



# THE CITY OF FROSTBURG

## Planning Commission Meeting Agenda

Wednesday, August 14, 2024 at 7:00 PM

Frostburg Municipal Center Meeting Room 100  
37 S. Broadway, Frostburg, MD 21532

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**1. Call to Order**

**2. Roll Call**

**3. Chair's Procedural Statement; Comments; Announcements**

The Chair asks that anyone presenting business before the Commission, or any individuals who would like to comment on business before the Commission or other concerns, please come forward at the appropriate time and state your name and address for the record. Each meeting is recorded, so please speak clearly.

**4. Approval of the Minutes**

**A.** Minutes from the July 2024 Planning Commission Meeting.

Motion and Second to Approval the Minutes for the July 2024 Planning Commission Meeting.

**5. Citizen Comments**

From Floor; intended for topics unrelated to the current agenda items

**6. Project Presentations**

**A.** Seminerio Lot Split - 33 Water Street / 45 Ormand Street

**B.** Allegany Coal & Land Co. Minor Subdivision - New Hope Road / Great Allegheny Passage

**C.** Clym Environmental Services, LLC Site Plan Review - Frostburg Industrial Park

**D.** Request for a Favorable Recommendation to the Board of Zoning Appeals

Special Exception Use for a Self-Storage Facility in the T-LI Zoning District - 12 Village Parkway

**7. Discussion Items**

By Chair and Members of the Commission

**A.** Proposed Body Art Studio - 6 E. Main Street

**8. Administrative Business and Communication Received**

**A.** Text Amendment to the Frostburg Zoning Ordinance

An Ordinance to Amend the City's Zoning Ordinance to Add Body Art Studios to the Uses Permitted in the Primary District Regulations, Subject to Specified Conditions

**9. Staff Reports**

**A.** Comprehensive Plan Update

**10. Adjournment**



# THE CITY OF FROSTBURG

## Planning Commission Meeting Minutes

Wednesday, July 10, 2024 at 7:00 PM

Frostburg Municipal Center Meeting Room 100  
37 S. Broadway, Frostburg, MD 21532

### 1. Call to Order

Chair Best called the meeting to order at 7:00 P.M.

### 2. Roll Call

Chair Conrad Best, Karen Krogh, Ray Rase, Adam Ritchey, Richard Russo, Jeff Snyder, and Eric Stevens were present.

### 3. Chair's Procedural Statement; Comments; Announcements

The Chair asks that anyone presenting business before the Commission, or any individuals who would like to comment on business before the Commission or other concerns, please come forward at the appropriate time and state your name and address for the record. Each meeting is recorded, so please speak clearly.

### 4. Approval of the Minutes

A. Commissioner Rase made a motion to approve the June 2024 meeting minutes as presented. Commissioner Krogh seconded the motion, a vote was taken, and the minutes were unanimously approved.

### 5. Citizen Comments

From Floor; intended for topics unrelated to the current agenda items

### 6. Project Presentations

#### A. MD Department of Planning - Annual Report

Staff detailed the Maryland Department of Planning's Annual Report, which asks the City's planning department various questions. The City also provided the State with the number of new residential permits issued over the course of the year. The City also requested assistance and clarification from the State regarding H.B. 805.

### 7. Discussion Items

By Chair and Members of the Commission

#### A. Classification of Permanent Makeup Services as Body Art or Beauty Salon Services

A licensed cosmetologist approached the City about adding permanent makeup to their services. The City of Frostburg expressed uncertainty on how to proceed with regulating these services, particularly whether they should be considered as tattooing or as an ancillary beauty salon service. Staff noted to the Commission that the State of Maryland treats permanent makeup as tattooing, however, the service falls under the State's Cosmetology Board, creating some ambiguity. Staff also noted differences that exist between traditional tattooing and permanent makeup practices. These include differences in the number of prongs between permanent makeup needles and tattoo needles, one compared to three, respectively. Ink used in permanent makeup services is not injected as deeply into the skin as compared to traditional tattooing and is not "as permanent" as traditional tattoos, needing "touched-up" after around one to three years. Commissioner Rase expressed



unsureness as to why the City's zoning ordinance treats body art studios differently than beauty salons and parlors and supported a text amendment to change the policy. Commissioner Rase made a motion to consider permanent makeup an ancillary beauty salon service. Commissioner Stevens seconded the motion, a vote was held, and the motion was unanimously carried. A motion was made to draft a text amendment that would remove the existing zoning differences between beauty salons and body art studios. The motion was seconded, a vote was held, and the motion was unanimously carried.

**8. Administrative Business and Communication Received**

**A. Comprehensive Plan Update**

Staff gave an update on the progress of the current comprehensive plan process. Staff discussed the desire to establish a steering committee for the process and offered a seat or two to any sitting commissioner who is interested in participating. Commissioners Rase and Best expressed interest.

**B. MD House Bill 805 Update**

Staff expressed uncertainty regarding provisions contained in H.B. 805 and the location of a potential cannabis dispensary in the City. Staff stated that they have reached out to the State, and hopes to have clarification on the matter for the August 2024 Planning Commission meeting.

**9. Staff Reports**

**10. Adjournment**

Commissioner Stevens made a motion to adjourn, the motion was seconded by Commissioner Rase, and Chair Best called the meeting to a close at 7:21 P.M.



**OWNER'S CERTIFICATION:**  
THE SUBDIVISION AS SHOWN HEREON IS MADE WITH MY CONSENT AND AT MY DIRECTION. THE MONUMENTS SHOWN ARE IN PLACE. THE STREETS AS SHOWN, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE. THE REQUIREMENTS GOVERNING THIS SUBDIVISION, AS SET FORTH IN THE CITY OF FROSTBURG SUBDIVISION REGULATIONS, HAVE BEEN COMPLIED WITH.

LORENZO SEMINERIO DATE  
181 HIGH POINT DR  
SWANTON MD 21561

TAMMY J. SEMINERIO DATE  
181 HIGH POINT DR  
SWANTON MD 21561

APPROVED BY THE CITY OF FROSTBURG  
DEPARTMENT OF PUBLIC WORKS

BY DATE  
CITY ENGINEER

APPROVED BY THE CITY OF FROSTBURG  
PLANNING AND ZONING COMMISSION

BY DATE  
CHAIRMAN

APPROVED BY THE CITY OF FROSTBURG FIRE CHIEF

BY DATE  
FIRE CHIEF

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THIS PLAT TO BE CORRECT AND ACCURATE. THE MONUMENTS SHOWN HEREON ARE IN PLACE AND THE REQUIREMENTS OF THE CITY OF FROSTBURG SUBDIVISION REGULATIONS AND OTHER APPLICABLE LAWS RELATING TO THIS PLAT AND SETTING OF THE MONUMENTS HAVE BEEN COMPLIED WITH.

MATTHEW S. BREWER DATE  
MARYLAND REGISTRATION NO. 21388  
(EXPIRATION 2-04-26)  
23 EAST MAIN STREET, SUITE 200  
FROSTBURG, MARYLAND 21532

NOTARY:  
SWORN TO BEFORE ME THIS DAY OF

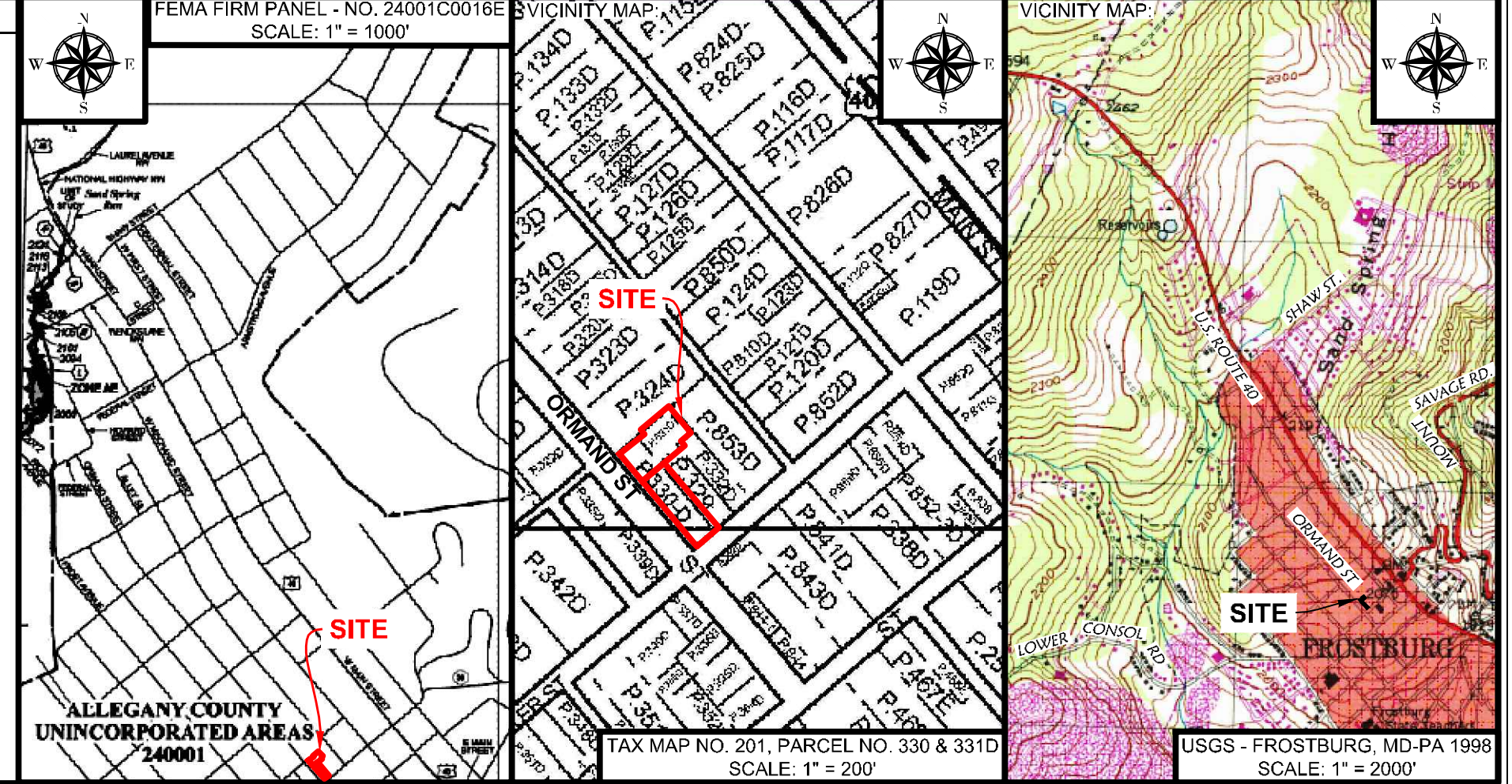
NOTARY PUBLIC

MY COMMISSION EXPIRES

NOTARY SEAL

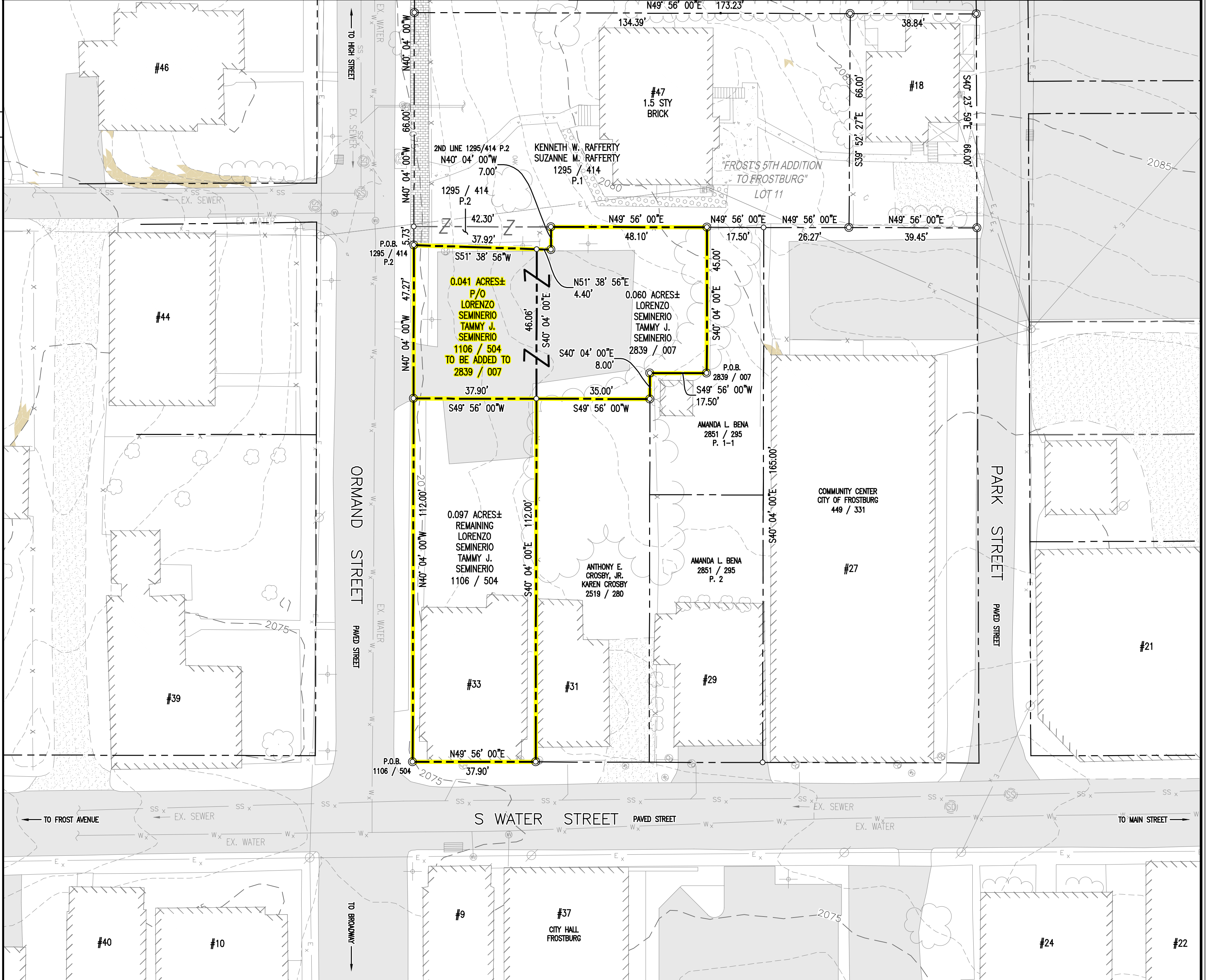
**LEGEND**

- SUBJECT PROPERTY LINES
- NEW LOT LINES
- ADJACENT PROPERTY BOUNDARY
- BRL - BUILDING RESTRICTION LINE
- CORNER FOUND OR (AS NOTED)
- CALCULATED CORNER
- 5/8" IRON PIN W/ CAP SET (UNLESS OTHERWISE NOTED)
- INDEX CONTOUR (5' INTERVAL)
- INTERMEDIATE CONTOUR (1' INTERVAL)
- AREA OF SLOPE > 25% (NON-BUILDABLE)
- EX. BUILDING
- EX. FENCE
- EX. TREELINE
- EX. UNPAVED ROAD / DRIVEWAY
- EX. TREES (TYPE AS NOTED)
- EX. SIGN
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. WATER MAIN
- EX. WATER VALVE
- EX. AERIAL UTILITY
- EX. UTILITY POLE
- EX. ELECTRIC METER
- EX. GAS METER
- EX. GAS VALVE
- EX. STORM INLET
- EX. STORM MANHOLE



**SITE NOTES**

- ZONING DISTRICT: "R2" = NEIGHBORHOOD RESIDENTIAL DISTRICT
- BUILDING RESTRICTION LINE (BRL)  
FRONT: 20' 10" OF WHICH CAN BE AN UNENCLOSED FRONT PORCH  
REAR: 40' 20" OF WHICH MAY INCLUDE AN UNENCLOSED DECK OR PATIO  
SIDE: 5'
- CONTOUR DATA SHOWN HEREON DERIVED FROM 2021 USGS LIDAR FILES PROVIDED BY NOAA DIGITAL COAST: DATA ACCESS VIEWER.
- PROPERTY ADDRESSES ARE AS FOLLOWS:  
1106 / 504; 33 WATER ST.  
2839 / 007; 45 ORMAND ST.
- ALL STORMWATER MANAGEMENT OR CONVEYANCE DEVICES (STRUCTURAL OR NON STRUCTURAL), INSTALLED BY THE DEVELOPER AT THE TIME OF CONSTRUCTION, CONSTITUTE PART OF THE APPROVED STORMWATER MANAGEMENT PLAN AND MAY NOT BE ALTERED OR REMOVED WITHOUT PRIOR PERMISSION OF THE CITY OF FROSTBURG. THESE DEVICES INCLUDE (BUT ARE NOT LIMITED TO) PIPES, SWALES, DRAINS, DRY WELLS, ROOF LEADER CONNECTIONS, PONDS OR SUMPS. THESE DEVICES MAY NOT BE ALTERED IN ANY CASE, WHETHER THEY EXIST ON FEE SIMPLE LOTS, COMMON OPEN SPACE, OR AREAS DEDICATED TO PUBLIC USE.
- ALL OF THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FIRM PANEL NO. 24001C0016E, DATED APRIL 03, 2020.
- THE SUBJECT PROPERTIES ARE IDENTIFIED AS PARCEL NO.S 330 & 331D, TAX MAP NO. 201 OF THE CITY OF FROSTBURG.
- THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE "LOT SPLIT PROCESS" AS OUTLINED IN ARTICLE IV, SECTION 4.02 DEFINITION - "SUBDIVISION," OF THE FROSTBURG SUBDIVISION & LAND DEVELOPMENT REGULATIONS.



PROJECT NO.:	2024055
DRAWN:	BBA
DATE:	7-10-2024
CRD FILE:	-
DWG FILE:	PLAT

**bba**  
Surveyors | Engineers | Planners

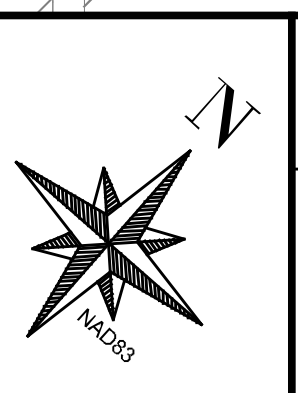
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, MD 21532  
Phone 301-687-0494



**LOT SPLIT SUMMARY**

P/O 1106 / 504 (0.041 AC±) TO BE ADDED  
TO 2839 / 006 (0.060 AC±) = 0.101 AC± (BY SURVEY)  
REMAINDER - P/O 1106 / 504 = 0.097 AC± (BY SURVEY)

TOTAL AREA - 0.198 AC± (BY SURVEY)



**LOT SPLIT SURVEY**

PREPARED FOR  
**LORENZO & TAMMY J. SEMINERIO**

SITUATED AT 33 WATER STREET & 45 ORMAND STREET  
ELECTION DISTRICT NO. 26-000, ZONING "R2" - NEIGHBORHOOD RESIDENTIAL  
FROSTBURG, ALLEGANY COUNTY, MARYLAND

SHEET NO.

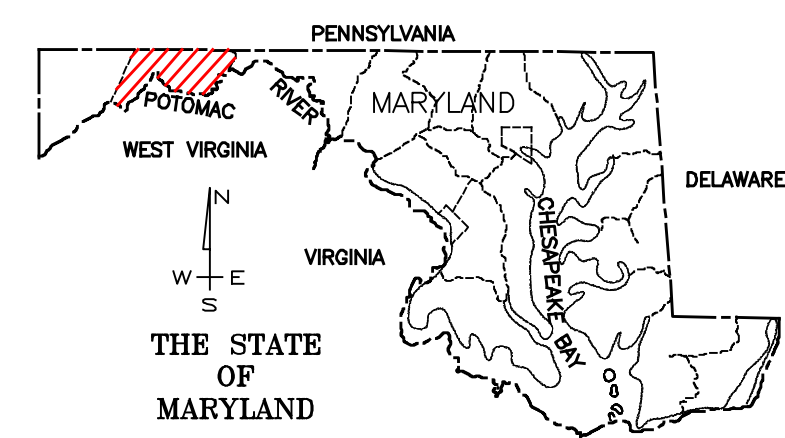
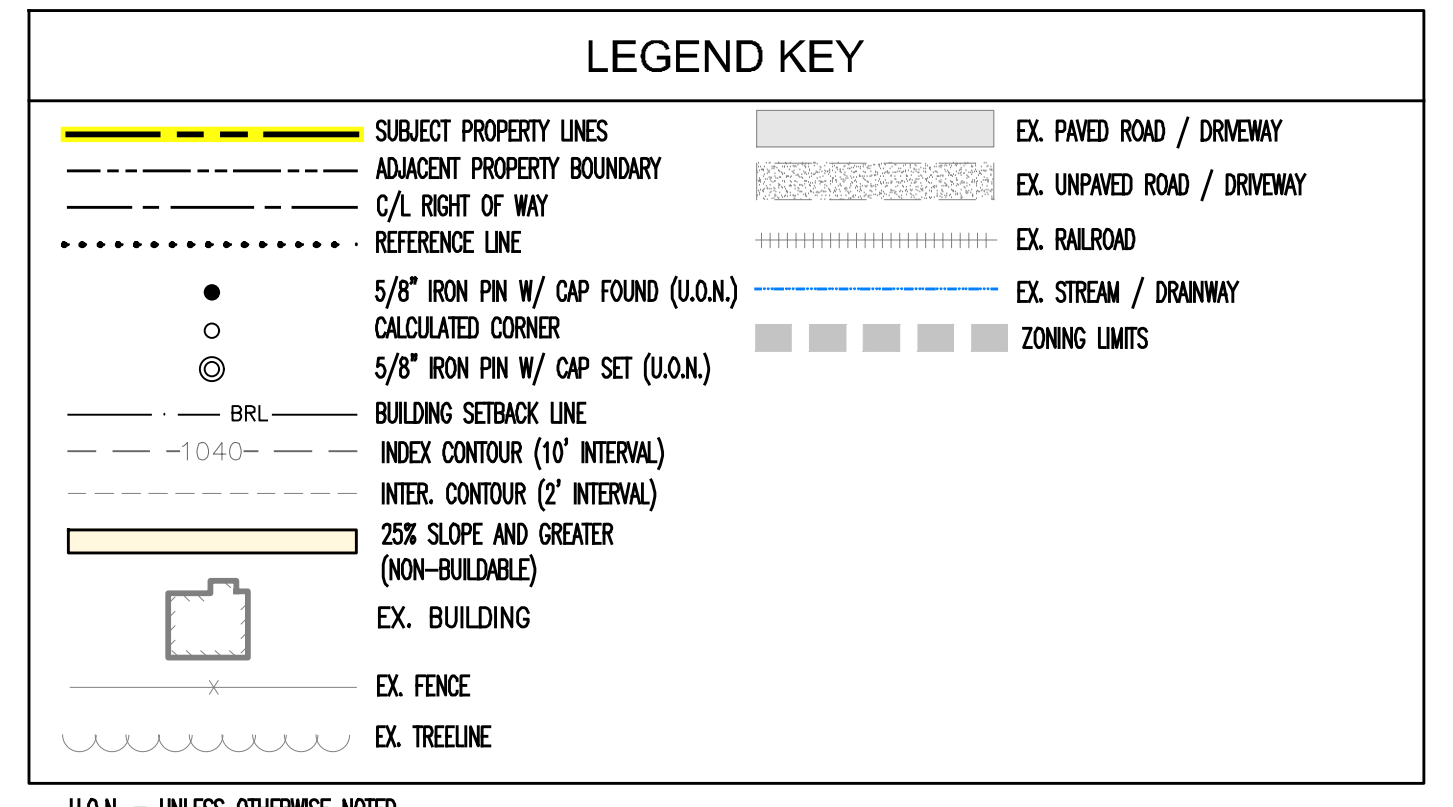
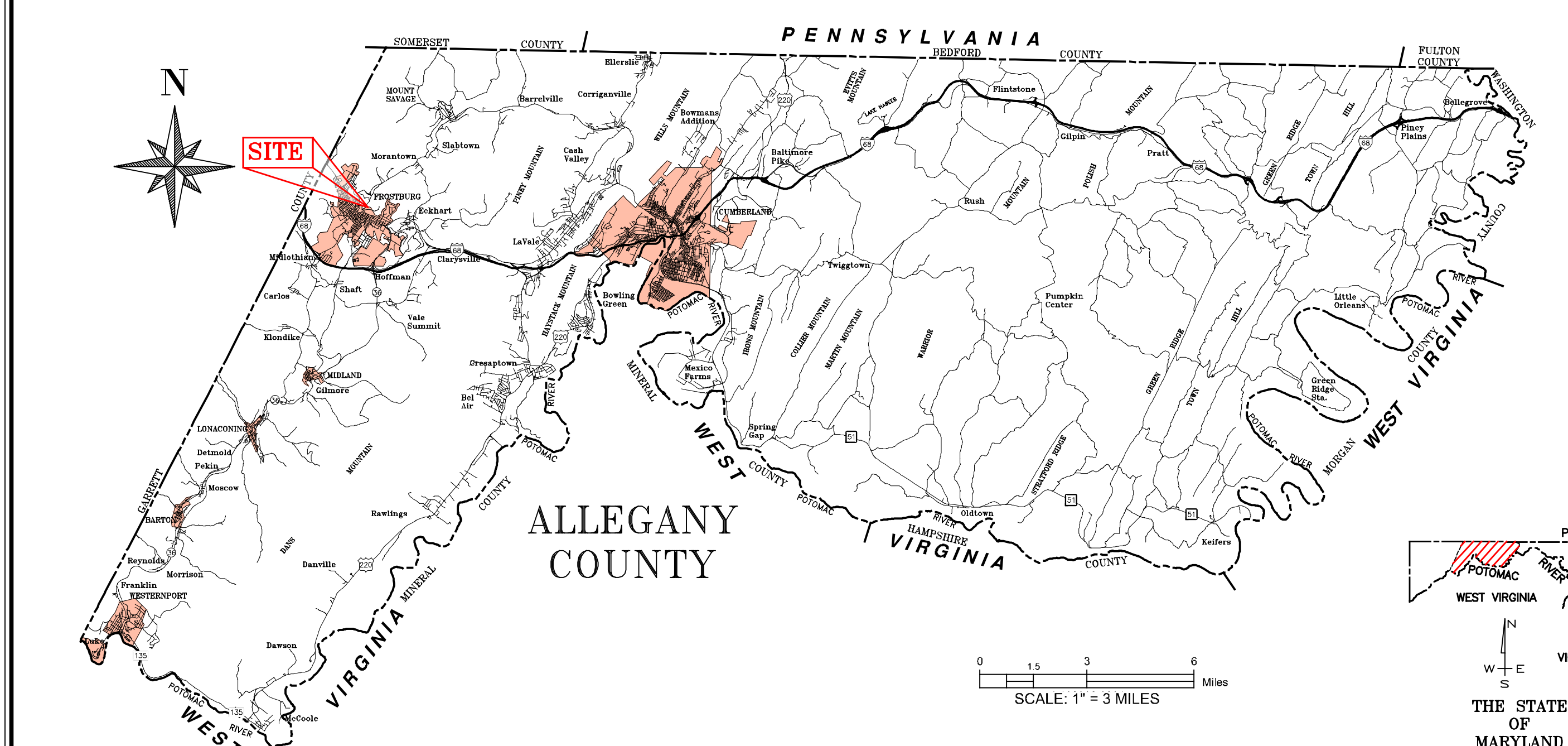
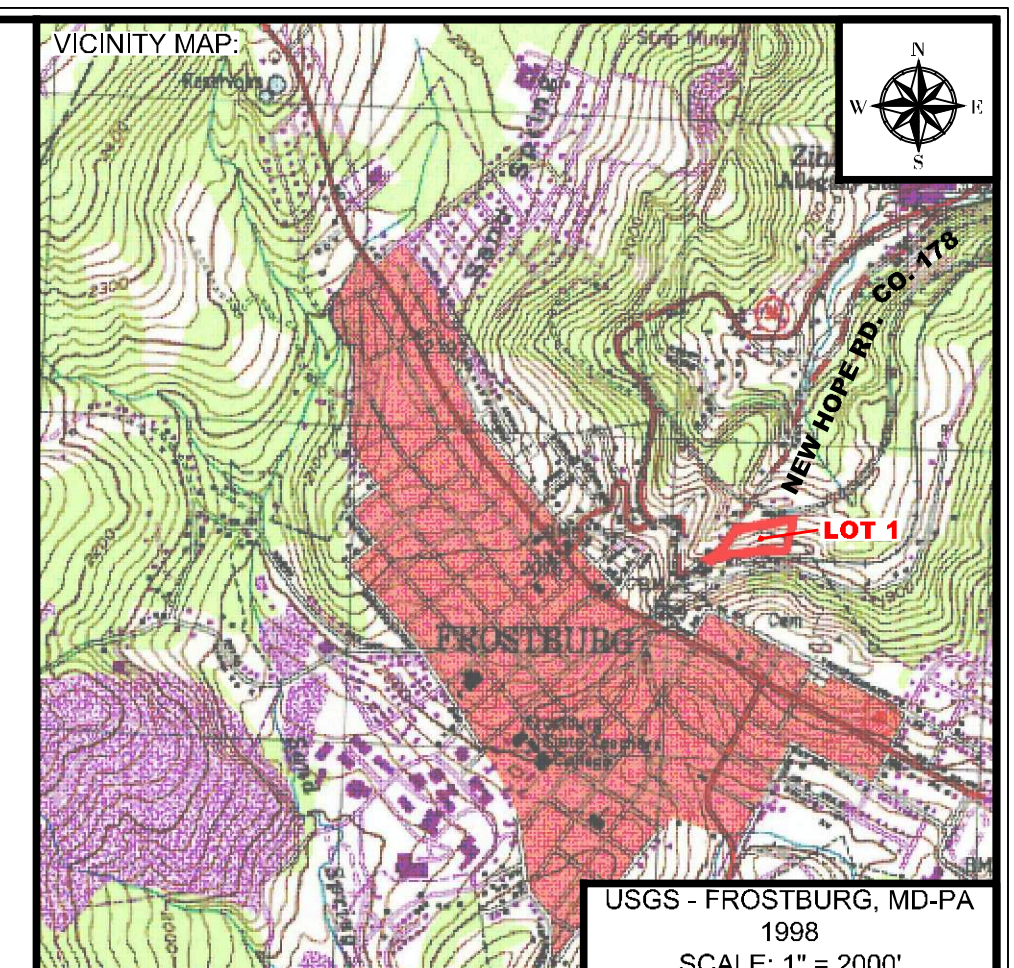
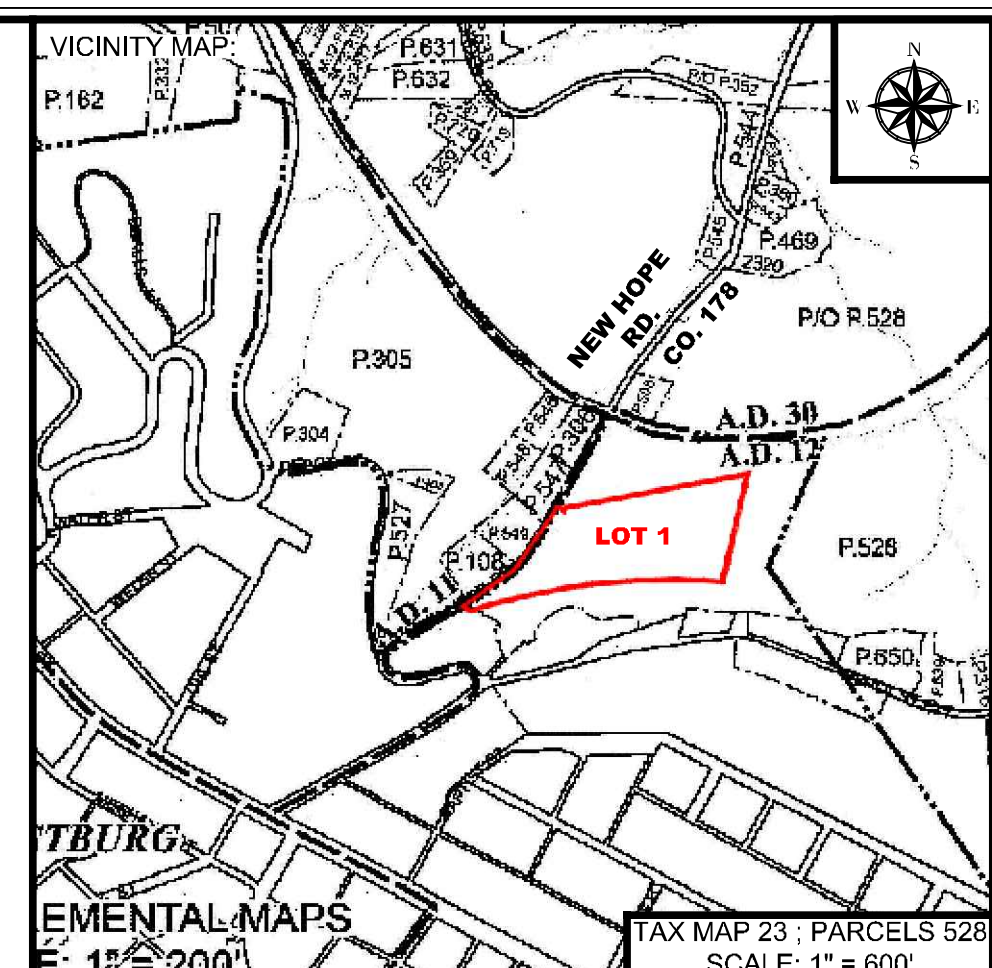
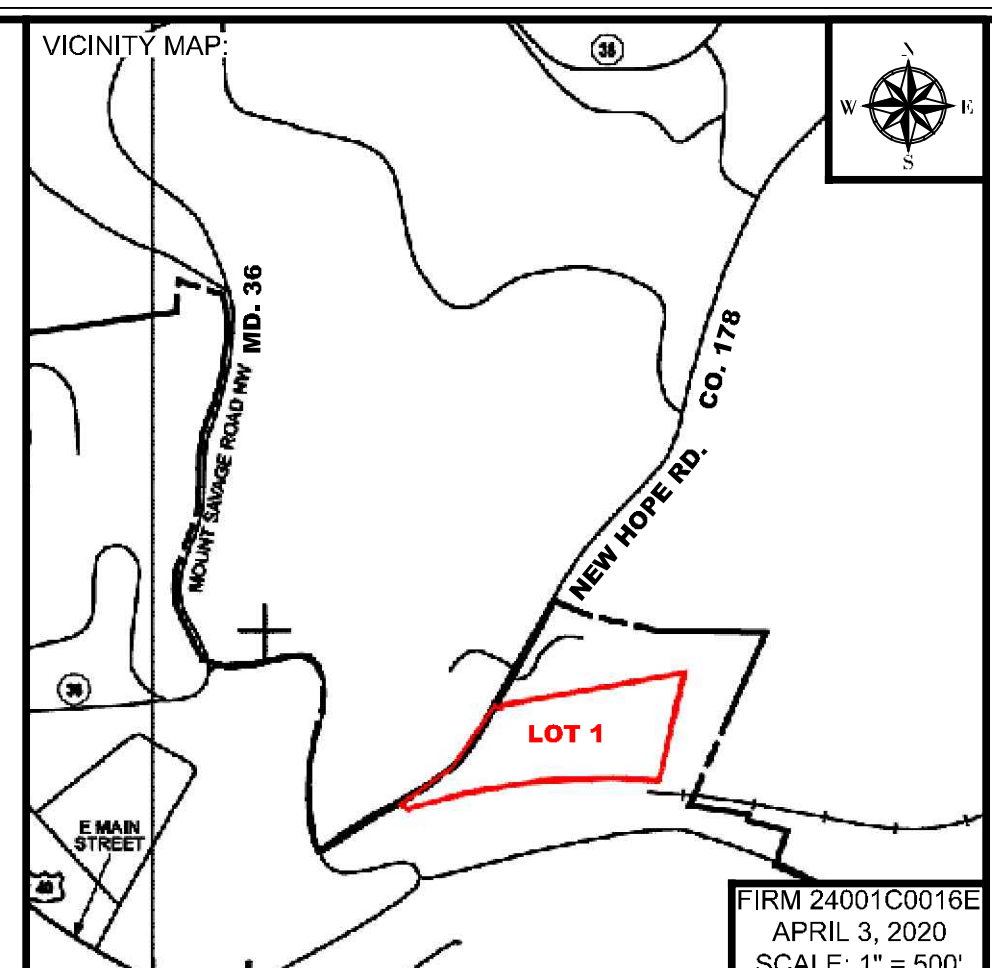
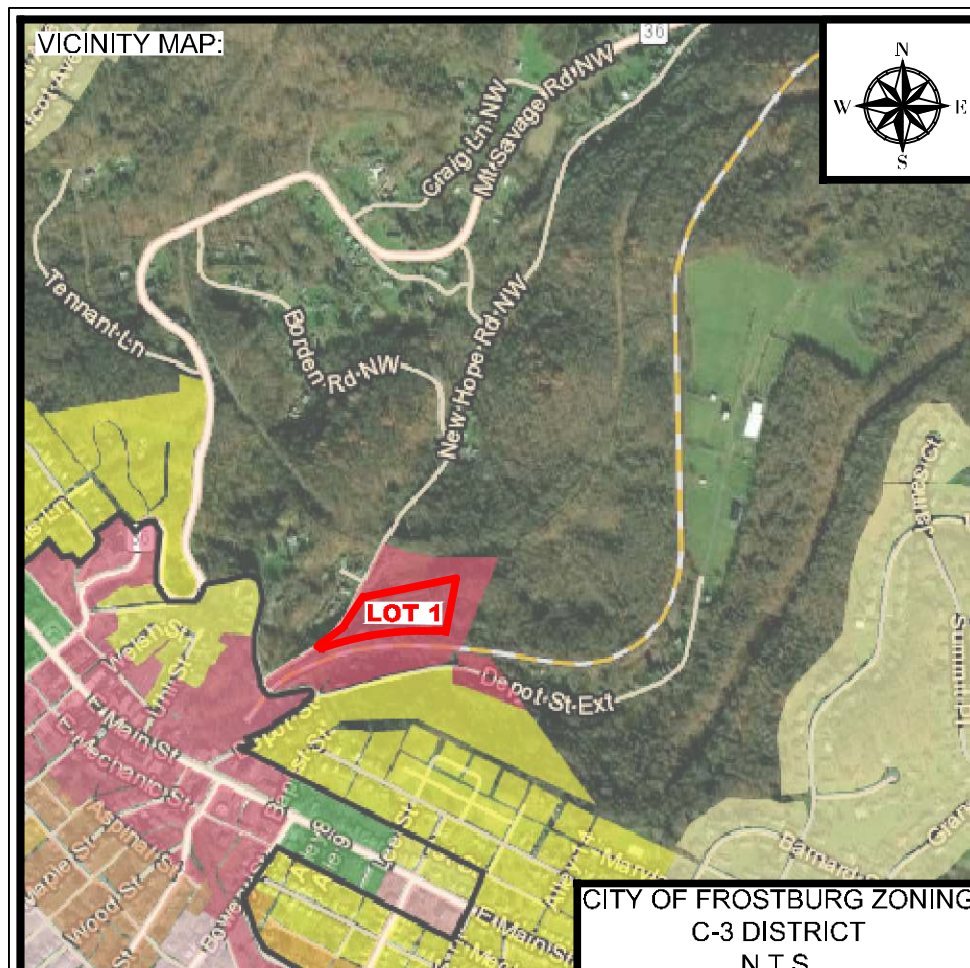
**1**

OF

**1**

CAD FILE: P:\2024\24055 - Tammy Seminerio - Ormand & Water Street, Frostburg, MD\24055-plat.dwg PLOT DATE/TIME: 7/9/2024 10:43am LAST SAVE BY: work106





AREA SUMMARY	
REMAINDER - P/O 561 / 618 - 36.05 AC.± (BY ASSESSMENT)	
LOT 1 - P/O 561 / 618 - 4.23 AC.± (BY SURVEY)	
TOTAL AREA - 40.28 AC.± (BY ASSESSMENT)	

NOTES	
1. ZONING DISTRICT: "C-3" = TOWN CENTER DISTRICT	8. NO REGULATORY WETLANDS WERE IDENTIFIED ON OR NEAR THE SUBJECT PROPERTY (UNLESS OTHERWISE NOTED) DURING THE COURSE OF THE PROPERTY SURVEY AND AS PER:
2. BUILDING RESTRICTION LINE (BRL) FRONT: NONE REAR: 10' SIDE: ADJOINING A 'C' DISTRICT: NONE, OR IF SIDE YARD PROVIDED, A MINIMUM OF 3 FT.; ADJOINING A 'R' DISTRICT: SIDE YARD REQUIRED IN ADJOINING DISTRICT	A. THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY B. MARYLAND DEPARTMENT OF NATURAL RESOURCES WETLANDS INVENTORY.
3. PROPERTY ADDRESSES ARE AS FOLLOWS: REMAINDER: NEW HOPE RD. LOT NO. 1: NEW HOPE RD.	9. UNDERGROUND UTILITY LOCATIONS MUST BE VERIFIED BY ENTITY REPRESENTATIVES PRIOR TO ANY CONSTRUCTION.
4. CONTOUR DATA SHOWN HEREON DERIVED FROM 2021 USGS LIDAR FILES PROVIDED BY NOAA DIGITAL COAST: DATA ACCESS VIEWER.	10. THIS PROPERTY IS IDENTIFIED AS PARCEL NO. 528, TAX MAP NO. 23 IN THE CITY OF FROSTBURG.
5. ALL OF THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (AREA OUTSIDE THE 0.1% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FIRM PANEL NO. 24001C0016E, DATED APRIL 03, 2020.	
6. ALL STORMWATER MANAGEMENT OR CONVEYANCE DEVICES (STRUCTURAL OR NON STRUCTURAL), INSTALLED BY THE DEVELOPER AT THE TIME OF CONSTRUCTION, CONSTITUTE PART OF THE APPROVED STORMWATER MANAGEMENT PLAN AND MAY NOT BE ALTERED OR REMOVED WITHOUT PRIOR PERMISSION OF THE CITY OF FROSTBURG. THESE DEVICES INCLUDE (BUT ARE NOT LIMITED TO) PIPES, SWALES, DRAINS, DRY WELLS, ROOF LEADER CONNECTIONS, PONDS OR SUMPS. THESE DEVICES MAY NOT BE ALTERED IN ANY CASE, WHETHER THEY EXIST ON FEE SIMPLE LOTS, COMMON OPEN SPACE, OR AREAS DEDICATED TO PUBLIC USE.	
7. NO PORTION OF THE SUBJECT PROPERTY IS OVER 25 PERCENT SLOPE, EXCEPT AS SHOWN.	

SURVEYOR'S CERTIFICATION:	
I HEREBY CERTIFY THIS PLAT TO BE CORRECT AND ACCURATE. THE MONUMENTS SHOWN HEREON ARE IN PLACE AND THE REQUIREMENTS OF THE CITY OF FROSTBURG SUBDIVISION REGULATIONS AND OTHER APPLICABLE LAWS RELATING TO THIS PLAT AND SETTING OF THE MONUMENTS HAVE BEEN COMPLIED WITH.	
MATTHEW S. BREWER MARYLAND REGISTRATION NO. 21388 (EXPIRATION 2-04-26) 23 EAST MAIN STREET, SUITE 200 FROSTBURG, MARYLAND 21532	DATE _____
APPROVED BY THE CITY OF FROSTBURG DEPARTMENT OF PUBLIC WORKS	
BY _____ CITY ENGINEER	DATE _____
APPROVED BY THE CITY OF FROSTBURG PLANNING AND ZONING COMMISSION	
BY _____ CHAIRMAN	DATE _____
APPROVED BY THE CITY OF FROSTBURG FIRE CHIEF	
BY _____ FIRE CHIEF	DATE _____

OWNER'S CERTIFICATION:	
THE SUBDIVISION AS SHOWN HEREON IS MADE WITH MY CONSENT AND AT MY DIRECTION. THE MONUMENTS SHOWN ARE IN PLACE. THE STREETS AS SHOWN, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE. THE REQUIREMENTS GOVERNING THIS SUBDIVISION, AS SET FORTH IN THE CITY OF FROSTBURG SUBDIVISION REGULATIONS, HAVE BEEN COMPLIED WITH.	
STEVE JENKINS, PRESIDENT ALLEGANY COAL & LAND COMPANY DEPOT STREET FROSTBURG, MD 21532	DATE _____
NOTARY: SWORN TO BEFORE ME THIS _____ DAY OF _____	
_____ NOTARY PUBLIC	MY COMMISSION EXPIRES _____
NOTARY SEAL	
SHEETS 1 OF 2 AND 2 OF 2 TOGETHER CONSTITUTE THE ENTIRE PLAT AND SHOULD NOT BE CONSIDERED INDEPENDENTLY	

PROJECT NO.:	2023053
DRAWN:	BBA
DATE:	7-10-2024
CRD FILE:	-
DWG FILE:	PLAT

**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, MD 21532  
Phone 301-687-0494

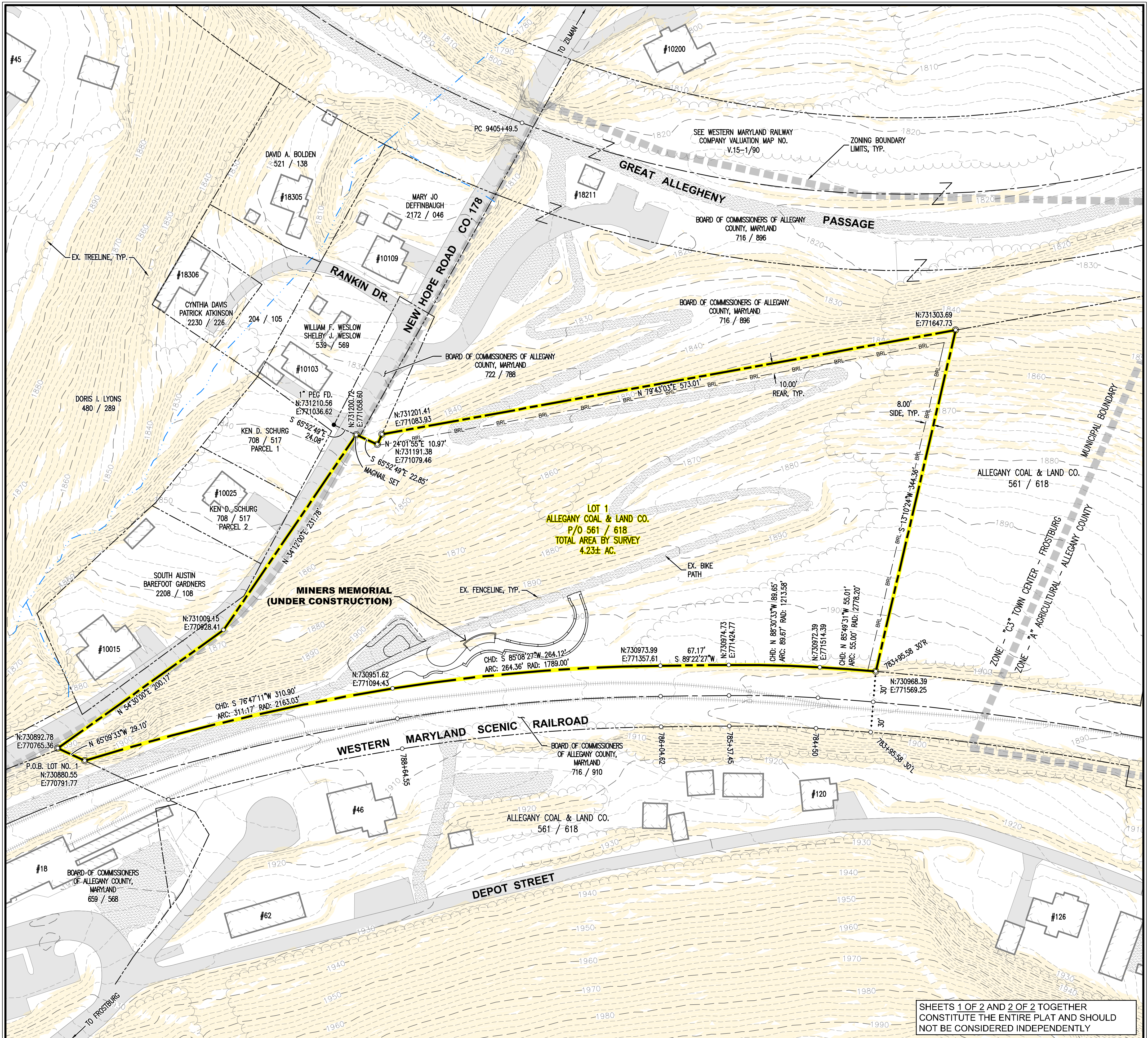
**PRELIMINARY**

**MINOR SUBDIVISION**  
PREPARED FOR  
**ALLEGANY COAL & LAND CO.**  
NEW HOPE ROAD / GREAT ALLEGHENY PASSAGE  
ELECTION DISTRICT NO. 12-000, FROSTBURG, ALLEGANY COUNTY, MARYLAND

SHEET NO.	
1	
OF	
2	

CAD FILE: P:\2023\23053 - AC&L - Depot - Trail - Switchback\Subplot\PLAT.dwg PLOT DATE/TIME: 7/9/2024 - 2:01pm LAST SAVE BY: work106





**LOT 1**  
**ALLEGANY COAL & LAND CO.**  
 P/O 561 / 618  
 TOTAL AREA BY SURVEY  
 4.23± AC.

SHEETS 1 OF 2 AND 2 OF 2 TOGETHER  
 CONSTITUTE THE ENTIRE PLAT AND SHOULD  
 NOT BE CONSIDERED INDEPENDENTLY

CAD FILE: P:\2023\23053 - AC&L - Depot - Trail Switchback\Subplat\PLAT.dwg  
 PLOT DATE/TIME: 7/9/2024 - 2:01pm  
 LAST SAVE BY: work106

PROJECT NO.:	2023053
DRAWN:	BBA
DATE:	7-10-2024
CRD FILE:	-
DWG FILE:	PLAT

**bba**  
 Surveyors | Engineers | Planners  
 Bennett Brewer & Associates, LLC  
 23 East Main Street, Suite 200  
 Frostburg, MD 21532  
 Phone 301-687-0494

**PRELIMINARY**

MARYLAND NAD 83  
  
 0 25 50 100 Feet  
 SCALE: 1" = 50 FEET

**MINOR SUBDIVISION**  
 PREPARED FOR  
**ALLEGANY COAL & LAND CO.**  
 NEW HOPE ROAD / GREAT ALLEGHENY PASSAGE  
 ELECTION DISTRICT NO. 12-000, FROSTBURG, ALLEGANY COUNTY, MARYLAND

SHEET NO.	<b>2</b>
OF	2



C.G.  
COMPARED AND MAILED/DELIVERED  
Jeff Setty ESQ  
to Prospects of Cumberland  
April 1, 2003

BOOK 714 PAGE 881

(Filed & Recorded March 31, 2003 @ 11:00 AM)

DEED OF EASEMENT

THIS DEED OF EASEMENT is made this 4<sup>th</sup> day of March, 2003

by and between ALLEGANY COAL AND LAND COMPANY, a Maryland corporation with its principal place of business in Frostburg, Maryland, Grantor, and THE CITY OF FROSTBURG, a municipal corporation organized and existing pursuant to the laws of the State of Maryland, Grantee.

WHEREAS, Allegany Coal and Land Company is the owner of certain property situated along New Hope Road in Election District No. 12, Frostburg, Allegany County, Maryland having acquired the same in a deed dated December 17, 1986 and recorded in Deeds Liber 561, folio 618, among the Land Records of Allegany County, Maryland; and

WHEREAS, the City of Frostburg desires to acquire an easement to enter upon and utilize 3.7 acres of Allegany Coal and Land Company's property to layout, construct, improve, maintain, repair, reconstruct and operate a hiking/biking trail to be used as part of the Allegany Highlands Trail and for any other lawful public purpose; and

WHEREAS, Allegany Coal and Land Company has agreed to grant a permanent, exclusive easement to the City of Frostburg and its successors and assigns as provided for herein.

NOW, THEREFORE, in consideration of the sum of Twenty-one Thousand Four Hundred Fifty Dollars (\$21,450.00) as well as other good and valuable consideration, well and truly paid by the Grantee to the Grantor, the receipt whereof acknowledged, the Grantor does hereby grant, bargain, sell and convey unto the Grantee a permanent, right to the free and uninterrupted use, liberty, privilege, easement and right-of-way to enter the Grantor's property described herein for the purpose of constructing, building, maintaining, operating, repairing, reconstructing a hiking/biking trail and for all other lawful governmental uses and all other uses which comport with Program Open Space purpose which the Grantee, its successors and assigns, desires to utilize the servient easement hereby created over, across and through all of those certain lots, tracts or parcels of land lying in Allegany County, State of Maryland, described as follows:

LAW OFFICES  
JEPPERT, McMULLEN,  
PAYE & GETTY  
CUMBERLAND  
MARYLAND



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ALL that piece or parcel of land situated on the northern right-of-way of the former Cumberland and Pennsylvania Railway and lying between the former railroad and New Hope Road in the City of Frostburg, Allegany County, Maryland, being part of the lands conveyed to Allegany Coal and Land Company filed and recorded as Liber 561, folio 618, Liber 585, folio 674, and Liber 563, folio 348, among the Land Records of Allegany County, Maryland, being further described as follows:

BEGINNING at a point on the northern right-of-way of the former Cumberland and Pennsylvania Railway and thence binding with said right-of-way along a curve to the right, with a radius of 2,049.82 feet, and arc length of 795.55 feet with a chord bearing of (1) South 84 degrees 19 minutes 06 seconds West 790.56 feet to a point; thence leaving said right-of-way, (2) North 65 degrees 13 minutes 43 seconds West 6.33 feet to a point on the Southern right-of-way of New Hope Road; thence with New Hope Road, (3) North 57 degrees 13 minutes 31 seconds East 154.80 feet; thence leaving said right-of-way, (4) North 74 degrees 53 minutes 22 seconds East 169.49 feet to a point; thence (5) North 02 degrees 35 minutes 51 seconds East 180.28 feet to a point on the southern boundary of the former Western Maryland Railway right-of-way, thence binding with the Western Maryland Railway right-of-way (6) North 81 degrees 29 minutes 50 seconds East 602.53 feet to a point, thence leaving said right-of-way with a new division line (7) South 15 degrees 29 minutes 13 seconds East 333.67 feet to the place of beginning.

IT BEING the same property conveyed unto Allegany Coal and Land Company by deed recorded in Deed Liber 561, folio 618, among the Land Records of Allegany County, Maryland.

This instrument and the covenants and agreements contained in this instrument shall inure to the benefit of and be binding and obligatory on the heirs, executors, administrators, successors and assigns and the respective parties.

And further, Grantor reserves the right to cross any hiking/biking trail and further reserves the right to harvest timber from the burdened estate hereby created provided, however, that such timber harvest and access shall not unreasonably interfere with Grantee's use of the Easement Area as a hiking/biking trail.

LAW OFFICES  
GEPPERT, McMULLEN,  
PAYE & GETTY  
CUMBERLAND  
MARYLAND

BYRON WEBSTER  
XEROGRAPHIC



BOOK 714 PAGE 883

And further, Grantor covenants that it will not grant to any other party an easement to enter upon the burdened estate without the prior written approval of the Grantee which shall not be unreasonably withheld.

And further that this land is acquired under a State of Maryland grant from Program Open Space and may not be converted, without written approval of the Secretary of the Department of Natural Resources, the Secretary of the Department of Budget and Management and the Secretary of the Department of Planning, from outdoor public recreation or open space use to any other use. Any conversion in land use may be approved only after the local governing body replaces the land with land of at least equivalent area and of equal recreational or open space value and equal or greater monetary value.

In witness whereof, each party of this instrument has caused it to be executed on the date indicated below.

WITNESS: ALLEGANY COAL AND LAND COMPANY  
*Mark Ziffod* By *Will Jenkins*  
Will Jenkins

STATE OF MARYLAND, COUNTY OF ALLEGANY, TO WIT:

I HEREBY CERTIFY that on this 7th day of March, 2003, before me, the undersigned officer, a Notary Public in and for the State and County aforesaid, personally appeared Will Jenkins, who acknowledged the foregoing instrument to be his act and deed; and further certified, under the penalties of perjury, that the actual consideration paid or to be paid for the foregoing conveyance, including the amount of any Mortgage or Deed of Trust assumed by the Grantees, is in the total sum of Twenty-one Thousand Four Hundred Fifty Dollars (\$21,450.00)

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

*E. Paul Reake*  
NOTARY PUBLIC  
E. PAUL REAKE  
NOTARY PUBLIC  
ALLEGANY COUNTY, MARYLAND  
My Commission Expires: 7/1/05  
NOTARY PUBLIC  
ALLEGANY COUNTY, MARYLAND  
FIDELITY & SECURITY  
CORPORATION  
FEE \$  
5.00  
20.00  
25.00  
Rept # 11646  
BK # 2683  
11:00 AM

LAW OFFICES  
KEPPERT, McMULLEN,  
PAYE & GETTY  
CUMBERLAND  
MARYLAND

My Commission Expires:

7/1/05



BOOK 714 PAGE 884

ACCEPTED BY:

GRANTEE  
THE CITY OF FROSTBURG

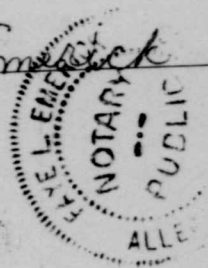
By [Signature]

STATE OF MARYLAND, COUNTY OF ALLEGANY, TO WIT:

I HEREBY CERTIFY that on this 6th day of March, 2003, before me, the undersigned officer, a Notary Public in and for the State and County aforesaid, personally appeared Andrew Fulghum, as City Administrator of The City of Frostburg, who acknowledged the foregoing instrument to be his act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Jaye R. Emrick  
NOTARY PUBLIC



My Commission Expires:

12/01/05

THIS IS TO CERTIFY that the within instrument was prepared by or under the supervision of the undersigned, an attorney duly admitted to practice before the Court of Appeals of Maryland.

[Signature]  
JEFFREY S. GETTY

Agricultural Transfer Tax in the  
Amount of 11.11  
Signature [Signature]

This is to certify that there are no taxes due on the within described property according to the records in the Allegany County Tax & Utility Office.  
Account(s): # 12011407

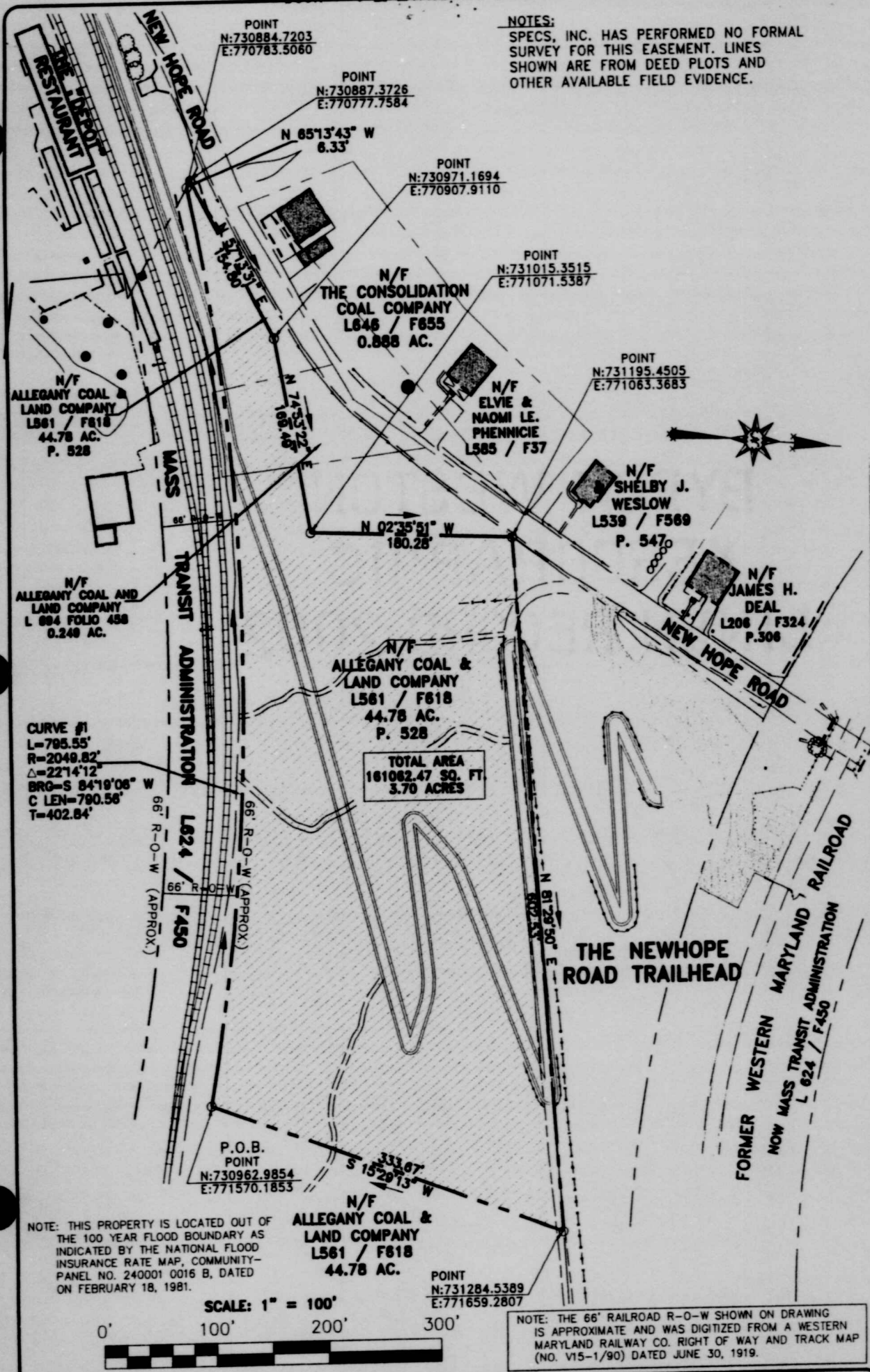
J. Adams 3/31/03  
Allegany County Tax Office Date

RECEIVED FOR TRANSFER  
State Department of  
Assessments & Taxation  
for Allegany County  
[Signature] 3-31-03  
Date

LAW OFFICES  
GEPPERT, McMULLEN,  
PAYE & GETTY  
CUMBERLAND  
MARYLAND



BOOK 714 PAGE 885



**PERMANENT EASEMENT**  
 PREPARED FOR: CITY OF FROSTBURG  
 SITUATE ALONG NEW HOPE ROAD \_\_\_\_\_ ELECTION DISTRICT 12  
 FROSTBURG \_\_\_\_\_ ALLEGANY COUNTY \_\_\_\_\_ MARYLAND

**SPECS** SURVEYING & PROFESSIONAL ENGINEERING CONSULTING SERVICES, INCORPORATED  
 105 South Centre Street - Cumberland, Maryland 21502  
 Tele.No. (301)-777-2510 Fax. No. (301)-777-8419  
 Job No.: 110011-2763 Date: November 5, 2002.  
 CADD FILE: 110011.DWG - Scale: 1" = 100' Drawn By: HWL

ALLEGANY COUNTY CIRCUIT COURT (Land Records) DDL 714, p. 0885, MSA\_CE78\_705. Date available 10/17/2005. Printed 10/06/2022.



BOOK 714 PAGE 886

State of Maryland Land Instrument Intake Sheet
Baltimore City County: ALLEGANY

Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office only.

(Type or Print in Black Ink Only—All Copies Must Be Legible)

1 Type(s) of Instruments
2 Conveyance Type Check Box
3 Tax Exemptions (if Applicable)
Cite or Explain Authority

4 Consideration and Tax Calculations
Consideration Amount
Purchase Price/Consideration \$
Any New Mortgage \$
Balance of Existing Mortgage \$
Other: \$
Full Cash Value \$
Finance Office Use Only
Transfer and Recordation Tax Consideration
Transfer Tax Consideration \$
X ( ) % = \$
Less Exemption Amount - \$
Total Transfer Tax = \$
Recordation Tax Consideration \$
X ( ) per \$500 = \$
TOTAL DUE \$

5 Fees
Amount of Fees Doc. 1 Doc. 2
Recording Charge \$ 20.00 \$
Surcharge \$ 5.00 \$
State Recordation Tax \$ \$
State Transfer Tax \$ \$
County Transfer Tax \$ \$
Other \$ \$
Other \$ \$
Agent:
Tax Bill:
C.B. Credit:
Ag. Tax/Other:

6 Description of Property
SDAT requires submission of all applicable information. A maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).
District Property Tax ID No. (1) Grantor Liber/Folio Map Parcel No. Var. LOG
12 011407 561/618 23 528 (5)
Subdivision Name Lot (3a) Block (3b) Sect/AR(3c) Plat Ref. SqFt/Acreage (4)
Location/Address of Property Being Conveyed (2)
New Hope Road, Frostburg, Maryland
Other Property Identifiers (if applicable) Water Meter Account No.
Residential or Non-Residential Fee Simple or Ground Rent Amount:
Partial Conveyance? Yes No Description/Amt. of SqFt/Acreage Transferred:
If Partial Conveyance, List Improvements Conveyed:

7 Transferred From
Doc. 1 - Grantor(s) Name(s)
Allegany Coal and Land Company
Doc. 2 - Grantor(s) Name(s)
Doc. 1 - Owner(s) of Record, if Different from Grantor(s)
Doc. 2 - Owner(s) of Record, if Different from Grantor(s)

8 Transferred To
Doc. 1 - Grantee(s) Name(s)
The City of Frostburg
Doc. 2 - Grantee(s) Name(s)
New Owner's (Grantee) Mailing Address
37 Broadway, P.O. Box 440, Frostburg, Maryland 21532
Doc. 1 - Additional Names to be Indexed (Optional)
Doc. 2 - Additional Names to be Indexed (Optional)

9 Other Names to Be Indexed
10 Contact/Mail Information
Instrument Submitted By or Contact Person
Name: Jeffrey S. Getty
Firm: Geppert, McMullen, Paye & Getty
Address: 21 Prospect Square, Cumberland, MD Phone: (301) 777-1515
Return to Contact Person
Hold for Pickup
Return Address Provided

11 IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER
Assessment Information
Yes No Will the property being conveyed be the grantee's principal residence?
Yes No Does transfer include personal property? If yes, identify:
Yes No Was property surveyed? If yes, attach copy of survey (if recorded, no copy required).

Assessment Use Only - Do Not Write Below This Line
Terminal Verification Agricultural Verification Whole Part Tran. Process Verification
Transfer Number: Date Received: Deed Reference: Assigned Property No.:
Year 19 19 Geo. Map Sub Block
Land Zoning Grid Plat Lot
Buildings Use Parcel Section Occ. Cd.
Total Town Cd. Ex. St. Ex. Cd.

REMARKS:

Distribution: White - Clerk's Office
Canary - SDAT
Pink - Office of Finance
Goldenrod - Preparer
AOC-CC-300 (6/95)

ALLEGANY COUNTY CIRCUIT COURT (Land Records) DDL 714, p. 0886, MSA\_CE78\_705. Date available 10/17/2005. Printed 10/06/2022.

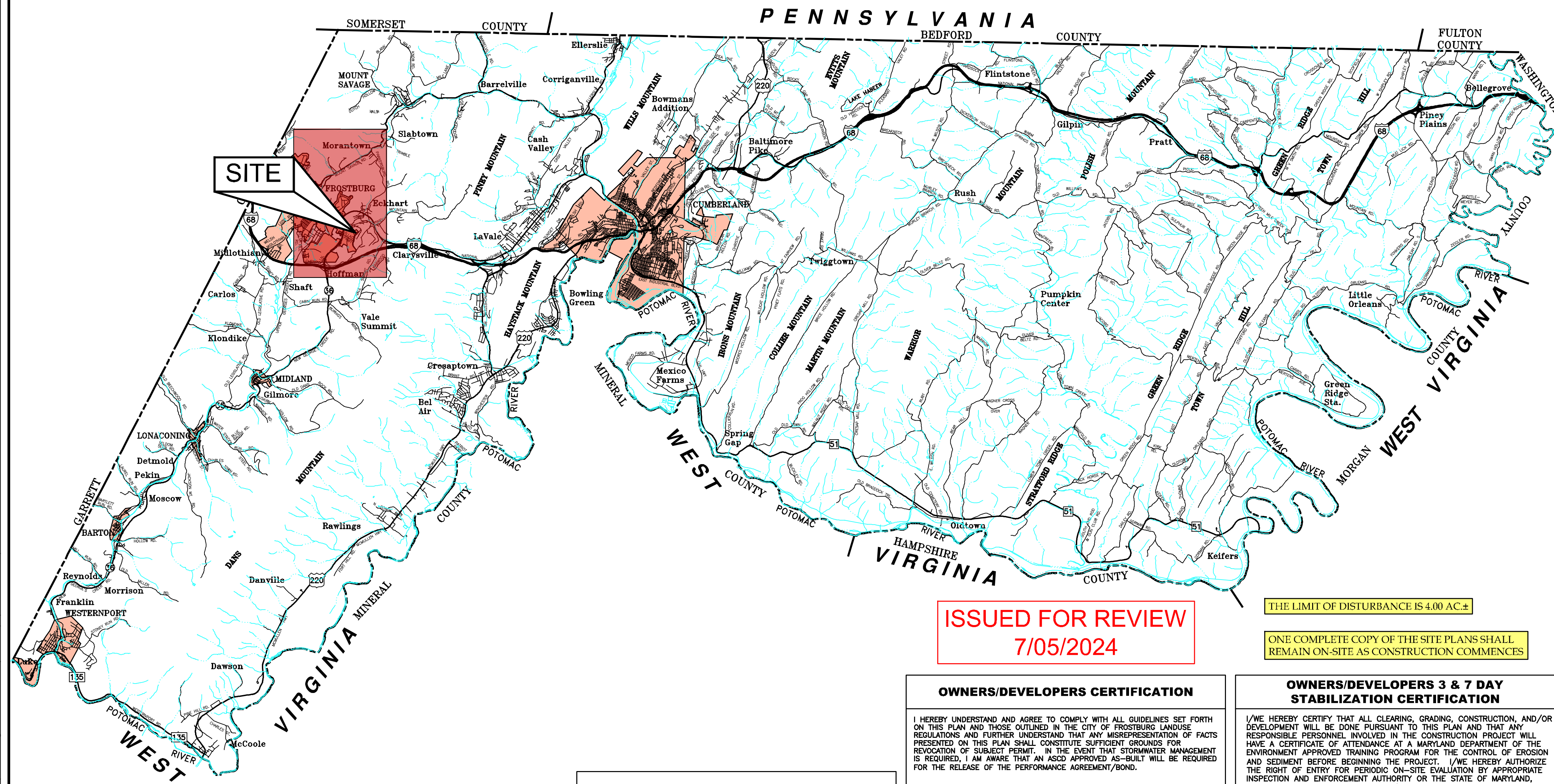


# FINAL PLAN SUBMITTAL - PHASE 2

## FUTURE INDUSTRIAL DEVELOPMENT SITE

### FROSTBURG BUSINESS PARK

#### FROSTBURG, ALLEGANY COUNTY, MARYLAND



**ISSUED FOR REVIEW**  
7/05/2024

THE LIMIT OF DISTURBANCE IS 4.00 AC±

ONE COMPLETE COPY OF THE SITE PLANS SHALL REMAIN ON-SITE AS CONSTRUCTION COMMENCES

**APPROVED FOR SEDIMENT EROSION CONTROL**

BRENT WALKER  
SEDIMENT CONTROL PLANNER  
ALLEGANY SOIL CONSERVATION DISTRICT

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED FOR CONSTRUCTION**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER  
CITY OF FROSTBURG ENGINEERING DIVISION

**OWNERS/DEVELOPERS CERTIFICATION**

I HEREBY UNDERSTAND AND AGREE TO COMPLY WITH ALL GUIDELINES SET FORTH ON THIS PLAN AND THOSE OUTLINED IN THE CITY OF FROSTBURG LANDUSE REGULATIONS AND FURTHER UNDERSTAND THAT ANY MISREPRESENTATION OF FACTS PRESENTED ON THIS PLAN SHALL CONSTITUTE SUFFICIENT GROUNDS FOR REVOCATION OF SUBJECT PERMIT. IN THE EVENT THAT STORMWATER MANAGEMENT IS REQUIRED, I AM AWARE THAT AN ASCD APPROVED AS-BUILT WILL BE REQUIRED FOR THE RELEASE OF THE PERFORMANCE AGREEMENT/BOND.

RICHARD POLICE (DIRECTOR, BUSINESS DEVELOPMENT) DATE \_\_\_\_\_  
CLYM ENVIRONMENTAL SERVICES, LLC.  
1539 TILCO DRIVE, SUITE 200  
FREDERICK, MARYLAND 21704  
(301) 694-6000

**CONSULTANT CERTIFICATION**

I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICABLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ALLEGANY SOIL CONSERVATION DISTRICT AND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

MATTHEW S. BREWER DATE \_\_\_\_\_  
NO. 41424  
BENNETT, BREWER, AND ASSOCIATES  
23 EAST MAIN STREET, SUITE 200  
FROSTBURG, MARYLAND 21532  
(301) 687-0494  
EXPIRATION DATE JANUARY 8, 2026

SEAL \_\_\_\_\_

**OWNERS/DEVELOPERS 3 & 7 DAY STABILIZATION CERTIFICATION**

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I/WE HEREBY AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY APPROPRIATE INSPECTION AND ENFORCEMENT AUTHORITY OR THE STATE OF MARYLAND, DEPARTMENT OF THE ENVIRONMENT. I/WE HEREBY CERTIFY THAT STORMWATER MANAGEMENT FACILITIES WILL BE MAINTAINED IN ACCORDANCE WITH APPROVED PLANS.

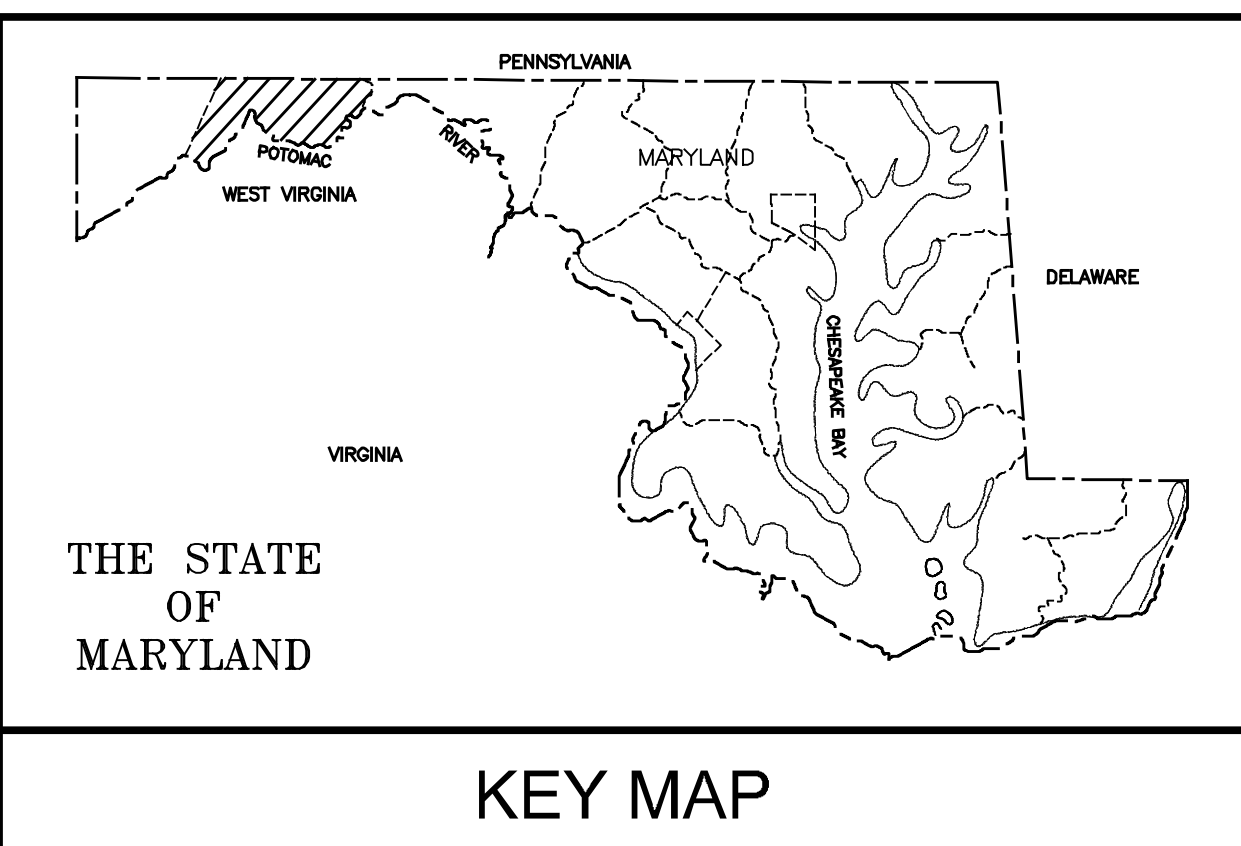
RICHARD POLICE (DIRECTOR, BUSINESS DEVELOPMENT) DATE \_\_\_\_\_  
CLYM ENVIRONMENTAL SERVICES, LLC.  
1539 TILCO DRIVE, SUITE 200  
FREDERICK, MARYLAND 21704  
(301) 694-6000

**PROFESSIONAL ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MARYLAND, LICENSE NO. 41424, EXPIRATION DATE JANUARY 8, 2026.

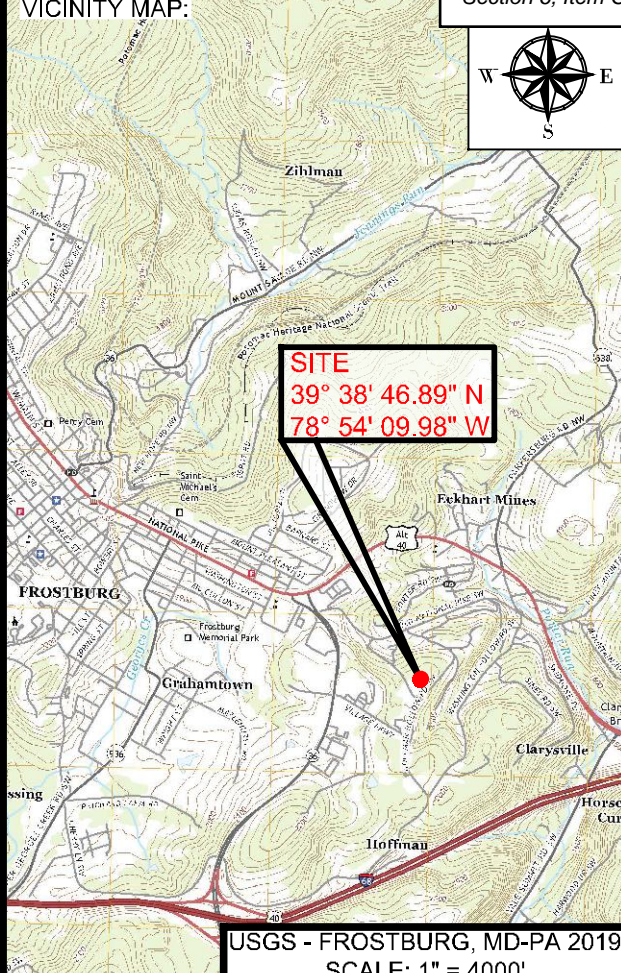
MATTHEW S. BREWER PE DATE \_\_\_\_\_  
P.E. NO. 41424  
BENNETT, BREWER, AND ASSOCIATES  
23 EAST MAIN STREET, SUITE 200  
FROSTBURG, MARYLAND 21532  
(301) 687-0494  
EXPIRATION DATE JANUARY 8, 2026

SEAL \_\_\_\_\_



**INDEX OF DRAWINGS**

C-001	TITLE SHEET
C-050	NATURAL RESOURCES SHEET
C-111	GENERAL NOTES & LEGEND
C-122	PRE-CONSTRUCTION PLAN
C-123	EXISTING SITE / DEMOLITION PLAN
C-124	POST CONSTRUCTION PLAN
C-125	POST CONSTRUCTION DRAINAGE PLAN
C-211	SITE PLAN
C-301	EROSION & SEDIMENT CONTROL PLAN
C-321	EROSION & SEDIMENT CONTROL DETAILS
C-322	EROSION & SEDIMENT CONTROL DETAILS
C-323	EROSION & SEDIMENT CONTROL DETAILS & NOTES
C-324	MDE STANDARD SEEDING & MULCHING DETAILS & NOTES
C-325	MDE STANDARD EROSION & SEDIMENT DETAILS & NOTES
C-326	VEGETATED BMP INSTALLATION & MAINTENANCE NOTES
C-327	EARTHWORK & EARTH MOVING SPECIFICATIONS
C-401	MICROBASIN 1 & 2 & STORM DRAIN DETAILS
C-402	MICROBASIN 3 & 4 & STORM DRAIN DETAILS
C-403	MICROBASIN 5 & STORM DRAIN DETAILS
C-404	MICROBASIN 5 & STORM DRAIN DETAILS
C-405	STORM DRAIN DETAILS
C-406	MIRCOCASIN & STORM DRAIN DETAILS
C-421	SANITARY PROFILE & DETAILS
C-422	SANITARY DETAILS
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C-442	WATER DETAILS
C-443	WATER DETAILS
C-551	GENERAL DETAILS
C-552	GENERAL DETAILS
C-553	GENERAL DETAILS
C-554	GENERAL DETAILS
C-601	SOIL BORINGS
C-602	SOIL BORINGS
C-603	SOIL BORINGS
C-604	SOIL BORINGS



PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
**CLYM**  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704

**811**  
Know what's below.  
Call before you dig.

**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200 Frostburg, Maryland 21532  
Phone (301)-687-0494 Fax (301)-687-0495  
www.bbasurevey.com

**REVISIONS**

NO.	BY	DATE	DESCRIPTION
-	-	-	-
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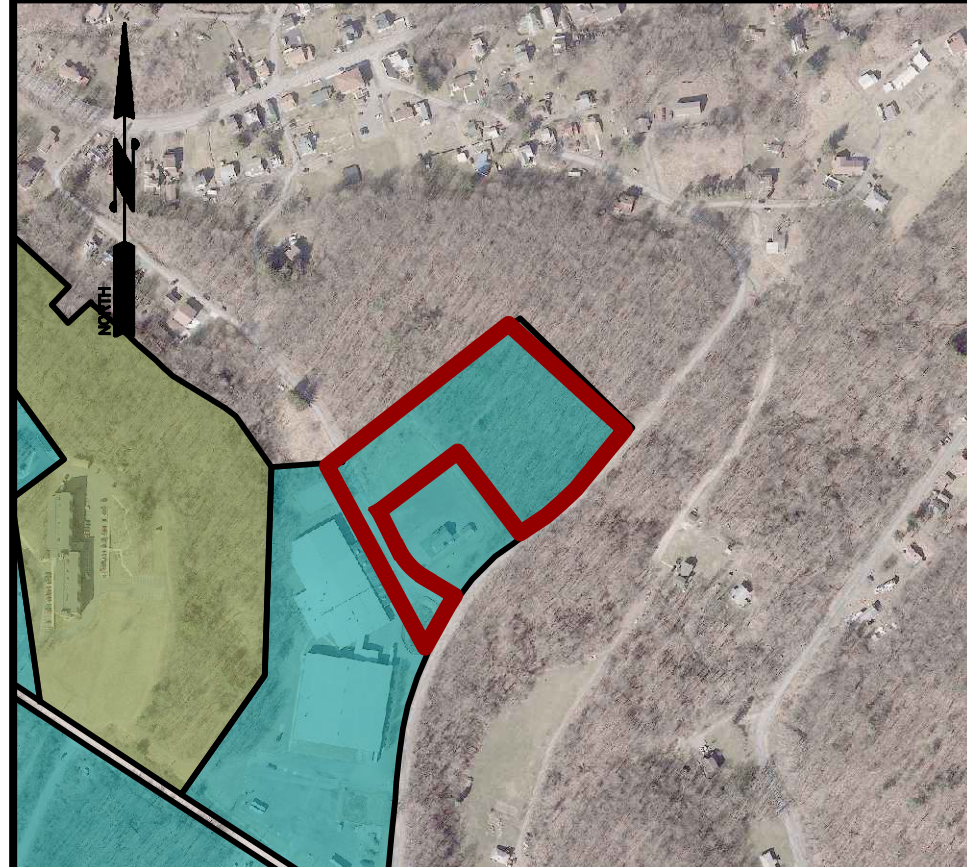
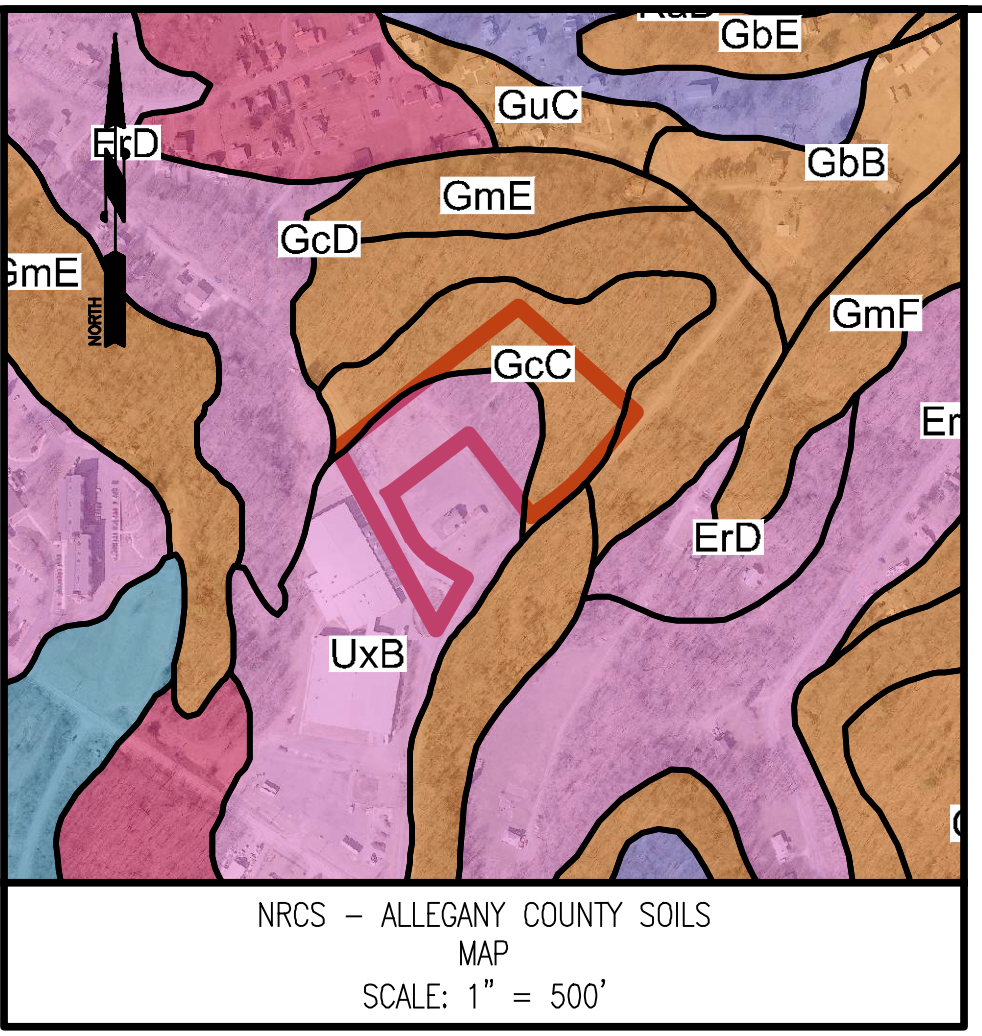
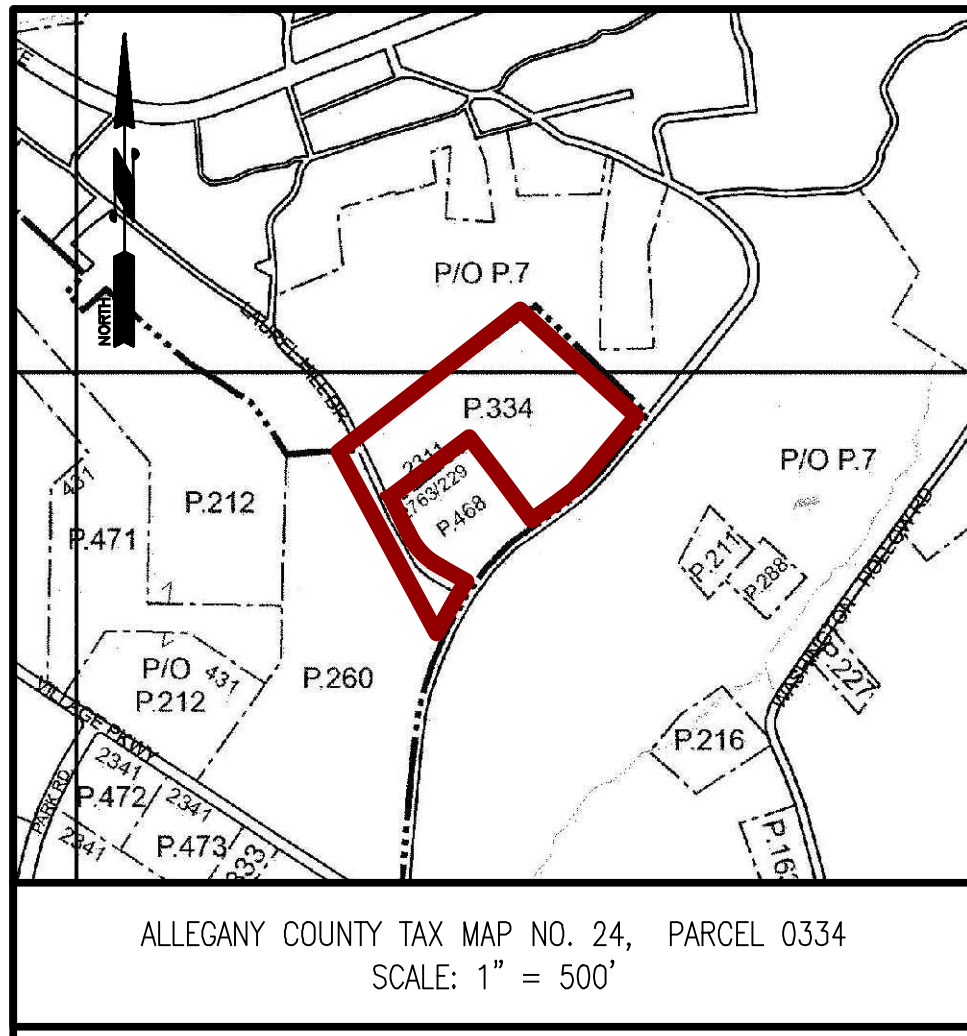
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CHECKED: MB SCALE: AS NOTED  
APPROVED: MB CRD FILE: 23088

BBA# 2023088  
SHEET TITLE:  
**TITLE SHEET**  
IFR: 7/05/2024  
SHEET #:  
C-001

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Environmental - Design Services\PRODUCTION\C-001.dwg PLOT DATE/TIME: 7/4/2024 - 21:14pm LAST SAVE BY: WORKLOS

NOTE - THIS PLAN REPRESENTS PHASE 2 OF THE CIVIL WORK ASSOCIATED WITH THIS PROJECT. THIS DESIGN FURTHER ASSUMES THAT PHASE 1 (SITE PREPARATION) IS COMPLETE IN ACCORDANCE WITH THE PHASE 1 SITE PREPARATION PLAN PREPARED BY BENNETT, BREWER & ASSOCIATES DATED 5/17/2024, HEREBY INCORPORATED BY REFERENCE.





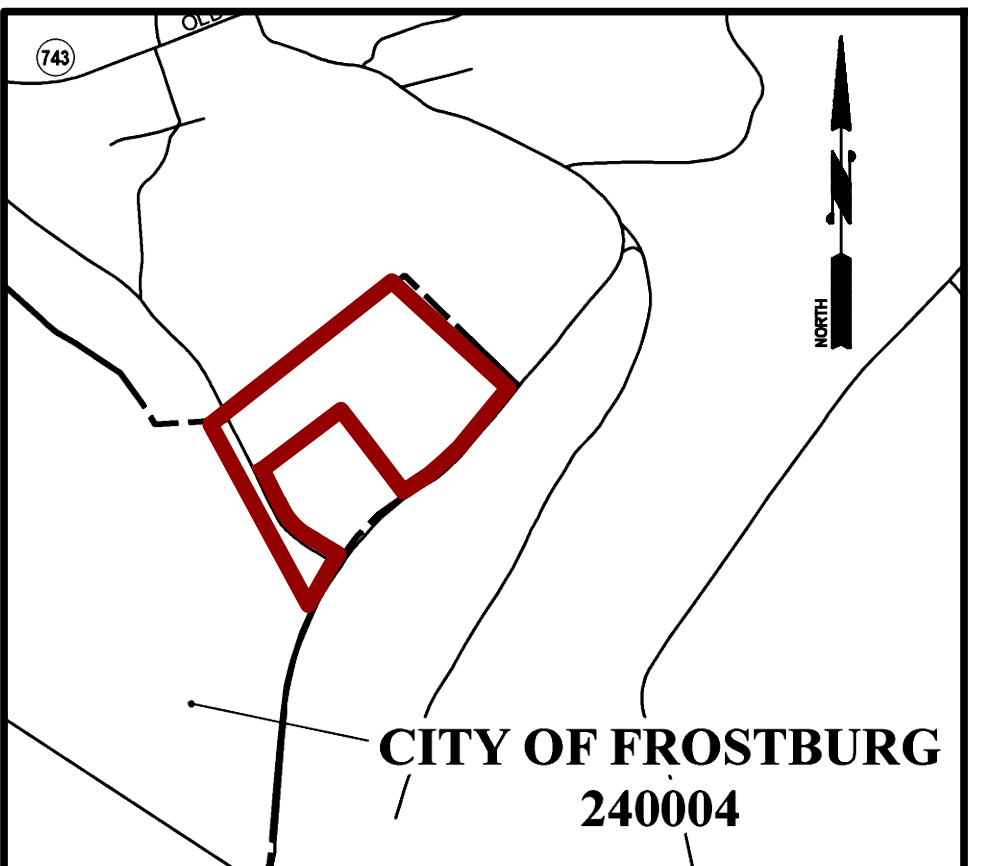
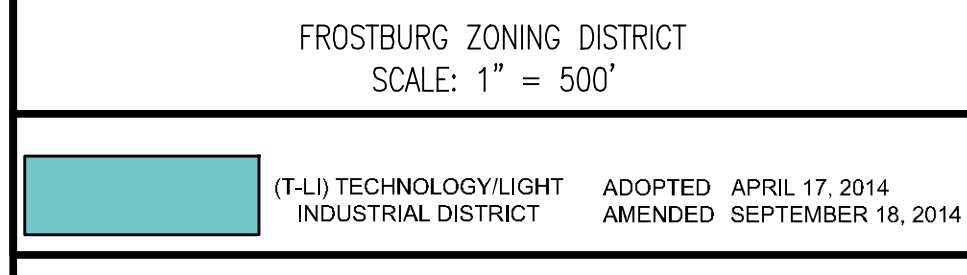
SOILS TABLE

MAP SYMBOL	MAP UNIT NAME	HYDROLOGIC RATING	K FACTOR
GcC	Gilpin channery silt loam, 8 to 15 percent slopes, very stony	C	N/A
GcD	Gilpin channery silt loam, 15 to 25 percent slopes, very stony	C	N/A
UxB	Urban land, 0 to 8 percent slopes	D	N/A

Soil Hydrologic Rating - N/A

Soil Hydrologic Rating - C

Soil Hydrologic Rating - D



FEMA FIRM MAP 24001C0019E  
SCALE: 1" = 500'

FEMA INFORMATION

FEMA FIRM PANEL NUMBER	DATE	ZONE
24001C0019E	APRIL 3, 2020	X

THE ENTIRE PROJECT LIES WITHIN FLOOD ZONE X  
AREA OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN

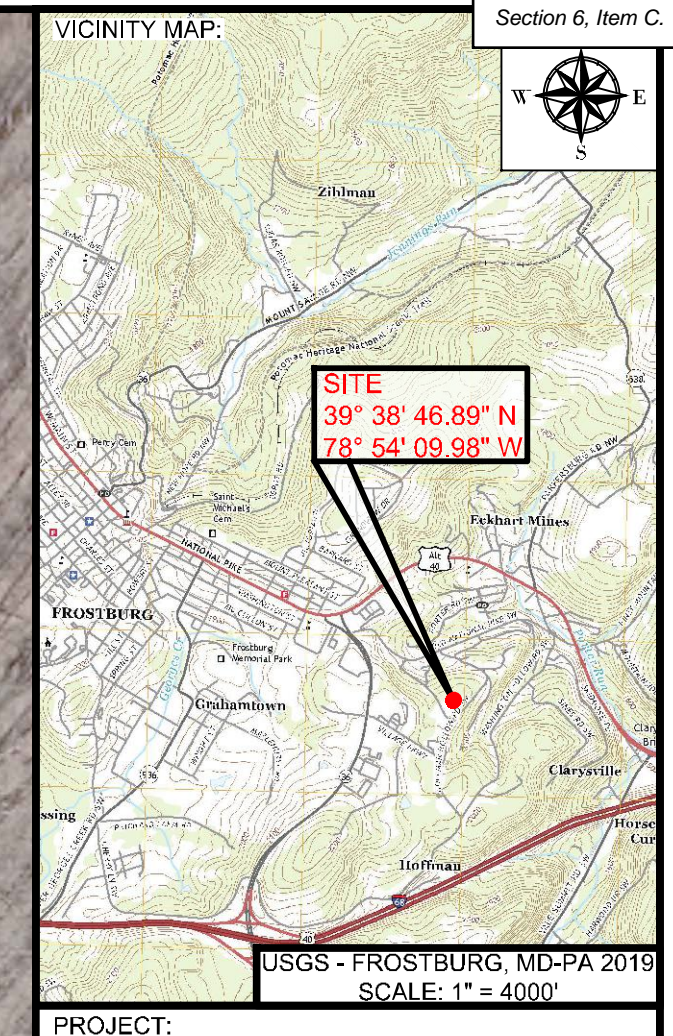
NOTE:

- THERE ARE NO TIER II WATERS WITHIN THE PROJECT LIMITS AS PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S WEBSITE: [www.mde.state.md.us/programs/Water/TMDL/Water%20Quality%20Standards/Pages/HighQualityWatersMap.aspx](http://www.mde.state.md.us/programs/Water/TMDL/Water%20Quality%20Standards/Pages/HighQualityWatersMap.aspx)
- THERE WERE NO WETLAND AREAS OBSERVED WITHIN THE PROJECT LIMITS.

SITE COORDINATES

MARYLAND STATE PLANE COORDINATES (NAD83 US FEET)  
NORTH: 726596.44  
EAST: 776524.35

GEOGRAPHIC COORDINATES (DEGREES, MINUTES, SECONDS)  
LATITUDE: 39° 38' 46.89" N  
LONGITUDE: 78° 54' 09.98" W



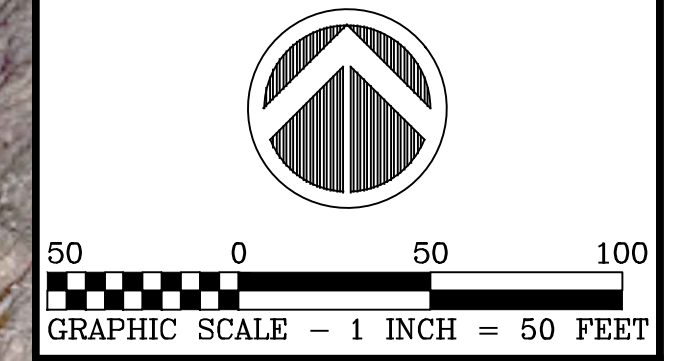
PROJECT:

**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:

CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704

MARYLAND COORDINATE SYSTEM NAD 83 FEET / NAD 83



Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, Maryland 21532  
Phone (301)-687-5494 Fax (301)-687-5495  
www.bbasurevey.com

REVISIONS

NO.	BY	DATE	DESCRIPTION
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DRAWN: BBA DATE: 7/05/2024  
CHECKED: MB SCALE: 1" = 50'  
APPROVED: MB CRD FILE: 23088

BBA# 2023088

SHEET TITLE:

**NATURAL RESOURCES SHEET**

**IFR: 7/05/2024**

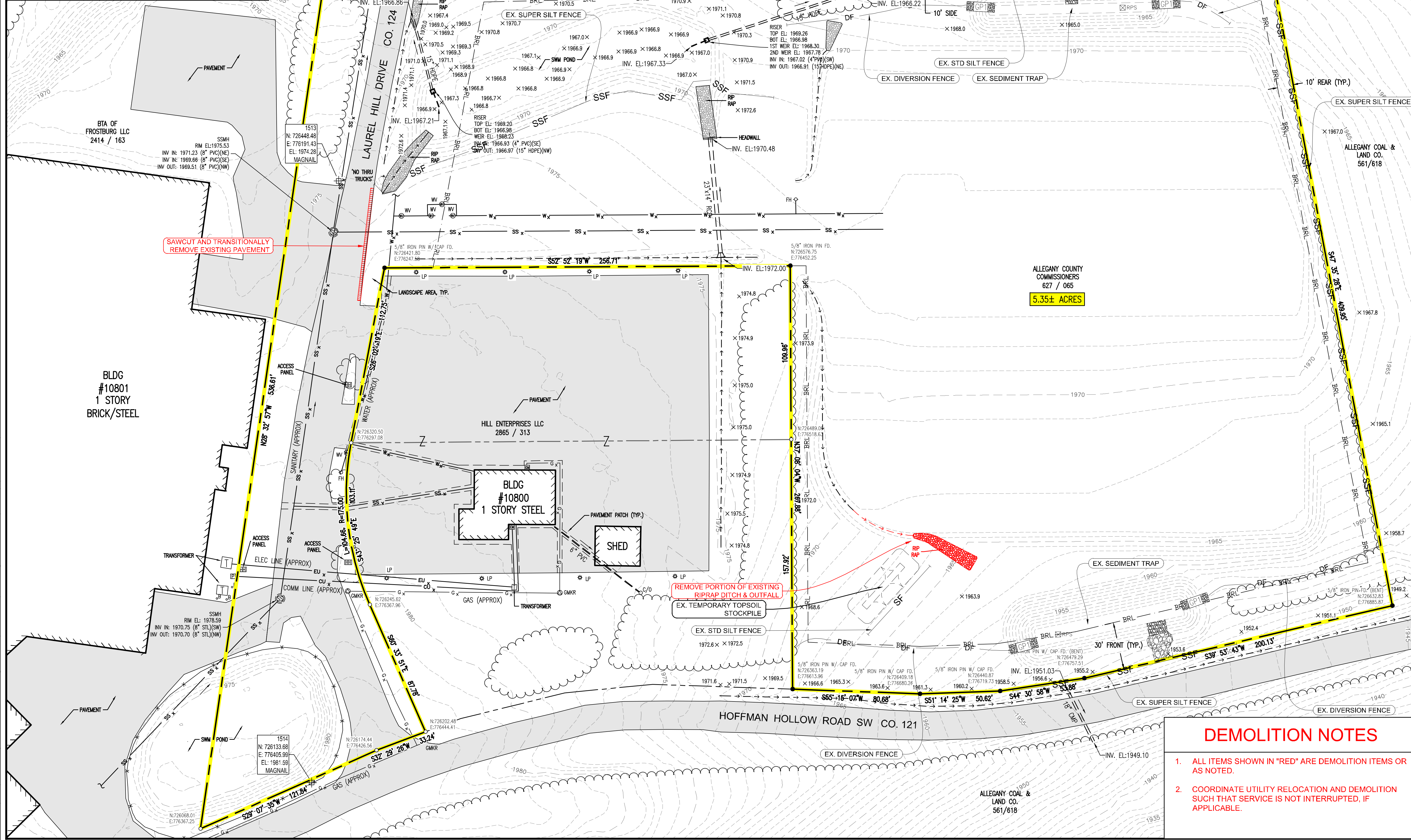
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**C-050**

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Services\PRODUCTION\C-050.dwg PLOT DATE/TIME: 7/4/2024 - 1:30pm LAST SAVE BY: work106



MINIMUM LOT AREA	6,000 SQ. FT.
MINIMUM FRONT YARD	30 FT.
MINIMUM REAR YARD	10 FT.
MINIMUM SIDE YARD	ADJOINING A 'C' DISTRICT: NONE, OR IF SIDE YARD PROVIDED A MINIMUM OF 10 FT.; ADJOINING A 'R' DISTRICT: 10 FT.
MINIMUM LOT WIDTH	STREET LINE: 50 FT.; FRONT BUILDING LINE: 50 FT.
MAXIMUM LOT COVERAGE	80%
MAXIMUM HEIGHT	4 STORIES / 50 FEET



**SEC. 3.11. - "T-LI" TECHNOLOGY/LIGHT INDUSTRIAL DISTRICT.**

**A. PURPOSE.** TO PROVIDE FOR COMMERCIAL AND LIGHT INDUSTRIAL USES WHICH ARE COMPATIBLE WITH RESIDENTIAL, COMMERCIAL AND INSTITUTIONAL USES IN ADJACENT AREAS OF THE CITY. THIS DISTRICT IS DESIGNED TO ACCOMMODATE PLANNED BUSINESS PARKS OR SUBSTANTIAL TRACTS OF LAND SUITABLE FOR BUSINESS AND INDUSTRY WITH A FOCUS ON THE TECHNOLOGY SECTOR. THIS DISTRICT SHALL PROVIDE FOR FLEXIBILITY, BUT REQUIRES WELL-PLANNED ACCESS AND DESIGN.

**B. PRINCIPAL PERMITTED USES AND STRUCTURES.** THE FOLLOWING PRINCIPAL USES AND STRUCTURES ARE PERMITTED IN THE "T-LI" DISTRICT:

- (1) GROUP HOMES CONSISTENT WITH SECTION 8.5.
- (2) TREATMENT CENTERS.
- (3) ADULT DAY CARE CENTERS.
- (4) ASSISTED LIVING CENTERS AND NURSING HOMES.
- (5) COLLEGES, TRADE OR HOBBY SCHOOLS.
- (6) HOSPICES AND HOSPITALS.
- (7) BUILDING MATERIAL SALES YARD, INCLUDING THE SALE OF ROCK, SAND, GRAVEL, AND THE LIKE, AND TRADEPERSONS EQUIPMENT STORAGE YARD OR HEADQUARTERS.
- (8) CONTRACTOR OFFICES.
- (9) FITNESS CENTERS.

**C. SPECIAL EXCEPTIONS.** THE FOLLOWING PRINCIPAL USES ARE PERMITTED AS SPECIAL EXCEPTIONS AFTER APPROVAL BY THE BOARD OF ZONING APPEALS:

- (1) ADULT USES.
- (2) GAMBLING ESTABLISHMENTS.
- (3) BODY ART STUDIOS.

**(10) MEDICAL LABORATORIES.**

**(11) WHOLESALE BUSINESS, WAREHOUSE, TRUCKING TERMINALS, AND SIMILAR NON-PROCESSING STORAGE AND DISTRIBUTION USES, BUT NOT INCLUDING PROHIBITED USES.**

**(12) MANUFACTURING, COMPOUNDING, PROCESSING, OR PACKAGING OF FOOD AND FOOD PRODUCTS, AND COSMETICS, TOILETRIES, AND PHARMACEUTICALS.**

**(13) MANUFACTURING, COMPOUNDING OR ASSEMBLING OF ARTICLES USING THE FOLLOWING OR SIMILAR PREPARED MATERIALS: BONE OR SHELL, CELLOPHANE, FUR, GLASS, LEATHER, PLASTIC, PRECIOUS OR SEMIPRECIOUS METALS OR STONES, RUBBER, TEXTILES OR CLOTH PRODUCTS, TOBACCO, WOOD OR WOOD PRODUCTS.**(14)

**(14) MANUFACTURING OF CERAMIC OR GLASS PRODUCTS.**(15)

**(15) MANUFACTURING OR ASSEMBLING FROM PREPARED MATERIALS OF THE FOLLOWING OR SIMILAR ITEMS: MUSICAL INSTRUMENTS, CLOCKS OR WATCHES, TOYS OR NOVELTIES, ELECTRICAL APPLIANCES, SCIENTIFIC OR ELECTRONIC DEVICES, LIGHT SHEET METAL PRODUCTS, MACHINE TOOL, OFFICE EQUIPMENT.**(16)

**(16) INCIDENTAL SALES OF PRODUCTS MANUFACTURING OR STORED ON THE PREMISES.**(17)

**(17) TECHNOLOGICAL OR COMMUNICATION BASED ENTERPRISES.**(18)

**(18) AGRICULTURE, LIMITED TO CROPLAND, NURSERIES AND GREENHOUSES.**

**(4) WIND ENERGY SYSTEMS** COMPLYING WITH REGULATIONS FOUND IN SECTION 8.8.

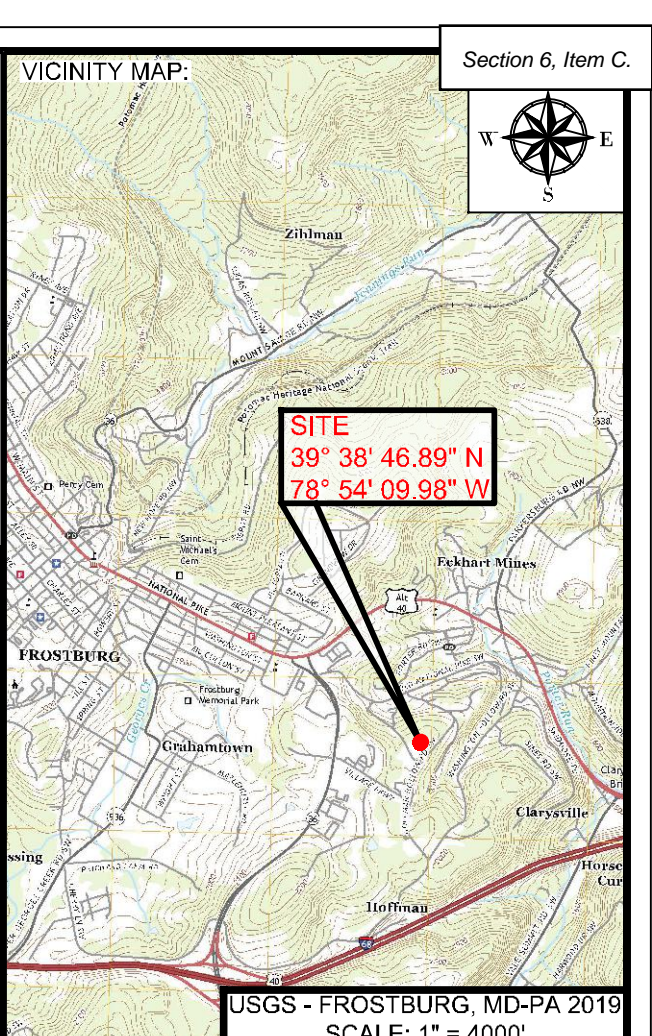
**(5) SELF-STORAGE FACILITIES,** SUBJECT TO THE PROVISIONS SET FORTH IN SECTION 8.9.

**(6) A USE OR STRUCTURE** THAT THE APPLICANT PROVES TO THE SATISFACTION OF THE BOARD OF ZONING APPEALS TO BE OF THE SAME GENERAL CHARACTER AS THE ABOVE PERMITTED USES AND SPECIAL EXCEPTION USES, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1.18(C), BUT NOT INCLUDING USES THAT ARE SPECIFICALLY PROHIBITED IN THIS DISTRICT.

**D. ACCESSORY USES AND STRUCTURES.** THE FOLLOWING ACCESSORY USES AND STRUCTURES SHALL BE PERMITTED IN THE "T-LI" DISTRICT:

- (1) TEMPORARY BUILDINGS AND STRUCTURES IN ACCORDANCE WITH SECTION 6.6.
- (2) SIGNS IN ACCORDANCE WITH PART 7 OF THIS ORDINANCE.
- (3) ACCESSORY USES AND STRUCTURES THAT ARE CLEARLY CUSTOMARILY ACCESSORY AND DIRECTLY INCIDENTAL TO THE PERMITTED PRINCIPAL USES AND STRUCTURES.

**E. LOT, YARD AND HEIGHT REQUIREMENTS:** THE FOLLOWING MINIMUM REQUIREMENTS SHALL APPLY TO ALL USES AND STRUCTURES IN THE "T-LI" DISTRICT, EXCEPT AS SUPERSEDED BY MORE RESTRICTIVE PROVISIONS OF THIS ORDINANCE.



**PROJECT:**

**FINAL PLAN SUBMITTAL**

**FUTURE INDUSTRIAL DEVELOPMENT SITE**

**FROSTBURG BUSINESS PARK**

**FROSTBURG**

**ZONING: T-LI**

**ELECTION DISTRICT: 24-000**

**ALLEGANY COUNTY**

**MARYLAND**

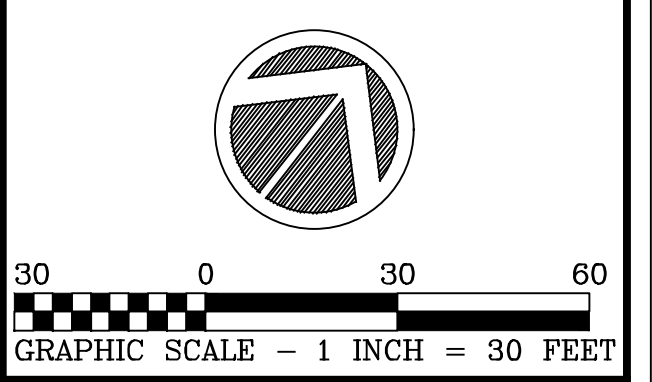
**CLIENT:**

**CLYM ENVIRONMENTAL SERVICES, LLC**

1539 TILCO DRIVE

FREDERICK, MARYLAND 21704

MARYLAND COORDINATE SYSTEM NAD 83 FEET / NAD 88



**bba**

Surveyors | Engineers | Planners

Bennett Brewer & Associates, LLC

23 East Main Street, Suite 200, Frostburg, Maryland 21532

Phone (301)-687-0494, Fax (301)-687-0495, www.bbasurevey.com

REVISIONS			
NO.	BY	DATE	DESCRIPTION
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-	-	-	-
-	-	-	-
-	-	-	-

**DRAWN:** BBA **DATE:** 7/05/2024

**CHECKED:** MB **SCALE:** 1" = 30'

**APPROVED:** MB **CRD FILE:** 23088

**BBA# 2023088**

**SHEET TITLE:**

**EXISTING SITE / DEMOLITION PLAN**

**IFR: 7/05/2024**

**SHEET #:**

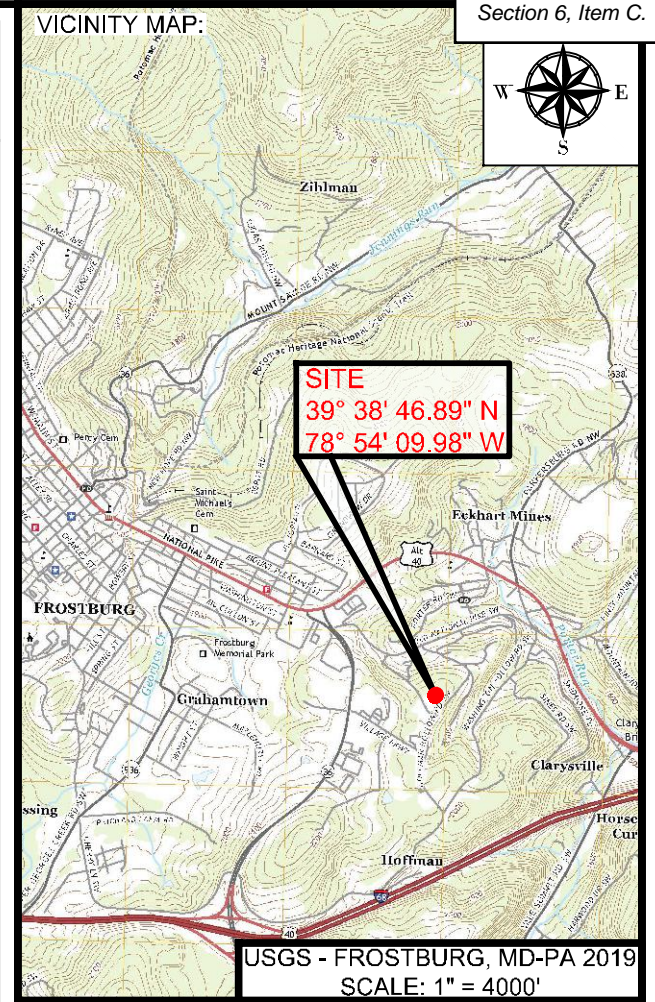
**C-100**

**DEMOLITION NOTES**

1. ALL ITEMS SHOWN IN "RED" ARE DEMOLITION ITEMS OR AS NOTED.
2. COORDINATE UTILITY RELOCATION AND DEMOLITION SUCH THAT SERVICE IS NOT INTERRUPTED, IF APPLICABLE.

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Environmental - Design Services\PRODUCTION\C-100.dwg PLOT DATE/TIME: 7/4/2024 1:13 PM LAST SAVE BY: work\06





USGS - FROSTBURG, MD-PA 2019 SCALE: 1" = 4000'

PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY MARYLAND

CLIENT:  
  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200 Frostburg, Maryland 21532  
Phone (301)-687-0494 Fax (301)-687-0495  
www.bbasurevey.com

Table with 2 columns: NO., BY, DATE, DESCRIPTION. It is currently empty.

Table with 2 columns: DRAWN, CHECKED, APPROVED, DATE, SCALE, CRD FILE. Values: BBA, MB, MB, 7/05/2024, AS NOTED, 23088.

BBA# 2023088  
SHEET TITLE:  
**GENERAL NOTES & LEGENDS**  
IFR: 7/05/2024  
SHEET #:  
**C-111**

### CONTACT LIST

ALLEGANY COUNTY LAND DEVELOPMENT SERVICES  
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701 KELLY ROAD, SUITE 300  
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FAX - 301-777-2001  
CONTACT PERSON - JERROD COOK

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CONTACT PERSON - SLICK ENSMINGER, AREA SUPERVISOR

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ALLEGANY COUNTY DIVISION OF PERMITS AND COMPLIANCE  
ALLEGANY COUNTY OFFICE COMPLEX  
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CUMBERLAND, MARYLAND 21501  
PHONE - 301-777-5951  
FAX - 301-777-2001  
CONTACT PERSON - JAMES A. SQUIRES, DIVISION CHIEF

CITY OF FROSTBURG ENGINEER  
35 BROADWAY  
FROSTBURG, MARYLAND 21532  
PHONE - 301-689-5111  
FAX - 301-689-2640  
CONTACT PERSON - HAYDEN LINDSEY, DIRECTOR OF PUBLIC WORKS

CITY OF FROSTBURG WATER DEPARTMENT  
PHONE - 301-689-5855  
CONTACT PERSONS - JIM WILLIAMS, SUPERVISOR

CITY OF FROSTBURG STREET & SEWER DEPARTMENT  
PHONE - 301-689-6111  
CONTACT PERSON - SHANE ELLIOT, SUPERVISOR

COLUMBIA GAS OF MARYLAND, INC.  
1000 INDUSTRIAL BOULEVARD  
CUMBERLAND, MARYLAND 21502  
PHONE - 301-784-3361  
FAX - 301-759-9331  
CONTACT PERSON - GERALD KREIGER, AREA PLANT SUPERVISOR

POTOMAC EDISON  
700 FOURTH STREET @ SOMERVILLE AVENUE  
CUMBERLAND, MARYLAND 21502  
PHONE - 301-759-5710  
FAX - 301-759-5753  
CONTACT PERSON - MS. SUSAN J. MCLEOD, DISTRIBUTION TECH. III, DESIGN SERVICES

VERIZON (PHONE)  
425 BLACKISTON AVENUE  
CUMBERLAND, MD 21502  
PHONE - 301-759-1846  
CONTACT PERSON - GARY H. BENNETT, ENGINEERING ASSISTANT  
PHONE - 301-334-9940  
CONTACT PERSON - GENE BROWNING, I&M SUPERVISOR

COMCAST  
244 LOCKER LANE / P.O. BOX 66  
GRANTSVILLE, MARYLAND 21536  
PHONE - 301-895-4375  
CELL - 304-692-8522  
EMAIL ADDRESS: BARRY\_SAVAGE@CABLE.COMCAST.COM  
CONTACT PERSON - HEAD TECHNICIAN - BARRY SAVAGE

MISS UTILITY (1-800-257-7777)  
HANOVER, MARYLAND 21076

### EXISTING FEATURES LEGEND

	PROPERTY BOUNDARY
	DEED PARCEL BOUNDARY
	BUILDING SETBACK LINE
	ADJACENT PROPERTY BOUNDARY
	CORNER FOUND (AS NOTED)
	CALCULATED CORNER
	INDEX CONTOUR (5' INTERVAL)
	INTERMEDIATE CONTOUR
	SPOT ELEVATION
	DITCH LINE
	BUILDING
	FENCE
	TREE LINE
	SIGN
	BOLLARD
	LIGHT POLE
	ASPHALT
	STORM DRAIN LINE
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	CLEANOUT
	WATER LINE
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	GAS LINE
	GAS MARKER
	GAS METER
	UNDERGROUND ELECTRIC LINE
	ELECTRIC METER
	TRANSFORMER
	UNDERGROUND COMMUNICATION LINE
	COMMUNICATION PEDESTAL
	COMMUNICATION HANDHOLE
	CONTROL POINT

### PROPOSED FEATURES LEGEND

	INDEX CONTOUR (5' INTERVAL)
	INTERMEDIATE CONTOUR (1' INTERVAL)
	SPOT ELEVATION
	DITCH / SWALE
	SANITARY SEWER LINE (T.A.N.)
	SANITARY CLEANOUT
	POTABLE WATER LINE
	WATER VALVE
	NATURAL GAS SERVICE
	UNDERGROUND COMMUNICATION SERVICE
	UNDERGROUND ELECTRIC SERVICE
	RIP RAP STONE APRON
	STORMWATER LINE (T.A.N.)
	STORM INLET (T.A.N.)
	STORM INLET LABEL
	STORM MANHOLE (T.A.N.)
	STORM MANHOLE LABEL
	STORM/SANITARY PIPE FLOW DIRECTION
	STORM CLEANOUT
	BMP AREA
	NEW BUILDING
	CONCRETE SIDEWALK
	HMA PAVING
	CONCRETE PAVING
	SIGN
	PARKING

### DEMOLITION NOTES

- ALL DEBRIS, VEGETATION, AND OTHER MATERIALS NOTED "TO BE REMOVED" SHALL BE TAKEN FROM THE SITE IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF SAID MATERIALS IN AN APPROVED MANNER.
- CONTRACTOR SHALL NOTIFY ENTITY REPRESENTATIVES AT LEAST 72 HOURS PRIOR TO UTILITY DEMOLITION. CONTRACTOR SHALL VERIFY SALVAGE RIGHTS FOR VALVES, INLET GRATES, MANHOLE COVERS, ETC. WITH THE APPROPRIATE PARTY.

### COMMON ABBREVIATIONS

AASHTO = AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	CO = CLEANOUT	HGL = HYDRAULIC GRADE LINE	O.C. or C.C. = ON CENTER or CENTER TO CENTER	PVT = POINT OF VERTICAL TANGENT	STD = STANDARD
ADS = ADVANCED DRAINAGE SYSTEM	CONC = CONCRETE	HDPE = HIGH DENSITY POLYETHYLENE	PC = POINT OF CURVE	R.O.W. = RIGHT OF WAY	S.Y. = SQUARE YARDS
ASTM = AMERICAN SOCIETY FOR TESTING & MATERIAL	DA = DRAINAGE AREA	INV = INVERT	PCC = POINT OF COMPOUND CURVE	RX = REMOVE EXISTING	T.A.N. = TYPE AS NOTED
AWWA = AMERICAN WATER WORKS ASSOCIATION	DIA = DIAMETER	L.F. = LINEAR FEET	PGL = PROPOSED GRADE LINE	SAN = SANITARY	TEMP = TEMPORARY
BLDG = BUILDING	DIP = DUCTILE IRON PIPE	MAX = MAXIMUM	PRC = POINT OF REVERSE CURVE	SCE = STABILIZED CONSTRUCTION ENTRANCE	TG = TOP OF GRATE
BOT = BOTTOM	EGL = EXISTING GRADE LINE	MIN = MINIMUM	PT = POINT OF TANGENT	SDMH = STORM DRAIN MANHOLE	(TYP.) = TYPICAL
CJ = CONTRACTION JOINT	EJ = EXPANSION JOINT	NO = NUMBER	PVC = POINT OF VERTICAL CURVE	SDR = STANDARD DIMENSION RATIO	VCF = VITRIFIED CLAY PIPE
CL = CENTERLINE	EX = EXISTING	N.T.C. = NOT THIS CONTRACT	PVC = POLYVINYL CHLORIDE	S.F. = SQUARE FEET	VIF = VERIFY IN FIELD
CMP = CORRUGATED METAL PIPE	FH = FIRE HYDRANT	N.T.S. = NOT TO SCALE	PVI = POINT OF VERTICAL INTERSECTION	SSMH = SANITARY MANHOLE	WM = WATER METER
	GV = GAS VALVE	O.A.E. = OR APPROVED EQUAL		STA = STATION	WV = WATER VALVE

### SITE NOTES

- THIS SITE LIES WITHIN FLOOD ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON FIRM PANEL NO. 24001C00191E, DATED APRIL 3.
- THIS PROPERTY IS LOCATED ON TAX MAP NO. 24, PARCEL 0334.
- ALL HORIZONTAL AND VERTICAL DATA PRESENTED HEREON IS A COMPOLATION OF FIELD RUN SURVEY (BY BBA) AND GIS DATA PROVIDED BY ALLEGANY COUNTY DEPARTMENT OF PLANNING AND ZONING.
- ALL VERTICAL DATA PRESENTED HEREON ARE REFERENCED TO NAVD 88.
- ALL HORIZONTAL DATA PRESENTED HEREON ARE REFERENCED TO THE NAD 2011 MARYLAND STATE PLANE ZONE, US FOOT.
- CONTOUR DATA SHOWN HEREON DERIVED FROM THE FOLLOWING:
  - FIELD RUN SURVEY PERFORMED BY BENNETT, BREWER, AND ASSOCIATES.
  - 2012 DEM FILES PROVIDED BY STATE OF MARYLAND MAPPING & GIS DATA PORTAL.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, THE VARIOUS UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND ALSO FOR FIELD LOCATION.
- CITY OF FROSTBURG ZONING: "T-LI" TECHNOLOGY/LIGHT INDUSTRIAL DISTRICT.

### GENERAL NOTES

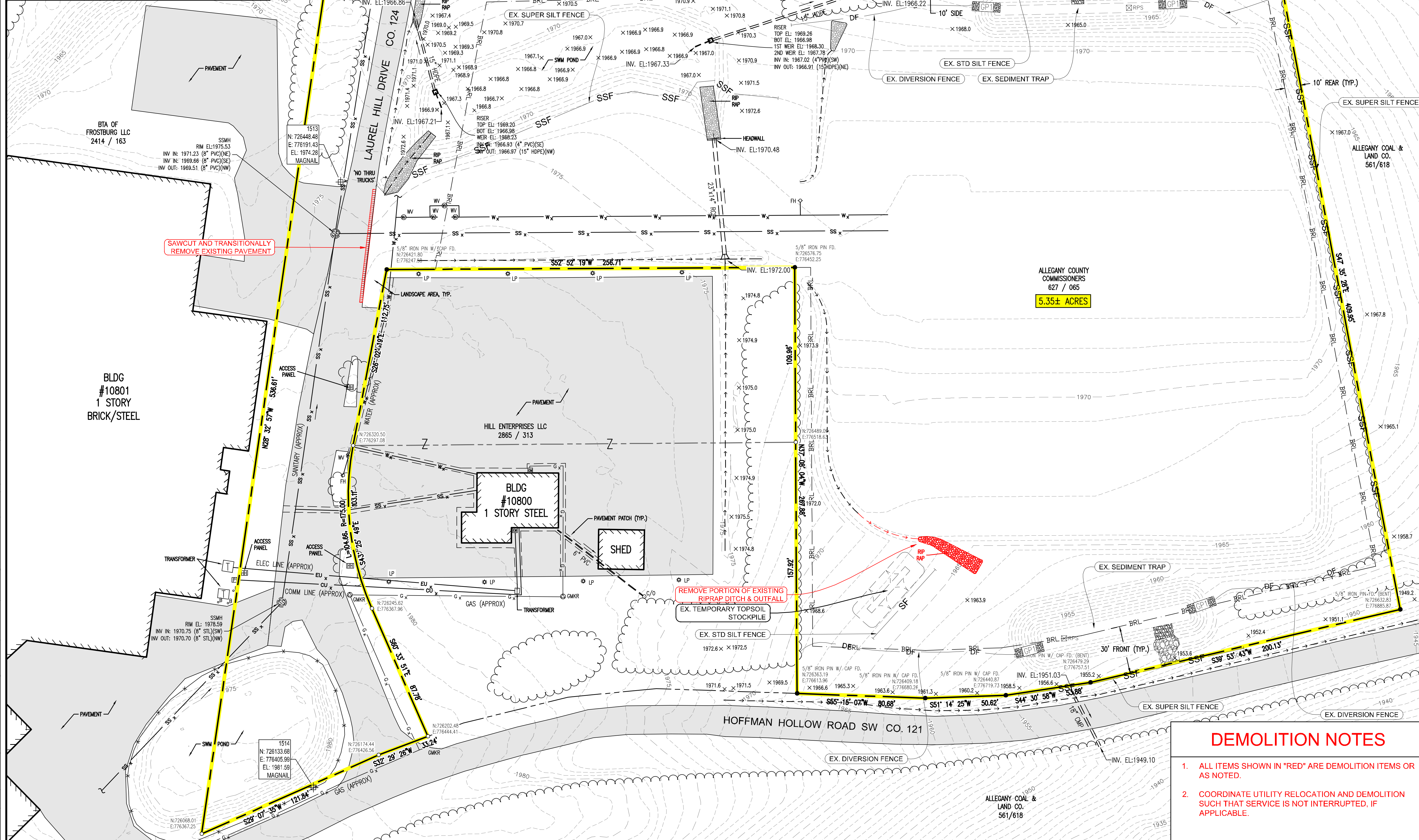
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL THE UTILITIES, SHOWN HEREON OR OTHERWISE, AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO THE UTILITIES. IT IS REQUIRED THAT "MISS UTILITY" (1-800-257-7777) AND ALL APPLICABLE UTILITY COMPANIES BE CONTACTED AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF WORK.
- JOB SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OFFICE OF THE ENGINEER AND THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIP OF FINISHED GRADES TO EXISTING PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- ALL ELECTRIC, PHONE, CABLE, AND GAS UTILITIES (IF ANY) WITHIN THE SCOPE OF WORK SHALL BE REMOVED, REPLACED, ADJUSTED TO GRADE OR RELOCATED BY OTHERS. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH THE APPROPRIATE ENTITY REPRESENTATIVE.
- ALL POTABLE WATER AND SANITARY SEWER ITEMS TO REMAIN SHALL BE ADJUSTED TO FINAL GRADE BY THE CONTRACTOR.
- THE CONTRACTOR IS TO PROTECT ALL MONUMENTATION FROM DISTURBANCE OR DAMAGE DURING CONSTRUCTION. THIS SHALL INCLUDE ALL CONCRETE MONUMENTS, PROPERTY MARKERS, BURIED CENTERLINE MARKERS, ETC., INCLUDING THOSE SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. ALL MONUMENTS SHOULD BE WITNESSED PRIOR TO CONSTRUCTION IN A MANNER THAT ENSURES THE REPLACEMENT OF THE MONUMENT TO A POSITION WITHIN FIVE MILLIMETERS (13/64") OF THE ORIGINAL POSITION. SURVEY NOTES OF THE WITNESSES SHALL BE PROVIDED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION. ALL MONUMENTS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE RESET BY THE CONTRACTOR. SURVEY NOTES OF THE RESETTING MUST BE SUBMITTED TO, AND APPROVED, BY THE ENGINEER BEFORE FINAL PAYMENT CAN BE MADE. THE SURVEY WORK TO SET THE WITNESSES AND TO RESET ANY MONUMENTATION SHALL BE DONE BY A PROFESSIONAL SURVEYOR LICENSED BY THE STATE OF MARYLAND, AND THE SURVEY NOTES MUST BEAR SAID SURVEYOR'S SEAL.
- ALL OPEN TRENCHES SHALL BE MARKED OFF WITH FLASHING BARRICADES & SAFETY FENCING AS REQUIRED FOR NIGHT WARNING.
- ALL AREAS WITHIN THE PROJECT LIMITS NOT OTHERWISE TREATED ARE TO BE SEEDED AND MULCHED OR STABILIZED WITH SOD. AREAS OUTSIDE THE PROJECT LIMITS DISTURBED AS A RESULT OF CONSTRUCTION WORK SHALL BE RESTORED TO THEIR PRECONSTRUCTION CONDITION, OR BETTER.
- CONTRACTOR SHALL FOLLOW THE SEDIMENT AND EROSION CONTROL PLAN AS SHOWN IN THESE DRAWINGS. ANY CHANGES TO THE PLAN MUST RECEIVE APPROVAL BY THE ENGINEER AND ALL APPROPRIATE AGENCIES BEFORE SAID CHANGES CAN BE MADE.
- THE LOCATION OF EXISTING UTILITIES ARE COMPILED FROM THE BEST AVAILABLE INFORMATION. HOWEVER, THEIR ACCURACY IS NOT WARRANTED AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THEIR EXACT LOCATION, AND TO PROTECT THEM BY SUITABLE MEANS APPROVED BY THE OWNERS OF THE UTILITIES FROM ANY AND ALL DAMAGE. APPROVAL OF THE OWNER SHALL BE OBTAINED BEFORE COMMENCING WORK IN THE VICINITY OF ANY EXISTING UTILITIES.







MINIMUM LOT AREA	6,000 SQ. FT.
MINIMUM FRONT YARD	30 FT.
MINIMUM REAR YARD	10 FT.
MINIMUM SIDE YARD	ADJOINING A 'C' DISTRICT: NONE, OR IF SIDE YARD PROVIDED A MINIMUM OF 10 FT.; ADJOINING A 'R' DISTRICT: 10 FT.
MINIMUM LOT WIDTH	STREET LINE: 50 FT.; FRONT BUILDING LINE: 50 FT.
MAXIMUM LOT COVERAGE	80%
MAXIMUM HEIGHT	4 STORIES / 50 FEET



**SEC. 3.11. - "T-LI" TECHNOLOGY/LIGHT INDUSTRIAL DISTRICT.**

**A. PURPOSE.** TO PROVIDE FOR COMMERCIAL AND LIGHT INDUSTRIAL USES WHICH ARE COMPATIBLE WITH RESIDENTIAL, COMMERCIAL AND INSTITUTIONAL USES IN ADJACENT AREAS OF THE CITY. THIS DISTRICT IS DESIGNED TO ACCOMMODATE PLANNED BUSINESS PARKS OR SUBSTANTIAL TRACTS OF LAND SUITABLE FOR BUSINESS AND INDUSTRY WITH A FOCUS ON THE TECHNOLOGY SECTOR. THIS DISTRICT SHALL PROVIDE FOR FLEXIBILITY, BUT REQUIRES WELL-PLANNED ACCESS AND DESIGN.

**B. PRINCIPAL PERMITTED USES AND STRUCTURES.** THE FOLLOWING PRINCIPAL USES AND STRUCTURES ARE PERMITTED IN THE "T-LI" DISTRICT:

- GROUP HOMES CONSISTENT WITH SECTION 8.5.
- TREATMENT CENTERS.
- ADULT DAY CARE CENTERS.
- ASSISTED LIVING CENTERS AND NURSING HOMES.
- COLLEGES, TRADE OR HOBBY SCHOOLS.
- HOSPICES AND HOSPITALS.
- BUILDING MATERIAL SALES YARD, INCLUDING THE SALE OF ROCK, SAND, GRAVEL, AND THE LIKE, AND TRADEPERSONS EQUIPMENT STORAGE YARD OR HEADQUARTERS.
- CONTRACTOR OFFICES.
- FITNESS CENTERS.

**C. SPECIAL EXCEPTIONS.** THE FOLLOWING PRINCIPAL USES ARE PERMITTED AS SPECIAL EXCEPTIONS AFTER APPROVAL BY THE BOARD OF ZONING APPEALS:

- ADULT USES.
- GAMBLING ESTABLISHMENTS.
- BODY ART STUDIOS.

**(11) WHOLESALE BUSINESS, WAREHOUSE, TRUCKING TERMINALS, AND SIMILAR NON-PROCESSING STORAGE AND DISTRIBUTION USES, BUT NOT INCLUDING PROHIBITED USES.**

**(12) MANUFACTURING, COMPOUNDING, PROCESSING, OR PACKAGING OF FOOD AND FOOD PRODUCTS, AND COSMETICS, TOILETRIES, AND PHARMACEUTICALS.**

**(13) MANUFACTURING, COMPOUNDING OR ASSEMBLING OF ARTICLES USING THE FOLLOWING OR SIMILAR PREPARED MATERIALS: BONE OR SHELL, CELLOPHANE, FUR, GLASS, LEATHER, PLASTIC, PRECIOUS OR SEMIPRECIOUS METALS OR STONES, RUBBER, TEXTILES OR CLOTH PRODUCTS, TOBACCO, WOOD OR WOOD PRODUCTS.**(14)

**(14) MANUFACTURING OF CERAMIC OR GLASS PRODUCTS.**(15)

**(15) MANUFACTURING OR ASSEMBLING FROM PREPARED MATERIALS OF THE FOLLOWING OR SIMILAR ITEMS: MUSICAL INSTRUMENTS, CLOCKS OR WATCHES, TOYS OR NOVELTIES, ELECTRICAL APPLIANCES, SCIENTIFIC OR ELECTRONIC DEVICES, LIGHT SHEET METAL PRODUCTS, MACHINE TOOL, OFFICE EQUIPMENT.**(16)

**(16) MANUFACTURING OR ASSEMBLING FROM PREPARED MATERIALS OF THE FOLLOWING OR SIMILAR ITEMS: MUSICAL INSTRUMENTS, CLOCKS OR WATCHES, TOYS OR NOVELTIES, ELECTRICAL APPLIANCES, SCIENTIFIC OR ELECTRONIC DEVICES, LIGHT SHEET METAL PRODUCTS, MACHINE TOOL, OFFICE EQUIPMENT.**(17)

**(17) TECHNOLOGICAL OR COMMUNICATION BASED ENTERPRISES.**(18)

**(18) AGRICULTURE, LIMITED TO CROPLAND, NURSERIES AND GREENHOUSES.**

**(4) WIND ENERGY SYSTEMS** COMPLYING WITH REGULATIONS FOUND IN SECTION 8.8.

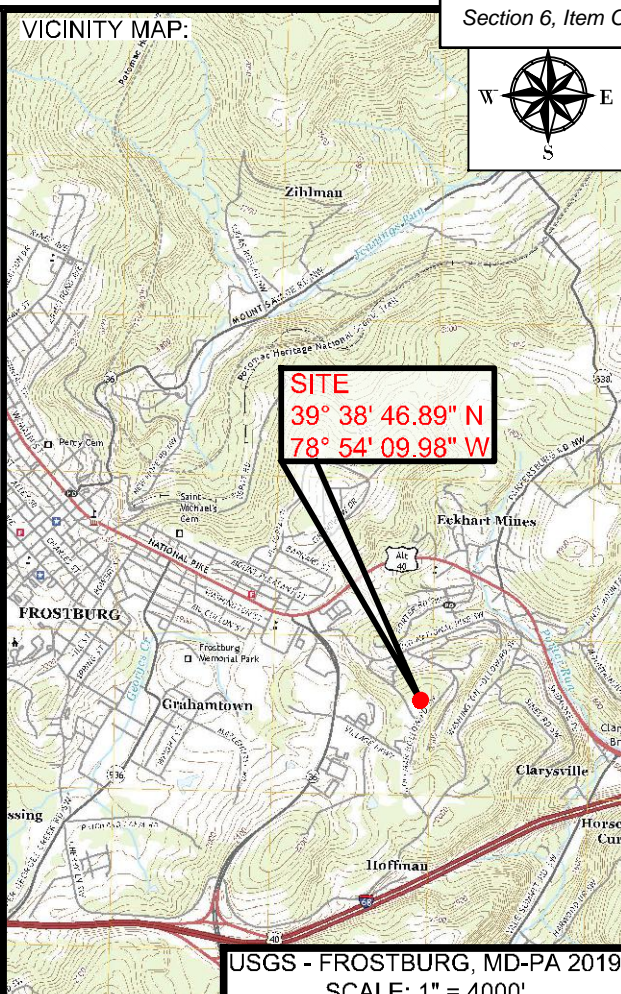
**(5) SELF-STORAGE FACILITIES,** SUBJECT TO THE PROVISIONS SET FORTH IN SECTION 8.9.

**(6) A USE OR STRUCTURE** THAT THE APPLICANT PROVES TO THE SATISFACTION OF THE BOARD OF ZONING APPEALS TO BE OF THE SAME GENERAL CHARACTER AS THE ABOVE PERMITTED USES AND SPECIAL EXCEPTION USES, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1.18(C3), BUT NOT INCLUDING USES THAT ARE SPECIFICALLY PROHIBITED IN THIS DISTRICT.

**D. ACCESSORY USES AND STRUCTURES.** THE FOLLOWING ACCESSORY USES AND STRUCTURES SHALL BE PERMITTED IN THE "T-LI" DISTRICT:

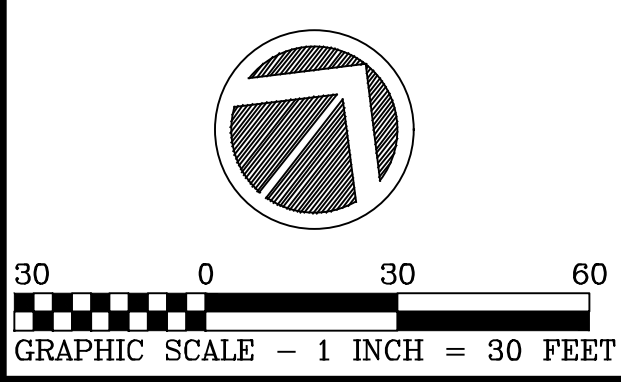
- TEMPORARY BUILDINGS AND STRUCTURES IN ACCORDANCE WITH SECTION 6.6.
- SIGNS IN ACCORDANCE WITH PART 7 OF THIS ORDINANCE.
- ACCESSORY USES AND STRUCTURES THAT ARE CLEARLY CUSTOMARILY ACCESSORY AND DIRECTLY INCIDENTAL TO THE PERMITTED PRINCIPAL USES AND STRUCTURES.

**E. LOT, YARD AND HEIGHT REQUIREMENTS:** THE FOLLOWING MINIMUM REQUIREMENTS SHALL APPLY TO ALL USES AND STRUCTURES IN THE "T-LI" DISTRICT, EXCEPT AS SUPERSEDED BY MORE RESTRICTIVE PROVISIONS OF THIS ORDINANCE.



**PROJECT:**  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

**CLIENT:**  
**CLYM**  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704  
MARYLAND COORDINATE SYSTEM NAD 83 FEET / NAD 88



**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200, Frostburg, Maryland 21532  
Phone (301)-687-0494, Fax (301)-687-0495, www.bbasurevey.com

REVISIONS			
NO.	BY	DATE	DESCRIPTION
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

**DRAWN:** BBA **DATE:** 7/05/2024  
**CHECKED:** MB **SCALE:** 1" = 30'  
**APPROVED:** MB **CRD FILE:** 23088

**BBA# 2023088**  
**SHEET TITLE:**  
**EXISTING SITE / DEMOLITION PLAN**  
**IFR: 7/05/2024**  
**SHEET #:**  
**C-123**

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Environmental - Design Services\PRODUCTION\C-123.dwg PLOT DATE/TIME: 7/4/2024 - 2:16pm LAST SAVE BY: work\06



**LANDUSE FEATURES LEGEND**

<span style="color: green;">(GcC)</span>	SOIL DESIGNATION
<span style="border: 2px solid red; width: 20px; height: 5px; display: inline-block;"></span>	LANDUSE AREA LIMITS
<span style="background-color: gray; width: 20px; height: 10px; display: inline-block;"></span>	IMPERVIOUS AREA
<span style="background-color: #90EE90; width: 20px; height: 10px; display: inline-block;"></span>	GRASS TYPE 'C' SOIL
<span style="background-color: #3CB371; width: 20px; height: 10px; display: inline-block;"></span>	GRASS TYPE 'D' SOIL
<span style="background-color: #FFD700; width: 20px; height: 10px; display: inline-block;"></span>	WOODS TYPE 'C' SOIL
<span style="background-color: #FF8C00; width: 20px; height: 10px; display: inline-block;"></span>	WOODS TYPE 'D' SOIL

**SOILS TABLE**

MAP SYMBOL	MAP UNIT NAME	HYDROLOGIC RATING	K FACTOR
UxB	URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	D	N/A
GcC	GILPIN CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY	C	N/A
GcD	GILPIN CHANNERY SILT LOAM, 15 TO 25 PERCENT SLOPES, VERY STONY	C	N/A

LANDUSE AREA = 37.9% +/- IMPERVIOUS

LANDUSE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD	
POST CONSTRUCTION	54172.89	52825.39	31631.20	0.00	3894.82	142524.30	SQ.FT.
	1.24	1.21	0.73	0.00	0.09	3.27	AC.

VICINITY MAP:

USGS - FROSTBURG, MD-PA 2019  
SCALE: 1" = 4000'

PROJECT:

**FINAL PLAN SUBMITTAL**

FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:

CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704

MARYLAND COORDINATE SYSTEM NAD 83 FEET / NAD 88

GRAPHIC SCALE - 1 INCH = 30 FEET

**bba**

Surveyors | Engineers | Planners

Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200, Frostburg, Maryland 21532  
Phone (301)-687-5494 Fax (301)-687-5495  
www.bbasurey.com

**REVISIONS**

NO.	BY	DATE	DESCRIPTION

DRAWN:	BBA	DATE:	7/05/2024
CHECKED:	MB	SCALE:	1" = 30'
APPROVED:	MB	CRD FILE:	23088

BBA# 2023088

SHEET TITLE:

**POST CONSTRUCTION PLAN**

**IFR: 7/05/2024**

SHEET #:

**C-124**



CAD FILE: E:\2023\23088 - Design Services\PRODUCTION\C-124.dwg PLOT DATE/TIME: 7/4/2024 - 1:32pm LAST SAVE BY: work108



DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD		DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD
1	5336.89	0.00	7747.54	0.00	0.00	13084.43	SQ.FT.	6	0.00	5204.77	293.23	0.00	0.00	5498.00
	0.123	0.000	0.178	0.000	0.000	0.300	AC.		0.000	0.119	0.007	0.000	0.000	0.126

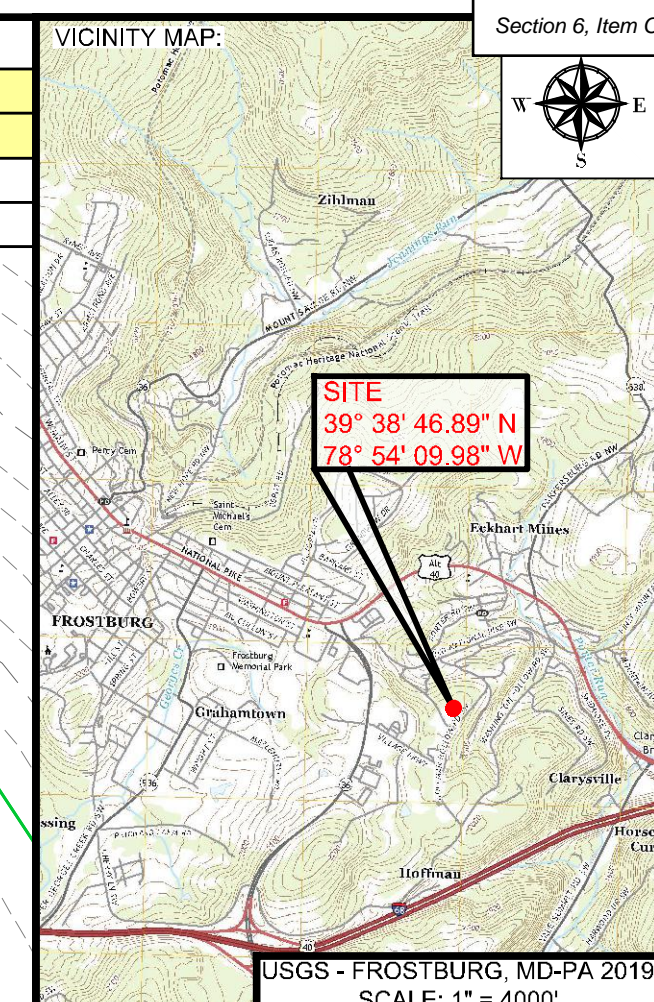
DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD		DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD
2	3272.73	0.00	3765.79	0.00	0.00	7038.52	SQ.FT.	7	0.00	14488.14	0.00	0.00	0.00	14488.14
	0.075	0.000	0.086	0.000	0.000	0.162	AC.		0.000	0.333	0.000	0.000	0.000	0.333

DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD		DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD
3	0.00	68.75	2059.45	0.00	0.00	2128.20	SQ.FT.							
	0.000	0.002	0.047	0.000	0.000	0.049	AC.							

DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD		DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD
4	6904.81	142.97	1640.61	0.00	0.00	8688.39	SQ.FT.							
	0.159	0.003	0.038	0.000	0.000	0.199	AC.							

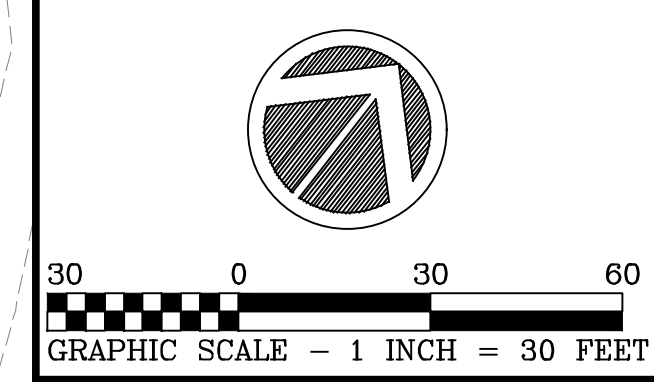
DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD		DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD
5	4487.90	2479.12	1286.19	0.00	0.00	8233.21	SQ.FT.							
	0.103	0.057	0.029	0.000	0.000	0.189	AC.							

DITCH DESIGN TABLE										
DITCH NO.	AVERAGE SLOPE %	BOTTOM WIDTH	SIDE SLOPE	REQUIRED Q 10	ACTUAL DEPTH	DESIGN VELOCITY	TREATMENT	DESIGN DEPTH	LENGTH	AREA
1	2.40%	1.5	3:1	X	X	X	GRASS	1.0	90	7057
2	2.80%	2	3:1	X	X	X	RIPRAP	1.0	196	10890



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 MARYLAND

CLIENT:  
  
 CLYM ENVIRONMENTAL SERVICES, LLC  
 1539 TILCO DRIVE  
 FREDERICK, MARYLAND 21704  
 MARYLAND COORDINATE SYSTEM NAD 83 FEET / NAD 88



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REVISIONS	
NO.	DESCRIPTION

DRAWN: BBA DATE: 7/05/2024  
 CHECKED: MB SCALE: 1" = 30'  
 APPROVED: MB CRD FILE: 23088  
 BBA# 2023088

SHEET TITLE:  
**POST CONSTRUCTION DRAINAGE PLAN**  
 IFR: 7/05/2024  
 SHEET #:  
**C-125**

**LANDUSE FEATURES LEGEND**

- SOIL TYPE BOUNDARY (Green line)
- SOIL DESIGNATION (Green circle with text)
- DRAINAGE LIMITS (Blue arrow)
- IMPERVIOUS AREA (Grey rectangle)
- GRASS TYPE 'C' SOIL (Light Green rectangle)
- GRASS TYPE 'D' SOIL (Dark Green rectangle)
- WOODS TYPE 'C' SOIL (Orange rectangle)
- WOODS TYPE 'D' SOIL (Brown rectangle)

**SOILS TABLE**

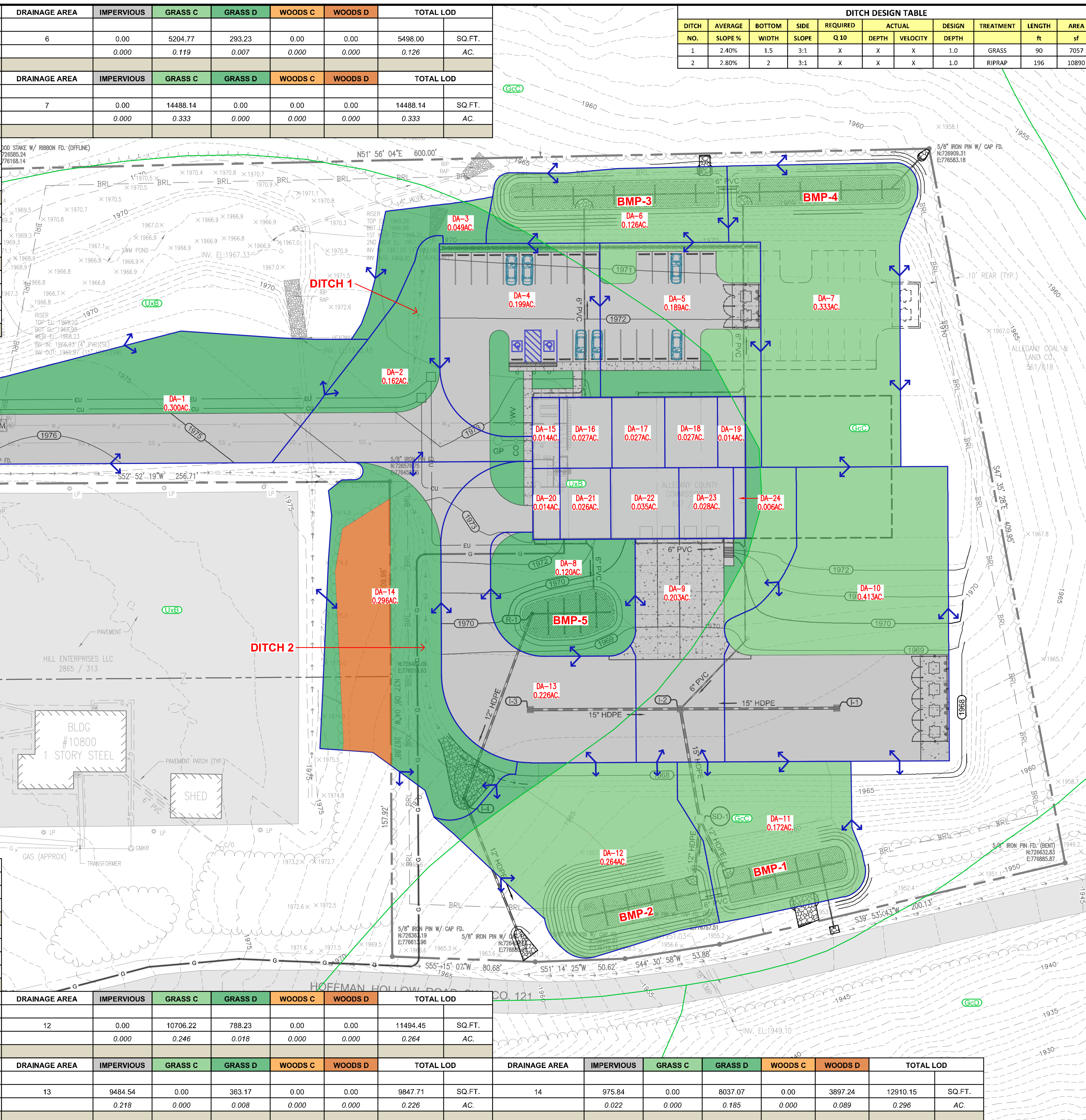
MAP SYMBOL	MAP UNIT NAME	HYDROLOGIC RATING	K FACTOR
UxB	URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	D	N/A
GcC	GILPIN CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY	C	N/A
GcD	GILPIN CHANNERY SILT LOAM, 15 TO 25 PERCENT SLOPES, VERY STONY	C	N/A

**TOTAL BMP DRAINAGE AREAS**

DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	TOTAL LOD
BMP-1 & BMP-2	0.609 AC.	0.699 AC.	0.038 AC.	1.346 AC.
BMP-3 & BMP-4	0.371 AC.	0.512 AC.	0.074 AC.	0.957 AC.
BMP-5	0.041 AC.	0.000 AC.	0.118 AC.	0.159 AC.
TOTAL	1.021 AC.	1.211 AC.	0.230 AC.	2.462 AC.

DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD
8	64.38	0.00	5149.91	0.00	0.00	5214.29
	0.001	0.000	0.118	0.000	0.000	0.120

DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD	DRAINAGE AREA	IMPERVIOUS	GRASS C	GRASS D	WOODS C	WOODS D	TOTAL LOD	
9	6421.38	1889.39	518.26	0.00	0.00	8829.03	SQ.FT.	12	0.00	10706.22	788.23	0.00	0.00	11494.45
	0.147	0.043	0.012	0.000	0.000	0.203	AC.		0.000	0.246	0.018	0.000	0.000	0.264



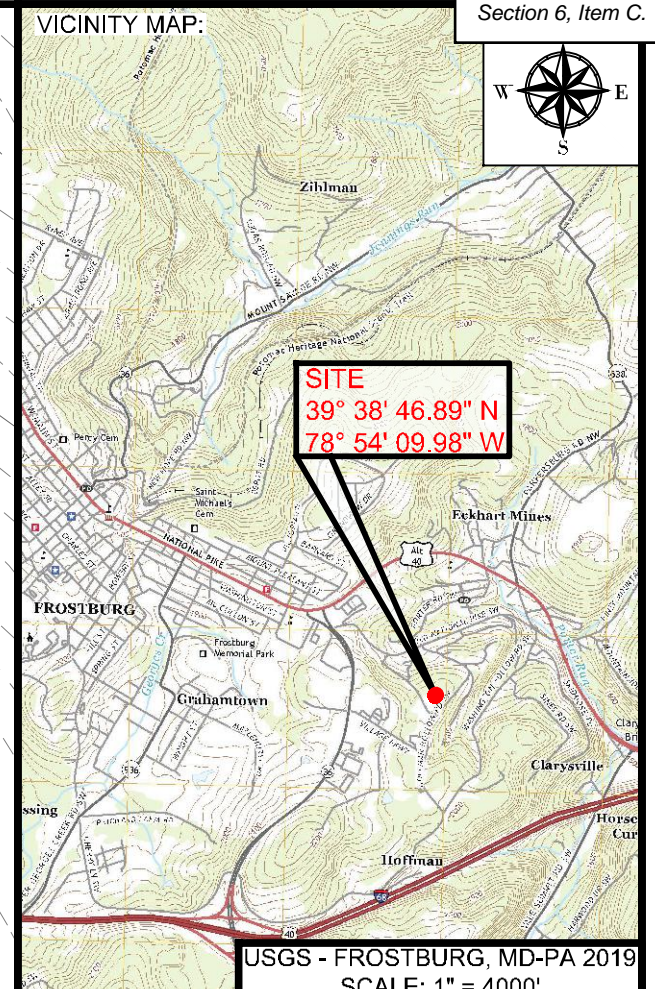
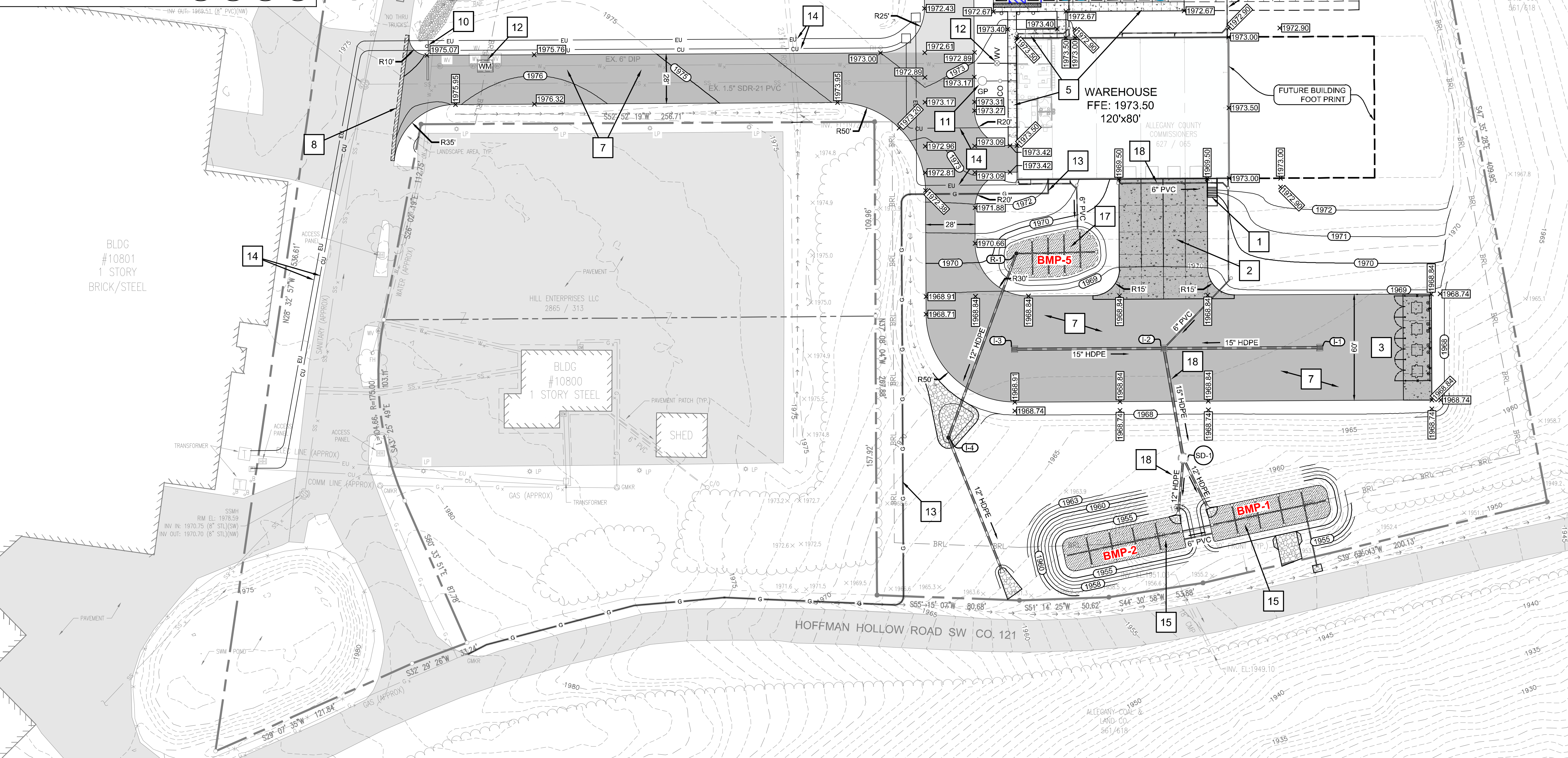
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 PLOT DATE/TIME: 7/4/2024 - 1:33pm  
 LAST SAVE BY: work106



#	SITE NOTES
1.	NEW CONCRETE STEPS TSEL: 1973.40 BSEL: 1969.32
2.	NEW CONCRETE TRUCK COURT
3.	NEW CONCRETE DUMPSTER PAD (16'X26') & APPURTENANCES
4.	NEW CONCRETE DUMPSTER PAD (16'X60') & APPURTENANCES
5.	NEW CONCRETE SIDEWALK
6.	NEW GENERAL HMA PAVING
7.	NEW HEAVY DUTY HMA PAVING
8.	PAVEMENT TRANSITION
9.	NEW PARKING & APPURTENANCES

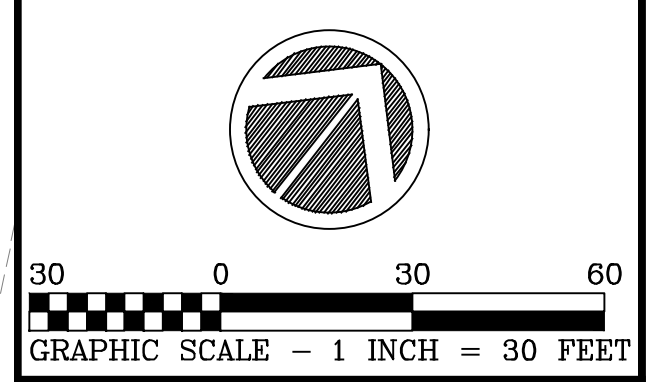
#	SITE NOTES
10.	NEW STOP SIGN WITH 12" STOP BAR
11.	INSTALL NEW SANITARY FORCEMAIN SERVICE & APPURTENANCES
12.	INSTALL NEW WATER SERVICE & APPURTENANCES
13.	INSTALL NEW GAS SERVICE & APPURTENANCES COORDINATE WITH PROVIDER
14.	INSTALL NEW ELECTRIC & COMMUNICATION SERVICE & APPURTENANCES COORDINATE WITH PROVIDER

#	SITE NOTES
15.	NEW BIORETENTION AREAS
16.	NEW BIORETENTION AREAS
17.	NEW BIORETENTION AREA NEW STORM DRAIN
18.	NEW STORM DRAINS



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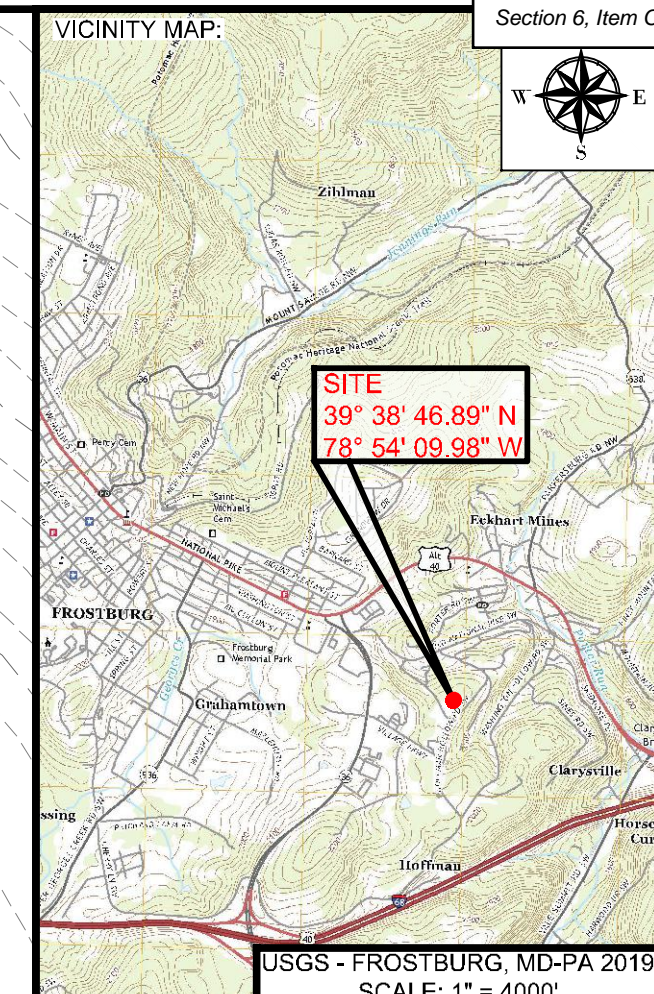
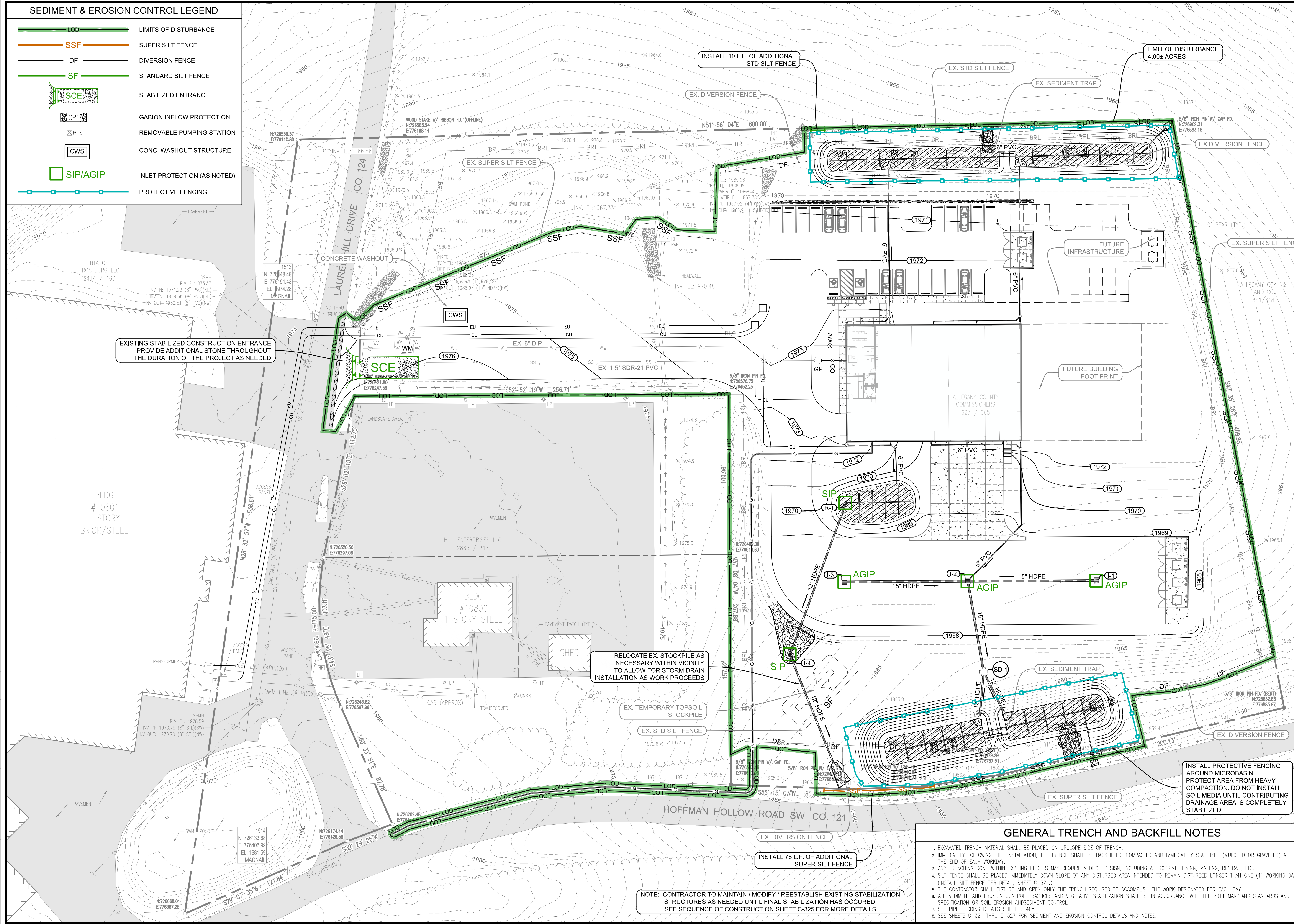
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**SITE PLAN**  
IFR: 7/05/2024  
SHEET #:  
**C-211**

CAD FILE: E:\2023\23088 - Cym Environmental - Design Services\PRODUCTION\C-211.dwg PLOT DATE/TIME: 7/4/2024 - 1:33pm LAST SAVE BY: work108



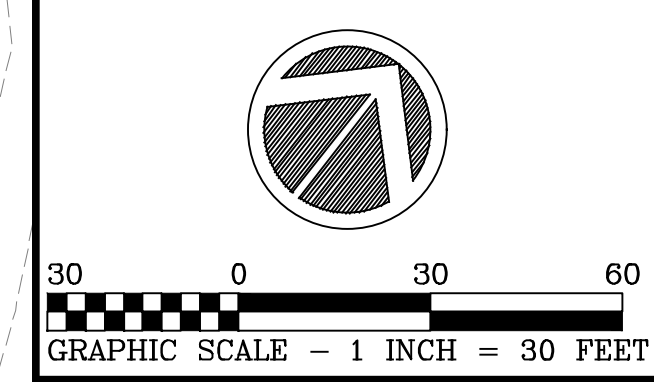
**SEDIMENT & EROSION CONTROL LEGEND**

-  **LOD** LIMITS OF DISTURBANCE
-  **SSF** SUPER SILT FENCE
-  **DF** DIVERSION FENCE
-  **SF** STANDARD SILT FENCE
-  **SCE** STABILIZED ENTRANCE
-  **GP** GABION INFLOW PROTECTION
-  **RPS** REMOVABLE PUMPING STATION
-  **CWS** CONC. WASHOUT STRUCTURE
-  **SIP/AGIP** INLET PROTECTION (AS NOTED)
-  **PROTECTIVE FENCING**



**PROJECT:**  
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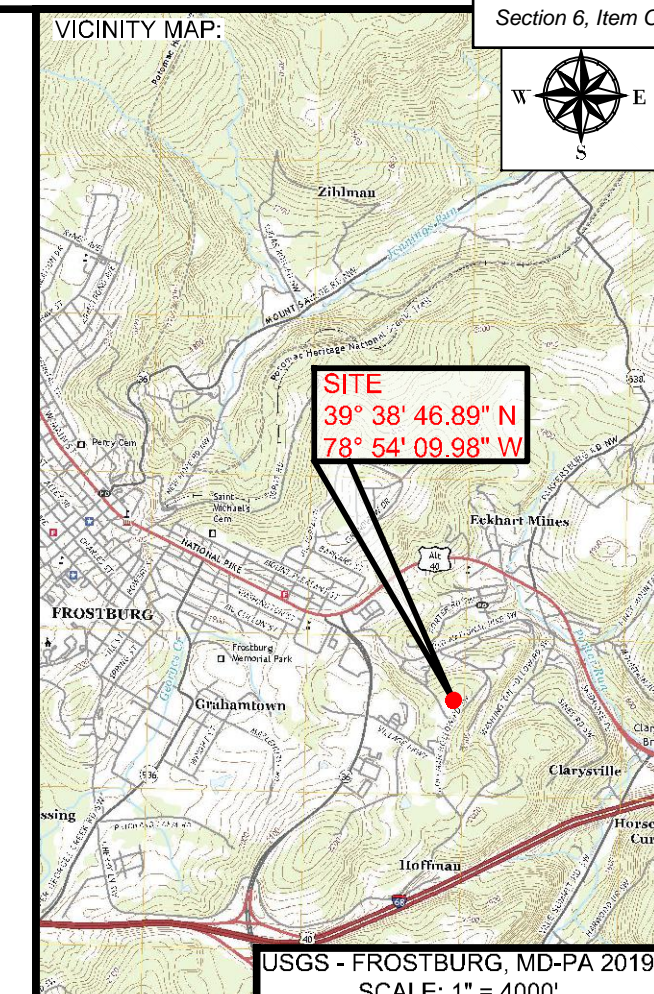
**BBA# 2023088**  
 SHEET TITLE:  
**EROSION & SEDIMENT CONTROL PLAN**

**IFR: 7/05/2024**  
 SHEET #:  
**C-301**

**NOTE: CONTRACTOR TO MAINTAIN / MODIFY / REESTABLISH EXISTING STABILIZATION STRUCTURES AS NEEDED UNTIL FINAL STABILIZATION HAS OCCURRED. SEE SEQUENCE OF CONSTRUCTION SHEET C-325 FOR MORE DETAILS**

- GENERAL TRENCH AND BACKFILL NOTES**
- EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSLOPE SIDE OF TRENCH.
  - IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (MULCHED OR GRAVELED) AT THE END OF EACH WORKDAY.
  - ANY TRENCHING DONE WITHIN EXISTING DITCHES MAY REQUIRE A DITCH DESIGN, INCLUDING APPROPRIATE LINING, MATTING, RIP RAP, ETC.
  - SILT FENCE SHALL BE PLACED IMMEDIATELY DOWN SLOPE OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY.
  - INSTALL SILT FENCE PER DETAIL SHEET C-321.
  - THE CONTRACTOR SHALL DISTURB AND OPEN ONLY THE TRENCH REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
  - ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATION OR SOIL EROSION AND SEDIMENT CONTROL.
  - SEE PIPE BEDDING DETAILS SHEET C-405
  - SEE SHEETS C-321 THRU C-327 FOR SEDIMENT AND EROSION CONTROL DETAILS AND NOTES.





USGS - FROSTBURG, MD-PA 2019 SCALE: 1" = 4000'

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BBA# 2023088  
SHEET TITLE:

**EROSION & SEDIMENT CONTROL DETAILS**

IFR: 7/05/2024

SHEET #: C-321

**DETAIL E-3 SUPER SILT FENCE**  
STANDARD SYMBOL: SSF  
CONSTRUCTION SPECIFICATIONS:  
1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...  
2. FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS...  
3. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION...  
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS...  
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE...  
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS...  
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

**DETAIL E-1 SILT FENCE**  
STANDARD SYMBOL: SF  
CONSTRUCTION SPECIFICATIONS:  
1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2 1/2 INCH MAXIMUM OPENING)...  
2. USE 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...  
3. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES...  
4. SECURE 10 MIL OR THICKER UV RESISTANT IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE...  
5. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND...  
6. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE...  
7. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

**DETAIL C-9 DIVERSION FENCE**  
STANDARD SYMBOL: DF  
MAXIMUM DRAINAGE AREA = 2 ACRES  
CONSTRUCTION SPECIFICATIONS:  
1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2 1/2 INCH MAXIMUM OPENING)...  
2. USE 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...  
3. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES...  
4. SECURE 10 MIL OR THICKER UV RESISTANT IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE...  
5. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND...  
6. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE...  
7. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

**DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE**  
STANDARD SYMBOL: SCE  
CONSTRUCTION SPECIFICATIONS:  
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS...  
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE...  
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS...  
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE...  
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

**DETAIL F-1 REMOVABLE PUMPING STATION**  
STANDARD SYMBOL: RPS  
CONSTRUCTION SPECIFICATIONS:  
1. USE CORRUGATED METAL OR PLASTIC PIPE WITH 1 INCH DIAMETER PERFORATIONS 6 INCHES ON CENTER...  
2. USE A MINIMUM 12 INCH DIAMETER INNER PIPE WITH AN OUTER PIPE A MINIMUM 6 INCHES LARGER IN DIAMETER...  
3. WRAP EACH PIPE WITH 3/4 INCH GALVANIZED HARDWARE CLOTH. ON INNER PIPE WRAP NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE HARDWARE CLOTH...  
4. EXCAVATE 8 FEET X 8 FEET X 4 FEET DEEP PIT FOR PIPE PLACEMENT. PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 6 INCHES IN DEPTH PRIOR TO PIPE PLACEMENT...  
5. SET TOP OF INNER AND OUTER PIPES MINIMUM 12 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION (OR RISER CREST ELEVATION WHEN DEWATERING A BASIN)...  
6. BACKFILL PIT AROUND THE OUTER PIPE WITH 3/4 TO 1 1/2 INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION...  
7. DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE...  
8. A REMOVABLE PUMPING STATION REQUIRES FREQUENT MAINTENANCE. IF SYSTEM CLOGS, PULL OUT INNER PIPE AND REPLACE GEOTEXTILE. KEEP POINT OF DISCHARGE FREE OF EROSION.

**DETAIL G-1-2 STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II**  
STANDARD SYMBOL: ST-II  
MAXIMUM DRAINAGE AREA = 10 ACRES  
CONSTRUCTION SPECIFICATIONS:  
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC...  
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP...  
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT IMPERMEABLE SHEETING FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL...  
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY...  
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. NET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

**DETAIL H-8 ONSITE CONCRETE WASHOUT STRUCTURE**  
STANDARD SYMBOL: CWS  
CONSTRUCTION SPECIFICATIONS:  
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC...  
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP...  
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PLOT DATE/TIME: 7/4/2024 - 1:34pm  
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**DETAIL B-4-B-C PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION**

STANDARD SYMBOL  
PSSMC - \* lb/ft<sup>2</sup>  
(\* INCLUDE SHEAR STRESS)

CONSTRUCTION SPECIFICATIONS:

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE, WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDBED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
- KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**DETAIL E-9-2 AT-GRADE INLET PROTECTION**

STANDARD SYMBOL  
AGIP

MAXIMUM DRAINAGE AREA = 1 ACRE

CONSTRUCTION SPECIFICATIONS:

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**DETAIL E-9-1 STANDARD INLET PROTECTION**

STANDARD SYMBOL  
SIP

TYPE A MAXIMUM DRAINAGE AREA = 1/4 ACRE  
TYPE B MAXIMUM DRAINAGE AREA = 1 ACRE

CONSTRUCTION SPECIFICATIONS:

- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.
- FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2x4 FRAME AS SHOWN. STRETCH 3/8 INCH GALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.
- FOR TYPE B, USE 2 3/8 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.
- BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**DETAIL E-9-1 STANDARD INLET PROTECTION**

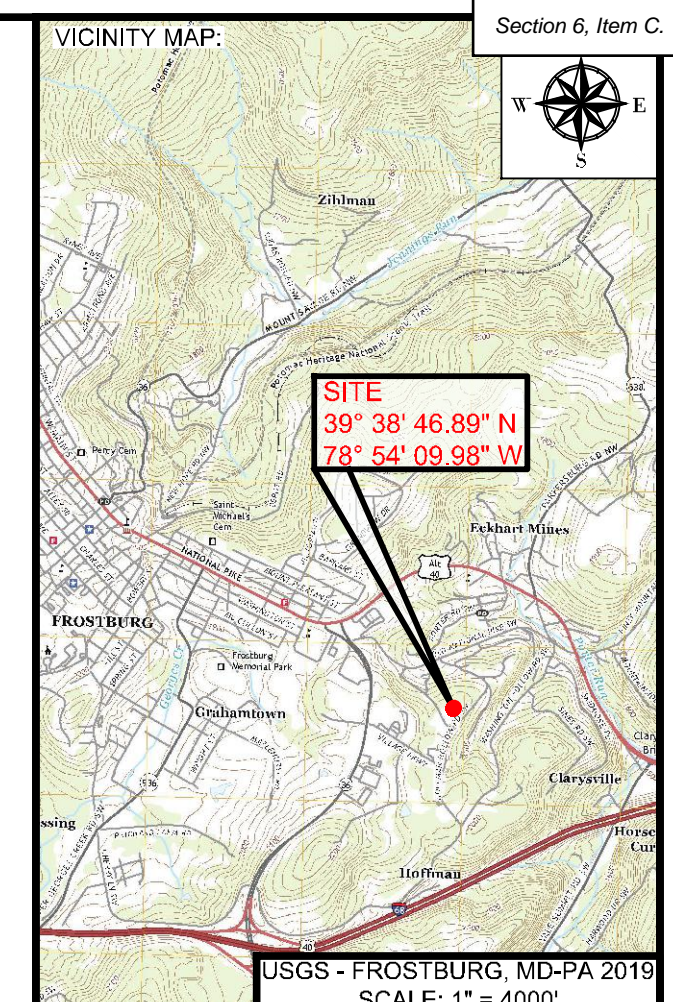
STANDARD SYMBOL  
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CONSTRUCTION SPECIFICATIONS:

- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.
- FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2x4 FRAME AS SHOWN. STRETCH 3/8 INCH GALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.
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- BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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PROJECT:

**FINAL PLAN SUBMITTAL**

FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:

CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



**bba**  
Surveyors | Engineers | Planners

Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, Maryland 21532  
Phone (301)-687-0494 Fax (301)-687-0495  
www.bbasurevey.com

REVISIONS

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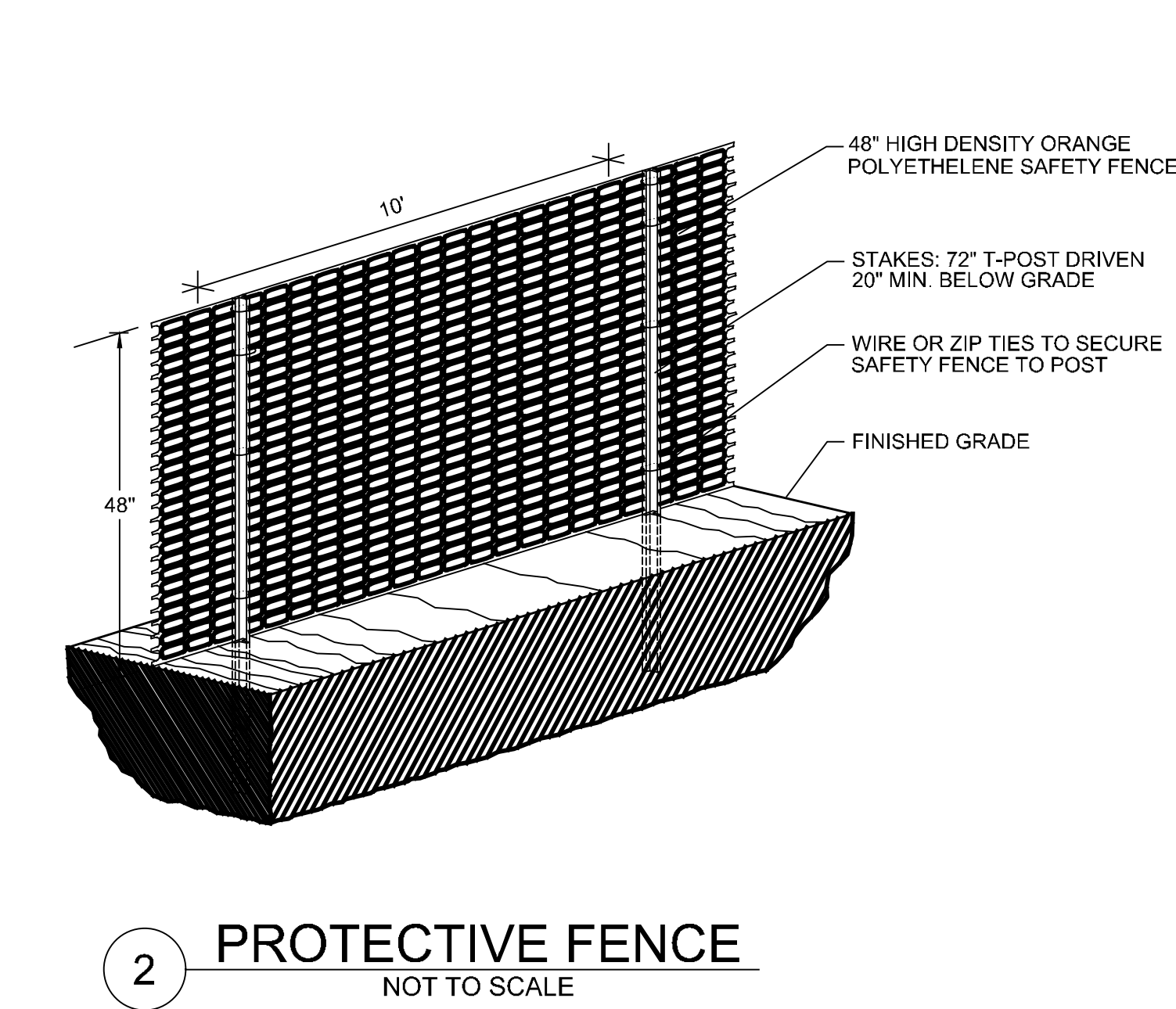
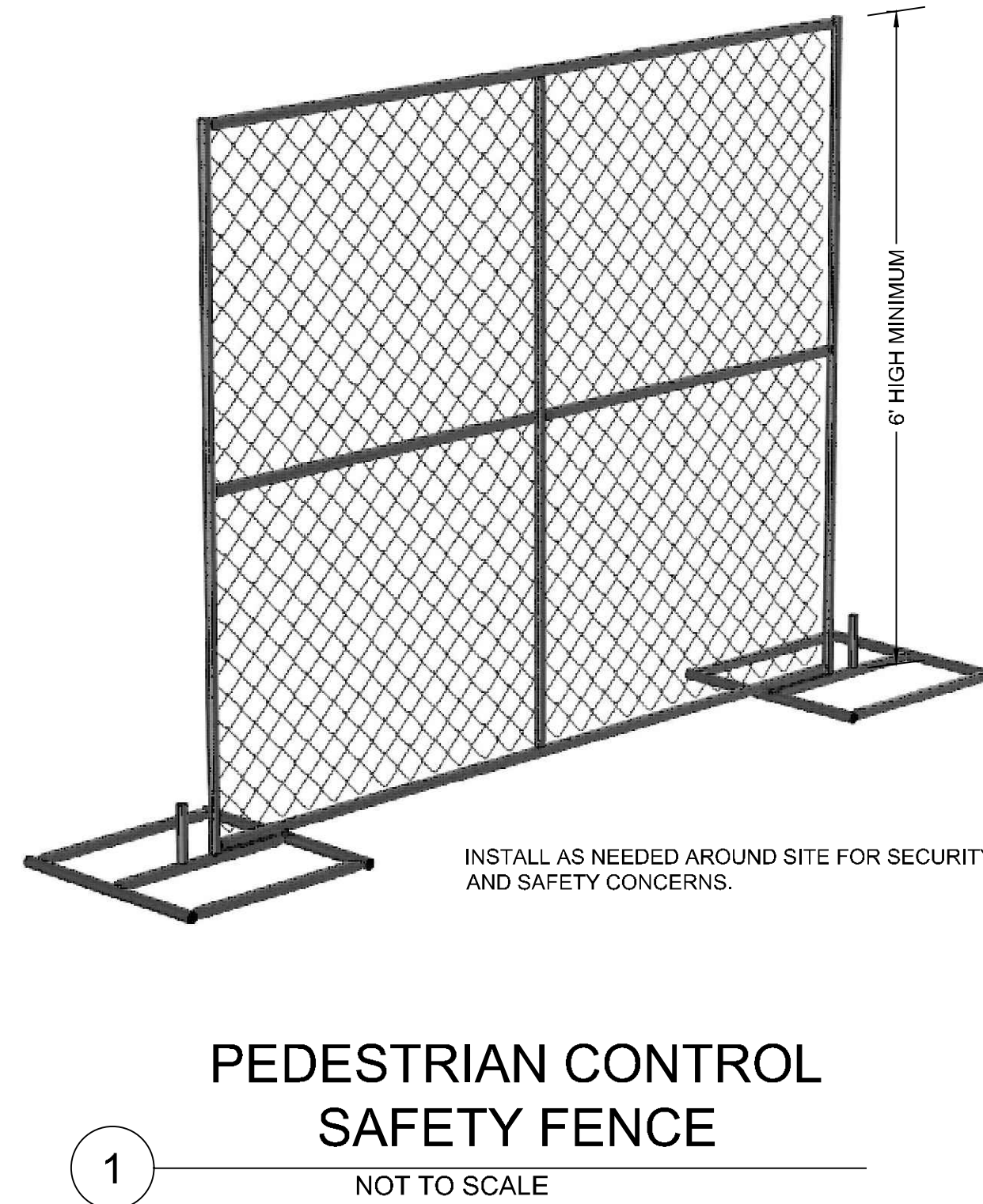
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CHECKED: MB SCALE: AS NOTED  
APPROVED: MB CRD FILE: 23088

BBA# 2023088

SHEET TITLE:  
**EROSION & SEDIMENT CONTROL DETAILS**

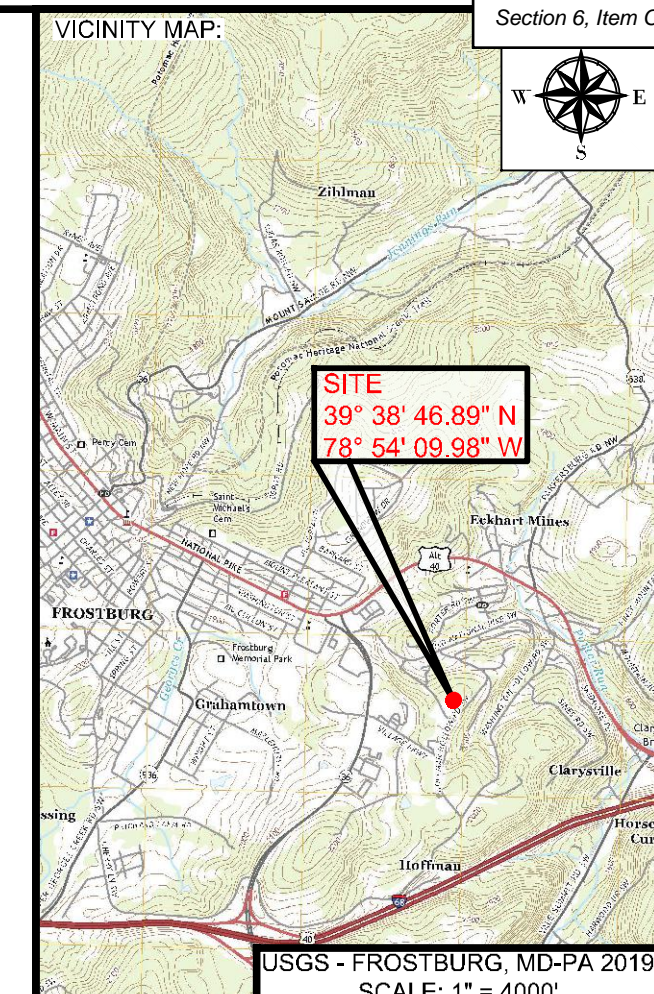
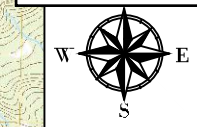
IFR: 7/05/2024

SHEET #:  
C-322



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USGS - FROSTBURG, MD-PA 2019  
SCALE: 1" = 400'

PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



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NO.	BY	DATE	DESCRIPTION
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DRAWN:	BBA	DATE:	7/05/2024
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APPROVED:	MB	CRD FILE:	23088

BBA# 2023088  
SHEET TITLE:

**EROSION & SEDIMENT CONTROL DETAILS & NOTES**

**IFR: 7/05/2024**

SHEET #:  
**C-323**

**B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION**

**Definition**  
Using vegetation as cover to protect exposed soil from erosion.

**Purpose**  
To promote the establishment of vegetation on exposed soil.

**Conditions Where Practice Applies**  
On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

**Effects on Water Quality and Quantity**  
Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

**Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.**

**Adequate Vegetative Establishment**

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- Adequate vegetative stabilization requires 95 percent groundcover.
- If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
- If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
- Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B.9

**B-4.1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION**

**Definition**  
Establishment of vegetative cover on cut and fill slopes.

**Purpose**  
To provide timely vegetative cover on cut and fill slopes as work progresses.

**Conditions Where Practice Applies**  
Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

**Criteria**

A. Incremental Stabilization - Cut Slopes

- Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
- Construction sequence example (Refer to Figure B.1):
  - Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
  - Perform Phase 1 excavation, prepare seedbed, and stabilize.
  - Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
  - Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

**Note:** Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

B.10

**B. Incremental Stabilization - Fill Slopes**

- Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
- Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
- At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- Construction sequence example (Refer to Figure B.2):
  - Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
  - At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
  - Place Phase 1 fill, prepare seedbed, and stabilize.
  - Place Phase 2 fill, prepare seedbed, and stabilize.
  - Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

**Note:** Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

B.11

**B-4.2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS**

**Definition**  
The process of preparing the soils to sustain adequate vegetative stabilization.

**Purpose**  
To provide a suitable soil medium for vegetative growth.

**Conditions Where Practice Applies**  
Where vegetative stabilization is to be established.

**Criteria**

A. Soil Preparation

- Temporary Stabilization
  - Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
  - Apply fertilizer and lime as prescribed on the plans.
  - Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
- Permanent Stabilization
  - A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
    - Soil pH between 6.0 and 7.0.
    - Soluble salts less than 500 parts per million (ppm).
    - Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
    - Soil contains 1.5 percent minimum organic matter by weight.
    - Soil contains sufficient pore space to permit adequate root penetration.
  - Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
  - Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.

B.12

**Topsoiling**

- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
- Topsoiling is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- Areas having slopes steeper than 2:1 require special consideration and design.
- Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
  - Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
  - Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
  - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- Topsoil Application
  - Erosion and sediment control practices must be maintained when applying topsoil.
  - Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
  - Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

B.13

**Soil Amendments (Fertilizer and Lime Specifications)**

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydrosedding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B.14

**B-4.8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA**

**Definition**  
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

**Purpose**  
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

**Conditions Where Practice Applies**  
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

**Criteria**

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4.1 Incremental Stabilization and Standard B-4.4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

**Maintenance**

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for a 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

B.43

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**B-4-3 STANDARDS AND SPECIFICATIONS**

**FOR SEEDING AND MULCHING**

Definition

The application of seed and mulch to establish vegetative cover.

Purpose

To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Criteria

A. Seeding

1. Specifications

- a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
- b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
- c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
- d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

2. Application

- a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
  - i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
  - ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.

B.15

**B-4-5 STANDARDS AND SPECIFICATIONS**

**FOR PERMANENT STABILIZATION**

Definition

To stabilize disturbed soils with permanent vegetation.

Purpose

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

A. Seed Mixtures

1. General Use

- a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
  - b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
  - c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
  - d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
2. Turfgrass Mixtures
- a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
  - b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
    - i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
    - ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where

B.21

- b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
  - i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
  - ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
- c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
  - i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorous), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per acre.
  - ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
  - iii. Mix seed and fertilizer on site and seed immediately and without interruption.
  - iv. When hydroseeding do not incorporate seed into the soil.

B. Mulching

1. Mulch Materials (in order of preference)

- a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. **Note: Use only sterile straw mulch in areas where one species of grass is desired.**
- b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
  - i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
  - ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
  - iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
  - iv. WCFM material must not contain elements or compounds at concentration levels that will be phytotoxic.
  - v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

B.16

rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.

- iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
- iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

**Notes:**  
Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"

**Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line**

- c. Ideal Times of Seeding for Turf Grass Mixtures
  - Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)
  - Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
  - Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)
- d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
- e. If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

B.22

- 2. Application
  - a. Apply mulch to all seeded areas immediately after seeding.
  - b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
  - c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
- 3. Anchoring
  - a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
    - i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
    - ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
    - iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petrosol, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. **Use of asphalt binders is strictly prohibited.**
    - iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

B.17

PERMANENT SEEDING SUMMARY						
SEED MIXTURE (HARDINESS ZONE 6a) FROM TABLE 25				FERTILIZER RATE (10-20-20)		
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	N	P205
3	ENDOPHYTE-FREE FESCUE (75%) PERENNIAL RYEGRASS (10%) KENTUCKY BLUEGRASS (5%) BIRDS FOOT TREFOL (INOCULATED) (10%)	150	3/15 TO 6/1 8/1 TO 10/1	1/2" TO 1"	45 lb/ac (11 lb/1,000 sf)	90 lb/ac (22 lb/1,000 sf)
					90 lb/ac (22 lb/1,000 sf)	2 tons/ac (500 lb/1,000 sf)

- NOTES:**
- PLANTING OF KY31 FESCUE IS PROHIBITED. USE FORAGER FESCUE IN LIEU OF KY31.
  - ALL DISTURBED AREAS WILL BE CONVERTED FROM EROSION AND SEDIMENT CONTROL TO PERMANENT SWM UPON APPROVAL OF THE MDE INSPECTOR.

- 1. General Specifications
  - a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
  - b. Sod must be machine cut at a uniform soil thickness of 3/4 inch, plus or minus 1/4 inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
  - c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
  - d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
  - e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
- 2. Sod Installation
  - a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
  - b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
  - c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
  - d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.

B.23

**B-4-4 STANDARDS AND SPECIFICATIONS**

**FOR**

**TEMPORARY STABILIZATION**

Definition

To stabilize disturbed soils with vegetation for up to 6 months.

Purpose

To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

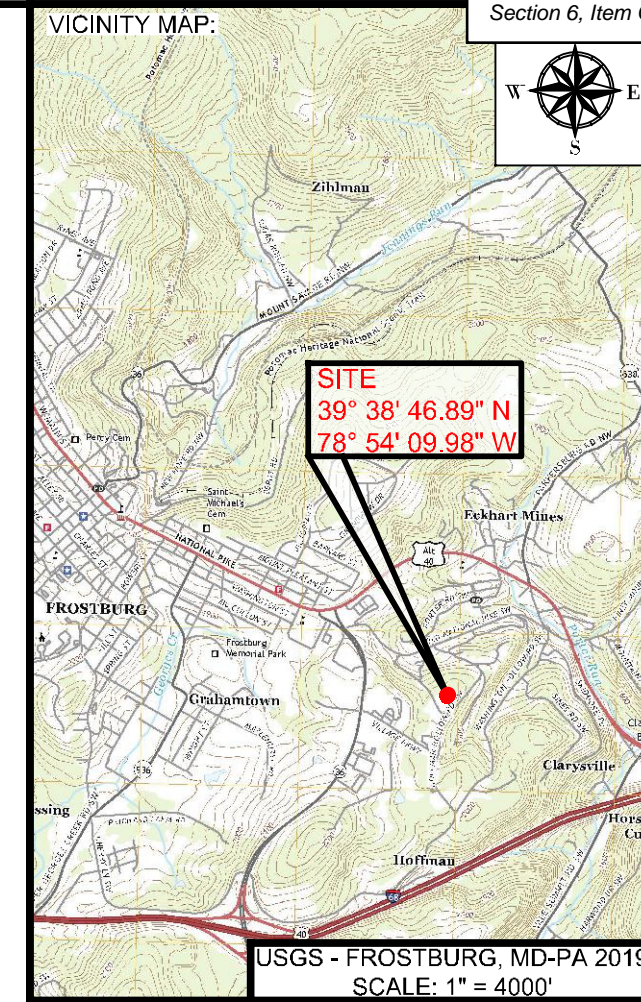
TEMPORARY SEEDING SUMMARY						
SEED MIXTURE (HARDINESS ZONE 6a) FROM TABLE 26				FERTILIZER RATE (10-20-20)		LIME RATE
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS		
1	BARLEY OR RYE PLUS FOXTAIL MILLET	150	3/15 TO 10/1	1"	436 lb/ac (10 lb/1,000 sf)	2 tons/ac (500 lb/1,000 sf)
2	ANNUAL RYEGRASS	50	3/15 TO 5/31 8/1 TO 8/15	1/4" TO 1/2"		

- NOTES:**
- PLANTING OF KY31 FESCUE IS PROHIBITED. USE FORAGER FESCUE IN LIEU OF KY31.
  - ALL DISTURBED AREAS WILL BE CONVERTED FROM EROSION AND SEDIMENT CONTROL TO PERMANENT SWM UPON APPROVAL OF THE MDE INSPECTOR.

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- 3. Sod Maintenance
  - a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
  - b. After the first week, sod watering is required as necessary to maintain adequate moisture content.
  - c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B.24



PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, Maryland 21532  
Phone (301)-687-0494  
www.bbasurey.com Fax (301)-687-0495

NO.	BY	DATE	DESCRIPTION
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DRAWN:	BBA	DATE:	7/05/2024
CHECKED:	MB	SCALE:	AS NOTED
APPROVED:	MB	CRD FILE:	23088

**BBA# 2023088**  
SHEET TITLE:  
**MDE STANDARD SEEDING & MULCHING DETAILS & NOTES**  
**IFR: 7/05/2024**  
SHEET #:  
**C-324**

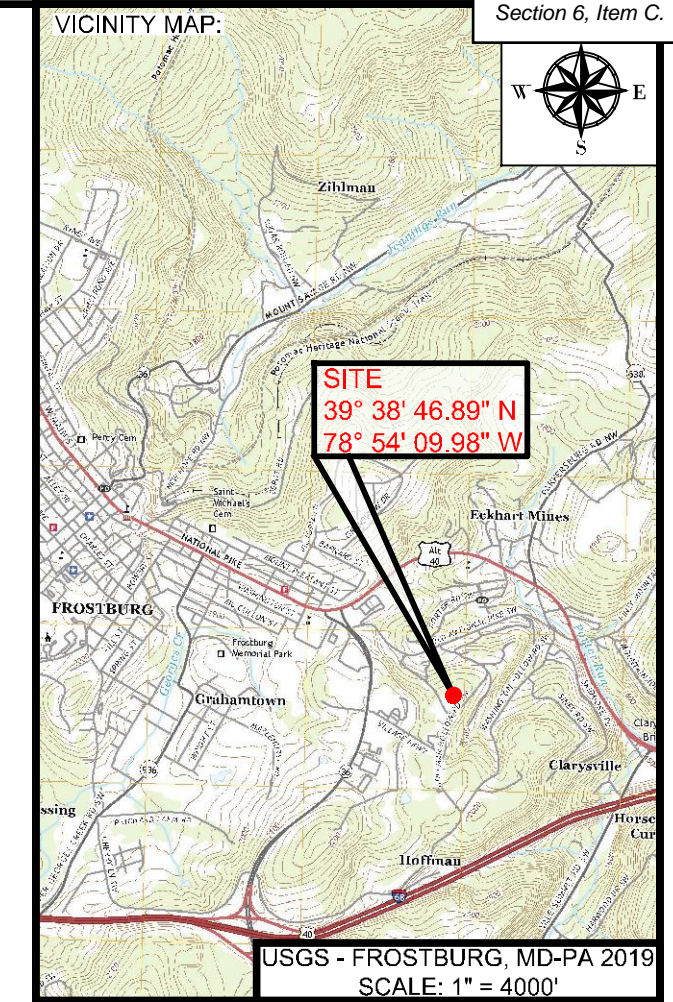


**STANDARD EROSION AND SEDIMENT CONTROL NOTES**

MDE REQUIRES THAT THESE NOTES, IN THEIR ENTIRETY, BE INCLUDED ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS RECOGNIZED THAT NOT EVERY NOTE MAY APPLY TO ALL PROJECTS. THE REQUIREMENT OF ANY INDIVIDUAL NOTE NOT APPLICABLE TO THE SUBJECT PROJECT IS NOT BINDING UPON THE APPLICANT OR THE APPLICANT'S CONTRACTOR.

1. THE CONTRACTOR SHALL NOTIFY MDE AT (410) 537-3510 SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND, UNLESS WAIVED BY MDE, SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF MDE.
2. THE CONTRACTOR SHALL NOTIFY MDE IN WRITING AND BY TELEPHONE AT THE FOLLOWING POINTS:
  - A. THE REQUIRED PRE-CONSTRUCTION MEETING.
  - B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
  - C. DURING THE INSTALLATION OF SEDIMENT BASINS (TO BE CONVERTED INTO PERMANENT STORMWATER MANAGEMENT STRUCTURES) AT THE REQUIRED INSPECTION POINTS (SEE INSPECTION CHECKLIST ON PLAN), NOTIFICATION PRIOR TO COMMENCING CONSTRUCTION OF EACH STEP IS MANDATORY.
  - D. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S).
  - E. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES.
  - F. PRIOR TO FINAL ACCEPTANCE.
3. THE PLAN APPROVAL LETTER, APPROVED EROSION AND SEDIMENT CONTROL PLANS, DAILY LOG BOOKS, AND TEST REPORTS SHALL BE AVAILABLE AT THE SITE FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF MDE AND THE AGENCY RESPONSIBLE FOR THE PROJECT.
4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY THE MDE INSPECTOR PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. MINOR SEDIMENT CONTROL DEVICE LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD WITH THE APPROVAL OF THE MDE INSPECTOR. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM MDE INSPECTOR. THE CONTRACTOR SHALL OBTAIN PRIOR AGENCY AND MDE APPROVAL FOR MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION.
5. THE MDE INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES, IF DEEMED NECESSARY.
6. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM THE MDE INSPECTOR.
8. EROSION AND SEDIMENT CONTROL FOR UTILITY CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH APPROVED PLANS. UTILITY CONSTRUCTION SHALL ONLY BE FOR AREAS WITHIN THE DELINEATED LIMIT OF DISTURBANCE. CALL "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. WHEN SAME DAY STABILIZATION IS APPROVED:
  - A. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
  - B. TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED, AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THE SAME DAY.
9. ALL WATER REMOVED FROM EXCAVATED AREAS SHALL BE PASSED THROUGH AN MDE APPROVED DEWATERING PRACTICE OR PUMPED TO A SEDIMENT TRAP OR BASIN PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM OR TO STABLE GROUND SURFACE.
10. CONCRETE WASHOUT STRUCTURES SHALL BE USED WHEN CONCRETE TRUCKS, DRUMS, PUMPS, CHUTES, OR OTHER EQUIPMENT IS RINSED OR CLEANED ON-SITE.
11. CONSTRUCTION ACTIVITIES PRODUCING DUST SHALL IMPLEMENT CONTROL MEASURES TO AVOID THE SUSPENSION OF DUST PARTICLES AND/OR PREVENT DUST FROM BLOWING OFF-SITE OR TO AREAS WITHOUT TREATMENT.
12. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
  - B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
13. VEGETATIVE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO APPROPRIATE SPECIFICATIONS FOR TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, SODDING, AND GROUND COVERS.
14. WHEN SEEDING, ALL DISTURBED AREAS WITH SLOPES FLATTER THAN 2:1 SHALL BE STABILIZED WITH 4 INCHES OF TOPSOIL, SEED, AND MULCH. ALL DISTURBED AREAS WITH SLOPES 2:1 OR STEEPER SHALL BE STABILIZED WITH MATTING OVER 2 INCHES OF TOPSOIL AND SEED.
15. ALL SEDIMENT BASINS, TRAP EMBANKMENTS AND SLOPES, PERIMETER DIKES, SWALES AND ALL DISTURBED SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SEED AND ANCHORED STRAW MULCH, SOD, OR OTHER APPROVED STABILIZATION MEASURES, AS SOON AS POSSIBLE BUT NO LATER THAN THREE (3) CALENDAR DAYS AFTER ESTABLISHMENT. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE MINIMIZED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
16. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SEED AND AN APPROVED EROSION CONTROL MATTING, SOD, RIP-RAP, OR OTHER APPROVED STABILIZATION MEASURES.
17. FOR STOCKPILE SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), THE CONTRACTOR SHALL APPLY SEED AND ANCHORED STRAW MULCH, SOD, OR OTHER APPROVED STABILIZATION MEASURES TO THE FACE OF THE STOCKPILE WITHIN THREE (3) CALENDAR DAYS OF ACTIVITY HAVING CEASED ON THE RESPECTIVE FACE. FOR SLOPES 3:1 OR FLATTER, THE CONTRACTOR SHALL APPLY STABILIZATION MEASURES TO THE FACE OF THE STOCKPILE WITHIN SEVEN (7) CALENDAR DAYS OF ACTIVITY HAVING CEASED ON THE RESPECTIVE FACE. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
18. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY-FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY-EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER SHALL NOT BE REQUIRED TO MEET THIS REQUIREMENT.

19. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, SEDIMENT BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE SHALL BE MADE OF WELDED WIRE AND AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THAN 2 INCHES IN WIDTH AND 4 INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE SHALL BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
  20. ALL SEDIMENT TRAP DEPTH DIMENSIONS ARE RELATIVE TO THE OUTLET ELEVATION. ALL TRAPS SHALL HAVE A STABLE OUTFALL. ALL TRAPS AND BASINS SHALL HAVE STABLE INFLOW POINTS.
  21. SEDIMENT SHALL BE REMOVED AND THE TRAP OR BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE QUARTER OF THE TOTAL DEPTH OF THE TRAP OR BASIN. TOTAL DEPTH SHALL BE MEASURED FROM THE TRAP OR BASIN BOTTOM TO THE CREST OF THE OUTLET.
  22. SEDIMENT REMOVED FROM TRAPS (AND BASINS) SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR TREE-SAVE AREA. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE SHALL BE DIRECTED TO AN MDE APPROVED SEDIMENT TRAPPING DEVICE PRIOR TO RELEASE FROM THE SITE. A SUMP PIT MAY BE USED IF SEDIMENT TRAPS THEMSELVES ARE BEING PUMPED OUT.
  23. PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE CONTRACTOR SHALL STABILIZE AND HAVE ESTABLISHED PERMANENT STABILIZATION FOR ALL CONTRIBUTORY DISTURBED AREAS USING SOD OR AN APPROVED PERMANENT SEED MIXTURE WITH REQUIRED SOIL AMENDMENTS AND AN APPROVED ANCHORED MULCH. WOOD FIBER MULCH MAY ONLY BE USED IN SEEDING SEASON WHERE THE SLOPE DOES NOT EXCEED 10% AND GRADING HAS BEEN DONE TO PROMOTE SHEET FLOW DRAINAGE. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON SHALL BE PERMANENTLY STABILIZED AS SOON AS POSSIBLE, BUT NOT LATER THAN THREE (3) CALENDAR DAYS AFTER ESTABLISHMENT FOR SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN (7) CALENDAR DAYS FOR FLATTER SLOPES. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED STRAW MULCH SHALL BE APPLIED TO DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
  24. TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE REMOVED WITH PERMISSION OF THE MDE INSPECTOR WITHIN THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. UPON REMOVAL OF SEDIMENT CONTROL DEVICES, THE AREA DISTURBED BY REMOVAL SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED, WITHIN 24 HOURS OF SAID REMOVAL. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.
  25. OFF-SITE SPOIL OR BORROW AREAS ON STATE OR FEDERAL PROPERTY SHALL HAVE PRIOR APPROVAL BY MDE AND OTHER APPLICABLE STATE, FEDERAL, AND LOCAL AGENCIES, OTHERWISE APPROVAL SHALL BE GRANTED BY THE LOCAL AUTHORITIES. ALL WASTE AND BORROW AREAS OFF-SITE SHALL BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.
- |  |                  |
|--|------------------|
| 26. SITE INFORMATION:                    |                  |
| A. AREA DISTURBED                        | 4.00 ACRES       |
| B. TOTAL CUT                             | 1406 CUBIC YARDS |
| C. TOTAL FILL                            | 996 CUBIC YARDS  |
| D. OFF-SITE WASTE / BORROW AREA LOCATION | N/A              |
| E. AREA TO BE ROOFED OR PAVED            | 1.26 ACRES       |
- NOTE: THE DISTURBED AREA FOR THIS PROJECT IS MORE THAN ONE ACRE. A MARYLAND DEPARTMENT OF THE ENVIRONMENT NPDES PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
27. SURFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES OR BY INSTALLING PROTECTIVE DEVICES TO LOWER THE WATER DOWNSLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF A CUT OR FILL SLOPE UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED, AT WHICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET FLOW DRAINAGE. PROTECTIVE METHODS MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
  28. NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NON-MAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN WITH A LOW-MAINTENANCE GROUND COVER SPECIFIED FOR PERMANENT STABILIZATION. SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION.
  29. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A FOUNDATION THAT EXISTS OR IS UNDER CONSTRUCTION. NO STRUCTURE MAY BE CONSTRUCTED WITHIN 20 FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
  30. SITES WHERE INFILTRATION DEVICES ARE USED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE STRUCTURE DURING CONSTRUCTION. SEDIMENT CONTROL DEVICES PLACED IN INFILTRATION AREAS MUST HAVE BOTTOM ELEVATIONS AT LEAST TWO (2) FEET HIGHER THAN THE FINISH GRADE BOTTOM ELEVATION OF THE INFILTRATION PRACTICE. WHEN CONVERTING A SEDIMENT TRAP TO AN INFILTRATION DEVICE, ALL ACCUMULATED SEDIMENT MUST BE REMOVED AND DISPOSED OF PRIOR TO FINAL GRADING OF INFILTRATION DEVICE.
  31. WHEN A STORM DRAIN SYSTEM OUTFALL IS DIRECTED TO A SEDIMENT TRAP OR SEDIMENT BASIN AND THE SYSTEM IS TO BE USED FOR TEMPORARILY CONVEYING SEDIMENT LADEN WATER, ALL STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT BERMS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.
  32. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER FEDERAL, STATE, AND LOCAL AUTHORIZATIONS WHICH MAY BE REQUIRED.
  33. THE APPROVAL OF THIS PLAN MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THIS SITE. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE 1-800-257-7777.



PROJECT:

**FINAL PLAN  
SUBMITTAL**

FUTURE INDUSTRIAL  
DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:

**CLYM**

CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



**bba**

Surveyors | Engineers | Planners

Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200      Frostburg, Maryland 21532  
Phone (301)-687-0494      Fax (301)-687-0495  
www.bbasurevey.com

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APPROVED:	MB	CRD FILE:	23088

**BBA# 2023088**

SHEET TITLE:

**MDE STANDARD  
EROSION & SEDIMENT  
DETAILS & NOTES**

IFR: 7/05/2024

SHEET #:

**C-325**

**SEQUENCE OF CONSTRUCTION**

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**SHORT-TERM**

THESE TASKS ARE TO BE COMPLETED DURING CONSTRUCTION OF THE AREA SURROUNDING THE BMP, DURING CONSTRUCTION AND ESTABLISHMENT OF THE BMP ITSELF, AND APPROXIMATELY THE FIRST THREE MONTHS AFTER THE BMP IS BROUGHT ONLINE.

**PRIOR TO AND DURING INSTALLATION AND ESTABLISHMENT OF BMP** - DURING CONSTRUCTION OF THE AREAS SURROUNDING THE BMP SITE, TAKE PREVENTATIVE ACTION TO LIMIT DISTURBANCES SUCH AS COMPACTING, LAND EXPOSURE, OR POLLUTION. THIS MAY BE ACHIEVED THROUGH PHASED CONSTRUCTION TO LIMIT THE AMOUNT OF BARE SOIL EXPOSED TO EROSION AND DECREASE NEED FOR EROSION CONTROL DEVICES. PRIOR TO BMP CONSTRUCTION, DEVELOPMENT OF THE SURROUNDING AREAS MUST BE COMPLETE. THIS IS TO REDUCE POTENTIAL FOR SEDIMENT INFLUX TO BMP AND CONSEQUENT CLOGGING. FOR INFILTRATION BMPs SUCH AS BIO-RETENTION FACILITIES IT IS CRITICAL THAT EXCESS SEDIMENT BE REMOVED AND MEASURES BE TAKEN TO PREVENT EXCESS SEDIMENT FROM ENTERING BMP. INSTALL BMP VEGETATION IN THE EARLY SPRING (MARCH-APRIL) OR ACCORDING TO THE GUIDELINES PROVIDED BY A VEGETATION EXPERT. SEVERAL METHODS CAN BE UTILIZED TO AUGMENT GRASS ESTABLISHMENT SUCH AS MULCHING AND COVER CROPS TO REDUCE COMPETITION FOR RESOURCES AND PREVENT WEED GROWTH. PREVENT OTHER DISTURBANCES, SUCH AS HUMAN/ANIMAL FOOT TRAFFIC, THROUGH SIGNAGE AND FENCING. SIGNAGE CAN ALSO BE USED TO RAISE PUBLIC INTEREST AND PROVIDE EDUCATION. STORMWATER RUNOFF SHOULD BE ROUTED AWAY FROM THE BMP FOR THE MINIMUM ESTABLISHMENT PERIOD OF 45 DAYS IN ORDER TO PREVENT DAMAGE. THIS WILL PREVENT NASCENT (YOUNG) GRASSES AND EXPENSIVE BMP COMPONENTS FROM BEING OVERWHELMED AND/OR DAMAGED IN WET WEATHER EVENTS. IRRIGATE VEGETATION AS NECESSARY DURING PERIOD THAT STORMWATER IS ROUTED AWAY FROM BMP TO AID IN ESTABLISHMENT. IN THE EVENT THE BMP IS UTILIZED FOR TEMPORARY SEDIMENT CONTROL, THE AREA SHALL BE PROTECTED FROM HEAVY EQUIPMENT TRAFFIC AND RESTORED TO SUITABLE SOIL/PLANTING CONDITIONS PRIOR TO FINAL INSTALLATION.

**DURING THREE MONTHS POST-INSTALLATION** - THIS PERIOD IS TO MONITOR BMP FUNCTION DURING THE INITIAL THREE MONTHS AFTER THE BMP BEGINS TO RECEIVE STORMWATER. WITHIN 24 HOURS OF EVERY STORMWATER EVENT WHICH RESULTS IN PRECIPITATION OF 0.5 INCHES OR GREATER, INSPECT BMP TO ENSURE THAT VEGETATION AND OTHER EROSION CONTROL MECHANISMS ARE INTACT. CHECK STRUCTURES FOR STABILITY AND REMOVE TRASH AND DEBRIS. THIS THREE MONTH TIME FRAME IS AN OPPORTUNITY TO BEGIN COMMUNITY INVOLVEMENT - THEY WILL SEE THE EVOLUTION OF THE BMP. HELP ESTABLISH "GREEN TEAMS" OR OTHER COMMUNITY GROUPS TO HELP MAINTAIN BMP WITH WEEDING AND TRASH REMOVAL. DURING THIS TIME IT IS CRITICAL THAT VEGETATION BE MONITORED AND THAT DEAD PLANTS ARE REPLACED. MAINTAIN AT LEAST A 70-PERCENT VEGETATION DENSITY TO ENSURE STABILITY. CONTINUE IRRIGATION TO SUPPLEMENT RAINFALL DURING DRY SUMMER MONTHS.

**SHORT-TERM MAINTENANCE TASKS FOR VEGETATED BMP**

PRIOR TO AND DURING INSTALLATION AND ESTABLISHMENT OF BMP

TASK	DESCRIPTION
ENCOURAGE PHASED CONSTRUCTION OF DEVELOPMENT SURROUNDING BMP	UTILIZE STAGED CONSTRUCTION TO LIMIT EROSION POTENTIAL OF LAND EXPOSED
PROVIDE TEMPORARY STORMWATER CONTROL	STORMWATER RUNOFF SHALL BE ROUTED AROUND FACILITY UNTIL VEGETATION IS ESTABLISHED (GENERALLY 2-3 MONTHS)
PROVIDE SITE STABILIZATION	UTILIZE EROSION CONTROL DURING CONSTRUCTION AND UNTIL FACILITY IS ESTABLISHED
PROTECTION FROM FOOT TRAFFIC AND BMP EDUCATION THROUGH SIGNAGE	USE FENCING AND SIGNAGE TO PREVENT DAMAGE FROM ANIMAL AND HUMAN FOOT TRAFFIC AND TO INITIATE PUBLIC INTEREST AND EDUCATION
PLANTING OF NATIVE VEGETATION	OPTIMUM PLANTING WINDOW DEPENDS ON LOCATION; SEE LANDSCAPE PLANS AND SEDIMENT EROSION CONTROL PLANS FOR SEEDING RATES AND PLANTING REQUIREMENTS
MULCHING	USE MULCH MADE FROM NATIVE HAY OR NATIVE PLANTS TO REDUCE POTENTIAL COMPETITION FOR RESOURCES
FERTILIZATION	TYPICALLY WITH NATIVE VEGETATION FERTILIZATION IS NOT REQUIRED, HOWEVER CONSULT LOCAL NRCS FOR FERTILIZING SUGGESTIONS AFTER SOILS TEST
IRRIGATION/WATERING	WATERING SCHEDULE MUST BE ESTABLISHED FOR UPKEEP OF VEGETATION

DURING 3 MONTHS POST-INSTALLATION

TASK	DESCRIPTION
POST WET-WEATHER EVENT (PRECIPITATION > 0.5")	ENSURE THAT VEGETATION AND OTHER EROSION STABILIZING MECHANISMS ARE INTACT AND CHECK INLET/OUTLET STRUCTURES AND SURROUNDING AREA FOR SIGNS OF EROSION OR INSTABILITY
PROTECTION FROM FOOT TRAFFIC AND BMP EDUCATION THROUGH SIGNAGE	USE FENCING AND SIGNAGE TO PREVENT DAMAGE FROM ANIMAL AND HUMAN FOOT TRAFFIC AND TO ENCOURAGE BMP EDUCATION AND INTEREST
CHECK AREAS SURROUNDING BMPs	CHECK FOR SIGNS OF EROSION OR INSTABILITY AND MAKE SURE THAT AESTHETICS ARE MAINTAINED THROUGHOUT THE BMP FOOTPRINT
IRRIGATION/WATERING	WATERING SCHEDULE MUST BE ESTABLISHED FOR UPKEEP OF VEGETATION
WEEDING	PARTICULARLY IMPORTANT DURING INITIAL GROWTH TO REDUCE COMPETITION FOR MOISTURE, NUTRIENTS, AND SUNLIGHT
REPLACEMENT OF DEAD PLANTS	ALL DEAD PLANTS SHOULD BE REMOVED, THE CAUSE OF THEIR DEATH INVESTIGATED, AND IF THE CAUSE IS THE BMP ENVIRONMENT, ATTEMPT GROWTH OF NEW PLANT TYPE
ESTABLISH "GREEN TEAMS" OR OTHER COMMUNITY GROUPS	ENCOURAGE COMMUNITY INVOLVEMENT AND ESTABLISH MAINTENANCE CREWS TO PERFORM ROUTINE CLEAN OUT OF TRASH AND DEBRIS AND TO MAINTAIN APPEARANCE OF BMP

**LONG-TERM**

THESE TASKS ARE TO BE COMPLETED BI-ANNUALLY ACCORDING TO THE VEGETATION GROWING SEASON. TASKS TO BE CARRIED OUT DURING THESE BI-ANNUAL INSPECTIONS WILL BE ROUTINE FOR EACH YEAR OF THE BMPs LIFE. NATIVE GRASSES TYPICALLY BECOME FULLY ESTABLISHED IN TWO TO THREE GROWING SEASONS. THE MAIN PURPOSE OF THESE INSPECTIONS IS TO ASSESS THE BMP CONDITION, AND REMEDY FUNCTIONAL AND VEGETATION ISSUES IDENTIFIED.

**FALL INSPECTION - END OF GROWING SEASON (AUGUST-SEPTEMBER)** - THE TIMING OF THIS INSPECTION SHOULD CORRESPOND TO THE TAPERING OF VEGETATION GROWTH IN EARLY FALL. AT THIS TIME, THE VEGETATION SHOULD BE HARVESTED TO RETAIN THE MAXIMUM NUTRIENT VALUE. CLIP OR MOW STORMWATER TO A MINIMUM OF 4-6 INCHES. RETAIN 4-6 INCHES OF STALK TO ENSURE WINTER SURVIVAL AND MAINTENANCE OF THE ROOT SYSTEMS. GENERAL CLEAN UP OF THE PLANT BED SHOULD ALSO OCCUR AT THIS TIME TO REMOVE DEAD PLANTS AND INVASIVE SPECIES. OTHER LANDSCAPING MAY BE REQUIRED TO MAINTAIN THE AESTHETIC CONDITION OF THE BMP OVER THE WINTER.

**SPRING INSPECTION-BEGINNING OF GROWING SEASON (MARCH-APRIL)** - THE SPRING INSPECTION SHOULD OCCUR AT THE BEGINNING OF THE SPRING SEASON BEFORE VEGETATION GROWTH. LANDSCAPING DUTIES INCLUDE REPLACING AND AUGMENTING EXISTING VEGETATION. WINTER WEATHER WILL WARRANT A GENERAL CLEAN UP OF THE BMP TO MAINTAIN AESTHETICS. CLEAN OUT TRASH AND DEBRIS AND CLEAN UP EDUCATIONAL SIGNS.

**COMMON INSPECTION ITEMS FOR BOTH FALL AND SPRING** - A PROFESSIONAL INSPECTION SHOULD OCCUR ONCE A YEAR AT EITHER THE FALL OR SPRING INSPECTION TO ASSESS THE FUNCTIONAL CONDITION OF THE BMP. BMP STRUCTURES SUCH AS DAMS, EMBANKMENTS, INLETS, AND OUTLETS SHOULD BE ASSESSED FOR STABILITY AND FUNCTION. WAYS TO ASSESS BMP FUNCTION INCLUDE CHECKING FOR STANDING WATER, SEDIMENT ACCUMULATION, AND SIGNS OF EROSION. SEDIMENT SHOULD BE REMOVED FROM THE BMP WHEN THE GROUND SURFACE IS COMPLETELY DRY. REMOVING SEDIMENT WHEN THE BMP IS WET MAY CAUSE COMPACTION. CHECK AREAS SURROUNDING THE BMP FOR SIGNS OF EROSION OR INSTABILITY. ALSO MAKE SURE THAT AESTHETICS ARE MAINTAINED THROUGHOUT THE BMP FOOTPRINT. TREES AND OTHER LARGE VEGETATION SHOULD BE REMOVED TO PREVENT LATERAL DAMAGE TO THE BMP VIA ROOT GROWTH. SHADE-PRODUCING VEGETATION IS NOT DESIRABLE IN A BMP WITH GRASSES.

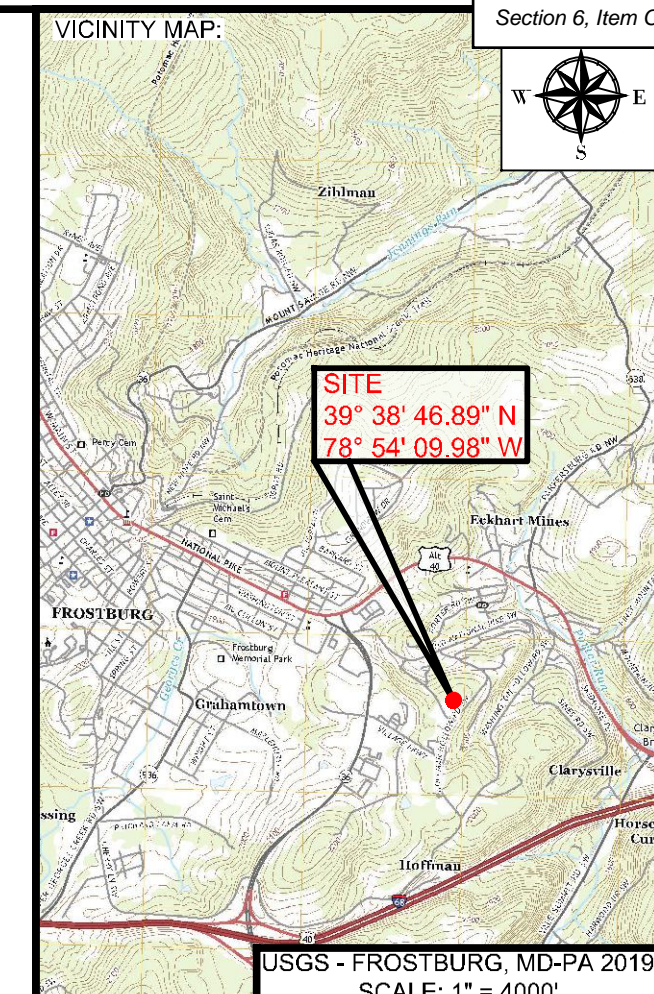
**LONG-TERM MAINTENANCE TASKS FOR VEGETATED BMP**

END OF GROWING SEASON (AUGUST – SEPTEMBER)

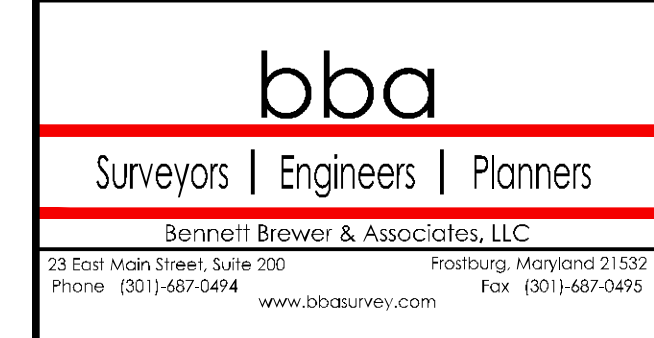
TASK	DESCRIPTION
GENERAL INSPECTION	CHECK FOR STANDING WATER, SLOPE STABILITY, SEDIMENT ACCUMULATION, TRASH AND DEBRIS, PRESENCE OF BURROWS AND EROSION, AND INTEGRITY OF INLET/OUTLET, DAM, AND OTHER ENGINEERED STRUCTURES
CLEAN OUT SEDIMENTS AND DEBRIS	CLEAN OUT SEDIMENTS AND DEBRIS FROM INLET, OUTLET, THE BMP AND FOR DETENTION BASINS, REMOVE SEDIMENT WHEN ACCUMULATION REDUCES THE PERMANENT POOL BY 10-PERCENT OR THE FOREBAY BY 50-PERCENT AND DISPOSE OF APPROPRIATELY
CHECK AREAS SURROUNDING BMPs	CHECK FOR SIGNS OF EROSION OR INSTABILITY AND MAKE SURE THAT AESTHETICS ARE MAINTAINED THROUGHOUT THE BMP FOOTPRINT
MOWING/HARVEST	NATIVE GRASSES SHOULD BE TRIMMED TO 4-6" TO PROVIDE ADEQUATE BIOMASS FOR REGROWTH THE FOLLOWING YEAR
MAINTAIN BMP SIGNAGE	REPAIRS SHOULD BE MADE TO SIGNAGE, WALKWAYS, PICNIC TABLES, OR ANY OTHER PUBLIC RECREATION EQUIPMENT AS NECESSARY
WINTER STABILIZATION	MAY BE NECESSARY TO ESTABLISH EROSION PREVENTION PRACTICES TO MAINTAIN BMP OVER THE WINTER WHEN PLANTS ARE DORMANT
CONTINUE TO SUPPORT AND EDUCATE "GREEN TEAMS" OR OTHER COMMUNITY GROUPS	IT IS IMPORTANT TO MAINTAIN COMMUNITY INVOLVEMENT AND PROVIDE EDUCATION AND OPPORTUNITIES FOR SERVICE

BEGINNING OF GROWING SEASON (MARCH – APRIL)

TASK	DESCRIPTION
GENERAL INSPECTION	CHECK FOR STANDING WATER, SLOPE STABILITY, SEDIMENT ACCUMULATION, TRASH AND DEBRIS, PRESENCE OF BURROWS AND EROSION, AND INTEGRITY OF INLET/OUTLET, DAM, AND OTHER ENGINEERED STRUCTURES
CLEAN OUT SEDIMENTS AND DEBRIS	CLEAN OUT SEDIMENTS AND DEBRIS FROM INLET, OUTLET, THE BMP AND FOR DETENTION BASINS, REMOVE SEDIMENT WHEN ACCUMULATION REDUCES THE PERMANENT POOL BY 10-PERCENT OR THE FOREBAY BY 50-PERCENT AND DISPOSE OF APPROPRIATELY
PROVIDE SITE STABILIZATION	ENSURE THAT VEGETATION AND OTHER EROSION STABILIZING MECHANISMS ARE INTACT
CHECK AREAS SURROUNDING BMPs	CHECK FOR SIGNS OF EROSION OR INSTABILITY AND MAKE SURE THAT AESTHETICS ARE MAINTAINED THROUGHOUT THE BMP FOOTPRINT
WEEDING/PRUNING	REMOVE INVASIVE AND EXCESS BIOMASS AND DISPOSE OF APPROPRIATELY
REPLACE/AUGMENT VEGETATION	AUGMENT EXISTING PLANTS BY SAME PLANTING PROCEDURE AS DURING CONSTRUCTION IF NECESSARY AND DEAD PLANTS SHOULD BE REMOVED AND REPLACED
CONTINUE TO SUPPORT AND EDUCATE "GREEN TEAMS" OR OTHER COMMUNITY GROUPS	IT IS IMPORTANT TO MAINTAIN COMMUNITY INVOLVEMENT AND PROVIDE EDUCATION AND OPPORTUNITIES FOR SERVICE



PROJECT:  
**FINAL PLAN SUBMITTAL**  
 FUTURE INDUSTRIAL DEVELOPMENT SITE  
 FROSTBURG BUSINESS PARK  
 FROSTBURG  
 ZONING: T-LI  
 ELECTION DISTRICT: 24-000  
 ALLEGANY COUNTY  
 MARYLAND



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CHECKED:	MB	SCALE:	AS NOTED
APPROVED:	MB	CRD FILE:	23088

BBA# 2023088  
 SHEET TITLE:  
**VEGETATED BMP INSTALLATION & MAINTENANCE NOTES**  
**IFR: 7/05/2024**  
 SHEET #:  
**C-326**

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CONSTRUCTION RECOMMENDATIONS

SITE PREPARATION

INITIAL SITE CLEARING AND GRUBBING SHOULD INCLUDE REMOVAL OF THE TOPSOIL ANY DELETERIOUS MATERIALS WITHIN AREAS TO RECEIVE NEW FILL. AFTER REMOVAL OF THE UNSUITABLE MATERIALS, THE SUBGRADE SOILS SHOULD BE HEAVILY PROOF-ROLLED WITH APPROVED CONSTRUCTION EQUIPMENT TO LOCATE ISOLATED SOFT SPOTS OR AREAS OF EXCESSIVE "PUMPING" WHICH ARE TOO WET AND UNSTABLE TO ACCOMMODATE COMPACTED FILL. THESE AREAS SHOULD BE EITHER SCARIFIED, AIR-DRIED TO AN APPROPRIATE MOISTURE CONTENT AND RE-COMPACTED PRIOR TO FILL PLACEMENT, MECHANICALLY STABILIZED UTILIZING VARYING SIZED ROCK OR EXCAVATED TO A LEVEL OF STABLE SOILS.

EXCAVATION AREAS

IN GENERAL, THE RESIDUAL SOILS CAN BE EXCAVATED WITH CONVENTIONAL EARTH MOVING EQUIPMENT SUCH AS BACKHOES AND TRACKED LOADERS. DECOMPOSED ROCK ENCOUNTERED CAN POSSIBLY BE REMOVED TO A LIMITED EXTENT WITH A RIPPER. HOWEVER, HARD BEDROCK OR LARGE BOULDERS WILL REQUIRE HOE RAMMING OR FOR EFFECTIVE REMOVAL. DUE TO THE UNDERGROUND MINING AT THE SITE BLASTING FOR ROCK REMOVAL IS NOT RECOMMENDED. DURING EXCAVATION OPERATIONS, DRY CONDITIONS SHOULD BE MAINTAINED WITHIN THE CUT AREAS AT ALL TIMES TO MINIMIZE THE NEED FOR ADDITIONAL UNDERCUTTING OR AERATION OF SOILS. THE CONTRACTOR SHOULD BE PREPARED TO IMPLEMENT TEMPORARY DE-WATERING MEASURES IN THESE AREAS DURING CONSTRUCTION. ALL CUT AREAS SHOULD BE SEALED AT THE END OF EACH DAY, TO THE EXTENT WHICH CONSTRUCTION PRACTICALITY WILL PERMIT, TO HELP PREVENT INFILTRATION OF PRECIPITATION AND SUBSEQUENT UNSUITABLE SOIL CONDITIONS. ALL TRENCHES SHOULD BE SLOPED AND/OR SUPPORTED IN ACCORDANCE WITH CURRENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.) REQUIREMENTS. TRENCHES BELOW STRUCTURE AND PAVEMENT AREAS SHOULD BE BACKFILLED IN ACCORDANCE WITH THE CONTROLLED FILL SECTION OF THIS REPORT.

CONTROLLED FILL

SATISFACTORY SOILS

FILL MATERIALS SHOULD NOT CONTAIN ANY PYRITES, DEBRIS, WASTE, OR FROZEN MATERIALS AND THEY SHOULD CONTAIN LESS THAN TWO (2) PERCENT VEGETATION-ORGANIC MATERIALS BY WEIGHT. ALSO, MATERIALS CLASSIFIED AS O, OH, OR PT ARE NOT SUITABLE FOR USE AS STRUCTURAL FILL. THE ON-SITE SOILS ARE GENERALLY SUITABLE FOR RE-USE AS STRUCTURAL FILL PROVIDED THAT PROPER DRAINAGE, GRADING AND SLOPING AWAY FROM THE STRUCTURE IS MAINTAINED BOTH DURING AND AFTER CONSTRUCTION. BLASTED OR "SHOT" ROCK CAN BE UTILIZED FOR FILL PROVIDED THAT CERTAIN CONSTRUCTION PROCEDURES ARE OBSERVED. THESE PROCEDURES INCLUDE MAINTAINING THE MAXIMUM PARTICLE SIZE OF THE ROCK, PROHIBITING NESTING OF BOULDERS, AND MIXING SUFFICIENT AMOUNTS OF SOIL FINES WITH THE ROCK TO FILL IN OPEN VOIDS BETWEEN THE ROCK PARTICLES. MATERIALS PLACED FROM THE SUBGRADE TO A DEPTH OF 1 FOOT BELOW UTILITY INVERT LEVELS, IN THE TOP ONE (1) FOOT OF PAVEMENT SUBGRADE AND TO A DEPTH OF 1 FOOT BELOW FOUNDATION SUBGRADE SHOULD BE FREE OF ROCK OR GRAVEL LARGER THAN SIX (6) INCHES IN ANY DIMENSION. MATERIALS PLACED BELOW THESE LEVELS SHOULD BE FREE OF ROCK LARGER THAN TWELVE (12) INCHES IN ANY DIMENSION. ALL PROPOSED FILL MATERIALS SHOULD BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT AS CONTROLLED FILL, AND REPRESENTATIVE SAMPLES SHOULD BE SUBMITTED BY THE CONTRACTOR ONE WEEK PRIOR TO PLACEMENT OF THAT MATERIAL TO ALLOW TIME FOR COMPLETION OF THE NECESSARY LABORATORY TESTS.

PLACEMENT AND COMPACTION

BEFORE COMPACTION, EACH LAYER SHOULD BE MOISTENED OR AERATED AS NECESSARY TO OBTAIN THE REQUIRED COMPACTION. EACH LAYER SHOULD BE COMPACTED TO THE REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY. FILL SHOULD NOT BE PLACED ON SURFACES THAT ARE MUDDY OR FROZEN, OR HAVE NOT BEEN APPROVED BY TESTING AND/OR PROOF-ROLLING. FREE WATER SHOULD BE PREVENTED FROM APPEARING ON THE SURFACE DURING OR SUBSEQUENT TO COMPACTION OPERATIONS. SOIL MATERIAL WHICH IS REMOVED BECAUSE IT IS TOO WET TO PERMIT PROPER COMPACTION CAN BE SPREAD AND ALLOWED TO DRY. DRYING CAN BE FACILITATED BY DISCING OR HARROWING UNTIL THE MOISTURE CONTENT IS REDUCED TO AN ACCEPTABLE LEVEL. WHEN THE SOIL IS TOO DRY, WATER SHOULD BE APPLIED UNIFORMLY TO THE SUBGRADE SURFACE OR TO THE LAYER TO BE COMPACTED. ALL FILL MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT SHOULD BE PLACED IN MAXIMUM 12-INCH LOOSE LIFTS. ALL FILL MATERIAL COMPACTED BY HAND-OPERATED TAMPERS OR LIGHT COMPACTION EQUIPMENT SHOULD BE PLACED IN MAXIMUM 4-INCH LOOSE LIFTS. FILL MATERIAL SHOULD BE COMPACTED TO AT LEAST 98 PERCENT OF THE LABORATORY MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D 698). THE MOISTURE CONTENT OF THE SOILS SHOULD BE AT OR WITHIN TWO (2) PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT. IN AREAS WHERE WEATHERED ROCK FILL IS PLACED, MINIMUM PASSES WITH COMPACTION EQUIPMENT SHOULD BE ESTABLISHED DURING CONSTRUCTION, AND ALL AREAS SHOULD BE PROOF-ROLLED FOR ACCEPTANCE OF COMPACTION WHERE DENSITY TESTS CANNOT BE REASONABLY CONDUCTED.

FOUNDATION CONSTRUCTION

WE ANTICIPATE THAT CONVENTIONAL EARTH EXCAVATION EQUIPMENT SUCH AS A BACKHOE CAN BE UTILIZED TO EXCAVATE THE ALLUVIAL SOILS OR CONTROLLED FILL FOR FOUNDATION CONSTRUCTION. ANY FOUNDATION EXCAVATIONS WHICH ENCOUNTER HARD ROCK WILL REQUIRE HOE RAM CHIPPING TO ATTAIN REQUIRED BEARING ELEVATIONS. WE RECOMMEND THAT ANY LOOSE MATERIALS PRESENT AT THE BOTTOM OF FOOTING EXCAVATIONS AS A RESULT OF EXCAVATION OPERATIONS BE RE-COMPACTED IN ORDER TO MINIMIZE DIFFERENTIAL SETTLEMENTS. IF PARTIAL HARD ROCK BEARING IS ENCOUNTERED AT THE BOTTOM OF PROPOSED FOOTING LEVELS, WE RECOMMEND THAT THE ROCK BE UNDERCUT A MINIMUM OF ONE (1) FOOT AND BE REPLACED WITH CONTROLLED FILL. THIS TREATMENT GENERALLY REDUCES THE MAGNITUDE OF DIFFERENTIAL SETTLEMENTS ASSOCIATED WITH FOOTINGS BEARING PARTIALLY ON HARD ROCK AND PARTIALLY ON SOIL. FOUNDATION CONCRETE SHOULD BE PLACED THE SAME DAY THAT EXCAVATIONS ARE COMPLETED TO REDUCE THE POTENTIAL FOR SOFTENING DUE TO PRECIPITATION AND/OR RUNOFF. ALL FOOTING EXCAVATIONS FOR THE PROPOSED STRUCTURES SHOULD BE EXAMINED BY A GEOTECHNICAL ENGINEER OR A QUALIFIED REPRESENTATIVE FROM OUR OFFICE PRIOR TO PLACING CONCRETE TO CONFIRM THAT THE REQUIRED BEARING SUPPORT IS AVAILABLE.

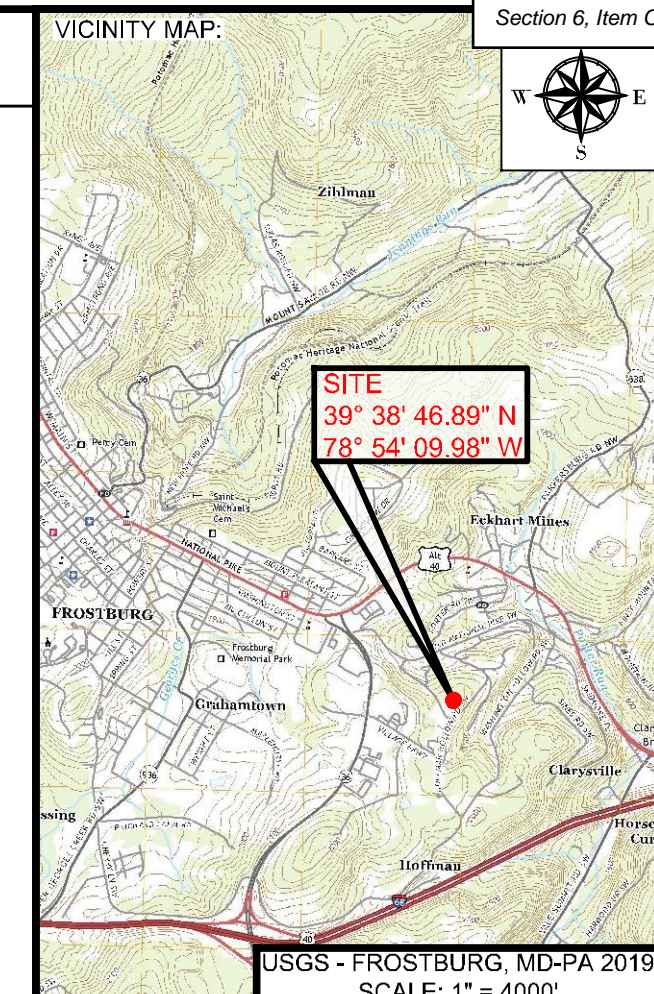
PAVEMENT CONSTRUCTION

DRAINAGE DITCHES AND/OR INLETS SHOULD BE CONSTRUCTED FOR THE ACCESS ROADS AND PAVEMENT AREAS TO MAINTAIN DRAINAGE AND DIVERT RUNOFF AWAY FROM THE PAVEMENT SUBGRADE. IT IS VERY IMPORTANT THAT THE PAVEMENT SUBGRADE BE PROPERLY SLOPED TO HELP MAINTAIN ADEQUATE DRAINAGE AFTER CONSTRUCTION. ANY WET/UNSTABLE SOILS PRESENT AT THE SUBGRADE LEVEL DURING GRADING OPERATIONS SHOULD BE EITHER SCARIFIED, AERATED AND RE-COMPACTED OR SHOULD BE REMOVED AND REPLACED WITH SUITABLE FILL MATERIALS. UNSUITABLE SUBGRADE CONDITIONS SHOULD BE CORRECTED IMMEDIATELY PRIOR TO PLACEMENT OF BASE STONE AND CONCRETE. BOTH THE AGGREGATE BASE, ASPHALT AND/OR CONCRETE SHOULD BE PLACED IMMEDIATELY AFTER FINAL SOIL SUBGRADE APPROVAL HAS BEEN OBTAINED DUE TO THE POTENTIAL FOR SUBGRADE SOFTENING FROM ADVERSE WEATHER CONDITIONS. IN ADDITION, HEAVY CONSTRUCTION TRAFFIC SHOULD BE LIMITED FROM TRAVELING ACROSS APPROVED FINAL SUBGRADE AREAS THAT HAVE BEEN SUBJECTED TO ADVERSE WEATHER CONDITIONS IN ORDER TO HELP MAINTAIN A STABLE SUBGRADE PRIOR TO PAVEMENT CONSTRUCTION. IF HARD ROCK IS ENCOUNTERED ABOVE FINAL GRADES IN PAVEMENT AREA EXCAVATIONS, IT SHOULD BE OVER-EXCAVATED TO AT LEAST THE LEVEL OF THE BOTTOM OF THE PAVEMENT SECTION (I.E., THE BOTTOM OF THE AGGREGATE BASE MATERIAL).

CONSTRUCTION MONITORING

WE RECOMMEND THAT TRIAD BE RETAINED TO MONITOR THE CONSTRUCTION ACTIVITIES TO VERIFY THAT THE FIELD CONDITIONS ARE CONSISTENT WITH THE FINDINGS OF OUR EXPLORATION. IF SIGNIFICANT VARIATIONS ARE ENCOUNTERED, OR IF THE DESIGN IS ALTERED, WE SHOULD BE NOTIFIED. AS PART OF THIS EFFORT, TRIAD SHOULD BE PRESENT TO LOG AND ADDITIONAL BORINGS OR AIR TRACK HOLES PERFORMED AT THE SITE AS WELL AS ANY MINE GROUTING PERFORMED.

TRIAD SHOULD PROVIDE PERSONNEL AS REQUIRED TO OBSERVE ALL EXCAVATIONS AND DOCUMENT PROOF-ROLLING PRIOR TO FILL PLACEMENT. IN ADDITION, ALL FILL MATERIAL SHOULD BE MONITORED, TESTED AND APPROVED DURING FILL CONSTRUCTION. FIELD DENSITY TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH ASTM D 6938 (NUCLEAR METHOD). A MINIMUM OF THREE FIELD DENSITY TESTS SHOULD BE PERFORMED FOR EACH LIFT OF FILL PLACED OR A MINIMUM OF ONE TEST EVERY 2,500 SQUARE FEET OF FILL PLACED TO CONFIRM THE REQUIRED SOIL COMPACTION.



PROJECT: **FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
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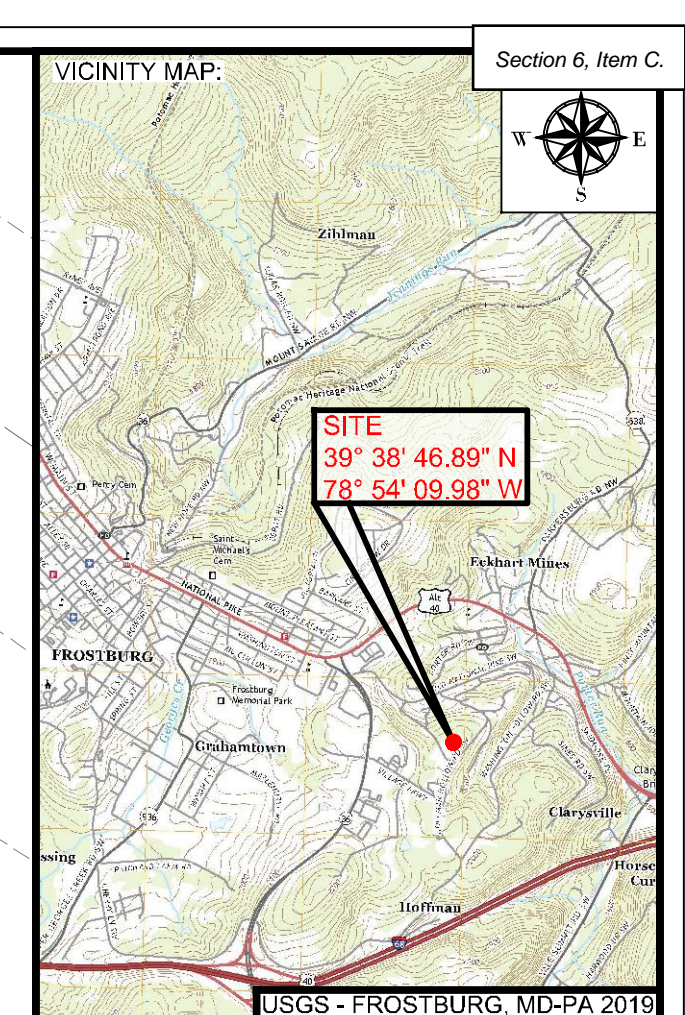
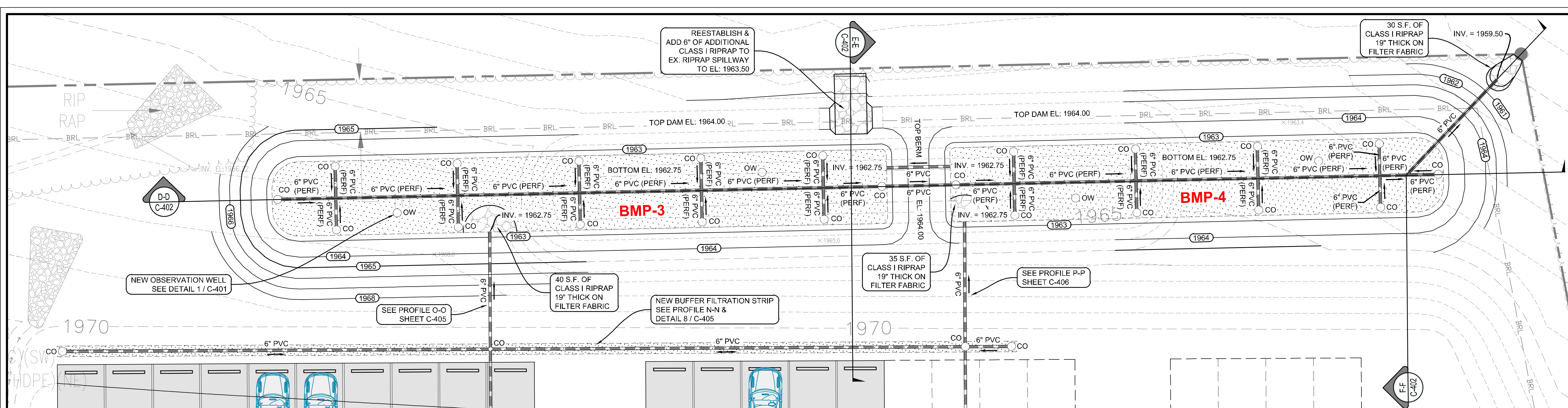
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**EARTHWORK & EARTH MOVING SPECIFICATIONS**  
**IFR: 7/05/2024**  
SHEET #:  
**C-327**

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Services\PRODUCTION\C-321 SERIES.dwg - Design Services\PRODUCTION\C-321 SERIES.dwg - LAST SAVE BY: work106 - PLOT DATE/TIME: 7/4/2024 - 1:35pm - 29



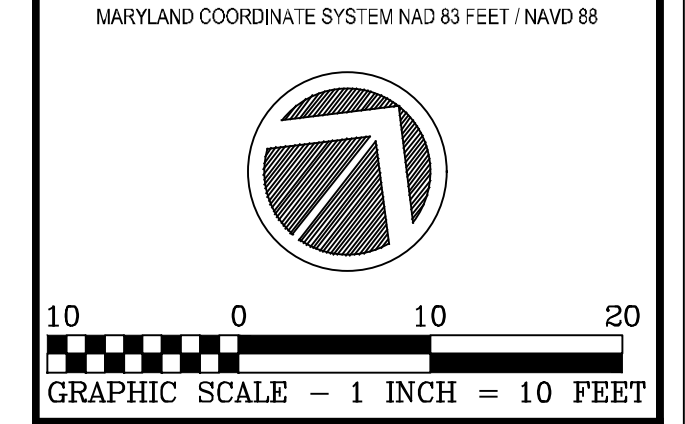




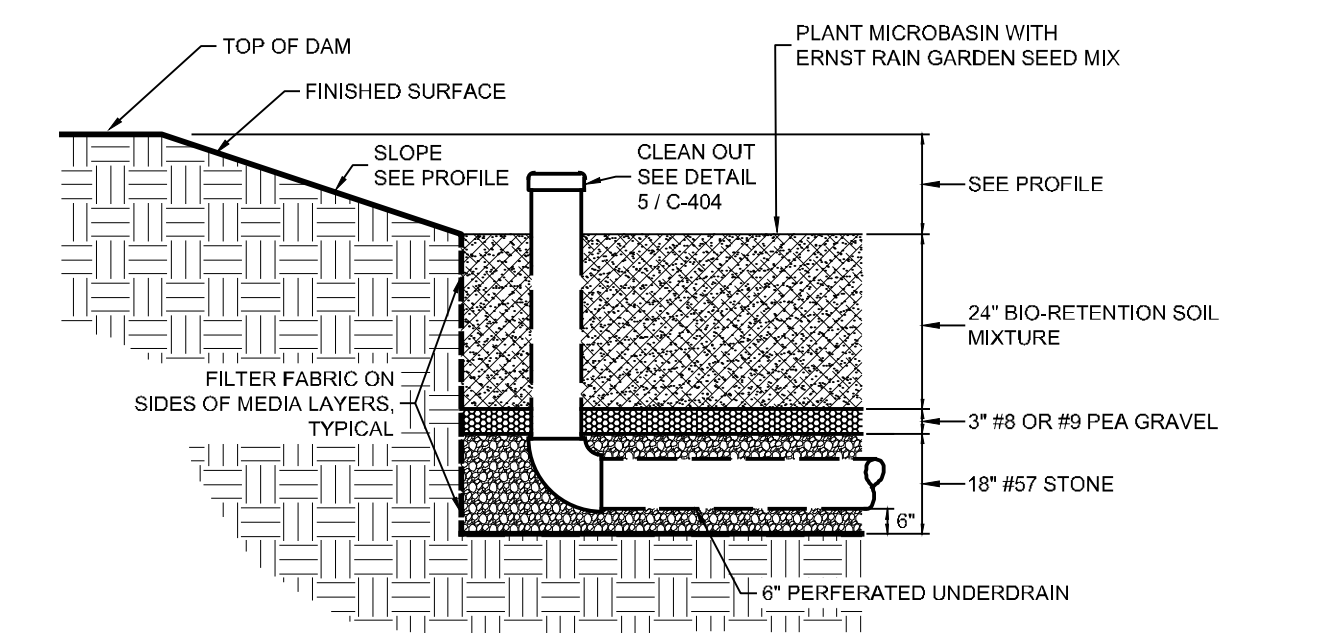
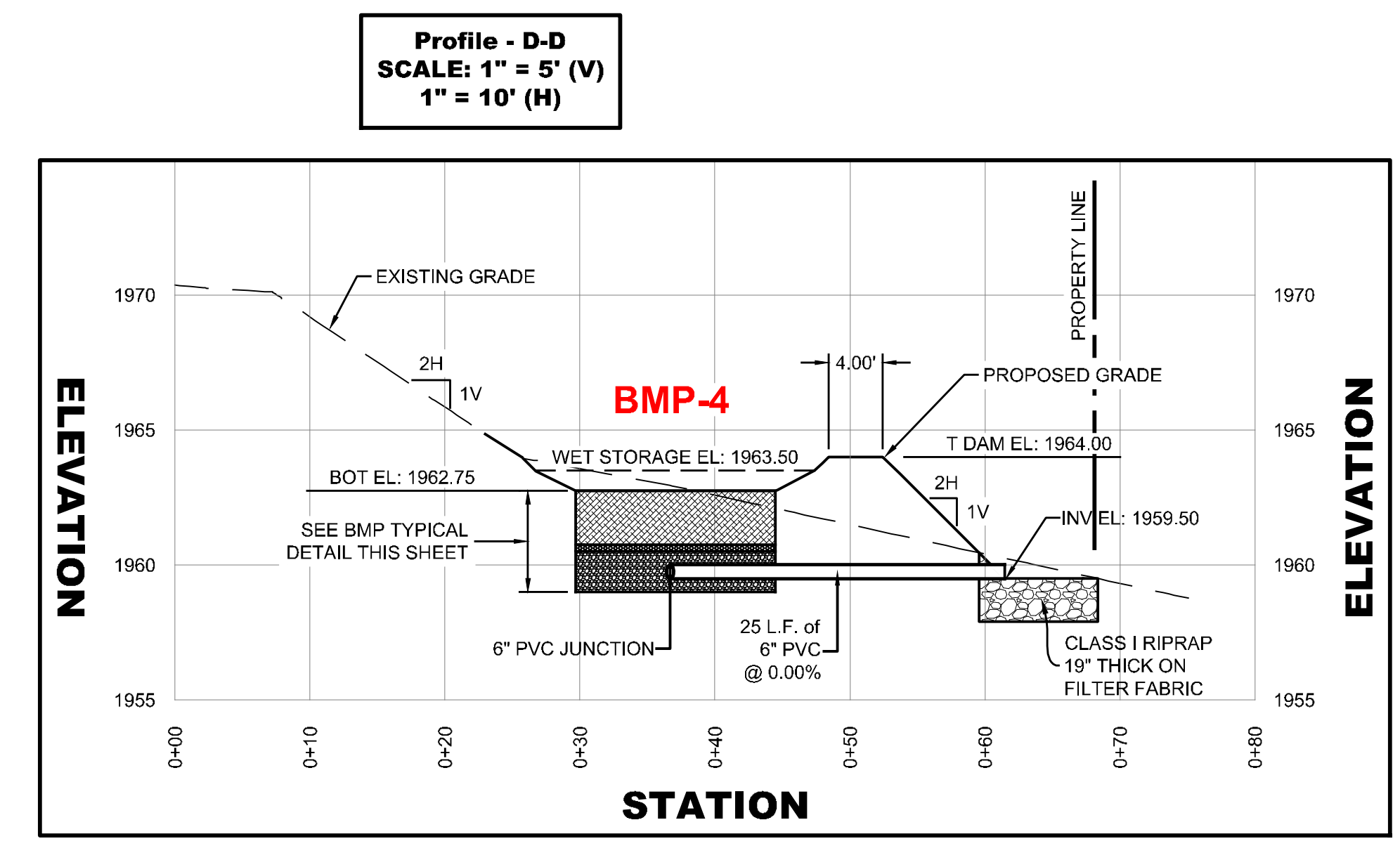
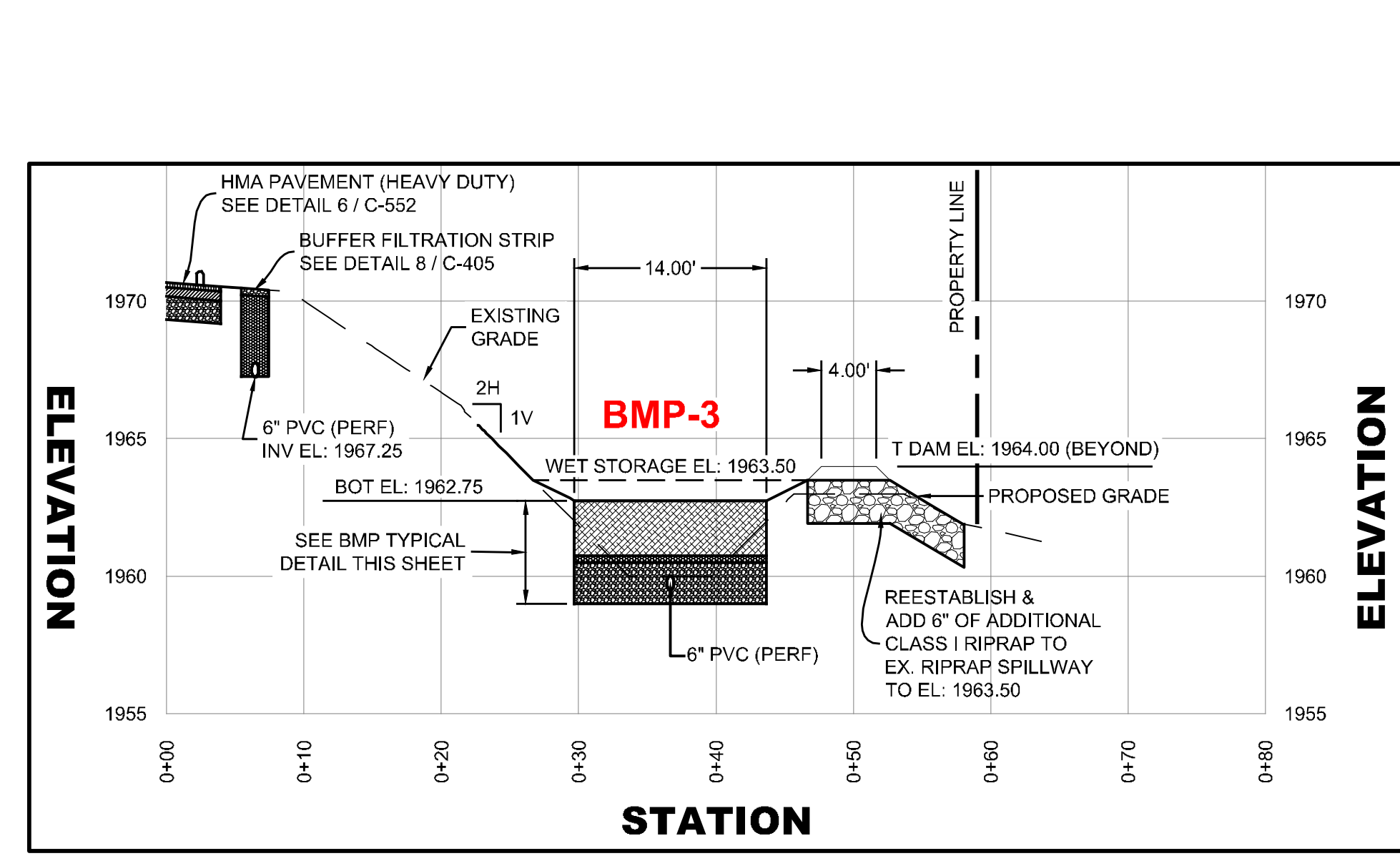
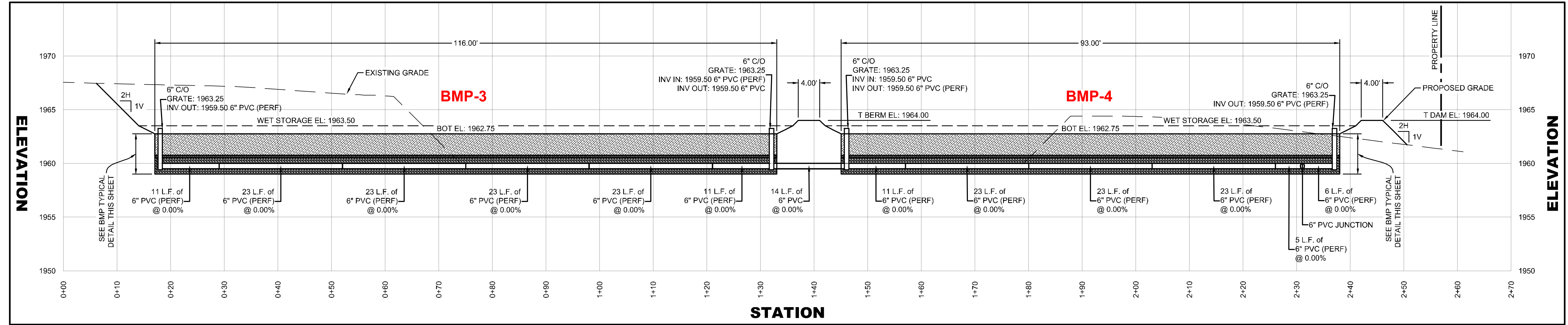


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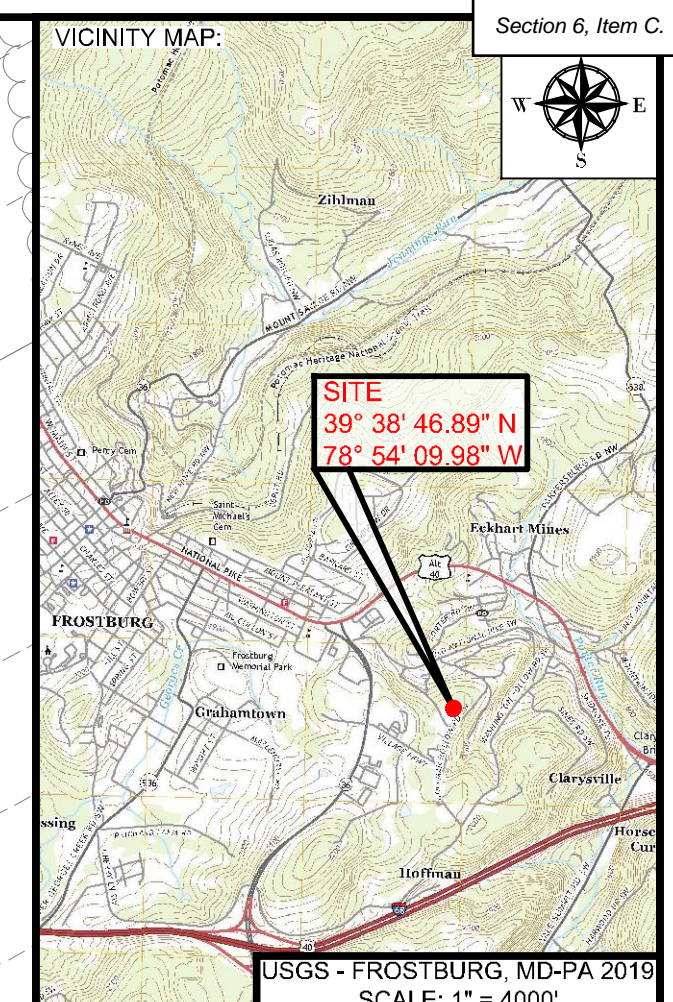
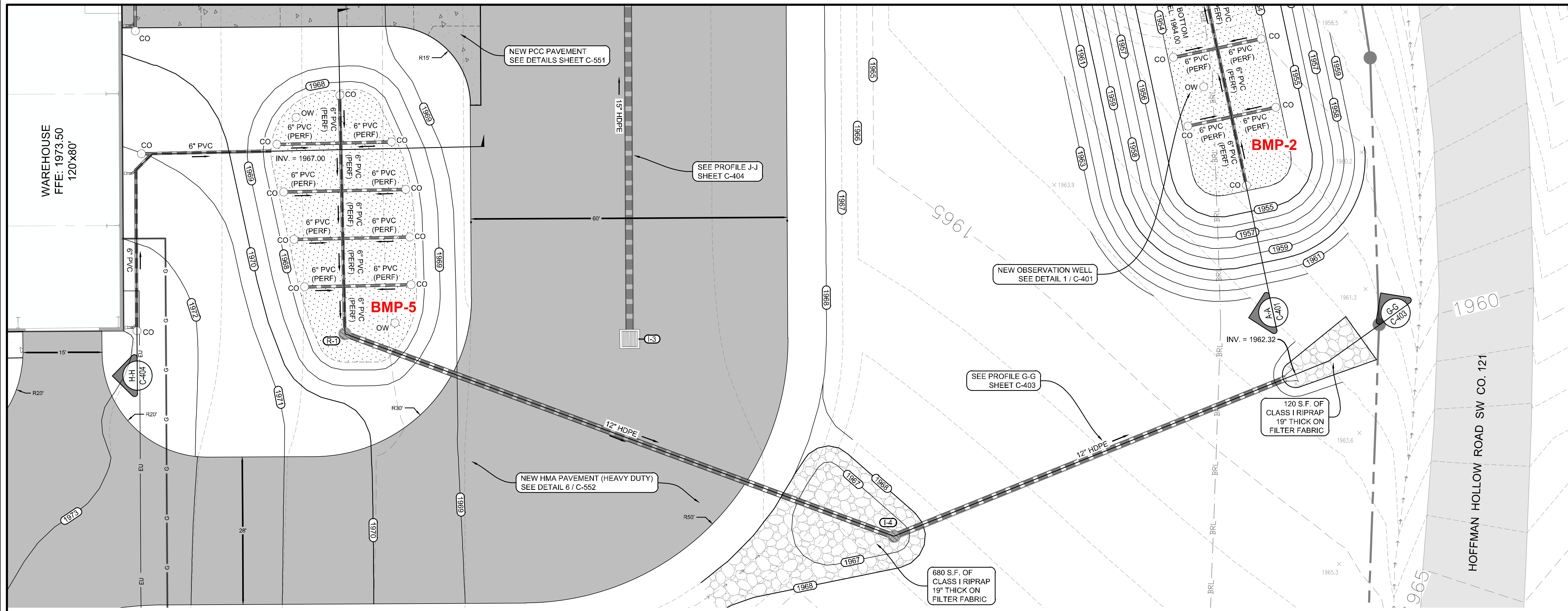
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 APPROVED: MB CRD FILE: 23088

BBA# 2023088  
 SHEET TITLE:  
**MICROBASIN 3 & 4 & STORM DRAIN DETAILS**  
 IFR: 7/05/2024  
 SHEET #:  
 C-402

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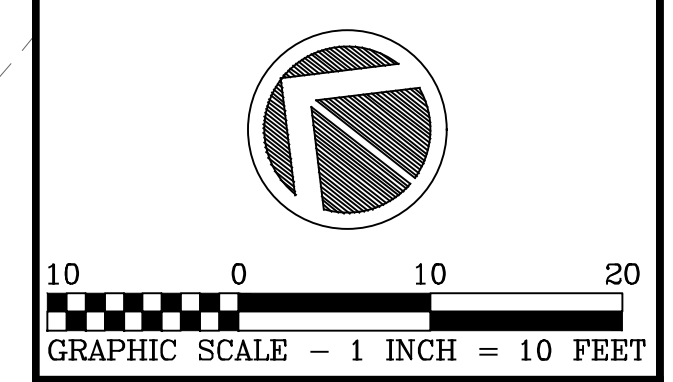
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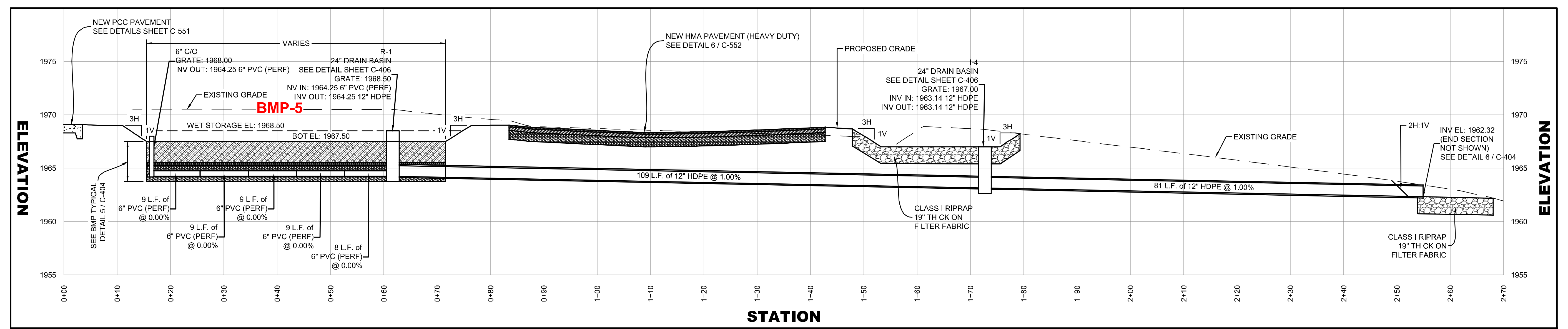
MARYLAND COORDINATE SYSTEM NAD 83 FEET / NAVD 88



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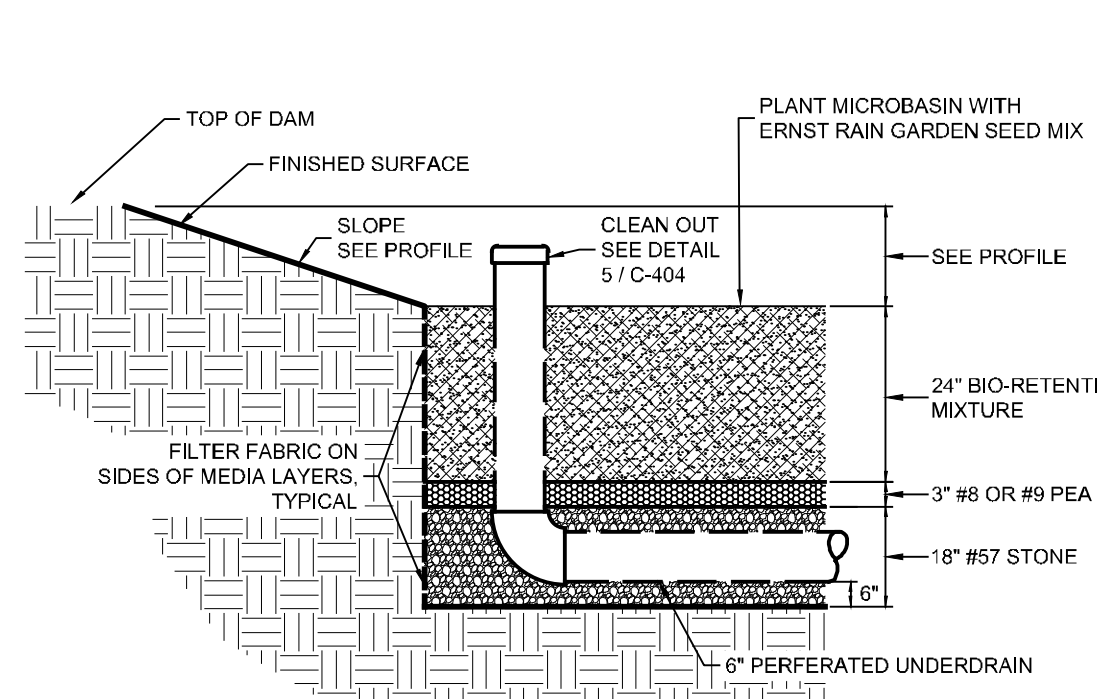
**MICROBASIN 5 & STORM DRAIN DETAILS**

**IFR: 7/05/2024**

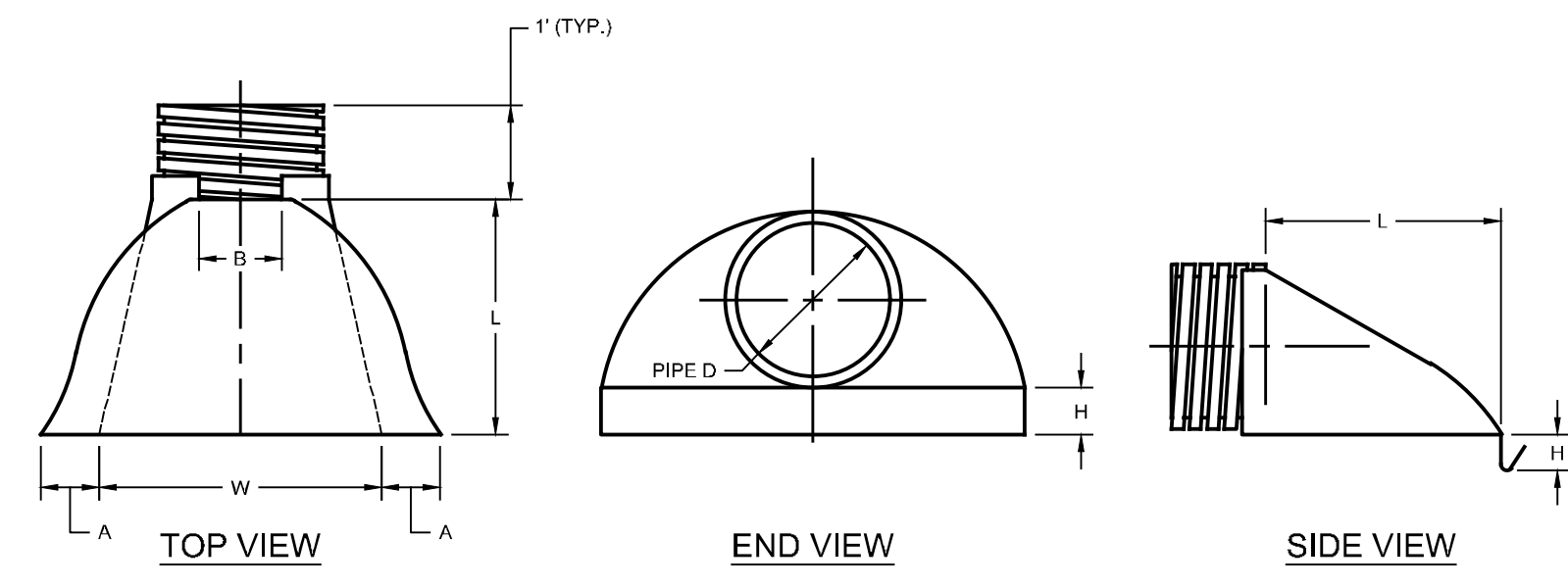
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C-403





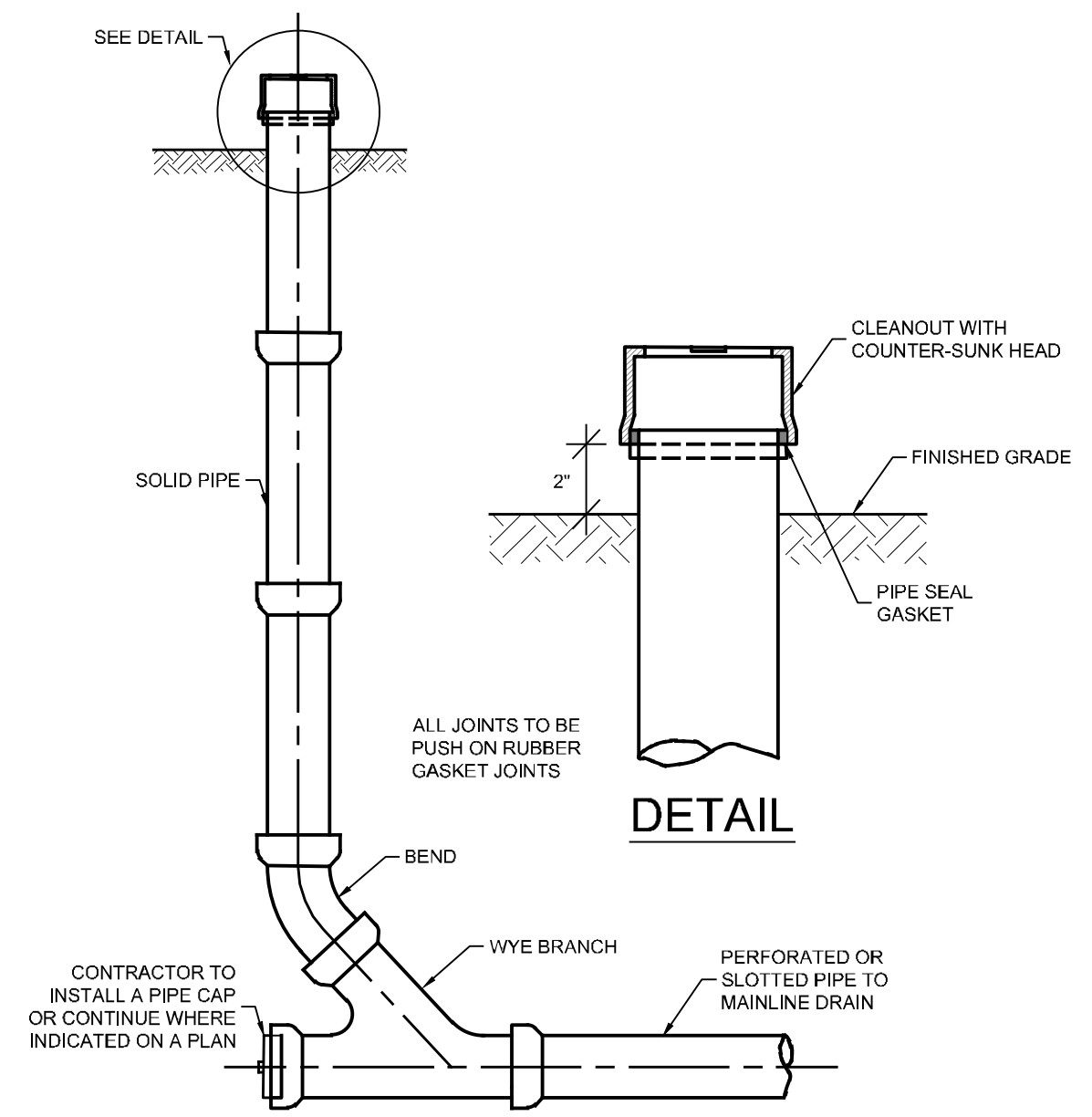
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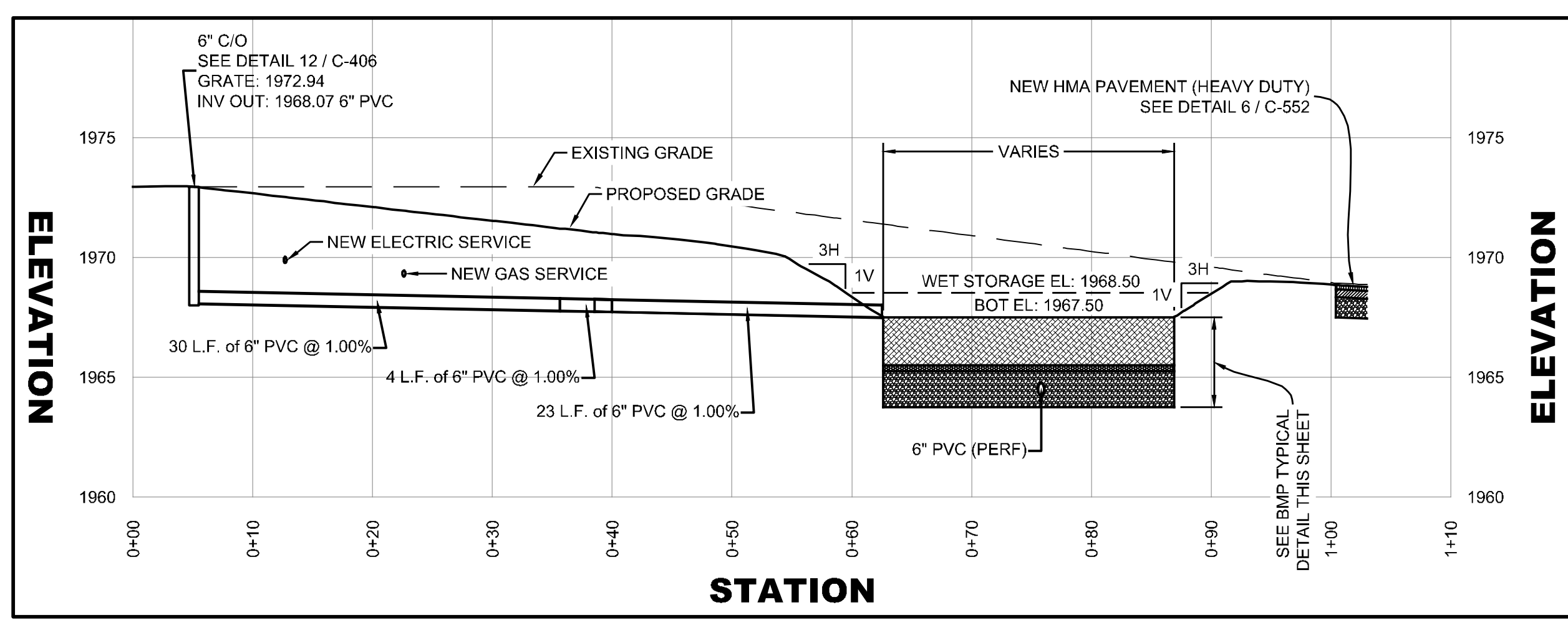
**DIMENSIONS, INCHES**

PIPE DIA	PART NO.	A, ±1	B, MAX	H, ±1	L, ±1/2	W, ±2
12, 15	1210 NP	6.5	10	6.5	25	29
18	1810 NP	7.5	15	6.5	32	35
24	2410 NP	7.5	18	6.5	36	45
30	3010 NP	10.5	NA	7.0	53	68
36	3610 NP	10.5	NA	7.0	53	68

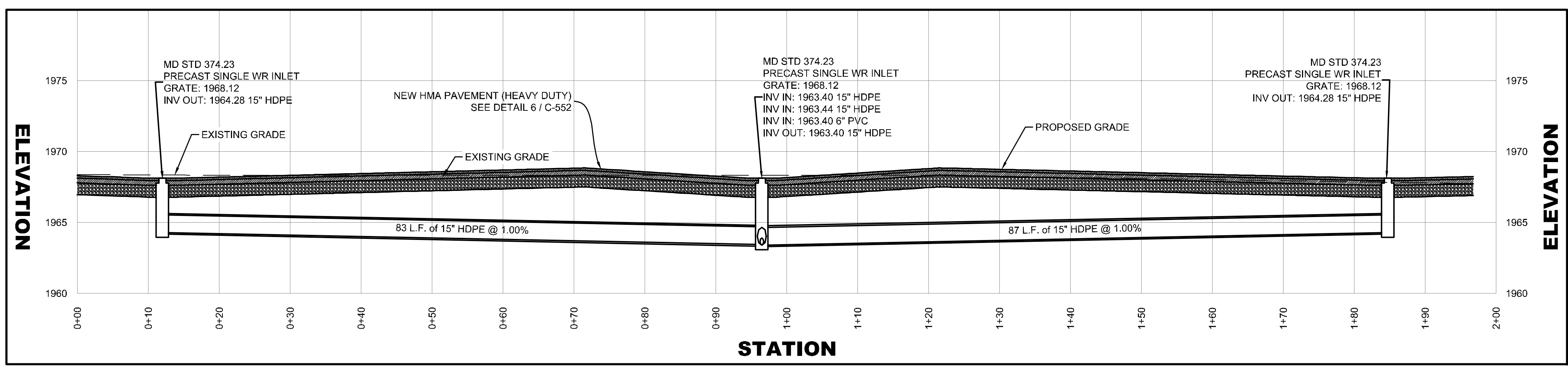
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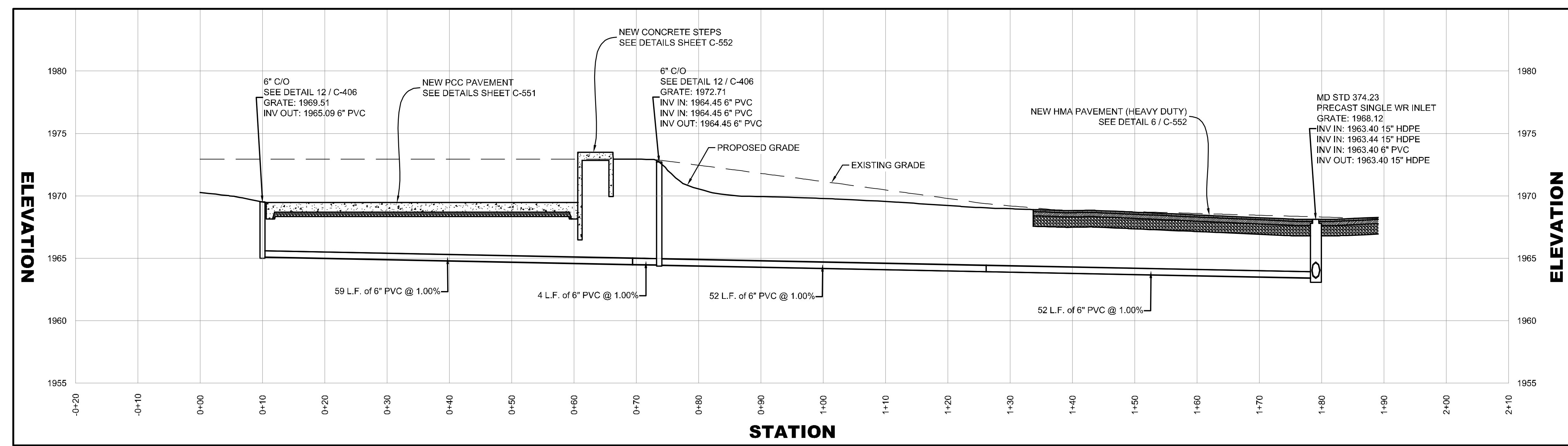
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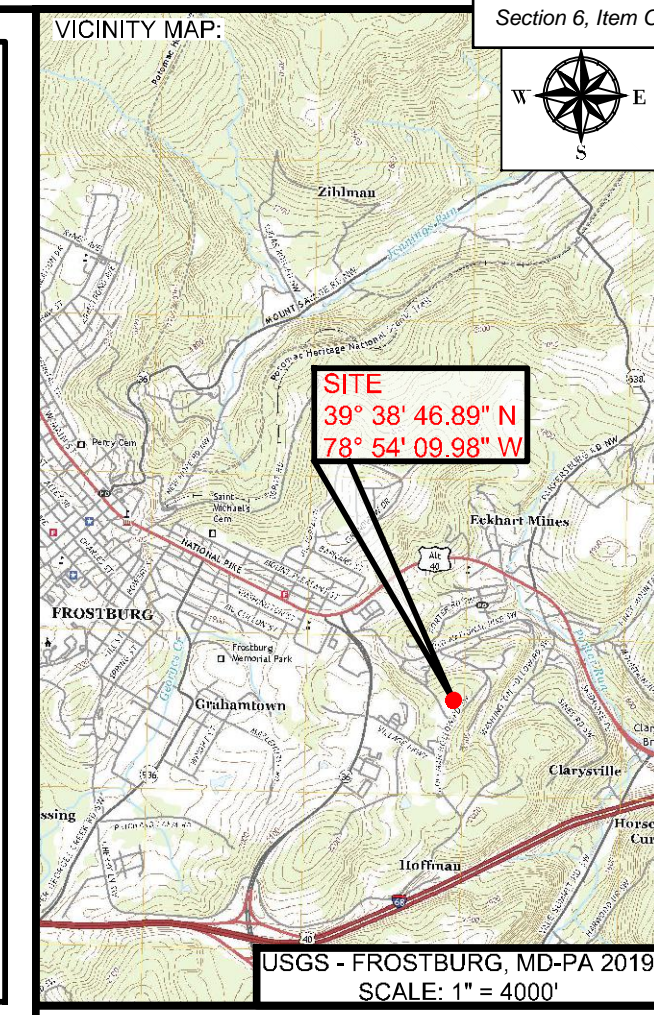
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1" = 10' (H)



**Profile - J-J**  
SCALE: 1" = 5' (V)  
1" = 10' (H)



**Profile - K-K**  
SCALE: 1" = 5' (V)  
1" = 10' (H)



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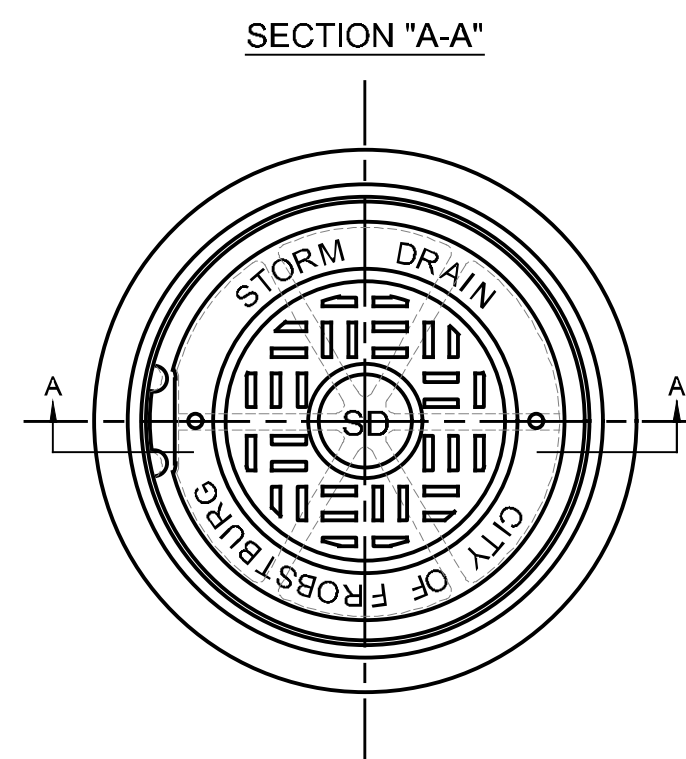
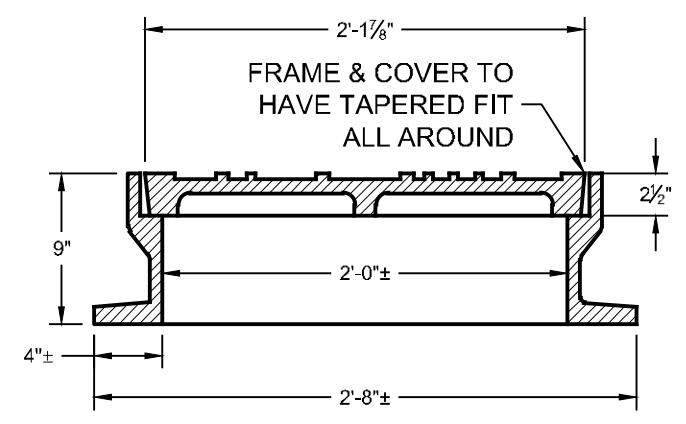
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NO.	DESCRIPTION

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APPROVED: MB CRD FILE: 23088

BBA# 2023088  
SHEET TITLE:  
**MICROBASIN 5 & STORM DRAIN DETAILS**  
IFR: 7/05/2024  
SHEET #:  
C-404

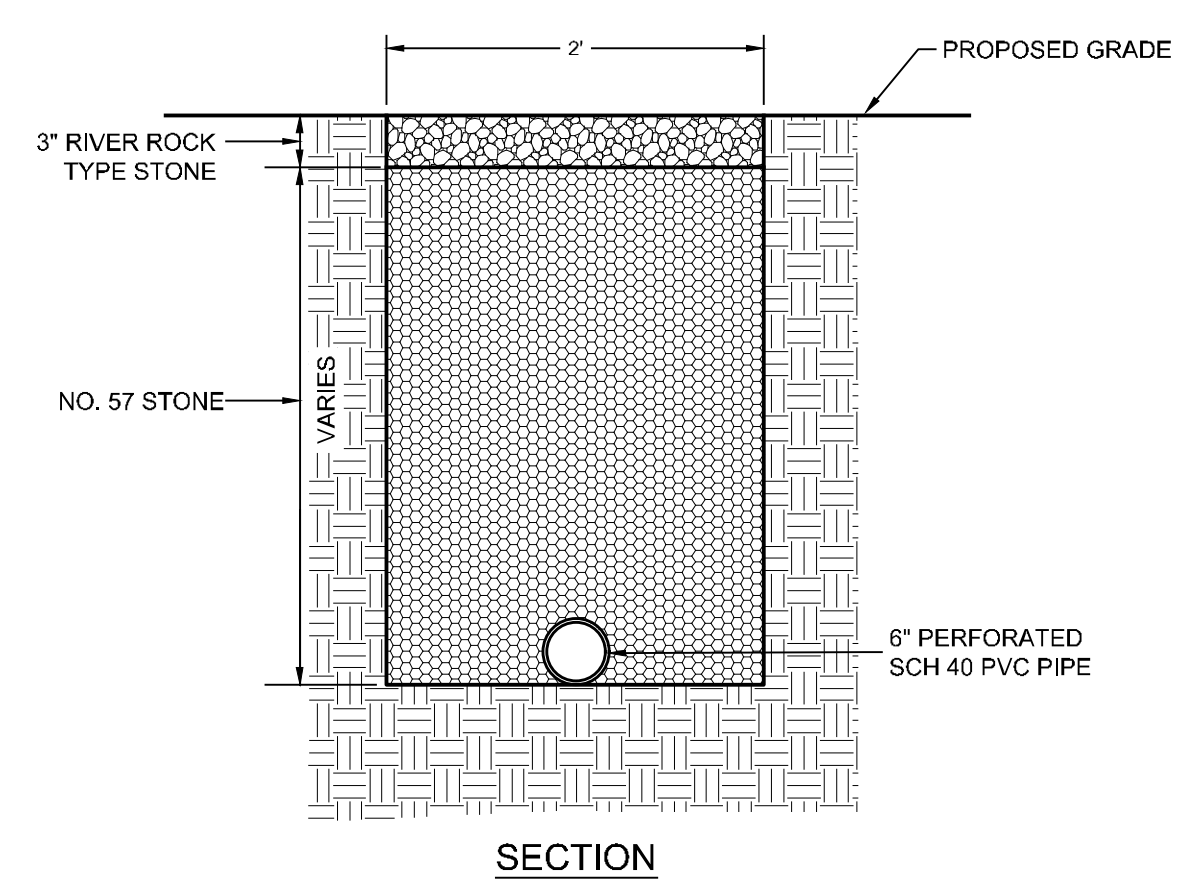
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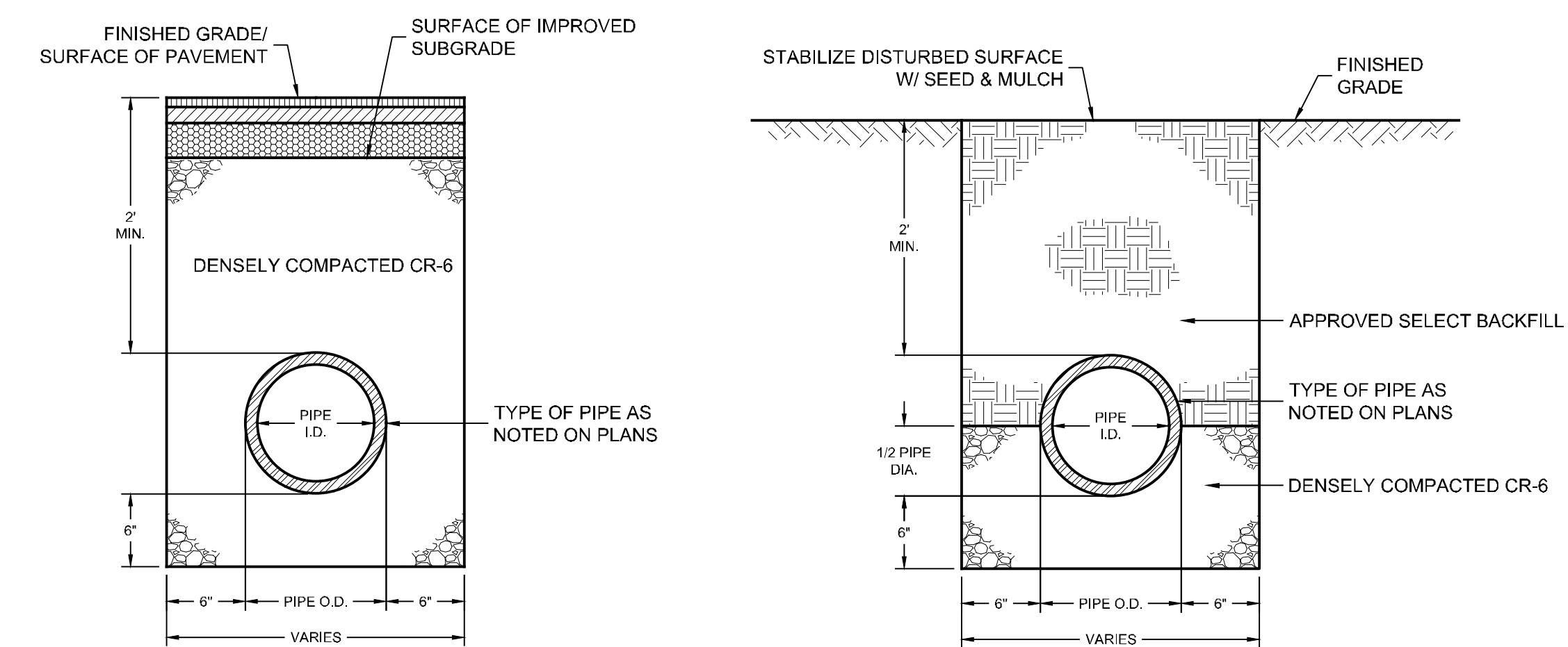


- NOTES:**
1. MANHOLE COVERS TO BE FURNISHED WITH VENT HOLES.
  2. TOTAL AVERAGE WEIGHT 400 LBS.

**7 STANDARD HEAVY TRAFFIC MANHOLE FRAME & COVER**  
NOT TO SCALE

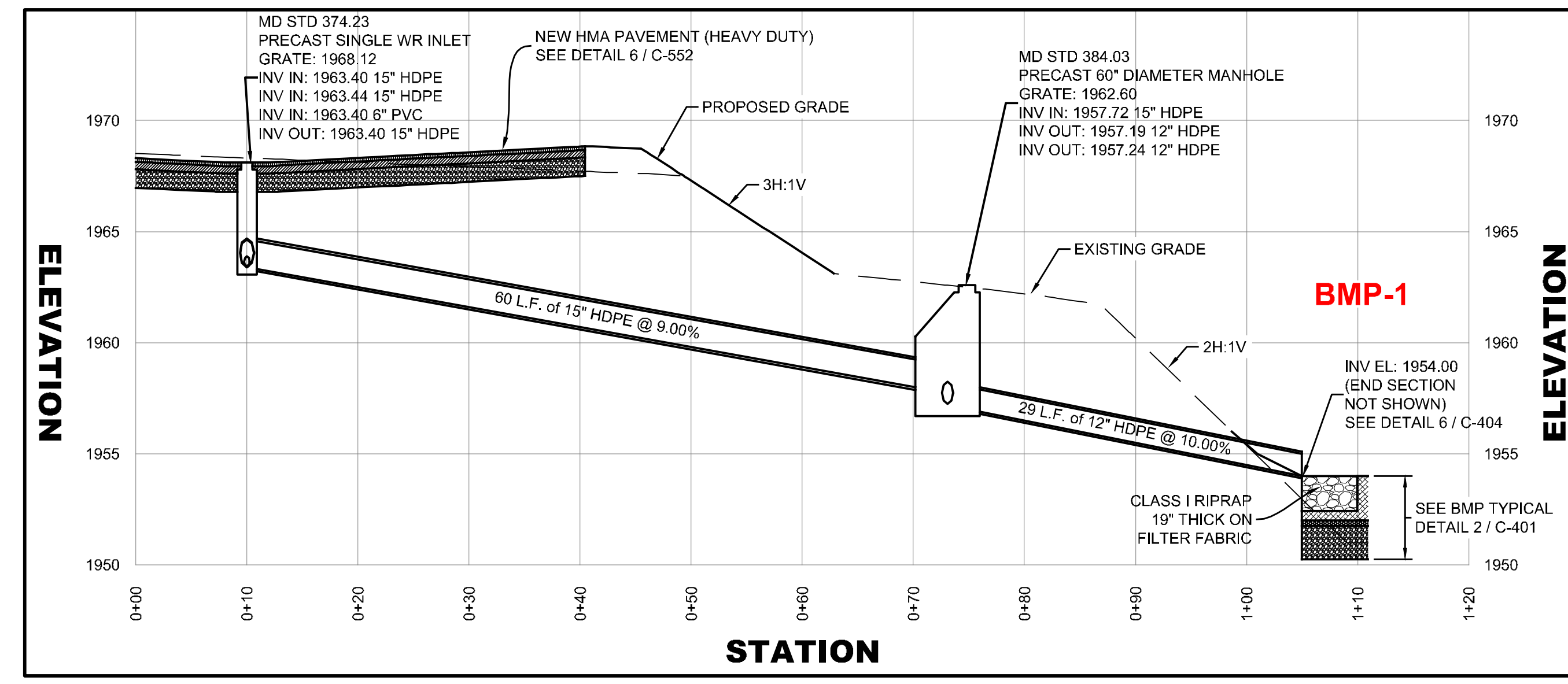


**8 BUFFER FILTRATION STRIP**  
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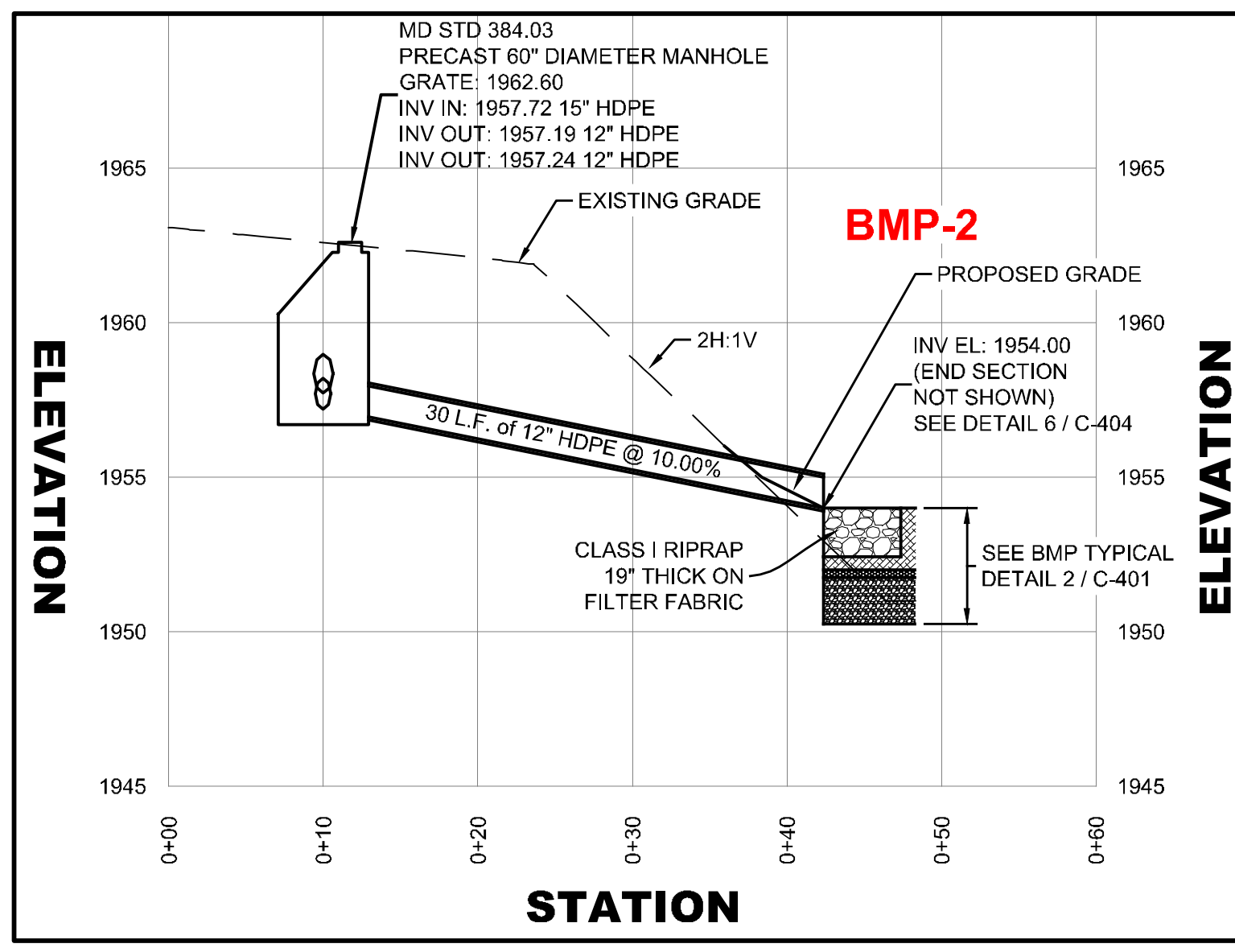


**9 STORM PIPE TRENCH DETAIL FOR PAVED AREAS**  
NOT TO SCALE

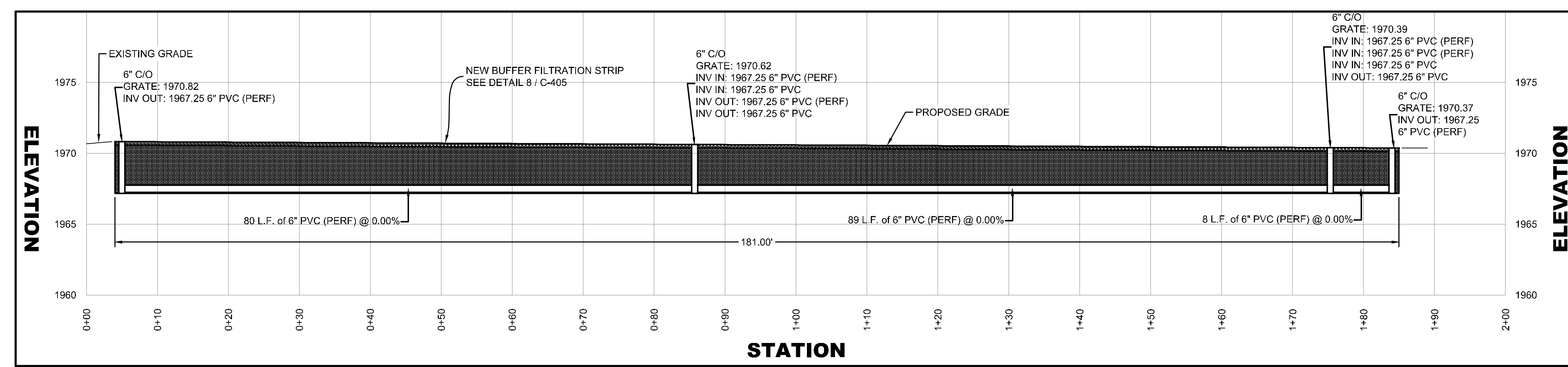
**10 STORM PIPE TRENCH DETAIL FOR NON-TRAFFIC AREAS**  
NOT TO SCALE



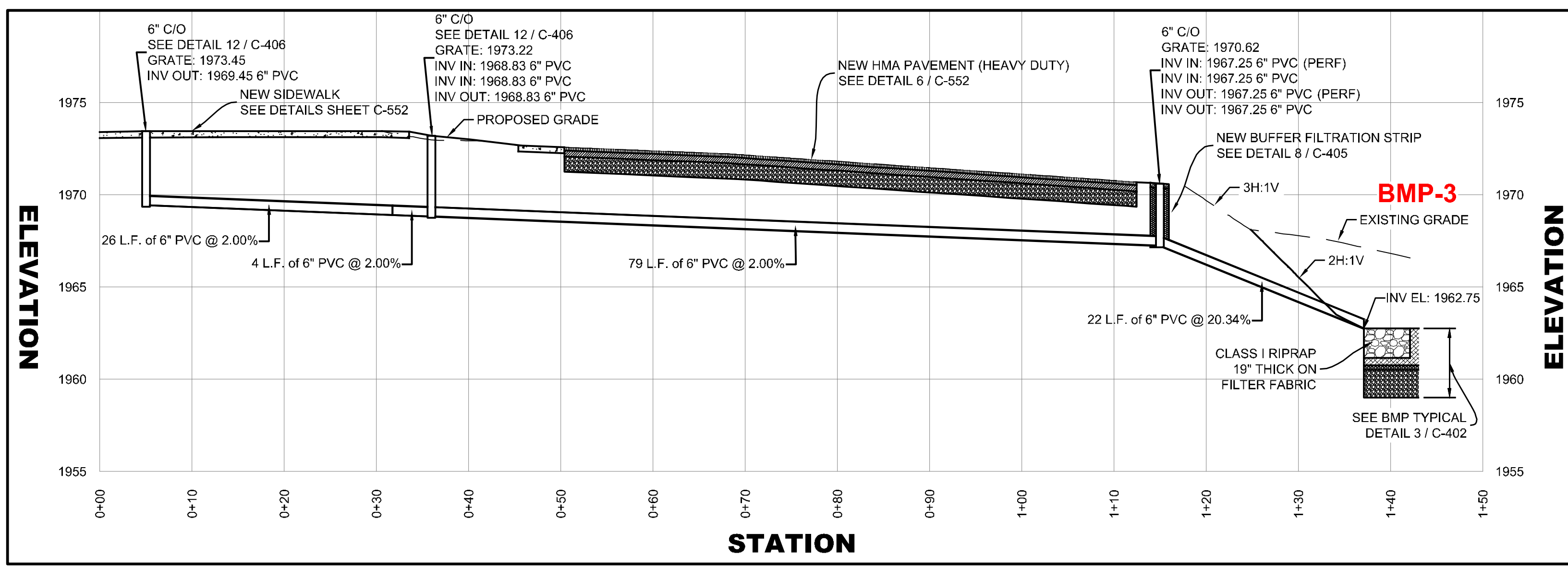
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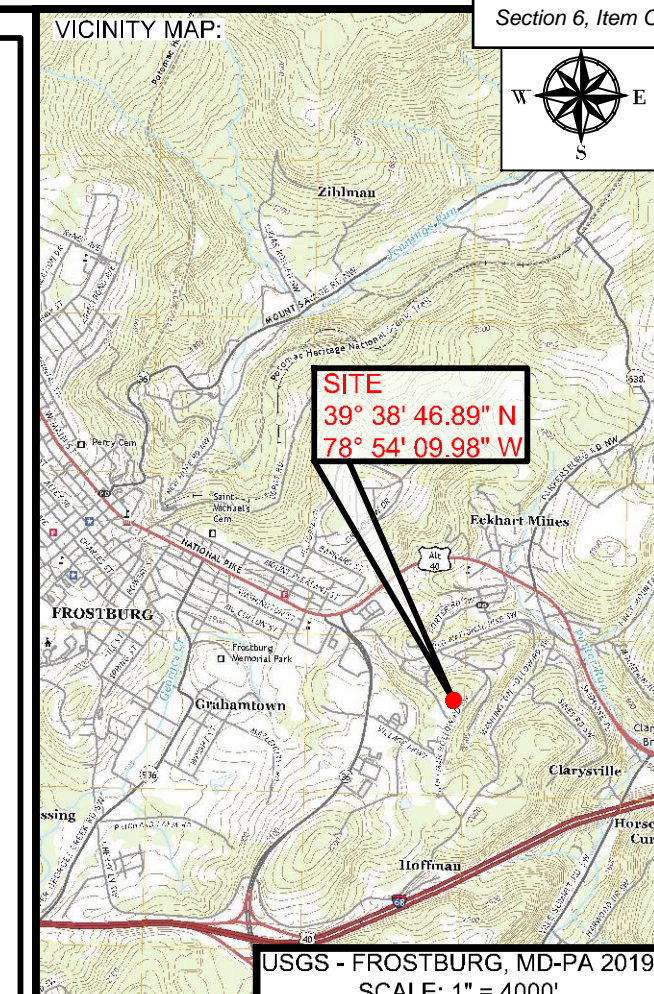
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**Profile - N-N**  
SCALE: 1" = 5' (V)  
1" = 10' (H)



**Profile - O-O**  
SCALE: 1" = 5' (V)  
1" = 10' (H)



**PROJECT:**  
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APPROVED: MB CRD FILE: 23088

BBA# 2023088

SHEET TITLE:

**STORM DRAIN DETAILS**  
IFR: 7/05/2024

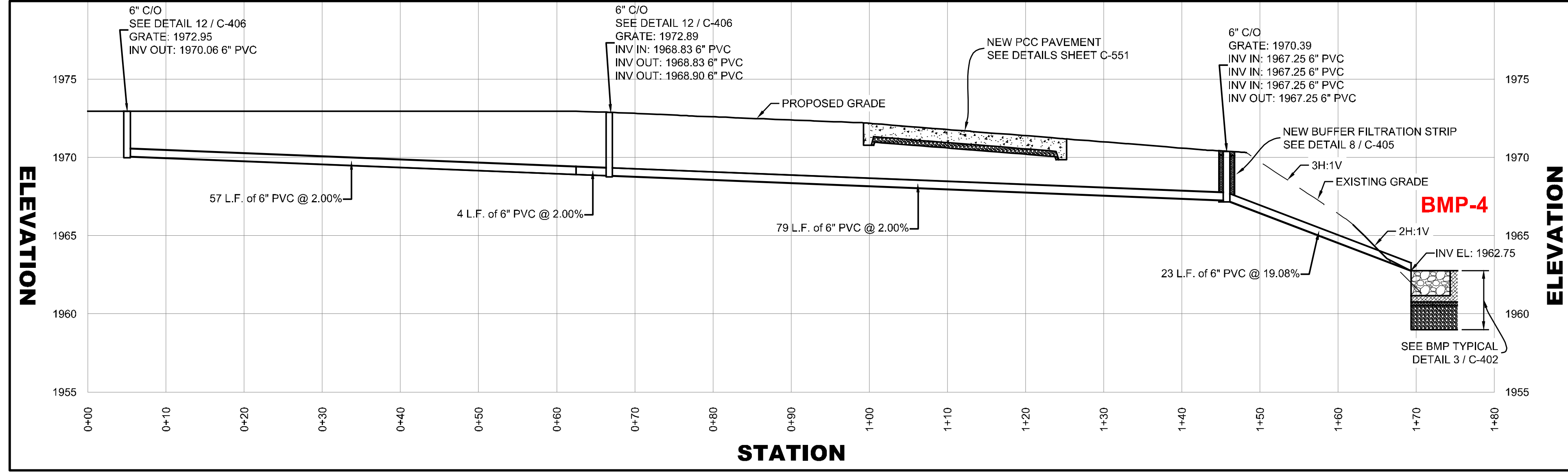
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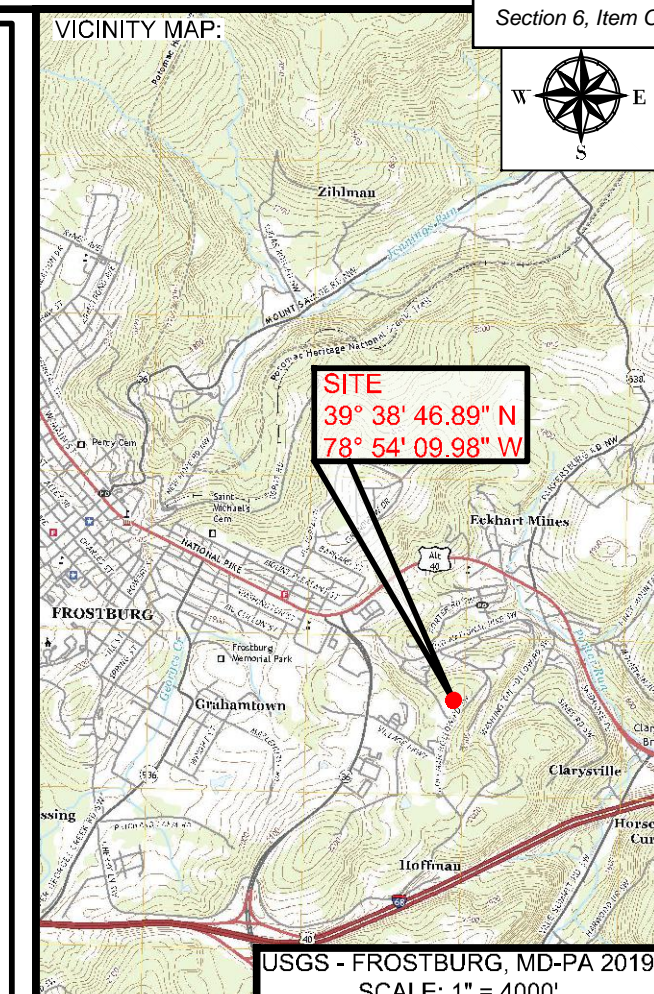


**NOTICE OF REQUIRED STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS FOR BIORETENTION**  
 THE FOLLOWING INSPECTIONS ARE REQUIRED TO BE PERFORMED BY THE QUALIFIED PROFESSIONAL FOR THE CONSTRUCTION OF ANY BIORETENTION FACILITY. ADDITIONAL INSPECTIONS MAY BE NEEDED BASED ON PROFESSIONAL ENGINEERING JUDGMENT. EACH INSPECTION IS REQUIRED AT THE START OF EACH STAGE. INSPECTOR MUST INITIAL AND DATE EACH STAGE FOR EACH STRUCTURE.

	BMP 1 DATE / INSPECTOR	BMP 2 DATE / INSPECTOR	BMP 3 DATE / INSPECTOR	BMP 4 DATE / INSPECTOR	BMP 5 DATE / INSPECTOR
<b>EXCAVATION OF FACILITY</b> - PRIOR TO EXCAVATION, VERIFY SEDIMENT AND EROSION CONTROL FEATURES ARE IN PLACE TO PREVENT SEDIMENT INFLOW. VERIFY ALL FLAGGING REQUIRED IN THE AREA OF SENSITIVE AREA PROTECTION. VERIFY GRADING IS ACCURATELY STAKED-OUT AND RESTAKED AS NEEDED. FACILITY DIMENSIONS SHALL BE VERIFIED AND SOILS CHECKED FOR INFILTRATION. VERIFY SCARIFICATION OF INVERT AS NEEDED. VERIFY CONTRIBUTING AREA IS PERMANENTLY STABILIZED. VERIFY THAT WATER IS NOT PRESENT. VERIFY THAT COMPACTION OF FACILITY BASE IS MINIMIZED.					
<b>PLACEMENT OF OUTFALL STRUCTURE</b> - VERIFY SIZE, MATERIAL, LOCATION, AND ELEVATIONS OF OUTFALL STRUCTURE AND PIPES. VERIFY PIPE JOINTS ARE SEALED.					
<b>PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS</b> - LOCATIONS, SIZE, AND MATERIAL OF UNDERDRAIN AND OBSERVATION WELLS SHALL BE VERIFIED PRIOR TO STONE PLACEMENT. VERIFY PIPE ENDS CAPPED. VERIFY 3" GRAVEL COVER.					
<b>PLACEMENT OF FILTERING MEDIA</b> - VERIFY BOTTOM LAYER MATERIAL AND THICKNESS. VERIFY SAND AND/OR FILTER MEDIA LAYER MATERIAL THICKNESS. VERIFY PEA GRAVEL LAYER. VERIFY TOP FILTER MEDIA LAYER.					
<b>STABILIZATION AND LANDSCAPING</b> - VERIFY SITE TOP SOILED, DEEDED, AND MULCHED. VERIFY LOCATION, SIZE, TYPE, AND NUMBER OF PLANTED LANDSCAPE MATERIAL. VERIFY NO MORE THAN 1/8 INCH ROOT BALL EXPOSED. VERIFY PLANTING STOCK KEPT MOIST DURING ON-SITE STORAGE.					
<b>SIGNAGE</b> - VERIFY PLACEMENT OF SNOW STOCKPILE SIGNS.					



**Profile - P-P**  
 SCALE: 1" = 5' (V)  
 1" = 10' (H)



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BBA# 2023088  
 SHEET TITLE:  
**MICROBASIN & STORM DRAIN DETAILS**  
**IFR: 7/05/2024**  
 SHEET #:  
**C-406**

**PLANTING NOTES**

- LOW MARSH PLANTS (ARROW ARUM, DUCK POTATO, BURREED, SPATTERDOCK, SOFTTUSH, HOLLY, AND BLUEBERRY) SHALL BE INSTALLED AS INDIVIDUAL PLANTS, 12" TO 24" ON CENTER, PLACED AT RANDOM WITHIN THE DESIGNATED AREA.
- SHALLOW MARSH SEEDED PLANTS (RICE CUTGRASS, SEDGES, AND SWITCHGRASS) SHALL BE INSTALLED AS A SEED MIX WITHIN THE DESIGNATED AREA. INSTALL COMMERCIAL SEED MIX AT 20 LBS. PER ACRE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. SHALLOW MARSH INDIVIDUAL PLANTS (HOLLY AND BLUEBERRY) SHALL BE INSTALLED AT 48" ON CENTER, PLACED AT RANDOM WITHIN THE DESIGNATED AREA.
- RECOMMENDED SUPPLIERS FOR WETLANDS PLANTS:
  - ENVIRONMENTAL CONCERN, INC.  
210 WEST CHEW AVENUE  
SAINT MICHAELS, MARYLAND 21663  
(410) 745-9620
  - SYLVA NATIVE NURSERY AND SEED COMPANY  
NEW FREEDOM, PENNSYLVANIA  
(717) 227-0073
  - ERNST CONSERVATION SEEDS  
900 MERCER PIKE  
MEADVILLE, PENNSYLVANIA 16335  
(814) 338-2404

- ELK RIDGE NATURE WORKS, LLC  
283 ELK RIDGE LAND  
GRANTSVILLE, MARYLAND 22536  
(301) 895-3686
  - AMERICAN NATIVE PLANTS, INC.  
PO BOX 158  
PERRY HALL, MD 21128  
FAX (410) 529-3883
  - CLEAR RIDGE NURSERY  
217 CLEAR RIDGE RD  
UNION BRIDGE, MD 21781  
(410) 775-7700
- IF A MINIMUM COVERAGE OF 50% IS NOT ACHIEVED IN THE PLANTED AREAS AFTER THE SECOND GROWING SEASON, A REINFORCEMENT PLANTING IS REQUIRED.
  - SEE MDE SWM MANUAL FOR PLANTING DATES AND OTHER SPECIFICATIONS.

**FILTER MEDIA**

THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE MICROBIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.

THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:  
 SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION) ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (80%-65%) AND COMPOST (35% TO 40%) OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%).  
 CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%.  
 PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED INTO THE SOIL TO INCREASE OR DECREASE PH.

**COMPACTION**

IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.

ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE.

WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE.

WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SAND AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

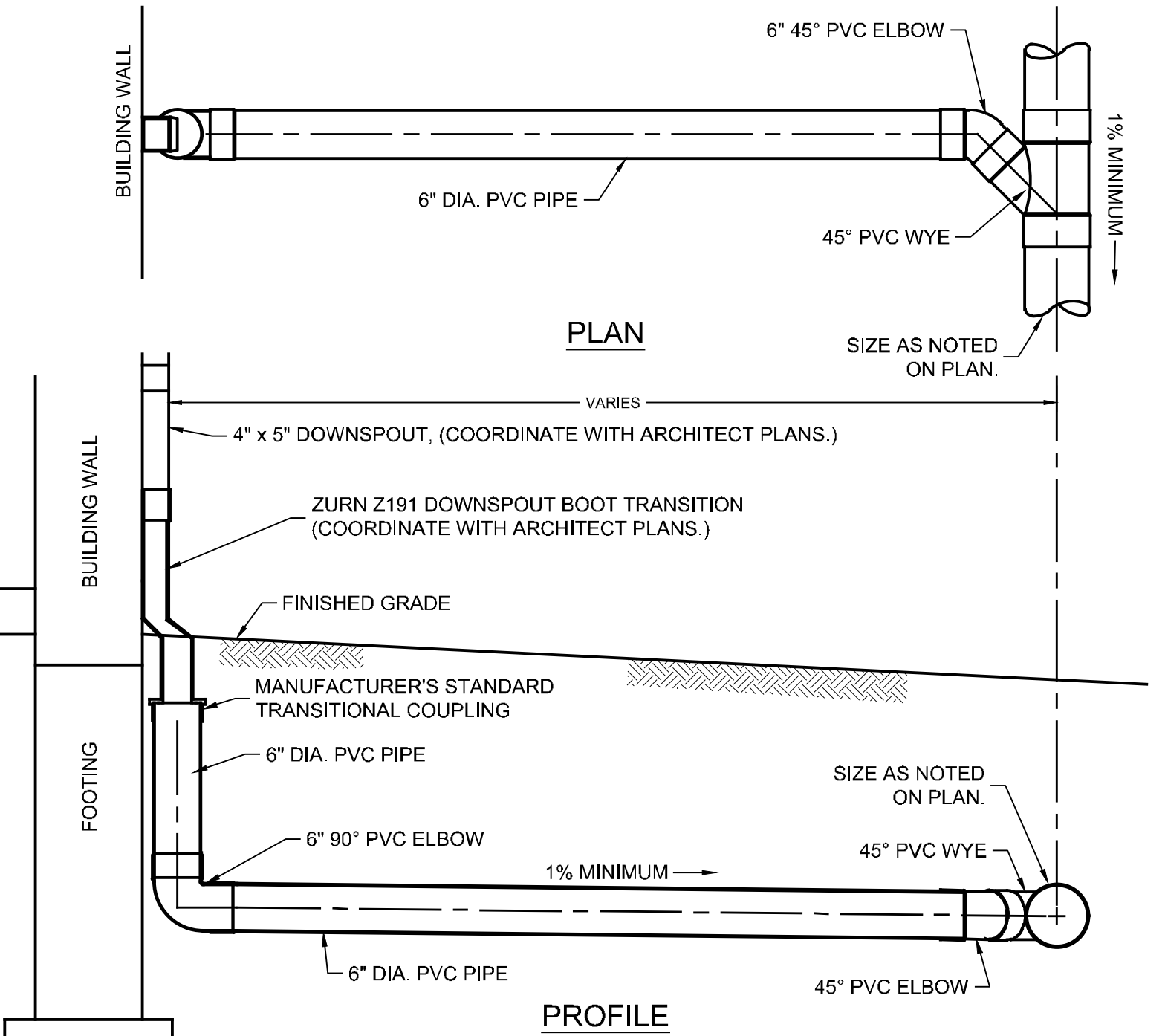
**Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration**

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil (2' to 4' deep)	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe: 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f'c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.8/89; vertical loading [H-30 or H-20]; allowable horizontal loading (based on soil pressure); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

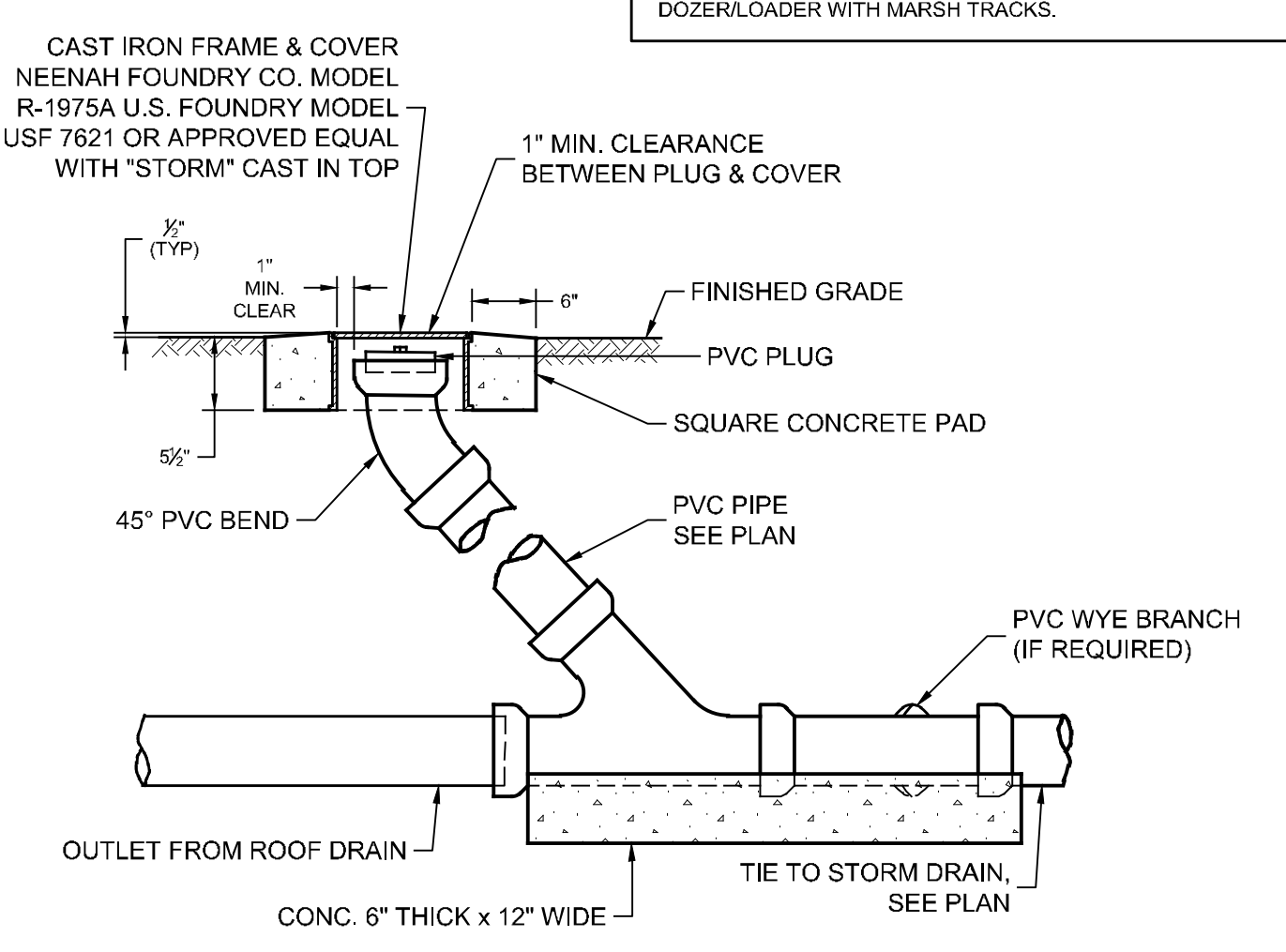
**BIORETENTION AREA INSPECTIONS**

REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONTRACTING ENGINEER 48 HOURS PRIOR TO REQUIRED INSPECTION.

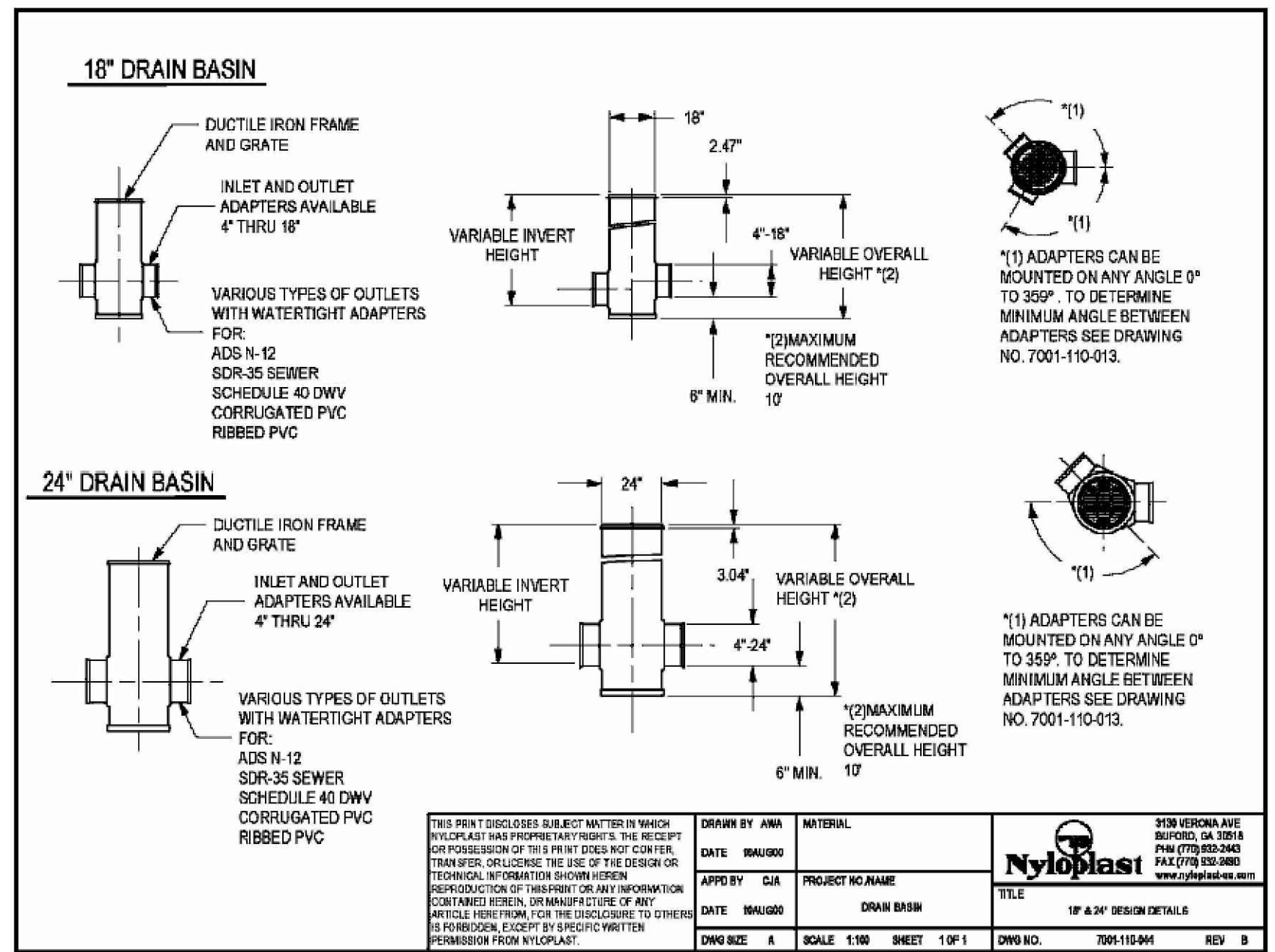
- DURING EXCAVATION OF SUBGRADE.
- DURING PLACEMENT OF GEOTEXTILE.
- DURING PLACEMENT AND BACKFILL OF UNDERDRAIN PIPE AND GRAVEL.
- DURING PLACEMENT OF BACKFILL AND BIORETENTION SOIL MIXTURE.
- DURING PLACEMENT OF MULCH.
- DURING PLACEMENT OF PLANTS, (IF REQUIRED)



**11 ROOF DRAIN DETAIL**  
 NOT TO SCALE



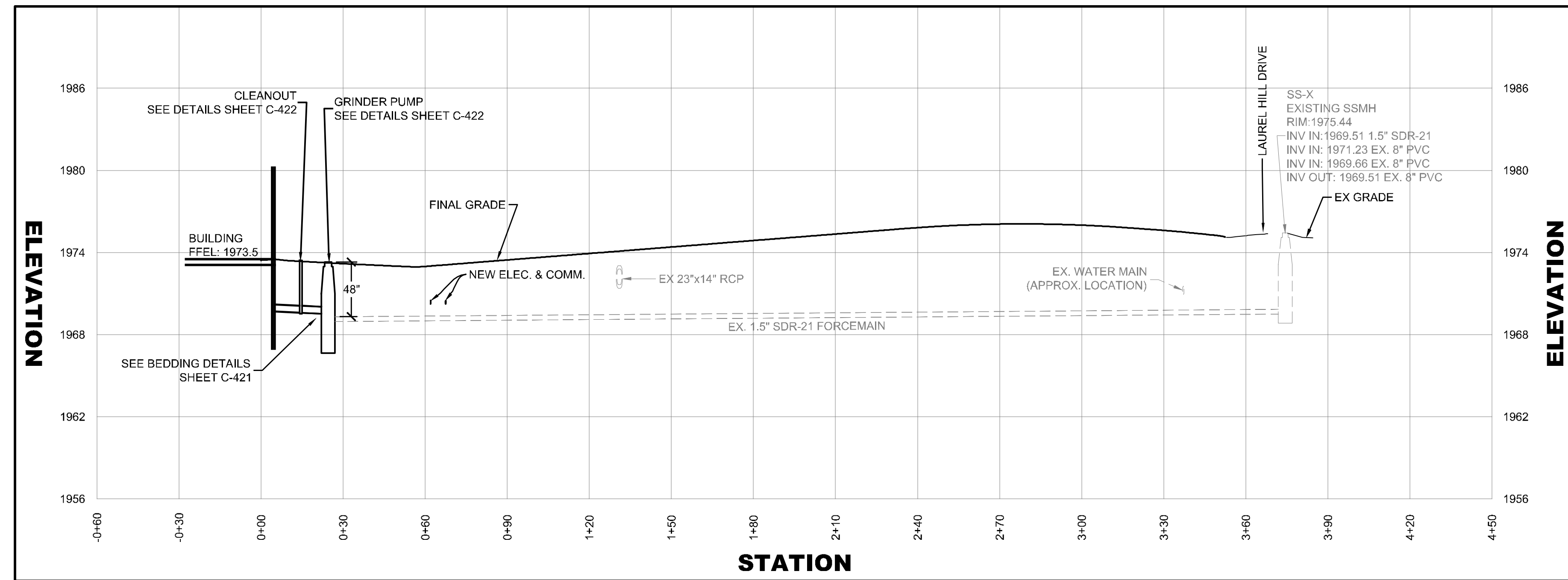
**12 STORM DRAIN CLEANOUT DETAIL**  
 NOT TO SCALE



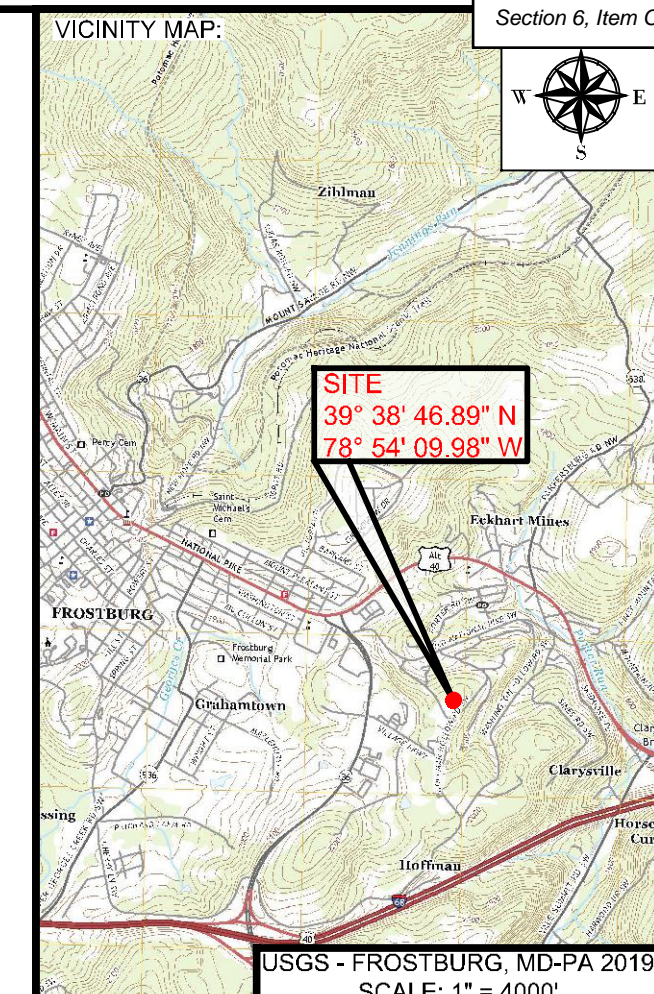
<p>THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH INVENTOR HAS PROPOSED MATTER. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE A TRANSFER, APPLICATION OF THE USE OF THE DISCOVERED INFORMATION OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLES THEREFROM FOR THE DISCLOSURE TO OTHERS BY REPRODUCTION, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.</p>	<p>DRAWN BY: ANNA          DATE: 04/10/20          APP'D BY: CJA          DATE: 04/10/20</p>	<p>MATERIAL:          PROJECT NO. NAME:          DRAWING NO. NAME:          SCALE: 1/8\"/&gt; </p>	<p>3108 VERONA AVE          SUITE 100          FROSTBURG, MD 21702          PH: (301) 687-3463          FAX: (301) 687-3460          WWW.BBA-SURVEY.COM</p>
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**SANITARY H-H**  
**SCALE: 1" = 6' (V)**  
**1" = 30' (H)**



PROJECT:  
**FINAL PLAN SUBMITTAL**  
 FUTURE INDUSTRIAL DEVELOPMENT SITE  
 FROSTBURG BUSINESS PARK  
 FROSTBURG  
 ZONING: T-LI  
 ELECTION DISTRICT: 24-000  
 ALLEGANY COUNTY  
 MARYLAND

CLIENT:  
  
 CLYM ENVIRONMENTAL SERVICES, LLC  
 1539 TILCO DRIVE  
 FREDERICK, MARYLAND 21704



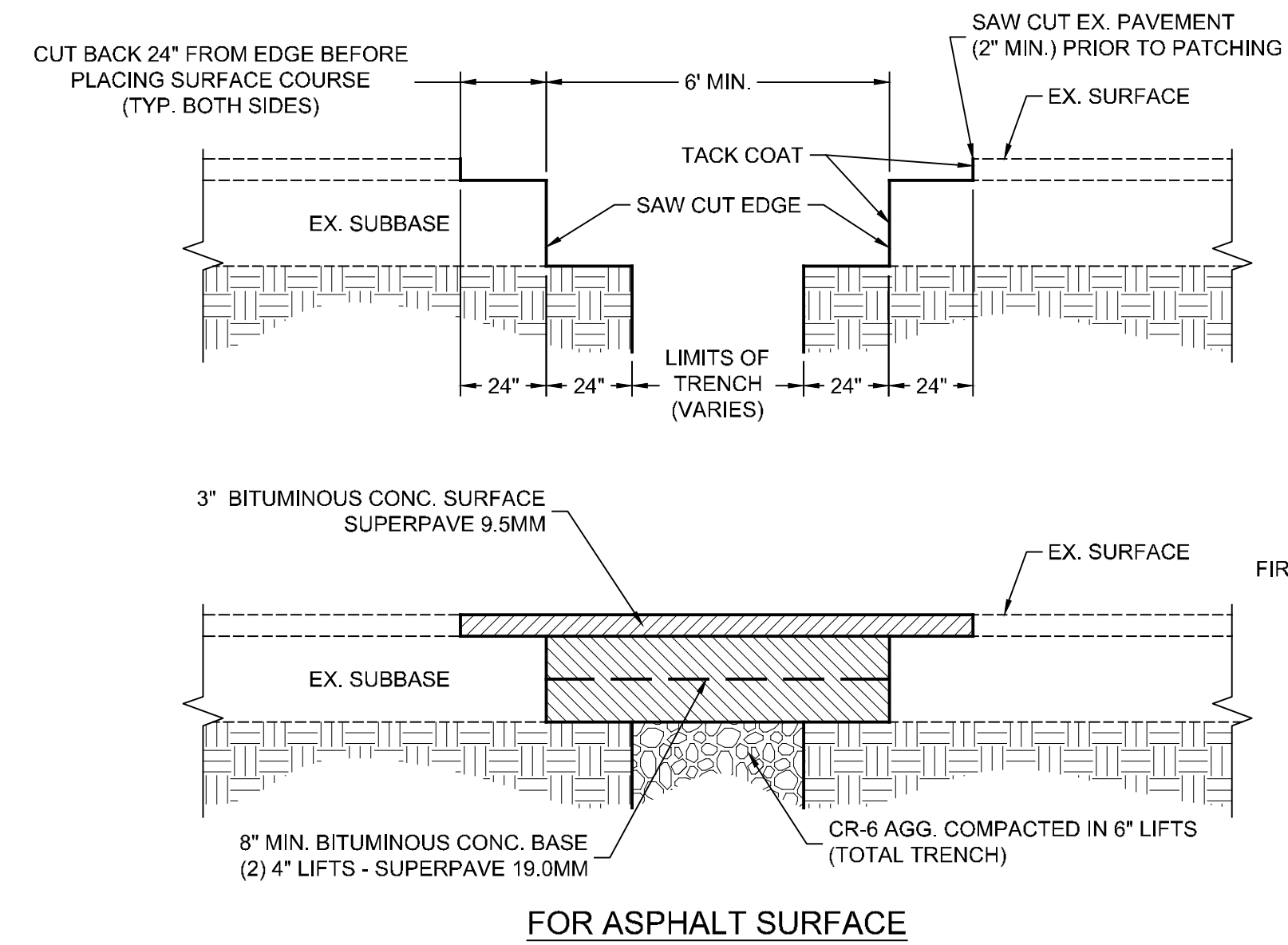
**bba**  
 Surveyors | Engineers | Planners  
 Bennett Brewer & Associates, LLC  
 23 East Main Street, Suite 200  
 Frostburg, Maryland 21532  
 Phone: (301)-687-0494 Fax: (301)-687-0495  
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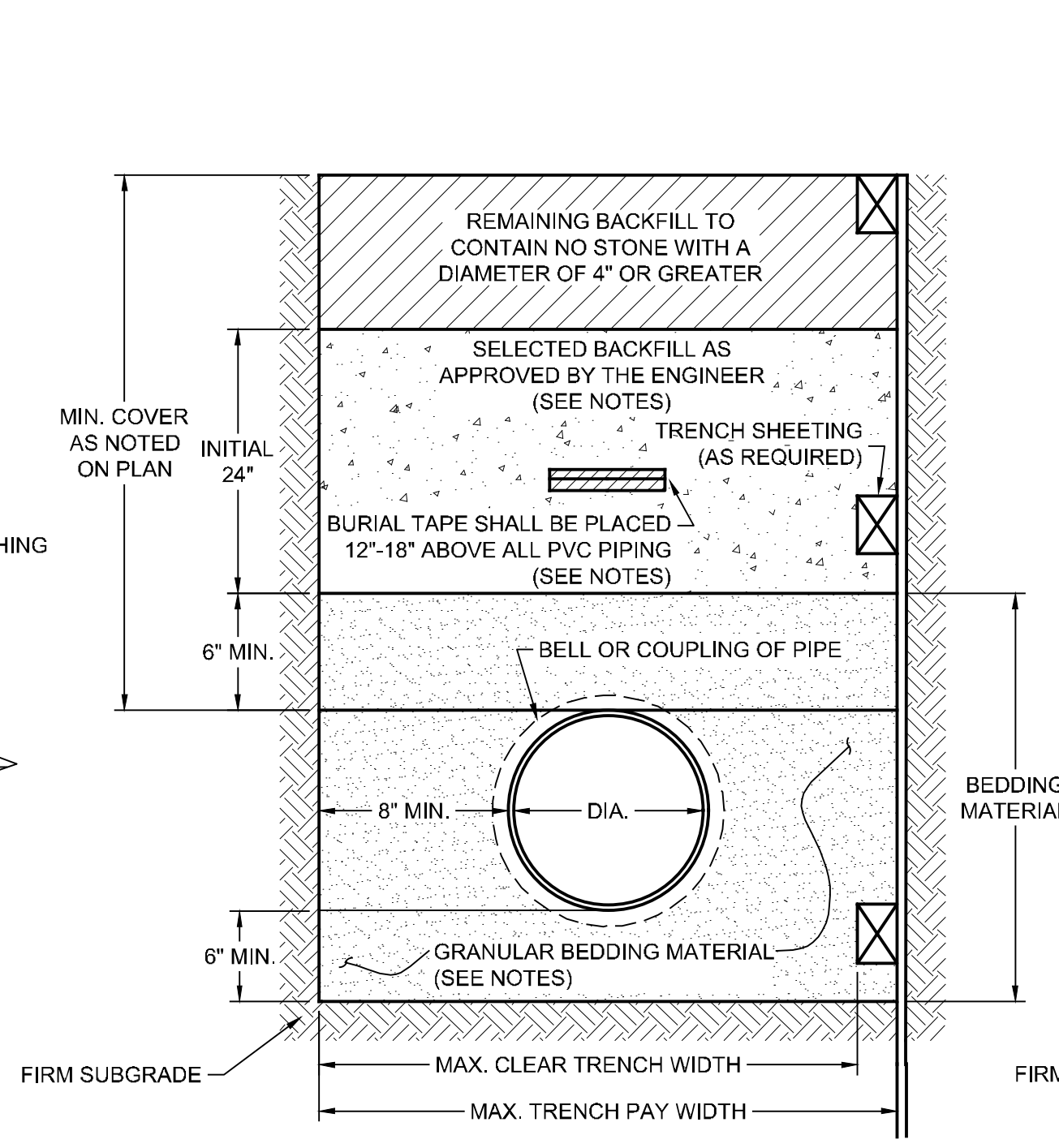
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BBA# 2023088

SHEET TITLE:  
**SANITARY PROFILE & DETAILS**  
**IFR: 7/05/2024**  
 SHEET #:  
**C-421**

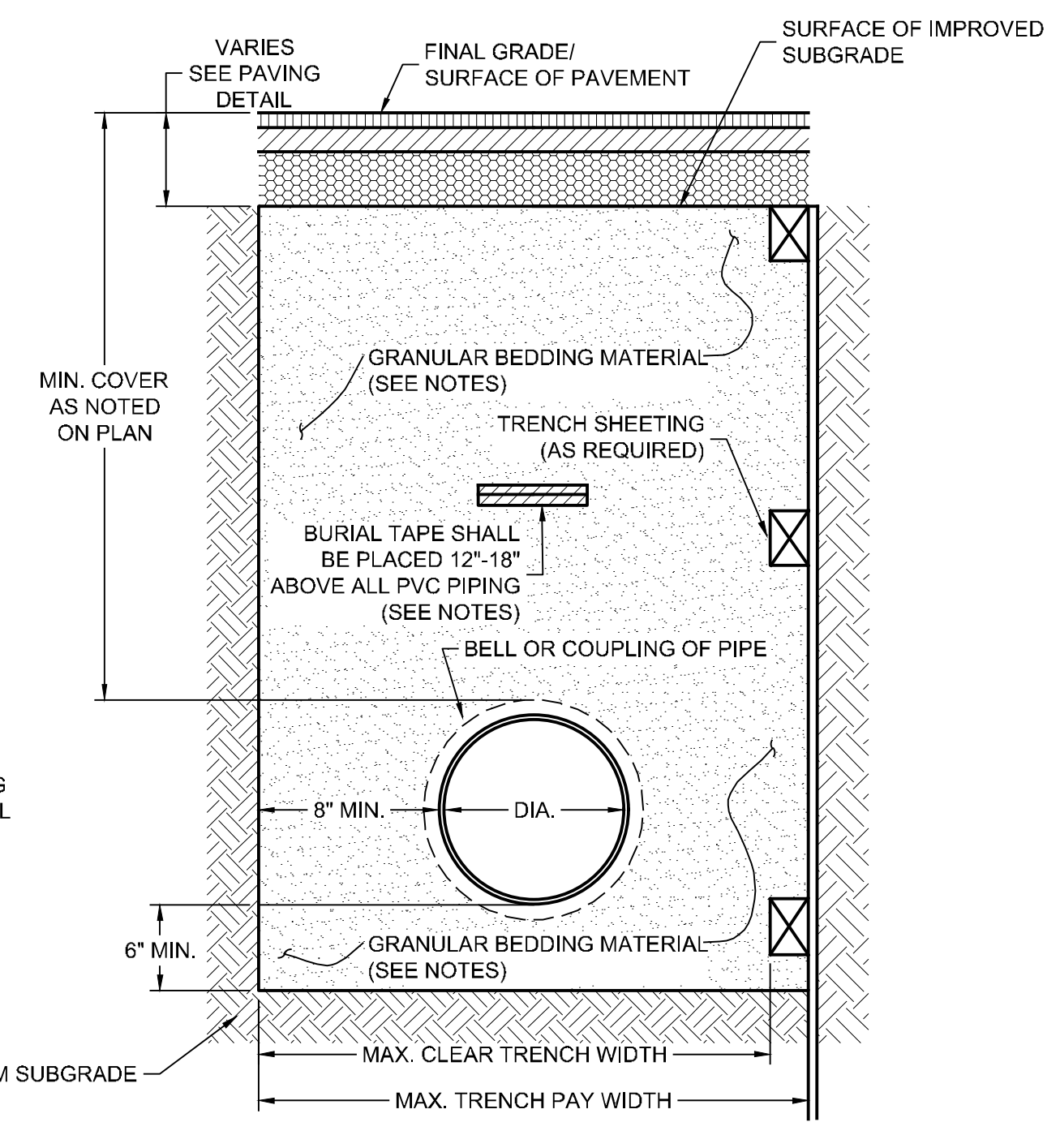


**1 TRENCH PAVING DETAIL**  
 NOT TO SCALE



- NOTES:
- THIS DETAIL APPLIES TO ALL POLYVINYL CHLORIDE (PVC) RIGID PLASTIC PIPE.
  - BEDDING MATERIAL SHALL BE QUARRY DUST OR CRUSHED STONE (CR6 OR CRD) WITH A MAXIMUM SIZE OF 3/4".
  - THE INITIAL 24" OF BACKFILL OVER THE PIPE BEDDING SHALL BE NO LARGER THAN NO. 67 AGGREGATE MEETING ASTM D448-86.
  - MAXIMUM TRENCH WIDTH SHALL BE ADEQUATE TO PROVIDE SPACE FOR PROPER JOINTING BUT SHALL NOT EXCEED 24" PLUS THE OUTSIDE DIAMETER OF THE PIPE.
  - BURIAL TAPE SHALL BE AT LEAST 4" WIDE AND METALLIC ON ONE SIDE. TAPE SHALL BE BLUE IN COLOR FOR WATERLINES AND GREEN FOR SEWER LINES.
  - ALL BEDDING MATERIAL AND BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99.

**2 PIPE BEDDING DETAIL FOR NON-TRAFFIC AREAS**  
 NOT TO SCALE

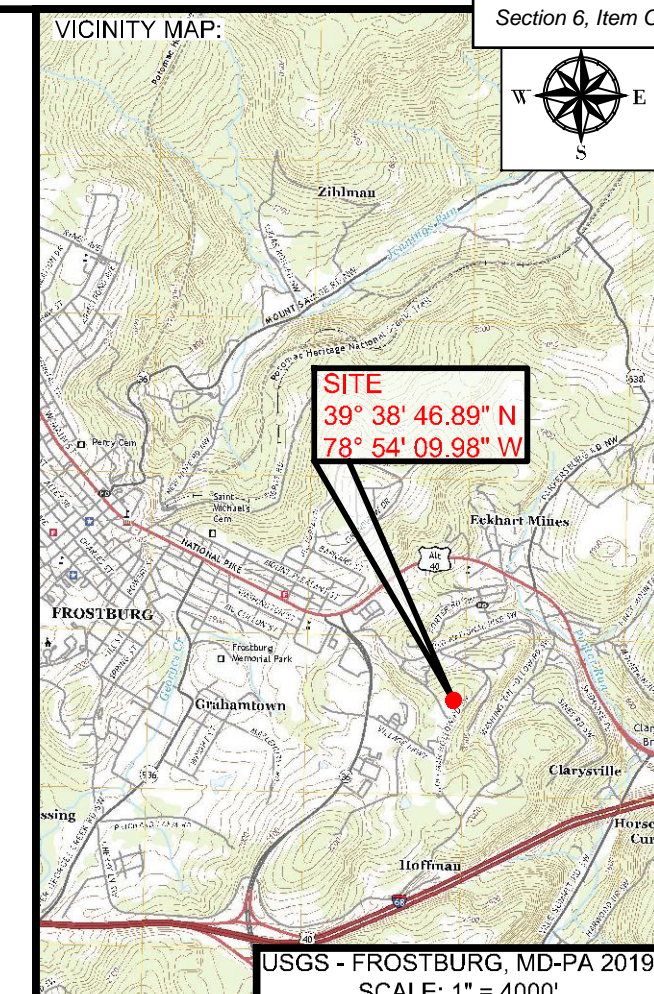


- NOTES:
- THIS DETAIL APPLIES TO ALL POLYVINYL CHLORIDE (PVC) RIGID PLASTIC PIPE.
  - BEDDING MATERIAL SHALL BE QUARRY DUST OR CRUSHED STONE (CR6 OR CRD) WITH A MAXIMUM SIZE OF 3/4".
  - THE TOP 12" BELOW SUBGRADE ELEVATION SHALL BE COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T-99.
  - MAXIMUM TRENCH WIDTH SHALL BE ADEQUATE TO PROVIDE SPACE FOR PROPER JOINTING BUT SHALL NOT EXCEED 24" PLUS THE OUTSIDE DIAMETER OF THE PIPE.
  - BURIAL TAPE SHALL BE AT LEAST 4" WIDE AND METALLIC ON ONE SIDE. TAPE SHALL BE BLUE IN COLOR FOR WATERLINES AND GREEN FOR SEWER LINES.
  - ALL BEDDING MATERIAL AND BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99.

**3 PIPE BEDDING DETAIL FOR PAVED AREAS**  
 NOT TO SCALE

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SCALE: 1" = 400'

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FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
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CLYM ENVIRONMENTAL SERVICES, LLC  
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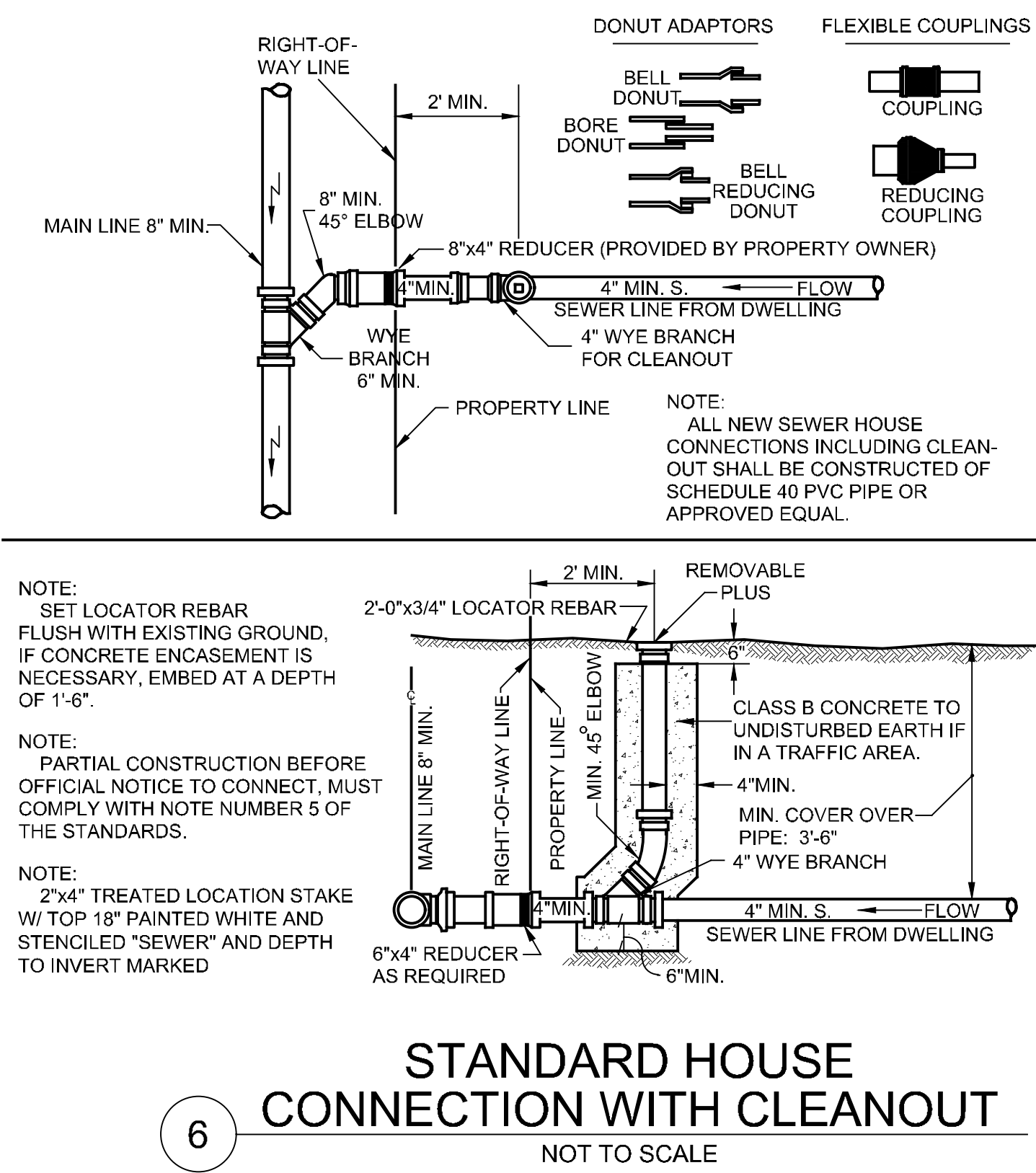
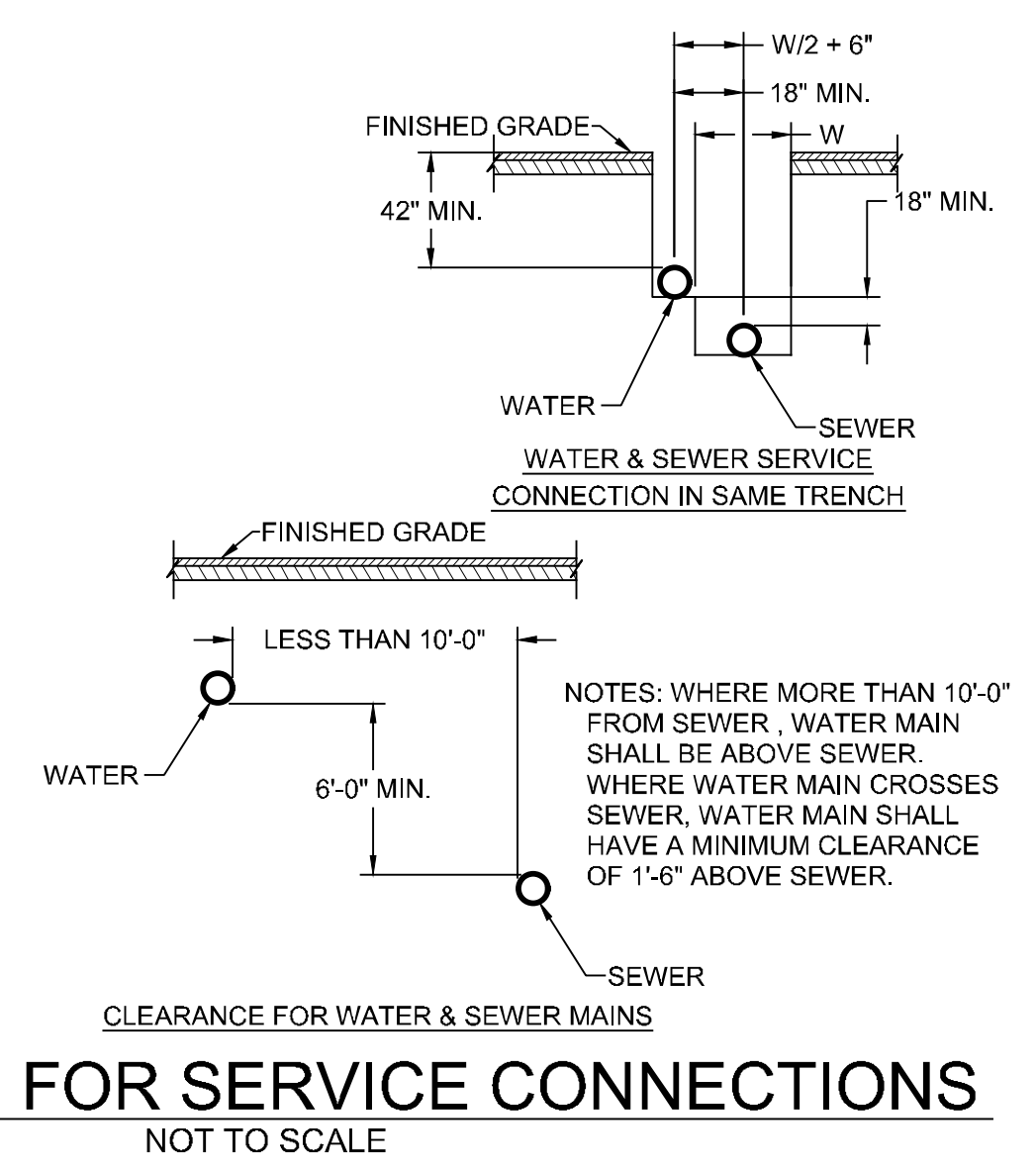
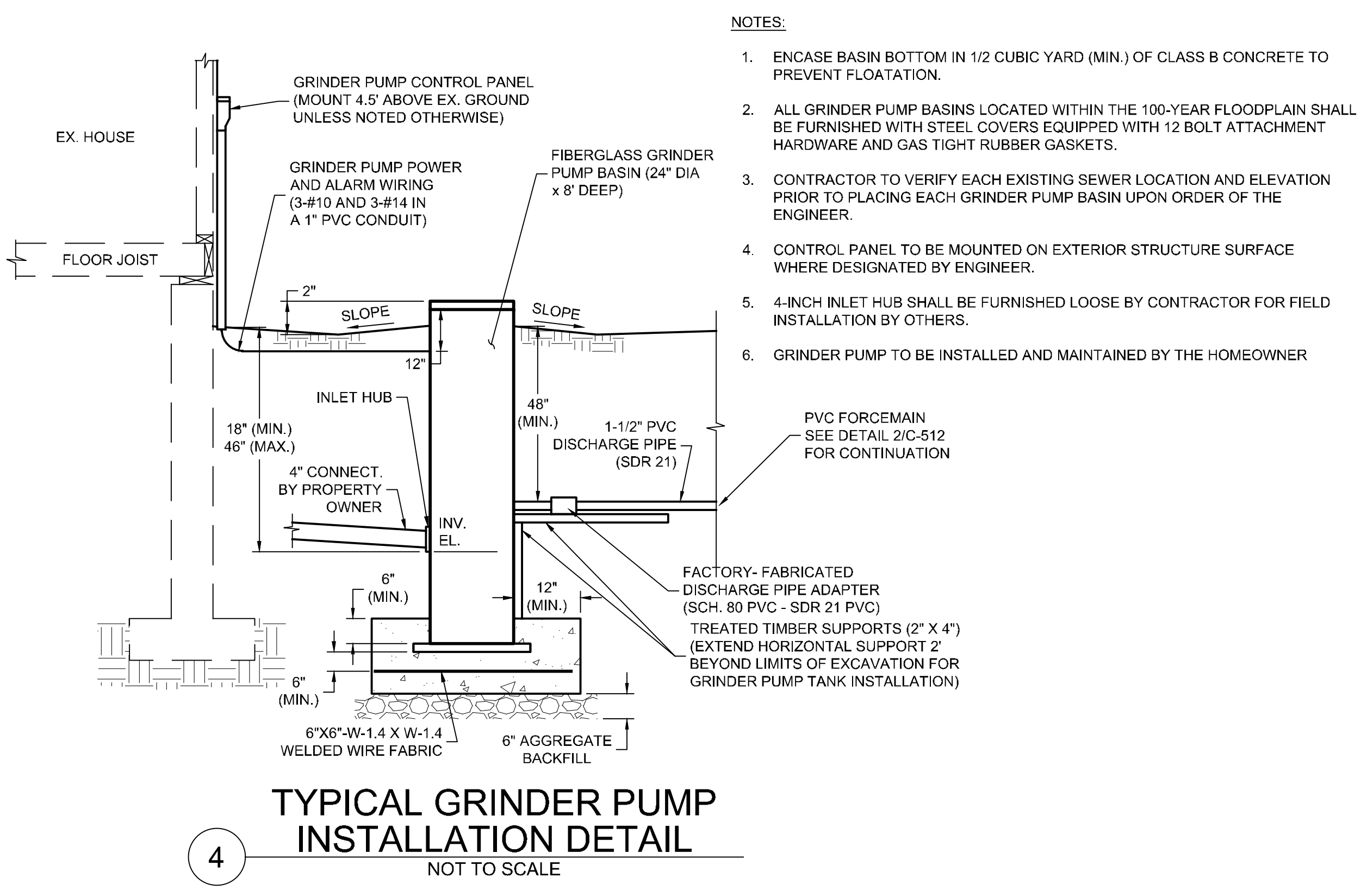
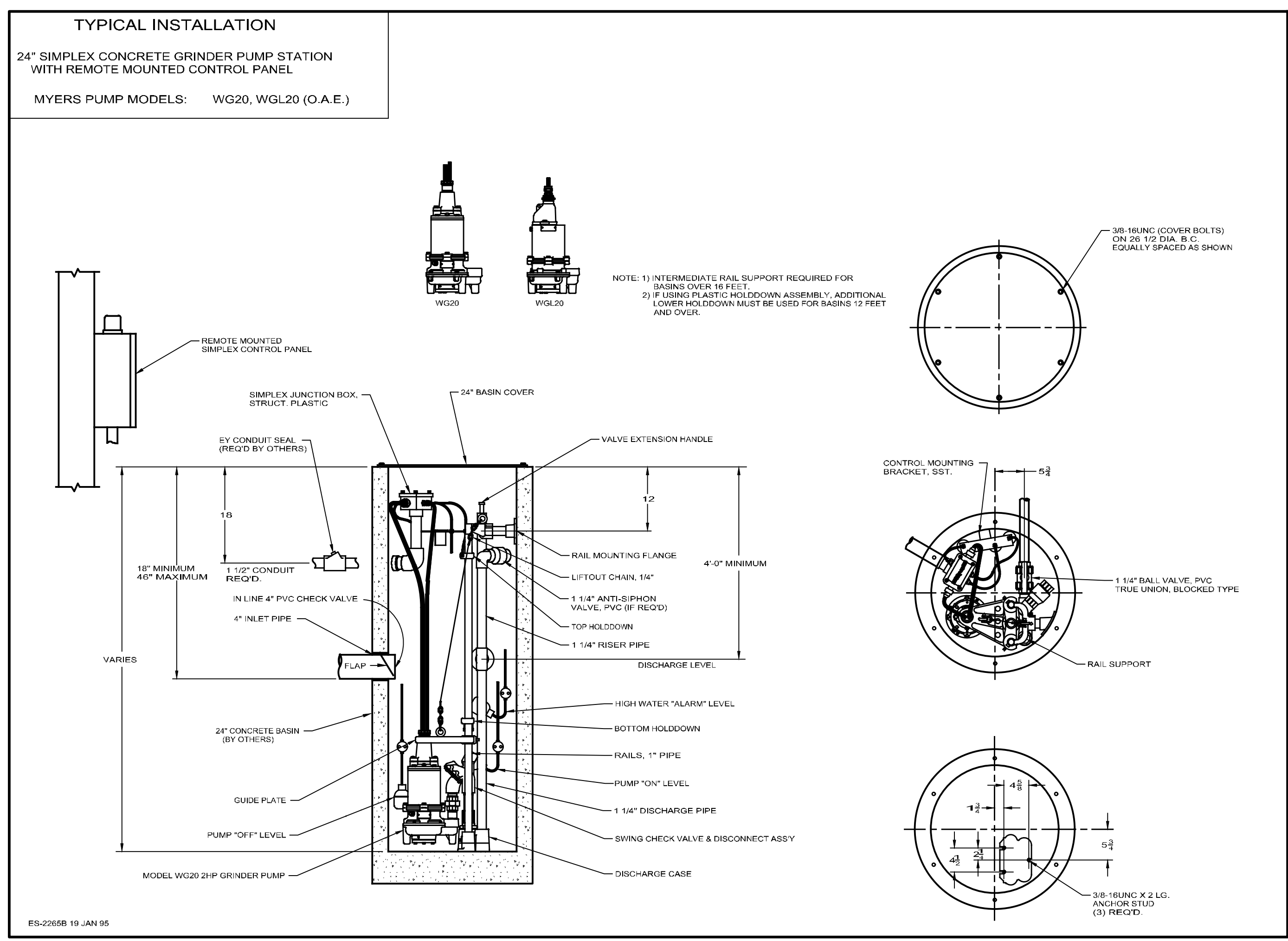
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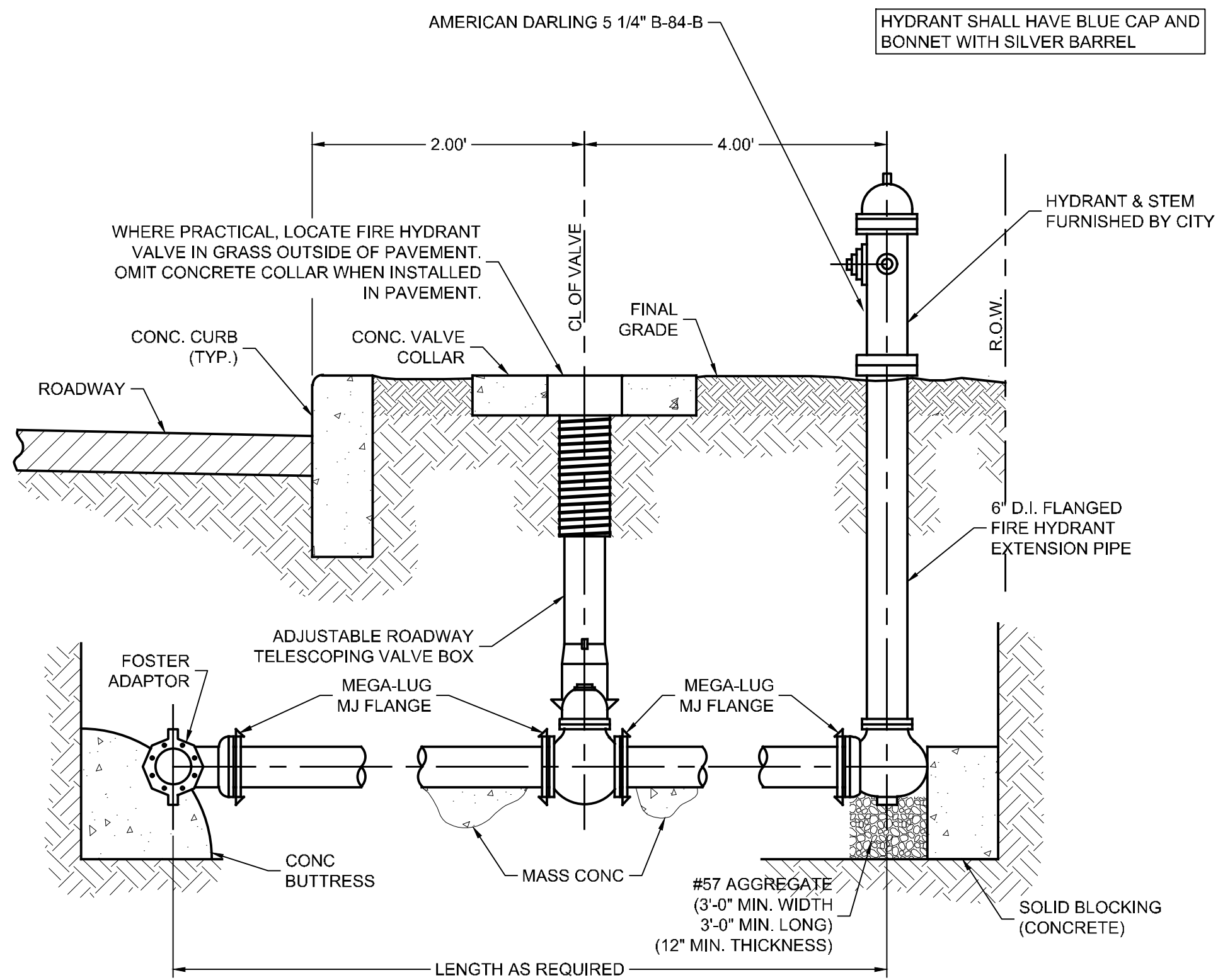
**SANITARY DETAILS**

IFR: 7/05/2024

SHEET #:  
C-422

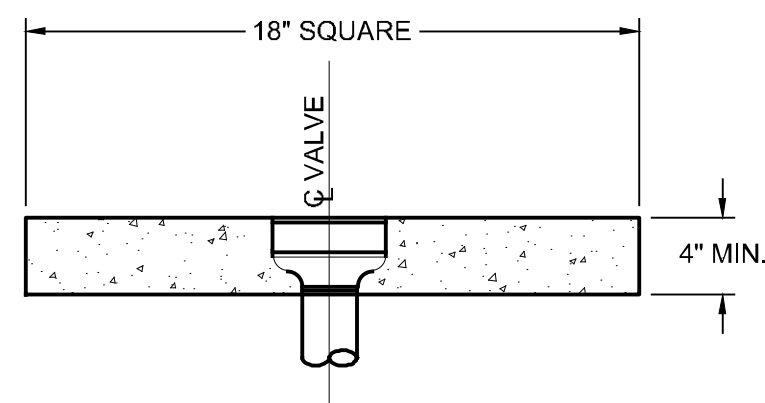






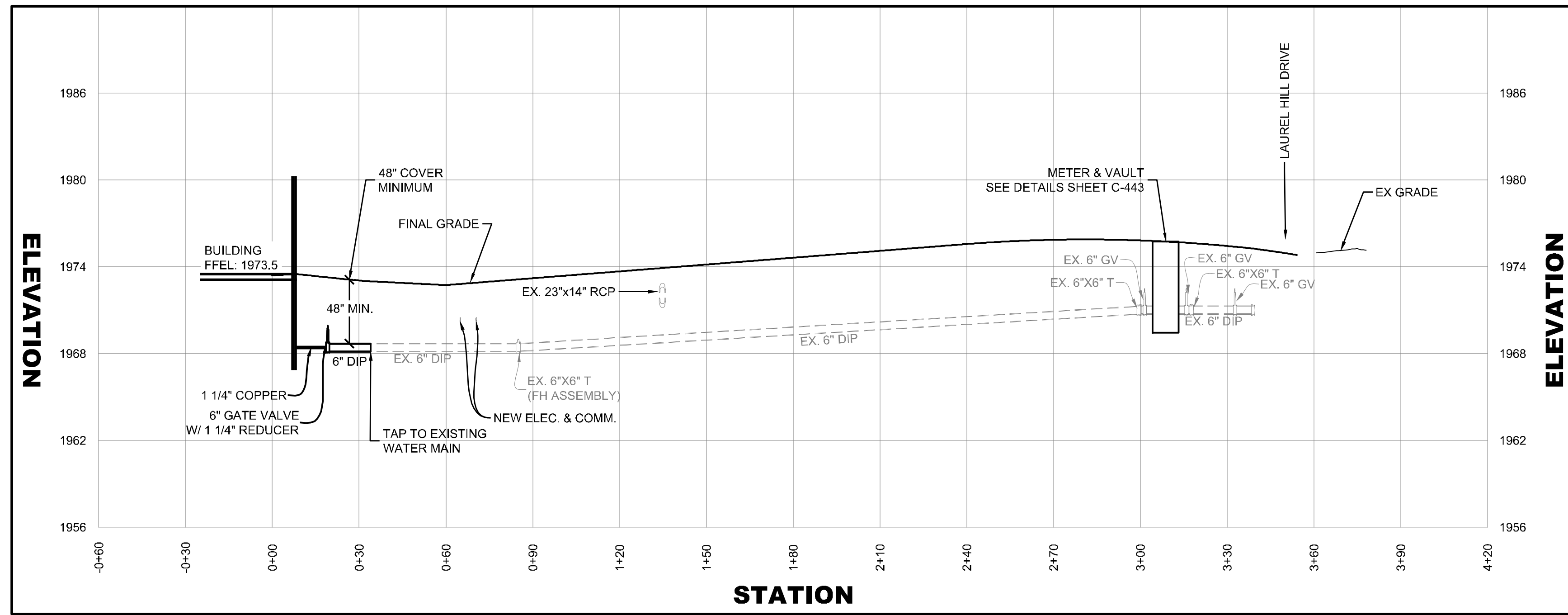
- NOTES:
- 3/4" GRAVEL OR CRUSHED STONE FULL WIDTH OF TRENCH FRONT OF HYDRANT TO END OF TRENCH BOTTOM TO POINT 4" ABOVE DRIP OPENING.
  - SEE SITE PLAN FOR LOCATION OF NEW FIRE HYDRANT AND GATE VALVE.

1 FIRE HYDRANT ASSEMBLY  
NOT TO SCALE

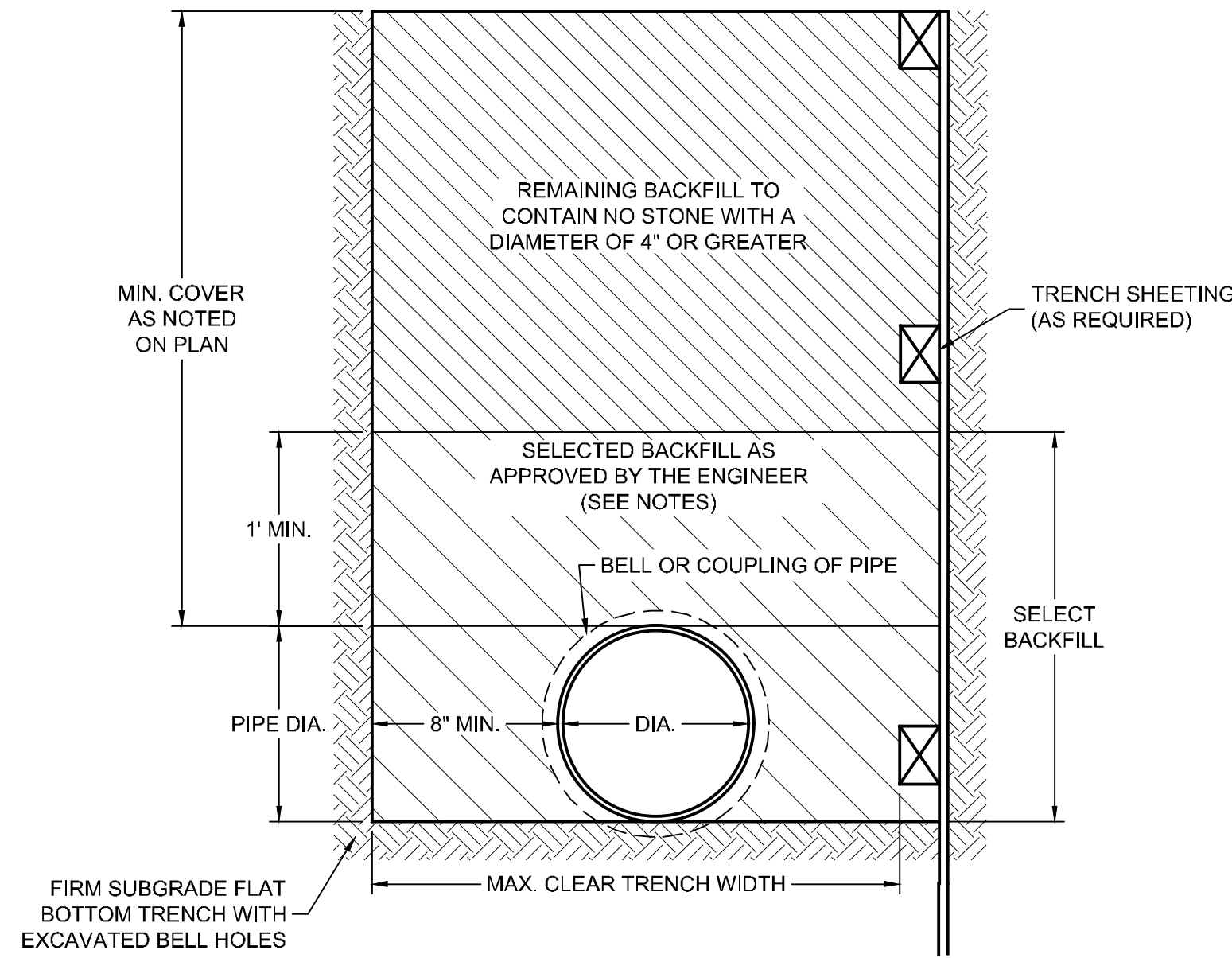


- NOTES:
- USE FOR ALL VALVE IN NON-ROADWAY APPLICATIONS (NOT USED WITH CURB STOPS)
  - 2500 PSI CONC. IN 28 DAYS
  - GRADE SO AS FLUSH OR SLIGHTLY BELOW SURROUNDING GRADE.
  - INCIDENTAL TO VALVE INSTALLATION.

2 CONCRETE VALVE COVER DETAIL  
NOT TO SCALE

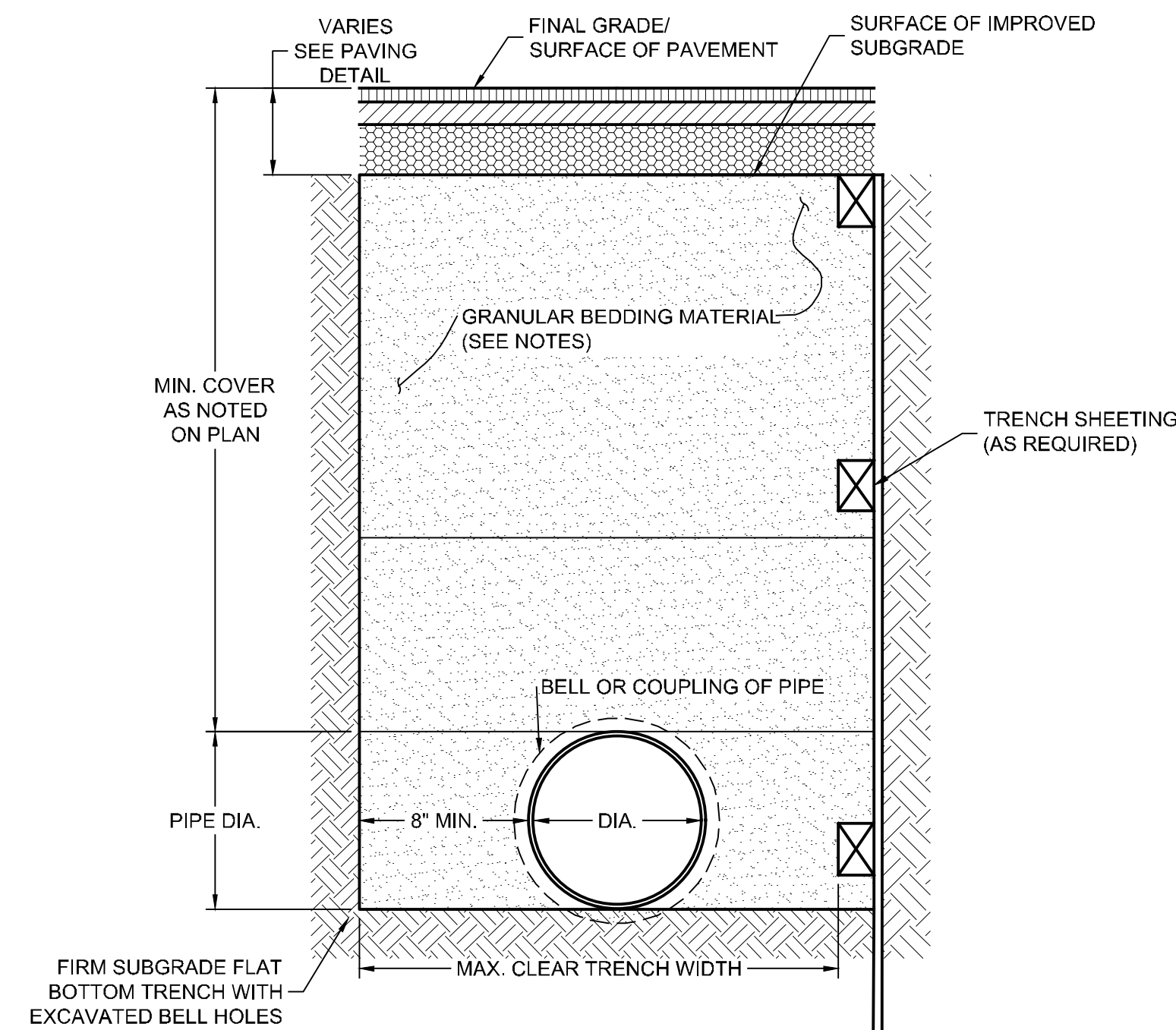


WATER J-J  
SCALE: 1" = 6' (V)  
1" = 30' (H)



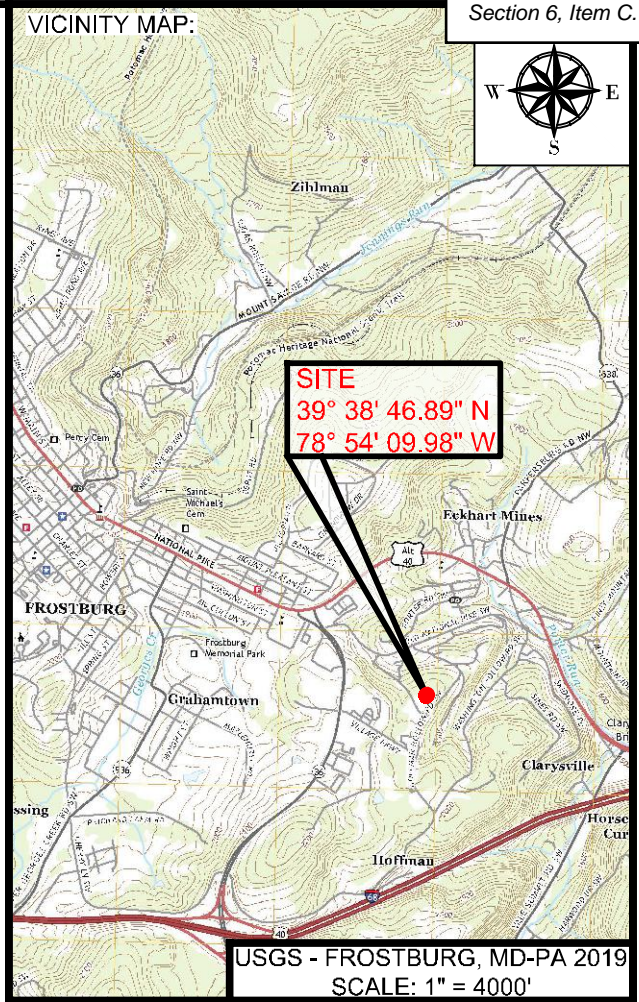
- NOTES:
- THIS DETAIL APPLIES TO ALL DUCTILE IRON PIPE WITH A DIAMETER OF 24" OR LESS.
  - ALL PIPE SHALL BE LAID ON THE FLAT TRENCH BOTTOM AND BACKFILLED TO A HEIGHT OF AT LEAST 1 FOOT OVER THE TOP OF THE PIPE WITH MATERIAL THAT SHALL BE DETERMINED SUITABLE BY THE ENGINEER AND CONTAIN NO STONE LARGER THAN NO.67 AGGREGATE MEETING ASTM D448-86.
  - MAXIMUM TRENCH WIDTH SHALL BE ADEQUATE TO PROVIDE SPACE FOR PROPER JOINTING BUT SHALL NOT EXCEED 24" PLUS THE OUTSIDE DIAMETER OF THE PIPE.
  - ALL BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99.
  - IF ROCK IS ENCOUNTERED, PREPARE TRENCH BOTTOM AS DIRECTED BY THE ENGINEER.

3 PIPE BEDDING DETAIL FOR NON-TRAFFIC AREAS  
NOT TO SCALE



- NOTES:
- THIS DETAIL APPLIES TO ALL DUCTILE IRON PIPE WITH A DIAMETER OF 24" OR LESS.
  - ALL PIPE SHALL BE LAID ON THE FLAT TRENCH BOTTOM. BEDDING MATERIAL SHALL BE QUARRY DUST OR CRUSHED STONE (CR6 OR CRD) WITH A MAXIMUM SIZE OF 3/4".
  - MAXIMUM TRENCH WIDTH SHALL BE ADEQUATE TO PROVIDE SPACE FOR PROPER JOINTING BUT SHALL NOT EXCEED 24" PLUS THE OUTSIDE DIAMETER OF THE PIPE.
  - ALL BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99. THE TOP 12" BELOW SUBGRADE ELEVATION SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99.
  - IF ROCK IS ENCOUNTERED, PREPARE TRENCH BOTTOM AS DIRECTED BY THE ENGINEER.

4 PIPE BEDDING DETAIL FOR PAVED AREAS  
NOT TO SCALE



PROJECT:  
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FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
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ELECTION DISTRICT: 24-000  
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MARYLAND

CLIENT:  
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1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



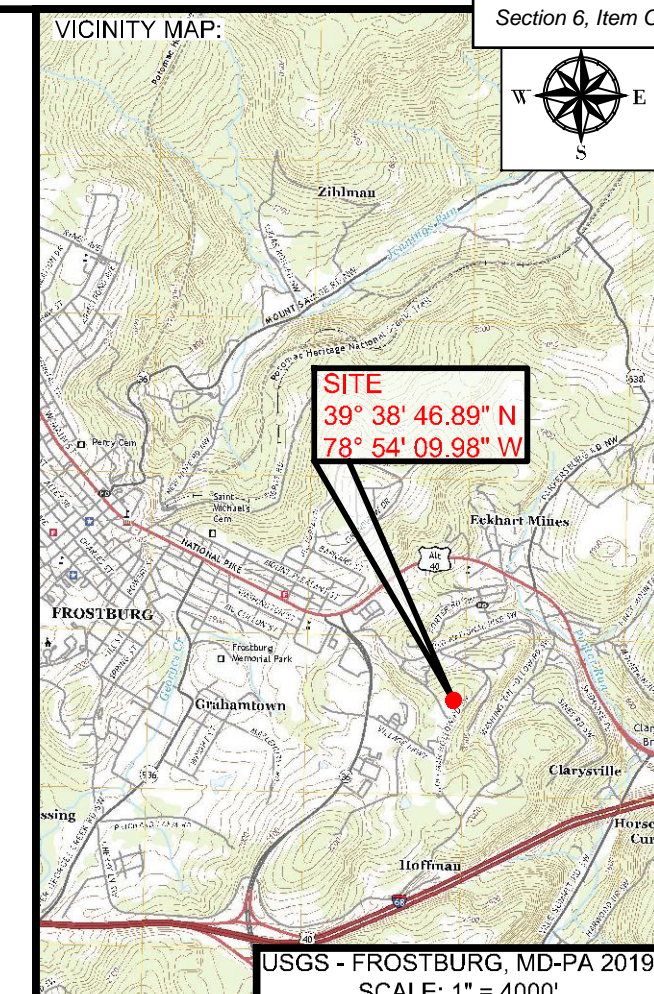
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SHEET TITLE:  
**WATER PROFILE & DETAILS**  
IFR: 7/05/2024  
SHEET #:  
C-441





PROJECT:  
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 FUTURE INDUSTRIAL DEVELOPMENT SITE  
 FROSTBURG BUSINESS PARK  
 FROSTBURG  
 ZONING: T-LI  
 ELECTION DISTRICT: 24-000  
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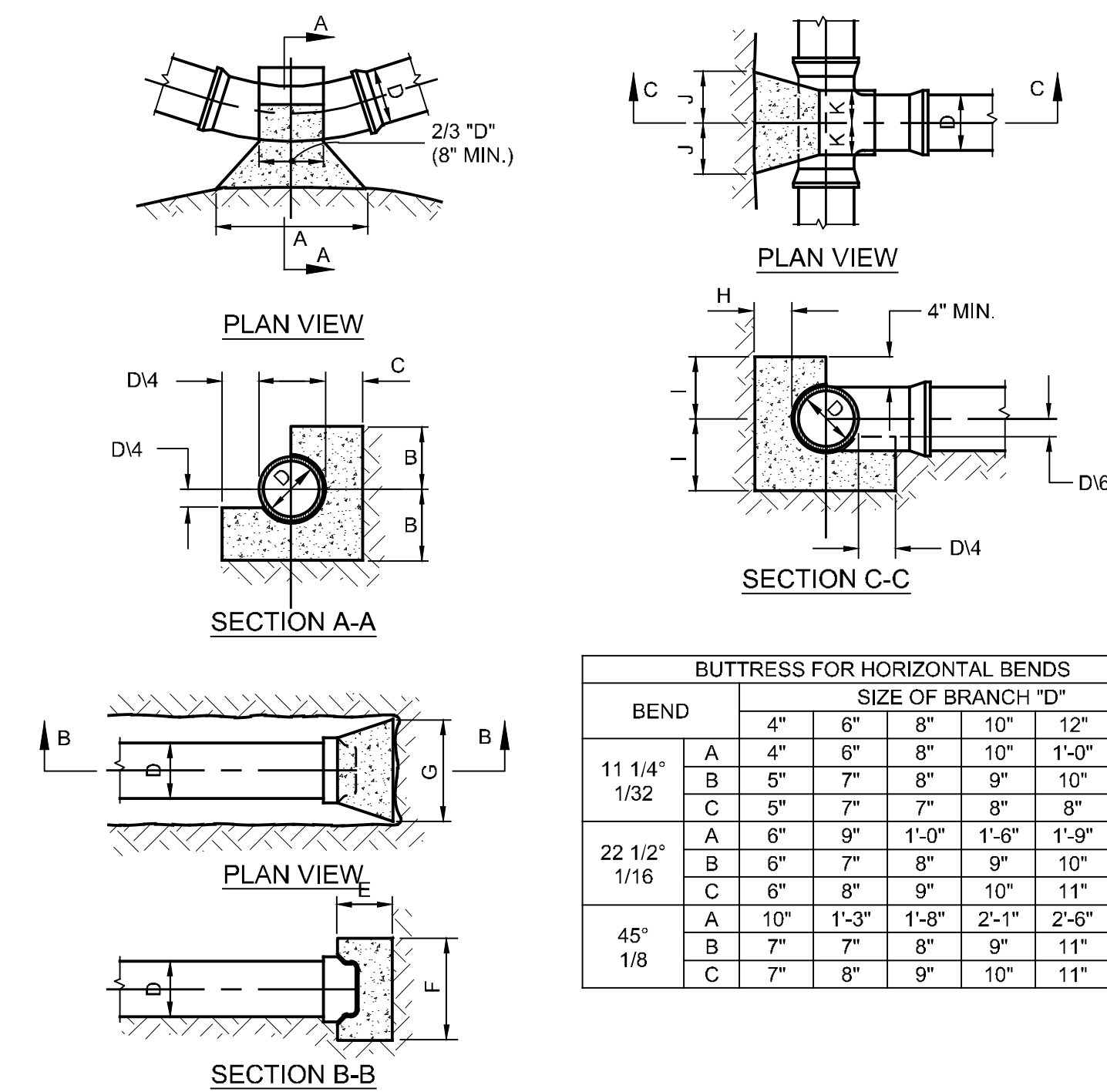
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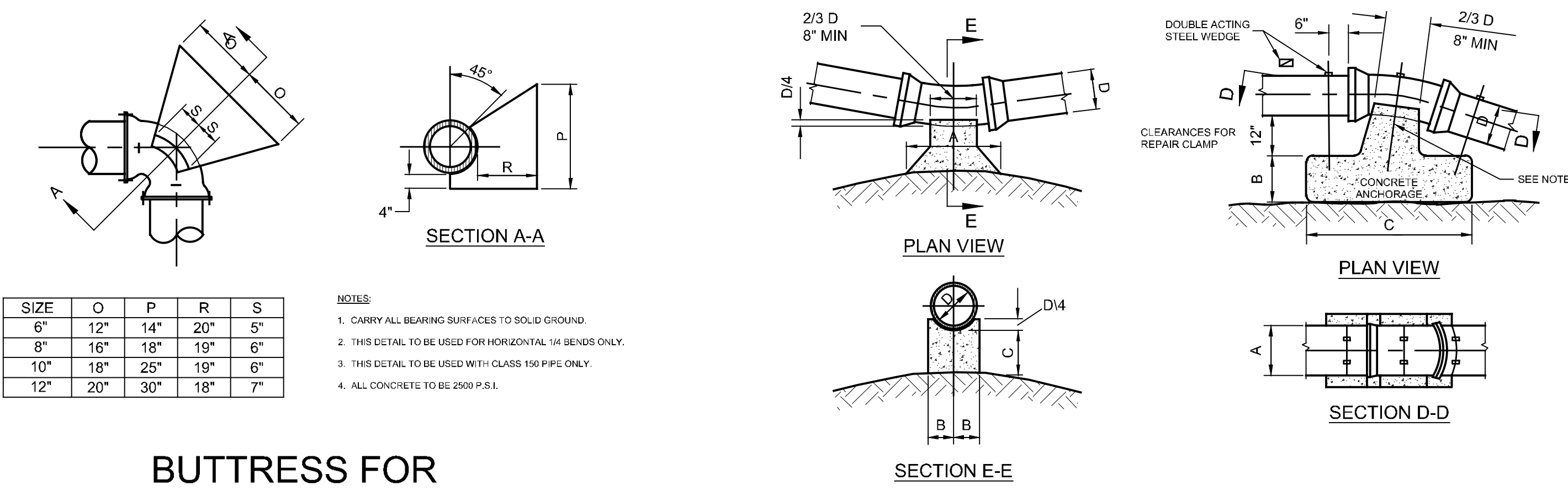
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 SHEET TITLE:  
**WATER VALVE ANCHOR DETAIL**  
 IFR: 7/05/2024  
 SHEET #:  
 C-442



- NOTES:
- ALL BUTTRESSES TO BE CARRIED TO UNDISTURBED EARTH.
  - ALL CONCRETE TO BE CLASS "B" - (2500 P.S.I.)
  - BUTTRESS DIMENSIONS SHOWN ARE MINIMUM. DIMENSIONS ARE BASED UPON SOIL BEARING PRESSURE OF 3000 P.S.F. AND STATIC WATER PRESSURE OF 150 P.S.I. WHERE PRESSURE EXCEEDS 150 P.S.I., OR WHERE SOIL BEARING IS LESS THAN 3000 P.S.F., SPECIAL BUTTRESS DESIGN IS REQUIRED.

BEND	SIZE OF BRANCH "D"						
	4"	6"	8"	10"	12"	16"	
11 1/4" / 1/32	A	4"	6"	8"	10"	1'-0"	1'-4"
	B	5"	7"	8"	9"	10"	1'-0"
	C	5"	7"	7"	8"	8"	9"
22 1/2" / 1/16	A	6"	9"	1'-0"	1'-6"	1'-9"	2'-3"
	B	6"	7"	8"	9"	10"	1'-0"
	C	6"	8"	9"	10"	11"	1'-2"
45° / 1/8	A	10"	1'-3"	1'-8"	2'-1"	2'-6"	3'-4"
	B	7"	7"	8"	9"	11"	1'-3"
	C	7"	8"	9"	10"	11"	1'-2"

**5 BUTTRESS FOR BENDS, TEES, & CAPS**  
 NOT TO SCALE

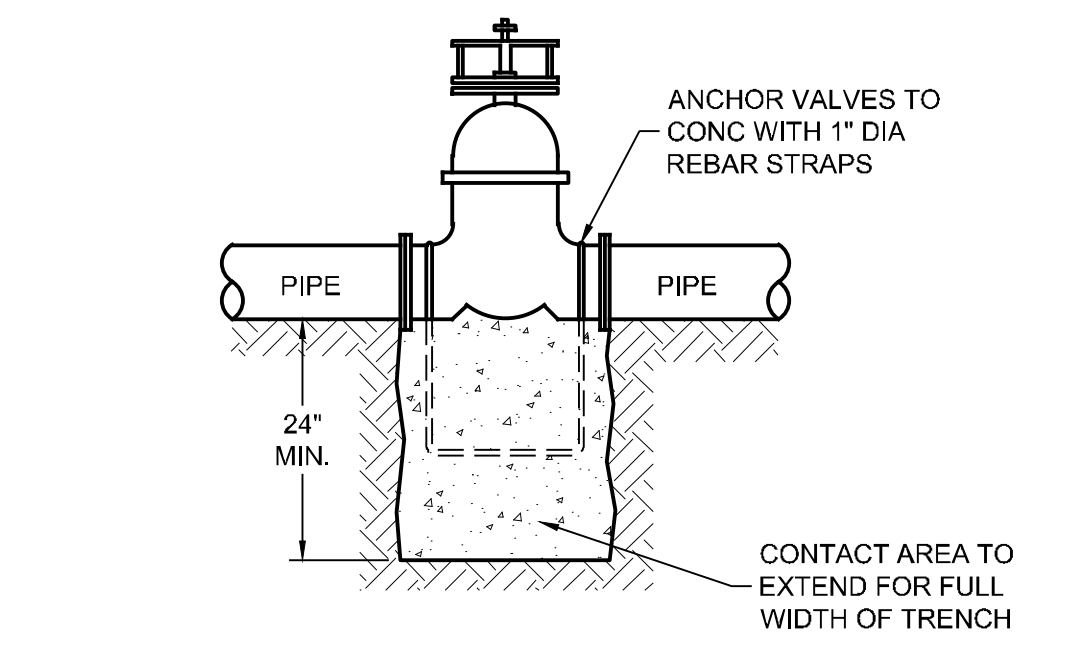


- NOTES:
- CARRY ALL BEARING SURFACES TO SOLID GROUND.
  - THIS DETAIL TO BE USED FOR HORIZONTAL 1/4 BENDS ONLY.
  - THIS DETAIL TO BE USED WITH CLASS 150 PIPE ONLY.
  - ALL CONCRETE TO BE 2500 P.S.I.

BEND	BUTTRESS DIMENSIONS						ANCHORAGE DIMENSIONS							
	SIZE						SIZE							
	4"	6"	8"	10"	12"	16"		4"	6"	8"	10"	12"	16"	
11 1/4" / 1/32	A	4"	6"	8"	10"	1'-0"	1'-4"	A	1'-4"	1'-6"	1'-6"	1'-5"	3'-0"	3'-6"
	B	5"	7"	8"	9"	10"	1'-0"	B	1'-0"	1'-3"	1'-9"	1'-3"	2'-0"	2'-0"
	C	5"	7"	7"	8"	8"	9"	C	2'-0"	2'-0"	2'-6"	2'-9"	3'-0"	4'-0"
22 1/2" / 1/16	A	6"	9"	1'-0"	1'-6"	1'-9"	2'-3"	A	1'-8"	2'-0"	3'-4"	3'-8"	4'-0"	4'-4"
	B	6"	7"	7"	8"	10"	1'-0"	B	1'-6"	1'-9"	2'-3"	2'-6"	2'-6"	2'-6"
	C	6"	7"	7"	8"	8"	9"	C	2'-0"	2'-6"	2'-8"	3'-10"	4'-0"	5'-6"
45° / 1/8	A	10"	1'-3"	1'-8"	2'-1"	2'-6"	3'-4"	A	2'-3"	2'-6"	3'-0"	4'-0"	4'-6"	5'-2"
	B	7"	7"	8"	9"	11"	1'-3"	B	1'-9"	2'-6"	2'-9"	3'-0"	3'-6"	4'-0"
	C	7"	7"	8"	10"	11"	1'-3"	C	2'-6"	3'-0"	4'-0"	4'-6"	4'-9"	6'-6"

- NOTES:
- USE 3 - #6 REINFORCING BARS AS SHOWN. IMBED 30 DIAMETERS IN CONCRETE AND PAINT EXPOSED SURFACE WITH 2 COATS OF APPROVED BITUMINOUS PAINT.
  - ALL CONCRETE TO BE CLASS "B"
  - ALL BUTTRESSES TO BE CARRIED TO UNDISTURBED EARTH.
  - BUTTRESS DIMENSIONS SHOWN ARE MINIMUM. DIMENSIONS ARE BASED UPON SOIL BEARING PRESSURE OF 3000 P.S.F. AND STATIC WATER PRESSURE OF 150 P.S.I. WHERE PRESSURE EXCEEDS 150 P.S.I. OR WHERE SOIL BEARING PRESSURE IS LESS THAN 3000 P.S.F., SPECIAL BUTTRESS DESIGN IS REQUIRED.

**6 BUTTRESS FOR 1/4 BENDS**  
 NOT TO SCALE

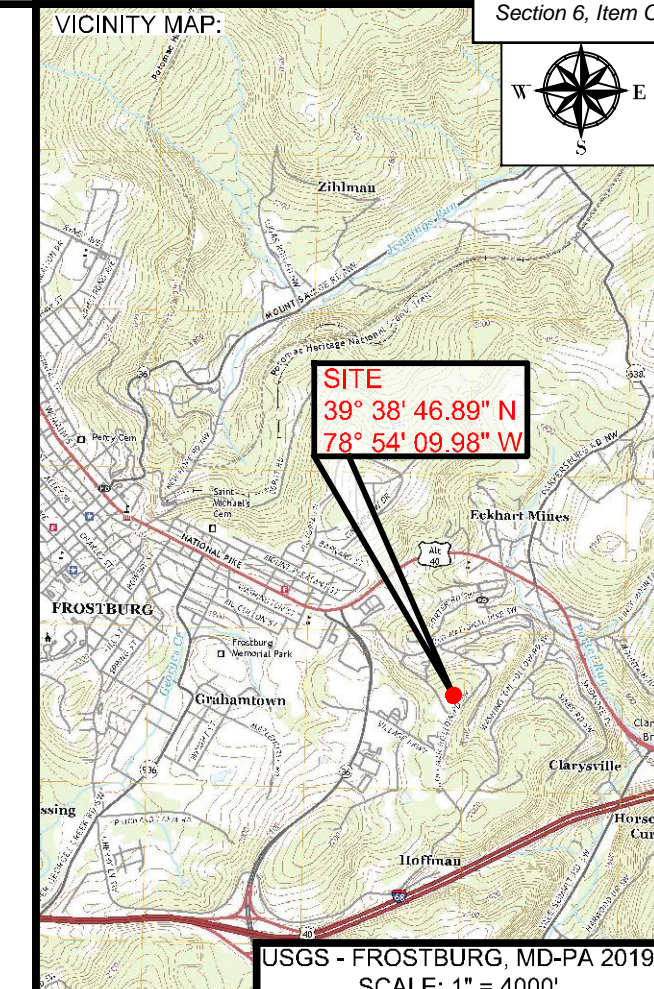


**7 WATER VALVE ANCHOR DETAIL**  
 NOT TO SCALE

**8 BUTTRESS FOR VERTICAL BENDS**  
 NOT TO SCALE

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1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



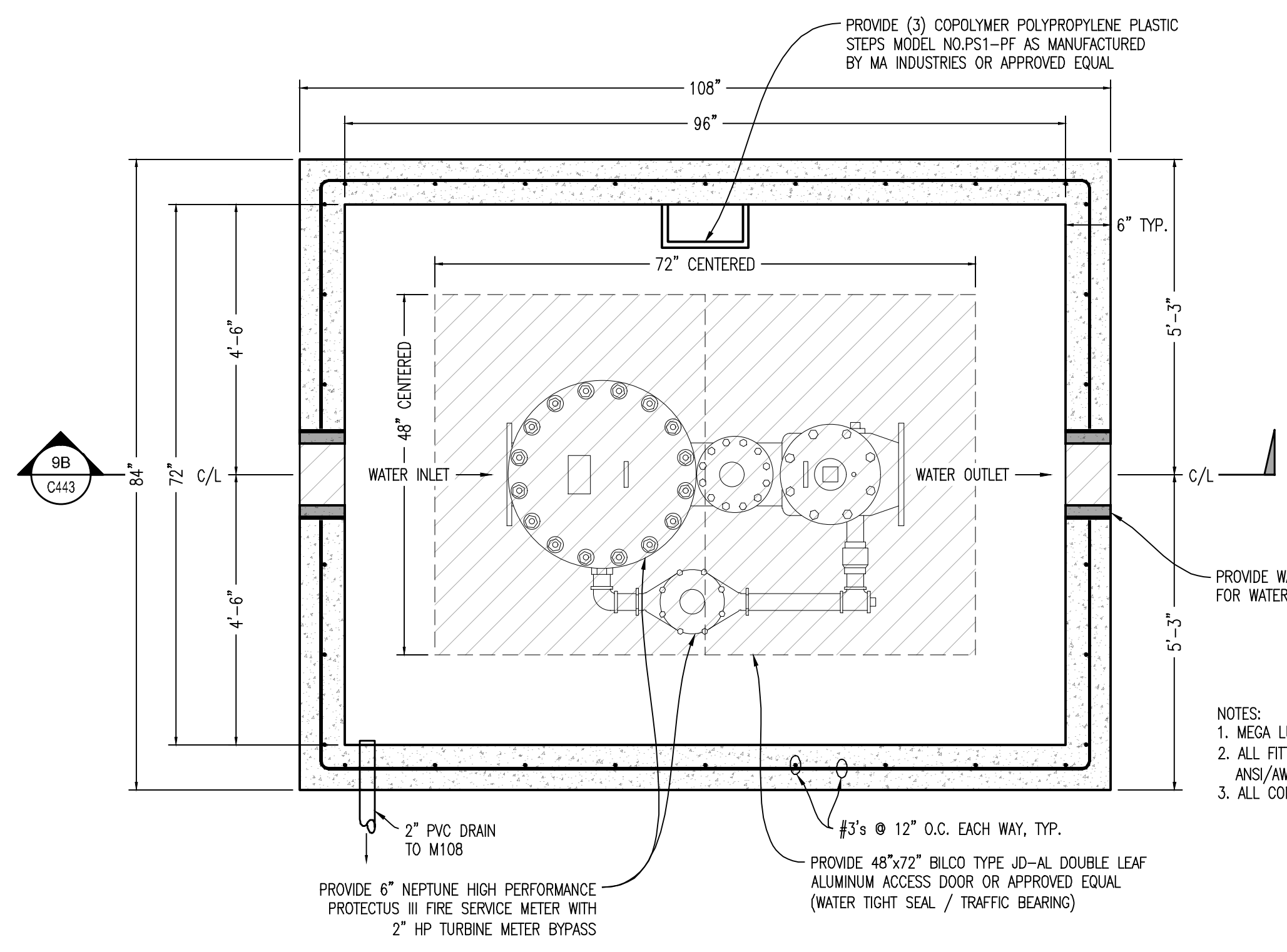
**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, Maryland 21532  
Phone (301)-687-0494 Fax (301)-687-0495  
www.bbasurevey.com

REVISIONS

NO.	BY	DATE	DESCRIPTION
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

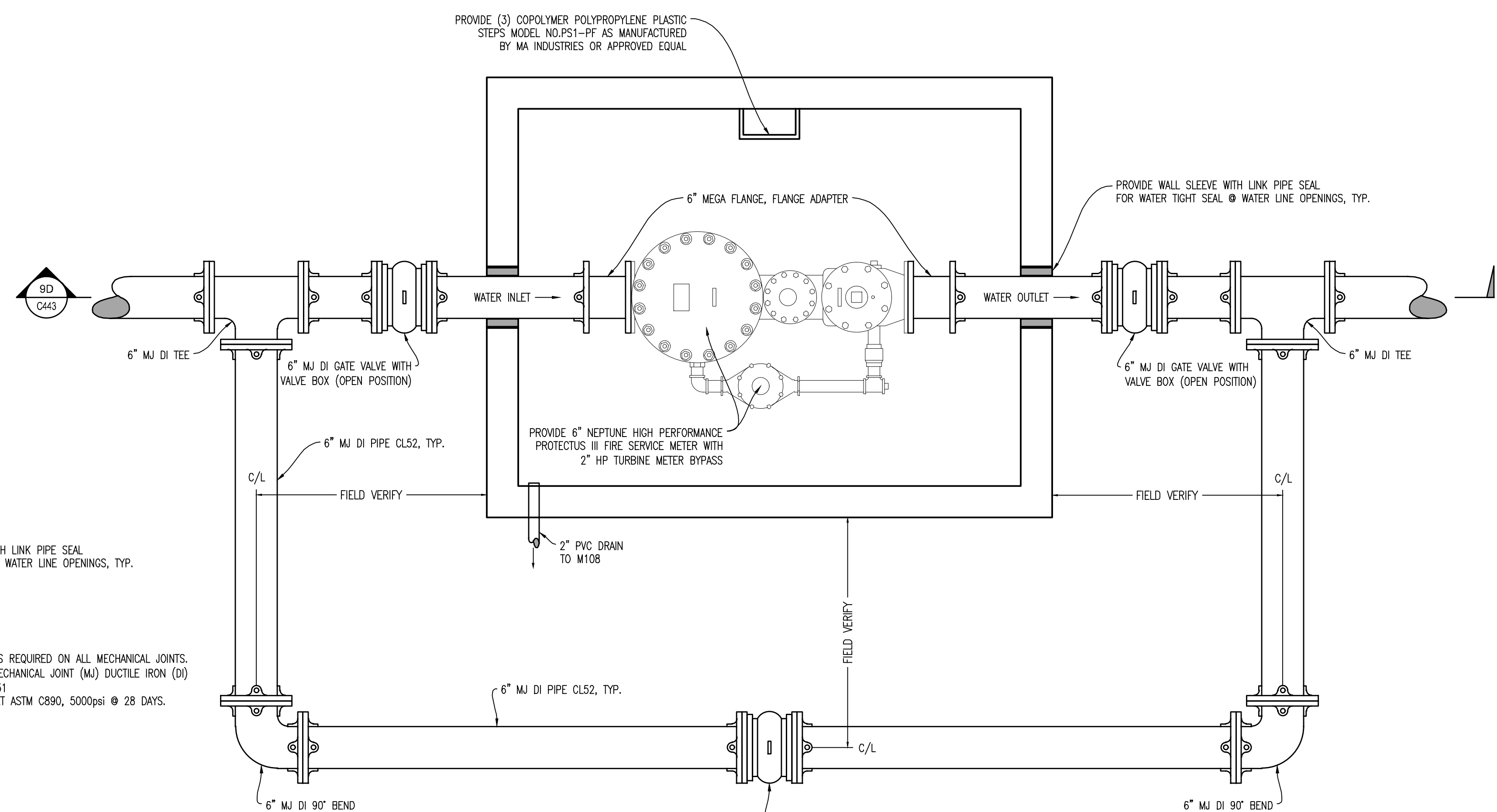
BBA# 2023088

SHEET TITLE:  
**WATER DETAILS**  
IFR: 7/05/2024  
SHEET #:  
**C-443**



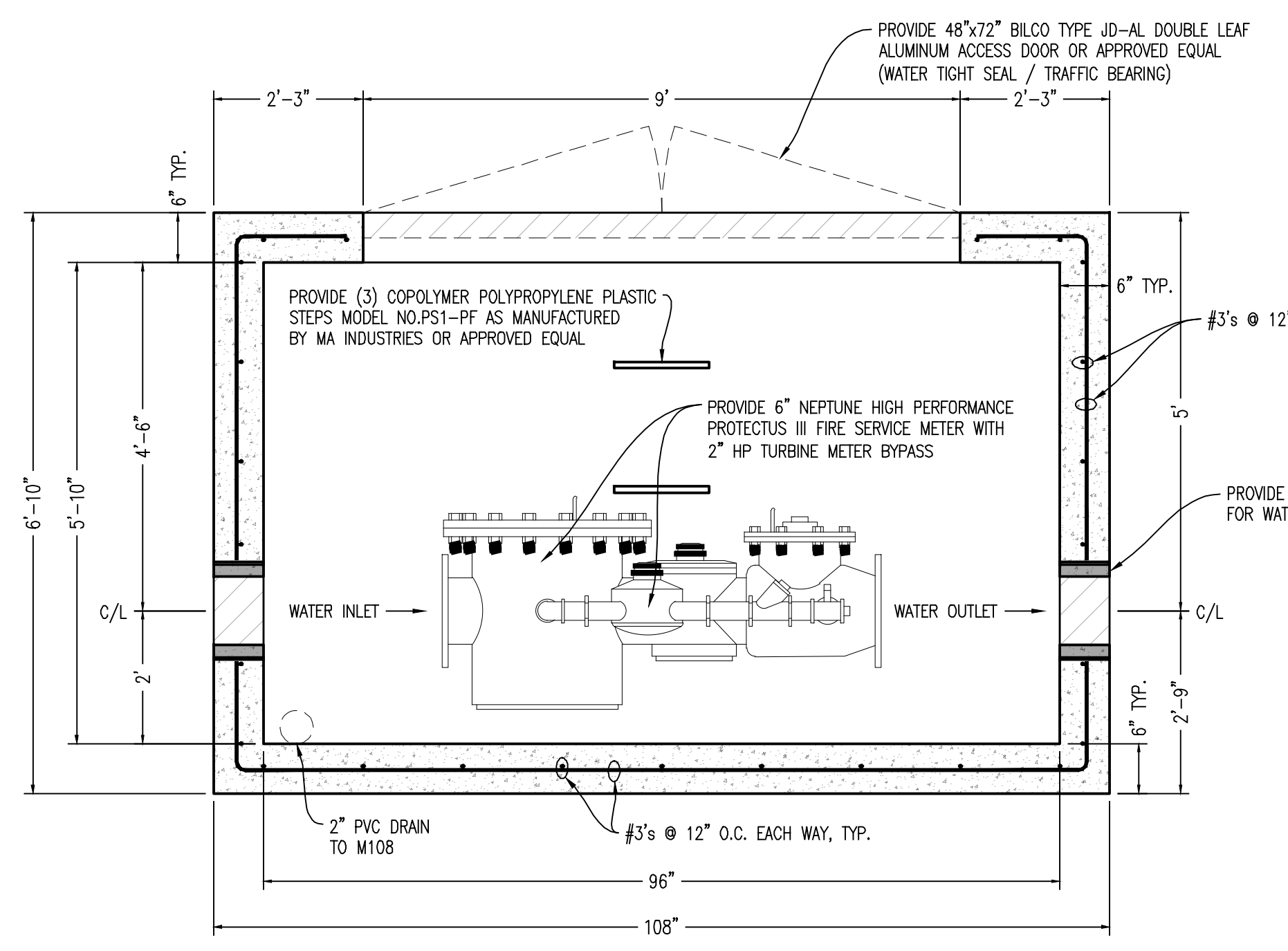
PLAN VIEW - PRECAST CONCRETE WATER METER VAULT - STRUCTURAL  
NOT TO SCALE

9A  
C443



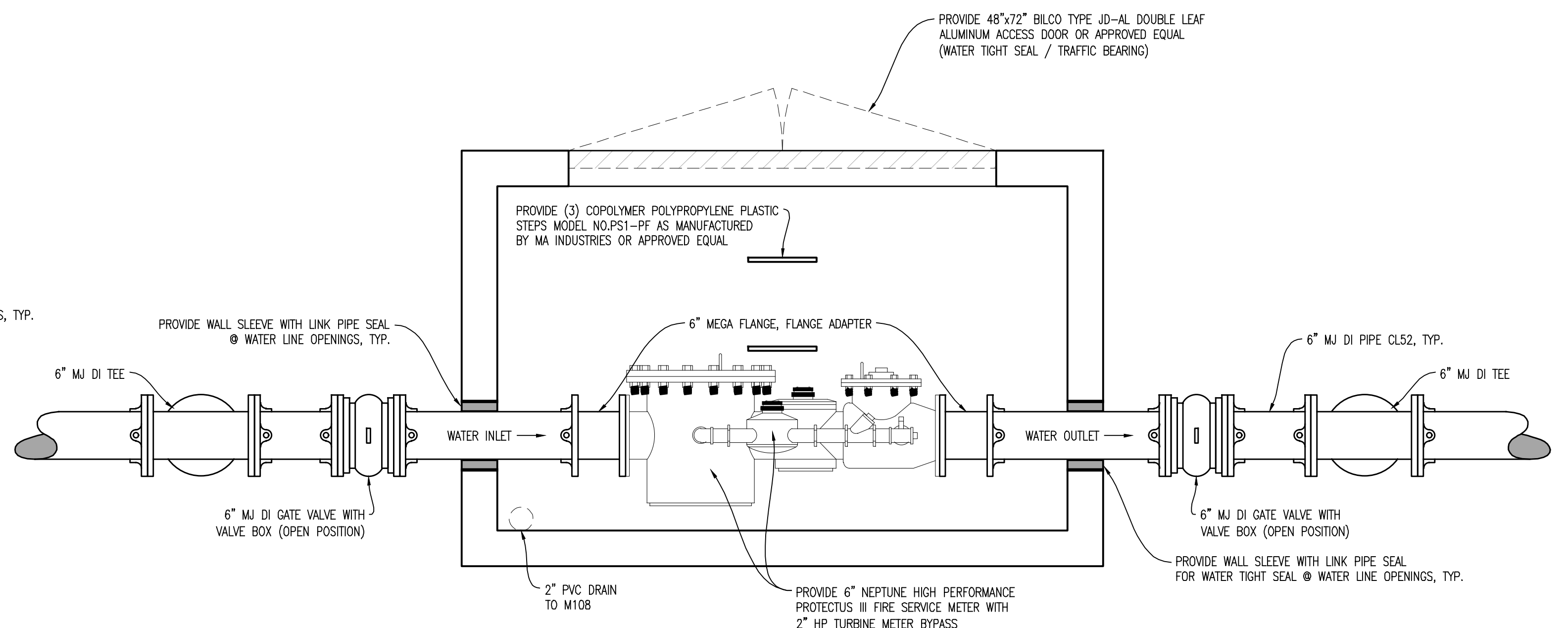
PLAN VIEW - PRECAST CONCRETE WATER METER VAULT - PLUMBING  
NOT TO SCALE

9C  
C443



SECTION VIEW - PRECAST CONCRETE WATER METER VAULT - STRUCTURAL  
NOT TO SCALE

9B  
C443



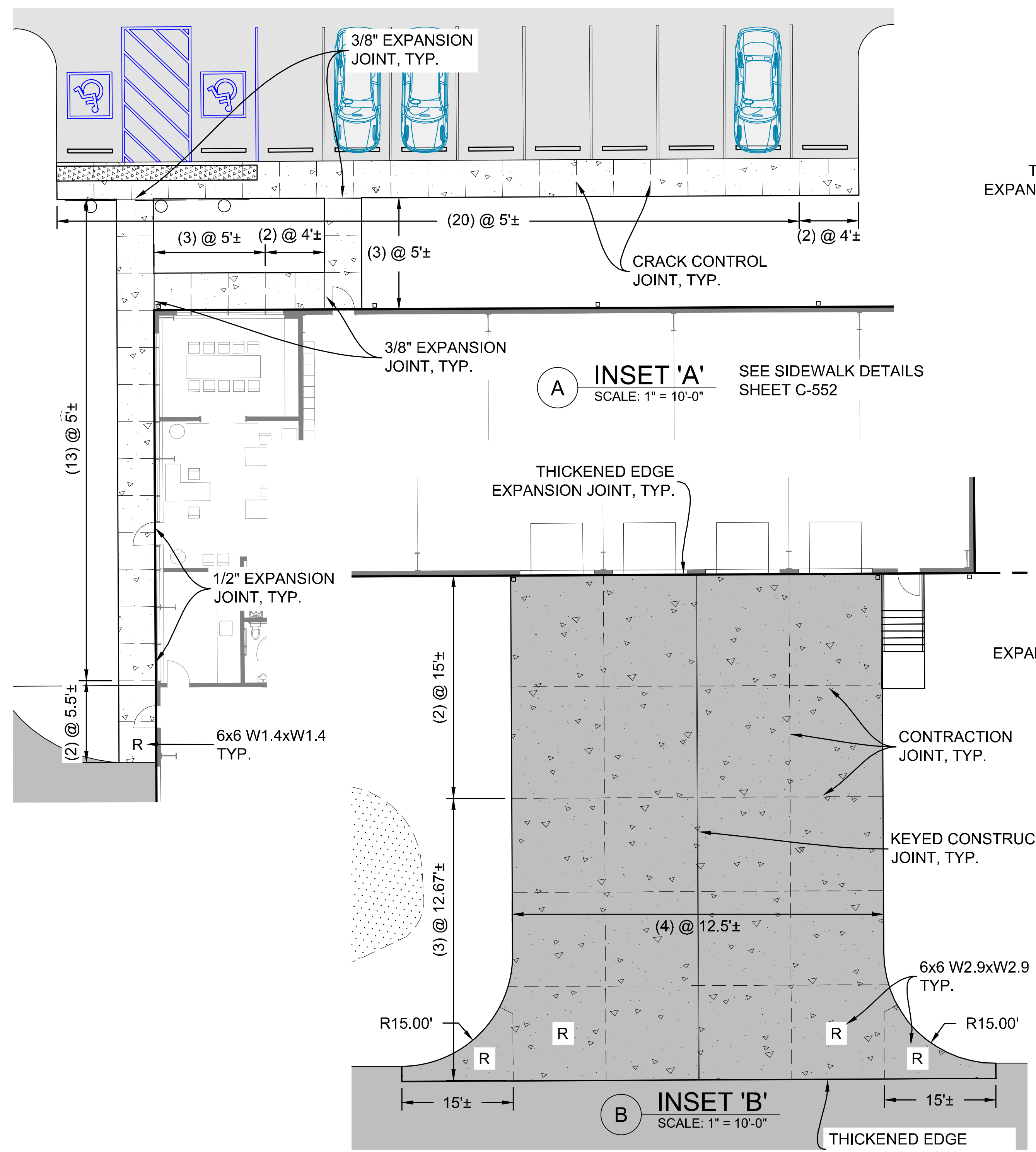
SECTION VIEW - PRECAST CONCRETE WATER METER VAULT - PLUMBING  
NOT TO SCALE

9D  
C443

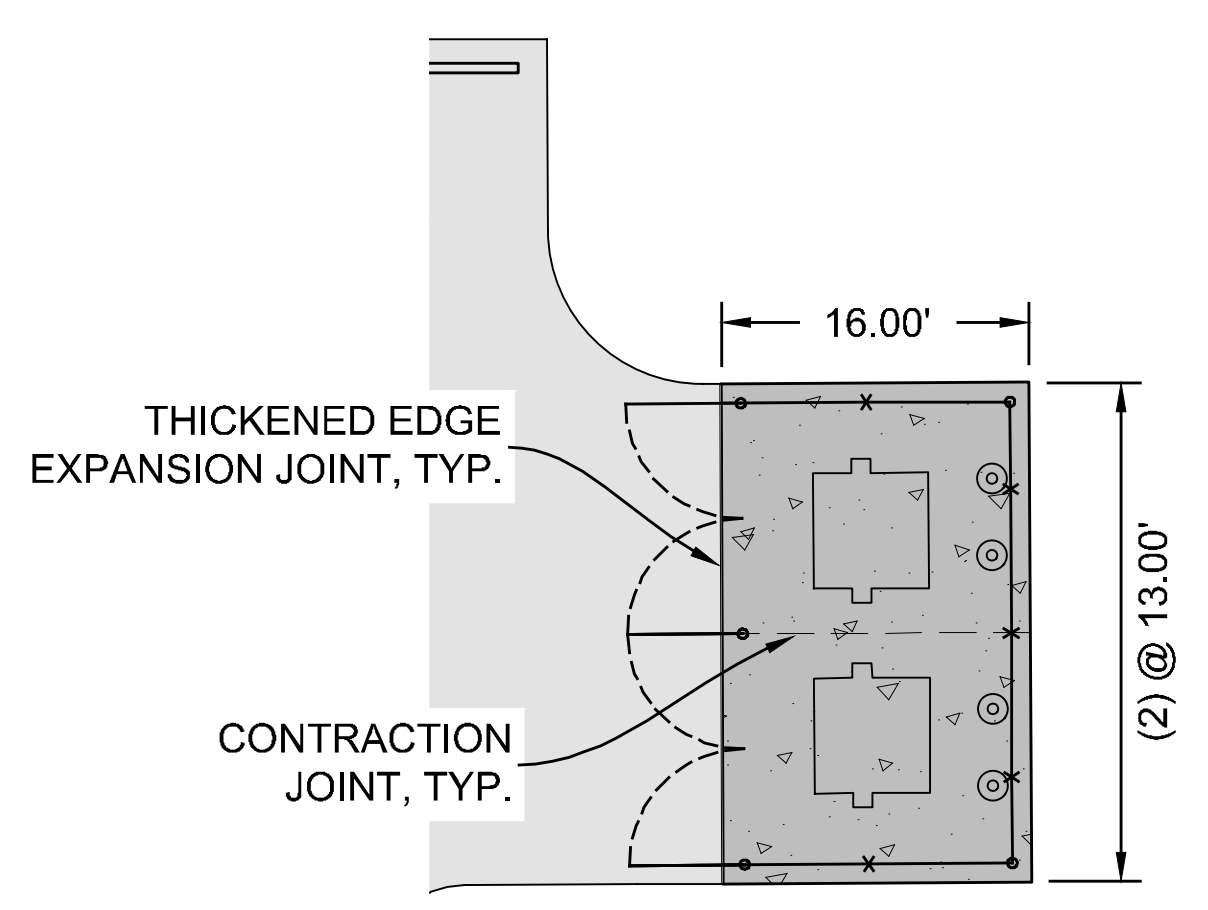
**9**  
**WATER METER & VAULT DETAIL**  
NOT TO SCALE

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Services\PRODUCTION\C-441 SERIES.dwg PLOT DATE/TIME: 7/4/2024 - 1:39pm LAST SAVE BY: work106

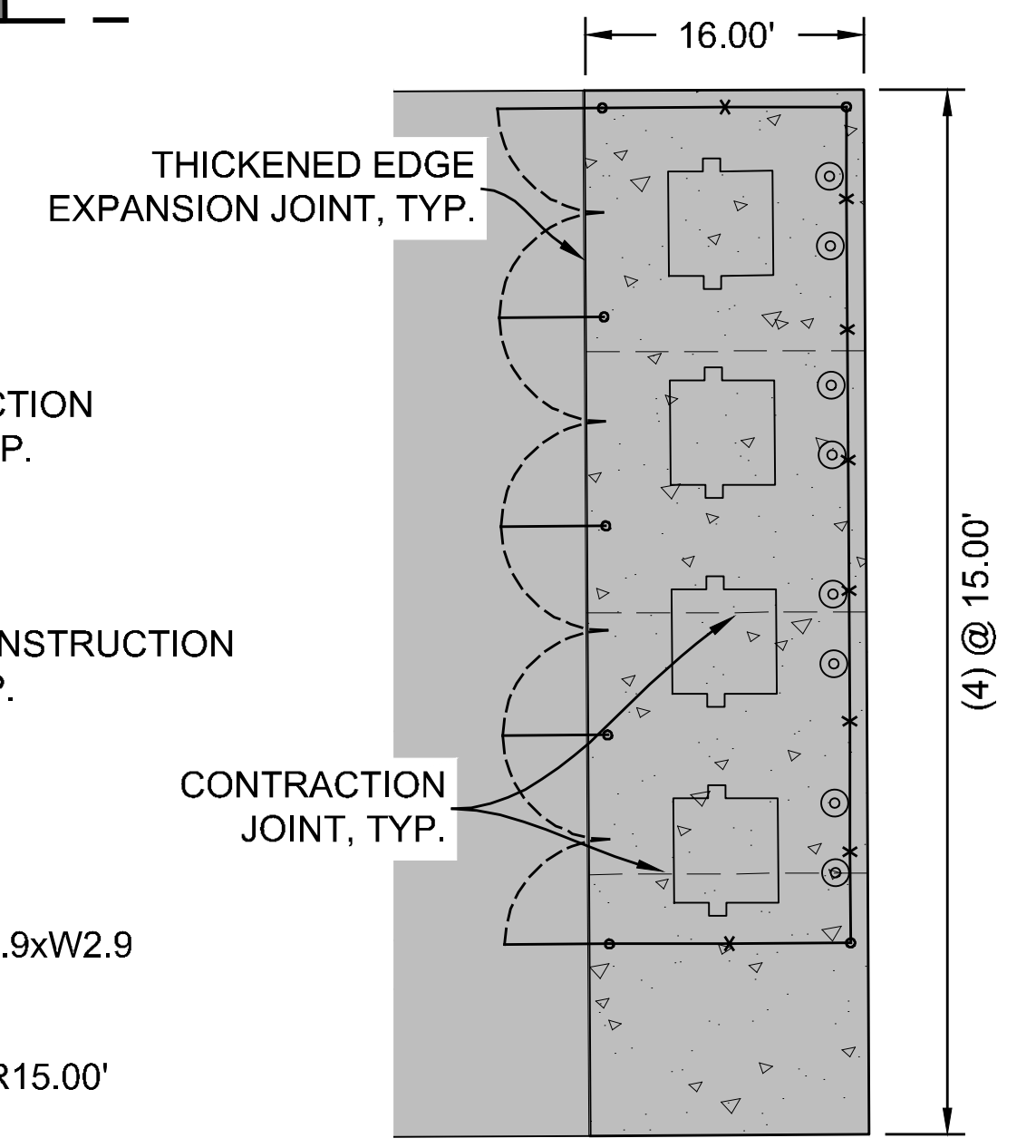




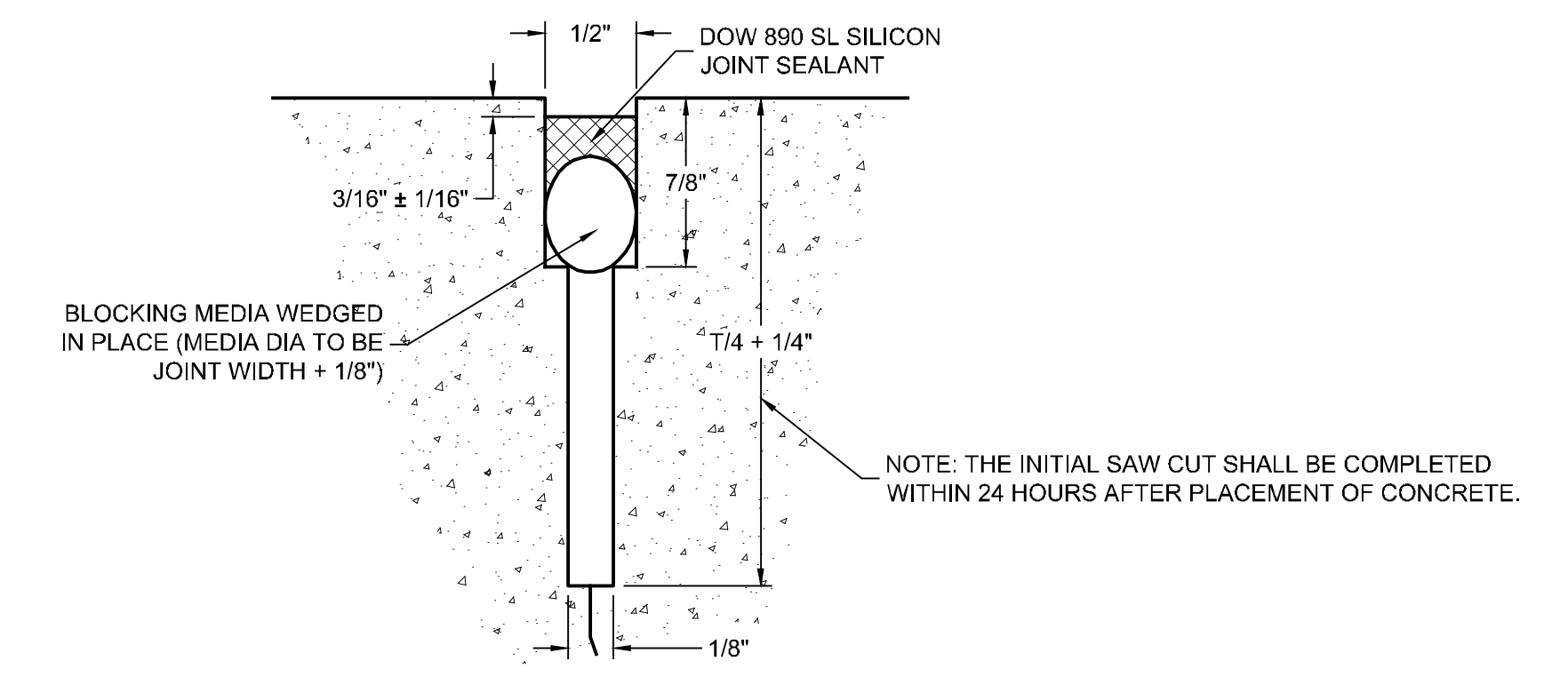
**A INSET 'A'**  
SCALE: 1" = 10'-0"  
SEE SIDEWALK DETAILS SHEET C-552



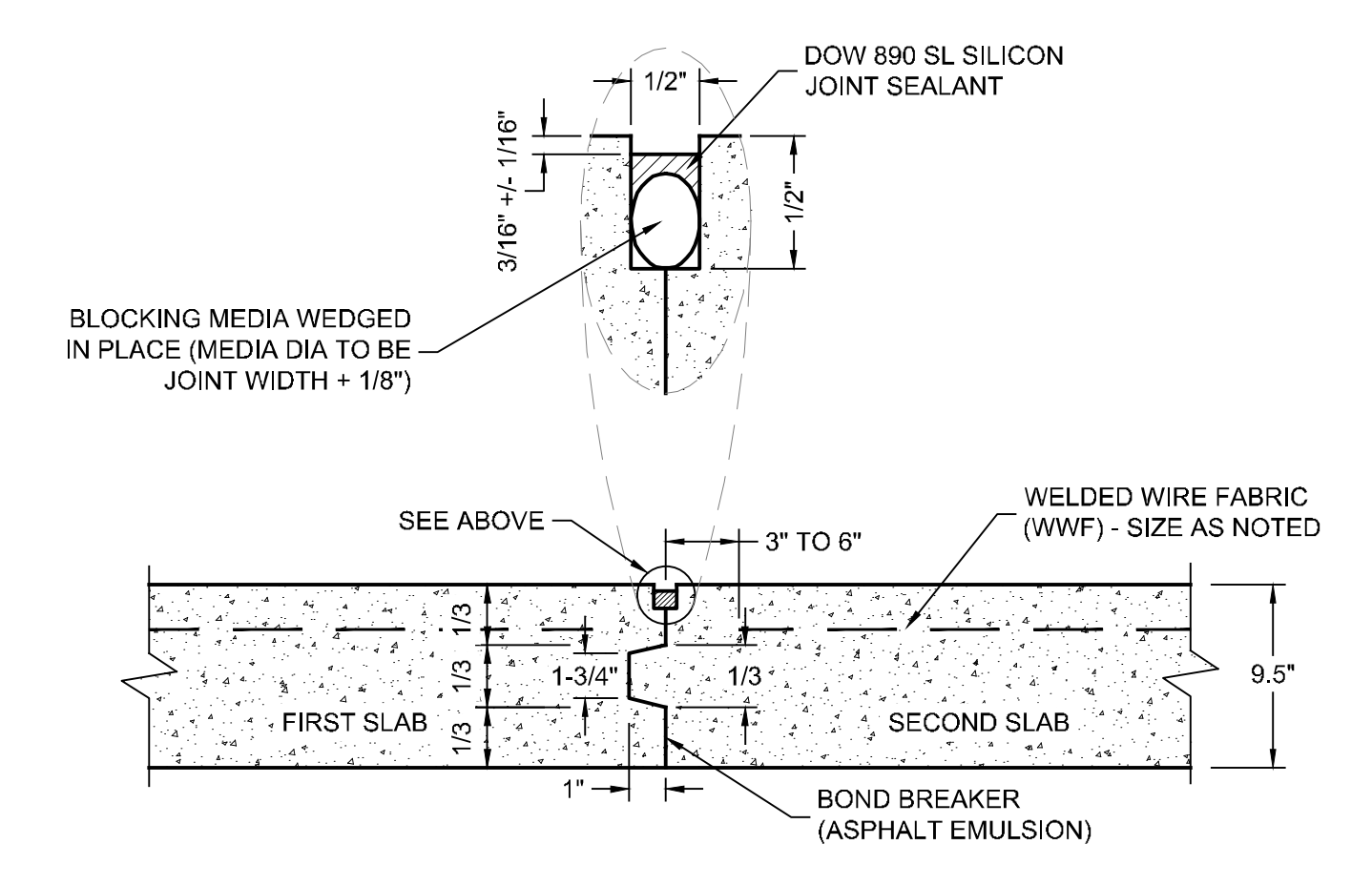
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SCALE: 1" = 10'-0"



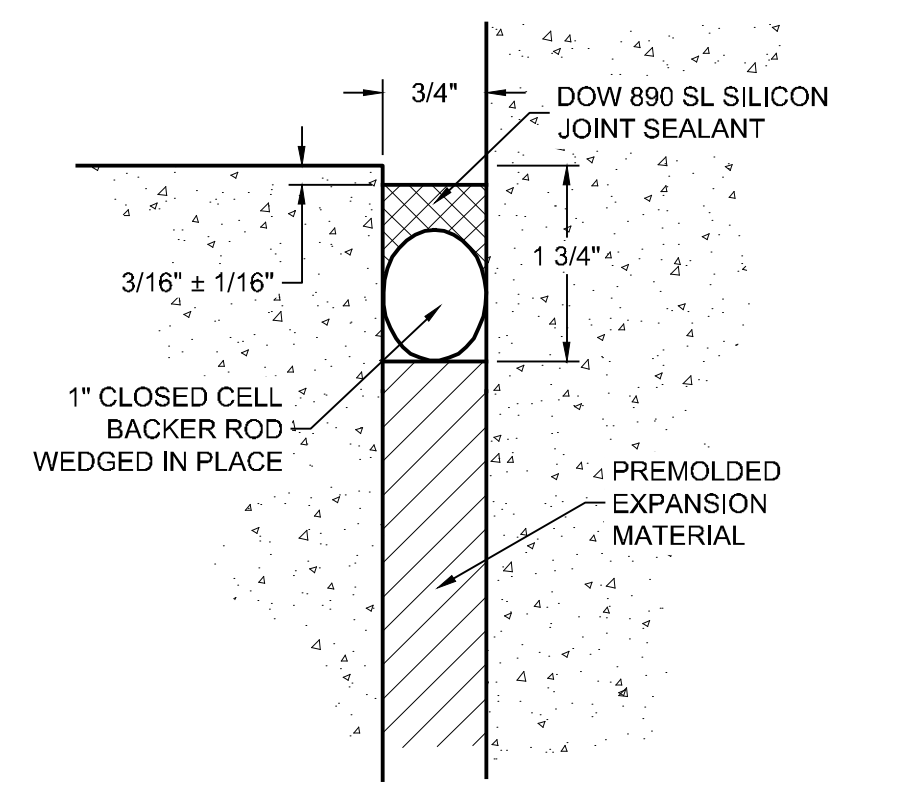
**D INSET 'D'**  
SCALE: 1" = 10'-0"



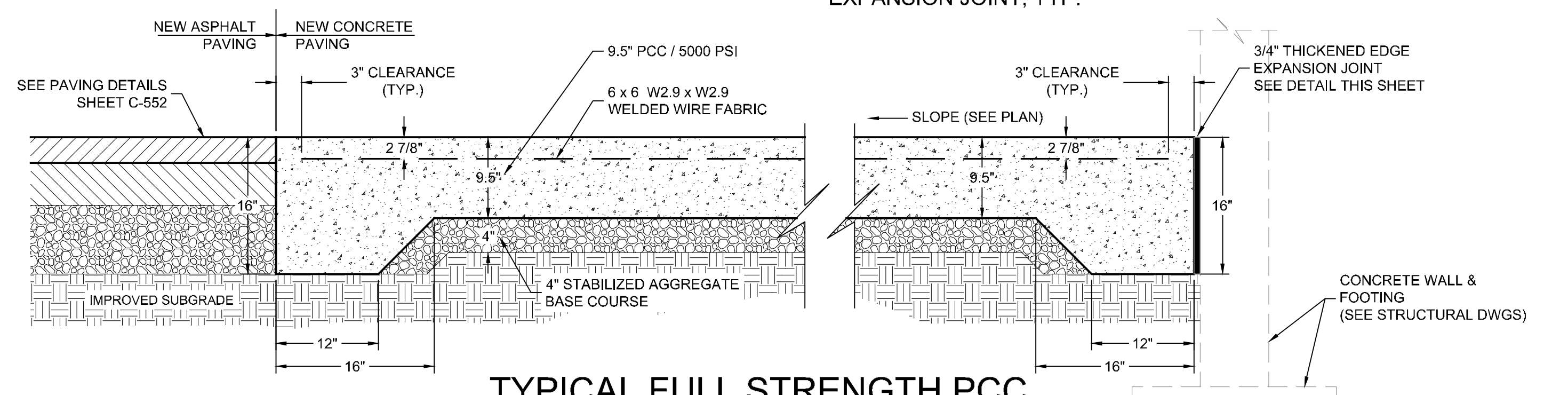
**1 NEW CONTRACTION JOINT (SAWED TYPE)**  
NOT TO SCALE



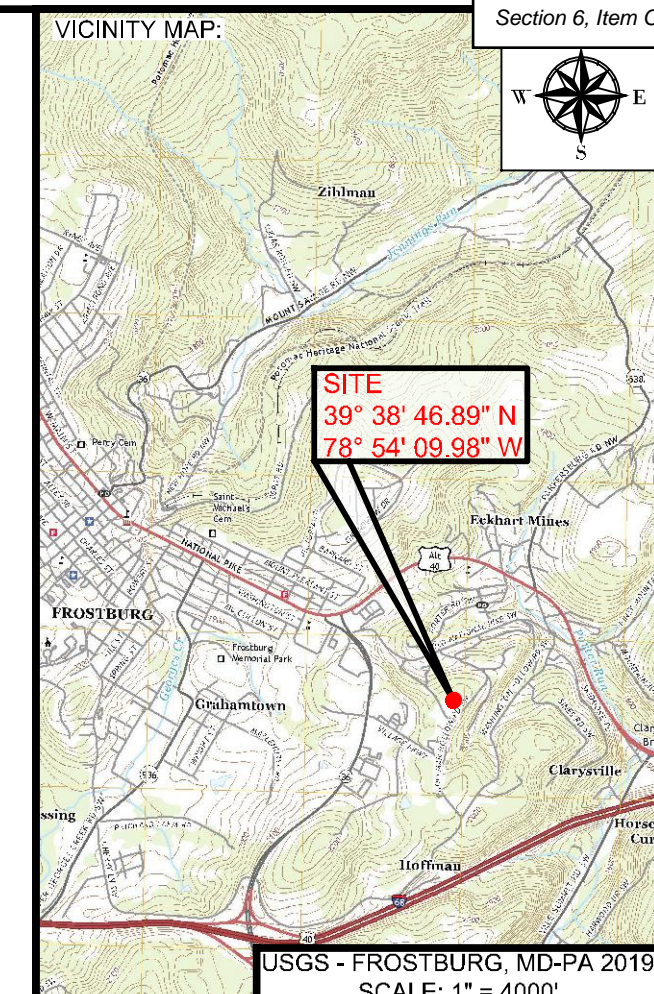
**2 NEW KEYED CONSTRUCTION JOINT**  
NOT TO SCALE



**3 NEW THICKENED EDGE EXPANSION JOINT**  
NOT TO SCALE



**4 TYPICAL FULL STRENGTH PCC CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
**CLYM**  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200 Frostburg, Maryland 21532  
Phone (301)-687-0494 www.bbasurey.com Fax (301)-687-0495

REVISIONS			
NO.	BY	DATE	DESCRIPTION
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

DRAWN: BBA DATE: 7/05/2024  
CHECKED: MB SCALE: AS NOTED  
APPROVED: MB CRD FILE: 23088

BBA# 2023088

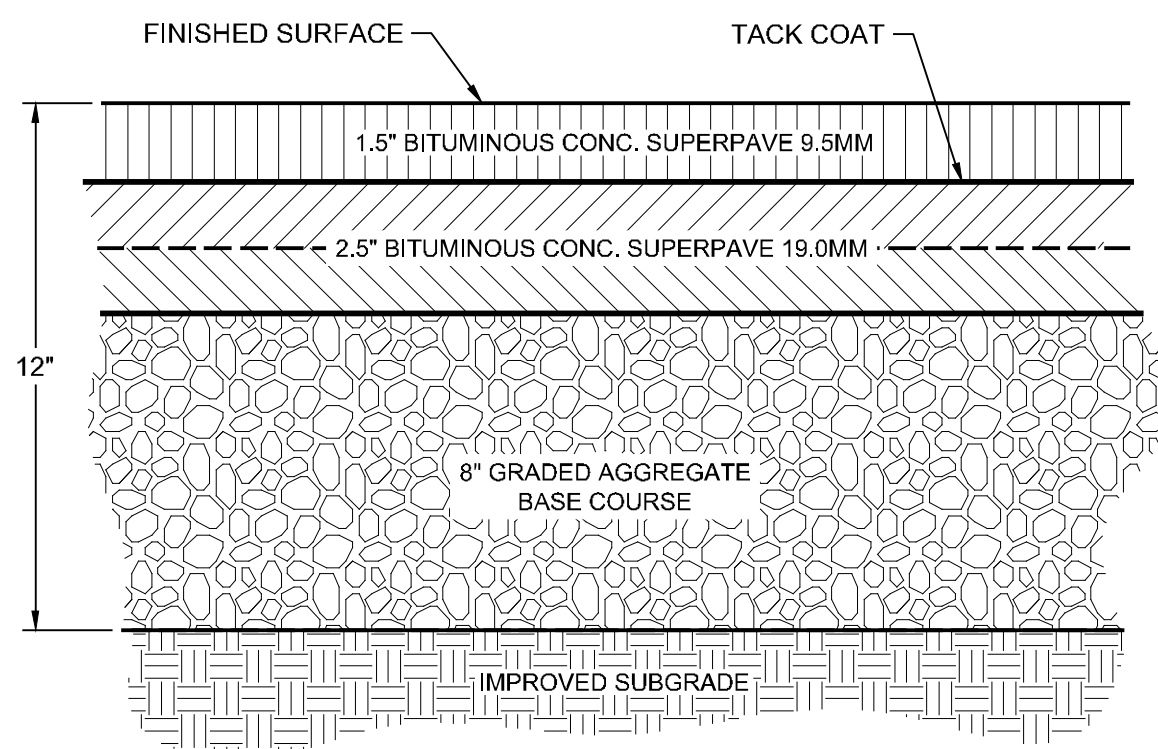
SHEET TITLE:  
**GENERAL DETAILS**

IFR: 7/05/2024

SHEET #:  
C-551

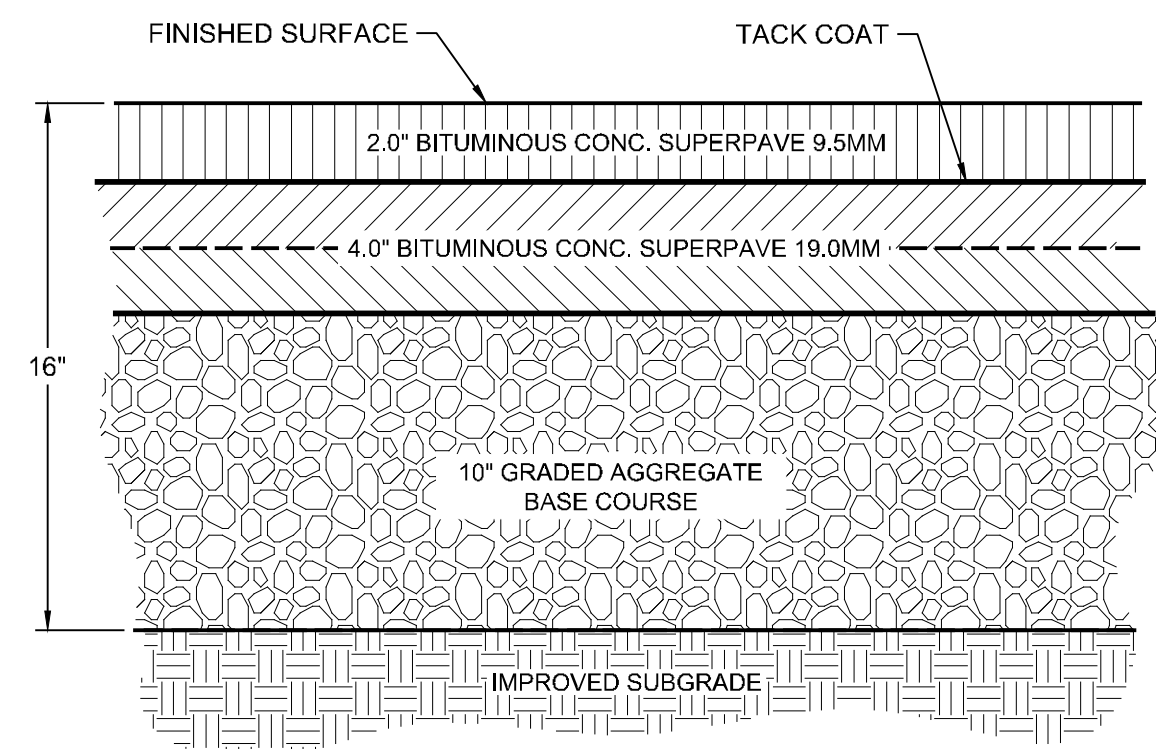
CAD FILE: E:\2023\23088 - Cym Environmental - Cym Services\PRODUCTION\C-551 SERIES.dwg PLOT DATE/TIME: 7/4/2024 - 1:39pm LAST SAVE BY: work106





NOTE: ALL AGGREGATE BASE AND SUBGRADE TO BE COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY AS PER AASHTO T-99.

5 GENERAL PAVING DETAIL  
NOT TO SCALE

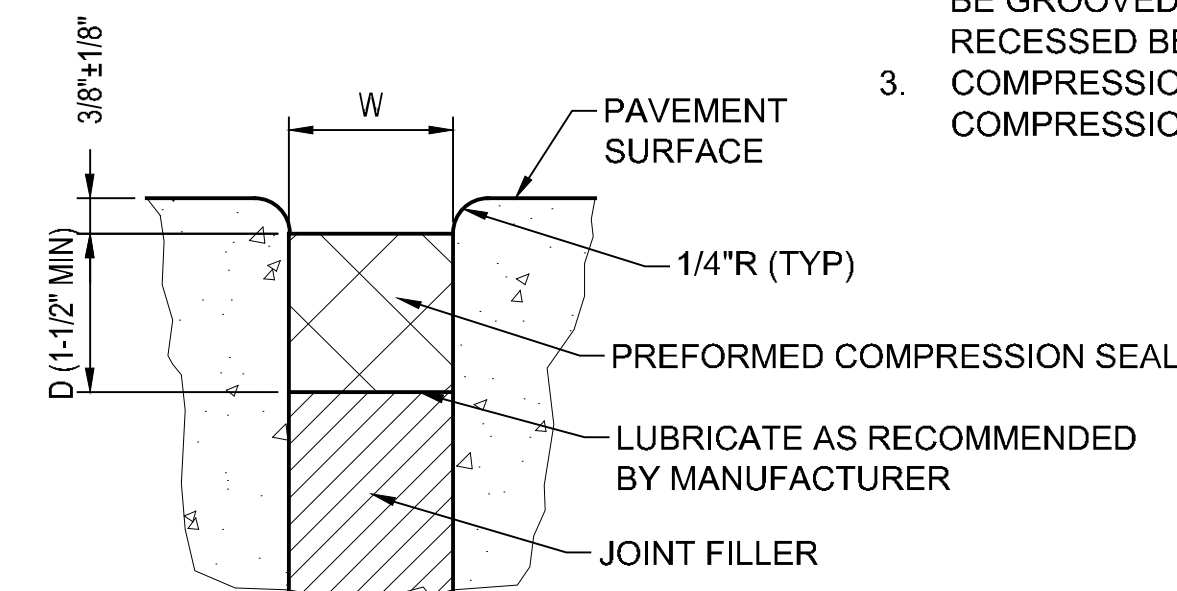


NOTE: ALL AGGREGATE BASE AND SUBGRADE TO BE COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY AS PER AASHTO T-99.

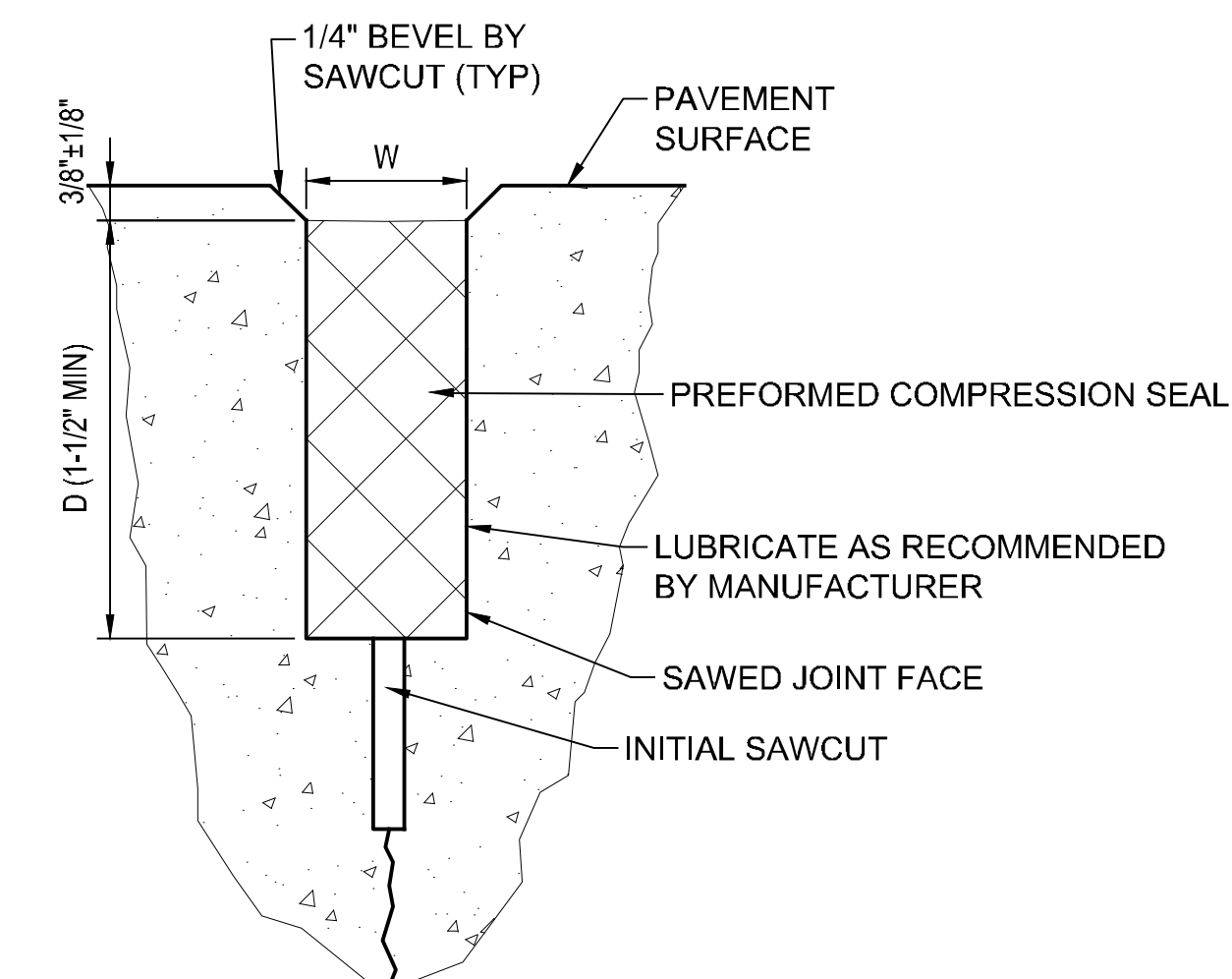
6 HEAVY DUTY PAVING DETAIL  
NOT TO SCALE

**JOINT SEALANT NOTES:**

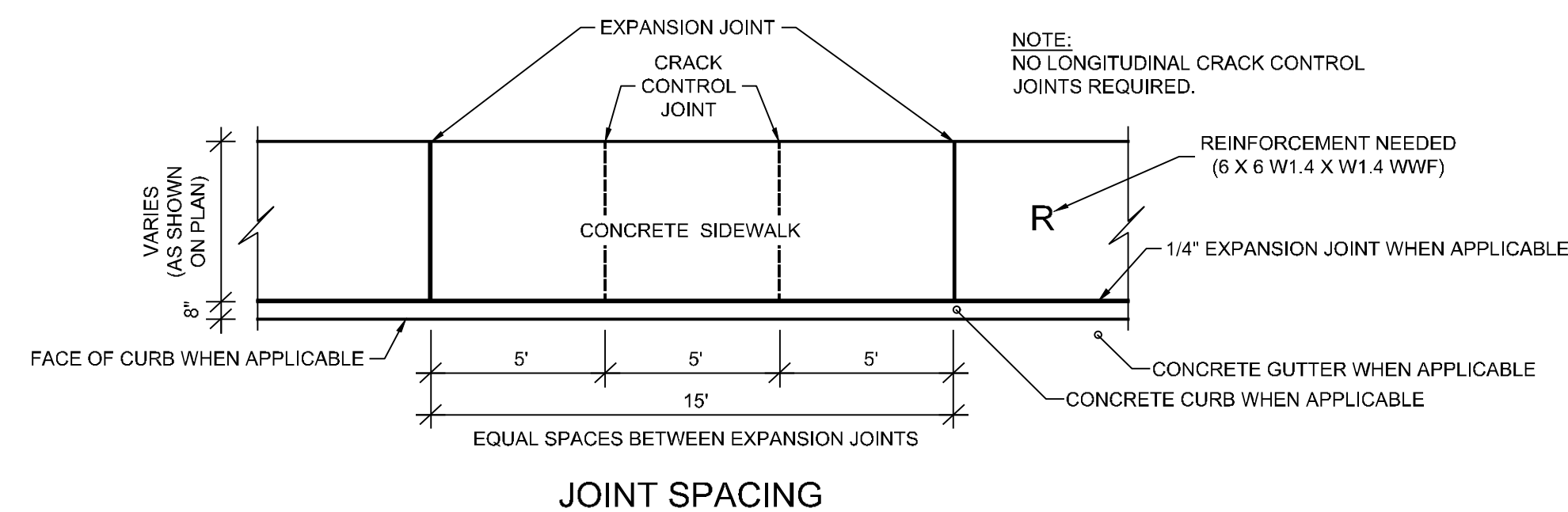
1. DEPTH AND WIDTH OF UNCOMPRESSED SEAL SHALL BE AS RECOMMENDED BY MANUFACTURER.
2. TOP OF PREFORMED SEAL SHALL BE 1/8" TO 1/4" BELOW THE PAVEMENT SURFACE. IN AREAS TO BE GROOVED, THE JOINT SEAL SHALL BE RECESSED BELOW THE DEPTH OF THE GROOVES.
3. COMPRESSIONS SEALS MUST BE IN COMPRESSION AT ALL TIMES.



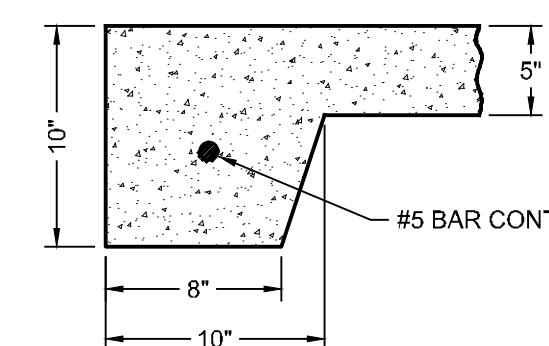
7 EXPANSION JOINT SEALANT  
NOT TO SCALE



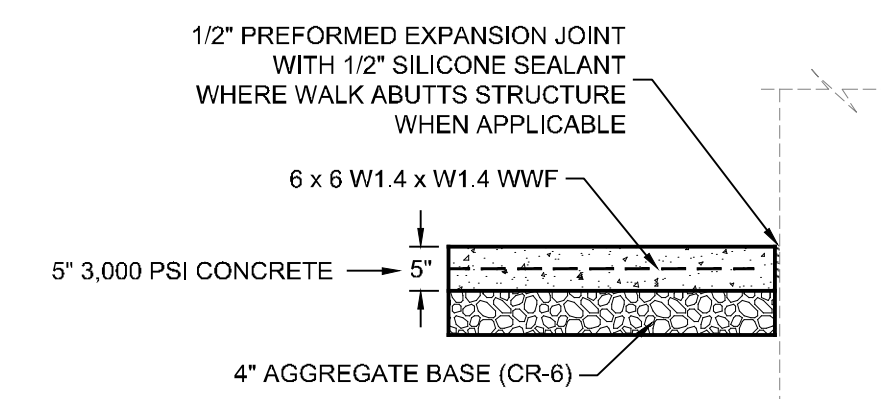
8 CONTRACTION JOINT SEALANT  
NOT TO SCALE



NOTE: TO BE USED AT ALL SIDEWALK TERMINAL ENDS AND AT ALL EDGES OF ISOLATED SIDEWALK AREAS EXCEPT WHERE ADJACENT TO A BUILDING.

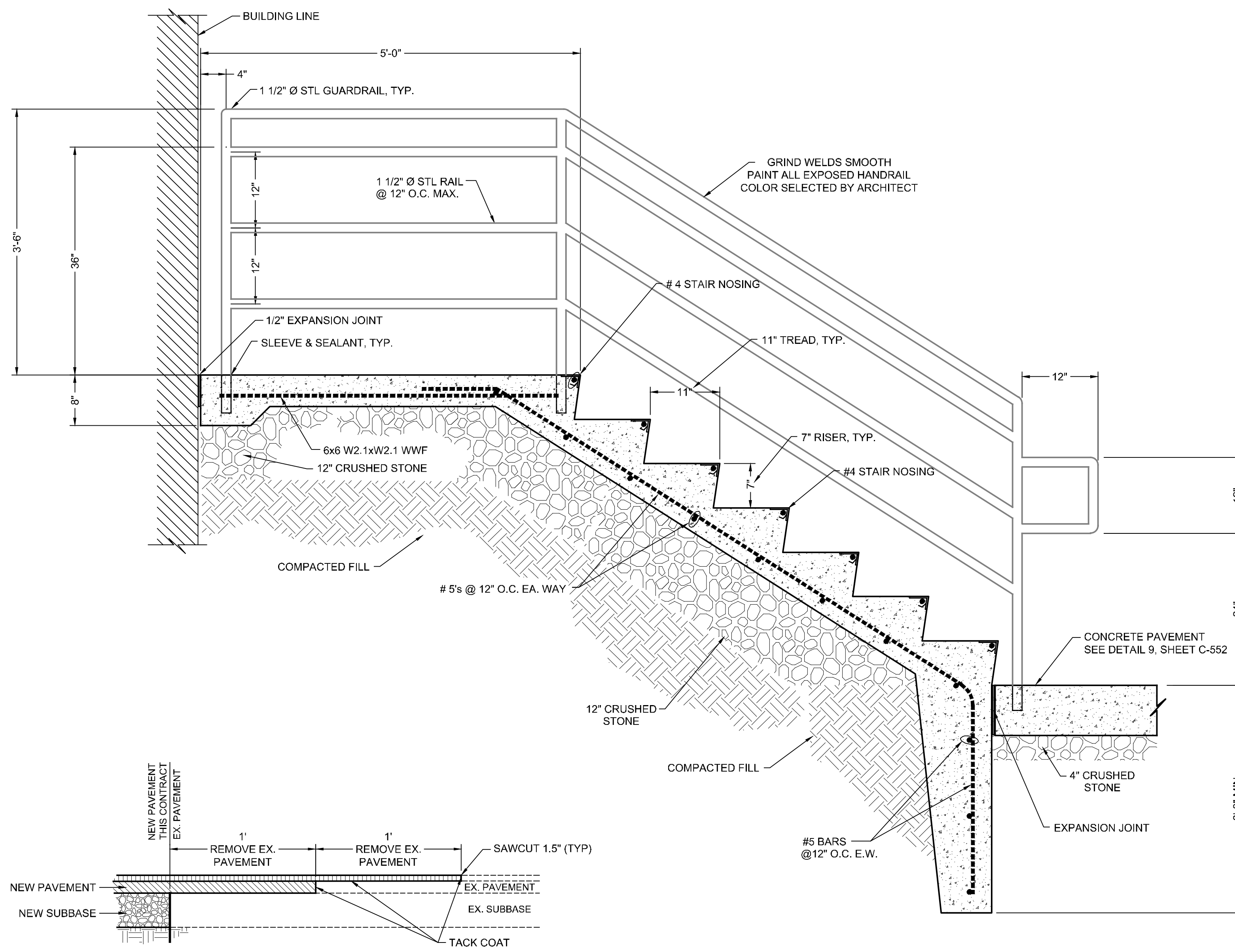


END AND EDGE DETAIL

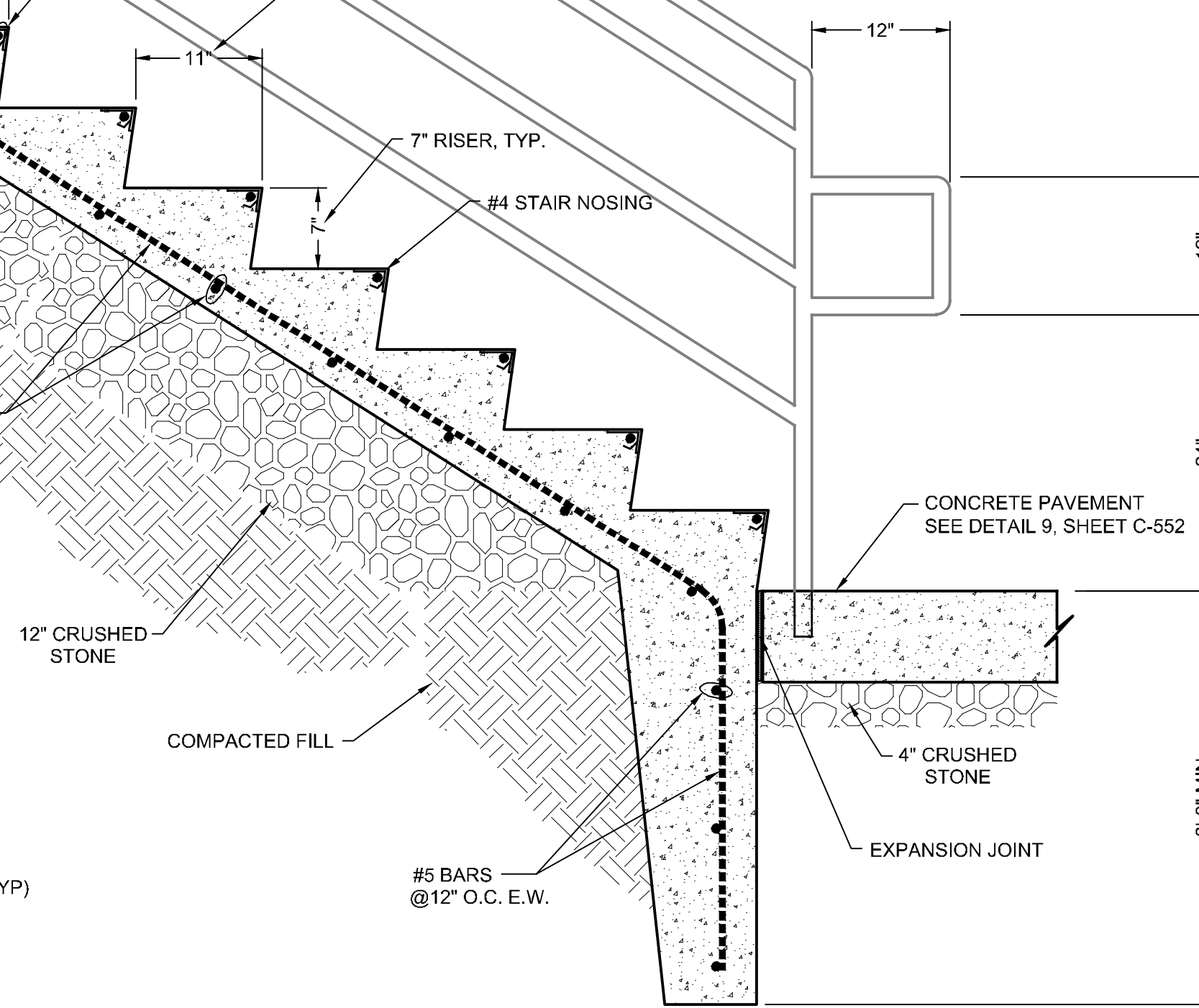


CONCRETE SIDEWALK SECTION

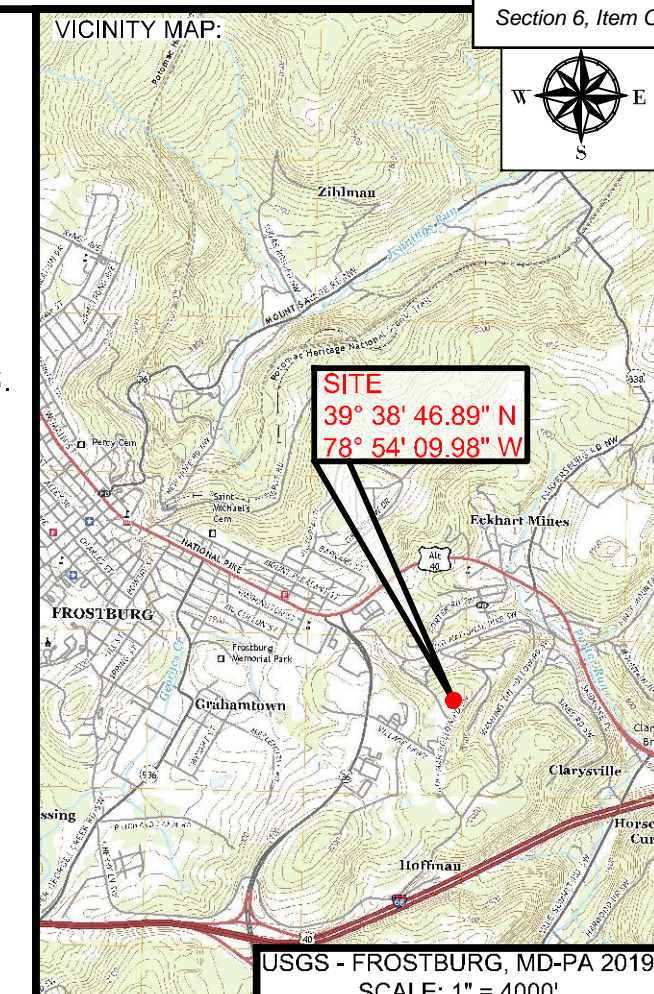
9 SIDEWALK DETAIL  
NOT TO SCALE



10 PAVEMENT TRANSITION DETAIL  
NOT TO SCALE



11 CONCRETE STAIR SECTION  
SCALE: 1" = 1'-0"



PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
**CLYM**  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200 Frostburg, Maryland 21532  
Phone (301)-687-0494 www.bbasurevey.com Fax (301)-687-0495

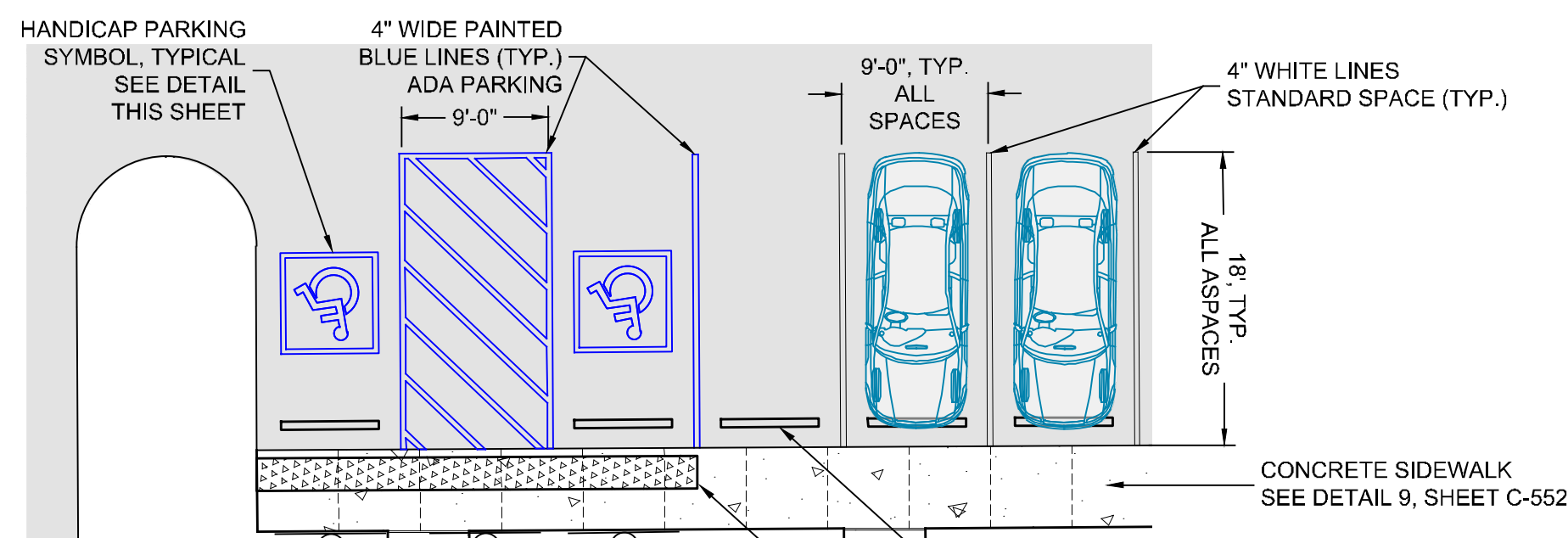
REVISIONS			
NO.	BY	DATE	DESCRIPTION
-	-	-	-
-	-	-	-
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DRAWN: BBA DATE: 7/05/2024  
CHECKED: MB SCALE: AS NOTED  
APPROVED: MB CRD FILE: 23088

BBA# 2023088  
SHEET TITLE:  
**GENERAL DETAILS**  
IFR: 7/05/2024  
SHEET #:  
C-552

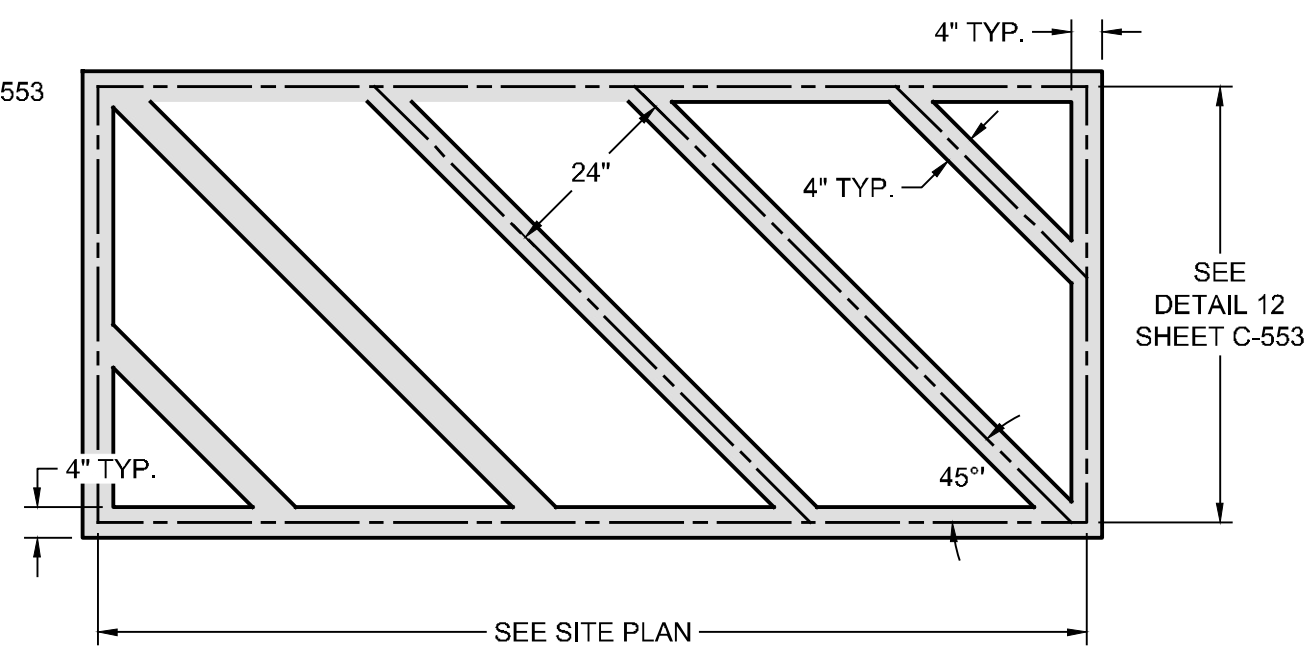
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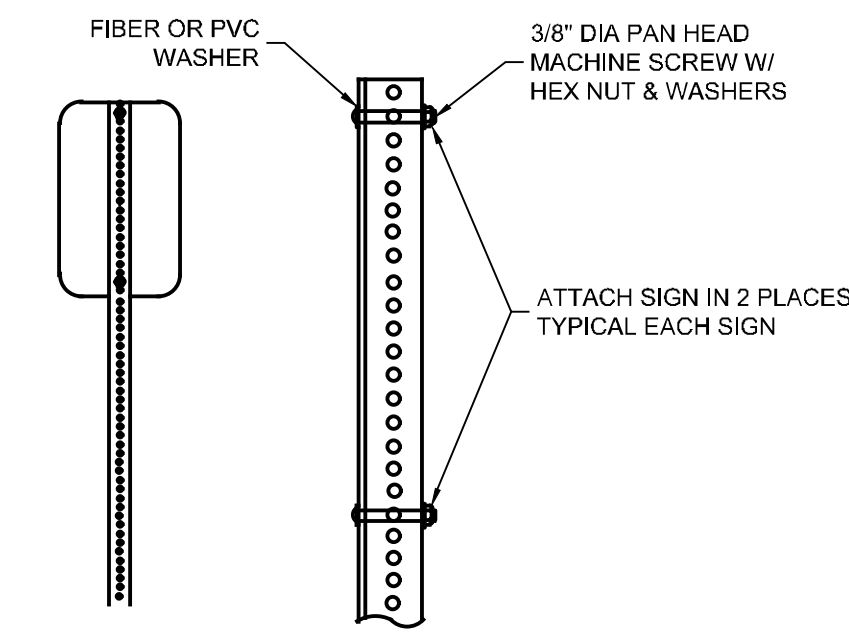


12 PARKING DETAIL  
NOT TO SCALE

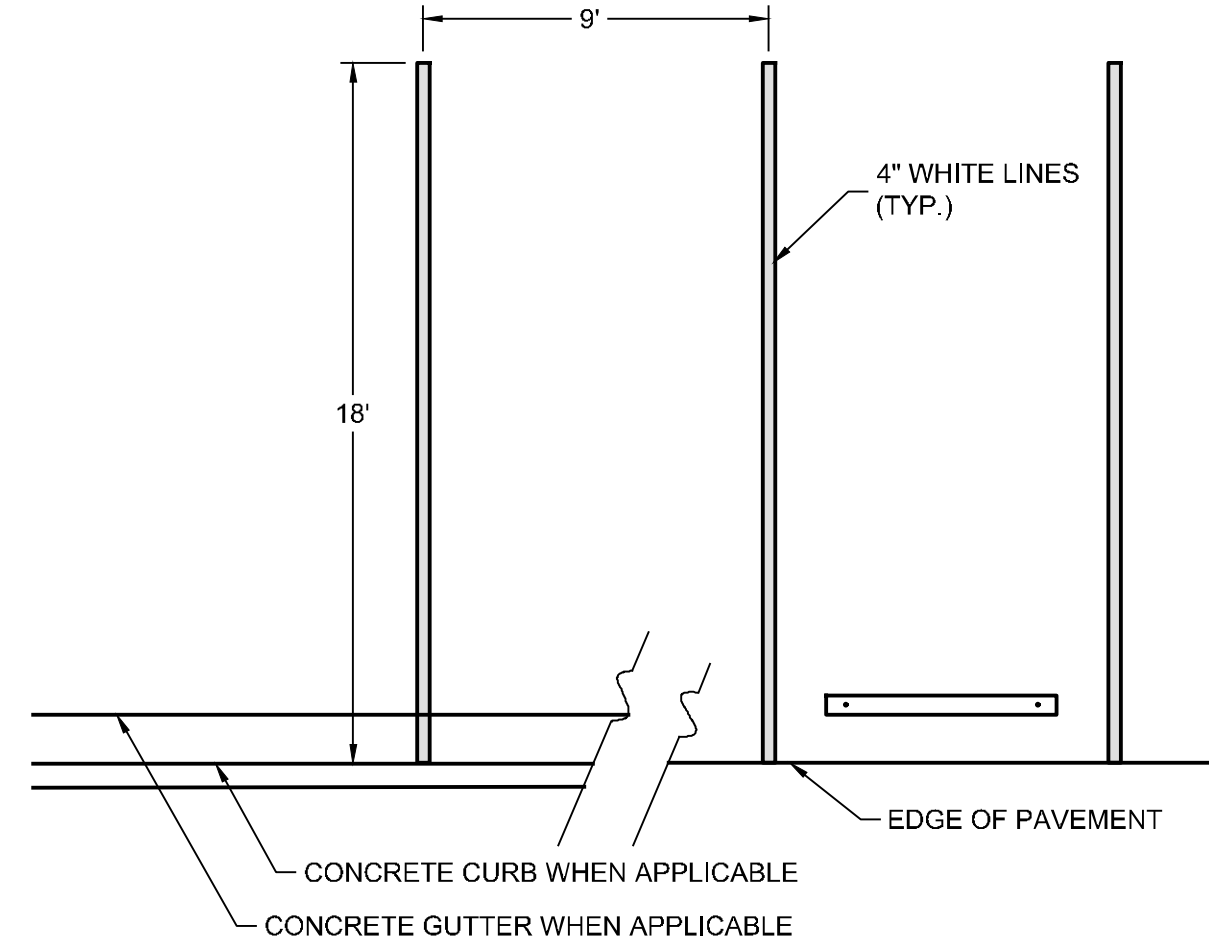
PERMANENT SIGNAGE LEGEND					
No. REQ'D.	IDENTIFICATION	DESCRIPTION	BACKGROUND/LEGEND	SIZE/S.F.	S.F. TOTAL
2	R7-8	HANDICAP RESERVED PARKING	WHITE/GREEN (BLUE SYMBOL)	12" x 18" / 1.5	3.0
1	R7-8a	VAN ACCESSIBLE	WHITE/GREEN	6" x 12" / 0.5	0.5
1	R8-1(2)	NO PARKING IN ACCESS AISLE	WHITE/RED	12" x 18" / 1.5	1.5
1	R1-1	STOP	RED/RED	30" x 30" / 6.25	6.25
TOTAL					11.25



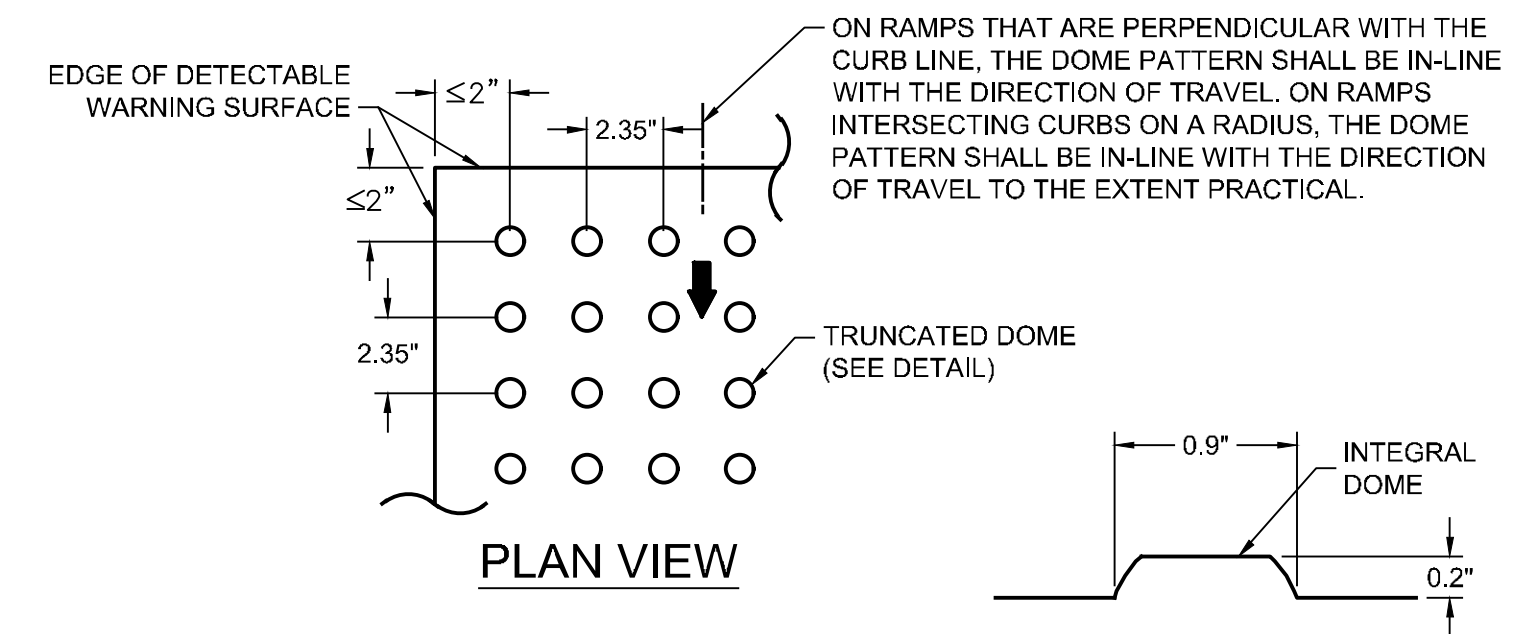
13 DIAGONAL PAINT STRIPING  
NOT TO SCALE



17 SIGN PANEL ATTACHMENT DETAIL  
NOT TO SCALE

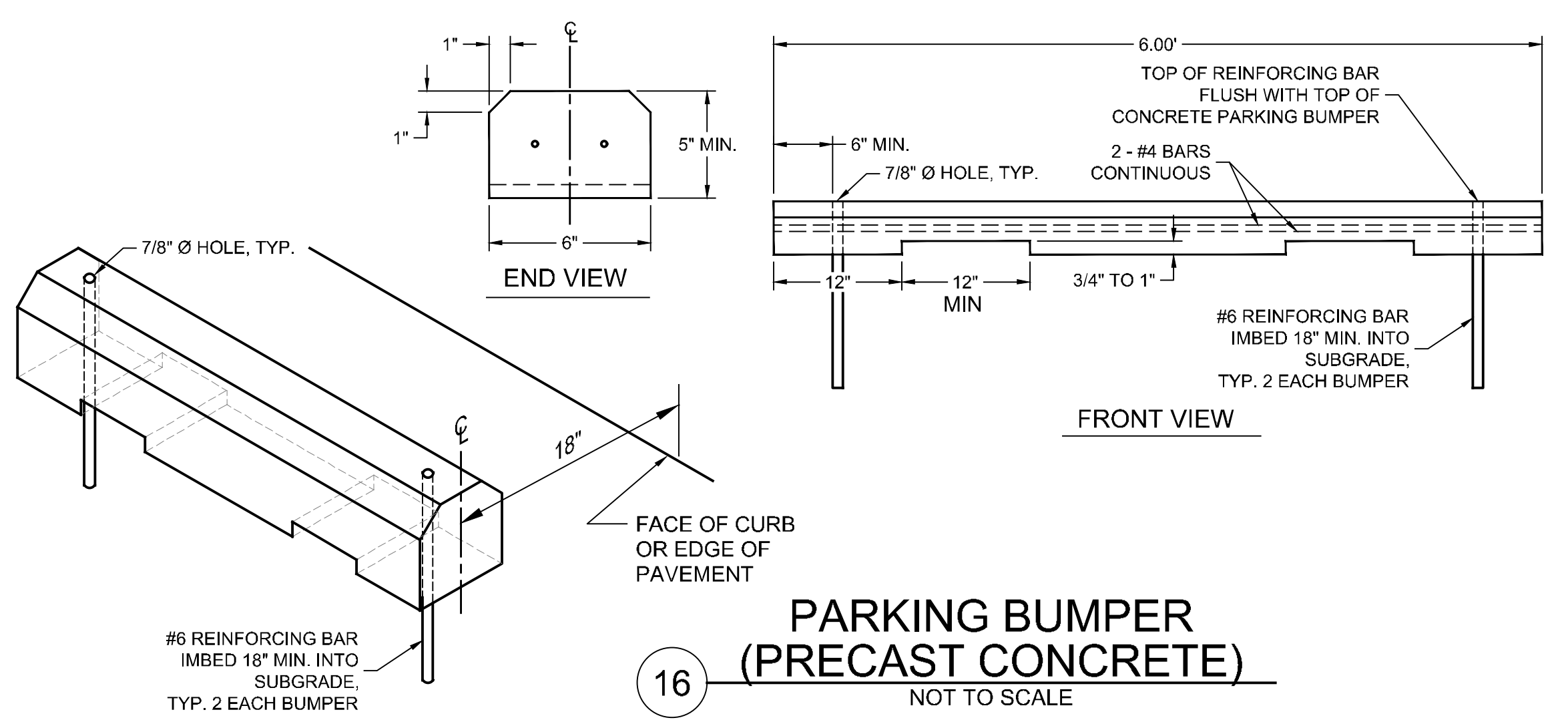


14 GENERAL PARKING PAINT STRIPING DETAIL  
NOT TO SCALE

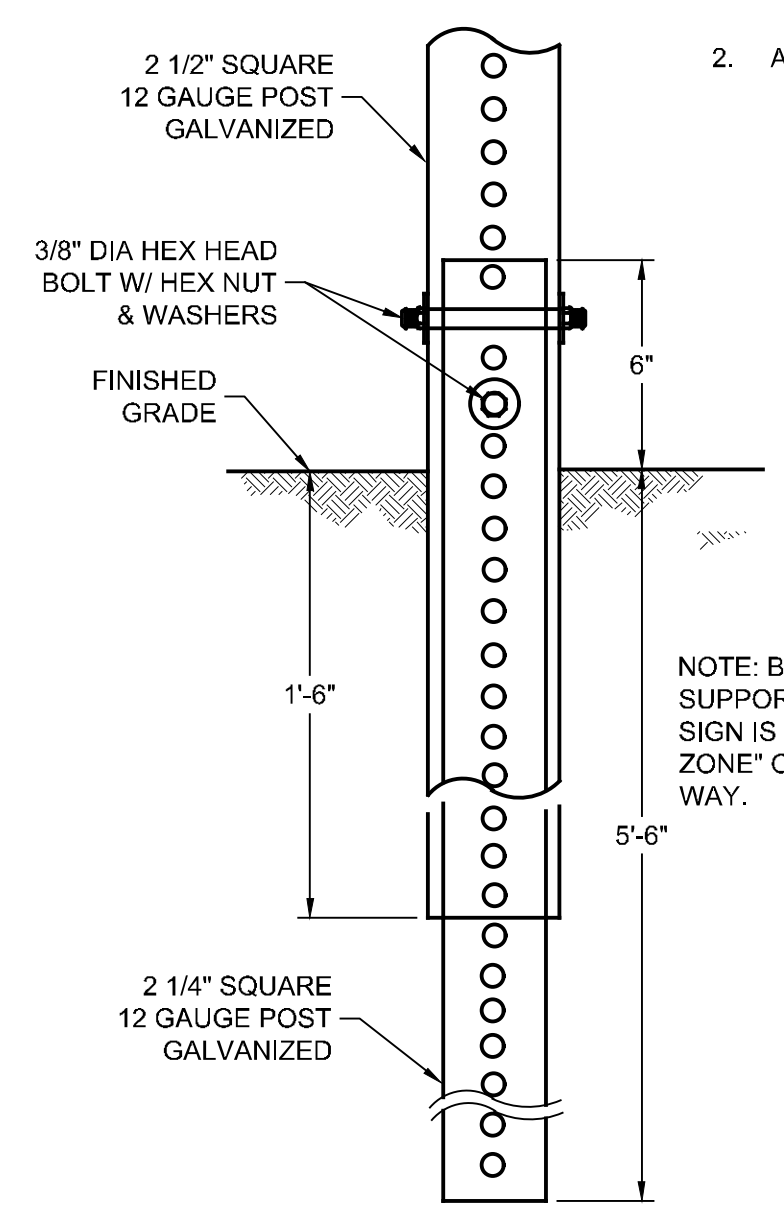


NOTES:  
 1. ALL SIDEWALKS CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL.  
 2. THE TOP WIDTH OF THE DOME SHALL BE A MINIMUM OF 50% AND A MAXIMUM OF 65% OF THE BASE OF THE DIAMETER.

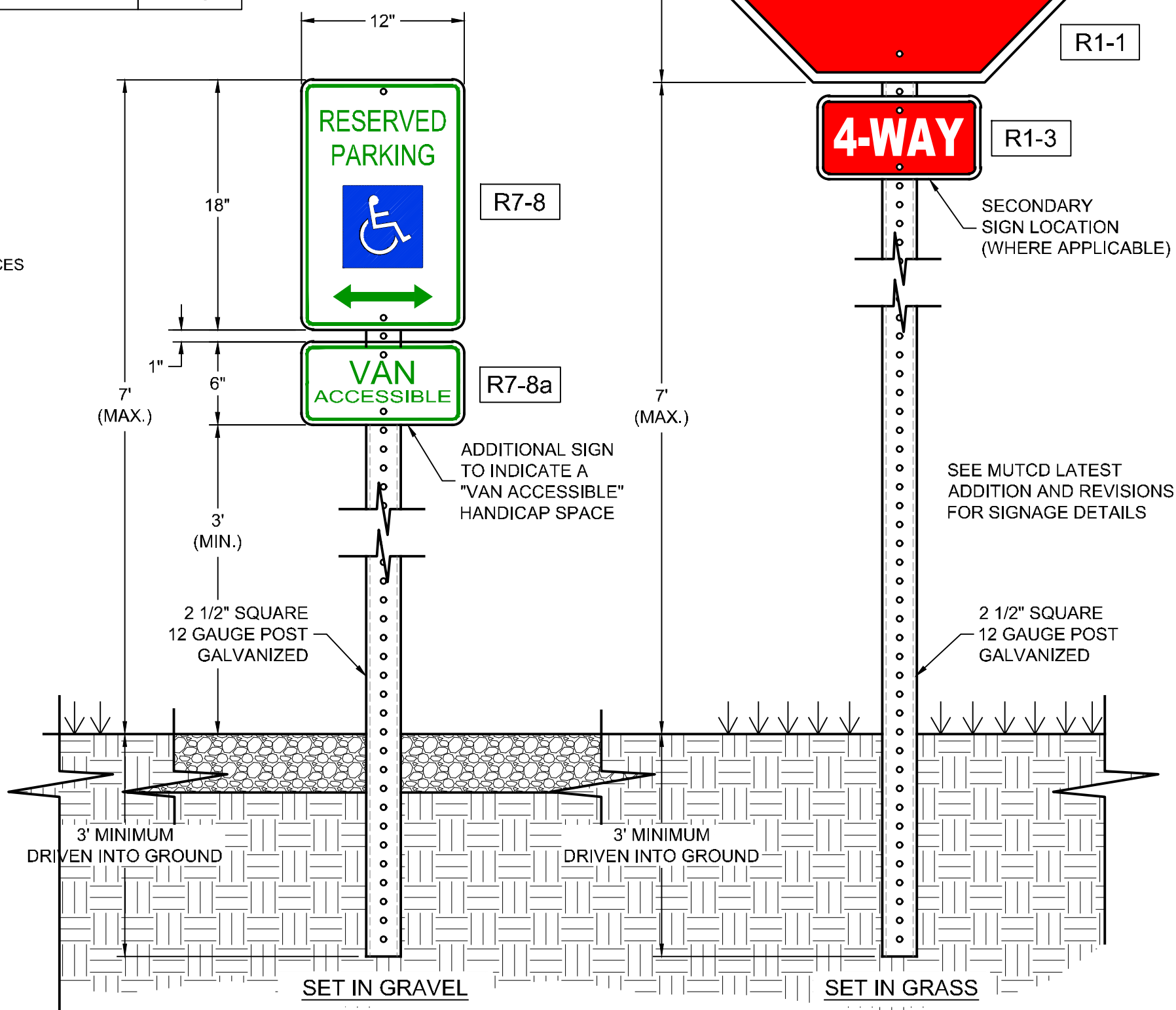
15 TRUNCATED DOME DETAIL  
NOT TO SCALE



16 PARKING BUMPER (PRECAST CONCRETE)  
NOT TO SCALE

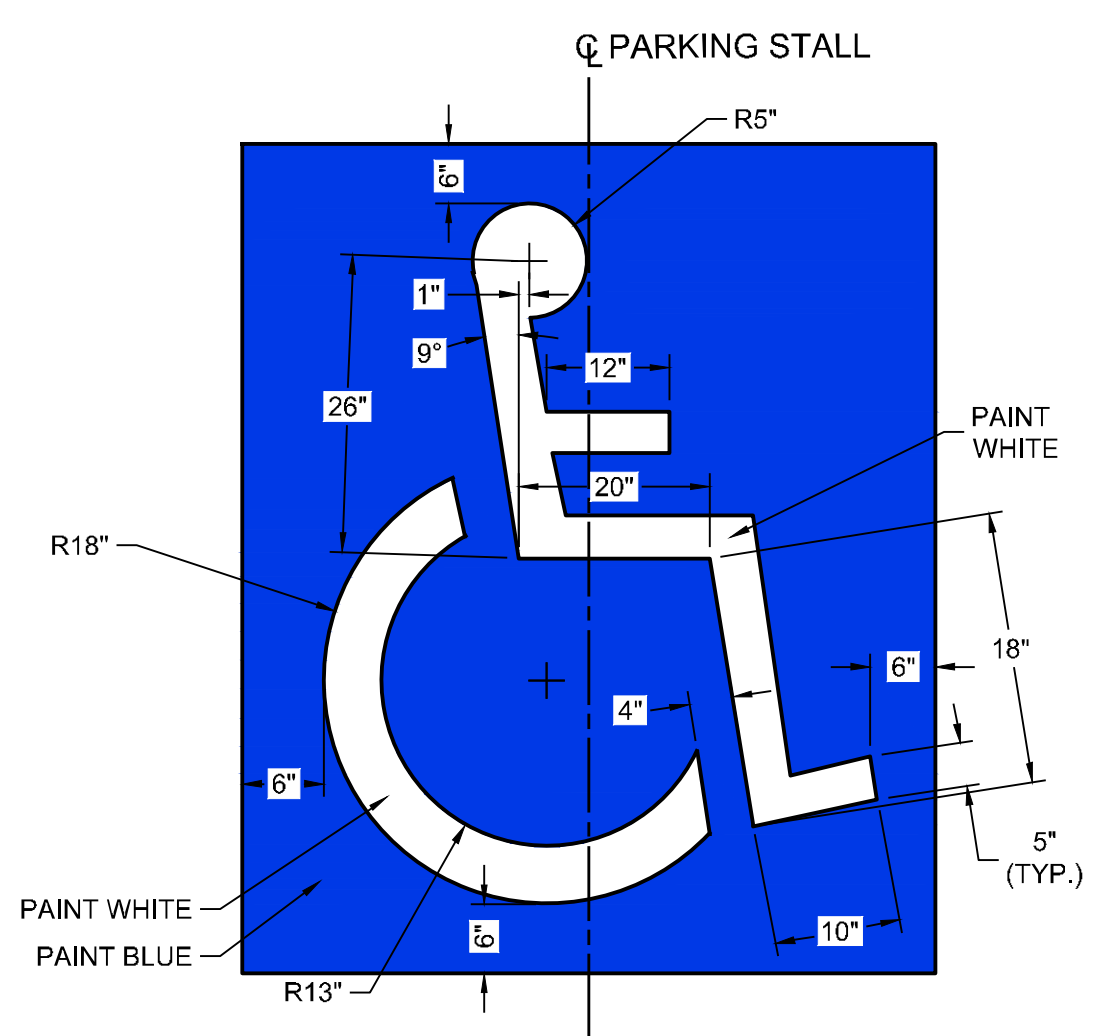


19 BREAKAWAY OR YIELDING SIGN POST DETAIL  
NOT TO SCALE

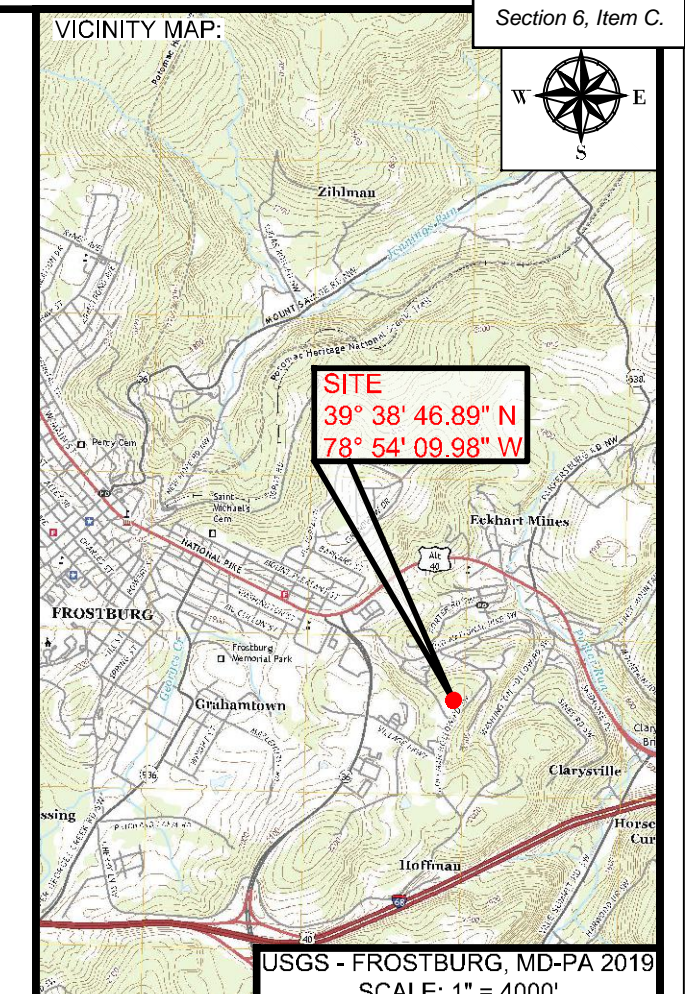


18 TYPICAL SIGN INSTALLATION DETAILS  
NOT TO SCALE

ADA PARKING NOTES:  
 1. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED PER STANDARDS ESTABLISHED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).  
 2. ADA PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A PAINTED SYMBOL OF ACCESSIBILITY AND A SIGN SHOWING THE ACCESSIBLE SYMBOL.



20 INTERNATIONAL SYMBOL OF ACCESSIBILITY  
NOT TO SCALE



PROJECT:  
**FINAL PLAN SUBMITTAL**  
 FUTURE INDUSTRIAL DEVELOPMENT SITE  
 FROSTBURG BUSINESS PARK  
 FROSTBURG  
 ZONING: T-LI  
 ELECTION DISTRICT: 24-000  
 ALLEGANY COUNTY  
 MARYLAND

CLIENT:  
  
 CLYM ENVIRONMENTAL SERVICES, LLC  
 1539 TILCO DRIVE  
 FREDERICK, MARYLAND 21704



**bba**  
 Surveyors | Engineers | Planners  
 Bennett Brewer & Associates, LLC  
 23 East Main Street, Suite 200  
 Phone: (301)-687-0494  
 Fax: (301)-687-0495  
 www.bbasurvey.com

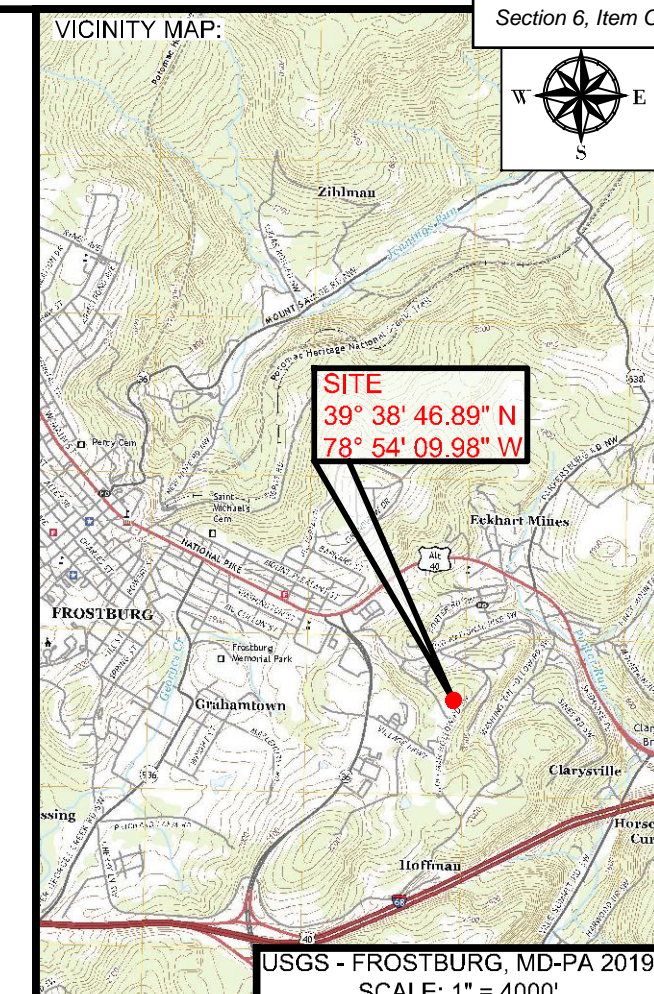
REVISIONS			
NO.	BY	DATE	DESCRIPTION
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DRAWN: BBA DATE: 7/05/2024  
 CHECKED: MB SCALE: AS NOTED  
 APPROVED: MB CRD FILE: 23088  
 BBA# 2023088

SHEET TITLE:  
**GENERAL DETAILS**  
 IFR: 7/05/2024  
 SHEET #:  
**C-553**

CAD FILE: E:\2023\23088 - Cym Environmental - Cym Environmental - Design Services\PRODUCTION\C-551 SERIES.dwg  
 PLOT DATE/TIME: 7/4/2024 - 1:40pm  
 LAST SAVE BY: work106





PROJECT:  
**FINAL PLAN SUBMITTAL**  
FUTURE INDUSTRIAL DEVELOPMENT SITE  
FROSTBURG BUSINESS PARK  
FROSTBURG  
ZONING: T-LI  
ELECTION DISTRICT: 24-000  
ALLEGANY COUNTY  
MARYLAND

CLIENT:  
  
CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
FREDERICK, MARYLAND 21704



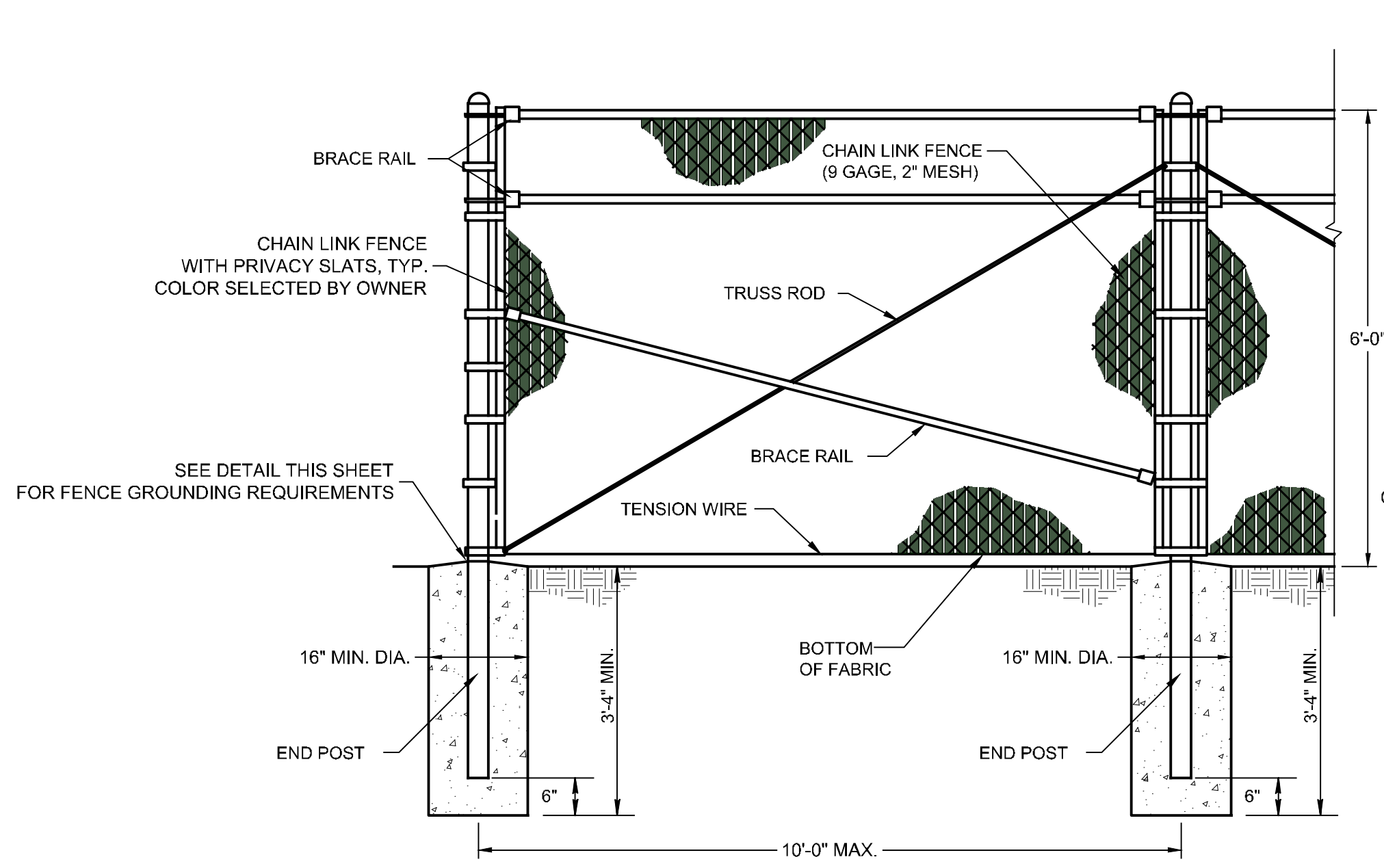
**bba**  
Surveyors | Engineers | Planners  
Bennett Brewer & Associates, LLC  
23 East Main Street, Suite 200  
Frostburg, Maryland 21532  
Phone (301)-687-0494 Fax (301)-687-0495  
www.bbasurevey.com

Table with 2 columns: NO., BY, DATE, DESCRIPTION. It is currently empty.

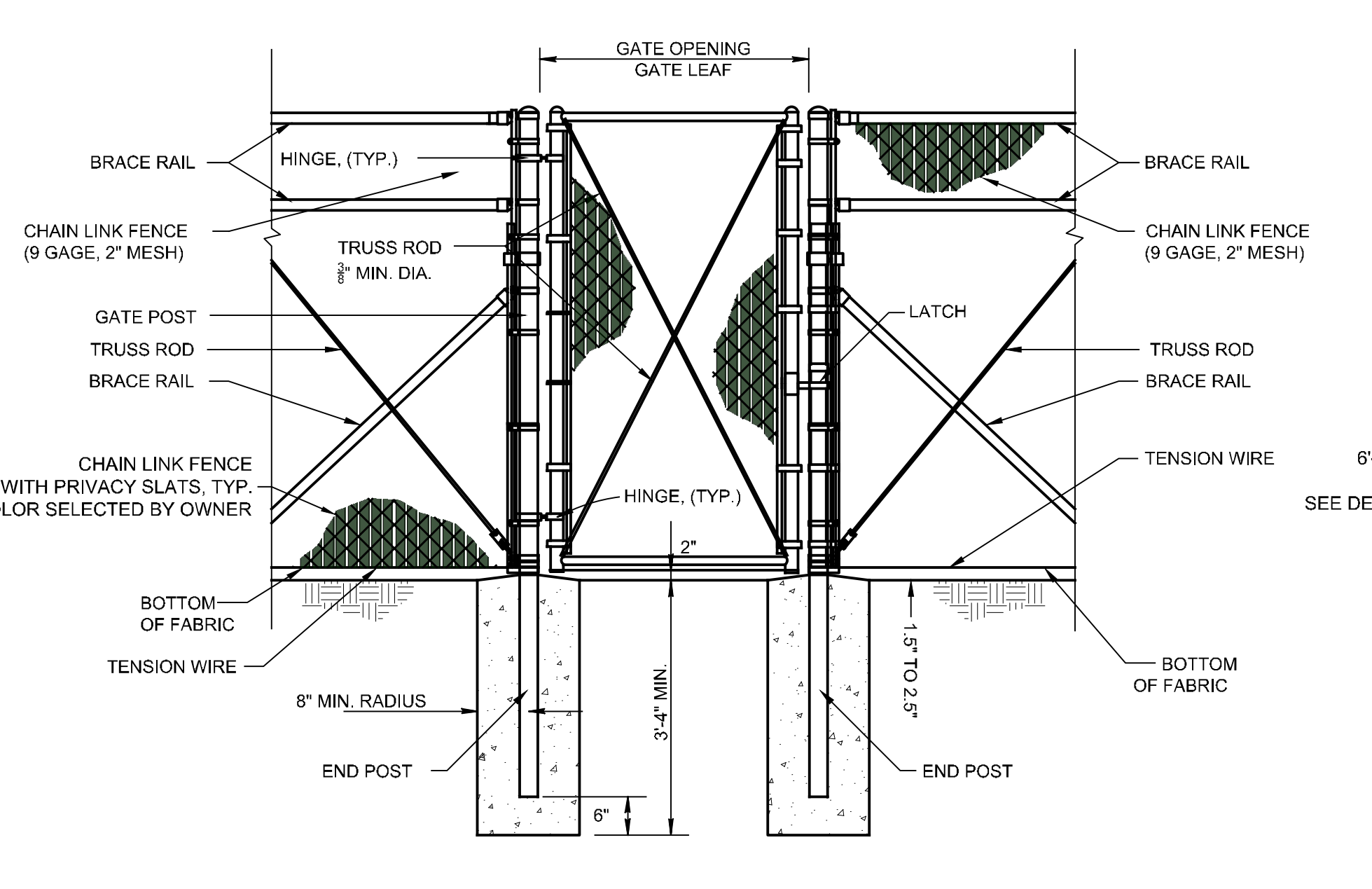
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BBA# 2023088

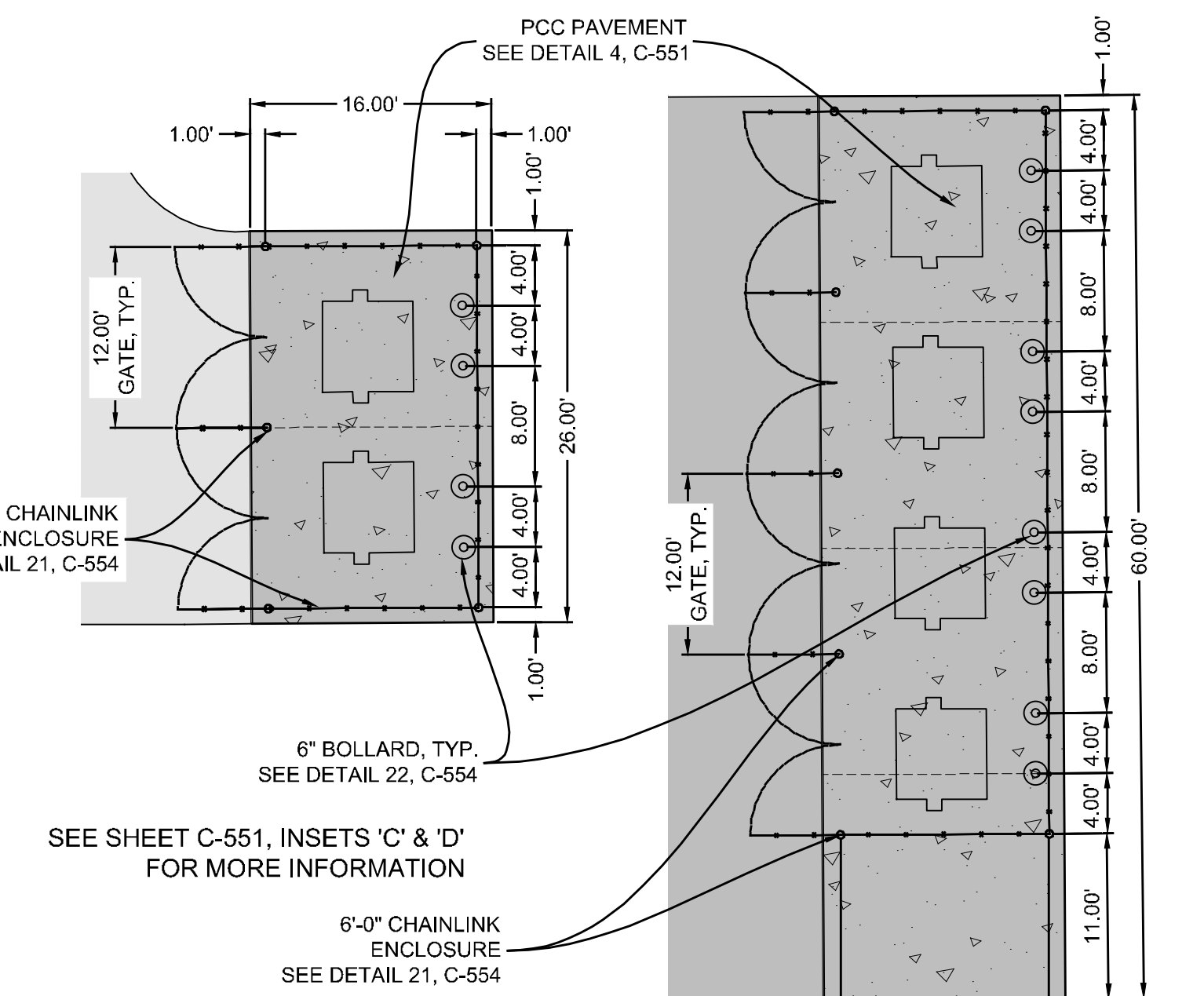
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**GENERAL DETAILS**  
IFR: 7/05/2024  
SHEET #:  
C-554



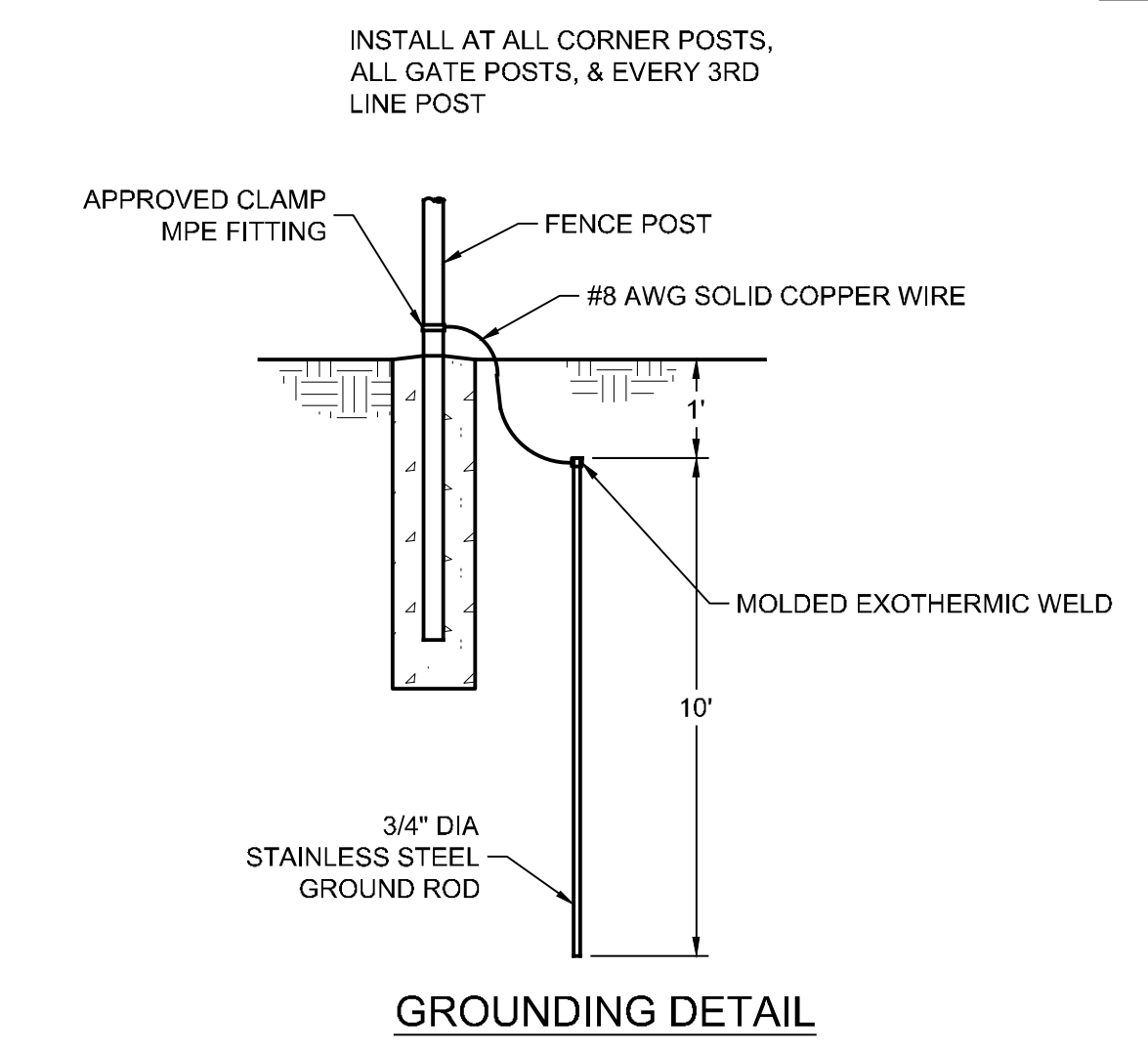
ELEVATION



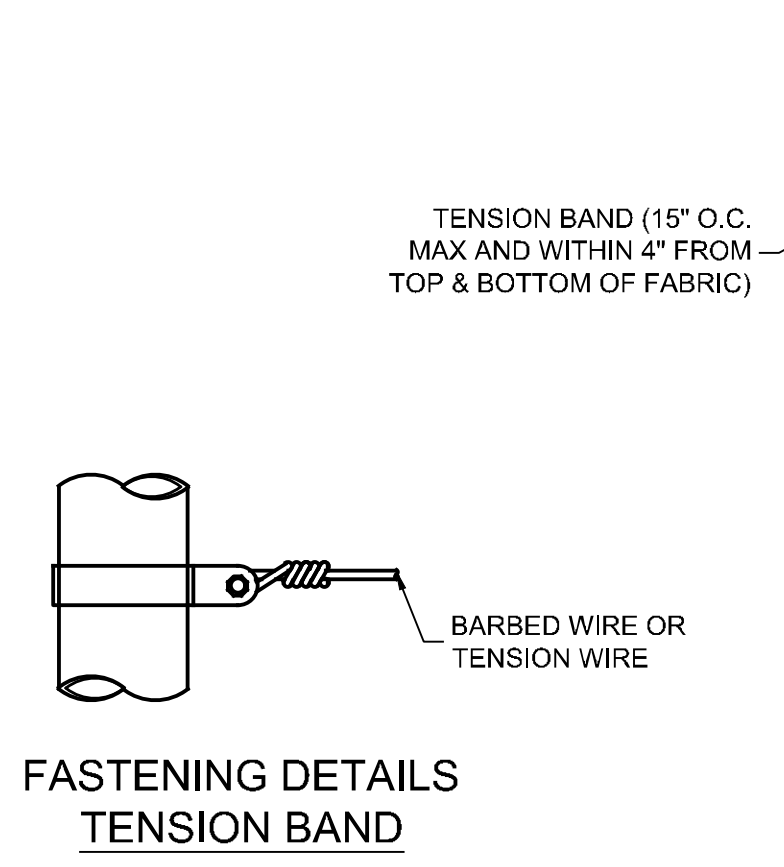
ELEVATION



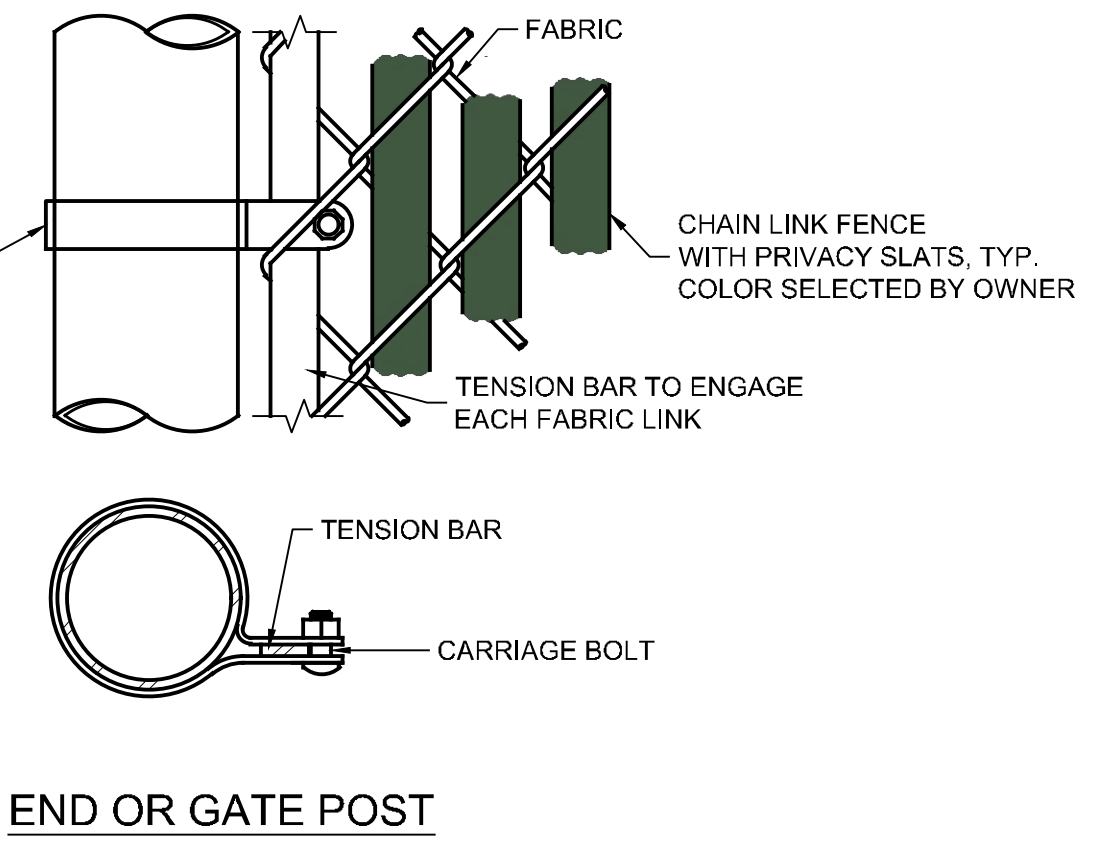
SEE SHEET C-551, INSETS 'C' & 'D' FOR MORE INFORMATION



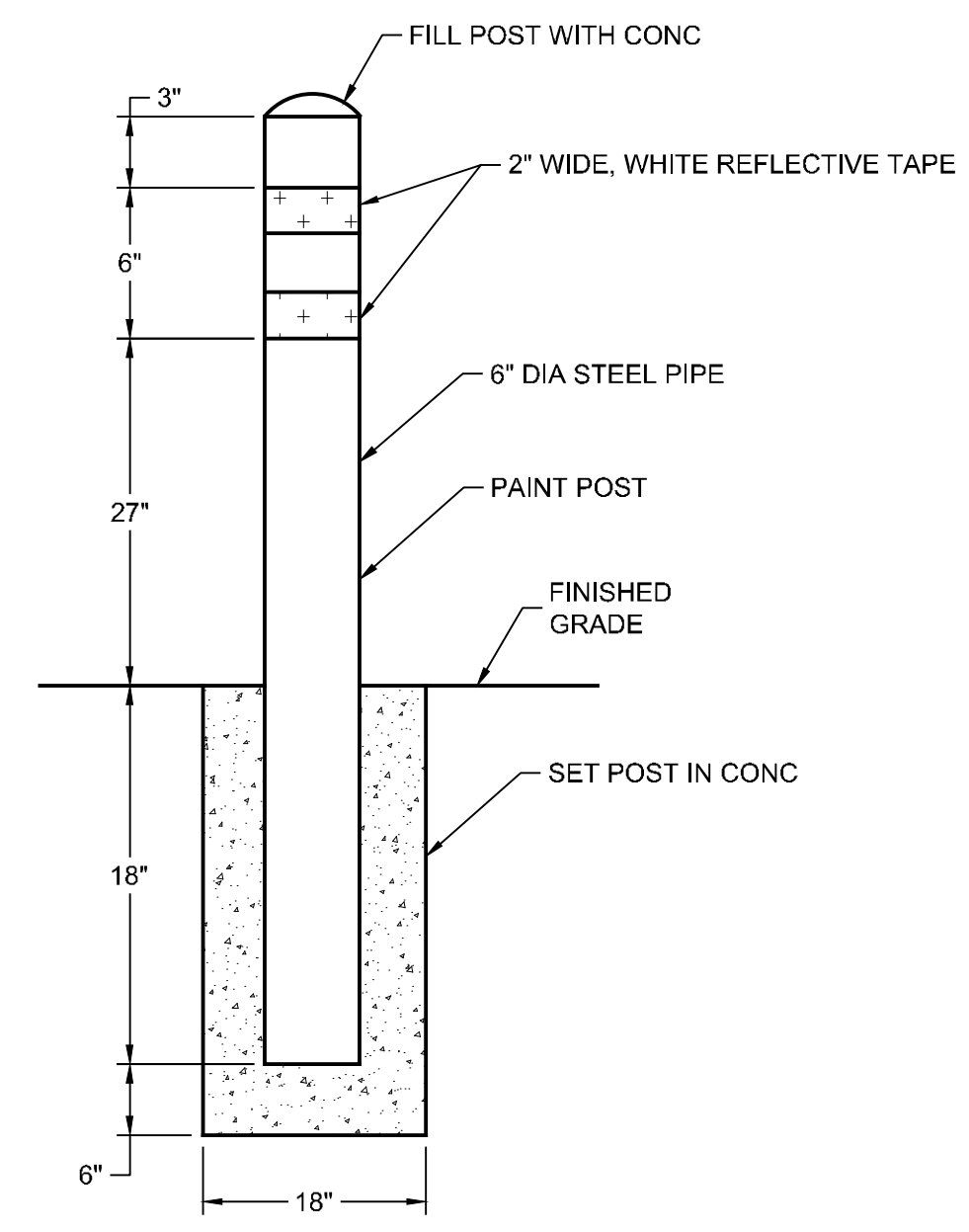
GROUNDING DETAIL



FASTENING DETAILS TENSION BAND

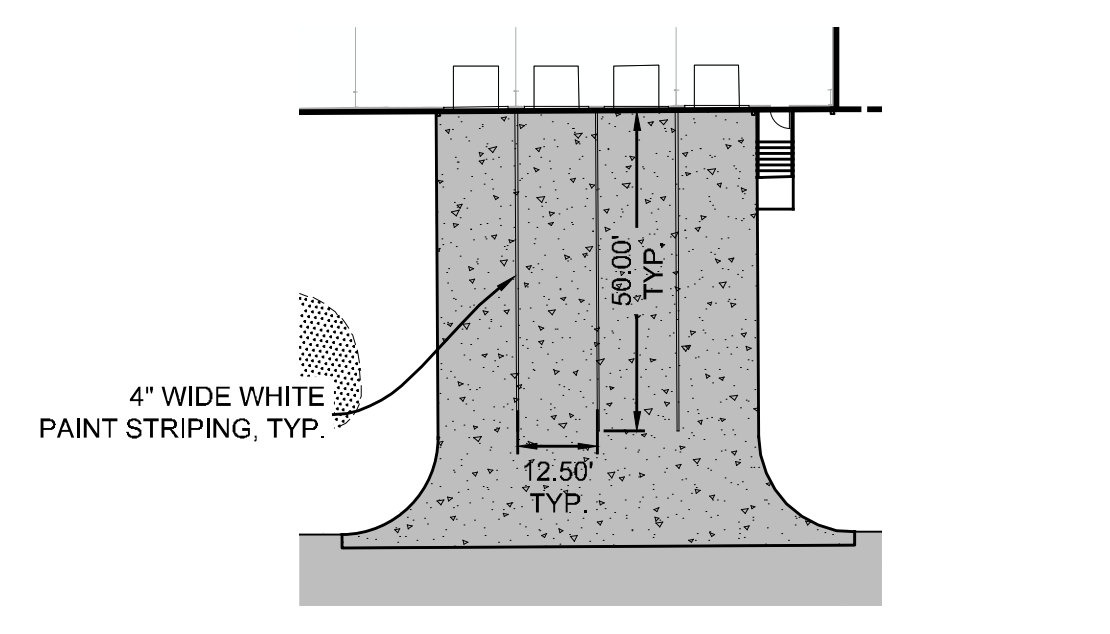


END OR GATE POST

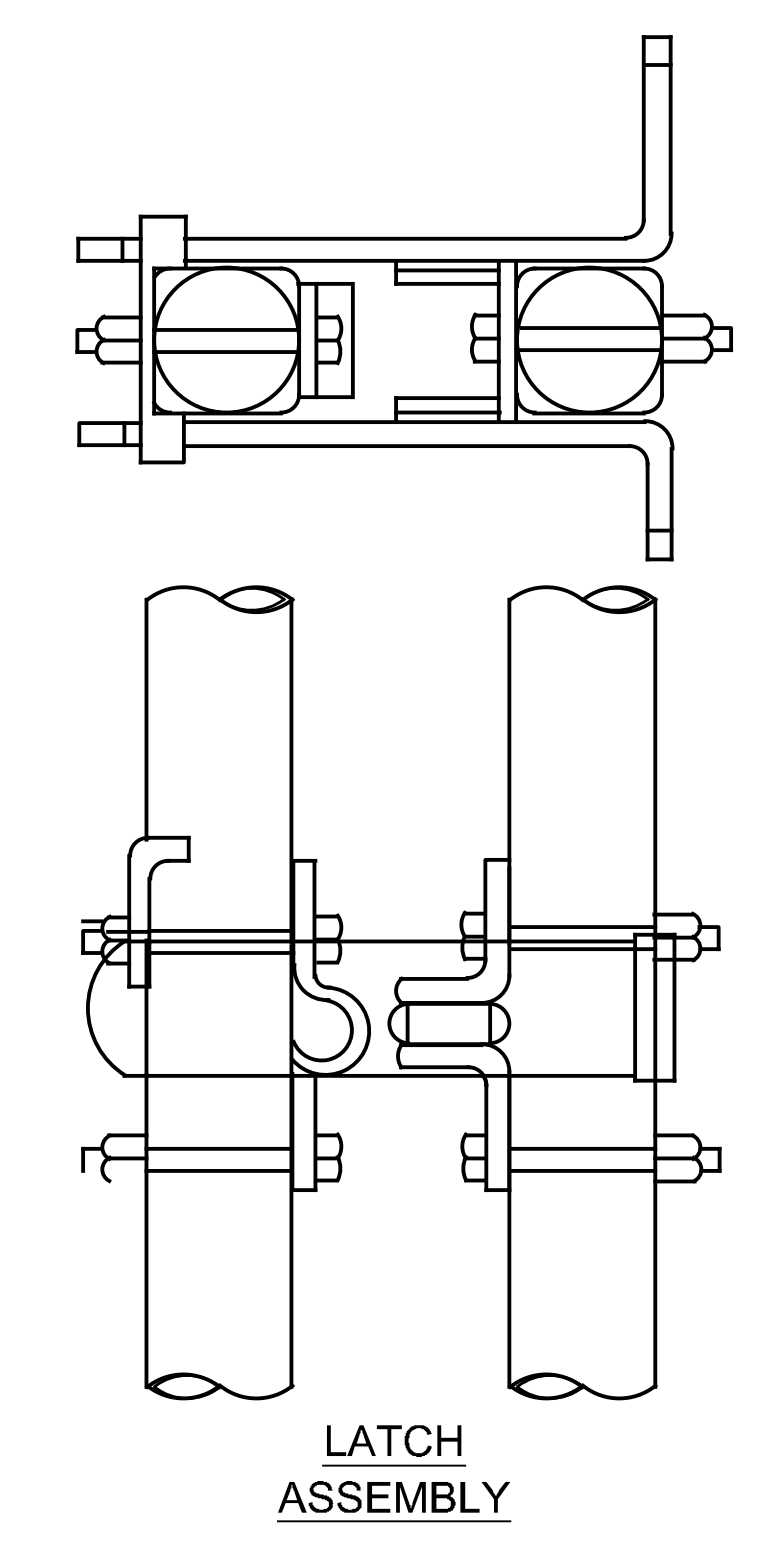


22 TYPICAL BOLLARD DETAIL NOT TO SCALE

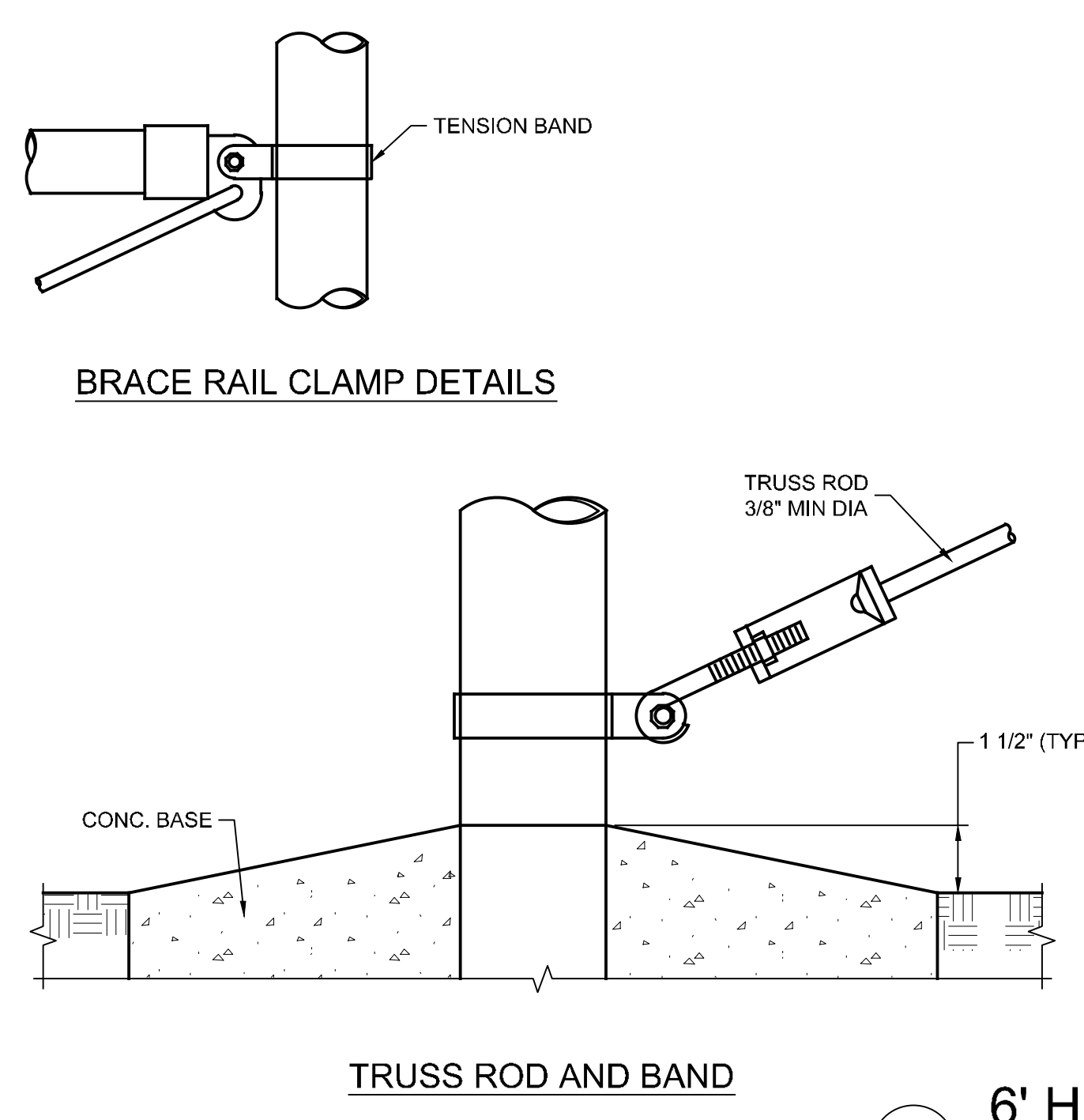
23 DUMPSTER PAD LAYOUTS NOT TO SCALE



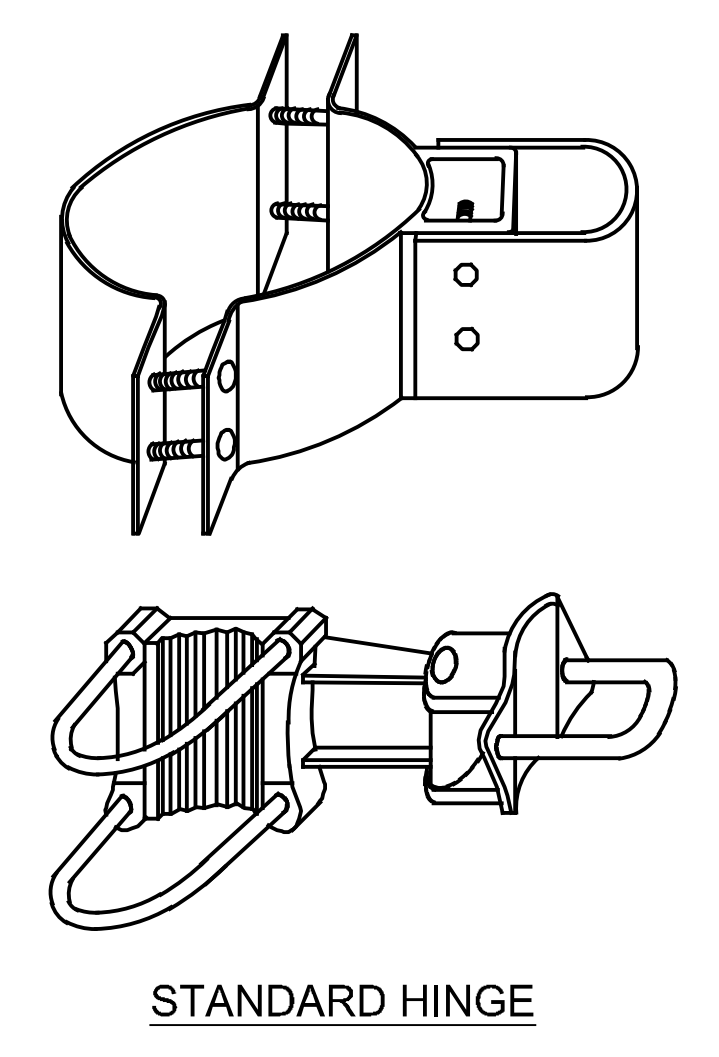
24 LOADING DOCK PAINT MARKING DETAIL NOT TO SCALE



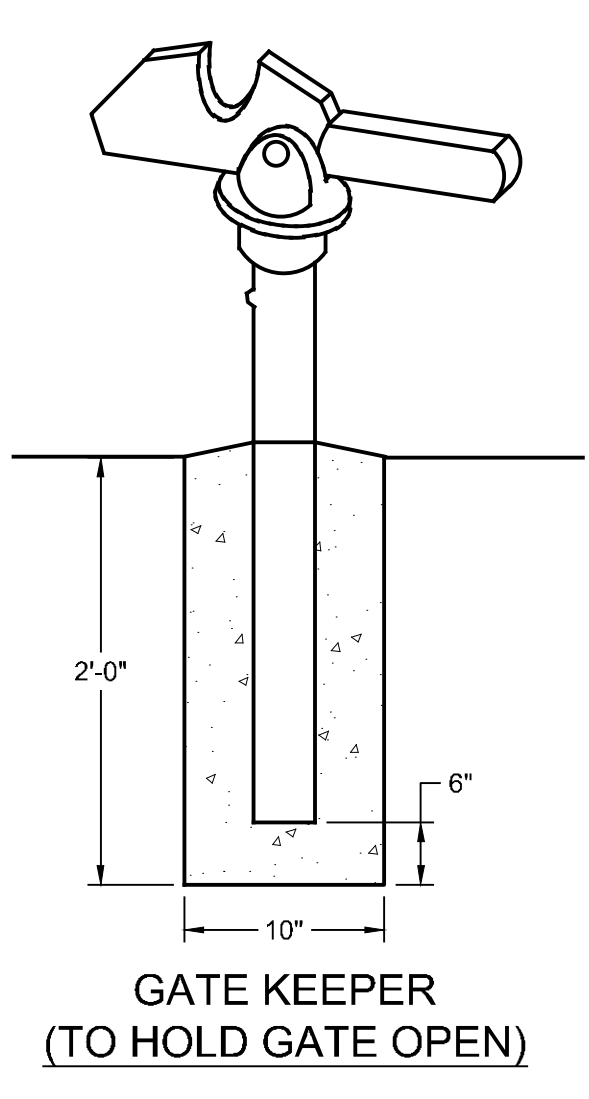
LATCH ASSEMBLY



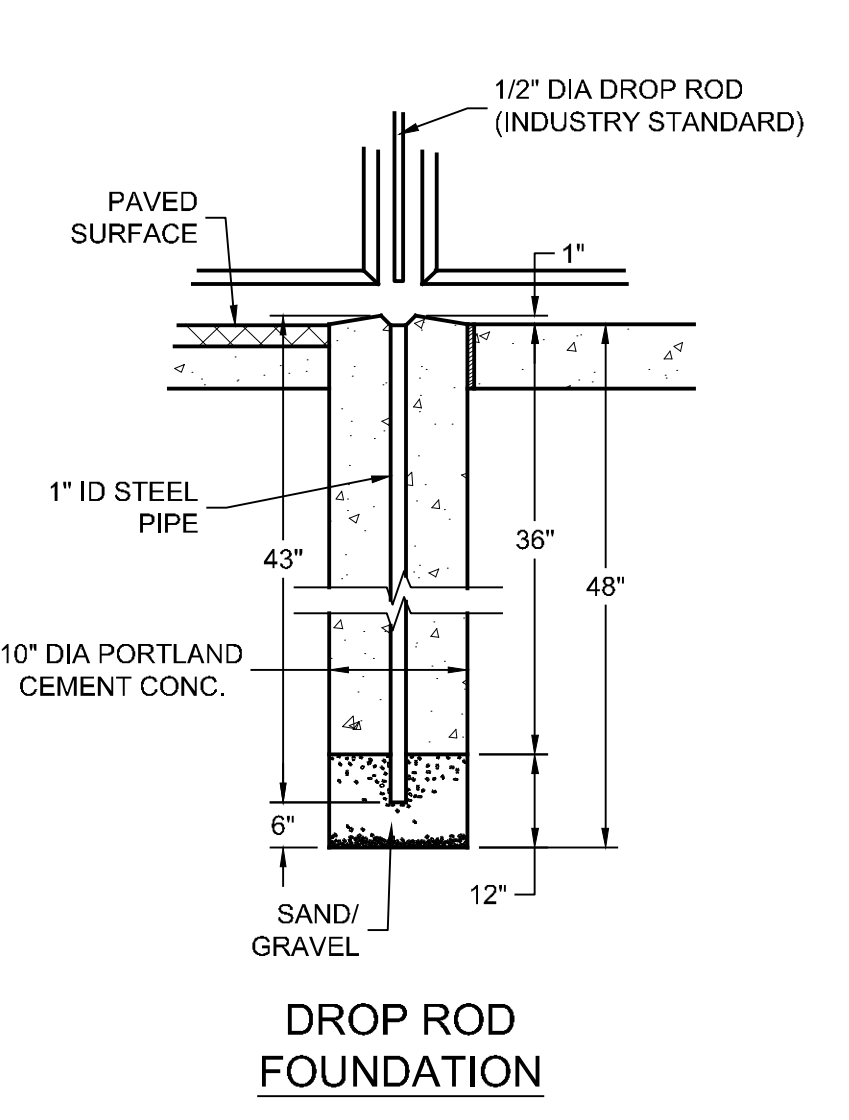
TRUSS ROD AND BAND



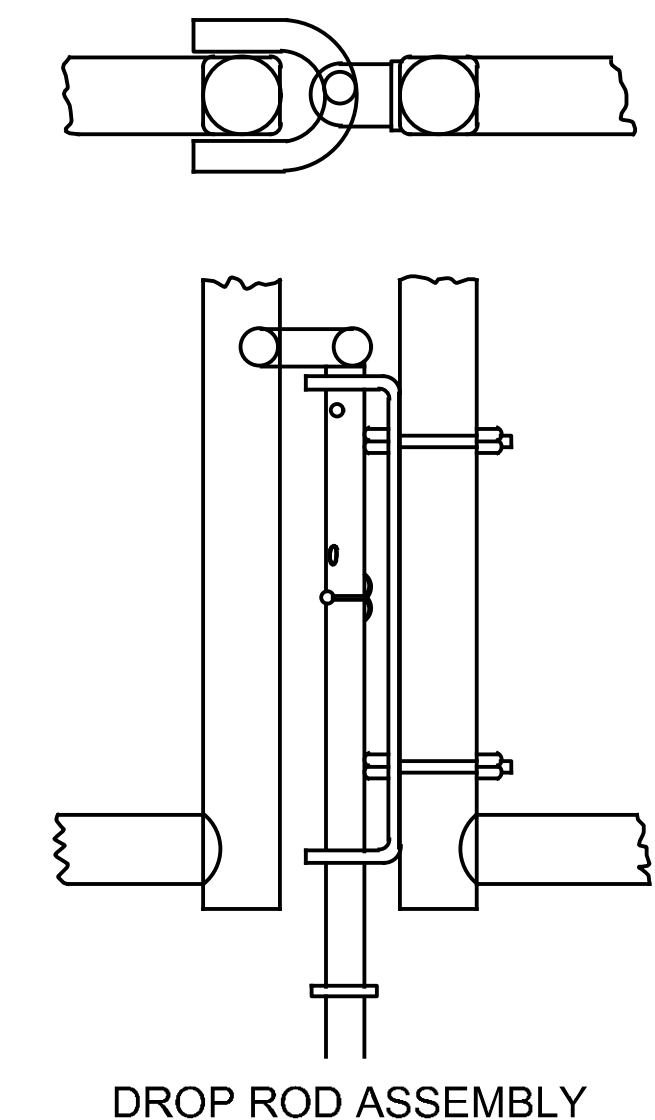
STANDARD HINGE



GATE KEEPER (TO HOLD GATE OPEN)



DROP ROD FOUNDATION

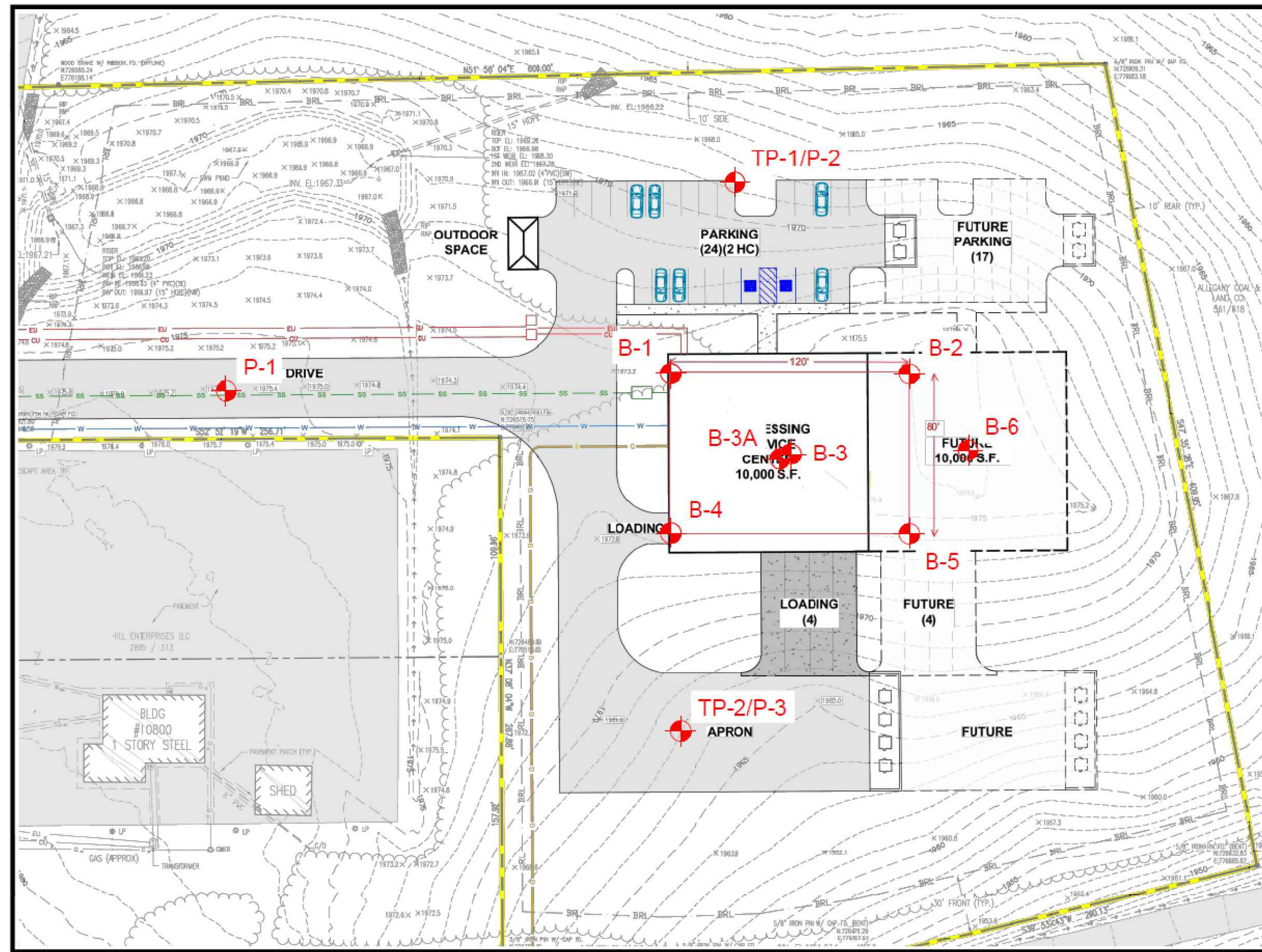


DROP ROD ASSEMBLY

21 6' HIGH CHAIN-LINK FENCE DETAILS NOT TO SCALE

CAD FILE: E:\2023\230988 - Cym Environmental - Cym Services\PRODUCTION\C-551 SERIES.dwg PLOT DATE/TIME: 7/4/2024 - 1:40pm LAST SAVE BY: work106





**TRIAID ENGINEERING, INC.**  
 1075 D. SHERMANN AVENUE  
 HAGERSTOWN, MD 21740  
 PH: 301.797.6400 FAX: 301.797.2424  
 OFFICE LOCATIONS: WEST VIRGINIA & VIRGINIA

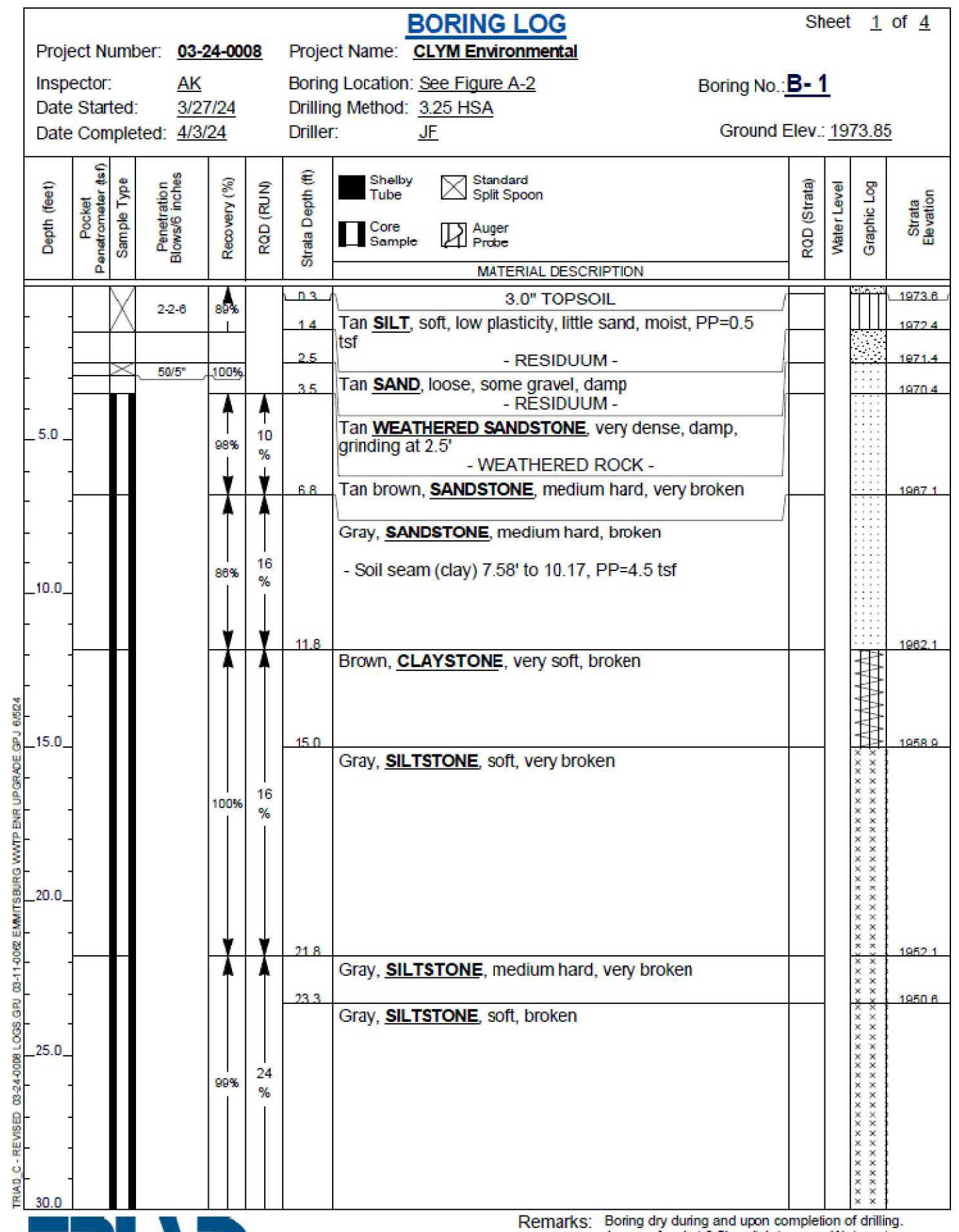
PROJECT: REGIONAL PROCESS SERVICES CENTER  
 FROSTBURG BUSINESS PARK  
 FROSTBURG ZONING: T-LI  
 ELECTION DISTRICT: ALLEGANY COUNTY MARYLAND

CLIENT: CLYM ENVIRONMENTAL SERVICES, INC.  
 1539 TILCO DRIVE  
 FREDERICK, MARYLAND

PROJECT NO: 03-24-0008  
 DRAWN BY: SBJ  
 CHECKED BY: SBJ  
 DATE: 04-11-2024  
 SCALE: 1"=50'

TEST LOCATION PLAN  
 CLYM ENVIRONMENTAL  
 FROSTBURG  
 MARYLAND

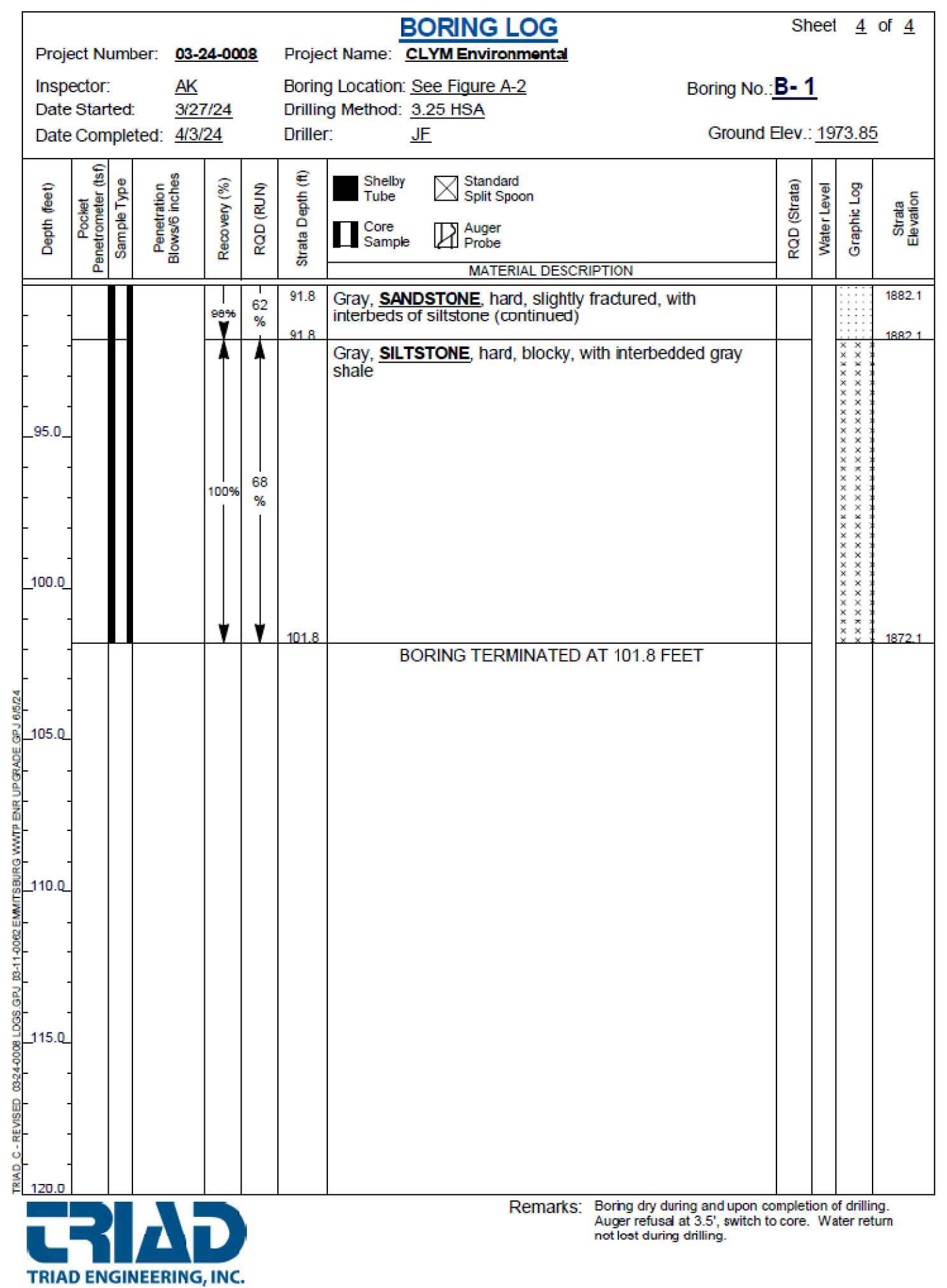
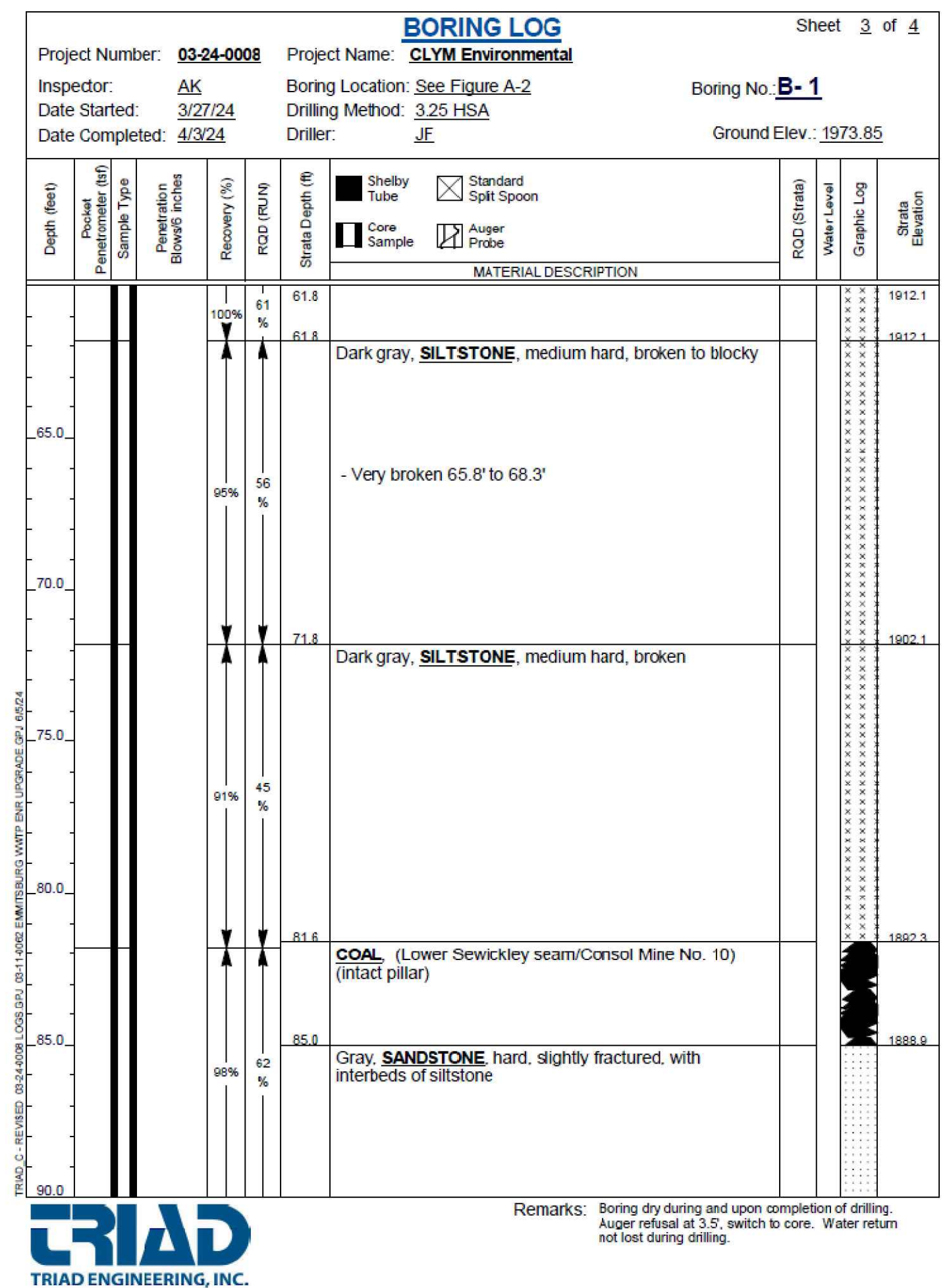
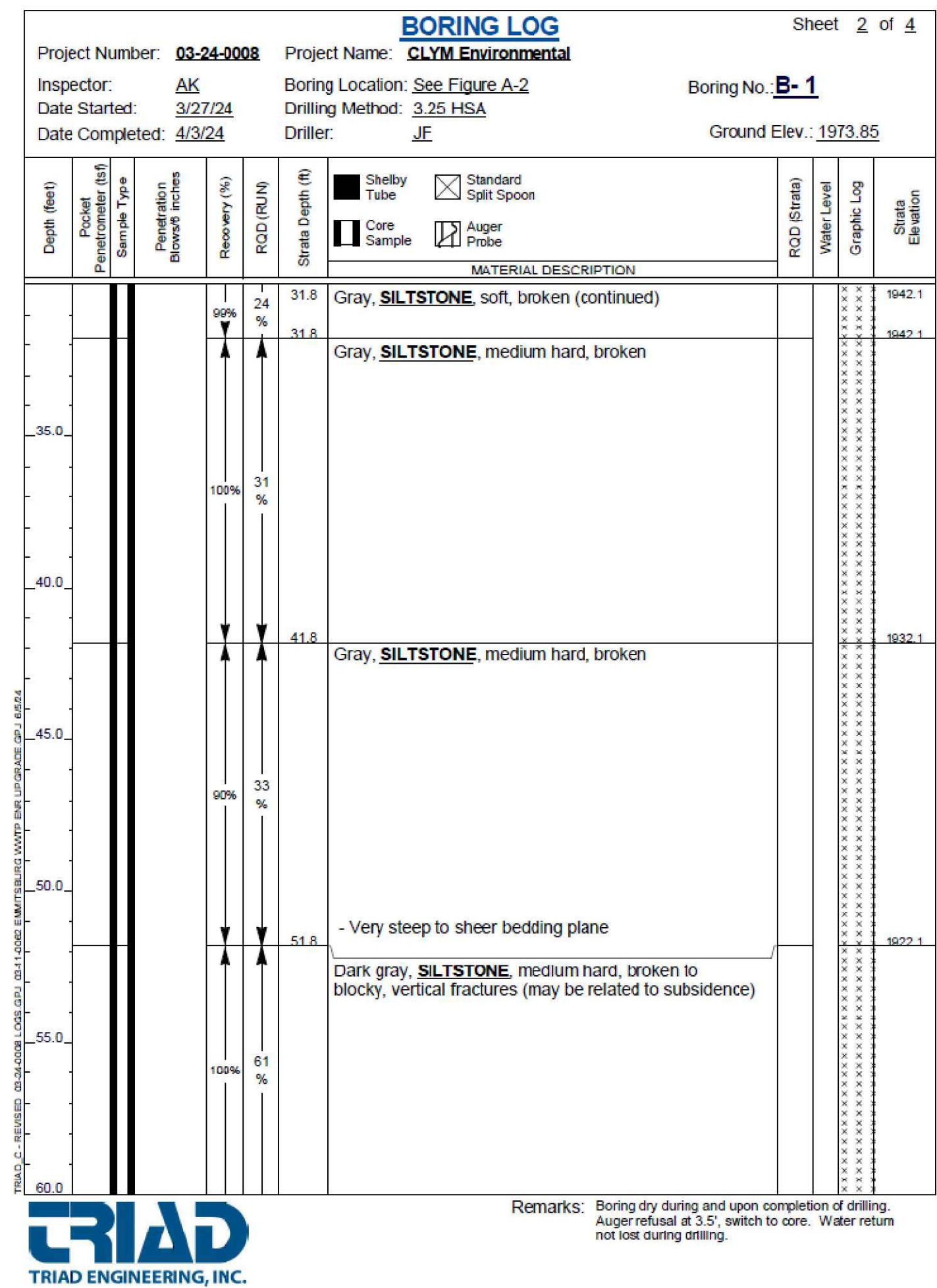
FIGURE :  
 A-2



VICINITY MAP:

PROJECT: **FINAL PLAN SUBMITTAL**  
 FUTURE INDUSTRIAL DEVELOPMENT SITE  
 FROSTBURG BUSINESS PARK  
 FROSTBURG  
 ZONING: T-LI  
 ELECTION DISTRICT: 24-000  
 ALLEGANY COUNTY  
 MARYLAND

CLIENT: **CLYM**  
 CLYM ENVIRONMENTAL SERVICES, LLC  
 1539 TILCO DRIVE  
 FREDERICK, MARYLAND 21704



**811**  
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**bba**  
 Surveyors | Engineers | Planners

Bennett Brewer & Associates, LLC  
 23 East Main Street, Suite 200 Frostburg, Maryland 21532  
 Phone (301)-687-0494 www.bbasurey.com Fax (301)-687-0495

REVISIONS

NO.	BY	DATE	DESCRIPTION
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DRAWN: BBA DATE: 7/05/2024  
 CHECKED: MB SCALE: AS NOTED  
 APPROVED: MB CRD FILE: 23088

BBA# 2023088

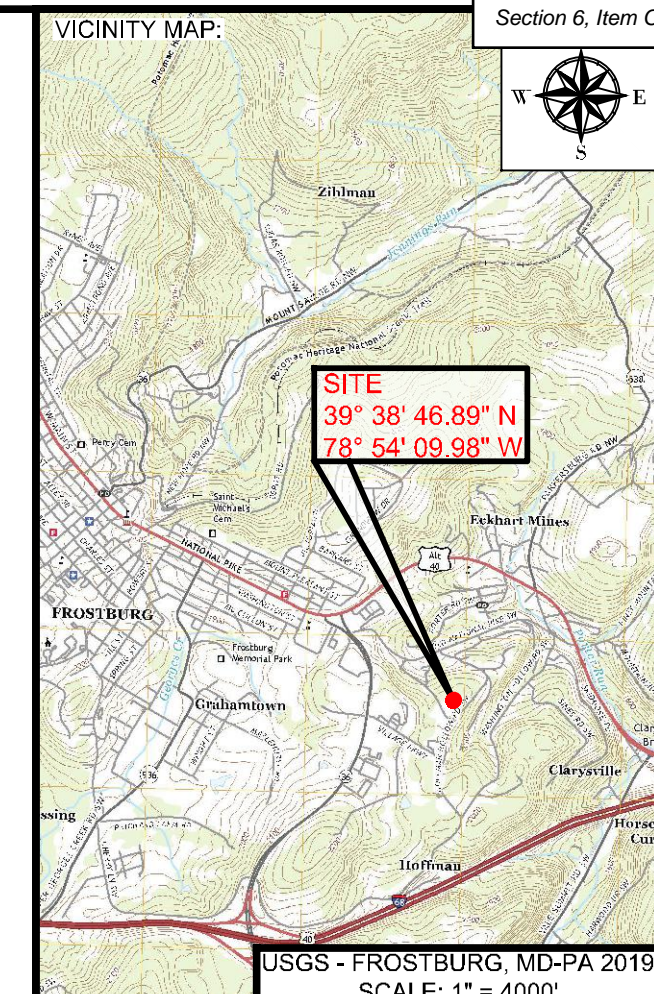
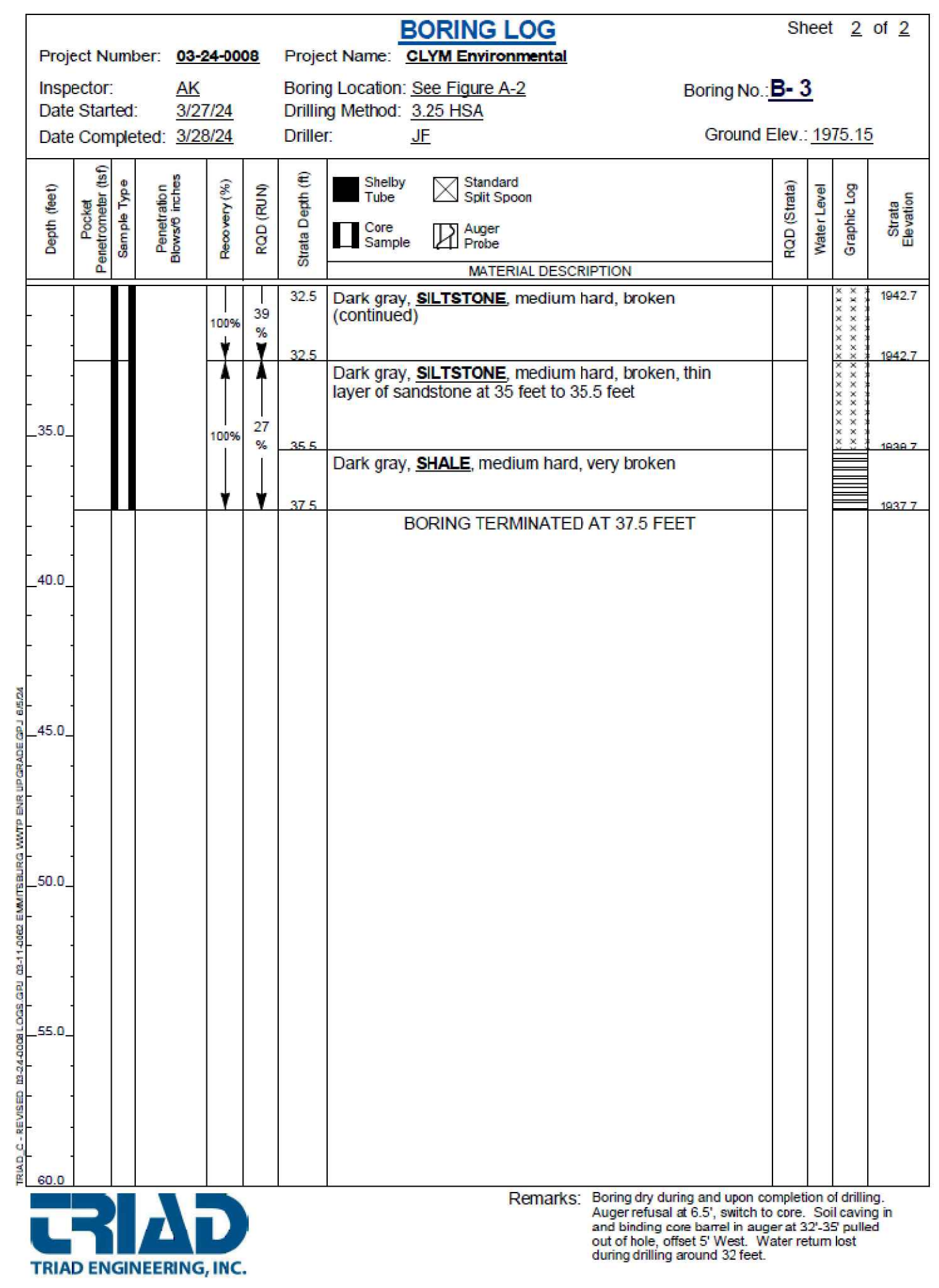
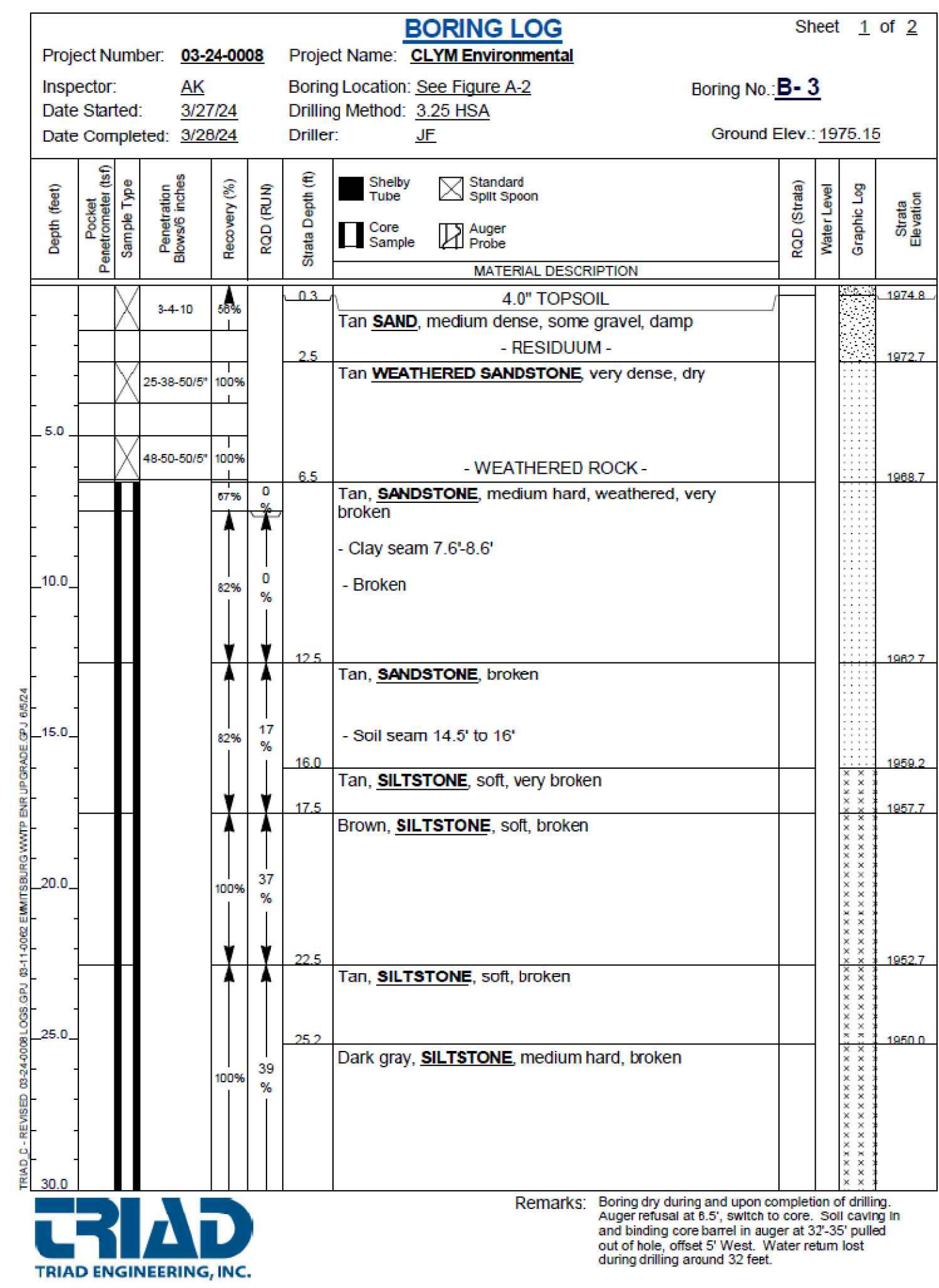
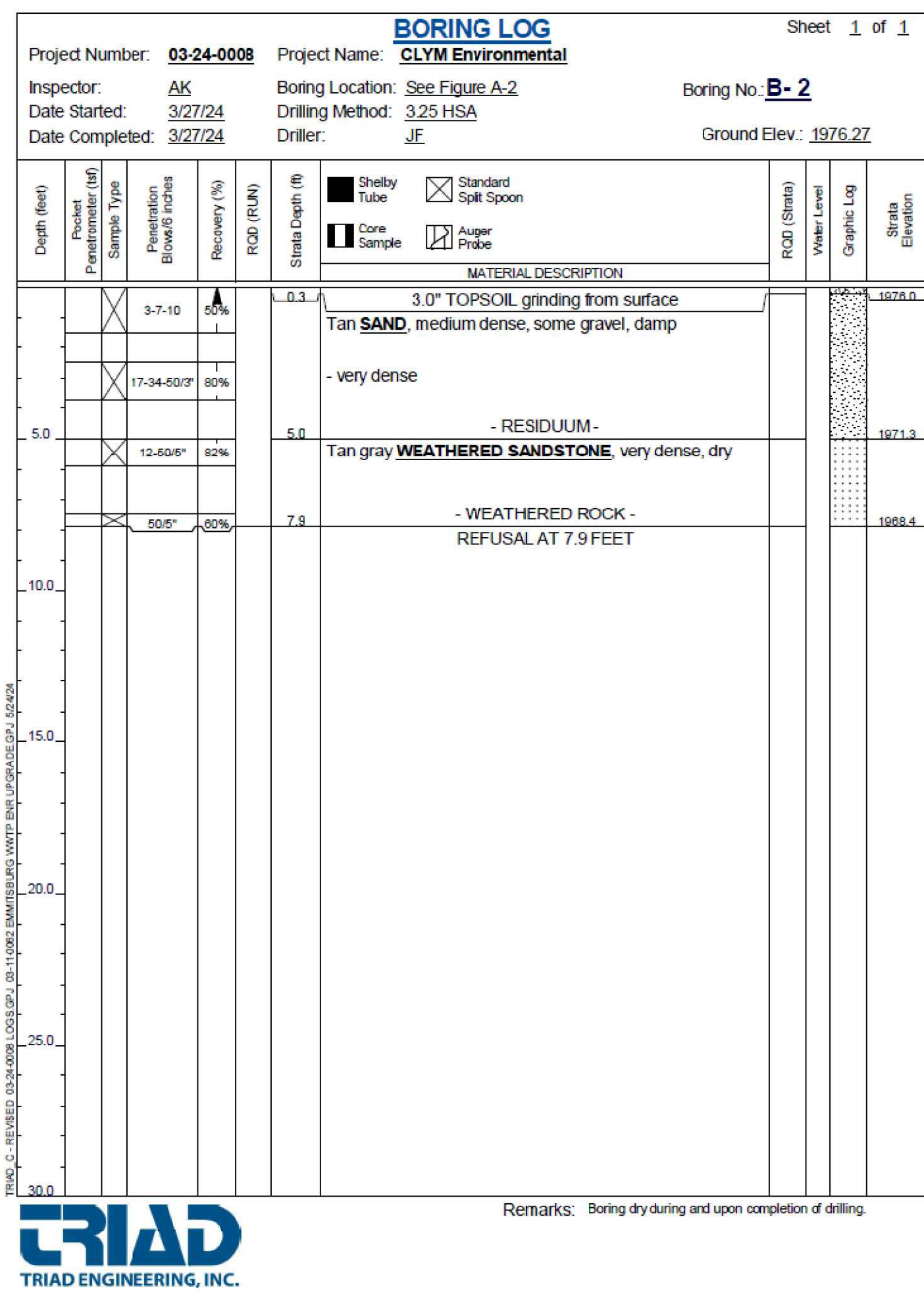
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IFR: 7/05/2024

SHEET #: C-601

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PROJECT:  
**FINAL PLAN SUBMITTAL**  
 FUTURE INDUSTRIAL DEVELOPMENT SITE  
 FROSTBURG BUSINESS PARK  
 FROSTBURG  
 ZONING: T-LI  
 ELECTION DISTRICT: 24-000  
 ALLEGANY COUNTY  
 MARYLAND

CLIENT:  
  
 CLYM ENVIRONMENTAL SERVICES, LLC  
 1539 TILCO DRIVE  
 FREDERICK, MARYLAND 21704

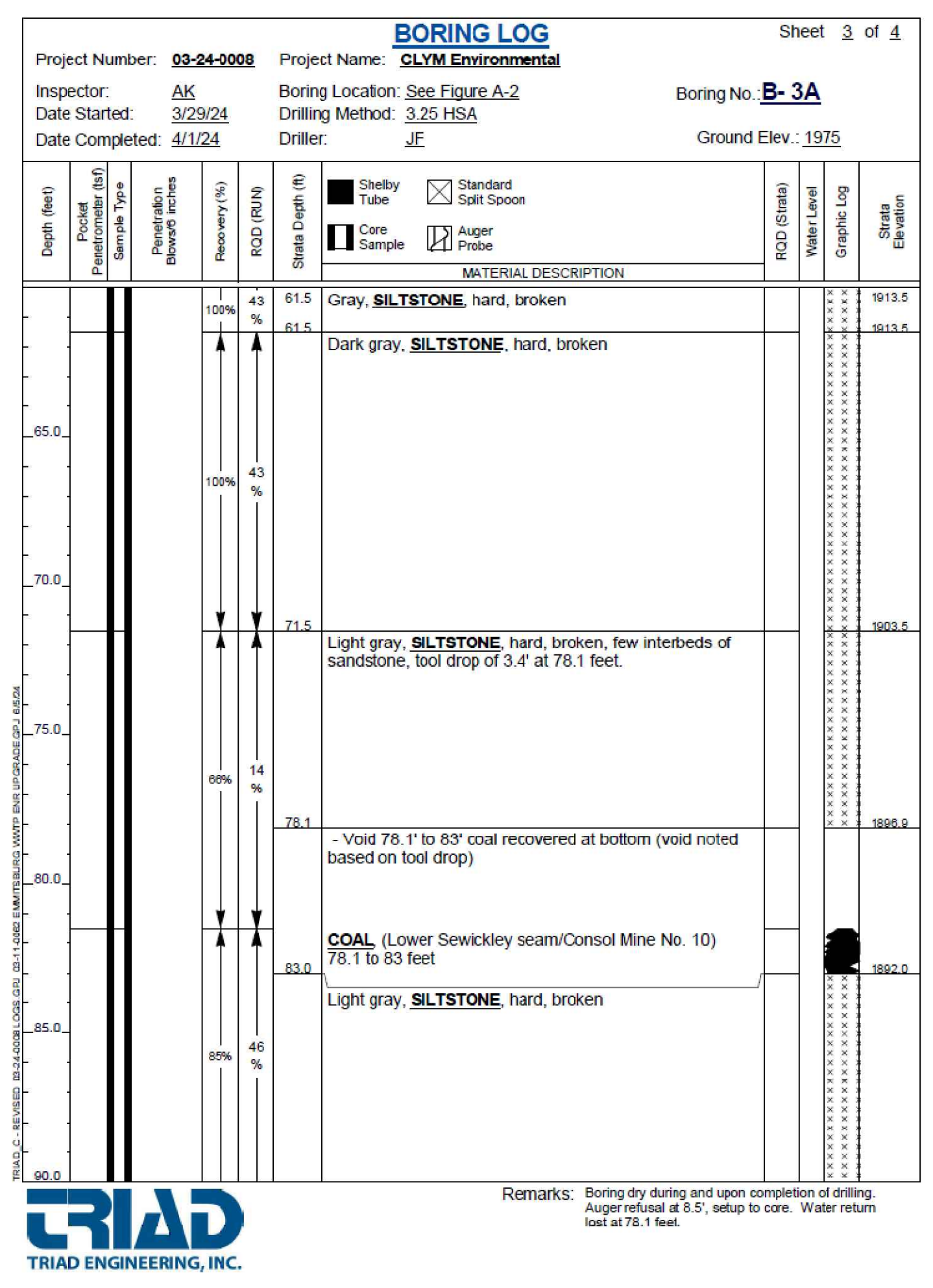
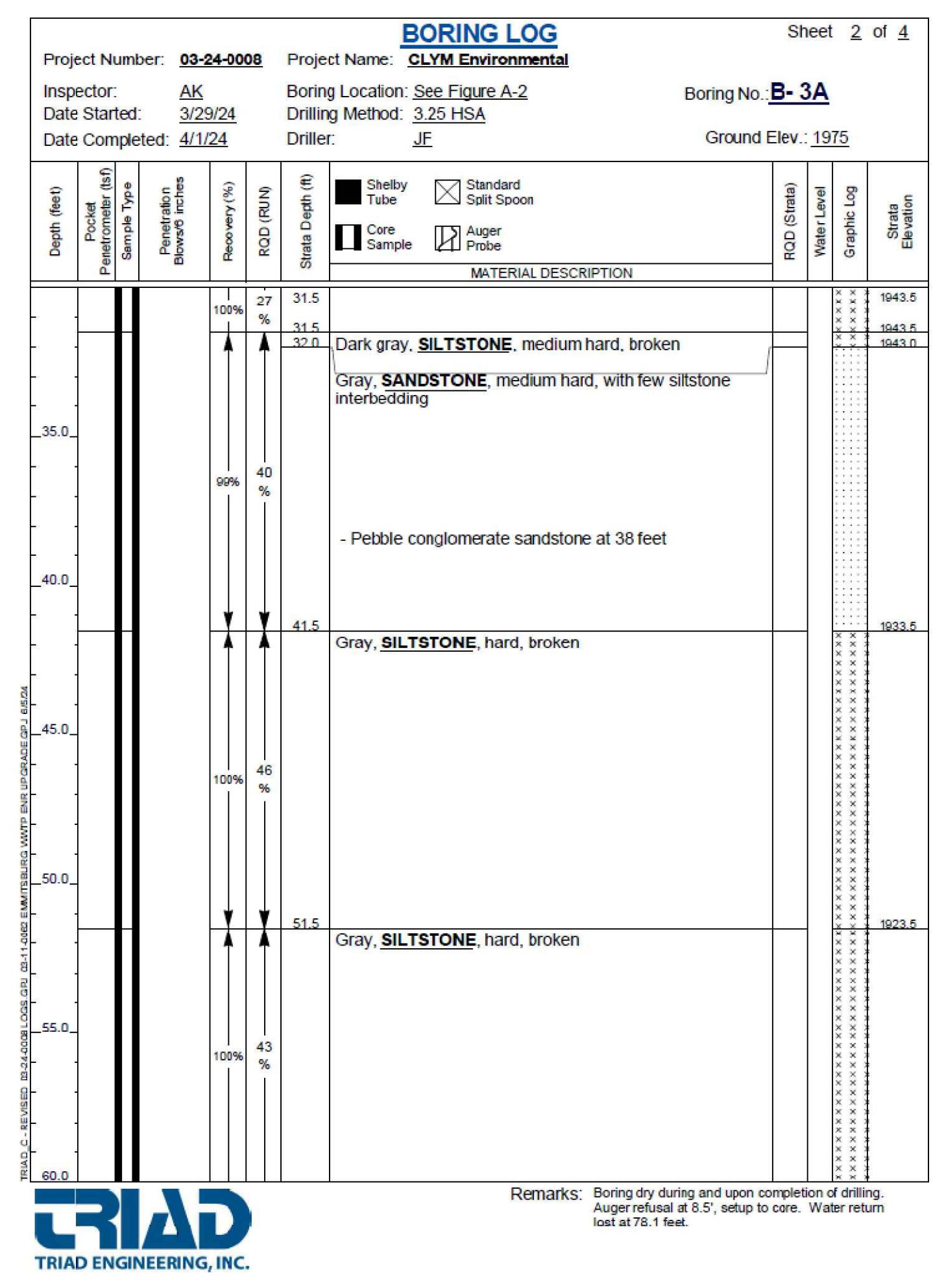
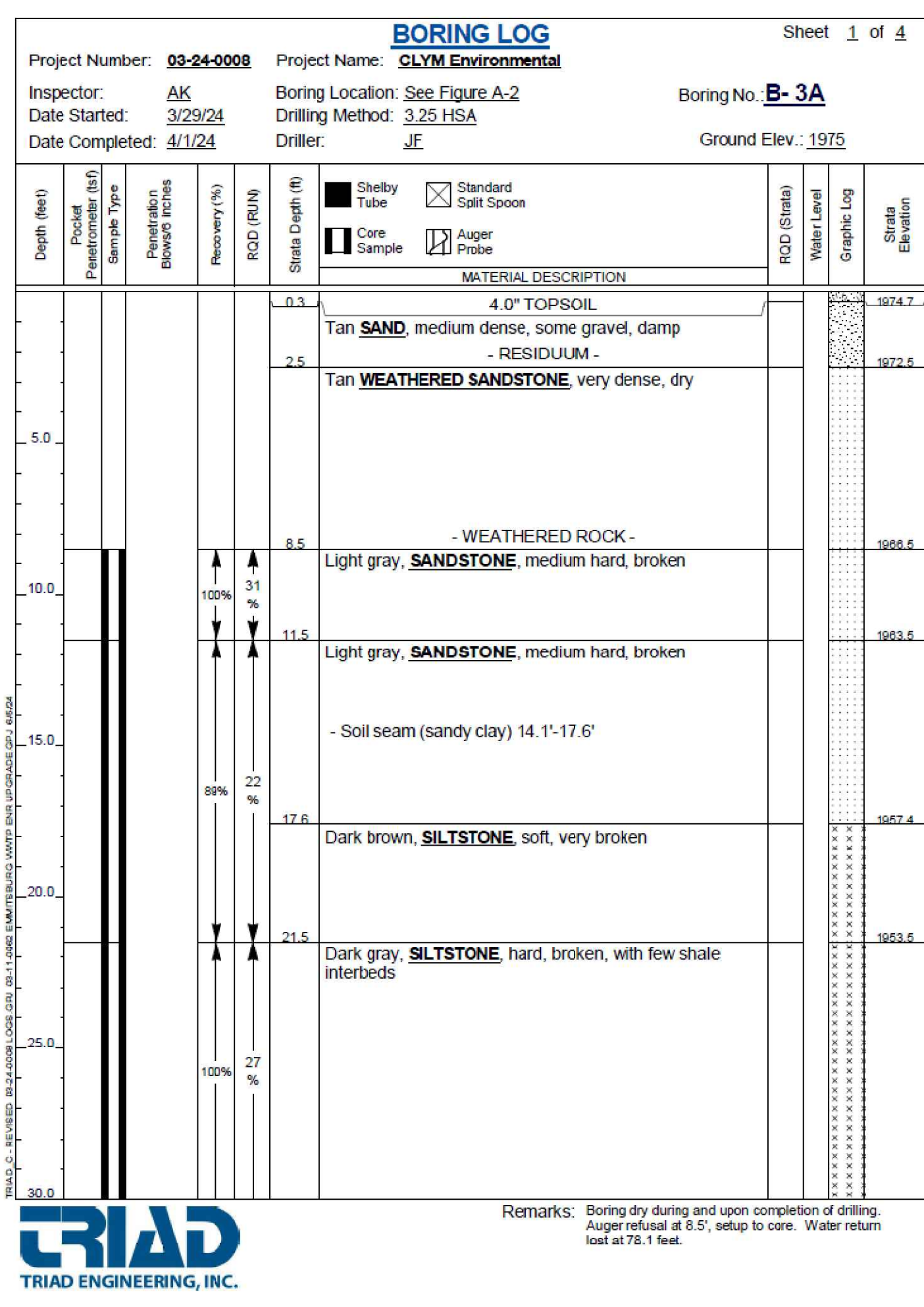
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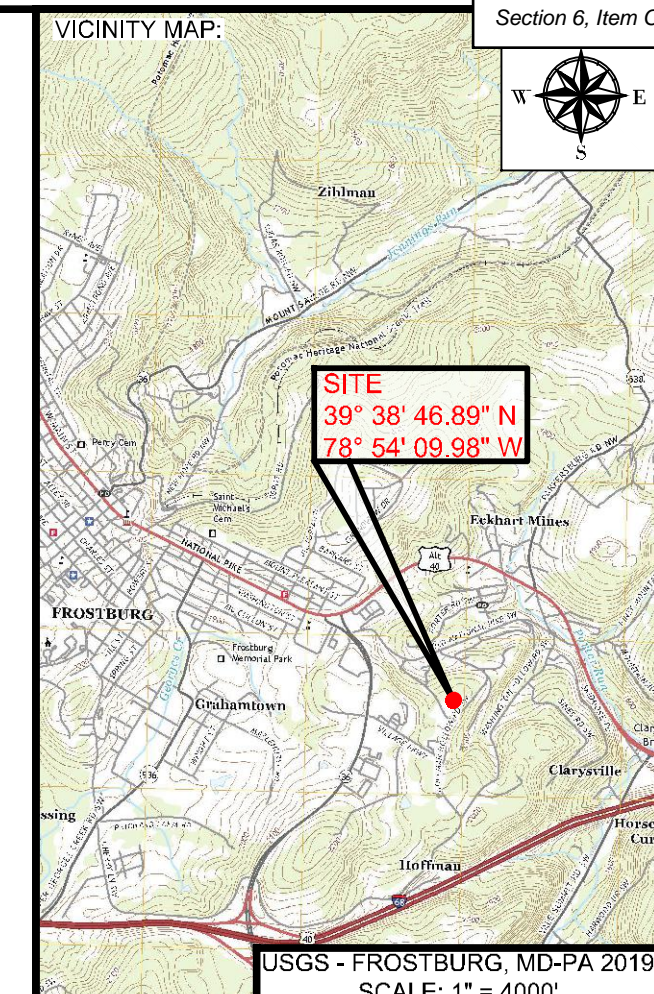
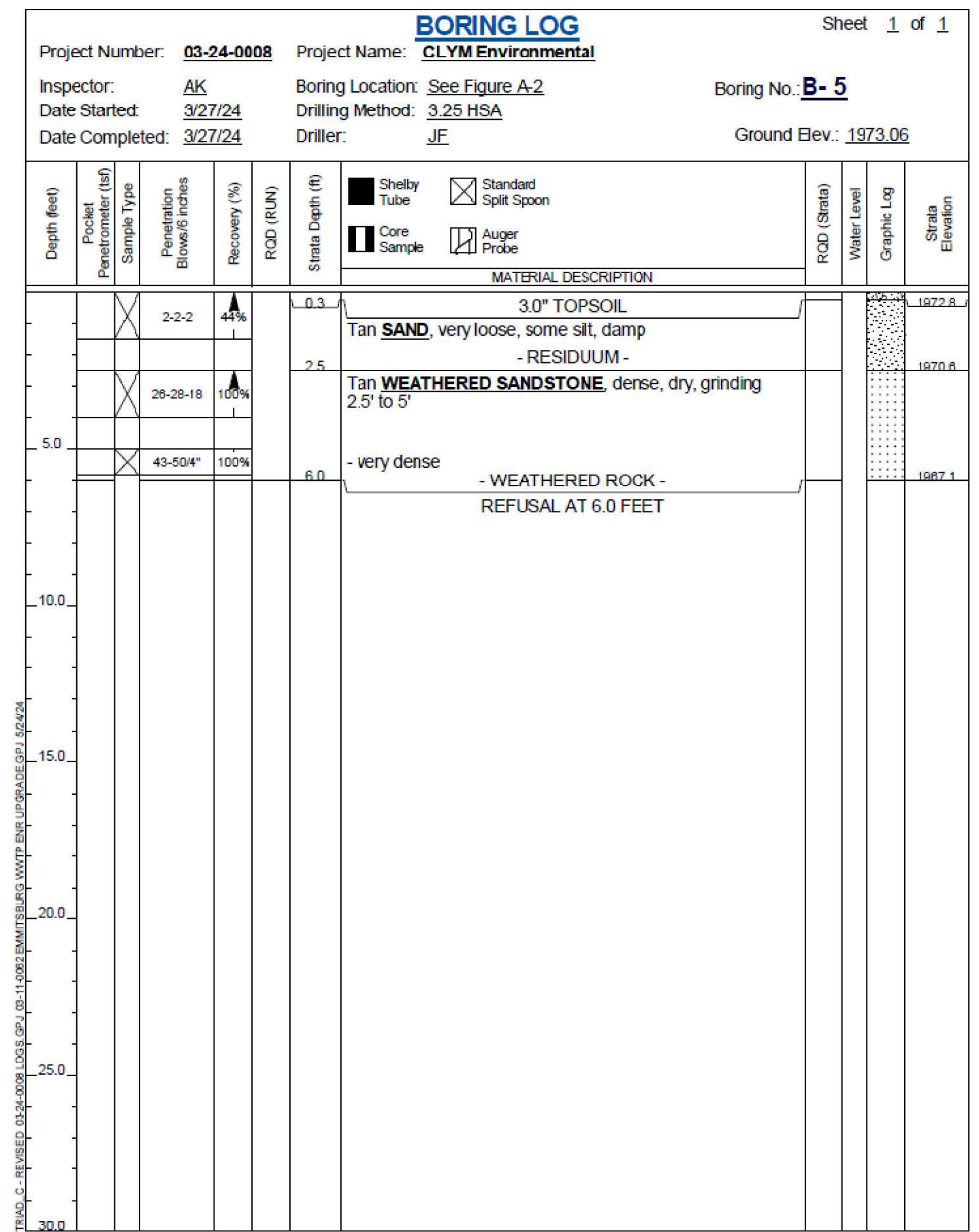
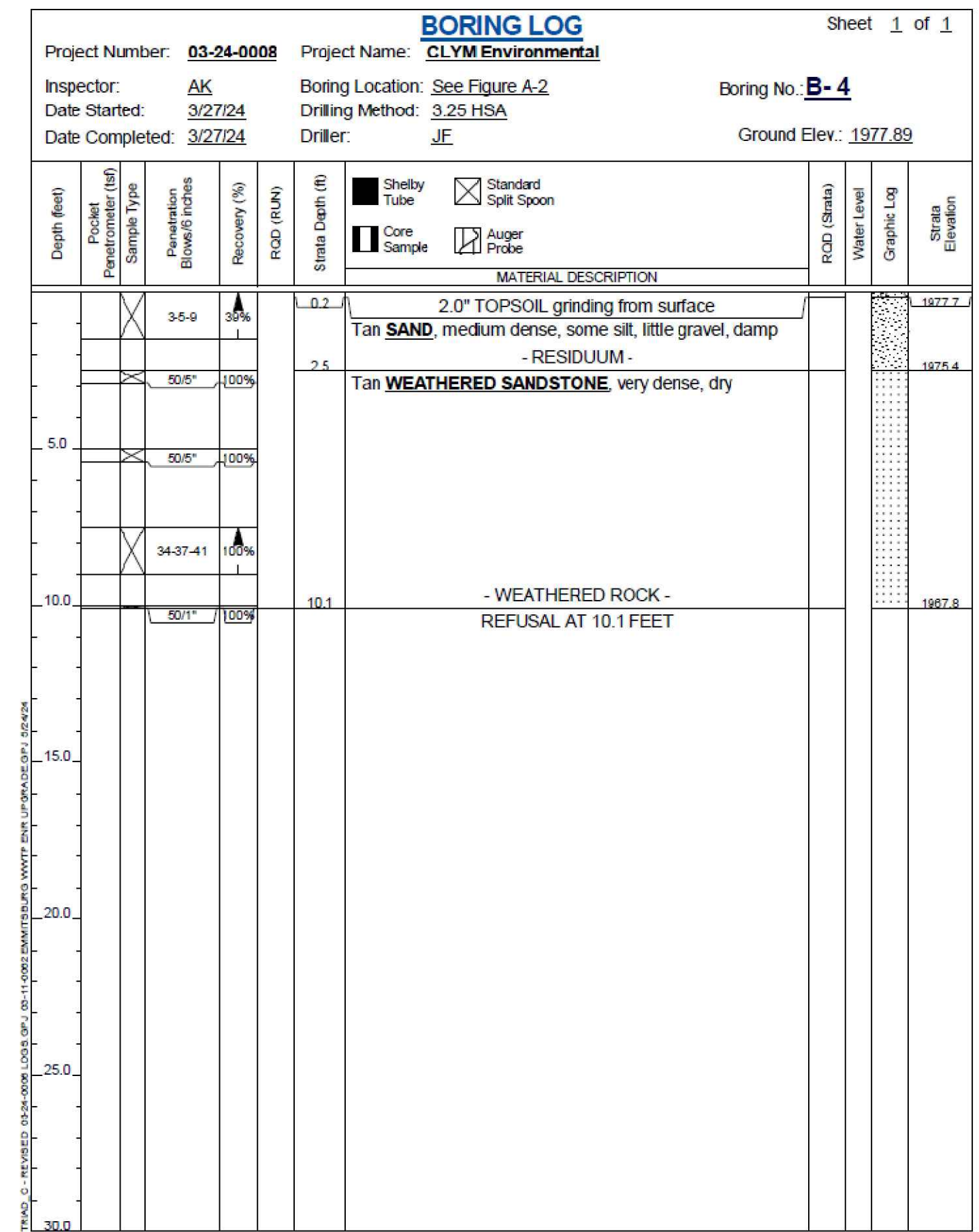
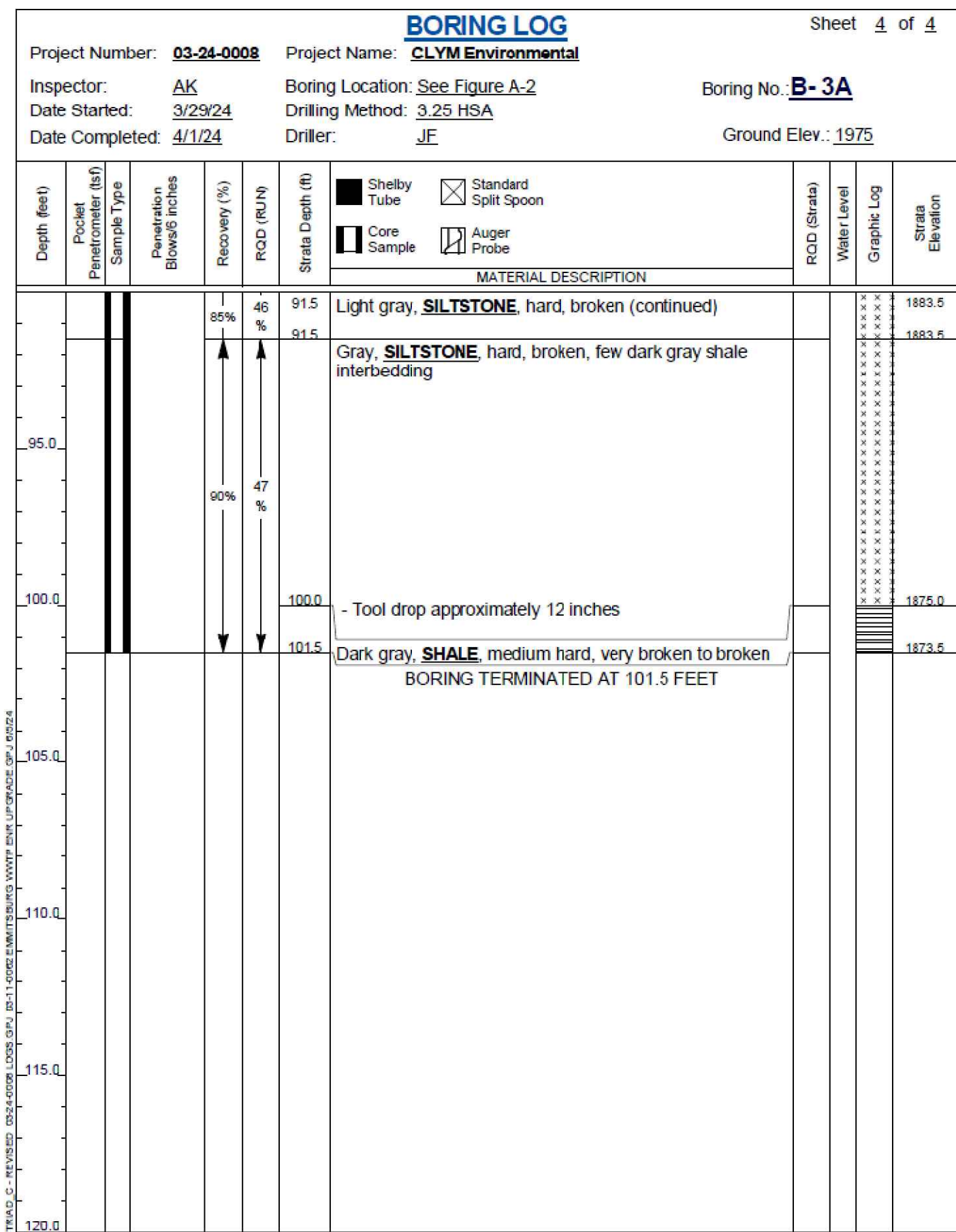
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**SOIL BORINGS**  
 IFR: 7/05/2024  
 SHEET #:  
**C-602**



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PROJECT:

**FINAL PLAN SUBMITTAL**

FUTURE INDUSTRIAL DEVELOPMENT SITE

FROSTBURG BUSINESS PARK

FROSTBURG

ZONING: T-LI

ELECTION DISTRICT: 24-000

ALLEGANY COUNTY

MARYLAND

CLIENT:

CLYM ENVIRONMENTAL SERVICES, LLC  
1539 TILCO DRIVE  
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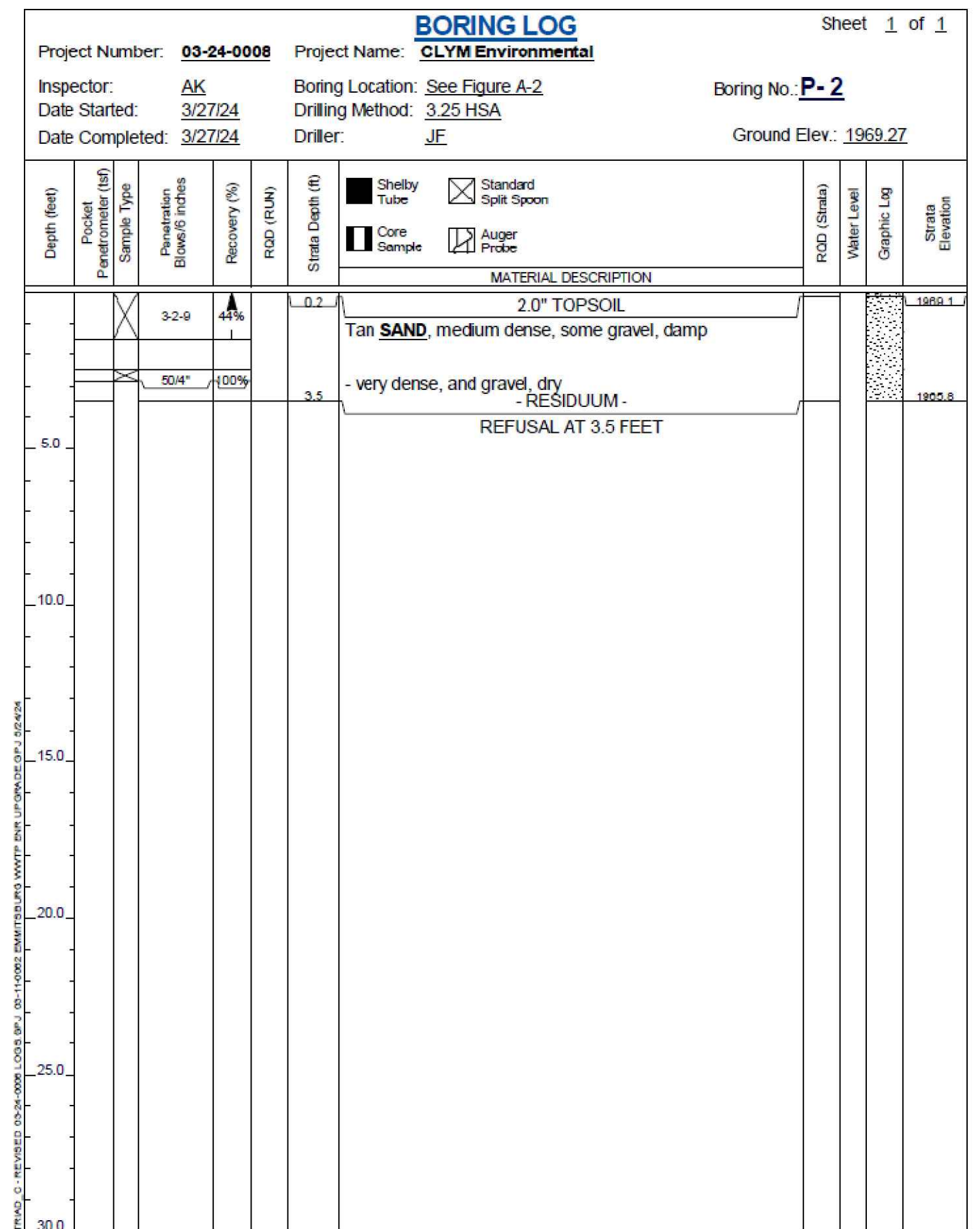
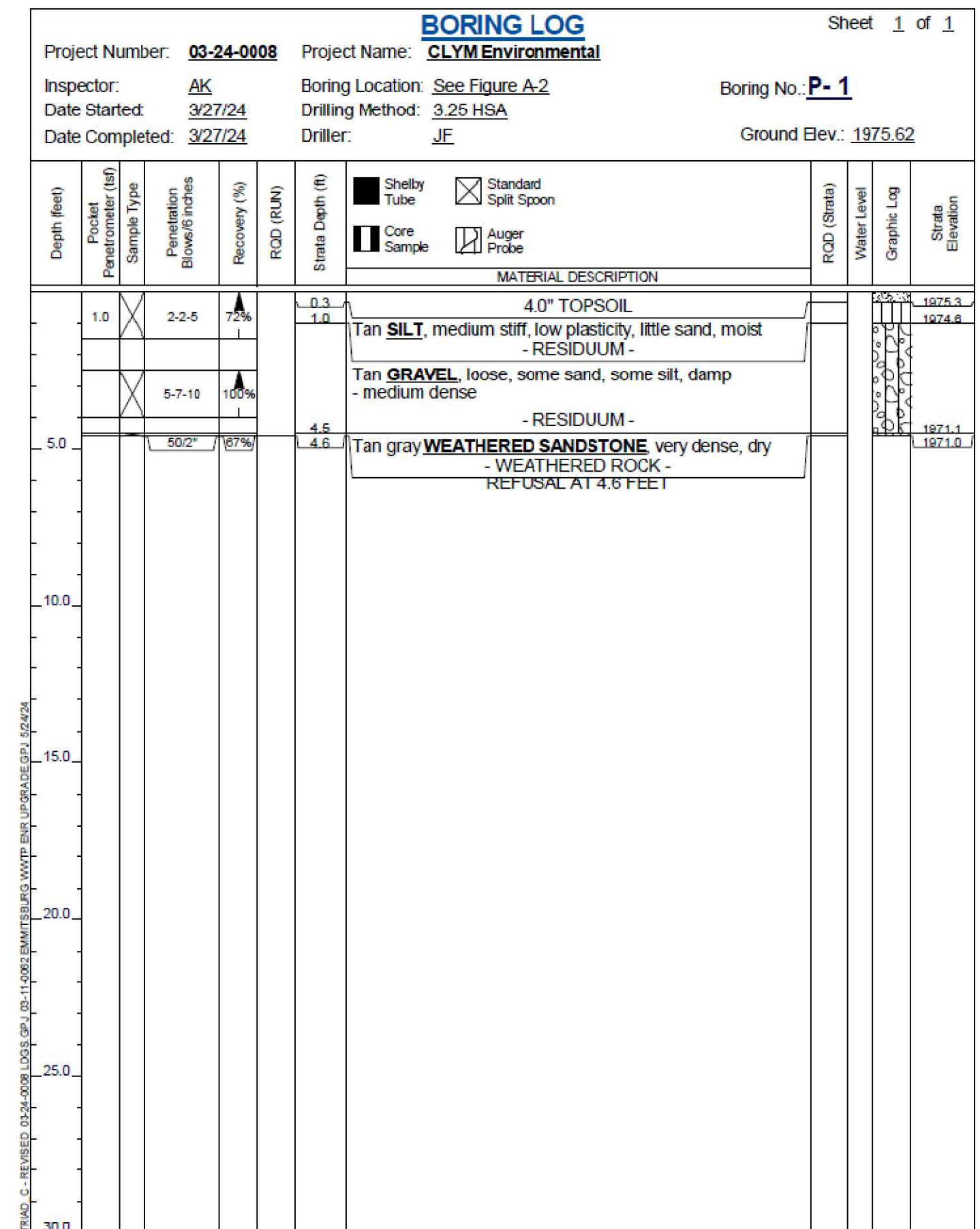
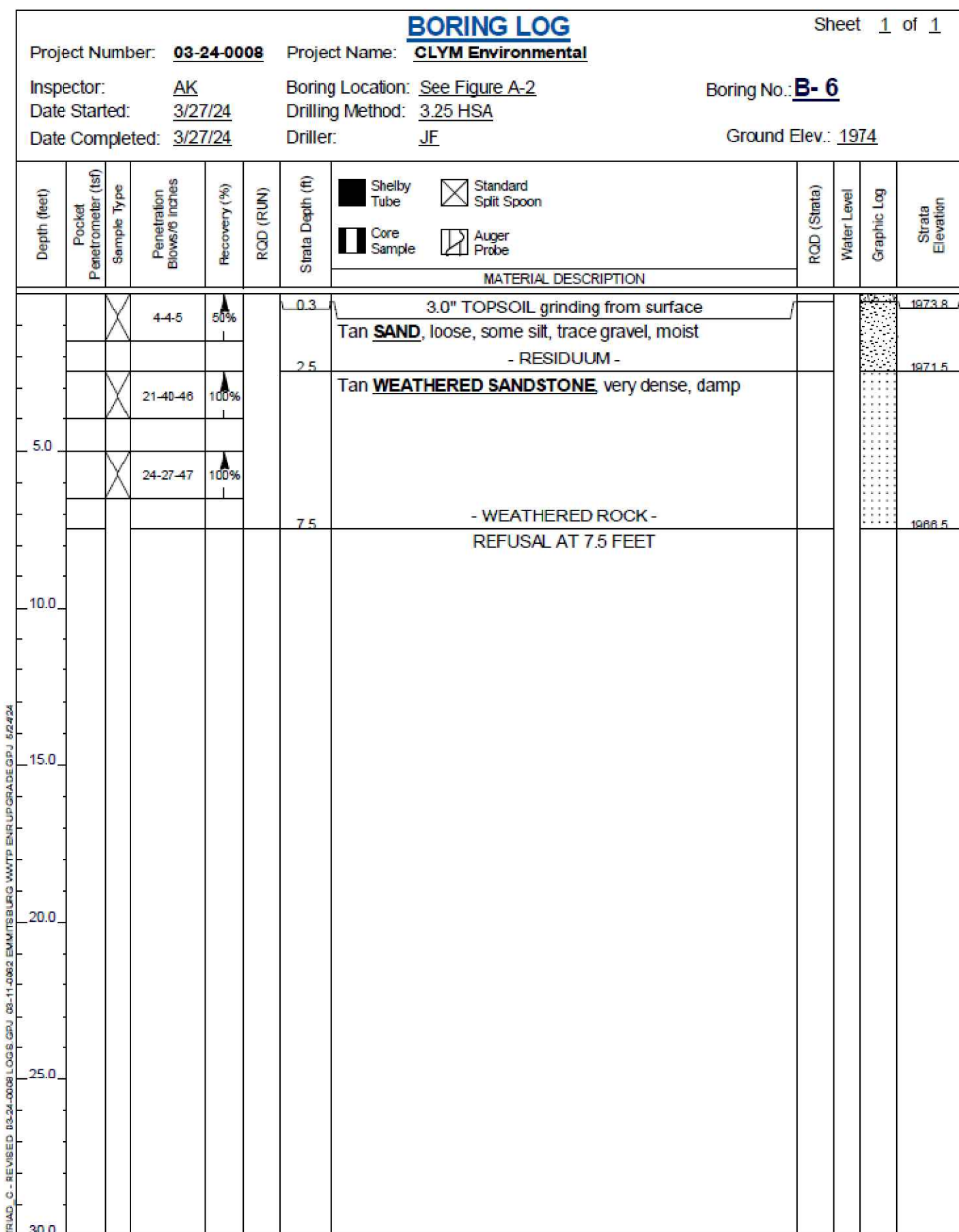
SHEET TITLE:

**SOIL BORINGS**

**IFR: 7/05/2024**

SHEET #:

**C-603**



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Project Number: **03-24-0008** Project Name: **CLYM Environmental** Sheet 1 of 1  
 Inspector: **AK** Boring Location: **See Figure A-2** Boring No.: **P-3**  
 Date Started: **3/27/24** Drilling Method: **3 25 HSA**  
 Date Completed: **3/27/24** Driller: **JE** Ground Elev.: **1966.07**

Depth (feet)	Penetration Blows/6 inches	Recovery (%)	RCD (RUN)	Strata Depth (ft)	MATERIAL DESCRIPTION	RCD (Strata)	Water Level	Graphic Log	Strata Elevation
0.0 - 0.7	2-3-4	100%		0.7	8.0" TOPSOIL Tan SAND, loose, some gravel, damp - RESIDUUM -				1965.4
0.7 - 3.5	503*	100%		3.5	Tan gray WEATHERED SANDSTONE, very dense, dry - WEATHERED ROCK - REFUSAL AT 3.5 FEET				1962.6

Remarks: Boring dry during and upon completion of drilling. Auger refusal at 1.5' on surface boulders, offset 20' Northwest. Test pit at staked location.



Project Number: **03-24-0008** Project Name: **CLYM Environmental** Sheet 1 of 1  
 Inspector: **TK** Boring Location: **See Figure A-2** Boring No.: **TP-1**  
 Date Started: **3/6/24** Drilling Method: **Mini excavator**  
 Date Completed: **3/6/24** Driller: **TK** Ground Elev.: **1969.27**

Depth (feet)	Penetration Blows/6 inches	Recovery (%)	RCD (RUN)	Strata Depth (ft)	MATERIAL DESCRIPTION	RCD (Strata)	Water Level	Graphic Log	Strata Elevation
0.0 - 0.5				0.5	6.0" TOPSOIL, trace cobbles				1968.8
0.5 - 3.3				3.3	Tan SAND, little clay, some gravel, some cobbles, moist, little boulders up to 2' in largest dimension  - RESIDUUM - BUCKET REFUSAL AT 3.3 FEET				1966.0

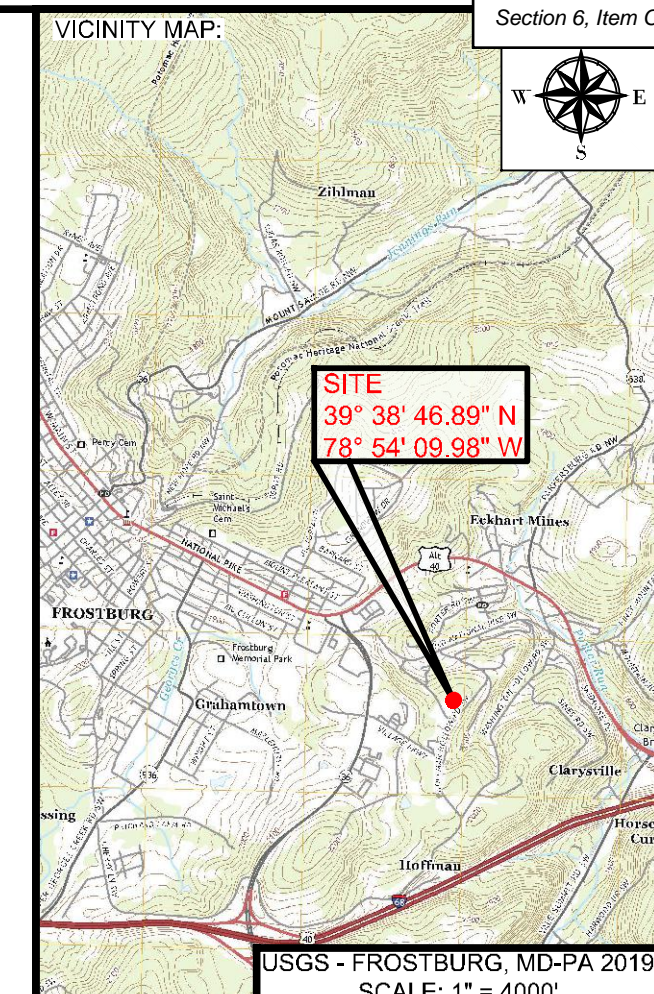
Remarks: Test pit dry during and upon completion of excavation. Bucket refusal at 3' in Southwest end of test pit.



Project Number: **03-24-0008** Project Name: **CLYM Environmental** Sheet 1 of 1  
 Inspector: **TK** Boring Location: **See Figure A-2** Boring No.: **TP-2**  
 Date Started: **3/6/24** Drilling Method: **Mini excavator**  
 Date Completed: **3/6/24** Driller: **TK** Ground Elev.: **1966.07**

Depth (feet)	Penetration Blows/6 inches	Recovery (%)	RCD (RUN)	Strata Depth (ft)	MATERIAL DESCRIPTION	RCD (Strata)	Water Level	Graphic Log	Strata Elevation
0.0 - 0.8				0.8	10.0" TOPSOIL, little cobbles, trace boulders				1965.2
0.8 - 3.8				3.8	Tan SAND, some cobbles, little gravel, little silt, moist, some boulders up to 2.5' in largest dimension  - RESIDUUM - BUCKET REFUSAL AT 3.8 FEET				1962.3

Remarks: Test pit dry during and upon completion of excavation. Bucket refusal at 3' in North end of test pit. Layered rock will be hard to drill.



PROJECT:  
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BBA# 2023088  
 SHEET TITLE:  
**SOIL BORINGS**  
 IFR: 7/05/2024  
 SHEET #:  
**C-604**

CAD FILE: E:\2023\230988 - Cym Environmental - Cym Environmental - Design Services\PRODUCTION\C-601 SERIES.dwg PLOT DATE/TIME: 7/4/2024 - 1:41pm LAST SAVE BY: work106



PROPERTY LINE

35'

75'

18'

23'

90'

16'

9 units

14'

2 units

28'

PARKING LOT

CRABE NELSON

301-268-2920

ROAD

42'

DRIVEWAY TO ROAD

MARSH NELSON + SONS CONTRACTORS

MULTI MASTERS  
DOG  
GRADING

ALL SEASONS  
SPORTS CARDS

PLATINUM  
BY  
HOLSHER



To whom it may concern :

The Neilson Family has owned the property at 12 Village Parkway, Frostburg MD since 2017. In this time Marsh Neilson's sons (Rick + Craig Neilson) two third generation Business owners in which have been operating in the Frostburg Area for 25 plus years bought the property, along with Brooke Neilson, (owner of Mutt Masters Pet Grooming) and completely restored the property to run their business's out of. Along the process we added two additional spaces each 650 sq ft. All spaces of business have been inspected by the fire Marshall. In those two spaces include a hair salon (Platinum by Jenna) and (All Seasons Sports Cards) which was formally renting on main street in Frostburg, MD until the business caught fire. Rick and Craig Neilson feel that adding a storage unit business to the property would aid to the Frostburg community by allowing newcomers to our area to store their items that they may not be able to fit into their homes due to lack of space. With the lack of housing opportunities in this area a lot of people, such as student that go to Frostburg State University could safely store their items in a clean, off the street area. Given the location of 12 Village Parkway it is less congested and private. We have plenty of parking at this location and we are friends with our surrounding neighbors. We are basically like one big family.



We all help each other out and keep the property tidy and available for those new-comers. We, Craig, Rick and Brooke Neilson have no ill intentions or mean no disrespect towards the Frostburg city or community and feel that these business's that are being operated out of 12 Village Parkway are very aiding to our small community. We kindly ask for a special Exemption for the storage sheds on this property. We were under the impression that we did not need a permit because they are buildings with no footers or blocks. We are willing to comply with the city of Frostburg to do things the right way without any trouble in regards to keep all business's running smoothly. We feel that all of these business owners have worked hard and respectfully served our community, bringing in more opportunity and economic growth to the Frostburg community. Thank you for your time and we hope you can take this letter into consideration when making your decision to grant our family and small business owners this exception through the (BOZA) permission to continue to run business smoothly.

Rick - 301-697-6530

Craig - 301-268-2420

Brooke - 301-268-8863

Thank you, Sincerely,

Craig, Rick and Brooke Neilson

Brooke Neilson

Craig Neilson  
 Rick Neilson





**Built Rite**  
**STORAGE**  
**UNITS**  
301-697-6530  
301-268-2920

**C&S**  
**LANDSCAPING**  
100-440-1205





STOP

**Built Rite**  
**STORAGE**  
**UNITS**  
301-697-6530  
301-268-2920

**Built Rite**  
**STORAGE**  
**UNITS**  
301-697-6530  
301-268-2920





**C & C**  
**LANDSCAPING**  
301-689-2785  
P.O. BOX 1000  
DUNN, VA 22028

**Built Rite**  
**STORAGE**  
**UNITS**  
301-697-6530  
301-268-2920









10

11





Brent Price  
STORAGE UNITS  
304-697-6530  
304-268-2920

CUSTOMER  
PARKING

10

9

8

7



**ORDINANCE 2023-##**

**AN ORDINANCE TO AMEND THE CITY’S ZONING ORDINANCE (APPENDIX A OF THE FROSTBURG CODE) TO ADD BODY ART STUDIOS TO THE USES PERMITTED IN THE PRIMARY DISTRICT REGULATIONS, SUBJECT TO SPECIFIED CONDITIONS.**

**WHEREAS**, the City of Frostburg is a municipal corporation of the State of Maryland, organized and operating under a charter (“Charter”) adopted in accordance with Article XI-E of the Constitution of Maryland and Article 23-A of the Annotated Code of Maryland, as amended;

**WHEREAS**, Article V, Sections 501 and 502 of the Charter empowers the City to regulate matters of zoning within the City;

**WHEREAS**, the City of Frostburg Zoning Ordinance (the “Zoning Ordinance”) is set forth in Appendix A of the Frostburg Code;

**WHEREAS**, the Planning Commission is proposing that the Zoning Ordinance be amended to allow body art studios in the same zoning districts as beauty salons, barbers, etc.;

**WHEREAS**, the Frostburg Planning Commission reviewed the proposed text changes during its August \_\_\_\_, 2024 public meeting and voted to recommend to the Mayor and Council that it adopt them; and

**WHEREAS**, by this Ordinance, the Mayor and Council are accepting those recommendations, subject to amendments, and are amending the Zoning Ordinance as set forth below.

**NOW, THEREFORE,**

**SECTION 1: BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF FROSTBURG**, that the portion of the Use Regulations Table set forth at the beginning to Part 3 of the Zoning Ordinance applicable to service uses is amended as follows.

PART 3. PRIMARY DISTRICT REGULATIONS

Use Description	Zoning Districts										
	R1*	R2*	R2-A*	R3	R4*	RO	C1	C2	C3	C4	T-LI
Service											
Animal Groomers				SE			P	P	P		



Automobile Parking Lots and Decks							SE	P	SE		
Automobile Service Stations and Repair Garages								P		P	
Banks/Financial Institutions (with drive-through service)								SE	SE	P	
Banks/Financial Institutions (without drive-through service)				SE	SE		P	P	P	P	
Beauty shop, barber shop, nail salon, tanning, spas				SE	SE		P	P	P	<b>P</b>	
Body Art Studios				<b>SE</b>	<b>SE</b>		<b>P</b>	<b>P</b>	<b>P</b>	<b>P</b>	
Cleaners, Laundromats, etc.				SE	SE		P	P	P		
Contractor Offices									P		P
Fitness Centers							SE	P	SE		
Kennels								p <sup>1</sup>			SE
Medical Laboratories								P	SE		P
Medical or Dental Services					SE	P	P	P	P		
Motels and Hotels								P	P	P	
Personal service				SE	SE		P		P		
Professional Offices					SE	P	P	P	P		
Sales, Service, Commercial Washing of Motor Vehicles								P	SE		
Truck Stops and Rest Areas										P	
Veterinary Services								P			

[NOTE: The amendments are set forth in bold highlighted text.]

**SECTION 2: AND BE IT FURTHER ORDAINED**, that Section 3.4.C(14)(b) of the Zoning Ordinance is amended by adding body art studios as a special exception use in the “R3” General Residential District as follows:

- C. *Special Exceptions.* Only the following principal uses and structures are permitted as special exceptions after approval by the Board of Zoning Appeals:

....

- (14) Any of the following uses, provided that the total floor area of all structures or portions thereof devoted or intended for such uses shall not to exceed three thousand (3,000) square feet (in addition to any basement areas used solely for storage). Any new such



use shall be limited to a detached building at the corner of two (2) or more public streets. Any such use shall not be open to the public between the hours of 10:00 p.m. and 7:00 a.m.

- (a) Retail stores such as hardware, grocery, drug, variety, baked goods, antique, craft and gift, but not including sale of alcoholic beverages.
- (b) Personal service businesses such as shoe repair, beauty parlors, barbers, **body art studios**, and self-service laundries and dry cleaning stores which are pick up stations only.
- (c) Restaurants, not including drive-through service.
- (d) Banks and other financial institutions, not including drive-through service.

**[NOTE – Amendments to the Zoning Ordinance are set forth in bold underlined print in this section and the remaining sections of this Ordinance.]**

**SECTION 3: AND BE IT FURTHER ORDAINED**, that Section 3.5.C(15)(b) of the Zoning Ordinance is amended by adding body art studios as a special exception use in the “R4” Gateway Residential District as follows:

C. *Special Exceptions.* Only the following principal uses and structures are permitted as special exceptions after approval by the Board of Zoning Appeals:

....

(15) Any of the following uses, provided that the total floor area of all structures or portions thereof devoted or intended for such uses shall not exceed three thousand (3,000) square feet of a structure. Any such use shall not be open to the public between the hours of 10:00 p.m. and 7:00 a.m.

- (a) Retail stores such as hardware, grocery, drug, variety, baked goods, antique, craft and gift, but not including the sale of alcoholic beverages.
- (b) Personal service businesses such as shoe repair, beauty parlors, barbers, **body art studios**, and self-service laundries and dry cleaning stores which are pick up stations only.
- (c) Restaurants, not including drive-through service.
- (d) Banks and other financial institutions, not including drive-through service.

**SECTION 4: AND BE IT FURTHER ORDAINED**, that Section 3.7.B of the Zoning Ordinance is amended by adding body art studios as a permitted use in the "C1" University Corridor/Mixed-Use District as follows:

B. *Permitted Uses.* Only the following principal uses and structures are permitted in the "C1" district:

....

**(21) Body art studios.**

**SECTION 5: AND BE IT FURTHER ORDAINED**, that Section 3.8.B and 3.8.C. of the Zoning Ordinance are amended by adding body art studios as a permitted use in the "C2" Highway Commercial District as follows:



- B. *Permitted Uses.* Only the following principal uses and structures are permitted in the "C2" district:

....

**(36) Body art studios.**

- C. *Special Exceptions.* The following uses are permitted as special exceptions after approval by the Board of Zoning Appeals:

....

~~**(7) Body art studios.**~~

**SECTION 6: AND BE IT FURTHER ORDAINED,** that Sections 3.9.B and 3.9.C. of the Zoning Ordinance are amended by adding body art studios as a permitted use in the "C3" Town Center District as follows:

- B. *Permitted Uses.* Only the following principal uses and structures are permitted in the "C3" district:

....

**(32) Body art studios.**

- C. *Special Exceptions.* The following uses are permitted as special exceptions after approval by the Board of Zoning Appeals:

....

~~**(9) Body art studios.**~~

**SECTION 7: AND BE IT FURTHER ORDAINED,** that Section 3.10.B of the Zoning Ordinance is amended by adding body art studios as a permitted use in the "C4" Gateway Commercial District as follows:

- B. *Permitted Uses.* Only the following principal uses and structures are permitted in the "C4" district:

....

**(11) Body art studios.**

**SECTION 8: AND BE IT FURTHER ORDAINED,** that this Ordinance shall take effect twenty (20) days from the date of its passage.



MAYOR AND CITY COUNCIL OF FROSTBURG

By: \_\_\_\_\_  
Todd Logsdon, Mayor

\_\_\_\_\_  
Elizabeth Stahlman, City Administrator

Introduced: \_\_\_\_\_, 2024  
1<sup>st</sup> Hearing: \_\_\_\_\_, 2024  
Adopted: \_\_\_\_\_, 2024  
Effective: \_\_\_\_\_, 2024