providing ±75 foot road frontage with waiver from the DRB.
3. Applicants are proposing the creation of two lots. Proposed Lot 1 will consist of ±5.05 acres and includes the current single-family dwelling. Proposed Lot 2 will consist of ±5.0 acres.

- 4. As proposed, the land meets the requirement for the subdivision with setbacks and acreage as required by the currently warned draft Town of Georgia Development Regulations dated February 27, 2023. Applicants received a waiver from the DRB to reduce road frontage from 150 feet to 75 feet.
- 5. The following members of the DRB were present for the Final Plat public hearing on October 1, 2024, constituting a quorum: Suzanna Brown, Charles Cross, Greg Drew, Gilles Rainville Jr, Glenn Sjoblom, Jaren Waite and Lisa Faure.
- 6. The regulations in effect at the time of the decision: **Municipal Town Plan**, last amended January 9, 2017; **Town of Georgia Development Regulations**, last amended February 27, 2023.

CONCLUSIONS

- 1. The applicants have submitted all relevant final plat information required by the Georgia Development Regulations.
- 2. This application was reviewed as a minor subdivision pursuant to the requirements and standards outlined in Article 4, Subdivision Approval; Article 2, Zoning Districts and Land Uses and Dimensional Standards; and Article 7, Planning and Design Standards, of the Town of Georgia Development Regulations. The application was deemed consistent with the above-mentioned standards and requirements.
- 3. The approval of the final plat is based on all final plat and sketch plan documents contained in the SK-002-24 and FP-003-24 folders in the DRB files.

ORDER

Based on the Findings of Fact and Conclusions set forth above, the Georgia DRB approves the Final Plat for the two lot minor subdivision subject to the conditions listed below:

- 1. The final plat plan shall be accompanied by a vicinity map drawn at the scale of not over four hundred (400) feet to the inch to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area.
- 2. The Mylar shall include:
 - a. Clear and legible data and information;
 - b. 18.0 inches by 24.0 inches in size;
 - c. Stamp and signature of licensed Land Surveyor;
 - d. Margin of 2.0 inches outside of the borderlines on the left side for binding and a 1.0-inch margin outside the border along the remaining sides;
 - e. Inset location map clearly indicating the location of the land depicted and a legend of symbols used;
 - f. Plat scale ratios sufficient to allow all pertinent survey data to be shown, and graphic scale graduated in units of measure used in the body of the plat;

- g. Town Clerk and DRB Chairperson signature blocks, a new version of this signature block is available on the Town of Georgia website (under Zoning Resources).
- 3. The Final Plat submitted on Mylar measuring 18” by 24” with signature, shall be filed by the subdivider with the Town Clerk within 180 days of the DRB’s signed written decision. Final approval shall expire if the Final Plat is not filed by the subdivider within the 180-day period. One ninety (90) day extension may be granted pursuant to Title 24 Ch. 117, Section 4463(b)(1), Vermont Statutes Annotated.
 - a. Approval expires April 15, 2025
- 4. Draft deed documents for the new lot shall be submitted to the Zoning office and must address all right of way easements and restrictions.
- 5. This project shall be completed, operated, and maintained as set forth in the plans and exhibits as approved by the DRB and on file in the Town Office, and in accordance with the conditions of this approval.
- 6. No changes, erasures, modifications, or revisions other than those required by this decision shall be made on the subdivision plat after Final Plat approval, unless said plat is first resubmitted to and approved by the DRB. In the event the subdivision plat is recorded without complying with this requirement, the plat shall be considered null and void.
- 7. All plans, drawings, and conditions/requirements etc. listed above or submitted at the hearing and used as the basis for the decision to grant this permit shall be binding on the applicants, and their heirs and assigns. Projects shall be completed in accordance with such approved plans and conditions. Any deviation from the approved plans shall constitute a violation of permit and be subject to enforcement action by the Town.

Dated at Georgia, Vermont, this 15th day of October, 2024.

By _____
Suzanna Brown
Georgia DRB Chair

DRB members participating in this decision: Suzanna Brown, Greg Drew, Gilles Rainville, Jr., Charles Cross, Lisa Faure, Jared Waite and Glenn Sjoblom.

Vote to approve: In favor - 7, Opposed - 0, Abstain – 0, Absent 2 (James Powell, Chris Caspers).

30 Day Appeal Information:

An “interested person”, who has participated in this proceeding, may appeal this decision to the Vermont Environmental Court within 30 days of the date this decision was signed. Participation shall consist of offering, through oral or written testimony, evidence or a statement of concern related to the subject of the proceeding. See V.S.A. Title 24, Chapter 117, Section 4465b for clarification on who qualifies as an “interested person”.

Notice of the Appeal, along with applicable fees, should be sent by certified mail to the Vermont Environmental Court. A copy of the notice of appeal should also be mailed to the Town of Georgia.