



GEORGIA VERMONT

DRB MEETING

Tuesday, January 07, 2025 at 7:00 PM

Chris Letourneau Meeting Room and via Zoom

Agenda

Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWVadz09>

Meeting ID: 616 584 3896 | Passcode: 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. **CALL TO ORDER - 7:00 PM**
2. **ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA**
3. **PUBLIC HEARINGS**
 - [A.](#) Continuance of Boundary Line Adjustment (BLA-002-24) Willmuth, Drinkwater & Frangipane
 - [B.](#) Site Plan Amendment (SA-003-24) for the Town of Georgia, Town Garage
 - [C.](#) Site Plan (SP-006-24) and Conditional Use (CU-004-24) for 7 Real Estate Holdings, LLC, Mini-Storage Complex
4. **APPROVAL OF MINUTES**
 - [A.](#) DRB Meeting Minutes: December 17, 2024
5. **OTHER BUSINESS**
6. **PLAN NEXT MEETING AGENDA**
 - A. January 21, 2025
7. **DELIBERATIONS**
 - A. Decision Letter: Gamache
 - B. Decision Letter: Drinkwater, Willmuth & Frangipane
8. **ADJOURN**

Posted to the Town website, four designated places within the Town of Georgia (Town Clerk's Office, Georgia Public Library, Maplefields & Georgia Market), and e-mailed to the local media.

Signed: Douglas Bergstrom, Zoning Administrator, DRB Coordinator

Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com

**Boundary Line Adjustment
BLA-002-24**

Owner Parcel #1: Rita Drinkwater 78 Rock Island Road Georgia, VT 05478	Owner Parcel #2: Lewis Ragon & Mary Willmuth 5279 Georgia Shore Road Georgia, VT 05478	Owner Parcel #3: William & Jennifer Frangipane 5205 Georgia Shore Road Georgia, VT 05478
Property Tax Parcel & Location #1: 78 Rock Island Road Parcel ID#107150000 Zoning District L-1	Property Tax Parcel & Location #2: 5279 Georgia Shore Road Parcel ID#107190000 Zoning District L-1	Property Tax Parcel & Location #3: 5205 Georgia Shore Road Parcel ID#107160000 Zoning District L-1
Engineer/Surveyor: Michael Gervais, Barnard & Gervais LLC PO Box 820, Enosburg Falls, VT 05450 #802-933-5168		

BACKGROUND

1. Applicant's engineer, Mike Johnston from Bernard & Gervais LLC, presented the project to the DRB on December 17, 2024.
2. Proposed Boundary Line Adjustment for three (3) lots, where the Applicants/ Owners of Lot 2, Lewis Ragon & Mary Willmuth, will convey $\pm.44$ acres to the Owner of Lot 1, Rita Drinkwater. Applicants/ Owners of Lot 2, Lewis Ragon & Mary Willmuth, will also convey $\pm.68$ acres to the owners of Lot 3, William & Jennifer Frangipane.
3. Hearing was continued to January 7, 2025 to clarify lot lines of the three (3) properties, identify any easements as well as confirm the access for 0 Rock Island Road/Ashley Drinkwater's property.
4. Once the Boundary Line Adjustments have been made, the following lot sizes will be:
 - Lot 1 (78 Rock Island Road) is sized at ± 2.3 acres and will be ± 2.74 acres once adjusted;
 - Lot 2 (5279 Georgia Shore Road) is sized at ± 7.83 acres and will be ± 6.71 acres once adjusted; and
 - Lot 3 (5205 Georgia Shore Road) is sized at ± 1.17 acres and will be ± 1.85 acres once adjusted.

COMMENTS

1. Legal Description of adjusted area and boundary line adjustment plat-

Applicant had submitted and presented the site plans titled “*Boundary Line Adjustment Plat*” (prepared by Barnard & Gervais LLC and dated March 18, 2024) at the December 17th hearing. The DRB has requested updated site plans for the continuance.

2. **Means of Access-** Means of access will be discussed at the continuance of the hearing on January 7th.
3. **Existing and proposed easements or rights-of-way for each lot.** All existing easements will remain in place, according to Deed documents. Any easements will be included in the new site plans for the January 7th hearing.
4. **Location of existing infrastructure for each lot-** All lots include identified house, well and septic.
5. Draft deeds were received for both Lot 1 (Drinkwater) and Lot 3 (Frangipane) before the December 17th hearing, additional deed document information was requested to be discussed at the hearing continuance.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Planning & DRB Clerk



GEORGIA VERMONT

DATE: 11/7/2024 PERMIT NUMBER: BLA - 002 - 24

BOUNDARY LINE ADJUSTMENT APPLICATION

The undersigned owners/applicants hereby make application to undertake land development as defined in the Town of Georgia Development Regulations. The owners/applicants hereby swear and affirm that all of the information and representations made are true and accurate. Permit is issued based on accuracy of information provided; if false or inaccurate, permit may be revoked.

Pursuant to 24 VSA Chapter 117, Section 4463, "Before any plat is approved, a public hearing on the plat shall be held by the appropriate municipal panel after public notice." Plat will be heard by the Development Review Board (DRB) prior to recording of BLA plat.

Submission requirements: An application for Boundary Line Adjustment will consist of one full to scale paper survey, two 11"x17" copies, and supporting data which will include those items listed on this application form and the attached sheet. The application will not be deemed complete until all the applicable materials have been submitted. Failure to submit a complete application as defined shall be grounds for denial of the application by the Zoning Administrator.

Owner(s) of Parcel #1:

Rita Drinkwater
78 Rock Island Road
Georgia, VT 05478

Telephone: _____

Owner(s) of Parcel #2:

Lewis Ragan & Mary Willmuth
5279 Georgia Shore Road
Georgia, VT 05478

Telephone: _____

Location of Property #1: 78 Rock Island Road

Parcel ID No.: 107150000

Zoning District: L-1

Deed Reference: Volume 310 Page 294

Size of parcel prior to adjustment: 2.3 acres

Size of parcel after adjustment: 2.74 acres

Frontage of parcel prior to adjustment: same

Frontage of parcel after adjustment: same

5279 Georgia Shore Rd
Ragon & Willmuth

5205 Georgia Shore
Frangipane

Location of Property #2: Georgia Shore Rd
Parcel ID No.: 107190000
Zoning District: Lakeshore
Deed Reference: Volume 190 Page 157

Parcel # 3
Parcel ± A: 107160000
Zoning: Lakeshore
Deed: 387 pg 310
lot size prior: 1.17
lot size after: 1.85

Size of parcel prior to adjustment: 7.83 acres
Size of parcel after adjustment: 6.71 acres
Frontage of parcel prior to adjustment: same as existing
Frontage of parcel after adjustment: same as existing

Previous subdivision of parcel(s) (if applicable):

Permittee name: _____
Date: _____ Map # _____

Previous Site Plan Approval(s) (if applicable):

Permittee name: _____
Date: _____ Map # _____

List of plans, sketches, or other information submitted with this application:

Boundary Line Adjustment Plat

Description of proposed project: Proposed is a BIA between 3 lots.
Lewis Ragon + Mary Willmuth are conveying 0.68 acres to Frangipane
and 0.44 acres to Drinkwater

Existing and/or proposed means of access to each lot: existing easements off
Georgia Shore Rd

Existing and/or proposed easements and rights-of-way for each lot: _____

Location of existing infrastructure (i.e. wells, primary & replacement waste water disposal, etc.) for each lot: Parcel 1: house, well, septic Parcel 2: house, well, septic
Parcel 3: house, well, septic

List of abutting properties to the two parcels and stamped envelopes addressed to the listed abutters. Please leave the return address area blank as it will be stamped with the Town Office address in the event of a returned notice.

State permits required and/or obtained for this project (Applicants are responsible for obtaining all necessary State permits. Applicants should contact the Permit Specialist at the District 6 office of the Department of Environmental Conservation at 802-879-5676 to determine if a Wastewater and Potable Water Supply Permit is required in accordance with 10 VSA Chapter 64 and the Wastewater System and Potable Water Supply Rules. If, according to the DEC, a Wastewater System and Potable Water Supply Permit is NOT required, applicants shall provide written proof from the DEC of such to the Zoning Administrator. If a Wastewater System and Potable Water Supply permit IS required, applicants shall provide a copy of same):

The undersigned hereby certify and affirm that the information submitted in this application is true, accurate and complete.

Date: 10/16/24 [Signature]
Owner(s) of Parcel #1

Date: Nov 1, 20
[Signature]
WILLIAM FRANGIE

Date: 1 NOV 2024 [Signature]
Laura R. Willemuth
Owner(s) of Parcel #2

owner of
Parcel #3
[Signature]
JENNIFER
FRANGIE

NOTE: Upon approval of this application, a Mylar of the survey must be signed by the DRB Chair and recorded in the land records. Mylar must include those applicable items listed on the following page and two signature blocks as follows:

TOWN OF GEORGIA, VT
RECEIVED FOR RECORD

Received for record _____ A.D. 20 ____
At _____ O'clock ____ M and recorded on
Slide # _____ Map # _____
Attest: _____

This Subdivision Plat has been approved by resolution of the
Development Review Board of the Town of Georgia, VT
This _____ day of _____ 20 ____

Subject to the requirements and conditions of said resolution.
DRB Application # _____

Signed this _____ day of _____ 20 ____
By _____, DRB Chair

NOTE: Permit may be appealed within 15 days of issuance pursuant to 24 VSA Chapter 117, Section 4465. This permit expires one year from date of issuance if Mylar is not properly recorded.

FOR TOWN USE ONLY

Date Received	11/7/24	Complete/Incomplete	
Permit Number	BLA 002-24	Approved/Denied	
Fee Paid	500	Permit Valid	
Check #	11128	Recording Fee Paid	
Hearing Date	12/3/24		

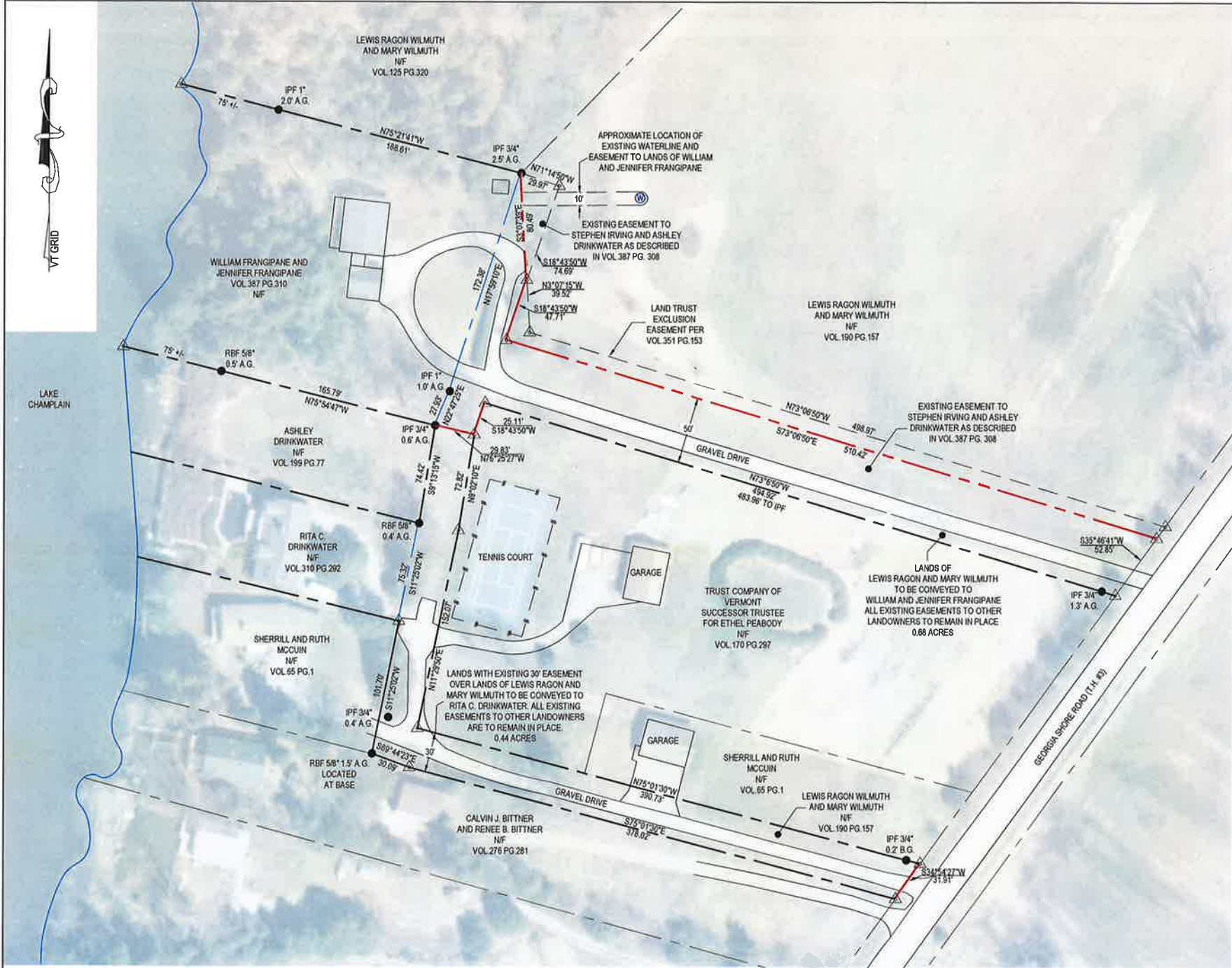
Boundary Line Adjustment Review Checklist

This checklist is intended to be used as an aid in developing a complete application for a Boundary Line Adjustment Permit. An application for a Boundary Line Adjustment shall consist of one (1) full to scale paper survey, two (2) 11"x17" copies, and supporting data which will include the following information. The Zoning Administrator may require additional information as necessary to determine compliance with the regulations.

1. Address of the subject properties.
2. Name and address of the owners of record of the subject properties.
3. Name and address of the owners of record of adjoining lands.
4. Stamped and addressed envelopes for mailing of Notice of Public Hearing
 - a. Please leave return address section blank.
5. A survey created by a registered land surveyor, drawn to scale, showing structures, roads, easements, rights of way, deed restrictions, name and address of person or firm preparing the map, scale of map, north point, date of map/revisions, and legend, current lot lines (labeled as such), proposed lot lines (labeled as such), current acreage of each lot, proposed acreage of each lot, means of accessing each lot, existing sewage disposal area for each lot, and existing water source for each lot.
6. A site location map showing the location of the project in relation to nearby town/state highways and developed areas at scale of one-inch equals one thousand feet.

Decisions:

The Zoning Administrator shall act to approve or disapprove Boundary Line Adjustment applications for review by the DRB within thirty (30) days after receipt of a complete application. Failure to act within the 30-day period shall constitute deemed approval on the 31st day.



- LEGEND
- PROJECT BOUNDARY LINES
 - PROPOSED BOUNDARY LINES
 - BOUNDARY LINES TO BE DISSOLVED
 - ABUTTING BOUNDARY LINES
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - RBF REBAR FOUND
 - IPF IRON PIPE FOUND
 - △ CALCULATED CORNER
 - A.G. ABOVE GRADE
 - B.G. BELOW GRADE
 - NF NOW OR FORMERLY
 - CHAIN-LINK FENCE

SURVEY REFERENCES:
1. "SURVEY & TWO LOT SUBDIVISION OF LAND OF CAROLYN LEAVITT" DATED AUGUST 2005 BY T. BASS LAND SURVEYORS, LTD. AND RECORDED IN THE TOWN OF GEORGIA MAP RECORDS MAP SLIDE #148.
2. "PLAT OF SURVEY FOR THE KEMPER PEABODY ESTATE" DATED 10/02/84 BY JOHN A. MARSH AND RECORDED IN THE TOWN OF GEORGIA MAP RECORDS MAP SLIDE #89.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS AND CONFORMS TO THE REQUIREMENTS OF 27 V.S.A. § 1403.
DATED THIS _____ DAY OF _____, 20____.
L.S. 735



- SURVEY NOTES:
1. BEARINGS SHOWN HEREON WERE GENERATED FROM SURVEY GRADE GNSS READINGS COLLECTED WITH A TRIMBLE R12I GNSS RECEIVER ON RANDOM CONTROL POINTS AND ADJUSTED TO VT GRID NAD83(2011) USING REAL TIME KINEMATIC CORRECTIONS FROM A VIRTUAL REFERENCE STATION GENERATED BY THE VERMONT CORS NETWORK.
 2. NO ATTEMPT HAS BEEN MADE TO LOCATE OR IDENTIFY ANY EASEMENTS OR RIGHTS OF WAYS UNLESS OTHERWISE SHOWN ON THIS PLAN.
 3. A CLOSED TRAVERSE SURVEY WAS COMPLETED IN MARCH, 2024 USING A LEICA TOTAL STATION. THE RESULTING ERROR MEETS OR EXCEEDS THE MINIMUM REQUIRED STANDARDS FOR A SUBURBAN SURVEY AS ESTABLISHED BY THE VERMONT BOARD OF LAND SURVEYORS.
 4. ALL EVIDENCE OF MONUMENTATION FOUND ON THE SURVEYED PREMISES IS SHOWN HEREON. MONUMENTATION FOUND IS CONSIDERED TO BE IN GOOD AND STABLE CONDITION UNLESS OTHERWISE NOTED. ALL IRON PIPE DIMENSIONS PERTAIN TO INSIDE DIAMETER UNLESS OTHERWISE NOTED.
 5. THE RIGHT OF WAY WIDTH FOR GEORGIA SHORE ROAD, TOWN HIGHWAY #3, OF 3 RODS (49.5') IS BASED ON PREVIOUS SURVEYS OF RECORD, MONUMENTATION FOUND, THE TRAVELED WAY AND VERMONT STATE STATUTE.
 6. ALL AREA CALCULATIONS ARE BASED ON THE EDGE OF THE RIGHTS OF WAY OF SAID ROAD AND NOT THE CENTERLINE THEREOF.
 7. ALL REBARS SET ARE 5/8" WITH A CAP STAMPED M GERVAIS VTL5 735 AND ALL MONUMENTATION FOUND IS AS NOTED.
 8. UNAUTHORIZED ALTERATIONS AND/OR MODIFICATIONS TO THIS PLAN SHALL INVALIDATE ANY AND ALL CERTIFICATIONS MADE BY BARNARD & GERVAIS, LLC AND FURTHER ANY PARTIES INVOLVED IN SAID ALTERATIONS AND/OR MODIFICATIONS SHALL BE HELD LIABLE AND MAY BE PROSECUTED IN A COURT OF LAW.
 9. BARNARD AND GERVAIS, LLC MAKES NO WARRANTIES THAT ALL ENCUMBRANCES THAT EXIST FOR THE SUBJECT PARCEL ARE SHOWN HEREON. ADDITIONAL ENCUMBRANCES THAT MAY EXIST INCLUDE, BUT ARE NOT LIMITED TO, WETLANDS, WELL AND SEPTIC ISOLATION ZONES, HAZARDOUS WASTE SITES AND/OR BROWNFIELDS WITH ASSOCIATED ISOLATION ZONES.
 10. THIS SUBDIVISION PLAT IS NOT INTENDING TO CREATE ANY EASEMENTS OTHER THAN THOSE SPECIFICALLY LISTED AND DESCRIBED HEREON. ANY DRIVES, PATHS, TRAILS OR OTHER AMENITIES SHOWN HEREON ARE CONSIDERED PRIVATE UNLESS OTHERWISE NOTED.
 11. THE INTENT OF THIS PLAN IS TO SHOW THE TWO EXISTING ACCESSSES OVER LANDS OF MARIANNA SHIBITA BEING CONVEYED TO LANDS OF RITA DRINKWATER AND LANDS OF FRANGIPANE THROUGH A BOUNDARY LINE ADJUSTMENT. ALL OTHER LANDOWNERS WITH EXISTING RIGHTS IN SAID ACCESS AREAS WILL NOT BE AFFECTED.

RECEIVED FOR RECORD IN THE TOWN OF GEORGIA
THIS _____ DAY OF _____, 20____.
THIS IS A PRELIMINARY PLAN AND SHOULD NOT BE USED FOR CONVEYANCES.
SLIDE# _____
BLOCK _____ MINUTES _____ M
AND RECORDED IN GEORGIA, VERMONT

PARCEL INFORMATION
OWNER: RITA C. DRINKWATER
VOL 310, PG 294
SPAN: 237-076-10557
PARCEL ID: 107150000
PARCEL INFORMATION
OWNER: RAGON & MARY WILLMUTH
VOL 190, PG 157
SPAN: 237-076-11021
PARCEL ID: -
PARCEL INFORMATION
OWNER: FRANGIPANE
VOL 387, PG 310
SPAN: 237-076-10883
PARCEL ID: 107160000

DATE	DESCRIPTION	BY
REVISIONS		
BARNARD & GERVAIS, LLC Land Surveying Water & Wastewater Environmental Consulting 187 Main Street, P.O. Box 820 Fond du Lac, VT 05622 Telephone: (802) 933-5188 10233 VT Route 118, P.O. Box 153 Fond du Lac, VT 05622 Telephone: (802) 463-2587		
PROJECT NO. 23109		
DATE: 03-18-2024		
SCALE: 1" = 60'		
SURVEY: C.J. SL		
DRAWN: SL		
CHECKED: MG		
DRAWING NO. PL-1		
SHEET 1 OF 1		

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

☒ SKETCH/CONCEPT ☐ PRELIMINARY ☐ FINAL LOCAL REVIEW



Town of Georgia

47 Town Common Road North. • St. Albans, VT 05478
• Phone: 802-524-3524 • Fax: 802-524-3543 • website: townofgeorgia.com

Site Plan Application

Application #SA 003-24 Original SP# SA-001-21

Submission Requirements: An application for Sketch Plan Review will consist of one set 11"x17" site plan maps plus a digital file in *.pdf format which includes scale, north arrow, legend, abutters, title block, with supporting data to include items listed on the attached checklist, and as approved in the original Site Plan. The application will not be deemed complete until all required materials have been submitted. Failure to submit a complete application, as defined herein, shall be grounds for denial of the application by the DRB.. Applicant must also submit a list for all abutters, including those across a public or private right of way. **Incomplete applications will be returned and will delay scheduling your hearing.**

SECTION 1: OWNER/APPLICANT INFORMATION (complete all)

Owner(s): <u>Town of Georgia</u>	Applicant(s): _____
Address: <u>47 Town Common Rd No</u>	Address: _____
<u>St. Albans VT</u>	_____
Zip Code <u>05478</u> Telephone <u>802-524-3524</u>	Zip Code _____ Telephone _____
Email <u>administrator@townofgeorgia.com</u>	Email _____
Tax Parcel ID: <u>118300000</u> Zoning District: <u>AR2</u> PUD <u> </u> Yes <u> </u> No <u> </u>	

CERTIFICATION OF APPLICANT(S)

AFFIRMATION: The undersigned hereby certifies that the information submitted in this application is true, accurate, and complete.

Signature of Applicant: Carl Augment Date: 12/9/24

Signature of Applicant: _____ Date: _____

PROPERTY OWNERS' AUTHORIZATION

The undersigned property owner(s) hereby certify that the information submitted in this application regarding this property is true, accurate and complete and that the Applicant(s) have full authority to request approval for the proposed use of the property and any proposed structure(s).

Signature of Owner: Carl Augment Date: 12/9/24

Signature of Owner: _____ Date: _____

Location of Property: _____

Parcel ID No.: _____	Zoning District: _____
Deed Reference: Volume _____ Page _____	Size of Parcel: _____ acres

Previous subdivision of parcel (if applicable)

Permittee name: Olive and Gary Gilmond

Date: 11.11.19

Map #

Previous Site Plan Approval (if applicable)

Permittee name: Town of Georgia

Date: 11.21.21

Map # 400 268 617 A

If applicable:

Engineer: Derick Reed

Surveyor: _____

Phone: _____

Phone: _____

Email: _____

Email: _____

Description of proposed project: (Please describe here or attach a separate proposal)

Eliminate number 9 under order on Site Plan Decision SA-001-21

- safety issue, parking, trucks, traffic

Names and addresses of abutting property owners:

Existing and/or proposed means of access to the site:

N/A

List of plans, sketches, or other information submitted with this application:

N/A

Location of parking and proposed number of spaces:

N/A

Existing and/or proposed road & driveway access to site:

N/A

Existing and/or proposed easements and rights-of-way:

N/A

Proposed and/or existing wastewater disposal and water supply:

Proposed drainage/storm water runoff (if required):

N/A

Proposed landscaping (if applicable):

N/A

Size and location of proposed and/or existing buildings:

N/A

State permits required and/or obtained for this project:

N/A

Proposed lighting (if any):

N/A

Notes

- 1) Narratives which summarize the purpose, scope and key proposed changes to the approved subdivision and/or site plan are encouraged & may be attached.

2) Application standards for subdivision approval appear in the Georgia Development Regulations as Article 4. Site Plan Review and Approval standards appear in Article 3.

Site Plan Review Checklist:

This checklist is intended to be used as an aid in developing a complete application for Site Plan Review before the DRB. An application for Site Plan Review will consist of eight (8) sets of site plan maps and supporting data which will include the following information, and such information as indicated in the Concept Plan Recommendation, if applicable. The DRB may require additional information as necessary to determine compliance with the regulations.

1. Address of subject property.

2. Name and address of the owners of record of the subject property

3. Name and address of the owners of record of adjoining lands.

4. Map or survey, drawn to scale, showing existing features, including contours, land use, structures, large trees, roads, easements, rights of way, deed restrictions, name and address of person or firm preparing the map, scale of map, north point, date of map/revisions, and legend.

5. Site Plan, 24" by 36" digital file in PDF format in size and drawn to an appropriate scale, showing proposed land use areas including proposed structures, roads, driveways, traffic circulation, parking and loading spaces, and pedestrian walkways; landscaping plans including site grading, culverts, drainage, landscape design, screening, signs and lighting; name and address of person or firm preparing the map, scale of map, north point, date of map and revisions, legend, and name, address and interest of the applicant in the subject property.
6. The DRB may require that the map or survey and site plan be prepared by a landscape architect, registered land surveyor, registered civil engineer, or registered architect if the proposed project utilizes more than 3,500 square feet, including parking area, or is a complex proposal that could have impacts on surrounding property owners, major roads, or important resources.
7. Construction sequence and timing schedule for completion of each phase for buildings, parking spaces, and landscaped areas of the entire project.
8. Specifications of the materials and plantings to be used.
9. A site location map showing the location of the project in relation to nearby town highways and developed areas at scale of one inch equals one thousand feet.
10. Uses that will generate more than one hundred and fifty (150) vehicle trip-ends per day (estimates shall be based on the most recent rates provided by the Institute of Transportation Engineers) shall include a traffic study conducted by a professional traffic engineer. The study will include details of existing and proposed ingress and egress, expected traffic volumes, turning movements, existing, and resulting levels of service, and proposed traffic control measures. The DRB may require a traffic study for projects generating less than 150 vehicle trip-ends where it finds there is a potential traffic safety issue.
10. A letter from the Georgia Fire Chief indicating any fire and rescue concerns with the proposed project.
11. A lighting plan including the location and height of mountings and/or light poles, fixture type, lamp type, wattage, level of illumination (footcandles). The DRB may require that the lighting plan be developed by a qualified professional. This plan shall show light levels, evenness, and patterns of light distribution, and should also indicate the lamp type, wattage, and lamp loss factors applied.
12. Sign details including dimensions, height, material, and proposed lighting.
13. At the request of the applicant, the DRB may waive any of the above submission requirements, but only where it finds that the size and scope of the application is such that the requirements represent an undue burden on the applicant and are clearly not necessary for the Commission to make findings on the application consistent with the requirements of these Zoning Regulations.
14. All fees according to the Permit Fee Schedule on the website at:

[Fee Schedule](#)

Decisions

The DRB shall act to approve or disapprove Site Plan applications in writing within forty-five (45) days after closure of the public hearing. Failure to act within the 45-day period shall constitute deemed approval on the 46th day. The DRB may recess and continue a hearing pending receipt of requested information, and non-submittal of requested information shall constitute grounds for Site Plan denial. The DRB shall prepare written findings-of-fact and conclusions setting forth background and rationale for their decision. The DRB may attach conditions of approval to ensure the intent of applicable bylaws and the municipal plan are met.

Site Plan decisions shall be distributed per requirements in Title 24, Chapter 117, Section 4464(b)(1)(3), Vermont Statutes Annotated.

(FOR TOWN USE ONLY):

Date received: _____ Fee paid: _____ Check # _____

Returned (incomplete) _____ Date: _____

Signed: _____

Douglas Bergstrom
Zoning Administrator
Planning, DRB & 911 Coordinator

You will receive a written Decision and Finding of Fact within 45 days of the close of the hearing.

**Site Plan Amendment
Decision Amendment
SA-003-24 for SA-001-21**

Owner/Applicant: Town of Georgia 47 Town Common Road North Georgia, VT 05478 802-524-3524	Property Tax Parcel & Location: 65 Plains Road Georgia, Vermont Parcel#118300000 Zoning District: AR-2
Surveyor/Engineer: Derick Reed	

BACKGROUND

The Town of Georgia, hereafter referred Applicant, is requesting Site Plan Amendment for a change to Order #9 in the Decision letter from Site Plan Amendment SA-001-01 hearing. The parcel is located at 65 Plains Road, within the AR-2 zoning district. The parcel #118300000 is ±1 acre in size.

Applicant proposes to omit Order #9 from the Notice of Decision for SA-001-21 signed on November 23, 2021 by Chair of the DRB Suzanna Brown, citing safety issues with the traffic and parking of town work vehicles.

Order #9 reads as follows:

The class II wetland located on the parcel shall be used as a public education and teaching area, demonstrating the importance of maintaining wetlands and their buffers. Following the instructions of the State Wetland permit, the required additional wetland planting shall be a public activity.

- a. *The community shall be encouraged to participate in the wetland planting.*
- b. *Within the next five years signage and trails for public education shall be installed, under the advisement of the Conservation Commission.*
- c. *Any infrastructure associated with public education and maintenance thereof shall be treated as Town Common Property and be funded through available grants and the Town's Buildings & Grounds budget.*

COMMENTS

General Site Plan Review Requirements

- 1. Dimensional Requirements.** The property meets the dimensional requirements for the AR-2 Zoning District.
- 2. Site Plans.** See Slide 288, Maps 617 & 618.
- 3. Lot layout.** As proposed, the boundary lines are linear and generally regular in shape.

4. **Suitability for development.** The property is currently in use as the Town of Georgia Garage.
5. **Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.**
N/A
6. **Open space and recreation.** Due to the ingress and egress of motorized work vehicles throughout the day, it has been determined the Class II wetlands originally slated for use as an educational and teaching site is not safe for individuals use.
7. **Storm water & erosion control plan during construction.** N/A
8. **Conformance with Town Plan & Bylaws.** The property conforms with the Town Plan and Bylaws of the Town of Georgia.
9. **Water & air pollution.** N/A
10. **Compatibility with surroundings.** N/A
11. **Municipal services.** N/A
12. **Water supply.** N/A
13. **Vehicular traffic.** Parking spaces at the Town Garage should be reserved for road crew employees, both in daily activities and in the event of emergency services needed by the municipality.
14. **State Permits.** N/A
15. **Proposed Lighting.** N/A
16. **Previously approved decision,** Site Plan Amendment, October 26, 2021; September 28, 2021.

Respectfully submitted,

Kollene Caspers
Zoning Clerk and DRB Clerk
Town of Georgia

**TOWN OF GEORGIA
PLANNING COMMISSION
FINDINGS OF FACT, CONCLUSIONS & ORDER**

**NOTICE OF DECISION
SA-001-21**

**Town of Georgia, Highway Garage – Applicant / Owner
Site Plan Amendment Review**

This matter came before the Georgia Planning Commission on the application of Town of Georgia, Owner/Applicant, hereafter referred to as Applicant, for Site Plan Amendment Review to adjust the placement of the 14,880 square foot municipal highway garage and related infrastructure north to avoid wetlands. The property is located at 83 Plains Road within the AR-2 zoning district.

The parcel contains ±5.4 acres and was created as part of a 2-lot subdivision by former owners Gary & Olive Gilmond, following a Final Plat Review conducted by the Georgia Planning Commission November 11, 2019. The Gilmond Final Plat Decision required Applicant, or Applicant’s assigns, submit for and receive Site Plan Approval prior to receiving a Zoning Permit.

The Planning Commission originally held a public hearing on December 22, 2020. A Notice of Public Hearing was duly published on December 4, 2020 and all adjoining property owners were notified. Derick Reed of Krebs & Lansing Consulting Engineers, Inc., was present and represented Applicant at the hearing.

The Planning Commission held a public hearing for the Site Plan Amendment on September 28, 2021. A Notice of Public Hearing was duly published on September 10, 2021, and all adjoining property owners were notified. Amber Baker and Kyle Grenier were present and representing Applicant at the hearing. The Planning Commission voted to continue the hearing until time specified as October 26, 2021.

The continued Planning Commission hearing was held on October 26, 2021. Derick Read of Krebs & Lansing Consulting Engineers, Inc., Matt Young, Mike Connor of Connor Contracting, Inc., Amber Baker, Town Administrator, and Kyle Grenier, Selectboard Vice Chair, were present representing Applicant.

Based on the above-mentioned public hearing, plans submitted, and additional documents contained in the planning file for this proposal, the Planning Commission enters the following Findings of Fact, Conclusions, and Order.

FINDINGS OF FACT

NOTE: The application, any and all relevant evidence presented to the Commission, and the minutes of the hearings conducted by the Town of Georgia Planning Commission on December 22, 2020, September 28, 2021, and October 26, 2021, shall be considered part of the Findings of Fact and kept as part of the permanent record of the Applicant. This official record shall provide additional basis for the Commission's decision.

1. Town of Georgia, Owner/Applicant, hereafter referred to as Applicant, requested a Site Plan Amendment hearing to amend their original Site Plan Approval on PC-028-20 to adjust the placement of the 14,880 square foot municipal highway garage and related infrastructure north to avoid wetlands. The parcel is located at 83 Plains Road in the AR-2 zoning district. The subject property is a ±5.4-acre parcel and is benefitted by ±157 feet of frontage on Ethan Allen Highway and a 60' wide right-of-way easement over a parcel owned by Applicant containing the existing town highway garage.
2. The parcel was created as part of a 2-lot minor subdivision created by Olive and Gary Gilmond following a Final Plat Review on November 11, 2019 by the Georgia Town Planning Commission. The corresponding Mylar is recorded in the Land Records of the Town of Georgia at Map Slide 274, Map 564. A condition within the Gilmond Final decision stated: Prior to the issued of a Zoning Permit, Applicants, or Applicant's assigns, shall submit a completed Site Plan application for review and approval by the Town of Georgia Planning Commission.
3. Georgia Town Planning Commission conducted a Site Plan hearing on December 22, 2020. A Notice of Public Hearing was duly published on December 4, 2020, and all abutting property owners were notified.
4. Applicant submitted the following plans prepared by Wiemann Lamphere Architects, Krebs & Lansing Consulting Engineers, Inc., and Pearson & Associates entitled:

Wiemann Lamphere Architects

- Schematic elevations 07/16/2020
- L1.01 Landscape Plan 06/08/2021

Wiemann Lamphere Architects and Krebs & Lansing Consulting Engineers

- C1.00 Overall Site plan 09/04/2021
- C1.01 Site Plan 09/04/2021
- C1.02 Site Plan 09/04/2021
- C2.00 Existing Conditions 09/04/2021
- C3.00 Erosion Prevention & Sediment Control Plan Pre-construction 09/04/2021
- C3.01 Erosion Prevention & Sediment Control Plant Winter 2021-2022 09/04/2021
- C3.02 Post Construction Stabilization Plan 09/04/2021
- C4.00 Civil Details 09/04/2021
- C4.01 Civil Details 09/04/2021
- C4.02 Civil Details 09/04/2021
- C4.03 Civil Details 09/04/2021
- C4.04 Civil Details 09/04/2021
- C5.01 Wetland Impact 08/18/2021

Wiemann Lamphere Architects and Pearson & Associates

- SE.1 Site Plan Photometric 09/14/2021
 - SE.2 Site Lighting Fixtures 09/14/2021
5. The structure proposed on Applicant's plans meet all current setback requirements and are within the designated building envelope as depicted on the approved subdivision plat.
 6. Applicant submitted Vermont Wastewater Permit WW-6-2597, approved October 18, 2019.
 7. Applicant submitted a letter from the Georgia Fire Chief dated December 8, 2020, which indicated the fire department's ability to serve the site. The Fire Chief requested a Knox Box key-box be attached to the building containing a key accessing all locks to the building. The Fire Chief also requested a separate Knox Box key-box be attached to the driveway gate to enter afterhours, and that the driveway and parking areas remain clear to allow fire apparatus access. This would include, but not be limited to, snow removal, a solid roadway, and any overhanging wires or branches from planted or existing trees be high enough for apparatus to safely go under.
 8. Applicant shall submit an approved State Wetland Permit prior to obtaining a zoning permit.
 9. The following members of the Georgia Planning Commission were present for the site plan amendment review public hearing on September 28, 2021, constituting a quorum: Suzanna Brown, Tony Heinlein, Greg Drew, and David Vincent. The following members of the Georgia Planning Commission were present for the site plan amendment review continued public hearing on October 26, 2021, constituting a quorum: Suzanna Brown, Greg Drew, Dave Vincent, Maurice Fitzgerald and Tony Heinlein. See the official meeting minutes for a list of others present at the meeting.
 10. The regulations in effect at the time of the decision: Town of Georgia Development Regulations, last amended October 14, 2013.

CONCLUSIONS

1. Applicant has submitted all relevant site plan information required by the Town of Georgia Development Regulations.
2. Approval of the site plan amendment is based on all site plan documents submitted and contained in the Town of Georgia, Town Garage, file.

ORDER

Based on the Findings of Fact and Conclusions set forth above, the Georgia Planning Commission approves Applicant's Site Plan Amendment adjust the placement of the 14,880 square foot municipal highway garage and related infrastructure north to avoid wetlands with the following conditions:

1. The final Mylar Site Plan and Survey Plat shall be signed by the chair of the Planning Commission and filed with the Town Clerk within 180 days of the Planning Commission's amended final approval. One 90-day extension may be granted by the Planning Commission.
 - a. 180 days from November 23, 2021, is May 22, 2022.
2. The final plat plan shall be accompanied by a vicinity map drawn at the scale of not over four hundred (400) feet to the inch to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area.
3. Within 180 days of the date of this decision Mylars and one scaled paper copy of each Mylar of the Final Site Plans shall also be submitted to the Zoning Administrator. Site Plan details shall include the following:
 - a. The building envelopes showing proposed setbacks.
 - b. Proposed building.
 - c. Calculated metes and bounds for all rights of way and easement areas.
 - d. Wastewater details with associated isolation areas.
 - e. Drilled well and well isolation areas.
 - f. Drainage details.
 - g. Erosion control details.
 - h. Stormwater details.
 - i. Contour lines at a minimum of 5' intervals.
 - j. Existing and proposed utilities (power lines serving each proposed building).
 - k. Existing and proposed driveways, parking area and proposed and future sidewalks.
 - l. Landscaping details, including a list of numbers, types and size of trees and shrubs to be planted.
 - m. Typical cross sections of the proposed grading of the driveway, parking, and sidewalks.
 - n. Natural features of the proposed site including: Wetlands with associated required buffers, streams with associated required buffers, prime agricultural soils, rock outcroppings, and slopes > 25%.
 - o. A 15' wide sidewalk easement located along the Ethan Allen Highway, at the easterly property line, with metes and bounds calculated.
 - p. The wastewater easement located along the northern property line and northwest corner of the lot in favor of the existing town highway garage parcel, with metes and bounds calculated.
 - q. Planning Commission and Town Clerk signature blocks.

4. Each Final Plat plan shall be accompanied by a vicinity map drawn at the scale of not over four hundred (400) feet to the inch to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area.
5. The Applicant can use a mix of fencing and boulders to monument the wetland buffers on the subject parcel as well as the adjoining Town owned parcel that currently has the rummage building located on it. All monumenting devices shall be maintained in perpetuity.
 - a. Boulders shall follow the most recent Town Zoning Regulations and be at least 3 cubic feet in size and placed every 20'.
6. In the wetland and wetland buffer the following items and activities are prohibited:
 - a. Motorized vehicles
 - b. Mowing or cutting of trees (except for hazard trees)
 - c. Livestock and pets (domestic or otherwise)
 - d. Storage of items (ex: trucks, trailers, equipment, building materials, etc.)
- 7.
8. Applicant shall follow all instructions listed in their State issued Wetlands Permit.
9. The class II wetland located on the parcel shall be used as a public education and teaching area, demonstrating the importance of maintaining wetlands and their buffers. Following the instructions of the State Wetland permit, the required additional wetland planting shall be a public activity.
 - a. The community shall be encouraged to participate in the wetland planting.
 - b. Within the next five years signage and trails for public education shall be installed, under the advisement of the Conservation Commission.
 - c. Any infrastructure associated with public education and maintenance thereof shall be treated as Town Common Property and be funded through available grants and the Town's Buildings & Grounds budget.
10. For fire protection, Applicant shall install a Knox Box key-box attached to the building containing keys to access all locks to the building. A separate Knox Box key-box shall be attached to the driveway gate to gain entry afterhours. The driveway and parking areas shall remain clear to allow fire apparatus access. This would include, but not be limited to, snow removal, a solid roadway, and any overhanging wires or branches from planted or existing trees be high enough for apparatus to safely go under.
11. The construction of the 14,880 square foot highway garage shall follow the approved amended plans, as set forth in the plans and exhibits as approved by the Planning

Commission and on file in the Town Office, and in accordance with the conditions of this approval.

- 12. Applicant shall be required to obtain a building permit from the Zoning Administrator prior to the construction of the proposed buildings.
- 13. Prior to the issuance of a Certificate of Occupancy, Applicant shall submit to the Zoning Administrator a letter from a licensed engineer or excavator stating the driveway was built to the current Town Standards.
- 14. Areas exposed during construction shall be treated in a manner consistent with the procedures contained in the Vermont Handbook for Soil Erosion and Sediment Control on Construction Sites published by Vermont's Department of Environmental Conservation.
- 15. Applicant is responsible for acquiring any and all necessary state permits required for this proposal. Copies of all required state permits shall be provided to the Zoning Administrator for submission into the planning files.
- 16. This project shall be completed, operated, and maintained as set forth in the plans and exhibits as approved by the Planning Commission and on file in the Town Office, and in accordance with the conditions of this approval.
- 17. All plans, drawings, and conditions/requirements etc. listed above or submitted at the hearing and used as the basis for the decision to grant this permit shall be binding on the applicants, their heirs, successors, and assigns. Projects shall be completed in accordance with such approved plans and conditions. Any deviation from the approved plans shall constitute a violation of permit and be subject to enforcement action by the Town.

Dated at Georgia, Vermont, this 23rd day of November 2021.

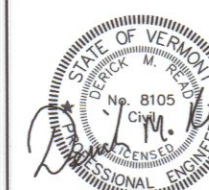
By: Suzanna Brown
Suzanna Brown
Georgia Planning Commission Chair

Vote to approve: In Favor - 6, Opposed – 0, Absent - 0.
In Favor- Suzanna Brown, Greg Drew, Tony Heinlein, David Vincent, and Maurice Fitzgerald.
Absent - None

30 Day Appeal Information:

An “interested person”, who has participated in this proceeding, may appeal this decision to the Vermont Environmental Court within 30 days of the date this decision was signed. Participation shall consist of offering, through oral or written testimony, evidence or a statement of concern related to the subject of the proceeding. See V.S.A. Title 24, Chapter 117, Section 4465b for clarification on who qualifies as an “interested person”.

Notice of the Appeal, along with applicable fees, should be sent by certified mail to the Vermont Environmental Court. A copy of the notice of appeal should also be mailed to the Town of Georgia Planning Commission at 47 Town Common Rd. North, St. Albans, VT 05478-6089. Please contact the VT Environmental Court for more information on the filing requirements, fees, and current mailing address.



525 Hercules Drive
Suite Two
Colchester, VT 05446
802.655.5020
802.622.6567
wiemannlamphere.com



164 Main Street, Suite 200
Colchester, Vermont 05445
P: (802) 878-0375
www.krebsandlansing.com

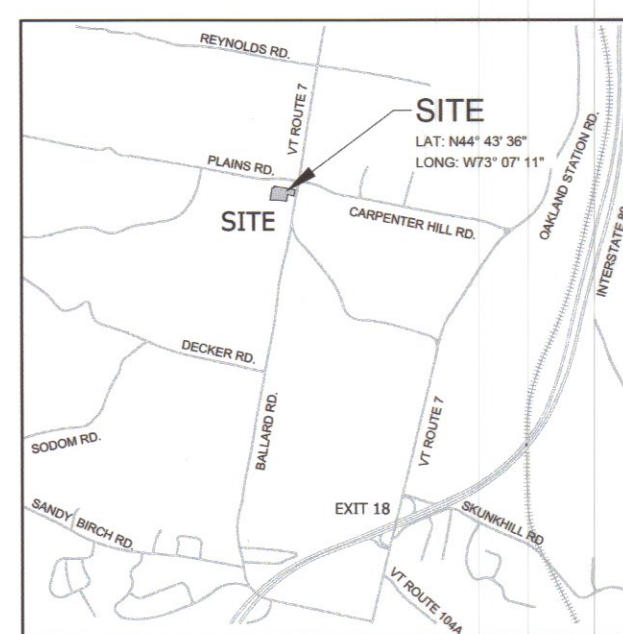
Town of Georgia
GEORGIA TOWN GARAGE

#	DATE	REVISION DESCRIPTION
1	12/21/21	Planning Commission Conditions
2	SEPTEMBER 4, 2022	PROJECT NO. 2022-001
3		CHECKED BY: DMR
4		SHEET TITLE: OVERALL SITE PLAN

OVERALL SITE PLAN

SHEET NUMBER:

C1.00



LOCATION MAP
Not to Scale

NOTES

- The Contractor shall be responsible for repairing all disturbed areas back to original condition, including but not limited to curbing, sidewalks, road, parking areas, landscaping, site lighting, electrical, and etc. All asphalt shall be sawcut prior to paving.
- All stumps, rock, and other non-approved trench backfill material discovered during construction is the exclusive property of the Contractor and shall be removed from the property and disposed of in a State approved disposal location. All existing soils reused for fill shall conform to all applicable sections of VTRANS specifications Section 203-Excavation & Embankments. Any soil reused to establish subgrade under roads and applicable concrete sidewalks shall pass a subgrade proof roll with a loaded tandem. Reused soils that do not pass a subgrade proof roll shall be removed and replaced at the Contractor's expense.
- All passing sieve, proctor, and compaction testing expenses shall be paid by Owner. Testing coordination, all other required testing, and expenses for failed tests shall be the Contractor's responsibility.
- The Contractor shall contact Green Mountain Power and Vermont Gas Systems prior to any work in the vicinity of the respective utilities.
- This project requires coverage under a State Construction Stormwater Discharge Permit. The Contractor shall be the On-site Coordinator for the project and shall be responsible for all required inspections (minimum weekly and after any storm event that produces a discharge), turbidity readings, maintenance, and reporting. The Contractor shall be responsible for installing, maintaining and removing all erosion and sediment control devices shown on the plans or details and, to the maximum extent practical, to minimize potential contamination of stormwater runoff from the construction activities.
- Contractor shall be responsible for all "As-built" measurement and drafting requirements as outlined on the Detail Sheets. All trench excavations shall remain open until all as-built survey shots have been taken. Progress Record Drawings shall be submitted to the Engineer on a bi-weekly basis.
- Contractor shall be responsible for importing topsoil as required to complete the project. Contractor shall test topsoil for approval by the Owner and Engineer. Refer to Post Construction Stabilization Plan for additional soil preparation requirements.
- All new storm pipes shall be PVC SDR 35 unless otherwise noted.
- Temporary groundwater and stormwater by-pass pumping and/or diversion is the responsibility of the Contractor. The Contractor is responsible for providing all necessary pumps and equipment to perform the work. Overnight pumping is not allowed.
- Removal of all erosion control matting and inlet protection is the responsibility of the Contractor.
- Electrical and communication lines on this plan are shown for illustrative/coordination purposes only. Refer to Electrical plans and specifications for design.
- Buried natural gas is shown for alignment purposes only. Contact Vermont Gas Systems for design and details of new gas line. Contractor shall be responsible for the excavation, backfill, and restoration for the construction of the natural gas lines. Vermont Gas Systems will provide the piping, labor to install, and testing for the new gas main. Coordinate work and all gas shut down procedures with the Owner.
- Refer to Plumbing plans for waterline and sewer design within five feet of building.

LEGEND

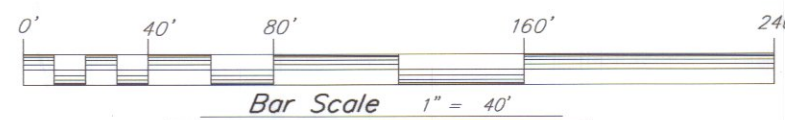
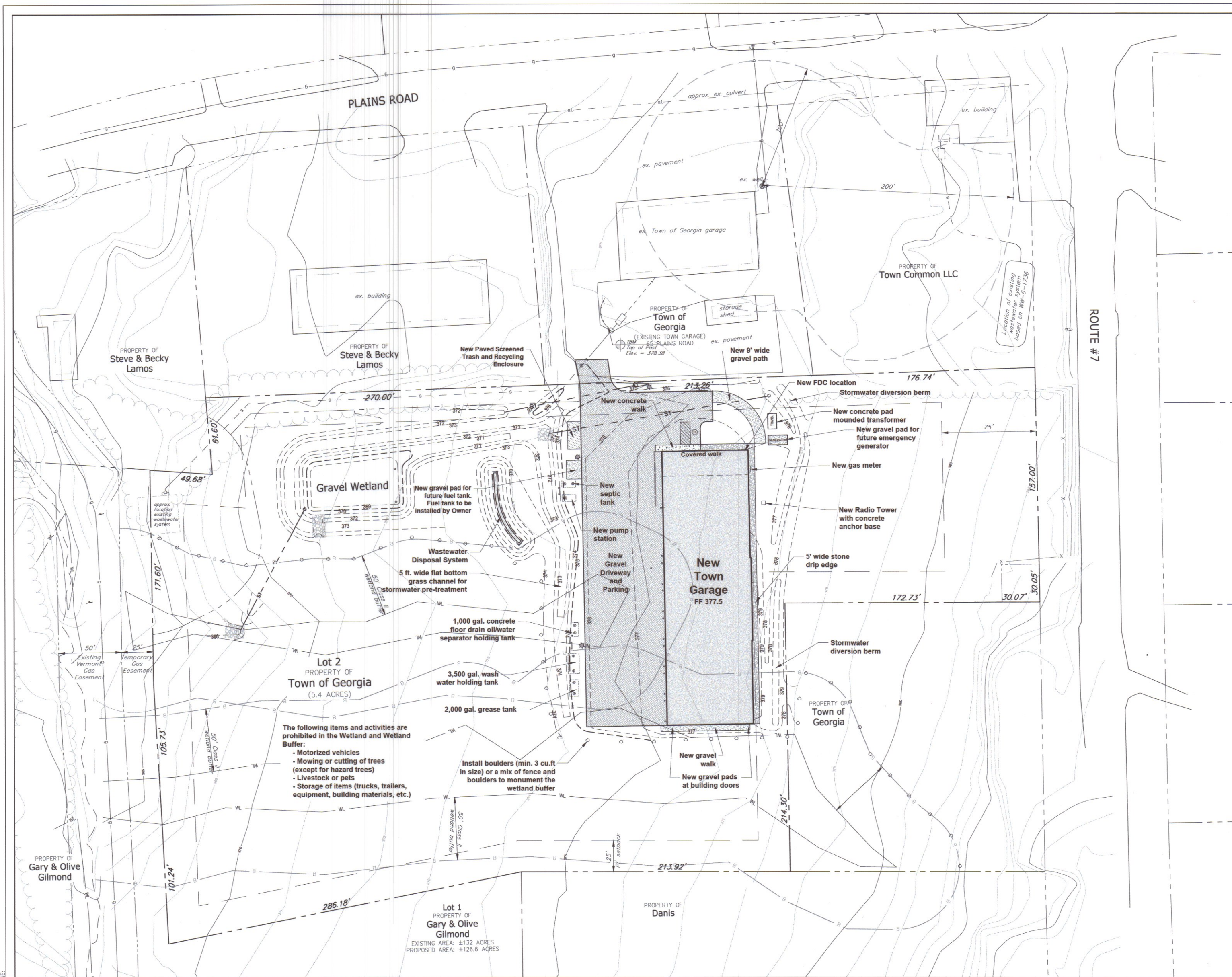
- ☆ NEW LIGHT POLE AND BASE
- x863.9 FINISH GRADE SPOT ELEVATION
- FINISH GRADE FLOW DIRECTION
- PRECONSTRUCTION EXCAVATION
- FINISH GRADE CONTOUR LINES (5 FOOT INTERVALS)
- FINISH GRADE CONTOUR LINES (1 FOOT INTERVALS)
- PROPOSED GAS LINE/VALVE
- PROPOSED SEWER LINE/MANHOLE
- PROPOSED STORM LINE/MANHOLE/BASIN
- PROPOSED OVERHEAD ELECTRIC LINE/POWER POLE
- PROPOSED UNDERGROUND POWER
- PROPOSED WATER LINE/SHUTOFF
- NEW BUILDING
- NEW GRAVEL DRIVEWAY & PARKING
- NEW GRAVEL PATH
- NEW CONCRETE WALK
- NEW STONE DRIP EDGE
- NEW ASPHALT

ZONING DATA

Zoned: AR-2 Residential Medium Density District
Existing Land Use: Vacant (Pasture)
Proposed Land Use: Commercial (Town Garage)

	Requirements	Proposed
Min. Lot Area	2 Acre	5.4 Acres
Min. Lot Frontage	150 ft	±187 ft
Front Yard Setback	75 ft	±443 ft
Side Yard Setback	25 ft	±33 ft
Rear Yard Setback	25 ft	±190 ft
Max. Building Height	35 ft	-

Source: October 14, 2013 Town of Georgia Development Regulations



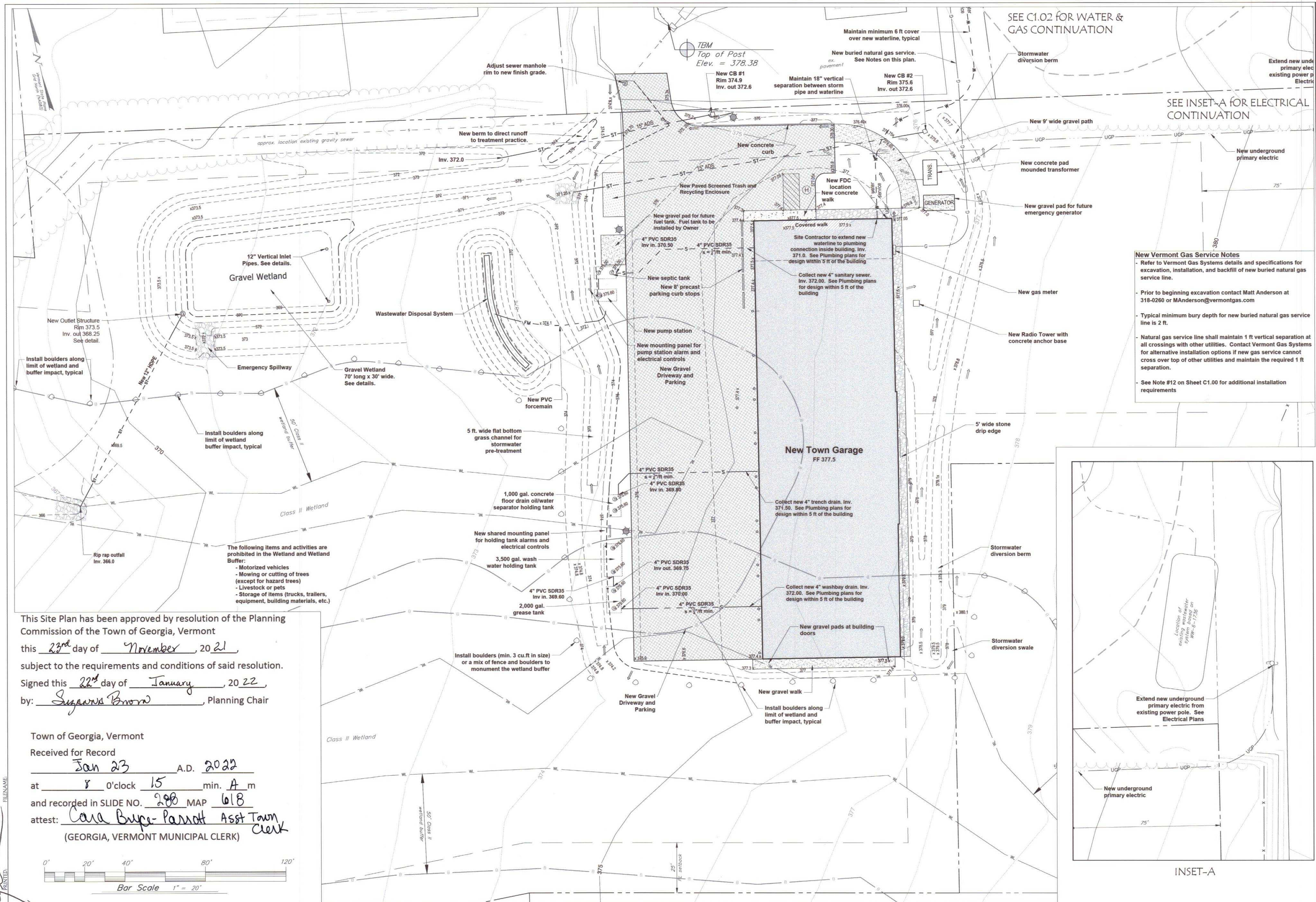
This Site Plan has been approved by resolution of the Planning Commission of the Town of Georgia, Vermont
this 23rd day of November, 2021
subject to the requirements and conditions of said resolution.
Signed this 22nd day of January, 2022,
by: Suzanne Brown, Planning Chair

Town of Georgia, Vermont
Received for Record
Jan 23 A.D. 2022
at 8 o'clock 15 min. A m
and recorded in SLIDE NO. 288 MAP 617
attest: Cara Bruce Parrott Asst
(GEORGIA, VERMONT MUNICIPAL CLERK)

Repro, Winooski, VT hereby certifies this map was reproduced according to state specifications.

CF Jager
PRINTED

CF  PRINTED: _____





GEORGIA VERMONT

Application for Zoning Permit

Recording Information

Section 3. Item #C.

- ⇒ For any change of use on State Highways (Route 7 & 104A) contact VTRANS
- ⇒ Post **Permit Poster** so it is visible to the road immediately as the Permit is appeal-able within 15 days of issuance.
- ⇒ Complete a Certificate of Occupancy application upon completion of project.
- ⇒ Provide a diagram showing the proposed project, well location, septic location and setbacks from the property line.
- ⇒ Property information & forms are available at townofgeorgia.com or using the [Georgia VT Parcel Map](#).

Application Approval Date ____/____/____
 Appeal Period Expires ____/____/____
 Zoning District _____
 Permit Number _____

A

Parcel Number: 117570000
 Property Address (E911): Ethan Allen Highway
 Applicant Name: 7 North Real Estate LLC
 Applicant Address: 285 Fairfield Hill Road, St. Albans, VT 05478
 Applicant Phone: 802-782-9807 Applicant Email: timreedconstruction@yahoo.com
 Owners Name (if different): _____
Property Owner Authorization: *The undersigned property owner hereby certifies that the information submitted in this application regarding the property line is true, accurate, and complete. The Applicant has full authority to request approval for the proposed use of the property and any proposed structure.*
 Date: ____/____/____ Owner's Signature: _____

B

Proposed Construction
 Dimensions: (1) L ____ x W ____ x H ____ (2) L ____ x W ____ x H ____ Total ft² 441,240
 # of floors: 1 # of Bedrooms 0 # of Bathrooms 2

C

Property Information
 Lot Size 70 +/- acres Lot road frontage 960' +/-
Proposed Setbacks (in feet)
 Center of Road ⁷⁵ Right Side 20 Left Side 20 Rear 20

D

Previous Permits / Subdivision Name / Driveway Permit / DRB Application
 Wetlands Permit #2022-0927 / Stormwater Permit 9746-9020
 VTrans Permit #46121 /

E

Septic Information: Applicants should visit the Agency of Natural Resources Department of Environmental Conservation to determine if a wastewater and Potable Water Supply Permit is required in accordance with 10 V.S.A. Chapter 64.
 Website: <https://dec.vermont.gov/water/forms/ww-systems-permits>

- ☐ Changes are not proposed to the building or to the use which will increase the amount of wastewater disposal. (i.e. adding bedroom or change of use) WW-6-4481
☒ Wastewater & Potable Supply Permit is required. State Permit # In-Process

F

VT Building Energy Standards Certificate (RBES): *The Vermont Residential Building Energy Standard (RBES) - 30 V.S.A. § 51 affects all new homes built after July 1, 1998. It is the energy code for all residential buildings 3 stories or less above grade in Vermont. RBES Disclosure Statement must be filled out and recorded with the town prior to the issuance of a Certificate of Occupancy. Applicant must certify the following:*

- ☒ Structure which is subject of this application DOES NOT require an RBES Certificate
☐ Structure which is subject of this application DOES require an RBES Certificate

G

Check box(es) which describe proposed use or construction (circle choice in parenthesis)

N = New A = Addition R = Remodel

Residential:

	N	A	R
Single Family	☐	☐	☐
Two-family (Duplex)	☐	☐	☐
Multi-family	☐	☐	☐
Condominium / Townhouse	☐	☐	☐
Manufactured Home	☐	☐	☐
Seasonal Camp	☐	☐	☐
ADU (accessory dwelling unit)	☐	☐	☐

Inclusions or Additions:

	N	A	R
Garage ☐ attached ☐ detached Addition	☐	☐	☐
Porch ☐ enclosed ☐ open	☐	☐	☐
Deck / Patio	☐	☐	☐
Pool ☐ in ground ☐ above	☐	☐	☐
Shed / Play House / Coop	☐	☐	☐
Barn ☐ residential ☐ agriculture	☐	☐	☐
Greenhouse ☐ residential ☐ agriculture	☐	☐	☐
Fence (< 5' in height no permit required)	☐	☐	☐

☐ Other: _____

Non-Residential:

Commercial / Industrial Sign ☒ ☐ ☐

Other:

Change in Use ☐ ☐ ☐ **check if needed**
 Home Occupation ☐
 Permit Renewal Appeal ☐
 Variance / Waiver ☐

H

Please check the appropriate box for the following:

Additional Property Information

	Yes	No
Is there a stream or wetland on property?	☒	☐
Is the property in a Special Flood Hazard Area?	☐	☒
Is the property in an L1 zone on Lake Champlain?	☐	☒
Is the property in the South Village?	☐	☒
Project involve work in town right of way?	☐	☒
Project involve a change in the # of bedrooms?	☐	☒
Project involve demolition / renovation?	☐	☒
Have you attached a drawing of project?	☒	☐
Is this a primary residence?	☐	☒
Is there an HOA (Home Owners Association)?	☐	☒
Property have a E911 sign at end of driveway?	☐	☒
Is there an increase in impervious surface? (includes roof, deck, porch, pavement, patio etc.)	☒	☐
If yes total square feet <u>427,000 +/-</u> ft ²		

Property Owner Acknowledgement: *The undersigned applicant hereby affirms that the information provided in this application is true, accurate, and complete. I understand if this application is approved, I must post the building poster provided on the property in public view and allow a 15 day appeal period before work begins. I understand Vermont law allows 30 days to find this application complete. I understand that my signature on this application constitutes permission for on-site inspection of the property described on this application form under Article 3 of the Georgia Development Regulations.*

Applicant Signature: [Signature] Date 11/13/24

Co-Applicant Signature: _____ Date ____/____/____



GEORGIA VERMONT

Application for Zoning Permit

Recording Information

Section 3. Item #C.

- ⇒ For any change of use on State Highways (Route 7 & 104A) contact VTRANS
- ⇒ Post **Permit Poster** so it is visible to the road immediately as the Permit is appeal-able within 15 days of issuance.
- ⇒ Complete a Certificate of Occupancy application upon completion of project.
- ⇒ Provide a diagram showing the proposed project, well location, septic location and setbacks from the property line.
- ⇒ Property information & forms are available at townofgeorgia.com or using the [Georgia VT Parcel Map](#).

Application Approval Date ____/____/____
Appeal Period Expires ____/____/____
Zoning District _____
Permit Number _____

A

Parcel Number: 117570000
Property Address (E911): Ethan Allen Highway
Applicant Name: 7 North Real Estate LLC
Applicant Address: 285 Fairfield Hill Road, St. Albans, VT 05478
Applicant Phone: 802-782-9807 Applicant Email: timreedconstruction@yahoo.com
Owners Name (if different): _____

Property Owner Authorization: *The undersigned property owner hereby certifies that the information submitted in this application regarding the property line is true, accurate, and complete. The Applicant has full authority to request approval for the proposed use of the property and any proposed structure.*

Date: ____/____/____ Owner's Signature: _____

B

Proposed Construction

Dimensions: (1) L ____ x W ____ x H ____ (2) L ____ x W ____ x H ____ Total ft² 79,050

of floors: 1 # of Bedrooms 0 # of Bathrooms 1

C

Property Information

Lot Size 70 +/- acres Lot road frontage 960' +/-

Proposed Setbacks (in feet)

Center of Road 75 Right Side 20 Left Side 20 Rear 20

D

Previous Permits / Subdivision Name / Driveway Permit / DRB Application

Wetlands Permit #2022-0927 / Stormwater Permit 9746-9020

VTrans Permit #46121 / WW-6-4481

E

Septic Information: *Applicants should visit the Agency of Natural Resources Department of Environmental Conservation to determine if a wastewater and Potable Water Supply Permit is required in accordance with 10 V.S.A. Chapter 64.*

Website: <https://dec.vermont.gov/water/forms/ww-systems-permits>

☐ Changes are not proposed to the building or to the use which will increase the amount of wastewater disposal. (i.e. adding bedroom or change of use)

☒ Wastewater & Potable Supply Permit is required. State Permit # WW-6-4481

F

VT Building Energy Standards Certificate (RBES): *The [Vermont Residential Building Energy Standard \(RBES\)](#) - 30 V.S.A. § 51 affects all new homes built after July 1, 1998. It is the energy code for all residential buildings 3 stories or less above grade in Vermont. RBES Disclosure Statement must be filled out and recorded with the town prior to the issuance of a Certificate of Occupancy. Applicant must certify the following:*

☒ Structure which is subject of this application DOES NOT require an RBES Certificate

☐ Structure which is subject of this application DOES require an RBES Certificate

G

Check box(es) which describe proposed use or construction (circle choice in parenthesis)

N = New A = Addition R = Remodel

Residential:	N	A	R
Single Family	☐	☐	☐
Two-family (Duplex)	☐	☐	☐
Multi-family	☐	☐	☐
Condominium / Townhouse	☐	☐	☐
Manufactured Home	☐	☐	☐
Seasonal Camp	☐	☐	☐
ADU (accessory dwelling unit)	☐	☐	☐
Inclusions or Additions:			
Garage ☐ attached ☐ detached Addition	☐	☐	☐
Porch ☐ enclosed ☐ open	☐	☐	☐
Deck / Patio	☐	☐	☐
Pool ☐ in ground ☐ above	☐	☐	☐
Shed / Play House / Coop	☐	☐	☐
Barn ☐ residential ☐ agriculture	☐	☐	☐
Greenhouse ☐ residential ☐ agriculture	☐	☐	☐
Fence (< 5' in height no permit required)	☐	☐	☐

☐ Other: _____

Non-Residential:

Commercial / Industrial	check if needed
Sign	☒

Other:

Change in Use	check if needed
Home Occupation	☐
Permit Renewal Appeal	☐
Variance / Waiver	☐

H

Please check the appropriate box for the following:

Additional Property Information	Yes	No
Is there a stream or wetland on property?	☒	☐
Is the property in a Special Flood Hazard Area?	☐	☒
Is the property in an L1 zone on Lake Champlain?	☐	☒
Is the property in the South Village?	☐	☒
Project involve work in town right of way?	☐	☒
Project involve a change in the # of bedrooms?	☐	☒
Project involve demolition / renovation?	☐	☒
Have you attached a drawing of project?	☒	☐
Is this a primary residence?	☐	☒
Is there an HOA (Home Owners Association)?	☐	☒
Property have a E911 sign at end of driveway?	☐	☒
Is there an increase in impervious surface? (includes roof, deck, porch, pavement, patio etc.)	☒	☐
If yes total square feet <u>427,000 +/-</u> ft ²		

Property Owner Acknowledgement: *The undersigned applicant hereby affirms that the information provided in this application is true, accurate, and complete. I understand if this application is approved, I must post the building poster provided on the property in public view and allow a 15 day appeal period before work begins. I understand Vermont law allows 30 days to find this application complete. I understand that my signature on this application constitutes permission for on-site inspection of the property described on this application form under Article 3 of the Georgia Development Regulations.*

Applicant Signature: _____ Date ____/____/____

Co-Applicant Signature: _____ Date ____/____/____



GEORGIA

VERMONT

Date Received: _____ Fee Paid \$ _____ Ck # _____ CU - _____ - _____

Tax Parcel ID: _____ Hearing Date: _____

TOWN OF GEORGIA DEVELOPMENT REVIEW BOARD CONDITIONAL USE APPLICATION

Applicant(s)

Name 7 North Real Estate LLC
Address 285 Fairfield Hill Road
City/State/Zip St. Albans, VT 05478
Phone 802-782-9807
Email timreedconstruction@yahoo.com

Property Owner(s) if different

Name 7 North Real Estate LLC
Address 285 Fairfield Hill Road
City/State/Zip St. Albans, VT 05478
Phone 802-782-9807
Email timreedconstruction@yahoo.com

CERTIFICATION OF APPLICANT

The undersigned applicant(s) hereby certifies that all information submitted on this application is true and accurate and that the information provided is complete.

11-13-24

Date

Tim Reed

Applicant

Applicant

PROPERTY OWNER AUTHORIZATION

The undersigned property owner(s) hereby certifies that the information submitted in this application regarding the property is true, accurate, and complete and that the Applicant(s) has full authority to request approval for the proposed use of the property and any proposed structures.

11-13-24

Date

Tim Reed

Property Owner

Property Owner



GEORGIA

VERMONT

Date Received: _____ Fee Paid \$ _____ Ck # _____ CU - _____ - _____
Tax Parcel ID: _____ Hearing Date: _____

TOWN OF GEORGIA DEVELOPMENT REVIEW BOARD CONDITIONAL USE APPLICATION

Applicant(s)

Name 7 North Real Estate LLC
Address 285 Fairfield Hill Road
City/State/Zip St. Albans, VT 05478
Phone 802-782-9807
Email timreedconstruction@yahoo.com

Property Owner(s) if different

Name 7 North Real Estate LLC
Address 285 Fairfield Hill Road
City/State/Zip St. Albans, VT 05478
Phone 802-782-9807
Email timreedconstruction@yahoo.com

CERTIFICATION OF APPLICANT

The undersigned applicant(s) hereby certifies that all information submitted on this application is true and accurate and that the information provided is complete.

Date

Applicant

Applicant

PROPERTY OWNER AUTHORIZATION

The undersigned property owner(s) hereby certifies that the information submitted in this application regarding the property is true, accurate, and complete and that the Applicant(s) has full authority to request approval for the proposed use of the property and any proposed structures.

Date

Property Owner

Property Owner

1. **ABUTTING PROPERTY OWNERS**

List names and mailing addresses of all adjacent property owners including those across the road right-of-way and all property owners on a shared private right-of-way whether or not they abut the subject parcel. Please submit a stamped, addressed envelope for each property owner listed, together with a stamped, addressed envelope for Applicant/owner (use a separate sheet if necessary).

See attached list

2. **REQUEST FOR CONDITIONAL USE:**

Section(s) _____ of the Town of Georgia Development Regulations.

3. **PROPERTY IDENTIFICATION:**

E911 Address Ethan Allen Highway or

Other identification: _____

Deed Reference: Book 394, Page 51-52

Subdivision Name (if applicable): N/A

4. **ZONING DISTRICT:** Business

5. **PROPERTY DIMENSIONS:**

Lot size: 70 Ac.+/- acres; or dimensions: _____

Lot frontage: 960'+/-

6. **NATURE OF PROPOSED REQUEST:** Please provide a complete narrative on a separate sheet of paper describing the nature of the proposed request explaining in detail the proposed use(s) of the property. Please also address each of the following applicable elements in a descriptive manner: building size(s), type(s) and use(s) thereof, landscaping and/or screening, access to property, impact on traffic, internal circulation of vehicular and pedestrian traffic, parking requirements, lighting (size, type, location and number), number, size and location of proposed sign(s), proposed days and hours of operation, and proposed number of employees.

7. **Title(s) of plans(s) submitted with application;** and, if applicable, firm which prepared plan; project number; date of plans and revisions. Site plans shall include, where applicable, the following:
- a) Identifying information including record owner of land, north arrow, date (including any revision dates), and scale.
 - b) Property lines and abutting streets.
 - c) Rights of way or easements affecting the property.
 - d) Location of existing and proposed buildings or structures including Interior floor plans indicating location and floor area of individual uses.
 - e) Height of existing and proposed buildings or structures.
 - f) Existing and proposed setbacks of all buildings or structures to property lines and/or public or private rights-of-way.
 - g) Existing and proposed lot coverage (in square feet) of all structures and hard surfaces.
 - h) Existing natural features of the site including water courses and applicable buffers, wetlands and applicable buffers, floodplains, trees, and other vegetation, etc.
 - i) Existing and proposed contours at no more than 5-foot intervals.
 - j) Location of existing and proposed utilities and facilities (water, septic, electric, telephone).
 - k) Location of existing and proposed roads, driveways, loading areas, outside storage areas, and pedestrian walkways.
 - l) Location and number of parking spaces pursuant to the requirements of Section 5.6 of the Development Regulations.
 - m) Location, type, size, and number of existing and proposed lighting fixtures.
 - n) Location and size of existing and proposed sign(s) (please provide sketch of each sign).
 - o) A landscaping plan indicating location, species, size and spacing of existing and proposed landscaping elements.
 - p) Building elevations drawings to scale for all proposed and/or modified buildings and any related buildings.

Please provide one full size copy to scale, eight 11' x 17" copies & one electronic copy with application.

8. **SPECIFIC AND GENERAL STANDARDS FOR CONDITIONAL USES:** Applicant must be prepared to address the specific standards for Conditional Use as set forth in each zoning district in the Town of Georgia Zoning Regulations. In addition, applicant must address the general standards for all uses as set forth in Title 24 V.S.A. Chapter 117 Section 4414(3) and Section 3.2 of the Town of Georgia Development Regulations as follows:

- a. Public facilities and services (including, but not limited to fire protection, schools, roads, and other municipal infrastructure) are reasonably available to serve the proposal or are planned and included in the Town Capital Budget and program to serve the proposal at the time anticipated for its completion:

This site has good access to a major highway (US Route 7) and is located less than 4 miles from the fire station.

GMP power is available at the site. No other municipal infrastructure is required.

b. The character of the neighborhood, area, or district affected will not be adversely impacted and that:

i) A nuisance or hazard will not be created to the detriment of the health, safety, or welfare of the intended users, neighbors, or the citizens of the town;

No adverse impacts are anticipated. The storage facility will be open seven days per week, 24 hours per day.

The facility will be gated from the general public.

ii) The proposed use or building and the relationship between the buildings and the land will be compatible with the purposes of the district and the character of the surrounding neighborhood and will not unduly detract from abutting residences or other property;

This project is located within a business district, adjacent to a commercial development located to the north.

There is an existing wooded buffer separating the subject property from the northern and western neighboring lands. There will be a tree'd buffer planted between the facility and Route 7. Natural wetlands buffers separate the site from the interstate.

iii) Appropriate use or development of adjacent property will not be impeded; i.e., the scale of the proposed development in relation to existing and proposed uses and buildings and the effect of the proposed use on the continued enjoyment of and access to existing and approved uses in the vicinity of the proposed use will not be adversely impacted.

This is a low impact project with no impacts to municipal infrastructure aside from fire protection. This property

has historically been of little value to the owners with no enjoyment. No adverse impacts are anticipated. While

visible from Route 7 and the interstate, the site is screened via vegetated buffers from neighbors to the north

and west. No adverse impacts are anticipated.

c. Traffic generated or patterns of ingress or egress will not cause congestion, hazard or detriment to the neighborhood or nearby intersections (the DRB may require a traffic study to determine compliance with this standard.

VTrans has issued permit #46121. The project will upgrade the existing farm access to Standard B-71B, Detail A

with a divisional island, remove a median island in Route 7, construct a northbound left turn lane in Route 7,

plus install signage.

d. The proposed use is consistent with the purpose of the district, the Town Plan, the Town of Georgia Development Regulations, and other bylaws and ordinances adopted by the Town of Georgia. Self-storage facilities are a Conditional Use in the Business zoning district. The project has been

designed to be in conformance with the district's minimum dimensional standards. Additional area has been set

aside on the tract for future commercial, residential or mixed uses.

e. That the utilization of renewable energy resources will not be adversely affected.

No adverse impacts are anticipated to the utilization of renewable energy resources, although none are

planned for the project at this time.

9. PERFORMANCE STANDARDS:

The proposed use:

- a. ☐ will ☒ will not emit noise in excess of 70 decibels at the property line or a noise which is considered offensive;
- b. ☐ will ☒ will not emit any odor, dust, dirt, or smoke which is considered offensive;
- c. ☐ will ☒ will not emit any noxious gases that endanger the health, comfort, safety or welfare of any person or that could cause injury or damage to property, business or vegetation;
- d. ☐ will ☒ will not cause as a result of normal operations a vibration that creates a displacement of 0.002 inches within the ground at the property lines;
- e. ☐ will ☒ will not have lighting or signs that create glare that could impair the vision of a driver of any motor vehicle;
- f. ☐ will ☒ will not cause a fire, explosion or safety hazard;
- g. ☐ will ☒ will not create an unsafe or unhealthy condition as determined by the Town of Georgia Health Officer;
- h. ☐ will ☒ will not interfere with a renewable energy resource or the ability to utilize a renewable energy resource.

10. OTHER PERMITS REQUIRED:

This project will also require the following permits (local, state, federal):

Stormwater Discharge 3-9050 (to be applied for soon); Water/Wastewater WW-6-4481, issued 11/12/24;

USACE General Permit (in-process); Act 250 (to be applied for soon)

Decision of the Board

Date: _____

Approved: ☐Denied: ☐**Note:** You will receive a written Decision and Findings of Fact within 45 days of the close of the hearing.

7 North Real Estate Holdings, LLC
Proposed Mini-Storage Complex
U.S. Route 7, Georgia, Vermont
Town Development Review Board
November 27, 2024

General Project Narrative: This is a 70-acre vacant property with a mix of open meadow, wetlands, and forest. The property has approximately 960 feet of frontage along Route 7 and 1,600 feet of frontage along Interstate-89. It abuts a mixed commercial/residential use development along its northerly boundary line and agricultural/forested lands along the west. There are class II wetlands within the meadow and woods, which drain southerly towards a larger stream/wetland complex along the southern edge of the property.

The property is located within the town of Georgia’s Business District.

The landowners propose construction of twenty mini-storage buildings plus an office building for three employees. A temporary construction trailer will also be placed on the lot during construction.

Building Sizes & Type: The proposed building sizes vary as follows:

- Eleven (11) 135’ x 30’ buildings
- One (1) 120’ x 30’ building
- Two (2) 110’ x 30’ building;
- Seven (7) 95’ x 30’ building;
- One (1) 95’ x 30’ building (includes a 15’ x 30’ office)
- One (1) 50’ x 30’ office building.

The buildings will be of metal construction.

Access to the Property: The property is benefited by an existing farm access located along Route 7 at the northeasterly corner. This existing access will be upgraded to a commercial access in accordance with State of Vermont Standard B-71b. A permit was obtained from VTrans on May 26, 2024 (permit #46121).

A single access road will meander through the property to the office building and mini-storage complex. State of Vermont Wetlands Permit #2022-0927 was issued for the road crossings through the wetlands and buffer zones. The permit included utilities to be buried alongside the road.

Stormwater & Erosion Control Measures: Stormwater runoff currently percolates into the ground or drains through the wetland complexes towards an unnamed tributary of the Stone Bridge Brook Complex. Aside from a small vernal pool located along the norther property line, no standing water exists through the meadow.

The proposed development will have grassed swales on either side of the mini-storage complex and roadway with culverts under the road. Stormwater runoff will be directed via grassed channels and culverts to an appropriately-sized downslope gravel wetland retention basin. The applicant has engaged a qualified hydro-geologist to design and size the stormwater management system and to assist through the state's stormwater permitting program. Level spreaders will be constructed downslope of the roadway at the areas isolated from the basin.

The area designated for Future Use will eventually have a separate gravel wetland retention basin.

State of Vermont Permit #9746-9020 (Construction General Permit) was issued on March 25, 2024 for the construction activities.

Water Supply & Wastewater Disposal: A single mound system and pump station was designed to treat wastewater from the proposed office building and temporary construction trailer. The wastewater disposal system was designed for 990 gallons-per-day to account for future use of the property.

A single drilled bedrock well will be developed to provide potable water to the office building and temporary construction trailer.

State permit #WW-6-4481 was issued on November 12, 2024 and approved the project for 45 gallons-per-day (three employees). At such time as the Future Use area is ever developed, a state permit amendment will be required.

Floodplains, Floodways & Wetlands: No portions of the property are within either a floodplain or a floodway. There are Class II wetlands on the property which were delineated by ADKE Environmental in June 2023. A site visit was made with the State of Vermont's District Wetlands Ecologist, who confirmed the delineation. The roadway and buried utility crossings were state permitted through the VT Wetlands Division on March 26, 2024 (permit #2022-0927).

A US Army Corps of Engineers permit is required and an application is in-process.

Impact on Traffic: Mini-storage facilities have low anticipated impacts to highways. A permit was issued for upgrading the existing farm drive to a commercial drive on May 28, 2024 (permit #46121). Parking will be available outside of the office building.

Utilities: Utilities will be brought into the project underground along the proposed roadway from the existing pole along Route 7.

Landscaping Plan & Lighting: The landowner proposes planting fifty (50) white pine saplings along the eastern edge of the wetland buffer as screening from the mini-storage complex and office building.

Exterior lighting will be placed on the storage and office building structures with three free-standing street lights on poles near the turn-around outside of the office building. All lighting shall be down-facing and shielded.

State Permits Issued or Required:

1. VT WW-6-4481, issued November 12, 2024
2. VTrans permit #46121, issued May 28, 2024;
3. VT Wetlands permit #2022-0927, issued March 26, 2024
4. VT Construction General Permit #9746-9020, issued March 25, 2024;
5. US Army Corps of Engineer Permit...application in-process;
6. VT Stormwater Discharge Permit...application to be processed shortly;
7. Act 250 Permit...application to be processed shortly.

Site Plan Review (SP-006-24) & Conditional Use (CU-004-24)
7 North Real Estate Holdings, LLC
Proposed Mini-Storage Complex

Owners & Applicants: 7 North Real Estate Holdings, LLC 285 Fairfield Hill Road St. Albans, VT 05478 #802-782-9807 timreedconstruction@yahoo.com	Property Tax Parcel & Location: 1590 Ethan Allen Highway Parcel ID#117570000 Zoning District B Size: ± 70 acres
Engineer/Surveyor: Brad Ruderman Brad M. Ruderman & Associates, Inc. 28 U.S. Route 5 North, Windsor VT 05089 #802-674-4248 Ruderman1@aol.com	

BACKGROUND

7 North Real Estate Holdings, LLC, hereafter referred to as Applicant, is requesting Site Plan Review and Conditional Use for a proposed mini-storage complex. The parcel is located at 1590 Ethan Allen Highway and I-89, Parcel ID #117570000, within the Business Zoning district. The parcel is ±70 acres in size.

The property is a mix of open meadow, wetlands and forest; and has approximately ±960 feet of frontage along Route 7 and ±1,600 feet of frontage along Interstate-89. It abuts a mixed commercial/residential use development along its northerly boundary line and agricultural/forested lands along the west. There are Class II wetlands within the meadow and woods, which drain southerly towards a larger stream/wetland complex along the southern edge of the property.

Applicant proposes construction of twenty mini-storage buildings plus an office building for three employees. A temporary construction trailer will also be placed on the lot during construction. Additional area has been set aside on the tract for future commercial, residential or mixed uses.

COMMENTS

A General Subdivision and Site Plan Review Requirements

- 1. Dimensional Requirements.** The dimensional requirements for the proposed project dimensions are as follows:

	Business District:	Proposed Project:
Minimum lot size	1 acre for each use, mixed use building, or single household dwelling	±70 acres
Lot Frontage	120 ft	±960 feet

Front yard setback	75 ft	±75 ft
Side yard setbacks	20 ft	±20 ft
Rear yard setbacks	20 ft	±20 ft
Building size (max)	20,000 sf footprint for retail uses only	79,050 sq ft*
Building height (max)	35 ft	

2. ***Building Size and Type-** The buildings will be of metal construction. The proposed building sizes vary as follows:

- Eleven (11) 135' x 30' buildings,
- One (1) 120' x 30' building,
- Two (2) 110' x 30' building,
- Seven (7) 95' x 30' building,
- One (1) 95' x 30' building (includes a 15' x 30' office),
- One (1) 50' x 30' office building.

3. **Site Plans.** Applicant has submitted three site plans prepared by Brad M. Ruderman & Associates, Inc. dated December 5, 2024:

- a. Sheet 1: Existing Conditions Plan, 7 North Real Estate Holdings LLC
- b. Sheet 2: Proposed Site Plan, 7 North Real Estate Holdings LLC
- c. Sheet 3: Proposed Grading Plan, 7 North Real Estate Holdings LLC

Applicant has submitted two floor plans prepared by Trachte Building Systems, Inc. dated November 8, 2023, Floor Plan #59288.

The submitted site plans and floor plans indicates the following:

- a. Property lines,
- b. Zoning setbacks,
- c. Existing and proposed fencing
- d. Proposed buildings,
- e. Proposed drilled well,
- f. Proposed wastewater and septic locations,
- g. Proposed building lights
- h. Proposed streetlights
- i. Wetland Buffer Limits
- j. Wetland/Upland delineation line
- k. Wetlands vegetation
- l. Existing tree line,
- m. Existing centerline of stream, and
- n. Proposed gravel or paved driveway

4. **Lot layout.** See site plans.

5. **Suitability for development.** No portions of the property are within either a floodplain or a floodway. There are Class II wetlands on the property which were delineated by ADKE Environmental in June 2023. A site visit was made with the State of Vermont’s District Wetlands Ecologist, who confirmed the delineation. The roadway and buried utility crossings were state permitted through the VT Wetlands Division on March 26, 2024 (permit #2022-0927). A US Army Corps of Engineers permit is required and an application is in-process.

Existing aesthetic features such as trees, scenic points, streams, rock outcroppings, water bodies, wetlands, agricultural resources, other natural resources, and historical resources.

No proposed changes to existing features. The landowner proposes planting fifty (50) white pine saplings along the eastern edge of the wetland buffer as screening from the mini-storage complex and office building.

6. **Open space and recreation.** Not applicable.
7. **Storm water & erosion control plan during construction.** Stormwater runoff currently percolates into the ground or drains through the wetland complexes towards an unnamed tributary of the Stone Bridge Brook Complex. Aside from a small vernal pool located along the northern property line, no standing water exists through the meadow.

The proposed development will have grassed swales on either side of the mini-storage complex and roadway with culverts under the road. Stormwater runoff will be directed via grassed channels and culverts to an appropriately sized downslope gravel wetland retention basin. The applicant has engaged a qualified hydrogeologist to design and size the stormwater management system and to assist through the state’s stormwater permitting program. Level spreaders will be constructed downslope of the roadway at the areas isolated from the basin.

The area designated for Future Use will eventually have a separate gravel wetland retention basin. State of Vermont Permit #9746-9020 (Construction General Permit) was issued on March 25, 2024 for the construction activities.

8. **Conformance with Town Plan & Bylaws.** The current regulations allow for mini-storage units in the Business District.
9. **Water & air pollution.** N/A
10. **Compatibility with surroundings.** The proposed project appears to be generally compatible with business properties in the surrounding area.
11. **Density.** N/A
12. **Pedestrian traffic.** A sidewalk has not been proposed.
13. **Municipal services.** The Applicants will need to obtain an ability to serve letter from the Fire Chief.
14. **Water supply.** A single mound system and pump station was designed to treat wastewater from the proposed office building and temporary construction trailer. The wastewater disposal system

was designed for 990 gallons-per day to account for future use of the property. A single drilled bedrock well will be developed to provide potable water to the office building and temporary construction trailer.

State permit #WW-6-4481 was issued on November 12, 2024 and approved the project for 45 gallons-per-day (three employees). At such time as the Future Use area is ever developed, a state permit amendment will be required.

- 15. Vehicular traffic.** The property is benefited by an existing farm access located along Route 7 at the northeasterly corner. This existing access will be upgraded to commercial access in accordance with State of Vermont Standard B-71b. A permit was obtained from VTrans on May 26, 2024 (permit #46121). A single access road will meander through the property to the office building and ministorage complex. State of Vermont Wetlands Permit #2022-0927 was issued for the road crossings through the wetlands and buffer zones. The permit included utilities to be buried alongside the road.

Mini-storage facilities have low anticipated impacts to highways. A permit was issued for upgrading the existing farm drive to a commercial drive on May 28, 2024 (permit #46121). Parking will be available outside of the office building.

- 16. State Permits.** The following permits have been issued or are required:

- a. VT WW-6-4481, issued November 12, 2024;
- b. VTrans permit #46121, issued May 28, 2024;
- c. VT Wetlands permit #2022-0927, issued March 26, 2024;
- d. VT Construction General Permit #9746-9020, issued March 25, 2024;
- e. US Army Corps of Engineer Permit, application in-process;
- f. VT Stormwater Discharge Permit, application to be processed shortly;
- g. Act 250 Permit, application to be processed shortly.

- 17. Utilities.** Utilities will be brought into the project underground along the proposed roadway from the existing pole along Route 7.

- 18. Exterior Lighting.** Exterior lighting will be placed on the storage and office building structures with three free-standing streetlights on poles near the turn-around outside of the office building. All lighting shall be down-facing and shielded.

B. Conditional Use Guidelines

Per Town of Georgia Development Regulations dated February 27, 2023 Section 3.2

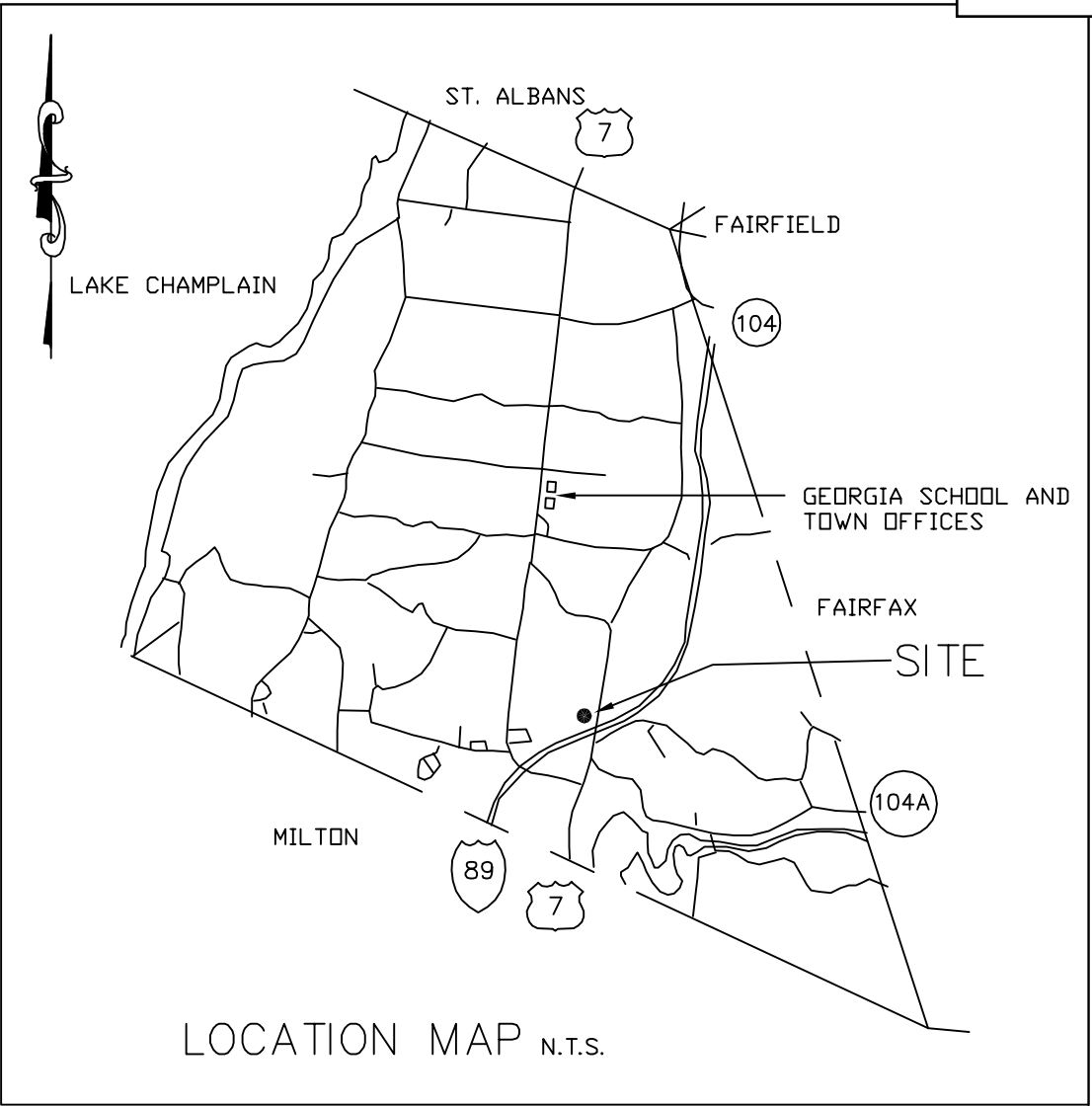
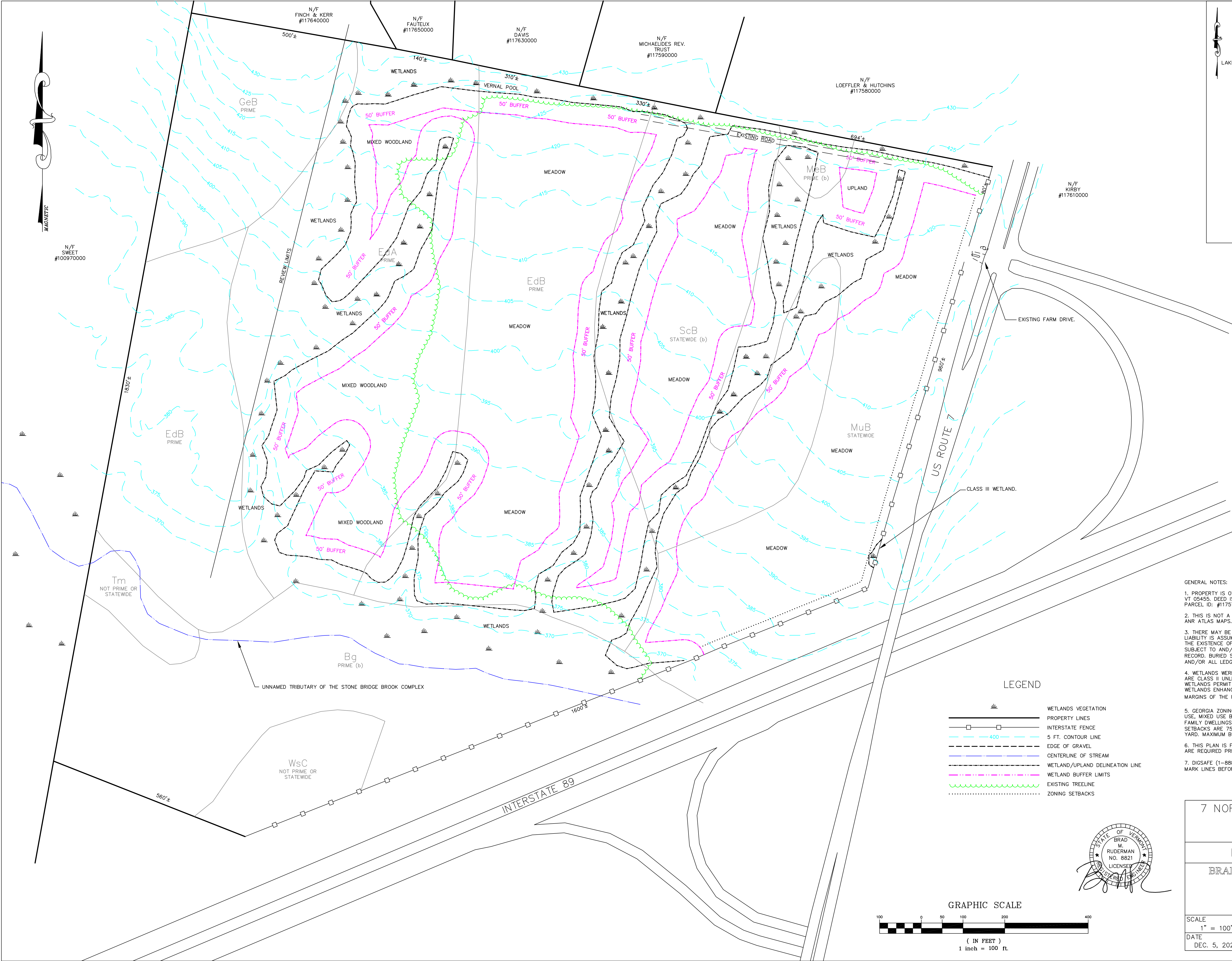
- 1. Public facilities and services are reasonably available to serve the proposal or are planned and included in the Town Capital Budget and program to serve the proposal at the time anticipated for its completion:** This site has good access to a major highway (US Route 7) and is located less than 4 miles from the fire station. Green Mountain Power (GMP) is available at the site. No other municipal infrastructure is required.
- 2. The character of the neighborhood, area, or district affected will not be adversely impacted and that a nuisance or hazard will not be created to the detriment of the health,**

safety, or welfare of the intended users, neighbors, or citizens of the town: No adverse impacts are anticipated. The storage facility will be open seven (7) days per week, 24 hours a day. The facility will be gated to the general public.

3. **The proposed use or building and the relationship between the buildings and the land will be compatible with the purposes of the district and the character of the surrounding neighborhood and will not unduly detract from abutting residences or other properties:** This project is located within a business district, adjacent to a commercial development located to the North. There is an existing wooded buffer separating the subject property from the northern and western neighboring lands. Trees will be planted as a buffer between the facility and Route 7. Natural wetlands buffers separate the site from the interstate.
4. **Appropriate use or development of adjacent property will not be impeded, i.e., the scale of the proposed development in relation to the existing and proposed uses and buildings and the effect of the proposed use on the continued enjoyment of and access to existing and approved uses in the vicinity of the proposed use will not be adversely impacted:** This is a low-impact project with no impacts to municipal infrastructure aside from fire protection. This property has historically been of little value to the owners with no enjoyment. No adverse impacts are anticipated. While visible from Route 7 and the interstate, the site is screened via vegetated buffers from neighbors to the north and west. No adverse impacts are anticipated.
5. **Traffic generated or patterns of ingress or egress will not cause congestion, hazard or detriment to the neighborhood or nearby intersections (the DRB may require a traffic study to determine compliance with this standard.):** VTrans has issued permit #46121. The project will upgrade the existing farm access to Standard B-71B, Detail A with a divisional island, remove a median island in Route 7, construct a northbound left turn lane in Route 7, plus install signage.
6. **The proposed use is consistent with the purpose of the district, the Town Plan, the Town of Georgia Development Regulations, and other bylaws and ordinances adopted by the Town of Georgia:** Self-storage facilities are a Conditional Use in the Business zoning district. The project has been designed to be in conformance with the district's minimum dimensional standards. Additional areas have been set aside on the tract for future commercial, residential or mixed uses.
7. **That the utilization of renewable energy resources will not be adversely affected.** No adverse impacts are anticipated to the utilization of renewable energy resources, although none are planned for the project at this time.

Respectfully submitted,

Kollene Caspers
Zoning Clerk
Planning & DRB Clerk



LOCATION MAP N.T.S.

SOIL CHART

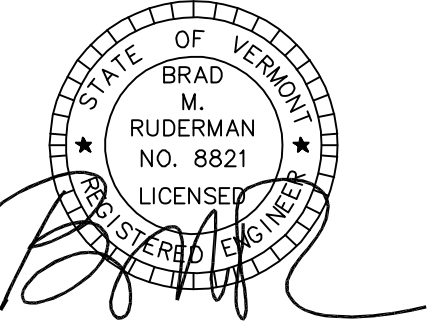
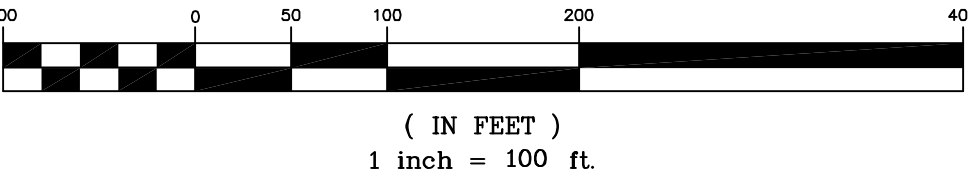
SOIL SYMBOL	NAME	AGRI/ VALUE GROUP	TOTAL (ACRES)
MuB	MUNSON SILT LOAM	STATEWIDE 4d	10.7
ScB	SCANTIC SILT LOAM	STATEWIDE(b) 6d	9.1
EdB	ELDRIDGE LOAMY FINE SAND	PRIME 3	18.2
MeB	MASSENA STONY LOAM	PRIME(b) 3d	0.5
EdA	ELDRIDGE LOAMY FINE SAND	PRIME 3	13.4
GeB	GEORGIA STONY LOAM	PRIME 3	5.3
Bg	BINGHAMVILLE SILT LOAM	PRIME(b) 3d	10.0
Tm	TERRIC MEDISAPRISTS	NOT PRIME	1.0
WsC	WINDSOR LOAMY FINE SAND	NOT PRIME	1.8
			TOTAL 70.0±

- GENERAL NOTES:
- PROPERTY IS OWNED BY 7 NORTH REAL ESTATE HOLDINGS, LLC: 55 REED ROAD, FAIRFIELD, VT 05455. DEED IS RECORDED IN BOOK 394, PAGES 51-52, DATED JULY 18, 2023. PARCEL ID: #117570000. SPAN: #237-076-11056.
 - THIS IS NOT A BOUNDARY SURVEY. BOUNDARY LINES TAKEN FROM TOWN TAX MAPS AND VT ANR ATLAS MAPS.
 - THERE MAY BE ADDITIONAL EASEMENTS, RESTRICTIONS OR RESERVATIONS NOT SHOWN. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR ANY LOSS THAT MAY BE ASSOCIATED WITH THE EXISTENCE OF ANY SUCH EASEMENTS, RESTRICTIONS OR RESERVATIONS. PROPERTY SUBJECT TO AND/OR BENEFITED BY ALL EXISTING EASEMENTS AND RIGHT-OF-WAYS OF RECORD. BURIED STRUCTURES, OVERHEAD STRUCTURES, BURIED/OVERHEAD UTILITY LINES AND/OR ALL LEDGE OUTCROPPINGS MAY NOT ALL BE SHOWN.
 - WETLANDS WERE DELINEATED BY ADKE ENVIRONMENTAL MAY-JUNE 2023. ALL WETLANDS ARE CLASS II UNLESS NOTED. THE ROAD AND UTILITY CROSSINGS WERE STATE APPROVED VIA WETLANDS PERMIT #2022-0927, DATED MARCH 26, 2024. PER THE PERMIT CONDITIONS, WETLANDS ENHANCEMENT PLANTS SHALL BE PLANTED WITHIN THE WETLANDS AND ALONG THE MARGINS OF THE FORESTED WETLANDS TO THE NORTH.
 - GEORGIA ZONING IS B-BUSINESS WHICH REQUIRES A 1-ACRE MINIMUM LOT SIZE FOR EACH USE, MIXED USE BUILDING, OR SINGLE FAMILY DWELLING AND 1.5-ACRE MINIMUM FOR TWO FAMILY DWELLINGS (TOWNHOUSES). FRONTAGE REQUIREMENT IS 120-FT. MINIMUM. BUILDING SETBACKS ARE 75 FT. FRONT YARD (FROM ROAD CENTERLINE) AND 20 FT. SIDE & REAR YARD. MAXIMUM BUILDING HEIGHT IS 35-FT.
 - THIS PLAN IS FOR PLANNING PURPOSES ONLY. ALL STATE, LOCAL OR FEDERAL PERMITS ARE REQUIRED PRIOR TO CONSTRUCTION.
 - DIGSAFE (1-888-344-7233) MUST BE CONTACTED AT LEAST 48 HOURS IN ADVANCE TO MARK LINES BEFORE UNDERGROUND UTILITY WORK IS DONE (VERMONT LAW 30 VSA CHAP. 36).

LEGEND

- WETLANDS VEGETATION
- PROPERTY LINES
- INTERSTATE FENCE
- 5 FT. CONTOUR LINE
- EDGE OF GRAVEL
- CENTERLINE OF STREAM
- WETLAND/UPLAND DELINEATION LINE
- WETLAND BUFFER LIMITS
- EXISTING TREELINE
- ZONING SETBACKS

GRAPHIC SCALE

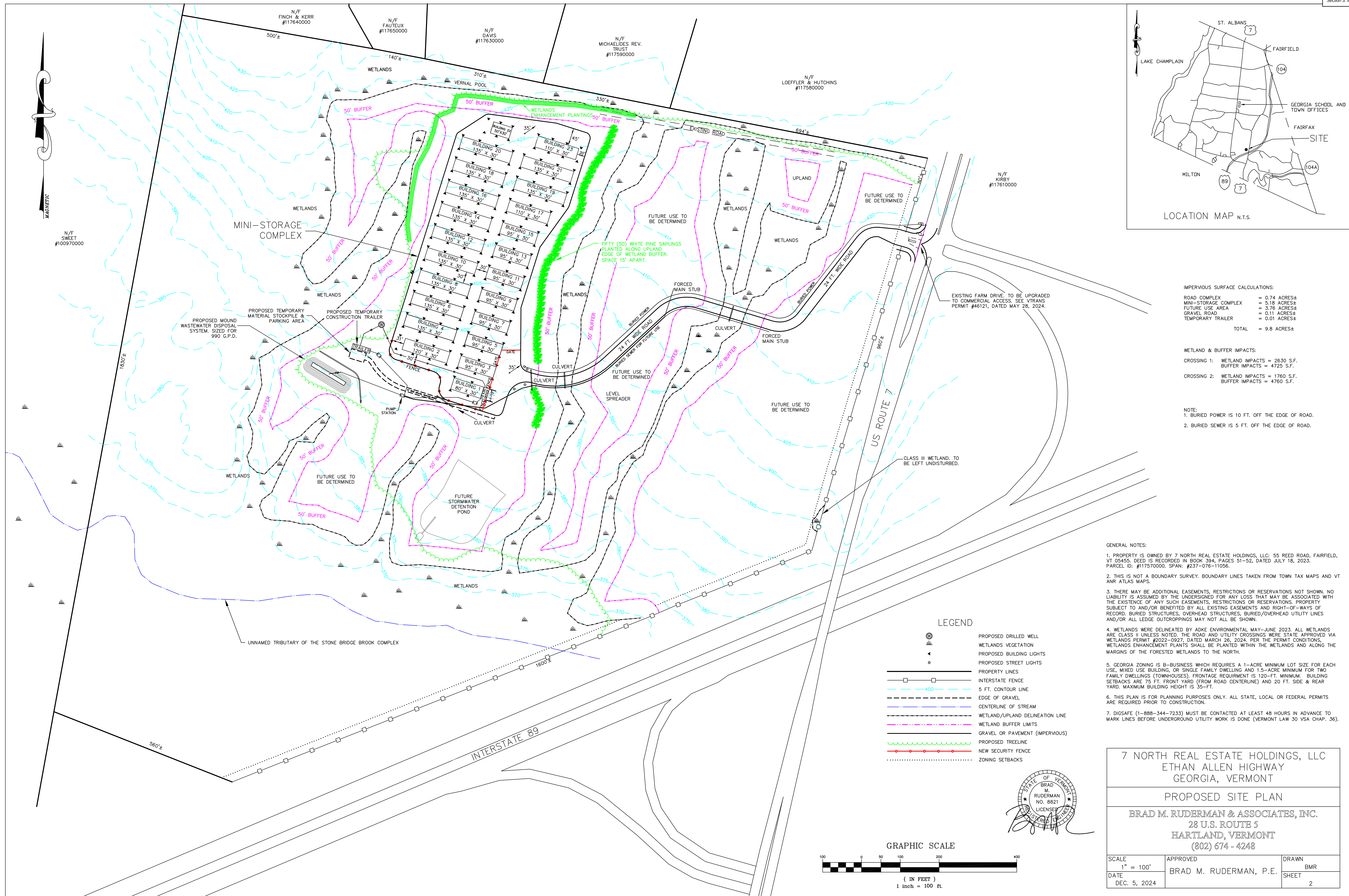


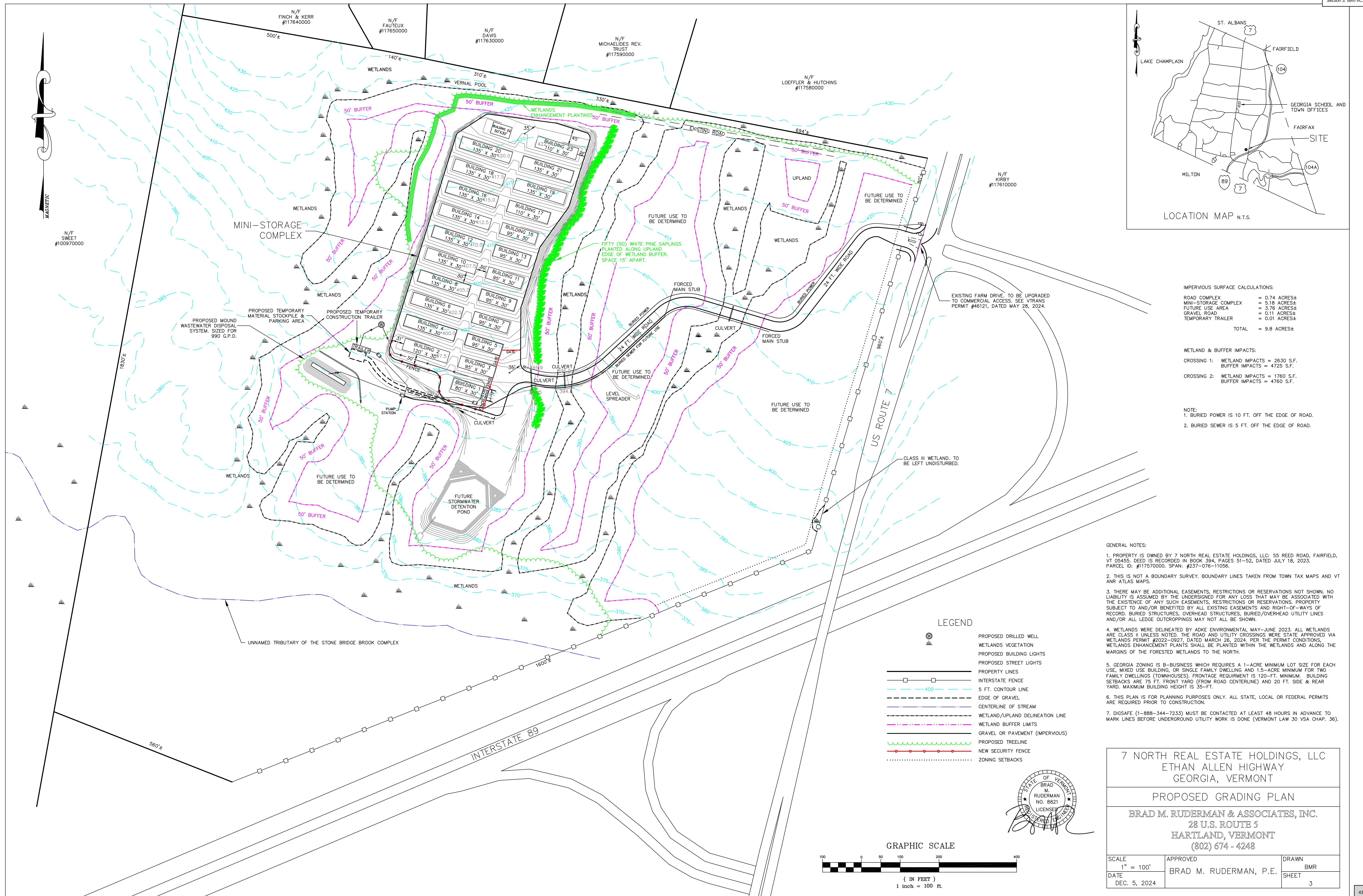
7 NORTH REAL ESTATE HOLDINGS, LLC
ETHAN ALLEN HIGHWAY
GEORGIA, VERMONT

EXISTING CONDITIONS PLAN

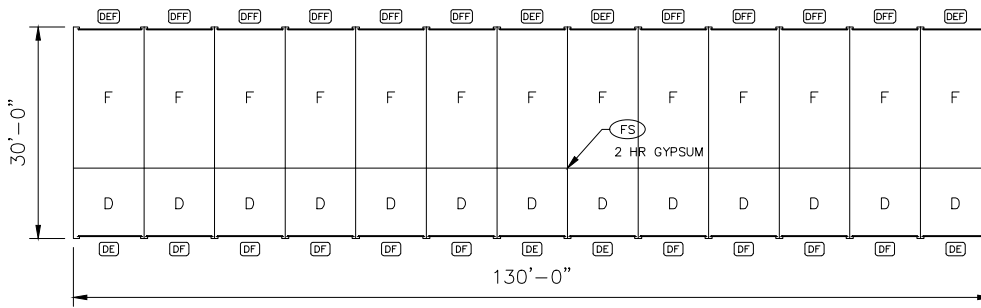
BRAD M. RUDERMAN & ASSOCIATES, INC.
28 U.S. ROUTE 5
HARTLAND, VERMONT
(802) 674 - 4248

SCALE 1" = 100'	APPROVED BRAD M. RUDERMAN, P.E.	DRAWN BMR
DATE DEC. 5, 2024		SHEET 1

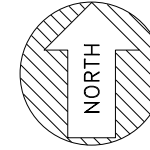




HIGH SIDE



1, 2, 3, 4, 5 & 6 - 30'-0" x 130'-0" x 8'-4" 1/4:12 PITCH LEAN-TO BUILDING SYSTEM

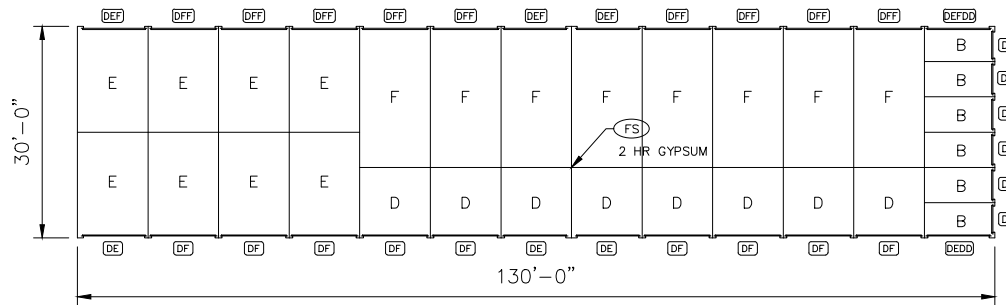


Section 3. Item #C.

UNIT MIX

LABEL	UNIT SIZE	# UNITS	%	SQ. FEET
B	5 x 10	24	8.7	1200
D	10 x 10	110	39.9	11000
E	10 x 15	32	11.6	4800
F	10 x 20	110	39.9	22000
TOTAL		276	100	39000

HIGH SIDE



7, 8, 9, & 10 - 30'-0" x 130'-0" x 8'-4" 1/4:12 PITCH LEAN-TO BUILDING SYSTEM

DOOR SCHEDULE							
QTY	CODE	TYPE	SIZE	ROUGH OPENING (REF.)	MANUF.	DESCRIPTION	COLOR
4	DB	ROLL-UP	3'-8" x 7'-0"	3'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
12	DC	ROLL-UP	4'-0" x 7'-0"	4'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
36	DE	ROLL-UP	8'-8" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
4	DEDD	ROLL-UP	8'-8" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	NON-OPERATIONAL DOOR	COLORED ..
36	DEF	ROLL-UP	8'-8" x 7'-7"	8'-8" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
4	DEFDD	ROLL-UP	8'-8" x 7'-7"	8'-8" x 7'-7.5"	TRAC-RITE/eq.	NON-OPERATIONAL DOOR	COLORED ..
90	DF	ROLL-UP	9'-0" x 7'-0"	9'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
90	DFF	ROLL-UP	9'-0" x 7'-7"	9'-0" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
4	DW	ROLL-UP	4'-0" x 6'-11"	4'-0" x 6'-11"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
4	DZ	ROLL-UP	3'-8" x 6'-11"	3'-8" x 6'-11"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..

ROLL-UP DOORS MEET ASTM E330

DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE ERECTION SET.
RO AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.

NOTICE

NO FABRICATION CAN BE SCHEDULED OR BEGUN
UNTIL "APPROVED" OR "APPROVED AS NOTED"
DOCUMENTS ARE RECEIVED BY TRACHTE BUILDING
SYSTEMS. COMPLETE THE FOLLOWING:

___ APPROVED - RELEASE FOR FABRICATION

___ APPROVED AS NOTED - RELEASE FOR FABRICATION

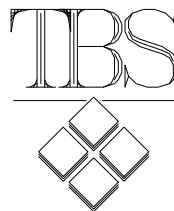
___ REVISE & RESUBMIT

SIGNATURE _____

COMPANY _____

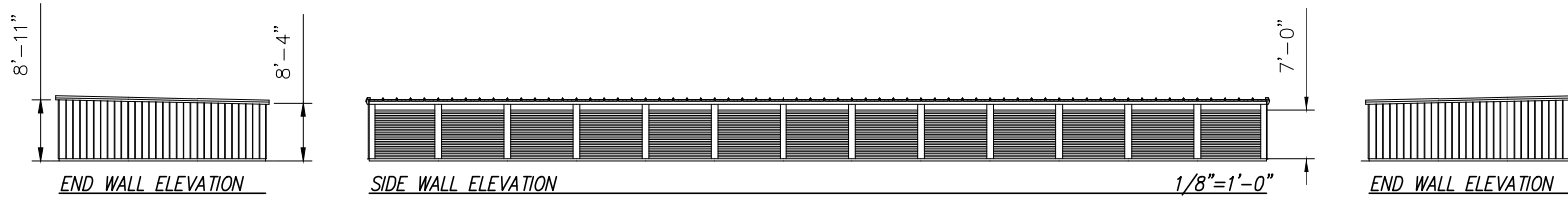
DATE _____

TRACHTE BUILDING SYSTEMS, Inc.

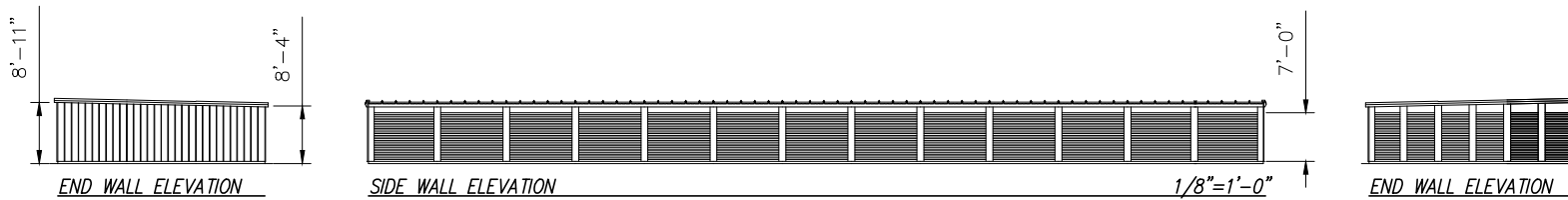
This drawing and all parts thereof
is the exclusive property of
Trachte Building Systems, Inc.
314 Wilburn Road, Sun Prairie, Wisconsin
(800/356-5824) (Local 608/837-7899)
and may not be reproduced in whole
or part without written permission.

Revisions:			By:
4/9/24 revised to 1/4:12 lean to with firewalls			MJL
Name: KM			Scale: 1 = 30'
Date: 11/8/23			

Job Description:		PAGE 1 OF 1
Proposed Storage System for: TIM REED TIM REED CONSTRUCTION		
Georgia, VT 05478		
Sheet Title	Plan #	44
FLOOR PLAN	59288	SALES ONLY



1, 2, 3, 4, 5 & 6 – 30'-0" x 130'-0" x 8'-4" 1/4:12 PITCH LEAN-TO BUILDING SYSTEM



7, 8, 9, & 10 – 30'-0" x 130'-0" x 8'-4" 1/4:12 PITCH LEAN-TO BUILDING SYSTEM

NOTICE

NO FABRICATION CAN BE SCHEDULED OR BEGUN UNTIL "APPROVED" OR "APPROVED AS NOTED" DOCUMENTS ARE RECEIVED BY TRACHTE BUILDING SYSTEMS. COMPLETE THE FOLLOWING:

___ APPROVED – RELEASE FOR FABRICATION

___ APPROVED AS NOTED – RELEASE FOR FABRICATION

___ REVISE & RESUBMIT

SIGNATURE _____

COMPANY _____

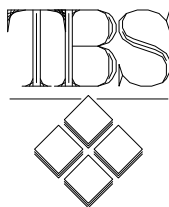
DATE _____

****** THE ABOVE PLAN MAY NOT REFLECT THE IMPLICATIONS OF SECTION 903.2.9 OF THE 2012 THROUGH 2021 IBC CODES WHICH MAY REQUIRE 3 HOUR FIREWALLS EVERY 2,500 SQFT OR MAY REQUIRE YOU TO SPRINKLE THE BUILDING.

******* TRACHTE RECOMMENDS (IN USA ONLY) THAT ALL PROJECTS REQUIRE A NUMBER OF UNITS BE ADA ACCESSIBLE, IF A CUSTOMER CHOOSES TO NOT CONFORM TRACHTE WILL NOT BE HELD ACCOUNTABLE.

TRACHTE BUILDING SYSTEMS, Inc.

This drawing and all parts thereof is the exclusive property of Trachte Building Systems, Inc. 314 Wilburn Road, Sun Prairie, Wisconsin (800/356-5824) (Local 608/837-7899) and may not be reproduced in whole or part without written permission.



Revisions:

4/9/24 revised to 1/4:12 lean to with firewalls
10/11/24 ADDED ELEVATIONS

By:

MJL
KM

Job Description:

Proposed Storage System for: TIM REED
TIM REED CONSTRUCTION

Georgia, VT 05478

PAGE 1 OF 1

Sheet Title

FLOOR PLAN

Plan

59288

45

SALES ONLY

Name: KM

Scale: 1 = 30'

Date: 11/8/23



GEORGIA VERMONT

DRB MEETING Tuesday, December 17, 2024 at 7:00 PM Chris Letourneau Meeting Room and via Zoom Minutes

Zoom Details:

<https://us02web.zoom.us/j/6165843896?pwd=STduU2JzTmpiVmE1MXZSaWZWLzVadz09>

Meeting ID: 616 584 3896 | **Passcode:** 5243524

Dial by your Location: 1 929 205 6099 (New York)

1. CALL TO ORDER - 7:00 PM

DRB BOARD PRESENT

Chair Suzanna Brown
Vice Chair Charles Cross
Greg Drew
Gilles Rainville
Glenn Sjoblom

DRB BOARD ABSENT

James Powell
Lisa Faure
Jared Waite (alternate)
Chris Caspers (alternate)

STAFF PRESENT

Doug Bergstrom, Zoning Administrator
Kollene Caspers, Zoning Clerk

GUESTS PRESENT FOR BLA-002-24

Mike Johnston, Barnard & Gervais Engineering
Liz Charron

GUESTS PRESENT FOR SK-005-24

Justin Holmes, Pinnacle Engineering
Martha and Brian Bechard

2. ADDITIONS, DELETIONS, OR CHANGES TO THE AGENDA

3. PUBLIC HEARINGS

A. Boundary Line Adjustment (BLA-002-24) Willmuth, Drinkwater & Frangipane

- Mike Johnston, Engineer with Barnard & Gervais, was sworn in and presented the project on behalf of the Applicant.
- S. Brown read the BLA hearing details.
- M. Johnston made a change, correction to the site map, the black line along Drinkwater property should be blue and not black.
- S. Brown had questions about access for existing property owners.
- According to M. Johnston, any existing easements will remain in place after the BLA.
- Discussion among the DRB and Engineer over the access to 0 Rock Island Road lot. G. Drew explained the DRB cannot create or approve a plan that would create an inaccessible lot.
- The DRB will need clarification/ more information on the project before it can proceed.
- A continuance to the hearing was proposed until January 7, 2025 to correct site map and deed ownership issues, and provide for clarification to access/ROW for Rock Island Road owners. The width of the road and lot lines need to be delineated. DRB requests the tax and deed records be researched for most current information.
- S. Brown requested lots lines to be verified, as they are currently listed differently than the tax map. S. Brown would like the Willmuths to be aware that with the ROW they may not develop the lot in the future due to access. Ashely Drinkwater's lot should show ROW/access.
- L. Charron explained the Willmuth land conservation and access for the lots.
- S. Brown amended her request that Barnard & Gervais straighten out the lot lines and explain future access to Ashely Drinkwater's property.
- M. Johnston agreed to explain the lot lines and access in more detail. The continuance will go on the agenda for January 7th, and he will get us the maps and materials for the DRB packet by January 2nd.

Motion to exit the hearing at 7:32.

Motion made by Rainville, Seconded by Vice Chair Cross.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

B. Sketch Plan Review (SK-005-24) Gamache, Proposed Duplex Development

- Justin Holmes, Engineer, was present to speak on behalf of the Applicant for the hearing.
- S. Brown introduced the details of the hearing and swore in both J. Holmes and M. Bechard, who was present as an interested party to the hearing.
- J. Holmes recapped the initial plans for the property, which were approved by the DRB last year (FP-005-23) and explained the current changes to the project, including the waivers requested.
- The project change is from one 4-unit building to a PUD with four duplexes buildings, for a total of eight units, all on one common lot.
- The road and wetland issues had been addressed in the prior project, leaving only the wastewater permit to be submitted. Potential development to the rest of the property may happen in the future.

- The waivers requested include PUD for cluster development, waivers for front yard setbacks due to clustering and avoiding the wetlands, and waiver to back out of driveway onto private road.
- The DRB questioned parking for multi-tenant housing units, is it 1 space per unit or 1.5? D. Bergstrom cited Home Act 47 for language:
"Prohibits deed restrictions and covenants that require minimum dwelling unit size and more than one parking space in areas with sewer and water or 1.5 spaces in areas without sewer and water for multiunit dwellings if existing other parking isn't sufficient."
- The creation of an HOA is a requirement for rental/ownership agreements. J. Holmes will have more details on the HOA for Final Plat for the project.
- The units will be on footprint lots, and these are an ownership issue and not a zoning issue, which should be addressed in the Deeds and not contingent on Zoning interpretation.
- G. Drew questioned the water run-off and the contours for units 7 & 8 in relation to the abutting property. J. Holmes explained the runoff will go across the road to offset the culvert.
- Martha and Brian Bechard asked about any changes to property line screening. J. Holmes confirmed the lines of landscaping trees remain in the new plans.
- S. Brown requested language be included in the final plat for future walking trails connecting the property to between the Steeple View neighborhood and other abutting properties.
- The wetland delineation plan was discussed, boulders and birdhouses will be included along the rear of the property.

Motion to close the hearing at 8:22pm

Motion made by Vice Chair Cross, Seconded by Sjoblom.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

4. APPROVAL OF MINUTES

A. DRB Meeting Minutes November 19, 2024

Motion to approve minutes with one minor change.

Motion made by Rainville, Seconded by Vice Chair Cross.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

5. OTHER BUSINESS

A. 2025 DRB Meeting Schedule

Motion to approve the DRB Meeting Schedule in 2025 with one minor change.

Motion made by Chair Brown, Seconded by Rainville.

Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

6. PLAN NEXT MEETING AGENDA

A. January 7, 2024

- Continuance for Drinkwater, Willmuth and Frangipane (BLA-002-24)
- 7 Real Estate Holdings, LLC for Site Plan Approval (SP-006-24) and Conditional Use (CU-004-24).
- Site Plan Amendment (SA-003-24) for Town of Georgia, Town Garage.

7. **DELIBERATIONS**

Motion to enter into Deliberative Session 8:29pm
Motion made by Rainville, Seconded by Vice Chair Cross.
Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

Motion to exit from Deliberative Session 9:28pm
Motion made by Rainville, Seconded by G. Drew.
Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

- A. Decision Letters: Hanbury & Dunsmore
Hanbury and Dunsmore Decision letters signed.
- B. Decision Letter for Drinkwater, Willmuth & Frangipane
Hearing is continued until January 7, 2024.

8. **ADJOURN**

Motion to adjourn at 9:30pm
Motion made by Sjoblom, Seconded by Drew.
Voting Yea: Chair Brown, Vice Chair Cross, Drew, Rainville, Sjoblom

Posted to the Town website.
Signed: Kollene Caspers, Zoning Clerk, DRB & Planning Clerk
Phone: 802-524-3524 | Fax: 802-524-3543 | Website: townofgeorgia.com