



PLANNING AND ARCHITECTURAL REVIEW BOARD MEETING AGENDA

Tuesday, July 02, 2024 at 5:30 PM

City Commission Chambers – 105 S. 2ND Street, Flagler Beach, FL 32136

ALL MEETING ITEMS WILL BE CONTINUED UNTIL MEETING IS COMPLETE.

1. Call the meeting to order
2. Pledge of Allegiance
3. Roll Call / Determination of Quorum
4. Approval of Meeting Minutes
 - a. May 7, 2024
5. Old Business - NONE
6. New Business
 - a. **Application PFS24-0001:** Conceptual Site Development Plan - Request to construct a residential rental community consisting of twenty-two coastal cottages.
Parcel ID No.: 11-12-31-0650-000D0-0050
Zoning District: General Commercial (GC)
FLUM: Medium Density Residential (MDR)
Owner: ALT Homes LLC, T.J. McNitt - 3371 N State St, Unit 1, Bunnell, FL 32110
Applicant: ALT Homes LLC , Katie Crooke, Representative - 3371 N State St, Unit 1, Bunnell, FL 32110
 - b. **Application PSPR24-0002:** Final Site Plan Approval – Restaurant renovation and addition request.
Parcel ID No.: 12-12-31-4500-00490-0020
Zoning District: General Commercial (GC)
FLUM: Commercial
Owner: Flagler Fish Company of 5 LLC, Carolyn Casper – 180 S Daytona Ave., Flagler Beach, FL 32136
Applicant: Joseph Pozzuoli Architect – 314 Moody Blvd, Flagler Beach, FL 32136
 - c. **ORDINANCE 2024 - XX - AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING THE CITY OF FLAGLER BEACH LAND DEVELOPMENT REGULATIONS, ARTICLE II, ZONING; AMENDING SECTION 2.04.02.9.1 (A) RELATED TO RESIDENTIAL DIMENSIONAL STANDARDS.**
7. Board Comments
8. Other Business
 - a. City Planner Report
9. Adjournment

RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decision the Commission makes about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript. The City is not responsible for any mechanical failure of the recording equipment. In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext 233 at least 72 hours prior to the

meeting. The City Commission reserves the right to request that all written material be on file with the City Clerk when the agenda item is submitted.



City of Flagler Beach

Planning and Architectural Review Board

Section 4, Item a.

Tuesday, May 7, 2024 at 5:30 p.m.
105 S. 2nd Street
Flagler Beach, FL 32136

MEETING MINUTES

Call meeting to order: Chairman Joseph Pozzuoli called the meeting to order at 5:30p.m

1. Pledge of Allegiance: Brenda Wotherspoon led the Pledge of Allegiance.
2. Roll Call:

Present: Chairman Joseph Pozzuoli, Vice Chairman Marshall Shupe, Joann Soman, Brenda Wotherspoon, Scott Chappuis, Lisa Smith and Paul Chestnut

Absent: None

Staff Present City Attorney Drew Smith, Secretary Michele Ficocello and Bonnie Bramer

3. Approval of Meeting Minutes:

Joann Soman motioned to approve April 2, 2024 meeting minutes. Brenda Wotherspoon seconded motion. Motion passed unanimously.

4. Old Business:

None

5. New Business:

Application RZ 24-0001; Request to rezone property from the General Commercial (GC) zoning district to the Single Family Residential (R1) zoning district. Property will combine with the adjoining parcel at 112 N 6th Street (Parcel No. 12-12-31-4500-00020-0070). Parcel ID No.:12-12-31-4500-00020-0081; Zoning District: General Commercial (GC); FLUM: Commercial; Owner: Joseph Kovach - 112 N 6th Street, Flagler Beach, Fl 32136; Applicant: Joseph Kovach - 112 N 6th Street, Flagler Beach, Fl 32136

Applicant Joseph Kovach was present for meeting. Drew Smith, City Attorney presented item to board. A rezoning request with a companion Future Land Use Map amendment to allow the property owner to develop the property with an accessory dwelling unit (ADU) in conjunction with the existing house at 112 North 6th Street. Under the current zoning, a single-family residence could be built on the subject property, however, the owners wish to construct an ADU smaller than the required minimum size for a house. The project would be consistent with the proposed Future Land Use Map designation.

Staff Recommendation: Recommend approval of site plan RZ24-0001.

Applicant requested clarification regarding the future land use zoning. Mr. Smith stated zoning is going from a more intense use to a less intense use which is Medium Density Residential.

Chairman Pozzuoli opened public comments. No public comments, Chairman Pozzuoli closed public comment.

Joann Soman motioned to recommend approval of Application RZ 24-0001 and to incorporate findings made by the planning staff. **Approve Rezoning Application to rezone Parcel I.D. No. 12-12-31-4500-00020-0081 from General Commercial to Single Family Residential based upon findings of fact which demonstrate the zoning change request is following all applicable Objectives and Policies of the City of Flagler Beach Comprehensive Plan.** Lisa Smith seconded the motion. Motion passed unanimously.

Application FLUMA 24-0001: Request to amend the Future Land Use Map designation of the property from Commercial to Medium Density Residential. Property will combine with the adjoining parcel at 112 N 6th Street (Parcel No. 12-12-31-4500-00020-0070); Parcel ID No.: 12-12-31-4500-00020-0081; Zoning District: General Commercial (GC); FLUM: Commercial; Owner: Joseph Kovach - 112 N 6th Street, Flagler Beach, Fl 32136; Applicant: Joseph Kovach - 112 N 6th Street, Flagler Beach, Fl 32136.

Drew Smith presented item to the board. A Future Land Use Map amendment request with a companion rezoning application to allow the property owner to develop the property with an accessory dwelling unit (ADU) in conjunction with the existing house at 112 North 6th Street. Under the current zoning, a single-family residence could be built on the subject property. An accessory use can only be built in conjunction with an allowed primary use. The owners plan to join the two properties, which requires a rezoning and Future Land Use amendment to avoid a split zoning. The project would be consistent with the proposed Future Land Use Map designation.

Joann Soman motioned to recommend approval of Application FLUMA 24-0001 and to incorporate findings made by the planning staff. **Approve Future Land Use Map Amendment Application to change Parcel I.D. No. 12-12-31-4500-00020-0081 from Commercial to Medium Family Residential based upon findings of fact which demonstrate the amendment request is following all applicable Objectives and Policies of the City of Flagler Beach Comprehensive Plan.** Paul Chestnut seconded the motion. Motion passed unanimously.

Application SP 24-0001 Final Site Plan Approval – Request to build a new mixed-use building at 907 N Ocean Shore Blvd. Parcel ID No.:01-12-31-1100-00050-0050; Zoning District: Tourist Commercial (TC); FLUM: Commercial; Owner: Gaspar Family Holding – 8601 E Church St, Hastings, Fl 32145; Applicant: Luis Medeiros, A Plus Home Improvements; 306 S Railroad St, Bunnell, Fl 32110.

Applicant Luis Medeiros, Contractor and Owner Mr. Gaspar are present for meeting.

Mr. Smith presented item to the board. The applicant has submitted Application SP#24-0001 to appear before the Planning and Architectural Review Board (PARB) the purpose of which is to obtain a recommendation of approval as it relates to a mixed-use building with retail on the ground floor and an apartment on the second floor.

Staff Recommendation: Recommend approval of site plan SP#24-0001.

Chairman Pozzuoli opened board discussion. The following comments and concerns were received.

- Plans not reflecting downhill grade. Garage appears to be on the same level as the commercial spaces.
- Rear property parking
- Required total commercial parking spaces with handicap
- Parking spaces are contradicting on the site plan
- Unable to determine if parking is adequate
- Inconsistencies in plans submitted for review and show more detail on plans
- Retention area
- Fire code for stairs
- Change in grade not reflected on plan, inconsistent
- Sanitation/Trash bins storage
- Ingress/egress
- Building eastward of the CCCL
- Show calculations for pervious and impervious coverage
- Turtle lighting package not submitted
- Stairwell and elevator need proper egress
- Existing shared driveway
- Concern with not having a detailed site plan indicating square footage, number of parking spaces required, number of parking spaces exempted and number of required parking.
- Mixed Use Standards not showing on plan for required parking
- Show grade of driveway on the north side so as to see how it relates to the garage and entrance to the garage

Brenda Wotherspoon motioned to table final site plan **Application SP 24-0001** to obtain a clearer detailed site plan and information for the following:

- Show grade relating to garage and show driveway grade
- Show residential calculation separated from commercial calculation and how calculation was determined.
- Show parking surface regarding parking out back
- Submit turtle lighting package
- Show square footage of retention area
- Stairwell and elevator need to be reviewed with professional to verify proper egress
- Show location of trash bin placement; need enough spaces for all three units

Joann Soman seconded the motion. Motion passed unanimously.

ORDINANCE 2024 -XX - AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING THE CITY OF FLAGLER BEACH LAND DEVELOPMENT REGULATIONS RELATING TO MOBILE HOME PARK SETBACKS; AMENDING SECTION 2.09.103 OF THE LAND DEVELOPMENT REGULATIONS TO REDUCE THE SETBACKS FOR MOBILE HOMES LOCATED WITHIN MOBILE HOME LOCATED WITHIN MOBILE HOME PARKS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATIONS, CONFLICTS, AND EFFECTIVE DATE.

ITEM WAS WITHDRAWN BY APPLICANT PRIOR TO MEETING.

6. Board Comments - None

7. Other Business - None

8. Adjournment

Vice Chairman Marshall Shupe motioned to adjourn meeting. Scott Chappuis seconded the motion.

Meeting adjourned at 7:00pm.



City of Flagler Beach

Planning and Building Department

Date: June 27, 2024,

To: Chairman and Board Members of Planning and Architectural Review Board

From: Lupita McClenning, City Planner, City of Flagler Beach

Subject: Conceptual Site Plan: Application # PFS24-0001

Legacy Pointe Cottages

2401 Leslie Street

Construct a residential rental community consisting of 22 coastal cottages. All units are 2 bedrooms, 1 bathroom

Background:

A multi-family development proposal located at 2401 Leslie Steet was formally presented to the PARB and approved by the City Commission approximately three (3) years ago. In accordance with Section 08.05.03.(9), a site plan shall expire if no substantial performance of work described in the building permit has been performed within two (2) years of the date of issuance. The approved site plan expired.

The site plan for the proposed development was amended and resubmitted as a major site plan (SP#23-04-01) for consideration by the PARB during the regular meeting of May 2nd, 2024. Final Site Plan 23-04-01 was approved by the PARB with conditions.

Based on comments from the PARB at the May 2nd meeting, the applicant chose to modify the elements of site plan SP#23-04-01 and instead submit a conceptual plan for the board’s consideration of a multi-family development that the applicant believes better aligns with needs, established goals, and design standards for the City of Flagler Beach.

This site plan is submitted as a Conceptual Plan for the Board’s consideration and so as to move forward with a preliminary site plan that reflects the installation of all improvements required and, in a manner, consistent with standards of the City’s Code.

Per Section 8.05.05 - *Minimum Site Improvements* – improvements include stormwater management systems, utilities, parking, and loading areas, lighting, sidewalks, and landscaping and buffering, and ingress/egress roadway improvements.

Parcel Description

Address: 2401 Leslie Street., Flagler Beach, FL

Parcel ID: 11-12-31-0650-000D0-0050

Area: 137,812.959 GIS sq. ft.

Conceptual Site Plan: Legacy Pointe Cottages

- Applicant **proposes to construct 22 buildings consisting of multi-family units for a total of 17,248 SQFT.**
- The proposed size of **each unit is 25' x 32'4" x 8'.**
- **Each unit is proposed to be 784 SQFT.**

Parcel Description

The property is **3.16 acres** of vacant, undeveloped land located at 2401 Leslie St. Flagler Beach, FL.

FLUM Map Designation: Medium Density Residential (MDR) See

Zoning Map Designation: General Commercial (GC) See

Existing Conditions:

- The 3.16-acre lot consists of a vacant wooded parcel.
- The project is located at the termination of Leslie Street and Joyce Street on the west side of John Anderson Highway.
- **Site access is provided by an existing paved road on Leslie Street; and a secondary ingress/egress is Joyce Street, an unpaved road.**

Surrounding Properties

- Property to the west is developed and zoned Highway Commercial (HC).
- Property to the east is developed and zoned Single-Family Residential (SFR-1).
- Property to the south is developed multifamily development zoned Medium Density Residential (MDR).
- Property to the north is 1.20 acres of undeveloped land.

Land Development Regulations Compliance

Sec. 8.05.02. – Site Plan Approval

In accordance with Section 8.05.02, Site Plan Approval, **a major site plan is required for the following development:**

- Multi-family residential projects consisting of three (3) or more units;**
- Two-family projects consisting of two (2) or more two-family buildings — four (4) units;
- New non-residential buildings or structures;**
- Additions to any existing multi-family residential project or existing non-residential structure, which do not meet the criteria for a minor site plan approval;
- Accessory structures associated with any existing multi-family residential project or existing non-residential structure, which does not meet the criteria for a minor site plan approval;
- Conversion of a transient lodging facility that converts to multi-family residential or non-residential;
- Parking lots containing seven (7) or less automobile parking spaces that are not associated with a structure requiring a major site plan approval;
- Parking lots containing more than seven (7) automobile parking spaces;**

- i. Multi-family residential, commercial, and recreational patios and decks;
- j. Conversion of residential unit(s) to non-residential use not associated with a structure requiring a major site plan approval; and
- k. Conversion of non-residential unit(s) to multi-family units not associated with a structure requiring a major site plan approval.

The planning and architectural review board shall be the entity responsible for reviewing and making a recommendation to the city commission regarding the approval of major site plans.

Sec. 8.05.05. - Minimum site improvements.

All site development plans shall reflect the installation of all improvements required in this Code, in a manner consistent with standards of this Code.

- A. Improvements include stormwater management systems, utilities, parking, and loading areas, lighting, sidewalks, and landscaping and buffering, and any other facility required by this Code.
- B. Easements and miscellaneous dedications. The following minimum number and size of easements and dedications shall be reflected on the site plan drawing.
 - 1. *Drainage facilities.* A drainage easement shall be granted to the city where a proposed subdivision is traversed by any existing or proposed watercourse, canal, ditch, storm sewer, or other drainage way
 - 2. *Utilities.* A utility easement shall be granted to the City wherever a proposed utility line or other facility is planned or located on or adjacent to any property not otherwise dedicated to or owned by the city. The size and location of such easements shall be determined by the city.
 - 3. *Conservation easements.* Conservation easements over all required tree preservation areas shall be granted to the city or other appropriate governmental agency.

Sec 2.04.02.8 - Zoning Schedule Permitted Uses: General Commercial

- | | |
|--|--|
| <ul style="list-style-type: none"> 1. Off-street parking facilities or structures. 2. Business and financial services. Professional offices. 3. Funeral homes. 4. Automotive service stations. Retail building supplies. 5. Restaurants. 6. Retail sales of food, hardware and other household items normally required to serve the residents of the community. 7. Medical services and facilities (not to include pharmacies and medical marijuana treatment center dispensaries which are not permitted | <ul style="list-style-type: none"> uses within the General Commercial zoning district). 8. Essential public services and facilities. 9. Park and recreational facilities. Veterinary hospitals with no kennels. 10. There shall be no overnight stays of animals, except for emergency care. 11. All principal uses permitted in the MDR District. 12. Mini-warehouses. 13. Mixed Use Buildings within the defined Mixed Use District boundary (See Note 12. Section 2.04.02.9, Zoning Schedule Two) |
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Permitted Uses: Medium Density Residential

1. Single-family dwellings.
2. Two-family dwellings.
3. Townhouse dwellings.
4. **Multifamily dwellings.**
5. Parks and recreational facilities.
6. Essential public services and facilities.
7. Community residential homes in accordance with chapter 419, F.S.

Sec 2.04.02.9 - Lot Dimensions - Schedule II Development Standards Table

Zoning District	Min. Lot Size (Sq. Ft.)	Min. Lot Width at Building Setback Line (Feet)	Min. Lot Depth (Feet)	Density Sq. Ft. Per Dwelling Unit	Min. Front Yard (Feet)	Min. Side Yard (Feet) (See Note 1)	Min. Rear Yard (Feet) (See Note 2)	Max. Building Height (Feet)	Maximum Impervious Surface Coverage (% of Total Lot Area) (See Note 13)
General Commercial (See Note 12)	4000	50	80	When use is residential, MDR Schedule 2 area/dwelling unit (sq. ft.) shall apply.	25' if parking provided; 10' if not	None, except along A1A is 10% of lot width	10	35	75 (CBD 85%)

Sec. 6.00.03. - Lot design standards.

The following standards shall apply to subdivisions within the city:

1. Lot Standards and Building Setbacks shall be in accordance with Section 2.04.02.9, Zoning Schedule II; Lot, Yard and Bulk Regulations.
2. All public utility easements shall be a minimum of fifteen (15) feet in width.
3. All street blocks shall be a minimum of four hundred (400) feet in length.

Schedule II Residential Standards 2.04.02.9									
Zoning District	Min Lot Size	Min Lot Width	Min Lot Depth	Density per DU	Min Front Yard	Min Side Yard	Min Rear Yard	Max Height	Max Impervious
MDR Multifamily	9000 SQFT	100'	75'	5 DU/AC	25'	10% of lot width	25'	35'	65%

Sec. 2.05.08.2. - Minimum square footage of dwelling units

All dwelling units in multifamily residential buildings shall have a minimum of five-hundred-fifty (550') square feet of livable enclosed floor space.

Sec. 6.00.04. - Subdivision improvements.

- a. All street markers shall be in place showing plainly the names of the streets. Where such markers are placed at intersections, the name of each intersecting street shall be displayed on said marker.
- b. **The minimum width of right-of-way for subdivision streets in the city shall be as follows:**
 - a. **Fifty (50) feet for secondary streets;**
 - b. Sixty (60) feet for collectors;
 - c. Seventy (70) feet for thoroughfares.

All streets shall be paved by the owners, and the minimum width of the paving shall be as follows:

- a. **Twenty-eight (28) feet for secondary streets;**
- b. Thirty-two (32) feet for collectors;
- c. Forty-two (42) feet for thoroughfares.

The owners shall also install curbs and gutters along said streets, and the minimum paved area as described above shall be measured from the back of one (1) curb to the back of the opposite curb. Paving shall consist of a six-inch base and a double surface treatment.

The owner shall install a water distribution system including fire hydrants. Said system shall meet the engineering requirements and specifications required by the city for the municipal water distribution system. The plans and specifications of such water distribution system shall be submitted to and approved by the city prior to the commencement of construction of said system.

Sec. 6.00.11. - Stormwater Management.

A stormwater management plan shall be provided. This plan shall be prepared in accordance with the interim performance and design standards specified in the city's adopted stormwater management ordinance, and in compliance with *Section 9.04.02 Stormwater Design Criteria*, consistent with regulations and policies of the St. Johns River Water Management District (SJRWMD) and the Florida Department of Environmental Protection (FDEP).

Drainage calculations shall consider all relevant information that would affect the stormwater management system including, but not limited to, the following: drainage basin characteristics, system hydraulics, operating conditions and other external influences upstream and downstream from the stormwater system that may impact or be impacted by the proposed system.

Sec. 2.06.06.06 - Site planning design principles.

Utilities.

All utilities on the development site shall be placed underground. Ground-mounted equipment such as transformers, utility pads, cable television and telephone boxes, cell tower equipment boxes, and Conceptual Site Plan: Application # PFS24-0001 Legacy Pointe Cottages

similar utility services shall be placed underground whenever practicable. Where undergrounding of ground-mounted equipment is not feasible, equipment shall be screened from view with a hedge or solid fence or wall a minimum of four (4) feet in height and must be sited to comply with the site vision clearance standards.

Sec 2.02.02 - Parking

Off-street parking.

Multifamily developments shall provide parking designed in accordance with the following standards:

Off-street vehicle parking spaces and bicycle parking shall be provided as specified section 2.06.02.1, off-street parking. Schedule of off-street parking requirements.

Parking lots shall be placed to the side or rear of buildings where possible.

Parking lot landscaping shall be provided as specified in subsection 2.06.02.1(6); and

Parking lots shall be connected to all building entrances by means of internal pedestrian walkways.

In all districts and in connection with every use there shall be provided, at the time any building is constructed off-street parking space in accordance with the requirements as set forth herein.

- 1. Size and access—An off-street parking space shall consist of a parking space having minimum dimensions of ten (10) feet in width by twenty (20) feet in length for the parking of each automobile, exclusive of access drives or aisles thereto. Minimum width for the maneuvering of an automobile into a parking space shall be in conformance with this ordinance. The parking plan must be so arranged that each automobile may be placed and removed from the property without the necessity of moving any other automobile to complete the maneuver.

Street or sidewalk areas may not be used for off-street parking purposes as herein defined. Individual ingress and egress drives extending across the public sidewalks and curbs and connecting the off-street parking spaces to the public street areas shall not exceed a maximum of twelve (12) feet for a one-way drive and twenty-four (24) feet for a two-way drive. The number and placement of such drives is to be subject to the approval of the planning and architectural review board before being installed.

- 2. Number of parking spaces required—There shall be provided at the time of the erection of any structure minimum off-street parking facilities with adequate provisions for ingress and egress, in accordance with paragraph (1) of this section and the schedule of off-street parking requirements.

a. Applicant submitted a parking plan that includes 1.5 parking spaces per unit. Applicant is pending the adoption of the updated land development code for new parking requirements with anticipated adoption of parking code before submitting for building permits. A total of 41 parking spaces are proposed in the concept plan.) Without parking incentive or exception or updated parking ordinance a total 44 parking spaces is required.

- 3. Location of parking spaces—Parking spaces for all uses or structures which are provided as required parking in conformance with the schedule of off-street parking and other applicable provisions shall be located within two hundred (200) feet and have the same zoning district, as the principal use or structure they are intended to serve.

Section 05.04 - Landscape

Landscaping includes not only trees and plantings, but paving, benches, fountains, exterior lighting fixtures, fences, and any other item or exterior furniture.

All landscaped areas shall be provided with an approved irrigation system.

All landscaping materials shall be either bonded or guaranteed by the owner of the premises for a period of one (1) year after the approval or acceptance thereof by the city.

All landscaping and plantings designated on the plans approved by the planning and architectural review board shall be installed in accordance with the specified height, spread and quality before a certificate of occupancy is issued.

Landscaping Parking Areas.

Landscaping—All parking areas shall be properly screened, landscaped, and lighted in accordance with Section 5.04.00 Landscaping/Trees.

Ten (10) percent minimum of the gross parking area is to be devoted to living landscaping, which includes grass, ground cover, plants, shrubs and trees. The gross parking area is to be measured from the edge of the parking and/or driveway paving and sidewalks, extended [extending] five (5) feet in all directions, but is not to include any area enclosed by the building or covered by a building overhang.

Interior Landscape of Parking.

Interior landscaping—Interior areas of parking lots shall contain planter islands located so as to best relieve the expanse of paving. A maximum of twelve (12) parking spaces in a row will be permitted without a planter island.

Interior areas of vehicular use areas shall contain planter islands located so as to best relieve the expanse of pavement. When a strict application of this section will seriously limit the function of an area the required landscaping may be relocated with the approval of the planning and architectural review board.

Lighting Parking Lots.

All parking lots and vehicular use areas shall be well lighted.

Lighting is to be designed not only from the standpoint of safety and resistance to vandalism, but for visual effect. It should avoid any annoyance to the neighbors from brightness or glare. Low lights of a modest scale can be used along with feature lighting emphasizing plants, trees, barriers, entrances and exits. The fixtures are to be selected not only for their functional value but for their aesthetic qualities. They are to be considered furniture of the parking lot visible both day and night.

Sidewalks

Pedestrian circulation. To ensure safe, direct, and convenient pedestrian circulation, all multifamily developments shall contain a system of pathways designed based on the standards below:

1. The pathway system shall extend throughout the development site, and connect to all future phases of development, adjacent public parks and commercial uses, and the public sidewalk system; within the development shall provide safe, reasonably direct connections between dwelling units and parking areas, recreational facilities, storage areas, and common areas;
2. Where pathways are parallel and adjacent to a driveway or street (public or private), they shall be raised six (6) inches and curbed or separated from the driveway/street by a minimum five (5) foot strip with bollards, a landscape berm, or other physical barrier;
3. Pedestrian pathways shall be separated a minimum of six (6) feet from all building facades with residential living areas on the ground floor, except at building entrances;
4. Where pathways cross a parking area, driveway, or street ("crosswalk"), they shall be clearly marked with contrasting paving materials, humps/raised crossings, or painted striping; and
5. Pathway surface shall be concrete, asphalt, brick/masonry pavers, or other durable firm surface, at least five (5) feet wide, and shall conform to federal Americans with Disabilities Act (ADA) requirements.

Sec 2.06.06.07 - Supplemental Standards Multifamily

Common open space.

In all developments with more than twenty (20) units, a minimum area of fifteen (15) percent of the total site area (inclusive of required setback areas) shall be designated, and permanently reserved, as usable common open space.

The site area is defined as the lot or parcel on which the development is planned, after subtracting the required dedication of street right-of-way and other land for public purposes (e.g., public park). Sensitive lands and historic buildings or landmarks open to the public can be counted toward meeting the common open space requirements.

The development shall designate, within the common open space, a minimum of two hundred fifty (250) square feet of active recreation area (e.g., children's play areas, play fields, swim pool, sports courts, etc.) for every twenty (20) units or increments thereof. For example, a fifty (50) unit development shall provide a minimum of five hundred (500) square feet for active recreation. Indoor or covered recreation space may be counted toward this requirement but should not exceed thirty (30) percent of the required common space area.

Sec. 3.04.00. - Determination of Concurrency Finding

- (a) Schedule of availability. In order to pass the test of concurrency, components of infrastructure must be available to the proposed development in accordance with the following schedule taken from Chapter 9J-5.0055:

- 1) 9J-5.0055(2)(a). For potable water, sewer, solid waste and drainage, at a minimum infrastructure must satisfy the following standards to meet the concurrency requirement:
 - a. The necessary facilities and services are in place at the time a development permit is issued; or
 - b. A development permit is issued subject to the condition that the necessary facilities and services will be in place when the impacts of the development occur; or
 - c. The necessary facilities are under construction at the time a permit is issued; or
 - d. The necessary facilities and services are guaranteed in an enforceable development agreement that includes the provisions of Rules 9J-5.0055(2)(a)a. 3. An enforceable development agreement may include, but is not limited to, development agreements pursuant to F.S. § 163.3220, or an agreement or development order issued pursuant to F.S. Ch. 380. The agreement must guarantee that the necessary facilities and services will be in place when the impacts of the development occur.
- 2) 9J-5.0055(2)(b). For open space and recreation, the proposed development must satisfy the following standards to meet the concurrency requirement:
 - a. Comply with the standards defined above for potable water, sewer, solid waste and drainage; or
 - b. At the time the development permit is issued, the necessary facilities and services are the subject of a binding executed contract which provides for the commencement of the actual construction of the required facilities or the provision of services within one (1) year of the issuance of the development permit; or
 - c. The necessary facilities and services are guaranteed in an enforceable agreement which requires the commencement of the actual construction of the facilities or the provision of services within one (1) year of the issuance of the applicable development permit. An enforceable development agreement may include, but is not limited to, development agreements pursuant to F.S. § 163.3220, or an agreement or development order issued pursuant to F.S. Ch. 380.

Compliance with Comprehensive Plan

In accordance with Sec 6.00 all proposed development shall conform to the City’s Comprehensive Plan, associated Future Land Use Map, the City’s Concurrency Management Plan and land development regulations.

Goal A.1

Policy A.1.1.1

The City shall not issue a building permit or other development orders until the City Manager or his or her designee certifies that required public facilities and services will be provided concurrent with the needs of development. No Certificate of Occupancy shall be issued until facilities and services are in operation.

Medium Density Residential - Provides for a range of densities from above 5 units per acre to 18 units per acre.

Comp Plan and Zoning Category

The proposed development meets the Comprehensive Plan minimum requirements for a multi-family development as prescribed in the Land Development Code for the City of Flagler Beach, FL.

Next Steps

Following courtesy review applicant submit site plan application and meet with City Engineer, and city staff members for review of technical requirements for a major site plan including submitting stormwater management, utilities, lighting, sidewalks, landscaping plans, and demonstrating compliance with road ingress/egress right-of-way improvements for Joyce St. including review of the LOS and/or improvements to Leslie St to accommodate Legacy Pointe development and concurrency requirements in accordance with 9J-5.

Consider amending the parking requirement in the code to allow for 1.5 parking spaces and reserve the right to include, “a payment in lieu of,” in seeking relief from parking.

ATTACHMENTS:

- Attachment #1 – Conceptual Site Plan Application
- Attachment #2 – Aerial Map
- Attachment #3 – Zoning Map
- Attachment #4 – Future Land Use Map
- Attachment #5 – Legacy Pointe Benefits Letter
- Attachment #6 – Legacy Pointe Cottage Site Layout
- Attachment #7 – Legacy Pointe Cottages Landscape Design



City of Flagler Beach

**Building and Planning Dept.
PO Box 70 – 700 South Daytona Ave.
Flagler Beach, Florida 32136
Phone (386) 517-2000 Fax (386) 517-2016**

APPLICATION
CONCEPTUAL SITE DEVELOPMENT PLAN

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SITE PLAN REVIEW SUBMITTAL REQUIREMENTS

Note:

- *A Pre-submittal meeting is required ith City Staff.*
- Application for Site Plan requires appointment with Planning and Zoning Director prior to meeting cut off date. Please call (386) 517-2000 ext. 230
- Application will not be accepted unless all required documents are completed.

Required Documents:

- Conceptual Site Development Plan Application
- Twelve (12) sets of all required documents (11"x17").
- Application Fee - \$150.00 (payable to the City of Flagler Beach)
- Warranty Deed
- Survey
- Surrounding Land Use
- Location Map
- Site Development Plan (identifying all proposed improvements)
- Building Elevations (proposed color(s), materials, finishes)

CPR#: _____ DATE FILED: _____

PROJECT TITLE: Legacy Pointe Cottages

ADDRESS: XXX Leslie St Flagler Beach Fl 32136

Subdivision: _____ Block: 00D0 Lot(s): 0050

TAX PARCEL NUMBER(S): 11-12-31-0650-00D0-0050

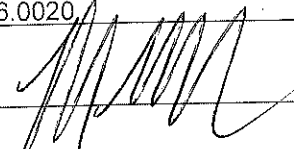
ZONING DISTRICT: 21

OWNER INFORMATION:

OWNERS NAME: ALT HOMES LLC; TJ MCNITT

ADDRESS: 3371 N STATE ST UNIT 1 BUNNELL FL 32110

PHONE NUMBER: 386.356.0020 FAX NUMBER: _____

SIGNATURE OF OWNER: 

APPLICANTS INFORMATION:

APPLICANTS NAME (IF OTHER THAN OWNER): _____

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

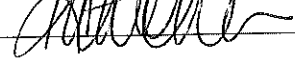
SIGNATURE OF APPLICANT: _____

REPRESENTATIVE:

NAME: KATIE CROOKE

ADDRESS: 3371 N STATE ST UNIT 1 BUNNELL FL 32110

PHONE NUMBER: 386.356.0020 FAX NUMBER: _____

SIGNATURE OF REPRESENTATIVE: 

General Information

CONCEPTUAL SITE DEVELOPMENT PLAN APPLICATION

A. Pre-Submittal Meeting:

It is required that the applicant meet with City Staff prior to electing to submit a Conceptual Development Plan application. Staff will meet with the applicant to discuss any questions regarding plan proposals, City processes, fees, and requirements listed on the Conceptual Development Plan Application Checklist.

B. Application Submittal:

Once the application is submitted, City Staff will review the application for completeness. Unless otherwise determined, all items on the checklist must be completed prior to scheduling a Planning and Architectural Review Board hearing date.

C. Application Hearing Process

Once any issue related to the application have been resolved and the application is deemed acceptable by City Staff, the application will be scheduled for the next timetabled Planning and Architectural Review Board (PARB) meeting.

The PARB is an advisory board that reports directly to the City Commission. The Board is comprised of City of Flagler Beach residents appointed by the City Commission. The Board's responsibility and authority as it relates to the Conceptual Site Development Plan application is as follows:

Purpose –

1. To provide comments and concerns related to all aspects of the proposed development within the context of compliance with the adopted requirements and development standards outlined in the Land Development Code.
2. To facilitate the Final Site Plan approval process should the applicant elect to proceed.

PROJECT DESCRIPTION

PRINT OR TYPE INFORMATION

A. Provide a detailed description of the proposed project:

TO CONSTRUCT A RESIDENTIAL RENTAL COMMUNITY THAT CONSISTS OF 22 "TINY" COASTAL COTTAGES.
ALL UNITS WILL BE 2 BEDROOMS, 1 BATH

B. Provide the lot size (parcel) and square footage of all building(s):

LOT SIZE: 3.16 TOTAL ACRES
SF EACH BUILDING: 784SF
SF OF ALL 22 BLDGS.: 17,248SF

C. Provide the size, height and proposed use of each building:

25' X 32'4" X 8 - ROOF 12/6
EACH UNIT SERVES AS A LONG TERM RESIDENTIAL RENTAL "HOME"

D. Provide a detailed description of the following:

UNITS WILL HAVE DIFFERENT FINISHES THAT CONSIST OF LAP/PANEL SIDING; TEXTURED
Exterior finish and color: FINISH SUCH AS CEMENT BOARDING/STUCCO VARIETY OF COASTAL COLORS
Roof material and color: SHINGLES; DARK COLOR

E. Indicate the project floor area ratio or lot coverage (if applicable):

F. Provide the total number of:

Required on-site parking spaces: 33
Proposed on-site parking spaces: 41
Required on-site Handicapped parking spaces: 1
Proposed on-site Handicapped Parking spaces: 2

G. Any off-site parking spaces proposed? If yes, describe number, location, and distance from proposed project location:

NO

H. Will project be accomplished in phases? If Yes, describe phasing plans and timeframe:

NO

I. Describe the nature of any tree and native vegetation removal, if applicable:

SITE SHALL BE CLEARED & GRUBBED OF ALL VEGETATION AND DEBRIS WITHIN THE APPROXIMATE CLEARING AS INDICATED IN THE DRAWING. ALL REMOVED MATERIAL SHALL BE HAULED OFF SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF SITE DISPOSAL.

J. If a Commercial use, describe the operational characteristics of the development (proposed hours of operation, any unique characteristics of the proposed use.

NA

K. Provide other pertinent information regarding the proposed development:

----- *EXISTING CONDITIONS* -----

A. Describe all previous uses or activities on the site:

VACANT LAND

B. Describe all existing structures on the site in terms of their use, construction type, height, density, and size:

NA

C. Describe the project site as it presently exists before the project in terms of:

• Site topography:

• Plant life (existing trees, vegetative cover):

CURRENTLY RECORDED ON SITE ARE APPROXIMATELY 82 TREES CONSISTING OF CEDAR, CHERRY, EL, HACKBERRY, MAGNOLIA, MAPLE, OAK, AND SWWET GUM.

o Soil conditions:

SITE CONSISTS OF (11) MYAKKA-MYAKKA, WET, FINE SANDS, 0 TO 2 PERCENT SLOPES

o Historic or cultural resources (if applicable):

D. Describe the land use and zoning of surrounding properties within 200 feet of project location:

North:

ZONES GC - CONSISTING OF VACANT LAND AND BUSINESSES

South:

ZONES MDR - FLAGLER BEACH VILLAS

East:

ZONED - SFR - SINGLE FAMILY HOMES

West:

ZONED HC - STORE FRONTS AND GAS STATION

-----APPLICATION CHECKLIST-----

Note: All plans submitted with the application must be folded and stapled to standard notebook size.

1. SURVEY

The survey shall be based on current title work and shall be reflected as such on the survey. The following information is required:

- Boundary survey

NOTE: ALL SITE PLAN RELATED DOCUMENTS TO BE SUBMITTED ON PLAN SHEETS NO LARGER THAN 11"X17".

3. LOCATION MAP

4. **SITE PLAN**

Note: Drawn to a regular engineering scale (i.e. 1 inch = 10 feet, 1 inch = 20 feet, but no larger than 1 inch = 40 feet) and plotted on a sheet no larger than 24 by 36 inches in size.

- Parcel boundaries and dimensions.
- Title Block:
 1. Development's name
 2. Site address
 3. Scale
 4. North arrow
 5. Legend
 6. Site Acreage
 7. Name and address of the Developer and the designer of the plans.
 8. Date

- Building footprints.
- Dimensions - all proposed improvements.
- Street improvements (IF ANY)
- Adjacent rights of ways and street names.
- Pedestrian Facilities.
- Driveways - points of access.
- Parking lots, including circulation patterns.
- Walls, fences and retaining walls, including height and materials
- Dumpster enclosures, including height and screening materials.
- Drainage facilities.
- Minimum setback lines.
- Dimensions between building(s) and all perimeter uses.
- Open space and parks (if applicable).
- Phase lines if the development will be built in stages.
- Site Plan Summary to include:
 - Total site area
 - Indicate pervious/impervious land coverage
 - Required vs. proposed parking spaces

5. **BUILDING ELEVATIONS**

Building elevations must be drawn for all sides of the building to an architectural scale (1/4 inch = 1 foot is preferred).

- The height of the building is measured from grade to the top of the roof for a flat roof, or from grade to the mean height between the eave and the ridge for pitched roofs.
- Elevations for all sides of all structures as they will appear upon completion.
- Building materials and finishes for all exterior surfaces, including roofs.
- Color of all exterior surfaces, including roofs.

6. **PRELIMINARY CONCEPTUAL LANDSCAPE PLAN**

- Proposed landscape program (intent).
- Walls, fences, screening materials (characteristics)
- Buffer areas and specific landscape treatment.
- landscape treatment (as applicable) – e.g. dumpsters, transformer vaults, lift stations, etc.

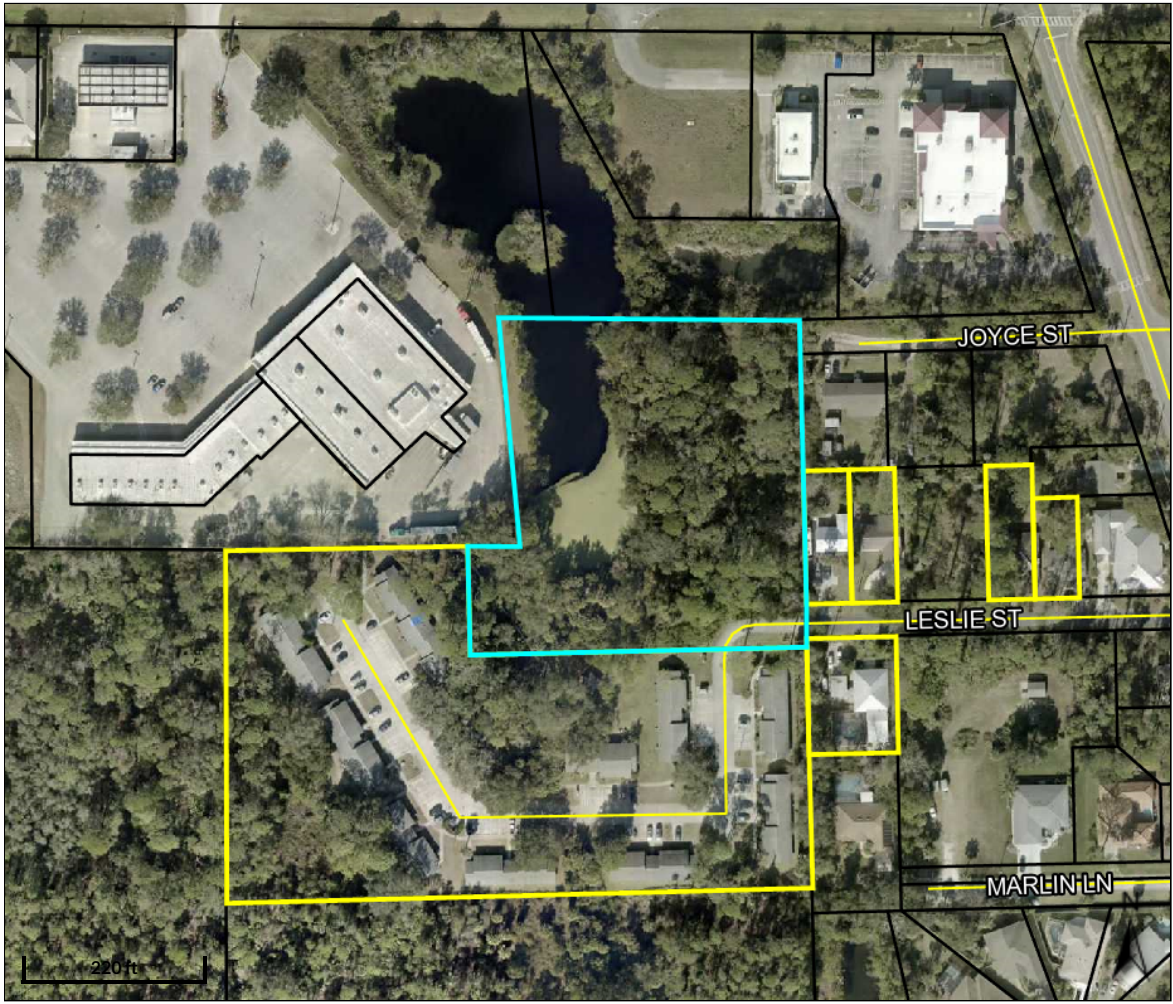
9. **PRELIMINARY SIGNAGE PLAN**

- The location of existing and proposed signage.

10. **OTHER DESIGN FEATURES (IF APPLICABLE)**

- Awnings (material, design and color).
- Address, directory signs.
- Walkway treatment or pavers.
- Other _____

FLAGLER COUNTY PROPERTY APPRAISER



Overview

Legend

- Parcels
- Roads
- Streams and Rivers

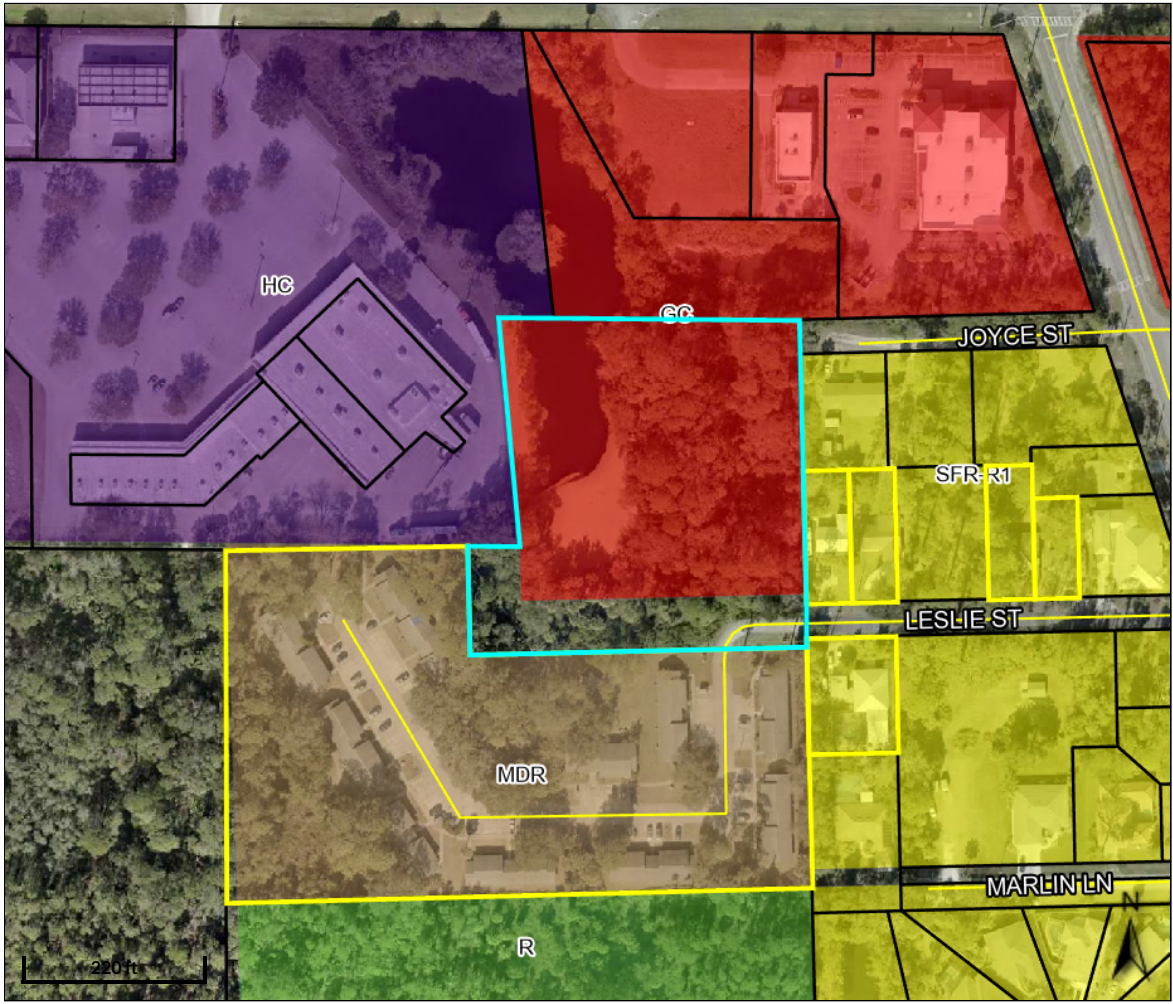
Parcel ID	11-12-31-0650-000D0-0050	Owner	ALT HOMES LLC 39 AUDUBON LANE FLAGLER BEACH, FL 32136	Land Value	\$393,970	Last 2 Sales							
Prop ID	78097	Physical Address	2401 LESLIE ST	Ag Land Value	\$0	Date	11/22/2021	Price	\$425000	Reason	I	Qual	Q
Class Code	VACANT COMMERCIAL			Building Value	\$0		12/27/2018	\$240000		V		U	
Taxing District	21			Misc Value	\$0								
GIS sqft	137,812.959			Just Value	\$393,970								
				Assessed Value	\$306,613								
				Exempt Value	\$0								
				Taxable Value	\$306,613								

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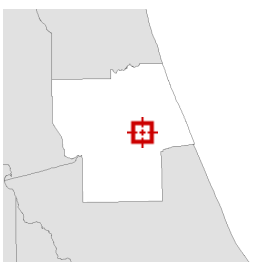


FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item a.



Overview



Legend

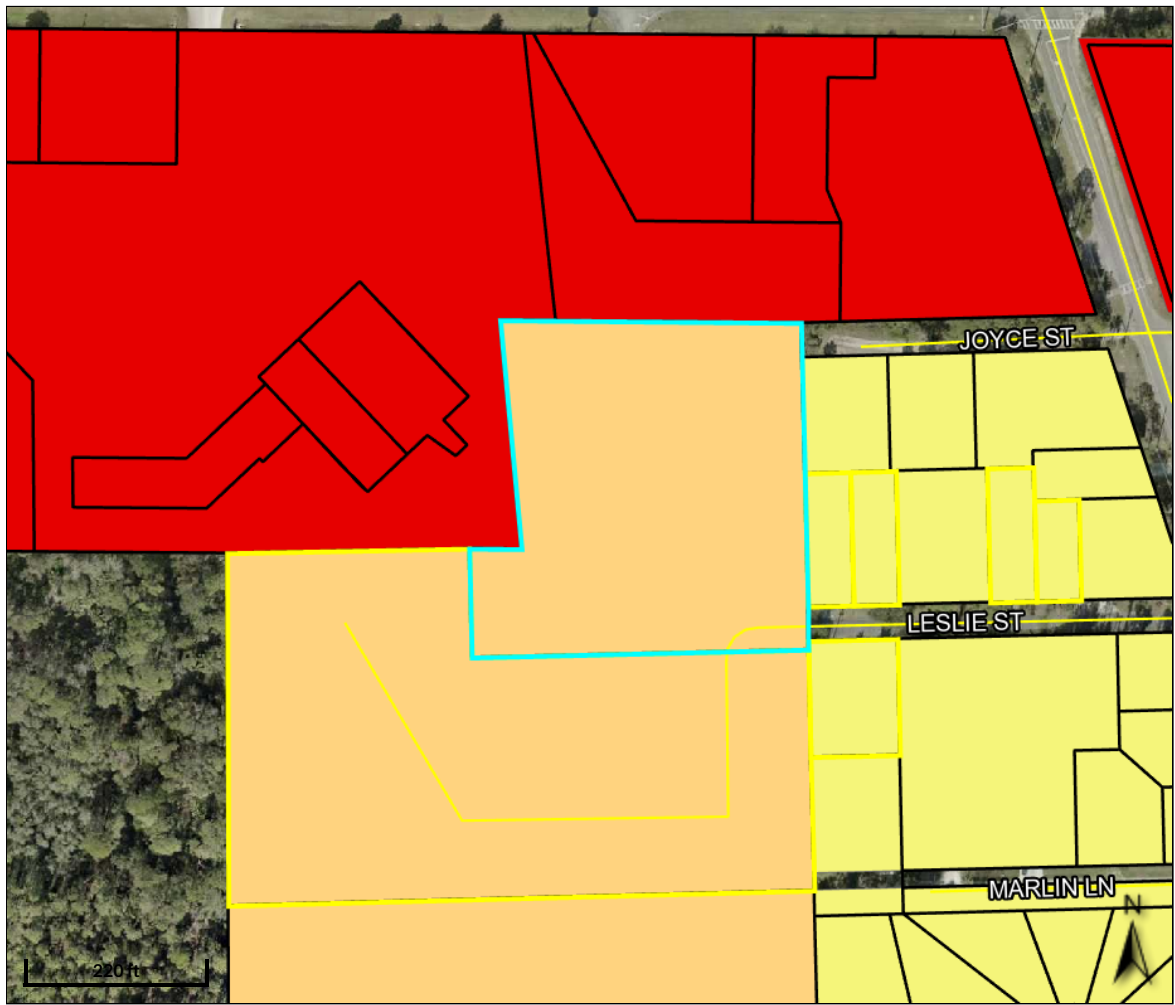
- Parcels
- Roads
- Streams and Rivers
- Flagler Beach Zoning**
- C- CONSERVATION
- CLOSED STREETS
- GC- GENERAL COMMERCIAL
- HIGHWAY COMMERCIAL
- LDR- LOW DENSITY
- LI- LIGHT INDUSTRIAL
- MDR- MEDIUM DENSITY RESIDENTIAL
- MIRROR LAKE WATERSHED DISTRICT (R1)
- P- PRESERVATION
- PUD- PLANNED UNIT DEVELOPMENT
- R- RESERVED
- REC- RECREATION
- REC/PUD- RECREATION/PUD
- SFR- SINGLE FAMILY RESIDENTIAL (R1)
- SFR- SINGLE FAMILY RESIDENTIAL (R4)
- TC- TOURIST COMMERCIAL

Parcel ID	11-12-31-0650-000D0-0050	Owner	ALT HOMES LLC 39 AUDUBON LANE FLAGLER BEACH, FL 32136	Land Value	\$393,970	Last 2 Sales			
Prop ID	78097			Ag Land Value	\$0	Date	Price	Reason	Qual
Class Code	VACANT COMMERCIAL			Building Value	\$0	11/22/2021	\$425000	I	Q
Taxing	21	Physical Address	2401 LESLIE ST	Misc Value	\$0	12/27/2018	\$240000	V	U
District				Just Value	\$393,970				
GIS sqft	137,812.959			Assessed Value	\$306,613				
				Exempt Value	\$0				
				Taxable Value	\$306,613				

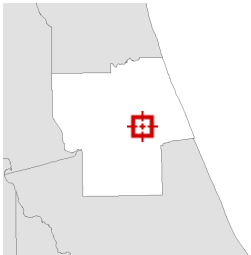
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FLAGLER COUNTY PROPERTY APPRAISER



Overview



Legend

- Parcels
- Roads
- Streams and Rivers
- Flagler Beach FLUM**
- Commercial
- Golf Course
- High Density
- Low Density
- Medium Density
- Mixed Use Overlay
- Mobile Home Park
- Other Public Facilities
- Park
- Public Buildings & Grounds
- Salt Water Marsh
- Spoil Area
- Undefined

Parcel ID	11-12-31-0650-000D0-0050	Owner	ALT HOMES LLC 39 AUDUBON LANE FLAGLER BEACH, FL 32136	Land Value	\$393,970	Last 2 Sales							
Prop ID	78097			Ag Land Value	\$0	Date	11/22/2021	Price	\$425000	Reason	I	Qual	Q
Class Code	VACANT COMMERCIAL			Building Value	\$0		12/27/2018	\$240000		V		U	
Taxing District	21	Physical Address	2401 LESLIE ST	Misc Value	\$0								
GIS sqft	137,812.959			Just Value	\$393,970								
				Assessed Value	\$306,613								
				Exempt Value	\$0								
				Taxable Value	\$306,613								

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NEWKIRK ENGINEERING, INC.

Section 6, Item a.

CIVIL ENGINEERING - TRANSPORTATION - CEI - LANDSCAPE ARCHITECTURE

1230 N US HWY 1, SUITE 3, ORMOND BEACH, FLORIDA 32174 386-872-7794

June 3, 2024

**Re: Legacy Pointe Cottages
Project Benefits Letter**

To Whom May Concern:

The Legacy Pointe Apartments project was approved by Flagler Beach with 39 units with a density of 12.35 units per acre. The proposed project, "Legacy Pointe Cottages", proposes 22 units with a density of 6.96 units per acre. The proposed project has the following benefits when compared to the current approved project.

Description	Approved Legacy Pointe Apartments	Proposed Legacy Pointe Cottages	Difference
Units	39	22	17
Density (units/acre)	12.35	6.96	5.39
Building Stories	3	1	2
Traffic Average Daily Trips	259	146	113
Traffic AM Peak Hour Trips	20	11	9
Traffic PM Peak Hour Trips	24	14	10
Potable Water Demand (gpd)	11700	6600	5100
Wastewater Demand (gpd)	9750	5500	4250
Solid Waste Demand (cy/month)	58.5	33	25.5
Asphalt Pave Joyce Street	No	Yes	
Private Yards	No	Yes	

If you have any questions or need additional information, please feel free to call or email me at Harry@Newkirk-Engineering.com.

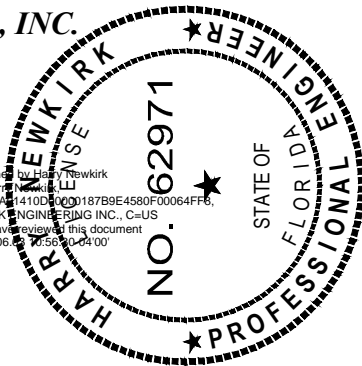
Sincerely,

NEWKIRK ENGINEERING, INC.

Harry Newkirk

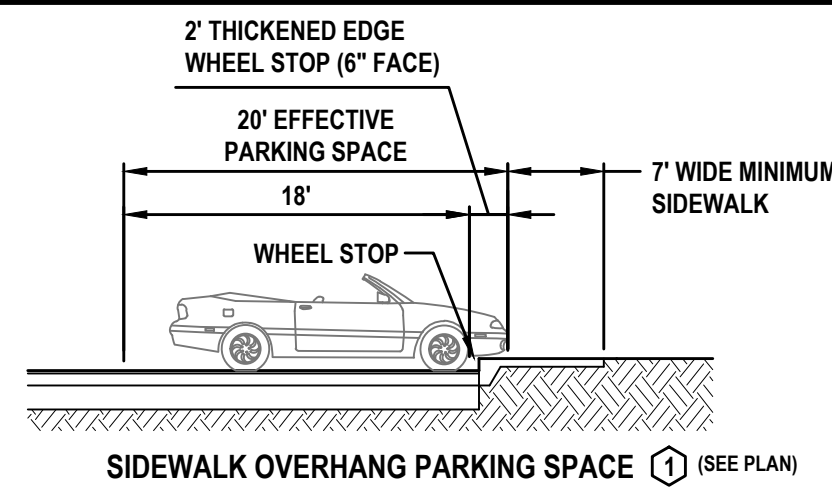
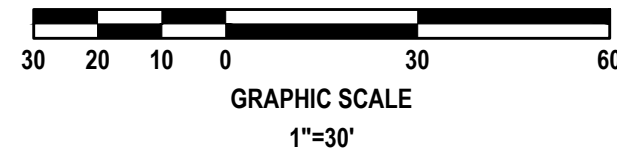
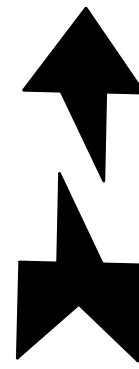


Digitally signed by Harry Newkirk
DN: cn=Harry Newkirk, o=NEWKIRK ENGINEERING INC., c=US
Reason: I have reviewed this document
Date: 2024.06.03 10:56:20 -0400



HARRY H. NEWKIRK,
P.E. FL. REG. NO. 62971

Harry Newkirk, PE # 62971
President/CEO of Newkirk Engineering, Inc.



PAVING LEGEND

- ASPHALT PAVEMENT**
 - 2" SP-12.5 (TL-C) WITH TACK COAT PER FDOT SPECIFICATIONS
 - 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
 - 12" STABILIZED SUBBASE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
 - * ALTERNATE 12" STABILIZED SUBBASE: 6.5" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS) (TYPE B STABILIZATION)
 - *ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT
- JOYCE STREET**
 - 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
 - 6" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS) (TYPE B STABILIZATION)
 - * ALTERNATE BASE 6" STABILIZED SUBBASE: LIMEROCK (LBR=40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS) (TYPE B STABILIZATION)
- CONCRETE PAVEMENT**
 - 6" CONCRETE (4,000 P.S.I. @ 28 DAYS)
 - 12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS) (TYPE B STABILIZATION)
- CONCRETE SIDEWALK**
 - 4" THICK CLASS I CONCRETE (3,000 P.S.I. @ 28 DAYS) PER FDOT INDEX 522-001 (SEE DETAIL, SHEET No. 21 & 25)
- ARTIFICIAL TURF**
 - ARTIFICIAL TURF (INSTALL PER MANUFACTURER SPECIFICATIONS)

LEGEND

- TYPE 'F1' CURB
- RIBBON CURB
- 24" DETECTABLE WARNING MAT
- TRANSITION FROM "F1" CURB ENVIRONMENTAL CURB
- SITE LIGHTING
- SEE SITE LIGHTING PLAN FOR COMPLETE SPECIFICATIONS (SITE LIGHTING SHALL NOT EMIT MORE THAN 0.5 FOOT-CANDELES AT THE PROPERTY LINE. ADD GLARE GUARDS IF REQUIRED.) (SEE SHEET, No. 30-31)
- FLOATING FOUNTAIN
- FOUNTAIN SPECIFICATIONS: MANUFACTURER - EAGLE FOUNTAINS MODEL - EFS-3000 (BIG FOUNTAIN) MOTOR - 230V, 1 PHASE

SIDEWALK RAMP KEYNOTES:

- (A) SIDEWALK CURB RAMP C (SEE DETAIL, SHEET No. 26)
- (B) SIDEWALK CURB RAMP G (SEE DETAIL, SHEET No. 26)

GENERAL NOTES:

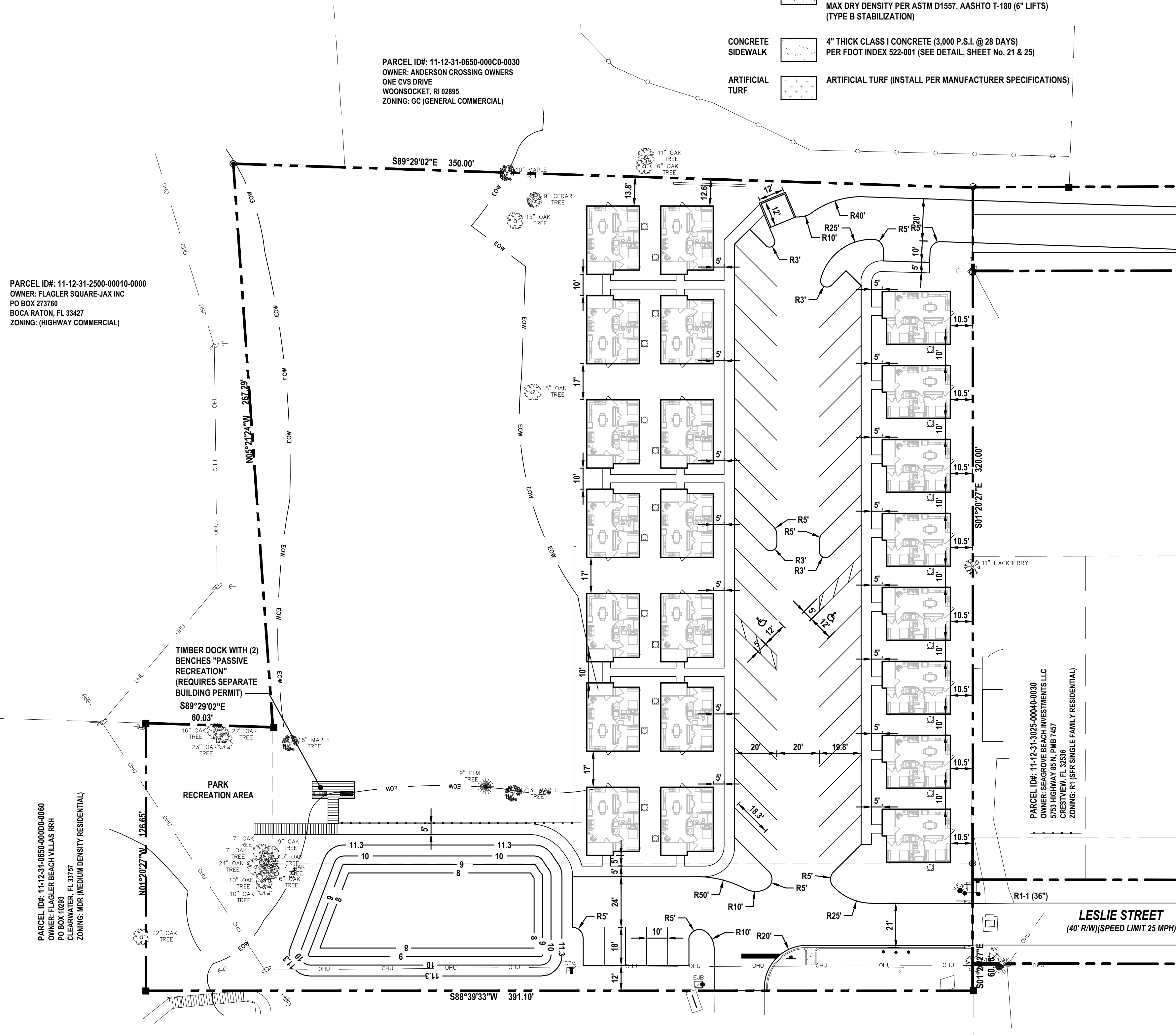
- CITY OF FLAGLER BEACH BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, ETC.) AT TIME OF BUILDING PERMIT.
- ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL.
- ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
- THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
- ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
- ALL PAVEMENT EDGE SHALL HAVE TYPE "F-1" CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.
- ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
- COMMERCIAL IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF INITIATION OF PERMANENT ELECTRIC SERVICE.
- CONTRACTOR TO PROVIDE PREMISE IDENTIFICATION FOR BUILDING DURING CONSTRUCTION.
- THE PROPOSED FIVE FOOT SIDEWALK THAT CONNECTS TO THE EXISTING SIDEWALK ALONG SR-100 SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL PROPOSED CURBING SHALL BE TYPE 'F1'.
- ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
- THE USES PROPOSED AS PART OF THIS SITE PLAN DO NOT REQUIRE A SUBMITTAL OF A RISK MANAGEMENT PLAN (RMP) PURSUANT TO U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS AND SHALL NOT EXCEED EPA'S RMP THRESHOLD QUANTITIES OF LISTED SUBSTANCES.
- THE SIGN PERMIT WILL BE UNDER SEPARATE APPLICATION TO BE REVIEWED BY THE CITY'S PLANNING AND ZONING DEPARTMENT.

PAVEMENT MARKING NOTES:

- PARKING STALL LINES AND LOADING ZONE PAVEMENT MARKINGS COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND MAINTAINED IN A CLEAR AND VISIBLE CONDITION.
- PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
- APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
- PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
- ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 706-101.
- LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
- FOR ADDITIONAL DETAILS SEE INDEX NO. 700-010, 700-101 AND 711-001.

STRIPING KEYNOTES: (PER FDOT INDEX NO. 711-001, ONLY THERMOPLASTIC IN RW)

- 1 6" SOLID WHITE LINE
- 2 24" WHITE STOP BAR
- 3 WHITE DIRECTIONAL ARROW
- 4 24" DETECTABLE WARNING MAT
- 5 6" WHITE LINE @ 45° SPACED 4' ON CENTER



PARCEL ID#: 11-12-31-2500-00010-0000
 OWNER: FLAGLER SQUARE-JAX INC
 PO BOX 273760
 BOCA RATON, FL 33427
 ZONING: (HIGHWAY COMMERCIAL)

PARCEL ID#: 11-12-31-0650-000C0-0030
 OWNER: ANDERSON CROSSING OWNERS
 ONE CVS DRIVE
 WOONSOCKET, RI 02895
 ZONING: GC (GENERAL COMMERCIAL)

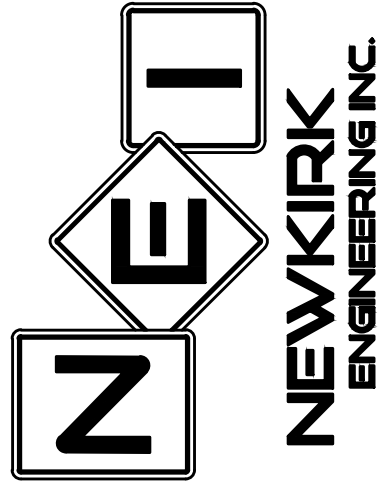
PARCEL ID#: 11-12-31-3025-000A0-0030
 OWNER: SEAGROVE BEACH INVESTMENTS LLC
 5753 HIGHWAY 85 N, PMB 7457
 ZONING: R1 (SFR SINGLE FAMILY RESIDENTIAL)

PARCEL ID#: 11-12-31-0650-000D0-0060
 OWNER: FLAGLER BEACH VILLAS RRH
 PO BOX 10293
 CLEARWATER, FL 33757
 ZONING: MDR (MEDIUM DENSITY RESIDENTIAL)

REVISIONS

DATE	DESCRIPTION
4/20/23	CITY COMMENTS
7/12/23	STOP SIGN & STABILIZED
8/7/23	OWNER
8/22/23	SJRWMD COMMENTS
12/7/23	SJRWMD COMMENTS

1230 North US1, Suite 3
 Ormond Beach, Florida 32174
 Phone (386) 872-7794
 www.NewKirk-Engineering.com
 C.A. # 30209
 L.C. # 26000584
 C 2013
 Civil Engineering,
 Transportation, CEI &
 Landscape Architecture



SITE LAYOUT PLAN
LEGACY POINTE APARTMENTS
 LESLIE STREET
 FLAGLER BEACH, FL 32136

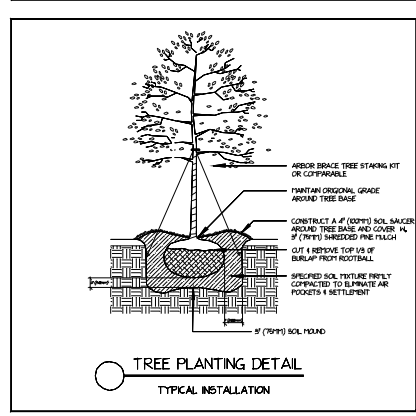
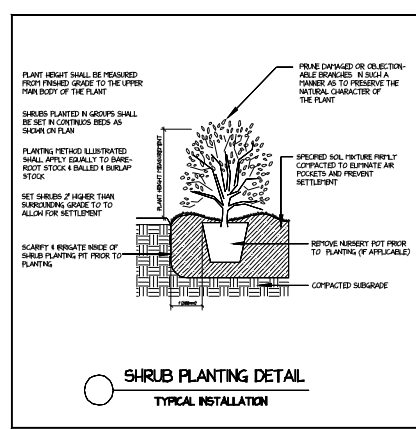
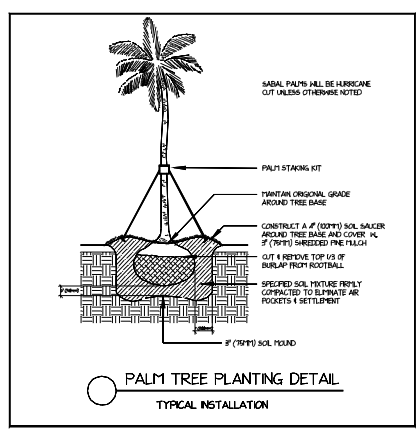
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PROJECT No: 2023-17
 DATE: FEBRUARY 2023
 DESIGN BY: HHN
 DRAWN BY: NWS
 CHECKED BY: HHN
 SCALE: 1" = 30'
 DRAWING NUMBER

Key	Qty	Botanical Name	Common Name	Size/Condition	Spacing
Trees					
Qv	36	<i>Quercus virginiana</i>	SOUTHERN LIVE OAK	30g	2' cal. 8-10' ht.
Td	19	<i>Taxodium distichum</i>	CYPRESS, BALD	30g	2' cal. 8-10' ht.
Palms					
Pr	7	<i>Phoenix roebelenii</i> -Single	PYGMY DATE PALM, SINGLE	b4b	5'-6'
Pr	7	<i>Phoenix roebelenii</i>	PYGMY DATE PALM, DOUBLE	b4b	5'-6' oa
Sp	40	<i>Sabal palmetto</i>	SABAL PALM	b4b	12' ct.
Shrubs					
Lj	338	<i>Ligustrum japonicum</i>	LIGUSTRUM, GREEN	3g	16' x 16'
Lj	73	<i>Ligustrum japonicum</i>	LIGUSTRUM, GREEN	7g	24' hl.
Lm	124	<i>Liriope muscari</i>	LIRIOPE, EVERGREEN GIANT	3g	18" x 18"
JkP	82	<i>Juniperus chinensis 'Parsonii'</i>	JUNIPER, PARSONII	3g	14-16" Spread
Pm	49	<i>Podocarpus macrophyllus</i>	PODOCARPUS	7g	24" hl.
Pm	54	<i>Podocarpus macrophyllus</i>	PODOCARPUS	3g	18" x 18"
Ri	87	<i>Rhaphiolepis indica</i>	INDIAN HAWTHORN	3g	12' x 14'
Perennials					
Eh	620	<i>Evolvulus hybrid</i>	BLUE DAZE 'BLUE MY MIND'	lg	Full Plant
LmE	98	<i>Liriope muscari 'Evergreen Giant'</i>	LIRIOPE, EVERGREEN GIANT	lg	Full Plant
Nar	154	<i>Neomarica caerulea 'regina'</i>	IRIS, REGINA	3g	18" x 18"
TVP	286	<i>Tulbaghia violacea 'Purple'</i>	SOCIETY GARLIC, PURPLE	lg	Full Plant

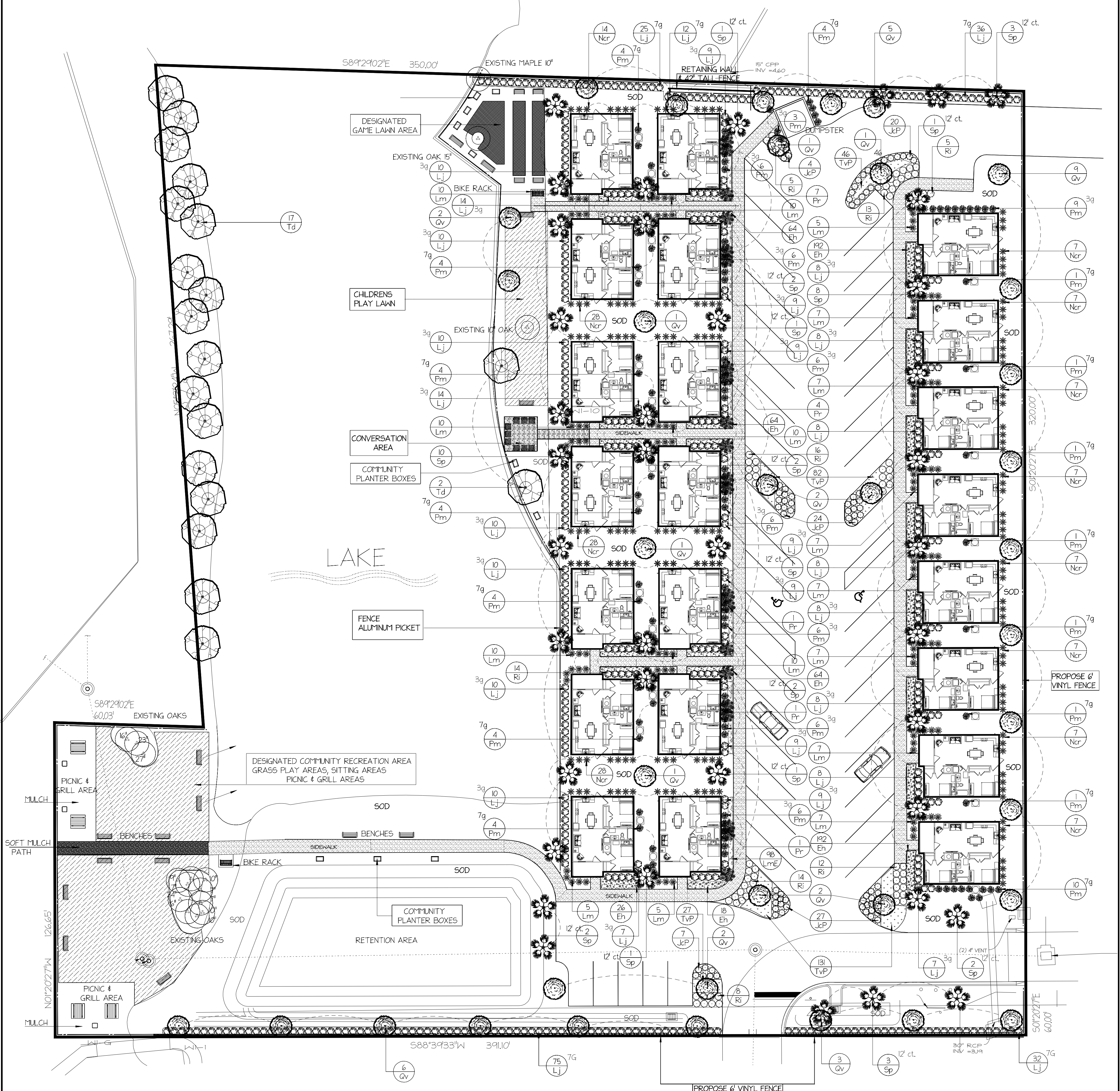


- ### Landscape Notes
- All proposed materials shall be Florida #1 or better in quality based on the grades and standards for nursery plants by the Florida Department of Agriculture. All updated amendments apply.
 - All trees and plant material shall be planted in a professional manner according to the highest nursery standards.
 - Plant list quantities are for convenience only. The landscape contractor is responsible for all materials shown on the landscape plan. The plan always takes precedence over the plant list.
 - All mulch and stone beds are to have a 3" layer.
 - The landscape contractor is responsible for the stability and plumb condition of all trees planted. All hardwood and palm trees are to be staked.
 - All work performed on site must be done in a professional manner. The landscape contractor is responsible to leave the site clean of all materials and debris within the scope of their work.
 - All plant material will be trimmed as needed for a finished professional appearance. All labels and tags will be removed.
 - All work performed must meet or exceed all local codes and requirements.

SOD: ST AUGUSTINE FLORATAM

MULCH: PINE BARK

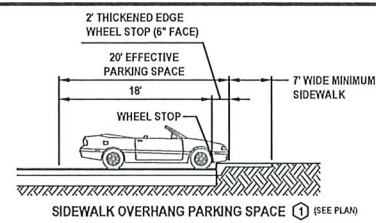
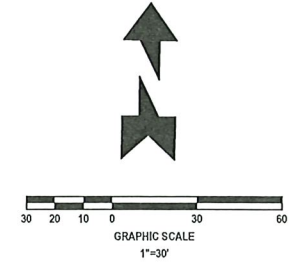
IRRIGATION: FULL COVERAGE TO ALL SODDED AND LANDSCAPED AREAS



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Job #	Date 5-1-24	<h2>Landscape Design</h2>
Revisions 6-19-24	<h3>Legacy Pointe</h3> <p>Leslie Street Flagler Beach, FL 32136</p>	
Designer B.P.		
		Main Office/Garden Center 3335 North State Street, Bunnell FL 32110 P. 386.437.3122 F. 386.437.6883

Submitted Revised



PAVING LEGEND

- ASPHALT PAVEMENT: 1.5" SP-12.5 (TL-C) WITH TACK COAT PER FDOT SPECIFICATIONS
6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
12" STABILIZED SUBBASE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
* ALTERNATE 12" STABILIZED SUBBASE: 6.5" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS) (TYPE B STABILIZATION)
* ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT
- CONCRETE PAVEMENT: 6" CONCRETE (4,000 P.S.I. @ 28 DAYS)
12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS) (TYPE B STABILIZATION)
- CONCRETE SIDEWALK: 4" THICK CLASS I CONCRETE (3,000 P.S.I. @ 28 DAYS) PER FDOT INDEX 522-001 (SEE DETAIL, SHEET No. 21 & 25)
- ARTIFICIAL TURF: ARTIFICIAL TURF (INSTALL PER MANUFACTURER SPECIFICATIONS)

LEGEND

- TYPE "F" CURB
- RIBBON CURB
- 24" DETECTABLE WARNING MAT
- TRANSITION FROM "F1" CURB ENVIRONMENTAL CURB
- SITE LIGHTING SEE SITE LIGHTING PLAN FOR COMPLETE SPECIFICATIONS (SITE LIGHTING SHALL NOT EMIT MORE THAN 0.5 FOOT-CANDELES AT THE PROPERTY LINE. ADD GLARE GUARDS IF REQUIRED.) (SEE SHEET, No. 30-31)
- FLOATING FOUNTAIN FOUNTAIN SPECIFICATIONS: MANUFACTURER - EAGLE FOUNTAINS MODEL - EFS-3000 (BIG FOUNTAIN) MOTOR - 230V, 1 PHASE

SIDEWALK RAMP KEYNOTES:

- (A) SIDEWALK CURB RAMP C (SEE DETAIL, SHEET No. 26)
- (B) SIDEWALK CURB RAMP G (SEE DETAIL, SHEET No. 26)

GENERAL NOTES:

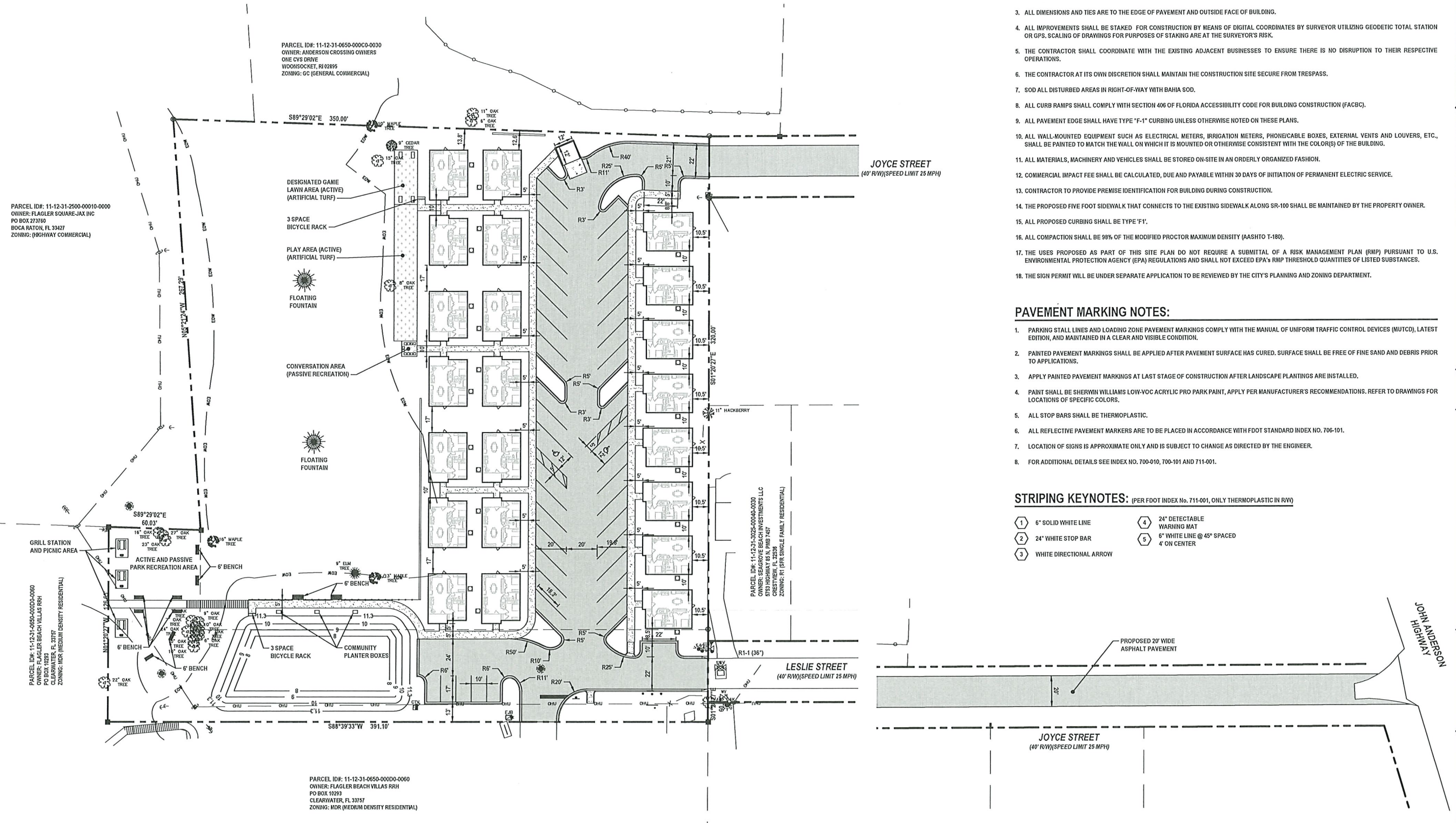
- CITY OF FLAGLER BEACH BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, ETC.) AT TIME OF BUILDING PERMIT.
- ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL.
- ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
- THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
- ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
- ALL PAVEMENT EDGE SHALL HAVE TYPE "F-1" CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.
- ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
- COMMERCIAL IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF INITIATION OF PERMANENT ELECTRIC SERVICE.
- CONTRACTOR TO PROVIDE PREMISE IDENTIFICATION FOR BUILDING DURING CONSTRUCTION.
- THE PROPOSED FIVE FOOT SIDEWALK THAT CONNECTS TO THE EXISTING SIDEWALK ALONG SR-100 SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL PROPOSED CURBING SHALL BE TYPE "F1".
- ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
- THE USES PROPOSED AS PART OF THIS SITE PLAN DO NOT REQUIRE A SUBMITTAL OF A RISK MANAGEMENT PLAN (RMP) PURSUANT TO U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS AND SHALL NOT EXCEED EPA'S RMP THRESHOLD QUANTITIES OF LISTED SUBSTANCES.
- THE SIGN PERMIT WILL BE UNDER SEPARATE APPLICATION TO BE REVIEWED BY THE CITY'S PLANNING AND ZONING DEPARTMENT.

PAVEMENT MARKING NOTES:

- PARKING STALL LINES AND LOADING ZONE PAVEMENT MARKINGS COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND MAINTAINED IN A CLEAR AND VISIBLE CONDITION.
- PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
- APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
- PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
- ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 706-101.
- LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
- FOR ADDITIONAL DETAILS SEE INDEX NO. 700-010, 700-101 AND 711-001.

STRIPING KEYNOTES: (PER FDOT INDEX No. 711-001, ONLY THERMOPLASTIC IN R/W)

- (1) 6" SOLID WHITE LINE
- (2) 24" WHITE STOP BAR
- (3) WHITE DIRECTIONAL ARROW
- (4) 24" DETECTABLE WARNING MAT
- (5) 6" WHITE LINE @ 45° SPACED 4" ON CENTER



Section 6, Item a.

REV	DATE	CITY COMMENTS
	4/20/23	

1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.NewKirk-Engineering.com
C.A. # 20209
L.C. # 2000594
C 2013
Civil Engineering,
Transportation, CEI &
Landscape Architecture

NEWKIRK ENGINEERING

SITE LAYOUT PLAN
LEGACY POINTE APARTMENTS
LESLIE STREET
FLAGLER BEACH, FL 32136

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PROJECT No:	2023-17
DATE:	FEBRUARY 2023
DESIGN BY:	HNN
DRAWN BY:	NWS
CHECKED BY:	HNN
SCALE:	1" = 30'
DRAWING NUMBER	7

GENERAL CONSTRUCTION NOTES

- GOVERNING SPECIFICATIONS: CITY OF FLAGLER BEACH LAND DEVELOPMENT CODE, CITY OF FLAGLER BEACH STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, CURRENT EDITION.
- ALL CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE FOOT DESIGN STANDARD INDEXES, THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL.
- ALL UTILITY MATERIAL, CONSTRUCTION AND TESTING COVERED BY THESE DRAWINGS SHALL COMPLY WITH THE CITY OF FLAGLER BEACH STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION. ALL UTILITY WORK AND CONNECTIONS SHALL BE COORDINATED WITH THE CITY OF FLAGLER BEACH INSPECTOR.
- THE CONTRACTOR SHALL PAY FOR AND OBTAIN A BUILDING PERMIT. THE ENGINEER WILL SCHEDULE THE PRECONSTRUCTION CONFERENCE BEFORE THE CONTRACTOR'S START OF WORK. THE CONTRACTOR SHALL CONTACT THE BUILDING DEPARTMENT AT (386) 517-2016 FOR INFORMATION ON ISSUANCE OF CITY PERMITS AND / OR OTHER REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWING AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER OR ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ENGINEER IS OBLIGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.
- THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPARE THE REQUIREMENTS OF EACH DIVISION AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS, UNLESS OTHERWISE SPECIFICALLY STATED IN THE DRAWINGS.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INSTRUCTING THE CONTRACTOR IN THE METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE METHOD TO CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THE PLANS.
- ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA, MAXIMUM HEIGHT OF 8 FEET AND NO CLOSER THAN 10 FT FROM PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR A TEMPORARY SIGN PERMIT AT THE CITY OF FLAGLER BEACH BUILDING DEPARTMENT. THE SIGN MUST BE REMOVED UPON RECEIPT OF THE CERTIFICATE OF OCCUPANCY.
- LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION.
- AT NO TIME SHALL EXCAVATIONS BE LEFT UNCOVERED AFTER WORKING HOURS. CONTRACTOR SHALL SECURE THE WORK AREA AT THE END OF EACH DAY'S WORK.
- AT ALL TIMES, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES, STRUCTURES AND OTHER ASSOCIATED FACILITIES FROM DAMAGE DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEASURES OF PROTECTION. ANY DAMAGED FACILITIES SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY OR ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THERE SHALL BE NO DEVIATIONS FROM THESE PLANS UNLESS APPROVED IN WRITING BY THE ENGINEER AND THE OWNER.
- THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITIES AT UTILITY CROSSINGS, MANHOLES, INLETS, STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,500 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.
- CORE TESTS SHALL BE TAKEN TO VERIFY THICKNESS AND SUBSURFACE COMPACTION. PROVIDE FOR THREE SAMPLES, RANDOMLY LOCATED, TEST FOR EXTRACTION, GRADATION, LABORATORY DENSITY, AND MARSHALL'S STABILITY. PROVIDE A CERTIFICATE FROM THE TESTING AGENCY THAT MATERIALS AND INSTALLATION COMPLY WITH SPECIFICATIONS, SIGNED BY THE ASPHALTIC CONCRETE PRODUCER AND CONTRACTOR. ALL COSTS OF TESTS SHALL BE PAID BY THE CONTRACTOR. IF TESTS SHOW THE INSTALLATION DOES NOT MEET SPECIFICATIONS, THE PAVING SHALL BE REMOVED, REPLACED, AND RETESTED.
- IF ANY MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
- NO BURYING OF ANY ORGANIC MATERIALS ALLOWED.
- THERE WILL BE NO PROPOSED OVERHEAD UTILITY AND SERVICE LINES ASSOCIATED WITH THIS PROJECT. ALL UTILITY LINES AND SERVICES WILL BE INSTALLED UNDERGROUND AT THE OWNER'S, DEVELOPER'S OR BUILDER'S EXPENSE.

SITE AND GENERAL INFORMATION

- THE PROPERTY AREA BOUNDARY CONSISTS OF 137,625 SF OR 3.159 ACRES. FOR BOUNDARY AND TOPOGRAPHIC SURVEY REFER TO THE SURVEY PERFORMED BY SLIGER & ASSOCIATES, INC. (SEE SHEET No. 2 OF THESE PLANS).
- THE EXISTING AND PROPOSED ZONING IS GC (GENERAL COMMERCIAL).
- THE TAX PARCEL NUMBER IS 11-12-31-0650-000D-0050.
- FLORIDA BUILDING CODE-ACCESSIBILITY (FBCA) AS THE CONTROLLING REGULATION FOR ACCESSIBLE PARKING REQUIREMENTS.
- THE EXISTING SITE CONDITION IS UNDEVELOPED AND PARTIALLY CLEARED AND GRADED. THE FLUCFCS LAND USE IS (191) UNDEVELOPED LAND WITHIN URBAN AREAS.
- PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE FOR FLAGLER COUNTY, THE SCS SOILS MAP INDICATES THE SITE CONSISTS OF (11) MYAKKA-MYAKKA, WET, FINE SANDS, 0 TO 2 PERCENT SLOPES.
- THE SITE IS LOCATED WITHIN ZONE "X" PER FEMA MAP PANEL No. 12035C0232 E, DATED JUNE 6, 2018.
- ELECTRICAL UTILITY SERVICE WILL BE PROVIDED BY FLORIDA POWER & LIGHT. NATURAL GAS WILL BE PROVIDED BY TECO PEOPLES GAS COMPANY. TELEPHONE, CABLE AND INTERNET SERVICE WILL BE PROVIDED BY AT&T. CABLE TV AND INTERNET CAN ALSO BE PROVIDED BY SPECTRUM.
- SOLID WASTE WILL BE COLLECTED AND DISPOSED OF BY WASTE PRO, INC.
- THE SITE IS NOT LOCATED WITHIN THE LIMITS OF A WELLHEAD PROTECTION ZONE AND THERE IS NO ORDINARY HIGH WATER (OHW) LINE WITHIN THE SITE.
- STORMWATER WILL BE PROVIDED BY INTERCONNECTED DRY RETENTION TO EXFILTRATION TRENCH SYSTEM.
- POTABLE WATER AND WASTEWATER UTILITIES PROVIDED BY CITY OF FLAGLER BEACH.
- IRRIGATION SERVICE WILL BE PROVIDED BY A PRIVATE WELL.

LEGEND

NOTE: NOT ALL SYMBOLS SHOWN HERE MAY BE APPLICABLE TO THESE DRAWINGS, ALSO THERE MAY BE ADDITIONAL SYMBOLS WITHIN PLANS NOT SHOWN HERE, SEE INDIVIDUAL DRAWING LEGEND WHERE APPLICABLE.

BEICMARK ID	4" BY 4" CONCRETE MONUMENT
BORING ID	EXISTING EASEMENT
EXISTING CABLE TV PEDESTAL	EXISTING UNDERGROUND FIBER OPTIC CABLE
EXISTING CAP OR PLUG	EXISTING FORCE MAIN (# INDICATES SIZE)
EXISTING CLEAN OUT	EXISTING GAS MAIN
EXISTING CONDUIT RISER/ MARKER	EXISTING OVERHEAD ELECTRIC CABLES
EXISTING ELECTRIC METER	EXISTING OVERHEAD TRAFFIC SIGNAL CABLE
EXISTING ELEVATION (SOFT)	EXISTING RAW WATER MAIN (# INDICATES SIZE)
PROPOSED ELEVATION (SOFT)	EXISTING RECLAIM WATER MAIN (# INDICATES SIZE)
EXISTING ELEVATION (HARD)	PROPOSED SANITARY SEWER (# INDICATES SIZE)
PROPOSED ELEVATION (HARD)	PROPOSED WATER MAIN (# INDICATES SIZE)
EXISTING FIRE HYDRANT	EXISTING CONTOUR
PROPOSED FIRE HYDRANT	PROPOSED CONTOUR (SOFT)
EXISTING FLOW DIRECTION	PROPOSED CONTOUR (HARD)
PROPOSED FLOW DIRECTION	EXISTING UNDERGROUND TELEPHONE CABLE
EXISTING GAS METER	EXISTING UNDERGROUND TELEVISION CABLE
EXISTING GAS VALVE	EXISTING UNDERGROUND ELECTRICAL POWER CABLE
EXISTING GUY WIRE & ANCHOR PIN	JURISDICTIONAL WETLAND LINE
EXISTING MAIL BOX	EXISTING SANITARY SEWER (# INDICATES SIZE)
EXISTING MANHOLE (UNKNOWN#)	EXISTING WATER MAIN (# INDICATES SIZE)
PROPOSED MANHOLE	EXISTING PIPE OR CONDUIT (TYPE SPECIFIED)
EXISTING SANITARY SEWER CLEANOUT	EXISTING SWALE OR CENTER OF DITCH
EXISTING SANITARY SEWER MANHOLE	PROPOSED SWALE OR CENTER OF DITCH
EXISTING ROAD SIGNS AND POSTS	EXISTING TOP OF DITCH BANK
PROPOSED SIGN AND POST	EXISTING BOTTOM OF DITCH BANK
EXISTING TEE	EXISTING WOOD FENCE
EXISTING UTILITY POLE	EXISTING WIRE OR CHAIN LINK FENCE
EXISTING VALVE IRRIGATION	PROPOSED WIRE OR CHAIN LINK FENCE
EXISTING VALVE WATER	PROPOSED SILTSEDIMENT FENCE
PROPOSED WATER VALVE	PROPOSED COIR ROLL OR WATTLE
EXISTING WATER METER	PROPOSED FLOATING TURBIDITY BARRIER
EXISTING STORM SEWER WITH INLET	PROPOSED TREE PROTECTION
PROPOSED STORM SEWER WITH INLET	
1/2" IRON ROD (NO I.D.)	

SITE DEVELOPMENT USAGE

1. SETBACK:	BUILDING SETBACK REQUIRED	7. REQUIRED RECREATIONAL AREA
FRONT (EAST)	25 FEET	200 SF PER UNIT = 200 SF x 22 UNITS = 4,400 SF
REAR (WEST)	25 FEET	PROVIDED ACTIVE AREA = PLAY AREA AND GRILL AREA = 9,164 SF
SIDE (NORTH)	15 FEET	PROVIDED PASSIVE AREA = BENCHES, FLOATING FOUNTAIN AND CONVERSATION AREA = 571 SF
SIDE (SOUTH)	15 FEET	TOTAL RECREATION AREA = 9,735 SF
MAXIMUM BUILDING HEIGHT	35 FEET	
ZONING	GC (GENERAL COMMERCIAL)	8. COMMON OPEN SPACE
FUM	MEDIUM DENSITY RESIDENTIAL	REQUIRED COMMON OPEN SPACE
BUILDING HEIGHT	BUILDING 1 = 34'-11 1/2"	250 SF PER UNIT = 250 SF x 22 UNITS = 5,500 SF
	BUILDING 2 = 35'-0"	PROVIDED COMMON OPEN SPACE = 15,313 SF (ACTIVE AND PASSIVE RECREATION AND SIDEWALKS)
DENSITY	12.35 UNITS/ACRE	
MULTI-FAMILY UNITS		
2 BEDROOM	22	
TOTAL UNITS	22 UNITS	

2. PROPOSED SITE COVERAGE			
SITE COVERAGE - PROPOSED			
AREA TYPE	SF	ACRE	% OF SITE
BUILDING	17,248	0.396	12.5%
ASPHALT PAVEMENT/ VUA	24,905	0.572	18.1%
CONCRETE / SIDEWALKS	5,578	0.128	4.1%
GREEN SPACE	89,894	2.064	65.3%
TOTAL SITE	137,625	3.159	100.0%
TOTAL IMPERVIOUS	47,731	1.096	34.7%
TOTAL OPEN SPACE	89,894	2.064	65.3%

3. PARKING REQUIREMENTS	
MULTI-FAMILY: 2 SPACES PER DWELLING UNIT	
2 SPACES x 22 UNITS = 44	
TOTAL REQUIRED:	44 SPACES
4. PARKING PROVIDED	
HANDICAP	2 4.5
STANDARD	42 95.5
TOTAL PARKING PROVIDED	44 100.0
5. BICYCLE PARKING REQUIRED	
10% OF REQUIRED VEHICULAR PARKING	
0.1 x 44 SPACES = 4.4	
5 BICYCLE SPACES REQUIRED	
6. BICYCLE PARKING PROVIDED	
6 BICYCLE SPACES PROVIDED	

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS - 2024 / 2025 AND QUALIFIED PRODUCTS LIST

INDEX NO.	DESCRIPTION	INDEX NO.	DESCRIPTION
102	TEMPORARY EROSION AND SEDIMENT CONTROL	514	OPTIONAL BASE GROUP AND STRUCTURAL NUMBERS
425-010	STRUCTURE BOTTOMS - TYPES J AND P	330-001	TURNOUTS
205	PIPE BACKFILL	546	SIGHT DISTANCE AT INTERSECTIONS
425-024	CURB INLET TOP - TYPE 9	102-600	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES
425-052	DITCH BOTTOM INLETS - TYPES C, D, E AND H	102-602	TWO-LANE AND MULTILANE, WORK ON SHOULDER
430-022	SIDE DRAIN MITERED END SECTION	102-603	TWO-LANE, TWO-WAY, WORK WITHIN THE TRAVEL WAY
520-001	CURB & CURB AND GUTTER	700-101	TYPICAL SECTIONS FOR PLACEMENT OF SINGLE & MULTIPLE-COLUMN SIGNS
522-002	PUBLIC SIDEWALK CURB RAMPS	711-001	SPECIAL MARKING AREAS
350-001	CONCRETE PAVEMENT JOINTS		
522-001	CONCRETE SIDEWALK		
120-001	EMBANKMENT UTILIZATION		

ABBREVIATIONS

AWWA WORKS	AMERICAN WATER ASSOCIATION	HDPE	HIGH DENSITY POLYETHYLENE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL	INV	INVERT	REQ'D	REQUIRED
PIPE		K ₁	HORIZONTAL PERMEABILITY	RPM	REFLECTIVE PAVEMENT MARKER
CPP	CORRUGATED PLASTIC PIPE	K _v	VERTICAL PERMEABILITY	R/W	RIGHT-OF-WAY
CTV	CABLE TELEVISION	KO	KNOCK OUT	SAH	SANITARY
DIP	DUCTILE IRON PIPE	LF	LINEAL FEET	SH	SEASONAL HIGH
ESMT	EASEMENT	NB	MAP BOOK	SMH	SANITARY MANHOLE
EXIST	EXISTING	NES	MITERED END SECTION	SJRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
FAC	FLORIDA ADMINISTRATIVE CODE	NJ	MECHANICAL JOINT	SS	SANITARY SEWER
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	MPD	MULTI-PRODUCT DISPENSER (FUEL PUMP)	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	N/A	NOT APPLICABLE	TSB	TEMPORARY SEDIMENT BASIN
FH	FIRE HYDRANT	NGVD	NATIONAL GEODETIC	TYP	TYPICAL
FOC	FIBER OPTIC CABLE	NIC	NOT IN CONTRACT	UGE	UNDERGROUND ELECTRIC
FF EL	FINISH FLOOR ELEVATION	OR	OFFICIAL RECORD	UGT	UNDERGROUND TELEPHONE
FM	FORCE MAIN	PG	PAGE	USACOE	UNITED STATES ARMY CORP OF ENGINEERS
FPD	FEET PER DAY	PSI	POUNDS PER SQUARE INCH	W	WATER (POTABLE)
G	GAS	PVC	POLYVINYL CHLORIDE		
GPC	GULF POWER COMPANY	PVMT	PAVEMENT		
GW	GROUND WATER	PROP	PROPOSED		
H/C	HANDICAP	R	RADIUS		

SITE GEOTECHNICAL CONSIDERATIONS

SEE GEOTECHNICAL REPORT UNIVERSAL ENGINEERING SCIENCES, (REPORT No. 134233, DATED JANUARY 14, 2019) FOR ALL SUBSURFACE CONDITIONS, GROUNDWATER, SITE PREPARATION FOR PAVEMENT AND ALL EARTHWORK REQUIREMENTS.

REV Section 6, Item a.

DATE	REVISION
4/20/23	CITY COMMENTS
8/22/23	SJRWMD COMMENTS

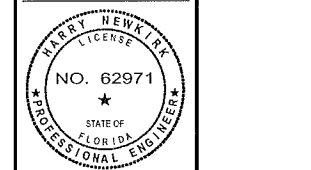
1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.newkirk-engineering.com
C. A. # 29209
L.C. # 2600584
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Civil Engineering,
Transportation, CEI &
Landscape Architecture



DEVELOPMENT INFORMATION
LEGACY POINTE APARTMENTS
LESLIE STREET
FLAGLER BEACH, FL 32136

THIS DRAWING IS THE PROPERTY OF LEGACY ENGINEERING ANY USE OR REPRODUCTION WITHOUT WRITTEN PERMISSION FROM THE ENGINEER IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF LEGACY ENGINEERING CORPORATION 2013 ALL RIGHTS RESERVED

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HARRY NEWKIRK, PE # 62971-01



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No:	2023-17
DATE:	FEBRUARY 2023
DESIGN BY:	HHN
DRAWN BY:	NWS
CHECKED BY:	HHN
SCALE:	
DRAWING NUMBER	

3



City of Flagler Beach

Planning and Building Department

Date: June 24, 2024,

To: Chairman and Board Members of Planning and Architectural Review Board

From: Lupita McClenning, City Planner, City of Flagler Beach

Subject: Final Site Plan: Application # PSPR24-0002
Flagler Fish Company
180 S. Daytona Avenue
Renovation and Expansion of existing non-residential facility)

Background:

This item was presented to the Planning and Architectural Review Board (PARB) at the meeting of November 14, 2017. The PARB voted to deny the application due to the inability to meet the number of required parking spaces for the proposed additional seating.

At the regular meeting of February 22, 2108, the City Commission approved Ordinance 2018-03 (Attachment #2) to address on-street improved parking spaces by off-setting the required parking space differential for new construction, existing businesses, and/or new businesses in a restricted geographic area of the downtown core.

A Parking Pool has been established wherein a business owner may apply to participate in the Parking Pool via an application process. The business owner has committed to participate in the Parking Pool.

Summary In Brief:

The applicant proposes to renovate an existing restaurant facility consisting of 3,651 sq. ft. and construct an addition for a total of 5,720 sq. ft. of floor area to accommodate additional dining space and floor space for service-related facilities. The property is situated within the Community Redevelopment District and Downtown Mixed-Use Overlay District.

This application requires *Major Ste Plan* review in accordance with Land Development Regulations (LDR's) Sec. 8.05.02. - *Site plan classification and approval responsibility* and more particularly subsection (2) d. *Additions to any existing multi-family residential project or existing non-residential structure, which do not meet the criteria for a minor site plan approval.* As such, the Planning and Architectural Review Board (PARB) shall be the entity responsible for reviewing and making a recommendation to the City Commission.

Technical Summary

Address: 180 S Daytona St., Flagler Beach, FL
Parcel ID: 12-12-31-4500-00490-0020
Area: 9,754sq. ft.

Zoning, Future Land Use and Current Use

Zoning District	Future Land Use Map	Current Land Use
General Commercial	Commercial	Restaurant

Land Development Regulations Compliance

The proposed redevelopment is within the Community Redevelopment District and Mixed-Use Overlay District, and more specifically, the Downtown Mixed Use sub-district. As such, site design and building design development standards must incorporate facets of each of the respective district requirements. The Downtown Mixed Use sub-district is outlined in the Land Development Regulations Section 2.04.02.7.1. Downtown Design Guidelines Regulations; Chapter 3.

The purpose of the Land Development Regulations Downtown Design Guidelines is to provide a basis for evaluating development and redevelopment proposals and act as a guide for making decisions about improvements within the boundaries of the Downtown Area. Inasmuch the application pertains to an existing commercial building, such elements as building location frontage guidelines and location of on-site parking guidelines are not applicable. Compliance, as it relates to the application in question, follows below.

The property is within the Community Redevelopment District boundary. The Community Redevelopment District standards are identified in the LDR’s Article V, as follows:

1. ARTICLE V. - DEVELOPMENT DESIGN AND IMPROVEMENT STANDARDS

Sec. 5.07.00. - Redevelopment area minimum standards.

- a. Sec. 5.07.03. - Design guidelines.
- b. Sec. 5.07.04. - Building fronts and sides abutting streets or public areas.
- c. Sec. 5.07.05. - Rear and side walls.
- d. Sec. 5.07.08. - Awnings.
- e. Sec. 5.07.09. - Roofs.

2. DOWNTOWN DESIGN GUIDELINES; Chapter 3: COMPLIANCE

a. Parking

Within the Downtown Mixed-Use sub-district, a combination of off-street parking and on-street parking can satisfy meeting the overall required number of parking spaces by application of the following development standards:

- 1. Section 2.06.02.1 Schedule of Off-Street Parking Requirements

- 2. Downtown Mixed Use Overlay Guidelines
- 3. Land Development Regulations Sec. 2.06.10. - Central business district exclusion
- 4. Downtown Master Plan: Parking (on-street parking area development standards)

b. Location

- 1. On-street parking shall be provided along the perimeter of the development parcel, on the public right-of-way. Finding: N/A
- 2. Street or sidewalk areas may not be used for off-street parking purposes. Individual ingress and egress drives extending across the public sidewalks and curbs and connecting the off-street parking spaces to the public street areas shall not exceed a maximum of twelve (12) feet for a one-way drive and eighteen (18) feet for a two-way drive. Finding: N/A
- 3. Required off-street parking should be located on the same parcel as the uses served. Finding: N/A
- 4. Off-street parking shall be limited to the sides or rear of the building(s) and screened from street view with appropriate perimeter landscape material per Section 5.04.02, Criteria for parking lots and vehicular use, Land Development Regulations. No off-street parking shall be located between a building and the adjacent street frontage. Finding: N/A

c. Parking Design

Maximum parking stall dimensions for off-street parking and on-street parking should include the following principles:

- 1. Ninety (90) degree parking should have a minimum width of eight and six- tenths (8.6) feet by eighteen (18) feet. Finding: Compliant
- 2. Parking should not be located such that it interrupts the storefront continuity along the sidewalk. Finding: Compliant
- 3. On-site parking should be located behind buildings or to the side of the building, when possible. Finding: N/A
- 4. Encourage shared parking between adjacent uses, accessed from the rear of the property on corner lots. Finding: N/A
- 5. Driveways serving on-site parking should be avoided on A1A. When unavoidable, such driveways should have minimal width and should be clearly defined and visible to pedestrians from the sidewalk. Finding: N/A

3. PARKING REQUIREMENTS

The number of off-street parking spaces for all uses in the Downtown Mixed Use sub-district shall conform to Section 2.06.02.1 Schedule of Off-Street Parking Requirements and the on-site parking flexibility afforded in the Downtown Mixed-Use District, as follows:

- a. Section 2.06.02.1 Schedule of Off-Street Parking Requirements

Commercial uses — Restaurants: One per one hundred fifty sq. ft. total floor area or one per three fixed seats or as established by the standards of the Florida Building Code whichever is greater.

Parking Summary			
Section 2.06.02.1 Schedule of Off-Street Parking			
Use	Parking Standard	Parking Required	Parking Provided
Restaurant	+/- 5720 SQ FT/150 SQ FT	38	10 on-site

- b. Downtown Mixed-Use District
Commercial uses/multi-family residential uses:

Permitted on-street parking shall not exceed 40% of the total required parking.

Parking Summary							
Downtown Mixed-Use District							
Use	Parking Standard	Existing On-Site Parking	Required Total Parking	On-site Required .60	On-site Provided	On-Street Permitted (40%) of total	On-Street Reliant
Commercial	38*.40=15	10	38	38*.60=23	10	15	28

$(23-10)+15=28$

- c. Central Business District Parking Exclusion - Land Development Regulations - Central business district exemption area states in part, the following as it relates to the property under consideration:

4. Sec. 2.06.10.2 NEW CONSTRUCTION PARKING EXPEMPTION

The following described area within the Central Business District Parking Exemption Area shall be known as the New Construction Parking Exemption Zone:

South Zone

A line commencing from the westerly right-of-way line South Flagler Avenue at SR 100 going south to the centerline of South 5th Street then east on the centerline of South 5th Street past Central Avenue, to the point of the General Commercial Zoning, then south to S. 10TH St., then east to A1A, then north to SR100, then west ending at the westerly line of South Flagler Ave.

5. Sec. 2.06.10.3 DOWNTOWN CORE ON-STREET PARKING POOL

- a. The City shall establish a Downtown Core On-Street Parking Pool and establish and maintain a calculation of available on-street public parking spaces within the designated New

Construction Parking Exemption Zone per the exemptions provided in Section 2.06.10.2 to ensure and track the availability of on-street parking facilities.

- b. As of the effective date of Ordinance 2018-03, the City estimated that two hundred thirty-three (233) on-street public parking spaces within the New Construction Parking Exemption Zone were available for application toward the exemptions provided in Section 2.06.10.2.

As of June 24, 2024 the Parking Pool space availability restricted to the zone in which proposed new construction is located is as follows:

- a. North Zone – 52 spaces
 - b. South Zone – 83 spaces
- c. Upon any property qualifying for either exemption provided in Section 2.06.10.2 the number of on-site parking spaces which would otherwise be required by these Land Development Regulations but for such exemption shall be removed from the Central business district exemption area On-Street Parking Pool.
- d. In the event that the use or development upon any property which has claimed an exemption pursuant to Section 2.06.10.2 is changed in a manner to decrease the number of parking spaces required from the Central Business District On-Street Parking Pool, that number of off-site parking spaces shall be returned to the Pool.
- e. In the event that the number of parking spaces remaining in the Central Business District On-Street Parking Pool are inadequate to satisfy the number of on-street spaces needed for a proposed alteration of a property, said property shall not be eligible for the exemptions provided by Section 2.06.10.2.

6. ARCHITECTURAL

- a. Building Structure Compliance
Massing
Finding: N/A

- b. Sec. 2.05.06. - Height regulations.
Building heights are identified by the number of stories above grade and is measured as the vertical distance from the finished grade at the center of the front of the building to:

Roof height shall not exceed thirty-five (35) feet above the finished grade. Single story structure. Finding: Compliant

- c. Facade Guidelines
Vertical Setbacks

- 1. Front: Between the second and third floor of the building, there should be a minimum setback of six (6) feet when possible. Finding: N/A

- 2. Side facing a street: Between the second and third floor of the building, there should be a minimum setback of six (6) feet when possible. Finding: N/A

d. Bands of Composition

Buildings should be designed to establish the following three (3) bands of vertical composition:

- Base (one (1) story)
- Mid-section (second and third stories)
- Top (roof).

Finding: Compliant

e. Facade Composition

- On the ground floor of the primary facade, there shall be a minimum of one (1) break for every fifty (50) feet of front elevation.

Finding: N/A

- The first floor or the primary facades of a building shall, at a minimum, utilize windows between the heights of three (3) feet and eight (8) feet above the walkway grade.

Finding: N/A

f. Ground Floor Composition

The ground floor facade should contain a minimum of three (3) of the following facade design elements (one of which must be awnings/canopy):

Finding: Compliant

- ✓ Overhangs
- ✓ Arcade
- ✓ Raised cornice parapets over the doors
- ✓ Projected canopies
- ✓ Awnings/Canopies
- ✓ Projecting Sill

g. Fenestration Ratio

- Encourage largely transparent, open and inviting facades at the lower levels (ground floor) of the building to accentuate pedestrian environment.

Finding: Compliant

- Encourage a greater ratio of solid wall to window allowing for more variety of architectural material and elements at the upper floors. Approximately twenty-five (25) to forty (40) percent window to wall ratio is desirable in the facade area for each building facade area adjoining a street. Finding: Compliant

h. Roof Eaves

- The roof eaves may extend five (5) feet into the building setback within the property. Finding: N/A

i. Balconies

- Balconies may be built six (6) feet into the front and side vertical setbacks above the second floor. Finding: N/A

- j. Awnings, Arcades and Canopies
 - o Awnings, arcades and canopies on the first floor may extend five (5) feet into the building setback if the bottom of the awning is ten (10) feet above the sidewalk and they should be built within the build-to zone of the front and side setbacks. Finding: N/A

k. Exterior Materials

The following materials are encouraged for exterior building construction:

1. Stucco
2. Brick
3. Concrete masonry units, i.e., Hardi- plank
4. Stone
5. Wood, Clapboard siding
6. Tiles

Finding: Compliant

l. The following materials are prohibited for exterior building construction:

1. Plastic siding
2. Corrugated or reflective metal panels
3. Smooth or ribbed-faced concrete block
4. Wood sheeting

Finding: Compliant

m. Signage

N/A

Staff Recommendation

Staff recommends that the PARB Board recommend approval of Final Site Plan #PSPR24-0002 for Flagler Fish Company as it is in compliance with relevant requirements of the adopted Land Development Regulations as it relates to:

1. Section 2.06.02.1 Schedule of Off-Street Parking Requirements
2. Downtown Mixed Use Overlay Guidelines
3. Land Development Regulations Sec. 2.06.10. - Central business district exclusion
4. Downtown Master Plan: Parking (on-street parking area development standards)

ATTACHMENTS:

- Attachment #1 – Final Site Plan Application
- Attachment #2 – Aerial Map
- Attachment #3 – Zoning Map
- Attachment #4 – Future Land Use Map
- Attachment #5 – Plan Set



CITY OF FLAGLER BEACH BUILDING AND PLANNING DEPARTMENT

Section 6, Item b.

RECEIVED

GENERAL APPLICATION	
<input checked="" type="checkbox"/> Final Site Plan	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Master Site Plan	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Site Development Plan(s)	<input type="checkbox"/> Plat Vacating
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Subdivision Master Plan
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Non-statutory Land Division/Parcel Reconfiguration
<input type="checkbox"/> Future Land Use Map Amendment	<input type="checkbox"/> Site Plan Modification (Post approval)
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Development Order Modification
<input type="checkbox"/> Variance	<input type="checkbox"/> Wireless Communication Facility (new structure)

APR - 1 2024

City of Flagler Beach
Building Department

Application Submittal Date: _____

Fee Paid: \$ _____ Date Received: _____

Employee Accepting Application (print name): _____

Rejected Date: _____ Rejected by: _____

Reason for Rejection: _____

A. PROJECT NAME: FLAGLER FISH CO. ADDITION & RENOVATION

B. LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS): 18 S. DAYTONA AVE.

C. PROPERTY APPRAISER'S PARCEL ID NUMBER(S): 12-12-31-4500-00490-0020

D. LEGAL DESCRIPTION: _____ Subdivision Name: GEORGE MOODY SUBDIVISION

Section; _____ Block(s); 49 Lot(s); 2, 4, & 6

E. SUBJECT PROPERTY ACRES / SQUARE FOOTAGE: .258 ACRES

F. FUTURE LAND USE MAP DESIGNATION: _____ EXISTING ZONING DISTRICT: CC

OVERLAY DISTRICT: CRA

G. FLOOD ZONE: X FEMA COMMUNITY PANEL NUMBER: 12035C0232E DATE: 6.6.18

H. CURRENT USE OF PROPERTY: RESTAURANT

I. DESCRIPTION OF REQUEST/PROPOSED DEVELOPMENT (ATTACH ADDITIONAL SHEETS)
ADDITION & RENOVATION TO
FLAGLER FISH CO.

J. PROPOSED NUMBER OF LOTS (If Applicable): 3 Development Phasing: Yes No





CITY OF FLAGLER BEACH
BUILDING AND PLANNING DEPARTMENT

Section 6, Item b.

RECEIVED

K. LIST BELOW ANY APPLICATIONS CURRENTLY UNDER REVIEW OR RECENTLY APPROVED ASSOCIATED WITH THIS APPLICATION:

L. WATER/SEWER PROVIDER:

City of Flagler Beach

APR - 1 2024

City of Flagler Beach
Building Department

M. EXISTING MORTGAGE?

Yes No

OWNER:		APPLICANT/AGENT:	
Name:	Carolyn Casper	Name:	JOSEPH ROZZUOLI ARCHITECT
Mailing Address:	180 S. Daytona Ave. #B	Mailing Address:	314 MUDDY BLVD, FB, FL
Phone Number:	386-627-0696	Phone Number:	386-439-5650
E-mail Address:	flagertishandbeef@gmail.com	E-mail Address:	joseph.e.jp@florida.com
MORTGAGE HOLDER:		ENGINEER OR PROFESSIONAL:	
Name:	Stearns Bank	Name:	
Mailing Address:	PO Box 7338 St. Cloud	Mailing Address:	FL 32901
Phone Number:	800-320-7262	Phone Number:	
E-mail Address:		E-mail Address:	

SURVEYOR:		LANDSCAPE ARCHITECT:	
Name:	KUHAR SURVEYING	Name:	
Mailing Address:	1501 RIDGEWOOD AVE	Mailing Address:	
Phone Number:	HOLLY HILL, FL	Phone Number:	
E-mail Address:	386-672-0002	E-mail Address:	
WWW.KUHARSURVEYING.COM			

PLANNER:		TRAFFIC ENGINEER:	
Name:		Name:	
Mailing Address:		Mailing Address:	
Phone Number:		Phone Number:	
E-mail Address:		E-mail Address:	

ATTORNEY OF RECORD:		DEVELOPER:	
Name:	Dennis Bauer	Name:	
Mailing Address:	109 6th St. SEB 200 FB	Mailing Address:	
Phone Number:	386-439-2332	Phone Number:	
E-mail Address:	Dennis@bauerlegal.com	E-mail Address:	

I HEREBY CERTIFY THAT ALL INFORMATION ON THIS APPLICATION IS CORRECT:

Signature of owner OR person authorized to represent this application:

Signature(s): Carolyn Casper

Printed or typed name(s): Carolyn Casper

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 4th day of April 2024 by Carolyn Casper individual submitted by Personal Knowledge Satisfactory Evidence: Type _____

Signature of Notary Public, State of Florida



SPR#: _____ DATE FILED: _____

SITE PLAN REVIEW APPLICATION

PROJECT TITLE: FLAGLER FISH COMPANY - RENOVATION

PROJECT ADDRESS: 180 S. DAYTONA AVE., FLAGLER BEACH, FL

Subdivision: GEORGE MOODY SUB. Block: 49 Lot(s): 2,4,86

TAX MAP NUMBER: 12-12-31-4500-00490-0020 ZONING DISTRICT: _____

OWNERS INFORMATION:

OWNERS NAME: CAROLYN CASPER - FLAGLER FISH COMPANY OF 5
ADDRESS: 180 S DAYTONA AVE FLAGLER BEACH FL LLC
PHONE NUMBER: 386-627-0694 FAX NUMBER: _____

SIGNATURE OF OWNER: * 

APPLICANTS INFORMATION:

APPLICANTS NAME (IF OTHER THAN OWNER): JOSEPH PUZZUOLI ARCHITECT
ADDRESS: 314 MOODY BLVD, FLAGLER BEACH, FL
PHONE NUMBER: 386-439-5650 FAX NUMBER: _____

SIGNATURE OF APPLICANT: * 

REPRESENTATIVE:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

SIGNATURE OF REPRESENTATIVE: _____

PROPERTY OWNER AUTHORIZATION

FOR USE WHEN APPLICANT IS NOT THE OWNER OF SUBJECT PROPERTY:

Property Address: 180 S. Daytona Ave.
Flagler Beach, FL 32136

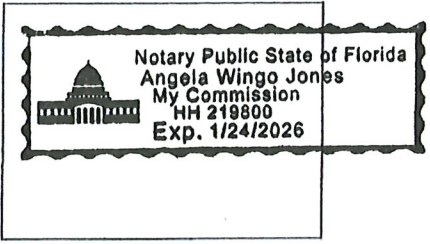
Parcel ID: 12-12-31-4500-00490-0020

This is to certify that I am the owner of the subject property described above and that I authorize: (PRINT NAME) JPA - Joseph Pozzuoli Architect to make and file the aforesaid application for site plan review.

OWNER'S SIGNATURE: [Signature]
PRINT OWNER'S NAME: Carolyn Casper

Sworn to and subscribed before me this 4th day of April, 2024.
Personally known to me or produced identification: Personally known (type)

Notary Public: [Signature] My commission expires: 1/24/26



Notary Seal

Prepared by and return to:

Dennis K. Bayer
Attorney at Law
Dennis K. Bayer
109 South 6th Street
Flagler Beach, FL 32136

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 31st day of October, 2016 between JRH & Sons, LLC, a Florida limited liability company whose post office address is 6 Bulow Woods Circle, Flagler Beach, FL 32136, grantor, and Flagler Fish Company of 5, LLC, a Florida limited liability company whose post office address is 2556 N. Ocean Shore Blvd, Flagler Beach, FL 32136, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Flagler County, Florida to-wit:

Lots 2, 4 and 6, Block 49, Moody Subdivision, a subdivision according to the plat or map thereof described in Plat Book 1, at Page(s) 24, of the Public Records of Flagler County, Florida.

Parcel Identification Number: 12-12-31-4500-00490-0020

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2015.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Kat E Mat
Witness Name: Kathryn Mark

Brenda L Digby
Witness Name: Brenda L Digby

JRH & Sons, LLC, a Florida Limited Liability Company

By: John Richard Hrabovsky

SITE PLAN REVIEW

PROJECT DESCRIPTION

PRINT OR TYPE INFORMATION

A. Provide a detailed description of the proposed project:

RESTAURANT RENOVATION & ADDITION
TO FLAGLER FISH COMPANY

B. Provide the lot size (parcel) and square footage of all building(s):

LOT SIZE - .244 ACRE
BUILDINGS SIZE - 5,720 Sq FT

C. Provide the size, height and proposed use of each building:

16 FT MEAN ROOF HEIGHT
5,720 Sq FT - RESTAURANT & STORE -
(1 BLDG)

D. Provide a detailed description of the following:

Colors: PEACH, YELLOW, WHITE
Exterior finish and color: STUCCO & BOARD & BATTEN & CYPRESS WOOD
Roof material and color: STANDING SEAM METAL - COLOR -
& EXISTING FLAT ROOF SILVER WITH

E. Indicate the project floor area ratio or lot coverage (if applicable):

Existing - Total Impervious = 9,204 SQFT = 94.29% Per. = 663 SQFT = 6.8%
New - Total Impervious = 7,948 SQFT = 81.4% Per. = 1,820 SQFT = 18.6%
~~81.4%~~

F. Provide the total number of:

Required on-site parking spaces: 38
Proposed on-site parking spaces: 10
Required on-site Handicapped parking spaces: 1
Proposed on-site Handicapped Parking spaces: 1

G. Any off-site parking spaces proposed? If yes, describe number, location, and distance from proposed project location:

ASKING FOR 28 SPACES FROM PARKING
POOL.
2 SPACES - GOLF CART & MOTORCYCLE ON
N Daytona - IN FRONT OF BLDG.

H. Will project be accomplished in phases? If Yes, describe phasing plans and timeframe:

NO

I. Describe the nature of any tree and native vegetation removal, if applicable:

NONE

J. If a Commercial use, describe the operational characteristics of the development (proposed hours of operation, any unique characteristics of the proposed use.

NORMAL FLAGLER FISH OPERATING HOURS

K. Provide other pertinent information regarding the proposed development:

ZONED GC. - THIS IS AN ADDITIONAL RENOVATION/FACELIFT TO AN EXISTING STRUCTURE & BUSINESS FLAGLER FISH CO.

Site Plan Review

Existing Conditions

A. Describe all previous uses or activities on the site:

RESTAURANT
MEAT & FISH MARKET & STORAGE

B. Describe all existing structures on the site in terms of their use, construction type, height, density, and size:

RESTAURANT
CONCRETE BLOCK
± 11'-7" PRECAST CONCRETE TWIN "T"
ROOF STRUCTURE

C. Describe the project site as it presently exists before the project in terms of: *N/A*

- Site topography:

- Plant life (existing trees, vegetative cover):

- Soil conditions:

- Historic or cultural resources (if applicable):

D. Describe the land use and zoning of surrounding properties within 200 feet of project location:

North:

GENERAL COMMERCIAL

South:

GENERAL COMMERCIAL

East:

GENERAL COMMERCIAL

West:

GENERAL COMMERCIAL



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
FLAGLER FISH COMPANY OF 5, LLC

Filing Information

Document Number	L16000169998
FEI/EIN Number	81-3830941
Date Filed	09/12/2016
State	FL
Status	ACTIVE

Principal Address

180 S Daytona Ave
FLAGLER BEACH, FL 32136

Changed: 04/25/2017

Mailing Address

180 S Daytona Ave
FLAGLER BEACH, FL 32136

Changed: 04/25/2017

Registered Agent Name & Address

DENNIS, BAYER
109 6th St S
200
FLAGLER BEACH, FL 32136

Name Changed: 04/25/2017

Address Changed: 04/25/2017

Authorized Person(s) Detail

Name & Address

Title AMBR

CASPER, CAROLYN
180 S Daytona Ave
FLAGLER BEACH, FL 32136

Title AMBR

CASPER, CHRISTOPHER
180 S Daytona Ave
FLAGLER BEACH, FL 32136

Annual Reports

Report Year	Filed Date
2022	03/31/2022
2023	07/13/2023
2024	02/10/2024

Document Images

02/10/2024 -- ANNUAL REPORT	View image in PDF format
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04/06/2018 -- ANNUAL REPORT	View image in PDF format
04/25/2017 -- ANNUAL REPORT	View image in PDF format
09/12/2016 -- Florida Limited Liability	View image in PDF format



FINAL SITE PLAN SITE DEVELOPMENT APPLICATION SUBMITTAL CHECKLIST

Section 6, Item b.

The following checklist is a tool to facilitate compliance for the submittal package. Please follow the below instructions. If questions, you are encouraged to contact the Building and Planning Dept. @ 386-517-2000 X231 or X232.

1. The checklist must be completed by the Applicant. If a required document is not provided, a statement justifying the action must be submitted and considered accordingly.
2. At minimum, the documents listed below are required to process a request for site development approval associated with the corresponding Final Site Plan.
3. It is recommended a *pre-application submittal meeting* be scheduled by contacting the Building and Planning Dept.
4. It is also recommended to contact the Building and Planning Dept. to schedule an appointment to submit the application package.
5. Mark each check box on the checklist to indicate that the item *has been addressed*;

> Mandatory
 > Sub-item Require
 > As Applicable

TASK 1	Mandatory	As App.	Sub-item	Staff Responsibility	Checklist Items	
2				Bldg. Dept.	General Application Form	
3			<input type="checkbox"/>	ALL DEPT. DOCUMENTS @ INTAKE	Signed by owner or property owners representative.	
4	<input type="checkbox"/>				Technical Site Development Submittal Checklist	
5			<input type="checkbox"/>		INTAKE Checklist	
6	<input checked="" type="checkbox"/>				Corporate Identity	
7			<input type="checkbox"/>		Filed by property owner or managing agent as listed in the Division of Corporation.	
8	<input checked="" type="checkbox"/>				Current Survey	
9			<input type="checkbox"/>		1. Prepared by a registered land surveyor licensed to practice in the State of Florida.	
10			<input type="checkbox"/>		2. Legal description and total acreage of the subject property.	
11			<input type="checkbox"/>		3. Surveyors certificate of accuracy.	
12			<input type="checkbox"/>		4. Depict all existing on-site or adjacent easements, including drainage, electricity, gas, water, wastewater, or other pipeline or utility easements.	
13			<input type="checkbox"/>		5. Depict all existing on-site improvements, including buildings, structures, drainage facilities, and utilities.	
14			<input type="checkbox"/>		6. Completed with the benefit of a title opinion that states it is current.	
15			<input type="checkbox"/>		7. All wetlands and conservation easements with upland buffers depicted if applicable.	
16			<input type="checkbox"/>		8. Flood Insurance Rate Map (FIRM) information: community panel number, date, flood zones(s) and Base Flood Elevation data in NAVD 88'. Flood boundary shall be depicted.	
17			<input type="checkbox"/>		9. Flood Elevation data in NAVD 88'. Flood boundary shall be depicted.	
18			<input type="checkbox"/>		10. All protected trees	
19	<input checked="" type="checkbox"/>				Eng. Dept.	Construction Plan/Site (not less than 1"=40')
20			<input type="checkbox"/>			1. Construction Plan/Site Plan
21			<input type="checkbox"/>		2. Cover sheet to include:	
22			<input type="checkbox"/>		a. Title of project NA	



SITE DEVELOPMENT APPLICATION SUBMITTAL CHECKLIST

Section 6, Item b.

23			<input type="checkbox"/>		b. Name, address, phone #, and e-mail address of the owner, engineer, landscape architect, surveyor, architect, environmentalist and developer (as applicable) NA
24			<input type="checkbox"/>		c. Site location map inset with a north arrow indicator and sufficient information to locate the property in the field. Street names within the area are to also be included on the map (as applicable)
25			<input type="checkbox"/>		3. Site Data analysis with the following information:
26			<input type="checkbox"/>		a. Site size (in square feet and/or acreage)
27			<input type="checkbox"/>		b. Zoning of property
28			<input type="checkbox"/>		c. FLUM of property
29			<input type="checkbox"/>		d. Intended uses and total square footage for buildings for each use
30			<input type="checkbox"/>		e. Total building(s) square footage-Gross Floor Area- (measure from outside walls); include square footage of any space with a roof (e.g. covered entry, open porch, portico, etc.)
31			<input type="checkbox"/>		
32			<input type="checkbox"/>		f. Total building footprint as percentage of site and area (via sq. ft. or acreage)
33			<input type="checkbox"/>		g. Vehicular Use Area (VUA) percentage and area
34			<input type="checkbox"/>		h. Sidewalk(s) percentage of site and area
35			<input type="checkbox"/>		i. impervious Surface Ratio (ISR) and area
36			<input type="checkbox"/>		j. Floor Area (only for non-residential)
37			<input type="checkbox"/>		k. Pervious Ratio and area
38			<input type="checkbox"/>		l. Parking calculations to include number required, existing, proposed vehicle spaces and bicycle rack spaces. Also include required/provided ADA accessible spaces.
39			<input type="checkbox"/>		m. Total # of residential units (density calculation per LDC) and breakdown of multi-family units by bedroom and living area
40			<input type="checkbox"/>		n. Garage units for multifamily projects shall be provided for a minimum of one-third of the proposed multifamily units
41			<input type="checkbox"/>		o. Building Height
42			<input type="checkbox"/>		4. Project name and north arrow indicator and scale provided on each sheet of plans
43			<input type="checkbox"/>		5. Flood Zone information (FIRM) Panel information on cover sheet and delineate the extent of flood zone boundaries with reference to base flood elevation(s) if applicable on plans
44			<input type="checkbox"/>		6. A space measuring at least 4" in width by 3" in height shall be provided in the upper right corner at the top of each sheet of plans to be reserved for the City's approval stamp.
45			<input type="checkbox"/>		7. Easements including locations, dimensions, and types (show both existing and proposed).
46			<input type="checkbox"/>		8. All existing and proposed structures depicting dimensions and locations.
47			<input type="checkbox"/>		9. Setbacks from the property lines to all structures unless setbacks are met
48			<input type="checkbox"/>		10. Pad location, size, and setbacks for all dumpsters and recyclable containers (including details of enclosure).
49			<input type="checkbox"/>		11. Zoning of all adjacent properties and properties across rights-of-ways with the name of the rights-of-way(s) included.
50			<input type="checkbox"/>		12. Wetlands and associate upland buffer(s), water courses, waterbodies, and other natural to be located on the site. Also, other natural resources lying within, adjacent to, affecting, or potentially impacted by the site
51			<input type="checkbox"/>		13. Notes with line items to include on site plan:
52			<input type="checkbox"/>		a All utilities shall be located underground.
53			<input type="checkbox"/>		b Contractor to attend a mandatory preconstruction meeting with City staff prior to any disturbance of the property.
54			<input type="checkbox"/>		c Conservation easements with upland buffers delineated if applicable with the recording information (O.R. Book and Page #), if applicable.
55			<input type="checkbox"/>		d Any other pertinent information that should be noted.
56			<input type="checkbox"/>		14. Parking detail for each parking stall scenario (i.e. parallel space, angled parking, etc.), including accessible spaces, ADA requirements.



SITE DEVELOPMENT APPLICATION SUBMITTAL CHECKLIST

Section 6, Item b.

57			<input type="checkbox"/>		15. Location of bike racks and detail specifications.
58			<input type="checkbox"/>		16. Show stacking lanes on plans including any menu boards and pickup windows, including queuing dimensions. Stacking analysis required if staff sees any potential issues.
59			<input type="checkbox"/>		17. Show loading zones and along with dimensions.
60			<input type="checkbox"/>		18. If phasing proposed, include construction phasing lines and note that the development order will be for the proposed phase only.
61			<input type="checkbox"/>		
62			<input type="checkbox"/>		19. Sight triangles.
63			<input type="checkbox"/>		20. Location of all mechanical equipment and utility boxes. Ground-mounted mechanical equipment shall be located within 20' of the principal structure, except transformers. Mechanical equipment includes, but is not limited to, air conditioning units, pool pumps, generators, and gas tanks.
64			<input type="checkbox"/>		21. Location of all outdoor storage areas, loading and unloading areas, truck parking (this includes fleet storage). And depict all service support equipment (i.e. ice machines and dispensers, outdoor vending machines, and propane tanks and refilling areas, etc.) and label each.
65			<input type="checkbox"/>		22. Show the minimum height of vehicular overhead obstructions shall not be less than 13'6"
66			<input type="checkbox"/>		23. Must provide 2 ingress and egress locations for single-family and multi-family residential developments of 51 units or greater
67			<input type="checkbox"/>		a. Primary, secondary and emergency access roads including site access locations, minimum access clearance widths and heights, lane widths for multi-lane / two-way roads, turning radius (including turning radius of any turn-arounds), lengths of dead-ends listed; gates and other controlled access points with width clearance dimensions. All fire department access roads shall be designed for a minimum 75,000 lb. apparatus /equipment weight.
68			<input type="checkbox"/>		24. Depict location of any public supply well sites and show 500' radius setback.
69			<input type="checkbox"/>		25. Depict internal and external walkways/sidewalks, connections, width and provide specifications. (Sidewalk fund, if applicable)
70			<input type="checkbox"/>		26. ADA compliance regarding width, slope, railings, truncated domes, and other ADA warning devices
71			<input type="checkbox"/>		27. Show width and type of Landscape Buffers
72			<input type="checkbox"/>		28. Dimensioned radii of all retention and detention ponds.
73			<input type="checkbox"/>		39. Internal Vehicular Circulation
74			<input type="checkbox"/>		30. Internal Signage and Striping
75			<input type="checkbox"/>		31. Interconnectivity between project including access agreement
76	<input type="checkbox"/>	Eng. Dept.			Grading, Drainage and Erosion Control Plan (not less than 1"=40') <i>N/A</i>
77			<input type="checkbox"/>		1. Base information (under Site Plan outlined above) <i>EXISTING - SEE SURVEY</i>
78			<input type="checkbox"/>		2. Provide predevelopment drainage plan
79			<input type="checkbox"/>		3. Grading and Drainage Plan
80			<input checked="" type="checkbox"/>		a. Show existing and proposed contours at one foot (min) intervals with spot elevations as needed for clarity and to adequately depict drainage patterns (NAVD 1988 DATUM)
81			<input type="checkbox"/>		b. Details and sections for all grade changes. Location, extent, amount, and proposed final grades of any filling, grading, or excavation. Where the placement of fill is proposed, the amount, type, and source of fill material; compaction specifications; a description of the intended purpose of the fill areas; Evidence that the proposed fill areas are the minimum necessary to achieve the intended purpose Existing and proposed alignment of any proposed alteration of a watercourse.
82			<input type="checkbox"/>		c. Grading to include lowest floor / top of foundation / finished slab elevations for all buildings and structures. Slopes / grades perpendicular to all sides of all buildings for a minimum distance of ten (10) feet from foundations with slopes expressed in percentages. Minimum slopes of 2% for impervious surfaces and 5% (6 inches fall within the first 10 feet); finished ground surface elevations adjacent to all corners of buildings and various intervals (approximately every ten feet) along buildings indicating minimum ground-earth separation of four (4), six (6) or eight (8) inches depending on construction materials and finishes used in exterior wall construction. Include details of surface improvements required to facilitate drainage away/perpendicular from foundations where 5% slope in the first ten feet cannot be provided.
83			<input type="checkbox"/>		4. Contour and spot elevations along roadways at a minimum 100-ft. intervals indicating centerline,



SITE DEVELOPMENT APPLICATION SUBMITTAL CHECKLIST

Section 6, Item b.

					edge of pavement, shoulder, swales, ditches, and roadway right-of-way.
84			<input type="checkbox"/>		5. Roadway profiles showing utility and drainage improvements
85			<input type="checkbox"/>		6. Demolition and/or relocation plan for existing items
86			<input type="checkbox"/>		7. Details of construction and connection to adjacent roads serving project
87			<input type="checkbox"/>		8. Stormwater Management System
88			<input type="checkbox"/>		a. Section views of all proposed retention/detention ponds, swales, berms, etc. indicating top of bank, bottom, normal water level, 5-year, 25-year and 100-yr stormwater elevations.
89			<input type="checkbox"/>		b. slopes with vegetation requirements or other erosion control measures called out.
90			<input type="checkbox"/>		c. details for all proposed manholes, inlets, and other stormwater control structures.
91			<input type="checkbox"/>		d. Location, size, length, and elevations of all proposed piping systems and related structures.
92			<input type="checkbox"/>		e. Stormwater Analysis with pipe calculations.
93			<input type="checkbox"/>		f. Geotechnical report signed and sealed by a professional engineer.
94			<input type="checkbox"/>		9. Erosion and Sediment Control Plan.
95			<input type="checkbox"/>		a. Location and details for all BMPs.
96			<input type="checkbox"/>		b. Temporary and permanent vegetation requirements.
97			<input type="checkbox"/>		c. Include a Stormwater Pollution Prevention Plan (SWPPP).
98			<input type="checkbox"/>		10. Copies of permits from all regulatory agencies having jurisdiction (prior to commencement of construction).
99			<input type="checkbox"/>		11. Tree Protection Fencing.
100			<input type="checkbox"/>		Note: Existing trees shown to remain should have no alteration of grade made within their Tree Protection Zone (TPZ). If grading as shown proposes to alter grade within this TPZ then field adjustments will need to be made to avoid such circumstance; Use of retaining walls may be required.
101	<input type="checkbox"/>			Eng. Dept.	Utility Plans (not less than 1"=40') <i>N/A</i>
102			<input type="checkbox"/>		1. Review potable, sewer, reclaim systems. Include dimension of backflow pad. Show scale
103			<input type="checkbox"/>		2. Review plats for easements and possible parcels for pump stations.
104			<input type="checkbox"/>		3. Provide adequate size piping to provide required fire flow.
105			<input type="checkbox"/>		4. Minimum 6" pipe or larger, as required.
106			<input type="checkbox"/>		5. Pump Station Calculation
107			<input type="checkbox"/>		6. Water and Sewer:
108			<input type="checkbox"/>		a. Pipe data including size, lengths, and material
109			<input type="checkbox"/>		b. All conflicts with other utility and drainage systems
110			<input type="checkbox"/>		c. All manhole locations, invert and rim elevations
111			<input type="checkbox"/>		d. Size, type, and location of fittings, valves, hydrants, air release/vacuum relief valves
112			<input type="checkbox"/>		e. Pipe restraint requirements and method of restraint
113			<input type="checkbox"/>		f. Details of connections to existing system
114			<input type="checkbox"/>		g. Location and construction details for wastewater pumping stations including size and type of pumps
115			<input type="checkbox"/>		h. All utility related accesses and easements
116			<input type="checkbox"/>		i. Construction notes regarding cover, horizontal and vertical control, special construction requirements and related details
117			<input type="checkbox"/>		7. Location of existing and proposed potable and irrigation wells
118			<input type="checkbox"/>		8. Utility Agreement
119	<input checked="" type="checkbox"/>			Plng. Dept.	Landscape Plans (not less than 1"=40') <i>N/A</i>
120			<input type="checkbox"/>		1. Designed, signed, and sealed (on final set) by a registered Florida landscape architect.
121			<input type="checkbox"/>		2. A tree survey showing all protected trees.



SITE DEVELOPMENT APPLICATION SUBMITTAL CHECKLIST

Section 6, Item b.

122			<input type="checkbox"/>		3. All easements shown on plans.
123			<input type="checkbox"/>		4. All landscape buffer lines shown on plans . Label type and dimension.
124			<input type="checkbox"/>		5. Tree removal plan if needed, that shows landscape buffer lines on plan and tree protection barricades around any trees to remain that are within the silt fence.
125			<input type="checkbox"/>		6. Tree Density calculations shown on plans of property area, excluding ponds, lakes and canals
126			<input type="checkbox"/>		7. If re-use water is not being used, verify 50% of pervious area is being landscaped with drought tolerant or native plants and grasses.
127			<input type="checkbox"/>		8. Verify that any signage has plantings around the entire perimeter.
128			<input type="checkbox"/>		9. Littoral zone plantings around all stormwater detention ponds or littoral zone alternative
129			<input type="checkbox"/>		10. All HVAC equipment, utility structures, and backflow preventers screened from public view
130			<input type="checkbox"/>		a. Screening planting hedges need to be a minimum of 30" tall at time of planting and continuous.
131			<input type="checkbox"/>		11. Provide street tree plantings 40' O.C. in any common areas where new streets or shared private access roads have been created.
132			<input type="checkbox"/>		12. Overhead power lines shown on plans and shade trees planted at a minimum of 15' away.
133			<input type="checkbox"/>		13. All site lighting poles shown on plans and shade trees planted at a minimum distance of 15' away.
134			<input type="checkbox"/>		14. All utilities shown as a shaded layer on plans and shade trees planted at a minimum of 10' away.
135			<input type="checkbox"/>		a. Fire hydrants shown on plan with trees and shrubs at proper clearance.
136			<input type="checkbox"/>		15. Site triangles on plans Shrubs higher than 2' or trees with branches lower than 7' not to be planted in sight triangles.
137			<input type="checkbox"/>		16. Verify that foundation plantings are provided
138			<input type="checkbox"/>		17. Wildfire hazard assessment as needed
139			<input type="checkbox"/>		18. Requirement for all trees and plants to be a Florida Number 1 or better quality
140			<input type="checkbox"/>		19. Size, quantity, and variety of all trees and plants and shrubs / ground covers with spacing.
141			<input type="checkbox"/>		a. Shade trees are a minimum of 3 1/2" caliper
142			<input type="checkbox"/>		b. Understory trees are a minimum of 1 1/2" caliper and 30 gallon container.
143			<input type="checkbox"/>		c. Vehicular Use Area island understory trees are a minimum height of 10-12'.
144			<input type="checkbox"/>		20. Type of sod to be used (Bahia required for non-irrigated areas).
145			<input type="checkbox"/>		21. All disturbed areas of the right-of-way to be sodded with Bahia sod.
146			<input type="checkbox"/>		22. Mulch material needs to be specified with depth between 2-4" deep.
147			<input type="checkbox"/>		23. Clearing limits on the plan and description of sod or mulch limits.
148			<input type="checkbox"/>		24. Provide short screening plantings of parking areas visible from right-of-way and adjoining properties where not already provided by buffer screening plantings. 2' setback if 20' parking stall depth.
149			<input type="checkbox"/>		25. Provide VUA calculations on plans.
150			<input type="checkbox"/>		a. Internal parking lot landscaping need to be a minimum of 10% of VUA area excluding areas beneath vehicular canopies.
151			<input type="checkbox"/>		b. VUA landscape islands shall have at least (1) tree credit for every 165 sf of required internal parking lot landscaping area. (Shade Trees = 2 credits, Palm Trees = 1.5 credits, Understory Trees = 1 credit)
152			<input type="checkbox"/>		c. VUA landscape islands shall be a minimum of 150 sf. pervious area. If planted with a shade tree then a minimum of 300 sf unless using alternate planting requirements for parking lot and 9' wide OR 450 sf with shade tree and light pole. Terminal islands must be a minimum of 5' wide.
153			<input type="checkbox"/>		d. Detail sheet that includes tree staking details and if any trees are to be retained include Standard Tree Protection Zone Detail, Root Pruning Detail and Tree Protection Fencing Detail.
154			<input type="checkbox"/>		e. All VUA parking lot islands curbed to protect the shrubs and trees from vehicular damage
155			<input type="checkbox"/>		f. VUA islands placement allowing runs of no more than 10 spaces without an island unless allowed optional designs.



SITE DEVELOPMENT APPLICATION SUBMITTAL CHECKLIST

Section 6, Item b.

188					sprinkler system throughout.
189			<input type="checkbox"/>		5. Gated communities shall require installation of a KNOX key override switch(s) for emergency vehicle access.
190			<input type="checkbox"/>		6. Communities with secondary emergency vehicle access gate(s) shall require a KNOX padlock for access.
191		Sanitation/Plng.			Dumpster location/screening

FLAGLER COUNTY PROPERTY APPRAISER



Overview

Legend

- Parcels
- Roads
- Streams and Rivers

Parcel ID	12-12-31-4500-00490-0020	Owner	FLAGLER FISH COMPANY OF 5 LLC	Land Value	\$95,131	Last 2 Sales Date		Price		Reason		Qual
Prop ID	78908		180 S DAYTONA AVE	Ag Land Value	\$0	10/31/2016	\$330000	I				U
Class Code	RESTAURANT/CAFE		FLAGLER BEACH, FL 32136	Building Value	\$160,584	6/7/2007	0	I				Q
Taxing District	22	Physical Address	180 S DAYTONA AVE	Misc Value	\$7,561							
GIS sqft	9,753.960			Just Value	\$263,276							
				Assessed Value	\$196,468							
				Exempt Value	\$0							
				Taxable Value	\$196,468							

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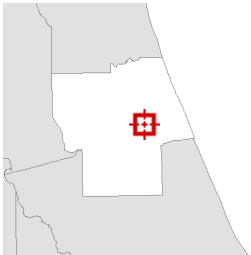
Developed by Schneider GEOSPATIAL

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item b.



Overview



Legend

- Parcels
- Roads
- Streams and Rivers
- Flagler Beach Zoning**
- C- CONSERVATION
- CLOSED STREETS
- GC- GENERAL COMMERCIAL
- HIGHWAY COMMERCIAL
- LDR- LOW DENSITY
- LI- LIGHT INDUSTRIAL
- MDR- MEDIUM DENSITY RESIDENTIAL
- MIRROR LAKE WATERSHED DISTRICT (R1)
- P- PRESERVATION
- PUD- PLANNED UNIT DEVELOPMENT
- R- RESERVED
- REC- RECREATION
- REC/PUD- RECREATION/PUD
- SFR- SINGLE FAMILY RESIDENTIAL (R1)
- SFR- SINGLE FAMILY RESIDENTIAL (R4)
- TC- TOURIST COMMERCIAL

Section 6, Item b.

Parcel ID	12-12-31-4500-00490-0020	Owner	FLAGLER FISH COMPANY OF 5 LLC	Land Value	\$95,131	Last 2 Sales Date		Price		Reason	Qual
Prop ID	78908		180 S DAYTONA AVE	Ag Land Value	\$0	10/31/2016		\$330000		I	U
Class Code	RESTAURANT/CAFE		FLAGLER BEACH, FL 32136			6/7/2007		0		I	Q
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District				Misc Value	\$7,561						
GIS sqft	9,753.960			Just Value	\$263,276						
				Assessed Value	\$196,468						
				Exempt Value	\$0						
				Taxable Value	\$196,468						

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FLAGLER COUNTY PROPERTY APPRAISER



Overview



Legend

- Parcels
 - Roads
 - Streams and Rivers
- Flagler Beach FLUM**
- Commercial
 - Golf Course
 - High Density
 - Low Density
 - Medium Density
 - Mixed Use Overlay
 - Mobile Home Park
 - Other Public Facilities
 - Park
 - Public Buildings & Grounds
 - Salt Water Marsh
 - Spoil Area
 - Undefined

Parcel ID	12-12-31-4500-00490-0020	Owner	FLAGLER FISH COMPANY OF 5 LLC	Land Value	\$95,131	Last 2 Sales Date		Price		Reason		Qual	
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District				Just Value	\$263,276								
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				Exempt Value	\$0								
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Date created: 6/21/2024
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AN ADDITION & RENOVATION FOR: FLAGLER FISH COMPANY

180 SOUTH DAYTONA AVENUE
FLAGLER BEACH, FLORIDA



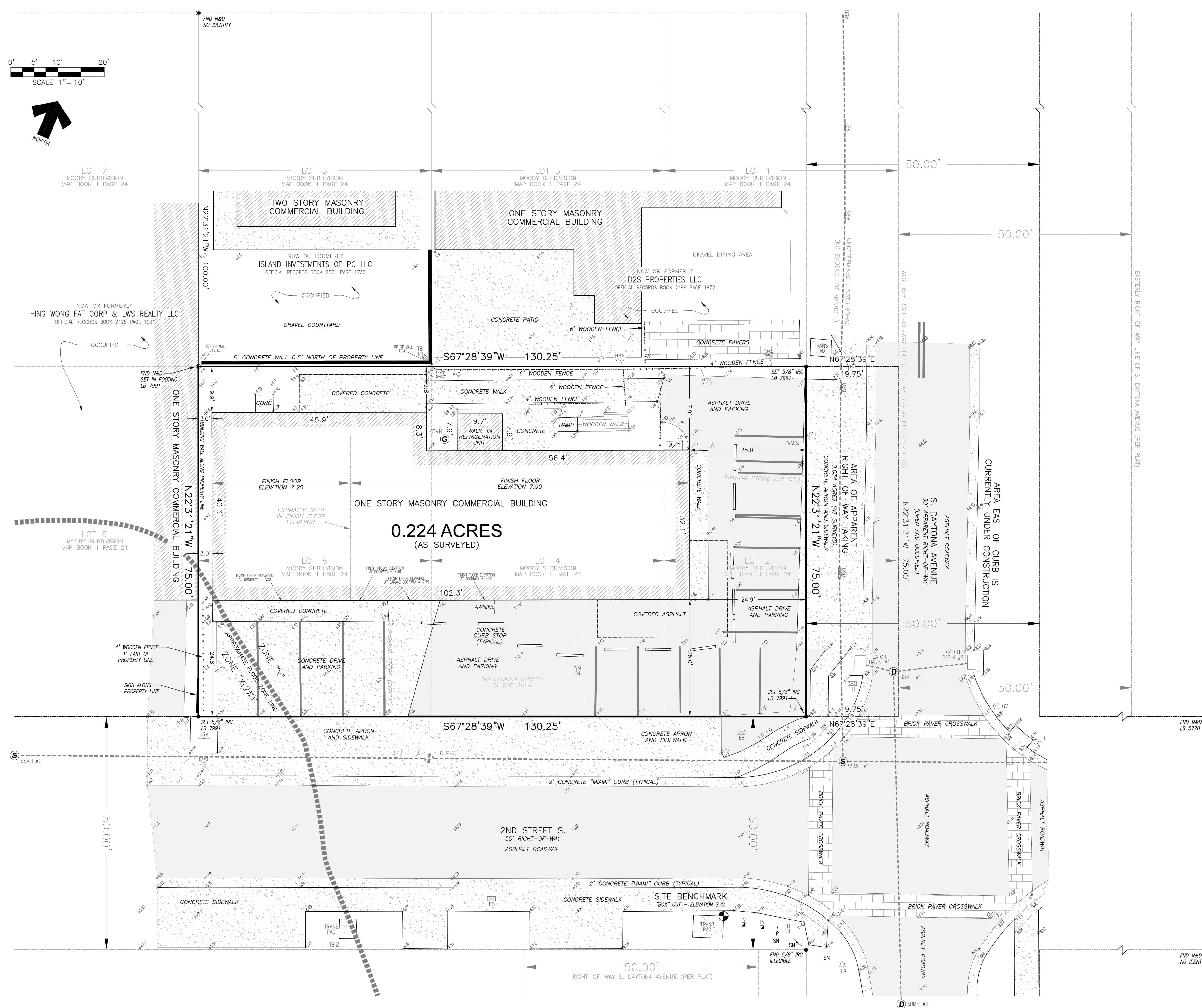
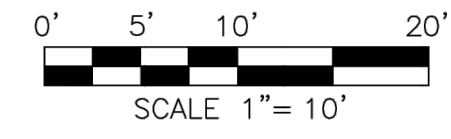
AN ADDITION AND RENOVATION FOR:
FLAGLER FISH COMPANY
180 SOUTH DAYTONA AVE.
FLAGLER BEACH, FL 32136

GENERAL NOTES	ABBREVIATIONS	PROJECT DESCRIPTION	LOCATION MAP																																																																																																																																		
<ol style="list-style-type: none"> THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE FLORIDA BUILDING CODE 8TH EDITION IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AS REQUIRED BY GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING THE WORK. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK UNLESS OTHERWISE REFERENCED. ALL DIMENSIONS ARE TO FACE OF STUDS, MASONRY AND SLAB EDGES. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL CLEAN-UP AFTER COMPLETION OF THEIR WORK. ALL DEBRIS TO BE DEPOSITED IN ON-SITE DUMPSTER AND HOME / BUSINESS TO BE LEFT "BROOM CLEAN". SUBCONTRACTORS TO INSTALL ALL BLOCKING AND BRACING REQUIRED BY THEIR TRADE AND TO PERFORM ALL CUTTING AND PATCHING. THE CURRENT EDITION OF THE AIA GENERAL CONDITIONS OF THE CONTRACT SHALL BECOME A PART OF THESE DOCUMENTS. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. ALL CHANGES TO THE DRAWING MUST BE APPROVED IN WRITING BY THE ARCHITECT. DO NOT ACCEPT VERBAL CHANGES. MAKE NO MATERIAL SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM ARCHITECT. THE APPLICATION, INSTALLATION AND USE OF ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST PUBLISHED INSTRUCTIONS. TAKE FIELD MEASUREMENTS FOR ALL OFF-SITE MANUFACTURED ITEMS SUCH AS DOORS, WINDOWS, MILLWORK, SKYLIGHTS, SCREENS, GRILLES, RAILINGS, ETC. PORCH AND PATIO OVERHANGS ARE TO BE ENGINEERED TO RESIST LOADS IMPOSED BY THE SCREEN ENCLOSURE ATTACHMENTS AS WELL AS ALL OTHER NORMALLY IMPOSED LOADS. SHOP DRAWINGS ARE TO BE PROVIDED TO BUILDER IN FIELD FOR CABINETS, WINDOW, DOOR, FIREPLACE, RAILINGS, ETC. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. THIS OFFICE SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTORS AND SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PARTS OF THE WORK WITH THE OTHER SUBCONTRACTORS, UTILITY COMPANIES, AND OTHER ASSOCIATED OFFICES. CONTRACTORS SHALL CARRY LIABILITY INSURANCE, TERMS AND LIMITS AS DIRECTED BY THE OWNER, AND SHALL FURNISH THE CERTIFICATES OF INSURANCE UPON BID ACCEPTANCE. BY ACCEPTING THIS WORK, THE CONTRACTORS AGREE THAT THE OWNER, ARCHITECT, AND ENGINEERS SHALL BE HELD HARMLESS AND NOT LIABLE FOR ANY INJURIES OR PROPERTY DAMAGE RESULTING FROM ANY OF THE CONTRACTORS' OPERATIONS. EACH TRADE, MANUFACTURER AND/OR SUPPLIER SHOULD UNDERSTAND ITS SCOPE OF WORK WITHIN THIS SET OF PLANS COMPLETELY PRIOR TO COMMENCING ANY WORK. ANY QUESTIONABLE OR UNCLEAR CONDITIONS ARE TO BE BROUGHT TO THIS OFFICE'S ATTENTION FOR CLARIFICATION. THE ULTIMATE RESPONSIBILITY OF ALL TRADES, MANUFACTURERS AND/OR SUPPLIERS IS THEIRS IF THE INFORMATION IN QUESTION IS SHOWN CLEARLY OR HAS BEEN ADDRESSED AS REQUIRED PRIOR TO COMMENCING THE WORK. 	<table border="0"> <tr> <td>AFF ABOVE FINISH FLOOR</td> <td>INSUL INSULATION</td> </tr> <tr> <td>ADF ACCESSIBLE DRINKING FOUNTAIN</td> <td>INT INTERIOR</td> </tr> <tr> <td>ALUM ALUMINUM</td> <td>JT JOINT</td> </tr> <tr> <td>ANG ANGLE</td> <td>LAM LAMINATED</td> </tr> <tr> <td>APPROX APPROXIMATE</td> <td>LAV LAVATORY</td> </tr> <tr> <td>ARCH ARCHITECT</td> <td>LP LIGHT POLE</td> </tr> <tr> <td>AT AT</td> <td>MH MANHOLE</td> </tr> <tr> <td>BRG BEARING</td> <td>MFD MANUFACTURED</td> </tr> <tr> <td>BLK BLOCK</td> <td>MFR MANUFACTURER</td> </tr> <tr> <td>BLKG BLOCKING</td> <td>MASRY MASONRY</td> </tr> <tr> <td>BD BOARD</td> <td>MASONRY BLOCKOUT</td> </tr> <tr> <td>BLDG BUILDING</td> <td>MO MASONRY OPENING</td> </tr> <tr> <td>CLG CEILING</td> <td>MAT MATERIAL</td> </tr> <tr> <td>CH CENTER LINE</td> 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DAYTONA AVENUE) 10'-0" REAR (ADJACENT TO JOHNNY D'S BAR AND GRILL) 10'-0" SIDE (2ND STREET SOUTH) 15'-0" SIDE (ADJACENT TO REALTY BLDG 4 SUNBROS) 0'-0"</p>	
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COVER SHEET

DATE:	04.09.2024	DRAWN:	HMJ
JOB NO.:	223126	CHECKED:	JDP

CS



LEGAL DESCRIPTION:

LOTS 2,4 AND 6, BLOCK 49, MOODY SUBDIVISION, A SUBDIVISION ACCORDING TO THE PLAT OR MAP THEREOF DESCRIBED IN PLAT BOOK 1, AT PAGE(S) 24, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
THE ABOVE DESCRIBED PARCEL CONTAINS 0.258 ACRES, MORE OR LESS (PER PLAT).

STORM DRAINAGE INVERTS:

CATCH BASIN #1 : RIM = 8.12
24" RCP INV(E) = 5.12
CATCH BASIN #2 : RIM = 8.29
24" RCP INV(W) = 5.29

SDMH #1 : RIM = 8.28
24" RCP INV(W) = 3.78
24" RCP INV(E) = 3.78
24" RCP INV(S) = 3.78
NOTE: INDIVIDUAL INVERTS ARE INACCESSIBLE, INVERTS SHOWN CENTERLINE INVERTS

SDMH #2 : RIM = 8.40
24" RCP INV(W) = 3.30
24" RCP INV(E) = 3.30
24" RCP INV(S) = 3.30
NOTE: INDIVIDUAL INVERTS ARE INACCESSIBLE, INVERTS SHOWN CENTERLINE INVERTS

SANITARY SEWER INVERTS:

SSMH #1 : RIM = 7.96
8" RCP INV(W) = 2.36
8" RCP INV(E) = 2.36
8" RCP INV(N) = 2.76
SSMH #2 : RIM = 4.14
8" RCP INV(N) = -2.76

SURVEYOR'S NOTES:

- 1. THE LEGAL DESCRIPTION AS SHOWN HEREON WAS TAKEN VERBATIM FROM OFFICIAL RECORDS BOOK 2167, PAGE 110, AS RECORDED IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- 2. BEARINGS BASED NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET S. HAVING A FIELD MEASURED BEARING OF S67°28'39"W.
- 3. HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD 83), FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
- 4. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AS REFERENCED TO A LOCAL BENCHMARK PUBLISHED BY NATIONAL GEODETIC SURVEY.
- 5. THIS PROPERTY IS LOCATED IN FLOOD INSURANCE RATE MAP (F.I.R.M.), ZONE "X" AND ZONE "X" (0.2 PER CENT ANNUAL CHANCE FLOOD HAZARD), MAP NUMBER 12035C0232E, EFFECTIVE DATE 6/6/2018. APPROXIMATE FLOOD ZONES LINES, SHOWN HEREON, WERE SCALED FROM THE REFERENCED FLOOD INSURANCE RATE MAP.
- 6. THERE MAY BE ADDITIONAL EASEMENTS, RESTRICTIONS AND/OR OTHER MATTERS NOT SHOWN ON THIS SURVEY WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA. NO TITLE WORK HAS BEEN PROVIDED TO THE UNDERSIGNED FOR THIS PARCEL OF LAND OR ADJACENT PARCELS.
- 7. UNDERGROUND FOUNDATIONS AND UTILITIES (IF ANY) NOT SHOWN HEREON.
- 8. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 10/27/2023.
- 9. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR/MAPPER.
- 10. SYMBOLS SHOWN HEREON SUCH AS VALVES AND UTILITY POLES ARE NOT TO SCALE.
- 11. THE PURPOSE OF THIS SURVEY WAS TO LOCATE ON-SITE MAJOR IMPROVEMENTS RELATIVE TO THE OCCUPIED PLATTED BOUNDARY.
- 12. SURVEY ACCURACIES HEREON MEET CURRENT INDUSTRY STANDARDS.
- 13. THE APPARENT, OPEN AND OCCUPIED, 50' RIGHT-OF-WAY FOR S. DAYTONA AVENUE, AS SHOWN HEREON, IS INCONSISTENT WITH THE LEGAL DESCRIPTIONS OF THE SUBJECT AND SURROUNDING PROPERTIES, AS WELL AS RIGHT-OF-WAY MAP #73020-2515, AS PROVIDED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. THE RIGHT-OF-WAY SHOWN HEREON WAS DETERMINED BY THE UNDERSIGNED BASED ON PHYSICAL FIELD LOCATED MONUMENTATION AND CURRENT OCCUPATION.
- 14. PARKING LOT STRIPING, AS SHOWN HEREON, IS OLD, BROKEN AND FADED. THE STRIPING APPEARS TO HAVE BEEN PAINTED MULTIPLE TIMES IN POSSIBLE DIFFERENT CONFIGURATIONS.
- 15. THE SANITARY SEWER LINE RUNNING NORTHERLY ALONG THE WESTERLY SIDE OF S. DAYTONA AVENUE, AS SHOWN HEREON, WAS LOCATED PER EXISTING PAINT MARKS. NO VISIBLE EVIDENCE OF A SANITARY MANHOLE WAS FOUND, OTHERWISE.

CERTIFIED TO:
FLAGLER FISH COMPANY OF 5 LLC

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS PER CHAPTER 5J-17.050 THRU 17.053, FLORIDA ADMINISTRATIVE CODE.

Kenneth J Kuhar
Kuhar
Date: 2023.11.02 07:31:30 -04'00'

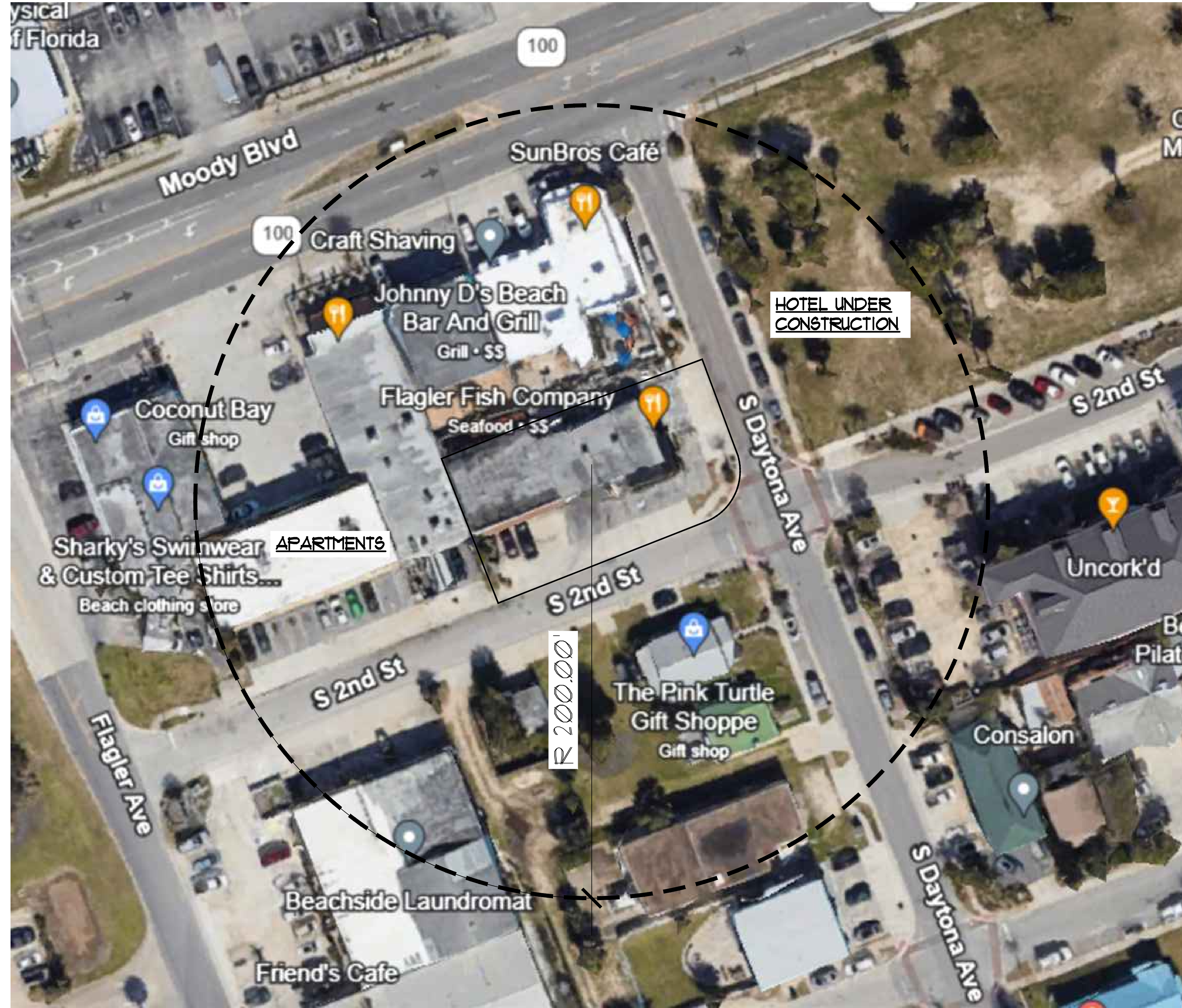
KENNETH J. KUHAR
FLORIDA PROFESSIONAL SURVEYOR/MAPPER #6105

KUHAR SURVEYING & MAPPING, LLC
1501 RIDGEWOOD AVENUE, SUITE 205, HOLLY HILL, FLORIDA 32117
Phone: 386-672-0002 WWW.KUHARSURVEYING.COM
© 2023 KUHAR SURVEYING & MAPPING, LLC
LB 7991

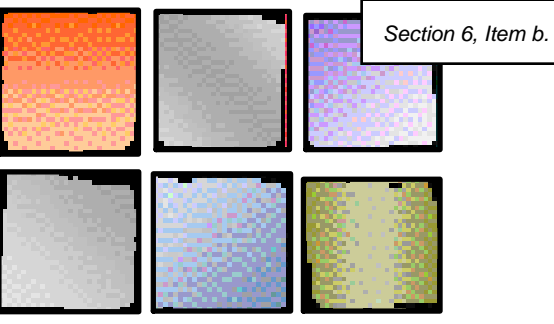
NO	DATE	DESCRIPTION

BOUNDARY AND TOPOGRAPHIC SURVEY
180 S. DAYTONA AVENUE, FLAGLER BEACH, FLORIDA 32156
PREPARED FOR: FLAGLER FISH COMPANY OF 5 LLC

PROJECT NO. K23179
DRAWING REFERENCE NO. K23179 WORKSHEET.DWG
REVISION NO./DATE
ORIGINAL ISSUE DATE 11/2/2023
SHEET 1 OF 1

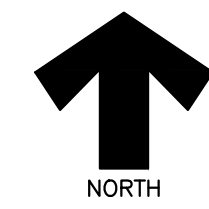


SURROUNDING LAND USE MAP
SCALE: 1" = 30'-0"



JPA

JOSEPH POZZUOLI ARCHITECT
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FLAGLER BEACH, FLORIDA 32136
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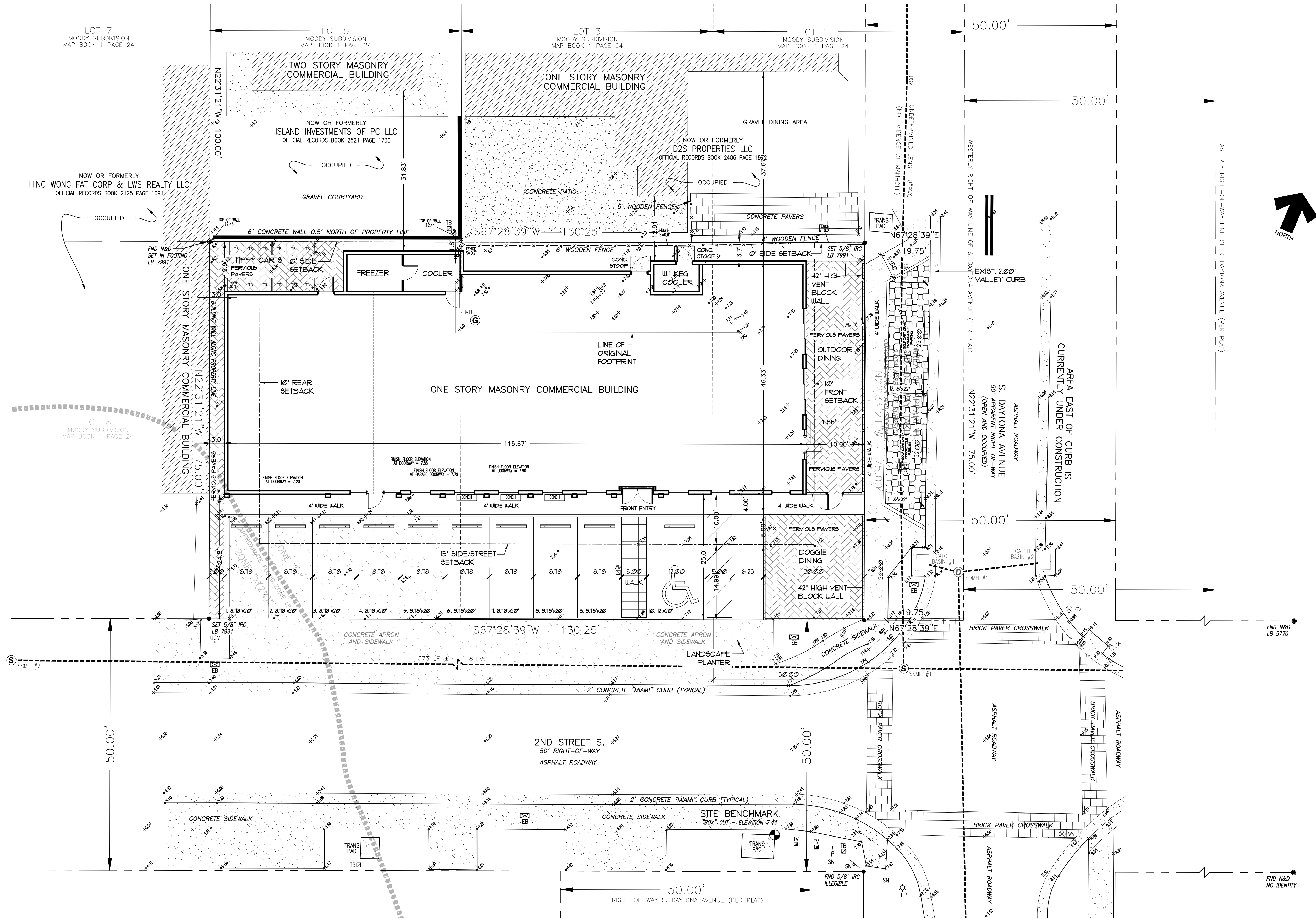
AN ADDITION AND RENOVATION FOR:
FLAGLER FISH COMPANY
180 SOUTH DAYTONA AVE.
FLAGLER BEACH, FL 32136

SURROUNDING LAND USE MAP

REV #	DATE	ISSUE	REV #	DATE	ISSUE
	04.09.24	1ST ISSUE - APPROVAL BOARD			
	05.02.24	2ND ISSUE - OFFICIAL REVIEW PACKAGE			

DATE: 04.09.2024	DRAWN: HMJ
JOB NO.: 223126	CHECKED: JDP





ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

NOTE:
ALL WATER, SEWER, PAVING, AND DRAINAGE ARE
EXISTING AND SHALL REMAIN. SEE SURVEY PROVIDED.

SETBACKS	SITE DATA	SITE PARKING CALCULATIONS
FRONT SETBACK: 10'-0"	TOTAL LOT SQUARE FEET = 9,169 SQ.FT. (100%)	PARKING REQUIRED: 1 SPACE FOR EVERY 150 SQ. FT. TOTAL FLOOR AREA
REAR SETBACK: 10'-0"	ALLOWABLE IMPERVIOUS = 8,192 SQ.FT. (90%)	
STREET SETBACK: 15'-0"	EXIST. BLDG = 3,151 SQ.FT.	EXISTING PARKING:
SIDE SETBACK: 0'-0"	EXIST. PARKING/WALKS/ETC. = 5,449 SQ.FT.	SPACES REQUIRED: +/- 3,651 SQ. FT. / 150 = 24 SPACES REQUIRED
	EXIST. IMPERVIOUS TOTAL = 9,206 SQ.FT. (94%)	SPACES PROVIDED: +/- 10 SPACES EXISTING ON SITE
PROPERTY INFO:	EXIST. GREEN TOTAL = 663 SQ.FT. (06%)	PROPOSED PARKING:
ZONED: GENERAL COMMERCIAL	NEW BLDG = 5,191 SQ.FT.	SPACES REQUIRED: +/- 5,120 SQ. FT. / 150 = 38 SPACES REQUIRED
OVERLAY DISTRICT: CRA	NEW PARKING/WALKS/STOOPS/ETC. = 2,782 SQ.FT.	SPACES PROVIDED: 10 SPACES ON SITE
FLUME: COMMERCIAL	NEW IMPERVIOUS TOTAL = 7,912 SQ.FT. (82%)	- 9 STANDARD SPACES
	NEW PERVIOUS PAVERS (REAR & SIDE) = 458 SQ.FT.	- 1 ADA SPACE
	NEW PERVIOUS PAVES DINING = 954 SQ.FT.	- 2 CITY SPACES 8' X 22' PARALLEL (GOLF CARTS & MOTORCYCLES)
	GREEN AREAS = 384 SQ.FT.	PARKING POOL REQ: 28 SPACES
	NEW PERVIOUS AREA = 1,196 SQ.FT. (18%)	

Section 6, Item b.

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AN ADDITION AND RENOVATION FOR:
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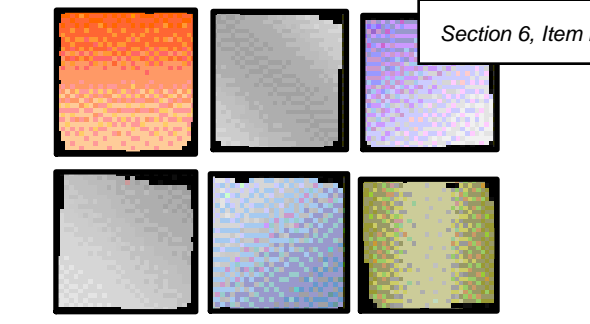
ARCHITECTURAL SITE PLAN

REV #	DATE	ISSUE:
1	4.02.24	1ST ISSUE - APPROVAL LEAD
2	5.02.24	2ND ISSUE - OFFICIAL REVIEW PACKAGE

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04.09.2024	HMJ

JOB NO.:	CHECKED:
223126	JDP

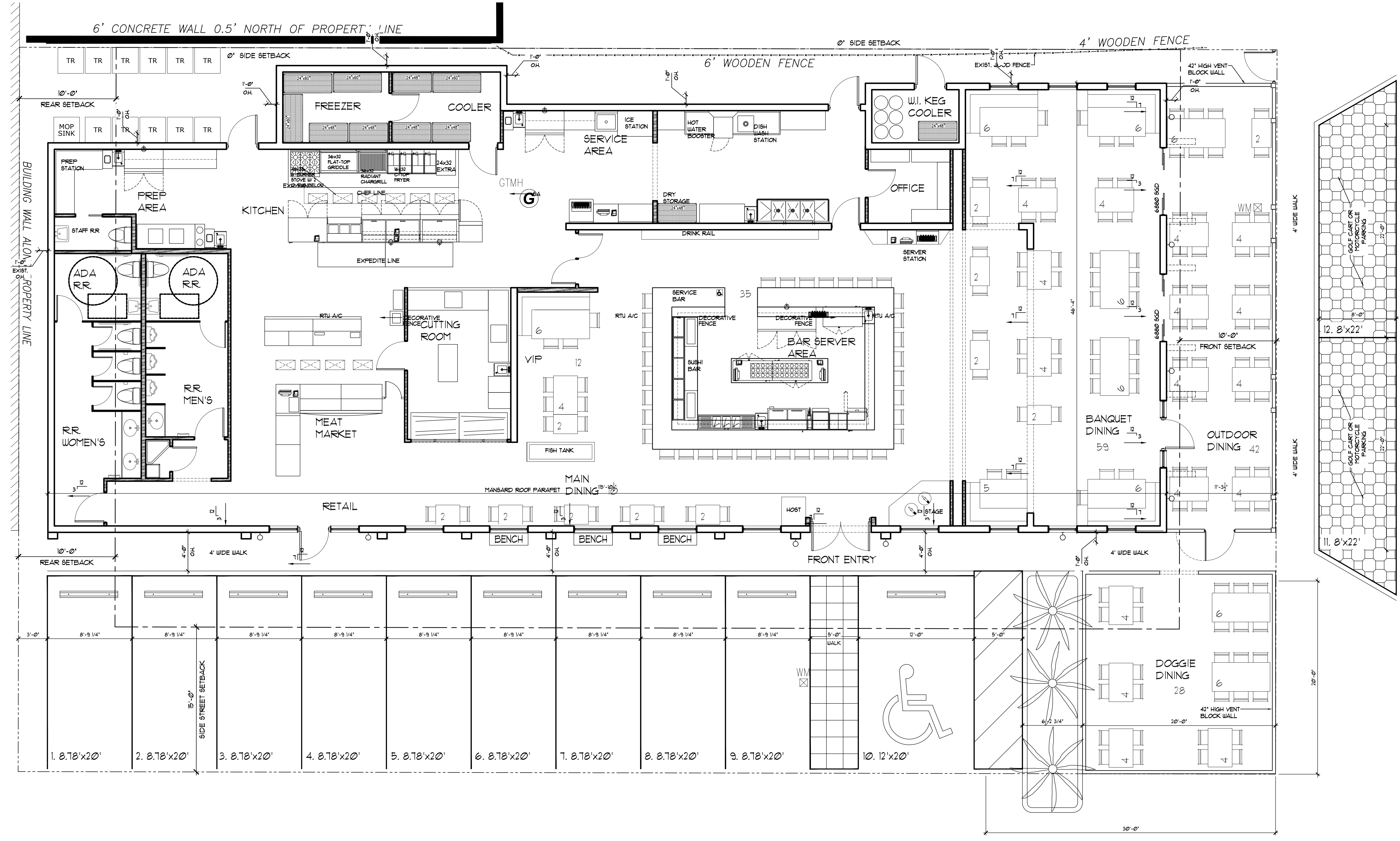
SP-1



Section 6, Item b.

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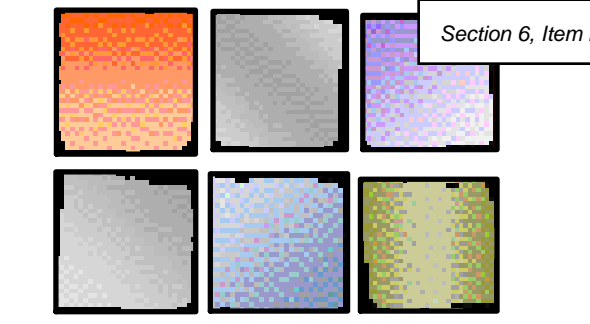
A N ADDITION AND RENOVATION FOR:
FLAGLER FISH COMPANY
 180 SOUTH DAYTONA AVE.
 FLAGLER BEACH, FL 32136

FLOOR PLAN			
REV #	DATE	ISSUE	ISSUE
1	4.08.24	FIRST ISSUE - APPROVAL BOARD	
2	5.02.24	2ND ISSUE - OFFICIAL REVIEW PACKAGE	

DATE: 04.08.2024	DRAWN: HMJ
JOB NO.: 223126	CHECKED: JDP

A-1

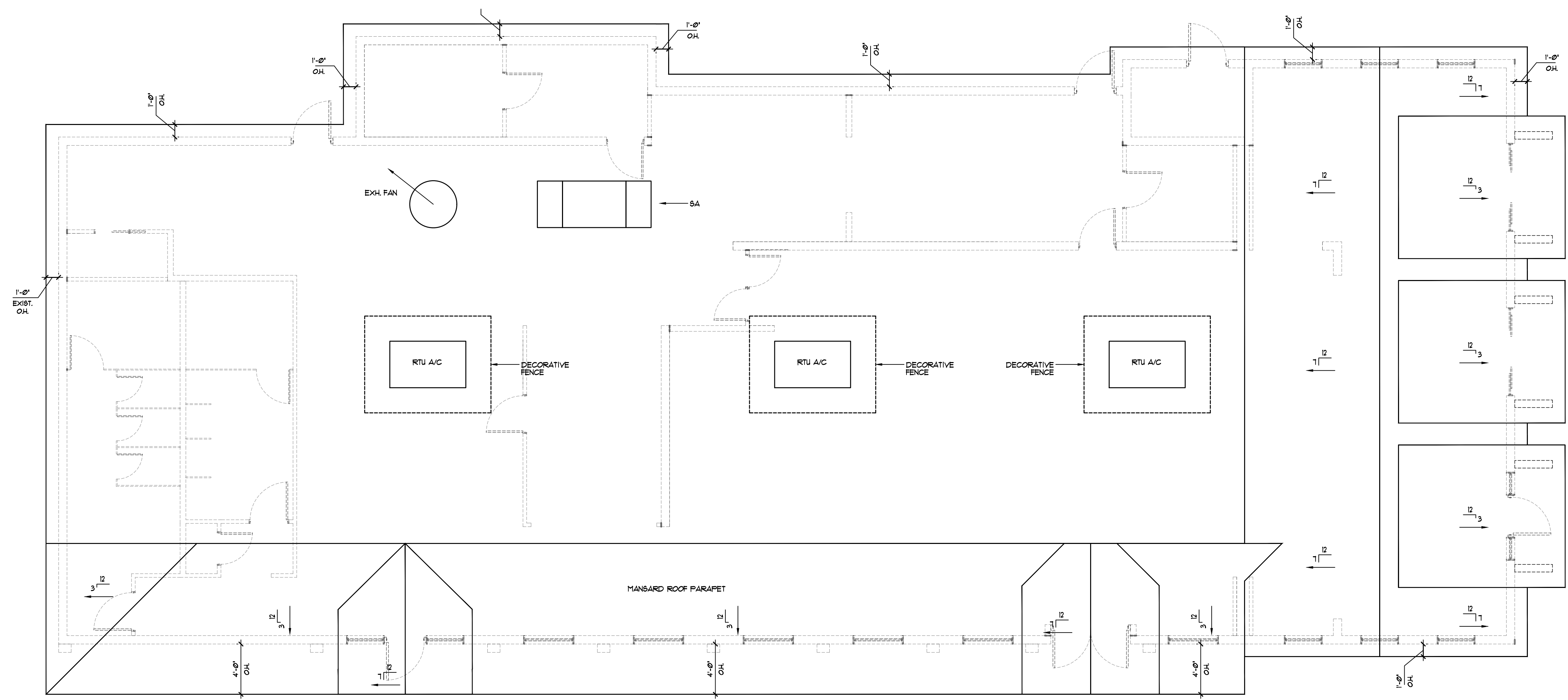
PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"



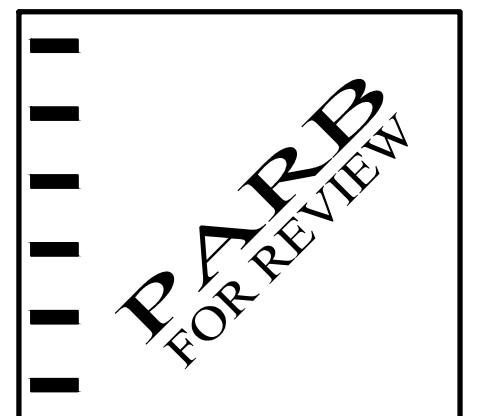
Section 6, Item b.

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PROPOSED ROOF PLAN
 SCALE: 3/16" = 1'-0"

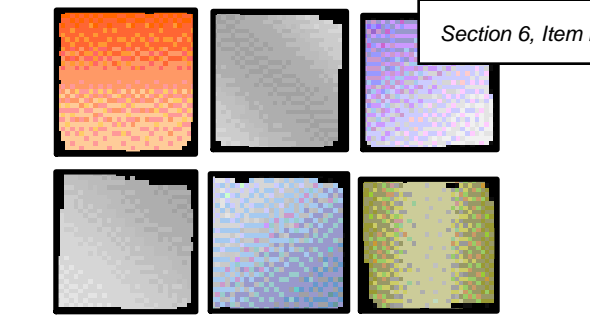


A N ADDITION AND RENOVATION FOR:
FLAGLER FISH COMPANY
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 FLAGLER BEACH, FL 32136

ROOF PLAN		REV #	DATE	ISSUE:
		1	4.09.24	FIRST ISSUE - APPROVAL BOARD
		2	5.02.24	2ND ISSUE - OFFICIAL REVIEW PACKAGE

DATE: 04.09.2024	DRAWN: HMJ
JOB NO.: 223126	CHECKED: JDP

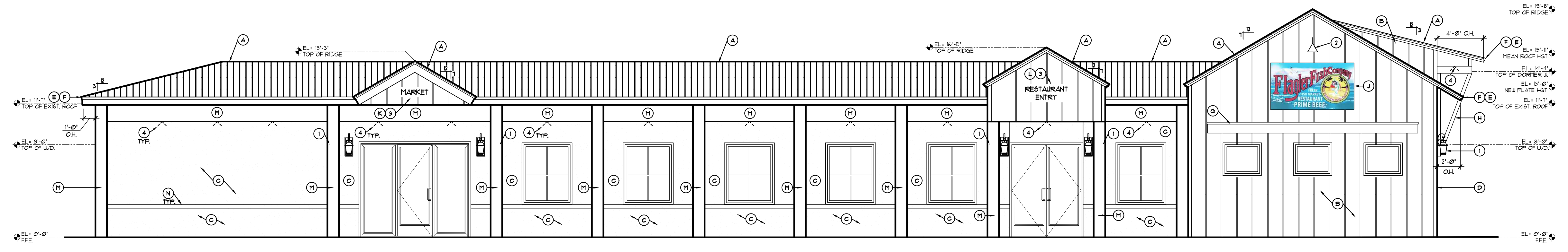
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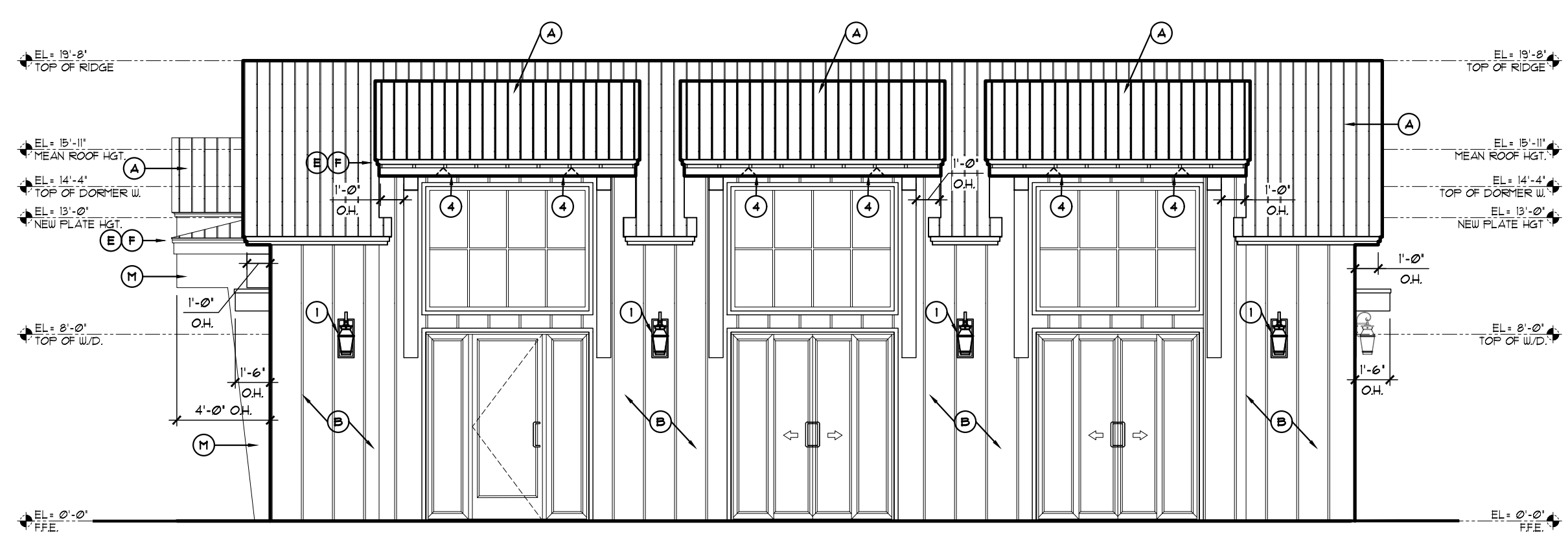
Section 6, Item b.

JPA

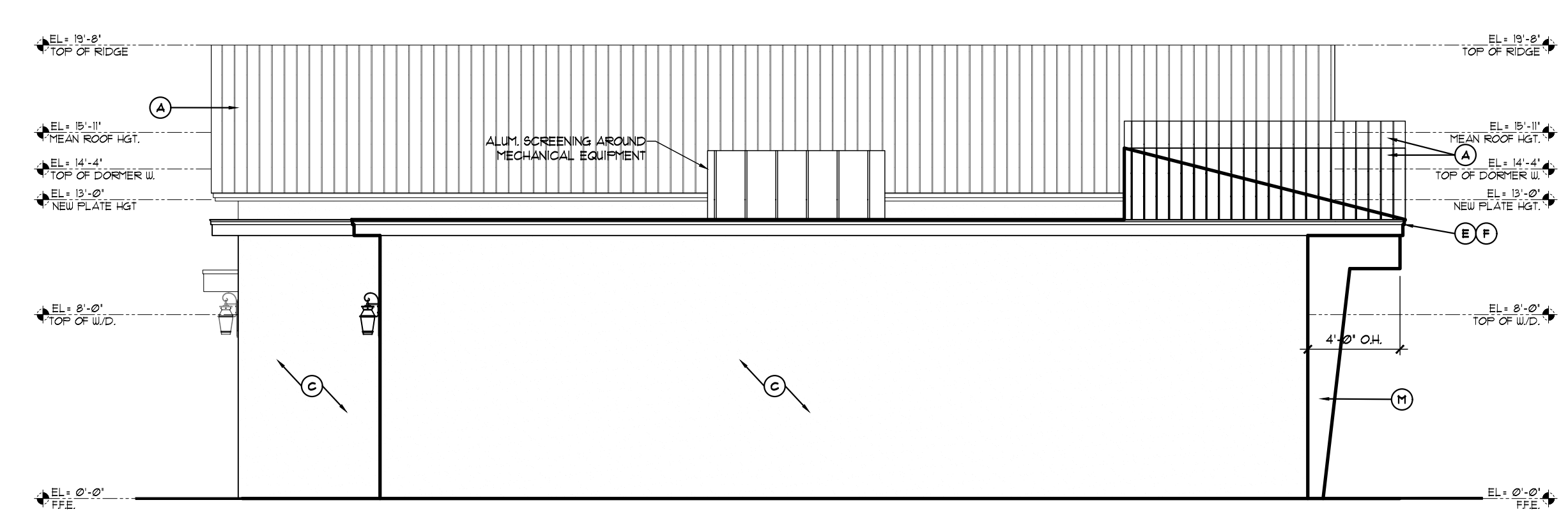
JOSEPH POZZUOLI ARCHITECT
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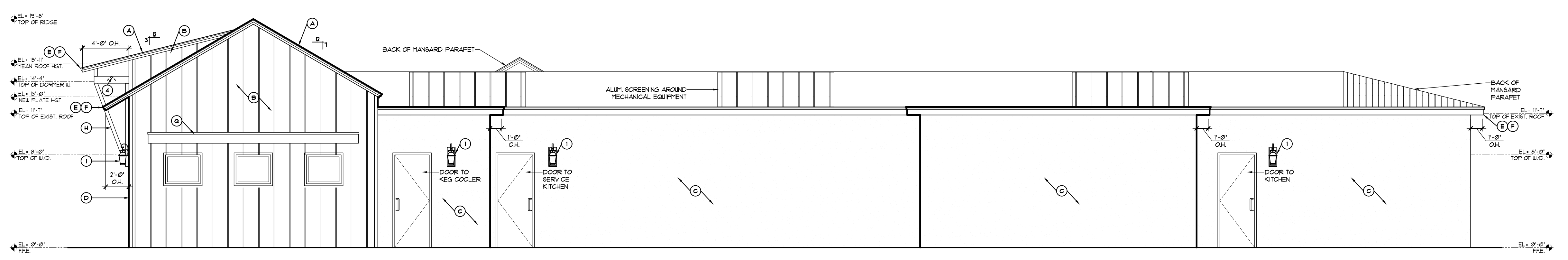
STREET/SIDE ELEVATION (SOUTH)
 SCALE: 3/16" = 1'-0"



FRONT ELEVATION (EAST)
 SCALE: 3/16" = 1'-0"



REAR ELEVATION (WEST)
 SCALE: 3/16" = 1'-0"



SIDE ELEVATION (NORTH)
 SCALE: 3/16" = 1'-0"

- EXTERIOR LIGHTING**
- 1 SCOTCH
 - 2 GOOSENECK SIGN LIGHT
 - 3 BACKLIT SIGNAGE
 - 4 RECESSED DOWNLIGHT

- BUILDING MATERIALS**
- A METAL ROOF
 - B BOARD AND BATTEN
 - C SMOOTH STUCCO FINISH
 - D 4" CORNER TRIM
 - E PAINTED FASCIA
 - F DRIP EDGE TO MATCH ROOF
 - G CYPRESS EYEBROW W/ 2" OH.
 - H CYPRESS KNEE BRACE
 - J MAIN RESTAURANT SIGN
 - K MARKET SIGNAGE (BACKLIT)
 - L ENTRY SIGNAGE (BACKLIT)
 - M DECORATIVE COLUMN
 - N 4" STUCCO BANDING

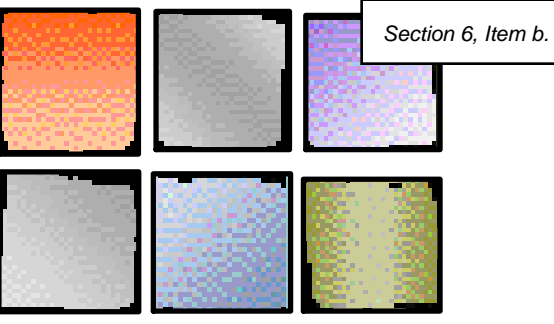
AN ADDITION AND RENOVATION FOR:
FLAGLER FISH COMPANY
 180 SOUTH DAYTONA AVE.
 FLAGLER BEACH, FL 32136

EXTERIOR ELEVATIONS

REV #	DATE	ISSUE
1	4.08.24	1ST ISSUE - APPROVAL LEAD
2	5.02.24	2ND ISSUE - OFFICIAL REVIEW PACKAGE

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A-3



Section 6, Item b.

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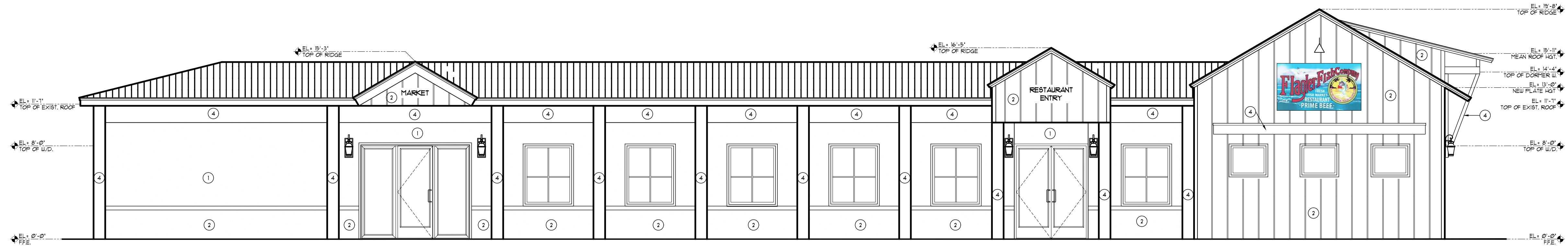
A/N ADDITION AND RENOVATION FOR:
FLAGLER FISH COMPANY
 180 SOUTH DAYTONA AVE.
 FLAGLER BEACH, FL 32136

**EXTERIOR ELEVATIONS
 COLOR SELECTION**

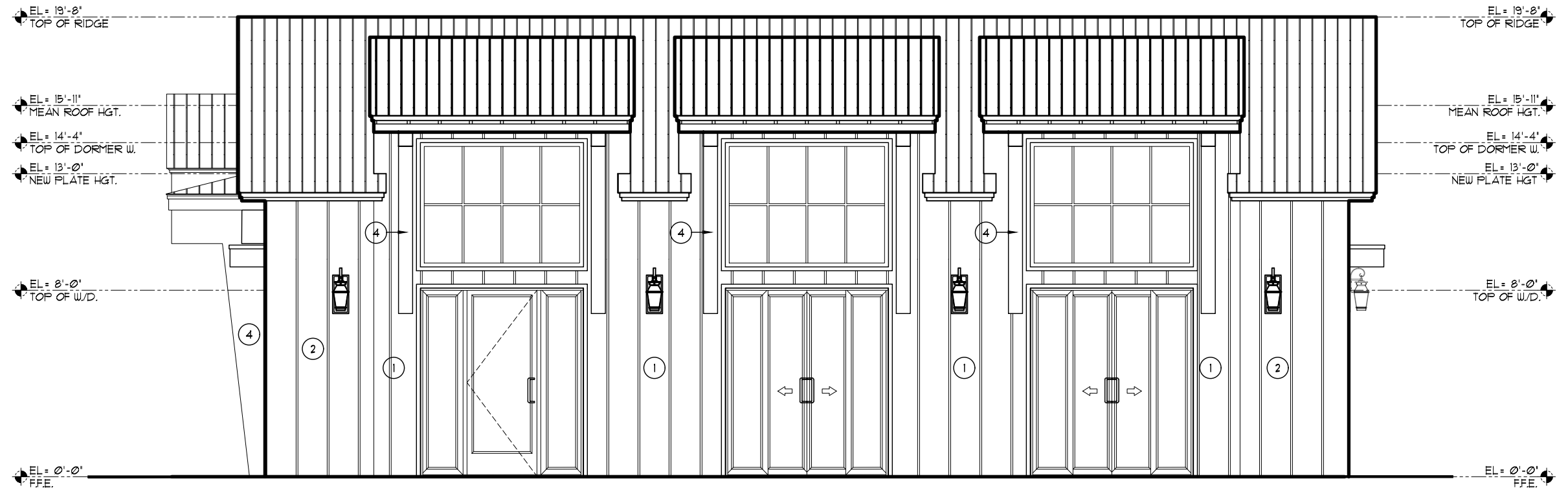
REV #	DATE	ISSUE:
4	08.24	FIRST ISSUE - APPROVAL LOAD
5	02.24	2ND ISSUE - OFFICIAL REVIEW PACKAGE

DATE: 04.09.2024	DRAWN: HMJ
JOB NO.: 223126	CHECKED: JDP

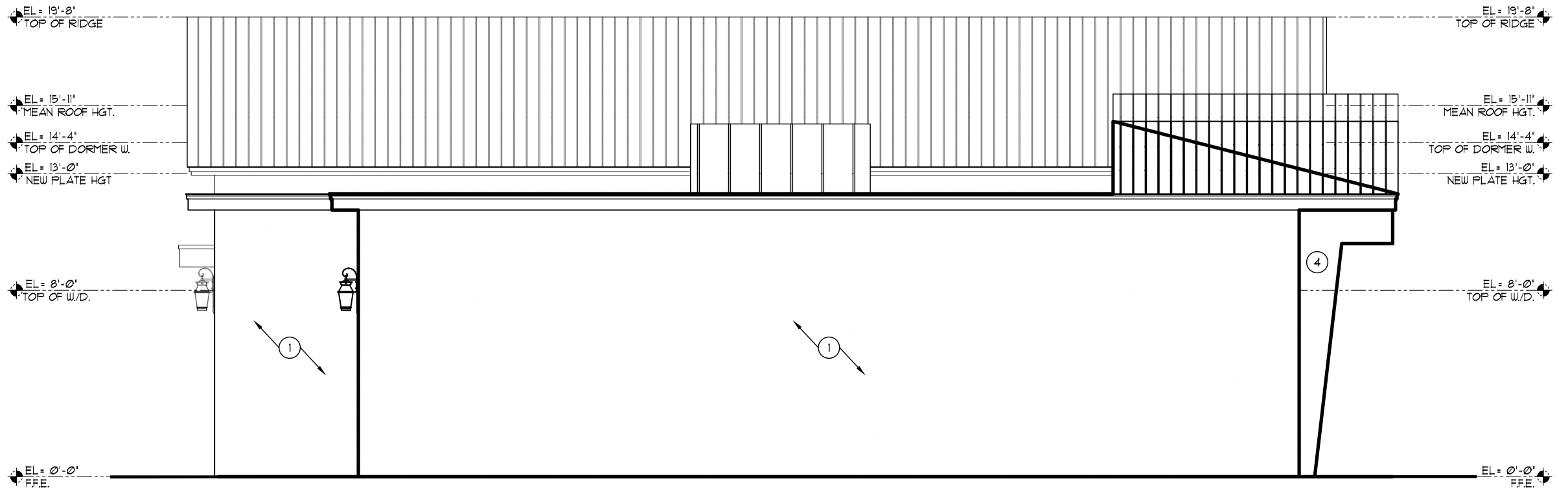
A-4



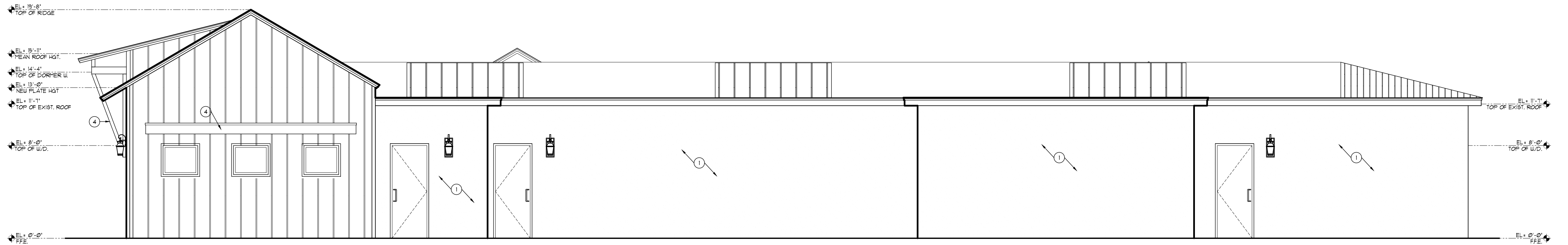
STREET/SIDE ELEVATION (SOUTH)
 SCALE: 3/16" = 1'-0"



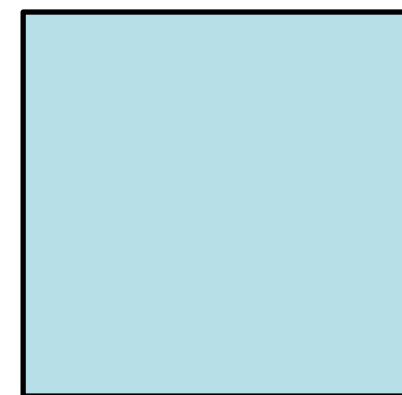
FRONT ELEVATION (EAST)
 SCALE: 3/16" = 1'-0"



REAR ELEVATION (WEST)
 SCALE: 3/16" = 1'-0"



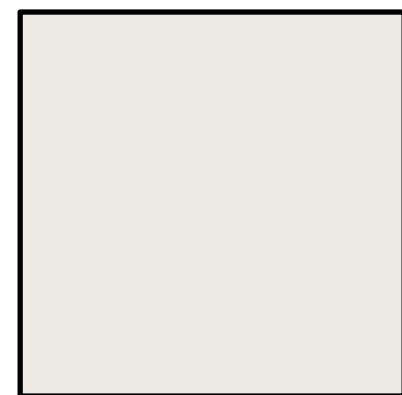
SIDE ELEVATION (NORTH)
 SCALE: 3/16" = 1'-0"



1. PRIMARY BODY
 SW 6792
 MINOR BLUE
 LRV 68 (LIGHT)



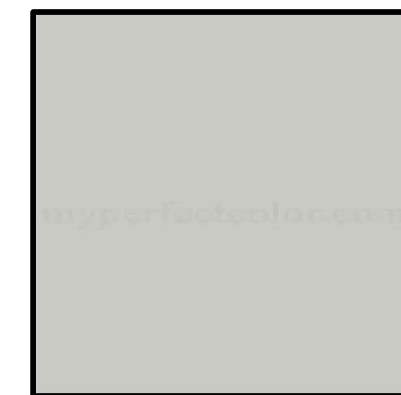
2. SECONDARY BODY
 SW 6781
 FOUNTAIN
 LRV 39 (MEDIUM)



3. TRIMS
 TYP. ALL FASCIAS
 SW 7004
 SNOWBOUND
 LRV 83 (LIGHT)



4. WOOD ACCENTS
 CYPRESS



5. METAL ROOF
 PAC-CLAD
 SILVERSMITH
 KYNAR 500



Rendering -1
 Project # - 223126

AN ADDITION & RENOVATION FOR
FLAGLER FISH COMPANY
 180 S. DAYTONA AVE., FLAGLER BEACH, FL



JPA
 Joseph Pozzuoli Architect, P.A.
 314 Moody Blvd.
 Flagler Beach, FL 32136
 AA26003787



Rendering - 2
 Project # - 223126


AN ADDITION & RENOVATION FOR
FLAGLER FISH COMPANY
 180 S. DAYTONA AVE., FLAGLER BEACH, FL


JPA
 Joseph Pozzuoli Architect, P.A.
 314 Moody Blvd.
 Flagler Beach, FL 32136
 AA26003787



Rendering - 3
 Project # - 223126

AN ADDITION & RENOVATION FOR
FLAGLER FISH COMPANY
 180 S. DAYTONA AVE., FLAGLER BEACH, FL


JPA
 Joseph Pozzuoli Architect, P.A.
 314 Moody Blvd.
 Flagler Beach, FL 32136
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ORDINANCE NO. 2024-_____

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING APPENDIX "A", LAND DEVELOPMENT REGULATIONS, ARTICLE II, ZONING; AMENDING SECTION 2.04.02.9.1 RELATED TO BARRIER ISLAND RESIDENTIAL DEVELOPMENT STANDARDS; AMENDING LOT AREA, DENSITY, AND LOT WIDTH REQUIREMENTS; PROVIDING FOR INCLUSION IN THE CODE OF ORDINANCES; PROVIDING FOR CONFLICTS; PROVIDING AN EFFECTIVE DATE HEREOF.

WHEREAS, the City continues to review and update its Land Development Regulations;

and

WHEREAS, as the City implements adjustments it is able to see the impacts of such adjustments and address potential unforeseen conflicts; and

WHEREAS, in 2022 and 2023, the City made adjustment to the Section 2.04.02.9.1 related to barrier island development standards; and

WHEREAS, the City has observed that the dimensional and density requirements of said adjustments may cause new development to develop in a manner inconsistent with existing development on the barrier island; and

WHEREAS, the Planning and Architectural Review Board and City Commission have considered this issue and determined that there is benefit it preserving some aspects of the existing development patterns on the barrier island; and

WHEREAS, to that end, the City Commission, after recommendation by the Planning and Architectural Review Board finds the amendments included herein to be in the best interest of the City and its residents.

28 NOW THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FL

29 BEACH, FLORIDA, AS FOLLOWS:

30 SECTION ONE. The findings set forth in the recitals above are hereby adopted as
 31 legislative findings of the City Commission pertaining to this Ordinance.

32 SECTION TWO. Appendix A - Land Development Regulations, Section 2.04.02.9.1 is hereby
 33 amended as follows (note, underlined text notates additions, strikethrough text notates
 34 deletions, and ellipses (***) notate text which remains unchanged and is not reprinted here:

35 Section 2.04.02.9.1 - BARRIER ISLAND DEVELOPMENT STANDARDS TABLES.

36 A. RESIDENTIAL DIMENSIONAL STANDARDS

<u>BARRIER ISLAND</u>			
<u>RESIDENTIAL DEVELOPMENT DIMENSIONAL STANDARDS</u>			
DEVELOPMENT STANDARD	ZONING DISTRICT		
	LOW DENSITY RESIDENTIAL [1]	MEDIUM DENSITY RESIDENTIAL [1]	HIGH DENSITY RESIDENTIAL
Minimum Lot Area (sq. ft.) [1, 2]	6,000 <u>5,000</u> Except Lots of record	7,260-5,000	9,000 <u>10,000</u>
Density/Sq. Ft. Per Dwelling Unit Single family Minimum Density Per Dwelling Unit	6,000 3,000 Duplex <u>2 Dwelling Units Per Acre</u>	2,400 <u>5 Dwelling Units Per Acre</u>	2,400 <u>18 Dwelling Units Per Acre</u>
Maximum Density (units/acre)	<u>75</u>	18	20
Minimum Lot Width at Building Setback (ft.)	50	75 <u>50</u>	100
Front Setback (ft.) [3, 4, 5]	20	20	25
Side Setback (ft) [5, 8]	10% lot width	10%	15%
Interior side			
Street Side (ft) [8]	10	15	15
Rear Setback [6]	10	20	25
Maximum Impervious Surface Ratio (%) (ISR) [9]	65 50 Flood Plain	60 50 Flood Plain	60 50 Flood Plain
Building Height (Ft.) [10]	35	35	35
<i>Rounding Off: When calculating unit density is other than a whole number, the total number of units shall not be rounded to the nearest whole number (e.g. 5.65 u.p.a. = 5 u.p.a./5.35 = 5 u.p.a.).</i>			
FOOTNOTES: Confirm location in Mixed Use District — See Downtown Design Guidelines Mixed Use Overlay District character area development standards.			
1 Duplex - 3,000SFT.			

BARRIER ISLAND			
<u>RESIDENTIAL DEVELOPMENT DIMENSIONAL STANDARDS</u>			
DEVELOPMENT STANDARD	ZONING DISTRICT		
	LOW DENSITY RESIDENTIAL [1]	MEDIUM DENSITY RESIDENTIAL [1]	HIGH DENSITY RESIDENTIAL
2	Binding Lots - In all residential zoning districts, landowners may combine one (1) or more lots of records for development purposes. All setbacks shall be computed from the perimeter of new lot boundaries.		
3	Except for properties along Oceanshore Boulevard where the front setback shall be twenty-five (25) feet.		
4	See Sec. 2.05.03.3 Single Family Residential Front Yard Setback Exception.		
5	Irregular shaped lot side setbacks shall be established by noting the mid-point of each side lot line; the setback dimension shall be determined by measuring the distance between the respective side lot line mid-points.		
6	Double street frontage lots (Through Lots) shall apply the same setback to each street frontage or as provided herein.		
7	Single family residential dwellings - when allowed in a more intense residential zoning district (e.g. MDR), shall adhere to the single-family residential development standards.		
8	Twenty feet required; garage or like structure.		
9	See Sec. 5.03.121. - Definitions. Impervious surfaces		
10	See Sec. 2.05.06.2 Building Height Measurement.		

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SECTION THREE. It is the intent of the City Commission of Flagler Beach, and is hereby provided that the provisions of this ordinance shall be made a part of the Flagler Beach Code; that the sections of this ordinance may be re-numbered or re-lettered; and that the word “ordinance” may be changed to “section”, “article”, “chapter” or other appropriate designation to accomplish such intention.

SECTION FOUR. All ordinances or parts of ordinances in conflict herewith be and the same are hereby repealed.

SECTION FIVE. This ordinance shall take effect immediately upon passage as provided by law.

PASSED ON FIRST READING THIS _____ DAY OF _____, 2024.
PASSED AND ADOPTED THIS _____ DAY OF _____, 2024.

CITY OF FLAGLER BEACH, FLORIDA
CITY COMMISSION

Patti King, Mayor

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ATTEST:

Section 6, Item c.

Penny Overstreet, City Clerk