



AGENDA

City Commission Meeting

6:00 PM – Thursday, July 20, 2023 – City Hall

INVOCATION: PASTOR KEEGAN SHOEMAKER, LIFEPOINTE CHURCH

PLEDGE OF ALLEGIANCE: COMMISSIONER NAN COBB

CALL TO ORDER

ACKNOWLEDGE OF QUORUM AND PROPER NOTICE

1. AGENDA UPDATE

2. PRESENTATIONS

2.1 Promotion Ceremony for Lieutenant Grieves

3. AUDIENCE TO BE HEARD

4. CONSENT AGENDA

4.1 Resolution Number 23-56: Bid Award for Bay Street Medians Landscape Construction

4.2 Resolution Number 23-58: Amending the FY2022-2023 Economic Development Fund to accept Duke Energy Foundation Marketing and Research Grant

4.3 Resolution Number 23-59: Amending FY2022-23 Economic Development Fund (68) to accept the Lake County Award for the Incubation Partnership Agreement

4.4 Resolution Number 23-63: Authorizing the recording of liens on delinquent utility accounts

4.5 Resolution Number 23-64: Mediated Settlement Agreement with SpenceTF, LLC

4.6 Resolution Number 23-65: Authorizing a Budget Amendment to the FY2022-23 General Fund Budget to accommodate a Mediated Settlement Agreement with SpenceTF LLC

5. ORDINANCES, PUBLIC HEARINGS & QUASI-JUDICIAL HEARINGS

5.1 Resolution Number 23-53: Huddle Townhomes Mixed-Use Community Preliminary Subdivision Plat Project at 19040 State Road 44 (Alternate Key Numbers 2612533 AND 2612517)

5.2 **SECOND READING**

Ordinance Numbers 23-12, 23-13, and 23-14: EXPLANATION OF ORDINANCES FOR ANNEXATION OF PARCELS with ALTERNATE KEYS 1444756, 2585153, AND 2535628

Ordinance Number 23-12: Voluntary Annexation

Ordinance Number 23-13: Comprehensive Plan Amendment

Ordinance Number 23-14: Design District Assignment

5.3 SECOND READING

Ordinance Number 23-13: Comprehensive Plan Amendment

Explanation of Ordinances for Annexation, Assignment of Future Land Use and Design District for Parcels with Alternate Keys 1444756, 2585153, AND 2535628

5.4 SECOND READING

Ordinance Number 23-14: Design District

Explanation of Ordinances for Annexation, Assignment of Future Land Use and Design District for Parcels with Alternate Keys 1444756, 2585153, AND 2535628

5.5 FIRST READING

Ordinance Number 23-11: FIRST READING Conditional Use Permit for an Accessory Dwelling Unit at 708 East Lemon Avenue

6. OTHER BUSINESS

7. FUTURE AGENDA ITEMS

8. COMMENTS

8.1 City Commission

8.2 City Manager

8.3 City Attorney

8.4 Mayor

9. ADJOURNMENT

This Agenda is provided to the Commission only as a guide, and in no way limits their consideration to the items contained hereon. The Commission has the sole right to determine those items they will discuss, consider, act upon, or fail to act upon. Changes or amendments to this Agenda may occur at any time prior to, or during the scheduled meeting. It is recommended that if you have an interest in the meeting, you make every attempt to attend the meeting. This Agenda is provided only as a courtesy, and such provision in no way infers or conveys that the Agenda appearing here is, or will be the Agenda considered at the meeting.

If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (Florida Statutes, 286.0105). In accordance with the Americans with Disabilities Act of 1990, persons needing a special accommodation to participate in this proceeding should contact the City Clerk 48 hours prior to any meeting so arrangements can be made. Telephone (352) 483-5430 for assistance.

“Any invocation that may be offered before the official start of the Commission meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Commission and the public. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Commission, and the Commission is not allowed by law to endorse the religious beliefs or views of this, or any other speaker.”



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: Tom Carrino, City Manager

DATE: July 20, 2023

RE: Resolution Number 23-56: Bid Award for Bay Street Medians Landscape Construction

Introduction:

Resolution Number 23-56 awards Bid Number 006-23 to Helping Hand Lawn Care, LLC; authorizes an agreement which approves an expenditure of \$46,135 for the landscape construction of the Bay Street Medians; and authorizes the City Manger to execute all agreements for this project.

Background:

On May 15, 2023, Eustis Purchasing Department advertised for bids to for all labor, materials and equipment necessary to complete the landscaping, irrigation and maintenance per the bid specifications in nine (9) bed medians along Bay Street, also known as State Road 19, from Herrick Ave. to Ashford Ave., Eustis, Florida.

Deliverables will include:

- Contractor shall remove existing plants and sod in landscape areas shown in drawings and re-plant with plants listed below. All islands will have irrigation by the time work commences. Some existing plants will remain.
- Installation of Plants
 - Bed #1 will have Pink Muhly Grass installed (A) and Dune Sun Flower (D)
 - Bed #2 will have Society Garlic (E)
 - Bed #3 will have Coontie (C) added
 - Bed #4 will have Coontie (C) added
 - Bed #5 will have Coontie (C) added.
 - Bed #6 will have Pink Muhly Grass installed (A)
 - Bed #7 will have Society Garlic (E)
 - Bed #8 will have Pink Muhly Grass installed (A)
 - Sheet LS.02 will trim existing Crape Myrtles and add mulch
 - Sheet LS.03 will trim existing Crape Myrtles and Perennial Peanut and add mulch
- Watering, mowing, maintenance and litter removal shall take place during the construction period.
- Maintenance of traffic, where applicable

The bid opening date was June 12, 2023 and two bids were received:

- Earthscapes Unlimited, Inc. from Coleman, FL, lump sum of \$315,835.58
- Helping Hand Lawn Care, LLC, from Sorrento, FL, lump sum of \$46,135.

Recommended Action:

Staff recommends awarding Bid Number 006-23 to Helping Hand Lawn Care, LLC of Sorrento, Florida.

Policy Implications:

n/a

Alternatives:

There are no other feasible alternatives. City Commission has expressed the desire to clean-up and beautify the Landscaped Islands that run through the middle of Bay Street/SR-19 in downtown Eustis. In March 2023, Murray Design Group created an approved landscaping design for this purpose. The 2nd bid submission received from Earthscapes Unlimited, Inc. is exorbitant and not under consideration.

Budget/Staff Impact:

The cost for this project is available in Account Number 010-8600-517-60-01, Facility Improvements.

Prepared By:

Sally Mayer, Administrative Assistant, Public Utilities/Engineering

Reviewed By:

Rick Gierok, P.E. – Director of Public Works

Attachments:

Resolution Number 23-56

Bid #003-23 Specifications – upon request

RESOLUTION NUMBER 23-56

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF EUSTIS, FLORIDA, AWARDING BID NO. 006-23 TO HELPING HAND LAWN CARE, LLC.; APPROVING A PURCHASE OF \$46,135 FOR THE LANDSCAPING CONSTRUCTION OF THE BAY STREET MEDIANS; AND AUTHORIZING THE CITY MANAGER TO EXECUTE ALL AGREEMENTS AND CONTRACTS WITH HELPING HAND LAWN CARE, LLC.

WHEREAS, the City’s approved 2022-2023 Budget includes funds for the construction costs of landscaping the Bay Street Medians; and

WHEREAS, Murray Design Group designed the landscaping plans to beautify the medians; and

WHEREAS, Helping Hand Lawn Care, LLC, of Sorrento, Florida. submitted a proposal to serve as the landscaping construction company for this project; and

WHEREAS, funds are available for this project in Account #010-8600-517-60-01.

NOW, THEREFORE, BE IT RESOLVED by the City Commission of the City of Eustis, Lake County, Florida, that:

- (1) The City Commission hereby awards Bid #006-23 to Helping Hand Lawn Care, LLC.; and
- (2) Authorizes the City Manager to execute an agreement with Helping Hand Lawn Care, LLC. for the procurement of Landscaping Construction Services for the landscaping of the Bay Street Medians; and
- (3) That this resolution shall become effective immediately upon passing.

DONE AND RESOLVED, this 20th day of July, 2023, in regular session of the City Commission of the City of Eustis, Lake County, Florida.

CITY COMMISSION OF THE CITY OF EUSTIS, FLORIDA

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me, by means of physical presence, this 20th day of July, 2023, by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires:
Notary Serial No:

CITY ATTORNEY'S OFFICE

This document has been reviewed and approved as to form and legal content, for use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney's Office Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-56 is hereby approved, and I certify that I published the same by posting one copy hereof at City Hall, one copy hereof at the Eustis Memorial Library, and one copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: TOM CARRINO, CITY MANAGER

DATE: JULY 20, 2023

RE: RESOLUTION NUMBER 23-58: A RESOLUTION BY THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, AMENDING THE FY 2022-2023 ECONOMIC DEVELOPMENT FUND TO ACCEPT DUKE ENERGY FOUNDATION MARKETING AND RESEARCH GRANT; AND ALLOWING THE ECONOMIC DEVELOPMENT FUND TO ACCESS FUND BALANCE TO PROVIDE THE MATCHING FUNDS THROUGH A TRANSFER FROM THE PROMOTIONAL ACCCOUNT

Recommended:

This report seeks acceptance of the City of Eustis Economic Development Awards from Duke Energy Foundation for marketing and research.

Background:

In the FY 2022-2023, the City of Eustis will be granted funds for the Economic Development Marketing and Research Plan through the Duke Energy Foundation. This grant amounts to \$20,000 and requires the City to contribute matching funds of \$10,000.

The grant will be utilized to assist in organizing a market research effort to better bring economic growth potential for the City of Eustis. It is anticipated that this grant seeks opportunities for the growth of young professionals, commercial development, business diversifications and attracting a higher percentage of visitors within the Eustis community.

The grant will look at various components to obtain the best outcomes:

- The marketing plan will encompass an analysis of strengths, weaknesses, opportunities and threats.
- Develop targeted messages for various marketing platforms.
- Develop a comprehensive profile of the current and potential markets.
- Develop an accountability plan for the implementation of the marketing plan and measurements of success.
- Marketing audit to collect and review all marketing activities done in the past three years and evaluate for quality and success (Eustis web Site, press releases and announcements, advertisements, brochures and other print materials, social media platforms, and magazines)
- Stakeholder interviews conduct internal and external interviews to assess the City’s appeal (In-person, complete a competitor destination analysis, survey business audiences, survey previous and prospective visitors, meeting planners to assess event opportunities and survey national and regional media coverage).

- Branding to enhance or create a unique and authentic identity for a lasting and positive impression of Eustis (develop ideas and provide recommendations for branding enhancement and implementation)
- Market Research to understand the community needs and evaluate how Eustis compares with surrounding communities providing a current picture of Eustis as well as providing direction for the future.
- Strategic advantages to analyze assets between Eustis and surrounding Cities to understand similarities, differences and help define the competitive edge of Eustis to bring better and exciting opportunities.

The funding will be used to procure a marketing consultant through a Request for Proposal (RFP). The solicitation process should invite 5 to 7 marketing consultants to provide competitive quotes. The quotes will be selected based on qualifications, expertise and quality of work within the budgeted amount.

In order for the Economic Development Fund to implement the marketing effort, the City of Eustis needs to amend the budget. This amendment will allow the Economic Development Fund to be used for expenses related to future developments within the Economic Development Department. This adjustment is necessary to ensure compliance with Generally Accepted Accounting Principles and to meet the needs and requirements of the newly established departmental directions.

Finance Director will make amendments to the Economic Development Fund Budgets as outlined below:

- Accept Revenue: 068-0000-366-10-00 in the amount of \$20,000
- Increase Expenditures in 068-1220-525-81-02 by \$20,000
- Transfer from Account 068-1220-552-30-48 to Account 068-1220-525-81-02 \$10,000 to bring the Grant account to a total of \$30,000

Alternatives:

1. Adopt Resolution Number 23-58 and approve the Economic Development awards acceptance of the total revenue of \$20,000 and associated expenditures. Direct staff to make specific changes to the budget and immediately adopt the revised version.
2. Reject Resolution Number 23-58, and disapprove the Economic Development awards acceptance.

Prepared By:

Mike Sheppard, Finance Director

Reviewed By:

Nelly Harnish, Deputy Finance Director

Attachment: Resolution Number 23-58

RESOLUTION NUMBER 23-58

A RESOLUTION BY THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, AMENDING THE FY2022-2023 ECONOMIC DEVELOPMENT FUND TO ACCEPT DUKE ENERGY FOUNDATION MARKETING AND RESEARCH GRANT; AND ALLOWING THE ECONOMIC DEVELOPMENT FUND TO ACCESS FUND BALANCE TO PROVIDE THE MATCHING FUNDS

WHEREAS, in FY 2022-2023, the City of Eustis will receive the Marketing and Research grant from the Duke Energy Foundation for the City's Economic Development Marketing and Research Plan, an award of \$20,000, and the City will match \$10,000 dollars from a transfer of existing which will make the total expenditure \$30,000, and

WHEREAS, the City of Eustis has an Economic Development Fund to cover expenses relative to Marketing Plan to match the grant funds awarded by the Duke Energy Foundation, and to match Federal grant funds awarded for Economic Development Feasibility Plan. The City of Eustis Economic Development has an opportunity to use the Economic Development Fund to cover expenses realized for the implementation of Marketing and Feasibility Plans, and

WHEREAS, the City of Eustis will need to approve an amendment to the budget in The Economic Development Fund to expend monies previously collected for expenditures Due to Economic Development Department's future developments, and

WHEREAS, the legal use of the Economic Development Fund balance meets the needs and requirements for the expenditures relative to the newly created departmental directions, and

WHEREAS, Generally Accepted Accounting Principles necessitate these adjustments be made as amendments to the FY 2022-2023 Economic Development Budget; and

WHEREAS, the City Commission of the City of Eustis, Florida, authorizes the Finance Director to amend the Economic Development Fund Budget as follows:

For Revenue Accepting and Matching City Funds, Marketing, and Research Plan:

To Accept the Revenue in account 068-0000-366-10-00 of \$20,000
 Increase Expenditures in account 068-1220-525-81-02 in the amount of \$20,000
 Transfer \$10,000 from account 068-1220-552-30-48 to account 068-1220-525-81-02 to bring the total available expenditures to \$30,000

NOW, THEREFORE, BE IT RESOLVED by the City Commission of the City of Eustis, Lake County, Florida, as follows:

Section 1

The Fiscal Year 2022-2023 final budget for the Economic Development Fund is amended to include the cost of City Matching Funds of the Duke Energy grant as it was described in the body of the resolution in the total amount of \$20,000.

Section 2

That the Finance Director of the City of Eustis is hereby authorized to amend the FY 2022-2023 Budget to include the appropriation and transfer of funds to accounts as described within the resolution.

Section 3

That this Resolution shall take effect immediately upon its adoption.

DONE AND RESOLVED this 20th day of July 2023, in the regular session of the City Commission of the City of Eustis, Lake County, Florida.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this 20th day of July 2023 by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires: _____
Notary Serial No: _____

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content for use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney's Office

Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-58 is hereby approved, and I certify that I published the same by posting one (1) copy hereof at City Hall, one (1) copy hereof at the Eustis Memorial Library, and one (1) copy hereof at the Eustis Senior Service Center, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: TOM CARRINO, CITY MANAGER

DATE: JULY 20, 2023

RE: RESOLUTION NUMBER 23-59 A RESOLUTION BY THE CITY OF EUSTIS COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, AMENDING THE FY 2022-2023 ECONOMIC DEVELOPMENT FUND (68) TO ACCEPT THE LAKE COUNTY AWARD FOR THE INCUBATOR PARTNERSHIP AGREEMENT AND ALLOW THE ECONOMIC DEVELOPMENT FUND TO ACCEPT A TRANSFER FROM THE GENERAL FUND TO COVER THE NECESSARY MATCHING OF FUNDS AS WELL AS SET UP A CORRESPONDING EXPENDITURE TO COMPENSATE THE UNIVERSITY OF CENTRAL FLORIDA RESEARCH FOUNDATION (UCFRF) FOR THE PROGRAM SUPPORT.

Recommended Action:

This report seeks acceptance of the Incubator grant from Lake County over the next four (4) years. Allowing the City to move forward with the incubator and pay The University of Central Florida Research Foundation (UCFRF) to operate the incubator.

Background:

In the FY 2022-2023, the City of Eustis will receive financial assistance from Lake County to be included in the Economic Development Fund (68). The assistance amounts is \$450,000 over a three-year period, with the City providing matching funds of \$150,000. Additionally, the City has agreed to compensate the UCFRF with \$200,000 annually for three years to support the program.

During FY 2022-232023, the City will receive \$75,000 from Lake County, which requires the City to provide matching funds of \$25,000. The compensation to the UCFRF in the same fiscal year will be \$100,000. The General Fund will be used to match the funds awarded by Lake County. These funds will come from the annual Code Violations and be transferred to the Economic Development Fund for the match.

The funding for the entire project will be as follows:

FY 2022-23 Lake County Funding	\$ 75,000	City Match	\$ 25,000
FY 2023-24 Lake County Funding	\$150,000	City Match	\$ 50,000
FY 2024-25 Lake County Funding	\$150,000	City Match	\$ 50,000
FY 2025-26 Lake County Funding	<u>\$ 75,000</u>	City Match	<u>\$ 25,000</u>
Total	<u>\$450,000</u>	City Match	<u>\$150,000</u>
Grand Total to Cover UCF Cost			<u>\$600,000</u>

The FY2022-23 Budget requires the following budget amendment:

Increase Revenue Account 068-0000-366-20-00 County Aid	\$ 75,000
Increase Revenue Account 068-0000-381-01-00 Transfer from Gen. Fd.	\$ 25,000
Increase Expenditure Account 068-1220-552-81-01 Incubator UCFRF	\$100,000

Increase Expenditure Account 001-8100-581-91-68 Transfer to Fund 68 \$ 25,000
(Available from the Code Violation Collections during FY 22-23)

Alternatives:

1. Adopt Resolution Number 23-59 and approve Lake County award acceptance of the total revenue of \$450,000, including the City matching revenues along with associated expenditures. Direct staff to make specific changes to the budget and immediately adopt the revised version as Final during the hearing.
2. Reject Resolution Number 23-59, and disapprove Lake County award acceptance and the associated expenditures involved with the incubator project.

Discussion of Alternatives:

1. Alternative #1 provides for adopting Resolution Number 23-59 and approving the acceptance of County Grant along with the matching City portions of revenue moving forward with the incubator in partnership with the County award and expenditures.

Advantages of approving:

The City Incubator offers several advantages for economic development and the local community:

- Support for Startups and Entrepreneurs: The City Incubator provides a supportive environment for startups and entrepreneurs to nurture and grow their business ideas. It offers access to resources, mentorship, and networking opportunities, which can significantly increase their chances of success.
- Job Creation: The City Incubator plays a crucial role in job creation by fostering the growth of startups and small businesses. Startups that flourish within the incubator often hire local talent, contributing to employment opportunities and reducing unemployment rates in the community.
- Economic Growth: Successful startups and small businesses supported by the City Incubator contribute to the local economy through increased tax revenues,

business spending, and economic activity. They can also attract additional investments and spur further economic development in the area.

- **Community Engagement and Networking:** The City Incubator brings together entrepreneurs, mentors, investors, and community members, fostering collaboration and engagement. It provides networking opportunities, events, and workshops that help build strong business connections and a supportive entrepreneurial ecosystem.

Disadvantages of approving:

2. Alternative #2, rejection of adopting Resolution Number 23-59 and disapproving the acceptance of awards and expenditures.

Advantages of disapproving:

- None known

Disadvantages of disapproving:

- The City would have to fund the entire program on our own.

Approving the acceptance of the award will provide support from other agencies as well as supporting the economic development of the City. We will receive exposure and goodwill for our work in the community.

Prepared By:

Mike Sheppard, Finance Director

Reviewed By:

Nelly Harnisch, Deputy Finance Director

Attachment: Resolution Number 23-59

RESOLUTION NUMBER 23-59

A RESOLUTION BY THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, AMENDING THE FY2022-2023 THE ECONOMIC DEVELOPMENT FUND (68) TO ACCEPT THE LAKE COUNTY AWARD FOR THE INCUBATOR PARTNERSHIP AGREEMENT AND ALLOW THE ECONOMIC DEVELOPMENT FUND TO ACCEPT A TRANSFER FROM THE GENERAL FUND TO COVER THE NECESSARY MATCHING OF FUNDS AS WELL AS SET UP A CORRESPONDING EXPENDITURE TO COMPENSATE THE UNIVERSITY OF CENTRAL FLORIDA RESEARCH FOUNDATION (UCFRF) FOR THE PROGRAM SUPPORT.

WHEREAS, in FY 2022-2023, the City of Eustis will receive aid from Lake County for the City’s Economic Development Fund (68) for \$450,000 spanning a three-year period, with the total City matching funds of \$150,000. The City has agreed to compensate the UCFRF for the program support, \$200,000 annually for three years. In FY 2022-2023, the City will receive \$75,000 from Lake County. These funds need to be accepted by the City with matching City funds of \$25,000. In FY 2022-2023, the UCFRF compensation will be \$100,000; and

WHEREAS, the City of Eustis will make a transfer of \$25,000 from the General Fund to the Economic Development Fund covering the matching portion of the grant, and

WHEREAS, the City of Eustis will need to approve an amendment to the budget in the Economic Development Fund to expend monies previously collected in the Economic Development Fund (68) for expenditures, and

WHEREAS, Generally Accepted Accounting Principles necessitates these adjustments be made as amendments to the FY 2022-2023 Economic Development Fund (68) and the General Fund (01) Budget as follows: and

Increase Revenue Account 068-0000-366-20-00 County Aid	\$ 75,000
Increase Revenue Account 068-0000-381-01-00 Transfer from Gen. Fund	\$ 25,000
Increase Expenditure Account 068-1220-552-81-01 Incubator UCFRF	\$100,000
Increase Expenditure Account 001-8100-581-91-68 Transfer to Fund 68	\$ 25,000
<i>(Available from the Code Violation Collections during FY 22-23)</i>	

NOW, THEREFORE, BE IT RESOLVED by the City Commission of the City of Eustis, Lake County, Florida, as follows:

Section 1

The Fiscal Year 2022-2023 budget for the Economic Development Fund (68) and the General Fund (01) be amended to include acceptance of revenue from Lake County in the amount of \$75,000, and a transfer of money from the General Fund in the amount of \$25,000, which will be used to pay UCFRF in the amount of \$100,000.

Section 2

That the Finance Director of the City of Eustis is hereby authorized to amend the FY 2022-2023 Budget to include the appropriation of funds from Lake County and a transfer from the General Fund. Monies to be accepted by the Economic Development Fund and applied to expenditures associated with the Incubator.

Section 3

That this Resolution shall take effect immediately upon its adoption.

DONE AND RESOLVED this 20th day of July 2023, in the regular session of the City Commission of the City of Eustis, Lake County, Florida.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this _____ day of July 2023 by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires: _____
Notary Serial No: _____

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content for use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney's Office

Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-59 is hereby approved, and I certify that I published the same by posting one (1) copy hereof at City Hall, one (1) copy hereof at the Eustis Memorial Library, and one (1) copy hereof at the Eustis Parks & Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk



TO: EUSTIS CITY COMMISSION
FROM: TOM CARRINO, CITY MANAGER
DATE: July 20, 2023
RE: RESOLUTION NUMBER 23-63 AUTHORIZING THE RECORDING OF LIENS ON DELINQUENT UTILITY ACCOUNTS

Introduction:

On September 7, 2017, the Commission adopted Resolution Number 17-10, which approved implementing property liens for qualifying delinquent utility accounts. The purpose of recording a lien is twofold:

- 1) To recover the City's cost of water, wastewater, and/or irrigation services.
- 2) To follow Florida Statutes. F.S. 159.17 *Lien of Service Charges*, requires any city issuing revenue bonds to have property liens on utility systems.
The City issued Water and Sewer Series 2016 Revenue Bonds.

Staff identified accounts over 90 days delinquent. With proper notice provided, the City discontinued utility services upon failure of the property owner to pay water, wastewater, irrigation and/or garbage services. The City has exhausted all collection options. With the Commission's approval, liens will be applied to the below listed delinquent accounts.

Recommended Action:

Staff recommends approval of Resolution Number 23-63 authorizing the recording of liens for the properties listed below.

22224-1	SMITH, JOEL F Meter was removed 5/19/23. Last payment received 9/23/22. Voucher received from LCAA for \$680.92 but needs additional \$415.00 to get meter reinstalled, customer states will not pay it.	405 S CENTER ST	\$1,095.92
24020-0	LONDON, JOSEPH D & KAMERER, FRANK Meter removed 7/11/23. No way to contact customer. Water cut 5/25/23, last paid 2/6/23.	1205 S DEWEY	\$360.02
35734-3	LOPER, JAMES Meter removed 7/6/23. Water was disconnected on 4/19/23. Last paid 12/6/22. No contact numbers for customer. Last contact customer came to office and promise to pay \$100 on 7/3/23 and pay \$100 biweekly until account is up-to-date, customer broke promise to pay.	310 W WARD	\$347.80

36568-3	CARL, SHARON A Customer requested meter pulled on 3/30/23. Property appraiser still showing she is the owner, last payment received 3/20/23. Customer is not returning voice mails.	309 E WOODWARD	\$386.18
40750-1	KESSINGER, RYAN T Account is for Sewer and Garbage only. Last paid 3/1/23. Customer will not return calls.	34615 ESTES RD	\$486.75
Totals			\$2,676.67

Background:

The City provides various utility services to properties throughout the City, including water, wastewater, irrigation, reclaimed water and garbage services. To follow Florida Statutes and provide prudent measures to recoup reimbursement of utility services, staff is recommending the recording of liens on qualifying delinquent utility accounts.

Alternatives:

1. Approve Resolution Number 23-63
2. Deny Resolution Number 23-63 and provide direction to staff on how they would prefer to proceed.

Discussion of Alternatives:

Approval of Resolution Number 23-63:

Advantages:

- Approval of the Resolution will comply with Florida Statutes and provides prudent management of City utility receivables.

Disadvantages:

- The minimal filing and administrative costs required to record a lien.

Denial of Resolution Number 23-63:

Advantages:

- No additional filing or administrative costs required to file a lien.

Disadvantages:

- The City is not in compliance with Florida Statutes and has little recourse for the collection of unpaid utility services.

Budget/Staff Impact:

The utility enterprise fund has sufficient revenue to process the liens, release and pay recording fees. It is unknown when the recovery will occur. Due to changes in staffing this process is now being reinstated and will occur on a regular basis.

The proposed action will help the City achieve the following objectives:

- Follow Florida Statutes.
- Create a procedure on the collection of past due utility bills which are the property owner's responsibility. Only the owner of the property can be liened. Obligations created by lessee's are not an allowed obligation of the owner of the property.
- Impose and maintain liens on properties for unpaid utility bills

Prepared By:

Arlene Applegate, Customer Service Representative III

Mike Sheppard, Finance Director

RESOLUTION NUMBER 23-63

**A RESOLUTION BY THE CITY COMMISSION OF THE CITY OF EUSTIS,
LAKE COUNTY, FLORIDA, APPROVING THE RECORDING OF WATER,
WASTEWATER AND IRRIGATION LIENS.**

WHEREAS, Florida Statutes Chapter 180 provides municipalities with the authority to establish and operate water utility systems; and

WHEREAS, Florida Statutes 159.17 *Lien of Service Charges* requires that any city issuing revenue bonds shall have a lien on all lands or premises served by any water system, sewer system or gas system for all service charges for such facilities until paid, which liens shall be prior to all other liens on such lands or premises except the lien of state, county and municipal taxes and shall be on a parity with the lien of such state, county and municipal taxes. Such liens, when delinquent for more than 30 days, may be foreclosed by such city in the manner provided by the laws of Florida for the foreclosure of mortgages on real property; and

WHEREAS, the City of Eustis has issued Water and Sewer Series 2016 Revenue Bonds; and

WHEREAS, as authorized by state law, there is hereby imposed a lien on each property that is served by the City's water, wastewater, and/or irrigation system to secure the payment of delinquent City utility services; and

WHEREAS, based on utility criteria, the City identified delinquent accounts (See Staff Report) which will be recorded as water, wastewater and irrigation liens.

NOW, THEREFORE, BE IT RESOLVED that the City Commission of the City of Eustis, Florida, does hereby authorize the recording of such liens.

DONE AND RESOLVED, this 20th day of July 2023, in regular session of the City Commission of the City of Eustis, Lake County, Florida.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran
City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this 20th day of July, 2023, by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires: _____
Notary Serial No: _____

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content for use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney's Office

Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-63 is hereby approved, and I certify that I published the same by posting one (1) copy hereof at City Hall, one (1) copy hereof at the Eustis Memorial Library, and one (1) copy hereof at the Parks & Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: TOM CARRINO, CITY MANAGER

DATE: JULY 20, 2023

RE: **RESOLUTION NUMBER 23-64** – MEDIATED SETTLEMENT AGREEMENT WITH SPENCETF, LLC

And

RESOLUTION NUMBER 23-65 - AUTHORIZING A BUDGET AMENDMENT TO THE FY2022-23 GENERAL FUND BUDGET TO ACCOMMODATE A MEDIATED SETTLEMENT AGREEMENT WITH SPENCETF LLC

Introduction:

Resolution Number 23-64 approves a Mediated Settlement Agreement with SpenceTF. Resolution Number 23-65 authorizes the budget amendment to execute the settlement agreement.

Background:

In March 2020, the City entered into an Agreement for Sale and Purchase of Property to sell City-owned property to SpenceTF for a drive-in movie theater and entertainment venue. The project evolved over time and litigation regarding the sale of the property ensued with Lake County Case No. 2022-CA-000085. On Thursday, June 29, 2023, in compliance with the Court’s Case Management Order setting litigation deadlines, representatives of both sides engaged in mediation.

In order to avoid the additional expense and time associated with continued litigation, the parties entered into a Mediated Settlement Agreement containing an irrevocable offer to the City valid through July 29, 2023 pending City Commission approval. Mutually agreeable terms were reached with the goal of a Joint Dismissal with Prejudice of the litigation. The essential terms include payment of \$300,000.00 to SpenceTF, authorization for release of the earnest money held in escrow to SpenceTF and payment of the mediation costs of \$3,312.00 to the mediator.

In return, the City retains ownership of the property for potential future sale or public use, SpenceTF will provide the City with all due diligence documents pertinent to the property, including but not limited to all site plans, engineering reports, environmental reports and surveys, the value of which is estimated to exceed \$250,000.00. The value of this due diligence coupled with the ability to avoid additional costs and staff time involved with

protracted litigation prompted the Mayor, City Attorney, and City Manager to support this settlement.

Resolution Number 23-65 authorizes the budget amendment to execute the Mediated Settlement Agreement approved by Resolution Number 23-64.

Recommendation:

Staff recommends approval of Resolution Number 23-64 and Resolution Number 23-65.

Prepared By:

Tom Carrino, City Manager

Attachment:

Resolution Number 23-64

Resolution Number 23-65

RESOLUTION NUMBER 23-64

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, APPROVING A MEDIATED SETTLEMENT AGREEMENT BETWEEN SPENCETF, LLC AND THE CITY OF EUSTIS FOR THE JOINT DISMISSAL WITH PREJUDICE OF LAKE COUNTY CASE NO. 2022-CA-000085; AUTHORIZING THE CITY MANAGER TO EXECUTE THE TERMS OF THE AGREEMENT; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, on January 13, 2022, Lake County Case No. 2022-CA-000085 was filed thereby commencing litigation between the parties, SpenceTF, LLC and the City of Eustis related to an Agreement for Sale and Purchase of Property owned by the City of Eustis;

WHEREAS, the parties entered into an Agreed Case Management Order (“CMO”) complying with procedural requirements and submitted the CMO to the Court for its review and approval;

WHEREAS, on April 21, 2023, the Court approved and executed the CMO which established deadlines for parties’ litigation, including the requirement to participate in mediation on or before July 7, 2023;

WHEREAS, on June 29, 2023, in compliance with the CMO, the parties participated in mediation and reached a Mediated Settlement Agreement (hereafter “Agreement”) which is attached hereto as Exhibit A;

WHEREAS, the Agreement consists of an irrevocable offer valid through July 29, 2023 for the City Commission’s consideration and outlines the terms and conditions of the offer;

WHEREAS, the Agreement includes providing the City with all site plans, engineering reports, environmental reports, surveys and all other documents generated during the course of SpenceTF’s due diligence of the real property at issue; the value to the City of receiving the aforementioned documents is estimated to exceed \$250,000.00;

WHEREAS, to avoid the additional expenses and time of litigation, the attached Agreement resolves and settles the parties’ dispute on the terms and conditions set forth therein.

NOW, THEREFORE, BE IT RESOLVED by the City Commission of the City of Eustis, Florida, as follows:

Section 1. The offer made in the Mediated Settlement Agreement attached as Exhibit A is hereby accepted and the terms and conditions contained therein are hereby approved;

Section 2. The City Manager is hereby authorized to take the necessary actions to comply with the terms of the Agreement as presented; and

Section 3. That said Agreement shall become effective immediately upon passage.

DONE AND RESOLVED this 20th day of July, 2023, in regular session of the City Commission of the City of Eustis, Florida.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me, by means of physical presence, this ____ day of July, 2023, by Christine Halloran, City Clerk, who is personally known to me.

Notary Public - State of Florida
My Commission Expires:
Notary Serial No:

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content for the use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney's Office Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-64 is hereby approved, and I certify that I published the same by posting one copy hereof at City Hall, one copy hereof at the Eustis Memorial Library, and one copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk

EXHIBIT A

Item 4.5

IN THE CIRCUIT COURT FOR THE FIFTH JUDICIAL CIRCUIT IN AND FOR LAKE COUNTY, FLORIDA

SPENCETF, LLC,
Plaintiff,

v.

Case No. 2022-CA-000085

CITY OF EUSTIS,
Defendant.

MEDIATED SETTLEMENT AGREEMENT

THIS MEDIATED SETTLEMENT AGREEMENT (“Agreement”) is made this 29th day of June, 2023 (“Effective Date”) by and between the above captioned parties, who do hereby agree as follows:

1. Consideration and Terms:

- a. SpenceTF, LLC (“Spence”) does hereby irrevocably offer it will accept payment from the City of Eustis in the amount of three hundred thousand dollars (\$300,000.00) and Spence will retain its ten-thousand-dollar (\$10,000.00) escrow deposit held by Spence’s escrow agent as full settlement of this lawsuit and all its claims. This offer to the City of Eustis (“Eustis”) shall be irrevocable for the next thirty (30) days from today’s date and shall expire on July 29, 2023 unless Spence, at its sole discretion, agrees to extend the offer beyond that date. Payment of the three hundred thousand dollars (\$300,000.00) and acknowledgment to the escrow agent that the ten-thousand-dollar (\$10,000.00) escrow deposit can be released will occur within 15 days of approval of this Mediated Settlement Agreement by the Eustis City Commission.
- b. Each Party shall be responsible for its own attorneys’ fees and costs incurred in this action and Eustis shall pay the Mediator’s Fee.

- c. Within one week of payment of the \$300,000.00 and acknowledgment by Eustis to the escrow agent that the \$10,000.00 deposit can be released to Spence, Spence will turn over to Eustis all its site plans, engineering reports, environmental reports, surveys, etc. that have been generated during the course of its due diligence of the property at issue in this case. This does not include any privileged material that has been generated as a result of this lawsuit. Turnover of the documents referenced herein shall be made via dropbox or other electronic delivery Derek Schroth agrees to in writing. Delivery shall be made to the following email address: dschroth@bowenschroth.com. Any other delivery method must be agreed to in writing by the parties' counsel.
- d. Should the Eustis City Commission not approve this Mediated Settlement Agreement, then this Agreement is null and void and of no further effect.
- e. If the Eustis City Commission approves this Mediated Settlement Agreement, both parties agree to file a Joint Dismissal With Prejudice with the Court in this action, including all claims and counterclaims and third-party claims raised or that could have been raised in this action within five (5) days of Spence's receipt of the three hundred thousand dollars (\$300,000.00) from the City. Payment shall be made payable as instructed in writing by Spence's attorney. Eustis is not responsible for the escrow deposit. It is Spence's responsibility to obtain the ten-thousand-dollar (\$10,000.00) escrow deposit held by its escrow agent after the Joint Dismissal With Prejudice is filed with the Court.

2. General Release. In consideration of the undertakings described above, but expressly excepting the obligations created by, and the rights expressly reserved within this Agreement as to the Parties, the Parties hereby do release one another and any and all of their/its representatives, heirs, family members, managers, members, investors, employees, employers, officers, insurers, directors, stockholders, attorneys, predecessors, successors, assigns, subsidiaries, partners, affiliates, beneficiaries, present and former agents, including Spencer Folmar, from any and all claims, debts, liabilities, demands, obligations, costs, attorneys' fees, actions and causes of action of every nature, patent or latent, now or in the future and of the character and description which they held or now hold, whether known or unknown, arising from or related to any claims that were or could have been asserted in the above-styled lawsuit, including, but not limited, any claim for breach of contract, negligence, negligent misrepresentation, fraudulent inducement, professional negligence, and any other cause of action and damages of any type, including punitive damages along with statutory or common law "bad faith," breach of the covenant of good faith and fair dealing, breach of contract, tort, contractual and extra-contractual causes of action and damages of any type, including punitive damages, attorneys fees, both statutory and common law, for any and all reasons whatsoever, including but not limited to matters arising from or connected with any claims that were or could have been asserted in the above captioned lawsuit, from the beginning of the world through the date of execution of this Agreement. This is a General Release of all claims known and unknown of all types, which shall be broadly construed.

3. Entire Agreement. This Agreement contains the entire understanding and agreement between the Parties hereto with respect to the subject matter hereof. The Agreement may be modified only by written instrument(s) signed by all Parties hereto. Any purported oral modification of any term of this Agreement shall be null and void.

4. Advice of Counsel. The Parties each acknowledge that they have entered into this Agreement voluntarily and with full knowledge and understanding of its terms. Each party further represents that it/they have had a reasonable time period within which to review this Agreement and to seek any guidance or advice that may be necessary or desirable. Upon advice of counsel of their choosing, the Parties have read and fully understand the terms of this Agreement and voluntarily agree to be bound hereby.

5. Successors and Assigns. This Agreement shall be binding upon the Parties and signatories hereto and their respective proper affiliates, heirs, representatives, agents, successors, and assigns, if any.

6. Governing Law and Jurisdiction. This Agreement is to be governed by, and construed and enforced in accordance with, the laws of the State of Florida. In the event any litigation or other formal legal or equitable proceeding (collectively, the "Litigation") between any of the parties hereto, or their affiliates, heirs, agents, successors, or assigns, is instituted in connection with the construction, interpretation, or enforcement of this Agreement, the party commencing such litigation shall only institute the same in state courts within the jurisdiction and venue of Lake County, Florida to the exclusion of all other venues. Each party hereto hereby consents to the exclusive personal jurisdiction and venue in the state courts with jurisdiction in Lake County,

Florida, for resolution of all disputes arising out of the construction, interpretation, or enforcement of any term or provision of this Agreement, and each party hereby waives the claim or defense that any such court in which any such Litigation is properly commenced as provided for herein constitutes an inconvenient forum. In the event either party or any intended third-party beneficiary of this Agreement files a motion or action to enforce this Agreement, the prevailing party or third-party beneficiary on such motion will be entitled to an award of prevailing party attorney's fees and costs against the non-prevailing party.

7. Severability. If any provision of this Agreement is ultimately determined to be invalid or unenforceable, such provision shall be deemed limited by construction in scope and effect to the minimum extent necessary to render the same valid and enforceable, and, in the event no such limiting construction is possible, such invalid or unenforceable provision shall be deemed severed from this Agreement without effecting the validity of any other provision hereof.

8. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be original as against any party whose signature appears thereon, and all of which together shall constitute one and the same Agreement.

9. Construction of Agreement. This Agreement has been negotiated by the respective Parties hereto, and the language hereof shall not be construed for or against any party. The titles and headings contained herein are for reference purposes only and shall not in any manner limit the construction of this Agreement which shall be considered as a whole. All additions and deletions of provisions from any and all drafts of this agreement shall be of no force or effect in interpreting the terms of this Agreement or the intentions of the Parties hereto.

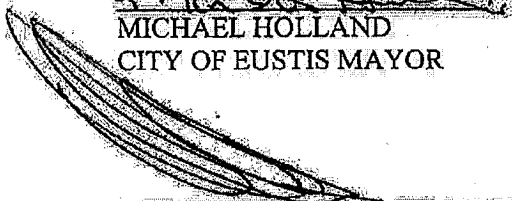
10. Execution Authority: The signatories hereto warrant and affirm they have the necessary authority to bind the entities hereto.

MUTUALLY AGREED TO THIS 29th DAY OF JUNE, 2023.

CITY OF EUSTIS



MICHAEL HOLLAND
CITY OF EUSTIS MAYOR



Derek Schroth, Esq.

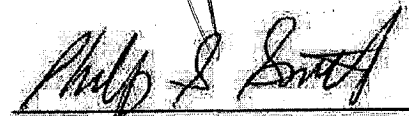
SPENCETF, LLC



THEODORE A. BOLIN
MANAGER OF SPENCETF, LLC



Roman Hammes, Esq.



Phil Smith, Esq.



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: TOM CARRINO, CITY MANAGER

DATE: JULY 20, 2023

RE: **RESOLUTION NUMBER 23-64** – MEDIATED SETTLEMENT AGREEMENT WITH SPENCETF, LLC

And

RESOLUTION NUMBER 23-65 - AUTHORIZING A BUDGET AMENDMENT TO THE FY2022-23 GENERAL FUND BUDGET TO ACCOMMODATE A MEDIATED SETTLEMENT AGREEMENT WITH SPENCETF LLC

Introduction:

Resolution Number 23-64 approves a Mediated Settlement Agreement with SpenceTF. Resolution Number 23-65 authorizes the budget amendment to execute the settlement agreement.

Background:

In March 2020, the City entered into an Agreement for Sale and Purchase of Property to sell City-owned property to SpenceTF for a drive-in movie theater and entertainment venue. The project evolved over time and litigation regarding the sale of the property ensued with Lake County Case No. 2022-CA-000085. On Thursday, June 29, 2023, in compliance with the Court’s Case Management Order setting litigation deadlines, representatives of both sides engaged in mediation.

In order to avoid the additional expense and time associated with continued litigation, the parties entered into a Mediated Settlement Agreement containing an irrevocable offer to the City valid through July 29, 2023 pending City Commission approval. Mutually agreeable terms were reached with the goal of a Joint Dismissal with Prejudice of the litigation. The essential terms include payment of \$300,000.00 to SpenceTF, authorization for release of the earnest money held in escrow to SpenceTF and payment of the mediation costs of \$3,312.00 to the mediator.

In return, the City retains ownership of the property for potential future sale or public use, SpenceTF will provide the City with all due diligence documents pertinent to the property, including but not limited to all site plans, engineering reports, environmental reports and surveys, the value of which is estimated to exceed \$250,000.00. The value of this due diligence coupled with the ability to avoid additional costs and staff time involved with

protracted litigation prompted the Mayor, City Attorney, and City Manager to support this settlement.

Resolution Number 23-65 authorizes the budget amendment to execute the Mediated Settlement Agreement approved by Resolution Number 23-64.

Recommendation:

Staff recommends approval of Resolution Number 23-64 and Resolution Number 23-65.

Prepared By:

Tom Carrino, City Manager

Attachment:

Resolution Number 23-64

Resolution Number 23-65

RESOLUTION NUMBER 23-65

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF EUSTIS, FLORIDA, AUTHORIZING A BUDGET AMENDMENT TO THE FY2022-23 GENERAL FUND BUDGET TO ACCOMMODATE A MEDIATED SETTLEMENT AGREEMENT WITH SPENCETF, LLC.

WHEREAS, in March 2020, the City entered into an Agreement for Sale and Purchase of Property to sell City-owned property to SpenceTF for a drive-in movie theater and entertainment venue; and

WHEREAS, the project evolved over time and litigation regarding the sale of the property ensued with Lake County Case No. 2022-CA-000085; and

WHEREAS, on June 29, 2023, in compliance with the Court's Case Management Order setting litigation deadlines, representatives of both sides engaged in mediation; and

WHEREAS, in order to avoid the additional expense and time associated with continued litigation, the parties entered into a Mediated Settlement Agreement containing an irrevocable offer to the City valid through July 29, 2023 pending City Commission approval; and

WHEREAS, it is in the best interests of the public health, safety, and welfare to approve the budget amendment to execute the Mediated Settlement Agreement; and

WHEREAS, Generally Accepted Accounting Principles necessitates that the General Fund has sufficient reserve funds of \$10,327,371, in account 001-0000-271-10-00. This one-time cost for the Mediated Settlement Agreement requires the funds to be appropriated through an amendment to the FY2022-2023 General Fund.

NOW, THEREFORE, BE IT RESOLVED by the City Commission of the City of Eustis, Lake County, Florida, as follows:

Section 1. That the FY2022-23 General Fund Budget is hereby amended to reflect the appropriation of \$303,312 from the General Fund Unreserved account 001-0000-271-10-00 to the Insurance expenditure account: 001-8500-581-30-45.

Section 2. That the Finance Director of the City of Eustis is hereby authorized to amend the FY2022-23 General Fund Budget as stated herein.

Section 3. That this Resolution shall take effect immediately upon its adoption.

DONE AND RESOLVED, this 20th day of July, 2023, in regular session of the City Commission of the City of Eustis, Lake County, Florida.

CITY COMMISSION OF THE CITY OF EUSTIS, FLORIDA

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this 20th day of July, 2023, by Michael L. Holland, Mayor/Commissioner, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public- State of Florida
My Commission Expires:
Notary Serial No:

CITY ATTORNEY’S OFFICE

This document is approved as to form and legal content for use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney’s Office

Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-65 is hereby approved, and I certify that I published the same by posting one (1) copy hereof at City Hall, one (1) copy hereof at the Eustis Memorial Library, and one (1) copy hereof at the Parks & Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk

Date



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

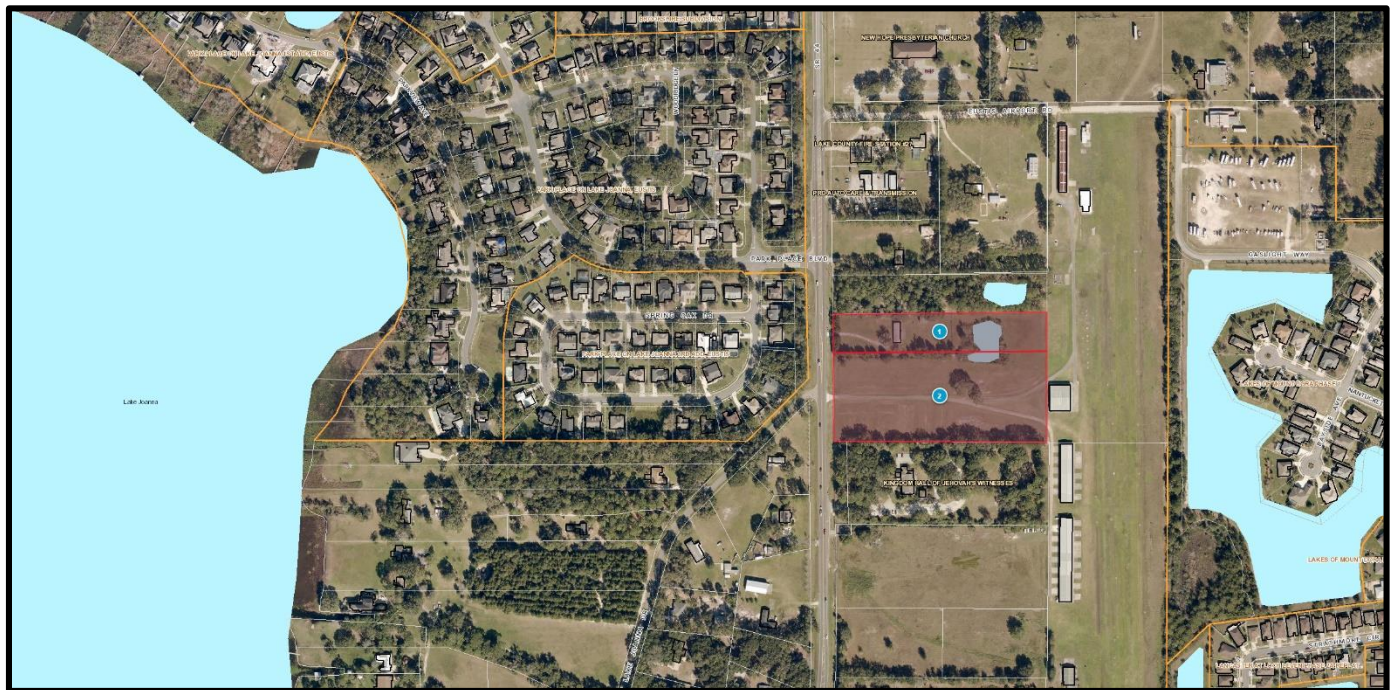
FROM: TOM CARRINO, CITY MANAGER

DATE: JULY 20, 2023

RE: RESOLUTION NUMBER 23-53: PRELIMINARY SUBDIVISION PLAT FOR HUDDLE HOMES MIXED-USE PROJECT AT 19040 STATE ROAD 44 (ALTERNATE KEY NUMBERS 2612533 AND 2612517)

Introduction:

Resolution Number 23-53 approves a preliminary subdivision plat for the Huddle Homes mixed-use project (40 townhome dwelling units and 8,840 square-foot Huddle Eats commercial establishment) on approximately 9.37 acres located on the east side of State Road 44, just over 700 feet south of Eustis Airport Road (Lake County Property Appraisers' Alternate Key Numbers 2612533 and 2612517).



Recommended Action:

The administration recommends approval of Resolution Number 23-53.

Background:**Pertinent Site Information:**

- The subject property comprises about 9.37 acres, which currently has one single-family dwelling unit on the more northern of the two subject properties. This home is proposed to be removed for this project.
- The site is within the Mixed Commercial Residential (MCR) land use district, which allows attached residential dwelling units, as well as restaurant and commercial uses.
- The property is within the Suburban Neighborhood Design District.
- The site and surrounding properties' land use, design district designations, and existing uses are shown below:

Location	Existing Use	Future Land Use	Design District
Site	Single Family Residential and Vacant	Mixed Commercial Residential (MCR)	Suburban Neighborhood
North	Undeveloped	Lake County Urban Low	N/A
South	Church	Lake County Urban Low	N/A
East	Airport	Mixed Commercial Residential (MCR)	Suburban Neighborhood
West	Single Family Residential Subdivision	Suburban Residential (SR)	Suburban Neighborhood

Proposed Development:

The proposed development is 40 dwelling units in the style of townhomes (conforming with the Suburban Neighborhood design district and Section 110-4.5, Townhouse lot type) as well as 8,840 square-foot Huddle Eats commercial establishment. Exhibit A of the Resolution document shows the project layout and other basic information, including the following development characteristics:

Subdivision Component	Code	Provided
Gross Area	n/a	9.37 acres
Net Area (gross area less wetlands, water bodies)	n/a	8.9 acres
Lot Typology	Townhome Lot	40 Townhome units
Density	12 dwelling units/acre maximum	5 dwelling units/acre
Open Space	25% minimum for residential / 20%	3.409 ac (about 36% of total gross project area)

	minimum for commercial (25% of total gross area (9.37 ac) is 2.3425 ac)	
Park Space	0.5 acres for 25-49 units/lots	0.694 acres
Landscape Buffers	15-24 feet adjacent to public r/w	15 ft landscape buffer along SR 44

Waivers:

No waivers are requested and this proposed preliminary subdivision plat is meeting all City requirements in the Code of Ordinances and Land Development Regulations as well as the Florida Statutes at this time.

Analysis of Request According to Applicable Policies and Codes:

Comprehensive Plan - Future Land Use Element Appendix; Land Development Regulations Section 109-2.6, 109-3, 109-4: Mixed Commercial / Residential (MCR)

This land use designation is intended to regulate the character and scale of commercial uses so as to minimize their impacts on adjacent roadways and to promote their compatibility with adjacent or nearby residential uses.

General Range of Uses: This category accommodates a mix of residential, commercial, office, institutional, and schools. Public and utility services that are 5 acres or less in size are also permitted.

Maximum Density: Residential densities may not exceed 12 dwelling units per net buildable acre.

Intensity Range: up to 2.5 FAR subject to restrictions in Section 109-3 of the Land Development Regulations.

Mix Requirements: There are proportional requirements and limitations regarding the amount of residential and non-residential uses allowable in an area designated MCR. For the mixed land use category MCR, the city establishes, and shall monitor on a citywide basis, a mix of uses as follows:

Residential: 15% - 25% of total MCR acreage

Commercial/Office: 75% - 85% of total MCR acreage

The composition of the mix for each proposed development will be determined on a case-by-case basis during the development review process. Specific uses permitted will be monitored by the City to ensure continuity and compatibility with adjacent land uses. Individual properties may develop residentially or commercially, provided that all applicable criteria set forth herein are met.

Special Provisions:

(1) Future amendments to designate areas as MCR shall be permitted only along arterial and collector roads and in certain neighborhoods which meet the following conditions:

- a. where the arterial road frontage is generally undeveloped, residential development may be feasible and will be encouraged;
- b. strip commercial development shall be minimized, including actions that would extend or expand existing strip development;
- c. the arterial road frontage contains an existing mix of viable commercial and residential uses;
- d. the clustering of viable commercial businesses within or adjacent to residential neighborhoods is determined to not have a detrimental visual or operational impact on such adjacent or nearby residential uses;

(2) Developments within the Wekiva Protection Overlay that include longleaf pine, sandhill, sand pine and xeric oak communities shall protect these areas as dedicated open space or conservation easements, with total open space equal to at least 35% of the net buildable area.

The preliminary subdivision plat provides for attached homes in the style of townhouses in a Mixed Commercial Residential (MCR) land use district, which permits this type of housing.

The maximum residential density of the Mixed Commercial / Residential future land use district is 12 dwelling units per acre, the subdivision proposes a density of 5 dwelling units per acre. This is determined by taking the overall project area of 9.37 acres and subtracting out the 1.553-acre commercial tract/parcel to be created, which yields 7.819 acres non-commercial. 40 dwelling units on 7.819 acres is about 5 dwelling units per acre for a density.

The proposed plan is consistent with the Mixed Commercial Residential land use Future Land Use Element Appendix of the Comprehensive Plan and the Land Development Regulations.

- n. Land Development Regulations – Design Districts Section 109-5.5 Suburban development patterns: Intent. The suburban development pattern relies primarily on a pattern of residential development that provides the majority of property owners with substantial yards on their own property. The street layout, comprised of streets with fewer vehicular connections, helps to reduce cut-through traffic and establishes distinct boundaries for residential communities/subdivisions. Nonresidential uses are primarily located in corridors, and districts, and a mix of uses is prominent in centers. Each land use provides for pedestrian and bicycle connections.

The subdivision layout meets the intent of the Suburban Neighborhood development district. One subdivision entrance is provided on the east side of State Road 44 (the west side of the project boundaries). Sidewalks are provided throughout the subdivision and there is an existing 5' sidewalk easement along State Road 44.

- i. Land Development Regulations – Building Lot Types – Section 110-4.5 Townhouse Lot Minimum house lot requirements in Suburban design districts include the following: Width of 22 feet; Depth of 80 feet; Square Footage of 1,760 feet

Minimum setback requirements for Townhouse Lots in Suburban design districts include the following: No Common lot setback; Alley/Rear setback of 15 feet.

The subdivision plat proposes Townhouse Lot typologies. Under Section 109-5.6, the Suburban Neighborhood Design District, Townhouse or apartment lot typologies are permitted only on parcels with an MCR land use designation or as a part of a mixed-use project that requires a minimum of 15 percent of the development acreage to be devoted to nonresidential support uses.

The lot type in an area with nearby community service and shopping uses will provide housing options for a niche market (those pursuing home ownership versus apartment living yet seeking access to amenities). Providing diverse housing options is consistent with the goals and objectives of the Comprehensive Plan Housing Element in meeting projected demand and accommodating the needs of the various household types and income groups characteristic of the city and planning area. (HOUSING GOAL HSG 1 & OBJECTIVE: HSG 1.1).

- d. Land Development Regulations – Chapter 115 General Building and Site Design Standards

Section 115-3.2. (a), (b) and (c) address suburban districts and residential compatibility as follows:

Sec. 115-3.2. - Suburban districts.

- (a) *Suburban residential compatibility.* The maximum residential density permitted within any suburban design district shall be consistent with the maximum density of the applicable land use district assigned to each property.

The maximum residential density of the Mixed Commercial / Residential future land use district is 12 dwelling units per acre, the subdivision proposes a density of 5 dwelling units per acre. This is determined by taking the overall project area of 9.37 acres and subtracting

out the 1.553-acre commercial tract/parcel to be created, which yields 7.819 acres of commercial. 40 dwelling units on 7.819 acres is about 5 dwelling units per acre for a density.

(b) When any suburban design district abuts an existing development in a suburban district, and proposed new residential lots will share a common boundary with existing or platted lots:

(1) The width of the new lots may be no more than 150 percent of the width of the existing or platted lots, unless:

(a) The existing or platted lots are non-conforming to the suburban design district standards;

(b) Central sewer service is not available.

(c) When any suburban design district abuts a rural design district, and proposed new residential lots will share a common boundary with existing or platted lots:

(1) The width of the new lots may be no less than 75 percent of the width of the existing or platted lots; unless:

(a) A landscape buffer (10 to 15 feet wide) is provided between the new lots and existing or platted lots; or

(b) Park space as permitted by Section 115-8.3. is provided between the new lots and existing or platted lots.

The surrounding properties are all within a suburban design district.

Section 115-4.2.1. (and Comprehensive Plan Policies FLU 5.2.1 and 5.2.9) includes general site design criteria to respect the natural topography of the site and follow the outlined four-step design process. Compliance as is demonstrated as follows:

Sec. 115-4.2.1. - All districts.

(a) General site design criteria. Proposed development plans must be organized into three components: 1) wetlands and water bodies; (2) open space; and (3) developed areas. The plan design must respect the natural topography of the site and generally follow the four-step design process described below:

(1) Step 1 - Delineate open space areas as outlined below: a. Create or add to a larger contiguous off-site network of interconnected open space, particularly existing habitats and opportunities for restoring native habitats. b. Create connected and integrated open space within the development to the maximum extent practicable based on the context-sensitive site design standards and priorities below: 1. Protect listed species. 2. Create/enhance connectivity. 3. Protect native habitat. 4. Restore native habitat.

The proposed project plan provides for 3.409 acres of open space in total, as part of Tracts B, C, D, and E. Two separate park areas are provided, both on the northern portion of the project.

Tract Data & Use Description			
Tract ID	Description	Area	
		SF	AC
A	Commercial Parcel	67,640	1.553
B*	Storm & Flood Facilities, Landscaping, Utilities, Park, & Open Space	119,576	2.745
C	Landscaping, Utilities, Open Space, & Park	5,519	0.127
D*	Storm & Flood Facilities, Conservation, Landscaping, Utilities, Park, & Open Space	21,436	0.492
E	Landscaping, Utilities, Open Space, & Park	1,962	0.045
R.O.W.	Road, Sidewalk, Parking, & Utilities (HOA Maintained, Private)	83,741	1.922
Lots	Residential Lots	108,374	2.488
Total:		408,248	9.372

* - To be covered by drainage & utility easements

<u>Park Size Tabulation</u>	
Park Area Required	
Subdivision Size	Min. Park Size
25-49 Subdivision Lots	1/2 AC
Park Area Provided	
Park Area Provided	Area (AC)
1	0.337
2	0.357
<u>Total</u>	<u>0.694</u>

Attention was given to providing for tree preservation, to the extent possible, but the site currently has very few trees and is not very heavily wooded. The plan provides for the retention of native trees that would remain viable post-development, and the landscape plan provides for the planting of new native species. There is a 15-foot landscape buffer on the western side of the project along State Road 44 and a 10-foot landscape buffer along the northern, southern, and eastern boundaries of the project.

(2) Step 2 - Define development areas in such a way as to preserve the function, purpose, and integrity of the natural features of the land, the on-site natural resources, and the environmental systems to the maximum extent practicable.

The engineer designed the site to match the existing grade as much as possible.

(3) Step 3 - Align streets and trails to avoid or at least minimize adverse impacts on designated open space. The streets and trails shall provide external and internal connectivity and the street layout of subsequent phases shall be coordinated with the street system of previous phases.

The site is currently not very heavily wooded and does not provide functional open or park space. The street layout and greenway have been designed to provide both external and internal connectivity. Subsequent phases are not proposed.

(4) Step 4 - Lots lines and building placement should be added as the last step in the design process.

Sections 115-7, 8, and 9 outline standards for transportation, parks, and landscaping. A Tier 1 Traffic Impact Study with a minimum of one-mile impact area was prepared by Traffic Planning and Design, Inc. (Turgut Dervish, P.E.) for the project and submitted for review by the city's transportation consultant, Kimley-Horn. Kimley-Horn found no issues or concerns in their review of the traffic study.

The traffic study conclusions stated the following:

- **The proposed development is estimated to generate 869 new net daily trips, 83 A.M. new net peak hour trips, and 86 P.M. new net peak hour trips.**
- **The roadway segment capacity analysis indicates that the study roadway segments currently operate at satisfactory Levels of Service except for the segment of SR 44 from US 441 to Waycross Avenue which is failing under existing conditions. In the projected conditions another segment of SR 44 from Waycross Avenue to Orange Avenue will fail with or without project traffic. Other roadway segments within the study area are projected to operate at satisfactory Levels of Service.**
- **SR 44 from US 441 to Orange Avenue is planned to be widened by FDOT to four lanes. The design is underway but the construction schedule has not been determined yet.**
- **The intersection capacity analysis indicates that the SR 44/US 441 intersection is currently operating at LOS F due to high volumes on US 441. With optimization, the operation of the intersection will be much improved but still failing. Other intersections currently operate satisfactorily and will continue to do so at project buildout.**
- **The proposed development will be served by an access driveway on SR 44 opposite Joanne Drive. Due to heavy traffic volumes on SR 44, a southbound left turn lane is recommended and should be provided.**

Recommended Action:

Staff recommends approval of the Preliminary Subdivision Plat for the Huddle Homes mixed-use project (40 townhome dwelling units and 8,840 square-foot Huddle Eats commercial establishment) on approximately 9.37 acres located on the east side of State Road 44, just over 700 feet south of Eustis Airport Road (Lake County Property Appraisers' Alternate Key Numbers 2612533 and 2612517). The project shows full consistency with the City's Land Development Regulations, Comprehensive Plan, and other standards for review at this preliminary subdivision plat stage.

Policy Implications:

If approved, the City would be showing support for development that meets the codes and ordinances set in place. This would show consistency, fairness, and predictability for future potential development.

If denied, the City would be denying something that is meeting all requirements, which would set a precedent for future developers to be unsure of what the City is looking for in applications if they do not approve something meeting the Code.

Community Input:

The department has properly advertised the Resolution in the newspaper; notified surrounding properties within 500 feet, and posted the property. To date, there have been no correspondences with members of the public in opposition to this proposed project.

As listed in Section 163.3177(6)(i), Florida Statutes, a local government may adopt its own property rights element or use the following statement of rights:

The following rights shall be considered in local decision-making:

1. The right of a property owner to physically possess and control his or her interests in the property, including easements, leases, or mineral rights.
2. The right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances.
3. The right of the property owner to privacy and to exclude others from the property to protect the owner's possessions and property.
4. The right of a property owner to dispose of his or her property through sale or gift.

Budget/Staff Impact:

There would be no direct cost to the City associated with the action other than providing standard City services to the development. There would be no additional staff time beyond the normal plan review process and building inspection.

Prepared By:

Heather Croney, Senior Planner

RESOLUTION NUMBER 23-53

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF EUSTIS, FLORIDA; APPROVING A PRELIMINARY SUBDIVISION PLAT FOR HUDDLE HOMES MIXED-USE PROJECT, WHICH WILL CONSIST OF 40 TOWNHOME DWELLING UNITS AND COMMERCIAL SPACE WITH A RESTAURANT, ON APPROXIMATELY 9.37 ACRES OF PROPERTY LOCATED AT 19040 STATE ROAD 44, ON THE EAST SIDE OF STATE ROAD 44, JUST OVER 700 FEET SOUTH OF EUSTIS AIRPORT ROAD (ALTERNATE KEY NUMBERS 2612533 AND 2612517).

WHEREAS, David Clutts, P.E. of Civil Engineering Solutions, Incorporated, on behalf of Huddle 44, LLC, has made an application for Preliminary Subdivision Plat approval for Huddle Homes mixed-use project (40 townhome dwelling units and 8,840 square-foot Huddle Eats commercial establishment) on approximately 9.37 acres located on the east side of State Road 44, just over 700 feet south of Eustis Airport Road, more particularly described as follows:

Parcel Alternate Key Numbers: 2612533 and 2612517

Parcel Identification Numbers: 08-19-27-0004-000-04300 and 08-19-27-0004-000-03800

FROM SW COR OF SE 1/4 RUN N 89-24-0 E 870 FT TO W LINE OF PARCEL A AS DESCRIBED IN ORB 314 PG 630, N 0-36-0 W 350.4 FT TO POB, RUN N 0-36-0 W 150 FT, S 88-43-45 W 880.03 FT, S 01-28-30 E 150 FT, N 88-43-45 E TO POB--LESS R/W OF SR 44-B-- ORB 6064 PG 202

AND

FROM SE COR OF SEC, RUN S 89DEG 24MIN W 1772.79 FT FOR POB, RUN N 0DEG 36MIN W 350 FT, S 88DEG 43MIN 45SEC W TO CENTER OF SR S-44-B, S 1DEG 28MIN 30SEC E ALONG CENTERLINE 350 FT, N 89DEG 24MIN E TO POB--LESS HWY R/W-- ORB 6064 PG 202

WHEREAS, the property described above has a Land Use Designation of Mixed Commercial Residential (MCR) and a Design District Designation of Suburban Neighborhood; and

WHEREAS, attached residential dwelling units, as well as restaurant and commercial uses, are permitted in the Mixed Commercial Residential (MCR) land use designation; and

WHEREAS, the proposed preliminary subdivision plat as submitted is generally consistent with the City's Comprehensive Plan and Land Development Regulations; and

WHEREAS, the City Commission finds that approval of the requested preliminary subdivision plat is in the best interests of the public health, safety, and welfare.

NOW, THEREFORE, BE IT RESOLVED BY THE EUSTIS CITY COMMISSION AS FOLLOWS:

SECTION 1. That the Huddle Townhomes Mixed-Use Community Preliminary Subdivision Plat for a 40-unit townhomes community with a commercial component to include restaurant space located on the east side of State Road 44, just over 700 feet south of Eustis Airport Road, attached hereto as Exhibit "A", is hereby approved:

SECTION 2. That the Preliminary Subdivision Plat shall be subject to the owner/developer complying with the following conditions:

- a) Submit the Final Engineering and Construction Plans and Final Plat to be complying with all requirements of the Eustis Land Development Regulations, Eustis Engineering Design Standards Manual, Florida Statutes, and the provisions of this resolution within one year of the approval of this resolution.
- b) Develop the property in accordance with the approved Preliminary Subdivision Plat as referenced in Section 1 and attached hereto as Exhibit "A".
- c) Obtain and provide copies of all applicable permits from other jurisdictional agencies.

DONE AND RESOLVED this 20th day of July 2023 in a regular session of the City Commission of the City of Eustis, Florida.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this 20th day of July 2023, by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires:
Notary Serial No:

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content for the use and reliance of the City Commission of the City of Eustis, Florida.

City Attorney's Office

Date

CERTIFICATE OF POSTING

The foregoing Resolution Number 23-53 is hereby approved, and I certify that I published the same by posting one (1) copy hereof at City Hall, one (1) copy hereof at the Eustis Memorial Library, and one (1) copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk

huddle { }

COOL EATERIES + SMART HOMES



Gather. Eat. Enjoy.

Huddle Here.

Eat Here.

Item 5.1

Good Food. Great Design. Right at your doorstep.

Huddle gives you access to a here and now lifestyle. At the front of every **Huddle** community is a hive of activity, the Eateries.

Designed with their own indoor and outdoor seating, **Huddle** will feature five to six eateries with a combination of good vibes, great tech (its' own app) and fresh food.

Breakfast, Lunch and Dinner.
All available.

Expertly designed to meet your needs.



huddle { }

COOL EATERIES + SMART HOMES

Gather. Eat. Enjoy.
Huddle Here.

Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
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TREES						
54	Southern live oak cathedral oak	<i>Quercus virginiana</i>	L, M	Yes	as shown	2" DBH, 12'
5	American Sweetgum	<i>Liquidambar styraciflua</i>	L, M	Yes	as shown	2" DBH, 12'
15	Bald Cypress	<i>Taxodium distichum</i>	L, M	Yes	as shown	2" DBH, 12'
28	DD Blanchard Magnolia	<i>Magnolia grandiflora</i>	L, M	Yes	as shown	2" DBH, 12'
14	Florida Flame Red Maple	<i>Acer rubrum 'Florida Flame'</i>	M, H	Yes	as shown	2" DBH, 12'
10	Long Leaf Pine	<i>Pinus palustris</i>	L, M	Yes	as shown	2" DBH, 12'
1	Sylvester Palm	<i>Phoenix sylvestris</i>	L	No	as shown	12' ct. minimum, hard trunk
5	Cabbage palm, sabal palm, cabbage palmetto	<i>Sabal palmetto</i>	L, M	Yes	as shown	16 regenerated head, slick trunk
25	Muscogee Crape myrtle	<i>Lagerstroemia indica 'Muscogee'</i>	L, M	No	as shown	2" DBH X 7', MT
5	Yaupon Holly	<i>Ilex vomitoria</i>	L, M	No	as shown	1.5" DBH X 7'
54	Eagleston Holly	<i>Ilex x attenuata 'Eagleston'</i>	L, M	Yes	as shown	1.5" DBH X 8'
SHRUBS						
5	Apricot Drift Rose	<i>Rosa 'Meimiro'</i>	M, H	No	3' oc	3G, 24"
86	Dwarf Firebush	<i>Hamelia patens</i>	M	Yes	3' oc	3G, 24"
21	Indian Hawthorn	<i>Rhaphiolepis indica</i>	L, M	No	3' oc	3G, 24"
58	Loropetalum Plum Dwarf	<i>Loropetalum chinense 'Plum Dwarf'</i>	L, M	No	3' oc	3G, 24"
70	Loropetalum Purple Pixie	<i>Loropetalum chinense 'Purple Pixie'</i>	L, M	No	3' oc	3G, 24"
219	Pineapple Guava	<i>Acca sellowiana</i>	L, M	No	3' oc	3G, 24"
x	Queen Emma Lily	<i>Crinum augustum</i>	M	No	as shown	7G
717	Walter's Viburnum	<i>Viburnum obovatum</i>	L, M	Yes	3' oc	3G, 24"
6	Saw Palmetto	<i>Serenoa repens</i>	L, M, H	Yes	3' oc	7G
19	Shillings Holly	<i>Ilex vomitoria 'Shillings Dwarf'</i>	L	Yes	3' oc	3G, 24"
68	Sandankwa Viburnum	<i>Viburnum suspensum</i>	M, H	No	3' oc	3G, 24"
26	Ocala Anise	<i>Illicium parviflorum</i>	L, M, H	Yes	3' oc	3G, 24"
48	Dwarf Walter's Viburnum	<i>Viburnum obovatum 'Densa'</i>	L, M	Yes	3' oc	3G, 24"
GRASSES						
8	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>	L, M	Yes	as shown	7G
GROUND COVER						
661	Asiatic Jasmine Minima	<i>Trachelospermum asiaticum 'Minima'</i>	L, M	No	24" oc	1G
73	Liriope Evergreen Giant	<i>Liriope muscari 'Evergreen Giant'</i>	L, M	No	24" oc	1G
95	Purple Heart	<i>Setcreasea pallida</i>	L	No	24" oc	1G
SOD						
as required	Pro Vista	<i>Stenotaphrum secundatum</i>	L, M	No	sod	

INSTALLATION AND MAINTENANCE NOTES

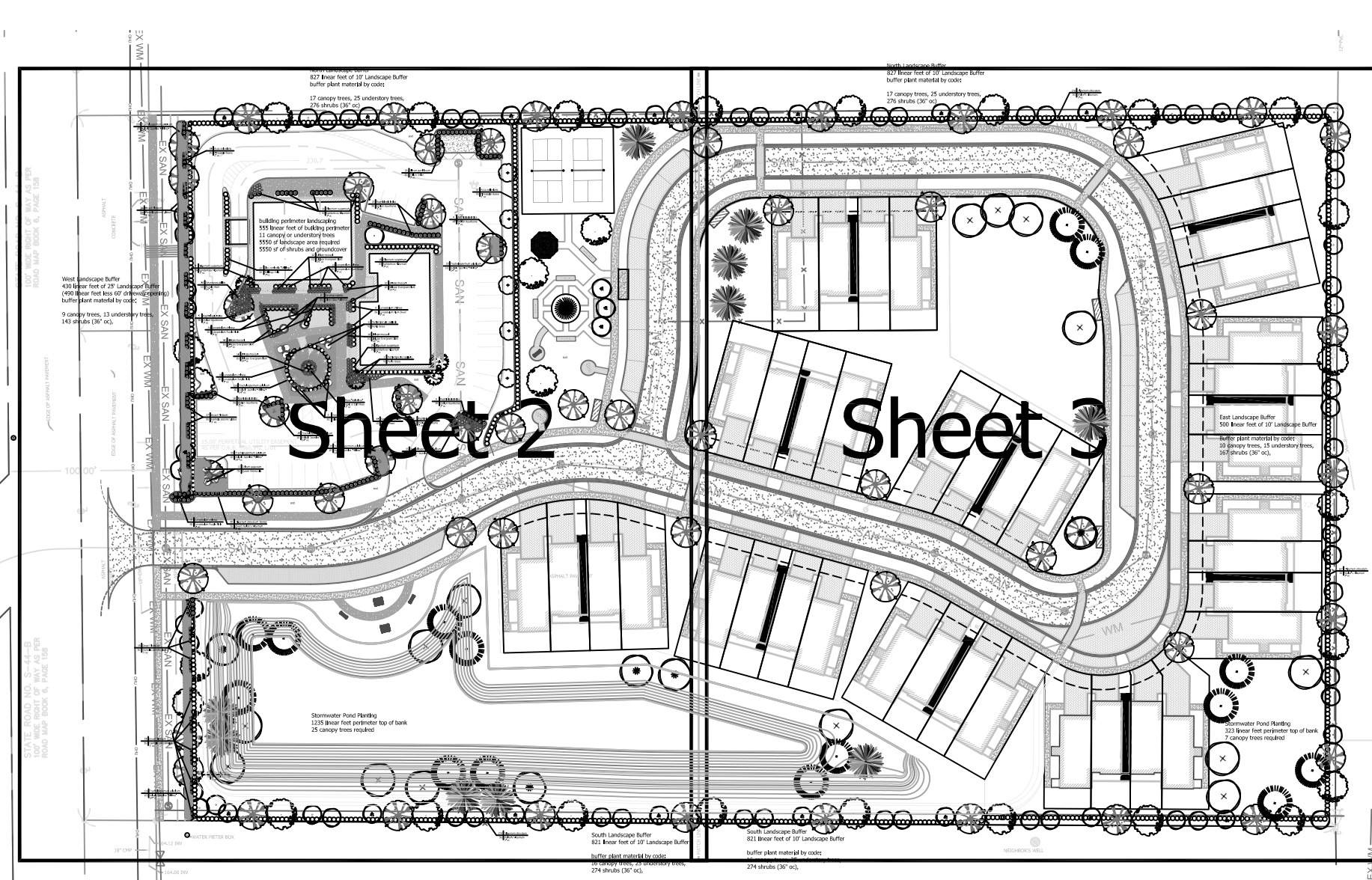
- The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and in performing all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintaining of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
- Adjustments to planter beds as shown on plans may be necessary due to walk locations, berming, relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
- The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to preclude any misunderstanding and facilitate a trouble free installation.
- No substitution shall be made without written permission of the owner.
- In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
- Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is reinspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
- All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
- All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", Parts 1 and 2, as published by the Florida Department of Agriculture and Consumer Services, and shall conform to ANW standards for nursery stock (ansi 260, 1-1980).
- All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
- All trees 8' or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
- Planting soil shall consist of the existing soil amended if required.
- Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.

Irrigation Notes:

- THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AS IT MAY NOT HAVE BEEN POSSIBLE TO ACCURATELY DEPICT THE EXACT LOCATIONS FOR ALL MATERIAL, OR ALL JOBSITE ELEMENTS. THE INSTALLER SHALL BE EXPECTED TO MAKE MINOR ADJUSTMENTS ON THE SITE AS NEEDED, IN ORDER TO MAINTAIN COMPLETE AND ACCURATE COVERAGE, AND MAINTAIN THE INTENT OF THE DESIGN. MODIFICATIONS WHICH INCREASE THE SPACING OF HEADS, OR DECREASE THE SIZING OF PIPE, SHALL NOT BE MADE WITHOUT PRIOR CONSENT OF THE PROJECT MANAGER. THE FINAL LOCATIONS FOR ALL MAJOR EQUIPMENT, INCLUDING CONTROLLERS, VALVES, SUPPLY CONNECTIONS, MAINLINES, ETC. SHALL BE DETERMINED IN THE FIELD, STAKED OUT BY THE CONTRACTOR, USING THE DRAWINGS AS A GUIDE, AND APPROVED PRIOR TO INSTALLATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE 2017 (6TH / EDITION)-PLUMBING, APPENDIX F AND PREVAILING CODES AND REGULATIONS. ALTHOUGH DUE DILIGENCE HAS BEEN EXERCISED IN THE PREPARATION OF THE DOCUMENTS TO AVOID CONFLICTS, IT SHALL REMAIN THE RESPONSIBILITY OF THE INSTALLER FOR VERIFICATION AND CONFORMANCE TO THE PARTICULAR CODES FOR THIS LOCATION. THE INSTALLER SHALL OBTAIN ANY NECESSARY PERMITS, LOCALS, AND INSPECTIONS.
- ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. THE INSTALLATION SHALL BE COORDINATED WITH ALL NEW AND EXISTING IMPROVEMENTS, AND WITH THE ACTUAL INSTALLED BEDLINES, SOD LIMITS, AND PLANT LOCATIONS.
- THE INSTALLER SHALL BE FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS, INCLUDING ANY WRITTEN SPECIFICATIONS THAT MAY HAVE BEEN ISSUED. ANY CONFLICT FOUND BETWEEN THE VARIOUS DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE PROJECT MANAGER FOR DETERMINATION.
- ALL MATERIAL AND LABOR NECESSARY TO PROVIDE A COMPLETE, FULLY OPERATIONAL, AND GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS. THIS SHALL INCLUDE CONFORMANCE TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE VARIOUS MANUFACTURERS OF THE EQUIPMENT, AND TO APPLICABLE TRAINING AND CERTIFICATION OF INSTALLATION PERSONNEL.
- UNLESS SPECIFICALLY STATED TO THE CONTRARY, PIPING AND WIRING PASSING UNDER PAVED OR OTHER IMPERVIOUS SURFACES SHALL BE INSTALLED IN SLEEVING OF ADEQUATE SIZE AND STRENGTH. SIDEWALKS AND DECKS AND TURF PAVERS SHALL REQUIRE SLEEVING, EVEN IF NOT SHOWN ON THE DRAWINGS. CONTROL WIRING MAY BE RUN WITHIN A LARGER SLEEVE WITH MAINLINE PIPING, BUT ONLY IF PROTECTED BY A SMALLER CONDUIT. WIRE MAY NOT BE TAPED TO THE MAINLINE IN LIEU OF THIS CONDUIT, AS ABRASION OF THE WIRE JACKET IS LIKELY TO OCCUR.
- SLEEVES UNDER PARKING AND DRIVEWAYS MAY BE THE RESPONSIBILITY OF OTHER THAN THE IRRIGATION CONTRACTOR (SUCH AS THE PAVING OR SITE CIVIL CONTRACTOR). CONSULT OTHER DOCUMENTS FOR ADDITIONAL INFORMATION. ANY NEEDED SLEEVE WHICH EITHER CANNOT BE FOUND OR IS DAMAGED BEYOND PRACTICAL USE SHALL BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY, ALONG WITH RECOMMENDATIONS FOR CORRECTIVE ACTION. SLEEVES UNDER SIDEWALKS, DECKS, ETC. ARE NORMALLY INSTALLED BY THE IRRIGATION CONTRACTOR.
- CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHENEVER POSSIBLE. WIRE SHALL DIRECT BURIAL PE 14-GAUGE.
- ALL SPRINKLER HEADS SHALL BE OF THE PROPER SIZE AND TYPE FOR THE LOCATION AND PLANT MATERIAL. HEADS SHALL BE INSTALLED IN THE PRESCRIBED MANNER, PLUMB, AND WITH THE PROPER HEIGHT WITH RESPECT TO GRADE AND/OR PLANT MATERIAL. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCES FROM ALL PAVING, CURBS, SIDEWALKS, WALLS, AND OTHER OBSTACLES, SO THAT DAMAGE TO EQUIPMENT DOES NOT OCCUR DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. ALL SPRINKLERS SHALL BE ADJUSTED TO OBTAIN OPTIMAL COVERAGE OF PLANT MATERIAL, WHILE MINIMIZING OVERSPRAY ONTO WINDOWS, WALLS, PAVING OR OTHER IMPERVIOUS SURFACES, PARTICULARLY LANDSCAPE WOODWORK AND/OR TRIM. THE INSTALLER SHALL UTILIZE THE PROPER SPRAY NOZZLE PATTERN FOR THE LOCATION, AS WELL AS PRESSURE-COMPENSATING HEADS OR SCREENS, AND ADJUSTABLE-PATTERN NOZZLES WHERE A FIXED PATTERN IS NOT SUITABLE TO CONTROL COVERAGE OR OVERSPRAY.
- RISER-MOUNTED HEADS SHALL BE INSTALLED WITHIN THE FIRST ROW OF PLANT MATERIAL, SO THAT THE HEAD IS PROTECTED AND CONCEALED BY THE MATERIAL. IT MAY BE REQUIRED TO RELOCATE HEADS NOT CONFORMING TO THIS STIPULATION AFTER PLANTS ARE INSTALLED. THIS SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. RISERS SHALL BE STAKED AS SHOWN IN THE DETAILS, AND PAINTED A DURABLE FLAT COLOR, TO BE AGREED UPON BY THE PARTIES.
- TREE BUBBLER HEADS SHALL BE CONSIDERED TEMPORARY, AND WILL BE CAPPED OFF ONCE MATERIAL IS ESTABLISHED.
- THE CONTROLLER SHALL REQUIRE A STANDARD 120-VAC POWER FEED, WHICH SHALL BE COORDINATED BY THE INSTALLER, AND HOOKED UP BY A LICENSED ELECTRICIAN. IT IS PREFERRED THAT A DEDICATED CIRCUIT BE PROVIDED FOR THIS CONNECTION. A 3-WIRE POWER INPUT SURGE ARRESTOR SHALL BE PROVIDED ON THE POWER FEED, AND A DEDICATED GROUND ROD/PLATE NETWORK (SEE DETAIL) SHALL BE INSTALLED, HAVING A MEASURED EARTH GROUND RESISTANCE OF NOT GREATER THAN TEN (10) OHMS.
- THE CONTROL SYSTEM IS A RAIN BIRD SYSTEM. THE INSTALLER SHALL UTILIZE PERSONNEL WHO ARE SPECIFICALLY TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF THIS SYSTEM. THE INSTALLER SHALL ENLIST THE SERVICES OF THE FIELD SERVICE REPRESENTATIVE FOR ANY REQUIRED COORDINATION. ALL RELEVANT MATERIAL AND LABOR TO INSTALL THIS SYSTEM IN ACCORDANCE WITH RAIN BIRD GUIDELINES SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
- THE CONTROLLER SHALL BE EQUIPPED WITH A PROPERLY LOCATED AND INSTALLED RAIN SENSOR. THE SENSOR SHALL BE LOCATED IN SUCH A MANNER SO THAT IT IS UNOBSTRUCTED AND DIRECTLY EXPOSED TO NATURAL RAINFALL FROM ALL DIRECTIONS, BUT NOT TO RUNOFF WATER FROM ROOFS, ETC.
- THE MINIMUM SUPPLY REQUIREMENT FOR THE SYSTEM AS DESIGNED IS 75-GPM AT 75-PSI.
- THE INSTALLER SHALL BE EXPECTED TO BE FAMILIAR WITH ALL REQUIREMENTS FOR THE WORK, AND TO CONDUCT HIS WORK IN A CLEAN, SAFE, AND WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO ACT TO PROTECT HIS PROPERTY AND THE OTHER PERSONNEL AT WORK THERE, AND TO MAKE EMERGENCY REPAIRS OR TAKE CORRECTIVE ACTION IF THE INSTALLER DOES NOT FULFILL HIS OBLIGATIONS IN A TIMELY MANNER. THE OWNER FURTHER RESERVES THE RIGHT TO BACK-CHARGE THE INSTALLER TO COVER SUCH EXPENSES, TO THE EXTENT ALLOWED UNDER APPLICABLE LAW.

Tree Symbol Legend:

- Existing Tree To Remain
- 1 Phoenix sylvestris
- Sylvester Palm
- 1 Quercus virginiana
- Live Oak
- 1 Magnolia grandiflora
- DD Blanchard Magnolia
- 1 Acer rubrum
- Florida Flame Red Maple
- 1 Liquidambar styraciflua
- American Sweetgum
- 1 Taxodium distichum
- Bald Cypress
- 1 Sabal palmetto
- Sabal Palm
- 1 Ilex attenuata 'Eagleston'
- Eagleston Holly
- 1 Lagerstroemia indica
- Muscogee Crape Myrtle
- 1 Ilex vomitoria
- Yaupon Holly



L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
(352) 316-5254

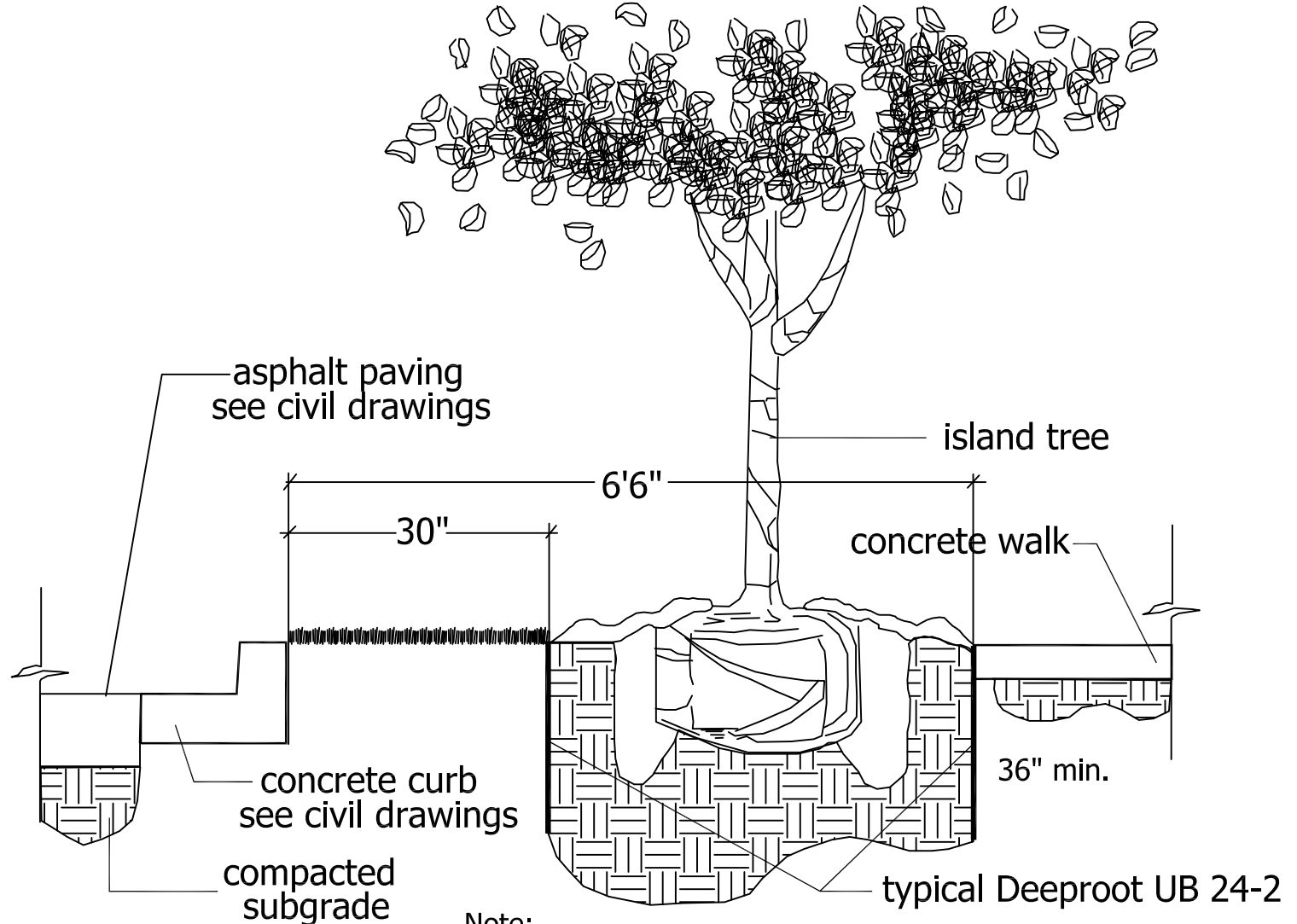


Leslie R Huffstetler

Digitally signed by Leslie R Huffstetler
DN: c=US, o=Florida, dnQualifier=A01410D0000018340, B15A2C0006AC3D, cn=Leslie R Huffstetler
Date: 2023.05.31 12:59:26 -0400

Drawing Key

scale 1"=100'



Note:
Island tree planting will be reviewed on an individual case basis. Utilities will be staked to determine the need for hand digging prior to installation.

Island Tree Planting With Root Barrier Detail not to scale

Landscape Notes:

- Required canopy trees shall have a single straight trunk to a minimum of four feet (4'), a minimum DBH of two inches (2"), and a minimum height of twelve feet (12') at the time of planting.
- Required understory trees may be single stemmed or multi-stemmed and shall have a minimum DBH of one and one-half inch (1½") two inch (2") total DBH for multi-stemmed trees and a minimum height of eight feet (7') at the time of planting. The caliper of multi-trunk trees will be calculated using a total caliper of all trunks.
- Required shrubs and hedges shall have a minimum height of twenty-four inches (24") at the time of planting and shall reach an average height of thirty-six inches (36") within one (1) year of the time of planting. When a continuous hedge is required, the plants shall be planted at a maximum spacing of thirty-six inches (36") on center.
- Required plant material shall be graded Florida number 1 or better.
- All landscape trees to be from preferred tree list or approved alternatives.
- Installation of trees and shrubs shall comply with standard nursery practice.
- Landscape to meet all applicable Florida Friendly and City requirements.
- Required landscape buffers to utilize existing plant material where applicable. Existing trees not shown on this plan or credited in required buffers
- All landscape planting in the WRAs will be above the designated high water elevation.
- Automatic irrigation system to cover 100% of landscape area.
- See engineering plans for details and dimensions.

Low Volume Irrigation Details:

- IRREGULAR ISLAND DRIP LINE PATTERN
- LANDSCAPE DRIP LINE ON GRADE
- TREE GUYING
- TREE TRIPLE STAKE
- EMITTERS AROUND TREE ON 1/4 INCH TUBING
- SHRUB PLANTING

HUFFSTETLER
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
Lic. # 0000749 (352) 316-5254
lhuffstet@fla.aiaa.com

Landscape Plan

Huddle Homes

Eustis, Florida

revisions:
date: _____
description: _____
drawing date: 05/31/2023

scale: 1"=20'
sheet: 1 of 3
62

North Landscape Buffer
827 linear feet of 10' Landscape Buffer
buffer plant material by code:

17 canopy trees, 25 understory trees,
276 shrubs (36" oc)

building perimeter landscaping
555 linear feet of building perimeter
11 canopy or understory trees
5550 sf landscape area required
5550 sf of shrubs and groundcover

West Landscape Buffer
430 linear feet of 25' Landscape Buffer
(490 linear feet less 60' driveway opening)
buffer plant material by code:

9 canopy trees, 13 understory trees,
143 shrubs (36" oc),

Stormwater Pond Planting
1235 linear feet perimeter top of bank
25 canopy trees required

South Landscape Buffer
821 linear feet of 10' Landscape Buffer

buffer plant material by code:
16 canopy trees, 25 understory trees,

Scale 1"=20'

0 4 8 12 20 40 80 160

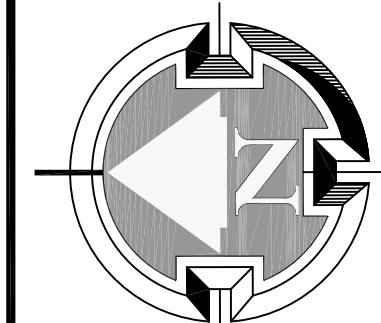
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when plotted on
24" x 36" sheet

sheet: **2**
of: **3**

revisions:	description:

date:

drawing date: 05/31/2023



Huddle Homes

Eustis, Florida

Landscape Plan



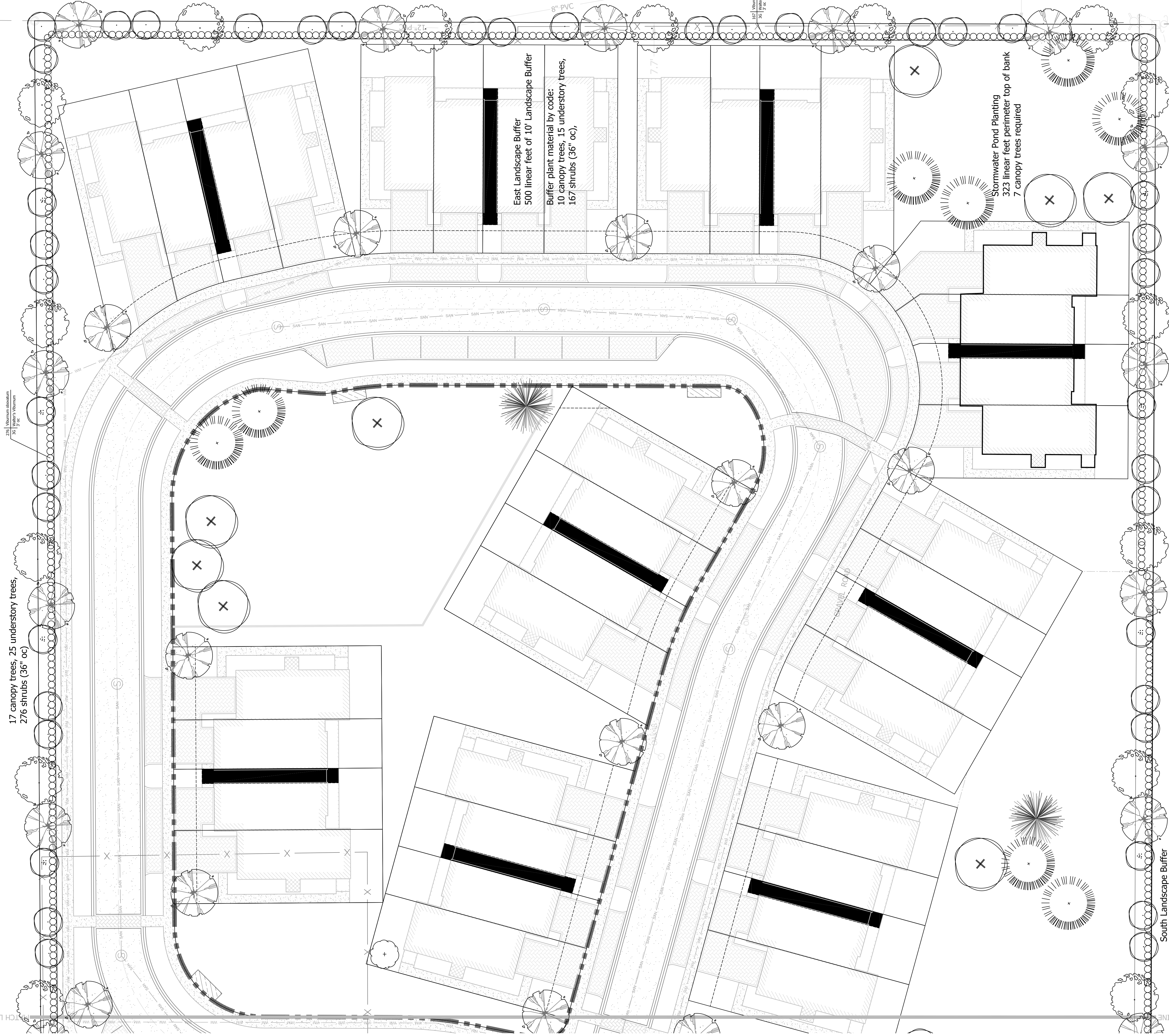
L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
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L.R. Huffstetler III - Lic. # 0000744

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Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
(352) 316-5254
bobhuff@yahoo.com

North Landscape Buffer
827 linear feet of 10' Landscape Buffer
buffer plant material by code:

17 canopy trees, 25 understory trees,
276 shrubs (36" oc)



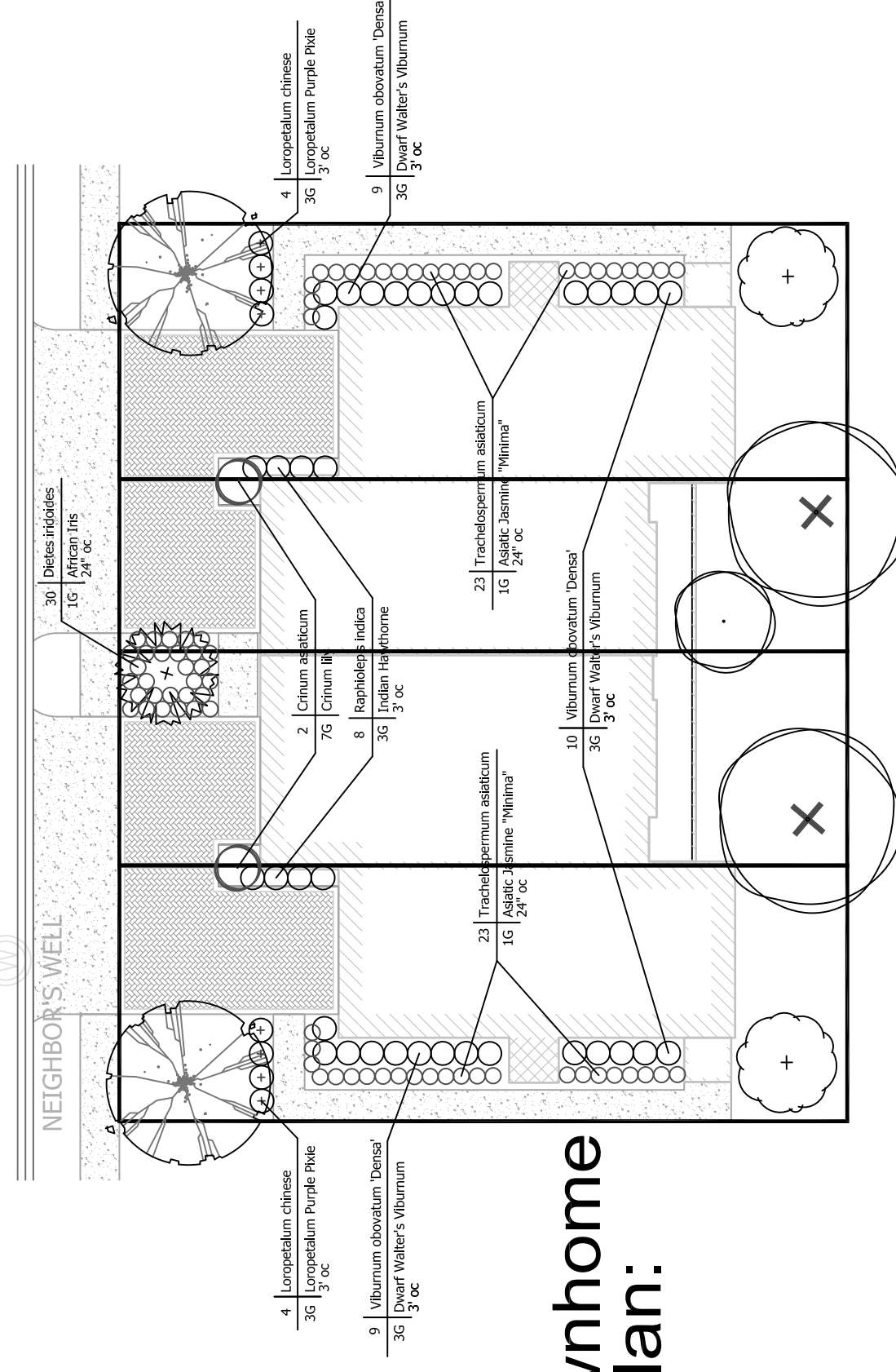
East Landscape Buffer
500 linear feet of 10' Landscape Buffer

Buffer plant material by code:
10 canopy trees, 15 understory trees,
167 shrubs (36" oc)

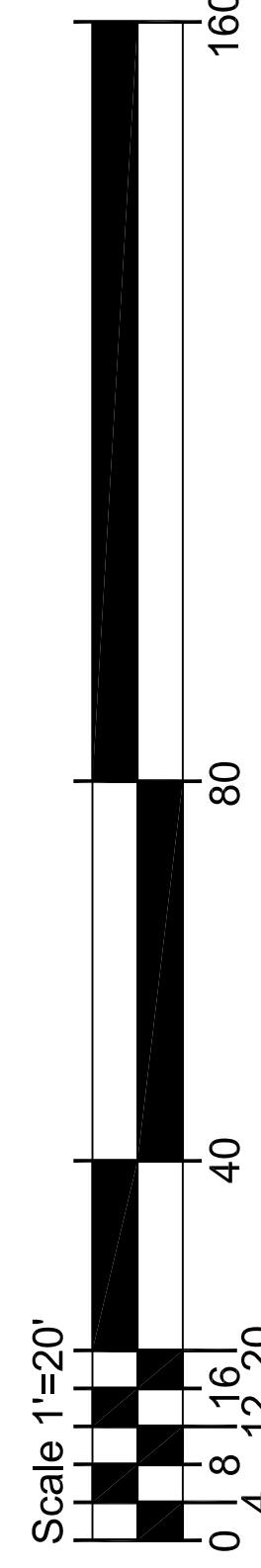
Stormwater Pond Planting
323 linear feet perimeter top of bank
7 canopy trees required

South Landscape Buffer
821 linear feet of 10' Landscape Buffer

buffer plant material by code:
16 canopy trees, 25 understory trees,
274 shrubs (36" oc)



typical townhome
planting plan:



scale: 1"=20'
when plotted on
24" x 36" sheet

sheet: 3
of: 3

revisions:	description:
date:	

drawing date: 05/31/2023

Huddle Homes

Eustis, Florida

Landscape Plan



L.R. HUFFSTETLER, INC.
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36955 Lake Yale Drive
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L.R. Huffstetler III - Lic. # 0000794

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lrbuff@juno.com

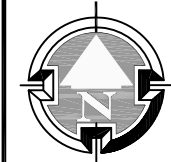
STATE ROAD NO. S-44-B
100' WIDE RIGHT OF WAY AS PER
ROAD MAP BOOK 6, PAGE 158

STATE ROAD NO. S-44-B
100' WIDE RIGHT OF WAY AS PER
ROAD MAP BOOK 6, PAGE 158



scale: 1"=30'
when plotted on
24" x 36" sheet

sheet: 1
of 55



revisions:	description:
date:	

drawing date: 05/31/2023

Huddle Homes

Eustis, Florida

Color Rendering

HUFFSETTLER
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
Lic. # 000794 (352) 316-5254
huffsettler.com

Item 5.1

STATE ROAD NO. S-44-B
100' WIDE RIGHT OF WAY AS PER
ROAD MAP BOOK 6, PAGE 158

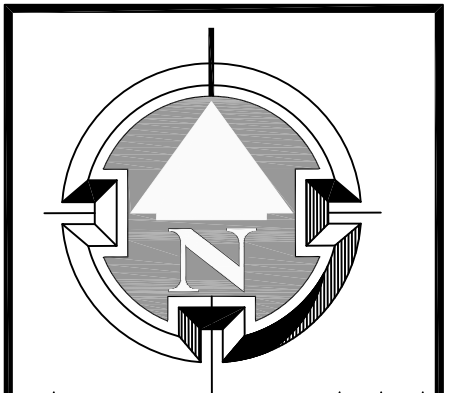
STATE ROAD NO. S-44-B
100' WIDE RIGHT OF WAY AS PER
ROAD MAP BOOK 6, PAGE 158



scale: 1"=30'
when plotted on
24" X 36" sheet
sheet: 1
of: 1

revisions:
description:
date:

drawing date: 05/31/2023



Huddle Homes
Eustis, Florida

Color Rendering

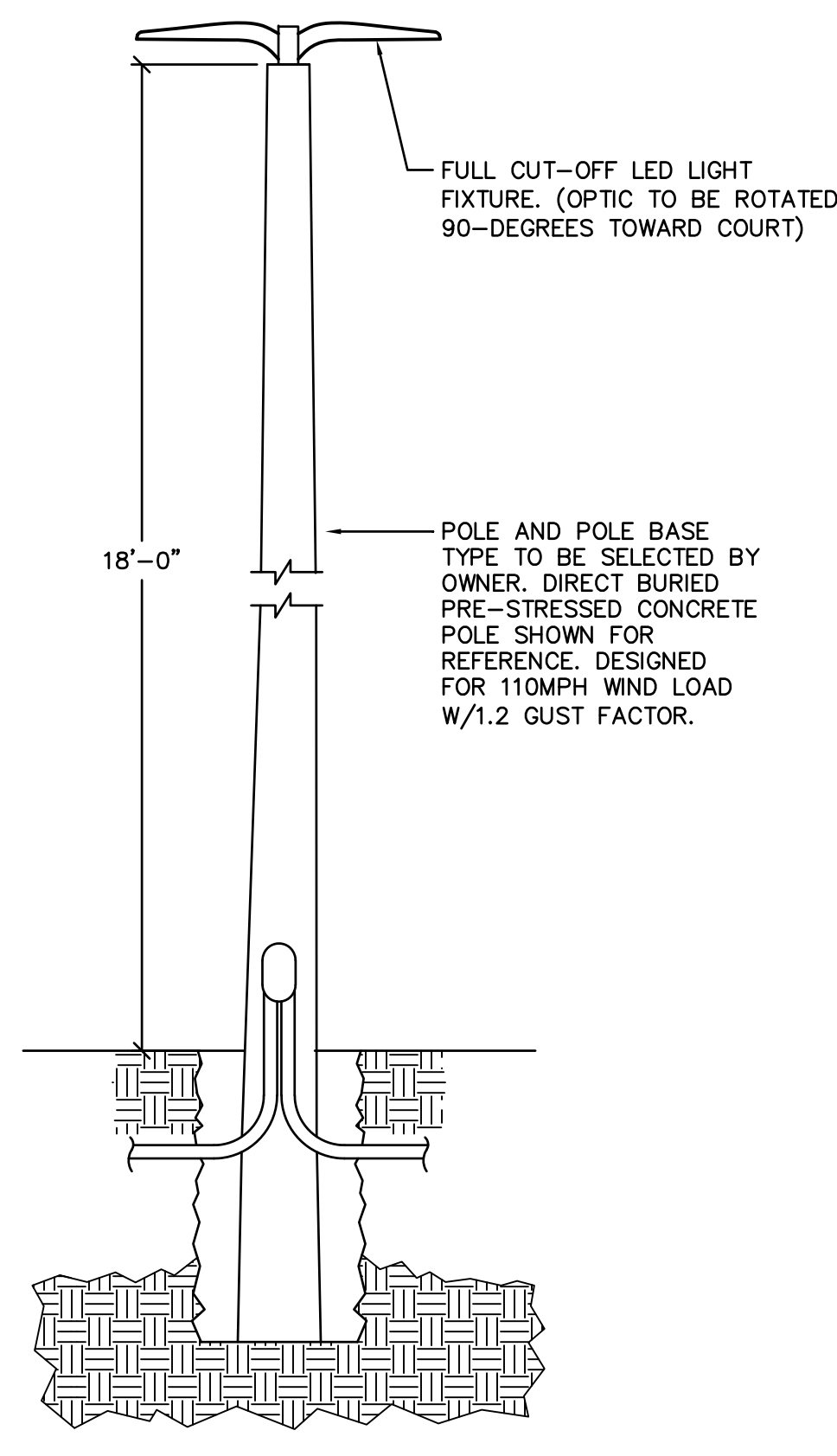


Electric Services, Inc. 1746 U.S. Hwy 441 Leesburg, FL 34748 (PH) 352-787-1322 (FAX) 352-787-7871 CA #9435 - EC #1415 Job #E2300.21

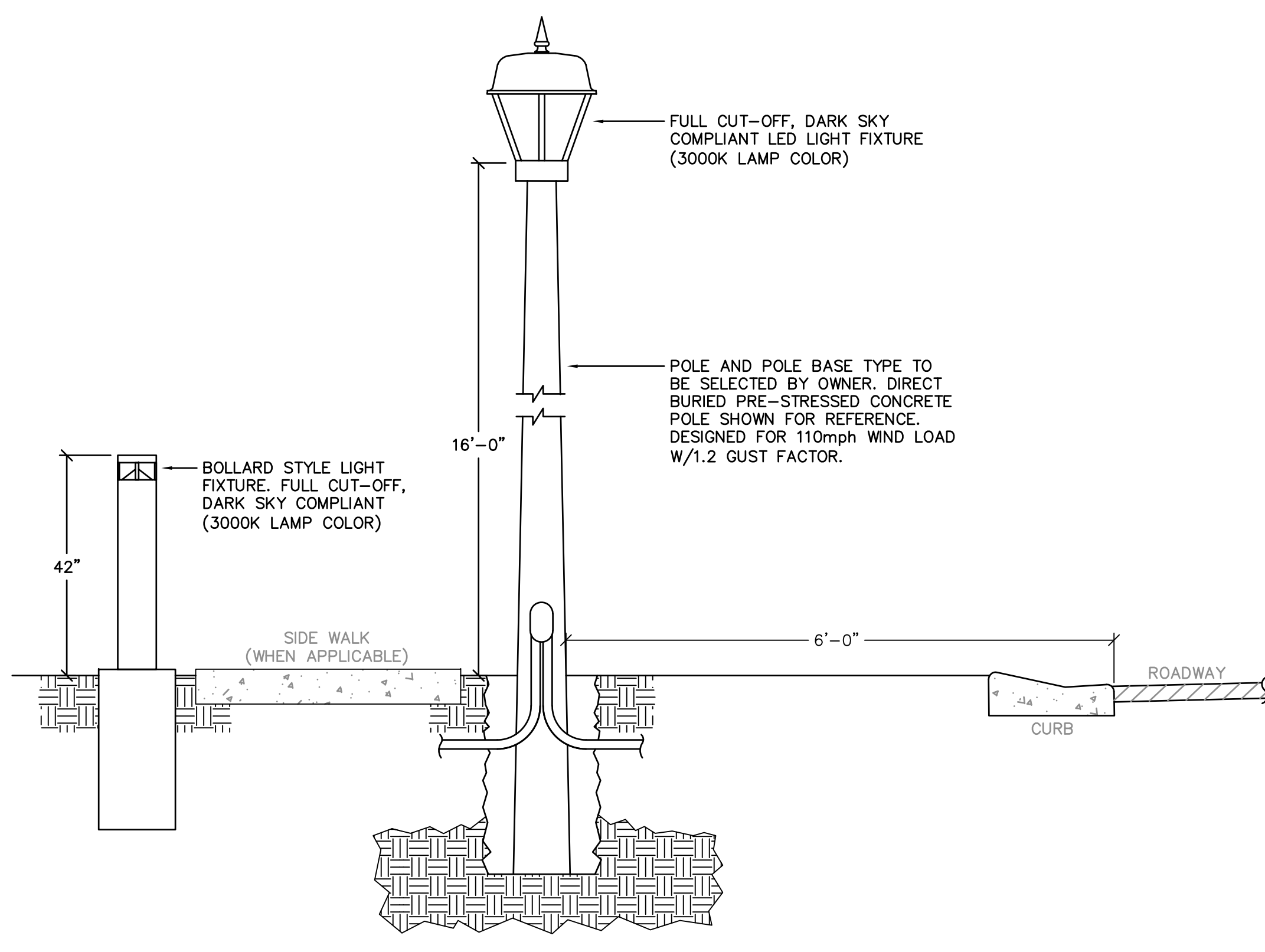
JASS & ASSOCIATES ARCHITECTURE, LLC

2300 AMHERST LANE MOUNT DORA, FLORIDA 32757 C (352) 383 - 9407 License No. AA26002258

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WOOD T. BRAZILL, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



2 TYPICAL POLE MOUNTING DETAIL (PICKLE BALL COURT) NOT TO SCALE



1 TYPICAL POLE AND BOLLARD MOUNTING DETAIL NOT TO SCALE

DRAWING INDEX

- SL1 LEGEND, SCHEDULES AND DETAILS - ELECTRICAL
SL2 SITE PLAN - ROADWAY/AREA LIGHTING PHOTOMETRICS

STATISTICS table with columns: Label, CalcType, Average, Max, Min, Average / Min, Max / Min. Rows include PROPERTY LINE, ROADWAY/PARKING/AREA COMMERCIAL, ROADWAY/PARKING/AREA RESIDENTIAL, PICKLE BALL COURT.

LUMINAIRE SCHEDULE table with columns: Symbol, Tag, Description, Part Number, Lamp, Lamp Qty, Watts. Rows include S1A, S1B, S2A, S2B, S3.

BULLETIN LOG

HUDDLE PLACE NEW CONSTRUCTION COUNTY ROAD 44 EUSTIS, FLORIDA

ISSUE DATE: 07/13/2023

ISSUED FOR: PERMIT

AS DATED - JASS & ASSOCIATES ARCHITECTURE, LLC.

REVISION LOG STATE REGISTRATIONS FL #AA26002258

WOOD T. BRAZILL, P.E. LICENSE NO. 65856

HUDDLE 44 PROJECT NAME LEGEND, SCHEDULES AND DETAILS - ELECTRICAL SHEET NAME

PROJECT NUMBER: 2301 DRAWN BY: BDB CHECKED BY: WTB SCALE: AS NOTED

SL1 SHEET NUMBER

FIXTURE TYPES S1A & S1B advertisement for PEMCO LIGHTING PRODUCTS featuring a post top luminaire.

FIXTURE TYPES S2A & S2B advertisement for KIMLIGHTING featuring a bollard luminaire.

FIXTURE TYPE S3 advertisement for BEACON VIBER Area/Site featuring a microstrike luminaire.

TRAFFIC IMPACT ANALYSIS

HUDDLE
LAKE COUNTY, FLORIDA



Prepared for:

CynerGreen Development
137 North Highland Street
Mount Dora, Florida 32757

Prepared by:

Traffic Planning and Design, Inc.
535 Versailles Drive
Maitland, Florida 32751
407-628-9955

May 2023

TPD № 5802

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic Planning & Design, Inc., a corporation authorized to operate as an engineering business, EB-3702, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: Huddle
LOCATION: Lake County, Florida
CLIENT: CynerGreen Development

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

NAME: Turgut Dervish, P.E.
P.E. No: 20400
DATE: May 26, 2023
SIGNATURE: _____

A circular professional seal for Turgut Dervish, a Professional Engineer in the State of Florida. The seal contains the text "TURGUT DERVISH", "LICENSE No. 20400", and "STATE OF FLORIDA PROFESSIONAL ENGINEER". There are two stars on either side of the state name. A signature is written across the seal.

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INTRODUCTION

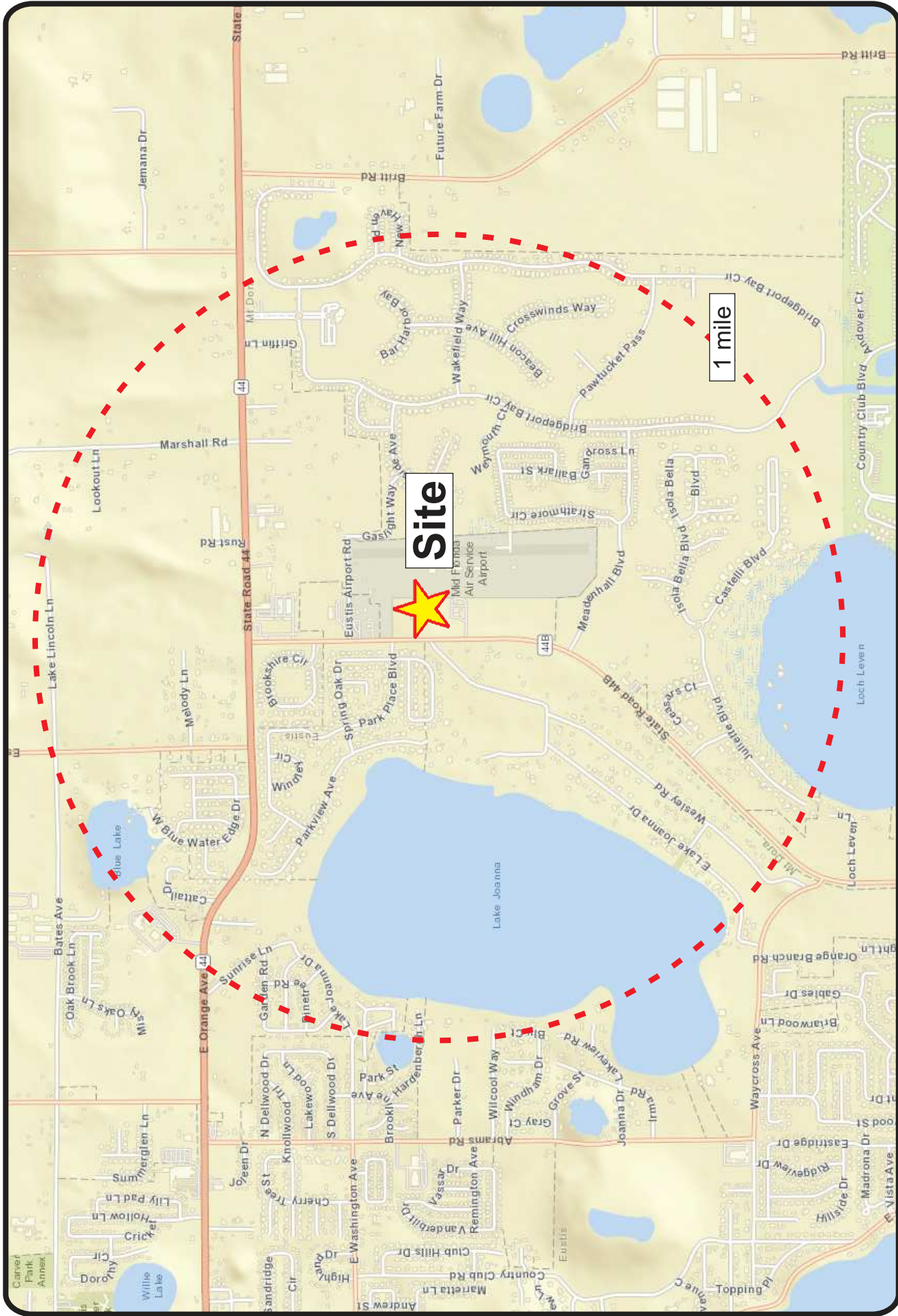
This analysis was undertaken in order to assess the traffic impact of Huddle, a mixed-use development in Lake County. The proposed development will consist of 40 townhomes and an 8,793 square foot restaurant located on the east side of SR 44 opposite Lake Joanna Drive. It is anticipated that the project will be completed by the end of 2025. Access to the site will be provided via a full access driveway on SR 44. **Figure 1** depicts the site location and **Figure 2** the site plan and its access configuration.

As per the Lake Sumter MPO Traffic Impact Study Methodology and Guidelines, the study will be for a Tier 1 TIS with a minimum of one mile impact area. The analysis was conducted in accordance with a traffic study methodology submitted to and reviewed by the County. This methodology and related correspondence are included in **Appendix A**. Data utilized in this study consisted of a site plan provided by the Project Engineers, traffic volume data obtained from the most recent Lake County Annual Counts and Level of Service Standards from the Lake County 2022 CMP Database. Intersection turning movement counts were collected by Traffic Planning and Design, Inc. staff.





Site Location

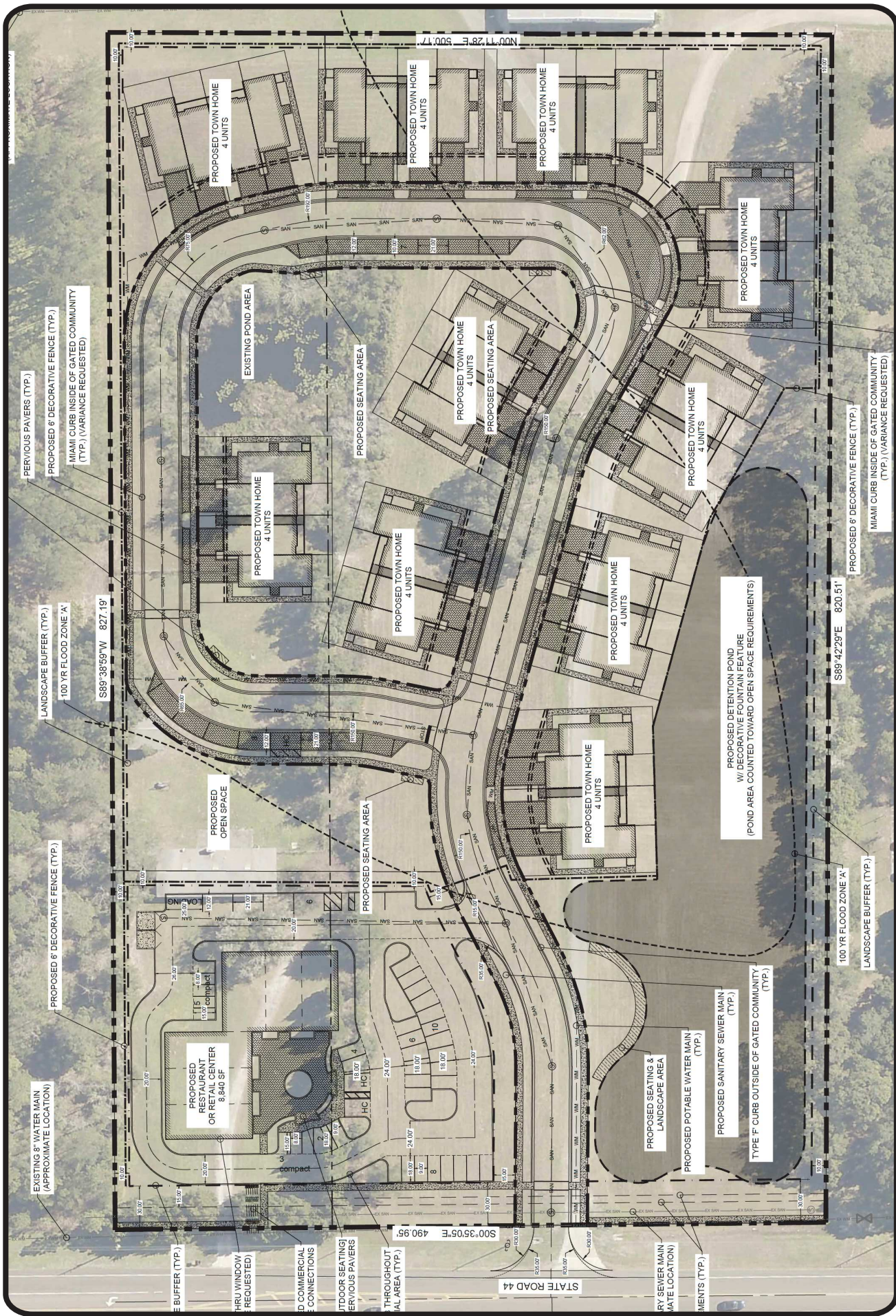


Huddle - Lake County
Project No 5802
Figure 1





Site Plan



Huddle - Lake County
 Project No 5802
 Figure 2



EXISTING CONDITIONS ANALYSIS

The existing conditions analysis includes classified roadways within the identified one-mile study area. At the request of the County, a segment of SR 44 outside of the one-mile impact area was included in the analysis along with the following intersections:

- SR 44 and Orange Avenue
- SR 44 and Lake Joanna Drive
- SR 44 and US 441
- SR 44 and Waycross Avenue
- Estes Road and Orange Avenue

The study roadways and intersections were analyzed for the P.M. peak hour.

Roadway Segment Analysis

The roadways were analyzed by comparing the existing traffic volume of each roadway segment with the corresponding adopted LOS/capacity value for the P.M. peak hour. The existing traffic volumes and the adopted capacities for the roadway segments were obtained from the Lake County 2022 CMP database. The existing P.M. peak hour roadway capacity analysis is summarized in **Table 1**. As shown, the existing conditions analysis of P.M. peak hour traffic conditions reveals that the study roadway segments currently operate satisfactorily at or above their adopted Level of Service capacities except for SR 44 from US 441 to Waycross Avenue which is failing with LOS F.

**Table 1
Existing P.M. Peak Hour Roadway Capacity Analysis**

Seg. ID	Roadway Segment	Lns	Road Type	LOS Standard	Pk Hr Direction Capacity	Direction	Volume	V/C	LOS
SR 44									
3262	US 441 to Waycross Ave	2	Urban Divided	D	970	NB	1,235	1.27	F
3268	Waycross Ave to Orange Ave	2	Urban Undivided	D	920	NB	907	0.99	D
3270	Abrams Rd to Thrill Hill Rd	2	Urban Undivided	D	920	EB	706	0.77	C
Estes Road									
1850	Lake Lincoln Ln to SR 44	2	Urban Undivided	D	840	NB	262	0.31	C



Intersection Analysis

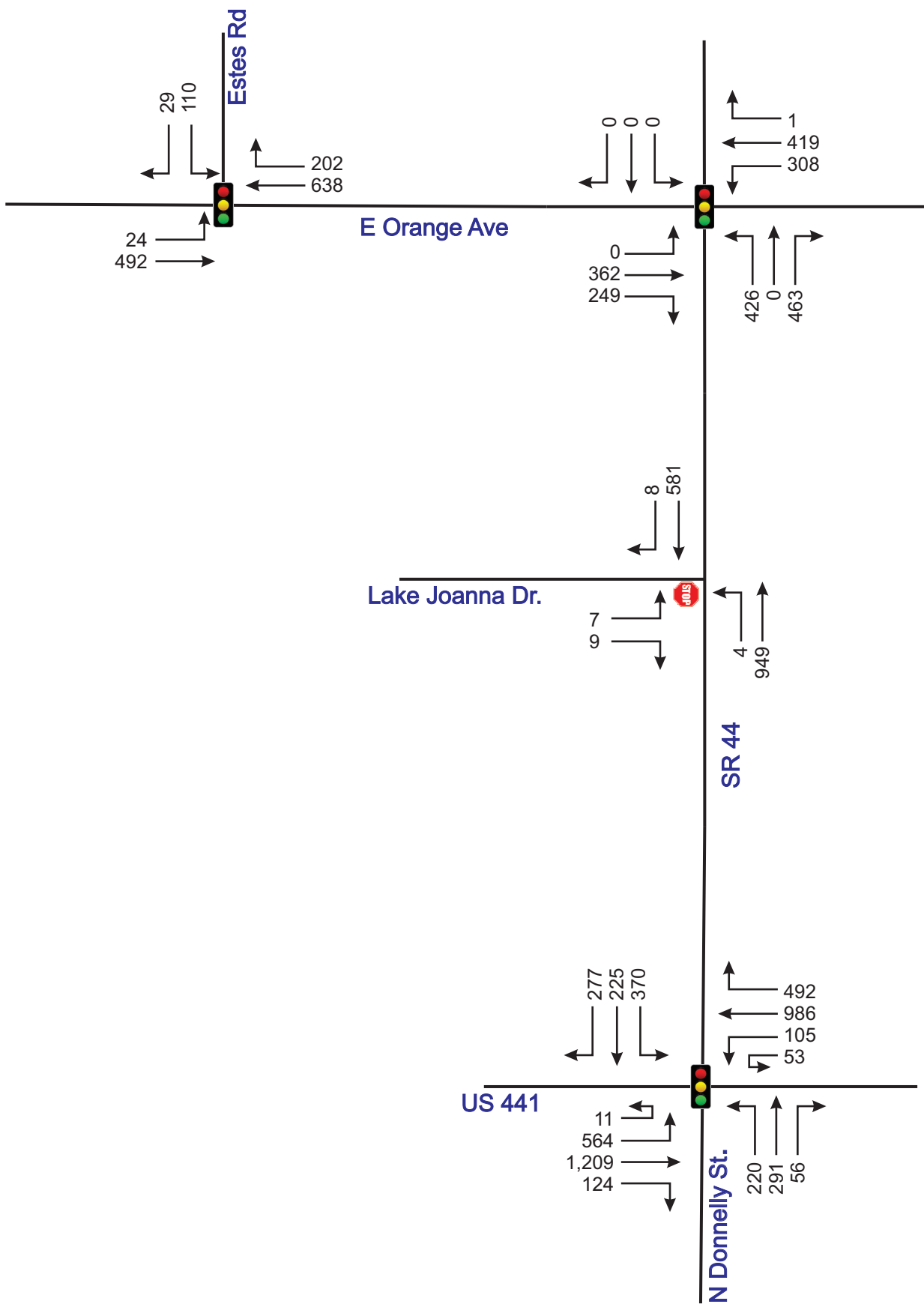
The study intersections were analyzed in accordance with the procedures of the *Highway Capacity Manual (HCM)* and Highway Capacity Software. In the analysis, existing P.M. peak hour traffic volumes, intersection geometry and traffic controls were used. The intersection counts were made in May 2023 during a week when the FDOT seasonal factor for Lake County was less than 1.00. Therefore, the counts were not seasonally adjusted.

The intersection P.M. peak hour counts are depicted in **Figure 3**. Detailed intersection traffic count data and seasonal factor information along with signal timings are included in **Appendix B**. The results of the intersection capacity analysis are summarized in **Table 2**. This table shows that the intersection of SR 44 and US 441 is currently failing due to the high existing volume on US 441. This is due to the high volume of vehicles turning from US 441 to travel north on SR 44. Other study intersections are currently operating at overall satisfactory Levels of Service. The HCS capacity analysis worksheets are included in **Appendix C**.

Table 2
Existing Intersection Capacity Analysis

Intersection	Control	EB		WB		NB		SB		Overall	
		Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
SR 44 & Orange Ave	Signal	30.8	C	16.8	B	36.8	D	0.0	A	28.7	C
SR 44 & Lake Joanna Dr	Stop	30.1	D	--	--	0.2	A	--	--	--	--
SR 44 & US 441	Signal	660.3	F	622.9	F	49.6	D	46.7	D	471.1	F
Estes Rd & Orange Ave	Signal	6.0	A	12.8	B	--	--	22.4	C	11.3	B





PROPOSED DEVELOPMENT AND TRIP GENERATION

The proposed development consists of 40 townhouse units and an 8,793 square foot restaurant. To determine the impact of this development, an analysis of its trip generation characteristics was conducted. This included the determination of the trips to be generated as well as their distribution and assignment to the area roadways.

Trip Generation

Trip generation rates were obtained from the 11th Edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. **Table 3** provides a summary of the trip generation for the proposed uses. As shown, the proposed development is estimated to generate 1,274 daily trips, of which 119 will occur during the A.M. peak hour and 118 in the P.M. peak hour, Subtracting the pass-by trips results in new net trips to be added to the area roadways. The trip generation worksheets are included in the study methodology.

Table 3
Trip Generation Calculation Summary

ITE Code	Land Use	Size*	Daily		A.M. Peak Hour			P.M. Peak Hour				
			Rate*	Trips	Rate*	Enter	Exit	Total	Rate*	Enter	Exit	Total
220	Townhouses	40 DU	8.30	332	0.875	8	27	35	0.950	24	14	38
932	Sit-Down Restaurant	8,793 KSF	107.20	942	9.57	46	38	84	9.05	49	31	80
Total Trips				1,274	----	54	65	119	----	73	45	118
Pass-by Trips (43%)				405	----	20	16	36	----	19	13	32
New Net Trips				869	----	34	49	83	----	54	32	86

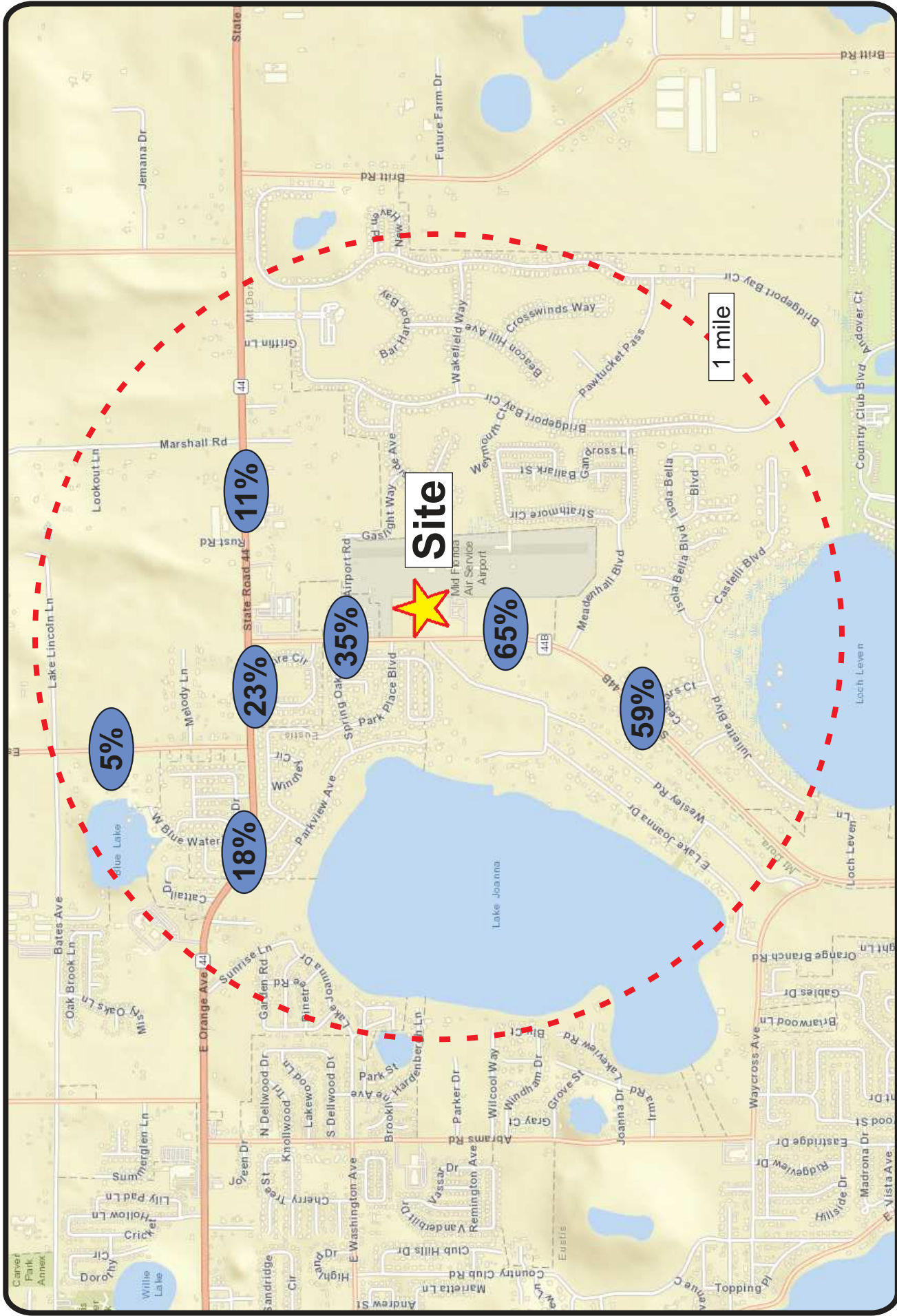
* DU=Dwelling Unit, KSF=1,000 Square Feet

** Equation Used when $R^2 > 0.75$

Trip Distribution/Trip Assignment

The trip distribution pattern for the proposed project was estimated using the currently adopted Central Florida Regional Planning Model. A Select Zone Analysis (SZA) was conducted by modifying the CFRPM model network to include a Traffic Analysis Zone (TAZ) representing the proposed project and the model's socio-economic data updated to reflect the proposed project buildout. The trip distribution model plot is included in the study methodology. The trip distribution in the impact area is illustrated in **Figure 4**. Utilizing this distribution, the development project trips were assigned to the area roadways.





Trip Distribution

Huddle - Lake County
Project No 5802
Figure 4



PROJECTED TRAFFIC CONDITIONS

Projected traffic conditions were assessed in order to evaluate the impact of the proposed development within its area of influence. The projected conditions were estimated by combining the P.M. peak hour project trips with background traffic volumes.

Background Traffic Projections

Projected traffic volumes consist of background traffic combined with site generated traffic. Typically, background traffic volumes are determined by expanding existing peak hour traffic volumes to the buildout year using an annual growth rate. Annual growth rates for the study roadways were obtained from the Lake County CMP Database which indicated an annual 2.75% growth on Estes Drive and 1.00 % on SR 44. For roadway segments with a growth rate of less than 2.00%, a minimum of 2.00% was used. The growth rates were applied to the existing traffic volumes in order to determine the projected background volumes in the project buildout year in 2025.

Roadway Segment Analysis

The projected roadway segment analysis was performed by comparing the total projected P.M. peak hour traffic volume of each segment with the respective capacity at the adopted LOS standard. The projected P.M. peak hour analysis, as summarized in **Table 4**, revealed that the study roadway segments will continue to operate within the adopted LOS standards upon the addition of project trips except for the segment of SR 44 from US 441 to Waycross Avenue which is failing under existing conditions, and the segment of SR 44 from Waycross Avenue to Orange Avenue which will fail with or without the project trips under projected conditions. SR 44 from US 441 to Orange Avenue is planned to be widened by FDOT to four lanes with design underway.

Table 4
Projected P.M. Peak Hour Roadway Analysis

Roadway Segment	Lns	LOS		Peak Direction	P.M. Peak Hour Peak Direction Volume			V/C Ratio	LOS
		Standard	Capacity		Background*	Project**	Total		
SR 44									
US 441 to Waycross Ave	2	D	970	NB	1,284	30	1,314	1.35	F
Waycross Ave to Orange Ave	2	D	920	NB	943	35	978	1.06	F
Abrams Ave to Thrill Hill Rd	2	D	920	EB	734	12	746	0.81	C
Estes Road									
Lake Lincoln Ln to SR 44	2	D	840	NB	276	2	278	0.33	C

* Existing counts X 1.055 for Estes Dr and Existing count X 1.04 for SR 44

** Highest trips on the segment



Intersection Analysis

The projected traffic volumes at the study intersections are depicted in **Figure 5**. The figure shows the background P.M. peak hour volumes combined with project trips. The intersections were analyzed similar to the existing conditions analysis utilizing HCS software in accordance with the *Highway Capacity Manual* (HCM). The results of this analysis as summarized in **Table 5** indicate satisfactory traffic operating conditions at the study intersections except for the intersection of SR 44 and US 441 which is failing under existing conditions. With signal timing optimization, the intersection will still operate over-capacity with failing northbound and southbound approaches, but the overall delay for the intersection will be much improved. The minor approaches of SR 44 and Lake Joanna Drive/site access intersection are failing; however, the v/c ratios are less than 1.00, indicating the failing Levels of Service are caused due to the existing stop-control at the intersection and not a capacity deficiency. The HCS capacity analysis worksheets are included in **Appendix D**.

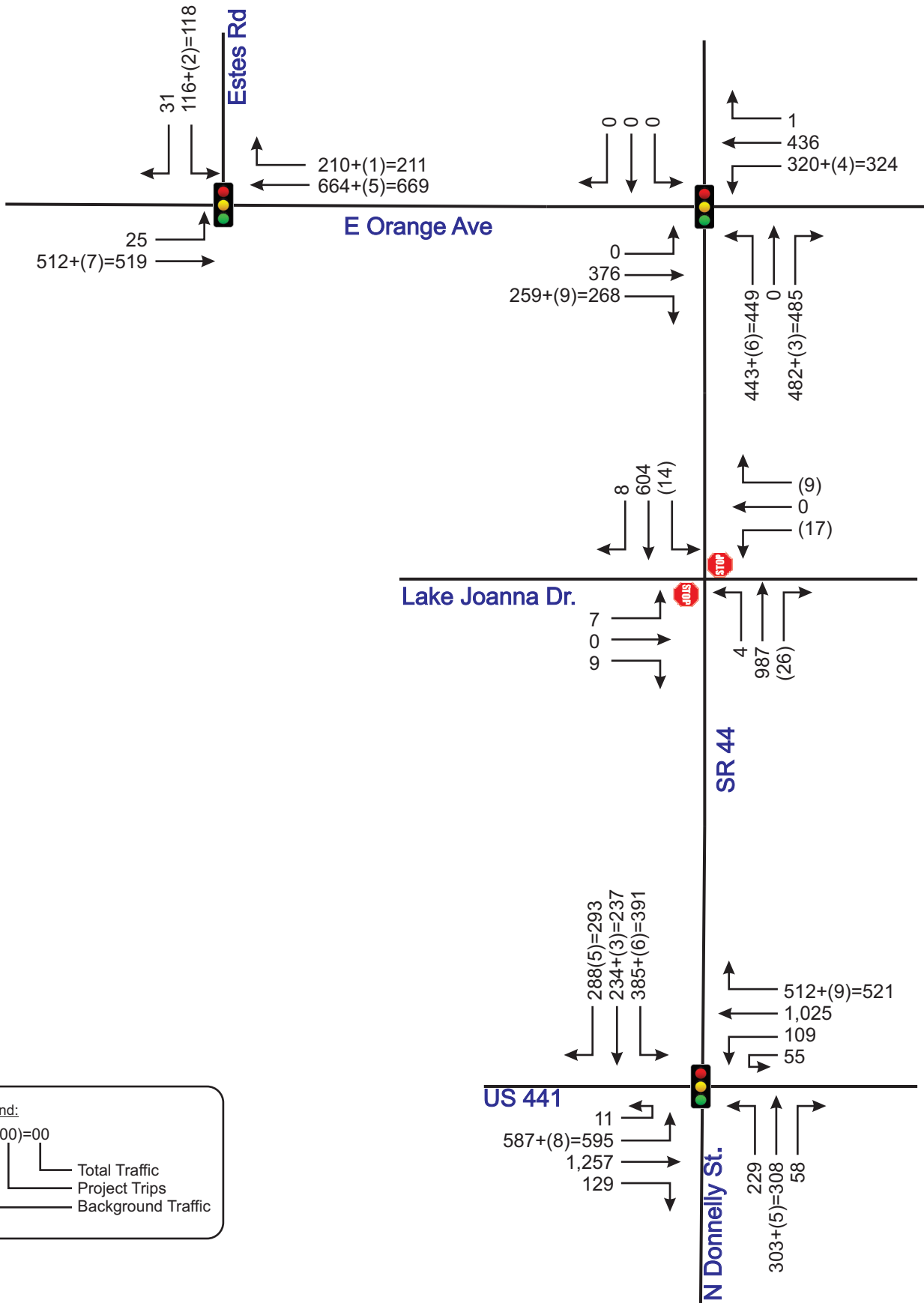
Table 5
Projected Intersection Capacity Analysis

Intersection	Control	EB		WB		NB		SB		Overall	
		Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
SR 44 & Orange Ave	Signal	32.4	C	17.8	B	42.8	D	0.0	A	31.8	C
SR 44 & Lake Joanna Dr/Site Access	Stop	51.1*	F	100.4**	F	0.2	A	0.8	A	--	--
SR 44 & US 441	Signal	724.1	F	668.0	F	50.1	D	47.3	D	509.4	F
SR 44 & US 441 - Optimized	Signal	64.5	E	78.7	E	133.5	F	87.9	F	81.2	F
Estes Rd & Orange Ave	Signal	6.0	A	12.9	B	--	--	23.7	C	11.5	B

* v/c Ratio =0.19

** v/c Ratio =0.46





Turn Lane Analysis

Due to the heavy traffic volumes on SR 44, a separate left turn lane is warranted as per NCHRP Report 457 and should be provided. Based upon the guidelines contained in the FDOT Driveway Information Guide, a separate right turn lane is not warranted. Referenced data for separate turn lanes are included in **Appendix E**.



STUDY CONCLUSIONS

This traffic analysis was conducted in order to assess the traffic impact of the proposed Huddle development in Lake County. The project site is located on the east side SR 44 opposite Lake Joanna Drive. The project consists of 40 townhome residential units and an 8,793 square foot restaurant. Access to the site is proposed via a full access driveway on SR 44.

- The proposed development is estimated to generate 869 new net daily trips, 83 A.M. new net peak hour trips and 86 P.M. new net peak hour trips.
- The roadway segment capacity analysis indicates that the study roadway segments currently operate at satisfactory Levels of Service except for the segment of SR 44 from US 441 to Waycross Avenue which is failing under existing conditions. In the projected conditions another segment of SR 44 from Waycross Avenue to Orange Avenue will fail with or without project traffic. Other roadway segments within the study area are projected to operate at satisfactory Levels of Service.
- SR 44 from US 441 to Orange Avenue is planned to be widened by FDOT to four lanes. The design is under way but the construction schedule not determined yet.
- The intersection capacity analysis indicates that the SR 44/US 441 intersection is currently operating at LOS F due to high volumes on US 441. With optimization, the operation of the intersection will be much improved but still failing. Other intersections currently operate satisfactorily and will continue to do so at project buildout.
- The proposed development will be served by an access driveway on SR 44 opposite Joanne Drive. Due to heavy traffic volumes on SR 44, a southbound left turn lane is recommended and should be provided.



APPENDICES

APPENDIX A

Study Methodology and Related Correspondence

Rita Merhi

From: Lewis, Sharon E <sharon.lewis@lakecountyfl.gov>
Sent: Monday, May 15, 2023 4:39 PM
To: Rita Merhi
Cc: Turgut Dervish; Earhart, Jeffrey; Lynch, Seth
Subject: RE: TPD#5802 Huddle
Attachments: 5802 - Huddle Methodology Comments.pdf

Rita,

Please see my comments in the attached methodology



SHARON E LEWIS, MSCTM
Traffic Project Engineer

PUBLIC WORKS
Engineering

A P.O Box 7800, Tavares, FL 32778
P 352-253-9050 | F 352-253-6016
E Sharon.Lewis@lakecountyfl.gov | W www.lakecountyfl.gov

NOTE: Florida has a very broad public records law.
Your email communications may be subject to public disclosure.

From: Rita Merhi <rita@tpdtraffic.com>
Sent: Friday, April 28, 2023 1:37 PM
To: Lewis, Sharon E <sharon.lewis@lakecountyfl.gov>
Cc: Turgut Dervish <turgut@tpdtraffic.com>
Subject: RE: TPD#5802 Huddle

CAUTION: This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon Sharon,

Please use the attached version for the proposed methodology. The one I sent earlier had a typo on the distribution figure.
Sorry for the inconvenience.

Thank you for your assistance in reviewing the attached methodology.

Have a great weekend.

Regards,

Rita Merhi

Traffic Planning and Design, Inc.
535 Versailles Drive

Rita Merhi

From: Lynch, Seth <seth.lynch@lakecountyfl.gov>
Sent: Tuesday, May 16, 2023 3:00 PM
To: Lewis, Sharon E; Rita Merhi
Cc: Turgut Dervish; Earhart, Jeffrey
Subject: RE: TPD#5802 Huddle

It is highly recommended that turn lane on SR 44 be added at this intersection.

Thanks,
 Seth



SETH LYNCH
Development Engineer/Project Manager

DEPARTMENT OF PUBLIC WORKS
Engineering Division, Development Section

A P.O. BOX 7800, 350 N. Sinclair Ave, Tavares, FL, 32778
P 352-253-9052
E slynch@lakecountyfl.gov | **W** www.lakecountyfl.gov

*NOTE: Florida has a very broad public records law.
 Your email communications may be subject to public disclosure.*

From: Lewis, Sharon E <sharon.lewis@lakecountyfl.gov>
Sent: Monday, May 15, 2023 4:39 PM
To: Rita Merhi <rita@tpdtraffic.com>
Cc: Turgut Dervish <turgut@tpdtraffic.com>; Earhart, Jeffrey <jeff.earhart@lakecountyfl.gov>; Lynch, Seth <seth.lynch@lakecountyfl.gov>
Subject: RE: TPD#5802 Huddle

Rita,

Please see my comments in the attached methodology



SHARON E LEWIS, MSCTM
Traffic Project Engineer

PUBLIC WORKS
Engineering

A P.O. Box 7800, Tavares, FL 32778
P 352-253-9050 | **F** 352-253-6016
E Sharon.Lewis@lakecountyfl.gov | **W** www.lakecountyfl.gov

*NOTE: Florida has a very broad public records law.
 Your email communications may be subject to public disclosure.*

From: Rita Merhi <rita@tpdtraffic.com>
Sent: Friday, April 28, 2023 1:37 PM
To: Lewis, Sharon E <sharon.lewis@lakecountyfl.gov>



TO: Sharon Lewis, MS
Lake County Public Works

FROM: Turgut Dervish, P.E. 

DATE: April 28, 2023

RE: **Traffic Impact Analysis Methodology**
Huddle – Lake County
TPD No. 5802

The following is an outline of the proposed methodology for the Traffic Impact Study for the Huddle residential development in Lake County, Florida. The project site is located on the east side of the intersection of SR 44 and Lake Joanna Drive. **Figure 1** depicts the site location and the area roadways.


1. Proposed Development

The proposed development will consist of 40 townhomes and an 8,793 square foot restaurant. The site is proposed to be served via a full access driveway which will serve as the westbound approach of the intersection of SR 44 and Lake Joanna Drive. **Figure 2** is a conceptual site plan of the development and access configuration. The development is anticipated to be built by the end of 2025.

2. Trip Generation

Trip generation data from the 11th Edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual* will be used for the trip generation estimation of the development. **Table 1** provides a summary of the trip generation for the proposed development calculated with the ITE data. The project is expected to generate a total of 791 net new daily trips, of which 63 will occur during the A.M. peak hour and 66 will occur during P.M. peak hour. The ITE trip generation worksheets are included in **Attachment A**.

Table 1
Trip Generation Calculation Summary

ITE Code	Land Use	Size*	Daily		A.M. Peak Hour				P.M. Peak Hour			
			Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
215	Single-Family Attached Housing	40 DU	6.35**	254	0.38**	4	11	15	0.50**	12	8	20
932	High-Turnover (Sit-Down) Restaurant	8.79 KSF	107.20	942	9.57	46	38	84	9.05	49	31	80
Total Trips:				1,196	--	50	49	99	--	61	39	100
Restaurant Pass-By (4 				405	--	20	16	36	--	21	13	34
Net New Trips:				791	--	30	33	63	--	40	26	66

* DU = Dwelling Units, KSF = 1,000 square feet

** $R^2 > 0.75$, therefore equations used

Summary of Comments on Microsoft Word - 5802 - Huddle Methodology

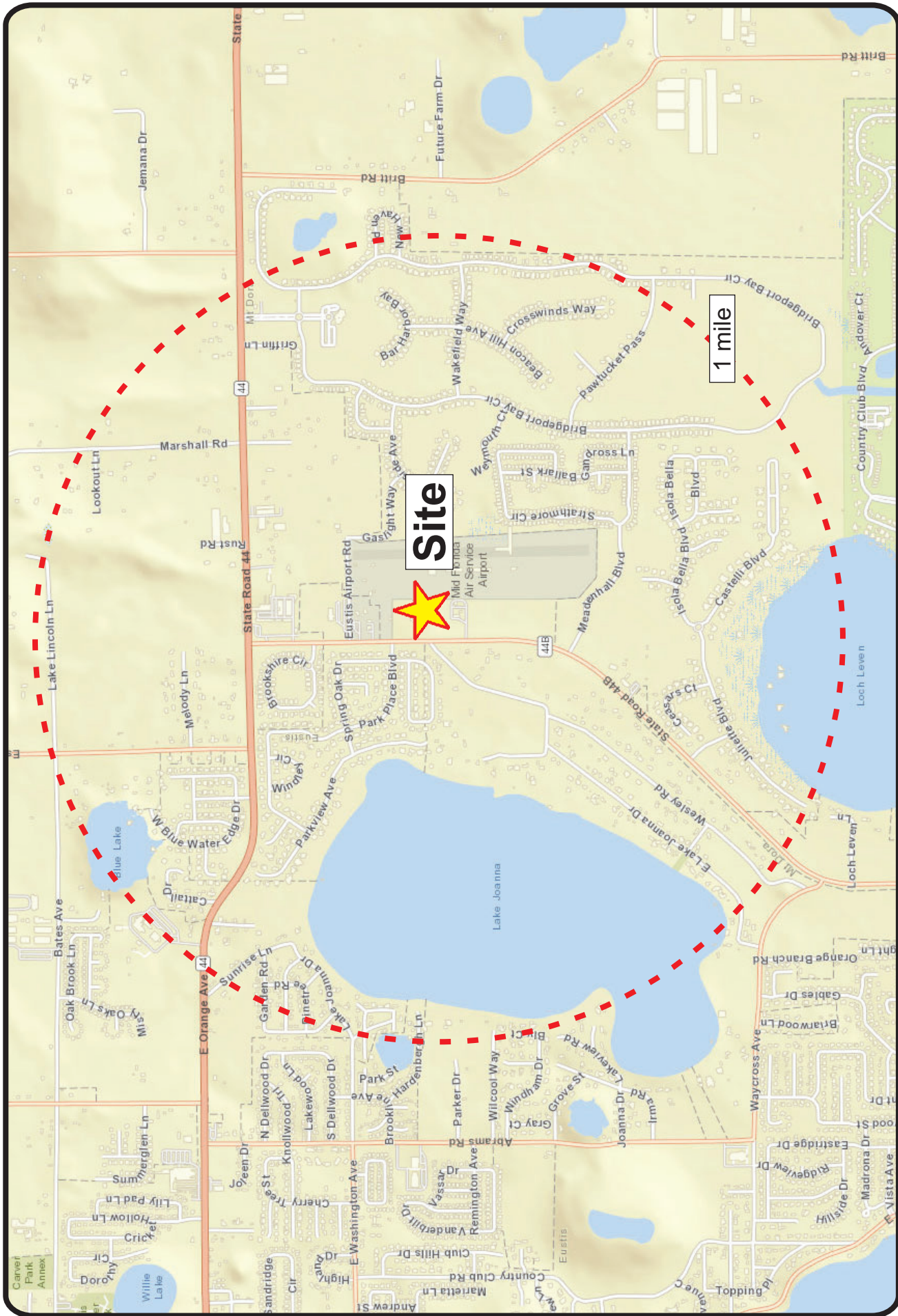
Item 5.1

Page: 1

Number: 1 Author: sharon.lewis Subject: Sticky Note Date: 5/15/2023 3:31:35 PM
Should be 34%



Site Location

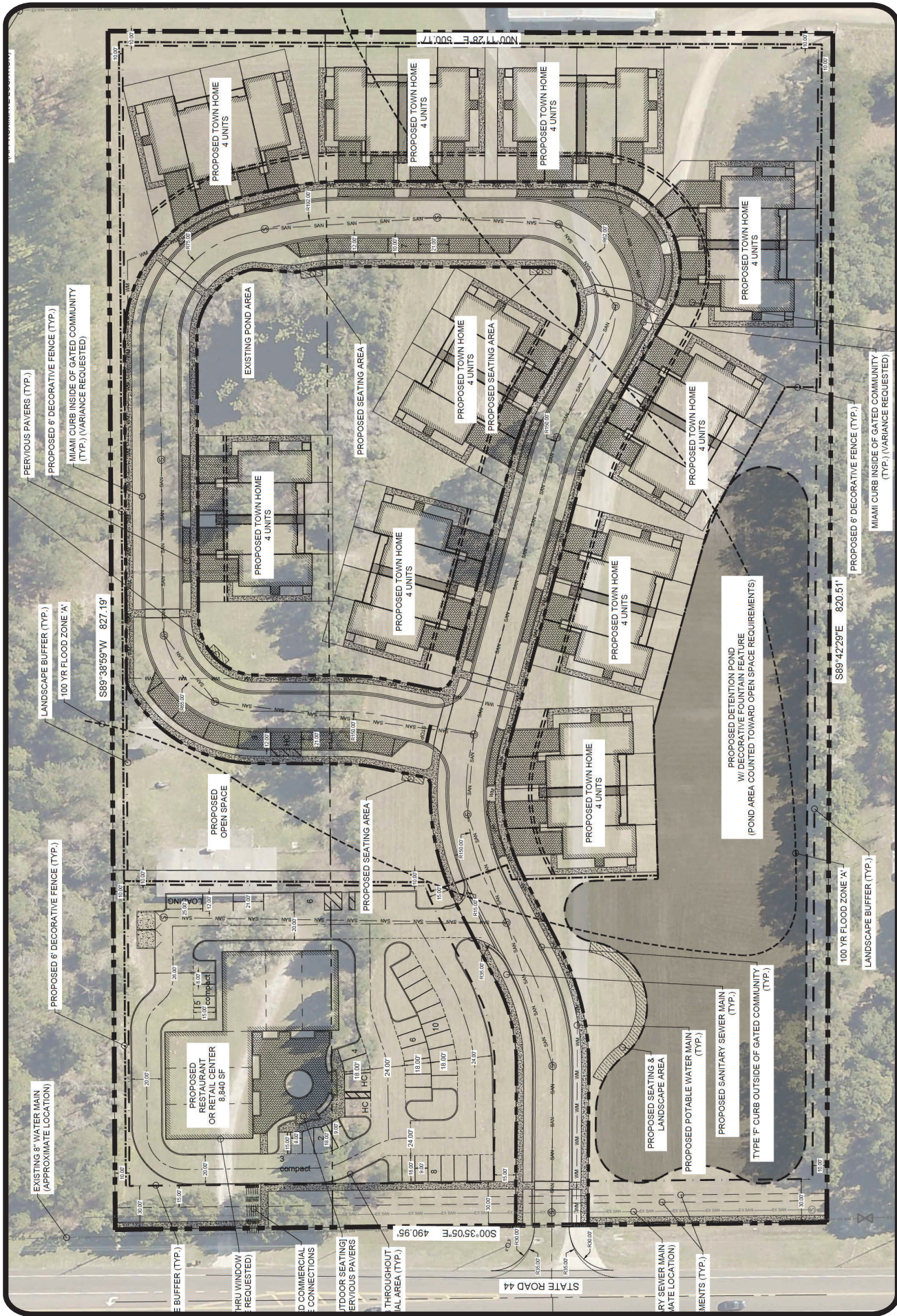


Huddle - Lake County
Project No 5802
Figure 1





Site Plan



Huddle - Lake County
 Project No 5802
 Figure 2



3. Trip Distribution

The trip distribution pattern for the proposed project was estimated using the CFRPM model. The trip distribution pattern in the project vicinity is illustrated in **Figure 3**. The model generated plots are included in **Attachment B**.

4. Impact Area

As per Lake-Sumter MPO’s Traffic Impact Study Methodology and Guidelines, the study will be a Tier 1 TIS. These guidelines require that the impact area of the development include an area within a minimum of a one-mile radius from the main access point of the proposed project. A significance analysis was conducted to determine the impact of the proposed development on the roadways in the project’s impact area. The results of the analysis are summarized in **Table 2**, which shows that no roadway within the project’s one-mile impact area will be significantly impacted. Therefore, the following roadway segments and intersections are proposed to be included in the analysis:

The roadway segments to be included in the analysis:

- SR 44, Waycross Avenue to Orange Avenue
- Orange Avenue, Abrams Road to Thrill Hill Road
- Estes Road, Lake Lincoln Lane to SR 44

The intersections to be included in the area analysis are:

- SR 44 and Orange Avenue
- Estes Road and Orange Avenue
- SR 44 and Lake Joanna Drive/Site Access

Table 2
Significance Analysis

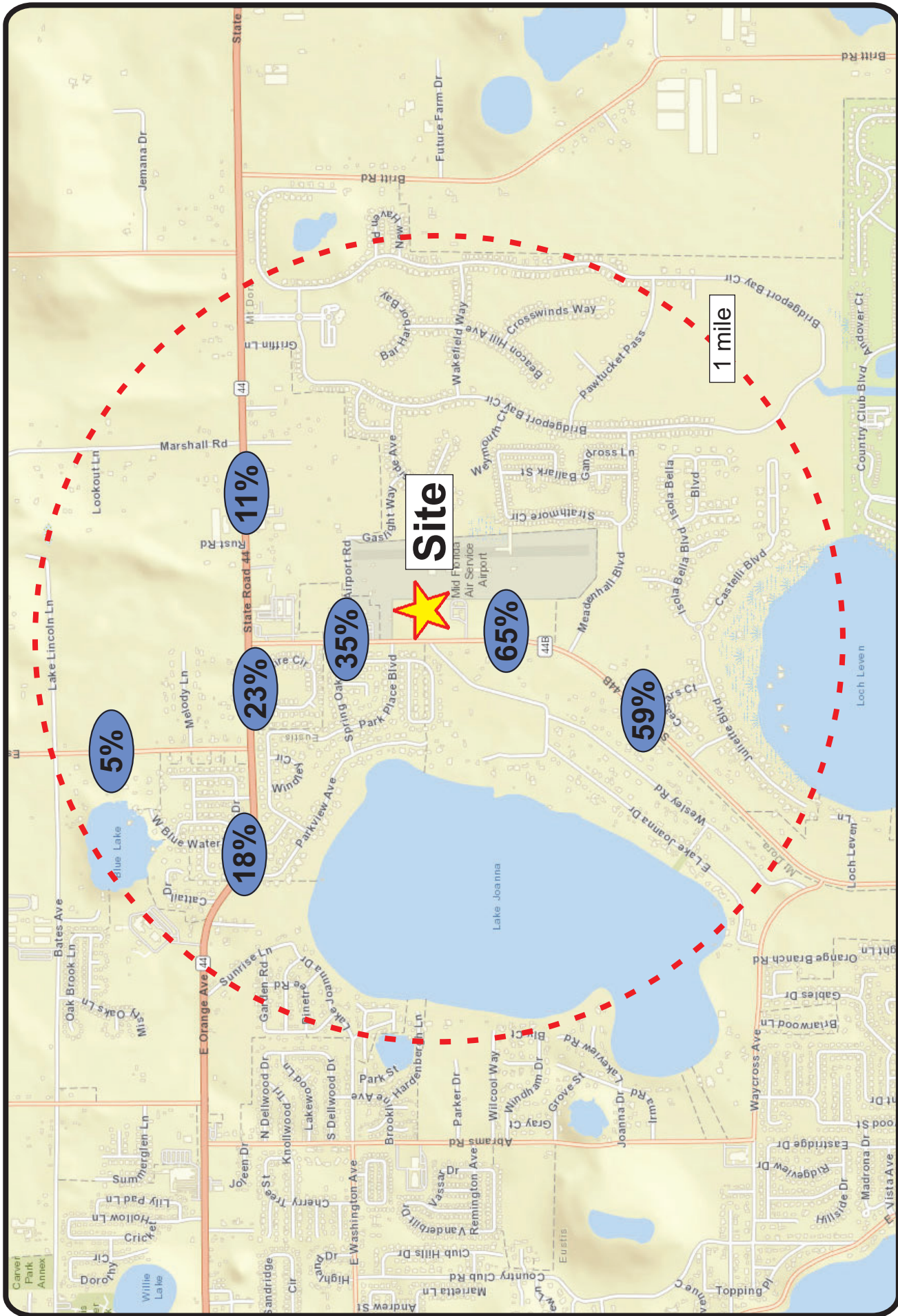
Segment ID	Roadway Segment	Lanes	LOS Standard	Capacity	Direction	Trip Distribution*	Project Trips	Significance
SR 44								
3168	Waycross Ave to Orange Ave	2U	D	920	NB	59%	24	2.61%
					SB	59%	15	1.63%
Orange Avenue (SR 44)								
3270	Abrams Rd to Thrill Hill Rd	2U	D	920	EB	23%	9	0.98%
					WB	23%	6	0.65%
Estes Road								
1850	Lake Lincoln Ln to SR 44	2U	D	840	NB	5%	1	0.12%
					SB	5%	2	0.24%

* Highest on Segment

Page: 4

Number: 1 Author: sharon.lewis Subject: Sticky Note Date: 5/15/2023 4:26:47 PM
The intersection of US 441 & SR 44 (CR 44B)

Number: 2 Author: sharon.lewis Subject: Sticky Note Date: 5/15/2023 4:25:06 PM
Waycross Ave to US 441 need to be included



Trip Distribution

Huddle - Lake County
Project No 5802
Figure 3



5. Traffic Impact Assessment

a) Roadway

- Obtain existing traffic volumes on study roadway segments from Lake County CMP Database for use in the traffic analysis.
- Determine background traffic will be determined with the use of an annual growth rate obtained from historical AADT in the vicinity of the project. A minimum 2% growth rate will be used.
- Combine project traffic with background traffic to obtain total traffic volumes.
- Perform daily and PM peak hour/peak direction roadway analyses utilizing Lake County LOS standards.

b) Intersections

- Conduct intersection counts and use seasonal factors to adjust intersection data during the A.M. and P.M. peak periods at the study intersections.
- Determine background traffic with the use of an annual growth rate obtained from historical AADT. A minimum of 2% annual growth rate will be used.
- Combine project traffic with background traffic to obtain total traffic.
- Perform intersection capacity analysis utilizing the HCS or Synchro operational analysis procedures for the A.M. and P.M. peak hours.

6. Traffic Report

Prepare traffic report summarizing study procedures, analyses, and recommendations. If you have any questions or concerns, please contact us at (407) 628-9955.

Attachment A

Single-Family Attached Housing (215)

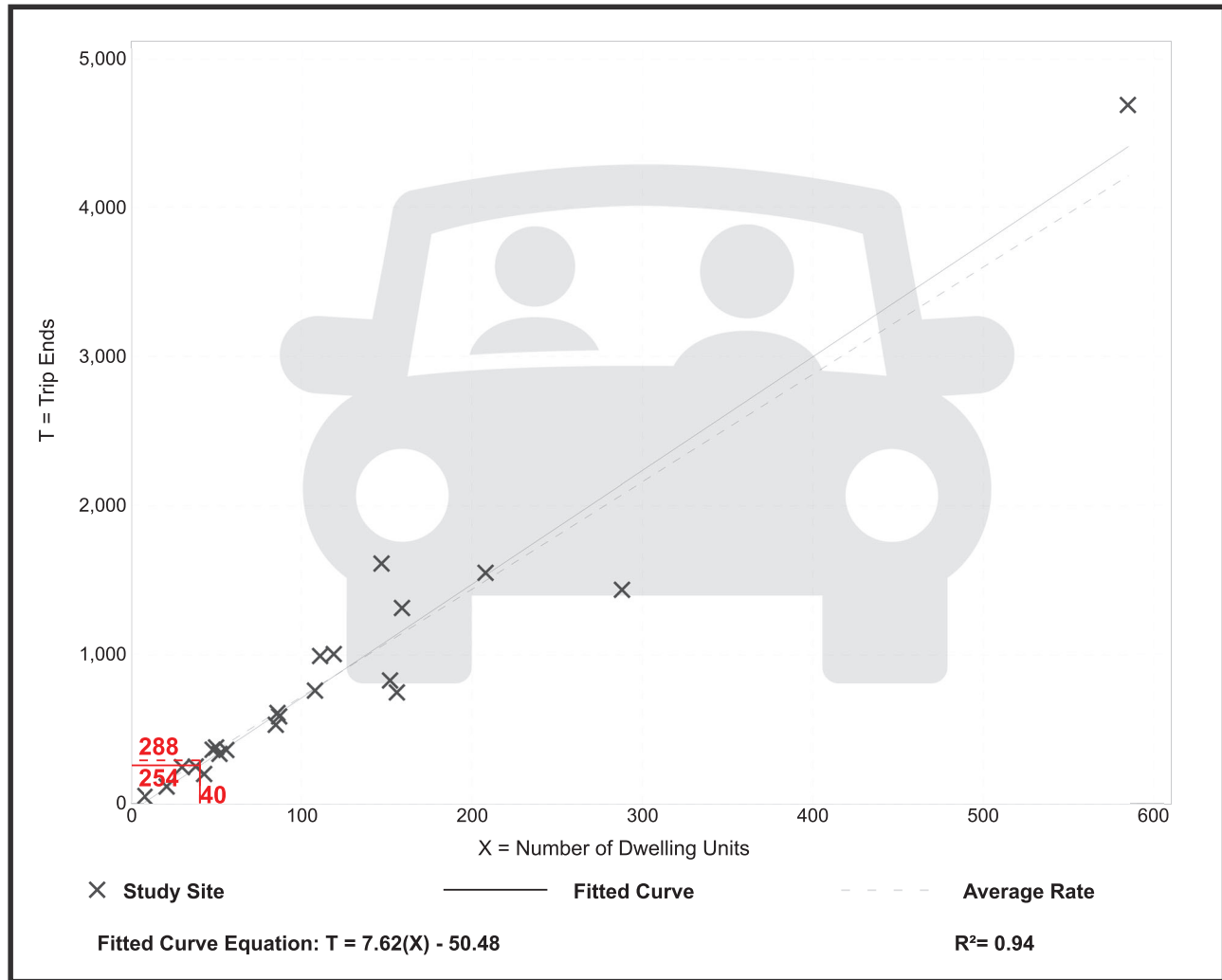
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 22
Avg. Num. of Dwelling Units: 120
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
7.20	4.70 - 10.97	1.61

Data Plot and Equation



Single-Family Attached Housing (215)

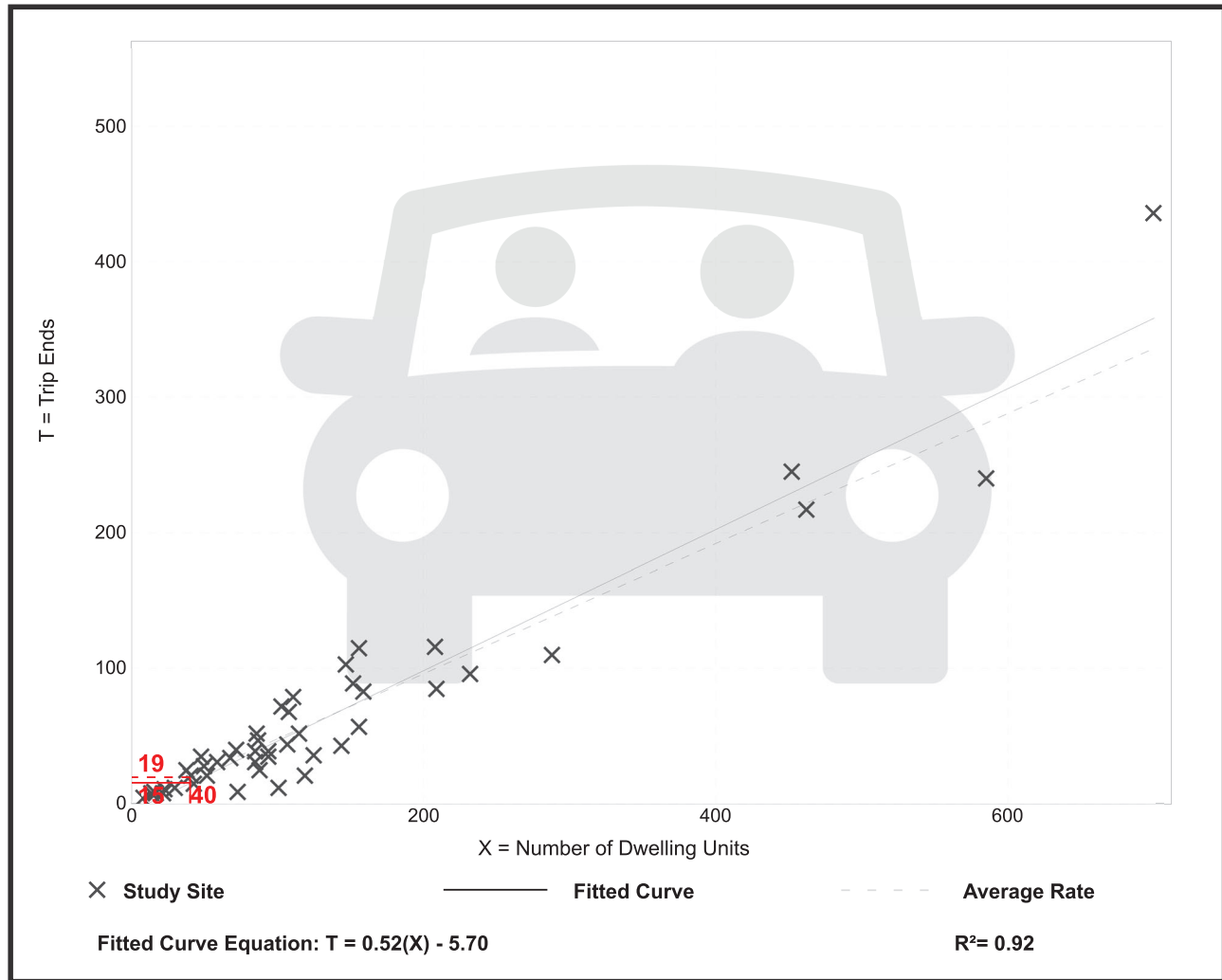
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban
 Number of Studies: 46
 Avg. Num. of Dwelling Units: 135
 Directional Distribution: 25% entering, 75% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.48	0.12 - 0.74	0.14

Data Plot and Equation



High-Turnover (Sit-Down) Restaurant (932)

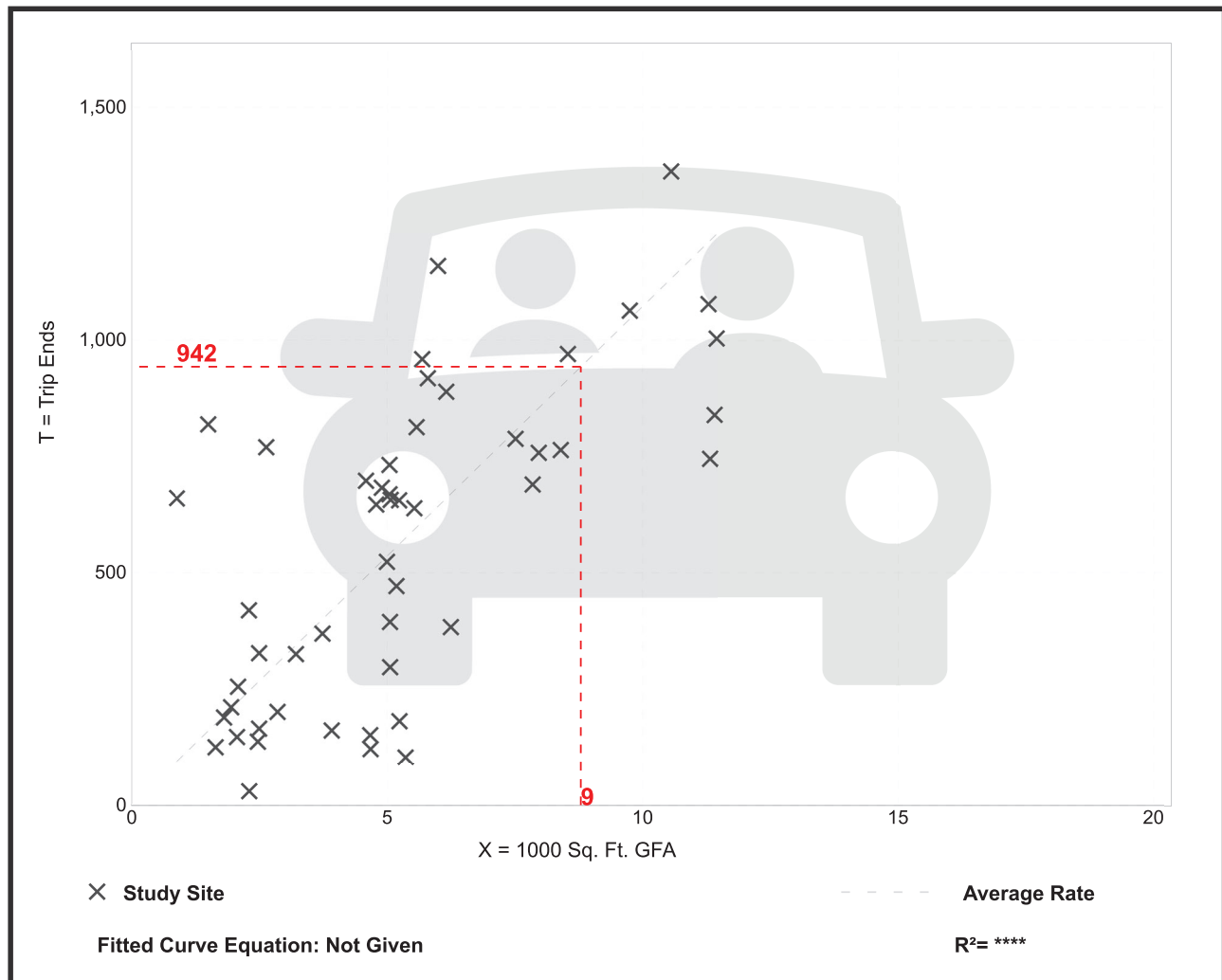
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 50
Avg. 1000 Sq. Ft. GFA: 5
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
107.20	13.04 - 742.41	66.72

Data Plot and Equation



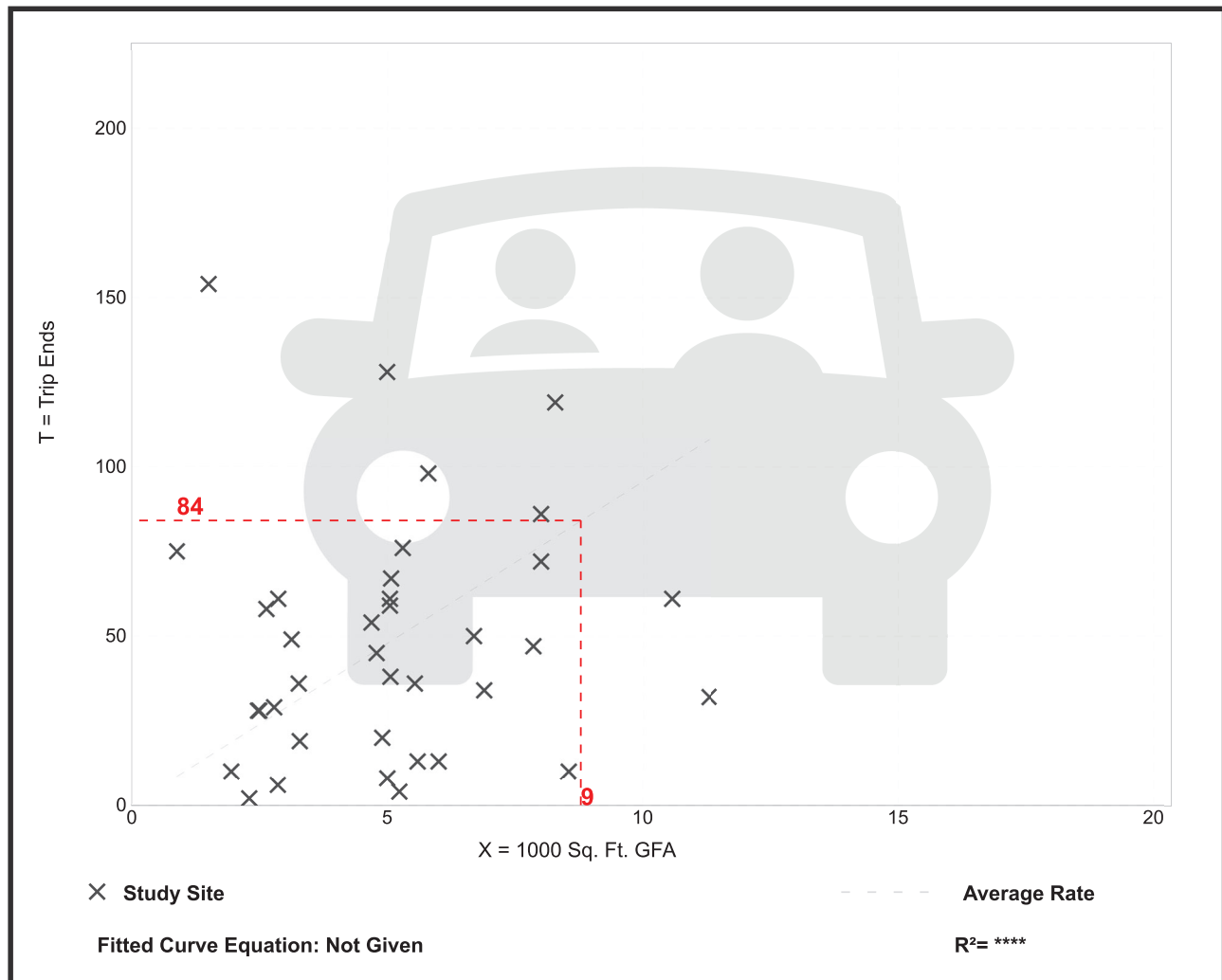
High-Turnover (Sit-Down) Restaurant (932)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 37
 Avg. 1000 Sq. Ft. GFA: 5
 Directional Distribution: 55% entering, 45% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
9.57	0.76 - 102.39	11.61

Data Plot and Equation



Single-Family Attached Housing (215)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

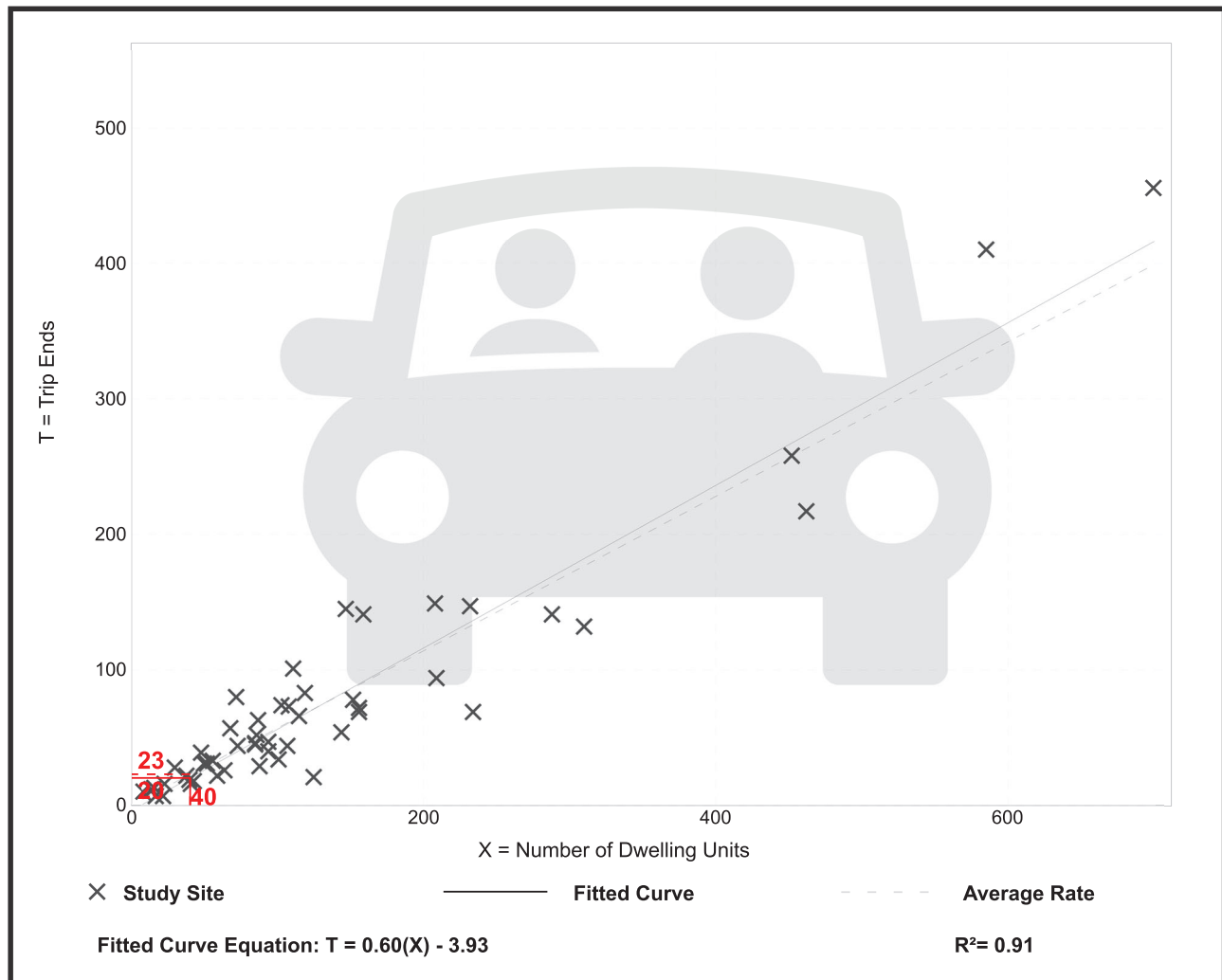
Setting/Location: General Urban/Suburban

Number of Studies: 51
 Avg. Num. of Dwelling Units: 136
 Directional Distribution: 59% entering, 41% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.57	0.17 - 1.25	0.18

Data Plot and Equation



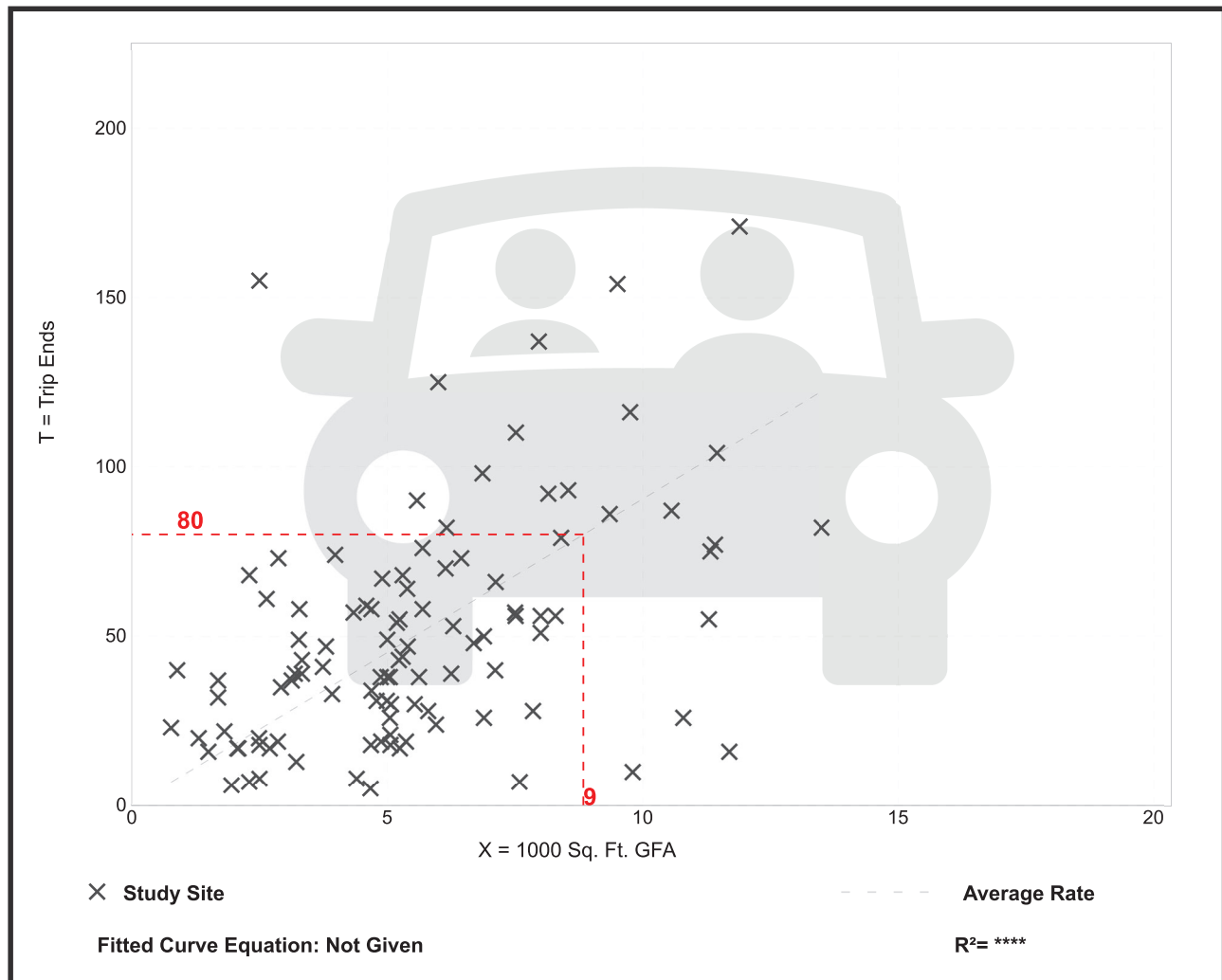
High-Turnover (Sit-Down) Restaurant (932)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 104
 Avg. 1000 Sq. Ft. GFA: 6
 Directional Distribution: 61% entering, 39% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

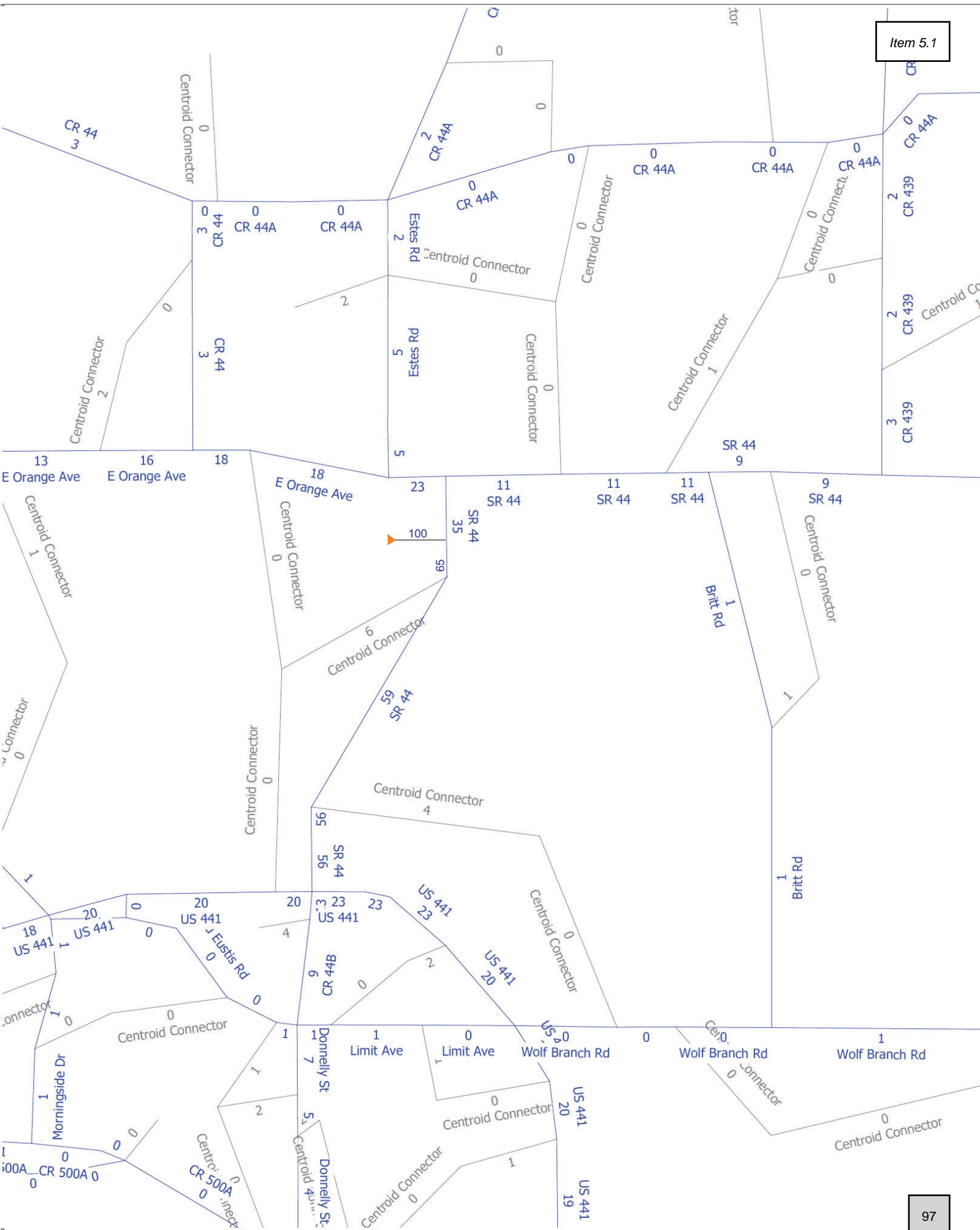
Average Rate	Range of Rates	Standard Deviation
9.05	0.92 - 62.00	6.18

Data Plot and Equation



Vehicle Pass-By Rates by Land Use									
Source: ITE Trip Generation Manual, 11th Edition									
Land Use Code	932								
Land Use	High-Turnover (Sit-Down) Restaurant								
Setting	General Urban/Suburban								
Time Period	Weekday PM Peak Period								
# Data Sites	12								
Average Pass-By Rate	43%								
Pass-By Characteristics for Individual Sites									
GFA (000)	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Non-Pass-By Trips			Adj Street Peak Hour Volume	Source
					Primary (%)	Diverted (%)	Total (%)		
2.9	Kentucky	1993	41	37	27	36	63	3935	2
3.1	Kentucky	1993	21	38	29	33	62	2580	2
4.6	Florida	1992	276	63	—	—	37	—	30
5	Florida	1992	65	58	—	—	42	—	30
5.3	Kentucky	1993	24	50	37	13	50	1615	2
5.7	Florida	1994	308	57	—	—	43	—	30
5.8	Florida	1992	150	32	—	—	68	—	30
6.2	Florida	1995	521	46	43	11	54	—	30
7.1	Indiana	1993	—	23	23	54	77	1565	2
8	Florida	1995	664	40	39	21	60	—	30
11	Florida	1996	267	38	43	19	62	—	30
12	Florida	1996	317	29	51	20	71	—	30

Attachment B



APPENDIX B

Intersection Traffic Counts/FDOT Seasonal Factors/Signal Timings

15 MINUTE TURNING MOVEMENT COUNTS
(Cars and Trucks)

DATE: May 10, 2023 (Wednesday)
LOCATION: SR 44 & E Orange Av

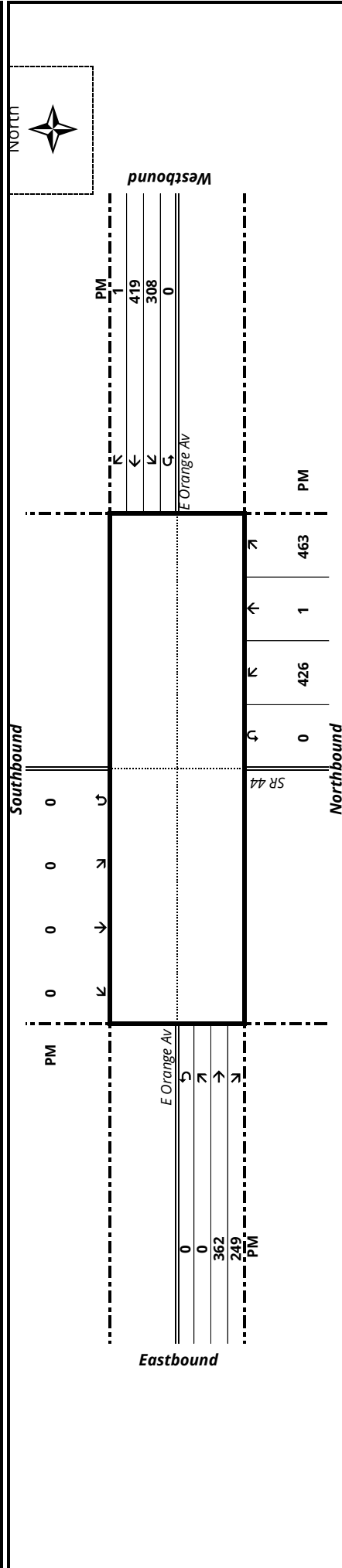
CITY: Eustis
COUNTY: Lake County

LATITUDE: 0
LONGITUDE: 0

SR 44 **E Orange Av**

TIME BEGIN	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL	
	L	T	R	L	T	R	L	T	R	L	T	R			
04:00 PM	108	0	95	0	0	0	0	81	55	0	111	0	177	313	516
04:15 PM	113	0	99	0	0	0	0	76	56	0	85	0	149	281	493
04:30 PM	105	0	69	0	0	0	0	72	71	0	109	0	205	348	522
04:45 PM	105	0	98	0	0	0	0	90	59	0	103	0	189	338	541
TOTAL	431	0	361	0	0	0	0	319	241	0	408	0	720	1,280	2,072
05:00 PM	100	0	115	0	0	0	0	96	62	0	109	0	184	342	557
05:15 PM	114	0	126	0	0	0	0	87	59	0	112	0	184	330	570
05:30 PM	107	1	124	0	0	0	0	89	69	0	95	1	171	329	561
05:45 PM	106	0	95	0	0	0	0	92	52	0	92	0	159	303	504
TOTAL	427	1	460	0	0	0	0	364	242	0	408	1	698	1,304	2,192

PM Peak	Peak Hour Factor: 0.978																		
04:45 PM to 05:45 PM	426	1	463	0	890	0	890	0	362	249	0	611	308	419	1	0	728	1,339	2,229



15 MINUTE TURNING MOVEMENT COUNTS
(Trucks Only)

DATE: May 10, 2023 (Wednesday)
LOCATION: SR 44 & E Orange Av

CITY: Eustis
COUNTY: Lake County

LATITUDE: 0
LONGITUDE: 0

SR 44

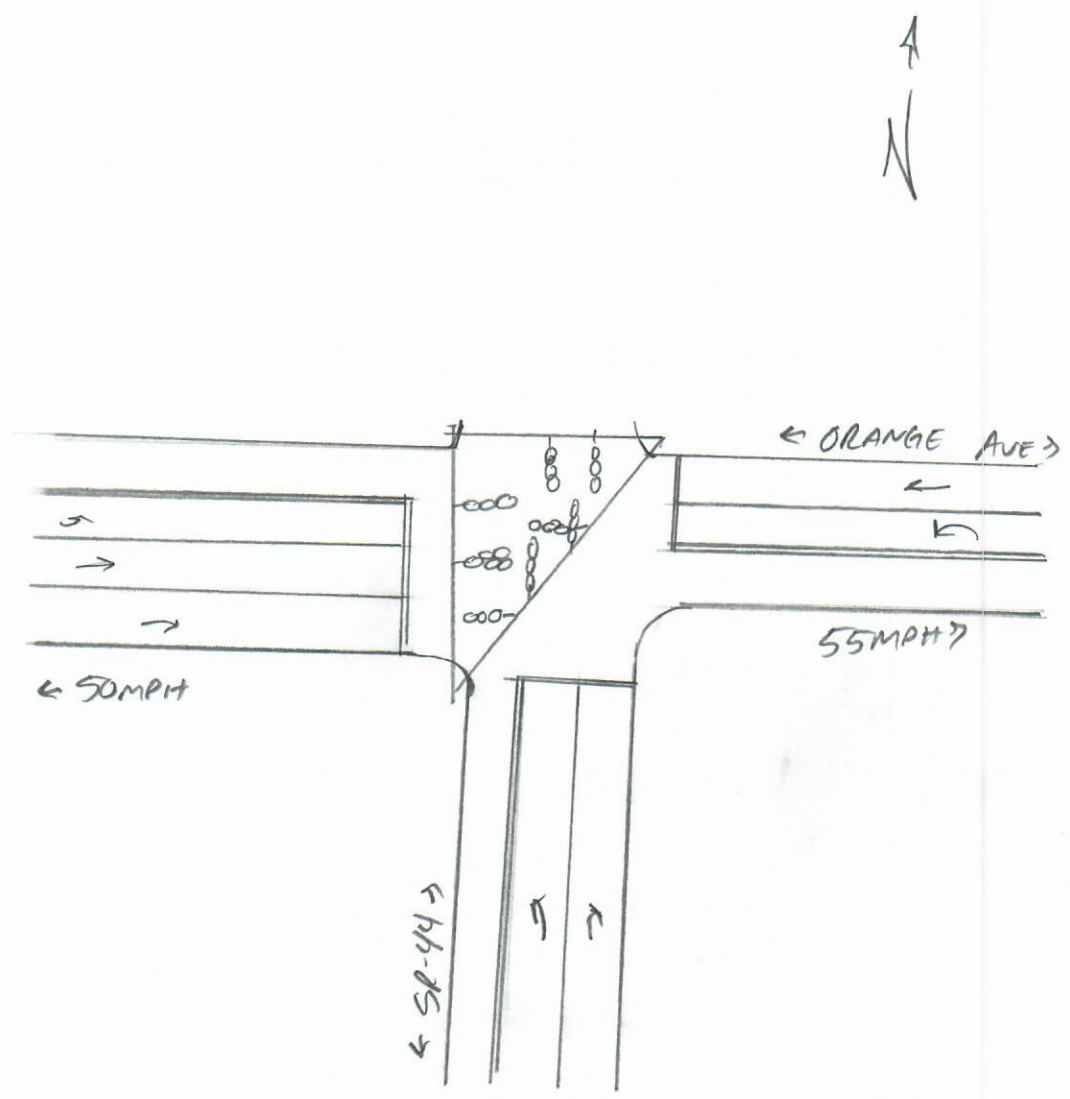
E Orange Av

E Orange Av

TIME BEGIN	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL			
	L	T	R	L	T	R	L	T	R	L	T	R					
04:00 PM	2	0	0	0	0	0	0	0	0	0	0	0	0	3	0	3	5
04:15 PM	2	0	1	0	0	0	0	2	1	0	0	0	0	5	0	5	11
04:30 PM	1	0	1	0	0	0	0	0	1	0	0	0	0	3	0	3	6
04:45 PM	0	0	0	0	0	0	0	1	1	0	0	0	0	2	0	2	4
TOTAL	5	0	2	0	0	0	0	3	3	0	0	0	0	13	0	13	19
05:00 PM	1	0	1	0	0	0	0	1	1	0	0	0	1	1	0	2	4
05:15 PM	1	0	2	0	0	0	0	1	1	0	0	0	1	1	0	2	4
05:30 PM	2	0	2	0	0	0	0	1	0	0	0	0	0	2	0	2	3
05:45 PM	2	0	2	0	0	0	0	1	0	0	0	0	0	1	0	1	2
TOTAL	6	0	7	0	0	0	0	4	2	0	0	0	2	5	0	7	13

PM Peak
04:45 PM to 05:45 PM

4	0	5	0	9	0	0	0	0	0	0	0	3	0	7	2	6	0	8	15	24
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15 MINUTE TURNING MOVEMENT COUNTS

(Cars and Trucks)

DATE: May 10, 2023 (Wednesday)

CITY: Eustis

LATITUDE: 0

LOCATION: SR 44 & E Lake Johanna Dr

COUNTY: Lake County

LONGITUDE: 0

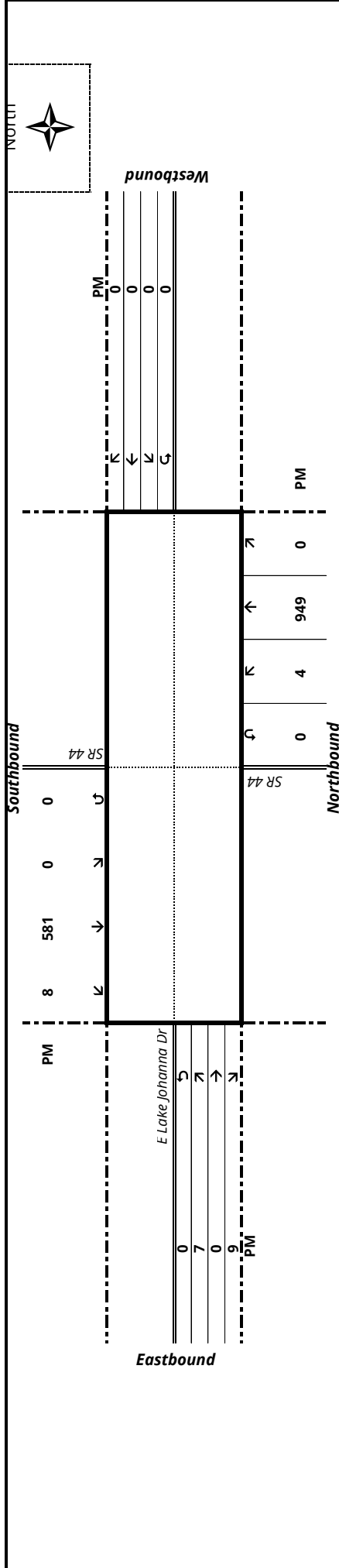
SR 44

SR 44

E Lake Johanna Dr

TIME BEGIN	NORTHBOUND			SOUTHBOUND			N/S TOTAL			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL						
	L	T	R	L	T	R	L	T	R	L	T	R	L	T	R								
04:00 PM	4	293	0	0	297	0	147	4	0	151	448	1	0	0	0	0	0	0	5	0	0	5	453
04:15 PM	0	223	0	0	223	0	131	2	0	133	356	1	0	0	0	3	0	0	4	0	0	4	360
04:30 PM	0	207	0	0	207	0	159	2	0	161	368	2	0	0	0	2	0	0	4	0	0	4	372
04:45 PM	0	226	0	0	226	0	144	0	0	144	370	3	0	0	0	0	0	0	3	0	0	3	373
TOTAL	4	949	0	0	953	0	581	8	0	589	1,542	7	0	0	0	9	0	0	16	0	0	16	1,558
05:00 PM	0	226	0	0	226	0	122	0	0	122	348	3	0	0	0	0	0	0	3	0	0	3	351
05:15 PM	1	257	0	0	258	0	156	3	0	159	417	1	0	1	0	1	0	0	2	0	0	2	419
05:30 PM	1	252	0	0	253	0	157	0	0	157	410	1	0	1	0	1	0	0	2	0	0	2	412
05:45 PM	0	201	0	0	201	0	123	3	0	126	327	3	0	0	0	0	0	0	3	0	0	3	330
TOTAL	2	936	0	0	938	0	558	6	0	564	1,502	8	0	2	0	10	0	0	10	0	0	10	1,512

PM Peak	Peak Hour Factor: 0.860																					
04:00 PM to 05:00 PM	4	949	0	0	953	0	581	8	0	589	1,542	7	0	9	0	16	0	0	0	0	16	1,558



15 MINUTE TURNING MOVEMENT COUNTS

(Trucks Only)

DATE: May 10, 2023 (Wednesday)

CITY: Eustis

LATITUDE: 0

LOCATION: SR 44 & E Lake Johanna Dr

COUNTY: Lake County

LONGITUDE: 0

SR 44

SR 44

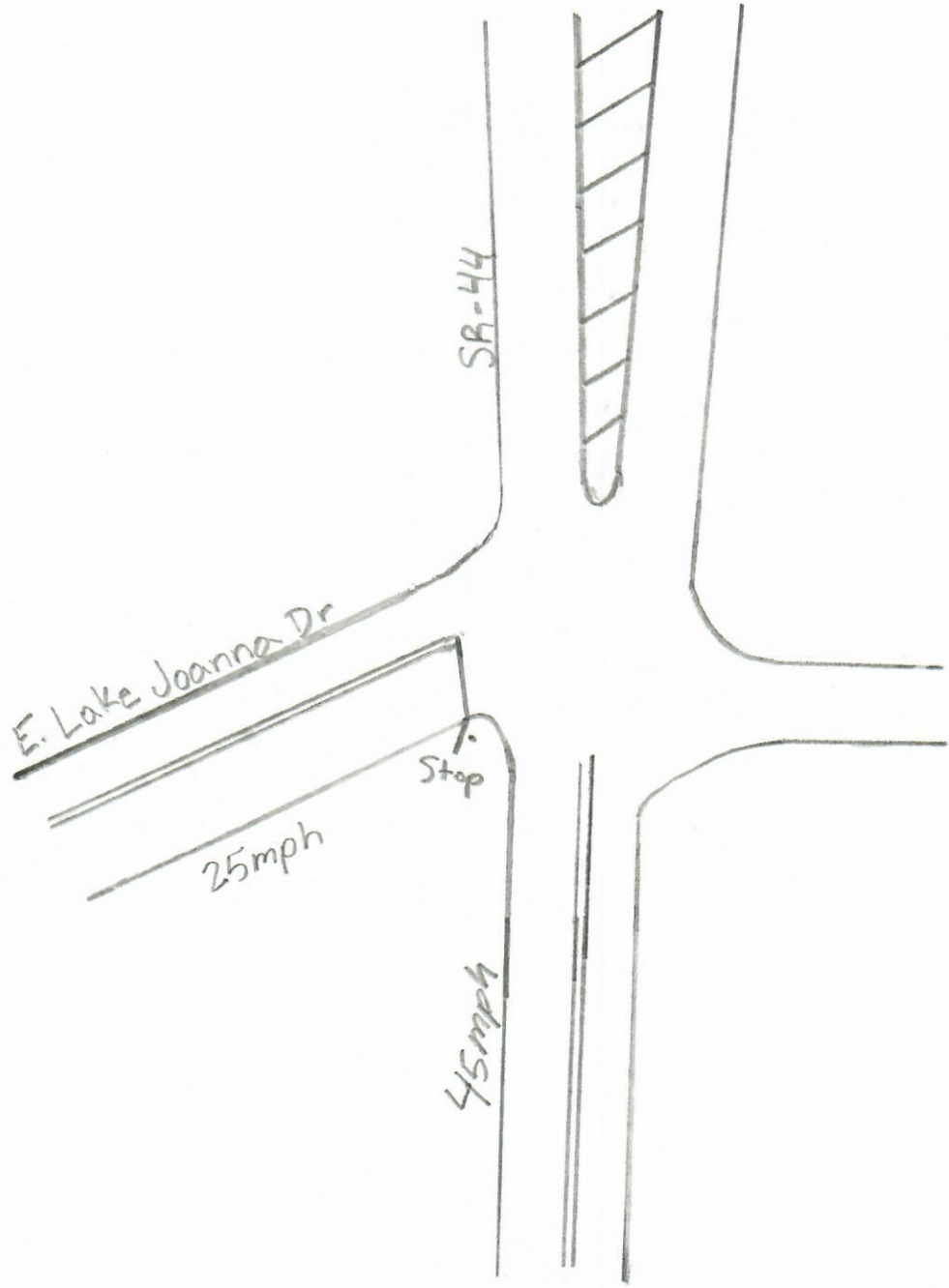
E Lake Johanna Dr

TIME BEGIN	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL	
	L	T	R	L	T	R	L	T	R	L	T	R			
04:00 PM	0	4	0	0	0	0	0	0	0	0	0	0	0	0	7
04:15 PM	0	3	0	0	0	0	0	0	0	0	0	0	0	0	5
04:30 PM	0	1	0	0	0	0	0	0	0	0	0	0	0	0	2
04:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
TOTAL	0	8	0	0	0	0	0	0	0	0	0	0	0	0	15
05:00 PM	0	1	0	0	0	0	0	0	0	0	0	0	0	0	2
05:15 PM	0	3	0	0	0	0	0	0	0	0	0	0	0	0	6
05:30 PM	0	4	0	0	0	0	0	0	0	0	0	0	0	0	4
05:45 PM	0	3	0	0	0	0	0	0	0	0	0	0	0	0	3
TOTAL	0	11	0	0	0	0	0	0	0	0	0	0	0	0	15

PM Peak

04:00 PM to 05:00 PM

0	8	0	0	0	8	0	0	0	0	0	0	0	0	0	15
---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	----



15 MINUTE TURNING MOVEMENT COUNTS

(Cars and Trucks)

DATE: May 16, 2023 (Tuesday)

CITY: Mt Dora

LATITUDE: 0

LOCATION: Donnelly St/SR 44 & US 441

COUNTY: Lake County

LONGITUDE: 0

Donnelly St

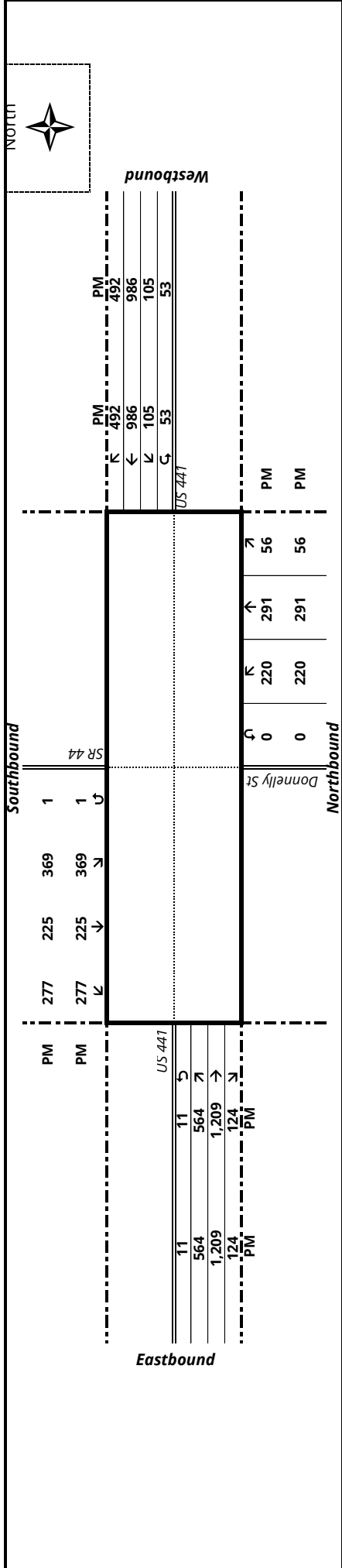
SR 44

US 441

US 441

TIME BEGIN	NORTHBOUND			SOUTHBOUND			N/S TOTAL			EASTBOUND			WESTBOUND			E/W TOTAL		GRAND TOTAL				
	L	T	R	L	T	R	L	T	R	L	T	R	L	T	R	U-turn	TOTAL					
04:00 PM	70	91	16	1	178	62	66	0	205	383	119	248	49	4	420	21	247	115	27	410	830	1,213
04:15 PM	71	88	17	0	176	45	65	0	190	366	151	311	42	7	511	30	278	119	18	445	956	1,322
04:30 PM	39	83	10	0	132	75	71	0	202	334	139	271	28	0	438	20	231	102	21	374	812	1,146
04:45 PM	53	78	15	0	146	105	88	1	259	405	155	320	23	0	498	27	216	101	9	353	851	1,256
TOTAL	233	340	58	1	632	337	228	1	856	1,488	564	1,150	142	11	1,867	98	972	437	75	1,582	3,449	4,937
05:00 PM	49	67	14	0	130	81	49	0	187	317	114	284	44	2	444	26	263	141	14	444	888	1,205
05:15 PM	54	78	16	0	148	90	58	0	211	359	162	349	27	8	546	33	252	114	19	418	964	1,323
05:30 PM	64	68	11	0	143	93	53	0	215	358	133	256	30	1	420	19	255	136	11	421	841	1,199
05:45 PM	47	62	9	2	120	88	54	1	196	316	119	252	58	12	441	40	277	98	17	432	873	1,189
TOTAL	214	275	50	2	541	352	214	1	809	1,350	528	1,141	159	23	1,851	118	1,047	489	61	1,715	3,566	4,916

PM Peak																Peak Hour Factor: 0.942							
04:45 PM to 05:45 PM	220	291	56	0	567	369	225	277	1	872	1,439	564	1,209	124	11	1,908	105	986	492	53	1,636	3,544	4,983



15 MINUTE TURNING MOVEMENT COUNTS

(Trucks Only)

DATE: May 16, 2023 (Tuesday)

CITY: Mt Dora

LATITUDE: 0

LOCATION: Donnelly St/SR 44 & US 441

COUNTY: Lake County

LONGITUDE: 0

Donnelly St

SR 44

US 441

US 441

TIME BEGIN	NORTHBOUND			TOTAL	SOUTHBOUND			TOTAL	N/S TOTAL	EASTBOUND			TOTAL	WESTBOUND			TOTAL	E/W TOTAL	GRAND TOTAL		
	L	T	R		L	T	R			L	T	R		L	T	R				L	T
04:00 PM	0	0	0	0	2	0	1	0	3	3	1	4	0	0	0	3	1	0	4	9	12
04:15 PM	0	0	0	0	1	0	0	0	1	1	0	6	0	0	0	4	1	0	5	11	12
04:30 PM	0	0	0	0	0	0	1	0	1	1	0	3	0	0	0	2	1	0	3	6	7
04:45 PM	0	0	0	0	2	0	1	0	3	3	1	7	0	0	0	3	1	0	4	12	15
TOTAL	0	0	0	0	5	0	3	0	8	8	2	20	0	0	0	12	4	0	16	38	46
05:00 PM	0	0	0	0	1	0	0	0	1	1	1	6	0	0	0	3	4	0	7	14	15
05:15 PM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	2	1	0	4	5	5
05:30 PM	0	1	0	0	2	0	1	0	3	4	0	0	0	0	0	1	2	0	3	3	7
05:45 PM	0	0	0	0	0	1	0	0	1	1	0	2	0	0	0	1	0	0	1	3	4
TOTAL	0	1	0	0	3	1	1	0	5	6	1	9	0	0	2	6	7	0	15	25	31

PM Peak

04:45 PM to 05:45 PM

0	1	0	0	1	5	0	2	0	7	8	2	14	0	0	2	8	0	18	34	42
---	---	---	---	---	---	---	---	---	---	---	---	----	---	---	---	---	---	----	----	----

15 MINUTE TURNING MOVEMENT COUNTS

(BANK 2 Only)

DATE: May 16, 2023 (Tuesday)

CITY: Mt Dora

LATITUDE: 0

LOCATION: Donnelly St/SR 44 & US 441

COUNTY: Lake County

LONGITUDE: 0

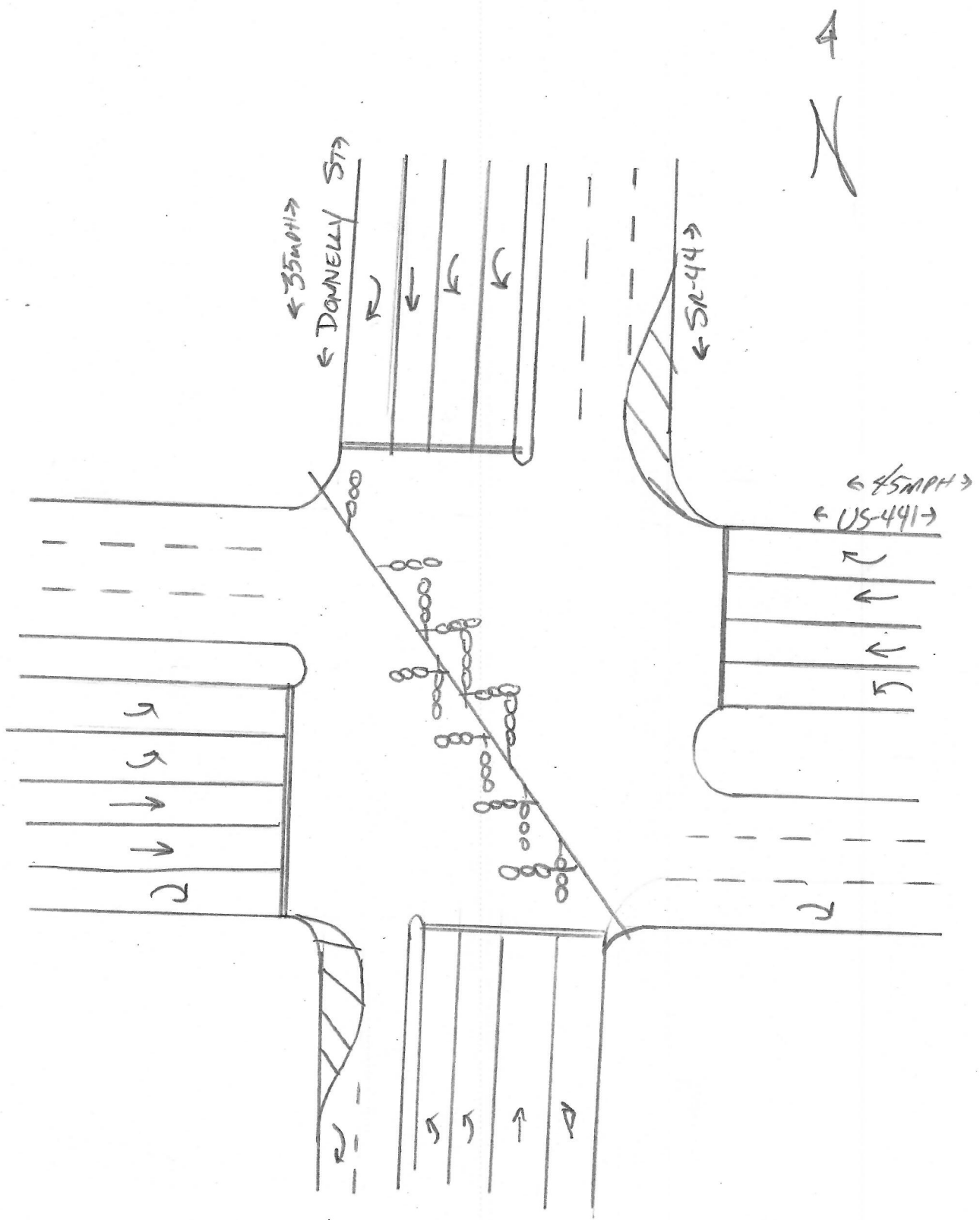
Donnelly St

SR 44

US 441

US 441

TIME BEGIN	NORTHBOUND			SOUTHBOUND			N/S TOTAL			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL
	L	T	R	L	T	R	L	T	R	L	T	R	L	T	R		
04:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0



15 MINUTE TURNING MOVEMENT COUNTS

(Cars and Trucks)

DATE: May 10, 2023 (Wednesday)

CITY: Eustis

LATITUDE: 0

LOCATION: Estes Rd & E Orange Av

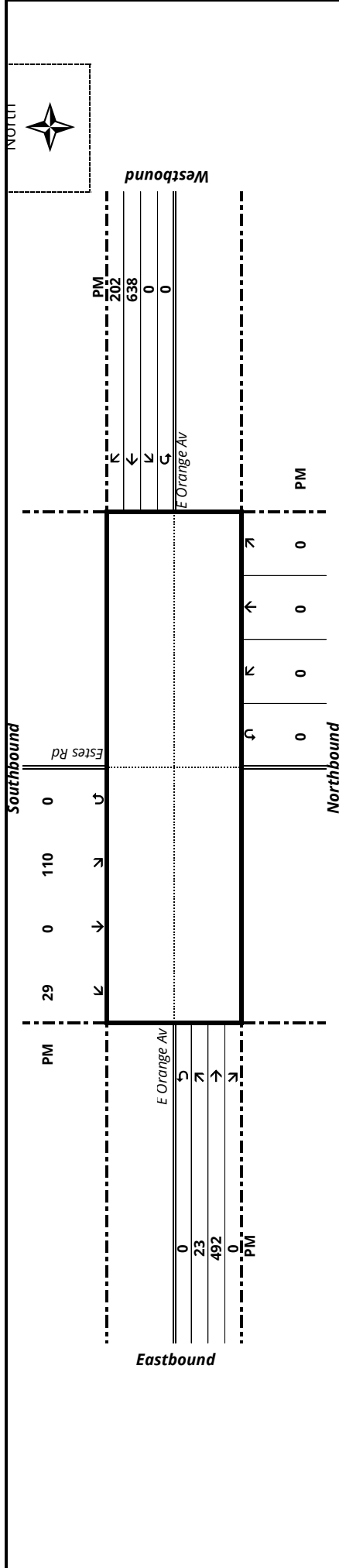
COUNTY: Lake County

LONGITUDE: 0

Estes Rd E Orange Av E Orange Av

TIME BEGIN	NORTHBOUND			SOUTHBOUND			N/S TOTAL			EASTBOUND			WESTBOUND			E/W TOTAL		GRAND TOTAL				
	L	T	R	L	T	R	L	T	R	L	T	R	L	T	R	L	T		U-turn	TOTAL		
04:00 PM	0	0	0	0	0	0	21	0	5	0	26	2	112	0	0	0	156	38	0	194	308	334
04:15 PM	0	0	0	0	0	0	31	0	8	0	39	5	101	0	0	0	152	53	0	205	311	350
04:30 PM	0	0	0	0	0	0	30	0	6	0	36	8	110	0	0	0	164	53	0	217	335	371
04:45 PM	0	0	0	0	0	0	25	0	5	0	30	4	121	0	0	0	159	43	0	202	327	357
TOTAL	0	0	0	0	0	0	107	0	24	0	131	19	444	0	0	0	631	187	0	818	1,281	1,412
05:00 PM	0	0	0	0	0	0	28	0	9	0	37	4	127	0	0	0	159	57	0	216	347	384
05:15 PM	0	0	0	0	0	0	26	0	8	0	34	9	116	0	0	0	167	51	0	218	343	377
05:30 PM	0	0	0	0	0	0	31	0	7	0	38	6	128	0	0	0	153	51	0	204	338	376
05:45 PM	0	0	0	0	0	0	27	0	6	0	33	7	111	0	0	0	149	51	0	200	318	351
TOTAL	0	0	0	0	0	0	112	0	30	0	142	26	482	0	0	0	628	210	0	838	1,346	1,488

PM Peak	Peak Hour Factor: 0.973																					
04:45 PM to 05:45 PM	0	0	0	0	0	0	110	0	0	0	139	23	492	0	0	0	638	202	0	840	1,355	1,494



15 MINUTE TURNING MOVEMENT COUNTS

(Trucks Only)

DATE: May 10, 2023 (Wednesday)

CITY: Eustis

LATITUDE: 0

LOCATION: Estes Rd & E Orange Av

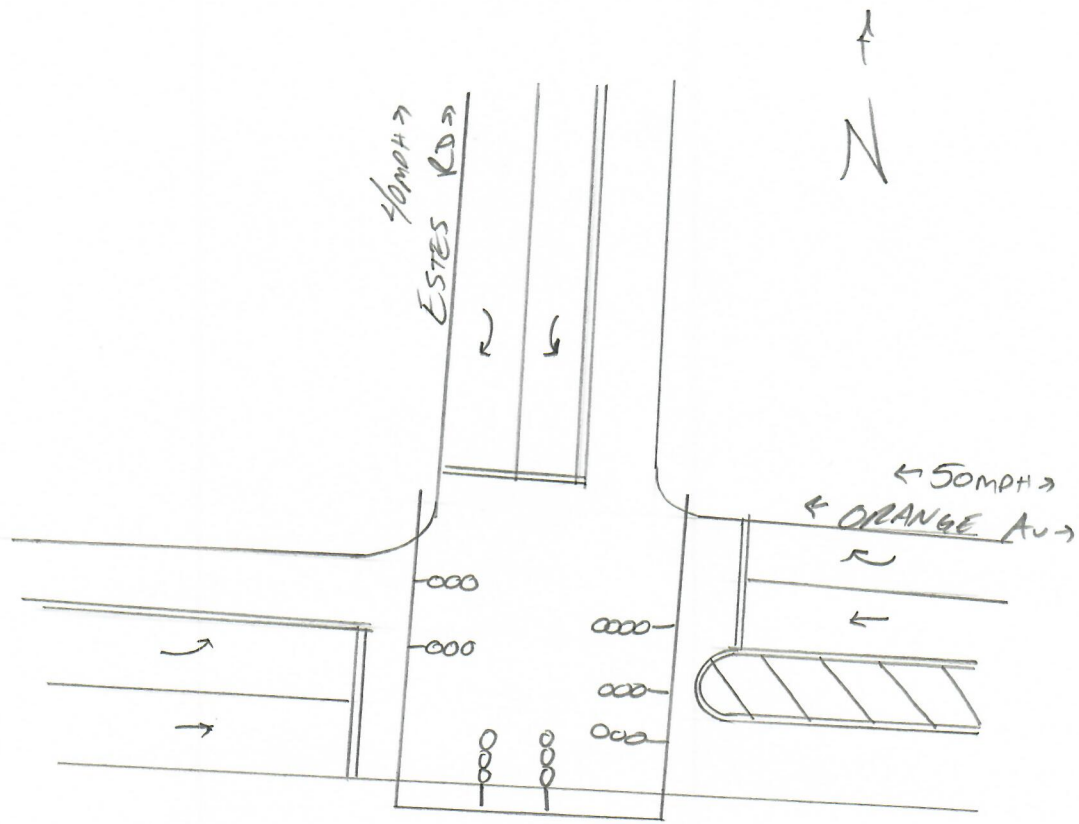
COUNTY: Lake County

LONGITUDE: 0

Estes Rd E Orange Av E Orange Av

TIME BEGIN	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL
	L	T	R	L	T	R	L	T	R	L	T	R		
04:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	8
04:15 PM	0	0	0	0	0	0	0	4	0	0	0	0	0	11
04:30 PM	0	0	0	0	0	0	0	1	0	0	0	0	0	6
04:45 PM	0	0	0	1	0	0	1	0	0	0	0	0	0	4
TOTAL	0	0	0	1	0	0	1	6	0	0	0	0	0	28
05:00 PM	0	0	0	1	0	0	1	0	0	0	0	0	0	4
05:15 PM	0	0	0	0	0	0	0	2	0	0	0	0	0	5
05:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	3
05:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	4
TOTAL	0	0	0	1	0	0	1	3	0	0	0	0	0	15

TIME BEGIN	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			E/W TOTAL	GRAND TOTAL
	L	T	R	L	T	R	L	T	R	L	T	R		
04:45 PM to 05:45 PM	0	0	0	2	0	0	0	4	0	0	0	0	0	14
TOTAL	0	0	0	2	0	0	0	4	0	0	0	0	0	16



CARTEGRAPH ID: LC-S-047 **DATE: 05/09/2022**
INTERSECTION NAME AND ID: East Orange Ave & SR 44 091

PHASE	1	2	3	4	5	6	7	8
		WB		NB	WBL	EB		SB
INITIAL		15		8	5	15		8
PASSAGE		3		3	3	3		3
YELLOW		5.5		4.8	5.5	5.5		4.8
RED CLEAR		2.0		2.0	2.2	2.0		2.0
MAX 1		50		30	40	50		12
MAX 2								
WALK								
DON'T WALK								
RECALL		Min				Min		min
DET. FUNC.		L				L		

SYSTEM TIMING

PATTERN	CYCLE	OFFSET	COORDINATED		BASE DAY 1		BASE DAY 2	
	Sec	%	Phase	Sequence	Mon.-Fri.		Sat.-Sun.	
1	100	9	2	1	0:00	FREE	0:00	FREE
2	110	3	2	1	6:30	C1O1S1		
3	120	3	2	1	9:00	FREE		
					16:00	C2O2S2		
					17:00	C3O3S3		
					18:00	C2O2S2		
					19:00	FREE		

SPLIT ALLOCATION - %

PHASE	1	2	3	4	5	6	7	8
1		70		30	30	40		30
2		60		50	25	35		50
3		70		50	28	42		50

NOTES: NAZTEC

LAKE COUNTY - TRAFFIC SIGNAL OPERATIONS

CARTEGRAPH ID: MD-S-243 **DATE: 3/17/2022**
INTERSECTION NAME AND ID#: US 441 & Donnelly St **# 25**

PHASE	1	2	3	4	5	6	7	8
	SBL	NB	WBL	EB	NBL	SB	EBL	WB
INITIAL	5	17	5	8	5	17	5	8
PASSAGE	3	3	3	3	3	3	3	3
YELLOW	5.1	5.2	4.9	4.9	5.2	5.2	4.2	4.9
RED CLEAR	4.1	2.0	3.2	2.6	3.5	2.0	3.6	3.2
MAX 1	25	50	25	35	25	50	25	35
MAX 2								
WALK		7		7		7		7
DON'T WALK		34		37		31		36
RECALL		Min				Min		
DET. FUNC.		L				L		

SYSTEM TIMING

PATTERN	CYCLE	OFFSET	COORDINATED		BASE DAY 1		BASE DAY 2	
	Sec.	Sec.	Phase	Sequence	Mon.- Fri.		Saturday	
1(AM)	160	156	2	9	00:00	FREE	00:00	FREE
2(MIDDAY)	140	12	2	9	5:30	C1O1S1	8:00	C7O7S7
3(PM)	160	62	2	1	7:20	C5O5S5	10:30	C9O9S9
5(AM PK)	160	156	2	9	7:40	C15O15S15	15:30	C7O7S7
7(WKN)	150	107	2	9	7:55	C5O5S5	19:00	FREE
8(PM Pk)	160	61	2	1	8:15	C1O1S1	BASE DAY 3	
9(WKN PK)	160	90	2	9	9:00	C2O2S2	Sunday	
13	160	62	2	1	14:30	C3O3S3	00:00	FREE
15(AM PK)	160	156	2	9	15:15	C13O13S13	09:00	C7O7S7
					16:25	C3O3S3	19:00	FREE
					16:45	C8O8S8		
					18:00	C2O2S2		
					20:00	FREE		

SPLIT ALLOCATION - Sec.

PHASE	1	2	3	4	5	6	7	8
1(AM)	28	69	43	20	23	74	21	42
2(MIDDAY)	34	55	26	25	34	55	23	28
3(PM)	45	60	27	28	32	73	25	30
5(AM PK)	28	71	41	20	23	76	20	41
7(WKN)	36	61	28	25	30	67	20	33
8(PM Pk)	43	63	29	25	32	74	25	29
9(WKN PK)	38	65	30	27	32	71	22	35
13	38	67	27	28	32	73	25	30
15(AM PK)	28	61	41	20	23	66	20	51

NOTES:
 1. Offset referenced to end of main street green
 2. Use Fixed Force-offs
 3. Use Max inhibit during coordination
 4. Max Recall on phases 2 & 6
 5. Min Recall on phase 3 for patterns 1, 2, 5, 7, 9 & 15

CARTEGRAPH ID: LC-S-496 **DATE: 05/09/2022**
INTERSECTION NAME AND ID: East Orange Ave & Estes Rd 496

PHASE	1	2	3	4	5	6	7	8
	EBL	WB				EB		SB
INITIAL	5	15				15		8
PASSAGE	3	3				3		4
YELLOW	4.8	4.8				4.8		3.3
RED CLEAR	2	2.2				2		3.2
MAX 1	15	50				50		20
MAX 2								
WALK								
DON'T WALK								
RECALL		Min				Min		
DET. FUNC.		L				L		

SYSTEM TIMING

PATTERN	CYCLE	OFFSET	COORDINATED		BASE DAY 1		BASE DAY 2	
	Sec	Sec	Phase	Sequence	Mon.-Fri.		Sat.-Sun.	
1	100	9	2	3	0:00	FREE	00:00	FREE
2	110	9	2	3	6:30	C1O1S1		
3	120	9	3	3	9:00	FREE		
					16:00	C2O2S2		
					17:00	C3O3S3		
					18:00	C2O2S2		
					19:00	FREE		

SPLIT ALLOCATION - %

PHASE	1	2	3	4	5	6	7	8
1	15	60		25		75		25
2	20	60		30		80		30
3	20	65		35		85		35

NOTES: NAZTEC

2022 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 1100 LAKE COUNTYWIDE

Item 5.1

WEEK	DATES	SF	MOCF: 0.95 PSCF
1	01/01/2022 - 01/01/2022	0.99	1.04
2	01/02/2022 - 01/08/2022	1.01	1.06
3	01/09/2022 - 01/15/2022	1.03	1.08
4	01/16/2022 - 01/22/2022	1.02	1.07
5	01/23/2022 - 01/29/2022	1.00	1.05
* 6	01/30/2022 - 02/05/2022	0.98	1.03
* 7	02/06/2022 - 02/12/2022	0.97	1.02
* 8	02/13/2022 - 02/19/2022	0.95	1.00
* 9	02/20/2022 - 02/26/2022	0.95	1.00
*10	02/27/2022 - 03/05/2022	0.94	0.99
*11	03/06/2022 - 03/12/2022	0.94	0.99
*12	03/13/2022 - 03/19/2022	0.93	0.98
*13	03/20/2022 - 03/26/2022	0.94	0.99
*14	03/27/2022 - 04/02/2022	0.95	1.00
*15	04/03/2022 - 04/09/2022	0.95	1.00
*16	04/10/2022 - 04/16/2022	0.96	1.01
*17	04/17/2022 - 04/23/2022	0.97	1.02
*18	04/24/2022 - 04/30/2022	0.98	1.03
19	05/01/2022 - 05/07/2022	0.99	1.04
20	05/08/2022 - 05/14/2022	0.99	1.04
21	05/15/2022 - 05/21/2022	1.00	1.05
22	05/22/2022 - 05/28/2022	1.01	1.06
23	05/29/2022 - 06/04/2022	1.02	1.07
24	06/05/2022 - 06/11/2022	1.03	1.08
25	06/12/2022 - 06/18/2022	1.04	1.09
26	06/19/2022 - 06/25/2022	1.05	1.11
27	06/26/2022 - 07/02/2022	1.05	1.11
28	07/03/2022 - 07/09/2022	1.06	1.12
29	07/10/2022 - 07/16/2022	1.06	1.12
30	07/17/2022 - 07/23/2022	1.06	1.12
31	07/24/2022 - 07/30/2022	1.05	1.11
32	07/31/2022 - 08/06/2022	1.05	1.11
33	08/07/2022 - 08/13/2022	1.04	1.09
34	08/14/2022 - 08/20/2022	1.04	1.09
35	08/21/2022 - 08/27/2022	1.05	1.11
36	08/28/2022 - 09/03/2022	1.06	1.12
37	09/04/2022 - 09/10/2022	1.07	1.13
38	09/11/2022 - 09/17/2022	1.08	1.14
39	09/18/2022 - 09/24/2022	1.05	1.11
40	09/25/2022 - 10/01/2022	1.02	1.07
41	10/02/2022 - 10/08/2022	1.00	1.05
42	10/09/2022 - 10/15/2022	0.97	1.02
43	10/16/2022 - 10/22/2022	0.98	1.03
44	10/23/2022 - 10/29/2022	0.99	1.04
45	10/30/2022 - 11/05/2022	0.99	1.04
46	11/06/2022 - 11/12/2022	1.00	1.05
47	11/13/2022 - 11/19/2022	1.01	1.06
48	11/20/2022 - 11/26/2022	1.00	1.05
49	11/27/2022 - 12/03/2022	1.00	1.05
50	12/04/2022 - 12/10/2022	0.99	1.04
51	12/11/2022 - 12/17/2022	0.99	1.04
52	12/18/2022 - 12/24/2022	1.01	1.06
53	12/25/2022 - 12/31/2022	1.03	1.08

* PEAK SEASON

23-FEB-2023 09:11:22

830UPD

5_1100_PKSEASON.TXT

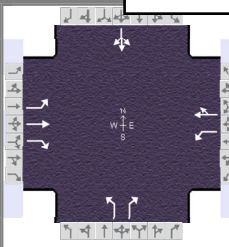
APPENDIX C

Existing HCS Capacity Analysis Sheets

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Existing PM	PHF	0.98		
Urban Street	Orange Ave	Analysis Year	2023	Analysis Period	1 > 17:00		
Intersection	SR 44	File Name	Orange Ave & SR 44 - Existing PM.xus				
Project Description	5802						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	0	362	249	308	419	1	426		463	0	0	0

Signal Information				Phase Diagrams									
Cycle, s	83.8	Reference Phase	2										
Offset, s	0	Reference Point	End										
Uncoordinated	Yes	Simult. Gap E/W	On										
Force Mode	Fixed	Simult. Gap N/S	On										
		Green		13.2	21.2	27.4	0.0	0.0	0.0				
		Yellow		5.5	5.5	4.8	0.0	0.0	0.0				
		Red		2.2	2.0	2.0	0.0	0.0	0.0				

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase		6	5	2		4		8
Case Number		5.3	1.0	4.0		9.0		12.0
Phase Duration, s		28.7	20.9	49.6		34.2		0.0
Change Period, (Y+R _c), s		7.5	7.7	7.5		6.8		6.8
Max Allow Headway (MAH), s		3.9	4.0	3.9		4.3		0.0
Queue Clearance Time (g _s), s		17.3	12.1	14.3		25.7		
Green Extension Time (g _e), s		3.9	1.1	3.9		1.7		0.0
Phase Call Probability		1.00	1.00	1.00		1.00		
Max Out Probability		0.00	0.00	0.00		0.99		

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Assigned Movement	1	6	16	5	2	12	7		14	3	8	18
Adjusted Flow Rate (v), veh/h	0	369	254	314	429		435		472		0	
Adjusted Saturation Flow Rate (s), veh/h/ln	974	1885	1598	1795	1884		1795		1598		0	
Queue Service Time (g _s), s	0.0	15.3	11.9	10.1	12.3		18.0		23.7		0.0	
Cycle Queue Clearance Time (g _c), s	0.0	15.3	11.9	10.1	12.3		18.0		23.7		0.0	
Green Ratio (g/C)	0.25	0.25	0.25	0.43	0.50		0.33		0.33			
Capacity (c), veh/h	86	478	405	441	946		588		523			
Volume-to-Capacity Ratio (X)	0.000	0.773	0.627	0.713	0.453		0.739		0.903		0.000	
Back of Queue (Q), ft/ln (95 th percentile)												
Back of Queue (Q), veh/ln (95 th percentile)	0.0	10.7	7.6	6.9	7.9		12.5		16.3		0.0	
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00	0.00	0.00	0.00		0.00		0.00		0.00	
Uniform Delay (d ₁), s/veh	0.0	29.1	27.8	18.8	13.5		25.1		27.0			
Incremental Delay (d ₂), s/veh	0.0	2.7	1.6	2.2	0.3		4.2		16.9		0.0	
Initial Queue Delay (d ₃), s/veh	0.0	0.0	0.0	0.0	0.0		0.0		0.0		0.0	
Control Delay (d), s/veh	0.0	31.8	29.4	21.0	13.8		29.2		43.9			
Level of Service (LOS)		C	C	C	B		C		D			
Approach Delay, s/veh / LOS	30.8		C	16.8		B	36.8		D	0.0		
Intersection Delay, s/veh / LOS	28.7						C					

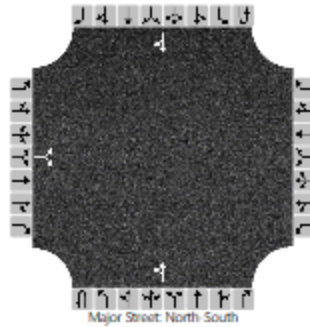
Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	1.92	B	1.67	B	1.95	B	2.14	B
Bicycle LOS Score / LOS	1.52	B	1.71	B		F	0.49	A

HCS Two-Way Stop-Control Report

Item 5.1

General Information				Site Information			
Analyst	SS			Intersection	SR 44 & Lake Joanna Dr		
Agency/Co.	TPD, Inc.			Jurisdiction	Lake County		
Date Performed	5/24/2023			East/West Street	Lake Joanna Dr		
Analysis Year	2023			North/South Street	SR 44		
Time Analyzed	Existing PM			Peak Hour Factor	0.86		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	5802						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Movement																	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	0	0		0	1	0		0	1	0	
Configuration			LR							LT						TR	
Volume (veh/h)		7		9						4	949				581	8	
Percent Heavy Vehicles (%)		0		0						0							
Proportion Time Blocked																	
Percent Grade (%)		0															
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.40		6.20						4.10						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.50		3.30						2.20						

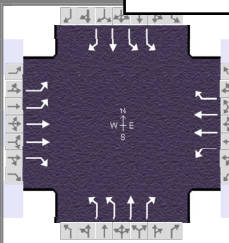
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			19							5							
Capacity, c (veh/h)			162							918							
v/c Ratio			0.11							0.01							
95% Queue Length, Q ₉₅ (veh)			0.4							0.0							
Control Delay (s/veh)			30.1							8.9	0.1						
Level of Service (LOS)			D							A	A						
Approach Delay (s/veh)		30.1								0.2							
Approach LOS		D								A							

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Existing PM	PHF	0.94		
Urban Street	US 441	Analysis Year	2023	Analysis Period	1 > 17:00		
Intersection	SR 44/Donnelly St	File Name	US 441 & SR 44 - Existing PM.xus				
Project Description	5802						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	575	1209	124	158	986	492	220	291	56	370	225	277

Signal Information													
Cycle, s	160.0	Reference Phase	2										
Offset, s	0	Reference Point	End										
Uncoordinated	No	Simult. Gap E/W	On	Green	13.1	8.4	68.5	16.9	21.5	0.0			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	5.2	0.0	5.2	4.9	4.9	0.0			
				Red	3.5	0.0	2.0	3.2	2.6	0.0			

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	2.0	3.0	2.0	3.0	2.0	3.0	2.0	3.0
Phase Duration, s	25.0	29.0	25.0	29.0	21.8	75.7	30.3	84.2
Change Period, (Y+R _c), s	7.8	8.1	8.1	8.1	8.7	7.2	9.2	7.2
Max Allow Headway (MAH), s	4.0	4.0	4.0	4.0	4.1	0.0	4.1	0.0
Queue Clearance Time (g _s), s	19.2	22.9	16.8	22.9	12.5		19.7	
Green Extension Time (g _e), s	0.0	0.0	0.2	0.0	0.7	0.0	1.4	0.0
Phase Call Probability	1.00	1.00	1.00	1.00	1.00		1.00	
Max Out Probability	1.00	1.00	0.92	1.00	0.01		0.01	

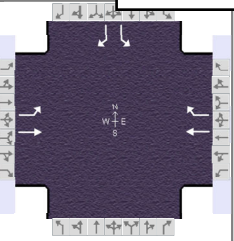
Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	612	1286	132	168	1049	523	234	310	60	394	239	295
Adjusted Saturation Flow Rate (s), veh/h/ln	1757	1795	1610	1795	1795	1585	1757	1900	1610	1743	1900	1598
Queue Service Time (g _s), s	17.2	20.9	12.4	14.8	20.9	20.9	10.5	17.8	3.5	17.7	12.0	18.8
Cycle Queue Clearance Time (g _c), s	17.2	20.9	12.4	14.8	20.9	20.9	10.5	17.8	3.5	17.7	12.0	18.8
Green Ratio (g/C)	0.11	0.13	0.13	0.11	0.13	0.13	0.08	0.43	0.43	0.13	0.48	0.48
Capacity (c), veh/h	378	468	210	190	469	207	288	814	690	459	914	768
Volume-to-Capacity Ratio (X)	1.619	2.749	0.628	0.884	2.237	2.528	0.811	0.380	0.086	0.857	0.262	0.383
Back of Queue (Q), ft/ln (95 th percentile)												
Back of Queue (Q), veh/ln (95 th percentile)	36.0	94.2	9.2	12.8	71.9	76.2	8.6	13.3	2.6	13.0	9.5	12.0
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Uniform Delay (d ₁), s/veh	71.4	69.6	65.9	70.6	69.6	69.6	72.2	31.2	27.2	68.0	24.7	26.4
Incremental Delay (d ₂), s/veh	290.6	792.9	5.8	26.6	563.6	701.7	5.4	1.4	0.2	5.8	0.7	1.4
Initial Queue Delay (d ₃), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	362.0	862.5	71.7	97.2	633.1	771.2	77.7	32.6	27.4	73.8	25.3	27.9
Level of Service (LOS)	F	F	E	F	F	F	E	C	C	E	C	C
Approach Delay, s/veh / LOS	660.3		F	622.9		F	49.6		D	46.7		D
Intersection Delay, s/veh / LOS	471.1						F					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.32	B	2.47	B	2.44	B	2.57	C
Bicycle LOS Score / LOS	2.16	B	1.92	B	1.48	A	2.02	B

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Existing PM	PHF	0.97		
Urban Street	Orange Ave	Analysis Year	2023	Analysis Period	1 > 17:00		
Intersection	Estes Rd	File Name	Estes Rd & Orange Ave - Existing PM.xus				
Project Description	5802						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	24	492			638	202				110		29

Signal Information													
Cycle, s	52.2	Reference Phase	2										
Offset, s	0	Reference Point	End	Green	1.5	23.4	7.0	0.0	0.0	0.0			
Uncoordinated	Yes	Simult. Gap E/W	On	Yellow	4.8	4.8	3.3	0.0	0.0	0.0			
Force Mode	Fixed	Simult. Gap N/S	On	Red	2.0	2.2	3.2	0.0	0.0	0.0			

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	1	6		2				8
Case Number	1.0	4.0		7.3				9.0
Phase Duration, s	8.3	38.7		30.4				13.5
Change Period, (Y+R _c), s	6.8	7.0		7.0				6.5
Max Allow Headway (MAH), s	4.0	3.9		3.9				5.0
Queue Clearance Time (g _s), s	2.4	9.5		17.6				5.1
Green Extension Time (g _e), s	0.0	5.9		5.8				0.5
Phase Call Probability	0.30	1.00		1.00				0.88
Max Out Probability	0.00	0.01		0.02				0.00

Movement Group Results	EB			WB			NB			SB			
	L	T	R	L	T	R	L	T	R	L	T	R	
Approach Movement													
Assigned Movement	1	6			2	12				3		18	
Adjusted Flow Rate (v), veh/h	25	507			658	208				113		30	
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1885			1870	1610				1781		1610	
Queue Service Time (g _s), s	0.4	7.5			15.6	4.3				3.1		0.9	
Cycle Queue Clearance Time (g _c), s	0.4	7.5			15.6	4.3				3.1		0.9	
Green Ratio (g/C)	0.48	0.61			0.45	0.45				0.13		0.13	
Capacity (c), veh/h	308	1145			839	722				239		216	
Volume-to-Capacity Ratio (X)	0.080	0.443			0.784	0.288				0.475		0.138	
Back of Queue (Q), ft/ln (95 th percentile)													
Back of Queue (Q), veh/ln (95 th percentile)	0.2	2.5			8.2	1.9				2.2		0.5	
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00			0.00	0.00				0.00		0.00	
Uniform Delay (d ₁), s/veh	9.6	5.5			12.3	9.1				20.9		20.0	
Incremental Delay (d ₂), s/veh	0.1	0.3			1.7	0.2				2.1		0.4	
Initial Queue Delay (d ₃), s/veh	0.0	0.0			0.0	0.0				0.0		0.0	
Control Delay (d), s/veh	9.7	5.8			13.9	9.3				23.0		20.4	
Level of Service (LOS)	A	A			B	A				C		C	
Approach Delay, s/veh / LOS	6.0		A		12.8		B		0.0			22.4	C
Intersection Delay, s/veh / LOS	11.3						B						

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	0.65	A	1.88	B	1.93	B	1.93	B
Bicycle LOS Score / LOS	1.37	A	1.92	B				F

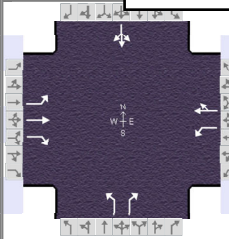
APPENDIX D

Projected HCS Capacity Analysis Worksheets

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Projected PM	PHF	0.98		
Urban Street	Orange Ave	Analysis Year	2025	Analysis Period	1 > 17:00		
Intersection	SR 44	File Name	Orange Ave & SR 44 - Projected PM.xus				
Project Description	5802						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	0	376	268	324	436	1	449		485	0	0	0

Signal Information				Phase Diagrams								
Cycle, s	88.5	Reference Phase	2									
Offset, s	0	Reference Point	End									
Uncoordinated	Yes	Simult. Gap E/W	On									
Force Mode	Fixed	Simult. Gap N/S	On									
Green	14.3	22.9	29.3	0.0	0.0	0.0						
Yellow	5.5	5.5	4.8	0.0	0.0	0.0						
Red	2.2	2.0	2.0	0.0	0.0	0.0						

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase		6	5	2		4		8
Case Number		5.3	1.0	4.0		9.0		12.0
Phase Duration, s		30.4	22.0	52.4		36.1		0.0
Change Period, ($Y+R_c$), s		7.5	7.7	7.5		6.8		6.8
Max Allow Headway (MAH), s		3.9	4.0	3.9		4.3		0.0
Queue Clearance Time (g_s), s		18.8	13.1	15.5		28.6		
Green Extension Time (g_e), s		4.1	1.1	4.2		0.7		0.0
Phase Call Probability		1.00	1.00	1.00		1.00		
Max Out Probability		0.01	0.00	0.00		1.00		

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	1	6	16	5	2	12	7		14	3	8	18
Adjusted Flow Rate (v), veh/h	0	384	273	331	446		458		495		0	
Adjusted Saturation Flow Rate (s), veh/h/ln	959	1885	1598	1795	1884		1795		1598		0	
Queue Service Time (g_s), s	0.0	16.8	13.6	11.1	13.5		20.3		26.6		0.0	
Cycle Queue Clearance Time (g_c), s	0.0	16.8	13.6	11.1	13.5		20.3		26.6		0.0	
Green Ratio (g/C)	0.26	0.26	0.26	0.44	0.51		0.33		0.33			
Capacity (c), veh/h	81	489	414	441	956		594		529			
Volume-to-Capacity Ratio (X)	0.000	0.785	0.660	0.749	0.466		0.771		0.936		0.000	
Back of Queue (Q), ft/ln (95 th percentile)												
Back of Queue (Q), veh/ln (95 th percentile)	0.0	11.6	8.5	7.7	8.6		14.2		19.0		0.0	
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00	0.00	0.00	0.00		0.00		0.00		0.00	
Uniform Delay (d_1), s/veh	0.0	30.5	29.3	19.7	14.1		26.6		28.7			
Incremental Delay (d_2), s/veh	0.0	2.8	1.8	2.6	0.4		5.9		23.6		0.0	
Initial Queue Delay (d_3), s/veh	0.0	0.0	0.0	0.0	0.0		0.0		0.0		0.0	
Control Delay (d), s/veh	0.0	33.3	31.1	22.3	14.4		32.5		52.3			
Level of Service (LOS)		C	C	C	B		C		D			
Approach Delay, s/veh / LOS	32.4		C	17.8		B	42.8		D	0.0		
Intersection Delay, s/veh / LOS	31.8						C					

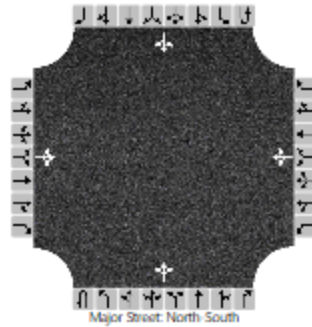
Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	1.93	B	1.67	B	1.95	B	2.14	B
Bicycle LOS Score / LOS	1.57	B	1.77	B		F	0.49	A

HCS Two-Way Stop-Control Report

Item 5.1

General Information				Site Information			
Analyst	SS			Intersection	SR 44 & Lake Joanna Dr/Site Access		
Agency/Co.	TPD, Inc.			Jurisdiction	Lake County		
Date Performed	5/24/2023			East/West Street	Lake Joanna Dr/Site Access		
Analysis Year	2025			North/South Street	SR 44		
Time Analyzed	Projected PM			Peak Hour Factor	0.86		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	5802						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Movement																	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	1	0		0	1	0		0	1	0	
Configuration			LTR				LTR				LTR				LTR		
Volume (veh/h)		7	0	9		17	0	9		4	987	26		14	604	8	
Percent Heavy Vehicles (%)		0	3	0		3	3	3		0				3			
Proportion Time Blocked																	
Percent Grade (%)		0				0											
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.10	6.53	6.20		7.13	6.53	6.23		4.10				4.13		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.50	4.03	3.30		3.53	4.03	3.33		2.20				2.23		

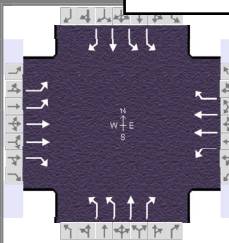
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			19				30			5				16			
Capacity, c (veh/h)			96				65			897				589			
v/c Ratio			0.19				0.46			0.01				0.03			
95% Queue Length, Q ₉₅ (veh)			0.7				1.8			0.0				0.1			
Control Delay (s/veh)			51.1				100.4			9.0	0.1	0.1		11.3	0.5	0.5	
Level of Service (LOS)			F				F			A	A	A		B	A	A	
Approach Delay (s/veh)		51.1				100.4				0.2				0.8			
Approach LOS		F				F				A				A			

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Projected PM	PHF	0.94		
Urban Street	US 441	Analysis Year	2025	Analysis Period	1 > 17:00		
Intersection	SR 44/Donnelly St	File Name	US 441 & SR 44 - Projected PM.xus				
Project Description	5802						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	606	1257	129	164	1025	521	229	308	58	391	237	293

Signal Information													
Cycle, s	160.0	Reference Phase	2										
Offset, s	0	Reference Point	End										
Uncoordinated	No	Simult. Gap E/W	On	Green	13.6	9.0	67.5	17.2	0.6	20.9			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	5.2	0.0	5.2	4.2	0.0	4.9			
				Red	3.5	0.0	2.0	3.6	0.0	2.6			

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	2.0	3.0	2.0	3.0	2.0	3.0	2.0	3.0
Phase Duration, s	25.0	28.4	25.6	29.0	22.3	74.7	31.3	83.7
Change Period, (Y+R _c), s	7.8	8.1	8.1	8.1	8.7	7.2	9.2	7.2
Max Allow Headway (MAH), s	4.0	4.0	4.0	4.0	4.1	0.0	4.1	0.0
Queue Clearance Time (g _s), s	19.2	22.3	17.3	22.9	12.9		20.7	
Green Extension Time (g _e), s	0.0	0.0	0.2	0.0	0.7	0.0	1.5	0.0
Phase Call Probability	1.00	1.00	1.00	1.00	1.00		1.00	
Max Out Probability	1.00	1.00	1.00	1.00	0.01		0.01	

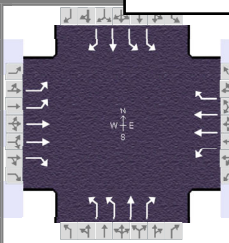
Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	645	1337	137	174	1090	554	244	328	62	416	252	312
Adjusted Saturation Flow Rate (s), veh/h/ln	1757	1795	1610	1795	1795	1585	1757	1900	1610	1743	1900	1598
Queue Service Time (g _s), s	17.2	20.3	13.0	15.3	20.9	20.9	10.9	19.3	3.7	18.7	12.8	20.2
Cycle Queue Clearance Time (g _c), s	17.2	20.3	13.0	15.3	20.9	20.9	10.9	19.3	3.7	18.7	12.8	20.2
Green Ratio (g/C)	0.11	0.13	0.13	0.11	0.13	0.13	0.08	0.42	0.42	0.14	0.48	0.48
Capacity (c), veh/h	378	456	204	196	469	207	298	801	679	482	909	764
Volume-to-Capacity Ratio (X)	1.707	2.936	0.672	0.889	2.326	2.677	0.817	0.409	0.091	0.862	0.277	0.408
Back of Queue (Q), ft/ln (95 th percentile)												
Back of Queue (Q), veh/ln (95 th percentile)	39.2	99.5	9.7	13.3	75.8	81.9	8.9	14.3	2.7	13.6	10.1	12.8
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Uniform Delay (d ₁), s/veh	71.4	69.8	66.7	70.3	69.6	69.6	72.0	32.3	27.8	67.4	25.1	27.1
Incremental Delay (d ₂), s/veh	329.1	876.9	8.3	28.1	603.2	768.3	5.4	1.5	0.3	6.7	0.8	1.6
Initial Queue Delay (d ₃), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	400.5	946.8	74.9	98.4	672.8	837.8	77.4	33.9	28.1	74.2	25.9	28.7
Level of Service (LOS)	F	F	E	F	F	F	E	C	C	E	C	C
Approach Delay, s/veh / LOS	724.1		F	668.0		F	50.1		D	47.3		D
Intersection Delay, s/veh / LOS	509.4						F					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.32	B	2.47	B	2.44	B	2.57	C
Bicycle LOS Score / LOS	2.24	B	1.99	B	1.53	B	2.10	B

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Projected PM	PHF	0.94		
Urban Street	US 441	Analysis Year	2025	Analysis Period	1 > 17:00		
Intersection	SR 44/Donnelly St	File Name	US 441 & SR 44 - Projected PM Optimized.xus				
Project Description	5802 - Optimized Signal Timings						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	606	1257	129	164	1025	521	229	308	58	391	237	293

Signal Information													
Cycle, s	160.0	Reference Phase	2										
Offset, s	0	Reference Point	End										
Uncoordinated	No	Simult. Gap E/W	On	Green	13.5	8.6	23.0	17.8	4.3	52.9			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	5.2	0.0	5.2	4.9	4.2	4.9			
				Red	3.5	0.0	2.0	3.2	3.6	3.2			

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	2.0	3.0	2.0	3.0	2.0	3.0	2.0	3.0
Phase Duration, s	38.0	73.1	25.9	61.0	22.2	30.2	30.8	38.8
Change Period, (Y+R _c), s	7.8	8.1	8.1	8.1	8.7	7.2	9.2	7.2
Max Allow Headway (MAH), s	4.0	4.0	4.0	4.0	4.1	0.0	4.1	0.0
Queue Clearance Time (g _s), s	31.2	58.4	17.3	54.9	12.9		20.8	
Green Extension Time (g _e), s	0.0	5.7	0.5	0.0	0.6	0.0	0.8	0.0
Phase Call Probability	1.00	1.00	1.00	1.00	1.00		1.00	
Max Out Probability	1.00	0.94	0.00	1.00	0.05		0.64	

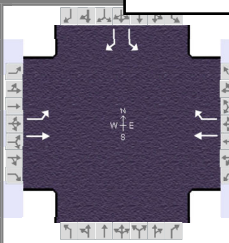
Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	645	1337	137	174	1090	554	244	328	62	416	252	312
Adjusted Saturation Flow Rate (s), veh/h/ln	1757	1795	1610	1795	1795	1585	1757	1900	1610	1743	1900	1598
Queue Service Time (g _s), s	29.2	56.4	8.9	15.3	46.7	52.9	10.9	23.0	5.5	18.8	19.6	31.1
Cycle Queue Clearance Time (g _c), s	29.2	56.4	8.9	15.3	46.7	52.9	10.9	23.0	5.5	18.8	19.6	31.1
Green Ratio (g/C)	0.19	0.41	0.41	0.11	0.33	0.33	0.08	0.14	0.14	0.13	0.20	0.20
Capacity (c), veh/h	663	1458	654	200	1187	524	297	273	232	470	375	315
Volume-to-Capacity Ratio (X)	0.972	0.917	0.210	0.873	0.919	1.058	0.821	1.198	0.266	0.885	0.672	0.988
Back of Queue (Q), ft/ln (95 th percentile)												
Back of Queue (Q), veh/ln (95 th percentile)	21.8	34.7	6.2	12.1	30.1	38.8	8.9	29.9	4.4	14.2	15.7	23.5
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Uniform Delay (d ₁), s/veh	64.5	45.0	30.8	70.0	51.5	53.6	72.1	68.5	61.0	68.0	59.4	64.0
Incremental Delay (d ₂), s/veh	28.0	9.5	0.2	11.2	11.4	55.4	6.4	119.1	2.8	13.8	9.2	47.7
Initial Queue Delay (d ₃), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	92.4	54.5	31.0	81.1	62.9	109.0	78.5	187.6	63.8	81.7	68.7	111.8
Level of Service (LOS)	F	D	C	F	E	F	E	F	E	F	E	F
Approach Delay, s/veh / LOS	64.5	E		78.7	E		133.5	F		87.9	F	
Intersection Delay, s/veh / LOS	81.2						F					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.29	B	2.45	B	2.47	B	2.61	C
Bicycle LOS Score / LOS	2.24	B	1.99	B	1.53	B	2.10	B

HCS Signalized Intersection Results Summary

Item 5.1

General Information				Intersection Information			
Agency	TPD, Inc.			Duration, h	0.250		
Analyst	SS	Analysis Date	5/24/2023	Area Type	Other		
Jurisdiction	Lake County	Time Period	Projected PM	PHF	0.97		
Urban Street	Orange Ave	Analysis Year	2025	Analysis Period	1 > 17:00		
Intersection	Estes Rd	File Name	Estes Rd & Orange Ave - Projected PM.xus				
Project Description	5802						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	25	519			669	211				118		31

Signal Information				Phase Diagram								
Cycle, s	54.3	Reference Phase	2									
Offset, s	0	Reference Point	End									
Uncoordinated	Yes	Simult. Gap E/W	On									
Force Mode	Fixed	Simult. Gap N/S	On									
		Green	1.6	25.2	7.2	0.0	0.0	0.0				
		Yellow	4.8	4.8	3.3	0.0	0.0	0.0				
		Red	2.0	2.2	3.2	0.0	0.0	0.0				

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	1	6		2				8
Case Number	1.0	4.0		7.3				9.0
Phase Duration, s	8.4	40.6		32.2				13.7
Change Period, (Y+R _c), s	6.8	7.0		7.0				6.5
Max Allow Headway (MAH), s	4.0	3.9		3.9				5.0
Queue Clearance Time (g _s), s	2.4	10.2		19.0				5.5
Green Extension Time (g _e), s	0.0	6.3		6.2				0.6
Phase Call Probability	0.32	1.00		1.00				0.90
Max Out Probability	0.00	0.01		0.03				0.00

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	1	6			2	12				3		18
Adjusted Flow Rate (v), veh/h	26	535			690	218				122		32
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1885			1870	1610				1781		1610
Queue Service Time (g _s), s	0.4	8.2			17.0	4.6				3.5		1.0
Cycle Queue Clearance Time (g _c), s	0.4	8.2			17.0	4.6				3.5		1.0
Green Ratio (g/C)	0.49	0.62			0.46	0.46				0.13		0.13
Capacity (c), veh/h	302	1167			868	747				237		214
Volume-to-Capacity Ratio (X)	0.085	0.459			0.795	0.291				0.514		0.149
Back of Queue (Q), ft/ln (95 th percentile)												
Back of Queue (Q), veh/ln (95 th percentile)	0.2	2.8			8.8	2.0				2.5		0.6
Queue Storage Ratio (RQ) (95 th percentile)	0.00	0.00			0.00	0.00				0.00		0.00
Uniform Delay (d ₁), s/veh	9.8	5.5			12.4	9.0				21.9		20.9
Incremental Delay (d ₂), s/veh	0.1	0.3			1.7	0.2				2.5		0.5
Initial Queue Delay (d ₃), s/veh	0.0	0.0			0.0	0.0				0.0		0.0
Control Delay (d), s/veh	9.9	5.8			14.1	9.2				24.4		21.3
Level of Service (LOS)	A	A			B	A				C		C
Approach Delay, s/veh / LOS	6.0	A		12.9	B		0.0			23.7		C
Intersection Delay, s/veh / LOS	11.5						B					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	0.65	A	1.88	B	1.93	B	1.93	B
Bicycle LOS Score / LOS	1.41	A	1.98	B				F

APPENDIX E

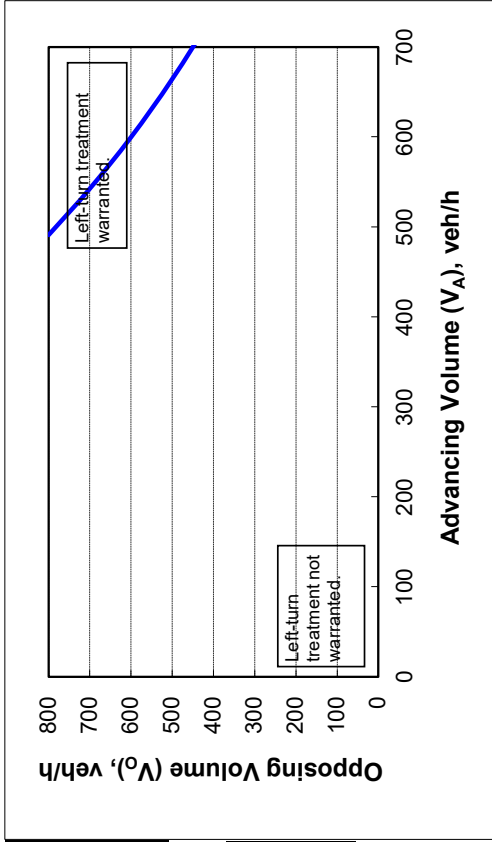
Turn Lane Referenced Data

Figure 2 - 5. Guideline for determining the need for a major-road left-turn bay at a two-way stop-controlled intersection.

2-lane roadway (English)

INPUT	
Variable	Value
85 th percentile speed, mph:	45
Percent of left-turns in advancing volume (V_A), %:	2%
Advancing volume (V_A), veh/h:	626
Opposing volume (V_O), veh/h:	1017

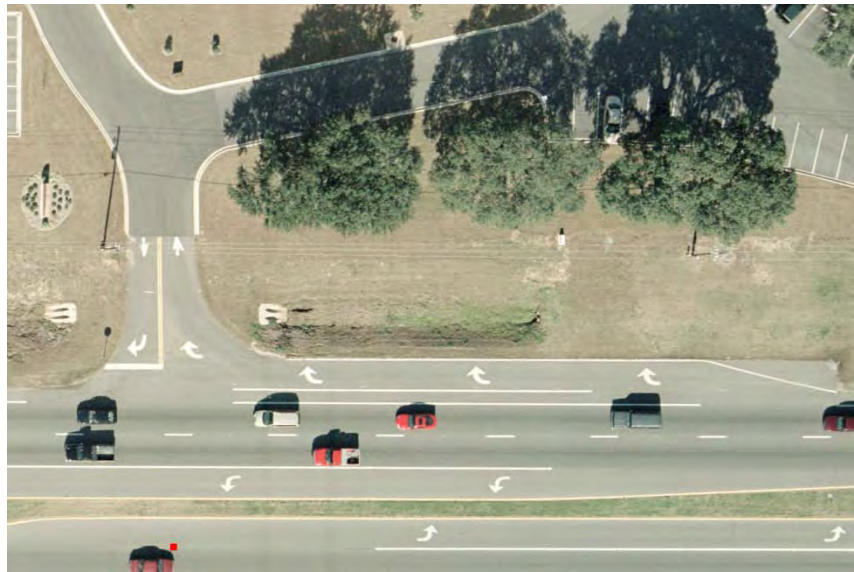
OUTPUT	
Variable	Value
Limiting advancing volume (V_A), veh/h:	398
Guidance for determining the need for a major-road left-turn bay:	
Left-turn treatment warranted.	



CALIBRATION CONSTANTS	
Variable	Value
Average time for making left-turn, s:	3.0
Critical headway, s:	5.0
Average time for left-turn vehicle to clear the advancing lane, s:	1.9

7

Right Turn Lanes



RIGHT TURN LANES

7.1

EXCLUSIVE RIGHT
TURN LANES AT
UNSIGNALIZED
DRIEWAYS

Exclusive right turn lanes are useful where a combination of high roadway speeds, and high right turn volumes into a driveway are expected. Congestion on the roadway may also be a good reason to use an exclusive right turn lane. If properly built, they remove the turning vehicle from the through lanes, thereby decreasing the operational impact of right turn vehicles on the through traffic.

The *Standard Index* has no specific guidance on warrants for right turn lanes into unsignalized driveways. The guidelines in this chapter were developed to assist in the decision-making process. However, *Standard Index 301* contains the standards necessary for the design of right turn lanes. The picture in Index 301 shows a left turn lane, but the design features are the same, except for the fact that queues would not usually be present on unsignalized driveways.

7.2

WHEN SHOULD WE BUILD RIGHT TURN LANES?

Exhibit 44
Recommended Guidelines
for Exclusive Right Turn
Lanes to Unsignalized*
Driveway

Roadway Posted Speed Limit	Number of Right Turns Per Hour
45 mph or less	80-125 (see note 1)
Over 45 mph	35-55 (see note 2)

*May not be appropriate for signalized locations where signal phasing plays an important role in determining the need for right turn lanes.

1. The lower threshold of 80 right turn vehicles per hour would be most used for higher volume (greater than 600 vehicles per hour, per lane in one direction on the major roadway) or two-lane roads where lateral movement is restricted. The 125 right turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with a large entry radius (50 feet or greater).
2. The lower threshold of 35 right turn vehicles per hour would be most appropriately used on higher volume two-lane roadways where lateral movement is restricted. The 55 right turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with large entry radius (50 feet or greater).

Note: A posted speed limit of 45 mph may be used with these thresholds if the operating speeds are known to be over 45 mph during the time of peak right turn demand.

Note on Traffic projections: Projecting turning volumes is, at best, a knowledgeable estimate. Keep this in mind especially if the projections of right turns are close to meeting the guidelines. In that case, consider requiring the turn lane.

Where The Right Turn Lane Guidelines Came From

These recommendations are primarily based on the research done in ***NCHRP Report 420, Impacts of Access Management Techniques***, Chapter 4 – Unsignalized Access Spacing (Technique 1B), and *Use of Speed Differential as a Measure To Evaluate the Need for Right-Turn Deceleration Lane at Unsignalized Intersections*, by Jan Thakkar, P.E., and Mohammed A. Hadi, Ph.D., P.E.

In the ***NCHRP Report 420***, the observed high-speed roads, 30 to 40 right turn vehicles per hour caused evasive maneuvers on 5 to 10 percent of the following through vehicles. For lower speed roadways, 80 to 110 right turn vehicles caused 15 to 20 percent of the following through vehicles to make evasive maneuvers. The choice of acceptable percentages of through vehicles impacted is a decision based on reasonable expectations of the different roadways.

In the Thakkar-Hadi study, by modeling speed differentials, a better understanding of the impacts of through volume and driveway radius was discovered.

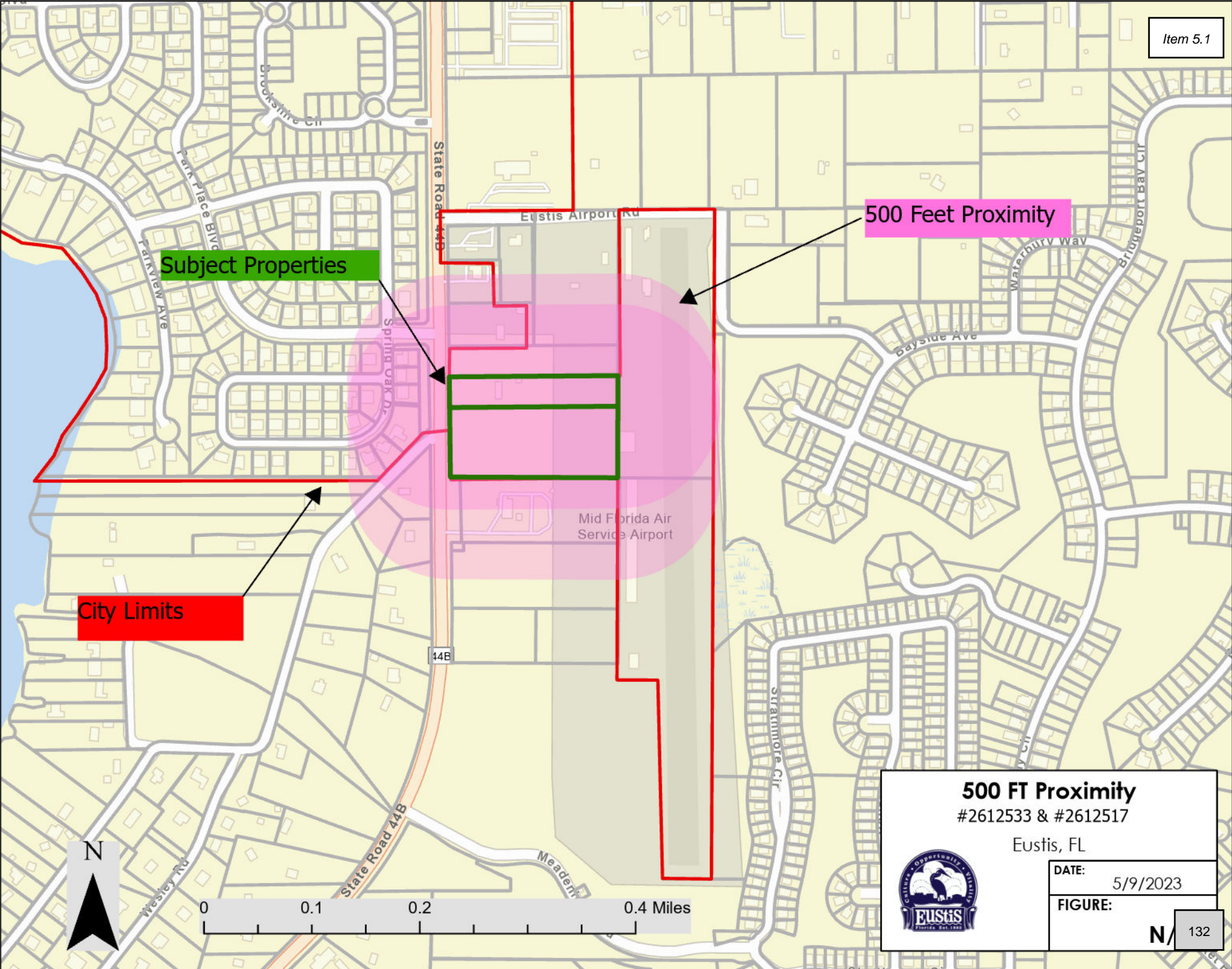
7.3

IMPACT OF LARGE AND SLOW MOVING VEHICLES TURNING RIGHT



Speed and the volume of right turns should not be the only criteria used to determine the requirement for an exclusive right turn lane at unsignalized intersections. In order to minimize the rear-end collision potential of some situations, a right turn lane may be required where large and slow moving vehicles need to turn right such as;

- Trucking facilities (or locations that have a high volume of large vehicle traffic such as water ports, train stations, etc.)
- Recreational facilities attracting boats, trailers and other large recreation vehicles
- Transit facilities
- Schools



Subject Properties


500 Feet Proximity

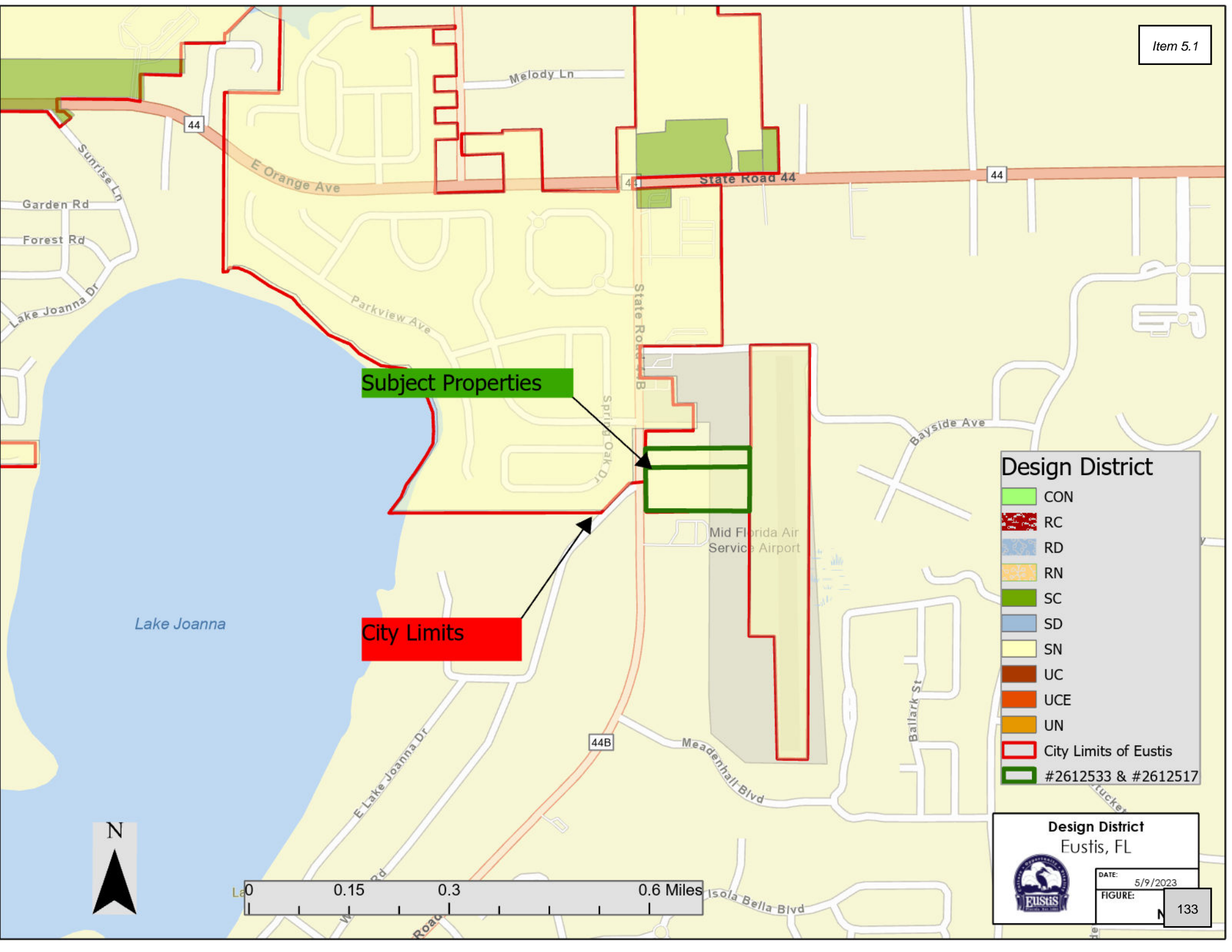
City Limits

Mid Florida Air Service Airport

500 FT Proximity
 #2612533 & #2612517
 Eustis, FL

DATE: 5/9/2023
 FIGURE: N/132





Subject Properties

City Limits

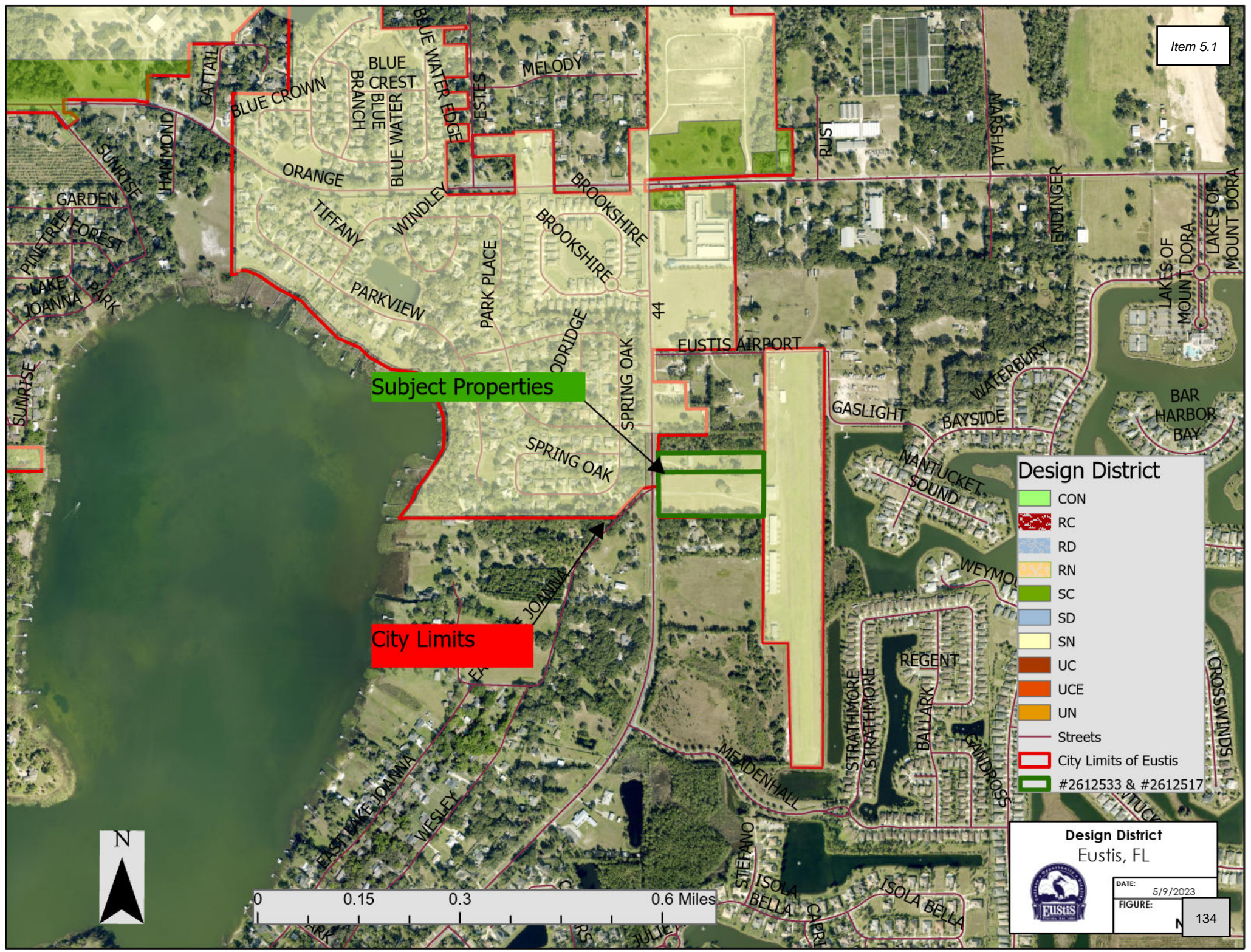
- Design District**
- CON
 - RC
 - RD
 - RN
 - SC
 - SD
 - SN
 - UC
 - UCE
 - UN
 - City Limits of Eustis
 - #2612533 & #2612517

Design District
Eustis, FL



DATE: 5/9/2023

FIGURE:



Subject Properties

City Limits

- Design District**
- CON
 - RC
 - RD
 - RN
 - SC
 - SD
 - SN
 - UC
 - UCE
 - UN
 - Streets
 - City Limits of Eustis
 - #2612533 & #2612517

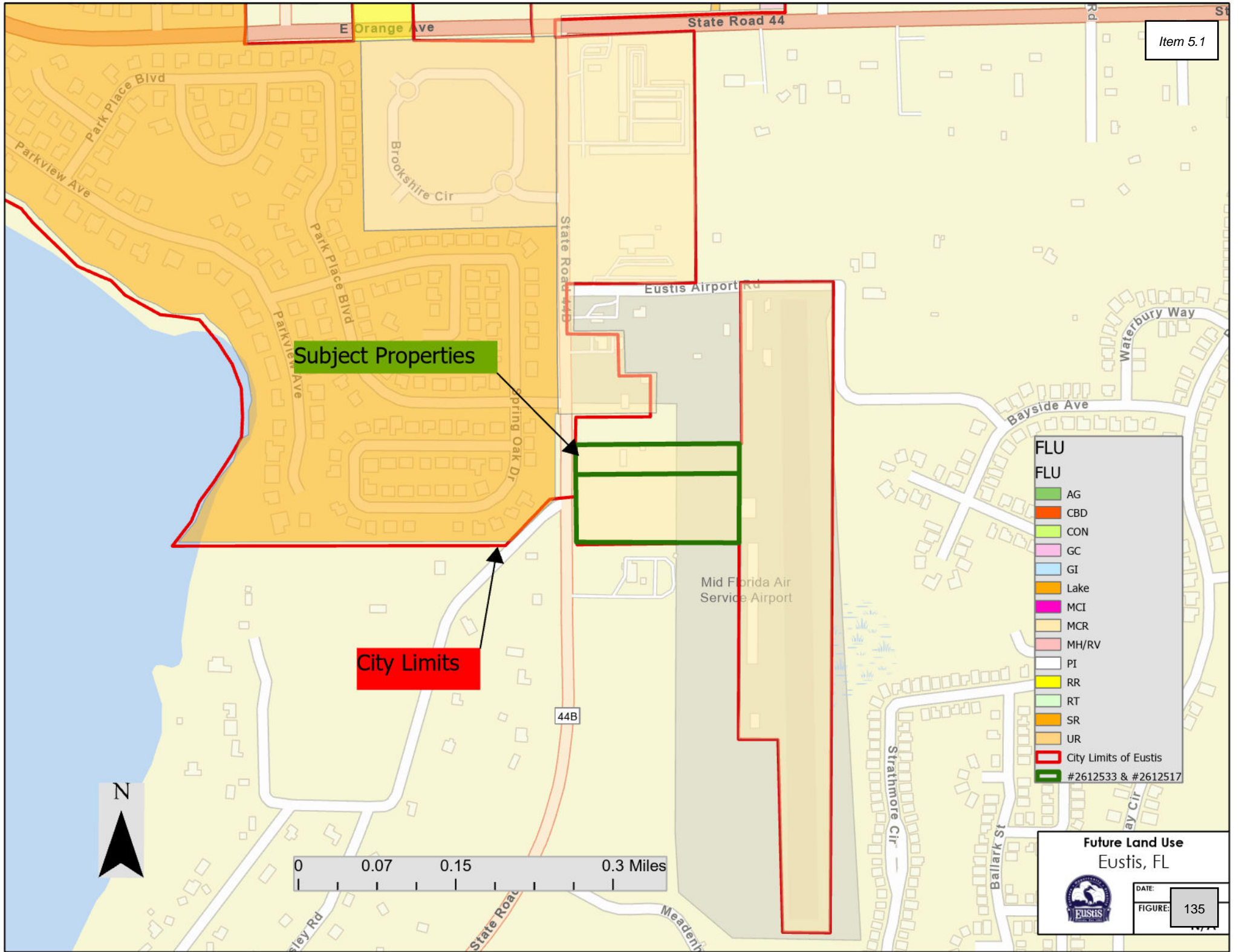
Design District
Eustis, FL



DATE: 5/9/2023
 FIGURE: N 134


0 0.15 0.3 0.6 Miles



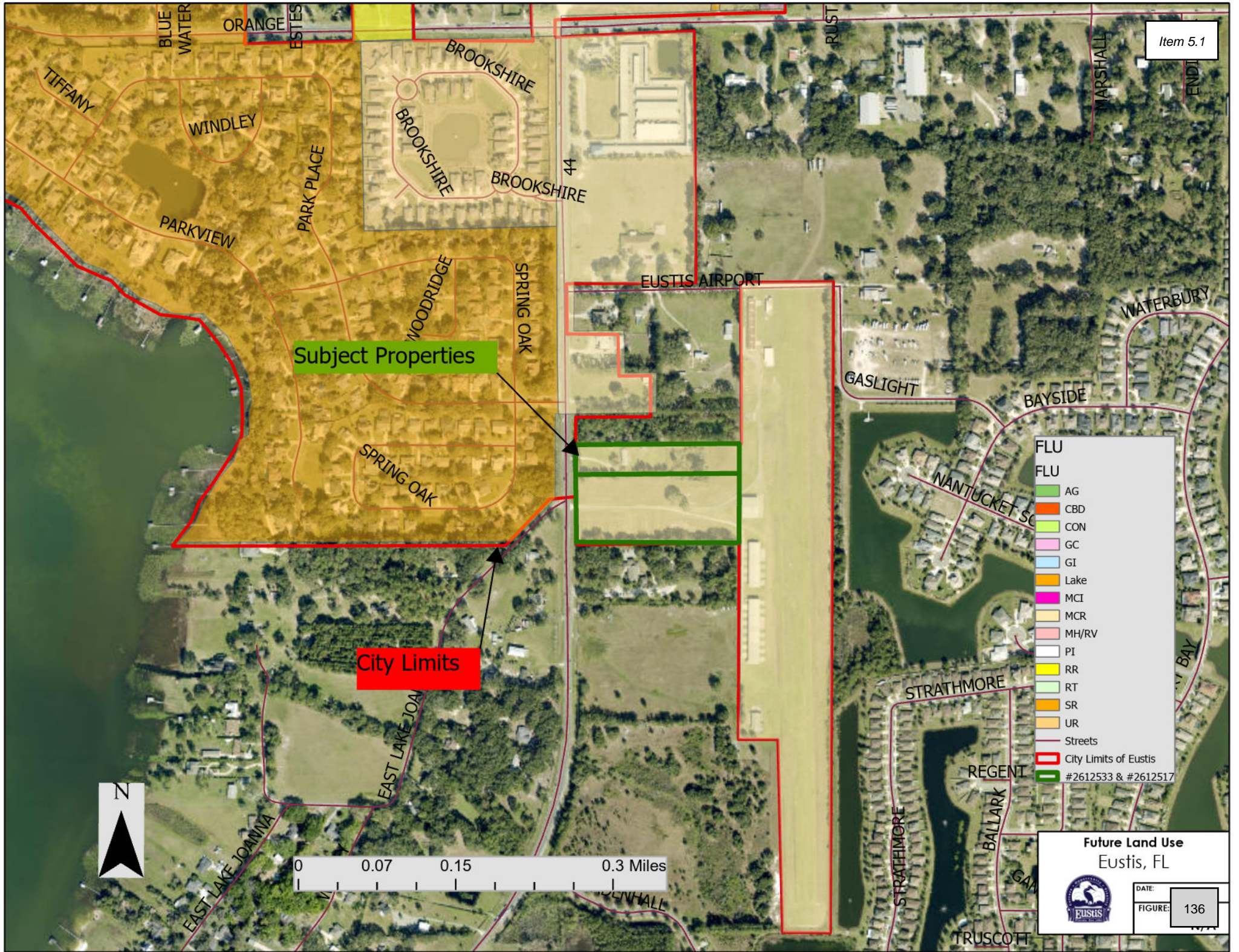


FLU	
AG	AG
CBD	CBD
CON	CON
GC	GC
GI	GI
Lake	Lake
MCI	MCI
MCR	MCR
MH/RV	MH/RV
PI	PI
RR	RR
RT	RT
SR	SR
UR	UR
[Red Outline]	City Limits of Eustis
[Green Outline]	#2612533 & #2612517

Future Land Use
Eustis, FL



DATE: _____
FIGURE: 135

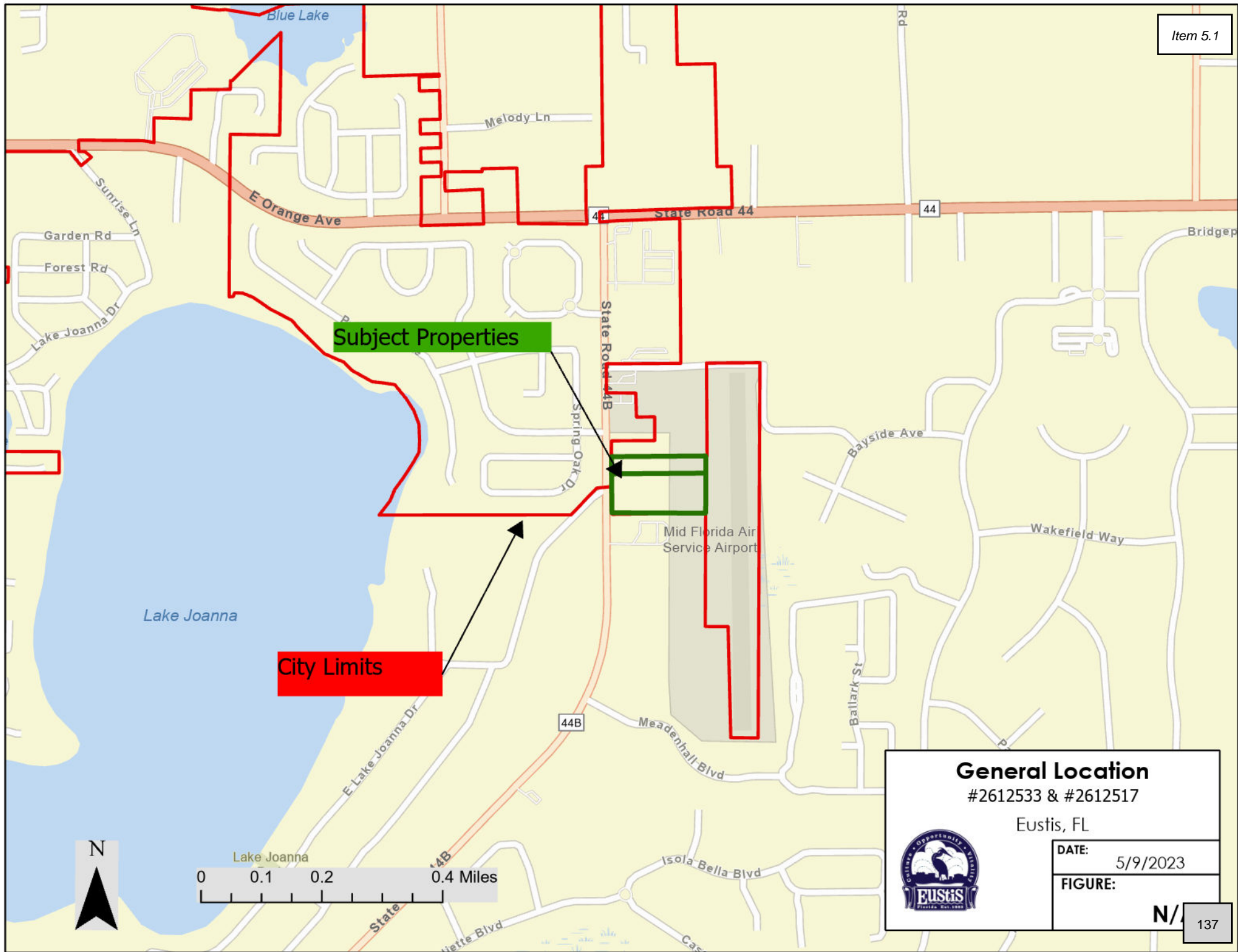


Future Land Use
Eustis, FL




DATE:

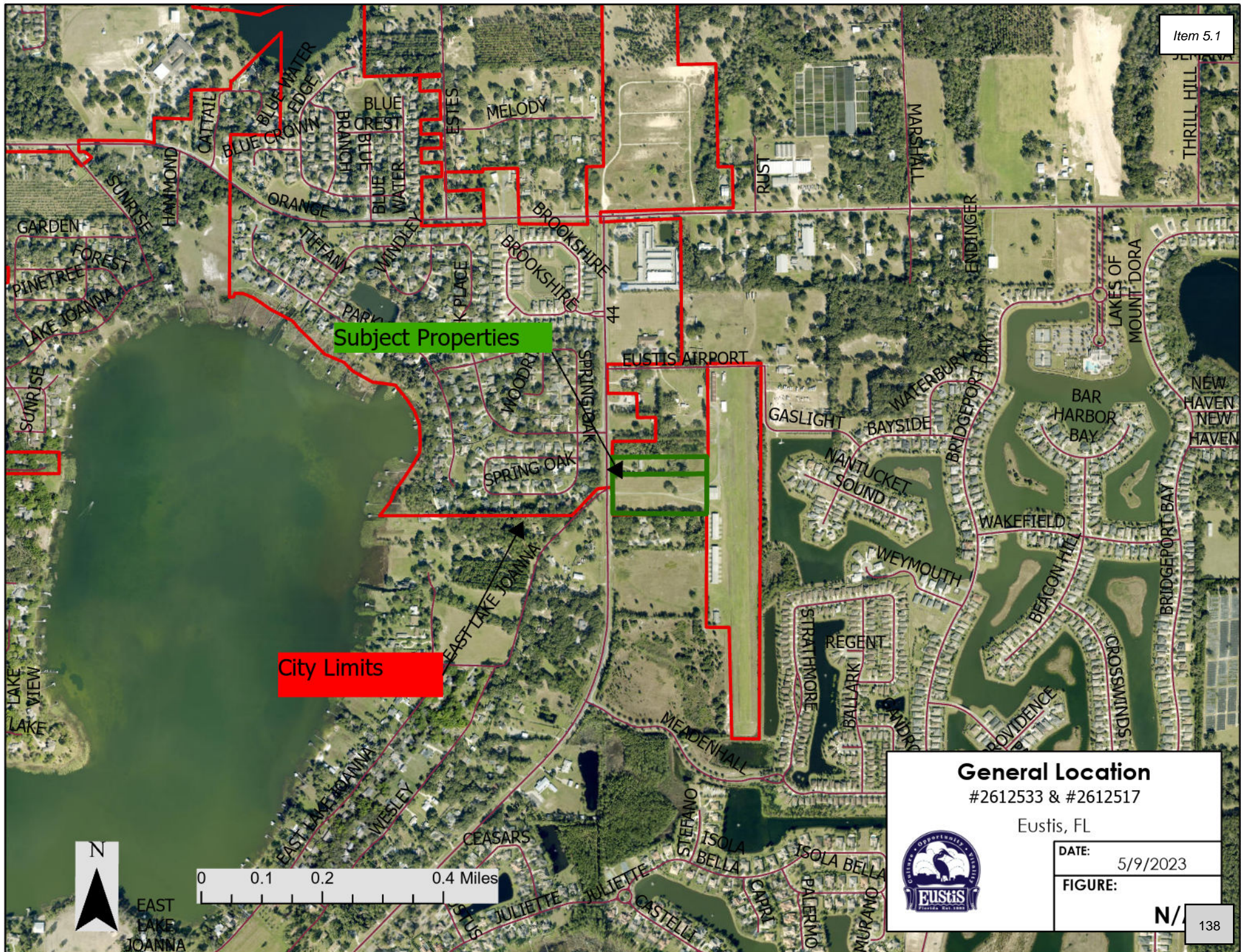
FIGURE: 136



General Location
 #2612533 & #2612517
 Eustis, FL

DATE: 5/9/2023
 FIGURE: N/A





Subject Properties

City Limits

General Location

#2612533 & #2612517

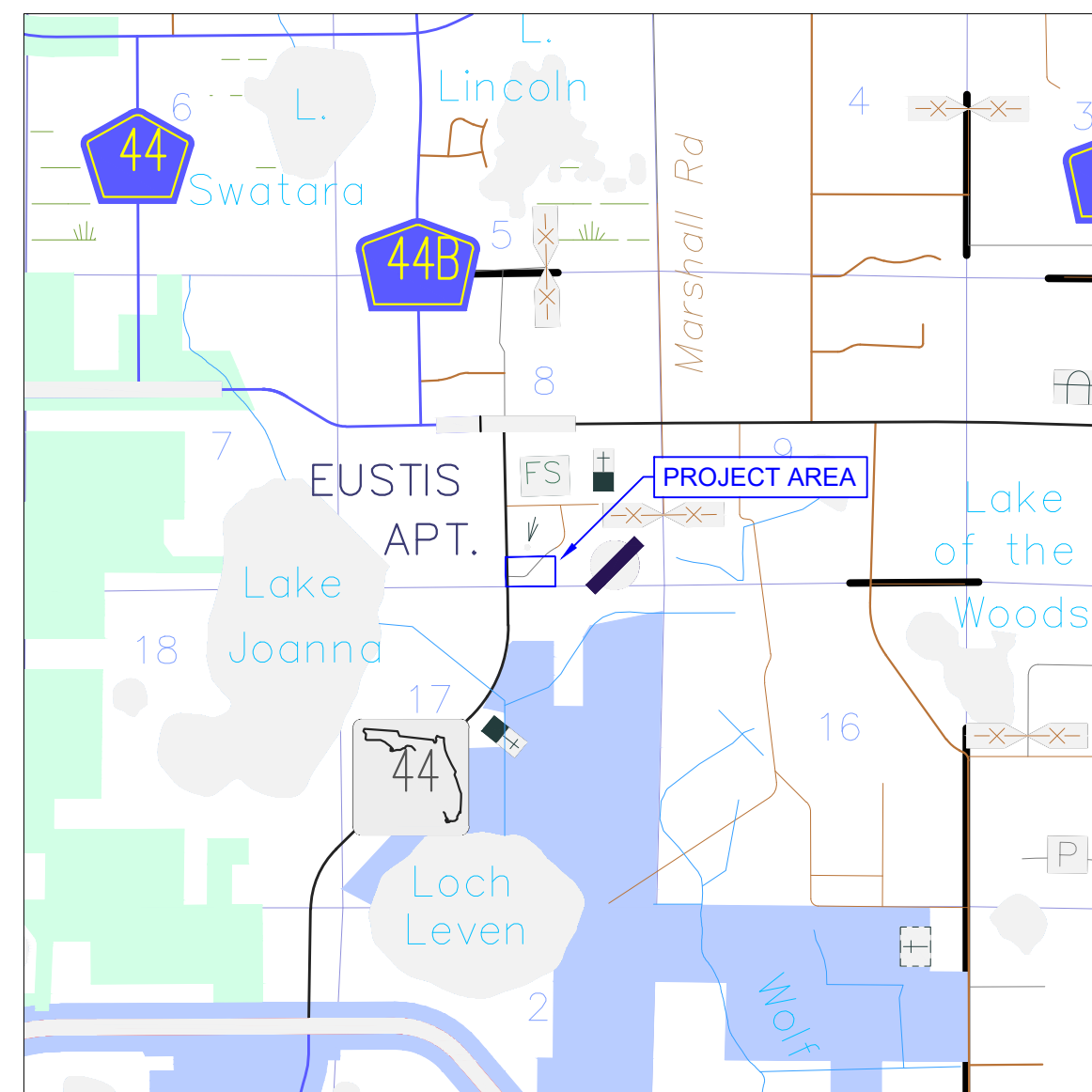
Eustis, FL



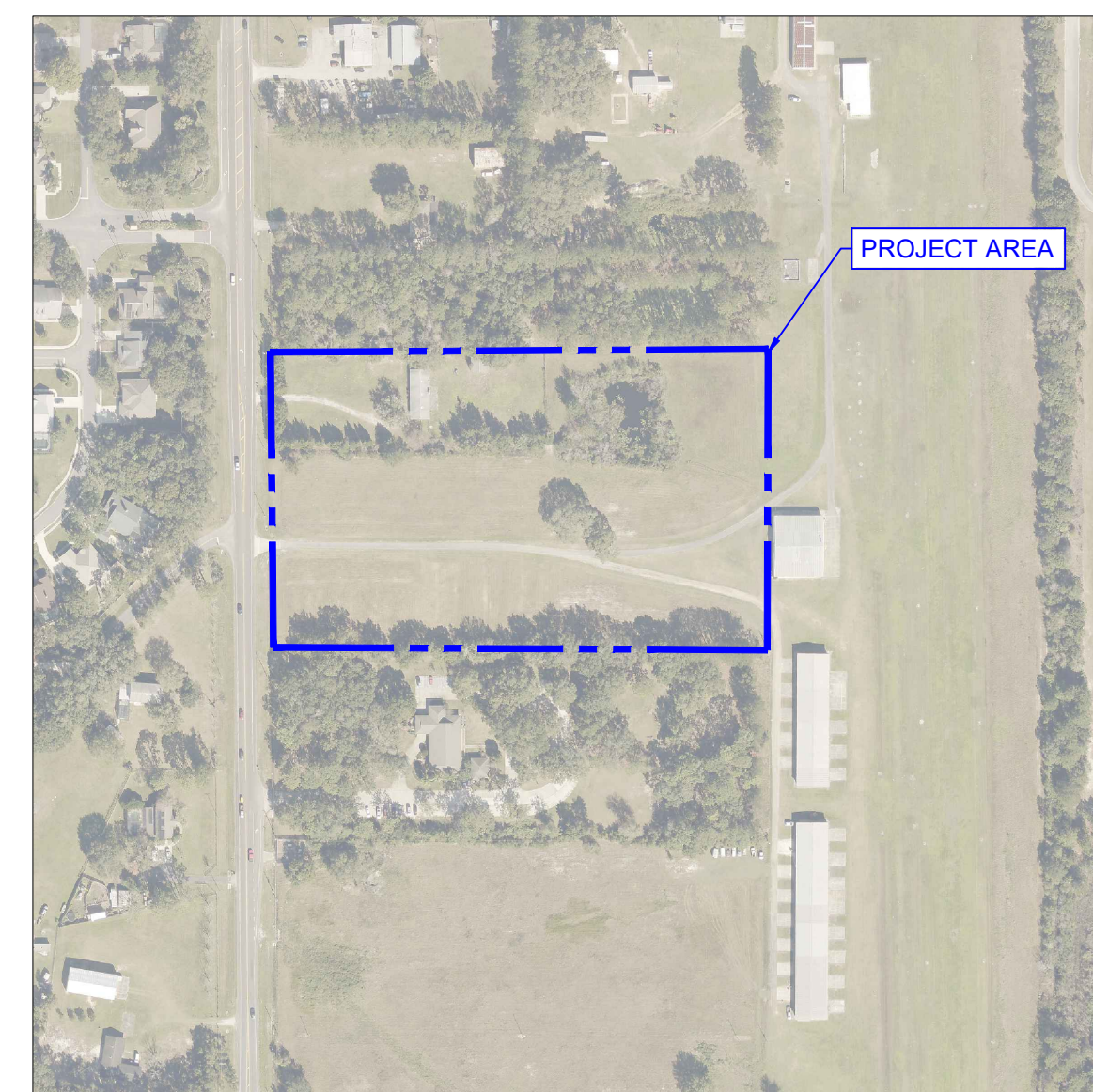
DATE:	5/9/2023
FIGURE:	N/A

HUDDLE PLACE PRELIMINARY PLAT/PLAN

ALT KEY NO. 2612533 & 2612517
SEC 08 TWP 19S RNG 27E



LOCATION MAP
SCALE: 1" = 3000'
SEC 08 - TWP 19S - RNG 27E



AERIAL IMAGE SOURCE:
FDOT "APLUS"
AERIAL IMAGE DATE: 2020

AERIAL MAP
SEC 08 - TWP 19S - RNG 27E
SCALE: 1" = 300'

Legal Description:

From the Southwest corner of the Southeast 1/4 of Section 8, Township 19 South, Range 27 East, Lake County, Florida, run thence North 89°24' East 870 feet, more or less, to the West line of Parcel "A" as described in Official Records Book 314, Page 630, Public Records of Lake County, Florida, run thence North 0°36' West along said West line 350.4 feet; thence South 88°43'45" West 875.47 feet, more or less to the center line of State Road No. S-44-B; thence South 1°28'30" East along said center line 340 feet to the Point of Beginning. LESS right of way of State Road No. S-44-B.

AND:

From the Southwest corner of the SE 1/4 of Section 8, Township 19 South, Range 27 East, Lake County, Florida, run thence North 89°24' East 870 feet, more or less, to the West line of Parcel "A" as described in Official Records Book 314, Page 630, Public Records of Lake County, Florida, run thence North 0°36' West along said West line 350.4 feet to the POINT OF BEGINNING; thence continue North 0°36' West along said West line 150 feet; thence South 88°43'45" West 880.3 feet to the center line of State Road No. 44-B; thence South 1°28'30" East along said center line of State Road No. 44-B 150 feet; thence North 88°43'45" East 870.47 feet, more or less, to the POINT OF BEGINNING. LESS the Right of Way for State Road No. 44-B.

OWNER

HUDDLE 44, LLC.
137 N HIGHLAND ST, MOUNT DORA,
FLORIDA 32757
407558.8166

SURVEYOR

ACCUMAP SURVEYING, LLC
2919 MONTFICHET LANE
WINTER PARK, FL 32792-4317
407.619.1949
DONALD A HORNE, LS# 4548

CIVIL ENGINEER

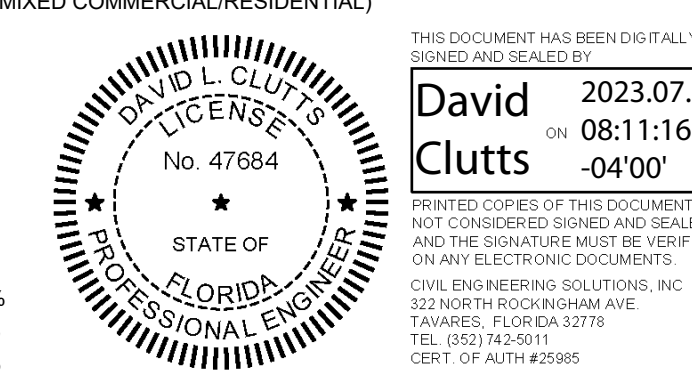
CIVIL ENGINEERING SOLUTIONS, INC.
322 NORTH ROCKINGHAM AVE.
TAVARES, FL 32778
352.742.5011 FAX: 352.742.5044
DAVID CLUTTS, P.E., PRESIDENT

ARCHITECT

JASS & ASSOCIATES ARCHITECTURAL, LLC
2300 AMHERST LANE
MOUNT DORA, FL 32757
352.383.9407

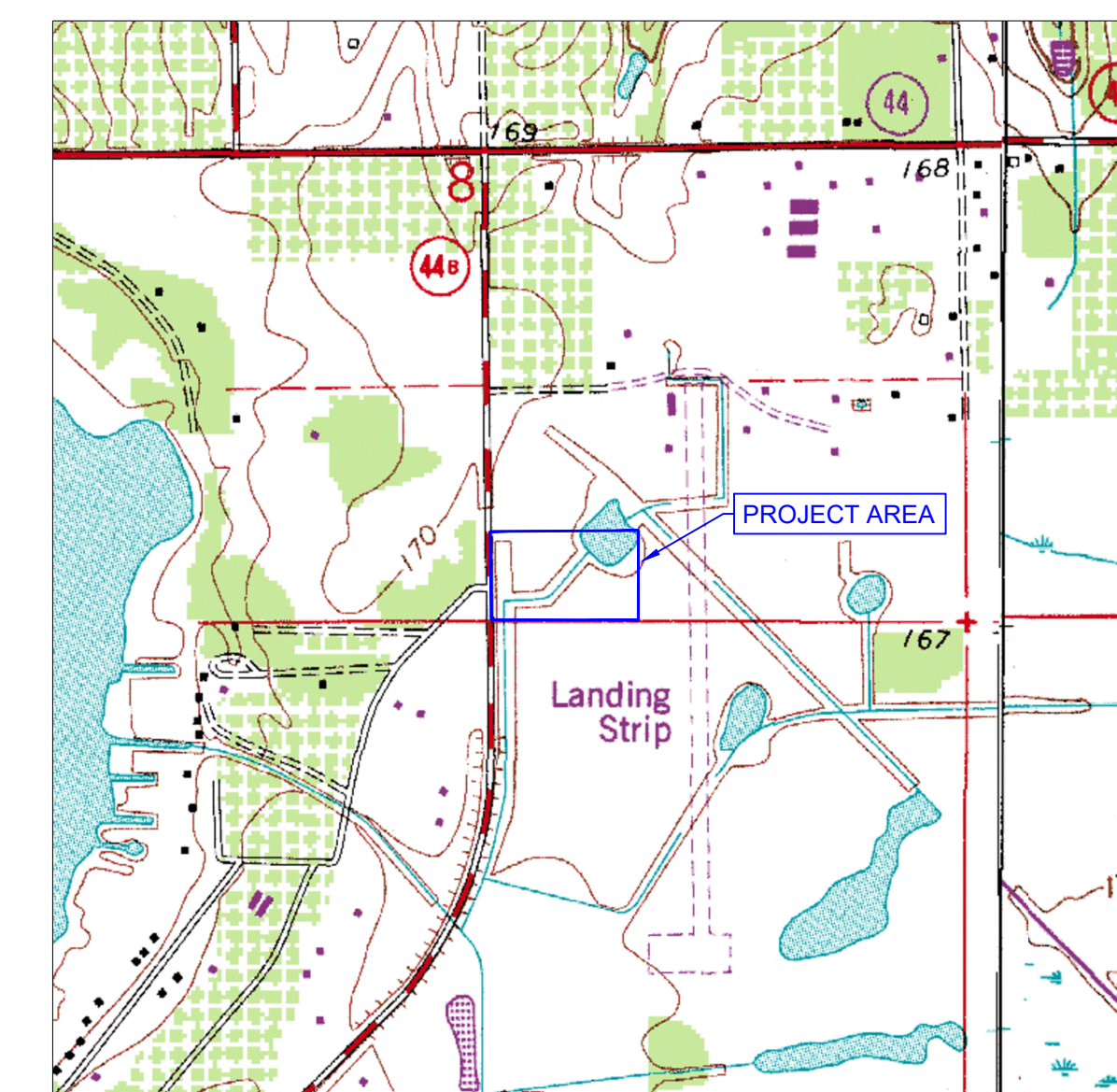
GENERAL NOTES:

- PARCEL INFORMATION
 - ALTERNATE KEY(S) - 2612533 & 2612517
 - TOTAL AREA - 49.37 AC (AS DEPICTED)
 - EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL & VACANT MIXED USE LAND
 - EXISTING FUTURE LAND USE & DESIGN DISTRICT (CITY OF EUSTIS)
 - DESIGN DISTRICT - SUBURBAN NEIGHBORHOOD
 - FUTURE LAND USE - MCR (MIXED COMMERCIAL/RESIDENTIAL)
- EXISTING LAND USE
 - UPLAND AREA - 8.9 AC
 - WETLAND AREA - 0.34 AC
 - WATER (DITCH) - 0.12 AC
- LAND PLANNING REQUIREMENTS
 - MAX DENSITY - 12 DU/AC
 - MAX FAR - 2.0
 - MAX ISR (COMMERCIAL AREA) - 75%
 - MAX ISR (RESIDENTIAL AREA) - 40%
 - MAX LOT COVERAGE - 80%
 - MAX BUILDING HEIGHT - 35'
 - MIN OPEN SPACE (COMMERCIAL AREA) - 20%
 - MIN OPEN SPACE (RESIDENTIAL AREA) - 25%
 - LANDSCAPE BUFFERS
 - STREET - 15'-24' MIN REQUIRED
 - SIDE - 10' MIN REQUIRED
 - REAR - 10' MIN REQUIRED
- LOT TYPOLOGY DETAILS & REQUIREMENTS
 - COMMERCIAL AREA - CIVIL BUILDING LOT
 - NO MIN. OR MAX. DEPTH OR WIDTH REQUIREMENTS
 - BUILDING SETBACKS
 - STREET - 0' MIN / NO MAX REQUIREMENT
 - COMMON LOT - 0' MIN / NO MAX REQUIREMENT
 - REAR SETBACK - 10' MIN / NO MAX REQUIREMENT
 - BUILDOUT REQUIREMENTS - N/A
 - PARKING - ALL ZONES PERMITTED
 - MULTIFAMILY RESIDENTIAL AREA - TOWNHOUSE LOT
 - WIDTH - 22' MIN / 32' MAX
 - DEPTH - 80' MIN / 120' MAX
 - BUILDING SETBACKS
 - STREET - 0' MIN / 10' MAX
 - ALLEY - 15' MIN
 - GARAGE - 18' (MIN)
 - BUILDOUT REQUIREMENTS - 70% (MIN)
 - PARKING - ZONE 3 PERMITTED ONLY
- BOUNDARY & TOPOGRAPHY SURVEY PROVIDED BY: ACCUMAP SURVEYING, LLC.
- DECORATIVE SITE LIGHTING WILL BE COORDINATED DURING CONSTRUCTION PHASE
- ALL EXISTING SITE MONUMENTATION SHALL BE PRESERVED & PERPETUATED
- GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE PAINTED DARK GREEN OR BLACK & SCREENED WITH A 24" HEDGE
- THESE PARCELS LAY WITHIN THE 100YR FLOODPLAIN PER FEMA MAP PANELS
 - PANEL NO. 12069C0357E
 - DATED: 12/18/2012
- SITE SOILS INCLUDE:
 - 28 - MYAKKA-MYAKKA WET SAND, 0-2% SLOPES (HYD. A/D)
 - 38 - PLACID SAND, FREQUENTLY PONDED, 0-2% SLOPES (HYD. A/D)
 - 40 - PLACID & MYAKKA SAND, DEPRESSIONAL (HYD. A/D)
 - 42 - POMPANO SAND (HYD. A/D)
- UTILITY PROVIDERS:
 - POTABLE WATER: CITY OF EUSTIS
 - RECLAIMED WATER: ONSITE WELL (PROVISIONS MADE FOR FUTURE CITY CONNECTION)
 - SEWER: CITY OF EUSTIS
 - GAS: NOT AVAILABLE
 - SOLID WASTE: CITY OF EUSTIS (RESIDENTIAL AREAS WILL UTILIZE CURB-SIDE PICKUP)
 - POWER: SECO ENERGY
- VERTICAL DATUM - NAVD 88

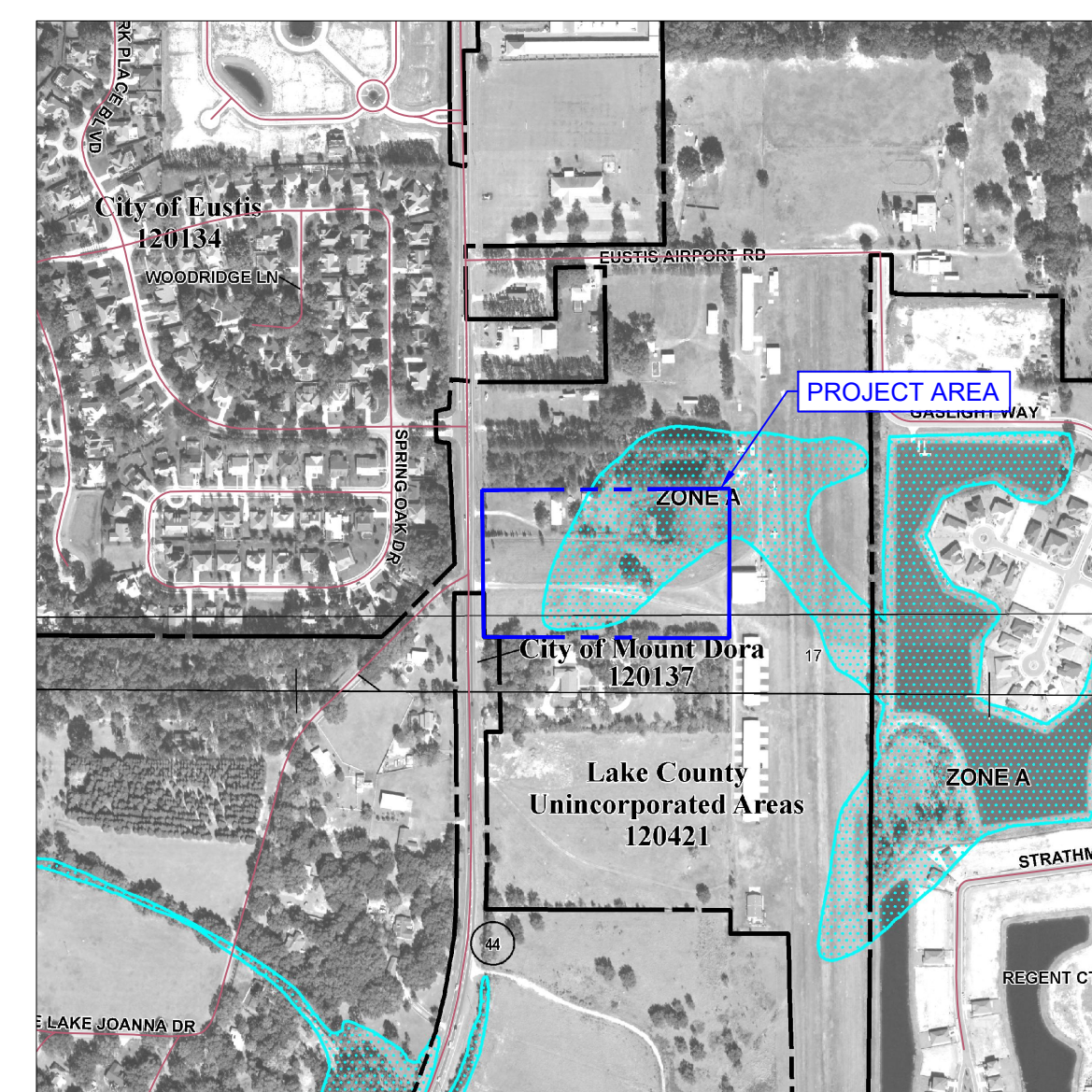


CIVIL ENGINEER'S TABLE OF SHEETS

- PP0.00 - COVER SHEET
- PP1.00 - EXISTING CONDITIONS
- PP2.00 - PRELIMINARY PLAT
- PP2.10 - PRELIMINARY DEVELOPMENT PLAN
- PP3.00 - PRELIMINARY DRAINAGE PLAN
- PP4.00 - PRELIMINARY UTILITY PLAN

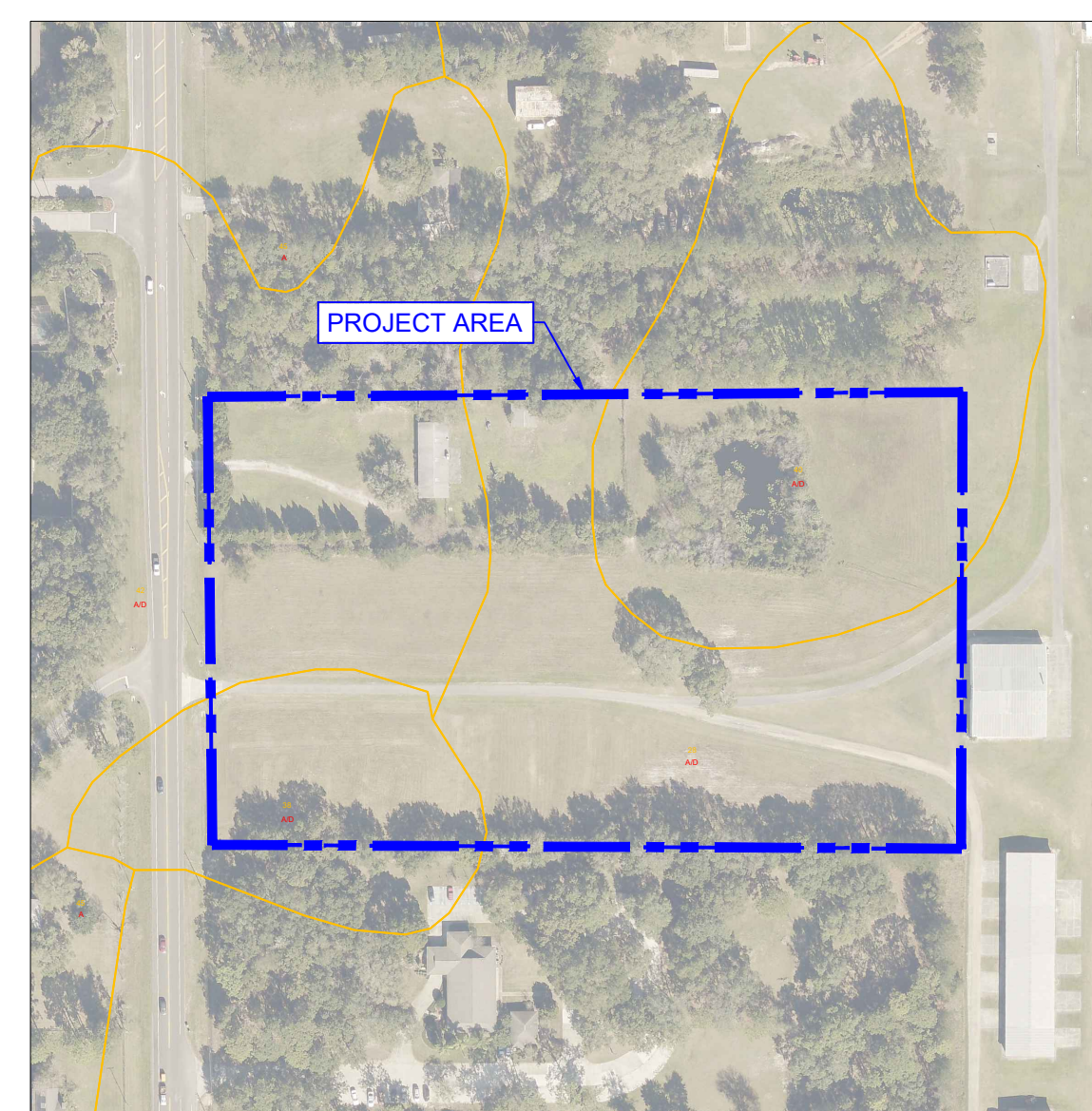


QUAD MAP: MRG 3914
USGS QUAD MAP
SEC 08 - TWP 19S - RNG 27E
SCALE: 1" = 1000'



MAPS #12069C0357E
(ONSITE) & #12069C0359E
MAP DATES: 12/18/2012

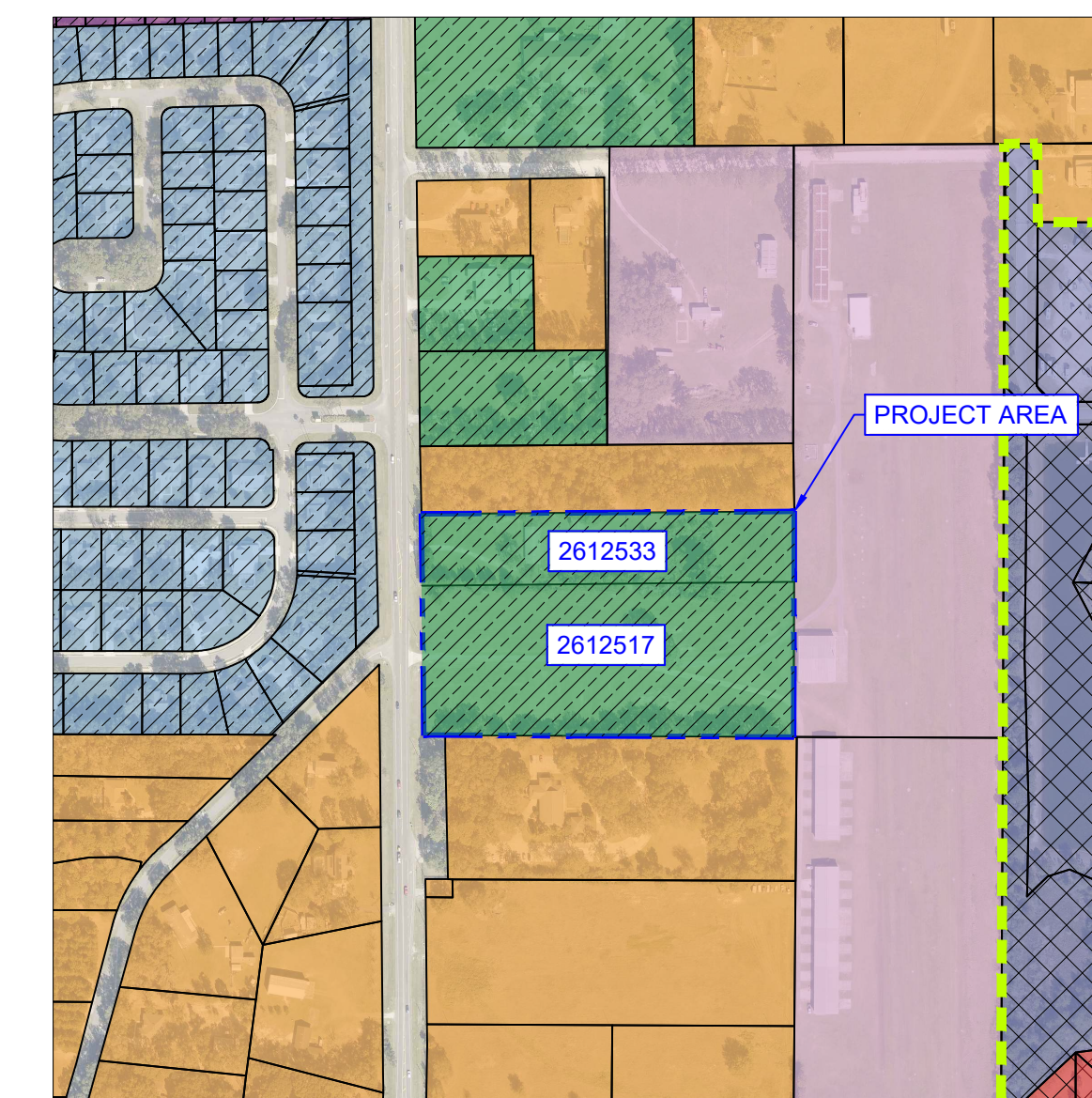
FEMA FLOOD MAP
SEC 08 - TWP 19S - RNG 27E
SCALE: 1" = 600'



LAKE COUNTY SOILS LEGEND:

- 28 - MYAKKA MYAKKA WET SANDS 0-2% SLOPES (HYD. A/D)
- 38 - PLACID SAND FREQUENTLY PONDED 0-2% SLOPES (HYD. A/D)
- 40 - PLACID & MYAKKA SANDS DEPRESSIONAL (HYD. A/D)
- 42 - POMPANO SAND (HYD. A/D)
- 45 - TAVARES SAND 0-5% SLOPES (HYD. A)

NRCS SOILS MAP
SEC 08 - TWP 19S - RNG 27E
SCALE: 1" = 200'



CITY OF EUSTIS FUTURE LAND USE LEGEND:

- (SR) SUBURBAN RESIDENTIAL
- (UR) URBAN RESIDENTIAL
- (MCR) MIXED USE COMMERCIAL/RESIDENTIAL

CITY OF MT. DORA FUTURE LAND USE LEGEND:

- (LD) LOW DENSITY
- (MD) MEDIUM DENSITY

FLU MAP

SEC 08 - TWP 19S - RNG 27E
SCALE: 1" = 300'

UNINCORPORATED LAKE COUNTY FUTURE LAND USE LEGEND:

- URBAN LOW DENSITY
- PUBLIC SERVICE FACILITY & INFRASTRUCTURE

DRAWN BY: JH & WG
CHECKED BY: DC

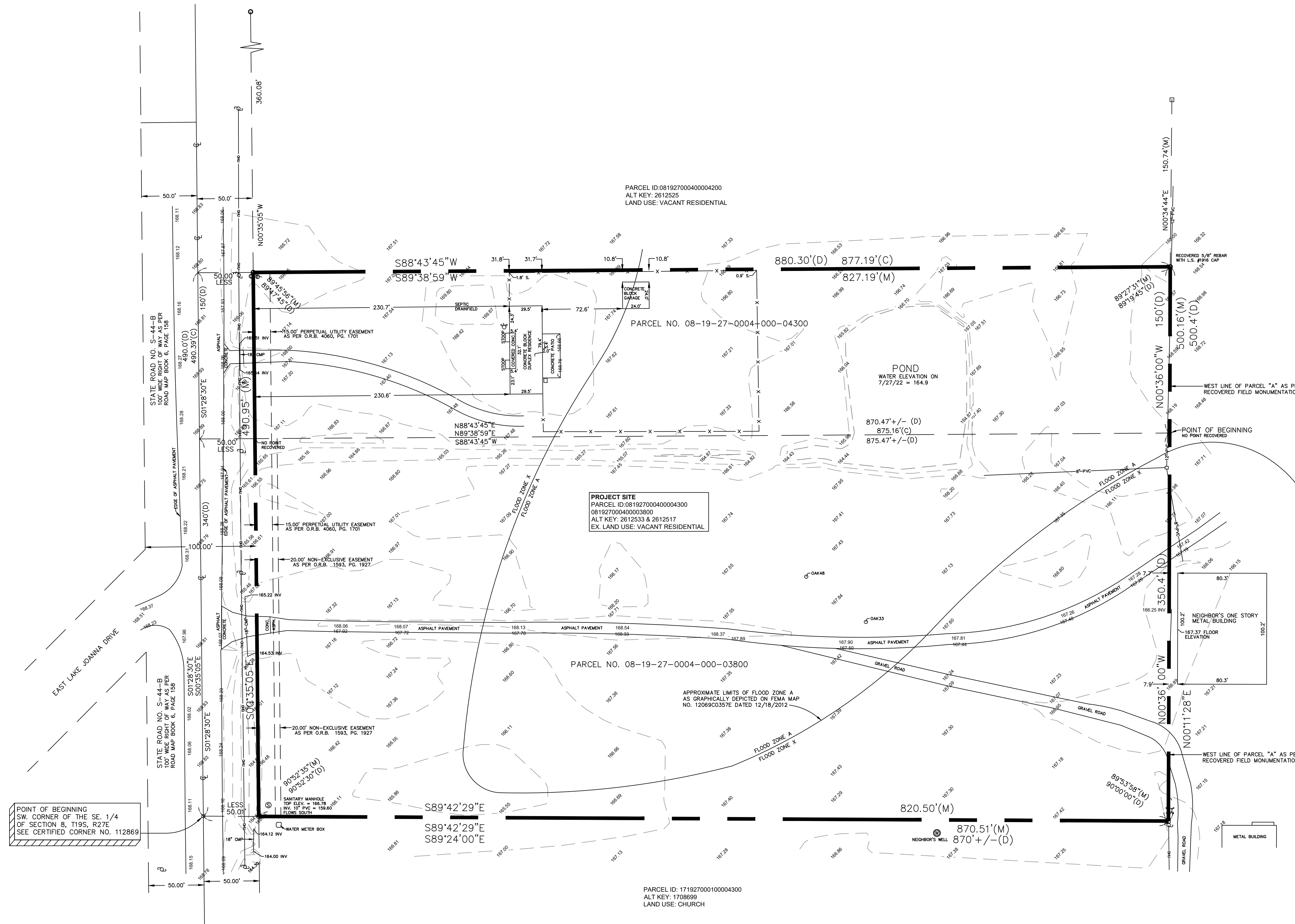
FILE NUMBER:
23108-01

ISSUE DATE:
04/18/2023

SHEET SIZE
24 X 36

COVER SHEET

SHEET NUMBER
PP0.00



Legal Description:

From the Southwest corner of the Southeast 1/4 of Section 8, Township 19 South, Range 27 East, Lake County, Florida, run thence North 89°24' East 870 feet, more or less, to the West line of Parcel "A" as described in Official Records Book 314, Page 630, public records of Lake County, Florida, run thence North 0°36' West along said West line 350.4 feet; thence South 88°43'45" West 875.47 feet, more or less to the center line of State Road No. S-44-B; thence South 1°28'30" East along said center line 340 feet to the Point of Beginning. LESS right of way of State Road No. S-44-B.

AND:
From the Southwest corner of the SE1/4 of Section 8, Township 19 South, Range 27 East, Lake County, Florida, run thence North 89°24' East 870 feet, more or less, to the West line of Parcel "A" as described in Official Records Book 314, Page 630, Public Records of Lake County, Florida, run thence North 0°36' West along said West line 350.4 feet to the POINT OF BEGINNING; thence continue North 0°36' West along said West line 150 feet; thence South 88°43'45" West 880.3 feet to the center line of State Road No. 44-B; thence South 1°28'30" East along said center line of State Road No. 44-B 150 feet; thence North 88°43'45" East 870.47 feet, more or less, to the POINT OF BEGINNING. LESS the Right of Way for State Road No. 44-B.

SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREON ARE BASED ON THE WEST LINE OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 19 SOUTH, RANGE 27 EAST HAVING AN ASSUMED BEARING OF S00°35'05"E.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TWO TITLE COMMITMENTS ISSUED BY WFG NATIONAL TITLE INSURANCE COMPANY ON 7/7/22 WITH COMMITMENT NUMBERS 2167507 AND 2167513. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY AND TOPOGRAPHIC INFORMATION TO BE USED FOR PLANNING AND ANALYSIS OF POTENTIAL SITE IMPROVEMENTS.

REFERRING TO BOTH OF THE TITLE COMMITMENTS LISTED ABOVE, EXCEPTION 9 IN EACH OF THE LISTED COMMITMENTS REFERS TO A ROAD RIGHT OF WAY EASEMENT RESERVATION SET FORTH IN DEED BOOK 191, PAGE 203 OF THE LAKE COUNTY PUBLIC RECORDS. IT IS THE OPINION OF THIS SURVEYOR THAT NEITHER OF THE SUBJECT PROPERTIES SHOWN AND DESCRIBED HEREON IS A PART OF THE LANDS DESCRIBED IN DEED BOOK 191, PAGE 203. THE SUBJECT PROPERTIES ARE NOT SUBJECT TO THE EASEMENT RESERVATION.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN.

THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE AND/OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND LOCATIONS AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE THAT COULD BE LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "A" (NO BASE FLOOD ELEVATION) AND FLOOD ZONE "X" AS GRAPHICALLY DEPICTED HEREON. SEE MAP NUMBER 12069C0357 E, DATED 12-18-2012.

ELEVATIONS AS SHOWN HEREON ARE BASED ON LAKE COUNTY BENCHMARK E-468 WHICH ALSO HAS BEEN ASSIGNED NATIONAL GEODETIC SURVEY CONTROL PID NUMBER A91444. SAID BENCHMARK IS LOCATED AT THE SOUTHWEST CORNER OF STATE ROADS 44 AND 44B AND HAS A PUBLISHED ELEVATION OF 167.14, NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SITE BENCHMARK: THE TOP OF THE NORTHWEST CORNER OF THE DRAINAGE INLET LOCATED ALONG THE EAST PROPERTY LINE SOUTH OF THE POINT OF BEGINNING HAS AN ELEVATION OF 167.49, NAVD 88.

THE SUBJECT PROPERTIES CONTAIN 408,248 SQUARE FEET OR 9.37 ACRES, MORE OR LESS.
SURVEY DATE (LAST DATE OF FIELD WORK): JULY 27, 2022.

MAP LEGEND:

- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
- (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
- (M) INDICATES A MEASURED DISTANCE AND/OR DIRECTION.
- LB INDICATES LAND SURVEYING BUSINESS.
- LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
- INDICATES A RECOVERED 5/8" REBAR, NO CAP OR IDENTIFICATION
- INDICATES A RECOVERED 4" X 4" CONCRETE PYRAMID TOP MONUMENT.
- ⊕ INDICATES A SET 5/8" REBAR WITH LB #7541 "ACCUMAP" CAP.
- ⊕ INDICATES THE CENTERLINE OF STATE ROAD S-44-B RIGHT OF WAY.
- ⊕ INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
- ⊕ INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- ⊕ INDICATES A SPOT ELEVATION SHOT AT THE INVERT OF A PIPE.
- ⊕ INDICATES A FIRE HYDRANT AND VALVE ASSEMBLY.
- ⊕ INDICATES A WOOD UTILITY POLE.
- ⊕ INDICATES A GUY WIRE ANCHOR.
- ⊕ INDICATES A SANITARY SEWER MANHOLE.
- ⊕ INDICATES A COMMUNICATIONS JUNCTION BOX.
- ⊕ INDICATES AN ELECTRIC JUNCTION BOX.
- x — x — INDICATES A BARBED AND/OR WIRE MESH FENCE.
- OHU — OHU — INDICATES OVERHEAD UTILITY LINE(S).
- 167 — INDICATES THE APPROXIMATE LOCATION OF THE 167 FOOT CONTOUR.
- ⊕ OAK33 INDICATES AN OAK TREE HAVING A 33" DIAMETER AT BREAST HEIGHT.

SCALE: 1" = 50'
SCALE IN FEET

Item 5.1
05-16-2023
REVISIONS:
1- REVISIONS PER CITY COMMENTS

Civil Engineering Solutions, Inc.
Civil & Environmental Engineering
322 North Rockingham Ave., Tallahassee, FL 32310
Phone: 904.742.2011 Fax: 904.742.2044
State of Florida Certificate of Authorization #25985
David Church, P.E., P.L.C. #47882
Date:

**HUDDLE PLACE
PRELIMINARY PLAT/PLAN**
EUSTIS, FLORIDA

DRAWN BY: JH & WG
CHECKED BY: DC

FILE NUMBER:
23108-01

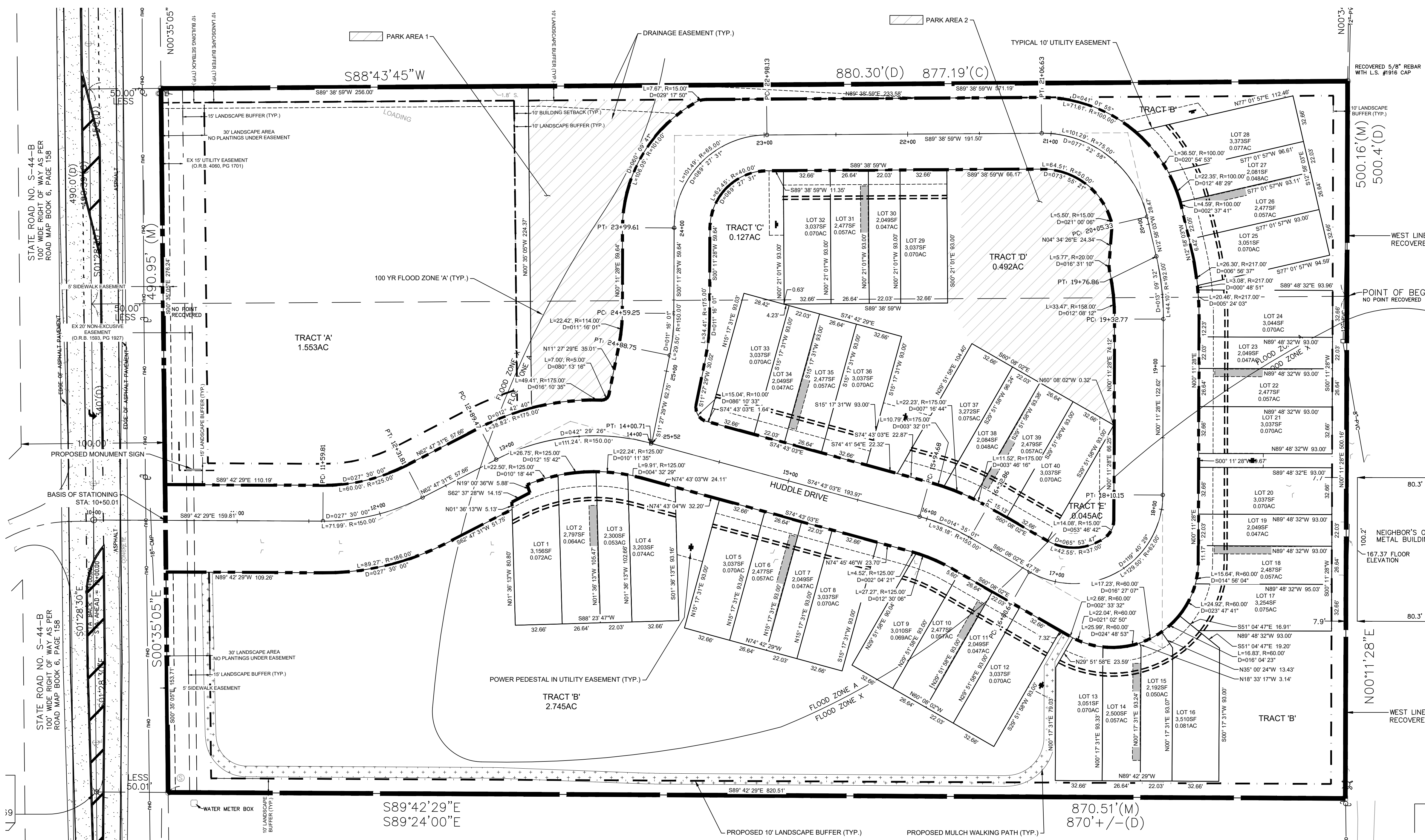
ISSUE DATE:
04/18/2023

SHEET SIZE
24 X 36

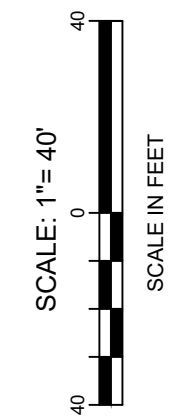
EXISTING CONDITIONS

SHEET NUMBER
PP1.00

140



Park Area Tabulation		
Park Area Required		
Subdivision Size	Min. Park Size	
25-49 Subdivision Lots	1/2 AC	
Park Area Provided		
Park Area Provided	Area (AC)	
1	0.337	
2	0.357	
Total	0.694	



Tract Data & Use Description			
Tract ID	Description	Area	
		SF	AC
A	Commercial Parcel	67,640	1.553
B	Storm & Flood Facilities, Landscaping, Utilities, Park & Open Space	119,576	2.745
C	Landscaping, Utilities, Open Space & Park	5,519	0.127
D	Storm & Flood Facilities, Conservation, Landscaping, Utilities, Park & Open Space	21,436	0.492
E	Landscaping, Utilities, Open Space & Park	1,962	0.045
R.O.W.	Road, Sidewalk, Parking, & Utilities (HDA Maintained, Private)	83,741	1.922
Lots	Residential Lots	108,374	2.488
Total:		408,248	9.372

GENERAL NOTES:

- PARCEL INFORMATION
 - ALTERNATE KEY(S) - 2612533 & 2612517
 - TOTAL AREA - 49.37 AC (AS DEPICTED)
 - EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL & VACANT MIXED USE LAND
 - EXISTING FUTURE LAND USE & DESIGN DISTRICT (CITY OF EUSTIS)
 - DESIGN DISTRICT - SUBURBAN NEIGHBORHOOD
 - FUTURE LAND USE - MCR (MIXED COMMERCIAL/RESIDENTIAL)
- EXISTING LAND USE
 - UPLAND AREA - 8.9 AC
 - WETLAND AREA - 0.34 AC
 - WATER (DITCH) - 0.12 AC
- LAND PLANNING REQUIREMENTS
 - MAX DENSITY - 12 DU/AC
 - MAX FAR - 2.0
 - MAX ISR (COMMERCIAL AREA) - 75%
 - MAX ISR (RESIDENTIAL AREA) - 40%
 - MAX LOT COVERAGE - 80%
 - MAX BUILDING HEIGHT - 35'
 - MIN OPEN SPACE (COMMERCIAL AREA) - 20%
 - MIN OPEN SPACE (RESIDENTIAL AREA) - 25%
 - LANDSCAPE BUFFERS
 - STREET - 15'-24' MIN REQUIRED
 - SIDE - 10' MIN REQUIRED
 - REAR - 10' MIN REQUIRED
- LOT TYPOLOGY DETAILS & REQUIREMENTS
 - COMMERCIAL AREA - CIVIL BUILDING LOT
 - NO MIN. OR MAX. DEPTH OR WIDTH REQUIREMENTS
 - BUILDING SETBACKS
 - STREET - 0' MIN / NO MAX REQUIREMENT
 - COMMON LOT - 0' MIN / NO MAX REQUIREMENT
 - REAR SETBACK - 10' MIN / NO MAX REQUIREMENT
 - BUILDOUT REQUIREMENTS - N/A
 - PARKING - ALL ZONES PERMITTED
 - MULTIFAMILY RESIDENTIAL AREA - TOWNHOUSE LOT
 - WIDTH - 22' MIN / 32' MAX
 - DEPTH - 80' MIN / 120' MAX
 - BUILDING SETBACKS
 - STREET - 0' MIN / 10' MAX
 - ALLEY - 15' MIN
 - GARAGE - 18' (MIN)
 - BUILDOUT REQUIREMENTS - 70% (MIN)
 - PARKING - ZONE 3 PERMITTED ONLY
- BOUNDARY & TOPOGRAPHY SURVEY PROVIDED BY: ACCUMAP SURVEYING, LLC.
- DECORATIVE SITE LIGHTING WILL BE COORDINATED DURING CONSTRUCTION PHASE
- ALL EXISTING SITE MONUMENTATION SHALL BE PRESERVED & PERPETUATED
- GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE PAINTED DARK GREEN OR BLACK & SCREENED WITH A 24" HEDGE
- THESE PARCELS LAY WITHIN THE 100YR FLOODPLAIN PER FEMA MAP PANELS PANEL NO. 12069C0357E DATED: 12/18/2012
- SITE SOILS INCLUDE:
 - MYAKKA-MYAKKA WET SAND, 0-2% SLOPES (HYD. A/D)
 - PLACID SAND, FREQUENTLY POINDED, 0-2% SLOPES (HYD. A/D)
 - PLACID & MYAKKA SAND, DEPRESSIONAL (HYD. A/D)
 - POMPAHO SAND (HYD. A/D)
- UTILITY PROVIDERS:
 - POTABLE WATER: CITY OF EUSTIS
 - RECLAIMED WATER: ONSITE WELL (PROVISIONS MADE FOR FUTURE CITY CONNECTION)
 - SEWER: CITY OF EUSTIS
 - GAS: NOT AVAILABLE
 - SOLID WASTE: CITY OF EUSTIS (RESIDENTIAL AREAS WILL UTILIZE CURB-SIDE PICKUP)
 - POWER: SECO ENERGY
- VERTICAL DATUM - NAVD 88

LEGEND	
	SITE BOUNDARY
	SILT FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	INTERPOLATED ELEVATION
	EXISTING SANITARY
	EXISTING WATERMAIN
	EXISTING OVERHEAD POWER
	PROPOSED SANITARY
	PROPOSED WATER SERVICE LINE
	PROPOSED WATER MAIN
	PROPOSED RECLAIMED WATER MAIN
	GRADE BREAK
	FLOW ARROW
	BACTERIAL SAMPLING POINT
	SANITARY HAZARD
	PROPOSED ELECTRICAL CONDUIT
	UTILITY EASEMENT
	LANDSCAPE BUFFER

Item 5.1
05-16-2023
REVISIONS:
1- REVISIONS PER CITY COMMENTS

Civil Engineering Solutions, Inc.
Civil & Environmental Engineering
322 North Rockingham Ave., Tallahassee, FL 32378
Phone: 907.742.2011 Fax: 907.742.0044
State of Florida Certificate of Authorization #256985
David Chiles, P.E., P.L.C. #74788E
Date:

**HUDDLE PLACE
PRELIMINARY PLAT/PLAN**
EUSTIS, FLORIDA

DRAWN BY: JH & WG
CHECKED BY: DC

FILE NUMBER:
23108-01

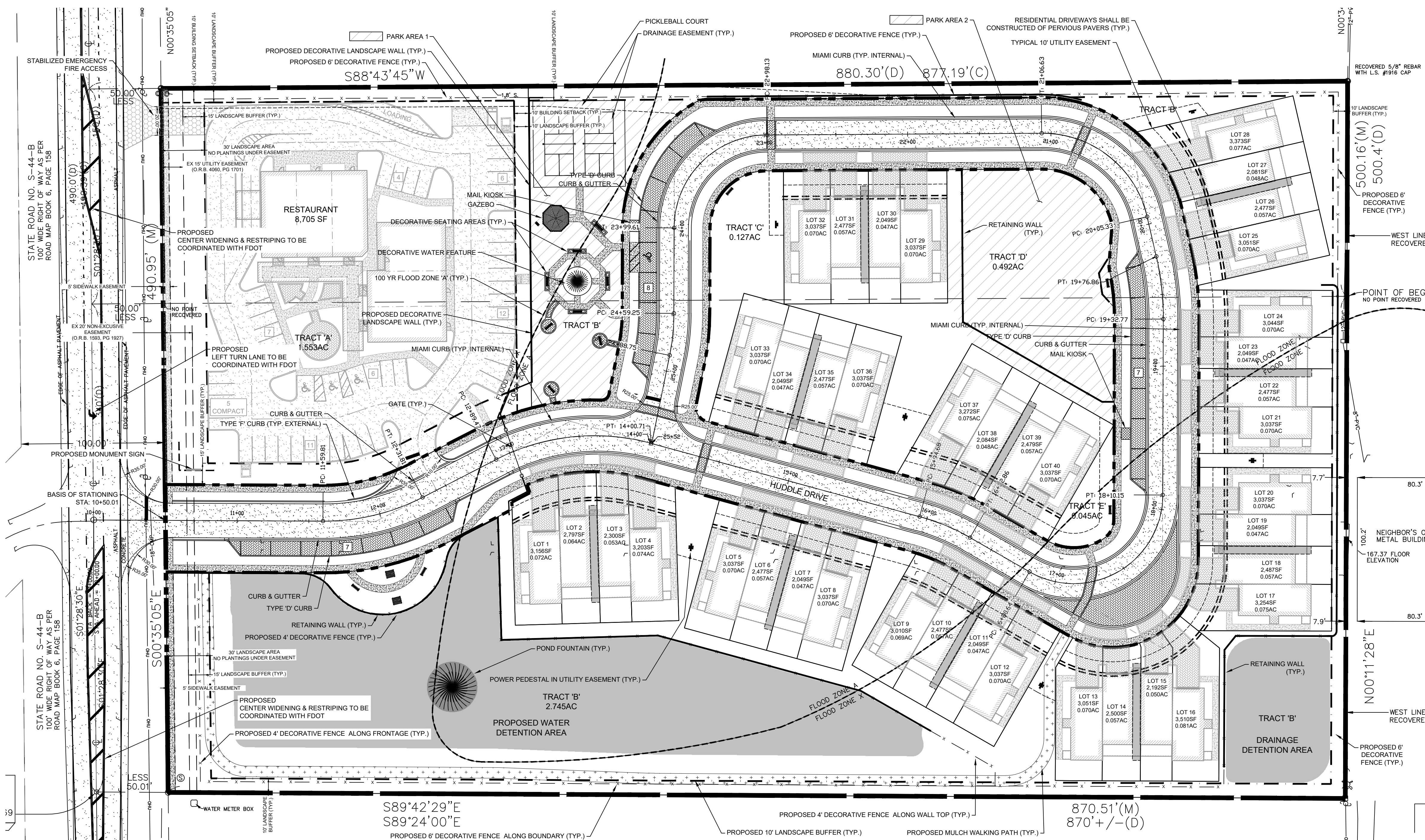
ISSUE DATE:
04/18/2023

SHEET SIZE
24 X 36

PRELIMINARY PLAT

SHEET NUMBER
PP2.00

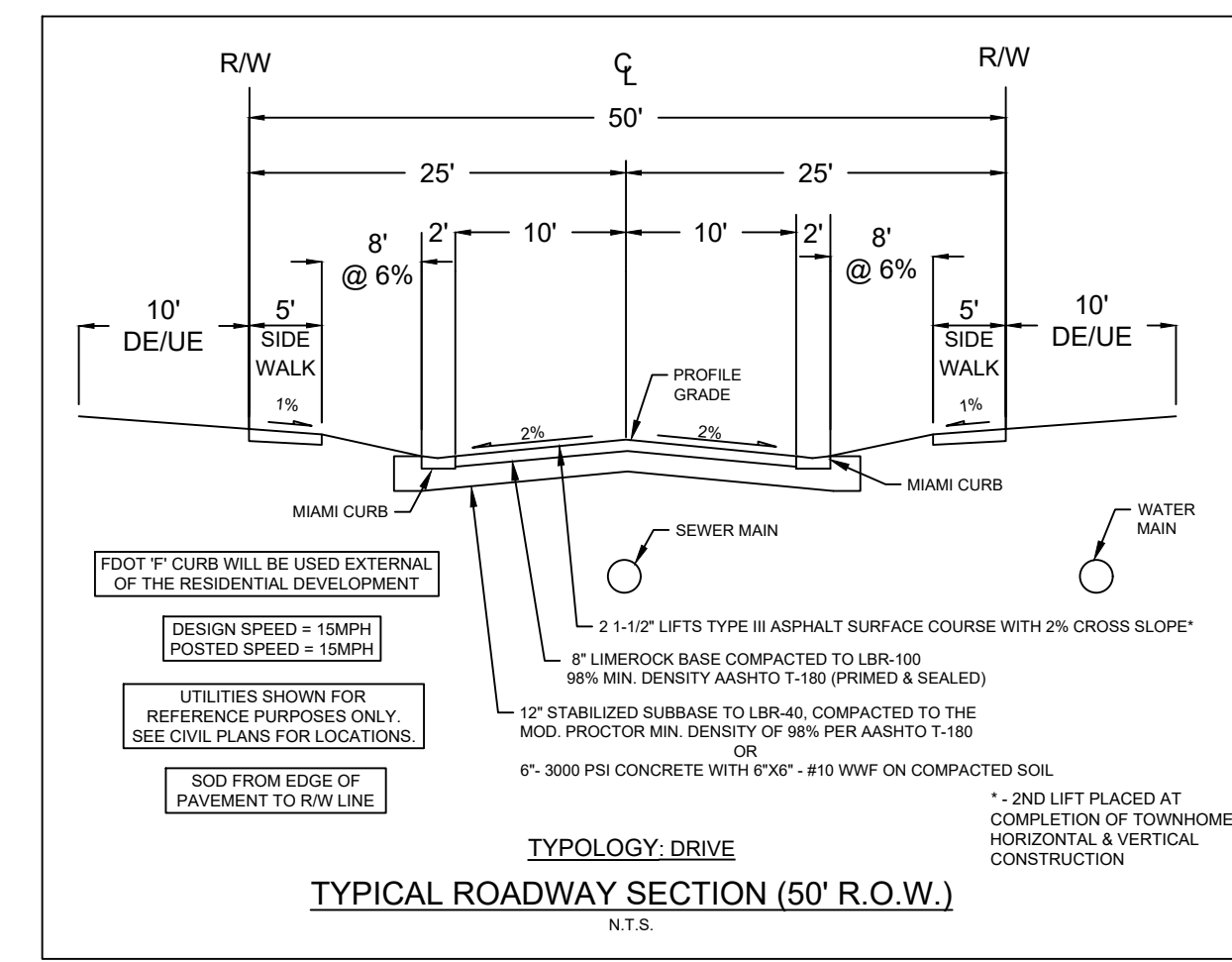
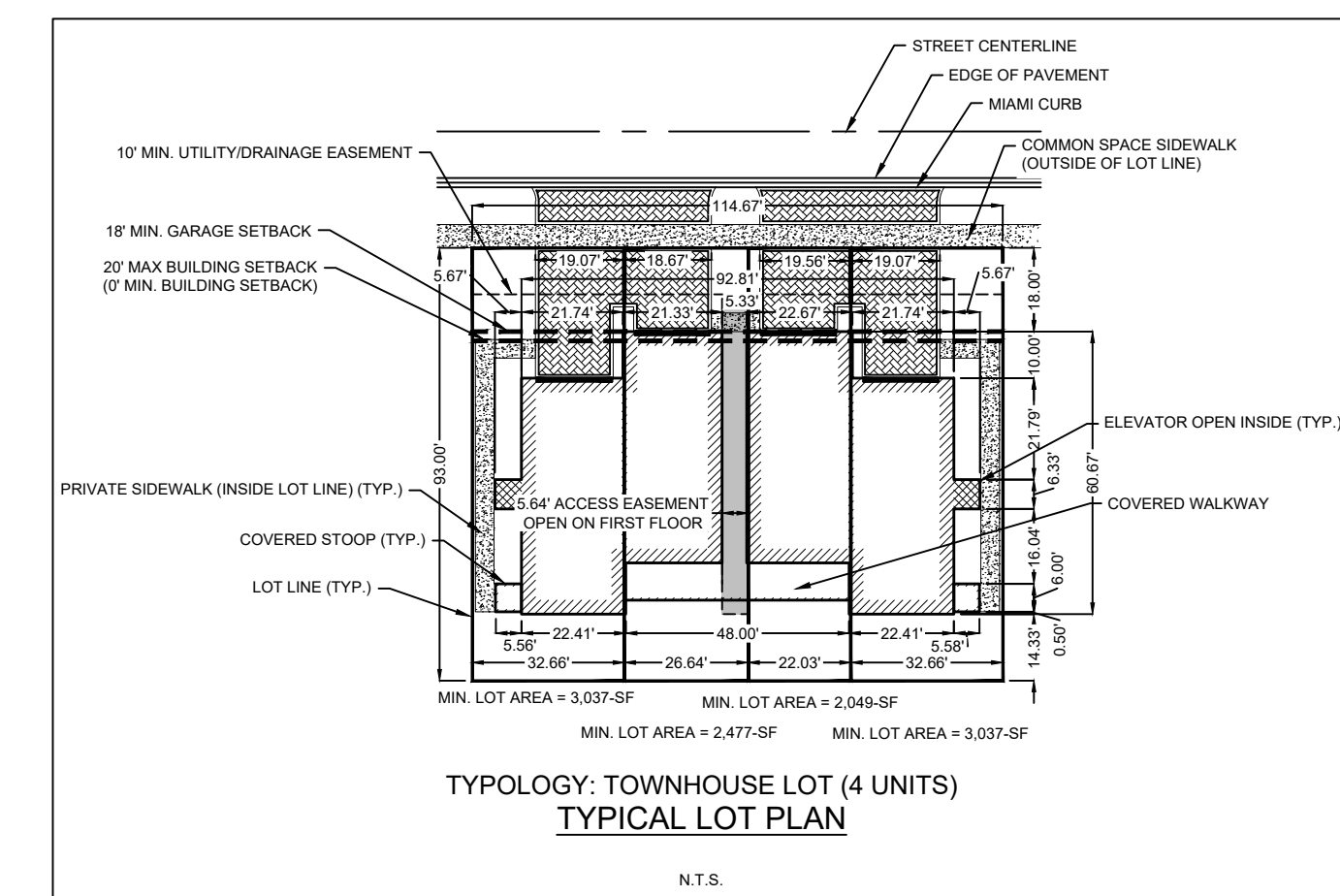
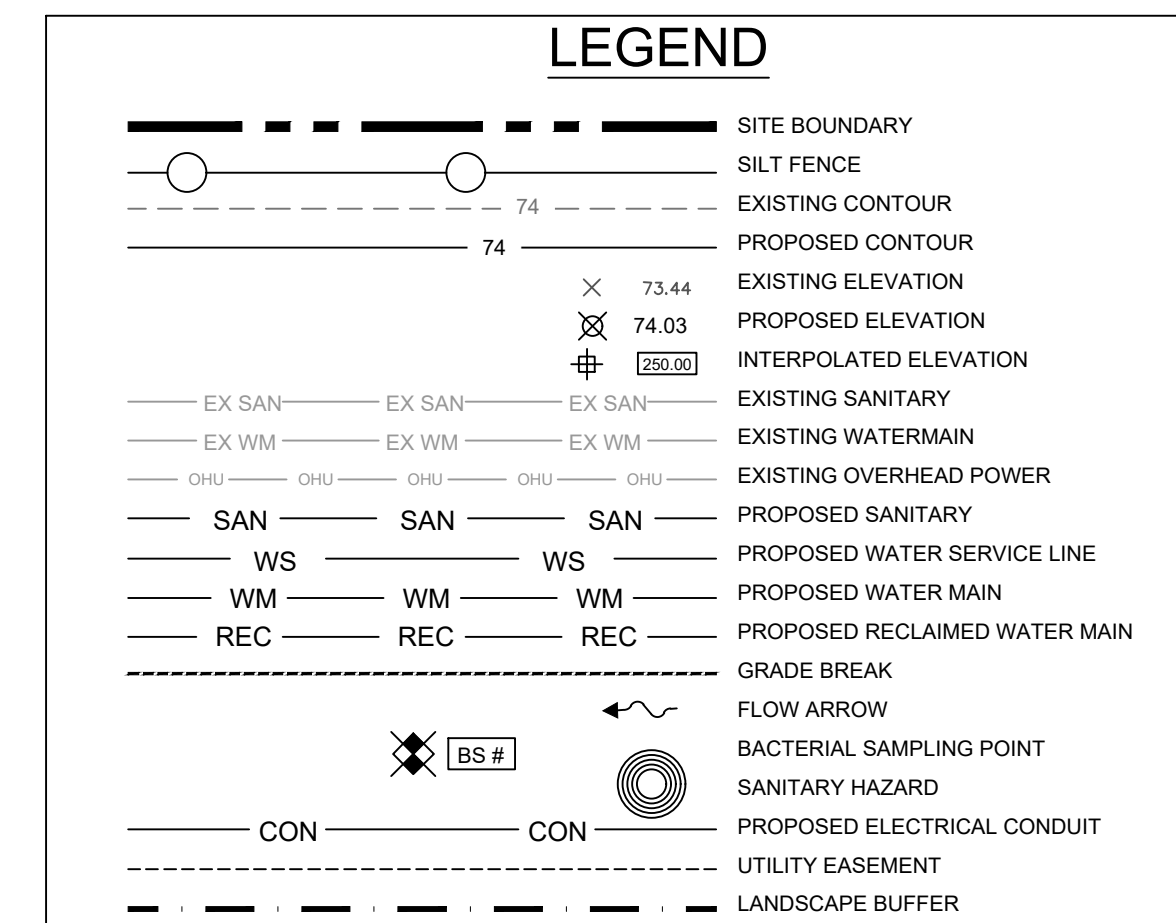
141



Parking Calculation	
Town Homes	
Total Units	40
Parking Rate	2 Per Unit
Calculation	40 x 2 = 80
Subtotal Required	80 Spaces
Total Provided Parking	80 Spaces (2-Car Garage) + 15 Street Spaces
Restaurant	
Vehicle Parking	
Total Building Area	8,705 SF
Parking Rate	5 Spaces per 1,000 SF
Calculation	8,705 x 5 / 1,000 = 43.5
Subtotal Required	44 Spaces
Compact Parking Rate	20% Required Parking
Compact Parking Calculation	44 x 0.2 = 8.8
Total Allowable Compact Spaces	8 Spaces
Proposed Parking Breakdown	3 HC Spaces, 5 Compact Spaces, 7 Street Spaces, 43 Onsite Standard Spaces
Total Provided Parking	58 Spaces
Bicycle Parking	
Parking Rate	0.05 per Vehicle Parking Space
Calculation	58 x 0.05 = 2.9
Subtotal Required	3 Spaces
Total Provided Parking	3 Space Bike Rack
Loading Zone	
Rate	1 Space For the First 10,000 SF GFA + 1 Space per 20,000 SF After
Calculation	8,840 / 10,000 = 0.88
Subtotal Required	1 Space
Total Provided Loading Zones	1 Space

- Density Calculations**
- | Residential Area | |
|-----------------------|-----------------------------|
| Total Area | 7.819 AC |
| Total Units | 40 (5.1 DU/AC) |
| Total Open Space | 3.409 AC (43.6%) |
| Total Impervious Area | 2.771 AC (35.4%) |
| Total Pervious Pavers | 0.661 AC (8.5%) |
| Commercial Area | |
| Total Lot Area | 1.553 AC |
| Total Building Area | 8,705 SF (0.200 AC) (1.129) |
| Total Impervious Area | 1.016 AC (64.4%) |
| Total Pervious Pavers | 0.022 AC (1.4%) |
- GENERAL NOTES:**
- PARCEL INFORMATION
 - ALTERNATE KEY(S) - 2612533 & 2612517
 - TOTAL AREA - 49.37 AC (AS DEPICTED)
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 - EXISTING FUTURE LAND USE & DESIGN DISTRICT (CITY OF EUSTIS)
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 - THESE PARCELS LAY WITHIN THE 100YR FLOODPLAIN PER FEMA MAP PANELS

PANEL NO. 120680C0357E
DATED: 12/19/2012
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 - UTILITY PROVIDERS:
 - POTABLE WATER: CITY OF EUSTIS
 - RECLAIMED WATER: ONSITE WELL, (PROVISIONS MADE FOR FUTURE CITY CONNECTION)
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 - SOLID WASTE: CITY OF EUSTIS (RESIDENTIAL AREAS WILL UTILIZE CURB-SIDE PICKUP)
 - POWER: SECO ENERGY
 - VERTICAL DATUM - NAVD 88



Item 5.1
05-16-2023

REVISIONS:
1- REVISIONS PER CITY COMMENTS

Civil Engineering Solutions, Inc.
Civil & Environmental Engineering

322 North Rockingham Ave., Tallahassee, FL 32378
Phone: 907.742.2011 Fax: 907.742.0044
State of Florida Certificate of Authorization #25895

David Chiles, P.E., F.L.E., L.C.# 71826
Date:

HUDDLE PLACE
PRELIMINARY PLAT/PLAN
EUSTIS, FLORIDA

DRAWN BY: JH & WG
CHECKED BY: DC

FILE NUMBER:
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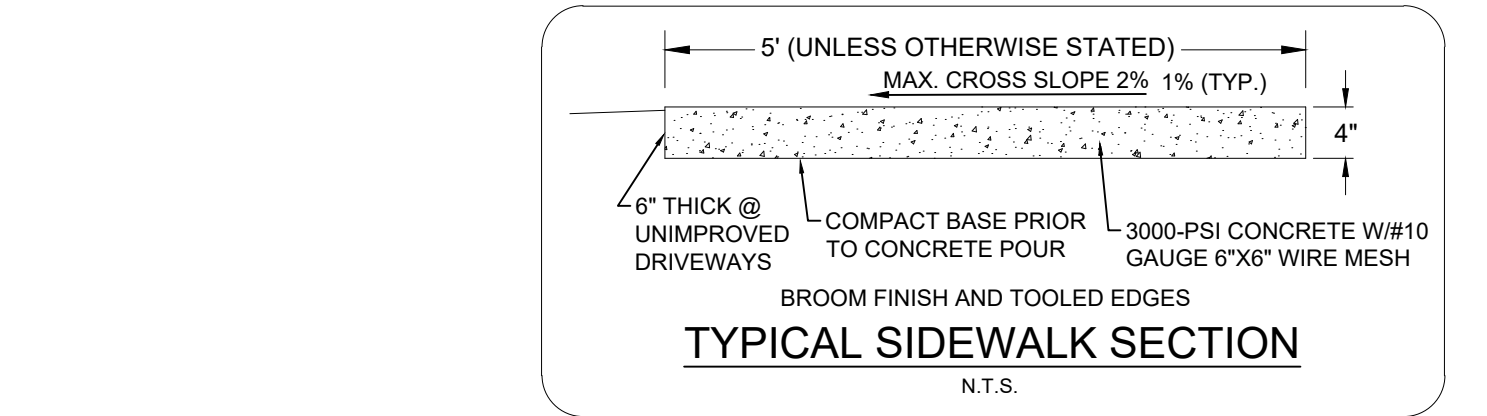
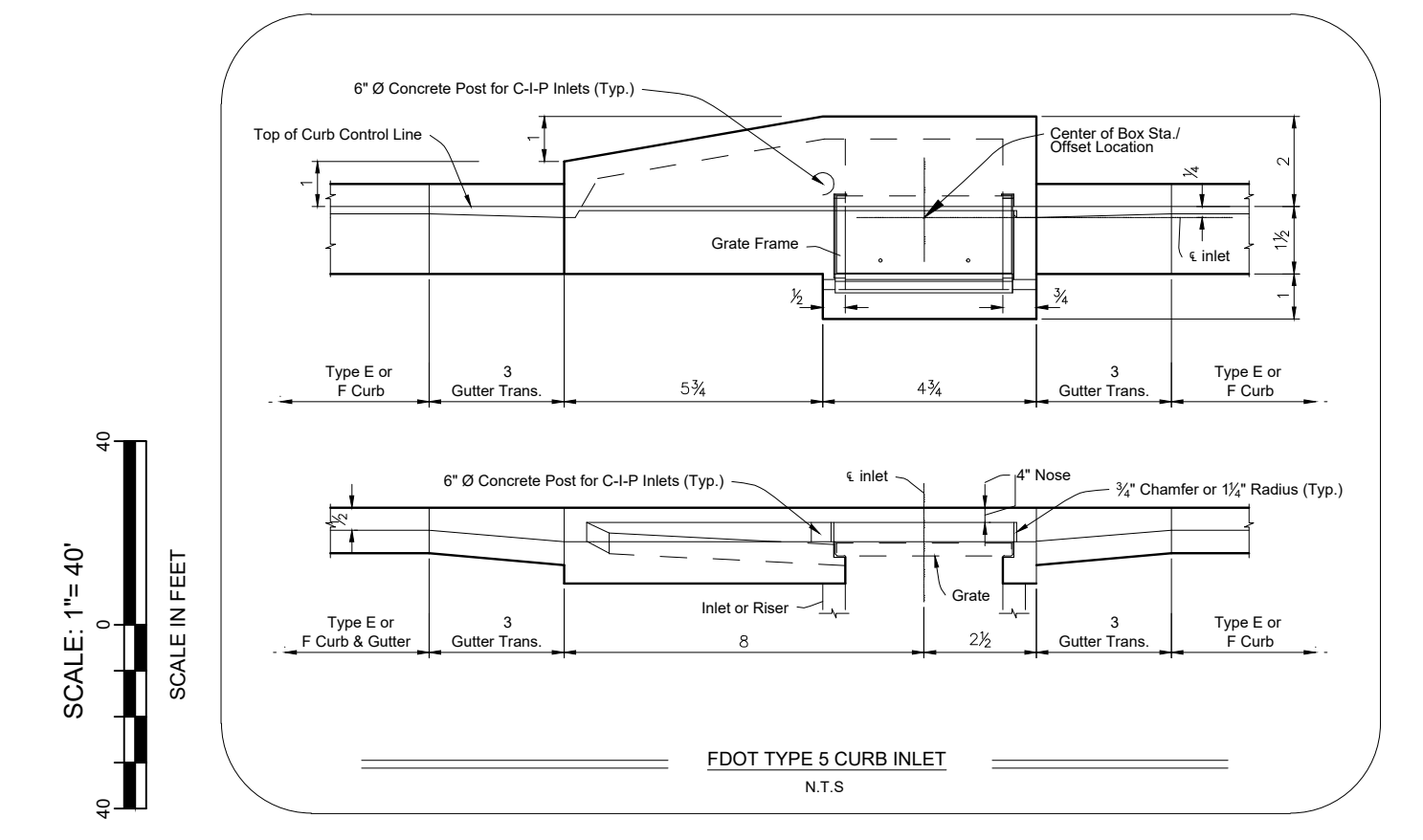
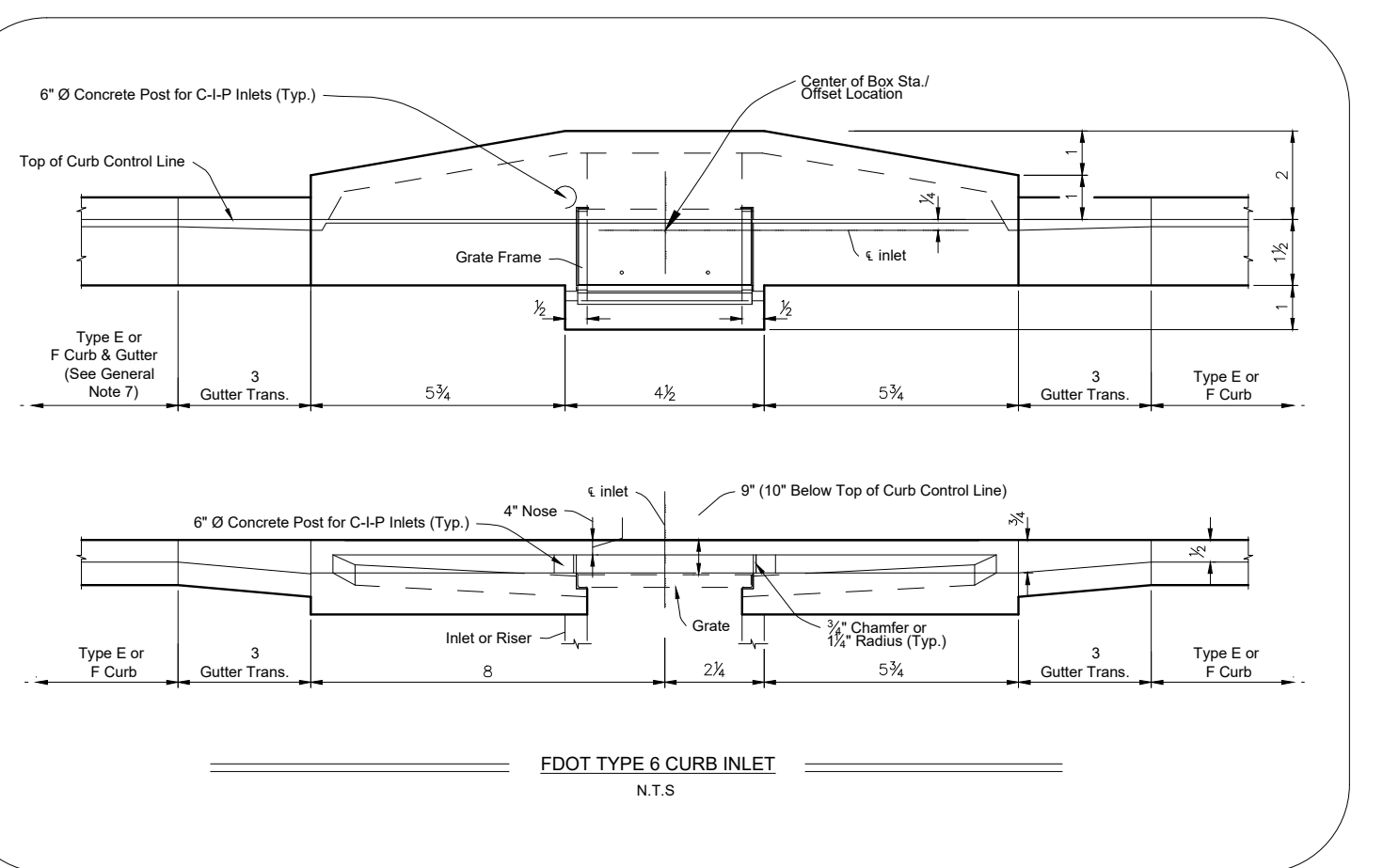
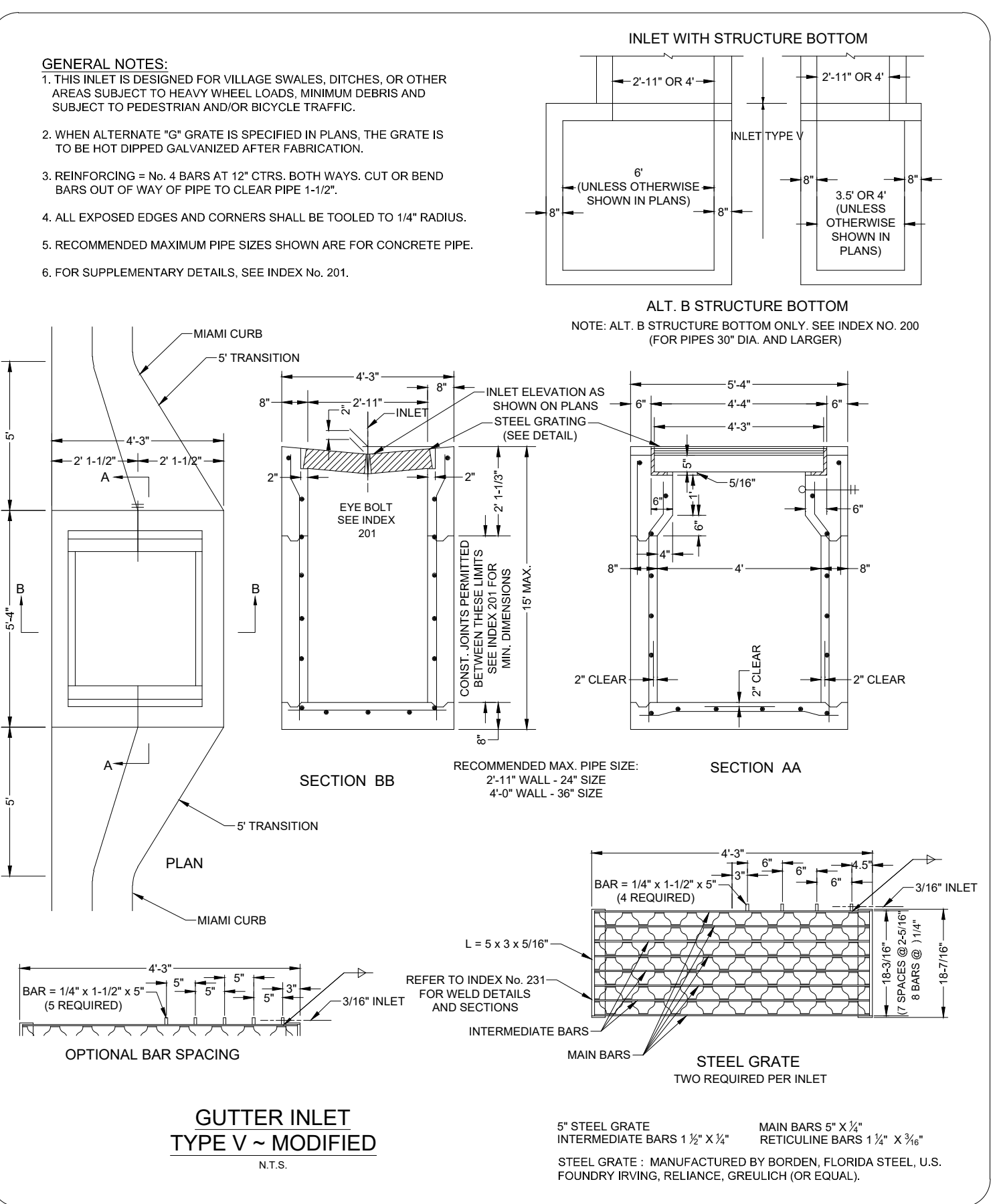
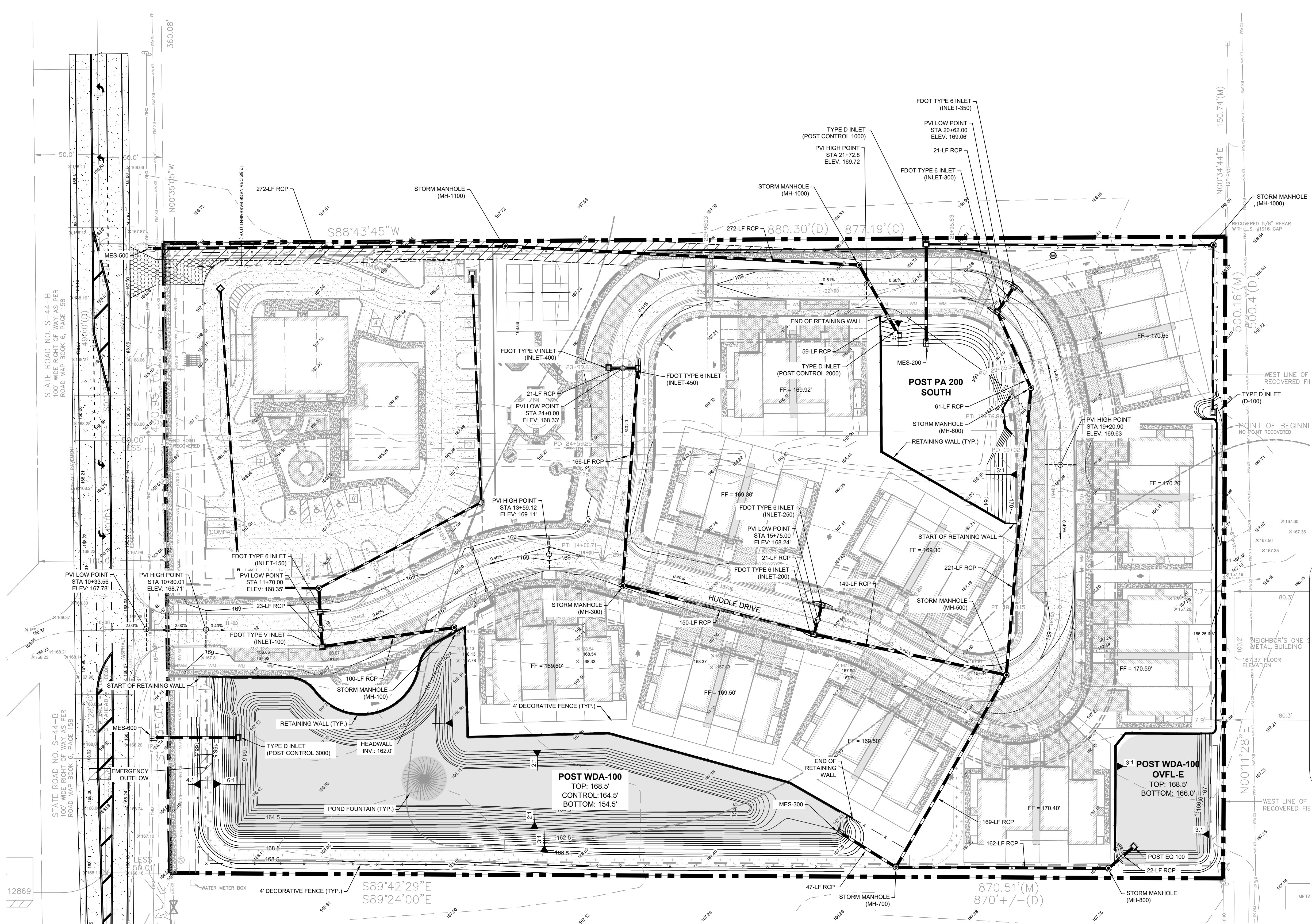
ISSUE DATE:
04/18/2023

SHEET SIZE
24 X 36

PRELIMINARY DEVELOPMENT PLAN

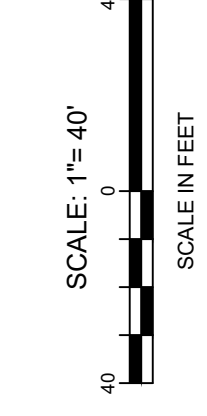
SHEET NUMBER
PP2.10

142



LEGEND

	SITE BOUNDARY
	SILTY FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	INTERPOLATED ELEVATION
	EXISTING SANITARY
	EXISTING WATERMAIN
	EXISTING OVERHEAD POWER
	PROPOSED SANITARY
	PROPOSED WATER SERVICE LINE
	PROPOSED WATER MAIN
	PROPOSED RECLAIMED WATER MAIN
	GRADE BREAK
	FLOW ARROW
	BACTERIAL SAMPLING POINT
	SANITARY HAZARD
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	UTILITY EASEMENT
	LANDSCAPE BUFFER



Item 5.1
05-18-2023

REVISIONS:
1- REVISIONS PER CITY COMMENTS

Civil Engineering Solutions, Inc.
Civil & Environmental Engineering

322 North Rockingham Ave., Tallahassee, FL 32309
Phone: 907.742.2011 Fax: 907.742.0044
State of Florida Certificate of Authorization #256985
David Clark, P.E., P.L.C. #74782
Date:

HUDDLE PLACE
PRELIMINARY PLAT/PLAN
EUSTIS, FLORIDA

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24 X 36

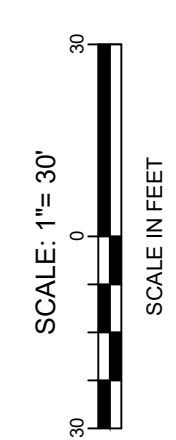
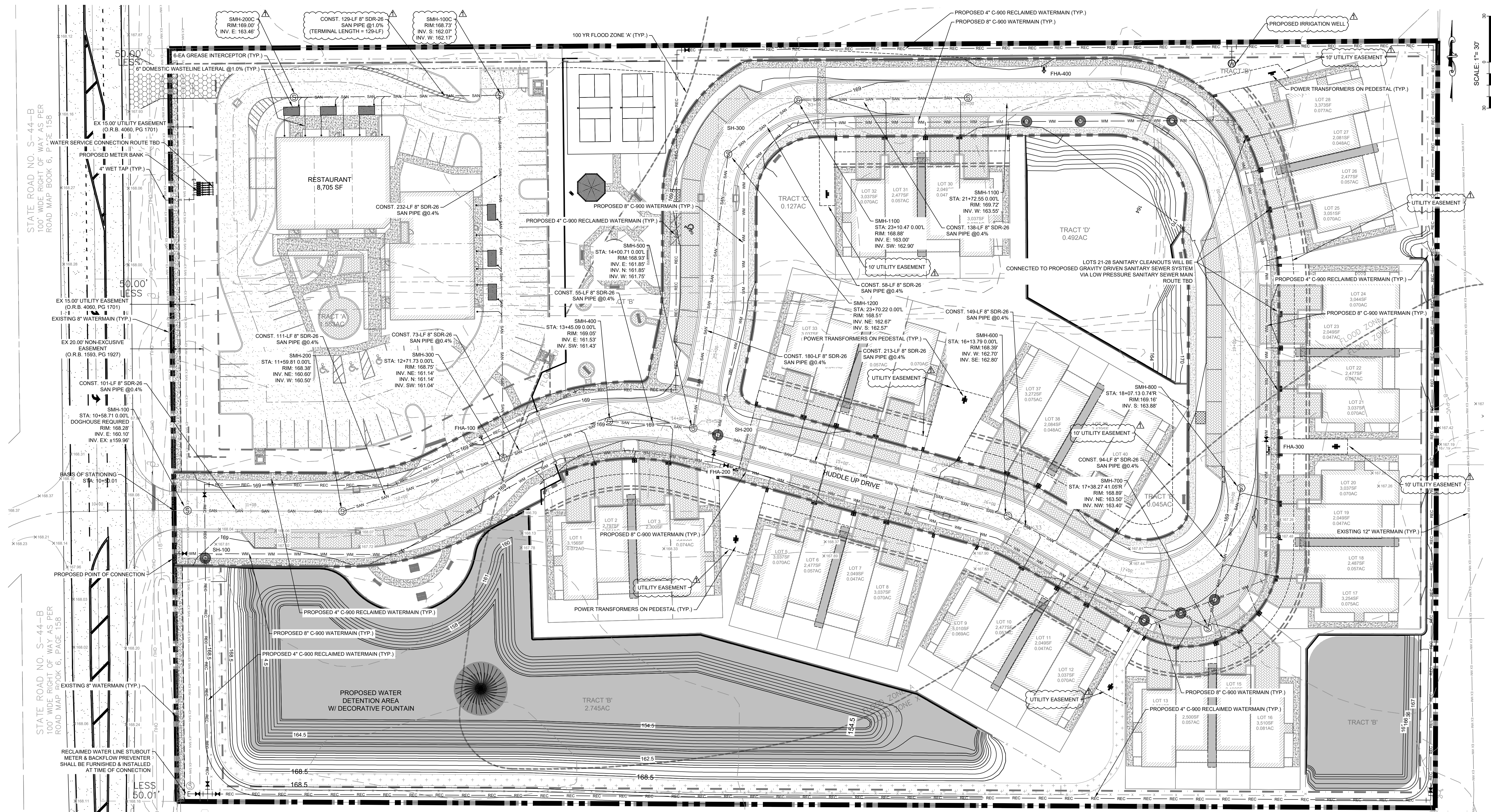
PRELIMINARY DRAINAGE PLAN

SHEET NUMBER
PP3.00

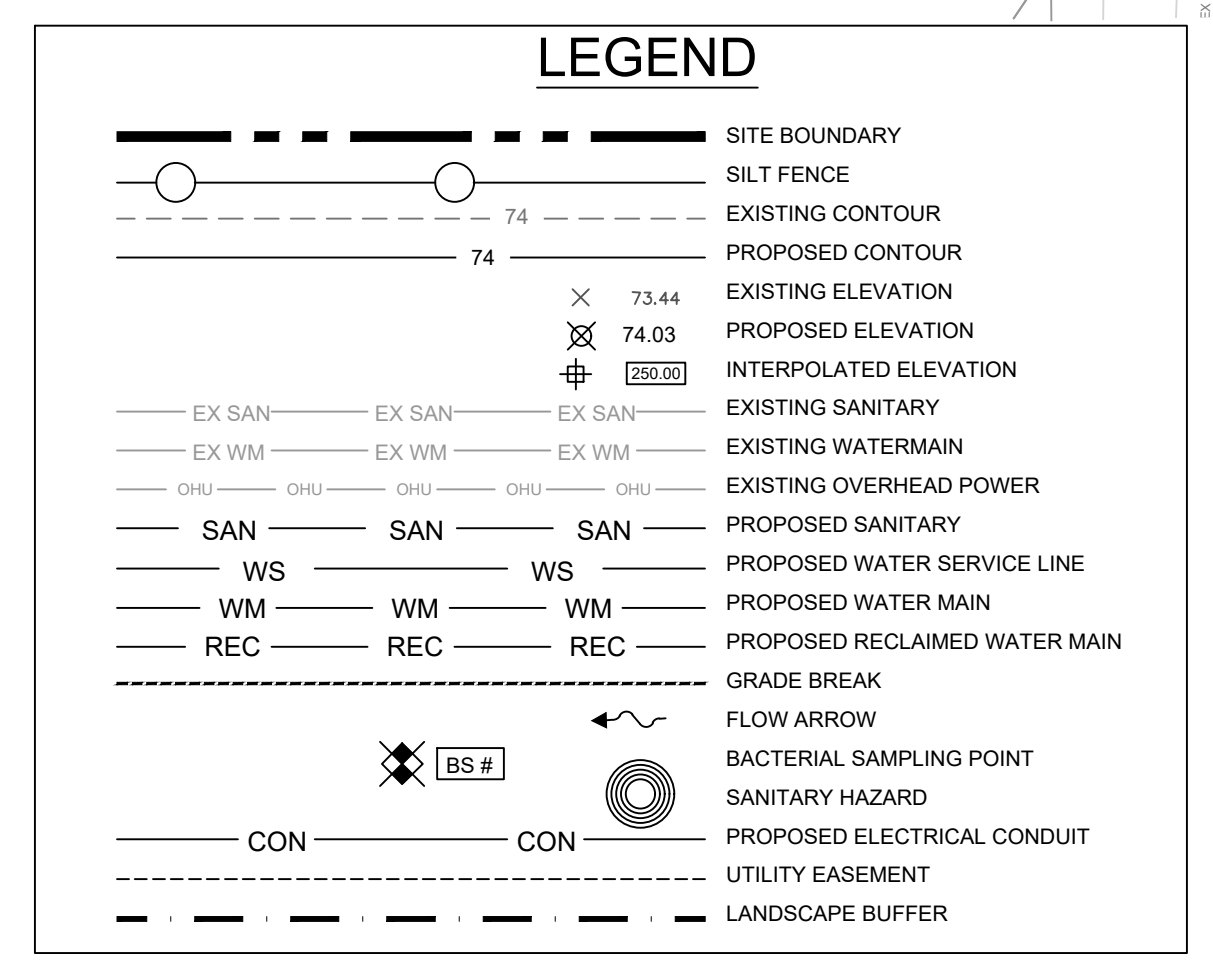
143

STATE ROAD NO. S-44-B
100' WIDE RIGHT OF WAY AS PER
ROAD MAP BOOK 6, PAGE 158

STATE ROAD NO. S-44-B
100' WIDE RIGHT OF WAY AS PER
ROAD MAP BOOK 6, PAGE 158



Utility Flow Demands					
Water Demand (ERU = 300 gpd)					
Use	Unit of Measure	ERU Factor	Number of Units	ERUs	Daily Use (gpd) (ERUs x 300 gpd)
Multi-Family Residential	Per Unit	0.83	40	33.2	9,960
Restaurant	Per Seat	0.1	295	29.5	8,850
			Total:	62.7	18,810
Sewer Demand (ERU = 250 gpd)					
Use	Unit of Measure	ERU Factor	Number of Units	ERUs	Daily Use (gpd) (ERUs x 250 gpd)
Multi-Family Residential	Per Unit	0.83	40	33.2	8,300
Restaurant	Per Seat	0.1	295	29.5	7,375
			Total:	62.7	15,675
Solid Waste Demand (ERU = 4.57lb./day/ERU)					
Use	Unit of Measure	ERU Factor	Number of Units	ERUs	Daily Use (lb./day) (ERUs x 4.57 lb./day/ERU)
Multi-Family Residential	Per Unit	0.83	40	33.2	152
Restaurant	Per Seat	0.1	295	29.5	135
			Total:	62.7	287



Item 5.1
05-18-2023

REVISIONS:
1- REVISIONS PER CITY COMMENTS

Civil Engineering Solutions, Inc.
Civil & Environmental Engineering
322 North Rockingham Ave., Tallahassee, FL 32378
Phone: 907.742.2011 Fax: 907.742.0044
State of Florida Certificate of Authorization #256985
David Chiles, P.E., P.L.C. #7198E
Date:

HUDDLE PLACE
PRELIMINARY PLAT/PLAN
EUSTIS, FLORIDA

DRAWN BY: JH & WG
CHECKED BY: DC

FILE NUMBER:
23108-01

ISSUE DATE:
04/18/2023

SHEET SIZE
24 X 36

PRELIMINARY
UTILITY PLAN

SHEET NUMBER
PP4.00



City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: EUSTIS CITY COMMISSION

FROM: Tom Carrino, City Manager

DATE: July 20, 2023

RE: **SECOND READING**

ORDINANCE NUMBERS 23-12, 23-13, AND 23-14: EXPLANATION OF ORDINANCES FOR ANNEXATION OF PARCELS WITH ALTERNATE KEYS 1444756, 2585153, AND 2535628

Ordinance Number 23-12: Voluntary Annexation

Ordinance Number 23-13: Comprehensive Plan Amendment

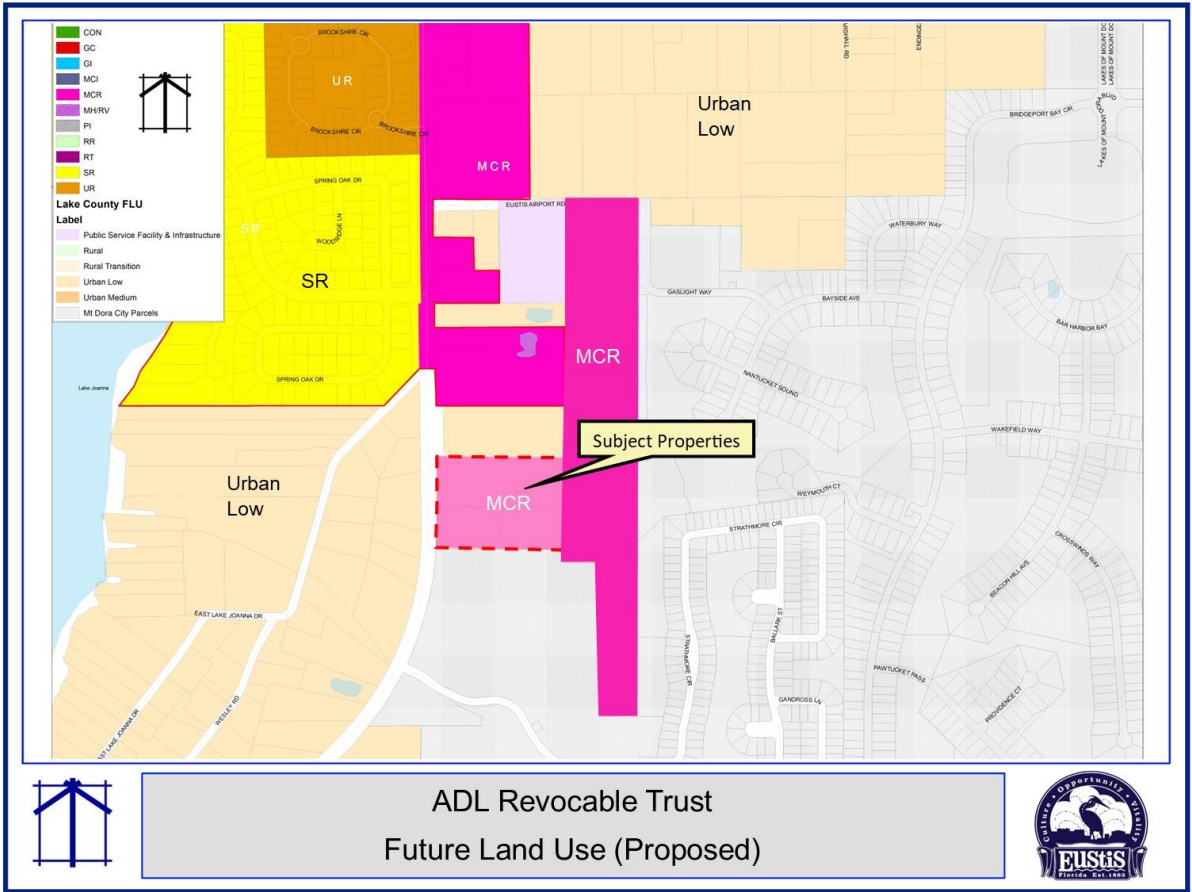
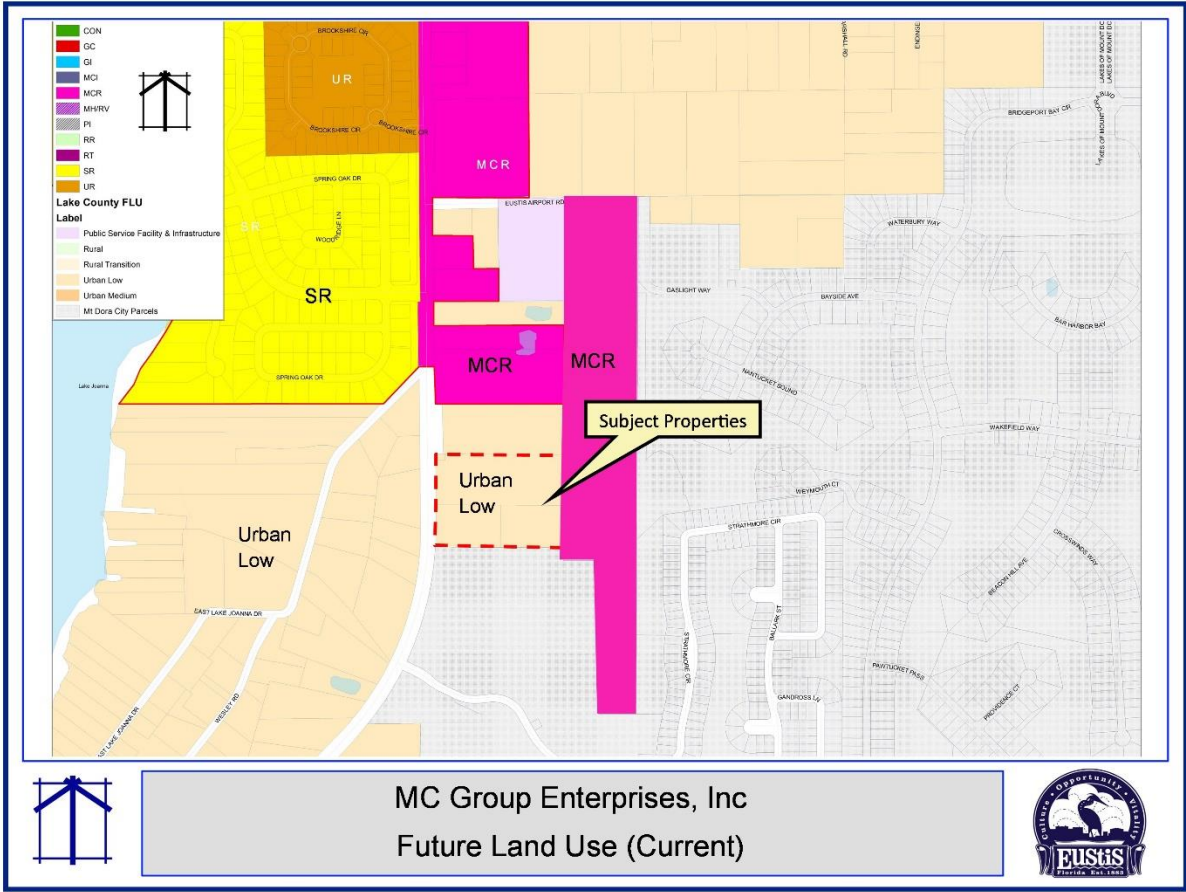
Ordinance Number 23-14: Design District Assignment

Introduction:

Ordinance Number 23-12 provides for the voluntary annexation of approximately 10.98 acres of land located on the east side of State Road 44, north, south, and east of the State Road 44 intersection with Lake Joanna Drive (Alternate Key Numbers 1444756, 2585153, AND 2535628). Provided the annexation of the subject property is approved, via Ordinance Number 23-12, Ordinance Number 23-13 would change the future land use designation from Urban Low in Lake County to Mixed Commercial Residential (MCR) in the City of Eustis, and Ordinance Number 23-14 would assign the subject property a design district designation of Suburban Neighborhood. If Ordinance Number 23-12 is denied, then there can be no consideration of Ordinance Numbers 23-13 and 23-14.

Background:

1. The site contains approximately 10.98 acres and is located within the Eustis Joint Planning Area. The site has been historically used and is currently used for the operation of a small airport. *Source: Lake County Property Appraisers' Office Property Record Card Data.*
2. The site is contiguous to the City on its northern and western boundary across the right of way for State Road 44.
3. The site has a Lake County land use designation of Urban Low, but approval of Ordinance Number 23-13 would change the land use designation to Mixed Commercial Residential (MCR) in the City of Eustis.



Surrounding properties have the following land use designations:

Location	Existing Use	Future Land Use	Design District
Site	Vacant	Urban Low (Lake County)	N/A
North	Vacant / Residential	Urban Low (Lake County)	N/A
South	Vacant / Single Family	Mt Dora	N/A
East	Single Family	Mixed-Commercial Residential	Suburban Neighborhood
West	Residential	Urban Low (Lake County) / Suburban Residential	N/A / Suburban Neighborhood

Applicant’s Request

The applicant and property owners, MC Group Enterprises, Inc., wish to annex the property, change the future land use to Mixed Commercial Residential (MCR), and assign a design district of Suburban Neighborhood.

The current Lake County land use designation for the subject property is Urban Low. The Lake County land use designation allows for residential uses of up to 4 dwelling units per net buildable acre.

The property owner has requested the City of Eustis Mixed Commercial/Residential (MCR) land use designation with the annexation. The MCR land use provides for residential uses up to twelve (12) dwelling units per acre. The requested MCR designation allows for individual or a mix of residential and commercial uses.

Analysis of Annexation Request (Ordinance Number 23-12)

1. Resolution Number 87-34 – Joint Planning Area Agreement with Lake County:

“The City and the County agree that the unincorporated areas adjacent to the City might be appropriately served by urban services provided by the City, and might therefore be annexed into the City in accordance with State law.....The City agrees to annex property in accordance with State law and provide adequate urban services and facilities to serve those areas within the Joint Planning Area.”

The subject property is located within the Joint Planning Area. Urban services of adequate capacity are available to serve future development, consistent with the requested MCR future land use designation.

2. Florida Statues Voluntary Annexation - Chapter 171.044(1):

“The owner or owners of real property in an unincorporated area of a county which is contiguous to a municipality and reasonably compact may petition the governing body of said municipality that said property be annexed to the municipality.”

The Joint Planning Area boundaries define the reasonably compact area where the City could provide services effectively and efficiently. The subject property lies within that planning area; it is contiguous to the City limits on the western boundary; and the owner petitioned for annexation.

3. Florida Statues Voluntary Annexation - Chapter 171.044(2):

“...Said ordinance shall be passed after notice of the annexation has been published at least once each week for 2 consecutive weeks in some newspaper in such city or town...”

The department published notice of this annexation in the Daily Commercial following the established requirements on June 26, 2023, and again on June 30, 2023.

4. Florida Statues Voluntary Annexation - Chapter 171.044(5):

“Land shall not be annexed through voluntary annexation when such annexation results in the creation of enclaves.”

Annexation of the subject property does not create an enclave as defined by the Florida Statutes.

5. Florida Statues Voluntary Annexation - Chapter 171.044(6):

“Not fewer than 10 days prior to publishing or posting the ordinance notice required under subsection (2), the governing body of the municipality must provide a copy of the notice, via certified mail, to the board of the county commissioners of the county wherein the municipality is located...”

The department provided notice to the Lake County Board of County Commissioners on June 16, 2023, via email and by Certified Mail on June 16, 2023.

Analysis of Comprehensive Plan/Future Land Use Request (Ordinance Number 23-13)

In accordance with the Florida Statutes Chapter 163.3177.9.:

Discourage Urban Sprawl:

Primary Indicators of Sprawl:

The future land use element and any amendment to the future land use element shall discourage the proliferation of urban sprawl. The primary indicators that a plan or plan amendment does not discourage the proliferation of urban sprawl are listed below. The evaluation of the presence of these indicators shall consist of an analysis of the plan or plan amendment within the context of features and characteristics unique to each locality in order to determine whether the plan or plan amendment:

Review of Indicators

1. Low-Intensity Development:

Promotes, allows, or designates for development substantial areas of the jurisdiction to develop as low-intensity, low-density, or single-use development or uses.

This indicator does not apply. The requested future land use will provide for a higher density (12 du/acre) and the MCR designation allows for mixed-use development types.

2. Urban Development in Rural Areas:

Promotes, allows, or designates significant amounts of urban development to occur in rural areas at substantial distances from existing urban areas while not using undeveloped lands that are available and suitable for development.

This indicator does not apply. The subject properties are located in an urbanizing corridor between the City of Eustis, the City of Mount Dora, and unincorporated Lake County. Properties developing along the State Road 44 Corridor between US Highway 441 and State Road 44 will most likely be of a higher intensity/density as the corridor is urbanizing. The subject properties have been utilized for a private airport for decades before this request for annexation.

3. Strip or Isolated Development:

Promotes, allows, or designates urban development in radial, strip, isolated, or ribbon patterns generally emanating from existing urban developments.

This indicator does not apply. The site is within an urbanizing corridor with commercial development to the north, and residential developments to the east, west, and south.

4. Natural Resources Protection:

Fails to adequately protect and conserve natural resources, such as wetlands, floodplains, native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, rivers, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

This indicator does not apply. The subject property is not subject to floodplain impact and does not contain wetland areas. The subject properties are previously cleared but undeveloped land. A formal site plan or subdivision review and approval is required before the site may be developed and Building permit approval is required before any structure building may begin. The Comprehensive Plan and the Land Development Regulations include standards for the protection of environmentally sensitive lands that would apply should the conditions at the time of development warrant such protection.

5. Agricultural Area Protection:

Fails to adequately protect adjacent agricultural areas and activities, including silviculture, active agricultural and silvicultural activities, passive agricultural activities, and dormant, unique, and prime farmlands and soils.

This indicator does not apply. This site and adjacent areas do not support active agricultural or silvicultural activities. The site is within an existing developed and further developing area. The subject properties have been utilized for a private airport for decades before this request for annexation.

6. Public Facilities:

Fails to maximize the use of existing public facilities and services.

This indicator does not apply. City water is available to serve the property. Development of this parcel will maximize the use and efficiency of the City water services. City Sewer is available with adequate capacity to serve the property and will be addressed via the site development process.

7. Cost Effectiveness and Efficiency of Public Facilities:

Allows for land use patterns or timing which disproportionately increase the cost in time, money, and energy of providing and maintaining facilities and services, including roads, potable water

sanitary sewer, stormwater management, law enforcement, education, health care, emergency response, and general government.

This indicator does not apply. Adequate capacity is available to serve the existing and future development consistent with the requested MCR future land use designation. The City provides these services to other properties in the area, so efficiency will improve. The level of service for SR 44 is strained, however, the State of Florida Department of Transportation has capacity projects planned.

8. Separation of Urban and Rural:

Fails to provide a clear separation between rural and urban uses.

This indicator does not apply. No nearby properties contain active agricultural activities or use. The surrounding area is developed or has development entitlements attached to the land. These developments have densities and intensities that are clearly suburban uses. The proposed MCR land use designation and the Suburban Neighborhood design district are compatible with the existing development pattern. The subject properties have been utilized for a private airport for decades before this request for annexation.

9. Infill and Redevelopment:

Discourages or inhibits infill development or the redevelopment of existing neighborhoods and communities.

This indicator does not apply. This property is a logical extension of services and development for the city. The area of this annexation is located in an urbanizing area between the City of Eustis and the City of Mount Dora.

10. Functional Mix of Uses:

Fails to encourage a functional mix of uses.

This indicator does not apply. The site is surrounded by single-family development on the adjacent properties, which is consistent with permitted uses in the area. A variety of other uses are evident, including various commercial uses, Within .25 to .5 miles of the subject property. The MCR District allows for a mix of residential, commercial, and office uses.

11. Accessibility among Uses:

Results in poor accessibility among linked or related land uses.

This indicator does not apply. The Land Development Regulations include provisions to provide adequate access and linkage between related uses. City Departments will ensure compliance with these standards at the time of development review.

12. Open Space:

Results in the loss of significant amounts of functional open space.

This indicator does not apply. The site does not contain functional open space and is not connected to regionally significant open space. The subject properties have been utilized for a private airport for decades before this request for annexation.

13. Urban Sprawl:

The future land use element or plan amendment shall be determined to discourage the proliferation of urban sprawl if it incorporates a development pattern or urban form that achieves four or more of the following:

a. Direction of Growth:

Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.

The site is adjacent to existing urban/suburban development patterns and is a logical extension of the urban development boundary. The Comprehensive Plan and Land Development Regulations have provisions to protect natural resources and ecosystems at the time of site plan approval.

b. Efficient and Cost-Effective Services:

Promotes the efficient and cost-effective provision or extension of public infrastructure and services.

Water and Sewer service is available. The development of the property will further encourage the efficient provision of services.

c. Walkable and Connected Communities:

Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.

At the time of development, the site must meet the City's Land Development Regulations relating to connection and sidewalks. State Road 44 is not City infrastructure and does not currently have a sidewalk system. Interconnectivity to existing and future uses may be possible internally and shall be encouraged.

d. Water and Energy Conservation:

Promotes the conservation of water and energy.

The development of the site must meet City development and Florida Building Code standards that will require energy and water-efficient appliances.

e. Agricultural Preservation:

Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.

Not applicable; this site and adjacent areas do not support active agricultural or silvicultural activities. The site is within an existing developed residential area. The subject properties have been utilized for a private airport for decades before this request for annexation.

f. Open Space:

Preserves open space and natural lands and provides for public open space and recreation needs.

This is not applicable. The site does not provide functional open space or natural areas on a regional basis. Minimum open space is required based on the City Land Development Regulations, and minimum park space is also required to serve the development of the property if residential uses are proposed.

g. Balance of Land Uses:

Creates a balance of land uses based upon demands of the residential population for the nonresidential needs of an area.

The proposed land use allows for both residential and commercial uses. commercial development exists in close proximity to serve the residential population.

h. Urban Form Densities and Intensities:

Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.

Not applicable.

In Accordance with Comprehensive Plan Future Land Use Element Appendix:

All applications for a Plan amendment relating to the development patterns described and supported within the Plan including, but not limited to, site specific applications for changes in land use designations, are presumed to involve a legislative function of local government which, if approved, would be by legislative act of the City and shall, therefore, be evaluated based upon the numerous generally acceptable planning, timing, compatibility, and public facility considerations detailed or inferred in the policies of the Plan. Each application for an amendment to the Map #1: 2035 Future Land Use Map by changing the land use designation assigned to a parcel of property shall also be reviewed to determine and assess any significant impacts to the policy structure on the Comprehensive Plan of the proposed amendment including, but not limited to, the effect of the land use change on either the internal consistency or fiscal structure of the Plan.

Major Categories of Plan Policies:

This Plan amendment application review and evaluation process will be prepared and presented in a format consistent with the major categories of Plan policies as follows:

1. General Public Facilities/Services:

Since the Plan policies address the continuance, expansion and initiation of new government service and facility programs, including, but not limited to, capital facility construction, each application for a land use designation amendment shall include a description and evaluation of any Plan programs (such as the effect on the timing/financing of these programs) that will be affected by the amendment if approved. This analysis shall include the availability of, and actual and anticipated demand on, facilities and services serving or proposed to serve the subject property. The facilities and services required for analysis include emergency services, parks and recreation, potable water, public transportation if and when available, sanitary sewer, schools, solid waste, stormwater, and the transportation network.

a. Emergency Services Analysis:

Eustis Emergency Services already provide emergency response to other properties in the area. Any development consistent with the MCR future land use designation would not have a significant negative impact on the operations of Eustis emergency services.

b. Parks & Recreation:

In 2010, the City prepared a Park Inventory and Level of Service Demand and Capacity analysis as part of the Comprehensive Plan Evaluation and Appraisal Report. The results show that a surplus of park area exists up to and beyond the City's population of 20,015. The current population is approximately 24,500. Pursuant to Comprehensive Plan policies and Land Development Regulations, residential development will be required to provide on-site park amenities.

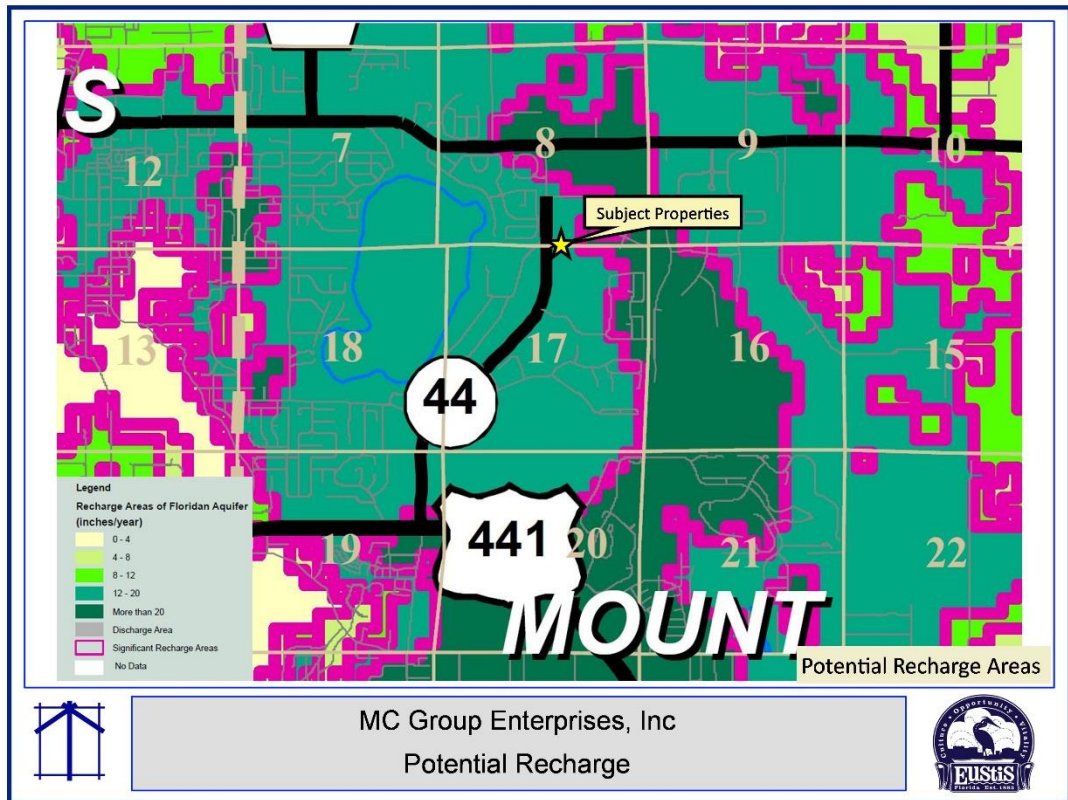
- c. Potable Water & Sanitary Sewer:
Water and sewer are available to the subject property. Both the water and sewer systems have adequate capacity to serve the development of the property.
- d. Schools:
The proposed change should not negatively impact schools. At the time of development application verification of capacity will be required from Lake County Schools.
- e. Solid Waste:
The City contracts with Waste Management for the hauling of solid waste. The company already services properties in the general area of the subject property. Serving this property will increase efficiency in the delivery of services.
- f. Stormwater:
The Comprehensive Plan and Land Development Regulations include the level of service standards to which new development must adhere. Projects designed to meet these standards will not negatively affect the existing facilities and services.
- g. Transportation Network Analysis:
This potential added residential development is considered to have impacts on the existing transportation system. At this time, the adjacent transportation network (SR 44) has the capacity to serve the proposed MCR property, even at a maximum development standard, a full evaluation of the impacts will be reviewed based on the specific development proposal for the property. Before the development of the property, a site plan or subdivision approval amongst other approvals will be required. As part of the development review, a traffic study will be required to evaluate traffic impacts. The level of service for SR 44 may be strained, however, the State of Florida Department of Transportation has capacity projects planned.

2. Natural Resources/Natural Features:

The policies of the Plan also contain general regulatory guidelines and requirements for managing growth and protecting the environment. These guidelines will be used to evaluate the overall consistency of the land use amendment with the Comprehensive Plan. Specifically, each amendment will be evaluated to 1) determine the existence of groundwater recharge areas; 2) the existence of any historical or archaeological sites; 3) the location of flood zones and the demonstration that the land uses proposed in flood-prone areas are suitable to the continued natural functioning of flood plains; and 4) the suitability of the soil and topography to the development proposed.

- a. Groundwater recharge areas:

The site may be within a recharge area, and a site-specific geotechnical and hydrologic study will be needed to determine the site-specific impact at the time of development. Source: Lake County Comprehensive Plan 2030 Floridian Aquifer Recharge Map.



b. Historical or archaeological sites:

The City does not have any record of Florida Master Site Files related to this property and no known historical or cultural resources exist.

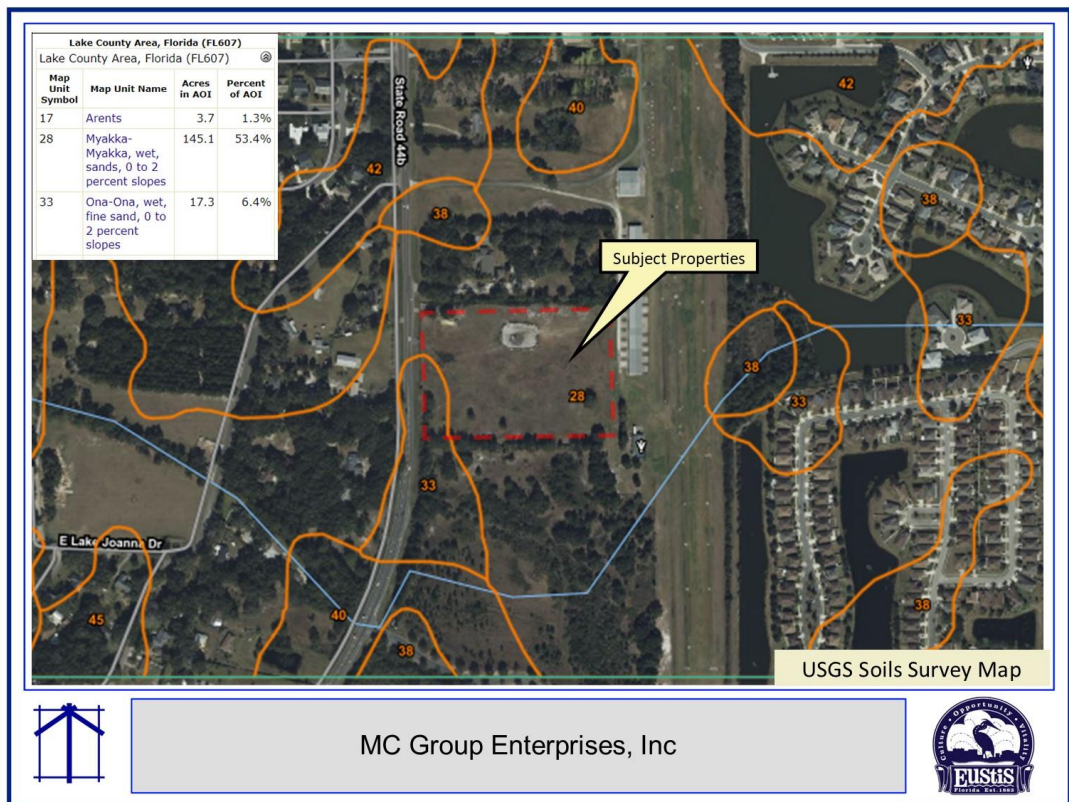
c. Flood zones:

The subject property is not impacted by a 100-year flood zone area. Source - Lake County GIS - 2012 Flood Zones.

d. Soil and topography:

The site soils are a mix of Myakka, Ona-Ona sands. These sands are all typically moderately to poorly drained sandy soils. At development application soils and geotechnical reports will be required as part of the application packages as well as for permitting for development with the applicable state agencies.

A site plan or subdivision, as well as, building permit approval must be obtained before development can begin, the Comprehensive Plan and the Land Development Regulations include standards for the protection of environmentally sensitive lands that would apply should conditions at the time of development warrant such protection.



3. Comprehensive Plan Review:

Additional criteria and standards are also included in the Plan that describe when, where, and how development is to occur. Plan development policies will be used to evaluate the appropriateness of the compatibility of the use, intensity, location, and timing of the proposed amendment.

Existing Land Use According to the Lake County Comprehensive Plan:

Policy I-1.3.2 Urban Low-Density Future Land Use Category

The Urban Low-Density Future Land Use Category provides for a range of residential development at a maximum density of four (4) dwelling units per net buildable acre in addition to civic, commercial, and office uses at an appropriate scale and intensity to serve this category. Limited light industrial uses may only be allowed as conditional use, unless permitted as an Economic Development Overlay District use.

This category shall be located on or in proximity to collector or arterial roadways to minimize traffic on local streets and provide convenient access to transit facilities.

Within this category, any residential development in excess of 10 dwelling units shall be required to provide a minimum 25% of the net buildable area of the entire site as common open space. The maximum intensity in this category shall be 0.25, except for civic uses and Economic Development Overlay District uses, which shall be 0.35. The maximum Impervious Surface Ratio shall be 0.60.

TYPICAL USES INCLUDE:

- Residential;
- Nursing and personal care facilities;
- Civic uses;
- Residential professional offices;
- Passive parks;
- Religious organizations;
- Day care services;
- Schools;
- Commerce uses, including services, retail trade, finance, insurance and real estate as allowed pursuant to Policy I-1.3.10 Commercial Activities within the Urban Future Land Use Series; and
- Public order and safety; and
- Economic Development Overlay District Uses for properties included within the Economic Development 18 Overlay District (Map 20, Future Land Use Map Series), and subject to Objective I-6.5.

Proposed Land Use According to the Eustis Comprehensive Plan:

Mixed Commercial / Residential (MCR)

This land use designation is intended to regulate the character and scale of commercial uses so as to minimize their impacts on adjacent roadways and to promote their compatibility with adjacent or nearby residential uses.

General Range of Uses: This category accommodates a mix of residential, commercial, office, institutional, and schools. Public and utility services that are 5 acres or less in size are also permitted.

Maximum Density: Residential densities may not exceed 12 dwelling units per net buildable acre.

Intensity Range: up to 2.5 FAR subject to restrictions in Section 109-3 of the Land Development Regulations.

Mix Requirements: There are proportional requirements and limitations regarding the amount of residential and non-residential uses allowable in an area designated MCR. For the mixed land use category MCR, the city establishes, and shall monitor on a citywide basis, a mix of uses as follows:

Residential: 15% - 25% of total MCR acreage

Commercial/Office: 75% - 85% of total MCR acreage

The composition of the mix for each proposed development will be determined on a case-by-case basis during the development review process. Specific uses permitted will be monitored by the city to ensure continuity and compatibility with adjacent land uses. Individual properties may develop residentially or commercially, provided that all applicable criteria set forth herein are met.

Special Provisions:

(1) Future amendments to designate areas as MCR shall be permitted only along arterial and collector roads and in certain neighborhoods which meet the following conditions:

- a. where the arterial road frontage is generally undeveloped, residential development may be feasible and will be encouraged;*
- b. strip commercial development shall be minimized, including actions that would extend or expand existing strip development;*
- c. the arterial road frontage contains an existing mix of viable commercial and residential uses;*
- d. the clustering of viable commercial businesses within or adjacent to residential neighborhoods is determined to not have a detrimental visual or operational impact on such adjacent or nearby residential uses;*

(2) Developments within the Wekiva Protection Overlay that include longleaf pine, sandhill, sand pine, and xeric oak communities shall protect these areas as dedicated open space or conservation easements, with total open space equal to at least 35% of the net buildable area.

Comparison of Lake County Development Conditions

The existing Lake County future land use designation of the property is Urban Low, which provides for residential uses at up to 4 dwelling units per acre as well as supporting commercial and institutional uses.

The City of Eustis MCR Future land Use would allow up to 12 dwelling units per acre and provide the allowance for a mix of commercial residential and office-type uses.

Proposed Residential Land Uses.

The City shall limit these uses adjacent to incompatible commercial or industrial lands unless sufficient mitigation, such as buffering and setbacks is provided and available, which lessens the impact to the proposed residences.

The area already includes a mix of uses including single-family residential and commercial uses.

Proposed Non-Residential Land Uses.

The City shall generally not permit new industrial uses to be located adjacent to existing or planned residentially designated areas.

Not applicable.

1. Transportation:

Each application for a land use designation amendment will be required to demonstrate consistency with the Transportation Element of the adopted Comprehensive Plan.

This potential added development is considered to not have negative capacity impacts on the existing transportation system. At this time, the adjacent

transportation network (SR 44) has the capacity to serve the proposed MCR property. A Traffic Analysis will be required as part of any site development proposal when it is presented to the City of Eustis. The Traffic Analysis should show that at maximum development, the network is not affected below the adopted level of service.

2. Water Supply:

Each application for a land use designation amendment will be required to demonstrate that adequate water supplies and associated public facilities are (or will be) available to meet the projected growth demands.

City water service and other services are available. The City's adopted Water Supply Plan anticipated additional growth consistent with this development, so both supply and capacity are available.

In Accordance with Chapter 102-16(f), Land Development Regulations

Standards for Review:

In reviewing the application of a proposed amendment to the comprehensive plan, the local planning agency and the city commission shall consider:

a. *Consistent with Comprehensive Plan:*

Whether the proposed amendment is consistent with all expressed policies the comprehensive plan.

The proposed amendment is consistent with the Comprehensive Plan.

b. *In Conflict with Land Development Regulations:*

Whether the proposed amendment is in conflict with any applicable provisions of these land development regulations.

The proposed amendment is not in conflict with the Land Development Regulations. At the time of development, there will be further review for compliance.

c. *Inconsistent with Surrounding Uses:*

Whether, and the extent to which, the proposed amendment is inconsistent with existing and proposed land uses.

City commercial uses are located to the north within 500 feet of the property and residential uses are located in the surrounding area with varying densities. The proposed MCR does allow for greater densities than the current surrounding residential.

d. *Changed Conditions:*

Whether there have been changed conditions that justify an amendment.

The applicant wishes to annex the property into the City limits of Eustis. Assignment of a City of Eustis future land use designation is required. Upon annexation, the subject property will have a full array of municipal services, including central water. These changed conditions warrant a change in the land use designation.

e. *Demand on Public Facilities:*

Whether, and the extent to which, the proposed amendment would result in demands on public facilities, and whether, or to the extent to which, the proposed amendment would exceed the capacity of such public facilities, infrastructure and services, including, but not limited to police, roads, sewage facilities, water supply, drainage, solid waste, parks and recreation, schools, and fire and emergency medical facilities.

City water and sewer services are available and, in close proximity to the site. Adequate capacity is available to serve future development consistent with the requested Mixed Commercial/Residential future land use designation.

Upon annexation, the City will also provide other services such as fire and police protection, library services, parks, and recreation. The City provides these services to other properties in the area, so efficiency will improve.

f. *Impact on Environment:*

Whether, and the extent to which, the proposed amendment would result in significant impacts on the natural environment.

The site contains no apparent natural resources and is not connected to significant open space.

g. *Orderly Development Pattern:*

Whether, and the extent to which, the proposed amendment would result in an orderly and logical development pattern, specifically identifying any negative effects on such pattern.

The site is contiguous to the City limits. The annexation would create a logical development pattern as it extends the City limits to a more natural boundary in this area (SR 44 Corridor). This would further the eventual goal of a Eustis area under one local government jurisdiction.

The requested MCR future land use designation, coupled with a Suburban Neighborhood design district designation, provides for a consistent development transect.

The requested land use provides for a transition in density and intensity from City of Eustis Suburban Residential to the west.

h. *Public Interest and Intent of Regulations:*

Whether the proposed amendment would be consistent with or advance the public interest, and in harmony with the purpose and intent of these land development regulations.

The purpose and intent of the Land Development Regulations is as follows:

“The general purpose of this Code is to establish procedures and standards for the development of land within the corporate boundaries and the planning area of the city, such procedures and standards being formulated in an effort to promote the public health, safety and welfare and enforce and implement the City's Comprehensive Plan, while permitting the orderly growth and development with the city and Eustis planning area consistent with its small-town community character and lifestyle.”

The requested designation of MCR land use will provide for orderly growth and development. This designation would advance the public interest by poter

providing additional housing or commercial options, and the application of LDRs to future development will ensure consistency with the community character and lifestyle of the city.

i. Other Matters:

Any other matters that may be deemed appropriate by the local planning agency or the city commissioners, in review and consideration of the proposed amendment.

No other matters.

Analysis of Design District Request (Ordinance Number 23-14):

Form-Based Code:

The City's Land Development Regulations are a form-based code. Design districts are unique to form-based codes. Lake County still uses traditional Euclidean zoning, so there are no design districts for parcels in unincorporated Lake County. When a parcel annexes into the City of Eustis, the City must assign a consistent design district that follows the urban, suburban and rural transect

1. Standards for Review:

The Land Development Regulations include the following standards for review of an amendment to the Design District Map. In approving a change in the designation, the City Commission shall consider: Whether the amendment is in conflict with any applicable provisions of the Code.

a. Section 102-17(a) "...Section 109-3 Design Districts:

identifies the definition, structure, and form of each design district. The assignment of design district must follow the district pattern and intent."

The requested amendment assigns a newly annexed parcel a designation that meets the district pattern and intent (Suburban Neighborhood). The Suburban development pattern and intent, and the Suburban neighborhood definition, structure, and form description are stated below. The assignment of a Suburban Neighborhood design district designation is appropriate due to the established and proposed development patterns in the area.

b. Sec. 109-3.4. Suburban development pattern intent statements:

Intent. Suburban development pattern...relies primarily on a pattern of residential development that provides the majority of property owners with substantial yards on their own property. The street layout, comprised of streets with fewer vehicular connections, helps to reduce cut-through traffic and establishes distinct boundaries for residential communities/subdivisions. Each land use provides for pedestrian and bicycle connections.

Design districts – Suburban Neighborhood

a. Definition. Predominately residential uses with some neighborhood-scale commercial services.

b. Structure. Interconnected trails, bikeways, and walkways with a street framework comprised of a range of blocks permitted throughout the neighborhoods.

c. Form. Mix of detached residential uses with some neighborhood-supporting retail, parks and civic spaces as focal points in the neighborhoods.

The Suburban development patterns statement above indicates that reuses are primarily located on streets with fewer vehicle connections. A Suburban Neighborhood designation follows the district pattern and intent outlined in the Land Development Regulations and is consistent with the existing transect in the area.

c. **Section 102-17(a)**

The following guidelines must be followed when proposing the reassignment of design district:

Compatible intensities should face across streets. Changes in design districts should occur along rear alleys or lanes or along conservation edges.

Reassignment is not being proposed; a Eustis design district designation must be assigned to annexed property; the proposed design district is compatible with the surrounding design districts.

d. **Consistent with Comprehensive Plan:**

Whether the proposed amendment is consistent with all elements of the comprehensive plan.

The requested amendment is consistent with the Future Land Use element (including Policy FLU 1.2.4, Development Patterns and FLU 1.3.2. Maintain Residential Compatibility), as well as all other elements of the Comprehensive Plan.

e. **Consistent with Surrounding Uses:**

Whether, and the extent to which, the proposed design district is consistent with existing and proposed land uses.

The Suburban Neighborhood definition, structure and form are compatible with the existing uses and any proposed uses permitted under the Suburban Residential future land use designation.

f. **Changed Conditions:**

Whether there have been changed conditions that justify amending the design district.

The subject property is proposed for annexation and a design district assignment is necessary. The conditions have changed from land located in unincorporated Lake County without central services to a site within the City of Eustis with municipal services.

g. **Public Facilities.**

Whether, and the extent to which, the proposed redistricting would result in demands on public facilities, and whether, or to the extent to which, the proposed change would exceed the capacity of such public facilities, including, but not limited to police, roads, sewage facilities, water supply, drainage, solid waste, parks and recreation, schools, and fire and emergency medical facilities.

A redistricting is not proposed. Assigning a design district to an annexation property will not change the demand impact on public facilities. The Future Land Use designation controls the density and intensity permitted on the site, so the Design District map amendment would not result in impacts beyond that already anticipated. Also, see the analysis of public facilities in the above sections of this report.

h. Impact on Environment:

Whether, and the extent to which, the redistricting would result in significant impacts on the natural environment.

The proposed Design District designation for this property does not change the development potential of the parcel. Design Districts control the form and function of any development that does occur. The Future Land Use designation controls the density, intensity and minimum open space permitted on the site, so the Design District amendment would not result in additional impacts on the natural environment. As building permit approval must be obtained before development can begin, the Comprehensive Plan and the Land Development Regulations include standards for the protection of environmentally sensitive lands that would apply should conditions at the time of development warrant such protection.

i. Property Values:

Whether, and the extent to which, the proposed redistricting would affect the property values in the area.

Redistricting is not being proposed; a Eustis design district designation must be assigned to the annexed property. This request should not affect property values, because the proposed Design District designation is consistent with the surrounding development patterns and design districts.

j. Orderly Development Pattern:

Whether, and the extent to which, the proposed redistricting would result in an orderly and logical development pattern.

The request is the assignment of a design district to an annexation parcel, not redistricting. However, the proposed Design District designation is consistent with the suburban development pattern identified in Section 109-5.5 of the Land Development Regulations. Assignment of the requested designation will result in a more orderly and logical development pattern; making the designation consistent with the surrounding area designations and established development patterns.

k. Public Interest and Intent of Regulations:

Whether the proposed redistricting would be in conflict with the public interest, and in harmony with the purpose and intent of these regulations.

The request is the assignment of a design district to an annexation parcel, not redistricting. The proposed Design District is not in conflict with the public interest and reflects the purpose and intent of the regulations.

l. Other Matters:

Any other matters that may be deemed appropriate by the city commission, in review and consideration of the proposed redistricting.

The request is the assignment of a design district to an annexation parcel, not redistricting. The City's Land Development Regulations are a form-based code. The Design District designations define the development form, but not the types of land use, densities, intensities, or required open space. The districts, therefore, must be consistent and follow the urban, suburban, and rural transects. This request assigns a Suburban Neighborhood design district designation to an annexation parcel, which is consistent with the existing transect.

Applicable Policies and Codes

1. Resolution Number 87-34

Joint Planning Area Agreement with Lake County: “The City and the County agree that the unincorporated areas adjacent to the City might be appropriately served by urban services provided by the City, and might therefore be annexed into the City in accordance with State law..... The City agrees to annex property in accordance with State law and provide adequate urban services and facilities to serve those areas within the Joint Planning Area.”

2. Florida Statutes Chapter 171.044: Voluntary Annexation:

- a. “The owner or owners of real property in an unincorporated area of a county which is contiguous to a municipality and reasonably compact may petition the governing body of said municipality that said property be annexed to the municipality.”
- b. “Land shall not be annexed through voluntary annexation when such annexation results in the creation of enclaves.”

3. Comprehensive Plan – Mixed Commercial Residential (MCR): This land use designation is intended to regulate the character and scale of commercial uses so as to minimize their impacts on adjacent roadways and to promote their compatibility with adjacent or nearby residential uses. General Range of Uses: This category accommodates a mix of residential, commercial, office, institutional, and schools. Public and utility services that are 5 acres or less in size are also permitted. Maximum Density: Residential densities may not exceed 12 dwelling units per net buildable acre. Intensity Range: up to 2.5 FAR subject to restrictions in Section 109-3 of the Land Development Regulations. Mix Requirements: There are proportional requirements and limitations regarding the amount of residential and non-residential uses allowable in an area designated MCR. For the mixed land use category MCR, the city establishes, and shall monitor on a citywide basis, a mix of uses as follows: Residential: 15% - 25% of total MCR acreage Commercial/Office: 75% - 85% of total MCR acreage. The composition of mix for each proposed development will be determined on a case-by-case basis during the development review process. Specific uses permitted will be monitored by the city to ensure continuity and compatibility with adjacent land uses. Individual properties may develop residentially or commercially, provided that all applicable criteria set forth herein are met. Special Provisions: (1) Future amendments to designate areas as MCR shall be permitted only along arterial and collector roads and in certain neighborhoods which meet the following conditions:

- a. where the arterial road frontage is generally undeveloped, residential development may be feasible and will be encouraged;
- b. strip commercial development shall be minimized, including actions that would extend or expand existing strip development;
- c. the arterial road frontage contains an existing mix of viable commercial and residential uses;
- d. the clustering of viable commercial businesses within or adjacent to residential neighborhoods is determined to not have a detrimental visual or operational impact on such adjacent or nearby residential uses;

(2) Developments within the Wekiva Protection Overlay that include longleaf pine, sand hill, sand pine, and xeric oak communities shall protect these areas as dedicated open space or conservation easements, with total open space equal to at least 35% of the net buildable area.

4. Land Development Regulations Section 109-5.5(b)(1): The Suburban Neighborhood Design District has predominately residential uses with some neighborhood scale commercial services with interconnected trails, bikeways and walkways with a street framework comprised of a range of blocks permitted throughout the neighborhood

5. Land Development Regulations Section 109-3 (Table 1) and Section 109-2.6: T Item 5.2
land use has a maximum density of 12 units to one acre. The MCR designation is intended to regulate the character and scale of commercial and residential uses so as to minimize their impacts on adjacent roadways and promote their compatibility with adjacent or nearby land uses, and provide for mixed-use development.

Recommended Action:

Development Services recommends approval of Ordinance Numbers 23-12, 23-13, and 23-14.

Policy Implications:

None

Alternatives:

1. Approve Ordinance Numbers 23-12 (Annexation), 23-13 (Comp. Plan Amendment), and/or 23-14 (Design District Designation).
2. Deny Ordinance Numbers 23-12, 23-13, and 23-14.

Budget/Staff Impact:

There would be no direct costs to the City beyond the normal City services. There would be no additional staff time beyond the normal review process.

Prepared By:

Jeff Richardson, AICP, Deputy Development Services Director

Reviewed By:

Mike Lane, AICP, Development Services Director

Heather Croney, Senior Planner

ORDINANCE NUMBER 23-12

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF EUSTIS, FLORIDA, VOLUNTARILY ANNEXING APPROXIMATELY 10.98 ACRES OF REAL PROPERTY AT ALTERNATE KEY NUMBERS 1444756, 2585153, AND 2535628, GENERALLY LOCATED AT 18900 STATE ROAD 44, EAST OF LAKE JOANNA AND NORTH OF LOCH LEVEN.

WHEREAS, Yasamin Rahmanparast, as the applicant and the principal of MC Group, Inc., the legal owners of record, has made an application for voluntary annexation of approximately 10.98 acres of real property located at 18900 State Road 44, East of Lake Joanna and North of Loch Leven, more particularly described as:

Parcel Alternate Keys: 1444756, 2535628, and 2585153

Parcel Identification Number: 17-19-27-0001-000-04400, 17-19-27-0001-000-00800, and 17-19-27-0001-000-05600

Legal Description:

Parcel 1

S 322 FT OF N 642 FT OF NE 1/4--LESS E 1772.79 FT & LESS CR 44B & LESS N 40 FT OF W 60 FT LYING E OF CR 44B-- ORB 5790 PG 2287

Parcel 2

BEG AT A PT 911.51 FT S & 2176.86 FT W OF NE COR OF SEC, RUN N 269.51 FT, W TO E R/W OF SR 44-B, S'LY ALONG SD R/W TO A PT 911.51 FT S OF N LINE OF SEC, E PARALLEL TO N LINE OF SEC TO POB ORB 5790 PG 2287

Parcel 3

S 269.51 FT OF N 911.5 FT OF W 404.07 FT OF E 2176.86 FT OF NE 1/4 ORB 5790 PG 2287

(The foregoing legal description was created via optical character recognition from the applicant's PDF submittal and has not been verified for accuracy); and

WHEREAS, the subject property is reasonably compact and contiguous; and

WHEREAS, the annexation of this property will not result in the creation of enclaves; and

WHEREAS, the subject property is located within the City of Eustis Planning Area, and water service is available to the property; and

WHEREAS, on July 6, 2023 the City Commission held the 1st Public Hearing to consider the voluntary annexation of the property contained herein; and

WHEREAS, on July 20, 2023, the City Commission held the 2nd Public Hearing to consider the voluntary annexation of the property contained herein

NOW, THEREFORE, THE COMMISSION OF THE CITY OF EUSTIS HEREBY ORDAINS:

SECTION 1.

That pursuant to, and under the authority of, Florida Statute 171.044, the City of Eustis, Lake County, Florida, does hereby annex and amend the municipal boundaries to include approximately 10.98 acres of real property, as described above.

A map depicting the location of the annexed property described above is attached hereto as Exhibit "A".

SECTION 2.

That the Director of Development Services shall be authorized to amend the City of Eustis Boundary Map to incorporate the change described in Section 1.

SECTION 3.

That all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SECTION 4.

That upon final passage and adoption, the City Clerk is hereby directed to file a copy hereof with the Clerk of the Circuit Court, the County Manager for Lake County, Florida, and the Department of State for the State of Florida within 7 days after the adoption of such ordinances.

SECTION 5.

That should any section, phrase, sentence, provision or portion of this Ordinance be declared by any court of competent jurisdiction to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole, or any part thereof, other than the part so declared to be unconstitutional or invalid.

SECTION 6.

That this Ordinance shall become effective upon passing.

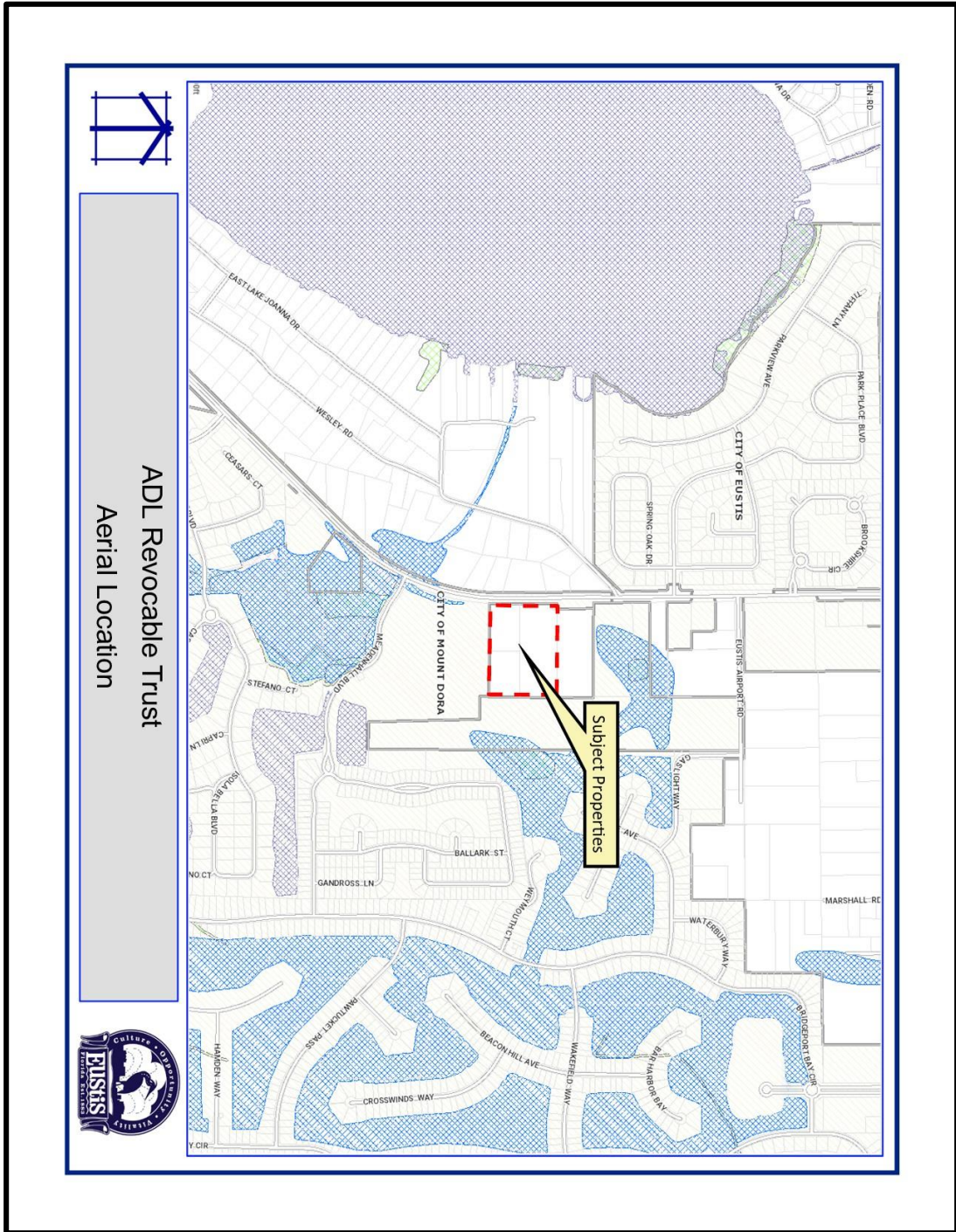
CERTIFICATE OF POSTING

The foregoing Ordinance Number 23-12 is hereby approved, and I certify that I published the same by posting one copy hereof at City Hall, one copy hereof at the Eustis Memorial Library, and one copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk

EXHIBIT "A"

GENERAL LOCATION MAP

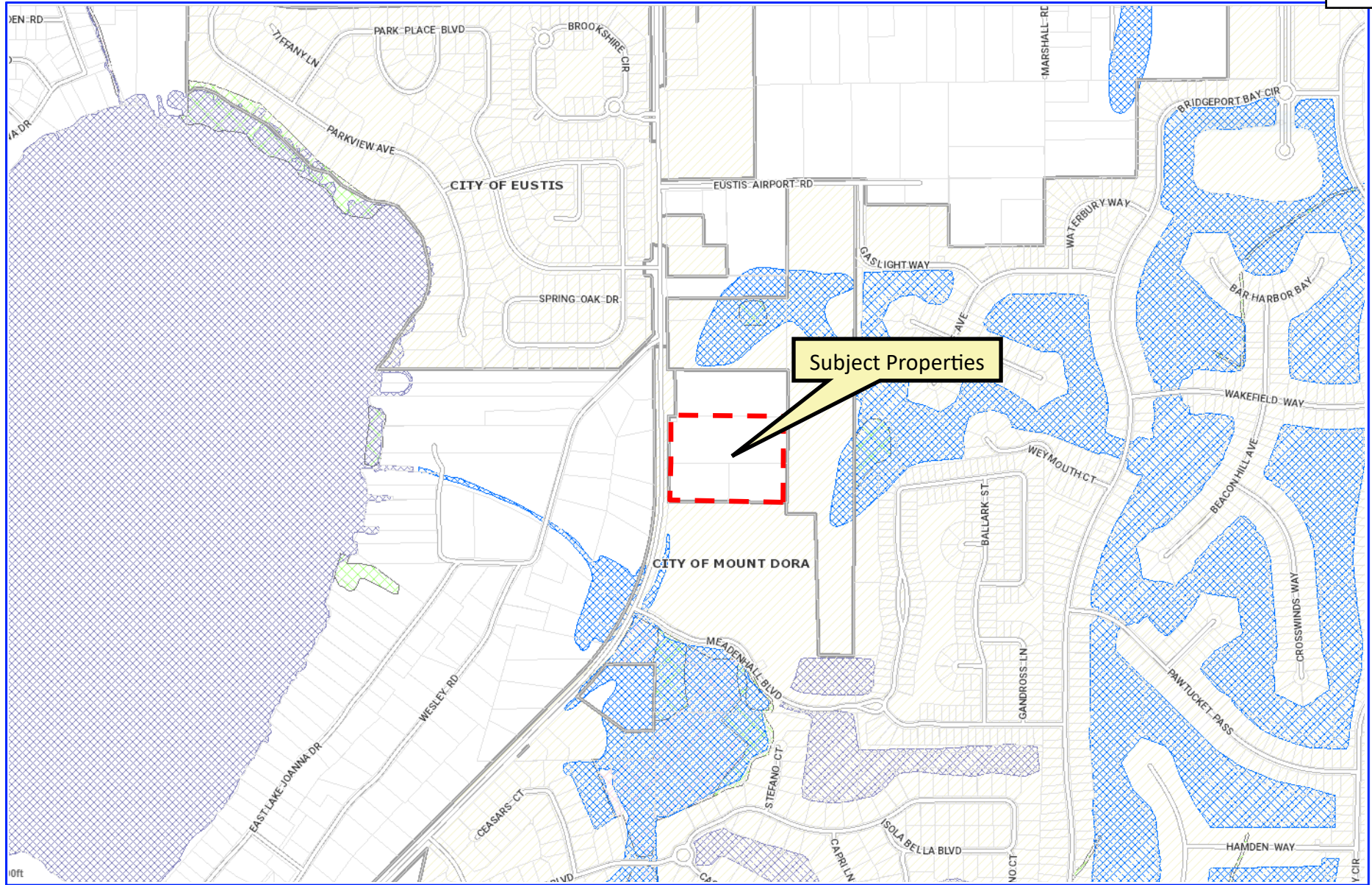


Ordinance Number 23-12
Annexation 2023-A-02
18900 State Road 44, East of Lake Joanna and North of Loch Leven
Page 5 of 5



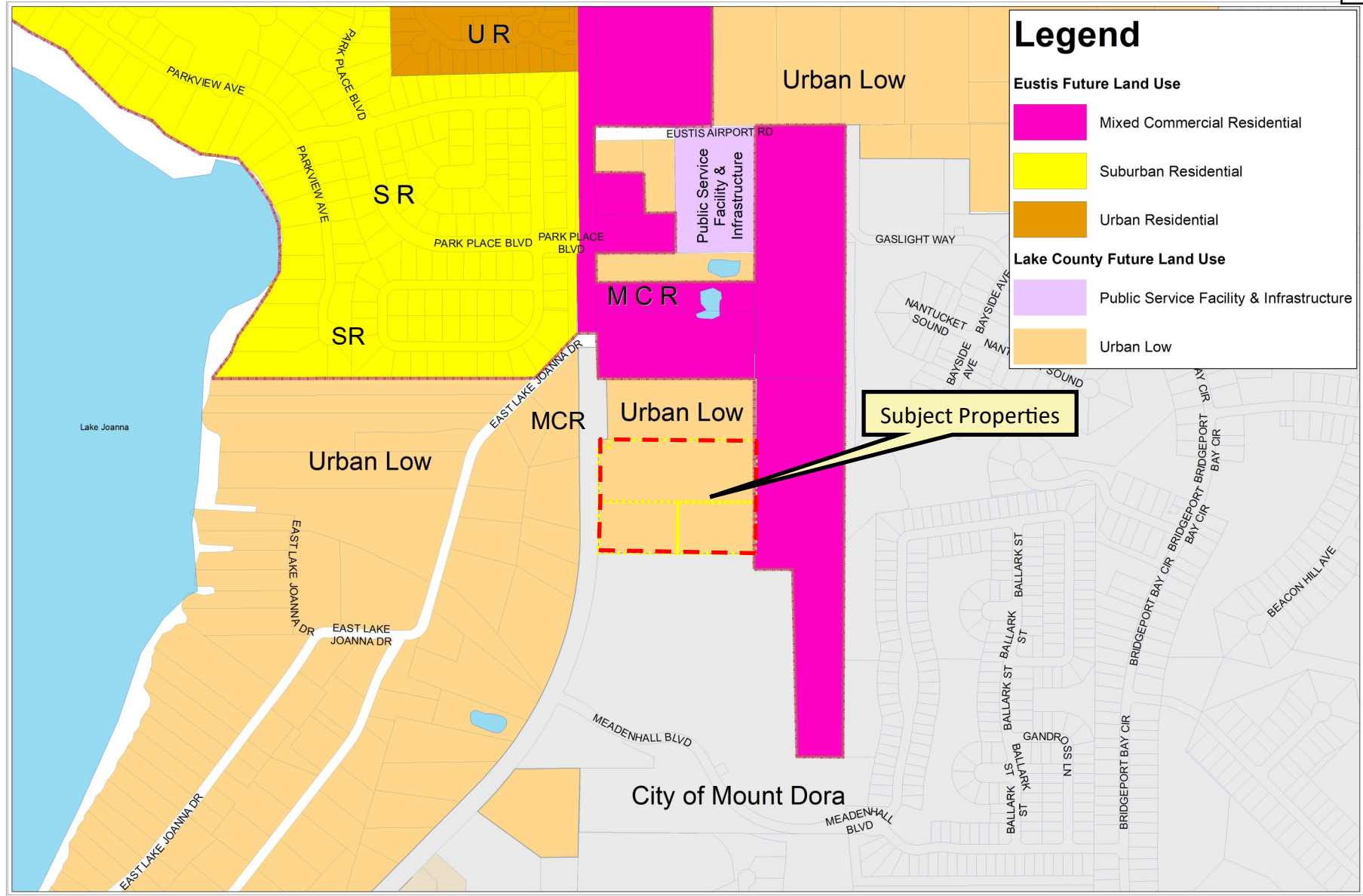
MC Group Enterprises, Inc
Aerial Location





MC Group Enterprises, Inc
Aerial Location





Legend

Eustis Future Land Use

- Mixed Commercial Residential
- Suburban Residential
- Urban Residential

Lake County Future Land Use

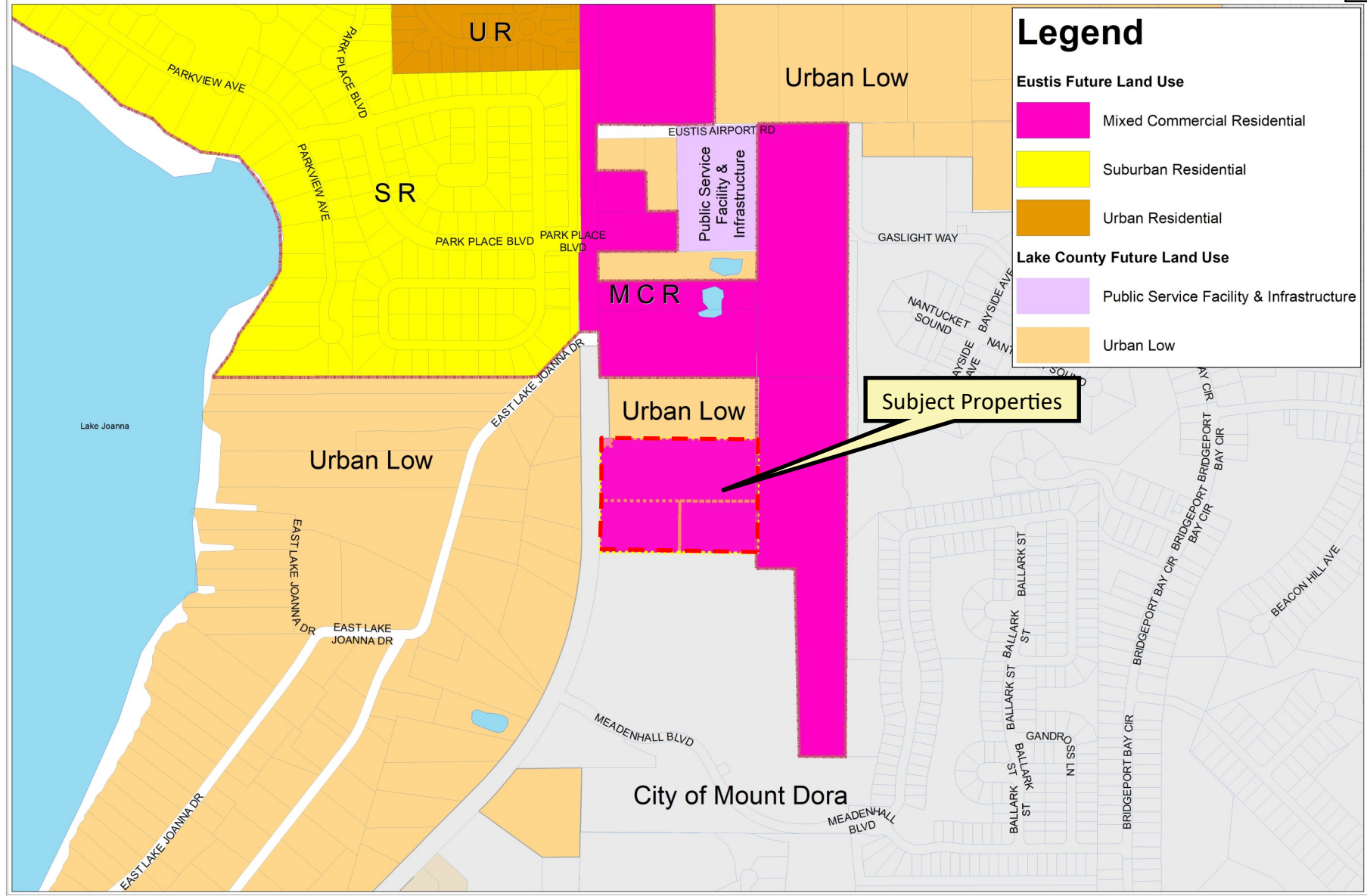
- Public Service Facility & Infrastructure
- Urban Low

Subject Properties



MC Group Enterprises, Inc
 Future Land Use (Current)





Legend

Eustis Future Land Use

- Mixed Commercial Residential
- Suburban Residential
- Urban Residential

Lake County Future Land Use

- Public Service Facility & Infrastructure
- Urban Low

Subject Properties

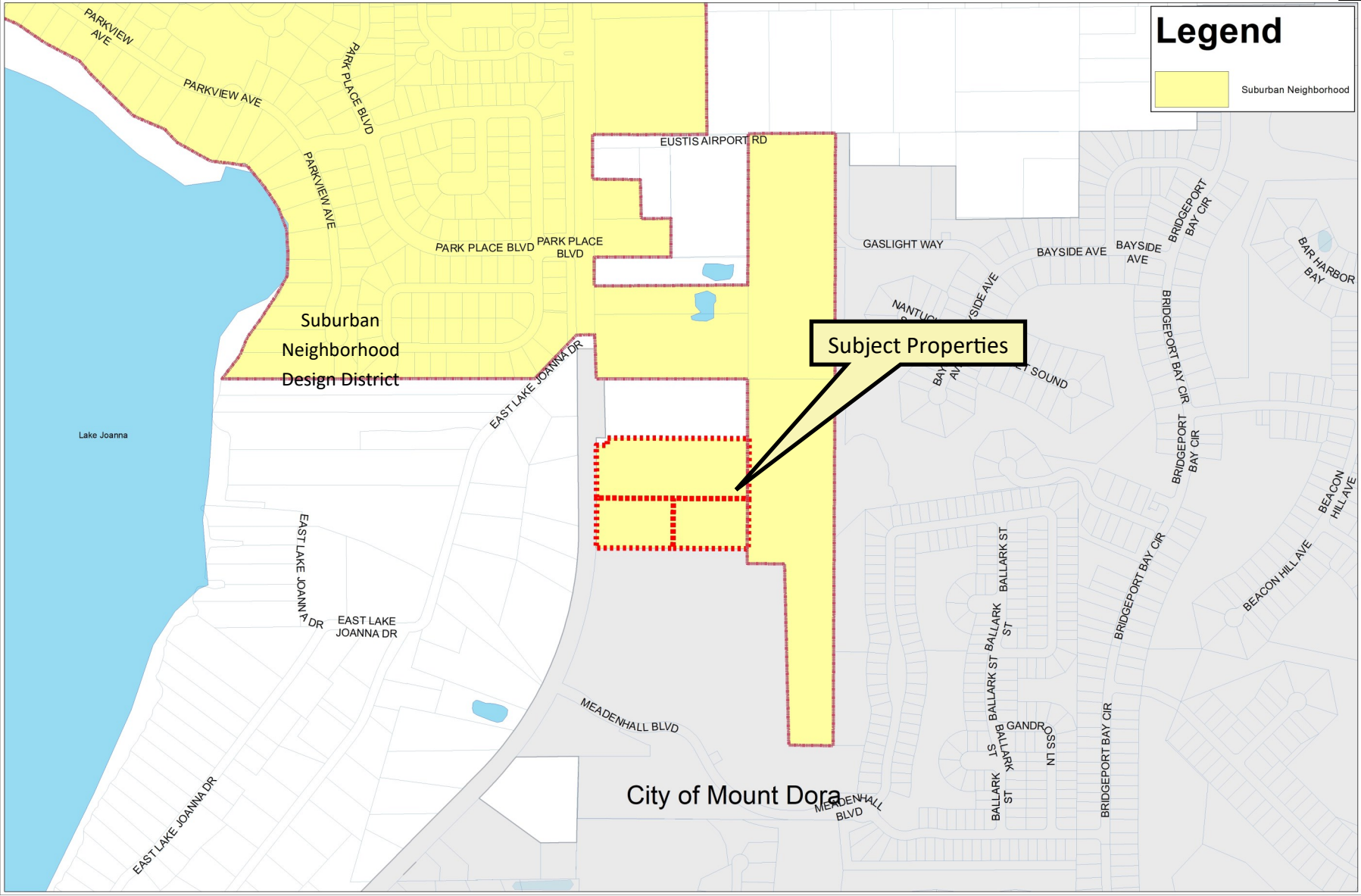


MC Group Enterprises, Inc
 Future Land Use (Proposed)



Legend

 Suburban Neighborhood



Subject Properties

Suburban
Neighborhood
Design District

City of Mount Dora


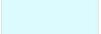


MC Group Enterprises, Inc
Design District



Legend

FEMA Flood Hazrd 2012

	A
	AE

Flood Zone

Subject Properties

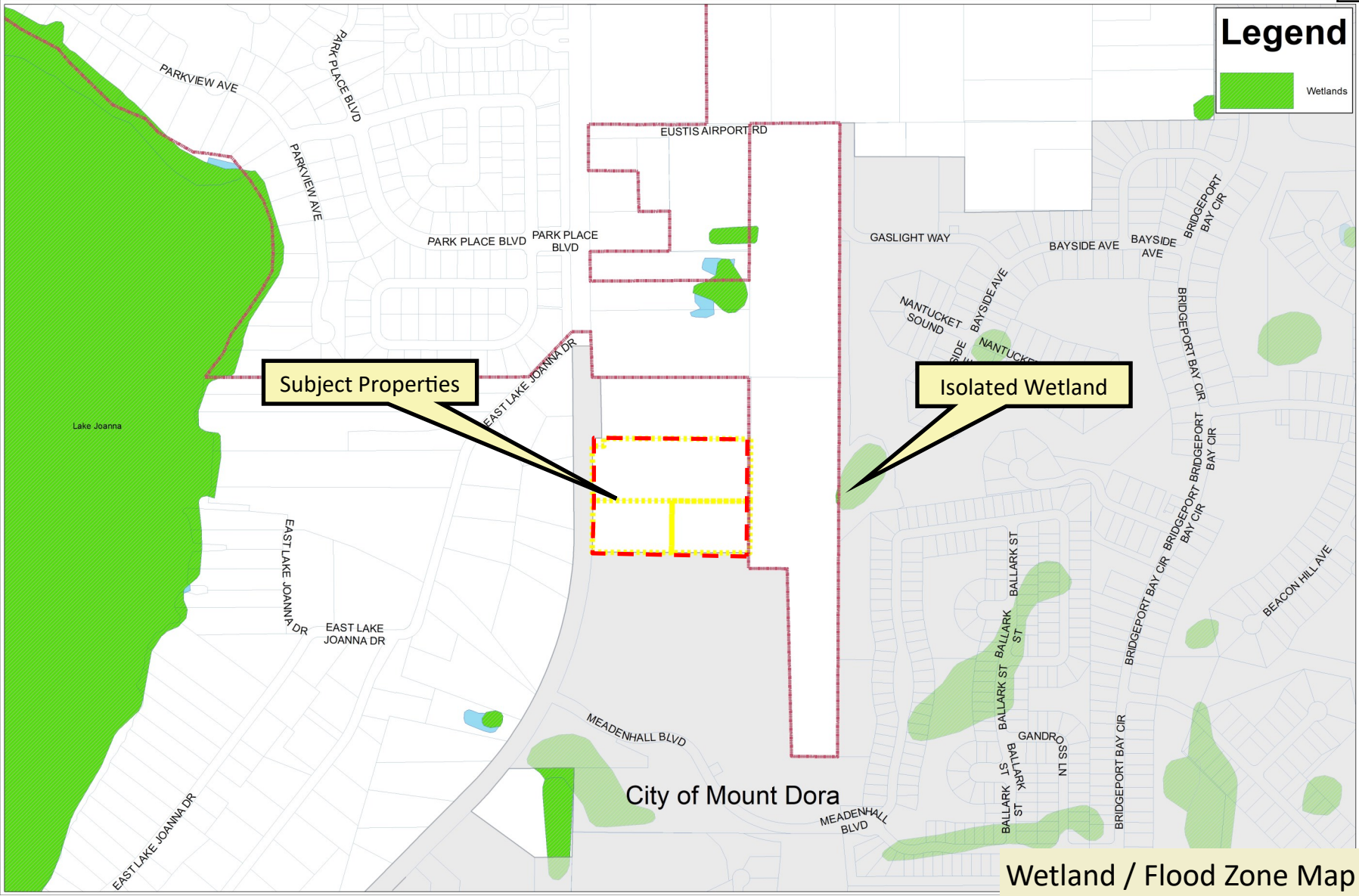
Wetland / Flood Zone Map



MC Group Enterprises, Inc



Legend

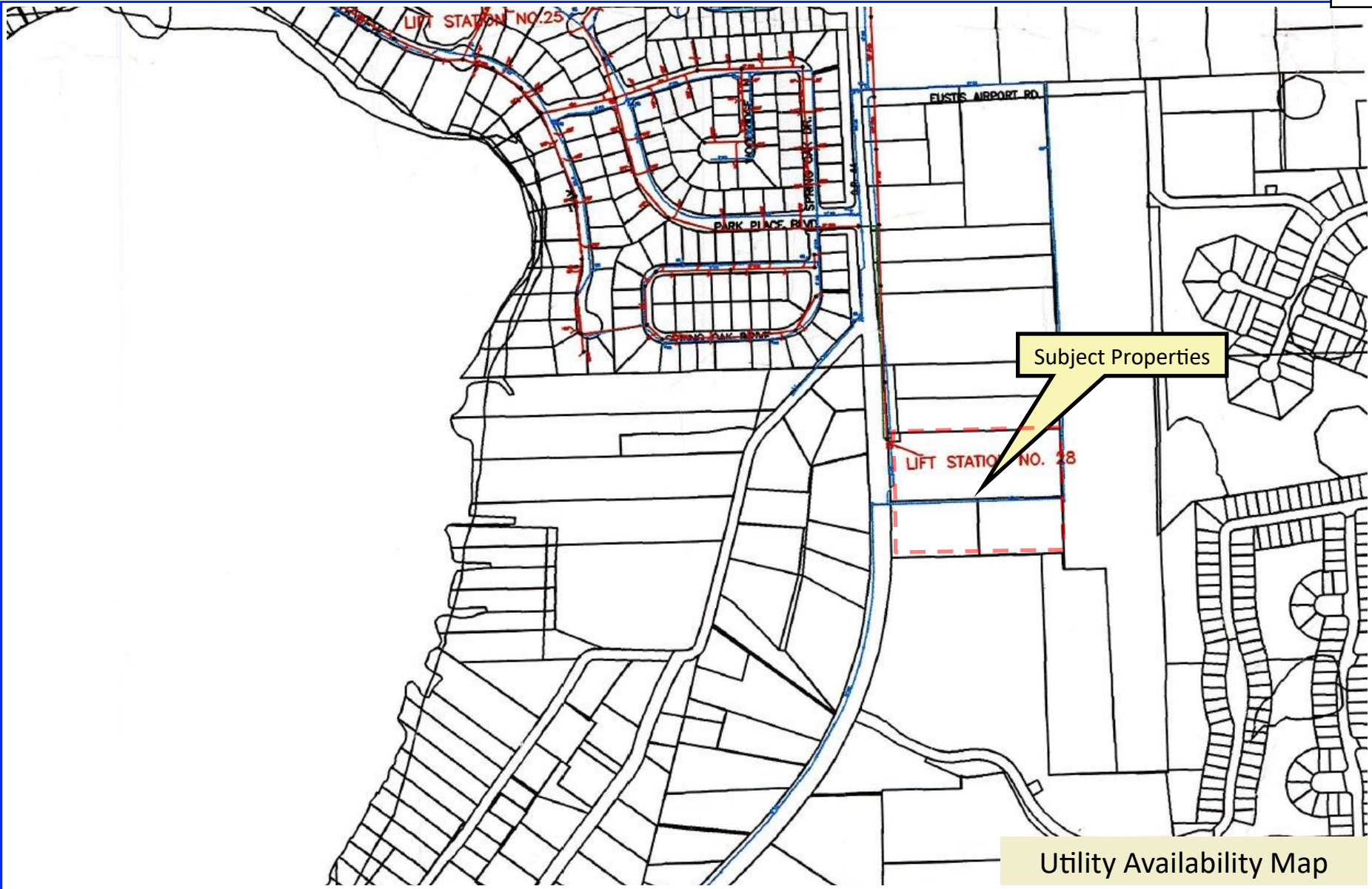


Wetland / Flood Zone Map



MC Group Enterprises, Inc





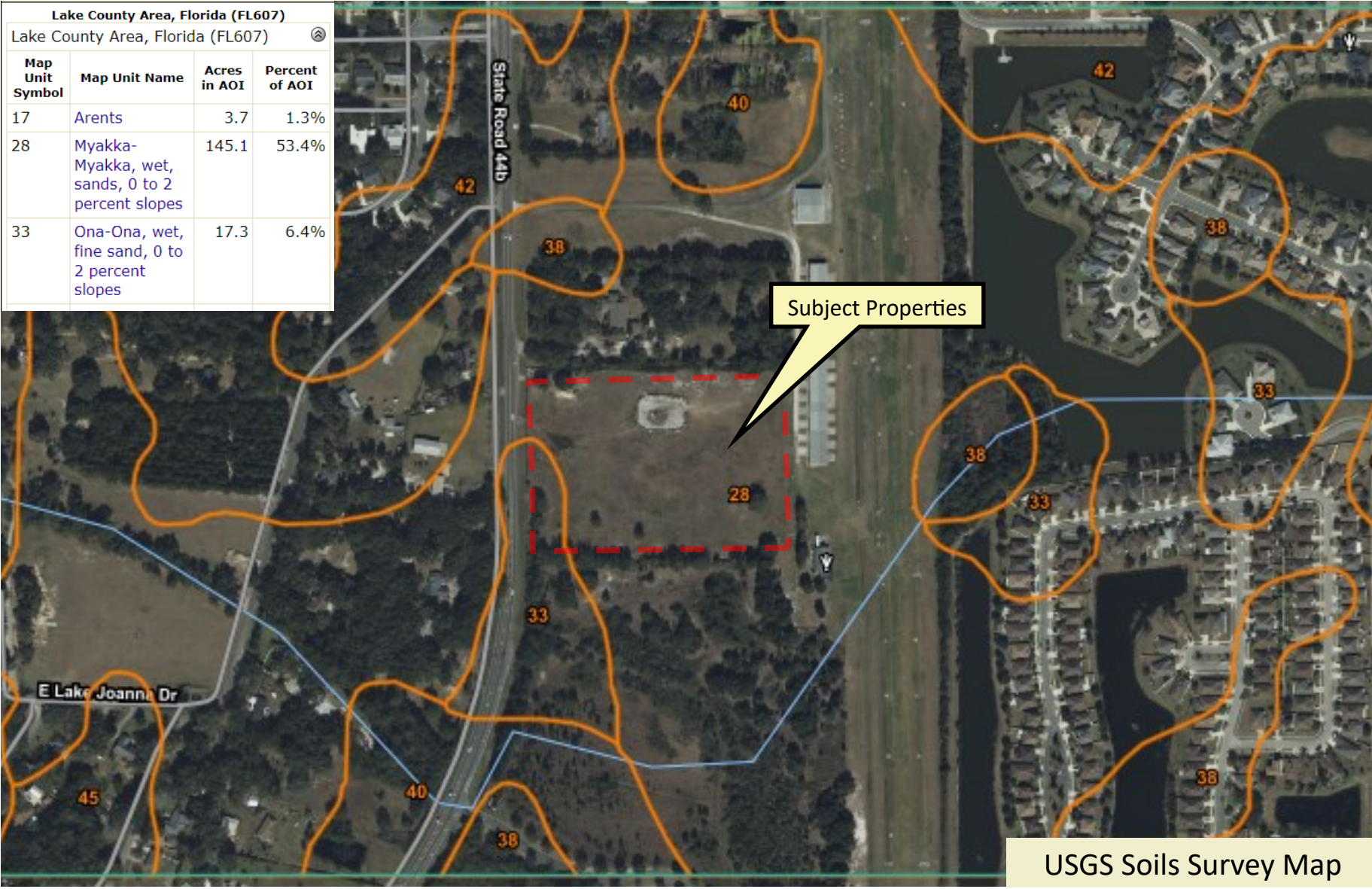
MC Group Enterprises, Inc



Lake County Area, Florida (FL607)

Lake County Area, Florida (FL607)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
17	Arents	3.7	1.3%
28	Myakka-Myakka, wet, sands, 0 to 2 percent slopes	145.1	53.4%
33	Ona-Ona, wet, fine sand, 0 to 2 percent slopes	17.3	6.4%

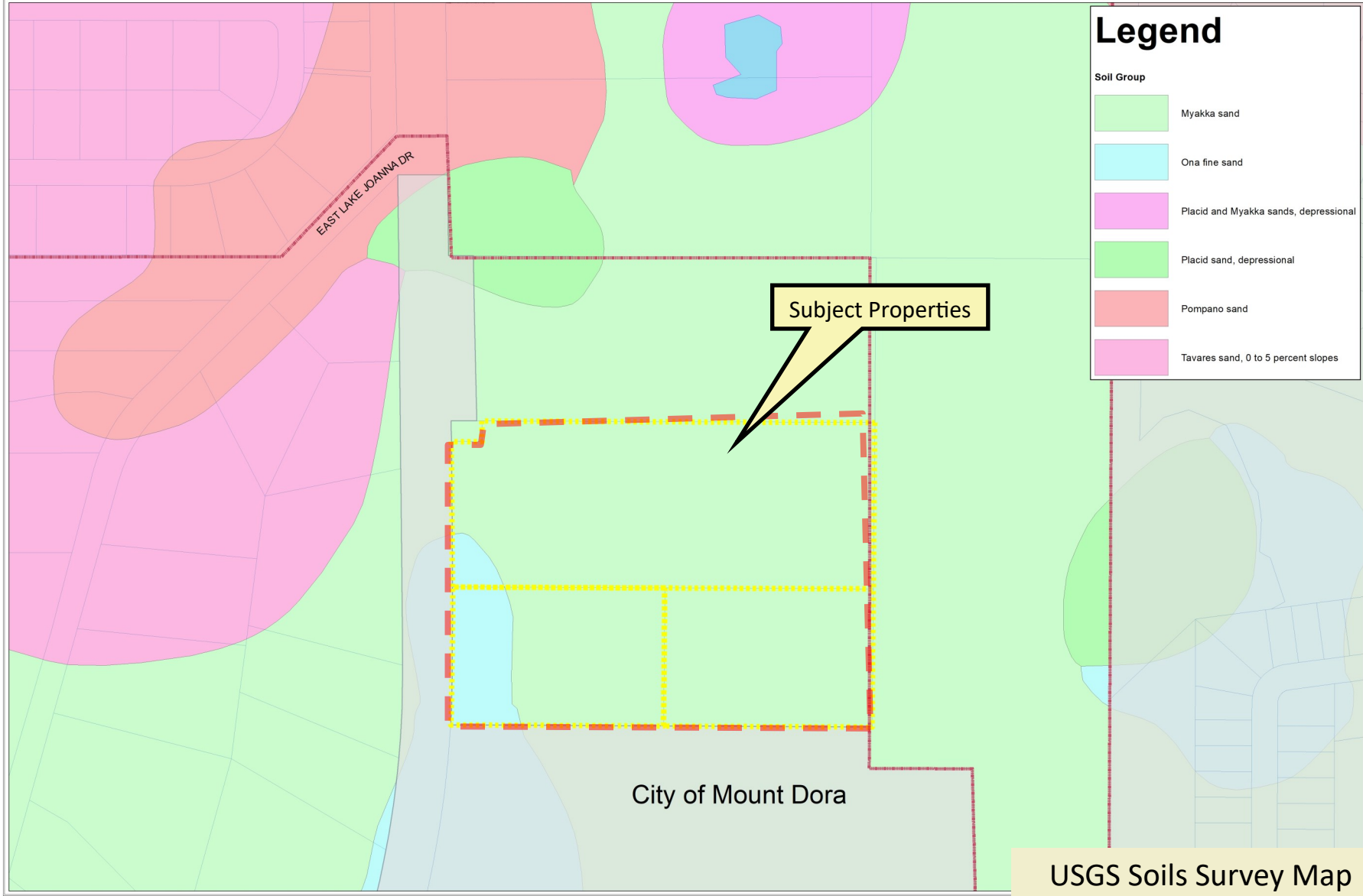


USGS Soils Survey Map



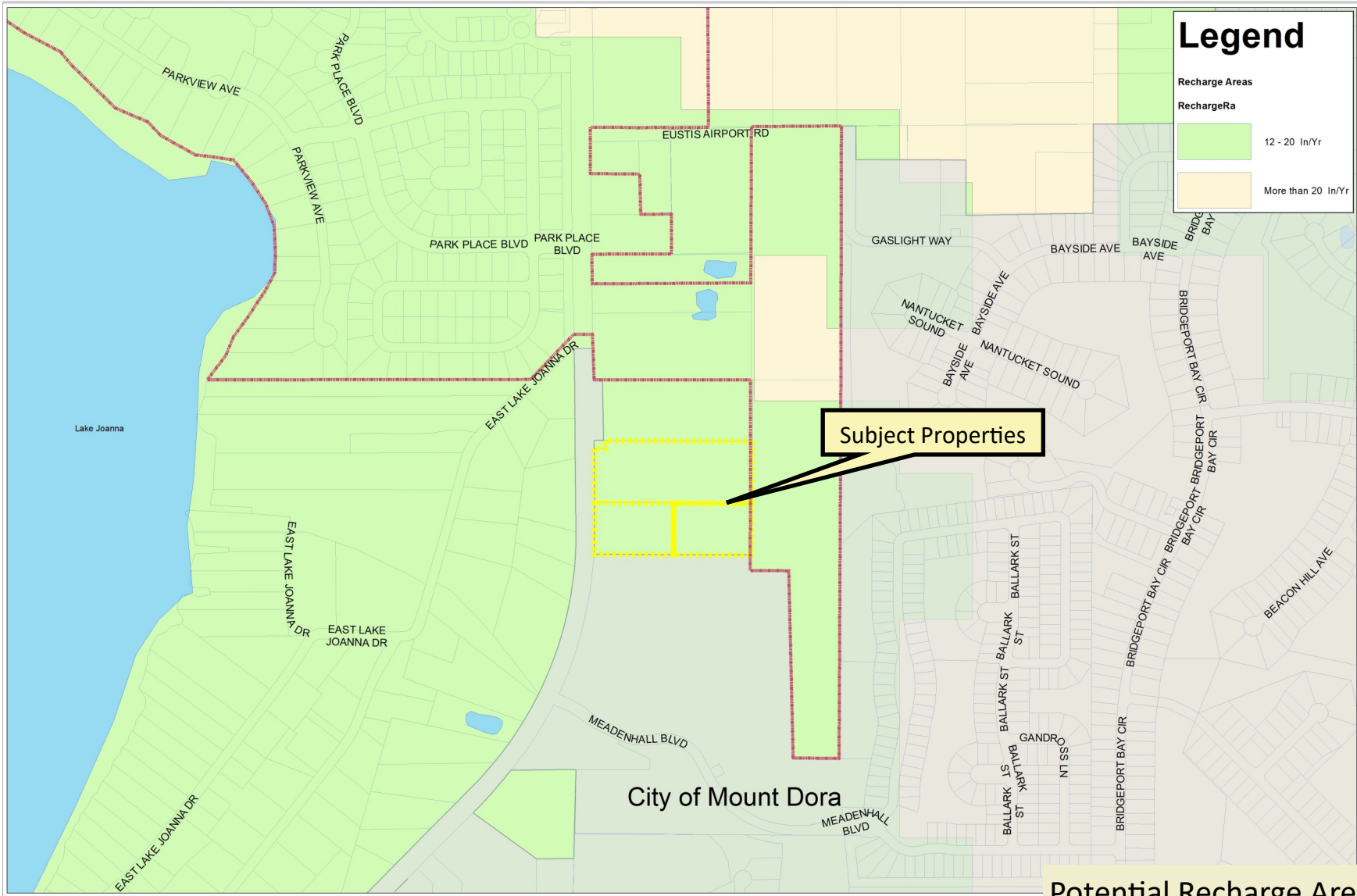
MC Group Enterprises, Inc





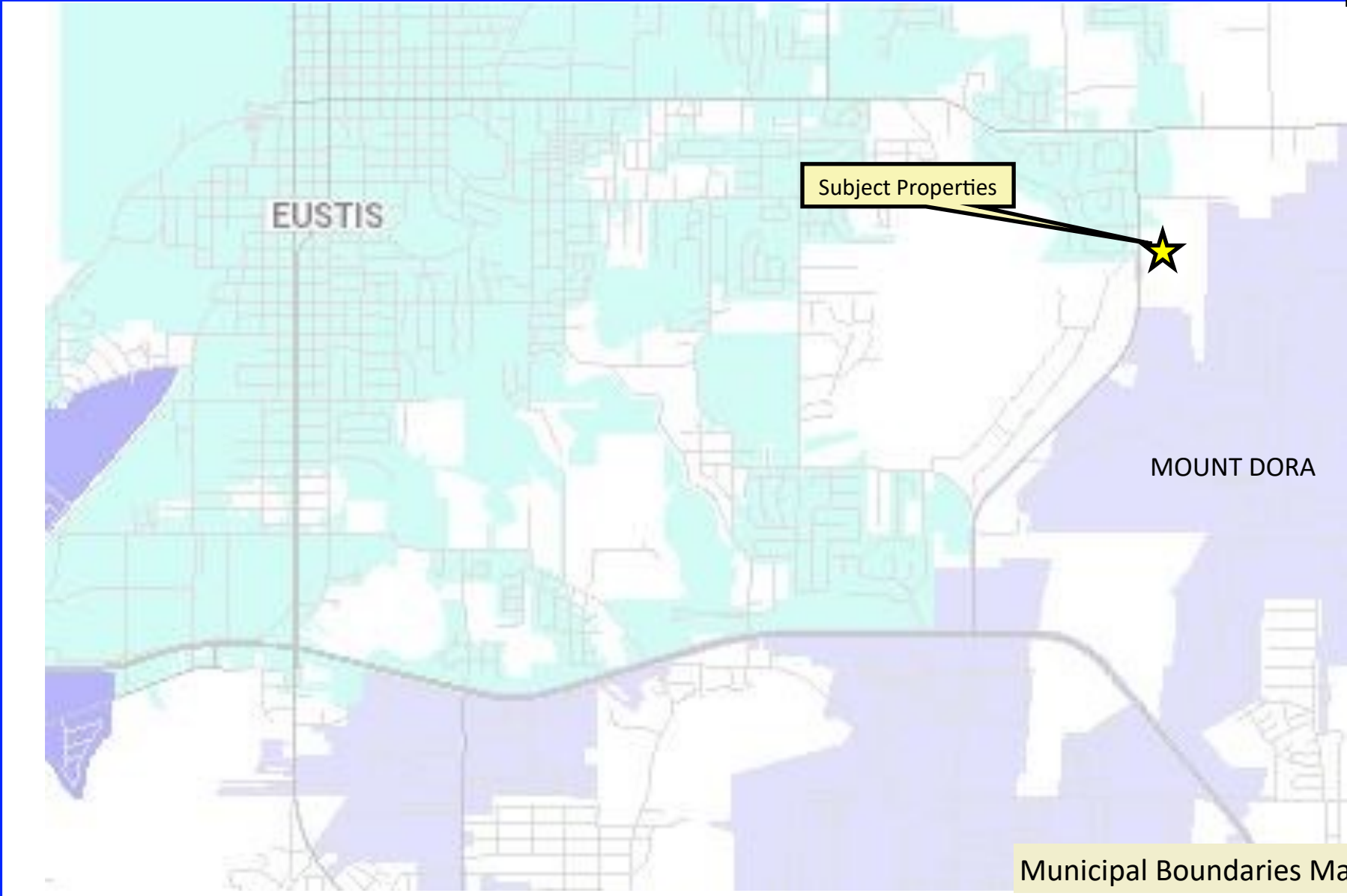
MC Group Enterprises, Inc





MC Group Enterprises, Inc
 Potential Recharge





MC Group Enterprises, Inc



ORDINANCE NUMBER 23-13

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, AMENDING THE CITY OF EUSTIS COMPREHENSIVE PLAN PURSUANT TO 163.3187 F.S.; CHANGING THE FUTURE LAND USE DESIGNATION OF APPROXIMATELY 10.98 ACRES OF RECENTLY ANNEXED REAL PROPERTY AT ALTERNATE KEY NUMBERS 1444756, 2585153, AND 2535628, GENERALLY LOCATED AT 18900 STATE ROAD 44, EAST OF LAKE JOANNA AND NORTH OF LOCH LEVEN, FROM URBAN LOW IN LAKE COUNTY TO MIXED COMMERCIAL RESIDENTIAL IN THE CITY OF EUSTIS.

WHEREAS, on November 4, 2010, the Eustis City Commission adopted the City of Eustis Comprehensive Plan 2010-2035 through Ordinance Number 10-11; and

WHEREAS, the State of Florida Department of Community Affairs found the City of Eustis Comprehensive Plan 2010-2035 in Compliance, pursuant to Sections 163.3184, 163.3187, and 163.3189 Florida Statutes; and

WHEREAS, the City of Eustis periodically amends its Comprehensive Plan, in accordance with Chapters 163.3187 and 163.3191, Florida Statutes; and

WHEREAS, the City of Eustis desires to amend the Future Land Use Map Series to change the Future Land Use designation on approximately 10.98 acres of real property located at 18900 State Road 44, East of Lake Joanna and North of Loch Leven (Alternate Key Numbers 1444756, 2535628, 2585153), and more particularly described herein as Exhibit "A"; and

WHEREAS, on July 6, 2023, the Local Planning Agency held a Public Hearing to consider the adoption of a Small-Scale Future Land Use Amendment for this change in the designation; and

WHEREAS, on July 6, 2023, the City Commission held the 1st Adoption Public Hearing to accept the Local Planning Agency's recommendation to adopt the Small-Scale Future Land Use Amendment contained herein; and

WHEREAS, on July 20, 2023, the City Commission held the 2nd Adoption Public Hearing to consider the adoption of the Small-Scale Future Land Use Amendment contained herein as Exhibit "B";

NOW, THEREFORE, THE COMMISSION OF THE CITY OF EUSTIS HEREBY ORDAINS:

SECTION 1.

Land Use Designation: That the Future Land Use Designation of the real property as described below shall be changed from Urban Low in Lake County to Mixed Commercial/ Residential (MCR) within the City of Eustis:

Parcel Alternate Keys: 1444756, 2535628, and 2585153

Parcel Identification Number: 17-19-27-0001-000-04400, 17-19-27-0001-000-00800, and 17-19-27-0001-000-05600

Legal Description:

Parcel 1

S 322 FT OF N 642 FT OF NE 1/4--LESS E 1772.79 FT & LESS CR 44B & LESS N 40 FT OF W 60 FT LYING E OF CR 44B-- ORB 5790 PG 2287

Parcel 2

BEG AT A PT 911.51 FT S & 2176.86 FT W OF NE COR OF SEC, RUN N 269.51 FT, W TO E R/W OF SR 44-B, S'LY ALONG SD R/W TO A PT 911.51 FT S OF N LINE OF SEC, E PARALLEL TO N LINE OF SEC TO POB ORB 5790 PG 2287

Parcel 3

S 269.51 FT OF N 911.5 FT OF W 404.07 FT OF E 2176.86 FT OF NE 1/4 ORB 5790 PG 2287

(The foregoing legal description was created via optical character recognition from the applicant's PDF submittal and has not been verified for accuracy); and

SECTION 2.

Map Amendment and Notification: That the Director of Development Services shall be authorized to amend the Future Land Use Map of the Comprehensive Plan to incorporate the change described in Section 1 and provide appropriate notification in accordance with Florida Statutes.

SECTION 3.

Conflict: That all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SECTION 4.

Severability: That should any section, phrase, sentence, provision, or portion of this Ordinance be declared by any court of competent jurisdiction to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole, or any part thereof, other than the part so declared to be unconstitutional or invalid.

SECTION 5.

Effective Date: The effective date of this plan amendment, if the amendment is not timely challenged, shall be 31 days after the Department of Economic Opportunity notifies the local government that the plan amendment package is complete. If timely challenged, this amendment shall become effective on the date the Department of Economic Opportunity or the Administration Commission enters a final order determining this adopted amendment to be compliant. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective. If a final order of noncompliance is issued

by the Administration Commission, this amendment may nevertheless be made effective by the adoption of a resolution affirming its effective status, a copy of which resolution shall be sent to the Department of Economic Opportunity.

PASSED, ORDAINED AND APPROVED in Regular Session of the City Commission of the City of Eustis, Florida, this 20th day of July 2023.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this 20th day of July 2023, by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires:
Notary Serial No:

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content for the use and reliance of the Eustis City Commission.

City Attorney's Office

Date

CERTIFICATE OF POSTING

The foregoing Ordinance Number 23-13 is hereby approved, and I certify that I published the same by posting one copy hereof at City Hall, one copy hereof at the Eustis Memorial Library, and one copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk

EXHIBIT "A"**LEGAL DESCRIPTION:**

Parcel 1

FROM THE SOUTHEAST CORNER OF SECTION 8 TOWNSHIP 19 SOUTH RANGE 27 EAST RUN SOUTH 89-24-00 WEST ALONG THE SOUTH LINE OF SAID SECTION 8 A DISTANCE OF 1305.12 FEET FOR THE POINT OF BEGINNING, RUN NORTH 00-36-00 WEST 1306.90 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 8, RUN WEST 466.67 FEET, SOUTH 00-36-00 EAST TO THE SOUTH LINE OF SECTION 8, NORTH 89-24-00 EAST 466.67 FEET TO THE POINT OF BEGINNING ORB 5330 PG 2169

Parcel 2

FROM NE COR OF SEC RUN W ALONG N LINE OF SEC 1306.12 FT FOR POB, RUN S 0DEG 36MIN E 1959.79 FT, S 89DEG 24MIN W 466.67 FT, N 0DEG 36MIN W 1959.79 FT TO N LINE OF SEC, E'LY 466.67 FT TO POB--LESS FROM NE COR OF SEC RUN N 89DEG 43MIN 49SEC W 1304.56 FT, S 00DEG 16MIN 30SEC W 1959.72 FT, N 89DEG 43MIN 30SEC W 239.22 FT FOR POB, CONT N 89DEG 43MIN 30SEC W 327.45 FT, N 00DEG 16MIN 30SEC W 1048.27 FT, S 89DEG 43MIN 49SEC E 100 FT, S 00DEG 16MIN 30SEC W 77.78 FT, S 89DEG 46MIN 03SEC E 199.64 FT, S 01DEG 21MIN 59SEC E 971.04 FT TO POB-- ORB 5330 PG 2169

Parcel 3

S 322 FT OF N 642 FT OF NE 1/4--LESS E 1772.79 FT & LESS CR 44B & LESS N 40 FT OF W 60 FT LYING E OF CR 44B-- ORB 5790 PG 2287

Parcel 4

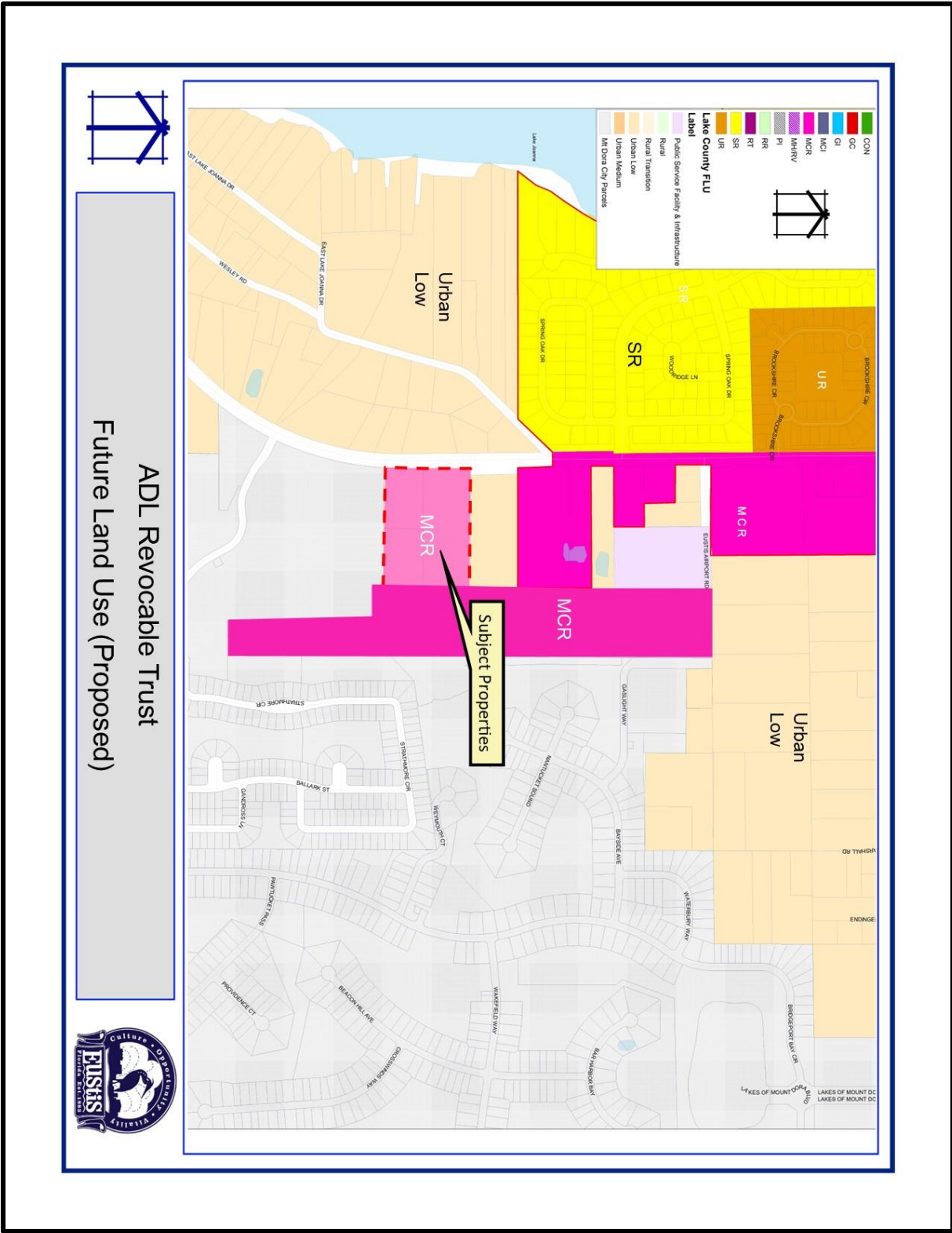
BEG AT A PT 911.51 FT S & 2176.86 FT W OF NE COR OF SEC, RUN N 269.51 FT, W TO E R/W OF SR 44-B, S'LY ALONG SD R/W TO A PT 911.51 FT S OF N LINE OF SEC, E PARALLEL TO N LINE OF SEC TO POB ORB 5790 PG 2287

Parcel 5

S 269.51 FT OF N 911.5 FT OF W 404.07 FT OF E 2176.86 FT OF NE 1/4 ORB 5790 PG 2287

(The foregoing legal description was created via optical character recognition from the applicant's PDF submittal and has not been verified for accuracy)

EXHIBIT "B"



ORDINANCE NUMBER 23-14

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA; ASSIGNING THE SUBURBAN NEIGHBORHOOD DESIGN DISTRICT DESIGNATION TO APPROXIMATELY 10.98 ACRES OF RECENTLY ANNEXED REAL PROPERTY AT ALTERNATE KEY NUMBERS 1444756, 2585153, AND 2535628, GENERALLY LOCATED AT 18900 STATE ROAD 44, EAST OF LAKE JOANNA AND NORTH OF LOCH LEVEN.

WHEREAS, the City of Eustis desires to amend the Design District Map of the Land Development Regulations adopted under Ordinance Number 09-33 to assign a Design District designation of Suburban Neighborhood to approximately 10.98 acres of the recently annexed real property further described below, and

WHEREAS, on July 6, 2023, the City Commission held the 1st Public Hearing to consider the Design District Amendment contained herein; and

WHEREAS, on July 20, 2023, the City Commission held the 2nd Public Hearing to consider the adoption of the Design District Amendment contained herein;

NOW, THEREFORE, THE COMMISSION OF THE CITY OF EUSTIS, FLORIDA, HEREBY ORDAINS:

Section 1. Design District Designation

That the Design District Designation of the real property described below, and more specifically in Exhibit "A", and shown in Exhibit "B", shall be Suburban Neighborhood:

Parcel Alternate Keys: 1444756, 2535628, 2585153

Parcel Identification Numbers: 17-19-27-0001-000-04400, 17-19-27-0001-000-00800, 17-19-27-0001-000-05600

Legal Description: Exhibit "A"

Section 2. Map Amendment

That the Director of Development Services shall be authorized to amend the Design District Map to incorporate the change described in Section 1.

Section 3. Conflict

That all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

Section 4. Severability

That should any section, phrase, sentence, provision, or portion of this Ordinance be declared by any court of competent jurisdiction to be unconstitutional or invalid, such decision shall not affect the validity of the

CERTIFICATE OF POSTING

The foregoing Ordinance Number 23-14 is hereby approved, and I certify that I published the same by posting one copy hereof at City Hall, one copy hereof at the Eustis Memorial Library, and one copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk

EXHIBIT "A"**LEGAL DESCRIPTION:**

Parcel 1

S 322 FT OF N 642 FT OF NE 1/4--LESS E 1772.79 FT & LESS CR 44B & LESS N 40 FT OF W 60 FT LYING E OF CR 44B-- ORB 5790 PG 2287

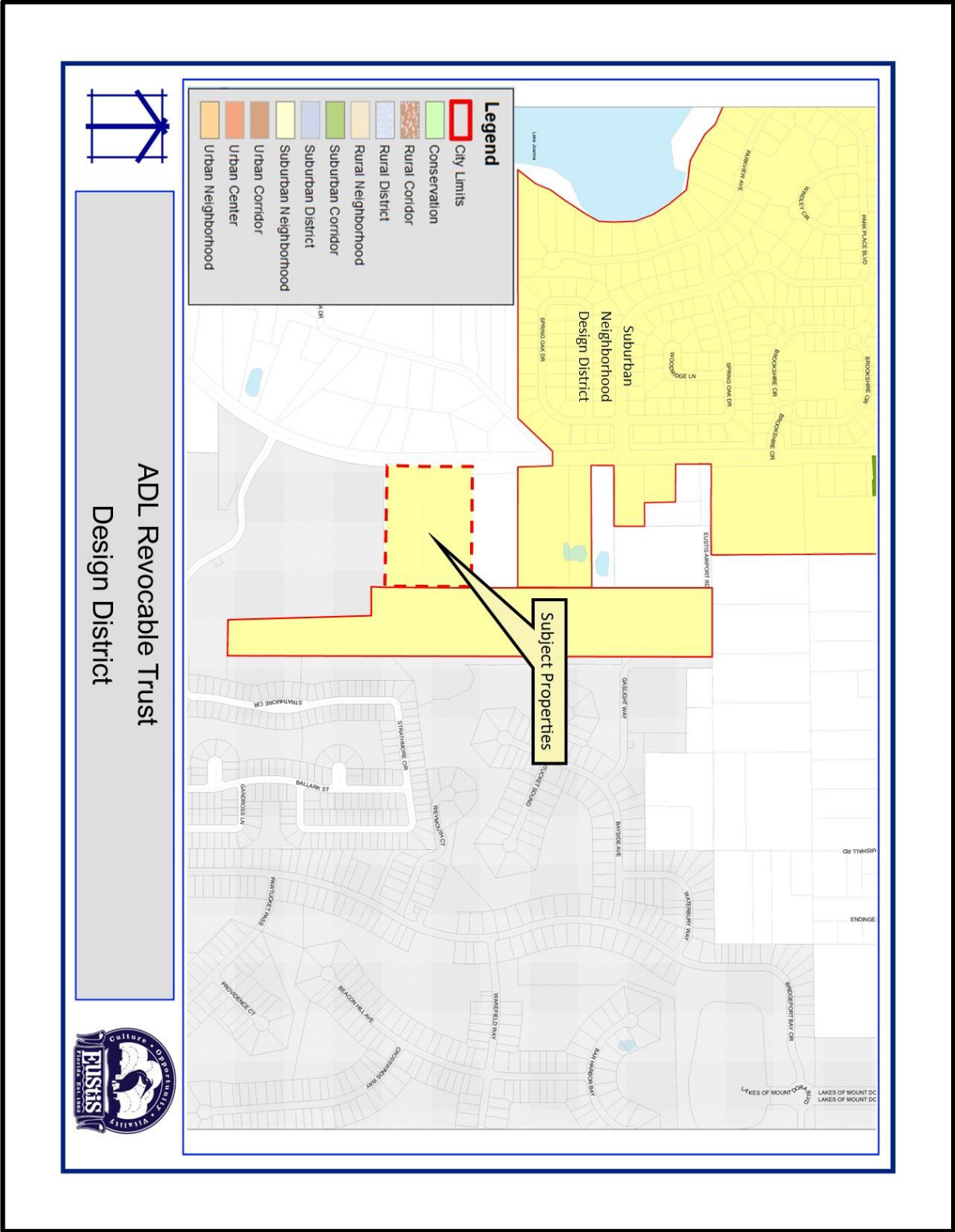
Parcel 2

BEG AT A PT 911.51 FT S & 2176.86 FT W OF NE COR OF SEC, RUN N 269.51 FT, W TO E R/W OF SR 44-B, S'LY ALONG SD R/W TO A PT 911.51 FT S OF N LINE OF SEC, E PARALLEL TO N LINE OF SEC TO POB ORB 5790 PG 2287

Parcel 3

S 269.51 FT OF N 911.5 FT OF W 404.07 FT OF E 2176.86 FT OF NE 1/4 ORB 5790 PG 2287

(The foregoing legal description was created via optical character recognition from the applicant's PDF submittal and has not been verified for accuracy); and





City of Eustis

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5430

TO: Eustis City Commission

FROM: Tom Carrino, City Manager

DATE: July 20, 2023

RE: Ordinance Number 23-11: **FIRST READING** Conditional Use Permit for an Accessory Dwelling Unit at 708 East Lemon Avenue

Introduction:

Ordinance Number 23-11 approves a Conditional Use Permit for an accessory dwelling unit to an existing single-family residence in the Suburban Residential (SR) land use district for property located at 708 East Lemon Avenue (Alternate Key Number 1631271).

This item was previously discussed during the June 15 City Commission meeting, which was planned to be the first reading of this item. The property owner was not present. James Svenson, who is the applicant as well as the contractor who has done work on the property, was present and spoke on this item. Some questions were specific to the property owner, and Mr. Svenson was unable to answer all questions Commission had regarding the request. The Commission requested that the item be tabled until a later date when the property owner could attend in person. The property owner had communicated to staff previously that she would be in town and available for any needs during this time at the end of the month. The Commission moved to table this item until a date certain of July 20 and if the property owner could not attend then it would be postponed until a different date that the property owner could attend. The property owner, Amy Taylor, confirmed via email on July 9 that she plans to be present on July 20 for the City Commission meeting.

Recommended Action:

The administration recommends approval of Ordinance Number 23-11.

Background:

Pertinent Site Information:

- a. The subject property at 708 East Lemon Avenue (Alternate Key Number 1631271) comprises about 0.21 acres.



- b. The subject property currently contains a two-story 2,292 square-foot single-family residence built in 1925, a detached garage, and a swimming pool with a pool deck. The Property Record Card from Lake County Property Appraisers' office's website is attached for reference.
- c. The site and surrounding properties' land use are Suburban Residential (SR) except for immediately north of the subject property, which is Public Institutional (PI) land use for the use of Eustis Elementary School at 714 Citrus Avenue, also in the Washington Avenue Historic District.
- d. The subject property and all properties immediately adjacent to it are in the Urban Neighborhood design district.
- e. A Code Enforcement Violation (Violation ID 23-00081) is open on this property for work being done without a permit, which includes installation of a handicapped ramp installed on the main single-family residence, as well as work on the detached garage to convert it to a dwelling unit.

Proposed Development:

Amy Taylor, the owner of 708 East Lemon Avenue, is requesting Conditional Use approval to convert the detached garage to an accessory dwelling unit, including modification of windows, doors, roof, and paint, within the Washington Avenue Historic District. The applicant received approval for a Certificate of Appropriateness (COA), 2023-COA-06, from the Historic Preservation Board (HPB) during their meeting on May 10, 2023. The application for a Certificate of Appropriateness (see attached for complete information) states:

- Existing building will remain
- Replacing missing and wood rotten windows and doors with new vinyl energy-efficient Lowe's windows (white) to match existing as close as possible
- Outside walls to remain (will paint only)
- Roof to remain (will coat with silver coating)
- Door to be six-panel metal to match existing

Applicant's Request:

The applicant requests approval to permit the conversion of the detached garage structure to an accessory dwelling unit in the Suburban Residential land use district.

Analysis and Summary:

The primary contact person for this application is James Svenson, who is the contractor for the applicant/property owner, Amy Taylor. The contractor began work on this property without any prior permits or approvals. As a result of a member of the public contacting Code Enforcement to inquire about work being done at the property that they did not think was permitted, Code Enforcement investigated and issued a violation notice along with options for correction of the violation, which is Violation 23-00081 (attached for reference).

This property is in the Washington Avenue Historic District, so the first step to remedy the violation was a Certificate of Appropriateness (COA) application for approval by the Historic Preservation Board (HPB), which was submitted on March 7, 2023, and approved by the HPB during their May 10, 2023, meeting. The associated COA application, backup documentation, staff report, and approval letter are attached for reference.

The proposed work is generally consistent with the overall property and the surrounding properties nearby. The existing structures will remain, but renovations will be done internally to the detached garage along with the replacement of some features of the structure, such as doors and windows in addition to a silver coating on the roof. The replacement windows and doors are proposed to be energy efficient. The existing windows on the subject structure (garage to be converted to a dwelling unit) are four-pane windows, but the new replacement windows that are proposed are single-paned.

The Property Owner stated in an email correspondence (attached for reference) on May 23, 2023, "I want to remodel the garage into an apartment because I want trusted eyes on site. That's what I'm doing. It makes it better for everyone."

The City's Land Development Regulations Section 109-4, Use Regulations Table, require conditional use approval for accessory dwelling units in the Suburban Residential land use district. As a result, a Conditional Use application request was received to seek this required approval to bring the property into compliance. A Building Permit application has also been submitted for the proposed work, which can theoretically receive approval by Planning upon approval of a Conditional Use for an accessory dwelling unit on this property.

The standards of review must show the conditional use is consistent with the City's Comprehensive Plan, Land Development Regulations, and City Codes, which are shown below.

This request for allowance of an ADU is generally consistent with the goals and objectives of the City's Comprehensive Plan, which has provisions for providing affordable housing and varieties of housing types, which an ADU can do. This ADU would be in an area of other residential development. The exterior appearance would not be a great variation as it is currently other than general maintenance and upkeep type of improvements, per the information that has been submitted, and is attached for reference.

Per Section 110-5.8, Garages, (full code section text is below) a garage is required for all single-family dwellings, and should any property owner enclose or reduce the size of any existing garage or carport below the square footage requirements of this section, then the owner shall mitigate the loss of the garage by providing for on-site parking and outside storage. If in a designated historic district, in an urban design district, or on a legal lot of record that is below the minimum suburban standard, or if enclosing a carport, then the owner may designate two on-site parking spaces at least 9 feet x 18 feet each in the driveway area or on the residential lot behind the building frontage; and provide outside storage by either constructing a storage shed with minimum dimensions of 10 feet x 10 feet in accordance with the Land Development Regulations for accessory structures or

by providing outside access to a designated, separated storage area within the enclosed garage or carport (minimum dimensions 12 feet x 7 feet).

The property has a storage shed on the property that will meet the requirements for storage to be provided, and there is a driveway on the property that can be utilized for parking.

Compatibility:

Per the Lake County Property Appraiser records (property record card attached for reference), the existing 2,292-square-foot primary residence was originally constructed in 1925, the 364-square-foot detached garage was constructed in 1924, and the swimming pool and deck was constructed in 1972. County and City records indicate the use of the structures continue to be as they were initially constructed to be utilized until recent work was being done on the property.

Surrounding land uses have not changed considerably over the years and are primarily residential. Just north of the subject property is in the Public Institutional land use and occupied by Eustis Elementary School.

The single accessory dwelling unit use will not generate sufficient traffic to require a traffic study nor affect the traffic on the side streets of South Salem Street or East Lemon Avenue.

Noise should not be an issue as the primary use will be accessory residential occupying a small space.

The Impervious surface ratio (ISR) maximum for the SR land use is 40%. All structures on this site are previously existing and no new structures or impervious surface area are proposed.

Pursuant to Eustis LDR Sec. 94-176. – Definitions, “Impervious areas means those hard surfaced areas which either prevent or retard the entry of water into the soil mantle, as it entered under natural conditions prior to development, and/or cause water to run off the surface in greater quantities or at an increased rate of flow from that present under natural conditions prior to development. Common impervious surfaces include but are not limited to rooftops, sidewalks, walkways, patio areas, driveways, parking lots, storage areas, and other surfaces which similarly impact the natural infiltration or runoff patterns which existed prior to development.”

The impervious surface ratio (ISR) is the relationship between the total impervious surface area on a site and the gross land area. The ISR is calculated by dividing the square footage of the area of all impervious surfaces on the site by the square footage of the gross land area.

Applicable Policies and Codes:

The standards of review must show the conditional use is consistent with the City’s Comprehensive Plan, Land Development Regulations (LDR), and City Codes. Accordingly, staff has reviewed this conditional use request with consideration of the following.

The Comprehensive Plan: The Suburban Residential (SR) land use applies to residential areas which are typically adjacent to other residential development. The purpose is to provide for residential neighborhoods with fewer street connections and more bicycle and pedestrian-friendly circulation patterns, with limited retail and service businesses while maintaining residential character or compatibility.

Pursuant to Eustis LDR Section 94-176. – Definitions, “Impervious areas means those hard-surfaced areas which either prevent or retard the entry of water into the soil mantle, as it entered under natural conditions prior to development, and/or cause water to run off the surface in greater quantities or at an increased rate of flow from that present under natural conditions prior to development. Common impervious surfaces include but are not limited to rooftops, sidewalks,

walkways, patio areas, driveways, parking lots, storage areas, and other surfaces which similarly impact the natural infiltration or runoff patterns which existed prior to development.”

Section 102-30 (Conditional Uses) of the Land Development Regulations (LDRs) provides for uses that are generally compatible with the use characteristics of a future land use district, but which require individual review of:

“Location, design, intensity, configuration, and public facility impact in order to determine the appropriateness of the use of any particular site in the district and their compatibility with adjacent uses.”

The Conditional Use review allows the City Commission to attach conditions, limitations, and requirements to a conditional use permit to prevent or minimize adverse effects upon other properties in the neighborhood. These conditions can include limitations on size, intensity of use, bulk and location, landscaping, lighting, provision of adequate ingress and egress, duration of the permit, and hours of operation.

Section 109-4 (Use Regulations Table) allows an accessory apartment as a conditional use within the SR land use district.

Sec. 110-5.8. Garages

(a) *Garages.* All single-family dwellings, including mobile homes, duplexes, triplexes, row houses, and the like, constructed after the effective date of this section, shall possess a garage as follows:

(1) Minimum size 300 square feet (12 feet x 18 feet for automobile parking and 12 feet x 7 feet for storage).

(2) Equipped with an operational overhead door with minimum dimensions of 9 feet x 7 feet, which door, when closed, conceals the interior of the garage.

(b) Should any property owner enclose or reduce the size of any existing garage or carport below the square footage requirements of this section, then the owner shall mitigate the loss of the garage by providing for on-site parking and outside storage as follows:

(1) Construct a new garage on the property sufficient to meet the square footage requirements of this section; or

(2) If in a designated historic district, in an urban design district, or on a legal lot of record that is below the minimum suburban standard, or if enclosing a carport, then the owner may take the following actions in lieu of replacing the garage:

a. Designate two on-site parking spaces at least 9 feet x 18 feet each in the driveway area or on the residential lot behind the building frontage; and

b. Provide outside storage by either constructing a storage shed with minimum dimensions of 10 feet x 10 feet in accordance with the Land Development Regulations for accessory structures or by providing outside access to a designated, separated storage area within the enclosed garage or carport (minimum dimensions 12 feet x 7 feet).

(Ord. No. 16-31, § 1.e.(Exh. A), 12-15-2016)

Policy Implications:

Approval or denial of this waiver request to grant approval of a conditional use to permit an accessory dwelling unit at 708 East Lemon Avenue could set a precedent for the review of similar requests in the future; however, this could be an opportunity as well to show flexibility and also offer a variety of housing options.

Alternatives:

1. Approve Ordinance Number 23-11.
2. Deny Ordinance Number 23-11.

Discussion of Alternatives:

Alternative 1 approves Ordinance Number 23-11.

Advantages:

1. The project may move forward with site modifications.
2. A new accessory housing unit will be available in Eustis.
3. The structure will be occupied and maintained.
4. The proposed use will be compatible with the surrounding uses as the type of accessory residence proposed should be low impact.

Disadvantages:

1. Approval of an accessory dwelling unit in the area could prompt other requests for an accessory dwelling unit in this area, which could change the character of the area.

Alternative 2 denies Resolution Number 23-11.

Advantages:

1. No accessory dwelling unit will exist in this area primarily occupied by residences.

Disadvantages:

The City could lose the opportunity of having a new accessory dwelling unit in the city limits as well as an affordable housing option.

Community Input:

The department has properly advertised the Ordinance in the newspaper; notified surrounding properties within 500 feet, and posted the property. Other than during public meetings, to date, there has been no opposition received to the proposed development, nor any feedback at all related to this Conditional Use request directly to staff; however, nearby members of the public did attend the Historic Preservation Board (HPB) meeting on May 10 that approved the Certificate of Appropriateness (COA) for this, and one spoke on the item. During the June 15 City Commission meeting, as noted by the approved minutes, there was no public comment on this item.

Budget/Staff Impact:

There would be no direct cost to the City associated with the action other than providing standard City services to the development. There would be no additional staff time beyond the normal plan review process and building inspection.

Conclusion:

Staff recommends approval of the conditional use request based upon the above discussion which outlines that the proposed use will be compatible with the surrounding uses because of its location, with no change to the existing building, which will not affect the intensity of the property or tax the capacity of any public facilities. Upon approval of this request, there should be no further planning concerns with the building permit application that is on hold. Other than planner review and approval, it is also required for the Building Official to grant approval of this building permit request.

Prepared By:

Heather Croney, Senior Planner

Reviewed By:

Jeff Richardson, AICP, Deputy Director, Development Services

Attachments:

Maps to show General Location, Future Land Use, and Design District
Property Record Card for Subject Property
Relevant Correspondence with Property Owner, Amy Taylor
Certificate of Appropriateness 2023-COA-06 Approval and Attachments
Washington Avenue Historic District Boundaries Map
Proposed Ordinance Number 23-11

ORDINANCE NUMBER 23-11

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF EUSTIS, LAKE COUNTY, FLORIDA, APPROVING A CONDITIONAL USE PERMIT FOR AN ACCESSORY DWELLING UNIT TO AN EXISTING SINGLE-FAMILY RESIDENCE IN THE SUBURBAN RESIDENTIAL (SR) FUTURE LAND USE DISTRICT ON APPROXIMATELY 0.21 ACRES LOCATED AT 708 EAST LEMON AVENUE.

WHEREAS, Amy Taylor, property owner, has applied for a Conditional Use Permit for a detached garage to be converted to a free-standing accessory dwelling unit at 708 East Lemon Avenue; and

WHEREAS, the subject property has a Land Use Designation of Suburban Residential (SR) and a Design District Designation of Urban Neighborhood; and

WHEREAS, an accessory dwelling unit is permitted as a Conditional Use in the Suburban Residential Land Use District; and

WHEREAS, the request for a Conditional Use Permit was properly Noticed for a Quasi-Judicial Public Hearing before the City Commission; and

WHEREAS, on July 20, 2023, the City Commission held the 1st Public Hearing to consider the Conditional Use Permit; and

WHEREAS, on August 3, 2023, the City Commission held the 2nd Public Hearing to consider the Conditional Use Permit; and

WHEREAS, the proposed conditional use is consistent with the City's Land Development Regulations, Comprehensive Plan, and Code of Ordinances; and

WHEREAS, the applicant has presented evidence to establish the following:

1. That the proposed use is desirable at the particular location;
2. That the proposed conditional use will not have an undue adverse effect on nearby property;
3. That such use will not be detrimental to the health, safety, or general welfare of the citizens residing in the area;
4. That the proposed conditional use is compatible with the existing or planned character of the neighborhood in which it would be located;

NOW, THEREFORE, THE COMMISSION OF THE CITY OF EUSTIS HEREBY ORDAINS:

Section 1. That a Conditional Use Permit is granted for an accessory dwelling unit on approximately 0.21 acres located at 708 East Lemon Avenue, more particularly described as:

EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945

PG 244

ALTERNATE KEY NUMBER: 1631271
PARCEL NUMBER: 11-19-26-0100-092-00500

Section 2. That the conditions of approval require that the accessory use meets all applicable provisions of the Land Development Regulations and the City Code of Ordinances and complies with the following specific conditions and limitations:

1. Payment of water and sewer impact fees is required as a condition of approval.

Section 3. That all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

Section 4. That should any section, phrase, sentence, provision, or portion of this Ordinance be declared by any court of competent jurisdiction to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole, or any part thereof, other than the part so declared to be unconstitutional or invalid.

Section 5. That this Ordinance shall become effective immediately upon passing.

PASSED, ORDAINED, AND APPROVED in Regular Session of the City Commission of the City of Eustis, Florida, this 3rd day of August 2023.

**CITY COMMISSION OF THE
CITY OF EUSTIS, FLORIDA**

Michael L. Holland
Mayor/Commissioner

ATTEST:

Christine Halloran, City Clerk

CITY OF EUSTIS CERTIFICATION

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was acknowledged before me this 3rd day of August, 2023 by Michael L. Holland, Mayor, and Christine Halloran, City Clerk, who are personally known to me.

Notary Public - State of Florida
My Commission Expires:
Notary Serial Number:

CITY ATTORNEY'S OFFICE

This document is approved as to form and legal content, but I have not performed an independent Title examination as to the accuracy of the Legal Description.

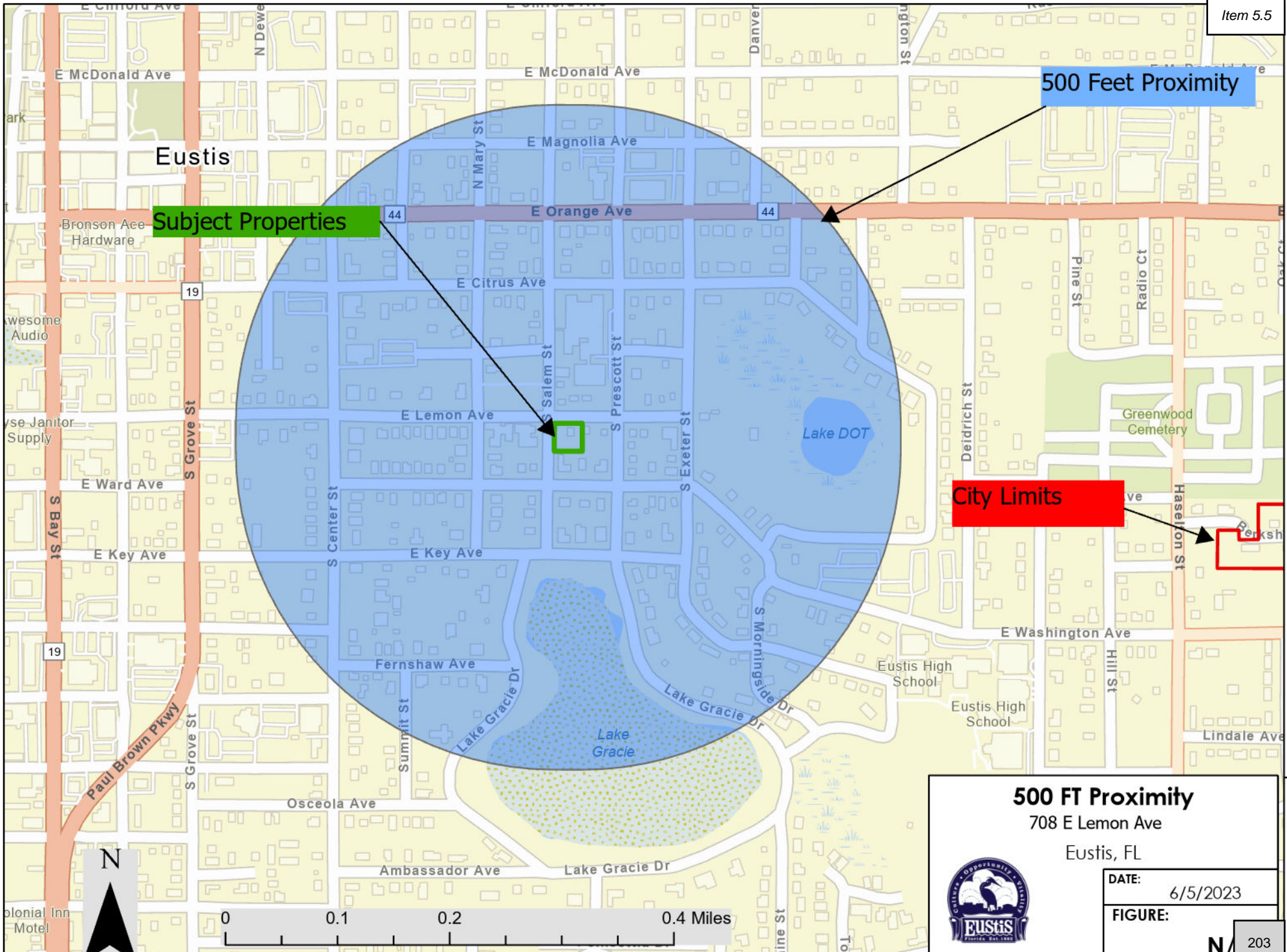
City Attorney's Office

Date

CERTIFICATE OF POSTING

The foregoing Ordinance Number 23-11 is hereby approved, and I certify that I published the same by posting one (1) copy hereof at City Hall, one (1) copy hereof at the Eustis Memorial Library, and one (1) copy hereof at the Eustis Parks and Recreation Office, all within the corporate limits of the City of Eustis, Lake County, Florida.

Christine Halloran, City Clerk



500 Feet Proximity


Subject Properties

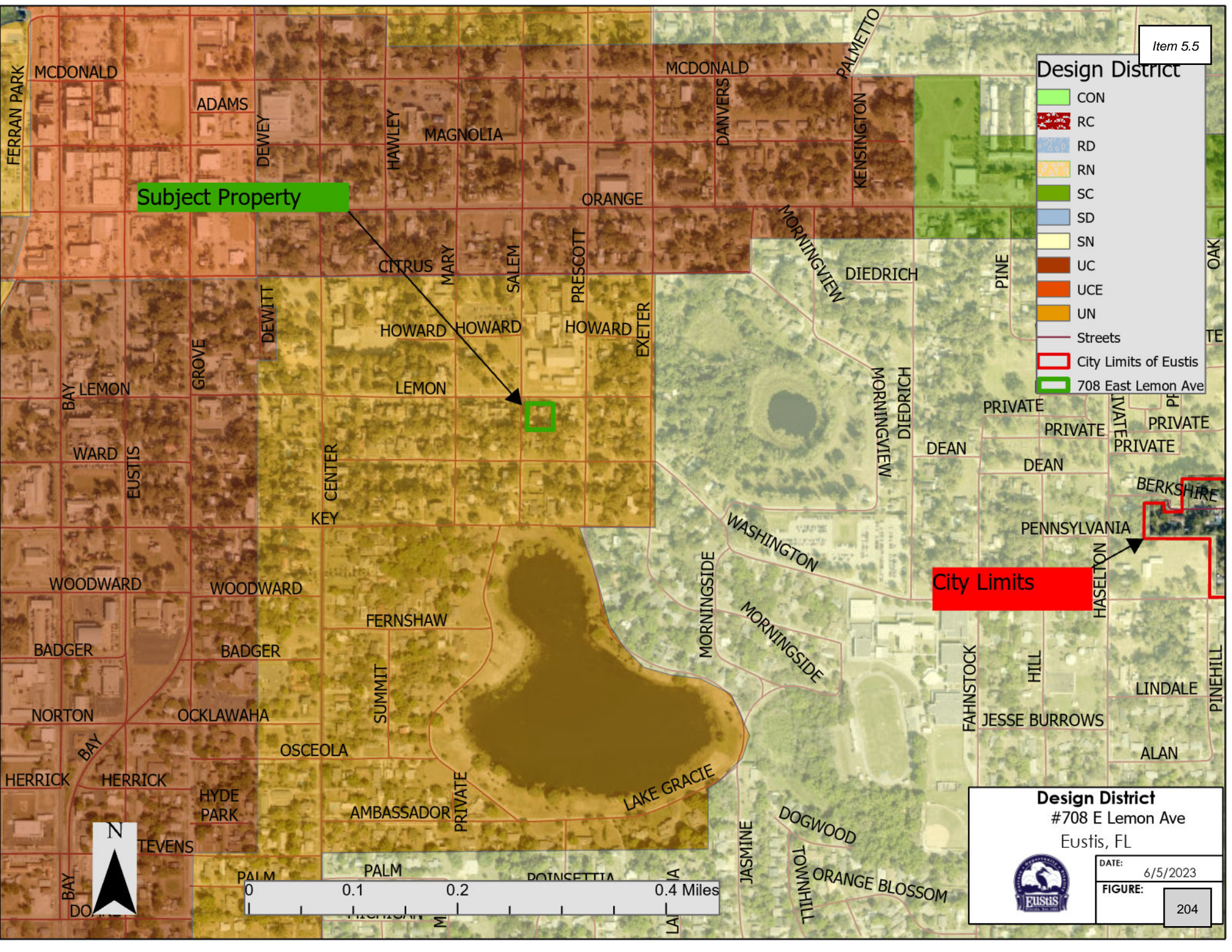
City Limits

500 FT Proximity
 708 E Lemon Ave
 Eustis, FL

DATE: 6/5/2023

FIGURE: N/203



- Design District**
- CON
 - RC
 - RD
 - RN
 - SC
 - SD
 - SN
 - UC
 - UCE
 - UN
 - Streets
 - City Limits of Eustis
 - 708 East Lemon Ave

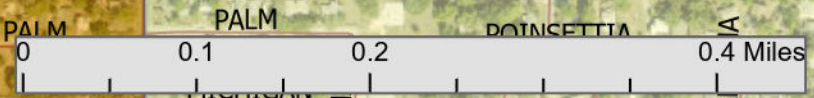
Subject Property

City Limits

Design District
 #708 E Lemon Ave
 Eustis, FL

DATE: 6/5/2023

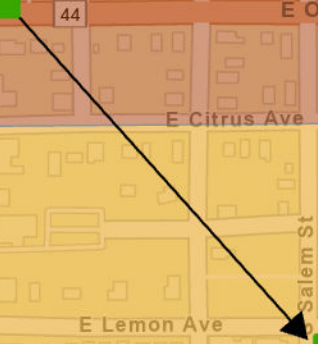
FIGURE: 204



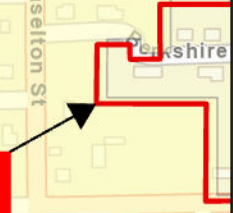
Design District

- CON
- RC
- RD
- RN
- SC
- SD
- SN
- UC
- UCE
- UN
- City Limits of Eustis
- 708 East Lemon Ave

Subject Property



City Limits

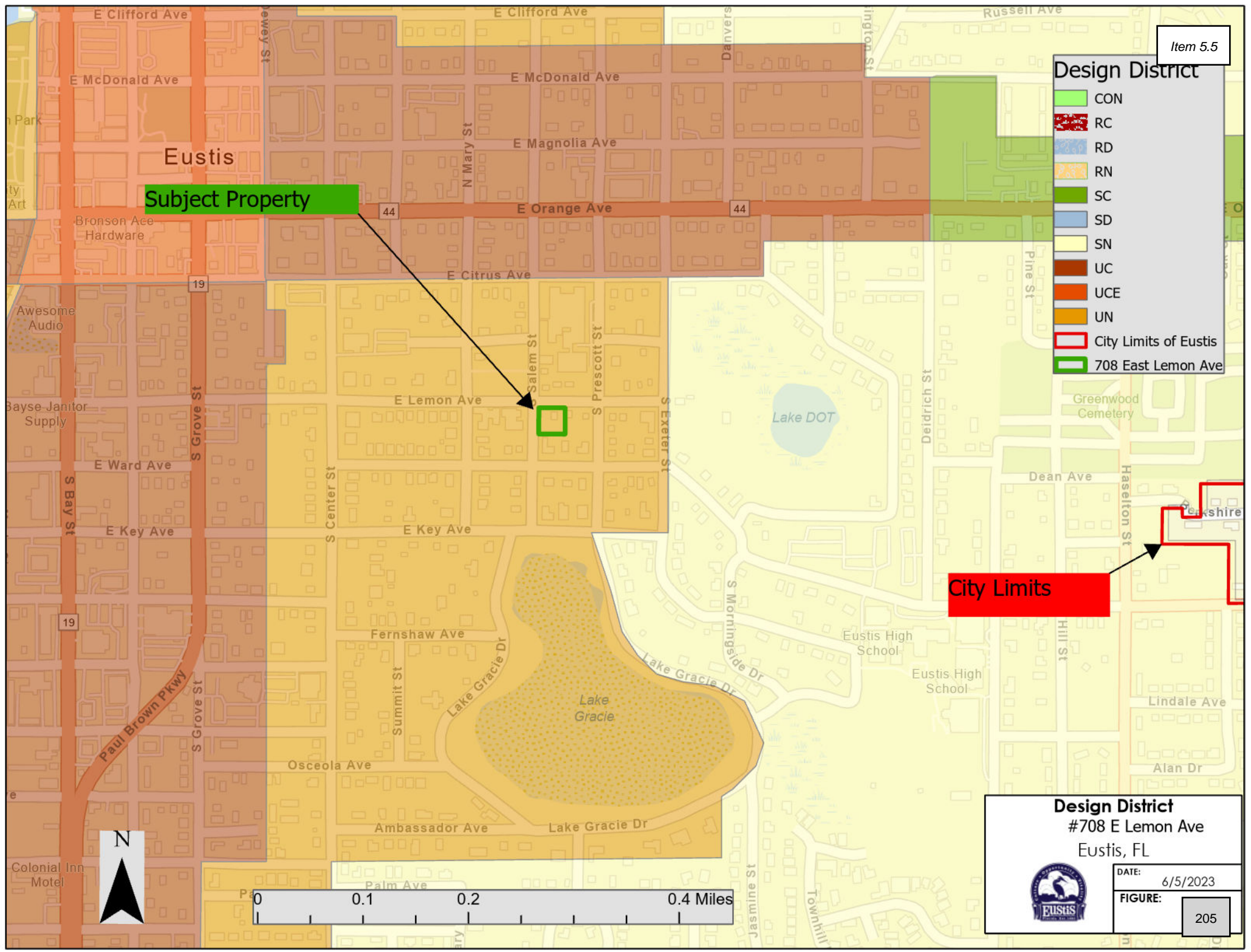


Design District #708 E Lemon Ave Eustis, FL



DATE: 6/5/2023

FIGURE: 205



- FLU
- FLU
- AG
- CBD
- CON
- GC
- GI
- Lake
- MCI
- MCR
- MH/RV
- PI
- RR
- RT
- SR
- UR
- City Limits of Eustis
- 708 East Lemon Ave

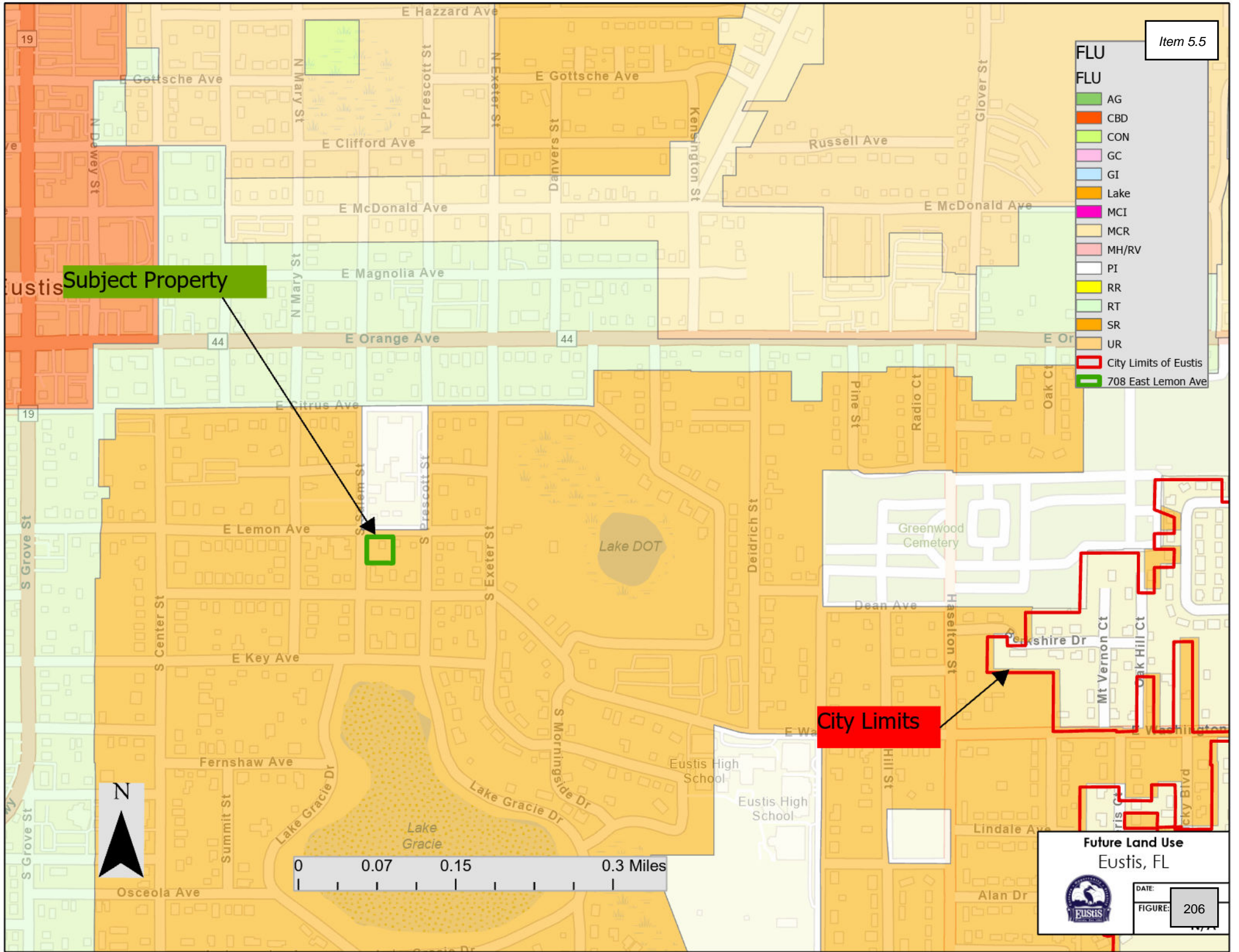
Subject Property

City Limits

Future Land Use
Eustis, FL



DATE:
FIGURE: 206



FLU

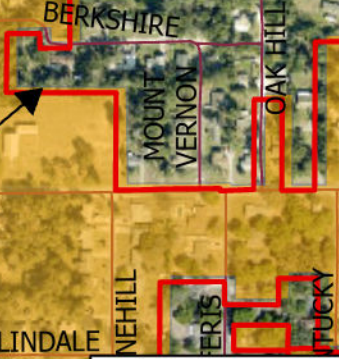
- AG
- CBD
- CON
- GC
- GI
- Lake
- MCI
- MCR
- MH/RV
- PI
- RR
- RT
- SR
- UR

Streets
 City Limits of Eustis
 708 East Lemon Ave

Subject Property



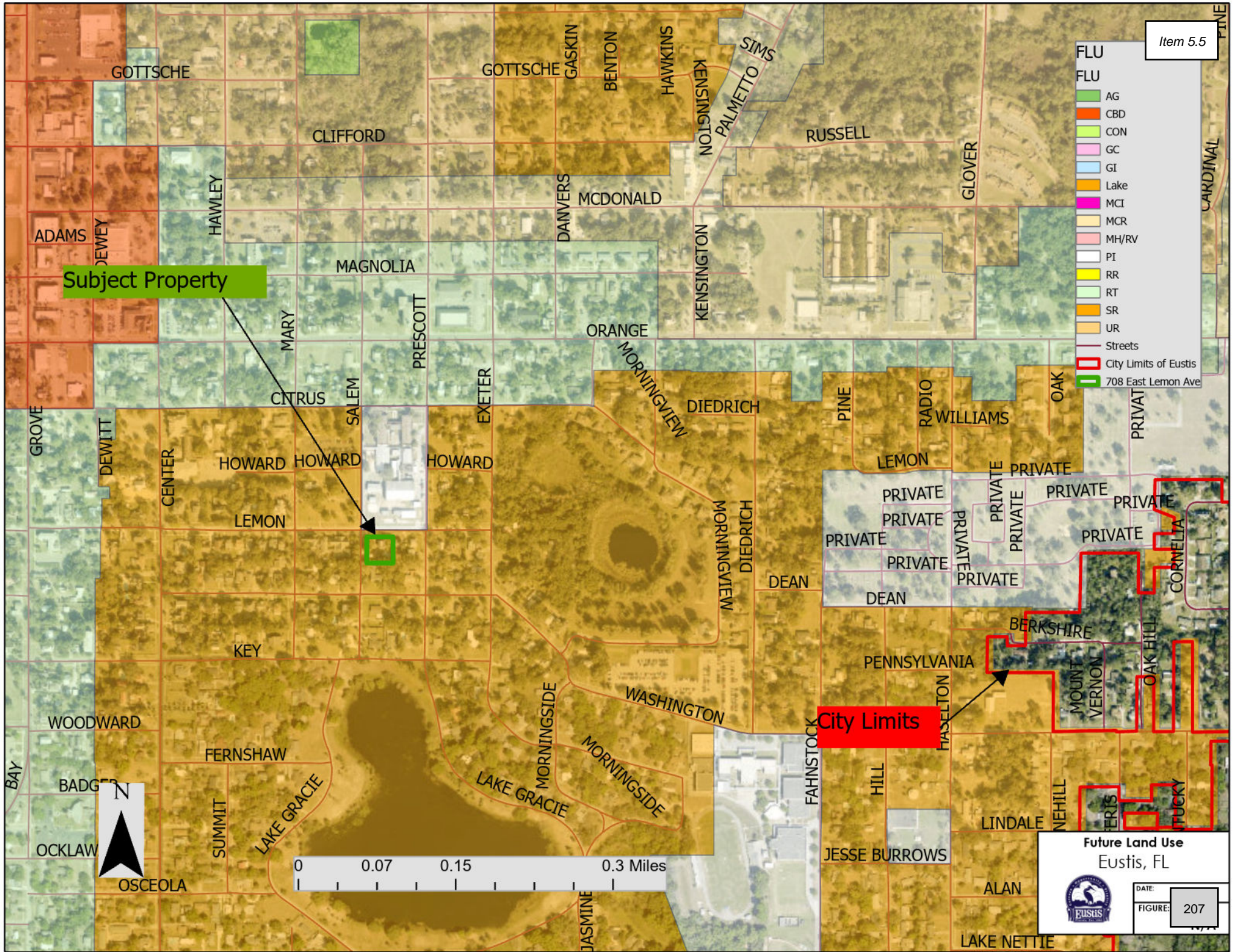
City Limits



Future Land Use
Eustis, FL



DATE: _____
FIGURE: 207



Subject Property

44

44

E Orange

E Citrus Ave

E Lemon Ave

E Key Ave

Shaw Ave

E Magnolia Ave

N Mary St

S Mary St

S Salem St

S Prescott St

S Exeter St

Gracie Dr

Lake Gracie Dr

S Morningside Dr

Deidrich St

Pine St

Radio Ct

Oak Ct

Dean Ave

E Washington Ave

Haselton St

Berkshire Dr

Lake DOT

Greenwood Cemetery

Eustis High School

Eustis High School

City Limits

General Location

708 E Lemon Ave

Eustis, FL



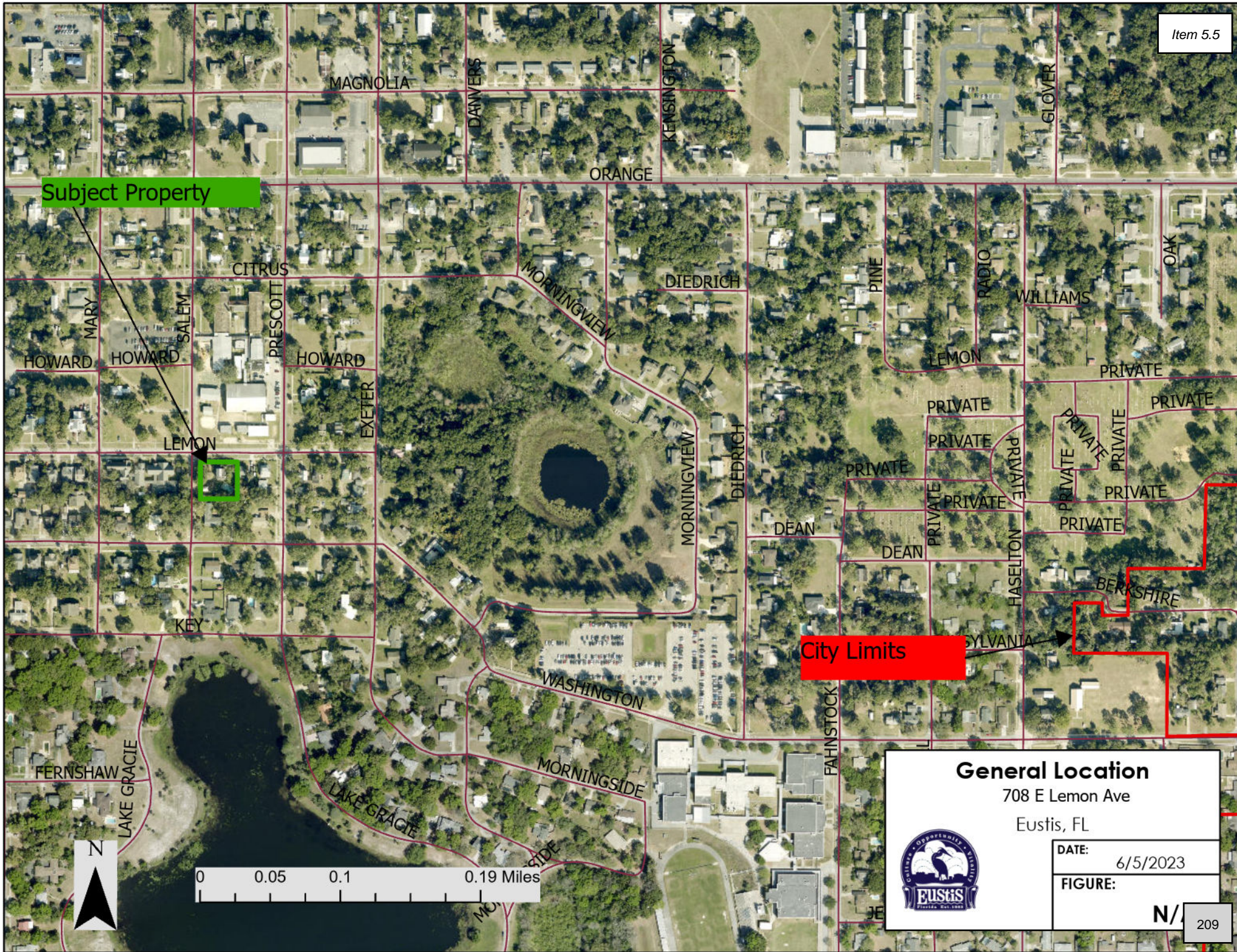
DATE: 6/5/2023

FIGURE:

N/A



0 0.05 0.1 0.19 Miles



Subject Property

City Limits

General Location
 708 E Lemon Ave
 Eustis, FL

DATE: 6/5/2023
 FIGURE: N/A

PROPERTY RECORD CARD

Item 5.5

General Information

Name:	TAYLOR AMY	Alternate Key:	1631271
Mailing Address:	14275 SW 161ST AVE PORTLAND, OR 97224 Update Mailing Address	Parcel Number: ⓘ	11-19-26-0100-092-00500
		Millage Group and City:	000E Eustis
		2022 Total Certified Millage Rate:	20.4258
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	708 E LEMON AVE EUSTIS FL, 32726	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

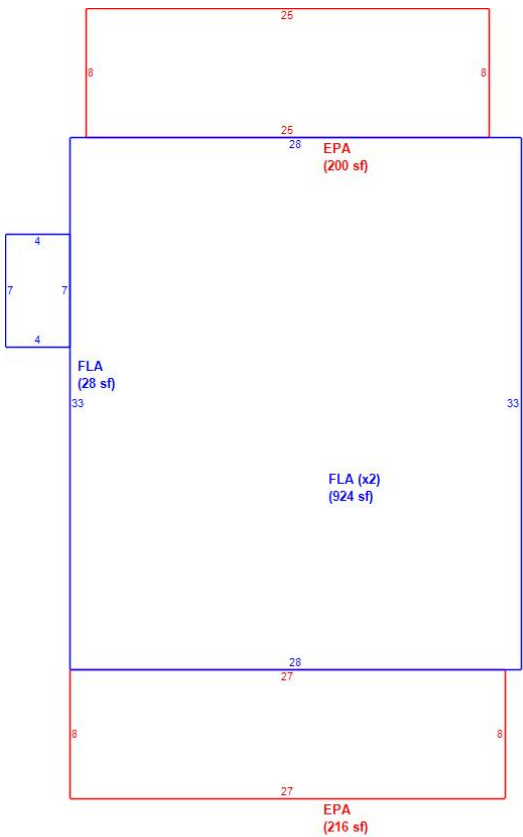
Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SINGLE FAMILY (0100)	132	132		17424.000	FD		\$0.00	\$79,636.00
Click here for Zoning Info ⓘ FEMA Flood Map									

Residential Building(s)

Building 1

Residential	Building Value: \$120,813.00		
Summary			
Year Built: 1925	Total Living Area: 2292 ⓘ	Central A/C: Yes	Attached Garage: No
Bedrooms: 4	Full Bathrooms: 2	Half Bathrooms: 0	Fireplaces: 1
Incorrect Bedroom, Bath, or other information? ⓘ			
Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	Wood (01)	2.00	2292
View Larger / Print / Save			



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
1	DETACHED GARAGE (DGF1)	364	SF	1924	\$3,276.00
2	SWIMMING POOL - RESIDENTIAL (POL3)	780	SF	1972	\$30,498.00
3	POOL/COOK DECK (PLD2)	390	SF	1972	\$1,469.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5945 / 244	03/2022	Quit Claim Deed	Unqualified	Improved	\$100.00
5893 / 1219	01/2022	Quit Claim Deed	Unqualified	Improved	\$0.00
5774 / 866	08/2021	Warranty Deed	Qualified	Improved	\$186,000.00
5568 / 1960	10/2020	Warranty Deed	Unqualified	Improved	\$92,000.00
2008 / 826	08/2001	Warranty Deed	Unqualified	Improved	\$63,900.00
1940 / 991	03/2001	Certificate of Title	Unqualified	Improved	\$0.00
1900 / 283	01/2001	Certificate of Title	Unqualified	Improved	\$0.00
1227 / 330	05/1993	Warranty Deed	Qualified	Improved	\$86,600.00
1199 / 1373	12/1992	Certificate of Title	Unqualified	Improved	\$0.00
930 / 988	08/1987	Warranty Deed	Qualified	Improved	\$77,500.00

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2023 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$235,692	\$210,580	\$210,580	5.0364	\$1,060.57
SCHOOL BOARD STATE	\$235,692	\$235,692	\$235,692	3.2500	\$766.00
SCHOOL BOARD LOCAL	\$235,692	\$235,692	\$235,692	2.9980	\$706.60
LAKE COUNTY WATER AUTHORITY	\$235,692	\$210,580	\$210,580	0.3083	\$64.92
NORTH LAKE HOSPITAL DIST	\$235,692	\$210,580	\$210,580	0.5000	\$105.29
ST JOHNS RIVER FL WATER MGMT DIST	\$235,692	\$210,580	\$210,580	0.1974	\$41.57
CITY OF EUSTIS	\$235,692	\$210,580	\$210,580	7.5810	\$1,596.41
LAKE COUNTY MSTU AMBULANCE	\$235,692	\$210,580	\$210,580	0.4629	\$97.48
LAKE COUNTY VOTED DEBT SERVICE	\$235,692	\$210,580	\$210,580	0.0918	\$19.33
				Total:	Total:
				20.4258	\$4,458.17

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$5,000)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$5,000)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5,000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law

Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)

[Learn More](#) [View the Law](#)

Item 5.5

Economic Development Exemption

[Learn More](#) [View the Law](#)

Government Exemption (amount varies)

[Learn More](#) [View the Law](#)

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data updated nightly.

Site Notice

From: [Adair, Matt](#)
To: [Martin, Eric](#); [Croney, Heather](#)
Subject: FW: 23-00081 Code Violation, no permit for handicap ramp
Date: Wednesday, May 24, 2023 3:57:06 AM

Good morning,

I spoke with Ms. Taylor last night and she will be submitting plans as a revision to her original permit. This will accomplish compliance in the matter once received and approved. Call me if you have any questions.

Matt

From: Amy Taylor <amyta57@gmail.com>
Sent: Tuesday, May 23, 2023 1:58 AM
To: Adair, Matt <adairm@Eustis.org>
Cc: Martin, Eric <martine@eustis.org>; Croney, Heather <Croneyh@Eustis.org>; Huebsch, Laurie <Huebschl@Eustis.org>
Subject: Re: 23-00081 Code Violation, no permit for handicap ramp

Caution: This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear City of Eustis Staff,

Re 708 E Lemon Ave

I understand that you are all trying to do your jobs in the newly burgeoning city of Eustis with all the new construction. I understand that there are rules.

Since I bought that house in 2021, I have attempted to follow every rule I knew of. I remodeled it under permit, I safety-fenced the previously totally unfenced pool (across the street from an elementary school!!!) under permit. I privacy-fenced the yard under permit. I replaced all the windows, major electrical, the roof, under permit. After the fact I was informed that those permits were issued in error because of the previously unnoticed by the City, (and unmentioned in any deed or anything when I bought the house) Historical Designation. So thus, the Architectural Review, the Community Review, in what should have been a simple ADU permit on my garage. I guess the City decided not to retroactively revoke my main house remodel permits, and thanks for that!

In 2022, I replaced the monolithic cement front porch, which was separated from the house and pitching forward, with a porch and ramp, not under permit. I did not know I needed a permit. A local person who has become a friend and pathway builder I trust, built it for me, because the previous porch was a danger, and my best friend's daughter is disabled. **So now reading the above, what am I to do? Deconstruct it?** Because the house is for my occupancy only part of the year....so the arbitrary **"you can permit it as a homeowner but you can't rent it for a year (!)"** rule, doesn't apply

to me.

Please, let's open another can of worms. Before I bought the house in 2021, I called the City to confirm that there were no restrictions regarding **vacation rentals**. I have three highly reviewed and responsibly managed vacation rentals, in Oregon (one in the very strict jurisdiction of Portland, OR., so I understand the rules of complying with local jurisdictions.) I also understand the bounty of local lodging tax that they collect, and that tourist searches for this type of hospitality are increasing. Eustis has been collecting lodging tax on 708 E. Lemon Ave., through airbnb and vrbo since January. **You know I'm doing this, correct? Lodging tax gets been remitted every week** by airbnb and vrbo.

I want to remodel the garage into an apartment because I want trusted eyes on site. That's what I'm doing. It makes it better for everyone.

I want a path forward on the porch permit. Please come and inspect it, see drawings certified by an engineer. Don't make me tear it down, because I can't absolutely can't afford for that house to sit empty for most of a year.

I appreciate all of your efforts to make Eustis better; that's what I'm trying to do too. However, the above email about the rules for the porch permit, and my comments above, may indicate that Planning is not talking enough to Finance or Building. And none of them are talking to Lake County tax rolls, where I should have known I was buying a historical property.

Please let me know how to move forward on the porch. I'll be in town May 28 - June 5, if that helps.

Thank you,

Amy Taylor
5033479932

On Mon, May 22, 2023 at 1:55 AM Adair, Matt <adairm@eustis.org> wrote:

Good morning Ms. Taylor,

In order for the City of Eustis to issue a permit for this work completed by an unlicensed contractor, the following documents will be required.

1. A completed application and an Owner/Builders Statement. You can act as your own contractor on a single family residence as long as the structure is for your own use and occupancy. The exemption does not allow for you to act as a contractor and then rent out or lease the property within 1 year of construction. I have attached an application which includes the Owner/Builder Statement.

2. Signed, sealed and dated drawings from a Structural Engineer Registered in the State of Florida. The drawings will need to be dimensions showing the landing(s), total run and slope of the ramp, handrails and guards if applicable and the design load calculations.
3. Once received the plans will be reviewed for compliance with the 2020 FBC/residence and a permit issued after the approval.

I hope that this response answers your questions.

Matt Adair, CBO
Building Official

From: Amy Taylor <amyta57@gmail.com>
Sent: Friday, May 19, 2023 11:41 PM
To: Martin, Eric <martine@eustis.org>
Cc: Adair, Matt <adairm@Eustis.org>; Croney, Heather <Croneyh@Eustis.org>; Huebsch, Laurie <Huebschl@Eustis.org>
Subject: Re: 23-00081 Code Violation, no permit for handicap ramp

Caution: This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello, City of Eustis Staff,

I want to acknowledge this notice of a violation and let you know that I intend to address it. I will be in Eustis starting May 28 for 8 days, and if there is any process I can follow to get a homeowner's permit for the new front entry ramp and retroactively get it approved, I would appreciate it. Please let me know if we can provide a drawing and documentation of how it is constructed. Previously, the house had a monolithic 3 cement step structure that was pitched towards the street and separating from the house. It was dangerous.

The new entry was built for me by a person who has done some grading and pavers work in the years I've owned the house. He is a local and a friend, and I didn't know we had to permit it. He's not a contractor. I'd like for that house to be accessible to people with some disabilities....it's a subject that's important to me because someone close to me is disabled.

Please let me know if there is documentation I can provide to support the legality of this structure after the fact. It's super sturdy, after 19 months in place and even after many heavy rains. Dustin Curtis built it, and he is really a meticulous craftsman. I don't expect you to approve based on that, but please show me a path to get it legal. It is not Dustin's fault; it was my due diligence to know that it should have been permitted.

Thank you,

Amy Taylor



City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

May 11, 2023

Amy Taylor
 14275 SW 161st Ave
 Portland, OR 97224
 Via email: amyta57@gmail.com

PROJECT: Accessory Dwelling Unit AT 708 E. LEMON AVE. (AK 1631271)

SUBJECT: CERTIFICATE OF APPROPRIATENESS APPROVAL 2023-COA-06

Dear Ms. Taylor:

At the City of Eustis Historic Preservation Board meeting on May 10, 2023, the Board voted to approve the Certificate of Appropriateness (COA) application 2023-COA-06 to convert a garage to an accessory dwelling unit (ADU), including modification of windows, doors, roof, and paint at 708 East Lemon Avenue, which is in the Washington Avenue Historic District. The site plan and other information that was provided with this COA request should be followed/complied with for the completion of this work. A signed copy of the COA approval is attached. Please include a copy with your building permit submittal and once the project is under construction, ensure that a copy of the COA is attached to your building permit at all times. Before approval of any building permits for this, a Conditional Use approval by the Eustis City Commission for this ADU, per Land Development Regulations Section 109-4, Use Regulations Table, since this property is in the Suburban Residential land use.

If you have any further questions, or if I can be of further assistance with any future projects, please contact me at (352) 483-5460, or via e-mail at croneyh@eustis.org. Thank you for your contribution to the Washington Avenue Historic District.

Sincerely,

Heather Croney
 Senior Planner

enc: Certificate of Appropriateness

c: Building Department
 File: 2023-COA-06



City of Eustis

Development Services Department

P.O. Drawer 68 • Eustis, Florida 32727-0068 • (352) 483-5460

TO: HISTORIC PRESERVATION BOARD

FROM: HEATHER CRONEY, SENIOR PLANNER

DATE: MAY 10, 2023

RE: CERTIFICATE OF APPROPRIATENESS 2023-COA-06 CONVERSION OF A GARAGE TO AN ACCESSORY DWELLING UNIT AND EXTERIOR MODIFICATIONS AT 708 E LEMON AVE (AK 1631271)

PROPOSED PROJECT:

Amy Taylor, the owner of 708 East Lemon Avenue, is requesting Historic Preservation Board approval to convert a garage to an accessory dwelling unit, including modification of windows, doors, roof, and paint, within the Washington Avenue Historic District. The application for a Certificate of Appropriateness (see attached for complete submittal) states:

- Existing building will remain
- Replacing missing and wood rotten windows and doors with new vinyl energy-efficient Lowe’s windows (white) to match existing as close as possible
- Outside walls to remain (will paint only)
- Roof to remain (will coat with silver coating)
- Door to be six-panel metal to match existing

PROPERTY INFORMATION:

Owner: Amy Taylor
 Site Acreage: 0.21 acres
 Future Land Use: Suburban Residential (SR)
 Design District: Suburban Neighborhood



CRITERIA FOR EVALUATION: EUSTIS CODE OF ORDINANCES CHAPTER 46:

Section 46-227

(l) In considering an application for a certificate of appropriateness for alteration, new construction, demolition, or relocation, the board shall be guided by the following general standards:

(1) The effect of the proposed work on the landmark, landmark site, or property within a historic district upon which such work is to be done;

The Washington Avenue Historic District includes a myriad of architectural styles as well as non-contributing structures, (see Ordinance Number 1997-33), a majority of which are Frame Vernacular. The subject property is in the colonial revival architectural style.

(2) The relationship between such work and other structures on the landmark site or other property in the historic district;

The proposed work is generally consistent with the overall property and the surrounding properties in the historic district. The existing structure will remain, but renovations will be done internally along with the replacement of some features of the structure, such as doors and windows in addition to a silver coating on the roof. The replacement windows and doors are proposed to be energy efficient, however, the images provided appear to lack some consistency with the current styles. The existing windows on the subject structure (garage to be converted to a dwelling unit) are four-pane windows,

but the new replacement windows that are proposed are single-paned. The proposed door does not match the style of the main dwelling unit on the property.

(3) The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, and materials of the landmark or the property will be affected;

As stated above, there are some gaps in consistency with the current and historic structural features.

(4) Whether the plans may be carried out by the applicant within a reasonable period of time.

If the Historic Preservation Board approves the COA, the applicant intends to move forward quickly to continue this work. This work was initially started without proper permitting nor a Certificate of Appropriateness or Conditional Use approval. The City's Land Development Regulations require conditional use approval for accessory dwelling units in the Suburban Residential land use.

(n) In considering an application for a certificate of appropriateness for new construction, the board shall consider the following additional guidelines:

(1) *Height.* The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in a historic district.

There is no height alteration proposed.

(2) *Proportions of windows and doors.* The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in a historic district.

The existing windows on the subject structure (garage to be converted to a dwelling unit) are four-pane windows, but the new replacement windows that are proposed are single-paned. The proposed door does not match the style of the main dwelling unit on the property.

(3) *Relationship of building masses, setbacks, and spaces.* The relationship of a structure within a historic district to the open space between it and adjoining structures shall be compatible.

No modification is proposed to building masses, setbacks, and spaces.

(4) *Roof shape.* The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in a historic district.

This application proposes a silver coating be applied to the existing roof.

(5) *Landscaping.* Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in an historic district.

While the applicant has not provided a landscape plan, there has been no information or indication provided regarding landscaping modifications.

(6) *Scale.* The scale of the structure after alteration, construction or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.

No modifications are proposed to the scale of the structure.

(7) *Directional expression.* Facades in historic districts shall blend with other structures with regard to directional expression. Structures in a historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction, or partial demolition shall be compatible with its original architectural style and character.

There is not proposal for modification of the directional expression.

(8) *Architectural details.* Architectural details, including materials and textures, shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The board will give recommendations as to appropriate colors for any landmark or historic district.

The proposed silver coating on the roof does not appear to be consistent with the current development of the property or the primary residence.

(9) *Impact on archaeological sites.* New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.

Not applicable.

RECOMMENDATION:

Based on the analysis above, the criteria for evaluation provided in this memorandum, and the provided renderings and site plan staff recommends that the proposal be revised and resubmitted for reconsideration.

ATTACHMENTS:

COA Application and Building Permit Submittal Documents

- c: Property Owner and Applicant
- Historic Preservation Board Members
- File: 2023-COA-06

View from E Lemon Ave



View from Salem St







HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Item 5.5

09/07/

91

HISTORICAL STRUCTURE FORM

Alt key 1631271

Original: X
Update:
Sitename: W.H. MEYERS RESIDENCE
Historic Contexts: BOOM TIMES
Nat'l Register Cat: BUILDING
Other Names/MSF Nos.:
County: LAKE Ownership Type: PRIVATE-INDIVIDUAL
Project Name: EUSTIS SITE SURVEY DHR#:

Site:
Recorder: DL 12-13

Location (Attach copy of USGS map, sketch-map of immediate area)

Address: 708 E. LEMON AVENUE City: EUSTIS
Vicinity of/route to: SOUTH SIDE OF E. LEMON AVENUE BETWEEN SALEM AND PRESCOTT STREETS.

Subdivision: PRESCOTT'S ADDITION Block: 22 Lot: 6 MAP 69

Plat or Other map:
Township: 19S Range: 26E Section: 11 1/4: 1/4-1/4:
Irregular sec?: Land Grant:
USGS 7.5' map: EUSTIS 1966 PR 1980 Easting:
UTM: Northing:
Coordinates - Latitude: D M S Longitude: D M S

History

Architect:
Builder:
Date Built: 1924 Circa: C Restoration Date(s):

Modification Date(s):
Move Date: Original Location:
Original Use: PRIVATE RESIDENCE
Present Use: PRIVATE RESIDENCE

Description

Style: COLONIAL REVIVAL
Plan: Exterior: IRREGULAR
Interior: IRREGULAR
No.: Stories 2 Outbuildings 0 Porches 0 Dormers 0
Structural System(s): WOOD FRAME
Exterior Fabric(s): WOOD SIDING
Foundation - Type: CONTINUOUS
Materials: CONCRETE BLOCK
Infill:

Porches:
Roof - Type: GABLE Surfacing: COMPOSITION SHINGLE
Secondary Structure(s):
Chimney - Number: 1 Material: FORMED STONE
Location: W: EXTERIOR, END
Windows: DHS, 1/1
Exterior Ornament:
Condition: GOODS Surroundings: RESIDENTIAL

Narrative (general, interior, landscape, context; 3 lines only)

THIS COLONIAL REVIVAL STYLE RESIDENCE WAS BUILT IN THE POSTMEDIEVAL -ENGLISH SOUTHERN TRADITION
N STYLE IN 1924. THE FRONT PORCH ENTRY WITH FLATTENED ARCH HAS BEEN INFILLED WITH WOOD SIDING AND
NEW WINDOWS ALTERING ITS ORIGINAL CHARACTER.

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Item 5.5

09/07/

91 HISTORICAL STRUCTURE FORM

Archaeological remains at the site

FMSF Archaeological form completed?: N
Artifacts or other remains: NONE OBSERVED

Recorder's Evaluation of Site

Areas of significance: ARCHITECTURE

Eligible for National Register?: N
Significant as part of district?: N
Significant at local level?: N

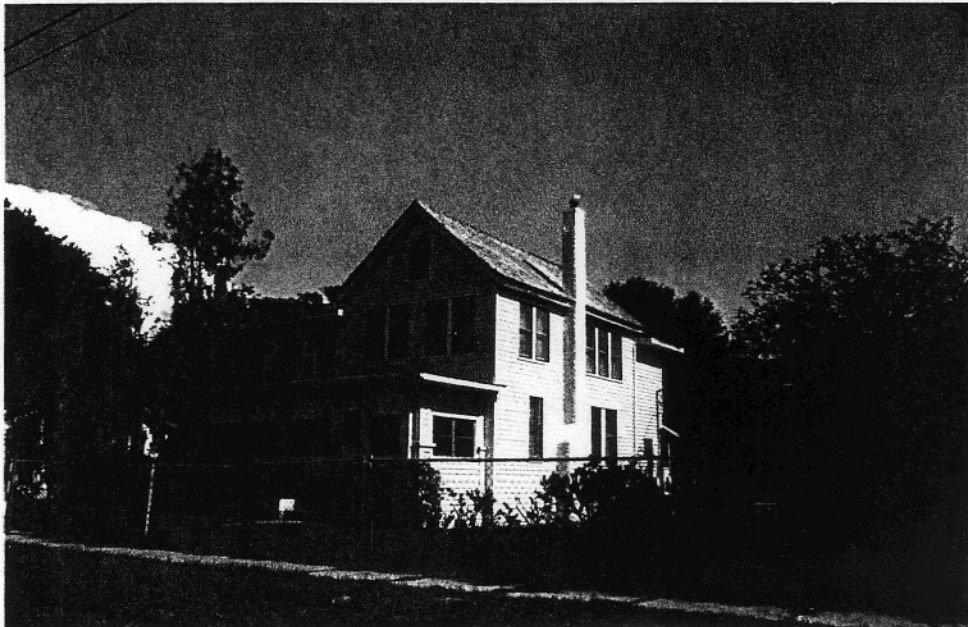
Summary of significance:

THIS RESIDENCE HAS BEEN ALTERED BUT STILL CONTRIBUTES TO THE OVERALL HISTORY AND DEVELOPMENT OF THE NEIGHBORHOOD. W.H. MEYERS RESIDED HERE FROM 1924-26. IT REMAINS IN GOOD CONDITION AND IS SURROUNDED BY LOW FOLIAGE.

*** DHR USE ONLY ***
* Keeper determination of eligibility date: / / / / *
* SHPO evaluation of eligibility date: / / / / *
* Local determination of eligibility date: / / / / *
* Office: *
*
*** DHR USE ONLY ***

Recorder information: DONNA G LOGSDON
Date: 08/1991 Affiliation: THE HISTORIC WORKS

Photographs (Attach a labeled print bigger than contact size)
Location of negatives: EUSTIS HIST. MUSEUM
Negative numbers: 12-13



STATE OF FLORIDA
STATE ROAD DEPARTMENT
AND INTERNAL IMPROVEMENT FUND

UNITED STATES
DEPARTMENT OF THE INTERIOR
GEOLOGICAL SURVEY

LEESBURG 11 MI
42° 30' LISBON 4.9 MI.

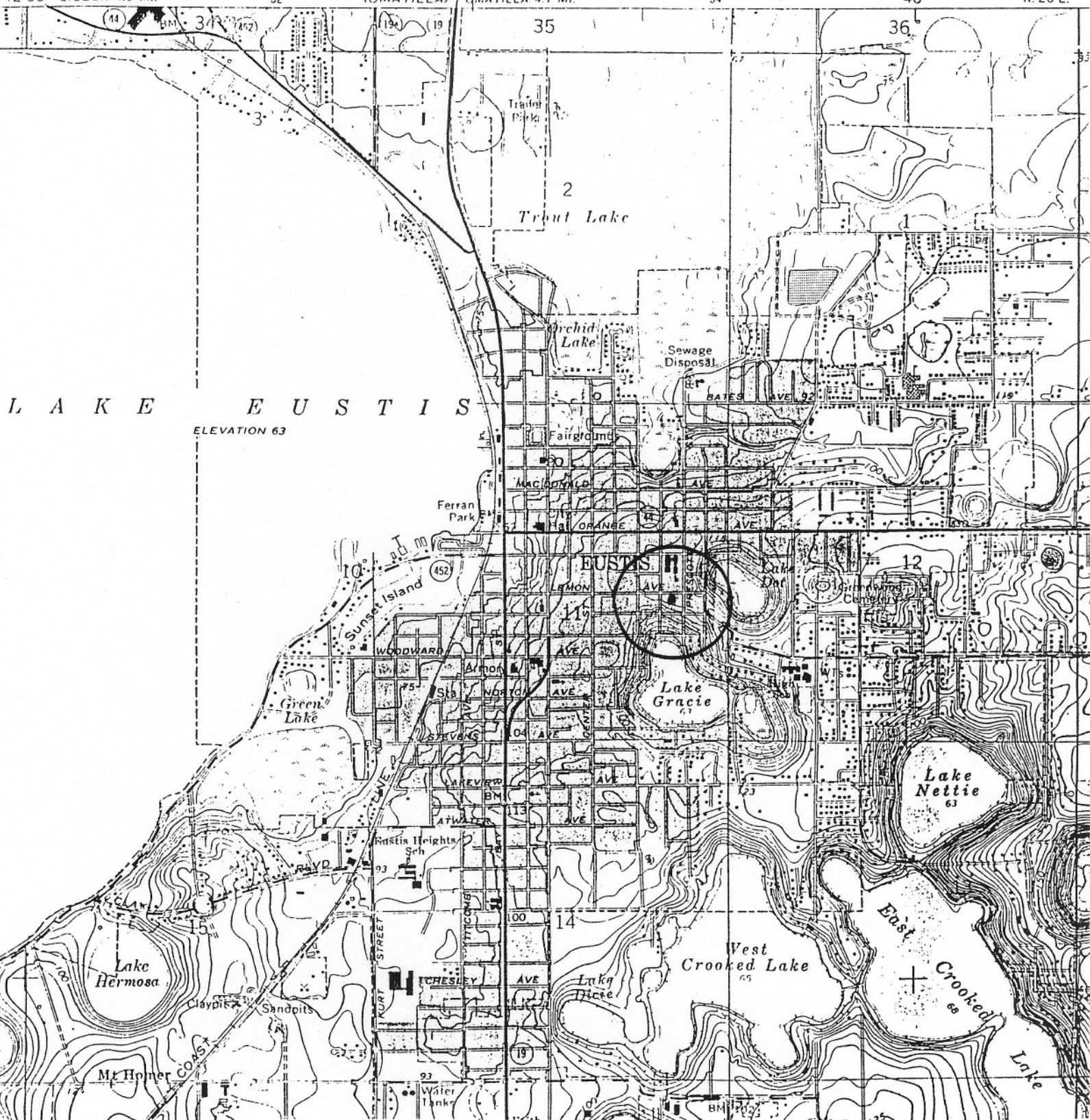
132

4641 1 NV
(UMATILLA) UMATILLA 9.1 MI.

134

40'

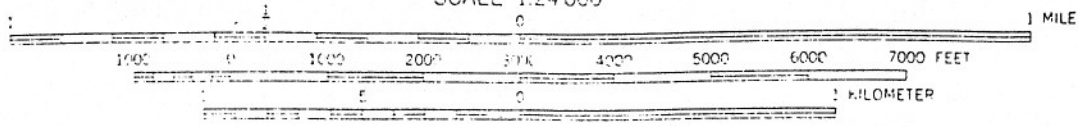
R. 26 E.



L A K E E U S T I S

ELEVATION 63

SCALE 1:24 000



227

CONTOUR INTERVAL 5 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1929

QUADRANGLE LOCATION



CITY OF EUSTIS HISTORIC PRESERVATION BOARD
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)
 4 N. Grove St., P.O. Drawer 68, Eustis, FL 32727-0068
 Phone: (352) 483-5460 Fax: (352) 357-4177 Email: planner@ci.eustis.fl.us

PLEASE SELECT ALL THAT APPLY TO YOUR PROPERTY:

- Local Landmark/Site Eustis Main Street Area
 Washington Avenue Historic District

ADDRESS OF PROPERTY: 708 E. LEMON STREET. ADV

Property Owner

Print Name: Amy Taylor
 Mailing Address: 14275 SW. 161 ST. AVE PORTLAND OR 97224
 Phone: 503-347-9932 Fax: _____
 Email: AMY.TA@SMAL.COM

Applicant/Agent (if different from property owner)

Print Name: SAME AS ABOVE
 Mailing Address: _____
 Phone: _____ Fax: _____
 Email: _____

I certify that all information contained in this application is true and accurate to the best of my knowledge.

Applicant/Owner: Amy Taylor Date: 3/7/2023

Incomplete applications will not be reviewed and will be returned to you for more information. You are encouraged to contact Development Services, at (352) 483-5460, to make sure your application is complete.

Description of Proposed Work: (Check all that apply)

- Alteration Demolition Relocation New Construction

Completely describe the entire scope of work: all changes proposed on the exterior of the building, where on the property the work will occur, how the work will be accomplished, and the types of materials to be used. For large projects, an itemized list is recommended. Attach additional pages if necessary. Please include any additional information as may be applicable to your request including such as photos, drawings, samples of materials, and producing brochures.

EXISTING BUILDING TO REMAIN REPLACING MISSING AND
WOOD ROTTEN WINDOWS AND DOORS WITH NEW VINYL ENERGY EFF.
LOW E WINDOWS (WHITE) TO MATCH EXISTING AS CLOSE AS POSSIBLE
OUTSIDE WALLS TO REMAIN (WILL PAINT ONLY) ROOF TO REMAIN (WILL
CURT WITH SILVER COATING). ROOF TO BE COPPER METAL TO MATCH EXISTING.

OFFICIAL USE ONLY

Date Received: _____ Historic Preservation Board Meeting Date: _____
 File No.: _____ Was a COA issued? Yes _____ No _____

Administrative Approval

Application Approved: _____ Approved with Conditions: _____ Application Denied: _____
 Conditions/Reasons: _____

Signed: _____ Date: _____

Requirements for Certificate of Appropriateness Application City of Eustis, Florida

The Historic Preservation Board meets every two months at 5:30 pm in the City Commission Chambers, 10 N. Grove St., Eustis, Florida. Applications reviewed by the Board must be submitted by the deadlines indicated in Development Services Application Review Schedule.

Any exterior work, including repairs, on a Local Landmark, Landmark Site, or on a structure of property located in the Washington Avenue Historic District, must receive a Certificate of Appropriateness before the work begins. In addition to a Certificate of Appropriateness, a building permit may be required (Building Department at (352) 483-5462)

Applications submitted for review must be complete. In addition to a completed and signed application for Certificate of Appropriateness, one copy of each applicable item is required (if sized less than 11" x 17"). If items are larger than 11" x 17", then 8 copies of each are required. The requirements for each improvement type are listed:

1. Site Improvements/Driveway/Walkway/AC/Mechanical

- Drawings and site plan showing lot dimensions, location and dimensions of existing building, location and dimensions of proposed improvements.
- Description of/or samples of materials to be used.
- AC/Mechanical equipment must be screened by shrubs.

2. Replacement Windows/Doors

- Photo(s) of building facades where replacement will occur
- Photo(s) of each deteriorated windows/doors
- Dimensions of all replacement windows and doors and the existing dimensions of the openings
- Pictures (brochures of photos) of the proposed windows/doors
- Composition of proposed replacement windows/doors
- Written reason for replacement. Explanation of how the proposed replacement complies with Secretary of Interior's standard: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

3. New Construction/Additions

- Elevation drawings to scale of each façade indicating proposed alterations or additions. Drawing must clearly depict the existing building and the proposed changes
- Site plan showing lot dimensions, location and dimensions of existing building, location and dimensions of proposed addition, location of all exterior ground and roof mounted equipment
- Description and/or samples of materials to be used

- Where applicable, drawings and site plan of other improvements such as fences, walkways, lighting, decks, etc.
- Photo of existing structure

4. Replacement Siding/ Porches, Etc.

- Photo(s) of existing deteriorated materials
- Description of replacement materials
- Written reason for replacement. Explanation of how the proposed replacement complies with Secretary of Interior's standard: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

5. Underskirting/Roofs/Gutters/Downspouts

- Photo(s) of building facades impacted by improvements
- Description and/or small sample of building materials to be used

6. Awnings/Signs

- Sketch or elevation drawing of the building façade with proposed sign/awning
- Dimensioned drawing of awning/sign
- Sample of colors
- Photo(s) of building

7. Paint

- Color samples of all colors must be submitted

8. Moving Structures

- Provide a reason for the relocation
- Explain what will be moved, where, why and any proposed changes
- Include photo of the existing site and structure to be moved and the proposed relocation site
- Provide a dimensioned site plan of the new site showing the location and dimensions of the structure
- Describe any site features which will be altered as a result of the placement of the structure

9. Fences/Gates/Pergolas/Sheds/Decks, Etc.

- Drawing and site plan of the property showing the location of the fence, gates and/or pergola. The plan must show applicable dimensions
- A picture of the proposed structure. This can be an elevation drawing, sketch, brochure or photo of the shed, fence, gate or pergola, etc. provided that the dimensions are included
- A description of the materials that will be used in the project
- Photo of the yard (s) in which the structure will be placed

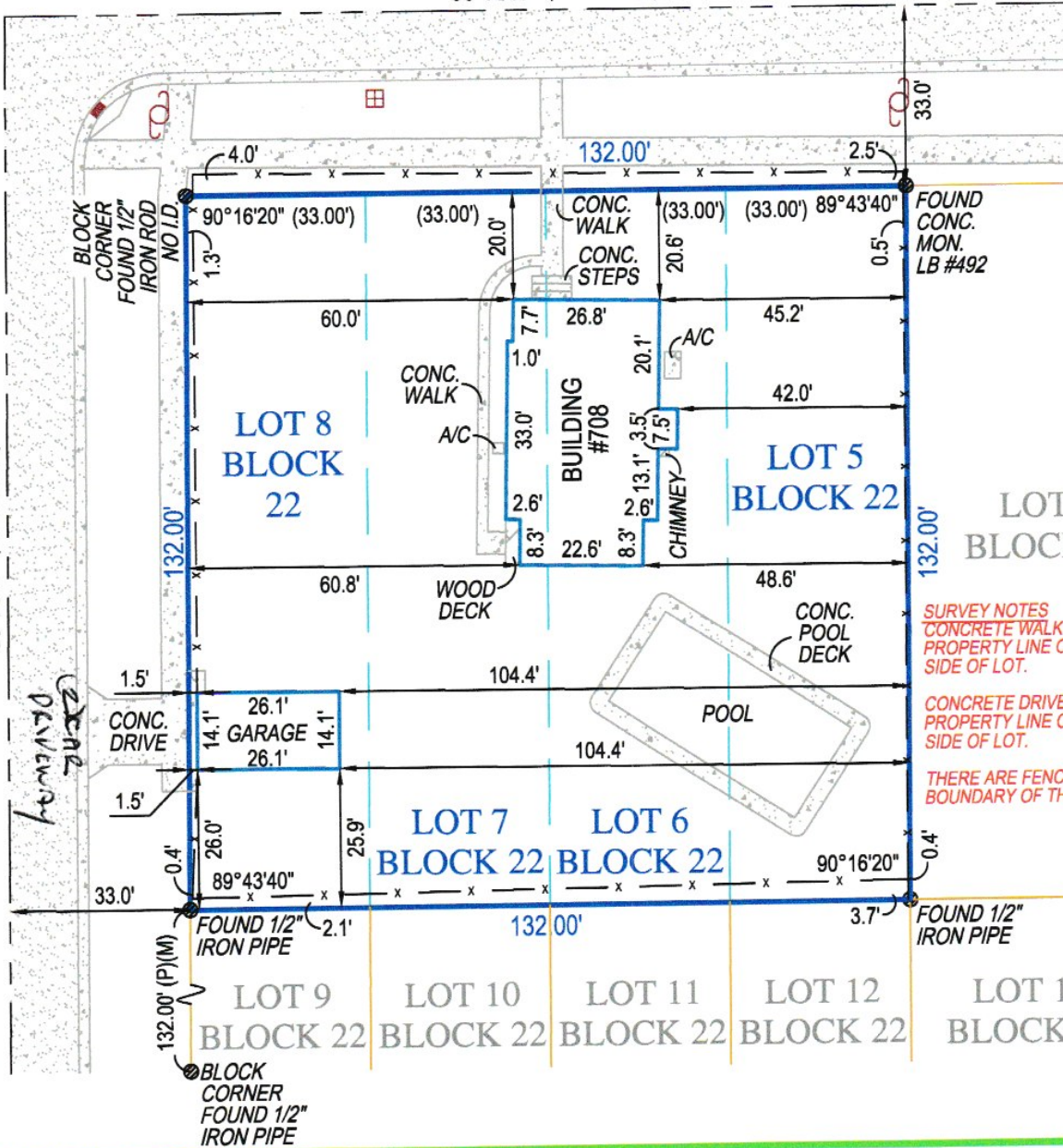
10. Demolition of Structure

- See City of Eustis Code of Ordinances Chapter 46: Historic Preservation

BOUNDARY SURVEY

EAST LEMON AVENUE 66' R/W (IMPROVED)

SOUTH SALEM STREET 66' R/W (IMPROVED)



SCALE
1"=30'

SURVEY NOTES
 CONCRETE WALK CROSS THE PROPERTY LINE ON NORTHERLY SIDE OF LOT.
 CONCRETE DRIVE CROSS THE PROPERTY LINE ON WESTERLY SIDE OF LOT.
 THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.



SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) *Kenneth J. Osborne*
KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415



TARGET SURVEYING, LLC
 LB #7893
 SERVING FLORIDA
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>

LEGAL DESCRIPTION AND CERTIFICATION

Item 5.5

LOTS 5, 6, 7 AND 8, BLOCK 22, PRESCOTT'S ADDITION TO EUSTIS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 14, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA

A/K/A

LOTS 5, 6, 7 AND 8, BLOCK 92, CITY OF EUSTIS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 79, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

Community Number: 120134 Panel: 0356 Suffix: E Flood Zone: X Field Work: 9/24/2020

Property Address:
708 EAST LEMON AVENUE
EUSTIS, FL 32726














Survey Number: 434946

Client File Number: 708 E LEMON

ABBREVIATION DESCRIPTION:

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION	O.R.B.	OFFICIAL RECORDS BOOK
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE	(P)	PLAT
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD	P.B.	PLAT BOOK
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL	P.C.	POINT OF CURVATURE
(C)	CALCULATED	(L)	LENGTH	P.C.C.	POINT OF COMPOUND CURVE
Δ	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT	P.O.B.	POINT OF BEGINNING
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT	P.O.C.	POINT OF COMMENCEMENT
(D)	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED	P.R.C.	POINT OF REVERSE CURVE
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE	P.T.	POINT OF TANGENCY
D.H.	DRILL HOLE	N&D	NAIL & DISK	R/W	RIGHT-OF-WAY
D/W	DRIVEWAY	N.R.	NOT RADIAL	(R)	RADIAL / RADIUS
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	S.I.R.	SET IRON ROD
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES	T.O.B.	TOP OF BANK
				U.E.	UTILITY EASEMENT

SYMBOL DESCRIPTIONS:

	= CATCH BASIN		= MISC. FENCE
	= CENTERLINE ROAD		= PROPERTY CORNER
	= COVERED AREA		= UTILITY BOX
	= EXISTING ELEVATION		= UTILITY POLE
	= HYDRANT		= WATER METER
	= MANHOLE		= WELL
	= METAL FENCE		= WOOD FENCE

PAGE 1 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 2)

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



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STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>

PROPERTY RECORD CARD

General Information

Name: TAYLOR AMY **Alternate Key:** 1631271
Mailing Address: 14275 SW 161ST AVE
 PORTLAND, OR 97224
[Update Mailing Address](#)
Parcel Number: 11-19-26-0100-092-00500
Millage Group and City: 000E Eustis
2022 Total Certified Millage Rate: 20.4258
Trash/Recycling/Water/Info: [My Public Services Map](#)
Property Location: 708 E LEMON AVE EUSTIS FL, 32726
Property Name: --
[Submit Property Name](#)
[School Locator & Bus Stop Map](#)
[School Boundary Maps](#)
Property Description: EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SINGLE FAMILY (0100)	132	132		17424.000	FD		\$0.00	\$59,727.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

Residential Building(s)

Building 1

Residential

Building Value: \$97,408.00

Summary

Year Built: 1925 Total Living Area: 2292 Central A/C: Yes Attached Garage: No
 Bedrooms: 4 Full Bathrooms: 2 Half Bathrooms: 0 Fireplaces: 1

[Incorrect Bedroom, Bath, or other information?](#)

Section(s)

Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	Wood (01)	2.00	2292

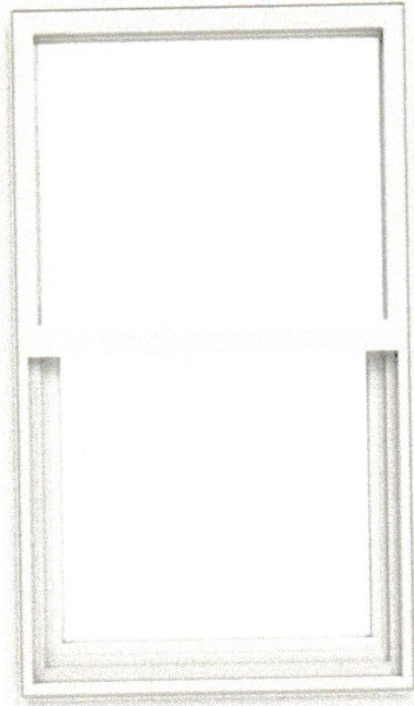
[View Larger / Print / Save](#)











WHITE

Chat Now

- Affordable, durable vinyl window with an operational bottom sash
- SunResist Low-E insulating glass with argon provides more protection against heat gain by blocking harmful...
- Top sash is stationary; bottom sash slides open vertically

Pickup & Delivery Options

FREE Pickup
Ready within 2 hours

Delivery 32159
Wed, Mar 8: From \$70.00

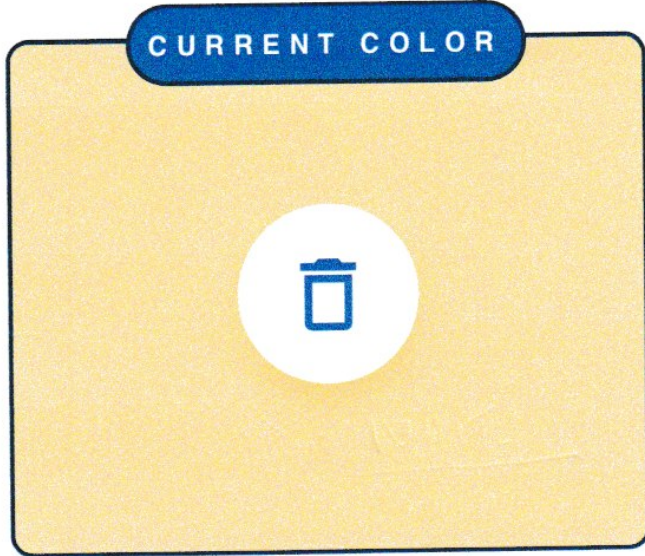
AA

lowes.com



Sunglow

Compare - Add another col



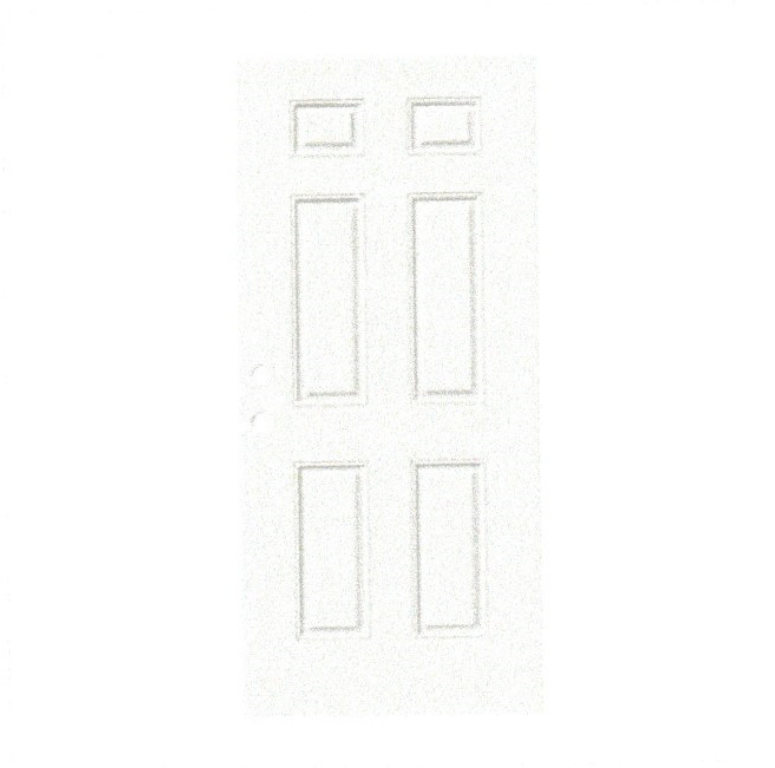
Sunglow

YELLOW TO MATCH MAIN HOUSE.

Current Color: Yellow



X  **Lowe's Home Improvement**
 Download the Lowe's app to search and shop all our products with ease. **Install**
 ★★★★★ (438K)



- Strong and durable 24-gauge steel with attractive, classic style
- Fully insulated core provides a protective barrier from heat and cold for energy efficiency and exceptional...
- Internal 12-in solid wood lock block and a hidden reinforced steel plate in the door frame improve securit...

Common Size (W x H) >
 36-in x 80-in

 [lowes.com](https://www.lowes.com)

March 6, 2023

To the Architectural Review Board:

At 708 E. Lemon Ave, we want to convert the 365 square foot single car garage (carriage house) into a studio living space. We want an on-site living space for a family member to serve as caretaker of the pool and property. The resulting conversion will be a match to the existing house in style and color. No structural elements other than windows and doors will be changed. Some of the siding will need to be replaced.

Thank you,
Amy Taylor

HAND DELIVERED P-SVE C Item 5.5



CITY OF EUSTIS -- BUILDING PERMIT APPLICATION

111 E. Orange Avenue, P. O. Drawer 68, Eustis, FL 32727-0068

Telephone: 352-483-5462---Fax: 352-589-2651

RECEIVED FEB 08 2023

Code in Effect: FLORIDA BUILDING CODE 2020, 7th Edition

Property Owner Amy Taylor
Mailing Address 14275 SW 16th Ave
Phone
City Palmdale OR. Zip
State Fax

Contractor(Applicant) JAMES SVENSON
License Holder SVENSON CONSTRUCTION INC.
License Number CBC1250553
Address 1715 HERMIT SMITH RD
City APOKA State FL Zip 32712
Phone 321-291-5453 Fax
E-mail Address: SVENSONCONSTRUCTION@gmail.com

Project Address 708 EAST LOMA STREET Alt. Key # 1631271
Subdivision Phase Blk Lot

Responding to a Code Violation? Yes No Within a Historic District? Yes No
Is property in a Floodplain? Yes No If "Yes" Base flood elevation must be provided on your Site Plan.

Contract Price/Value: \$ 25,000 Proposed Project Description/Scope:

RENOVATION TO EXISTING GARAGE

It is agreed that in all respects the work will be performed & completed in accordance with the permitted and applicable codes of the local jurisdiction. This permit may be revoked at any time upon violation of any of the provisions of said laws, ordinances, or rules & regulations, or upon any unauthorized change in the original approved plans. This permit becomes invalid if an inspection for permanent construction is not requested within 180 days or more than 6 months has elapsed between inspections.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other government entities, such as water management districts, state agencies, or federal agencies.

I certify that, per Chapter 469, F.S., Asbestos Abatement, I will contact FDEP and provide the Notice of Asbestos Renovation or Demolition Form, and will comply with all requirements, including, but not limited to, conducting a thorough asbestos inspection prior to the commencement of demolition or renovation.

I DO HEREBY SWEAR THAT THE INFORMATION CONTAINED HEREIN AND THE ATTACHMENTS HERETO ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

SIGNATURE (Contractor/Applicant) [Signature] DATE 2/8/23

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this 8th day of FEB. 20 23 by JAMES SVENSON who is personally known to me or who has produced [Signature] as identification.

[Signature]
Notary Public



Permit # 3709722

BUILDING PERMIT APPLICATION - PAGE 2

CONTRACTOR—PLEASE COMPLETE INFORMATION AND SIGN IN APPROPRIATE BLOCK BELOW. BY SIGNING BELOW, I HEREBY SWEAR THAT I AM IN COMPLIANCE WITH FLORIDA'S WORKER'S COMPENSATION LAW AND THAT I HAVE SECURED COVERAGE OR HAVE A VALID CERTIFICATE OF EXEMPTION.

Building Contractor: SVENSA CONSTRUCTION INC. M/H Set-up Contractor:
State/Cert/Reg # CBC1250553
Address 1915 HORMIT SMITH RD.
City APOPKA
State FL Zip 32712
Phone 321-299-5453 Fax
Cell Email:
Signature [Signature] Email: SVENSA.CONSTRUCTION@MAIL.COM

Plumb Contractor: HVAC Contractor: (*)
State/Cert/Reg #
Address
City
State Zip
Phone Fax
Cell Email:
Signature

Elec. Contractor: LP Gas Contractor:
State/Cert/Reg #
Address
City
State Zip
Phone Fax
Cell Email:
Signature

Specialty Contractor: Engineer/Architect:
State/Cert/Reg #
Address
City
State Zip
Phone Fax
Cell Email:
Signature

(*) NOTE TO HVAC CONTRACTOR: FLORIDA BUILDING CODE - ENERGY EFFICIENCY, REQUIRES THAT THE CONTRACTOR PROVIDE MANUAL J & MANUAL N ON ALL NEW CONSTRUCTION AND REPLACEMENT HVAC SYSTEMS ; CONTRACTOR MUST ALSO PROVIDE CERTIFICATION THAT ALL DUCTWORK HAS BEEN INSPECTED AND ALL NECESSARY REPAIRS/TAPING HAVE BEEN COMPLETED.

Approved by _____ Date: _____



Building Code in Effect:
2020 (Seventh Edition) Florida Building Code

BUILDING PERMIT APPLICATION - PAGE 3

Permit Number: _____

Important!

Yes No (Check one) I am filling and /or excavating the property. If yes, provide the Finish Floor Elevation (FFE) , lot corner elevations and drainage plan for the site. Depending on the type of development, not all information will be required. Note: Failure to respond correctly will make you personally liable for future damages.

III. OWNER & LENDER INFO			
A. OWNER OR LESSEE		EMAIL ADDRESS	FAX NO.
NAME		TELEPHONE NO.	
MAILING ADDRESS	CITY	STATE	ZIP CODE
B. BONDING/MORTGAGE NAMES			
Fee Simple Titleholder, Bonding Company, Mortgage Lender and Design Professional information is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is \$2,500 or more (except HVAC repair/replacement > \$7,500).			
NAME	ADDRESS,	CITY,	STATE & ZIP TELEPHONE NO.
FEE SIMPLE TITLEHOLDERS (IF OTHER THAN OWNER)		<input type="checkbox"/> SAME AS OWNER	
BONDING COMPANY <input type="checkbox"/> NOT APPLICABLE			
MORTGAGE LENDERS <input type="checkbox"/> NOT APPLICABLE			
DESIGN PROFESSIONAL	LICENSE #		
		PRIMARY CONTACT EMAIL ADDRESS	PRIMARY CONTACT CELL PHONE NO.

AGENT/APPLICANT'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE
CITY OF EUSTIS

BEFORE ME, the undersigned authority personally appeared Amy Taylor
who being by me first duly sworn on oath, deposes and says:

1. That he/she Affirms and Certifies that he/she understands and will comply with all Ordinances, Regulations, and Provisions of the City of Eustis, and that all statements and diagrams submitted herewith and attached hereto, are true and accurate to the best of their knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the City of Eustis, Florida, and are **Not Returnable**.
2. That he/she desires **City Commission** approval for the use of property as proposed, for the property legally described on this Application.
3. That the submittal requirements for this Application, which are attached hereto, have been completed and attached hereto as part of this Application.

Amy Taylor
(Agent/Applicant's Signature)

STATE OF FLORIDA
COUNTY OF LAKE
CITY OF EUSTIS

The foregoing instrument was acknowledged before me this 26 day of January, 2023, by Amy Taylor, who is personally known to me or who has produced Oregon DL as identification.

(SEAL)

Mariah Lester
Notary Public (Signature)

Mariah Lester
Print or type Notary Name



MARIAH LESTER
Commission # HH 133877
Expires June 18, 2025
Bonded Thru Budget Notary Services

Commission (serial) Number HH 133877

My Commission Expires: June 18, 2025

PROPERTY RECORD CARD

General Information

Name:	TAYLOR AMY	Alternate Key:	1631271
Mailing Address:	14275 SW 161ST AVE PORTLAND, OR 97224 Update Mailing Address	Parcel Number:	11-19-26-0100-092-00500
		Millage Group and City:	000E Eustis
		2022 Total Certified Millage Rate:	20.4258
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	708 E LEMON AVE EUSTIS FL, 32726	Property Name:	-- Submit Property Name
		School Information:	School Locator & Bus Stop Map School Boundary Maps
		Property Description:	EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244

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[Click here for Zoning Info](#) [FEMA Flood Map](#)

Residential Building(s)

Building 1

Residential	Building Value: \$97,408.00		
Summary			
Year Built: 1925	Total Living Area: 2292	Central A/C: Yes	Attached Garage: No
Bedrooms: 4	Full Bathrooms: 2	Half Bathrooms: 0	Fireplaces: 1
Incorrect Bedroom, Bath, or other information?			
Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	Wood (01)	2.00	2292
View Larger / Print / Save			



WWW.CREATIVEFUEL.CO.COM

AMY TAYLOR COTTAGE
RENOVATION
718 E Lemon Street, Eustis

ISSUE DATE SCHEDULE	
0	DATE DESCRIPTION
R1	CD SET

INDEX OF DRAWINGS	
0	SHEET DESCRIPTION: INTERIOR DESIGN
A1.1	COVER SHEET
A3.1	FIRST FLOOR PLAN
E1.1	ELECTRICAL

GENERAL NOTES

DESIGN REQUIREMENTS

WIND DESIGN LOAD INFORMATION:
(PER FBCR 2017 6th EDITION R301, REF. ASCE 7-10)
BASIC WIND SPEED (V_W) = 139 MPH (3 SECOND GUST)
(V_W) = 166 MPH (3 SECOND GUST)
BUILDING CATEGORY = II (ASCE 7-10)
WIND EXPOSURE (ALL SIDES) = B (ASCE 7-10)
INTERNAL PRESSURE COEFFICIENTS (ASCE 7-10)
ENCLOSED BUILDINGS +/- 0.18
PARTIALLY ENCLOSED BUILDINGS + +/- 0.58
(NOTE, COEFFICIENTS FOR PARTIALLY ENCLOSED STRUCTURES ARE APPLIED WHEN DESIGN OF MEMBER(S) FALLS UNDER ASCE 7-10 DEFINITIONS CLASSIFYING AS SUCH)
ALL COMPONENTS AND CLADDING NOT SPECIFIED ON PLANS SHALL BE DESIGNED TO WITHSTAND THE FOLLOWING PRESSURES (ASD):
FOR WALL LOCATIONS +1.2 PSF, -28.3 PSF
FOR ROOF LOCATIONS +12.2 PSF, -49.9 PSF

PREFABRICATED WOOD TRUSSES

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS
- TRUSSES SHALL BE DESIGNED BY MWFRS METHODOLOGY FOR LONG SPAN TRUSSES TO DETERMINE UPLIFT AND REACTION VALUES, MEMBER AND PLATE DESIGN TO BE CALCULATED BY COMPONENTS AND CLADDING METHOD UNLESS SPECIFIED OTHERWISE BY TRUSS ENGINEER OF RECORD
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND DESIGN LOADS
- BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY TRUSS MANUFACTURER UNLESS NOTED ON PLANS
- TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN BUT SHALL BE DESIGNED BY TRUSS MANUFACTURER IN ACCORDANCE WITH THE DESIGN LOADS

TRUSS DESIGN LOADS
TOP CHORD: LL = 16 PSF
(TRUSS MFR. MAY TAKE REDUCTION FOR 6:12 SLOPES OR GREATER)
DL = 10 PSF (SHINGLE TYPE ROOF COVER)
DL = 16 PSF (LOW SLOPING MEMBRANE TYPE ROOF COVER)
DL = 14 PSF AT OVERSILT
BOTTOM CHORD: LL = 16 PSF
BOTTOM CHORD: DL = 10 PSF
WIND LOAD: SEE DESIGN REQUIREMENTS

- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS, WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS AND ALL TRUSS TO TRUSS HANGERS
- PROVIDE ADDITIONAL BRACING AND BLOCKING PER BCSS-1-03 AND TRUSS MANUFACTURER'S DRAWINGS

PROJECT NOTES


BUILDING DATA

2020 Florida Building Code Residential 7th Edition
2020 Florida Building Code existing 7th Edition
NFPA- 70 (NEC) 2017 Edition
2017 FBC Residential, 7th Edition- Electric

CLASSIFICATION REPAIR

SCOPE OF WORK

SITE LOCATION MAP



WOOD CONSTRUCTION

- WOOD CONSTRUCTION SHALL CONFORM THE NFPA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION (NDS)
- ALL EXTERIOR WOOD STUD WALLS BEARING WALLS, SHEAR WALLS AND MISC. STRUCTURAL WOOD FRAMING MEMBERS (I.E. BLOCKING OR GABLE END BRACING) SHALL BE SPRUCE PINE FIR OR EQUIVALENT, NO 2 GRADE SHALL BE USED REGARDLESS OF SPECIES
- ALL 2X8's OR DEEPER MEMBERS TO BE SOUTHERN PINE NO 2 GRADE
- ALL TRUSS MEMBERS (I.E. TOP & BOTTOM CHORD, WEBS) TO BE SOUTHERN PINE NO 2 GRADE
- PRESERVATIVE-TREATED WOOD WITH FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH AWPA M11
- USE OF PRESERVATIVE-TREATED WOOD OR NATURAL DURABLE WOOD SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER FBCR R31-7

- JOISTS WHEN CLOSER THAN 18" OR GIRDERS CLOSER THAN 12" FROM GRADE
- FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATIONS LEES THAN 8" FROM GRADE
- SILLS AND SLEEPERS ON CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND (UNLESS SEPARATED BY MOISTURE BARRIER)
- ENDS OF GIRDERS ENTERING CONCRETE OR MASONRY WALLS HAVING CLEARANCES OF LESS THAN 1/2" ON TOP, SIDES AND ENDS
- SIDING, SHEATHING AND WALL FRAMING ON EXTERIOR OF BUILDING HAVING LESS THAN 8" FROM GRADE OR 2" MEASURED VERTICALLY FROM CONCRETE SLAB, STEP OR SIMILAR HORIZONTAL SURFACE EXPOSED TO WEATHER
- FURRING STRIPS OR FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR SIDE OF THE EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE (UNLESS SEPARATED BY MOISTURE BARRIER)
- MEMBERS IN CONTACT WITH GROUND OR EMBEDDED IN CONCRETE EXPOSED TO WEATHER SHALL BE APPROVED PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT
- MEMBERS EXPOSED TO WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE ACCUMULATION ON THE SURFACE OR JOINTS BETWEEN MEMBERS

*NOTE, IT IS RECOMMENDED TO USE PRESERVATIVE-TREATED LUMBER OR A MOISTURE BARRIER FOR ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY

SVENSON CONSTRUCTION INC
CBC1250553

RALPH C MERVINE
Digitally signed by RALPH C MERVINE
Date: 2023.02.07 06:29:20 -05'00



This item has been digitally signed and sealed by RALPH CARTER MERVINE on the date adjacent to the seal
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

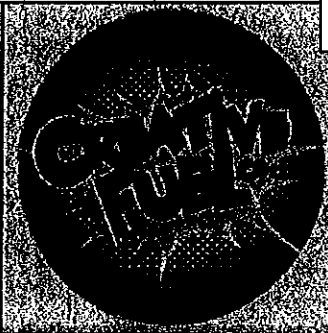
BUILDING DATA

Living area 400 sf

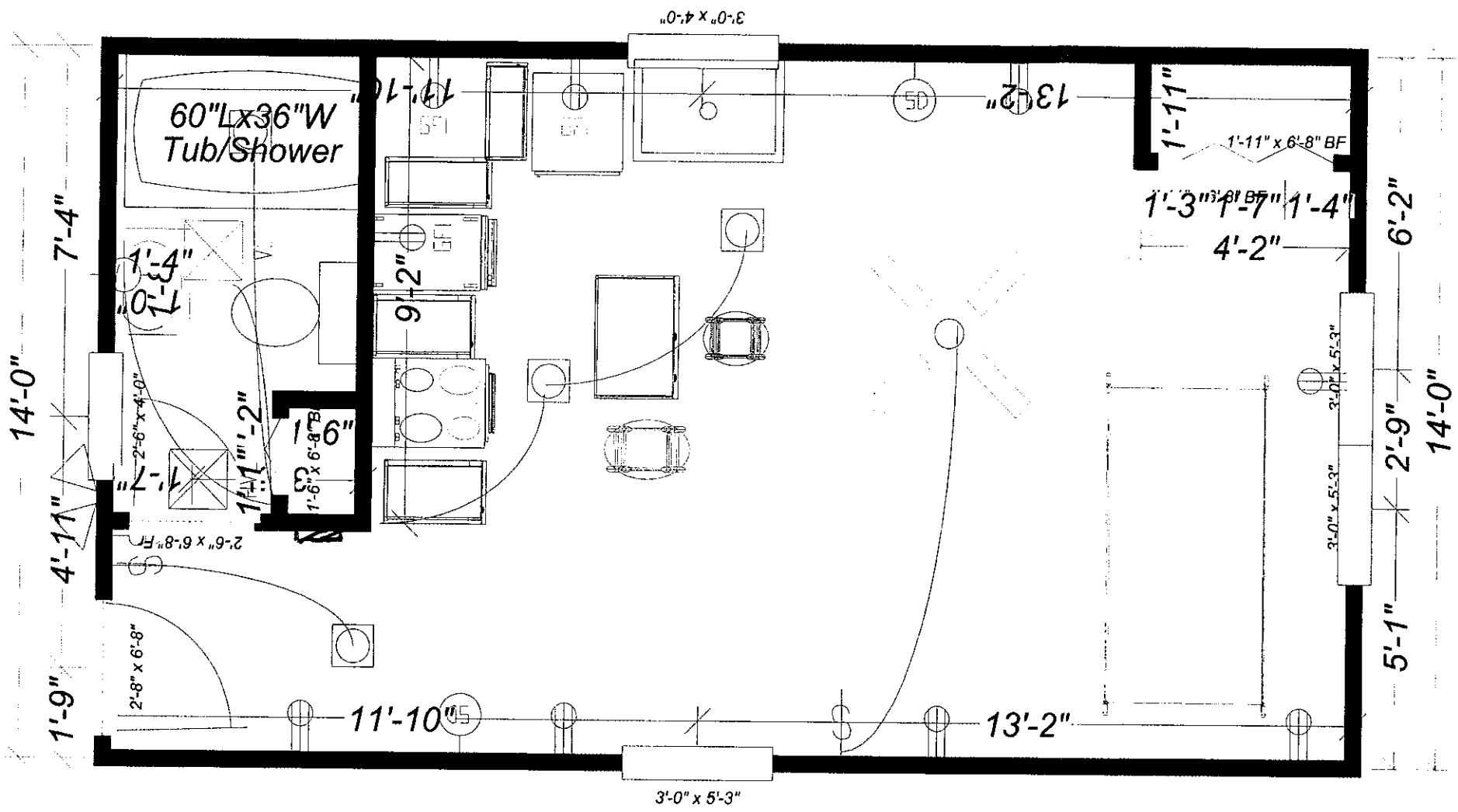
ISSUE DATE	APPROVED BY: JDB
0	DATE DESCRIPTION

COVER SHEET GENERAL NOTES

A1.1



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ELECTRICAL LEGEND:

- OUTLET 110-115
- GFI OUTLET 110-115, GROUND FAULT CIRCUIT INTERRUPTER
- WP GFI OUTLET 110-115, WATERPROOF GROUND FAULT CIRCUIT INTERRUPTER
- DLG FAN PRE WIRED
- LIGHT FIXTURE, WALL MOUNTED
- LIGHT FIXTURE, CEILING MOUNTED
- LIGHT FIXTURE, RECESSED
- METER
- DISCONNECT SWITCH
- SWITCH, SINGLE POLE
- SWITCH, THREE WAY
- ELECTRICAL PANEL
- EXHAUST FAN
- GARBAGE DISPOSAL
- OUTLET 220-240, SPECIAL PURPOSE

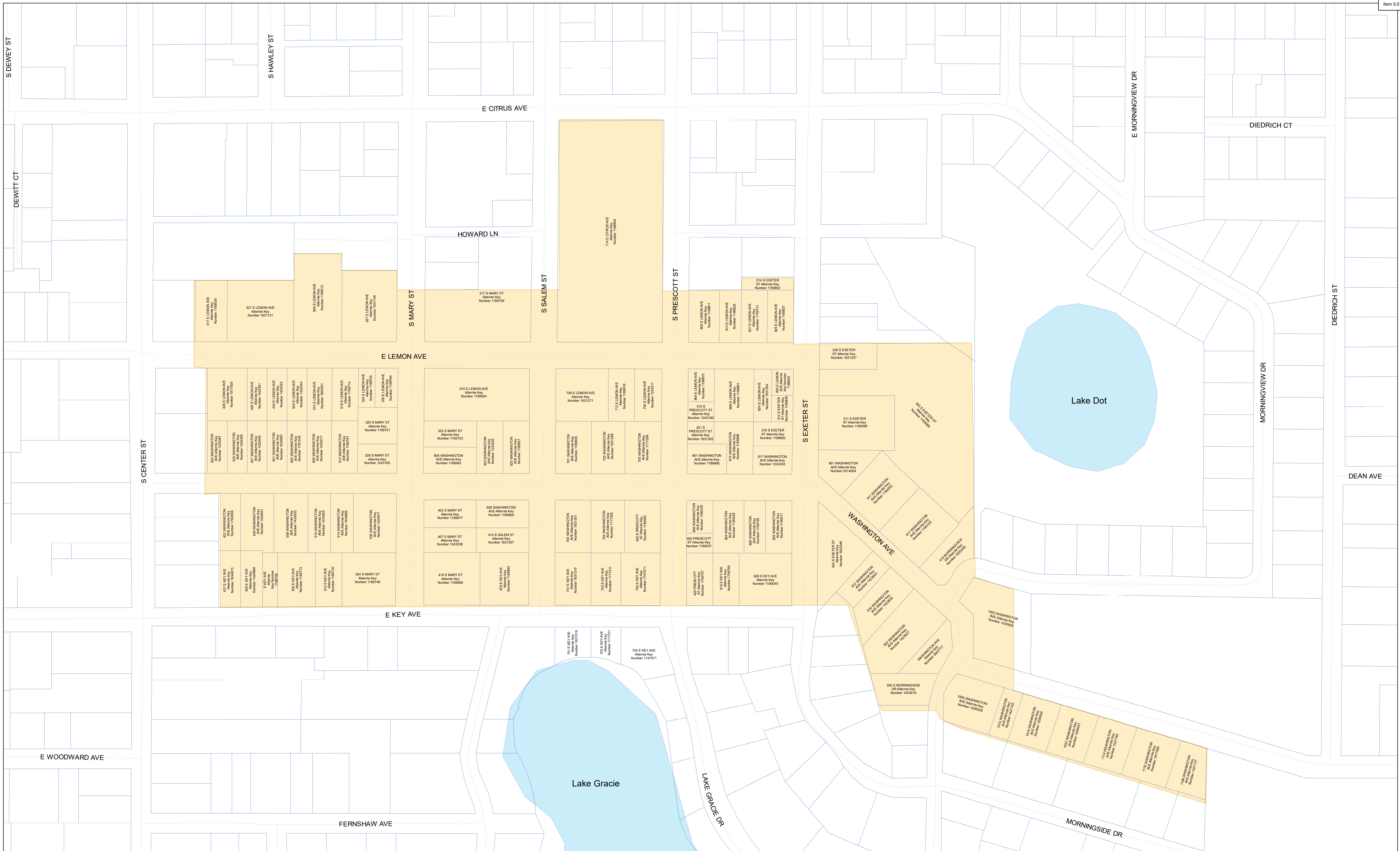
1 ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

ISSUE DATE: _____ APPROVED BY: JDX

REVISION SCHEDULE	
NO.	DESCRIPTION

ELECTRICAL PLAN AND LEGEND
E1.1

SHEET NUMBER



Washington Avenue Historic District

Prepared by the City of Eustis Development Services Department - Washington Street Historic District Boundary Established by Ordinance Number 97-33



1 inch = 100 feet

Lane, Mike

From: Amy Taylor <amyta57@gmail.com>
Sent: Friday, June 23, 2023 3:41 PM
To: Lane, Mike
Subject: Re: 708 E Lemon Ave. I would like a response from the City

Caution: This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you for the update. I will plan to be present on July 20th.
Amy Taylor

On Fri, Jun 23, 2023 at 12:39 PM Lane, Mike <LaneM@eustis.org> wrote:

Ms. Taylor:

I called earlier and hadn't heard back so this email will reiterate my voicemail. I want to make sure that you received this information so that you wouldn't make a trip to Eustis on a date that won't work for the City Commission (to hear the Conditional Use Permit Application for the above referenced address).

Unfortunately, we were unable to secure an advertisement in the local newspapers to meet the required 10-day notice before the July 6th Meeting. The deadline would have been this past Wednesday to run in next week's edition. We will have to get this placed on the following City Commission Meeting which will be July 20th.

If you have any questions, feel free to reach back out.

I appreciate your cooperation and assistance with this matter.

Have a wonderful afternoon/weekend!

Best regards,

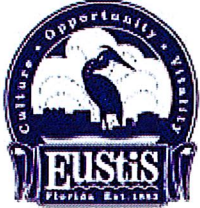
Mike

Mike Lane, AICP

Director

Development Services

City of Eustis



[4 North Grove Street, P.O. Drawer 68, Eustis, FL 32727](#)

Email: lanem@eustis.org

[Development Services](#) (link)

From: Amy Taylor <amyta57@gmail.com>

Sent: Thursday, June 22, 2023 1:36 AM

To: commission email <commission@eustis.org>; Croney, Heather <Croneyh@Eustis.org>; Lane, Mike <LaneM@Eustis.Org>; Richardson, Jeff <RichardsonJ@Eustis.org>; Adair, Matt <adairm@Eustis.org>; James Svenson <svensonconstruction@gmail.com>

Subject: 708 E Lemon Ave. I would like a response from the City

Caution: This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear All,

I would like to know why the June 15 hearing regarding the standalone garage conversion to a studio was tabled. I sent the (copied below) email to planners and others on June 15, 2023, and asked them to respond.

I am certain that I fulfilled all requirements for the June 15 meeting. An email thread exists where I stated that I would not be present but my contractor, James Svenson, would be. An email thread where I addressed the unpermitted ramp exists. My house is not, and has not been for sale. Other pertinent objections are explained in the following copy.

I notified all neighbors within 500 feet with no objection.

Item 5.5

I took a derelict house with a totally unsecured swimming pool across the street from an elementary school! and made it a place that will build Eustis' reputation as a destination.

I would like for July 6 to be the second and final hearing and for the tabling of the June 15 hearing to be amended. Otherwise, please tell me exactly why.

Thank you,

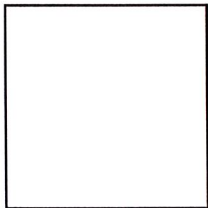
Amy Taylor

June 15 email below

>>

Amy Taylor <amyta57@gmail.com>

to Heather, Mike, Jeff, James



Dear All,

I was disappointed to hear that the hearing on June 15 was tabled because a commissioner objected to my request to convert the stand-alone garage at my property to a studio ADU. I would ask that this email be distributed to that commissioner and any other interested party.

I live most of the year in Oregon. I was never told that I needed to be present for the June 15 meeting, and I assumed that all of the relevant information had been disseminated before the hearing. My contractor, James Svenson was present, as you know.

I would like to appeal that we may have a second and final meeting on July 6 as planned, as none of the 63 neighbors I sent notifications to were present on June 15 to voice an objection. I'd like to present some information on the sticking points, which I understand to be an opinion that I may be someone who is playing loose with City rules. I am not.

1. I am a Florida native, not some out-of-state opportunist. I was born in 1957 in Rockledge, I grew up on a citrus farm in Melbourne, Florida. My whole family lives in Florida: Melbourne, Palm Bay, Orlando, Sarasota, Lake City. Eustis was the center of it all, that's why I bought a house there. I care.

2. I had the front porch ramp built by my paver and irrigation guy, Dustin Curtis. I did that because the existing monolithic concrete step had separated from the house and was pitched forward to the yard. It was dangerous. My best friend's daughter is disabled and there was no way she could get into the house. I didn't know it needed a permit and Dustin didn't tell me. It's a solid structure and I was told by the Eustis Building department that I can post-permit it with length, slope, a drawing, and an engineer's sign-off and I am working on that. I honestly did not know. How is a ton of concrete pitched forward to the lawn better than what I had done? I understand it has to be approved.

3. My son, Joseph Seufferheld, 23, who works at the Ace in Eustis, and is enrolled in the Police Academy (I know Ms. Croney met him) was living in the house from 2021-Jan. 2023. He then briefly stayed in a tent next to the garage. Why, you may ask? Because with months of notice that I was listing the home as a vacation rental and that he needed to be out, he got NOT ONE, but TWO german shepherds (they are adorable but OMG). Which made him unhousable in almost any apartment complex. This was not my first choice, believe me. I had taken reservations, I could not disappoint guests who had made plans. So I informed them and with their consent I put Joe in the tent while we desperately looked for a home for him. James Svenson, contractor, had filed the plans for the garage/ADU with the city. He is a caring guy, he was worried about me, and worried about Joe and the dogs (it was still winter) so yes he did some work before the permit cleared. Everyone had the best of intentions. Nobody was trying to beat the system. We found a duplex for Joe on N. Center Street March 1.

4. My purpose for converting the garage to a studio ADU is because I have twenty years of experience in the hosting business. I want a family member on site to care for the giant pool and ensure peace. See my reviews, you can see all my listings through this link. <https://link.spamstopshere.net/u/2ff94af0/MkKw5L4Q7hGELIkTh3soMg?u=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F1213052> This is a business I take very seriously, for my guests and for my neighbors. The City of Eustis is currently collecting lodging tax on every stay, if you are not aware of that.

5. I would like to petition you all that we can proceed with July 6 as the second and final meeting. No neighbors objected, I am making a plea to the City to accept my good intentions. I will be present in person July 6 if it is necessary to get this project going.

Thanks for your consideration,

Amy Taylor

owner [708 E Lemon Ave. Eustis FL](#)

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Links contained in this email have been replaced. If you click on a link in the email above, the link will be analyzed for known threats. If a known threat is found, you will not be able to proceed to the destination. If suspicious content is detected, you will see a warning.

Please note: Florida has a very broad public records law. Most written communication to or from government officials regarding government/public business is public record available to the public and media upon request. Your e-mail communications may be subject to public disclosure.

Links contained in this email have been replaced. If you click on a link in the email above, the link will be analyzed for known threats. If a known threat is found, you will not be able to proceed to the destination. If suspicious content is detected, you will see a warning.



**CODE ENFORCEMENT BOARD
CITY OF EUSTIS
STATE OF FLORIDA**

CASE #23-00081

IN THE MATTER OF: AMY TAYLOR
 14275 SW 161ST AVE
 PORTLAND, OR 97224

ORDER OF ENFORCEMENT

This cause having come before the Code Enforcement Board (Board) of the City of Eustis, Florida for a Violation Hearing on this 10th day of July, 2023, and the Board having heard the testimony of the respective parties, and/or evidence presented, does hereby make the following Finding of Fact, Conclusion of Law, and Order/Imposition of Fine as follows:

FINDING OF FACT AND CONCLUSION OF LAW

- 1) Notice was given as required by law.
- 2) The real property involved is legally described as: EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244 (708 EAST LEMON AVE, Eustis, FL) Parcel ID 11-19-26-0100-092-00500.
- 3) The violation continued beyond the time specified for correction.
- 4) Having heard the testimony and evidence presented, this Board finds that notice was given as required by law and that AMY TAYLOR did violate the following Section(s) of City Code, and by virtue of the facts set forth above this Order of Enforcement is hereby warranted:

Section 118-2 FBC, Section 105.1 Permits Required: Any owner or owner's authorized agent who intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any impact-resistant coverings, electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be performed, shall first make application to the building official and obtain the required permit.

Violation: *Handicap ramp constructed at front of building without a permit.*

ORDER / IMPOSITION OF FINE

It is hereby ordered that **AMY TAYLOR** bring the property into compliance with City Code by taking the following corrective actions by **August 9, 2023**, or a fine of **\$50** per day of occurrence will be imposed.

Corrective Action(s) Required:

Obtain a permit for the handicap ramp from the Eustis Building Department, or remove it.

The Building Department is located at 111 E. Orange Avenue, Eustis, and their telephone number is (352) 483-5462.

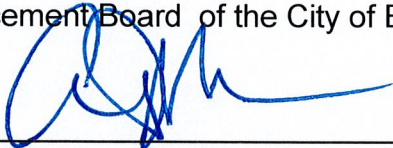
CERTIFICATION OF VOTE

The vote of the Code Enforcement Board regarding the Finding of Fact, Conclusion of Law, and Imposition of Fine:

<u>Member</u>	<u>Yes</u>	<u>No</u>	<u>Absent</u>
Alan Paczkowski	x		
Stephanie Carder	x		
George Asbate	x		
Karen Sartele	x		
Richard Bartzer	x		
Ryan Benaglio	x		
Bradley Shelley			x
William Gay (alternate)	x		


DONE AND ORDERED THIS 10TH DAY OF JULY, 2023.

Code Enforcement Board of the City of Eustis, Florida

By: 
Alan Paczkowski, Chairperson

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing order was mailed via First Class Mail to the violator at the address stated above on this 11th day of July, 2023.


~~Alex Thomas, Board Clerk~~
ERIC MARTIN, CODE ENF. SUPERVISOR



City of Eustis

Code Enforcement Department

Item 5.5

P.O. Drawer 68

Eustis, Florida 32727-0068

(352) 483-5464

July 11, 2023

Amy Taylor
14275 SW 161st Ave
Portland, OR 97224

**Re: Code Enforcement Case #23-00081
708 EAST LEMON AVE, EUSTIS, FL**

Dear Property Owner:

Enclosed is a copy of the Finding of Fact, Conclusion of Law, and Order/Imposition of Fine issued by the Code Enforcement Board on July 10, 2023.

When the property is in compliance with the Board's Order, immediately contact the Code Enforcement Office by phone at **(352) 483-5464** or by email at codeenforcement@ci.eustis.fl.us so that an inspection of the property may be conducted to close the case and to stop any possible accrual of daily fines.

If you wish to appeal the ruling of the Code Enforcement Board, you must file your appeal with the Lake County Circuit Court within 30 days of the date of this Order (Section 162.11, Florida Statutes).

Your attention to this matter is required.

Sincerely,

Eric Martin
Code Enforcement Supervisor
(352) 483-5464

Enclosure: As stated

C: File

• Telephone: (352) 483-5464

• Fax: (352) 357-4177

• E-Mail: codeenforcement@ci.eustis.fl.us

• URL: <http://www.eustis.org>



City of Eustis

Code Enforcement Department

P.O. Drawer 68 Eustis, Florida 32727-0068 (352) 483-5464

June 20, 2023

Case #23-00081

Amy Taylor
14275 SW 161st Ave
Portland, OR 97224

Certified Mail #7020 0090 0001 2829 3380
POSTED OR HAND DELIVERED ON JUNE 20, 2023

RE: Notice of Violation/Hearing for property located at:
708 EAST LEMON AVE, EUSTIS, FL
 Alternate Key #1631271
 Parcel No. 11-19-26-0100-092-00500
 Legal Description: EUSTIS LOTS 5, 6, 7, 8 BLK 92 PB 1 PG 79 ORB 5893 PG 1219 ORB 5945 PG 244

Dear Property Owner:

YOU ARE HEREBY NOTIFIED that the property identified above has been found in violation of the following City code(s): You are hereby directed to take immediate action(s) to remedy the violation(s) by the Compliance Date listed in this Notice.

Section 118-2 FBC, Section 105.1 Permits Required: Any owner or owner's authorized agent who intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any impact-resistant coverings, electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be performed, shall first make application to the building official and obtain the required permit.

Violation: *Handicap ramp constructed at front of building without a permit.*

Corrective Action Required: Obtain a permit for the handicap ramp from the Eustis Building Department, or remove it.

The Building Department is located at 111 E. Orange Avenue, Eustis, and their telephone number is (352) 483-5462.

Notice: Failure to comply by **July 3, 2023** will result in the case going before the Eustis Code Enforcement Board or Special Magistrate on **Monday, July 10, 2023 at 3:00 P.M. in the City Commission Chambers located in City Hall at 10 N. Grove Street.** At the Hearing, the Board or Special Magistrate will order compliance by a specified date and may impose a fine not to exceed \$250 per day for every day the property is in violation past the date specified for compliance.

If the violation is corrected and then recurs or if the violation is not corrected by the time specified for correction by the code inspector, the case may be presented to the Code Enforcement Board or Special Magistrate even if the violation has been corrected prior to the Board Hearing.

It is the responsibility of the property owner or violator to notify the code inspector when the property is ready to be re-inspected. To request a re-inspection or if you have any questions about what is required to bring the property into compliance, please call (352) 483-5464 or email codeenforcement@ci.eustis.fl.us.

Sincerely,


Joseph Rittenhouse
Code Enforcement Officer

cc: File