



# AGENDA

## Historic Preservation Board

5:30 PM – Wednesday, November 13, 2024 – City Hall

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### CALL TO ORDER

### PLEDGE OF ALLEGIANCE

### ROLL CALL

#### 1. AGENDA UPDATES

#### 2. APPROVAL OF MINUTES

[2.1](#) HPB Meeting Minutes for March 8, 2023

[2.2](#) HPB Meeting Minutes for September 11, 2024

#### 3. AUDIENCE TO BE HEARD

#### 4. NEW BUSINESS

[4.1](#) 2024-COA-14 - 403 S Mary Street - Replacement of Deck

#### 5. OLD BUSINESS

[5.1](#) 2024-COA-11 - 700 E Washington Avenue - After-the-Fact Construction of a New Garage

[5.2](#) FY 23-24 Historic Preservation Annual Report

#### 6. BOARD MEMBER REPORTS

#### 7. STAFF REPORTS

7.1 Historic Preservation Board Meeting Dates for 2025

Wednesday, January 8, 2025

Wednesday, March 12, 2025

Wednesday, May 14, 2025

Wednesday, July 9, 2025

Wednesday, September 10, 2025

Wednesday, November 12, 2025

#### 8. ADJOURNMENT

This Agenda is provided to the Board only as a guide, and in no way limits their consideration to the items contained hereon. The Board has the sole right to determine those items they will discuss, consider, act upon, or fail to act upon. Changes or amendments to this Agenda may occur at any time prior to, or during the scheduled meeting. It is recommended that if you have an interest in the meeting, you make every attempt to attend the meeting. This Agenda is provided only as a courtesy, and such provision in no way infers or conveys that the Agenda appearing here is, or will be the Agenda considered at the meeting.

If a person decides to appeal any decision made by the board with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (Florida Statutes, 286.0105). In accordance with the Americans with Disabilities Act of 1990, persons needing a special accommodation to participate in this proceeding should contact the City Clerk 48 hours prior to any meeting so arrangements can be made. Telephone (352) 483-5430 for assistance.

**MINUTES**  
**CITY OF EUSTIS HISTORICAL PRESERVATION BOARD (HPB)**  
**Regular Meeting Agenda**  
**City of Eustis Commission Room, 10 N. Grove Street**  
**Wednesday, March 8, 2023 – 5:30 pm**

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**REGULAR MEETING**

**ROLL CALL:** Mathew Kalus, Chairperson  
Dina John, Secretary  
Ronald “Kirk” Musselman  
Dorothy Stevenson

**MEMBERS ABSENT:** Monte Stamper, Vice Chairperson  
Robyn Sambor, Alternate

**STAFF PRESENT:** Heather Croney, Senior Planner  
Eddie Bengston, HPB Secretary

**OTHERS PRESENT:** Cheyenne Dunn, HPB Associate Attorney

**Call To Order: 5:34 p.m.**

**Pledge of Allegiance**

**Roll Call**

**1. Agenda Updates**

**2. Approval of Minutes**

HPB Minutes for September 14, 2022  
HPB Minutes for January 18, 2023

The minutes were approved and signed.

**3. Audience to Be Heard**

**4. New Business**

- Consideration of Certificate of Appropriateness (2023-COA-01) – Fence at 524 E Lemon

Heather Croney, Senior Planner, reviewed the application for Certificate of Appropriateness for a fence approval at 524 E Lemon Avenue.

Motion made by Dorothy Stevenson, Seconded by Dina John to approve the application. The motion passed on a unanimous vote.

- Consideration of Certificate of Appropriateness (2023-COA-02) – Solar Panels at 804 E Lemon Avenue

Heather Croney, Senior Planner, reviewed the application for Certificate of Appropriateness for solar panels at 804 E Lemon Avenue.

Motion made by Dina John, Seconded by Dorothy Stevenson to approve the application. The motion passed on a unanimous vote.

- Update on Administrative Approval of Certificate of Appropriateness (2023-COA-04) – Re-Roof at 421 E Lemon Avenue

Heather Croney, Senior Planner, reported on the administrative approval of 2023-COA-04 for a re-roof at 830 E Lemon Avenue. The re-roof would change the roofing materials from asphalt shingles to a metal roof.

Motion made by Kirk Musselman, Seconded by Dorothy Stevenson to approve the Certificate of Appropriateness based on staff's recommendation. The motion passed unanimously.

- Consideration of Certificate of Appropriateness (2023-COA-05) – Revised Shed at 403 S Mary Street

Heather Croney, Senior Planner, reviewed the application for a shed at 403 S Mary Street. The shed would be visible from the street. Any proposed work in the historic district that is visible from the street must be reviewed and approved by the Historic Preservation Board.

Motion made by Dina John, Seconded by Dorothy Stevenson to approve the Certificate of Appropriateness subject to the condition that a fence that obstructs the view of the shed from the public right of way must enclose the area where the shed is located. The motion passed unanimously.

- Update on Administrative Approval of Certificate of Appropriateness (2023-COA-03) – New Paint and Awnings at Eustis City Hall

Heather Croney, Senior Planner, provided a report on the administrative approval for repainting City Hall (white) and new dark blue awnings (to match the City of Eustis logo, business cards, and letterhead).

- 5. **Old Business**
- 6. **Board Reports**
- 7. **Staff Reports**
- 8. **Adjournment: 6:36 p.m.**

\_\_\_\_\_  
Jeff Richardson  
Deputy Director, Development Services  
Date Signed: \_\_\_\_\_

\_\_\_\_\_  
Matthew Kalus  
Chairperson  
Date Signed: \_\_\_\_\_



# MINUTES

## Historic Preservation Board Meeting

5:30 PM – September 11, 2024 – City Hall

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**CALL TO ORDER: 5:34 p.m.**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL:**

**PRESENT:** Vice Chair Dina John, Kirk Musselman, Dorothy Stevenson, Chairman Kalus (late arrival of 5:38 p.m.)

**ABSENT:** Monte Stamper

**STAFF PRESENT:** Deanna Mikiska, Development Review Coordinator  
Jeff Richardson, Deputy Director of Development Services  
Kyle Wilkes, Senior Planner

**OTHERS PRESENT:** Cheyenne Rossi, HPB Attorney

**1. AGENDA UPDATES**

**2. APPROVAL OF MINUTES**

2.1 Approval of Minutes

July 10, 2024 Historic Preservation Board Meeting

Motion made by Ms. Stevenson, Seconded by Ms. John, to approve the Minutes as submitted. The motion passed by a unanimous vote.

**3. AUDIENCE TO BE HEARD**

#### 4. NEW BUSINESS

##### 4.1 2024-COA-09 – 1198 E Washington Avenue – Garage Demolition and Replacement and Repairs (Re-Siding of Residential Structure)

Kyle Wilkes, Senior Planner, explained the requested Certificate of Appropriateness for demolition and replacement of the garage / game room and repair and re-siding of the residential structure at 514 E Washington Ave (alt key #1427177). The lot is 0.23 acres, and the architectural style is Minimal Traditional (Non-Contributing Structure). Future land use is Suburban Residential and the Design District is Suburban Neighborhood. The primary structure was built in 1949.

Motion made by Ms. Stevenson, Seconded by Mr. Musselman, to approve the application on the condition that the applicant update and modify the application to reflect the current structure as constructed.

##### 4.2 2024-COA-10 – 701 E Key Avenue – Breezeway Enclosure and New Fence

Kyle Wilkes, Senior Planner, explained the requested Certificate of Appropriateness for the installation of an enclosure for the breezeway and a new fence at 701 E Key Avenue (alt key #1631319). The overall lot is 0.41 acres and the architectural style is classified as Ranch (Non-Contributing Structure). Future land use is Suburban Residential and the Design District is Urban Neighborhood. The primary structure was built in 1957.

Motion made by Ms. John, Seconded by Ms. Stevenson, to approve the application. The motion passed by a unanimous vote.

##### 4.3 2024-COA-11 – 700 E Washington Avenue – After-the-Fact Construction of a New Garage

Kyle Wilkes, Senior Planner, explained the requested Certificate of Appropriateness for a new garage (after-the-fact) at 700 E Washington Avenue (alt key #1631301). The overall lot is 0.23 acres and the architectural style is Non-Contributing (no Florida Master Site File). Future land use is Suburban Residential and the Design District is Urban Neighborhood. The primary structure was built in 1973.

Chairman Kalus said they would postpone the Certificate of Appropriateness to a future date.

#### 5. OLD BUSINESS

#### 6. STAFF REPORTS: NONE

7. **BOARD MEMBER REPORTS: NONE**

8. **ADJOURNMENT: 6:45 p.m.**

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DEANNA MIKISKA  
Development Review Coordinator

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MATTHEW E. KALUS  
Chairperson





# City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

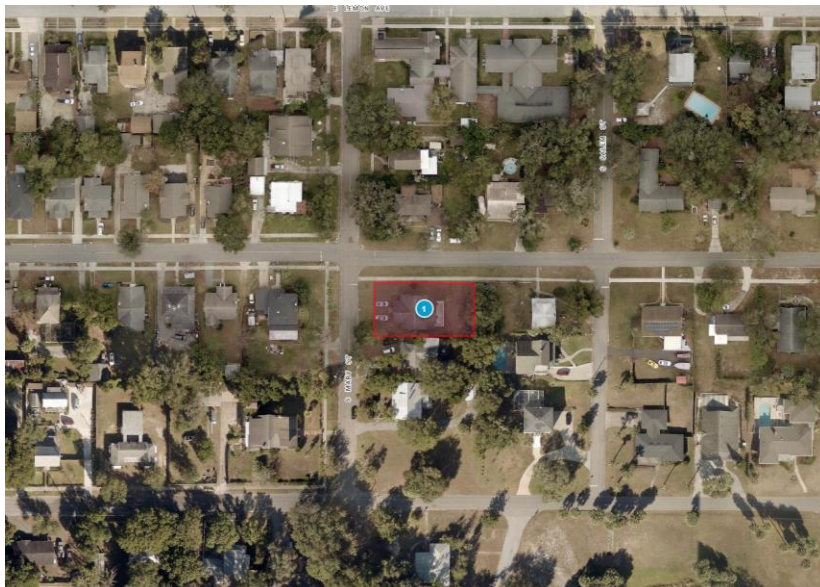
TO: HISTORIC PRESERVATION BOARD  
FROM: KYLE WILKES, SENIOR PLANNER  
DATE: NOVEMBER 13, 2024  
RE: CERTIFICATE OF APPROPRIATENESS 2024-COA-14 DECK REPLACEMENT AT 403 S MARY AVE (AK 1189977)

**PROPOSED PROJECT:**

Diane Sanders, the owner of 403 S Mary St., is requesting Historic Preservation Board approval to modify the exterior deck feature on the residential dwelling unit, within the Washington Avenue Historic District. The application for a Certificate of Appropriateness requests the removal of an existing, elevated deck visible from S Mary and E Washington Avenues. The proposal is to replace the existing deck with like materials and construction/footprint, while adding steps to the southern portion of the new deck. The applicant states that the deck had steps previously but were removed due to disrepair.

**PROPERTY INFORMATION:**

Owner: Diane H. Sanders  
Site Acreage: 0.21 acres  
Date Built: 1924  
Future Land Use: Suburban Residential (SR)  
Design District: Urban Neighborhood



**CRITERIA FOR EVALUATION: EUSTIS CODE OF ORDINANCES CHAPTER 46:**

Section 46-227

- (l) In considering an application for a certificate of appropriateness for alteration, new construction, demolition, or relocation, the board shall be guided by the following general standards:

(1) The effect of the proposed work on the landmark, landmark site, or property within a historic district upon which such work is to be done;

***The Washington Avenue Historic District includes a myriad of architectural styles as well as non-contributing structures (see Ordinance Number 1997-33. The subject property is in the Frame Vernacular architectural style.***

(2) The relationship between such work and other structures on the landmark site or other property in the historic district;

***The proposed work does not seem to pose a significant conflict with other structures on the property or other properties in the historic district.***

(3) The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, and materials of the landmark or the property will be affected;

***The modification will replace an aging deck structure but it will not impact the historical or architectural significance of the existing primary residential structure or the surrounding historic district.***

(4) Whether the plans may be carried out by the applicant within a reasonable period of time.

***If the Historic Preservation Board approves the COA, the applicant intends to move forward quickly to continue this work.***

- (n) In considering an application for a certificate of appropriateness for new construction, the board shall consider the following additional guidelines:

(1) *Height.* The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in a historic district.

***There is no height alteration proposed. The replacement will be of the same height as the existing deck.***

(2) *Proportions of windows and doors.* The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in a historic district.

***There are no proposed changes to windows or doors.***

(3) *Relationship of building masses, setbacks, and spaces.* The relationship of a structure within a historic district to the open space between it and adjoining structures shall be compatible.

***The change would be the addition of stairs to the south side of the proposed deck, which will reduce the setback to the southern property line to approximately eight (8) feet.***

(4) *Roof shape.* The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in a historic district.

***Not applicable.***

(5) *Landscaping.* Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in an historic district.

***While the applicant has not provided a landscape plan, there has been no information or indication provided regarding landscaping modifications.***

(6) *Scale.* The scale of the structure after alteration, construction or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.

***The scale of the replacement deck is consistent with that of the decking to be replaced, with the only increase in scale being the addition of steps.***

(7) *Directional expression.* Facades in historic districts shall blend with other structures with regard to directional expression. Structures in a historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction, or partial demolition shall be compatible with its original architectural style and character.

***There is not a proposal for modification of the directional expression.***

(8) *Architectural details.* Architectural details, including materials and textures, shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The board will give recommendations as to appropriate colors for any landmark or historic district.

***The proposed work would be utilizing wood material like the original deck, appearance, and with the goal of replicating the existing deck to the extent possible, while replacing the aging structure. The proposed deck will consist of squared columns and posts that complement the frame vernacular architecture of the primary residential structure. It will have minimal impact on the surrounding neighborhood.***

(9) *Impact on archaeological sites.* New construction shall be undertaken in such manner as to preserve the integrity of archaeological sites and landmark sites.

***Not applicable.***

**RECOMMENDATION:**

Based on the analysis above, the criteria for evaluation provided in this memorandum, and the provided information from the applicant, staff recommends approval as this will be a safer alternative and will have aesthetics to match the rest of the home and the historic context. The removal of the deck completely and no replacement of stairs that once existed does not seem historically significant to require.

c: Property Owner and Applicant  
Historic Preservation Board Members  
File: 2024-COA-14

**ATTACHMENTS:**

Images from Google Street View Showing Deck  
Survey Showing Proposed Deck and Stairs  
Engineering Plans Submitted by Applicant  
Historical Structure Form – Florida Master Site File

IMAGES FROM GOOGLE STREET VIEW SHOWING DECK

IMAGES FROM GOOGLE STREET VIEW SHOWING DECK

Google Street View August 2022



Google Street View June 2017



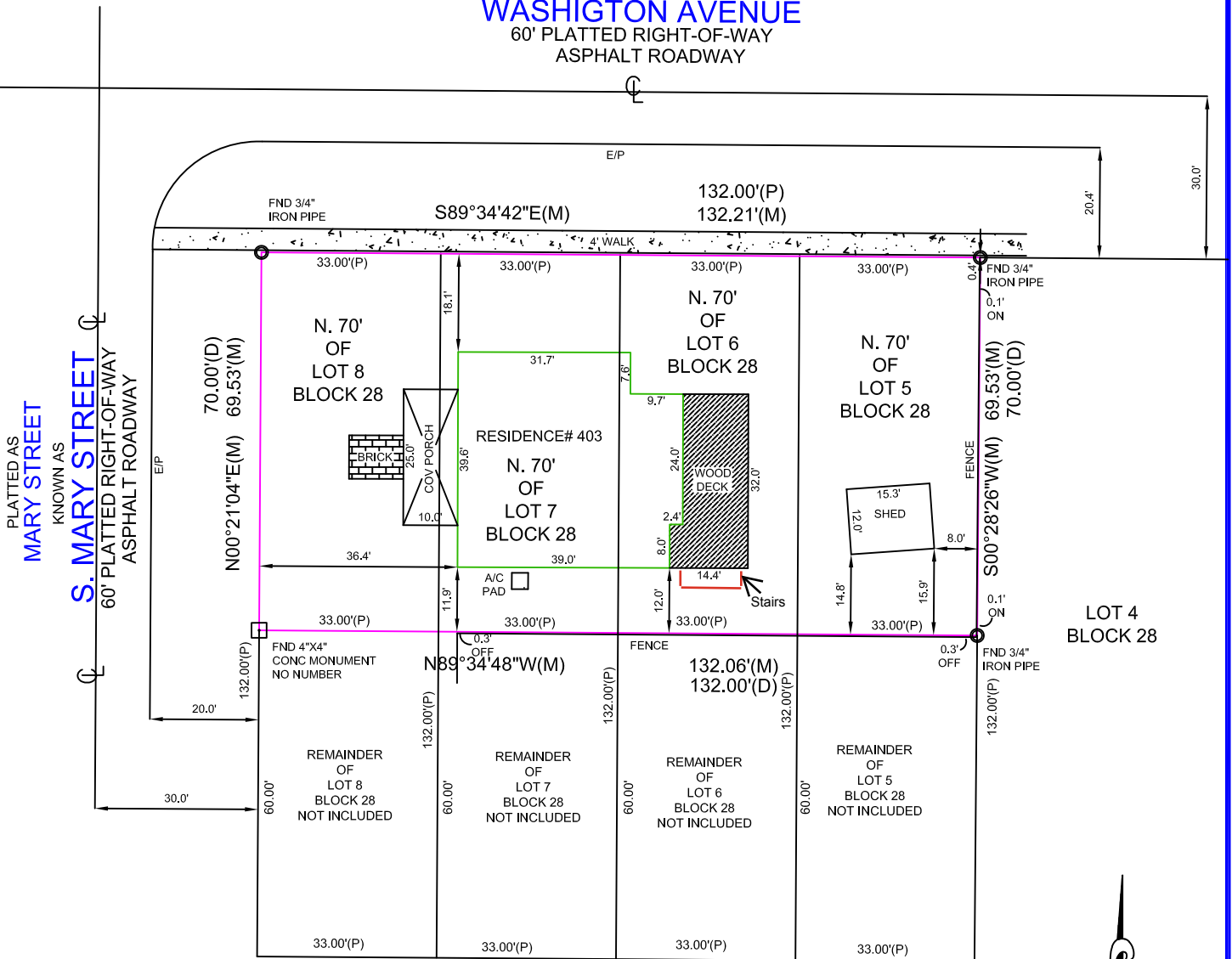
Google Street View May 2011



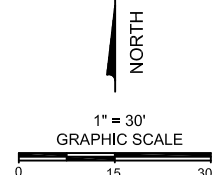
SURVEY SHOWING PROPOSED DECK AND STAIRS



WASHINGTON AVENUE  
60' PLATTED RIGHT-OF-WAY  
ASPHALT ROADWAY



ADDRESS  
403 S. MARY STREET  
EUSTIS, FLORIDA 32726



LEGAL DESCRIPTION: (AS FURNISHED)  
N. 70' OF LOTS 5, 6, 7 & 8, BLOCK 28, L.G. PRESCOTT'S ADDITION TO THE CITY OF EUSTIS,  
ACCORDING TO THE PLAT THEREOF,  
AS RECORDED IN PLAT BOOK 1, PAGE(S) 14 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.  
BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF LOTS 5-8,, BLOCK 28, BEING S 89°34'32" E, MEASURED

LIST OF POSSIBLE ENCROACHMENTS: NONE

DLS #: 24-07-0095  
CLIENT #:  
FIELD DATE: 08/20/24  
DRAFTER: SDS  
APPROVED: BHH

CERTIFIED TO: (AS FURNISHED)  
DIANE SANDERS

**NOTES**

- Abutting properties have not been researched for gaps, overlaps, and/or hiatus
- In compliance with F.A.C. 61G17-6.0031-4-E, if location of easements or rights-of-way of record, other than those on recorded plats, is required, this information must be furnished to the surveyor and mapper
- Fence ownership is not determined
- No underground improvements or structures were located by this survey, unless otherwise noted
- This survey should not be used for construction purposes
- Any septic tank or drainfield locations (if found) are approximate
- Property lines and/or improvements shown were physically located by field survey
- Monuments found or set are shown
- Calculated lines and information are noted by (C)
- Computations of lines and/or data not found are shown as (C)
- Accuracies obtained in this survey are greater than (rural) 1" in 5000', (suburban) 1" in 7500', (commercial) 1" in 10,000'
- Prior to survey, information obtained was legal description provided by client or from publicly published county tax collector site, recorded plats and/or section corner records, if applicable
- If only a digital survey copy is required, a survey report will be placed in file. The digital survey is not full and complete without the survey report file.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LEGEND	
A/C	- Air Conditioner
C	- Calculated
⊙	- Centerline
CB	- Concrete Block
CM	- Concrete Monument
CONC	- Concrete
COV	- Covered
D	- Description
DE	- Drainage Easement
DUE	- Drainage & Utility Esmt
D/W	- Driveway
ESMT	- Easement
FFE	- Finished Floor Elevation
FND	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
NR	- Non-Radial
O/HU	- Overhead Utility Line
ORB	- Official Records Book
P	- Plat
PB	- Plat Book
PC	- Point of Curvature
PI	- Point of Intersection
POB	- Point of Beginning
PCC	- Point of Commencement
PP	- Power Pole
PRC	- Point of Reverse Curvature
PRM	- Permanent Reference Monument
R	- Radius
RAD	- Radial
R&C	- Rebar & Cap
RFC	- Roofed
UE	- Utility Easement
WM	- Water Meter
Δ	- Delta (Central Angle)
-B-	- Wood/PVC Fence
-o-	- Chain Link Fence
EPE	- Electric Power Easement
PUE	- Public & Utility Esmt
E/P	- Edge of Pavement

**FLOOD ZONE INFORMATION**  
(FOR INFORMATIONAL PURPOSES ONLY)

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE X, AREA OUTSIDE OF THE 100 YEAR FLOODPLAIN, PER F.I.R.M. PANEL NUMBER 12069C 0358E  
LAST REVISION DATE 12/18/12

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 472.027 FLORIDA ADMINISTRATIVE CODE. FURTHER, THIS DOCUMENT IS ELECTRONICALLY SIGNED AND SEALED PURSUANT TO THE FLORIDA STATUTES SECTION FJ-17.062.2 AND FJ-17.062.3 OF THE FLORIDA ADMINISTRATIVE CODE.

DATE SIGNED: 08/21/2024

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BILL H. HYATT, LS 4636, ON THIS DATE 08/21/2024  
SURVEYOR'S NAME: BILL H. HYATT LS 4636



FOR ALL INQUIRIES CONTACT:  
Deal Land Surveying, LLC  
804 S. French Avenue  
Sanford, FL 32771  
407-878-3796  
INFO@deallandsurveying.com

DEAL LAND SURVEYING, LLC LB 8121

NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL

DATE	REVISION	DATE	REVISION

ENGINEERING PLANS SUBMITTED BY APPLICANT

**DESIGN CRITERIA:**

**APPLICABLE CODES, REGULATIONS & STANDARDS:**

1. THE 2023 FLORIDA BUILDING CODE, SPECIFICALLY CHAPTER 16 STRUCTURAL DESIGN, CHAPTER 20 ALUMINUM & CH. 23 WOOD.
2. AA ASM 35 & SPECIFICATIONS FOR ALUMINUM STRUCTURES, PART 1-A OF THE ALUMINUM DESIGN MANUAL PREPARED BY THE ALUMINUM ASSOCIATION, INC. WASHINGTON D.C. 2005 ED.
3. ASCE 7-22 & SE17
4. NDS NATIONAL DESIGN SPECIFICATION FOR WOOD.
5. ACI318 CONCRETE REFERENCE MANUAL.

**WIND LOADS:**

1. BUILDING OCCUPANCY CATEGORY, PARAGRAPH 1604.5 & TABLE 1604.5: RISK CATEGORY: I
2. BASIC WIND SPEED, TABLE 1609C, STATE OF FLORIDA DEBRIS REGION & BASIC WIND SPEED, PARAGRAPH 1609.3.1 & TABLE 1609.3.1 EQUIVALENT BASIC WIND SPEED: 130  
MPH EXPOSURE CATEGORY, PARAGRAPH 1609.4.3: C
3. WIND LOADS PER FBC TABLE 2002.4 (MWFRS)  
VULT = 150 MPH & EXPOSURE = C

<b>DESIGN LOADS:</b>	
1. GUARDRAILS AND HANDRAILS	
I. LINEAR LOAD:	<u>50 PLF</u>
II. CONCENTRATED LOAD:	<u>200 LBF</u>
2. INTERMEDIATE RAILS	
CONCENTRATED LOAD:	<u>50 LBF</u>
3. WOOD DECK LOADS	
I. LIVE LOAD:	<u>40 PSF</u>
II. DEAD LOAD:	<u>10 PSF</u>

**FOUNDATION DESIGN:**

NO ADDITIONAL FOOTING OR FOUNDATION SYSTEM IS REQUIRED BY THE PROPOSED CONSTRUCTION IF A MINIMUM 4" CONCRETE SLAB IS PROVIDED IN SOUND CONDITION, FREE FROM STRUCTURAL CRACKING, SPALLING & OTHER DETERIORATION. EXISTING FOUNDATION/FOOTING UNDER CONCRETE SLAB MINIMUM 8"x8" w/ (1) #5 BAR TO BE VERIFIED BY CONTRACTOR. SEE TYPICAL FOOTING DETAILS FOR NEW FOOTING DESIGN MINIMUM REQUIREMENTS.

**FASTENER SPECIFICATIONS:**

1. FASTENERS ARE REQUIRED TO BE SAE GRADE 2 OR BETTER ZINC PLATED. (CONCRETE ANCHORS ARE TO BE 410 S.S. TAPCONS OR BETTER, INSTALLED TO MFG. SPECIFICATIONS)
2. WHERE WOOD DECK IS PRESENT USE 1/4" X 3-1/2" GALV. LAG SCREWS IN LIEU OF MASONRY ANCHORS. UNLESS OTHERWISE SPECIFIED.
3. FOR 1"x2" NON-STRUCTURAL MEMBERS ATTACHED TO HOST
  - a. FOR MASONRY/CONCRETE APPLICATION USE GALVANIZED 1/4" X 2-3/4" TAPCONS 6" FROM ENDS & 24" CENTER TO CENTER.
  - b. FOR WOOD APPLICATION USE #14 X 2-3/4" WOOD SCREW AT 6" FROM ENDS & 24" CENTER TO CENTER.
  - c. FOR ALUMINUM APPLICATION USE #10 X 1-1/2" SMS OR TEK 6" FROM ENDS & 24" CENTER TO CENTER..
  - d. WHERE 1"x2" INSTALLED THROUGHOUT AN "OPEN VIEW" SPACING SHALL BE REDUCED TO 6" FROM ENDS & 18" C.C.

**RESPONSIBILITIES:**

1. ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDANANCES, AND THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
2. FOR FASTENERS WHICH ARE NOT VISIBLE AFTER INSTALLATION, THE CONTRACTOR SHALL VERIFY AND ENSURE INSTALLATION HAS BEEN ACCOMPLISHED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH THE ATTACHED DETAILS.
3. CONTRACTOR TO PROVIDE NOA'S & INSTALL ALL MATERIALS AS PER MANUFACTURER'S SPECIFICATIONS.
4. INTEGRITY OF EXISTING/ HOST STRUCTURE SHALL NOT BE COMPROMISED WITH THE ATTACHMENT OF THE PROPOSED STRUCTURE.
5. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SCREENS & FASTENERS TO MANUFACTURING SPECIFICATIONS.

**CONCRETE SPECIFICATIONS:**

THE FOLLOWING SPECIFICATIONS ARE APPLICABLE TO THIS PROJECT:

1. WHERE CONCRETE SPECIFICATIONS ARE REQUIRED, WHETHER IN THE SCREEN ENCLOSURE SCOPE OR NOT, BY ONE OR MORE REGULATORY AGENCIES, THE FOLLOWING SPECIFICATIONS ARE APPLICABLE:
  - a. CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING COMPONENTS:
    - i. PORTLAND CEMENT TYPE 1 - ASTM C 150
    - ii AGGREGATES - LARGE AGGREGATE 3/4 MAX. - ASTM C 33
    - iii. AIR ENTRAINING +/- 1 % - ASTM C 260
    - iv. WATER REDUCING AGENT - ASTM C 494
    - v. CLEAN POTABLE WATER
    - vi. OTHER ADMIXTURES NOT PERMITTED
  - b. METAL ACCESSORIES SHALL CONFORM TO:
    - i. REINFORCING BARS - ASTM A615, GRADE 60
    - ii. WELDED WIRE FABRIC - ASTM A185
  - c. CONCRETE SLUMP AT DISCHARGE CHUTE NOT LESS THAN 3" OR MORE THAN 5". WATER ADDED AFTER BATCHING IS NOT PERMITTED.
  - d. PREPARE & PLACE CONCRETE PER AMERICAN CONCRETE INSTITUTE MANUAL OF STANDARD PRACTICE, PART 1, 2, & 3 INCLUDING HOT WEATHER RECOMMENDATIONS.
  - e. MOIST CURE OR POLYETHYLENE CURING PERMITTED.
  - f. PRIOR TO PLACING CONCRETE, TREAT THE ENTIRE SUBSURFACE AREA FOR TERMITES IN COMPLIANCE WITH THE FBC. FOR RISK CATEGORY II, III, & IV STRUCTURES ONLY.
  - g. CONCRETE SLAB SHALL BE PLACED OVER A POLYETHYLENE VAPOR BARRIER. (SLAB ONLY)
2. WHEN PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/ 2000 PSI GROUT WITH BONDING AGENT
3. WHEN APPLICABLE FOR NEW SLAB ADDITION TO ADJACENT DRILL & EPOXY #4 X 8" REBAR INTO EX. FOUNDATION EMBED 4" MIN W/ NON-SHRINKING SIMPSON EPOXY-TIE (OR EQUAL) 48" O.C. TYP. ALL LOCATIONS
4. WHEN APPLICABLE FOR NEW FOOTER TO EXISTING, DRILL & EPOXY NEW STEEL INTO EX. FOUNDATION WITH EMBED 6" MIN W/ NON-SHRINKING SIMPSON EPOXY-TIE (OR EQUAL) TYP. ALL LOCATIONS
5. WHERE PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/3000 PSI GROUT WITH BONDING AGENT.
6. MINIMUM CONCRETE STRENGTH 3000 PSI UNLESS OTHERWISE NOTED.

**MASONRY SPECIFICATIONS:**

1. CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 1900 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
2. ALL MORTAR SHALL BE TYPE M OR S.
3. ALL GROUT SHALL BE 1800 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8".
4. PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

**WOOD SPECIFICATIONS:**

1. ALL MEMBERS TO BE SOUTHERN YELLOW PINE (SYP.) GRADE NO. 2
2. ALL MEMEBERS/ CONNECTORS INSTALLED BELOW BASE FLOOD ELEVATION (B.F.E.) TO BE CONSTRUCTED WITH FLOOD RESISTANT MEMEBRS/CONNECTORS PRESSURE TREATED WOOD (P.T.) & GALVANIZED CONNECTORS.
3. ALL PRE-APPROVED SIMPSON STRONG TIE OR SIMILAR MUST BE INSTALLED PER MANUFACTURER INSTALLATION INSTRUCTIONS & SPECIFICATIONS.

**WOOD DECK NOTES:**

1. ATTACH JOIST TO BEAM WITH HURRICANE CLIPS (SIMPSON STRONG TIE H2.5A OR EQUIV) ON BOTH SIDES
2. DOUBLE 2X\_ BEAMS SITTING ON NOTCHED POSTS (SIDE ATTACHMENT WITH THRU BOLTS NOT ALLOWED)
3. PT POST INSERTED INTO ISOLATED FOOTING. MAINTAIN MIN.3" CONCRETE COVER BETWEEN BOTTOM OF POST AND SOIL. INSERT NO.5 REBAR 6" FROM BOTTOM OF CONCRETE.
4. "ALTERNATE" POST CONNECTION FOR EXISTING CONCRETE: CONNECT POST TO CONCRETE USING SIMPSON STRONG TIE RETROFIT POST BASE RPBZ OR EQUIVALENT.
5. WOOD DECK TO BE BUILT IN ACCORDANCE WITH AWC STANDARDS.
6. ALL WOOD MUST BE PRESSURE-TREATED SOUTHERN YELLOW PINE
7. ALL PRE APPROVED SIMPSON STRONG TIE OR SIMILAR MUST BE FASTEN PER MANUFACTURER INSTALLATION INSTRUCTIONS AND SPECIFICATIONS
8. FOR WOOD DECK BUILD IN FLOOD ZONE, WOODEN DECK MUST BE CONSTRUCTED WITH FLOOD RESISTANT MATERIALS.
9. ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F 1667. THREADED NAILS AS STATED IN THIS DOCUMENT INCLUDE HELICAL (SPIRAL) AND ANNULAR (RING-SHANK) NAILS. WOOD SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B18.6.1. BOLTS AND LAG SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B18.2.1.
10. WOOD DECKS ARE NOT DESIGNED FOR LOADS CREATED BY POOLS, BATHTUBS, SAUNAS ETC UNLESS OTHERWISE NOTED.
11. TO RESIST CORROSION, THE FOLLOWING IS REQUIRED
  - A. ALL SCREWS, BOLTS, WASHERS, NUTS, AND NAILS FOR USE WITH PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. HOT-DIPPED GALVANIZED FASTENERS SHALL MEET THE REQUIREMENTS OF ASTM A 153, STANDARD SPECIFICATION FOR ZINC COATING
  - B. (HOT-DIP) ON IRON AND STEEL HARDWARE, CLASS D FOR FASTENERS 3/8" DIAMETER AND SMALLER OR CLASS C FOR FASTENERS WITH DIAMETERS OVER 3/8".
  - C. FASTENERS OTHER THAN NAILS AND TIMBER RIVETS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B 695, CLASS 55, MINIMUM.
  - D. ALL CONNECTORS (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED OR SHALL BE STAINLESS STEEL. HARDWARE TO BE HOT-DIPPED PRIOR TO FABRICATION SHALL MEET ASTM A 653, STANDARD SPECIFICATION FOR STEEL SHEET, ZINC-COATED
  - E. (GALVANIZED) OR ZINC-IRON ALLOY-COATED
  - F. (GALVANNEALED) BY THE HOT-DIP PROCESS, G-185 COATING. HARDWARE TO BE HOT-DIPPED GALVANIZED AFTER FABRICATION SHALL MEET ASTM A 123, SPECIFICATION FOR ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS.
  - G. FASTENERS AND CONNECTORS EXPOSED TO SALT WATER OR LOCATED WITHIN 300 FEET OF A SALT WATER SHORELINE SHALL BE STAINLESS STEEL GRADE 304 OR 316.
  - H. FASTENERS AND CONNECTORS SHALL BE OF THE SAME CORROSION-RESISTANT MATERIAL.
  - I. OTHER COATED OR NON-FERROUS FASTENERS OR HARDWARE SHALL BE AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.

SHEET NO.	DRAWING INDEX
S/01	GENERAL NOTES
S/02	PLAN/ ELEVATIONS
S/03	DETAILS

This item has been digitally signed and sealed by Richard E. Walker, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Item 4.1

**FLORIDA ENGINEERING LLC**  
 4161 TAMiami TRAIL, UNIT 101  
 PORT CHARLOTTE, FLORIDA 33952  
 (941) 391-5980  
 FLEng.com  
 Orders@FLEng.com



CA CERT. #30782

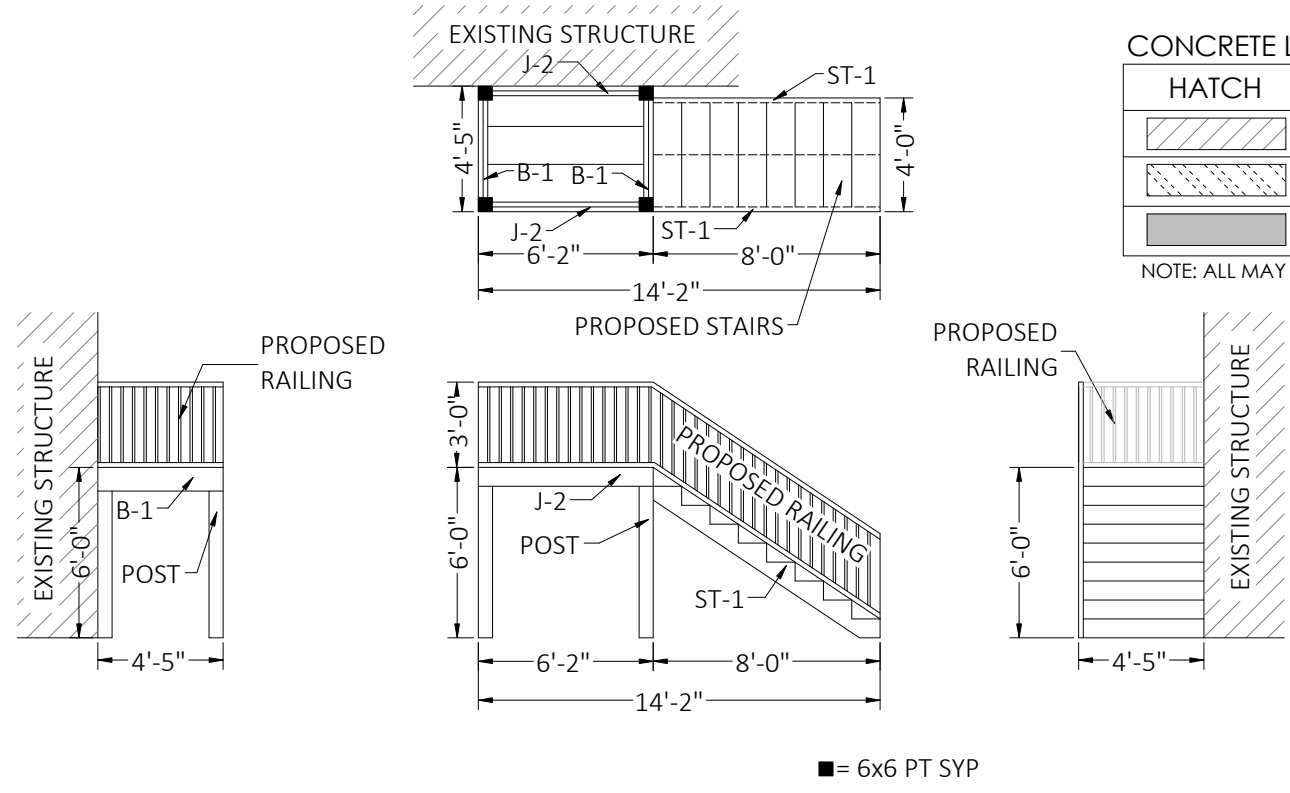
CONTRACTOR:  
**ANTICA DEVELOPMENT**  
 3280 MAGNOLIA PETAL COURT  
 CLERMONT FL 34711

PROJECT ADDRESS:  
**SANDERS**  
 403 S MARY ST,  
 EUSTIS FL 32726

DESIGN DATE:	06/18/2024
REVISION 1:	DATE
REVISION 2:	DATE
DRAWN BY:	RJ
SCALE:	NTS

PROJECT NO. 2414327

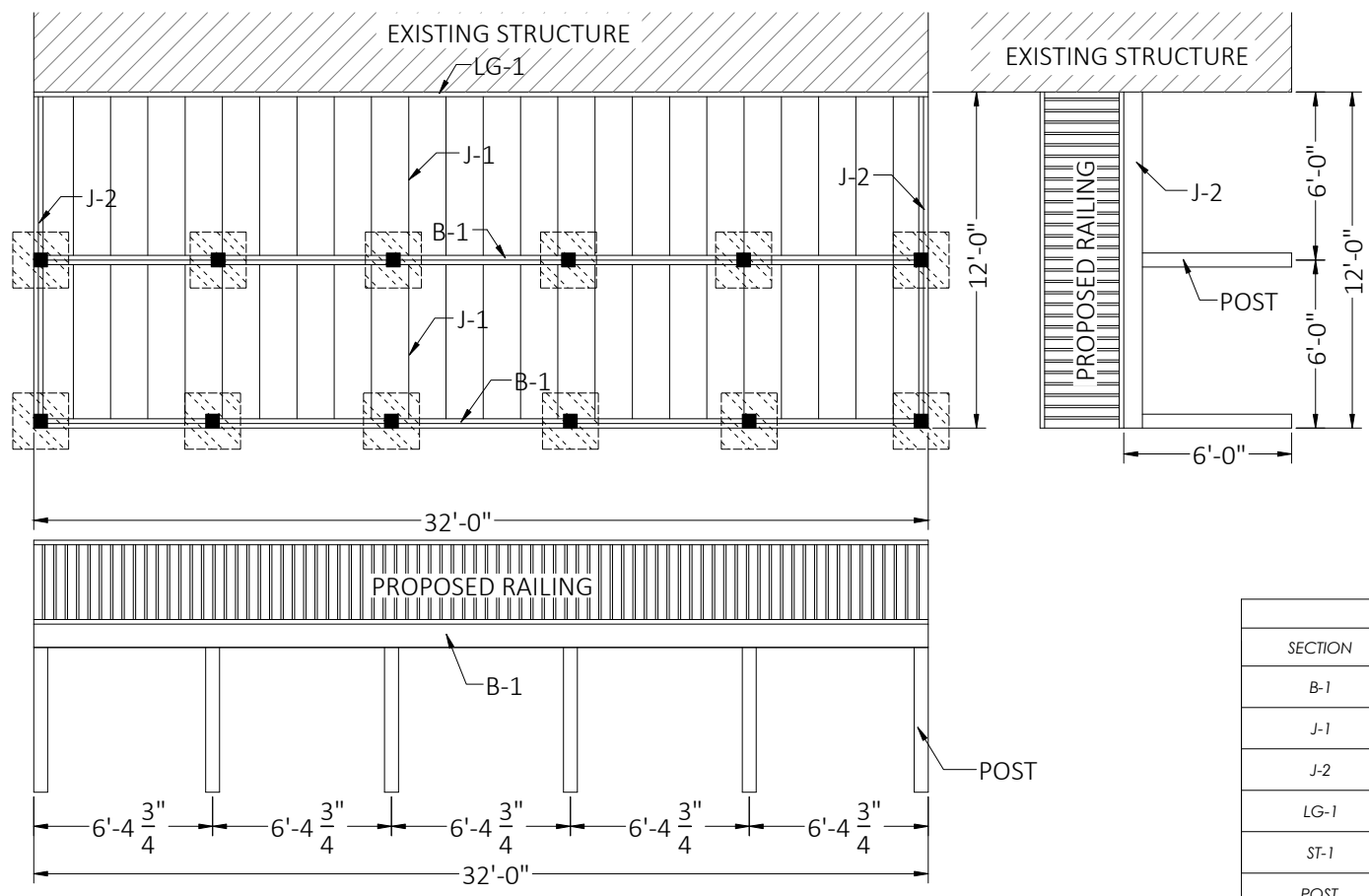
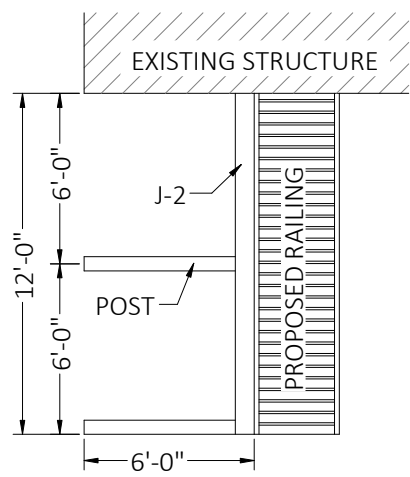
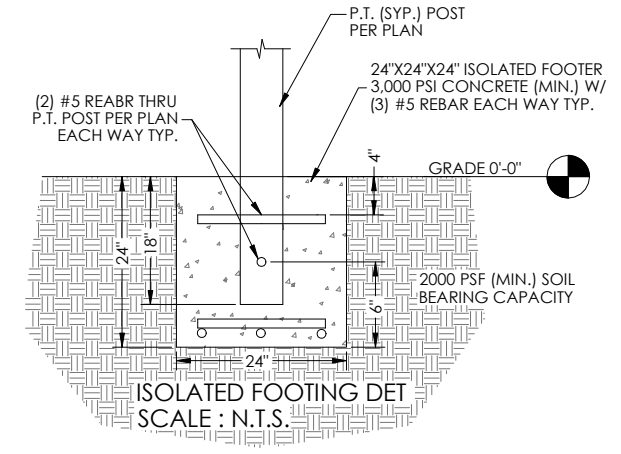
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**CONCRETE LEGEND**

HATCH	INDICATES
	HOST/ EXIST.
	NEW FOOTING
	NEW SLAB AREA

NOTE: ALL MAY NOT APPLY



**CONNECTOR SCHEDULE**

MATERIAL	CONNECT TO	USING
RAFTERS/JOISTS	CMU BLOCK	HETA20
RAFTERS/JOISTS	WOOD WALL	HTS20
RAFTER	RIDGE BEAM	LRU208/210/212Z
RAFTER	RAFTER	MSTA36
JOIST	GIRDER JOIST	MTS20
RAFTER/JOIST	CMU WALL	HUS26/28/210/212
RIDGE BEAM	HIP BEAM	HRC/JHRC
HIP BEAM	WALL CORNER	(2) HETA / HTS20

**BEAM SCHEDULE**

SECTION	BEAM SIZE	CONNECTOR
B-1	(2) 2X10 SYP #2 (BEAM)	CONNECTED WITH PC4Z / EPCZ /HU210-2 (FACE MOUNT HANGER)
J-1	2X8 SYP #2 @ 16" O.C. (JOIST)	CONNECTED WITH PC4Z / EPCZ /HU28 (FACE MOUNT HANGER)
J-2	(2) 2X8 SYP #2 (DBL JOIST)	CONNECTED WITH PC4Z / EPCZ /HU28-2 (FACE MOUNT HANGER)
LG-1	2X10 SYP #2 (LEDGER)	(2) 1/2" Ø ANCHORS W/ FENDER WASHER @ 16" O.C. STAGGERED
ST-1	2X12 SYP #2 (STRINGER)	CONNECTED WITH LSCZ (FACE MOUNT)
POST	6X6 SYP #2 (POST)	(2) 1/2" Ø ANCHORS W/ FENDER WASHER @ 16" O.C. STAGGERED

**PROPOSED WOOD DECK**

**FLORIDA ENGINEERING LLC**  
 4161 TAMiami TRAIL, UNIT 101  
 PORT CHARLOTTE, FLORIDA 33952  
 (941) 391-5980  
 FLEng.com  
 Orders@FLEng.com  
 CA CERT. #30782

**PROJECT NO. 2414327**

**CONTRACTOR:**  
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 3280 MAGNOLIA PETAL COURT  
 CLERMONT FL 34711

**PROJECT ADDRESS:**  
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 403 S MARY ST,  
 EUSTIS FL 32726

DESIGN DATE: 06/18/2024

REVISION 1: DATE

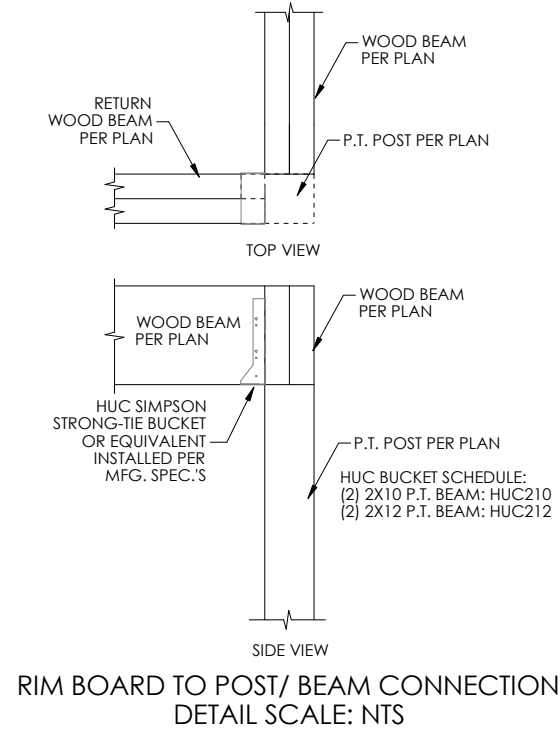
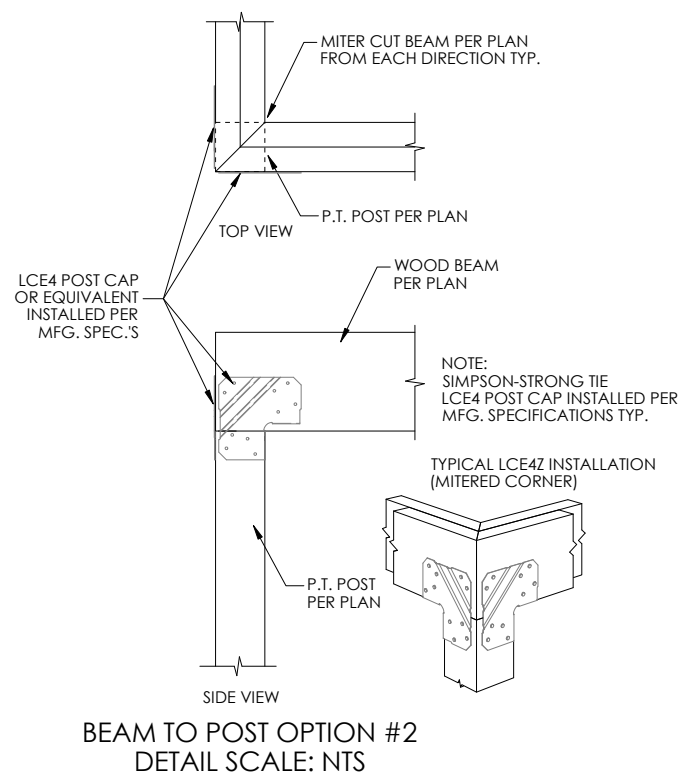
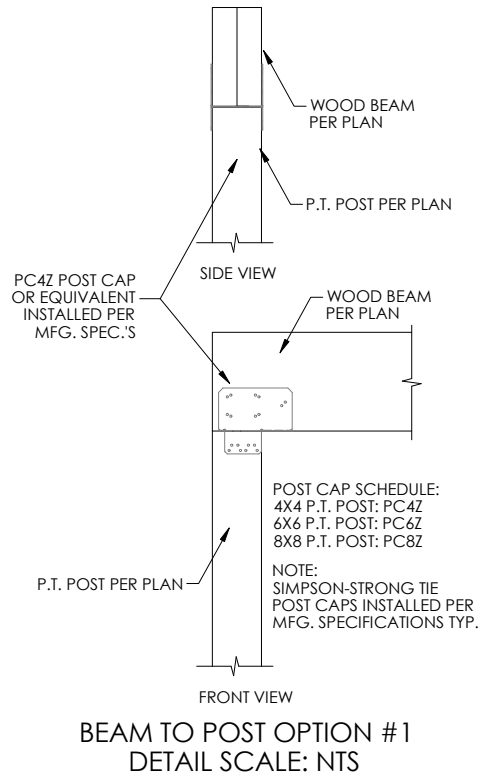
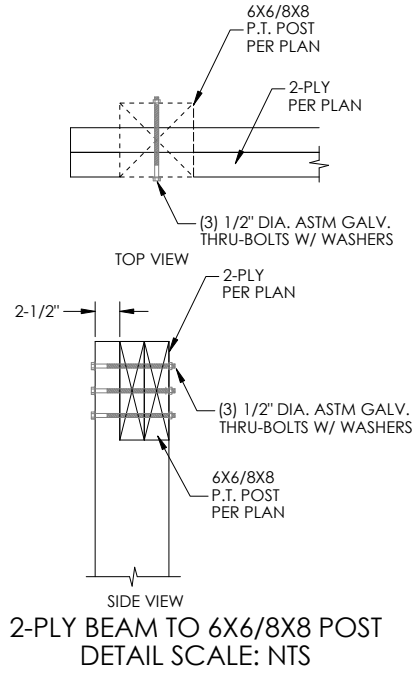
REVISION 2: DATE

DRAWN BY: RJ

SCALE: NTS

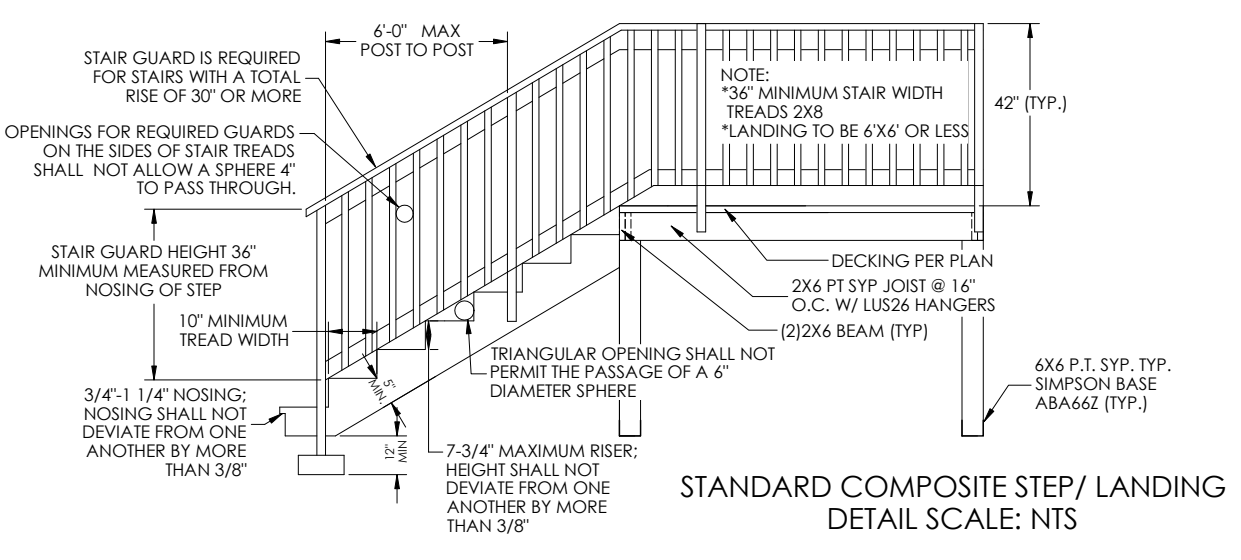
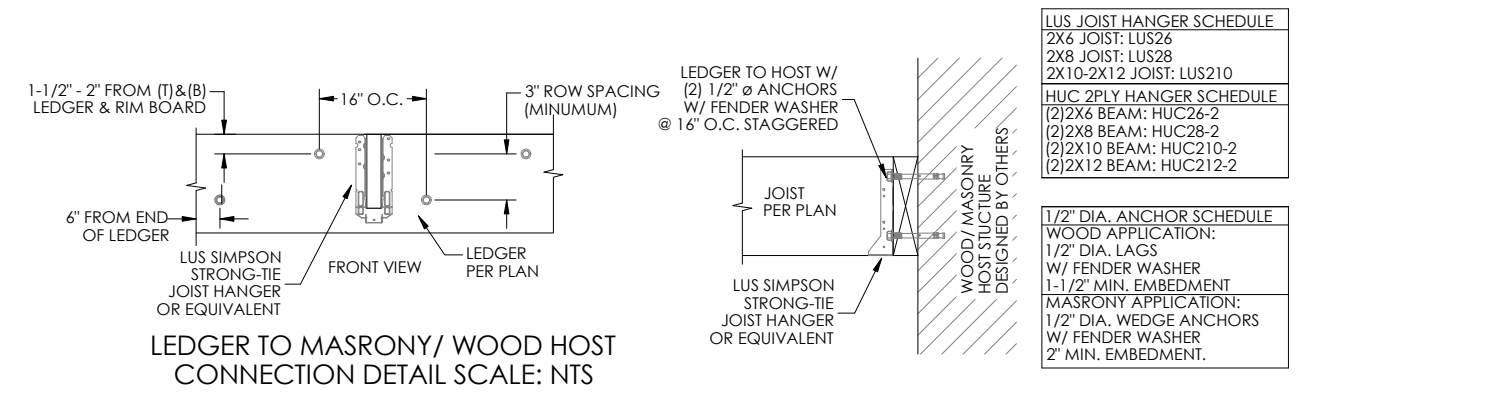
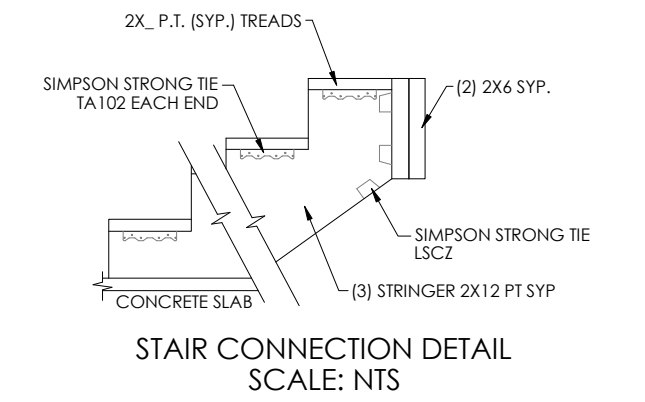
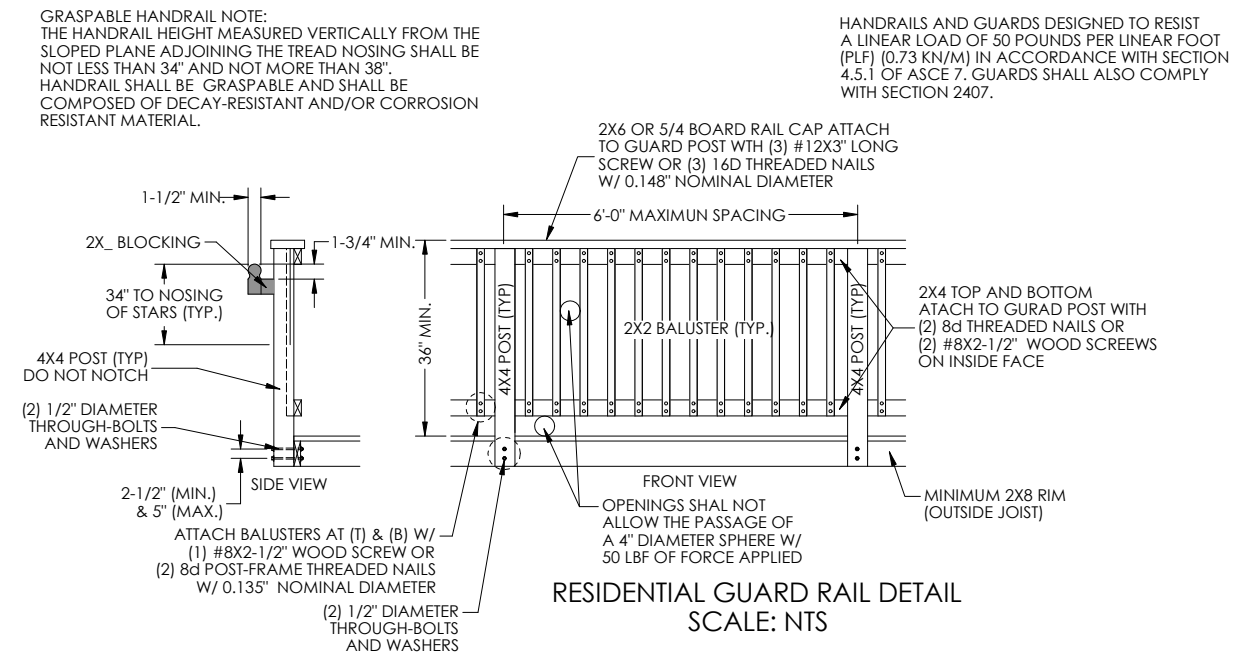
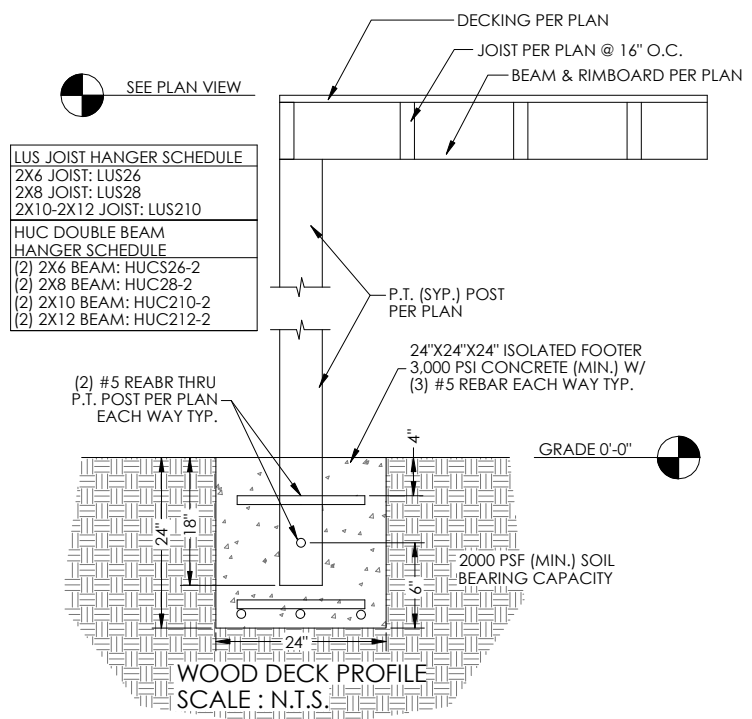
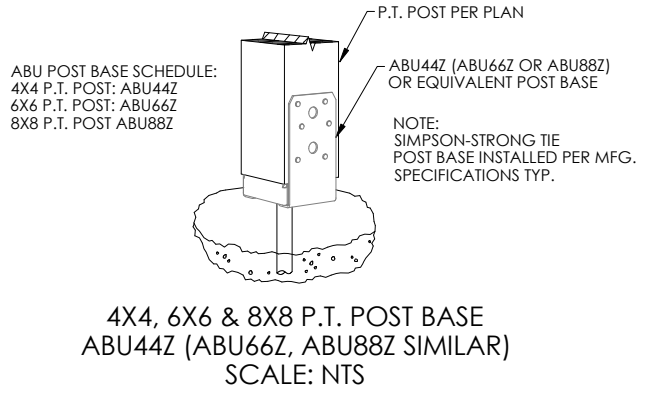
20

ALL DECK BEAM TO POST CONNECTIONS TO BE IN ACCORDANCE W/ FBC 2020 SEC. R507.5.1



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PROJECT NO. 2414327

21

03

HISTORICAL STRUCTURE FORM – FLORIDA MASTER SITE FILE

HISTORICAL STRUCTURE FORM  
FLORIDA MASTER SITE FILE

Item 4.1

91 HISTORICAL STRUCTURE FORM

A1E Ke1  
1189977

Original: X  
Update:  
Sitename: KARL & ACTA MANTEY RESIDENCE  
Historic Contexts: BOOM TIMES  
Nat'l Register Cat: BUILDING  
Other Names/MSF Nos.:  
County: LAKE Ownership Type: PRIVATE-INDIVIDUAL  
Project Name: EUSTIS SITE SURVEY DHR#:

Site:  
Recorder: DL 14-13

Location (Attach copy of USGS map, sketch-map of immediate area)

Address: 403 S. MARY STREET City: EUSTIS  
Vicinity of/route to: SOUTHEAST CORNER OF S. MARY STREET AND WASHINGTON AVENUE.

Subdivision: PRESCOTT'S ADDITION Block: 28 Lot: 8

Plat or Other map:  
Township: 19S Range: 26E Section: 11 1/4: 1/4-1/4:  
Irregular sec?: Land Grant:  
USGS 7.5' map: EUSTIS 1966 PR 1980 Easting:  
UTM: Northing:  
Coordinates - Latitude: D M S Longitude: D M S

History

Architect:  
Builder:  
Date Built: 1924 Circa: C Restoration Date(s):

Modification Date(s):  
Move Date: Original Location:  
Original Use: PRIVATE RESIDENCE  
Present Use: PRIVATE RESIDENCE

Description

Style: FRAME VERNACULAR  
Plan: Exterior: IRREGULAR  
Interior: IRREGULAR  
No.: Stories 1 Outbuildings 0 Porches 1 Dormers 0  
Structural System(s): WOOD FRAME  
Exterior Fabric(s): WOOD SHINGLE # WOOD SIDING  
Foundation - Type: CONTINUOUS  
Materials: CONCRETE BLOCK  
Infill:

Porches:  
Roof - Type: INTERSECTING GABLE Surfacing: COMPOSITION SHINGLE  
Secondary Structure(s):  
Chimney - Number: 0 Material:  
Location:  
Windows: DHS, 9/1  
Exterior Ornament:  
Condition: GOODS Surroundings: RESIDENTIAL

Narrative (general, interior, landscape, context; 3 lines only)

THIS FRAME VERNACULAR STYLE RESIDENCE HAS SQUARE WOOD COLUMNS SUPPORTING THE PORCH OVERHANG AND CENTRAL ENTRY. CUT-OUT WOOD IS SEEN IN THE GABLED END THAT FACES THE STREET. LOUVERED SHUTTERS GRACE THE WINDOWS AND DOOR ADDING TO ITS CHARACTER.

HISTORICAL STRUCTURE FORM  
FLORIDA MASTER SITE FILE

Item 4.1

09/07/

91 HISTORICAL STRUCTURE FORM

Archaeological remains at the site

FMSF Archaeological form completed?: N  
Artifacts or other remains: NONE OBSERVED

Recorder's Evaluation of Site

Areas of significance: ARCHITECTURE

Eligible for National Register?: N  
Significant as part of district?: N  
Significant at local level?: N

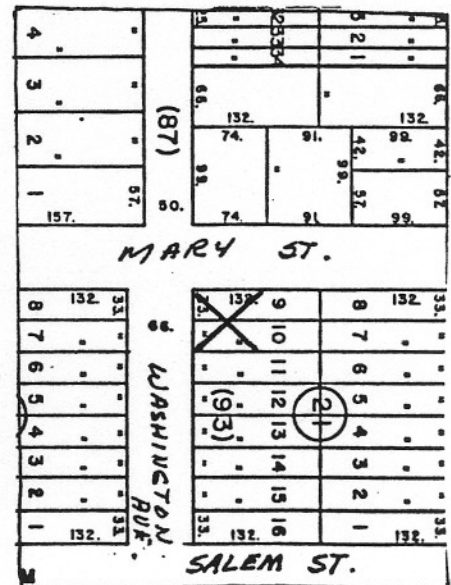
Summary of significance:

THIS RESIDENCE CONTRIBUTES TO THE HISTORY AND DEVELOPMENT OF THE AREA. IT HAS CLASSICAL ELEMENTS THAT ARE SEEN THROUGHOUT THIS NEIGHBORHOOD. KARL AND ACTA MANTEY WERE RECORDED IN THE 1910 CENSUS AND RESIDED HERE IN 1924.

\*\*\* DHR USE ONLY \*\*\*  
\* Keeper determination of eligibility date: / / / / \*  
\* SHPO evaluation of eligibility date: / / / / \*  
\* Local determination of eligibility date: / / / / \*  
\* Office: \*  
\*\*\* DHR USE ONLY \*\*\*

Recorder information: DONNA G LOGSDON  
Date: 08/1991 Affiliation: THE HISTORIC WORKS

Photographs (Attach a labeled print bigger than contact size)  
Location of negatives: EUSTIS HIST. MUSEUM  
Negative numbers: 14-13



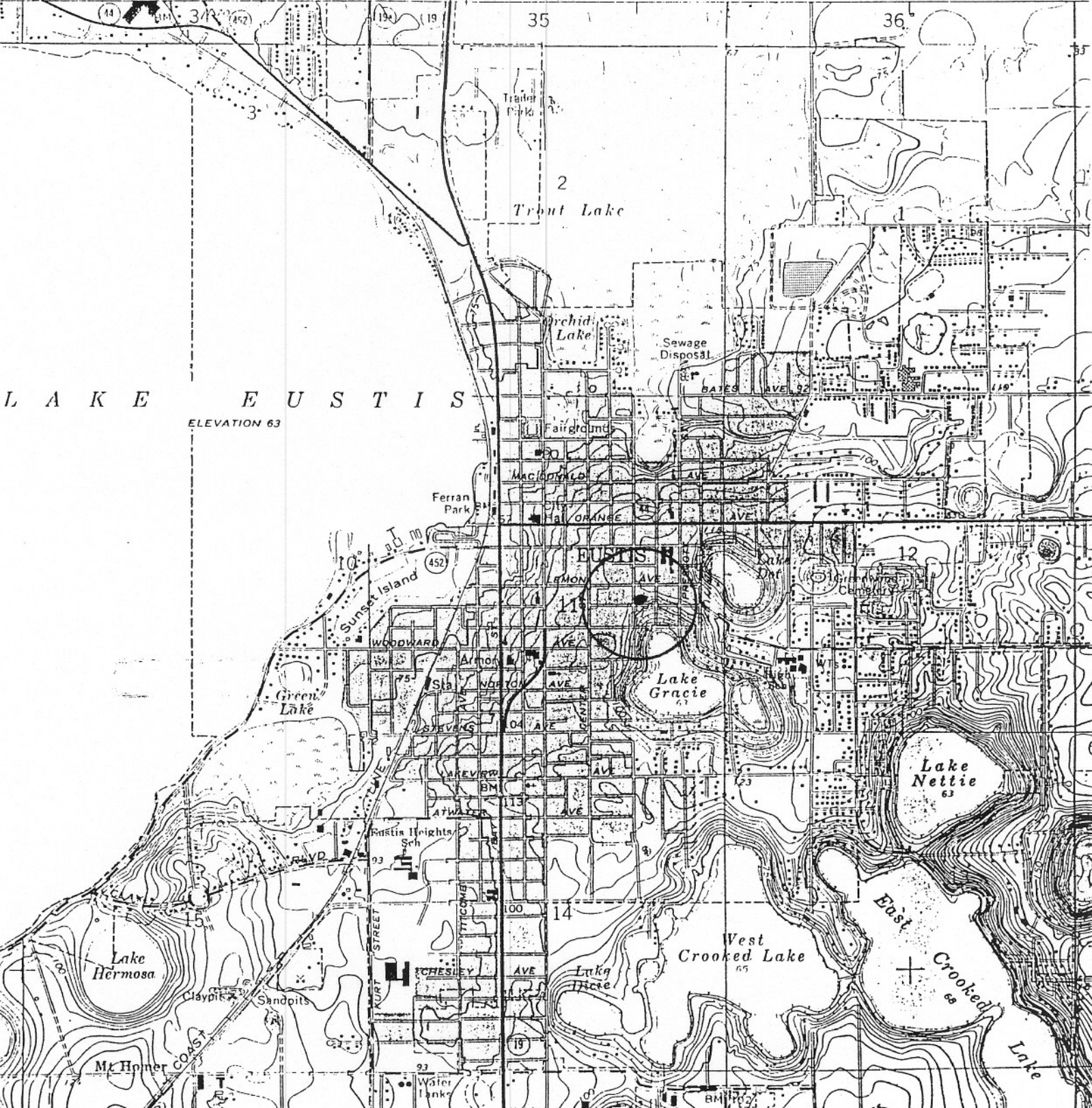


STATE OF FLORIDA  
 STATE ROAD DEPARTMENT  
 AND INTERNAL IMPROVEMENT FUND

UNITED STATES  
 DEPARTMENT OF THE INTERIOR  
 GEOLOGICAL SURVEY

Item 4.1

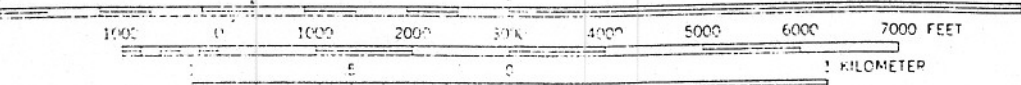
LEFSBURG 11 MI. LISBON 4.9 MI. 4641 1 NV (UMATILLA) UMATILLA 4.1 MI. 132 134 40' R. 26 E. F



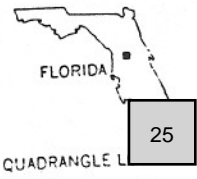
ELEVATION 63

SCALE 1:24 000

1 MILE



CONTOUR INTERVAL 5 FEET  
 NATIONAL GEODETIC VERTICAL DATUM OF 1929





# City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

TO: HISTORIC PRESERVATION BOARD

FROM: KYLE WILKES, SENIOR PLANNER

DATE: NOVEMBER 13, 2024

RE: CERTIFICATE OF APPROPRIATENESS 2024-COA-11 CONSTRUCTION OF A NEW GARAGE – AFTER THE FACT - AT 700 E WASHINGTON AVENUE (ALTERNATE KEY 1631301)

## **PROPOSED PROJECT:**

***This item was tabled from the September 11, 2024 HPB meeting. The applicant was asked to provide a landscape plan to screen the after-the-fact garage. The applicant has proceeded to install landscaping, including:***

- ***Avocado tree***
- ***Bougainvillea***
- ***Japanese Plum Tree***
- ***Mulberry Tree***

***Example photos and a diagram provided by the applicant illustrating planting type(s) and locations is attached with this staff report.***

Shane Pitman, the property owner, is requesting Historic Preservation Board approval for an after-the-fact Certificate of Appropriateness for a two-car garage at 700 E Washington Avenue. The property is a corner lot, located at the corner of E Washington Avenue and S Salem Street. The garage is partially visible from S Salem Street; if not, it could potentially be approved administratively by staff, without formal review by the Board, if it meets review criteria. Any proposed work in the historic district that is visible from the street must be reviewed and approved by the Historic Preservation Board. The applicant was unaware that a Certificate of Appropriateness was required, and seeks approval to bring the garage in compliance with historic district requirements. The subject property is located at the corner of S Salem St and Washington Avenue, on the south side of Washington Avenue. The garage is twenty-four (24) feet by thirty (30) feet in dimensions and a height of approximately 15 feet to the peak of the truss line. The proposed garage would be located:

Approximately 15 feet from the southern side property line

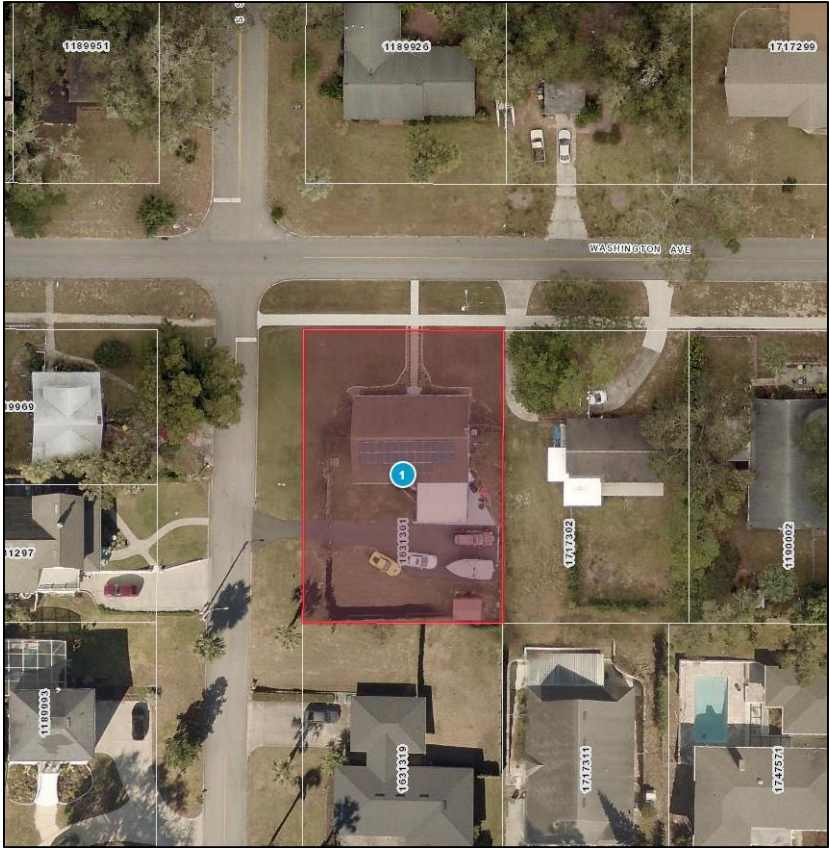
5 feet from the side (eastern) property line

Approximately 63 feet from S Salem Street at the corner of the property to the end of the driveway on the west side of the home.

**PROPERTY INFORMATION:**

Owner: Shane Pitman  
Applicant: Owner  
Site Acreage: 0.27  
Year Built: 1973  
Future Land Use: Suburban Residential (SR)  
Design District: Urban Neighborhood

**Site Location**



Section 46-227

(l) In considering an application for a certificate of appropriateness for alteration, new construction, demolition or relocation, the board shall be guided by the following general standards:

(1) The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;

***This site, 700 E Washington Avenue, is classified as non-contributing. There is no Florida Master Site File for this property. However, the garage complements the architectural style of the existing concrete block home on the property. Additionally, it is consistent with the applicable Future Land Use Designation, Design District and Lot Typology regulations.***

***A previous Certificate of Appropriateness for a six (6) foot wood privacy fence was approved in 2015 (2015-COA-07), which partially hides the garage from the surrounding neighborhood (see Exhibit A for photos showing provided by applicant showing the garage in relationship to the fence and surrounding area).***

(2) The relationship between such work and other structures on the landmark site or other property in the historic district;

***The garage as shown is a shade of gray that is complementary to the gray color palette of the existing residential structure. The peaked roof line and height is consistent with that of the architectural style and the existing home.***



(3) The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, and materials of the landmark or the property will be affected;

***The color of the garage complements the dark gray color of existing home. The “paneling” on the garage is horizontal, which complements the horizontal concrete blocks of the existing home, so these structures are similar to one another. Overall, the design elements of the garage complement the architectural style of the existing home (i.e. complementary colors, building materials, structural shape of the build).***



(4) Whether the plans may be carried out by the applicant within a reasonable period of time.

***If the Historic Preservation Board approves the COA, the applicant would then be in compliance with Land Development Regulations regarding the Washington Avenue Historic District. The usual inspections and any other requirements with a building permit would apply.***

(n) In considering an application for a certificate of appropriateness for new construction, the board shall consider the following additional guidelines:

(1) *Height.* The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in an historic district.

***The proposed garage height of 15 does not pose a conflict with the compatibility with the current home on the site. It is consistent with the Future Land Use Designation and Design District regulations.***

(2) *Proportions of windows and doors.* The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in an historic district.

***The visible efface of the garage incorporates doors that are compatible with and proportionate to the size of the garage. However, the doors are incompatible with the character of the surrounding structures in the historic district but are compatible with a traditional, modern block build of the existing home.***

(3) *Relationship of building masses, setbacks and spaces.* The relationship of a structure within an historic district to the open space between it and adjoining structures shall be compatible.

***The proposed setbacks are consistent with the requirements of the lot type and design district in addition to posing no issues with the relationship to the historic district and open space.***

(4) *Roof shape.* The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in an historic district.

***The pitch and style of the roof of the garage closely match that of the existing single-family residence on the property.***

(5) *Landscaping.* Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in an historic district.

***While the applicant has not provided a landscape plan, they intend to preserve the existing landscaping on the property.***

(6) *Scale.* The scale of the structure after alteration, construction or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.

***The scale of the proposed shed is compatible with the existing building, and the architecture.***

(7) *Directional expression.* Facades in historic districts shall blend with other structures with regard to directional expression. Structures in an historic district shall

be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction or partial demolition shall be compatible with its original architectural style and character.

***The proposed shed should not extensively change the directional expression of the non-contributing site.***

(8) *Architectural details.* Architectural details, including materials and textures, shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The board will give recommendations as to appropriate colors for any landmark or historic district.

***Color for the garage is compatible with the existing home. The roof pitch is compatible with that of the existing house.***

(9) *Impact on archaeological sites.* New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.

***Not applicable.***

### **CONSIDERATIONS:**

Staff has reviewed the COA application for a new shed and offers the following:

The garage is only visible to the street from S Salem Street. The visible elements of the garage are generally compatible with the architectural style of the non-contributing existing residential structure and do not pose any overt incompatibilities. Additionally, the garage meets the setback and other applicable land development regulations for the site.

### **RECOMMENDATION:**

Based on the analysis above, the criteria for evaluation provided in this report, the garage is consistent with the subject property's architectural style and the existing development of the property.

Staff recommends approval of this request.

### **ATTACHMENTS:**

Photos to Show Garage from Street Provided by Applicant  
COA Application  
Planting Types and Locations Provided by Applicant

c: Applicant/Property Owner  
Historic Preservation Board Members  
File: 2024-COA-11





EXHIBIT B: CERTIFICATE OF APPROPRIATENESS APPLICATION

Item 5.1



**CITY OF EUSTIS HISTORIC PRESERVATION BOARD**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)**  
 4 N. Grove St., P.O. Drawer 68, Eustis, FL 32727-0068  
 Phone: (352) 483-5460 Fax: (352) 357-4177 Email: [planner@ci.eustis.fl.us](mailto:planner@ci.eustis.fl.us)

PLEASE SELECT ALL THAT APPLY TO YOUR PROPERTY:

- Local Landmark/Site                       Eustis Main Street Area  
 Washington Avenue Historic District

ADDRESS OF PROPERTY: 700 East Washington Ave Eustis FL 32726

**Property Owner** Shane Pitman  
 Print Name: \_\_\_\_\_  
 Mailing Address: 700 East Washington Ave Eustis FL 32726  
 Phone: 352-516-5996 Fax: \_\_\_\_\_  
 Email: lcs01102@yahoo.com

**Applicant/Agent** (if different from property owner)  
 Print Name: Shane Pitman  
 Mailing Address: 700 East Washington Ave Eustis FL 32726  
 Phone: 352-516-5996 Fax: \_\_\_\_\_  
 Email: lcs01102@yahoo.com

I certify that all information contained in this application is true and accurate to the best of my knowledge.

**Applicant/Owner:** [Signature] Date: 7/24/24

Incomplete applications will not be reviewed and will be returned to you for more information. You are encouraged to contact Development Services, at (352) 483-5460, to make sure your application is complete.

Description of Proposed Work: (Check all that apply)

- Alteration                       Demolition                       Relocation                       New Construction

Completely describe the entire scope of work: all changes proposed on the exterior of the building, where on the property the work will occur, how the work will be accomplished, and the types of materials to be used. For large projects, an itemized list is recommended. Attach additional pages if necessary. Please include any additional information as may be applicable to your request including such as photos, drawings, samples of materials, and producing brochures.

When i purchased my house it did not come with a garage. I recently had a 2 car garage installed in my back yard to contain my boat and vehicle. The garage is 24 feet wide and 30 feet long with 2 garage doors and matches the color of the house. I was unaware that i needed approval to build it and was told wrong information about the permit. I am sorry for this and will go through all procedures required by your department.

**OFFICIAL USE ONLY**

Date Received: 7/24/2024 Historic Preservation Board Meeting Date: \_\_\_\_\_  
 File No.: 2024-COA-11 Was a COA issued? Yes \_\_\_\_\_ No \_\_\_\_\_

Administrative Approval

Application Approved: \_\_\_\_\_ Approved with Conditions: \_\_\_\_\_ Application Denied: \_\_\_\_\_  
 Conditions/Reasons: \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_



Avocado Tree



Bougainvillea



Japanese Plum Tree



Mulberry Tree





# City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: Tom Carrino, City Manager

DATE: January 2, 2025

RE: Historic Preservation Annual Report

## **Introduction:**

The purpose of this item is to provide the City Commission with an annual report as required by Section 46-59 of the Code of Ordinances.

## **Background:**

On September 7, 1995, the City adopted Ordinance No. 95-27 establishing a historic preservation program within the City. The ordinance is now codified as Chapter 46 of the Eustis Code of Ordinances. Section 46-59 states that, "The board shall annually make a report to the city commission of its activities." Pursuant to that requirement, the Eustis Historic Preservation Board offers the following regarding its activities for the period beginning October 1, 2023, and ending September 30, 2024.

## **Summary of Regular Historic Preservation Activities:**

Activity	Number Reviewed/Attended	Number Submitted / Under Review	Number Approved	Number Denied
New Local Landmark Designations	0	0	0	0
National Register Proposals:	0	0	0	0
Certificates of Appropriateness (COAs):	7	1	6	0
Administrative COAs:	6	0	6	0
Ad Valorem Tax Exemption Projects:	0	0	0	0
Historic Preservation Board Meetings:	4	n/a	n/a	n/a
Workshops Attended by Board Members:	0	n/a	n/a	n/a

### **Other Historic Preservation Activities:**

The city selected a consultant (Stantec) to complete a survey as part of a non-matching grant award to determine historic buildings in the City that are now over 50-years old since the last survey was completed. The “City of Eustis Historical and Architectural Survey Phase IV: Mid-Twentieth Century Resources, 1940-1973, was completed in July 2023.

A total of 202 resources were recorded on Florida Master Site File (FMSF) forms as part of the process. These structures incorporate 26 different architectural styles or types, most of which are middle-class residences.

No new contributing structures within the existing historic districts were identified. However, the consultant noted that additional survey along major roadways such as Bay Street and Grove Street may also help recognize roadside architecture and historic signs encouraging heritage tourists to take the “road less traveled”, while surveying near and around Lake Nettie, East Crooked Lake, and West Crooked Lake may identify additional historic districts.

### **Planned Activities for Next Reporting Period:**

- Review certificates of appropriateness and local landmark designation requests as needed.
- Utilize the information collected by the historic and architectural survey, and use to inform future work, such as additional public education on historic sites or opportunities for new local landmark designations or national register proposals.
- Look for grant opportunities for additional signage and public outreach efforts to make the public aware of the existence of the historic districts and what that means for them.
- Conduct historic preservation education and research as staff availability allows, with offerings to the Board for training and education.
  - Focus on a mid-century modern component and the post-war years

### **Recommended Action:**

Acceptance of Historic Preservation Board Annual Report.

### **Policy Implications:**

None.

### **Alternatives:**

1. Accept the Historic Preservation Annual Report
2. Do not accept the Historic Preservation Annual Report and provide other directions to staff.

### **Budget/Staff Impact:**

There is no budget or staff impact related to this item.

**Prepared By:**  
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**Reviewed By:**  
Historic Preservation Board, approved during November 13, 2024, HPB meeting