



CITY COUNCIL WORK SESSION

Monday, April 03, 2023 at 6:00 PM
Council Chambers and YouTube Livestream

MISSION STATEMENT

It is the mission of the City of Forest Park to enhance, strengthen, and grow our city by collaborating with our community to provide the highest level of service. Striving to be recognized as a diverse community that values and respects all members. We will strive to provide fair, professional, and courteous service through transparency and open communication. As we work to achieve this mission, we will have integrity beyond reproach while employing fiscal discipline and innovation. In this work there are no praises and raises for mediocrity.

Website: www.forestparkga.gov
YouTube: <https://bit.ly/3c28p0A>
Phone Number: (404) 366.4720

FOREST PARK CITY HALL
745 Forest Parkway
Forest Park, GA 30297

The Honorable Mayor Angelyne Butler, MPA

The Honorable Kimberly James
The Honorable Hector Gutierrez
The Honorable Allan Mears

The Honorable Dabouze Antoine
The Honorable Latresa Akins-Wells

Ricky L. Clark Jr, City Manager
S. Diane White, City Clerk
Mike Williams, City Attorney

AGENDA

VIRTUAL NOTICE

DISCLAIMER: For in-person attendance, all CDC requirements of Masks and Social Distancing is recommended.

To watch the meeting via YouTube - <https://bit.ly/3c28p0A>

The Council Meetings will be livestream and available on the City's

YouTube page - "**City of Forest Park GA**"

CALL TO ORDER/WELCOME:

ROLL CALL - CITY CLERK:

CITY MANAGER'S REPORT: Dr. Marc-Antonie Cooper, City Manager

NEW BUSINESS:

- 1. Council Discussion on Entering into Agreement with Axon Enterprise, Inc for New/Updated Tasers - Police**

Background/History:

The Forest Park Police Department is requesting the City Council's approval to enter into a five-year contract with AXON for the purchase of 60 Taser 7 Conducted Electrical Weapons (CEWs). The last payment for the current contract is due 2024.

An audit was conducted by Certified Axon Taser Instructor Captain Keith McGhee for functionality, battery life, and the total number of Tasers available for officer use. Captain McGhee receives regular updates from Axon indicating CEW's that are beyond the lifespan and need to be upgraded.

During the month of February 2023, an audit revealed the following: 16 weapons were nonfunctional, 31 weapons had continuous problems with extremely low batteries that are non-serviceable. Captain McGhee received a written report from Axon Representative indicating that our current weapons (X26P) exceeded their five-year useful life on April 14, 2022, The Tasers are no longer covered under warranty, or covered by Axon for repair or maintenance. Additionally, our weapons system is no longer covered by Axon Liability Insurance. Due to the less than lethal weapons, being obsolete, we are asking the City Council to approve the FPPD to enter a new contract with Axon.

2. Council Discussion on Approving the Removal and Installation of equipment on self-support tower - Planning & Com. Dev.

Background/History:

Authorization of the City Council to approve a Conditional Use Permit to allow AT&T and its authorized agent, Providence Real Estate Consulting, to remove and install antennas, modules and cabling on an existing cell tower located at 66 Barnett Road. The applicant has housed cell technology equipment on the existing tower for several years. The Planning Commission recommended approval at its March 16, 2023 meeting.

3. Council Discussion on Approving a Conditional Use Permit for a Small Event Party Venue – Planning & Community Dev.

Background/History:

Authorization of the City Council to approve a conditional use permit to allow an event/party venue to host small gatherings, bridal showers and banquets at 1067 Forest Parkway, Ste. A. The business will operate on the weekend, Friday through Sunday. The space was formerly a party supply store. The property is zoned Institutional Commercial (IC). The district does not allow an event venue as a permitted or conditional use but allows places of assembly as a conditional use. Examples of places of assembly uses are, assembly halls, arenas, dance halls, pool/billiard halls and similar indoor amusement or recreation uses. Planning Commission recommended approval with conditions at its March 16, 2023 meeting.

4. Council Discussion on Approving an Agreement between COFP and Clayton County Public Schools for a Summer Food Service Program – Recreation & Leisure Services

Background/History:

The Clayton County Public Schools has provided free breakfast and lunch meals from June through July to children (18 years of age and under) at the Forest Park Community Recreation Center. The renewal of this agreement will allow children in the community that heavily depended on school breakfast and lunch to eat during the school year the opportunity to receive meals throughout the summer months.

Requesting Council to approve the agreement between Clayton County Public Schools and the City of Forest Park

5. Sister Cities International Discussion – Executive Offices

Background/History:

On September 8, 2020, the Forest Park City Council Approved Resolution No. 20-21 authorizing participation in Sister Cities International. This initiative was created at President Eisenhower's 1956 White House conference on citizen diplomacy. It was envisioned as an organization that could be the hub for peace and prosperity by creating bonds between people from different cities around the world. By forming these relationships, it became the hopes of a nation that people of different cultures could celebrate and appreciate their differences and build partnerships that would lessen the chance of new conflict.

One of the key components of these Sister City relationships are Goodwill Missions, which offer opportunities to deepen friendships and cultural understanding between our sister-states. If it is the desire of the City of Forest Park to deepen commitments and relationships with Senegal, Africa it is requested that we discuss and approve sending a diplomatic goodwill delegation to the country.

EXECUTIVE SESSION: (When an Executive Session is required, one will be called for the following issues: Personnel, Litigation or Real Estate)

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 404-366-1555.

File Attachments for Item:**1. Council Discussion on Entering into Agreement with Axon Enterprise, Inc for New/Updated Tasers - Police****Background/History:**

The Forest Park Police Department is requesting the City Council's approval to enter into a five-year contract with AXON for the purchase of 60 Taser 7 Conducted Electrical Weapons (CEWs). The last payment for the current contract is due 2024.

An audit was conducted by Certified Axon Taser Instructor Captain Keith McGhee for functionality, battery life, and the total number of Tasers available for officer use. Captain McGhee receives regular updates from Axon indicating CEW's that are beyond the lifespan and need to be upgraded.

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CITY OF
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City Council Agenda Item

Subject: Council Discussion on Entering into Agreement with Axon Enterprise, Inc for New/Updated Tasers - Police

Submitted By: Deputy Chief Sandra Johnson

Date Submitted: March 20, 2023

Work Session Date: April 3, 2023

Council Meeting Date: April 3, 2023

Background/History:

The Forest Park Police Department is requesting the City Council's approval to enter into a five-year contract with AXON for the purchase of 60 Taser 7 Conducted Electrical Weapons (CEWs). The last payment for the current contract is due 2024.

An audit was conducted by Certified Axon Taser Instructor Captain Keith McGhee for functionality, battery life, and the total number of Tasers available for officer use. Captain McGhee receives regular updates from Axon indicating CEW's that are beyond the lifespan and need to be upgraded.

During the month of February 2023, an audit revealed the following: 16 weapons were nonfunctional, 31 weapons had continuous problems with extremely low batteries that are non-serviceable. Captain McGhee received a written report from Axon Representative indicating that our current weapons (X26P) exceeded their five-year useful life on April 14, 2022, The Tasers are no longer covered under warranty, or covered by Axon for repair or maintenance. Additionally, our weapons system is no longer covered by Axon Liability Insurance. Due to the less than lethal weapons, being obsolete, we are asking the City Council to approve the FPPD to enter a new contract with Axon.

Cost: \$ **Budgeted for:** _____ **Yes** _____ **No**

Financial Impact:

Action Requested from Council:

Approval of Agreement with Axon Enterprise, Inc.



CITY OF
FORESTPARK
up for every season

Procurement Services Formal Solicitation Request (over \$50K)

1. Date: 03/16/2023
2. Requesting department: Police/ Deputy Chief Johnson
3. Requesting department contact: Police/ Deputy Chief Johnson
4. Brief description of goods or services: New/Updated Tasers
5. Date the good or services are required: 03/16/2023
6. Is funding available for the goods or services? Yes No
7. If yes what is the annual budgeted amount? \$50,695.24 Total \$253,476.00
8. What is the funding source account number? 1000297870544 DEA Treasury Account
9. Will grant funds be used to pay for the goods or services? Yes No
10. Will federal funds be used to pay for the goods or services? Yes No
11. Will this be a one-time purchase or a multi-year contract? One-time Multi-year
12. If multi-year, how many option years are required? 5
13. Will the solicitation have any it components hardware or software? Yes No
14. If yes, has active reviewed and approved this request? Yes No
15. Can the vendor use subcontractors? Yes No
16. Can the vendor operate as a joint venture? Yes No

*** Provide the following information (if applicable) in a Word document and reference the item number***

17. Determine the type of solicitation to be used (ITB, RFP, or RFQ)
18. Detailed description of the goods or services required.
19. Develop scope of work or specifications for the solicitation which may include:
 - Deliverables
 - Fees/ Pricing (unit price, hourly rate, flat rate, etc.)
 - Invoicing/ Payments
 - Materials/ Supplies (will vendor be required to provide)
 - Timeline for Project
 - Staffing/ Staffing Requirements/ Scheduling
 - Reporting
 - Vendor Requirements (certifications, licenses, etc.)
20. Determine the submission requirements (what the vendor must submit with their response).
21. Develop evaluation criteria (RFP or RFQ only) and identify 3-5 people to serve in the evaluation committee.
22. Determine if there will be a pre-bid conference.
23. Provide names and contact information of vendors to notify when the solicitation is released.

My signature acknowledges that I approve this request and that funding is available

JANDRA E. JOHNSON		18 MAR 2023
Department Head (Please Print)	(Signature)	Date
Finance Director	(Please Print)	(Signature)

Please complete, sign, and return this form to ageeter@forestparkga.gov

DEA (FEDERAL - TREASURY) ACCOUNT #1000297870544

11/30/2022	Deposit Cs.#2018170400049501 / AT02CR17DE0001	\$0.00	\$1,266.63	\$653,467.60
12/13/2022	Deposit Cs.#2021170400061501 / AT13MR20AT0003	\$0.00	\$2,240.66	\$655,708.26
12/30/2022		\$0.00		\$655,708.26
1/31/2023		\$0.00		\$655,708.26

Axon Enterprise, Inc.
 17800 N 85th St.
 Scottsdale, Arizona 85255
 United States
 VAT: 86-0741227
 Domestic: (800) 978-2737
 International: +1.800.978.2737

Q-462627-44999.550DP

Issued: 03/14/2023

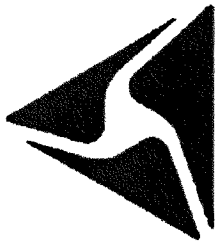
Quote Expiration: 03/31/2023

Estimated Contract Start Date: 05/01/2023

Account Number: 113100

Payment Terms: N30

Delivery Method:



SHIP TO	BILL TO	SALES REPRESENTATIVE	PRIMARY CONTACT
Business: Delivery; Invoice-320 Cash Memorial Blvd 320 Cash Memorial Blvd Forest Park, GA 30297-2666 USA	Forest Park Police Department - GA 320 Cash Memorial Blvd Forest Park, GA 30297-2666 USA Email:	Drew Patterson Phone: +1 5132038037 Email: dpatterson@axon.com Fax:	Sandra Johnson Phone: 404-366-7280 x100 Email: sajohanson@forestparkga.gov Fax: (404) 608-2371

Quote Summary

Program Length	60 Months
TOTAL COST	\$253,476.00
ESTIMATED TOTAL W/ TAX	\$253,476.00

Discount Summary

Average Savings Per Year	\$7,661.00
TOTAL SAVINGS	\$38,305.00

Payment Summary

Date	Subtotal	Tax	Total
Apr 2023	\$50,695.04	\$0.00	\$50,695.04
Apr 2024	\$50,695.24	\$0.00	\$50,695.24
Apr 2025	\$50,695.24	\$0.00	\$50,695.24
Apr 2026	\$50,695.24	\$0.00	\$50,695.24
Apr 2027	\$50,695.24	\$0.00	\$50,695.24
Total	\$253,476.00	\$0.00	\$253,476.00

Quote Unbundled Price: \$291,781.00
 Quote List Price: \$253,477.00
 Quote Subtotal: \$253,476.00

Quote Unbundled Price: \$291,781.00
 Quote List Price: \$253,477.00
 Quote Subtotal: \$253,476.00

Pricing

All deliverables are detailed in Delivery Schedules section lower in proposal

Item	Description	Qty	Term	Unbundled	List Price	Net Price	Subtotal	Tax	Total
Program									
100552	TRANSFER CREDIT - GOODS	1			\$1.00	\$0.00	\$0.00	\$0.00	\$0.00
T7Cert	Taser 7 Certification Bundle	60	60	\$81.05	\$70.41	\$70.41	\$253,476.00	\$0.00	\$253,476.00
Total							\$253,476.00	\$0.00	\$253,476.00

Delivery Schedule

Hardware

Item	Description	QTY	Estimated Delivery Date
20008	TASER 7 HANDLE, YLW, HIGH VISIBILITY (GREEN LASER), CLASS 3R	60	04/01/2023
20008	TASER 7 HANDLE, YLW, HIGH VISIBILITY (GREEN LASER), CLASS 3R	2	04/01/2023
20018	TASER 7 BATTERY PACK, TACTICAL	72	04/01/2023
20050	HOOK-AND-LOOP TRAINING (HALT) SUIT	1	04/01/2023
20062	TASER 7 HOLSTER - BLACKHAWK, RIGHT HAND	55	04/01/2023
20067	TASER 7 HOLSTER - BLACKHAWK, LEFT HAND	5	04/01/2023
22175	TASER 7 LIVE CARTRIDGE, STANDOFF (3.5-DEGREE) NS	180	04/01/2023
22175	TASER 7 LIVE CARTRIDGE, STANDOFF (3.5-DEGREE) NS	120	04/01/2023
22176	TASER 7 LIVE CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	180	04/01/2023
22176	TASER 7 LIVE CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	120	04/01/2023
22177	TASER 7 HOOK-AND-LOOP TRN (HALT) CARTRIDGE, STANDOFF NS	120	04/01/2023
22178	TASER 7 HOOK-AND-LOOP TRN (HALT) CARTRIDGE, CLOSE QUART NS	120	04/01/2023
22179	TASER 7 INERT CARTRIDGE, STANDOFF (3.5-DEGREE) NS	50	04/01/2023
22181	TASER 7 INERT CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	50	04/01/2023
70033	WALL MOUNT BRACKET, ASSY, EVIDENCE.COM DOCK	1	04/01/2023
71019	NORTH AMER POWER CORD FOR AB3 8-BAY, AB2 1-BAY / 6-BAY DOCK	1	04/01/2023
74200	TASER 7 6-BAY DOCK AND CORE	1	04/01/2023
80087	TASER 7 TARGET, CONDUCTIVE, PROFESSIONAL (RUGGEDIZED)	1	04/01/2023
80090	TARGET FRAME, PROFESSIONAL, 27.5 IN. X 75 IN., TASER 7	1	04/01/2023
22175	TASER 7 LIVE CARTRIDGE, STANDOFF (3.5-DEGREE) NS	120	04/01/2024
22176	TASER 7 LIVE CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	120	04/01/2024
22175	TASER 7 LIVE CARTRIDGE, STANDOFF (3.5-DEGREE) NS	120	04/01/2025
22176	TASER 7 LIVE CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	120	04/01/2025
22177	TASER 7 HOOK-AND-LOOP TRN (HALT) CARTRIDGE, STANDOFF NS	120	04/01/2025
22178	TASER 7 HOOK-AND-LOOP TRN (HALT) CARTRIDGE, CLOSE QUART NS	120	04/01/2025
22175	TASER 7 LIVE CARTRIDGE, STANDOFF (3.5-DEGREE) NS	120	04/01/2026
22176	TASER 7 LIVE CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	120	04/01/2026
22175	TASER 7 LIVE CARTRIDGE, STANDOFF (3.5-DEGREE) NS	120	04/01/2027
22176	TASER 7 LIVE CARTRIDGE, CLOSE QUARTERS (12-DEGREE) NS	120	04/01/2027

Software

Item	Description	QTY	Estimated Start Date	Estimated End Date
20248	TASER 7 EVIDENCE.COM LICENSE	60	05/01/2023	04/30/2028
20248	TASER 7 EVIDENCE.COM LICENSE	1	05/01/2023	04/30/2028

Services

Item	Description	QTY
20119	TASER 7 MASTER INSTRUCTOR SCHOOL VOUCHER	1

Services

Bundle	Item	Description	QTY
Taser 7 Certification Bundle	20119	TASER 7 MASTER INSTRUCTOR SCHOOL VOUCHER	1
Taser 7 Certification Bundle	20119	TASER 7 MASTER INSTRUCTOR SCHOOL VOUCHER	1
Taser 7 Certification Bundle	20119	TASER 7 MASTER INSTRUCTOR SCHOOL VOUCHER	1
Taser 7 Certification Bundle	20119	TASER 7 MASTER INSTRUCTOR SCHOOL VOUCHER	1
Taser 7 Certification Bundle	20120	TASER 7 INSTRUCTOR COURSE VOUCHER	1
Taser 7 Certification Bundle	20120	TASER 7 INSTRUCTOR COURSE VOUCHER	1
Taser 7 Certification Bundle	20120	TASER 7 INSTRUCTOR COURSE VOUCHER	1
Taser 7 Certification Bundle	20120	TASER 7 INSTRUCTOR COURSE VOUCHER	1
Taser 7 Certification Bundle	20120	TASER 7 INSTRUCTOR COURSE VOUCHER	1
Taser 7 Certification Bundle	20246	TASER 7 DUTY CARTRIDGE REPLACEMENT ACCESS PROGRAM	60

Warranties

Bundle	Item	Description	QTY	Estimated Start Date	Estimated End Date
Taser 7 Certification Bundle	80374	EXT WARRANTY, TASER 7 BATTERY PACK	72	04/01/2024	04/30/2028
Taser 7 Certification Bundle	80395	EXT WARRANTY, TASER 7 HANDLE	60	04/01/2024	04/30/2028
Taser 7 Certification Bundle	80395	EXT WARRANTY, TASER 7 HANDLE	2	04/01/2024	04/30/2028
Taser 7 Certification Bundle	80396	EXT WARRANTY, TASER 7 SIX BAY DOCK	1	04/01/2024	04/30/2028

Payment Details

Apr 2023						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 1	T7Cert	Taser 7 Certification Bundle	60	\$50,695.04	\$0.00	\$50,695.04
Total				\$50,695.04	\$0.00	\$50,695.04

May 2023						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Invoice Upon Fulfillment	100552	TRANSFER CREDIT - GOODS	1	\$0.00	\$0.00	\$0.00
Total				\$0.00	\$0.00	\$0.00

Apr 2024						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 2	T7Cert	Taser 7 Certification Bundle	60	\$50,695.24	\$0.00	\$50,695.24
Total				\$50,695.24	\$0.00	\$50,695.24

Apr 2025						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 3	T7Cert	Taser 7 Certification Bundle	60	\$50,695.24	\$0.00	\$50,695.24
Total				\$50,695.24	\$0.00	\$50,695.24

Apr 2026						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 4	T7Cert	Taser 7 Certification Bundle	60	\$50,695.24	\$0.00	\$50,695.24
Total				\$50,695.24	\$0.00	\$50,695.24

Apr 2027						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 5	T7Cert	Taser 7 Certification Bundle	60	\$50,695.24	\$0.00	\$50,695.24
Total				\$50,695.24	\$0.00	\$50,695.24

Tax is estimated based on rates applicable at date of quote and subject to change at time of invoicing. If a tax exemption certificate should be applied, please submit prior to invoicing.

Contract Sourcewell Contract #092722 is incorporated by reference into the terms and conditions of this Agreement. In the event of conflict the terms of Axon's Master Services and Purchasing Agreement shall govern.

Standard Terms and Conditions

Axon Enterprise Inc. Sales Terms and Conditions

Axon Master Services and Purchasing Agreement:

This Quote is limited to and conditional upon your acceptance of the provisions set forth herein and Axon's Master Services and Purchasing Agreement (posted at www.axon.com/legal/sales-terms-and-conditions), as well as the attached Statement of Work (SOW) for Axon Fleet and/or Axon Interview Room purchase, if applicable. In the event you and Axon have entered into a prior agreement to govern all future purchases, that agreement shall govern to the extent it includes the products and services being purchased and does not conflict with the Axon Customer Experience Improvement Program Appendix as described below.

ACEIP:

The Axon Customer Experience Improvement Program Appendix, which includes the sharing of de-identified segments of Agency Content with Axon to develop new products and improve your product experience (posted at www.axon.com/legal/sales-terms-and-conditions), is incorporated herein by reference. By signing below, you agree to the terms of the Axon Customer Experience Improvement Program.

Acceptance of Terms:

Any purchase order issued in response to this Quote is subject solely to the above referenced terms and conditions. By signing below, you represent that you are lawfully able to enter into contracts. If you are signing on behalf of an entity (including but not limited to the company, municipality, or government agency for whom you work), you represent to Axon that you have legal authority to bind that entity. If you do not have this authority, please do not sign this Quote.

Exceptions to Standard Terms and Conditions

Execution of this quote will terminate contracts associated with Q-253167 (executed contract #00027541) with Axon and will start a new 60 month contract.

Signature

3/14/2023

Date Signed





17800 N 85TH STREET
SCOTTSDALE, ARIZONA 85255

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1/29/2023

To: United States state, local and municipal law enforcement agencies

Re: Sole Source Letter for Axon Enterprise, Inc.'s TASER Energy Weapons

A sole source justification exists because the following goods and services required to satisfy the agency's needs are only manufactured and available for purchase from Axon Enterprise. Axon is also the sole distributor and retailer of all TASER brand products in the States of AL, AR, CA, CT, DE, FL, GA, HI, IA IL, IN, KS, KY, LA, MA, MD, ME, MI, MN, MO, MS, NC, ND, NE, NH, NJ, NY, OK, OR, PA, RI, SC, SD, TN, VA, VI, VT, WI, WV, and the District of Columbia and Guam.

TASER Energy Weapon Descriptions

TASER 10 Energy Weapon

- Multi-shot energy weapon
- Detachable magazine holding 10 TASER 10 Cartridges
- 45-foot (13.7-meter) range
- High-efficiency flashlight
- Green LASER sight
- Central Information Display (CID): Displays mission critical data such as remaining battery energy, burst time, and cartridge status.
- Weapon logs
- TASER Weapons Dock connected to Axon Evidence (Evidence.com) services
- Onboard self-diagnostic and system status monitoring and reporting
- Real-time clock updated when the battery pack is plugged into the TASER Weapons Dock
- Ambidextrous selector switch
- Can be configured by the agency to alert Axon camera systems
- The trigger activates a single cycle (approximately five seconds). Holding the trigger down will continue the discharge beyond the standard cycle (unless configured by the agency to stop at five seconds). The energy weapon cycle can be stopped by placing the safety switch in the down (SAFE) position.
- Compatible with TASER 10 Cartridges only

TASER 7 Energy Weapon

- Multiple-shot energy weapon
- High-efficiency flashlight
- Close Quarter and Standoff cartridges
- Green LASER and dual red LASERs that adjust for cartridge angle
- Arc switch enables drive-stun with or without a TASER 7 Cartridge installed
- Central Information Display (CID): Displays mission critical data such as remaining battery energy, burst time, and cartridge status.
- Weapon logs
- TASER Weapons Dock connected to Axon Evidence (Evidence.com) services
- Onboard self-diagnostic and system status monitoring and reporting
- Real-time clock updated when the battery pack is plugged into the TASER Weapons Dock
- Ambidextrous safety switch



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SCOTTSDALE, ARIZONA 85255

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- Can be configured by the agency to alert Axon camera systems
- The trigger activates a single cycle (approximately five seconds). Holding the trigger down will continue the discharge beyond the standard cycle (unless configured by the agency to stop at five seconds). The energy weapon cycle can be stopped by placing the safety switch in the down (SAFE) position.
- Compatible with TASER 7 Cartridges only

TASER 7 CQ Energy Weapon

- Multiple-shot energy weapon for agencies that deploy energy weapons mostly at close quarters (CQ)
- High-efficiency flashlight
- Close Quarter cartridges
- Arc switch enables drive-stun with or without a TASER 7 Cartridge installed
- Central Information Display (CID): Displays mission critical data such as remaining battery energy, burst time, and cartridge status.
- Weapon logs
- TASER Weapons Dock connected to Axon Evidence (Evidence.com) services
- Onboard self-diagnostic and system status monitoring and reporting
- Real-time clock updated when the battery pack is plugged into the TASER Weapons Dock
- Ambidextrous safety switch
- Can be configured by the agency to alert Axon camera systems
- The trigger activates a single cycle (approximately five seconds). Holding the trigger down will continue the discharge beyond the standard cycle (unless configured by the agency to stop at five seconds). The energy weapon cycle can be stopped by placing the safety switch in the down (SAFE) position.
- Compatible with 12-degree TASER 7 Cartridges only

X2 Energy Weapon

- Multiple-shot energy weapon
- High efficiency flashlight
- Static dual LASERs (used for target acquisition)
- ARC switch enables drive-stun with or without a Smart Cartridge installed
- Central Information Display (CID): Displays mission-critical data such as remaining battery energy, burst time, operating mode, and user menu to change settings and view data on a yellow-on-black display
- The Trilogy log system records information from a variety of sensors into three data logs: Event log, Pulse log, and Engineering log. Data can be downloaded using a universal serial bus (USB) data interface module connected to a personal computer (PC). Data may be transferred to Axon Evidence (Evidence.com) services.
- Real-time clock with back-up battery
- Onboard self-diagnostic and system status monitoring and reporting
- Ambidextrous safety switch
- Capable of audio/video recording with optional TASER CAM HD recorder
- The trigger activates a single cycle (approximately 5 seconds). Holding the trigger down will continue the discharge beyond the standard cycle (except when used with an APPM or TASER CAM HD AS). The energy weapon cycle can be stopped by placing the safety switch in the down (SAFE) position.



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SCOTTSDALE, ARIZONA 85255

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- Compatible with TASER Smart Cartridges only

X26P Energy Weapon

- High efficiency flashlight
- Red LASER (used for target acquisition)
- Central Information Display (CID): Displays data such as calculated remaining energy, burst time, and notifications
- The Trilogy log system records information from a variety of sensors into three data logs: Event log, Pulse log, and Engineering log. Data can be downloaded using a universal serial bus (USB) data interface module connected to a personal computer (PC). Data may be transferred to Axon Evidence (Evidence.com) services.
- Real-time clock with back-up battery
- Onboard self-diagnostic and system status monitoring and reporting
- Ambidextrous safety switch
- Capable of audio/video recording with optional TASER CAM HD recorder
- The trigger activates a single cycle (approximately five seconds). Holding the trigger down will continue the discharge beyond the standard cycle (except when used with an APPM or TASER CAM HD AS). The energy weapon cycle can be stopped by placing the safety switch in the down (SAFE) position.
- Compatible with TASER standard series cartridges

Axon Signal Performance Power Magazine (SPPM)

- Battery pack for the X2 and X26P energy weapons
- Shifting the safety switch from the down (SAFE) to the up (ARMED) positions sends a signal from the SPPM. Upon processing the signal, an Axon system equipped with Axon Signal technology transitions from the BUFFERING to EVENT mode.

TASER Brand Energy Weapon Model Numbers

1. Energy Weapons:
 - TASER 10 Models: 100390, 100391
 - TASER 7 Models: 20008, 20009, 20010, and 20011
 - TASER 7 CQ Models 20213, 20214
 - TASER X2 Models: 22002 and 22003
 - TASER X26P Models: 11002 and 11003
2. Optional Extended Warranties for energy weapons:
 - TASER 7 – 4-year extended warranty, item number 20040
 - X2 – 4-year extended warranty, item number 22014
 - X26P – 2-year extended warranty, item number 11008
 - X26P – 4-year extended warranty, item number 11004
3. TASER 10 Magazines
 - TASER 10 live duty magazine (black), item number 100393
 - TASER 10 Hook and Loop Training (HALT) magazine (blue), item number 100394
 - TASER 10 live training magazine (purple), item number 100395
 - TASER 10 inert training magazine (red), item number 100396
4. TASER 10 Cartridges (compatible with the TASER 10, required for this energy weapon to



17800 N 85TH STREET
SCOTTSDALE, ARIZONA 85255

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- function in the probe deployment mode)
 - TASER 10 live cartridge, item number 100399
 - TASER 10 HALT cartridge, item number 10400
 - TASER 10 inert cartridge, item number 100401
- 5. TASER 7 Cartridges (compatible with the TASER 7; required for this energy weapon to function in the probe deployment mode)
 - Standoff cartridge, 3.5 degrees, Model 22175
 - Close Quarter cartridge, 12 degrees, Model 22176
 - Hook and Loop Training (HALT) cartridge, 3.5 degrees, Model 22177
 - Hook and Loop Training (HALT) cartridge, 12 degrees, Model 22178
 - Inert cartridge, 3.5 degrees, Model 22179
 - Inert cartridge, 12 degrees, Model 22181
- 6. TASER standard cartridges (compatible with the X26P; required for this energy weapon to function in the probe deployment mode):
 - 15-foot Model: 22188
 - 21-foot Model: 22189
 - 21-foot non-conductive Model: 44205
 - 25-foot Model: 22190
- 7. TASER Smart cartridges (compatible with the X2; required for this energy weapon to function in the probe deployment mode):
 - 15-foot Model: 22184
 - 25-foot Model: 22185
 - 25-foot inert simulation Model: 22155
 - 25-foot non-conductive Model: 22157
- 8. Power Modules (Battery Packs) for TASER 7 and TASER 10 energy weapons:
 - Tactical battery pack Model 20018
 - Compact battery pack Model 22019
 - Non-Rechargeable battery pack Model 22020
 - Disconnect battery pack Model 20027
- 9. TASER CAM HD recorder Model: 26810 (full HD video and audio) and TASER CAM HD with AS (automatic shut-down feature) Model: 26820. The TASER CAM HD is compatible with both the X26P and X2 energy weapons.
 - TASER CAM HD replacement battery Model: 26764
 - TASER CAM HD Download Kit Model: 26762
 - TASER CAM HD optional 4-year extended warranty, item number 26763
- 10. Power Modules (Battery Packs) for X26P and X2 energy weapons:
 - Performance Power Magazine (PPM) Model: 22010
 - Tactical Performance Power Magazine (TPPM) Model: 22012
 - Automatic Shut-Down Performance Power Magazine (APPM) Model: 22011
 - eXtended Performance Power Magazine (XPPM) Model: 11010
 - eXtended Automatic Shut-Down Performance Power Magazine (XAPPM) Model: 11015
 - Axon Signal Performance Power Magazine (SPPM) Model: 70116



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11. TASER Weapons Dock, used with TASER 7 and TASER 10 battery packs:
 - TASER Weapons Dock Core and Multi-bay Module: 74200
 - TASER Weapons Dock Core and Single-bay Module: 74201
 - TASER Weapons Dock Single Bay Dataport: 74208
12. TASER Dataport Download Kits:
 - Dataport Download Kit for the X2 and X26P Model: 22013
13. TASER Blast Door Repair Kit Model 44019 and TASER Blast Door Replenishment Kit Model 44023
14. Energy Weapon Holsters:
 - Right-hand TASER 10 holster by Safariland Model: 100611
 - Left-hand TASER 10 holster by Safariland Model: 100613
 - Right-hand TASER 10 holster by Blade-Tech Model: 100614
 - Left-hand TASER 10 holster by Blade-Tech Model: 100615
 - Right-hand TASER 10 holster by BLACKHAWK Model: 100616
 - Left-hand TASER 10 holster by BLACKHAWK Model: 100617
 - Ambidextrous TASER 10 holster by So-Tech Model: 100621
 - Right-hand TASER 7 holster by Safariland Model: 20063
 - Left-hand TASER 7 holster by Safariland Model: 20068
 - Right-hand TASER 7 holster with cartridge carrier by Safariland Model: 20160
 - Left-hand TASER 7 holster by with cartridge carrier by Safariland Model: 20161
 - Right-Hand TASER 7 holster by BLACKHAWK Model: 20062
 - Left-Hand TASER 7 holster by BLACKHAWK Model: 20067
 - Right-hand X2 holster by BLACKHAWK Model: 22501
 - Left-hand X2 holster by BLACKHAWK Model: 22504
 - Right-hand X26P holster by BLACKHAWK Model: 11501
 - Left-hand X26P holster by BLACKHAWK Model: 11504
15. Enhanced HALT Suit Model: 100623
16. TASER Simulation Suit II Model: 44550
17. HALT Suit Model: 20050
18. TASER 7 conductive target Model: 80087
19. TASER 7 Target Frame Model: 80090

TASER 7 Warranties

1. Tactical Battery Pack Model 20041
2. TASER 7 Dock and Core Warranty Model: 20042
3. TASER 7 Single Bay Dock and Core Warranty Model: 20047



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SCOTTSDALE, ARIZONA 85255

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TASER Product Packages

1. **Officer Safety Plan:** Includes an X2 or X26P energy weapon, Axon camera and Dock upgrade, and Axon Evidence (Evidence.com) license and storage. See your Sales Representative for further details and Model numbers.
2. **Officer Safety Plan 7:** Includes a TASER 7 energy weapon, Axon Body 3 camera, Axon Dock, Axon Camera and Dock upgrade, Axon Evidence (Evidence.com) licenses and storage, Axon Aware, and Axon Records Core.
3. **Officer Safety Plan 7 Plus:** Includes a TASER 7 energy weapon, Axon Body 3 camera, Axon Evidence (Evidence.com) licenses and storage, Axon Records Core, Axon Aware +, Axon Auto-Tagging Services, Axon Performance, Axon Citizen for Communities, Axon Redaction Assistant, and Axon Signal Sidearm.
4. **Officer Safety Plan 7 Plus Premium:** Includes a TASER 7 energy weapon, Axon Body 3 camera, Axon Evidence (Evidence.com) licenses and storage, Axon Records Core, Axon Aware +, Axon Auto-Tagging Services, Axon Performance, Axon Citizen for Communities, Axon Redaction Assistant, Axon Signal Sidearm, Axon Auto-Transcribe, Axon VR Training, and unlimited first-party and unlimited third-party storage.
5. **TASER 7 Basic:** Pays for TASER 7 program in installments over 5 years including access to Axon Evidence services for energy weapon program management.
6. **TASER Assurance Plan (TAP):** Hardware extended warranty coverage, Spare Products, and Upgrade Models available for the X2 and X26P energy weapons, and the TASER CAM HD recorder. (The TAP is available only through Axon Enterprise, Inc.)
7. **TASER 7 Certification:** Pays for TASER 7 program in installments over 5 years including access to Evidence.com for energy weapon program management, annual training cartridges, unlimited duty cartridges and online training content.
8. **TASER Certification Add-On:** Allows the agency to pay an annual fee to receive an annual allotment of training cartridges, unlimited duty cartridges and online training content.
9. **TASER 7 Certification with Virtual Reality (VR):** Pays for the TASER 7 program in installments over 5 years including access to Evidence.com for energy weapon program management, annual training cartridges, unlimited duty cartridges, online training content, and VR training.
10. **TASER 60:** Pay for X2 and X26P energy weapons and Spare Products in installments over 5 years.
11. **Unlimited Cartridge Plan:** Allows agency pay an annual fee to receive annual training cartridges, unlimited duty cartridges and unlimited batteries for the X2 and X26P.
12. **TASER 60 Unlimited:** Pay for X2 and X26P energy weapons and Spare Products in installments over 5 years and receive unlimited cartridges and batteries.
13. **TASER 7 Close Quarters Dock Plan:** Pays for TASER 7 Close Quarters Plan over a 5-year period in installments including access to Evidence.com for energy weapon program



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SCOTTSDALE, ARIZONA 85255

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management, rechargeable batteries, annual cartridge shipments, unlimited duty cartridges, and access to online training.

- 14. **Axon Core:** Pays for the TASER 7 CQ, TASER Dock, weapon Axon Evidence license, training and duty cartridges, Axon Body 3 camera, Professional Axon Evidence license, unlimited storage, camera hardware upgrade every 2.5 years, Axon Respond, Axon Signal Sidearm, and auto tagging.
- 15. **Axon Core+:** Pays for the TASER 7 energy weapon, TASER Dock, weapon Axon Evidence license, training and duty cartridges, Axon Body 3 camera, Professional Axon Evidence license, unlimited storage, camera hardware upgrade every 2.5 years, Axon Respond, Axon Signal Sidearm, and auto tagging.
- 16. **Corrections Officer Safety Plan:** Includes a TASER 7 energy weapon, Axon Body 3 Camera, Axon Dock, Axon Camera and Dock Upgrade, Axon Evidence Licenses and unlimited Axon storage.
- 17. **Corrections Post OSP:** Includes one TASER 7 energy weapon for every two licenses, one Axon Body 3 Camera for every two licenses, Axon Dock, Axon Camera and Dock Upgrade, Axon Evidence Licenses and unlimited Axon storage for each license.

SOLE AUTHORIZED DISTRIBUTOR FOR TASER BRAND ENERGY WEAPON PRODUCTS	SOLE AUTHORIZED REPAIR FACILITY FOR TASER BRAND ENERGY WEAPON PRODUCTS
Choose an item.	
Axon Enterprise, Inc. 17800 N. 85th Street, Scottsdale, AZ 85255 Phone: 800-978-2737 Fax: 480-991-0791	Axon Enterprise, Inc. 17800 N. 85th Street, Scottsdale, AZ 85255 Phone: 800-978-2737 Fax: 480-991-0791

Please contact your local Axon sales representative or call us at 1-800-978-2737 with any questions.

Sincerely,

Josh Isner
Chief Operating Officer
Axon Enterprise, Inc.

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RESOLUTION NO. _____

A RESOLUTION TO AUTHORIZE THE AWARD OF A SOLE SOURCE CONTRACT FOR THE ACQUISITION OF TASERS

WHEREAS, the City of Forest Park (“City”) is a municipal corporation duly organized and existing under the laws of the State of Georgia and is charged with being fiscally responsible concerning the use and expenditure of all public funds;

WHEREAS, the City proposes to authorize the award of a sole source contract for the acquisition of Tasers; and

WHEREAS, Axon Enterprise, Inc. is the sole source provider;

THEREFORE, THE CITY COUNCIL OF THE CITY OF FOREST PARK HEREBY RESOLVES:

SECTION 1. Approval of Contract. The award of a sole source contract for the acquisition of Tasers as presented to the City Council on April 3, 2023 to Axon Enterprise, Inc. is hereby approved by the City Council.

SECTION 2. Public Record. This document shall be maintained as a public record by the City Clerk and shall be accessible to the public during all normal business hours of the City of Forest Park.

SECTION 3. Authorization of Execution. The Mayor is hereby authorized to sign all documents, including the contract with such changes and modifications as recommended by the City Attorney, necessary to effectuate this Resolution.

SECTION 4. Attestation. The City Clerk is authorized to execute, attest to, and seal any documents which may be necessary to effectuate this Resolution, subject to approval as to form by the City Attorney.

SECTION 5. Effective Date. This resolution shall become effective immediately upon its adoption by the Mayor and City Council of the City of Forest Park as provided in the City Charter.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

SO RESOLVED this 3rd day of April, 2023.

Mayor Angelyne Butler

ATTEST:

City Clerk (SEAL)

APPROVED AS TO FORM:

City Attorney

File Attachments for Item:**2. Council Discussion on Approving the Removal and Installation of equipment on self-support tower** - Planning & Com. Dev.**Background/History:**

Authorization of the City Council to approve a Conditional Use Permit to allow AT&T and its authorized agent, Providence Real Estate Consulting, to remove and install antennas, modules and cabling on an existing cell tower located at 66 Barnett Road. The applicant has housed cell technology equipment on the existing tower for several years. The Planning Commission recommended approval at its March 16, 2023 meeting.



CITY OF
FORESTPARK

City Council Agenda Item

Subject: Council Discussion on Approving the Removal and Installation of equipment on self-support tower - Planning & Com. Dev.

Submitted By: LaShawn Gardiner

Date Submitted: March 20, 2023

Work Session Date: April 3, 2023

Council Meeting Date: April 3, 2023

Background/History:

AT&T and its authorized agent, Providence Real Estate Consulting, are requesting a Conditional Use Permit to remove and install antennas, modules and cabling on an existing cell tower located at 66 Barnett Road. The applicant has housed cell technology equipment on the existing tower for several years.

Cost: \$ 0.00

Budgeted for: _____ Yes _____ No

Financial Impact: N/A

Action Requested from Council:

Approval of the CUP



Planning & Community Development Department
785 Forest Parkway
Forest Park, Georgia 30297
(404) 608-2300 Fax: (404) 608-2306

Staff Report

Planning Commission Meeting: March 16, 2023

City Council Meeting: April 3, 2023

Case: CUP-2023-02

Current Zoning: LI- Light Industrial

Proposed Request: Conditional Use Permit to remove and install equipment on an existing self-support tower

Staff Report Compiled By: LaShawn Gardiner

Staff Recommendation: Approval of Conditional Use Permit

APPLICANT INFORMATION

Owner of Record: Georgia Power Company	Applicant: Amanda Street
Name: AT&T	Name: Providence Real Estate Consulting
Address: 66 Barnett Road	Address: 4440 Tuck Rd.
City/State: Forest Park, GA 30297	City/State: Loganville, GA 30052

PROPERTY INFORMATION

Parcel Number: 13052C A001	Acreage: 0.14 +/-
Address: 66 Barnett Rd., Forest Park, GA 30297	FLU: Industrial

SUMMARY & BACKGROUND

The applicant, AT&T, and its authorized agent Providence Real Estate Consulting is requesting a Conditional Use Permit to remove 6 antennas, 6 TMAS, 3 RRUS, 3 A2 modules, and 1 cable. Upon removal of the current equipment, the applicant will install 9 antennas, 3 RRUs, 3 cables and 1 DC9 on the existing self-support tower. The applicant has housed equipment on the existing tower for several years which is approximately 180 feet.

Per Section 8-10-10, location of an antenna on an existing building, structure, or telecommunication facility may be issued to erect, repair, construct, relocate or maintain an antenna on an existing building, structure, tower, or monopole within the city provided that:

- (1) The existing building, structure, tower or monopole is fifty (50) feet in height or greater;

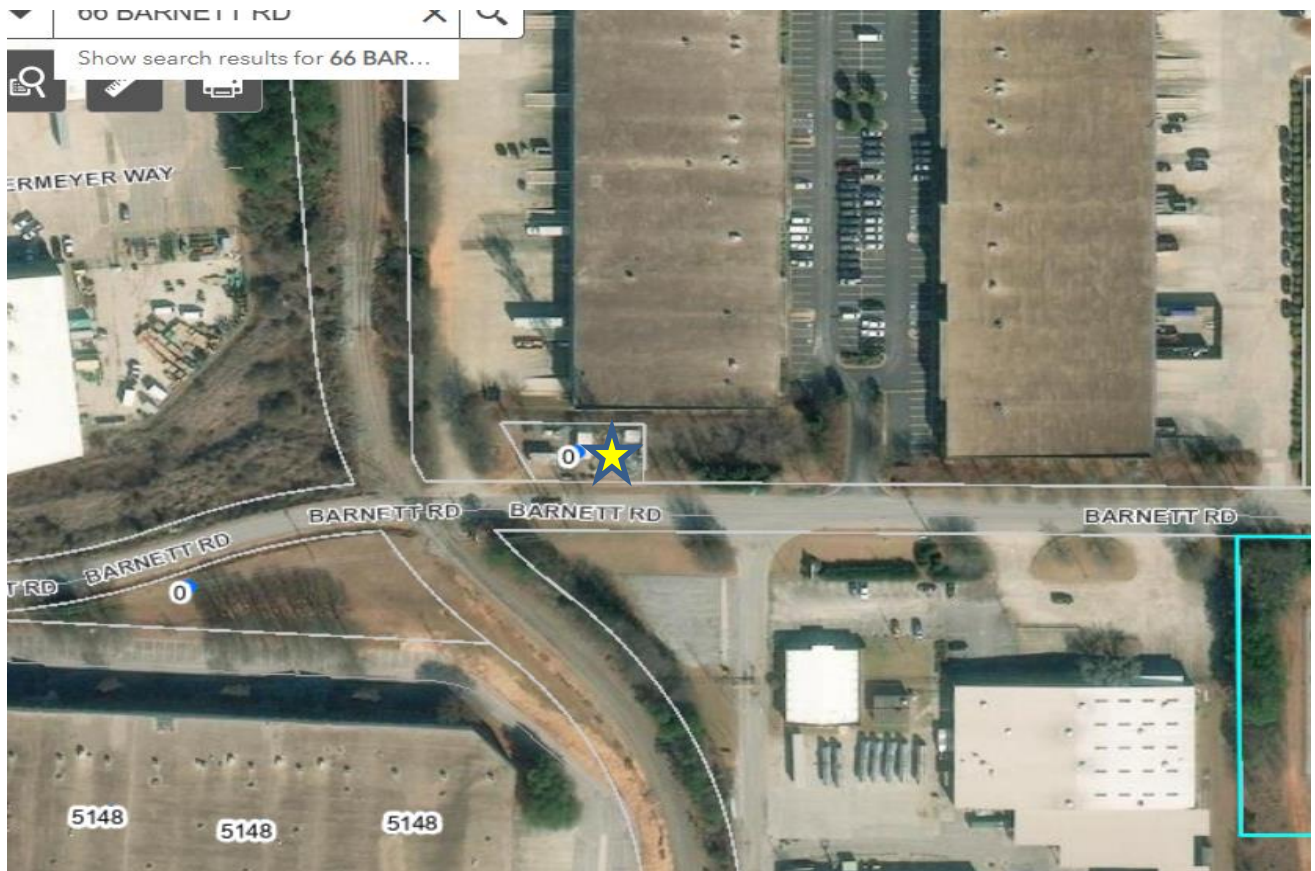
- (2) If an antenna is installed on an existing building or structure other than a tower, such antenna adds no more than twenty (20) feet to the height of the existing building or structure.
- (3) No advertising is permitted on the antenna or telecommunication facility;
- (4) If an antenna is installed on a structure or building other than a tower, the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure or building so as to make the antenna and related equipment as visually unobtrusive as possible;
- (5) If an antenna is installed on an existing tower of any height, such antenna adds no more than twenty (20) feet to the height of said existing tower;
- (6) The antenna is not artificially lighted unless required by the FAA, FCC, or other state or federal agency of competent jurisdiction for safety purposes. Where required, the building inspector shall review available lighting alternatives and approve the design which would cause the least disturbance to the surrounding views.
- (7) The antenna meets or exceeds current standards and regulations of the FAA, the FCC or such governing agency with the authority to regulate telecommunication towers and antennas. If such standards and regulations are changed then the owner of the antenna shall bring such antenna into compliance with any revised standards and regulations within six (6) months of the effective date of such standards and regulations, unless a more stringent compliance schedule is mandated by the controlling agency. Failure to comply with this provision shall be grounds for the city to require removal or re-permitting of the antenna at the owner's expense;
- (8) The antenna complies with all current safety, design, structural, and wind loading standards of applicable building and technical codes adopted by the city, so as not to endanger the health and safety of residents;
- (9) The antenna is equipped with an anti-climbing device to prevent unauthorized access;
- (10) The antenna is set back from any adjoining residentially zoned property a minimum distance of two hundred (200) feet, as measured from the side of the existing building or structure which is closest to or facing the adjacent residential property to the boundary of a residentially zoned lot; and
- (11) The antenna is set back from all property lines a distance of fifty (50) feet.

Property Zoned Light Industrial (LI)

ZONING CLASSIFICATIONS OF CONTIGUOUS PROPERTIES

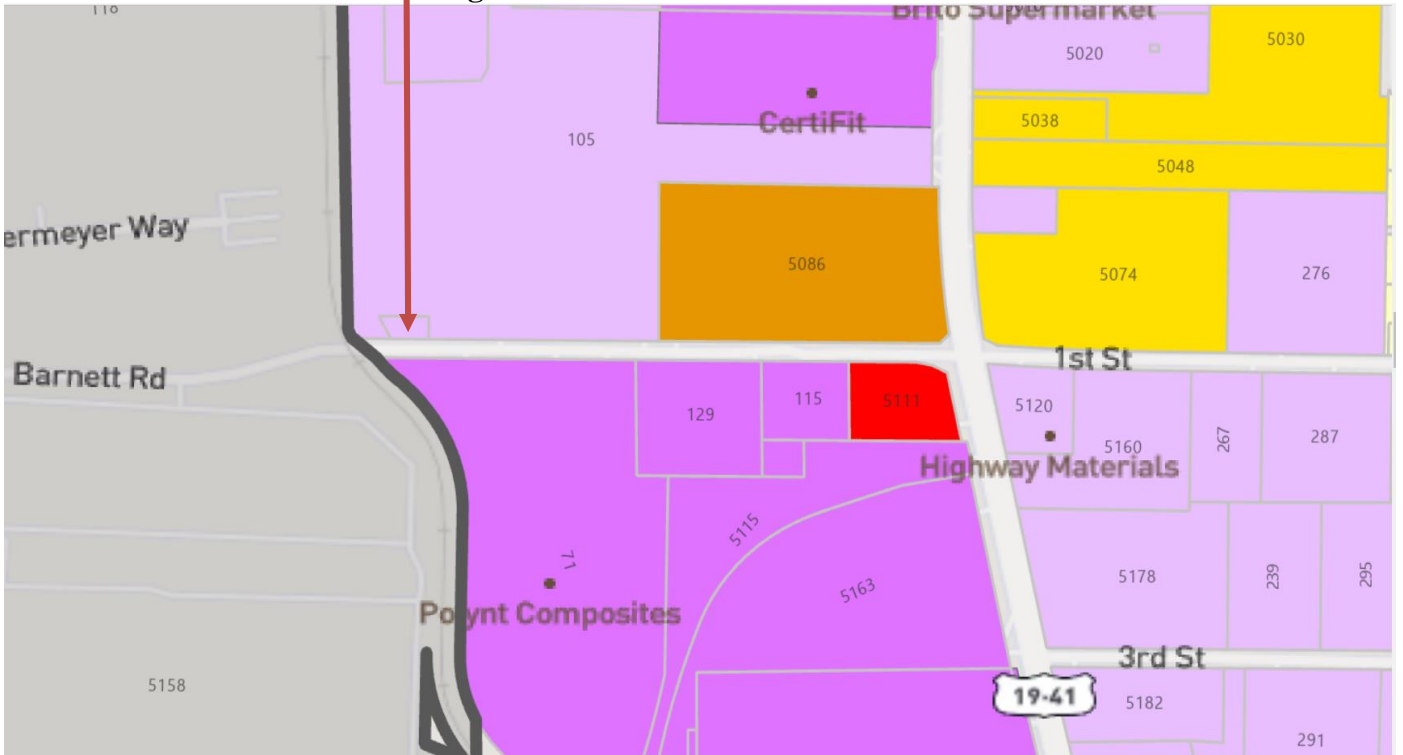
Direction	Zoning & Use	Direction	Zoning & Use
North	Light Industrial- Logistics/Administrative Buildings	East	Light Industrial - Logistics/Administrative Building
South	Planned Industrial- PCCR USA Plastics and Resins Plant	West	Light Industrial & Unincorporated Clayton County

AERIAL MAP



ZONING MAP

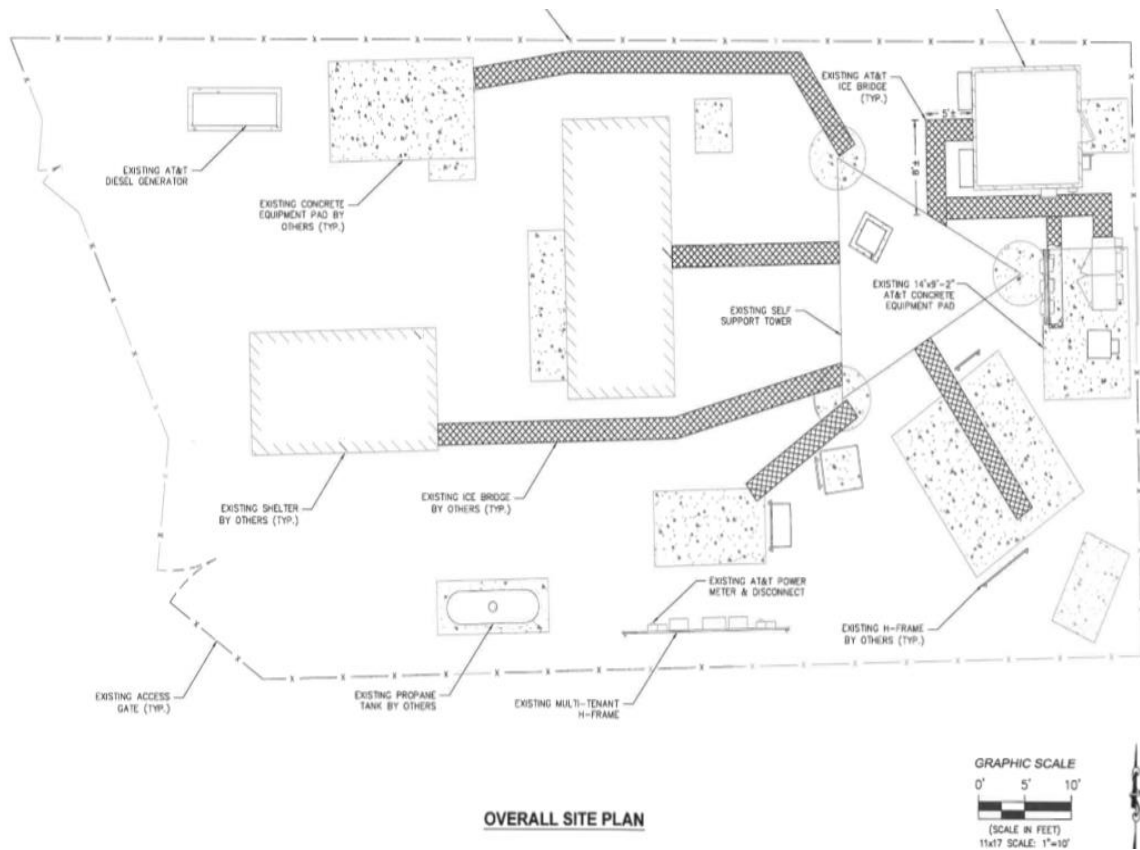
66 Barnett Rd. – Light Industrial



SITE PHOTO



SITE PLAN



ZONING CRITERIA AND ANALYSIS

1. **Would the proposed amendment be consistent and compatible with the City's land use and development, plans, goals, and objectives?** The proposed use is compatible and consistent with the City's land use and development goals and objectives.
2. **Would the proposed amendment tend to increase, to decrease, or to have no impact on traffic safety and congestion in the streets?** The proposal will not cause a significant impact on the transportation infrastructure.
3. **Would the proposed amendment tend to increase, to decrease, or to have no relationship to safety from fire and other dangers?** The proposed use will have no impact on community facilities.
4. **Would the proposed amendment tend to promote, to diminish, or to have no influence on the public health and general welfare of the City?** The proposed

request to remove and replace equipment does not appear to be a detriment to the public health, safety, morals, or general welfare if the Conditional Use Permit is granted.

5. **Would the proposed amendment tend to increase, to decrease or to have no influence on the adequacy of light and air?** No impact on light and air quality.
6. **Would the proposed amendment tend to cause, to prevent, or to have no influence on the overcrowding of land?** No.
7. **Would the proposed amendment tend to cause, to prevent, or to have no relationship on the population distribution within the city, thus creating any area so dense in population as to adversely affect the health, safety, and general welfare of the city?** The proposed use will not increase the population or density as to adversely affect the health, safety, and general welfare of the City.
8. **Would the proposed amendment tend to impede, to facilitate, or to have no impact on the adequate provision of transportation, water, sewerage, other public services, utilities, or facilities?** The proposed use will not cause any impact on the water/sewer and other utilities or other public services.
9. **Would the proposed amendment tend to be compatible with environmental conditions in light of surrounding developments? If compatible, what factors, if any, would diminish the value, use and enjoyment of surrounding properties?** The subject property value has no existing zoning restriction that would diminish the value and enjoyment of surrounding properties.
10. **Would the proposed amendment tend to promote, to diminish, or to have no influence upon the aesthetic effect of existing and future uses of the property and the surrounding area?** Granting a Conditional Use Permit would not diminish or have no influence upon the aesthetic effect of existing the future uses of the property and surrounding area.
11. **Would the proposed amendment have measurable adverse economic effect on the value of surrounding or adjacent property?** The use appears suitable for the nearby properties. There is no indication of any potential detrimental causes that would decrease the property value of surrounding or adjacent property.
12. **Would the proposed amendment create an isolated district unrelated to adjacent and nearby districts?** The Conditional Use Permit would not create an isolated district.

STAFF RECOMMENDATION

Staff recommends **APPROVAL OF A CONDITIONAL USE PERMIT** to allow the removal and installation of equipment on an existing self-support tower in a Light Industrial (LI) zoned district.

CUP-2023-02

**City of Forest Park, GEORGIA 30297
CONDITIONAL USE PERMIT
TELECOMMUNICATION TOWERS AND ANTENNAS**

Land Owner: GEORGIA POWER CO	Contractor: ANSCO & ASSOCIATES LLC
Address: 241 RALPH MCGILL BLVD NE	Address: 5250 TRIANGLE PKWY STE 175
City/State/Zip: ATLANTA GA 30308	City/State/Zip: NORCROSS GA 30092
Telephone:	Telephone: 404.508.5700

“Section 8-10-9 Zoning requirements for location of telecommunication towers, antennas, and monopole towers.

“No conditional use permit to construct a tower or monopole or to locate an antenna on an existing building, structure, tower, or monopole shall be issued unless the location has been zoned industrial under the zoning laws of the city.”

Site Zoning Classification: _____

Site Zoning Approval: APPROVED NOT APPROVED

Address / Tax ID No.: 66 BARNETT ROAD / 13052C A001

Structure Type: Antenna _____ Tower _____ Monopole _____ SELF SUPPORT TOWER

Existing: _____ **Proposed:** _____

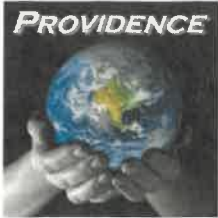
Complies with CFPCO Section 8-10-4 Contents of Applications for Conditional Use Permits General Information required for all applicants. Yes No

Plans / Specifications Reviewed By Building Inspector:
 Approved Not Approved

“Section 8-10-10 Location of antenna on an existing building, structure, or telecommunication facility.

“A conditional use permit may be issued to erect, repair, construct, relocate or maintain an antenna on an existing building, structure, tower or monopole within the city provided:

- The existing building, structure, tower or monopole is fifty (50) feet in height or greater;
Complies: Yes No
- If an antenna is installed on an existing building or structure other than a tower, such antenna adds no more than twenty (20) feet to the height of the existing building or structure;
Complies: Yes No
- No advertising is permitted on the antenna or telecommunication facility;
Complies: Yes No
- If an antenna is installed on a structure or building other than a tower, the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure or building so as to make the antenna and related equipment as visually unobtrusive as possible;
Complies: Yes No Not Applicable
- If an antenna is installed on an existing tower of any height, such antenna adds no more than twenty (20) feet to the height of said existing tower;
Complies: Yes No
- The antenna is not artificially lighted unless required by the FAA, FCC, or other state or federal agency of competent jurisdiction for safety purposes. Where required the building inspector shall review available lighting alternatives and approve the design which would cause the least disturbance to the surrounding views.



PROVIDENCE
REAL ESTATE CONSULTING, INC.
Integrity ♦ Commitment ♦ Quality

Scope of Work

January 13, 2023

Site#: GA3146 – 66 Barnett Rd, Forest Park, GA 30297

FA#: 10022477

RE: Scope of Work

Explanation: AT&T is proposing to remove (6) ANTENNAS (6) TMAs (3) RRUs (3) A2 MODULES and (1) CABLE and install (9) ANTENNAS (3) RRUs (3) CABLEs and (1) DC9 on an existing SELF SUPPORT TOWER

The cost of construction will be \$30,000.

The contractor will be AnSCO & Associates.

There is no new electrical.

Thank you

Amanda Street
Zoning and Permitting Agent
678)985-2474
Amanda.street@providenceconsulting.net

PARCEL NUMBER: 13052C A001



DEPARTMENT	NAME/SIGNATURE	DATE
LAND OWNER/TOWER OWNER		
SITE ACQUISITION		
ZONING/PERMITTING		
FAE MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		



AT&T

AT&T SITE NAME
FARM FARMER'S MARKET
AT&T SITE NUMBER

GA3146
FA LOCATION CODE
10022477

SITE ADDRESS
66 BARNETT ROAD
FOREST PARK, GA 30297

LTE C-BAND/5G NR/BBU ADD



CAUTION
 THE STATE OF GEORGIA HAS A RECORDING ACT. ANY CONTRACTS, AGREEMENTS, OR OTHER DOCUMENTS THAT ARE REQUIRED TO BE FILED WITH THE STATE OF GEORGIA MUST BE FILED WITH THE STATE OF GEORGIA. FOR EMERGENCIES CALL: 811

REDS NOTES
 THESE CONSTRUCTION DRAWINGS ARE BASED ON THE DATA SHEET (RFD) GA3146, RFD 08.11.22. CONTRACTOR SHALL CONFER WITH AT&T THAT THIS IS THE LATEST RFD PRIOR TO CONSTRUCTION.

PROJECT SUMMARY
 AT&T IS PROPOSING TO REMOVE (6) ANTENNAS, (6) ANTENNA MOUNTS, (3) RAYS, (3) MOUNTS, AND (1) CABLE AND (2) DCS ON AN EXISTING SELF-SUPPORT TOWER WITHIN AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY.

PERMITS:
 200 NORTH POINT PARKWAY
 ALPHARETTA, GA 30005
 TEL: (770) 330-4576

TOWER OWNER:
 FOREST PARK (BARNETT ROAD)

SITE NAME: FOREST PARK (BARNETT ROAD)

SITE NUMBER: 87043

PROJECT NUMBER: 10022477

TEL: (877) 486-3277

RECENTLY OWNED:
 144 DEPT. BMT 1070
 241 RALPH MOORE BLVD NE
 ATLANTA, GA 30308

CONTACTS:

SHEET DESCRIPTION	REV
1-1 COVER SHEET	0
1-2 GENERAL NOTES	0
1-3 SITE SURVEY	0
1-4 OVERALL SITE PLAN	0
C-1 PROPOSED EQUIPMENT PLAN	0
C-2 TOWER ELEVATION	0
C-31 ANTENNA ORIENTATION & ANTENNA & EQUIPMENT SCHEDULE	0
C-32 EQUIPMENT DETAILS	0
C-5 RF REQUIREMENTS	0
C-6 PLUMBING DIAGRAM	0
C-51 C-BAND/5G NR PLUMBING DIAGRAM	0
C-6 RAYTRACE MOUNTING DETAILS	0
E-1 ABBERATIONS, ELECTRICAL, GROUNDING NOTES, & WELD DETAILS	0
E-2 TYPICAL ANTENNA SCHEDULE AND GROUNDING DIAGRAM	0
S-1 MOUNT MODIFICATION	0
SHEET INDEX	0

PROJECT DATA:
 SITE NAME: FARM FARMER'S MARKET
 SITE NUMBER: GA3146
 FA LOCATION CODE: 10022477
 SITE ADDRESS: 66 BARNETT ROAD
 FOREST PARK, GA 30297
 CLAYTON COUNTY
 CLAYTON COUNTY

DATE:
 01/12/23

DESIGN DATA:
 LATITUDE: 33° 36' 56.30" NORTH
 LONGITUDE: 84° 25' 39.57" WEST
 EXISTING TOWER TYPE: SELF-SUPPORT TOWER
 EXISTING TOWER HEIGHT: 180 FT. (AB)
 ANTENNA ROAD CENTER: 170 FT. (AB)

ULTIMATE WIND SPEED: NOT APPLICABLE
EXPOSURE CATEGORY: B
RISK CATEGORY: B

ALL CONSTRUCTION SPECIFIED ON DOCUMENTS SUBMITTED FOR BUILDING PERMIT SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.

CONSTRUCTION CODES:
 1) INTERNATIONAL BUILDING CODE: 2018 EDITION WITH 2020 & 2022 GEORGIA AMENDMENTS
 2) INTERNATIONAL FIRE CODE: 2018 EDITION
 3) INTERNATIONAL MECHANICAL CODE: 2018 EDITION WITH 2020 GEORGIA AMENDMENTS
 4) NFPA NATIONAL ELECTRIC CODE: 2020 EDITION WITH 2021 GEORGIA AMENDMENTS
 5) NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B: 2019 EDITION WITH 2020 & 2022 GEORGIA AMENDMENTS
 6) GEORGIA EROSION AND SEDIMENTATION ACT OF 1975, THIRD EDITION, 1992
 7) STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA-222-B)

PROJECT DATA

FORESITE

Providence Group, LLC
 1770 Lakeview
 Suite 100
 Marietta, GA 30067
 (770) 585-2114

PROJECT MANAGER:

PROVIDENCE

REGULATORY CONSULTING, INC.
 4440 Just Road, Loganville, GA 30022
 (770) 865-2114



PROJECT:
FARM FARMER'S MARKET
GA3146

LOCATION:
 66 BARNETT ROAD
 FOREST PARK, GA 30297

DEVELOPER:

ISSUED FOR:	PERMIT/CONSTRUCTION
PROJECT MANAGER:	BTJ
DATE:	01/12/23
SHEET NUMBER:	1-1
COUNT SHEETS:	1-1
COVER SHEET:	1-1
DATE:	01/12/23
PROJECT NUMBER:	10022477
DATE:	01/12/23
PROJECT MANAGER:	BTJ
DATE:	01/12/23
SHEET NUMBER:	1-1
COUNT SHEETS:	1-1
COVER SHEET:	1-1
DATE:	01/12/23
PROJECT NUMBER:	10022477
DATE:	01/12/23
PROJECT MANAGER:	BTJ
DATE:	01/12/23

CWP-2023-12

GENERAL NOTES

1. ALL REFERENCES TO OWNER HEREIN SHALL BE CONSIDERED TO MEAN AT&T'S DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTRACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF LOCATION IS UNDETERMINED, FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL 811.
3. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
5. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EXISTING CONDITIONS AND TO REQUEST TO THE ENGINEER TO VISIT THE STRUCTURE AND ITS COMPONENT PARTS DURING SECTION OF AND/OR FIELD ADJUSTMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHETHER TEMPORARY BRACING, GUYS OR THE DOWNING THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
6. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE TESTING AGENCY PRIOR TO BEGINNING ANY MATERIALS ORDERING. FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT OR DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND FOR THE PROTECTION OF THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
7. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY. FREE FROM FLAWS AND DEFECTS AND IN SUBSTITUTION MUST BE COMPARE DOCUMENTS, AND ALL IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLETES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
10. ALL PROPOSED CELLULAR EQUIPMENT AND PERMITS SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITIES, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE PRESENT LEASING AGENT FOR APPROVAL.
12. REBARRATED BUILDING INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

ASSUMES SOLE RESPONSIBILITY

FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTRACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF LOCATION IS UNDETERMINED, FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL 811.

STRUCTURAL STEEL NOTES

1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE ALLOWABLE STRESS DESIGN AND STRUCTURAL STEEL BUILDINGS - COMMENTARY AND THE A.I.S.C. CODE OF STANDARD PRACTICE.
2. STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36. ALL STRUCTURAL STEEL SHALL BE GALVANIZED TO FULL ASTM A550 GRADE B. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
3. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D-1.01/14:2010. STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.
4. ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
5. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS.
6. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
7. HOT-DIP GALVANIZED ITEMS SPECIFIED TO BE ZINC-COATED, AFTER FABRICATION WHERE PRACTICAL. GALVANIZING: ASTM A 123, ASTM A 153/A 153M OR ASTM A 653/A 653M, 90.45 APPLICABLE.
8. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A 780 OR BY APPLICATION OF SIKO OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED, AND REPAIR SHALL BE FROM WELDS. WELD SURFACES TO WHICH SIKO OR REPAIR SHALL BE APPLIED SHALL BE REPAIRED. A PASTE REPAIR IS APPROPRIATE TO FILL THE DETAILS IN SIKO OR REPAIR WELD OFF EXCESS MATERIAL.
9. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE MANUFACTURER'S SPECIFICATIONS ARE STRIPER.
10. ALL THROUGH STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLY SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8" DIA. BEARING TYPE CONNECTIONS WITH THREADS EXCLUDED FROM THE PLATE. ALL EXPOSED FASTENERS, NUTS, AND WASHERS SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.

REPAIR DAMAGED SURFACES

WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A 780 OR BY APPLICATION OF SIKO OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED, AND REPAIR SHALL BE FROM WELDS. WELD SURFACES TO WHICH SIKO OR REPAIR SHALL BE APPLIED SHALL BE REPAIRED. A PASTE REPAIR IS APPROPRIATE TO FILL THE DETAILS IN SIKO OR REPAIR WELD OFF EXCESS MATERIAL.

CONCRETE NOTES

1. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
2. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS.
3. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS TO BE A MIN. OF 90 DEGREES.
4. FOR GROUNDING TO BUILDING FRAME AND HATCH PLATE GROUND BARS, USE A TWO-BOLT HOLE NEPA DRILLED CONNECTOR SUCH AS TAB 32007 OR APPROVED EQUAL.
5. FOR ALL EXTERNAL GROUND CONNECTIONS, CLAMPS AND CABLES, APPLY A LIBERAL PROTECTIVE COATING OR AN ANTI-OXIDE COMPOUND SUCH AS "NO-CORDE A" BY DEARBORN CHEMICAL COMPANY.
6. THE CONTRACTOR SHALL REMOVE (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SATISFACTORY FOR SURGRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REMOVING, REMAINS UNSATISFACTORY THEN THE CONTRACTOR SHALL UNDERGO THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SURGRADES SHALL BE PROTECTED WITH A FULLY LOADED TAMPED SALT DOME UNDERLAYER TO FURNISH ANY SOFT MATERIAL SHALL BE REMOVED OR REPLACED.
7. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PILES, AND OTHER STRUCTURES WHICH ARE NEAR OR IN CONTACT WITH THE WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
8. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

GENERAL NOTES

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FORESITE

Geoplot Group, LLC
 3702 Domino Ct. #1700
 Raleigh, NC 27604
 919.724.1399
 919.724.1394

PROVIDENCE

4407 Tuck Road, Loveland, CA 95023
 (970) 982-2474

REGISTERED

GEORGIA REGISTERED PROFESSIONAL ENGINEER

01/12/2023

FARM FARMER'S MARKET

GA3146

AT&T

DEVELOPER: AT&T

DESIGNER: PERMIT/CONSTRUCTION

PROJECT MANAGER: JIC

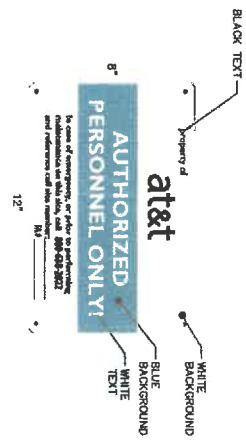
DRAWING BY: JIC

DATE: 07/12/23

TITLE: GENERAL NOTES

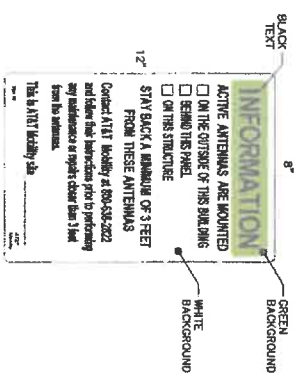
SHEET NUMBER: T-2

JOB/FILE NUMBER: 485.021



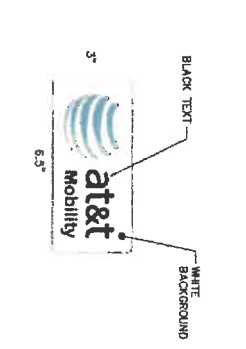
WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING MOUNTING LOCATION: SHELTER OR TOWER IMPROVEMENT ROOM DOOR. IF SHELTER OR TOWER IMPROVEMENT ROOM DOOR IS NOT AVAILABLE, PLACE ON CABINET CROSSIT QUANTITY: 1 TO 2

1 PROPERTY OF AT&T
 NOT TO SCALE



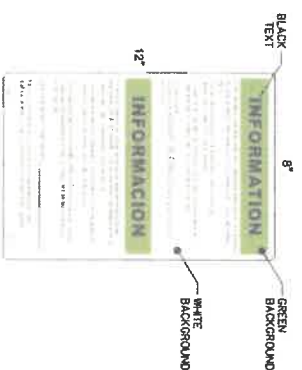
WHITE/GREEN BACKGROUND, BLACK LETTERING MOUNTING LOCATION: GATE & BASE OF TOWER QUANTITY: 2

2 AT&T IDENTIFICATION SIGN
 NOT TO SCALE



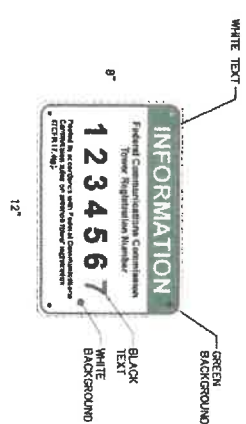
WHITE BACKGROUND, BLACK LETTERING MOUNTING LOCATION: OUTDOOR EQUIPMENT CABINET AND GENERATOR QUANTITY: 1 PER CABINET OR GENERATOR

3 FCC REGISTRATION SIGN
 NOT TO SCALE



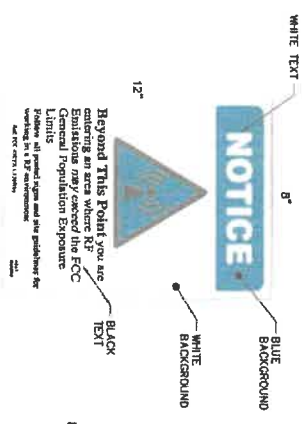
WHITE/GREEN BACKGROUND, BLACK LETTERING MOUNTING LOCATION: GATE & BASE OF TOWER QUANTITY: 2

4 AT&T IDENTIFICATION SIGN
 NOT TO SCALE



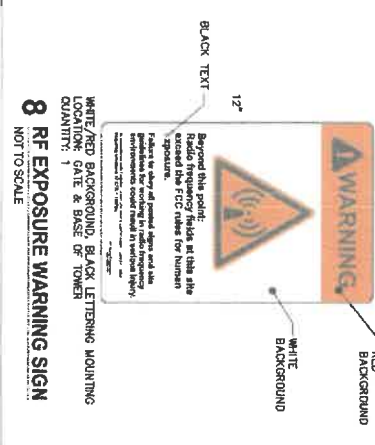
WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING MOUNTING LOCATION: GATE & BASE OF TOWER QUANTITY: 2

5 RF EXPOSURE INFORMATION SIGN
 NOT TO SCALE



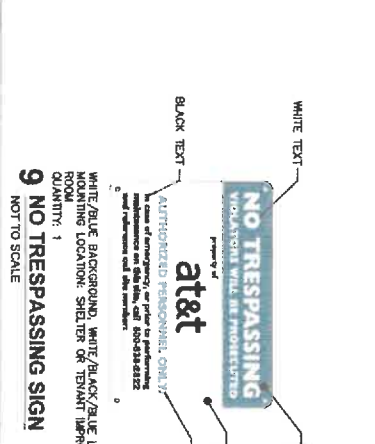
WHITE/BLUE BACKGROUND, BLACK/WHITE LETTERING MOUNTING LOCATION: GATE & BASE OF TOWER QUANTITY: 1

6 RF EXPOSURE NOTICE SIGN
 NOT TO SCALE



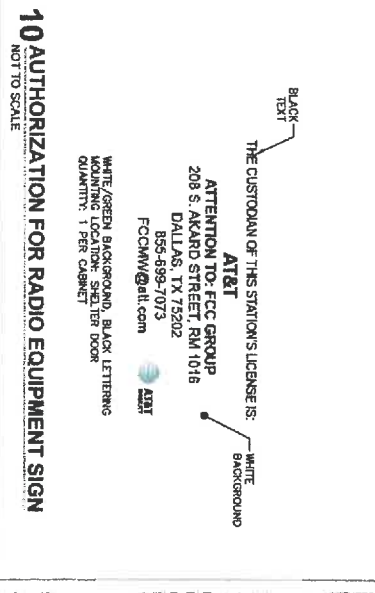
Beyond this point, Radio Frequency fields at this site exceed the FCC limits for human exposure. Please do not stand near and do not touch the antenna. Thank you for your cooperation.

7 RF EXPOSURE CAUTION SIGN
 NOT TO SCALE



WHITE/BLUE BACKGROUND, WHITE/BLACK/BLUE LETTERING MOUNTING LOCATION: SHELTER OR TOWER IMPROVEMENT QUANTITY: 1

8 RF EXPOSURE WARNING SIGN
 NOT TO SCALE



WHITE/GREEN BACKGROUND, BLACK LETTERING MOUNTING LOCATION: SHELTER DOOR QUANTITY: 1 PER CABINET

10 AUTHORIZATION FOR RADIO EQUIPMENT SIGN
 NOT TO SCALE

NOTES

- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATING.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE. HOOD NUTS (FENCED OR BRACKET) WHERE METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
- ADDITIONAL EQUIPMENT & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT ACCESS ROAD, EACH SIDE OF THE ROAD LEADING TO THE COMPOUND, AS WELL AS ON THE COMPOUND GATE TRIPLE ARROWS IF ACCESS ROAD HAS TURN.
- AT&T SITE & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON ADHESIVE. TWO SIDES SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SET.
- SIGNS NEED NOT BE PLACED IF APPROPRIATE AND APPROPRIATE SIGNAGE ALREADY EXISTS.
- REFER TO G&E MOBILITY AREA SUPPLEMENT DATED 09/21/2014 FOR ADDITIONAL DETAILS.

FORESITE
 4440 Deer Field Lane, Laguna Hills, CA 90603
 (714) 865-2914

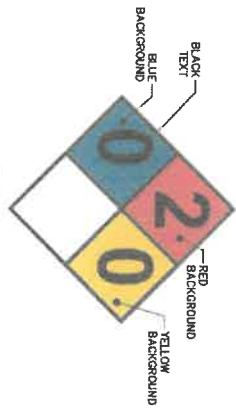
PROVIDENCE
 REAL ESTATE CONSULTING, INC.
 Integrity & Commitment & Quality



PROJECT: FARM FARMER'S MARKET GA3146
 LOCATION: 46 S. AKARD STREET, FARM FARMER'S MARKET, FARM FARMER'S MARKET, CA 90603
 DEVELOPER: AT&T

ISSUED FOR: PERMIT/CONSTRUCTION
 PROJECT MANAGER: BLV
 DRAWING BY: JIC
 DATE: 01/12/23
 TITLE: SITE SIGNAGE
 SHEET NUMBER: T-3
 JOB/FILE NUMBER: 485.021

AT&T ABOVE GROUND FUEL STORAGE SYSTEMS SIGNS AND LABELING REQUIREMENTS



1 HAZARDOUS MATERIAL
NOT TO SCALE

REFERENCES:
NFPA 704
NFPA 3020A
NFPA 30
NFPA 30B
NFPA 30C
NFPA 30D
NFPA 30E
NFPA 30F
NFPA 30G
NFPA 30H
NFPA 30I
NFPA 30J
NFPA 30K
NFPA 30L
NFPA 30M
NFPA 30N
NFPA 30O
NFPA 30P
NFPA 30Q
NFPA 30R
NFPA 30S
NFPA 30T
NFPA 30U
NFPA 30V
NFPA 30W
NFPA 30X
NFPA 30Y
NFPA 30Z

QUANTITY: 1
MOUNTING LOCATION: FUEL STORAGE TANK / GENERATOR

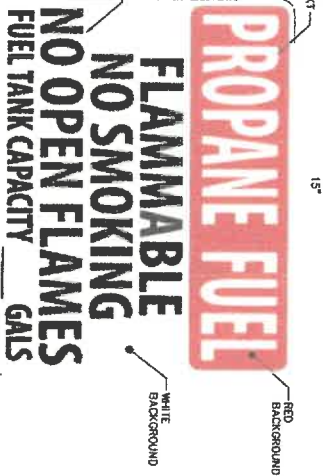
4 COMBUSTIBLE SIGN
NOT TO SCALE

WHITE /RED BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: DIESEL GENERATOR
QUANTITY: 1



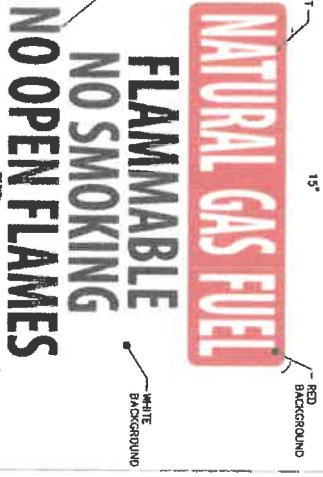
5 COMBUSTIBLE SIGN
NOT TO SCALE

WHITE /RED BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: PROPANE GENERATOR
QUANTITY: 1



6 COMBUSTIBLE SIGN
NOT TO SCALE

WHITE /RED BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: NATURAL GAS GENERATOR
QUANTITY: 1



2 EMERGENCY SIGN
NOT TO SCALE

YELLOW BACKGROUND, BLACK LETTERING MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 1



3 E911 ADDRESS SIGN
NOT TO SCALE

THE NUMBERS SHALL NOT BE LESS THAN FOUR INCHES IN HEIGHT AND SHALL BE DARKER AND CLEARLY VISIBLE. IN THE EVENT OF AN EMERGENCY, THE NUMBERS SHALL BE PLACED IMMEDIATELY AND PLAINLY IDENTIFIED FROM THE STREET WHEN GATE IS OPENED.

- SIGNAGE NOTES:**
- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATING.
 - SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWERS, GATE & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE. HOG RINGS (FENCED OR BRACKETED), WIRE RINGS (FENCED OR BRACKETED), WIRE MESH (FENCED OR BRACKETED), WIRE MESH METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
 - ADDITIONAL E911 ADDRESS & FOG REGISTRATION SIGNS SHALL BE MOUNTED AT ACCESS POINTS EACH AS WELL AS ON THE COMPOUND GATE ITSELF. SIGNS TO BE PLACED AS NOTED WITH DIRECTIONAL ARROWS & ACCESS ROAD NAMES THEREAS.
 - AT&T SITE & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED SET IN RESISTANT CORNER. THE REMAINING SET IN RESISTANT CORNER SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SET.
 - SIGNS NEED NOT BE PLACED IF ACCURATE AND APPROPRIATE SIGNAGE ALREADY EXISTS.
 - REFER TO C&E MOBILITY AREA SUPPLEMENT DATED 05/21/2014 FOR ADDITIONAL DETAILS.

FORESITE

ForeSite Group, LLC
2000 Peachtree
Atlanta, Georgia, GA 30302
Phone: (404) 525-1100
Fax: (404) 525-1101
www.foresite.com

PROJECT MANAGER:

PROVIDENCE
REAL ESTATE CONSULTING, INC.
Integrity • Commitment • Quality
4440 Peachtree Corporate Blvd., Suite 300
Atlanta, Georgia 30322
(404) 965-5719

SCALE:



PROJECT:
FARM FARMER'S MARKET
GA3146

DEVELOPER:
AT&T

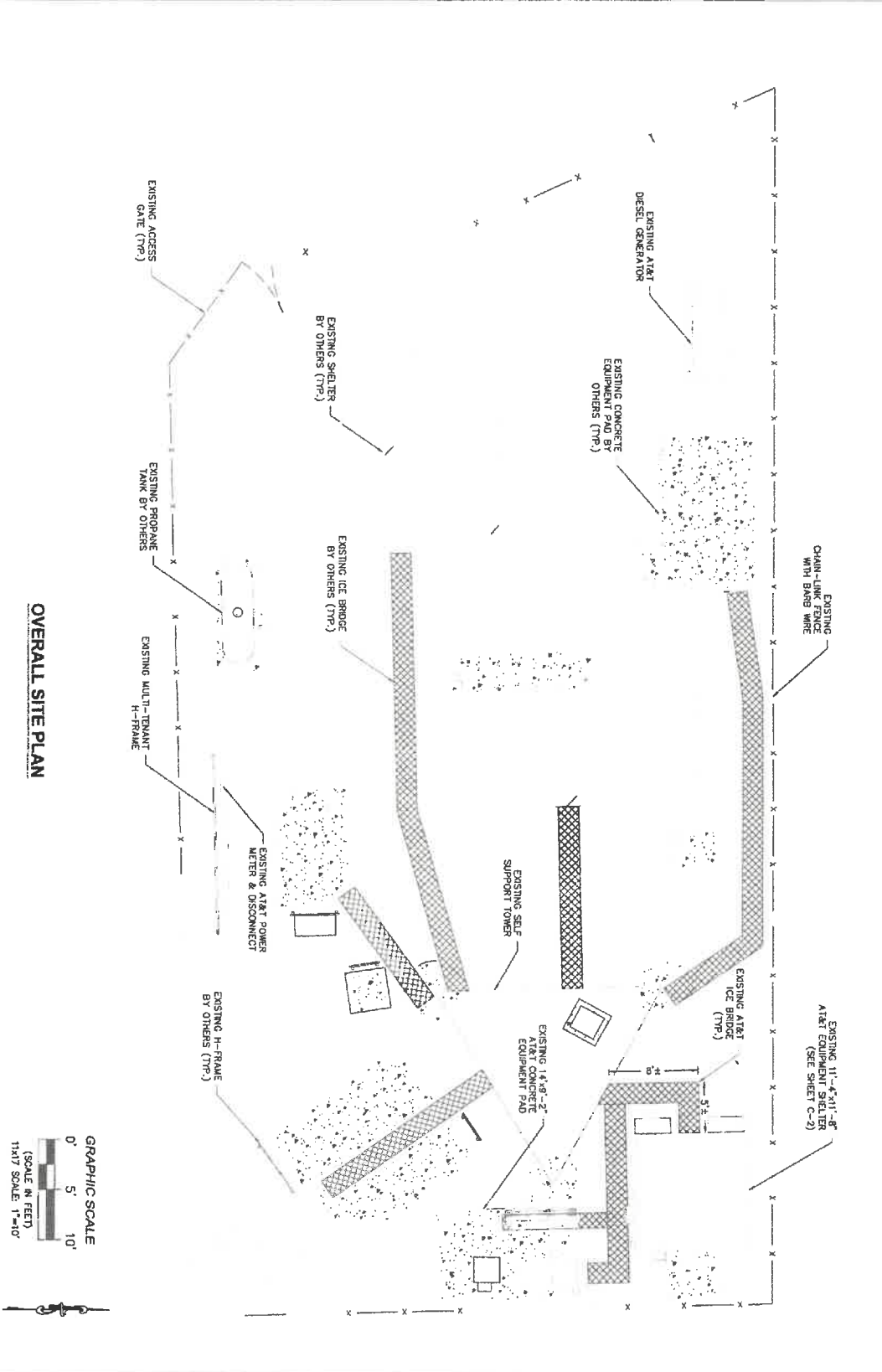
ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: BLV
DRAWING BY: JIC
DATE: 01/12/23
TITLE:

REVISIONS:

NO.	DATE	DESCRIPTION

SITE SIGNAGE
SHEET NUMBER: T-4
JOB/R/E NUMBER: 485.021

NOTE:
 EXISTING SITE PLAN IS BASED ON/OBTAINED FROM EXISTING AS-BUILT CONSTRUCTION DOCUMENTS BY SUTTELL WIRELESS SERVICES DATED 06/12/2020 (PROVIDED BY CLIENT). CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.



OVERALL SITE PLAN



FORESITE

ForeSite Group, LLC
 3140 Diamond Ct.
 Redwood City, CA 94063
 Tel: 1 770 866 1199
 Fax: 1 770 866 1144

PROVIDENCE
 REAL ESTATE CONSULTING INC
 Integrity • Commitment • Quality

4440 Ford Road, Loganville, GA 30052
 (770) 862-2779

REGISTERED
 PROFESSIONAL ENGINEER
 IN THE STATE OF GEORGIA
 NUMBER 11728
 NAME: STEVEN T. TILNER
 LICENSED PROFESSIONAL ENGINEER

FARM FARMER'S MARKET
 GA3146

LOCATED AT:
 ROBERT PARK, CA 30097

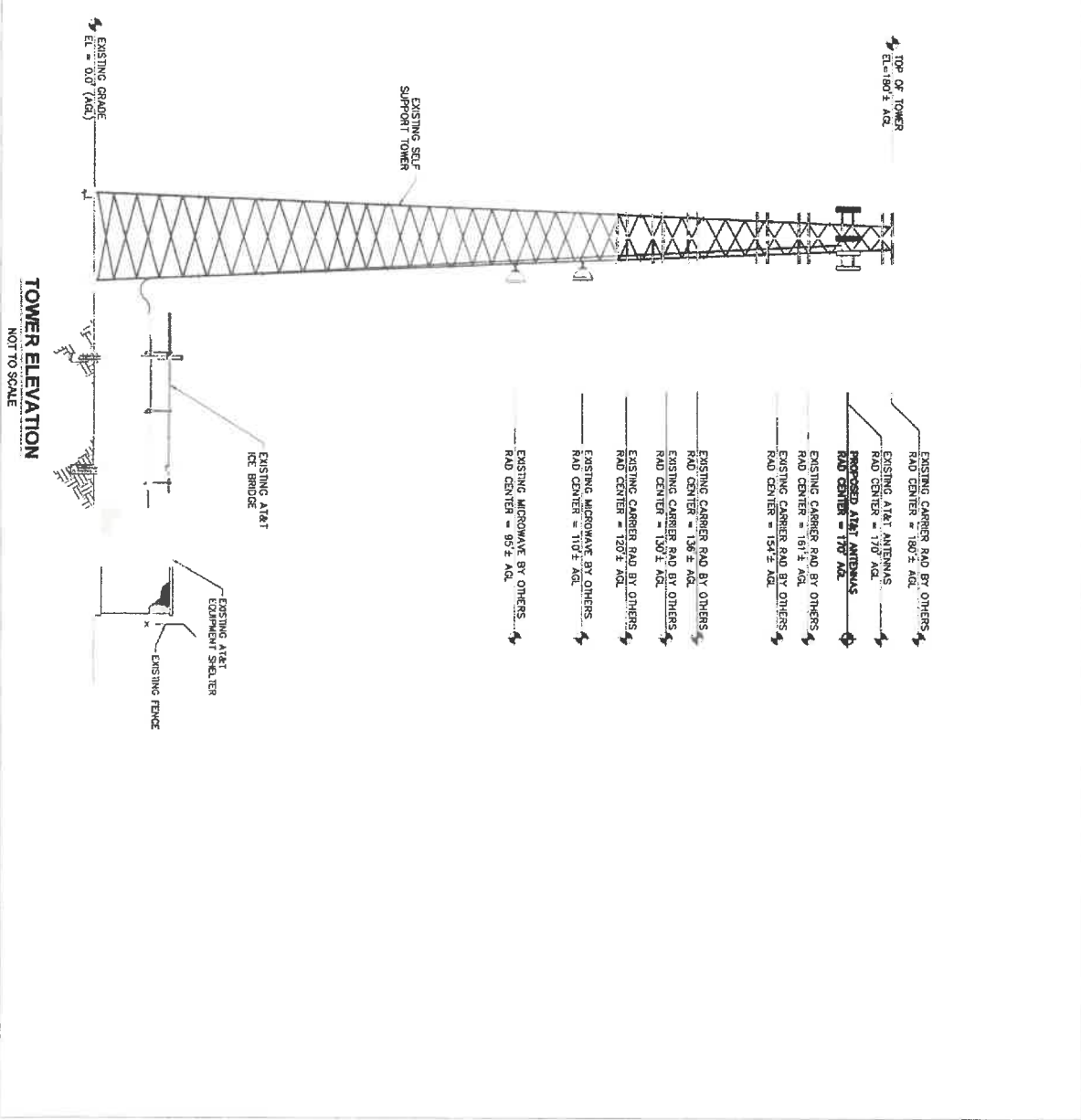
AT&T

REVISIONS	DATE

ISSUED FOR: PERMIT/CONSTRUCTION
 PROJECT MANAGER: BLV
 DRAWING BY: JIC
 DATE: 01/12/23
 TITLE: OVERALL SITE PLAN

SHEET NUMBER: C-1
 JOB/FILE NUMBER: 485.021

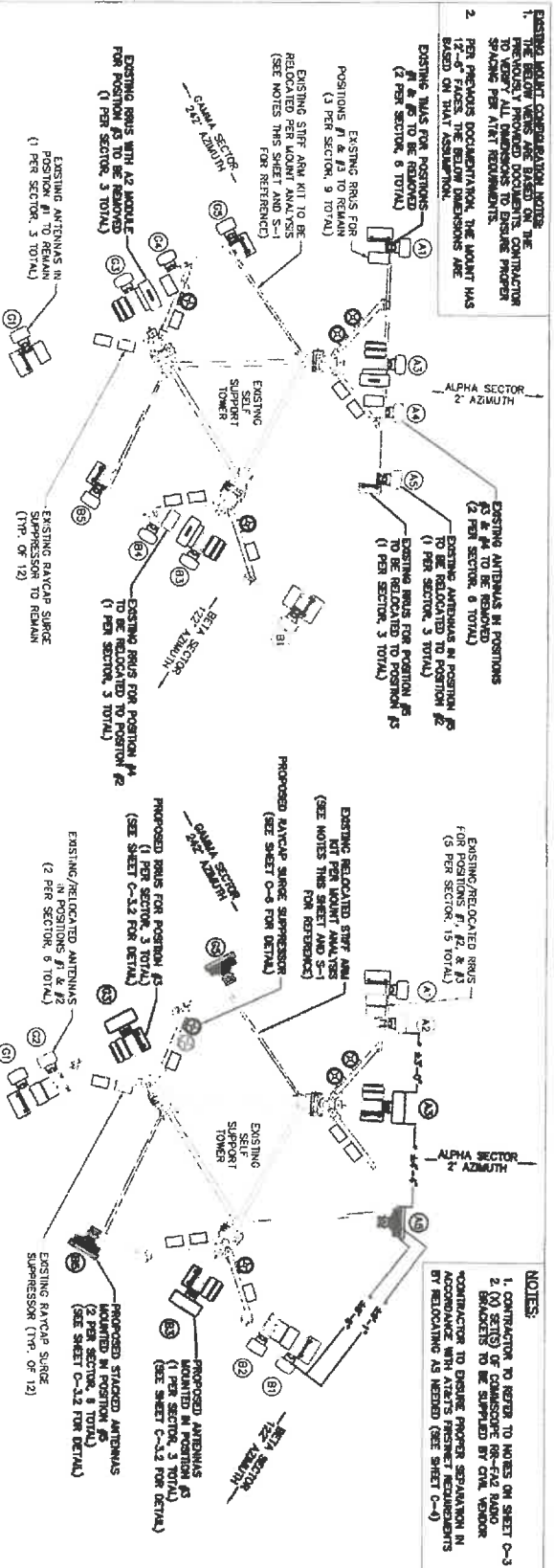
- TOWER NOTES:**
1. THE EXISTING TOWER FOUNDATION, ANTENNA MOUNTS, AND ANTENNAS WERE DESIGNED BY OTHERS.
 2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
 3. ADDITIONAL EXISTING ANTENNAS AND MOUNTS NOT SHOWN FOR CLARITY. SEE NOTE #4.
 4. CONTRACTOR TO REFER TO STRUCTURAL ANALYSIS COMPLETED BY TOWER ENGINEERING PROFESSIONALS, DATED 12/19/2022 FOR REFERENCE. THE ANALYSIS WAS PERFORMED IN ACCORDANCE WITH ROUTING AND ANY OTHER TOWER MODIFICATIONS THAT COULD AFFECT THE OVERALL TOWER STRUCTURAL STABILITY. THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING ANTENNAS AND MOUNTS MEET THE PROVISIONS OF THE STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
 5. CONTRACTOR TO REFER TO AND COMPLY WITH MOUNT STRUCTURAL ANALYSIS COMPLETED BY FORESITE GROUP, LLC, DATED 09/01/2022 PRIOR TO INSTALLATION OF EQUIPMENT ON TOWER.
 6. CONTRACTOR TO FIELD VERIFY ANTENNA MOUNT CONFIGURATION AND PROVIDE PHOTO DOCUMENTATION TO DESIGN REQUIREMENTS TO SUPPORT PROPOSED ANTENNAS. ALL ANTENNAS AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN REQUIREMENTS. ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES AND BASIC WIND SPEED AS LISTED ON SHEET 1-1.
 7. AZIMUTHS TAKEN FROM AT&T RF SITE DESIGN DATA, TOWER HEIGHTS AND ANTENNA HEIGHTS TAKEN FROM RECEIPT TOWER HEIGHTS AND ANTENNA HEIGHTS FROM RECEIPT TOWER AT&T REGULATORY COMPLIANCE.
 8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND IDENTIFYING ANY EXISTING CONFLICTS (INCLUDING BUT NOT LIMITED TO EXISTING COAXIAL CABLES, SAFETY CLIMBS, ETD, AND DETERMINING TEMPORARY BRACING OR EQUIPMENT. THE CONTRACTOR SHALL RESTORE ALL RELOCATED ITEMS TO PREVIOUS CONDITIONS.
 9. EQUIPMENT MOUNTS INCLUDE COAX CABLES WITH AN TOWER TOP FACE. DO NOT PINCH TRAP OR KINK THE SAFETY CLIMB CABLE. IT IS A&T'S RESPONSIBILITY TO INSTALL A CABLE GUIDE OVER THE CLIMB TO KEEP SAFETY CABLE FROM RUBBING ON MOUNT.
 10. ALL OF THE RANGERS NEED TO BE INSTALLED ON THE AT&T MOUNT NOT ON THE TOWER LEG OR THE LIGHT EXTENSION.
 11. ALL TRASH AND EXTRA MATERIALS NEED TO BE PILED UP AND REMOVED FROM THE SITE UPON COMPLETION. DO NOT THROW TRASH IN THE WOODS.



<p>FORESITE</p> <p>ForeSite Group, LLC 3210 Duxford Ct. Raleigh, NC 27609 Tel: 919.234.1399 Fax: 919.234.1344</p>	<p>PROVIDENCE</p> <p>RFLZ ESTATE CONSULTING INC Attn: Project + Compliance + Quality 4446 Tara Road, Logansville, GA 30052 (770) 565-5979</p>	<p>PROJECT: FARM FARMER'S MARKET GA3146</p> <p>DEVELOPER: Igorov LP 66 BARNETT ROAD ROBERT PARK, GA 30087</p>	<p>PROJECT: FARM FARMER'S MARKET GA3146</p>	<p>ISSUED FOR: PERMIT/CONSTRUCTION PROJECT MANAGER: BLV DRAWING BY: JC DATE: 01/12/23</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION									

TOWER ELEVATION
SHEET NUMBER: C-3
JOB/FILE NUMBER: 485.021

EXISTING MOUNT CONFIGURATION NOTES:
 1. THE BELOW NOTES ARE BASED ON THE PREVIOUS APPROVED DOCUMENTS. CONTRACTOR SHALL VERIFY ALL INFORMATION AND PROVIDE PROPER SPACING PER AISC REQUIREMENTS.
 2. PER PREVIOUS DOCUMENTATION, THE MOUNT HAS BASED ON 24" X 24" DIMENSIONS ARE:



EXISTING ANTENNA CONFIGURATION DETAIL
 NOT TO SCALE

ANTENNA NAME	SECTOR	ANTENNA MAKE/MODEL	ANTENNA QUANTITY	ANTENNA AZIMUTH	RAU CENTER	RAU MAKE/MODEL	RAU QUANTITY	SUNSH PROTECTION	SUNSH PROTECTION QUANTITY	COAX/CABLE	COAX/CABLE QUANTITY
ALPHA	1	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12
ALPHA	2	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12
BETA	1	COMM/TRE 5914M-1055C-01	1		130°	RRS 32 12	1			1.5/6' COAX	12
BETA	2	COMM/TRE 5914M-1055C-01	1		130°	RRS 32 12	1			1.5/6' COAX	12
GA	1	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12
GA	2	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12

PROPOSED ANTENNA CONFIGURATION DETAIL
 NOT TO SCALE

ANTENNA NAME	SECTOR	ANTENNA MAKE/MODEL	ANTENNA QUANTITY	ANTENNA AZIMUTH	RAU CENTER	RAU MAKE/MODEL	RAU QUANTITY	SUNSH PROTECTION	SUNSH PROTECTION QUANTITY	COAX/CABLE	COAX/CABLE QUANTITY
ALPHA	1	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12
ALPHA	2	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12
BETA	1	COMM/TRE 5914M-1055C-01	1		130°	RRS 32 12	1			1.5/6' COAX	12
BETA	2	COMM/TRE 5914M-1055C-01	1		130°	RRS 32 12	1			1.5/6' COAX	12
GA	1	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12
GA	2	COMM/TRE 5914M-1055C-01	1			RRS 32 12	1			1.5/6' COAX	12

1. GOLD TEXT DENOTES PROPOSED EQUIPMENT
2. CONTRACTOR TO VERIFY QUANTITIES AND SIZES OF EXISTING CABLES
3. CONTRACTOR TO VERIFY EXISTING CABLES MEET SPECIFIED SIZE

ANTENNA & EQUIPMENT SCHEDULE
 NOT TO SCALE

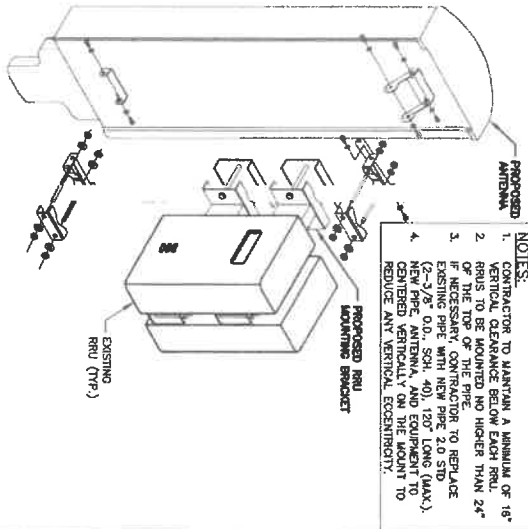
NOTES:
 1. CONTRACTOR TO REFER TO NOTES ON SHEET C-3
 2. (0) SET(S) OF COMSCOPE OR-F4D RADIO BRACKETS TO BE SUPPLIED BY CIVIL VENDOR
 CONTRACTOR TO ENSURE PROPER SEPARATION IN ACCORDANCE WITH AISC'S FINGERST REQUIREMENTS BY RELOCATING AS NEEDED (SEE SHEET C-4)

PROVIDENCE
 REAL ESTATE CONSULTING INC
 Integrity • Commitment • Quality
 4448 Peach Road, Loveland, CO 80532
 (970) 883-5474

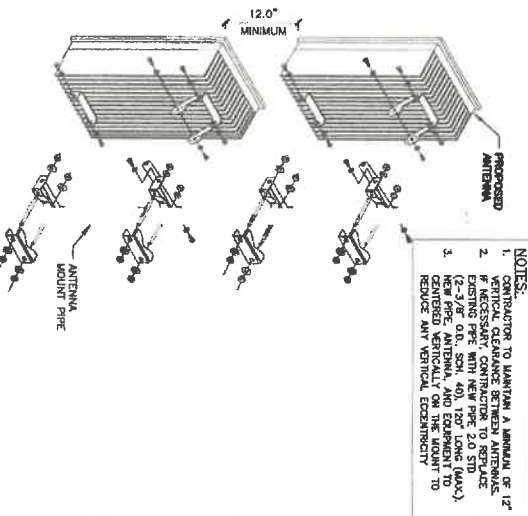
FARM FARMER'S MARKET
 GA3146
 DEVELOPER: AT&T

FORESITE
 4448 Peach Road, Loveland, CO 80532
 (970) 883-5474

ISSUED FOR: **PERMIT/CONSTRUCTION**
 PROJECT MANAGER: **BLV**
 DRAWING BY: **JIC**
 DATE: **07/27/23**
 TITLE: **ANTENNA ORIENTATION & ANTENNA & EQUIPMENT SCHEDULE**
 SHEET NUMBER: **C-3.1**
 JOB/FILE NUMBER: **485.021**

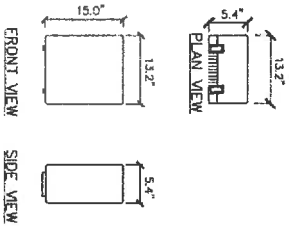


ANTENNA AND RRU MOUNTING DETAILS



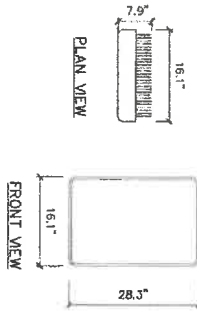
ANTENNA AND RRU MOUNTING DETAILS

RRU MOUNT DETAIL



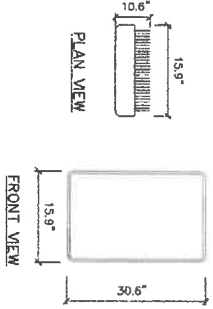
RRUS 4415 B25 SPECS

MANUFACTURER: ERICSSON
 MODEL #: RRUS 4415 B25
 DIMENSIONS (WxDxH): 15" x 13.2" x 5.4"
 RRU WEIGHT: 48 lbs



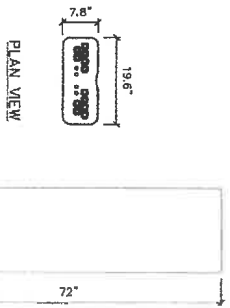
ANTENNA SPECS

MANUFACTURER: ERICSSON
 MODEL #: ABE6419 B776
 DIMENSIONS (WxDxH): 16.1" x 7.9" x 28.3"
 WEIGHT: 66.1 lbs



ANTENNA SPECS

MANUFACTURER: ERICSSON
 MODEL #: ABE6448 B77D
 DIMENSIONS (WxDxH): 15.9" x 10.6" x 30.6"
 WEIGHT: 83.6 lbs



ANTENNA SPECS

MANUFACTURER: COMUSCOPE
 MODEL #: NNH4-888-8BH4
 DIMENSIONS (WxDxH): 18.6" x 7.8" x 72"
 WEIGHT: 83.3 lbs

FORESITE

Forest Group, LLC
 3740 Darden Ct
 Redwood City, CA 94061
 w | www.foresite.com
 o | 770.844.1199
 f | 770.844.1144

PROVIDENCE

PROVIDENCE COMMERCIAL TIME INC
 Integrity • Commitment • Quality

4440 Truck Road, Logansport, GA 30052
 (770) 955-9474

REGISTERED PROFESSIONAL ENGINEER

STATE OF GEORGIA

01/21/23

FARM FARMER'S MARKET

GA3146

DEVELOPER: AT&T

EQUIPMENT DETAILS

SHEET NUMBER: C-3.2
 JOB/TITLE NUMBER: 485 021

ISSUED FOR: PERMIT/CONSTRUCTION
 PROJECT MANAGER: J.C.
 DRAWING BY: J.C.
 DATE: 01/12/23

RF REQUIREMENTS FOR 700 B14 FIRSTNET, 700 B12, 700D B29 ANTENNA SEPARATION

- Horizontal separation (side to side of antenna): >= 3'
- Vertical separation (between the tips of the antennas): > 3'
- Inter-sector separation: > 3' between the center of the antenna backplanes.

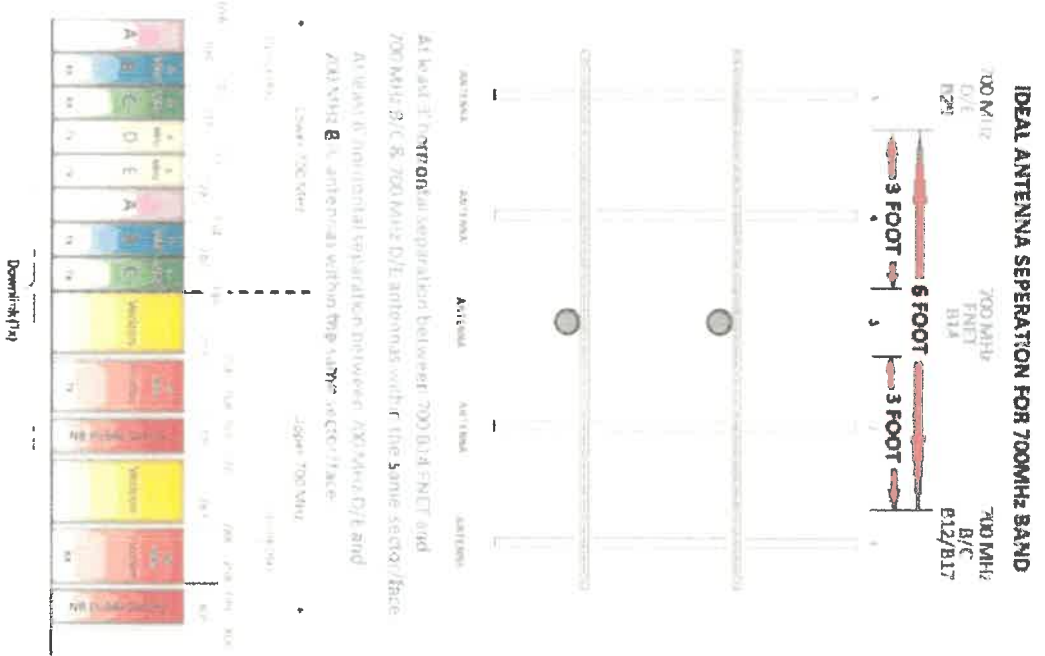


- Please note additional horizontal separation may be required if B14 antennas azimuth are different from others or antennas are severely angled with respect to the mount.
- Typical 3' horizontal separation can tolerate skew angle up to 60°.



- NOTES:**
1. MAINTAIN AT LEAST 3' HORIZONTAL SEPARATION BETWEEN 700 B14 FNET AND 700 MHz B/C & 700 MHz D/E ANTENNAS WITHIN THE SAME SECTOR/FACE.
 2. MAINTAIN AT LEAST 6' HORIZONTAL SEPARATION BETWEEN 700 MHz D/E AND 700 MHz B/C ANTENNAS WITHIN THE SAME SECTOR/FACE.
 3. PLEASE NOTE ADDITIONAL HORIZONTAL SEPARATION MAY BE REQUIRED IF B14 AZIMUTHS ARE DIFFERENT FROM OTHERS OR IF ANTENNAS ARE SEVERELY ANGLED WITH RESPECT TO THE MOUNT. TYP. 3' HORIZONTAL SEPARATION CAN TOLERATE SKEW ANGLE UP TO 6 DEGREES.
 4. MAINTAIN INTER-SECTOR SEPARATION > 3' BETWEEN THE CENTER OF THE ANTENNA BACKPLANES WITHIN THE SAME SECTOR/FACE.
 5. CONTRACTOR TO FOLLOW MANUFACTURER'S SPECIFICATIONS.
 6. CONTRACTOR TO CONFORM TO THE LATEST AT&T ANTENNA COLLOCATION GUIDELINES. AT&T DOCUMENT INT-002-290-105.

RF REQUIREMENTS



FORESITE

ForeSite, LLC
 17750 Woodloch
 Suite 100
 Houston, TX 77058-1144
 (281) 885-5179

PROJECT MANAGER:

PROVIDENCE
 REAL ESTATE CONSULTING, INC.
 Integrity • Commitment • Quality
 4489 Tuck Road, Logansport, GA 30057
 (706) 885-5179

SEAL:



PROJECT:
 FARM FARMER'S
 MARKET
 G3146

DEVELOPER:
 AT&T
 4100 RING ROAD
 FARMER MARKET, GA 30087



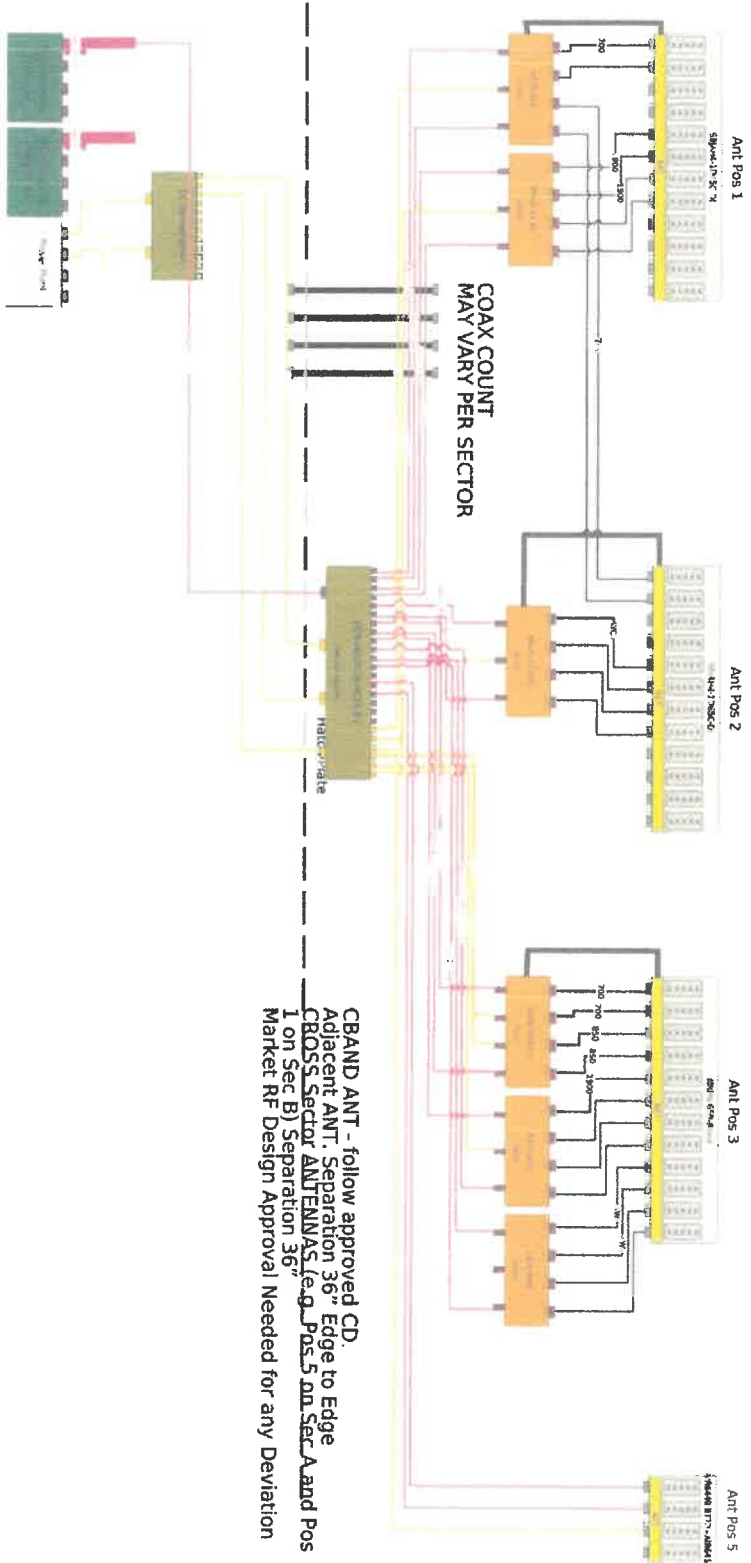
REVISIONS:

NO.	DATE	DESCRIPTION
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ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: BLY
DRAWING BY: JC
DATE: 01/12/23
TITLE:

RF REQUIREMENTS
SHEET NUMBER: C-4
JOB/FILE NUMBER: 485 021

- NOTES:**
1. PLUMBING DIAGRAM IS TYPICAL FOR ALL SECTORS
 2. VERIFY CONFIGURATION AT PRE-CONSTRUCTION MEETING WITH TURNING VENDOR. RFDS ALWAYS TAKES PRECEDENCE BUT CONFIRM WITH TURNING VENDOR AND END USER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS



CBAND ANT - follow approved CD.
 Adjacent ANT. Separation 36" Edge to Edge
 CROSS Sector ANTENNAS (e.g. Pos.5 on Sec.A and Pos
 1 on Sec.B) Separation 36"
 Market RF Design Approval Needed for any Deviation

PLUMBING DIAGRAM

FORESITE

Provis Group LLC
 3780 Davenport Ct.
 Suite 100
 Redwood City, CA 94063
 Tel: 650-961-1000
 Fax: 650-961-1001
 www.provis.com

PROJECT NUMBER:

PROVIDENCE
 REAL ESTATE CONSULTANT, INC.
 Integrity • Commitment • Quality

4440 Tuck Road, Logansport, GA 30052
 (770) 985-5274

SEAL:



PROJECT:

FARM FARMER'S MARKET
 GA3146

DESIGNED BY: [Name]
 PROJECT MANAGER: [Name]
 DRAWING BY: [Name]
 DATE: 01/12/23

DEVELOPER:

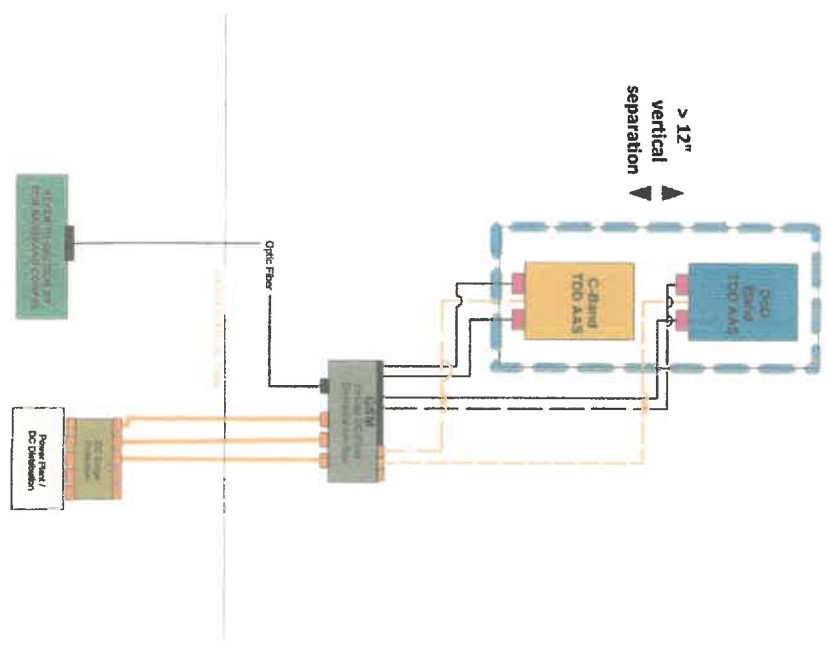


REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: [Name]
DRAWING BY: [Name]
DATE: 01/12/23
TITLE: PLUMBING DIAGRAM
SHEET NUMBER: C-5
JOB/FILE NUMBER: 485.021

- NOTES:**
1. PLUMBING DIAGRAM IS TYPICAL FOR ALL SECTIONS
 2. VERIFY CONFIGURATION AT PRE-CONSTRUCTION MEETING WITH TURNING VENDOR. REFS ALWAYS TAKES PRECEDENCE BUT CONFIRM WITH TURNING VENDOR AND END USER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS



C-BAND/DOD PLUMBING DIAGRAM

FORESITE

ForeSite Corp, LLC
 2700 Duxwell Ct.
 Suite 100
 Columbia, SC 29903
 Tel: 1-800-819-9100
 Fax: 803-726-1199
 Email: sales@fore-site.com

PROJECT MANAGER:

PROVIDENCE
 REGAL E-STATE CONSTRUCTION, INC
 Integrity • Commitment • Quality
 4440 Tuck Road, Loganville, GA 30082
 (770) 985-5478

SEAL:



PROJECT:
 FARM FARMER'S MARKET
 GA3146

DEVELOPER:
 AT&T

LOCATED AT:
 485 FARMER'S MARKET
 FOREST PARK, GA 30087

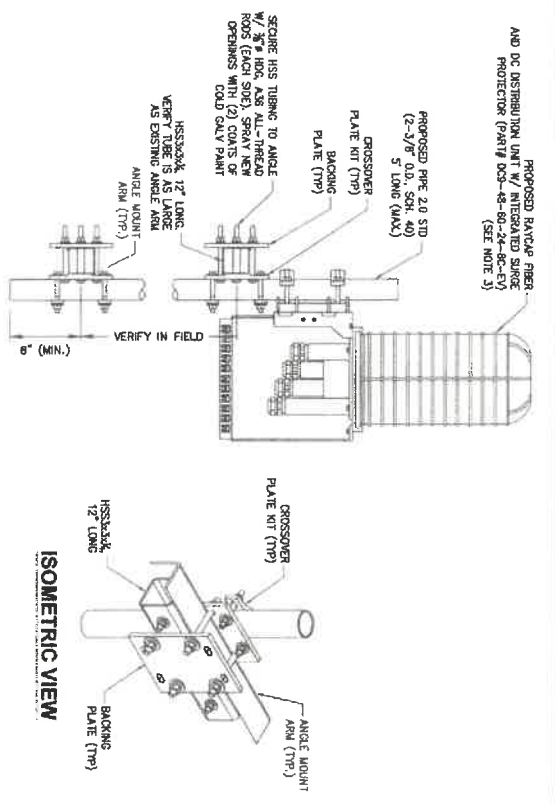
REVISIONS	DATE

ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: ELV
DRAWING BY: JLC
DATE: 01/12/23
TITLE:

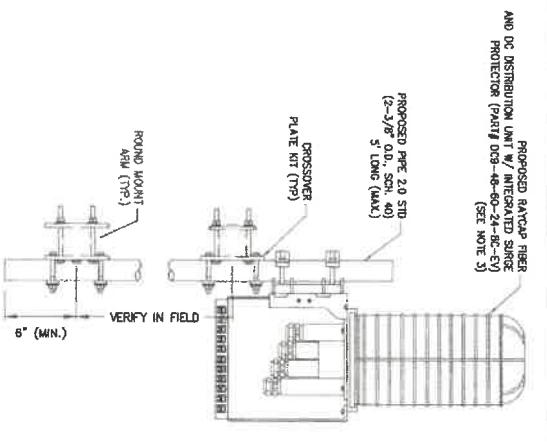
C-BAND/DOD PLUMBING DIAGRAM
SHEET NUMBER: C-5.1
JOB/FILE NUMBER: 485.021

- NOTES:**
1. UNIT SHALL BE MOUNTED AS PER MANUFACTURER'S RECOMMENDATIONS.
 2. CONTRACTOR SHALL TIGHTEN ALL BOLTS TO A "SNUG TIGHT" CONDITION AS DEFINED BY AISC.
 3. CONTRACTOR SHALL INSTALL RAYCAP DISTRIBUTION UNIT WITHIN 15 FEET FROM ALL RW/S.
 4. CONTRACTOR SHALL ATTACH RAYCAP PIPE IN (2) PLACES.
 5. CROSSOVER PLATE TO BE SITE PRO P/N: SC27-U OR EQUIVALENT. ASSEMBLY HARDWARE INCLUDED.
 6. BACKING PLATE TO BE SITE PRO P/N: SC27-U OR EQUIVALENT. ASSEMBLY HARDWARE INCLUDED.

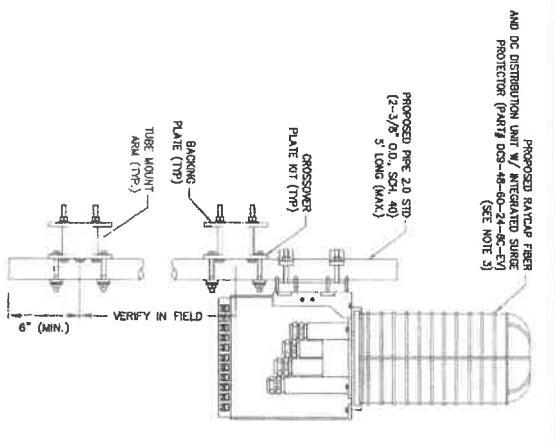
RAYCAP MOUNTING DETAIL (TO ANGLE MEMBERS)



RAYCAP MOUNTING DETAIL (TO ROUND MEMBERS)



RAYCAP MOUNTING DETAIL (TO TUBE MEMBERS)



FORESITE

ForeSite Group, LLC
3200 Greenwood
Suite 100
Providence, CA 94622

W. James Braxton
+1 708.683.1399
+1 708.683.1944

PROVIDENCE

REAL ESTATE CONSULTING, INC
Integrity • Commitment • Quality

4460 Tech Road, Logansport, GA 30052
(770) 965-5474

REGISTERED

PROFESSIONAL ENGINEER

GEORGIA

11/2/12

FARM FARMER'S MARKET

GA3146

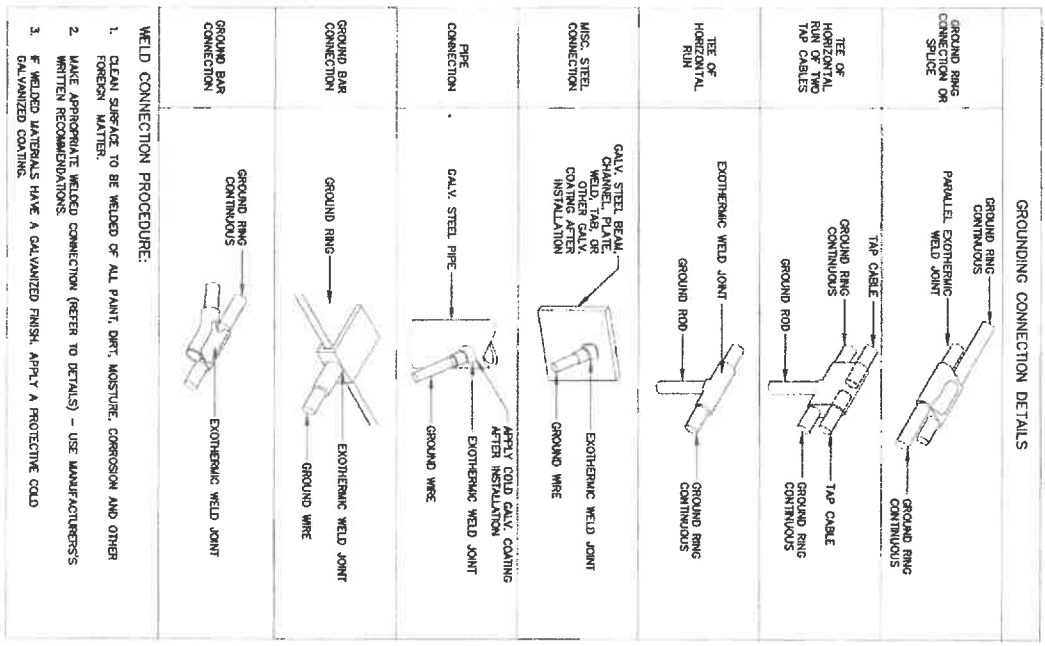
44 LOCATED AT: 10022477 - FARM FARMER'S MARKET

DEVELOPER: AT&T

REVISIONS	DATE

ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: BLV
DRAWING BY: JC
DATE: 01/12/23
TITLE: RAYCAP MOUNTING DETAILS

SHEET NUMBER: C-6
JOB/FILE NUMBER: 485.021



GROUNDING CONNECTION DETAILS

- GROUNDING NOTES:**
1. ALL GROUNDING SHALL COMPLY WITH NFPA 70 (NEC) AND NFPA 770, "LIGHTNING PROTECTION CODE".
 2. ALL GROUNDING CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD UNLESS NOTED OTHERWISE. CLEAN ALL SURFACES PRIOR TO CONNECTION. SPRAY EXOTHERMICALLY WELDED CONNECTIONS WITH ANTI-OXIDATION PAINT.
 3. ALL GROUNDING DEVICES SHALL BE UL APPROVED OR LISTED FOR THEIR INTENDED USE.
 4. ROUTE ALL GROUND CONDUCTORS ALONG THE SHORTEST ROUTE AND AVOID SHARP BENDS. THE BEND RADIUS SHALL NOT BE LESS THAN 12".
 5. PRIOR TO INSTALLING LUGS ON GROUND CONDUCTORS OR BOLTING GROUND LUGS, APPLY THROUS & BETTS KOPR-SHIELD OR EQUIVALENT.
 6. SHUT BOLTS SHALL NOT BE USED.
 7. ENSURE THAT NO CONTINUOUS METAL RING SURROUNDS A GROUNDING CONDUCTOR. USE PVC SUPPORT CLAMPS. ENSURE ANY GROUNDING CONDUCTORS RUN THROUGH METAL CONDUIT IS BONDED TO THE CONDUIT AT BOTH ENDS.
 8. CONTRACTOR SHALL BOND THE TEROLO CABINET GROUND BAR TO THE GROUND RING USING 2 AWG BARE SOLDER THINNED GRADE CONDUCTORS WITH 2-HOLE COMPRESSION LUGS ABOVE GRADE AND EXOTHERMIC WELDS BELOW GRADE.
 9. ALL GROUNDING/BONDING CONDUCTORS RUN FROM ABOVE GRADE FROM 1 FOOT ABOVE GRADE AND SEALED WITH A SILICONE SEALANT.
 10. GROUND SYSTEMS SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. IF RESISTANCE VALUE IS EXCEEDED, NOTIFY TOWER OWNER/CARRIER FOR FURTHER INSTRUCTIONS. SUBMIT A COPY OF THE TEST REPORT TO TOWER.
 11. ANY METAL OBJECT WITHIN 8 FEET OF THE TOWER OR EQUIPMENT GROUND RING SHALL BE BONDED DIRECTLY TO THE RING.
 12. ALL ABOVE GRADE GROUND CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD EARTH AND ONLY WHERE NECESSARY, HORIZONTAL.
 13. ALL CONDUCTORS SHALL BE ROUTED SUCH THAT THERE ARE NO INCLUSIVE ANGLES OF LESS THAN 90 DEGREES.
 14. ALL GROUNDING COMPONENTS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
 15. ANY METAL CONDUIT MOUNTED ON THE TOWER SHALL BE BONDED TO THE TOWER AT EACH END.
 16. WHEN BONDING TO EQUIPMENT GROUND PAINT TO BARE STEEL AND PROTECT WITH A COATING OF NO-OX.
 17. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE R35 FOR ELBOWS AND RISERS.

- ELECTRICAL NOTES:**
1. ALL WORK SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES AND THE NATIONAL ELECTRICAL CODE (NEC), LATEST EDITION. ALL COMPONENTS SHALL BE UL LISTED.
 2. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT WITH POWER COMPANY AND ENSURE ALL ELECTRICAL EQUIPMENT MEETS OR EXCEEDS AVAILABLE FAULT CURRENT.
 3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY POWER ON JOB SITE INCLUDING SERVICE POLE, ENTRY CONDUCTORS, METERS AND DISCONNECT AS REQUIRED. IF TEMPORARY POWER IS NOT AVAILABLE FROM THE POWER COMPANY, CONTRACTOR SHALL PROVIDE A 10KW (MIN.) PORTABLE GENERATOR TO SUPPLY DEMAND.
 4. CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY FOR METER AND GROUNDING REQUIREMENTS.
 5. CONTRACTOR TO PROVIDE AND INSTALL METER CAN, DISCONNECT SWITCH, RACK, FEEDERS AND CONDUIT.
 6. SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUITS ON FINAL AS-BUILT DRAWINGS.
 7. COORDINATE EXACT LOCATION OF UNDERGROUND CONDUITS WITH THE PROJECT MANAGER.
 8. CONTRACTOR SHALL COORDINATE WITH THE LOCAL ELECTRICAL AUTHORITY HAVING JURISDICTION AND OTHER TRADES TO DETERMINE TRENCHES) OR RECEIVALS REQUIRED FOR INSTALLATION.
 9. ALL COMPONENTS TO BE SPECIFIED OR EQUIVALENT AS APPROVED BY THE PROJECT MANAGER.
 10. COORDINATE CONDUIT STUB-UP LOCATIONS WITH THE PROJECT MANAGER.
 11. ALL WIRING SHALL BE COPPER. ALUMINUM WIRE IS NOT PERMITTED.
 12. CONTRACTOR SHALL COORDINATE DROP POLE SET WITH LOCAL UTILITY COMPANY (IF REQUIRED).
 13. CONTRACTOR SHALL FILL TRENCH EXCAVATIONS PER LOCAL, STATE AND NATIONAL CODES.

ABBREVIATIONS

AWG	AMERICAN WIRE GAUGE
BOW	BARE COPPER WIRE
BTS	BARE TRANSMISSION SYSTEM
COBE	COALY ISOLATED GROUND BAR DETENTRAL
DA	DIAMETER
DWG	DRAWING
ENT	ELECTRICAL METALLIC TUBING
GEN	GENERATOR
GPS	GLOBAL POSITIONING SYSTEM
I	INTERIOR BEAM INTERLOCK
IGR	INTERIOR GROUND RING (SHLD)
ILGR	MASTER ISOLATED GROUND BAR
PCS	POWER PROTECTION SYSTEM
PGS	POWDER PROTECTED STEEL
RHW	RIGID GALVANIZED STEEL
SS	STAINLESS STEEL
TYP.	TYPICAL
AAU	AUTHORITY HAVING JURISDICTION

ABBREVIATIONS, ELECTRICAL, GROUNDING NOTES AND DETAILS

PROJECT:
FARM_FARMER'S
MARKET
CAS3146

DEVELOPER:
LOCATED AT
44 FORD ROAD
PROSPECT HILLS, CA 92087

AT&T

REGISTERED
No. 04548
Professional Engineer
STATE OF CALIFORNIA
01/12/23

PROJECT MANAGER:
PROVIDENCE
REAL ESTATE CONSULTING, INC.
4449 Ford Road, Livermore, CA 94550
(925) 985-2474

ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: JLC
DRAWING BY: ABC
DATE: 01/12/23
TITLE: GROUNDING NOTES, ELECTRICAL, & WELD DETAILS

SHEET NUMBER: E-1
JOB/TITLE NUMBER: 485.021



Expectancy to indicate cutting with with connection to the antenna pole in position of approximately 12" above the bottom face horizontal face back to tower leg

MOUNT MODIFICATION
FOR REFERENCE ONLY

FORESITE

Foresite Group, LLC
2700 Peachtree
Atlanta, GA 30309
Phone: 404.399.1344

PROJECT MANAGER:

PROVIDENCE
REGAL ENTERPRISE CONSULTING, INC.
Integrity • Commitment • Quality
4440 Zuck Road, Lawrenceville, GA 30042
9709 885-5474

SEAL:



PROJECT:
FARM FARMER'S
MARKET
GA3146

DEVELOPER:
AT&T

REVISIONS	DATE

ISSUED FOR: PERMIT/CONSTRUCTION
PROJECT MANAGER: BLV
DRAWING BY: JLC
DATE: 01/12/23
TITLE:

MOUNT MODIFICATION
SHEET NUMBER: S-1
JOB/TITLE NUMBER: 485.021

Date: **December 19, 2022**



Tower Engineering Professionals
326 Tryon Road
Raleigh, NC 27603
(919) 661-6351

Subject: Structural Analysis Report

Carrier Designation:

AT&T Mobility Co-Locate

Site Number: GA3146
Site Name: Farm Farmers Market
FA Number: 10022477

Crown Castle Designation:

BU Number: 870443
Site Name: Forest Park (Barnett Rd.)
JDE Job Number: 730571
Work Order Number: 2164023
Order Number: 632284 Rev. 0

Engineering Firm Designation:

TEP Project Number: 74941.796889

Site Data:

66 Barnett Road, Forest Park, Clayton County, GA 30297
Latitude 33° 36' 56.08", Longitude -84° 23' 15.15"
180 Foot - Self-Supporting Tower

Tower Engineering Professionals is pleased to submit this "**Structural Analysis Report**" to determine the structural integrity of the above-mentioned tower.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC7: Proposed Equipment Configuration

Sufficient Capacity

This analysis has been performed in accordance with the 2018 International Building Code based upon an ultimate 3-second gust wind speed of 108 mph. Applicable Standard references and design criteria are listed in Section 2 - Analysis Criteria.

Structural analysis prepared by: Gautam Sopal, E. I. / CLT

Respectfully submitted by:

Adam M. Amortnont, P.E., S.E.



Electronic Copy

TABLE OF CONTENTS

1) INTRODUCTION

2) ANALYSIS CRITERIA

- Table 1 - Proposed Equipment Configuration
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3) ANALYSIS PROCEDURE

- Table 3 - Documents Provided
- 3.1) Analysis Method
- 3.2) Assumptions

4) ANALYSIS RESULTS

- Table 4 - Section Capacity (Summary)
- Table 5 - Tower Component Stresses vs. Capacity
- 4.1) Recommendations

5) APPENDIX A

- tnxTower Output

6) APPENDIX B

- Base Level Drawing

7) APPENDIX C

- Additional Calculations

1) INTRODUCTION

This tower is a 180-ft self-supporting tower designed by Rohn.

2) ANALYSIS CRITERIA

TIA-222 Revision: TIA-222-H
Risk Category: II
Wind Speed: 108 mph
Exposure Category: B
Topographic Factor: 1.0
Ice Thickness: 1.5 in
Wind Speed with Ice: 30 mph
Service Wind Speed: 60 mph

Table 1 - Proposed Equipment Configuration

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
168.0	172.0	3	Ericsson	AIR 6419 B77G	11 2 7 6	1-5/8 1 7/8 3/8
	170.0	3	Commscope	NNH4-65B-R6H4 w/ Mount Pipe		
		6	Commscope	SBJAH4-1D65C-DL w/ Mount Pipe		
		3	Ericsson	RRUS 32		
		3	Ericsson	RRUS 32 B2		
		3	Ericsson	RRUS 4415 B25		
		3	Ericsson	RRUS 4426 B66		
		3	Ericsson	RRUS 4449 B5/B12		
		3	Ericsson	RRUS 4478 B14		
		8	Raycap	DC2-48-60-0-9E		
		1	Raycap	DC9-48-60-24-8C-EV ENCLOSURE ONLY		
		3	Raycap	DC6-48-60-18-8F		
		1	Raycap	DC6-48-60-18-8C ENCLOSURE ONLY		
		168.0	3	Ericsson		
	3	Commscope	SFG2C Sector Mount			

Table 2 - Other Considered Equipment

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
178.0	180.0	9	RFS Celwave	APL868013-42T0 w/ Mount Pipe	8	1-5/8
	178.0	1	Tower Mounts	Sector Mount [SM 509-3]		

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
162.0	163.0	3	Motorola	DAP25003500	9	1/2
	162.0	1	Tower Mounts	Side Arm Mount [SO 203-3]		
	161.0	3	Andrew	VHLP2-18		
		3	Kathrein	840 10077 w/ Mount Pipe		
		3	Harris	ODU300ep		
152.0	154.0	3	RFS Celwave	APXVERR18-C w/ Mount Pipe	3	1-5/8 7/8
		3	Ericsson	AIR 6468 B41 w/ Mount Pipe		
		6	Ericsson	800MHZ SMR FILTER		
		3	Ericsson	RRUS 31 B25		
		3	Ericsson	RRUS-11 800MHZ		
	9	RFS Celwave	ACU-A20-N			
	152.0	1	Tower Mounts	Sector Mount [SM 1303-3]		
146.0	147.0	1	Trango Broadband	M900S-AP w/ Mount Pipe	4	1/4
	146.0	2	Trango Broadband	ATLAS5010-INT w/ Mount Pipe		
		2	Tower Mounts	Pipe Mount [PM 601-1]		
	145.0	1	Gabriel Electronics	QFD2-52-N		
136.0	140.0	3	Commscope	FFHH-65C-R3 w/ Mount Pipe	9	1-5/8
		3	Ericsson	AIR6449 B41_T-MOBILE w/ Mount Pipe		
		3	Ericsson	RADIO 4460 B2/B25 B66_TMO		
		3	Ericsson	Radio 4480_TMOV2		
	136.0	3	Site Pro 1	VFA12-HD-S Sector Mount		
126.0	126.0	3	Cellmax Technologies	CMA-UBTULBULBHH/6516/16/21/21 w/ Mount Pipe	1	1-1/2
		3	Fujitsu	TA08025-B604		
		3	Fujitsu	TA08025-B605		
		1	Raycap	RDIDC-9181-PF-48		
		1	Tower Mounts	Commscope MTC3975083 (3)		
120.0	120.0	9	Andrew	844G90VTA-SX	9	7/8
		1	Tower Mounts	Sector Mount [SM 307-3]		
110.0	112.0	1	Radiowaves	HP3-11	5	1/2
		1	Harris	ODU300ep		
	111.0	2	Andrew	VHLP2-11		
		2	Harris	ODU300ep		
	110.0	1	Andrew	VHLP2-11		
		1	Harris	ODU300ep		
		1	Dragonwave	HORIZON QUANTUM		
95.0	95.0	2	Tower Mounts	Side Arm Mount [SO 201-1]	4	1/2
		1	Radiowaves	HPLP1-23		
		1	Gabriel Electronics	HE3-107		
		2	Ceragon	FIBEAIR 1500P		
		2	Tower Mounts	Pipe Mount [PM 601-1]		

3) ANALYSIS PROCEDURE

Table 3 - Documents Provided

Document	Reference	Source
Geotechnical Report	1408399	CCISites
Tower Foundation Drawings	1330573	CCISites
Tower Manufacturer Drawings	1408404	CCISites

3.1) Analysis Method

tnxTower (version 8.1.1.0), a commercially available analysis software package, was used to create a three-dimensional model of the tower and calculate member stresses for various loading cases. Selected output from the analysis is included in Appendix A. When applicable, Crown Castle has calculated and provided the effective area for panel antennas using approved methods following the intent of the TIA-222 Standard.

3.2) Assumptions

- 1) The tower and structures were maintained in accordance with the TIA-222 Standard.
- 2) The configuration of antennas, transmission cables, mounts and other appurtenances are as specified in Tables 1 and 2, and the referenced drawings.

This analysis may be affected if any assumptions are not valid or have been made in error. Tower Engineering Professionals should be notified to determine the effect on the structural integrity of the tower.

4) ANALYSIS RESULTS

Table 4 - Section Capacity (Summary)

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (k)	ΦP_{allow} (k)	% Capacity	Pass / Fail
T1	180 - 160	Leg	ROHN 2.5 STD	2	-15.35	66.74	23.0	Pass
T2	160 - 140	Leg	ROHN 3 STD	38	-39.65	86.63	45.8	Pass
T3	140 - 120	Leg	ROHN 3 EH	68	-67.21	99.05	67.9	Pass
T4	120 - 100	Leg	ROHN 4 EH	89	-97.71	167.90	58.2	Pass
T5	100 - 80	Leg	ROHN 5 STD	110	-127.41	177.85	71.6	Pass
T6	80 - 60	Leg	ROHN 5 EH	131	-152.91	211.29	72.4	Pass
T7	60 - 40	Leg	ROHN 6 EHS	146	-179.54	256.27	70.1	Pass
T8	40 - 20	Leg	ROHN 6 X-STR	161	-205.41	318.93	64.4	Pass
T9	20 - 0	Leg	ROHN 6 EH	176	-230.19	318.94	72.2	Pass
T1	180 - 160	Diagonal	L1 3/4x1 3/4x3/16	9	-2.73	11.56	23.6	Pass
T2	160 - 140	Diagonal	L2x2x3/16	45	-3.24	10.22	31.7	Pass
T3	140 - 120	Diagonal	L2 1/2x2 1/2x1/4	72	-4.89	16.11	30.3	Pass
T4	120 - 100	Diagonal	L2 1/2x2 1/2x1/4	96	-5.54	12.42	44.6	Pass
T5	100 - 80	Diagonal	L3x3x1/4	117	-6.18	17.08	36.2	Pass
T6	80 - 60	Diagonal	L3 1/2x3 1/2x1/4	138	-6.74	18.92	35.6	Pass
T7	60 - 40	Diagonal	L3 1/2x3 1/2x1/4	153	-7.30	16.05	45.5	Pass
T8	40 - 20	Diagonal	L4x4x1/4	168	-7.68	20.47	37.5	Pass
T9	20 - 0	Diagonal	L4x4x1/4	183	-8.36	17.52	47.7	Pass

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (k)	ϕP_{allow} (k)	% Capacity	Pass / Fail
T1	180 - 160	Top Girt	L2x2x1/8	4	-0.15	4.20	3.6	Pass
T2	160 - 140	Top Girt	L2x2x1/8	40	-0.69	4.22	16.3	Pass
							Summary	
							Leg (T6)	72.4 Pass
							Diagonal (T9)	47.7 Pass
							Top Girt (T2)	16.3 Pass
							Bolt Checks	51.8 Pass
							RATING =	72.4 Pass

Table 5 - Tower Component Stresses vs. Capacity - LC7

Notes	Component	Elevation (ft)	% Capacity	Pass / Fail
1,2	Anchor Rods	-	40.2	Pass
1,2	Base Foundation Structural	-	9.1	Pass
1,2	Base Foundation Soil Interaction	-	49.8	Pass

Structure Rating (Max from all components) =	72.4%
---	--------------

Notes:

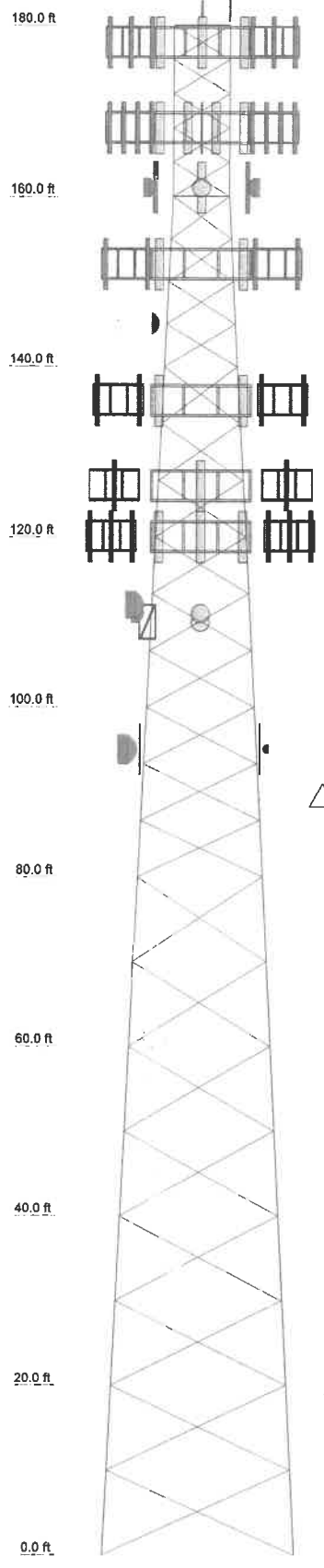
- 1) See additional documentation in "Appendix C - Additional Calculations" for calculations supporting the % capacity listed.
- 2) Rating per TIA-222-H Section 15.5.

4.1) Recommendations

- 1) The tower and its foundation have sufficient capacity to carry the proposed load configuration. No modifications are required at this time.

APPENDIX A
TNXTOWER OUTPUT

Section	T1	T2	T3	T4	T5	T6	T7	T8	T9
Legs	ROHN 2.5 STD	ROHN 3 STD	ROHN 3 EH	ROHN 4 EH	ROHN 5 STD	ROHN 5 EH	ROHN 6 EHS	ROHN 6 X-STR	ROHN 6 EH
Leg Grade					A572-50				
Diagonals	L1 3/4x1 3/4x3/16	L2x3/16	L2 1/2x2 1/2x1/4	L2 1/2x2 1/2x1/4	L3x3x1/4	L3 1/2x3 1/2x1/4	L3 1/2x3 1/2x1/4	L4x4x1/4	L4x4x1/4
Diagonal Grade			A36				A572-50		
Top Girts	L2x2x1/8					N.A.			
Face Width (ft)	6.64583	6.6875	6.6875	10.7604	12.8333	14.7708	16.8542	18.8542	20.8646
# Panels @ (ft)		4 @ 5		9 @ 6.66667			8 @ 10		
Weight (K)									



MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-50	50 ksi	65 ksi	A36	36 ksi	58 ksi

TOWER DESIGN NOTES

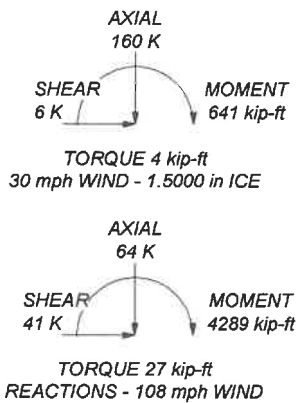
1. Tower is located in Clayton County, Georgia.
2. Tower designed for Exposure B to the TIA-222-H Standard.
3. Tower designed for a 108 mph basic wind in accordance with the TIA-222-H Standard.
4. Tower is also designed for a 30 mph basic wind with 1.50 in ice. Ice is considered to increase in thickness with height.
5. Deflections are based upon a 60 mph wind.
6. Tower Risk Category II.
7. Topographic Category 1 with Crest Height of 0'
8. TOWER RATING: 72.4%

ALL REACTIONS ARE FACTORED

MAX. CORNER REACTIONS AT BASE:

DOWN: 236 K
SHEAR: 26 K

UPLIFT: -192 K
SHEAR: 22 K



tnxTower Tower Engineering Professionals 326 Tryon Road Raleigh, NC 27603 Phone: (919) 661-6351 FAX: (919) 661-6350	Job Forest Park (Barnett Rd.) (BU 870443)	Page 1 of 29	Item #2.
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	Client Crown Castle	Designed by jfisher	

Tower Input Data

The main tower is a 3x free standing tower with an overall height of 180' above the ground line.
 The base of the tower is set at an elevation of 0' above the ground line.
 The face width of the tower is 6'7-3/4" at the top and 22'10-3/8" at the base.
 This tower is designed using the TIA-222-H standard.

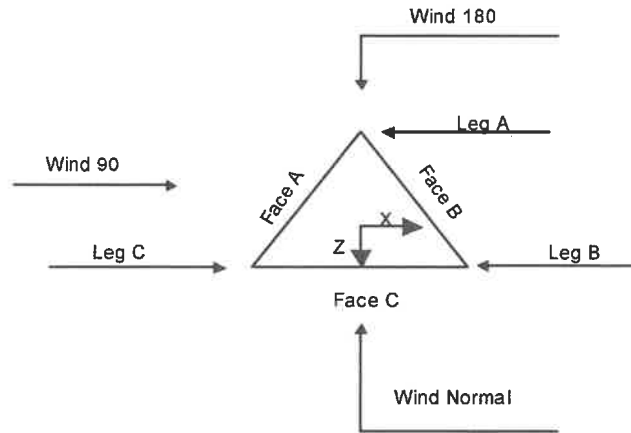
The following design criteria apply:

- Tower is located in Clayton County, Georgia.
- Tower base elevation above sea level: 979'.
- Basic wind speed of 108 mph.
- Risk Category II.
- Exposure Category B.
- Simplified Topographic Factor Procedure for wind speed-up calculations is used.
- Topographic Category: 1.
- Crest Height: 0'.
- Nominal ice thickness of 1.5000 in.
- Ice thickness is considered to increase with height.
- Ice density of 56 pcf.
- A wind speed of 30 mph is used in combination with ice.
- Temperature drop of 50 °F.
- Deflections calculated using a wind speed of 60 mph.
- Pressures are calculated at each section.
- Stress ratio used in tower member design is 1.
- Tower analysis based on target reliabilities in accordance with Annex S.
- Load Modification Factors used: $K_{es}(F_w) = 0.95$, $K_{es}(t_i) = 0.85$.
- Maximum demand-capacity ratio is: 1.05.
- Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

Options

- | | | |
|--|---|---|
| <ul style="list-style-type: none"> Consider Moments - Legs Consider Moments - Horizontals Consider Moments - Diagonals Use Moment Magnification √ Use Code Stress Ratios √ Use Code Safety Factors - Guys Escalate Ice Always Use Max Kz Use Special Wind Profile Include Bolts In Member Capacity Leg Bolts Are At Top Of Section √ Secondary Horizontal Braces Leg Use Diamond Inner Bracing (4 Sided) SR Members Have Cut Ends SR Members Are Concentric | <ul style="list-style-type: none"> Distribute Leg Loads As Uniform Assume Legs Pinned √ Assume Rigid Index Plate √ Use Clear Spans For Wind Area √ Use Clear Spans For KL/r Retension Guys To Initial Tension √ Bypass Mast Stability Checks √ Use Azimuth Dish Coefficients √ Project Wind Area of Appurt. Autocalc Torque Arm Areas Add IBC .6D+W Combination √ Sort Capacity Reports By Component Triangulate Diamond Inner Bracing Treat Feed Line Bundles As Cylinder Ignore KL/ry For 60 Deg. Angle Legs | <ul style="list-style-type: none"> Use ASCE 10 X-Brace Ly Rules √ Calculate Redundant Bracing Forces Ignore Redundant Members in FEA SR Leg Bolts Resist Compression All Leg Panels Have Same Allowable Offset Girt At Foundation √ Consider Feed Line Torque √ Include Angle Block Shear Check Use TIA-222-H Bracing Resist. Exemption Use TIA-222-H Tension Splice Exemption Poles Include Shear-Torsion Interaction Always Use Sub-Critical Flow Use Top Mounted Sockets Pole Without Linear Attachments Pole With Shroud Or No Appurtenances Outside and Inside Corner Radii Are Known |
|--|---|---|

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	Client Crown Castle	Designed by jfisher	



Triangular Tower

Tower Section Geometry

Tower Section	Tower Elevation	Assembly Database	Description	Section Width	Number of Sections	Section Length
	ft			ft		ft
T1	180'-160'			6'7-13/16"	1	20'
T2	160'-140'			6'8-9/32"	1	20'
T3	140'-120'			8'8-9/32"	1	20'
T4	120'-100'			10'9-1/8"	1	20'
T5	100'-80'			12'9-31/32"	1	20'
T6	80'-60'			14'9-1/4"	1	20'
T7	60'-40'			16'10-3/16"	1	20'
T8	40'-20'			18'10-3/16"	1	20'
T9	20'-0'			20'10-5/16"	1	20'

Tower Section Geometry (cont'd)

Tower Section	Tower Elevation	Diagonal Spacing	Bracing Type	Has K Brace End Panels	Has Horizontals	Top Girt Offset	Bottom Girt Offset
	ft	ft				in	in
T1	180'-160'	4'	X Brace	No	No	0.0000	0.0000
T2	160'-140'	5'	X Brace	No	No	0.0000	0.0000
T3	140'-120'	6'8-1/32"	X Brace	No	No	0.0000	0.0000
T4	120'-100'	6'8-1/32"	X Brace	No	No	0.0000	0.0000
T5	100'-80'	6'8-1/32"	X Brace	No	No	0.0000	0.0000
T6	80'-60'	10'	X Brace	No	No	0.0000	0.0000

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Tower Section	Tower Elevation <i>ft</i>	Diagonal Spacing <i>ft</i>	Bracing Type	Has K Brace End Panels	Has Horizontals	Top Girt Offset <i>in</i>	Bottom Girt Offset <i>in</i>
T7	60'-40'	10'	X Brace	No	No	0.0000	0.0000
T8	40'-20'	10'	X Brace	No	No	0.0000	0.0000
T9	20'-0'	10'	X Brace	No	No	0.0000	0.0000

Tower Section Geometry (cont'd)

Tower Elevation <i>ft</i>	Leg Type	Leg Size	Leg Grade	Diagonal Type	Diagonal Size	Diagonal Grade
T1 180'-160'	Pipe	ROHN 2.5 STD	A572-50 (50 ksi)	Equal Angle	L1 3/4x1 3/4x3/16	A36 (36 ksi)
T2 160'-140'	Pipe	ROHN 3 STD	A572-50 (50 ksi)	Equal Angle	L2x2x3/16	A36 (36 ksi)
T3 140'-120'	Pipe	ROHN 3 EH	A572-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x1/4	A36 (36 ksi)
T4 120'-100'	Pipe	ROHN 4 EH	A572-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x1/4	A36 (36 ksi)
T5 100'-80'	Pipe	ROHN 5 STD	A572-50 (50 ksi)	Equal Angle	L3x3x1/4	A572-50 (50 ksi)
T6 80'-60'	Pipe	ROHN 5 EH	A572-50 (50 ksi)	Equal Angle	L3 1/2x3 1/2x1/4	A572-50 (50 ksi)
T7 60'-40'	Pipe	ROHN 6 EHS	A572-50 (50 ksi)	Equal Angle	L3 1/2x3 1/2x1/4	A572-50 (50 ksi)
T8 40'-20'	Pipe	ROHN 6 X-STR	A572-50 (50 ksi)	Equal Angle	L4x4x1/4	A572-50 (50 ksi)
T9 20'-0'	Pipe	ROHN 6 EH	A572-50 (50 ksi)	Equal Angle	L4x4x1/4	A572-50 (50 ksi)

Tower Section Geometry (cont'd)

Tower Elevation <i>ft</i>	Top Girt Type	Top Girt Size	Top Girt Grade	Bottom Girt Type	Bottom Girt Size	Bottom Girt Grade
T1 180'-160'	Equal Angle	L2x2x1/8	A36 (36 ksi)	Equal Angle		A36 (36 ksi)
T2 160'-140'	Equal Angle	L2x2x1/8	A36 (36 ksi)	Equal Angle		A36 (36 ksi)

Tower Section Geometry (cont'd)

Tower Elevation <i>ft</i>	Gusset Area (per face) <i>ft²</i>	Gusset Thickness <i>in</i>	Gusset Grade	Adjust. Factor <i>A_f</i>	Adjust. Factor <i>A_r</i>	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals <i>in</i>	Double Angle Stitch Bolt Spacing Horizontal <i>in</i>	Double Angle Stitch Bolt Spacing Redundants <i>in</i>
T1 180'-160'	0.00	0.2500	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt

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Tower Elevation	Gusset Area (per face)	Gusset Thickness	Gusset Grade	Adjust. Factor A_f	Adjust. Factor A_r	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals	Double Angle Stitch Bolt Spacing Horizontals	Double Angle Stitch Bolt Spacing Redundants
ft	ft ²	in					in	in	in
T2 160'-140'	0.00	0.2500	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T3 140'-120'	0.00	0.2500	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T4 120'-100'	0.00	0.2500	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T5 100'-80'	0.00	0.2500	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T6 80'-60'	0.00	0.3750	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T7 60'-40'	0.00	0.3750	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T8 40'-20'	0.00	0.3750	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt
T9 20'-0'	0.00	0.3750	A36 (36 ksi)	1.03	1	1.05	Mid-Pt	Mid-Pt	Mid-Pt

Tower Section Geometry (cont'd)

Tower Elevation	Calc K Single Angles	Calc K Solid Rounds	Legs	K Factors ¹							
				X Brace Diags	K Brace Diags	Single Diags	Girts	Horiz.	Sec. Horiz.	Inner Brace	
				X Y	X Y	X Y	X Y	X Y	X Y	X Y	
T1 180'-160'	Yes	Yes	1	1	1	1	1	1	1	1	1
T2 160'-140'	Yes	Yes	1	1	1	1	1	1	1	1	1
T3 140'-120'	Yes	Yes	1	1	1	1	1	1	1	1	1
T4 120'-100'	Yes	Yes	1	1	1	1	1	1	1	1	1
T5 100'-80'	Yes	Yes	1	1	1	1	1	1	1	1	1
T6 80'-60'	Yes	Yes	1	1	1	1	1	1	0.5	1	1
T7 60'-40'	Yes	Yes	1	1	1	1	1	1	0.5	1	1
T8 40'-20'	Yes	Yes	1	1	1	1	1	1	0.5	1	1
T9 20'-0'	Yes	Yes	1	1	1	1	1	1	0.5	1	1

¹Note: K factors are applied to member segment lengths. K-braces without inner supporting members will have the K factor in the out-of-plane direction applied to the overall length.

Tower Section Geometry (cont'd)

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Tower Elevation ft	Leg		Diagonal		Top Girt		Bottom Girt		Mid Girt		Long Horizontal		Short Horizontal	
	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U
T1 180'-160'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T2 160'-140'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T3 140'-120'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T4 120'-100'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T5 100'-80'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T6 80'-60'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T7 60'-40'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T8 40'-20'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T9 20'-0'	0.0000	1	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75

Tower Elevation ft	Redundant Horizontal		Redundant Diagonal		Redundant Sub-Diagonal		Redundant Sub-Horizontal		Redundant Vertical		Redundant Hip		Redundant Hip Diagonal	
	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U
T1 180'-160'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T2 160'-140'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T3 140'-120'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T4 120'-100'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T5 100'-80'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T6 80'-60'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T7 60'-40'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0500	0.75	0.0000	0.75
T8 40'-20'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75
T9 20'-0'	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75	0.0000	0.75

Tower Section Geometry (cont'd)

Tower Elevation ft	Leg Connection Type	Leg		Diagonal		Top Girt		Bottom Girt		Mid Girt		Long Horizontal		Short Horizontal	
		Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.
T1 180'-160'	Flange	0.7500	4	0.6250	1	0.6250	1	0.7500	0	0.6250	0	0.6250	0	0.6250	0
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T2 160'-140'	Flange	0.8750	4	0.6250	1	0.6250	1	0.7500	0	0.6250	0	0.6250	0	0.6250	0
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T3 140'-120'	Flange	0.8750	4	0.6250	1	0.6250	0	0.7500	0	0.6250	0	0.6250	0	0.6250	0
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T4 120'-100'	Flange	1.0000	4	0.6250	1	0.6250	0	0.7500	0	0.6250	0	0.6250	0	0.6250	0
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T5 100'-80'	Flange	1.0000	4	0.6250	1	0.6250	0	0.7500	0	0.6250	0	0.6250	0	0.6250	1
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T6 80'-60'	Flange	1.0000	6	0.7500	1	0.6250	0	0.7500	0	0.6250	0	0.6250	0	0.6250	1
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T7 60'-40'	Flange	1.0000	6	0.7500	1	0.6250	0	0.7500	0	0.6250	0	0.6250	0	0.6250	1
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	
T8 40'-20'	Flange	1.0000	6	0.7500	1	0.6250	0	0.7500	0	0.6250	0	0.6250	0	0.6250	1
		A325X		A325X		A325X		A325X		A325N		A325X		A325N	

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Tower Elevation ft	Leg Connection Type	Leg		Diagonal		Top Girt		Bottom Girt		Mid Girt		Long Horizontal		Short Horizontal	
		Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.
T9 20'-0"	Flange	1.0000 A354-BC	0	0.7500 A325X	1	0.6250 A325X	0	0.7500 A325X	0	0.6250 A325N	0	0.6250 A325X	0	0.6250 A325N	1

Feed Line/Linear Appurtenances - Entered As Round Or Flat

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Face Offset in	Lateral Offset (Frac FW)	# Row	# Per Row	Clear Spacing in	Width or Diameter in	Perimeter in	Weight plf
*** A-Face ***													
1/2" dia. coax LDF5-50A(7/8)	A	No	No	Ar (CaAa)	95' - 0'	-3.0000	-0.48	4	2	0.5000	0.5000		0.15
1/2" dia. coax LDF7-50A(1-5/8)	A	No	No	Ar (CaAa)	120' - 58"	0.0000	-0.4	9	9	0.5000	1.0900		0.33
SFX 500(1/2) Feedline Ladder (Af)	A	No	No	Ar (CaAa)	162' - 0'	0.0000	0.1	9	4	0.5000	0.5000		0.15
Step Pegs (5/8" SR) 7-in. w/30" step Safety Line 3/8	A	No	No	Ar (CaAa)	178' - 0'	0.0000	0	8	8	0.5000	1.9800		0.82
	A	No	No	Af (CaAa)	125' - 0'	0.0000	-0.4	1	1	0.5000	3.0000		8.40
	A	No	No	Af (CaAa)	180' - 0'	0.0000	0	1	1	0.5000	3.0000		8.40
	A	No	No	Ar (CaAa)	180' - 0'	0.0000	0.5	1	1	0.3500	0.3500		0.49
	A	No	No	Ar (CaAa)	180' - 0'	0.0000	0.5	1	1	0.3750	0.3750		0.22
*** B-Face ***													
CAT5E(1/4) LDF7-50A(1-5/8)	B	No	No	Ar (CaAa)	146' - 0'	0.0000	-0.4	4	4	0.2600	0.2600		0.04
LDF7-50A(1-5/8)	B	No	No	Ar (CaAa)	136' - 0'	0.0000	-0.3	9	6	0.5000	1.9800		0.82
LDF7-50A(1-5/8)	B	No	No	Ar (CaAa)	168' - 0'	0.0000	0.05	9	5	0.5000	1.9800		0.82
LDF7-50A(1-5/8)	B	No	No	Ar (CaAa)	168' - 0'	0.0000	0	2	2	0.5000	1.9800		0.82
WR-VG86ST-BRDA(7/8)	B	No	No	Ar (CaAa)	168' - 0'	0.0000	0.02	3	1	0.5000	0.8800		0.68
WR-VG86ST-BRDA(7/8)	B	No	No	Ar (CaAa)	168' - 0'	0.0000	-0.02	2	1	0.5000	0.8800		0.68
WR-VG86ST-BRDA(7/8)	B	No	No	Ar (CaAa)	168' - 0'	0.0000	-0.03	2	2	0.5000	0.8800		0.68
FB-L98B-002-100000(3/8)	B	No	No	Ar (CaAa)	168' - 0'	1.2500	-0.032	2	1	0.3937	0.3937		0.06
WR-CAT5E1 0P(1) 860	B	No	No	Ar (CaAa)	168' - 0'	3.0000	0	2	2	0.5000	1.0110		0.41
10033(3/8)	B	No	No	Ar (CaAa)	168' - 0'	2.3500	-0.02	1	1	0.3150	0.3150		0.00
FB-L98B-002-100000(3/8)	B	No	No	Ar (CaAa)	168' - 0'	0.0000	-0.0249	3	1	0.3937	0.3937		0.06
Feedline Ladder (Af)	B	No	No	Af (CaAa)	146' - 0'	0.0000	-0.35	1	1	0.5000	3.0000		8.40
Feedline Ladder (Af)	B	No	No	Af (CaAa)	168' - 0'	0.0000	0	1	1	0.5000	3.0000		8.40

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Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Face Offset in	Lateral Offset (Frac FW)	#	# Per Row	Clear Spacing in	Width or Diameter in	Perimeter in	Weight plf
Step Pegs (5/8" SR) 7-in. w/30" step *** C-Face	B	No	No	Ar (CaAa)	80' - 0'	0.0000	0.5	1	1	0.3500	0.3500		0.49
942-98888-1F XXX(1-5/8)	C	No	No	Ar (CaAa)	152' - 0'	0.0000	0.04	1	1	0.5000	1.7000		2.33
HB078-1-08U 3-M3J(7/8)	C	No	No	Ar (CaAa)	152' - 0'	0.0000	0.07	3	3	0.5000	1.0900		0.78
CU12PSM9P6 XXX(1-1/2)	C	No	No	Ar (CaAa)	126' - 0'	0.0000	0.44	1	1	0.5000	1.6000		2.35
Feedline Ladder (Af)	C	No	No	Af (CaAa)	152' - 0'	0.0000	0.05	1	1	0.5000	3.0000		8.40
Feedline Ladder (Af)	C	No	No	Af (CaAa)	129' - 0'	0.0000	0.45	1	1	0.5000	3.0000		8.40
Step Pegs (5/8" SR) 7-in. w/30" step ***	C	No	No	Ar (CaAa)	80' - 0'	0.0000	0.5	1	1	0.3500	0.3500		0.49

Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	CAAA ft ² /ft	Weight plf

Feed Line/Linear Appurtenances Section Areas

Tower Section	Tower Elevation ft	Face	A _R ft ²	A _F ft ²	CAAA In Face ft ²	CAAA Out Face ft ²	Weight K
T1	180'-160'	A	0.000	0.000	40.862	0.000	0.30
		B	0.000	0.000	29.796	0.000	0.19
		C	0.000	0.000	0.000	0.000	0.00
T2	160'-140'	A	0.000	0.000	52.130	0.000	0.34
		B	0.000	0.000	78.115	0.000	0.52
		C	0.000	0.000	11.964	0.000	0.16
T3	140'-120'	A	0.000	0.000	54.630	0.000	0.38
		B	0.000	0.000	115.083	0.000	0.76
		C	0.000	0.000	25.400	0.000	0.35
T4	120'-100'	A	0.000	0.000	84.000	0.000	0.57
		B	0.000	0.000	122.211	0.000	0.78
		C	0.000	0.000	33.140	0.000	0.48
T5	100'-80'	A	0.000	0.000	89.250	0.000	0.58
		B	0.000	0.000	122.211	0.000	0.78
		C	0.000	0.000	33.140	0.000	0.48
T6	80'-60'	A	0.000	0.000	90.250	0.000	0.59
		B	0.000	0.000	122.911	0.000	0.79
		C	0.000	0.000	33.840	0.000	0.49

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Tower Section	Tower Elevation ft	Face	A _R ft ²	A _F ft ²	C _{AA} In Face ft ²	C _{AA} Out Face ft ²	Weight K
T7	60'-40'	A	0.000	0.000	72.592	0.000	0.53
		B	0.000	0.000	122.911	0.000	0.79
		C	0.000	0.000	33.840	0.000	0.49
T8	40'-20'	A	0.000	0.000	70.630	0.000	0.53
		B	0.000	0.000	122.911	0.000	0.79
		C	0.000	0.000	33.840	0.000	0.49
T9	20'-0'	A	0.000	0.000	70.630	0.000	0.53
		B	0.000	0.000	122.911	0.000	0.79
		C	0.000	0.000	33.840	0.000	0.49

Feed Line/Linear Appurtenances Section Areas - With Ice

Tower Section	Tower Elevation ft	Face or Leg	Ice Thickness in	A _R ft ²	A _F ft ²	C _{AA} In Face ft ²	C _{AA} Out Face ft ²	Weight K
T1	180'-160'	A	1.502	0.000	0.000	83.116	0.000	1.24
		B		0.000	0.000	73.728	0.000	1.01
		C		0.000	0.000	0.000	0.000	0.00
T2	160'-140'	A	1.483	0.000	0.000	107.543	0.000	1.52
		B		0.000	0.000	192.245	0.000	2.64
		C		0.000	0.000	27.605	0.000	0.46
T3	140'-120'	A	1.462	0.000	0.000	110.978	0.000	1.59
		B		0.000	0.000	249.564	0.000	3.51
		C		0.000	0.000	55.544	0.000	0.96
T4	120'-100'	A	1.438	0.000	0.000	174.645	0.000	2.40
		B		0.000	0.000	257.011	0.000	3.60
		C		0.000	0.000	70.043	0.000	1.26
T5	100'-80'	A	1.410	0.000	0.000	194.512	0.000	2.54
		B		0.000	0.000	254.701	0.000	3.53
		C		0.000	0.000	69.392	0.000	1.24
T6	80'-60'	A	1.375	0.000	0.000	196.625	0.000	2.52
		B		0.000	0.000	258.071	0.000	3.52
		C		0.000	0.000	74.793	0.000	1.28
T7	60'-40'	A	1.329	0.000	0.000	156.410	0.000	2.04
		B		0.000	0.000	254.215	0.000	3.41
		C		0.000	0.000	73.575	0.000	1.24
T8	40'-20'	A	1.263	0.000	0.000	149.364	0.000	1.91
		B		0.000	0.000	248.608	0.000	3.25
		C		0.000	0.000	71.803	0.000	1.19
T9	20'-0'	A	1.132	0.000	0.000	143.767	0.000	1.75
		B		0.000	0.000	237.495	0.000	2.95
		C		0.000	0.000	68.288	0.000	1.10

Feed Line Center of Pressure

Section	Elevation ft	CP _X in	CP _Z in	CP _X Ice in	CP _Z Ice in
T1	180'-160'	-0.2415	-5.8191	1.4005	-7.9202
T2	160'-140'	2.8053	-7.2228	5.0850	-9.1327
T3	140'-120'	2.2032	-11.7358	4.2602	-12.7031
T4	120'-100'	-2.9989	-9.7075	-1.1165	-10.5981
T5	100'-80'	-4.0203	-10.0716	-2.6902	-11.1812
T6	80'-60'	-4.8692	-11.0632	-3.4759	-11.1865

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Section	Elevation	CP _x	CP _z	CP _x Ice	CP _z Ice
	ft	in	in	in	in
T7	60'-40'	-2.5060	-14.8139	-1.2474	-14.9696
T8	40'-20'	-2.2781	-15.6554	-1.0710	-16.2725
T9	20'-0'	-2.4392	-16.6857	-1.2004	-17.4704

Shielding Factor Ka

Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T1	4	1/2" dia. coax	160.00 - 162.00	0.6000	0.6000
T1	5	LDF7-50A(1-5/8)	160.00 - 178.00	0.6000	0.6000
T1	8	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T1	9	Step Pegs (5/8" SR) 7-in. w/30" step	160.00 - 180.00	0.6000	0.6000
T1	10	Safety Line 3/8	160.00 - 180.00	0.6000	0.6000
T1	14	LDF7-50A(1-5/8)	160.00 - 168.00	0.6000	0.6000
T1	15	LDF7-50A(1-5/8)	160.00 - 168.00	0.6000	0.6000
T1	16	WR-VG86ST-BRDA(7/8)	160.00 - 168.00	0.6000	0.6000
T1	17	WR-VG86ST-BRDA(7/8)	160.00 - 168.00	0.6000	0.6000
T1	18	WR-VG86ST-BRDA(7/8)	160.00 - 168.00	0.6000	0.6000
T1	19	FB-L98B-002-100000(3/8)	160.00 - 168.00	0.6000	0.6000
T1	20	WR-CAT5E10P(1)	160.00 - 168.00	0.6000	0.6000
T1	21	860 10033(3/8)	160.00 - 168.00	0.6000	0.6000
T1	22	FB-L98B-002-100000(3/8)	160.00 - 168.00	0.6000	0.6000
T1	24	Feedline Ladder (Af)	160.00 - 168.00	0.6000	0.6000
T2	4	1/2" dia. coax	140.00 - 160.00	0.6000	0.6000
T2	5	LDF7-50A(1-5/8)	140.00 - 160.00	0.6000	0.6000
T2	8	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000
T2	9	Step Pegs (5/8" SR) 7-in. w/30" step	140.00 - 160.00	0.6000	0.6000
T2	10	Safety Line 3/8	140.00 - 160.00	0.6000	0.6000
T2	12	CAT5E(1/4)	140.00 - 146.00	0.6000	0.6000
T2	14	LDF7-50A(1-5/8)	140.00 - 160.00	0.6000	0.6000
T2	15	LDF7-50A(1-5/8)	140.00 - 160.00	0.6000	0.6000
T2	16	WR-VG86ST-BRDA(7/8)	140.00 -	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T2	17	WR-VG86ST-BRDA(7/8)	160.00 140.00 -	0.6000	0.6000
T2	18	WR-VG86ST-BRDA(7/8)	160.00 140.00 -	0.6000	0.6000
T2	19	FB-L98B-002-100000(3/8)	160.00 140.00 -	0.6000	0.6000
T2	20	WR-CAT5E10P(1)	160.00 140.00 -	0.6000	0.6000
T2	21	860 10033(3/8)	160.00 140.00 -	0.6000	0.6000
T2	22	FB-L98B-002-100000(3/8)	160.00 140.00 -	0.6000	0.6000
T2	23	Feedline Ladder (Af)	160.00 140.00 -	0.6000	0.6000
T2	24	Feedline Ladder (Af)	146.00 140.00 -	0.6000	0.6000
T2	27	942-98888-1FXXX(1-5/8)	160.00 140.00 -	0.6000	0.6000
T2	28	HB078-1-08U3-M3J(7/8)	152.00 140.00 -	0.6000	0.6000
T2	30	Feedline Ladder (Af)	152.00 140.00 -	0.6000	0.6000
T3	4	1/2" dia. coax	120.00 - 140.00	0.6000	0.6000
T3	5	LDF7-50A(1-5/8)	120.00 - 140.00	0.6000	0.6000
T3	7	Feedline Ladder (Af)	120.00 - 125.00	0.6000	0.6000
T3	8	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T3	9	Step Pegs (5/8" SR) 7-in. w/30" step	120.00 - 140.00	0.6000	0.6000
T3	10	Safety Line 3/8	120.00 - 140.00	0.6000	0.6000
T3	12	CAT5E(1/4)	120.00 - 140.00	0.6000	0.6000
T3	13	LDF7-50A(1-5/8)	120.00 - 136.00	0.6000	0.6000
T3	14	LDF7-50A(1-5/8)	120.00 - 140.00	0.6000	0.6000
T3	15	LDF7-50A(1-5/8)	120.00 - 140.00	0.6000	0.6000
T3	16	WR-VG86ST-BRDA(7/8)	120.00 - 140.00	0.6000	0.6000
T3	17	WR-VG86ST-BRDA(7/8)	120.00 - 140.00	0.6000	0.6000
T3	18	WR-VG86ST-BRDA(7/8)	120.00 - 140.00	0.6000	0.6000
T3	19	FB-L98B-002-100000(3/8)	120.00 - 140.00	0.6000	0.6000
T3	20	WR-CAT5E10P(1)	120.00 - 140.00	0.6000	0.6000
T3	21	860 10033(3/8)	120.00 - 140.00	0.6000	0.6000
T3	22	FB-L98B-002-100000(3/8)	120.00 - 140.00	0.6000	0.6000
T3	23	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T3	24	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T3	27	942-98888-1FXXX(1-5/8)	120.00 -	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T3	28	HB078-1-08U3-M3J(7/8)	140.00 120.00 -	0.6000	0.6000
T3	29	CU12PSM9P6XXX(1-1/2)	140.00 120.00 -	0.6000	0.6000
T3	30	Feedline Ladder (Af)	126.00 120.00 -	0.6000	0.6000
T3	31	Feedline Ladder (Af)	140.00 120.00 -	0.6000	0.6000
T4	3	LDF5-50A(7/8)	129.00 100.00 -	0.6000	0.6000
T4	4	1/2" dia. coax	120.00 100.00 -	0.6000	0.6000
T4	5	LDF7-50A(1-5/8)	120.00 100.00 -	0.6000	0.6000
T4	6	SFX 500(1/2)	120.00 100.00 -	0.6000	0.6000
T4	7	Feedline Ladder (Af)	110.00 100.00 -	0.6000	0.6000
T4	8	Feedline Ladder (Af)	120.00 100.00 -	0.6000	0.6000
T4	9	Step Pegs (5/8" SR) 7-in. w/30" step	120.00 100.00 -	0.6000	0.6000
T4	10	Safety Line 3/8	120.00 100.00 -	0.6000	0.6000
T4	12	CAT5E(1/4)	120.00 100.00 -	0.6000	0.6000
T4	13	LDF7-50A(1-5/8)	120.00 100.00 -	0.6000	0.6000
T4	14	LDF7-50A(1-5/8)	120.00 100.00 -	0.6000	0.6000
T4	15	LDF7-50A(1-5/8)	120.00 100.00 -	0.6000	0.6000
T4	16	WR-VG86ST-BRDA(7/8)	120.00 100.00 -	0.6000	0.6000
T4	17	WR-VG86ST-BRDA(7/8)	120.00 100.00 -	0.6000	0.6000
T4	18	WR-VG86ST-BRDA(7/8)	120.00 100.00 -	0.6000	0.6000
T4	19	FB-L98B-002-100000(3/8)	120.00 100.00 -	0.6000	0.6000
T4	20	WR-CAT5E10P(1)	120.00 100.00 -	0.6000	0.6000
T4	21	860 10033(3/8)	120.00 100.00 -	0.6000	0.6000
T4	22	FB-L98B-002-100000(3/8)	120.00 100.00 -	0.6000	0.6000
T4	23	Feedline Ladder (Af)	120.00 100.00 -	0.6000	0.6000
T4	24	Feedline Ladder (Af)	120.00 100.00 -	0.6000	0.6000
T4	27	942-98888-1FXXX(1-5/8)	120.00 100.00 -	0.6000	0.6000
T4	28	HB078-1-08U3-M3J(7/8)	120.00 100.00 -	0.6000	0.6000
T4	29	CU12PSM9P6XXX(1-1/2)	120.00 100.00 -	0.6000	0.6000
T4	30	Feedline Ladder (Af)	120.00 100.00 -	0.6000	0.6000
T4	31	Feedline Ladder (Af)	120.00 100.00 -	0.6000	0.6000
T5	2	1/2" dia. coax	80.00 - 95.00	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T5	3	LDF5-50A(7/8)	80.00 - 100.00	0.6000	0.6000
T5	4	1/2" dia. coax	80.00 - 100.00	0.6000	0.6000
T5	5	LDF7-50A(1-5/8)	80.00 - 100.00	0.6000	0.6000
T5	6	SFX 500(1/2)	80.00 - 100.00	0.6000	0.6000
T5	7	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T5	8	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T5	9	Step Pegs (5/8" SR) 7-in. w/30" step	80.00 - 100.00	0.6000	0.6000
T5	10	Safety Line 3/8	80.00 - 100.00	0.6000	0.6000
T5	12	CAT5E(1/4)	80.00 - 100.00	0.6000	0.6000
T5	13	LDF7-50A(1-5/8)	80.00 - 100.00	0.6000	0.6000
T5	14	LDF7-50A(1-5/8)	80.00 - 100.00	0.6000	0.6000
T5	15	LDF7-50A(1-5/8)	80.00 - 100.00	0.6000	0.6000
T5	16	WR-VG86ST-BRDA(7/8)	80.00 - 100.00	0.6000	0.6000
T5	17	WR-VG86ST-BRDA(7/8)	80.00 - 100.00	0.6000	0.6000
T5	18	WR-VG86ST-BRDA(7/8)	80.00 - 100.00	0.6000	0.6000
T5	19	FB-L98B-002-100000(3/8)	80.00 - 100.00	0.6000	0.6000
T5	20	WR-CAT5E10P(1)	80.00 - 100.00	0.6000	0.6000
T5	21	860 10033(3/8)	80.00 - 100.00	0.6000	0.6000
T5	22	FB-L98B-002-100000(3/8)	80.00 - 100.00	0.6000	0.6000
T5	23	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T5	24	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T5	27	942-98888-1FXXX(1-5/8)	80.00 - 100.00	0.6000	0.6000
T5	28	HB078-1-08U3-M3J(7/8)	80.00 - 100.00	0.6000	0.6000
T5	29	CU12PSM9P6XXX(1-1/2)	80.00 - 100.00	0.6000	0.6000
T5	30	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T5	31	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T6	2	1/2" dia. coax	60.00 - 80.00	0.6000	0.6000
T6	3	LDF5-50A(7/8)	60.00 - 80.00	0.6000	0.6000
T6	4	1/2" dia. coax	60.00 - 80.00	0.6000	0.6000
T6	5	LDF7-50A(1-5/8)	60.00 - 80.00	0.6000	0.6000
T6	6	SFX 500(1/2)	60.00 - 80.00	0.6000	0.6000
T6	7	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T6	8	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T6	9	Step Pegs (5/8" SR) 7-in. w/30" step	60.00 - 80.00	0.6000	0.6000
T6	10	Safety Line 3/8	60.00 - 80.00	0.6000	0.6000
T6	12	CAT5E(1/4)	60.00 - 80.00	0.6000	0.6000
T6	13	LDF7-50A(1-5/8)	60.00 - 80.00	0.6000	0.6000
T6	14	LDF7-50A(1-5/8)	60.00 - 80.00	0.6000	0.6000
T6	15	LDF7-50A(1-5/8)	60.00 - 80.00	0.6000	0.6000
T6	16	WR-VG86ST-BRDA(7/8)	60.00 - 80.00	0.6000	0.6000
T6	17	WR-VG86ST-BRDA(7/8)	60.00 - 80.00	0.6000	0.6000
T6	18	WR-VG86ST-BRDA(7/8)	60.00 - 80.00	0.6000	0.6000
T6	19	FB-L98B-002-100000(3/8)	60.00 - 80.00	0.6000	0.6000
T6	20	WR-CAT5E10P(1)	60.00 - 80.00	0.6000	0.6000
T6	21	860 10033(3/8)	60.00 - 80.00	0.6000	0.6000
T6	22	FB-L98B-002-100000(3/8)	60.00 - 80.00	0.6000	0.6000
T6	23	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T6	24	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T6	25	Step Pegs (5/8" SR) 7-in. w/30" step	60.00 - 80.00	0.6000	0.6000
T6	27	942-98888-1FXXX(1-5/8)	60.00 - 80.00	0.6000	0.6000
T6	28	HB078-1-08U3-M3J(7/8)	60.00 - 80.00	0.6000	0.6000
T6	29	CU12PSM9P6XXX(1-1/2)	60.00 - 80.00	0.6000	0.6000
T6	30	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T6	31	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T6	32	Step Pegs (5/8" SR) 7-in. w/30" step	60.00 - 80.00	0.6000	0.6000
T7	2	1/2" dia. coax	40.00 - 60.00	0.6000	0.6000
T7	3	LDF5-50A(7/8)	58.00 - 60.00	0.6000	0.6000
T7	4	1/2" dia. coax	40.00 - 60.00	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T7	5	LDF7-50A(1-5/8)	40.00 - 60.00	0.6000	0.6000
T7	6	SFX 500(1/2)	40.00 - 60.00	0.6000	0.6000
T7	7	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T7	8	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T7	9	Step Pegs (5/8" SR) 7-in. w/30" step	40.00 - 60.00	0.6000	0.6000
T7	10	Safety Line 3/8	40.00 - 60.00	0.6000	0.6000
T7	12	CAT5E(1/4)	40.00 - 60.00	0.6000	0.6000
T7	13	LDF7-50A(1-5/8)	40.00 - 60.00	0.6000	0.6000
T7	14	LDF7-50A(1-5/8)	40.00 - 60.00	0.6000	0.6000
T7	15	LDF7-50A(1-5/8)	40.00 - 60.00	0.6000	0.6000
T7	16	WR-VG86ST-BRDA(7/8)	40.00 - 60.00	0.6000	0.6000
T7	17	WR-VG86ST-BRDA(7/8)	40.00 - 60.00	0.6000	0.6000
T7	18	WR-VG86ST-BRDA(7/8)	40.00 - 60.00	0.6000	0.6000
T7	19	FB-L98B-002-100000(3/8)	40.00 - 60.00	0.6000	0.6000
T7	20	WR-CAT5E10P(1)	40.00 - 60.00	0.6000	0.6000
T7	21	860 10033(3/8)	40.00 - 60.00	0.6000	0.6000
T7	22	FB-L98B-002-100000(3/8)	40.00 - 60.00	0.6000	0.6000
T7	23	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T7	24	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T7	25	Step Pegs (5/8" SR) 7-in. w/30" step	40.00 - 60.00	0.6000	0.6000
T7	27	942-98888-1FXXX(1-5/8)	40.00 - 60.00	0.6000	0.6000
T7	28	HB078-1-08U3-M3J(7/8)	40.00 - 60.00	0.6000	0.6000
T7	29	CU12PSM9P6XXX(1-1/2)	40.00 - 60.00	0.6000	0.6000
T7	30	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T7	31	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T7	32	Step Pegs (5/8" SR) 7-in. w/30" step	40.00 - 60.00	0.6000	0.6000
T8	2	1/2" dia. coax	20.00 - 40.00	0.6000	0.6000
T8	4	1/2" dia. coax	20.00 - 40.00	0.6000	0.6000
T8	5	LDF7-50A(1-5/8)	20.00 - 40.00	0.6000	0.6000
T8	6	SFX 500(1/2)	20.00 - 40.00	0.6000	0.6000
T8	7	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T8	8	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T8	9	Step Pegs (5/8" SR) 7-in. w/30" step	20.00 - 40.00	0.6000	0.6000
T8	10	Safety Line 3/8	20.00 - 40.00	0.6000	0.6000
T8	12	CAT5E(1/4)	20.00 - 40.00	0.6000	0.6000
T8	13	LDF7-50A(1-5/8)	20.00 - 40.00	0.6000	0.6000
T8	14	LDF7-50A(1-5/8)	20.00 - 40.00	0.6000	0.6000
T8	15	LDF7-50A(1-5/8)	20.00 - 40.00	0.6000	0.6000
T8	16	WR-VG86ST-BRDA(7/8)	20.00 - 40.00	0.6000	0.6000
T8	17	WR-VG86ST-BRDA(7/8)	20.00 - 40.00	0.6000	0.6000
T8	18	WR-VG86ST-BRDA(7/8)	20.00 - 40.00	0.6000	0.6000
T8	19	FB-L98B-002-100000(3/8)	20.00 - 40.00	0.6000	0.6000
T8	20	WR-CAT5E10P(1)	20.00 - 40.00	0.6000	0.6000
T8	21	860 10033(3/8)	20.00 - 40.00	0.6000	0.6000
T8	22	FB-L98B-002-100000(3/8)	20.00 - 40.00	0.6000	0.6000
T8	23	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T8	24	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T8	25	Step Pegs (5/8" SR) 7-in. w/30" step	20.00 - 40.00	0.6000	0.6000
T8	27	942-98888-1FXXX(1-5/8)	20.00 - 40.00	0.6000	0.6000
T8	28	HB078-1-08U3-M3J(7/8)	20.00 - 40.00	0.6000	0.6000
T8	29	CU12PSM9P6XXX(1-1/2)	20.00 - 40.00	0.6000	0.6000
T8	30	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T8	31	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T8	32	Step Pegs (5/8" SR) 7-in. w/30" step	20.00 - 40.00	0.6000	0.6000
T9	2	1/2" dia. coax	0.00 - 20.00	0.6000	0.6000
T9	4	1/2" dia. coax	0.00 - 20.00	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T9	5	LDF7-50A(1-5/8)	0.00 - 20.00	0.6000	0.6000
T9	6	SFX 500(1/2)	0.00 - 20.00	0.6000	0.6000
T9	7	Feedline Ladder (Af)	0.00 - 20.00	0.6000	0.6000
T9	8	Feedline Ladder (Af)	0.00 - 20.00	0.6000	0.6000
T9	9	Step Pegs (5/8" SR) 7-in. w/30" step	0.00 - 20.00	0.6000	0.6000
T9	10	Safety Line 3/8	0.00 - 20.00	0.6000	0.6000
T9	12	CAT5E(1/4)	0.00 - 20.00	0.6000	0.6000
T9	13	LDF7-50A(1-5/8)	0.00 - 20.00	0.6000	0.6000
T9	14	LDF7-50A(1-5/8)	0.00 - 20.00	0.6000	0.6000
T9	15	LDF7-50A(1-5/8)	0.00 - 20.00	0.6000	0.6000
T9	16	WR-VG86ST-BRDA(7/8)	0.00 - 20.00	0.6000	0.6000
T9	17	WR-VG86ST-BRDA(7/8)	0.00 - 20.00	0.6000	0.6000
T9	18	WR-VG86ST-BRDA(7/8)	0.00 - 20.00	0.6000	0.6000
T9	19	FB-L98B-002-100000(3/8)	0.00 - 20.00	0.6000	0.6000
T9	20	WR-CAT5E10P(1)	0.00 - 20.00	0.6000	0.6000
T9	21	860 10033(3/8)	0.00 - 20.00	0.6000	0.6000
T9	22	FB-L98B-002-100000(3/8)	0.00 - 20.00	0.6000	0.6000
T9	23	Feedline Ladder (Af)	0.00 - 20.00	0.6000	0.6000
T9	24	Feedline Ladder (Af)	0.00 - 20.00	0.6000	0.6000
T9	25	Step Pegs (5/8" SR) 7-in. w/30" step	0.00 - 20.00	0.6000	0.6000
T9	27	942-98888-1FXXX(1-5/8)	0.00 - 20.00	0.6000	0.6000
T9	28	HB078-1-08U3-M3J(7/8)	0.00 - 20.00	0.6000	0.6000
T9	29	CU12PSM9P6XXX(1-1/2)	0.00 - 20.00	0.6000	0.6000
T9	30	Feedline Ladder (Af)	0.00 - 20.00	0.6000	0.6000
T9	31	Feedline Ladder (Af)	0.00 - 20.00	0.6000	0.6000
T9	32	Step Pegs (5/8" SR) 7-in. w/30" step	0.00 - 20.00	0.6000	0.6000

Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft	C _{AA} Front ft ²	C _{AA} Side ft ²	Weight K	
5/8-in x 5-ft L-Rod	B	From Leg	0.00	0.0000	180'	No Ice	0.31	0.31	0.01
			0'			1/2" Ice	0.83	0.83	0.01
			2'6"			1" Ice	1.32	1.32	0.02
						2" Ice	1.96	1.96	0.04
2.4" Dia x 3-ft Mount Pipe	A	From Leg	0.00	0.0000	180'	No Ice	0.58	0.58	0.01
			0'			1/2" Ice	0.77	0.77	0.02
			1'6"			1" Ice	0.97	0.97	0.02
						2" Ice	1.39	1.39	0.05
*** 178' ***									
(3) APL868013-42T0 w/ Mount Pipe	A	From Leg	4.00	0.0000	178'	No Ice	2.63	4.13	0.03
			0'			1/2" Ice	3.07	4.60	0.06
			2'			1" Ice	3.53	5.09	0.11
						2" Ice	4.49	6.11	0.21
(3) APL868013-42T0 w/ Mount Pipe	B	From Leg	4.00	0.0000	178'	No Ice	2.63	4.13	0.03
			0'			1/2" Ice	3.07	4.60	0.06
			2'			1" Ice	3.53	5.09	0.11

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Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA} _{Front}	C _{AA} _{Side}	Weight
			Horz	Lateral					
			ft	ft	°	ft	ft ²	ft ²	K
(3) APL868013-42T0 w/ Mount Pipe	C	From Leg	4.00	0.0000	178'	2" Ice	4.49	6.11	0.21
			0'			No Ice	2.63	4.13	0.03
			2'			1/2" Ice	3.07	4.60	0.06
						1" Ice	3.53	5.09	0.11
(3) 2.4" Dia x 6-ft Pipe	A	From Leg	4.00	0.0000	178'	2" Ice	4.49	6.11	0.21
			0'			No Ice	1.43	1.43	0.02
			0'			1/2" Ice	1.93	1.93	0.03
						1" Ice	2.30	2.30	0.05
(3) 2.4" Dia x 6-ft Pipe	B	From Leg	4.00	0.0000	178'	2" Ice	3.06	3.06	0.09
			0'			No Ice	1.43	1.43	0.02
			0'			1/2" Ice	1.93	1.93	0.03
						1" Ice	2.30	2.30	0.05
(3) 2.4" Dia x 6-ft Pipe	C	From Leg	4.00	0.0000	178'	2" Ice	3.06	3.06	0.09
			0'			No Ice	1.43	1.43	0.02
			0'			1/2" Ice	1.93	1.93	0.03
						1" Ice	2.30	2.30	0.05
Sector Mount [SM 509-3]	C	None		0.0000	178'	2" Ice	3.06	3.06	0.09
						No Ice	34.70	34.70	1.81
						1/2" Ice	48.68	48.68	2.50
						1" Ice	62.47	62.47	3.42
*** 168' *** (2) SBJAH4-1D65C-DL w/ Mount Pipe	A	From Leg	4.00	0.0000	168'	2" Ice	89.65	89.65	5.89
			0'			No Ice	6.60	5.11	0.10
			2'			1/2" Ice	7.14	5.63	0.20
						1" Ice	7.69	6.17	0.30
(2) SBJAH4-1D65C-DL w/ Mount Pipe	B	From Leg	4.00	0.0000	168'	2" Ice	8.83	7.27	0.56
			0'			No Ice	6.60	5.11	0.10
			2'			1/2" Ice	7.14	5.63	0.20
						1" Ice	7.69	6.17	0.30
(2) SBJAH4-1D65C-DL w/ Mount Pipe	C	From Leg	4.00	0.0000	168'	2" Ice	8.83	7.27	0.56
			0'			No Ice	6.60	5.11	0.10
			2'			1/2" Ice	7.14	5.63	0.20
						1" Ice	7.69	6.17	0.30
AIR 6419 B77G	A	From Leg	4.00	0.0000	168'	2" Ice	8.83	7.27	0.56
			0'			No Ice	4.64	1.87	0.07
			4'			1/2" Ice	5.11	2.23	0.09
						1" Ice	5.59	2.62	0.12
AIR 6419 B77G	B	From Leg	4.00	0.0000	168'	2" Ice	6.62	3.45	0.19
			0'			No Ice	4.64	1.87	0.07
			4'			1/2" Ice	5.11	2.23	0.09
						1" Ice	5.59	2.62	0.12
AIR 6419 B77G	C	From Leg	4.00	0.0000	168'	2" Ice	6.62	3.45	0.19
			0'			No Ice	4.64	1.87	0.07
			4'			1/2" Ice	5.11	2.23	0.09
						1" Ice	5.59	2.62	0.12
AIR 6449 B77D	A	From Leg	4.00	0.0000	168'	2" Ice	6.62	3.45	0.19
			0'			No Ice	3.64	1.72	0.08
			0'			1/2" Ice	4.00	2.02	0.11
						1" Ice	4.37	2.33	0.14
AIR 6449 B77D	B	From Leg	4.00	0.0000	168'	2" Ice	5.16	2.99	0.22
			0'			No Ice	3.64	1.72	0.08
			0'			1/2" Ice	4.00	2.02	0.11
						1" Ice	4.37	2.33	0.14
AIR 6449 B77D	C	From Leg	4.00	0.0000	168'	2" Ice	5.16	2.99	0.22
			0'			No Ice	3.64	1.72	0.08
			0'			1/2" Ice	4.00	2.02	0.11
						1" Ice	4.37	2.33	0.14

tnxTower Tower Engineering Professionals 326 Tryon Road Raleigh, NC 27603 Phone: (919) 661-6351 FAX: (919) 661-6350	Job Forest Park (Barnett Rd.) (BU 870443)	Page 16 of 29	Item #2.
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	Client Crown Castle	Designed by jfisher	

Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA}		Weight
			Horz	Vert			Front	Side	
			ft	ft	°	ft	ft ²	ft ²	K
NNH4-65B-R6H4 w/ Mount Pipe	A	From Leg	4.00	0.0000	168'	2" Ice	5.16	2.99	0.22
			0'			No Ice	7.55	4.23	0.12
			2'			1/2" Ice	8.04	4.67	0.20
						1" Ice	8.53	5.12	0.30
NNH4-65B-R6H4 w/ Mount Pipe	B	From Leg	4.00	0.0000	168'	2" Ice	9.56	6.05	0.53
			0'			No Ice	7.55	4.23	0.12
			2'			1/2" Ice	8.04	4.67	0.20
						1" Ice	8.53	5.12	0.30
NNH4-65B-R6H4 w/ Mount Pipe	C	From Leg	4.00	0.0000	168'	2" Ice	9.56	6.05	0.53
			0'			No Ice	7.55	4.23	0.12
			2'			1/2" Ice	8.04	4.67	0.20
						1" Ice	8.53	5.12	0.30
(4) DC2-48-60-0-9E	A	From Leg	4.00	0.0000	168'	2" Ice	9.56	6.05	0.53
			0'			No Ice	0.99	0.60	0.02
			2'			1/2" Ice	1.12	0.71	0.03
						1" Ice	1.25	0.82	0.04
(2) DC2-48-60-0-9E	B	From Leg	4.00	0.0000	168'	2" Ice	1.54	1.06	0.07
			0'			No Ice	0.99	0.60	0.02
			2'			1/2" Ice	1.12	0.71	0.03
						1" Ice	1.25	0.82	0.04
(2) DC2-48-60-0-9E	C	From Leg	4.00	0.0000	168'	2" Ice	1.54	1.06	0.07
			0'			No Ice	0.99	0.60	0.02
			2'			1/2" Ice	1.12	0.71	0.03
						1" Ice	1.25	0.82	0.04
RRUS 4449 B5/B12	A	From Leg	4.00	0.0000	168'	2" Ice	1.54	1.06	0.07
			0'			No Ice	1.97	1.41	0.07
			2'			1/2" Ice	2.14	1.56	0.09
						1" Ice	2.33	1.73	0.11
(2) RRUS 4449 B5/B12	B	From Leg	4.00	0.0000	168'	2" Ice	2.72	2.07	0.16
			0'			No Ice	1.97	1.41	0.07
			2'			1/2" Ice	2.14	1.56	0.09
						1" Ice	2.33	1.73	0.11
RRUS 4478 B14	A	From Leg	4.00	0.0000	168'	2" Ice	2.72	2.07	0.16
			0'			No Ice	1.84	1.06	0.06
			2'			1/2" Ice	2.01	1.20	0.08
						1" Ice	2.19	1.34	0.09
RRUS 4478 B14	B	From Leg	4.00	0.0000	168'	2" Ice	2.57	1.66	0.14
			0'			No Ice	1.84	1.06	0.06
			2'			1/2" Ice	2.01	1.20	0.08
						1" Ice	2.19	1.34	0.09
RRUS 4478 B14	C	From Leg	4.00	0.0000	168'	2" Ice	2.57	1.66	0.14
			0'			No Ice	1.84	1.06	0.06
			2'			1/2" Ice	2.01	1.20	0.08
						1" Ice	2.19	1.34	0.09
RRUS 32 B2	A	From Leg	4.00	0.0000	168'	2" Ice	2.57	1.66	0.14
			0'			No Ice	2.73	1.67	0.05
			2'			1/2" Ice	2.95	1.86	0.07
						1" Ice	3.18	2.05	0.10
RRUS 32 B2	B	From Leg	4.00	0.0000	168'	2" Ice	3.66	2.46	0.16
			0'			No Ice	2.73	1.67	0.05
			2'			1/2" Ice	2.95	1.86	0.07
						1" Ice	3.18	2.05	0.10
RRUS 32 B2	C	From Leg	4.00	0.0000	168'	2" Ice	3.66	2.46	0.16
			0'			No Ice	2.73	1.67	0.05
			2'			1/2" Ice	2.95	1.86	0.07
						1" Ice	3.18	2.05	0.10
					2" Ice	3.66	2.46	0.16	

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	Client	Crown Castle	Designed by	jfisher	

Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA} Front	C _{AA} Side	Weight
			Horz	Lateral					
DC9-48-60-24-8C-EV ENCLOSURE ONLY	A	From Leg	4.00	0.0000	168'	No Ice	2.69	2.11	0.03
			0'			1/2" Ice	2.91	2.30	0.05
			2'			1" Ice	3.13	2.50	0.08
						2" Ice	3.60	2.94	0.15
DC6-48-60-18-8F	A	From Leg	4.00	0.0000	168'	No Ice	0.85	0.85	0.02
			0'			1/2" Ice	1.36	1.36	0.04
			2'			1" Ice	1.53	1.53	0.05
						2" Ice	1.91	1.91	0.10
DC6-48-60-18-8F	B	From Leg	4.00	0.0000	168'	No Ice	0.85	0.85	0.02
			0'			1/2" Ice	1.36	1.36	0.04
			2'			1" Ice	1.53	1.53	0.05
						2" Ice	1.91	1.91	0.10
DC6-48-60-18-8F	C	From Leg	4.00	0.0000	168'	No Ice	0.85	0.85	0.02
			0'			1/2" Ice	1.36	1.36	0.04
			2'			1" Ice	1.53	1.53	0.05
						2" Ice	1.91	1.91	0.10
RRUS 32	A	From Leg	4.00	0.0000	168'	No Ice	2.86	1.78	0.06
			0'			1/2" Ice	3.08	1.97	0.08
			2'			1" Ice	3.32	2.17	0.10
						2" Ice	3.81	2.58	0.16
RRUS 32	B	From Leg	4.00	0.0000	168'	No Ice	2.86	1.78	0.06
			0'			1/2" Ice	3.08	1.97	0.08
			2'			1" Ice	3.32	2.17	0.10
						2" Ice	3.81	2.58	0.16
RRUS 32	C	From Leg	4.00	0.0000	168'	No Ice	2.86	1.78	0.06
			0'			1/2" Ice	3.08	1.97	0.08
			2'			1" Ice	3.32	2.17	0.10
						2" Ice	3.81	2.58	0.16
RRUS 4426 B66	A	From Leg	4.00	0.0000	168'	No Ice	1.64	0.73	0.05
			0'			1/2" Ice	1.80	0.84	0.06
			2'			1" Ice	1.97	0.97	0.08
						2" Ice	2.33	1.24	0.11
RRUS 4426 B66	B	From Leg	4.00	0.0000	168'	No Ice	1.64	0.73	0.05
			0'			1/2" Ice	1.80	0.84	0.06
			2'			1" Ice	1.97	0.97	0.08
						2" Ice	2.33	1.24	0.11
RRUS 4426 B66	C	From Leg	4.00	0.0000	168'	No Ice	1.64	0.73	0.05
			0'			1/2" Ice	1.80	0.84	0.06
			2'			1" Ice	1.97	0.97	0.08
						2" Ice	2.33	1.24	0.11
RRUS 4415 B25	A	From Leg	4.00	0.0000	168'	No Ice	1.64	0.68	0.04
			0'			1/2" Ice	1.80	0.79	0.06
			2'			1" Ice	1.97	0.91	0.07
						2" Ice	2.33	1.18	0.11
RRUS 4415 B25	B	From Leg	4.00	0.0000	168'	No Ice	1.64	0.68	0.04
			0'			1/2" Ice	1.80	0.79	0.06
			2'			1" Ice	1.97	0.91	0.07
						2" Ice	2.33	1.18	0.11
RRUS 4415 B25	C	From Leg	4.00	0.0000	168'	No Ice	1.64	0.68	0.04
			0'			1/2" Ice	1.80	0.79	0.06
			2'			1" Ice	1.97	0.91	0.07
						2" Ice	2.33	1.18	0.11
DC6-48-60-18-8C ENCLOSURE ONLY	B	From Leg	4.00	0.0000	168'	No Ice	1.06	0.96	0.02
			0'			1/2" Ice	1.22	1.10	0.04
			2'			1" Ice	1.37	1.25	0.06
						2" Ice	1.71	1.57	0.12
(2) 2.4" Dia. x 10.5' Mount	A	From Leg	4.00	0.0000	168'	No Ice	2.49	2.49	0.04

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Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA} _{Front}	C _{AA} _{Side}	Weight
			Horz	Lateral					
			ft	ft	°	ft	ft ²	ft ²	K
Pipe			0'			1/2" Ice	3.58	3.58	0.07
			0'			1" Ice	4.69	4.69	0.10
						2" Ice	6.39	6.39	0.17
(2) 2.4" Dia. x 10.5' Mount Pipe	B	From Leg	4.00		0.0000	168'	No Ice	2.49	0.04
			0'				1/2" Ice	3.58	0.07
			0'				1" Ice	4.69	0.10
							2" Ice	6.39	0.17
(2) 2.4" Dia. x 10.5' Mount Pipe	C	From Leg	4.00		0.0000	168'	No Ice	2.49	0.04
			0'				1/2" Ice	3.58	0.07
			0'				1" Ice	4.69	0.10
							2" Ice	6.39	0.17
Pipe Mount [PM 601-3]	C	None			0.0000	168'	No Ice	3.17	0.20
							1/2" Ice	3.79	0.23
							1" Ice	4.42	0.28
							2" Ice	5.76	0.40
Commscope SFG2C Sector Mount (3)	C	None			0.0000	168'	No Ice	30.43	1.69
							1/2" Ice	43.02	2.30
							1" Ice	55.43	3.10
							2" Ice	79.89	5.27
*** 162' ***									
840 10077 w/ Mount Pipe	A	From Leg	2.50		0.0000	162'	No Ice	2.09	0.03
			0'				1/2" Ice	2.45	0.05
			-1'				1" Ice	2.83	0.08
							2" Ice	3.63	0.16
840 10077 w/ Mount Pipe	B	From Leg	2.50		0.0000	162'	No Ice	2.09	0.03
			0'				1/2" Ice	2.45	0.05
			-1'				1" Ice	2.83	0.08
							2" Ice	3.63	0.16
840 10077 w/ Mount Pipe	C	From Leg	2.50		0.0000	162'	No Ice	2.09	0.03
			0'				1/2" Ice	2.45	0.05
			-1'				1" Ice	2.83	0.08
							2" Ice	3.63	0.16
DAP25003500	A	From Leg	2.50		0.0000	162'	No Ice	1.72	0.04
			0'				1/2" Ice	1.92	0.05
			-1'				1" Ice	2.11	0.07
							2" Ice	2.53	0.13
DAP25003500	B	From Leg	2.50		0.0000	162'	No Ice	1.72	0.04
			0'				1/2" Ice	1.92	0.05
			-1'				1" Ice	2.11	0.07
							2" Ice	2.53	0.13
DAP25003500	C	From Leg	2.50		0.0000	162'	No Ice	1.72	0.04
			0'				1/2" Ice	1.92	0.05
			-1'				1" Ice	2.11	0.07
							2" Ice	2.53	0.13
ODU300ep	A	From Leg	2.50		0.0000	162'	No Ice	1.06	0.02
			0'				1/2" Ice	1.19	0.03
			-1'				1" Ice	1.33	0.04
							2" Ice	1.63	0.07
ODU300ep	B	From Leg	2.50		0.0000	162'	No Ice	1.06	0.02
			0'				1/2" Ice	1.19	0.03
			-1'				1" Ice	1.33	0.04
							2" Ice	1.63	0.07
ODU300ep	C	From Leg	2.50		0.0000	162'	No Ice	1.06	0.02
			0'				1/2" Ice	1.19	0.03
			-1'				1" Ice	1.33	0.04
							2" Ice	1.63	0.07
2.4" Dia x 6-ft Pipe	A	From Leg	2.50		0.0000	162'	No Ice	1.43	0.02

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	Client Crown Castle	Designed by jfisher

Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA} Front	C _{AA} Side	Weight	
			Horz	Lateral						
			ft	ft	°	ft	ft ²	ft ²	K	
2.4" Dia x 6-ft Pipe	B	From Leg	2.50	0.0000	162'	1/2" Ice	1.93	1.93	0.03	
						0'	1" Ice	2.30	2.30	0.05
						0'	2" Ice	3.06	3.06	0.09
						No Ice	1.43	1.43	0.02	
2.4" Dia x 6-ft Pipe	C	From Leg	2.50	0.0000	162'	1/2" Ice	1.93	1.93	0.03	
						0'	1" Ice	2.30	2.30	0.05
						0'	2" Ice	3.06	3.06	0.09
						No Ice	1.43	1.43	0.02	
Side Arm Mount [SO 203-3]	C	None	0.0000	162'	1/2" Ice	1.93	1.93	0.03		
					0'	1" Ice	2.30	2.30	0.05	
					0'	2" Ice	3.06	3.06	0.09	
					No Ice	6.68	6.68	0.38		
*** 152' *** APXVERR18-C w/ Mount Pipe	A	From Leg	4.00	0.0000	152'	1/2" Ice	8.05	8.05	0.46	
						0'	1" Ice	9.55	9.55	0.57
						2'	2" Ice	12.80	12.80	0.87
						No Ice	4.60	4.01	0.08	
APXVERR18-C w/ Mount Pipe	B	From Leg	4.00	0.0000	152'	1/2" Ice	5.05	4.45	0.15	
						0'	1" Ice	5.50	4.89	0.22
						2'	2" Ice	6.44	5.82	0.40
						No Ice	4.60	4.01	0.08	
APXVERR18-C w/ Mount Pipe	C	From Leg	4.00	0.0000	152'	1/2" Ice	5.05	4.45	0.15	
						0'	1" Ice	5.50	4.89	0.22
						2'	2" Ice	6.44	5.82	0.40
						No Ice	4.60	4.01	0.08	
AIR 6468 B41 w/ Mount Pipe	A	From Leg	4.00	0.0000	152'	1/2" Ice	5.05	4.45	0.15	
						0'	1" Ice	5.50	4.89	0.22
						2'	2" Ice	6.44	5.82	0.40
						No Ice	6.96	3.33	0.15	
AIR 6468 B41 w/ Mount Pipe	B	From Leg	4.00	0.0000	152'	1/2" Ice	7.48	3.75	0.20	
						0'	1" Ice	8.02	4.19	0.25
						2'	2" Ice	9.14	5.12	0.39
						No Ice	6.96	3.33	0.15	
AIR 6468 B41 w/ Mount Pipe	C	From Leg	4.00	0.0000	152'	1/2" Ice	7.48	3.75	0.20	
						0'	1" Ice	8.02	4.19	0.25
						2'	2" Ice	9.14	5.12	0.39
						No Ice	6.96	3.33	0.15	
(2) 800MHZ SMR FILTER	A	From Leg	4.00	0.0000	152'	1/2" Ice	7.48	3.75	0.20	
						0'	1" Ice	8.02	4.19	0.25
						2'	2" Ice	9.14	5.12	0.39
						No Ice	0.65	0.22	0.01	
(2) 800MHZ SMR FILTER	B	From Leg	4.00	0.0000	152'	1/2" Ice	0.75	0.29	0.01	
						0'	1" Ice	0.86	0.36	0.02
						2'	2" Ice	1.10	0.54	0.04
						No Ice	0.65	0.22	0.01	
(2) 800MHZ SMR FILTER	C	From Leg	4.00	0.0000	152'	1/2" Ice	0.75	0.29	0.01	
						0'	1" Ice	0.86	0.36	0.02
						2'	2" Ice	1.10	0.54	0.04
						No Ice	0.65	0.22	0.01	
RRUS 31 B25	A	From Leg	4.00	0.0000	152'	1/2" Ice	0.86	0.36	0.02	
						0'	1" Ice	1.10	0.54	0.04
						2'	2" Ice	1.62	1.28	0.06
						No Ice	1.78	1.43	0.07	
RRUS 31 B25	B	From Leg	4.00	0.0000	152'	1/2" Ice	1.78	1.43	0.07	
						0'	1" Ice	1.95	1.58	0.09
						2'	2" Ice	2.31	1.91	0.14
						No Ice	1.62	1.28	0.06	

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Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _A A _{Front}	C _A A _{Side}	Weight
			Horz	Lateral					
			ft	ft	°	ft	ft ²	ft ²	K
			0'			1/2" Ice	1.78	1.43	0.07
			2'			1" Ice	1.95	1.58	0.09
						2" Ice	2.31	1.91	0.14
RRUS 31 B25	C	From Leg	4.00		0.0000	No Ice	1.62	1.28	0.06
			0'			1/2" Ice	1.78	1.43	0.07
			2'			1" Ice	1.95	1.58	0.09
						2" Ice	2.31	1.91	0.14
RRUS-11 800MHZ	A	From Leg	4.00		0.0000	No Ice	2.52	1.30	0.05
			0'			1/2" Ice	2.72	1.45	0.08
			2'			1" Ice	2.92	1.61	0.10
						2" Ice	3.35	1.94	0.16
RRUS-11 800MHZ	B	From Leg	4.00		0.0000	No Ice	2.52	1.30	0.05
			0'			1/2" Ice	2.72	1.45	0.08
			2'			1" Ice	2.92	1.61	0.10
						2" Ice	3.35	1.94	0.16
RRUS-11 800MHZ	C	From Leg	4.00		0.0000	No Ice	2.52	1.30	0.05
			0'			1/2" Ice	2.72	1.45	0.08
			2'			1" Ice	2.92	1.61	0.10
						2" Ice	3.35	1.94	0.16
(3) ACU-A20-N	A	From Leg	4.00		0.0000	No Ice	0.07	0.12	0.00
			0'			1/2" Ice	0.10	0.16	0.00
			2'			1" Ice	0.15	0.21	0.00
						2" Ice	0.26	0.34	0.01
(3) ACU-A20-N	B	From Leg	4.00		0.0000	No Ice	0.07	0.12	0.00
			0'			1/2" Ice	0.10	0.16	0.00
			2'			1" Ice	0.15	0.21	0.00
						2" Ice	0.26	0.34	0.01
(3) ACU-A20-N	C	From Leg	4.00		0.0000	No Ice	0.07	0.12	0.00
			0'			1/2" Ice	0.10	0.16	0.00
			2'			1" Ice	0.15	0.21	0.00
						2" Ice	0.26	0.34	0.01
2.4" Dia x 8-ft Mount Pipe	A	From Leg	4.00		0.0000	No Ice	1.90	1.90	0.03
			0'			1/2" Ice	2.73	2.73	0.04
			0'			1" Ice	3.40	3.40	0.06
						2" Ice	4.40	4.40	0.12
2.4" Dia x 8-ft Mount Pipe	B	From Leg	4.00		0.0000	No Ice	1.90	1.90	0.03
			0'			1/2" Ice	2.73	2.73	0.04
			0'			1" Ice	3.40	3.40	0.06
						2" Ice	4.40	4.40	0.12
2.4" Dia x 8-ft Mount Pipe	C	From Leg	4.00		0.0000	No Ice	1.90	1.90	0.03
			0'			1/2" Ice	2.73	2.73	0.04
			0'			1" Ice	3.40	3.40	0.06
						2" Ice	4.40	4.40	0.12
Sector Mount [SM 1303-3]	C	None			0.0000	No Ice	38.78	38.78	1.10
						1/2" Ice	46.78	46.78	1.76
						1" Ice	54.73	54.73	2.57
						2" Ice	70.62	70.62	4.60
*** 146' ***									
M900S-AP w/ Mount Pipe	A	From Leg	1.00		0.0000	No Ice	1.01	0.66	0.01
			0'			1/2" Ice	1.19	0.88	0.02
			1'			1" Ice	1.38	1.11	0.04
						2" Ice	1.81	1.63	0.07
ATLAS5010-INT w/ Mount Pipe	A	From Leg	1.00		0.0000	No Ice	1.98	0.96	0.02
			0'			1/2" Ice	2.21	1.21	0.04
			0'			1" Ice	2.45	1.47	0.06
						2" Ice	2.97	2.05	0.11
ATLAS5010-INT w/ Mount	C	From Leg	1.00		0.0000	No Ice	1.98	0.96	0.02

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Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA} Front	C _{AA} Side	Weight
			Horz	Lateral					
Pipe			0'						
			0'			1/2" Ice	2.21	1.21	0.04
						1" Ice	2.45	1.47	0.06
						2" Ice	2.97	2.05	0.11
Pipe Mount [PM 601-1]	A	From Leg	0.50	0.0000	146'	No Ice	1.32	1.32	0.07
			0'			1/2" Ice	1.58	1.58	0.08
			0'			1" Ice	1.84	1.84	0.09
						2" Ice	2.40	2.40	0.13
Pipe Mount [PM 601-1]	C	From Leg	0.50	0.0000	146'	No Ice	1.32	1.32	0.07
			0'			1/2" Ice	1.58	1.58	0.08
			0'			1" Ice	1.84	1.84	0.09
						2" Ice	2.40	2.40	0.13
*** 136' ***									
FFHH-65C-R3_T-MOBILE w/ Mount Pipe	A	From Leg	4.00	0.0000	136'	No Ice	12.97	6.20	0.16
			0'			1/2" Ice	13.62	6.77	0.30
			4'			1" Ice	14.27	7.36	0.45
						2" Ice	15.62	8.57	0.79
FFHH-65C-R3_T-MOBILE w/ Mount Pipe	B	From Leg	4.00	0.0000	136'	No Ice	12.97	6.20	0.16
			0'			1/2" Ice	13.62	6.77	0.30
			4'			1" Ice	14.27	7.36	0.45
						2" Ice	15.62	8.57	0.79
FFHH-65C-R3_T-MOBILE w/ Mount Pipe	C	From Leg	4.00	0.0000	136'	No Ice	12.97	6.20	0.16
			0'			1/2" Ice	13.62	6.77	0.30
			4'			1" Ice	14.27	7.36	0.45
						2" Ice	15.62	8.57	0.79
AIR6449 B41_T-MOBILE w/ Mount Pipe	A	From Leg	4.00	0.0000	136'	No Ice	5.19	2.71	0.13
			0'			1/2" Ice	5.59	3.04	0.17
			4'			1" Ice	6.02	3.38	0.23
						2" Ice	6.90	4.12	0.35
AIR6449 B41_T-MOBILE w/ Mount Pipe	B	From Leg	4.00	0.0000	136'	No Ice	5.19	2.71	0.13
			0'			1/2" Ice	5.59	3.04	0.17
			4'			1" Ice	6.02	3.38	0.23
						2" Ice	6.90	4.12	0.35
AIR6449 B41_T-MOBILE w/ Mount Pipe	C	From Leg	4.00	0.0000	136'	No Ice	5.19	2.71	0.13
			0'			1/2" Ice	5.59	3.04	0.17
			4'			1" Ice	6.02	3.38	0.23
						2" Ice	6.90	4.12	0.35
RADIO 4460 B2/B25 B66_TMO	A	From Leg	4.00	0.0000	136'	No Ice	2.14	1.69	0.11
			0'			1/2" Ice	2.32	1.85	0.13
			4'			1" Ice	2.51	2.02	0.16
						2" Ice	2.91	2.39	0.22
RADIO 4460 B2/B25 B66_TMO	B	From Leg	4.00	0.0000	136'	No Ice	2.14	1.69	0.11
			0'			1/2" Ice	2.32	1.85	0.13
			4'			1" Ice	2.51	2.02	0.16
						2" Ice	2.91	2.39	0.22
RADIO 4460 B2/B25 B66_TMO	C	From Leg	4.00	0.0000	136'	No Ice	2.14	1.69	0.11
			0'			1/2" Ice	2.32	1.85	0.13
			4'			1" Ice	2.51	2.02	0.16
						2" Ice	2.91	2.39	0.22
Radio 4480_TMOV2	A	From Leg	4.00	0.0000	136'	No Ice	2.88	1.40	0.08
			0'			1/2" Ice	3.09	1.56	0.10
			4'			1" Ice	3.31	1.73	0.13
						2" Ice	3.78	2.09	0.19
Radio 4480_TMOV2	B	From Leg	4.00	0.0000	136'	No Ice	2.88	1.40	0.08
			0'			1/2" Ice	3.09	1.56	0.10
			4'			1" Ice	3.31	1.73	0.13
						2" Ice	3.78	2.09	0.19
Radio 4480_TMOV2	C	From Leg	4.00	0.0000	136'	No Ice	2.88	1.40	0.08

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Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA} Front	C _{AA} Side	Weight
			Horz	Lateral					
(2) 2.4" Dia. x 10-ft Mount Pipe	A	From Leg	4.00	0.0000	136'	1/2" Ice	3.09	1.56	0.10
			0'			1" Ice	3.31	1.73	0.13
			0'			2" Ice	3.78	2.09	0.19
			0'			No Ice	2.38	2.38	0.04
			0'			1/2" Ice	3.40	3.40	0.05
			0'			1" Ice	4.45	4.45	0.08
			0'			2" Ice	5.91	5.91	0.15
(2) 2.4" Dia. x 10-ft Mount Pipe	B	From Leg	4.00	0.0000	136'	No Ice	2.38	2.38	0.04
			0'			1/2" Ice	3.40	3.40	0.05
			0'			1" Ice	4.45	4.45	0.08
			0'			2" Ice	5.91	5.91	0.15
(2) 2.4" Dia. x 10-ft Mount Pipe	C	From Leg	4.00	0.0000	136'	No Ice	2.38	2.38	0.04
			0'			1/2" Ice	3.40	3.40	0.05
			0'			1" Ice	4.45	4.45	0.08
			0'			2" Ice	5.91	5.91	0.15
Site Pro 1 VFA12-HD-S	A	From Leg	2.00	0.0000	136'	No Ice	12.50	7.00	0.58
			0'			1/2" Ice	18.50	11.30	0.69
			0'			1" Ice	24.60	15.30	0.85
			0'			2" Ice	36.50	24.20	1.01
Site Pro 1 VFA12-HD-S	B	From Leg	2.00	0.0000	136'	No Ice	12.50	7.00	0.58
			0'			1/2" Ice	18.50	11.30	0.69
			0'			1" Ice	24.60	15.30	0.85
			0'			2" Ice	36.50	24.20	1.01
Site Pro 1 VFA12-HD-S	C	From Leg	2.00	0.0000	136'	No Ice	12.50	7.00	0.58
			0'			1/2" Ice	18.50	11.30	0.69
			0'			1" Ice	24.60	15.30	0.85
			0'			2" Ice	36.50	24.20	1.01

*** 126' ***									
CMA-UBTULBULBHH/651 6/16/21/21 w/ Mount Pipe	A	From Leg	4.00	0.0000	126'	No Ice	17.53	6.20	0.14
			0'			1/2" Ice	18.43	6.95	0.25
			0'			1" Ice	19.35	7.71	0.36
			0'			2" Ice	21.25	9.30	0.63
CMA-UBTULBULBHH/651 6/16/21/21 w/ Mount Pipe	B	From Leg	4.00	0.0000	126'	No Ice	17.53	6.20	0.14
			0'			1/2" Ice	18.43	6.95	0.25
			0'			1" Ice	19.35	7.71	0.36
			0'			2" Ice	21.25	9.30	0.63
CMA-UBTULBULBHH/651 6/16/21/21 w/ Mount Pipe	C	From Leg	4.00	0.0000	126'	No Ice	17.53	6.20	0.14
			0'			1/2" Ice	18.43	6.95	0.25
			0'			1" Ice	19.35	7.71	0.36
			0'			2" Ice	21.25	9.30	0.63
TA08025-B604	A	From Leg	4.00	0.0000	126'	No Ice	1.96	0.98	0.06
			0'			1/2" Ice	2.14	1.11	0.08
			0'			1" Ice	2.32	1.25	0.10
			0'			2" Ice	2.71	1.55	0.15
TA08025-B604	B	From Leg	4.00	0.0000	126'	No Ice	1.96	0.98	0.06
			0'			1/2" Ice	2.14	1.11	0.08
			0'			1" Ice	2.32	1.25	0.10
			0'			2" Ice	2.71	1.55	0.15
TA08025-B604	C	From Leg	4.00	0.0000	126'	No Ice	1.96	0.98	0.06
			0'			1/2" Ice	2.14	1.11	0.08
			0'			1" Ice	2.32	1.25	0.10
			0'			2" Ice	2.71	1.55	0.15
TA08025-B605	A	From Leg	4.00	0.0000	126'	No Ice	1.96	1.13	0.08
			0'			1/2" Ice	2.14	1.27	0.09
			0'			1" Ice	2.32	1.41	0.11
			0'			2" Ice	2.71	1.72	0.16

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Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft	CA _A _A Front ft ²	CA _A _A Side ft ²	Weight K
TA08025-B605	B	From Leg	4.00 0' 0'	0.0000	126'	No Ice 1.96 1/2" Ice 2.14 1" Ice 2.32 2" Ice 2.71	1.13 1.27 1.41 1.72	0.08 0.09 0.11 0.16
TA08025-B605	C	From Leg	4.00 0' 0'	0.0000	126'	No Ice 1.96 1/2" Ice 2.14 1" Ice 2.32 2" Ice 2.71	1.13 1.27 1.41 1.72	0.08 0.09 0.11 0.16
RDIDC-9181-PF-48	A	From Leg	4.00 0' 0'	0.0000	126'	No Ice 2.01 1/2" Ice 2.19 1" Ice 2.37 2" Ice 2.76	1.17 1.31 1.46 1.78	0.02 0.04 0.06 0.11
(2) 2.4" Dia x 8-ft Mount Pipe	A	From Leg	4.00 0' 0'	0.0000	126'	No Ice 1.90 1/2" Ice 2.73 1" Ice 3.40 2" Ice 4.40	1.90 2.73 3.40 4.40	0.03 0.04 0.06 0.12
(2) 2.4" Dia x 8-ft Mount Pipe	B	From Leg	4.00 0' 0'	0.0000	126'	No Ice 1.90 1/2" Ice 2.73 1" Ice 3.40 2" Ice 4.40	1.90 2.73 3.40 4.40	0.03 0.04 0.06 0.12
(2) 2.4" Dia x 8-ft Mount Pipe	C	From Leg	4.00 0' 0'	0.0000	126'	No Ice 1.90 1/2" Ice 2.73 1" Ice 3.40 2" Ice 4.40	1.90 2.73 3.40 4.40	0.03 0.04 0.06 0.12
Commscope MTC3975083 (3)	C	None		0.0000	126'	No Ice 23.85 1/2" Ice 34.12 1" Ice 44.39 2" Ice 64.93	23.85 34.12 44.39 64.93	1.26 1.80 2.35 3.43
*** 120' *** (3) 844G90VTA-SX	A	From Leg	3.00 0' 0'	0.0000	120'	No Ice 3.06 1/2" Ice 3.37 1" Ice 3.67 2" Ice 4.30	3.61 3.92 4.23 4.88	0.01 0.04 0.07 0.14
(3) 844G90VTA-SX	B	From Leg	3.00 0' 0'	0.0000	120'	No Ice 3.06 1/2" Ice 3.37 1" Ice 3.67 2" Ice 4.30	3.61 3.92 4.23 4.88	0.01 0.04 0.07 0.14
(3) 844G90VTA-SX	C	From Leg	3.00 0' 0'	0.0000	120'	No Ice 3.06 1/2" Ice 3.37 1" Ice 3.67 2" Ice 4.30	3.61 3.92 4.23 4.88	0.01 0.04 0.07 0.14
Sector Mount [SM 307-3]	C	None		0.0000	120'	No Ice 26.18 1/2" Ice 35.72 1" Ice 45.16 2" Ice 63.92	26.18 35.72 45.16 63.92	1.62 2.11 2.76 4.52
*** 110' *** ODU300ep	A	From Leg	1.00 0' 1'	0.0000	110'	No Ice 1.06 1/2" Ice 1.19 1" Ice 1.33 2" Ice 1.63	0.65 0.75 0.87 1.11	0.02 0.03 0.04 0.07
ODU300ep	A	From Leg	1.00 0' 0'	0.0000	110'	No Ice 1.06 1/2" Ice 1.19 1" Ice 1.33 2" Ice 1.63	0.65 0.75 0.87 1.11	0.02 0.03 0.04 0.07
HORIZON QUANTUM	A	From Leg	1.00 0' 0'	0.0000	110'	No Ice 0.51 1/2" Ice 0.60 1" Ice 0.70	0.23 0.30 0.38	0.01 0.01 0.02

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Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C _{AA}		Weight
			Horz	Lateral			Front	Side	
			ft	ft	°	ft	ft ²	ft ²	K
ODU300ep	C	From Leg	1.00	0.0000	110'	2" Ice	0.91	0.55	0.03
			0'			No Ice	1.06	0.65	0.02
			1'			1/2" Ice	1.19	0.75	0.03
						1" Ice	1.33	0.87	0.04
ODU300ep	C	From Leg	1.00	0.0000	110'	2" Ice	1.63	1.11	0.07
			0'			No Ice	1.06	0.65	0.02
			2'			1/2" Ice	1.19	0.75	0.03
						1" Ice	1.33	0.87	0.04
Side Arm Mount [SO 201-1]	A	From Leg	0.50	0.0000	110'	2" Ice	1.63	1.11	0.07
			0'			No Ice	1.78	2.61	0.10
			0'			1/2" Ice	2.24	3.15	0.12
						1" Ice	2.75	3.73	0.14
Side Arm Mount [SO 201-1]	C	From Leg	0.50	0.0000	110'	2" Ice	3.89	4.99	0.22
			0'			No Ice	1.78	2.61	0.10
			0'			1/2" Ice	2.24	3.15	0.12
						1" Ice	2.75	3.73	0.14
*** 95' *** FIBEAIR 1500P	B	From Leg	1.00	0.0000	95'	2" Ice	3.89	4.99	0.22
			0'			No Ice	0.83	0.75	0.02
			0'			1/2" Ice	0.95	0.86	0.03
						1" Ice	1.07	0.98	0.04
FIBEAIR 1500P	C	From Leg	1.00	0.0000	95'	2" Ice	1.34	1.23	0.07
			0'			No Ice	0.83	0.75	0.02
			0'			1/2" Ice	0.95	0.86	0.03
						1" Ice	1.07	0.98	0.04
1.9" x 6' Stabilizer	C	From Leg	0.50	0.0000	95'	2" Ice	1.34	1.23	0.07
			0'			No Ice	1.14	1.14	0.02
			0'			1/2" Ice	1.76	1.76	0.03
						1" Ice	2.14	2.14	0.04
Pipe Mount [PM 601-1]	B	From Leg	0.50	0.0000	95'	2" Ice	2.90	2.90	0.08
			0'			No Ice	1.32	1.32	0.07
			0'			1/2" Ice	1.58	1.58	0.08
						1" Ice	1.84	1.84	0.09
Pipe Mount [PM 601-1]	C	From Leg	0.50	0.0000	95'	2" Ice	2.40	2.40	0.13
			0'			No Ice	1.32	1.32	0.07
			0'			1/2" Ice	1.58	1.58	0.08
						1" Ice	1.84	1.84	0.09
					2" Ice	2.40	2.40	0.13	

Dishes

Description	Face or Leg	Dish Type	Offset Type	Offsets:		Azimuth Adjustment	3 dB Beam Width	Elevation	Outside Diameter	Aperture Area	Weight	
				Horz	Lateral							
			Type	ft	ft	°	°	ft	ft	ft ²	K	
*** 162' *** VHLP2-18	A	Paraboloid w/Shroud (HP)	From Leg	2.50	-75.0000			162'	2.17	No Ice	3.72	0.03
				0'						1/2" Ice	4.01	0.05
				-1'						1" Ice	4.30	0.07
										2" Ice	4.88	0.10

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Description	Face or Leg	Dish Type	Offset Type	Offsets: Horz Lateral Vert	Azimuth Adjustment	3 dB Beam Width	Elevation	Outside Diameter	Aperture Area	Weight	
				ft	°	°	ft	ft	ft ²	K	
VHLP2-18	B	Paraboloid w/Shroud (HP)	From Leg	2.50 0' -1'	-75.0000		162'	2.17	No Ice 1/2" Ice 1" Ice 2" Ice	3.72 4.01 4.30 4.88	0.03 0.05 0.07 0.10
VHLP2-18	C	Paraboloid w/Shroud (HP)	From Leg	2.50 0' -1'	-75.0000		162'	2.17	No Ice 1/2" Ice 1" Ice 2" Ice	3.72 4.01 4.30 4.88	0.03 0.05 0.07 0.10
*** 146' *** QFD2-52-N	C	Paraboloid w/o Radome	From Leg	1.00 0' -1'	81.0000		146'	2.42	No Ice 1/2" Ice 1" Ice 2" Ice	4.59 4.91 5.23 5.87	0.04 0.06 0.09 0.14
*** *** 110' *** VHLP2-11	A	Paraboloid w/Shroud (HP)	From Leg	1.00 0' 1'	45.0000		110'	2.17	No Ice 1/2" Ice 1" Ice 2" Ice	3.72 4.01 4.30 4.88	0.03 0.05 0.07 0.10
VHLP2-11	A	Paraboloid w/Shroud (HP)	From Leg	1.00 0' 0'	69.0000		110'	2.17	No Ice 1/2" Ice 1" Ice 2" Ice	3.72 4.01 4.30 4.88	0.03 0.05 0.07 0.10
VHLP2-11	C	Paraboloid w/Shroud (HP)	From Leg	1.00 0' 1'	45.0000		110'	2.17	No Ice 1/2" Ice 1" Ice 2" Ice	3.72 4.01 4.30 4.88	0.03 0.05 0.07 0.10
HP3-11	C	Paraboloid w/Shroud (HP)	From Leg	1.00 0' 2'	45.0000		110'	3.17	No Ice 1/2" Ice 1" Ice 2" Ice	7.88 8.30 8.72 9.56	0.05 0.09 0.14 0.22
*** 95' *** HPLP1-23	B	Paraboloid w/Shroud (HP)	From Leg	1.00 0' 0'	14.0000		95'	1.00	No Ice 1/2" Ice 1" Ice 2" Ice	0.79 0.92 1.06 1.33	0.02 0.02 0.03 0.04
HE3-107	C	Paraboloid w/Shroud (HP)	From Leg	1.00 0' 0'	90.0000		95'	3.46	No Ice 1/2" Ice 1" Ice 2" Ice	9.39 9.85 10.31 11.23	0.07 0.13 0.19 0.25

Bolt Design Data

Section No.	Elevation ft	Component Type	Bolt Grade	Bolt Size in	Number Of Bolts	Maximum Load per Bolt K	Allowable Load per Bolt K	Ratio Allowable	Allowable Ratio	Criteria
T1	180	Leg	A325X	0.7500	4	2.25	30.10	0.075	1.05	Bolt Tension
		Diagonal	A325X	0.6250	1	2.66	6.83	0.389	1.05	Member Block Shear
		Top Girt	A325X	0.6250	1	0.15	4.55	0.032	1.05	Member Block Shear
T2	160	Leg	A325X	0.8750	4	7.34	41.56	0.177	1.05	Bolt Tension
		Diagonal	A325X	0.6250	1	3.37	7.83	0.431	1.05	Member Bearing
		Top Girt	A325X	0.6250	1	0.69	4.55	0.151	1.05	Member Block Shear

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Section No.	Elevation ft	Component Type	Bolt Grade	Bolt Size in	Number Of Bolts	Maximum Load per Bolt K	Allowable Load per Bolt K	Ratio Load Allowable	Allowable Ratio	Criteria
T3	140	Leg	A325X	0.8750	4	12.80	41.56	0.308	1.05	Bolt Tension
		Diagonal	A325X	0.6250	1	4.74	10.44	0.454	1.05	Member Bearing
T4	120	Leg	A325X	1.0000	4	19.12	54.52	0.351	1.05	Bolt Tension
		Diagonal	A325X	0.6250	1	5.55	10.44	0.532	1.05	Member Bearing
T5	100	Leg	A325X	1.0000	4	25.56	54.52	0.469	1.05	Bolt Tension
		Diagonal	A325X	0.6250	1	6.15	11.70	0.526	1.05	Member Bearing
T6	80	Leg	A325X	1.0000	6	20.67	54.52	0.379	1.05	Bolt Tension
		Diagonal	A325X	0.7500	1	6.70	14.14	0.474	1.05	Member Bearing
T7	60	Leg	A325X	1.0000	6	24.41	54.52	0.448	1.05	Bolt Tension
		Diagonal	A325X	0.7500	1	7.08	14.14	0.501	1.05	Member Bearing
T8	40	Leg	A325X	1.0000	6	27.93	54.52	0.512	1.05	Bolt Tension
		Diagonal	A325X	0.7500	1	7.29	14.14	0.516	1.05	Member Bearing
T9	20	Diagonal	A325X	0.7500	1	7.70	14.14	0.544	1.05	Member Bearing

Compression Checks

Leg Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T1	180 - 160	ROHN 2.5 STD	20'	4'	50.7	1.7040	-15.35	63.56	0.241 ¹
					K=1.00				
T2	160 - 140	ROHN 3 STD	20'3/8"	5'1/8"	51.7	2.2285	-39.65	82.51	0.481 ¹
					K=1.00				
T3	140 - 120	ROHN 3 EH	20'15/32"	6'8-5/32"	70.5	3.0159	-67.21	94.34	0.712 ¹
			"	"	K=1.00				
T4	120 - 100	ROHN 4 EH	20'15/32"	6'8-5/32"	54.3	4.4074	-97.71	159.91	0.611 ¹
			"	"	K=1.00				
T5	100 - 80	ROHN 5 STD	20'3/8"	6'8-5/32"	42.7	4.2999	-127.41	169.38	0.752 ¹
					K=1.00				
T6	80 - 60	ROHN 5 EH	20'15/32"	10'1/4"	65.4	6.1120	-152.91	201.23	0.760 ¹
			"	"	K=1.00				
T7	60 - 40	ROHN 6 EHS	20'3/8"	10'1/4"	54.0	6.7133	-179.54	244.06	0.736 ¹
					K=1.00				
T8	40 - 20	ROHN 6 X-STR	20'3/8"	10'1/4"	54.8	8.4049	-205.41	303.75	0.676 ¹
					K=1.00				
T9	20 - 0	ROHN 6 EH	20'3/8"	10'1/4"	54.8	8.4049	-230.19	303.75	0.758 ¹
					K=1.00				

¹ P_u / φP_n controls

Diagonal Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
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Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T1	180 - 160	L1 3/4x1 3/4x3/16	7'9-15/3 2"	3'7-11/1 6"	127.1 K=1.00	0.6211	-2.73	11.01	0.248 ¹
T2	160 - 140	L2x2x3/16	9'9-23/3 2"	4'9-1/8"	145.0 K=1.00	0.7150	-3.24	9.74	0.332 ¹
T3	140 - 120	L2 1/2x2 1/2x1/4	12'4-7/1 6"	6'1-3/16'	149.0 K=1.00	1.1900	-4.89	15.34	0.318 ¹
T4	120 - 100	L2 1/2x2 1/2x1/4	14'1-29/ 32"	6'11-9/3 2"	169.7 K=1.00	1.1900	-5.54	11.83	0.469 ¹
T5	100 - 80	L3x3x1/4	15'10-29/ 32"	7'9-1/8"	159.2 K=1.00	1.4400	-6.18	16.27	0.380 ¹
T6	80 - 60	L3 1/2x3 1/2x1/4	19'1-13/ 16"	9'5-3/4"	163.8 K=1.00	1.6900	-6.74	18.02	0.374 ¹
T7	60 - 40	L3 1/2x3 1/2x1/4	20'10-13/ 16"	10'3-15/ 32"	177.9 K=1.00	1.6900	-7.30	15.29	0.477 ¹
T8	40 - 20	L4x4x1/4	22'8-9/3 2"	11'2-5/3 2"	168.8 K=1.00	1.9400	-7.68	19.50	0.394 ¹
T9	20 - 0	L4x4x1/4	24'6" 2"	12'1-3/3 2"	182.4 K=1.00	1.9400	-8.36	16.68	0.501 ¹

¹ P_u / φP_n controls

Top Girt Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T1	180 - 160	L2x2x1/8	6'7-13/1 6"	6'2-1/32'	186.1 K=1.00	0.4844	-0.15	4.00	0.038 ¹
T2	160 - 140	L2x2x1/8	6'8-9/32' '	6'1-29/3 2"	185.8 K=1.00	0.4844	-0.69	4.01	0.171 ¹

¹ P_u / φP_n controls

Tension Checks

Leg Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T1	180 - 160	ROHN 2.5 STD	20'	4'	50.7	1.7040	9.00	76.68	0.117 ¹
T2	160 - 140	ROHN 3 STD	20'3/8"	5'1/8"	51.7	2.2285	29.36	100.28	0.293 ¹
T3	140 - 120	ROHN 3 EH	20'15/32"	6'8-5/32'	70.5	3.0159	51.19	135.72	0.377 ¹
T4	120 - 100	ROHN 4 EH	20'15/32"	6'8-5/32'	54.3	4.4074	76.47	198.34	0.386 ¹
T5	100 - 80	ROHN 5 STD	20'3/8"	6'8-5/32'	42.7	4.2999	102.24	193.49	0.528 ¹
T6	80 - 60	ROHN 5 EH	20'15/32"	10'1/4"	65.4	6.1120	124.00	275.04	0.451 ¹

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Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T7	60 - 40	ROHN 6 EHS	20'3/8"	10'1/4"	54.0	6.7133	146.44	302.10	0.485 ¹
T8	40 - 20	ROHN 6 X-STR	20'3/8"	10'1/4"	54.8	8.4049	167.59	378.22	0.443 ¹
T9	20 - 0	ROHN 6 EH	20'3/8"	10'1/4"	54.8	8.4049	187.45	378.22	0.496 ¹

¹ P_u / φP_n controls

Diagonal Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T1	180 - 160	L1 3/4x1 3/4x3/16	7'9-15/32"	3'7-11/16"	84.0	0.3604	2.66	15.68	0.170 ¹
T2	160 - 140	L2x2x3/16	9'4-9/16"	4'6-19/32"	90.8	0.4308	3.37	18.74	0.180 ¹
T3	140 - 120	L2 1/2x2 1/2x1/4	12'4-7/16"	6'1-3/16"	97.0	0.7519	4.74	32.71	0.145 ¹
T4	120 - 100	L2 1/2x2 1/2x1/4	14'1-29/32"	6'11-9/32"	110.2	0.7519	5.55	32.71	0.170 ¹
T5	100 - 80	L3x3x1/4	15'10-29/32"	7'9-1/8"	102.1	0.9394	6.15	45.79	0.134 ¹
T6	80 - 60	L3 1/2x3 1/2x1/4	19'1-13/16"	9'5-3/4"	105.8	1.1034	6.70	53.79	0.125 ¹
T7	60 - 40	L3 1/2x3 1/2x1/4	20'10-13/16"	10'3-15/32"	114.7	1.1034	7.08	53.79	0.132 ¹
T8	40 - 20	L4x4x1/4	22'8-9/32"	11'2-5/32"	108.6	1.2909	7.29	62.93	0.116 ¹
T9	20 - 0	L4x4x1/4	24'6"	12'1-3/32"	117.3	1.2909	7.70	62.93	0.122 ¹

¹ P_u / φP_n controls

Top Girt Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u / φP _n
T1	180 - 160	L2x2x1/8	6'7-13/16"	6'2-1/32"	122.8	0.2930	0.15	12.74	0.011 ¹
T2	160 - 140	L2x2x1/8	6'8-9/32"	6'1-29/32"	122.6	0.2930	0.69	12.74	0.054 ¹

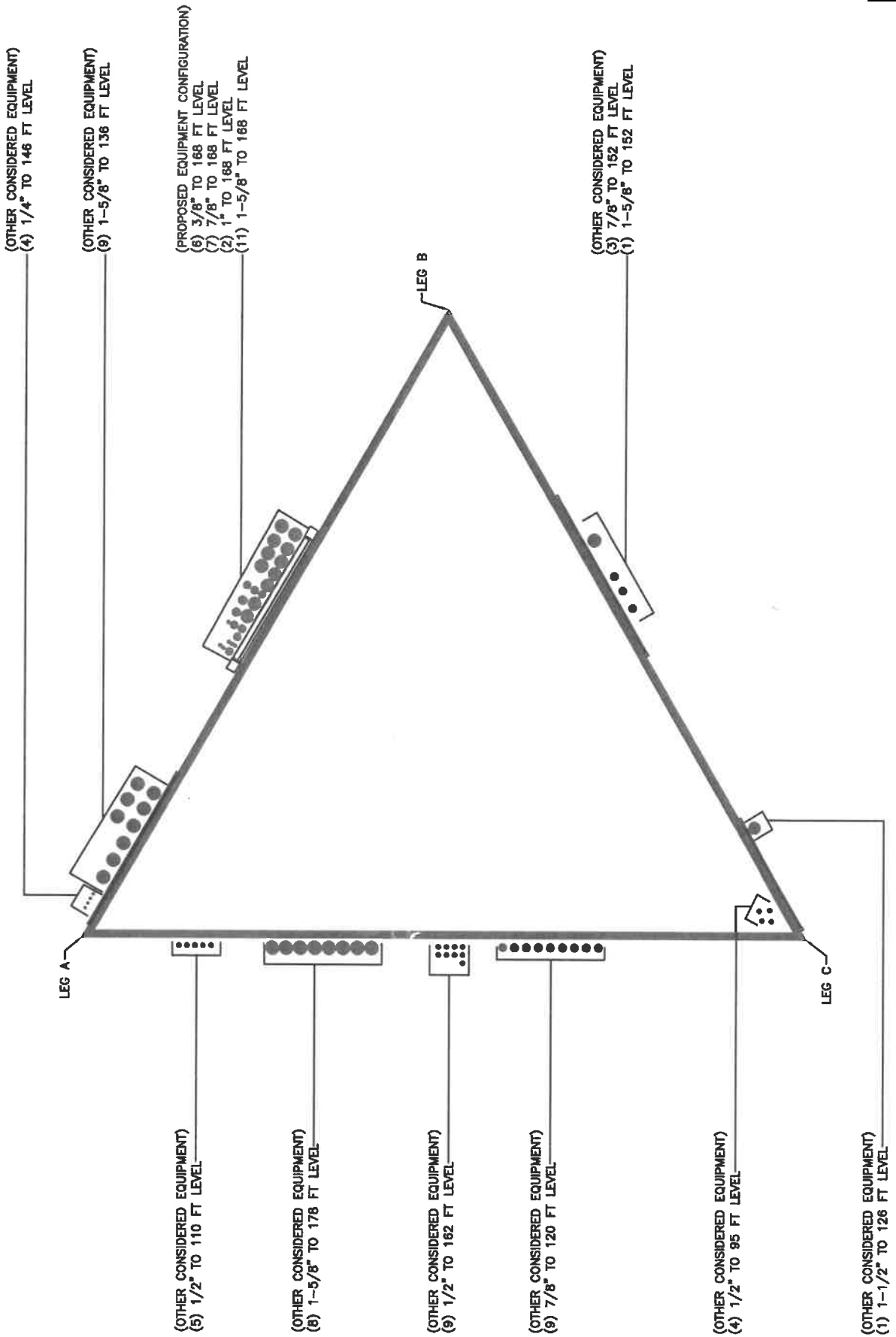
¹ P_u / φP_n controls

Section Capacity Table

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Section No.	Elevation ft	Component Type	Size	Critical Element	P K	$\frac{P}{allow}$ K	% Capacity	Pass Fail	
T1	180 - 160	Leg	ROHN 2.5 STD	2	-15.35	66.74	23.0	Pass	
T2	160 - 140	Leg	ROHN 3 STD	38	-39.65	86.63	45.8	Pass	
T3	140 - 120	Leg	ROHN 3 EH	68	-67.21	99.05	67.9	Pass	
T4	120 - 100	Leg	ROHN 4 EH	89	-97.71	167.90	58.2	Pass	
T5	100 - 80	Leg	ROHN 5 STD	110	-127.41	177.85	71.6	Pass	
T6	80 - 60	Leg	ROHN 5 EH	131	-152.91	211.29	72.4	Pass	
T7	60 - 40	Leg	ROHN 6 EHS	146	-179.54	256.27	70.1	Pass	
T8	40 - 20	Leg	ROHN 6 X-STR	161	-205.41	318.93	64.4	Pass	
T9	20 - 0	Leg	ROHN 6 EH	176	-230.19	318.94	72.2	Pass	
T1	180 - 160	Diagonal	L1 3/4x1 3/4x3/16	9	-2.73	11.56	23.6	Pass	
T2	160 - 140	Diagonal	L2x2x3/16	45	-3.24	10.22	31.7	Pass	
T3	140 - 120	Diagonal	L2 1/2x2 1/2x1/4	72	-4.89	15.11	30.3	Pass	
T4	120 - 100	Diagonal	L2 1/2x2 1/2x1/4	96	-5.54	12.42	44.6	Pass	
T5	100 - 80	Diagonal	L3x3x1/4	117	-6.18	17.08	36.2	Pass	
T6	80 - 60	Diagonal	L3 1/2x3 1/2x1/4	138	-6.74	18.92	35.6	Pass	
T7	60 - 40	Diagonal	L3 1/2x3 1/2x1/4	153	-7.30	16.05	45.5	Pass	
T8	40 - 20	Diagonal	L4x4x1/4	168	-7.68	20.47	37.5	Pass	
T9	20 - 0	Diagonal	L4x4x1/4	183	-8.36	17.52	47.7	Pass	
T1	180 - 160	Top Girt	L2x2x1/8	4	-0.15	4.20	3.6	Pass	
T2	160 - 140	Top Girt	L2x2x1/8	40	-0.69	4.22	16.3	Pass	
							Summary		
							Leg (T6)	72.4	Pass
							Diagonal (T9)	47.7	Pass
							Top Girt (T2)	16.3	Pass
							Bolt Checks	51.8	Pass
							RATING =	72.4	Pass

APPENDIX B
BASE LEVEL DRAWING



Item #2.

APPENDIX C
ADDITIONAL CALCULATIONS



ASCE 7 Hazards Report

Address:

No Address at This Location

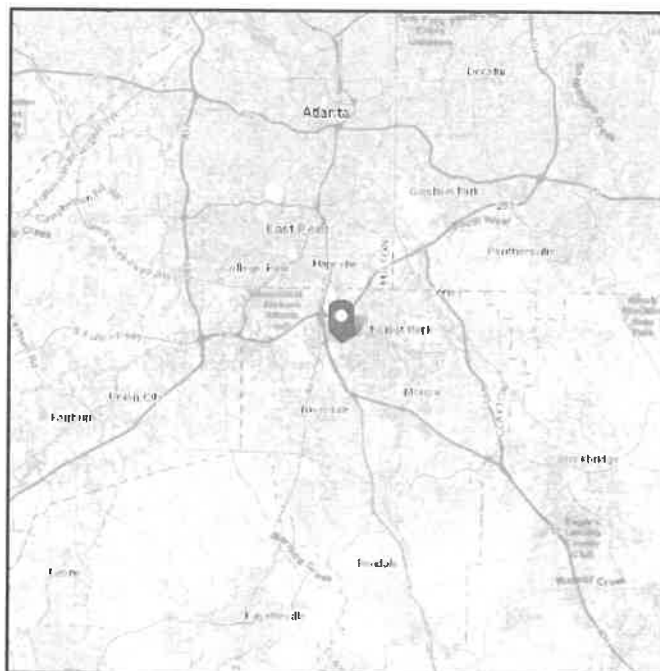
Standard: ASCE/SEI 7-16

Risk Category: II

Soil Class: D - Default (see Section 11.4.3)

Latitude: 33.615578

Longitude: -84.387542

Elevation: 979.42 ft (NAVD 88)


Wind

Results:

Wind Speed	108 Vmph
10-year MRI	73 Vmph
25-year MRI	79 Vmph
50-year MRI	85 Vmph
100-year MRI	91 Vmph

Data Source: ASCE/SEI 7-16, Fig. 26.5-1B and Figs. CC.2-1-CC.2-4, and Section 26.5.2

Date Accessed: Thu Dec 15 2022

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-16 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years).

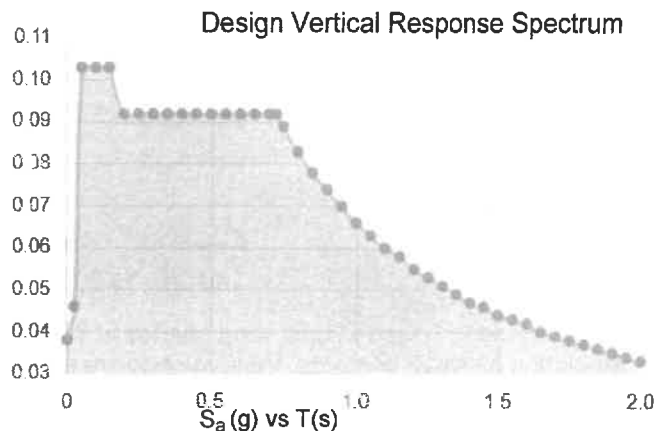
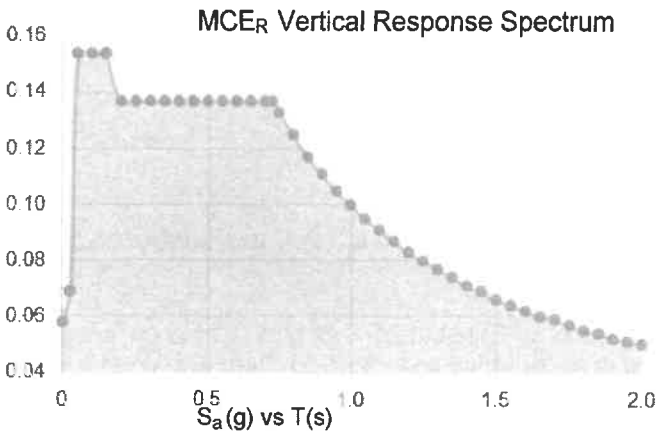
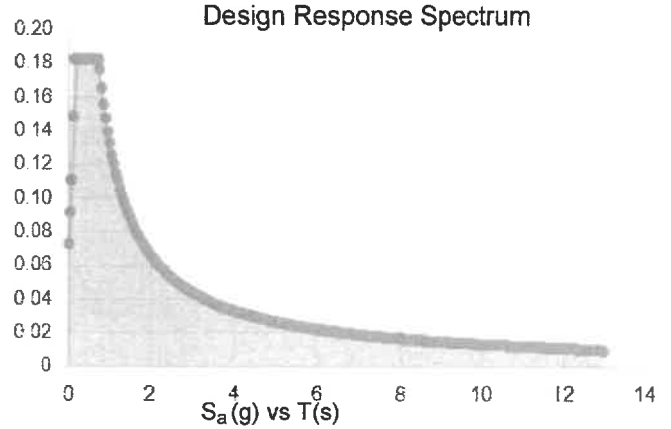
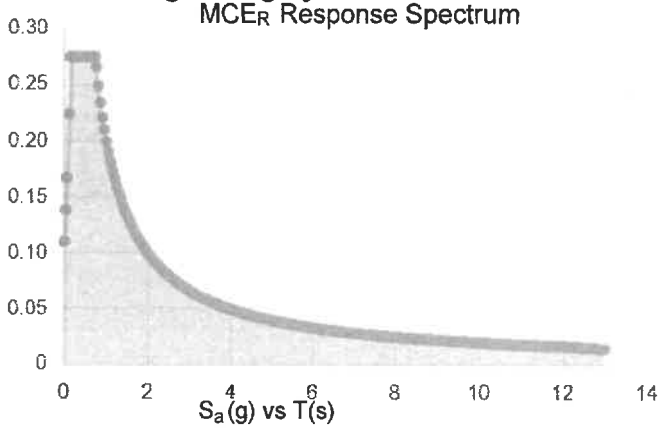
Site is not in a hurricane-prone region as defined in ASCE/SEI 7-16 Section 26.2.

Site Soil Class:

Results:

S_s :	0.172	S_{D1} :	0.133
S_1 :	0.083	T_L :	12
F_a :	1.6	PGA :	0.085
F_v :	2.4	PGA _M :	0.136
S_{MS} :	0.275	F_{PGA} :	1.6
S_{M1} :	0.199	I_e :	1
S_{DS} :	0.183	C_v :	0.7

Seismic Design Category: B



Data Accessed: Thu Dec 15 2022

Date Source:

USGS Seismic Design Maps based on ASCE/SEI 7-16 and ASCE/SEI 7-16 Table 1.5-2. Additional data for site-specific ground motion procedures in accordance with ASCE/SEI 7-16 Ch. 21 are available from USGS.



Ice

Results:

Ice Thickness:	1.50 in.
Concurrent Temperature:	15 F
Gust Speed	30 mph

Data Source: Standard ASCE/SEI 7-16, Figs. 10-2 through 10-8

Date Accessed: Thu Dec 15 2022

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain with concurrent 3-second gust speeds, for a 500-year mean recurrence interval, and temperatures concurrent with ice thicknesses due to freezing rain. Thicknesses for ice accretions caused by other sources shall be obtained from local meteorological studies. Ice thicknesses in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

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Self Support Anchor Rod Capacity



Site Info	
BU #	870443
Site Name	Forest Park (Barnett F
Order #	632284 Rev. 0

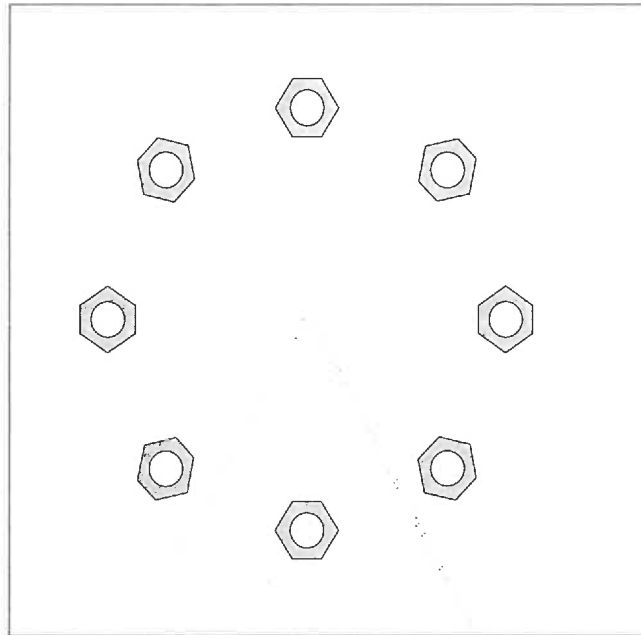
Analysis Considerations	
TIA-222 Revision	H
Grout Considered:	Yes
l_{ar} (in)	2

Applied Loads		
	Comp.	Uplift
Axial Force (kips)	236.00	192.00
Shear Force (kips)	26.00	22.00

*TIA-222-H Section 15.5 Applied

Considered Eccentricity	
	r
Leg Mod Eccentricity (in)	0.000
Anchor Rod N.A Shift (in)	0.000
Total Eccentricity (in)	0.000

*Anchor Rod Eccentricity Applied



Connection Properties	Analysis Results
-----------------------	------------------

Anchor Rod Data	
(8) 1" ϕ bolts (A354-BC N; $F_y=109$ ksi, $F_u=125$ ksi)	
l_{ar} (in):	2

Anchor Rod Summary		(units of kips, kip-in)
$P_u_t = 24$	$\phi P_n_t = 56.81$	Stress Rating
$V_u = 2.75$	$\phi V_n = 36.82$	40.2%
$M_u = n/a$	$\phi M_n = n/a$	Pass

Drilled Pier Foundation



BU #: 870443
 Site Name: Forest Park (Barnett Rd.)
 Order Number: 632284 Rev. 0
 TIA-222 Revision: H
 Tower Type: Self Support

Report File:

Check Limitation
 Apply TIA-222-H Section 15.5:
 N/A:
Additional Longitudinal Rebar
 Input Effective Depths (else Actual):
Shear Design Options
 Check Shear along Depth of Pier:
 Utilize Shear-Friction Methodology:
 Override Critical Depth:
 Go to Soil Calculations

Analysis Results

Soil Lateral Check	Compression	Uplift
D _{req} (ft. from TOC)	19.40	19.40
Soil Safety Factor	39.54	46.72
Max Moment (kip-ft)	346.05	292.81
Rating*	3.2%	2.7%

Soil Vertical Check	Compression	Uplift
Skin Friction (kips)	0.00	239.60
End Bearing (kips)	7125.00	-
Weight of Concrete (kips)	170.51	127.88
Total Capacity (kips)	7125.00	367.48
Axial (kips)	406.51	192.00
Rating*	5.4%	49.8%

Applied Loads

Moment (kip-ft)	Uplift
236	192
26	22

Material Properties

Concrete Strength, F _c	Rebar Yield Strength, F _y	Rebar Ultimate Strength, F _u
3 ksi	60 ksi	60 ksi

Pier Design Data

Depth	38 ft
Ext. Above Grade	0.5 ft

Pier Section 1

From 0.5' above grade to 38' below grade

Pier Diameter	6 ft
Rebar Quantity	24
Rebar Size	9
Rebar Cage Diameter	63 in
Tie Size	4
Tie Spacing	12 in

Rebar & Pier Options

Embedded Pole Inputs	Belled Pier Inputs
Critical Depth (ft from TOC)	19.19
Critical Moment (kip-ft)	345.99
Critical Moment Capacity	3739.93
Rating*	8.8%

Reinforced Concrete Shear	Compression	Uplift
Critical Depth (ft from TOC)	29.95	27.97
Critical Shear (kip)	37.22	24.76
Critical Shear Capacity	629.30	373.27
Rating*	5.6%	6.3%

Structural Foundation Rating*	9.1%
Soil Interaction Rating*	49.8%

*Rating per TIA-222-H Section 15.5

Groundwater Depth 26

Soil Profile

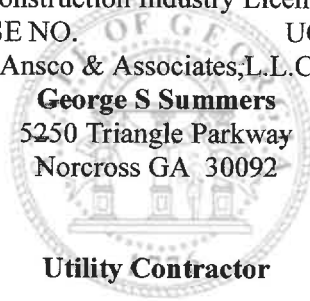
# of Layers	4
-------------	---

Layer	Top (ft)	Bottom (ft)	Thickness (ft)	Y _{soil} (pcf)	Y _{concrete} (pcf)	Cohesion (ksf)	Angle of Friction (degrees)	Calculated Ultimate Skin Friction Comp (ksf)	Calculated Ultimate Skin Friction Uplift (ksf)	Ultimate Skin Friction Comp Override (ksf)	Ultimate Skin Friction Uplift Override (ksf)	Ult. Gross Bearing Capacity (ksf)	SPT Blow Count	Soil Type
1	0	3	3	105	150	0	0	0.000	0.000	0.00	0.00			Cohesionless
2	3	8	5	105	150	0.3	30	0.324	0.324	0.00	0.48			Silty
3	8	26	18	110	150	0	30	0.000	0.000	0.00	0.48			Cohesionless
4	26	38	12	47.6	87.6	0	30	0.000	0.000	0.00	0.48	335.9938		Cohesionless



STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
Georgia Construction Industry Licensing Board
LICENSE NO. UC301242
AnSCO & Associates,L.L.C

George S Summers
5250 Triangle Parkway
Norcross GA 30092



Utility Contractor

EXP DATE - 04/30/2023 Status: Active
Issue Date: 02/14/2003

A pocket-sized license card is below. Above is an enlarged copy of your pocket card.
Please make note of the expiration date on your license. It is your responsibility to renew your license before it expires. Please notify the Board if you have a change of address.
Wall certificates suitable for framing are available at cost, see board fee schedule. To order a wall certificate, please order from the web site – www.sos.ga.gov/plb.
Please refer to Board Rules for any continuing education requirements your profession may require.

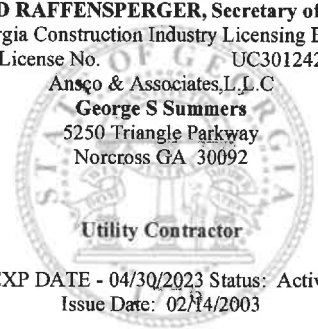
Georgia State Board of Professional Licensing
237 Coliseum Drive
Macon GA 31217
Phone: (404) 424-9966
www.sos.ga.gov/plb

AnSCO & Associates,L.L.C
5250 Triangle Parkway
Norcross GA 30092



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2022

**BUSINESS OCCUPATIONAL
TAX CERTIFICATE**

Business Item #2.
14712

License Number
2022-6971

Date Issued
03/29/2022

Date Expires
03/31/2023

Power and Communication Line and Related Structures Cons
(NOT TRANSFERABLE)

CITY OF PEACHTREE CORNERS
310 TECHNOLOGY PKWY
PEACHTREE CORNERS, GA 30092

FOR OPERATION IN THE CITY OF PEACHTREE CORNERS,
GEORGIA SUBJECT TO ZONING RESTRICTIONS AND ALL
OTHER CODES AND RESOLUTIONS OF THE MAYOR AND
CITY COUNCIL OF THE CITY OF PEACHTREE CORNERS,
GEORGIA. THIS LICENSE IS A MERE PRIVILEGE SUBJECT
TO BE SUSPENDED OR REVOKED, AND IS SUBJECT TO
ANY FURTHER ORDINANCES WHICH MAY BE ENACTED

Valid for Business Shown Below Only:

BUSINESS NAME / ADDRESS:

ANSCO & ASSOCIATES, LLC
5250 TRIANGLE PKWY STE 175
PEACHTREE CORNERS GA 30092

CORPORATE / MAILING ADDRESS:

ANSCO & ASSOCIATES, LLC
5250 TRIANGLE PKWY, STE 175
PEACHTREE CORNERS, GA 30092

MUST POST IN A CONSPICUOUS LOCATION

File Attachments for Item:**3. Council Discussion on Approving a Conditional Use Permit for a Small Event Party Venue – Planning & Community Dev.****Background/History:**

Authorization of the City Council to approve a conditional use permit to allow an event/party venue to host small gatherings, bridal showers and banquets at 1067 Forest Parkway, Ste. A. The business will operate on the weekend, Friday through Sunday. The space was formerly a party supply store. The property is zoned Institutional Commercial (IC). The district does not allow an event venue as a permitted or conditional use but allows places of assembly as a conditional use. Examples of places of assembly uses are, assembly halls, arenas, dance halls, pool/billiard halls and similar indoor amusement or recreation uses. Planning Commission recommended approval with conditions at its March 16, 2023 meeting.



CITY OF
FORESTPARK

City Council Agenda Item

Subject: Council Discussion on Approving a Conditional Use Permit for a Small Event Party Venue – Planning & Community Dev.

Submitted By: LaShawn Gardiner

Date Submitted: March 20, 2023

Work Session Date: April 3, 2023

Council Meeting Date: April 3, 2023

Background/History:

The applicant is requesting a conditional use permit to operate a small event/party venue to host small gatherings, bridal showers and banquets at 1067 Forest Parkway, Ste. A. The business will operate on the weekend, Friday through Sunday. The space was formerly a party supply store. The property is zoned Institutional Commercial (IC). The district does not allow an event venue as a permitted or conditional use but allows places of assembly as a conditional use. Examples of places of assembly uses are, assembly halls, arenas, dance halls, pool/billiard halls and similar indoor amusement or recreation uses.

Cost: \$ 0.00

Budgeted for: n/a Yes No

Financial Impact: n/a

EnterTextHere

Action Requested from Council:

Approval of the Conditional Use Permit with conditions.



CITY OF FOREST PARK

Item #3.

Planning & Community Development Department
785 Forest Parkway
Forest Park, Georgia 30297
(404) 608-2300 Fax: (404) 608-2306

Staff Report – Conditional Use Permit

Public Hearing Date: March 16, 2023

City Council Meeting: April 3, 2023

Case: CUP-2023-03

Current Zoning: IC – Institutional Commercial District

Proposed Request: Conditional Use for a small event/party venue/studio.

Staff Report Compiled By: SaVaughn Irons, City Planner

Staff Recommendation: Approval of Conditional Use Permit with Conditions

APPLICANT INFORMATION

Owner of Record: Honey's Sweet Memories, LLC	Applicant: Alyson M. Hamm
Name: Honey's Sweet Memories LLC	Name: Alyson M. Hamm
Address: 1067 Forest Parkway	Address: 1067 Forest Parkway
City/State: Forest Park, GA 30297	City/State: Forest Park, GA 30297

PROPERTY INFORMATION

Parcel Number: 13049D A001	Acreage: 0.43
Address: 1067 Forest Parkway, Forest Park, GA 30297	FLU: Commercial

SUMMARY & BACKGROUND

The applicant is requesting a Conditional Use Permit to add and operate a small event, party and studio venue in which she will host small gatherings, bridal showers and banquets that will not exceed 40 people and only operate Friday through Sunday (Weekends). Presently, the space is utilized as a party supply store at 1067 Forest Parkway Ste. A. This property is in the Institutional Commercial District (IC). The intent of the IC district is to allow a land use category for offices, banks, and personal business services which can serve as a transitional area between residential and commercial districts. Currently the district does not allow event venues as a permitted use or a conditional use but does allow places of assembly as a conditional use. Examples of Public Assembly Uses are Arenas, assembly halls, auditoriums, concert halls, convention halls, dance halls, exhibition halls, gymnasiums, indoor theaters, pool or billiard halls, stadiums, and similar indoor amusement or recreation uses. This property currently houses a party supply store, bakery and a salon within the same parcel. West of the arterial street is Lorraine Pl. The street frontage for the parcel is Forest Parkway; west of the parcel is one residential home and a commercial/retail business, south of the parcel are residential homes, east of the parcel are residential homes and an office building, and north of the parcel are commercial businesses.

Per Section 8-8-90, one (1) parking space for each six (6) seats or total parking area equal to 3 times the gross floor area, whichever is greater. Where there are no fixed seats each 24 inches of bench or pew shall be considered 1 seat. Where there are no seats, benches, or pews, each 20 square feet of ground or floor area usable for seating shall be considered 1 seat. Upon observation from aerial photographs, it appears the applicant has sufficient parking with an approximate parking space count of 8. Suite A Square footage is 1,000. Property address is not a standalone building. Building has additional suites attached. The Minimum requirements for the front yard setback to Forest Parkway is 25 feet, the minimum side (east) setback is 15 feet, the side (west) setback is attached, and the minimum required rear setback is 30 feet.

Property Zoned Institutional Commercial (IC)

ZONING CLASSIFICATIONS OF CONTIGUOUS PROPERTIES

Direction	Zoning & Use	Direction	Zoning & Use
North	DM: Downtown Mainstreet District	East	IC: Institutional Commercial District
South	RM: Multiple-family Residential District	West	IC: Institutional Commercial District

AERIAL MAP



ZONING MAP



SITE PHOTOS – MARCH 2023









ZONING CRITERIA AND ANALYSIS

1. **Would the proposed amendment be consistent and compatible with the City's land use and development, plans, goals, and objectives?** The proposed use is compatible and consistent with the City's land use and development goals and objectives. West of the parcel is within the Institutional Commercial District and contains a small residential structure and a CVS pharmacy, south of the parcel are residential homes, east of the parcel are a mixture of small businesses, and north of the parcel is within the Downtown Mainstreet District and encompasses a variety of other businesses.
2. **Would the proposed amendment tend to increase, to decrease, or to have no impact on traffic safety and congestion in the streets?** The proposal will not cause a significant impact on the transportation infrastructure.
3. **Would the proposed amendment tend to increase, to decrease, or to have no relationship to safety from fire and other dangers?** The proposed use will not have an increase, decrease of the relationship to safety from fire and other dangers if event

space attendee numbers are minimized. The proposed use can affect emergency access if there is an overflow of parking.

4. **Would the proposed amendment tend to promote, to diminish, or to have no influence on the public health and general welfare of the City?** The proposed development does not appear to be a detriment to the public health, safety, morals, or general welfare if the Conditional Use Permit is granted.
5. **Would the proposed amendment tend to increase, to decrease or to have no influence on the adequacy of light and air?** The proposed use will not increase, decrease or have any influence on the adequacy of light and air.
6. **Would the proposed amendment tend to cause, to prevent, or to have no influence on the overcrowding of land?** No.
7. **Would the proposed amendment tend to cause, to prevent, or to have no relationship on the population distribution within the City, thus creating any area so dense in population as to adversely affect the health, safety, and general welfare of the City?** The proposed use will not increase the population or density as to adversely affect the health, safety, and general welfare of the City.
8. **Would the proposed amendment tend to impede, to facilitate, or to have no impact on the adequate provision of transportation, water, sewerage, other public services, utilities, or facilities?** The proposed use will not cause any additional impact on the water/sewer and other utilities or other public services.
9. **Would the proposed amendment tend to be compatible with environmental conditions in light of surrounding developments? If compatible, what factors, if any, would diminish the value, use and enjoyment of surrounding properties?** The subject property value has no existing zoning restriction that would diminish the value and enjoyment of surrounding properties.
10. **Would the proposed amendment tend to promote, to diminish, or to have no influence upon the aesthetic effect of existing and future uses of the property and the surrounding area?** Granting a Conditional Use Permit would not diminish the future uses of the property and surrounding area.
11. **Would the proposed amendment have measurable adverse economic effect on the value of surrounding or adjacent property?** The use appears suitable for the nearby properties. Applicant has discussed use with neighboring businesses. There is no indication of any potential detrimental causes that would decrease the property value of surrounding or adjacent property.
12. **Would the proposed amendment create an isolated district unrelated to adjacent and nearby districts?** The Conditional Use Permit would not create an isolated district.

STAFF RECOMMENDATION

Staff recommends **APPROVAL OF A CONDITIONAL USE PERMIT** to allow a small event venue within the Institutional Commercial (IC) District. **WITH THE FOLLOWING CONDITIONS:**

1. The applicant must adhere to the City of Forest Park, GA Zoning Ordinance Parking standards outlined in Section 8-8-90.
2. The applicant will provide a letter of approval/consent from neighboring businesses providing consent of type of business to ensure no disruption of the current tenant/businesses
3. The applicant will provide written policy to guest on limited parking spaces and advise that they are not allowed to park on side residential streets, RM residential district is south of parcel.
4. Maximum number of occupants in facility shall not exceed 40 persons at any time.
5. Violation of these conditions will result in the loss of the conditional use permit and associated business licenses.

Attachments Included:

- Application
- Letter of Intent
- Authorization of Property Owner
- Disclosure of Campaign Contributions and Gifts
- Floor Plan



FORESTPARK

RE: Alyson Hamm
1067 Forest Parkway
Forest Park, GA
30297 Ste A.

Item #3.

CITY OF FOREST PARK

Department of Planning & Community Development
785 Forest Parkway
Forest Park, Georgia 30297
(404) 608-2301 Fax: (404) 608-2300

CONDITIONAL USE APPLICATION

Important Notice:

Please read the application carefully. The Department of Planning & Community Development will not accept an incomplete application. Submittal of partial or incomplete applications will not be accepted. This request is subject to all Department of Planning & Community Development requirements under the jurisdiction of the City of Forest Park. If you have any further questions concerning these requirements, please contact the City of Forest Park Department of Planning & Community Development for clarification.

Conditional Use Application Checklist

Please submit the following materials in addition to this application:

1. **Authorization(s) of property owner(s);**
2. **Notarized authorization(s) of attorney** (only if an attorney is filing the application on behalf of a property owner);
3. **Letter of intent;**
4. **A copy of a survey plat of the property;**
5. **A written legal description** (in metes and bounds);
6. **A conceptual site plan.** This plan must be drawn to scale and must depict the proposed use of the property. This must include the following:
 - A scale and north arrow;
 - The proposed land use and building outline as it would appear (should the Conditional Use Permit application be approved);
 - The present zoning classification of all adjacent parcels;
 - The gross square footage of all proposed buildings;
 - The proposed location of all driveways and entry/exit points for vehicular traffic, using arrows to depict direction of movement;
 - The location of all required off-street parking and loading spaces, including number of spaces and driveway dimensions;
 - Required yard setbacks (appropriately dimensioned);
 - The location and extent of required buffer areas, depicting extent of natural vegetation, as well as the type and location of additional vegetation (if required).
7. **File notarized application and all required materials with the City of Forest Park Department of Planning & Community Development.**
8. **Pay application fee.** The Conditional Use Permit application fee is **\$250**. The fee is due upon submission of this application. Please make check payable to The City of Forest Park.



FORESTPARK

CITY OF FOREST PARK

Item #3.

Planning Building & Zoning Department
785 Forest Parkway
Forest Park, Georgia 30297
(404) 608-2300 Fax: (404) 608-2306

ZONING VERIFICATION

Important Notice:

It is **STRONGLY** recommended that before leasing, purchasing, or otherwise committing to a property, you confirm that the zoning is appropriate for its intended use and complies with the City's Zoning Ordinance. Zoning Verification is a process that allows city staff to confirm whether or not a location is appropriately zoned for a certain use. It is **NOT** a business license or a building permit. Any construction or renovation to accommodate the proposed activity will require a separate building permit. This document does not authorize a business to conduct business without an Occupational Tax Certificate, nor does it authorize the applicant to start construction without the proper permits. It is the responsibility of the applicant to adhere to state and local laws and codes. Be mindful that an approved application does not necessarily mean that the space is adequate for your business. Please contact City Hall for more information about business licenses.

APPLICANT INFORMATION

Name of Applicant: Alyson M. Hamm
Name of Business: Honey's Sweet Memories LLC
Business Address: 1067 Forest Parkway Forest Park, GA 30297 Ste. A
Email Address: hsmeventservices@gmail.com Phone: 404-438-3318

PROPERTY INFORMATION

Current Use of Property: Party Supply Store
Proposed Use of Property: Small Event Venue

Are there any plans to modify the property (construction, electrical, or plumbing)? Yes No

Applicant's Signature (Type Name): Alyson M. Hamm Date: 1/13/23

CC Auth 930376.

OFFICE USE ONLY			
Current Zoning: <u>IC</u>	Fee Paid:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Required Zoning: <u>GC</u>	Alcohol License Required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Business Classification: <u>Group A</u>	Conditional Use Permit Required:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Comments:	APPROVED <input type="checkbox"/>	DENIED <input checked="" type="checkbox"/>	
Reviewed By: <u>Alyson Hamm</u>	Date: <u>1/13/2023</u>		

Per Section 8-8-38, places of assembly require a conditional use permit.

MUST PAY \$75 APPLICATION FEE PRIOR TO REVIEW

Applicant Information

Date Received: _____ Case Number: _____

Applicant: Alyson Hamm

Address of Property: 1067 Forest Parkway Ste A Forest Park, GA

Email Address: hsmeventservices@gmail.com Phone: 404-438-3318

Property Owner (if different from above): Forest Park Investments LLC

Mailing Address (if different from above): 5825 Glenridge Drive Bldg 1 Atlanta, GA 30328

Email Address: holzer@skulineseven.com Phone: 404-812-8910

Size of Property: Square Footage: 18,986 Acres: .4359

Present Zoning Classification: IC

District: 13 Land Lot: 049 Parcel: 13049D A001

Present Land Use: Bakery, Hair Salon, + Party Supply Store

Proposed Land Use: Small Event/Party Venue/Studio

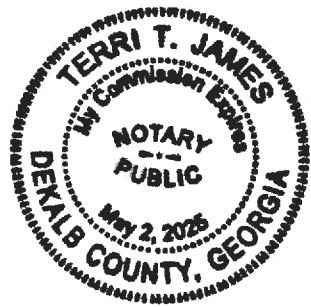
I hereby make application to the City of Forest Park for conditional use of the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete, and accurate. I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Forest Park reserves the right to enforce all ordinances regardless of any action or approval of this application. Furthermore, I understand that it is my/our responsibility to conform with all the City of Forest Park's ordinances in full. I hereby acknowledge that all requirements of the City of Forest Park shall be adhered to. I attest that I have read and understand this application or have had it read to me (if I could not read it myself). I understand that it is a felony to make false statements or writings to the City of Forest Park pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

SIGNATURE: Alyson Hamm Date: 1/26/23

PRINT NAME: Alyson Hamm

Sworn to and subscribed before me
This 26 day of January, 2023.

[Signature]
Notary Public



Disclosure of Campaign Contributions & Gifts

Application filed on _____, 20____ for action by the City Council on the following property:

1067 Forest Parkway Ste. A Forest Park, GA 30297
Address of property

All individuals, business entities, or other organizations having a property or other interest in said property that is the subject of this application are as follows:

The undersigned below has complied with the Official Code of Georgia Section 36-67A-1, et. Seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

Have you, as the applicant, or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Forest Park City Council?

Yes: _____ No: X

If yes, please complete the following section (attach additional sheets if necessary):

Name and Official Position of Government Official	Contributions (only those which aggregate to \$250.00 or more)	Date of Contribution (Within the last two (2) years)

I do hereby certify that the information provided herein is both complete and accurate to the best of my knowledge.

[Signature]
Applicant Signature

1/26/23
Type or Print Name and Title

Applicant Representative Signature

Type or Print Name and Title

[Signature] 1/26/23
Notary Signature Date

(Affix Seal Here)



Authorization of Property Owner

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

1067 Forest Parkway, Forest Park, GA

City of Forest Park, Clayton County, Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN PURSUIT OF A CONDITIONAL USE OF THE DEVELOPMENT REQUESTED ON THIS PROPERTY.

Name of Applicant: Alyson Hamm

Applicant Address: 107 Parkview Drive, Stockbridge, GA

Applicant Phone: 404-438-3318

RY

Owner Signature

Ryan Holzer

Owner Name (please print)

Sworn to and subscribed before me

This 26 day of Jan., 2023.

Kimberly Moore
Notary Public



LEASE

THIS LEASE made effective as of the 19 day of December, 2022, by and between Forest Park Investment I, LLC ("Lessor"), and Alyson Hamm, an individual resident of the state of Georgia ("Lessee").

WITNESSETH:

1. Premises and Shopping Center. For and in consideration of the following, Lessor hereby leases and rents unto Lessee, and Lessee hereby agrees to lease and take from Lessor upon the terms and conditions hereinafter set forth, the Premises (hereinafter the "Premises") which is located within the Shopping Center (hereinafter the "Shopping Center") as described in Exhibit B, attached hereto and made a part hereof.

2. Base Rental. Lessee shall pay to Lessor at Lessor's address shown on Exhibit A, or to such other address as Lessor may from time to time designate by written notice to Lessee, promptly on the first (1st) day of each month, in advance, during the term of this Lease, in lawful money of the United States of America (and in a format acceptable to the Lessor, at Lessor's sole discretion) without offset or deduction, Base Rental (hereinafter the "Rent") as described on Exhibit A, attached hereto and made a part hereof. In the event of late payment of rental hereunder, any Rent received by Landlord after the fifth (5th) day of the month, each installment shall require that Lessee pay a late charge equal to ten (10%) percent of the installment due as additional Rent. Any accrued and unpaid Rent as well as late charges due after the fifth (5th) shall bear interest at the rate of eighteen percent (18%) per annum from the day it is due until actually paid. In like manner, all other obligations, benefits and monies that may become due to Lessor from Lessee because of Lessee's default hereunder, shall bear interest at the rate of eighteen percent (18%) per annum. If the Commencement Date or Expiration Date does not fall on the first day or last day, respectively, of a calendar month, then the rent for such month shall be prorated on a daily basis.

3. Insurance.

(a) Lessee shall maintain at its sole expense, commencing upon the date Lessee takes possession of the Premises and continuing throughout the Lease Term, (a) commercial general liability insurance covering the Premises in a combined single limit amount of not less than One Million Dollars (\$1,000,000.00), naming Lessor and any mortgagee(s) of Lessor as additional insured there under; and (b) all risk property insurance for the full replacement value of Lessee's improvements and Lessee's property, including, but not limited to, inventory, trade fixtures, furnishings and other personal property. A copy of the policy or a certificate of insurance shall be delivered to Lessor at least five (5) days before Lessee's taking occupancy and Lessee shall supply Lessor with a renewal policy or certificate prior to the expiration of each renewal or succeeding policy or certificate throughout the original lease term. Such insurance policy shall provide that the insurer shall not cancel such policy unless such insurer shall deliver to Lessor notice of such cancellation no later than ten (10) days prior to the date of such cancellation.

(b) Lessee shall, as additional rental, also pay to Lessor a prorata amount of the insurance premiums for fire and extended coverage and for public liability on the Premises, in the same percentage as its space is to the total rentable space of the Shopping Center. Lessor will promptly notify Lessee of the total insurance premiums and Lessor will attach to said notice, if applicable, a copy of the insurance invoice related thereto. Lessee shall pay the sum so specified to Lessor within fifteen (15) days following the date of Lessor's notice. If any portion of the term of this Lease does not coincide with the period for which the insurance is rated, the amount otherwise due from Lessee shall be prorated according to the number of months during which Lessee was in possession of the Premises. At Lessor's option, this shall be paid by Lessee monthly along with the Rent immediately on becoming due. Lessee shall carry fire and extended hazard coverage on all of Lessee's tenant improvements and personal property in the Premises. A copy of the policy or a certificate of insurance shall be delivered to Lessor at least five (5) days before Lessee's

taking occupancy and Lessee shall supply Lessor with a renewal policy or certificate prior to the expiration of each renewal or succeeding policy or certificate throughout the original lease term.

4. Term. The term of this Lease shall commence on the date shown and shall continue for a period shown on Exhibit A attached hereto and made a part hereof.

5. Repairs by Lessors. During the term of this Lease, Lessor shall maintain and be responsible for the foundation, roof, exterior walls (exclusive of all glass and exterior doors), and underground utility and sewer pipes exterior to the building except for repairs rendered necessary by the negligence of Lessee, Lessee's agents, employees and invitees. At any time during the term of this Lease, Lessor may enter the Premises at reasonable hours. Lessor shall be under no obligation to inspect the Premises, and Lessee shall promptly report to Lessor in writing any defective condition known to Lessee which Lessor is required under this paragraph to repair. Failure by Lessee to so report such condition after Lessee learns of such condition shall make Lessee responsible to Lessor for any liability arising out of such condition up to the point where Lessor shall have had a reasonable opportunity to respond to the condition.

6. Repairs by Lessee. Lessee shall maintain, repair and keep in clean and good working order the internal and external electrical and plumbing fixtures, the electrical switches and receptacles, the commodes and basins, the heating and air conditioning units, including thermostatic controls and filters, in the Premises. Lessee shall provide or pay for pest, bug and termite control service or otherwise keep the Premises free from pests, termites and wood-boring infestation. Lessee shall make all other repairs and perform all other maintenance which may be necessary to keep the Premises in clean and good working order other than those specifically set forth hereinabove as the responsibility of Lessor. Lessee shall maintain a preventive maintenance program providing for the regular inspection and maintenance of the heating and air conditioning system by a licensed heating and air conditioning contractor. Lessee shall provide Lessor annually with evidence that Lessee is maintaining said preventive maintenance program.

7. Taxes, Utility and Common Area Charges. Lessee shall, during the term hereof, pay all charges for telephone, gas, electricity, sewage and water used in or on the leased premises, which utilities are to be contracted for and placed in Lessee's name. Lessee agrees to make timely payment of all ad valorem or other taxes and assessments levied upon Lessee's inventory, equipment, fixtures, furnishings and other property located on or in connection with the Premises as well as Lessee's share of ad valorem taxes and assessments levied upon the entire Shopping Center in which the Premises is located. Additionally, Common Area Charges shall include all expenditures incurred by or on behalf of Lessor in operating, maintaining, repairing or replacing the Shopping Center and Common Areas or public areas owned by the municipality that benefit the Shopping Center which Lessor maintains or for which Lessor pays a maintenance fee, including, without limitation, exterior walls and other structural elements of the Shopping Center, the cost of all of Lessor's gardening and landscaping, assessments, repairs, preventive maintenance, any association fees, repainting including restriping or repaving of parking lot and access ways, repairing or replacing any streets, curbs or parking lots, roof repairs and replacement, updating and maintenance and replacement of directory signs, rental of signs and equipment, lighting, sanitary control, cleaning, sweeping, removal of ice, snow, trash, rubbish, garbage and other refuse, repair or replacement of awnings, equipment and other assets used in the operation and maintenance of the Shopping Center, repair or replacement of on-site water lines, sanitary sewer lines, storm water lines, gas lines and electrical lines and equipment serving the Shopping Center, all costs, charges and expenses incurred by Lessor in connection with any change of any company providing utility services including without limitation repair, installation and service costs associated therewith, the cost of police, fire protection, security and traffic control services, Lessor's management fees, reasonable reserves for anticipated expenditures, costs incurred by Lessor under any operating and easement agreements or other similar agreement of record and the cost of all personnel required to supervise, implement and accomplish all of the foregoing (including wages, salaries, compensation and benefits). Common Area Charges shall also specifically include capital expenditures for the repair and/or replacement of Common Areas; provided, however, Lessee shall only be obligated to pay for the cost of capital expenditures for repairing and/or replacing Common Areas based on the cost of such repair and/or replacement amortized over the useful life of the Common Area item being repaired and/or replaced (together with interest at an interest factor reasonably determined by Lessor).

which useful life shall be reasonably determined by Lessor in its sole discretion. This shall be paid by Lessee along with the Rent immediately on becoming due and Lessee shall hold Lessor harmless from any liability therefor. This amount shall be adjusted annually, based on an accounting of actual expenses incurred for the previous twelve (12) months. Lessee further agrees to pay all charges for repairs to individual water and other utility meters on the leased Premises whether necessitated by ordinary wear and tear, temperature extremes, accident or any other cause. Such payments shall be made immediately on becoming due.

8. Use of Premises; Alterations to Premises.

(a) The Premises shall be used for, and only for, the purposes shown on Exhibit A attached hereto and made a part hereof. The Premises shall not be used for any illegal purpose nor in any manner to create any nuisance or trespass, nor in any way which would violate any law, ordinance, or subdivision restrictions affecting the Premises nor in any manner as would cause cancellation of, prevent the use of, or increase the rate of the standard form of fire and extended coverage insurance policy to be carried by Lessor. Lessee shall use the Premises only in full compliance with all ordinances, statutes, rules and regulations of any applicable governmental authorities, Board of Fire Underwriters, or any other entity having jurisdiction over the Premises. To the extent that any repairs, alterations, changes or additions to the Premises are required by the application of such ordinances, statutes, rules or government regulations after the lease term begins, all such repairs, alterations, changes or additions shall be made, subject to the terms hereof, at the sole expense of Lessee. If at any time during the term of this Lease the insurance rate for the Premises is increased due to the nature of the use of the Premises by Lessee, said increased amount shall be paid by Lessee as additional rental on the first (1st) day of the month following Lessee's receipt of notification and evidence of the payment thereof by Lessor. All storage, business and other activities conducted by Lessee shall be entirely confined to and within the Premises. No portion of the common areas, as herein defined, shall be used for storage of any materials, supplies or vehicles.

(b) Lessee shall make no alterations or modifications of the exterior or interior of the Premises without the prior written consent of Lessor, which consent shall be granted or withheld in Lessor's sole discretion. Lessee's request for consent shall be in writing and accompanied by plans and specifications describing the proposed alterations or modifications. Such consent shall be deemed given if Lessor fails to respond to such request within thirty (30) days after receipt thereof. Notwithstanding the foregoing, Lessee shall have the right to make interior non-structural alterations or modifications to the Premises costing less than One Thousand Dollars (\$1,000) upon ten (10) days prior written notice to Lessor accompanied by plans and specifications therefor. Lessee shall fully comply with all applicable governmental laws, ordinances, codes, regulations and other requirements with respect to any such alterations. All such alterations shall be accomplished in a first-class workmanlike manner using first-quality materials in connection therewith. All such alterations erected by Lessee shall be and remain the property of Lessee during the term of this Lease, and Lessee shall (unless Lessor otherwise elects) remove all such alterations erected by Lessee prior to the expiration date or earlier termination of this Lease provided, however, that if Lessor and Lessee so elect, such alterations shall be delivered up to Lessor with the Premises. All shelves, bins, machinery, movable partitions and trade fixtures installed by Lessee may be removed by Lessee prior to the expiration date or earlier termination of this Lease if Lessee so elects, and shall be removed by the expiration date or earlier termination of this Lease if required by Lessor. Lessee shall permit no liens to attach or exist against the Premises.

9. Parking and Common Areas. Common areas shall consist of those areas on the real property of the Shopping Center, which are not specified as Premises or are open for use by the public and other tenants of the property including, without limitation, all parking areas, driveways, truckways, delivery passages, common truck loading areas, walkways, halls, planted areas, and public restrooms (if any). Lessor agrees that Lessee shall have nonexclusive access in common with all other tenants to the common areas. Lessor shall have the right at any time to change the size, location, elevation or nature of the common areas and parking of the center or any portion thereof, including without limitation, the right to locate thereon, kiosks, structures or other buildings or to close portions thereof. Lessee agrees that upon request of Lessor, it shall cause its employees, agents, owners and concessioners to park at areas designated therefor. Lessor

reserves the right to, at its discretion, reserve parking spaces for Lessee and designated tenants. During the terms hereof, Lessor reserves the right to relocate Lessee to a reasonable location in the Shopping Center comparable in size to the Premises and on the same terms and conditions as contained herein. Lessee shall be allowed to remove all of Lessee's leasehold improvements from the Premises pursuant to such relocation provided that Lessee repair any damage caused by such removal. Lessor may, at its option, terminate this Lease if Lessee refuses to accept said new location.

10. Waiver and Subrogation. Lessee hereby waives any claim which may arise in its favor against Lessor hereto arising out of this Lease for any loss or damage to any of its property located within upon or constituting a part of the Premises. Lessor agrees to have its own insurance company properly endorse the fire and extended coverage insurance policies for the Premises, or anything located therein:

- (i) to waive any subrogation claims against the other party, and
- (ii) to prevent the invalidation of said insurance coverage by reason of this waiver.

11. Destruction of or Damage to the Premises.

(a) If the Premises are totally destroyed by storm, fire, lightning, earthquake or any other casualty, this Lease shall terminate as of the date of such destruction, and rental shall be accounted for as between Lessor and Lessee as of that date.

(b) If the Premises are partially destroyed by any of the casualties described hereinabove, Lessor shall notify Lessee in writing of the time period within which Lessor will be able to repair and restore the Premises from the date of such casualty. If such damage cannot be reasonably repaired within six (6) months' time, then, within thirty (30) calendar days of such damage, Lessor and Lessee shall each have the right to terminate this Lease by delivery to the other party of written notice of such termination. If either Lessor or Lessee shall so terminate the Lease, then rental shall be paid up to the date of such termination.

(c) If neither Lessor nor Lessee shall so terminate this Lease or if the damage can be reasonably repaired within six (6) months' time, then rental shall abate in such proportion (based upon the square footage, as use of the Premises has been restricted) and Lessor (provided Lessor's mortgagee, if any, allows for use of insurance purposes for same) shall restore the Premises to substantially the same condition as before the occurrence of such casualty as speedily as practicable, whereupon full rental shall recommence. Lessor shall complete the restoration by the date given in its notice under (b) above.

12. Condemnation.

(a) If the whole of the Premises, or such portion thereof as will make the Premises substantially less usable for the purposes herein leased, be condemned or proposed to be condemned by any legally constituted authority for any public use or purpose, then this Lease shall terminate as of the time when title thereto is acquired by public authorities, and rental shall be accounted for between Lessor and Lessee as of that date. In the event that only a portion of the Premises is condemned and the remaining portion can, after restoration and repair (provided that Lessor's mortgagee, if any, allows proceeds of condemnation action to be used for same), be made satisfactorily usable for Lessee's purposes, then this Lease shall not terminate, however, the Rent shall be reduced proportionately to the amount (based upon square footage) of the Premises taken. In such event, Lessor shall make any necessary repairs as soon as they can be reasonably accomplished.

(b) Any termination or obligation to repair, however, shall be without prejudice to the rights of either Lessor or Lessee, or both, to recover from the condemner compensation and damages caused by such condemnation. Lessor and Lessee acknowledge that Lessee shall have the right to apply for and collect the value of its alterations, trade fixtures and special equipment installed by it in the Premises, repairs made by Lessee, the damage to its business operations or moving expenses and any other compensable damages resulting from such condemnation not affecting Lessor's settlement with the condemning authority, provided, however, that Lessee shall have no other claim against Lessor or against the

condemner for the value of any unexpired portion of the term of this Lease or otherwise. Neither the Lessee nor the Lessor shall have any rights in any award made to the other by any condemnation authority.

13. Exterior Signs. Lessor may erect and maintain such signs on the Premises as it in its sole discretion may deem appropriate. Lessee shall erect and maintain only such signs as Lessor may approve in writing. Any sign erected by Lessee shall conform to all laws, ordinances and regulations pertaining thereto. Lessee shall be solely responsible for the installation and, prior to the termination or expiration of the Lease, the removal of the sign including any damages to the Premises occasioned by the installation and/or removal of such sign. If any damage is done to Lessee's sign, Lessee shall repair same within ten (10) days or Lessor may at its option repair same or remove same at Lessee's expense.

14. Assignment and Subletting. Lessee shall not, without the prior written consent of Lessor, which consent may be withheld or granted in Lessor's sole discretion, assign this Lease or any interest hereunder, or sublet the Premises or any part thereof, or permit the use of the Premises by any party other than Lessee. Consent by Lessor to any assignment or sublease shall not destroy this provision and all later assignments or subleases shall be made likewise only on the prior written consent of Lessor on the same basis as aforesaid. If Lessee is a corporation, partnership, joint venture or other entity, any transfer, sale or other disposition of the stock or interest of Lessee which may or does cause a change in control of Lessee shall be deemed an assignment of this Lease. Each assignee of Lessee shall become directly liable to Lessor for all obligations of Lessee hereunder. No sublease or assignment by Lessee shall relieve Lessee of any liability hereunder. Lessee agrees to pay Lessor a sum of not less than Seven Hundred Fifty Dollars (\$750 in advance) to cover Lessor's administrative and legal costs associated with efforts to determine assignee's suitability and preparation of transfer documents.

15. Mechanic's Lien. Lessee shall have no authority, express or implied, to create or place any mechanic's or other lien or encumbrance of any kind or nature whatsoever upon, or in any manner to bind, the interest of Lessor in the Premises or to charge the rentals payable hereunder for any claim in favor of any person. Any such claim shall affect, and each such lien shall attach, if at all, only to the leasehold interest granted to Lessee by this instrument. Lessee shall pay or cause to be paid all sums legally due and payable for any labor performed or materials furnished in connection with any work performed at Lessee's request on the Premises on which any lien is or can be validly and legally asserted against its leasehold interest in the Premises or the improvements thereon. Lessee will save and hold Lessor harmless from and against any and all loss, cost or expense, including court costs and reasonable attorneys' fees, based on or arising out of claims or liens asserted against the leasehold estate or the right, title and interest of Lessor in the Premises or under the terms of this Lease.

16. Lessor Lien. To secure the payment of all rental and other sums of money due and to become due hereunder and the faithful performance of this Lease by Lessee, Lessee hereby gives to Lessor, an express first and prior contract lien and security interest on all property, including fixtures, equipment, chattels, inventory, automobiles and merchandise) which may be placed in the demised Premises by Lessee, and also upon all proceeds of any insurance which may accrue to Lessee by reason of destruction of or damage to the any such property. Such property shall not be removed therefrom without the written consent of Lessor until all arrears in rental and other sums of money then due Lessor hereunder shall first have been paid. All exemption laws are hereby waived in favor of said lien and security interest. Lessee agrees that it will execute a UCC statement covering the above in favor of Lessor, coincidental to execution of this Lease.

17. Default by Lessee.

(a) Default. In the event Lessee (i) fails to pay all or any portion of any sum due from Lessee hereunder as and when such payment is due; (ii) fails to cease all conduct prohibited hereby immediately upon receipt of written notice from Lessor; (iii) fails to take actions in accordance with the provisions of written notice from Lessor to remedy Lessee's failure to perform any of the non-monetary terms, covenants,

and conditions of this Lease; (iv) fails to conduct business in the Premises as herein required; (v) commits an act in violation of this Lease which Lessor has previously notified Lessee to cease more than once in any Lease Year; (vi) becomes bankrupt, insolvent or files any debtor proceeding, takes or has taken against Lessee any petition of bankruptcy; takes action or has action taken against Lessee for the appointment of a receiver for all or a portion of Lessee's assets, files a petition for a corporate reorganization; makes an assignment for the benefit of creditors, or if in any other manner Lessee's interest hereunder shall pass to another by operation of law (any or all of the occurrences in this subsection being deemed a default on account of bankruptcy for the purposes hereof and such default on account of bankruptcy shall apply to and include any guarantor of this Lease); (vii) commits waste to the Premises; or (viii) is otherwise in breach of Lessee's non-monetary obligations hereunder and shall not have cured such default within ten (10) days following written notice from Lessor; then Lessee shall be in default hereunder. If Lessee is in default, then Lessor shall have any and all of the following right: (i) to re-enter and remove all persons and property from the Premises; such property may be stored in a public warehouse, sidewalk or elsewhere at the cost of and for the account and sole risk of Lessee without service of notice or resort to legal process; Lessee hereby indemnifies and holds Lessor harmless from any and all loss or damage which Lessee may incur by reason thereof; (ii) without terminating this Lease, to make such alterations and repairs as may be necessary to relet the Premises, and relet the Premises or any part thereof, as the agent of Lessee, under such terms and conditions as Lessor may deem advisable and Lessee shall pay all costs of such reletting including, but not limited to, the reasonable cost of any such alterations, repairs and physical improvements made to the Premises, reasonable attorneys' fees, and reasonable brokerage commissions and any other costs reasonably associated with reletting the Premises. Upon such reletting all rentals received by Lessor shall be applied, first, to the payment of any indebtedness other than Rent due hereunder from Lessee to Lessor; second, to the payment of any loss and expenses of such reletting, including brokerage fees and attorney's fees and costs of alterations and repairs; third, to the payment of Rent due and unpaid hereunder; and the residue, if any, shall be held by Lessor and applied in payment of future Rent as the same may become due and payable hereunder. Lessee agrees to pay to Lessor monthly during the remainder of the Lease Term, and deficiency that may arise by reason of reletting. Notwithstanding any such reletting without termination, Lessor may at any time thereafter elect to terminate this Lease for such previous breach; (iii) terminate this Lease upon written notice to Lessee and this Lease shall be deemed to have been terminated as of the date set forth in such notice. In addition to any other available remedies, Lessor may recover from Lessee all damages it may incur by reason of such breach and termination, including all arrearages in Rent, costs, charges, Additional Rent, assessments, reimbursements for any free rent or construction allowance paid to Lessee hereunder, the cost of recovering possession of the Premises, reasonable attorney's fees and court costs, plus liquidated damages for failure of Lessee to observe and perform the covenants of this Lease equal to all the Rent and Additional Rent which shall become due for the remainder of the term of this Lease, discounted to present value using a percentage rate equal to three (3) percentage points in excess of the prime rate publicly designated at such time by SunTrust Bank, Atlanta, Georgia, or if Lessor has re-leased the Premises, the deficiency, if any, between Lessee's Rental (and all other charges that otherwise would have become due hereunder) and the rental (less Lessor's costs and expenses including broker's commissions related thereto) obtained by Lessor for the balance of the term remaining under this Lease from any reletting of the Premises, all of which amounts shall be immediately due and payable from Lessee to Lessor. In determining the Rent payable by Lessee subsequent to default, the Rent for the unexpired Term shall be the scheduled charges for Minimum Rent plus average annual Operating Expenses and Commencement Date to the date of default. Upon the acceleration of such amounts, Lessee agrees to pay the same at once, in addition to all Minimum Rent, Percentage Rent, if applicable, costs, charges, Additional Rent assessments, and reimbursements theretofore due; provided however, that such payment shall not constitute a penalty or forfeiture, but shall constitute liquidated damages for Lessee's failure to comply with the terms and provisions of this Lease (Lessor and Lessee agreeing that Lessor's actual damages in such event are impossible to ascertain and that the amount set forth above is a reasonable estimate thereof).

(b) Rights and Remedies. The various rights and remedies herein granted to Lessor shall be cumulative and in addition to any other rights or remedies which Lessor may be entitled to at law or in equity. The exercise of one or more rights or remedies of Lessor shall not impair Lessor's right to exercise any other right or remedy. In all events, Lessor shall have the right, upon notice to Lessee, to cure any

breach by Lessee, at Lessee's sole cost and expense, and Lessee shall reimburse Lessor for such costs and expenses plus fifteen (15%) percent as overhead, immediately upon demand. In the event Lessor institutes dispossessory proceedings or dispossesses or evicts Lessee by summary proceedings or otherwise, Lessor shall have either option to do and perform any one or more of the foregoing; in addition to, and not in limitation of, any remedy or right permitted it by law or in equity or by this Lease. Specifically, without limiting the foregoing, in the even Lessor institutes dispossessory proceedings or dispossesses or evicts Lessee by summary proceedings or otherwise and/or re-enters and takes possession of the Premises, Lessee shall remain liable for all rent (including Minimum Rent, and Additional Rent) and all other charges under the Lease for the remainder of the Lease Term.

(c) **Bankruptcy.** If Lessor cannot terminate this Lease or Lessee's right of possession because of the application of bankruptcy or similar laws, then Lessee, as a debtor in possession or on behalf of any trustee for Lessee, shall: (i) within the statutory time, assume or reject this Lease and (ii) not seek or request any extension or adjournment of any application to assume or reject this Lease by Lessor. In such event, Lessee or any trustee for Lessee may only assume this Lease if (A) it cures or provides adequate assurance that it will promptly cure any default hereunder, (B) it compensates or provides adequate assurance that Lessee will promptly compensate Lessor for any actual pecuniary loss to Lessor resulting from Lessee's defaults, including without limitation accrued interest as set forth in Section 3.10 and attorneys' fees as a result of such default, and (C) it provides adequate assurance of performance during the Lease Term of all of the terms, covenants and provisions of this Lease to be performed by Lessee. In no event after the assumption of this Lease shall any then-existing default remain uncured for a period in excess of the earlier of ten (10) days or the time period set forth herein. Adequate assurance of performance shall include, without limitation, adequate assurance (1) of the source of payment of Rent reserved hereunder, (2) that any Percentage Rent, if applicable, due hereunder will not decline from the levels anticipated, and (3) that the assumption of this Lease will not breach any provision hereunder.

18. **Re-entry by Lessor.** No re-entry by Lessor or any action brought by Lessor to oust Lessee from the Premises shall operate to terminate this Lease unless Lessor shall give written notice of termination to Lessee, in which event Lessee's liability shall be as herein provided.

19. **Removal of Fixtures.** Lessee may at any time, if not in default hereunder, and shall, if so requested by Lessor at the time of the expiration of this Lease, remove all fixtures and equipment which it has placed in the Premises. Lessee shall repair all damage to the Premises caused by removal.

20. **Entry for Carding.** Lessor may card the Premises "For Rent" ninety (90) days before the termination of this Lease or "For Sale" at any time. At any time during the term of the Lease, Lessor may enter the Premises at reasonable times, to exhibit same to prospective purchasers or tenants.

21. **Effect of Termination of Lease.** No termination of this Lease prior to the normal ending thereto, by lapse of time or otherwise, shall affect Lessor's right to collect any amounts owing by Lessee to Lessor in accordance with the terms hereof.

22. **Quiet Possession.** Lessor warrants that Lessee, on paying the monthly rental installments and other payments provided for hereby and on keeping, observing and performing all other terms, conditions and provisions herein contained on the part of the Lessee to be kept, observed and performed, shall during the full Lease term, peaceably and quietly have, hold and enjoy the Premises for the full term of years in this Lease, subject to the terms, conditions and provisions hereof.

23. **Surrender of Premises.** At termination of this Lease, Lessee shall surrender the Premises and keys thereof to Lessor in the same condition as at commencement of term, damage as a result of insured casualties excepted, normal wear and tear excepted, and neglect or fault on the part of Lessor excepted.

24. **Subordination.**

(a) This Lease and all of the rights of Lessee hereunder shall be subject and subordinate to the rights of any successor in title of Lessor or to any Deed to Secure Debt which may now or hereafter affect the Premises. This clause shall be self-operative and no further instrument of subordination shall be required by such successor or such holder of a Deed to Secure Debt. Lessee shall execute promptly any certificate that Lessor may reasonably request to confirm such subordination.

(b) If Lessor elects to have this Lease superior to any applicable Deed to Secure Debt and its election is signified in some recorded instrument, then this Lease shall be superior to such Deed to Secure Debt, notwithstanding any other provisions hereof.

(c) Lessee agrees that if it sends any notice to Lessor concerning Lessor's obligations hereunder, Lessee will also send a copy of any such notice to the holder of any Deed to Secure Debt (so long as Lessee has been previously notified in writing of the name and address of such holder) and in the event any notice specifies some default on the part of Lessor, Lessee agrees to afford the holder of any Deed to Secure Debt a reasonable time to effect a cure of such default for and on behalf of Lessor, if the Lessor fails to cure the default. Lessee agrees to execute such documents with respect thereto as may be reasonably required by such holder.

(d) Within fifteen (15) days after request therefor by Lessor, Lessee agrees to execute and deliver in recordable form, an estoppel certificate to any holder of a Deed to Secure Debt or proposed Deed to Secure Debt or proposed purchaser or to Lessor or to such other party as Lessor may request certifying (if such be the case) that this Lease is unmodified and in full force and effect (and if there has been modification, that the same is in full force and effect as modified and stating the modifications), that there are no defenses or offsets against the enforcement thereof known to Lessee or stating those claimed by Lessee, and stating the date to which rentals and other sums due hereunder are paid. Such certificate shall also include such other information as may be reasonably required or requested by Lessor's Lender. The failure by Lessee to respond to Lessor's request to deliver any such certificate within fifteen (15) days after request therefor shall be deemed to constitute the certification by Lessee that this Lease is in full force and effect and has not been modified except as may be represented by Lessor, that there are no defenses or offsets against the enforcement, and that Lessor is in full and timely compliance with all of its obligations thereunder. If Lessee fails to respond to Lessor's request to deliver such estoppel certificate within said fifteen (15) days Lessee shall and does hereby irrevocably appoint Lessor as Lessee's attorney in fact to execute and deliver such certificate.

(e) Lessee shall, in the event of a sale of the Shopping Center by Lessor or in the event any proceedings are brought for the foreclosure of or in the event of the exercise of power of sale under any Deed to Secure Debt made by Lessor covering the Premises, attorn to the purchaser at any such sale and recognize the purchaser as Lessor hereunder, provided that Lessee's possession and use of the Premises shall not be disturbed.

25. Indemnification. Lessee and Lessor shall and do hereby indemnify and hold the other harmless from and against any and all loss, damage, claim, demand, liability or expense (including court costs and reasonable attorneys' fees), at law or in equity, including, without limitation, any damage or injury to property or person, arising out of, as a result of, or in connection with the willful misconduct or negligence of the indemnitor, whether hereunder or otherwise.

26. Lessor's Liability. Upon the sale of the Shopping Center or Premises by Lessor, all obligations of Lessor under this Lease shall terminate. Notwithstanding anything to the contrary contained in this Lease, Lessee agrees and understands that Lessee shall look solely to the estate and Shopping Center of Lessor in the building of which the Premises are a part for the enforcement of any judgment (or other judicial decree) requiring the payment of money by Lessor to Lessee by reason of any default or breach by Lessor in the performance of its obligations under this Lease, it being intended hereby that no other assets of Lessor or of any officers, directors, employees, partners or venturers of Lessor or the entities comprising Lessor shall be subject to levy, execution, attachment or any other legal process for the enforcement or satisfaction of the remedies pursued by Lessee in the event of such default or breach.

27. Broker commission and Indemnity. Lessor and Lessee hereby warrant to the other that neither has engaged the services of any broker, agent or finder except as may be disclosed on Exhibit A attached hereto and made a part hereof. Except for commission payable by Lessor to Broker, Lessor and Lessee hereby indemnify and hold each other harmless from any claim, demand, liability, or cause of action for any brokerage commission, fee, or other similar compensation or cost arising out of the acts of the indemnitor in connection with this Lease or the leasehold estate created hereby or any sublease or assignment entered into by Lessee.

28. No Estate in Land. This contract shall create the relationship of landlord and tenant between Lessor and Lessee, no estate shall pass out of Lessor, Lessee has only a usufruct, not subject to levy and sale, and not assignable by Lessee except as indicated hereinabove.

29. Holding Over. If Lessee remains in possession of the Premises after expiration of the term hereof, with Lessor's acquiescence and without any express agreement of parties, Lessee shall be a tenant-at-will with rental payable to Lessor at one hundred and fifty percent (150%) of the rental rate in effect at the end of the Lease, and there shall be no renewal of this Lease by operation of law.

30. Rights Cumulative. All rights, powers and privileges conferred hereunder upon the parties hereto shall be cumulative, but not restrictive to those given by law. No right or remedy granted to Lessor or Lessee herein is intended to be exclusive of any other right or remedy, and each and every right and remedy herein provided shall be cumulative and in addition to any other right or remedy hereunder, or now or hereafter existing at law or in equity or by statute.

31. Waiver of Rights. No failure of Lessor or Lessee to exercise any power given Lessor hereunder, or to insist upon strict compliance by Lessee with its obligations hereunder, and no custom or practice of the parties at variance with the terms hereof shall constitute a waiver of Lessor's right to demand exact compliance with the terms hereof.

32. Notices. Any and all notices, elections, demands, requests, and responses thereto permitted or required to be given under this Lease shall be in writing, signed by or on behalf of the party giving the same or by their attorney, and shall be deemed to have been properly given or served and shall be effective upon being personally delivered or upon being deposited in the United States Mail, postage prepaid, certified mail, return receipt requested, to the other party at the address of such other party set forth on Exhibit A attached hereto and made a part hereof, or at such other address as such other party may designate by notice specifically designated as a notice of change of address and given in accordance herewith.

33. Time of Essence. Time is of the essence of this Lease.

34. Definitions. "Lessor" as used in this Lease shall include Lessor and its heirs, representatives, assigns and (subject to the terms and conditions stated herein) successors in title to Premises. "Lessee" shall include Lessee and its heirs, representatives and successors, and, if this Lease shall be validly assigned or sublet shall include Lessee's assignees or sublessees, as to Premises covered by such assignment or sublease. "Lessor" and "Lessee" shall include male and female, singular and plural, corporation, partnership, or individual, as may be appropriate for the particular parties.

35. Hazardous Materials. Lessee agrees that it will not place, hold, or dispose of any Hazardous Material (as hereinafter defined) on, under or at the Premises except in strict compliance with all applicable laws and that it will not use the Premises as a treatment, storage, or disposal (whether permanent or temporary) site for any Hazardous Material. Lessee further agrees that it will not cause or allow any asbestos to be incorporated into any improvements or alterations which it makes or causes to be made to the Premises. Lessee hereby agrees to indemnify Lessor against all losses, liabilities, damages, costs (including without limitation, claims asserted or arising under the Comprehensive Environmental Response Compensation and Liability Act, the Resource Conservation and Recovery Act, any so-called "Superfund"

or "Superlien" law) or any other applicable Federal, state, local or other statute, law, ordinance, code, rule, regulation, order or decree regulating, relating to or imposing liability or standards of conduct concerning any Hazardous Material, which are paid, incurred or suffered by, or asserted against Lessor as a direct or indirect result of:

(i) any breach by Lessee of the foregoing covenants or

(ii) to the extent caused or allowed by Lessee or any agent, employee, invitee, or licensee of Lessee, the presence on or under, or the escape, seepage, leakage, spillage, discharge, emission, or release from, onto, or into the Premises, the atmosphere, or any watercourse, body of water, or groundwater, of a Hazardous Material.

Promptly upon the written request of Lessor from time to time at any time Lessor reasonably suspects the presence of any Hazardous Material at, on, under or within the Premises, having arisen since the Commencement Date and upon presentation of evidence thereof Lessee shall provide Lessor, at Lessee's expense, with an environmental site assessment or environmental audit report prepared by an environmental engineering firm acceptable to Lessor, to assess with a reasonable degree of certainty the presence or absence of any Hazardous Materials at, upon, under or within the Premises and the potential costs in connection with abatement, cleanup or removal of any Hazardous Materials found on, under, at or with the Premises. In the event of any discharge of Hazardous Materials or the threat of a discharge of any Hazardous Materials on or from the Premises after the Commencement Date, whether or not the same originates or emanates from the Premises or any contiguous real estate, and/or if Lessee shall fail to comply with any of the requirements of the Hazardous Materials Laws, Lessor may at its election after providing Lessee with thirty (30) days prior written notice and opportunity to remedy such discharge or threat of discharge or failure of compliance (provided that if such remedy cannot be effected during such thirty day period due to the nature thereof, Lessee shall have a reasonable time thereafter in which to effect such remedy so long as Lessee commences such remedy during such thirty day period and diligently and in good faith pursues such remedy thereafter), but without the obligation so to do, give such notices and/or cause such work to be performed at the Premises and/or take any and all other actions as Lessor shall deem necessary or advisable in order to abate the discharge of any Hazardous Material after the Commencement Date, remove the Hazardous Material, or cure Lessee's noncompliance, and any amounts paid as a result thereof shall be reimbursed by Lessee to Lessor within fifteen (15) days of written demand therefor accompanied by invoices evidencing such expenses. Notwithstanding anything to the contrary herein, nothing shall give Lessor the right to influence or direct hazardous waste disposal decisions or treatments, such being the sole responsibility of Lessee. Also, notwithstanding any provision in this Lease to the contrary, Lessee may store, utilize and dispose of paint, paint thinners, petroleum products and other chemicals in reasonable supply quantities properly usable in connection only with the storage and servicing of light or heavy machinery on the Premises, so long as such actions do not violate any applicable Federal) State or local statute, law, ordinance, code, rule, regulation, order or decree regulating, relating to, or imposing liability or standards of conduct concerning any hazardous, toxic or dangerous wastes, substance or material, as now or at any time hereafter in effect, and such actions shall not give rise to any liability or indemnification under this Paragraph. The provisions of and undertakings and indemnification set out in this Paragraph shall survive the early termination or expiration of this Lease, and shall continue to be the personal liability, obligation and indemnification of Lessee, forever. The provisions of the preceding sentence shall govern and control over any inconsistent provision of this Lease. For purposes of this Lease, "Hazardous Material" means and includes any hazardous substance or any pollutant or contaminant defined as such in (or for purposes of) the Comprehensive Environmental Response, Compensation, and Liability Act, any so-called "Superfund" or "Superlien" law, the Toxic Substances Control Act, or any other applicable Federal, state or local statute, law, ordinance, code, rule, regulation, order or decree regulating, relating to, or imposing liability or standards of conduct concerning, any hazardous, toxic or dangerous waste, substance or material, as now or at any time hereafter in effect.

36. Security Deposit. At the time of execution of this Lease, Lessee shall pay to Lessor a security deposit equal to the amount shown on Exhibit A attached hereto and made a part hereof, which will be held as security for the faithful performance of all duties and obligations of Lessee. If Lessee defaults with respect

to any provision of this Lease, Lessor may (but shall not be required to) use, apply or retain all or any part of this security deposit for the payment of any sum in default, or for the payment of any amount Lessor may spend or become obligated to spend by reason of Lessee's default, or to compensate Lessor for any other loss or damage which Lessor may suffer by reason of Lessee's default. If any portion of said deposit is so used, Lessee shall, within five (5) days after written demand therefore, deposit cash with Lessor in an amount sufficient to restore the security deposit to its original amount and Lessee's failure to do so shall constitute a default under this Lease.

37. Americans With Disabilities Act. Lessor warrants that the Premises, if required by applicable law to do so, will comply with all requirements of the Americans with Disability Act of 1990 42 U. S . C. Section 12101 et seq.as of the Commencement Date. Lessee agrees, at its sole cost and expense) to promptly comply with all requirements of the Americans with Disabilities Act of 1990, 42 U.S.C. Section 12101 et seq., as amended from time to time (the" Act"), required by changes to the Act or interpretations thereof after the Commencement Date, change in Lessee's specific use of the Premises or changes to the Premises made or requested by Lessee, and to promptly furnish to Lessor copies of all notices received by Lessee from time to time regarding compliance with the Act from any person whatsoever, including, without limitation, disabled persons, governmental agencies or federal or state courts; provided, however, that with regard to the initial construction of the Premises, Lessor shall be responsible for complying with all aspects of Title III of the Act Sections 300-310 (and all rules and regulations promulgated hereunder) applicable to "commercial facilities" (as defined in the ADA)(I) pertaining to the removal of (a) architectural barriers; (b) communication barriers that are structural in nature, or (c) requiring that alterations to the exterior of the Premises be readily accessible to and usable by individuals with disabilities.

38. Miscellaneous. Paragraph captions herein are for Lessor's and Lessee's convenience only and neither limit nor amplify the provisions of this Lease. If any clause or provision of this Lease is illegal, invalid or unenforceable under present or future laws effective during the term of this Lease, then and in such event, it is the intention of the parties hereto that the remainder of this Lease shall not be affected thereby, and it is also the intention of the parties hereto that in lieu of each clause or provision of this Lease that is so illegal, invalid or unenforceable, there shall be added as a part of this Lease a clause or provision as similar in form and substance to such illegal, invalid or unenforceable clause or provision as may be possible and as will be legal) valid and enforceable. Georgia law shall govern and control the construction and application of this lease. If Lessor shall incur attorneys' fees and expenses related to the enforcement by Lessor of Lessee's obligations hereunder, Lessee shall, promptly upon demand therefore by Lessor, pay to Lessor the amount of such reasonable expenses and reasonable attorney's fees. (For purposes of the preceding sentence, "reasonable" shall be interpreted without reference to O.C.G.A Section 13-1-11.) This lease constitutes the sole and entire agreement between the parties hereto, and no modification hereof shall be binding unless set forth in writing, signed by all parties hereto and attached hereto.

39. Agency Disclosure. Principals of Lessor, Ryan Holzer, Kenneth Holzer and Elliott Kyle, all hold Georgia real estate salesperson licenses.

40. Special Stipulations. See Exhibit C, attached hereto and made a part hereof.

IN WITNESS WHEREOF, the parties who are individuals have set their hands and seals, and the parties who are corporations have caused this instrument to be duly executed by its proper officers as of the day and year first above written.

LESSOR: Forest Park Investment I, LLC

Signature: [Signature]
Name: Ryan Holzer
Title: Manager
Date: 12/19/22

LESSEE: Alyson Hamm

Signature: [Signature]
D.O.B.: 12/15/77
Address: 107 Parkview Drive
Stockbridge, GA 30281
Date: 12/19/22

[Signature]
Witness Ryan Holzer

[Signature]
Notary Public

My Commission Expires: SEPT 10, 2026
(NOTARIAL STAMP OR SEAL)



EXHIBIT A

Base Rental:

<u>Period (in Months)</u>	<u>Monthly Base Rent</u>	<u>Monthly Estimated CAM, Taxes and Ins.</u>
1-2	\$0.00	\$0.00
3-14	\$890.00	\$485.00
15-26	\$917.00	\$485.00
27-38	\$944.00	\$485.00

Use of Premises: For an event facility and no other purpose.

Term: 38 months

Security Deposit: \$2,750 – due at Lease execution by Lessee.

Prepaid Rent: \$1,375 – due at Lease execution by Lessee.

Lease Commencement: March 1, 2023

Rent Commencement: May 1, 2023

Brokers: Skyline Seven Real Estate, LLC represents the Lessor and both Lessor and Lessee agree Skyline Seven Real Estate, LLC is the only Broker involved in this transaction.

Address for Notices:

Lessor: Forest Park Investment I, LLC
 C/O Skyline Seven Real Estate, LLC
 800 Mt. Vernon Highway NE, Suite 425
 Atlanta, GA 30328

Lessee: Alyson Hamm
107 Parkview Drive
Stockbridge, GA 30281

EXHIBIT B

Description of Premises and Shopping Center:

The Premises contains approximately 1,171 square feet, situated in Forest Park, Georgia, 30297, located at 1067 Forest Parkway, Suite A at the Shopping Center.

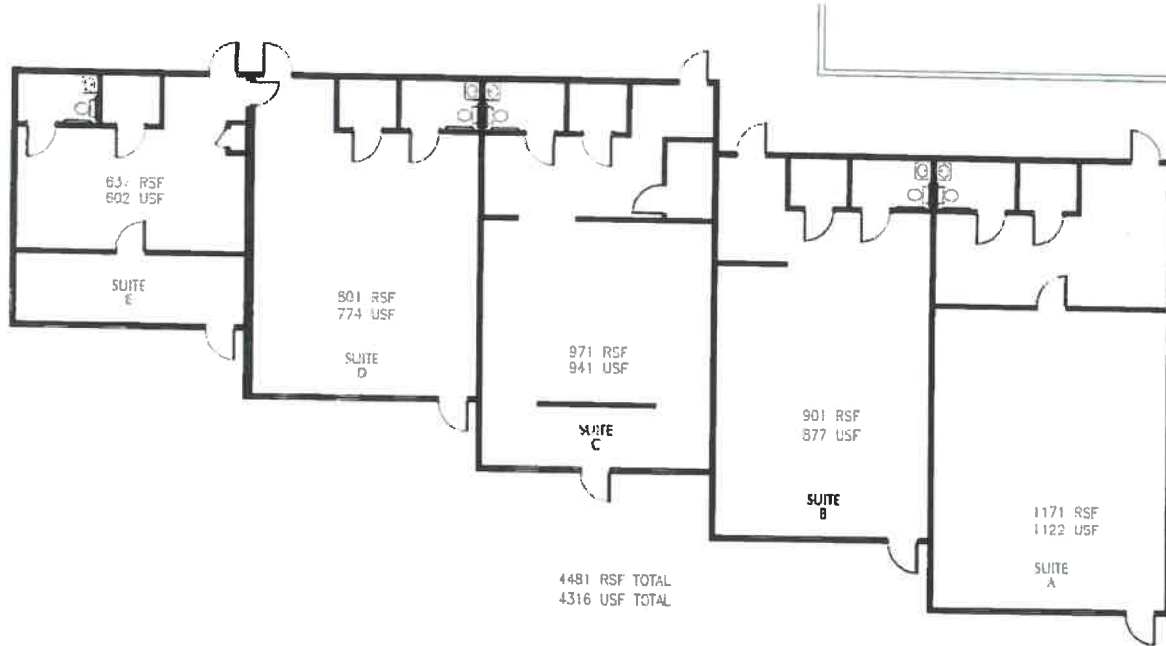


EXHIBIT C

Special Stipulations:

1. Lessee shall accept the Premises in as-is condition.
2. No sound, music or other noises shall be heard outside of Lessee's Premises. Lessee and its customers shall be mindful of neighboring tenants at all times and in the event Lessee or its customers are disruptive to neighboring tenants or others, or allow noise to travel outside of Lessee's Premises, as determined by Lessor, Lessee shall immediately then be placed in default of this Lease.
3. In the event Lessor is unable to deliver the Premises to Lessee on March 1, 2023, Lessor and Lessee agree that Lessee's Lease Commencement shall be delayed by One (1) day for each day Lessor is late delivering the Premises to Lessee.

EXHIBIT C**Special Stipulations:**

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3. In the event Lessor is unable to deliver the Premises to Lessee on March 1, 2023, Lessor and Lessee agree that Lessee's Lease Commencement shall be delayed by One (1) day for each day Lessor is late delivering the Premises to Lessee.
4. Lessee, in addition to its patrons and customers, agrees to not use more than its prorata share of parking and to be conscious of the parking needs of the other tenants at the Property.

LETTER OF INTENT

Q: In detail, provide a summary of the proposed project in the space provided below. Include the proposed use of each existing or proposed building, and the proposed land use.

A: For the last five years, I have been operating a successful event planning and decorating business called Honey's Sweet Memories LLC, a nod to my late mother. The services I currently offer, generally take place at the client's home or another specified location and range from baby showers to intimate dinner parties. Over the last year, clientele has grown and due to the lift in Covid 19 restrictions, some events were not retained because clients were booking event spaces/halls/venues/studios which provided all-inclusive services. Not having a space of my own to host these celebrations in addition to my other services, would result in higher costs for my clients. I pride myself on maintaining quality service and affordable prices.

This was always a dream for me and my mother, but due to her untimely passing, this was placed on hold, at least for a while. After looking for spaces for months, I was finally contacted by an investment company, Forest Park Investment LLC., with the perfect opportunity to open a small, intimate event studio on the southside of Atlanta, which we have come to terms on. The company also felt it was a great opportunity because of the successful bakery and hair salon located in the adjacent spaces. The idea was for small businesses to have a positive impact on the community and each other, through networking and for businesses to continue to thrive and flourish.

My vision for the proposed space is to hold small "events" such as women's empowerment brunches, professional coaching sessions, baby showers, bridal showers, birthday parties, and other milestone celebrations with a capacity of no more than 50 people. The space would also be used for client meetings, creating décor demos to showcase to my clients, and it provides office and storage space for bookkeeping and inventory. In the space, basic amenities such as tables, chairs, and other inventory items would be provided. Nearly all events would take place Thursday through Sunday with an option to open weekdays for special circumstances, so long as it does not disrupt the surrounding area. Keeping in mind, this space would not always be occupied as some clients may still want to utilize their homes and other spaces to maximize their guest count and I currently work full time for the state.

I have visited the proposed location on several occasions to observe the interior and exterior of the structure, parking availability to include entering and exiting the lot, and surrounding businesses and residencies, and traffic concerns to determine if the property would be a good fit for the end goal. Years ago, the same location suite was also utilized for a small event space and the business owner's concept mirrored my own. I take extreme pride in my business and the name it has made for itself. I have worked extremely hard for this passion and to even get to this point, I hope this request is considered, as I look forward to being a part of Forest Park.

Q: What are the reasons the property cannot be used in accordance with the existing regulations?

A: According to the City of Forest Park, the proposed use of the space is considered a “place of assembly” which does not fall under Sec. 8-8-38. A place of assembly is defined as a room or space containing 50 or more individuals for religious, recreational, educational, political, social or amusement purposes, or for the consumption of food or drink, including all connecting rooms or space with a common means of egress and entrance. This requires a conditional use permit.

Q: How would the proposed use impact on public facilities and services?

A: Public facilities are defined as institutional responses to basic human needs, such as health, education, safety, recreation, and worship. Examples of typical public facilities include churches, hospitals, and police stations.

Overall, any event with a large group of people can of course present a bit of a nuisance to local community services, from traffic congestion and parking nightmares to possible additional noise – for every positive impact, there’s bound to be something which affects local life in something of a negative way. For example, intended higher noise levels may require the assistance of local law enforcement, but ultimately, their presence helps control the environment, maintains order, and safety for all.

Q: What environmental impacts would the proposed project have?

A: Environmental impacts are changes in the natural or built environment, resulting directly from an activity, that can have adverse effects on the air, land, water, fish, and wildlife or the inhabitants of the ecosystem. The proposed event studio will not require new construction or additions to the current land or structure. The proposed event studio is not located on or near bodies of water that would cause disruption to any aquatic species or wildlife animals. The proposed event studio will not permit any flammable items or props that could cause smoke or fire damage inside or outside the structure.

Two concerns that could arise are noise and trash/debris concerns because celebrations of any type often include these concerns. The proposed event studio will explicitly state in contracts that noise levels must be kept to a certain degree and minimized by a certain time, indoor/outdoor. Contracts will also hold the client accountable for maintaining accumulated trash and disposal in the dumpster located in the back area of the proposed suite. Additional follow up cleaning inside the structure and the grounds will also occur by venue staff.

Q: Describe the effect the proposed conditional use request will have on the adjacent properties and how it will impact the character of the neighborhood.

A: As stated earlier, the adjacent properties offer services that are beneficial to the needs of the neighborhood as well as the proposed event studio, and vice versa. The businesses have

maintained a great reputation over the years and the proposed event studio will strive to enhance that, as well as for itself. Small events held at independent halls or studios often support other small businesses in the area, for example pubs, local cafés involved in catering and refreshments, as well as hotels, if the event involves an “overnighter” or guests are arriving from out of town. The studio would also be beneficial to host local children’s sports club banquets, girl and boy scout events, the list goes on.

Over the last few years, people have had to reshape how they celebrate. Celebrations of any sort are joyous and memorable. People have had to cancel, reschedule, and forego many important, milestone moments. People have also experienced hardships and trauma which have altered their overall mental health; the proposed event studio intends to bring a level of happiness and overall wellbeing to a diverse community and leave each client and guest with a memorable experience, ultimately, enhancing the quality of life. Life is about living and enjoying it to the fullest, while one can.

In a small community, the population isn’t large enough to support large convention centers or performing arts and concert venues, which stay in business by selling hundreds of tickets for daily or weekly events throughout the year. Nonetheless, small cities still need spaces for events and gatherings. Multi-use spaces can become a small photography studio on one day, host a business luncheon on the next, and house a variety of other events throughout the week or month.

Ultimately, they bring the entire community together. Because of the variety of events that event studios can facilitate, it’s likely that they will be used and valued by residents of all ages and demographics. By bringing small communities together it allows for more interaction and neighborliness among residents.

Finally, there is mainly land across the street from the proposed property but the few buildings that exist, gain access from the next street over running parallel to Forest Parkway. There is a residential area located behind the property. The goal is to be committed to the safety and culture of the neighborhood by respecting the space and controlling any possible traffic or noise concerns. Building trust, builds great relationships.

Q: The proposed conditional use will have the following effect on existing flow of traffic:

A: Based on observations of Forest Parkway during various times of the day, having a proposed event studio would not disrupt the general flow of traffic, keeping in mind that there are unpreventable traffic concerns such as road construction, traffic accidents, or any other delays that would not be a result of event venue guests. Because most “events” would take place on weekends during the early part of the morning/afternoon and the early part of the evening, and not all guests will arrive at the same time which will minimize any disruption. The general flow of traffic appears to be moderately light.

There are (3) entrances to the parking lot of where the event studio will be located and those can also be used for exiting as well. There are also several ways to gain entry to each of these entrances off Forest Parkway.

Q: Are there any proffered conditions you would like to apply to and be made part of this application for conditional use? Yes No Please list any written proffered conditions below.

A: The applicant agrees that if approved, the property will be subject to the following proffered conditions:

Property Use:

- The property shall be used for only the following permitted uses: an event studio to hold a maximum of 50 people or maximum capacity determined by the fire marshal.
- There shall be no outdoor storage of any inventory, vehicles, etc. that would devalue the specific property and area.
- The hours of operation for any use of the property shall be limited to certain end time (12:00-1am) and limiting outdoor noise after (10-11 p.m.) to however the city determines to be fair.
- The property, or any part of it, shall not be used as any other service except an event venue.
- Limiting events under special circumstances on weekdays and operating days of Thursday through Sunday.
- Maintaining communication and an agreement with adjacent business owners regarding parking and guidance under the binding lease.
- No physical improvements unless it is approved by the property owner and the city.

Any development and site plans or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application as follows: (Please include a date or other identifiable information of each piece of material attached)

N/A

See attached document.

Letter of Intent*

In detail, provide a summary of the proposed project in the space provided below. Include the proposed use of each existing or proposed building, and the proposed land use.

What are the reasons the property cannot be used in accordance with the existing regulations?

How would the proposed use impact on public facilities and services?

What environmental impacts would the proposed project have?

Describe the effect the proposed conditional use request will have on the adjacent properties and how it will impact the character of the neighborhood.

See attached document.

The proposed conditional use will have the following effect on existing flow of traffic:

Are there any proffered conditions you would like to apply to and be made part of this application for conditional use? Yes _____ No _____

Please list any written proffered conditions below.

Any development and site plans or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application as follows: (Please include a date or other identifiable information of each piece of material attached)



LEGEND:

1/4" = 1'	PROPERTY LINE
1/8" = 1'	ADJACENT PROPERTY LINE
1/16" = 1'	ADJACENT PROPERTY LINE
1/32" = 1'	ADJACENT PROPERTY LINE
1/64" = 1'	ADJACENT PROPERTY LINE
1/128" = 1'	ADJACENT PROPERTY LINE
1/256" = 1'	ADJACENT PROPERTY LINE
1/512" = 1'	ADJACENT PROPERTY LINE
1/1024" = 1'	ADJACENT PROPERTY LINE
1/2048" = 1'	ADJACENT PROPERTY LINE
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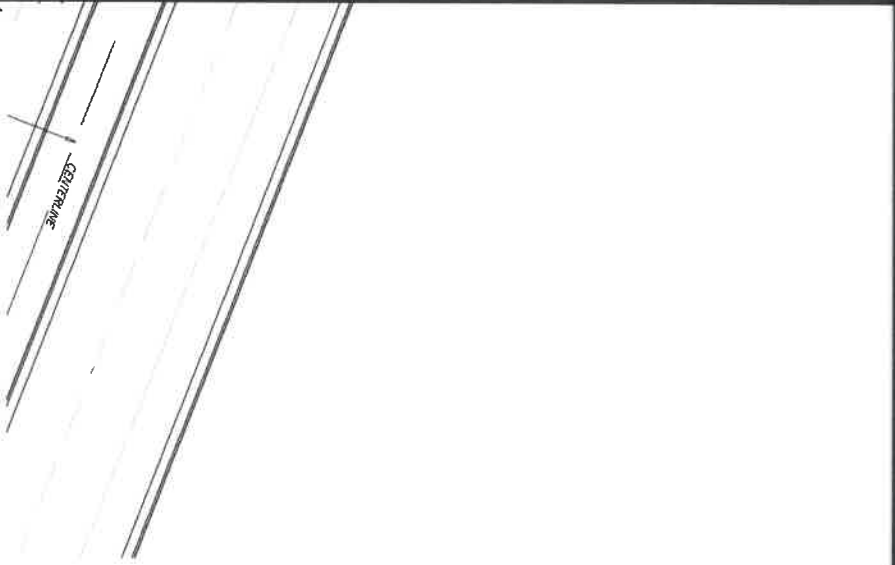


Legal Description

All that tract or parcel of land lying and being in Land Lot 49 of the 13th District, City of Forest Park, Clayton County Georgia and being more particularly described as follows:

BEGINNING at a 1/2" rebar found at the intersection of the southerly Right of Way of Forest Parkway fka Central Street aka State Route 331 (102' R/W) and the easterly Right of Way of Lorraine Place (Variable R/W); thence running along the southerly Right of Way of Forest Parkway fka Central Street and aka State Route 331 (102' R/W) South 68° 52' 02" East a distance of 172.98 feet to a 1/2" rebar found; thence leaving said Right of Way and running South 01° 11' 00" West a distance of 83.06 feet to a 1/2" rebar found; thence North 88° 44' 00" West a distance of 88.82 feet to an iron pin set; thence North 00° 00' 00" West a distance of 6.63 feet to a 3/8" rebar found; thence North 89° 06' 28" West a distance of 77.09 feet to a 1/2" rebar found on the easterly Right of Way of Lorraine Place (Variable R/W); thence running along said Right of Way North 02° 38' 16" East a distance of 135.75 feet to the TRUE POINT OF BEGINNING. Said tract contains 0.4114 Acres (18,047 Square Feet).





Easements

Stewart Title Guaranty Company for Title Insurance
Part II, Schedule B Exceptions
Commitment Number: 2-32368(R2)
Effective Date: May 3, 2015

- (J) Drainage rights as contained in that certain Right of Way Deed from Con H. Erret to State Highway Department of Georgia, dated April 26, 1969, filed for record May 12, 1969 at 11:05 a.m., recorded in Deed Book 536, Page 292, Records of Clayton County, Georgia. **AFFECTS SUBJECT PROPERTY. SEE PLAT.**
- (K) Easement from Jerry Steele to City of Forest Park, dated July 14, 1986, filed for record July 17, 1986 at 1:35 p.m., recorded in Deed Book 1305, Page 686, aforesaid Records. **AFFECTS SUBJECT PROPERTY. SEE PLAT.**
- (L) Easements as contained in that certain Notice of Order and Judgement Affecting Interest Real Estate, being Civil Action No. IP00-1232-CB/S, dated as of September 5, 2001, filed for record October 4, 2005 at 2:56 p.m., recorded in Deed Book 8324, Page 258, aforesaid Records. **AFFECTS SUBJECT PROPERTY. NOT PLATABLE.**

Legal Description

All that tract or parcel of land lying and being in Land Lot 49 of the 13th District, City of Forest Park, Clayton County Georgia and being more particularly described as follows:

BEGINNING at a 1/2" rebar found at the intersection of the southerly right of Way of Forest Parkway R/o Central Street aka State Route 331 (102' R/W) and the easterly Right of Way of Lorraine Place (Variable R/W); thence running along the southerly Right of Way of Forest Parkway R/o Central Street and aka State Route 331 (102' R/W) South 68° 52' 02" East a distance of 172.98 feet to a 1/2" rebar found; thence bearing said Right of Way and running South 07° 11' 00" West a distance of 83.06 feet to a 1/2" rebar found; thence North 89° 44' 00" West a distance of 88.82 feet to an iron pin set; thence North 00° 00' 00" West a distance of 6.63 feet to a 3/8" rebar found; thence North 89° 06' 29" West a distance of 77.09 feet to a 1/2" rebar found on the easterly Right of Way of Lorraine Place (Variable R/W); thence running along said Right of Way North 02° 39' 16" East a distance of 135.75 feet to the TRUE POINT OF BEGINNING. Said tract contains 0.414 Acres (18,047 Square Feet).



EXISTING BUILDING

SITE INFORMATION
1067 FOREST PARKWAY
FOREST PARK, GEORGIA 30297

ALTA/ACSM LAND TITLE SURVEY

FOR
Jodoco Road, LLC,
a Delaware limited liability company &
Stewart Title Guaranty Company

OF
1067 FOREST PARKWAY

LAND LOT 49
CLAYTON COUNTY CITY OF FOREST PARK
MAY 13, 2015 13TH DISTRICT
GEORGIA SCALE: 1" = 20'

TECHNICAL SURVEY SERVICES, INC.
Land Surveyors
794 WEST CIRCLE, SW Telephone (770) 922-6391
CONVERS, GEORGIA 30012 FAX (770) 922-0767
APR 2015-244.CWB SOBEN FLE 2015-244_1067 FOREST PARKWAY

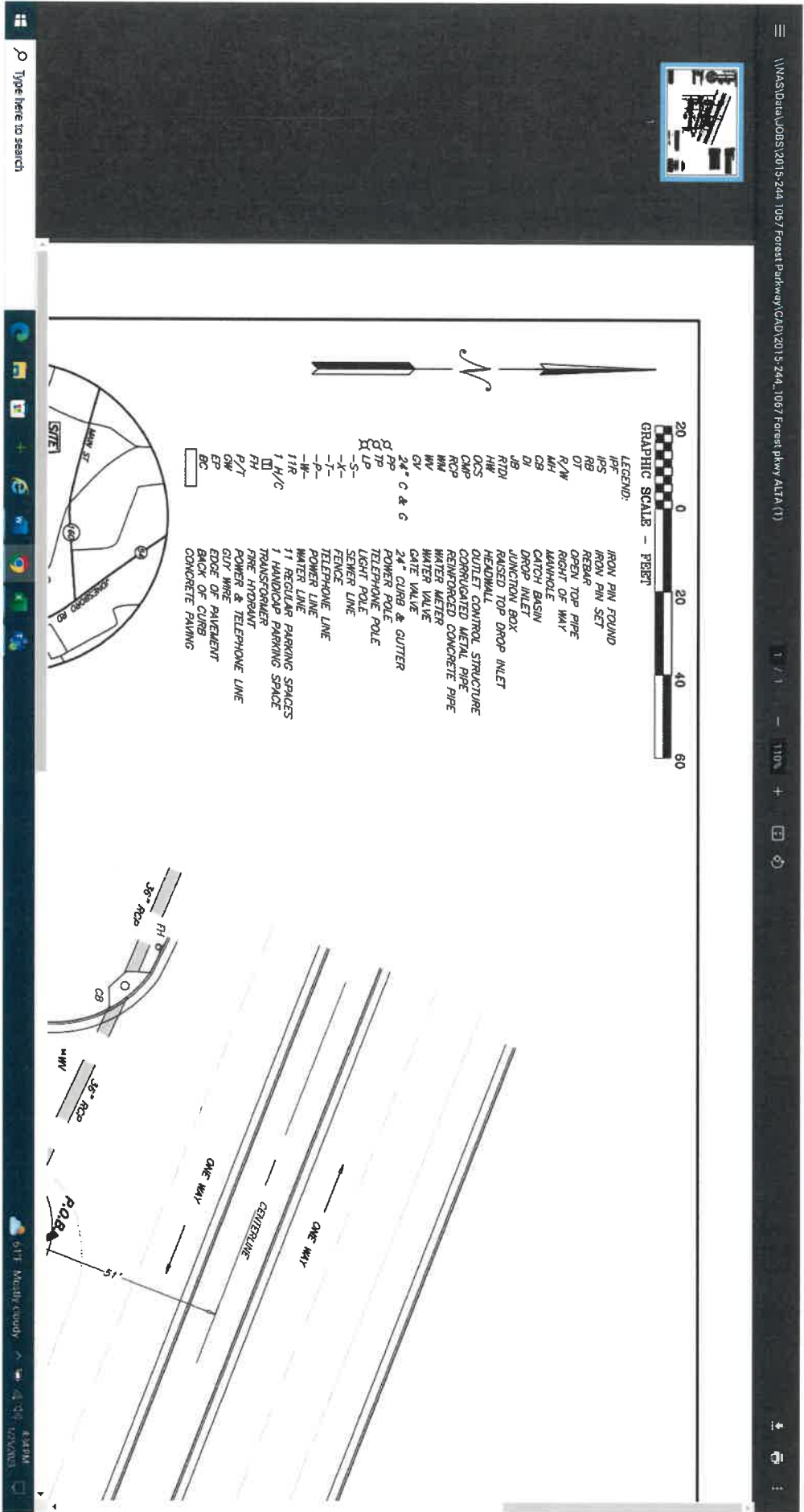
SURVEYOR'S CERTIFICATE
To Jodoco Road, LLC, a Delaware limited liability company & Stewart Title Guaranty Company:

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 9, 11(b) and 13 of Table A thereof. The field work was completed on May 12, 2015.



Anthony J. Akin, R.L.S. #3138

May 13, 2015
Date



10/11/2015 10:24:10 AM

1067 Forest Parkway CAD, 2015-244, 1067 Forest Parkway ALTA (1)

110%

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE
 PRECISION OF ONE FOOT IN 6344 FEET AND AN ANGULAR
 ERROR OF 0.2 PER ANGLE AND WAS ADJUSTED USING THE COMPASS RULE.
 A LEICA 1512 TOTAL STATION AND AN GARMIN DATA COLLECTOR
 WERE USED TO OBTAIN THE LENGTH AND ANGULAR MEASUREMENTS USED IN
 THE PREPARATION OF THIS PLAT.
 THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO
 BE ACCURATE TO WITHIN ONE FOOT IN 6344 FEET.

Item #3.

I ID: 13049D A001

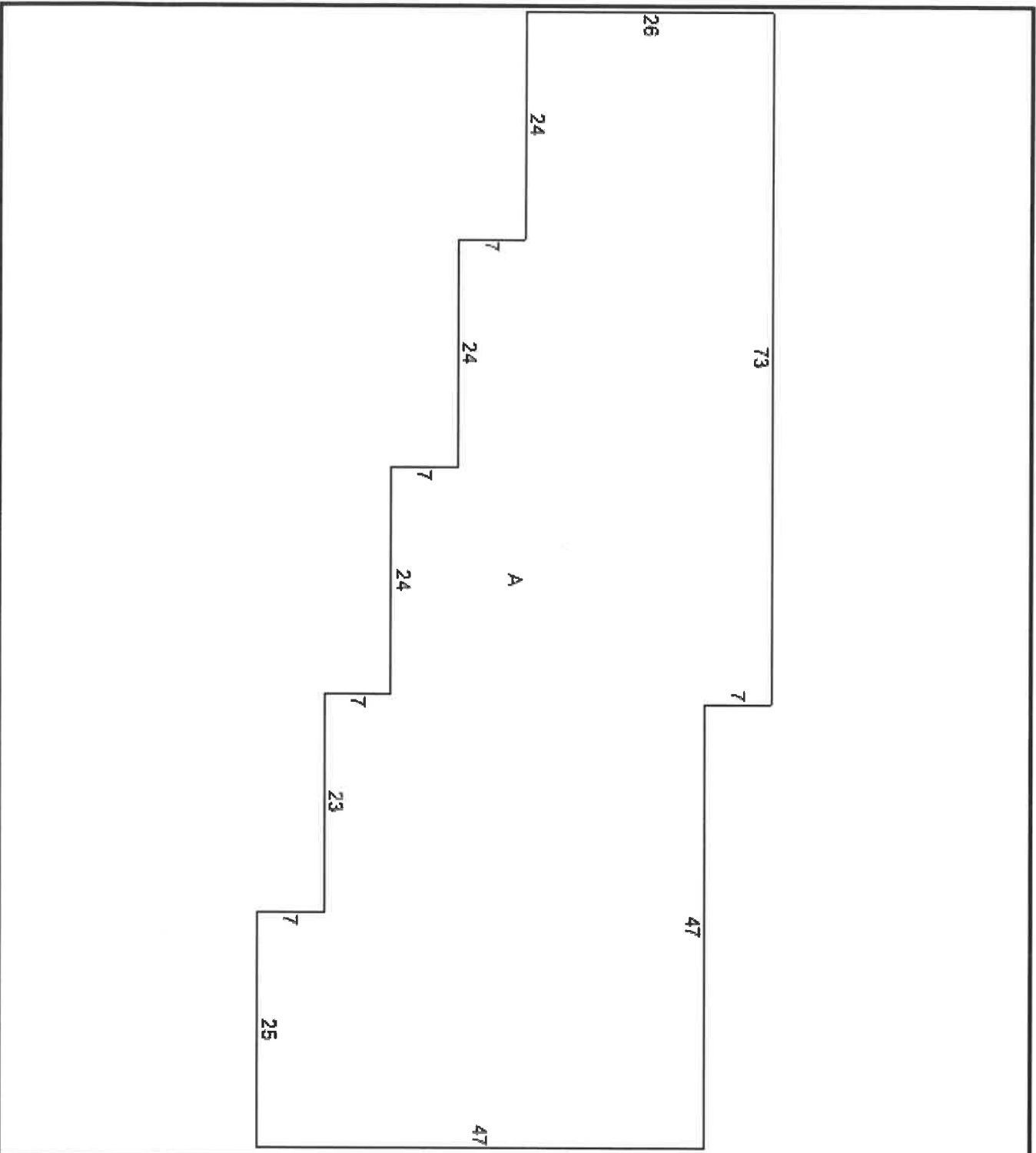
Situs : 1067 FOREST PKWY

Card: 1 of 1

Printed: January 25, 2023

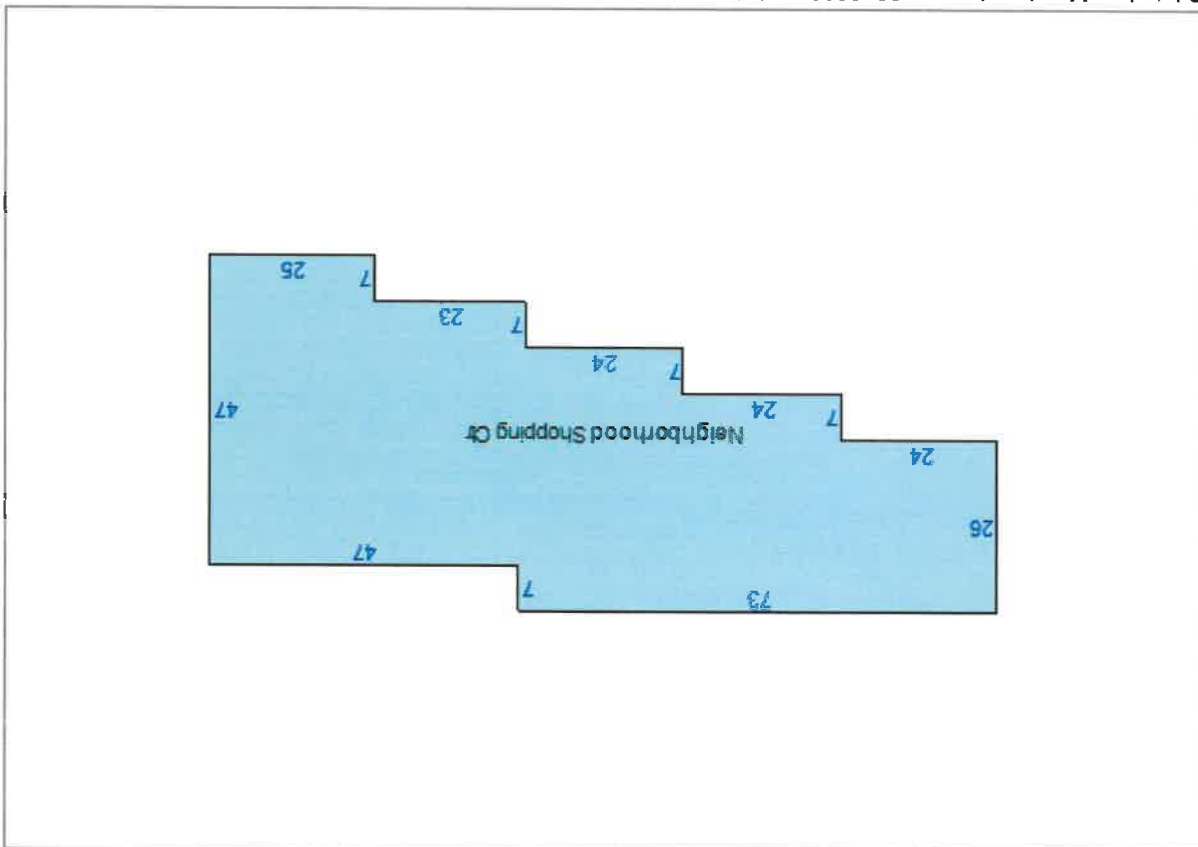
ESS LIVING AREA

Total Area: 4,478



ID	Code	Description	Area
A		Neighborhood Shopping	4478

Printed on Monday, January 23, 2023, at 8:49:37 AM EST



NBHD: FP
1067 FOREST PKWY

FOREST PARK INVESTMENTS 1 LLC

8049D A001

1067 Forest Parkway

1067 Forest Parkway
Forest Park, GA 30297

Item #3.

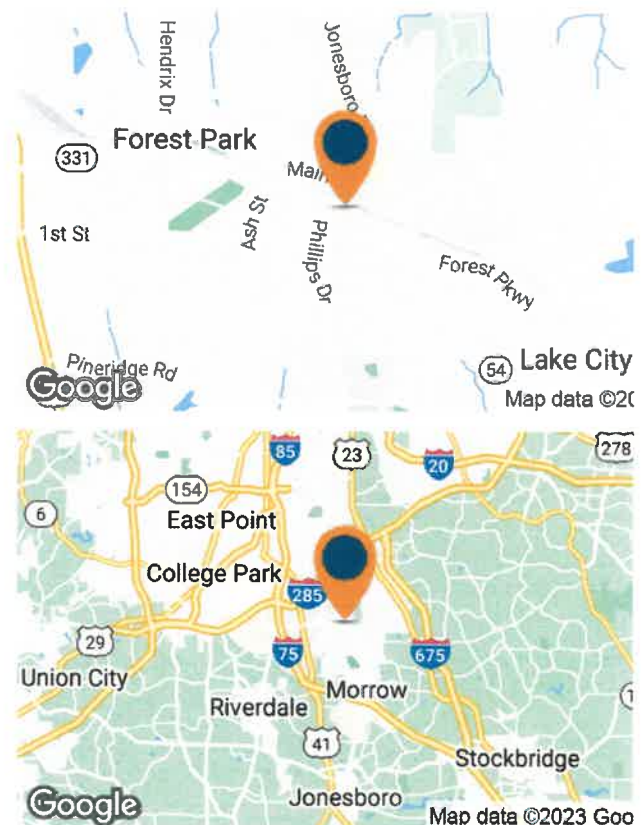


1,171 SF AVAILABLE

Property Highlights

- Great endcap opportunity with plenty of parking
- Strong signage opportunity along Forest Parkway and 17,205 VPD
- Over 146,000 People Living Within 5 miles
- Only minutes to Hartsfield Jackson International Airport and Downtown Atlanta
- Easy, convenient access to I-75, I-85 and I-285

Demographics	1 Mile	3 Miles	5 Miles
Total Households	3,078	18,454	59,338
Total Population	8,564	54,506	161,947
Average HH Income	\$55,201	\$57,388	\$62,656



Ryan Holzer

404.812.8914
rholzer@skylineseven.com

800 Mt. Vernon Highway NE, Suite 425, Atlanta, GA 30328 | skylineseven.com

1067 Forest Parkway

1067 Forest Parkway
Forest Park, GA 30297

Item #3.

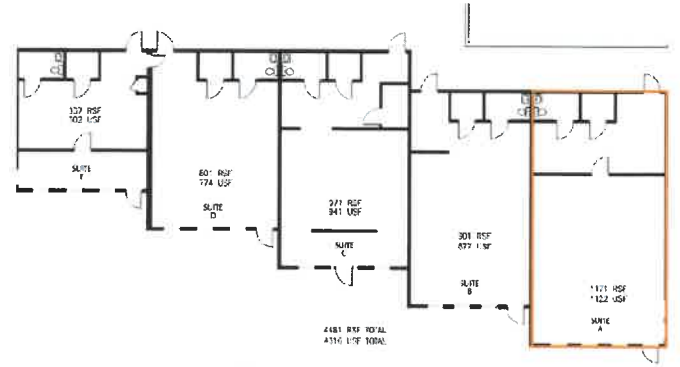
Unit	Tenant	Size SF
------	--------	---------


A	AVAILABLE	1,171 
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B	Cakes by La'Meeka	901
---	-------------------	-----

C	Studio 211	971
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D/E	Cakes by La'Meeka	1,439
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 1067 Forest Pkwy
Forest Park, GA 30297

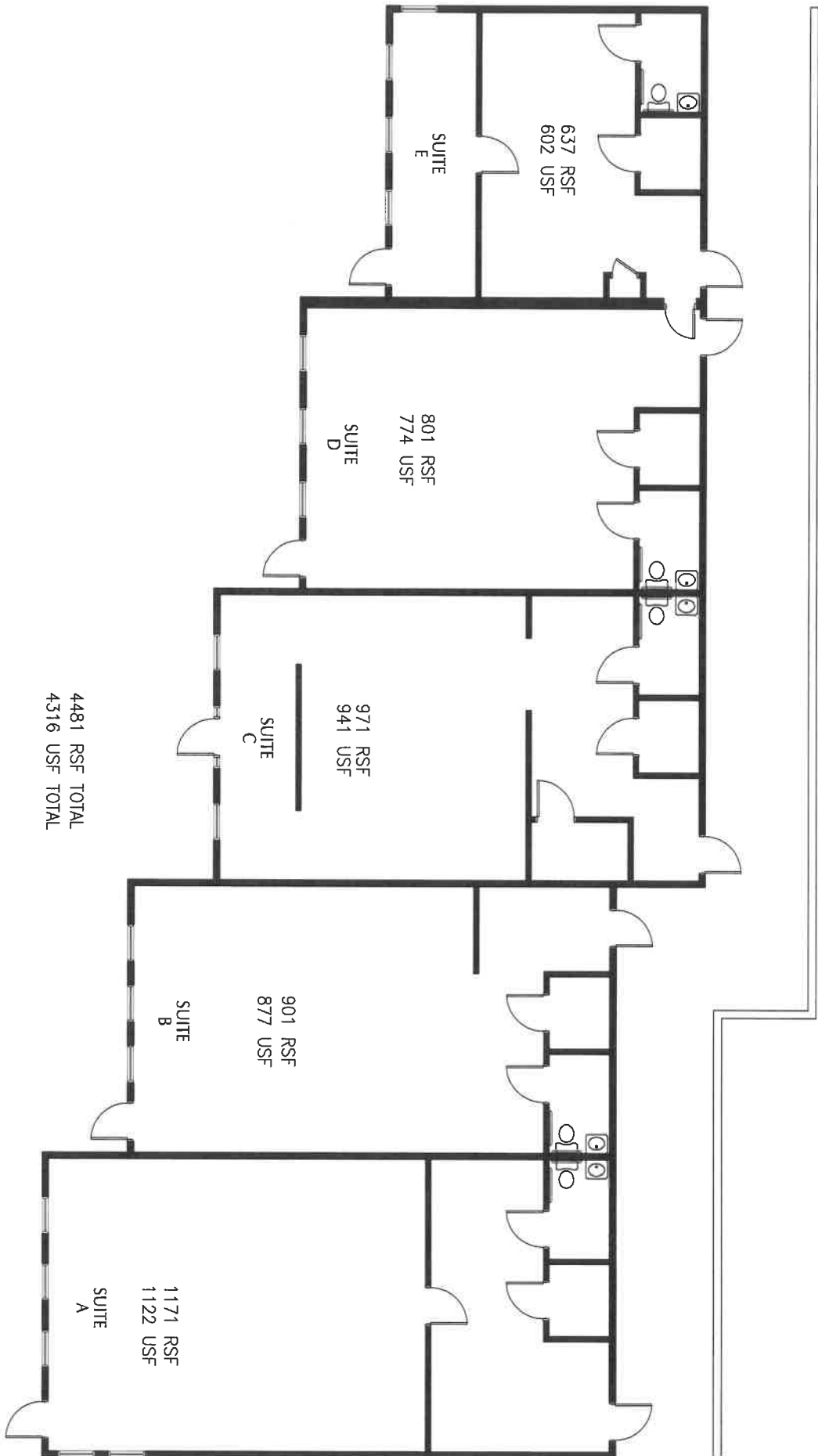


Map data ©2022 Imagery ©2022, CNES / Airbus, Maxar Technologies, U.S. Geological Survey, USDA/FPAC/GEO

Ryan Holzer

404.812.8914
rholzer@skylineseven.com

800 Mt. Vernon Highway NE, Suite 425, Atlanta, GA 30328 | skylineseven.com



1067 Forest Pkwy
Forest Park, GA 30297





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Item #3.

1113 Forest Pkwy



Forest Park, Georgia
 Google
 Street View - Jul 2022

Image capture: Jul 2022 © 2023 Google

← 1067 Forest Pkwy

All

Street View & 360°

- Chick-fil-A
- Main St
- Phillips Dr
- Forest Pa
- Burger

Traffic

Google Maps 1113 Forest Pkwy

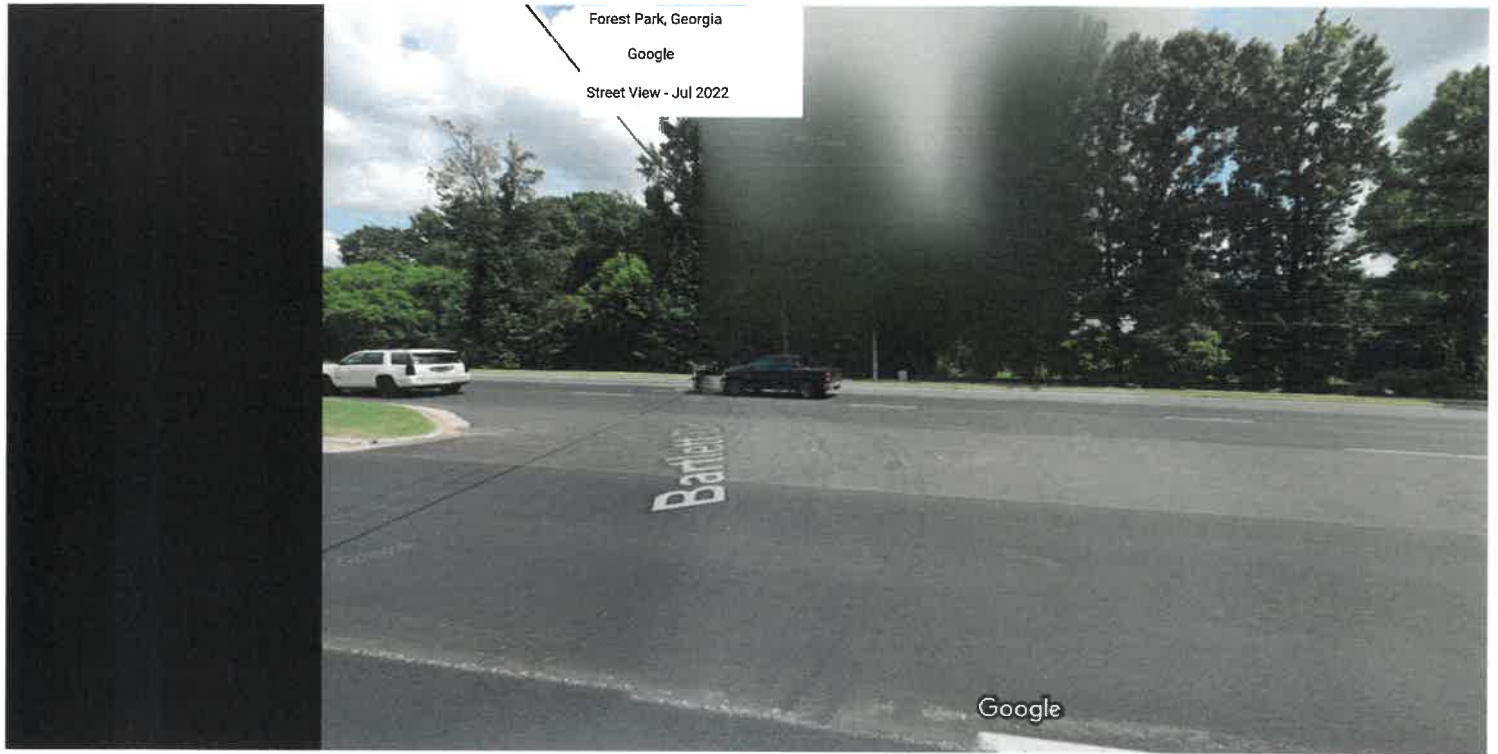


Image capture: Jul 2022 © 2023 Google

← 1067 Forest Pkwy

All

Street View & 360°



Traffic

Sec. 8-8-38. Institutional commercial district (IC).

IC - Institutional Commercial District

District Intent, Permitted Uses, and Conditional Uses

Intent

The intent of the IC district is to allow a land use category for offices, banks, and personal business services which can serve as a transitional area between residential and commercial districts.

The provisions that regulate this land use district promote appropriate office and institutional uses that are clearly non-conflicting with residential areas.

Permitted Uses

Residential

- Assisted Living/Nursing Care Facility
- Boarding house/group home/personal care home having four (4) or more residents
- Homeless shelter and services

Retail/Business Uses

- Bakeries
- Banks and loan associations
- Barber shop and beauty salon
- Bookstores
- Child and adult day care centers
- Clothing and apparel store
- Convenience stores
- Coin laundry, dry cleaning, and pick up stations
- Day spa and aesthetician
- Dental offices and clinics
- Florist and gift shops
- Fruit, vegetable, meat seafood markets
- Grocery store
- Group day care home
- Hardware store
- Hospitals
- Jewelry store
- Medical offices, clinics, and physical therapy facility
- Museums and art galleries
- Nonprofit fraternal organizations and clubs
- Pharmacy
- Private school K-12
- Professional offices
- Pub and tavern
- Repair shops (watches, radio, television, shoe, etc.)
- Restaurants having no drive through

Public/Institutional

- Municipal, county, state or federal buildings
- Public school K-12

Conditional Uses

Retail/Business Uses

- Colleges, universities, and vocational technical schools
- Places of assembly
- Places of worship
- Funeral home/mortuary establishments
- Veterinary clinics

(Ord. No. 21-11 , § 1(Exh. A), 9-7-2021)

PARID: 13049D A001
 FOREST PARK INVESTMENTS 1 LLC

NBHD: FP
 1067 FOREST PKWY

Item #3.

Tax Commissioner Summary

Tax Year	2022
Tax District/Description	3 - FOREST PARK
Alternate ID	1299165
Legacy #	
Status	ACTIVE

Parcel Status

Parcel Status	Deferral Exist	Bank PayPlan	Exclusion Codes	Years Support	Total Millage Rate
Active	No		-		34.4960

Parcel Information

Property Class	C3 - Commercial Lots
Acres	0.4350
Mortgage Company	
Exemptions	

Most Current Owner (Mailing Address)

Current Owner	Co-Owner	Address 1	Address 2	City	State	Zip
FOREST PARK INVESTMENTS 1 LLC		5825 GLENRIDGE DR BLDG 1		ATLANTA	GA	30328

Digest Owner (January 1)

Owner	Co-Owner	Address 1	Address 2	City	State	Zip
FOREST PARK INVESTMENTS 1 LLC		5825 GLENRIDGE DR BLDG 1		ATLANTA	GA	30328

Tax (Penalties and Interest Included through Current Date)

Year	Cycle	Billed	Paid	Due
2022	1	5,188.20	-5,188.20	0.00
2021	1	5,225.79	-5,225.79	0.00
2020	1	5,277.39	-5,277.39	0.00
2019	1	4,983.44	-4,983.44	0.00
2018	1	4,983.44	-4,983.44	0.00
2017	1	4,996.74	-4,996.74	0.00
2016	1	3,783.25	-3,783.25	0.00

2015	1	4,186.84	-4,186.84	0.00
2014	1	4,485.72	-4,485.72	0.00
2013	1	5,118.11	-5,118.11	0.00
2012	1	5,884.52	-5,884.52	0.00
Total:		54,113.44	-54,113.44	0.00

Item #3.

Values

	100%	40%
Original	376,000	150,400
Appeal Value	0	0
Status Flag		
Total Taxable/Billing Value	376,000	150,400

PARID: 13049D A001
FOREST PARK INVESTMENTS 1 LLC

NBHD: FP
1067 FOREST PKWY

Item #3.

Land

Year	2022
Line Number	1
Land Type	S - SQUARE FOOT
Land Code	13 - INTERIOR LOT
Square Feet	18,986
Acres	.4359
Road Frontage	92.6
Influence Factor 1	
Zoning	C
Land Use	
Base Lot Value	3
Land Value	56,960

Land Summary

Line Number	Land Type	Land Code	Square Feet	Acres	Effective Frontage	Depth	Land Value
1	S - SQUARE FOOT	13 - INTERIOR LOT	18,986	.4359			56,960

PARID: 13049D A001
FOREST PARK INVESTMENTS 1 LLC

NBHD: FP
1067 FOREST PKWY

Item #3.

Commercial Profile

Card	1
Year Built	2007
Effective Year Built	
Improvement Name	Parkway Walk II
Units	
Other Improvements	
Other Imp Value	
Square Footage	4,478
Building Value	438,080

PARID: 13049D A001
 FOREST PARK INVESTMENTS 1 LLC

NBHD: FP
 1067 FOREST PKWY

Item #3.

Land

Year	2022
Line Number	1
Land Type	S - SQUARE FOOT
Land Code	13 - INTERIOR LOT
Square Feet	18,986
Acres	.4359
Road Frontage	92.6
Influence Factor 1	
Zoning	C
Land Use	
Base Lot Value	3
Land Value	56,960

Land Summary

Line Number	Land Type	Land Code	Square Feet	Acres	Effective Frontage	Depth	Land Value
1	S - SQUARE FOOT	13 - INTERIOR LOT	18,986	.4359			56,960

COMMERCIAL PROPERTY RECORD CARD

CLAYTON COUNTY

Situs : 1067 FOREST PKWY

Parcel ID: 13049D A001

Class: Strip Shopping Center

Card: 1 of 1

Printed: January 24, 2023

CURRENT OWNER

FOREST PARK INVESTMENTS 1 LLC
5825 GLENRIDGE DR BLDG 1
ATLANTA GA 30328

GENERAL INFORMATION

Living Units
Neighborhood FP
Alternate Id 1299165
Vol / Pg 10709/663
District
Zoning C
Class C3

Property Notes

Land Information

Type	Size	Influence Factors	Influence %	Value
Interior Lot	SF	18,986		56,960

Total Acres: .4359

Entrance Information

Date	ID	Entry Code	Source
01/13/12	IA	Minor Changes	
04/05/13	RS	Minor Changes	
08/25/15	KP	Minor Changes	
03/07/19	DT	Minor Changes	

Assessment Information

	Assessed	Appraised	Cost	Income	Market
Land	0	48,880	57,000	0	0
Building	0	327,120	438,100	0	0
Total	0	376,000	495,100	0	0

Value Flag OVERRIDE
Manual Override Reason
Base Date of Value
Effective Date of Value

Permit Information

Date Issued	Number	Price	Purpose	% Complete
06/13/08	2449	6,000		
04/23/08	2419	3,000		
11/01/07	2341	3,000		
09/27/05	1891	250,000		

Sales/Ownership History

Transfer Date	Price	Type	Validity	Deed Reference	Deed Type	Grantee
05/28/15	265,000	Improved	Qualified	10709/663	Warranty Deed	FOREST PARK INVESTMENTS 1 LLC
06/04/13		Improved	Other	10387/369	Warranty Deed	JODECO ROAD LLC
06/04/13	225,000	Improved	Foreclosure	10387/365		STABILIS FUND II LLC
05/31/06		Vacant	Related	8670/206	Quitclaim	STEELE INVESTMENT GROUP INC
01/01/86		Vacant	Qualified	1278/146	Warranty Deed	STEELE THOMAS JERRY

COMMERCIAL PROPERTY RECORD CARD

CLAYTON COUNTY

Situs : 1067 FOREST PKWY

Parcel ID: 13049D A001

Class: Strip Shopping Center

Card: 1 of 1

Printed: January 24, 2023

Building Information

Year Built/Eff Year 2007 /
 Building # Neighborhood Shop
 Structure Type
 Identical Units
 Total Units
 Grade
 # Covered Parking
 # Uncovered Parking
 DBA Parkway Walk II

Building Other Features

Line Type +/- Meas1 Meas2 # Stops Ident Units Line Type +/- Meas1 Meas2 # Stops Ident Units

Marshall/Swift Information and Valuation

Line	SC	From To	Yr Built	Eff. Year	Area	Perim	Height	Firs	Stories	Base RCN	Feat RCN	RCN	Rate	%Rent	Phys	Func	%Good	FUN	ECN	% Com Use	Value/RCNLD
1	02	01	01	2007	4,478	341	17	1	1	325,550	172,269	497,819	111.17		2		88				438,080

Line/SC From To Sec Occupancy

Line	SC	From To	Yr Built	Eff. Year	Area	Perim	Height	Firs	Stories	Base RCN	Feat RCN	RCN	Rate	%Rent	Phys	Func	%Good	FUN	ECN	% Com Use	Value/RCNLD	
1	02	01	13	412	-	Neighborhood Shopping	Ctr	100														

Pct Special Level

Class	Rank	Base Rate	Ext	Pct Walls
D	2	72.70	885	100 Stud -Eifs (Synth

Rate Heat Pct Description

Rate	Heat	Pct	Description
19.37	611	100	Package Unit
611	100	100	Package Unit

Rate	Total Rate
9.55	111.17
9.55	9.55

Outbuilding Data

Line Type	Yr Bilt	Meas1	Meas2	Qty	Area	Grade	Phy	Fun	Value	Line Type	Yr Bilt	Meas1	Meas2	Qty	Area	Grade	Phy	Fun	Value
-----------	---------	-------	-------	-----	------	-------	-----	-----	-------	-----------	---------	-------	-------	-----	------	-------	-----	-----	-------

COMMERCIAL PROPERTY RECORD CARD

CLAYTON COUNTY

Situs : 1067 FOREST PKWY

Parcel ID: 13049D A001

Class: Strip Shopping Center

Card: 1 of 1

Printed: January 24, 2023

Income Detail (Includes all Buildings on Parcel)

Use Mod Grp	Inc Mod Description	Units	Net Area	Income Rate	Econ Adjust	Potential Gross Income	Vac Model	Vac Adj	Additional Income	Effective Gross Income	Expense Model %	Expense Adj	Other Expenses	Total Expenses	Net Operating Income
-------------	---------------------	-------	----------	-------------	-------------	------------------------	-----------	---------	-------------------	------------------------	-----------------	-------------	----------------	----------------	----------------------

00		0	4,478			0			0						
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Apartment Detail - Building 1 of 1

Line	Use Type	Per Bldg	Beds	Baths	Units	Rent	Income
------	----------	----------	------	-------	-------	------	--------

Building Cost Detail - Building 1 of 1

Total Gross Building Area	
Replace, Cost New Less Depr	438,080
Percent Complete	100
Number of Identical Units	
Economic Condition Factor	
Final Building Value	438,080
Value per SF	

Notes - Building 1 of 1

Income Summary (Includes all Building on Parcel)

Total Net Income	
Capitalization Rate	0.000000
Sub total	
Residual Land Value	
Final Income Value	
Total Gross Rent Area	4,478
Total Gross Building Area	

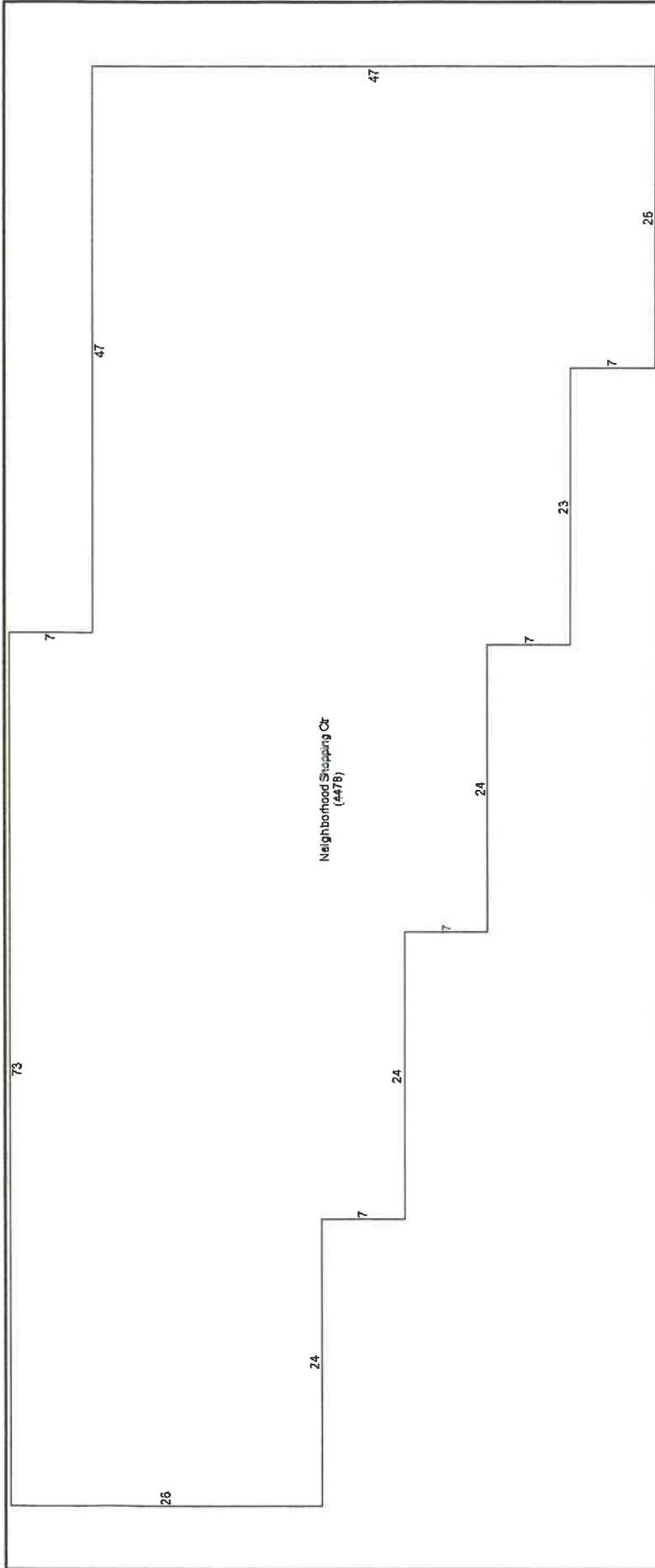
Situs : 1067 FOREST PKWY

Parcel ID: 13049D A001

Class: Strip Shopping Center

Card: 1 of 1

Printed: January 24, 2023



Additional Property Photos

Parcel ID: 13049D A001

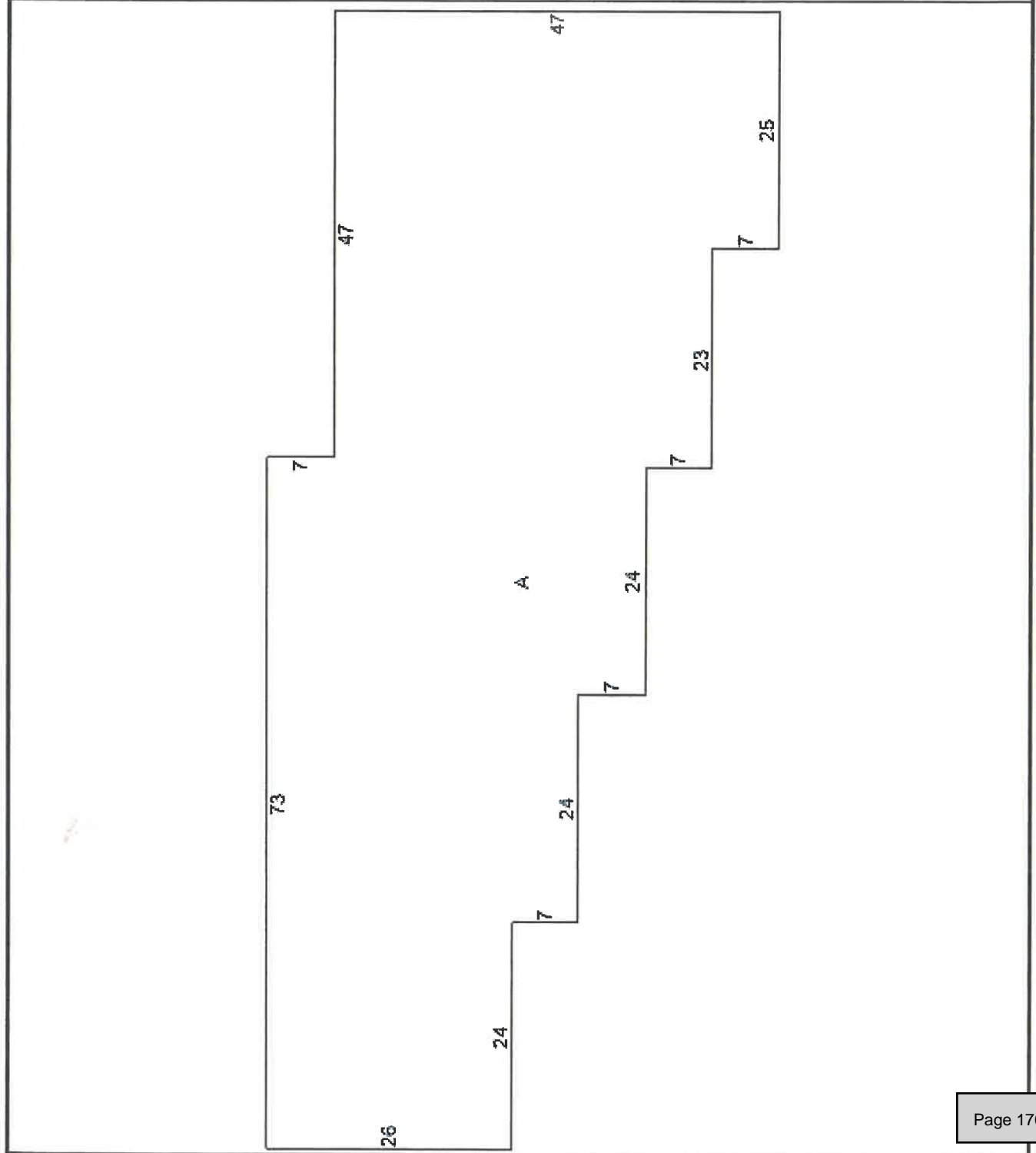
Situs : 1067 FOREST PKWY

Card: 1 of 1

Printed: January 24, 2023

Total Area: 4,478

ID	Code Description	Area
A	Neighborhood Shopping Cr	4478



Item #3.

Honey Sweet Memories LLC
"We Create You Celebrate"

Parking Declaration

My name is Alyson Hamm and owner of Honey's Sweet Memories LLC. I am currently occupying the space with Seven Skylines (Ryan) on the end cap and in the process of obtaining a conditional use permit. The city wanted me to reach out to you regarding any parking concerns you may have.

I plan to host small, intimate parties on the weekends, very, very seldom during the week. I want to make sure that I will not disrupt your business flow or the hair salon, as that is my top priority. I will also ensure that not only my portion of the suites, but yours as well is kept clean and safe.

Could you please list below any parking objections / concerns you may have:

Be mindful of parking and sharing parking spaces during the hours of 8:30am - 5:00pm. Tuesday - Saturday.

Honey Sweet Memories LLC
"We Create You Celebrate"

I am asking for your permission to utilize the parking lot during your non-operating hours for Honey Sweet Memories LLC.

If you agree and have no additional objections other than the concerns listed above, please sign below.

Mary Sims

Printed Name

Mary Sims

Signature

3/11/23

Date

Studio 211 The Glam Bar

Company Name

1067 Forest Pkwy Suite C, Forest Park GA 30297

Company Address

Honey Sweet Memories LLC
"We Create You Celebrate"

I am asking for your permission to utilize the parking lot during your non-operating hours for Honey Sweet Memories LLC.

If you agree and have no additional objections other than the concerns listed above, please sign below.

Lameeka Edwards

Printed Name

Lameeka Edwards

Signature

3/11/23

Date

Cakes by Lameeka

Company Name

1067 Forest Parkway Ste E Forest Park GA 30297

Company Address



Tyrell Syms <tyrellsyms@gmail.com>

Fw: Form Submission: Contact Form - 03/10/2023 01:02:29 PM

1 message

honeysweetmemories@yahoo.com <honeysweetmemories@yahoo.com>
Reply-To: "honeysweetmemories@yahoo.com" <honeysweetmemories@yahoo.com>
To: Tyrell Syms <tyrellsyms@gmail.com>

Sat, Mar 11, 2023 at 7:27 AM

Sent from Yahoo Mail on Android

----- Forwarded Message -----

From: "honeysweetmemories@yahoo.com" <honeysweetmemories@yahoo.com>
To:
Sent: Fri, Mar 10, 2023 at 5:38 PM
Subject: Fw: Form Submission: Contact Form - 03/10/2023 01:02:29 PM

Sent from Yahoo Mail on Android

----- Forwarded Message -----

From: "honeysweetmemories@yahoo.com" <honeysweetmemories@yahoo.com>
To: "cakesbylameeka@hotmail.com" <cakesbylameeka@hotmail.com>
Sent: Fri, Mar 10, 2023 at 3:30 PM
Subject: Re: Form Submission: Contact Form - 03/10/2023 01:02:29 PM

Now, that's awesome of you and I was going to propose that to you as well.

Also, last thing, I just spoke back with the city and this email may be enough for them, in the event, they ask me to have a letter signed, would you be able to do that as well? I'm hoping this would be sufficient.

Sent from Yahoo Mail on Android

On Fri, Mar 10, 2023 at 3:07 PM, Cakes by LaMeeka
<cakesbylameeka@hotmail.com> wrote:

Awesome!
However, if you let me know when you are having a Sunday event, I'll try schedule around it.....

Thank you,
La'Meeka Edwards
Luxury Wedding Cake Artist
www.cakesbylameeka.com
678-576-0409
1067 Forest Parkway Suite B
Forest Park, GA 30297
Taste the Experience and Design Your Dream!

On Mar 10, 2023, at 3:04 PM, honeysweetmemories@yahoo.com wrote:

Thank you so much for this!

I look forward to meeting you as well. I did see you last weekend but you were loading up and didn't want to disturb you.

I will ensure my clients do not park their cars in the front of your suite doors to obstruct the loading process. I am also aware of your delivery truck parking space and will ensure that is preserved as well. I have a plan in place to have someone to supervise/manage parking, noise, and to prevent any other occurrences. Finally, noise is a huge concern for me, as I want to be respectful to you, the other businesses and the surrounding neighborhood.

I appreciate your feedback and look forward to working with you soon. 😊

Warmest regards,

Alyson

Sent from Yahoo Mail on Android

On Fri, Mar 10, 2023 at 2:23 PM, Cakes by LaMeeka <cakesbylameeka@hotmail.com> wrote:

Hi Alyson!

WELCOME TO THE NEIGHBORHOOD! 🎉 🍷 🥂

Thank you so much for reaching out, I generally see clients on Sundays from 1:00 pm until 7:00 pm occasionally on Saturdays. Most Saturdays we do deliveries so I do ask please don't allow your clients to park in front of any of my suites (We have had many cars towed for parking and blocking the doors). The biggest issue when that space was a venue before was the loud music on Sundays we tried to have tastings. Hope to meet you soon 😊

Thank you,
La'Meeka Edwards
Luxury Wedding Cake Artist
www.cakesbylameeka.com
678-576-0409
1067 Forest Parkway Suite B
Forest Park, GA 30297
Taste the Experience and Design Your Dream!

On Mar 10, 2023, at 2:02 PM, Alyson Hamm <emailsupport@mailbiz1.photobiz.com> wrote:

Cakes by LaMeeka

Form Submission: Contact Form

We have received your message and will contact you shortly

START CONVERSATION

Contact Form

First Name

Alyson

Last Name

Hamm

Email

honeyssweetmemories@yahoo.com

Phone

4044383318

Event Location

New Tenant at 1067 Forest Parkway Suite A

Event Date

New Tenant

Message

Good afternoon, Lameeka,

My name is Alyson Hamm and owner of Honey's Sweet Memories LLC. I am currently occupying the space with Seven Skylines (Ryan) on the end cap and in the process of obtaining a conditional use permit. The city

wanted me to reach out to you regarding any parking concerns you may have.

I plan to host small, intimate parties on the weekends, very, very seldom during the week. I want to make sure that I will not disrupt your business flow or the hair salon, as that is my top priority. I will also ensure that not only my portion of the suites, but yours as well is kept clean and safe.

If you could provide me with your feedback via email, so that I can present this to the board on 3/16, I would greatly appreciate it.

Thank you for your time.

Best,

Alyson Hamm

Guest Count

40

Cakes By LaMeeka | | 678 576 0409 |

Authorization of Property Owner

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

1067 Forest Parkway, Forest Park, GA

City of Forest Park, Clayton County, Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN PURSUIT OF A CONDITIONAL USE OF THE DEVELOPMENT REQUESTED ON THIS PROPERTY.

Name of Applicant: Alyson Hamm

Applicant Address: 107 Parkview Drive, Stockbridge, GA

Applicant Phone: 404-438-3318

RY

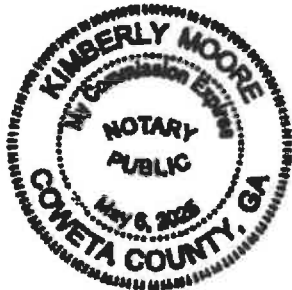
Owner Signature

Ryan Holzer
Owner Name (please print)

Sworn to and subscribed before me

This 26 day of Jan., 2023.

[Signature]
Notary Public



IN WITNESS WHEREOF, the parties who are individuals have set their hands and seals, and the parties who are corporations have caused this instrument to be duly executed by its proper officers as of the day and year first above written.

LESSOR: Forest Park Investment I, LLC

Signature: [Signature]
Name: Ryan Holzer
Title: Manager
Date: 12/19/22

[Signature]
Witness Ryan Holzer
[Signature]

Notary Public

My Commission Expires: SEPT 10, 2026
(NOTARIAL STAMP OR SEAL)

LESSEE: Alyson Hamm

Signature: Alyson Hamm
D.O.B.: 12/15/77
Address: 107 Parkview Drive
Stockbridge, GA 30281
Date: 12/19/22



EXHIBIT C**Special Stipulations:**

1. Lessee shall accept the Premises in as-is condition.
2. No sound, music or other noises shall be heard outside of Lessee's Premises. Lessee and its customers shall be mindful of neighboring tenants at all times and in the event Lessee or its customers are disruptive to neighboring tenants or others, or allow noise to travel outside of Lessee's Premises, as determined by Lessor, Lessee shall immediately then be placed in default of this Lease
3. In the event Lessor is unable to deliver the Premises to Lessee on March 1, 2023, Lessor and Lessee agree that Lessee's Lease Commencement shall be delayed by One (1) day for each day Lessor is late delivering the Premises to Lessee.
4. Lessee, in addition to its patrons and customers, agrees to not use more than its prorata share of parking and to be conscious of the parking needs of the other tenants at the Property.

File Attachments for Item:**4. Council Discussion on Approving an Agreement between COFP and Clayton County Public Schools for a Summer Food Service Program – Recreation & Leisure Services****Background/History:**

The Clayton County Public Schools has provided free breakfast and lunch meals from June through July to children (18 years of age and under) at the Forest Park Community Recreation Center. The renewal of this agreement will allow children in the community that heavily depended on school breakfast and lunch to eat during the school year the opportunity to receive meals throughout the summer months.

Requesting Council to approve the agreement between Clayton County Public Schools and the City of Forest Park



CITY OF
FORESTPARK

City Council Agenda Item

Subject: Council Discussion on Approving an Agreement between COFP and Clayton County Public Schools for a Summer Food Service Program – Recreation & Leisure Services

Submitted By: Tarik Maxwell

Date Submitted: March 29, 2023

Work Session Date: April 3, 2023

Council Meeting Date: April 3, 2023

Background/History:

The Clayton County Public Schools has provided free breakfast and lunch meals from June through July to children (18 years of age and under) at the Forest Park Community Recreation Center. The renewal of this agreement will allow children in the community that heavily depended on school breakfast and lunch to eat during the school year the opportunity to receive meals throughout the summer months.

Requesting Council to approve the agreement between Clayton County Public Schools and the City of Forest Park

Cost: \$ NA

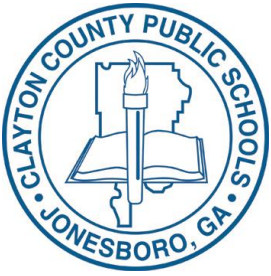
Budgeted for: _____ **Yes** _____ **No**

Financial Impact:

N/A

Action Requested from Council:

Requesting Council to approve and sign an agreement between Clayton County Public Schools and the City of Forest Park



Nutrition Services

• 218-B Stockbridge Road • Jonesboro, GA 30236 • (678) 479-0171 • FAX (678)-479-0181 •

• www.clayton.k12.ga.us •

Dr. Anthony Smith
Superintendent

Audrey A. Hamilton
Nutrition Services Director

Partnership Agreement

between

**City of Forest Park
and
Clayton County Public Schools**

for the

SUMMER FOOD SERVICE PROGRAM

This Partnership Agreement (hereinafter the “Agreement”) is entered into between **CITY OF FOREST PARK**, (the “City”), and **CLAYTON COUNTY PUBLIC SCHOOLS**, through its Nutrition Services Department (“CCPS”).

The purpose of this Agreement is to memorialize a partnership between the entities noted above in connection with the Summer Food Service Program (the “Program”), in which children (18 years of age and under) in the community are provided free breakfast and lunch meals from June 5, 2023 through July 21, 2023 at the Forest Park Community Recreation Center.

Whereas, CCPS will be utilizing the ‘Seamless Summer Option’ (SSO) for its summer feeding program, which is funded and regulated by the United States Department of Agriculture (USDA) through the Georgia Department of Education; and

Whereas, the SSO allows CCPS to provide free summer meals in low-income areas during the traditional summer vacation periods; and

Whereas, under the SSO, CCPS is required to follow meal patterns described in 7 CFR 210.10 and 7 CFR 220.8; and

***“Fueling Student Achievement through Proper Nutrition ”
This Institution is an Equal Opportunity Provider***

Whereas, CCPS can sponsor non-school sites operated by other non-profit organizations and sites may include parks, recreation centers, libraries, mobile feeding sites and other indoor and outdoor locations; and

Whereas, the Nutrition Services Department of CCPS has agreed to serve as a sponsor for the City of Forest Park, whereby the Nutrition Services Department will utilize the Forest Park Community Recreation Center as a feeding site for the SSO, and the city has agreed to allow CCPS to serve its constituents in such capacity.

Listed below are the roles and responsibilities as agreed upon by each of the named entities:

Clayton County Public Schools agrees to:

- Serve as a sponsor for the City of Forest Park whereby the Nutrition Services Department will utilize the Forest Park Community Recreation Center as a feeding site for the SSO.
- Serve meals to all needy children 18 years of age and under (or persons 19 and over who are mentally or physically disabled and participating in a public or private nonprofit school program for the mentally or physically disabled).
- Serve breakfast meals from 8:00 a.m. to 8:30 a.m. and lunch meals from 11:00 a.m. – 12:00 p.m. that meet the minimum meal pattern requirements daily.
- Provide adequate supervision of the actual meal service.
- Ensure program compliance with all district, state and federal regulations.

City of Forest Park agrees to:

- Pick up breakfast and lunch meals from a designated CCPS site within 30mins of meals service
- Allow children 18 years of age and under, as well as those persons 19 years of age and over who meet the State of Georgia agency’s definition of mentally or physically disabled, from the community to participate in the Program during the time periods indicated above.
- Provide adequate supervision of the facility during the meal service.
- Maintain and submit such reports and records that CCPS requires.
- Report any other problems regarding the meal services.

Amendment of Agreement

This agreement cannot be changed or modified except by a written instrument executed and signed by all parties hereto.

Assignment/Subcontracting Clause

Each of the parties hereto shall ensure that all of its assignees or subcontractors, if any, comply with the terms of this Agreement.

***“Fueling Student Achievement through Proper Nutrition”
This Institution is an Equal Opportunity Provider***

File Attachments for Item:**5. Sister Cities International Discussion – Executive Offices****Background/History:**

On September 8, 2020, the Forest Park City Council Approved Resolution No. 20-21 authorizing participation in Sister Cities International. This initiative was created at President Eisenhower's 1956 White House conference on citizen diplomacy. It was envisioned as an organization that could be the hub for peace and prosperity by creating bonds between people from different cities around the world. By forming these relationships, it became the hopes of a nation that people of different cultures could celebrate and appreciate their differences and build partnerships that would lessen the chance of new conflict.

One of the key components of these Sister City relationships are Goodwill Missions, which offer opportunities to deepen friendships and cultural understanding between our sister-states. If it is the desire of the City of Forest Park to deepen commitments and relationships with Senegal, Africa it is requested that we discuss and approve sending a diplomatic goodwill delegation to the country.



CITY OF
FORESTPARK

City Council Agenda Item

Subject: Sister Cities International Discussion – Executive Offices

Submitted By: Marc-Antonie Cooper

Date Submitted: March 29, 2023

Work Session Date: March 29, 2023

Council Meeting Date: April 03, 2023

Background/History:

On September 8th, 2020, the Forest Park City Council Approved resolution no. 20-21 authorizing participation in Sister Cities International. This initiative was created at President Eisenhower's 1956 White House conference on citizen diplomacy. It was envisioned as an organization that could be the hub for peace and prosperity by creating bonds between people from different cities around the world. By forming these relationships, it became the hopes of a nation that people of different cultures could celebrate and appreciate their differences and build partnerships that would lessen the chance of new conflict.

One of the key components of these Sister City relationships are Goodwill Missions, which offer opportunities to deepen friendships and cultural understanding between our sister-states. If it is the desire of the City of Forest Park to deepen commitments and relationships with Senegal, Africa it is requested that we discuss and approve sending a diplomatic goodwill delegation to the country.

Cost: \$ 50,000

Budgeted for: _____ **Yes** **No**

Financial Impact:

If approved would be added into FY 23-24 Budget

Action Requested from Council:

Seeking further direction