



GEORGIA VERMONT

DRB MEETING

Tuesday, May 19, 2026 at 7:00 PM
Chris Letourneau Meeting Room and via Zoom

Agenda

Zoom Details:

<https://us02web.zoom.us/j/7852587431?pwd=PBv40gFdgVnMmCTlaw2gLkbXfbpeH4.1&omn=87114687124>

Meeting ID: 785 258 7431 | **Passcode:** 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. **CALL TO ORDER - 7:00 PM**
2. **ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA**
3. **PUBLIC HEARINGS**
 - A. DRB-0013-26, RenoVermont LLC, Sketch Plan Review
 - B. Cline Road LLC, Preliminary Plat for 32- Lot/30-Unit PUD Subdivision
4. **APPROVAL OF MINUTES**
 - A. DRB Meeting Minutes, April 21, 2026
5. **OTHER BUSINESS**
 - A. SUB-012-2026, Dunsmore Two-Lot Administrative Subdivision
6. **PLAN NEXT MEETING AGENDA**
 - A. June 2, 2026
7. **DELIBERATIONS**
 - A. DRB-009-2026 Decision Letter, RenoVermont LLC Three-Lot Subdivision
8. **ADJOURN**

Agendas are posted to the Town website, four designated places within the Town of Georgia (Town Clerk's Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.

Minutes and videos of the meetings are posted on the Town of Georgia website.

Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator

VERMONT AGENCY OF TRANSPORTATION
NOTICE OF PERMIT ACTION

Grantor (Owner/Applicant): RENOVERMONT, LLC
Address: Street: [Redacted]
City/State/ZIP: [Redacted]

Location of Work:

Location Start
Town: Georgia
Route: US7
Log Station/MM: 0089+23

Location End
Town:
Route:
Log Station/MM:

Property Deed Reference: Book: 425 Page: 92
Additional Book: Additional Page:

Permit ID #: 47631

Description of Work: CLOSE A FIELD DRIVE AT MM 1.74 AND CONSTRUCT A NEW ACCESS PAVED 24' WIDE PER STANDARD B-71B TO SERVE A MIXED-USE 3-LOT SUBDIVISION OF 17.6 ACRES

Issued Permit Notice of Violation
 Suspension of Permit Withdrawn

Action Date: March 26, 2026

Signed by: Theresa C. Gilman
Signature: _____
10220048B424498...
Authorized Representative for
the Secretary of Transportation

Location of Record: Vermont Agency of Transportation
Development Review & Permitting Services Section
Barre City Place, 219 North Main Street
Barre, Vermont 05641

Town/City of _____ Clerk's Office
Received _____ at _____ a.m./p.m.
and recorded in Book _____ on Page _____
of land records. _____
Attest: _____
Assistant Town/City Clerk

**SKETCH PLAN REVIEW #2
Three-Lot Minor Subdivision
DRB-013-26**

Owner: Reno Vermont LLC c/o Sean Fitzgerald	Property Tax Parcels & Location: 17-acre parcel located on Ethan Allen Highway near the I-89 interchange Parcel#117610100 Zone: Business (B) & Ag Residential (AR)
Applicant/Engineer: Peter Mazurak, Apex Engineering, LLC	

Background

Reno Vermont LLC and Peter Mazurak, hereafter referred to as Applicants, are requesting Sketch Plan review for a three-lot Minor Subdivision for the ±17.6 acre parcel located on Ethan Allen Highway near the I-89 interchange. The parcel is located in the Business (B) and Ag Residential (AR) zoning districts.

The following subdivision of property is outlined below:

- Lot 1, ±8.9 acres, one duplex proposed.
- Lot 2, ±4.3 acres, one duplex proposed.
- Lot 3, ±4.3 acres, Commercial complex 8,800 sq ft. Site Plan and Conditional Use applications have been accepted by the Town of Georgia and will be heard at future hearing date.

COMMENTS

General Subdivision and Site Plan Review Requirements

1. **Dimensional Requirements.** The dimensional requirements of the Zoning District and the proposed lot dimensions are as follows:

	B	AR	LOT 1	LOT 2	Lot 3
Minimum Lot Size	1.0 acres	2.0 acres	±8.9 acres	±4.3 acres	±4.3 acres
Lot Frontage	100 ft	150 ft			
Building Size (Max)	20,000 sq ft	3,500 sq ft	N/A	N/A	8,800 sq ft

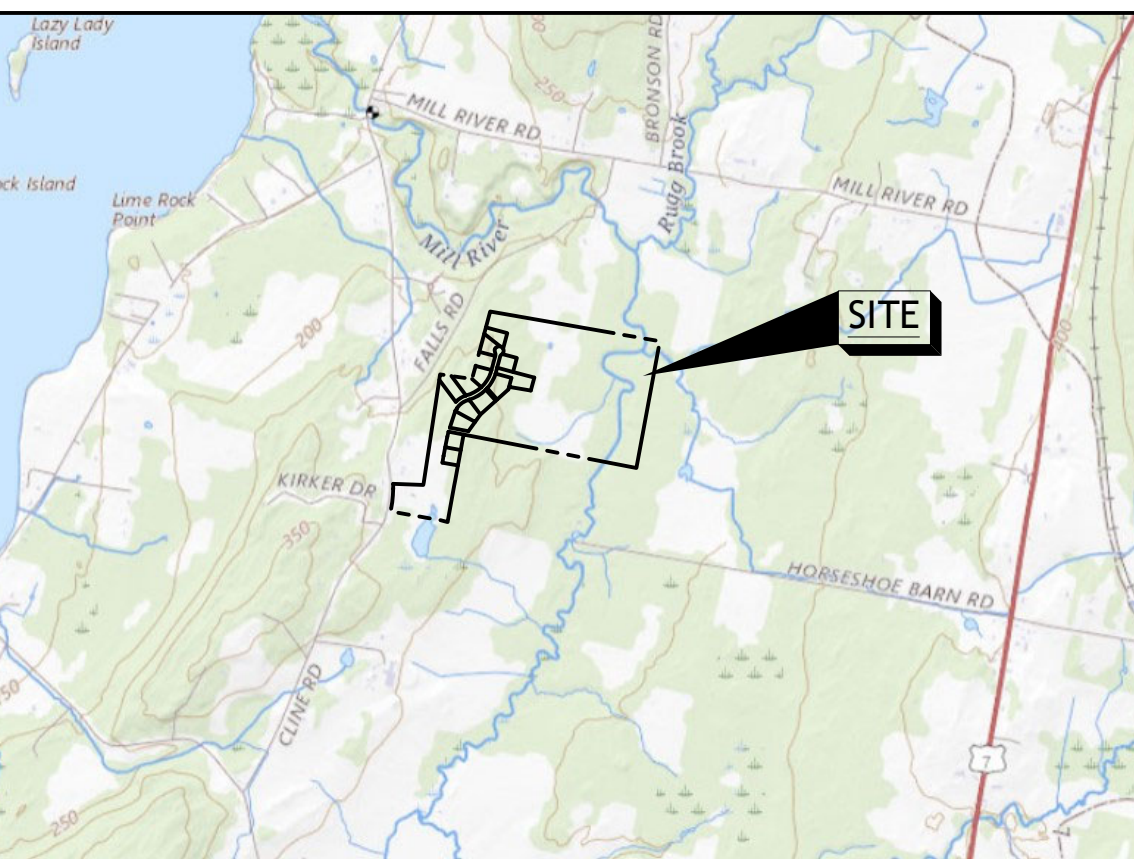
2. **Site plans.** Applicants have submitted one map prepared by Apex Engineering, LLC on 4/30/2026 titled, “RenoVermont LLC Site Plan”.
3. **Lot layout.** The proposed layout will divide the ±17.6 acre parcel into three lots, where Lots 2 and 3 will be accessed by a 60-foot-wide proposed roadway, and will include a 30-foot-wide access easement over Lot 2 in favor of access to Lot 1.

4. **Suitability for development.** This subdivision will create three new lots for future development. Lot 1 proposes a duplex-dwelling, Lot 2 proposes a duplex-dwelling and Lot 3 proposes an 8,800 sq ft commercial warehouse building with seven (7) parking spaces.
5. **Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.** N/A
6. **Storm water and erosion control plan during construction.** N/A
7. **Conformance with Town Plan and Bylaws.** This project meets the minimum dimensional requirements for the Business (B) and Ag Residential (AR) zoning districts and meets Development Regulations for lot frontage requirements.
8. **Compatibility with surroundings.** The proposed three-lot subdivision will conform with the existing zoning standards.
9. **Municipal Services.** This project will require an ability to serve letter from the Georgia Fire Chief.
10. **Individual Water Supply.** Wastewater system on Lot 2 to serve lots 2 and 3, wastewater system on Lot 1 to serve Lot 1. Grass lines swales and two gravel wetlands.
11. **Vehicular Traffic.** Access easement for use by all lots. Access easement over Lot 2 in favor of Lot 1. Existing wastewater easement over Lots 1 & 2 in favor of dwelling to the north. This project has received state access approval.
12. **Landscaping Plan and Lighting.** N/A
13. **State permits.** Applicants will submit all state permits as required to complete the project.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Town of Georgia

cc: Applicant/Engineer, Owner

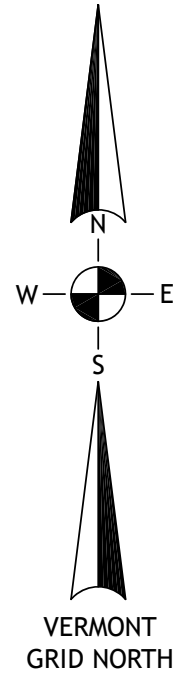


LOCUS MAP
NOT TO SCALE

LEGEND

- IRON PIPE (FOUND)
- ⊙ REBAR (FOUND)
- #6 REBAR TO BE SET WITH DAY LAND SURVEYING ALUMINUM CAP
- △ CALCULATED POINT
- UTILITY POLE
- EXISTING BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- x- BARBED WIRE FENCE
- STONE WALL
- WASTEWATER EASEMENT AREA
- OPEN SPACE EASEMENT AREA

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	DELTA ANGLE
C20	1381.78'	245.41'	245.08'	N 05° 52' 11" E 10° 10' 33"
C21	1381.78'	60.07'	60.06'	N 00° 27' 49" W 2° 29' 26"
C22	147.15'	215.26'	196.58'	S 50° 12' 12" W 83° 48' 53"
C26	207.15'	303.03'	276.73'	S 50° 12' 12" W 83° 48' 53"



parcel id no. 102160000.a
A. VILLANI
J. MACARTHY
v. 182 p. 171
map slide 90, 42

parcel id no. 102160000.a
A. VILLANI
J. MACARTHY
v. 182 p. 171
map slide 90, 42

25' ACCESS EASEMENT
VERMONT TRANSCO LLC
VOLUME 400 PAGE 261
SEE PLAT REFERENCE 1

parcel id no. 102150000
A. & B. LEO
v. 184 p. 632
map slide 90, 42

parcel id no. 102640000
WILCOX LAKESHORE
FARM TRUST
v. 267 p. 275

PROPOSED 60' WIDE
RIGHT OF WAY TO LANDS
OF WILCOX LAKESHORE
FARM TRUST

CLINE ROAD
(49.5' WIDE R.O.W. - ASSUMED)

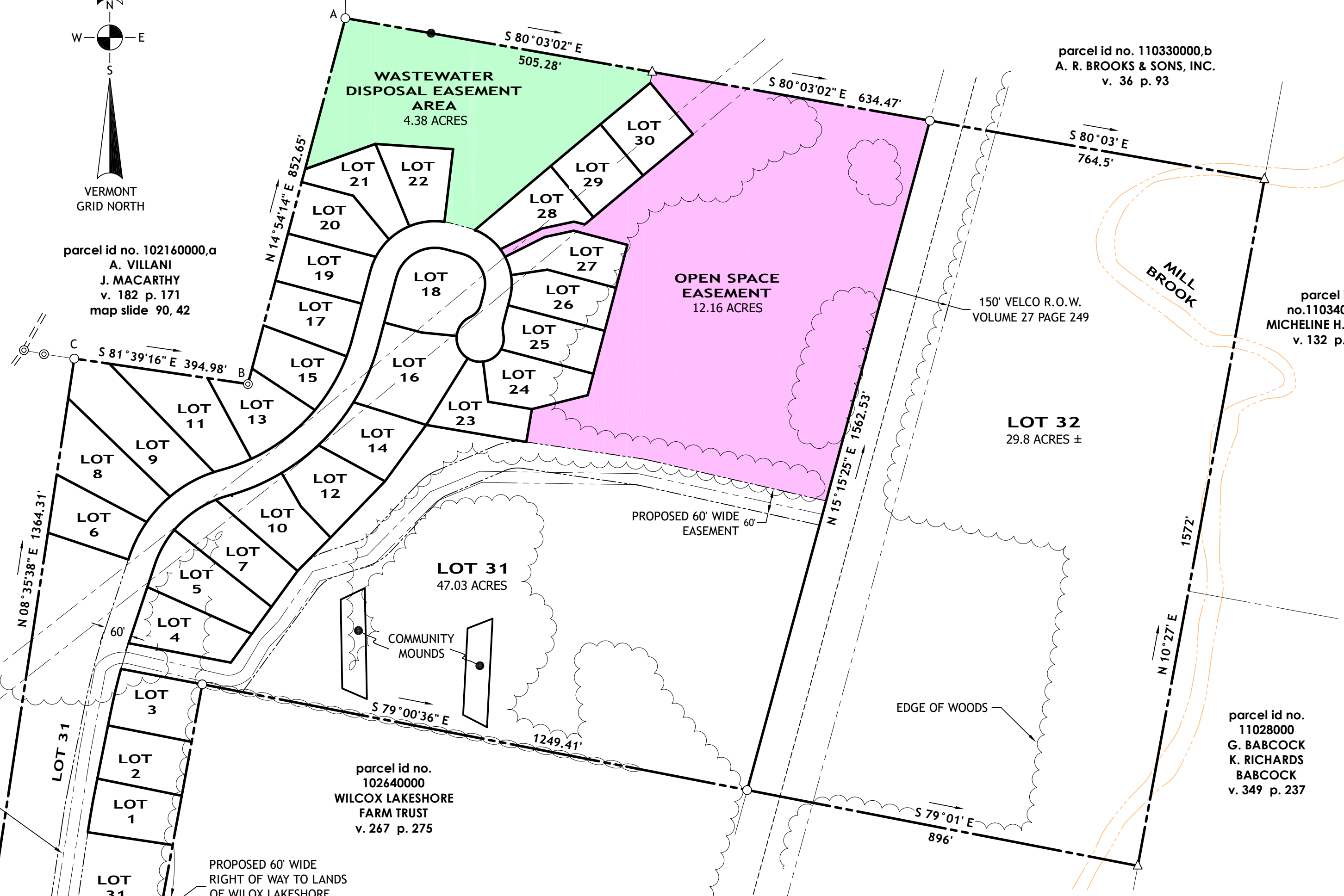
L=305.47'
R=1381.78'
D=12° 39' 59"
B N 04° 37' 28" E
CL=304.85'

N: 826261.68
E: 1473456.92

parcel id no. 102080000
W. & E. GUNTHER
v. 208 p. 38

HORSESHOE BARN ROAD
(CLASS IV - UNIMPROVED)

parcel id no. 102040000.a
FRASER HOLDINGS LLC
v. 117 p. 241



TOWN OF GEORGIA, VERMONT
RECEIVED FOR RECORD

_____ A.D. 20____

AT _____ O'CLOCK _____ MINUTES _____ M.

AND RECORDED IN MAP SLIDE _____

ATTEST: _____

THIS SUBDIVISION PLAT HAS BEEN APPROVED BY RESOLUTION OF THE
DEVELOPMENT REVIEW BOARD OF THE TOWN OF GEORGIA, VT

THIS _____ DAY OF _____ 20____

SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.

DRB APPLICATION # _____

SIGNED THIS _____ DAY OF _____ 20____

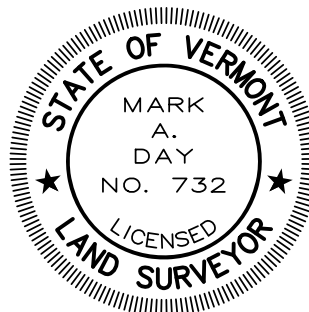
BY _____, DRB CHAIR

SEE SHEET 2 FOR DETAIL OF LOTS 1-14



300 RYAN'S WAY, FLETCHER, VT 05448
802-849-6516
www.daylandsurveying.com

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS
THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF
LAND SURVEYORS. FIELD MEASUREMENTS AND PERTINENT RECORD
INFORMATION WAS USED IN THE CALCULATION AND DETERMINATION
OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES
ARE SHOWN HEREON. TO THE BEST OF MY KNOWLEDGE THIS PLAT
MEETS THE REQUIREMENTS OF 27 VSA 1403.



MARK A. DAY, L.S. VT #732 _____ DATE _____

PRELIMINARY SUBDIVISION PLAT
PARCEL ID: 102130000
Prepared For

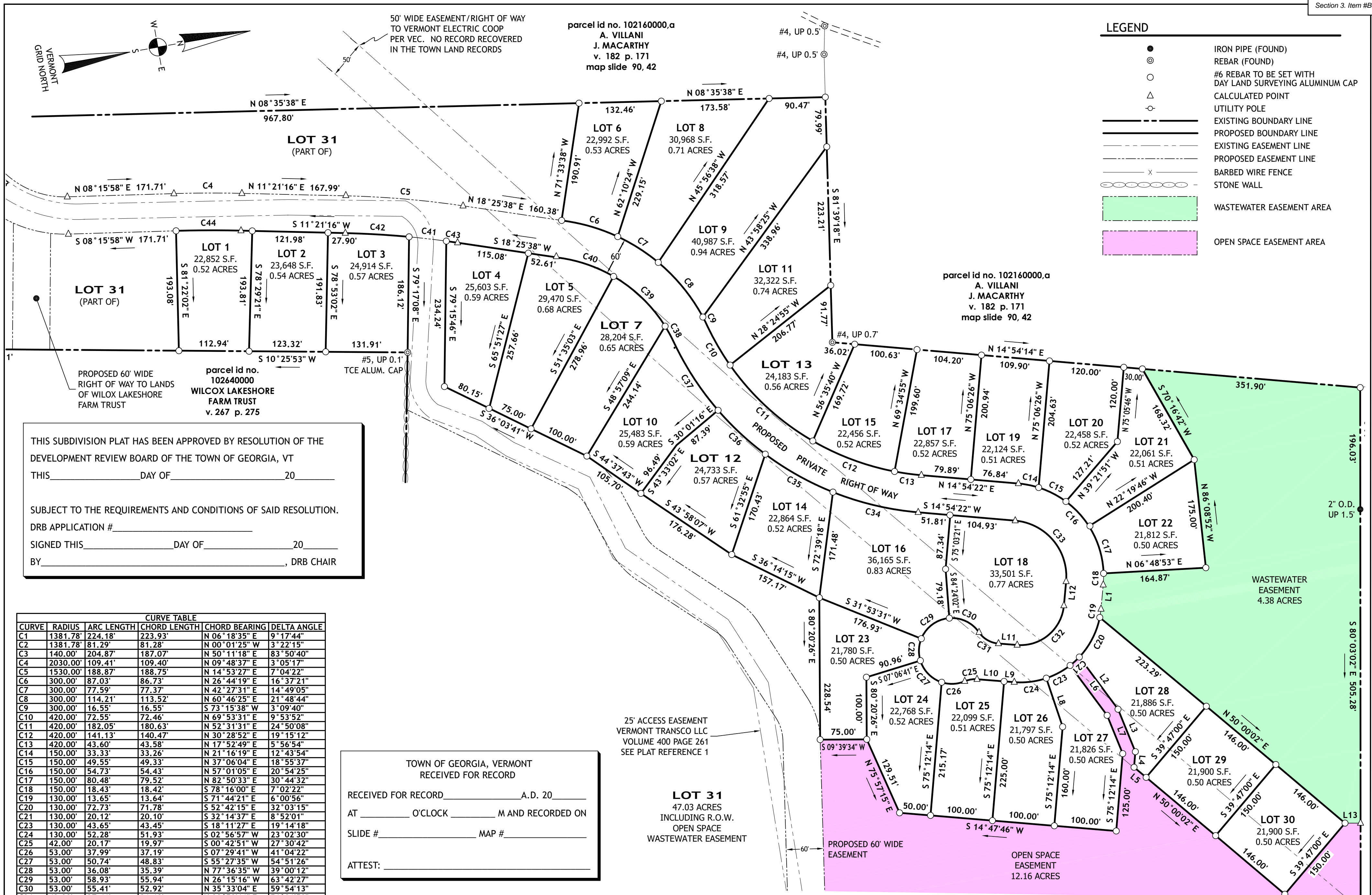
Cline Road, LLC

CLINE ROAD
GEORGIA, VERMONT



SCALE:	1"=200'
DATE:	1/22/26
JOB NUMBER:	23037
DRAWING:	23037 splat
DATE OF SURVEY:	2/2019
SURVEY BY:	MD/HB
SHEET:	1 OF 2

THIS IS AN ORIGINAL PIGMENT INK ON STABLE BASE POLYESTER FILM



THIS SUBDIVISION PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF GEORGIA, VT THIS _____ DAY OF _____ 20____

SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. DRB APPLICATION # _____

SIGNED THIS _____ DAY OF _____ 20____ BY _____, DRB CHAIR

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1381.78'	224.18'	223.93'	N 06° 18' 35" E	9° 17' 44"
C2	1381.78'	81.29'	81.28'	N 00° 01' 25" W	3° 22' 15"
C3	140.00'	204.87'	187.07'	N 50° 11' 18" E	83° 50' 40"
C4	2030.00'	109.41'	109.40'	N 09° 48' 37" E	3° 05' 17"
C5	1530.00'	188.87'	188.75'	N 14° 53' 27" E	7° 04' 22"
C6	300.00'	87.03'	86.73'	N 26° 44' 19" E	16° 37' 21"
C7	300.00'	77.59'	77.37'	N 42° 27' 31" E	14° 49' 05"
C8	300.00'	114.21'	113.52'	N 60° 46' 25" E	21° 48' 44"
C9	300.00'	16.55'	16.55'	S 73° 15' 38" W	3° 09' 40"
C10	420.00'	72.55'	72.46'	N 69° 53' 31" E	9° 53' 52"
C11	420.00'	182.05'	180.63'	N 52° 31' 31" E	24° 50' 08"
C12	420.00'	141.13'	140.47'	N 30° 28' 52" E	19° 15' 12"
C13	420.00'	43.60'	43.58'	N 17° 52' 49" E	5° 56' 54"
C14	150.00'	33.33'	33.26'	N 21° 16' 19" E	12° 43' 54"
C15	150.00'	49.55'	49.33'	N 37° 06' 04" E	18° 55' 37"
C16	150.00'	54.73'	54.43'	N 57° 01' 05" E	20° 54' 25"
C17	150.00'	80.48'	79.52'	N 82° 50' 33" E	30° 44' 32"
C18	150.00'	18.43'	18.42'	S 78° 16' 00" E	7° 02' 22"
C19	130.00'	13.65'	13.64'	S 71° 44' 21" E	6° 00' 56"
C20	130.00'	72.73'	71.78'	S 52° 42' 15" E	32° 03' 15"
C21	130.00'	20.12'	20.10'	S 32° 14' 37" E	8° 52' 01"
C23	130.00'	43.65'	43.45'	S 18° 11' 27" E	19° 14' 18"
C24	130.00'	52.28'	51.93'	S 02° 56' 57" W	23° 02' 30"
C25	42.00'	20.17'	19.97'	S 00° 42' 51" W	27° 30' 42"
C26	53.00'	37.99'	37.19'	S 07° 29' 41" W	41° 04' 22"
C27	53.00'	50.74'	48.83'	S 55° 27' 35" W	54° 51' 26"
C28	53.00'	36.08'	35.39'	N 77° 36' 35" W	39° 00' 12"
C29	53.00'	58.93'	55.94'	N 26° 15' 16" W	63° 42' 27"
C30	53.00'	55.41'	52.92'	N 35° 33' 04" E	59° 54' 13"
C31	42.00'	37.41'	36.18'	N 39° 59' 11" E	51° 01' 59"
C32	70.00'	109.00'	98.32'	N 30° 08' 18" W	89° 13' 00"
C33	90.00'	141.92'	127.66'	S 60° 04' 47" W	90° 20' 50"
C34	480.00'	141.52'	141.00'	S 23° 21' 08" W	16° 53' 32"
C35	480.00'	125.26'	124.91'	S 39° 16' 27" W	14° 57' 07"
C36	480.00'	103.88'	103.68'	S 52° 57' 01" W	12° 24' 00"
C37	480.00'	131.45'	131.04'	S 66° 59' 44" W	15° 41' 27"
C38	240.00'	29.10'	29.08'	S 71° 22' 05" W	6° 56' 46"
C39	240.00'	116.50'	115.36'	S 53° 59' 19" W	27° 48' 45"
C40	240.00'	90.71'	90.17'	S 29° 15' 17" W	21° 39' 19"
C41	1470.00'	60.31'	60.31'	S 16° 32' 12" W	2° 21' 03"
C42	1470.00'	102.80'	102.78'	S 13° 21' 28" W	4° 00' 24"
C43	1470.00'	18.35'	18.35'	S 18° 04' 11" W	0° 42' 55"
C44	1970.00'	104.55'	104.54'	S 09° 50' 02" W	3° 02' 27"
C45	200.00'	292.67'	267.25'	S 50° 11' 18" W	83° 50' 40"
C46	120.00'	23.97'	23.93'	S 86° 23' 20" W	11° 26' 37"
C47	180.00'	30.33'	30.29'	S 85° 29' 39" W	9° 39' 15"

TOWN OF GEORGIA, VERMONT RECEIVED FOR RECORD

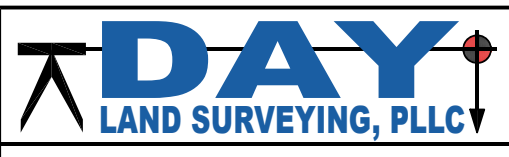
RECEIVED FOR RECORD _____ A.D. 20____

AT _____ O'CLOCK _____ M AND RECORDED ON _____

SLIDE # _____ MAP # _____

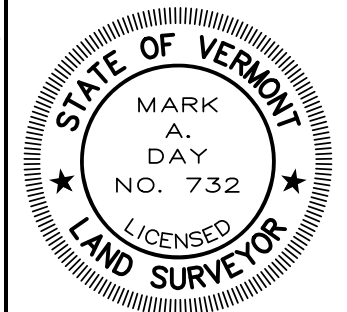
ATTEST: _____

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 74° 44' 48" E	39.13'
L2	N 63° 26' 12" E	104.59'
L3	N 77° 48' 44" E	73.86'
L4	S 75° 12' 14" E	25.20'
L5	N 49° 48' 39" E	25.36'
L6	N 63° 26' 12" E	100.08'
L7	N 77° 48' 44" E	66.54'
L8	N 81° 24' 35" E	82.53'
L9	S 14° 28' 12" W	16.42'
L10	S 14° 28' 12" W	43.74'
L11	N 14° 28' 12" E	30.18'
L12	N 74° 44' 48" W	39.13'
L13	N 09° 56' 58" E	25.00'



300 RYAN'S WAY, FLETCHER, VT 05448
802-849-6516
www.daylandsurveying.com

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD MEASUREMENTS AND PERTINENT RECORD INFORMATION WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON. TO THE BEST OF MY KNOWLEDGE THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.



MARK A. DAY, L.S. VT #732 DATE _____

PRELIMINARY SUBDIVISION PLAT
PARCEL ID: 102130000
Prepared For

Cline Road, LLC
CLINE ROAD
GEORGIA, VERMONT



SCALE:	1"=100'
DATE:	1/22/26
JOB NUMBER:	23037
DRAWING:	23037 splat
DATE OF SURVEY:	2/2019
SURVEY BY:	MD/HB
SHEET:	2 OF 2

THIS IS AN ORIGINAL PIGMENT INK ON STABLE BASE POLYESTER FILM

PLAT NOTES:

1. OWNERS OF RECORD: CLINE ROAD, LLC
2. DEED REFERENCE: VOLUME 282 PAGE 288
3. THE PARCEL OF LAND WHICH IS THE SUBJECT OF THIS SURVEY IS KNOWN AS PARCEL ID 102130000.
4. NORTH ORIENTATION IS BASED ON VERMONT GRID ZONE 4400 COMPUTED FROM RTK GNSS OBSERVATIONS MADE ON 12/13/2019 WITH DIFFERENTIAL CORRECTIONS FROM THE VERMONT CORS VRS. THE RESULTANT DATUM IS NAD83 (2011), EPOCH 2010.0, NAVD88 (GEOID18).
5. AN ATTEMPT HAS BEEN MADE TO IDENTIFY ANY EASEMENTS, RIGHTS OF WAY, LEASE LANDS, ENCROACHMENTS, ETC. OBSERVED IN THE FIELD OR READILY AVAILABLE IN THE LAND RECORDS. ADDITIONAL ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAT.
6. THIS PLAT IS NOT A GUARANTEE OF TITLE.
7. ONLY COPIES FROM THE ORIGINAL OF THIS MAP BEARING AN ORIGINAL SIGNATURE AND THE SEAL OF THE PREPARER SHALL BE CONSIDERED TO BE TRUE AND VALID COPIES.
8. THIS SURVEY WAS PREPARED FOR THE SOLE USE OF THE CLIENT REQUESTING THE SERVICE. ANY CERTIFICATIONS MADE HEREON ARE NOT TRANSFERABLE.
9. THE OWNERSHIP OF THE LANDS WITHIN THE PUBLIC RIGHT OF WAY IS UNDETERMINED. FOR THE PURPOSE OF THIS SURVEY AND THE CALCULATIONS OF BOUNDARIES AND AREAS, THE EDGE OF THE RIGHT OF WAY WAS USED. TO CALCULATE SAID RIGHT OF WAY AN OFFSET EACH SIDE OF THE CENTERLINE OF THE EXISTING TRAVELED WAY AT THE TIME OF THE SURVEY WAS USED. CLINE ROAD WAS HELD AS A THREE ROD RIGHT OF WAY. HORSESHOE BARN ROAD WAS HELD AS A FOUR ROD RIGHT OF WAY AS ESTABLISHED BY LAYOUT AS RECORDED IN THE TOWN OF GEORGIA HIGHWAY LAYOUT BOOK ON FILE IN THE TOWN CLERKS OFFICE. REFERENCE IS ALSO MADE TO VOLUME 89 PAGE 125. PLAT REFERENCE 2 SUGGESTS THAT THIS PORTION OF HORSESHOE BARN ROAD HAS BEEN DISCONTINUED, HOWEVER THIS IS NOT BELIEVED TO BE ACCURATE.
10. UNDERGROUND UTILITIES SHOWN HEREON ARE NOT CERTIFIED TO. WHILE EVERY EFFORT WAS MADE TO PLOT UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES FROM FIELD INVESTIGATIONS AS WELL AS DATA OBTAINED FROM PREVIOUS MAPS, RECORD UTILITY DRAWINGS AND UTILITY FIELD MARKOUTS, THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED.
11. THE EASTERLY PORTION OF LOT 16 WAS NOT SURVEYED. BOUNDARY LINES EAST OF POWER LINE SHOULD BE CONSIDERED APPROXIMATE.
12. BOUNDARY LINES A-B AND B-C WERE ESTABLISHED FROM PLAT REFERENCES 2 AND 4. PLAT REFERENCE 2 WAS PREPARED FOR THE SUBJECT PARCEL AND PLAT REFERENCE 4 WAS PREPARED FOR THE ADJOINING PARCEL TO THE WEST. THESE PLATS HARMONIZE WITH ONE ANOTHER AND HAVE LONGSTANDING RECORD. BASED ON THIS INFORMATION, IT IS MY OPINION THAT THIS IS THE BOUNDARY BASED ON ACQUIESCENCE.


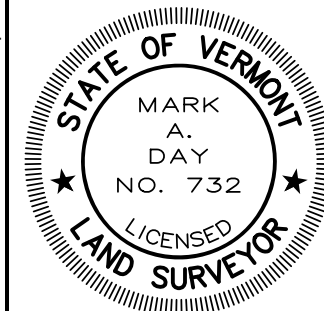
PLAT REFERENCES:

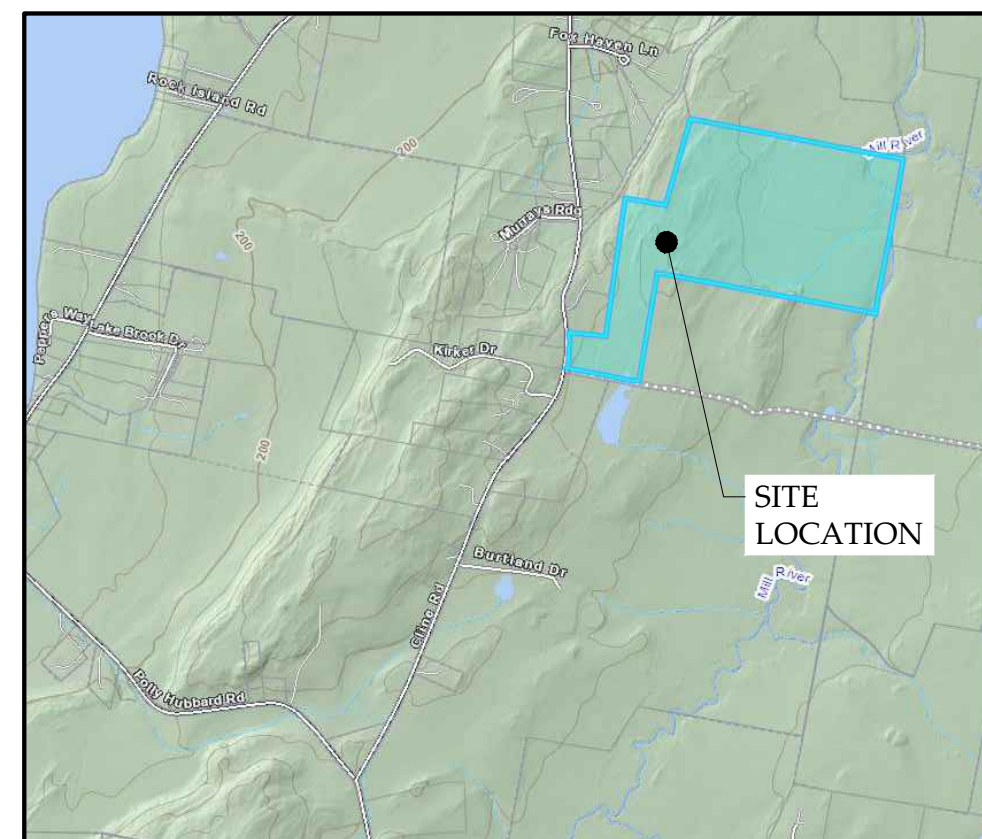
1. " MAP OF BOUNDARY SURVEY, RODNEY & MONICA CAMERON" DATED DECEMBER 14, 1989 BY BROOKS LAND SURVEYING INC. RECORDED AS MAP SLIDE 42 IN THE TOWN OF GEORGIA LAND RECORDS.
2. " BOUNDARY SURVEY, VERMONT BEACH INC." DATED JULY 14, 1989 BY BROOKS LAND SURVEYING INC. RECORDED AS MAP SLIDE 34 IN THE TOWN OF GEORGIA LAND RECORDS.
3. " SUBDIVISION MAP, MARK & ANNETTE MONGEON" DATED NOVEMBER 1, 1988 BY STEVEN BROOKS. LAST REVISED ON MAY 29, 1990. RECORDED AS MAP SLIDE 47 IN THE TOWN OF GEORGIA LAND RECORDS.
4. " SUBDIVISION MAP, EDMUND & VIRGINIA DAUDELIN" DATED APRIL 12, 1988 BY STEVEN BROOKS. LAST REVISED ON JUNE 27, 1988. RECORDED AS MAP SLIDE 14 IN THE TOWN OF GEORGIA LAND RECORDS.
5. " PLAT OF SURVEY FOR RODNEY CAMERON & MONICA CAMERON IN THE TOWN OF GEORGIA, VT." DATED MAY 15, 1981 BY JOHN MARSH. LAST REVISED ON JANUARY 05, 1987. RECORDED AS MAP SLIDE 90 IN THE TOWN OF GEORGIA LAND RECORDS.
6. "LANDS OF CLINE ROAD LLC. CLINE ROAD, GEORGIA, VERMONT, VERMONT TRANSCO LLC., EASEMENT SURVEY" DATED 12-18-23 BY BARNARD & GERVAIS, LLC AND RECORDED IN MAP SLIDE 299 OF THE TOWN OF GEORGIA LAND RECORDS.

THIS SUBDIVISION PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF GEORGIA, VT
 THIS _____ DAY OF _____ 20_____
 SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.
 DRB APPLICATION # _____
 SIGNED THIS _____ DAY OF _____ 20_____
 BY _____, DRB CHAIR

TOWN OF GEORGIA, VERMONT
 RECEIVED FOR RECORD
 RECEIVED FOR RECORD _____ A.D. 20_____
 AT _____ O'CLOCK _____ M AND RECORDED ON
 SLIDE # _____ MAP # _____
 ATTEST: _____

THIS IS AN ORIGINAL PIGMENT INK ON STABLE BASE POLYESTER FILM

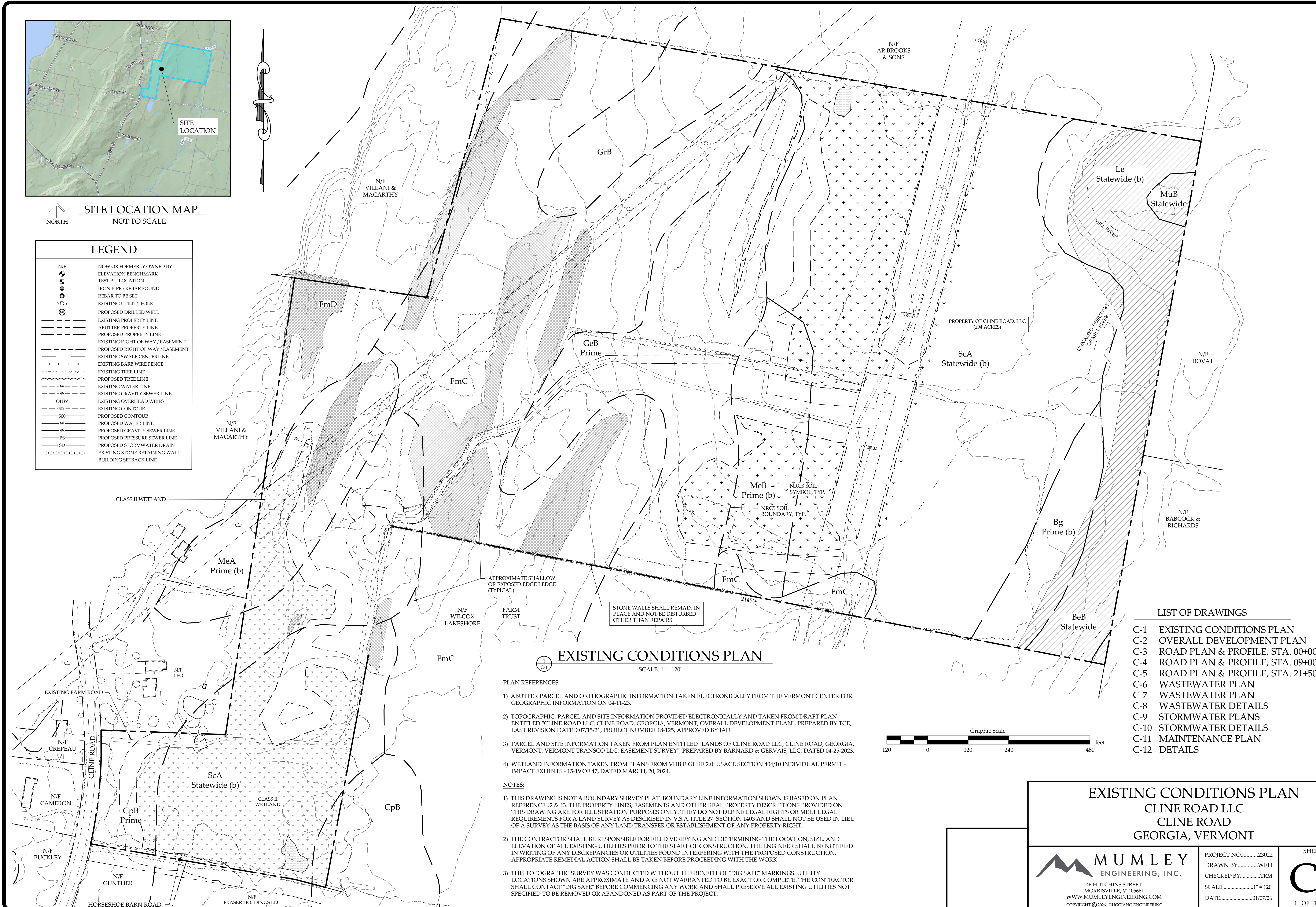
 <p>300 RYAN'S WAY, FLETCHER, VT 05448 802-849-6516 www.daylandsurveying.com</p>	<p>PRELIMINARY SUBDIVISION PLAT PARCEL ID: 102130000 Prepared For</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">Cline Road, LLC</p> <p style="text-align: center;">CLINE ROAD GEORGIA, VERMONT</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SCALE:</td> <td>N/A</td> </tr> <tr> <td>DATE:</td> <td>1/22/26</td> </tr> <tr> <td>JOB NUMBER:</td> <td>23037</td> </tr> <tr> <td>DRAWING:</td> <td>23037 splt</td> </tr> <tr> <td>DATE OF SURVEY:</td> <td>2/2019</td> </tr> <tr> <td>SURVEY BY:</td> <td>MD/HB</td> </tr> <tr> <td>SHEET:</td> <td>3 OF 3</td> </tr> </table>	SCALE:	N/A	DATE:	1/22/26	JOB NUMBER:	23037	DRAWING:	23037 splt	DATE OF SURVEY:	2/2019	SURVEY BY:	MD/HB	SHEET:	3 OF 3
SCALE:	N/A															
DATE:	1/22/26															
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DRAWING:	23037 splt															
DATE OF SURVEY:	2/2019															
SURVEY BY:	MD/HB															
SHEET:	3 OF 3															
<p>THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD MEASUREMENTS AND PERTINENT RECORD INFORMATION WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON. TO THE BEST OF MY KNOWLEDGE THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.</p> <p>MARK A. DAY, L.S. VT #732 _____ DATE _____</p>																



SITE LOCATION MAP
NOT TO SCALE



LEGEND	
N/F	NOW OR FORMERLY OWNED BY
⊕	ELEVATION BENCHMARK
⊕	TEST PIT LOCATION
⊕	IRON PIPE / REBAR FOUND
⊕	REBAR TO BE SET
⊕	EXISTING UTILITY POLE
⊕	PROPOSED DRILLED WELL
---	EXISTING PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING RIGHT OF WAY / EASEMENT
---	PROPOSED RIGHT OF WAY / EASEMENT
---	EXISTING SWALE CENTERLINE
---	EXISTING BARR WIRE FENCE
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	EXISTING WATER LINE
---	EXISTING GRAVITY SEWER LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING WATER LINE
---	PROPOSED GRAVITY SEWER LINE
---	PROPOSED PRESSURE SEWER LINE
---	PROPOSED STORMWATER DRAIN
---	EXISTING STONE RETAINING WALL
---	BUILDING SETBACK LINE



EXISTING CONDITIONS PLAN

SCALE: 1" = 120'

PLAN REFERENCES:

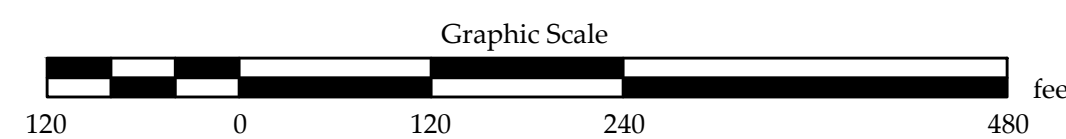
- 1) ABUTTER PARCEL AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 04-11-23.
- 2) TOPOGRAPHIC, PARCEL AND SITE INFORMATION PROVIDED ELECTRONICALLY AND TAKEN FROM DRAFT PLAN ENTITLED "CLINE ROAD LLC, CLINE ROAD, GEORGIA, VERMONT, OVERALL DEVELOPMENT PLAN", PREPARED BY TCE, LAST REVISION DATED 07/15/21, PROJECT NUMBER 18-125, APPROVED BY JAD.
- 3) PARCEL AND SITE INFORMATION TAKEN FROM PLAN ENTITLED "LANDS OF CLINE ROAD LLC, CLINE ROAD, GEORGIA, VERMONT, VERMONT TRANSCO LLC, EASEMENT SURVEY", PREPARED BY BARNARD & GERVAIS, LLC, DATED 04-25-2023.
- 4) WETLAND INFORMATION TAKEN FROM PLANS FROM VHB FIGURE 2.0: USACE SECTION 404/10 INDIVIDUAL PERMIT - IMPACT EXHIBITS - 15-19 OF 47, DATED MARCH, 20, 2024.

NOTES:

- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2 & #3. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

LIST OF DRAWINGS

- C-1 EXISTING CONDITIONS PLAN
- C-2 OVERALL DEVELOPMENT PLAN
- C-3 ROAD PLAN & PROFILE, STA. 00+00 - 09+00
- C-4 ROAD PLAN & PROFILE, STA. 09+00 - 21+50
- C-5 ROAD PLAN & PROFILE, STA. 21+50 - 25+80
- C-6 WASTEWATER PLAN
- C-7 WASTEWATER PLAN
- C-8 WASTEWATER DETAILS
- C-9 STORMWATER PLANS
- C-10 STORMWATER DETAILS
- C-11 MAINTENANCE PLAN
- C-12 DETAILS



EXISTING CONDITIONS PLAN

CLINE ROAD LLC

CLINE ROAD

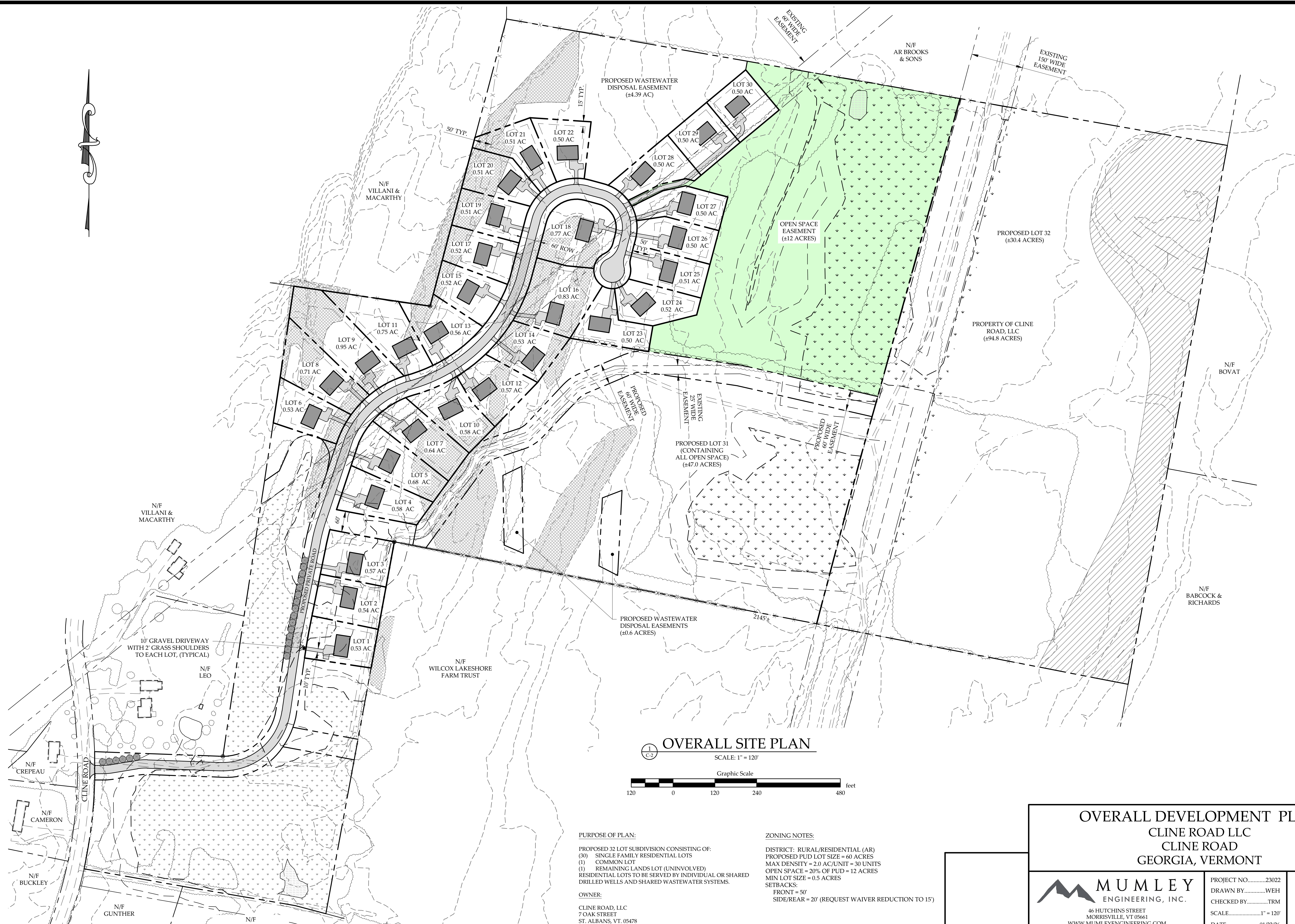
GEORGIA, VERMONT

MUMLEY
ENGINEERING, INC.

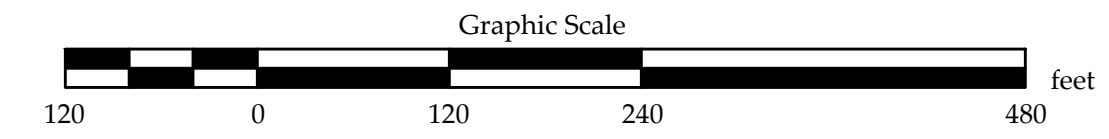
46 HUTCHINS STREET
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PROJECT NO.23022
DRAWN BYWEH
CHECKED BYTRM
SCALE1" = 120'
DATE01/07/26

SHEET NO.
C-1
1 OF 12 SHEETS



OVERALL SITE PLAN
SCALE: 1" = 120'



PURPOSE OF PLAN:

PROPOSED 32 LOT SUBDIVISION CONSISTING OF:
(30) SINGLE FAMILY RESIDENTIAL LOTS
(1) COMMON LOT
(1) REMAINING LANDS LOT (UNINVOLVED)
RESIDENTIAL LOTS TO BE SERVED BY INDIVIDUAL OR SHARED DRILLED WELLS AND SHARED WASTEWATER SYSTEMS.

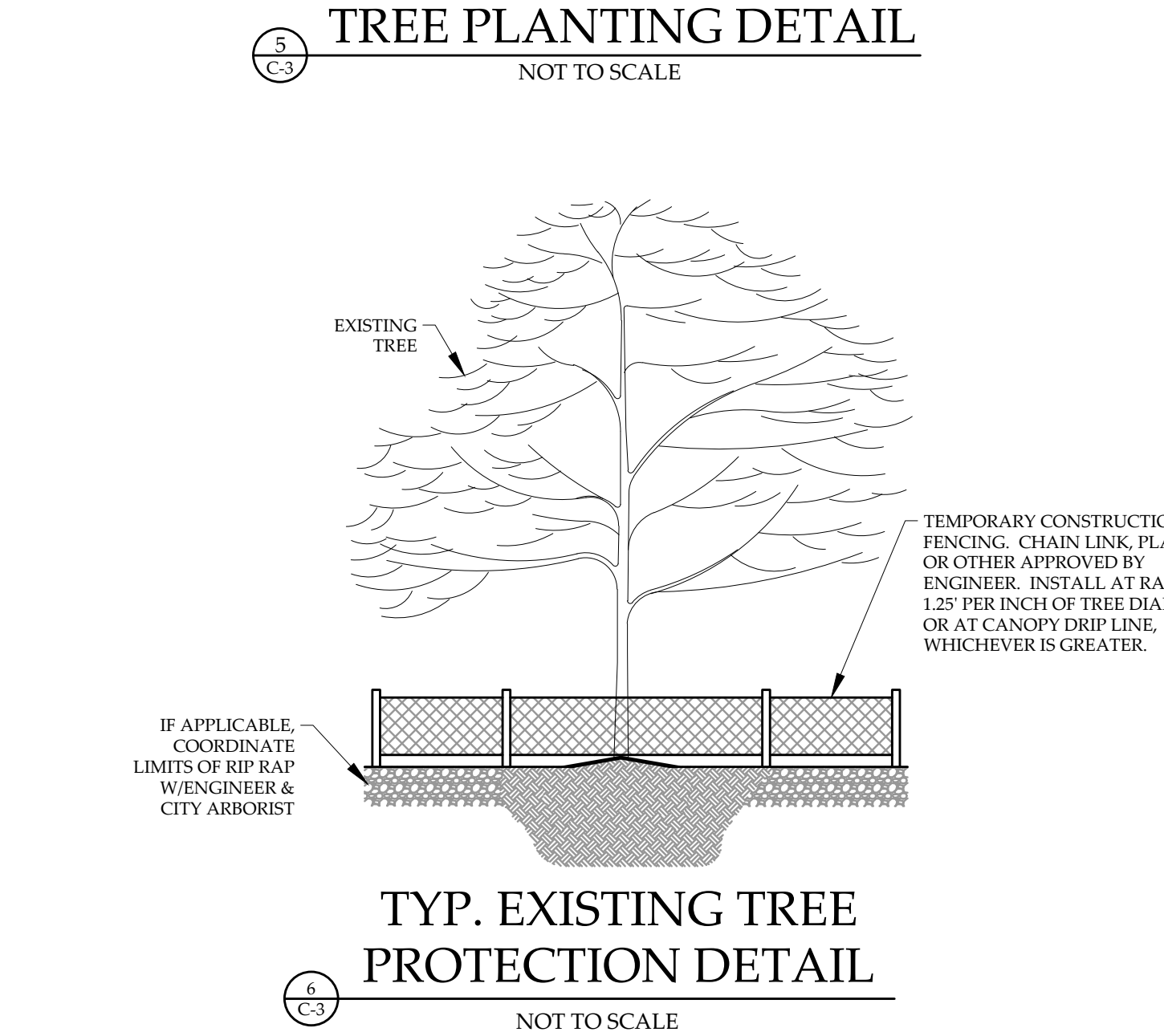
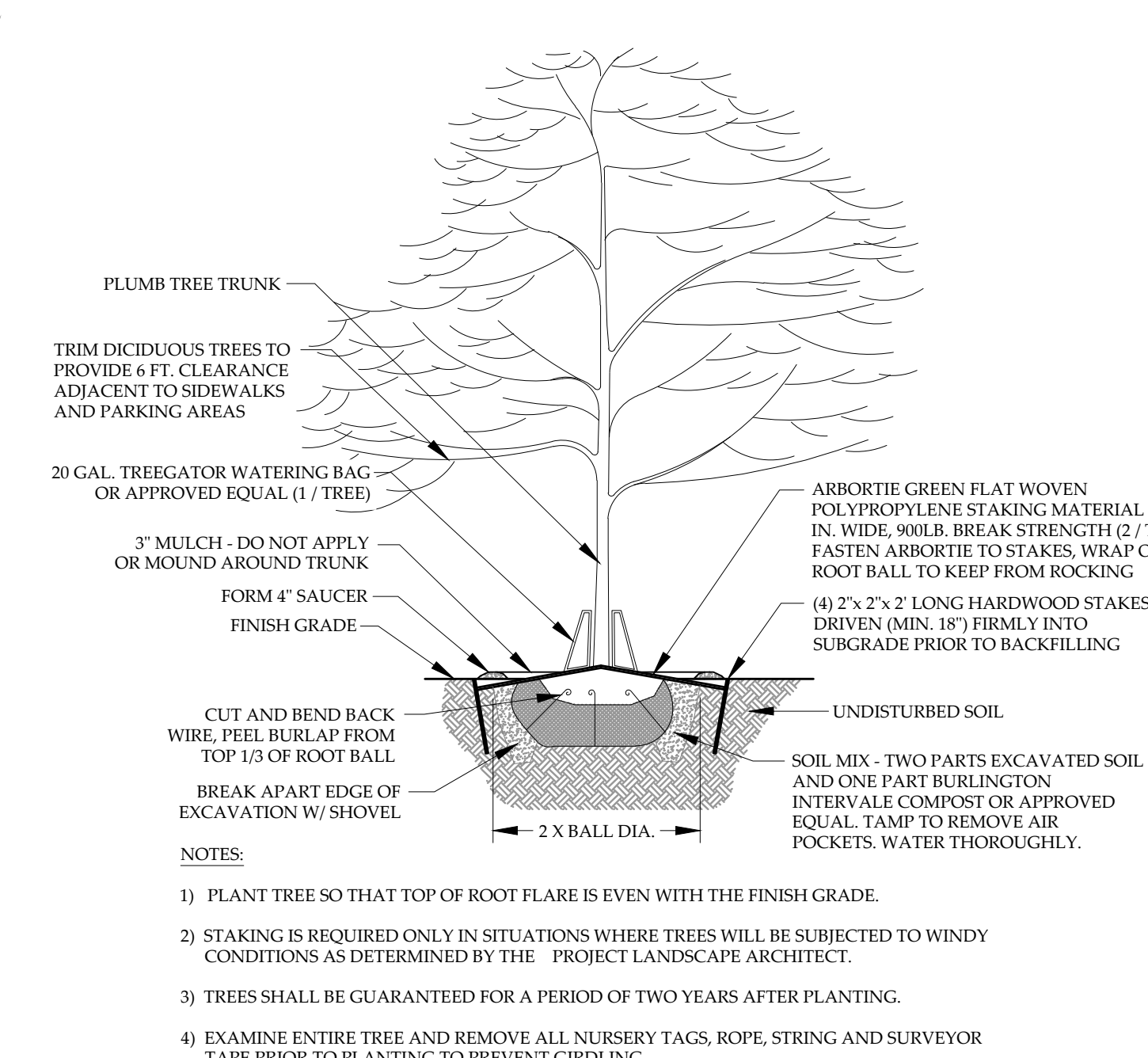
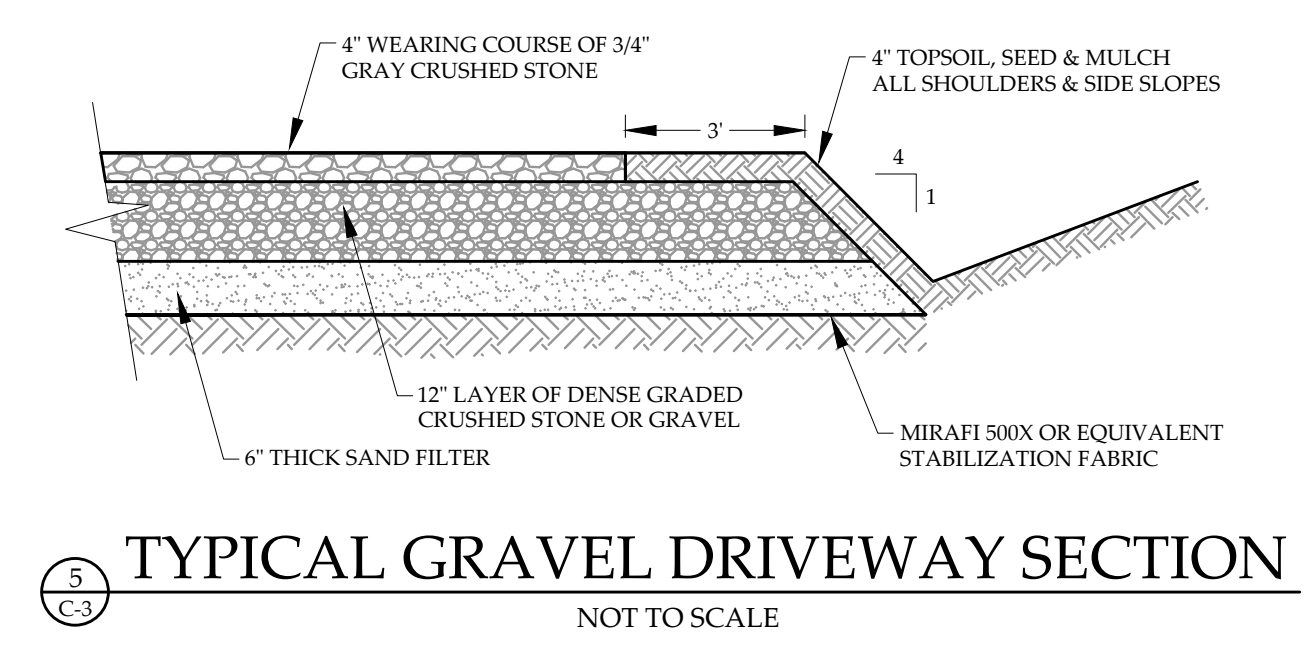
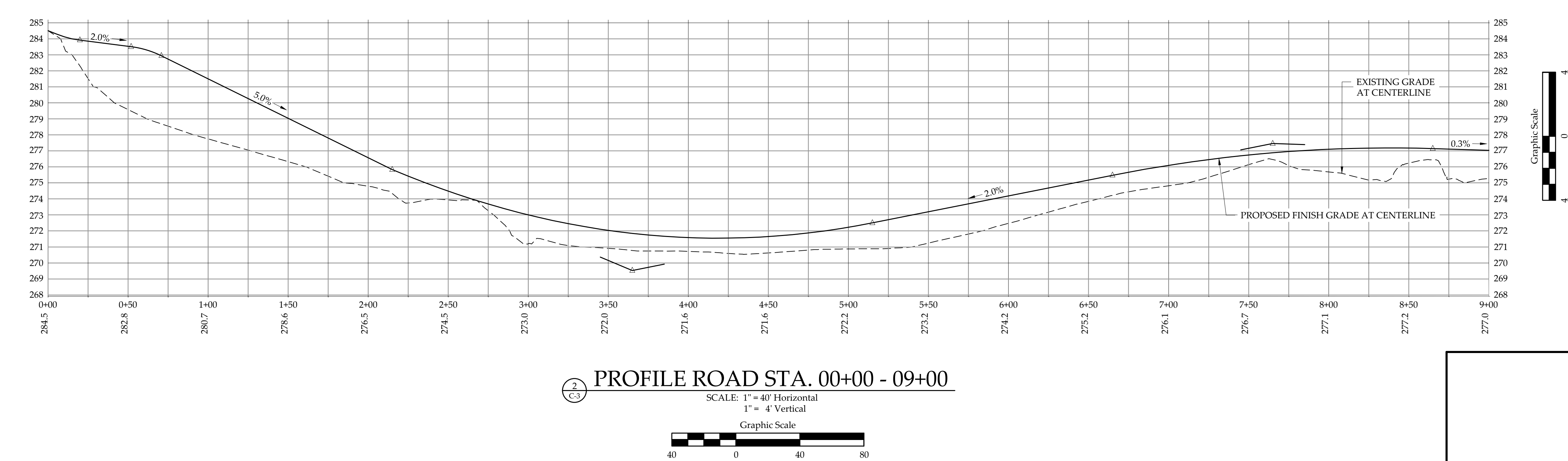
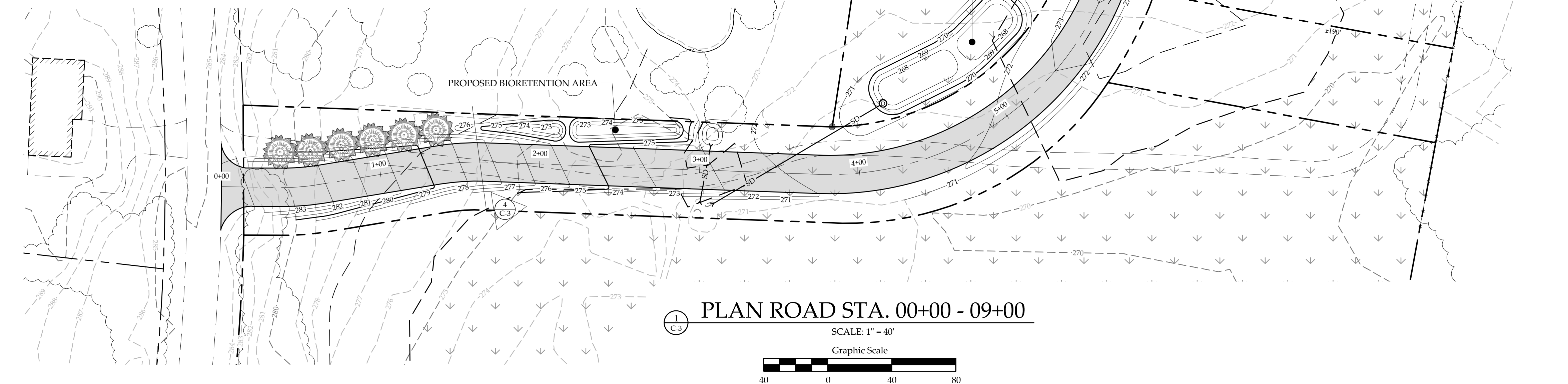
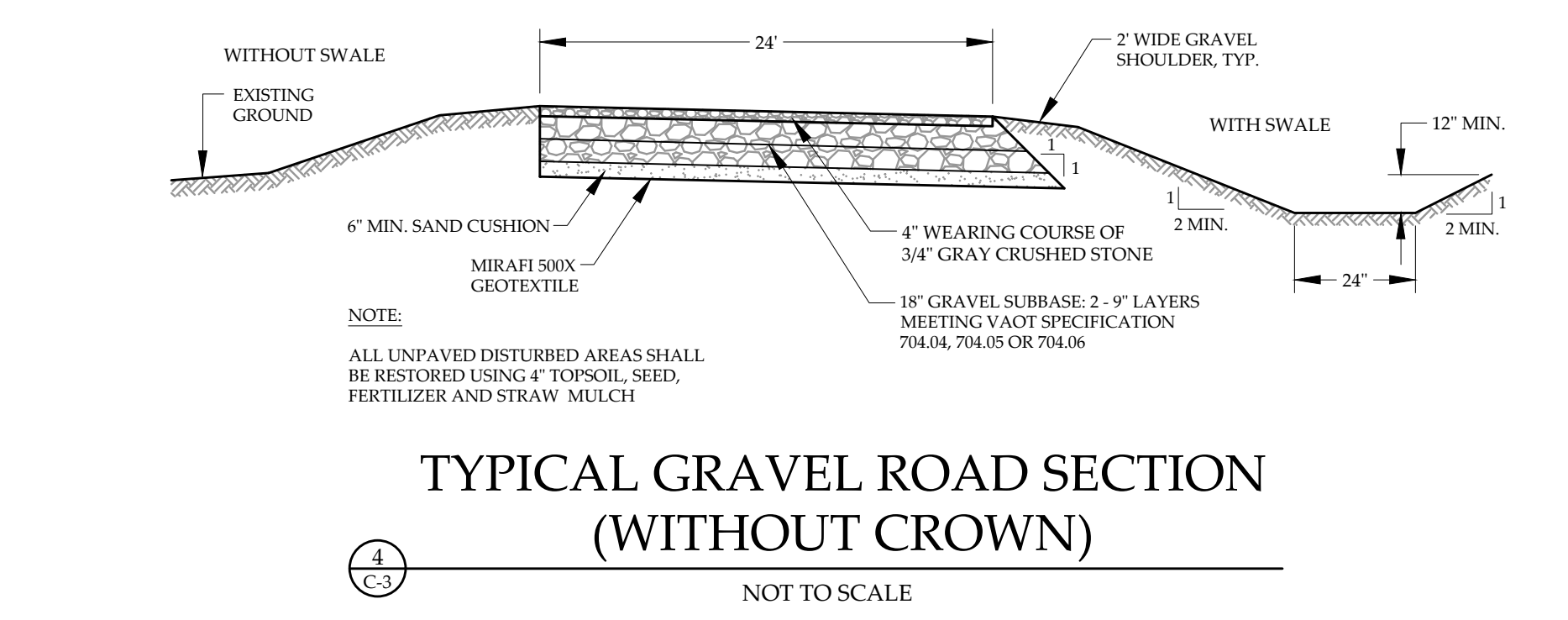
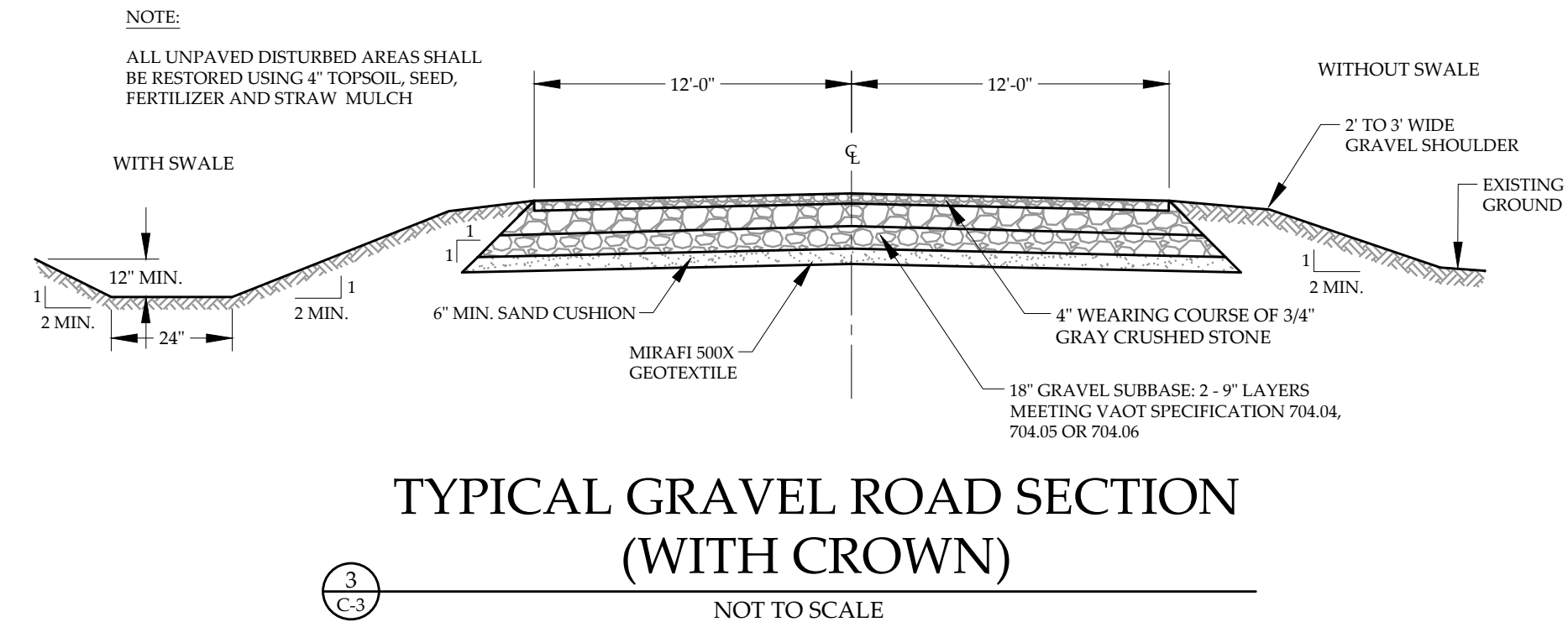
OWNER:

CLINE ROAD, LLC
7 OAK STREET
ST. ALBANS, VT. 05478

ZONING NOTES:

DISTRICT: RURAL/RESIDENTIAL (AR)
PROPOSED PUD LOT SIZE = 60 ACRES
MAX DENSITY = 2.0 AC/UNIT = 30 UNITS
OPEN SPACE = 20% OF PUD = 12 ACRES
MIN LOT SIZE = 0.5 ACRES
SETBACKS:
FRONT = 50'
SIDE/REAR = 20' (REQUEST WAIVER REDUCTION TO 15')

OVERALL DEVELOPMENT PLAN CLINE ROAD LLC CLINE ROAD GEORGIA, VERMONT		
 MUMLEY ENGINEERING, INC. 46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2018 - RUGGIANO ENGINEERING	PROJECT NO.23022 DRAWN BY.....WEH CHECKED BY.....TRM SCALE.....1" = 120' DATE.....01/22/26	SHEET NO. C-2 2 OF 12 SHEETS

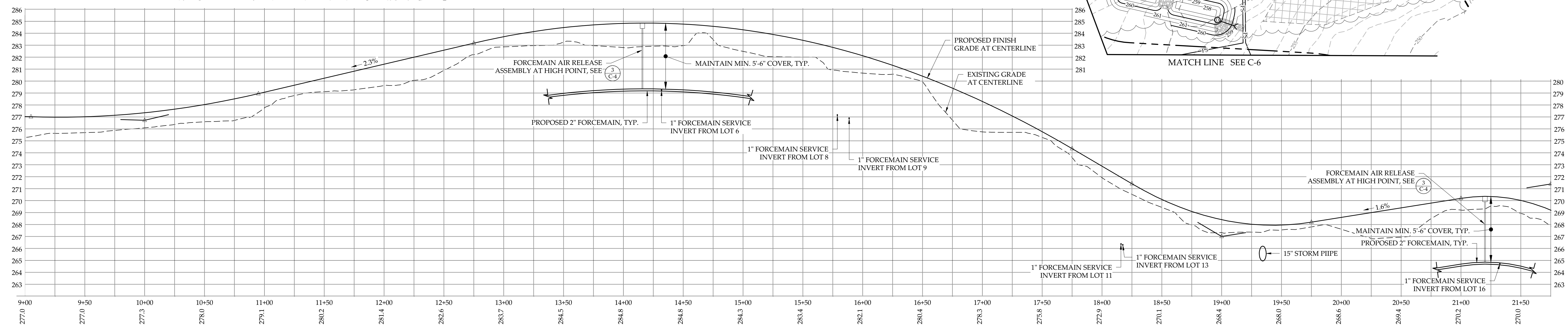
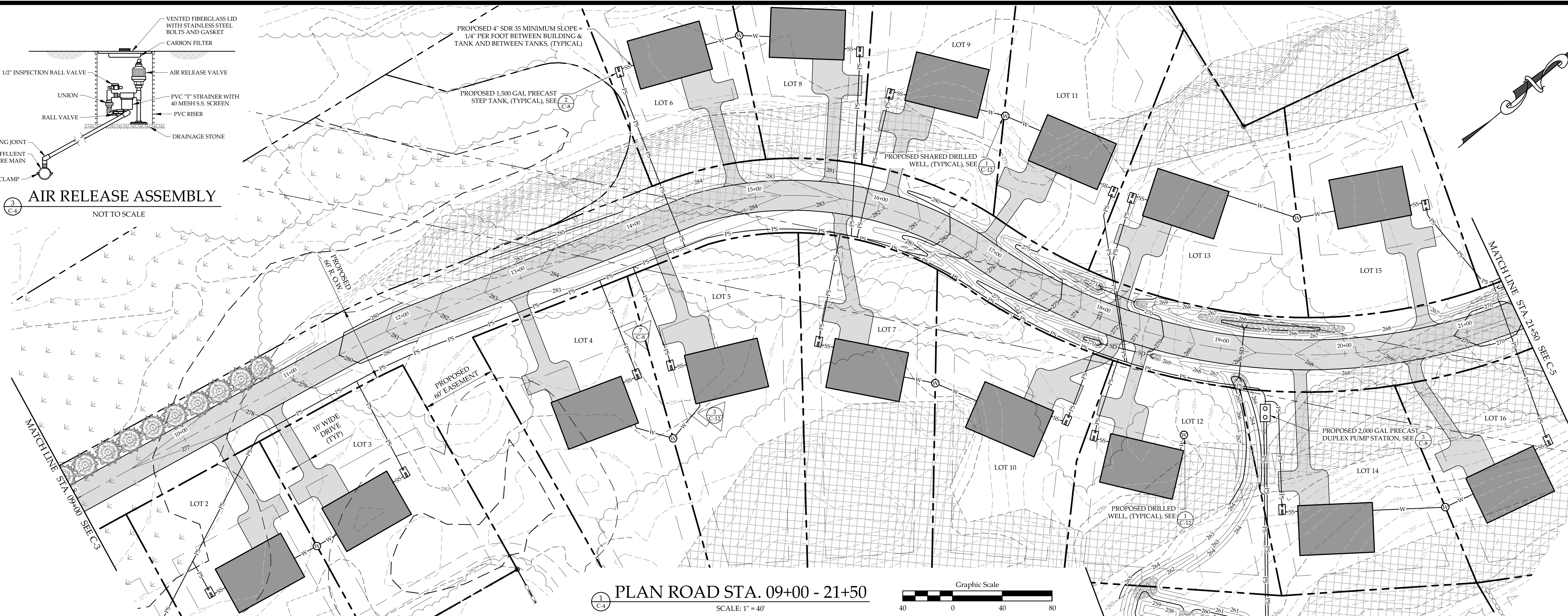
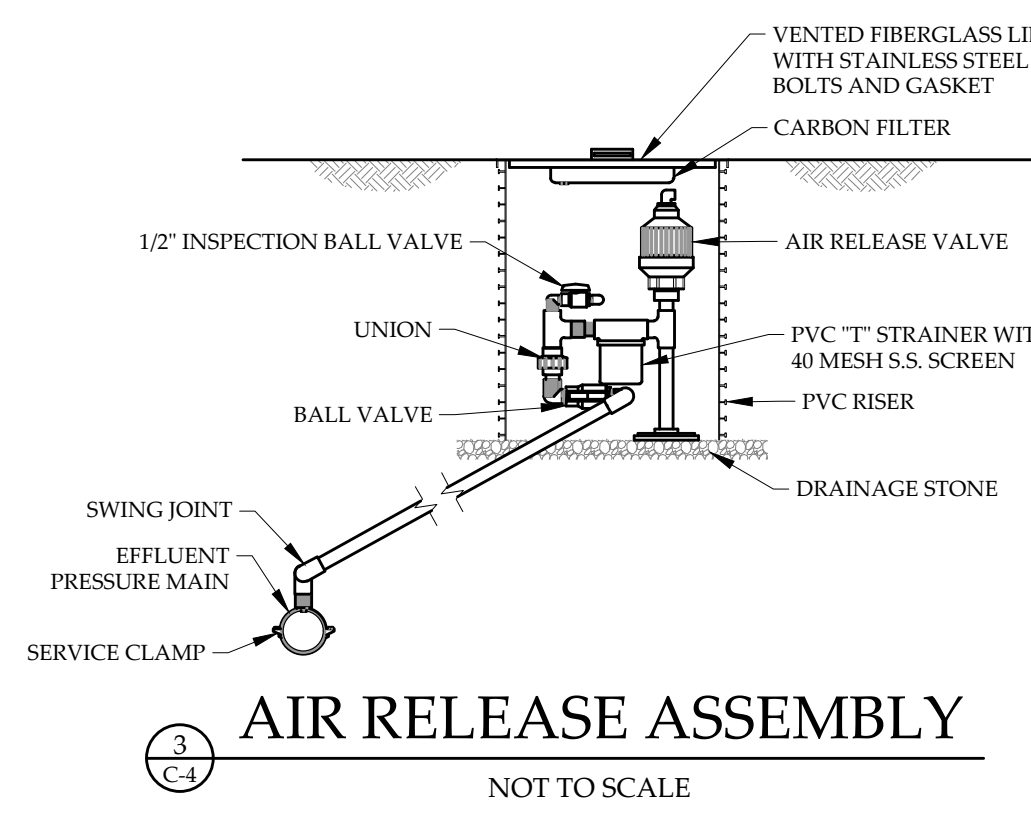


ROAD PLAN & PROFILE STA. 00+00 - 09+00
CLINE ROAD LLC
CLINE ROAD
GEORGIA, VERMONT

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DRAWN BYWEH
CHECKED BYTRM
SCALEAS NOTED
DATE01/07/26

SHEET NO.
C-3
3 OF 12 SHEETS

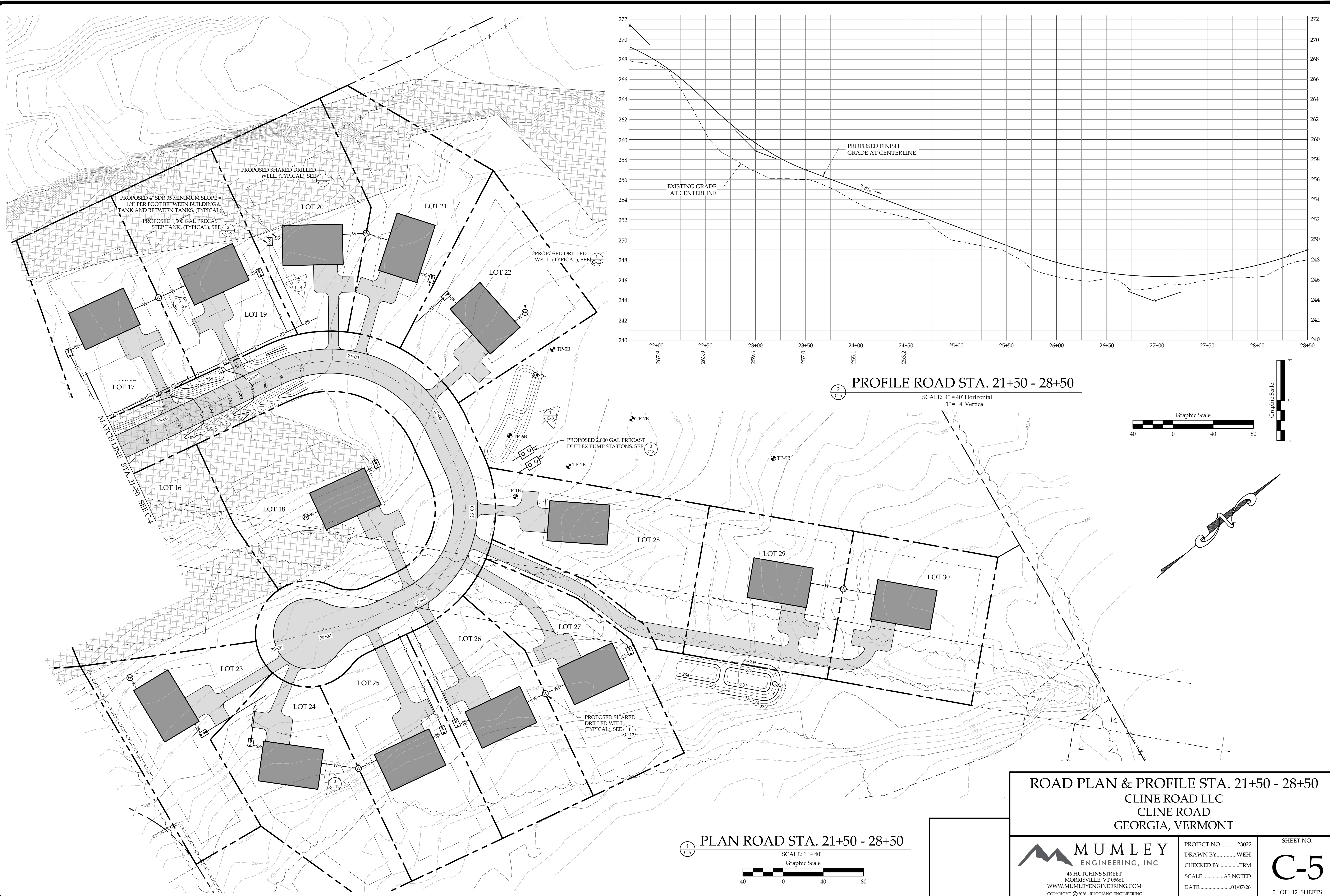


ROAD PLAN & PROFILE STA. 09+00 - 21+50
CLINE ROAD LLC
CLINE ROAD
GEORGIA, VERMONT

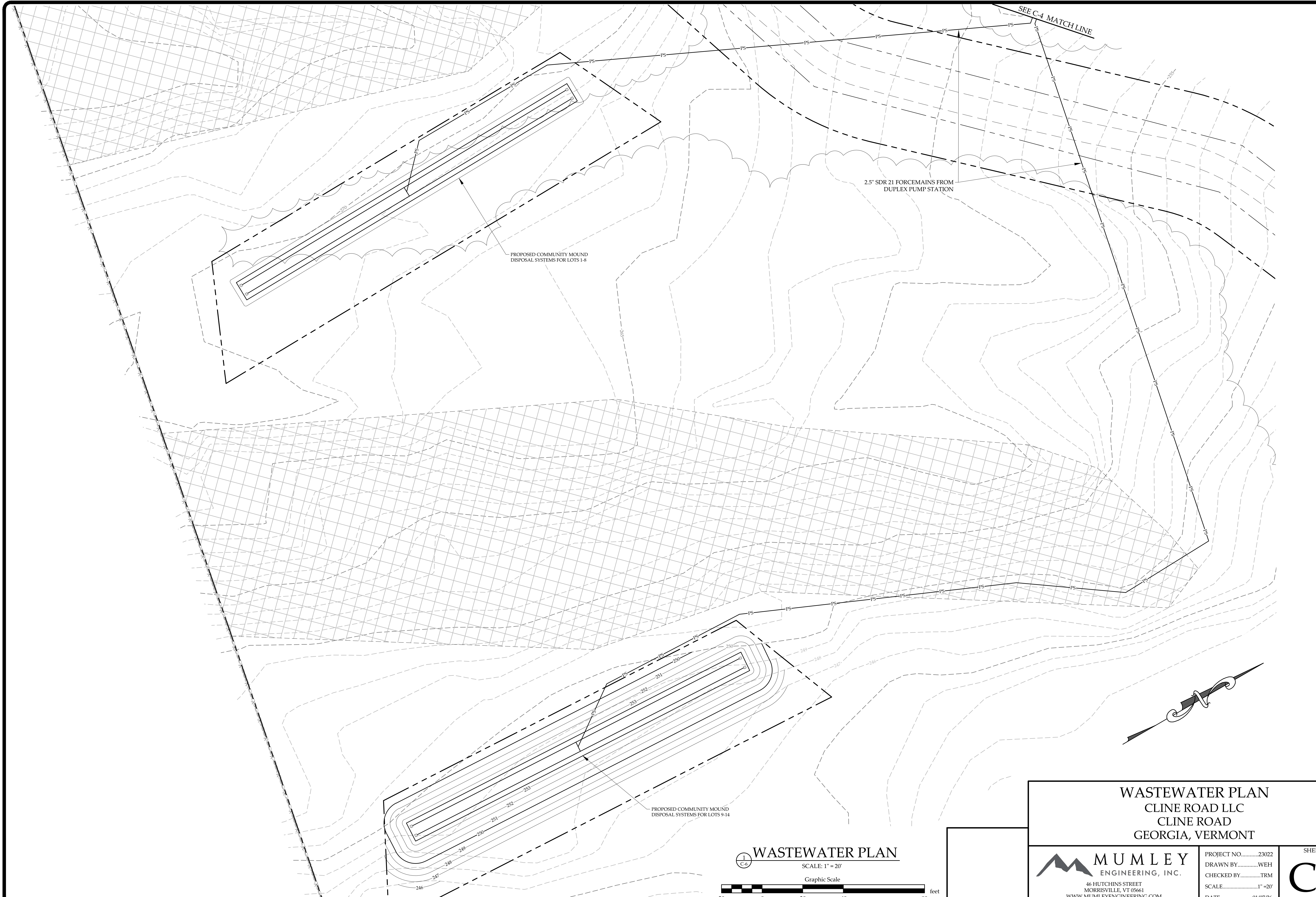
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DRAWN BYWEH
CHECKED BYTRM
SCALEAS NOTED
DATE03/09/26

SHEET NO.
C-4
4 OF 12 SHEETS



ROAD PLAN & PROFILE STA. 21+50 - 28+50 CLINE ROAD LLC CLINE ROAD GEORGIA, VERMONT		PROJECT NO.23022 DRAWN BYWEH CHECKED BYTRM SCALEAS NOTED DATE01/07/26	SHEET NO. C-5 5 OF 12 SHEETS
MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2016 - RUGGIANO ENGINEERING</small>			

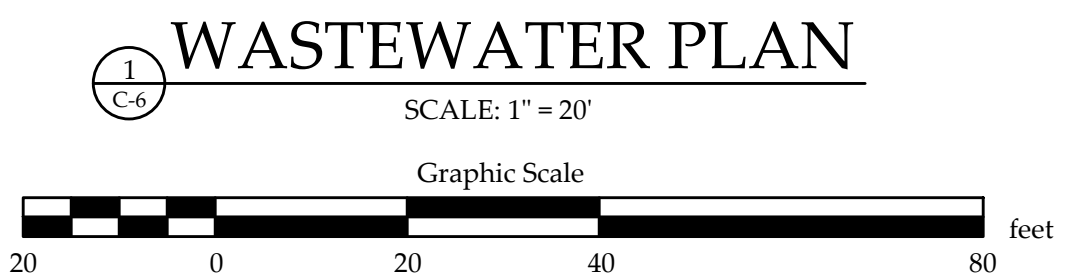
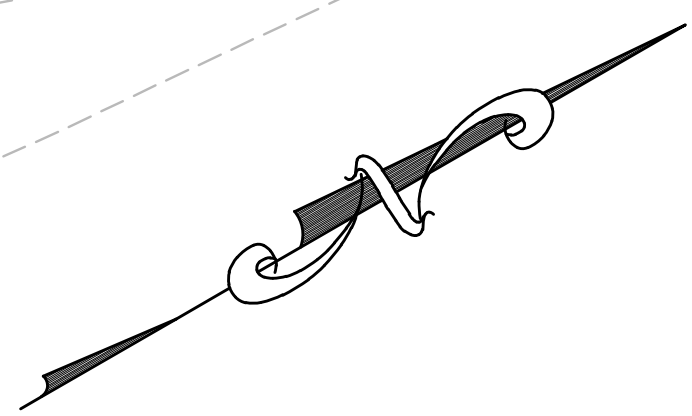


SEE C-4 MATCH LINE

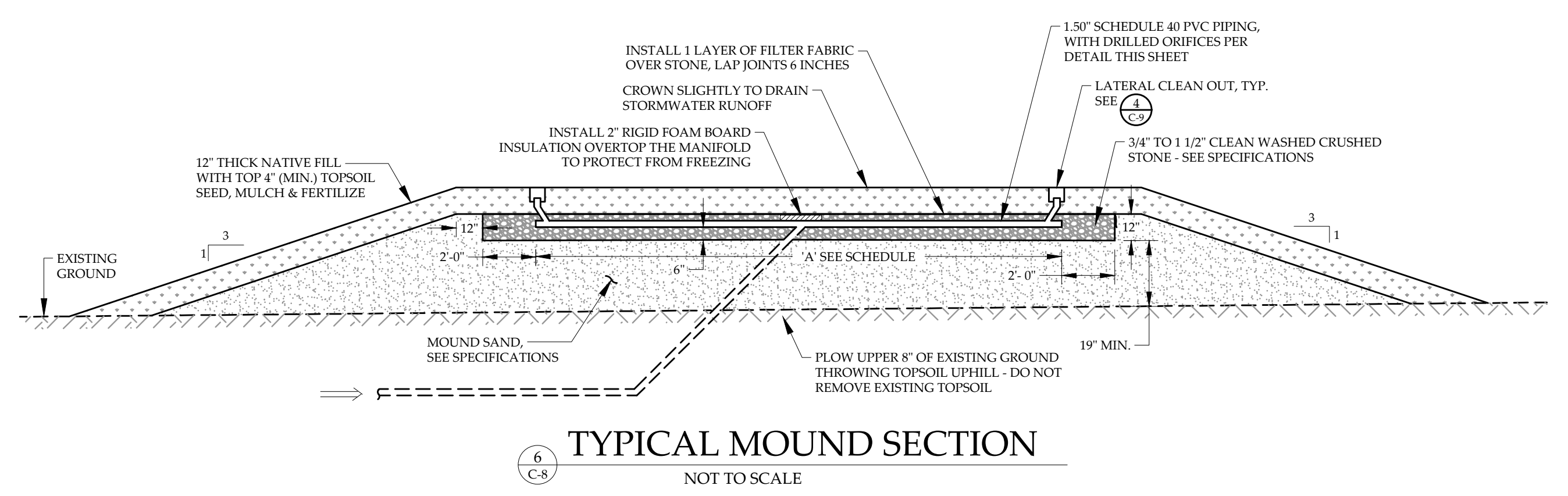
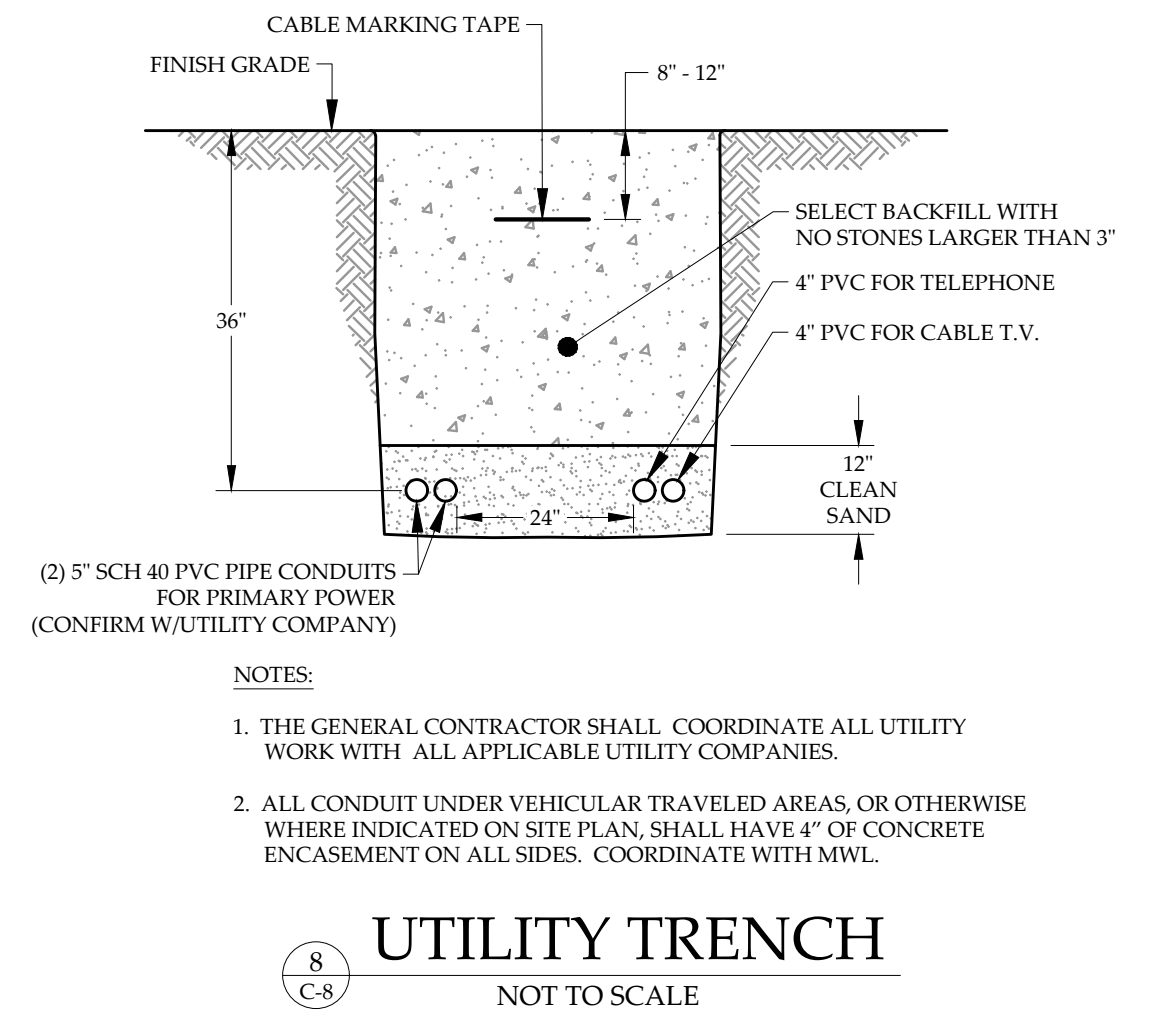
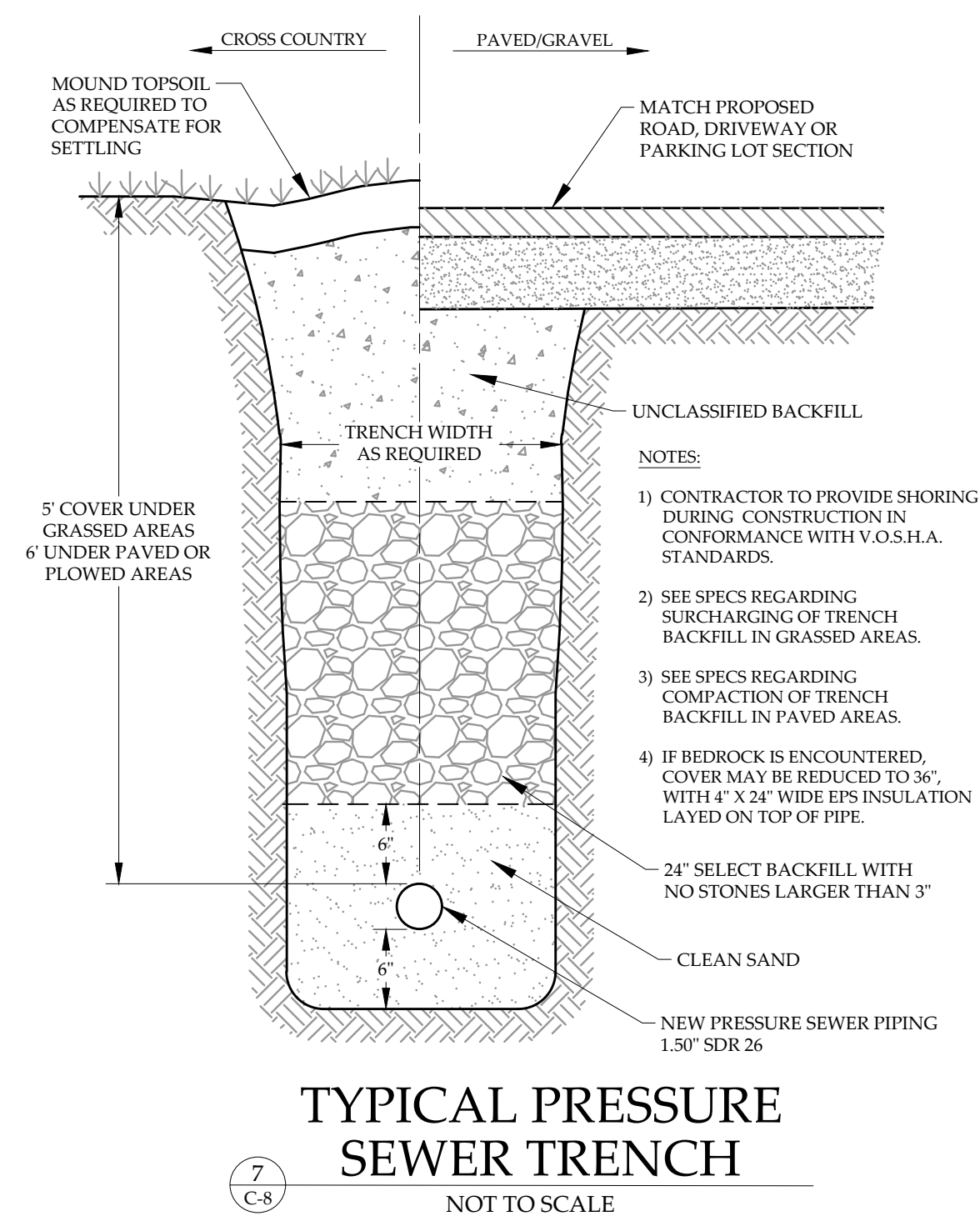
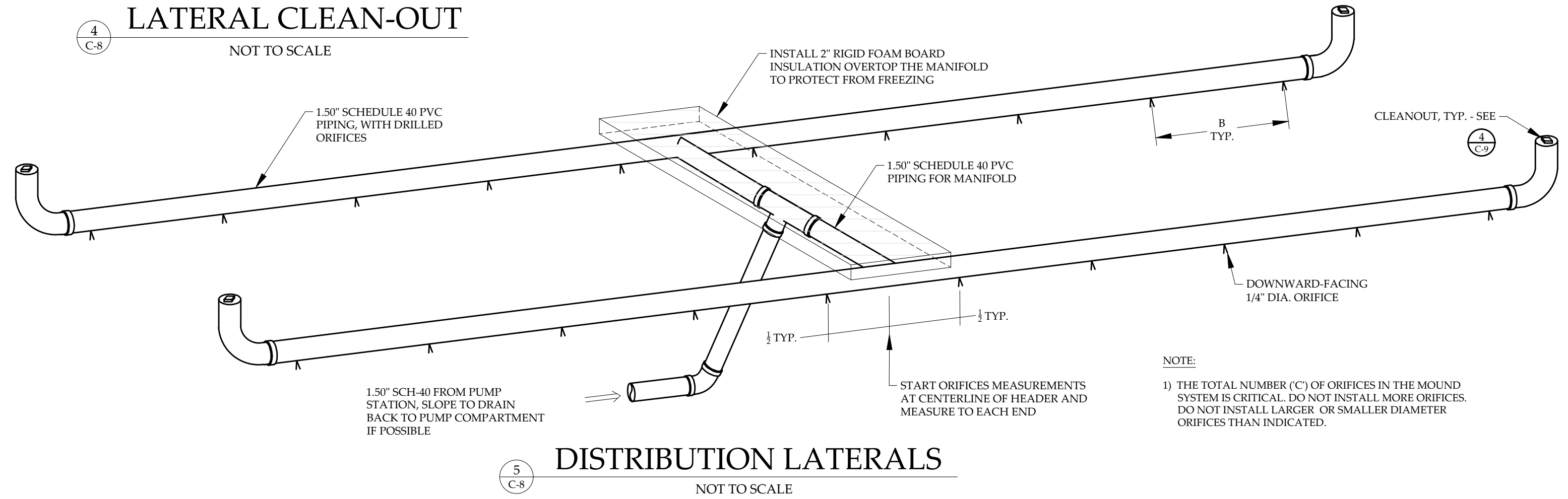
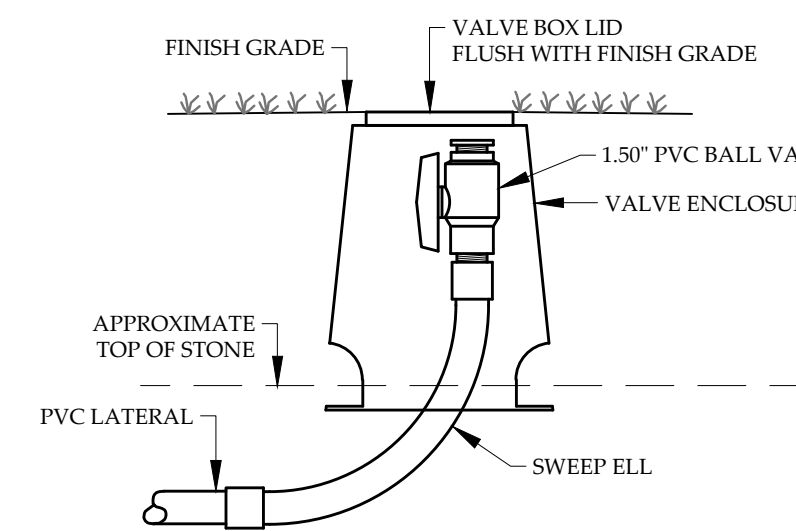
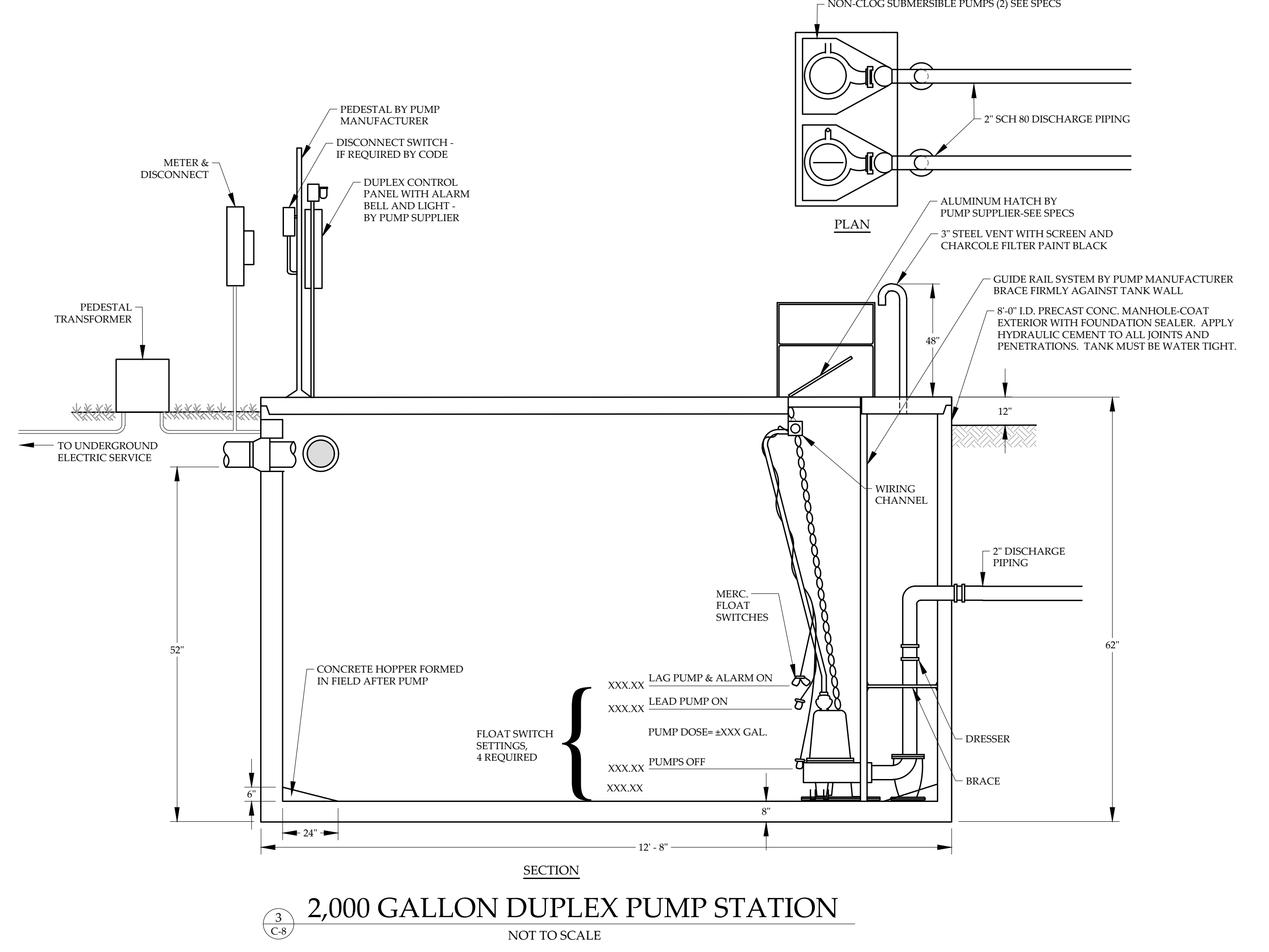
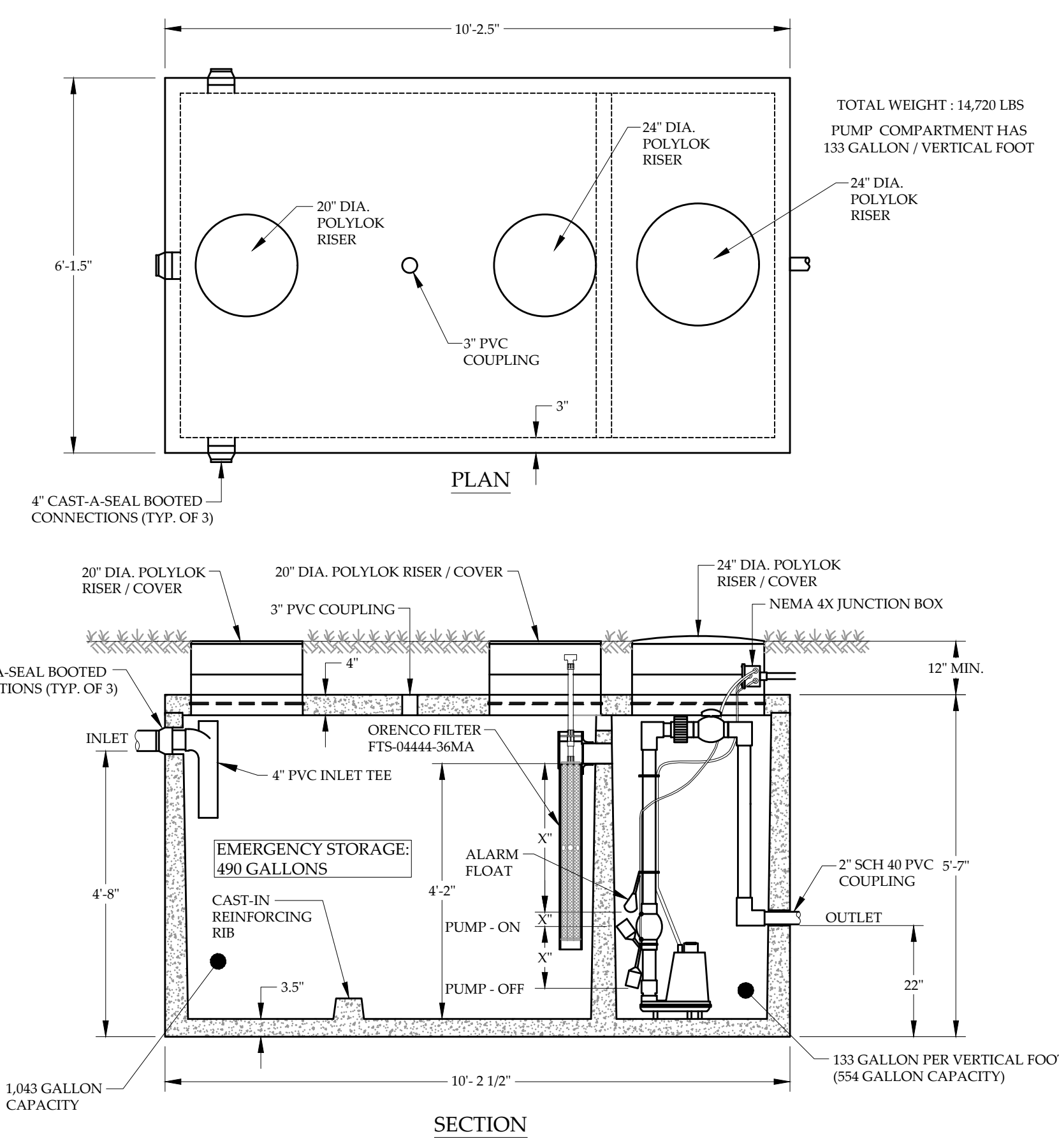
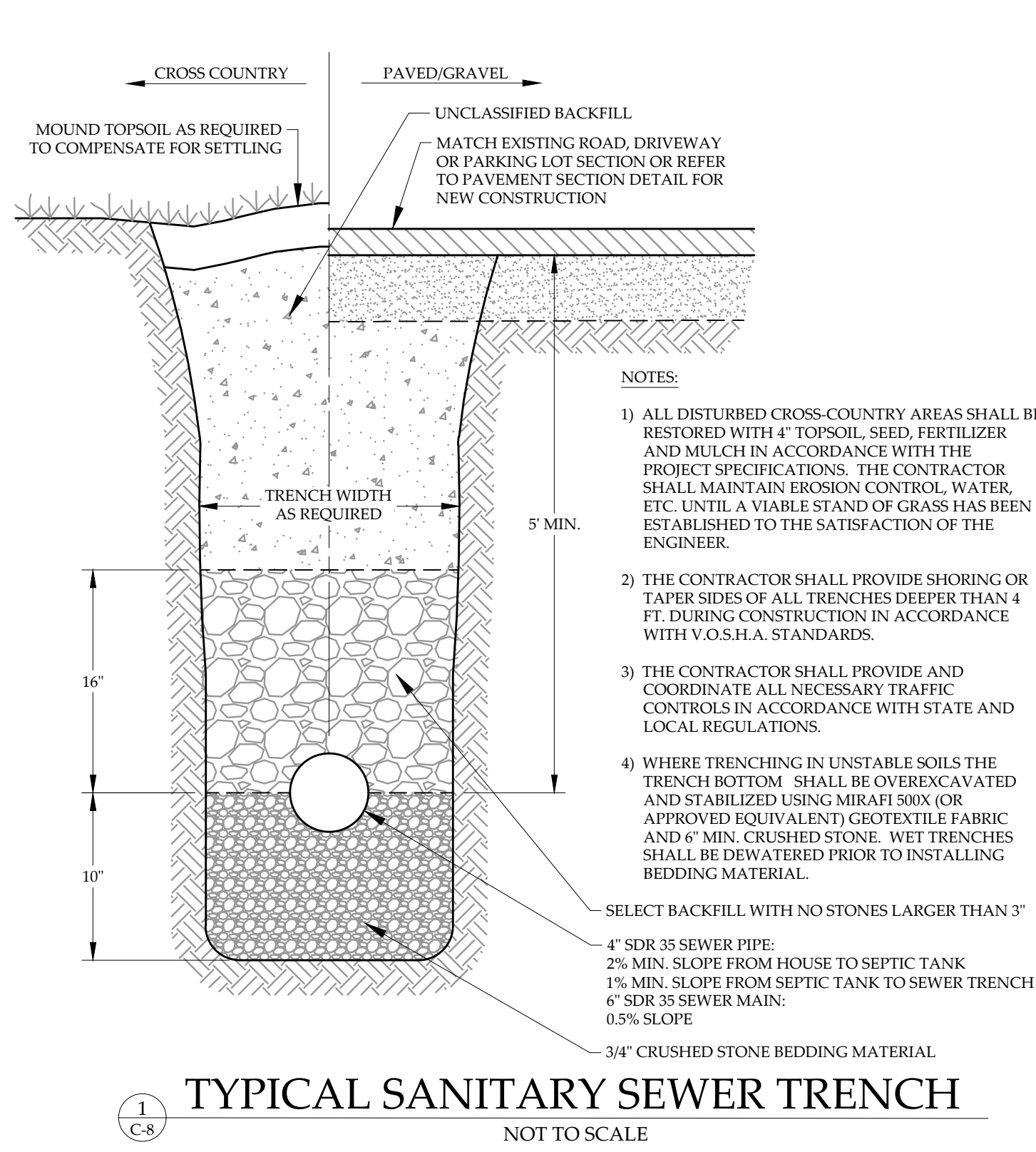
2.5" SDR 21 FORCEMAINS FROM DUPLEX PUMP STATION

PROPOSED COMMUNITY MOUND DISPOSAL SYSTEMS FOR LOTS 1-8

PROPOSED COMMUNITY MOUND DISPOSAL SYSTEMS FOR LOTS 9-14

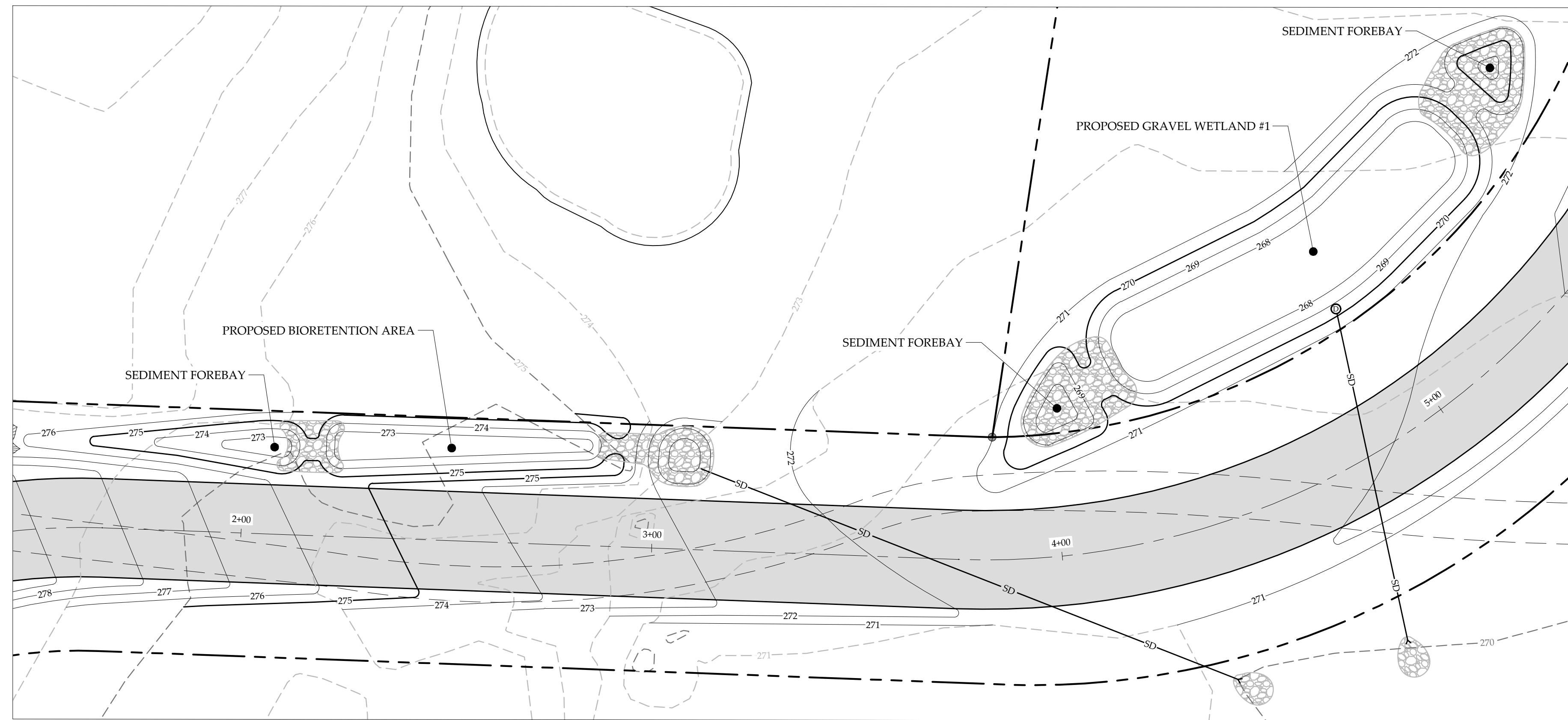


WASTEWATER PLAN CLINE ROAD LLC CLINE ROAD GEORGIA, VERMONT		
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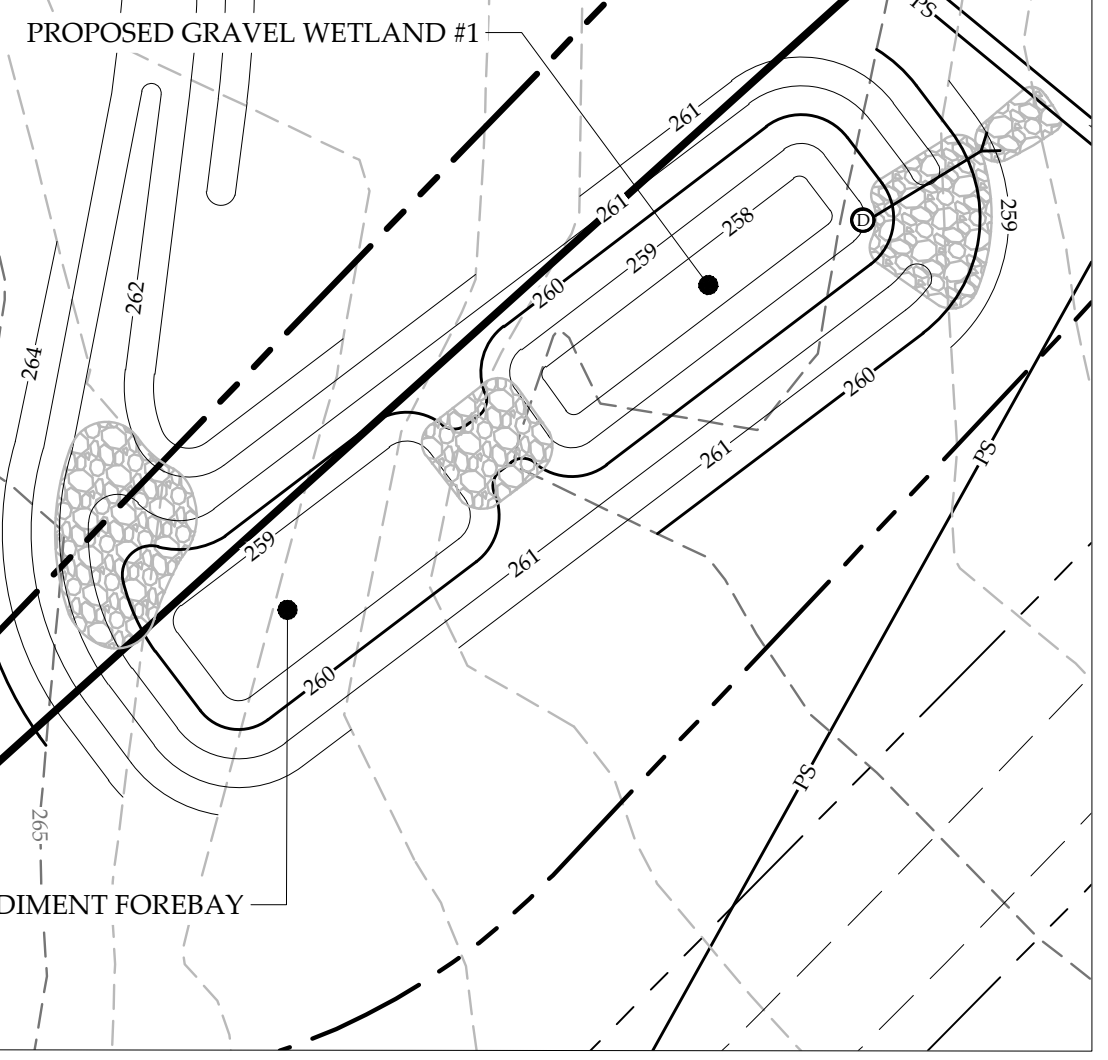


WASTEWATER DETAILS
CLINE ROAD LLC
CLINE ROAD
GEORGIA, VERMONT

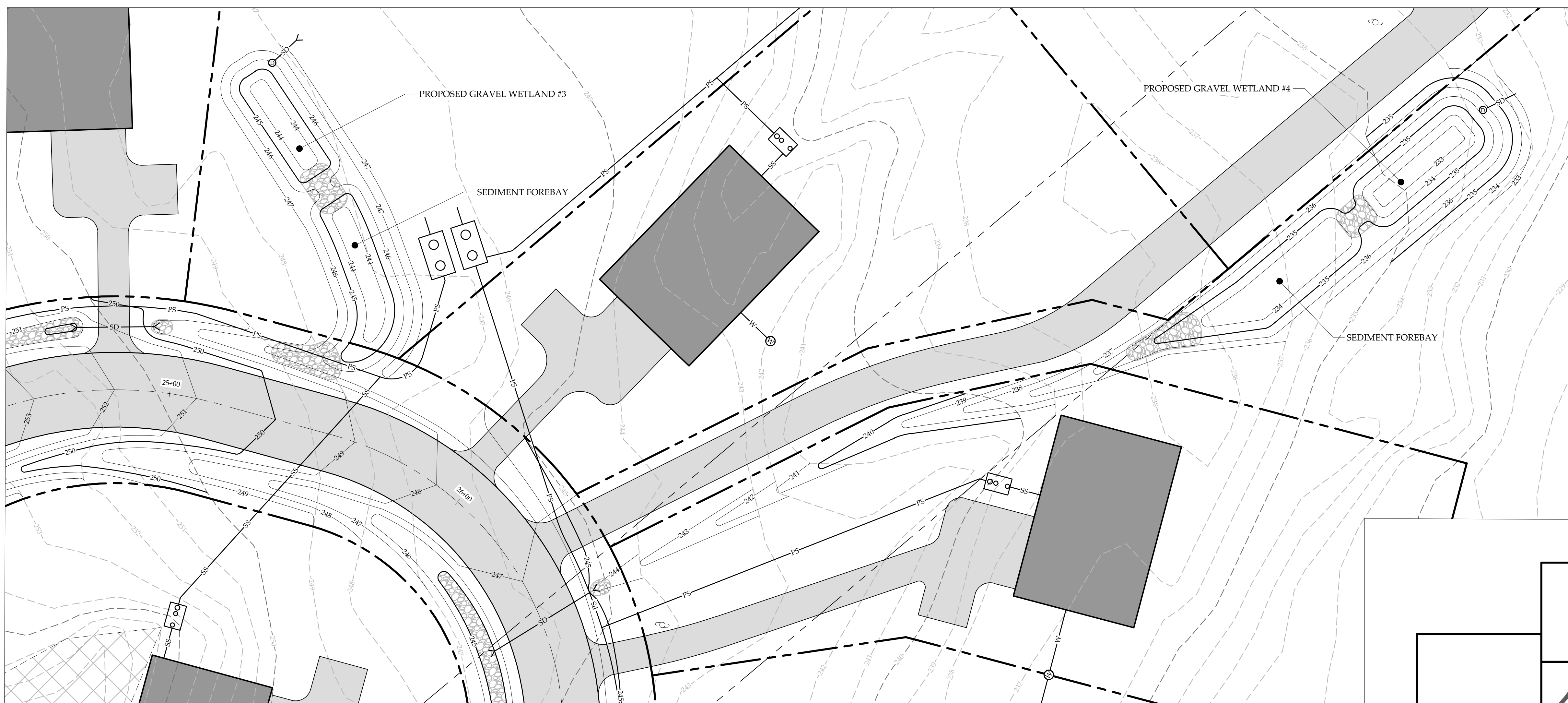
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	17	



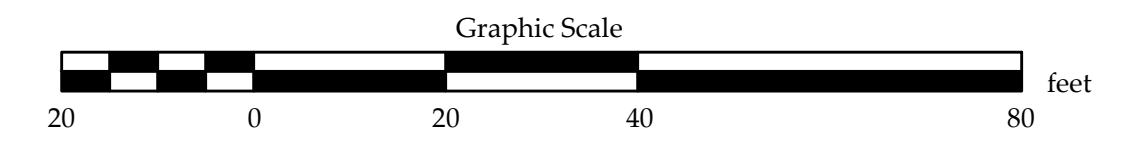
1
C-9
STORMWATER PLAN
SCALE: 1" = 20'



2
C-9
STORMWATER PLAN
SCALE: 1" = 20'



3
C-9
STORMWATER PLAN
SCALE: 1" = 20'



STORMWATER PLANS CLINE ROAD LLC CLINE ROAD GEORGIA, VERMONT		
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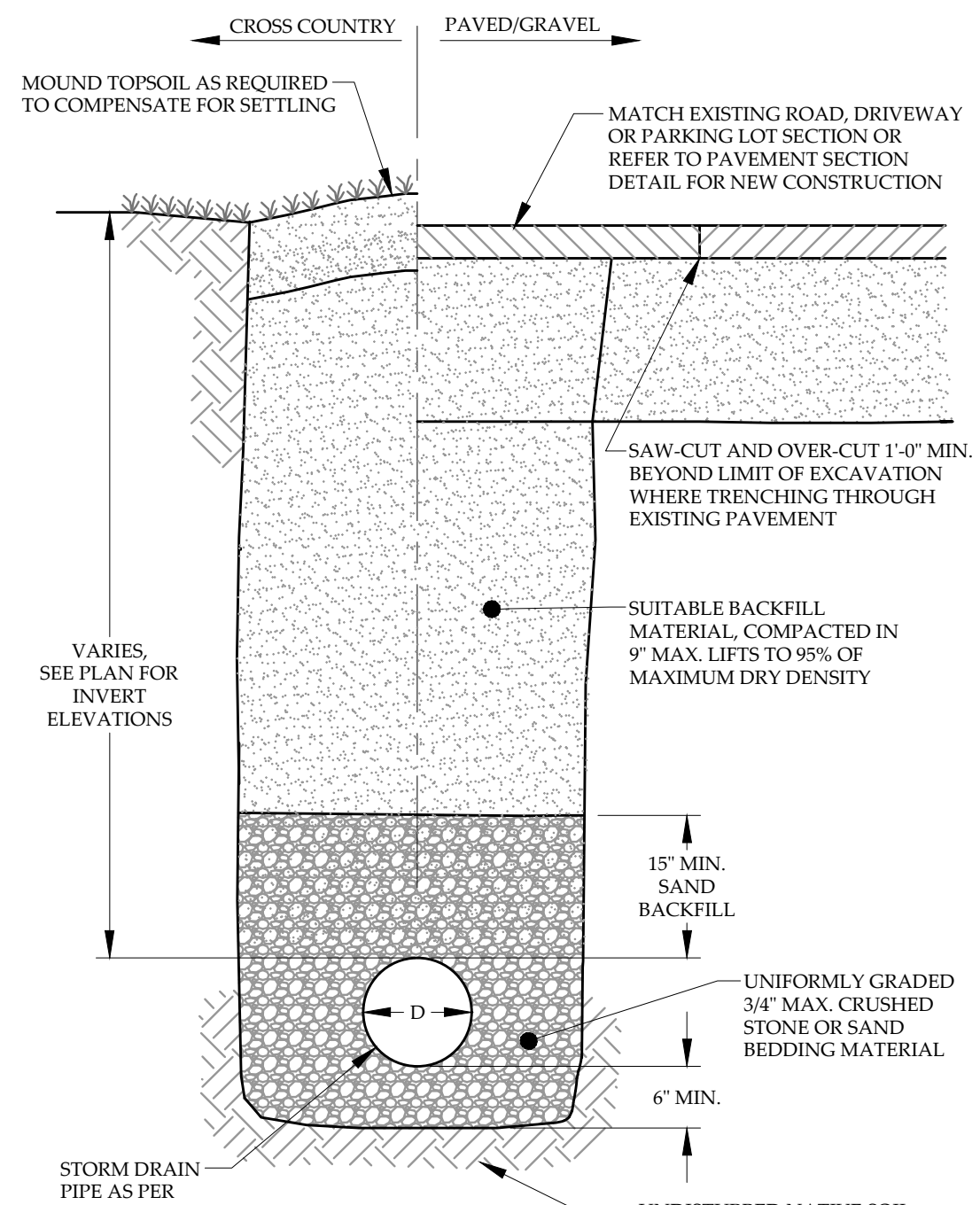
POST CONSTRUCTION SOIL RESTORATION NOTES:
 ALL NATIVE VEGETATION AND SOIL OUTSIDE OF PROJECT AREA TO BE LEFT UNDISTURBED AND PROTECTED FROM COMPACTION DURING CONSTRUCTION. POST CONSTRUCTION SOIL RESTORATION AREAS ARE MADE UP OF ALL DISTURBED AREAS ON SLOPES LESS THAN OR EQUAL TO 33% & ARE NOT COVERED WITH IMPERVIOUS SURFACES, AN INTEGRAL PORTION OF A STORMWATER TREATMENT PRACTICE, OR STRUCTURAL FILL. ONCE CONSTRUCTION IS DONE, CONTRACTOR TO IDENTIFY AREAS BEFORE START OF CONSTRUCTION AND INSTALL FENCING TO ENSURE PROTECTION. ANY AREAS THAT ARE DISTURBED AND/OR COMPACTED DURING THE COURSE OF CONSTRUCTION WILL HAVE TOPSOIL RESTORED BY MEANS OF ONE OF THE FOLLOWING METHODS:

- OPTION 1: AMEND EXISTING SITE TOPSOIL OR SUBSOIL IN PLACE.**
- SCARIFY OR TILL SUBSOILS TO 4 INCHES OF DEPTH OR TO DEPTH NEEDED TO ACHIEVE A TOTAL DEPTH OF 8 INCHES OF UNCOMPACTED SOIL AFTER CALCULATED AMOUNT OF AMENDMENT IS ADDED. EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
 - AMEND SOIL TO MEET ORGANIC CONTENT REQUIREMENTS:
 - PRE-APPROVED RATE: PLACE 1 INCH OF COMPOSTED MATERIAL WITH AN ORGANIC MATTER CONTENT BETWEEN 40 AND 65% AND ROTOTILL INTO 3 INCHES OF SOIL, OR
 - CALCULATED RATE: PLACE CALCULATED AMOUNT OF COMPOSTED MATERIAL OR APPROVED ORGANIC MATERIAL AND ROTOTILL INTO DEPTH OF SOIL NEEDED TO ACHIEVE 4 INCHES OF SETTLED SOIL AT 4% ORGANIC CONTENT;
 - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
 - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- OPTION 2: REMOVE AND STOCKPILE EXISTING TOPSOIL DURING GRADING.**
- STOCKPILE SOIL ON SITE IN A DESIGNATED CONTROLLED AREA, AT LEAST 50 FEET FROM SURFACE WATERS, WETLANDS, FLOODPLAINS, OR OTHER CRITICAL RESOURCE AREAS.
 - SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES. EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
 - STOCKPILED TOPSOIL SHALL ALSO BE AMENDED, IF NEEDED, TO MEET THE ORGANIC CONTENT REQUIREMENTS:
 - PRE-APPROVED RATE: COMPOST SHALL BE INCORPORATED WITH AN ORGANIC MATTER CONTENT BETWEEN 40 AND 65% INTO THE TOPSOIL AT A RATIO 1:3, OR
 - CALCULATED RATE: INCORPORATE COMPOSTED MATERIAL OR APPROVED ORGANIC MATERIAL AT A CALCULATED RATE TO ACHIEVE 4 INCHES OF SETTLED SOIL AT 4% ORGANIC CONTENT;
 - RAKE TO LEVEL, AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER.
- OPTION 3: IMPORT TOPSOIL MIX, OR OTHER MATERIALS FOR MIXING, INCLUDING COMPOST, OF SUFFICIENT ORGANIC CONTENT AND DEPTH.**
- SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES. EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
 - PLACE 4 INCHES OF IMPORTED TOPSOIL MIX ON SURFACE. THE IMPORTED TOPSOIL MIX SHALL CONTAIN 4% ORGANIC MATTER. SOILS USED IN THE MIX SHALL BE SAND OR SANDY LOAM AS DEFINED BY THE USDA;
 - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
 - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- NOTE:** CONTRACTOR TO VERIFY SOIL RESTORATION AFTER CONSTRUCTION BY MEANS OF SOIL SAMPLING. SOIL SAMPLING PROCEDURES INCLUDE NINE 8-INCH DEEP TEST HOLES PER ACRE AND SHALL BE AT LEAST 30 FEET APART FROM EACH OTHER. SAMPLE HOLES TO BE DUG BY SHOVEL DRIVEN BY CONTRACTOR'S WEIGHT ALONE.

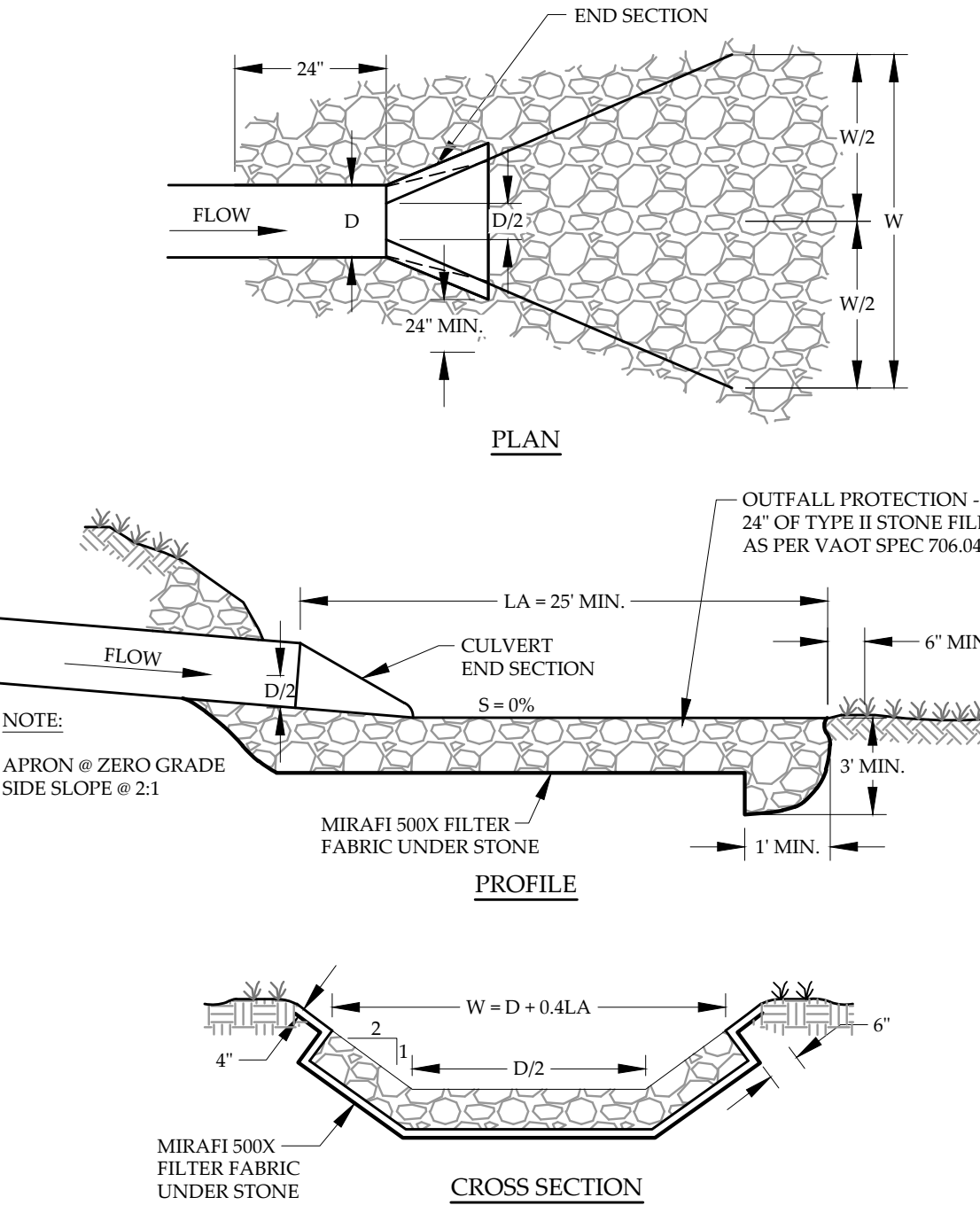
- STORMWATER MAINTENANCE NOTES:**
- STORMWATER MAINTENANCE NOTES:**
- KEEP FOREBAY & SIDESLOPES FREE OF WOODY VEGETATION.
 - CLEAR FOREBAY BASIN BOTTOM OF ACCUMULATED SEDIMENT AS NEEDED.
 - MONITOR AND MAINTAIN LEVEL SPREADER AND DOWNSLOPE AREA FOR EVEN SHEET FLOW.
 - MONITOR FOR EROSION AND REPAIR PROMPTLY.
 - MAINTAIN VIGOROUS, DENSE VEGETATIVE GROWTH ABOVE NORMAL WATER LEVEL AT ALL TIMES. MOW OR BRUSH HOG MINIMUM TWICE DURING GROWING SEASON TO CONTROL GROWTH.
- SWALES**
- MAINTAIN VIGOROUS, DENSE VEGETATIVE GROWTH AT ALL TIMES IN RIP RAPPED AREAS, MONITOR FOR SEDIMENT ACCUMULATION AND REMOVE/REPLACE IF VOID SPACES ARE CLOGGED.
- MONITOR CHECK DAMS FOR PROPER HEIGHT. REMOVE ACCUMULATED SEDIMENT AS NEEDED.
 - MONITOR FOR EROSION AND REPAIR PROMPTLY.

- EPSC NOTES:**
- PRE-CONSTRUCTION**
- IN ACCORDANCE WITH MODERATE RISK CONSTRUCTION STORMWATER PERMIT, NOTIFICATION OF ONSITE PLAN COORDINATOR MUST BE FILED WITH STATE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED PRIOR TO INITIATING PRIMARY EARTHWORK ACTIVITIES.
 - STABILIZATION OF OPERATIONAL STORMWATER TREATMENT PRACTICES MUST BE COMPLETED PRIOR TO DIRECTING ANY RUNOFF TO THEM.
- CONSTRUCTION**
- CONSTRUCTION SCHEDULE AND PHASING SHALL BE COORDINATED TO MINIMIZE CONCURRENT EARTH DISTURBANCE. **NOTE: MAX CONCURRENT EARTH DISTURBANCE AT ANY ONE TIME SHALL BE 2.0 ACRES.**
 - ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 7 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY. THE FOLLOWING EXCEPTIONS APPLY:
 - STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
 - STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. FOUNDATION EXCAVATION, UTILITY TRENCHES).
 - WINTER CONSTRUCTION IS NOT ANTICIPATED FOR THIS PROJECT. IF ANY CONSTRUCTION IS PROPOSED OUTSIDE OF THE GROWING SEASON (OCT 15 - APR 15) APPROPRIATE WINTER CONSTRUCTION EPSC MEASURES MUST BE IMPLEMENTED PER THE GENERAL PERMIT 3-9020.
 - INSPECTIONS OF CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY THE ONSITE PLAN COORDINATOR EVERY 7 DAYS (MINIMUM) OR AS DICTATED BY STATE PERMIT.
 - ALL STOCKPILE AND STAGING AREAS TO BE DETERMINED BY CONTRACTOR AND SUBJECT TO STATE CONSTRUCTION STORMWATER REGULATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR DESIGN, APPROVAL AND IMPLEMENTATION OF ALL EPSC MEASURES INCLUDING SEDIMENT/RUNOFF CONTROLS, STABILIZATION AND RESTORATION.
 - FIBER ROLLS MAY BE IMPLEMENTED ON AN AS-NEEDED BASIS FOR SLOWING RUNOFF ON STEEPER SLOPES - CONTRACTOR TO USE MANUFACTURED PRODUCT AND INSTALL ACCORDING TO MANUFACTURER RECOMMENDATIONS. ROLLS TO BE INSTALLED PARALLEL TO CONTOURS, KEYED INTO SLOPES AND SECURED WITH STAKES TO PREVENT BLOWOUTS OR CONCENTRATIONS.
- STABILIZATION**
- ALL DISTURBED AREAS TO BE VEGETATED AND STABILIZED WITH ROLLED EROSION CONTROL MATTING UNLESS OTHERWISE NOTED ON THE PLANS. SEE DETAIL 10/C-4.
 - TOPSOIL AMENDMENTS SHALL BE MADE AS NECESSARY TO PROVIDE NUTRIENT AND pH LEVELS REQUIRED FOR SEED MIX. FOR VEGETATION ESTABLISHMENT PRIOR TO SEPT 15, USE THE FOLLOWING SEED MIX:

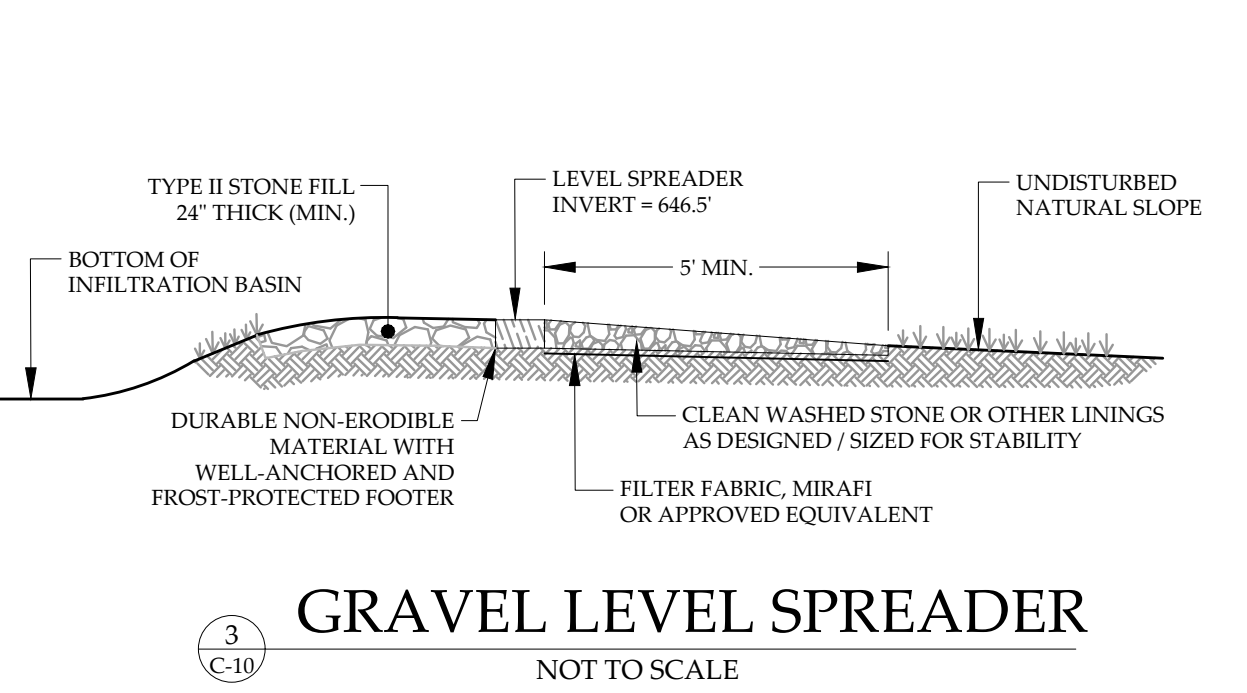
	PROPORTION	PURITY	GERMINATION
CREeping RED FESCUE	60%	85%	97%
MERION, KY. BLUEGRASS	25%	85%	95%
RED TOP	15%	85%	90%



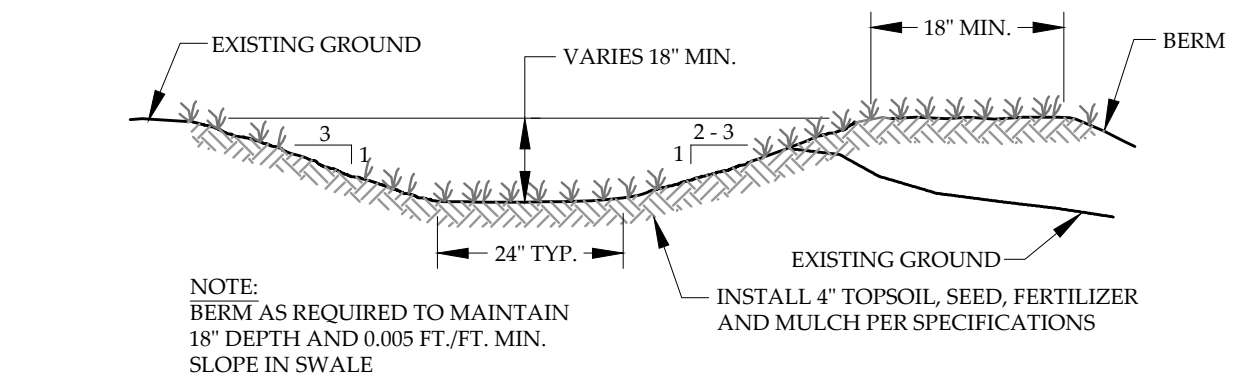
1
 C-10
TYPICAL STORM DRAIN TRENCH
 NOT TO SCALE



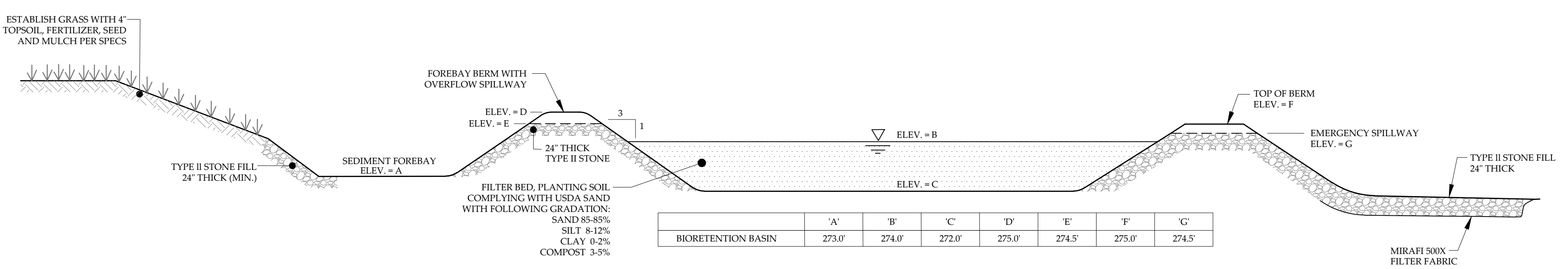
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 C-10
CULVERT OUTLET DETAIL
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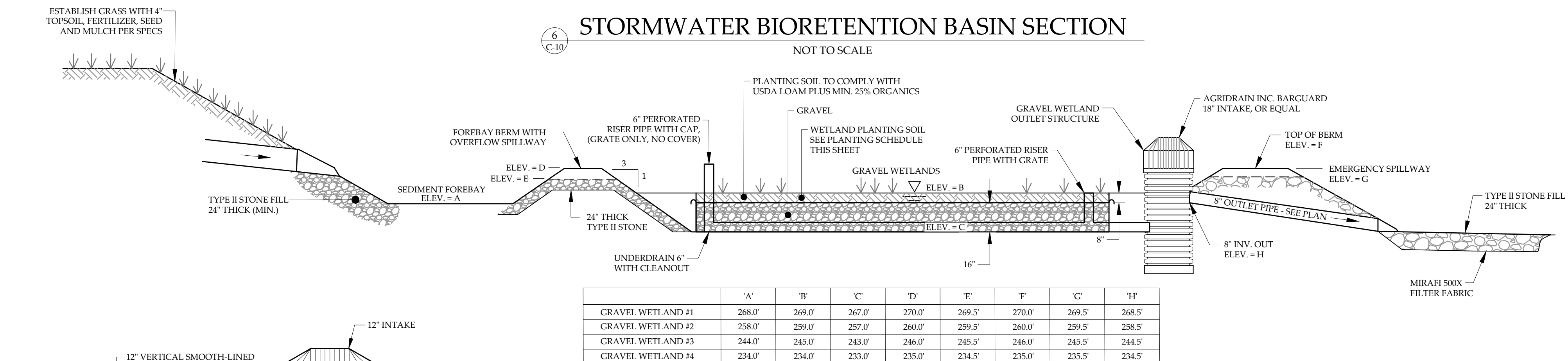
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 C-10
GRAVEL LEVEL SPREADER
 NOT TO SCALE



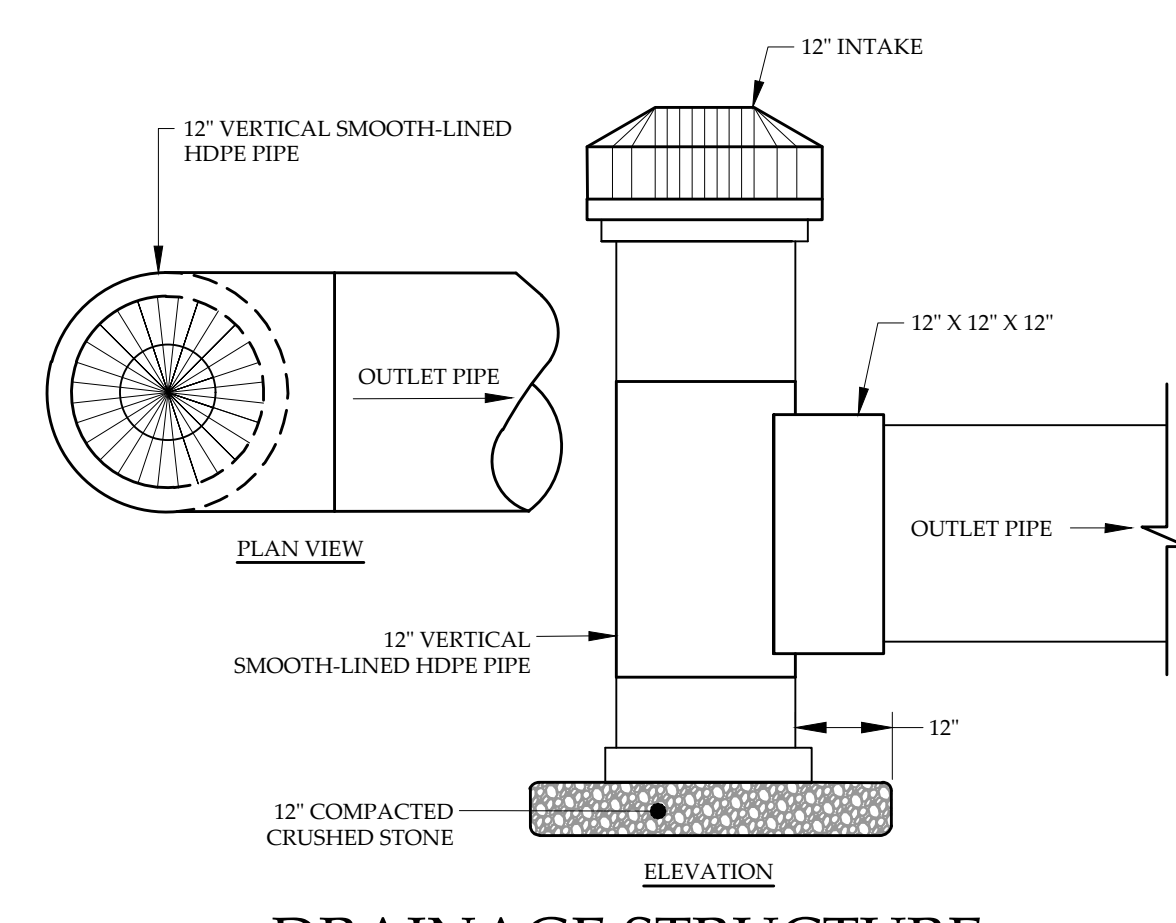
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 C-10
TYPICAL GRASS SWALE
 NOT TO SCALE



6
 C-10
STORMWATER BIORETENTION BASIN SECTION
 NOT TO SCALE



8
 C-10
STORMWATER GRAVEL WETLAND SECTION
 NOT TO SCALE



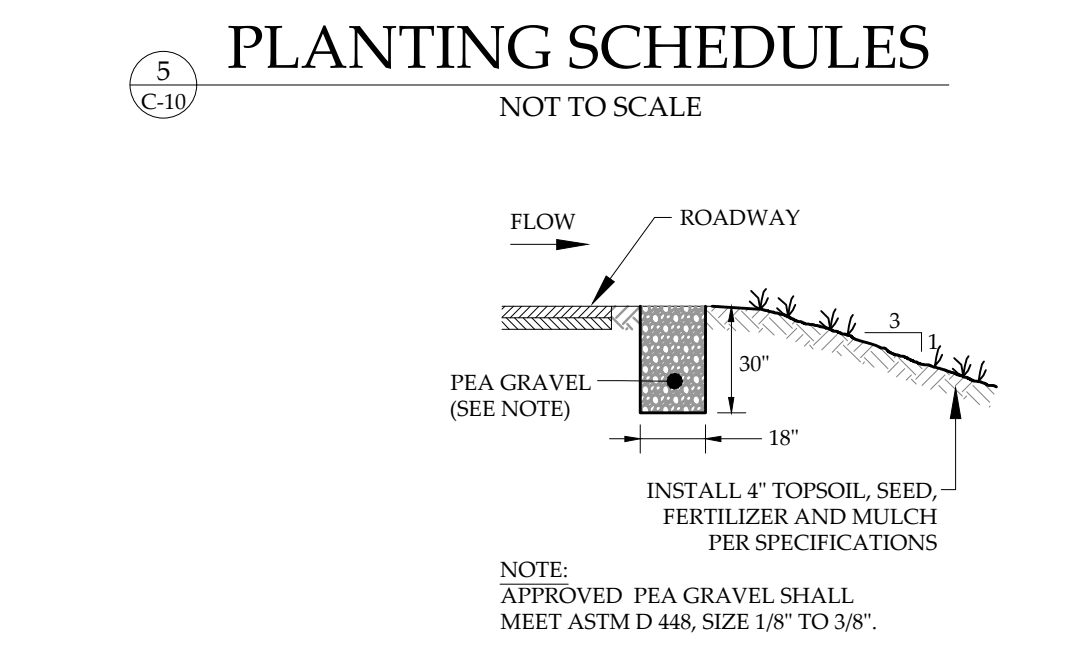
9
 C-10
DRAINAGE STRUCTURE
 NOT TO SCALE

Proposed Plant List

Trees	Key	Quantity	Symbol	Scientific Name	Common Name	Size
	As	23		Acer Saccharum	Sugar Maple	2.5' - 3' cal.
	Bp	7		Betula Papyrifera	Paper Birch	2' - 2.5' cal.
	Qa	4		Quercus Alba	White Oak	2.5' cal.
	Pg	13		Picea glauca	White Spruce	5' - 6' tall
	To	7		Thuja occidentalis	Emerald Arborvitae	5' - 6' @ 2' - 3' O/C

Bioretention Planting Schedule (Typical Each Location)

Abr	Quantity	Botanical Name	Common Name	Spacing	Initial Size
AA	26	Acorus americanus	Sweet Flag	22"	1 Gallon
AC	24	Anemone canadensis	Windflower	22-30"	1 Gallon
ACA	26	Aquilegia canadensis	Columbine	15-22"	1 Gallon
AF	32	Athyrium filix-femina	Lady Fern	22"	1 Gallon
CT	22	Cautophyllum thalictroides	Blue Cohosh	22"	1 Gallon
CA	24	Cornus sericea 'Arctic Fire'	Red Osier Dogwood	4-5'	2-3 Gallon
LC	20	Lobelia cardinalis	Cardinal Flower	22"	1 Gallon



7
 C-10
PEA GRAVEL FILTER DIAPHRAGM
 NOT TO SCALE

STORMWATER DETAILS
 CLINE ROAD LLC
 CLINE ROAD
 GEORGIA, VERMONT

MUMLEY
 ENGINEERING, INC.
 46 HUTCHINS STREET
 MORRISVILLE, VT 05661
 WWW.MUMLEYENGINEERING.COM
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PROJECT NO.23022
 DRAWN BYWEH
 CHECKED BYTRM
 SCALEAS NOTED
 DATE03/09/26

SHEET NO.
C-10
 10 OF 12 SHEETS

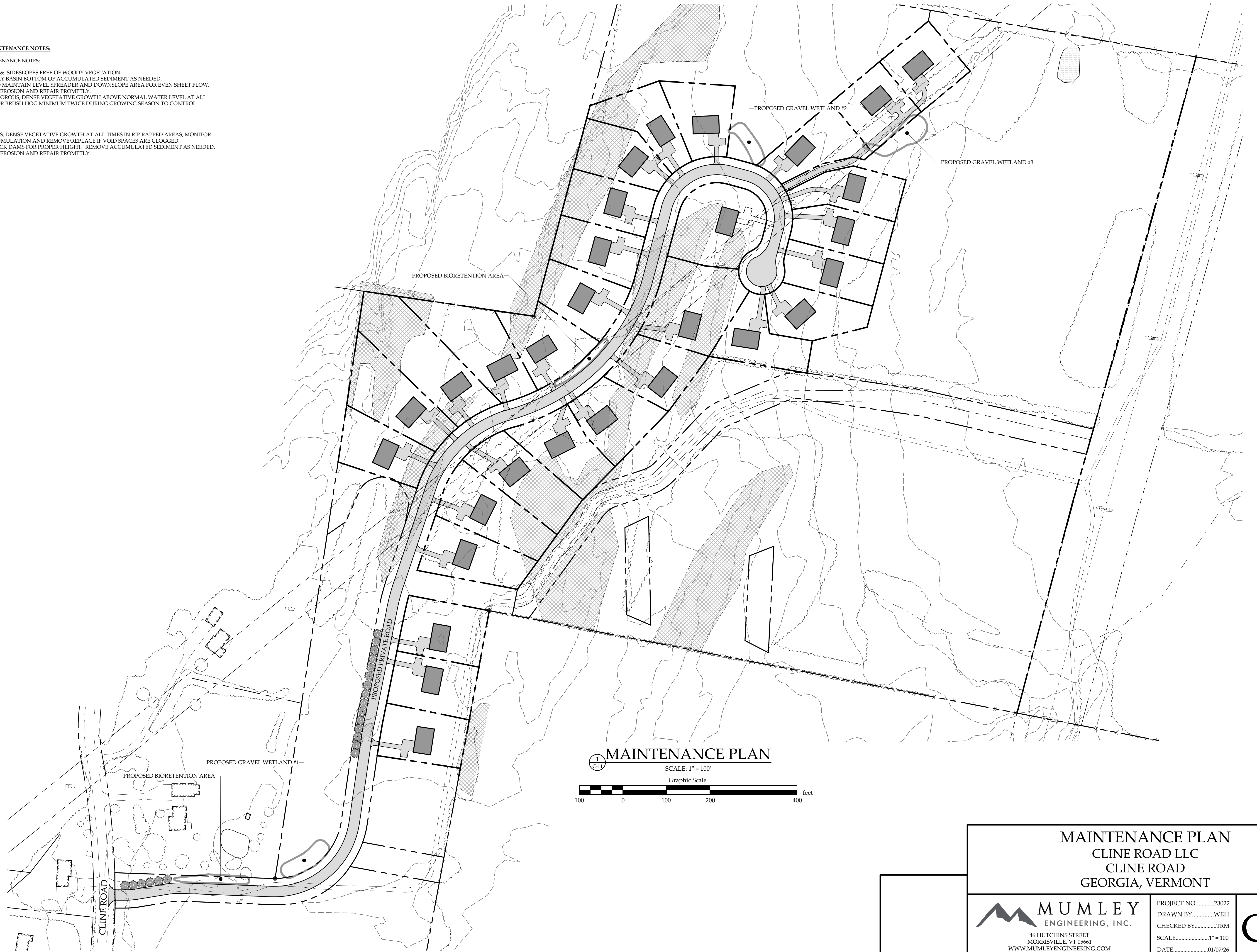
STORMWATER MAINTENANCE NOTES:

STORMWATER MAINTENANCE NOTES:

- KEEP FOREBAY & SIDESLOPES FREE OF WOODY VEGETATION.
- CLEAR FOREBAY BASIN BOTTOM OF ACCUMULATED SEDIMENT AS NEEDED.
- MONITOR AND MAINTAIN LEVEL SPREADER AND DOWNSLOPE AREA FOR EVEN SHEET FLOW.
- MONITOR FOR EROSION AND REPAIR PROMPTLY.
- MAINTAIN VIGOROUS, DENSE VEGETATIVE GROWTH ABOVE NORMAL WATER LEVEL AT ALL TIMES. MOW OR BRUSH HOG MINIMUM TWICE DURING GROWING SEASON TO CONTROL GROWTH.

SWALES

- MAINTAIN VIGOROUS, DENSE VEGETATIVE GROWTH AT ALL TIMES IN RIP RAPPED AREAS. MONITOR FOR SEDIMENT ACCUMULATION AND REMOVE/REPLACE IF VOID SPACES ARE CLOGGED.
- MONITOR CHECK DAMS FOR PROPER HEIGHT. REMOVE ACCUMULATED SEDIMENT AS NEEDED.
 - MONITOR FOR EROSION AND REPAIR PROMPTLY.



MAINTENANCE PLAN
 SCALE: 1" = 100'
 Graphic Scale
 100 0 100 200 400 feet

MAINTENANCE PLAN CLINE ROAD LLC CLINE ROAD GEORGIA, VERMONT		
 MUMLEY ENGINEERING, INC. <small>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2018 - RUGGIANO ENGINEERING</small>	PROJECT NO.....23022 DRAWN BY.....WEH CHECKED BY.....TRM SCALE.....1" = 100' DATE.....01/07/26	SHEET NO. C-11 11 OF 12 SHEETS

SPECIFICATIONS FOR BITUMINOUS CONCRETE PAVEMENT, STANDARD BASE AND FINISH COURSES
 QUALITY ASSURANCE:
 DO NOT PLACE ASPHALTIC CONCRETE PAVING WHEN THE AIR TEMPERATURE IN THE SHADE AND/OR THE ROADBED TEMPERATURE ARE BELOW 50 DEGREE F, OR DURING RAIN, WHEN THE BASE COURSE SURFACE IS WET OR DURING OTHER ADVERSE WEATHER CONDITIONS.
 DO NOT PLACE TACK COAT WHEN AIR TEMPERATURE IN THE SHADE AND THE ROADBED TEMPERATURE ARE BELOW 40 DEGREE F OR DURING RAIN, FOG OR OTHER ADVERSE WEATHER CONDITIONS.
 ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND QUALIFIED WORKMEN WITH EQUIPMENT STANDARD WITH THE INDUSTRY.
 APPROVAL BY ENGINEER OF SOURCES OF SUPPLY FOR MATERIALS SHALL BE OBTAINED PRIOR TO DELIVERY OF MATERIALS.
 COMPLY WITH FEDERAL, STATE AND/OR LOCAL CODES AND REGULATIONS.

PROVIDE MATERIALS COMPLYING WITH VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 406.02. BASE COURSE OF PAVEMENT SHALL BE TYPE II AND WEARING COURSE SHALL BE TYPE IV, IN ACCORDANCE WITH VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 406.03A WHERE TRENCHING AND PATCHING THROUGH EXISTING PAVED AREAS, MATCH EXISTING PAVEMENT TYPE. PLACING ASPHALT PAVEMENT - DOUBLE COURSE.
 INSTALL MANHOLE FRAMES AND COVERS IN CORRECT POSITION AND ELEVATION.
 PLACE ASPHALT IN ACCORDANCE WITH VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 406.13. PLACE BASE COURSE TO 1 1/2 INCHES COMPACTED THICKNESS, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
 PLACE WEARING COURSE WITHIN TWO HOURS OF PLACING AND COMPACTING BASE COURSE.
 PLACE WEARING COURSE TO 1 1/2 INCHES COMPACTED THICKNESS, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
 WHEN TRENCHING AND PATCHING IN EXISTING PAVED AREAS, MATCH EXISTING PAVEMENT MATERIALS AND THICKNESSES.
 COMPACT PAVEMENT BY ROLLING. DO NOT DISPLACE OR EXTRUDE PAVEMENT FROM POSITION. HAND COMPACT IN AREAS INACCESSIBLE TO ROLLING EQUIPMENT.
 DEVELOP ROLLING WITH CONSECUTIVE PASSES TO ACHIEVE EVEN AND SMOOTH FINISH, WITHOUT ROLLER MARKS.
 PAVEMENT TOLERANCES:
 MAXIMUM FLATNESS VARIATION OF 1/4 INCH MEASURED WITH A 10 FOOT (3 M) STRAIGHT EDGE.
 SCHEDULED COMPACTED THICKNESS: WITHIN 1/4 INCH.
 VARIATION FROM TRUE ELEVATION: WITHIN 1/4 INCH.
 THICKNESS: IN 1/4 INCHES COMPACTED IN ACCORDANCE WITH ASTM D3549 WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING ALLOWABLE VARIATIONS: BASE COURSE +/- 1/2", SURFACE COURSE +/- 1/4".
 SURFACE SMOOTHNESS: TEST FINISHED SURFACE OF EACH HOT-MIXED ASPHALT COURSE FOR SMOOTHNESS USING 10 STRAIGHTEDGE APPLIED PARALLEL WITH AND AT RIGHT ANGLES TO CENTERLINE OF THE PAVED AREA. SURFACES WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING TOLERANCES FOR SMOOTHNESS: BASE COURSE: +/- 1/4", WEARING COURSE SURFACE: +/- 3/16".
 CROWNED SURFACES: TEST WITH CROWNED TEMPLATE CENTERED AND AT RIGHT ANGLE TO CROWN. MAXIMUM ALLOWABLE VARIANCE FROM TEMPLATE IS +/- 1/4".
 CHECK SURFACE AREAS AT INTERVALS AS DIRECTED BY THE ENGINEER.
 PROTECTION:
 IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM MECHANICAL INJURY FOR 48 HOURS.

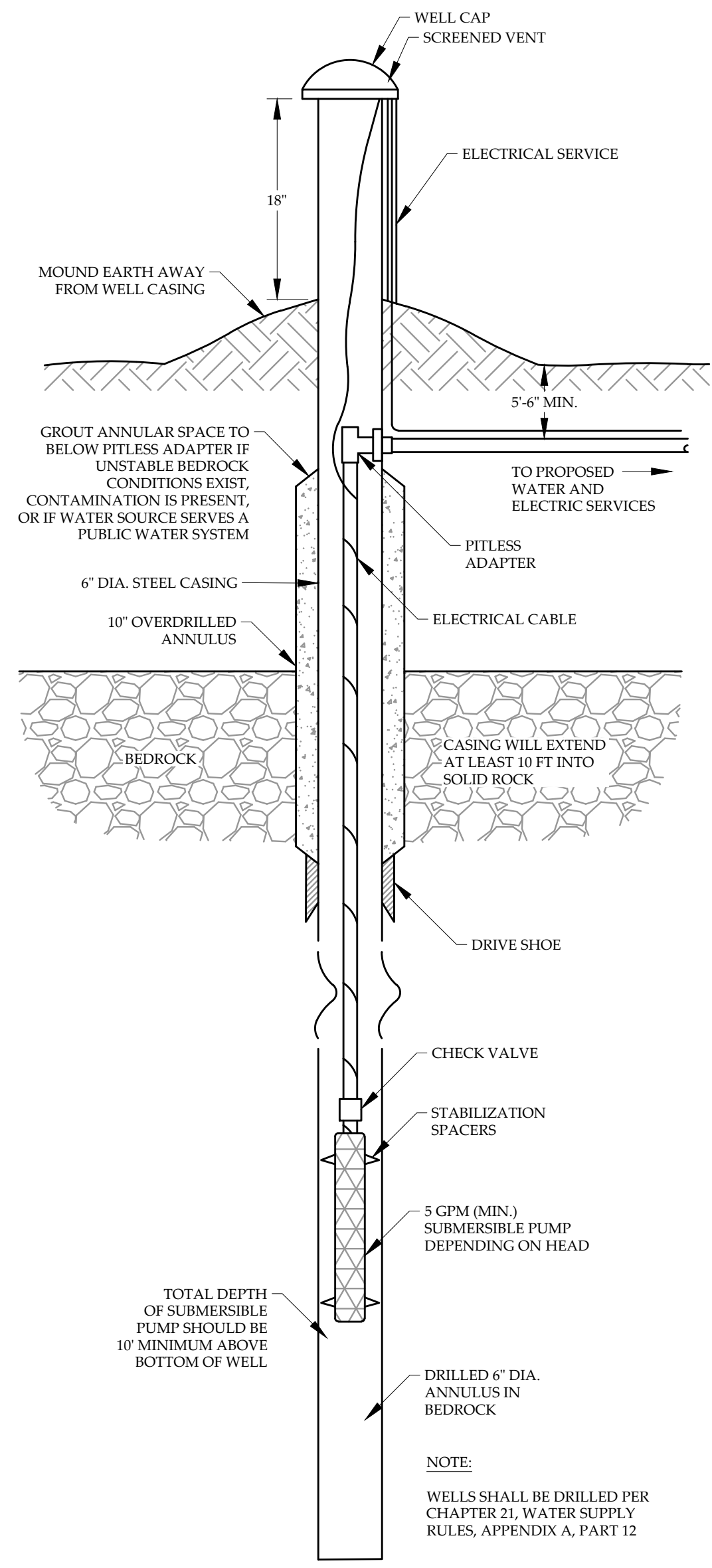
EPSC NOTES:

- PRE-CONSTRUCTION**
- IN ACCORDANCE WITH MODERATE RISK CONSTRUCTION STORMWATER PERMIT, NOTIFICATION OF ONSITE PLAN COORDINATOR MUST BE FILED WITH STATE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED PRIOR TO INITIATING PRIMARY EARTHWORK ACTIVITIES.
 - STABILIZATION OF OPERATIONAL STORMWATER TREATMENT PRACTICES MUST BE COMPLETED PRIOR TO DIRECTING ANY RUNOFF TO THEM.
- CONSTRUCTION**
- CONSTRUCTION SCHEDULE AND PHASING SHALL BE COORDINATED TO MINIMIZE CONCURRENT EARTH DISTURBANCE. NOTE: MAX CONCURRENT EARTH DISTURBANCE AT ANY ONE TIME SHALL BE 20 ACRES.
 - ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 7 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY. THE FOLLOWING EXCEPTIONS APPLY: (a) STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS. (b) STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. FOUNDATION EXCAVATION, UTILITY TRENCHES).
 - WINTER CONSTRUCTION IS NOT ANTICIPATED FOR THIS PROJECT. IF ANY CONSTRUCTION IS PROPOSED OUTSIDE OF THE GROWING SEASON (OCT 15 - APR 15) APPROPRIATE WINTER CONSTRUCTION EPSC MEASURES MUST BE IMPLEMENTED PER THE GENERAL PERMIT 3-900.
 - INSPECTIONS OF CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY THE ONSITE PLAN COORDINATOR EVERY 7 DAYS (MINIMUM) OR AS DICTATED BY STATE PERMIT.
 - ALL STOCKPILE AND STAGING AREAS TO BE DETERMINED BY CONTRACTOR AND SUBJECT TO STATE CONSTRUCTION STORMWATER REGULATIONS. CONTRACTOR RESPONSIBLE FOR DESIGN, APPROVAL AND IMPLEMENTATION OF ALL EPSC MEASURES INCLUDING SEDIMENT/RUNOFF CONTROLS, STABILIZATION AND RESTORATION.
 - FIBER ROLLS MAY BE IMPLEMENTED ON AN AS-NEEDED BASIS FOR SLOWING RUNOFF ON STEEPER SLOPES - CONTRACTOR TO USE MANUFACTURED PRODUCT AND INSTALL ACCORDING TO MANUFACTURER RECOMMENDATIONS. ROLLS TO BE INSTALLED PARALLEL TO CONTOURS, KEVED INTO SLOPES AND SECURED WITH STAKES TO PREVENT BLOWOUTS OR CONCENTRATIONS.
- STABILIZATION**
- ALL DISTURBED AREAS TO BE VEGETATED AND STABILIZED WITH ROLLED EROSION CONTROL MATTING UNLESS OTHERWISE NOTED ON THE PLANS. SEE DETAIL 10C-4.
 - TOPSOIL AMENDMENTS SHALL BE MADE AS NECESSARY TO PROVIDE NUTRIENT AND pH LEVELS REQUIRED FOR SEED MIX. FOR VEGETATION ESTABLISHMENT PRIOR TO SEPT 15, USE THE FOLLOWING SEED MIX:

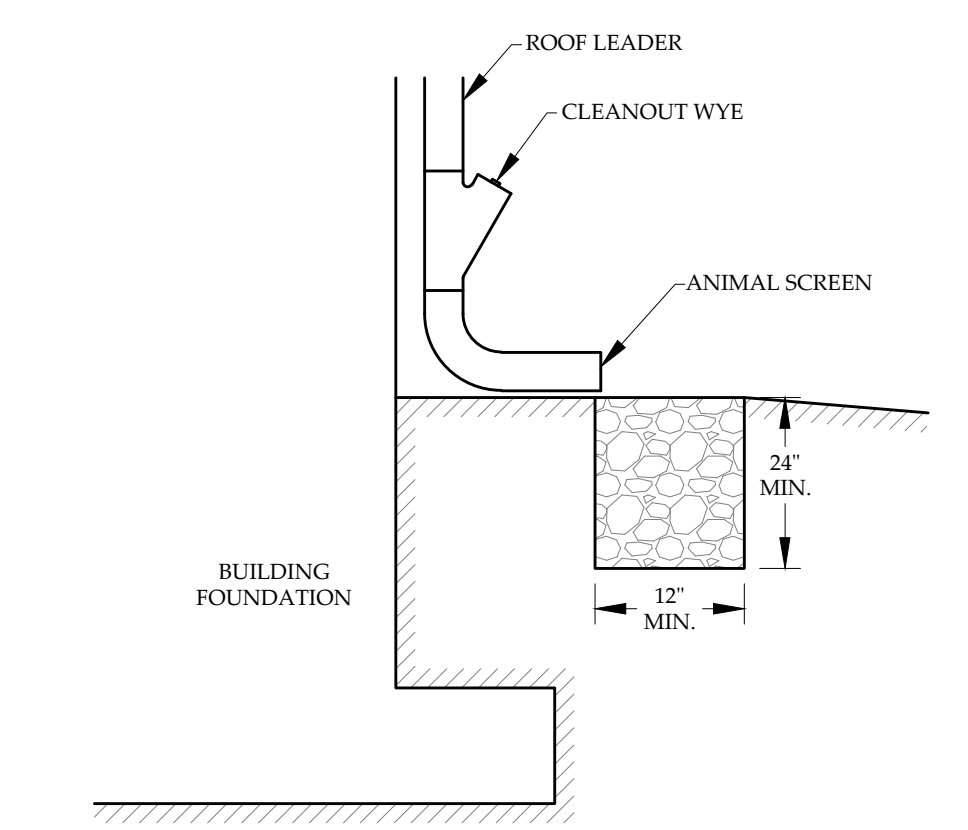
	PROPORTION	PURITY	GERMINATION
CREeping RED FESCUE	60%	85%	97%
MERION, KY. BLUEGRASS	25%	85%	95%
RED TOP	15%	85%	90%

POST CONSTRUCTION SOIL RESTORATION NOTES:
 ALL NATIVE VEGETATION AND SOIL OUTSIDE OF PROJECT AREA TO BE LEFT UNDISTURBED AND PROTECTED FROM COMPACTION DURING CONSTRUCTION. POST CONSTRUCTION SOIL RESTORATION AREAS ARE MADE UP OF ALL DISTURBED AREAS ON SLOPES LESS THAN OR EQUAL TO 3% & ARE NOT COVERED WITH IMPERVIOUS SURFACES, AN INTEGRAL PORTION OF A STORMWATER TREATMENT PRACTICE, OR STRUCTURAL FILL ONCE CONSTRUCTION IS DONE. CONTRACTOR TO IDENTIFY AREAS BEFORE START OF CONSTRUCTION AND INSTALL FENCING TO ENSURE PROTECTION. ANY AREAS THAT ARE DISTURBED AND/OR COMPACTED DURING THE COURSE OF CONSTRUCTION WILL HAVE TOPSOIL RESTORED BY MEANS OF ONE OF THE FOLLOWING METHODS:

- OPTION 1: AMEND EXISTING SITE TOPSOIL OR SUBSOIL IN PLACE.**
- SCARIFY OR TILL SUBSOILS TO 4 INCHES OF DEPTH OR TO DEPTH NEEDED TO ACHIEVE A TOTAL DEPTH OF 8 INCHES OF UNCOMPACTED SOIL. AFTER CALCULATED AMOUNT OF AMENDMENT IS ADDED, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
 - AMEND SOIL TO MEET ORGANIC CONTENT REQUIREMENTS:
 - PRE-APPROVED RATE: PLACE 1 INCH OF COMPOSTED MATERIAL WITH AN ORGANIC MATTER CONTENT BETWEEN 40 AND 65%, AND ROTOTILL INTO 3 INCHES OF SOIL, OR
 - CALCULATED RATE: PLACE CALCULATED AMOUNT OF COMPOSTED MATERIAL OR APPROVED ORGANIC MATERIAL AND ROTOTILL INTO DEPTH OF SOIL NEEDED TO ACHIEVE 4 INCHES OF SETTLED SOIL AT 4% ORGANIC CONTENT;
 - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
 - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- OPTION 2: REMOVE AND STOCKPILE EXISTING TOPSOIL DURING GRADING.**
- STOCKPILE SOIL ON SITE IN A DESIGNATED CONTROLLED AREA, AT LEAST 50 FEET FROM SURFACE WATERS, WETLANDS, FLOODPLAINS, OR OTHER CRITICAL RESOURCE AREAS;
 - SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
 - PLACE 4 INCHES OF IMPORTED TOPSOIL MIX ON SURFACE, THE IMPORTED TOPSOIL MIX SHALL CONTAIN 4% ORGANIC MATTER. SOILS USED IN THE MIX SHALL BE SAND OR SANDY LOAM AS DEFINED BY THE USDA;
 - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
 - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- OPTION 3: IMPORT TOPSOIL MIX, OR OTHER MATERIALS FOR MIXING, INCLUDING COMPOST, OF SUFFICIENT ORGANIC CONTENT AND DEPTH.**
- SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
 - PLACE 4 INCHES OF IMPORTED TOPSOIL MIX ON SURFACE, THE IMPORTED TOPSOIL MIX SHALL CONTAIN 4% ORGANIC MATTER. SOILS USED IN THE MIX SHALL BE SAND OR SANDY LOAM AS DEFINED BY THE USDA;
 - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
 - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- NOTE: CONTRACTOR TO VERIFY SOIL RESTORATION AFTER CONSTRUCTION BY MEANS OF SOIL SAMPLING. SOIL SAMPLING PROCEDURES INCLUDE NINE INCH DEEP TEST HOLES PER ACRE AND SHALL BE AT LEAST 50 FEET APART FROM EACH OTHER. SAMPLE HOLES TO BE DUG BY SHOVEL DRIVEN BY CONTRACTOR'S WEIGHT ALONE.

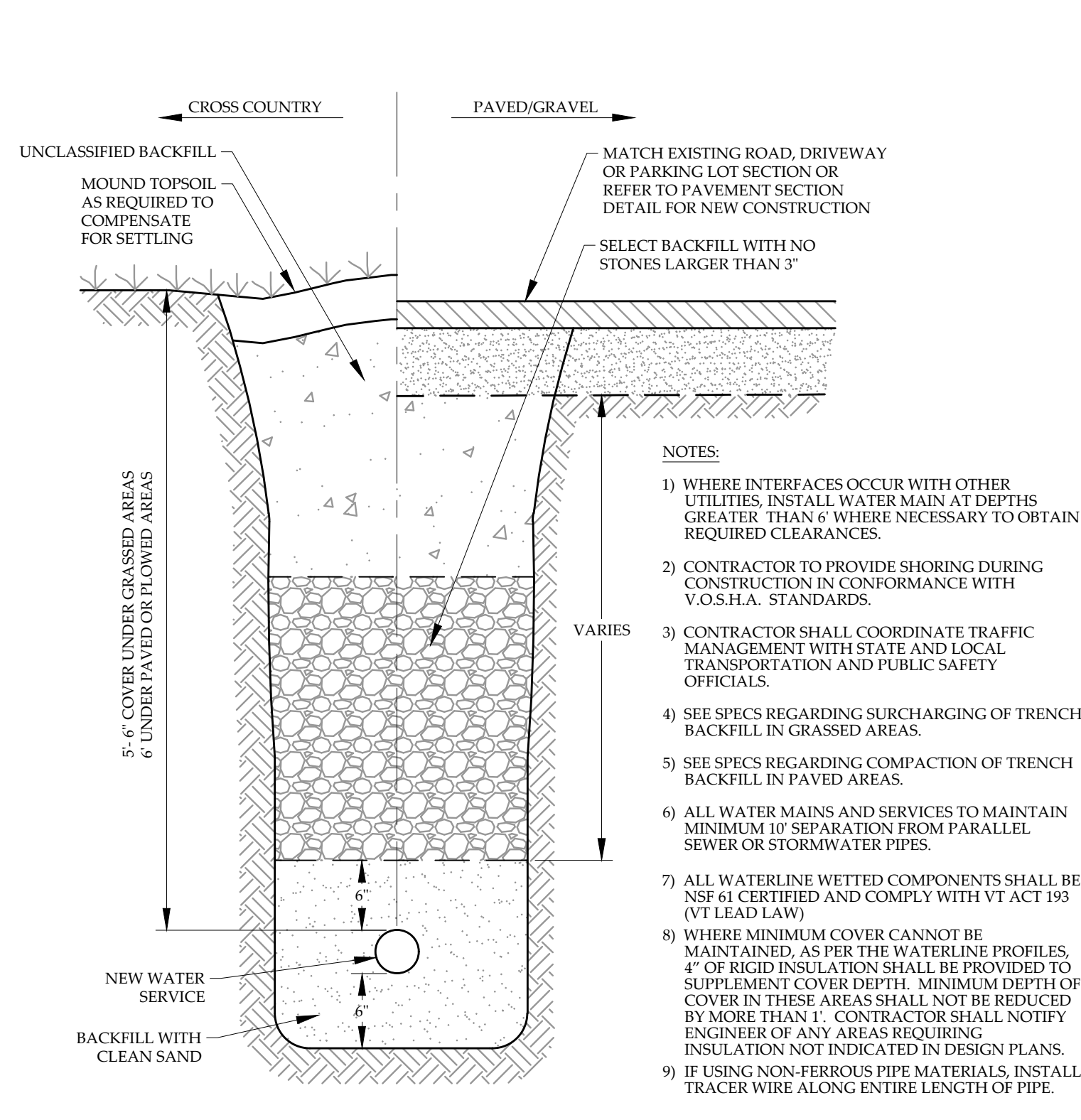


1 C-12
BEDROCK WELL DETAIL
 NOT TO SCALE

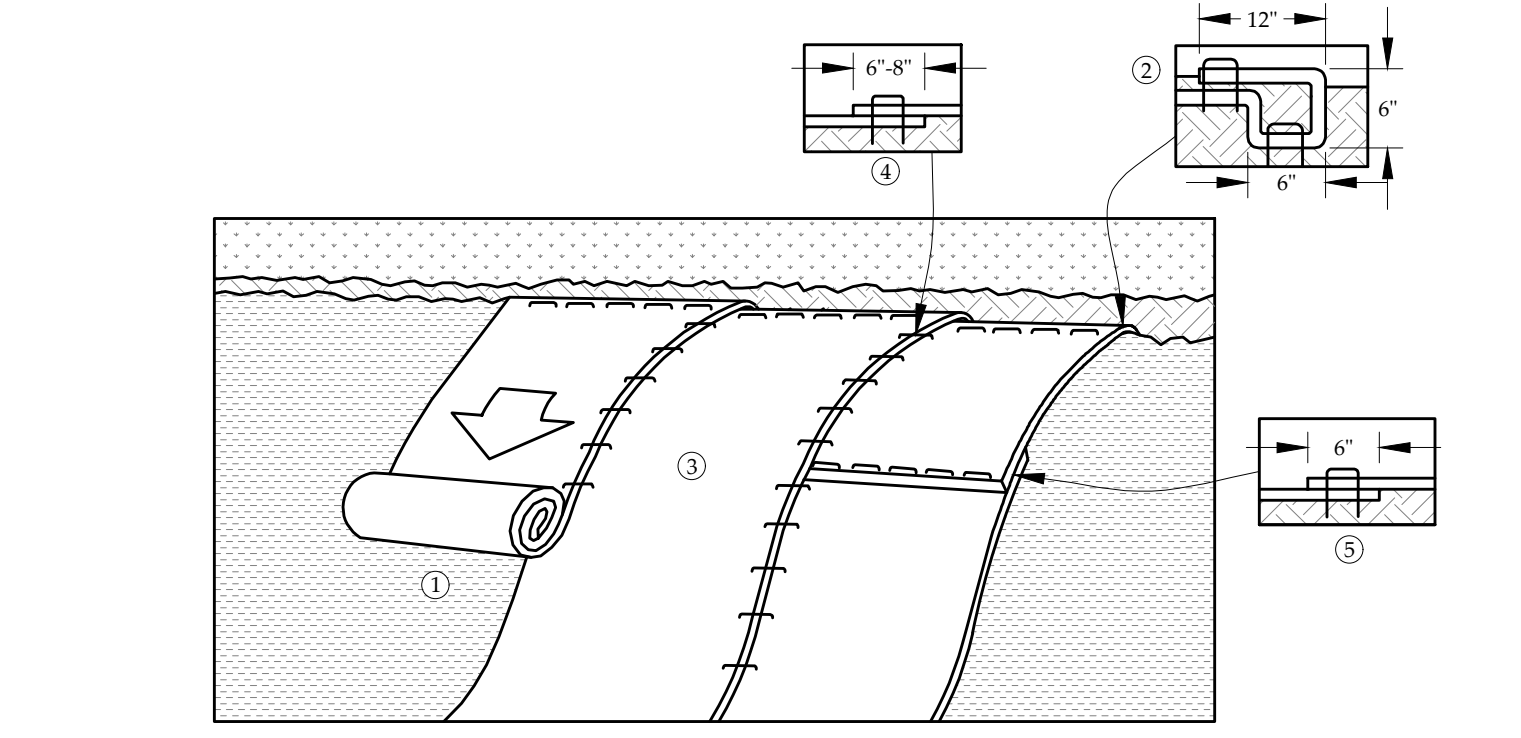


- NOTES:**
- DO NOT DISCHARGE ROOF OR GUTTER RUNOFF TO PERFORATED BUILDING FOOTING DRAINS.
 - THE CONTRIBUTING LENGTH OF ROOFTOP TO EACH DOWNSPOUT DISCHARGE LOCATION SHALL NOT EXCEED 75 FEET.
 - THE ROOFTOP AREA CONTRIBUTING TO ANY ONE DISCHARGE LOCATION SHALL NOT EXCEED 1,000 FT².
 - DISCHARGES SHALL FLOW OVER A VEGETATED SURFACE WITH A MAXIMUM SLOPE OF 15% FOR A MINIMUM DISTANCE PER PLAN.
 - DOWNSPOUTS SHALL BE DIRECTED AT LEAST 10 FEET FROM ANY IMPERVIOUS SURFACE.

2 C-12
TYPICAL ROOFTOP DISCONNECTION
 NOT TO SCALE

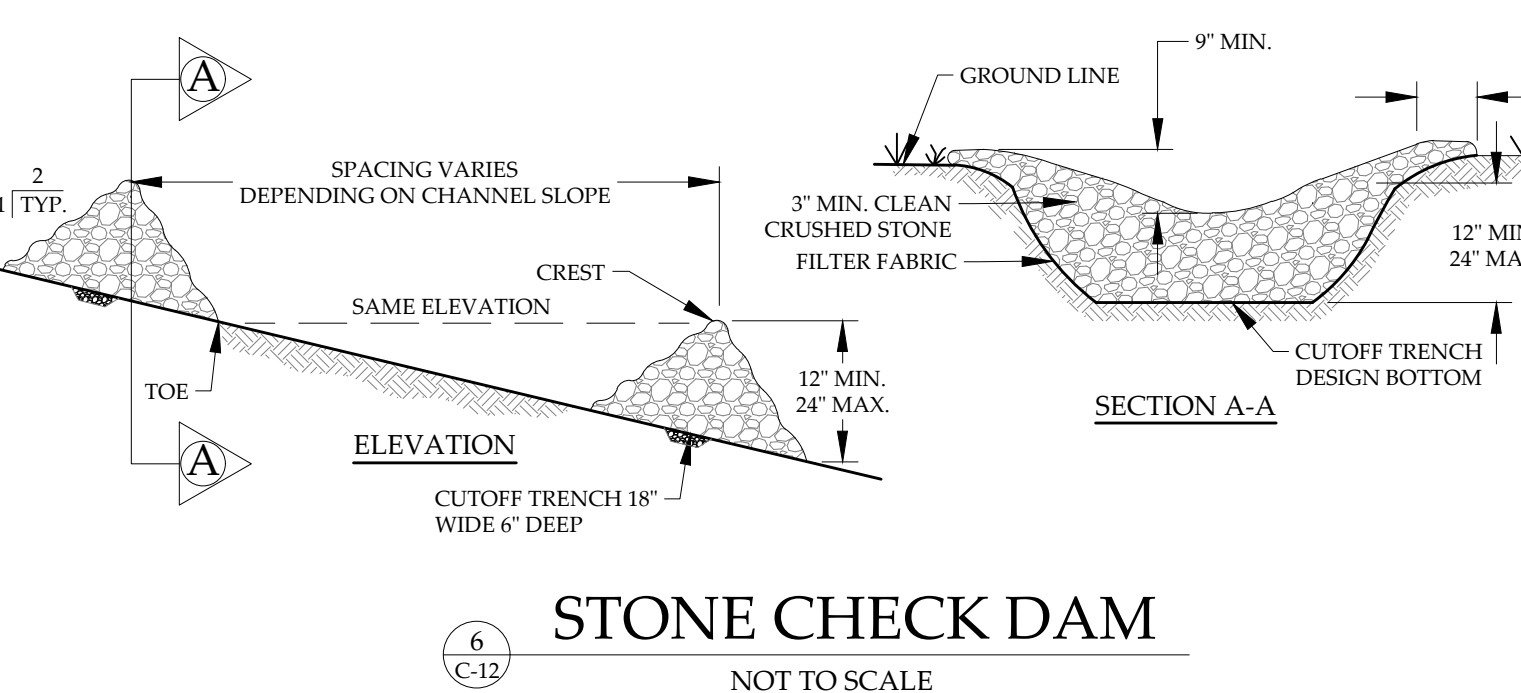


3 C-12
TYPICAL WATER LINE TRENCH
 NOT TO SCALE

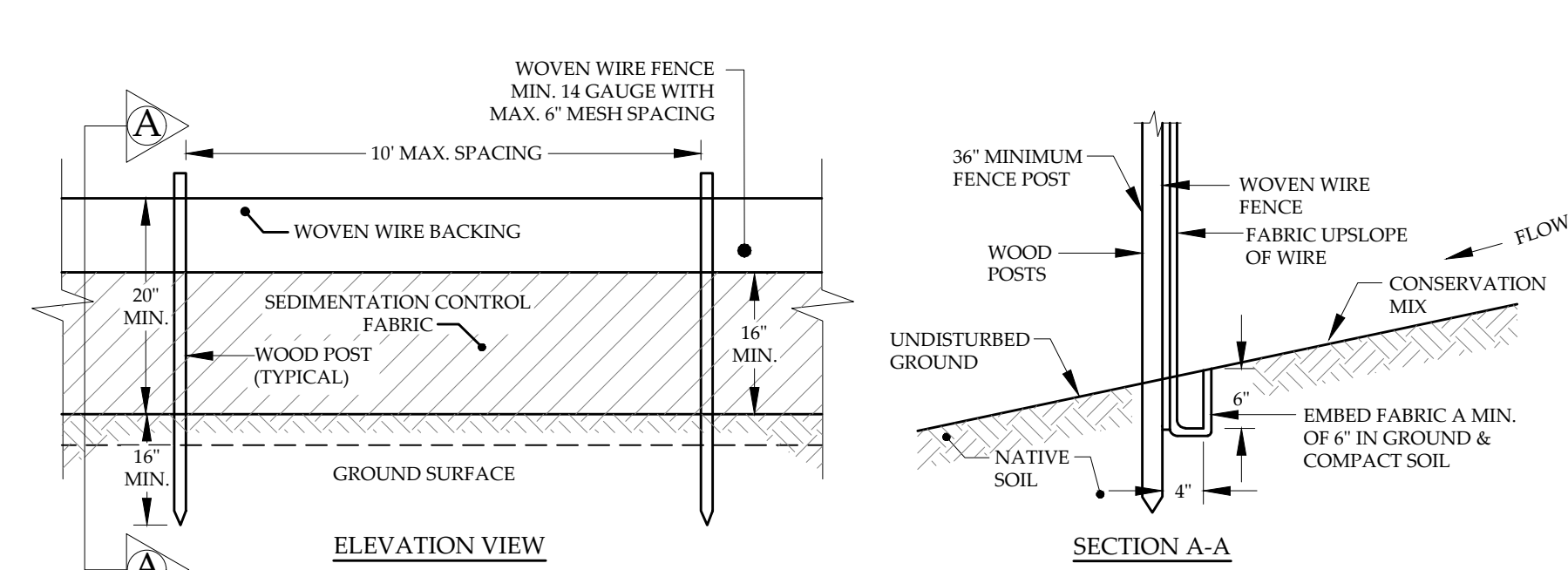


- NOTES:**
- PREPARE SOIL BEFORE INSTALLING EROSION CONTROL BLANKET (ECB) INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE ECB IN A 6" DEEP, 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKET DOWN THE SLOPE. BLANKET WILL UNROLL WITH THE APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 6" - 8" OVERLAP DEPENDING ON BLANKET TYPE.
 - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
 - THE USE OF WELDED PLASTIC MATTING IS NOT PERMITTED. ALL EROSION CONTROL MATTING MUST BE BIODEGRADABLE AND DEGRADE IN 6-24 MONTHS, DEPENDING ON THEIR MAKEUP.

5 C-12
EROSION CONTROL BLANKET SLOPE INSTALLATION
 NOT TO SCALE

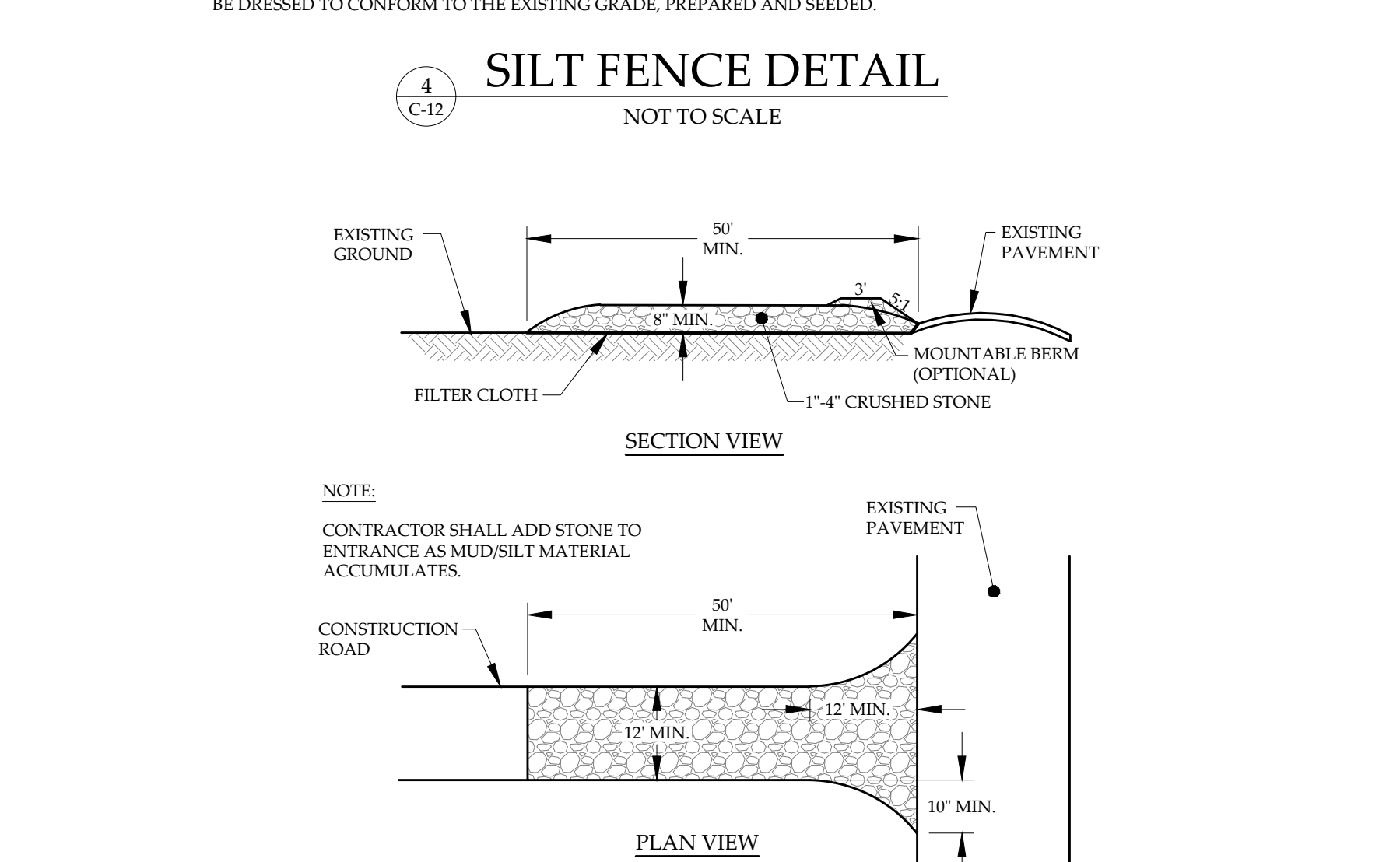


6 C-12
STONE CHECK DAM
 NOT TO SCALE



4 C-12
SILT FENCE DETAIL
 NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- SILT FENCING WILL BE APPLIED TO THE SITE SO THAT THERE WILL BE 100 FEET OF FENCING FOR EVERY 1/4 ACRE OF DISTURBED UPGRADATION AREA.
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. WIRE FENCE REINFORCEMENT REQUIRED WITHIN 100 FT UPSLOPE OF RECEIVING WATERS.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTR X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OF APPROVED EQUIVALENT.
- THE FABRIC SHALL NOT EXTEND MORE THAN 30" ABOVE THE ORIGINAL GROUND SURFACE AND WILL EXTEND TO A MINIMUM OF 12" INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.



- NOTE:**
- CONTRACTOR SHALL ADD STONE TO ENTRANCE AS MUD/SILT MATERIAL ACCUMULATES.
- CONSTRUCTION ENTRANCE**
- EXISTING GROUND
- EXISTING PAVEMENT
- EXISTING PAVEMENT
- NOTES:**
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.
 - THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR CONSTRUCTION ENTRANCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.

7 C-12
STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

DETAILS
CLINE ROAD LLC
 CLINE ROAD
 GEORGIA, VERMONT

MUMLEY
ENGINEERING, INC.

46 HUTCHINS STREET
 MORRISVILLE VT 05661
 WWW.MUMLEYENGINEERING.COM
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PROJECT NO.....23022
 DRAWN BY.....WEH
 CHECKED BY.....TRM
 SCALE.....AS NOTED
 DATE.....01/07/26

SHEET NO.
C-12
 12 OF 12 SHEETS

PRELIMINARY PLAT REVIEW
Proposed 32-Lot/30-Unit PUD Major Subdivision
SUB-011-2026

Owner/Applicant: Cline Road LLC St. Albans, VT 05478	Property Tax Parcel & Location: Parcel ID#102130000 Cline Road, Georgia, VT Zoning District: AR
Surveyor/Engineer: Luke Willey, Mumley Engineering, Inc. St. Albans, VT 05478	Surveyor: Day Land Surveying, PLLC

BACKGROUND

Cline Road, LLC, hereafter referred to as Applicant, is requesting Preliminary Plat review for a 32-lot/30-Unit Major Planned Unit Development (PUD) subdivision located off Cline Road and Horseshoe Barn Road in the AR zoning district. The ±94.49 acre parcel consists of agricultural fields and wooded areas, of which 60 acres will be used to create the PUD and the remaining 34 acres retained as undeveloped lands. The proposed subdivision will be accessed via an existing curb cut across from 891 Cline Road.

The proposed PUD will consist of a proposed 24’ private road in a 60’ ROW serving (21) single family dwelling units with an additional private road serving (9) units. Each lot will be served by individual drilled wells and a community wastewater system with a combination of shared mound systems located on Lot 31. Stormwater will be collected via roadside swales and treated in a combination of structural stormwater practices at various points within Lot 31. Open space is provided as an easement within Lot 31 totaling +/- 12 acres (20%) and will be kept in ownership by Cline Road, LLC.

COMMENTS

General Sketch Plan Review Requirements

- 1. Dimensional Requirements.** Dimensional requirements for Major Subdivisions can be found in Section 7.3.5 of the *Town of Georgia Development Regulations* (October 13, 2025) and dimensional requirements for Planned Unit Developments (PUD) can be found in section 6.5 of the regulations.

The dimensional requirements of the Agricultural (AR) Zoning District and the proposed PUD subdivision lot dimensions are as follows:

	Minimum Lot Size	Lot Frontage (min)	Front Yard Setbacks (min)	Side Setbacks (min)	Rear Setbacks (min)	Building Height (max)
Agricultural (AR) Requirements	2 acres	150 ft	50 ft	20 ft	20 ft	35 ft

PUD in AR Requirements	0.5-1 acre	150 ft	50 ft	20 ft	20 ft	35 ft
LOT 1	±0.52 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 2	±0.54 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 3	±0.57 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 4	±0.59 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 5	±0.68 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 6	±0.53 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 7	±0.65 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 8	±0.71 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 9	±0.94 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 10	±0.59 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 11	±0.74 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 12	±0.57 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 13	±0.56 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 14	±0.52 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 15	±0.52 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 16	±0.83 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 17	±0.52 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 18	±0.77 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 19	±0.51 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 20	±0.52 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 21	±0.51 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 22	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories

LOT 23	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 24	±0.52 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 25	±0.51 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 26	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 27	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 28	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 29	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 30	±0.50 acres	Unknown	±50 ft	±15 ft*	±15 ft*	1- 2 stories
LOT 31 (ROW, open space & WW easements)	±47.03 acres	N/A	N/A	N/A	N/A	N/A
LOT 32 (undeveloped remaining land)	±29.8 acres	N/A	N/A	N/A	N/A	N/A

2. ***Waivers Requested:** Applicant is requesting a waiver of the side and rear setbacks in the AR zone to accommodate the PUD properties. Such setback reductions include 20-foot AR setbacks to 15-foot setbacks.
3. **Potential Additional Waivers:**
 - Use of the right-of-way in lieu of road frontage waiver
4. **List of plans, sketches, or other information submitted with this application:**
Applicant has submitted two maps titled, “*Preliminary Subdivision Plat, Cline Road LLC*” prepared by Mumley Engineering, Inc. on 1/22/2026.

Applicant has submitted eleven additional maps prepared by Mumley Engineering, Inc. including:

- “*Existing Conditions Plan*” (1/7/2026)
- “*Overall Development Plan*” (1/22/2026)
- “*Road Plan and Profile STA.00+00 – 09+00*” (1/7/2026)
- “*Road Plan and Profile STA.09+00 – 21+50*” (3/9/2026)
- “*Road Plan and Profile STA. 21+50 – 28+50*” (1/7/2026)
- “*Wastewater Plan*” (1/7/2026)
- “*Wastewater Details*” (1/7/2026)
- “*Stormwater Plans*” (3/9/2026)
- “*Stormwater Details*” (3/9/2026)

- “Maintenance Plan” (1/7/2026)
- “Details” (1/7/2026)

5. **Proposed project alignment with PUD requirements-** See 6.5.4 PUD Standards (Town of Georgia Development Regulations, 10/13/2025).

Section 6.7 Density Bonus for PUD

(D)2: Density Bonus, Community Recreation Area

The DRB with approval by the Selectboard may accept Community Recreation Area parcels to be donated to the Town of Georgia to be openly accessible to the public during daylight hours, readily visible from the public way, clearly marked as available to members of the public, provide community recreation amenities suitable and accessible to a range of ages and abilities, and provide adequate shade, trees and seating areas as well as other amenities as may be required by the DRB. The DRB may allow greater density bonus or use the Community Recreation Area as a replacement for commercial offset in the VC district. In the VC District, the Community Recreation Area should be of size and scope to offset the commercial requirement for the development.

6. **Lot layout.** As proposed, the boundary lines are linear and proposed lots are generally regular in shape.
7. **Suitability for development.** This 32 Lot subdivision is in line with AR- PUD standards for residential properties, with waivers.
8. **Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.** Existing dilapidated farm buildings to be removed.
9. **Storm water and erosion control plan during construction.** Roadside ditches to proposed structural stormwater practices will be designed to state regulations. Proposed rooftop and driveway disconnections will be made available for individual lots where possible.
10. **Conformance with Town Plan and Bylaws.** This type of PUD subdivision conforms with the Town Plan and Development Regulations. In addition, the proposed 30 units will help the Town of Georgia reach the goals of creating 35-40 houses per year, as mandated by the State of Vermont and Northwest Regional Planning Commission to increase housing.
11. **Compatibility with surroundings.** The proposed PUD subdivision will be located behind existing houses, screened by existing trees and not visible from Cline Road.
12. **Municipal Services.** Applicant has not obtained an Ability to Serve letter from the Fire Chief. A letter will be required for Final Plat Review.
13. **Existing and/or proposed easements and rights-of-way.** Existing VELCO power easement and access ROW; proposed 60’ road ROW, 60’ ROW easement to neighboring property; and proposed Open Space easement totaling ±12.0 acres.

14. **Wastewater Disposal and Water Supply.** Proposed community wastewater collection system and community mounds are planned. Each lot will have an individual or shared drilled well or shared wells as dictated by State rules.
15. **Vehicular Traffic.** The existing 25-foot right-of-way will be expanded to a proposed 60-foot right-of-way, with a 24-foot road to serve the development with two (2) cul-de-sac turnarounds. There is a redesign of the cul-de-sac terminus due to grading and ledge challenges, this design is a better, cleaner layout. The engineers have re-aligned the curb-cut so that cars will not be pointed at the front windows of 791 Cline across the street.
16. **Landscaping Plan and Lighting.** Applicants have added more screening to Lots 1-3. Note, the sketch decision seemed to suggest continuous screening all the way from Cline Road to Lot 3. Our opinion is that a large portion of this screening would have no function and is an unreasonable burden on both the developer and HOA going forward to maintain this. Applicants believe this current proposal is a good faith effort to alleviate the screening concerns from neighbors for these first three lots.
17. **Proposed Lighting.** None proposed.
18. **Common Land.** All common land and open space are now proposed to be owned and maintained by the HOA. Cline Road, LLC will not retain any ultimate ownership within the PUD. They will retain the remaining land to the east beyond the VELCO lines (Lot 32) and the ROW to access this land.
19. **State permits.**
- Potable Water and Wastewater Disposal System Permit.
 - Wetlands Impact Permit.
 - Construction Stormwater Permit.
 - Operational Stormwater Permit.
 - Act 250 Land Use Permit.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Planning & DRB Clerk

cc: Applicant and Engineer



GEORGIA VERMONT

DRB MEETING Tuesday, April 21, 2026 at 7:00 PM Chris Letourneau Meeting Room and via Zoom Minutes

Zoom Details:

<https://us02web.zoom.us/j/7852587431?pwd=PBv40gFdgVnMmCTlaw2gLkbXfbpeH4.1&omn=87114687124>

Meeting ID: 785 258 7431 | **Passcode:** 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. CALL TO ORDER - 7:00 PM

DRB PRESENT

Chair Charles Cross, Vice Chair James Powell, Lisa Faure, Tony Gabel, Leigh Horton, Gilles Rainville, Jared Waite, Alternate Chris Caspers

DRB ABSENT

Alternate Glenn Sjoblom

STAFF PRESENT

Doug Bergstrom, Kollene Caspers

PRESENT FOR DRB-009-26

Peter Mazurak, Jeff Blanchard (via Zoom), Bob Baker (via Zoom)

PUBLIC PRESENT

Forrest Newton (via Zoom)

2. ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA

- D. Bergstrom requested the addition of Administrative Subdivision DRB-010-26 discussion, for information only.

3. PUBLIC HEARINGS

A. DRB-009-26, RenoVermont LLC - Sketch Plan Review for 3 Lot Subdivision

- Chair Cross introduced the hearing.

- Engineer Peter Mazurak was present for the Applicant and explained the project to the DRB, including access, road and driveway, subdivision of lots and permits.
- Lots 1 and 2 as footprint lots, where homeowners would own the land directly under the dwellings while the rest of the property will be common land. The proposed housing will be detached separate units for purchase, not for rent. The proposed houses will be small, 2 bedrooms and maybe 1 or 1 and 1/2 stories tall.
- Lot 3 is set aside for future development, anticipated commercial space for 8-10,000 sq ft building or split into sections.
- The DRB questioned why the developer is choosing condo units and why two lots for this purpose.
- P. Mazurak explained the whole lot will be common land. The driveway will be serviced by owners associations, one for residential and one for commercial. The owners of the property will retain ownership of the common land.
- Jeff Blanchard, father of abutting landowners to the North of the proposed subdivision expressed concerns with lot numbers, wanted clarification on lot numbers and wastewater plans. The engineer will change the plans to be clearer at Final Plan Approval, using wastewater permit numbers to be more specific.

Motion to close the hearing at 7:26 pm

Motion made by G. Rainville, Seconded by T. Gabel

Voting Yea: Chair Cross, Vice Chair Powell, L. Faure, T. Gabel, L. Horton, G. Rainville, J. Waite

4. APPROVAL OF MINUTES

A. DRB Meeting Minutes: April 7, 2026

Motion to approve minutes as written.

Motion made by T. Gabel, Seconded by L. Horton

Voting Yea: Chair Cross, Vice Chair Powell, L. Faure, T. Gabel, L. Horton, G. Rainville, J. Waite

5. OTHER BUSINESS

- Two-lot administrative subdivision DRB-010-26 for Cadieux Farm. This subdivision is located off Rt 7, Cadieux Road and Carpenter Hill Road, and is for property that is not part of the land-trust map. This is a 24-acre lot, no proposed building at this time, the remaining 295 acres will remain in land trust. This is an administrative subdivision, which will be approved after May 15th if there is no appeal for a public meeting for DRB decision. Informational only, no action needed.
- D. Bergstrom announced he is serving as the interim Town Administrator as the position is advertised, with K. Caspers taking on more duties in the Zoning office.

6. PLAN NEXT MEETING AGENDA

A. May 19, 2026

- The May 5th meeting is cancelled due to no hearing applications.

7. DELIBERATIONS

Motion to go into Deliberative Session at 7:35pm

Motion made by G. Rainville, Seconded by J. Waite

Voting Yea: Chair Cross, Vice Chair Powell, L. Faure, T. Gabel, L. Horton, G. Rainville, J. Waite

Motion to exit from Deliberative session at 8:12PM

Motion made by G. Rainville, Seconded by J. Waite

Voting Yea: Chair Cross, Vice Chair Powell, L. Faure, T. Gabel, L. Horton, G. Rainville, J. Waite

Motion to approve DRB-009-26 application with conditions.

Motion made by L. Horton, Seconded by Vice Chair Powell

Voting Yea: Chair Cross, Vice Chair Powell, L. Faure, T. Gabel, L. Horton, G. Rainville, J. Waite

A. DRB-006-26, Trudell Decision Letter
Decision letter signed by Chair Cross

B. DRB-007-26, Newton/Dixon Decision Letter
Decision letter signed by Chair Cross

8. ADJOURN

Motion to adjourn at 8:12PM

Motion made by L. Horton, Seconded by J. Waite

Voting Yea: Chair Cross, Vice Chair Powell, L. Faure, T. Gabel, L. Horton, G. Rainville, J. Waite

Agendas are posted to the Town website, four designated places within the Town of Georgia (Town Clerk’s Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.

Minutes and videos of the meetings are posted on the Town of Georgia website.

Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com