



# DRB MEETING

Tuesday, August 15, 2023 at 7:00 PM

Chris Letourneau Meeting Room and via Zoom

## AGENDA

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### Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWLzVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. **CALL TO ORDER - 7:00 PM**
2. **ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA**
3. **PUBLIC HEARINGS**
  - A. Preliminary Plat Review (PR-002-23) for Cline Road, LLC for a 15 Lot, 14 Unit Planned Unit Development (PUD) at Cline Road and Horseshoe Barn Road, Parcel ID# 102130000, AR-1 Zoning district.
4. **APPROVAL OF MINUTES**
  - A. DRB Meeting Minutes
5. **OTHER BUSINESS**
6. **PLAN NEXT MEETING AGENDA**
  - A. 09/05/2023
7. **DELIBERATIONS**
8. **ADJOURN**

Posted to the Town website, four designated places within the Town of Georgia (Town Clerk's Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.

Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: [townofgeorgia.com](http://townofgeorgia.com)

**PRELIMINARY PLAT REVIEW  
PR-002-23**

|  |   |
|--|---|
| <b>Owner:</b><br>Cline Road LLC<br>7 Oak Street<br>St. Albans, VT 05478  | <b>Applicant:</b><br>Same   |
| <b>Surveyor/Engineer:</b><br>Luke Willey, Ruggiano Engineering<br>5 Lake Street<br>St. Albans, VT 05478<br>#802-524-9300 | <b>Property Tax Parcel &amp; Location:</b><br>Parcel ID#102130000<br>Cline Road, Georgia, VT<br>Zoning District: AR-1 |

**Background**

Cline Road, LLC, hereafter referred to as Applicant, is requesting Preliminary Plat review for a 15-lot 14 unit Planned Unit Development (PUD) subdivision. The parcel is located at Cline Road and Horseshoe Barn Road and consists of ±94.49 acres. The parcel is located within the AR-1 zoning district.

Applicant is proposing the creation of fifteen (15) lots:

- Proposed Lot 1 will consist of ±.85 acres.
- Proposed Lot 2 will consist of ±.85 acres.
- Proposed Lot 3 will consist of ±1.01 acres.
- Proposed Lot 4 will consist of ±1.0 acres.
- Proposed Lot 5 will consist of ±1.15 acres.
- Proposed Lot 6 will consist of ±1.09 acres.
- Proposed Lot 7 will consist of ±1.00 acres.
- Proposed Lot 8 will consist of ±1.23 acres.
- Proposed Lot 9 will consist of ±.84 acres.
- Proposed Lot 10 will consist of ±1.42 acres.
- Proposed Lot 11 will consist of ±.83 acres.
- Proposed Lot 12 will consist of ±.81 acres.
- Proposed Lot 13 will consist of ±.82 acres.
- Proposed Lot 14 will consist of ±.85 acres.
- Proposed Lot 15 will consist of three (3) separate areas with a total of ± 81 acres. 1.24 Acres located next to Lot 5 listed as *open space easement*. 18.89 acres located to the East of Lots 3,4,6,8, and 10 listed as *open space easement*. **Open Space for PUD (20% total acreage = 18.90 acres)**

**COMMENTS**

**General Subdivision Review Requirements**

1. **Dimensional Requirements.** The dimensional requirements of the AR-1 zoning districts and the proposed dimensional measurements are as follows:

|                               | <b>Minimum Lot Size</b>                | <b>Lot Frontage</b> | <b>Front Yard Setbacks</b> | <b>Side Setbacks</b> | <b>Rear Setbacks</b> |
|-------------------------------|--|---------------------|----------------------------|----------------------|----------------------|
| <b>AR-1/ PUD Requirements</b> | Min .75 acres per use                  | 250 ft              | 75 ft                      | 40 ft                | 40 ft                |
| <b>LOT 1</b>                  | ±.85 acres                             | 116.1’              |                            |                      |                      |
| <b>LOT 2</b>                  | ±.85 acres                             | 162.33’             |                            |                      |                      |
| <b>LOT 3</b>                  | ±1.01 acres                            | 189.02’             |                            |                      |                      |
| <b>LOT 4</b>                  | ±1.0 acres                             | Not Listed          |                            |                      |                      |
| <b>LOT 5</b>                  | ±1.15 acres                            | Not Listed          |                            |                      |                      |
| <b>LOT 6</b>                  | ±1.09 acres                            | Not Listed          |                            |                      |                      |
| <b>LOT 7</b>                  | ±1.00 acres                            | Not Listed          |                            |                      |                      |
| <b>LOT 8</b>                  | ±1.23 acres                            | Not Listed          |                            |                      |                      |
| <b>LOT 9</b>                  | ±.86 acres                             | Not Listed          |                            |                      |                      |
| <b>LOT 10</b>                 | ±1.42 acres                            | 49.16’              |                            |                      |                      |
| <b>LOT 11</b>                 | ±.83 acres                             | 180.3’              |                            |                      |                      |
| <b>LOT 12</b>                 | ±.81 acres                             | 145.2’              |                            |                      |                      |
| <b>LOT 13</b>                 | ±.82 acres                             | Not Listed          |                            |                      |                      |
| <b>LOT 14</b>                 | ±.85 acres                             | Not Listed          |                            |                      |                      |
| <b>LOT 15</b>                 | Open space 20%- totaling ± 19.42 acres |                     |                            |                      |                      |

2. **Waiver Requested.** Waiver of the 1500’ max road length for private dead-end roads. The proposed road is the minimum distance to access the developable portion of the site where all lots can be clustered to the greatest extent possible. Total proposed road length is +/- 2,460’.

3. **Site plans.** Applicant has submitted 11 site plans prepared by Ruggiano Engineering, dated 7/14/2023. Applicant submitted 2 plats from Day Land Surveying, PLLC dated 8/2/23.

- i. The proposed property lines.
- ii. The proposed boundaries for Lots 1-15
- iii. The location of Open Spaces
- iv. Proposed Private Road, 24’ minimum with 24’ steel culvert.
- v. Proposed roundabout.
- vi. Existing wastewater system with proposed access for maintenance
- vii. Proposed mounds and proposed wells
- viii. Gravel wetland
- ix. Proposed

4. **Lot layout.** As proposed, the boundary lines are linear and proposed lots are generally regular in shape.

5. **The land is suitable for subdivision or development.** The land meets the requirements for the PUD subdivision with acreage and use; with waiver request for private road length.

6. **The proposed development will not result in undue water or air pollution.** Applicant should submit to the Zoning Administrator a state Act 250 permit navigator.
7. **Legal language.** Applicant will need to submit draft deed language to include all easements, Private Road maintenance, HOA information, common property uses, et. cetera.
8. **Access permit.** The proposed development will be accessed via an existing curb cut utilized by historic farm activities, directly across from 891 Cline Road.
9. **State permits.** State of Vermont Wastewater System and Potable Supply Permit (for water and wastewater systems); State of Vermont Construction Central Permit #3-9020 (for discharge of storm water runoff from construction activity); and State of Vermont Wetlands General Permit #3-9025 (for private road crossing wetland and/or buffer.) The applicant is responsible for identifying any further state permits for this proposal. Applicants will need to submit Permit Navigator Results with their Final Plat application for Act 250 compliance. Copies of all required state permits shall be submitted to the Zoning Administrator upon receipt.
10. **Easements.** 60’ easement through lot 15 near lot 1 for access to the Wilcox property. 20’ pedestrian easement to the South of lot 5 to benefit the Town of Georgia. Open space easements on Lot 15 (marked in green). 25’ Access easement to be conveyed to Vermont Transco, llc. 60’ Power easement. (Power poles have been removed and easement is being verified)
11. **Fire protection** – The Applicant has not obtained an ability to serve letter from the Fire Chief.
12. **Financial surety** – Not applicable.
13. **Performance Standards** - The use must conform to the Performance Standards in Section 3.6 of the Georgia Development Regulations.
14. **Road Name**- Road name has not been submitted. Private road must conform with Town of Georgia Private Road and Driveway Standards. An road name application will need to be submitted to the Zoning Administrator for E911 review and approval.
15. **Driveway Standards** – Driveway must conform with Town of Georgia Private Road and Driveway Standards.

#### ARTICLE 7 PLANNING and DESIGN STANDARDS:

**Section 7.1 Energy Efficient Design** – Developments are encouraged to incorporate energy-efficient siding of buildings.

**Section 7.2 Farm and Forestland Preservation** –

**Section 7.3 Site Design** –

**Section 7.4 Exterior Storage of Materials or Equipment** – Not applicable.

**Section 7.5 Landscaping and Screening** – Will be addressed at Final Plat

**Section 7.6 Outdoor Lighting** – Will be addressed at Final Plat

**Section 7.7 Vehicular Circulation** – Lots will be accessed by use of proposed private road with cul-de-sac.

**Section 7.8 Pedestrian Accessibility** – Sidewalks???

**Section 7.9 Parking, Traffic Access, and Circulation** – Each lot will have its own driveway for parking.

**Section 7.10 Street Signs** – In accordance with Town of Georgia regulations

**Section 7.11 Public and Private Road Standards** – Applicant will utilize plans C-3, C-4 and C-5 Road Plans and Profiles and shall follow the Town of Georgia’s Private Road and Driveway Standards.

**Section 7.12 Site Preservation and Erosion Control** – Applicant has not indicated any additional site preservation and or erosion control.

**Section 7.13 Stormwater** – Referenced in the plans C-8 and C-9, Stormwater Plans and Details.

Applicant submitted plans entitled, “Cline Road LLC, Plan 23022” dated 07/14/2023, prepared by O’Leary- Burke Civil Associates, PLC.

- C-1 of 11 – Site Plan
  - C-2 of 11 – Overall Development Plan
  - C-3 of 11 – Road Plan and Profile, STA. 00+00, 09+00
  - C-4 of 11 – Road Plan and Profile, STA. 09+00, 21+50
  - C-5 of 11 – Road Plan and Profile, STA. 21+50, 24+60
  - C-6 of 11 – Wastewater Plans and Details
  - C-7 of 11– Wastewater Details
  - C-8 of 11– Stormwater Plans & Details
  - C-9 of 11– Stormwater Details
  - C-10 of 11– Maintenance Plan
  - C-11 of 11– Details
- Preliminary Subdivision Plat Cline Road, LLC, versions 1 & 2

Respectfully submitted,

Douglas Bergstrom  
Zoning Administrator  
Planning, DRB & 911 Coordinator

cc: Applicant and Engineer

PROJECT NARRATIVE

The applicants, Cline Road, LLC, are proposing a (15) lot Planned Unit Development on an undeveloped parcel located on Cline Road in the Town of Georgia. The existing parcel consists of +/- 94 acres of agricultural fields and wooded areas. The proposed development will be accessed via an existing curb cut utilized by historic farm activities, directly across from 891 Cline Road.

Proposed development will consist of a proposed 24' private road in a 60' ROW serving (14) single family dwelling units. Each lot will be served by individual drilled wells and a community wastewater system with a mound system located on Lot 15. Stormwater will be collected via roadside swales and treated in a combination of structural stormwater practices at various points within Lot 15. Open space is provided as easements within Lot 15 totaling +/- 19.42 acres (20.6%) and will be kept in ownership by Cline Road, LLC.

As stipulated during the sketch approval, every 4<sup>th</sup> unit constructed (total of 3 units) will be restricted to 1500 square feet of living space for a minimum of 5 years from the date of construction.

Per discussion and findings of the sketch hearing, the applicant is requesting the following waiver:

- Waiver of the 1500' max road length for private dead end roads. The proposed road is the minimum distance to access the developable portion of the site where all lots can be clustered to the greatest extent possible. Total proposed road length is +/- 2,460'.

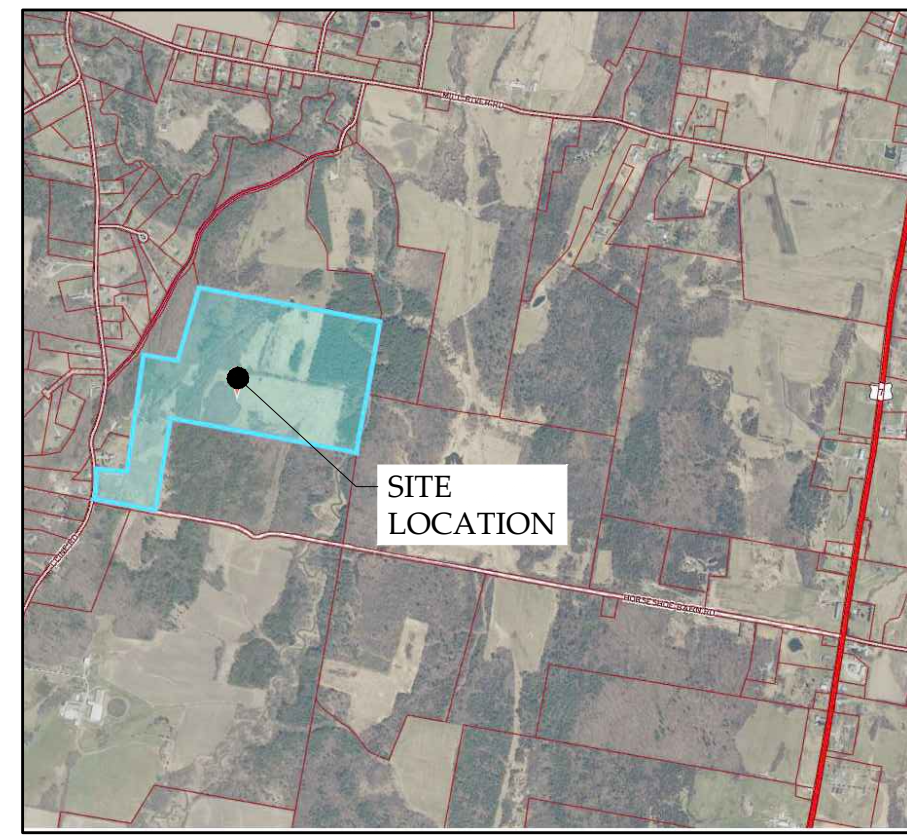
Pending State Permits:

- Potable Water and Wastewater Disposal System Permit – Pending upon approval of the Preliminary Plat.
- Wetlands Conditional Use Permit – Pending upon approval of the Preliminary Plat. The State has visited the site and given preliminary concurrence of the project given the existing farm road that has crossed the wetlands for many years.
- Construction General Permit – Pending upon approval of the Preliminary Plat. It is presumed the project will qualify as Low Risk and be subject to the State Low Risk Handbook to dictate all erosion control measures.
- Operational Stormwater Permit – Pending upon approval of the Preliminary Plat.
- Act 250 Land Use Permit – Pending upon approval of the Preliminary Plat.

Civil Planset Drawing List:

C-1 EXISTING CONDITIONS PLAN  
C-2 OVERALL DEVELOPMENT PLAN  
C-3 ROAD PLAN & PROFILE, STA. 00+00 - 09+00  
C-4 ROAD PLAN & PROFILE, STA. 09+00 - 21+50  
C-5 ROAD PLAN & PROFILE, STA. 21+50 - 24+60  
C-6 WASTEWATER PLAN & DETAILS

C-7 WASTEWATER DETAILS  
C-8 STORMWATER PLAN & DETAILS  
C-9 STORMWATER DETAILS  
C-10 MAINTENANCE PLAN  
C-11 DETAILS

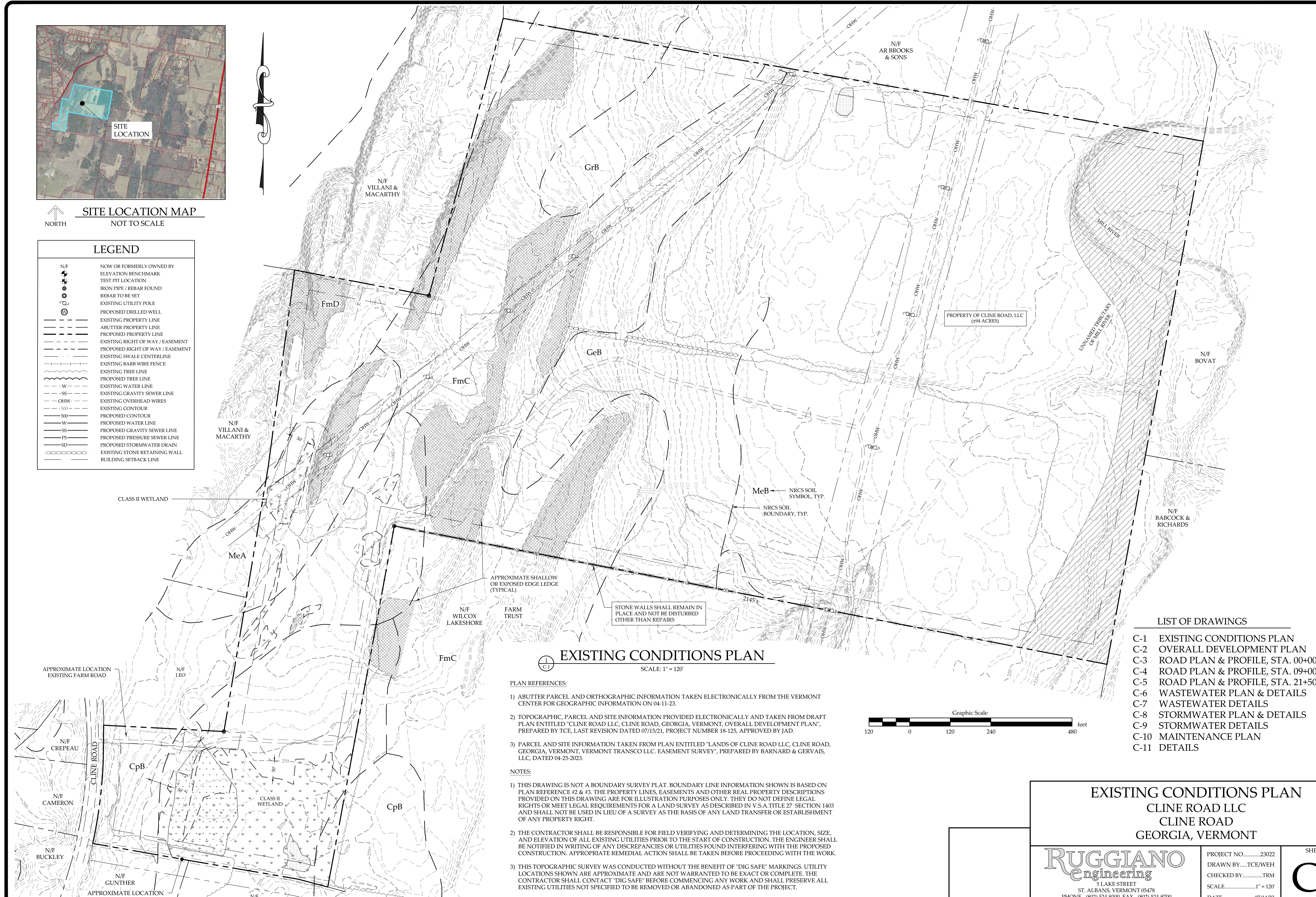


SITE LOCATION MAP  
NOT TO SCALE



LEGEND

|     |                                  |
|-----|----------------------------------|
| N/F | NOW OR FORMERLY OWNED BY         |
| ⊕   | ELEVATION BENCHMARK              |
| ⊙   | TEST PIT LOCATION                |
| ⊙   | IRON PIPE / REBAR FOUND          |
| ⊙   | REBAR TO BE SET                  |
| ⊙   | EXISTING UTILITY POLE            |
| ⊙   | PROPOSED DRILLED WELL            |
| --- | EXISTING PROPERTY LINE           |
| --- | ABUTTER PROPERTY LINE            |
| --- | PROPOSED PROPERTY LINE           |
| --- | EXISTING RIGHT OF WAY / EASEMENT |
| --- | PROPOSED RIGHT OF WAY / EASEMENT |
| --- | EXISTING SWALE CENTERLINE        |
| --- | EXISTING BARR WIRE FENCE         |
| --- | EXISTING TREE LINE               |
| --- | PROPOSED TREE LINE               |
| --- | EXISTING WATER LINE              |
| --- | EXISTING GRAVITY SEWER LINE      |
| --- | EXISTING OVERHEAD WIRES          |
| --- | EXISTING CONTOUR                 |
| --- | PROPOSED CONTOUR                 |
| --- | PROPOSED WATER LINE              |
| --- | PROPOSED GRAVITY SEWER LINE      |
| --- | PROPOSED PRESSURE SEWER LINE     |
| --- | PROPOSED STORMWATER DRAIN        |
| --- | EXISTING STONE RETAINING WALL    |
| --- | BUILDING SETBACK LINE            |



EXISTING CONDITIONS PLAN

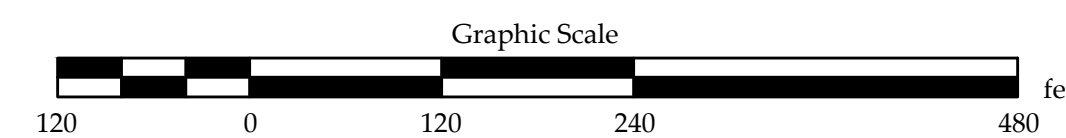
SCALE: 1" = 120'

PLAN REFERENCES:

- 1) ABUTTER PARCEL AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 04-11-23.
- 2) TOPOGRAPHIC, PARCEL AND SITE INFORMATION PROVIDED ELECTRONICALLY AND TAKEN FROM DRAFT PLAN ENTITLED "CLINE ROAD LLC, CLINE ROAD, GEORGIA, VERMONT, OVERALL DEVELOPMENT PLAN", PREPARED BY TCE, LAST REVISION DATED 07/15/21, PROJECT NUMBER 18-125, APPROVED BY JAD.
- 3) PARCEL AND SITE INFORMATION TAKEN FROM PLAN ENTITLED "LANDS OF CLINE ROAD LLC, CLINE ROAD, GEORGIA, VERMONT, VERMONT TRANSCO LLC. EASEMENT SURVEY", PREPARED BY BARNARD & GERVAIS, LLC, DATED 04-25-2023.

NOTES:

- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2 & #3. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.



LIST OF DRAWINGS

- C-1 EXISTING CONDITIONS PLAN
- C-2 OVERALL DEVELOPMENT PLAN
- C-3 ROAD PLAN & PROFILE, STA. 00+00 - 09+00
- C-4 ROAD PLAN & PROFILE, STA. 09+00 - 21+50
- C-5 ROAD PLAN & PROFILE, STA. 21+50 - 24+60
- C-6 WASTEWATER PLAN & DETAILS
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- C-8 STORMWATER PLAN & DETAILS
- C-9 STORMWATER DETAILS
- C-10 MAINTENANCE PLAN
- C-11 DETAILS

EXISTING CONDITIONS PLAN  
CLINE ROAD LLC  
CLINE ROAD  
GEORGIA, VERMONT

**RUGGIANO**  
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5 LAKE STREET  
ST. ALBANS, VERMONT 05478  
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PROJECT NO.....23022  
DRAWN BY.....TCE/WEH  
CHECKED BY.....TRM  
SCALE.....1" = 120'  
DATE.....07/14/23

SHEET NO.

C-1

1 OF 11 SHEETS





20' WIDE PEDESTRIAN EASEMENT OVER LOT 14 TO BENEFIT THE TOWN OF GEORGIA

COMMON WALKING TRAIL (TYP.)

10' GRAVEL DRIVEWAY WITH 2' GRASS SHOULDERS TO EACH LOT, (TYPICAL)

PROPOSED 24' WIDE PAVED PRIVATE ROAD WITH 2' SHOULDERS TOTAL LENGTH 2460'

PROPOSED 60' ACCESS & UTILITY EASEMENT

N/F VILLANI & MACARTHY

CLASS III WETLAND

CLASS II WETLAND

CLASS III WETLAND IMPACT 490 SQ FT 0.01 ACRES

24' WIDE ROADWAY CENTERED IN 60' ROW

CLASS III WETLAND

N/F LEO

CLASS II WETLAND BUFFER IMPACT 7,892 SQ FT 0.18 ACRES

CLASS II WETLAND IMPACT 372 SQ FT 0.01 ACRES

N/F CREPEAU

N/F CAMERON

N/F BUCKLEY

N/F GUNTHER

N/F FRASER HOLDINGS

ROADWAY TO TERMINATE IN CUL-DE-SAC

N/F VILLANI & MACARTHY

LOT SETBACK (TYPICAL)

LOT 5 1.22 AC

LOT 7 1.07 AC

LOT 15 OPEN SPACE EASEMENT ±1.29 AC

LOT 3 1.00 AC

LOT 4 1.00 AC

LOT 2 0.85 AC

LOT 1 0.85 AC

LOT 15

LOT 14 0.85 AC

LOT 13 0.82 AC

LOT 11 0.81 AC

LOT 9 0.86 AC

LOT 8 1.23 AC

LOT 6 1.09 AC

LOT 3 1.00 AC

LOT 4 1.00 AC

LOT 1 0.85 AC

LOT 2 0.85 AC

LOT 15

LOT 15 OPEN SPACE EASEMENT ±18.13 AC

LOT 15 COMMON LOT 79.87 AC

PROPERTY OF CLINE ROAD, LLC (±94 ACRES)

N/F BOVAT

N/F BARCOCK & RICHARDS

N/F WILCOX LAKESHORE FARM TRUST

N/F LEO

N/F CAMERON

N/F BUCKLEY

N/F GUNTHER

N/F FRASER HOLDINGS

N/F CREPEAU

N/F CAMERON

N/F BUCKLEY

N/F GUNTHER

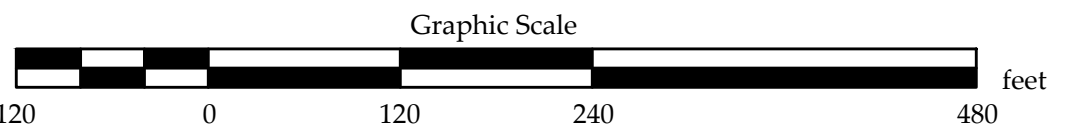
N/F FRASER HOLDINGS

N/F CREPEAU

N/F CAMERON

### OVERALL SITE PLAN

SCALE: 1" = 120'



**PURPOSE OF PLAN:**

PROPOSED 15 LOT PLANNED UNIT DEVELOPMENT WITH (14) SINGLE FAMILY HOMES. EACH LOT TO BE SERVED BY INDIVIDUAL WATER SUPPLIES AND SHARED WASTEWATER SYSTEM. REMAINING LANDS TO BE RETAINED WITH OPEN SPACE EASEMENTS.

**OWNER:**

CLINE ROAD, LLC  
7 OAK STREET  
ST. ALBANS, VT. 05478

**ZONING NOTES:**

DISTRICT: HIGH-DENSITY RESIDENTIAL (AR-1)

PUD PERIMETER SETBACK = 50 FT PLANNED UNIT DEVELOPMENT

MAX DENSITY = 5/AC/UNIT = 18 UNITS  
PROPOSED = 14 DWELLING UNITS  
OPEN SPACE = 19.42 AC = ±20.7% EXISTING PROPERTY

MIN LOT SIZE = 0.75 AC  
PUD SETBACK = 50'

**NOTE:**

EVERY 4<sup>TH</sup> UNIT CONSTRUCTED (3 UNITS TOTAL) MUST BE RESTRICTED TO 1500 SQ. FT. FOR MIN 5 YEARS AFTER CONSTRUCTION.

### OVERALL DEVELOPMENT PLAN

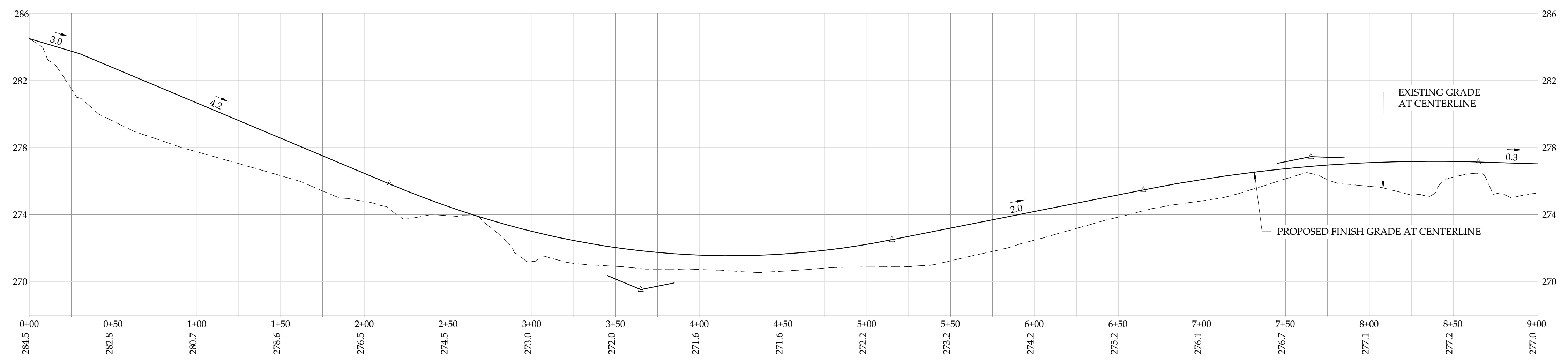
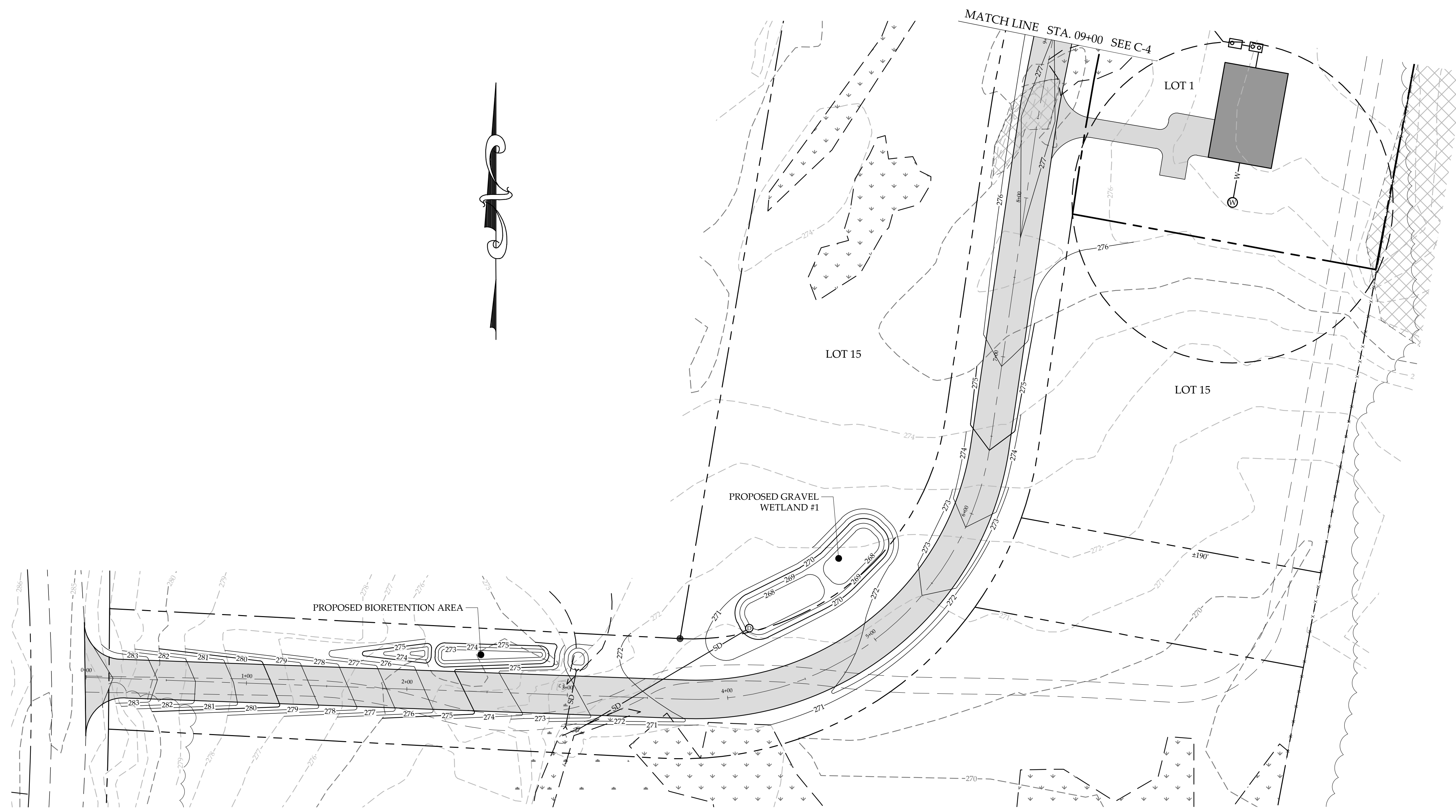
CLINE ROAD LLC  
CLINE ROAD  
GEORGIA, VERMONT

**RUGGIANO**  
Engineering

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ST. ALBANS, VERMONT 05478  
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PROJECT NO. ....23022  
DRAWN BY....TCE/WEH  
CHECKED BY.....TRM  
SCALE.....1" = 120'  
DATE.....07/14/23

SHEET NO.  
**C-2**  
2 OF 11 SHEETS



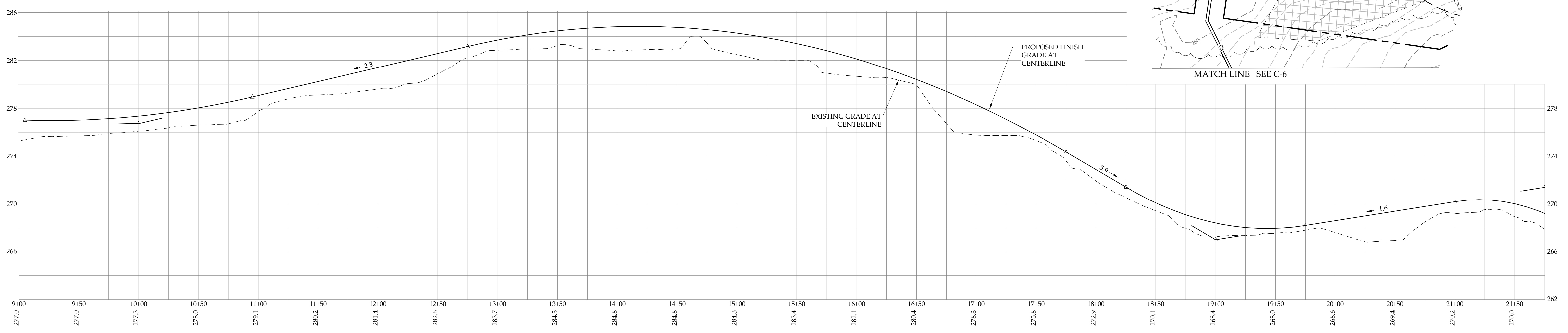
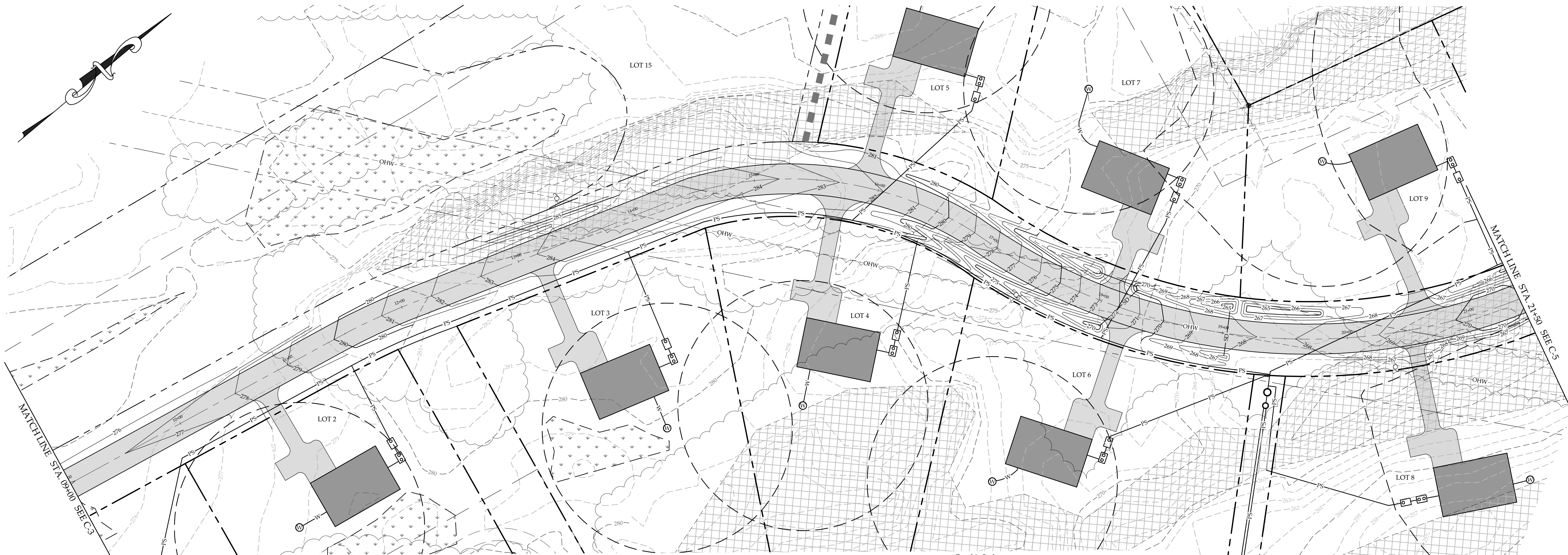
ROAD PLAN & PROFILE STA. 00+00 - 09+00  
CLINE ROAD LLC  
CLINE ROAD  
GEORGIA, VERMONT

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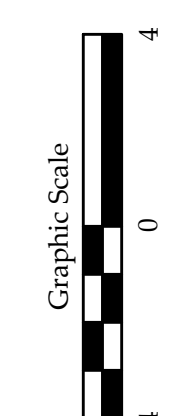
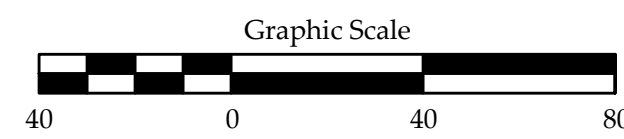
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PROJECT NO. ....23022  
DRAWN BY....TCE/WEH  
CHECKED BY.....TRM  
SCALE.....AS NOTED  
DATE.....07/14/23

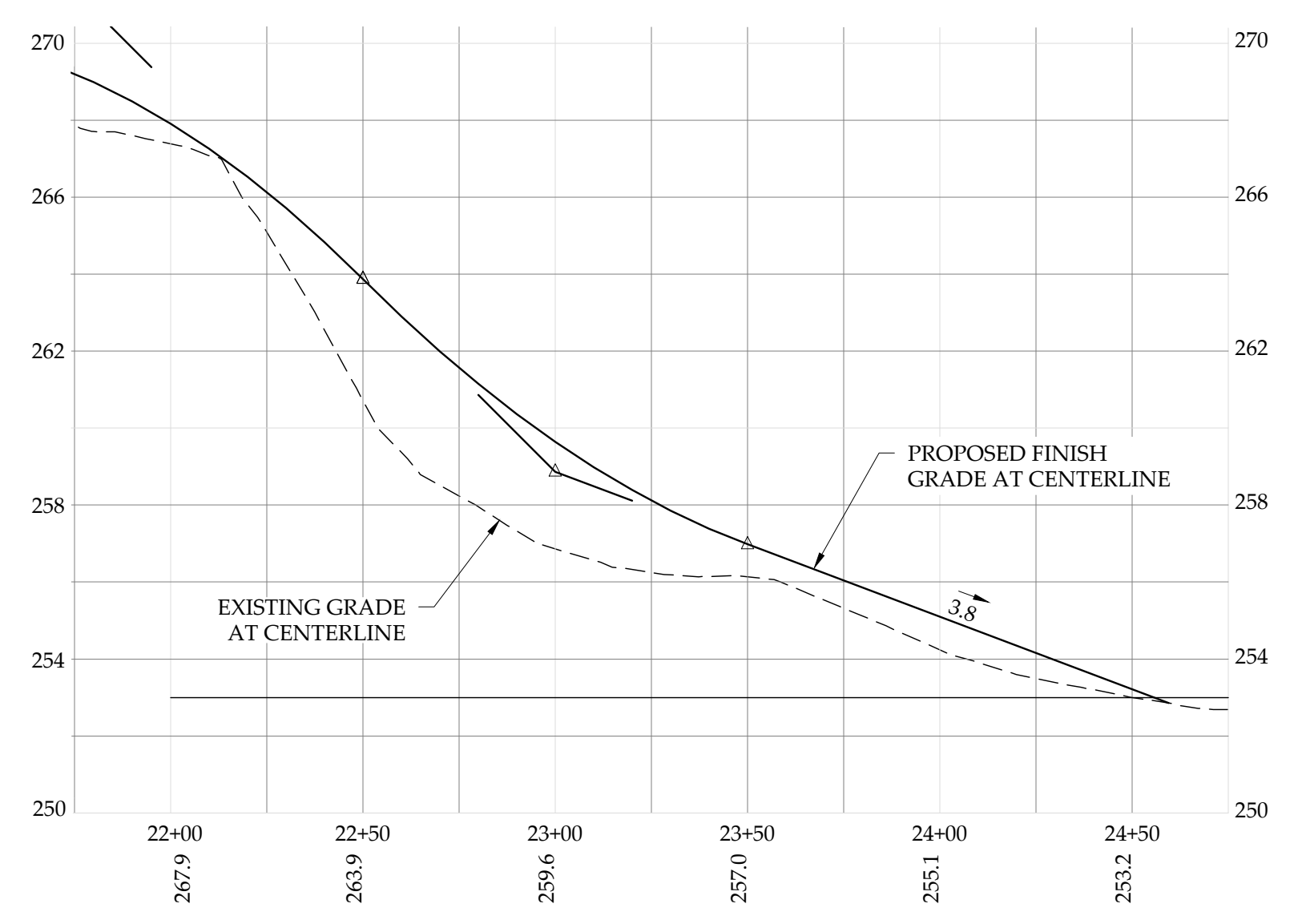
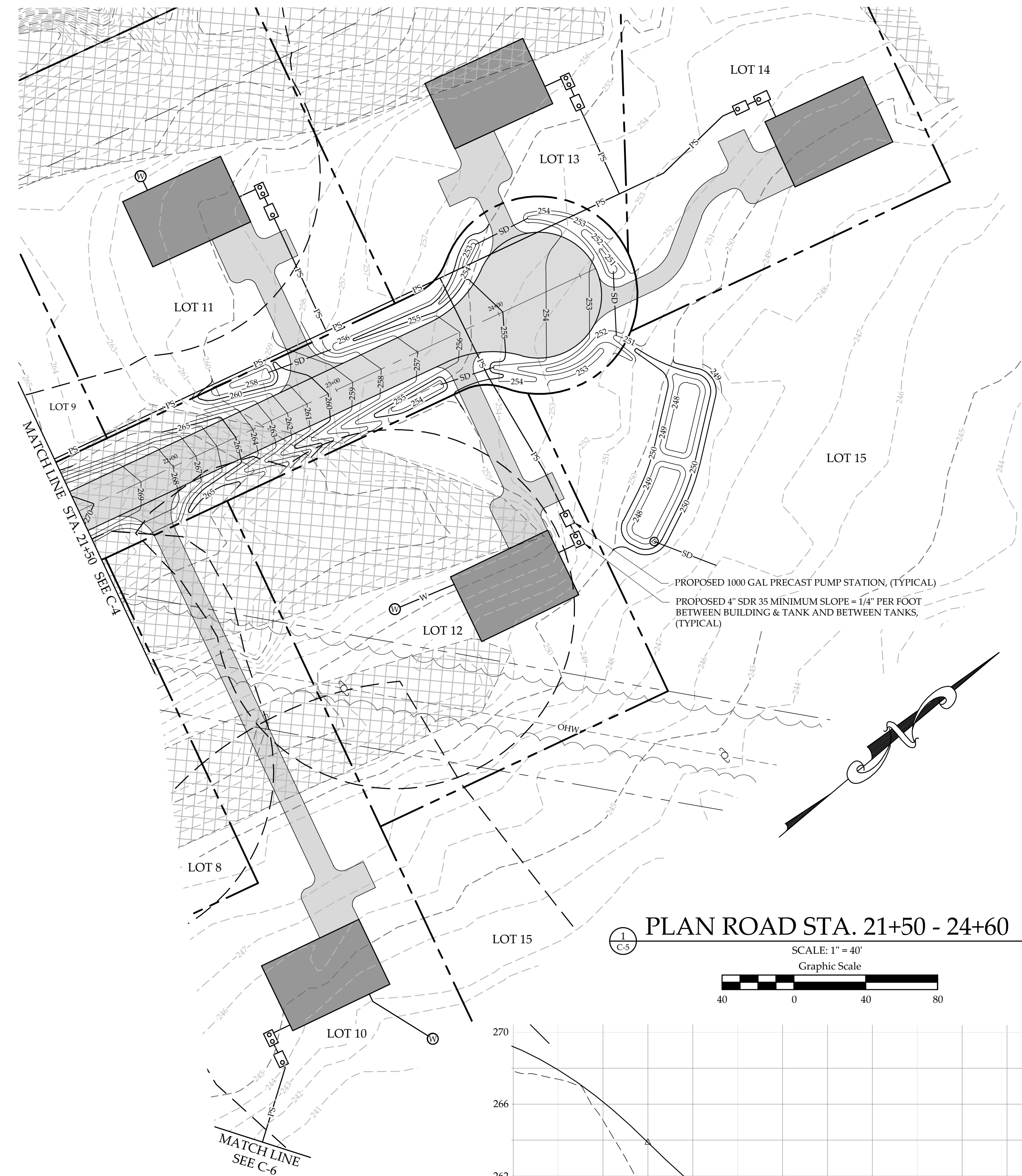
SHEET NO.  
**C-3**  
3 OF 11 SHEETS



2  
C-4



|  |   |   |
|--|---|---|
| <b>ROAD PLAN &amp; PROFILE STA. 09+00 - 21+50</b><br>CLINE ROAD LLC<br>CLINE ROAD<br>GEORGIA, VERMONT  |   |   |
| <br>RUGGIANO<br><i>Engineering</i><br>5 LAKE STREET<br>ST. ALBANS, VERMONT 05478<br>PHONE - (802) 524-9300 FAX - (802) 524-9700<br>COPYRIGHT © 2023 - RUGGIANO ENGINEERING | PROJECT NO.....23022<br>DRAWN BY.....TCE/WEH<br>CHECKED BY.....TRM<br>SCALE.....AS NOTED<br>DATE.....07/14/23 | SHEET NO.<br><b>C-4</b><br>4 OF 11 SHEETS |

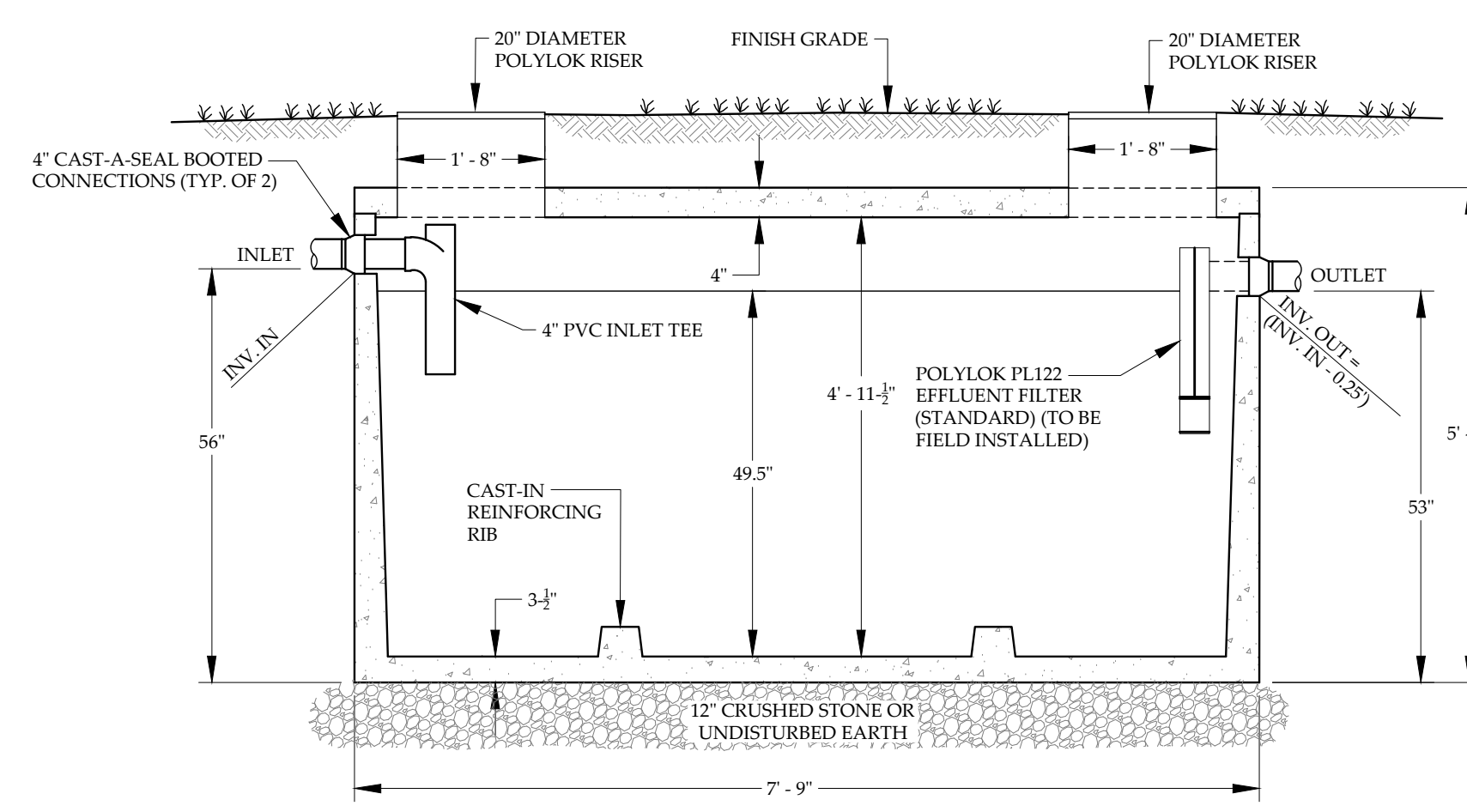


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|---|--|--|
| <p><b>ROAD PLAN &amp; PROFILE STA. 21+50 - 24+60</b><br/>CLINE ROAD LLC<br/>CLINE ROAD<br/>GEORGIA, VERMONT</p>   |  |  |
| <p><b>RUGGIANO</b><br/>Engineering</p> <p>5 LAKE STREET<br/>ST. ALBANS, VERMONT 05478<br/>PHONE - (802) 524-9300 FAX - (802) 524-9700<br/>COPYRIGHT © 2023 - RUGGIANO ENGINEERING</p> | <p>PROJECT NO. ....23022<br/>DRAWN BY....TCE/WEH<br/>CHECKED BY.....TRM<br/>SCALE.....AS NOTED<br/>DATE.....07/14/23</p> | <p>SHEET NO.<br/><b>C-5</b><br/>5 OF 11 SHEETS</p> |

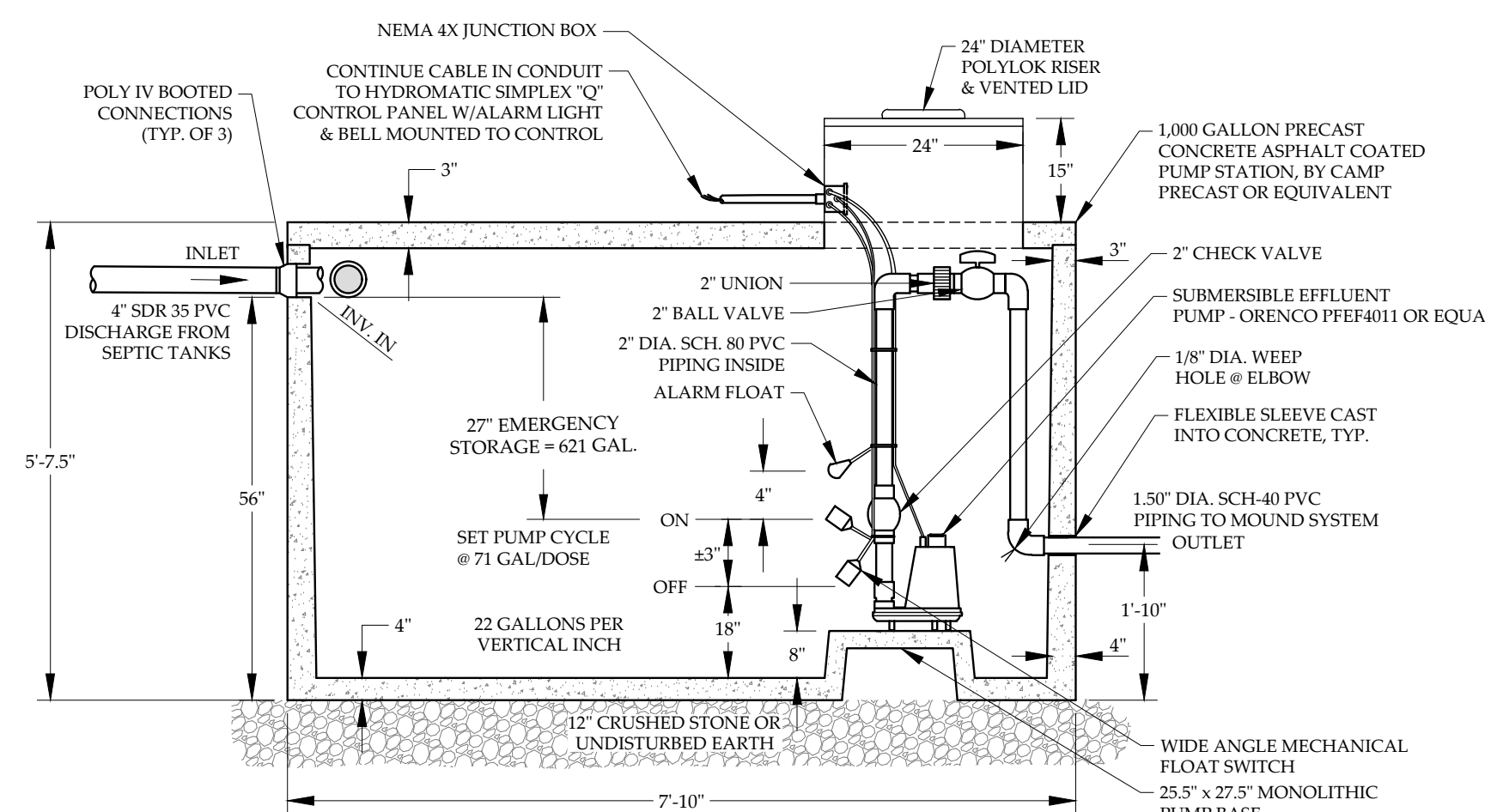


**WASTEWATER PLAN**  
 SCALE: 1" = 30'  
 Graphic Scale  
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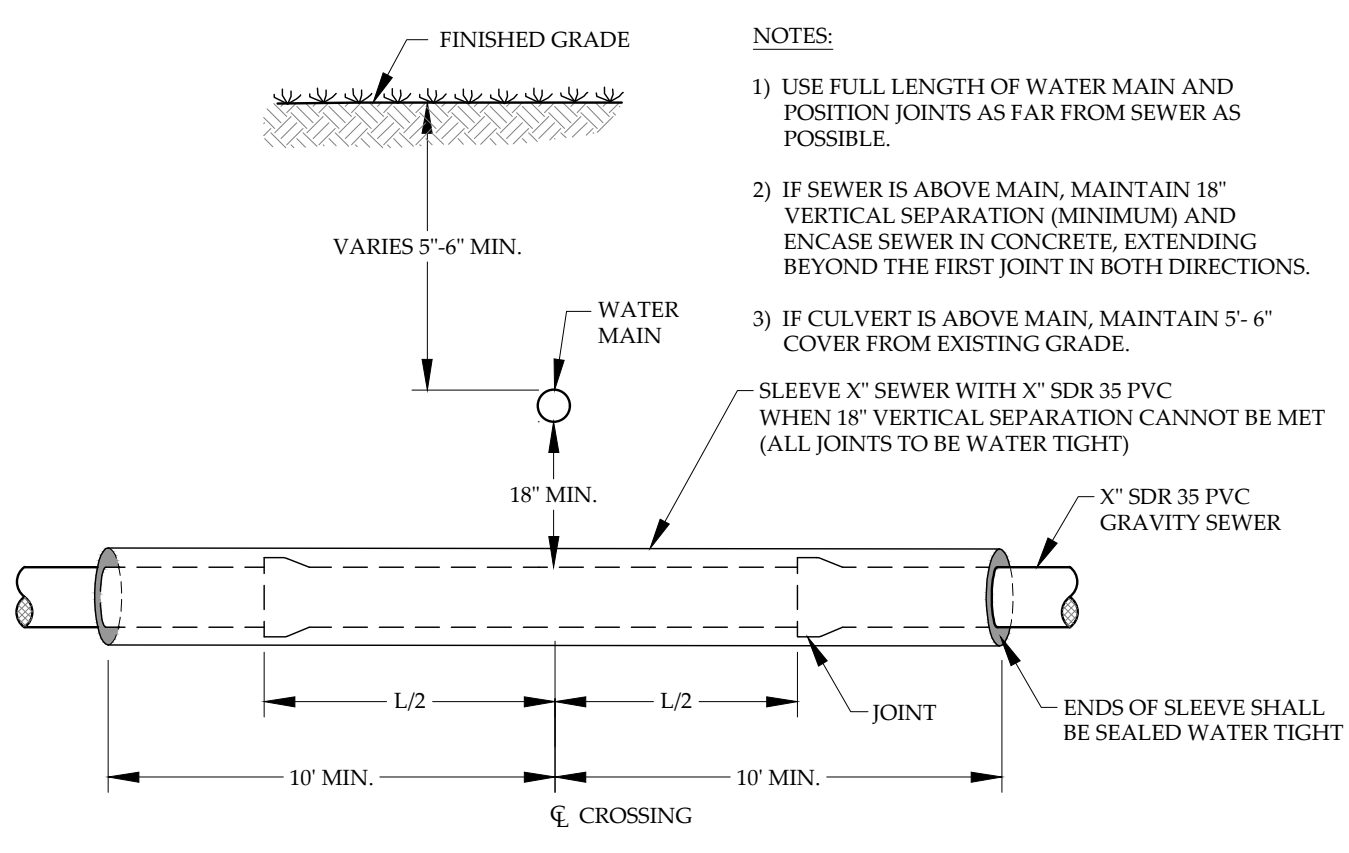
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|--|---|---|
| <b>WASTEWATER PLANS</b><br>CLINE ROAD LLC<br>CLINE ROAD<br>GEORGIA, VERMONT  |   |   |
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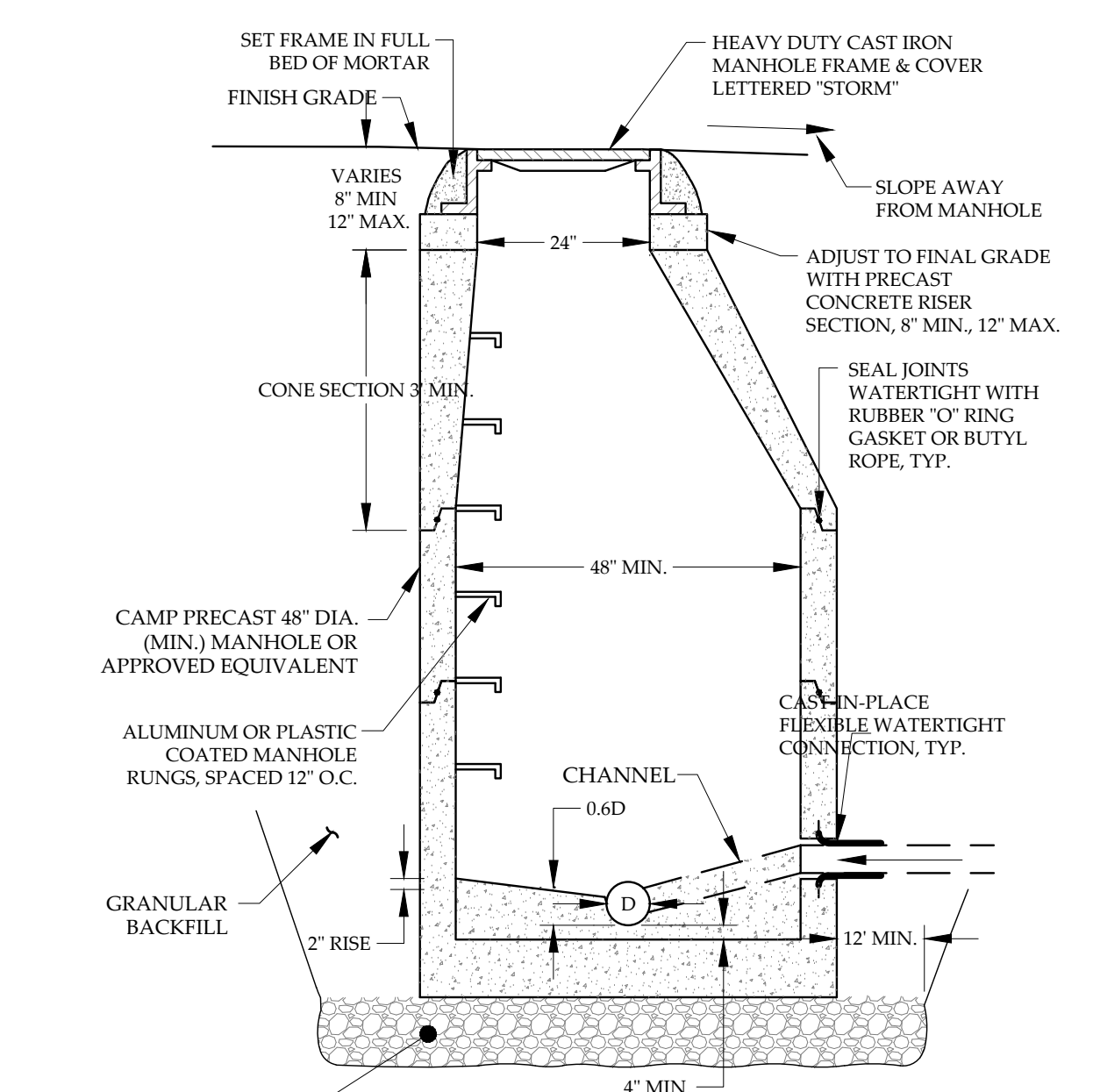
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NOT TO SCALE



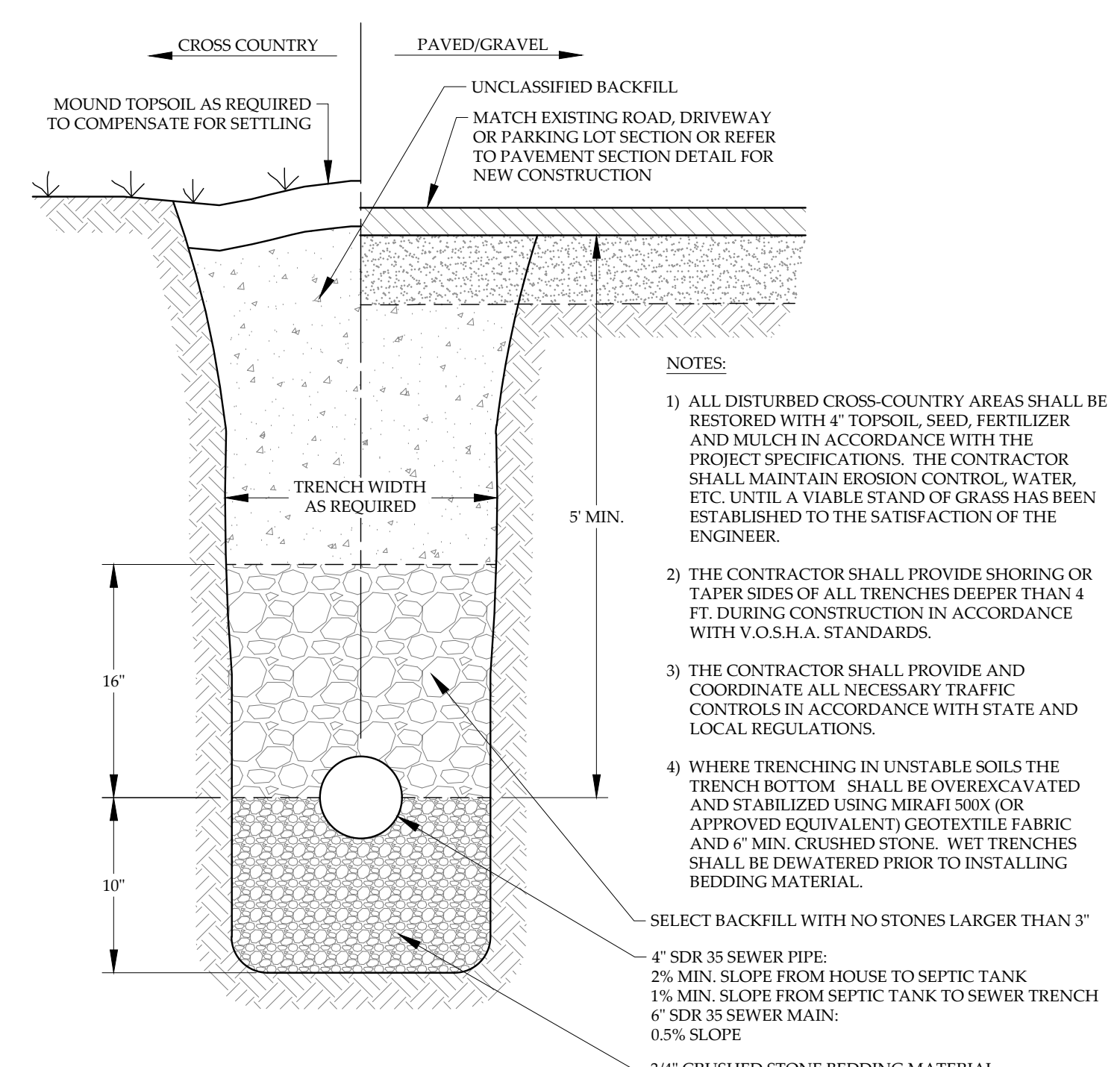
**1,000-GALLON PUMP STATION**  
NOT TO SCALE



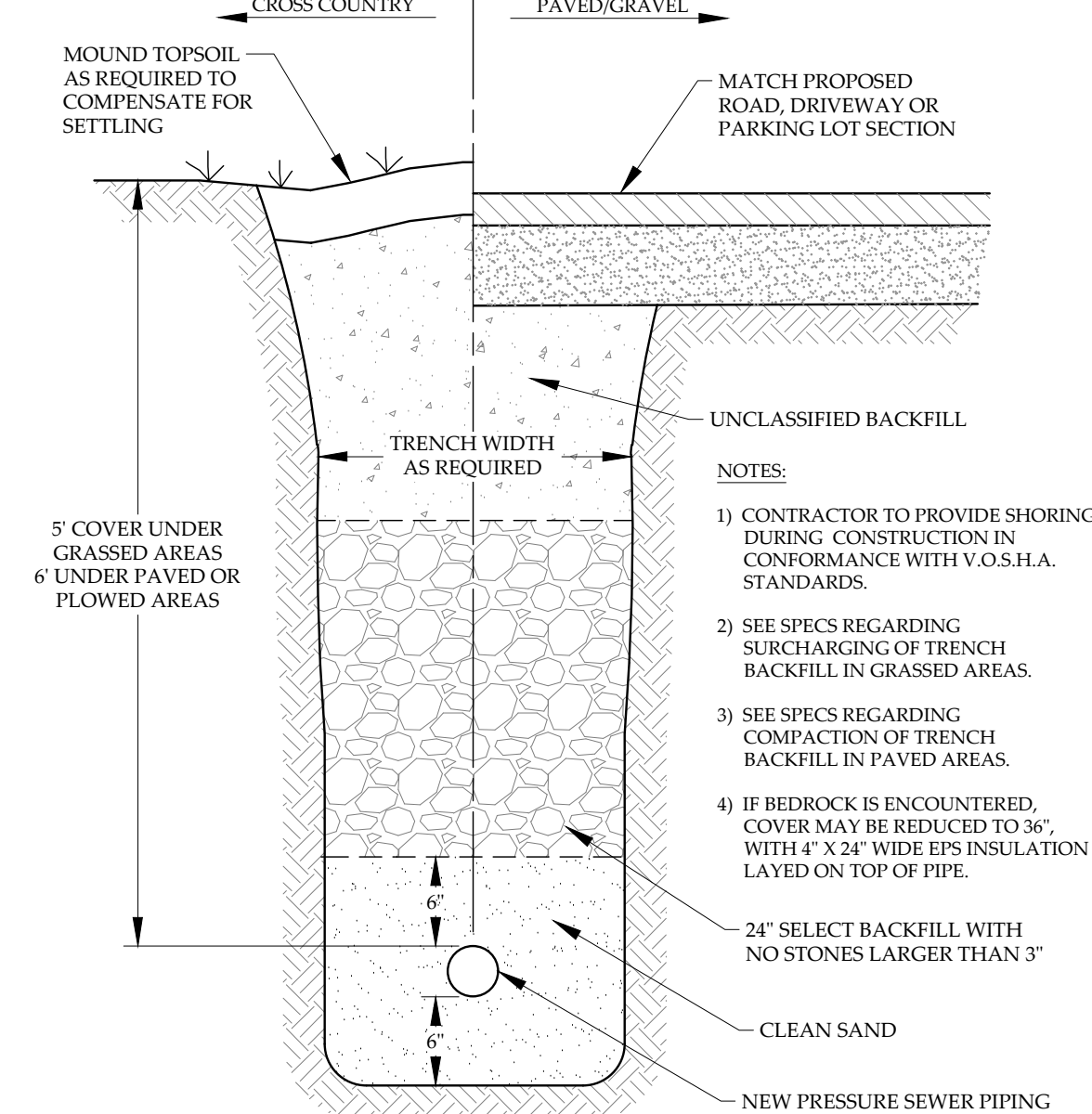
**WATER/SEWER DRAIN CROSSING**  
NOT TO SCALE



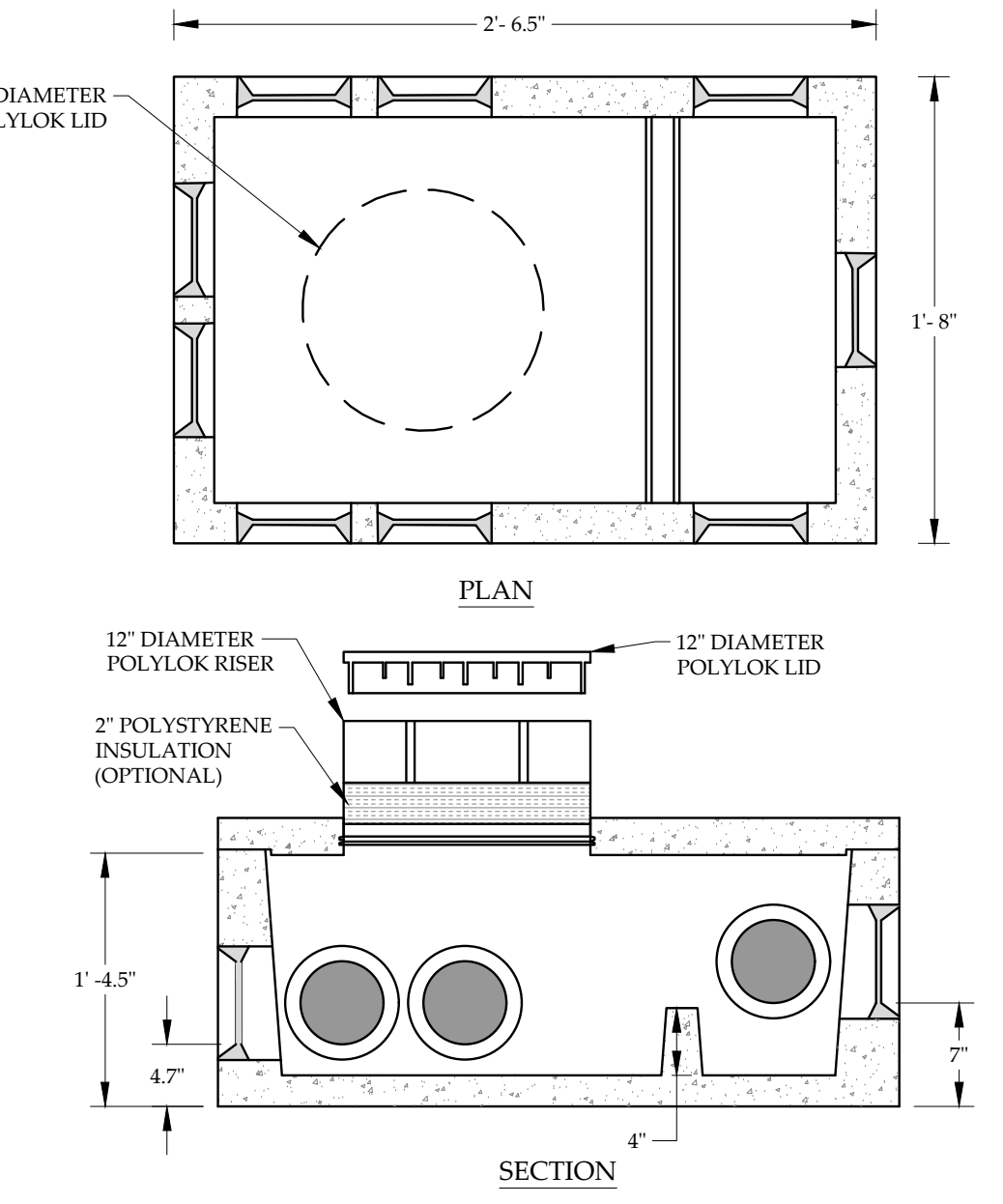
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NOT TO SCALE



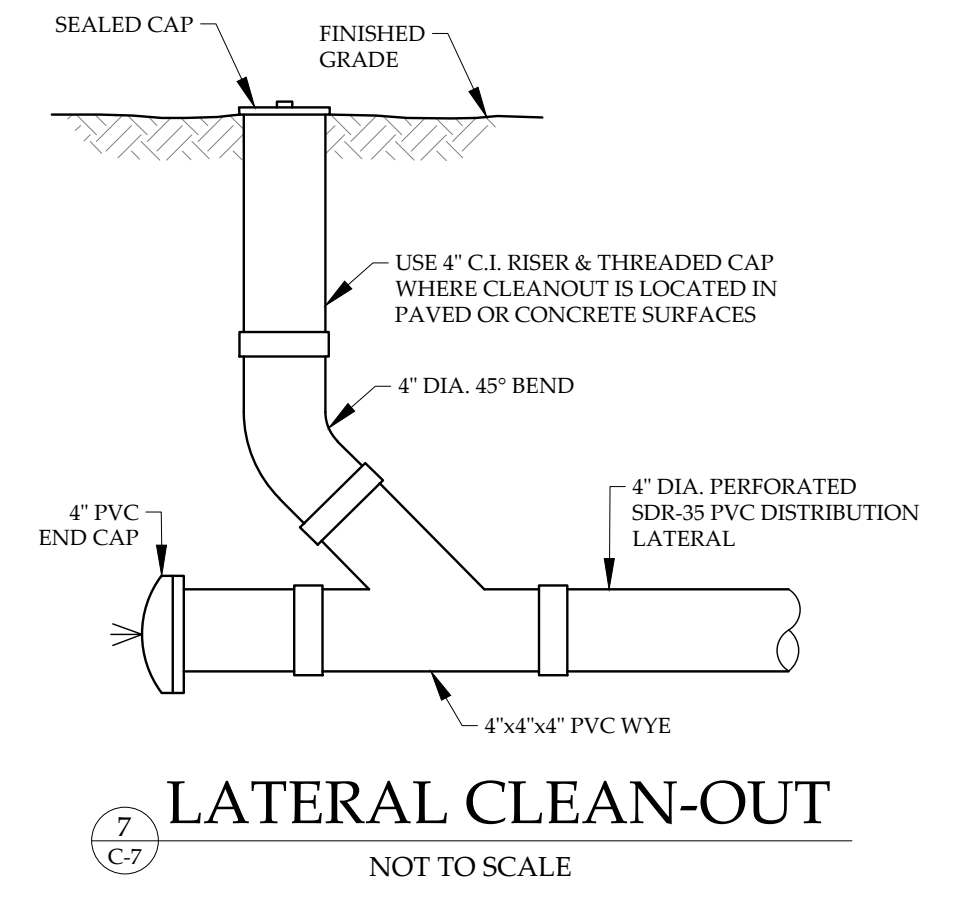
**TYPICAL SANITARY SEWER TRENCH**  
NOT TO SCALE



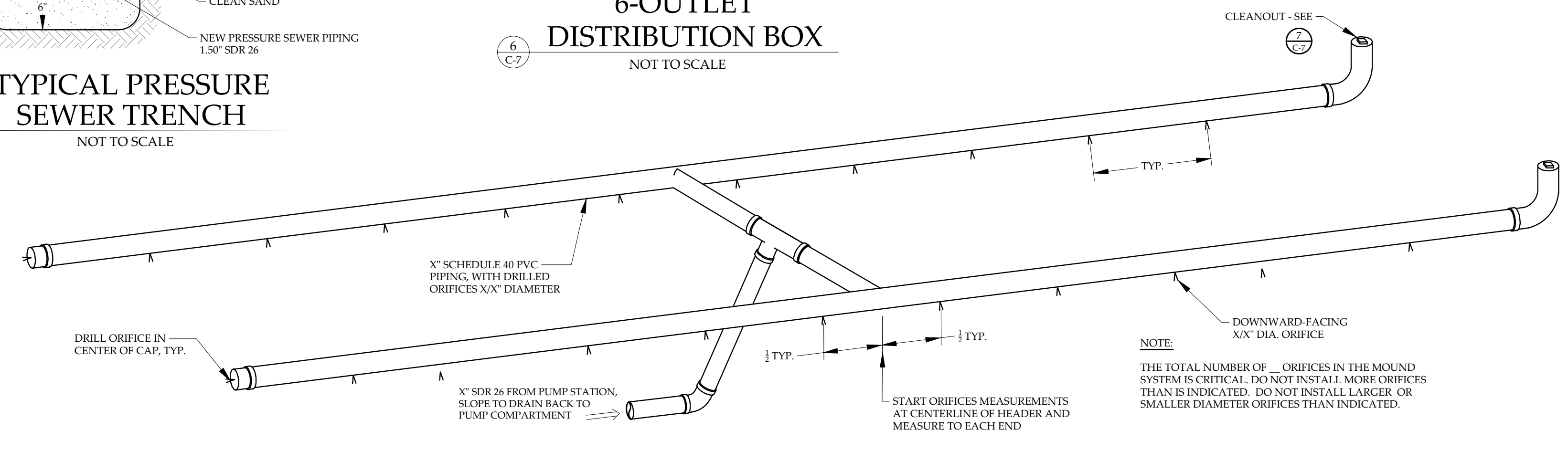
**TYPICAL PRESSURE SEWER TRENCH**  
NOT TO SCALE



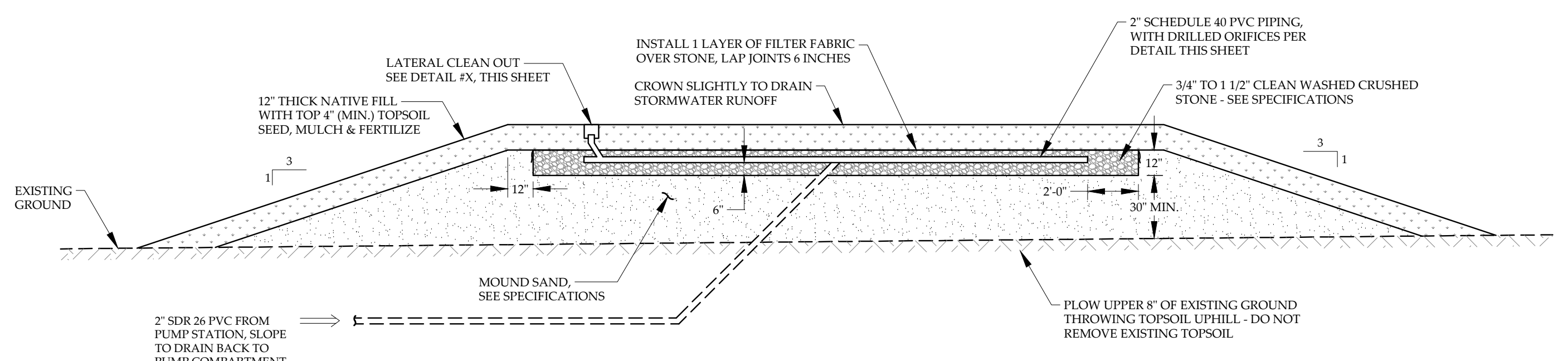
**6-OUTLET DISTRIBUTION BOX**  
NOT TO SCALE



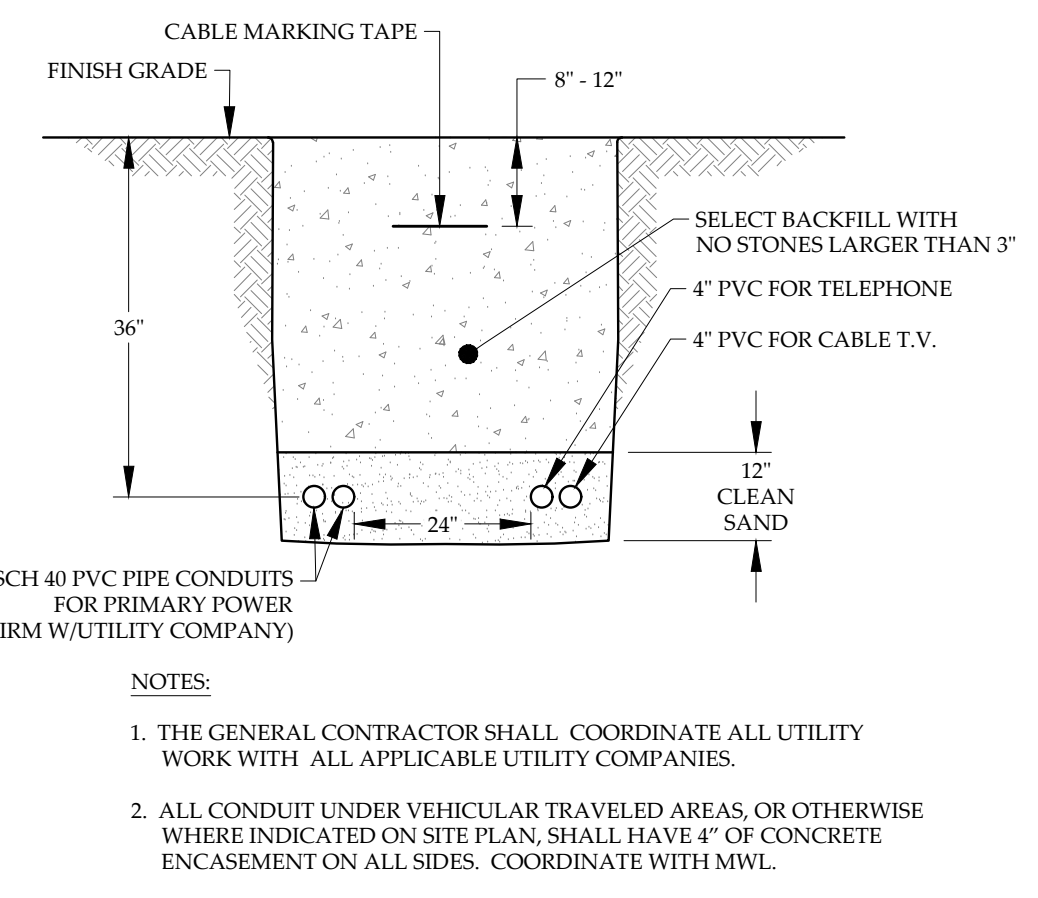
**LATERAL CLEAN-OUT**  
NOT TO SCALE



**DISTRIBUTION LATERALS**  
NOT TO SCALE



**TYPICAL MOUND SECTION**  
NOT TO SCALE



**UTILITY TRENCH**  
NOT TO SCALE

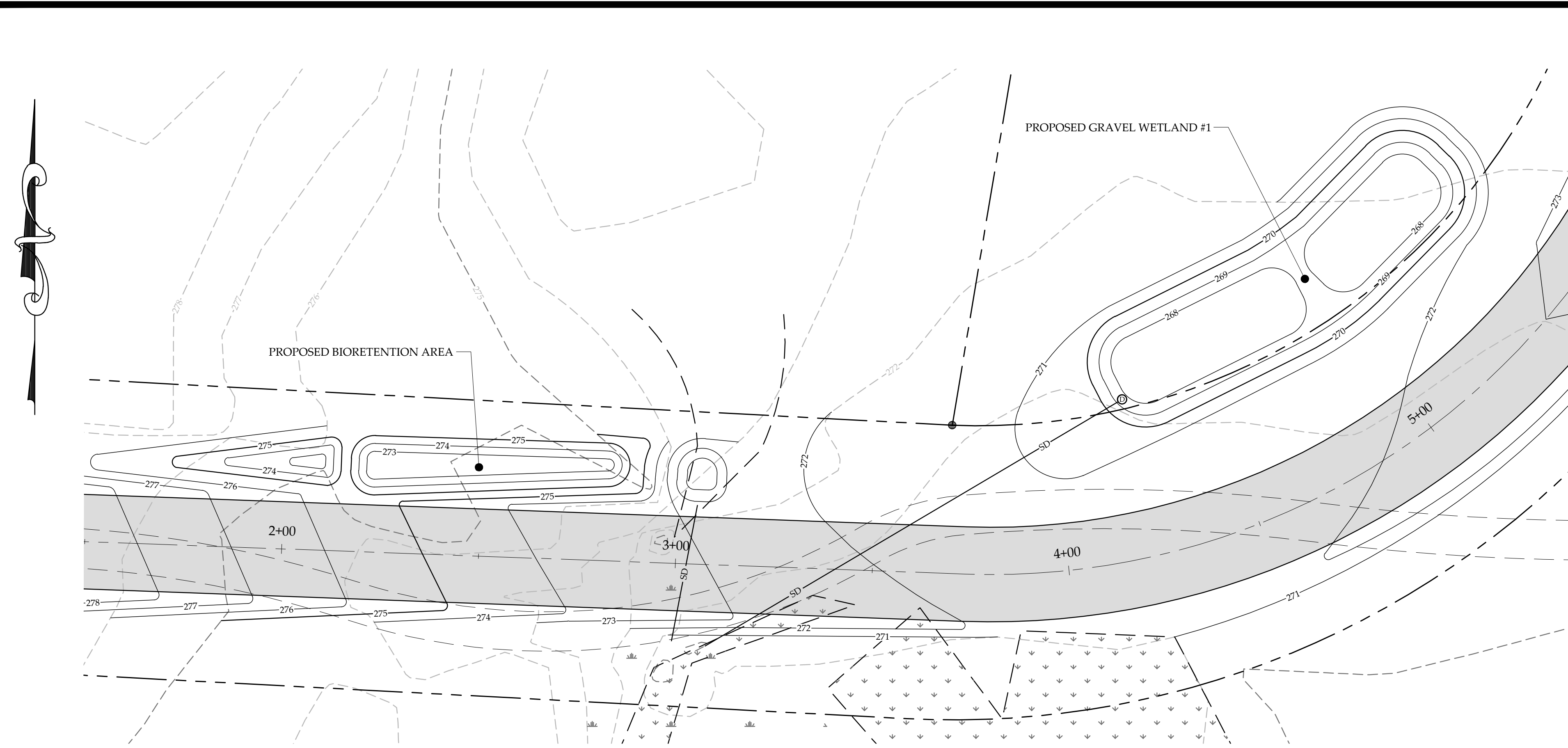
**WASTEWATER DETAILS**  
CLINE ROAD LLC  
CLINE ROAD  
GEORGIA, VERMONT

**RUGGIANO**  
engineering

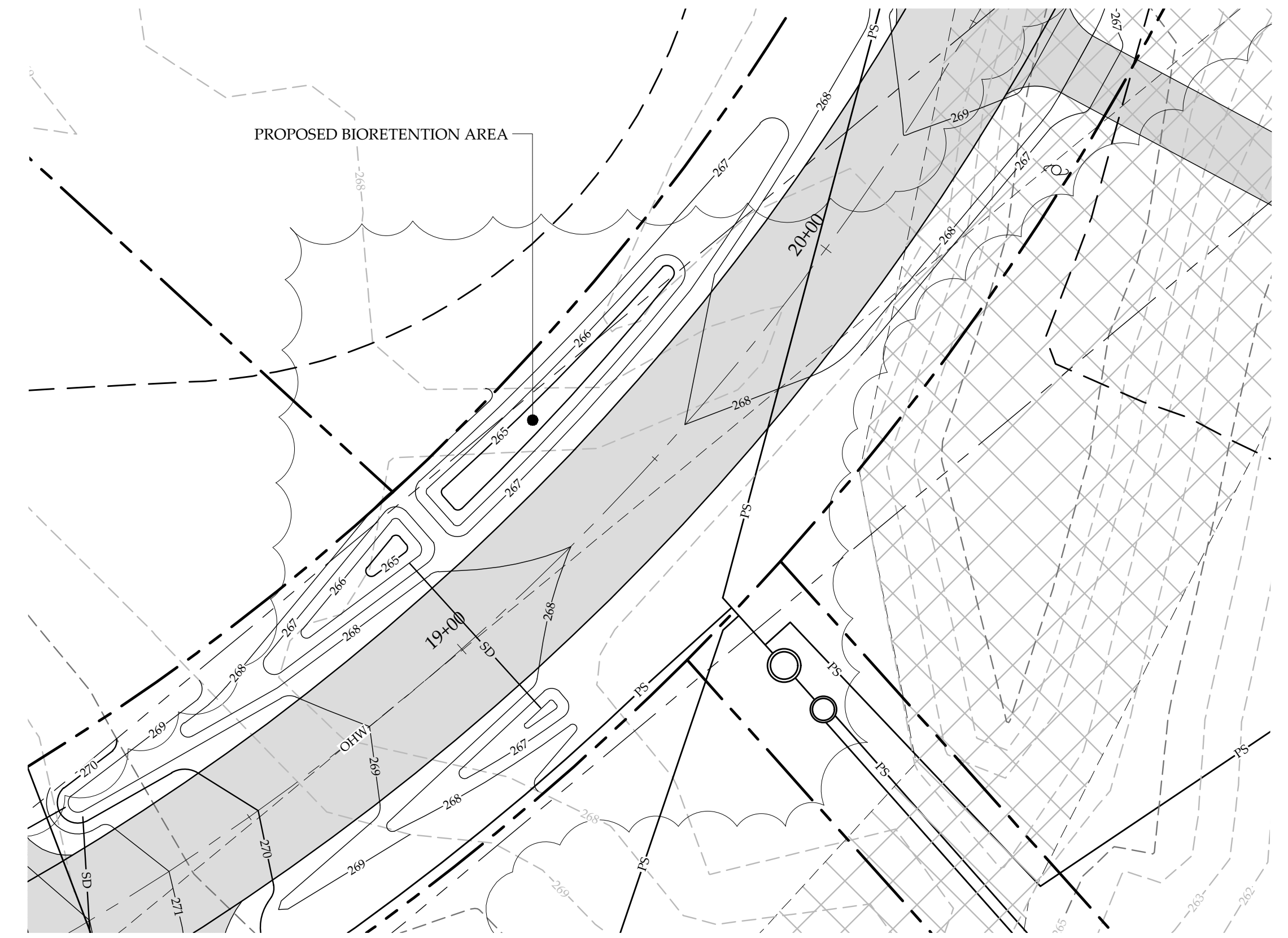
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DATE.....07/14/23

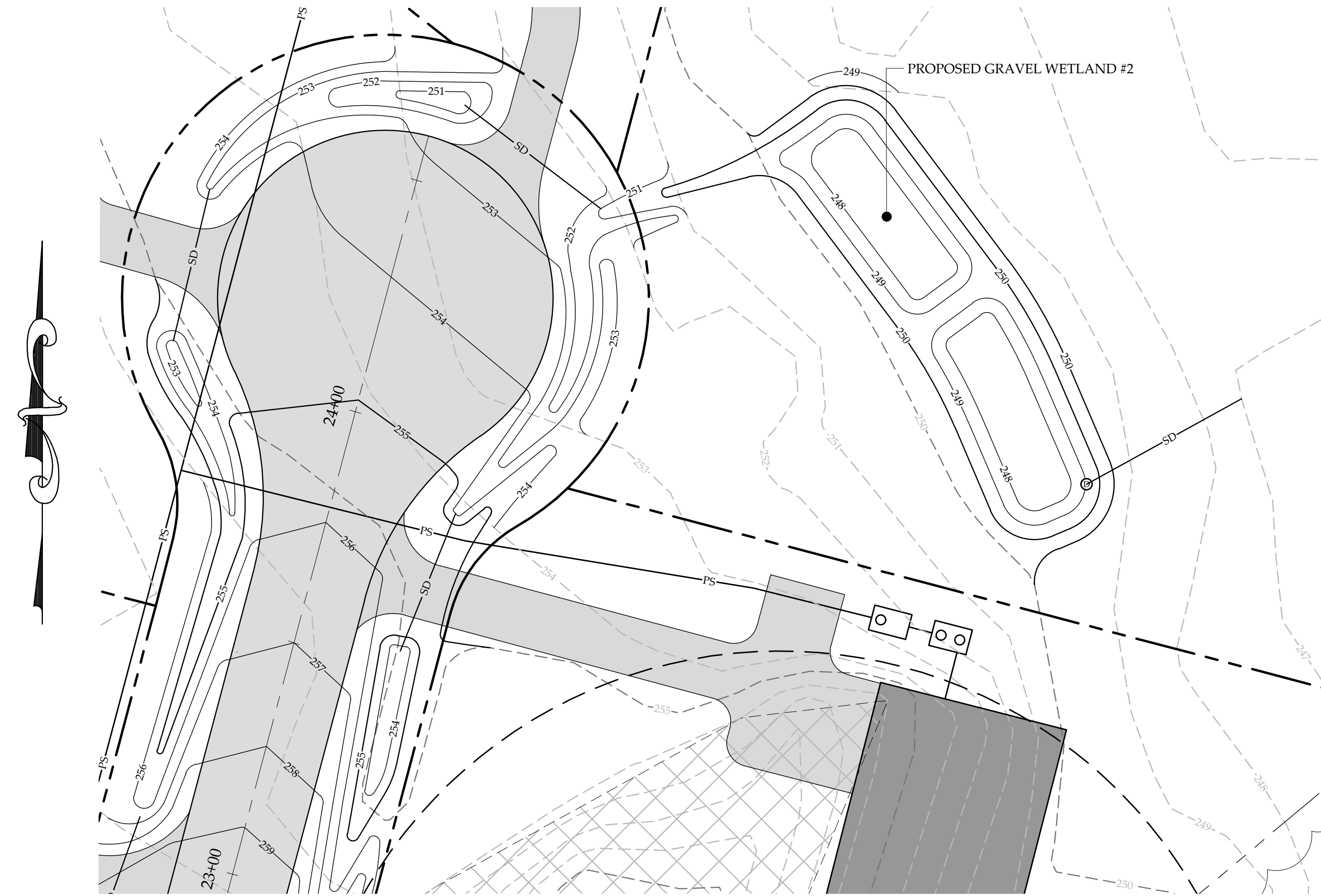
SHEET NO.  
**C-7**  
7 OF 11 SHEETS



1  
C-8  
**STORMWATER PLAN**  
SCALE: 1" = 20'  
Graphic Scale  
20 0 20 40 80 feet



2  
C-8  
**STORMWATER BIORETENTION BASIN**  
SCALE: 1" = 10'  
Graphic Scale  
10 0 10 20 40 feet



3  
C-8  
**STORMWATER PLAN**  
SCALE: 1" = 20'  
Graphic Scale  
20 0 20 40 80 feet

|  |   |   |
|--|---|---|
| <b>STORMWATER PLANS</b><br>CLINE ROAD LLC<br>CLINE ROAD<br>GEORGIA, VERMONT  |   |   |
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**POST CONSTRUCTION SOIL RESTORATION NOTES:**  
 ALL NATIVE VEGETATION AND SOIL OUTSIDE OF PROJECT AREA TO BE LEFT UNDISTURBED AND PROTECTED FROM COMPACTION DURING CONSTRUCTION. POST CONSTRUCTION SOIL RESTORATION AREAS ARE MADE UP OF ALL DISTURBED AREAS ON SLOPES LESS THAN OR EQUAL TO 3% & ARE NOT COVERED WITH IMPERVIOUS SURFACES, AN INTEGRAL PORTION OF A STORMWATER TREATMENT PRACTICE, OR STRUCTURAL FILL ONCE CONSTRUCTION IS DONE. CONTRACTOR TO IDENTIFY AREAS BEFORE START OF CONSTRUCTION AND INSTALL FENCING TO ENSURE PROTECTION. ANY AREAS THAT ARE DISTURBED AND/OR COMPACTED DURING THE COURSE OF CONSTRUCTION WILL HAVE TOPSOIL RESTORED BY MEANS OF ONE OF THE FOLLOWING METHODS:

- OPTION 1: AMEND EXISTING SITE TOPSOIL OR SUBSOIL IN PLACE.**
- SCARIFY OR TILL SUBSOILS TO 4 INCHES OF DEPTH OR TO DEPTH NEEDED TO ACHIEVE A TOTAL DEPTH OF 4 INCHES OF UNCOMPACTED SOIL. AFTER CALCULATED AMOUNT OF AMENDMENT IS ADDED, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
  - AMEND SOIL TO MEET ORGANIC CONTENT REQUIREMENTS:
    - o PRE-APPROVED RATE: PLACE 1 INCH OF COMPOSTED MATERIAL WITH AN ORGANIC MATTER CONTENT BETWEEN 40 AND 65% AND ROTOTILL INTO 3 INCHES OF SOIL, OR
    - o CALCULATED RATE: PLACE CALCULATED AMOUNT OF COMPOSTED MATERIAL OR APPROVED ORGANIC MATERIAL AND ROTOTILL INTO DEPTH OF SOIL NEEDED TO ACHIEVE 4 INCHES OF SETTLED SOIL AT 4% ORGANIC CONTENT;
  - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
  - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- OPTION 2: REMOVE AND STOCKPILE EXISTING TOPSOIL DURING GRADING.**
- STOCKPILE SOIL ON SITE IN A DESIGNATED CONTROLLED AREA, AT LEAST 50 FEET FROM SURFACE WATERS, WETLANDS, FLOODPLAINS, OR OTHER CRITICAL RESOURCE AREAS;
  - SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
  - STOCKPILED TOPSOIL SHALL ALSO BE AMENDED, IF NEEDED, TO MEET THE ORGANIC CONTENT REQUIREMENTS:
    - o PRE-APPROVED RATE: COMPOST SHALL BE INCORPORATED WITH AN ORGANIC MATTER CONTENT BETWEEN 40 AND 65% INTO THE TOPSOIL AT A RATIO 1:3, OR
    - o CALCULATED RATE: INCORPORATE COMPOSTED MATERIAL OR APPROVED ORGANIC MATERIAL AT A CALCULATED RATE TO ACHIEVE 4 INCHES OF SETTLED SOIL AT 4% ORGANIC CONTENT;
  - RAKE TO LEVEL, AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER.
- OPTION 3: IMPORT TOPSOIL MIX, OR OTHER MATERIALS FOR MIXING, INCLUDING COMPOST, OF SUFFICIENT ORGANIC CONTENT AND DEPTH.**
- SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION;
  - PLACE 4 INCHES OF IMPORTED TOPSOIL MIX ON SURFACE. THE IMPORTED TOPSOIL MIX SHALL CONTAIN 4% ORGANIC MATTER. SOILS USED IN THE MIX SHALL BE SAND OR SANDY LOAM AS DEFINED BY THE USDA;
  - RAKE BEDS TO SMOOTH AND REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER; AND
  - WATER OR ROLL TO COMPACT SOIL IN TURF AREAS TO 85% OF MAXIMUM DRY DENSITY.
- NOTE:** CONTRACTOR TO VERIFY SOIL RESTORATION AFTER CONSTRUCTION BY MEANS OF SOIL SAMPLING. SOIL SAMPLING PROCEDURES INCLUDE NINE 8-INCH DEEP TEST HOLES PER ACRE AND SHALL BE AT LEAST 50 FEET APART FROM EACH OTHER. SAMPLE HOLES TO BE DUG BY SHOVEL DRIVEN BY CONTRACTOR'S WEIGHT ALONE.

**STORMWATER MAINTENANCE NOTES:**

- STORMWATER MAINTENANCE NOTES:**
- KEEP FOREBAY & SIDESLOPES FREE OF WOODY VEGETATION.
  - CLEAR FOREBAY BASIN BOTTOM OF ACCUMULATED SEDIMENT AS NEEDED.
  - MONITOR AND MAINTAIN LEVEL SPREADER AND DOWNSLOPE AREA FOR EVEN SHEET FLOW.
  - MONITOR FOR EROSION AND REPAIR PROMPTLY.
  - MAINTAIN VIGOROUS, DENSE VEGETATIVE GROWTH ABOVE NORMAL WATER LEVEL AT ALL TIMES. MOW OR BRUSH HOG MINIMUM TWICE DURING GROWING SEASON TO CONTROL GROWTH.

**SWALES**

- MAINTAIN VIGOROUS, DENSE VEGETATIVE GROWTH AT ALL TIMES IN RIP RAPPED AREAS, MONITOR FOR SEDIMENT ACCUMULATION AND REMOVE/REPLACE IF VOID SPACES ARE LOGGED.
- MONITOR CHECK DAMS FOR PROPER HEIGHT. REMOVE ACCUMULATED SEDIMENT AS NEEDED.
  - MONITOR FOR EROSION AND REPAIR PROMPTLY.

**EPSC NOTES:**

**PRE-CONSTRUCTION**

- 1) IN ACCORDANCE WITH MODERATE RISK CONSTRUCTION STORMWATER PERMIT, NOTIFICATION OF ONSITE PLAN COORDINATOR MUST BE FILED WITH STATE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2) ALL SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED PRIOR TO INITIATING PRIMARY EARTHWORK ACTIVITIES.
- 3) STABILIZATION OF OPERATIONAL STORMWATER TREATMENT PRACTICES MUST BE COMPLETED PRIOR TO DIRECTING ANY RUNOFF TO THEM.

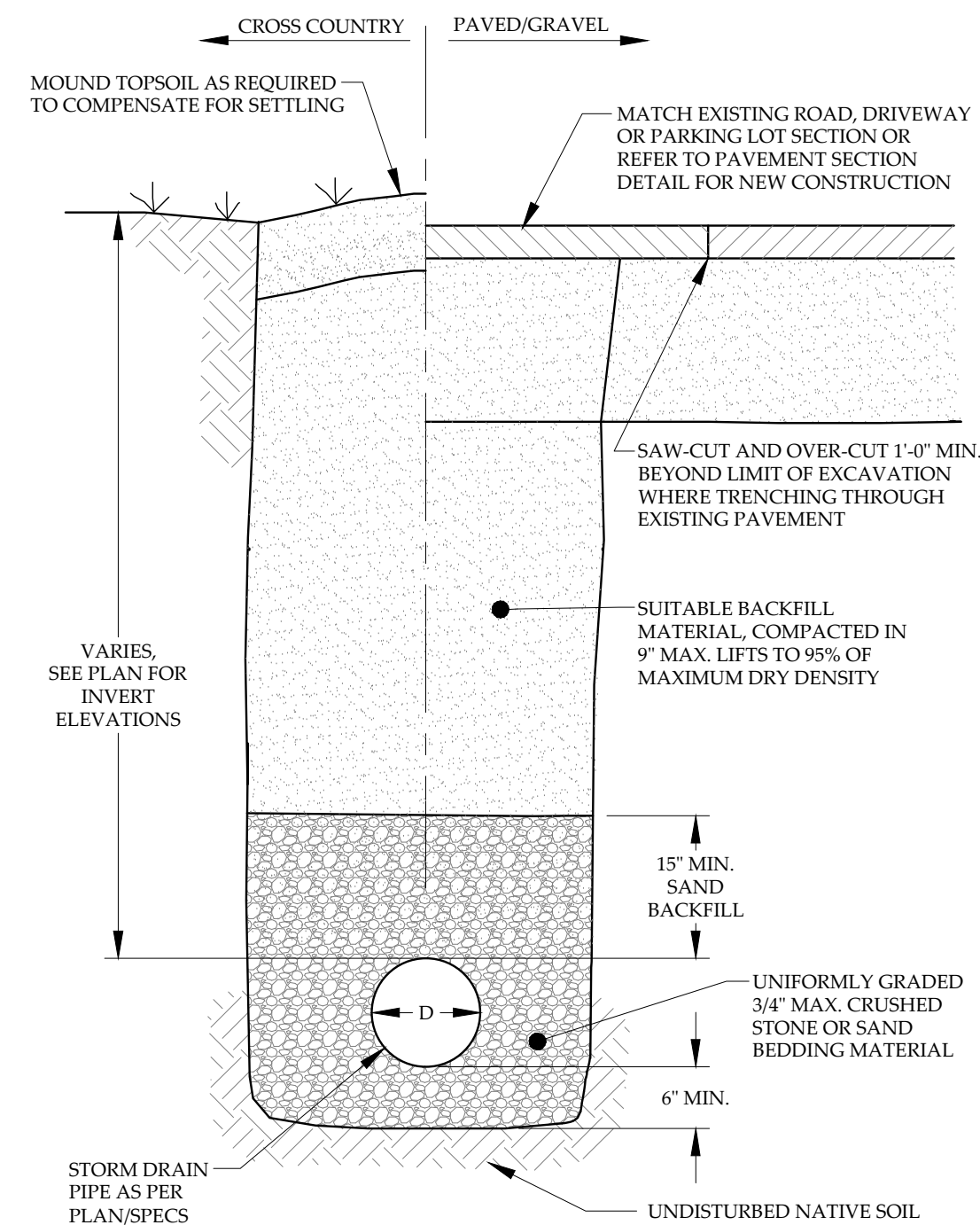
**CONSTRUCTION**

- 4) CONSTRUCTION SCHEDULE AND PHASING SHALL BE COORDINATED TO MINIMIZE CONCURRENT EARTH DISTURBANCE. **NOTE: MAX CONCURRENT EARTH DISTURBANCE AT ANY ONE TIME SHALL BE 2.0 ACRES.**
- 5) ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 7 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY. THE FOLLOWING EXCEPTIONS APPLY:
  - a) STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
  - b) STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. FOUNDATION EXCAVATION, UTILITY TRENCHES).
- 6) WINTER CONSTRUCTION IS NOT ANTICIPATED FOR THIS PROJECT. IF ANY CONSTRUCTION IS PROPOSED OUTSIDE OF THE GROWING SEASON (OCT 15 - APR 15) APPROPRIATE WINTER CONSTRUCTION EPSC MEASURES MUST BE IMPLEMENTED PER THE GENERAL PERMIT 3-9020.
- 7) INSPECTIONS OF CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY THE ONSITE PLAN COORDINATOR EVERY 7 DAYS (MINIMUM) OR AS DICTATED BY STATE PERMIT.
- 8) ALL STOCKPILE AND STAGING AREAS TO BE DETERMINED BY CONTRACTOR AND SUBJECT TO STATE CONSTRUCTION STORMWATER REGULATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR DESIGN, APPROVAL AND IMPLEMENTATION OF ALL EPSC MEASURES INCLUDING SEDIMENT/RUNOFF CONTROLS, STABILIZATION AND RESTORATION.
- 9) FIBER ROLLS MAY BE IMPLEMENTED ON AN AS-NEEDED BASIS FOR SLOWING RUNOFF ON STEEPER SLOPES - CONTRACTOR TO USE MANUFACTURED PRODUCT AND INSTALL ACCORDING TO MANUFACTURER RECOMMENDATIONS. ROLLS TO BE INSTALLED PARALLEL TO CONTOURS, KEYED INTO SLOPES AND SECURED WITH STAKES TO PREVENT BLOWOUTS OR CONCENTRATIONS.

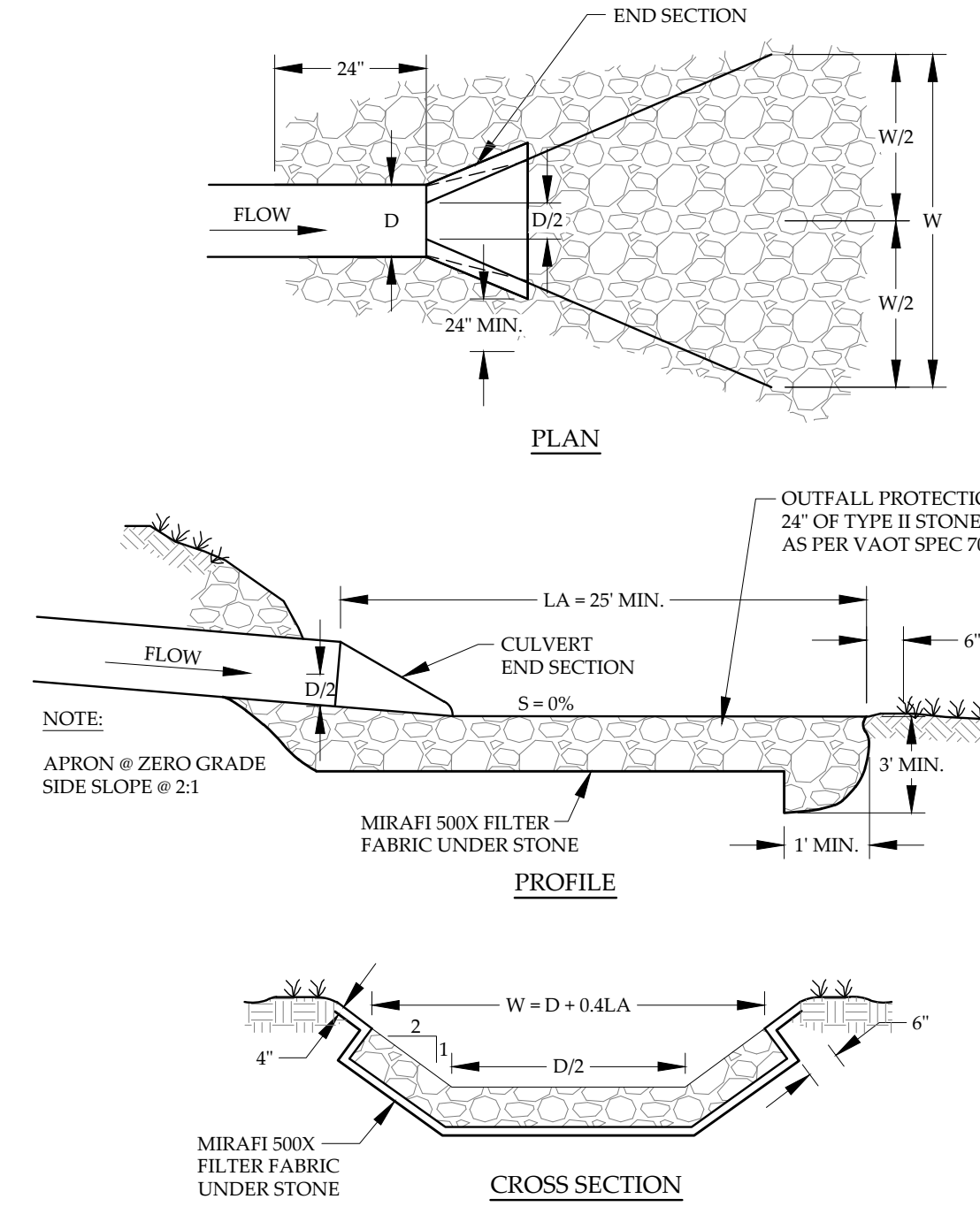
**STABILIZATION**

- 10) ALL DISTURBED AREAS TO BE VEGETATED AND STABILIZED WITH ROLLED EROSION CONTROL MATTING UNLESS OTHERWISE NOTED ON THE PLANS. SEE DETAIL 10/C-4.
- 11) TOPSOIL AMENDMENTS SHALL BE MADE AS NECESSARY TO PROVIDE NUTRIENT AND pH LEVELS REQUIRED FOR SEED MIX. FOR VEGETATION ESTABLISHMENT PRIOR TO SEPT 15, USE THE FOLLOWING SEED MIX:

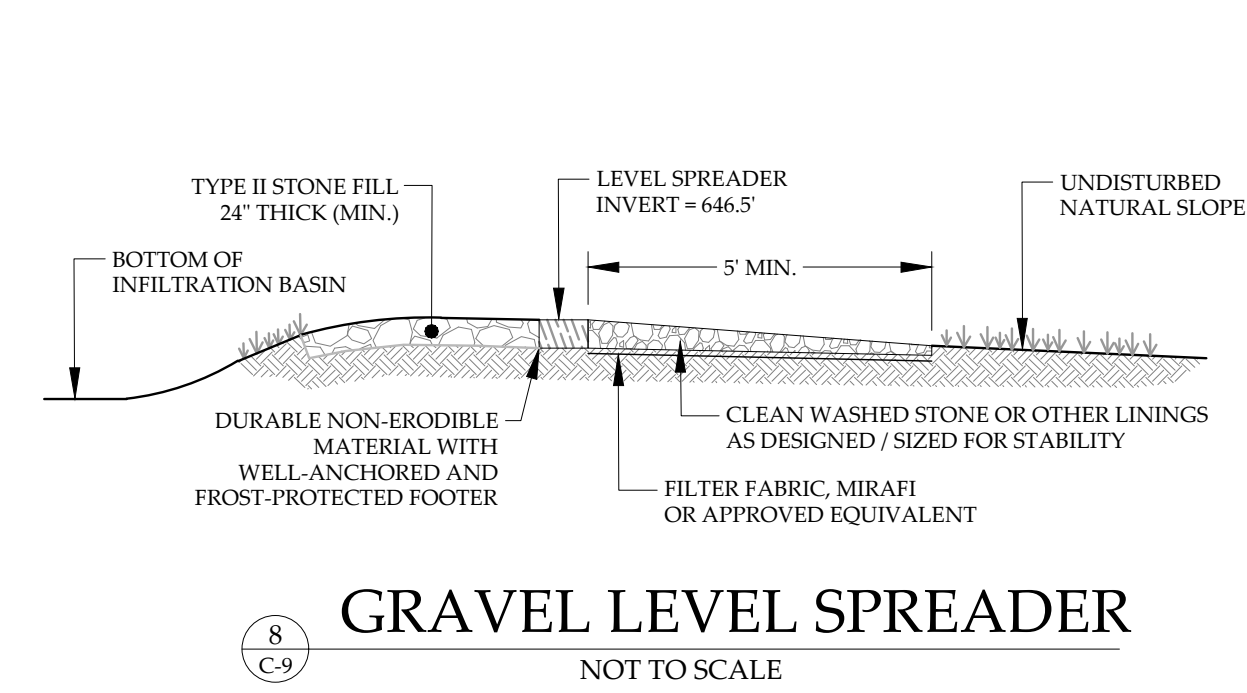
|                       | PROPORTION | PURITY | GERMINATION |
|-----------------------|------------|--------|-------------|
| CREeping RED FESCUE   | 60%        | 85%    | 97%         |
| MERION, KY. BLUEGRASS | 25%        | 85%    | 95%         |
| RED TOP               | 15%        | 85%    | 90%         |



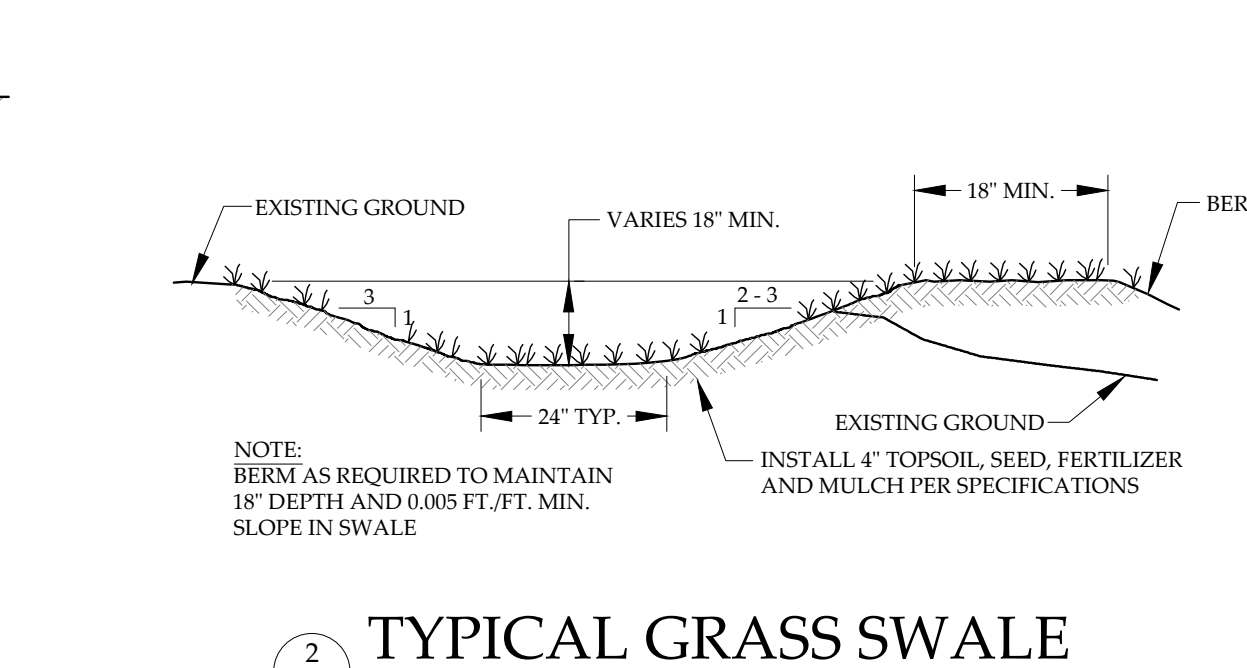
**1 C-9** TYPICAL STORM DRAIN TRENCH NOT TO SCALE



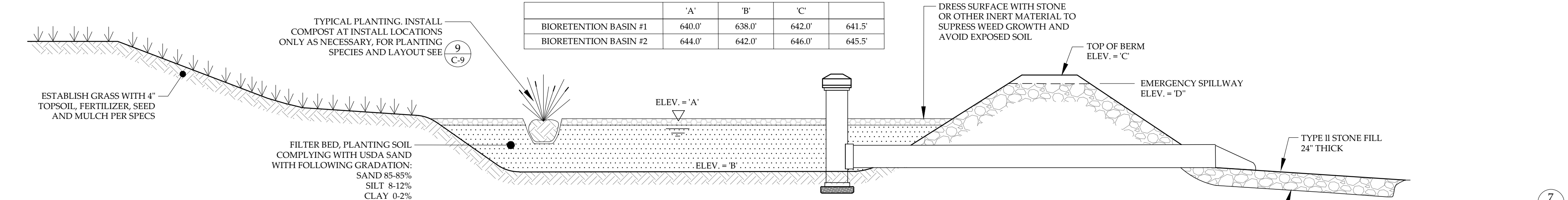
**2 C-9** CULVERT OUTLET DETAIL NOT TO SCALE



**8 C-9** GRAVEL LEVEL SPREADER NOT TO SCALE

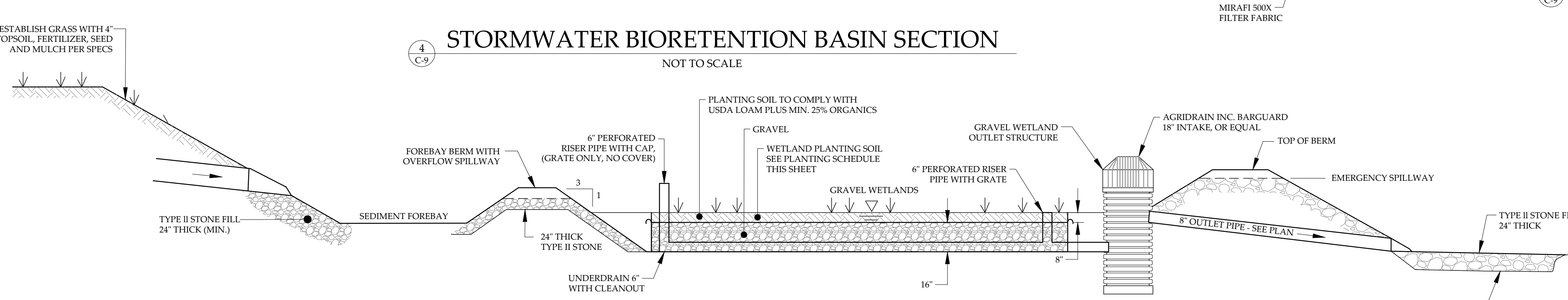


**2 C-4** TYPICAL GRASS SWALE

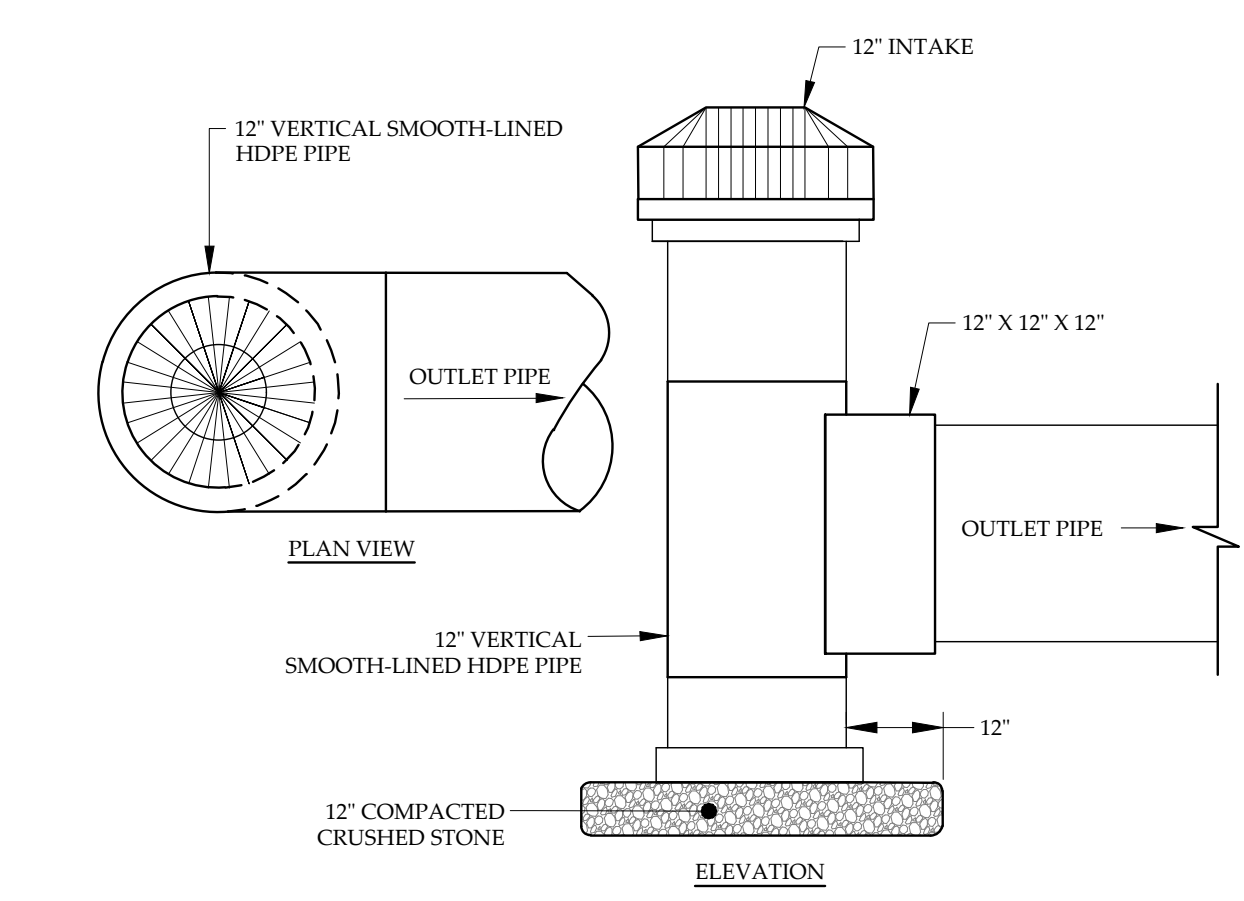


**4 C-9** STORMWATER BIORETENTION BASIN SECTION NOT TO SCALE

|                       | 'A'    | 'B'    | 'C'    |        |
|-----------------------|--------|--------|--------|--------|
| BIORETENTION BASIN #1 | 640.0' | 638.0' | 642.0' | 641.5' |
| BIORETENTION BASIN #2 | 644.0' | 642.0' | 646.0' | 645.5' |



**5 C-9** PROPOSED GRAVEL WETLAND SECTION NOT TO SCALE



**6 C-9** DRAINAGE STRUCTURE NOT TO SCALE

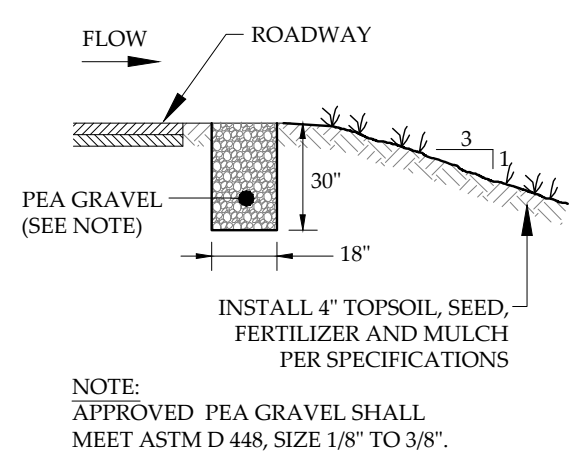
**Proposed Plant List**

| Trees Key | Quantity | Symbol | Scientific Name    | Common Name        | Size                  |
|-----------|----------|--------|--------------------|--------------------|-----------------------|
| As        | 23       | As     | Acer Saccharum     | Sugar Maple        | 2.5' - 3' cal.        |
| Bp        | 7        | Bp     | Betula Papyrifera  | Paper Birch        | 2' - 2.5' cal.        |
| Qa        | 4        | Qa     | Quercus Alba       | White Oak          | 2.5' cal.             |
| Pg        | 13       | Pg     | Picea glauca       | White Spruce       | 5' - 6' tall          |
| To        | 7        | To     | Thuja occidentalis | Emerald Arborvitae | 5' - 6' @ 2' - 3' O/C |

**Bioretention Planting Schedule (Typical Each Location)**

| Abr | Quantity | Botanical Name              | Common Name       | Spacing | Initial Size |
|-----|----------|-----------------------------|-------------------|---------|--------------|
| AA  | 26       | Acorus americanus           | Sweet Flag        | 22"     | 1 Gallon     |
| AC  | 24       | Anemone canadensis          | Windflower        | 22-30"  | 1 Gallon     |
| ACA | 26       | Aquilegia canadensis        | Columbine         | 15-22"  | 1 Gallon     |
| AF  | 32       | Athyrium filix-femina       | Lady Fern         | 22"     | 1 Gallon     |
| CT  | 22       | Cautophyllum thalictroides  | Blue Cohosh       | 22"     | 1 Gallon     |
| CA  | 24       | Cornus sericea 'Artic Fire' | Red Osier Dogwood | 4-5'    | 2-3 Gallon   |
| LC  | 20       | Lobelia cardinalis          | Cardinal Flower   | 22"     | 1 Gallon     |

**9 C-9** PLANTING SCHEDULES NOT TO SCALE



**7 C-9** PEA GRAVEL FILTER DIAPHRAGM NOT TO SCALE

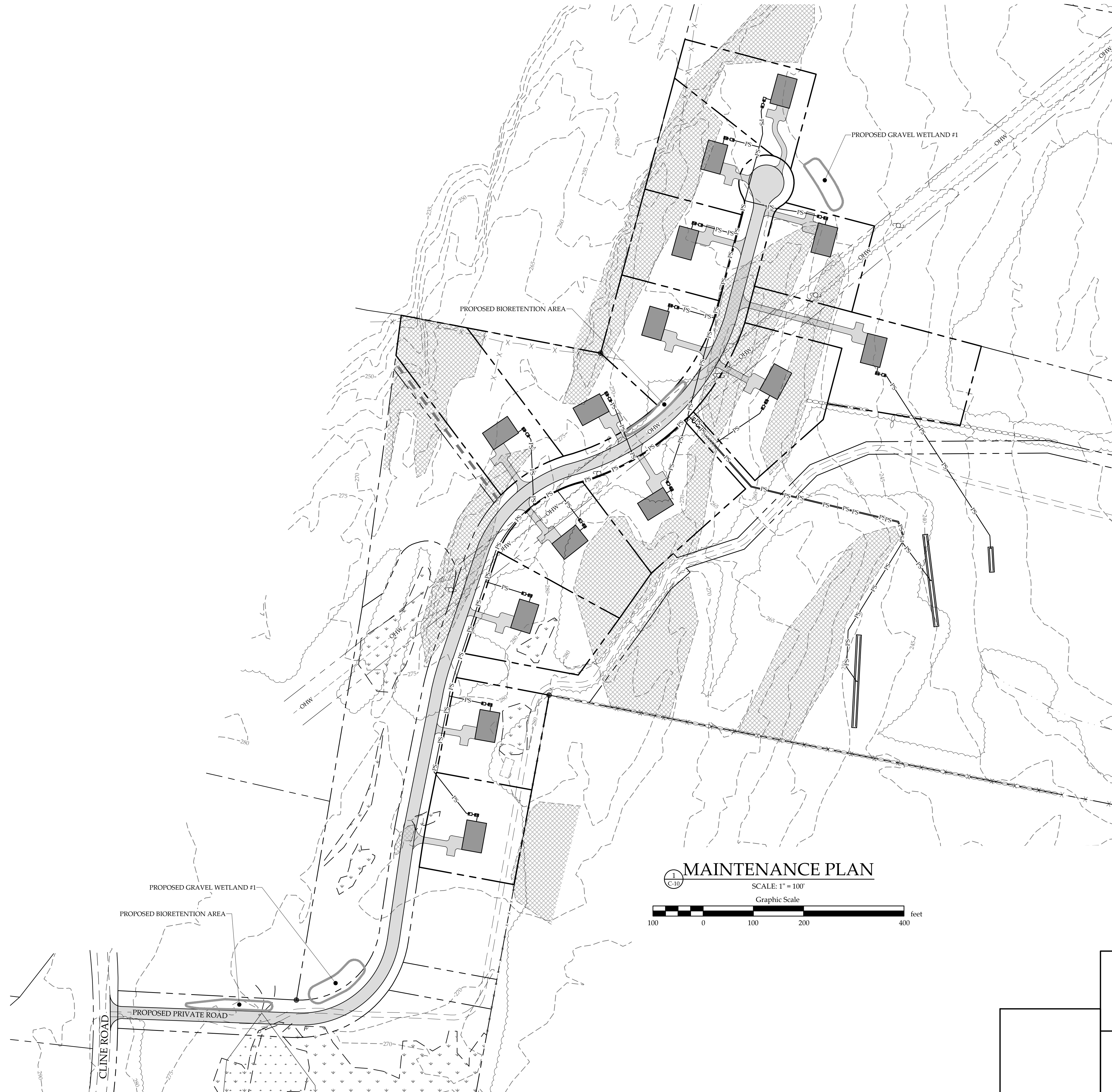
**STORMWATER DETAILS**  
 CLINE ROAD LLC  
 CLINE ROAD  
 GEORGIA, VERMONT

**RUGGIANO**  
 engineering  
 5 LAKE STREET  
 ST. ALBANS, VERMONT 05478  
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PROJECT NO.....23022  
 DRAWN BY.....TCE/WEH  
 CHECKED BY.....TRM  
 SCALE.....AS NOTED  
 DATE.....07/14/23

SHEET NO.  
**C-9**  
 9 OF 11 SHEETS





|  |  |   |
|--|--|---|
| <b>MAINTENANCE PLAN</b><br>CLINE ROAD LLC<br>CLINE ROAD<br>GEORGIA, VERMONT  |  |   |
| <br>RUGGIANO<br><i>Engineering</i><br>5 LAKE STREET<br>ST. ALBANS, VERMONT 05478<br>PHONE - (802) 524-9300 FAX - (802) 524-9700<br>COPYRIGHT © 2023 - RUGGIANO ENGINEERING | PROJECT NO.....23022<br>DRAWN BY.....WEH<br>CHECKED BY.....TRM<br>SCALE.....1" = 100'<br>DATE.....07/14/23 | SHEET NO.<br><b>C-10</b><br>10 OF 11 SHEETS |

**SPECIFICATIONS FOR AGGREGATE BASE COURSE FOR USE BENEATH PAVED DRIVEWAYS, ROADWAYS, PARKING AREAS, CURBS AND SIDEWALKS.**

**FILL MATERIALS:**  
 DENSE GRADED CRUSHED STONE: AGENCY OF TRANSPORTATION SPECIFICATION 704.06A - DENSE GRADED CRUSHED STONE FOR SUBBASE.  
 SUBBASE OF GRAVEL: CRUSHED GRAVEL MEETING AGENCY OF TRANSPORTATION SPECIFICATION 704.05A - CRUSHED GRAVEL FOR SUBBASE.  
 FINE AGGREGATE (SAND) FILL: SAND MEETING LATEST STATE OF VERMONT, AGENCY OF TRANSPORTATION SPECIFICATION 703.03A - SAND BORROW AND CUSHION.  
 AGGREGATE FOR SURFACE COURSE AND SHOULDERS: CRUSHED STONE OR CRUSHED GRAVEL MEETING LATEST STATE OF VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 704.12A.

**GEOTEXTILE:**  
 MIRAFI 500X OR APPROVED EQUIVALENT.

**AGGREGATE PLACEMENT:**  
 SPREAD AGGREGATE OVER PREPARED SUBSTRATE. SUBBASE MATERIALS OR THICKNESSES ARE IDENTIFIED ON THE DRAWINGS. CONTRACTOR MAY CHOOSE DENSE GRADED CRUSHED STONE OR SUBBASE OF GRAVEL FOR COARSE AGGREGATE. WHERE TRENCHING IS PERFORMED ACROSS EXISTING PAVEMENT OR CONCRETE, REPLACE SUBBASE WITH EQUIVALENT MATERIALS AND THICKNESSES UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

**PLACEMENT:**  
 PLACE AGGREGATE IN MAXIMUM 6-INCH LAYERS AND ROLLER COMPACT. USE A VIBRATORY ROLLER. LEVEL AND CONTOUR SURFACES TO ELEVATIONS AND GRADIENTS INDICATED. ADD SMALL QUANTITIES OF FINE AGGREGATE TO COARSE AGGREGATE AS APPROPRIATE TO ASSIST COMPACTION.  
 ADD WATER TO ASSIST COMPACTION. IF EXCESS WATER IS APPARENT, REMOVE AGGREGATE AND AERATE TO REDUCE MOISTURE CONTENT.  
 USE MECHANICAL TAMPING EQUIPMENT IN AREAS INACCESSIBLE TO COMPACTION EQUIPMENT.

**TOLERANCES:**  
 FLATNESS: MAXIMUM VARIATION OF 1/8 INCH MEASURED WITH A 10-FOOT (3 M) STRAIGHT EDGE.  
 SCHEDULED COMPACTED THICKNESS: THICKNESSES INDICATED ON THE DRAWINGS ARE MINIMUM THICKNESS. DO NOT EXCEED MINIMUM THICKNESS BY MORE THAN 1 INCH WITHOUT APPROVAL OF THE ENGINEER.  
 VARIATION FROM TRUE ELEVATION: WITHIN 1/4 INCH.  
 FIELD QUALITY CONTROL:  
 COMPACT PLACED AGGREGATE MATERIALS TO ACHIEVE COMPACTION TO 95 PERCENT OF MODIFIED PROCTOR DENSITY.

**SPECIFICATIONS FOR BITUMINOUS CONCRETE PAVEMENT, STANDARD BASE AND FINISH COURSES**

**QUALITY ASSURANCE:**  
 DO NOT PLACE ASPHALTIC CONCRETE PAVING WHEN THE AIR TEMPERATURE IN THE SHADE AND/OR THE ROADBED TEMPERATURE ARE BELOW 50 DEGREE F, OR DURING RAIN, WHEN THE BASE COURSE SURFACE IS WET OR DURING OTHER ADVERSE WEATHER CONDITIONS.  
 DO NOT PLACE TACK COAT WHEN AIR TEMPERATURE IN THE SHADE AND THE ROADBED TEMPERATURE ARE BELOW 40 DEGREE F OR DURING RAIN, FOG OR OTHER ADVERSE WEATHER CONDITIONS.  
 ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND QUALIFIED WORKMEN WITH EQUIPMENT STANDARD WITH THE INDUSTRY.

**APPROVAL BY ENGINEER OF SOURCES OF SUPPLY FOR MATERIALS SHALL BE OBTAINED PRIOR TO DELIVERY OF MATERIALS.**  
 COMPLY WITH FEDERAL, STATE AND/OR LOCAL CODES AND REGULATIONS.

**MATERIALS:**  
 PROVIDE MATERIALS COMPLYING WITH VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 406.02. BASE COURSE OF PAVEMENT SHALL BE TYPE II AND WEARING COURSE SHALL BE TYPE IV, IN ACCORDANCE WITH VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 406.03A.

**WHERE TRENCHING AND PATCHING THROUGH EXISTING PAVED AREAS, MATCH EXISTING PAVEMENT TYPE.**  
 PLACING ASPHALT PAVEMENT - DOUBLE COURSE:  
 INSTALL MANHOLE FRAMES AND COVERS IN CORRECT POSITION AND ELEVATION.  
 INSTALL DRAINAGE FRAMES AND GRATES IN CORRECT POSITION AND ELEVATION.  
 PLACE ASPHALT IN ACCORDANCE WITH VERMONT AGENCY OF TRANSPORTATION SPECIFICATION 406.13.  
 PLACE BASE COURSE TO 1 1/2 INCHES COMPACTED THICKNESS, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

**PLACE WEARING COURSE WITHIN TWO HOURS OF PLACING AND COMPACTING BASE COURSE.**  
 PLACE WEARING COURSE TO 1 1/2 INCHES COMPACTED THICKNESS, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

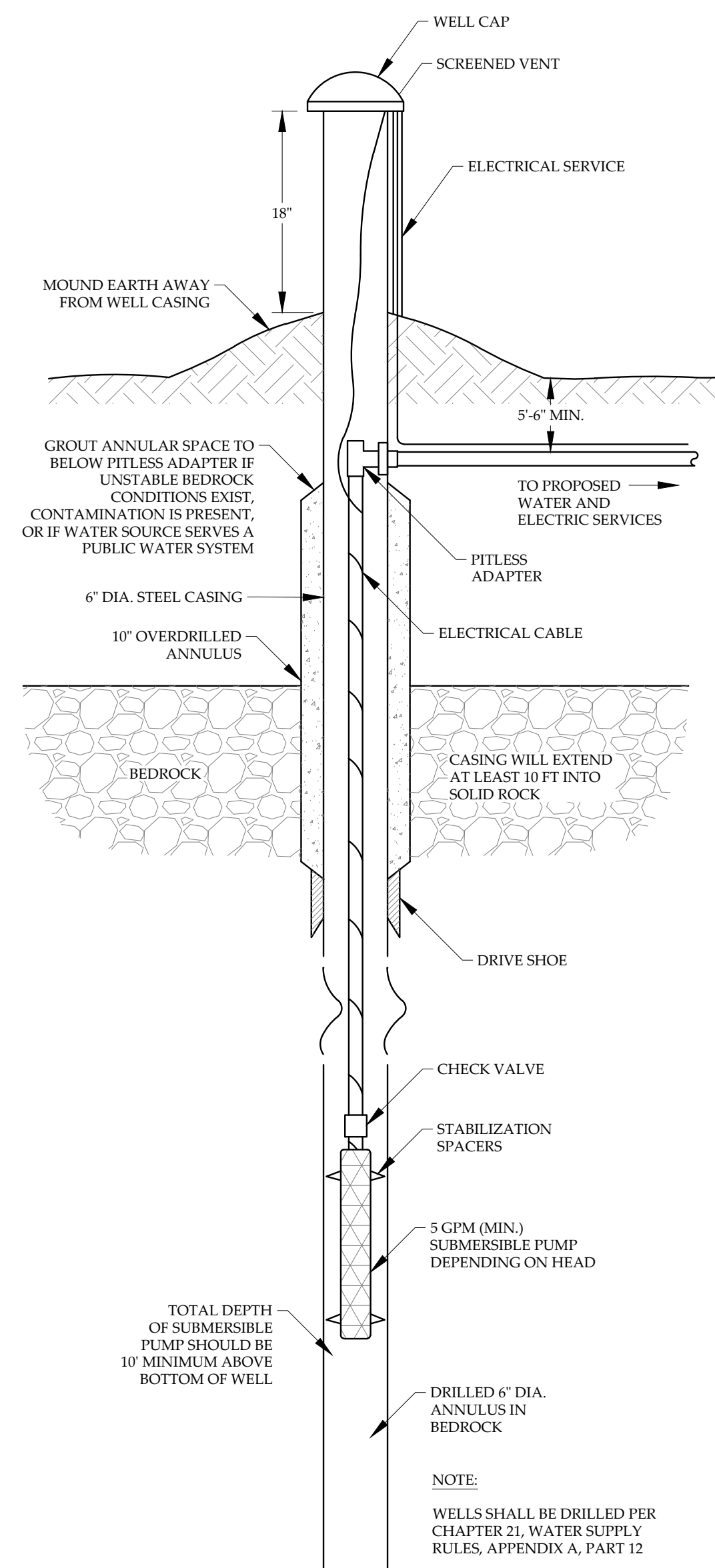
**WHEN TRENCHING AND PATCHING IN EXISTING PAVED AREAS, MATCH EXISTING PAVEMENT MATERIALS AND THICKNESSES.**  
 COMPACT PAVEMENT BY ROLLING. DO NOT DISPLACE OR EXTRUDE PAVEMENT FROM POSITION. HAND COMPACT IN AREAS INACCESSIBLE TO ROLLING EQUIPMENT.  
 DEVELOP ROLLING WITH CONSECUTIVE PASSES TO ACHIEVE EVEN AND SMOOTH FINISH, WITHOUT ROLLER MARKS.

**PAVEMENT TOLERANCES:**  
 MAXIMUM FLATNESS VARIATION OF 1/4 INCH MEASURED WITH A 10 FOOT (3 M) STRAIGHT EDGE.  
 SCHEDULED COMPACTED THICKNESS: WITHIN 1/4 INCH.  
 VARIATION FROM TRUE ELEVATION: WITHIN 1/4 INCH.  
 THICKNESS: IN-PLACE COMPACTED THICKNESS TESTED IN ACCORDANCE WITH ASTM D3549 WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING ALLOWABLE VARIATIONS: BASE COURSE: +/- 1/2", SURFACE COURSE: +/- 1/4".

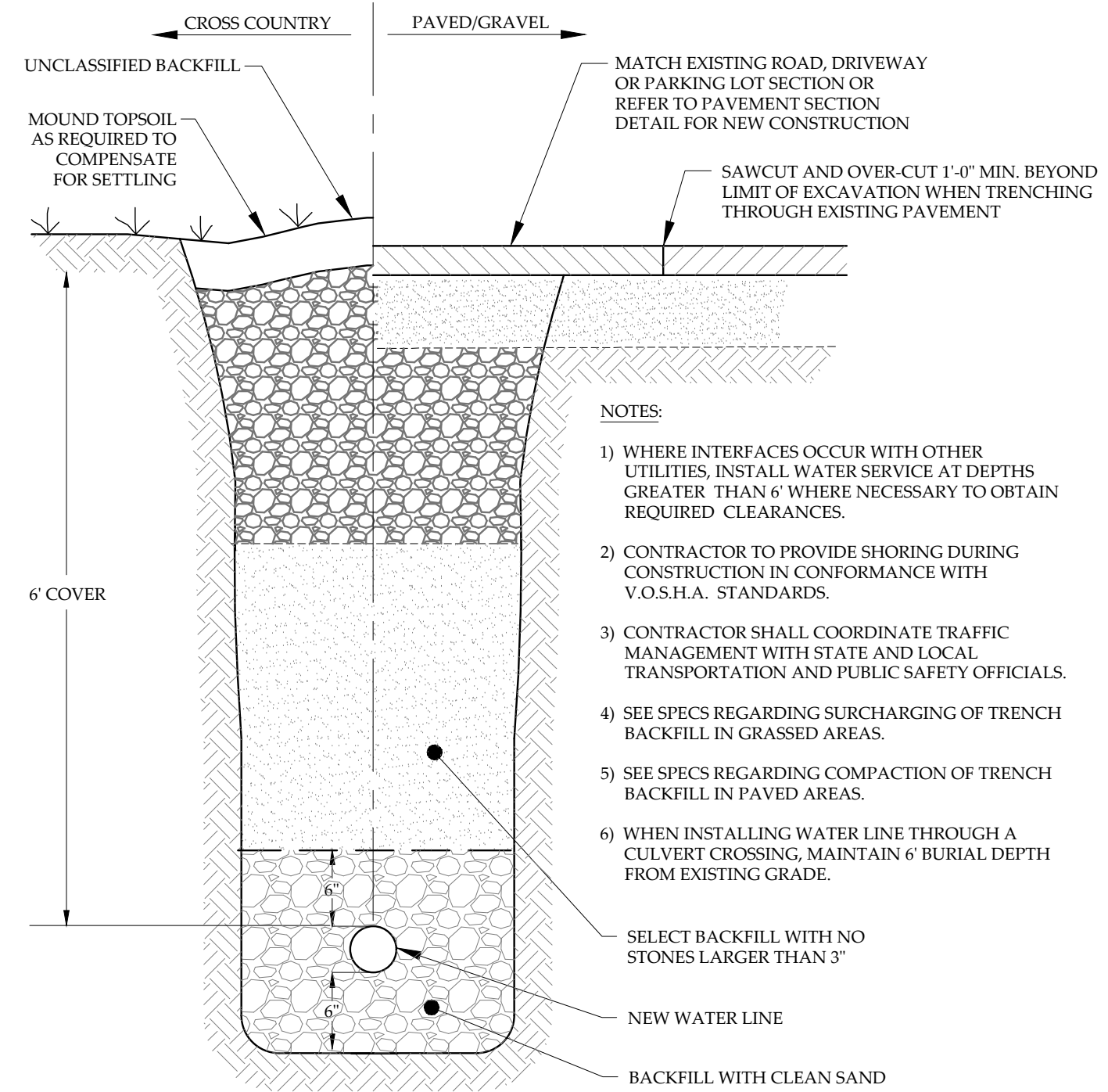
**SURFACE SMOOTHNESS:** TEST FINISHED SURFACE OF EACH HOT-MIXED ASPHALT COURSE FOR SMOOTHNESS, USING 10 STRAIGHTEDGE APPLIED PARALLEL WITH AND AT RIGHT ANGLES TO CENTERLINE OF THE PAVED AREA. SURFACES WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING TOLERANCES FOR SMOOTHNESS: BASE COURSE: +/- 1/4", WEARING COURSE SURFACE: +/- 3/16".

**CROWNED SURFACES:** TEST WITH CROWNED TEMPLATE CENTERED AND AT RIGHT ANGLE TO CROWN. MAXIMUM ALLOWABLE VARIANCE FROM TEMPLATE IS +/- 1/4".

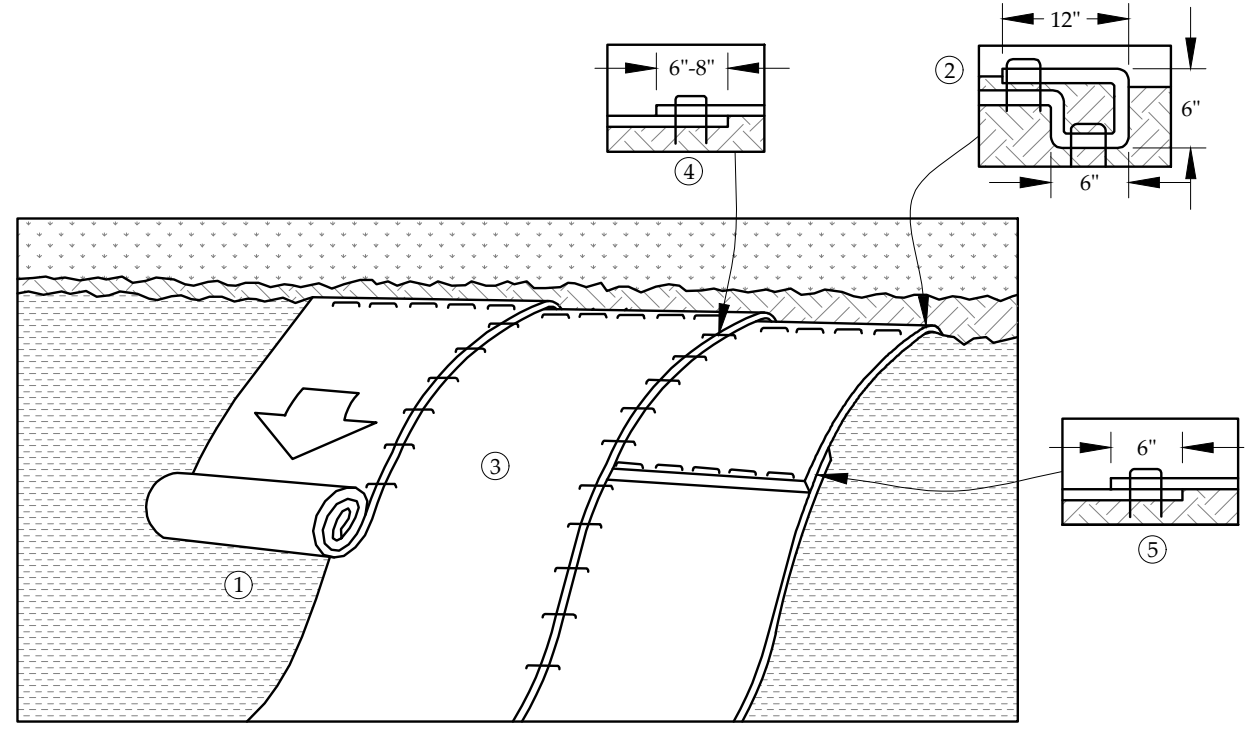
**CHECK SURFACE AREAS AT INTERVALS AS DIRECTED BY THE ENGINEER.**  
**PROTECTION:**  
 IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM MECHANICAL INJURY FOR 48 HOURS.



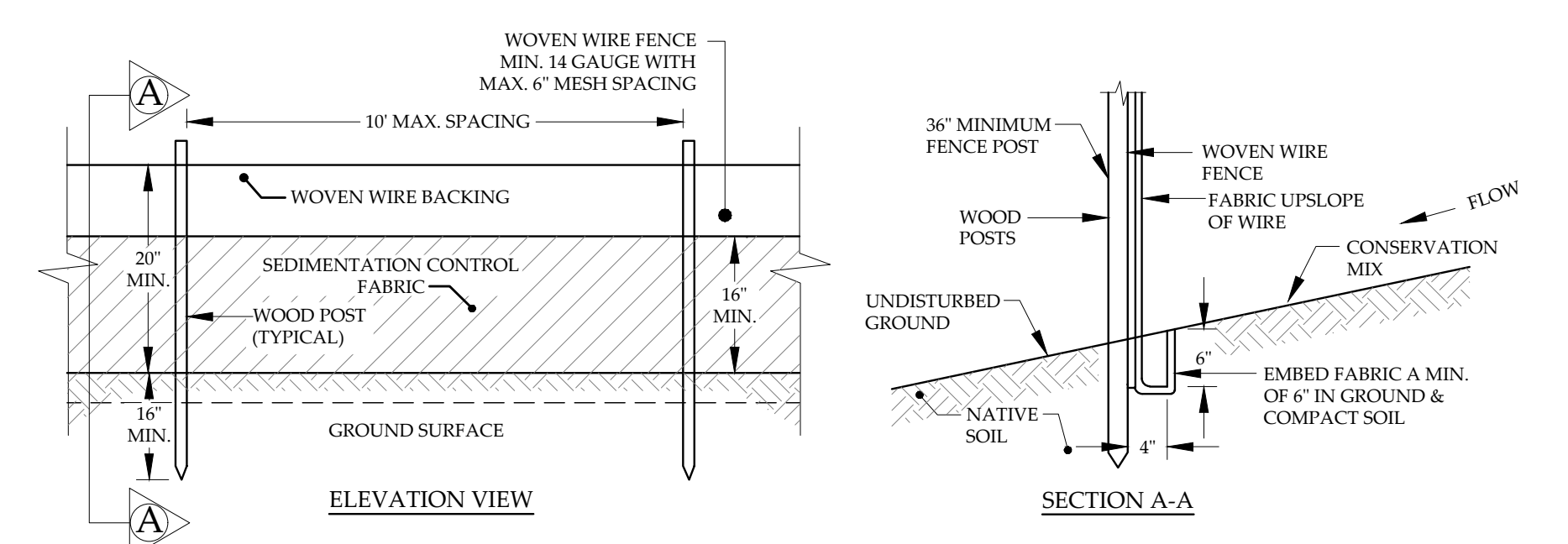
**2**  
**C-11**  
**BEDROCK WELL DETAIL**  
 NOT TO SCALE



**3**  
**C-11**  
**TYPICAL WATER LINE TRENCH**  
 NOT TO SCALE



**7**  
**C-11**  
**EROSION CONTROL BLANKET SLOPE INSTALLATION**  
 NOT TO SCALE



**4**  
**C-11**  
**SILT FENCE DETAIL**  
 NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS:**  
 SILT FENCING WILL BE APPLIED TO THE SITE SO THAT THERE WILL BE 100 FEET OF FENCING FOR EVERY 1/4 ACRE OF DISTURBED UPGRADIENT AREA.

THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.

WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. WIRE FENCE REINFORCEMENT REQUIRED WITHIN 100 FT UPSLOPE OF RECEIVING WATERS.

FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.

WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTR X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.

PREFABRICATED UNITS SHALL BE GEOFAR, ENVIROFENCE, OR APPROVED EQUIVALENT.

THE FABRIC SHALL NOT EXTEND MORE THAN 30" ABOVE THE ORIGINAL GROUND SURFACE AND WILL EXTEND TO A MINIMUM OF 12" INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.

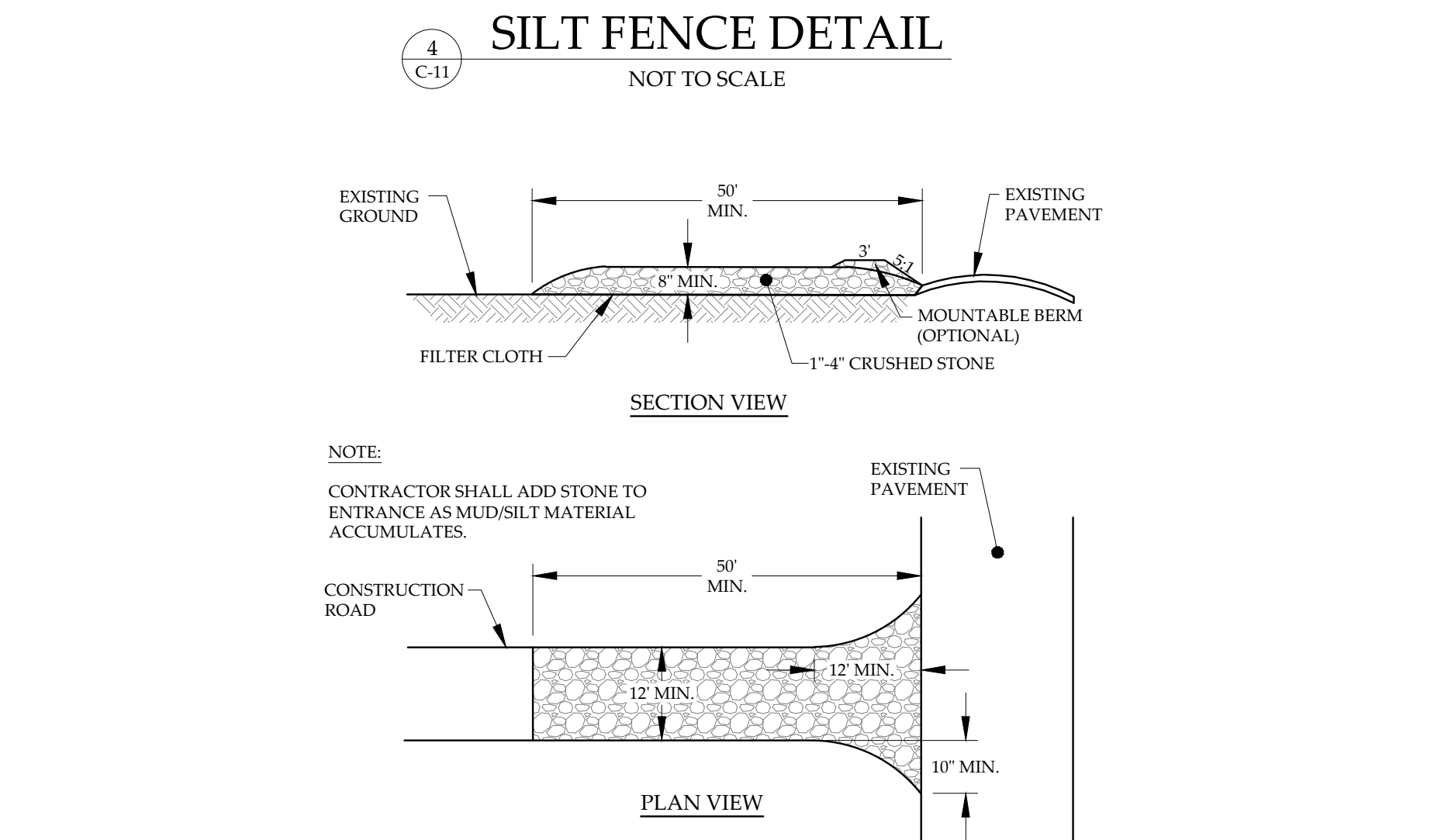
THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.

FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

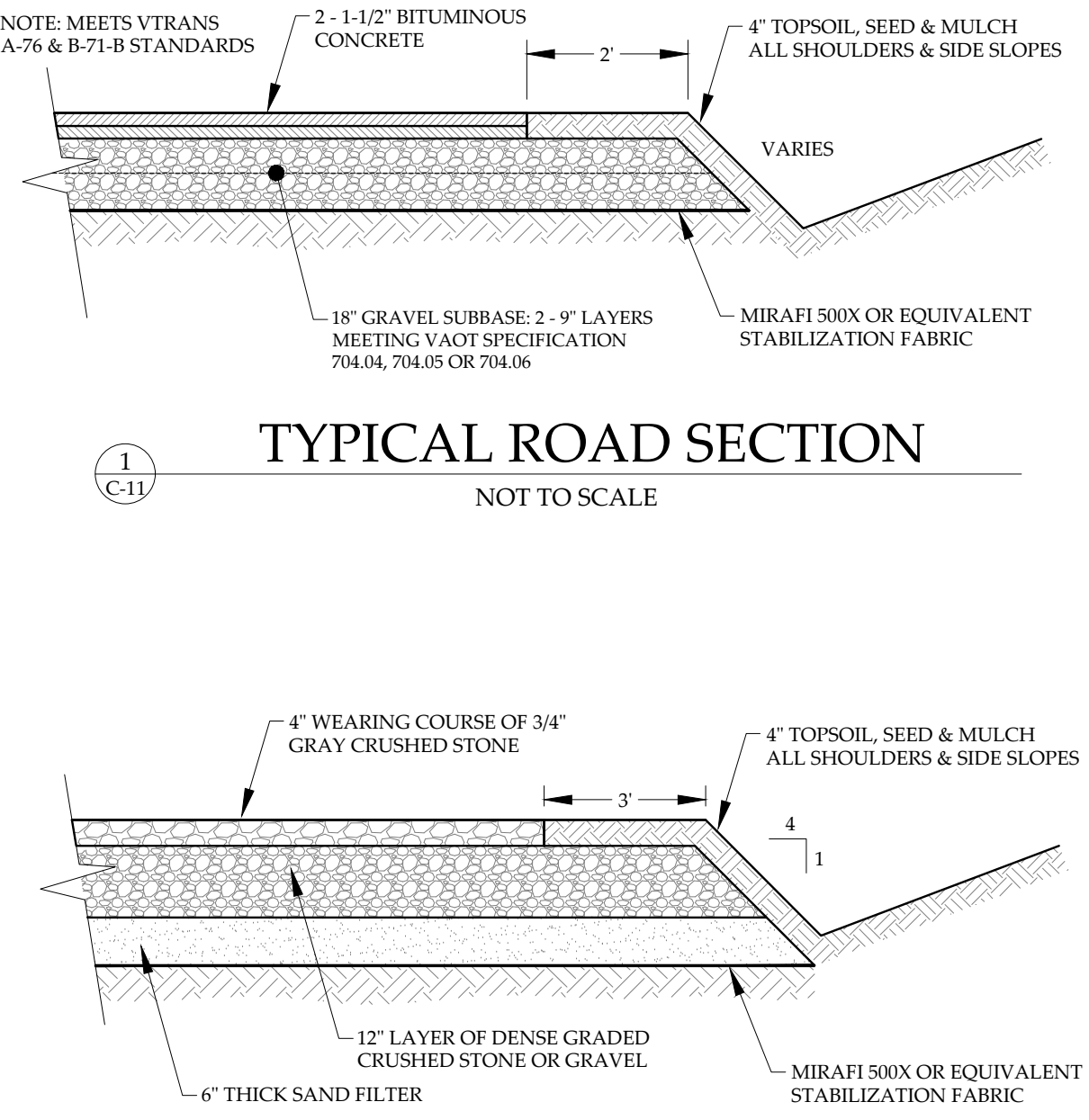
ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.



**9**  
**C-11**  
**STABILIZED CONSTRUCTION ENTRANCE**  
 NOT TO SCALE

**NOTES:**

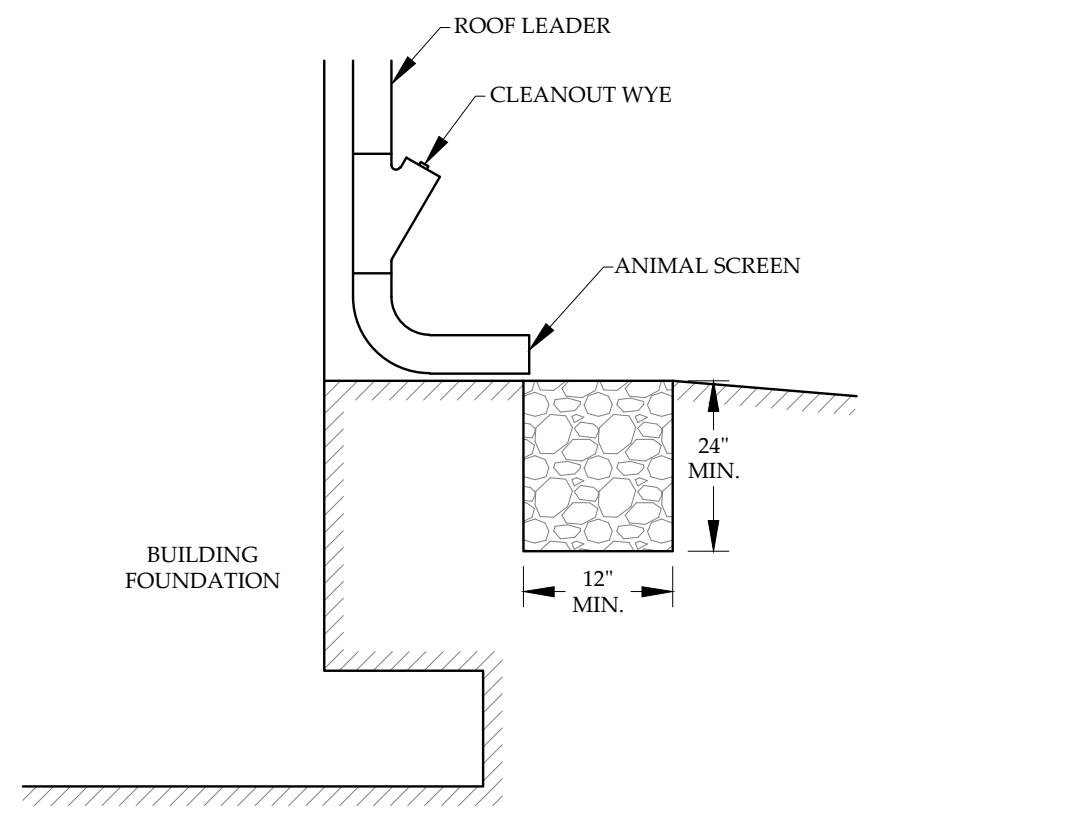
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR CONSTRUCTION ENTRANCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION ENTRANCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.



**1**  
**C-11**  
**TYPICAL ROAD SECTION**  
 NOT TO SCALE



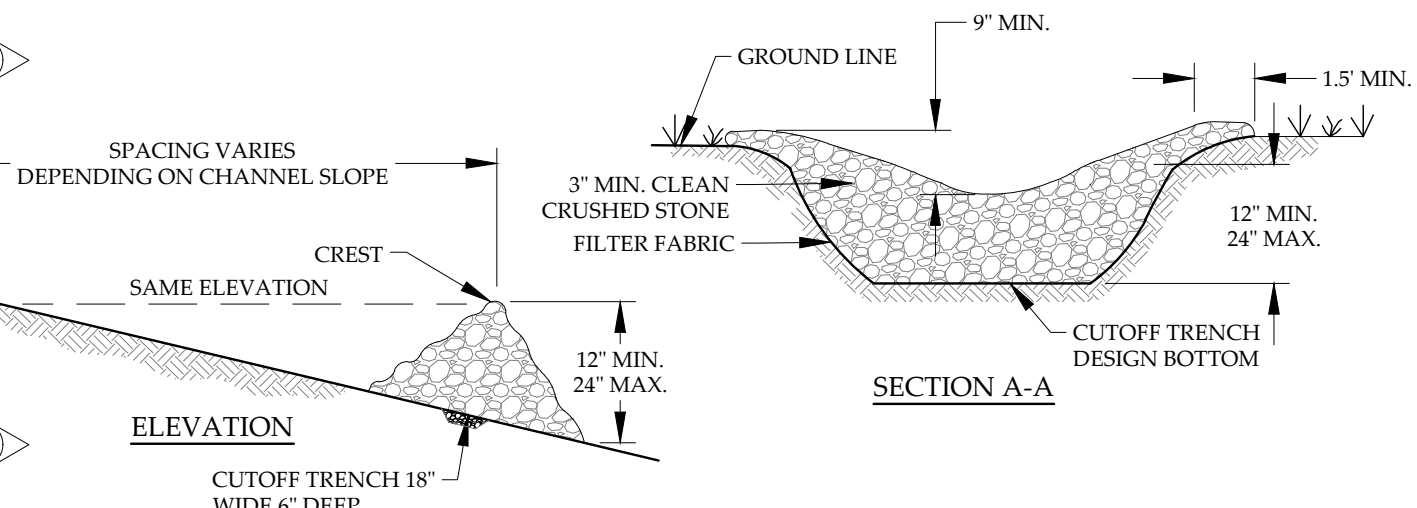
**5**  
**C-11**  
**TYPICAL GRAVEL DRIVEWAY SECTION**  
 NOT TO SCALE



**6**  
**C-11**  
**TYPICAL ROOFTOP DISCONNECTION**  
 NOT TO SCALE

**NOTES:**

- DO NOT DISCHARGE ROOF OR GUTTER RUNOFF TO PERFORATED BUILDING FOOTING DRAINS.
- THE CONTRIBUTING LENGTH OF ROOFTOP TO EACH DOWNSPOUT DISCHARGE LOCATION SHALL NOT EXCEED 75 FEET.
- THE ROOFTOP AREA CONTRIBUTING TO ANY ONE DISCHARGE LOCATION SHALL NOT EXCEED 1,000 FT<sup>2</sup>.
- DISCHARGES SHALL FLOW OVER A VEGETATED SURFACE WITH A MAXIMUM SLOPE OF 15% FOR A MINIMUM DISTANCE PER PLAN.
- DOWNSPOUTS SHALL BE DIRECTED AT LEAST 10 FEET FROM ANY IMPERVIOUS SURFACE.



**8**  
**C-11**  
**STONE CHECK DAM**  
 NOT TO SCALE

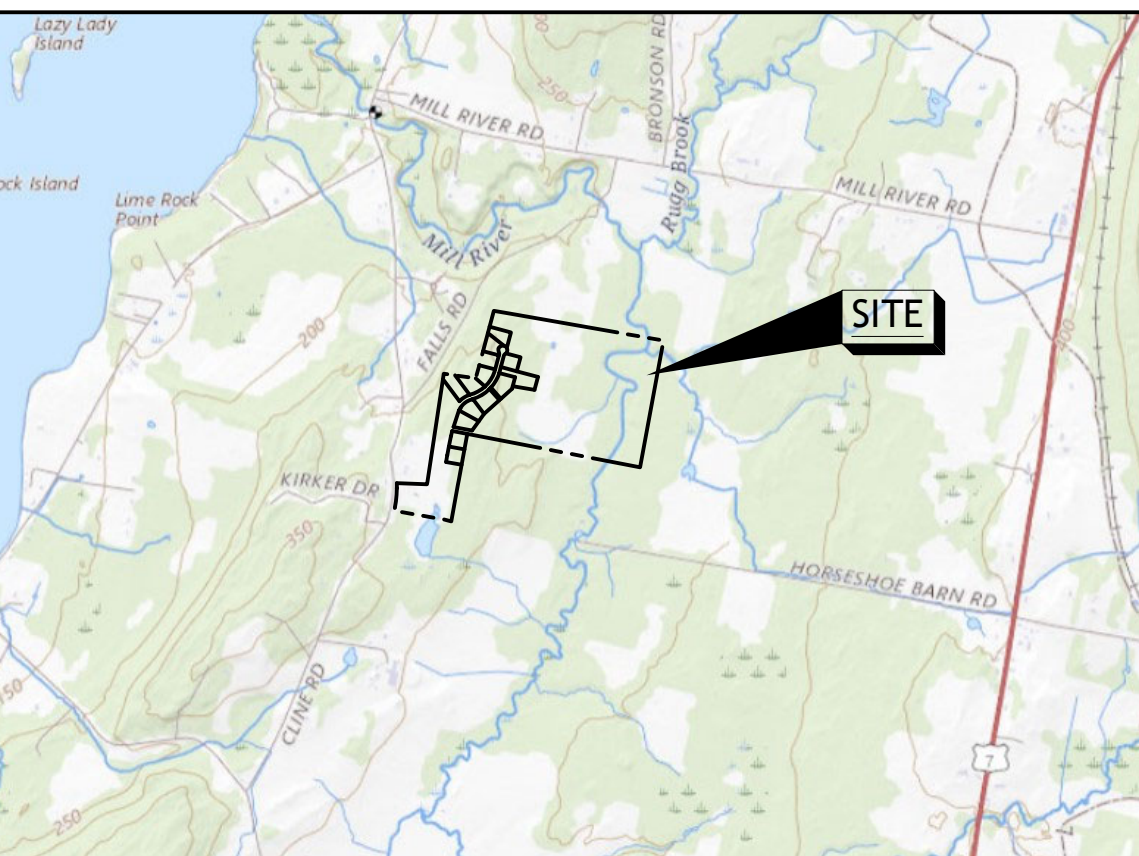
**DETAILS**  
**CLINE ROAD LLC**  
**CLINE ROAD**  
**GEORGIA, VERMONT**

**RUGGIANO**  
 engineering

5 LAKE STREET  
 ST. ALBANS, VERMONT 05478  
 PHONE - (802) 524-9300 FAX - (802) 524-9700  
 COPYRIGHT © 2023 - RUGGIANO ENGINEERING

PROJECT NO.....23022  
 DRAWN BY.....TCE/WEH  
 CHECKED BY.....TRM  
 SCALE.....AS NOTED  
 DATE.....07/14/23

SHEET NO.  
**C-11**  
 11 OF 11 SHEETS



LOCUS MAP  
NOT TO SCALE

LEGEND

- IRON PIPE (FOUND)
- ⊙ REBAR (FOUND)
- #6 REBAR TO BE SET WITH DAY LAND SURVEYING ALUMINUM CAP
- △ CALCULATED POINT
- UTILITY POLE
- EXISTING BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- x- BARBED WIRE FENCE
- STONE WALL

TOWN OF GEORGIA, VERMONT  
RECEIVED FOR RECORD

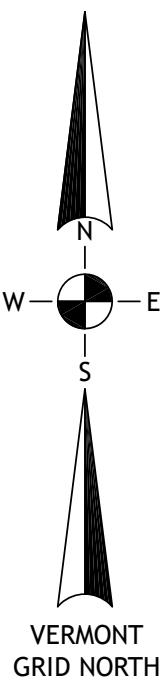
\_\_\_\_\_ A.D. 20\_\_\_\_

AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ MINUTES \_\_\_\_\_ M.

AND RECORDED IN MAP SLIDE \_\_\_\_\_

ATTEST: \_\_\_\_\_

| CURVE TABLE |          |            |              |                 |             |
|-------------|----------|------------|--------------|-----------------|-------------|
| CURVE       | RADIUS   | ARC LENGTH | CHORD LENGTH | CHORD BEARING   | DELTA ANGLE |
| C20         | 1381.78' | 278.42'    | 277.95'      | N 06° 33' 15" E | 11° 32' 41" |
| C21         | 1381.78' | 60.07'     | 60.06'       | N 00° 27' 49" W | 2° 29' 26"  |
| C22         | 147.15'  | 215.26'    | 196.58'      | S 50° 12' 12" W | 83° 48' 53" |
| C26         | 207.15'  | 303.03'    | 276.73'      | S 50° 12' 12" W | 83° 48' 53" |

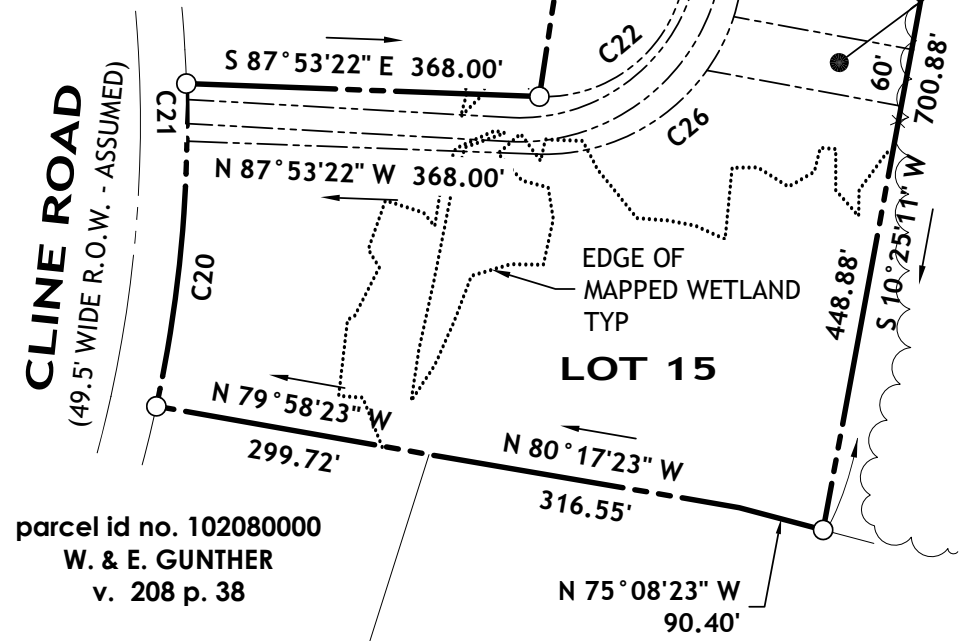


parcel id no. 102160000.a  
A. VILLANI  
J. MACARTHY  
v. 182 p. 171  
map slide 90, 42

PROPOSED 20' WIDE PEDESTRIAN  
EASEMENT OVER LOT 15 TO  
BENEFIT THE TOWN OF GEORGIA

parcel id no. 102150000  
A. & B. LEO  
v. 184 p. 632  
map slide 90, 42

parcel id no. 102640000  
WILCOX LAKESHORE  
FARM TRUST  
v. 267 p. 275



parcel id no. 102080000  
W. & E. GUNTHER  
v. 208 p. 38

parcel id no. 102040000.a  
FRASER HOLDINGS LLC  
v. 117 p. 241

parcel id no. 110330000.b  
A. R. BROOKS & SONS, INC.  
v. 36 p. 93

parcel id  
no. 110340000  
MICHELINE H. BOVAT  
v. 132 p. 96

parcel id no.  
11028000  
G. BABCOCK  
K. RICHARDS  
v. XXX p. XXX

APPROVED BY RESOLUTION OF THE PLANNING COMMISSION OF THE  
TOWN OF GEORGIA, VT. ON \_\_\_\_\_ 20\_\_\_\_,  
SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.

SIGNED: \_\_\_\_\_ 20\_\_\_\_,

BY: \_\_\_\_\_

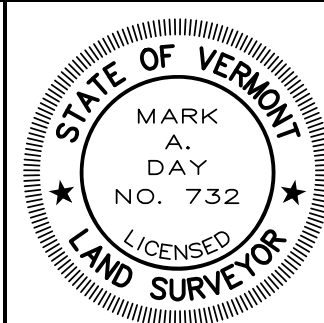
PLANNING COMMISSION

SEE SHEET 2 FOR DETAIL OF LOTS 1-14



300 RYAN'S WAY, FLETCHER, VT 05448  
802-849-6516  
www.daylandsurveying.com

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD MEASUREMENTS AND PERTINENT RECORD INFORMATION WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON. TO THE BEST OF MY KNOWLEDGE THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.



MARK A. DAY, L.S. VT #732 \_\_\_\_\_ DATE \_\_\_\_\_

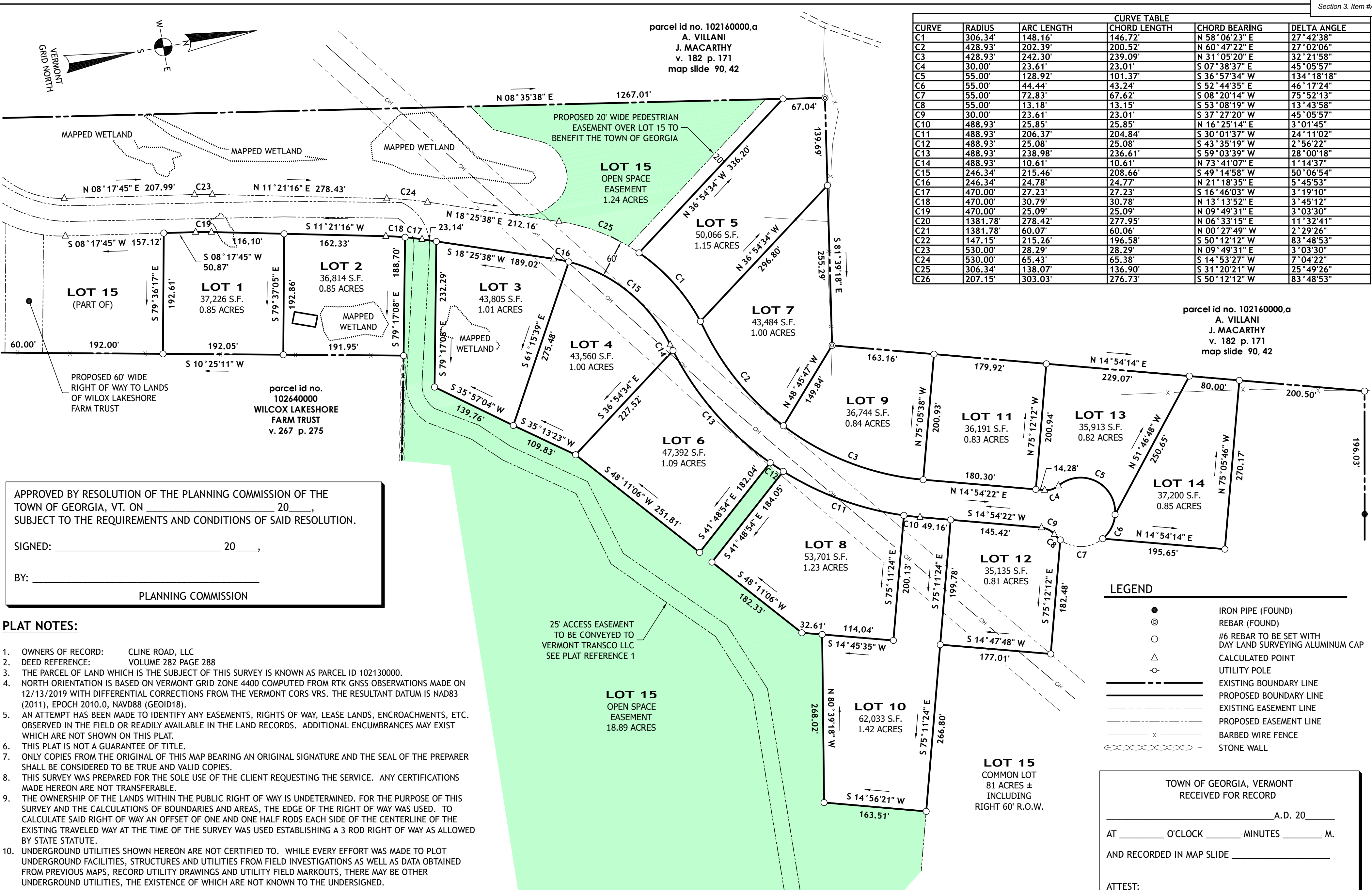
PRELIMINARY SUBDIVISION PLAT  
PARCEL ID: 102130000  
Prepared For

# Cline Road, LLC

CLINE ROAD  
GEORGIA, VERMONT



|                 |             |
|-----------------|-------------|
| SCALE:          | 1"=200'     |
| DATE:           | 8/2/2023    |
| JOB NUMBER:     | 23037       |
| DRAWING:        | 23037 splat |
| DATE OF SURVEY: | 2/2019      |
| SURVEY BY:      | MD/HB       |
| SHEET:          | 1 OF 2      |



| CURVE TABLE |          |            |              |               |             |
|-------------|----------|------------|--------------|---------------|-------------|
| CURVE       | RADIUS   | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
| C1          | 306.34'  | 148.16'    | 146.72'      | N 58°06'23" E | 27°42'38"   |
| C2          | 428.93'  | 202.39'    | 200.52'      | N 60°47'22" E | 27°02'06"   |
| C3          | 428.93'  | 242.30'    | 239.09'      | N 31°05'20" E | 32°21'58"   |
| C4          | 30.00'   | 23.61'     | 23.01'       | S 07°38'37" E | 45°05'57"   |
| C5          | 55.00'   | 128.92'    | 101.37'      | S 36°57'34" W | 134°18'18"  |
| C6          | 55.00'   | 44.44'     | 43.24'       | S 52°44'35" E | 46°17'24"   |
| C7          | 55.00'   | 72.83'     | 67.62'       | S 08°20'14" W | 75°52'13"   |
| C8          | 55.00'   | 13.18'     | 13.15'       | S 53°08'19" W | 13°43'58"   |
| C9          | 30.00'   | 23.61'     | 23.01'       | S 37°27'20" W | 45°05'57"   |
| C10         | 488.93'  | 25.85'     | 25.85'       | N 16°25'14" E | 3°01'45"    |
| C11         | 488.93'  | 206.37'    | 204.84'      | S 30°01'37" W | 24°11'02"   |
| C12         | 488.93'  | 25.08'     | 25.08'       | S 43°35'19" W | 2°56'22"    |
| C13         | 488.93'  | 238.98'    | 236.61'      | S 59°03'39" W | 28°00'18"   |
| C14         | 488.93'  | 10.61'     | 10.61'       | N 73°41'07" E | 1°14'37"    |
| C15         | 246.34'  | 215.46'    | 208.66'      | S 49°14'58" W | 50°06'54"   |
| C16         | 246.34'  | 24.78'     | 24.77'       | N 21°18'35" E | 5°45'53"    |
| C17         | 470.00'  | 27.23'     | 27.23'       | S 16°46'03" W | 3°19'10"    |
| C18         | 470.00'  | 30.79'     | 30.78'       | N 13°13'52" E | 3°45'12"    |
| C19         | 470.00'  | 25.09'     | 25.09'       | N 09°49'31" E | 3°03'30"    |
| C20         | 1381.78' | 278.42'    | 277.95'      | N 06°33'15" E | 11°32'41"   |
| C21         | 1381.78' | 60.07'     | 60.06'       | N 00°27'49" W | 2°29'26"    |
| C22         | 147.15'  | 215.26'    | 196.58'      | S 50°12'12" W | 83°48'53"   |
| C23         | 530.00'  | 28.29'     | 28.29'       | N 09°49'31" E | 3°03'30"    |
| C24         | 530.00'  | 65.43'     | 65.38'       | S 14°53'27" W | 7°04'22"    |
| C25         | 306.34'  | 138.07'    | 136.90'      | S 31°20'21" W | 25°49'26"   |
| C26         | 207.15'  | 303.03'    | 276.73'      | S 50°12'12" W | 83°48'53"   |

**LEGEND**

- IRON PIPE (FOUND)
- ⊙ REBAR (FOUND)
- #6 REBAR TO BE SET WITH DAY LAND SURVEYING ALUMINUM CAP
- △ CALCULATED POINT
- UTILITY POLE
- EXISTING BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- × BARBED WIRE FENCE
- ○ ○ ○ ○ STONE WALL

- PLAT NOTES:**
- OWNERS OF RECORD: CLINE ROAD, LLC
  - DEED REFERENCE: VOLUME 282 PAGE 288
  - THE PARCEL OF LAND WHICH IS THE SUBJECT OF THIS SURVEY IS KNOWN AS PARCEL ID 102130000.
  - NORTH ORIENTATION IS BASED ON VERMONT GRID ZONE 4400 COMPUTED FROM RTK GNSS OBSERVATIONS MADE ON 12/13/2019 WITH DIFFERENTIAL CORRECTIONS FROM THE VERMONT CORS VRS. THE RESULTANT DATUM IS NAD83 (2011), EPOCH 2010.0, NAVD88 (GEOID18).
  - AN ATTEMPT HAS BEEN MADE TO IDENTIFY ANY EASEMENTS, RIGHTS OF WAY, LEASE LANDS, ENCROACHMENTS, ETC. OBSERVED IN THE FIELD OR READILY AVAILABLE IN THE LAND RECORDS. ADDITIONAL ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAT.
  - THIS PLAT IS NOT A GUARANTEE OF TITLE.
  - ONLY COPIES FROM THE ORIGINAL OF THIS MAP BEARING AN ORIGINAL SIGNATURE AND THE SEAL OF THE PREPARER SHALL BE CONSIDERED TO BE TRUE AND VALID COPIES.
  - THIS SURVEY WAS PREPARED FOR THE SOLE USE OF THE CLIENT REQUESTING THE SERVICE. ANY CERTIFICATIONS MADE HEREON ARE NOT TRANSFERABLE.
  - THE OWNERSHIP OF THE LANDS WITHIN THE PUBLIC RIGHT OF WAY IS UNDETERMINED. FOR THE PURPOSE OF THIS SURVEY AND THE CALCULATIONS OF BOUNDARIES AND AREAS, THE EDGE OF THE RIGHT OF WAY WAS USED. TO CALCULATE SAID RIGHT OF WAY AN OFFSET OF ONE AND ONE HALF RODS EACH SIDE OF THE CENTERLINE OF THE EXISTING TRAVELED WAY AT THE TIME OF THE SURVEY WAS USED ESTABLISHING A 3 ROD RIGHT OF WAY AS ALLOWED BY STATE STATUTE.
  - UNDERGROUND UTILITIES SHOWN HEREON ARE NOT CERTIFIED TO. WHILE EVERY EFFORT WAS MADE TO PLOT UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES FROM FIELD INVESTIGATIONS AS WELL AS DATA OBTAINED FROM PREVIOUS MAPS, RECORD UTILITY DRAWINGS AND UTILITY FIELD MARKOUTS, THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED.

- PLAT REFERENCES:**
- " MAP OF BOUNDARY SURVEY, RODNEY & MONICA CAMERON" DATED DECEMBER 14, 1989 BY BROOKS LAND SURVEYING INC. RECORDED AS MAP SLIDE 42 IN THE TOWN OF GEORGIA LAND RECORDS.
  - " BOUNDARY SURVEY, VERMONT BEACH INC." DATED JULY 14, 1989 BY BROOKS LAND SURVEYING INC. RECORDED AS MAP SLIDE 34 IN THE TOWN OF GEORGIA LAND RECORDS.
  - " SUBDIVISION MAP, MARK & ANNETTE MONGEON" DATED NOVEMBER 1, 1988 BY STEVEN BROOKS. LAST REVISED ON MAY 29, 1990. RECORDED AS MAP SLIDE 47 IN THE TOWN OF GEORGIA LAND RECORDS.
  - " SUBDIVISION MAP, EDMUND & VIRGINIA DAUDELIN" DATED APRIL 12, 1988 BY STEVEN BROOKS. LAST REVISED ON JUNE 27, 1988. RECORDED AS MAP SLIDE 14 IN THE TOWN OF GEORGIA LAND RECORDS.
  - " PLAT OF SURVEY FOR RODNEY CAMERON & MONICA CAMERON IN THE TOWN OF GEORGIA, VT." DATED MAY 15, 1981 BY JOHN MARSH. LAST REVISED ON JANUARY 05, 1987. RECORDED AS MAP SLIDE 90 IN THE TOWN OF GEORGIA LAND RECORDS.
  - "LANDS OF CLINE ROAD LLC. CLINE ROAD, GEORGIA, VERMONT, VERMONT TRANSCO LLC., EASEMENT SURVEY" DATED 4-23-23 BY BARNARD & GERVAIS, LLC. NOT YET RECORDED.

**DAY LAND SURVEYING, PLLC**

300 RYAN'S WAY, FLETCHER, VT 05448  
802-849-6516  
www.daylandsurveying.com

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD MEASUREMENTS AND PERTINENT RECORD INFORMATION WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON. TO THE BEST OF MY KNOWLEDGE THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.

MARK A. DAY, L.S. VT #732

DATE \_\_\_\_\_

STATE OF VERMONT  
MARK A. DAY  
NO. 732  
LICENSED LAND SURVEYOR

**PRELIMINARY SUBDIVISION PLAT**  
PARCEL ID: 102130000  
Prepared For  
**Cline Road, LLC**  
CLINE ROAD  
GEORGIA, VERMONT

SCALE: 1"=100'  
DATE: 8/2/2023  
JOB NUMBER: 23037  
DRAWING: 23037 splat  
DATE OF SURVEY: 2/2019  
SURVEY BY: MD/HB  
SHEET: 2 OF 2

100 0 50 100 200 400

THIS IS AN ORIGINAL PIGMENT INK ON STABLE BASE POLYESTER FILM



# DRB MEETING

Tuesday, July 18, 2023 at 7:00 PM

Chris Letourneau Meeting Room and via Zoom

## MINUTES

### Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWLzVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

### 1. CALL TO ORDER - 7:00 PM

Call to Order 7:00 pm- Vice Chair Powell swears in Interested Persons of Record

#### BOARD PRESENT

- Vice Chair James Powell
- Charles Cross
- Greg Drew
- Gilles Rainville
- Glenn Sjoblom

#### BOARD ABSENT

- Chair Suzanna Brown
- Lisa Faure

#### STAFF PRESENT

- Doug Bergstrom, Zoning Administrator
- Kollene Caspers, Zoning Clerk

#### INTERESTED PERSONS OF RECORD

- Ben Avery
- Rick Bove
- Bryan Curry

PUBLIC PRESENT

Keith Baker

Ray Bouffard

Tony Heinlein

Cindy & Dave Lang

ZOOM PRESENT

Barb Dow

Lorrene Palermo

Thomas Palermo

Kathi Goudell

Mark Esposito

Amanda Reid

C. Wetmore

Megan Lavalley

Justin Holmes

Shane Bluto

Jared Waite

Kevin Camisa

Jackie DiBartolo

The Dixons

Amanda Tracy

Jeremiah Gilbert

Rick Giroux

**2. ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA**

**3. PUBLIC HEARINGS**

**A. SK-005-23 864 Ethan Allen Highway, LLC - Sketch Plan Review for a proposed 18-lot multi-unit residential and commercial complex located at 864 Ethan Allen Highway in the South Village**

- Ben Avery, on behalf of 864 Ethan Allen Highway LLC, presented the proposed sketch for Commercial, Residential, and Senior Housing buildings. Bryan Curry included an overview of the mixed-use project, including an added use of public road, with which they are working on with VTrans.
- There is an easement for Dollar General driveway, however, in the future their curb cut could be eliminated. Will refer to Zoning Office/DRB to work with Dollar General in the future.
- Lots 1 and 3 will be mixed use residential and commercial buildings along Route 7. Lots 2 and 4 will be full residential buildings. A 3-way intersection (perhaps a future 4-way intersection) will lead to 8 single family houses (Lots 10-15), two 5-plex apartment homes and a 33-unit senior living facility.
- There is an option for a future ROW to reach connections to the North, East and South.
- 66 units total. There is a possibility for a public community water source instead of private well. This would work best for the 33 unit senior living facility. However state well permits and research is still in progress.
- Discussion over DRB report, Comment 14, Vehicular Traffic and cul de sacs. DRB asked to consider turnarounds instead of cul de sacs because the future of the roads are uncertain, may be reconfigured to through roads. Applicants will work with Town of Georgia Fire Department on turn around templates for fire safety.
- Discussion over DRB report, Comment 16, State permits. Applicant will seek local approval before state permit approvals. Water and wastewater, water supply, stormwater, erosion control, VTrans and Act 250 will be completed with the Preliminary and Final Plat Reviews; and before breaking ground.
- DRB can track the Act 250 navigator to follow permit process. Applicants have not started Act 250 yet. VTrans asked for traffic study for engineers, but will not do so as early as Sketch Review.
- VTrans cannot mandate Dollar General to close their curb cut, but Applicants can work together with DRB and VTrans to show the easement through their property isn't the best use for the size of the commercial and housing community. Act 250 and a traffic study will help determine the best use.
- DRB explained sidewalks will need to be installed on both sides of the road per Town of Georgia Development Regulations. This change will be noted in the Sketch Plan decision for Preliminary Plat approval.
- Septic system is at capacity with the number of units that were presented. For future development lots 6 and 9 have room for more septic systems.
- There is room for potential play spaces, pickleball court, but nothing too large.
- Each lot could be developed individually, completed in phases, with development to commence closest to Route 7 at first.
- Commercial businesses on properties- are still to be determined. Interest is hard to gauge in the Sketch phase. More information will be available in the future, and will

depend on the water system. Without public water it is likely to host some service type businesses, but probably not a large scale restaurant. Once Applicants are further along in planning there will be more information.

- Post-sketch possibilities could also include stand-alone businesses, full commercial space, if approached with the right business in the future, but mixed use buildings are attractive to developers due to the shared parking analysis. Peak parking will be available for commercial use as the lots won't be full by residents during work hours.
- DRB questioned the potential for vacant commercial spaces. Vacant commercial spaces can be found in towns all over Vermont, how can we safeguard the commercial spaces from being vacant? Applicants explained the advantage of early agreements, but they are still in the early stages of development.
- The DRB addressed the parking for the 33 unit senior living facility. Underground garage parking necessary for 18+ units in the South Village per Town of Georgia Development Regulations.
- The 33 unit Senior living facility will be a two-story 55+ rental community, and not assisted living. The building will offer third party services, but no direct care or full-time services. The building will offer community room and still unsure as to laundry room or in-unit laundry. Tenants on the lease will have to meet standards, typically no children live in these communities.
- Applicants explained all 66 units in this multi-use subdivision will be market value, not subsidized housing.
- The buildings in Lots 1-4 will be traditional rental apartments. The two 5 plex townhomes are TBD if they will be rentals or owner occupied. The single family homes will be owner occupied. These 2 story homes will have 3 bedrooms and parking garage.
- Questions from the public include privacy fences for abutter private property. Applicants are not able to address this currently in sketch process, but this will be addressed in the Final Plat approval with landscaping and lighting.
- The 6 single family homes will need hammerheads in their driveways for turnaround, as is the requirement in the SV zoning district. No vehicles can back out into the street. Discussed options for proper parking egress.
- Discussion for reconfiguration of 5-plex townhouses. Sidewalk in front and parking in the back.
- DRB asked when the existing buildings on the property be removed and demolished. Only one has been tested for asbestos, gutted and demolished. Applicant initially said when construction begins. However, after explanation of timeline- two years or more, DRB asked that the properties be removed prior to construction.
- Stormwater discussion, where will runoff drain? State stormwater regulations are still to be determined, perhaps more than one stormwater section will be put into place. Stormwater pond or other will be detailed in the next plat review.
- Keith Baker- Town of Georgia Fire Chief addressed the senior living building and water system. The building will meet the threshold for sprinkler system including the underground storage.
- Keith Baker- Suggested fire retardant siding/materials be used for the 6 houses, given they will be built within 20 feet apart.
- Finally, Keith Baker explained the necessity for cul de sacs or turnaround roads for the tankers used by the Town of Georgia firefighters. These bigger trucks have harder maneuverability that is made easier with cul de sacs.



- No fire hydrants would be available with the proposed water system. If public water was made available, then it might be possible. But with the well water system it would not likely be helpful in a fire situation, not when fire trucks pump water 1000/gal minute.
- No dry hydrant stormwater collection. The State will likely want stormwater to go back into the ground, not retained or held.
- Concerns were raised over the 66 units affecting the local school capacity. Applicants explained this will be addressed with Act 250 process. School administration will have the opportunity to address concerns with capacity.
- Traffic Study and volume for signal warrant analysis. Applicants need to meet all of the warrants, consistent throughout the day to determine if a traffic light at Ballard Road and Rt 7 is needed. Also see Criterion 5 in Act 250 regarding Traffic.
- Question from public regarding property maintenance. An HOA and/or property maintenance plan will be in place once development has been completed. Central management plan for plowing, landscaping, etc. Single family lots will have an HOA, along with 5-plex residents if owned.

Motion to close hearing 8:21pm

Motion made by Rainville, Seconded by Cross.

Voting Yea: Vice Chair Powell, Cross, Drew, Rainville, Sjoblom

**4. APPROVAL OF MINUTES**

A. DRB Meeting Minutes

Minutes approved with minor changes.

Motion made by Rainville, Seconded by Drew.

Voting Yea: Vice Chair Powell, Cross, Drew, Rainville, Sjoblom

**5. OTHER BUSINESS**

A. DRB Decision Letter APL-001-23

Decision approved with minor changes.

Motion to task Vice Chair Powell with signing the decision.

Motion made by Sjoblom, Seconded by Rainville.

Voting Yea: Cross, Drew, Rainville, Sjoblom

Voting Abstaining: Vice Chair Powell

**6. PLAN NEXT MEETING AGENDA**

A. August 1, 2023

- No agenda items are scheduled on the August 1, 2023 meeting. This meeting is cancelled and the DRB will reconvene on August 15, 2023.

**7. DELIBERATIONS**

Motion to enter into Deliberations 8:28pm

Motion made by Sjoblom, Seconded by Cross.

Voting Yea: Vice Chair Powell, Cross, Drew, Rainville, Sjoblom

Motion to exit Deliberations at 9:40pm

Motion made by Rainville, Seconded by Sjoblom.

Voting Yea: Vice Chair Powell, Cross, Drew, Rainville, Sjoblom

**8. ADJOURN**

Motion to Adjourn 9:45pm

Motion made by Rainville, Seconded by Drew.

Voting Yea: Vice Chair Powell, Cross, Drew, Rainville, Sjoblom

**Posted to the Town website, four designated places within the Town of Georgia (Town Clerk's Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.**

**Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator**

**Phone: 802-524-3524 | Fax: 802-524-3543 | Website: [townofgeorgia.com](http://townofgeorgia.com)**