



PLANNING AND ARCHITECTURAL REVIEW BOARD MEETING AGENDA

Tuesday, August 06, 2024 at 5:30 PM

City Commission Chambers – 105 S. 2ND Street, Flagler Beach, FL 32136

ALL MEETING ITEMS WILL BE CONTINUED UNTIL MEETING IS COMPLETE.

1. **Call the meeting to order**
2. **Pledge of Allegiance**
3. **Roll Call / Determination of Quorum**
4. **Approval of Meeting Minutes**
 - a. July 2, 2024
5. **Old Business**
 - a. AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING APPENDIX A, LAND DEVELOPMENT REGULATIONS, ARTICLE II, ZONING, SECTION 2.05.06, "HEIGHT REGULATIONS," OF THE CODE OF ORDINANCES; AMENDING THE ALLOWED EXCEPTIONS TO THE THIRTY-FIVE FOOT HEIGHT LIMITATION; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE
6. **New Business**
 - a. Application OE-24-08-01 – 105 N. Ocean Shore Blvd, Unit E. - Annual Outdoor Entertainment Permit, Flagler Sun and Seed, Applicant Truly Gil.
7. **Board Comments**
8. **Other Business**
 - a. City Planner Report
 - Signage for Compass by Margaritaville Hotel
 - Gridics Software update
9. **Adjournment**

RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decision the Commission makes about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript. The City is not responsible for any mechanical failure of the recording equipment. In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext 233 at least 72 hours prior to the meeting. The City Commission reserves the right to request that all written material be on file with the City Clerk when the agenda item is submitted.



PLANNING AND ARCHITECTURAL REVIEW BOARD MEETING MINUTES

Tuesday, July 02, 2024 at 5:30 PM

City Commission Chambers – 105 S. 2ND Street, Flagler Beach, FL 32136

ALL MEETING ITEMS WILL BE CONTINUED UNTIL MEETING IS COMPLETE.

1. Call the meeting to order

Chairman Joseph Pozzuoli called the meeting to order at 5:37pm.

2. Pledge of Allegiance

Lisa Smith led the Pledge of Allegiance.

3. Roll Call / Determination of Quorum

Present: Chairman Joseph Pozzuoli, Vice-Chairman Marshall Shupe, Joann Soman, Scott Chappuis, Lisa Smith

Absent: Paul Chestnut, Brenda Wotherspoon

Staff Present: Attorney Drew Smith and Secretary Michele Ficocello

4. Approval of Meeting Minutes - May 7, 2024

- a. Joann Soman - Typo on page 4 of 4, "Vice Chairman Marshall Shupe motioned to adjourned meeting." Incorrect grammar, adjourned should be adjourn.

Chairman Pozzuoli - Page 3 of 3. "Joann Soman seconded the motion." Chairman Pozzuoli thought the motion was to deny and could not find where the motion was made. Lisa Smith pointed out the motion was made by Brenda Wotherspoon to table the final site plan, but was out of order being further up the page in the minutes.

Joann Soman motioned to approve the minutes as amended. Marshall Shupe seconded the motion. Motion passed unanimously.

5. Old Business - NONE

6. New Business

- a. **Application PFS24-0001:** Conceptual Site Development Plan - Request to construct a residential rental community consisting of twenty-two coastal cottages.

Parcel ID No.: 11-12-31-0650-000D0-0050

Zoning District: General Commercial (GC)

FLUM: Medium Density Residential (MDR)

Owner: ALT Homes LLC, T.J. McNitt - 3371 N State St, Unit 1, Bunnell, FL 32110

Applicant: ALT Homes LLC, Katie Crooke, Representative - 3371 N State St, Unit 1, Bunnell, FL 32110

Representatives for ALT Homes, LLC were present. City Planner Lupita McClenning introduced the item along with a power point presentation. This application had previously gone before the Board at the May 2, 2024 meeting. Based on the Board comments at that meeting, the Applicant choose to modify the elements of their site plan and submit a new conceptual site plan for the Board's consideration. The City Planner met with the Applicant prior to this meeting. At the initial meeting,

the site plan did not meet the requirements for parking. A revised site plan was submitted to reflect the compliance with parking requirements. This revised plan was not included with the meeting agenda packet, but was provided to the Board at the meeting. The initial site plan in the agenda packet reflected 1.5 parking spaces per unit. The revised site plan reflects 2 parking spaces per unit. The next step for the Applicant is to submit a final site plan and meet with the City Staff for technical review.

Chairman Pozzuoli opened Board discussion.

Scott Chappuis - no questions at this time.

Brenda Wotherspoon submitted comments via email to the Secretary:

Legacy Pointe Cottages – I apologize for any oversights as it is difficult viewing on my laptop.

1. Wasn't able to find the mailbox station. Should have parking and/or easy access for carrier and residents alike.
2. Strongly suggest a 'dog walk' area for the health and safety of the residents. Wouldn't need to be any larger than a hotel designated area. Even if the intention is 'no pets', there are always those who skirt the community rules using loose emotional support, etc. laws.
3. The entries are tight with respect to oncoming traffic, pedestrians and bicyclists. Would suggest stop signs at both entry and exit points at Leslie and Joyce for safety. Sat in leasing and sales offices for 25 years and watch the hurried way folks enter and leave communities – let's try to slow down the traffic via design.
4. Pleased to see Joyce Street will be paved. However, the applicant speaks of children who will need safe passage to John Anderson and beyond should the school bus stop be located there. Coupled with the retired pedestrians and electric wheel chairs coming out of the neighboring community, an increased presence of sanitation trucks, existing single family home driveways along the route, etc., we need to address a sidewalk on Leslie Street (or Joyce). Is there a way to fund this? Whether grants, splitting the cost, etc., this needs to be considered for everyone's safety. Apologize if I missed this being addressed already.

Joann Soman - addressed the mailbox concern referenced in Brenda Wotherspoon's submitted comments.

Chairman Pozzuoli requested the Applicant come up to the podium for their presentation. Katie Crooke, representative for ALT Homes, LLC spoke. Ms. Crooke stated the previous site plan submitted in May was approved and they could have moved forward had they wanted to. They modified the site plan after careful consideration for the Board's comments and for the City's overall vision. Ms. Crooke provided a rendering to the Board as a visual aid. The cottages will be long term rentals, not short term rentals. The vision is to be family and community orientated. After Joann Soman asked, Ms. Crooke explained the mailbox placement has not been determined, but might be up towards the northside. There is also space on the southside. Ms. Crooke referenced the project benefits letter which was provided in the agenda packet to the Board (page 30). ALT Homes, LLC representative Harry Newkirk spoke and detailed the benefits letter (page 30 in the agenda packet). Mr. Newkirk explained the mailbox will be centralized and a mail kiosk. Other benefits will include the paving of Joyce Street, units will have private yards, appropriate for residents of all ages, greenspaces, improved stormwater plan and one story units blend better with surrounding homes.

Scott Chappuis - inquired about only 2 handicap spaces for 22 units. Mr. Newkirk explained the rule in Florida is 1 space per 25 units.

Joann Soman - no questions, the concept is pretty and preferred over the last concept.

Lisa Smith - likes the project.

Marshall Shupe - inquired about handicap accessibility. Applicants responded that 1 parking space would be designated per unit. Vice-Chairman Shupe really likes the project, but did have concerns over accessibility for first responders. City Planner explained these concerns can be worked out during the technical review of the final site plan. Applicant explained there will be more fire hydrants due to the modification of the conceptual plan. Vice-Chairman Shupe expressed concerns over the occupancy and make-up of the residents that this project would be catering to. Applicant stated they are gearing this project towards workforce housing.

Chairman Joseph Pozzuoli - thinks it is a very nice project and it is one story instead of three. Chairman Pozzuoli was curious about the elevation. The landscaping is extensive. Inquired about a safety fence along the perimeter of the pond. Applicant stated there will be a retaining wall and open rail fence. Chairman Pozzuoli inquired about a sidewalk being put in. Applicant stated that a sidewalk was not part of this project. City Planner stated this can be discussed later at the technical review.

Vice-Chairman Shupe - inquired about signage. City Planner stated that will be worked out in technical review.

b. Application PSPR24-0002: Final Site Plan Approval – Restaurant renovation and addition request.

Parcel ID No.: 12-12-31-4500-00490-0020

Zoning District: General Commercial (GC)

FLUM: Commercial

Owner: Flagler Fish Company of 5 LLC, Carolyn Casper – 180 S Daytona Ave., Flagler Beach, FL 32136

Applicant: Joseph Pozzuoli Architect – 314 Moody Blvd, Flagler Beach, FL 32136

Chairman Pozzuoli recused himself due to a voting conflict on this item. Chairman Pozzuoli is the applicant on behalf of the owner for this item (Form 8B attached to minutes and was distributed to the Board prior to the meeting). Gavel was passed to Vice-Chairman Shupe.

City Planner Lupita McClenning introduced the item along with a power point presentation. This item came before the Board previously on November 14, 2017 and was denied due to parking space non-compliance. Ordinance 2018-03 was passed by the City Commission February 22, 2018 establishing a parking pool which now brings the item into compliance.

Scott Chappuis - concern over exhausting the parking pool. City Planner explained they are taking 28 spaces, but that will not exhaust the parking pool. Mr. Chappuis likes the project.

Applicant Joseph Pozzuoli presented on behalf of the Applicant. Mr. Pozzuoli explained the City has a plan for angled parking in the future. City Attorney directed the Board to page 37 of agenda packets to clarify the concerns of exhausting the parking pool.

Brenda Wotherspoon submitted comments via email to the Secretary:

Flagler Fish Company

What a wonderful addition!

1. Love the addition of the 3 palm trees shown in the median separating the car park from the outdoor doggie dining. With the limited amount of trees and greenspace presently on the entire block, could we suggest the 'golf cart' parking area include some type of green relief? Even one tree or two to frame the space would cool the outdoor eating area and lesson the intensity of the hardscape. At minimum a planter or two along Daytona.

Joann Soman - no comments or questions.

Lisa Smith - no comments or questions.

Vice-Chairman Shupe opened public comment.

Caryn Miller, CRA Director - project meets CRA standards and she is all for it.

Vice-Chairman Shupe closed public comment.

Joann Soman motioned to approve Application PS24-0002 Final Site Plan. Lisa Smith seconded the motion. Motion passed unanimously.

- c. **ORDINANCE 2024 - XX** - AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING THE CITY OF FLAGLER BEACH LAND DEVELOPMENT REGULATIONS, ARTICLE II, ZONING; AMENDING SECTION 2.04.02.9.1 (A) RELATED TO RESIDENTIAL DIMENSIONAL STANDARDS.

Gavel passed to Chairman Pozzuoli.

City Attorney presented item. Former City Planner Larry Torino suggested further modifications to the table (page 74 of agenda packet) including a strikethrough of the first two rows, "minimum lot area" and "density per square foot." If those are taken out, footnote one would be attached to the fourth row "minimum lot width." City Planner explained most of the platted lots in the City are 50 foot. Some lots were subdivided and did not go through the Board, only recorded with the Property Appraiser. After a disaster, a structure would need to be rebuilt according to the building code and the current regulatory code. According to the current code, the minimum lot width is 75 feet. This proposed ordinance would align the code with the current platted lots. Should there be a disaster, this alignment will assist in recovery and rebuilding efforts.

Chairman Pozzuoli - if there was a hurricane, would the current code effect the owner's ability to rebuild? City Attorney clarified in a disaster recovery effort, with the existing code, there would be more hoops for a lot of record to get through in order to rebuild and a subdivided lot would definitely have a problem rebuilding.

Scott Chappuis - if this makes it easier for recovery after a disaster, then it is necessary.

Joann Soman - no comments or questions.

Lisa Smith - no comments or questions.

Vice-Chairman Shupe - had questions about the chart calculations. Why such a big jump between low density and medium density. City Planner stated that is a great question, but the information comes straight out of the City's code and reflects the goals/visions of the City's Comprehensive Plan at the time the code was written. City Attorney recommended coming at it from another angle as this is a low density/medium density community and that is why you see such a big jump to high density.

City Attorney recommend motion to approve as amended by his earlier comments

Vice-Chairman Shupe motioned to approve as amended. Joann Soman seconded.

Chairman Pozzuoli opened public comment, seeing none, public comment was closed.

Motion passed unanimously.

7. Board Comments

Earlier in the meeting, prior to the presentation of Application PFS24-001, Chairman Pozzuoli welcomed the new City Planner Lupita McClenning.

Chairman Pozzuoli - addressed City Planner regarding packets given to the Board and hoping she is more stringent about only accepting applications that meet the criteria and checklist outlined.

8. Other Business

- a. City Planner Report

City Planner Lupita McClenning outlined with a power point presentation the upcoming proposal going before the City Commission for new software called Gridics. This tool will assist Staff and

Residents. This software will integrate our current code, information from the property appraiser's office, and other sources. The software will also serve as a project tracker.

Chairman Pozzuoli - would like to be notified when the training is available.

Vice-Chairman Shupe - will assist the public on what they can and cannot build on a parcel.

Scott Chappuis - will help avoid code violations.

City Attorney gave heads up that the building height ordinance will most likely be coming back to the Board next month and Veranda Bay annexation will be coming soon.

9. Adjournment

Joann Soman motioned to adjourn the meeting. Vice-Chairman Shupe seconded. Motion passed unanimously.

Chairman Pozzuoli adjourned the meeting at 6:33pm

PAR Board Meeting
7/2/2024
Brenda Wotherspoon Comments

I am out of state and unable to attend tonight's meeting. Please accept the following in my absence:

Legacy Pointe Cottages – I apologize for any oversights as it is difficult viewing on my laptop.

1. Wasn't able to find the mailbox station. Should have parking and/or easy access for carrier and residents alike.
2. Strongly suggest a 'dog walk' area for the health and safety of the residents. Wouldn't need to be any larger than a hotel designated area. Even if the intention is 'no pets', there are always those who skirt the community rules using loose emotional support, etc. laws.
3. The entries are tight with respect to oncoming traffic, pedestrians and bicyclists. Would suggest stop signs at both entry and exit points at Leslie and Joyce for safety. Sat in leasing and sales offices for 25 years and watch the hurried way folks enter and leave communities – let's try to slow down the traffic via design.
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Flagler Fish Company

What a wonderful addition!

1. Love the addition of the 3 palm trees shown in the median separating the car park from the outdoor doggie dining. With the limited amount of trees and greenspace presently on the entire block, could we suggest the 'golf cart' parking area include some type of green relief? Even one tree or two to frame the space would cool the outdoor eating area and lessen the intensity of the hardscape. At minimum a planter or two along Daytona.

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME Pozzuoli Joseph Dominick		NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Flagler Beach - PARB	
MAILING ADDRESS 314 Moody Blvd, K.B. 32136		THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: <input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY	
CITY Flagler Beach	COUNTY Flagler	NAME OF POLITICAL SUBDIVISION: FLORIDA	
DATE ON WHICH VOTE OCCURRED 07.02.2024		MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTIVE	

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies equally to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing the reverse side and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which inures to his or her special private gain or loss. Each elected or appointed local officer also is prohibited from knowingly voting on a measure which inures to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent organization or subsidiary of a corporate principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

* * * * *

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; and

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

* * * * *

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you otherwise may participate in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on other side)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Joseph D. Pozzuoli, hereby disclose that on July 2nd, 2024:

(a) A measure came or will come before my agency which (check one)

- ☒ inured to my special private gain or loss;
- ☐ inured to the special gain or loss of my business associate, _____;
- ☐ inured to the special gain or loss of my relative, _____;
- ☒ inured to the special gain or loss of Flager Fish Company of S, LLC, by whom I am retained; or
- ☐ inured to the special gain or loss of _____, which is the parent organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

I am Chair of the PARB & Design Professional of The Project to be presented to the PARB.

07.01.2024
Date Filed

[Signature]
Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.

ORDINANCE NO. 2024-____

AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING APPENDIX A, LAND DEVELOPMENT REGULATIONS, ARTICLE II, ZONING, SECTION 2.05.06, “HEIGHT REGULATIONS,” OF THE CODE OF ORDINANCES; AMENDING THE ALLOWED EXCEPTIONS TO THE THIRTY-FIVE FOOT HEIGHT LIMITATION; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, in 2006, the City incorporated into its Charter a thirty-five foot height regulation; and

WHEREAS, the Charter Amendment incorporated the City’s land development regulation treatment of height and utilized same to continue certain exceptions from the thirty-five foot height limitation; and

WHEREAS, recent development has spurred discussion about these exceptions to the thirty-five foot height limitation; and

WHEREAS, the City Commission adopted a moratorium on development approvals utilizing the exceptions to the thirty-five foot height limitation to consider revisions; and

WHEREAS, after hearing from members of the public and conducting workshops of the Commission and Planning and Architectural Review Board, the City Commission requested a proposed amendment to the exceptions to the height limitations; and

WHEREAS, the primary purpose of this amendment is to clarify the existing exceptions to the height limitation and ensure the exceptions do not undermine the rule; and

WHEREAS, after receiving a recommendation from the Planning and Architectural Review Board and taking public comment, the City Commission has determined that this Ordinance is in the best interest of the health, safety, and welfare of the City of Flagler Beach residents, businesses, and guests.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, FLORIDA THAT:

SECTION ONE. Amendment of Code. Section 2.05.06, “Height Regulations,” of the Code of Ordinances is Amended as follows (Note: underline text indicates additions, ~~strikethrough~~ text indicates deletions).

Sec. 2.05.06. Height regulations.

Section 2.05.06.1 *Building height.*

Roof height shall not exceed thirty-five (35) feet above the finished grade as described herein.

Section 2.05.06.2 *Building height measurement.*

For purposes of this section, building height is defined as Measured as the vertical distance of a building measured from the finished grade at the center of the front of the building to:

1. The highest point of the roof surface for a flat roof.
2. To the deck line of a mansard roof.
3. To the mean height level between eaves and ridge for gable, hip and gambrel roofs.

Finished grade, for the purpose of measuring building height, is hereby defined as the greater of:

- (a) The average natural grade along the front of the building.
- (b) The minimum required finished floor elevation, if in a flood zone; or
- (c) The highest allowable grade, defined as the average grade of adjacent developed lots or the minimum grade necessary to provide positive drainage.

Section 2.05.06.3 *Maximum number of stories.*

No building shall be permitted to have more than three (3) stories. See Section 6.02.04 for height restrictions in Palma Vista and Venice Park Subdivisions.

Section 2.05.06.4 *General application.*

No building or structure shall have an aggregate height of a greater number of feet; than is permitted in the district in which such building or structure is located except as noted in Section 2.05.06.5.

Section 2.05.06.5 *Permitted exceptions to height regulations the thirty-five foot limitation.*

1. Within non-residential zoning districts, additional height shall be allowed for ornamental spires, towers, and belfries that are not designed or used for human occupancy provided the overall proposed height of the architectural feature does not exceed ten (10) feet above the lowest point of contact of the architectural feature with the roof or forty-five (45) feet above the finished grade as measured at the center of the front of the building, whichever is less and the cumulative area of all architectural features allowed pursuant to this exception does not exceed fifteen percent (15%) of the gross floor area of the uppermost story of the building.

2. Within non-residential zoning districts, additional height shall be allowed for mechanical equipment incorporated into the building including but not limited to elevator and stairwell bulkheads, water towers, gas tanks, communications equipment, and air conditioning units provided such mechanical equipment does not exceed eight

(8) feet in height from the lowest point of contact of the equipment with the roof or forty-three (43) feet above the finished grade as measured at the center of the front of the building, whichever is less.

Mechanical equipment allowed pursuant to this exception shall be set back from the nearest edge of the roof so that such equipment is behind the imaginary plane which is drawn at a forty-five degree angle commencing from the nearest junction of the wall of the building with the roof and sloping upward and inward toward the center of the building

3. Additional height shall be allowed for parapet walls necessary to screen mechanical equipment located on the roof provided such parapet walls do not exceed six (6) feet in height from the lowest point of contact with the roof or forty-one (41) feet above the finished grade as measured at the center of the front of the building, whichever is less.

Screening parapet walls for which the highest point is above thirty-five feet from the finished grade as measured at the center of the front of the building shall be set back from the edge of the roof so that such equipment is behind the imaginary plane which is drawn at a forty-five degree angle commencing from the nearest junction of the wall of the building with the roof and sloping upward and inward toward the center of the building

4. An applicant intending to utilize these height allowances shall submit plans with sufficient detail to establish compliance with this section.

2.05.06.6 Human occupancy above thirty-five feet.

In non-residential zoning districts, occupiable spaces shall be allowed above thirty-five feet subject to the following limitations as follows:

1. As necessary for maintenance of the structure and fixtures and for emergency egress or ingress from or to the building;
2. For gathering spaces, amenities, and other recreation areas, provided all of the following standards are met:
 - a. The floor level for such gathering space, amenity, or other recreation area is no greater than thirty-five feet.
 - b. Such areas cumulatively do not take up more than fifty (50%) of the total roof area of the building;
 - c. All such areas are designed, constructed, and operated to protect both the users of the space and those at ground level from any hazards that could be caused by such rooftop use;
 - d. Any such area shall not be fully enclosed; provided, however, partial walls and transparent drop curtains may be used for protection from the elements;
 - e. Partial walls to delineate and protect gathering spaces, amenity, or other recreational areas may be constructed to a height not to exceed six feet and shall be set back from the edge of the roof so that such equipment is behind the imaginary plane drawn at a forty-five degree angle from the nearest

junction of the wall of the building with the roof and sloping upward and inward toward the center of the building;

- f. Roofs or shades over any such area shall not exceed fourteen (14) feet above the lowest point of contact of the roof or shade support with the building roof or forty-nine feet above the finished grade as measured at the center of the front of the building, whichever is less and shall be set back from the edge of the roof so that all portions of such roof or shade is behind the imaginary plane measured at a forty-five degree angle from the nearest junction of the wall of the building with the building roof and sloping upward and inward toward the center of the building.

3. An applicant intending to utilize this additional height allowance shall submit plans with sufficient detail to show compliance with this section.

~~With the exception of residential uses, chimneys, cooling towers, elevators, bulkheads, fire towers, gas tanks, steeples, water towers, ornamental towers or spires, communications, radio or television towers or necessary mechanical appurtenances, may be erected as to their height in accordance with existing or hereafter adopted ordinances of the city, provided no tower other than a church spire, tower of public building or commercial communications tower shall exceed the height regulations by more than forty (40) percent.~~

~~No tower shall be used as a place of habitation or for tenant purposes.~~

Section 2.05.06.7 Signs.

No sign, nameplate, display or advertising device of any kind whatsoever shall be inscribed upon or attached to any chimney, tower, tank or other structure which extends above the height limitations, except for city-owned structures.

Section 2.05.06.68 Verification of building height.

Building height verification, ~~if required,~~ shall be provided prior to roof framing inspection.

SECTION TWO. Ordinances in Conflict. All ordinances or parts thereof, which may be determined to be in conflict herewith, are hereby repealed and superseded by this Ordinance, to the extent of such conflict.

SECTION THREE. Severability. If any section, sentence, phrase, word or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word or portion of this Ordinance not otherwise determined to be invalid, unlawful or unconstitutional.

SECTION FOUR. Codification. It is the intent of the City Commission of the City of Flagler Beach that the provisions of this Ordinance shall be codified. The codifier is granted broad and liberal authority in codifying the provisions of this Ordinance.

SECTION FIVE. Effective Date. This Ordinance shall become effective immediately upon its passage and adoption.

163 ADOPTED by the City Commission of the City of Flagler Beach, Florida, this ____ day of
164 _____, 2024.

165

166 City of Flagler Beach, Florida

167

168 By:_____

169 Patti King, Mayor

170

171 Attest: _____

172 Penny Overstreet, City Clerk

173



STAFF REPORT

Planning & Architectural Review Board

August 6, 2024

To: Planning & Architectural Review Board Members

From: Penny Overstreet, City Clerk

Date: July 09, 2024

Item Name: Application OE-24-08-01 – 105 N. Ocean Shore Blvd. - Outdoor Entertainment Permit, Flagler Sun & Seed

Background: Applicant: Flagler Sun & Seed 105 N. Ocean Shore Blvd., Flagler Beach, Florida 32136. The subject property is zoned General Commercial G.C. The applicant is seeking approval of an Annual Outdoor Entertainment Permit to allow amplified and non-amplified events consisting of music, spoken word and/or other forms of entertainment. Section 4-167, Review of Permit Application states, the City Commission, after receiving recommendation from the Planning and Architectural Review Board (PARB), shall approve, approve with conditions, or deny a permit for outdoor entertainment activity based on any of the following grounds:

- (1) The activity would present an adverse impact to the health, safety or welfare of the applicant, participants, public employees or members of the public and/or fails to protect the city's environment.
- (2) The activity would unreasonably inconvenience the general public.
- (3) The proposed activity is prohibited by or inconsistent with the Flagler Beach Code of Ordinances or the Flagler Beach Comprehensive Plan.
- (4) The applicant cannot meet, or is unwilling to meet, all of the requirements of this article.
- (5) The activity is proposed for a site that does not have adequate parking to accommodate the activity.
- (6) The activity is proposed for a site that is inherently hazardous to the participants or the public.
- (7) The event would have an adverse effect, and would unreasonably infringe upon, the rights of property owners within two hundred (200) feet of the property line of the subject property.
- (8) The event would conflict with another proximate event or interfere with construction or maintenance work.
- (9) The information furnished in the application is not materially complete and accurate.
- (10)The applicant has violated a provision, restriction or condition of this article or an outdoor entertainment activity permit issued to the applicant within the past and has not presented competent substantial evidence that measures to prevent future violations will be implemented at the property.


- (11)The requirements identified by the city staff to ensure public health, safety and welfare have not been met.
- (12)The comments and/or recommendations of the planning and architectural review board have not been addressed.
- (13)The proposed event or activity is prohibited by federal, state, or local regulations.
- (14)Other issues in the public interest as identified by the city commission.

In making a determination to approve a permit the PARB may recommend, or the city commission may limit the type and number of temporary structures and the duration of the activity including the hours and the number of days of the activity conducted to minimize any adverse impact caused by the activity.

Fiscal Impact: N/A

Staff Recommendation: Consider the fourteen criteria when making your recommendation to approve or deny. Provide a recommendation for the City Commission to consider upon their review of the application on the August 22nd agenda.

Attachments: Application, letter to applicant, letter to surrounding properties within 200 feet of the subject property, list of properties notification letter was mailed, aerial of site, site plan.

OFFICE USE ONLY: DATE REC'D <u>6-21-24</u> FEE REC'D \$ _____ INITIALS: <u>P.O.</u> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> SENT PARB <input checked="" type="checkbox"/> PERMIT ISSUED _____	INSTRUCTIONS: <i>Please print or type all information.</i> The application must be filled out accurately and completely. Answer all questions. Do not leave an item blank. If an item does not apply, write N/A (not applicable). Incomplete applications may delay your request. All statements made on the application are subject to verification.	City of Flagler Beach APPLICATION FOR OUTDOOR ENTERTAINMENT  105 South 2nd Street, Post Office Box 70 Flagler Beach, Florida 32136 Phone (386) 517-2000 Fax (386) 517-2008
--	--	---

Please type or print legibly
Required Information

Business Name: Flagler Sun & Seed

Contact Person: Truly Gil

Address: 105 N Oceanshore Blvd Unit E

City: Flagler Beach **State:** FL **Zip:** 32136

Work Phone: 3863718388 **Home Phone:** _____

Fax: _____ **Mobile Phone:** _____

E-Mail Address: flaglersunandseed@gmail.com

What type of permit are you applying for? (check one)

 X **Annual Permit** (permit fee = \$150.00)

 Per event that occurs fewer than 12 times a year (permit fee = \$75.00)
 (Please list dates and times for the events on the bottom of page 2)

 One day event on Date _____ **(permit fee = \$50.00)**
Start time _____ **am/pm** **End time** _____ **am/pm**

Will you utilize temporary structures at your event? X **No** **Yes**
 (If yes, attach a sketch of the site showing the location of these structure and see note below)
 (Indicate number of each)

 Stages **Scaffolding** **Fences** **Other**

 Tents **Do any of the tents exceed 200 square feet ?** **No** **Yes**

Note: Special Permits are required for tents exceeding 200 square feet. Special Building permits are required for temporary structures 700 or more square feet in area and those that are four feet above grade.

Does the establishment have adequate parking? **No** X **Yes**
 (Attach a sketch of the site showing the location and number of current spaces. If No how do you propose to provide parking? Attach additional statement if necessary.)

PLEASE ATTACH A SITE PLAN REGARDING THE SET UP OF THE OUTDOOR ENTERTAINMENT. PLEASE ATTACH A CURRENT COPY OF YOUR LIABILITY INSURANCE TO THIS APPLICATION.

By signing below I understand:

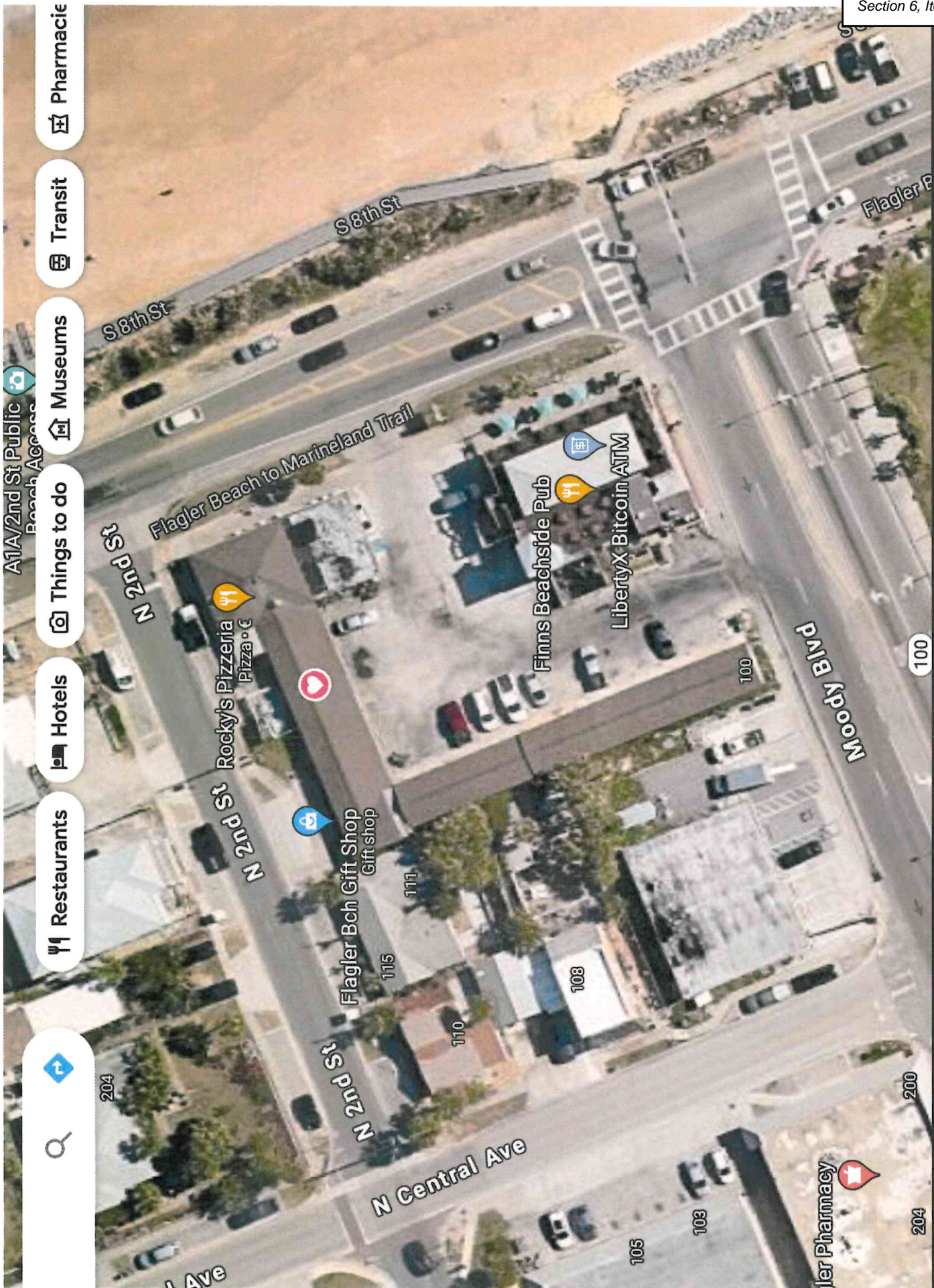
- This is an application only and does not obligate the City in any fashion to issuing a permit or approve an event.
- I have included my application fee and understand that my application will not be processed without the application fee.
- In no case shall the City’s Noise Ordinance be violated.
- The City Commission may reasonably limit the type and number of temporary structures and the duration of the activity including the hours and the number of days of the activity conducted.
- The event(s) may not be held until a permit is received.

Signature of Applicant Truly Gil Date 6/18/2024

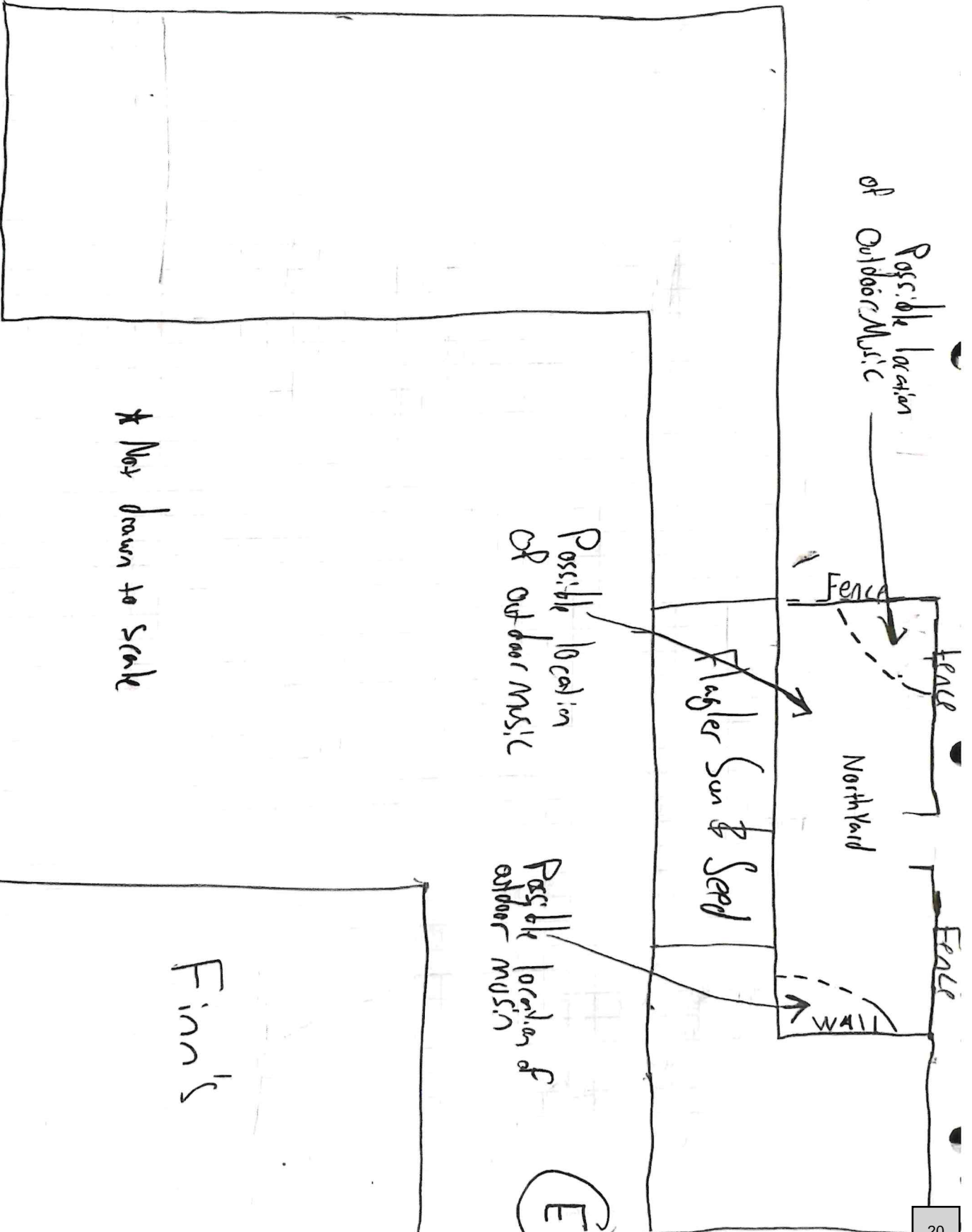
Title of Applicant MGR

Affiliation Owner

1. Date	Start time	am\pm	End time	am\pm
2. Date	Start time	am\pm	End time	am\pm
3. Date	Start time	am\pm	End time	am\pm
4. Date	Start time	am\pm	End time	am\pm
5. Date	Start time	am\pm	End time	am\pm
6. Date	Start time	am\pm	End time	am\pm
7. Date	Start time	am\pm	End time	am\pm
8. Date	Start time	am\pm	End time	am\pm
9. Date	Start time	am\pm	End time	am\pm
10. Date	Start time	am\pm	End time	am\pm
11. Date	Start time	am\pm	End time	am\pm
12. Date	Start time	am\pm	End time	am\pm



W



Possible location of outdoor music

Possible location of outdoor music

Flagler Sun & Seed

* Not drawn to scale

S

E



CERTIFICATE OF LIABILITY INSURANCE

Section 6, Item a.

09/07/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Next First Insurance Agency, Inc. PO Box 60787 Palo Alto, CA 94306		CONTACT NAME: PHONE (A/C, No, Ext): (855) 222-5919 FAX (A/C, No): E-MAIL ADDRESS: support@nextinsurance.com	
		INSURER(S) AFFORDING COVERAGE	
		INSURER A: Next Insurance US Company	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	
		INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** 406266813 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY			NXT3KDQXL-00-GL	09/07/2023	09/07/2024	EACH OCCURRENCE	\$1,000,000.00
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$100,000.00
							MED EXP (Any one person)	\$15,000.00
							PERSONAL & ADV INJURY	\$1,000,000.00
							GENERAL AGGREGATE	\$2,000,000.00
							PRODUCTS - COMP/OP AGG	\$2,000,000.00
								\$
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/> NON-OWNED AUTOS ONLY					PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/>	<input type="checkbox"/>						\$
	UMBRELLA LIAB						EACH OCCURRENCE	\$
	EXCESS LIAB						AGGREGATE	\$
	<input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	N/A				E.L. EACH ACCIDENT	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Proof of Insurance.

CERTIFICATE HOLDER

WeAllSucc, LLC DBA Flagler Sun & Seed
105 N Ocean Shore Blvd # E
Flagler Beach, FL 32136

LIVE CERTIFICATE



Click or scan to view

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Ann Ryan



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32126

Phone (386) 517-2000 • Fax (386) 517-2008

July 08, 2024

Truly Gil
105 N. Central Avenue
Flagler Beach, Florida 32136

RE: Outdoor Entertainment Application

Dear Sir or Madam

This letter is to advise you the Planning and Architectural Review Board will hear your request for an Outdoor Entertainment Permit on August 6, 2024 at 5:30 p.m. The City Commission will hear the Planning Board's recommendation and the final decision will be made at their August 22, 2024 meeting, which begins at 5:30 p.m. I have enclosed a copy of the letter that has been mailed to the businesses and residents within 200 feet of your location. You will need to attend each meeting to present your request to the boards. They will be inquiring as to what type of music you intend to have, such as will you plan to have live amplified music, or a D.J., or a speaker to play ambient music. They will also inquire about the frequency of entertainment. Lastly, I still am in need of a site plan showing where you will have the entertainment and the set-up, including speaker placement, please provide this before July 17, 2024. Should you have concerns or questions please contact me at poverstreet@cityofflaglerbeach.com or 386-517-2000 ext. 233.

Sincerely,

Penny Overstreet
City Clerk

CC: Lupita McClenning, Planner
Planning & Architectural Review Board
Elected Officials
Dale L. Martin, City Manager



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32126

Phone (386) 517-2000 • Fax (386) 517-2008

July 08, 2024

RE: Outdoor Entertainment Permit Application Review

Dear Sir or Madam:

The purpose of this letter is to advise you, the City is in receipt of a request from "Flagler Sun & Seed", located at 105 N. Ocean Shore Blvd., Unit E, requesting an Annual Outdoor Entertainment Permit. Per Ordinance 2010-02 the office of the City Clerk is required to notify property owners in a two-hundred-foot radius of the subject property of the meeting dates and times the request will be reviewed by the Planning & Architectural Review Board and the date the City Commission will have final review. The Planning & Architectural Review Board will review the request on August 6, 2024; meeting begins at 5:30 p.m. The request will be before the City Commission for consideration on August 22, 2024; meeting begins at 5:30 p.m. The intent of this notice is to provide to you the opportunity to appear at the meeting(s) to voice your concerns or approval of the requested activity. Should you have any questions please contact the Planning & Zoning Office at 386-517-2000 ext. 231 or the City Clerk's Office at 386-517-2000 ext. 233 if you wish to view the application.

Sincerely,

Penny Overstreet
City Clerk

CC: Dale L. Martin, City Manager
Lupita McClenning, Planner
Elected Officials
PARB Members
Truly Gill, Applicant

FLAGLER COUNTY PROPERTY APPRAISER




Overview



Legend

- Parcels
- Roads
- Streams and Rivers

Date created: 7/8/2024
Last Data Uploaded: 7/8/2024 7:48:57 AM
Developed by 

12-12-31-4500-00050-0020
109 BLEEKER LLC
295 MADISON AVE STE 1010
NEW YORK, NY 10017

12-12-31-4500-00050-0030
4TH AND CENTRAL LLC
2 JUNGLE HUT ROAD STE 2
PALM COAST, FL 32137

12-12-31-4500-00050-0060
FIRST BAPTIST CHURCH OF
PO BOX 839
FLAGLER BEACH, FL 32136

12-12-31-4500-00050-0090
WHARTON JERILYN M
140-12 DEKRUIF PLACE
BRONX, NY 10475

12-12-31-4500-00050-0100
JATO ENTERPRISES LLC
4375 LILAC ROAD
LEITCHFIELD, KY 42754

12-12-31-4500-00060-0010
BROWN JAMES M & LORI P H&W
211 N OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136

12-12-31-4500-00060-0030
FIRST BAPTIST CHURCH OF
FLAGLER BEACH INC
PO BOX 839
FLAGLER BEACH, FL 32136

12-12-31-4500-00060-0040
FIRST BAPTIST CHURCH OF
FLAGLER BEACH
PO BOX 839
FLAGLER BEACH, FL 32136

12-12-31-4500-00060-0060
WATSON JAMES A &
ANDRES NAZARIO JR
350 CARDINAL ST
MIAMI SPRINGS, FL 33166

12-12-31-4500-00060-0080
SHULTZ RONALD L & ZEA C H&W
220 HERITAGE DRIVE
GETTYSBURG, PA 17325

12-12-31-4500-00060-0090
EHF INVESTMENT PROPERTIES LLC
4845 BELLE TERRE PKWY
PALM COAST, FL 32164

12-12-31-4500-00070-0010
H T GILBERT ENTERPRISES INC
746 HOPE STREET
ORMOND BEACH, FL 32174

12-12-31-4500-00070-0040
NOWLIN CAROLYN J MEEKS ET AL
7970 E MAIN STREET
LEXINGTON, IN 47138

12-12-31-4500-00070-0041
STORMCLIFF LLC
304 VIOLETWOOD ROAD
DELAND, FL 32720

12-12-31-4500-00070-0051
RILEY ALLEN JR & CHARLOTTE L
& LAWENCE ALLEN RILEY JTWROS
110 N CENTRAL AVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00070-0060
NJCX LLC
2411 S PALMETTO AVE
SOUTH DAYTONA, FL 32119

12-12-31-4500-00070-0090
H P RENTAL INC
746 HOPE STREET
ORMOND BEACH, FL 32174

12-12-31-4500-00080-0000
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00090-0010
200 PLEASANT VIEW PROP INC
PO BOX 1207
FLAGLER BEACH, FL 32136

12-12-31-4500-00090-0020
CINELLI ANGELO C & REGINA M
H&W
PO BOX 1207
FLAGLER BEACH, FL 32136

12-12-31-4500-00090-0030
200 PLEASANT VIEW PROP INC
PO BOX 1207
FLAGLER BEACH, FL 32136

12-12-31-4500-00090-0040
CITY OF FLAGLER BEACH
CITY HALL
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00090-0080
LHP SCALES INC
PO BOX 1207
FLAGLER BEACH, FL 32136

12-12-31-4500-00090-0100
LHP SCALES INC
PO BOX 1207
FLAGLER BEACH, FL 32136

12-12-31-4500-00330-0010
CENTRAL MARKET FLAGLER LLC
PO BOX 390
FLAGLER BEACH, FL 32136

12-12-31-4500-00330-0020
CENTRAL MARKET FLAGLER LLC
PO BOX 390
FLAGLER BEACH, FL 32136

12-12-31-4500-00330-0030
FLAGLER COUNTY HOLDINGS LLC
408 S CENTRAL AVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00330-0040
FAITH IN CHRISTMAS MIRACLES LLC
180 S DAYTONA AVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00330-0060
BARNHILL THEODORE M JR &
MARJORIE V H&W
PO BOX 390
FLAGLER BEACH, FL 32136

12-12-31-4500-00330-0070
STRICKLAND BETTY JO
P O BOX 550
BUNNELL, FL 32110

12-12-31-4500-00330-0080
FOX WAVE HOLDINGS LLC
72 HERNANDEZ AVENUE
PALM COAST, FL 32137

12-12-31-4500-00330-0120
BARNHILL THEODORE M &
MARJORIE C TRUSTEES & THEODORE
PO BOX 390
FLAGLER BEACH, FL 32136

12-12-31-4500-00340-0000
SUN PARTNERS LLC
45 SETON TRAIL
ORMOND BEACH, FL 32176

12-12-31-4500-00350-0010
GERALD & CLAUDIA'S OCEANVIEW
PLAZA LLC
PO BOX 731681
ORMOND BEACH, FL 32173

12-12-31-4500-00360-0010
THE ENTRUST GROUP INC
FBO KENNETH PRESTON ASTON JR
IRA ACCOUNT #60-01026 555 12TH STR
OAKLAND, CA 94607

12-12-31-4500-00360-0030
KOFT BERNARD W & BETTY J
LIFE ESTATE
196 HARDENBERG LANE
EAST BRUNSWICK, NJ 08816

12-12-31-4500-00360-0040
FITCH DONALD L & ERIC
MERVEN PIPHER JTWROS
213 3RD ST N
FLAGLER BEACH, FL 32136

12-12-31-4500-00360-0041
STORMCLIFF LLC
304 VIOLETWOOD ROAD
DELAND, FL 32720

12-12-31-4500-00360-0080
208 N 2nd STREET, LLC
208 N 2ND STREET
FLAGLER BEACH, FL 32136

12-12-31-4500-00370-0010
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00370-0030
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00370-0040
MULVIHILL JOSEPH & DEBORAH
MEDDERS
9 SLOGAN COURT
PALM COAST, FL 32164

12-12-31-4500-00370-0060
JOHNSON SANDRA KERN & SHAWN
L W&H
300 N DAYTONA AVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00370-0080
MIKLOS UTE
PO BOX 1276
FLAGLER BEACH, FL 32136

12-12-31-4500-00370-0090
GREEN MARTHA JANE & MARY T ZIMMI
& JO LEE MOBLEY
6312 SW 34TH STREET
GAINESVILLE, FL 32608

12-12-31-4500-00370-0100
MCMORROW FRANCIS
& ELISA H&W
301 N CENTRAL AVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00470-0010
BRADLEY K K
TRUSTEE
P O BOX 338
FLAGLER BEACH, FL 32136

12-12-31-4500-00470-0020
CARLSON MICHAEL L & CHRISTINE
301 N 8TH ST
FLAGLER BEACH, FL 32136

12-12-31-4500-00470-0140
SPANISH BLUE DIVISION LLC
100 ARRICOLA AVE
ST AUGUSTINE, FL 32080

12-12-31-4500-00470-0150
FLAGLER COUNTY ABSTRACT CO
306 E MOODY BLVD
BUNNELL, FL 32110

12-12-31-4500-00480-0010
CORTESE BARBARA TIDWELL
TRUSTEE
PO BOX 627
BUNNELL, FL 32110

12-12-31-4500-00480-0030
KARBOWSKY WALTER A III
TRUSTEE
218 OCEAN PALM DRIVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00480-0050
MOODY BOULEVARD ASSO LLC
C/O KEN ASTON
101 S HANLEY ROAD STE 550
ST LOUIS, MO 63105

12-12-31-4500-00490-0010
D2S PROPERTIES LLC
212 SEA TURTLE WAY
ST AUGUSTINE, FL 32084

12-12-31-4500-00490-0020
FLAGLER FISH COMPANY OF 5 LLC
180 S DAYTONA AVE
FLAGLER BEACH, FL 32136

12-12-31-4500-00490-0050
ISLAND INVESTMENTS OF PC LLC
300 PALM COAST PKWY NE
PALM COAST, FL 32137

12-12-31-4500-00490-0070
HING WONG FAT CORP & LWS
REALTY LLC
146 PALM COAST RESORT UNTI 804
PALM COAST, FL 32137

12-12-31-4500-00500-0010
LEWIS SOPHIA ROSE-MARIE
231 N RIDGEWOOD AVE
ORMOND BEACH, FL 32174

12-12-31-4500-00500-0020
BARNHILL THEODORE M JR &
MARJORIE V TRUSTEES
PO BOX 390
FLAGLER BEACH, FL 32136

12-12-31-4500-00500-0030
SOUTHERN BELL TEL & TEL
ATTN PROPERTY TAX DEPT
1010 PINE 9E-L-01
ST LOUIS, MO 63101

12-12-31-4500-00660-0150
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00660-0160
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00670-0170
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00670-0180
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00670-0190
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00680-0200
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00680-0210
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00690-0220
CITY OF FLAGLER BEACH
PO BOX 70
FLAGLER BEACH, FL 32136

12-12-31-4500-00690-0230
SUN PARTNERS LLC
45 SETON TRAIL
ORMOND BEACH, FL 32176

12-12-31-4500-00700-0250
CITY OF FLAGLER BEACH
PIER GRANDVIEW FLAGLER PARTNERS
930 N US HWY 1
ORMOND BEACH, FL 32174



City of Flagler Beach

Planning & Zoning Department
P.O. Box 70 * 800 S Daytona Ave.
Flagler Beach, FL 32136
www.cityofflaglerbeach.com

MEMORANDUM

To: Planning and Architectural Review Board

From: Lupita McClenning, City Planner

Date: July 6, 2024

Re: City Planner Report – Informational
Signage for Compass by Margaritaville Hotel

Summary

Excerpt below from City's Land Development Code as it relates to signage found in compliance for the Compass by Margaritaville Hotel, Flagler Beach, FL.

Total signage = 6 types and twelve (12) total signs including a mix of directional (1), freestanding/wayfinding (3), monument (1), mural (2), on-site/projecting (1), and wall signs (4).

Applicant confirmed that the illuminated monument directional signage and the illuminated letters for the wall sign "Compass by Margaritaville" on S. Daytona Ave meet Section [7.06.05 \(A-H\) Sign Lighting](#) i.e. *D. luminance no greater than 300 candles*.

Please see attached for the location(s) of the directional, monument, and three (3) freestanding/wayfinding signs. Attached are renderings of the signs with sizes, type, and location.

Section 7.01.00 Definitions

- Directional sign:* An attached or freestanding on-site non-commercial sign directing the movement of pedestrian or vehicular traffic on the premises where it is located. These signs may use words such as "entrance," "exit," "caution," "no parking," "one way only," "no trespassing," and the like, or arrows or similar graphics.
- Freestanding sign:* Any sign that is not attached to any building. The definition of a "freestanding sign" does not include a portable sign.
- Monument sign:* A freestanding, on-site ground sign not erected on one (1) or more poles or similar structures but has a solid supporting base on the ground equal or greater than the width of the sign face and generally made of stone, masonry or

concrete, with no separations between the sign and base and which is of a finished or decorative-type construction.

Mural: A one-of-a-kind, hand-painted, hand-tiled, or digitally printed artwork on the exterior wall of a building presented in a creative and artistic manner for the primary purpose of providing aesthetic enjoyment for the viewer.

On-site sign: A sign that (1) is located on the premises to which the sign pertains, and (2) identifies an activity conducted or products or services available on the premises where the sign is located.

Projecting sign: A sign attached to a building or other structure extending in whole or in part more than twelve (12) inches beyond the surface of the portion of the building to which it is attached.

Pedestrian wayfinding sign: A directional sign that is provided by and controlled by the City, on city property or rights-of-way and used to direct the public to a place of business or venue. Pedestrian wayfinding signs are only allowed within the City's Community Redevelopment Area Downtown Mixed-Use.

Wall sign/attached sign: A sign that is attached to and extends no more than twelve (12) inches from a wall or painted on a wall of a building.

Directional Signage/Monument Signage

- a. One Monument Sign Salty Rim Bar & Grill -please see attached for location.
- b. One Monument Sign “Enter” – please see attached for location.

Section 7.07.02 B. 1. C. Freestanding

Freestanding signs shall not exceed nine (9) feet in height above the base of the sign or if the sign is located on a berm or other raised landscape feature said sign shall not exceed nine (9) feet above the crown of the road to which the sign is adjacent.

- a. Three (3) freestanding Wayfinding Signs 14’ ½” x 9’ – please see attached for location.

Section 7.07.04 - Murals.

One (1) mural on S. Daytona Compass Logo 16’6” x 27’8”

One (1) mural on Moody Blvd Turtle Graphic 7’8” x 26’

- a. No mural shall exceed the dimensions of the wall upon which it is applied;
- b. All mural shall comply with all relevant building and safety codes and standards and be kept in good repair with no chipped, fading, or peeling paint;
- c. No mural shall contain electrical or mechanical components, moving structural elements, lighting elements, or automated elements that move or give the appearance of motion;

- d. Letters, numbers, and other alpha-numeric characters, including those expressing commercial and non-commercial messages, may be incorporated into murals located on property within non-residential zoning districts. Such letters, numbers, and alpha-numeric characters shall cumulatively comprise no more than ten percent (10%) of the total square footage of the mural or murals or thirty-two (32) square feet, whichever is less;
- e. Commercial and non-commercial messages incorporated into a mural consistent with this section shall not be counted toward the maximum sign square footage or number of signs on the property;
- f. No off-site commercial advertising shall be incorporated into any mural;
- g. No sign permit shall be required for a mural that meets all of the requirements of this section; however, a mural authorization shall be obtained from the city for any mural applied or altered after the effective date of this Ordinance. An application for a mural authorization shall contain at a minimum:
 - 1. The name of the artist;
 - 2. The dimensions of the wall upon which the mural will be applied; and
 - 3. A description of the intended mural including the materials to be used, the method of application, the need for scaffolding or other equipment to be attached to the building, the mural's intended dimensions and the location and dimensions of any letters, numbers or symbols;

Section 7.07.02 – 4 (a-d) Projecting Signs.

One (1) Projecting/ Blade Sign on S. Central Ave - Surf Shack 3'7" x 18"

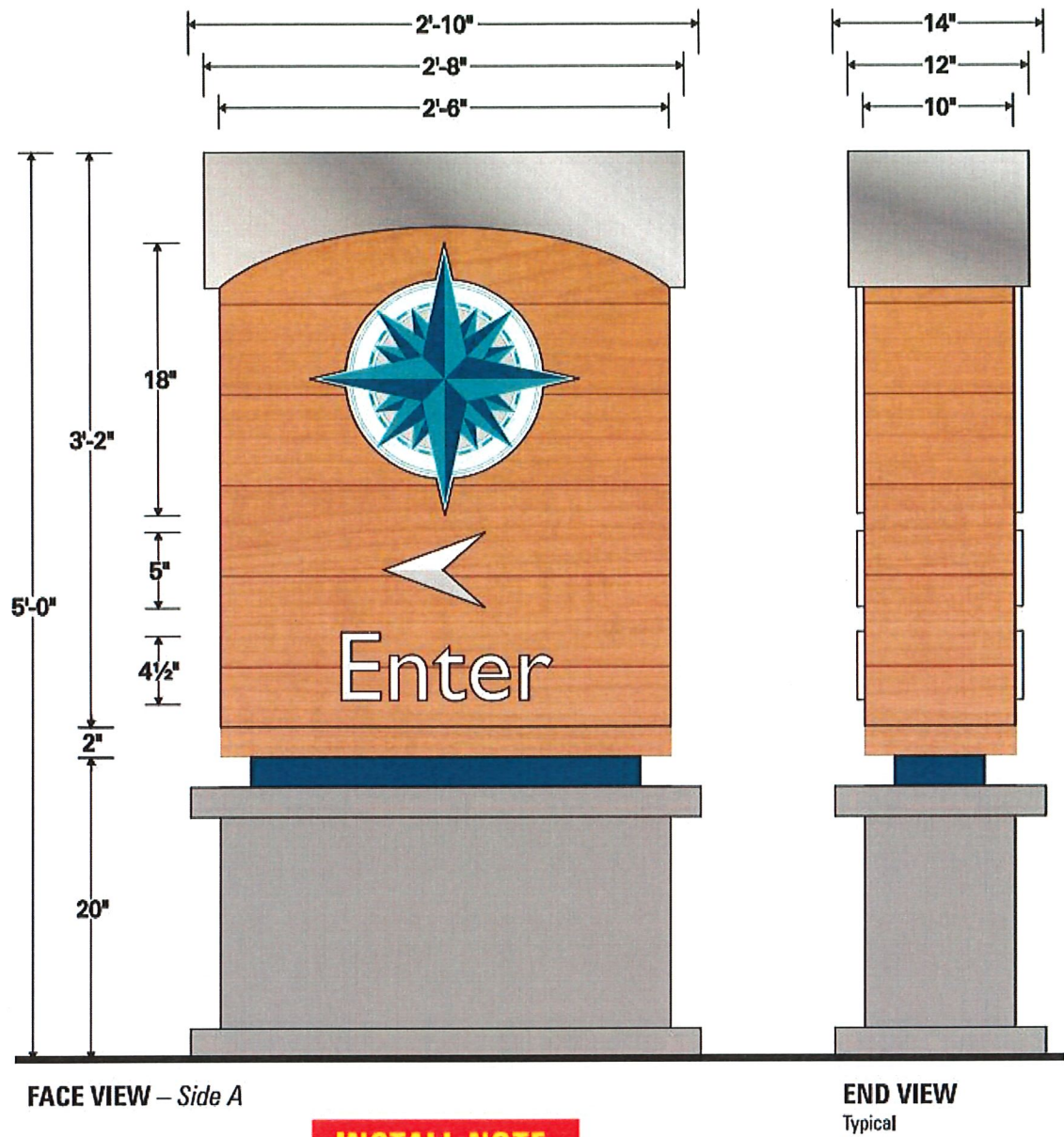
- a. A maximum of one (1) projecting sign is permitted per use. A projecting sign's copy shall not exceed sixteen (16) square feet except that a projecting sign's copy area within the community redevelopment area shall not exceed eight (8) square feet.
- b. A projecting sign may extend more than twelve (12) inches but less than four (4) feet beyond the wall of the building to which it is attached.
- c. A minimum clearance of nine (9) feet above the finished grade of a pedestrian walkway not within the public right-of way shall be maintained but shall not impede pedestrian movement or cause a safety hazard.
- d. The projecting sign copy area shall be counted as a part of the total allowable area for wall signs.

Section 7.07.02 - 2. (a-d) Wall signs.

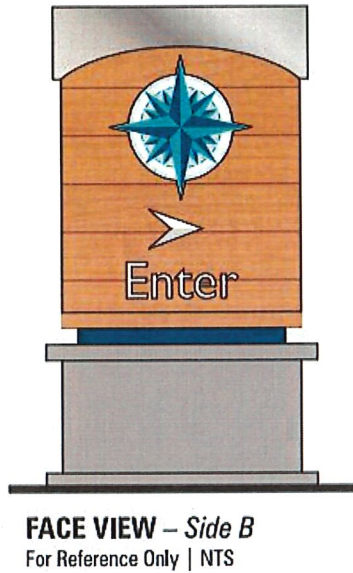
Two (2) wall signs on S Daytona Ave.

Two (2) wall signs on S Central Ave

- a. Only one (1) wall sign shall be permitted for each use. On corner or double frontage lots, a maximum of two (2) wall signs are permitted provided that one (1) of the sign's copy area shall be figured on the basis of 0.5 square feet per linear foot of building wall facing a public street.
- b. A. multi-tenant building wall signage may be provided not to exceed a maximum of 1.5 square feet of signage per lineal foot of tenant store front facade length.
- c. Wall signs may not exceed fifty (50) feet in width or sixty (60) percent of the width of the building frontage, whichever is less.



INSTALL NOTE:
SIGN INSTALL LOCATION TO BE
COORDINATED w/ CUSTOMER



SURVEY REQ'D
VERIFY INSTALL LOCATION

PRODUCTION NOTES

TOP CABINET DECOR:
– D/F fab'd aluminum decor (1" sq tube / angle + .125 faces / top / filler) with painted silver finish
MAIN CABINET:
– D/F fab'd aluminum cabinet (2" sq tube frame + .125 faces + .080 filler + .063 top / bottom); non-illum.
– Cabinet (faces, ends) to be clad with Alpolic® metal composite material with faux wood finish (Maple Timber, typical shown) and routed faux panel seams (1/8" typ., filled w/ brown paint)
– Cut-out 1/2" thick aluminum compass logo, arrow and copy, flush mounted to face
NOTE: compass logo is printed on reflective white vinyl; arrow and letters are painted non-reflective white, with reflective white vinyl face overlays (+ silver vinyl on bottom half of arrow)
REVEAL & BASE:
– D/F fabricated aluminum cabinet (2" sq tube frame + .125 faces/filler + .063 bottom) with 2" sq tube reveal and raised cabinet trim (top and bottom)

INSTALLATION:
– Typical direct embed steel column with concrete footing as req'd (TBD)

- COLORS** COLORS SHOWN ARE REPRESENTATIVE ONLY **ALL PAINT FINISHES TO HAVE SATIN FINISH**
- 1 Alpolic Maple Timber #4MPL8 (composite / faux wood finish)
 - 2 Silver (AN-811R metallic paint / 3M #7725-120 Satin Alum. vinyl)
 - 3 Sherwin Williams #9168 Elephant Ear (paint to match)
 - 4 Blue Pantone #534 C (paint to match)
 - 5 White (3M reflective vinyl / non-reflective white paint)
 - 6 SW #7598 Sierra Redwood (paint) – faux wood seams
 - 7X Digital Printed Graphics (compass logo artwork)

Qty. (1) D/F Non-illum. Directional Sign – "Enter"

Section 8, Item a.

COMPASS

MARGANTAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

19-Mar-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVL

Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

Directional Sign

SALES

G. Stalvey

DESIGNER

M. Donellan

SCALE

1" = 1' - 0"

DRAWING

62458-h1

REVISIONS

REV	DATE	BY	NOTE

CUSTOMER APPROVAL

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Myrtle Beach, SC 29579

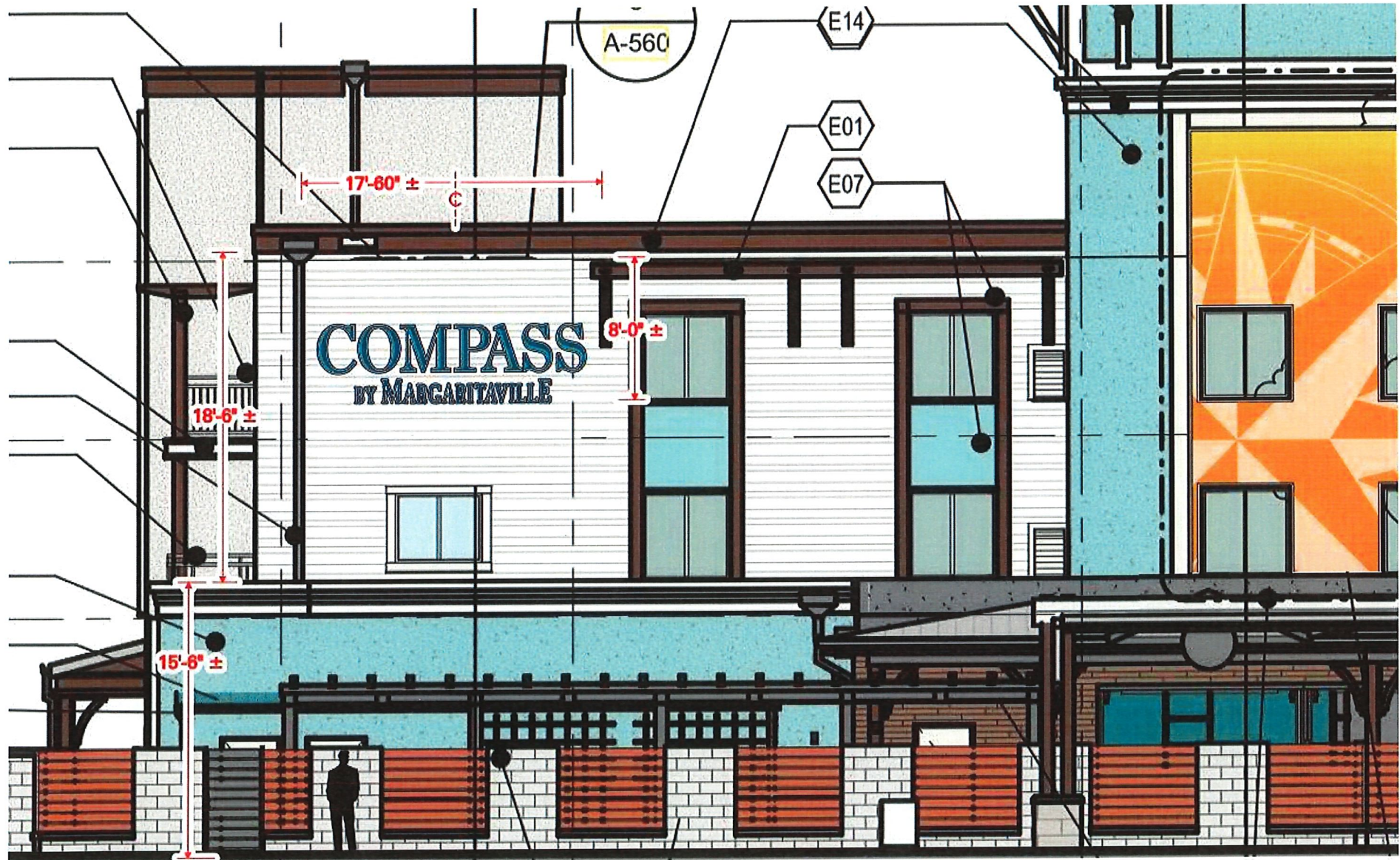
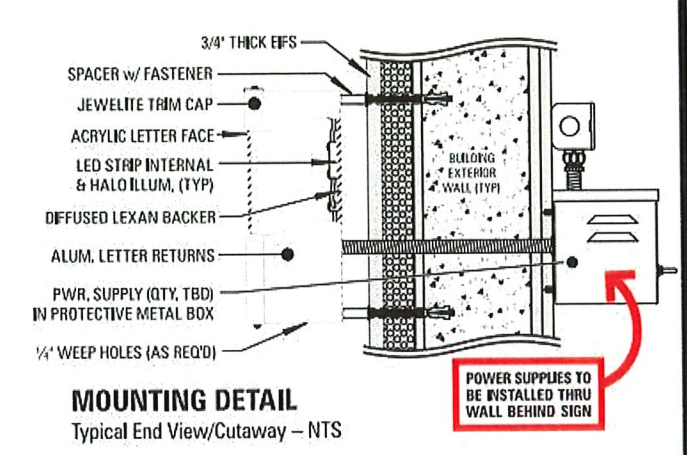
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UL LISTED

SSA

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PRODUCTION NOTES

"COMPASS" / "BY MARGARITAVILLE" LETTERS:
- Fabricated aluminum channel construction (5" coil stock + .063 returns) with 3/16" clear Lexan backs for halo illum.
- Flat 3/16" white #7328 acrylic faces with digitally printed translucent vinyl overlay graphics (color/white/color on clear) and 1" plastic trim
- White LED internal face and halo illumination (as required)

ELECTRICAL:
CIRCUITS: (1) 120V 20A + (1) Toggle Switch
LEDS: (12) Principal QuikMod-1 + (146) QuikMod-2
PS: (2) 12V 120W

INSTALLATION:
- Letters mount individually with 2" spacers against building facade as req'd (see Mounting Detail)

COLORS COLORS SHOWN ARE REPRESENTATIVE ONLY **ALL PAINT FINISHES TO HAVE SATIN FINISH**
1 White (#7328 acrylic / paint / Jewelrite) - faces, returns, trim
2 Blue 3M #3630-36 (vinyl)
3 Intense Blue 3M #3630-127 (vinyl) - "COMPASS" letter highlights

Section 8, Item a.

MARGARITAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

21-May-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVL

Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

"Compass By MGVL" - W

SALES

G. Stalvey

DESIGNER

M. Donellan

SCALE

1/2" = 1' - 0"

DRAWING

62458-c3

REVISIONS

REV	DATE	BY	NOTE

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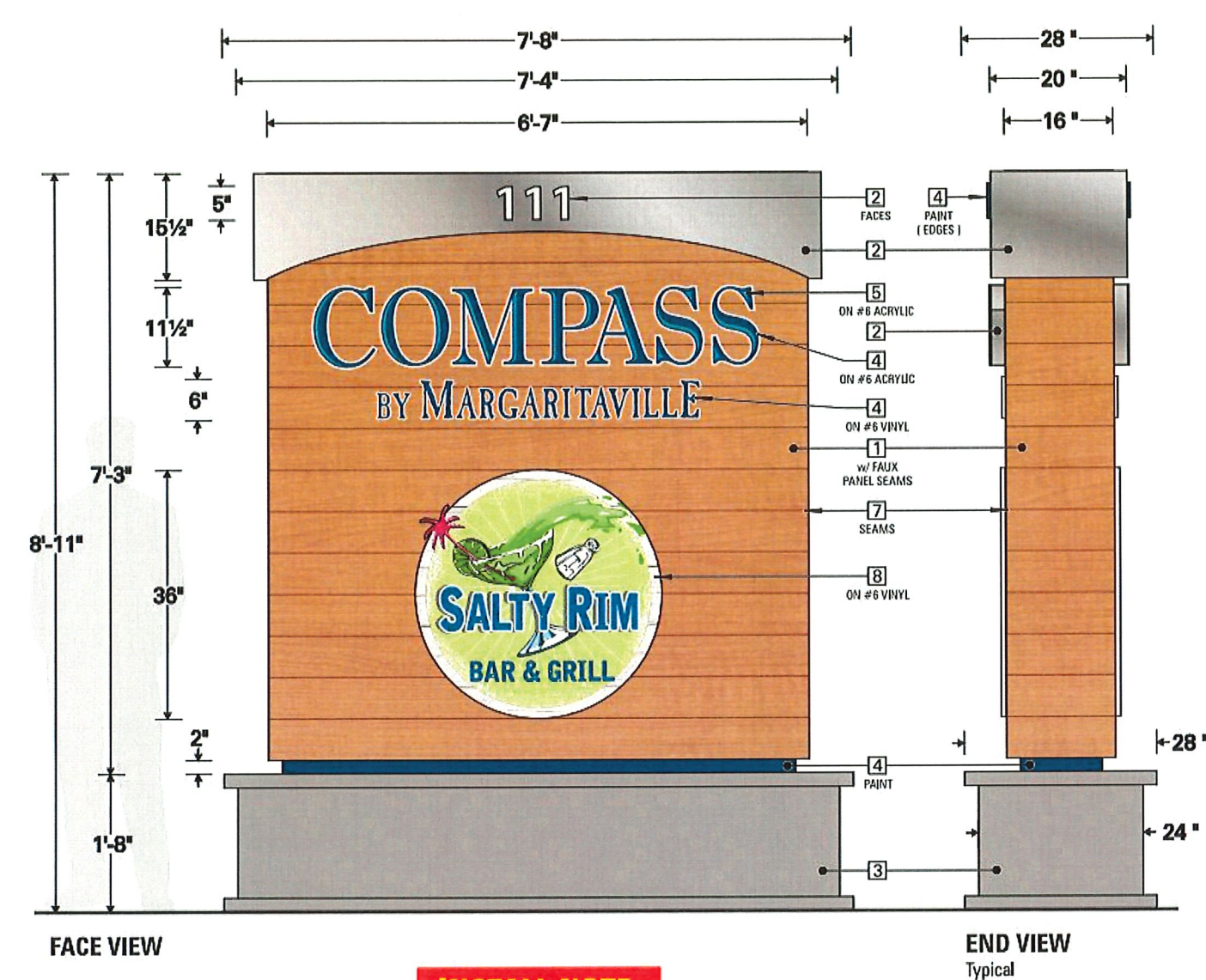
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SSA

33

INSTALLED - Partial West Elevation
For Reference Only | Scale: 1/8" = 1'-0"

Qty. (1) Set Face & Halo Illuminated Letters for West Elevation (S. Daytona Ave.)



INSTALL NOTE:
SIGN INSTALL LOCATION TO BE
COORDINATED w/ CUSTOMER

**ELECTRICIAN
TO MAKE FINAL
CONNECTION**

PRODUCTION NOTES

TOP CABINET DECOR:
– D/F fab'd aluminum decor (2" sq tube / angle + .125 faces / top / filler) with painted silver finish
– Cut-out 1/2" thick aluminum numerals flush mounted to face; non-illum.
NOTE: numeral faces painted silver and edges are painted blue

MAIN CABINET:
– D/F fab'd aluminum cabinet (2" sq tube frame + .125 faces + .080 filler + .063 top / bottom + .050 cap)
– Cabinet (faces, ends) to be clad with Alpolic® metal composite material with faux wood finish (Maple Timber, typical shown) and routed faux panel seams (1/8" typ., filled w/ brown paint)
– Internal white LED illumination (behind faces)

"COMPASS" LETTERS:
– Fab'd trimless channel construction with white #7328 acrylic faces, vinyl face overlays, and painted finish returns and backs
– Embedded white LEDs as req'd for internal illumination (faces only)
– Letters mount flush to cabinet face

"BY MARGARITAVILLE" LETTERS:
– Routed into cabinet faces (aluminum + composite) with 1" thick clear acrylic push-thru letters and digitally printed vinyl face overlays (on white vinyl / 2nd surface diffuser)

"SALTY RIM BAR & GRILL" SECTION:
– Routed .125 aluminum face with 1" thick clear acrylic push-thru circle (+contour for palm in glass as shown) digitally printed vinyl face overlay (typical / on white vinyl + 2nd surface diffuser)
– Internal white LED illumination

REVEAL & BASE:
– D/F fabricated aluminum cabinet (2" sq tube frame + .125 faces/filler + .063 bottom) with 2" sq tube reveal and raised cabinet trim (top and bottom)

ELECTRICAL:
CIRCUITS: (1) 120V 20A + (1) Toggle Switch
LED LAMPS: (6) 60" DS Pinnacle + PS: (2) 24V-96W
LEDS: (50) Principal QuikMod-2 + PS: (2) 12V-60W

INSTALLATION:
– Typical direct embed steel column with concrete footing as req'd (TBD)

- COLORS** COLORS SHOWN ARE REPRESENTATIVE ONLY ALL PAINT FINISHES TO HAVE SATIN FINISH
- 1 Alpolic Maple Timber #4MPL8 (composite / faux wood finish)
 - 2 Silver AN-811R (metallic paint)
 - 3 Sherwin Williams #9168 Elephant Ear (paint to match)
 - 4 Blue 3M #3630-36 (vinyl, paint to match)
 - 5 Intense Blue 3M #3630-127 (vinyl) – "COMPASS" letter highlights
 - 6 White (#7328 acrylic / Oracal vinyl)
 - 7 SW #7598 Sierra Redwood (paint) – faux wood seams
 - 8 Digital Printed Graphics ("Salty Rim" artwork)

Qty. (1) D/F Internally Illuminated Monument ID Sign

Section 8, Item a.

MARGARITAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

29-Feb-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVI
Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

Monument ID Sign

SALES

G. Stalvey

DESIGNER

M. Donellan

SCALE

1/2" = 1' - 0"

DRAWING

62458-g1

REVISIONS

REV	DATE	BY	NOTE
n/a	18-Mar-24	MD	+ Salty Rim logo

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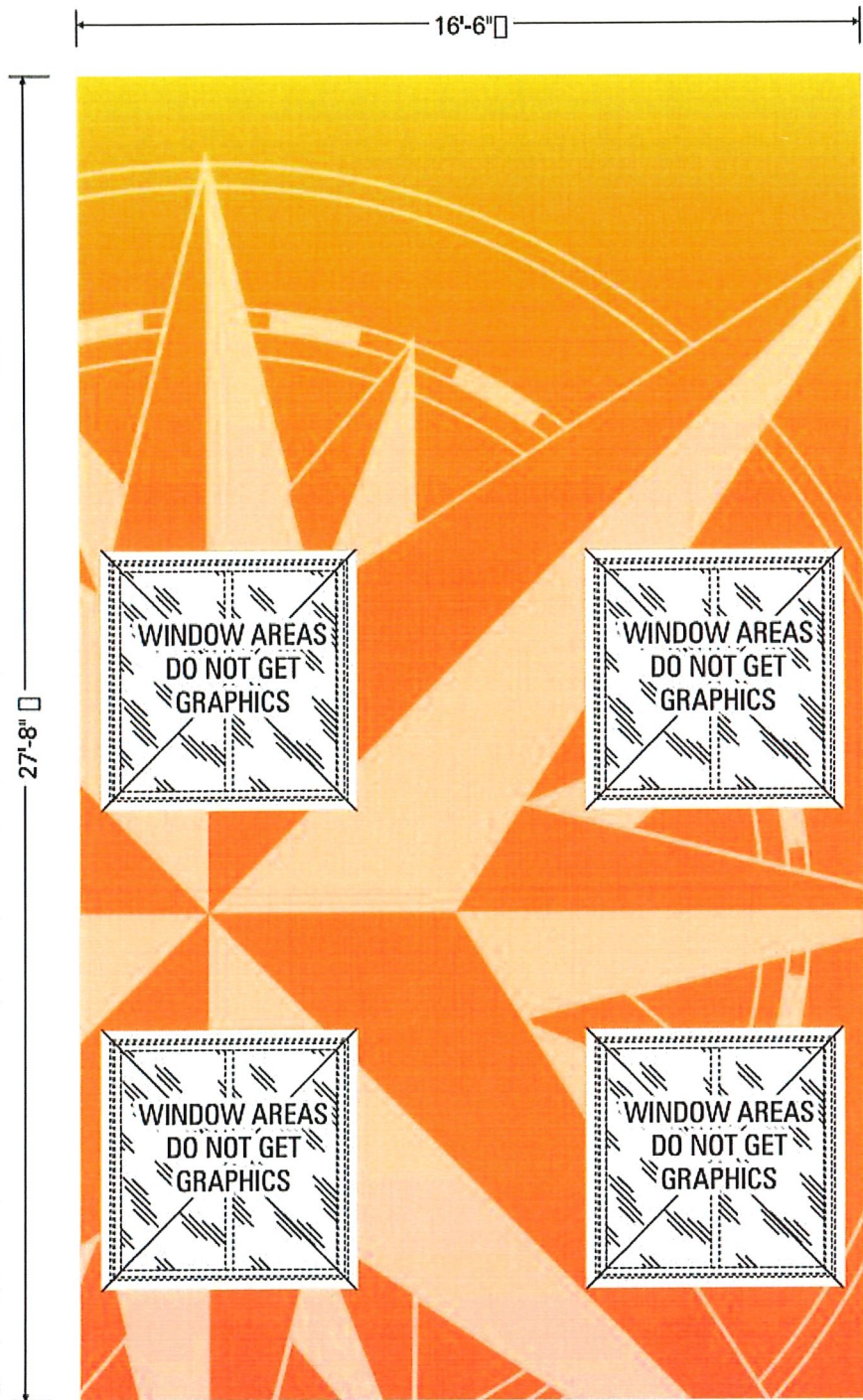
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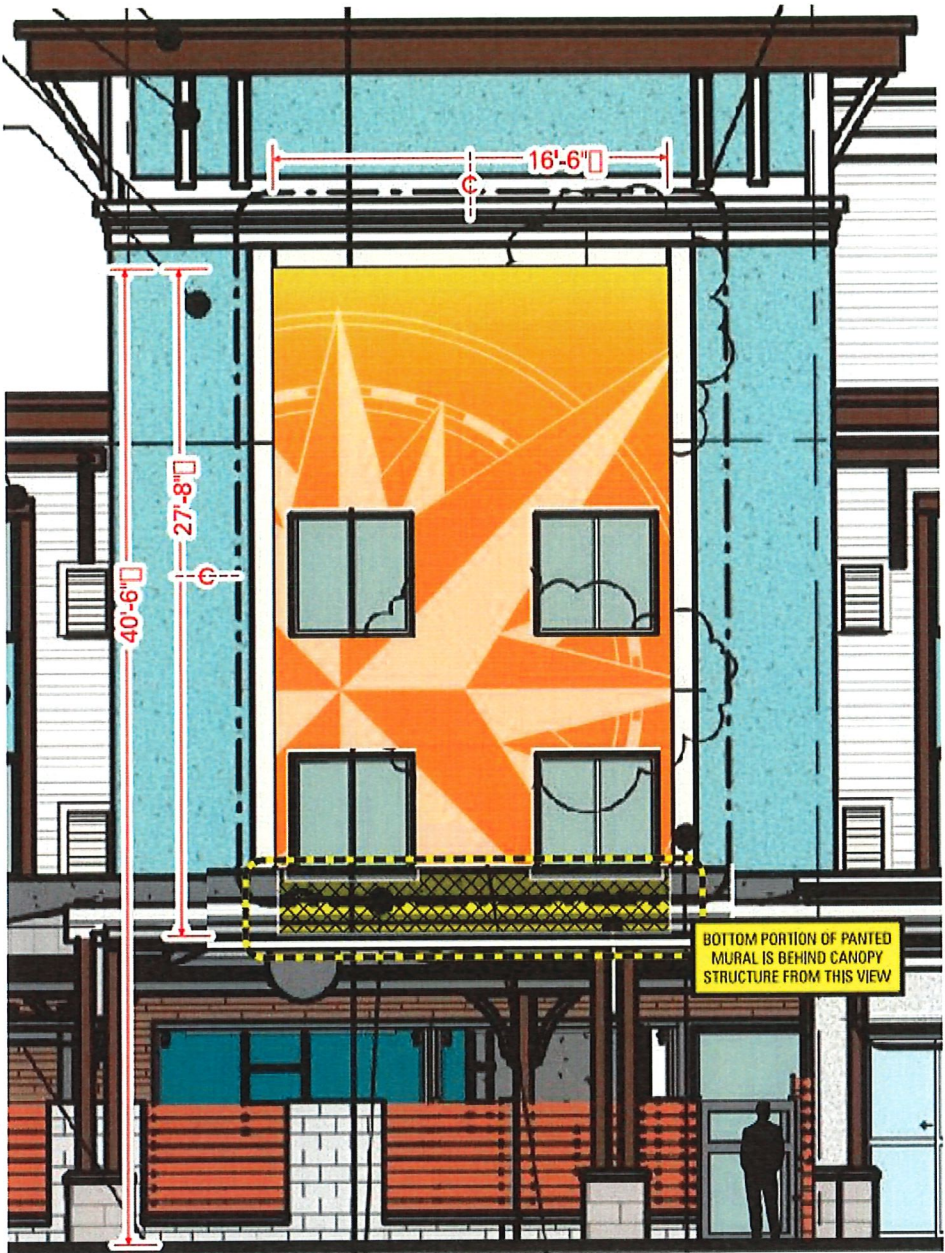
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34



PAINTED MURAL - Windows Shown Typical



INSTALLED - Partial West Elevation
For Reference Only | Scale: 1/8" = 1'-0"

PRODUCTION NOTES
- Painted mural by others

COLORS COLORS SHOWN ARE REPRESENTATIVE ONLY **ALL PAINT FINISHES TO HAVE SATIN FINISH**

☒ Background Gradient Reference:

- PMS 106
- PMS 151
- PMS BRIGHT RED

Qty. (1) Painted Mural for West Elevation (S. Daytona Ave.)

Section 8, Item a.

COMPASS BY MGVL
FLAGLER BEACH / EXTERIOR

Flagler Beach, FL

DATE
29-Feb-2024

CUSTOMER
Sun Properties

PROJECT
Compass By MGVL
Flagler Beach / Exterior

LOCATION
111 S. Daytona Ave.

DESCRIPTION
Facade Painted Mural

SALES
G. Stalvey

DESIGNER
M. Donellan

SCALE
1/4" = 1' - 0"

DRAWING
62458-b1-R1

REVISIONS			
REV	DATE	BY	NOTE
n/a	18-Mar-24	MD	survey box edited
R1	03-Jun-24	BP	chg spec

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Sign Systems
Associates

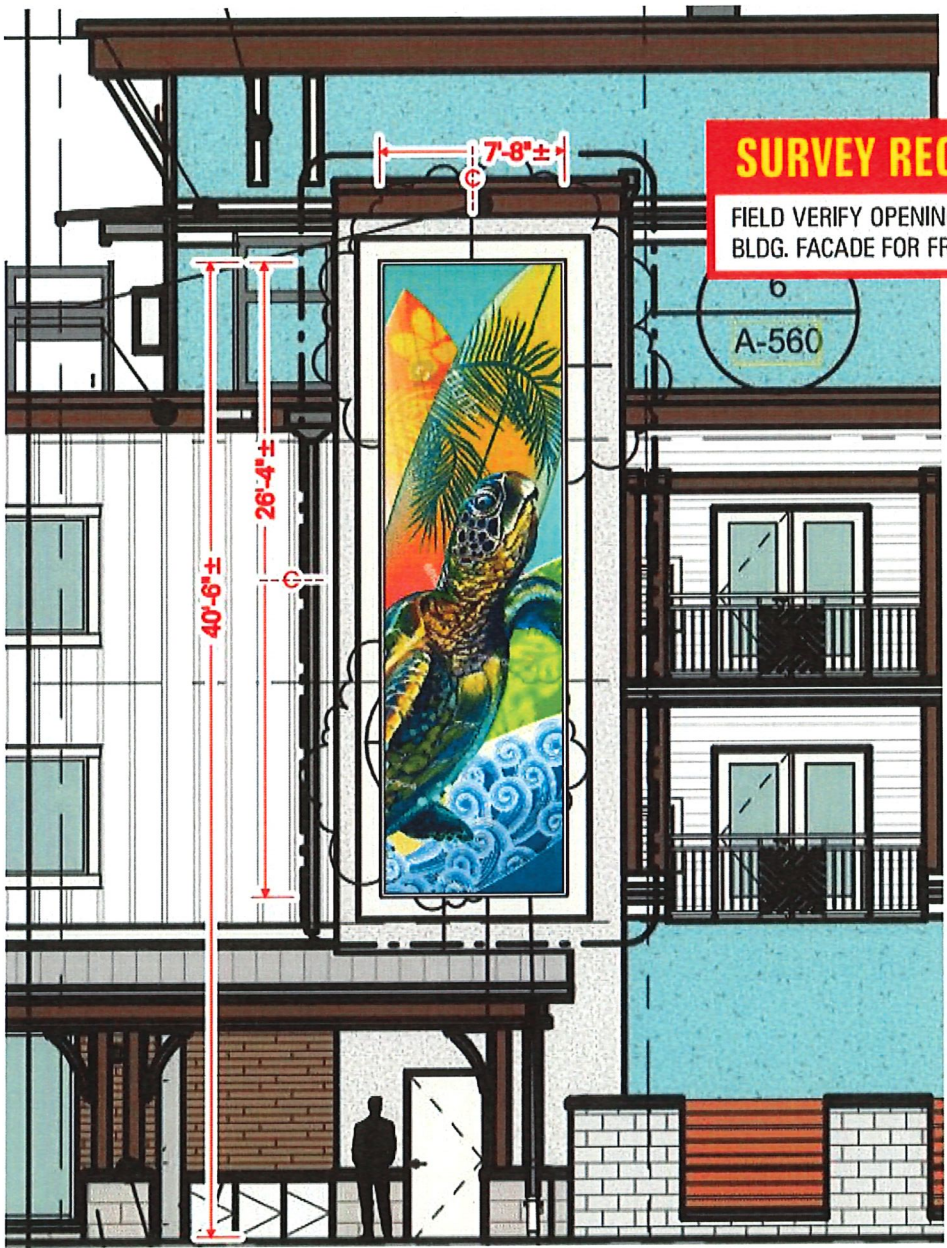
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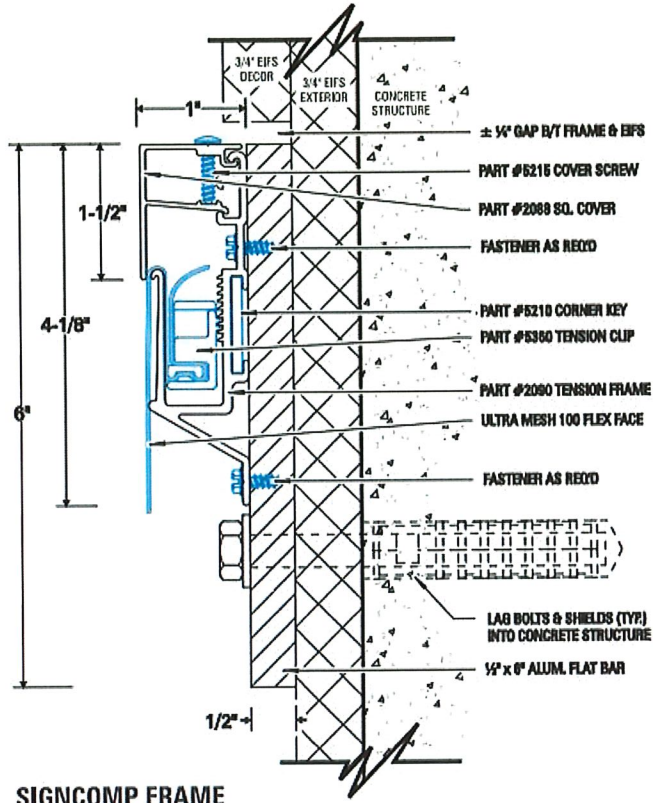
1 1/2" ANODIZED ALUM. FRAME

ARTWORK NOTE
ARTWORK SHOWN IS COMPOSITE SHUTTERSTOCK VECTOR IMAGES; FINAL ARTWORK TO BE APPROVED

SUPER GRAPHIC w/ FRAME – Graphic Shown Typical



INSTALLED – Partial North Elevation
For Reference Only | Scale: 1/8" = 1'-0"



SIGNCOMP FRAME & MOUNTING DETAIL
Wireframe cutaway / for ref. only | NTS

PROOF REQ'D
DIGITAL PROOF REQUIRED FOR CUSTOMER APPROVAL BEFORE FINAL PRODUCTION

PRODUCTION NOTES

– Digitally printed graphic on flexible face material

INSTALLATION:

– Mount directly against building facade using SignComp #2090 Wall Mount Tension Frame (anodized aluminum finish) and fasteners as req'd

MOUNTING NOTE: 1/2"x6" alum. flat bar req'd behind entire frame (perimeter for attachment to building wall (see Signcomp Frame & Mounting Detail above)

COLORS COLORS SHOWN ARE REPRESENTATIVE ONLY **ALL PAINT FINISHES TO HAVE SATIN FINISH**
☒ Digital Scotchprint Graphics (TBD)
☐ White (painted aluminum frame)

Flagler Beach, FL

DATE
29-Feb-2024

CUSTOMER
Sun Properties

PROJECT
Compass By MGVL
Flagler Beach / Exterior

LOCATION
111 S. Daytona Ave.

DESCRIPTION
Facade Super Graphic

SALES
G. Stalvey

DESIGNER
M. Donellan

SCALE
1/4" = 1' - 0"

DRAWING
62458-i1

REVISIONS

REV	DATE	BY	NOTE
n/a	19-Mar-24	MD	shutterstock artwork

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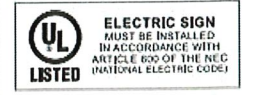
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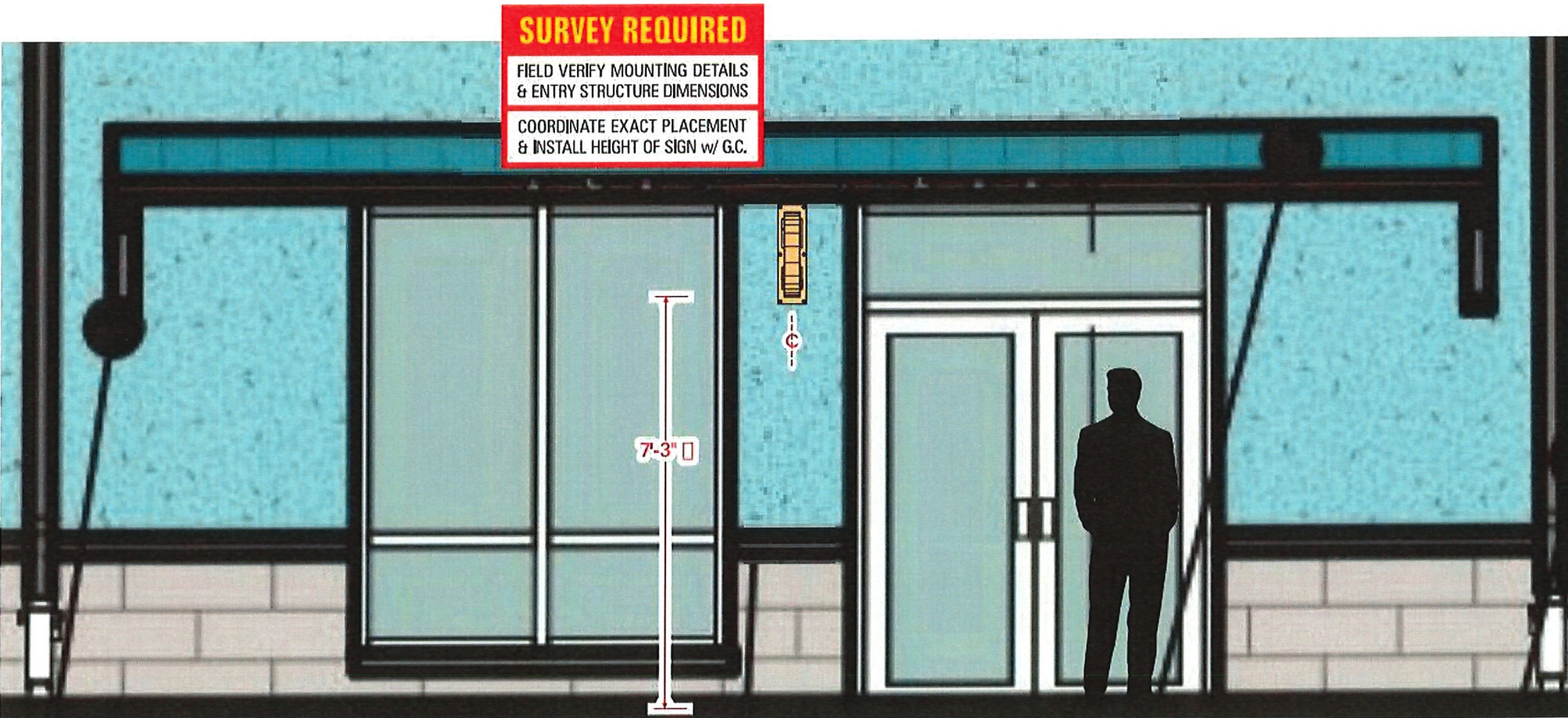
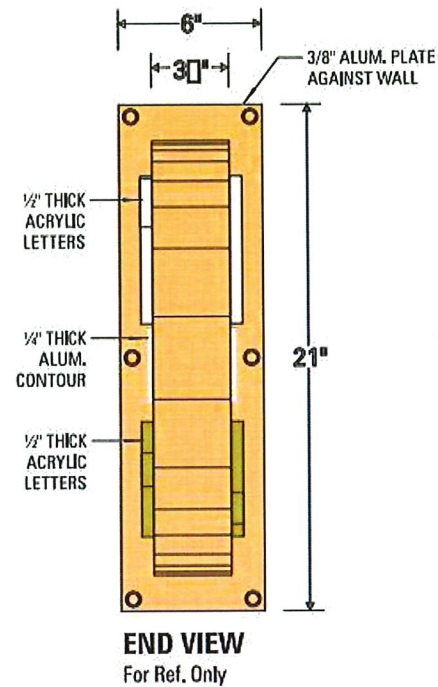
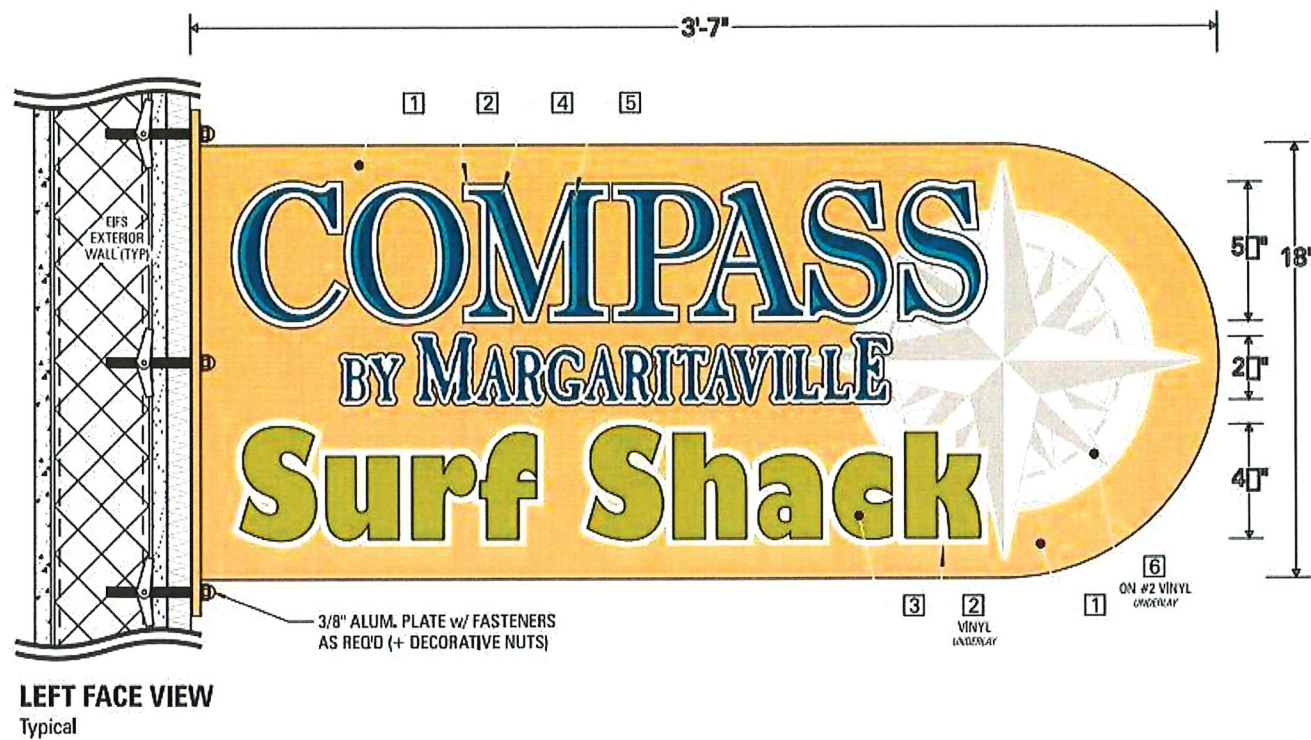


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INSTALLED Partial East Elevation
For reference only | Scale: 1/4" = 1'-0"

Qty. (1) D/F Non-illum. "Compass Surf Shack" Blade Sign for Under Canopy on East Elevtion (S. Central Ave.)

PRODUCTION NOTES

NON-ILLUM. D/F BLADE SIGN:

Fab'd aluminum blade sign (.125 faces + 3" channel frame + 3/8" mounting plate) with painted finish and printed vinyl background 'compass' logo graphic (and white "Surf Shack" contour)
Cut-out 1/2" thick acrylic "Compass" letters, painted white with printed vinyl overlay on faces; flush mount
Cut-out 1/4" plate aluminum "By Margaritaville" contour, painted white with printed vinyl overlay on faces; flush mount
Cut-out 1/2" thick acrylic "Surf Shack" letters, painted red with white vinyl underlay contour; flush mount

INSTALLATION:

Mount blade projecting from building exterior EIFS wall with mechanical fasteners as required (toggle bolts shown, typ.)

COLORS

COLORS SHOWN ARE REPRESENTATIVE ONLY ALL PAINT FINISHES TO HAVE SATIN FINISH

- 1 Pantone #1355c (paint)
- 2 White (3M vinyl / paint)
- 3 Pantone #390c (paint) "Surf Shack"
- 4 Pantone #534c (print) "COMPASS / By Margaritaville"
- 5 Pantone #632c (print) "COMPASS" letter highlights
- 6 Pantone #7527c (print on white vinyl) compass logo

Section 8, Item a.

MARGARITAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

20-Mar-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVI

Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

Surf Shack Blade Sign

SALES

G. Stalvey

DESIGNER

M. Donellan

SCALE

1 1/2" = 1'-0"

DRAWING

62458-j1

REVISIONS

REV	DATE	BY	NOTE

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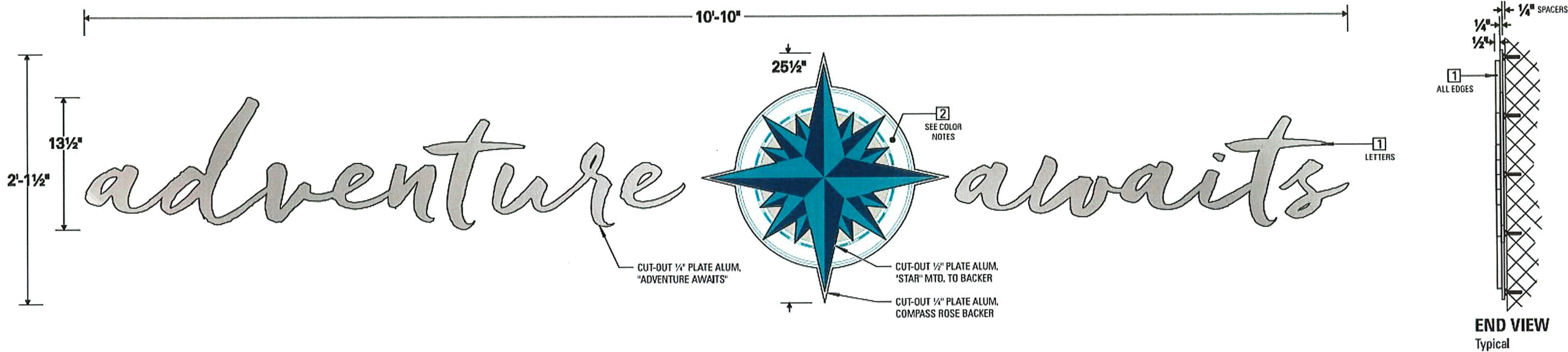
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Sign Systems Association

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INSTALLED – Partial West Elevation
For Reference Only | Scale: 3/8"=1'-0"

Qty. (1) Set Non-illum. Cut-out "Adventure Awaits" Logo & Letters for West Elevation (S. Daytona Ave.)

PRODUCTION NOTES

"ADVENTURE AWAITS" LETTERS:

- Cut-out 1/4" thick plate aluminum letters with painted finish

COMPASS ROSE LOGO:

- Cut-out 1/4" thick plate aluminum backer with painted finish and digitally printed vinyl graphic overlay
- Additional cut-out 1/2" thick plate aluminum compass star with painted finish and digitally printed vinyl graphic overlay; flush mount to backer

INSTALLATION:

- Mount with 1/4" spacers to front of building over entrance doors as shown (1/4" studs + adhesive, typical)

COLORS

COLORS SHOWN ARE REPRESENTATIVE ONLY ALL PAINT FINISHES TO HAVE SATIN FINISH

- 1 Silver AN-811R (metallic paint)
- 2 Reference Colors (digital print on white vinyl):
 - Pantone 534
 - Pantone 632
 - Pantone 7527
 - (25%) Pantone 7527

Section 8, Item a.

COMPASS

MARGARITAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

29-Feb-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVI

Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

"Adventure Awaits"

SALES

G. Stalvey

DESIGNER

M. Donellan

SCALE

1" = 1'-0"

DRAWING

62458-f1

REVISIONS

REV	DATE	BY	NOTE

CUSTOMER APPROVAL

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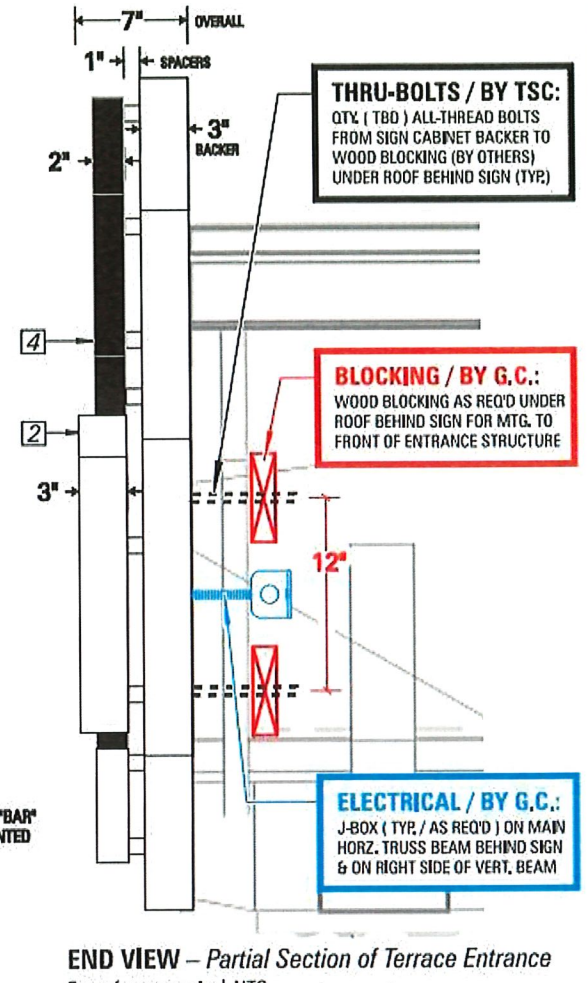
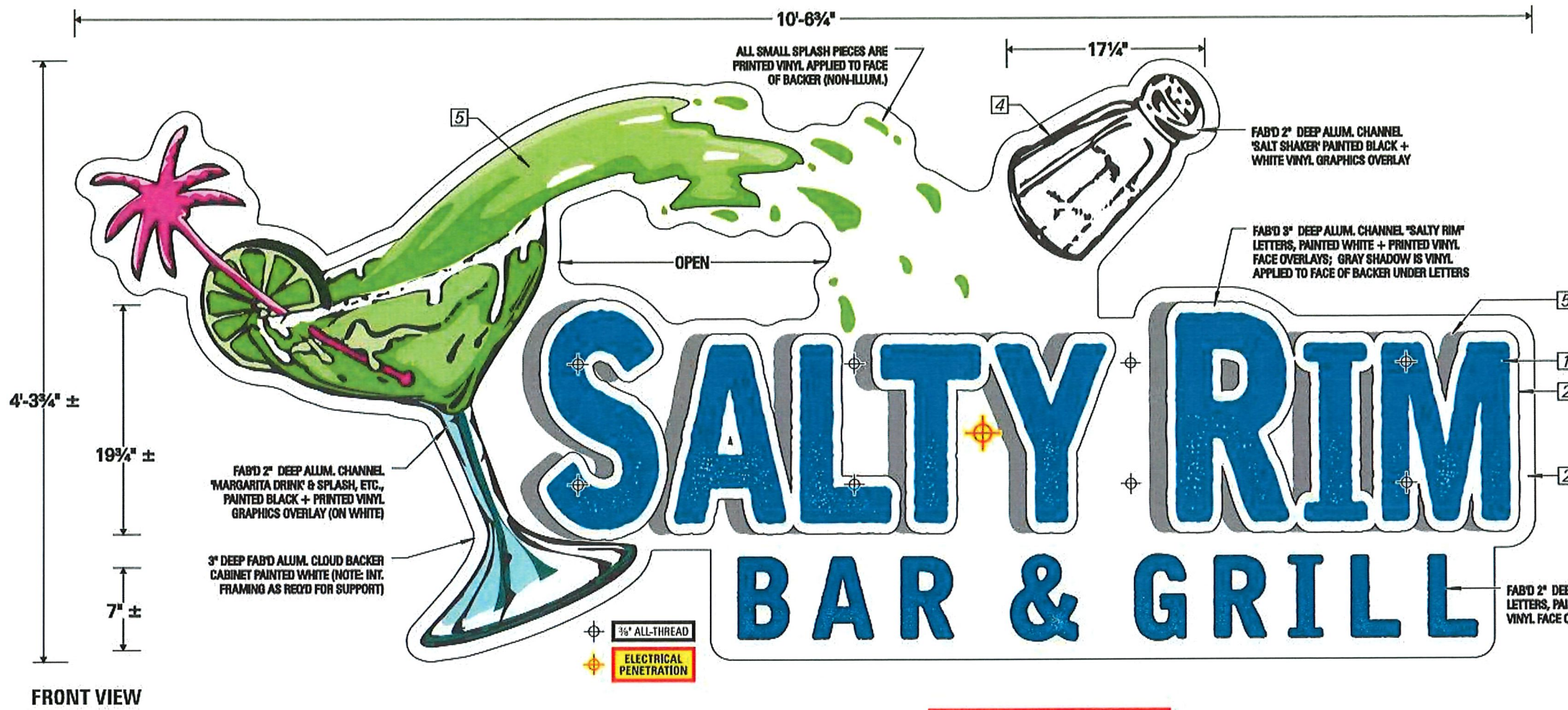
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PRODUCTION NOTES

QTY. (1) "SALTY RIM BAR & GRILL" SIGN:

- S/F fab'd aluminum cloud backer cabinet (3" sq. tube + frame + .125" alum. face + .080 back) with painted white finish and printed vinyl graphics details applied to face as indicated
- Backer cabinet to have internal framing supports for thru-bolt mounting (typical / exact mounting details TBD)
- Individual sign elements and letters are fab'd aluminum reverse channels (.125 alum. faces + coil stock returns, depths as noted) with painted finish and printed vinyl graphics overlays on faces only (see all call-outs)
- Amber LED (Turtle Compliant) halo illumination

ELECTRICAL - (1) 120V, 20A Circuit:

NOTE: Amber LED Turtle Compliant Lighting Required

LEDS: (TBD) Amber LEDs
PS: (TBD) 60W

INSTALLATION:

- Mount cloud backer cabinet to front gable end of outdoor terrace entrance structure as required (see End View)
- Exact mounting details TBD and to be coordinated with customer's General Contractor

- COLORS** COLORS SHOWN ARE REPRESENTATIVE ONLY ALL PAINT FINISHES TO HAVE SATIN FINISH
- 1 Blue Pantone #301 (print to match)
 - 2 White (paint / 3M vinyl)
 - 3 Green Pantone #373 (print to match)
 - 4 Black (paint / print)
 - 5 Digital Printed Graphics (per McBride artwork)

Section 8, Item a.

MARGARITAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

29-Feb-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVL

Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

Salty Rim ID

SALES

G. Stalvey

DESIGNER

M. Donellan

SCALE

1" = 1' - 0"

DRAWING

62458-e1

REVISIONS			
REV	DATE	BY	NOTE

CUSTOMER APPROVAL

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TYSON SIGN COMPANY

Putting Your Business Out Front!

CONTACT INFO

1-843-448-5168

Fax: 843-448-0535

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Myrtle Beach, SC 29579

www.tysonsign.com

UL LISTED

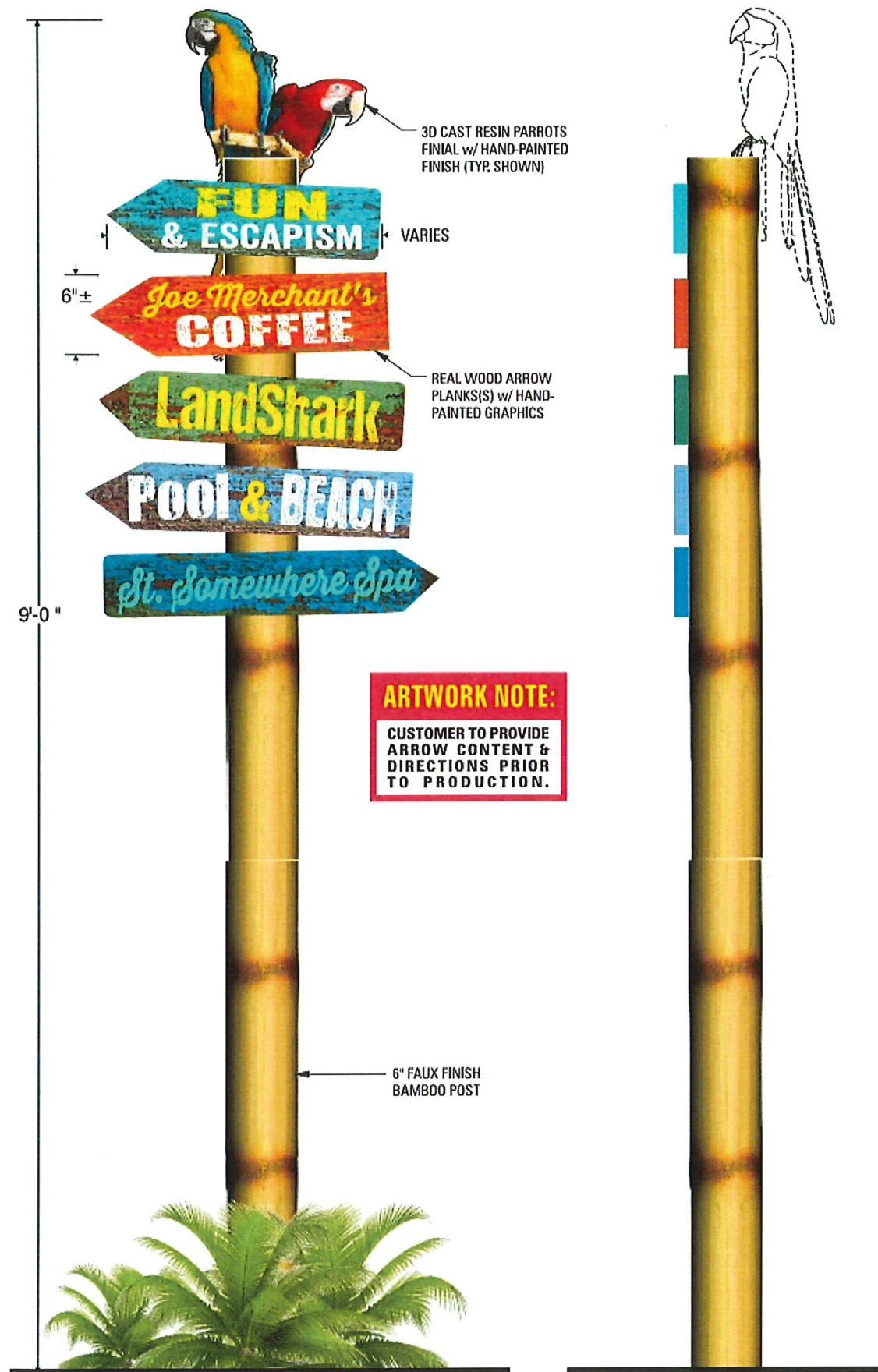
ELECTRIC SIGN MUST BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NEC (NATIONAL ELECTRIC CODE)

ssa

Sign Systems Association

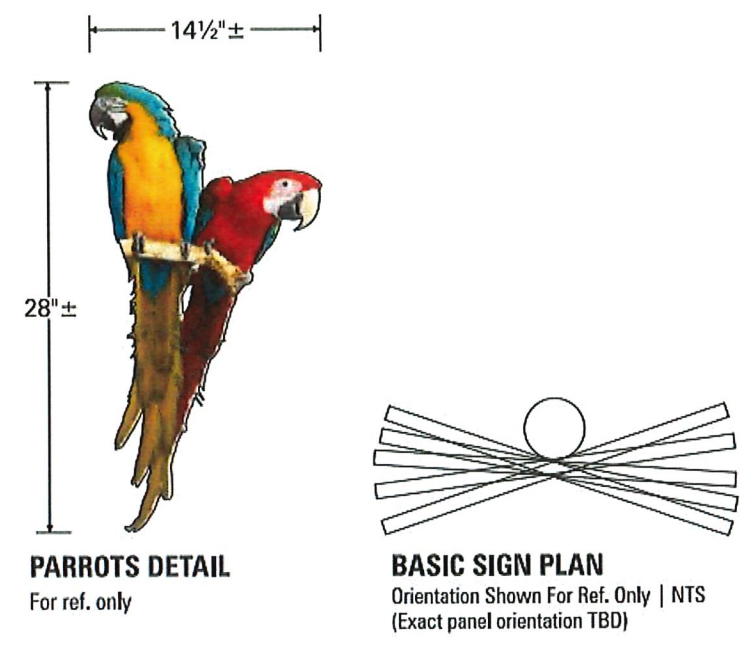
39

Qty. (1) S/F Halo-illum. "Salty Rim Bar & Grill" Sign for Front of Terrace Entry on East Elevtion (S. Central Ave.)



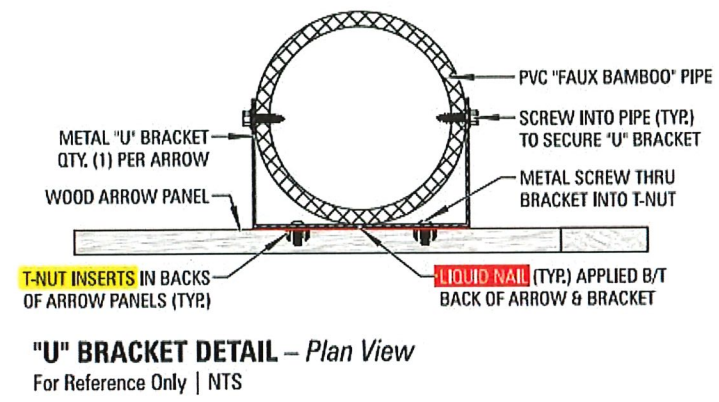
FRONT VIEW – Typical
For reference only | NTS

SIDE VIEW – Post & Arrows Only
For reference only | NTS

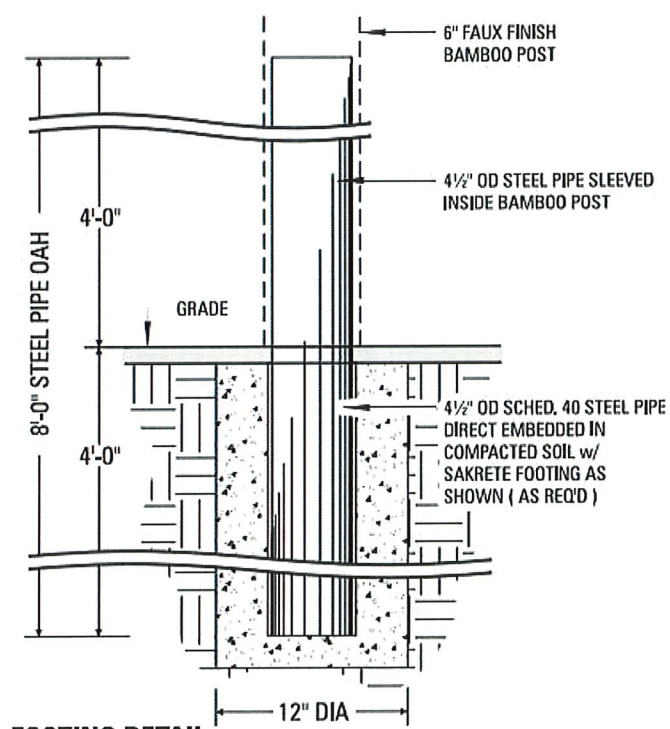


PARROTS DETAIL
For ref. only

BASIC SIGN PLAN
Orientation Shown For Ref. Only | NTS
(Exact panel orientation TBD)



"U" BRACKET DETAIL – Plan View
For Reference Only | NTS



FOOTING DETAIL
Typical / For Ref. Only | NTS

PRODUCTION NOTES

- ISLAND STYLE WAYFINDING SIGN:**
- Qty. (3) freestanding faux bamboo post (6" PVC, painted) wayfinding signs
 - Hand-carved 3-dimensional signfoam parrots finial (carved and painted to match designer's intent)
 - Real wood arrow planks with visible wood grain and hand-painted graphics as shown (mount with "U" brackets screwed into post / see detail)
- INSTALLATION**
- Faux finish bamboo post to sleeve over steel base pipe embedded in ground with Sakrete footing as required (see Installation Detail)

COLORS

COLORS SHOWN ARE REPRESENTATIVE ONLY

- ☒ 3D parrots coloring to match designer's intent
- ☒ Arrow plank color to match designer's intent

NOTE: ARROW COLORS w/ VISIBLE WOOD GRAIN:

	PROCESS YELLOW		WHITE		PMS 100
	PMS WARM RED		BLACK		PMS 375
	PROCESS BLUE		PMS 315		PMS 343

Section 8, Item a.

MARGARITAVILLE HOTELS & RESORTS

Flagler Beach, FL

DATE

30-May-2024

CUSTOMER

Sun Properties

PROJECT

Compass By MGVI
Flagler Beach / Exterior

LOCATION

111 S. Daytona Ave.

DESCRIPTION

Wayfinding Signs

SALES

G. Stalvey

DESIGNER

B. Paul

SCALE

1" = 1' - 0"

DRAWING

62458-k1

REVISIONS

REV	DATE	BY	NOTE

CUSTOMER APPROVAL

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SSA

Sign Systems Association

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[illegible]

To the best of the architect's or engineer's knowledge the plans and specifications comply with the applicable minimum building codes and applicable fire safety standards as determined by the local authority in accordance with Florida Statutes chapters 553 and 6

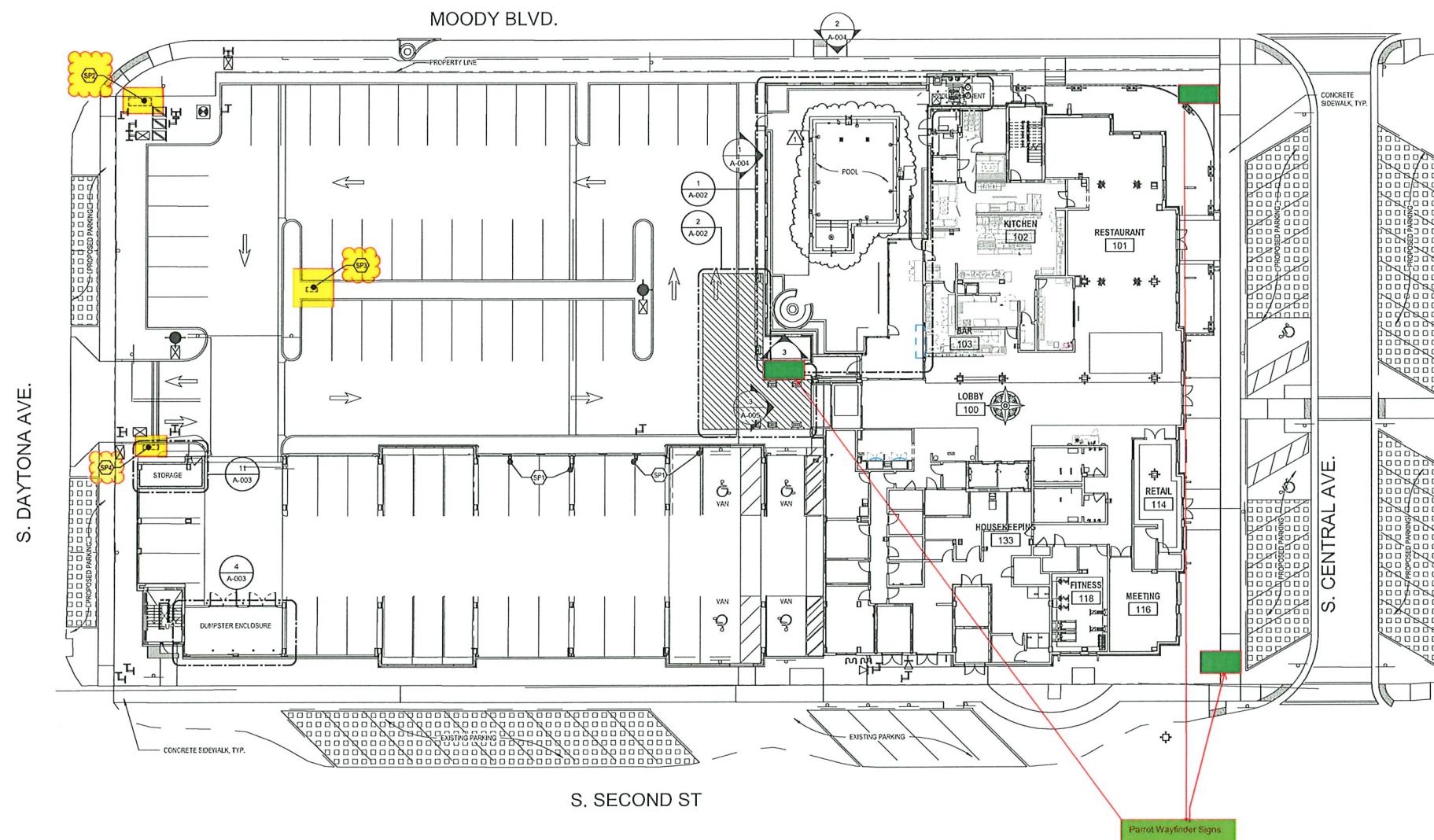


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ARCHITECT OF RECORD
MEGAN NIELSEN HEGSTAD
AR 101145
DESIGNED BY
BRPH
DRAWN BY
BRPH
PROJECT NUMBER
C08732.001
DATE
11/04/2022
TITLE
ARCHITECTURAL
PLAN


DRAWING NO.
A-001

KEYNOTES - SITE	
Key Value	Keynote Text
SP1	ELECTRIC VEHICLE CHARGING STATIONS
SP2	GROUND LEVEL MONUMENT SIGN
SP3	GROUND LEVEL DIRECTIONAL EXIT SIGN
SP4	GROUND LEVEL DIRECTIONAL ENTRANCE SIGN



1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"



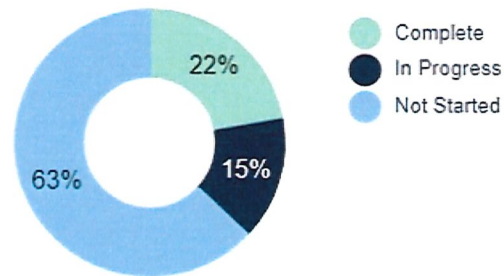
1		- Initiation					
2		Gridics Business Case/Demo for City Manager, Engineering, Finance	 Lupita McClenning	06/14/24	06/14/24	Complete	Section 8, Item a.
3		Gridics proposal to CM, Finance, Attorney - Sole Source	 Lupita McClenning	06/25/24	06/25/24	Complete	
4		Gridics solution presented to PARB	 Lupita McClenning	07/02/24	07/02/24	Complete	Presented at Regular Meeting 07/02/2025
5		Gridics proposal to City Commission	 Lupita McClenning	07/16/24	07/25/24	Complete	Presented at Regular Meeting 07/25/2024
6		Execute Gridics Scope and Contract	 Lupita McClenning	07/16/24	07/25/24	Complete	Budget amendment approved 07/25/2024
7		Notice to Proceed/Execute Contract	 Lupita McClenning	07/26/24	07/29/24	Complete	Approved City Commission Regular Meeting 07/25
8		Team Charter and Committee Selection	 Lupita McClenning	07/29/24	10/04/24	In Progress	<i>Recommendations for Team Charter Members: PARB, CRA Business Owner, Flagler County GIS, Property Appraiser, Subject Matter Expert (SME), Member of CC</i>
9		Coordinate w/County IT Taylor Phillips	 Lupita McClenning	07/09/24	07/31/24	In Progress	Taylor Phillips tphillips@flaglercounty.gov
10		Coordinate w/Property Appraiser GIS Supervisor	 Lupita McClenning	07/29/24	08/02/24	In Progress	Todd Largacci tlargacci@flaglerpa.com
11		Identify Admin Users	 Lupita McClenning	07/29/24	08/02/24	In Progress	
12		- Data Collection & Systems Prep					
13		Prepare Base Maps	GRIDICS	07/29/24	08/05/24	Not Started	
14		Provide GIS shapes/data	 Lupita McClenning	07/30/24	08/05/24	Not Started	Flagler County GIS Department
15		Prepare and import GIS data	GRIDICS	08/05/24	08/12/24	Not Started	
16		Provide code text	 Lupita McClenning	07/29/24	08/02/24	Not Started	
17		Process and import code text	GRIDICS				
18		- Calibration					
19		Resolve data issues with Flagler	GRIDICS	08/12/24	08/19/24	Not Started	
20		Read code & calibrate zoning engine	GRIDICS	08/12/24	08/26/24	Not Started	
21		Calculate applicable parcels	GRIDICS	08/27/24	09/03/24	Not Started	
22		Internal QA	 Lupita McClenning	09/03/24	09/10/24	Not Started	
23		- User Acceptance Testing					
24		Test projects & review parcels across zones & overlays	 Lupita McClenning	09/11/24	09/18/24	Not Started	
25		Provide feedback to Gridics	 Lupita McClenning	09/11/24	09/18/24	Not Started	
26		Adjust calibration	GRIDICS	09/19/24	09/26/24	Not Started	
27		Final calculation & upload of updates	GRIDICS	09/19/24	09/26/24	Not Started	
28		- Training					
29		Code Hub text editor training (1 session)	GRIDICS	09/19/24	09/26/24	Not Started	
30		Planner & front counter staff training	GRIDICS	09/30/24	10/04/24	Not Started	
31		- Launch & Closure					
32		Public link to Gridics	 Lupita McClenning	09/30/24	10/04/24	Not Started	
33		Press Release	GRIDICS	09/30/24	10/04/24	Not Started	
34		Final billing	GRIDICS	09/30/24	10/04/24	Not Started	
35							
36							

Project Dashboard

Project Links

- [Task Sheet](#)
- [Task Summary Report](#)
- [Overdue Tasks Report](#)

Project % Complete



Tasks by Status

