



AGENDA

Historic Preservation Board Meeting

5:30 PM – Wednesday, May 10, 2023 – City Hall

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

1. AGENDA UPDATES

2. APPROVAL OF MINUTES

No Minutes for approval for this meeting.

3. AUDIENCE TO BE HEARD

4. NEW BUSINESS

[4.1](#) Annual Report to City Commission re: Historic Preservation Board

[4.2](#) 2023-COA-08 403 S Mary St Fence

[4.3](#) 2023-COA-06 708 E Lemon Ave Accessory Dwelling Unit

5. OLD BUSINESS

6. BOARD MEMBER REPORTS

7. STAFF REPORTS

8. ADJOURNMENT

This Agenda is provided to the Board only as a guide, and in no way limits their consideration to the items contained hereon. The Board has the sole right to determine those items they will discuss, consider, act upon, or fail to act upon. Changes or amendments to this Agenda may occur at any time prior to, or during the scheduled meeting. It is recommended that if you have an interest in the meeting, you make every attempt to attend the meeting. This Agenda is provided only as a courtesy, and such provision in no way infers or conveys that the Agenda appearing here is, or will be the Agenda considered at the meeting.

If a person decides to appeal any decision made by the board with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (Florida Statutes, 286.0105). In accordance with the Americans with Disabilities Act of 1990, persons needing a special accommodation to participate in this proceeding should contact the City Clerk 48 hours prior to any meeting so arrangements can be made. Telephone (352) 483-5430 for assistance.



City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

TO: EUSTIS CITY COMMISSION
 FROM: TOM CARRINO, CITY MANAGER
 DATE: JUNE 1, 2023 (OTHER BUSINESS)
 RE: HISTORIC PRESERVATION ANNUAL REPORT

Introduction:

The purpose of this item is to provide the City Commission with an annual report as required by Section 46-59 of the Code of Ordinances.

Recommended Action:

Acceptance of Historic Preservation Board Annual Report.

Background:

On September 7, 1995, the City adopted Ordinance No. 95-27 establishing a historic preservation program within the City. The ordinance is now codified as Chapter 46 of the Eustis Code of Ordinances. Section 46-59 states that, "The board shall annually make a report to the city commission of its activities." Pursuant to that requirement, the Eustis Historic Preservation Board offers the following regarding its activities for the period beginning October 1, 2021 and ending April 30, 2023. This report is covering an extended period of time since there has been a lapse in time since the previous report, which ended on September 30, 2021.

Summary of Regular Historic Preservation Activities:

Activity	Number Reviewed/ Attended	Number Submitted / Under Review	Number Approved	Number Denied
New Local Landmark Designations	0	0	0	0
National Register Proposals:	0	0	0	0
Certificates of Appropriateness (COAs):	12	4	6	2
Administrative COAs:	5	0	5	0
Ad Valorem Tax Exemption Projects:	0	0	0	0
Historic Preservation Board Meetings:	7	n/a	n/a	n/a
Workshops Attended by Board Members:	0	n/a	n/a	n/a

Other Historic Preservation Activities:

Staff, with the assistance of Christine Dalton, a local planner, and Eustis resident, applied for the FY 2022-2023 FL Small Matching Grant for the City of Eustis Historic and Architectural Survey to conduct a survey to determine historic buildings in the City that are now over 50-years old (since the last survey). Eustis placed 39 out of a total of 51 submittals and the overall score received was 85.4, but was not awarded the grant. The Board requested that staff apply again during the next grant cycle, which was done, but the staff withdrew the application when information arose that the previous grant was actually awarded. Currently, the RFP for this grant work to be completed has been awarded to a consultant team, and the contract will be signed soon, and the work done.

For Historic Preservation Month in May 2022, a Proclamation was presented by the Eustis City Commission, proclaiming it to be historic preservation month, and honoring the importance of historic preservation. The City's social media also featured some posts during May 2022 pertaining to historic preservation.

For historic preservation month this May, an event was worked on to educate the Board and the general public on historic preservation, but due to time restraints and logistics, this event will take place at a later time.

Planned Activities for Next Reporting Period:

- Review certificates of appropriateness and local landmark designation requests as needed.
- Monitor grant opportunities for utilizing the information collected by the historic and architectural survey, depending on the results of the survey, but such as additional public education on historic sites or opportunities for new local landmark designations or national register proposals
- Look for grant opportunities for additional signage and public outreach efforts to make the public aware of the existence of the historic districts and what that means for them
- Conduct historic preservation education and research as staff availability allows, with offerings to the Board for training and education.
 - Focus on a mid-century modern component and the post-war years

Alternatives

1. Accept the Historic Preservation Annual Report
2. Do not accept the Historic Preservation Annual Report and provide other directions to staff.

Discussion of Alternatives

1. Alternative 1 accepts the report as presented.

Advantages:

- The requirements of Section 46-59 of the Code of Ordinances will be met.

Disadvantages:

- None.
2. Alternative 2 does not accept the report as presented.
- Advantages:
- Any necessary changes to the report could be made.
- Disadvantages:
- The requirements of Section 46-59 of the Code of Ordinances will not be met, and the HPB must submit a revised report.

Budget and Staff Impact

There is no budget or staff impact related to this item other than acknowledgment of the receipt of the non-matching grant, which is \$50,000 in which the City does not need to provide a match (as a result of being a Certified Local Government (CLG) in good standing), for the City of Eustis Historic and Architectural Survey to conduct a survey to determine historic buildings in the City that are now over 50-years old (since the last survey).

Prepared By:

Heather Croney, Senior Planner

Reviewed By:

Historic Preservation Board



City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

TO: HISTORIC PRESERVATION BOARD

FROM: HEATHER CRONEY, SENIOR PLANNER

DATE: MAY 10, 2023

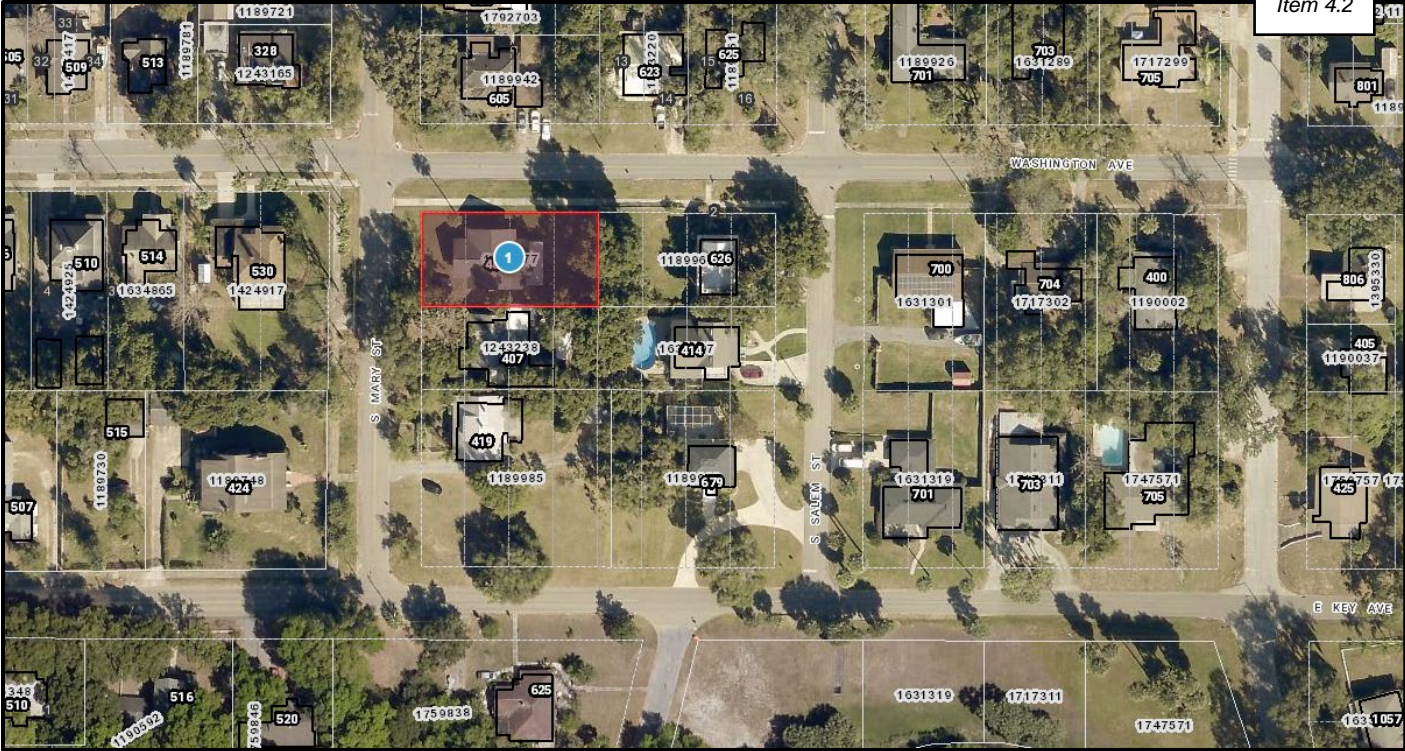
RE: CERTIFICATE OF APPROPRIATENESS (2023-COA-08) CONSTRUCTION OF A FENCE AT 403 SOUTH MARY STREET (ALTERNATE KEY 1189977)

PROPOSED PROJECT:

Diane Stewart with Fritz Fence, as the applicant/agent on behalf of Diane H Sanders, property owner, is requesting Historic Preservation Board approval for the construction of a new fence at 403 South Mary Street. The fence would be visible from the street, and if not, it could potentially be approved administratively by staff (without being reviewed by the Board) if it meets review criteria. Any proposed work in the historic district that is visible from the street must be reviewed and approved by the Historic Preservation Board. The subject property is located at the southeast corner of South Mary Street and Washington Avenue. The proposed fence is eighty (80) linear feet of six-foot (6') tall site-built stockade wooded privacy fence and one (1) ten-foot (10') wide double gate of the same material. The proposed fence would be located along the Washington Avenue (northern) side of the property, extending from the home to the existing tan wood-grain vinyl fence on the east side of the property between the subject property and the neighboring property. The purpose of this fence would be to fulfill the Historic Preservation Board (HPB)'s condition that was placed on the approval of 2023-COA-05, which was a request for a fence to be located in front of the proposed new shed that was the subject of 2023-COA-05.

PROPERTY INFORMATION:

Owner: Diane H Sanders
 Applicant: Diane Stewart, Fritz Fence
 Site Acreage: 0.21 acres



Future Land Use: Suburban Residential (SR)

Design District: Urban Neighborhood

CRITERIA FOR EVALUATION: EUSTIS CODE OF ORDINANCES CHAPTER 46:

Section 46-227

(l) In considering an application for a certificate of appropriateness for alteration, new construction, demolition or relocation, the board shall be guided by the following general standards:

(1) The effect of the proposed work on the landmark, landmark site, or property within a historic district upon which such work is to be done;

This historic site, 403 South Mary Street, is classified as the Frame Vernacular architectural style, so to complement the landmark site, the fence should complement the architectural style of the existing home on the property. The proposed fence should not have an extensive impact on the landmark, landmark site, or property within the historic district in which the fence is proposed. The fence is an external feature to enclose the yard and the proposed wooden fence color should complement the natural color tones that were commonly used in this architectural style.

(2) The relationship between such work and other structures on the landmark site or other property in the historic district;

The fence is reasonably consistent in its design with the home and the proposed fence is wooden, which is consistent with the natural materials and tones often seen in the frame vernacular architectural style.

(3) The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, and materials of the landmark or the property will be affected;

This local landmark, 403 South Mary Street, is classified as the Frame Vernacular architectural style.

When frame vernacular homes had fences, they were often white picket fences. Simple vertical picket fences are appropriate for Frame Vernacular buildings. The proposed fence is not a white picket fence.

On contrary to the above, the home on this property was built in 1924. Frame Vernacular residences built in the 1920s oftentimes exhibit Craftsman influences such as the exposed rafter tails and wide, overhanging roof eaves. The Florida Master Site File for this property indicates the structural system to be a wood frame and the exterior fabric to be wood single and wood siding. As a result, the expectation would be that a fence on the property would also feature wood elements. The proposed fence is consistent with these characteristics as it is of wood construction.

(4) Whether the plans may be carried out by the applicant within a reasonable period of time.

If the Historic Preservation Board approves the COA, the applicant would be able to move forward with the required steps. fences must comply with [Section 110-5.7](#). Ordinances 16-31 and 21-09 should also be referenced. The City is no longer processing permits for fences. The permit process has been replaced by filing an affidavit with the building department for record only. The affidavit is an acknowledgment that

- a. the applicant has been provided a copy of the City's fence regulations,***
- b. that the applicant understands the fence regulations***
- c. that the applicant will comply with the fence regulations.***
- d. A statement that you are or are not within the Washington Historic District. If the property is within the Washington Historic District, a Certificate of Appropriateness is required before the construction of the fence on the property.***

(n) In considering an application for a certificate of appropriateness for new construction, the board shall consider the following additional guidelines:

(1) *Height.* The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in an historic district.

The proposed fence height of six (6) feet does not pose a conflict with the frame vernacular style nor the compatibility with the current home on the site.

(2) *Proportions of windows and doors.* The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in a historic district.

Not applicable; this is a fence installation, which will not include any new windows or doors.

(3) *Relationship of building masses, setbacks, and spaces.* The relationship of a structure within a historic district to the open space between it and adjoining structures shall be compatible.

The proposed fence should not have any negative effect on building masses, setbacks, and spaces. The proposed setbacks are consistent with the requirements of the lot type and design district in addition to posing no issues with the relationship to the historic district and open space. This should be consistent with the surrounding properties and not deter from the historical significance either.

(4) *Roof shape.* The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in a historic district.

The pitch and style of the roof of the new, revised shed that is now proposed more closely match that of the existing single-family residence on the property.

(5) *Landscaping.* Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in a historic district.

While the applicant has not provided a landscape plan, they intend to preserve the existing landscaping on the property.

(6) *Scale.* The scale of the structure after alteration, construction or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.

The scale of the proposed fence is compatible with the existing building, and the frame vernacular style architecture.

(7) *Directional expression.* Facades in historic districts shall blend with other structures with regard to directional expression. Structures in an historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction or partial demolition shall be compatible with its original architectural style and character.

The proposed fence should not extensively change the directional expression of the historic local landmark site.

(8) *Architectural details.* Architectural details, including materials and textures, shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The board will give recommendations as to appropriate colors for any landmark or historic district.

This local landmark, 403 South Mary Street, is classified as the Frame Vernacular architectural style.

When frame vernacular homes had fences, they were often white picket fences. Simple vertical picket fences are appropriate for Frame Vernacular buildings. The proposed fence is not a white picket fence.

On contrary to the above, the home on this property was built in 1924. Frame Vernacular residences built in the 1920s oftentimes exhibit Craftsman influences such as the exposed rafter tails and wide, overhanging roof eaves. The Florida Master Site File for this property indicates the structural system to be a wood frame and the exterior fabric to be wood single and wood siding. As a result, the expectation would be that a fence on the property would also feature wood elements. The proposed fence is consistent with these characteristics as it is of wood construction.

(9) *Impact on archaeological sites.* New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.

Not applicable.

CONSIDERATIONS:

The staff has reviewed the Certificate of Appropriateness (COA) application for a new fence and offers the following:

Per the master site file for this property, the historical context is the “boom times”. The home was built in 1924 with a frame vernacular style, wood frame. Generally, the Frame Vernacular resources in the survey area are one-story high, constructed of wood structural frames set on continuous concrete block foundations. Frame Vernacular residences built in the 1920s oftentimes exhibit Craftsman influences such as the exposed rafter tails and wide, overhanging roof eaves. The common features of the Craftsman style include low-pitched gable (triangular) roofs, overhanging eaves with exposed rafters and beams, heavy, tapered columns, patterned window panes, and a covered front porch. Craftsman house exteriors emphasize harmony with surrounding nature.

Craftsman Style Fences typically have straight vertical and horizontal lines to have the look and feel of Craftsman architecture. Craftsman house exteriors emphasize harmony with surrounding nature. Craftsman-style fences are commonly woodgrain. Craftsman wood fence styles could be split rail, deck rail style picket, picket, lattice top square, lattice top diagonal, standard horizontal, hog wire, modified panel, full panel, grid top, or estate.

RECOMMENDATION:

Based on the analysis above, the criteria for evaluation provided in this memorandum, the proposed fence is consistent with the subject property's historic frame vernacular style and existing development. As a result, the staff recommends approval of the request.

ATTACHMENTS:

Conditioned Approval of 2023-COA-05
Site Plan to Show Proposed Fence Location
COA Application
Historical Structure Form – Florida Master Site File for the subject property
Frame Vernacular Architectural Style Information Referenced by Staff in Analysis

c: Applicant and Property Owner
Historic Preservation Board Members
File: 2023-COA-08

SNAPSHOT FROM GOOGLE STREET VIEW

Item 4.2





CITY OF EUSTIS HISTORIC PRESERVATION BOARD
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)
4 N. Grove St., P.O. Drawer 68, Eustis, FL 32727-0068
Phone: (352) 483-5460 Fax: (352) 357-4177 Email: planner@ci.eustis.fl.us

PLEASE SELECT ALL THAT APPLY TO YOUR PROPERTY:

- Local Landmark/Site
- Eustis Main Street Area
- Washington Avenue Historic District

ADDRESS OF PROPERTY: 403 S. Mary St

Property Owner

Print Name: Diane H Sanders
 Mailing Address: 403 S Mary St Eustis FL 32726
 Phone: 407-765-5870 Fax: N/A
 Email: Diane@grannyannies.com

Applicant/Agent (if different from property owner)

Print Name: Diane Stewart / Fitzfence
 Mailing Address: PO Box 350494, Grand Isl, FL 32735
 Phone: 352 357 5035 Fax: _____
 Email: fitzfence@gmail.com

I certify that all information contained in this application is true and accurate to the best of my knowledge.

Applicant/Owner: Diane Stewart Date: 3/30/23

Incomplete applications will not be reviewed and will be returned to you for more information. You are encouraged to contact Development Services, at (352) 483-5460, to make sure your application is complete.

Description of Proposed Work: (Check all that apply)

- Alteration
- Demolition
- Relocation
- New Construction

Completely describe the entire scope of work: all changes proposed on the exterior of the building, where on the property the work will occur, how the work will be accomplished, and the types of materials to be used. For large projects, an itemized list is recommended. Attach additional pages if necessary. Please include any additional information as may be applicable to your request including such as photos, drawings, samples of materials, and producing brochures.

Installation of 80LN FT, site built stockade wood privacy fence and (1) 10' wide double gate

OFFICIAL USE ONLY

Date Received: 3/30/2023 HNC
 File No.: 2023-COA-08

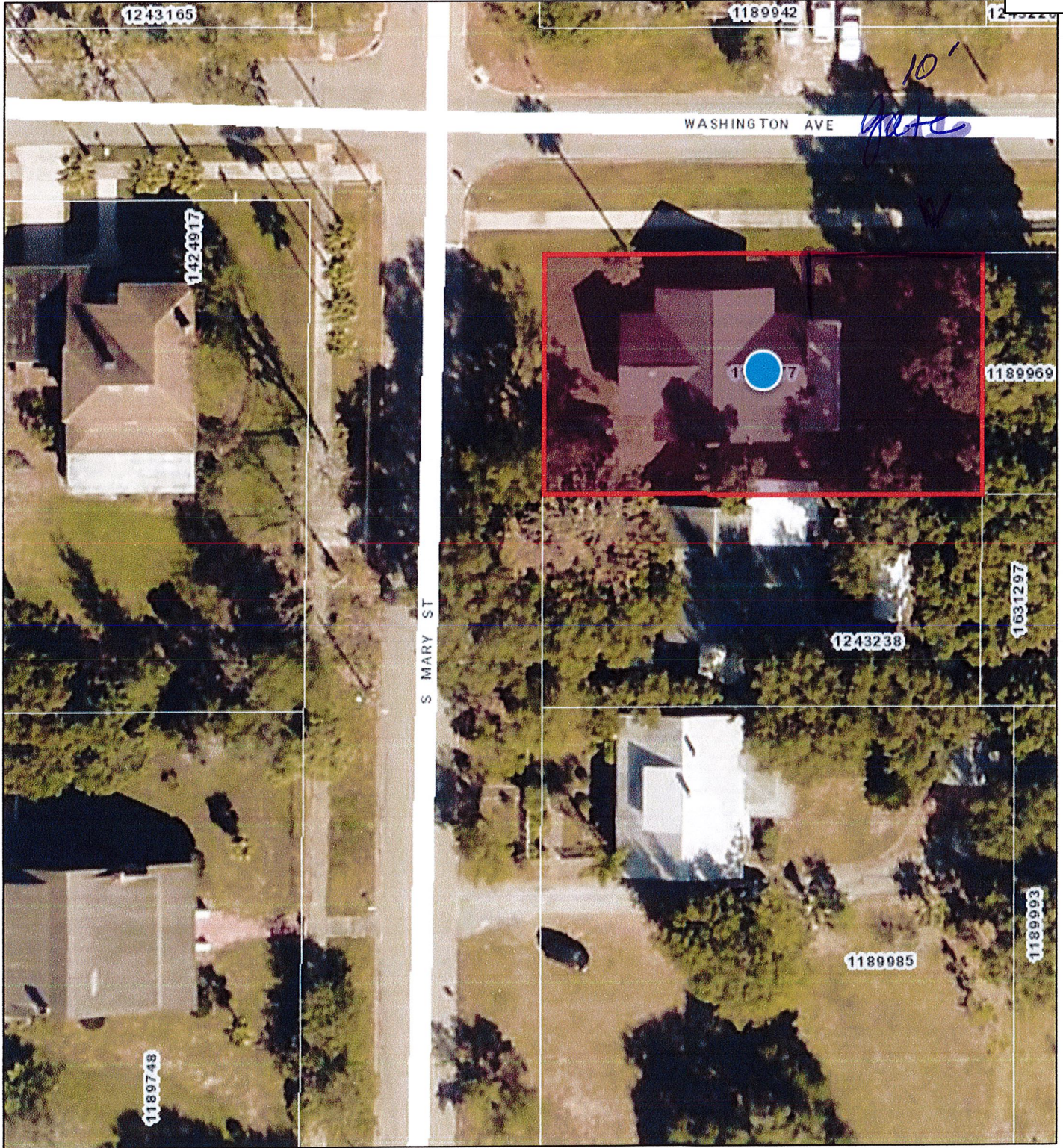
Historic Preservation Board Meeting Date: May 10, 2023
 Was a COA issued? Yes _____ No _____

Administrative Approval

Application Approved: _____ Approved with Conditions: _____ Application Denied: _____

Conditions/Reasons: _____

Signed: _____ Date: _____



March 29, 2023

1:500

pointLayer



Override 1

polygonLayer



Override 1



County Boundary



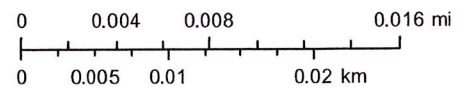
Surrounding Counties

Street Names

Local Streets 1K

Tax Parcels Alternate Key

Tax Parcels



Lake County Property Appraiser
Lake BCC



WORK ORDER

CUSTOMER Diane Sanders DATE 3/29/23
 ADDRESS 403 S. Mary St, Eustis SUB. _____
 PHONE NO. 407-765-5870 ROUTE Historic District

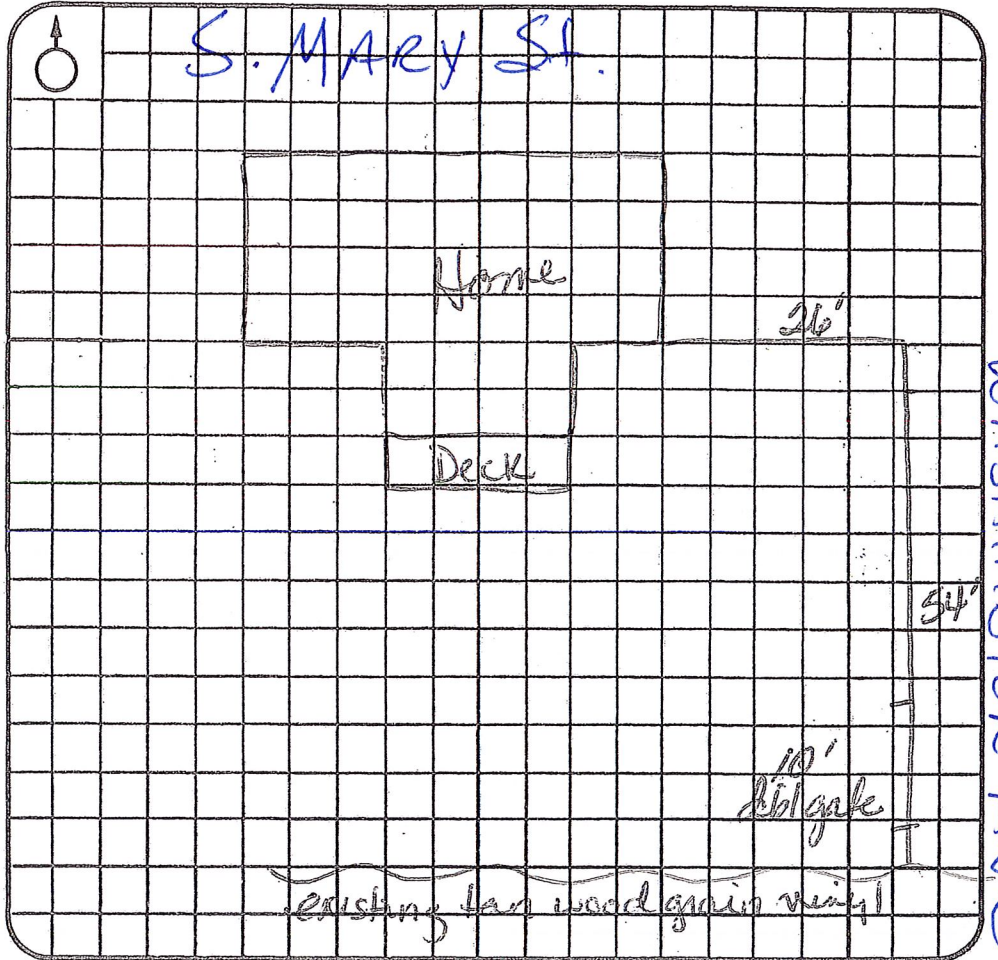
Total Height 6'
 Post Spaced 6'
 Style Fence Privacy Wood
 Gauge 9 11 1/2
 Knuckled
 Barbed
 Top Rail _____ O.D.
 Line Post _____ O.D.
 End Post _____ O.D.
 Corner Post _____ O.D.
 Walk Gate Post _____ O.D.
 Drive Gate Post _____ O.D.
 Gate Frames _____ O.D.
 Permit Site Sign
 D.P. . . . Pickup Received
 Fabric In Out
 Level Step Roll
 Final Grade Straight
 Buried Cable _____
 Surveyed _____

20' W FT, 6 FT wood
stockade privacy
fence installed @
above property

Includes (1) 10'
double gate w/
(2) drop rods

Gate leafs to have
aluminum frames

Approx. Start Date _____
 Approx. Comp. Date _____
 Date Completed _____



FRITZ FENCE will furnish material and labor – complete in accordance with above specifications, for the sum of: _____ dollars (\$ 3320. T)

Payment to be made as follows:
50% deposit, balance upon completion

Authorized Signature Diane Hewart

Note: This Proposal may be withdrawn by us if not accepted within 10 days.

All material guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control.

3% Convenience Fee Charge for Credit/Debit Card

Acceptance — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.
 Date of Acceptance: _____
 Signature _____
 Signature _____



City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

March 9, 2023

Diane H Sanders
 Property Owner
 403 South Mary Street
 Eustis, Florida 32726
 Via email: diane@grannynannies.com

PROJECT: 403 S Mary St - Shed

SUBJECT: CERTIFICATE OF APPROPRIATENESS APPROVAL WITH CONDITION
 (2023-COA-5)

Dear Ms. Sanders:

At the City of Eustis Historic Preservation Board meeting on March 8, 2023, the Board voted to approve the Certificate of Appropriateness (COA) application 2023-COA-06 for shed installation at 403 South Mary Street. This approval is granted subject to the condition that a fence that obstructs the view of the shed from the public right of way must enclose the area where the shed is located. In the review of the application for new construction described herein, the Historic Preservation Board has found that the proposed design is compliant with Chapter 46-227 of the City of Eustis Code of Ordinances and Ordinance No. 97.33. The site plan and other information that was provided with this COA request should be followed with the completion of this work. A signed copy of the COA approval is attached. Please include a copy with your building permit submittal and once the project is under construction, ensure that a copy of the COA is attached to your building permit at all times.

If you have any further questions, or if I can be of further assistance with any future projects, please contact me at (352) 483-5460, or via e-mail at croneyh@eustis.org. Thank you for your contribution to the Washington Avenue Historic District.

Sincerely,

Heather Croney
 Senior Planner

enc: Certificate of Appropriateness

c: Building Department
 File: 2023-COA-06

Applicant: Tuff Shed (Ivette Pereira <IPereira@TUFFSHED.COM>; crodriguezff@gmail.com;
 Naya Rodriguez <nrodriguez@tuffshed.com>; Kimberly Wilt <kwilt@TUFFSHED.com>)



**CITY OF EUSTIS
CERTIFICATE OR APPROPRIATENESS**
P.O. Drawer 68
4 North Grove Street
Eustis, FL 32727-0068
Phone: (352) 483-5460

The City of Eustis Historic Preservation Board (HPB) considered Certificate of Appropriateness application 2022-COA-06 on March 8, 2023 for property located at 403 S. Mary Street.

The application is for: Alteration Demolition Relocation **X New Construction**

Application 2022-COA-06 has been approved for construction of a new shed subject to the following conditions:

- 1. A fence that obstructs the view of the shed from the public right of way must enclose the area where the shed is located.

The basis for this decision:

In review of the application for new construction described above, the Historic Preservation Board has found that the proposed design is compliant with Chapter 46-227 of the City of Eustis Code of Ordinances and Ordinance No. 97.33.

Application approval by the City of Eustis Historic Preservation Board constitutes the granting of a Certificate of Appropriateness for the work described above and as described in the application.

STAFF LIAISON: Heather N. Croney
Heather Croney, Senior Planner

Date: March 9, 2023

Submit this form with the building permit application.
This form should be attached to the building permit at all times.
A Certificate of Appropriateness is valid for 12 months unless otherwise noted.



CITY OF EUSTIS HISTORIC PRESERVATION BOARD
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)
 4 N. Grove St., P.O. Drawer 68, Eustis, FL 32727-0068
 Phone: (352) 483-5460 Fax: (352) 357-4177 Email: planner@ci.eustis.fl.us

PLEASE SELECT ALL THAT APPLY TO YOUR PROPERTY:

- Local Landmark/Site Eustis Main Street Area
 Washington Avenue Historic District

ADDRESS OF PROPERTY: 403 S. Mary St, Eustis FL 32726

Property Owner

Print Name: Diane H Sanders
 Mailing Address: 403 S Mary St Eustis FL 32726
 Phone: 407-765-5870 Fax: _____
 Email: Diane@grannyannies.com

Applicant/Agent (if different from property owner)

Print Name: Tuff Shed
 Mailing Address: 8524 E. Colonial Dr., Orlando FL 32817
 Phone: 407-242-2444 Fax: _____
 Email: Cbelanger@tuffshed.com

I certify that all information contained in this application is true and accurate to the best of my knowledge.

Applicant/Owner: D H Sanders Date: 10/27/22

Incomplete applications will not be reviewed and will be returned to you for more information. You are encouraged to contact Development Services, at (352) 483-5460, to make sure your application is complete.

Description of Proposed Work: (Check all that apply)

- Alteration Demolition Relocation New Construction

Completely describe the entire scope of work: all changes proposed on the exterior of the building, where on the property the work will occur, how the work will be accomplished, and the types of materials to be used. For large projects, an itemized list is recommended. Attach additional pages if necessary. Please include any additional information as may be applicable to your request including such as photos, drawings, samples of materials, and producing brochures.

TB800 10x16 Site built shed,

1. Drawings Engineering
2. Product Approvals (Doors, siding, Roofing shingles + underlayment)
3. Notice of Commencement
4. Drawing of Property

OFFICIAL USE ONLY

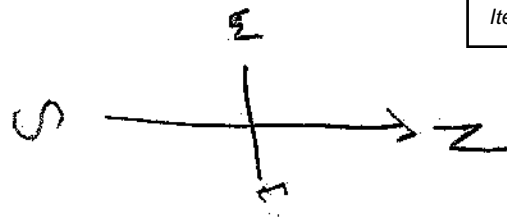
Date Received: _____ Historic Preservation Board Meeting Date: _____
 File No.: _____ Was a COA issued? Yes _____ No _____

Administrative Approval

Application Approved: _____ Approved with Conditions: _____ Application Denied: _____
 Conditions/Reasons: _____

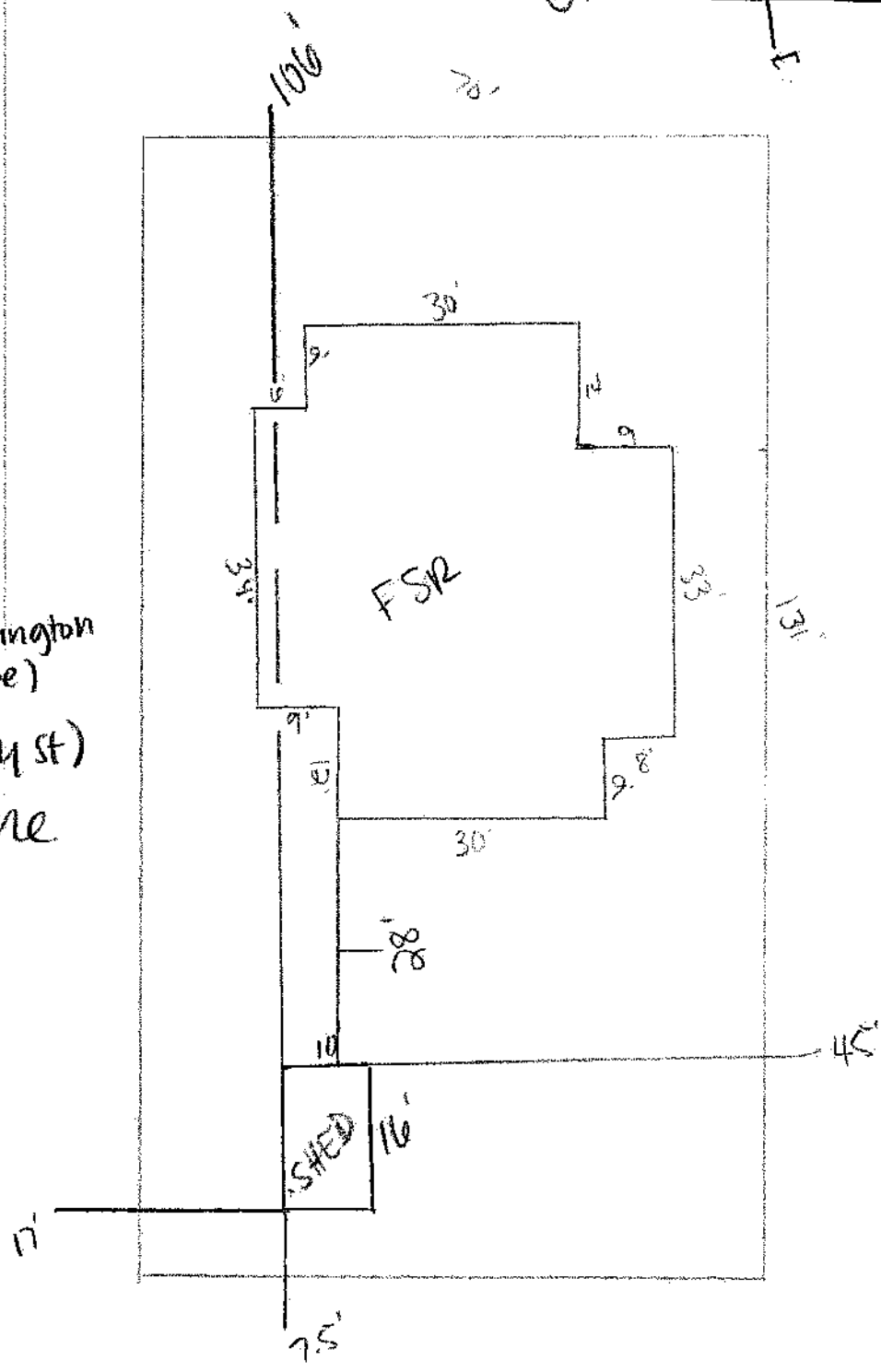
Signed: _____ Date: _____

S. Mary St.

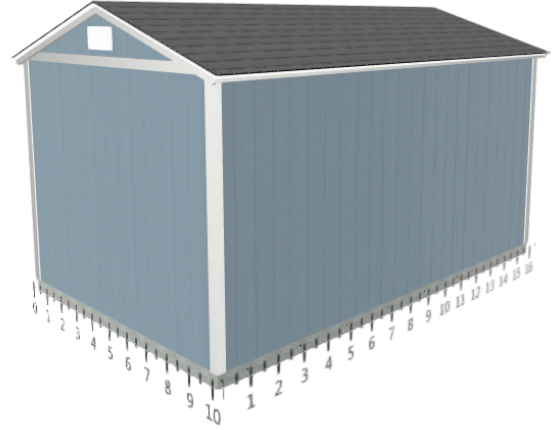
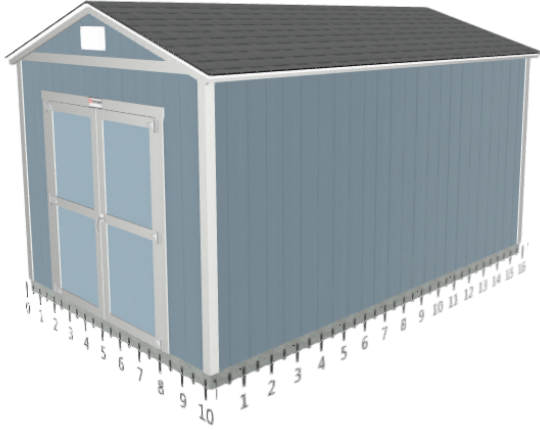


10x16 site built
shed

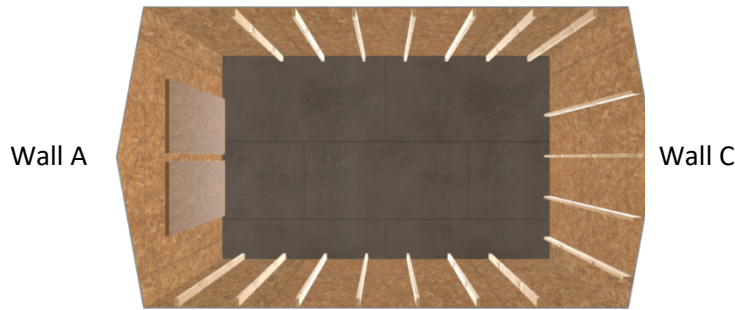
17'- side
7.5' - rear
45' - side (Washington Ave)
106' - Front (Mary St)
28' - from home



E Washington Ave



Wall D



Wall B

Base Details

Building Size & Style

TR-800 - 10' wide by 16' long

Paint Selection

Base: Seastone, Trim: Delicate White

Roof Selection

Weathered Wood Dimensional Premium Shingle

Drip Edge

White

Is a permit required for this job?

Yes

Who is pulling the permit?

Tuff Shed

Options Details

High Wind

High Wind - Home Depot

Doors

3' x 6'7" Double Shed Door (6')

Floor and Foundation

160 Sq Ft 3/4" Treated Floor Decking Upgrade
4 Ea Shed Anchor into Dirt - Auger or MR88

Vents

2 Ea 16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

Substrate Shed will be installed on?

Dirt/Gravel

DocuSigned by:

Signature: Diane Sanders Date: 2/3/2023

C941A58A7DA9411...

UNINHABITED UTILITY SHED UP TO 12' WIDE x UP TO 24' LONG SR600, TR700, PR

NOTES:

- BUILDING CODE:** FLORIDA BUILDING CODE, 7th EDITION (2020)
BUILDINGS ARE NOT FOR HIGH-VELOCITY HURRICANE ZONES (HVHZ)
- DESIGN LOADING:**
 WIND SPEED: $V_{ult} = 155$
 $V_{asd} = 120$
 EXPOSURE: C
 ROOF LIVE LOAD: 20 PSF
 ROOF DEAD LOAD: 10 PSF
 FLOOR LIVE LOAD: MIN. 50 PSF (SEE NOTE 5, DETAIL 1, SHEET 3)
 RISK CATEGORY: I
 COMPONENT AND CLADDING: ROOF: 18/-29 PSF (ZONE 1)
 WIND PRESSURE (psf) (ASD VALUES) 18/-50 PSF (ZONE 2)
 (BASED ON 10 SQ FT) 18/-74 PSF (ZONE 3)
 WALL: 31/-34 PSF (ZONE 4)
 31/-42 PSF (ZONE 5)

HEADER NAILING:
 HEADER TO STUD - 4-16d END NAIL DOUBLED HEADER
 - 16d @ 16" STAGGERED FACE NAIL

NAILING:
 REFER TO SHEET 2 FOR WALL AND ROOF SHEATHING NAILING.

MAX WALL HEIGHT FOR EACH SHED:
 SR600 - 5'-8 $\frac{1}{4}$ " (68 $\frac{1}{4}$ ")
 TR700 - 6'-8 $\frac{1}{4}$ " (80 $\frac{1}{4}$ ")
 PR - 6'-8 $\frac{1}{4}$ " (80 $\frac{1}{4}$ ")

SHED SIZE CHART				
WIDTH	PITCH	SIDEWALL HEIGHT	OVERALL HEIGHT	MID-ROOF HEIGHT
6'	4/12	5'-8 $\frac{1}{4}$ "	7'-5 $\frac{3}{16}$ "	6'-11 $\frac{1}{8}$ "
8'	4/12	5'-8 $\frac{1}{4}$ "	7'-9 $\frac{1}{16}$ "	7'-1 $\frac{1}{16}$ "
10'	4/12	5'-8 $\frac{1}{4}$ "	8'-1 $\frac{9}{16}$ "	7'-3 $\frac{1}{16}$ "
12'	4/12	5'-8 $\frac{1}{4}$ "	8'-5 $\frac{1}{2}$ "	7'-5"
6'	4/12	6'-8 $\frac{1}{4}$ "	8'-5 $\frac{13}{16}$ "	7'-11 $\frac{1}{8}$ "
8'	4/12	6'-8 $\frac{1}{4}$ "	8'-9 $\frac{1}{16}$ "	8'-1 $\frac{1}{16}$ "
10'	4/12	6'-8 $\frac{1}{4}$ "	9'-1 $\frac{9}{16}$ "	8'-3 $\frac{1}{16}$ "
12'	4/12	6'-8 $\frac{1}{4}$ "	9'-5 $\frac{1}{2}$ "	8'-5"

ROOF SHEATHING (1 $\frac{9}{32}$ " OSB OR PLYWOOD)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-18'	10d NAILS @ 12" O.C.	10d NAILS @ 4" O.C.
8'	8'-24'	10d NAILS @ 12" O.C.	10d NAILS @ 4" O.C.
10'	10'-24'	10d NAILS @ 12" O.C.	10d NAILS @ 4" O.C.
12'	12'-24'	10d NAILS @ 12" O.C.	10d NAILS @ 4" O.C.

NOTES:
 1. USE 8d COMMON OR GALVANIZED BOX NAILS.

3/8" SMARTSIDE NAILING REQUIREMENTS FOR SR600, TR700, AND PR			
SIDEWALL NAILING (MIN. 2'-0" RETURN EACH END)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-20'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
8'	8'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
10'	10'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
12'	12'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.

3/8" SMARTSIDE NAILING REQUIREMENTS FOR SR600, TR700, AND PR			
END WALL NAILING (MIN. 2'-0" RETURN EACH END)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-20'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
8'	8'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
10'	10'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
12'	12'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.

- SIDING TABLE NOTES:**
- NAILING IS FOR 3/8" SMARTSIDE PANEL OR 3/8" SMARTSIDE WITH FOIL BACKER.
 - MINIMUM 2'-0" RETURN FROM EACH END OF EACH WALL.**
 - NO SINGLE OPENING GREATER THAN 8'-0"
 - * 6' WIDE X 6'-9' LENGTH BUILDINGS ARE BASED ON 3-SIDED DIAPHRAGM. THE END WALL OPPOSITE OF THE OPENING MUST BE FULLY SHEATHED, IN THE 3-SIDED DIAPHRAGM CASES. THE END WALL WITH THE OPENING DOES NOT HAVE A MIN. RETURN WALL ON EACH SIDE OF THE OPENING.
 - USE COMMON OR GALVANIZED BOX NAILS.
 - ON THESE BUILDINGS 6' X 10' THE 3' DOOR IN THE END WALL WILL NEED TO BE OFF SET. THERE WILL BE A 2' PANEL ON ONE SIDE AND A 1' PANEL ON THE OTHER SIDE OF THE DOOR.
 - BUILDING SIZES BELOW REQUIRE SHEATHING ON BOTH SIDES OF WALL WITH OPENING (1/16" OSB ON INSIDE OF WALL):
 6'X10' WITH 3' OF OPENING ON END WALL WITH 2' OF SHEAR (SEE NOTE 6)
 8'X18'-24' WITH 3' OF OPENING ON END WALL WITH 5' OF SHEAR
 8'X16'-22' WITH 4' OF OPENING ON END WALL WITH 4' OF SHEAR
 10'X20'-24' WITH 3' OF OPENING ON END WALL WITH 7' OF SHEAR
 10'X18'-24' WITH 4' OF OPENING ON END WALL WITH 6' OF SHEAR
 10'X12'-24' WITH 6' OF OPENING ON END WALL WITH 4' OF SHEAR
 12'X20'-24' WITH 6' OF OPENING ON END WALL WITH 6' OF SHEAR
 12'X16'-24' WITH 8' OF OPENING ON END WALL WITH 4' OF SHEAR
 - NO OPENINGS ARE ALLOWED ON THE END WALLS OF 6' WIDE BUILDINGS LONGER THAN 16'. THE ENDWALL OF 6' WIDE X 10'-16' LONG BUILDINGS MAY HAVE A SINGLE 2' OPENING CENTERED ON THE WALL.

FL PRODUCT APPROVALS			
PRODUCT TYPE	MANUFACTURER	MODEL	FL PRODUCT #
SIDING (PANEL)	LP BUILDING SOLUTIONS	SIDING	FL9190.3
SIDING (LAP)	JAMES HARDIE BUILDING PRODUCTS, INC	LAP	FL10477.1
SIDING (CEMENT)	JAMES HARDIE BUILDING PRODUCTS, INC	CEMENT STUCCO	FL13223.2
IMPACT SLIDING WINDOW	ECO IMPACT SLIDER	IMPACT SLIDER	NOA 19-0219.08
SLIDING WINDOW	TAFCO CORPORATION	SLIDER	FL20743.1
TUFF SHED DOUBLE DOOR	TUFF SHED, INC.	SHED DOOR	FL22202.1
TUFF SHED DOUBLE DOOR (HVHZ)	TUFF SHED, INC.	SHED DOOR	FL22202.2
TUFF SHED SINGLE DOOR	TUFF SHED, INC.	SHED DOOR	FL22202.3
TUFF SHED SINGLE DOOR (HVHZ)	TUFF SHED, INC.	SHED DOOR	FL22202.4
STEEL DOOR INSWING	JELD-WEN	6 PANEL/3068	FL11136.1
STEEL DOOR OUTSWING	JELD-WEN	6 PANEL/3068	FL11136.2
FULL LITE DOOR	JELD-WEN	EXTERIOR DOOR	FL17454.1
9 LITE DOOR INSWING	JELD-WEN	EXTERIOR DOOR	FL12509.2
9 LITE DOOR OUTSWING	JELD-WEN	EXTERIOR DOOR	FL12509.4
FLOOD VENTS	FLOOD SOLUTIONS	FOUNDATION	FL17588.1
RIDGE VENTS	GAF COBRA RIDGE RUNNER	RIDGE VENT	NOA 17-0822.06
RIDGE VENTS	GAF COBRA RIGID VENT3	RIDGE VENT	FL6267.1
IMPACT RESISTANT OVERHEAD GARAGE DOOR	OVERHEAD DOOR CORP	GARAGE DOOR	FL14170.6
ROOF UNDERLAYMENT	GAF	FELTBUSTER	FL10626.1
ASPHALT SHINGLES	GAF	SHINGLES	FL10124.1
METAL ROOFING	MARLYN METALS, INC	MAR-RIB	FL8993



Order #: _____
 Customer: _____
 Site Address: _____
 Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

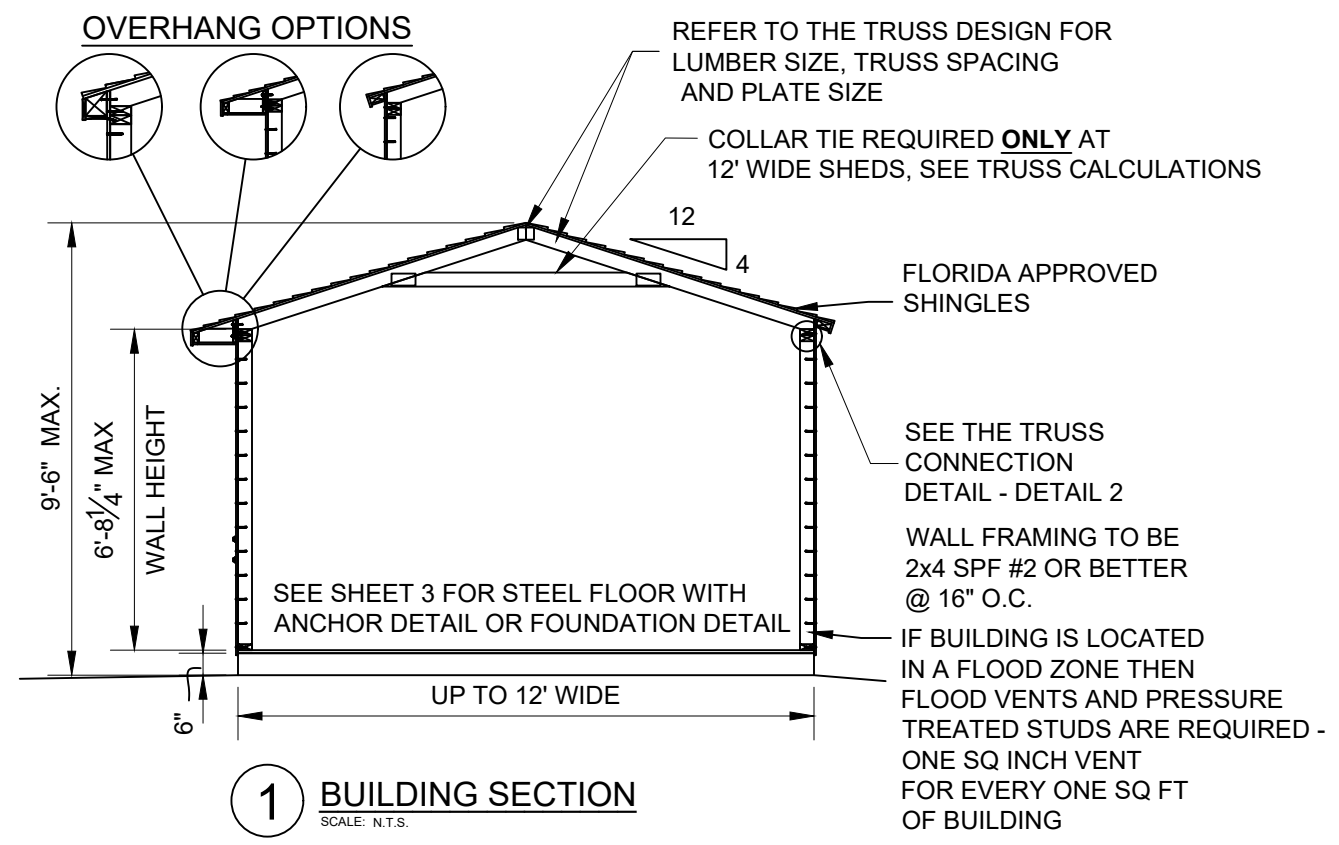
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 Date: 6/21/21
 Checked By: _____
 Date: _____
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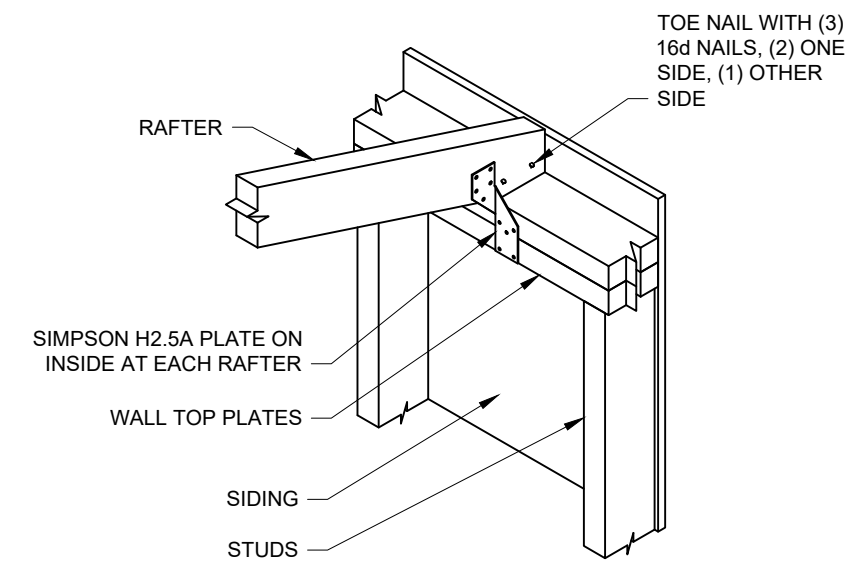
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 RWILLS@TUFFSHED.COM
 1777 S. HARRISON STREET
 DENVER, COLORADO 80210
 (303) 753-8833 EXT. 96315

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 PROJECT NOTES
 NAILING REQUIREMENTS
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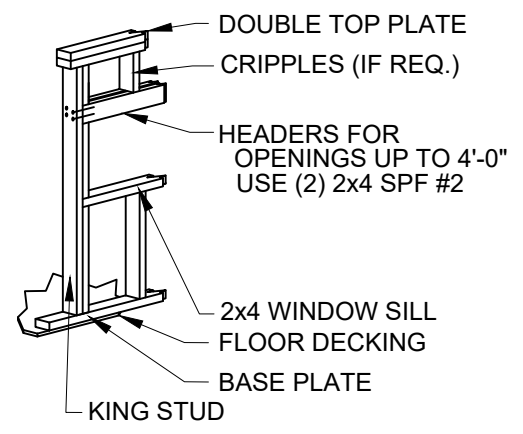
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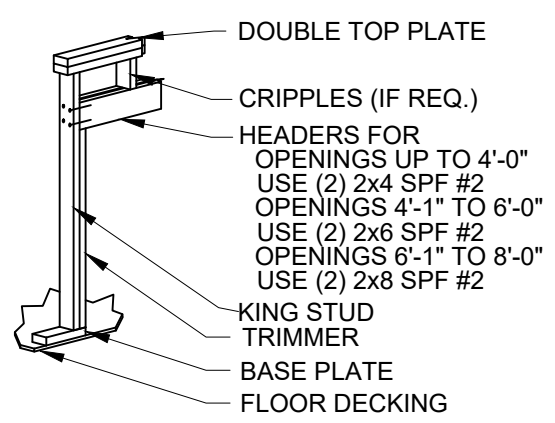
1 BUILDING SECTION
SCALE: N.T.S.



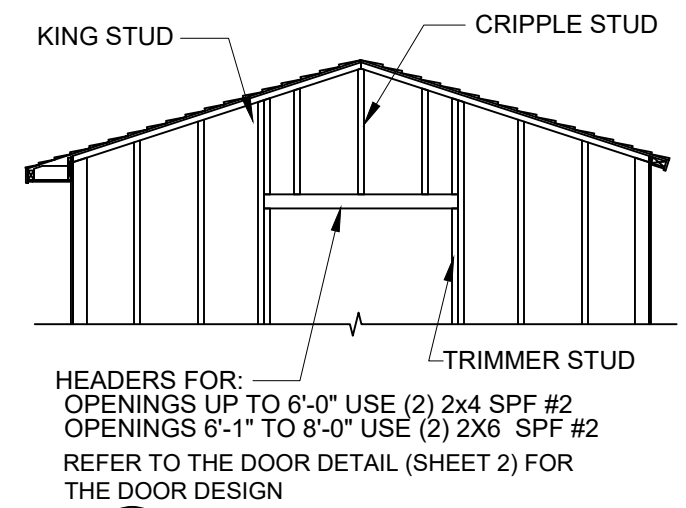
2 TRUSS TO WALL CONNECTION DETAIL
SCALE: N.T.S.



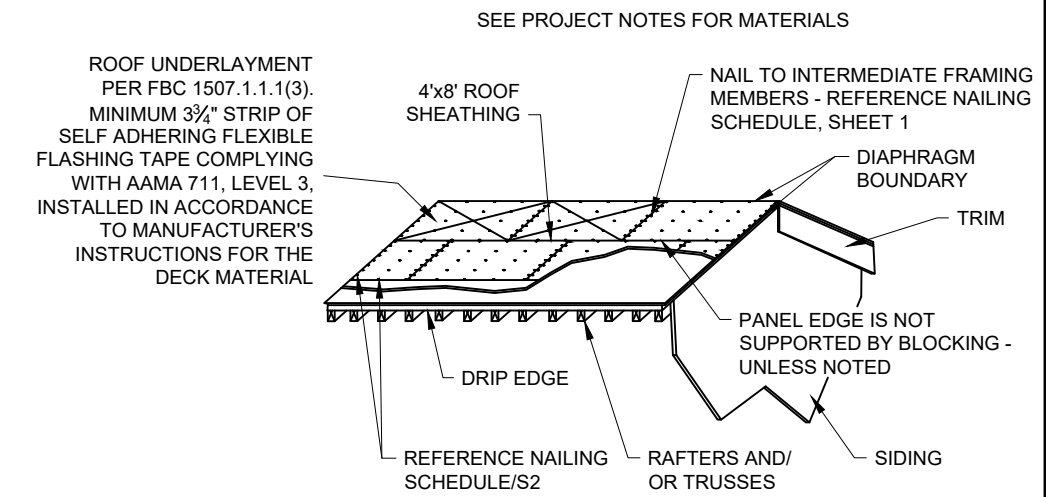
3A WINDOW HEADER DETAIL FOR SIDE WALLS
SCALE: N.T.S.



3B DOOR HEADER DETAIL FOR SIDE WALLS
SCALE: N.T.S.



4 HEADER DETAIL FOR END WALLS
SCALE: N.T.S.



5 ROOF SHEATHING AND UNDERLAYMENT DETAIL
SCALE: N.T.S.



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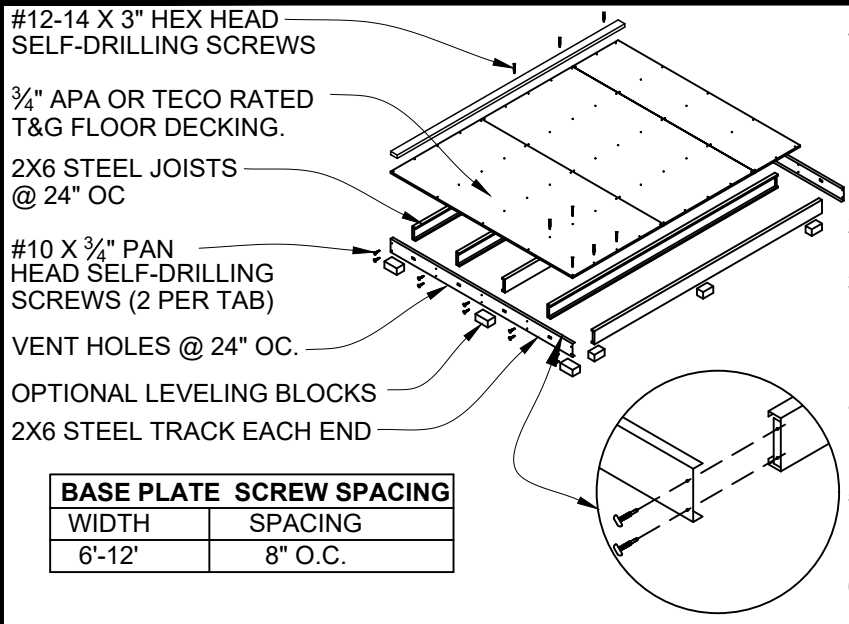
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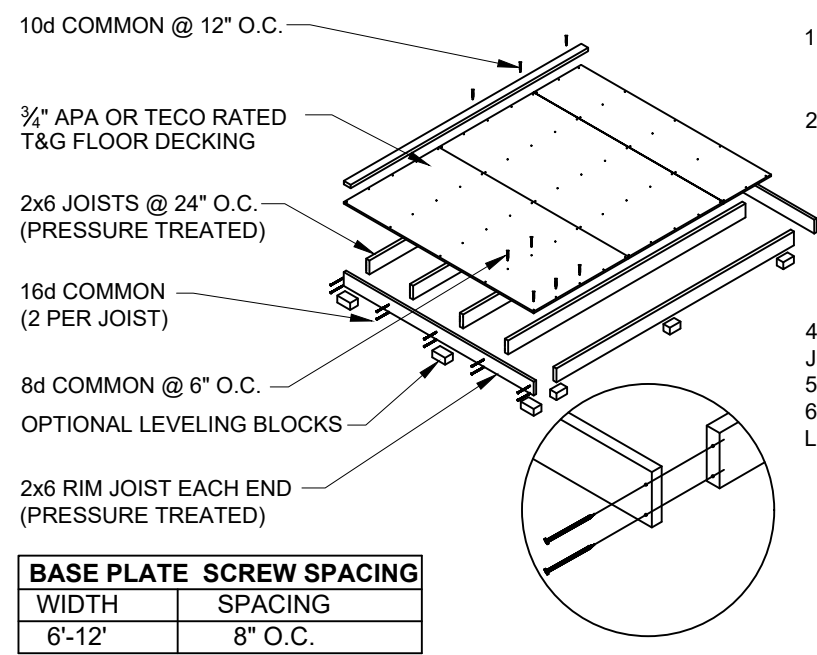
TITLE
 BUILDING SECTIONS
 HEADER FRAMING DETAILS
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1. STEEL SHED FOUNDATION:
600T125-054 - 16 GAUGE STEEL TRACKS G140 ZINC COATED
600S137-054 - 16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C.
(SUPPLIER: ALLIED STUDCO (JOIST: 600S137-054 / TRACK: 600T125-054) ICC ER-4943P.
2. 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
3. FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1 5/8" ZINC PLATED SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
4. FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #12-14 X 3" GALVANIZED SELF-DRILLING SCREWS. REFERENCE SPACING CHART.
5. ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
6. USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.
BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.

BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

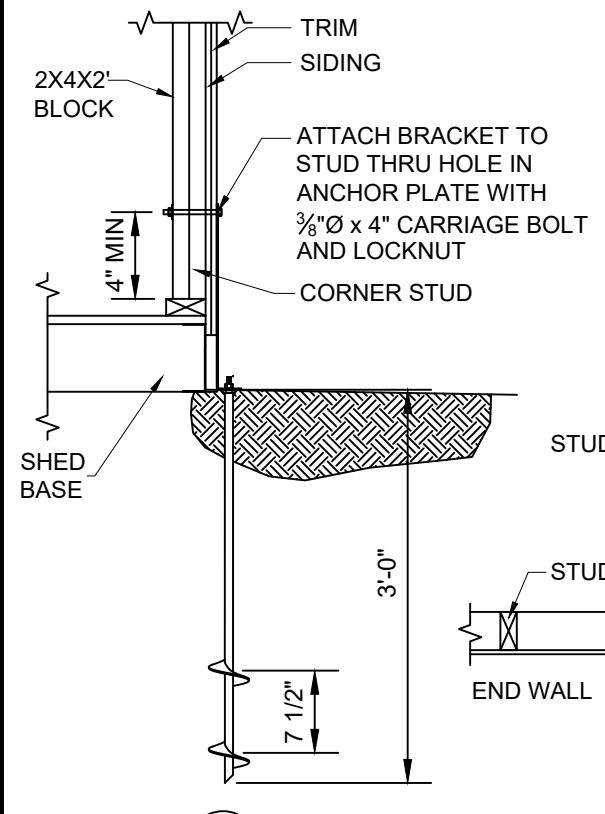


1. WOOD SHED FOUNDATION:
2x6 #2 PRESSURE TREATED SPRUCE-PINE-FIR RIM JOISTS
2x6 #2 PRESSURE TREATED SPF JOISTS @ 24" O.C.
2. 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1. NAIL PLYWOOD TO JOISTS AND RIM JOISTS:
BORDER: 8d COMMON SPACED @ 6" O.C.
EDGE: 8d COMMON SPACED @ 6" O.C.
FIELD: 8d COMMON SPACED @ 12" O.C.
4. FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR RIM JOISTS WITH 10d COMMON SPACED @ 12" O.C.
5. ALLOWABLE FLOOR LIVE LOAD: 40 PSF
6. USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.
BLOCKS UNDER RIM JOISTS SPACED @ 4'-0" O.C. MAXIMUM.

BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

1 OPTIONAL STEEL SHED BASE DETAIL
SCALE: N.T.S.

2 OPTIONAL WOOD SHED BASE DETAIL
SCALE: N.T.S.

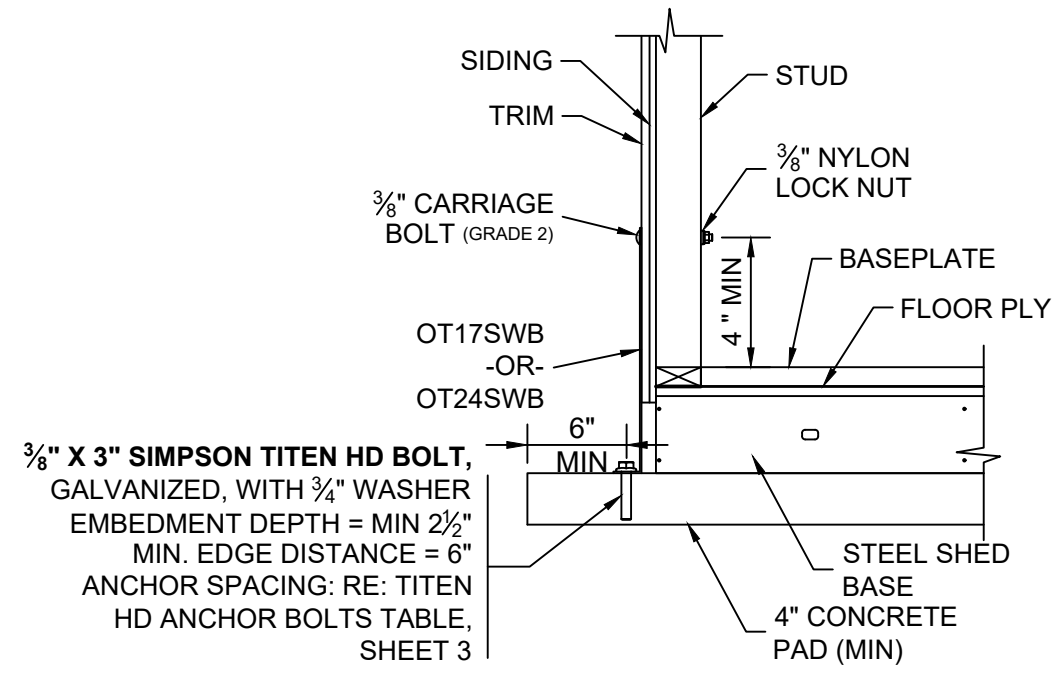


- AUGER ANCHOR COMPONENTS BY OLIVER TECHNOLOGIES**
- PART NUMBERS:
OT3644GPMP- 5/8" X 36" (36" IMBED) GALVANIZED AUGER
OT17SWB - SIDEWALL BRACKET FOR USE WITH THRU BOLTS
REPORT NO. LO-FJ90129-A
-OR-
OT24SWBSIDEWALL BRACKET FOR USE WITH THRU BOLTS
REPORT NO. LO-FJ90129-B
 - WORKING LOAD FOR ANCHOR SYSTEM IS 3,150 LBS WITH THE MAXIMUM LOAD OF 5,080 LBS

AUGER ANCHORS		
WIDTH	LENGTH	# OF ANCHORS
6'	6'-20'	4 ANCHORS
8'	8'-24'	4 ANCHORS
10'	10'-20'	4 ANCHORS
10'	22'-24'	6 ANCHORS
12'	12'-16'	4 ANCHORS
12'	18'-24'	6 ANCHORS

4-ANCHORS PROVIDE (1) AT EA. CORNER OF THE BUILDING.
6-ANCHORS PROVIDE (1) AT EA. CORNERS OF THE BUILDING AND (1) AT THE CENTER OF EA. SIDE WALL.

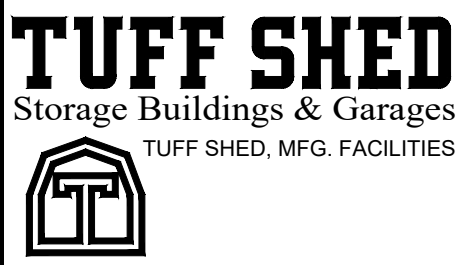
3 OPTIONAL AUGER ANCHOR DETAIL
SCALE: N.T.S.



TITEN HD ANCHOR BOLTS (INTO CONCRETE) RE: DETAIL 3 SHEET 3		
WIDTH	LENGTH	QTY
6'	6'-10'	6
6'	12'-20'	6
8'	8'-16'	6
8'	18'-24'	8
10'	10'-16'	6
10'	18'-24'	8
12'	12'-14'	6
12'	16'-20'	8
12'	22'-24'	10

- NOTES:
1. ANCHORS TO BE SIMPSON TITEN HD ANCHORS. ANCHORS MAY BE GALVANIZED OR STAINLESS STEEL.
 2. PROVIDE (1) ANCHOR AT EA. CORNER OF THE BUILDING. THE REMAINING ANCHORS EQUALLY SPACED ALONG THE LENGTH OF THE BUILDING. (1/2 THE REMAINING ANCHORS ON EA. LENGTH SIDE EQUALLY SPACED).

4 OPTIONAL SIDEWALL BRACKET DETAIL
SCALE: N.T.S.



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DETAILS

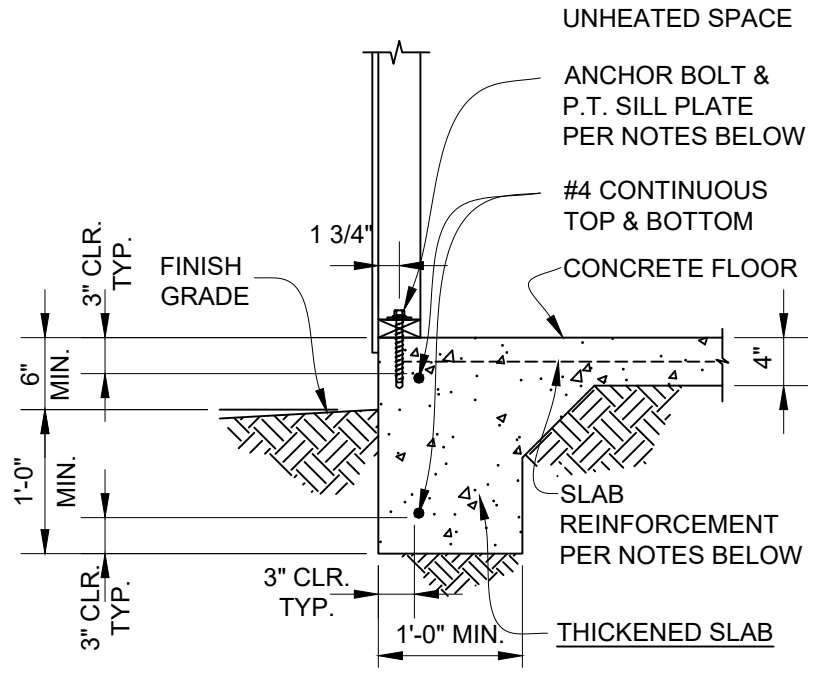
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155C

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FL-PR-SR-TR-01

REV. LEVEL 01

SHEET **3**

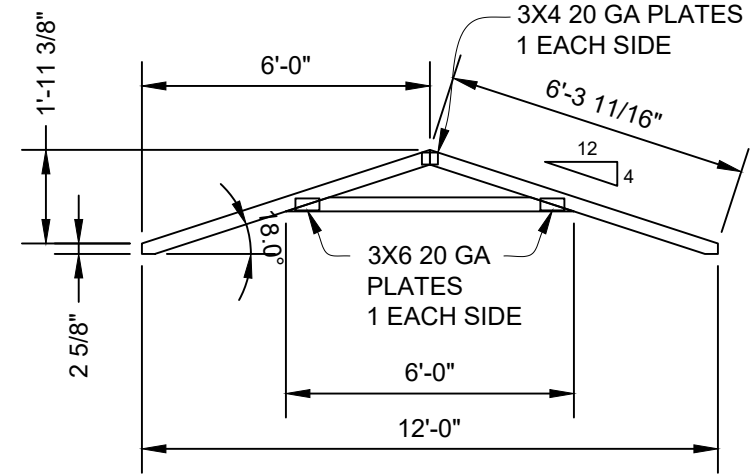
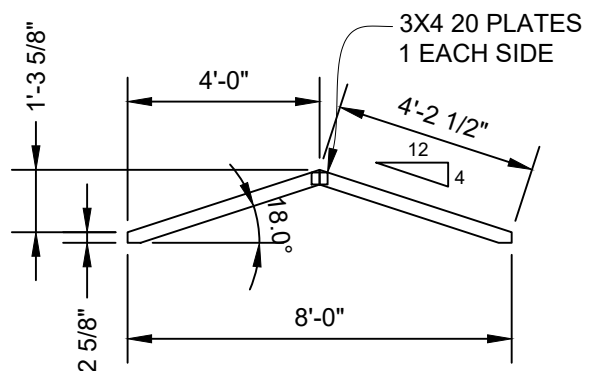
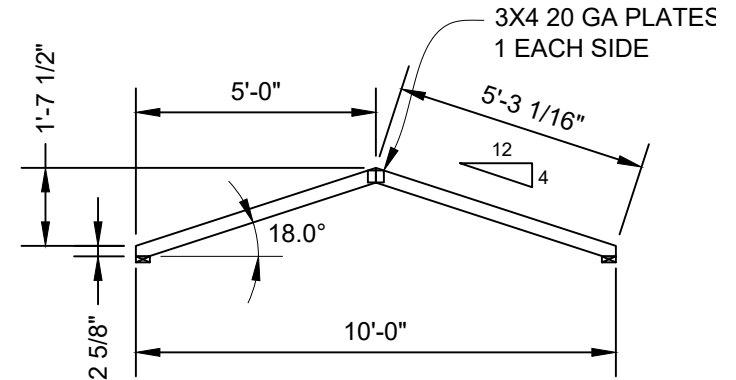
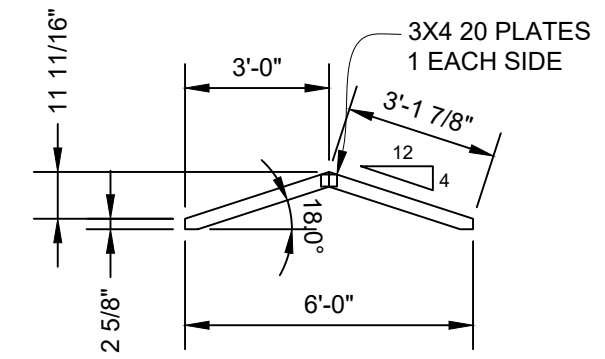
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- CONTINUOUS FOOTING NOTES**
- TOP OF SLAB TO BE 6" MIN. ABOVE GRADE. SLAB REINFORCEMENT SHALL BE WWF 6X6 W1.4xW1.4 . LOCATE AT MID-DEPTH OF SLAB. -OR- SLAB REINFORCEMENT SHALL BE FIBERMESH 150 OR BLENDED FIBERMESH150. FIBERMESH SHOULD BE DISPERSED UNIFORMLY THROUGH CONCRETE W/ MIN. 1 POUND PER CUBIC YARD OF CONCRETE.
 - ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.
 - FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL, COMPETENT SOIL, OR PROPERLY COMPACTED STRUCTURAL FILL. ALLOWABLE SOIL BEARING PRESSURE IS 1000 PSF AT 12" BELOW GRADE.
 - CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH, $f_c = 2500$ PSI.
 - REINFORCING STEEL: A615, GRADE 40 OR GRADE 60. ALL REINFORCING STEEL SHOWN TO BE CONTINUOUS MAY BE LAPPED A MINIMUM OF 38 BAR DIAMETERS OR 24" MINIMUM, WHICHEVER IS LARGER.
 - SEISMIC DESIGN CATEGORY: A
 - ATTACH PRESSURE TREATED SOLE PLATE TO THE FOOTING USING 1/2" X 8" LONG SIMPSON TITEN HD ANCHOR WITH WASHERS.
 - EXPANSION BOLTS SHALL BE EMBEDDED AT LEAST 5" INTO THE CONCRETE AND SHALL BE SPACED NOT MORE THAN 6' OC.
 - THERE SHALL BE A MINIMUM OF 2 BOLTS PER SOLE PLATE PIECE WITH 1 BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF EACH PIECE.

NOTE: FOR BUILDINGS 18' AND LONGER OR ANY BUILDING DESIGNED AS A 3-SIDED DIAPHRAGM, ADD SIMPSON SSTB16 ANCHORS AND HDU2 HOLD DOWNS AT EACH CORNER OF THE END WALLS. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.

1 OPTIONAL CONCRETE FOUNDATION DETAIL
SCALE: N.T.S.



DESIGN LOADS:
 TOP CHORD LIVE LOAD = 20 PSF
 TOP CHORD DEAD LOAD = 10 PSF
 COLLAR TIE DEAD LOAD = 5 PSF

MAXIMUM DEFLECTION (12 FT. SPAN)
 VERT LL: 0.06 in.
 VERT TL: 0.08 in.

NOTES:
 FBC, 7th EDITION (2020)
 ANSI/TPI 1-2014
 TRUSSES TO BE SPACED @ 24" OC
 MATERIAL TO BE 2X4 SPRUCE PINE FIR GRADE #2 OR BETTER
 PLATES ARE TO BE PRESSED IN THE WOOD PER TPI.

REP MEMBER INCREASE: YES
 LUMBER D.O.L.: 1.25

WIND:
 ASCE 7-16, 155 mph, Exposure C, D.O.L.=1.60

PLATES ARE MANUFACTURED BY EAGLE METAL PRODUCTS,
 ICC-ES #ESR-1082.

6' SPAN REACTIONS:
 MAX. VERTICAL: 180 LBS.
 MAX. UPLIFT: -160 LBS.

NOTE:
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 12FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

8' SPAN REACTIONS:
 MAX. VERTICAL: 240 LBS.
 MAX. UPLIFT: -195 LBS.

NOTE:
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 14FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

10' SPAN REACTIONS:
 MAX. VERTICAL: 300 LBS.
 MAX. UPLIFT: -250 LBS.

NOTE:
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 20FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

12' SPAN REACTIONS:
 MAX. VERTICAL: 390 LBS.
 MAX. UPLIFT: -285 LBS.

NOTE:
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 24FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING THIS TRUSS ARE TO DO SO IN ACCORDANCE TO THE RECOMMENDATIONS OF THE LATEST VERSION OF THE BCSI.



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SHEET 4

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HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Item 4.2

A1E Ke1
1189977

91 HISTORICAL STRUCTURE FORM

Original: X
Update:
Sitename: KARL & ACTA MANTEY RESIDENCE
Historic Contexts: BOOM TIMES
Nat'l Register Cat: BUILDING
Other Names/MSF Nos.:
County: LAKE Ownership Type: PRIVATE-INDIVIDUAL
Project Name: EUSTIS SITE SURVEY DHR#:
Site:
Recorder: DL 14-13

Location (Attach copy of USGS map, sketch-map of immediate area)

Address: 403 S. MARY STREET City: EUSTIS
Vicinity of/route to: SOUTHEAST CORNER OF S. MARY STREET AND WASHINGTON AVENUE.

Subdivision: PRESCOTT'S ADDITION Block: 28 Lot: 8

Plat or Other map:
Township: 19S Range: 26E Section: 11 1/4: 1/4-1/4:
Irregular sec?: Land Grant:
USGS 7.5' map: EUSTIS 1966 PR 1980 Easting:
UTM: Northing:
Coordinates - Latitude: D M S Longitude: D M S

History

Architect:
Builder:
Date Built: 1924 Circa: C Restoration Date(s):

Modification Date(s):
Move Date: Original Location:
Original Use: PRIVATE RESIDENCE
Present Use: PRIVATE RESIDENCE

Description

Style: FRAME VERNACULAR
Plan: Exterior: IRREGULAR
Interior: IRREGULAR
No.: Stories 1 Outbuildings 0 Porches 1 Dormers 0
Structural System(s): WOOD FRAME
Exterior Fabric(s): WOOD SHINGLE # WOOD SIDING
Foundation - Type: CONTINUOUS
Materials: CONCRETE BLOCK
Infill:
Porches:
Roof - Type: INTERSECTING GABLE Surfacing: COMPOSITION SHINGLE
Secondary Structure(s):
Chimney - Number: 0 Material:
Location:
Windows: DHS, 9/1
Exterior Ornament:
Condition: GOODS Surroundings: RESIDENTIAL

Narrative (general, interior, landscape, context; 3 lines only)

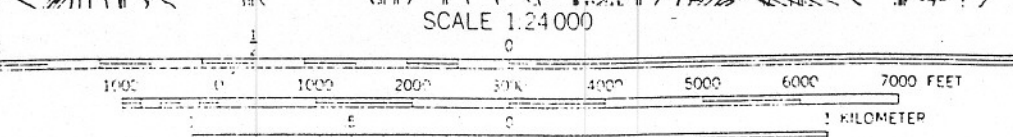
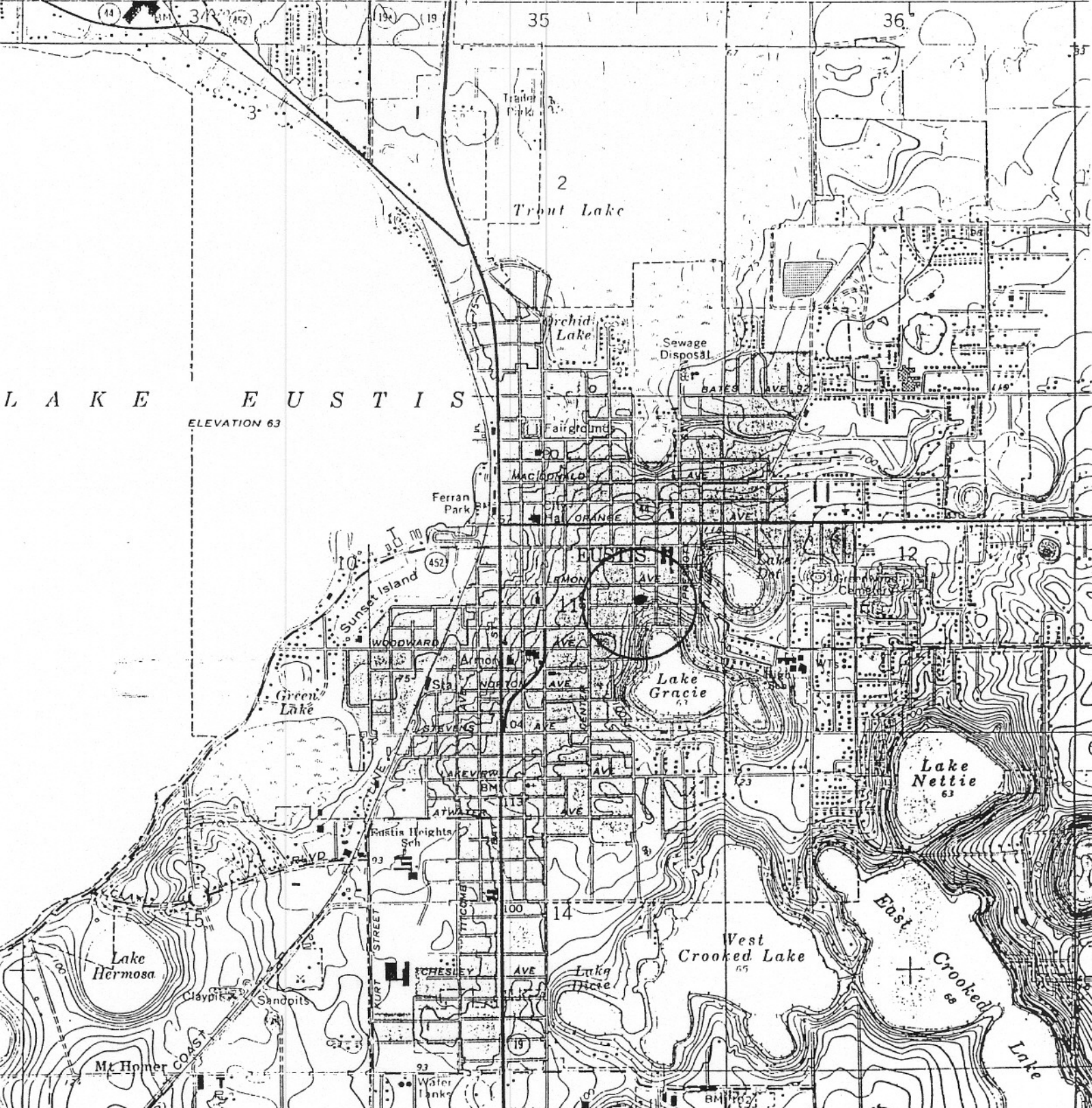
THIS FRAME VERNACULAR STYLE RESIDENCE HAS SQUARE WOOD COLUMNS SUPPORTING THE PORCH OVERHANG AND CENTRAL ENTRY. CUT-OUT WOOD IS SEEN IN THE GABLED END THAT FACES THE STREET. LOUVERED SHUTTERS GRACE THE WINDOWS AND DOOR ADDING TO ITS CHARACTER.

STATE OF FLORIDA
 STATE ROAD DEPARTMENT
 AND INTERNAL IMPROVEMENT FUND

UNITED STATES
 DEPARTMENT OF THE INTERIOR
 GEOLOGICAL SURVEY

Item 4.2

LEFSBURG 11 MI. LISBON 4.9 MI. 4641 1 NV (UMATILLA) UMATILLA 4.1 MI. 132 134 40' R. 26 E. F



CONTOUR INTERVAL 5 FEET
 NATIONAL GEODETIC VERTICAL DATUM OF 1929



FRAME VERNACULAR

One of the most common forms of architecture is Frame Vernacular. Vernacular architecture refers to a regional or “folk” architecture, built with local materials and local labor, without formal plans, and for the most economical price at the time. The Vernacular, while considered a style, is defined by its not belonging to any particular formal architectural style.

This section refers to the Frame Vernacular built in Lakeland prior to the 1940s. The section on Modern Style addresses the Vernacular styles of the Modern era.



Figure 3-1: Frame Vernacular



Figure 3-2: Frame Vernacular

Features of the Frame Vernacular Style

Plans

- Usually rectangular
- Sometimes L-shaped to maximize cross-ventilation

Foundations

- Masonry (usually brick) piers
- Spaces between piers left open to allow for ventilation and for protection from high water

Porches and Facades

- Most commonly simple entrance or end porches
- Columns are typically narrow and made of wood; usually spaced evenly across the facade, with few details
- In most cases, porches were built without railings

Roofs

- Earlier period homes have steep pitches, to accommodate attic space
- Later period homes have a lowered roof pitch
- Rafter ends are unadorned, exposed, and extend beyond the face of the wall
- Wood shingles were often used to cover the roofs in early homes
- Metal shingles or metal sheets were used on later period structures, or as a replacement roof material

Exterior

- Horizontal drop siding and weatherboard are the most common exterior wall surface materials

Windows and Doors

- Generally, double-hung sash windows made of wood
- Windows are spaced evenly along all facades
- Windows can be single-pane, or 2- or 4-pane
- Doors contain recessed wood panels

Exterior Decoration

- Sparse, limited to ornamental woodwork



City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

TO: HISTORIC PRESERVATION BOARD

FROM: HEATHER CRONEY, SENIOR PLANNER

DATE: MAY 10, 2023

RE: CERTIFICATE OF APPROPRIATENESS 2023-COA-06 CONVERSION OF A GARAGE TO AN ACCESSORY DWELLING UNIT AND EXTERIOR MODIFICATIONS AT 708 E LEMON AVE (AK 1631271)

PROPOSED PROJECT:

Amy Taylor, the owner of 708 East Lemon Avenue, is requesting Historic Preservation Board approval to convert a garage to an accessory dwelling unit, including modification of windows, doors, roof, and paint, within the Washington Avenue Historic District. The application for a Certificate of Appropriateness (see attached for complete submittal) states:

- Existing building will remain
- Replacing missing and wood rotten windows and doors with new vinyl energy-efficient Lowe's windows (white) to match existing as close as possible
- Outside walls to remain (will paint only)
- Roof to remain (will coat with silver coating)
- Door to be six-panel metal to match existing

PROPERTY INFORMATION:

Owner: Amy Taylor
 Site Acreage: 0.21 acres
 Future Land Use: Suburban Residential (SR)
 Design District: Suburban Neighborhood



CRITERIA FOR EVALUATION: EUSTIS CODE OF ORDINANCES CHAPTER 46:

Section 46-227

(l) In considering an application for a certificate of appropriateness for alteration, new construction, demolition, or relocation, the board shall be guided by the following general standards:

(1) The effect of the proposed work on the landmark, landmark site, or property within a historic district upon which such work is to be done;

The Washington Avenue Historic District includes a myriad of architectural styles as well as non-contributing structures, (see Ordinance Number 1997-33), a majority of which are Frame Vernacular. The subject property is in the colonial revival architectural style.

(2) The relationship between such work and other structures on the landmark site or other property in the historic district;

The proposed work is generally consistent with the overall property and the surrounding properties in the historic district. The existing structure will remain, but renovations will be done internally along with the replacement of some features of the structure, such as doors and windows in addition to a silver coating on the roof. The replacement windows and doors are proposed to be energy efficient, however, the images provided appear to lack some consistency with the current styles. The existing windows on the subject structure (garage to be converted to a dwelling unit) are four-pane windows,

but the new replacement windows that are proposed are single-paned. The proposed door does not match the style of the main dwelling unit on the property.

(3) The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, and materials of the landmark or the property will be affected;

As stated above, there are some gaps in consistency with the current and historic structural features.

(4) Whether the plans may be carried out by the applicant within a reasonable period of time.

If the Historic Preservation Board approves the COA, the applicant intends to move forward quickly to continue this work. This work was initially started without proper permitting nor a Certificate of Appropriateness or Conditional Use approval. The City's Land Development Regulations require conditional use approval for accessory dwelling units in the Suburban Residential land use.

(n) In considering an application for a certificate of appropriateness for new construction, the board shall consider the following additional guidelines:

(1) *Height.* The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in a historic district.

There is no height alteration proposed.

(2) *Proportions of windows and doors.* The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in a historic district.

The existing windows on the subject structure (garage to be converted to a dwelling unit) are four-pane windows, but the new replacement windows that are proposed are single-paned. The proposed door does not match the style of the main dwelling unit on the property.

(3) *Relationship of building masses, setbacks, and spaces.* The relationship of a structure within a historic district to the open space between it and adjoining structures shall be compatible.

No modification is proposed to building masses, setbacks, and spaces.

(4) *Roof shape.* The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in a historic district.

This application proposes a silver coating be applied to the existing roof.

(5) *Landscaping.* Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in an historic district.

While the applicant has not provided a landscape plan, there has been no information or indication provided regarding landscaping modifications.

(6) *Scale.* The scale of the structure after alteration, construction or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.

No modifications are proposed to the scale of the structure.

(7) *Directional expression.* Facades in historic districts shall blend with other structures with regard to directional expression. Structures in a historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction, or partial demolition shall be compatible with its original architectural style and character.

There is not proposal for modification of the directional expression.

(8) *Architectural details.* Architectural details, including materials and textures, shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The board will give recommendations as to appropriate colors for any landmark or historic district.

The proposed silver coating on the roof does not appear to be consistent with the current development of the property or the primary residence.

(9) *Impact on archaeological sites.* New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.

Not applicable.

RECOMMENDATION:

Based on the analysis above, the criteria for evaluation provided in this memorandum, and the provided renderings and site plan staff recommends that the proposal be revised and resubmitted for reconsideration.

ATTACHMENTS:

COA Application and Building Permit Submittal Documents

c: Property Owner and Applicant
Historic Preservation Board Members
File: 2023-COA-06

View from E Lemon Ave



View from Salem St







HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Item 4.3

09/07/

HISTORICAL STRUCTURE FORM

Alt key 1631271

91

Original: X
Update:
Sitename: W.H. MEYERS RESIDENCE
Historic Contexts: BOOM TIMES
Nat'l Register Cat: BUILDING
Other Names/MSF Nos.:
County: LAKE Ownership Type: PRIVATE-INDIVIDUAL
Project Name: EUSTIS SITE SURVEY DHR#:

Site:
Recorder: DL 12-13

Location (Attach copy of USGS map, sketch-map of immediate area)

Address: 708 E. LEMON AVENUE City: EUSTIS
Vicinity of/route to: SOUTH SIDE OF E. LEMON AVENUE BETWEEN SALEM AND PRESCOTT STREETS.

Subdivision: PRESCOTT'S ADDITION Block: 22 Lot: 6 MAP 69

Plat or Other map:
Township: 19S Range: 26E Section: 11 1/4: 1/4-1/4:
Irregular sec?: Land Grant:
USGS 7.5' map: EUSTIS 1966 PR 1980 Easting:
UTM: Northing:

Coordinates - Latitude: D M S Longitude: D M S

History

Architect:
Builder:
Date Built: 1924 Circa: C Restoration Date(s):

Modification Date(s):
Move Date: Original Location:
Original Use: PRIVATE RESIDENCE
Present Use: PRIVATE RESIDENCE

Description

Style: COLONIAL REVIVAL
Plan: Exterior: IRREGULAR
Interior: IRREGULAR
No.: Stories 2 Outbuildings 0 Porches 0 Dormers 0
Structural System(s): WOOD FRAME
Exterior Fabric(s): WOOD SIDING
Foundation - Type: CONTINUOUS
Materials: CONCRETE BLOCK
Infill:

Porches:
Roof - Type: GABLE Surfacing: COMPOSITION SHINGLE
Secondary Structure(s):
Chimney - Number: 1 Material: FORMED STONE
Location: W: EXTERIOR, END

Windows: DHS, 1/1
Exterior Ornament:
Condition: GOODS Surroundings: RESIDENTIAL

Narrative (general, interior, landscape, context; 3 lines only)

THIS COLONIAL REVIVAL STYLE RESIDENCE WAS BUILT IN THE POSTMEDIEVAL -ENGLISH SOUTHERN TRADITION
N STYLE IN 1924. THE FRONT PORCH ENTRY WITH FLATTENED ARCH HAS BEEN INFILLED WITH WOOD SIDING AND
NEW WINDOWS ALTERING ITS ORIGINAL CHARACTER.

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Item 4.3

09/07/

91 HISTORICAL STRUCTURE FORM

Archaeological remains at the site

FMSF Archaeological form completed?: N
Artifacts or other remains: NONE OBSERVED

Recorder's Evaluation of Site

Areas of significance: ARCHITECTURE

Eligible for National Register?: N
Significant as part of district?: N
Significant at local level?: N

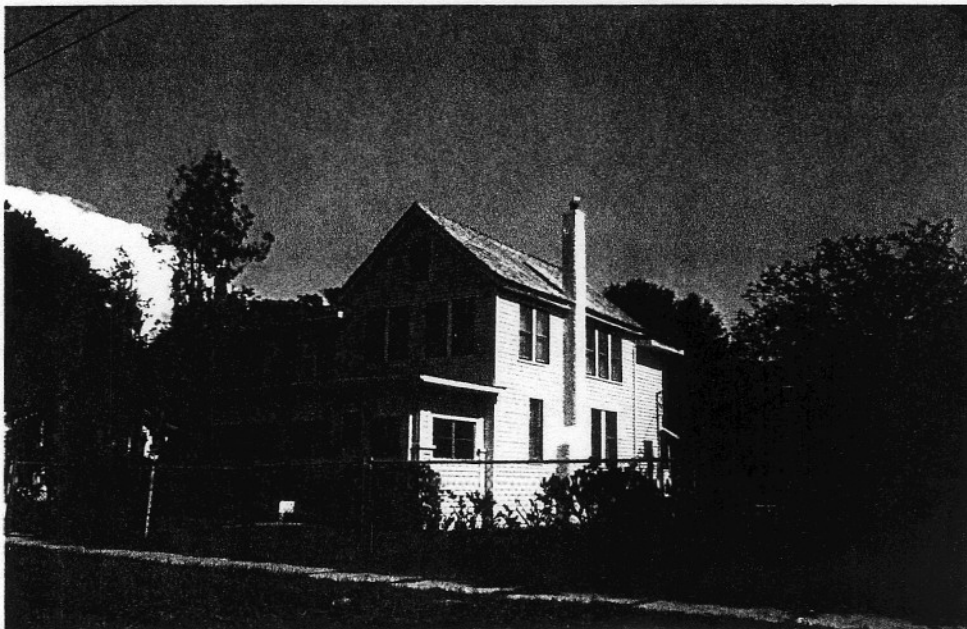
Summary of significance:

THIS RESIDENCE HAS BEEN ALTERED BUT STILL CONTRIBUTES TO THE OVERALL HISTORY AND DEVELOPMENT OF THE NEIGHBORHOOD. W.H. MEYERS RESIDED HERE FROM 1924-26. IT REMAINS IN GOOD CONDITION AND IS SURROUNDED BY LOW FOLIAGE.

*** DHR USE ONLY ***
* Keeper determination of eligibility date: / / / / *
* SHPO evaluation of eligibility date: / / / / *
* Local determination of eligibility date: / / / / *
* Office: *
*
*** DHR USE ONLY ***

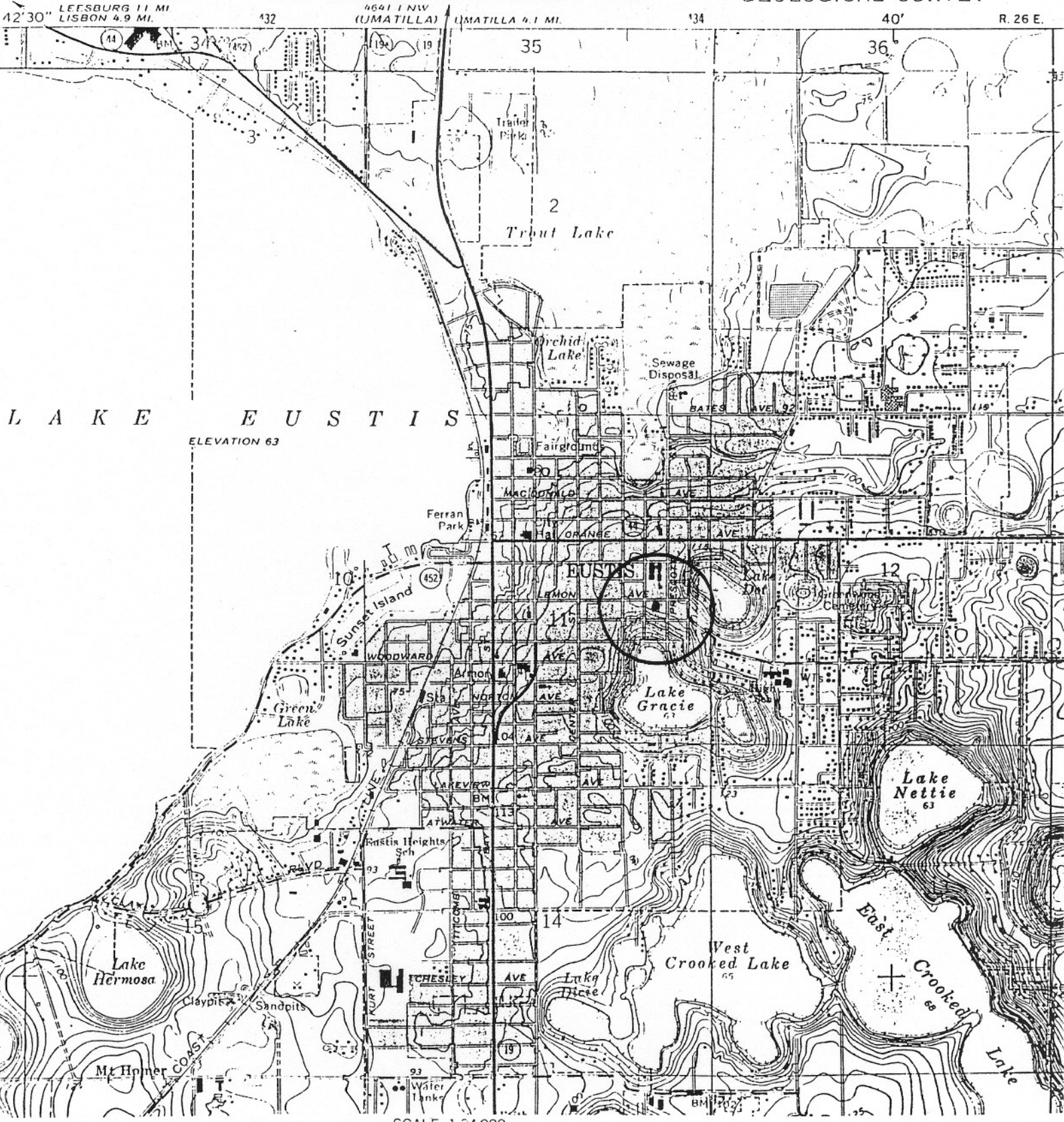
Recorder information: DONNA G LOGSDON
Date: 08/1991 Affiliation: THE HISTORIC WORKS

Photographs (Attach a labeled print bigger than contact size)
Location of negatives: EUSTIS HIST. MUSEUM
Negative numbers: 12-13



STATE OF FLORIDA
STATE ROAD DEPARTMENT
AND INTERNAL IMPROVEMENT FUND

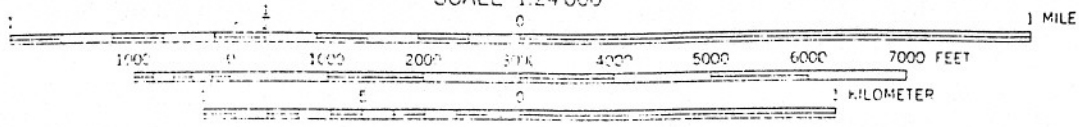
UNITED STATES
DEPARTMENT OF THE INTERIOR
GEOLOGICAL SURVEY



L A K E E U S T I S

ELEVATION 63

SCALE 1:24,000





CITY OF EUSTIS HISTORIC PRESERVATION BOARD
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)
4 N. Grove St., P.O. Drawer 68, Eustis, FL 32727-0068
Phone: (352) 483-5460 Fax: (352) 357-4177 Email: planner@ci.eustis.fl.us

PLEASE SELECT ALL THAT APPLY TO YOUR PROPERTY:

- Local Landmark/Site
- Eustis Main Street Area
- Washington Avenue Historic District

ADDRESS OF PROPERTY: 708 E. LEMON STREET. ADV

Property Owner

Print Name: Amy Taylor
 Mailing Address: 14275 SW. 161 ST. AVE PORTLAND OR 97224
 Phone: 503-347-9932 Fax: _____
 Email: AMY.TA@SMAL.COM

Applicant/Agent (if different from property owner)

Print Name: SAME AS ABOVE
 Mailing Address: _____
 Phone: _____ Fax: _____
 Email: _____

I certify that all information contained in this application is true and accurate to the best of my knowledge.

Applicant/Owner: Amy Taylor Date: 3/7/2023

Incomplete applications will not be reviewed and will be returned to you for more information. You are encouraged to contact Development Services, at (352) 483-5460, to make sure your application is complete.

Description of Proposed Work: (Check all that apply)

- Alteration
- Demolition
- Relocation
- New Construction

Completely describe the entire scope of work: all changes proposed on the exterior of the building, where on the property the work will occur, how the work will be accomplished, and the types of materials to be used. For large projects, an itemized list is recommended. Attach additional pages if necessary. Please include any additional information as may be applicable to your request including such as photos, drawings, samples of materials, and producing brochures.

EXISTING BUILDING TO REMAIN REPLACING MISSING AND
WOOD ROTTEN WINDOWS AND DOORS WITH NEW VINYL ENERGY EFF.
LOW E WINDOWS (WHITE) TO MATCH EXISTING AS CLOSE AS POSSIBLE
OUTSIDE WALLS TO REMAIN (WILL PAINT ONLY) ROOF TO REMAIN (WILL
CURT WITH SILVER COATING). ROOF TO BE COPPER METAL TO MATCH EXISTING.

OFFICIAL USE ONLY

Date Received: _____ Historic Preservation Board Meeting Date: _____
 File No.: _____ Was a COA issued? Yes _____ No _____

Administrative Approval

Application Approved: _____ Approved with Conditions: _____ Application Denied: _____
 Conditions/Reasons: _____

Signed: _____ Date: _____

Requirements for Certificate of Appropriateness Application City of Eustis, Florida

The Historic Preservation Board meets every two months at 5:30 pm in the City Commission Chambers, 10 N. Grove St., Eustis, Florida. Applications reviewed by the Board must be submitted by the deadlines indicated in Development Services Application Review Schedule.

Any exterior work, including repairs, on a Local Landmark, Landmark Site, or on a structure of property located in the Washington Avenue Historic District, must receive a Certificate of Appropriateness before the work begins. In addition to a Certificate of Appropriateness, a building permit may be required (Building Department at (352) 483-5462)

Applications submitted for review must be complete. In addition to a completed and signed application for Certificate of Appropriateness, one copy of each applicable item is required (if sized less than 11" x 17"). If items are larger than 11" x 17", then 8 copies of each are required. The requirements for each improvement type are listed:

1. Site Improvements/Driveway/Walkway/AC/Mechanical

- Drawings and site plan showing lot dimensions, location and dimensions of existing building, location and dimensions of proposed improvements.
- Description of/or samples of materials to be used.
- AC/Mechanical equipment must be screened by shrubs.

2. Replacement Windows/Doors

- Photo(s) of building facades where replacement will occur
- Photo(s) of each deteriorated windows/doors
- Dimensions of all replacement windows and doors and the existing dimensions of the openings
- Pictures (brochures of photos) of the proposed windows/doors
- Composition of proposed replacement windows/doors
- Written reason for replacement. Explanation of how the proposed replacement complies with Secretary of Interior's standard: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

3. New Construction/Additions

- Elevation drawings to scale of each façade indicating proposed alterations or additions. Drawing must clearly depict the existing building and the proposed changes
- Site plan showing lot dimensions, location and dimensions of existing building, location and dimensions of proposed addition, location of all exterior ground and roof mounted equipment
- Description and/or samples of materials to be used

- Where applicable, drawings and site plan of other improvements such as fences, walkways, lighting, decks, etc.
- Photo of existing structure

4. Replacement Siding/ Porches, Etc.

- Photo(s) of existing deteriorated materials
- Description of replacement materials
- Written reason for replacement. Explanation of how the proposed replacement complies with Secretary of Interior's standard: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

5. Underskirting/Roofs/Gutters/Downspouts

- Photo(s) of building facades impacted by improvements
- Description and/or small sample of building materials to be used

6. Awnings/Signs

- Sketch or elevation drawing of the building façade with proposed sign/awning
- Dimensioned drawing of awning/sign
- Sample of colors
- Photo(s) of building

7. Paint

- Color samples of all colors must be submitted

8. Moving Structures

- Provide a reason for the relocation
- Explain what will be moved, where, why and any proposed changes
- Include photo of the existing site and structure to be moved and the proposed relocation site
- Provide a dimensioned site plan of the new site showing the location and dimensions of the structure
- Describe any site features which will be altered as a result of the placement of the structure

9. Fences/Gates/Pergolas/Sheds/Decks, Etc.

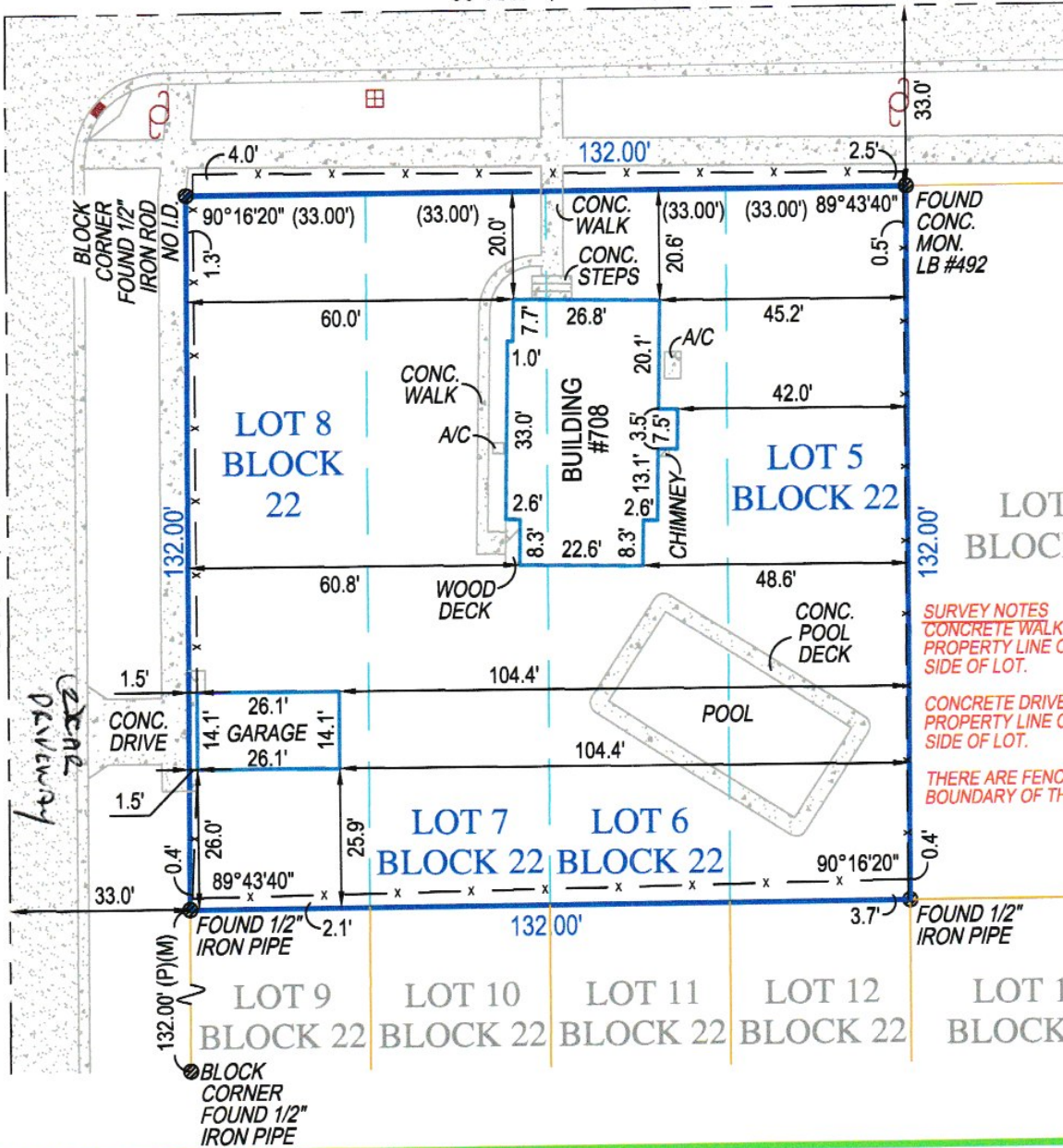
- Drawing and site plan of the property showing the location of the fence, gates and/or pergola. The plan must show applicable dimensions
- A picture of the proposed structure. This can be an elevation drawing, sketch, brochure or photo of the shed, fence, gate or pergola, etc. provided that the dimensions are included
- A description of the materials that will be used in the project
- Photo of the yard (s) in which the structure will be placed

10. Demolition of Structure

- See City of Eustis Code of Ordinances Chapter 46: Historic Preservation

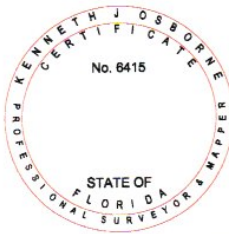
BOUNDARY SURVEY EAST LEMON AVENUE 66' R/W (IMPROVED)

SOUTH SALEM STREET
66' R/W (IMPROVED)



SCALE
1"=30'

SURVEY NOTES
 CONCRETE WALK CROSS THE PROPERTY LINE ON NORTHERLY SIDE OF LOT.
 CONCRETE DRIVE CROSS THE PROPERTY LINE ON WESTERLY SIDE OF LOT.
 THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.



SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) *Kenneth J. Osborne*
 KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415



TARGET SURVEYING, LLC

LB #7893
 SERVING FLORIDA
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>

LEGAL DESCRIPTION AND CERTIFICATION

Item 4.3

LOTS 5, 6, 7 AND 8, BLOCK 22, PRESCOTT'S ADDITION TO EUSTIS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 14, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA

A/K/A

LOTS 5, 6, 7 AND 8, BLOCK 92, CITY OF EUSTIS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 79, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

Community Number: 120134 Panel: 0356 Suffix: E Flood Zone: X Field Work: 9/24/2020

Property Address:
708 EAST LEMON AVENUE
EUSTIS, FL 32726















Survey Number: 434946

Client File Number: 708 E LEMON

ABBREVIATION DESCRIPTION:

A.E. ANCHOR EASEMENT	F.F. EL. FINISH FLOOR ELEVATION	O.R.B. OFFICIAL RECORDS BOOK
A/C AIR CONDITIONER	F.I.P. FOUND IRON PIPE	(P) PLAT
B.M. BENCH MARK	F.I.R. FOUND IRON ROD	P.B. PLAT BOOK
B.R. BEARING REFERENCE	F.P.K. FOUND PARKER-KALON NAIL	P.C. POINT OF CURVATURE
(C) CALCULATED	(L) LENGTH	P.C.C. POINT OF COMPOUND CURVE
Δ CENTRAL / DELTA ANGLE	L.A.E. LIMITED ACCESS EASEMENT	P.O.B. POINT OF BEGINNING
CH CHORD	L.M.E. LAKE MAINTENANCE EASEMENT	P.O.C. POINT OF COMMENCEMENT
(D) DEED / DESCRIPTION	(M) MEASURED / FIELD VERIFIED	P.R.C. POINT OF REVERSE CURVE
D.E. DRAINAGE EASEMENT	M.H. MANHOLE	P.T. POINT OF TANGENCY
D.H. DRILL HOLE	N&D NAIL & DISK	R/W RIGHT-OF-WAY
D/W DRIVEWAY	N.R. NOT RADIAL	(R) RADIAL / RADIUS
E.O.W. EDGE OF WATER	N.T.S. NOT TO SCALE	S.I.R. SET IRON ROD
F.C.M. FOUND CONCRETE MONUMENT	O.H.L. OVERHEAD UTILITY LINES	T.O.B. TOP OF BANK
		U.E. UTILITY EASEMENT

SYMBOL DESCRIPTIONS:

 = CATCH BASIN	 = MISC. FENCE
 = CENTERLINE ROAD	 = PROPERTY CORNER
 = COVERED AREA	 = UTILITY BOX
 = EXISTING ELEVATION	 = UTILITY POLE
 = HYDRANT	 = WATER METER
 = MANHOLE	 = WELL
 = METAL FENCE	 = WOOD FENCE

PAGE 1 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 2)

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



TARGET SURVEYING, LLC
LB #7893
SERVING FLORIDA
6250 N. MILITARY TRAIL, SUITE 102
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PHONE (561) 640-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>

PROPERTY RECORD CARD

General Information

Name: TAYLOR AMY **Alternate Key:** [1631271](#)
Mailing Address: 14275 SW 161ST AVE
 PORTLAND, OR 97224 **Parcel Number:** 11-19-26-0100-092-00500
[Update Mailing Address](#) **Millage Group and City:** 000E Eustis
2022 Total Certified Millage Rate: 20.4258
Trash/Recycling/Water/Info: [My Public Services Map](#)
Property Location: 708 E LEMON AVE EUSTIS FL, 32726 **Property Name:** --
[Submit Property Name](#)
[School Locator & Bus Stop Map](#)
School Information: [School Boundary Maps](#)
Property Description: EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SINGLE FAMILY (0100)	132	132		17424.000	FD		\$0.00	\$59,727.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

Residential Building(s)

Building 1

Residential

Building Value: \$97,408.00

Summary

Year Built: 1925 Total Living Area: 2292 Central A/C: Yes Attached Garage: No
 Bedrooms: 4 Full Bathrooms: 2 Half Bathrooms: 0 Fireplaces: 1

[Incorrect Bedroom, Bath, or other information?](#)

Section(s)

Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	Wood (01)	2.00	2292

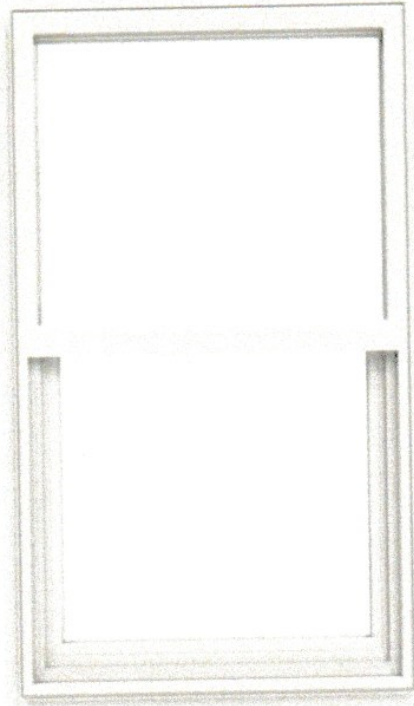
[View Larger / Print / Save](#)











WHITE

Chat Now

- Affordable, durable vinyl window with an operational bottom sash
- SunResist Low-E insulating glass with argon provides more protection against heat gain by blocking harmful...
- Top sash is stationary; bottom sash slides open vertically

Pickup & Delivery Options

FREE Pickup
Ready within 2 hours

Delivery 32159
Wed, Mar 8: From \$70.00

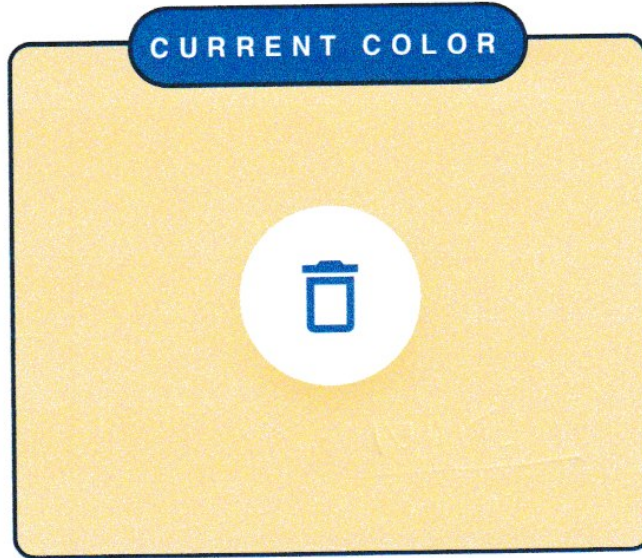
AA

lowes.com



Sunglow

Compare - Add another col



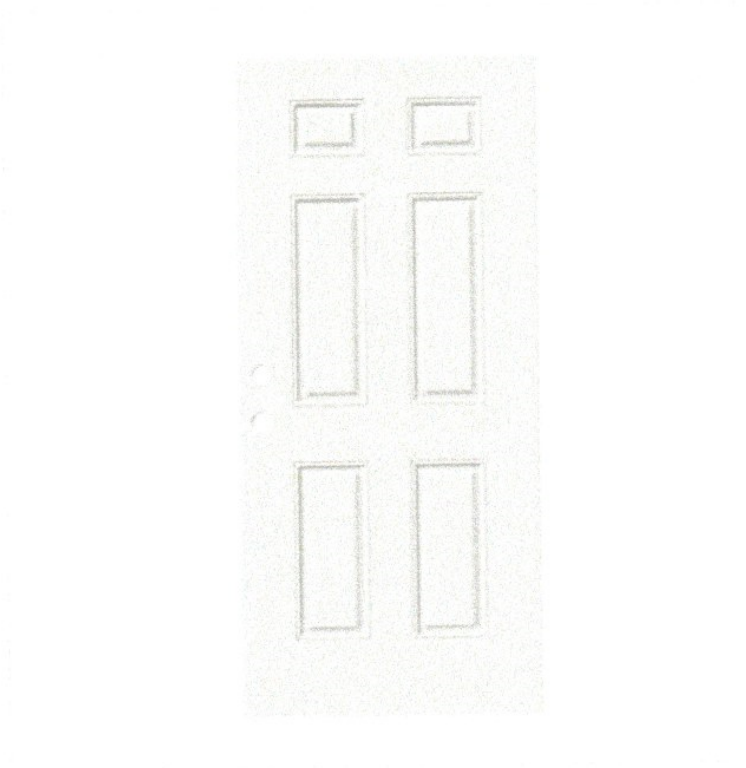
Sunglow

YELLOW TO MATCH MAIN HOUSE.

Current Color: Yellow



X  **Lowe's Home Improvement**
 Download the Lowe's app to search and shop all our products with ease. **Install**
 ★★★★★ (438K)



- Strong and durable 24-gauge steel with attractive, classic style
- Fully insulated core provides a protective barrier from heat and cold for energy efficiency and exceptional...
- Internal 12-in solid wood lock block and a hidden reinforced steel plate in the door frame improve securit...

Common Size (W x H) >
 36-in x 80-in

 [lowes.com](https://www.lowes.com)

March 6, 2023

To the Architectural Review Board:

At 708 E. Lemon Ave, we want to convert the 365 square foot single car garage (carriage house) into a studio living space. We want an on-site living space for a family member to serve as caretaker of the pool and property. The resulting conversion will be a match to the existing house in style and color. No structural elements other than windows and doors will be changed. Some of the siding will need to be replaced.

Thank you,
Amy Taylor

HAND DELIVERED P-SVE C Item 4.3



CITY OF EUSTIS -- BUILDING PERMIT APPLICATION

111 E. Orange Avenue, P. O. Drawer 68, Eustis, FL 32727-0068

Telephone: 352-483-5462---Fax: 352-589-2651

RECEIVED FEB 08 2023

Code in Effect: FLORIDA BUILDING CODE 2020, 7th Edition

Property Owner Amy Taylor
Mailing Address 14275 SW 16th Ave
Phone
City Palmdale OR. Zip
State Fax

Contractor(Applicant) JAMES SVENSON
License Holder SVENSON CONSTRUCTION INC.
License Number CBC1250553
Address 1715 HERMIT SMITH RD
City APOPKA State FL Zip 32712
Phone 321-291-5453 Fax
E-mail Address: SVENSONCONSTRUCTION@gmail.com

Project Address 708 EAST LOMA STREET Alt. Key # 1631271
Subdivision Phase Blk Lot

Responding to a Code Violation? Yes No Within a Historic District? Yes No
Is property in a Floodplain? Yes No If "Yes" Base flood elevation must be provided on your Site Plan.

Contract Price/Value: \$ 25,000 Proposed Project Description/Scope:

RENOVATION TO EXISTING GARAGE

It is agreed that in all respects the work will be performed & completed in accordance with the permitted and applicable codes of the local jurisdiction. This permit may be revoked at any time upon violation of any of the provisions of said laws, ordinances, or rules & regulations, or upon any unauthorized change in the original approved plans. This permit becomes invalid if an inspection for permanent construction is not requested within 180 days or more than 6 months has elapsed between inspections.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other government entities, such as water management districts, state agencies, or federal agencies.

I certify that, per Chapter 469, F.S., Asbestos Abatement, I will contact FDEP and provide the Notice of Asbestos Renovation or Demolition Form, and will comply with all requirements, including, but not limited to, conducting a thorough asbestos inspection prior to the commencement of demolition or renovation.

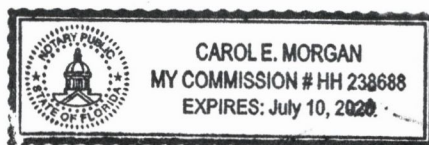
I DO HEREBY SWEAR THAT THE INFORMATION CONTAINED HEREIN AND THE ATTACHMENTS HERETO ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

SIGNATURE (Contractor/Applicant) [Signature] DATE 2/8/23

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this 8th day of FEB. 20 23 by JAMES SVENSON who is personally known to me or who has produced [Signature] as identification.

[Signature]
Notary Public



Permit # 3709722

BUILDING PERMIT APPLICATION - PAGE 2

CONTRACTOR—PLEASE COMPLETE INFORMATION AND SIGN IN APPROPRIATE BLOCK BELOW. BY SIGNING BELOW, I HEREBY SWEAR THAT I AM IN COMPLIANCE WITH FLORIDA'S WORKER'S COMPENSATION LAW AND THAT I HAVE SECURED COVERAGE OR HAVE A VALID CERTIFICATE OF EXEMPTION.

Building Contractor: SVENSA CONSTRUCTION INC. M/H Set-up Contractor:
State/Cert/Reg # CBC1250553
Address 1915 HERMIT SMITH RD.
City APOKA FL.
State FL. Zip 32712
Phone 321-299-5453 Fax
Cell Email:
Signature [Signature] Email: SVENSA.CONSTRUCTION@MAIL.COM

Plumb Contractor: HVAC Contractor: (*)
State/Cert/Reg #
Address
City
State Zip
Phone Fax
Cell Email:
Signature

Elec. Contractor: LP Gas Contractor:
State/Cert/Reg #
Address
City
State Zip
Phone Fax
Cell Email:
Signature

Specialty Contractor: Engineer/Architect:
State/Cert/Reg #
Address
City
State Zip
Phone Fax
Cell Email:
Signature

(*) NOTE TO HVAC CONTRACTOR: FLORIDA BUILDING CODE - ENERGY EFFICIENCY, REQUIRES THAT THE CONTRACTOR PROVIDE MANUAL J & MANUAL N ON ALL NEW CONSTRUCTION AND REPLACEMENT HVAC SYSTEMS ; CONTRACTOR MUST ALSO PROVIDE CERTIFICATION THAT ALL DUCTWORK HAS BEEN INSPECTED AND ALL NECESSARY REPAIRS/TAPING HAVE BEEN COMPLETED.

Approved by _____ Date: _____



Building Code in Effect:
2020 (Seventh Edition) Florida Building Code

BUILDING PERMIT APPLICATION - PAGE 3

Permit Number: _____

Important!

Yes No (Check one) I am filling and /or excavating the property. If yes, provide the Finish Floor Elevation (FFE) , lot corner elevations and drainage plan for the site. Depending on the type of development, not all information will be required. Note: Failure to respond correctly will make you personally liable for future damages.

III. OWNER & LENDER INFO			
A. OWNER OR LESSEE		EMAIL ADDRESS	FAX NO.
NAME		TELEPHONE NO.	
MAILING ADDRESS	CITY	STATE	ZIP CODE
B. BONDING/MORTGAGE NAMES			
Fee Simple Titleholder, Bonding Company, Mortgage Lender and Design Professional information is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is \$2,500 or more (except HVAC repair/replacement > \$7,500).			
NAME	ADDRESS,	CITY,	STATE & ZIP TELEPHONE NO.
FEE SIMPLE TITLEHOLDERS (IF OTHER THAN OWNER)		<input type="checkbox"/> SAME AS OWNER	
BONDING COMPANY <input type="checkbox"/> NOT APPLICABLE			
MORTGAGE LENDERS <input type="checkbox"/> NOT APPLICABLE			
DESIGN PROFESSIONAL	LICENSE #		
		PRIMARY CONTACT EMAIL ADDRESS	PRIMARY CONTACT CELL PHONE NO.

AGENT/APPLICANT'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE
CITY OF EUSTIS

BEFORE ME, the undersigned authority personally appeared Amy Taylor
who being by me first duly sworn on oath, deposes and says:

1. That he/she Affirms and Certifies that he/she understands and will comply with all Ordinances, Regulations, and Provisions of the City of Eustis, and that all statements and diagrams submitted herewith and attached hereto, are true and accurate to the best of their knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the City of Eustis, Florida, and are **Not Returnable**.
2. That he/she desires **City Commission** approval for the use of property as proposed, for the property legally described on this Application.
3. That the submittal requirements for this Application, which are attached hereto, have been completed and attached hereto as part of this Application.

Amy Taylor
(Agent/Applicant's Signature)

STATE OF FLORIDA
COUNTY OF LAKE
CITY OF EUSTIS

The foregoing instrument was acknowledged before me this 26 day of January, 2023, by Amy Taylor, who is personally known to me or who has produced Oregon DL as identification.

(SEAL)

Mariah Lester
Notary Public (Signature)

Mariah Lester
Print or type Notary Name



MARIAH LESTER
Commission # HH 133877
Expires June 18, 2025
Bonded Thru Budget Notary Services

Commission (serial) Number HH 133877

My Commission Expires: June 18, 2025

PROPERTY RECORD CARD

General Information

Name:	TAYLOR AMY	Alternate Key:	1631271
Mailing Address:	14275 SW 161ST AVE PORTLAND, OR 97224 Update Mailing Address	Parcel Number:	11-19-26-0100-092-00500
		Millage Group and City:	000E Eustis
		2022 Total Certified Millage Rate:	20.4258
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	708 E LEMON AVE EUSTIS FL, 32726	Property Name:	-- Submit Property Name
		School Information:	School Locator & Bus Stop Map School Boundary Maps
		Property Description:	EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244

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Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	Wood (01)	2.00	2292
View Larger / Print / Save			



WWW.CREATIVEFUEL.CO.COM

AMY TAYLOR COTTAGE
RENOVATION
718 E Lemon Street, Eustis

ISSUE DATE SCHEDULE	
0	DATE DESCRIPTION
R1	CD SET

INDEX OF DRAWINGS	
0	SHEET DESCRIPTION: INTERIOR DESIGN
A1.1	COVER SHEET
A3.1	FIRST FLOOR PLAN
E1.1	ELECTRICAL

GENERAL NOTES

DESIGN REQUIREMENTS

WIND DESIGN LOAD INFORMATION:
(PER FBCR 2017 6th EDITION R301, REF. ASCE 7-10)
BASIC WIND SPEED (V_W) = 139 MPH (3 SECOND GUST)
(V_W) = 166 MPH (3 SECOND GUST)
BUILDING CATEGORY = II (ASCE 7-10)
WIND EXPOSURE (ALL SIDES) = B (ASCE 7-10)
INTERNAL PRESSURE COEFFICIENTS (ASCE 7-10)
ENCLOSED BUILDINGS +/- 0.18
PARTIALLY ENCLOSED BUILDINGS + +/- 0.56
(NOTE: COEFFICIENTS FOR PARTIALLY ENCLOSED STRUCTURES ARE APPLIED WHEN DESIGN OF MEMBER(S) FALLS UNDER ASCE 7-10 DEFINITIONS CLASSIFYING AS SUCH)
ALL COMPONENTS AND CLADDING NOT SPECIFIED ON PLANS SHALL BE DESIGNED TO WITHSTAND THE FOLLOWING PRESSURES (ASD):
FOR WALL LOCATIONS +1.2 PSF, -28.3 PSF
FOR ROOF LOCATIONS +12.2 PSF, -49.9 PSF

PREFABRICATED WOOD TRUSSES

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS
- TRUSSES SHALL BE DESIGNED BY MWFRS METHODOLOGY FOR LONG SPAN TRUSSES TO DETERMINE UPLIFT AND REACTION VALUES, MEMBER AND PLATE DESIGN TO BE CALCULATED BY COMPONENTS AND CLADDING METHOD UNLESS SPECIFIED OTHERWISE BY TRUSS ENGINEER OF RECORD
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND DESIGN LOADS
- BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY TRUSS MANUFACTURER UNLESS NOTED ON PLANS
- TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN BUT SHALL BE DESIGNED BY TRUSS MANUFACTURER IN ACCORDANCE WITH THE DESIGN LOADS

TRUSS DESIGN LOADS
TOP CHORD: LL = 10 PSF
(TRUSS MFR. MAY TAKE REDUCTION FOR 6:12 SLOPES OR GREATER)
DL = 10 PSF (SHINGLE TYPE ROOF COVER)
DL = 16 PSF (LOW SLOPING MEMBRANE TYPE ROOF COVER)
DL = 14 PSF AT OVERSILT
BOTTOM CHORD: LL = 10 PSF
BOTTOM CHORD: DL = 10 PSF
WIND LOAD: SEE DESIGN REQUIREMENTS

- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS, WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS AND ALL TRUSS TO TRUSS HANGERS
- PROVIDE ADDITIONAL BRACING AND BLOCKING PER BCSS-1-03 AND TRUSS MANUFACTURER'S DRAWINGS

PROJECT NOTES

BUILDING DATA

2020 Florida Building Code Residential 7th Edition
2020 Florida Building Code existing 7th Edition
NFPA- 70 (NEC) 2017 Edition
2017 FBC Residential, 7th Edition- Electric

CLASSIFICATION REPAIR

SCOPE OF WORK

SITE LOCATION MAP

WOOD CONSTRUCTION

- WOOD CONSTRUCTION SHALL CONFORM THE NFPA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION (NDS)
- ALL EXTERIOR WOOD STUD WALLS BEARING WALLS, SHEAR WALLS AND MISC. STRUCTURAL WOOD FRAMING MEMBERS (I.E. BLOCKING OR GABLE END BRACING) SHALL BE SPRUCE PINE FIR OR EQUIVALENT, NO 2 GRADE SHALL BE USED REGARDLESS OF SPECIES
- ALL 2X8's OR DEEPER MEMBERS TO BE SOUTHERN PINE NO 2 GRADE
- ALL TRUSS MEMBERS (I.E. TOP & BOTTOM CHORD, WEBS) TO BE SOUTHERN PINE NO 2 GRADE
- PRESERVATIVE-TREATED WOOD WITH FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH AWPA M11
- USE OF PRESERVATIVE-TREATED WOOD OR NATURAL DURABLE WOOD SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER FBCR R31-7

- JOISTS WHEN CLOSER THAN 18" OR GIRDERS CLOSER THAN 12" FROM GRADE
- FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATIONS LEES THAN 8" FROM GRADE
- SILLS AND SLEEPERS ON CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND (UNLESS SEPARATED BY MOISTURE BARRIER)
- ENDS OF GIRDERS ENTERING CONCRETE OR MASONRY WALLS HAVING CLEARANCES OF LESS THAN 1/2" ON TOP, SIDES AND ENDS
- SIDING, SHEATHING AND WALL FRAMING ON EXTERIOR OF BUILDING HAVING LESS THAN 8" FROM GRADE OR 2" MEASURED VERTICALLY FROM CONCRETE SLAB, STEP OR SIMILAR HORIZONTAL SURFACE EXPOSED TO WEATHER
- FURRING STRIPS OR FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR SIDE OF THE EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE (UNLESS SEPARATED BY MOISTURE BARRIER)
- MEMBERS IN CONTACT WITH GROUND OR EMBEDDED IN CONCRETE EXPOSED TO WEATHER SHALL BE APPROVED PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT
- MEMBERS EXPOSED TO WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE ACCUMULATION ON THE SURFACE OR JOINTS BETWEEN MEMBERS

*NOTE: IT IS RECOMMENDED TO USE PRESERVATIVE-TREATED LUMBER OR A MOISTURE BARRIER FOR ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY

SVENSON CONSTRUCTION INC
CBC1250553

RALPH C MERVINE
Digitally signed by RALPH C MERVINE
Date: 2023.02.07 06:29:20 -05'00

This item has been digitally signed and sealed by RALPH CARTER MERVINE on the date adjacent to the seal
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

BUILDING DATA

Living area 400 sf

ISSUE DATE	APPROVED BY: JDB

COVER SHEET GENERAL NOTES

A1.1



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AMY TAYLOR COTTAGE
RENOVATION
718 E Lemon Street, Eustis

GENERAL NOTES: UNITS

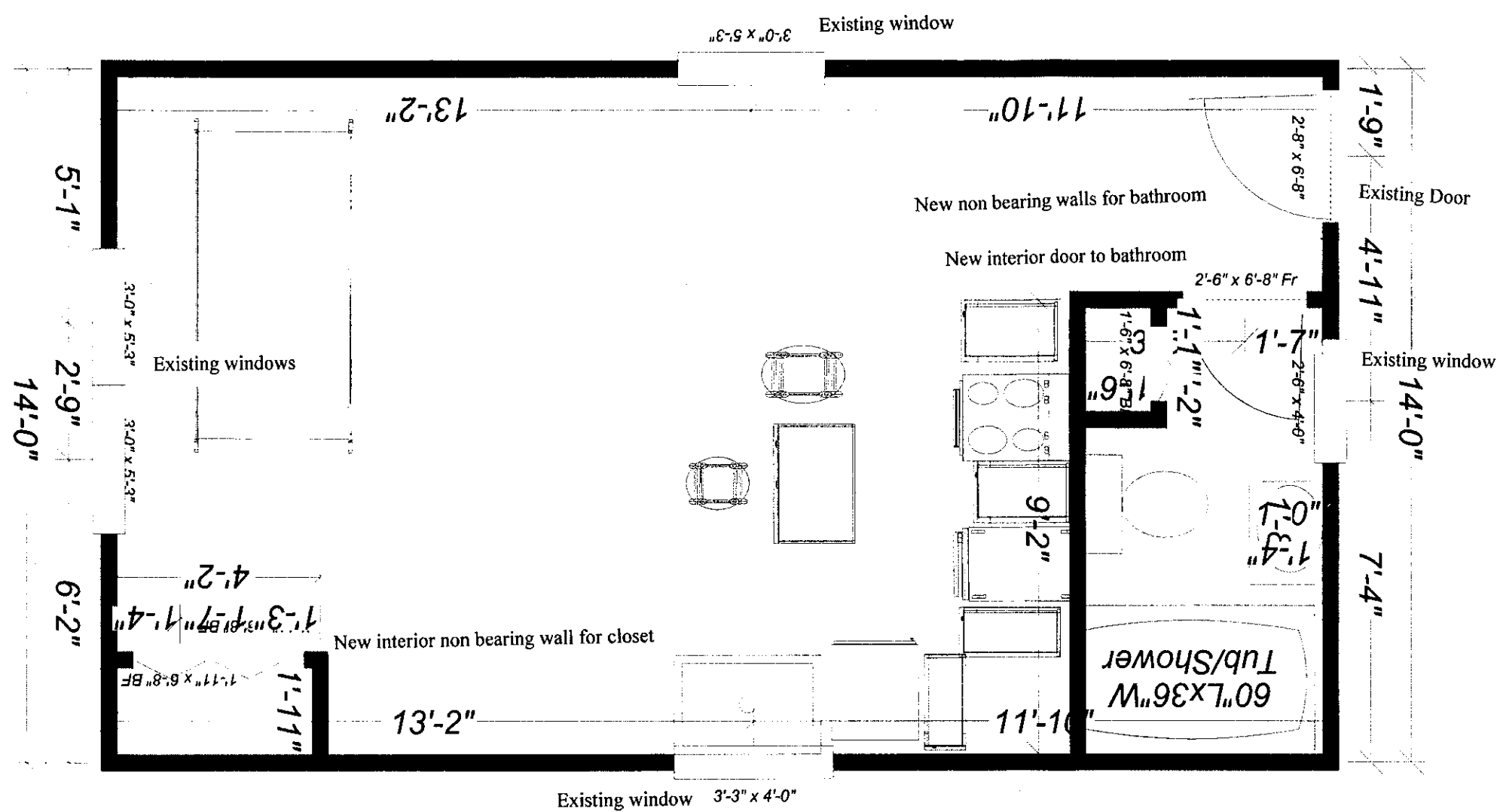
- A. ALL DIMENSIONS ARE APPROXIMATE AND TO BE FIELD VERIFIED.
 - B. SQ FT. CALC'S : TOTAL UNDER ROOF
1. WINDOWS AND DOOR SUPPLIERS SHALL PROVIDE CURRENT ROUGH OPENING INFO WHICH SHALL HAVE PRECEDENCE OVER THE WINDOW AND DOOR SCHEDULES AND DOORS TO COMPLY WITH THE 2020 FBC 7th edition energy efficiency code
 2. DO NOT SCALE PLANS DIMENSIONS ARE TO BE FOLLOWED AS NOTED.
 3. G.C. TO VERIFY ALL DIMENSIONS WITH FIXTURES TO BE INSTALLED TO ENSURE COMPLIANCE.
 4. H.V.A.C. SYSTEM TO BE SIZED AND DESIGNED BY H.V.A.C CONTRACTOR
 5. REFER TO FLOOR PLAN FOR CEILING HEIGHTS.
 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT SITE BEFORE PROCEEDING WITH AND WORK.
 7. NOTES INDICATED TYPICAL CONDITIONS SHALL APPLY TO ALL LIKE AREAS UNLESS NOTED OTHERWISE
 8. IF WATER BASED CEILING TEXTURE IS USED, PROVIDE 1/2" GYPSUM BOARD FOR 16" O.C. FRAMING OR 5/8" GYPSUM BOARD FOR 24" O.C. FRAMING (1/2" SAG-RESISTANT GYPSUM BOARD MAY BE USED I.L.O OF 5/8" GYPSUM)
 9. ANCHOR THE CONDENSER UNIT TO SLAB USING 1/4"X1 1/4" TAPCOMS TO ATTACH 4" L BRACKETS INTO THE PAD AND THEN USE 3/4" LONG HEX SCREWS (2) ON EACH CORNER TO ATTACH THE "L" BRACKETS TO THE EQUIPMENT.
 10. G.C. TO VERIFY WITH WINDOW MANUFACTURER THAT ALL WINDOWS MARKED AS EGRESS HAVE A NET CLEAR OPENING OF 5 S.F. IF LOCATED AT GRADE FLOOR OR 5.7 S.F. AT OTHER FLOORS (LE 2ND FLOOR). A 24" MINIMUM CLEAR OPENING HEIGHT AND A 20" MINIMUM CLEAR WIDTH ARE REQUIRED.
 11. PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2005 OR F2000 FOR OPERABLE WINDOWS LOCATED MORE THAN 7'2" ABOVE FINISHED GRADE OR SURFACE BELOW, AND IF THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LOCATED WITHIN 24" OF THE FINISH FLOOR OF THE ROOM.
 12. EXTERIOR GLAZED OPENING LOCATED IN WIND-SCRIBE DEBRIS REGIONS SHALL BE PROTECTED PER FBCR 207 SEC. 301.2.1.2

KEYNOTES:

- Exterior walls, roof are existing
- Exterior windows and doors are existing
To be replace with same size and location

SYMBOL LEGEND

SYMBOL DESCRIPTION



1 FLOOR PLAN
Scale: 1/4" = 1'-0"

SCOPE

- Install interior cabinets in kitchen and bathroom
- Install R-13 batt insulation in exterior walls
- Install R-38 batt in ceilings
- Install 1/2" drywall on walls and ceiling
- Install interior trim and doors interior

SVENSON CONSTRUCTION INC
CBC1250553

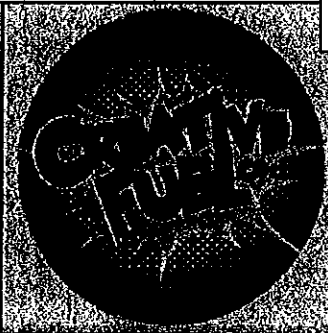
ISSUE DATE: _____ APPROVED BY: JDB

REVISION SCHEDULE	
DATE	DESCRIPTION

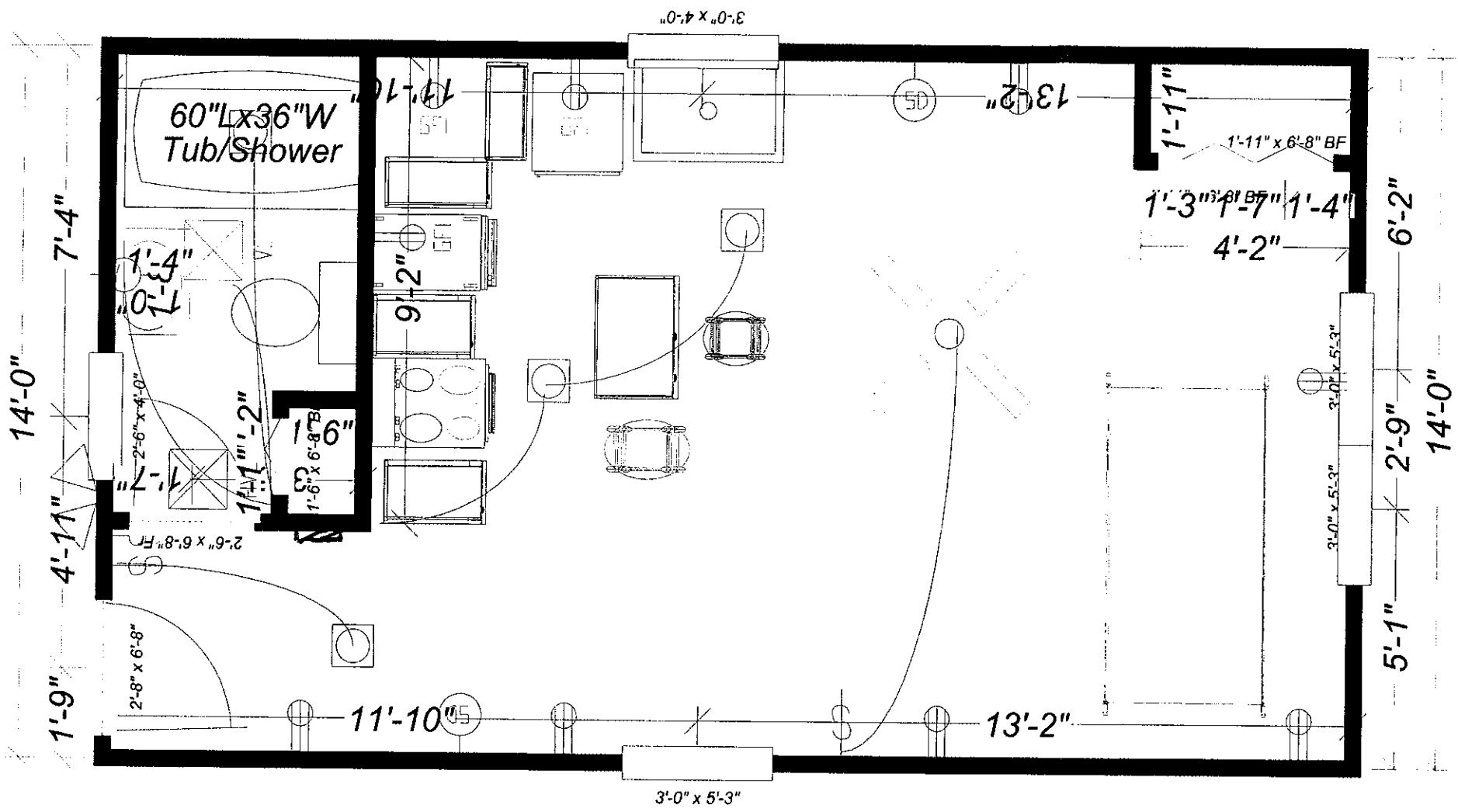
FLOOR PLAN

A3.1

SHEET NUMBER



WWW.CREATIVEFUEL.CO



ELECTRICAL LEGEND:

- OUTLET 110-115
- GFI OUTLET 110-115, GROUND FAULT CIRCUIT INTERRUPTER
- WP GFI OUTLET 110-115, WATERPROOF GROUND FAULT CIRCUIT INTERRUPTER
- DLG FAN PRE WIRED
- LIGHT FIXTURE, WALL MOUNTED
- LIGHT FIXTURE, CEILING MOUNTED
- LIGHT FIXTURE, RECESSED
- METER
- DISCONNECT SWITCH
- SWITCH, SINGLE POLE
- SWITCH, THREE WAY
- ELECTRICAL PANEL
- EXHAUST FAN
- GARBAGE DISPOSAL
- OUTLET 220-240, SPECIAL PURPOSE

1 ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

ISSUE DATE: _____ APPROVED BY: JDX

REVISION SCHEDULE	
NO.	DESCRIPTION

ELECTRICAL PLAN AND LEGEND
E1.1

SHEET NUMBER