



PLANNING AND ARCHITECTURAL REVIEW BOARD MEETING AGENDA

Tuesday, May 07, 2024 at 5:30 PM

City Commission Chambers – 105 S. 2ND Street, Flagler Beach, FL 32136

ALL MEETING ITEMS WILL BE CONTINUED UNTIL MEETING IS COMPLETE.

1. Call the meeting to order
2. Pledge of Allegiance
3. Roll Call / Determination of Quorum
4. Approval of Meeting Minutes

a. April 2, 2024

5. Old Business: NONE

6. New Business

a. **Application RZ 24-0001:** Request to rezone property from the General Commercial (GC) zoning district to the Single Family Residential (R1) zoning district. Property will combine with the adjoining parcel at 112 N 6th Street (Parcel No. 12-12-31-4500-00020-0070).

Parcel ID No.: 12-12-31-4500-00020-0081

Zoning District: General Commercial (GC)

FLUM: Commercial

Owner: Joseph Kovach – 112 N 6th Street, Flagler Beach, FL 32136

Applicant: Joseph Kovach – 112 N 6th Street, Flagler Beach, FL 32136

b. **Application FLUMA 24-0001:** Request to amend the Future Land Use map designation of the property from Commercial to Medium Density Residential. Property will combine with the adjoining parcel at 112 N 6th Street (Parcel No. 12-12-31-4500-00020-0070).

Parcel ID No.: 12-12-31-4500-00020-0081

Zoning District: General Commercial (GC)

FLUM: Commercial

Owner: Joseph Kovach – 112 N 6th Street, Flagler Beach, FL 32136

Applicant: Joseph Kovach – 112 N 6th Street, Flagler Beach, FL 32136

c. **Application SP 24-0001;** Final Site Plan Approval - Request to build a new mixed-use building at 907 N Ocean Shore Blvd.

Parcel ID No.: 01-12-31-1100-00050-0050

Zoning District: Tourist Commercial (TC)

FLUM: Commercial

Owner: Gaspar Family Holding - 8601 E Church Street, Hastings, FL 32145

Applicant: Luis Medeiros, A Plus Home Improvements - 306 S Railroad Street, Bunnell, FL 32110

- d. ORDINANCE 2024 - XX** - AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING THE CITY OF FLAGLER BEACH LAND DEVELOPMENT REGULATIONS RELATING TO MOBILE HOME PARK SETBACKS; AMENDING SECTION 2.09.103 OF THE LAND DEVELOPMENT REGULATIONS TO REDUCE THE SETBACKS FOR MOBILE HOMES LOCATED WITHIN MOBILE HOME PARKS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATIONS, CONFLICTS AND EFFECTIVE DATE. (Drew Smith, City Attorney)

7. Board Comments

8. Other Business

9. Adjournment

RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decisions or findings made about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript. The City is not responsible for any mechanical failure of the recording equipment. In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext. 233 at least 72 hours prior to the meeting. Please take notice that individual Elected Officials of the City of Flagler Beach may attend this meeting. Those Elected Officials who attend will not take any action or take any vote at this meeting. This is not an official meeting of the Flagler Beach City Commission. This notice is being provided to meet the spirit of the Sunshine Law to inform the public that Elected Officials may be present and participate in this meeting.



City of Flagler Beach

Section 4, Item a.

Planning and Architectural Review Board

Tuesday, April 2, 2024 at 5:30 p.m.

105 S. 2nd Street

Flagler Beach, FL 32136

MEETING MINUTES

Call meeting to order: Chairman Joseph Pozzuoli called the meeting to order at 5:30p.m

1. Pledge of Allegiance: Marshall Shupe led the pledge.

2. Roll Call:

Present: Chairman Joseph Pozzuoli, Vice Chairman Marshall Shupe, Joann Soman, Brenda Wotherspoon, Scott Chappuis, Lisa Smith and Paul Chestnut

Absent: None

Staff Present City Attorney Drew Smith and Secretary Bonnie Bramer.

3. Approval of Meeting Minutes:

January 2, 2024 – amend meeting minutes to correct comment by Vice Chairman Marshall Shupe.

March 5, 2024 – amend meeting minutes to add Lisa Smith in attendance and correct verbiage regarding comments made by Brenda Wotherspoon regarding Item 5 (Sign allowance/size) amending article II Land Development Regulations.

Marshall motioned to recommend approval with amendments. Joann Soman seconded the motion. Motioned passed unanimously.

4. Old Business:

None

5. New Business:

Request to hear Item C first. Item was Chaired by Joseph Pozzuoli

C. Presentation and discussion of Land Development Regulation building height exceptions.

Larry Torino, Consultant Planner presented power point presentation.

Mr. Torino touched on the history of the moratorium put into effect November 9, 2023 due to the following concerns: building height exception allowances and interpretation, lack of definitions for specific listed height exception structures and potential designer/developer exploitation. The directive of the moratorium was for staff to study and develop Land Development Code provisions and other recommendations related to exceptions to the thirty-five feet height limitations for mechanical and architectural elements. Moratorium will expire on May 9, 2024.

Mr. Torino reviewed the following:

- Section 2.05.06 Permitted exception to height regulations
- Reviewed definitions such as, architectural feature, building appurtenance, building tower, mechanical appurtenance, ornamental tower and parapet
- Building height and interpretation
- Design guidelines – building height

Mr. Torino discussed the potential items confronting the building height issues such as:

- Maintaining status quo
- Exclusion – prohibit rooftop mechanical equipment and architectural elements exceeding 35ft. building height (elevators)
- Judicious Amendment(s) – retain the existing regulatory language; provide clarity (clarify height parameters for parapet wall height, towers and functional building elements)
- More restrictive regulations – revise the existing regulations to allow more flexibility for rooftop access and amenity provision with height limitations (such as, open rooftop pavilion height, railing and etc.)
- Moderate Amendments – revise the existing regulations to allow more flexibility for rooftop access and amenity provisions with height limitations (such as, open rooftop pavilion height)
- Establish an overall height maximum for rooftop mechanical equipment, architectural elements and like appurtenances

Mr. Torino's recommendation to the planning board is to extend the height moratorium. Suggestion is to have the City Commission and the Planning and Architectural Board members hold a joint workshop to resolve issues together.

Board comments:

Scott Chappuis – Questioned as to whether height issue can be simplified to help the public understand the height limit.

Joann Soman – likes the 45' height

Lisa Smith – likes the 45' height number. Would help with confusion indicating the 40% rule. Calculation is great and helps simplify for the public while addressing concerns and questions.

Vice Chairman Marshall Shupe – Believes the 35' height limit is a misnomer. Does not like the 40% calculation used. Would like to continue to see different elevations of roof height.

Brenda Wotherspoon – All for more conversation and education regarding the height limit. Would like to see the CRA district have a separate delineation.

Paul Chestnut – All for extending moratorium to gain clarification and a better definition in simplified language regarding the height limit.

Chairman Pozzuoli – Not in favor simplifying the height limit ordinance. Would be in agreement with the 45' height limit, instead of the 40% above the 35' height limit.

Chairman Pozzuoli opened public comments. The following comments were received from:

Silvio Digregorio, 602 S Central Avenue – concerns with top floor structure on of the hotel and what the usage is going to be. Concerns with changing of the height ordinance language referring to a roof height number of 45'.

Steve Dalley, 1764 Windsong Circle – concerns with towers, stairwells and top floor of the hotel.

Charlie Marlowe, S. Flagler Avenue – concerns with the roof top usage of the hotel.

Edward (last name unclear) 9th St, - likes the rooftop on hotel. Will serve the hotel well.

Don Deal – Likes the idea of having a workshop to discuss the height limit issue and believes it would be in the best to have both the city commission and the planning board attending a workshop together to make a decision in the direction to go. Would like to see Larry Torino involved in the process moving forward.

There being no other public comment Chairman Pozzuoli closed public comments.

Joann Soman motioned to recommend to extend the height moratorium and schedule a workshop to include the planning board, city commission and City Consultant Larry Torino. Paul Chestnut seconded the motion. Motion was unanimous.

A. ORDINANCE 2024-XXX; AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING APPENDIX A, LAND DEVELOPMENT REGULATIONS, ARTICLE II, ZONING, OF THE CODE OF ORDINANCES; ADDING A ZONING CATEGORY FOR MASTER PLANNED DEVELOPMENT (“MPD”); PROVIDING FOR REVIEW, APPROVAL, DEVELOPMENT STANDARDS, PERMITTED USES, REGULATION, AND IMPLEMENTATION OF MASTER PLANNED DEVELOPMENTS; PROVIDING FOR CONFLICTS; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE

Chairman Pozzuoli passed the gavel to Vice Chairman Marshall Shupe to complete items left on the agenda.

City Attorney Drew Smith presented item. Discussion ensued with board members. Corrections to be made as follows:

- Page 2 - 2.07.1.03-1 typo
- Page 3 - #1(a) typo
- Page 6, table 2.1 – cluster development (p) should be an (a) under allowable
- Add bottle clubs in Table 2-1 as a non-permitted use

Vice Chairman Shupe opened public discussion. There being no comments, public discussion was closed.

Joann Soman motioned to recommend approval of Ordinance 2024-xxxx with changes as amended. Lisa Smith seconded the motion. Motion passed unanimously.

B. ORDINANCE 2024-04; AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, RELATING TO IMPACT FEES; ADOPTING THE FEE STUDY PREPARED BY TISCHLER BISE; INCREASING THE AMOUNTS TO BE CHARGED FOR WATER AND WASTEWATER IMPACT FEES; ADOPTING NEW POLICE, FIRE, LIBRARY, AND PARKS AND RECREATION IMPACT FEES; ESTABLISHING AN ADMINISTRATIVE CHARGE CONSISTENT WITH STATE LAW; AMENDING REGULATIONS PERTAINING TO THE COLLECTION, USE, AND TIMING OF PAYMENTS OF WATER, WASTEWATER, POLICE, FIRE, LIBRARY, AND PARKS AND RECREATION IMPACT FEES; PROVIDING FOR NOTICE OF INCREASED AND NEW FEES; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY AND CONFLICTS, AND PROVIDING AN EFFECTIVE DATE.

City Attorney Drew Smith presented item. Discussion ensued with board members.

Vice Chairman opened public comments. Comments were received from the following:

Steve Daley – 1764 Windsong Circle – concerns as to how the impact fee funds come into the City and who they are distributed to.

There being no further comments, public comment was closed.

Board recommends changes to the following:

- Effective date of Ordinance changed from August 1, 2024 to October 1, 2024

Joan Soman made a motion to recommend approval of Ordinance 2024-04 with change noted. Paul Chestnut seconded the motion. Motion passed unanimously.

C. Board Comments - None

D. Other Business - None

E. Adjournment

Joann Soman motioned to adjourn meeting. Scott Chappuis seconded the motion.

Meeting adjourned at 8:20pm.



City of Flagler Beach

Section 6, Item a.

Planning and Building Department Staff Report

OVERVIEW

Case Number: Application No. PRZ#24-0001
Applicant: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate
Property Owner: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate
Property Description: Improved, generally flat
Site Location: 6th Street North between Central Avenue & Ocean Shore Boulevard
Property ID #: 12-12-31-4500-00020-0081
Current FLUM designation:... Commercial
Current Zoning designations: General Commercial
Current Use: Vacant
Total Acreage: ±0.11 acres (4,964 sq. ft.)

A. REQUESTED ACTION

Application Type: Rezoning request: **(See Attachment #1)**

Requested Action: Planning and Land Development Regulation Board recommend to City Commission; Approve application request per **Land Development Regulations; Article VIII. Administration and Enforcement** the Property ID# of which is 12-12-31-4500-00020-0081 **(See Attachment #2, Survey & Attachment #3 Location Map).**

B. SUMMARY IN BRIEF:

A rezoning request with a companion Future Land Use Map amendment to allow the property owner to develop the property with an accessory dwelling unit (ADU) in conjunction with the existing house at 112 North 6th Street. Under the current zoning, a single family residence could be built on the subject property, however, the owners wish to construct an ADU smaller than the required minimum size for a house. The owners plan to join the two properties, which requires a rezoning and Future Land Use amendment to avoid a split zoning.

The project would be consistent with the proposed Future Land Use Map designation.

C. PUBLIC NOTIFICATION:

Land Development Regulations: Section 8.04.12.

1. Legal Advertisement: Circulation in a newspaper of daily has been accomplished in keeping with the required public notification timeframe **(See Attachment #4 Legal Advertisement)**. To date, the City has not received any formal notices or comments from members of the public regarding the application request.
2. Public Notification: Property owners within a radius of five hundred (500) feet of the rezoning request have been notified by certified mail of the intent to rezone **(See Attachment #5 Public Notification)**.

D. BACKGROUND

A rezoning request with a companion Future Land Use Map amendment to allow the property owner to develop the property with an accessory dwelling unit (ADU) in conjunction with the existing house at 112 North 6th Street. Under the current zoning, a single family residence could be built on the subject property, however, the owners wish to construct an ADU smaller than the required minimum size (900 square feet) for a house.

The Zoning Code allows "Customary accessory uses and structures clearly incidental to one (1) or more permitted uses and structures" in the SFR District, this has traditionally been interpreted to include additional bedroom and bathroom structures without a full kitchen. These units are commonly known as "mother-in-law suites." An accessory use can only be built in conjunction with an allowed primary use.

The lot is unusual in that it was split in half to allow a utility easement on the eastern half, which makes building a viable commercial building difficult.

The owners plan to join the two properties, which requires a rezoning and Future Land Use amendment to avoid a split zoning.

The project would be consistent with the proposed Future Land Use Map designation.

The legal description of Parcel ID #12-12-31-4500-00020-0081 which is described as follows:

THE WESTERLY 30 FEET OF LOT 8, BLOCK 2, MOODY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN MAP BOOK 1, PAGE 24 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

E. ANALYSIS

FUTURE LAND USE AND ZONING INFORMATION

The following table summarizes the existing and proposed land use and zoning information:

USE SUMMARY TABLE:

CATEGORY	EXISTING	PROPOSED
Future Land Use Map (FLUM)	Commercial (See Attachment #6 FLUM)	Medium Density Residential
Zoning District	General Commercial (See Attachment #7 Zoning Map)	Single Family Residential
Overlay District	N/A	N/A
Use	Vacant	Accessory Dwelling Unit
Acreage	±0.11 acres	±0.11 acres
Access	N. 6th Street	N. 6th St.

F. SURROUNDING LAND USES AND COMPATIBILITY:

North: FLUM: Commercial
Zoning: General Commercial

South: FLUM: Commercial
Zoning: General Commercial

East: FLUM: Commercial
Zoning: General Commercial

West: FLUM: Medium Density Residential
Zoning: Single Family Residential

G. Analysis: Planner Criteria Parameters:

A. The proposed rezoning does not conflict with or is contrary to the public interest;

Finding: The proposed zoning change is consistent with the proposed 2010 Future Land Use Map designation for the property. The requested change will allow the applicant to develop the property to submit their continued residence on the neighboring property. Due to unique circumstances, the property is difficult to develop under its current zoning.

B. The proposed rezoning is consistent with the Goals, Objectives and Policies of the Comprehensive Plan

Finding: The requested use of the property is consistent with, and furthers the Goals, Objectives and Policies of the Comprehensive Plan, as follows.

Objective A.1.13 9J-5.006(3)(b)3

Coordinate all new development and rezoning with the land use categories, densities and intensities as outlined in the City's adopted Comprehensive Plan.

Policy A.1.13.2 9J-5.006(3)(c)2

The City of Flagler Beach shall discourage the issuance of variances, special use permits, building permits or zoning changes in any case where the proposed land use is not consistent with the City of Flagler Beach duly adopted Comprehensive Plan.

C. The proposed rezoning must not impose a significant financial liability or hardship for the City;

Finding: Any improvements that result from development after the rezoning that may require public improvements will be ensured via a Performance/Maintenance Bond (Site Plan Application level)

D. The proposed rezoning must not create an unreasonable hazard, or nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants;

Finding: The requested rezoning does not pose an unreasonable hazard, or nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants. The change in zoning for the property under consideration is in harmony with the Future Land Use Map and consistent with the requested zoning designation as it relates to adjoining properties.

RECOMMENDATION:

Approve Rezoning Application RZ#24-XX-XX to rezone Parcel I.D. No. 12-12-31-4500-00020-0081 from General Commercial to Single Family Residential based upon findings of fact which demonstrate the zoning change request is following all applicable Objectives and Policies of the City of Flagler Beach Comprehensive Plan.

ATTACHMENTS:

Attachment 1 – Rezoning Application
Attachment 2 – Survey

- Attachment 3 - Location Map
- Attachment 4 - Legal Advertisement
- Attachment 5 -Public Notification
- Attachment 6- Future Land Use Map
- Attachment 7 - Zoning Map



CITY OF FLAGLER BEACH BUILDING AND PLANNING DEPARTMENT

Section 6, Item a.

RECEIVED

GENERAL APPLICATION		JAN - 5 2024
<input type="checkbox"/> Final Site Plan	<input type="checkbox"/> Preliminary Plat	City of Flagler Beach Building Department
<input type="checkbox"/> Master Site Plan	<input type="checkbox"/> Final Plat	
<input type="checkbox"/> Site Development Plan(s)	<input type="checkbox"/> Plat Vacating	
<input checked="" type="checkbox"/> Rezoning	<input type="checkbox"/> Subdivision Master Plan	
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Non-statutory Land Division/Parcel Reconfiguration	
<input type="checkbox"/> Future Land Use Map Amendment	<input type="checkbox"/> Site Plan Modification (Post approval)	
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Development Order Modification	
<input type="checkbox"/> Variance	<input type="checkbox"/> Wireless Communication Facility (new structure)	

Application Submittal Date: 1/5/24 PR224-0001

Fee Paid: \$ 835- Date Received: 1/5/24

Employee Accepting Application (print name): Bonnie Bramer

Rejected Date: _____ Rejected by: _____

Reason for Rejection: _____

A. PROJECT NAME: Rezoning Lot 8 W

B. LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS): Lot 8 W is adjacent to 112 N 6TH ST

C. PROPERTY APPRAISER'S PARCEL ID NUMBER(S): 1R123145D0000200081

D. LEGAL DESCRIPTION: _____ Subdivision Name: George Moody

Section; _____ Block(s); 2 Lot(s); West 30 Ft of Lot 8

E. SUBJECT PROPERTY ACRES / SQUARE FOOTAGE: 3,000 sq ft

F. FUTURE LAND USE MAP DESIGNATION: Commercial EXISTING ZONING DISTRICT: General Commercial

OVERLAY DISTRICT: _____

G. FLOOD ZONE: X FEMA COMMUNITY PANEL NUMBER: _____ DATE: _____

H. CURRENT USE OF PROPERTY: Vacant

I. DESCRIPTION OF REQUEST/PROPOSED DEVELOPMENT (ATTACH ADDITIONAL SHEETS) The goal is to change Lot 8 west to single Fam. Res. in order to combine it with Lot 7 so that an ADU/poolhouse can be built

J. PROPOSED NUMBER OF LOTS (If Applicable): _____ Development Phasing: Yes ☐ No ☐



CITY OF FLAGLER BEACH BUILDING AND PLANNING DEPARTMENT

Section 6, Item a.

K. LIST BELOW ANY APPLICATIONS CURRENTLY UNDER REVIEW OR RECENTLY APPROVED ASSOCIATED WITH THIS APPLICATION:

L. WATER/SEWER PROVIDER: City of Flagler Beach

M. EXISTING MORTGAGE? Yes ☐ No ☒

OWNER:	APPLICANT/AGENT:
Name: <u>Joseph Kovach + Jeanne Mommaerts</u>	Name:
Mailing Address: <u>112 N 6th St, Flagler Beach</u>	Mailing Address:
Phone Number: <u>380-317-4461</u>	Phone Number:
E-mail Address: <u>49Kovach@gmail.com</u>	E-mail Address:

MORTGAGE HOLDER:	ENGINEER OR PROFESSIONAL:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

SURVEYOR:	LANDSCAPE ARCHITECT:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

PLANNER:	TRAFFIC ENGINEER:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

ATTORNEY OF RECORD:	DEVELOPER:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

I HEREBY CERTIFY THAT ALL INFORMATION ON THIS APPLICATION IS CORRECT:

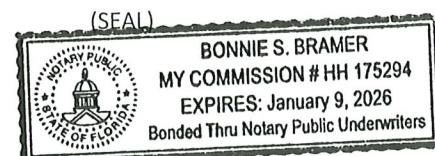
Signature of owner OR person authorized to represent this application:

Signature(s): Joseph Kovach Jeanne Mommaerts

Printed or typed name(s): Joseph Kovach Jeanne Mommaerts

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 5 day of January, 2024 by Joseph Kovach individual submitted by ☒ Personal Knowledge ☐ Satisfactory Evidence: Type Drivers License

Bonnie Bramer
Signature of Notary Public, State of Florida





City of Flagler Beach
PO Box 70 105 South 2nd Street
Flagler Beach, Florida 32136
Phone (386) 517-2000. Fax (386) 517-2008

PETITION FOR REZONING – (ZR)

TITLE CERTIFICATE WILL BE REQUIRED AS PROOF OF OWNERSHIP

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION:

PETITIONER: Joseph Kovach
 ADDRESS: 112 N 6TH St Flagler Beach, FL 32136
 CONTACT NUMBERS: HOME: 330-317-6641 WORK _____ FAX _____

PETITIONER'S RELATION TO SUBJECT PROPERTY: Owner

LEGAL DESCRIPTION OF SUBJECT PROPERTY (Attach if necessary): George Moody SUBD Block 2 West
30 FT of Lot 8. Parcel ID: 1212314500000200081

PRESENT ZONING: General/Commercial REQUESTED ZONING Single Family Res.

(NOTE: IF MORE THAN ONE ZONING CLASSIFICATION IS REQUESTED, ATTACH A COMPLETE LEGAL DESCRIPTION FOR EACH ZONING CLASSIFICATION REQUESTED.)

PROVIDE REASONS AND JUSTIFICATION FOR REQUESTED ZONING (See Item 4 on page 2) Written Statement, Attached): To change Lot 8W to Single Fam. Res. in order to combine it with lot 7 so that an ADU/pool/house can be built on the combined lots

STATE OF FLORIDA, County of Flagler

Subscribed and Sworn to (or affirmed) before me by

Joseph Kovach

SIGNATURE OF PETITIONER

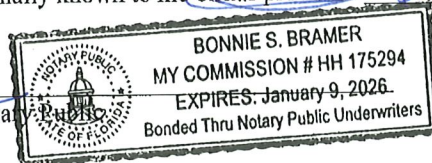
Joseph Kovach
 PETITIONER'S NAME (Print/Type)

112 N 6TH St Flagler Beach
 ADDRESS (Street, City) & Phone Number 330-317-6641

This 5 day of January, 2024. Who is personally known to me or has produced Drivers license as identification.

Commission Number & Expiration

Notary



FOR USE WHEN PETITIONER IS THE OWNER OF SUBJECT PROPERTY

This is to certify that I am the owner in fee simple of subject lands described above in the Petition for Rezoning.

STATE OF FLORIDA,
County of Flagler

Subscribed and Sworn to (or affirmed) before me by

Joseph Kovach
SIGNATURE OF OWNER

Joseph Kovach
OWNER'S NAME (Print/Type)

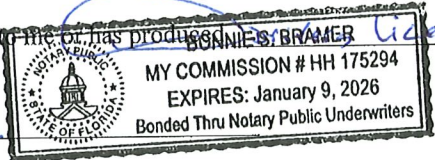
112 N 6TH St Flagler Beach
ADDRESS (Street, City) & Phone Number

330-317-6641

This 5 day of January, 2024. Who is personally known to me or has produced

Bonnie Bramer
Commission Number & Expiration

Notary Public



as

FOR USE WHEN PETITIONER IS THE AGENT OF THE OWNER OF SUBJECT PROPERTY

This is to certify that I am the owner of subject lands described above in the Petition for Rezoning and that I have authorized _____ to make and file the aforesaid Petition for Rezoning..

STATE OF FLORIDA,
County of Flagler

Subscribed and Sworn to (or affirmed) before me by

SIGNATURE OF OWNER

OWNER'S NAME (Print/Type)

ADDRESS (Street, City) & Phone Number

This ____ day of _____, 20____. Who is personally known to me or has produced _____ as
identification.

Commission Number & Expiration

Notary Public

Prepared By and Return To:
Suncoast Title Insurance Agency, Inc.
15 Cypress Branch Way, Suite 203
Palm Coast, FL 32164
incidental to the issuance of a title insurance policy.
File Number: 14-0467
Parcel ID: 121231-4500-00020-0081

WARRANTY DEED
(INDIVIDUAL)

This WARRANTY DEED dated August 29, 2014, by
J Ryan Realty, LLC, a New York Limited Liability Company
whose post office address is:
18 E 41st Street, Suite 1906, New York, NY 10017
hereinafter called the GRANTOR, to
Joseph Kovach, Jr. and Jeanne Mommaerts, husband and wife
whose post office address is:
600 N Central Avenue, Flagler Beach, FL 32136.
hereinafter called the GRANTEE

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the GRANTEE, all that certain land situated in Flagler County, Florida, viz:

The Westerly 30 feet of Lot 8, Block 2, MOODY'S SUBDIVISION, according to the plat thereof, as recorded in Map Book 1, Page 24, of the Public Records of Flagler County, Florida.

Grantor warrants this VACANT Property.

SUBJECT TO covenants, conditions, restrictions, reservations, limitations, easements and agreements of record, if any; taxes and assessments for the year 2014 and subsequent years; and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in FEE SIMPLE forever.

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:

AND THE GRANTOR hereby covenants with said GRANTEE that except as above noted, the GRANTOR is lawfully seized of said land in fee simple; that the GRANTOR has good right and lawful authority to sell and convey said land; that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Signed in the presence of the following *TWO DIFFERENT* WITNESSES:

#1 Witness [Signature] J Ryan Realty, LLC, a New York Limited Liability Company
Signature: [Signature] BY: [Signature]
Print Name: Donna Bamba Bernard Gans, Member
#2 Witness [Signature]
Signature: [Signature]
Print Name: Sustan Shimcaske
State of: New York
County of: FLAGLER NY

THE FOREGOING INSTRUMENT was sworn and acknowledged before me on 29th day of August, 2014 by: BERNARD GANS, MEMBER, J RYAN REALTY, LLC, A NEW YORK LIMITED LIABILITY COMPANY who is personally known to me or who has produced a DRIVERS LICENSE as identification and who did take an oath.

(Notary Seal)

NOTARY PUBLIC Signature: [Signature]
My Commission # 01VA6238175
Expires: 4/14/15 Print Name: Claire Van Kirk

CLAIRE VAN KIRK
NOTARY PUBLIC-STATE OF NEW YORK
No. 01VA6238175
Qualified in New York County
My Commission Expires April 04, 2015

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 7 & 8, BLOCK 2, OF MOODY SUBDIVISION, FLAGLER COUNTY, FLORIDA.

LEGAL DESCRIPTION:

LOT 7 & 8, BLOCK 2, OF MOODY SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 24, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

SURVEY NOTES:

1. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA SURVEYOR AND MAPPER.
2. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. THE "LEGAL DESCRIPTION" HEREON WAS PREPARED BY THE SURVEYOR PER THE CLIENT'S REQUEST.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR OPINION OF TITLE. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS NOTED.
5. HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 1203500232E, CITY OF FLAGLER BEACH, REVISED DATE JUNE 6, 2018, THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, WHICH ARE AREAS OF MINIMAL FLOOD HAZARD (NAVD '88). THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP, AND NOT ON ACTUAL FIELD MEASUREMENTS.
6. ELEVATIONS ARE BASED ON N.G.S. MONUMENT 71 85 72 818' HAVING AN ELEVATION OF 26.07'. ALL ELEVATIONS ARE REFERENCED TO NAVD (NORTH AMERICAN VERTICAL DATUM) 1988.
7. NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, ARE LOCATED, UNLESS SHOWN HEREON.
8. THIS SURVEY MEETS THE HORIZONTAL CONTROL ACCURACY OF 1/7,500 FEET FOR AN ALTA LAND TITLE SURVEY.

SYMBOL LEGEND:

- CHAIN LINK FENCE
- CONCRETE UTILITY POLE
- CONCRETE MIXER END SECTION
- FIRE HYDRANT
- LIGHT POLE
- GATE VALVE
- HANDICAP PARKING SPACE
- CONCRETE
- SANITARY SINKER MANHOLE
- FLOOD LIGHT
- WATER METER
- BORING HOLE LOCATION
- WATER SERVICE
- SINGLE SUPPORT SIGN
- WATER VALVE
- STORM DRAINAGE MANHOLE
- UTILITY POLE
- GUY ANCHOR
- UTILITY RISER
- UNDERGROUND PIPE (SIZE & TYPE NOTED)
- CABLE RISER

Surveyor's Certification:

I hereby certify that the attached "Boundary & Topographic Survey" of the herein-described property is true and correct to the best of my knowledge, information and belief as a duly qualified and licensed Professional Surveyor and Mapper, State of Florida, No. 6384.

BUILDING SETBACKS:
FRONT= 25.00'
REAR= 10.00'
SIDE= 5.00'

SITE DATA:
IMPERVIOUS AREA = 1,648 SF, 33.0%
PERVIOUS AREA = 3,352 SF, 67%



www.cphcart.com
820 Palm Coast Pkwy SW - Palm Coast, FL 32137 - PH: 386-445-6869

Plan Prepared By:
Cph, Inc.

Engineer: C.O.A. No. 3215
Surveyor: L.B. #43600206
License: L.S. No. LC00002068

Field Svy: DS1 8.14
Field Bk: 6072.73

Drawn by: BB
Date: 1.9.14

Final Survey DSNG 2.1.16 FB 6072 AND LOOSE LEAF
Final Survey DSNG 11.15.18 FB 6072 AND LOOSE LEAF

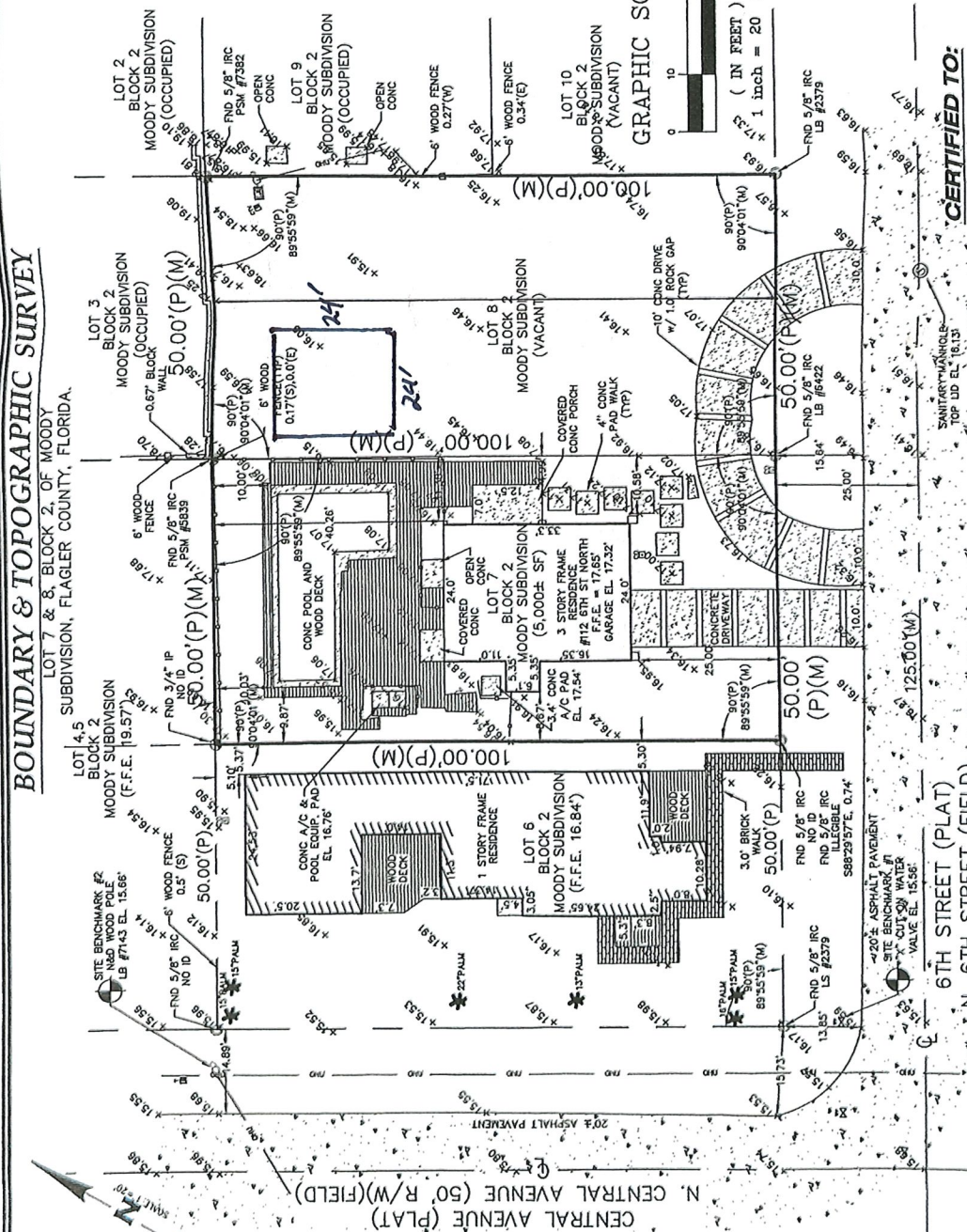
Scale: 1"=50'

Added Dimensions Around the Pool: 11/01/19
Foundation Survey DSNG 6.1.15 FB 13574

Revision: 6/01/15

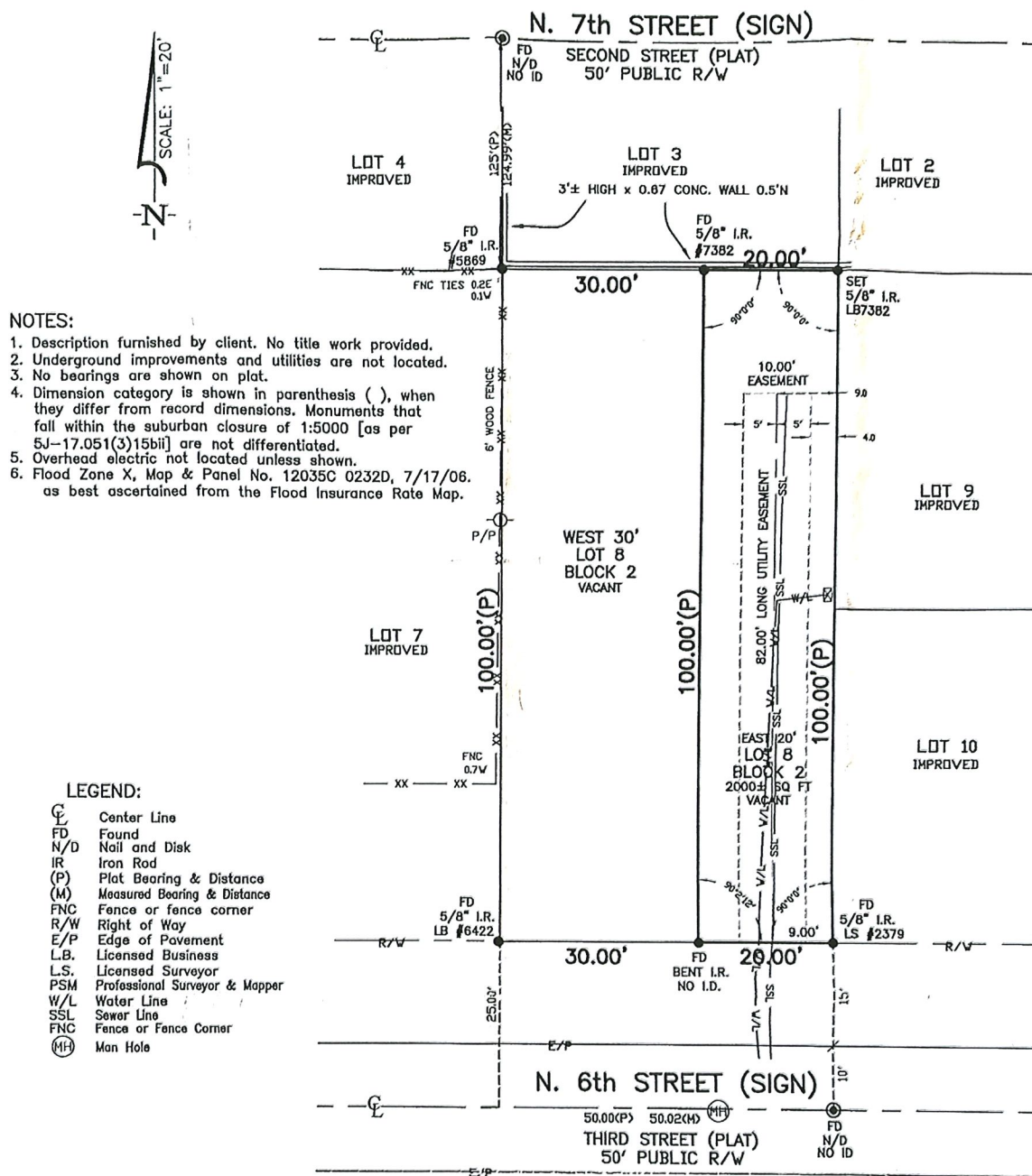
BY: BB

Section 6, Item a.



ABBREVIATION LEGEND:

- CONC - CONCRETE
- WOOD - WOOD
- IRON - IRON
- STEEL - STEEL
- ALUM - ALUMINUM
- BRICK - BRICK
- ASPH - ASPHALT
- PAV - PAVEMENT
- GRASS - GRASS
- DIRT - DIRT
- CLAY - CLAY
- SAND - SAND
- ROCK - ROCK
- ICE - ICE
- SNOW - SNOW
- WATER - WATER
- SEWER - SEWER
- GAS - GAS
- ELECTRIC - ELECTRIC
- TELEPHONE - TELEPHONE
- TELEVISION - TELEVISION
- RADIO - RADIO
- ANTENNA - ANTENNA
- SATELLITE - SATELLITE
- GPS - GPS
- COMPUTER - COMPUTER
- TELEPHONE - TELEPHONE
- TELEVISION - TELEVISION
- RADIO - RADIO
- ANTENNA - ANTENNA
- SATELLITE - SATELLITE
- GPS - GPS
- COMPUTER - COMPUTER

**DESCRIPTION:**

THE EAST 20' OF LOT 8, BLOCK 2, GEORGE MOODY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 24, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

SUBJECT TO A PROPOSED

10.00 FOOT UTILITY EASEMENT LYING 5 FOOT EACH SIDE OF AN 82.00 FOOT LINE LAYING 9.00 FOOT WEST AND PARALLEL TO THE EAST LINE OF LOT 8, BLOCK 2, GEORGE MOODY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 24, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

PREPARED FOR:

-- City of Flagler Beach, FLA

Revised: 08/12/15 proposed 10' easement 1508031 ACS
Revised: Added Water & Sewer Lines. 06/06/14 JMM

TYPE SURVEY: DATE OF FIELD-OFFICE WORK ORDER#
Boundary 05/23/14 05/28/14 1406022 ACS

EAST COAST LAND SURVEYING

11 Coolidge Ave. Suite-J, Ormond Beach FL 32174

PHONE (386) 672-3633 or (386) 437-0123 FAX (386) 672-3635

THE FOREGOING PLAT MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AS PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

A. Sanzone

05/28/14

ANTHONY SANZONE, PSM# 63097

LB #7382

Not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item a.



Overview



Legend

- Parcels
- Roads
- Streams and Rivers

Parcel ID	12-12-31-4500-00020-0081	Owner	KOVACH JOSEPH JR & JEANNE A	Land Value	\$18,991	Last 2 Sales			
Prop ID	78568		MOMMAERTS H&W LIFE ESTATE	Ag Land Value	\$0	Date	12/12/2016	Price	0
Class Code	VACANT COMMERCIAL		112 N 6TH ST	Building Value	\$0		8/29/2014	\$90000	V
Taxing District	22		FLAGLER BEACH, FL 32136	Misc Value	\$0				Q
GIS sqft	2,978.603	Physical Address	n/a	Just Value	\$18,991				
				Assessed Value	\$18,991				
				Exempt Value	\$0				
				Taxable Value	\$18,991				

Date created: 1/4/2024
 Last Data Uploaded: 1/4/2024 7:06:32 PM
 Developed by 

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item a.



Overview



Legend

- Parcels
- Roads
- Streams and Rivers

Parcel ID	12-12-31-4500-00020-0081	Owner	KOVACH JOSEPH JR & JEANNE A	Land Value	\$18,991	Last 2 Sales			
Prop ID	78568		MOMMAERTS H&W LIFE ESTATE	Ag Land Value	\$0	Date	12/12/2016	Price	0
Class Code	VACANT COMMERCIAL		112 N 6TH ST	Building Value	\$0	8/29/2014	\$90000	Reason	V
Taxing District	22		FLAGLER BEACH, FL 32136	Misc Value	\$0			Qual	Q
GIS sqft	2,978.603	Physical Address	n/a	Just Value	\$18,991				
				Assessed Value	\$18,991				
				Exempt Value	\$0				
				Taxable Value	\$18,991				

Date created: 1/4/2024
 Last Data Uploaded: 1/4/2024 7:06:32 PM

Developed by  Schneider GEOSPATIAL

AFFIDAVIT OF PUBLICATION

Penny Overstreet
City Of Flagler Beach-Hr
Po Box 70
Flagler Beach FL 32136-0070


STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of The News-Journal, published in Volusia and Flagler Counties, Florida; that the attached copy of advertisement, being a Govt Public Notices, was published on the publicly accessible website of Volusia and Flagler Counties, Florida, or in a newspaper by print in the issues of, on:


04/26/2024

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 04/26/2024



Legal Clerk



Notary, State of WI, County of Brown

My commission expires

Publication Cost: \$535.36
Order No: 10101489 # of Copies:
Customer No: 465673 1
PO #:

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

VICKY FELTY
Notary Public
State of Wisconsin

**CITY OF FLAGLER
BEACH PUBLIC
HEARING NOTICE**

ORDINANCE REZ-2024-XX AND ORDINANCE #2024-XX – Parcel no. 12-12-31-4500-00020-0001
Applications have been submitted to rezone this property from the General Commercial (GC) Zoning District to the Single-family Residential (R1) Zoning District, and to amend the Future Land Use Map designation of the property from Commercial to Medium Density Residential. The applicant has stated that the purpose of these requests is to accommodate an accessory dwelling unit on the subject property that will be used as a pool house. The property owner plans to combine the property with the adjoining parcel at 112 N. 6th Street (Parcel no. 12-12-31-4500-00020-0070).
Applicants: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate.

PUBLIC HEARINGS ARE SCHEDULED TO BE HELD AT CITY HALL, 105 S. 2ND. STREET, FLAGLER BEACH, FLORIDA AS FOLLOWS:

PLANNING AND ARCHITECTURAL REVIEW BOARD: TUESDAY, MAY 7, 2024 AT 5:30 P.M.

1st READING: CITY COMMISSION: THURSDAY, MAY 23, 2024 AT 6:00 P.M. OR AS SOON THEREAFTER AS POSSIBLE.

2nd READING: CITY COMMISSION: THURSDAY, JUNE 13, 2024 AT 6:00 P.M. OR AS SOON THEREAFTER AS POSSIBLE.

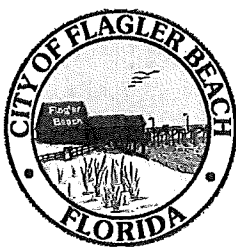
ALL INTERESTED PARTIES ARE INVITED TO ATTEND.

PLEASE DIRECT ANY QUESTIONS TO THE CITY OF FLAGLER BEACH AT (386-517-2000) EXT. 230.

The public hearings may be continued to a future date or dates. The times and dates of any continuances of a public hearing shall be announced during the public hearing without any further published notice. The request will be heard at 5:30 PM, or as soon thereafter as possible, in the City Commission Chambers located at 105 South Second Street, Flagler Beach, Florida. If a person decides to appeal any decision made with respect to any matter considered at the above referenced hearings, he/she will need a record of the proceedings. For such purposes, it may be necessary to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 386-517-2000 Ext. 233 at least 48 hours prior to the meeting. For further information about this request, please call the Planning and Building Department at (386) 517-2000 Ext. 230. The public may inspect information that is more detailed during office hours at the Planning and Building Department, 800 S. Daytona Ave.

L10101489 4/26/2024

Planning and Building Department



City of Flagler Beach

P.O. Box 70 • 800 S Daytona Avenue
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2016

Notice of Public Hearing

April 22, 2024

Dear Sir or Madam,

The Building and Planning Department, in accordance with the City of Flagler Beach **Land Development Regulations Section 8.04.12**, herein advises you of the following notice:

Rezoning and Land Use Amendment – Parcel no. 12-12-31-4500-00020-0081

Applications have been submitted to rezone this property from the General Commercial (GC) Zoning District to the Single-family Residential (R1) Zoning District, and to amend the Future Land Use Map designation of the property from Commercial to Medium Density Residential. The applicant has stated that the purpose of these requests is to accommodate an accessory dwelling unit on the subject property that will be used as a pool house. The property owner plans to combine the property with the adjoining parcel at 112 N. 6th Street (Parcel no. 12-12-31-4500-00020-0070).

Applicants: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate.

The Planning and Architectural Review Board will consider the request and make a recommendation to the City Commission during a meeting on:

Tuesday, May 7, 2024 at 5:30 p.m., in the City of Flagler Beach Commission Chambers at 105 2nd Street South, Flagler Beach, Florida.

The City Commission will conduct a quasi-judicial public hearing on:

Thursday, May 23, 2024 at 6:00 p.m., or as soon thereafter as possible, in the City of Flagler Beach Commission Chambers at 105 2nd Street South, Flagler Beach, Florida.

All interested parties are invited to attend.

Please direct any questions to the City of Flagler Beach at (386) 517-2000, extension #230.

The public hearings may be continued to a future date or dates. The times and dates of any continuances of a public hearing shall be announced during the public hearing without any further published notice. The request will be heard at 5:30 PM, or as soon thereafter as possible, in the City Commission Chambers located at 105 South Second Street, Flagler Beach, Florida.

If a person decides to appeal any decision made with respect to any matter considered at the above referenced hearings, he/she will need a record of the proceedings. For such purposes, it

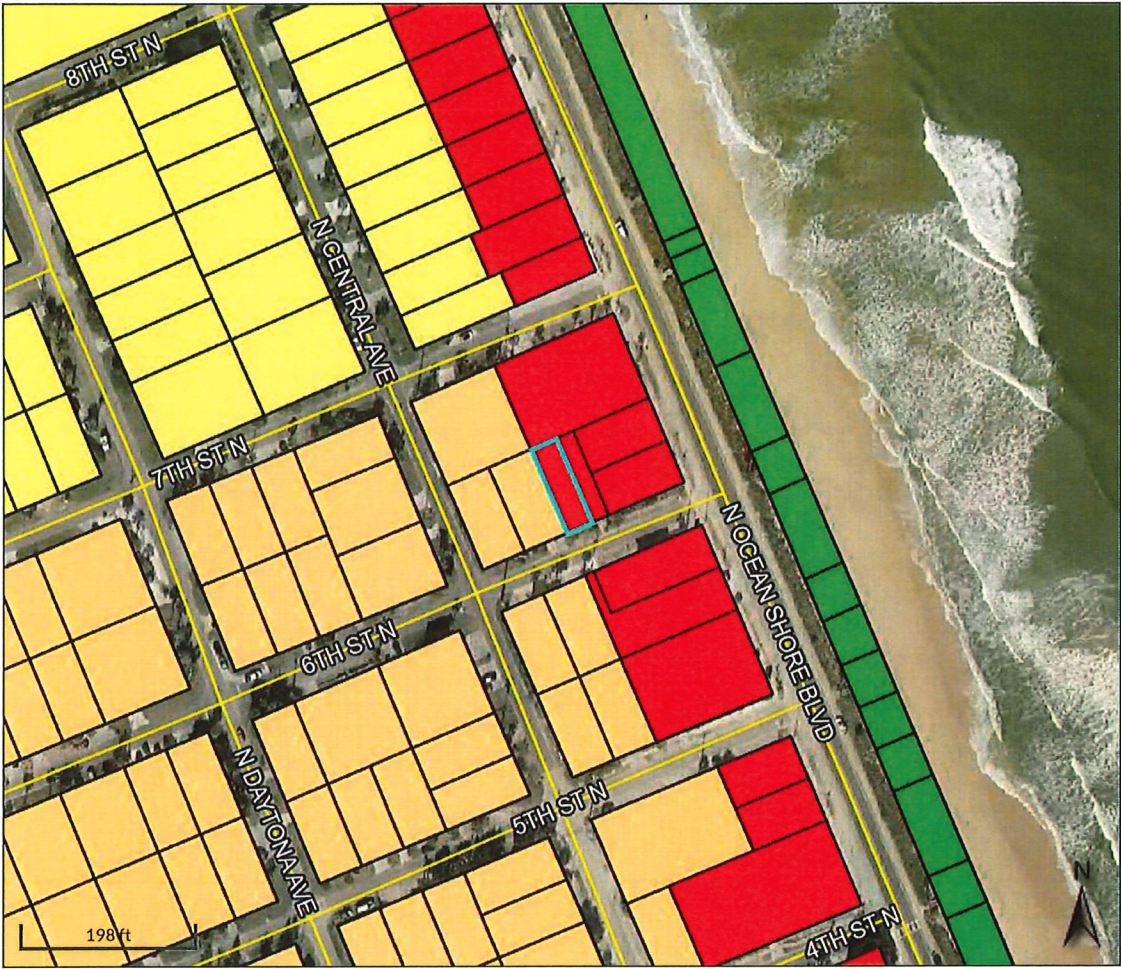
may be necessary to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the *Americans with Disabilities Act*, persons needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 386-517-2000 Ext. 233 at least 48 hours prior to the meeting.

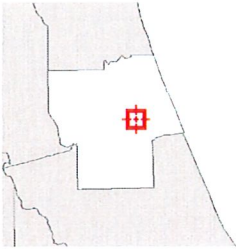
For further information about this request, please call the Planning and Building Department at (386) 517-2000 Ext. 230. The public may inspect information that is more detailed during office hours at the Planning and Building Department, 800 S. Daytona Ave.

The City Commission reserves the right to request that all written material be on file with the City Clerk when the agenda item is submitted.

FLAGLER COUNTY PROPERTY APPRAISER



Overview



Legend

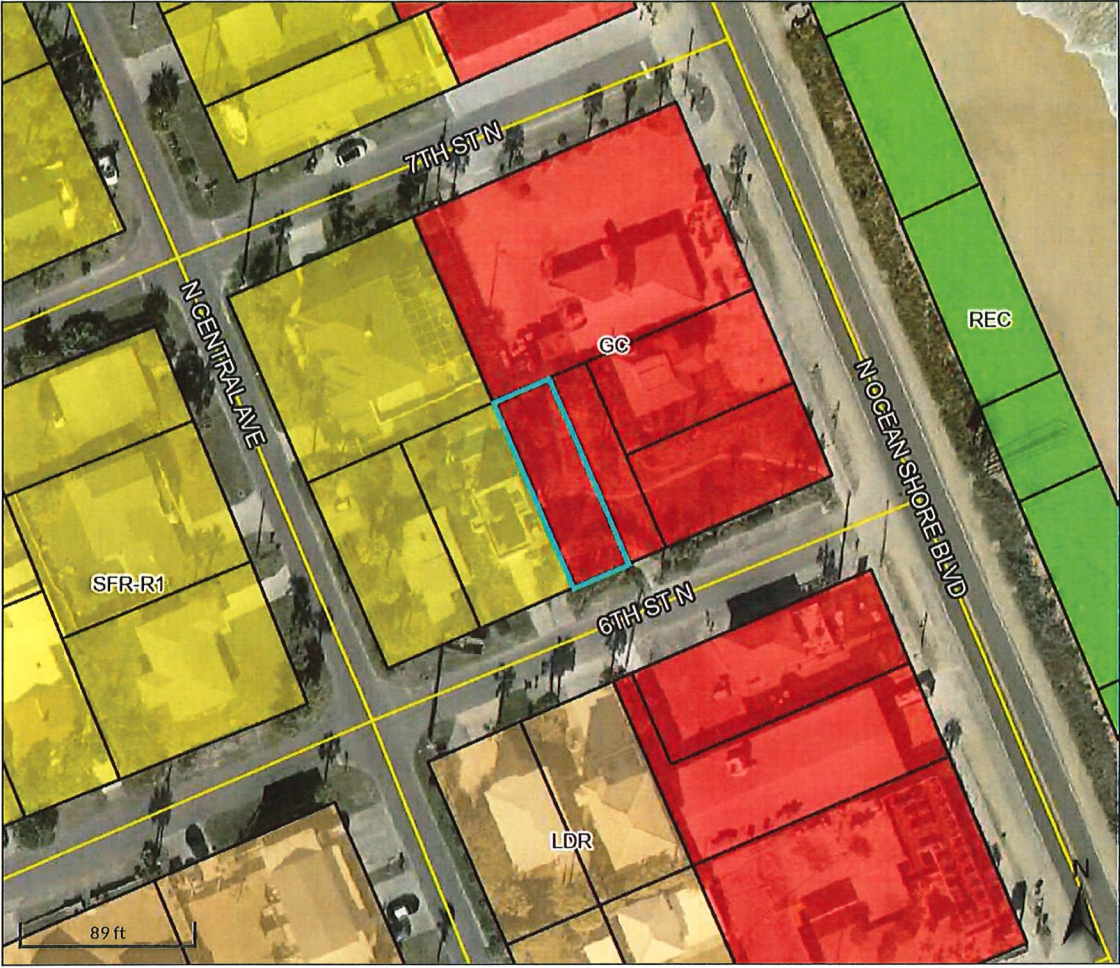
- Parcels
- Roads
- Streams and Rivers
- Flagler Beach FLUM
 - Commercial
 - Golf Course
 - High Density
 - Low Density
 - Medium Density
 - Mixed Use Overlay
 - Mobile Home Park
 - Other Public Facilities
 - Park
 - Public Buildings & Grounds
 - Salt Water Marsh
 - Spoil Area
 - Undefined

Parcel ID	12-12-31-4500-00020-0081	Owner	KOVACH JOSEPH JR & JEANNE A	Land Value	\$18,991	Last 2 Sales			
Prop ID	78568		MOMMAERTS H&W LIFE ESTATE	Ag Land Value	\$0	Date	12/12/2016	Price	0
Class Code	VACANT COMMERCIAL		112 N 6TH ST	Building Value	\$0	8/29/2014	\$90000	Reason	V
Taxing	22		FLAGLER BEACH, FL 32136	Misc Value	\$0			Qual	U
District		Physical Address	n/a	Just Value	\$18,991				
GIS sqft	2,978.603			Assessed Value	\$18,991				
				Exempt Value	\$0				
				Taxable Value	\$18,991				

Date created: 5/2/2024
Last Data Uploaded: 5/2/2024 8:24:55 AM

Developed by  Schneider
GEOSPATIAL

FLAGLER COUNTY PROPERTY APPRAISER



Overview



Legend

- Parcels
- Roads
- Streams and Rivers
- Flagler Beach Zoning
 - C- CONSERVATION
 - CLOSED STREETS
 - GC- GENERAL COMMERCIAL
 - HIGHWAY COMMERCIAL
 - LDR- LOW DENSITY
 - LI- LIGHT INDUSTRIAL
 - MDR- MEDIUM DENSITY RESIDENTIAL
 - MIRROR LAKE WATERSHED DISTRICT (R1)
 - P- PRESERVATION
 - PUD- PLANNED UNIT DEVELOPMENT
 - R- RESERVED
 - REC- RECREATION
 - REC/PUD- RECREATION/PUD
 - SFR- SINGLE FAMILY RESIDENTIAL (R1)
 - SFR- SINGLE FAMILY RESIDENTIAL (R4)
 - TC- TOURIST COMMERCIAL



City of Flagler Beach

Section 6, Item b.

Planning and Building Department Staff Report

OVERVIEW

Case Number: Application No. FLUMA #24-0001
Applicant: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate
Property Owner: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate
Property Description: Improved, generally flat
Site Location: 6th Street North between Central Avenue & Ocean Shore Boulevard
Property ID #: 12-12-31-4500-00020-0081
Current FLUM designation:... Commercial
Current Zoning designations: General Commercial
Current Use: Vacant
Total Acreage: ±0.11 acres (4,964 sq. ft.)

A. REQUESTED ACTION

Application Type: Future Land Use Map amendment request: **(See Attachment #1)**

Requested Action: Planning and Land Development Regulation Board recommend to City Commission; Approve application request per **Land Development Regulations; Article VIII. Administration and Enforcement** the Property ID# of which is 12-12-31-4500-00020-0081 **(See Attachment #2, Survey & Attachment #3 Location Map).**

B. SUMMARY IN BRIEF:

A Future Land Use Map amendment request with a companion rezoning application to allow the property owner to develop the property with an accessory dwelling unit (ADU) in conjunction with the existing house at 112 North 6th Street. Under the current zoning, a single family residence could be built on the subject property, however, the owners wish to construct an ADU smaller than the required minimum size for a house. An accessory use can only be built in conjunction with an allowed primary use.

The owners plan to join the two properties, which requires a rezoning and Future Land Use amendment to avoid a split zoning.

The project would be consistent with the proposed Future Land Use Map designation.

C. PUBLIC NOTIFICATION:

Land Development Regulations: Section 8.04.12.

1. Legal Advertisement: Circulation in a newspaper of daily has been accomplished in keeping with the required public notification timeframe **(See Attachment #4 Legal Advertisement)**. To date, the City has not received any formal notices or comments from members of the public regarding the application request.

2. Public Notification: Property owners within a radius of five hundred (500) feet of the rezoning request have been notified by certified mail of the intent to rezone (**See Attachment #5 Public Notification**).

D. BACKGROUND

A rezoning request with a companion Future Land Use Map amendment to allow the property owner to develop the property with an accessory dwelling unit (ADU) in conjunction with the existing house at 112 North 6th Street. Under the current zoning, a single family residence could be built on the subject property, however, the owners wish to construct an ADU smaller than the required minimum size (900 square feet) for a house.

The Zoning Code allows "Customary accessory uses and structures clearly incidental to one (1) or more permitted uses and structures" in the SFR District, this has traditionally been interpreted to include additional bedroom and bathroom structures without a full kitchen. These units are commonly known as "mother-in-law suites." An accessory use can only be built in conjunction with an allowed primary use.

The lot is unusual in that it was split in half to allow a utility easement on the eastern half, which makes building a viable commercial building difficult.

The owners plan to join the two properties, which requires a rezoning and Future Land Use amendment to avoid a split zoning.

The project would be consistent with the proposed Future Land Use Map designation.

The legal description of Parcel ID #12-12-31-4500-00020-0081 which is described as follows:

THE WESTERLY 30 FEET OF LOT 8, BLOCK 2, MOODY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN MAP BOOK 1, PAGE 24 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

E. ANALYSIS

FUTURE LAND USE AND ZONING INFORMATION

The following table summarizes the existing and proposed land use and zoning information:

USE SUMMARY TABLE:

CATEGORY	EXISTING	PROPOSED
Future Land Use Map (FLUM)	Commercial (See Attachment #6 FLUM)	Medium Density Residential
Zoning District	General Commercial (See Attachment #7 Zoning Map)	Single Family Residential
Overlay District	Mixed Use Overlay District	N/A
Use	Vacant	Accessory Dwelling Unit
Acreage	±0.11 acres	±0.11 acres
Access	N. 6th Street	N. 6th St.

F. SURROUNDING LAND USES AND COMPATIBILITY:

North: FLUM: Commercial
Zoning: General Commercial

South: FLUM: Commercial
Zoning: General Commercial

East: FLUM: Commercial
Zoning: General Commercial

West: FLUM: Medium Density Residential
Zoning: Single Family Residential

G. Analysis: Planner Criteria Parameters:

A. The proposed amendment does not conflict with or is contrary to the public interest;

Finding: The requested change will allow the applicant to develop the property to submit their continued residence on the neighboring property. Due to unique circumstances, the property is difficult to develop under its current zoning.

B. The proposed rezoning is consistent with the Goals, Objectives and Policies of the Comprehensive Plan

Finding: The requested use of the property is consistent with, and furthers the Goals, Objectives and Policies of the Comprehensive Plan, as follows.

Objective A.1.13 9J-5.006(3)(b)3

Coordinate all new development and rezoning with the land use categories, densities and intensities as outlined in the City's adopted Comprehensive Plan.

Policy A.1.13.2 9J-5.006(3)(c)2

The City of Flagler Beach shall discourage the issuance of variances, special use permits, building permits or zoning changes in any case where the proposed land use is not consistent with the City of Flagler Beach duly adopted Comprehensive Plan.

C. The proposed rezoning must not impose a significant financial liability or hardship for the City;

Finding: Any improvements that result from development after the rezoning that may require public improvements will be ensured via a Performance/Maintenance Bond (Site Plan Application level)

D. The proposed rezoning must not create an unreasonable hazard, or nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants;

Finding: The requested amendment does not pose an unreasonable hazard, or nuisance, or constitute a threat to the general health, welfare, or safety of the City's inhabitants. The change in Future Land Use Map designation for the property under consideration is in harmony with the comprehensive plan and consistent with the requested zoning designation as it relates to adjoining properties.

RECOMMENDATION:

Approve Future Land Use Map amendment Application RZ#24-XX-XX to change Parcel I.D. No. 12-12-31-4500-00020-0081 from Commercial to Medium Family Residential based upon findings of fact which demonstrate the amendment request is following all applicable Objectives and Policies of the City of Flagler Beach Comprehensive Plan.

ATTACHMENTS:

Attachment 1 – Rezoning Application
Attachment 2 – Survey
Attachment 3 - Location Map
Attachment 4 - Legal Advertisement
Attachment 5 –Public Notification
Attachment 6- Future Land Use Map
Attachment 7 - Zoning Map



CITY OF FLAGLER BEACH
BUILDING AND PLANNING DEPARTMENT

Section 6, Item b.

RECEIVED

GENERAL APPLICATION	
<input type="checkbox"/> Final Site Plan	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Master Site Plan	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Site Development Plan(s)	<input type="checkbox"/> Plat Vacating
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Subdivision Master Plan
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Non-statutory Land Division/Parcel Reconfiguration
<input checked="" type="checkbox"/> Future Land Use Map Amendment	<input type="checkbox"/> Site Plan Modification (Post approval)
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Development Order Modification
<input type="checkbox"/> Variance	<input type="checkbox"/> Wireless Communication Facility (new structure)

MAR 28 2024

City of Flagler Beach
Building Department

Application Submittal Date: 3-28-24

Fee Paid: \$ 1,035.00 Date Received: 3-28-24

Employee Accepting Application (print name): Bennie Brauner

Rejected Date: _____ Rejected by: _____

Reason for Rejection: _____

- A. PROJECT NAME: Rezoning Lot 8W
- B. LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS): Lot 8W is adjacent to 112 N 6th St.
- C. PROPERTY APPRAISER'S PARCEL ID NUMBER(s): 1212 3145 00000 200081
- D. LEGAL DESCRIPTION: _____ Subdivision Name: George Moody
- Section; _____ Block(s); 2 Lot(s); West 30 ft of Lot 8
- E. SUBJECT PROPERTY ACRES / SQUARE FOOTAGE: 3,000 sq ft
- F. FUTURE LAND USE MAP DESIGNATION: Commercial EXISTING ZONING DISTRICT: General Commercial
- OVERLAY DISTRICT: _____
- G. FLOOD ZONE: X FEMA COMMUNITY PANEL NUMBER: _____ DATE: _____
- H. CURRENT USE OF PROPERTY: Vacant
- I. DESCRIPTION OF REQUEST/PROPOSED DEVELOPMENT (ATTACH ADDITIONAL SHEETS) To rezone Lot 8W to single fam. res./low density res. in order to combine it with Lot 7 in order to build an ADU/Pool/house.
- J. PROPOSED NUMBER OF LOTS (If Applicable): _____ Development Phasing: Yes ☐ No ☐



CITY OF FLAGLER BEACH BUILDING AND PLANNING DEPARTMENT

Section 6, Item b.

K. LIST BELOW ANY APPLICATIONS CURRENTLY UNDER REVIEW OR RECENTLY APPROVED ASSOCIATED WITH THIS APPLICATION:

L. WATER/SEWER PROVIDER: City of Flagler Beach

M. EXISTING MORTGAGE? Yes ☐ No ☒

OWNER:	APPLICANT/AGENT:
Name: <u>Joseph Kovach</u>	Name:
Mailing Address: <u>112 N 6TH ST FB.</u>	Mailing Address:
Phone Number: <u>330-317-6641</u>	Phone Number:
E-mail Address: <u>49Kovach@gmail.com</u>	E-mail Address:

MORTGAGE HOLDER:	ENGINEER OR PROFESSIONAL:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

SURVEYOR:	LANDSCAPE ARCHITECT:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

PLANNER:	TRAFFIC ENGINEER:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

ATTORNEY OF RECORD:	DEVELOPER:
Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

I HEREBY CERTIFY THAT ALL INFORMATION ON THIS APPLICATION IS CORRECT:

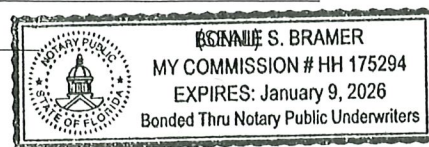
Signature of owner OR person authorized to represent this application:

Signature(s): Joseph Kovach

Printed or typed name(s): Joseph Kovach

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 28 day of March 2024 by Joseph Kovach individual submitted by ☒ Personal Knowledge ☐ Satisfactory Evidence: Type _____

Bonnie Bramer
Signature of Notary Public, State of Florida





City of Flagler Beach
PO Box 70 105 South 2nd Street
Flagler Beach, Florida 32136

Phone (386) 517-2000. Fax (386) 517-2008

Application for Amendment to the City of Flagler Beach Comprehensive Plan

Small Area Amendment: (Sec. 163.33187,FS) _____

Under 1 Acre ☒ Over 1, Under 10 Acres _____

Fees: \$ _____

Regular Amendment _____ Number of Acres _____

Fees: \$ _____

Any party requesting a change of land use must provide the city with sufficient information to determine the practicality of effecting such a change. The party making such a request must provide the following information to the city building department, on a form provided by the city and pay a fee established by the city commission which may be amended as experience dictates:

Part I. Applicant / Owner Information

Applicant's Name: Joseph Kovach

Applicant's Address: 112 N 6th St Flagler Beach, FL 32136

Applicant's Contact Numbers: Home 330-317-6641 Business _____ FAX _____

Applicant's E-mail (if applicable): 49kovach@gmail.com

If the Owner is different from the Applicant please fill out the following:

Owner's Name: _____

Owner's Address: _____

Owner's Contact Numbers: Home _____ Business _____ FAX _____

Owner's E-mail (if applicable): _____

Part II. Parcel Description

Parcel ID Number: 1212314500 0002000B1

Legal Description: (Attach if necessary) _____

The Westerly 305th of Lot 8, Block 2, Moody Subdivision, recorded in Map Book 1, Page 24 of the Public Records of Flagler County Florida

Number of Acres or Fraction Thereof: 0.069 A

Existing Land Use Designation: Commercial - General

Application for amendment to Comp. Plan

12/9/2003

Proposed Land Use Designation: Single Family Residential

Number of Units to Be Developed; by type: 1

Roads Serving Site: N 6th St

Recreational facilities serving site: _____

	Yes	No
Will the Site be served by: Central Water?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Central Sewer?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the Site in 100-year Flood Zone?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does Site Contain Critical Habitat for Endangered/Threatened Species?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Will proposed change affect beach accessibility?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Please state the reason for the requested change:

The purpose of this change request is to change the zoning of lot 8 West to Single Family Residential in order to combine it with Lot 7 to build an addition or pool house on the combined property.

Part III: Attachments Checklist

The information and attachments requested as part of this application are the minimum necessary to determine if the proposed amendment complies with the requirements of the Florida Statutes, Administrative Code, Comprehensive Land Use Plan (CLUP) and the Land Development Code (LDC). The City may require additional information at any time during the application process, depending on the nature of the request.


- ☒ DEED/AFFIDAVIT OF OWNERSHIP OR CONTRACT FOR PURCHASE (COPY)
- ☐ OWNER'S AGENT AUTHORIZATION FORM
- ☒ SURVEY (1"=20', With Raised Seal and Signature of Florida Registered Surveyor or Engineer)
- ☒ PROVIDE A MAP SHOWING THE PROPOSED FUTURE LAND USE MAP DESIGNATION OF THE SUBJECT PARCEL AND ITS LOCATION IN RELATION TO THE SURROUNDING STREET NETWORK.
- ☒ PROVIDE A MAP SHOWING THE CURRENT LAND USE DESIGNATION OF THIS SUBJECT AND ABUTTING PARCELS ON THE FUTURE LAND USE MAP
- ☒ PROVIDE A DESCRIPTION OF THE AVAILABILITY OF AND DEMAND ON THE FOLLOWING PUBLIC FACILITIES; SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER, TRAFFIC CIRCULATION AND RECREATION.
- ☒ DESCRIPTION OF HOW THE PROPOSED AMENDMENT IS CONSISTENT WITH THE INTENT AND PURPOSE OF THE CITY OF FLAGLER BEACH COMPREHENSIVE LAND USE PLAN
- ☒ DESCRIPTION OF HOW THE PROPOSED AMENDMENT WILL ENCOURAGE THE MOST APPROPRIATE USE OF LAND AND CITY RESOURCES, CONSISTENT WITH THE PUBLIC INTEREST
- ☒ PROVIDE AN ANALYSIS, INCLUDING SOILS, TOPOGRAPHY, NATURAL RESOURCES AND HISTORIC RESOURCES OF THE SUBJECT PARCEL
- ☐ OTHER INFORMATION REQUIRED FOR COMPLIANCE WITH STATE STATUTES AND CODES AND LDR

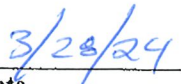
NOTE: Approval of an application for a land use change amendment to the comprehensive plan does not reserve infrastructure capacity for future development.

NOTE: Should your request for a Comprehensive Plan Amendment also require a re-zoning, you must submit the requests at the same time. A separate re-zoning application is required.

***** CERTIFICATION *****

I hereby certify that the information contained in this application and the attachments hereto are true and correct to the best of my knowledge and belief. Furthermore, I acknowledge that the City has the right to inspect the property in conjunction with this Comprehensive Land Use Plan amendment application. (Please advise the City of any restrictions or limitations on the inspections.)


Signature of Applicant


Date

Prepared By and Return To:
Suncoast Title Insurance Agency, Inc.
15 Cypress Branch Way, Suite 203
Palm Coast, FL 32164
incidental to the issuance of a title insurance policy.
File Number: 14-0467
Parcel ID: 121231-4500-00020-0081

WARRANTY DEED
(INDIVIDUAL)

This WARRANTY DEED dated August 29, 2014, by
J Ryan Realty, LLC, a New York Limited Liability Company
whose post office address is:
18 E 41st Street, Suite 1906, New York, NY 10017
hereinafter called the GRANTOR, to
Joseph Kovach, Jr. and Jeanne Mommaerts, husband and wife
whose post office address is:
600 N Central Avenue, Flagler Beach, FL 32136.
hereinafter called the GRANTEE

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the GRANTEE, all that certain land situated in Flagler County, Florida, viz:

The Westerly 30 feet of Lot 8, Block 2, MOODY'S SUBDIVISION, according to the plat thereof, as recorded in Map Book 1, Page 24, of the Public Records of Flagler County, Florida.

Grantor warrants this VACANT Property.

SUBJECT TO covenants, conditions, restrictions, reservations, limitations, easements and agreements of record, if any; taxes and assessments for the year 2014 and subsequent years; and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in FEE SIMPLE forever.

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:

AND THE GRANTOR hereby covenants with said GRANTEE that except as above noted, the GRANTOR is lawfully seized of said land in fee simple; that the GRANTOR has good right and lawful authority to sell and convey said land; that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Signed in the presence of the following *TWO DIFFERENT* WITNESSES:

#1 Witness Donna Bamba J Ryan Realty, LLC, a New York Limited Liability Company
Signature: [Signature]
Print Name: DONNA Bamba BY: Bernard Gans, Member
#2 Witness Susan Shimcasko
Signature: [Signature]
Print Name: Susan Shimcasko
State of: NEW YORK
County of: FLAGLER NY

THE FOREGOING INSTRUMENT was sworn and acknowledged before me on 29th day of August, 2014 by: BERNARD GANS, MEMBER, J RYAN REALTY, LLC, A NEW YORK LIMITED LIABILITY COMPANY who is personally known to me or who has produced a DRIVERS LICENSE as identification and who did take an oath.

(Notary Seal)

NOTARY PUBLIC Signature: [Signature]
My Commission # 01VA6238175
Expires: 4/4/15 Print Name: Claire Van Kirk

CLAIRE VAN KIRK
NOTARY PUBLIC-STATE OF NEW YORK
No. 01VA6238175
Qualified in New York County
My Commission Expires April 04, 2015

Attachments for Future Land Use Amendment

This project is consistent and compatible with Policy C.1.5.1 of the Future Land Use Plan. The proposed structure on this property will have a goal of net zero energy construction (Objective C.1.7). Although there are no wetlands near this property, half of this lot will provide for a natural buffer between the commercial and low density residential areas (Objective A.2.2). This project will also increase the ad valorem tax base (Objective A.1.4)

Description of Availability of Public Facilities

The future Poolhouse/ADU structure will connect water from the 112 N 6th St residence. Sewer will be connected to the sewer line located on the easement on Lot 8 East.

Description of How This Amendment is Consistent with Intent Plan

Policy C.1.5.1

The structure on this lot will be consistent and compatible with the surrounding neighborhood. In the last several years, houses on the most adjacent lots to the west and north of the property have added additions to their current structure (600 N Central, 609 N Central) or an ADU (700 N Central).

Description of How Amendment Encourage Appropriate Land Use

Objective A.2.2

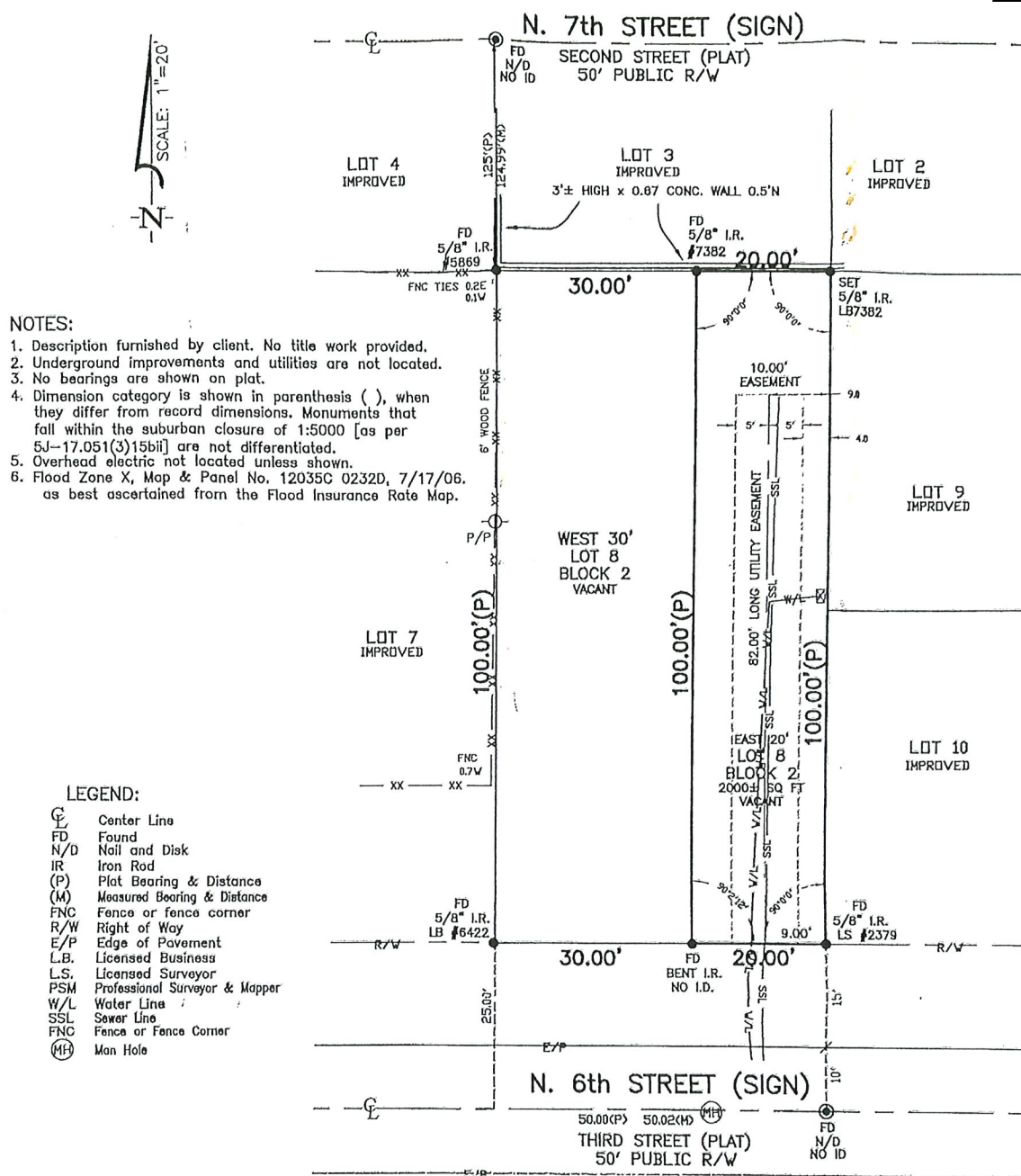
The southern half of lot 8 West will remain landscaped as a green space and act as a sight and sound buffer between the commercial zone and the rest of the residential area.

Policy C.1.7.1

The proposed structure on this will be designed to have a net zero energy use plan. It will incorporate solar panels and use energy conservation methods such as the use of increased insulation and air sealing techniques.

Analysis of soil.

The soil on Lot 8 West is classified as 31-Palm Beach gravelly sand 0-8% slopes



DESCRIPTION:

THE EAST 20' OF LOT 8, BLOCK 2, GEORGE MOODY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 24, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

SUBJECT TO A PROPOSED

10.00 FOOT UTILITY EASEMENT LYING 5 FOOT EACH SIDE OF AN 82.00 FOOT LINE LAYING 9.00 FOOT WEST AND PARALLEL TO THE EAST LINE OF LOT 8, BLOCK 2, GEORGE MOODY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 24, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

PREPARED FOR:

City of Flagler Beach, FLA

Revised: 08/12/15 proposed 10' easement 1508031 ACS
Revised: Added Water & Sewer Lines, 06/06/14 JMM

TYPE SURVEY: DATE OF FIELD-OFFICE WORK ORDER#
Boundary 05/23/14 05/28/14 1406022 ACS

EAST COAST LAND SURVEYING

11 Coolidge Ave. Suite-J, Ormond Beach FL 32174

PHONE (386) 672-3633 or (386) 437-0123 FAX (386) 672-3635

THE FOREGOING PLAT MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AS PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

A. Sanzone

05/28/14

ANTHONY SANZONE, PSM# 63097

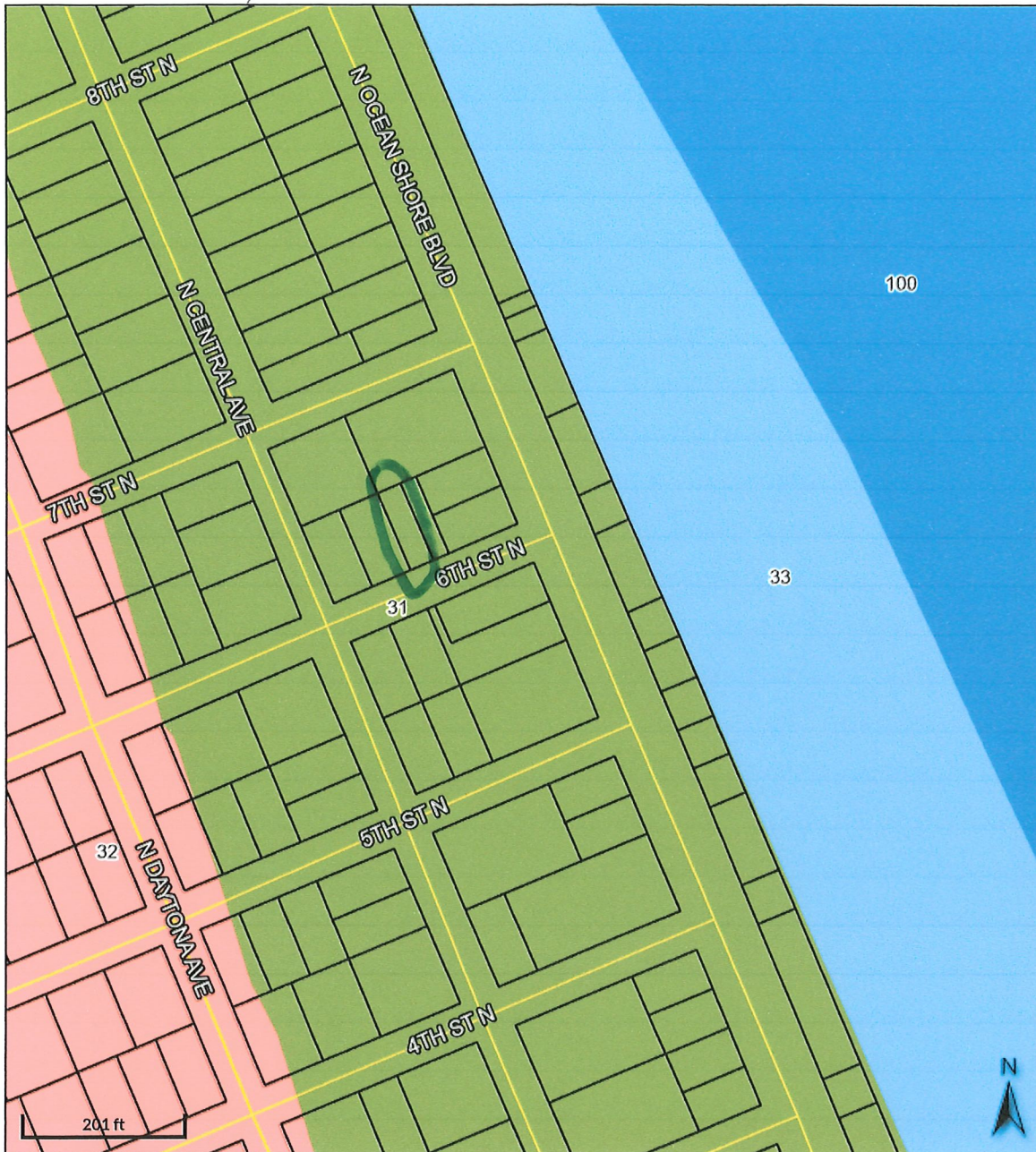
LB #7382

Not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item b.

Soil Types



Overview



Legend

- Parcels
- Roads
- Soil Types**
- 20 Orsino fine sand, 0 to 5% slopes
- 21 Smyrna fine sand
- 22 Astatula fine sand, 0 to 8% slopes
- 23 Adamsville fine sand, 0 to 3% slopes
- 24 Samsula and Placid solis, frequently flooded
- 25 Tavares fine sand, 0 to 5% slopes
- 26 Turnbull and Pellicer soils, tidal
- 27 Cassia fine sand
- 29 Udarents, moderately wet
- 30 Pits
- 31 Palm Beach gravelly sand, 0 to 8% slopes
- 32 Narcossee, shell substratum-Welaka complex, 0 to 5% slopes
- 33 Beaches
- 34 Cocoa-Bulow complex, 0 to 5% slopes
- 35 Quartzipsamments, dredged
- 36 Bimini sand
- 37 Tuscawillia fine sand
- 38 Paola fine sand, 0 to 8% slopes
- 39 Udarents, smoothed
- 40 Pomona fine sand

Lot 8W soil type

31 - Palm Beach
gravelly sand
0-8% slopes

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item b.

Future Zoning



Overview



Legend

- Parcels
- Roads
- Flagler Beach FLUM
 - Commercial
 - Golf Course
 - High Density
 - Low Density
 - Medium Density
 - Mixed Use Overlay
 - Mobile Home Park
 - Other Public Facilities
 - Park
 - Public Buildings & Grounds
 - Salt Water Marsh
 - Spoil Area
 - Undefined

Date created: 3/19/2024
Last Data Uploaded: 3/19/2024 8:14:46 AM

Developed by  Schneider
GEOSPATIAL

Lot 8W
Commercial

FLAGLER COUNTY PROPERTY APPRAISER

Current Zoning



Overview



Legend

- Parcels
- Roads
- Streams and Rivers
- Flagler Beach Zoning
 - C- CONSERVATION
 - CLOSED STREETS
 - GC- GENERAL COMMERCIAL
 - HIGHWAY COMMERCIAL
 - LDR- LOW DENSITY
 - LI- LIGHT INDUSTRIAL
 - MDR- MEDIUM DENSITY RESIDENTIAL
 - MIRROR LAKE WATERSHED DISTRICT (R1)
 - P- PRESERVATION
 - PUD- PLANNED UNIT DEVELOPMENT
 - R- RESERVED
 - REC- RECREATION
 - REC/PUD- RECREATION/PUD
 - SFR- SINGLE FAMILY RESIDENTIAL (R1)
 - SFR- SINGLE FAMILY RESIDENTIAL (R4)
 - TC- TOURIST COMMERCIAL

Lot 8 W

GC - General Commercial

Date created: 3/19/2024
Last Data Uploaded: 3/19/2024 8:14:46 AM

Developed by  Schneider
GEOSPATIAL

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 7 & 8, BLOCK 2, OF MOODY
SUBDIVISION, FLAGLER COUNTY, FLORIDA.





























LEGAL DESCRIPTION:

LOT 7 & 8, BLOCK 2, OF MOODY SUBDIVISION, ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 1, PAGE 24, PUBLIC RECORDS OF FLAGLER COUNTY,
FLORIDA.

SURVEY NOTES:

1. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA SURVEYOR AND MAPPER.
2. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. THE "LEGAL DESCRIPTION" HEREON WAS PREPARED BY THE SURVEYOR PER THE CLIENT'S REQUEST.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR OPINION OF TITLE. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS NOTED.
5. HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12035C0232E, CITY OF FLAGLER BEACH, REVISED DATE JUNE 6, 2018, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, WHICH ARE AREAS OF MINIMAL FLOOD HAZARD (NAVD '88). THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS.
6. ELEVATIONS ARE BASED ON N.G.S MONUMENT "1 95 72 B18" HAVING AN ELEVATION OF 26.07'. ALL ELEVATIONS ARE REFERENCED TO NAVD (NORTH AMERICAN VERTICAL DATUM) 1988.
7. NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, ARE LOCATED, UNLESS SHOWN HEREON.
8. THIS SURVEY MEETS THE HORIZONTAL CONTROL ACCURACY OF 1/7,500 FEET FOR AN ALTA LAND TITLE SURVEY.

SYMBOL LEGEND:

- | | |
|--|--|
|  - CHAIN LINK FENCE |  - CONCRETE UTILITY POLE |
|  - FIRE HYDRANT |  - CONCRETE MITERED END SECTION |
|  - LIGHT POLE |  - CLEAN OUT |
|  - HANDICAP PARKING SPACE |  - GATE VALVE |
|  - CONCRETE |  - DUAL SUPPORT SIGN |
|  - SANITARY SEWER MANHOLE |  - SANITARY SEWER VALVE |
|  - FLOOD LIGHT |  - WATER METER |
|  - SINGLE SUPPORT SIGN |  - BORING HOLE LOCATION |
|  - WATER SERVICE |  - TELEPHONE RISER |
|  - WATER VALVE |  - IRRIGATION CONTROL VALVE |
|  - STORM DRAINAGE MANHOLE |  - ELECTRICAL RISER |
|  - WOOD UTILITY POLE |  - UNDERGROUND PIPE (SIZE & TYPE NOTED) |
|  - GUY ANCHOR |  - RECLAIMED WATER SERVICE |
|  - UTILITY RISER | |
|  - CABLE RISER | |

Surveyor's Certification:

I hereby certify that the attached "Boundary and Topographic Survey" of the hereon-described property is true and correct to the best of my knowledge, information and belief as surveyed in the field on November 15, 2018. I further certify that this "Boundary and Topographic Survey" meets the standards of practice set forth in Rule Chapter 59-101 of the Florida Administrative Code, pursuant to F.S. 474.05(6)(b).

CERTIFIED TO:

JOE KOVACH

BUILDING SETBACKS
FRONT= 25.00'
REAR= 10.00'
SIDE= 5.00'

SITE DATA:

IMPERVIOUS AREA = 1,648 SF. 33.0%
PERVIOUS AREA = 3,352 SF. 67%

ABBREVIATION LEGEND:

- | | | | | | | | |
|--------|----------------------------------|------------|----------------------|--------|--------------------------|---------|------------------|
| P.O.B. | POINT OF BEGINNING | C.W. | CONCRETE WORMHOLE | ELEV | ELEVATION | COND. | CONCRETE |
| P.O.C. | POINT OF COMPLETION | P.F. | PLATE FOOT | A/C | ASPH CONTHTRN | C.L.F. | CURB LAIR FENCE |
| P.O.D. | POINT OF DRAINAGE | P.R. | PLATE RAIL | T | TIMBER | C.M.F. | CURB MOUNT FENCE |
| P.O.E. | POINT OF ELEVATION | R.R. | NON-RADIAL | U.C. | UTILITY CASSETT | C. & G. | CURB & GUTTER |
| P.O.F. | POINT OF FENCE | R. | RADIUS | F.F. | FINISHED FLOOR | TEC | TELEPHONE |
| P.O.I. | POINT OF INTERSECTION | C.L. | CURB LENGTH | F | FLOOR | TEC | TELEPHONE EXCH |
| P.O.P. | POINT OF PERMANENT CONTROL POINT | D. | DELTA | C.B.S. | CONCRETE BLOCK STRUCTURE | H.O. | HIGH POINT |
| P.O.S. | POINT OF START | P.P. | PLUMB POINT | U.C. | UTILITY CASSETT | H.O. | HIGH POINT |
| P.O.T. | POINT OF TANGENCY | R/W | RIGHT-OF-WAY | U.C. | UTILITY CASSETT | N.G. | NATURAL GROUND |
| P.O.V. | POINT OF VIEW | C.O.A.L.E. | CORNER ADJACENT LINE | U.C. | UTILITY CASSETT | S.A.R. | SANITARY |
| P.O.W. | POINT OF WORK | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.X. | POINT OF X | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Y. | POINT OF Y | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Z. | POINT OF Z | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.A. | POINT OF A | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.B. | POINT OF B | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.C. | POINT OF C | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.D. | POINT OF D | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.E. | POINT OF E | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.F. | POINT OF F | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.G. | POINT OF G | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.H. | POINT OF H | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.I. | POINT OF I | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.J. | POINT OF J | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.K. | POINT OF K | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.L. | POINT OF L | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.M. | POINT OF M | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.N. | POINT OF N | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.O. | POINT OF O | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.P. | POINT OF P | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Q. | POINT OF Q | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.R. | POINT OF R | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.S. | POINT OF S | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.T. | POINT OF T | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.U. | POINT OF U | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.V. | POINT OF V | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.W. | POINT OF W | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.X. | POINT OF X | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Y. | POINT OF Y | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Z. | POINT OF Z | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.A. | POINT OF A | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.B. | POINT OF B | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.C. | POINT OF C | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.D. | POINT OF D | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.E. | POINT OF E | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.F. | POINT OF F | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.G. | POINT OF G | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.H. | POINT OF H | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.I. | POINT OF I | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.J. | POINT OF J | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.K. | POINT OF K | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.L. | POINT OF L | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.M. | POINT OF M | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.N. | POINT OF N | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.O. | POINT OF O | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.P. | POINT OF P | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Q. | POINT OF Q | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.R. | POINT OF R | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.S. | POINT OF S | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.T. | POINT OF T | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.U. | POINT OF U | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.V. | POINT OF V | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.W. | POINT OF W | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.X. | POINT OF X | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |
| P.O.Y. | POINT OF Y | D.R. | DRAINAGE | U.C. | UTILITY CASSETT | FE | FIRE |

cph
www.cphcorp.com

820 Palm Coast Pkwy SW

Plan Prepared By

CPH, Inc.
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landsc. Lic. No. LC0000200

DOI: 10.1002/anie.201100000

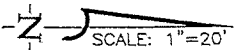
Field Size DS/1.8

	Field Bk: 8072
	Drawn by: SS
	Date: 1.9.1
5.6569	Scale: 1"=20'

REVISION

9	ADDED DIMENSIONS AROUND THE POOL
1	FOUNDATION SURVEY DSNG 6.1.15 FB
6	FINAL SURVEY DSNG 2.1.16 FB 80/72 A
8	FINAL SURVEY DSNG 11.15.18 FB 80/72

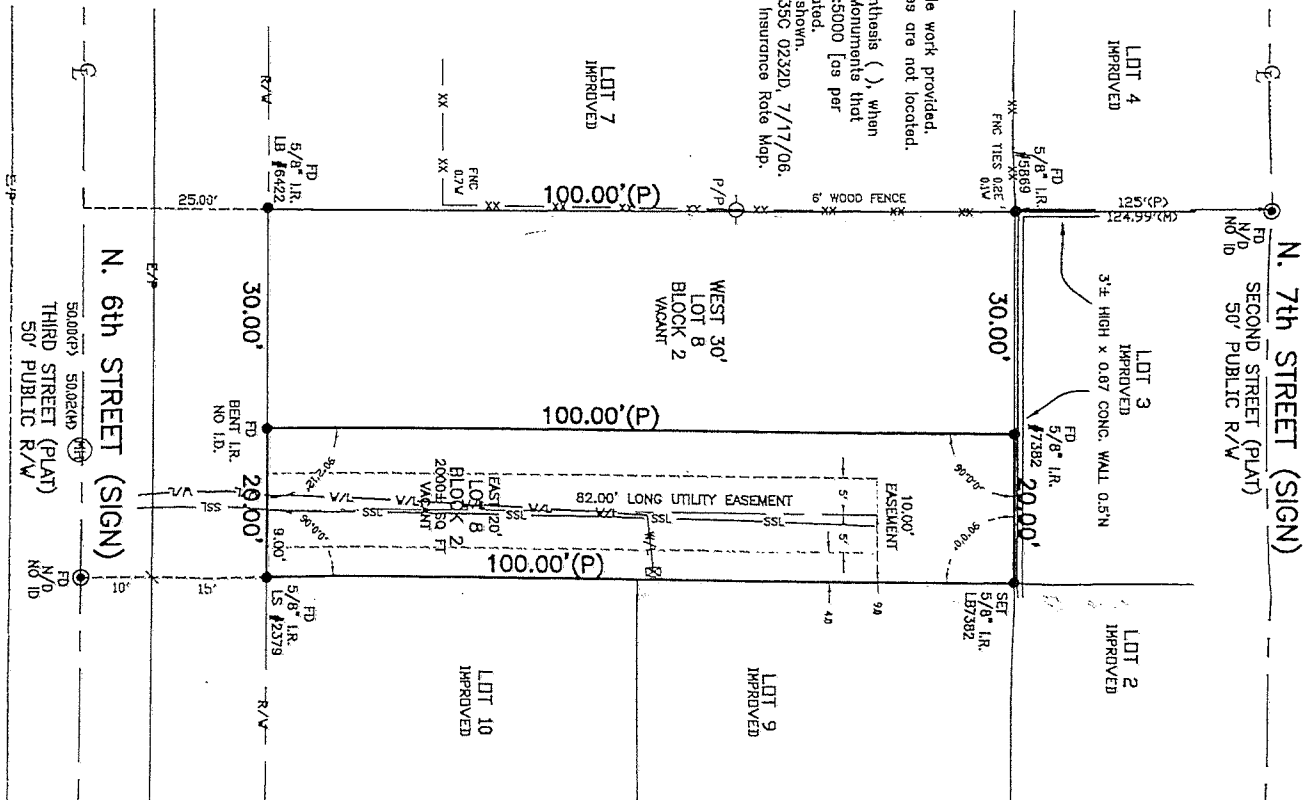
STATE OF FLORIDA
Professional Surveyor and Mapper
Florida Registration No. 6384



- NOTES:
1. Description furnished by client. No title work provided.
 2. Underground improvements and utilities are not located.
 3. No bearings are shown on plot.
 4. Dimension category is shown in parenthesis (), when they differ from record dimensions. Monuments that fall within the suburban closure of 1:5000 [as per 54-17.051(3)19b]] are not differentiated.
 5. Overhead electric not located unless shown.
 6. Flood Zone X, Map & Panel No. 12035C 0232D, 7/17/06, as best ascertained from the Flood Insurance Rate Map.

LEGEND:

- CL Center Line
- FD Found
- N/D Not and Disk
- IR Iron Rod
- (P) Plat Bearing & Distance
- (M) Measured Bearing & Distance
- FNC Fence or fence corner
- R/W Right of Way
- E/P Edge of Pavement
- L.B. Licensed Business
- L.S. Licensed Surveyor & Mapper
- PSM Professional Surveyor & Mapper
- W/L Water Line
- SSL Sewer Line
- FNC Fence or Fence Corner
- Mon Hole



DESCRIPTION:

THE EAST 20' OF LOT 8, BLOCK 2, GEORGE MOODY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 24, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

SUBJECT TO A PROPOSED 10.00 FOOT UTILITY EASEMENT LYING 5 FOOT EACH SIDE OF AN 82.00 FOOT LINE LAYING 9.00 FOOT WEST AND PARALLEL TO THE EAST LINE OF LOT 8, BLOCK 2, GEORGE MOODY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 24, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

PREPARED FOR:

City of Flagler Beach, Fla

EAST COAST LAND SURVEYING

11 Coolidge Ave. Suite-J, Ormond Beach FL 32174
 PHONE (386) 672-3633 or (386) 437-0123 FAX (386) 672-3635

Revised: 08/12/15 proposed 10' easement 1508031 ACS
 Revised: Added Water & Sewer Lines, 08/06/14 JMM

THE FOREGOING PLAT MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AS PER CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, AS PURSUANT TO SECTION 472.021, FLORIDA STATUTES.

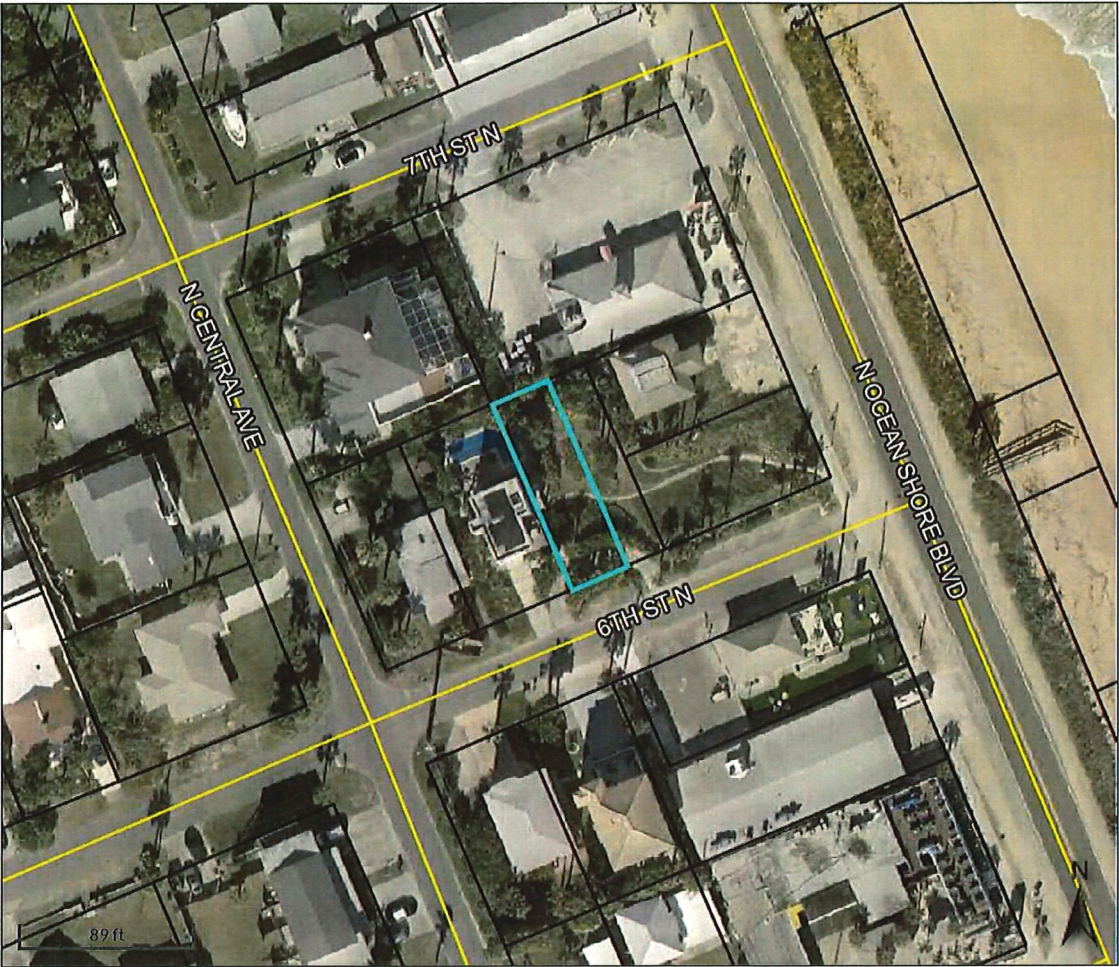
TYPE SURVEY: DATE OF FIELD-OFFICE WORK ORDER#
 Boundary 05/23/14 05/28/14 1408022 ACS

05/28/14

ANTHONY SANZONE, PSM# 63097
 Not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.

LB #7382

FLAGLER COUNTY PROPERTY APPRAISER



Overview

Legend

- Parcels
- Roads
- Streams and Rivers

Parcel ID	12-12-31-4500-00020-0081	Owner	KOVACH JOSEPH JR & JEANNE A	Land Value	\$18,991	Last 2 Sales			
Prop ID	78568		MOMMAERTS H&W LIFE	Ag Land Value	\$0	Date	Price	Reason	Qual
Class Code	VACANT COMMERCIAL		ESTATE	Building Value	\$0	12/12/2016	0	V	U
Taxing District	22		112 N 6TH ST	Misc Value	\$0	8/29/2014	\$90000	V	Q
GIS sqft	2,978.603	Physical Address	FLAGLER BEACH, FL 32136 n/a	Just Value	\$18,991				
				Assessed Value	\$18,991				
				Exempt Value	\$0				
				Taxable Value	\$18,991				

Date created: 5/2/2024
Last Data Uploaded: 5/2/2024 8:24:55 AM

Developed by Schneider GEOSPATIAL

AFFIDAVIT OF PUBLICATION

Penny Overstreet
City Of Flagler Beach-Hr
Po Box 70
Flagler Beach FL 32136-0070


STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of The News-Journal, published in Volusia and Flagler Counties, Florida; that the attached copy of advertisement, being a Govt Public Notices, was published on the publicly accessible website of Volusia and Flagler Counties, Florida, or in a newspaper by print in the issues of, on:

04/26/2024

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 04/26/2024



Legal Clerk



Notary, State of WI, County of Brown

My commission expires
Publication Cost: \$535.36
Order No: 10101489 # of Copies:
Customer No: 465673 1
PO #:

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

VICKY FELTY
Notary Public
State of Wisconsin

**CITY OF FLAGLER
BEACH PUBLIC
HEARING NOTICE**

ORDINANCE REZ-2024-XX AND ORDINANCE #2024-XX – Parcel no. 12-12-31-4500-00020-0001
Applications have been submitted to rezone this property from the General Commercial (GC) Zoning District to the Single-family Residential (R1) Zoning District, and to amend the Future Land Use Map designation of the property from Commercial to Medium Density Residential. The applicant has stated that the purpose of these requests is to accommodate an accessory dwelling unit on the subject property that will be used as a pool house. The property owner plans to combine the property with the adjoining parcel at 112 N. 6th Street (Parcel no. 12-12-31-4500-00020-0070).
Applicants: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate.

PUBLIC HEARINGS ARE SCHEDULED TO BE HELD AT CITY HALL, 105 S. 2ND. STREET, FLAGLER BEACH, FLORIDA AS FOLLOWS:

PLANNING AND ARCHITECTURAL REVIEW BOARD: TUESDAY, MAY 7, 2024 AT 5:30 P.M.

1st READING: CITY COMMISSION: THURSDAY, MAY 23, 2024 AT 6:00 P.M. OR AS SOON THEREAFTER AS POSSIBLE.

2nd READING: CITY COMMISSION: THURSDAY, JUNE 13, 2024 AT 6:00 P.M. OR AS SOON THEREAFTER AS POSSIBLE.

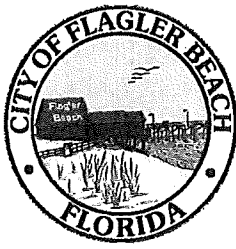
ALL INTERESTED PARTIES ARE INVITED TO ATTEND.

PLEASE DIRECT ANY QUESTIONS TO THE CITY OF FLAGLER BEACH AT (386-517-2000) EXT. 230.

The public hearings may be continued to a future date or dates. The times and dates of any continuances of a public hearing shall be announced during the public hearing without any further published notice. The request will be heard at 5:30 PM, or as soon thereafter as possible, in the City Commission Chambers located at 105 South Second Street, Flagler Beach, Florida. If a person decides to appeal any decision made with respect to any matter considered at the above referenced hearings, he/she will need a record of the proceedings. For such purposes, it may be necessary to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 386-517-2000 Ext. 233 at least 48 hours prior to the meeting. For further information about this request, please call the Planning and Building Department at (386) 517-2000 Ext. 230. The public may inspect information that is more detailed during office hours at the Planning and Building Department, 800 S. Daytona Ave.

L10101489 4/26/2024

Planning and Building Department



City of Flagler Beach

P.O. Box 70 • 800 S Daytona Avenue
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2016

Notice of Public Hearing

April 22, 2024

Dear Sir or Madam,

The Building and Planning Department, in accordance with the City of Flagler Beach **Land Development Regulations Section 8.04.12**, herein advises you of the following notice:

Rezoning and Land Use Amendment – Parcel no. 12-12-31-4500-00020-0081

Applications have been submitted to rezone this property from the General Commercial (GC) Zoning District to the Single-family Residential (R1) Zoning District, and to amend the Future Land Use Map designation of the property from Commercial to Medium Density Residential. The applicant has stated that the purpose of these requests is to accommodate an accessory dwelling unit on the subject property that will be used as a pool house. The property owner plans to combine the property with the adjoining parcel at 112 N. 6th Street (Parcel no. 12-12-31-4500-00020-0070).

Applicants: Joseph Kovach, Jr. and Jeanne A Mommaerts H&W Life Estate.

The Planning and Architectural Review Board will consider the request and make a recommendation to the City Commission during a meeting on:

Tuesday, May 7, 2024 at 5:30 p.m., in the City of Flagler Beach Commission Chambers at 105 2nd Street South, Flagler Beach, Florida.

The City Commission will conduct a quasi-judicial public hearing on:

Thursday, May 23, 2024 at 6:00 p.m., or as soon thereafter as possible, in the City of Flagler Beach Commission Chambers at 105 2nd Street South, Flagler Beach, Florida.

All interested parties are invited to attend.

Please direct any questions to the City of Flagler Beach at (386) 517-2000, extension #230.

The public hearings may be continued to a future date or dates. The times and dates of any continuances of a public hearing shall be announced during the public hearing without any further published notice. The request will be heard at 5:30 PM, or as soon thereafter as possible, in the City Commission Chambers located at 105 South Second Street, Flagler Beach, Florida.

If a person decides to appeal any decision made with respect to any matter considered at the above referenced hearings, he/she will need a record of the proceedings. For such purposes, it

may be necessary to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the *Americans with Disabilities Act*, persons needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 386-517-2000 Ext. 233 at least 48 hours prior to the meeting.

For further information about this request, please call the Planning and Building Department at (386) 517-2000 Ext. 230. The public may inspect information that is more detailed during office hours at the Planning and Building Department, 800 S. Daytona Ave.

The City Commission reserves the right to request that all written material be on file with the City Clerk when the agenda item is submitted.

FLAGLER COUNTY PROPERTY APPRAISER



Overview

Legend

- Parcels
- Roads
- Streams and Rivers

Flagler Beach FLUM

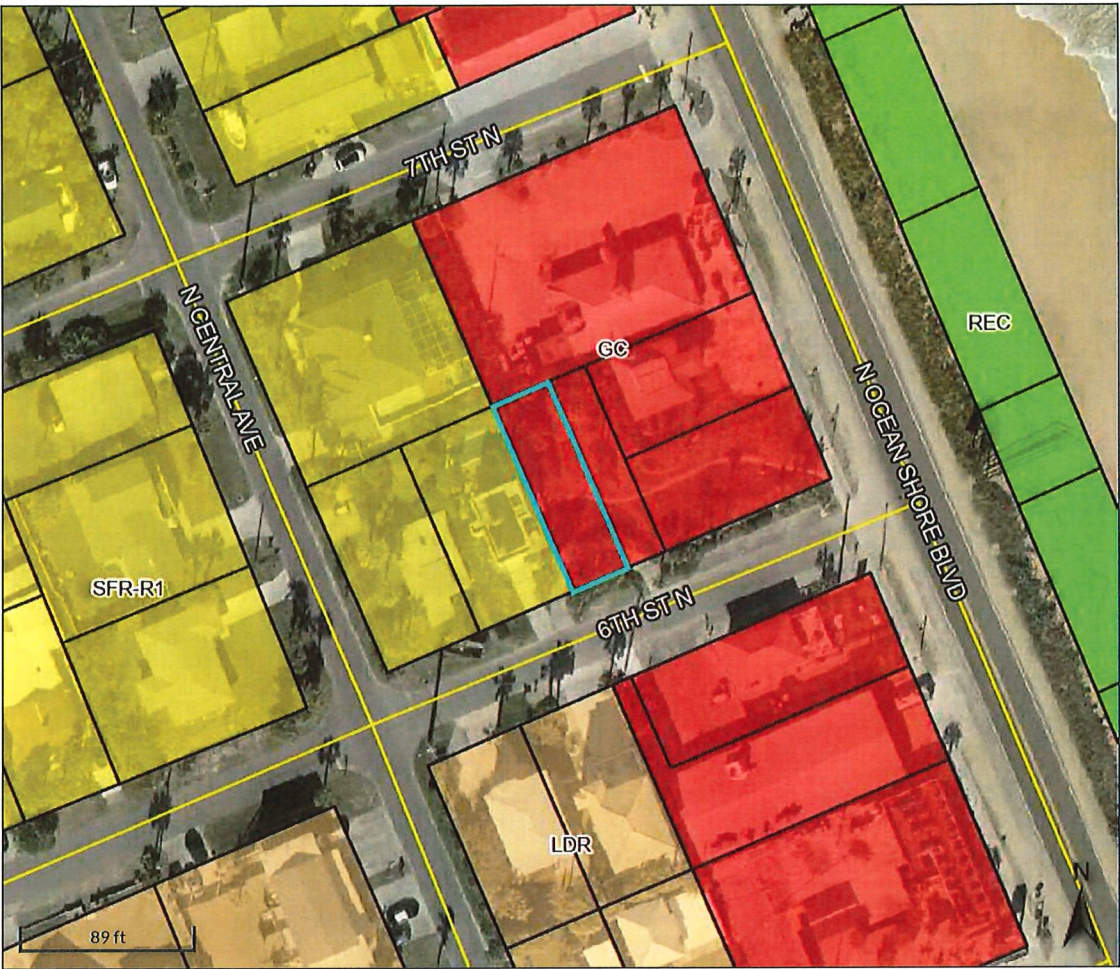
- Commercial
- Golf Course
- High Density
- Low Density
- Medium Density
- Mixed Use Overlay
- Mobile Home Park
- Other Public Facilities
- Park
- Public Buildings & Grounds
- Salt Water Marsh
- Spoil Area
- Undefined

Parcel ID	12-12-31-4500-00020-0081	Owner	KOVACH JOSEPH JR & JEANNE A	Land Value	\$18,991	Last 2 Sales			
Prop ID	78568		MOMMAERTS H&W LIFE ESTATE	Ag Land Value	\$0	Date	12/12/2016	Price	Reason
Class Code	VACANT COMMERCIAL		112 N 6TH ST	Building Value	\$0	8/29/2014	\$90000	V	U
Taxing District	22	Physical Address	FLAGLER BEACH, FL 32136	Misc Value	\$0				
GIS sqft	2,978.603		n/a	Just Value	\$18,991				
				Assessed Value	\$18,991				
				Exempt Value	\$0				
				Taxable Value	\$18,991				

Date created: 5/2/2024
Last Data Uploaded: 5/2/2024 8:24:55 AM

Developed by  Schneider GEOSPATIAL

FLAGLER COUNTY PROPERTY APPRAISER



Overview



Legend

- Parcels
- Roads
- Streams and Rivers
- Flagler Beach Zoning
 - C- CONSERVATION
 - CLOSED STREETS
 - GC- GENERAL COMMERCIAL
 - HIGHWAY COMMERCIAL
 - LDR- LOW DENSITY
 - LI- LIGHT INDUSTRIAL
 - MDR- MEDIUM DENSITY RESIDENTIAL
 - MIRROR LAKE WATERSHED DISTRICT (R1)
 - P- PRESERVATION
 - PUD- PLANNED UNIT DEVELOPMENT
 - R- RESERVED
 - REC- RECREATION
 - REC/PUD- RECREATION/PUD
 - SFR- SINGLE FAMILY RESIDENTIAL (R1)
 - SFR- SINGLE FAMILY RESIDENTIAL (R4)
 - TC- TOURIST COMMERCIAL



City of Flagler Beach

Planning and Building Department

Date: May 3, 2024

To: X, Chairman Planning and Architectural Review Board
Board Members

From: Planning and Building Department

Subject: Final Site Plan Approval: Application **#SP24-0001**; 907 North Ocean Shore
Boulevard Mixed Use Building

A. SUMMARY IN BRIEF:

Purpose

The applicant has submitted Application SP#24-XX-XX to appear before the Planning and Architectural Review Board (PARB) the purpose of which is to obtain a recommendation of approval as it relates to a mixed use building with retail on the ground floor and an apartment on the second floor.

Location:

907 North Oceanshore Boulevard
(See Attachment #1 Location Map).

Zoning, Future Land Use and Current Use

Zoning District	Future Land Use Map	Current Land Use
Tourist Commercial (See Attachment 2)	Commercial (See Attachment 3)	Vacant

Description:

LOT 5, BLOCK 5, COCHRAN PLACE ADDITION, PER PLAT OF SAID SUBDIVISION, FLAGLER COUNTY, PER PLAT IN PLAT BOOK 1, PAGE 12, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, RESERVING UNTO THE GRANTOR A SIX FOOT (6') EASEMENT ALONG THE NORTHERLY LOT LINE OF LOT 5, BLOCK 5, COCHRAN PLACE SUBDIVISION. TOGETHER WITH A SIX FOOT (6') EASEMENT ALONG THE SOUTHERLY LOT LINE OF LOT 4, BLOCK 5, COCHRAN PLACE ADDITION, PER PLAT OF SAID SUBDIVISION, FLAGLER COUNTY, PER PLAT IN PLAT BOOK 1, PAGE 12 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA COCHRAN PLACE SUBDIVISION.

Existing Conditions

- Vacant Property

B. Land Development Regulations Compatibility

Proposed Development

A two-story, mixed use building with approximately 2,392 square feet per floor. The ground floor contain ±1,445 of retail space and a two car garage with stairs directly into a 3 bedroom, 2 bathroom dwelling unit upstairs.

There are two parking spaces (including 1 required ADA space) located to the rear of the building. These spaces and the garage are accessed by a driveway shared with the property to the north, which is described in the legal description.

The property is located in the A1A Retail Character District (as it was extended in 2015) but not in the CRA district.

Retail uses and apartments are allowed in the Tourist Commercial zoning district.

C. SITE DESIGN

Chapter 4 of the X lays out the site design requirements for the A1A Retail Character District:

1. **Build To Line** – The Code requires a 0' setback on the front, 0' setback on one side, and that a building occupy at least 65% of the lot frontage. The proposed building is set back 9' from the front property line, 0' from the south property line, and 10' from the north property line. The building occupies 79% of the lot frontage.

Finding – Recommend approval of front setback. The proposed minor difference from the requirement still helps create a unified street front, while making construction easier and allowing potential space for outdoor dining, display, signage, etc. Side and rear setbacks comply.

2. **Parking** – Parking is located in the rear of the lot, as required. A total of 6 spaces are provided – 2 within the garage, 2 at the rear of the lot, and 2 on-street spaces in front. Within the A1A Retail Character District, the "Maximum amount of off-street parking permitted for all uses in the Downtown A1A Retail District should conform to Section 2.06.02.1 Schedule of Off-Street Parking Requirements." That maximum amount would be 2 for the residential use and 1 space per 300 square feet of the retail use, or 5, for a total of 7 spaces.

Finding – Compliant

3. **Building Height** – The building plans show the building is 31.5' high from grade to the roof peak, within the 35' height limit.

Finding – Compliant

4. **Facade Guidelines** – Vertical setbacks are only required on buildings higher than 2 stories. The elevation drawings show the required 3 distinct bands of composition – base, mid-section, and roof.

Finding – Compliant

5. **Impervious Surface Area** – A maximum of 70% impervious surface is required. Based on the site plan, it appears that the project can achieve 56% impervious surface if the building footprint and ADA parking space are paved and the remaining driveway is built with a pervious material.

Finding – Compliant

Staff Recommendation: Recommend approval of site plan SP#24-XX-XX the City Commission.

ATTACHMENTS:

Attachment #1 – Location Map
 Attachment #2 – Zoning Map
 Attachment #3 – Future Land Use Map
 Attachment #4 – Site Development Plan and Data
 Site Plan/Survey Overlay – See *Plan Set*



CITY OF FLAGLER BEACH BUILDING AND PLANNING DEPARTMENT

Section 6, Item c.

RECEIVED

FEB - 5 2024

City of Flagler Beach
Building Department

GENERAL APPLICATION	
<input checked="" type="checkbox"/> Final Site Plan	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Master Site Plan	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Site Development Plan(s)	<input type="checkbox"/> Plat Vacating
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Subdivision Master Plan
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Non-statutory Land Division/Parcel Reconfiguration
<input type="checkbox"/> Future Land Use Map Amendment	<input type="checkbox"/> Site Plan Modification (Post approval)
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Development Order Modification
<input type="checkbox"/> Variance	<input type="checkbox"/> Wireless Communication Facility (new structure)

Application Submittal Date: Feb 5, 2024

Fee Paid: \$ 1,035 Date Received: Feb 5, 2024

Employee Accepting Application (print name): Bonnie Bramer

Rejected Date: _____ Rejected by: _____

Reason for Rejection: _____

A. PROJECT NAME: Garpan Family Holding Three LLC

B. LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS): 907 Ocean Shore Blvd

C. PROPERTY APPRAISER'S PARCEL ID NUMBER(s): 01-12-31-1100-00050-0050

D. LEGAL DESCRIPTION: _____ Subdivision Name: Cochran Place

Section: _____ Block(s): 5 Lot(s): 5

E. SUBJECT PROPERTY ACRES / SQUARE FOOTAGE: 4908

F. FUTURE LAND USE MAP DESIGNATION: _____ EXISTING ZONING DISTRICT: _____

OVERLAY DISTRICT: _____

G. FLOOD ZONE: _____ FEMA COMMUNITY PANEL NUMBER: _____ DATE: _____

H. CURRENT USE OF PROPERTY: VACANT Land

I. DESCRIPTION OF REQUEST/PROPOSED DEVELOPMENT (ATTACH ADDITIONAL SHEETS) 1ST Floor
(2) 719 SQUARE FOOT units with Garage Behind them
2 Floor Residential

J. PROPOSED NUMBER OF LOTS (If Applicable): 1 Development Phasing: Yes ☐ No ☒



CITY OF FLAGLER BEACH BUILDING AND PLANNING DEPARTMENT

Section 6, Item c.

K. LIST BELOW ANY APPLICATIONS CURRENTLY UNDER REVIEW OR RECENTLY APPROVED ASSOCIATED WITH THIS APPLICATION:

L. WATER/SEWER PROVIDER: _____

M. EXISTING MORTGAGE? Yes ☐ No ☐

OWNER:		APPLICANT/AGENT:	
Name: <u>CASIMIRO GASPAR</u>		Name: <u>Luís Medeiros</u>	
Mailing Address: <u>8601 E CHURCH ST</u>		Mailing Address: <u>306 SEAHAWK RD ST BURNELL FL 32110</u>	
Phone Number: <u>800 Box 730</u>		Phone Number: <u>386-931-6577</u>	
E-mail Address: _____		E-mail Address: <u>Luís@plusnet.net</u>	
MORTGAGE HOLDER:		ENGINEER OR PROFESSIONAL:	
Name: _____		Name: <u>Russell Rowland</u>	
Mailing Address: _____		Mailing Address: <u>13241 BANTAM Pk Blvd Jacksonville Fl</u>	
Phone Number: _____		Phone Number: <u>904-503-3283</u>	
E-mail Address: _____		E-mail Address: _____	
SURVEYOR:		LANDSCAPE ARCHITECT:	
Name: <u>SWA</u>		Name: <u>Dickinson Consulting Inc</u>	
Mailing Address: <u>2729 E Moody Blvd</u>		Mailing Address: <u>25 Old Kings Rd Suite 2B</u>	
Phone Number: <u>386-437-2363</u>		Phone Number: <u>386-931-2853</u>	
E-mail Address: <u>SWA@swa.com</u>		E-mail Address: <u>dickinsonconsultinginc@gmail.com</u>	
PLANNER:		TRAFFIC ENGINEER:	
Name: _____		Name: _____	
Mailing Address: _____		Mailing Address: _____	
Phone Number: _____		Phone Number: _____	
E-mail Address: _____		E-mail Address: _____	
ATTORNEY OF RECORD:		DEVELOPER:	
Name: _____		Name: _____	
Mailing Address: _____		Mailing Address: _____	
Phone Number: _____		Phone Number: _____	
E-mail Address: _____		E-mail Address: _____	

I HEREBY CERTIFY THAT ALL INFORMATION ON THIS APPLICATION IS CORRECT:

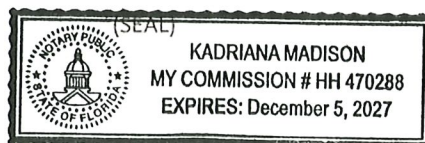
Signature of owner OR person authorized to represent this application:

Signature(s): _____

Printed or typed name(s): CASIMIRO CARNEIRO GASPAR

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 29 day of Jan 2024 by Casimiro Gaspar individual submitted by ☒ Personal Knowledge ☐ Satisfactory Evidence: Type _____

Kadi Madson
Signature of Notary Public, State of Florida



RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

SPR#: _____ DATE FILED: _____

SITE PLAN REVIEW APPLICATION

PROJECT TITLE: GASPAR Family Holding Three LLC

PROJECT ADDRESS: 907 N OCEAN SHORE BLVD

Subdivision: COCHON PLACE Block: 5 Lot(s): 5

TAX MAP NUMBER: 01-12-31-1100-00050-0050 ZONING DISTRICT: _____

OWNERS INFORMATION:

OWNERS NAME: CASIMIRO GASPAR

ADDRESS: 8601 E CHURCH ST

PHONE NUMBER: 1-908-451-7267 FAX NUMBER: —

SIGNATURE OF OWNER: _____

APPLICANTS INFORMATION:

APPLICANTS NAME (IF OTHER THAN OWNER): Luis mederos / A plus Home Improvements LLC

ADDRESS: 306 SPAILROAD ST BUNNELL FL 32110

PHONE NUMBER: 386-931-6577 FAX NUMBER: _____

SIGNATURE OF APPLICANT: _____

REPRESENTATIVE:

NAME: Sam

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

SIGNATURE OF REPRESENTATIVE: [Signature]

SITE PLAN REVIEW

PROJECT DESCRIPTION

Section 6, Item c.

PRINT OR TYPE INFORMATION

RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

- A. Provide a detailed description of the proposed project:

2 Commercial units on First Floor
1 Residential unit on 2nd Floor

- B. Provide the lot size (parcel) and square footage of all building(s):

Lot size 4908 sq. ft.

- C. Provide the size, height and proposed use of each building:

31' 1" x 42'

- D. Provide a detailed description of the following:

* Exterior finish and color: Wall - SW7688 Sundew Trim SW7538 Tanager
* Roof material and color:

- E. Indicate the project floor area ratio or lot coverage (if applicable):

2232 1st Floor
2407 2nd Floor

- F. Provide the total number of:

Required on-site parking spaces: 4
Proposed on-site parking spaces: 4
Required on-site Handicapped parking spaces: 1
Proposed on-site Handicapped Parking spaces: 1

- G. Any off-site parking spaces proposed? If yes, describe number, location, and distance from proposed project location:

1 OFF SITE

H. Will project be accomplished in phases? If Yes, describe phasing plans and timeframe:

NO

I. Describe the nature of any tree and native vegetation removal, if applicable:

none vacant land to trees

J. If a Commercial use, describe the operational characteristics of the development (proposed hours of operation, any unique characteristics of the proposed use.

8 AM TO 8 PM

K. Provide other pertinent information regarding the proposed development:

RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

Site Plan Review

Existing Conditions

RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

- A. Describe all previous uses or activities on the site:
Vacant
- B. Describe all existing structures on the site in terms of their use, construction type, height, density, and size:
None
- C. Describe the project site as it presently exists before the project in terms of:
- Site topography:
None
 - Plant life (existing trees, vegetative cover):
None
 - Soil conditions:
Sandy
 - Historic or cultural resources (if applicable):
None

RECEIVED
FEB 19 2024
City of Flagler Beach
Building Department

D. Describe the land use and zoning of surrounding properties within 200 feet of project location:

North: Commercial

South: Commercial

East: Ocean

West: Residential

This instrument prepared by:
 Name: Jessica Westbrook
 Flagler County Abstract Company
 300 N 2nd Street
 Flagler Beach, Florida 32136
 FILE NO. S4445
 Property Appraisers Parcel Identification Number(s):
 01-12-31-1100-00050-0050

Section 6, Item c.

RECEIVED
 FEB - 5 2024
 City of Flagler Beach
 Building Department

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED made the 30th day of December, 2019

Douglas E. Ernst

whose street address is 920 Winged Foot Trail, Fayetteville, Georgia 30215

hereinafter called the grantor*, to

Gaspar Family Holding Three, LLC, a Florida Limited Liability Company

whose street address is 101 Ryecliff Drive, Palm Coast, Florida 32164

hereinafter called the grantee*:

(*Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, that the grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations to said grantors in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed unto the grantee and grantee's heirs forever the following described land situate in County of Flagler, State of Florida, to wit:

Lot 5, Block 5, Cochran Place Addition, per plat of said subdivision, Flagler County, per plat in Plat Book 1, Page 12, of the Public Records of Flagler County, Florida, reserving unto the Grantor a six foot (6') easement along the Northerly lot line of Lot 5, Block 5, Cochran Place Subdivision. TOGETHER WITH a six foot (6') easement along the Southerly lot line of Lot 4, Block 5, Cochran Place Addition, per plat of said subdivision, Flagler County, per plat in Plat Book 1, Page 12, of the Public Records of Flagler County, Florida Cochran Place Subdivision.
AND THE PROPERTY DESCRIBED ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

GRANTOR WARRANTS THAT THIS IS NOT HOMESTEAD PROPERTY.

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in otherwise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with the grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31ST, 2018. **FURTHER SUBJECT TO** Restrictions, Reservations, Covenants, Dedications, Resolutions, Conditions and Easements of record, if any, however this reference shall not operate to reimpose same.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

2 DIFFERENT WITNESSES

Signed, sealed and delivered in the presence of:

Witness 1 Signature

ANTONIO D. COPELAND

Printed or Typed Name

Witness 2 Signature

LARRY C. COPELAND

Printed or Typed Name

Douglas E. Ernst

Douglas E. Ernst

STATE OF Georgia
 COUNTY OF Fayette

The foregoing instrument was acknowledged before me this 30th day of December, 2019, by Douglas E. Ernst who is personally known to me or who produced Ga Drivers License as identification and who did/did not take an oath.

Sharon G Robinson
 Notary Public

My Commission Expires:

[seal]

Sharon G Robinson,
 NOTARY PUBLIC
 Fayette County, GEORGIA
 My Comm. Expires 07/31/2021

REAL AND EXPIRATION DATE

Exhibit "A"

RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

The Southerly 25 feet of the following described property:

All that certain parcel of land and the riparian rights and accretions pertaining thereto, situated in U.S. Lot 2 of Section 1, Township 12 South, Range 31 East, more particularly described and bounded as follows: Bounded on the West by the Easterly boundary of the Right-of-Way for Atlantic Boulevard, also known as Ocean Shore Boulevard, and as State Road A1A, bounded on the East by the Atlantic Ocean, bounded on the North by the North line of Lot 5, of Block 5, of Cochran Place Addition to Ocean City Beach, (now Flagler Beach), Flagler County, Florida, according to the plat thereof on file in the Public Records of Flagler County, Florida, in Plat Book 1, at Page 12 produced Eastward to the Atlantic Ocean, and bounded on the South by the South line of Lot 5, of Block 5 of said Cochran Place Addition above mentioned produced Eastward to the Atlantic Ocean. Subject to the perpetual reservation of oil, gas and mineral rights reserved in that certain deed of conveyance bearing date of November 14, 1951 from J.D. Blalock and his wife, Minetta Blalock to Claude G. Varn and Mary Belle Varn, husband and wife, recorded in Deed Book 38, at page 25, of the Public Records of Flagler County, Florida.

RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

SITE PLAN REVIEW CHECKLIST

Note: All plans submitted with the application must be folded and stapled to standard notebook size.

1. SURVEY

The survey shall be based on current title work and shall be reflected as such on the survey. The following information is required:

- ☐ Angles and bearings, including utility poles catch basins, manholes, fire hydrants and water, sewer lines.
- ☐ Natural features (topography: existing and proposed contours and/or spot grades).
- ☐ The location of buildings, including the location & size of berms & walls.
- ☐ Location of light poles & fire hydrants.
- ☐ Location of underground facilities.
- ☐ Location of intersections, sidewalks, driveway, curbs and streets.
- ☐ Abutting and internal streets and their widths
- ☐ Easements and/or dedications with O.R. Books and Page Number provided.
- ☐ If site has wetlands, provide applicable permits from outside permitting agencies. Indicate wetlands jurisdiction line and required buffer.
- ☐ Provide a tree survey showing location of existing trees. Overlay all existing trees on the site plan.

2. SURROUNDING LAND USE

The following information is required on an aerial photograph of property within 200 ft. of the subject property.

- ☐ Identification of land use and zoning.

3. LOCATION MAP

Provide on the cover sheet.

4. SITE PLAN

The following information is required on the site plan:

Note: Drawn to a regular engineering scale (i.e. 1 inch = 10 feet, 1 inch = 20 feet, but no larger than 1 inch = 40 feet) and plotted on a sheet no larger than 24 by 36 inches in size.

- ☐ Parcel boundaries and dimensions.
- ☐ Title Block:
 1. Development's name
 2. Site address
 3. Scale
 4. North arrow
 5. Legend
 6. Site Acreage
 7. Name and address of the Developer and the designer of the plans.
 8. Date
 9. Legal Description of subject property.

Building footprints.

Dimensions for **all** proposed improvements.

- ☐ Street improvements (curb, lane striping, sidewalks, fire hydrants, street lights, etc.).
- ☐ Dedicated rights of ways and street names.
- ☐ Pedestrian Facilities.
- ☐ Points of access in driveways.
- ☐ Parking lots, including circulation patterns.
- ☐ Walls, fences and retaining walls, including height and materials (on and adjacent to site).
- ☐ Dumpster enclosures, including height and screening materials.
- ☐ Drainage facilities (on an adjacent to site).
- ☐ Minimum setback lines.
- ☐ Dimensions between building(s) and all perimeter uses.
- ☐ Open space and parks (if applicable).
- ☐ Phase lines if the development will be built in stages.
- ☐ Site Plan Summary to include:
 - Total site area
 - Indicate pervious/impervious land coverage
 - Required vs. proposed parking spaces

5. BUILDING ELEVATIONS

Building elevations must be drawn for all sides of the building to an architectural scale (1/4 inch = 1 foot is preferred).

- ☐ The height of the building is measured from grade to the top of the roof for a flat roof, or from grade to the mean height between the eave and the ridge for pitched roofs.

- ☐ Elevations for all sides of all structures as they will appear upon completion.
- ☐ Building materials and finishes for all exterior surfaces, including roofs.
- ☐ Color of all exterior surfaces, including roofs.

6. **WATER, SEWER, PAVING AND DRAINAGE PLANS**

Water, sewer, paving and drainage plans and calculations for all parking lots, driveways, and other large paved and unpaved area, and the direction of drainage.

- ☐ On-site drainage provisions.
- ☐ Delineate retention facilities and disposition of storm water.
- ☐ Delineate the direction of drainage flow.
- ☐ Location and finished elevation of swales.
- ☐ Location of manholes, swales and catch basins.
- ☐ Provide written approval from the St. Johns Water Management District (if applicable).
- ☐ Water and sewer availability (application form provided).

7. **LANDSCAPE PLAN**

Landscape plans must be drawn to the same scale as the site plan. For simple site plans, the landscape plan can be made part of the site plan. All landscape plans must include or show the following information:

- ☐ Signed and sealed landscape plans, including detail and specifications on plant material.
- ☐ The location, size and species of all proposed plantings.
- ☐ Existing trees which are being used to offset landscape requirements.
- ☐ Groundcover for all landscaped or disturbed areas.
- ☐ Landscaping calculations for parking areas per code.
- ☐ Irrigation system, including lines.
- ☐ If applicable, retaining walls with landscape treatment.
- ☐ Buffer areas and specific landscape treatment.
- ☐ Indicate any overhead power lines.
- ☐ Lift stations, dumpsters, and transformer vaults with landscape treatments.

8. **SITE LIGHTING PLAN**

All lighting plans must include or show the following information:

- ☐ The location of all existing and proposed exterior light fixtures (can be included on the landscape plan).

9. PRELIMINARY SIGNAGE PLAN

All preliminary signage plans must include or show the following information:

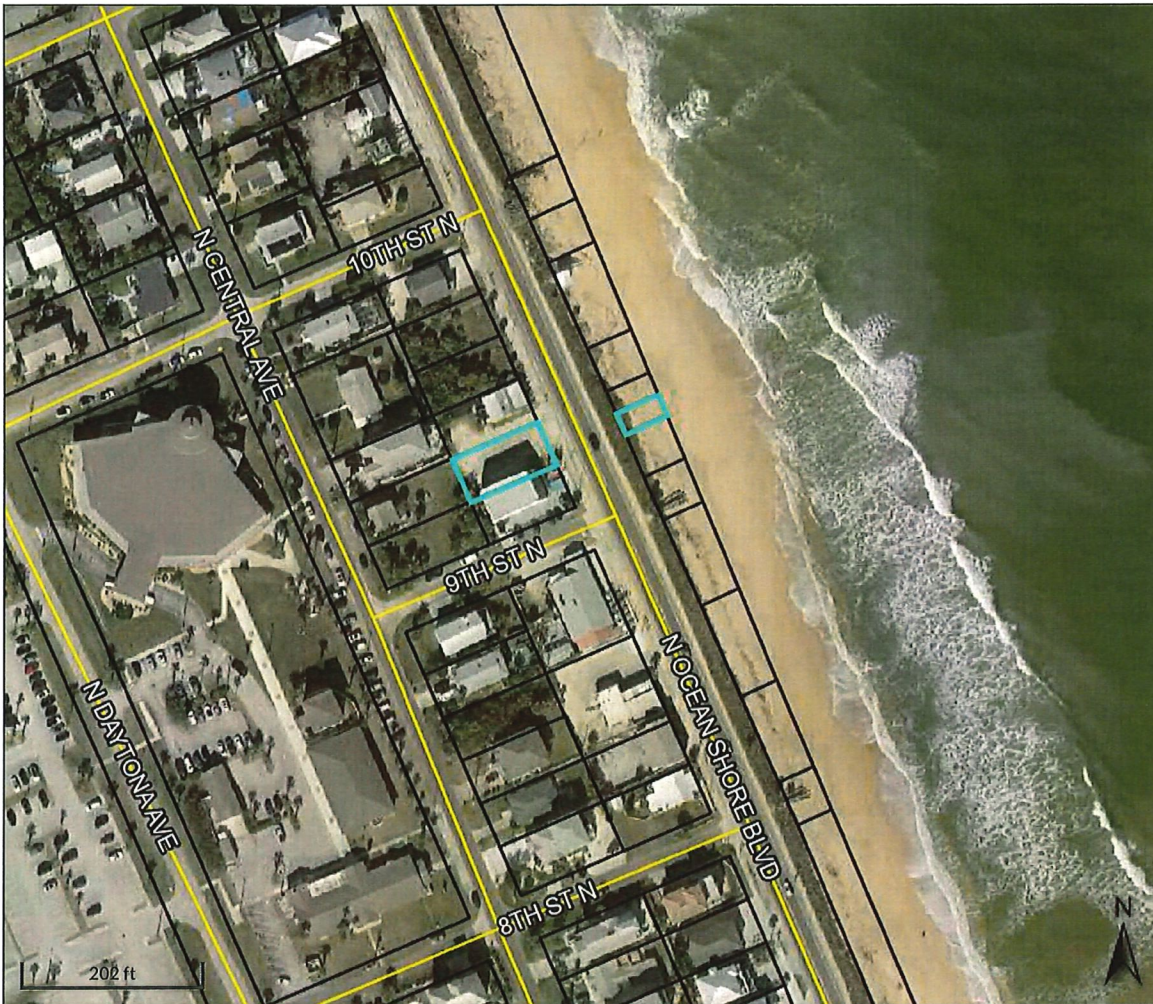
- ☐ The location of all existing and proposed signage (can be included on the site plan and/or landscape plan).
- ☐ Drawings showing the size, copy, materials, illumination, and general design/layout of all proposed signs.

10. OTHER DESIGN FEATURES (IF APPLICABLE)

- ☐ Awnings (material, design and color).
- ☐ Address, directory signs.
- ☐ Walkway treatment or pavers.
- ☐ Other _____

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item c.



Overview



Legend

- Parcels
- Roads
- Streams and Rivers

Parcel ID	01-12-31-1100-00050-0050	Owner	GASPAR FAMILY HOLDING THREE LLC	Land Value	\$338,608	Last 2 Sales Date			
Prop ID	76914		8601 E CHURCH STREET PO BOX 730	Ag Land Value	\$0	12/30/2019	\$265000	V	Q
Class Code	VACANT		HASTINGS, FL 32145	Building Value	\$0	11/1/2003	\$182000	V	U
Taxing District	21	Physical Address	907 OCEAN SHORE BLVD N	Misc Value	\$0				
GIS sqft	6,227.129			Just Value	\$338,608				
				Assessed Value	\$303,801				
				Exempt Value	\$0				
				Taxable Value	\$303,801				

Date created: 5/3/2024

Last Data Uploaded: 5/3/2024 8:20:52 AM

Developed by  Schneider GEOSPATIAL

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item c.



Overview



Legend

- Parcels
- Roads
- Streams and Rivers
- Flagler Beach Zoning**
 - C- CONSERVATION
 - CLOSED STREETS
 - GC- GENERAL COMMERCIAL
 - HIGHWAY COMMERCIAL
 - LDR- LOW DENSITY
 - LI- LIGHT INDUSTRIAL
 - MDR- MEDIUM DENSITY RESIDENTIAL
 - MIRROR LAKE WATERSHED DISTRICT (R1)
 - P- PRESERVATION
 - PUD- PLANNED UNIT DEVELOPMENT
 - R- RESERVED
 - REC- RECREATION
 - REC/PUD- RECREATION/PUD
 - SFR- SINGLE FAMILY RESIDENTIAL (R1)
 - SFR- SINGLE FAMILY RESIDENTIAL (R4)
 - TC- TOURIST COMMERCIAL

Parcel ID	01-12-31-1100-00050-0050	Owner	GASPAR FAMILY HOLDING THREE LLC	Land Value	\$338,608	Last 2 Sales Date		Section 6, Item c.	
Prop ID	76914		8601 E CHURCH STREET PO BOX 730	Ag Land Value	\$0	12/30/2019	\$265000	V	Q
Class Code	VACANT		HASTINGS, FL 32145	Building Value	\$0	11/1/2003	\$182000	V	U
Taxing	21	Physical Address	907 OCEAN SHORE BLVD N	Misc Value	\$0				
District				Just Value	\$338,608				
GIS sqft	6,227.129			Assessed Value	\$303,801				
				Exempt Value	\$0				
				Taxable Value	\$303,801				

Date created: 5/3/2024
Last Data Uploaded: 5/3/2024 8:20:52 AM
Developed by 

FLAGLER COUNTY PROPERTY APPRAISER

Section 6, Item c.



Overview



Legend

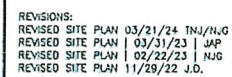
- Parcels
- Roads
- Streams and Rivers
- Flagler Beach FLUM**
- Commercial
- Golf Course
- High Density
- Low Density
- Medium Density
- Mixed Use Overlay
- Mobile Home Park
- Other Public Facilities
- Park
- Public Buildings & Grounds
- Salt Water Marsh
- Spoil Area
- Undefined

Parcel ID	01-12-31-1100-00050-0050	Owner	GASPAR FAMILY HOLDING THREE LLC	Land Value	\$338,608	Last 2 Sales			
Prop ID	76914		8601 E CHURCH STREET PO BOX 730	Ag Land Value	\$0	Date	12/30/2019	Price	Reason Qual
Class Code	VACANT		HASTINGS, FL 32145	Building Value	\$0		11/1/2003	\$182000	V U
Taxing	21	Physical Address	907 OCEAN SHORE BLVD N	Misc Value	\$0				
District				Just Value	\$338,608				
GIS sqft	6,227.129			Assessed Value	\$303,801				
				Exempt Value	\$0				
				Taxable Value	\$303,801				

Date created: 5/3/2024

Last Data Uploaded: 5/3/2024 8:20:52 AM

Developed by  **Schneider**
GEOSPATIAL



LOT 5, BLOCK 5, COCHRAN PLACE ADDITION, PER PLAT OF SAID SUBDIVISION, FLAGLER COUNTY, PER PLAT IN PLAT BOOK 1, PAGE 12, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, RESERVING UNTO THE GRANTOR A SIX FOOT (6') EASEMENT ALONG THE NORTHERLY LOT LINE OF LOT 5, BLOCK 5, COCHRAN PLACE SUBDIVISION, TOGETHER WITH A SIX FOOT (6') EASEMENT ALONG THE SOUTHERLY LOT LINE OF LOT 4, BLOCK 5, COCHRAN PLACE ADDITION, PER PLAT OF SAID SUBDIVISION, FLAGLER COUNTY, PER PLAT IN PLAT BOOK 1, PAGE 12, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA COCHRAN PLACE SUBDIVISION,

PREPARED FOR:
A PLUS HOME IMPROVEMENTS, LLC
306 SOUTH RAILROAD STREET
BUNNELL, FL 32110

LEGEND:

○	R	1/2"
●	R	5/8"
●	P	1/2"
○	N/D	Not
○	N/D	Not
⊙	PCP	Perm
□	CM	Concr
□	CM	Concr
■	FRW	Perm
	FND	Found
	LS	Licen
	LS	Licen
	FSM	Profes

Iron Rod set "L97572"
Iron Rod found
Iron Pipe
and Sink set "L97572"
and Sink found
Ant Control Point
ele Monument set
ele Monument found
Ant Reference Volume
and Business
and Surveyor
ational Surveyor & Mapping

OR	CH
PG	PO
(D)	De
(P)	Pis
(M)	Mu
(C)	Ces
C/A	Ces
E/P	Ed
E/R	Ed
R/M	Ris
S	De
R	Ris
L	Lar
CS	Ch
Ch	Ch

- **Field Records Book**
- **Bearing & Distance**
- **Adjusted Bearing & Distance**
- **Center Line**
- **Angle of Pavement**
- **Angle of Road**
- **Right of Way**
- **To**
- **From**
- **Length**
- **and Bearing**
- **and Distance**

PC
FRG
NR
PT
PI
U.L.
Q.E.
L.E.
H.G.V.D.
N.A.V.D.
B.M.
T.B.M.
TOB
TOE
F.F.
H.M.

- Point of Curvature
- Point of Reverse Curvature
- Non-Residual Curve
- Point of Tangency
- Point of Intersection
- Utility Easement
- Drainage Easement
- Landscape Easement
- National Caddisfly Vertices
- North American Vertical
- Branch Work
- Temporary Branch Work
- Top Of Bank
- POC of slope
- Finish floor Elevation

0.05
Conc
C/S
COP
PEP
0.15
0.20
0.25
0.30
0.35
0.40
0.45
0.50
0.55
0.60
0.65
0.70
0.75
0.80
0.85
0.90
0.95
1.00
1.05
1.10
1.15
1.20
1.25
1.30
1.35
1.40
1.45
1.50
1.55
1.60
1.65
1.70
1.75
1.80
1.85
1.90
1.95
2.00
2.05
2.10
2.15
2.20
2.25
2.30
2.35
2.40
2.45
2.50
2.55
2.60
2.65
2.70
2.75
2.80
2.85
2.90
2.95
3.00
3.05
3.10
3.15
3.20
3.25
3.30
3.35
3.40
3.45
3.50
3.55
3.60
3.65
3.70
3.75
3.80
3.85
3.90
3.95
4.00
4.05
4.10
4.15
4.20
4.25
4.30
4.35
4.40
4.45
4.50
4.55
4.60
4.65
4.70
4.75
4.80
4.85
4.90
4.95
5.00
5.05
5.10
5.15
5.20
5.25
5.30
5.35
5.40
5.45
5.50
5.55
5.60
5.65
5.70
5.75
5.80
5.85
5.90
5.95
6.00
6.05
6.10
6.15
6.20
6.25
6.30
6.35
6.40
6.45
6.50
6.55
6.60
6.65
6.70
6.75
6.80
6.85
6.90
6.95
7.00
7.05
7.10
7.15
7.20
7.25
7.30
7.35
7.40
7.45
7.50
7.55
7.60
7.65
7.70
7.75
7.80
7.85
7.90
7.95
8.00
8.05
8.10
8.15
8.20
8.25
8.30
8.35
8.40
8.45
8.50
8.55
8.60
8.65
8.70
8.75
8.80
8.85
8.90
8.95
9.00
9.05
9.10
9.15
9.20
9.25
9.30
9.35
9.40
9.45
9.50
9.55
9.60
9.65
9.70
9.75
9.80
9.85
9.90
9.95
10.00
10.05
10.10
10.15
10.20
10.25
10.30
10.35
10.40
10.45
10.50
10.55
10.60
10.65
10.70
10.75
10.80
10.85
10.90
10.95
11.00
11.05
11.10
11.15
11.20
11.25
11.30
11.35
11.40
11.45
11.50
11.55
11.60
11.65
11.70
11.75
11.80
11.85
11.90
11.95
12.00
12.05
12.10
12.15
12.20
12.25
12.30
12.35
12.40
12.45
12.50
12.55
12.60
12.65
12.70
12.75
12.80
12.85
12.90
12.95
13.00
13.05
13.10
13.15
13.20
13.25
13.30
13.35
13.40
13.45
13.50
13.55
13.60
13.65
13.70
13.75
13.80
13.85
13.90
13.95
14.00
14.05
14.10
14.15
14.20
14.25
14.30
14.35
14.40
14.45
14.50
14.55
14.60
14.65
14.70
14.75
14.80
14.85
14.90
14.95
15.00
15.05
15.10
15.15
15.20
15.25
15.30
15.35
15.40
15.45
15.50
15.55
15.60
15.65
15.70
15.75
15.80
15.85
15.90
15.95
16.00
16.05
16.10
16.15
16.20
16.25
16.30
16.35
16.40
16.45
16.50
16.55
16.60
16.65
16.70
16.75
16.80
16.85
16.90
16.95
17.00
17.05
17.10
17.15
17.20
17.25
17.30
17.35
17.40
17.45
17.50
17.55
17.60
17.65
17.70
17.75
17.80
17.85
17.90
17.95
18.00
18.05
18.10
18.15
18.20
18.25
18.30
18.35
18.40
18.45
18.50
18.55
18.60
18.65
18.70
18.75
18.80
18.85
18.90
18.95
19.00
19.05
19.10
19.15
19.20
19.25
19.30
19.35
19.40
19.45
19.50
19.55
19.60
19.65
19.70
19.75
19.80
19.85
19.90
19.95
20.00
20.05
20.10
20.15
20.20
20.25
20.30
20.35
20.40
20.45
20.50
20.55
20.60
20.65
20.70
20.75
20.80
20.85
20.90
20.95
21.00
21.05
21.10
21.15
21.20
21.25
21.30
21.35
21.40
21.45
21.50
21.55
21.60
21.65
21.70
21.75
21.80
21.85
21.90
21.95
22.00
22.05
22.10
22.15
22.20
22.25
22.30
22.35
22.40
22.45
22.50
22.55
22.60
22.65
22.70
22.75
22.80
22.85
22.90
22.95
23.00
23.05
23.10
23.15
23.20
23.25
23.30
23.35
23.40
23.45
23.50
23.55
23.60
23.65
23.70
23.75
23.80
23.85
23.90
23.95
24.00
24.05
24.10
24.15
24.20
24.25
24.30
24.35
24.40
24.45
24.50
24.55
24.60
24.65
24.70
24.75
24.80
24.85
24.90
24.95
25.00
25.05
25.10
25.15
25.20
25.25
25.30
25.35
25.40
25.45
25.50
25.55
25.60
25.65
25.70
25.75
25.80
25.85
25.90
25.95
26.00
26.05
26.10
26.15
26.20
26.25
26.30
26.35
26.40
26.45
26.50
26.55
26.60
26.65
26.70
26.75
26.80
26.85
26.90
26.95
27.00
27.05
27.10
27.15
27.20
27.25
27.30
27.35
27.40
27.45
27.50
27.55
27.60
27.65
27.70
27.75
27.80
27.85
27.90
27.95
28.00
28.05
28.10
28.15
28.20
28.25
28.30
28.35
28.40
28.45
28.50
28.55
28.60
28.65
28.70
28.75
28.80
28.85
28.90
28.95
29.00
29.05
29.10
29.15
29.20
29.25
29.30
29.35
29.40
29.45
29.50
29.55
29.60
29.65
29.70
29.75
29.80
29.85
29.90
29.95
30.00
30.05
30.10
30.15
30.20
30.25
30.30
30.35
30.40
30.45
30.50
30.55
30.60

Concrete Block & Structures
Concrete
Concrete Slab
Pool Equipment Pad
Pretreatment Effluent
Pumping Tank
Overhead Electric
P/P - Power Poles
Wasthole
Telephone Room
Cable Television Room
Floor Optic Room
Water Meter
Electric Meter
Fire Hydrant

NOTES

1. The end
2. Elevation
3. Underg
4. Bearing
5. Proper
is base
determ
6. Descrip
7. No sea
8. Error c

the map encompasses
as refer to N.A.V.
ground improvement
as refer to C.C.A.
ly lies in Flood Zone
on maps prepared
ination rest with so
ation provided by of
uch for encumberin
if closure meets or

using this survey is
0. 1988 datum and
s and utilities not b
data.
e "X", with referenc
by the Federal E
old agency and Bosc
ent.
g instruments was
exceeds 1:2500 fe

recorded in Map B.
Reference local del
located.

Book 1, Page 12,
um.

35C0232E, Effective
ent Agency. Find it
3 datum.

Date: June 6, 2018
Location and flood zone:

5. This location

S | her

swa
by certify that
Section 4
DA

STEP
& AS
CIVIL
the survey repre
172.02 Florida
ad
N A WILL

PHENSO
SSOCIAT
ENGINEER
presented hereon m
Statutes, and ad
3-2-87
COX Jr.

ON, WILL
TES, IN
S. LAND S
eets or exceeds
dopted in Chapter
67
PSM No 5

COX
C. CA-2006-11
SURVEYORS
the minimum st
5J-17 Florida
6749 PF N

272
PO
-7872 Phone 386
S. CONSULT
Standards establish
Administrative Cod
No. 57633




29 E. Moody Blvd.
Box 186 Bunnell
387 2263 • Email: info@
TANTS • PL
ed pursuant to
te.

Ste. 202
FL 32119
a.owa@gmail.com
ANNERS
SHEET
1 of 1

1000000



DRAINAGE LEGEND

	EXISTING GRADE	PL = PROPERTY LINE
	PROPOSED GRADE	FL = FLOW LINE
	PROPOSED FLOW ARROWS	B = BERM
<p>The final design is to be reviewed and approved by city staff, county or other agencies</p>		INV. = INVERT
		HP = HIGH POINT
		LP = LOW POINT
		EX = MATCH EXISTING

SWA

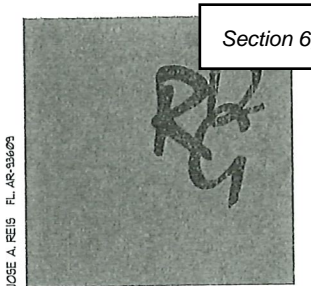
**STEPHENSON, WILCOX
& ASSOCIATES, INC.**

2729 E Meedy Blvd., Ste. 202
PO Box 186 Bunnell FL 32119
Phone: 386 437 2363 • Email: info.swa@gmail.com

I hereby certify that the survey represented hereon meets or exceeds the minimum standards established pursuant to Section 472.02, Florida Statutes, and adopted in Chapter 53-17 Florida Administrative Code.

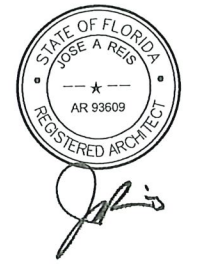
DAN A. WILCOX Jr., PSM No. 5749, PE No. 57633
Not valid without the signature and the original raised seal of a Florida Licensed surveyor and map maker.

SHEET
1 of 1



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (O)



CONSULTANTS:

OWNER:

RECEIVED
FEB - 5 2024
City of Flagler Beach
Building Department

NO.	DATE	DESCRIPTION

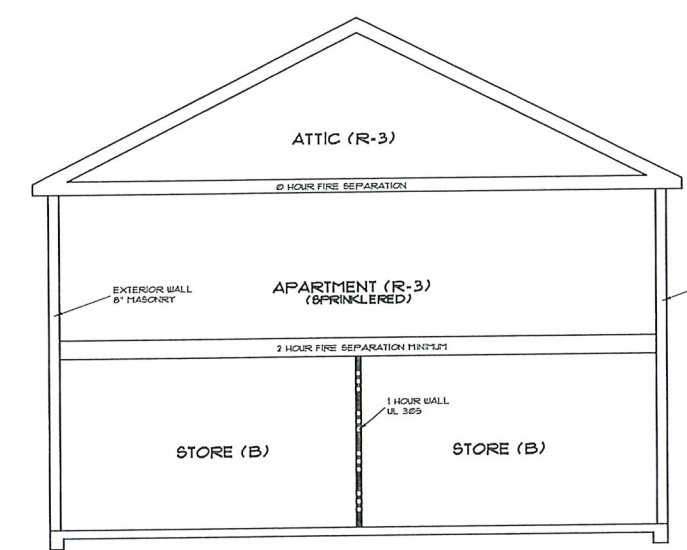
MIXED USE RESIDENTIAL

301 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

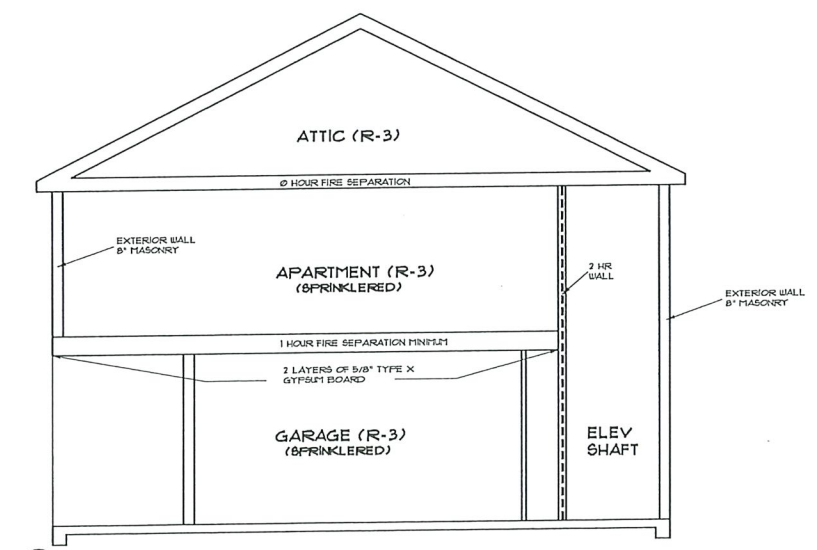
FLOOR PLANS
ISSUE FOR PERMIT SET

PROJ. NO.	21-103
DRAWN BY:	J. REIS
DATE:	01/06/2023
SCALE:	AS NOTED
DWG. NO.	A-102

A-102



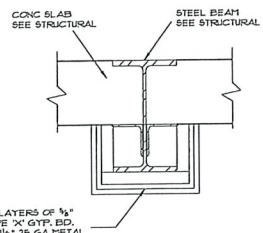
2 MIXED USE FIRE SEPARATION



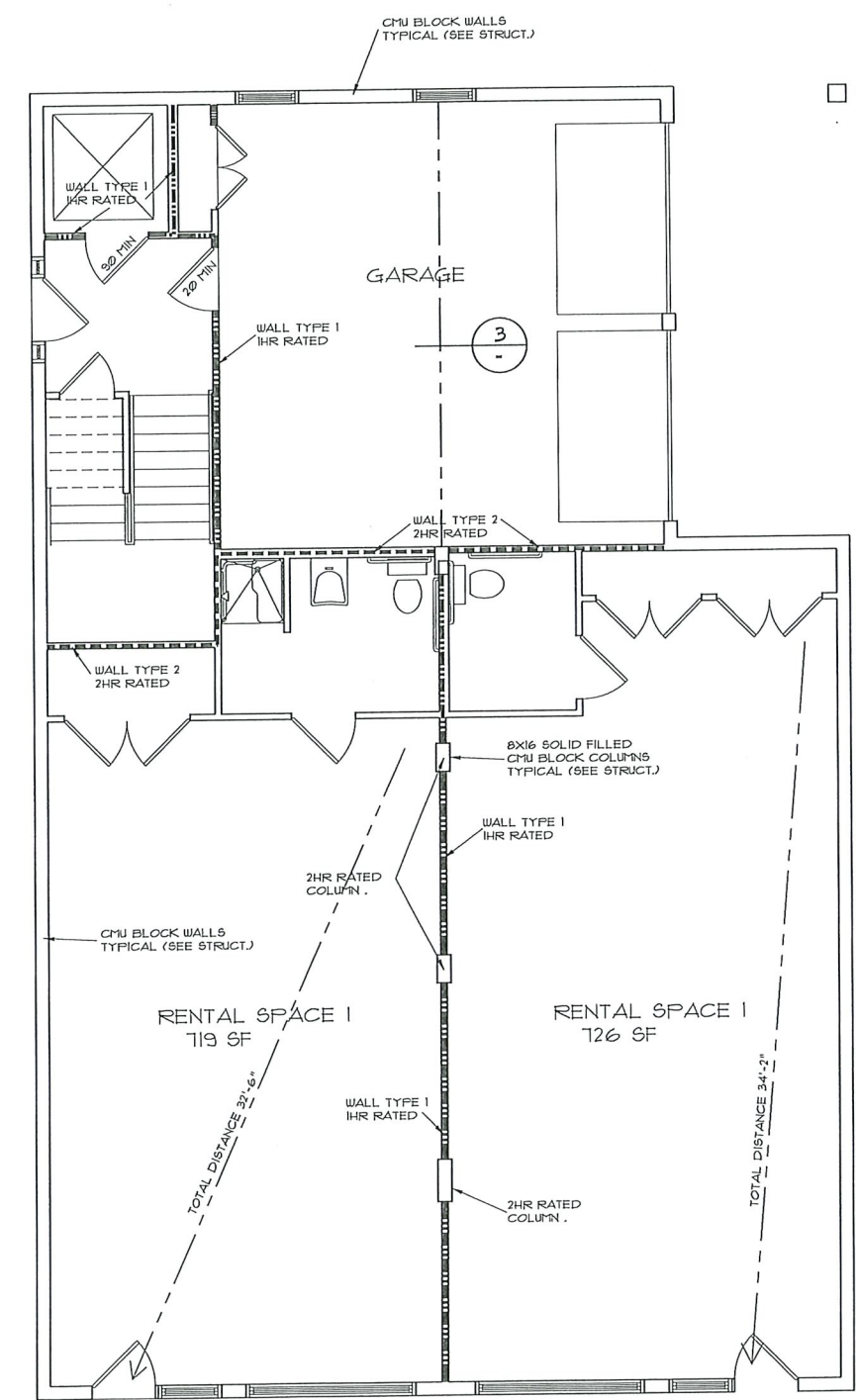
3 R-3 FIRE SEPARATION

WALL TYPE 2

WALL TYPE 1

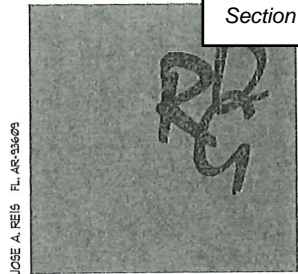


4 STEEL BEAM ABOVE GARAGE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

COPYRIGHT, 2013 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (O)



CONSULTANTS:

OWNER:

NO.	DATE	DESCRIPTION
REVISIONS		
JOB:		

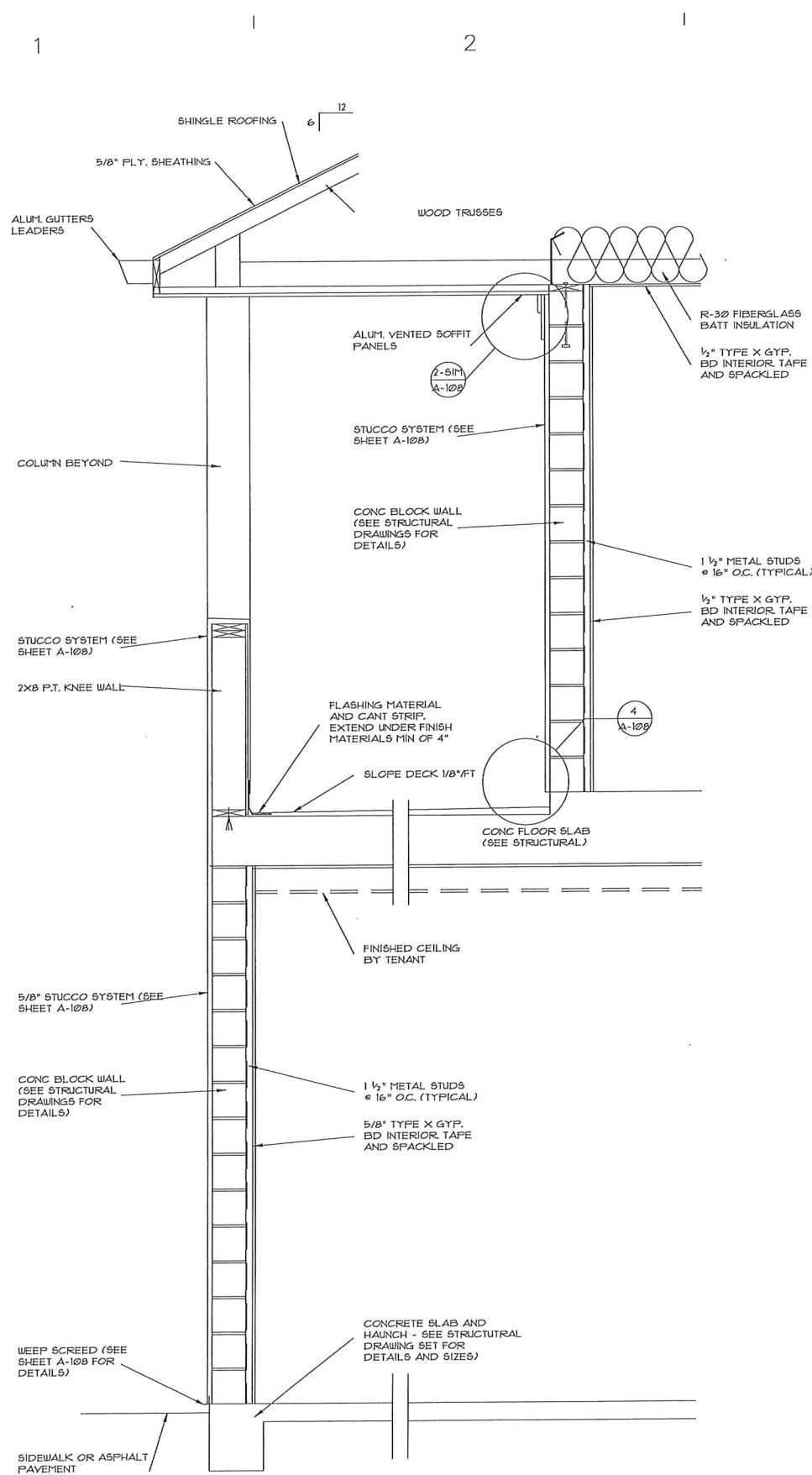
MIXED USE RESIDENTIAL

901 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

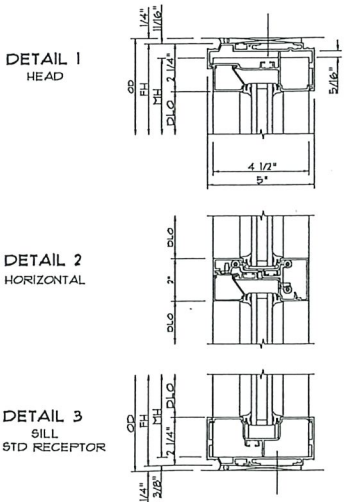
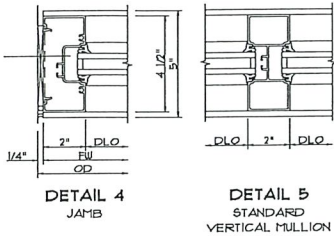
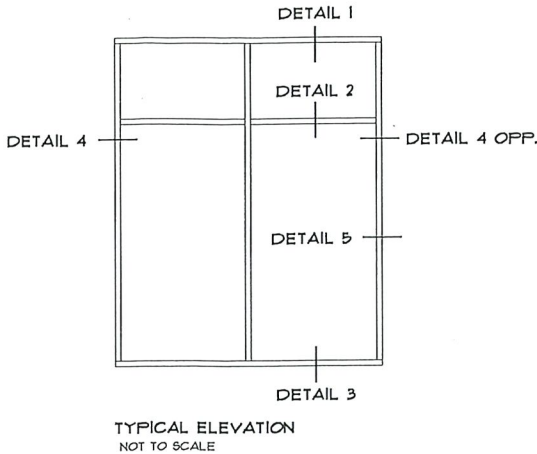
ELEVATIONS
ISSUE FOR PERMIT SET

PROJ. NO.	21-103
DRAWN BY:	J. REIS
DATE:	01/06/2023
SCALE:	AS NOTED
DWG. NO.	

A-106



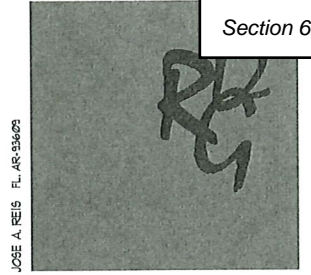
1 WALL SECTION
SCALE: 3/4" = 1'-0"



NOTE:
DETAILS ARE FOR KAUNEER 451T SYSTEM. SIMILAR SYSTEMS ARE ACCEPTABLE

2 STOREFRONT DETAILS
SCALE: N.T.S.

COPYRIGHT 2023 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (D)



CONSULTANTS:

OWNER:

NO.	DATE	DESCRIPTION

MIXED USE RESIDENTIAL

301 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

ELECTRICAL PLANS

ISSUE FOR PERMIT SET

PROJ. NO. 21-103

DRAWN BY: J. REIS

DATE: 01/06/2023

SCALE: AS NOTED

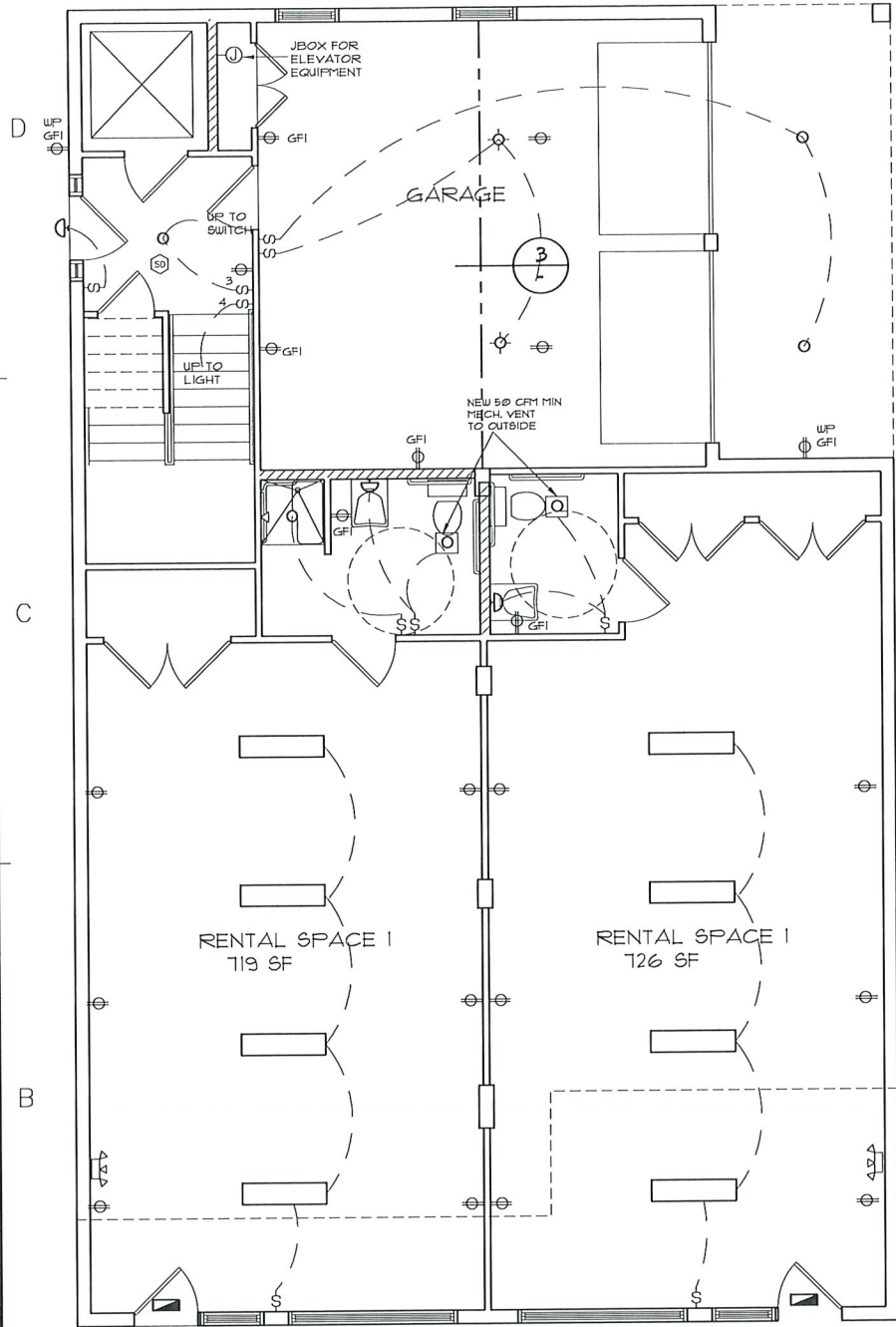
DWG. NO.

E-101

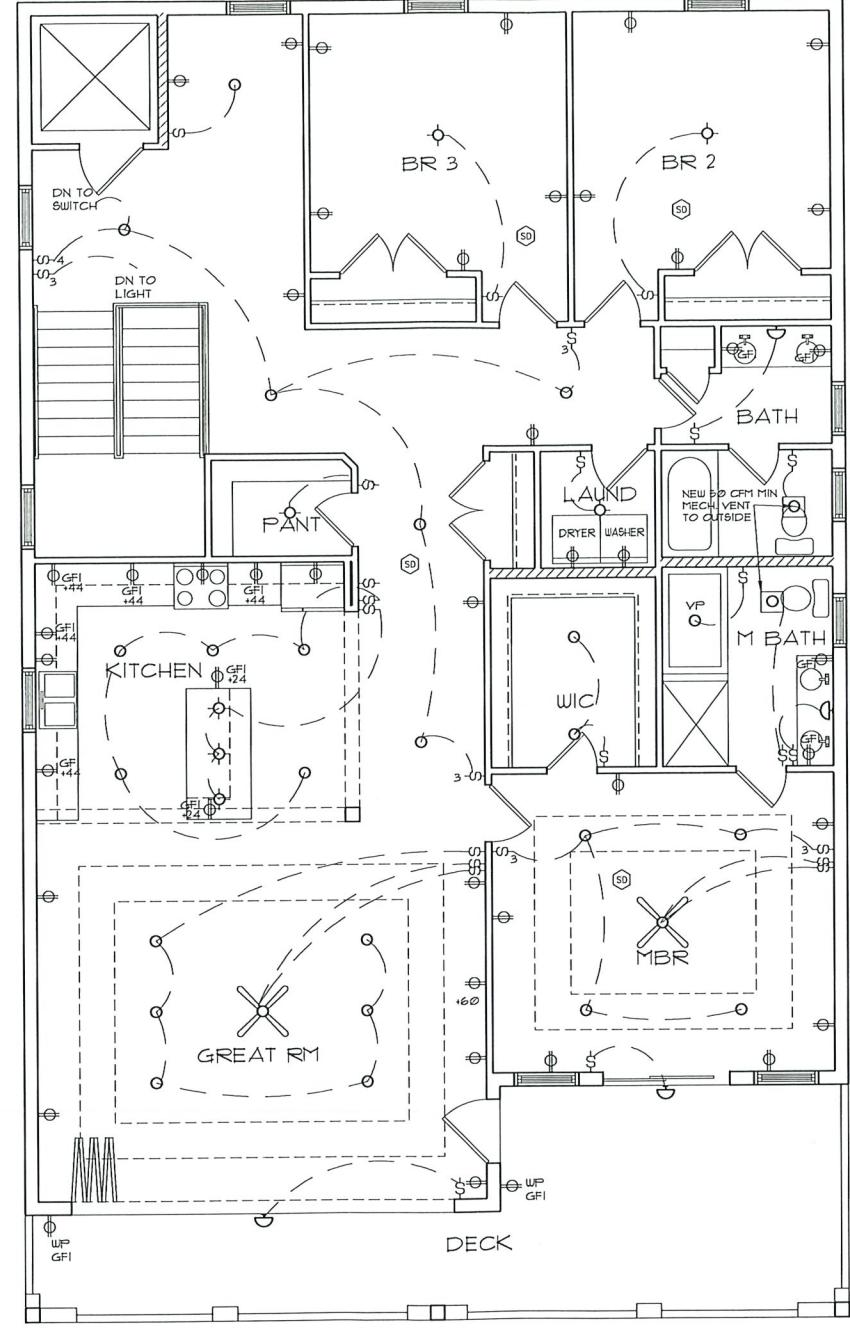
SYMBOL LIST

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DUPLEX OUTLET (TAMPER PROOF RECEPTACLE)
- GROUND FAULT INTERRUPT DUPLEX OUTLET
- WEATHERPROOF OUTLET (RATED WEATHER RESISTANT W/ COVER)
- CABLE T.V.
- △ TELEPHONE
- JUNCTION BOX
- SURFACE MOUNTED INCAN. FIXTURE
- SURFACE MOUNTED INCAN. WATERPROOF FIXTURE
- RECESSED INCAN. LIGHT FIXTURE
- WALL WASHER INCAN. LIGHT FIXTURE
- WALL MTD. INCAN. LIGHT FIXTURE
- APPROVED TYPE SMOKE DETECTOR OR CARBON MONOXIDE, 110V HARDWIRED AND INTERCONNECTED.
- FLUORESCENT/LED SURFACE MOUNTED FIXTURE
- CENTRAL VAC. OUTLET
- DECK LIGHTS
- FAN/LIGHT COMBO (MIN 50 CFM)
- EXIT LIGHT
- ▽ EMERGENCY LIGHT

NOTE:
ARC-FAULT CIRCUIT BREAKERS ON ALL
NON-GFI CIRCUITS

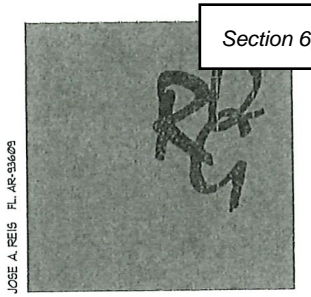


1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

COPYRIGHT: 2023 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (O)



CONSULTANTS:

OWNER:

NO.	DATE	DESCRIPTION

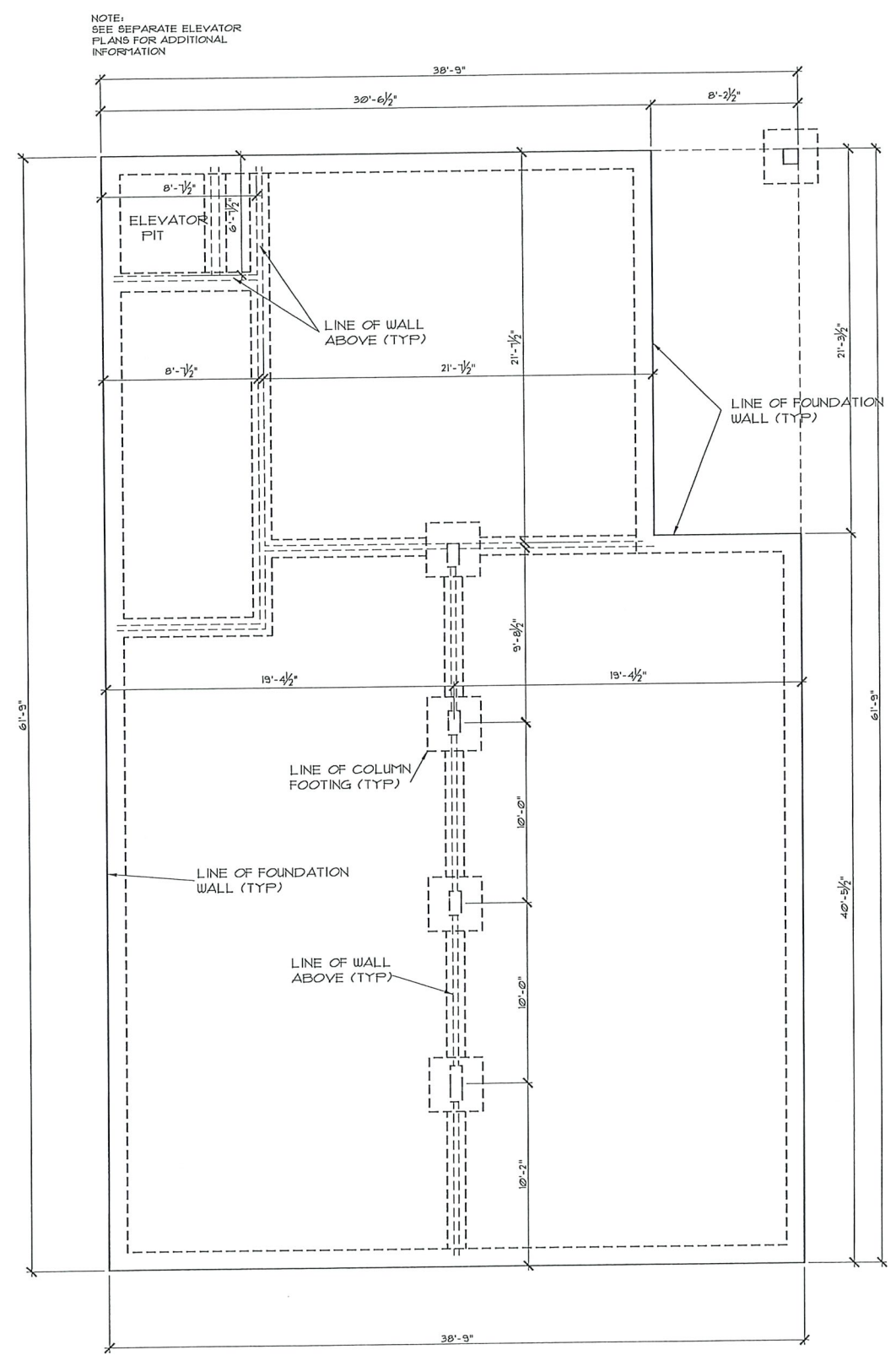
MIXED USE RESIDENTIAL

901 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

FLOOR PLANS
ISSUE FOR PERMIT SET

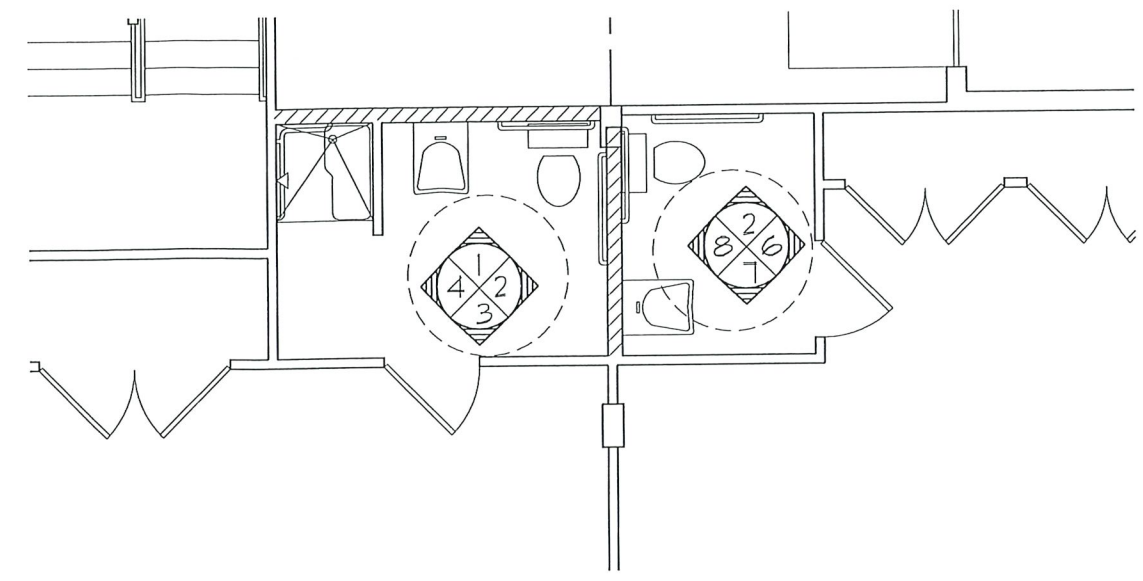
PROJ. NO.	21-103
DRAWN BY:	J. REIS
DATE:	01/06/2023
SCALE:	AS NOTED
DWG. NO.	A-103

A-103

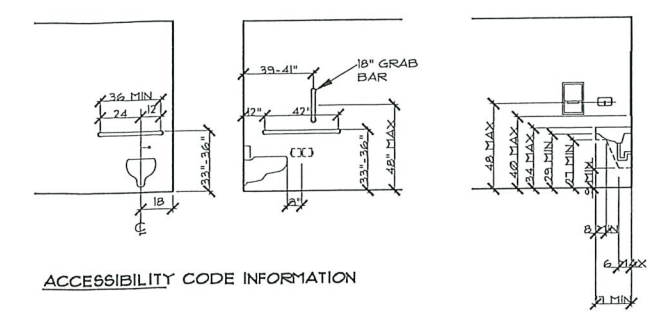
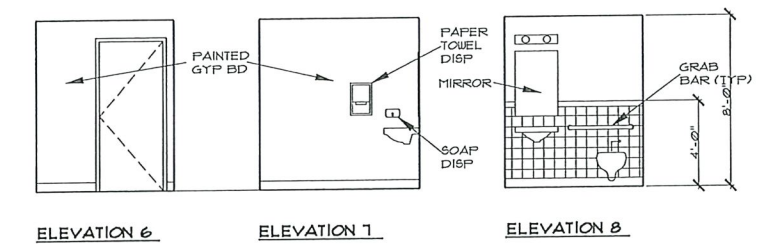
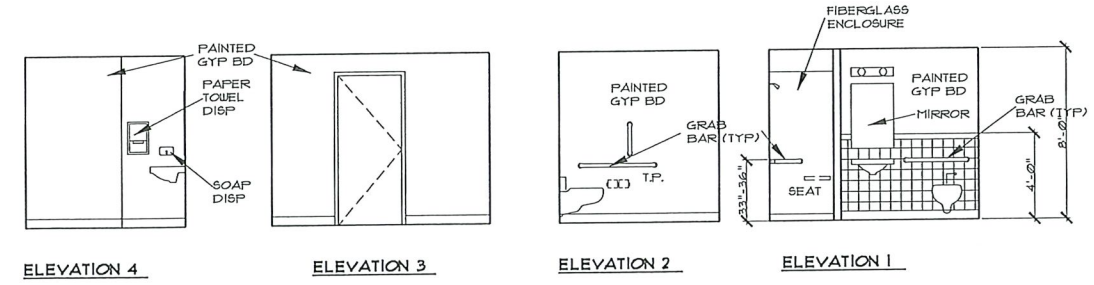


1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

NOTE:
REFER TO STRUCTURAL DRAWINGS
FOR DETAILS AND OTHER INFORMATION



2 ENLARGED PLAN
SCALE: 3/8"=1'-0"



COPYRIGHT: 2023 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (O)



CONSULTANTS:

OWNER

NO.	DATE	DESCRIPTION
REVISIONS		
JOB:		

MIXED USE RESIDENTIAL

901 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

FLOOR PLANS
ISSUE FOR PERMIT SET

PROJ. NO. 21-103

DRAWN BY: J. REIS

DATE: 01/06/2023

SCALE: AS NOTED

DUG. NO. _____

A-104



NOTE:
REFER TO STRUCTURAL DRAWINGS
FOR DETAILS AND OTHER INFORMATION



NOTE:
ALL EXTERIOR DOORS AND WINDOWS
TO BE SIMILAR TO CWS WINDPACT PLUS,
SERIES 8900 (DOORS) AND SERIES
6500 (DH WINDOWS) AND 8400 (CASEMENT).

JOSE A. REIS
FL. AR-93609

REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (D)



CONSULTANTS:

OWNER:

NO.	DATE	DESCRIPTION

MIXED USE RESIDENTIAL

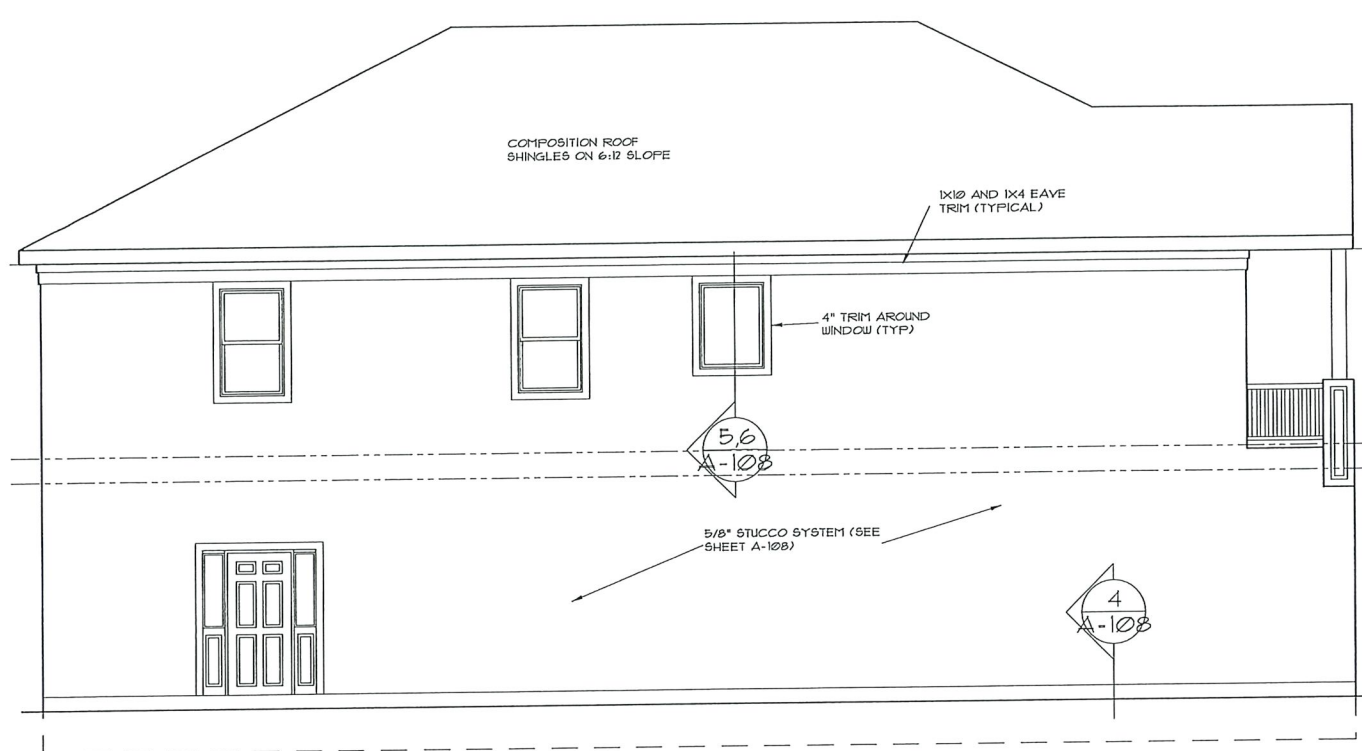
901 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

ELEVATIONS
ISSUE FOR PERMIT SET

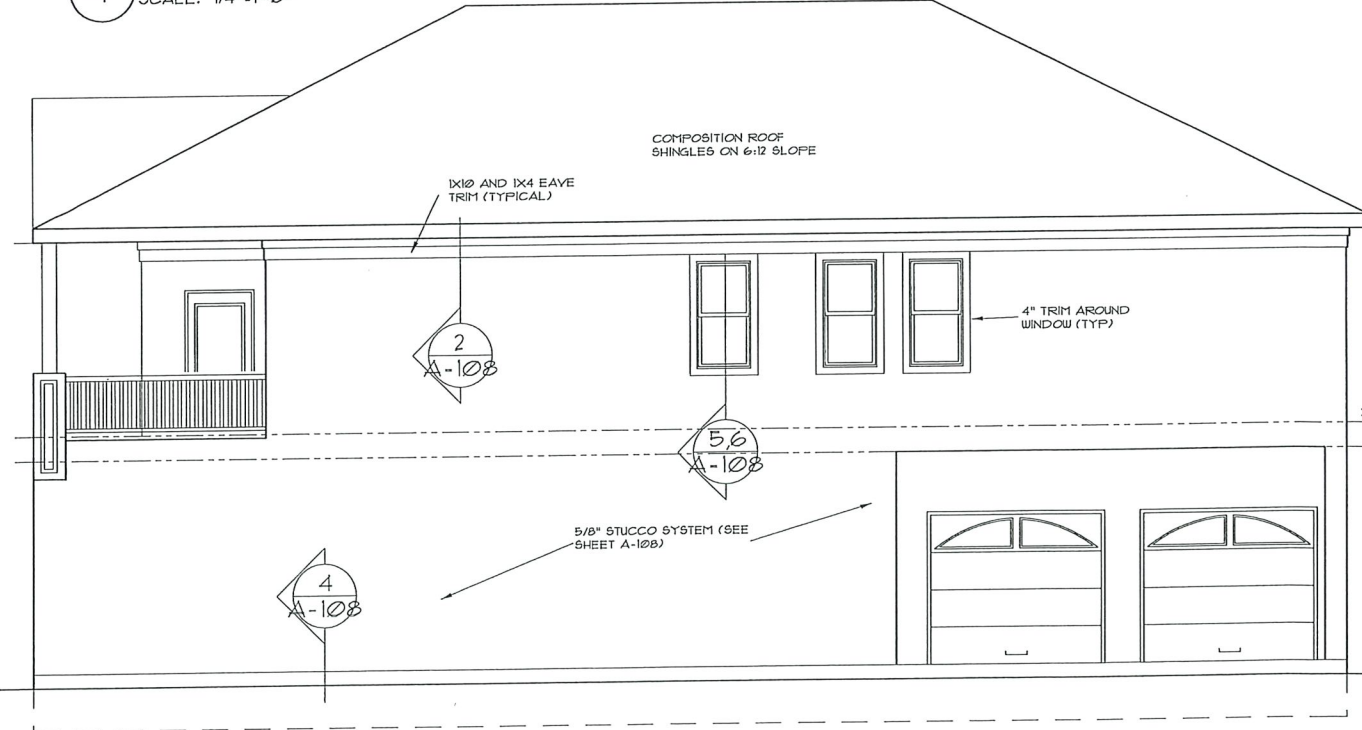
PROJ. NO.	21-103
DRAWN BY:	J. REIS
DATE:	01/06/2023
SCALE:	AS NOTED
DWG. NO.	

A-105

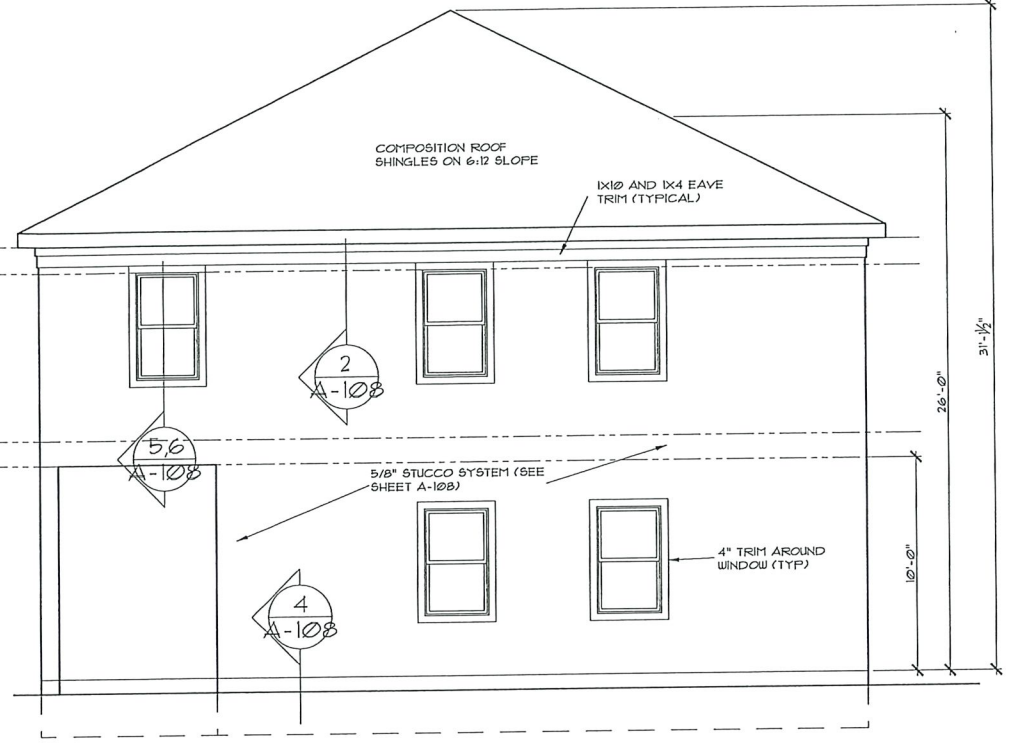
COPYRIGHT: 2023 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION



4 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



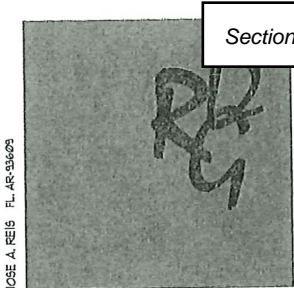
3 NORTH ELEVATION
SCALE: 1/4"=1'-0"



2 WEST ELEVATION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION
SCALE: 1/4"=1'-0"



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (O)



CONSULTANTS:

OWNER:

COPYRIGHT: 2009 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION.

NO.	DATE	DESCRIPTION

MIXED USE RESIDENTIAL

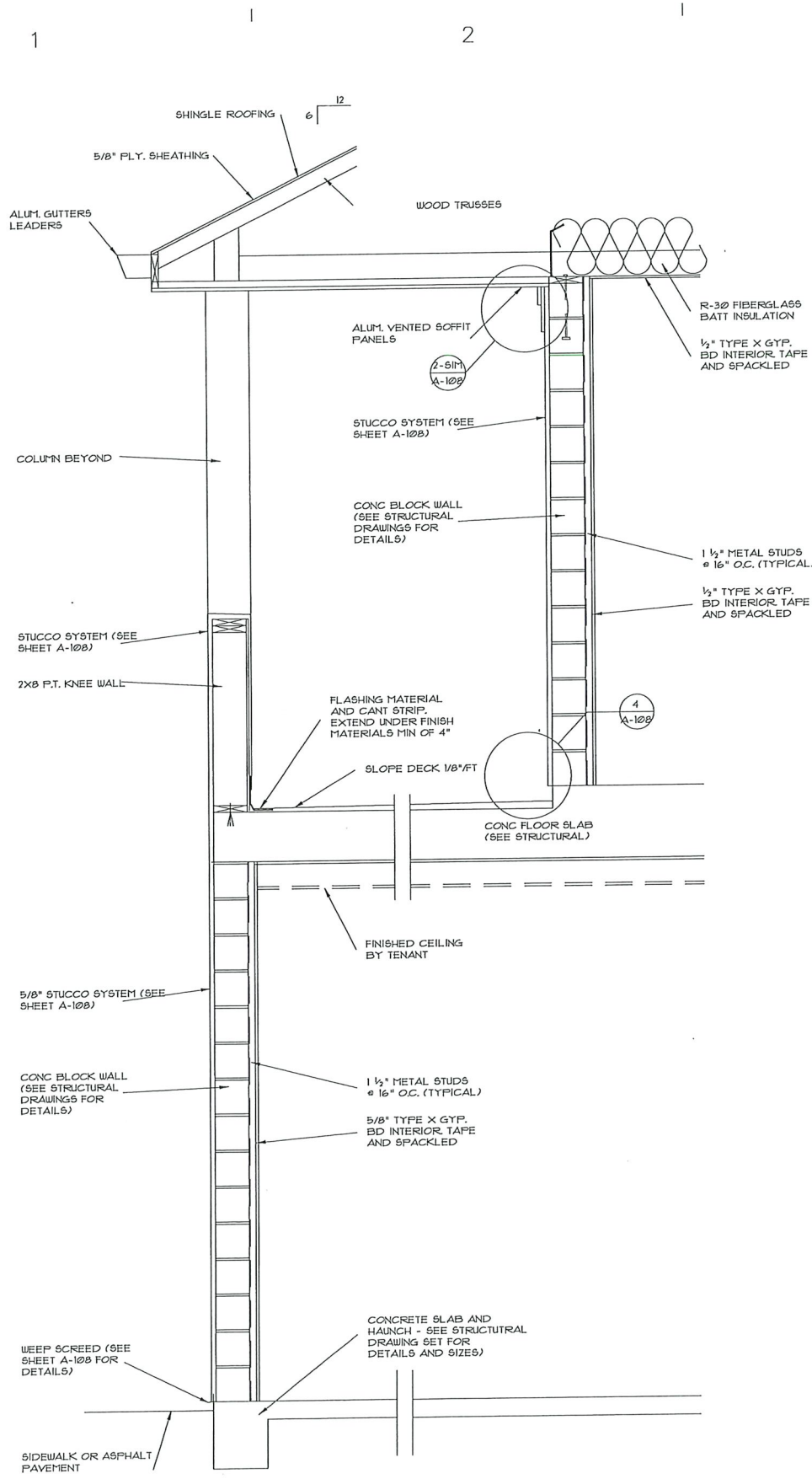
901 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

ELEVATIONS

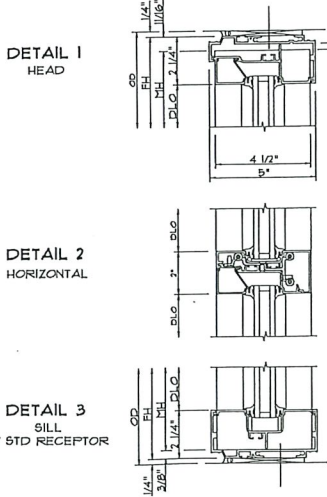
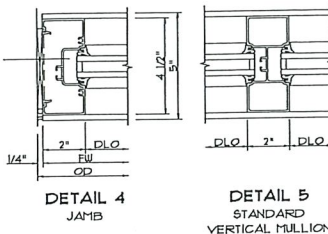
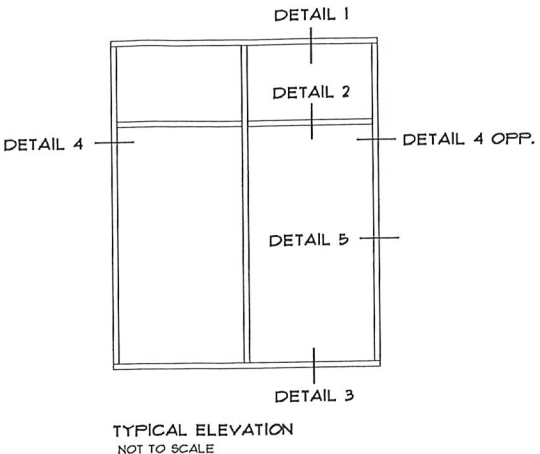
ISSUE FOR PERMIT SET

PROJ. NO.	21-103
DRAWN BY:	J. REIS
DATE:	01/06/2023
SCALE:	AS NOTED
DWG. NO.	

A-106

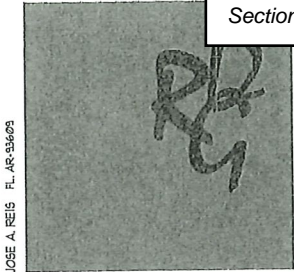


1 WALL SECTION
SCALE: 3/4"=1'-0"



NOTE:
DETAILS ARE FOR KAWNEER
451T SYSTEM. SIMILAR SYSTEMS
ARE ACCEPTABLE

2 STOREFRONT DETAILS
SCALE: N.T.S.



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (O)



CONSULTANTS:

OWNER:

NO.	DATE	DESCRIPTION
REVISIONS		
JOB:		

MIXED USE RESIDENTIAL

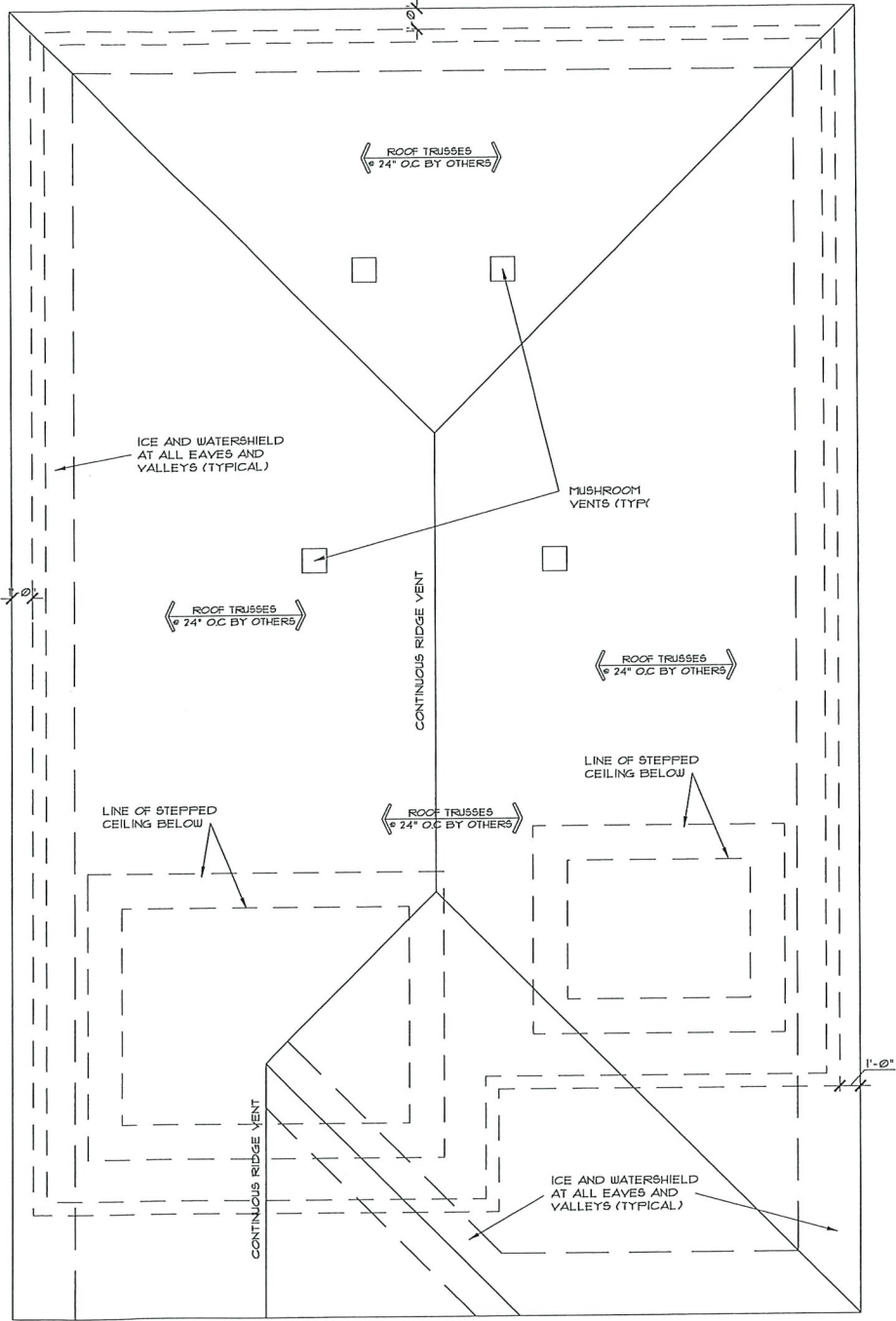
901 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

ROOF PLAN
ISSUE FOR PERMIT SET

PROJ. NO.	21-103
DRAWN BY:	J. REIS
DATE:	6/10/2023
SCALE:	AS NOTED
DWG. NO.	

A-107

COPYRIGHT: 2023 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION



NOTE:
REFER TO STRUCTURAL DRAWINGS
FOR DETAILS AND OTHER INFORMATION

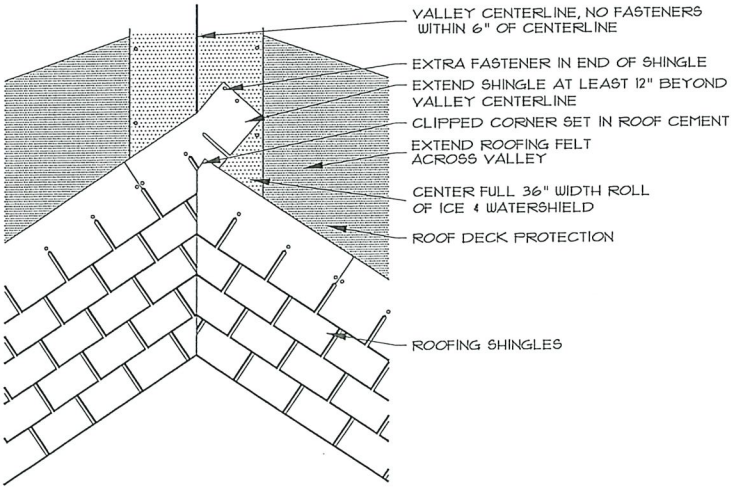
1 ROOF PLAN
SCALE: 1/4"=1'-0"

MAIN ROOF VENTILATION CALCS

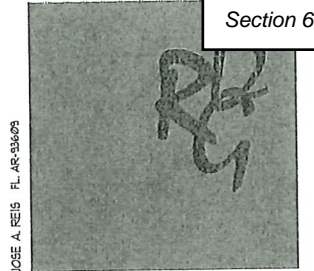
2298 SF ROOF AREA (330,891 SQ IN)
1/300 = 1,103 SQ IN

VENTILATION PROVIDED
170 LF OF SOFFIT VENT (1,188 SQ IN)
98 PERCENT OF LOW VENTILATION
26 LF OF RIDGE VENT (416 SQ IN)
4 MUSHROOM VENTS (244 SQ IN)
60 PERCENT OF HIGH VENTILATION

SOFFIT VENT = 6.40 SQ. IN. / LIN FT
RIDGE VENT = 16.0 SQ. IN. / LIN FT
MUSHROOM VENT = 61 SQ. IN.



2 VALLEY DETAIL
SCALE: 1/4"=1'-0"



REIS DESIGN GROUP, LLC

41 THIRD STREET
RUMSON, NJ 07760
732-241-2223 (D)



CONSULTANTS:

OWNER:

NO. DATE DESCRIPTION
REVISIONS
JOB:

MIXED USE RESIDENTIAL

101 NORTH OCEAN SHORE BLVD, FLAGLER BEACH, FL

STUCCO DETAILS
ISSUE FOR PERMIT SET

PROJ. NO. 21-103

DRAWN BY: J. REIS

DATE: 01/06/2023

SCALE: AS NOTED

DWG. NO.

A-108

NOTES:
DETAILS ARE FOR STO STUCCO
SYSTEM. OTHER SIMILAR
PRODUCTS ARE ACCEPTABLE.

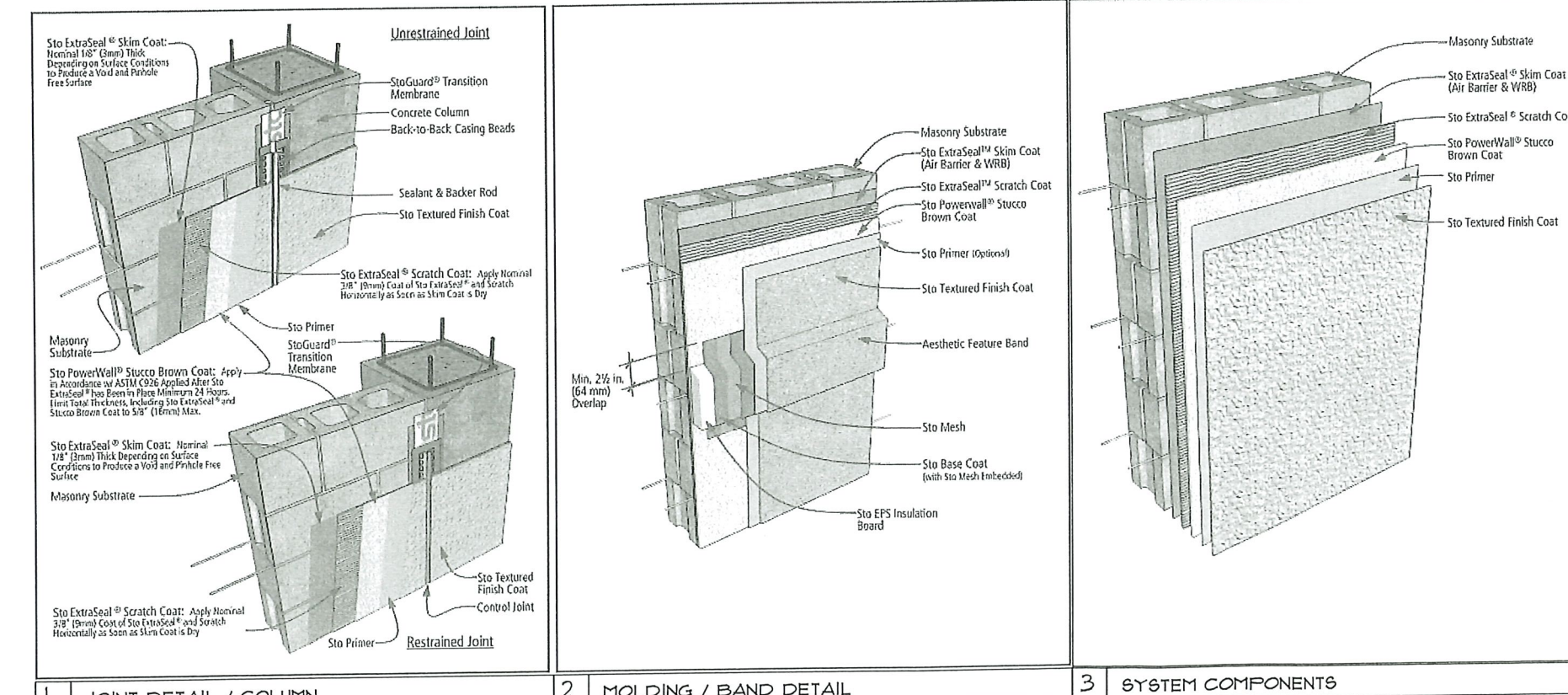
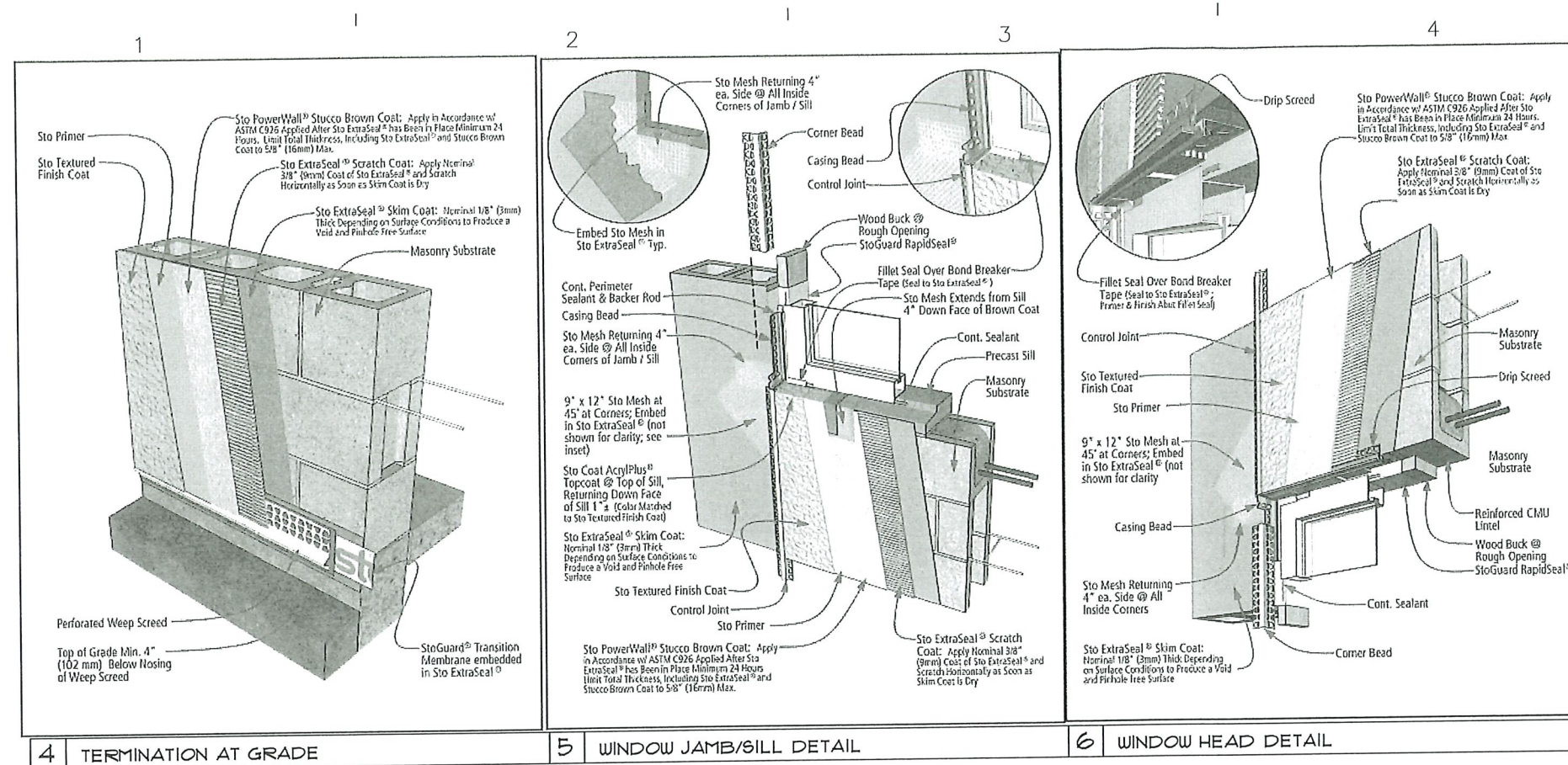
COPYRIGHT: 2009 REIS DESIGN GROUP, LLC. THIS DOCUMENT IS THE SOLE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT AUTHORIZATION

D

C

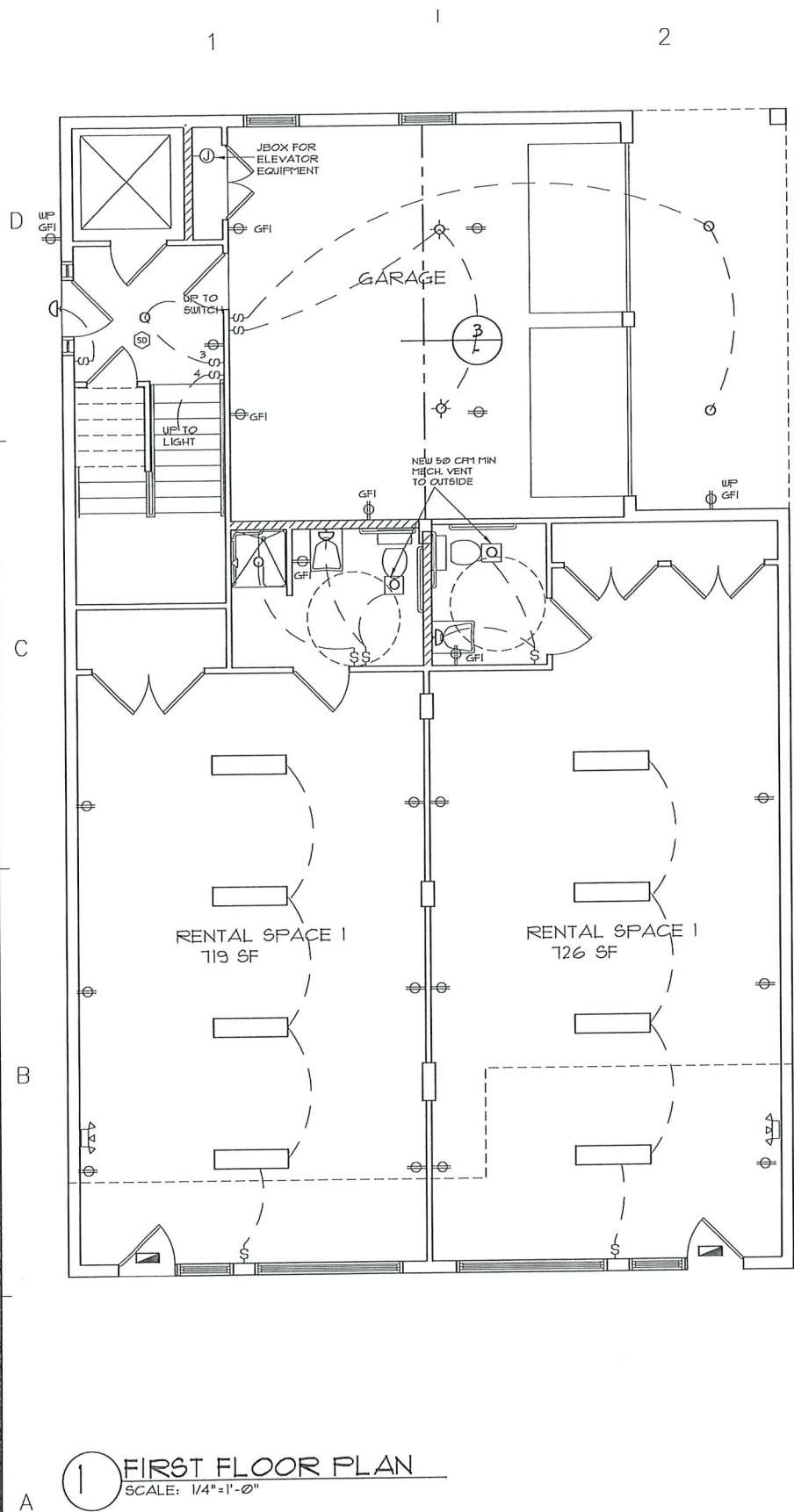
B

A



Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.



DESIGN CRITERIA

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
- FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION (2020)
- ASCE/SEI 7-16 "MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES"
- ASCE 24-14 "FLOOD RESISTANT DESIGN AND CONSTRUCTION"

WIND ($C_d = 1.60$)	135(ULT)/ 105(ASD)
WIND SPEED (MPH)	D
EXPOSURE CATEGORY	D
ENCLOSURE CLASSIFICATION	ENCLOSED
OCCUPANCY	RESIDENTIAL
RISK CATEGORY	II
WIND BOURNE DEBRIS	YES

SNOW ($C_d = 1.15$)	
GROUND SNOW LOAD (p_g)	0 psf

SEISMIC ($C_d = 1.60$)	II
RISK CATEGORY	B
SEISMIC DESIGN CATEGORY (SDC)	D
SITE CLASS	

RAIN LOAD DATA	
RAIN INTENSITY, i (IN/HR)	4.5

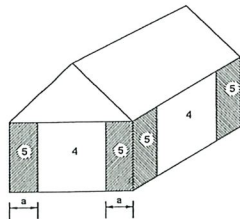
<u>FLOOR LOADING ($C_d = 1.00$)</u>		
	<u>LIVE LOAD</u>	<u>DEAD LOAD</u>
BALCONIES/DECKS	60 psf	90 psf
ALL OTHER AREAS	40 psf	115 psf

ROOF LOADING ($C_d = 1.25$)				
	TC LL	TC DL	BC LL	BC DL
SHINGLE/METAL	20 psf	7 psf	10 psf	5 psf
TILE	20 psf	15 psf	10 psf	5 psf
* BC LL NON-CONCURRENT W/ OTHER LL's. INCREASE BC LL TO 20psf IN ATTIC AREAS W/ STORAGE				

DEFLECTION CRITERIA

FLOOR:	LL	L/360
	TL	L/240
ROOF:	LL	L/240
	TL	L/180
WALLS:	WIND	L/360 (STUCCO)
	WIND	L/240 (BRITTLE)
	WIND	L/180 (FLEXIBLE)

C&C DESIGN PRESSURES (ASD)					
LOCATION	AREA (SF)	INTERIOR ZONE 4 (psf)		END ZONE 5 (psf)	
WALLS, WINDOWS, & DOORS	10	+32.38	-35.12	+32.38	-43.35
	20	+30.92	-33.66	+30.92	-40.43
	50	+28.99	-31.73	+28.99	-36.58
	100	+27.53	-30.27	+27.53	-33.66
	200	+26.07	-28.82	+26.07	-30.74
16FT GARAGE DOOR	1000	+24.14	-26.89	+24.14	-26.89
SOFFITS		+32.38	-35.12	+32.38	-43.35
ALLOWABLE PRESSURES (ASD)=0.6*ULT					a=4FT



WALL ZONES (GENERIC BUILDING SHOWN)

GENERAL NOTES

CONCRETE

- ALL CONCRETE HAS BEEN DESIGNED IN ACCORDANCE WITH ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY" (2014)
- MIXING AND DELIVERY OF CONCRETE SHALL COMPLY WITH ACI 318, ACI 301, AND ASTM C94. CONCRETE SLUMP NOT TO EXCEED 6" IN ACCORDANCE WITH ASTM C143
- CONCRETE SHALL MEET THE MIN COMPRESSIVE STRENGTH (f_c) AT 28 DAYS AS FOLLOWS:
 - SLABS ON GROUND AND FOOTINGS $f_c = 2,500$ psi
 - STRUCTURAL WALLS, BEAMS, AND COLUMNS $f_c = 3,000$ psi
- STEEL REINFORCING FOR FOOTINGS SHALL COMPLY WITH ASTM A615 DEFORMED BARS AND HAVE A MIN YIELD STRENGTH OF 40,000 psi (GRADE 40)
- SEE FOUNDATION PLAN AND DETAILS FOR ALL ADDITIONAL CONCRETE AND REINF REQUIREMENTS AND SPECIFICATIONS
- SLABS ON GROUND SHALL BE REINFORCED PER ONE OF THE FOLLOWING METHODS:
 - 6x6 W1.4xW1.4 WWF SHALL PLACED IN THE MIDDLE TO UPPER THIRD OF THE SLAB, SUPPORTED AT A MAX 3FT SPACING, AND SHALL CONFORM TO ASTM A1064/A1064M. EDGES SHALL BE LAPPED A MINIMUM OF 8"
 - SYNTHETIC FIBER REINFORCEMENT - FIBER LENGTH BETWEEN $\frac{1}{2}$ "-2 $\frac{1}{4}$ ". DOSAGE AMOUNTS SHALL BE 0.75-3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SHALL COMPLY W/ ASTM C116

SOILS

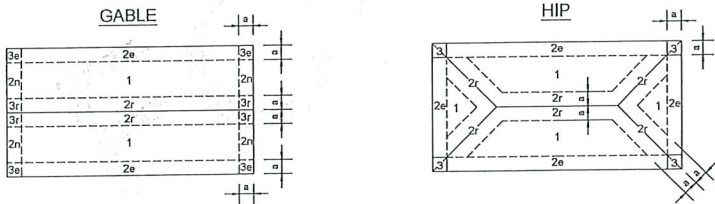
- ALL SLABS ON GROUND AND FOOTINGS HAVE BEEN DESIGNED ASSUMING NON-EXPANSIVE SOIL WITH A MIN ALLOWABLE SOIL CAPACITY OF 2,000 psf
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A SOILS INVESTIGATION REPORT FROM A LICENSED GEOTECHNICAL ENGINEER AND SHALL NOTIFY EOR IF ANY SOIL CONDITIONS DIFFER FROM THE ASSUMPTIONS STATED ON THIS PLAN SET
- FDN'S SHALL BE FULLY SUPPORTED BY UNDISTURBED NATURAL SOILS OR STRUCTURAL COMPACTED FILL FREE OF ORGANICS, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.
- STRUCTURAL COMPACTED FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. ALL FILL GREATER THAN 12" IN DEPTH SHALL BE INSPECTED FOR PROPER COMPACTION PRIOR TO CONCRETE POUR IN ACCORDANCE WITH ASTM D1557
- SOILS SHALL BE TREATED FOR SUBTERRANEAN TERMITES OR BY OTHER CODE APPROVED TERMITE PREVENTION METHOD AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SLABS ON GROUND SHALL BE PLACED OVER A MIN 6-MIL (0.006") POLYETHYLENE VAPOR RETARDER, ALL JOINTS SHALL BE LAPPED A MINIMUM OF 6"

MASONRY

- ALL MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE CONSTRUCTED IN ACCORDANCE TO TMS 402 (2016)
- ALL CMU SHALL CONFORM TO ASTM C90 AND BE NORMAL WEIGHT W/ MIN COMPRESSIVE STRENGTH OF 2,000 psi ($f_m = 1,500$ psi)
- ALL MASONRY SHALL BE LAID IN RUNNING BOND PATTERN W/ FULL MORTAR BEDS
- MORTAR SHALL CONFORM TO ASTM C270 AND SHALL BE TYPE M OR TYPE S WITH MIN COMPRESSIVE STRENGTH OF 2,000 psi AT 28 DAYS.
- ALL GROUT USED IN MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASTM C476. GROUT SHALL HAVE THE MIN COMPRESSIVE STRENGTH OF 2,000 psi AT 28 DAYS. GROUT SLUMP SHALL BE BETWEEN 8"-11"
- STEEL REINFORCING FOR MASONRY SHALL COMPLY WITH ASTM 615 DEFORMED BARS AND HAVE A MINIMUM YIELD STRENGTH OF 40,000 psi (GRADE 40)
- ALL MASONRY STEMWALL FOUNDATIONS AND WALL CELLS CONTAINING VERTICAL REINF SHALL BE GROUT FILLED SOLID
- PRE-CAST LINTELS SHALL BE PROVIDED ABOVE ALL OPENINGS, TEMPORARY SHORING SHALL BE PROVIDED BY CONTRACTOR FOR ALL LINTEL SPANS 6FT OR GREATER

WOOD FRAMING

- ALL WOOD AND WOOD-BASED PRODUCTS HAS BEEN DESIGNED IN ACCORDANCE WITH NDS FOR WOOD CONSTRUCTION AND NDS SUPPLEMENT (2018)
- ALL STRUCTURAL SAWN LUMBER AND ENGINEERED WOOD PRODUCT SHALL BE IDENTIFIED BY GRADE MARK OF AN ACCREDITED LUMBER GRADING OR INSPECTION AGENCY
- ALL STRUCTURAL WOOD OR WOOD-BASED MEMBERS IN CONTACT WITH SOIL, CONCRETE, MASONRY, OR EXPOSED TO WEATHER SHALL BE PT ACCORDING TO AWPA U1 AND/OR AWPA M4, BASED ON INTENDED USE.
- REFERENCE FBC2304.10.1 FOR CODE PRESCRIBED CONNECTIONS. ALL FRAMING CONNECTIONS SPECIFIED ON PLAN ARE IN ADDITION TO THESE MIN CODE REQUIREMENTS



ROOF ZONES (GENERIC BUILDING SHOWN)

GABLE ROOF-C&C DESIGN PRESSURES (ASD)							
LOCATION	AREA (SF)	POSITIVE (ALL ZONES)	ZONE 1 & 2e (psf)	ZONE 2n (psf)	ZONE 2r (psf)	ZONE 3e (psf)	ZONE 3r (psf)
ROOF	0-10	+19.63	-46.09	-73.53	-73.53	-73.53	-85.80
	11-20	+17.69	-46.09	-64.40	-64.40	-64.40	-72.24
	21-50	+15.11	-39.60	-52.33	-52.33	-52.33	-54.33
	51+	+13.17	-57.80	-72.01	-72.01	-72.01	-90.54
OVERHANGS	0-10	--	-59.81	-87.25	-87.25	-103.71	-117.94
	11-20	--	-59.81	-81.63	-81.63	-90.37	-105.87
	21-50	--	-58.06	-74.21	-74.21	-72.73	-89.92
	50+	--	-56.73	-68.59	-68.59	-59.39	-77.85
ALLOWABLE PRESSURES (ASD)=0.6*ULT							a=4FT

HIP ROOF-C&C DESIGN PRESSURES (ASD)						
LOCATION	AREA (SF)	POSITIVE (ALL ZONES)	ZONE 1 (psf)	ZONE 2e (psf)	ZONE 2r (psf)	ZONE 3 (psf)
ROOF	0-10	+24.14	-43.35	-59.81	-59.81	-59.81
	11-20	+20.84	-38.40	-53.46	-53.46	-53.46
	21-50	+16.47	-31.84	-45.07	-45.07	-45.07
	51+	+13.17	-26.89	-38.72	-38.72	-38.72
OVERHANGS	0-10	--	-56.78	-72.07	-72.07	-86.30
	11-20	--	-56.21	-69.24	-69.24	-77.00
	21-50	--	-55.46	-65.49	-65.49	-64.70
	50+	--	-54.89	-62.65	-62.65	-55.40
ALLOWABLE PRESSURES (ASD)=0.6*ULT						a=4FT

PRE-ENGINEERED WOOD TRUSSES

- ALL PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TPI 1 (2014)
- ALL TRUSSES SHALL BE PREPARED BY A DELEGATED LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND SHALL MEET OR EXCEED THE MIN DESIGN CRITERIA SPECIFIED ON THESE PLANS
- ALL TRUSS-TO-TRUSS, MULTI-PLY TRUSS CONNECTIONS, AND BEAMS PROVIDED WITHIN THE ROOF AND/OR FLOOR SYSTEM ARE THE RESPONSIBILITY OF THE DELEGATED TRUSS ENGINEER AND SHALL BE SUBMITTED FOR APPROVAL TO THE EOR PRIOR TO FABRICATION
- TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH THE SBCA BCSEI "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES"
- ALL TRUSS UPLIFT REACTIONS & UPLIFT CONNECTORS REQ HAVE BEEN CALCULATED BY THE EOR, CONNECTORS SPECIFIED ON THIS PLAN SET SUPERCEDE CONNECTORS & UPLIFTS SHOWN ON TRUSS MANUFACTURER'S SHOP DRAWINGS
- CONTACT EOR IF TRUSS CONSTRUCTION DOCUMENTS PROVIDED BY TRUSS MANUFACTURER DIFFERS FROM THE LAYOUT SHOWN ON THIS PLAN SET

ROOF, FLOOR, & WALL SHEATHING

- ALL WOOD STRUCTURAL PANEL SHEATHING SHALL CONFORM TO DOC PS 1 OR DOC PS 2
- PANELS SHALL BE IDENTIFIED FOR GRADE, BOND CLASSIFICATION, AND PERFORMANCE CATEGORY BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY
- SEE FRAMING NOTES FOR SHEATHING THICKNESS, SPAN RATING, FASTENING, AND BLOCKING REQUIREMENTS
- ALL SHEATHING SHALL BE INSTALLED WITH LONG DIMENSION (STRENGTH AXIS) PERPENDICULAR TO SUPPORTS UNO ON PLAN

WATERPROOFING

- DESIGN AND INSTALLATION OF ALL WATERPROOFING, FLASHING, AND ROOF/WALL COVERING ASSEMBLIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ARCHITECT OF RECORD.

NAIL SIZES		
SPECIFICATION	DIAMETER (\emptyset)	LENGTH
8d COMMON	0.131"	2 $\frac{1}{2}$ "
RSRS-01	0.113"	2 $\frac{3}{8}$ "
RSRS-03	0.131"	2 $\frac{1}{2}$ "
10d x 1 $\frac{1}{2}$ "	0.148"	1 $\frac{1}{2}$ "
10d	0.131"	3"
10d COMMON	0.148"	3"
16d SINKER	0.148"	3 $\frac{1}{2}$ "
16d COMMON	0.162"	3 $\frac{1}{2}$ "

NOTE: ALL CONNECTIONS ON PLAN SHALL BE W/ 10d, UNO

METAL CONNECTOR SCHEDULE				
SIMPSON	USP	QUICK-TIE	CONNECTION AT MEMBER	ANCHORAGE
H2.5T	RT7	HA6	(5) 8d x 1 $\frac{1}{2}$ " EACH END	--
H8	RT8A	HA8	(5) 10d x 1 $\frac{1}{2}$ " EACH END	--
MTS12	MTW12	CSMTS12	(7) 10d x 1 $\frac{1}{2}$ " EACH END	--
HTS20	HTW20	CSHTS20	(11) 10d x 1 $\frac{1}{2}$ " EACH END	--
LGT3-SDS2.5	LUGT3	CSLGT3	(12) $\frac{1}{4}$ "x2 $\frac{1}{2}$ " SDS (WS25) TO GIRDER	(26) 16d SINKERS TO STUDS
LGT4-SDS3	LUGT4	CSLGT4	(16) $\frac{1}{4}$ "x3" SDS (WS3) TO GIRDER	(30) 16d SINKERS TO STUDS
MSTA24	MSTA24	CSMS24	(9) 10d COMMON EACH END	--
MSTA36	MSTA36	CSMS36	(13) 10d COMMON EACH END	--
CS18	CS20	CS18-200	(9) 10d COMMON EACH END	--
DTT2Z	DTB-TZ	HDTT	(8) $\frac{1}{4}$ " x 1 $\frac{1}{2}$ " WOOD SCREWS	$\frac{1}{2}$ " \emptyset x 4 $\frac{1}{2}$ " SCREW ANCHOR OR EMBED
HTT4	HTT45	HDTT45	(18) 16d x 2 $\frac{1}{2}$ "	$\frac{5}{8}$ " \emptyset ANCHOR W/ 6" EMBED
HTT5	HTT45	HDTT45	(26) 16d x 2 $\frac{1}{2}$ "	$\frac{5}{8}$ " \emptyset ANCHOR W/ 6" EMBED
ABU44Z	PAU44	PBA44	(12) 16d COMMON	$\frac{5}{8}$ " \emptyset ANCHOR W/ 7" EMBED
ABU66Z	PAU66	PBA66	(12) 16d COMMON	$\frac{5}{8}$ " \emptyset ANCHOR W/ 7" EMBED

NOTES:

- ALL CONNECTORS SPECIFIED PER SIMPSON STRONG-TIE "WOOD CONSTRUCTION CONNECTORS" CATALOG (2021-2023), USP "STRUCTURAL CONNECTORS," 60TH EDITION (2022), & QUICK-TIE "PRODUCT CATALOG" (FALL 2021)
- ALL CONNECTORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- ANY CONNECTORS NOT SPECIFIED IN TABLE ABOVE, SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS
- POSITIVE PLACEMENT GUN NAILS W/ EQUAL DIAMETER & MIN 2 $\frac{1}{2}$ " LONG MAY BE USED ILO COMMON NAILS ON CS18 STRAPS, MSTA STRAPS, AND ABU POST BASE ANCHORS
- PLAN SPECIFIED CONNECTORS MAY BE SUBSTITUTED W/ EQUAL OR GREATER ALTERNATIVE AS DETERMINED BY PRODUCT MANUFACTURER
- ALL POST-INSTALLED AND EMBED ANCHORS IN CONCRETE SHALL BE INSTALLED W/ SIMPSON SET-XP, AT-XP, QUICK-TIE QE-1, OR EQUIVALENT
- FASTENERS, CONNECTORS, AND ACCESSORIES IN CONTACT WITH PT WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL OR STAINLESS STEEL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
- IF FOR EXTERIOR USE OR WITH ACQ/CA/MCA TREATED WOOD, CONNECTORS & FASTENERS SHALL BE HOT-DIPPED GALVANIZED, G-185 (Z-MAX), OR STAINLESS STEEL

SHEET INDEX

S0.0	GENERAL NOTES
S0.1	PILE LAYOUT
S0.2	FOUNDATION PLAN
SD.0	FOUNDATION DETAILS
S1.0	1ST LEVEL FRAMING
S1.1	1ST LEVEL ROOF/FLOOR
S2.0	2ND LEVEL FRAMING
S2.1	2ND LEVEL ROOF
SD.1	DETAILS
SD.2	DETAILS

ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE
ADDT	ADDITIONAL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APA	THE ENGINEERED WOOD ASSOCIATION
ARCH	ARCHITECTURAL DRAWINGS
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASD	ALLOWABLE STRESS DESIGN
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ATR	ALL-THREAD ROD
AWPA	AMERICAN WOOD PROTECTION ASSOCIATION
BC	BOTTOM CHORD
BCSI	BUILDING COMPONENT SAFETY INFORMATION
BRG	BEARING
C&C	COMPONENTS & CLADDING
CLG	CEILING
CONC	CONCRETE
C_d	LOAD DURATION FACTOR
CONT	CONTINUOUS
CONV	CONVENTIONAL
CMU	CONCRETE MASONRY UNIT
DBL	DOUBLE
DIAG	DIAGONAL
DL	DEAD LOAD
DOC	DEPARTMENT OF COMMERCE
EOR	ENGINEER OF RECORD
EW	EACH WAY
EWP	ENGINEERED WOOD PRODUCT
f_c	CONCRETE COMPRESSIVE STRENGTH
FBC	FLORIDA BUILDING CODE
FDN	FOUNDATION
FFE	FINISHED FLOOR ELEVATION
f_m	MASONRY COMPRESSIVE STRENGTH
FRC	FLORIDA RESIDENTIAL CODE
FT	FEET
FTG	FOOTING
GC	INTERNAL PRESSURE COEFFICIENT
HDR	HEADER
HGT	HEIGHT
ILO	IN LIEU OF
ksi	KIPS PER SQUARE INCH
LL	LIVE LOAD
LSL	LAMINATED STRAND LUMBER (1.55E- 1 $\frac{3}{4}$ " WIDE PLIES UNO)
LVL	LAMINATED VENEER LUMBER (2.0E- 1 $\frac{3}{4}$ " WIDE PLIES UNO)
MAX	MAXIMUM
MIN	MINIMUM
NDS	NATIONAL DESIGN SPECIFICATION
No.	NUMBER
OC	ON CENTER
OSB	ORIENTED STRAND BOARD
PERP	PERPENDICULAR
PLT	PLATE
psf	POUNDS PER SQUARE FOOT
psi	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REINF	REINFORCEMENT
REQ	REQUIRED
RSRS	ROOF SHEATHING RING SHANK
SBCA	STRUCTURAL BUILDING COMPONENTS ASSOCIATION
SEI	STRUCTURAL ENGINEERING INSTITUTE
SF	SQUARE FEET (AREA)
SIM	SIMILAR TO DETAIL/CALLOUT
SPF	SPRUCE PINE FIR
SW	SHEARWALL
SYP	SOUTHERN YELLOW PINE
TC	TOP CHORD
TL	TOTAL LOAD
TMS	THE MASONRY SOCIETY
TOP	TOP OF PLATE
TOM	TOP OF MASONRY
TPI	TRUSS PLATE INSTITUTE
TYP	TYPICAL
ULT	ULTIMATE
UNO	UNLESS NOTED OTHERWISE
W/	WITH
W/O	WITHOUT
WSP	WOOD STRUCTURAL PANEL
WWF	WELDED WIRE FABRIC

A PLUS HOME IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
S0.0

SHEET NAME

GENERAL
NOTES

REVISIONS

DATE	DESCRIPTION
------	-------------

DESIGNED
BDP

REVIEWED
AKR

Russell Rowland

13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSROW.COM
C.A. No. 32756

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759
SHEET NUMBER
S0.1
SHEET NAME
PILE
LAYOUT
REVISIONS

DATE	DESCRIPTION
DESIGNED	BDP
REVIEWED	AKR

Russell Rowland
13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSROW.COM
C.A. No. 32756

11-21-2022

FOUNDATION NOTES:

SEE CONCRETE AND SOIL GENERAL NOTES SHEET S0.0 FOR ALL ADDITIONAL SPECIFICATIONS. SEE SECTIONS ON SHEET S0.0 FOR FULL FOUNDATION SECTIONS

AUGER CAST PILES

1. MINIMUM COMPRESSIVE STRENGTH $f_{cu} = 5,000 \text{ psi}$ @ 28 DAYS
2. MINIMUM DIAMETER 14" (SEE DETAIL A BELOW)
3. REINFORCED W/:
 - a. (6) No.5 VERTICALS EVENLY SPACED - MIN 3" COVER W/ STD HOOK INTO GRADE BEAMS, TYP
 - b. No.3 CIRCULAR TIES AT MAX 12" OC - TIES TO HAVE MIN 6" LAP W/ STD. HOOK AT EACH END
4. REINF SHALL BE MIN GRADE 40 AND LAPPED AS FOLLOWS:
 - a. No.4 (48) BAR DIAMETERS MIN 24" LAP
 - b. No.5 (48) BAR DIAMETERS MIN 30" LAP

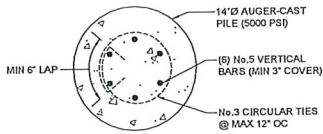
GRADE BEAMS

5. MINIMUM COMPRESSIVE STRENGTH $f_{cu} = 3,000 \text{ psi}$ @ 28 DAYS
6. SEE FOUNDATION DETAILS FOR BEAM THICKNESS, WIDTH AND REINF REQUIREMENTS & TYP DETAILS B & C THIS SHEET & SHEET S0.0
7. REINF SHALL BE MIN GRADE 40 AND LAPPED AS FOLLOWS:
 - a. No.5 (48) BAR DIAMETERS MIN 30" LAP
 - b. No.6 (48) BAR DIAMETERS MIN 36" LAP
8. PROVIDE BENT BARS AT ALL CORNERS TO MATCH CORNER ANGLE, CORNER BARS SHALL EXTEND MIN 25" EACH SIDE
9. SEE SHEET S0.2 FOR ALL MASONRY WALL & PIER REINFORCEMENT REQUIREMENTS. PIER VERTICAL DOWELS TO BE INSTALLED DURING GRADE BEAM POUR.
10. ALL VERTICAL DOWELS TO HAVE STANDARD HOOK AND TIE INTO GRADE BEAM REINF
11. ALL VERTICAL DOWELS SHALL EXTEND MIN 25" OUT OF GRADE BEAM TO LAP W/ PIER VERTICAL REINF

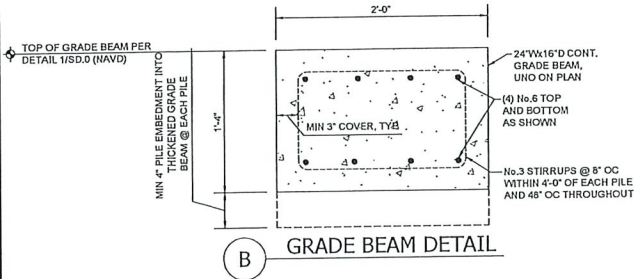
DEEP FOUNDATION DESIGN PER ASCE
24-14 "FLOOD RESISTANT DESIGN AND
CONSTRUCTION"

ALL ELEVATIONS SHOWN
ARE NAVD - UNO ON PLAN

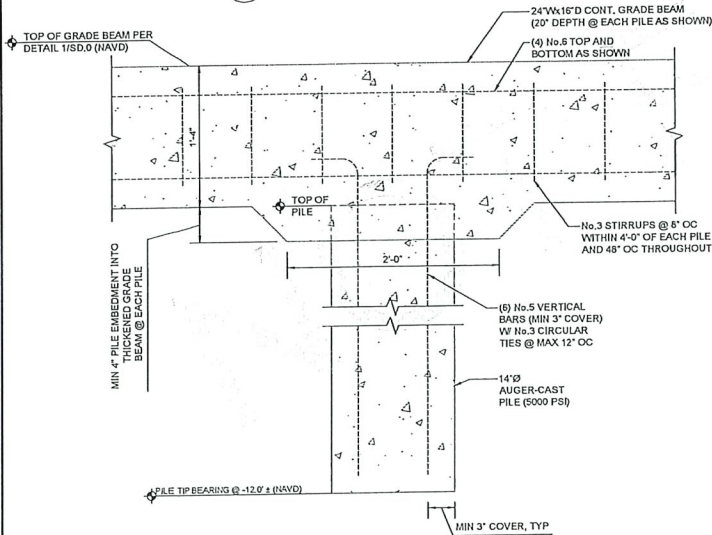
NOTE: FOUNDATION DESIGNED PER GEOTECHNICAL
REPORT BY FLORIDA TESTING & ENGINEERING, INC
DATED 11/14/2022
MAX ASSUMED PILE CAPACITY = 40 TONS



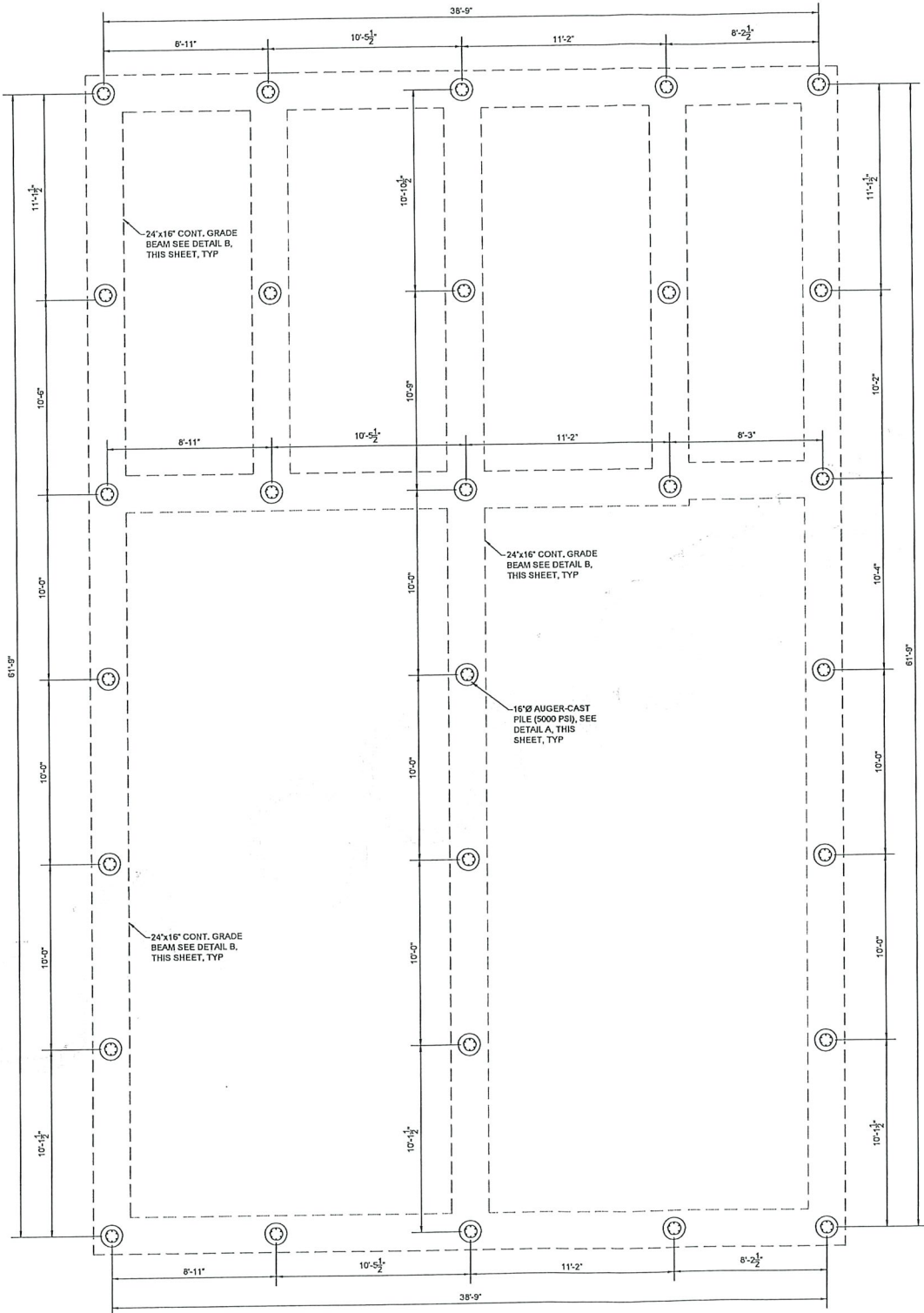
A AUGER-CAST PILE DETAIL



B GRADE BEAM DETAIL



C GRADE BEAM & PILE DETAIL



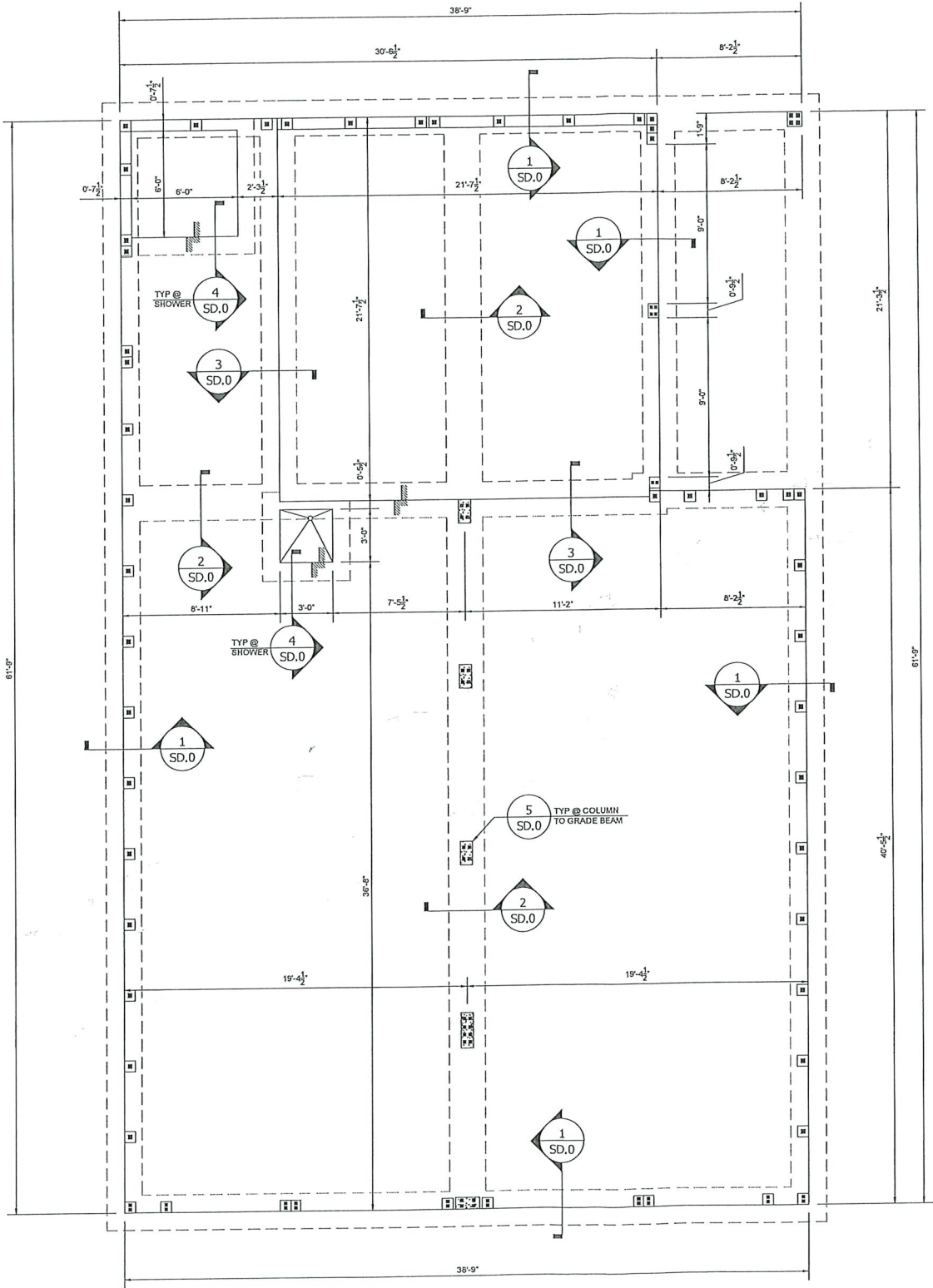
0.1 PILE LAYOUT
Scale: 1/4"=1'-0"

FOUNDATION NOTES:

SEE CONCRETE AND SOIL GENERAL NOTES SHEET S0.0 FOR ALL ADDITIONAL SPECIFICATIONS.

STRUCTURAL SLABS

1. ALL STRUCTURAL SLABS TO BE MIN 3,000 PSI CONCRETE
2. SLABS SHALL BE MIN 8" DEPTH PER PLAN
3. REINFORCEMENT SHALL BE No.6 (GRADE 60) @ 12" OC EACH WAY, UNO ON PLAN AND BE PLACED AT LOWER PORTION OF SLAB, MIN 3" CONCRETE COVER REQUIRED AND SHALL BE LAPPED MIN 36"
4. LONGITUDINAL REINFORCEMENT TO TIE INTO GRADE BEAM W/ STANDARD HOOK @ MAX 24" OC



0.2 FOUNDATION PLAN
Scale: 1/4"=1'-0"

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
S0.2

SHEET NAME
FOUNDATION
PLAN

REVISIONS

DATE	DESCRIPTION

DESIGNED
BDP

REVIEWED
AKR



13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSELLROW.COM
C.A. No. 32756

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
SD.0

SHEET NAME
FOUNDATION
DETAILS

REVISIONS

DATE	DESCRIPTION
------	-------------

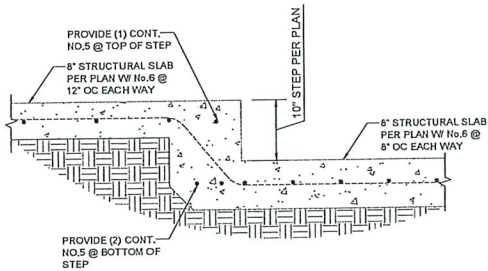
DESIGNED
BDP

REVIEWED
AKR

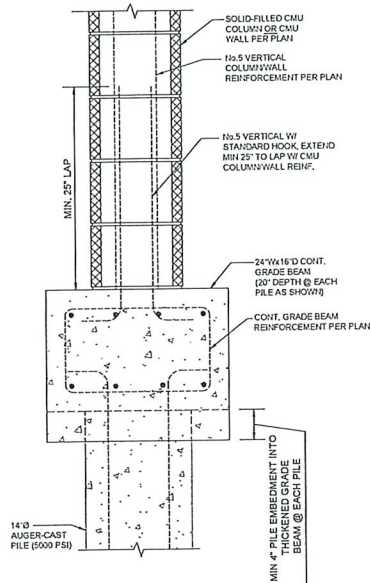


13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32258
P 904-503-3283 RUSSROW.COM
C.A. No. 32756

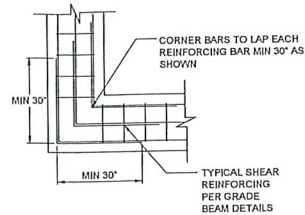
11-21-2022



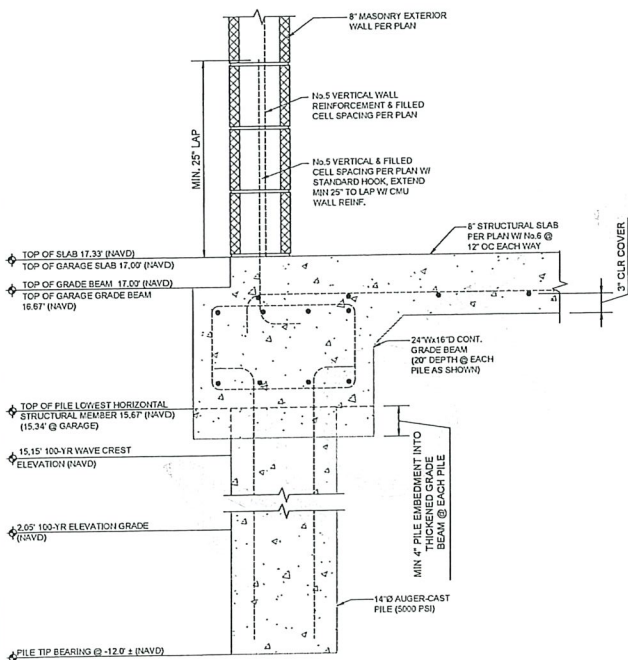
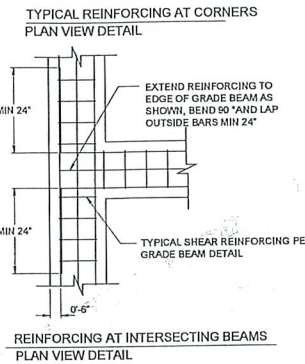
4 STEP IN STRUCTURAL SLAB @ ELEVATOR PIT



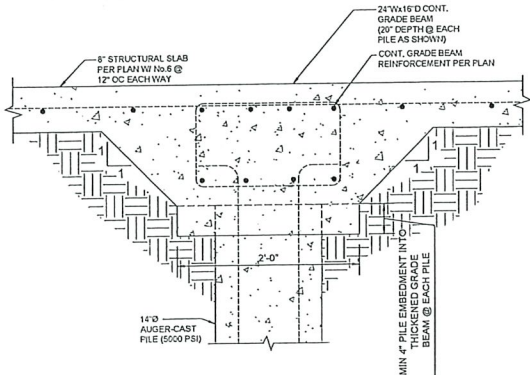
5 TYPICAL GRADE BEAM @ COLUMN/FOUNDATION WALL DETAIL



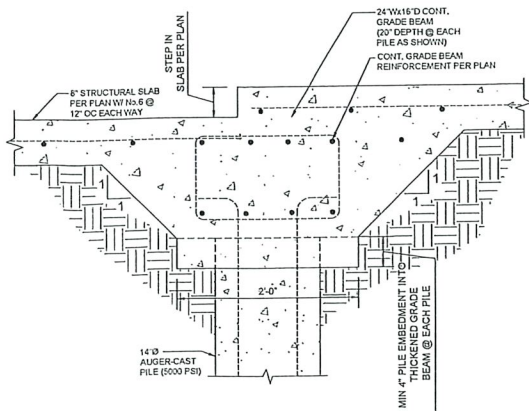
6 GRADE BEAM REINFORCING DETAIL



1 TYPICAL EXTERIOR WALL SECTION @ GARAGE (MULTI-STORY)



2 TYPICAL INTERIOR GRADE BEAM & PILE SECTION



3 TYPICAL INTERIOR GRADE BEAM & PILE SECTION W/ SLAB STEP

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER 21-0759	
SHEET NUMBER S1.0	
SHEET NAME 1st LEVEL FRAMING	
REVISIONS	
DATE	DESCRIPTION
DESIGNED BDP	
REVIEWED AKR	



**Russell
Rowland**

13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSROW.COM
R. ROWLAND, OWNER

87

FRAMING NOTES:

BOTTOM PLATE No.2 SYP (PT @ 1ST LEVEL)

1. 1ST LEVEL BOTTOM PLT TO BE ANCHORED TO SLAB W/ $7/8" \times 6"$ LONG TITEN HD OR $7/8" \times 36(38)$ ATR EPOXY ANCHOR W/ HUT AND 3" SQUARE $\times 0.229"$ WASHER
2. ANCHORS TO BE INSTALLED EACH SIDE OF OPENING (MIN 6" FROM JACKING GROUP), WITHIN 12" OF THE PLT BREAK AND @ MAX 45° C
3. MIN (2) ANCHORS PER PLT SEGMENT
2. 2ND LEVEL BOTTOM PLT TO RIBBON BOARD TOP CHORD BELOW W/ 10d @ 6" OC

DOUBLE TOP PLATE No.2 SYF

5. ALL TOP PLATES TO BE DOUBLED - FASTEN TOP PLATES TOGETHER W/ (2) ROWS 10d @ MAX 12" OC STAGGERED
6. END JOINTS OF DBL TOP PLT TO BE OFFSET MIN 48" AND SPLICED TOGETHER W/ MIN (2) ROWS 10d @ 6" OC STAGGERED, MIN (16) 10d ALONG SPLICE
7. LAP ALL TOP PLT AT CORNERS OF EXTERIOR WALLS AND INTERSECTIONS WITH INTERIOR LOAD BRG WALLS, FASTEN PLATES TOGETHER AT LAP W/ (3) 10d FACE-NAILS

STUDS No.2 SPF OR No.2 SYP

8. ALL LOAD BEARING WALLS TO BE FRAMED W/ 2x STUDS @ MAX 16" OC
9. ALL NON-LOAD BEARING WALLS TO BE FRAMED W/ 2x STUDS @ MAX 24" OC
10. FASTEN ALL STUDS TO TOP AND BOTTOM PLT W/ MIN (4) 10d TOE-NAILS OR (3)
10d FACE-NAILS
11. FASTEN ALL MULTI-STUD GROUPS TOGETHER W/ (2) ROWS 10d @ 12" OC
STAGGERED

MASONRY NOTES:

MASONRY WALLS

1. ALL MASONRY UNITS SHALL BE 8" NOMINAL THICK AND Laid IN RUNNING BOND.
2. PATTERN W/ DOWEL COT. 2#6 N2S 6" SP T/ PATTERN.
3. TOP COURSE MASONRY SHALL BE 12" LONG BEAM W/ $2 \times 2 \times 6"$ LONG TIE HD OR $2 \times 2 \times 6"$ LONG J-HOOK ANCHOR BOLT. J-HOOK ANCHOR BOLTS MAY NOT BE USED @ HOLD-DOWN CONNECTORS
3. ANCHORS TO BE INSTALLED WITHIN 1" OF THE PLT BARE, @ ALL CORNERS & @ MAX 48" OC.
4. MIN (2) ANCHORS PER PLT SEGMENT
2. TOP OF MASONRY WALL SHALL BE FINISHED WITH PLANS, UNO
- (1) COURSE BOND BEAM @ TOP OF ALL WALLS (COT. N6.5, UNO - SEE TYPICAL DETAILS SHEET
7. ALL VERTICAL DOWELS SHALL HAVE A MIN 2" LAP AT ANY PRICE
- VERTICAL REIN. TO BE STANDARD HOOK AND TIE INTO CONCRETE WALL BELOW BOND BEAM HORIZONTAL REINF
9. SEE ARCH PLANS FOR T.O.M. & CONCRETE HEIGHT ELEVATIONS, UNO ON PLAN
10. TOP OF MASONRY WALL SHALL BE INSTALLED ABOVE EACH OPENING, DEPTH PER PLAN - SEE DETAIL SHEETS FOR TYP DETAILS
11. PRECAST MASONRY SILL SHALL BE INSTALLED IN EACH WINDOW OPENING
12. FASTEN FIRST WOOD WALL STUD TO CHU WALL W/ (2) ROYS $K \times 16$ @ 24" T/ CAPS @ 16" OC

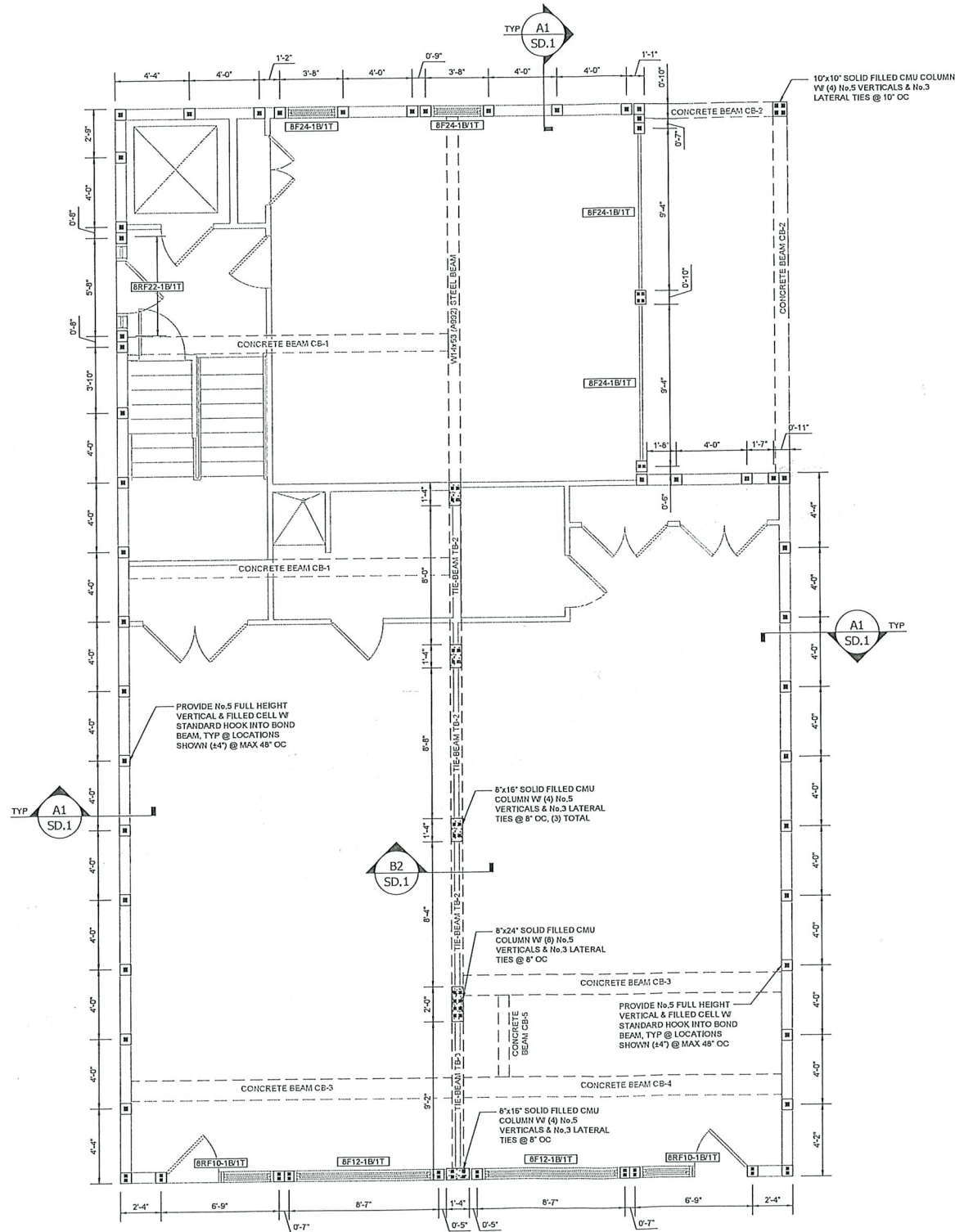
LEGEND & SYMBOLS

HDR/BEAM

LINTEL CALLOUT

_____ LINTEL WIDTH (INCHES)
 _____ F= FILLED, R= RECESSED
 _____ LINTEL DEPTH (INCHES)
 _____ No. OF BOTTOM No. 5 BARS
 _____ No. OF TOP No. 5 BARS

No. 5 VERTICAL REINF. & FILLED CELL



1.0 1ST LEVEL FRAMING PLAN
Scale: 1/4"=1'-0"

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
S1.1

SHEET NAME
1st LEVEL
FLOOR

REVISIONS

DATE	DESCRIPTION

DESIGNED
BDP

REVIEWED
AKR



13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSELLROW.COM
C.A. No. 32796

STRUCTURAL SLAB NOTES:

SEE CONCRETE AND GENERAL NOTES SHEET S0.0 FOR ALL ADDITIONAL SPECIFICATIONS.

STRUCTURAL SLAB

- 1. MINIMUM COMPRESSIVE STRENGTH $f'_{c} = 3,000\text{psi}$ AT 28 DAYS
- 2. MINIMUM THICKNESS 8" (UNO ON PLAN)
- 3. REINFORCED W/ NO. 6 BARS @ 12" OC EACH WAY LOCATED IN BOTTOM PORTION OF SLAB W/ MIN 1/2" COVER. SEE PLAN
- 4. STEEL REINFORCEMENT FOR DECK & CONCRETE BEAMS TO HAVE A MINIMUM YIELD STRENGTH OF 60,000 psi (GRADE 60)
- 5. SEE DETAILS B1, B2, & B4 FOR ALL ADDITIONAL STRUCTURAL SLAB REINF. SPECIFICATIONS

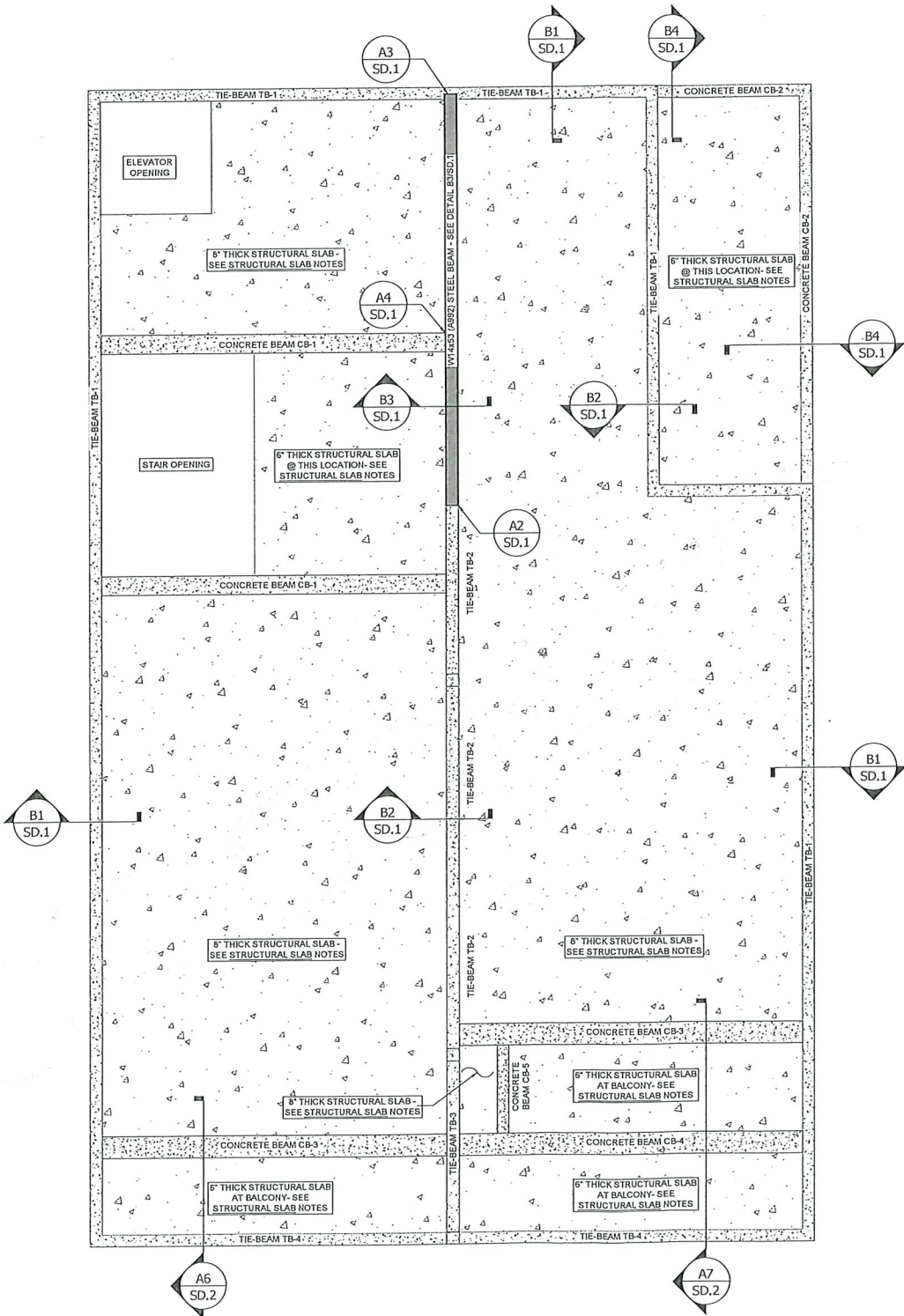
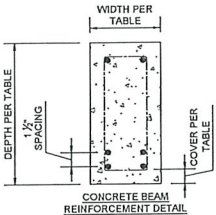
CONCRETE NOTES:

CONCRETE BEAMS

- 1. SEE BEAM SCHEDULES ON PLAN FOR SIZE AND REINFORCEMENT REQUIREMENTS
- 2. ALL REINFORCEMENT TO BE MIN 50,000 psi STEEL (GRADE 60)
- 3. ALL REINFORCEMENT SHALL HAVE MIN 30" LAP, WHERE APPLICABLE
- 4. PROVIDE (2) NO. 5 W/ STD. HOOK INTO ALL SUPPORTING MEMBERS
- 5. PROVIDE BENT BARS AT ALL CORNERS & INTERSECTIONS TO MATCH CORNER ANGLE. CORNER BARS SHALL EXTEND MIN 24" EACH SIDE
- 6. WHERE BEAMS SUPPORT STRUCTURAL SLABS, OVERALL BEAM DEPTH TO BE INCLUSIVE OF MINIMUM SLAB DEPTH

CONCRETE BEAM SCHEDULE

BEAM #	CONC. BEAM SIZE	TOP AND BOTTOM BARS	SHEAR REINF. (IF REQ'D)	CLEAR COVER
TB-1	8"wx 14"d	(2) #5 TOP (2) #5 BOTTOM	N/A	1 1/2"
TB-2	8"wx 16"d	(2) #5 TOP (4) #5 BOTTOM - (2) ROWS	#3 STIRRUPS @ MAX 8" OC SPACING	1 1/2"
TB-3	8"wx 24"d	(2) #5 TOP (4) #5 BOTTOM - (2) ROWS	#3 STIRRUPS @ MAX 8" OC SPACING	1 1/2"
TB-4	8"wx 12"d	(2) #5 TOP (2) #5 BOTTOM	N/A	1 1/2"
CB-1	12"wx 12"d	(2) #5 TOP (4) #5 BOTTOM - (2) ROWS	#3 STIRRUPS @ MAX 12" OC SPACING	1 1/2"
CB-2	10"wx 22"d	(2) #5 TOP (6) #6 BOTTOM - (2) ROWS	#3 STIRRUPS @ MAX 8" OC SPACING	3"
CB-3	14"wx 14"d	(2) #5 TOP (4) #6 BOTTOM	#3 STIRRUPS @ MAX 12" OC SPACING	1 1/2"
CB-4	14"wx 12"d	(2) #5 TOP (4) #6 BOTTOM	#3 STIRRUPS @ MAX 12" OC SPACING	1 1/2"
CB-5	8"wx 14"d	(2) #5 TOP (2) #5 BOTTOM	#3 STIRRUPS @ MAX 12" OC SPACING	1 1/2"



1.1 1ST LEVEL FLOOR PLAN
Scale: 1/4"=1'-0"

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
S2.0

SHEET NAME
2nd LEVEL
FRAMING

REVISIONS

DATE	DESCRIPTION

DESIGNED
BDP

REVIEWED
AKR



13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSROW.COM
C.A. No. 32756

FRAMING NOTES:

- BOTTOM PLATE** *No.2 SYP (PT @ 1ST LEVEL)*
- 1ST LEVEL BOTTOM PLT TO BE ANCHORED TO SLAB W/ 2" x 6" LONG TITEN HD OR 2" x 6" A36 (36x1) ATR EPOXY ANCHOR W/ NUT AND 3" SQUARE x 0.225" WASHER
 - ANCHORS TO BE INSTALLED EACH SIDE OF OPENING (MIN 6" FROM JACKING GROUP), WITHIN 12" OF THE PLT BREAK AND @ MAX 48" OC
 - MIN (2) ANCHORS PER FLT SEGMENT
 - 2ND LEVEL BOTTOM PLT TO RIBBON BOARD/TOP CHORD BELOW W/ 104 @ 6" OC

- DOUBLE TOP PLATE** *No.2 SYP*
- ALL TOP PLATES TO BE DOUBLED - FASTEN TOP PLATES TOGETHER W/ (2) ROWS 104 @ MAX 12" OC STAGGERED
 - END JOINTS OF DBL TOP PLT TO BE OFFSET MIN 48" AND SPICED TOGETHER W/ MIN (2) ROWS 104 @ 6" OC STAGGERED, MIN (16) 104 ALONG SPLICE
 - LAP ALL TOP PLT AT CORNERS OF EXTERIOR WALLS AND INTERSECTIONS WITH INTERIOR LOAD BRG WALLS, FASTEN PLATES TOGETHER AT LAP W/ (3) 104 FACE-NAILS

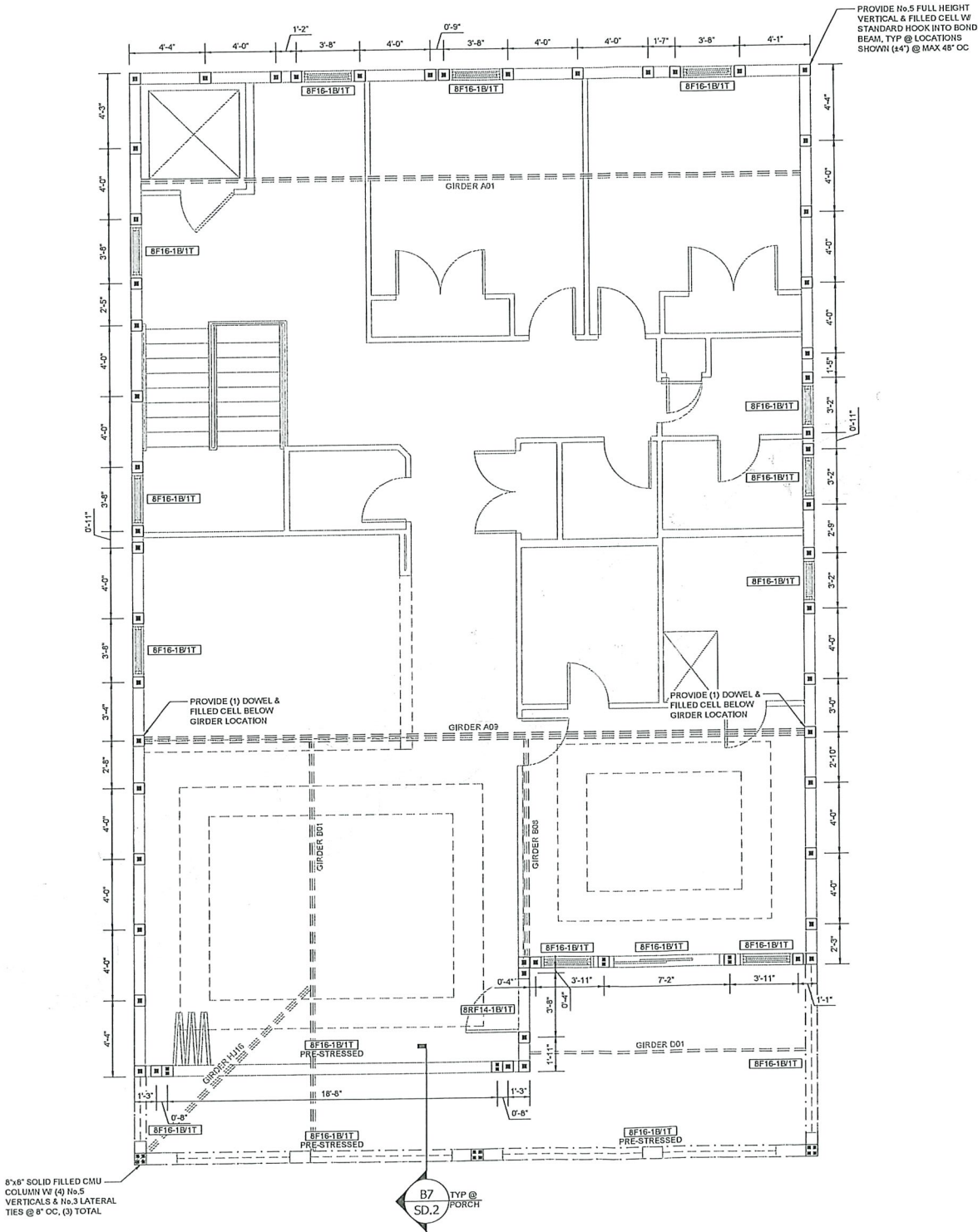
- STUDS** *No.2 SPF OR No.2 SYP*
- ALL LOAD BEARING WALLS TO BE FRAMED W/ 2x STUDS @ MAX 16" OC
 - ALL NON-LOAD BEARING WALLS TO BE FRAMED W/ 2x STUDS @ MAX 24" OC
 - FASTEN ALL STUDS TO TOP AND BOTTOM PLT W/ MIN (4) 104 TOE-NAILS OR (3) 104 FACE-NAILS
 - FASTEN ALL MULTI-STUD GROUPS TOGETHER W/ (2) ROWS 104 @ 12" OC STAGGERED

MASONRY NOTES:

- MASONRY WALLS**
- ALL MASONRY UNITS SHALL BE 8" NOMINAL WIDTH AND LAID IN RUNNING BOND PATTERN W/ DBL CONT, 2x8 No.2 SYP PT TOP PLATE
 - SINGLE 2x8 No.2 SYP PT TOP PLT TO BOND BEAM W/ 2" x 6" LONG TITEN HD OR 2" x 6" LONG J-HOOK ANCHOR BOLT, J-HOOK ANCHOR BOLTS MAY NOT BE USED @ HOLD-DOWN CONNECTORS
 - ANCHORS TO BE INSTALLED WITHIN 12" OF THE PLT BREAK, @ ALL CORNERS AND @ MAX 48" OC
 - MIN (2) ANCHORS PER FLT SEGMENT
 - TOP OF MASONRY WALL PER ARCH PLANS, UNO
 - (1) COURSE BOND BEAM @ TOP OF ALL WALLS (1) CONT, No.5, UNO - SEE TYPICAL DETAILS SHEET
 - ALL VERTICAL DOVELS SHALL HAVE A MIN 25" LAP AT ANY SPLICE
 - VERTICAL REINF TO HAVE STANDARD HOOK AND TIE INTO CONCRETE WALL BELOW BOND BEAM HORIZONTAL REINF
 - SEE ARCH PLANS FOR T.O.M & OPENING HEIGHT ELEVATIONS, UNO ON PLAN
 - PRECAST MASONRY LINTEL SHALL BE INSTALLED ABOVE EACH OPENING, DEPTH PER PLAN - SEE DETAIL SHEETS FOR TYP DETAILS
 - PRECAST MASONRY SILL SHALL BE INSTALLED IN EACH WINDOW OPENING
 - FASTEN FIRST WOOD WALL STUD TO CMU WALL W/ (2) ROWS 104 x 2 1/2" TAPCONIS @ 16" OC

LEGEND & SYMBOLS

- == : == : == HDR/BEAM
- LINTEL CALLOUT**
- LinTEL WIDTH (INCHES)
F= FILLED, R= RECESSED
LinTEL DEPTH (INCHES)
No. OF BOTTOM No. 5 BARS
No. OF TOP No. 5 BARS
- [8F16-1B/1T]
- [] No. 5 VERTICAL REINF. & FILLED CELL



2.0 2ND LEVEL FRAMING PLAN
Scale: 1/4"=1'-0"

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
S2.1

SHEET NAME
2nd LEVEL
ROOF

REVISIONS

DATE DESCRIPTION

DESIGNED
BDP

REVIEWED
AKR

Russell Rowland
13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSELLROW.COM
C.A. No. 32795

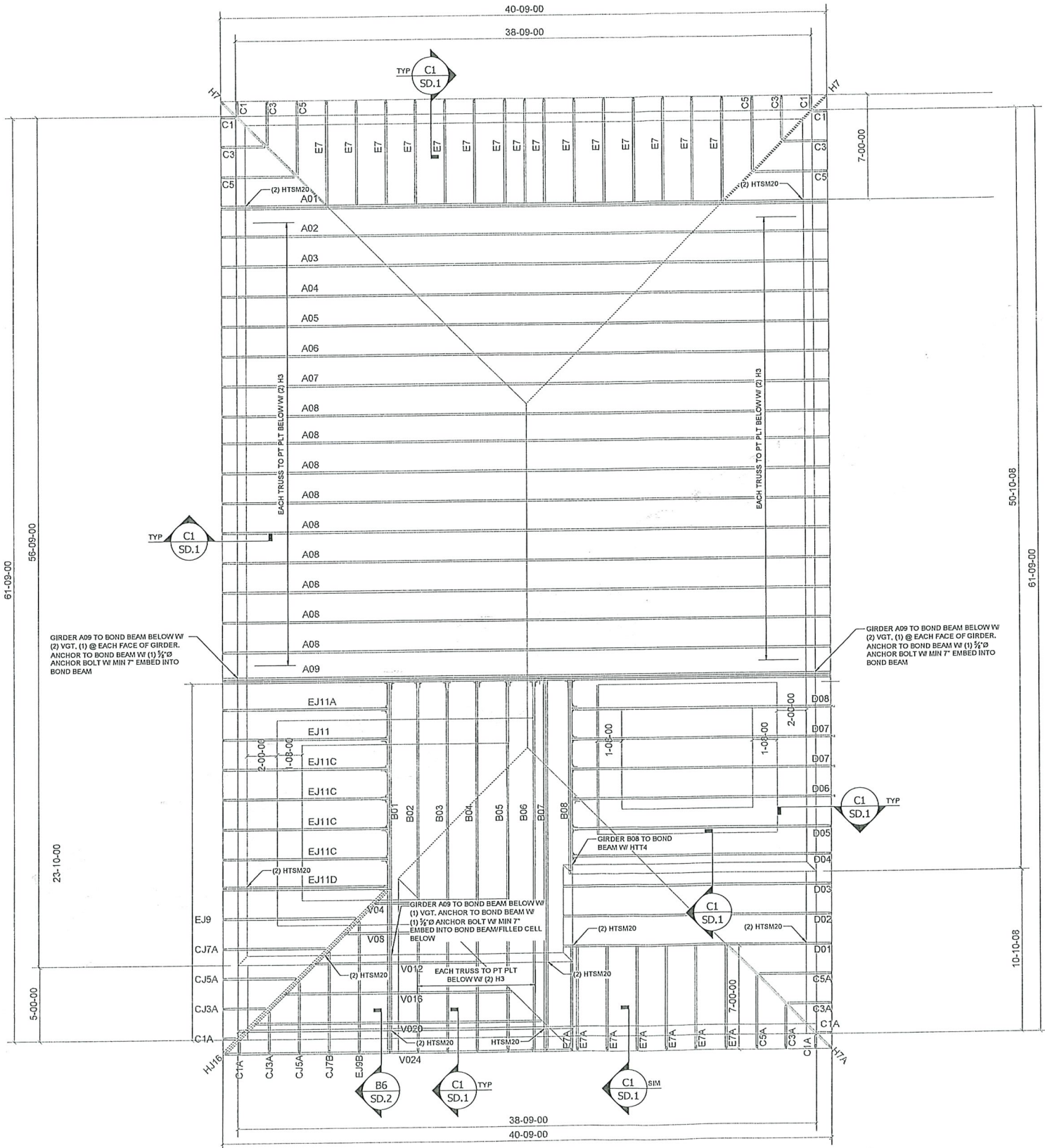
TRUSS FRAMING NOTES:

- ROOF TRUSSES
1. FASTEN ALL ROOF TRUSSES TO TOP PLT/BEAM W/ (3) 10d TOE-NAILS
 2. SEE TRUSS PLAN AND TYPICAL WALL SECTIONS, SHEET SD.1, FOR ALL ADDITIONAL UPLIFT CONNECTIONS REQ.
 3. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE W/ THE SBCA BC51 GUIDE

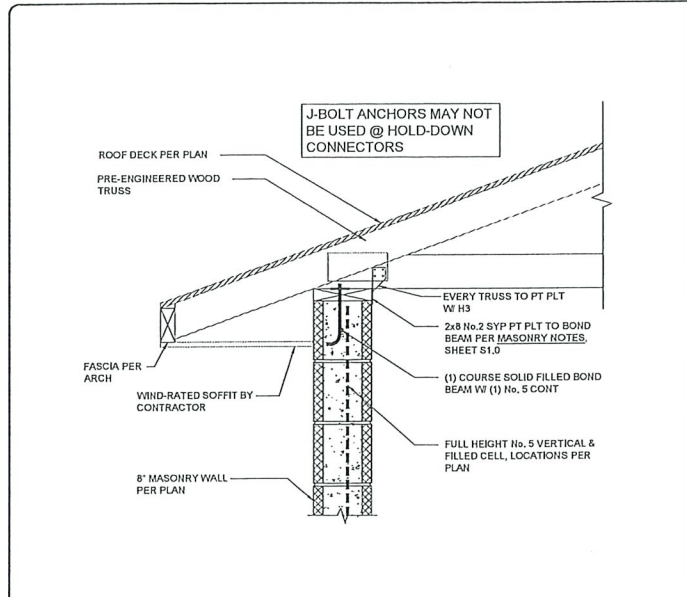
- ROOF SHEATHING
4. SHEATH ROOF FRAMING PER THE FOLLOWING SPECIFICATIONS, SHEATHING SHALL BE INSTALLED W/ LONG DIMENSION PERPENDICULAR TO SUPPORTS
 - a. TILE & METAL: MIN 5/8" 32/16 SPAN RATED OSB OR PLYWOOD
 - b. ALL OTHERS: MIN 3/4" 24/16 SPAN RATED OSB OR PLYWOOD
 5. FASTEN SHEATHING TO ROOF FRAMING PER SPECIFICATIONS BELOW, REFERENCE ROOF ZONES, SHEET 0.0.
 - a. MIN 5/8" 32/16 SPAN RATED SHEATHING
 - i.a. ZONES 1 & 2c: FASTEN W/ RSRS-03 @ 6" OC EDGE, 12" OC FIELD
 - i.b. ALL OTHER ZONES: FASTEN W/ RSRS-03 @ 6" OC EDGE, 6" OC FIELD
 - b. MIN 3/4" 24/16 SPAN RATED SHEATHING
 - i.a. ZONES 1 & 2c: FASTEN W/ RSRS-01 @ 6" OC EDGE, 12" OC FIELD
 - i.b. ALL OTHER ZONES: FASTEN W/ RSRS-01 @ 6" OC EDGE, 6" OC FIELD
 6. AT LOCATIONS WHERE ROOF IS ADJACENT TO WALL/FLOOR FRAMING, PROVIDE 2x NAILER SLOPED TO MATCH ROOF PITCH. FASTEN NAILER TO EACH VERTICAL WALL/FLOOR FRAMING MEMBER W/ (3) 10d @ MAX 24" OC, EDGE NAIL ROOF SHEATHING TO NAILER

- OVERFRAMING NOTES
7. ALL RAFTERS TO BE MIN 2x6 No.2 SYP @ 24" OC, MAX
 8. ALL VALLEY NAILERS TO BE 2x8 No.2 SYP, FASTEN TO TRUSS TC W/ (3) 10d FACE-NAILS & (1) SDWC15450 @ MAX 48" OC
 9. EACH RAFTER TO NAILER W/ H3
 10. ALL RIDGE BOARDS TO BE ONE NOMINAL SIZE LARGER THAN RAFTER SIZE
 11. FASTEN RAFTER TO RIDGE BOARD W/ (3) 10d TOE-NAIL
 12. FOR RAFTER SPANS GREATER THAN 10'-0", ADD 2x6 COLLAR TIES @ MAX 48" OC, LOCATED IN UPPER THIRD OF RAFTER, FASTEN TO RAFTER W/ (3) 10d FACE-NAILS
 13. SEE TABLE BELOW FOR ALLOWED RAFTER SPAN & SPACING

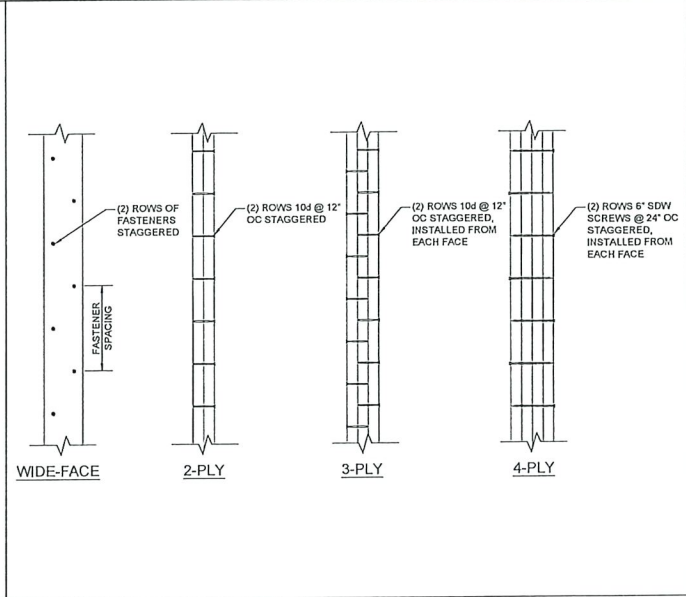
RAFTER OC SPACING	LUMBER SIZE			
	2x6	2x8	2x10	2x12
12"	19'-3"	19'-5"	23'-5"	N/A
16"	13'-6"	17'-1"	20'-3"	23'-10"
24"	11'-0"	13'-11"	16'-6"	19'-6"
ALL RAFTERS TO BE No.2 SYP (LL=20PSF, DL=10PSF)				



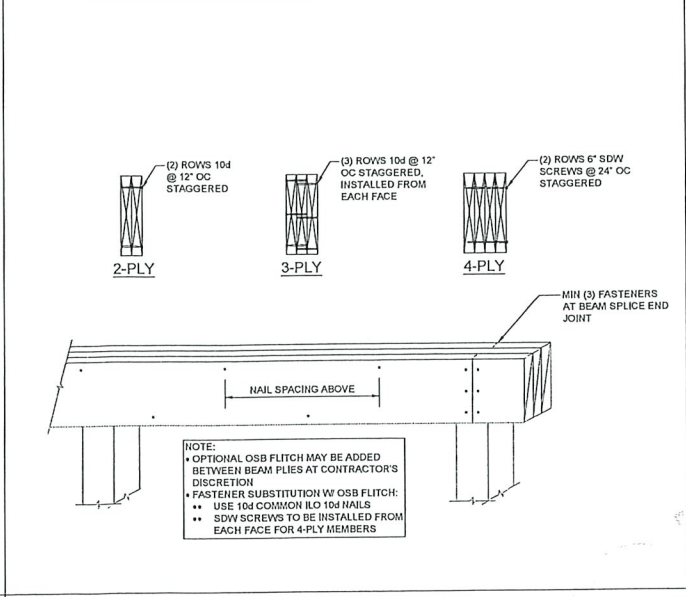
2.1 2ND LEVEL ROOF PLAN
Scale: 1/4"=1'-0"



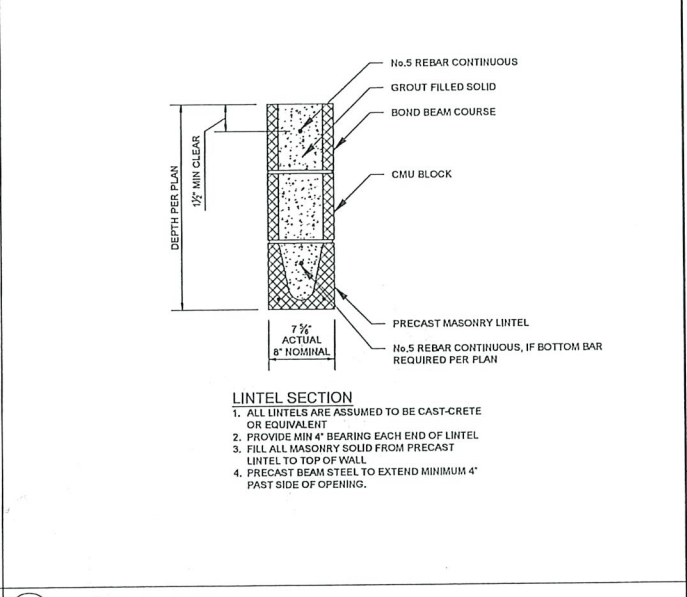
C1 TYPICAL EXTERIOR ROOF-TO-MASONRY WALL



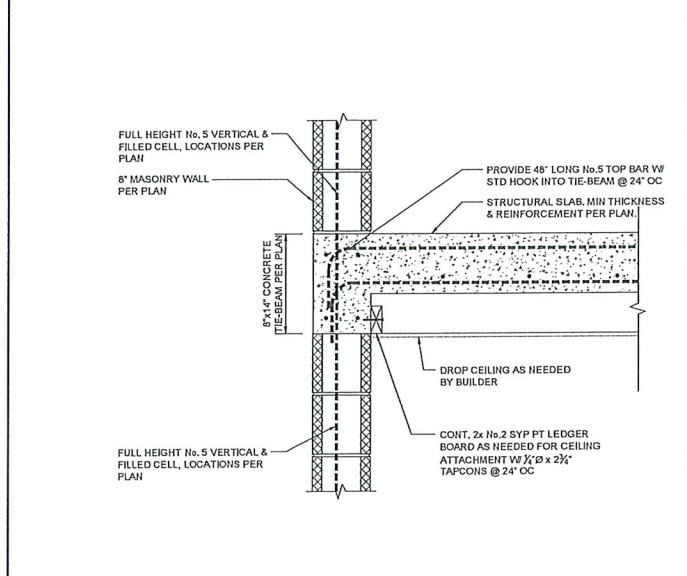
C2 MULTI-PLY STUD CONNECTION



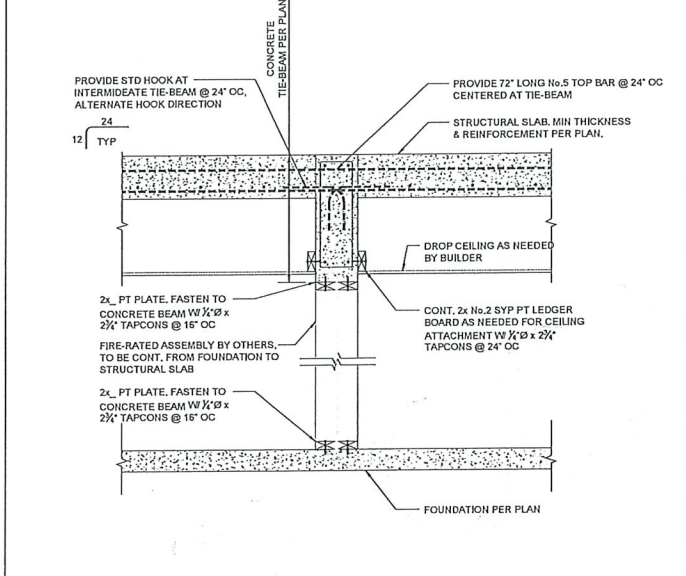
C3 MULTI-PLY BEAM/HDR CONNECTION (TOP-LOADED ONLY)



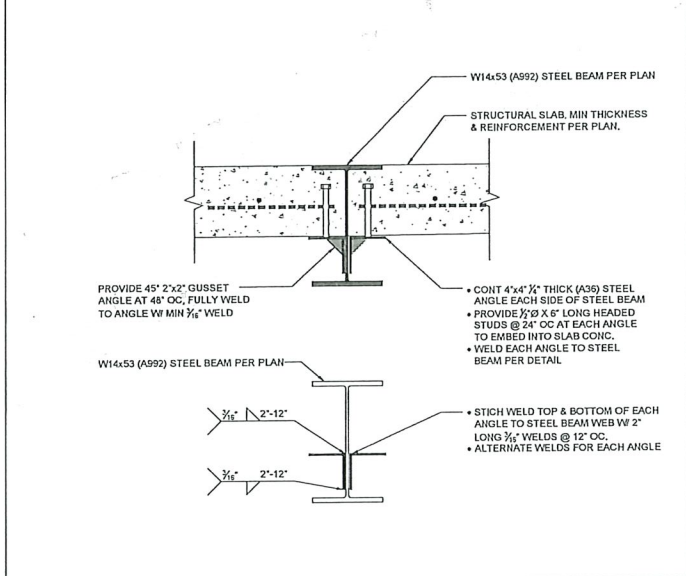
C4 PRE-CAST LINTEL



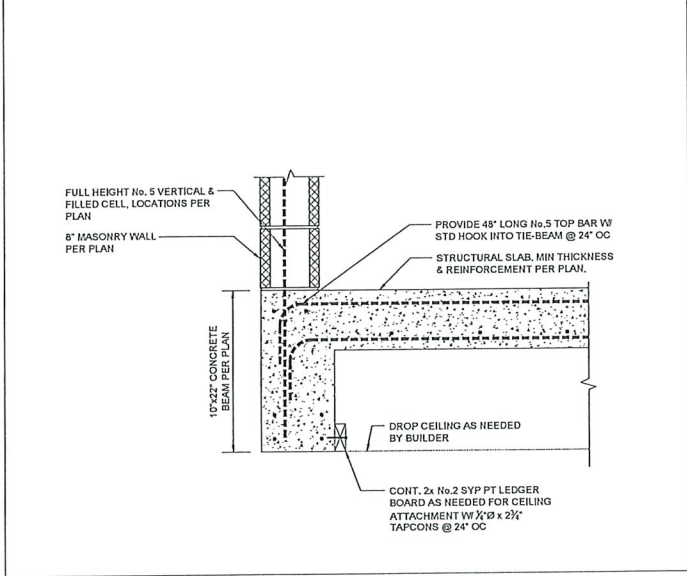
B1 TYPICAL EXTERIOR WALL TO STRUCTURAL SLAB DETAIL



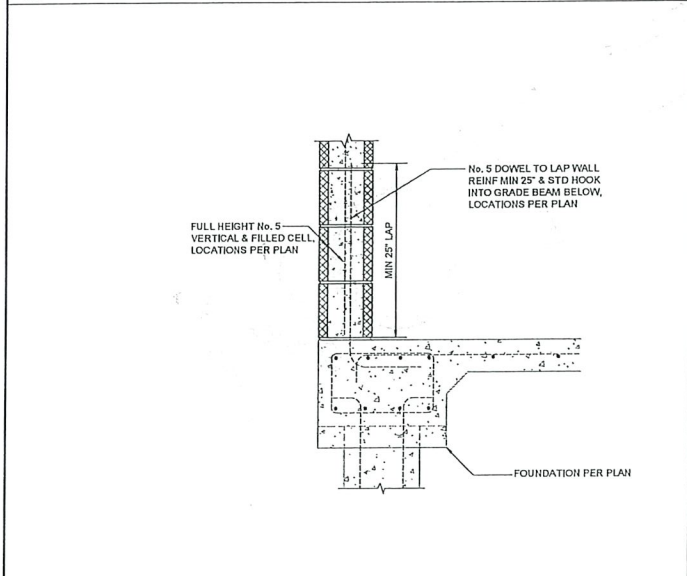
B2 INTERIOR TIE-BEAM DETAIL



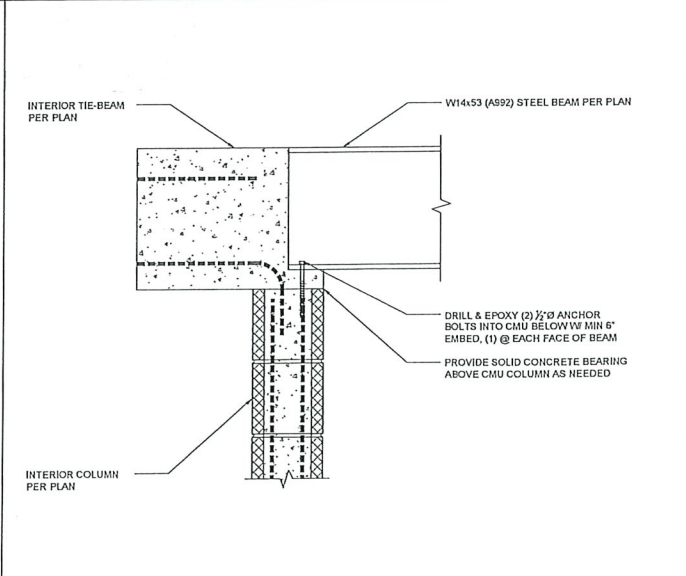
B3 STRUCTURAL SLAB TO STEEL BEAM DETAIL



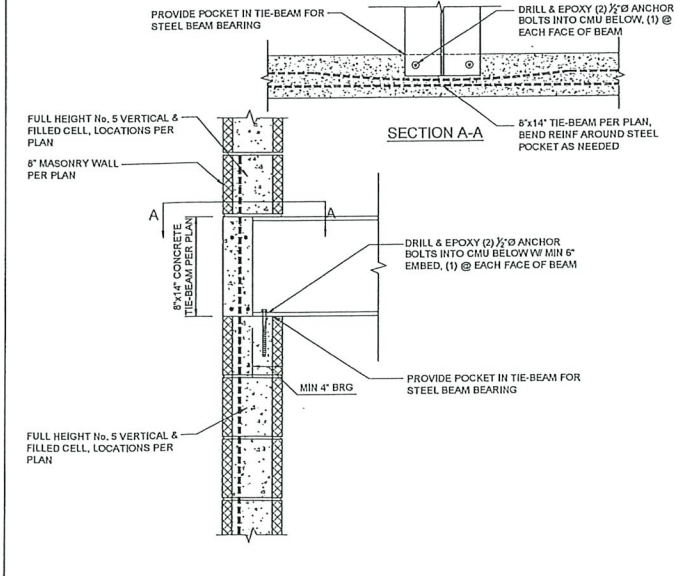
B4 TYPICAL EXTERIOR WALL TO STRUCTURAL SLAB DETAIL



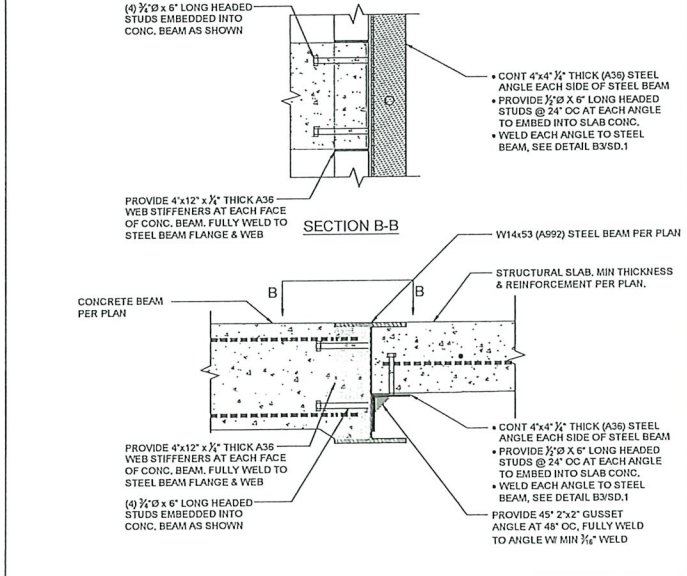
A1 TYPICAL WALL FOOTING-MONOLITHIC (CMU)



A2 STEEL BEAM TO INTERIOR COLUMN DETAIL



A3 STEEL BEAM TO EXTERIOR WALL DETAIL



A4 CONCRETE BEAM TO STEEL BEAM CONNECTION

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759
SHEET NUMBER
SD.1
SHEET NAME
DETAILS

REVISIONS	
DATE	DESCRIPTION
DESIGNED BDP	
REVIEWED AKR	

Russell Rowland
13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSROW.COM
C.A. No. 32756

A PLUS HOME
IMPROVEMENT

907 N. OCEAN SHORE BLVD
FLAGLER BEACH, FL 32136
FLAGLER COUNTY

PROJECT NUMBER
21-0759

SHEET NUMBER
SD.2

SHEET NAME
DETAILS

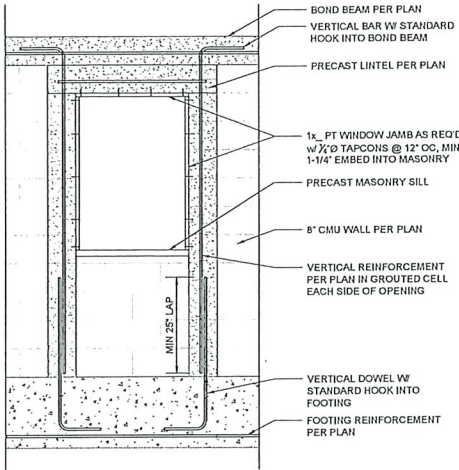
REVISIONS

DATE	DESCRIPTION

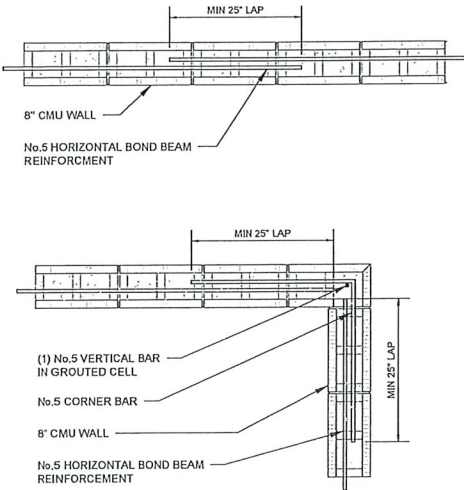
DESIGNED
BDP
REVIEWED
AKR



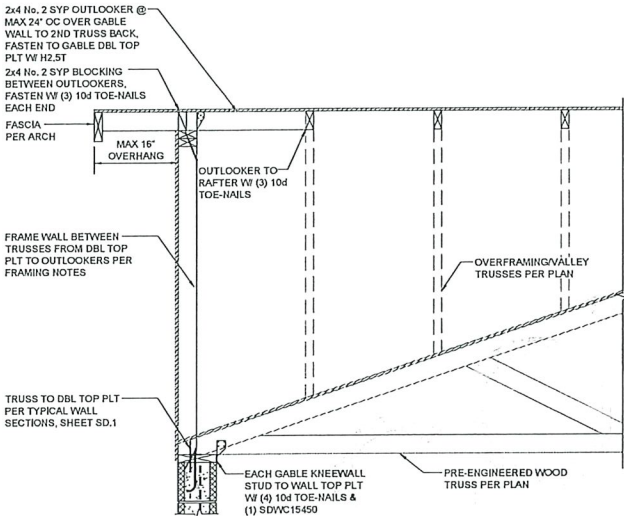
Russell Rowland
13241 BARTRAM PARK BLVD #601
JACKSONVILLE, FL 32256
P 904-503-3283 RUSSROW.COM
C.A. No. 32756



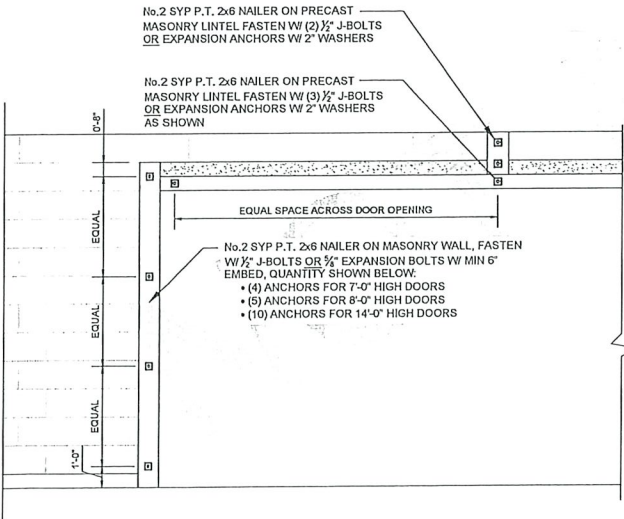
C5 CMU WINDOW ELEVATION



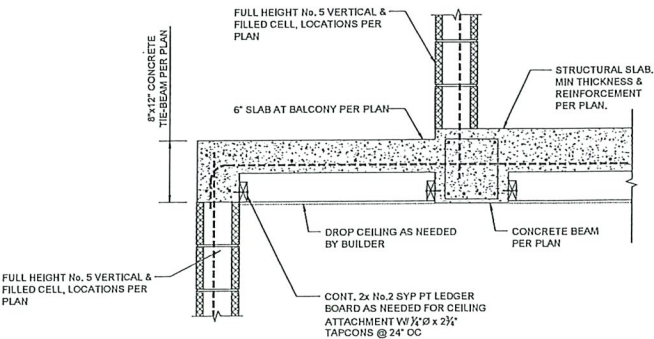
B5 MASONRY REINFORCEMENT LAP DETAILS



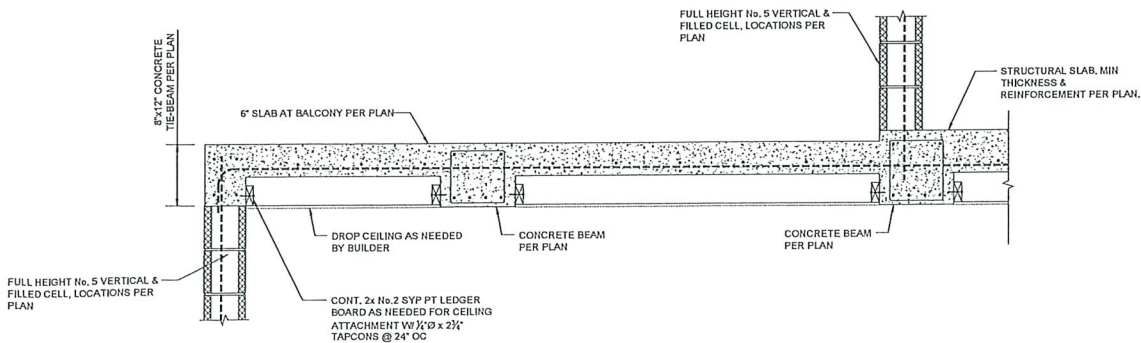
B6 OVERFRAMED GABLE END



A5 GARAGE DOOR BUCK ON MASONRY WALL



A6 BALCONY DETAIL



A7 BALCONY DETAIL

COMPARATIVE ILLUSTRATION:

PROPOSED - NON-CONFORMING MIXED-USE BLDG.

LDC ILLUSTRATION - 50'X100' INTERIOR LOT TEMPLATE

907 N. OSB

CURRENT BLDG. FOOTPRINT

NON-CONFORMING:

MIXED-USE BLDG. DEVELOPMENT STANDARD:

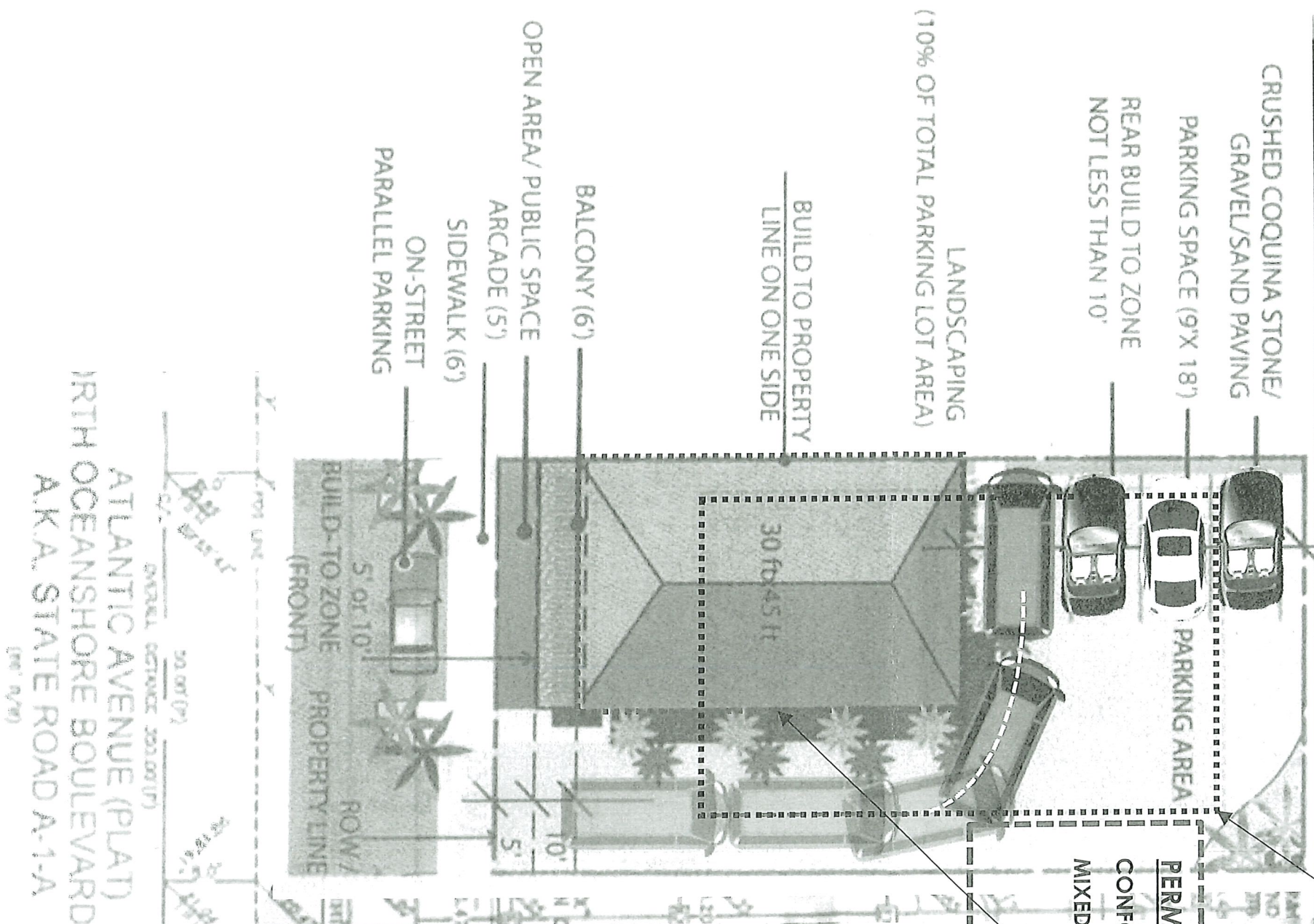
BLDG. FOOTPRINT
38ft+/- X 61ft+/-

PERMITTED BLDG. FOOTPRINT

CONFORMING:

MIXED-USE BLDG. DEVELOPMENT STANDARDS

BLDG. FOOTPRINT
30ft+/- X 45ft+/-



ORDINANCE NO. 2024-

AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING THE CITY OF FLAGLER BEACH LAND DEVELOPMENT REGULATIONS RELATING TO MOBILE HOME PARK SETBACKS; AMENDING SECTION 2.09.103 OF THE LAND DEVELOPMENT REGULATIONS TO REDUCE THE SETBACKS FOR MOBILE HOMES LOCATED WITHIN MOBILE HOME PARKS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS, AND EFFECTIVE DATE

WHEREAS, a mobile home park has existed at the site currently managed by Flagler Beach Villas for many years; and

WHEREAS, the owners of Flagler Beach Villas have pointed out to the City that the development patterns at said mobile home park have not been consistent with the City’s Code language related to mobile home setbacks; and

WHEREAS, the owners of Flagler Beach Villas and the City Commission agree that the most logical way of addressing the disconnect is to conform the code the development patterns that have existed for many years without creating a hardship for either party; and

WHEREAS, the City Commission finds and determines that adoption of this Ordinance is in the best interest of the residents, businesses, and visitors of Flagler Beach.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, FLORIDA, AS FOLLOWS:

SECTION ONE. The findings set forth in the recitals above are hereby adopted as legislative findings of the City Commission pertaining to this Ordinance.

SECTION TWO. Section 2.09.103 of the City of Flagler Beach Land Development Regulations is hereby amended as follows (note, underlined text notates additions, strikethrough text notates deletions, and ellipses (***) notate text which remains unchanged and is not reprinted here):

Sec. 2.09.103. Setbacks, ~~buffer strips, screening.~~

- (a) ~~All mobile homes shall be located at least twenty-five (25) feet from any park property boundary line abutting upon a public street or highway and at least fifteen (15) feet from other park property boundary lines.~~
- (b) ~~There shall be a minimum distance of ten (10) feet between the mobile home stand and abutting park street.~~
- (a) All mobile homes shall be set back from a side property line or side lot line at least seven and one half feet (7.5) feet as measured from the point of the mobile home nearest such property line or lot line.

- (b) All mobile homes shall be set back from the front property line or any front lot line at least ten (10) feet as measured from the point of the mobile home nearest such property or lot line.
- (c) All mobile homes shall be set back from the rear property line or any rear lot line at least five (5) feet as measured from the point of the mobile home nearest such property or lot line.
- (d) All mobile home parks located adjacent to industrial or commercial land uses shall be provided with screening such as fences or natural growth along the property boundary line separating the park and such adjacent nonresidential uses.

SECTION THREE. Codification. It is the intent of the City Commission of the City of Flagler Beach that the provisions of this Ordinance shall be codified. The codifier is granted broad and liberal authority in codifying the provisions of this Ordinance.

SECTION FOUR. Conflicts. In any case where a provision of this Ordinance is found to be in conflict with the provisions of any other ordinance of this City, the conflicting provisions of the previous ordinance shall be repealed and superseded by this Ordinance.

SECTION FIVE. Effective date. This Ordinance shall take effect immediately upon adoption as provided by the Charter of the City of Flagler Beach.

PASSED ON FIRST READING THIS X DAY OF MONTH 2024.

PASSED AND ADOPTED THIS X DAY OF MONTH, 2024.

CITY OF FLAGLER BEACH, FLORIDA
CITY COMMISSION

Patti King, Mayor

ATTEST:

Penny Overstreet, City Clerk