



CITY of ESCONDIDO

PLANNING COMMISSION MEETING

July 09, 2024 at 7:00 PM

Council Chambers: 201 North Broadway, Escondido, CA 92025

WELCOME TO YOUR COMMISSION MEETING

We welcome your interest and involvement in the legislative process of Escondido. This agenda includes information about topics coming before the Commission.

CHAIR

Stan Weiler

VICE CHAIR

David Barber

COMMISSIONERS

Carrie Mecaro

Barry Speer

Jeff Jester

Dustin Steeve

Marc Correll

MINUTES CLERK

Alex Rangel

HOW TO WATCH

The City of Escondido provides one way to watch a Commission meeting:

In Person



201 N. Broadway, Escondido, CA 92025



CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JULY 09, 2024

HOW TO PARTICIPATE

The City of Escondido provides two ways to communicate with the Commission during a meeting:

In Person



Fill out Speaker Slip and Submit to City Clerk

In Writing



<https://escondido-ca.municodemeetings.com>

ASSISTANCE PROVIDED

If you need special assistance to participate in this meeting, please contact our ADA Coordinator at 760-839-4869. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility. Listening devices are available for the hearing impaired – please see the City Clerk.





CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JULY 09, 2024

AGENDA

CALL TO ORDER

FLAG SALUTE

ROLL CALL

APPROVAL OF MINUTES

- [1.](#) June 25, 2024

WRITTEN COMMUNICATIONS

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

ORAL COMMUNICATIONS

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

PUBLIC HEARINGS

Please limit your testimony to three minutes.

CURRENT BUSINESS

- [2.](#) **PL23-0440 – Conway (“Capistrano”) Subdivision Design Review**

REQUEST: A Design Review Permit for the 46 single-family dwellings associated with the Conway Subdivision (now known as “Capistrano”).

PROPERTY SIZE AND LOCATION: The 12.06-acre site is located on west of Conway Drive on both sides of Stanley Avenue and north of Lehner Avenue, addressed as 916, 942, and 943 Stanley Avenue, and 2005 – 2175 Conway Drive (odd numbered addresses only), Escondido, CA 92027 (APNs: 224-141-23-00, 224-141-24-00; 224-141-25-00, 224-142-30-00, 224-142-31-00, 224-142-32-00, & 224-142-33-00)

APPLICANT: Beazer Homes Holdings, LLC



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CEQA RECOMMENDATION: Determine that the proposed project is exempt from further environmental review, and direct staff to file a Notice of Determination, based on the previously adopted Mitigated Negative Declaration (SCH#20221000635) for the project.

STAFF RECOMMENDATION: Approval

CITY COUNCIL HEARING REQUIRED: YES NO

3. PL24-0082 - 2023 General Plan Annual Progress Report

REQUEST: The Planning Commission receive and file the 2023 calendar year General Plan Annual Progress Report.

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido, Development Services Department

CEQA RECOMMENDATION: Not a "Project" under CEQA pursuant to CEQA guidelines section 15378(b)(5).

STAFF RECOMMENDATION: Receive and file

CITY COUNCIL MEETING REQUIRED: YES NO

FUTURE AGENDA ITEMS

ORAL COMMUNICATIONS

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PLANNING COMMISSIONERS REPORT

CITY PLANNER'S REPORT

- 4.** Tentative Future Agenda

ADJOURNMENT



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

June 25, 2024 at 7:00 PM
Council Chambers: 201 North Broadway, Escondido, CA 92025

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201 N. Broadway, Escondido, CA 92025



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

TUESDAY, JUNE 25, 2024

MINUTES

CALL TO ORDER: 7:00 p.m.

FLAG SALUTE: Stan Weiler

ROLL CALL:

Commissioners Present: Stan Weiler, Chair; Jeff Jester, Commissioner; Carrie Mecaro, Commissioner; Barry Speer, Commissioner; and Dustin Steeve, Commissioner.

Commissioner Absent: David Barber, Vice-Chair; Marc Correll, Commissioner.

City Staff Present: Veronica Morones, City Planner; Dare DeLano, Senior Deputy City Attorney; Jason Christman, Principal Engineer; Pricila Roldan, Associate Planner; Alex Rangel, Minutes Clerk.

APPROVAL OF MINUTES: June 11, 2024.

Motion: Commissioner Mecaro; Second: Commissioner Jester.

Motion carried (5-0) to approve the minutes.

Ayes: Weiler, Jester, Mecaro, Speer, Steeve.

WRITTEN COMMUNICATIONS:

None.

ORAL COMMUNICATIONS:

None.

PUBLIC HEARINGS:

1. **PL24-0007 – Consistency Amendments to the Land Use Element and East Valley Area Plan**

REQUEST: A request to amend the City of Escondido’s General Plan Land Use and Community Form chapter and the East Valley Parkway Area Plan for conformance with the East Valley Specific Plan.

PROPERTY SIZE AND LOCATION: CityWide

ENVIRONMENTAL STATUS: Not a project under CEQA, pursuant to CEQA Guidelines section 15378(b)(5).

APPLICANT: City of Escondido.

STAFF RECOMMENDATION: Recommend approval to City Council.



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PUBLIC COMMENT:

None.

COMMISSION DISCUSSION:

The commissioners discussed various aspects of the amendments, including the Escondido Shopping Center Subarea, map amendments, and the East Valley Specific Plan implementation.

COMMISSION ACTION:

Motion to approve Planning Commission Resolution No. 2024-03, recommending approval of the proposed General Plan and East Valley Parkway Area Plan amendments to City Council.

Motion: Chair Weiler. Second: Commissioner Speer.

Motion carried (5-0) to approve the project.

Ayes: Weiler, Jester, Mecaro, Speer, Steeve.

Nays: None.

CURRENT BUSINESS:

2. PL24-0082 – 2023 Climate Action Plan Annual Monitoring Report

REQUEST: A request to receive and file the Climate Action Plan Annual Monitoring Report.

PROPERTY SIZE AND LOCATION: CityWide.

ENVIRONMENTAL STATUS: Not a project under CEQA, pursuant to CEQA Guidelines section 15378(b)(5).

APPLICANT: City of Escondido.

STAFF RECOMMENDATION: None.

PUBLIC COMMENT:

None.

COMMISSION DISCUSSION:

The Commissioners discussed various items of the report.

COMMISSION ACTION:

None.



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PLANNING COMMISSION MINUTES

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3. PL23-0381 – Pre-approved Accessory Dwelling Unit Program (“PAADU Program”)

REQUEST: A request to provide input and/or feedback on the proposed PAADU Program. This may include suggestions regarding outreach and education material content; recommendations on the preliminary designs provided under Attachment 1; and/or any general recommendations or insights, including those from the experience of developing/building/occupying an ADU.

PROPERTY SIZE AND LOCATION: CityWide.

ENVIRONMENTAL STATUS: Not a project under CEQA, pursuant to CEQA Guidelines section 15378(b)(5). Subsequent efforts under the program will be statutorily exempted under CEQA Guidelines section 15268(b)(1).

APPLICANT: Development Services Department.

STAFF RECOMMENDATION: None.

PUBLIC COMMENT:

None.

COMMISSION DISCUSSION:

The Commissioners discussed various items of the program, including project flexibility, design guidelines, and the program’s scope.

COMMISSION ACTION:

None.

FUTURE AGENDA ITEMS:

None.

ORAL COMMUNICATIONS:

None.

PLANNING COMMISSIONERS:

None.

CITY PLANNER'S REPORT:



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

TUESDAY, JUNE 25, 2024

City Planner Morones provided a Tentative Future Agenda for the upcoming July 9, 2024 Planning Commission meeting.

ADJOURNMENT

Chair Weiler adjourned the meeting at 8:19 p.m.

Veronica Morones. Secretary to the Escondido
Planning Commission

Alex Rangel, Minutes Clerk



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STAFF REPORT

BACKGROUND

The project site is located on the west side of Conway Drive, and north of Lehner Avenue (see Attachment 1 for Aerial Map). On February 08, 2023, the City Council approved a request by Escondido North, LLC for an Annexation, Tentative Subdivision Map and Grading Exemption to subdivide existing parcels for a 56-unit residential subdivision (Planning Case Nos. PL21-0269, PL21-0278, and PL22-0584) (“Project”). The Project also included a density bonus agreement to develop the Project at its approved density. The approved subdivision consists of two development components: 1) 46 single family lots intended for market rate single family homes and 2) one multi-family lot for the five duplexes (10 affordable housing units) which will be deed-restricted. The original approval for the Project is for one 56-unit development; however, the Applicant acquired only the market rate development and is actively pursuing an affordable housing developer for the duplex construction. Both components are conditioned to be visually and architecturally similar in designs, color schemes, size and materials, as well as consistent landscape components. However, only the market rate components are subject to Planning Commission design review (“proposed project”) per specific Planning Division Condition of Approval No. E.5.

Typically, lot subdivisions for five or more production homes (such as this Project) undergo staff-level design review as outlined in Article 64 (Design Review). However, due to the public interest surrounding the initial approval, the Planning Commission incorporated a Condition of Approval requiring design review by the Planning Commission.

As part of this Design Review submittal, City staff conducted an initial design review and site layout for the residential development on October 11, 2023 and a second review on February 7, 2024. City staff provided suggestions and recommendations that the Applicant incorporated in the residential development design.

SUMMARY OF REQUEST

Pursuant to Resolution No. 2023-06R, the Project’s market rate units are subject to Design Review by the Planning Commission. More specifically, Condition of Approval E.5, requires the Project undergo Planning Commission design review for lots 1 – 12, 14 – 24, and 27 - 47. The initial approval of the Project did not include architectural designs, and this process is typical of applicants who are subdividers of property but not the ultimate builders. Additionally, staff reviewed the conceptual landscape designs for both the market rate and affordable units for consistency with the community design and implementation of landscape palettes and minimum tree requirements pursuant to Article 62 (Water Efficient Landscape Regulations).

The Planning Commission’s review of the Design Review Permit is limited to those lots identified within the specific condition of approval. Planning Commission Design Review is not required for the affordable unit component.

PROJECT ANALYSIS

1) Beazer Homes:

This portion of the residential development was conditionally approved for residential construction on lots 1-12, 14-24 and 27-47. An affordable housing developer is building the affordable unit component; however, conditions of approval require Beazer Homes maintain responsibility for the entire development (including Lot 13 – affordable development) during construction and compliance with the Project mitigation measures and conditions of approval.



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STAFF REPORT

a. Project Description

The Applicant intends to construct 46 single-family units on the 46 residential lots. The lots range in size from 6,515 – 31,689 square feet. The Applicant proposes three residential floor plans for the market rate units:

- Plan 1 - 2,333 square feet for a single-story unit with three design types and three bedrooms
- Plan 2 - 2,911 square feet for a two-story unit with three design types and four bedrooms
- Plan 3 - 3,226 square feet for the largest two-story unit with three design types and four bedrooms

Beazer Homes proposes three design schemes – 1) Modern Spanish, 2) Modern Craftsman, and 3) Modern Adobe. Each one has a variety of construction material/colors, and design elements such as roofing materials, doors, fascia and garage door, stone or stucco, vertical siding and horizontal siding (see Attachment 2 for the nine color schemes, elevations and materials for each model). Several of the units include options pertaining to kitchen arrangement, bathrooms, bedrooms, and entryway porch configurations.

The Project complies with all required development standards including but not limited to: setbacks, lot coverage, lot size, and floor area ratio (see Attachment 3 for plotting plan).

Building Materials

The City encourages the use of design elements and building materials compatible with the community neighborhood characteristics for residential developments. The primary wall surface material is stucco siding with various coordinated color schemes by type of architecture. Each design proposes accompanying stone elements such as pilasters and stone facing along the front.

- City staff recommended to the Applicant the incorporation of additional materials and elements to offset the use of stucco as the primary surface material.
- City staff recommended to the Applicant the addition of stone facing, articulation, and diverse color schemes for the units to reduce redundancy and provide for varied unit design throughout the 46 units.
- City staff recommended the applicant carry over the front façade materials to other elevations for a more cohesive appearance.

Color

The color palettes reflect the Modern California theme with a blend of natural colors. The color schemes for the three styles range from brown/beige hues to lighter earth tones such as an off-white and grey.

Architectural Elements

The architectural design elements incorporate one or more window designs:

- Recessed windows
- Paned windows
- Dropped eave detail options
- Door and window lintels
- Accent and varied-shape windows
- Exterior wood trim surrounds



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STAFF REPORT

Item 2.

- Accent colors
- Board and Batt designs

Additionally, staff encourages front building facades to incorporate a minimum of four varieties of design elements:

- Varied roof planes
- Exposed drop eaves and tails
- Deeply recessed doors
- Paned doors
- Door lintels
- Covered Front Porches
- Variations in colors of accent materials

2) Affordable Housing Development (for reference only):

This portion of the residential development was conditionally approved as part of the overall Project and does not require Planning Commission Design Review for the proposed five duplexes proposed on Lot 13. Beazer Homes is actively pursuing an affordable housing developer to construct the five duplexes. Any future architectural plans will be reviewed for consistency with the proposed designs. The permit required for the affordable component is a staff-level review.

FISCAL ANALYSIS

The applicant will be responsible for payment of all applicable Development Impact Fees as adopted by the City Council.

ENVIRONMENTAL ANALYSIS

This Design Review Permit relies on a previously adopted Initial Study/Mitigated Negative Declaration (IS/MND). On February 8, 2023, a Mitigation Negative Declaration was prepared, and adopted in accordance with California Environmental Quality Act (CEQA) (SCH# 20221000635) for the Project. No further environmental analysis is required as the Design Review request would entail nominal changes to the design facades of 46 market rate units previously approved and environmentally reviewed by the previously adopted IS/MND. A Notice of Determination will be filed with the County Clerk of San Diego.

PUBLIC INPUT

Pursuant to Article 61, no public notice is required by the Escondido Zoning Code for Design Review by the Planning Commission.

CONCLUSION AND RECOMMENDATION

The proposed project is consistent with the guiding principles identified in the Land Use and Community Form Element of the Escondido General Plan. The proposed project is designed in conformance with the applicable development standards, design guidelines to the extent permitted under the Density Bonus approval.



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STAFF REPORT

Item 2.

Staff recommends that the Planning Commission conduct Design Review on the proposed project, and approve Resolution No. 2024-25, approving the Design Review Permit.

ATTACHMENTS

1. Aerial Location Map
2. Beazer Homes Architectural Designs, and Materials Board
3. Beazer Plotting Plan
4. Notice of Determination
5. Draft Planning Commission Resolution No. 2024-25 with Exhibits "A," "B," "C," and "D"



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STAFF REPORT

Attachment 1 Location Aerial Map



Attachment 2



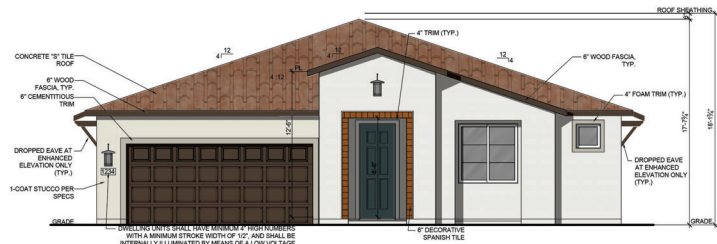
SHEET INDEX

- CONWAY SITE PLAN
- ASH SITE PLAN
- PLAN 1 (V168) FRONT ELEVATIONS
- PLAN 1 (V168) MODERN SPANISH ELEVATIONS - A
- PLAN 1 (V168) MODERN CRAFTSMAN ELEVATIONS - B
- PLAN 1 (V168) MODERN ADOBE ELEVATIONS - C
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- PLAN 2 (V169) FRONT ELEVATIONS
- PLAN 2 (V169) MODERN SPANISH ELEVATIONS - A
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- PLAN 2 (V169) FIRST FLOOR PLAN
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- COLOR BOARDS - SCHEMES 5-6
- COLOR BOARDS - SCHEMES 7-8
- COLOR BOARDS - SCHEMES 9
- COLOR SCHEDULE

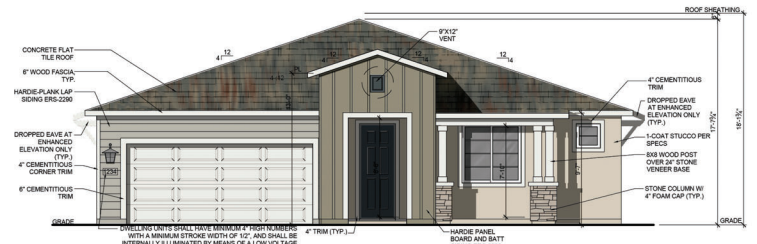
CAPISTRANO



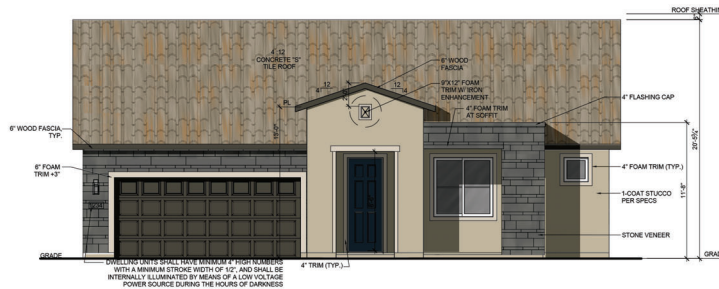
CAPISTRANO - ESCONDIDO, CA



FRONT ELEVATION - SCL - A SCHEME 1



FRONT ELEVATION - ACL - B SCHEME 4
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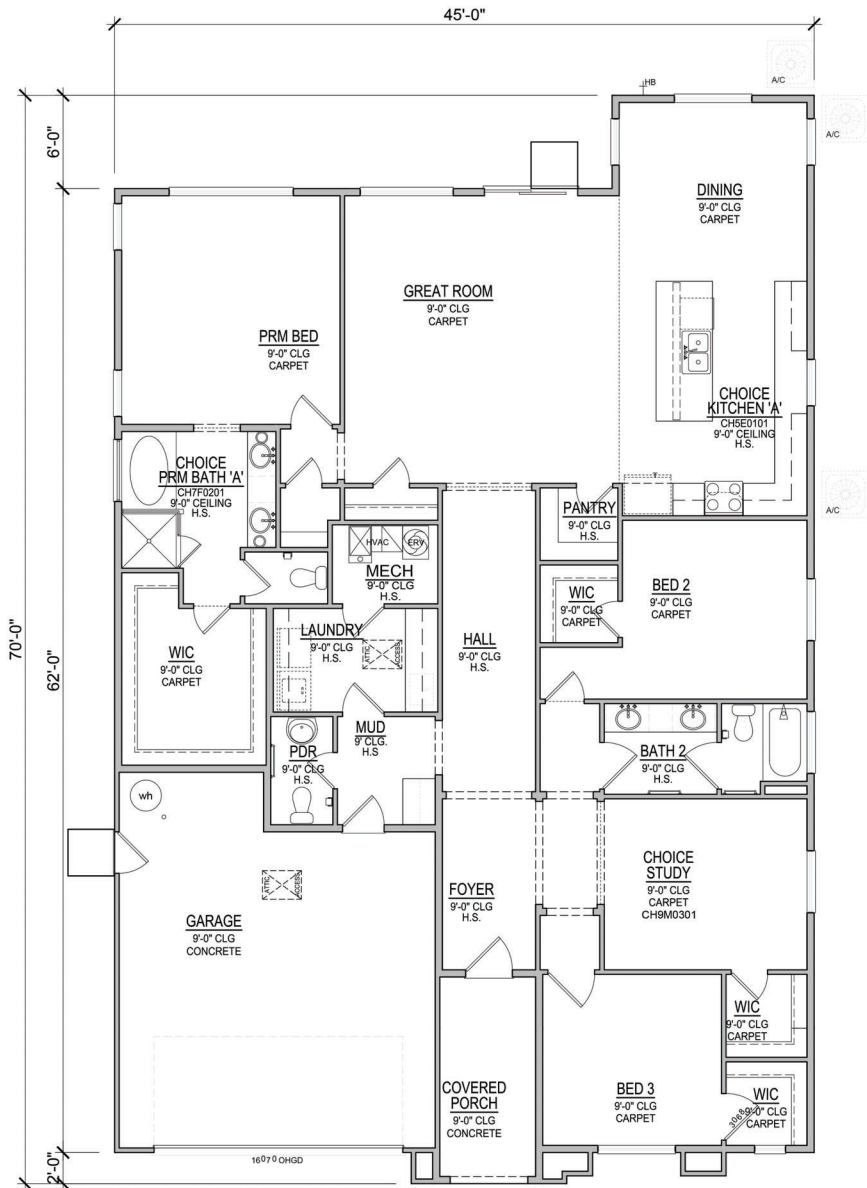


FRONT ELEVATION - ADL - C SCHEME 7
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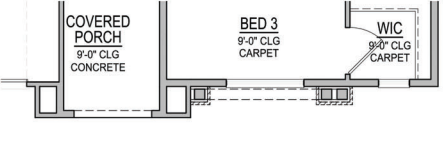
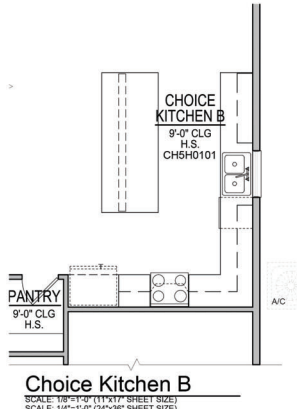
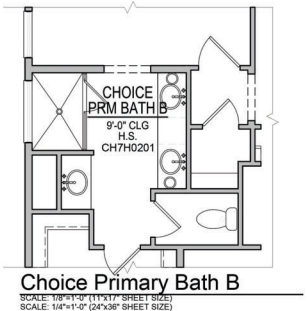


PLAN 1 | 2333 SF

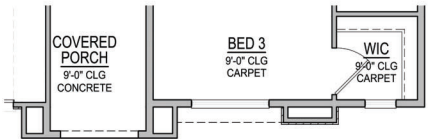
CAPISTRANO - ESCONDIDO, CA



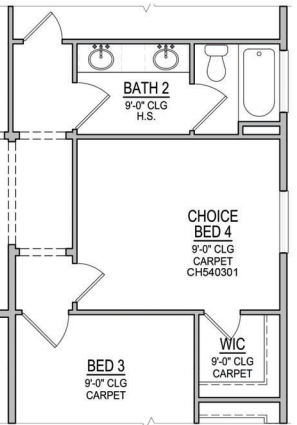
PLAN 1 FIRST FLOOR | 2333 SF



FIRST FLOOR PLAN - ACL - B



FIRST FLOOR PLAN - ADL - C

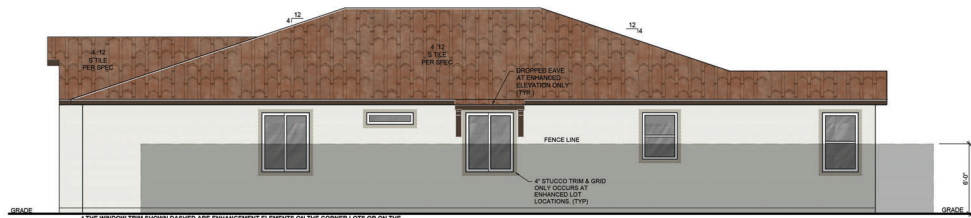


Choice Bed 4

| Area | Square Footages | | |
|------------------|-----------------|----------|----------|
| | Elev SCL | Elev ACL | Elev ADL |
| First Floor | 2333 SF | 2333 SF | 2333 SF |
| Total Living | 2333 SF | 2333 SF | 2333 SF |
| Garage | 465 SF | 465 SF | 465 SF |
| Porch | 84 SF | 84 SF | 84 SF |
| Total Under Roof | 2882 SF | 2882 SF | 2882 SF |

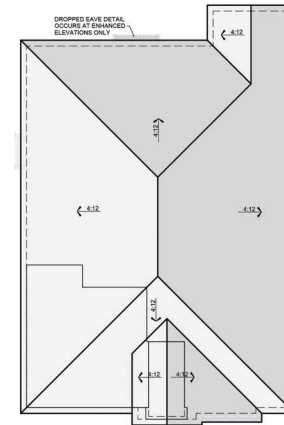


CAPISTRANO - ESCONDIDO, CA

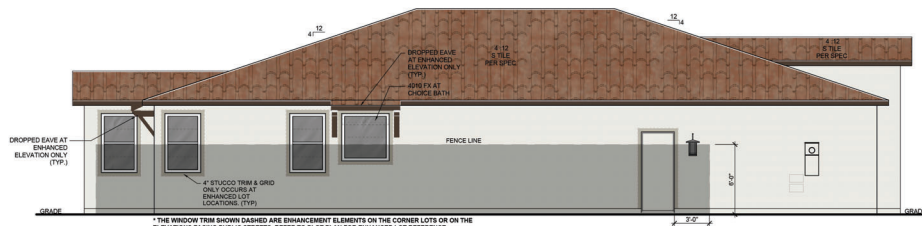


RIGHT ELEVATION - SCL - A

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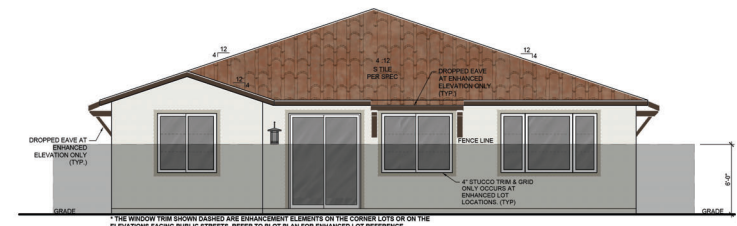


ROOF PLAN - SCL - A



LEFT ELEVATION - SCL - A

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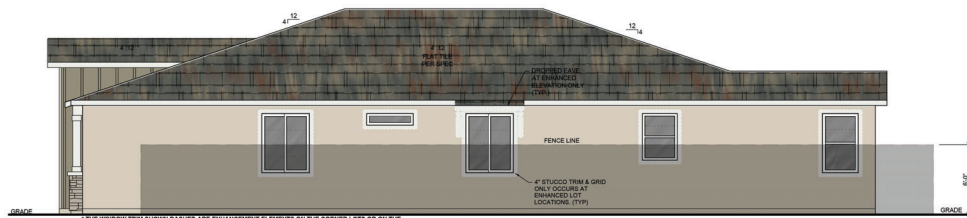
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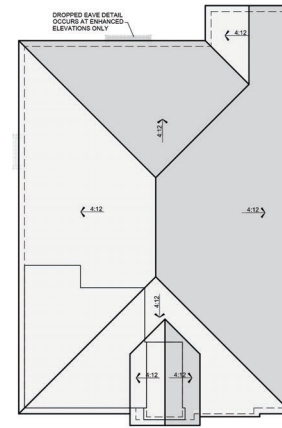


PLAN 1 MODERN SPANISH | 2333 SF - SCHEME 1

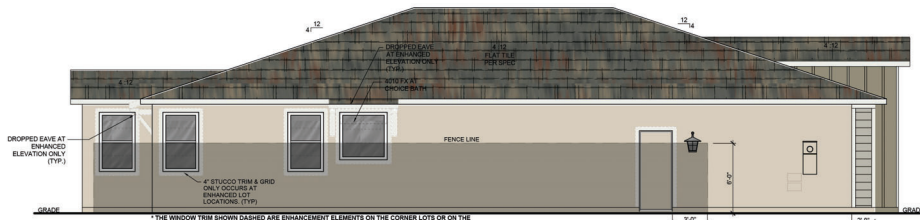
CAPISTRANO - ESCONDIDO, CA



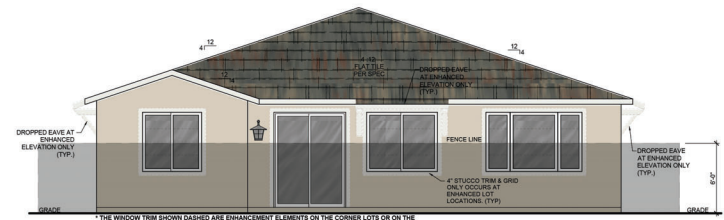
THE WINDOW TRIM SHOWN DASHED ARE ENHANCEMENT ELEMENTS ON THE CORNER LOTS OR ON THE ELEVATIONS FACING PUBLIC STREETS. REFER TO PLOT PLAN FOR ENHANCED LOT REFERENCE.
RIGHT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



ROOF PLAN - ACL - B



THE WINDOW TRIM SHOWN DASHED ARE ENHANCEMENT ELEMENTS ON THE CORNER LOTS OR ON THE ELEVATIONS FACING PUBLIC STREETS. REFER TO PLOT PLAN FOR ENHANCED LOT REFERENCE.
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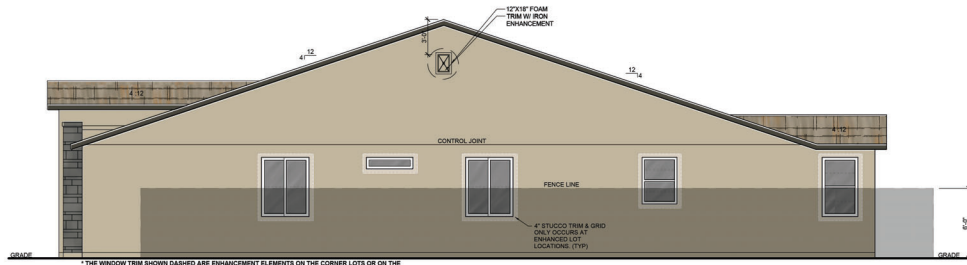


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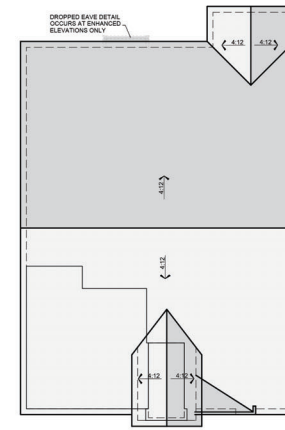


PLAN 1 MODERN CRAFTSMAN | 2333 SF - SCHEME 4

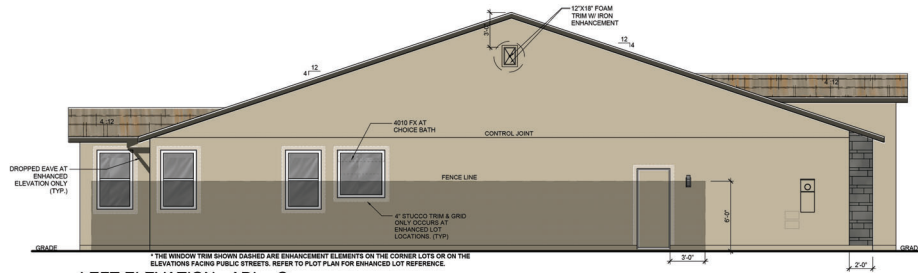
CAPISTRANO - ESCONDIDO, CA



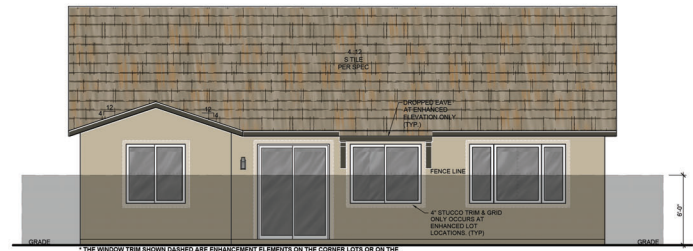
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ROOF PLAN - ADL - C



LEFT ELEVATION - ADL - C
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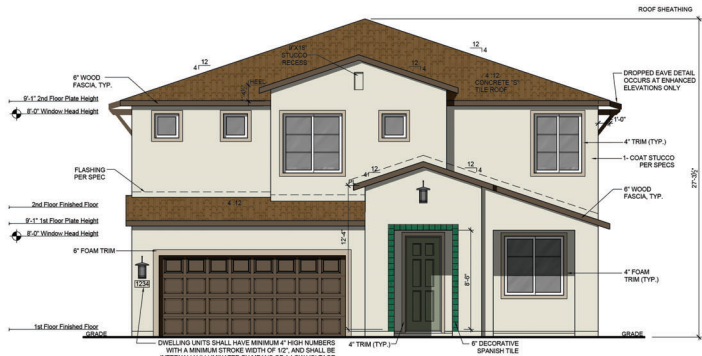


REAR ELEVATION - ADL - C
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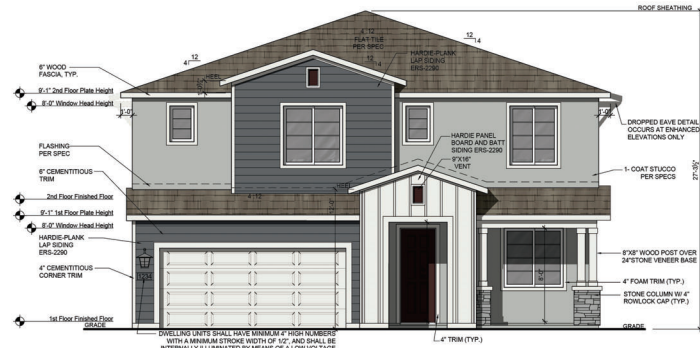


PLAN 1 MODERN ADOBE | 2333 SF - SCHEME 7

CAPISTRANO - ESCONDIDO, CA



FRONT ELEVATION - SCL - A SCHEME 2
 SCALE: 1/8"=1'-0" (1/4"X3/8" SHEET SIZE)
 SCALE: 1/8"=1'-0" (24"X36" SHEET SIZE)



FRONT ELEVATION - ACL - B SCHEME 5
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 SCALE: 1/8"=1'-0" (24"X36" SHEET SIZE)

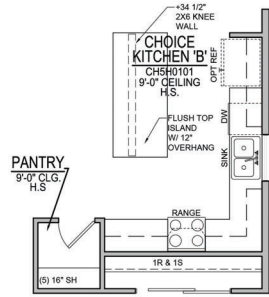


FRONT ELEVATION - ADL - C SCHEME 8
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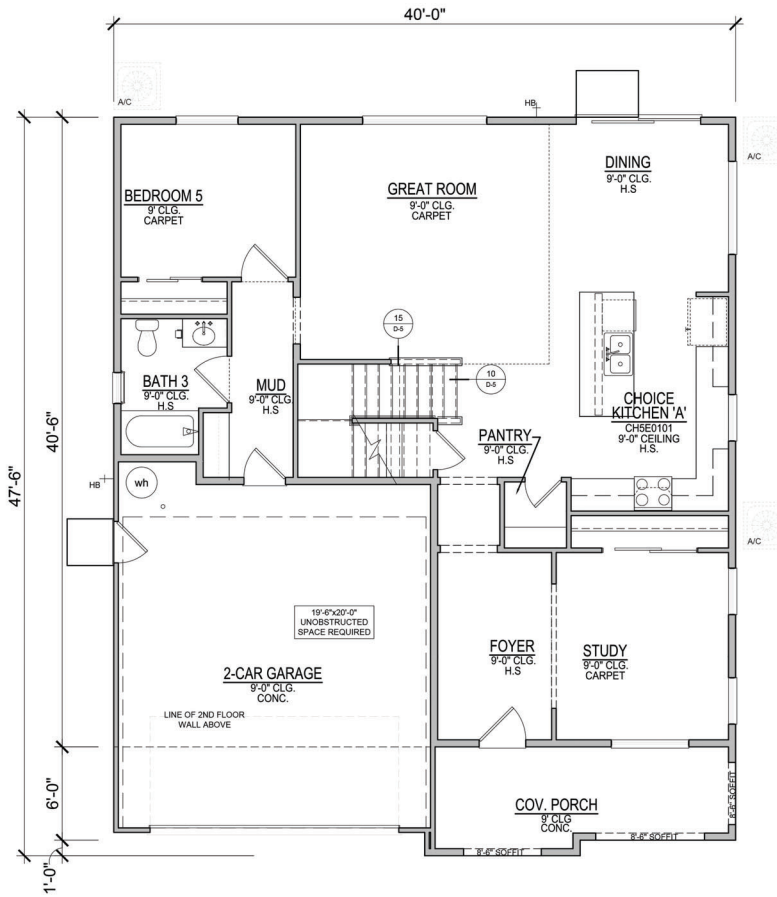


PLAN 2

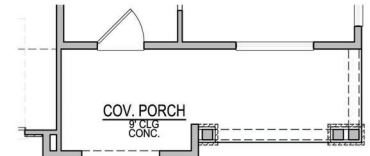
CAPISTRANO - ESCONDIDO, CA



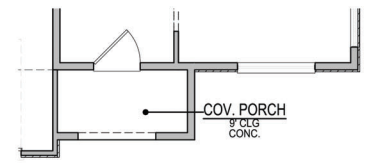
CHOICE KITCHEN B
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



FIRST FLOOR PLAN - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



FIRST FLOOR PLAN - ACL - B
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



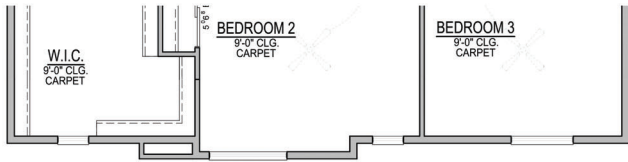
FIRST FLOOR PLAN - ADL - C
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



CAPISTRANO - ESCONDIDO, CA

PLAN 2 FIRST FLOOR

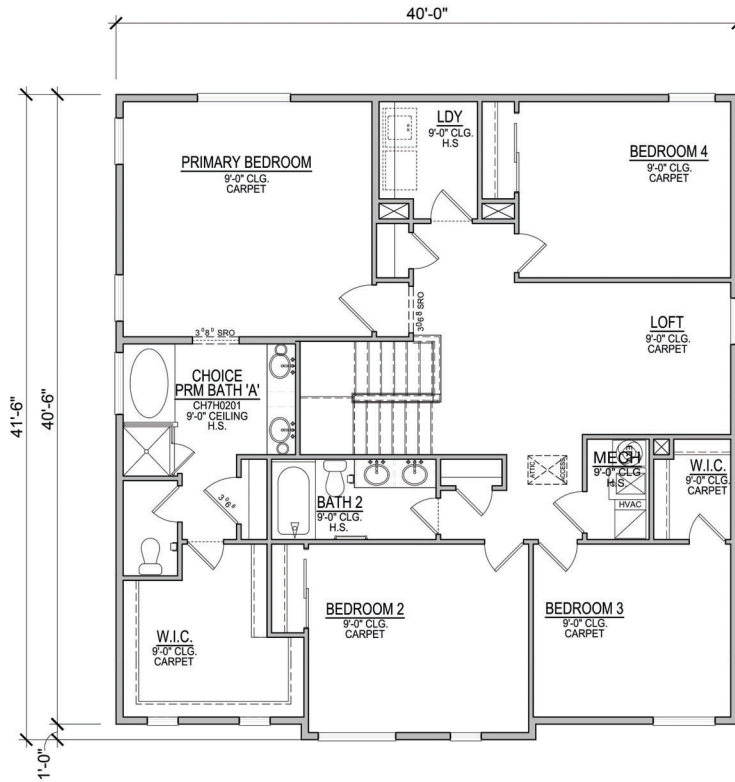
| Area | Square Footages | | |
|------------------|-----------------|----------|----------|
| | Elev SCL | Elev ACL | Elev ADL |
| First Floor | 1269 SF | 1269 SF | 1269 SF |
| Second Floor | 1575 SF | 1573 SF | 1575 SF |
| Total Living | 2844 SF | 2842 SF | 2844 SF |
| Garage | 465 SF | 465 SF | 465 SF |
| Porch | 126 SF | 127 SF | 40 SF |
| Total Under Roof | 3435 SF | 3434 SF | 3349 SF |



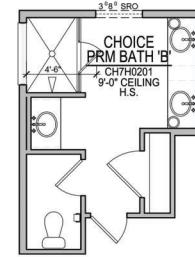
SECOND FLOOR PLAN - ACL - B
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



SECOND FLOOR PLAN - ADL - C
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



SECOND FLOOR PLAN - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

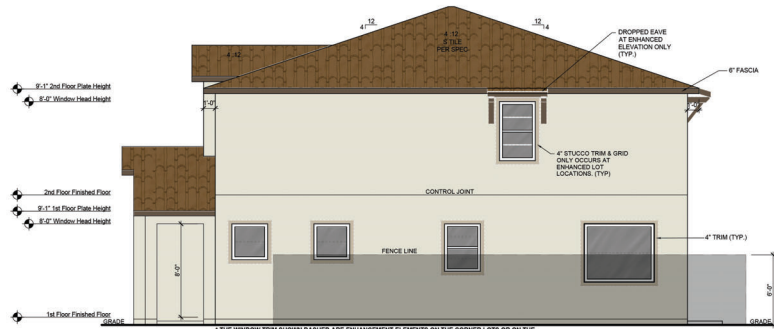


CHOICE PRM. BATH B
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

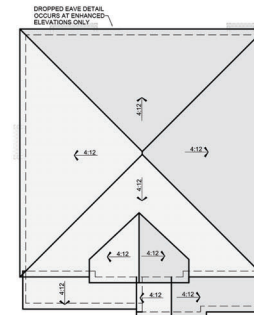


CAPISTRANO - ESCONDIDO, CA

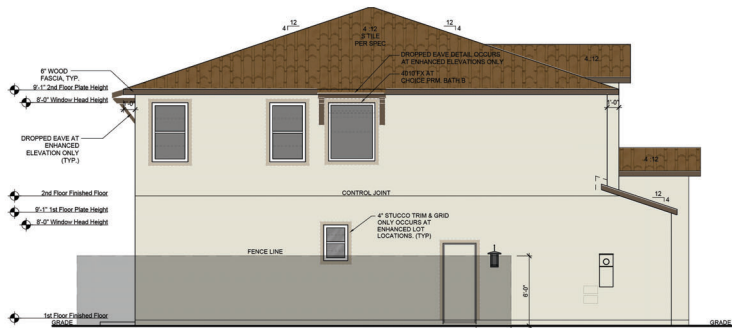
PLAN 2 SECOND FLOOR



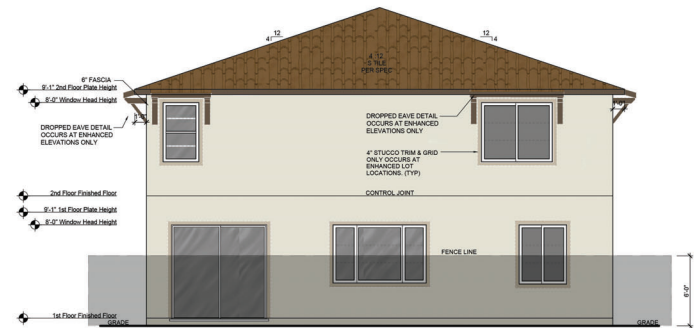
RIGHT ELEVATION - SCL - A
SOURCE: 11/17/23 (11/17/23 SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)



ROOF PLAN - SCL - A
SOURCE: 11/17/23 (11/17/23 SHEET SIZE)
 SCALE: 1/8"=1'-0" (24"X36" SHEET SIZE)



LEFT ELEVATION - SCL - A
SOURCE: 11/17/23 (11/17/23 SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)

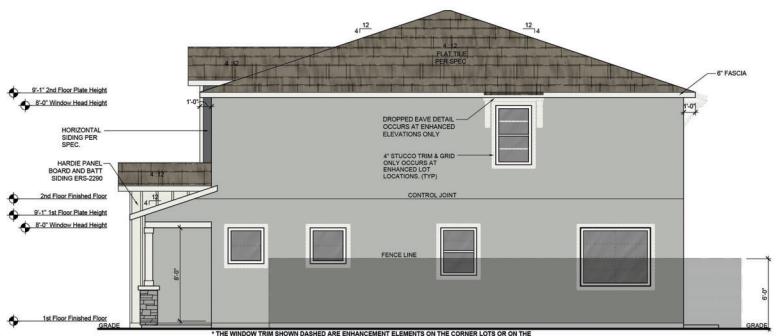


REAR ELEVATION - SCL - A
SOURCE: 11/17/23 (11/17/23 SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)

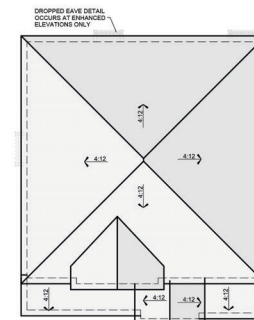


PLAN 2 MODERN SPANISH | 2844 SF - SCHEME 2

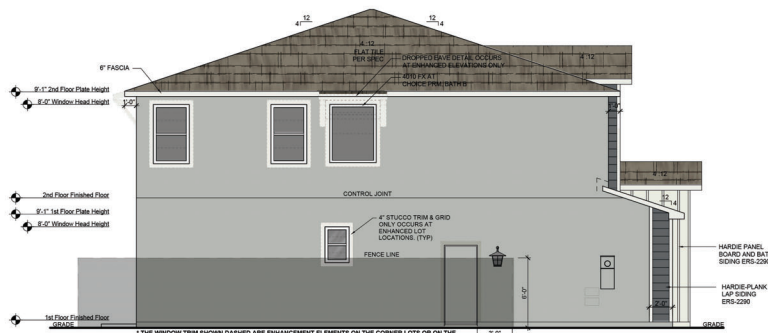
CAPISTRANO - ESCONDIDO, CA



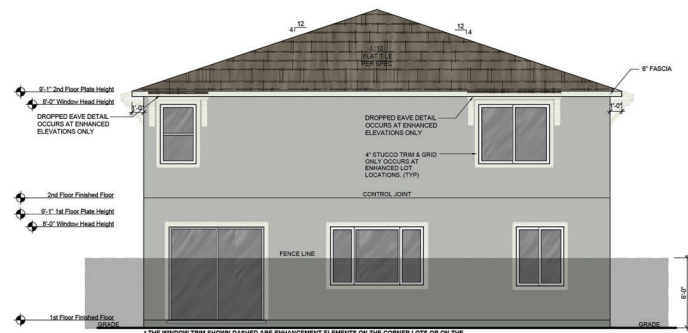
RIGHT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (3/8"=1'-0" SHEET SIZE)



ROOF PLAN - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (3/8"=1'-0" SHEET SIZE)



LEFT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (3/8"=1'-0" SHEET SIZE)

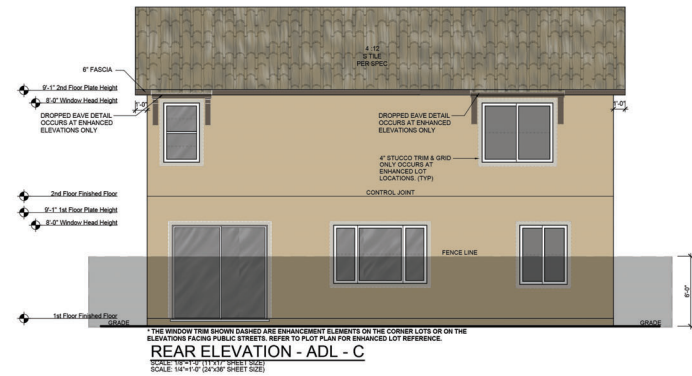
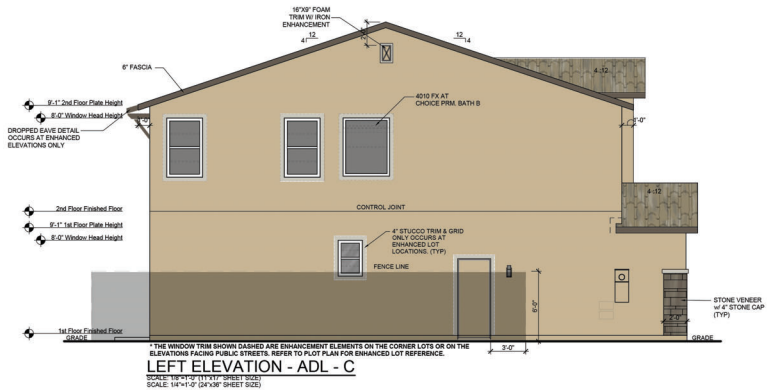
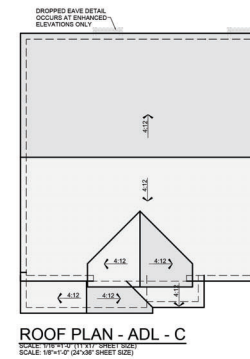
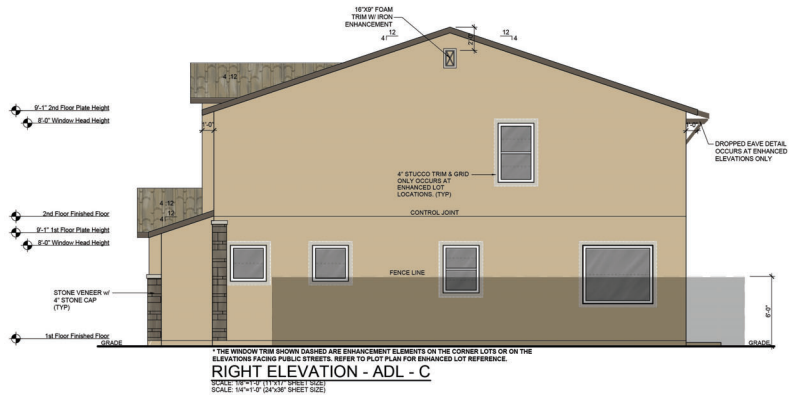


REAR ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (3/8"=1'-0" SHEET SIZE)



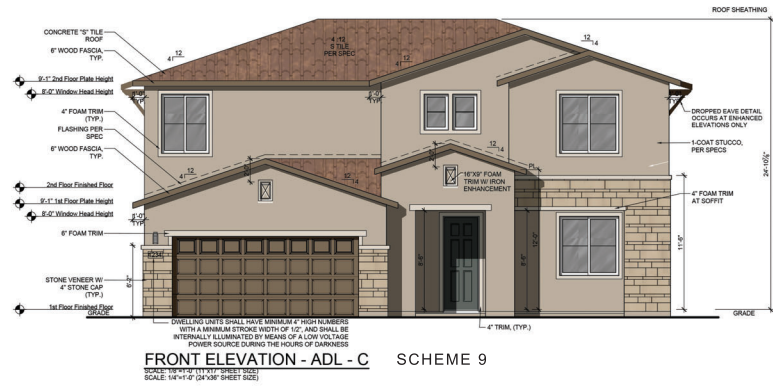
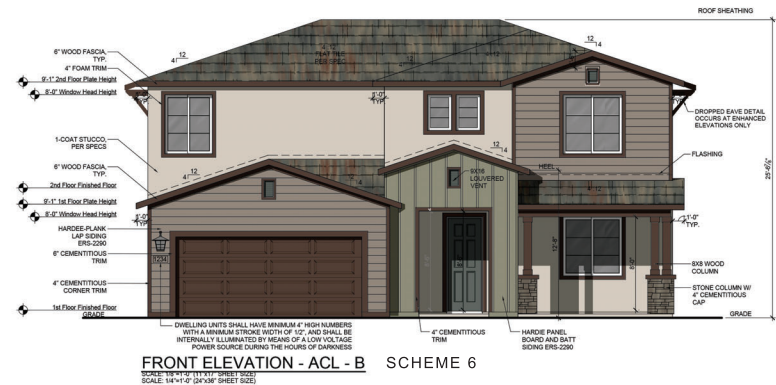
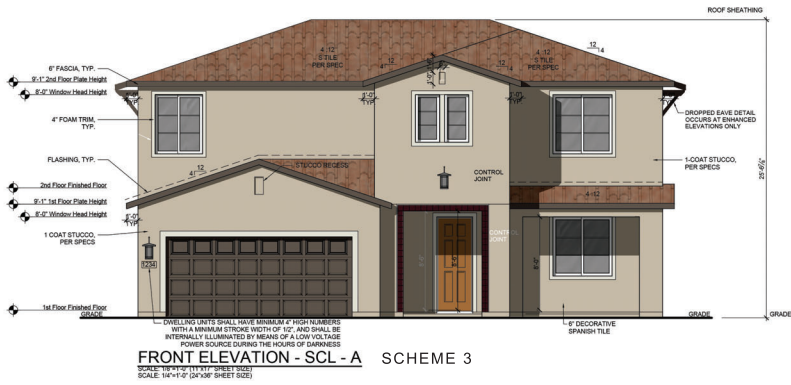
PLAN 2 MODERN CRAFTSMAN | 2842 SF - SCHEME 5

CAPISTRANO - ESCONDIDO, CA



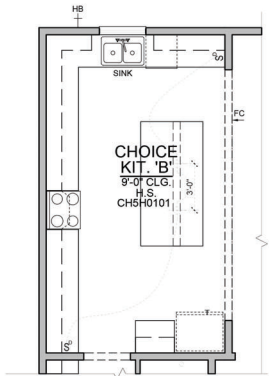
PLAN 2 MODERN ADOBE | 2844 SF - SCHEME 8

CAPISTRANO - ESCONDIDO, CA

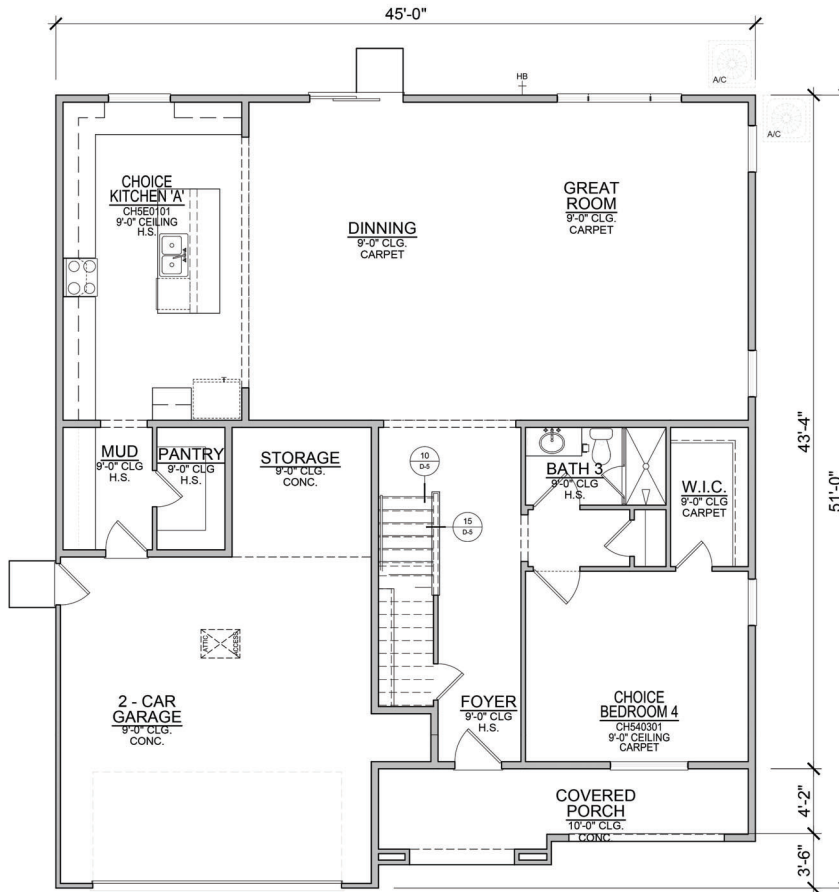


PLAN 3

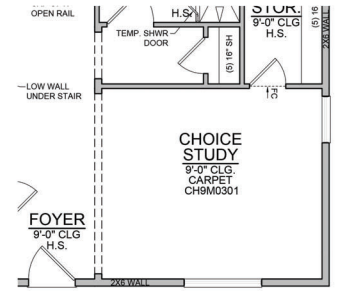
CAPISTRANO - ESCONDIDO, CA



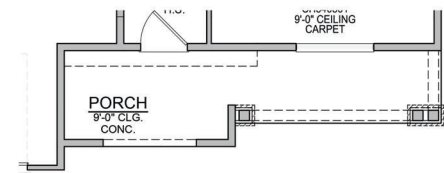
CHOICE KITCHEN 'B'
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



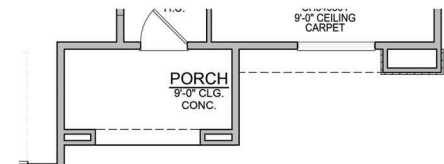
FIRST FLOOR PLAN - SCL - A
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



CHOICE STUDY
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



FIRST FLOOR PLAN - ACL - B
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



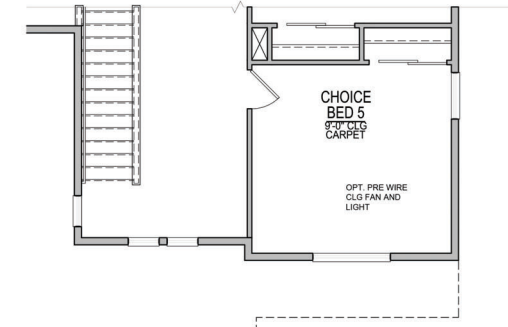
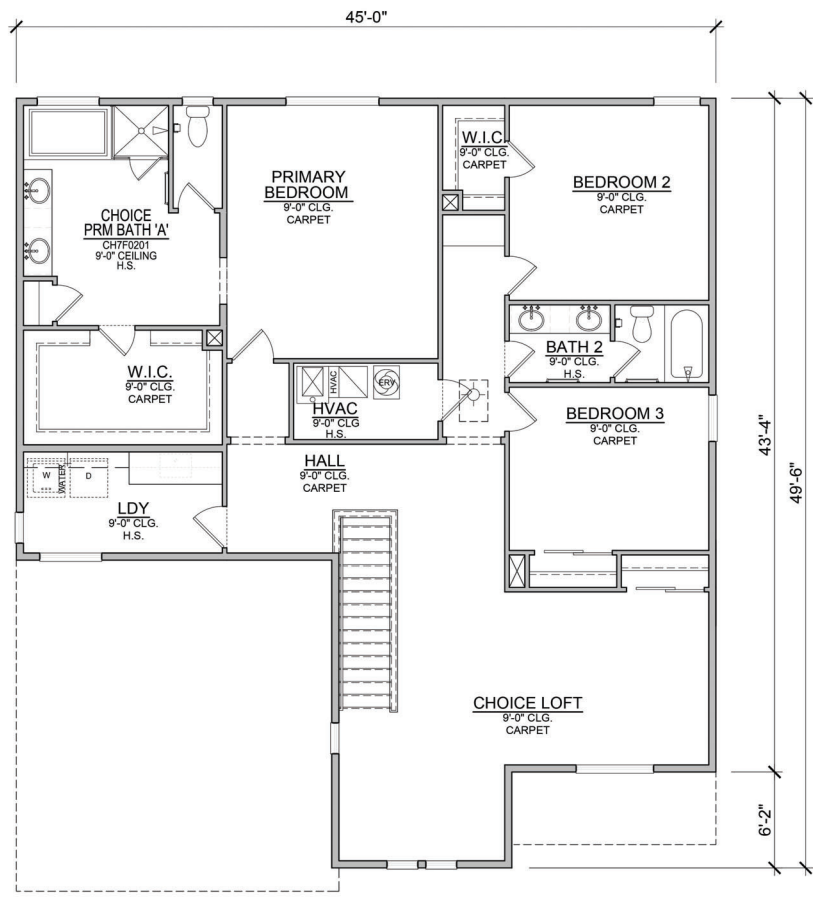
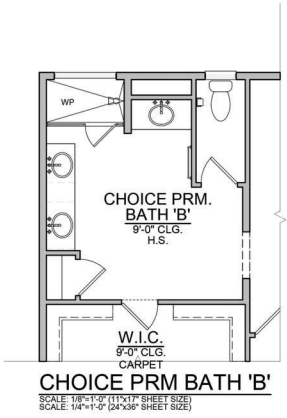
FIRST FLOOR PLAN - ADL - C
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

| Square Footages | | | |
|------------------|----------|----------|----------|
| Area | Elev SCL | Elev ACL | Elev ADL |
| First Floor | 1585 SF | 1585 SF | 1585 SF |
| Second Floor | 1703 SF | 1646 SF | 1646 SF |
| Total Living | 3288 SF | 3231 SF | 3231 SF |
| Garage | 524 SF | 524 SF | 524 SF |
| Porch | 130 SF | 130 SF | 69 SF |
| Total Under Roof | 3942 SF | 3885 SF | 3824 SF |

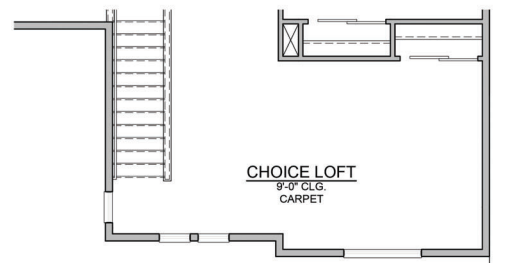


PLAN 3 FIRST FLOOR

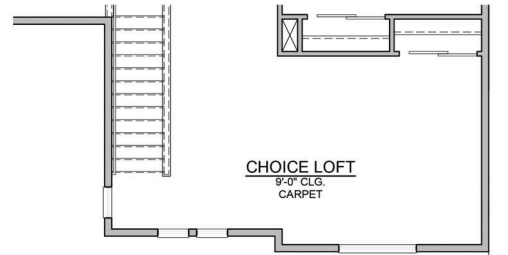
CAPISTRANO - ESCONDIDO, CA



ACL - B CHOICE BEDROOM 5
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24x36" SHEET SIZE)



SECOND FLOOR PLAN - ACL - B
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

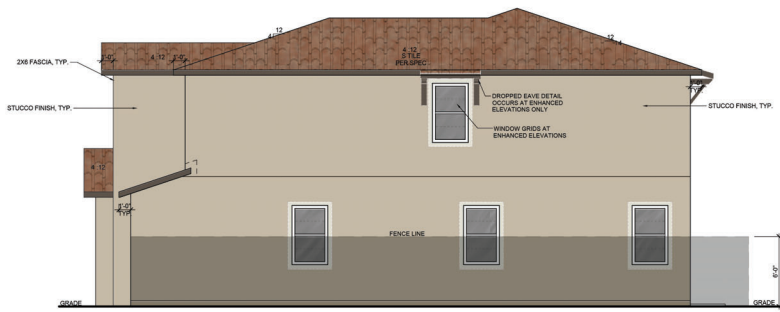


SECOND FLOOR PLAN - ADL - C
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

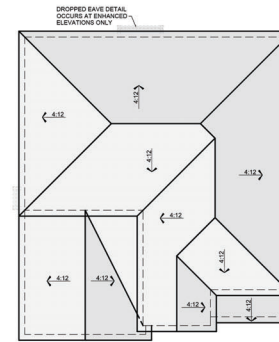


PLAN 3 SECOND FLOOR

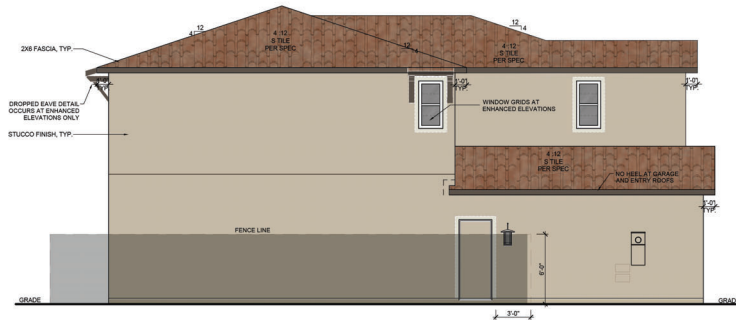
CAPISTRANO - ESCONDIDO, CA



RIGHT ELEVATION - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



ROOF PLAN - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



LEFT ELEVATION - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

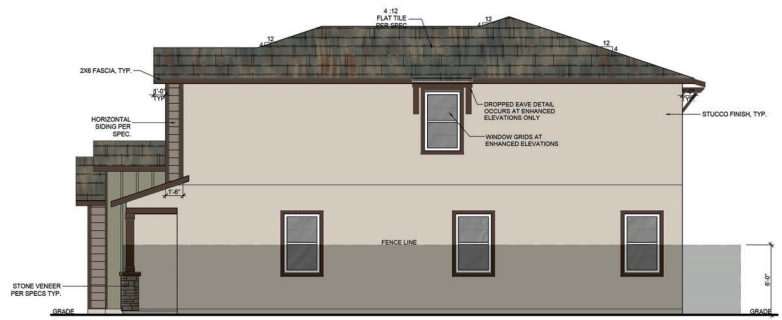


REAR ELEVATION - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

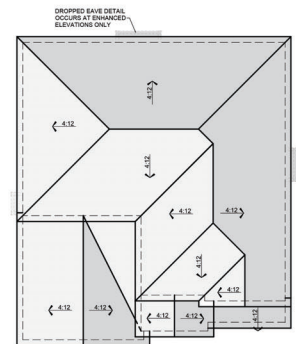


PLAN 3 MODERN SPANISH | 3288 SF - SCHEME 3

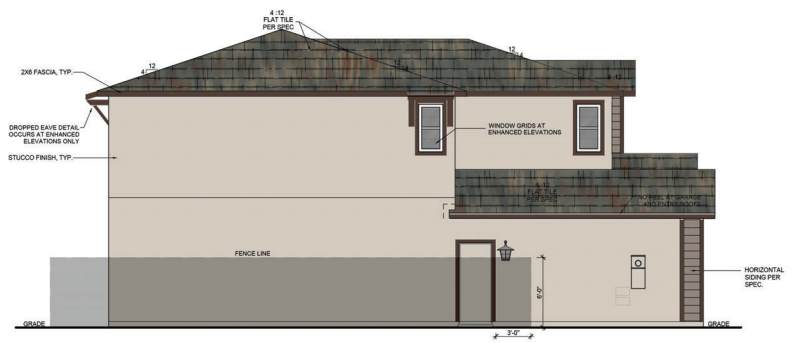
CAPISTRANO - ESCONDIDO, CA



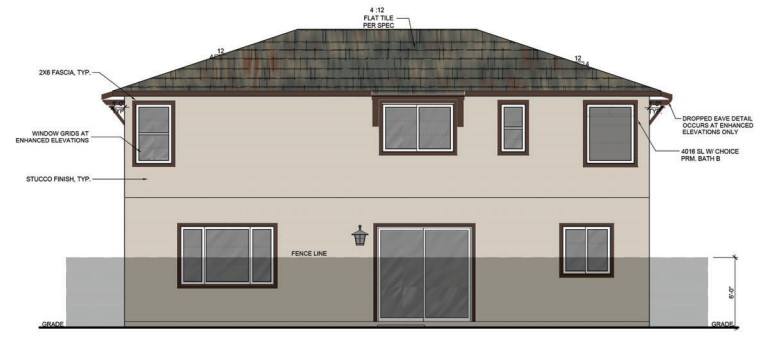
RIGHT ELEVATION - ACL - B
SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)



ROOF PLAN - ACL - B
SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)



LEFT ELEVATION - ACL - B
SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)

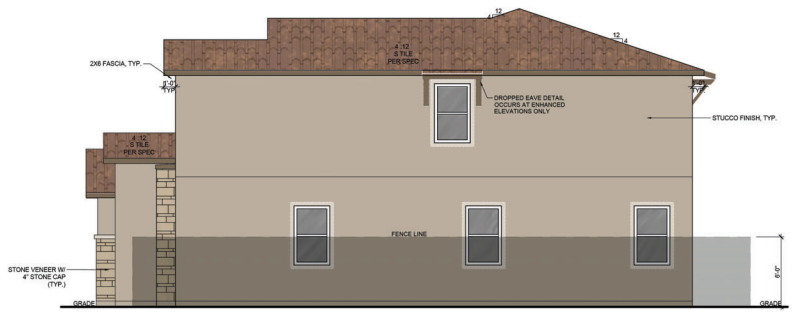


REAR ELEVATION - ACL - B
SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)

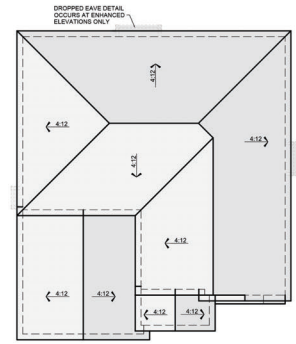


PLAN 3 MODERN CRAFTSMAN | 3231 SF - SCHEME 6

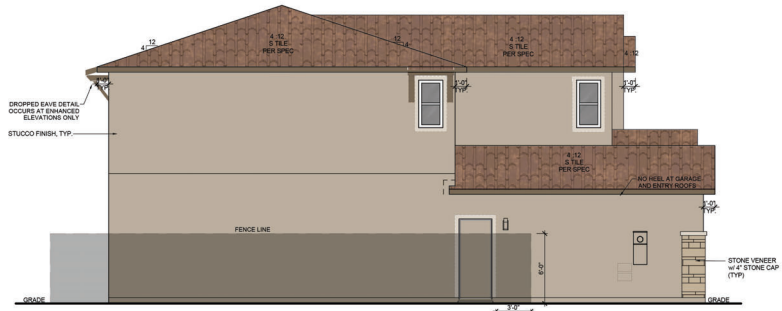
CAPISTRANO - ESCONDIDO, CA



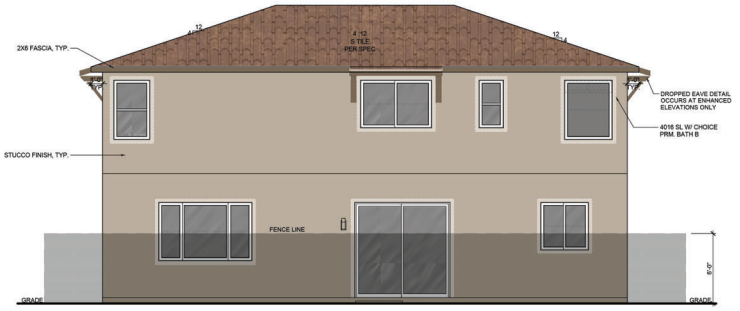
RIGHT ELEVATION - ADL - C
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



ROOF PLAN - ADL - C
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



LEFT ELEVATION - ADL - C
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



REAR ELEVATION - ADL - C
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



PLAN 3 MODERN ADOBE | 3231 SF - SCHEME 9

CAPISTRANO - ESCONDIDO, CA

COLOR SCHEME 1 ~ Modern Spanish



ROOF ~ CAPISTRANO ~ SCC 8806 TUSCON BLEND

COLOR SCHEME 2 ~ Modern Spanish



ROOF ~ CAPISTRANO ~ 3804 ROCKLIN BLEND

FASCIA & GARAGE
6076 TURKISH COFFEE

ENTRY DOOR
9135 WHIRLPOOL

STUCCO & STUCCO RECESSES
7004 SNOWBOUND

STUCCO TRIM
7030 ANEW GRAY

DECORATIVE TILE
TOBACCO 10814

FASCIA & GARAGE
7515 HOMESTEAD BROWN

ENTRY DOOR
9129 JADE DRAGON

STUCCO & STUCCO RECESSES
7042 SHOJI WHITE

STUCCO TRIM
9173 SHITAKE

DECORATIVE TILE
VERDE HOJA 10811

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Escondido, CA
Beazer Homes
01/18/24

Conway & Ash
Escondido, CA
Beazer Homes
01/18/24



COLOR SCHEME 3 ~ Modern Spanish



ROOF ~ CAPISTRANO ~ 3645 SUNRISE BLEND

COLOR SCHEME 4 ~ Modern Craftsman



ROOF ~ PONDEROSA ~ 5634 KINGS CANYON BLEND

FASCIA & GARAGE
7505 MANOR HOUSE

ENTRY DOOR
6363 GINGERY

STUCCO & STUCCO RECESSES
9173 SHITAKE

STUCCO TRIM
7009 PEARLY WHITE

DECORATIVE TILE
VINO 10807

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FASCIA & GARAGE
ALL TRIM & COLUMNS
7005 PURE WHITE

ENTRY DOOR
6236 GRAYS HARBOR

STUCCO & STUCCO RECESSES
7541 GRECIAN IVORY

VERTICAL SIDING
2845 BUNGLEHOUSE GRAY

HORIZONTAL SIDING
7016 MINDFUL GRAY

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STONE: LEDGECUT33 ~ BIRCH



CAPISTRANO - ESCONDIDO, CA

COLOR SCHEME 5 ~ Modern Craftsman



ROOF ~ PONDEROSA ~ 5595 DARK CHARCOAL

COLOR SCHEME 6 ~ Modern Craftsman



ROOF ~ PONDEROSA ~ 5634 KINGS CANYON BLEND

FASCIA & GARAGE
ALL TRIM & COLUMNS
7005 PURE WHITE

ENTRY DOOR
2801 RW DARK RED

VERTICAL SIDING
7005 PURE WHITE

HORIZONTAL SIDING
7075 WEB GRAY

STUCCO & STUCCO RECESSES
2850 CHELSEA GRAY



STONE: LEDGECUT33 ~ BEACH PEBBLE

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FASCIA & GARAGE
ALL TRIM & COLUMNS
7510 CHATEAU BROWN

ENTRY DOOR
6167 GARDEN GATE

VERTICAL SIDING
6165 CONNECTED GRAY

HORIZONTAL SIDING
6074 SPALDING GRAY

STUCCO & STUCCO RECESSES
7632 MODERN GRAY



STONE: LEDGECUT33 ~ SAGE

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CAPISTRANO - ESCONDIDO, CA

COLOR SCHEME 7 ~ Modern Adobe



ROOF ~ CAPISTRANO ~ 3634 KINGS CANYON BLEND

COLOR SCHEME 8 ~ Modern Adobe



ROOF ~ CAPISTRANO ~ 3602 CONCORD BLEND

FASCIA & GARAGE
7020 BLACK FOX

ENTRY DOOR
6229 TEMPE STAR

STUCCO TRIM
7567 NATURAL TAN

STUCCO & STUCCO RECESSES
6150 UNIVERSAL KHAKI

STONE: VANTAGE30 ~ SOUTHERN PEAK

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FASCIA & GARAGE
7026 GRIFFIN

ENTRY DOOR
7020 BLACK FOX

STUCCO TRIM
7043 WORLDLY GRAY

STUCCO & STUCCO RECESSES
6143 BASKET BEIGE

STONE: VANTAGE30 ~ STORM CLOUD

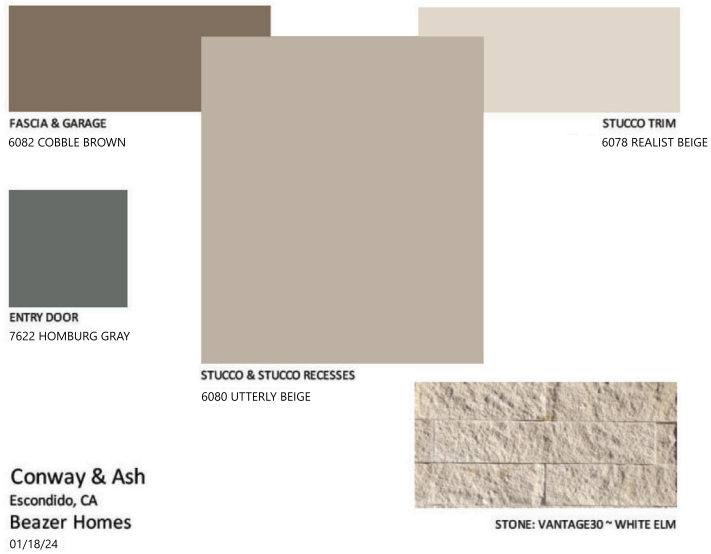
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Escondido, CA
Beazer Homes
01/18/24



COLOR SCHEME 9 ~ Modern Adobe



ROOF ~ CAPISTRANO ~ 3743 COCOA RANGE



FASCIA & GARAGE
6082 COBBLE BROWN

STUCCO TRIM
6078 REALIST BEIGE

ENTRY DOOR
7622 HOMBURG GRAY

STUCCO & STUCCO RECESSES
6080 UTTERLY BEIGE

STONE: VANTAGE30 ~ WHITE ELM

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01/18/24

Conwway & Ash
Escondido, CA

Color Schemes for Modern Spanish

| | 1 | 2 | 3 |
|--------------------------------|--------------------------|-------------------------|-----------------------|
| ROOF CAPISTRANO | SCC 8806 TUCSON BLEND | 3804 ROCKLIN BLEND | 3645 SUNRISE BLEND |
| STUCCO & STUCCO RECESSES | 7004 SNOWBOUND | 7042 SHOJI WHITE | 9173 SHITAKE |
| STUCCO TRIM | 7030 ANEW GRAY | 9173 SHITAKE | 7009 PEARLY WHITE |
| FASCIA & GARAGE | 6076 TURKISH COFFEE | 7515 HOMESTEAD BROWN | 7505 MANOR HOUSE |
| ENTRY DOOR | 9135 WHIRLPOOL | 9129 JADE DRAGON | 6363 GINGERY |
| DECORATIVE TILE 6" X 6" | TOBACCO 10814 | VERDE HOJA 10811 | VINO 10807 |
| GUTTER | ROYAL BROWN | RUSTIC BROWN | RUSTIC BROWN |
| DOWNSPOUT | H.G. WHITE | SATIN | CHAMPAGNE |
| WINDOW FRAME | TAN | TAN | TAN |

MANUFACTURERS

ROOF: EAGLE ROOFING
 PAINT: SHERWIN WILLIAMS
 STONE: ELDORADO STONE
 GUTTERS & DOWNSPOUTS: RGS
 DECORATIVE TILE: TIERRAYFUEGO-TALAVERA SOLID

1/23/24 ADDED GUTTER/DOWNSPOUT AND WINDOW FRAME COLOR
 1/17/24 UPDATE
 12/6/23 UPDATE
 10/30/23



CAPISTRANO - ESCONDIDO, CA

Conwway & Ash
Escondido, CA

Color Schemes for Modern Craftsman

| | 4 | 5 | 6 |
|---|----------------------------|-----------------------|----------------------------|
| ROOF PONDEROSA | 5634 KINGS CANYON BLEND | 5595 DARK CHARCOAL | 5634 KINGS CANYON BLEND |
| STUCCO & STUCCO RECESSES | 7541 GRECIAN IVORY | 2850 CHELSEA GRAY | 7632 MODERN GRAY |
| VERTICAL SIDING | 2845 BUNGLEHOUSE GRAY | 7005 PURE WHITE | 6165 CONNECTED GRAY |
| HORIZONTAL SIDING | 7016 MINDFUL GRAY | 7075 WEB GRAY | 6074 SPALDING GRAY |
| FASCIA, ALL TRIM COLUMNS & GARAGE | 7005 PURE WHITE | 7005 PURE WHITE | 7510 CHATEAU BROWN |
| ENTRY DOOR | 6236 GRAYS HARBOR | 2801 RW DARK RED | 6167 GARDEN GATE |
| STONE: LEDGECUT33 | BIRCH | BEACH PEBBLE | SAGE |
| GUTTER | H.G. WHITE | LOW GLOSS WHITE | RUSTIC BROWN |
| DOWNSPOUT | LIGHT PECAN | LOW GLOSS WHITE | CHAMPAGNE |
| WINDOW FRAME | WHITE | WHITE | WHITE |

MANUFACTURERS

ROOF: EAGLE ROOFING
 PAINT: SHERWIN WILLIAMS
 STONE: ELDORADO STONE
 GUTTERS & DOWNSPOUTS: RGS

1/23/24 ADDED GUTTER/DOWNSPOUT AND WINDOW FRAME COLOR
 1/17/24 UPDATE
 12/19/2023 UPDATE

Conwway & Ash
Escondido, CA

Color Schemes for Modern Adobe

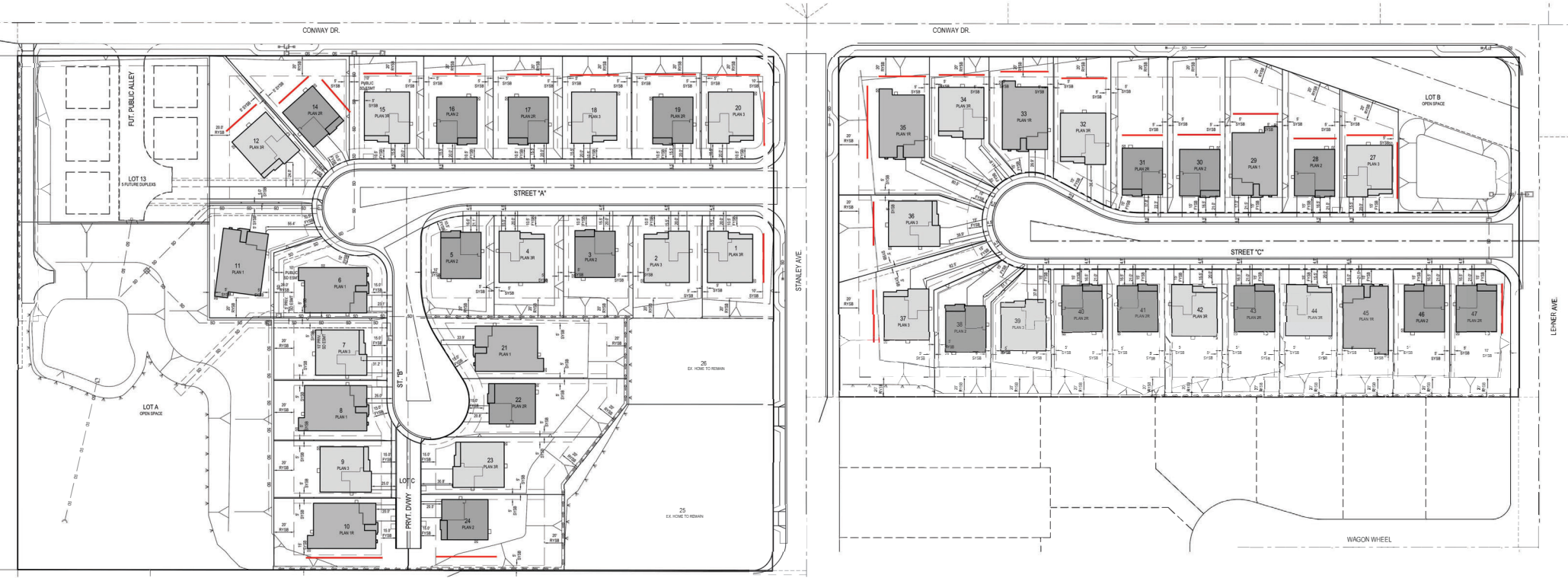
| | 7 | 8 | 9 |
|--------------------------------|----------------------------|-----------------------|-----------------------|
| ROOF CAPISTRANO | 3634 KINGS CANYON BLEND | 3602 CONCORD BLEND | 3743 COCOA RANGE |
| STUCCO & STUCCO RECESSES | 6150 UNIVERSAL KHAKI | 6143 BASKET BEIGE | 6080 UTTERLY BEIGE |
| STUCCO TRIM | 7567 NATURAL TAN | 7043 WORLDLY GRAY | 6078 REALIST BEIGE |
| FASCIA & GARAGE | 7020 BLACK FOX | 7026 GRIFFIN | 6082 COBBLE BROWN |
| ENTRY DOOR | 6229 TEMPE STAR | 7020 BLACK FOX | 7622 HOMBURG GRAY |
| STONE: VANTAGE 30 | SOUTHERN PEAK | STORM CLOUD | WHITE ELM |
| GUTTER | MUSKET | RUSTIC BROWN | RUSTIC BROWN |
| DOWNSPOUT | LIGHT PECAN | ADOBE TAN | WOOD BEIGE |
| WINDOW FRAME | TAN | TAN | TAN |

MANUFACTURERS

ROOF: EAGLE ROOFING
 PAINT: SHERWIN WILLIAMS
 STONE: ELDORADO STONE
 GUTTERS & DOWNSPOUTS: RGS

1/23/24 ADDED GUTTER/DOWNSPOUT AND WINDOW FRAME COLOR
 1/17/24 UPDATE
 12/12/2023 ROOF UPDATE
 12/6/23 UPDATE
 10/30/23

Attachment 3



NOTES
 FOR REFERENCE ONLY, SEE SITE PLANS
 SEE SITE PLANS BY CIVIL ENGINEER- AND LANDSCAPE ARCHITECT FOR ADDITIONAL INFORMATION.
 ALL PROPERTY LINES, BASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN BY CIVIL ENGINEER.

— ENHANCED ELEVATION



CONWAY SITE PLAN

CAPISTRANO - ESCONDIDO, CA



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
760-839-4671

NOTICE OF DETERMINATION

DATE: July 09, 2024

TO: Office of Planning Research State Clearinghouse P.O. Box 3044 Sacramento, CA 95812-3044
FROM: City of Escondido 201 North Broadway Escondido, CA 92025 (Lead Agency)
San Diego County Recorder's Office Attn: Fish and Wildlife Notices 1600 Pacific Highway, Room 260 San Diego, CA 92101 MS: A-33

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the Public Resources Code.

"Design Review Permit for Conway Subdivision" - PL23-0440
Project Title/Case No.

20221000635 City of Escondido
State Clearinghouse Number (if submitted to State Clearinghouse) Lead Agency

Suzy Charnley (Beazer Homes) 310 Commerce, Suite 150, Irvine, CA 92602 760-419-5433
Project Applicant, Address and Phone Number

Ivan Flores, Senior Planner 760-839-4529 iflores@escondido.org
Contact Person Telephone Number Email

Project Location (Include County): The Proposed Project is located on the west side of Conway Drive on both sides of Stanley Avenue, addressed as 916, 942, and 943 Stanley Avenue; and 2005 - 2175 Conway Drive (Assessor's Parcel Number(s): 224-141-23-00, 224-141-24-00; 224-141-25-00, 224-142-30-00, 224-142-31-00, 224-142-32-00, & 224-142-33-00)

Project Description: A request for a Design Review Permit for the construction of 46 single-family dwellings associated with the Conway Subdivision (now known as "Capistrano"). In accordance with the California Environmental Quality Act (CEQA), the adopted Initial Study/Mitigated Negative Declaration (IS/MND) demonstrates based on substantial evidence that the prior environmental analysis in the IS/MND adequately addresses the potential environmental effects of Conway Subdivision and support a finding that the Design Review Permit would not raise any significant new issues nor exceed the level of impacts identified in the previously adopted IS/MND requiring additional analysis under CEQA.

This is to advise that on July 09, 2024, the Escondido Planning Commission (Lead Agency) has approved the above described project and relies on a previously adopted Mitigated Negative Declaration (IS/MND) for the Conway Subdivision (City File Nos. PL21,0269, PL21-0278, and PL22-0584; Resolution Nos. 2023-06R), and has made the following determinations regarding the proposed project:

1. The project ____ will, **will not**, have a significant effect on the environment.
2. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA
3. Mitigation measures were, ____ were not, adopted for this project.
4. A mitigation reporting or monitoring plan was, ____ was not, adopted for this project
5. A Statement of Overriding Considerations ____ was, was not, adopted for this project.
6. Findings ____ were, were not, made pursuant to the provisions of CEQA.

This is to certify that a copy of the adopted Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program (City File Nos PL21-0269, PL21-0278, and PL22-0584 and Resolution Nos. 2023-06R), and record of project approval(s) with any comments and responses are available for review by the general public at the City of Escondido Planning Division, 201 N. Broadway, Escondido, California 92025. Telephone number: 760-839-4671. The City of Escondido has complied with CEQA in preparation of the Mitigated Negative Declaration for the Conway Subdivision.

Name of Official Filing Notice: Ivan Flores, AICP, Senior Planner

City of Escondido
Lead Agency

Signature:

Date:

Date Received for Filing _____

Filing Fee Transmitted to County Clerk \$50.00

Planning Commission
Approval Date: July 09, 2024
Effective Date: July 20, 2024

PLANNING COMMISSION RESOLUTION NO. 2024-25

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ESCONDIDO, CALIFORNIA,
APPROVING THE DESIGN REVIEW PERMIT FOR
THE CONWAY SUBDIVISION MAP (“CAPISTRANO”)
46 MARKET RATE UNITS

APPLICANT: Beazer Homes Holdings, LLC

CASE NO: PL23-0440

WHEREAS, Beazer Homes Holdings, LLC (“Applicant”), has filed a land use development application, Planning Case No. PL23-0440, constituting a request for a Design Review Permit to construct 46 single-family dwellings for a previously approved Tentative Subdivision Map (“Project”);

WHEREAS, The Project is located on a 12.06-acre site that is located west of Conway Drive on both sides of Stanley Avenue and north of Lehner Avenue, addressed as 916, 942, and 943 Stanley Avenue, and 2005 – 2175 Conway Drive (odd numbered addresses only), Escondido, CA 92027 (APNs: 224-141-23-00, 224-141-24-00; 224-141-25-00, 224-142-30-00, 224-142-31-00, 224-142-32-00, & 224-142-33-00); and

WHEREAS, the subject property is all that real property described in Exhibit "A", which is attached hereto and made a part hereof by this reference as though fully set forth herein (“Property”); and

WHEREAS, the Design Review Permit was submitted to, and processed by, the Planning Division of the Development Services Department in accordance with the rules and regulations of the Escondido Zoning Code, Article 64 (Design Review); and

WHEREAS, on February 8, 2023, the City Council approved a request by Escondido North, LLC for an Annexation, Tentative Subdivision Map, Grading Exemption, and Density Bonus to subdivide existing parcels for a 56-unit residential subdivision consisting of 46 market-rate units and 10 affordable units (Planning Case Nos. PL21-0269, PL21-0278, and PL22-0584).

WHEREAS, the subdivision contains two development components, 1) construction of 46 market rate single family homes construction and 2) construction and management of five duplexes (10 affordable housing units) which will be deed-restricted pursuant to Resolution 2023-06R; and

WHEREAS, the Planning Division studied and considered the Application, performed necessary investigations, prepared a written report, and hereby recommends that the Planning Commission conduct design review, consider the scale, materials, colors, and compatibility with the neighborhood and approve the Project as depicted on the architectural plans set shown in Exhibit "B", which is attached hereto and made a part hereof by this reference as though fully set forth herein; and

WHEREAS, on July 09, 2024 the Planning Commission held a public meeting as prescribed by law, at which time the Planning Commission received and considered the reports and recommendation of the Planning Division. Evidence was submitted to and considered by the Planning Commission, including, without limitation:

- a. Written information including plans, studies, written and graphical information, and other material, submitted by the Applicant;
- b. Oral testimony from City staff, interested parties, and the public;
- c. The staff report, dated July 09, 2024, with its attachments as well as City staff's recommendation on the Project, which is incorporated herein as though fully set forth herein; and
- d. Additional information submitted during the architectural design review process; and

WHEREAS, the architectural design review before the Planning Commission was conducted in all respects as required by the Escondido Municipal Code and the rules of this Planning Commission.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Escondido that:

1. The above recitations are true and correct.
2. The Planning Commission, in its independent judgement, has determined the Project does not require further environmental review beyond what was analyzed under the previously adopted Mitigated Negative Declaration prepared for the project (SCH No. 20221000635). A Notice of Determination will be filed with the County Clerk of San Diego.
3. After consideration of all evidence presented, and studies and investigations made by the Planning Commission and on its behalf, the Planning Commission makes the following substantive findings and determinations, attached

hereto as Exhibit "C", relating to the information that has been considered. In accordance with the Findings of Fact and the foregoing, the Planning Commission reached a recommendation on the matter as hereinafter set forth.

4. The plans for the Project are on file in the Planning Division of the Development Services Department and are available for inspection by anyone interested herein, and the development plans are incorporated herein by this reference as if they were fully set forth herein. The Project is conditionally approved as set forth on the staff report and project plans, all designated **as approved** by the Planning Commission, and which shall not be altered without the express authorization by the Planning Division. Any deviations from the approved architectural design plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.

BE IT FURTHER RESOLVED that, pursuant to Government Code section 66020(d)(1):

1. NOTICE IS HEREBY GIVEN, that the 90-day period during which to protest the imposition of any fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution, and any such protest must be in a manner that complies with Government Code section 66020.

PASSED, ADOPTED, AND APPROVED by a majority vote of the Planning Commission of the City of Escondido, California, at a regular meeting held on the 9th day of July, 2024, by the following vote, to wit:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAINED: COMMISSIONERS:
ABSENT: COMMISSIONERS:

STAN WEILER, Chair
Escondido Planning Commission

ATTEST:

Veronica Morones, Secretary of the
Escondido Planning Commission

I hereby certify that the foregoing Resolution was passed at the time and by the vote above stated.

Alex Rangel, Minutes Clerk
Escondido Planning Commission
Decision may be appealed to City Council
pursuant to Zoning Code Section 33-1303

Exhibit A
PLANNING CASE NO. PL23-0440
Legal Description

Real property in the City of Escondido, County of San Diego, State of California, described as follows:

PARCEL 1: (APN: 224-142-31-00)

THE NORTHEASTERLY 138.00 FEET OF THE NORTHWESTERLY 296.00 FEET OF LOT H IN BLOCK 418 OF A RESUBDIVISION OF BLOCKS 418 AND 419 IN RANCHO RINCON DEL DIABLO, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1520, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, JANUARY 21, 1913.

PARCEL 2: (APN: 224-142-32-00)

THE SOUTHEASTERLY 202.00 FEET OF THE NORTHWESTERLY 498.00 OF LOT H IN BLOCK 418 OF A RESUBDIVISION OF BLOCKS 418 AND 419, RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1520, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, JANUARY 21, 1913.

PARCEL 3: (APN: 224-142-33-00)

LOT H IN BLOCKS 418 AND 419 IN RANCHO RINCON DEL DIABLO, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1520, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, JANUARY 21, 1913. EXCEPTING THEREFROM THE NORTHWESTERLY 498.00 FEET THEREOF.

PARCEL 4: (APN: 224-141-23-00)

ALL THAT PORTION OF LOT 4 IN BLOCK 415 OF THE RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 723, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, AUGUST 13, 1892. EXCEPTING THE SOUTHEASTERLY 350 FEET (MEASURED ALONG THE NORTHEASTERLY AND SOUTHWESTERLY LINES) OF SAID LOT 4.

PARCEL 5: (APN: 224-141-25-00) ALL THAT PORTION OF LOT 4 IN THE BLOCK 415 OF THE RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 723, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, AUGUST 13, 1892, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 4 DISTANT NORTHEASTERLY THEREON 250.50 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 4; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE 260.00 FEET, MORE OR LESS, TO THE SOUTHEASTERLY CORNER OF SAID LOT 4; THENCE

NORTHWESTERLY ALONG THE NORTHEASTERLY LINE THEREOF 350.00 FEET; THENCE SOUTHWESTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 4 A DISTANCE OF 260.00 FEET TO POINT IN A LINE DRAWN PARALLEL WITH AND DISTANT 250.50 FEET NORTHEASTERLY FROM THE SOUTHWESTERLY LINE OF SAID LOT 4, SAID 400.00 FEET BEING MEASURED ALONG THE SOUTHEASTERLY, LINE THEREOF; THENCE SOUTHEASTERLY ALONG SAID PARALLEL LINE 350.00 FEET TO THE POINT OF BEGINNING

Exhibit B



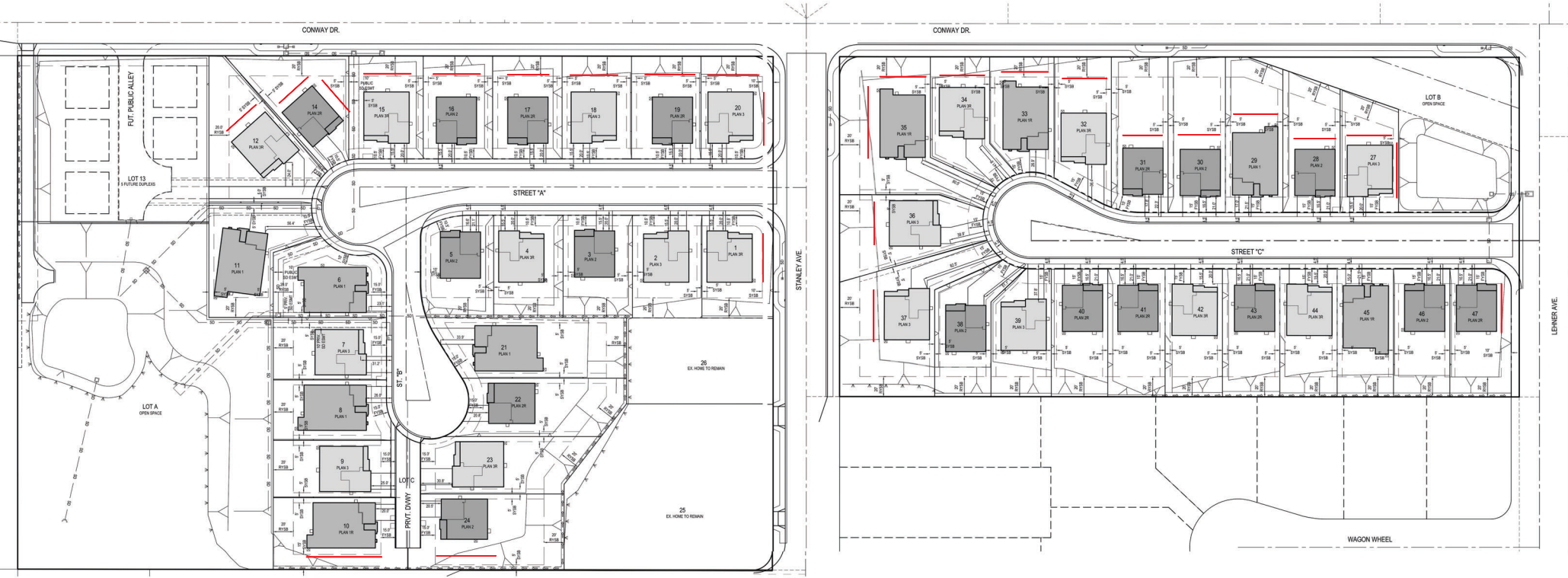
SHEET INDEX

- CONWAY SITE PLAN
- ASH SITE PLAN
- PLAN 1 (V168) FRONT ELEVATIONS
- PLAN 1 (V168) MODERN SPANISH ELEVATIONS - A
- PLAN 1 (V168) MODERN CRAFTSMAN ELEVATIONS - B
- PLAN 1 (V168) MODERN ADOBE ELEVATIONS - C
- PLAN 1 (V168) FLOOR PLANS
- PLAN 2 (V169) FRONT ELEVATIONS
- PLAN 2 (V169) MODERN SPANISH ELEVATIONS - A
- PLAN 2 (V169) MODERN CRAFTSMAN ELEVATIONS - B
- PLAN 2 (V169) MODERN ADOBE ELEVATIONS - C
- PLAN 2 (V169) FIRST FLOOR PLAN
- PLAN 2 (V169) SECOND FLOOR PLAN
- PLAN 3 (V179) FRONT ELEVATIONS
- PLAN 3 (V179) MODERN SPANISH ELEVATIONS - A
- PLAN 3 (V179) MODERN CRAFTSMAN ELEVATIONS - B
- PLAN 3 (V179) MODERN CRAFTSMAN ELEVATIONS - C
- PLAN 3 (V179) FIRST FLOOR PLAN
- PLAN 3 (V179) SECOND FLOOR PLAN
- COLOR BOARDS - SCHEMES 1-2
- COLOR BOARDS - SCHEMES 3-4
- COLOR BOARDS - SCHEMES 5-6
- COLOR BOARDS - SCHEMES 7-8
- COLOR BOARDS - SCHEMES 9
- COLOR SCHEDULE

CAPISTRANO



CAPISTRANO - ESCONDIDO, CA



NOTES

FOR REFERENCE ONLY. SEE SITE PLANS

SEE SITE PLANS BY CIVIL ENGINEER- AND LANDSCAPE ARCHITECT FOR ADDITIONAL INFORMATION.

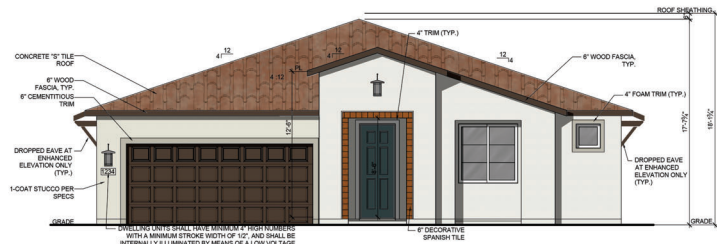
ALL PROPERTY LINES, BASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN BY CIVIL ENGINEER.

— ENHANCED ELEVATION

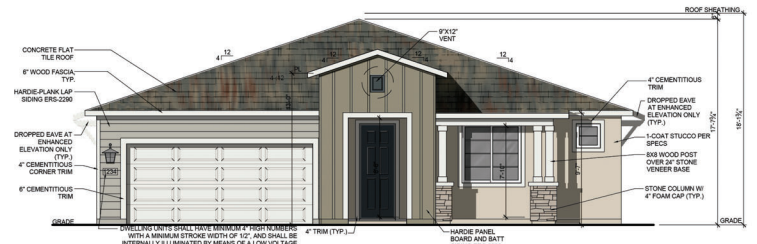


CONWAY SITE PLAN

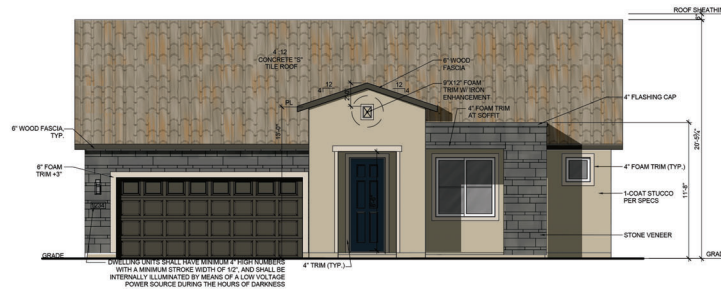
CAPISTRANO - ESCONDIDO, CA



FRONT ELEVATION - SCL - A SCHEME 1



FRONT ELEVATION - ACL - B SCHEME 4
SCALE: 1/8\"/>

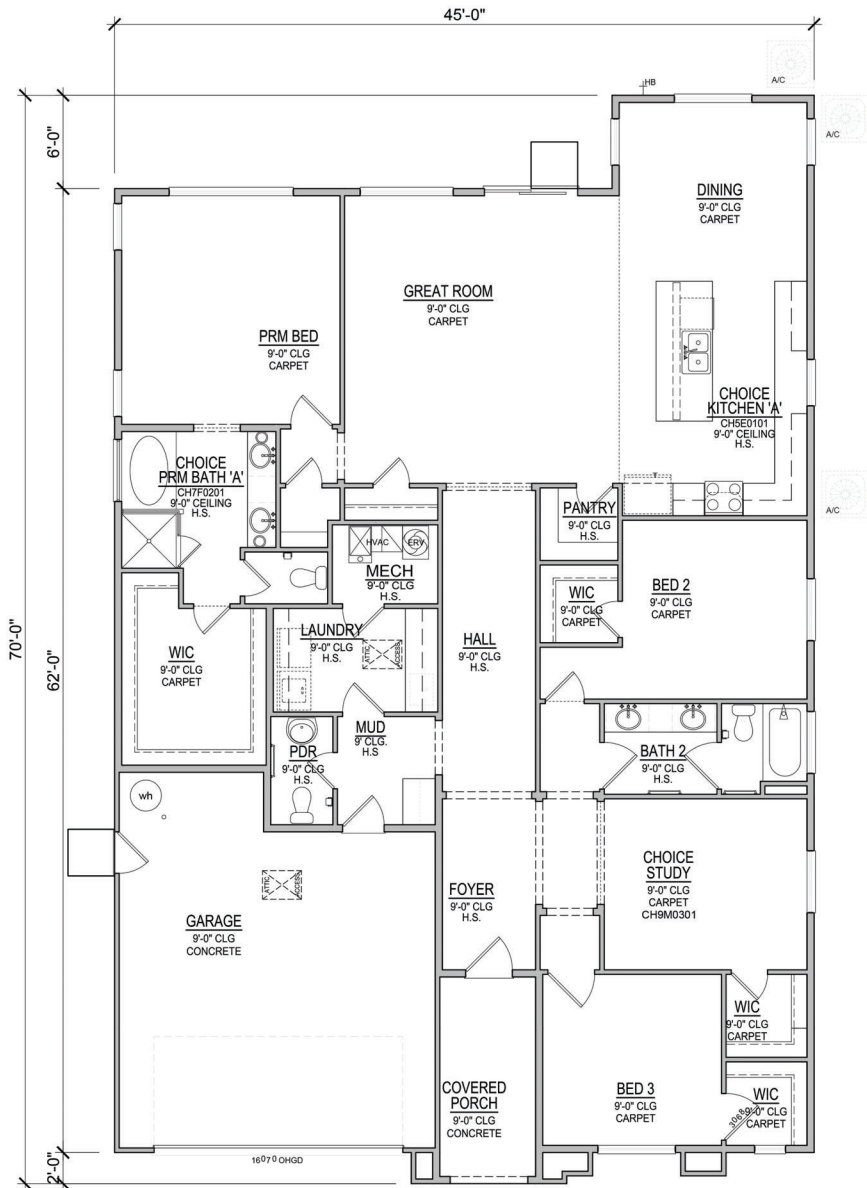


FRONT ELEVATION - ADL - C SCHEME 7
SCALE: 1/8\"/>

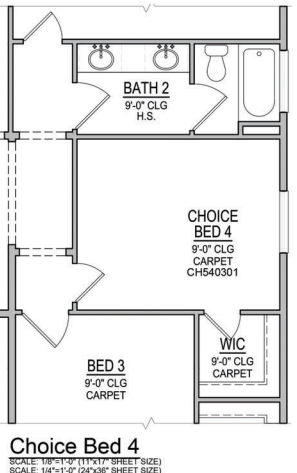
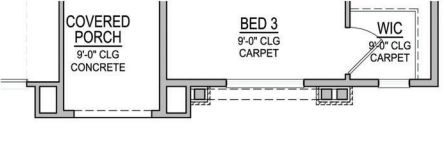
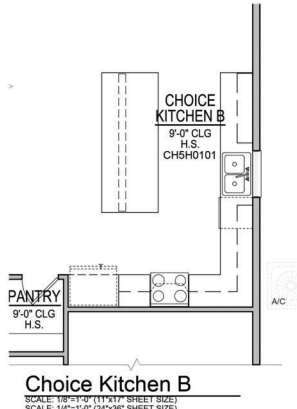
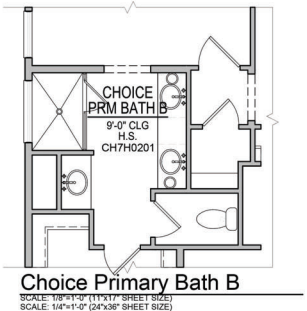


PLAN 1 | 2333 SF

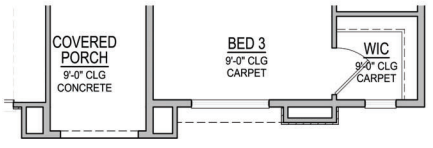
CAPISTRANO - ESCONDIDO, CA



PLAN 1 FIRST FLOOR | 2333 SF



FIRST FLOOR PLAN - ACL - B

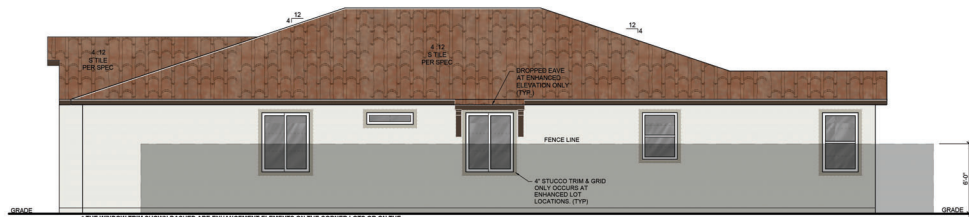


FIRST FLOOR PLAN - ADL - C

| Area | Square Footages | | |
|-------------------------|-----------------|----------------|----------------|
| | Elev SCL | Elev ACL | Elev ADL |
| First Floor | 2333 SF | 2333 SF | 2333 SF |
| Total Living | 2333 SF | 2333 SF | 2333 SF |
| Garage | 465 SF | 465 SF | 465 SF |
| Porch | 84 SF | 84 SF | 84 SF |
| Total Under Roof | 2882 SF | 2882 SF | 2882 SF |

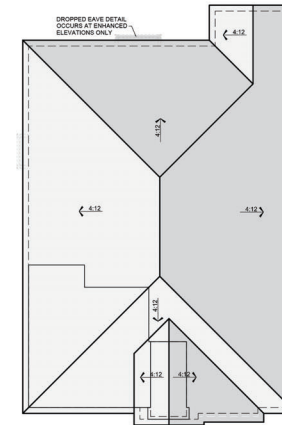


CAPISTRANO - ESCONDIDO, CA

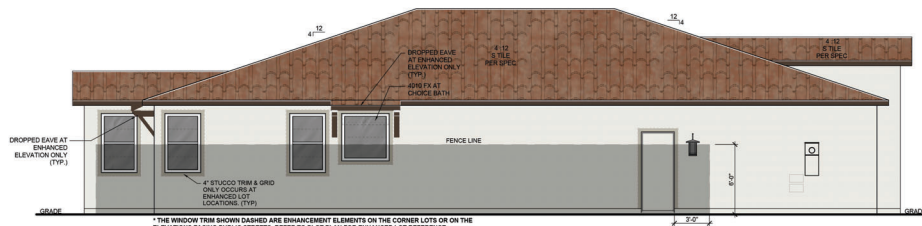


RIGHT ELEVATION - SCL - A

SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

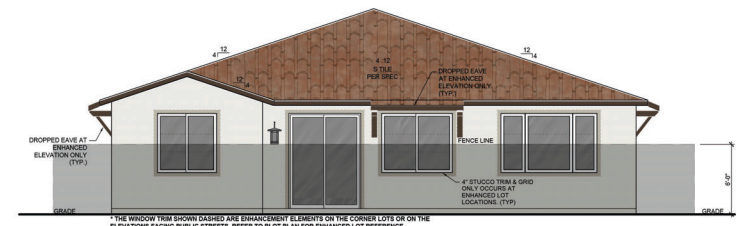


ROOF PLAN - SCL - A



LEFT ELEVATION - SCL - A

SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



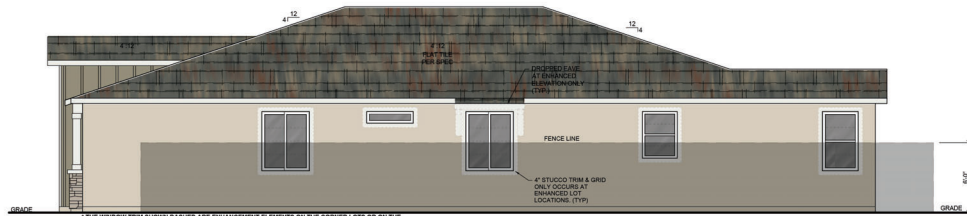
REAR ELEVATION - SCL - A

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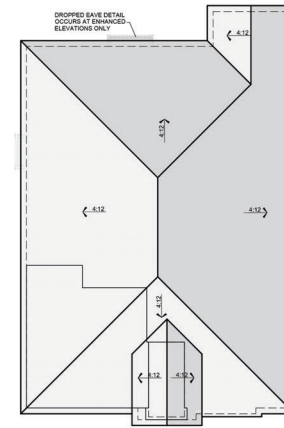


PLAN 1 MODERN SPANISH | 2333 SF - SCHEME 1

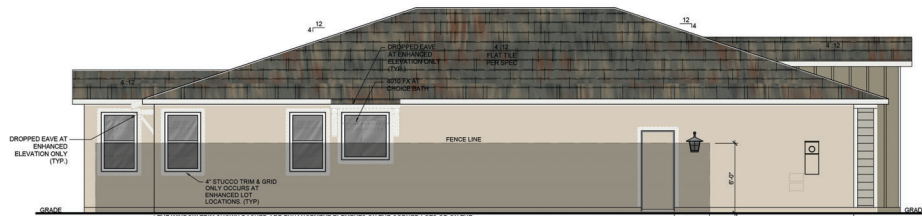
CAPISTRANO - ESCONDIDO, CA



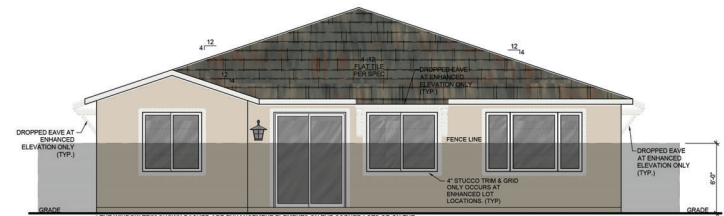
THE WINDOW TRIM SHOWN DASHED ARE ENHANCEMENT ELEMENTS ON THE CORNER LOTS OR ON THE ELEVATIONS FACING PUBLIC STREETS. REFER TO PLOT PLAN FOR ENHANCED LOT REFERENCE.
RIGHT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



ROOF PLAN - ACL - B



THE WINDOW TRIM SHOWN DASHED ARE ENHANCEMENT ELEMENTS ON THE CORNER LOTS OR ON THE ELEVATIONS FACING PUBLIC STREETS. REFER TO PLOT PLAN FOR ENHANCED LOT REFERENCE.
LEFT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

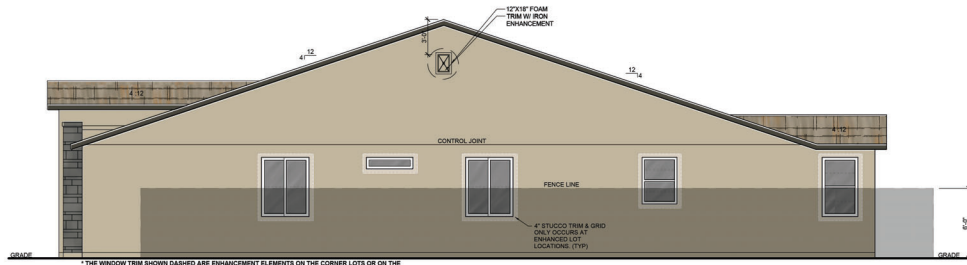


THE WINDOW TRIM SHOWN DASHED ARE ENHANCEMENT ELEMENTS ON THE CORNER LOTS OR ON THE ELEVATIONS FACING PUBLIC STREETS. REFER TO PLOT PLAN FOR ENHANCED LOT REFERENCE.
REAR ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

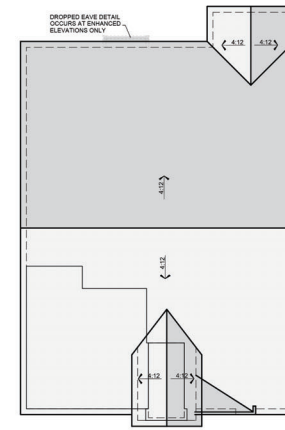


PLAN 1 MODERN CRAFTSMAN | 2333 SF - SCHEME 4

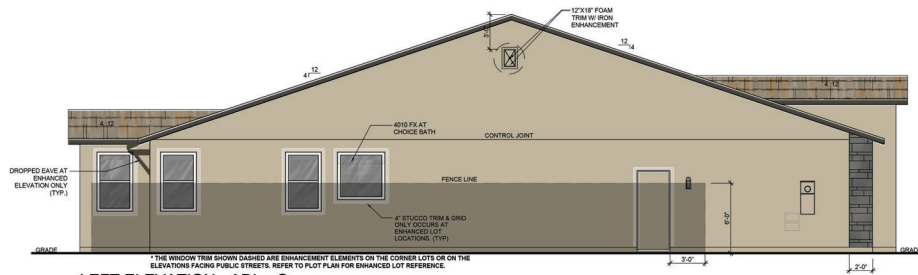
CAPISTRANO - ESCONDIDO, CA



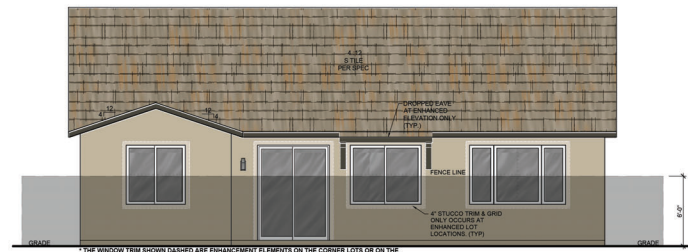
RIGHT ELEVATION - ADL - C
SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)



ROOF PLAN - ADL - C



LEFT ELEVATION - ADL - C
SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)

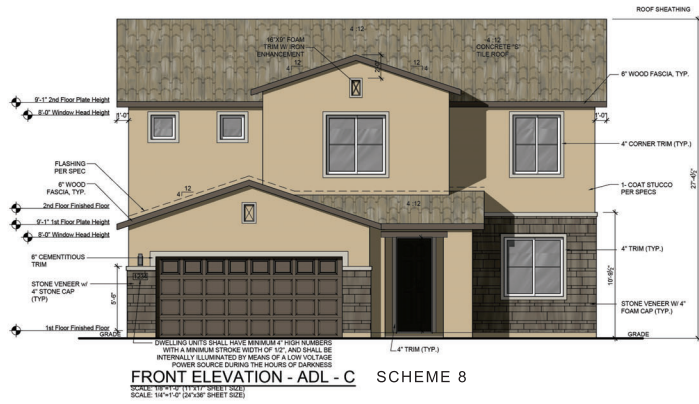
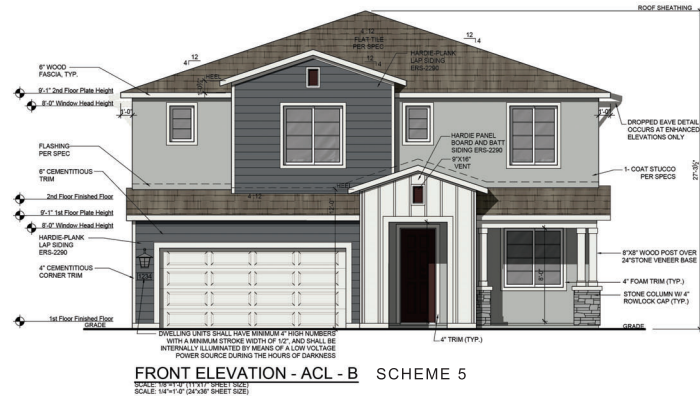
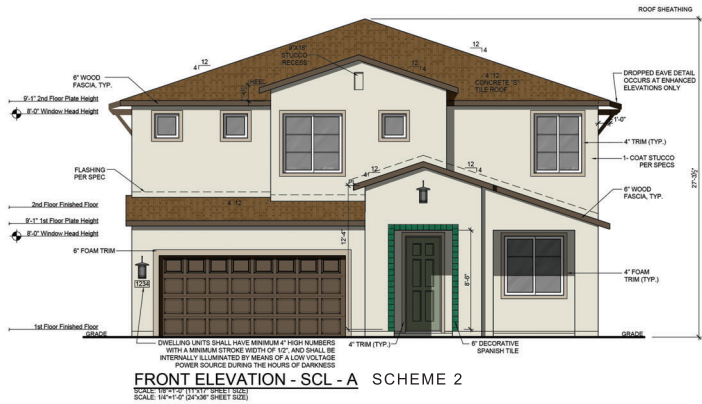


REAR ELEVATION - ADL - C
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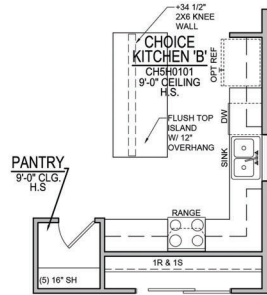
PLAN 1 MODERN ADOBE | 2333 SF - SCHEME 7

CAPISTRANO - ESCONDIDO, CA

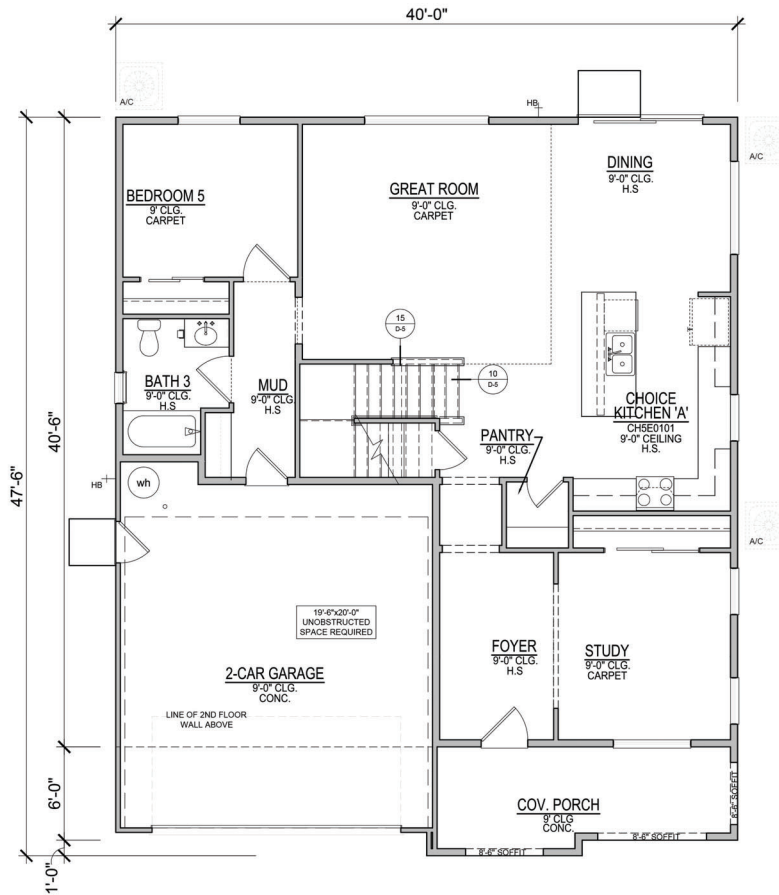


PLAN 2

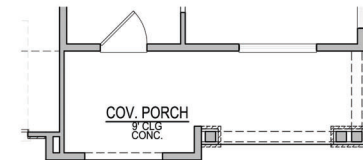
CAPISTRANO - ESCONDIDO, CA



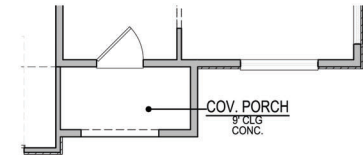
CHOICE KITCHEN B
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



FIRST FLOOR PLAN - SCL - A
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



FIRST FLOOR PLAN - ACL - B
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



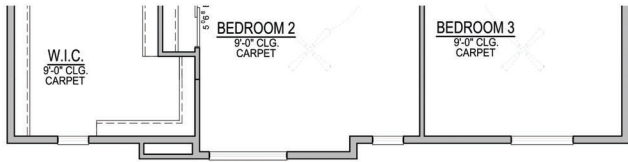
FIRST FLOOR PLAN - ADL - C
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

PLAN 2 FIRST FLOOR

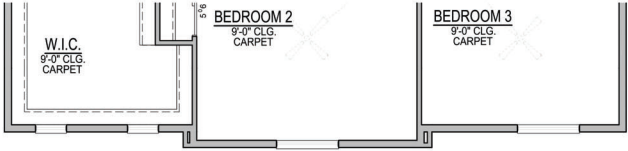
| Area | Square Footages | | |
|------------------|-----------------|----------|----------|
| | Elev SCL | Elev ACL | Elev ADL |
| First Floor | 1269 SF | 1269 SF | 1269 SF |
| Second Floor | 1575 SF | 1573 SF | 1575 SF |
| Total Living | 2844 SF | 2842 SF | 2844 SF |
| Garage | 465 SF | 465 SF | 465 SF |
| Porch | 126 SF | 127 SF | 40 SF |
| Total Under Roof | 3435 SF | 3434 SF | 3349 SF |



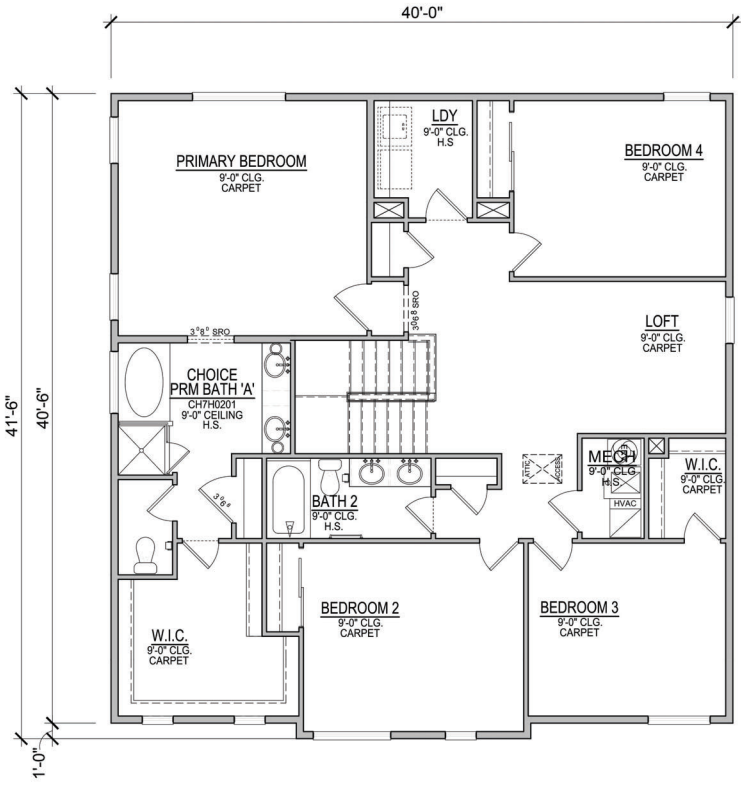
CAPISTRANO - ESCONDIDO, CA



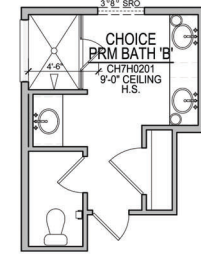
SECOND FLOOR PLAN - ACL - B
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



SECOND FLOOR PLAN - ADL - C
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



SECOND FLOOR PLAN - SCL - A
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

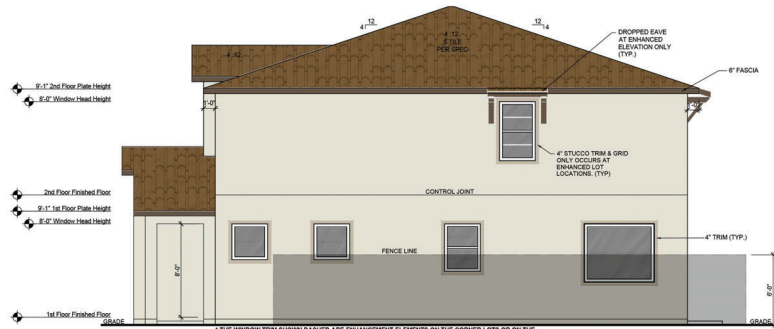


CHOICE PRM. BATH B
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

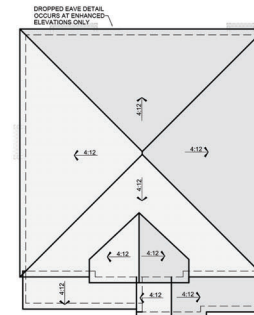


CAPISTRANO - ESCONDIDO, CA

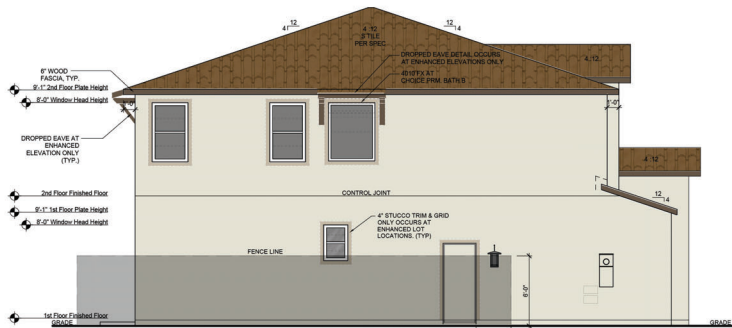
PLAN 2 SECOND FLOOR



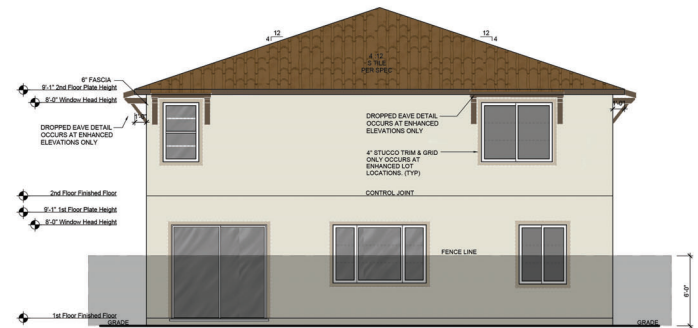
RIGHT ELEVATION - SCL - A
SOURCE: 11/17/23 (SHEET 0202)
 SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)



ROOF PLAN - SCL - A
SOURCE: 11/17/23 (SHEET 0202)
 SCALE: 1/8"=1'-0" (24"X36" SHEET SIZE)



LEFT ELEVATION - SCL - A
SOURCE: 11/17/23 (SHEET 0202)
 SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)

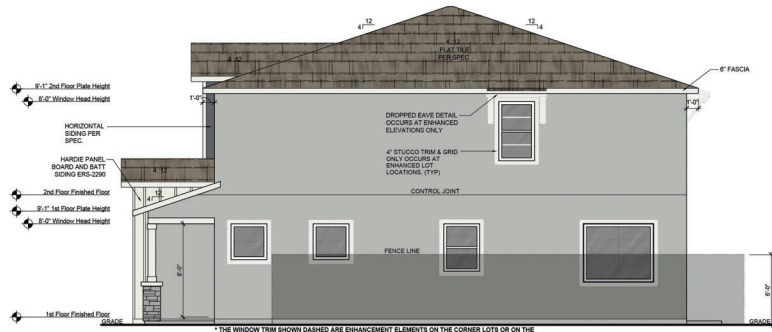


REAR ELEVATION - SCL - A
SOURCE: 11/17/23 (SHEET 0202)
 SCALE: 1/4"=1'-0" (24"X36" SHEET SIZE)

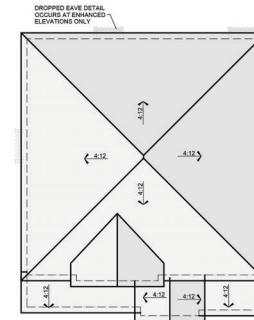


PLAN 2 MODERN SPANISH | 2844 SF - SCHEME 2

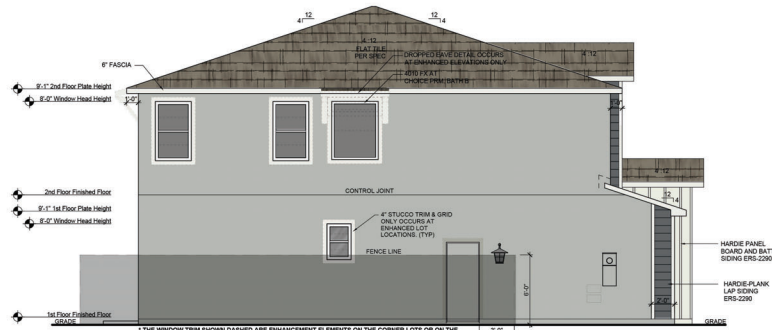
CAPISTRANO - ESCONDIDO, CA



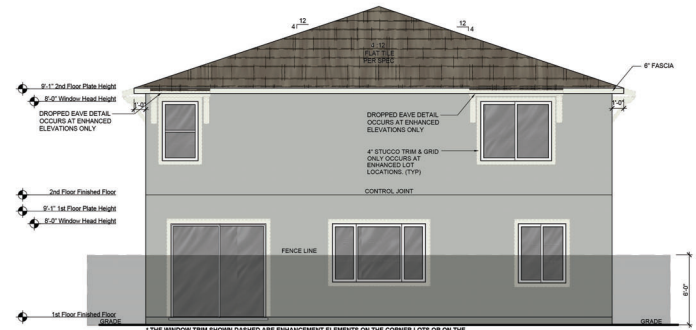
RIGHT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (1/8"=1'-0" SHEET SIZE)



ROOF PLAN - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (1/8"=1'-0" SHEET SIZE)



LEFT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (1/8"=1'-0" SHEET SIZE)

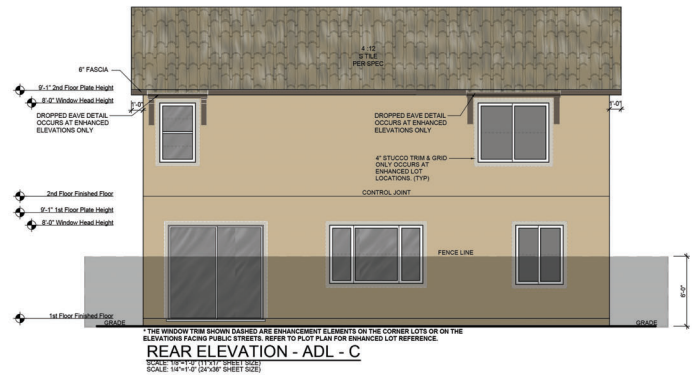
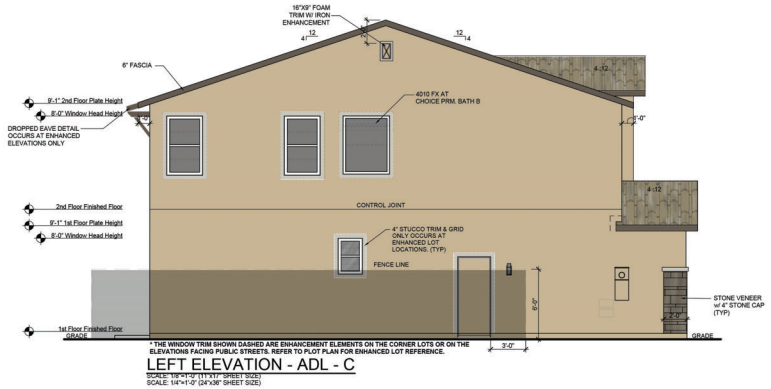
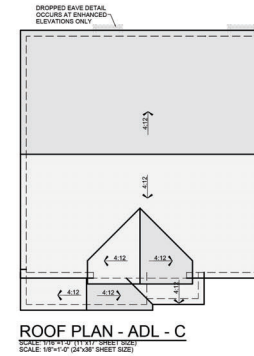
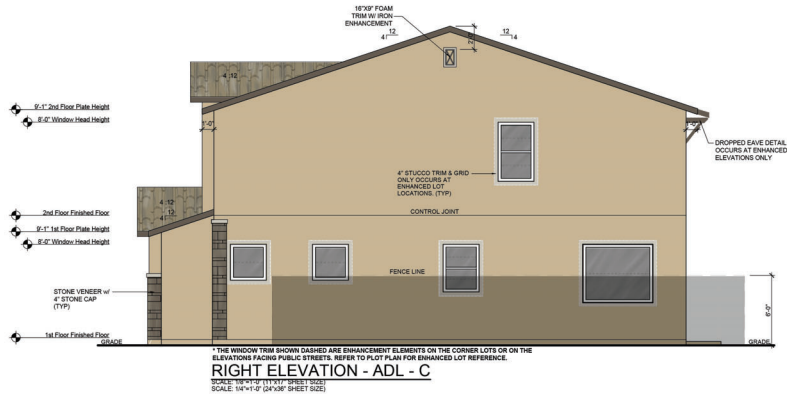


REAR ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"=1'-0" SHEET SIZE)
 SCALE: 1/4"=1'-0" (1/8"=1'-0" SHEET SIZE)



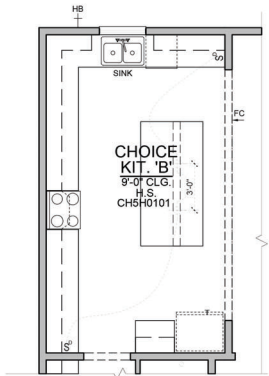
PLAN 2 MODERN CRAFTSMAN | 2842 SF - SCHEME 5

CAPISTRANO - ESCONDIDO, CA

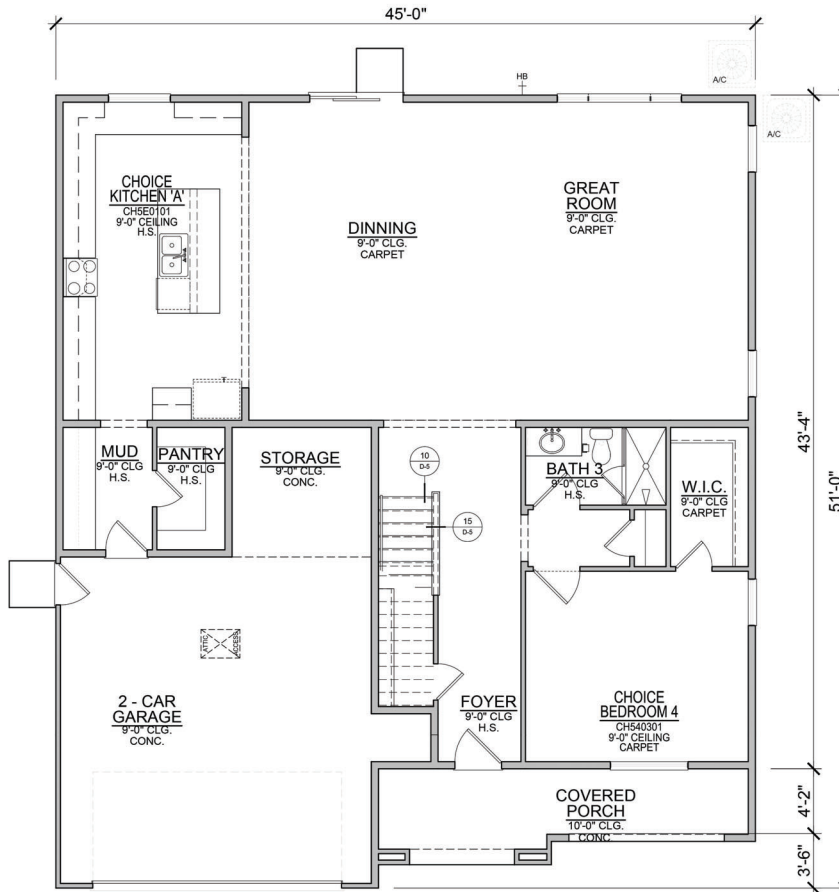


PLAN 2 MODERN ADOBE | 2844 SF - SCHEME 8

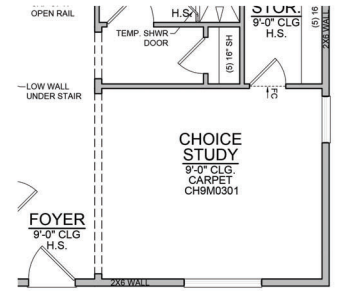
CAPISTRANO - ESCONDIDO, CA



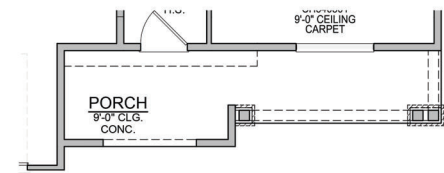
CHOICE KITCHEN 'B'
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



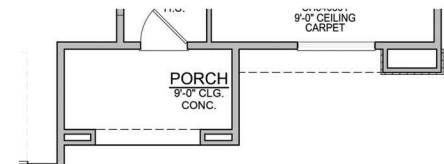
FIRST FLOOR PLAN - SCL - A
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



CHOICE STUDY
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



FIRST FLOOR PLAN - ACL - B
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



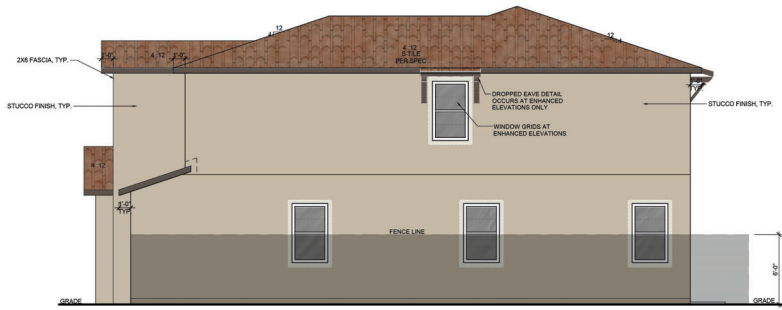
FIRST FLOOR PLAN - ADL - C
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

| Square Footages | | | |
|------------------|----------|----------|----------|
| Area | Elev SCL | Elev ACL | Elev ADL |
| First Floor | 1585 SF | 1585 SF | 1585 SF |
| Second Floor | 1703 SF | 1646 SF | 1646 SF |
| Total Living | 3288 SF | 3231 SF | 3231 SF |
| Garage | 524 SF | 524 SF | 524 SF |
| Porch | 130 SF | 130 SF | 69 SF |
| Total Under Roof | 3942 SF | 3885 SF | 3824 SF |

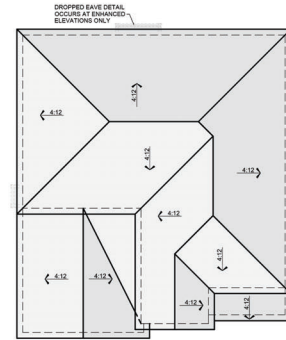


PLAN 3 FIRST FLOOR

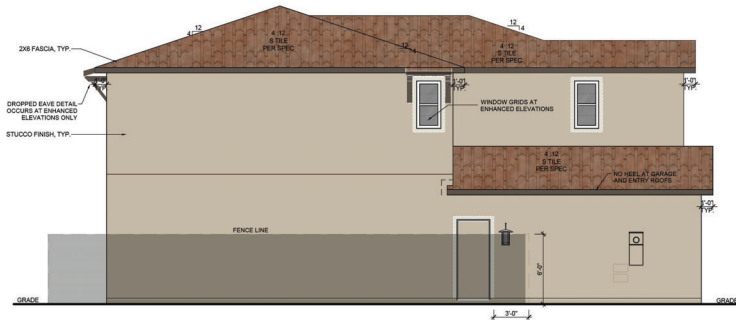
CAPISTRANO - ESCONDIDO, CA



RIGHT ELEVATION - SCL - A
 SCALE: 1/8"=1'-0" (1/4"=3'-0" SHEET SIZE)



ROOF PLAN - SCL - A
 SCALE: 1/8"=1'-0" (1/4"=3'-0" SHEET SIZE)



LEFT ELEVATION - SCL - A
 SCALE: 1/8"=1'-0" (1/4"=3'-0" SHEET SIZE)

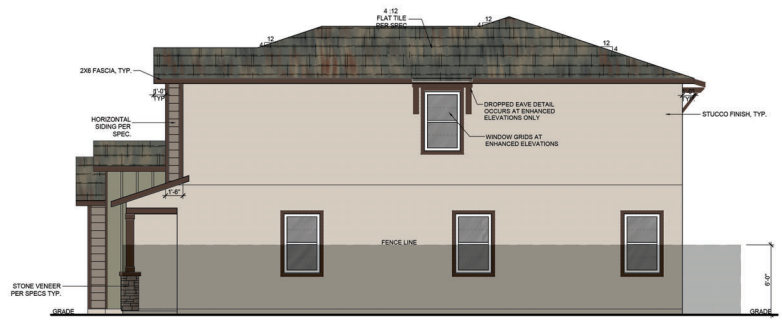


REAR ELEVATION - SCL - A
 SCALE: 1/8"=1'-0" (1/4"=3'-0" SHEET SIZE)

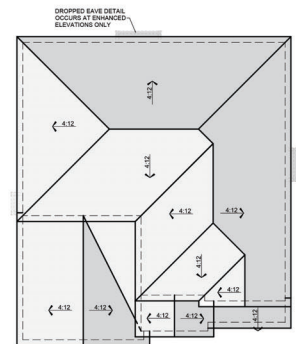


PLAN 3 MODERN SPANISH | 3288 SF - SCHEME 3

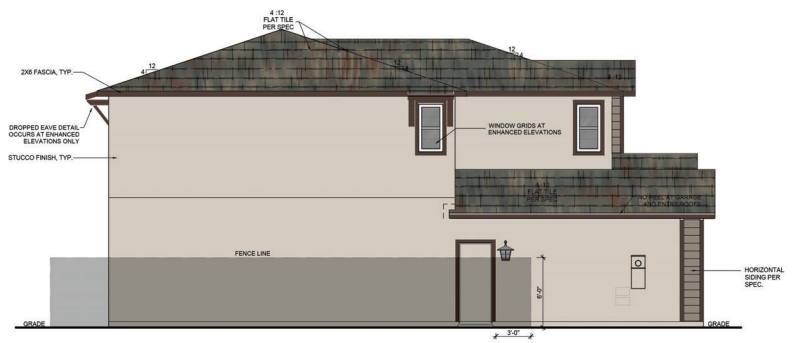
CAPISTRANO - ESCONDIDO, CA



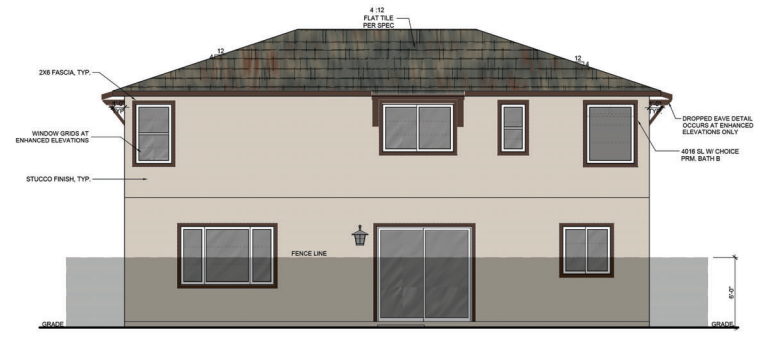
RIGHT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"X8" SHEET SIZE)



ROOF PLAN - ACL - B
 SCALE: 1/8"=1'-0" (1/4"X8" SHEET SIZE)



LEFT ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"X8" SHEET SIZE)

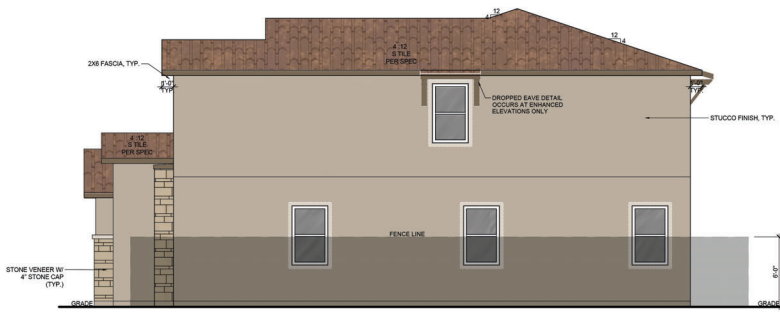


REAR ELEVATION - ACL - B
 SCALE: 1/8"=1'-0" (1/4"X8" SHEET SIZE)

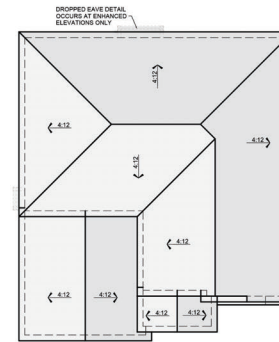


PLAN 3 MODERN CRAFTSMAN | 3231 SF - SCHEME 6

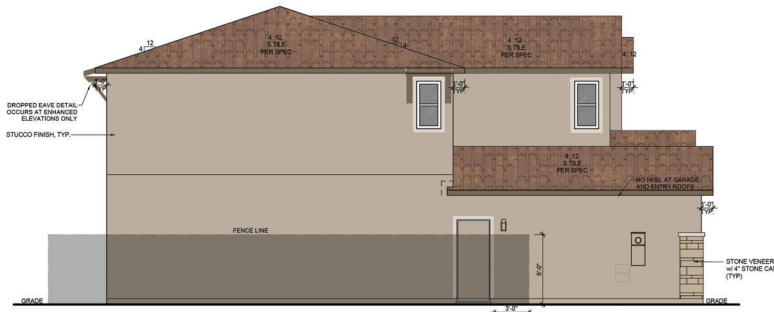
CAPISTRANO - ESCONDIDO, CA



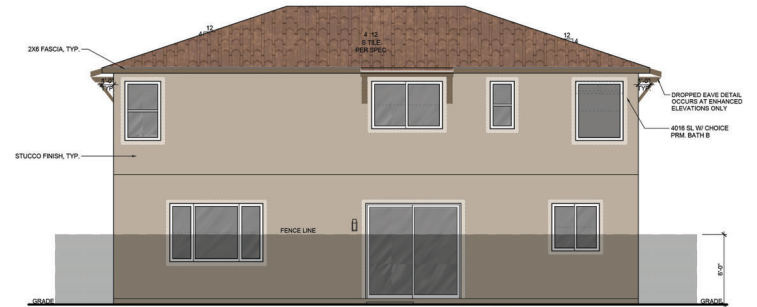
RIGHT ELEVATION - ADL - C
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



ROOF PLAN - ADL - C
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



LEFT ELEVATION - ADL - C
SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



REAR ELEVATION - ADL - C
SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



PLAN 3 MODERN ADOBE | 3231 SF - SCHEME 9

CAPISTRANO - ESCONDIDO, CA

COLOR SCHEME 1 ~ Modern Spanish



ROOF ~ CAPISTRANO ~ SCC 8806 TUSCON BLEND

COLOR SCHEME 2 ~ Modern Spanish



ROOF ~ CAPISTRANO ~ 3804 ROCKLIN BLEND

FASCIA & GARAGE
6076 TURKISH COFFEE

ENTRY DOOR
9135 WHIRLPOOL

STUCCO & STUCCO RECESSES
7004 SNOWBOUND

DECORATIVE TILE
TOBACCO 10814

STUCCO TRIM
7030 ANEW GRAY

FASCIA & GARAGE
7515 HOMESTEAD BROWN

ENTRY DOOR
9129 JADE DRAGON

STUCCO & STUCCO RECESSES
7042 SHOJI WHITE

DECORATIVE TILE
VERDE HOJA 10811

STUCCO TRIM
9173 SHITAKE

Conway & Ash
Escondido, CA
Beazer Homes
01/18/24

Conway & Ash
Escondido, CA
Beazer Homes
01/18/24



COLOR SCHEME 3 ~ Modern Spanish



ROOF ~ CAPISTRANO ~ 3645 SUNRISE BLEND

COLOR SCHEME 4 ~ Modern Craftsman



ROOF ~ PONDEROSA ~ 5634 KINGS CANYON BLEND

FASCIA & GARAGE
7505 MANOR HOUSE

ENTRY DOOR
6363 GINGERY

STUCCO & STUCCO RECESSES
9173 SHITAKE

STUCCO TRIM
7009 PEARLY WHITE

DECORATIVE TILE
VINO 10807

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Beazer Homes
01/18/24

FASCIA & GARAGE
ALL TRIM & COLUMNS
7005 PURE WHITE

ENTRY DOOR
6236 GRAYS HARBOR

STUCCO & STUCCO RECESSES
7541 GRECIAN IVORY

VERTICAL SIDING
2845 BUNGLEHOUSE GRAY

HORIZONTAL SIDING
7016 MINDFUL GRAY

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Escondido, CA
Beazer Homes
01/18/24



STONE: LEDGECUT33 ~ BIRCH



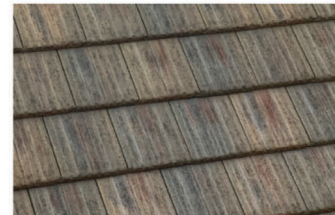
CAPISTRANO - ESCONDIDO, CA

COLOR SCHEME 5 ~ Modern Craftsman



ROOF ~ PONDEROSA ~ 5595 DARK CHARCOAL

COLOR SCHEME 6 ~ Modern Craftsman



ROOF ~ PONDEROSA ~ 5634 KINGS CANYON BLEND

FASCIA & GARAGE
ALL TRIM & COLUMNS
7005 PURE WHITE

ENTRY DOOR
2801 RW DARK RED

VERTICAL SIDING
7005 PURE WHITE

HORIZONTAL SIDING
7075 WEB GRAY

STUCCO & STUCCO RECESSES
2850 CHELSEA GRAY



STONE: LEDGECUT33 ~ BEACH PEBBLE

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01/18/24

FASCIA & GARAGE
ALL TRIM & COLUMNS
7510 CHATEAU BROWN

ENTRY DOOR
6167 GARDEN GATE

VERTICAL SIDING
6165 CONNECTED GRAY

HORIZONTAL SIDING
6074 SPALDING GRAY

STUCCO & STUCCO RECESSES
7632 MODERN GRAY



STONE: LEDGECUT33 ~ SAGE

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Escondido, CA
Beazer Homes
01/18/24



CAPISTRANO - ESCONDIDO, CA

COLOR SCHEME 7 ~ Modern Adobe



ROOF ~ CAPISTRANO ~ 3634 KINGS CANYON BLEND

COLOR SCHEME 8 ~ Modern Adobe



ROOF ~ CAPISTRANO ~ 3602 CONCORD BLEND

FASCIA & GARAGE
7020 BLACK FOX

ENTRY DOOR
6229 TEMPE STAR

STUCCO TRIM
7567 NATURAL TAN

STUCCO & STUCCO RECESSES
6150 UNIVERSAL KHAKI

STONE: VANTAGE30 ~ SOUTHERN PEAK

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Escondido, CA
Beazer Homes
01/18/24

FASCIA & GARAGE
7026 GRIFFIN

ENTRY DOOR
7020 BLACK FOX

STUCCO TRIM
7043 WORLDLY GRAY

STUCCO & STUCCO RECESSES
6143 BASKET BEIGE

STONE: VANTAGE30 ~ STORM CLOUD

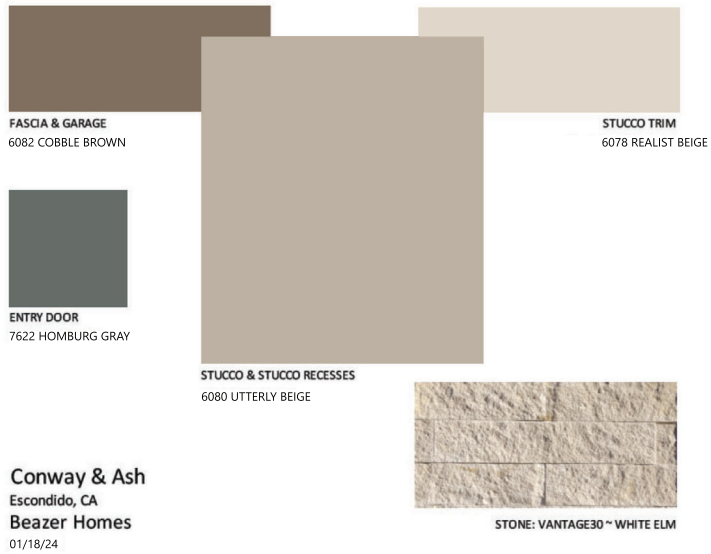
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Escondido, CA
Beazer Homes
01/18/24



COLOR SCHEME 9 ~ Modern Adobe



ROOF ~ CAPISTRANO ~ 3743 COCOA RANGE



FASCIA & GARAGE
6082 COBBLE BROWN

ENTRY DOOR
7622 HOMBURG GRAY

STUCCO TRIM
6078 REALIST BEIGE

STUCCO & STUCCO RECESSES
6080 UTTERLY BEIGE

STONE: VANTAGE30 ~ WHITE ELM

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Beazer Homes
01/18/24

Conwway & Ash
Escondido, CA

Color Schemes for Modern Spanish

| | 1 | 2 | 3 |
|--------------------------------|--------------------------|-------------------------|-----------------------|
| ROOF CAPISTRANO | SCC 8806 TUCSON BLEND | 3804 ROCKLIN BLEND | 3645 SUNRISE BLEND |
| STUCCO & STUCCO RECESSES | 7004 SNOWBOUND | 7042 SHOJI WHITE | 9173 SHITAKE |
| STUCCO TRIM | 7030 ANEW GRAY | 9173 SHITAKE | 7009 PEARLY WHITE |
| FASCIA & GARAGE | 6076 TURKISH COFFEE | 7515 HOMESTEAD BROWN | 7505 MANOR HOUSE |
| ENTRY DOOR | 9135 WHIRLPOOL | 9129 JADE DRAGON | 6363 GINGERY |
| DECORATIVE TILE 6" X 6" | TOBACCO 10814 | VERDE HOJA 10811 | VINO 10807 |
| GUTTER | ROYAL BROWN | RUSTIC BROWN | RUSTIC BROWN |
| DOWNSPOUT | H.G. WHITE | SATIN | CHAMPAGNE |
| WINDOW FRAME | TAN | TAN | TAN |

MANUFACTURERS
 ROOF: EAGLE ROOFING
 PAINT: SHERWIN WILLIAMS
 STONE: ELDORADO STONE
 GUTTERS & DOWNSPOUTS: RGS
 DECORATIVE TILE: TIERRAYFUEGO-TALAVERA SOLID

1/23/24 ADDED GUTTER/DOWNSPOUT AND WINDOW FRAME COLOR
 1/17/24 UPDATE
 12/6/23 UPDATE
 10/30/23



CAPISTRANO - ESCONDIDO, CA

Conwway & Ash
Escondido, CA

Color Schemes for Modern Craftsman

| | 4 | 5 | 6 |
|---|----------------------------|-----------------------|----------------------------|
| ROOF PONDEROSA | 5634 KINGS CANYON BLEND | 5595 DARK CHARCOAL | 5634 KINGS CANYON BLEND |
| STUCCO & STUCCO RECESSES | 7541 GRECIAN IVORY | 2850 CHELSEA GRAY | 7632 MODERN GRAY |
| VERTICAL SIDING | 2845 BUNGLEHOUSE GRAY | 7005 PURE WHITE | 6165 CONNECTED GRAY |
| HORIZONTAL SIDING | 7016 MINDFUL GRAY | 7075 WEB GRAY | 6074 SPALDING GRAY |
| FASCIA, ALL TRIM COLUMNS & GARAGE | 7005 PURE WHITE | 7005 PURE WHITE | 7510 CHATEAU BROWN |
| ENTRY DOOR | 6236 GRAYS HARBOR | 2801 RW DARK RED | 6167 GARDEN GATE |
| STONE: LEDGECUT33 | BIRCH | BEACH PEBBLE | SAGE |
| GUTTER | H.G. WHITE | LOW GLOSS WHITE | RUSTIC BROWN |
| DOWNSPOUT | LIGHT PECAN | LOW GLOSS WHITE | CHAMPAGNE |
| WINDOW FRAME | WHITE | WHITE | WHITE |

MANUFACTURERS
 ROOF: EAGLE ROOFING
 PAINT: SHERWIN WILLIAMS
 STONE: ELDORADO STONE
 GUTTERS & DOWNSPOUTS: RGS

1/23/24 ADDED GUTTER/DOWNSPOUT AND WINDOW FRAME COLOR
 1/17/24 UPDATE
 12/19/2023 UPDATE

Conwway & Ash
Escondido, CA

Color Schemes for Modern Adobe

| | 7 | 8 | 9 |
|--------------------------------|----------------------------|-----------------------|-----------------------|
| ROOF CAPISTRANO | 3634 KINGS CANYON BLEND | 3602 CONCORD BLEND | 3743 COCOA RANGE |
| STUCCO & STUCCO RECESSES | 6150 UNIVERSAL KHAKI | 6143 BASKET BEIGE | 6080 UTTERLY BEIGE |
| STUCCO TRIM | 7567 NATURAL TAN | 7043 WORLDLY GRAY | 6078 REALIST BEIGE |
| FASCIA & GARAGE | 7020 BLACK FOX | 7026 GRIFFIN | 6082 COBBLE BROWN |
| ENTRY DOOR | 6229 TEMPE STAR | 7020 BLACK FOX | 7622 HOMBURG GRAY |
| STONE: VANTAGE 30 | SOUTHERN PEAK | STORM CLOUD | WHITE ELM |
| GUTTER | MUSKET | RUSTIC BROWN | RUSTIC BROWN |
| DOWNSPOUT | LIGHT PECAN | ADOBE TAN | WOOD BEIGE |
| WINDOW FRAME | TAN | TAN | TAN |

MANUFACTURERS
 ROOF: EAGLE ROOFING
 PAINT: SHERWIN WILLIAMS
 STONE: ELDORADO STONE
 GUTTERS & DOWNSPOUTS: RGS

1/23/24 ADDED GUTTER/DOWNSPOUT AND WINDOW FRAME COLOR
 1/17/24 UPDATE
 12/12/2023 ROOF UPDATE
 12/6/23 UPDATE
 10/30/23

Exhibit C

PLANNING CASE NO. PL23-0440

FACTORS TO BE CONSIDERED / FINDINGS OF FACT

Environmental Determinations:

In accordance with Public Resources Code section 21166 and California Environmental Quality Act (CEQA) Guidelines section 15162, the Planning Commission finds and determines as follows:

1. The potential environmental effects of the actions described in the original project approval have been analyzed, considered and mitigated through an Initial Study and a Mitigated Negative Declaration ("MND") (SCH: 20221000635) prepared and adopted on February 08, 2023 pursuant to CEQA. See City Council Resolution No. 2023-06R.
2. The City has evaluated and considered the changes that would be implemented by the Project, as amended or modified. These changes do not involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
3. The City has evaluated and considered the changes with respect to the circumstances under which the actions identified in revised Details of Request, as amended by the Project, are being undertaken. The changes with respect to these circumstances do not involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
4. The City is not aware of any new information of substantial importance that discloses that the actions described in the Project, as amended or modified, will have other or more severe significant environmental effects not previously discussed or that previously rejected or other mitigation measures or alternatives are now feasible and effective.

Therefore, the Mitigated Negative Declaration remains adequate and no further CEQA environmental analysis is required for Project as amended or modified.

Design Review Findings (Article 64, Section 33-1359):

***(a)** The proposed site plan has been designed in a manner which is compatible with the natural and urban characteristics of the site and the surrounding neighborhood.*

On February 08, 2023, the City Council approved a request by Escondido North, LLC for an Annexation, Tentative Subdivision Map and Grading Exemption to subdivide existing parcels for a 56-unit residential subdivision (Planning Case Nos. PL21-0269, PL21-0278, and PL22-0584).

The approved subdivision design is similar in size, scale, and character of the adjacent single-family residential subdivision to the north, west and south of the project site.

(b) *The bulk, scale, and architectural design of the proposed structure[s] are compatible with the character of the surrounding neighborhood.*

The approved project includes two different development components and residential opportunities

- construction of 46 market rate single family homes, and
- construction and management of five duplexes (10 affordable housing units) which will be deed-restricted (*not a part of this Design Review*).

The site design and characteristics of the market rate component are similar to what has been constructed in the surrounding neighborhood. The proposed layout, lot sizes, scale, and architectural design are similar to the existing developments located directly north and east of the project site.

(c) *The project incorporates landscaping, irrigation and screening which is drought tolerant, appropriate for the site, and in compliance with the landscape standards established by the city.*

The conceptual landscape design plans have been reviewed by city staff for consistency with community design and implementation of landscape palettes; color schemes; minimum tree requirements (i.e., one tree per lot); consistent public right of way enhancements; screening where appropriate; and encouraged use of drought tolerant or native plant materials. The landscape design meets such requirements and is complimentary of the unit designs in use of plants, colors, shade street trees, and buffer tree plantings. Therefore, the project landscape design is not considered as part of the Design Review Permit.

(d) *All grading related to the project is in conformance to design standards set by Article 55, Grading and Erosion Control.*

Project approvals included review of the project pursuant to Article 55 of the Escondido Zoning Code, which requires grading exemptions for any fill slope located within 50 feet of a property line that exceeds 10 feet in height (inclusive of the height of any retaining wall in said calculation). The project approvals included those fill slopes located in the northwest corner of Lot 10 and in the northeast corner of the project site, adjacent to the access driveway to the detention basin. Therefore, the project grading design is not considered as part of this Design Review Permit.

(e) *The project has incorporated the applicable design review standards contained in the ordinance codified in this section and other applicable ordinances into the site layout and building design.*

The approved project incorporated applicable design review standards, such as appropriate size and scale of residential subdivision. The approved project also provides an open space buffer at the northwest edges, and enhances public right of way by installing sidewalks and pedestrian safety features and signage. The proposed fencing will be compatible with the surrounding character of wood to concrete block. There is no specialty lighting and the City standard street lighting will be installed.

***(f)** The project is consistent with the goals and objectives on the city general plan.*

The City's General Plan land-use designation for the project site is Suburban (S) south of Stanley Avenue and Estate II (E2) north of Stanley Avenue, allowing single-family residential development of up to 3.3 and 2.0 dwelling units per acre, respectively. Single-family residential is a permitted use within the Suburban and Residential Estates land-use designations. Further, the proposed design of the 46-units is consistent with General Plan Policies 1.11 and 3.9 in that:

Community Character Policy 1.11: the proposed architectural designs contain very limited building materials which would create incompatible glare. The primary materials proposed consist of stucco and stone, along with wrought iron, wood, and other non-glaring decorative features;

Residential Development Policy 3.9: the proposed design incorporates shade trees and landscaping that would enhance resident quality of life. Further the proposed architectural designs pick up on themes from existing residential neighborhoods within the area, including incorporation of stucco exterior facades and Spanish styles as seen in the subdivision located directly east of the project site.

Exhibit “D”

PLANNING CASE NO. PL23-0440

CONDITIONS OF APPROVAL

This Project is conditionally approved as set forth on the design review plans received by the City of Escondido on January 01, 2024, and the Project architectural design plan consisting of Plotting Plan, Floor Plans, and Architectural Colored Elevations; all designated as approved on July 09, 2024, and shall not be altered without express authorization by the Development Service Department.

For the purpose of these conditions, the term “Applicant” shall also include the Project proponent, owner, permittee, and the Applicant’s successors in interest, as may be applicable.

A. General:

1. **Acceptance of Architectural Design Plan.** If the Applicant fails to file a timely and valid appeal of this Design Review process within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
 - a. Acceptance of the Architectural Design Review by the Applicant; and
 - b. Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Architectural Design Review process or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Architectural Design Plan.
2. **Certification.** The Director of Development Services, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Architectural Design Plans and any other relevant document comprising the design review in its entirety, as necessary to make them internally consistent and in conformity with the final action on the architectural design plans. This includes amending the architectural design plans as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. A final Approved Architectural Design Plan set, shall be submitted to the Planning Division for certification electronically. Said plans must be certified by the Planning Division prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.

3. Conformance to Approved Architectural Design Plans.

- a. The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated within the architectural design plan set.
- b. Nothing in this shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this architectural design plan set.
- c. Once architectural design plan has been approved, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the Director of Development Services to be in substantial conformity with the approved architectural design plan set, including all exhibits and conditions attached hereto. Modifications beyond the scope described in the architectural design plan set may require submittal of an amendment to the architectural design plan and approval by the authorized agency.

- 4. Compliance with Federal, State, and Local Laws.** Nothing in this architectural design plan process shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this architectural design plan. The approval of the architectural design plan does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this architectural design plan process approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this architectural design plan process is conducted in full compliance with all local and state laws.

B. Construction, Maintenance, and Operation Obligations:

- 5. Code Requirements.** All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code, California Building Code; and the requirements of the Planning Division, Engineering Services Department, Director of Development Services, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of the architectural design plan request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.
- 6. Signage.** All proposed signage associated with the Project must comply with Article 66 (Sign Ordinance) of the Escondido Zoning Code. Separate sign permits will be required for Project signage. All non-conforming signs shall be removed. The Applicant shall submit with any sign permit graphic/list of all signs to be removed and retained, along with any new signage proposed.

7. **Lighting.** All exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
8. **General Property Maintenance.** The property owner or management company shall maintain the property in good visual and functional condition. This shall include, but not be limited to, all exterior elements of the buildings such as paint, roof, paving, signs, lighting and landscaping. The Applicant shall paint and re-paint all building exteriors, accessory equipment, and utility boxes servicing the Project, as necessary to maintain clean, safe, and efficient appearances.
9. **Anti-Graffiti.** The Applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement, including all areas of the job site for when the Project is under construction.
10. **Roof, Wall, and Ground Level Equipment.** All mechanical equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.

C. Specific Planning Division Conditions:

1. The applicant shall be responsible for ensuring that all Conditions of Approvals identified included as Exhibit "D" to this resolution, are implemented.



STAFF REPORT

DATE: July 09, 2024

PL24-0082 – 2023 General Plan Annual Progress Report

PROJECT NUMBER / NAME: PL24-0082 - 2023 General Plan Annual Progress Report

REQUEST: The Planning Commission receive and file the 2023 calendar year General Plan Annual Progress Report.

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido, Development Services Department

GENERAL PLAN / ZONING: N/A

PRIMARY REPRESENTATIVE: Pricila Roldan, Associate Planner

DISCRETIONARY ACTIONS REQUESTED: N/A

PREVIOUS ACTIONS: The Planning Commission received and filed the 2022 General Plan Annual Progress Report on April 11, 2023.

The Planning Commission received and filed the 2023 Housing Element Annual Progress Report on April 9, 2024.

CEQA RECOMMENDATION: Not a “Project” under CEQA pursuant to CEQA guidelines section 15378(b)(5).

STAFF RECOMMENDATION: Receive and file

REQUESTED ACTION: None

CITY COUNCIL MEETING REQUIRED: YES NO

REPORT APPROVALS: Dare DeLano, Senior Deputy City Attorney

Veronica Morones, City Planner



CITY of ESCONDIDO

STAFF REPORT

BACKGROUND

The General Plan is the City’s blueprint for the future of development. It serves as a guiding document for how the City of Escondido will grow and meet the future needs of its residents by establishing a vision, along with goals, policies, and programs to enact the community vision. The Escondido City Council adopted a comprehensive update to the General Plan on December 12, 2012. Since the update, City decision-makers continue to implement the General Plan.

Government Code sections 65400 and 65700 mandates cities and counties submit annual reports on their general plan, including progress on its implementation, by April 1st of each year to various state agencies. The annual report gives state agencies the opportunity to identify statewide trends in land use decision-making and how local planning and development activities relate to statewide planning goals and policies. There is no required format for reporting on the General Plan other than identifying progress made for all General Plans chapters within the last calendar year, with exception of the Housing Element. Housing Elements are subject to their own required form as supplied by the State Department of Housing and Community Development, which the Planning Commission and City Council received and filed earlier this year. The General Plan annual progress report (“General Plan APR”) covers implementation actions and progress made for each of the General Plan’s 10 chapters.

SUMMARY OF REQUEST

Receive and file the 2023 General Plan APR, documenting the City’s progress on implementing the General Plan for the 2023 calendar year.

SUPPLEMENTAL DETAILS OF REQUEST

The General Plan APR provides a qualitative evaluation on the implementation of the General Plan, which includes, but is not limited to, topics such as transportation, housing, community and civic engagement, safety, and conservation. The annual progress report facilitates reflection by decision-makers, staff, and the public and sparks questions like: are the City’s General Plan programs effective; and, should City leadership elevate any priorities? Deliberation from decision-makers provides City leadership with an opportunity to determine areas of improvement for future years.

State law governing general plans requires staff provide City Council with the annual progress report by April 1st of each year. However, due to staffing capacity and resource issues, the item was not completed and ready for review until June of 2024. There are no repercussions outlined in the statute for submitting the General Plan APR late, therefore staff are continuing to move forward by presenting to Planning Commission and subsequently to City Council.

PROJECT ANALYSIS

The matrix below summarizes each element, their objective, and notable implementation actions that took place during the 2023 calendar year:

**Note: The matrix below contains links that provide additional resources and information. Readers are encouraged to review and learn more.*



CITY of ESCONDIDO

STAFF REPORT

| General Plan Chapter | Objective | Notable Implementation Actions (2023 Calendar Year) |
|---|--|--|
| Land Use and Community Form | Determine where residential, employment, commercial, recreational, open space activities would occur within the City in order to create balanced communities | City issued building permits for 420 units for the Palomar Heights mixed-use development, increasing the City's progress in achieving our regional housing need allocation (RHNA). |
| Mobility and Infrastructure | Evaluate public utilities and the transportation network including local streets, bike lanes, sidewalks, water and sewer to improve public infrastructure | Staff kicked off the Comprehensive Active Transportation Strategy (CATS), which will inform an update to Mobility and Infrastructure chapter. The engineering department collected public input in person and virtually. Online community feedback can be viewed on Social Pinpoint. |
| Housing | Identify goals, policies, and programs that will help meet the City's future housing needs | Per State law, Housing Elements must be updated every eight years and certified by the California Department of Housing and Community Development. The City received certification of the Housing Element by the State in December of 2023. |
| Community Health and Services | Improve access to healthy foods, parks, recreation, and civic engagement | In 2023, the City promoted public health and welfare by organizing various recreation programs including soccer, softball, hockey tournaments, and childcare services. |
| Community Protection | Address emergency response including police services, fire, among other hazards | The Fire Department operated with an average response time of 7-minutes and 34-seconds, four seconds off of the General Plan's Quality of Life Standard of 7-minutes and 30-seconds. The Police Department (PD) maintained 2.5 million dollars' worth of grants funding PD programs and positions. |
| Resource and Conservation | Conserve Escondido's natural and scenic resources by protecting resources like agriculture, energy, and water quality | Engineering achieved 90% design for the Kit Karson Park bridge project, bringing it one step closer to completion. |
| Growth Management | Balance the timing between infrastructure improvements and population growth to improve public services | City Council set the citywide CFD levy to \$0.00, and subsequently rescinded the citywide CFD. |



CITY of ESCONDIDO

STAFF REPORT

| | | |
|-------------------------------------|--|--|
| Economic Prosperity | Promote the long- term vitality of Escondido’s local economy | City Council adopted the Comprehensive Economic Development Strategy (CEDS) on June 7, 2023 highlighting strengths and areas of economic improvement for the City. |
|-------------------------------------|--|--|

More information on the General Plan’s elements and implementation actions can be found in the 2023 General Plan APR report, found under Attachment 1.

FISCAL ANALYSIS

There are no direct fiscal impacts associated with this progress report.

ENVIRONMENTAL ANALYSIS

The General Plan Annual Progress Report is a reporting document and does not create or alter policy. The content is provided for informational purposes only and is not considered a “Project” under the California Environmental Quality Act (“CEQA”), CEQA guidelines section 15378(b)(5). This informational item provides a means to monitor the success of implementing the General Plan and review what was implemented during the 12-month reporting period. All counties and cities in the state are required to submit the annual report pursuant to Government Code section 65400.

PUBLIC INPUT

City staff received no public comment as of the publishing date of this report.

CONCLUSION AND RECOMMENDATION

Receive and file.

ATTACHMENTS

1. 2023 General Plan Annual Progress Report



City of Escondido
General Plan
Annual Progress Report
2023

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11. APPENDIX F: 2023 CLIMATE ACTION PLAN ANNUAL MONITORING REPORT 11-1

NOTES:

1. Placeholder dates will be updated once the General Plan APR is scheduled for City Council review.
2. The Escondido Climate Action Plan is scheduled for City Council review in August 2024. The link in this document directs to the City’s CAP webpage, which will include the 2023 APR.

1. Introduction

The General Plan Annual Progress Report provides a snapshot of activities carried out by the City during the 2023 calendar year. Updates from the progress report provide an opportunity for Escondido leadership and the public to evaluate efforts to bring the General Plan to life. The General Plan Progress Report was presented to City Council on [DATE].

1.1 Purpose of the General Plan

The General Plan is a city’s blueprint for the future. It serves as a guiding document for how the City of Escondido will grow and meet the future needs of its residents. California Government Code sections 65300 and 65400 require each city and county to adopt, update, and annually report on the General Plan’s implementation. A General Plan must consist of seven different components called “elements.” These elements address various topics including housing, transportation, and safety. For example, the City’s Circulation Element deals with transportation improvements while the Safety Element identifies and addresses natural hazards like flood areas, wildfire zones, and seismic threats. Within each element, a city identifies goals and policies that help implement a city’s vision for residents. Just like the Constitution of the United States, a city’s general plan is the foundation for decision making.

1.2 A General Plan’s Required Elements

California law identifies seven elements required in a General Plan: Land Use, Circulation, Housing, Safety, Noise, Conservation, and Open Space. However, the City of Escondido’s General Plan consists of ten chapters. The City’s General Plan includes three optional chapters:

- The Community Health and Services chapter
- The Growth Management chapter
- The Economic Prosperity chapter

A full description of all chapters is provided in [Appendix B](#).

In 2018, Senate Bill (SB) 1000 went into effect, requiring cities to identify “disadvantaged communities” and ways to address inequities as they relate to park, healthy food, housing and public facility access, as well as civic engagement. As a result, the City kicked off the 2022 General Plan Amendment (“2022 GPA”) at the beginning of 2022 to amend the Community Health and Services chapter as it relates to SB 1000, and to amend the Community Protection chapter of the General Plan for compliance with Government Code section 65302(g).

Cities that are part of the San Joaquin Air Pollution Control District (“San Joaquin Valley APCD”) must also include an air quality element in their general plans. Since the City of Escondido is not part of the San Joaquin Valley APCD, the General Plan is not required to maintain an air quality element.

1.3 General Plan Updates

Generally, a general plan is comprehensively updated on a 15-to-20-year horizon. However, certain elements, including the Housing Element, Safety Element, and Open Space Element are updated more frequently, pursuant to State law. Escondido’s General Plan was last comprehensively updated in 2012. The City updated the Housing Element in 2021, with a subsequent amendment in 2023, and received final certification from the State in 2023. The adopted General Plan continues to serve as a relevant document to guide

the development of the City. In 1995, California’s Supreme Court declared that local governments have an implied duty to keep their plans current (*DeVita v. County of Napa, 9 cal. 4th 763*). Keeping General Plans up to date allows cities to adequately address and

respond to emerging trends. Figure 1 outlines the General Plan Update Work Program and identifies the latest and forthcoming updates.

Figure 1 - General Plan Update Work Program

| General Plan Element | Last Updated | Next Suggested Update | Amendment Summary |
|--------------------------------------|-------------------|-----------------------|---|
| <u>Vision and Purpose</u> | 2012 | ---as needed--- | -- |
| <u>Land Use and Community Form</u> | 2024 ¹ | 2033 | The 2024 amendment is a consistency amendment to align the element with the last specific plan adopted by the City. |
| <u>Mobility and Infrastructure</u> | 2012 | Underway | Changes will evaluate road segments, and advance the Mobility Element's complete streets concept. |
| <u>Housing</u> | 2023 | 2029 | Changes completed in 2023 satisfy Gov. Code section 65580. |
| <u>Economic Prosperity</u> | 2012 | 2027 | -- |
| <u>Community Health and Services</u> | 2021 | Underway ² | Changes entail compliance with Gov. Code section 65302(h) and would retool the Community Health and Services chapter. |
| <u>Community Protection</u> | 2012 | Underway ² | Changes entail compliance with Gov. Code section 65302(g). |
| <u>Resource and Conservation</u> | 2012 | 2025 | Gov. Code section 65565.5 requires jurisdictions update their Open Space elements by Jan. 1, 2026. |
| <u>Growth Management</u> | 2012 | 2027 | -- |
| <u>Implementation Program</u> | 2012 | ---as needed--- | -- |

¹ The Land Use and Community Form chapter is under review for amendment as it relates to the East Valley Specific Plan.

² Current efforts to update both chapters are on hold due to staff capacity.

2023 General Plan Updates

Housing Element Update

State law requires the California Department of Housing and Community Development (“HCD”) evaluate the state’s housing needs every eight years. As a result, HCD determines the number of housing units needed to meet future population growth and housing demand; this number is known as the Regional Housing Needs Determination (RHND). The RHND is distributed among California cities who are then required to plan for the allotted number also known as the Regional Housing Needs Allocation (RHNA). The most recent RHNA allocation occurred in 2021. The allocation kicked off the sixth housing element cycle (“Sixth Cycle”) which began in 2021 and will end in 2029.

On August 11, 2021, the Escondido City Council adopted an updated version of the Housing Element; however, HCD identified outstanding issues requiring additional changes. On March 22, 2023 City Council adopted an updated version on the Housing Element which achieved State compliance in December of 2023.

Community Protection and Community Health and Services Update (SB 1000 compliance)

Escondido’s Community Protection chapter is synonymous to the Safety Element, one of the seven required General Plan chapters. Safety Elements are intended to identify hazard areas and reduce safety risks. Government Code section 65302(g) requires cities to update the Safety Element after a Housing Element is revised so that a Safety Element’s analysis accounts for new housing estimates.

In early 2022, staff began updates to the Community Protection chapter in conjunction with creation of an Environmental Justice Element pursuant to Government Code section 65302(h). The joint effort is known as the 2022 General Plan Amendment (“2022 GPA”).

Efforts to finalize the undertaking are on hold due to staffing issues.

The Community Health and Services chapter is an optional element of the City’s General Plan. The topics and structure of this element make it a logical location to accommodate the requirements of SB 1000 (Gov. Code sec. 65302(h)). This work effort is a part of the 2022 GPA, which is temporarily on hold until staff capacity increases.

In an effort to ensure capacity issues do not continue to impede the 2022 GPA, City staff applied for an amendment to the grant monies funding the environmental review in June of 2024. The Smart Growth Incentive Program (SGIP) grant amendment filed by the City would allow for the award scope to cover consultant costs to perform the completion of the amendment and conduct environmental review. The requested amendment is currently under review by the awarding agency, the San Diego Association of Governments (“SANDAG”).

2024 General Plan Updates

In the 2024 calendar year, staff intend to finalize an update to the Mobility and Infrastructure chapter as a part of the Comprehensive Active Transportation Strategy (CATS). The update would reclassify roadways; incorporate changes from the 2021 SANDAG Regional Transportation Plan and Sustainable Communities Strategy; and introduce an active transportation strategy that will help provide more infrastructure for biking and walking.

2. The General Plan Implementation Progress

The following sections outline General Plan implementation actions that occurred in 2023. Each section addresses one of the City’s General Plan chapters. For example, Chapter 2.1 speaks to the Land Use and Community Form chapter, and Chapter 2.2 speaks to the Mobility and Infrastructure chapter.

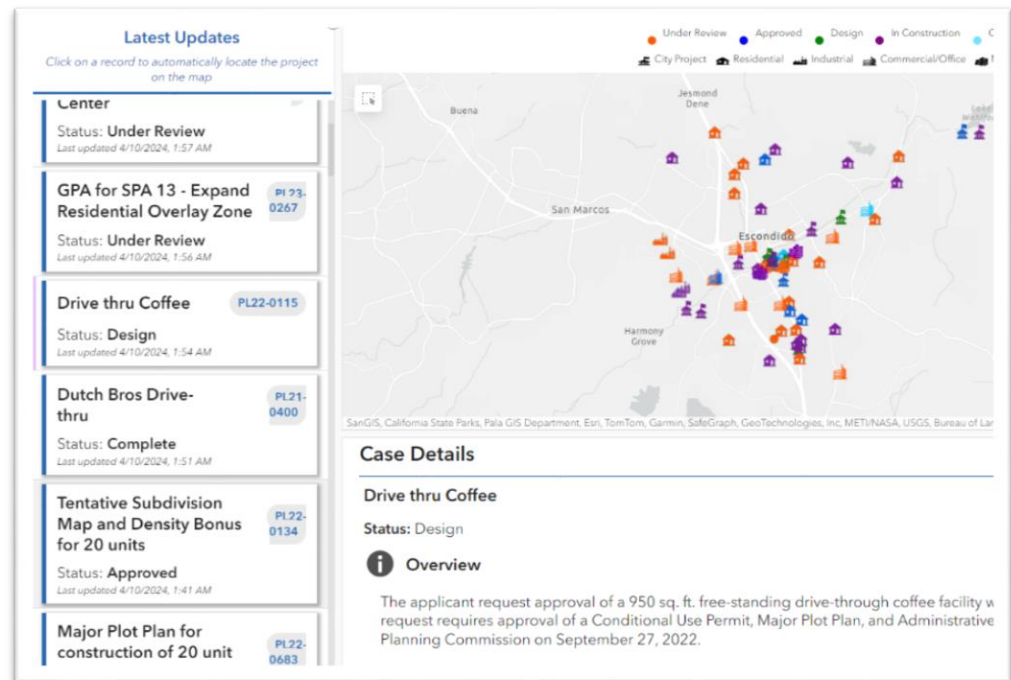
2.1 Land Use and Community Form Element

The Land Use and Community Form chapter (“Land Use Element”) arranges and designs land uses so they are balanced with future population growth, development, and community changes. These include residential, employment, commercial, recreational, civic/cultural and open space land uses. The Land Use Element provides the appropriate intensities, locations and combinations to enhance community sustainability. One of the most significant goals identified in the Land Use Element is to foster the city of Escondido’s role as an urban center through the revitalization of the downtown and established neighborhoods; economic development in the form of attractive, sustainable, economically viable industrial and commercial areas; and high intensity activities in the urban core. Topics or policy issue areas covered in the Land Use Element include the following:

- Community Character
- Land Use Zoning
- Residential Development
- Residential Clustering
- Planned Development
- Mixed Use Overlay Zones
- Commercial Land Uses
- Office Land Use
- Industrial Land Use
- Specific Plan Area Land Use
- Open Space/Park Land Use
- Public Facility Overlay
- Tribal Area Land Use
- Development Agreements
- Annexation
- General Plan Review and Amendments
- Environmental Review

provides an activity dashboard (see [Major Development Activity Dashboard](#)) via the City’s webpage. The dashboard provides information regarding private and public development. More information can be found under [Appendix C](#).

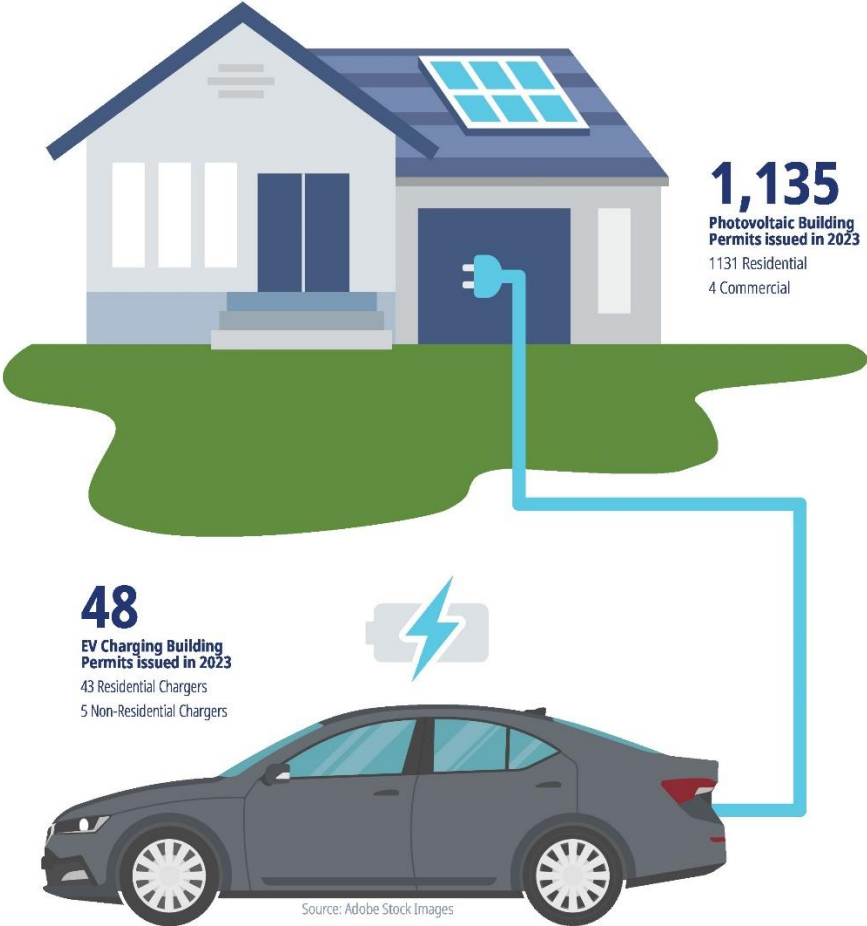
Major Development Activity Dashboard



Key Implementation Actions in 2023

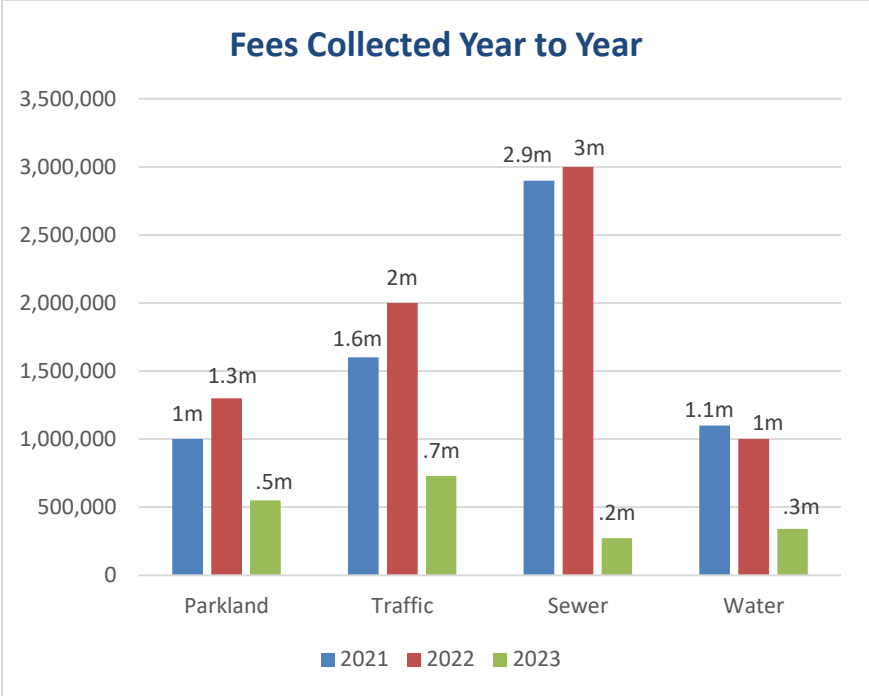
The private market plays an extensive role in the development of Escondido. Businesses and real estate developers submit applications to the City in order to bring projects to life. The City

In 2023, 77% of building permit applications were submitted through the City’s online portal. The Building Division issued a total of 3,882 permits, and conducted 12,839 inspections—roughly 6.2 inspections per hour.



Total Fees Collected through Building Permits: \$2,604,838.00

- Parkland: \$548,749.00
- Sewer: \$727,567.00
- Traffic: \$271,501.00
- Water: \$340,534.00



The valuation of Building Permits in 2023 totaled \$2,604,838—a 98% decrease from 2022 due to a deferred payment from the Palomar Heights project. The graph above shows the 2023 fees in comparison to 2022 by fee type.

Major Development Projects

Palomar Heights:

In 2021, City Council approved the Palomar Heights mixed-use development. The 13.8-acre site will be developed with 258 apartment units, 90 senior apartment units, and 162 row-homes and villas, totaling 510 units. In 2023 the City’s building division issued building permits for the developer to begin construction on 420 of those units. More information about the project can be found at: [palomarheights - City of Escondido](https://www.escondido.gov/palomarheights).

City Led Projects

2023 Omnibus Zoning Code Amendment:

The City commenced its annual zoning code update in late 2023. On October 11, 2023, City Council approved the series of minor changes in an effort to provide consistency, clean up, and conformance with State law.

Certification of the General Plan’s Housing Element:

California State law requires cities to update their Housing Element every eight years. State law also requires that the California Department of Housing and Community Development (HCD) review and approve Housing Elements to ensure they adequately plan for future housing needs and comply with state law.

On December 12, 2023, HCD notified the City of the Housing Element’s compliance with State law. In 2024, staff will be able to shift to focus and prioritize implementation of the Housing Element’s programs.



Palomar Heights Development

East Valley Specific Plan:

On July 19, 2023, City Council adopted the EVSP. Development and adoption of the East Valley Specific Plan (EVSP) has been critical to the certification of the City’s Housing Element. The EVSP rezoned approximately 191 acres adjacent to and east of downtown Escondido to focus on residential growth.

The full document can be accessed here: [08.09.23 EVSP Final.pdf \(escondido.org\)](https://www.escondido.org/08.09.23_EVSP_Final.pdf)

Anticipated Implementation Actions

- Streamline Development Services Department process and operations.
- 2024 Annual Zoning Code Amendment (“2024 Omnibus”)
- Pre-Approved Accessory Dwelling Unit (PAADU) Program

2.2 Mobility and Infrastructure Element

The Mobility and Infrastructure chapter serves as the mandatory Circulation Element. It is one of the seven mandated elements that every local government must have in its general plan. The Mobility and Infrastructure chapter evaluates the transportation network including local streets, bike lanes, sidewalks, and transit routes. The chapter also assesses local public utilities and infrastructure capacity to meet housing, commercial, and other development needs. The Mobility and Infrastructure chapter identifies the types of projects, locations, and guiding policies needed to adequately serve residents. Items discussed in the Mobility and Infrastructure chapter include Escondido’s:

- Regional Transportation Planning
- Complete Streets
- Pedestrian Network
- Bicycle Network
- Transit System
- Transportation Demand Management
- Street Network
- Parking
- Traffic Calming
- Goods and Services Transport
- Aviation
- Water System
- Wastewater System
- Storm Drainage
- Solid Waste and Recycling
- Energy
- Telecommunication

Key Implementation Actions

Citracado Parkway Extension Project: The Citracado Parkway Extension Project will improve traffic and pedestrian circulation by building a bridge over Escondido Creek and adding an additional lane in the median of Citracado Parkway between Valley Parkway and Avenida del Diablo. Construction is 71% complete. Multiple phases of the project began in 2023. Information and status updates on the project can be found at:

<https://www.escondido.org/citracado-parkway-extension-project.aspx>.

Comprehensive Active Transportation Strategy (CATS): The CATS seeks to better connect Escondido’s pedestrian and bike network by improving sidewalks, crosswalks, and bicycle facilities. In 2023, staff kicked off the project by contracting with Fehr and Peers, a transportation-solutions consulting firm who, among other things, helped conduct transportation data analysis and outreach. In 2024, staff will evaluate designs and programs that further the General Plan’s Complete Streets vision, including ways to provide first and last mile connections with carsharing, bike sharing, and other on-demand services through the state’s [Clean Mobility Options Voucher Pilot Program \(CMO\)](#). Feedback collected from

public outreach conducted in 2023 can be viewed through the project’s Social Pinpoint interactive map:

[Interactive Feedback Map | Escondido Mobility | F&P Social Pinpoint \(mysocialpinpoint.com\)](#)

Capital Improvement Program

The City’s Capital Improvement Program (“CIP”) plans for the maintenance and repair of the City’s facilities over a five-year period. Projects can include park improvements, sidewalk rehabilitation, stormwater maintenance and more. The current CIP cycle covers Fiscal Years 2023 through 2027. Information below provides an overview of CIP projects that took place in 2023.

TABLE 1 – 2023 CAPITAL IMPROVEMENT PROJECTS

| Project Type | Number of Projects | Cost |
|-------------------------------------|--------------------|---------------------|
| Roads and Infrastructure* | 10 | \$81,451,000 |
| Parks and Recreation Facilities** | 5 | \$7,544,000 |
| New Traffic Signal Installations*** | 4 | \$4,250,000 |
| Total | 19 | \$93,245,000 |

* Refer to Table 2 for project list
** Refer to Table 3 for project list
*** Refer to Table 4 for project list

In 2023, the City worked on a total of 19 CIP projects. The sections below provide specifics on the types of projects City staff carried out and their respective costs.

Road & Infrastructure Projects

The City’s Street Rehabilitation and Maintenance Program repairs and improves the driving conditions of streets and sidewalk pavement by surveying City streets and considering anecdotal feedback. The Street Rehabilitation and Maintenance Program divides the City into eight geographical zones which can be found in [Appendix D](#). Generally, projects under the program follow a three-step process: (1) planning and design, (2) construction, and (3) completion. In 2023, The City made progress on a number of road and infrastructure projects. The status of the projects in Table 2 fall under one of the three steps mentioned. Additional information on the City’s Capital Improvement Program can be found at: <https://www.escondido.org/city-of-escondido-street-maintenance-program>.

TABLE 2 - ROAD & INFRASTRUCTURE PROJECTS

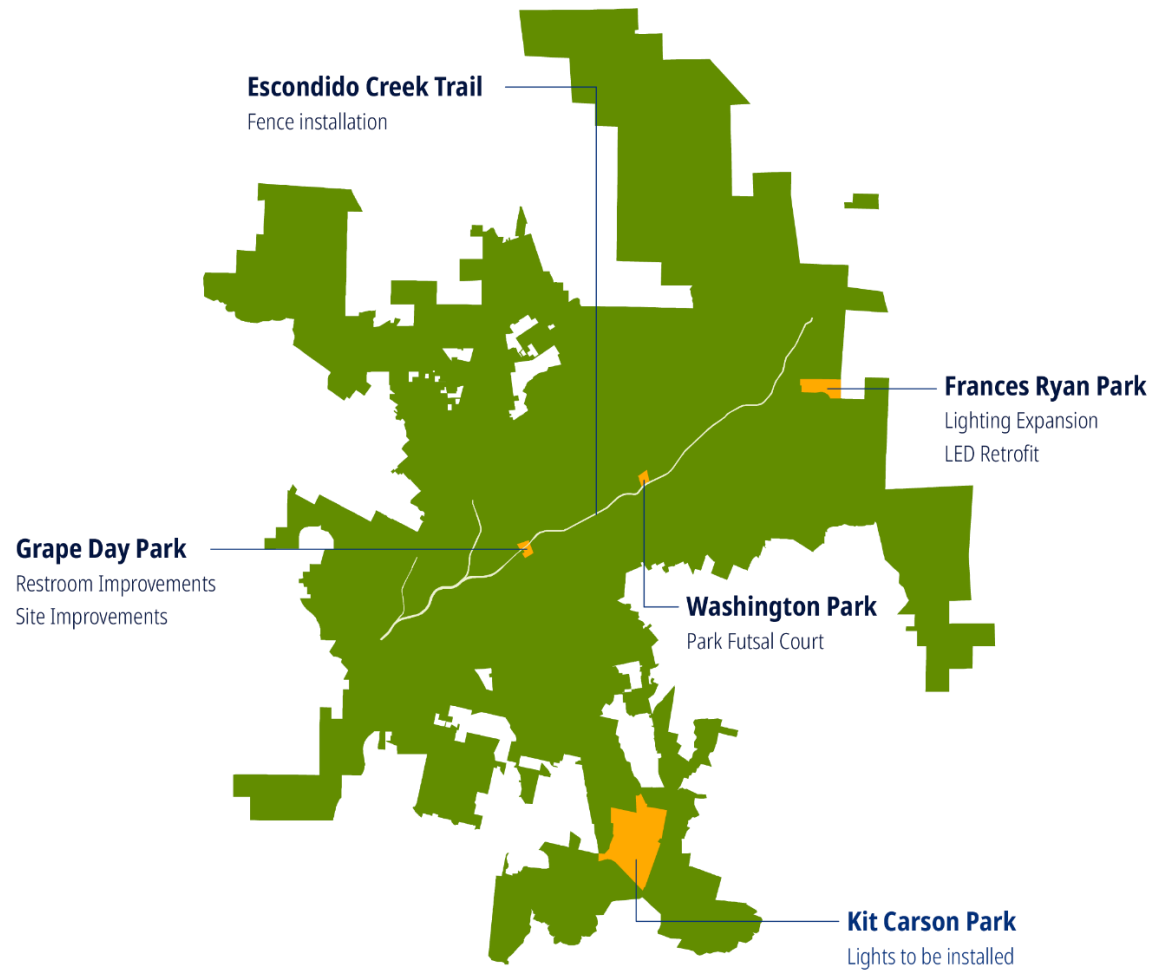
| Project Name | Description | Status in 2023 |
|---|--|---------------------------------------|
| Street Rehabilitation and Maintenance* | Replace sidewalk and other damaged concrete (East North Zone) | Construction contract awarded |
| Street Rehabilitation and Maintenance | Replace sidewalk and other damaged concrete (East South Zone) | Complete |
| Street Rehabilitation and Maintenance | Street re-pavement (East North Zone) | Design in progress |
| Grand Avenue Vision | Widen sidewalks, expand on-street parking, and provide decorative lighting to the downtown area. | Design completed |
| Citracado Parkway Extension | Extend Citracado Parkway from Andreasen Drive to Harmony Grove Village Parkway with a new bridge over Escondido Creek. | Construction ongoing |
| Juniper Street Pedestrian Lighting Improvements | Provide lighting on Juniper Street between 5th Ave and 9th Avenue | Design completed |
| Juniper Elementary Safe Routes to School | Construct a pedestrian pathway, a Class II bicycle lane, and improve traffic signals near Juniper Elementary. | Construction completed in 2023 |
| Valley Parkway Sidewalk Improvement | Replace the existing asphalt sidewalk area with concrete sidewalk and improve landscaping | Design |
| Stormwater drainage Rehabilitation | Re-line or replace damaged corrugated metal pipes | Construction in progress |
| Creek Trail Expansion Project | Expand existing Creek Trail and add lighting, fencing, landscaping, and recreational equipment | Design completed |

Parks & Recreation Facilities

The City maintains a total of 11 urban parks and recreational facilities including Dixon Lake, Lake Wohlford, and Daley Ranch. City staff carried out the park improvement projects identified in Table 3 during the 2023 calendar year.

TABLE 3 - PARKS & RECREATION FACILITIES

| Project Name | Status in 2023 |
|---|--------------------------|
| Kit Carson Park Lighting Project | Complete |
| Escondido Creek Trail Fencing Project | Complete |
| Grape Day Park Restroom and Site Improvements | Design |
| Ryan Park Lighting Expansion and LED Retrofit | Design |
| Washington Park Futsal Court | Design completed in 2023 |



New Traffic Signal Installations

Installations and upgrades of traffic signals occur throughout the City. Traffic signal installation can be a component of a large City led project or private development. For the purposes of reporting, the General Plan Annual Progress Report reports on new, standalone traffic improvement installations.

TABLE 4 – NEW TRAFFIC SIGNAL INSTALLATIONS

| Project Name | Status in 2023 |
|---|--------------------|
| Bear Valley/Mary Lane Signal Modification | Complete |
| Quince/Tulip Pedestrian Signals (x2)* | Complete |
| South Escondido Access Improvement | Design in progress |

**Two traffic signals installed as part of the project*

Anticipated Implementation Actions

- Update and integrate our existing Bikeway Master Plan and Trails Master Plan with a Pedestrian Master Plan, prepared as a Complete Active Transportation Strategy for the City.
- Develop and implement a Transportation Demand Management Program.

2.3 Housing Element

Escondido’s Housing chapter identifies the goals, policies, and programs that will help meet the City’s future housing demand, otherwise known as the Regional Housing Needs Allocation (RHNA). Cities must plan for and attempt to actualize the assigned RHNA numbers by the end of the California Department of Housing and Community Development’s (HCD) planning period, which runs from 2021 to 2029. The most recent planning period is known as the “Sixth Cycle”. As part of the Sixth Cycle, Escondido received an allocation (i.e., “a RHNA”) of 9,607 units and must aim to meet its RHNA by 2029.

TABLE 5 - CITY OF ESCONDIDO’S SIXTH CYCLE RHNA NUMBERS

| | <i>Income level</i> | | | | <i>Total</i> |
|------------------------|-----------------------|-----------------|-------------|-----------------|--------------|
| | <i>Above Moderate</i> | <i>Moderate</i> | <i>Low</i> | <i>Very Low</i> | |
| <i>RHNA Allocation</i> | 4,967 units | 1,527 units | 1,249 units | 1,864 units | 9,607 units |

The Housing chapter identifies strategies and programs that will help meet Escondido’s RHNA numbers. Items covered include:

- Conservation and improvement of affordable housing
- Provision of adequate housing sites to meet the projected housing demand
- Removal of governmental and other constraints to housing development
- Compliance with State laws
- Application of Affirmatively Furthering Fair Housing (“AFFH”)

Key Implementation Actions

The City tracks and provides data on annual housing activity to the HCD via a separate housing report. Refer to [Appendix E](#) to view the 2023 Housing Element’s Annual Progress Report.

Anticipated Implementation Actions

- Develop a Pre-Application Accessory Dwelling Unit (PAADU) Program
- Housing related zoning code updates for compliance with State law

2.4 Community Health and Services

The Community Health and Services chapter is not a required Element by State Law. However, the City adopted the chapter to improve access to healthy foods, parks, recreational opportunities, libraries and cultural services, educational advancement, and civic engagement in the City. Partnerships with community-based organizations and private sector partners help deliver the chapter’s objectives. Topics covered in the Community Health and Services chapter include:

- Health and Wellness
- Parks and Recreation
- Library Services
- Cultural Enrichment
- Schools and Education
- Civic Engagement
- Childcare
- Older Adult, Disabled, and Disadvantaged Communities

Key Implementation Actions

Older Adults and Nutrition Programming: The Park Avenue Café Nutrition Program is sponsored by the City of Escondido and the County of San Diego Aging and Independence Services. The program promotes healthy and nutritionally balanced lunches for seniors Monday through Friday. In 2023, over 22,442 meals were served to older adults at the Park Avenue Community Center. The City also provided roughly 8,306 rides to the center for seniors within the community.

Childcare and Afterschool Programming:

In 2023, the City held three day-camp programs, 60 preschool programs, and five before and after school programs. A total of 297 children were enrolled in before school programs while 397 children were enrolled in after school programs. Over 600 students are enrolled in school programming which generated about \$1.16M in revenue.

Other notable implementation actions that occurred in 2023 are illustrated below.



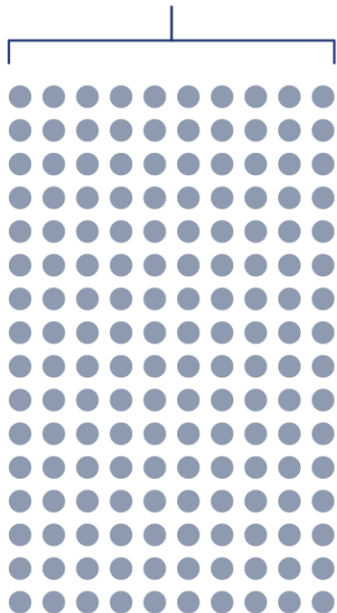
8

Soccer Tournaments in 2023
Youth and Adult



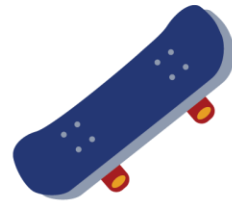
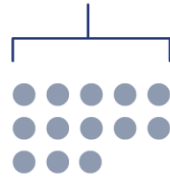
16,000

Participants in 2023



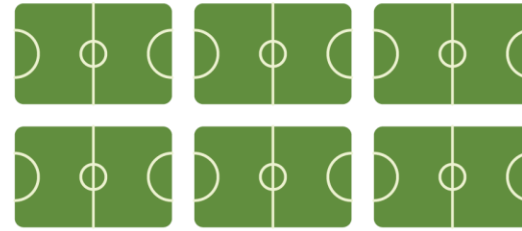
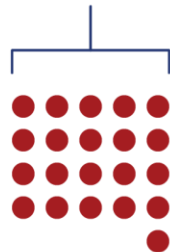
1,292

Participants in the youth soccer program in 2023



2,115

Participants/visits at the skate park in 2023



6

Youth soccer, pop warner, and baseball leagues in 2023



1,308

Participants in 2023



109

Adult hockey teams in 2023

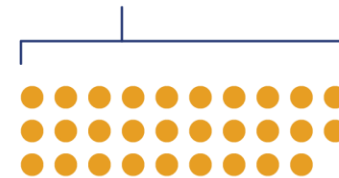


226

Adult softball teams in 2023

2,900

Participants in 2023



● = 100 Participants

Anticipated Implementation Actions

- Develop a Public Art Strategic Plan.
- Install final National Fitness Campaign Fitness Court.
- Complete upgrades and improvements to Washington Park, including improved netting at tennis courts.
- Construct dedicated pickleball courts at Mountain View Park.
- Upgrade Washington Park Pool including new flooring, replacement of diving blocks, and construction of a shade structure.

2.5 Community Protection

Escondido’s Community Protection chapter addresses issues such as flood and fire hazards, geologic and seismic activity, and hazardous materials. Sections regarding Emergency Preparedness, Police, and Fire service are also included. The chapter also includes a section addressing noise, which is a required component for general plans. The purpose of the Community Protection chapter is to identify and address the most relevant public safety issues affecting the community. In addition, the Element offers solutions, standards, and policies for proactively addressing threats to life and property. Topics or issue areas covered in include:

- Disaster Preparedness and Emergency Response
- Fire Protection
- Police Services
- Code Enforcement Policies
- Noise
- Flood Protection
- Solis and Seismicity
- Hazardous Materials

Key Implementation Actions

Three departments spearhead the implementation of the Community Protection Element:

Escondido Fire Department (EFD)

The EFD maintains a staff of 87 firefighters, 15 non-safety paramedics/EMTs, six chief officers, a Deputy Fire Marshall and Emergency Preparedness Manager, and four administrative staff. The City maintains seven fire stations within City limits, and is working to replace old and outdated equipment annually, as available. In 2023, the EFD operated with an average response time of 7-minutes and 34-seconds, meeting the General Plan’s established Quality of Life Standard 86% of the time.

Escondido Police Department (EPD)

The EPD operates out of the Police and Fire Headquarters located in central Escondido. There is a total of 160 sworn police officers, including 1 grant funded position. In 2023, EPD maintained 26 grant awards totaling nearly 2.5 million dollars. The EPD also collaborated with regional partners to address issues of community and police

relations. Chief Varso attended community groups and answered questions, listened to concerns, and explained EPD policies.

Code Compliance

The Code Compliance Division protects life, safety, and property through the enforcement of City codes and standards. This includes the maintenance and regulation of property, buildings, and structures in the City. The Division also enforces the requirements for the licensing of all persons conducting business within the City of Escondido.

In 2023, the Citywide Impact Team was created to tackle some of the most difficult issues facing the City, including but not limited to disrepair, lawlessness, and disorder, specifically in relation to unsheltered populations’ impacts on property. The Impact team is made up of key members from various departments and divisions, such as EPD, Code Compliance, City Manager’s Office, the City Attorney’s Office, Planning, Building, Parks and Recreation, and Public Works. The Impact group uses a synergistic approach to work collaboratively at solving complex city/societal issues.

FIRE



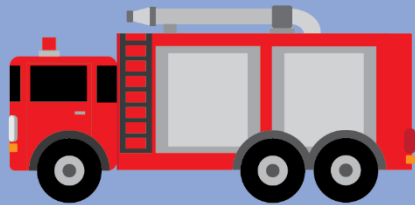
357

Proactive inspections in Very High Fire Hazard areas

152

Defensible Space Inspections completed in 2023

In compliance with Assembly Bill 38



Implemented

Tier Dispatch

Completed

The update to the Multi-Jurisdiction Hazard Mitigation Plan

Launched

The EMS Program Study and EMS Fee Analysis launched in November 2023

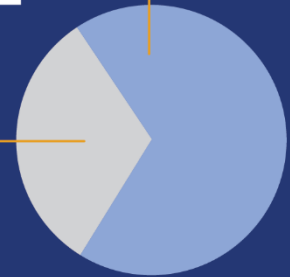
CALLS



68% Non-Emergency



32% Emergency (9-1-1)



94,109

Total Calls for Service in 2023

CODE COMPLIANCE



3 cases

Referred to the City Attorney's Office



1628

Code Compliance Cases

Resulting in

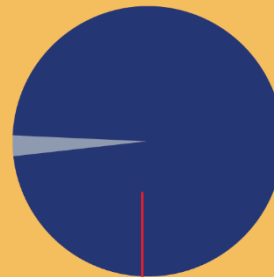
3452

Inspections



1,525

Code compliance cases in 2023



98% closed voluntarily by property owner

POLICE



6,256

Parking citations issued



1,969

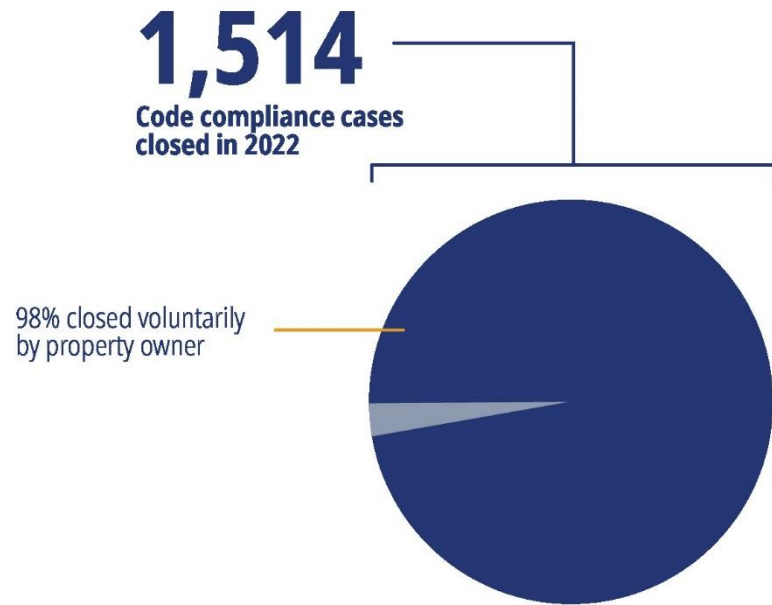
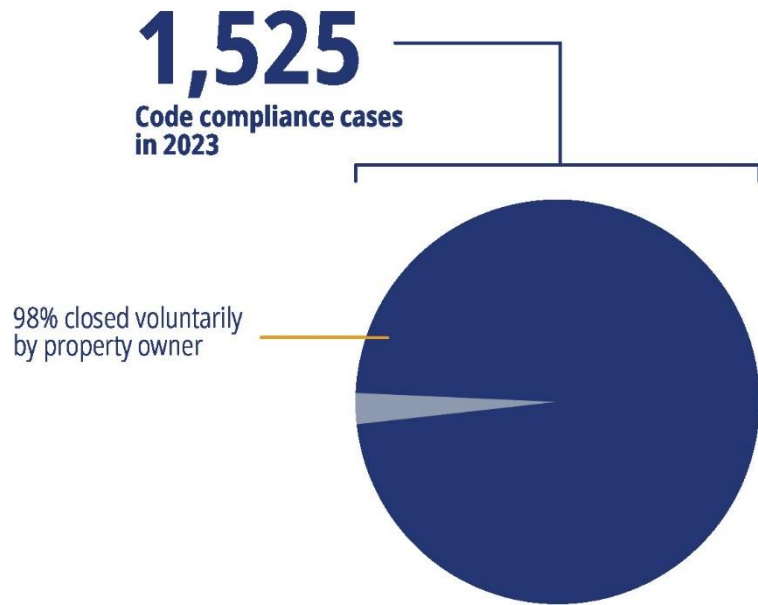
Noise complaints received



3,517

Arrests made

Source: Adobe Stock Images



Anticipated Implementation Actions

- **Escondido Fire Department**

- Continue implementation of Tier Dispatch
- Continue Strategic Plan Development for the Fire Department
- Obtain additional emergency response capability to mitigate increasing demand for services
- Continue to integrate the Escondido Dispatch fully into the Regional Communication Interoperability
- Continue the EMS Program Study and Fee Analysis
- Purchase three replacement Ambulances

- Develop an extreme heat response plan
- **Code Compliance**
 - Establish a vacant building registry
 - Support and provide feedback on the Citywide short term rental program-rules/regulations

2.6 Resource Conservation

Escondido’s Resource Conservation chapter satisfies state requirements for having an Open Space and Conservation Element. The Resource Conservation chapter’s goals and objectives call for creating an aesthetically pleasing environment as well as conserving Escondido’s natural and scenic resources. The chapter’s purpose is to identify areas for conserving open space as well as other important resources including air and water quality, cultural, agricultural, mineral and energy resources, hillside and ridgeline view corridors with particular emphasis on ridgelines, unique landforms and visual gateways. Topics or issue areas covered include the following:

- Biological and Open Space
- Trails
- Visual Resources
- Agricultural Resources
- Historical Resources
- Water Resources and Quality
- Air Quality and Climate Protection

Key Implementation Actions

Climate Action Plan: The City’s adopted Climate Action Plan (CAP) is considered a “qualified” CAP. This qualification allows the City to streamline development projects for the purposes of greenhouse gas emission (GHG) under the California Environmental Quality Act (CEQA). This streamlining effort allows for private and public development projects to screen out of such analyses if in compliance with the City’s approved CAP. The CAP provides a comprehensive roadmap to address the challenges of climate change in the City of Escondido. Staff included the CAP annual monitoring report in the 2022 annual reporting year; however, City Council directed staff to provide an independent update and report. [Appendix F](#) provides a link to the 2023 CAP annual monitoring report.

Kit Carson Park Activities: The City continues to maintain and monitor seven-acres of wetland habitat restoration projects within Kit Carson Park. The undercut bridge adjacent to Eagle Scout Lake is severely damaged and needs replacement to protect a water line. In 2023, the engineering design for the bridge achieved 90% completion. The project team prepared and submitted environmental permit applications to Resource Agencies and received all necessary

approvals. Staff will look for funding sources in 2024.

Kit Carson Bridge Repair



Spruce Street Channel Project: There two-year monitoring for post-installation and erosion control measures required by wetland permits ended August 31, 2023. The City is awaiting final sign-off from the resource agencies.

More information on the project can is available at: [Spruce Street - City of Escondido](#)

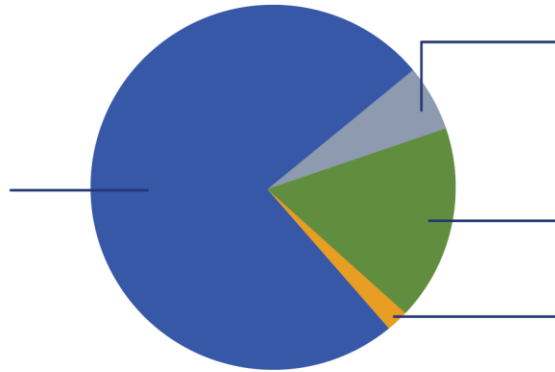
Trunk Sewer Replacement Project: The project consists of replacing, upsizing, and realigning approximately 5,000 lineal feet of

sewer between the Hale Avenue Resource Recovery Facility and the intersection of Quince Street and Norlak Avenue. The project achieved 90% completion in 2023.

Anticipated Implementation Actions

- Continue timely annual reporting on the Daley Ranch Conservation Bank.
- Adopt an update to the City's Water Efficient Landscape Ordinance.

1,888
Commercial Inspections
in FY 2022-23

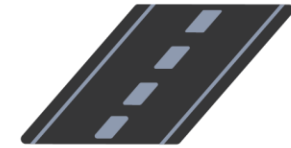


149
Industrial Inspections in FY
2022-23

440
Construction Inspections
in FY 2022-23

44
Municipal Facility Inspections
in FY 2022-23

12,302
Miles of streets swept in
in FY 2022-23



2,841 yd³

Of material removed before it
reached storm drains in FY 2022-23



2 tons

Of trash removed from 2 floating trash
booms across Escondido and Reidy Creek
flood control channels

9 mi

Of open channel
cleaned in FY 2022-23

2,180
Storm drains inspected
for accumulated debris
in FY 2022-23



908
Storm drain cleanouts
in FY 2022-23

168 tons

Of debris removed from MS4 in FY 2022-23



670 tons

Of invasive plants, trash, debris,
and sediment before discharge
to natural areas

2.7 Growth Management

The purpose of the Growth Management chapter is to establish policies that will balance the timing of infrastructure improvements with anticipated demands for service. A goal of the Growth Management chapter is to phase capital facility improvements concurrently with population growth so that new development does not worsen existing service shortfalls or result in critical infrastructure deficiencies. Topics covered in the Growth Management Element include:

- Quality of Life Thresholds
- Public Facility Master Plans
- Public Facility Deficiencies
- Public Facility Financing
- Growth Management Monitoring
- Public Facility Phasing

The City continues to work toward implementing quality of life standards. The City’s General Plan includes 11 quality of life standards, as listed below.

- | | |
|-------------------------------|-----------------------|
| 1. Traffic and Transportation | 7. Public Schools |
| 2. Fire Service | 8. Police Service |
| 3. Wastewater System | 9. Parks System |
| 4. Library Service | 10. Open Space System |
| 5. Air Quality | 11. Water System |
| 6. Economic Prosperity | |

Developments are reviewed against these standards when assessing a project’s potential impact. Part of the City’s quality of life standards include the goal of maintaining and providing adequate public facilities for existing and future development.

The City potentially faces a \$10 million budget gap. To maintain the City’s essential services and priorities, a locally controlled source of revenue was placed on the 2022 ballot, but did not obtain the required votes for approval. Without an identified revenue source, possible cuts to services may be made if no additional revenue is generated.

In 2020, the City established a Citywide Services Community

Facilities District (CFD) to fund infrastructure improvements necessary to support new developments. In late 2023, the City Council voted to set the CFD levy to \$0.00, and subsequently eliminate the CFD in 2024, thus removing the requirement for developments to offset costs and impacts to the City through a CFD mechanism.

State legislation approved in 2019 (SB 330) prohibits local governments from limiting housing construction caps or moratoriums, reducing overall density, and demolishing more dwelling units than the number that are constructed. The City has two growth management controls:

Ordinance 94-16: Established the Citywide Facilities Management Plan which provides ways for projects to contribute their fair share of development of costs to public facility needs

Proposition S: A voter approved initiative that requires voter approval to increase, change or recategorize residential densities and designations. Proposition S does not apply to rezones from a non-residential zone to a residential zone, therefore, Proposition S does not act as a cap on the number of housing units constructed or permits that can be approved either annually or for some other time period.

2.8 Economic Prosperity

The purpose of the Economic Prosperity chapter is to establish policies that promote the long- term vitality of Escondido’s local economy by developing and guiding employment and business opportunities and encouraging appropriate economic and business development in the City. Policies in this chapter promote a sustainable local economy to benefit current and future generations without compromising resources, and are intended to favorably influence the balance between employment and housing. Topics or issue areas covered in the Economic Prosperity chapter include the following:

- Employment Acreage
- Wages and Jobs
- Small Business
- Twenty-First Century Industries
- Tourism and Recreation
- Existing Economic Districts
- Marketing and Image
- Long-Term Economic Sustainability and Growth
- Minimizing Infrastructure Impediments
- Strengthening Workforce Development
- Economic Development Monitoring

Key Implementation Actions

Comprehensive Economic Development Strategy (CEDS): The Escondido City Council adopted the Comprehensive Economic Development Strategy (CEDS) on June 7, 2023. The 2023 CEDS further guides economic development policy for the next five years. The CEDS will aim to promote quality economic development that fosters job availability, economic re-vitalization, and tax revenues.

Community-wide Fiber Optic Network: SiFi Networks is building a state-of-the-art fiber optic network to provide a fast and reliable internet connection to homes and businesses. SiFi Networks received access to Escondido’s right of ways in 2023 and is currently processing plans for fiber optic improvements. Construction is anticipated to begin in 2024. The network build will take approximately three to five years to complete.

Interested parties for this project can register to receive updates and information [here](#).

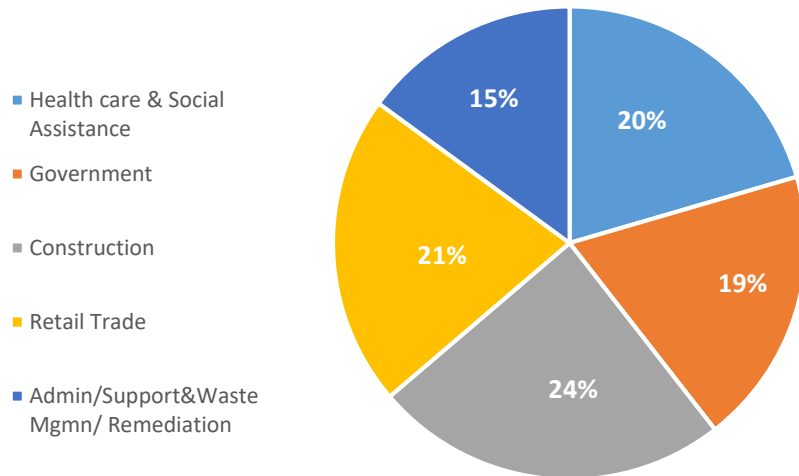
Second Saturday Escondido Arts and Culture Map: In 2022, Americans for the Arts conducted a study in 373 communities and regions across the country to document the economic and social benefits of the nation’s arts and culture industry. The City’s Economic Development team joined the study. A report with survey and findings was released in 2023. Noteworthy outcomes as they relate to the City include:

- The arts and culture sector generated \$1.6 million in economic activity in 2022.
- Economic activity from the Arts and culture sector supported 27 jobs, provided \$1.2 million in personal income to residents, and generated \$451,285 in tax revenue to local, state, and federal governments.

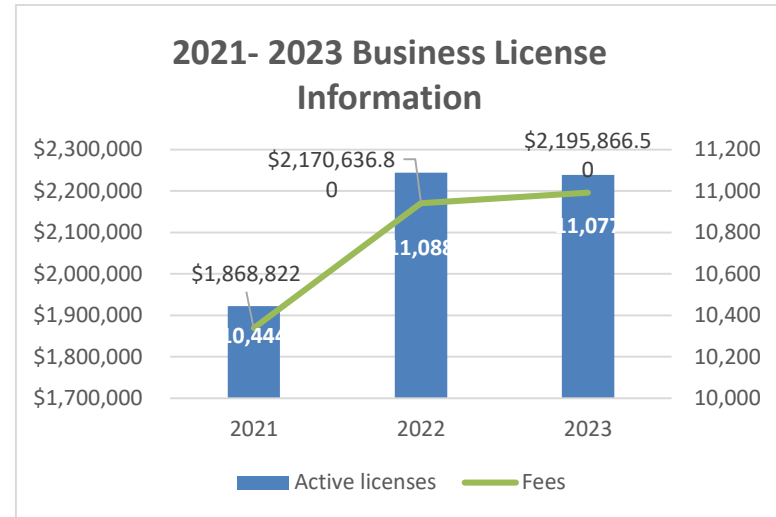
- Arts and culture event attendees spend an average of \$36.25 per person per event, beyond the cost of admission.

Entrepreneurial Efforts: In 2023, the City worked to implement programs and support efforts to increase Escondido’s median income and wage. Efforts included actively fostering entrepreneurial opportunities and facilitation of events including but not limited to, the 10th Annual San Diego Startup Week and hosting the annual Escondido Ag-Tech Hackathon.

Top 5 Employment Industries in Escondido in 2023



Small Business Façade Improvement Grants: The City established an incentive program by providing funding for the revitalization of existing older industrial and commercial areas through the Small Business Façade Improvement grant program. To date, the program has committed \$84,000 to small business for improvements.



Anticipated Implementation Actions

- Continuation of the Innovate78 initiative with new focus on the 78-Corridor’s startup ecosystem, entrepreneurship, and talent pipeline development.
- Partner with the San Diego North Economic Development Council on a regional strategy for economic inclusion.
- Explore opportunities for activation of City owned properties in the Spruce Street and Quince Street area.
- Explore tools to improve historic downtown core, including but not limited to new housing developments, retail redevelopment, and parking availability.
- Implement a communications strategy to promote business and industry news.
- Solidify industry cluster programs with key industries listed in the CEDS including agriculture and ag-tech, CleanTech, and Tourism.
- Promote available career training and career growth resources with partner organizations.

3. Public Outreach and Engagement

In FY 2022-23, the Utilities Department's Environmental Programs completed 27 presentations to approximately 601 elementary school students throughout Escondido. In addition to the well-established education program, the Education Assistant collaborated with the San Diego County Office of Education to deliver the Splash Science Lab to further educate 4th and 5th-grade students. The Splash Science Lab curriculum focuses on hands-on activities that teach students about watershed issues.

City staff attended 20 public outreach events in FY 2022-23 where staff distributed educational material and encouraged the public to ask questions regarding pollution prevention, waste management, and water conservation. Additionally, 22 local trash cleanup events were held. On average, the cleanups collected 10-20 bags of trash, weighing approximately 8-10 pounds.

City staff hosted ten workshops in partnership with the San Diego County Water Authority. Participants developed a sustainable landscape plan specific to their property that implemented what they

learned throughout the course and focused on retaining stormwater onsite.

The **Recycling Division** sponsored electronic and household hazardous waste events twice a month, reaching over 200 people per month. In partnership with Escondido Disposal, Inc. (EDI) the City of Escondido held two E-waste/Shred events. There were 996 residents who attended the events, where 13.2 tons of e-waste and 12.4 tons of paper were recovered.

In April of 2023, the **Housing and Neighborhood Services Division** conducted a total of two fair housing workshops, one in English and one in Spanish with formal partner, Legal Aid. Legal Aid also held a staff training in March of 2023 and hosted quarterly virtual webinars throughout the year.

Economic Development continued to communicate with all of the property owners on the north and south sides of Grand Avenue from Maple Street to Broadway to gather feedback and provide an update on the Grand Avenue Vision Project Phase 2.

4. Awards & Grant Funding Receive

| Award | Amount | Project |
|--|----------------|--|
| Development Service Department | | |
| Solar App++ | Up to \$80,000 | Online Solar Permits. |
| Federal Hazard Mitigation Grant | \$2.3M | Design drainage improvements to remove over 450 homes in floodplain zones. |
| HSIP Cycle 11 | \$1.4M | Traffic Signal Safety Improvements. |
| Federal Earmark | \$1.4M | South Escondido Access Improvements. |
| Clean Mobility Options | \$100,000 | Conduct a transportation needs assessment to identify transportation needs in the City. |
| Urban Forestry Grant | \$665,500 | The project will develop an urban forestry inventory, forest growth plan, and maintenance plan for all trees and vacant tree plots. |
| Community Services Department | | |
| San Diego Seniors Community Foundation Holiday Grant | \$3,000 | Provide a winter wonderland event, Santa's pantry, New Year's Eve dance, holiday movies, crafts and provide a few performances. |
| Drowning Prevention Grant | \$3,000 | Water safety training during open swim programming and equipment. |
| San Diego Seniors Community Foundation Empower Grant | \$12,000 | Help with marketing and PR funding for growing public awareness, increase clientele, and developing long term planned giving strategy. |
| Police and Fire Departments | | |
| FY 23-24 Alcoholic Beverage Control ABC-OTS Grant | \$25,000 | Conduct operations related to alcohol sales to minors and enhance efforts to reduce alcohol-related |

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| | | problems in the community. |
| FY 22-23 Regional Realignment Response Grant | \$80,000 | With reduction of prison overcrowding, funding is provided to support local law enforcement efforts to efficiently manage offenders and parole violators. |
| Bureau of State and Community Corrections FY 22-23 Officer Wellness and Mental Health Grant | \$94,781.16 | Focus to provide and maintain officers' physical health, mental health, and related programs. |
| FY 23-24 State of California Citizen's Options for Public Safety Program | \$232,909 | Enhancing public safety by utilizing part-time employees to perform support services that supplement front-line law enforcement. |
| FY 22-23 Paul Coverdell Forensic Improvement Program | \$52,446 | Provide and maintain accreditation for the Escondido Police Department Crime Lab, and provide equipment to the improve the quality and timeliness of forensic science services. |
| FY 22 State Homeland Security Grant (shared with Fire Dept.) | \$103,872 | \$43,599 for Police to purchase patrol laptops. |
| FY 22-23 US Department of Justice Edward Byrne Memorial Justice Assistance Grant – Local Solicitation | \$46,913 | Funding to support the Escondido Police Department's Patrol Technician program, to augment the services provided by patrol officers. |
| FY 23-24 State of California Office of Traffic Safety Selective Traffic Enforcement Program (STEP) Grant | \$495,000 | Funding to enhance traffic safety in the City of Escondido, with one full-time DUI traffic enforcement officer, traffic safety supplies, DUI checkpoints, saturation patrols, and traffic enforcement details. |
| FY 23-24 State of California Office of Traffic Safety Pedestrian and Bicycle Safety Program Grant | \$25,000 | Funding to provide educational programs related to pedestrian and bicycle safety, bicycle helmets, educational materials and safety supplies to community members. |
| California Opioid Settlement Funds | \$406,995 | Funding to address the problems associated with opioid addiction, to be used for prevention, intervention and education. |

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| Assistance to Firefighters Grant FY21 | 29,727 | Purchase of fire hose. |
| Assistance to Firefighters Grant FY22 | 104,992 | Refurbishment of source capture exhaust system at 7 fire stations. |
| State of California Pass Through Fund | 250,000 | Critical infrastructure training tower refurbishment. |
| UASI FY 22 | 36,110 | Firefighter training. |
| SHSP FY 22 | 60,273 | Purchase of one thermal imaging camera and cover the cost to develop a Recovery Plan and Local Assistance Center (LAC) Plan. |
| Utilities | | |
| Member Agency Administered Incentive Program | \$7,800 | Purchase water conservation outreach materials. |
| Finance | | |
| California Society of Municipal Finance Officers Operating Budget Excellence Award | -- | For the FY 2022-23 Annual Operating Budget Document. |
| Government Finance Officers Association Distinguished Budget Presentation Award | | |

5. Escondido General Plan Compliance with Adopted OPR Guidelines

The Governor's Office of Planning and Research (OPR) is responsible for updating the resources for drafting and amending a general plan. OPR also monitors general plan implementation with annual progress reports from cities and counties, and grants general plan extensions for qualified cities and counties. OPR adopted General Plan Guidelines (GPG) in 2003 for use by local jurisdictions in the preparation of their general plans. The last comprehensive update to the OPR GPG was in 2017, with recent guidance released on Environmental Justice and Fire Hazard Planning in 2021 and 2022, respectively. It is important to note that the Guidelines are permissive, not mandatory.

Staff has prepared an analysis of the Escondido General Plan compared to the general criteria included in State law, along with an evaluation of the degree to which the Escondido General Plan complies with the OPR Guidelines.

The GPG contain ten chapters and four appendices of requirements and references, in the following basic areas:

1. Introduction.
2. General Plan Basics: The General Plan generally complies with the basic requirements in that it is comprehensive, internally consistent, and has a long-term perspective.
3. Community Engagement and Outreach: The preparation, adoption, and administration of the General Plan all include public participation, to the extent required by the General Plan Guidelines, CEQA, and the Government Code.
4. Required Elements: The General Plan contains all of the required elements ([Appendix B](#)).
5. Equitable and Resilient Communities: The General Plan complies with equitable and resilient community requirements. General Plan policies and programs generally discuss inclusive public participation, social and economic well-being, livable communities and quality of life, and responsible resource conservation. Further, the City's Climate Action Plan and forthcoming Environmental Justice chapter provide focus on social and environmental equity in communities historically marginalized by past planning practice, with goals and objectives to ensure resiliency and strive to reduce displacement.
6. Healthy Communities: The Community Protection chapter of the General Plan along with the Community Health and Services chapter meet the intent of healthy communities.
7. Economic Development and the General Plan: The General Plan includes optional elements that are either individual sections or are consolidated with other elements, including an element on Economic Prosperity.
8. Climate Change: The City's adopted Climate Action Plan was updated in 2021 and provides for adaptation and resiliency programs that aim to reduce greenhouse gas emissions while also providing for development in the face of climate change.
9. Implementation: To date, the implementation of the General Plan has complied with all applicable Guideline requirements, including consistency with zoning, subdivisions, redevelopment, building code administration, financing mechanisms, and the preparation of this Annual Progress Report.
10. CEQA: The General Plan preparation, adoption, and amendments comply with all requirements of the California Environmental Quality Act.

6. APPENDIX A: GOVERNMENT CODE SECTION 65400

- a) After the legislative body has adopted all or part of a general plan, the planning agency shall do both of the following:
- 1) Investigate and make recommendations to the legislative body regarding reasonable and practical means for implementing the general plan or element of the general plan, so that it will serve as an effective guide for orderly growth and development, preservation and conservation of open- space land and natural resources, and the efficient expenditure of public funds relating to the subjects addressed in the general plan.
 - 2) Provide by April 1 of each year an annual report to the legislative body, the Office of Planning and Research, and the Department of Housing and Community Development that includes all of the following:
 - A) The status of the plan and progress in its implementation.
 - B) The progress in meeting its share of regional housing needs determined pursuant to Section 65584 and local efforts to remove governmental constraints to the maintenance, improvement, and development of housing pursuant to paragraph (3) of subdivision (c) of Section 65583. The housing element portion of the annual report, as required by this paragraph, shall be prepared through the use of forms and definitions adopted by the Department of Housing and Community Development pursuant to the rulemaking provisions of the Administrative Procedure Act (Chapter 3. 5 (commencing with Section 11340) of Part 1 of Division 3 of Title 2). Prior to and after adoption of the forms, the housing element portion of the annual report shall include a section that describes the actions taken by the local government towards completion of the programs and status of the local government's compliance with the deadlines in its housing element. That report shall be considered at an annual public meeting before the legislative body where members of the public shall be allowed to provide oral testimony and written comments. The report may include the number of units that have been completed pursuant to subdivision (c) of Section 65583.1. For purposes of this paragraph, committed assistance may be executed throughout the planning period, and the program under paragraph (1) of subdivision (c) of Section 65583.1 shall not be required. The report shall document how the units meet the standards set forth in that subdivision. The planning agency shall include the number of units in a student housing development for lower income students for which the developer of the student housing development was granted a density bonus pursuant to subparagraph (F) of paragraph (1) of subdivision (b) of Section 65915.
 - C) The number of housing development applications received in the prior year.
 - D) The number of units included in all development applications in the prior year.
 - E) The number of units approved and disapproved in the prior year.
 - F) The degree to which its approved general plan complies with the guidelines developed and adopted pursuant to Section 65040.2 and the date of the last revision to the general plan.

- G) A listing of sites rezoned to accommodate that portion of the city's or county's share of the regional housing need for each income level that could not be accommodated on sites identified in the inventory required by paragraph (1) of subdivision (c) of Section 65583 and Section 65584.09. The listing of sites shall also include any additional sites that may have been required to be identified by Section 65863.
- H) The number of applications submitted pursuant to subdivision (a) of Section 65913.4, the location and the total number of developments approved pursuant to subdivision (c) of Section 65913.4, the total number of building permits issued pursuant to subdivision (c) of Section 65913.4, the total number of units including both rental housing and for-sale housing by area median income category constructed using the process provided for in subdivision (c) of Section 65913.4.
- I) If the city or county has received funding pursuant to the Local Government Planning Support Grants Program (Chapter 3.1 (commencing with Section 50515) of Part 2 of Division 31 of the Health and Safety Code), the information required pursuant to subdivision (a) of Section 50515.04 of the Health and Safety Code.
- J) The progress of the city or county in adopting or amending its general plan or local open-space element in compliance with its obligations to consult with California Native American tribes, and to identify and protect, preserve, and mitigate impacts to places, features, and objects described in Sections 5097.9 and 5097.993 of the Public Resources Code, pursuant to Chapter 905 of the Statutes of 2004.
- K) The following information with respect to density bonuses granted in accordance with Section 65915: The number of density bonus applications received by the city or county. The number of density bonus applications approved by the city or county. Data from a sample of projects, selected by the planning agency, approved to receive a density bonus from the city or county, including, but not limited to, the percentage of density bonus received, the percentage of affordable units in the project, the number of other incentives or concessions granted to the project, and any waiver or reduction of parking standards for the project.
- b) If a court finds, upon a motion to that effect, that a city, county, or city and county failed to submit, within 60 days of the deadline established in this section, the housing element portion of the report required pursuant to subparagraph (B) of paragraph (2) of subdivision (a) that substantially complies with the requirements of this section, the court shall issue an order or judgment compelling compliance with this section within 60 days. If the city, county, or city and county fails to comply with the court's order within 60 days, the plaintiff or petitioner may move for sanctions, and the court may, upon that motion, grant appropriate sanctions. The court shall retain jurisdiction to ensure that its order or judgment is carried out. If the court determines that its order or judgment is not carried out within 60 days, the court may issue further orders as provided by law to ensure that the purposes and policies of this section is fulfilled. This subdivision applies to proceedings initiated on or after the first day of October following the adoption of forms and definitions by the Department of Housing and Community Development pursuant to paragraph (2) of subdivision (a), but no sooner than six months following that adoption.

7. APPENDIX B: GENERAL PLAN RELATIONSHIP TO STATE LAW REQUIREMENTS

State law requires that general plans include seven elements. The elements may be combined or renamed, but basic requirements must be included. Elements for other topics of local concern may also be included. The relationship between State mandated elements and the Escondido General Plan are illustrated below.

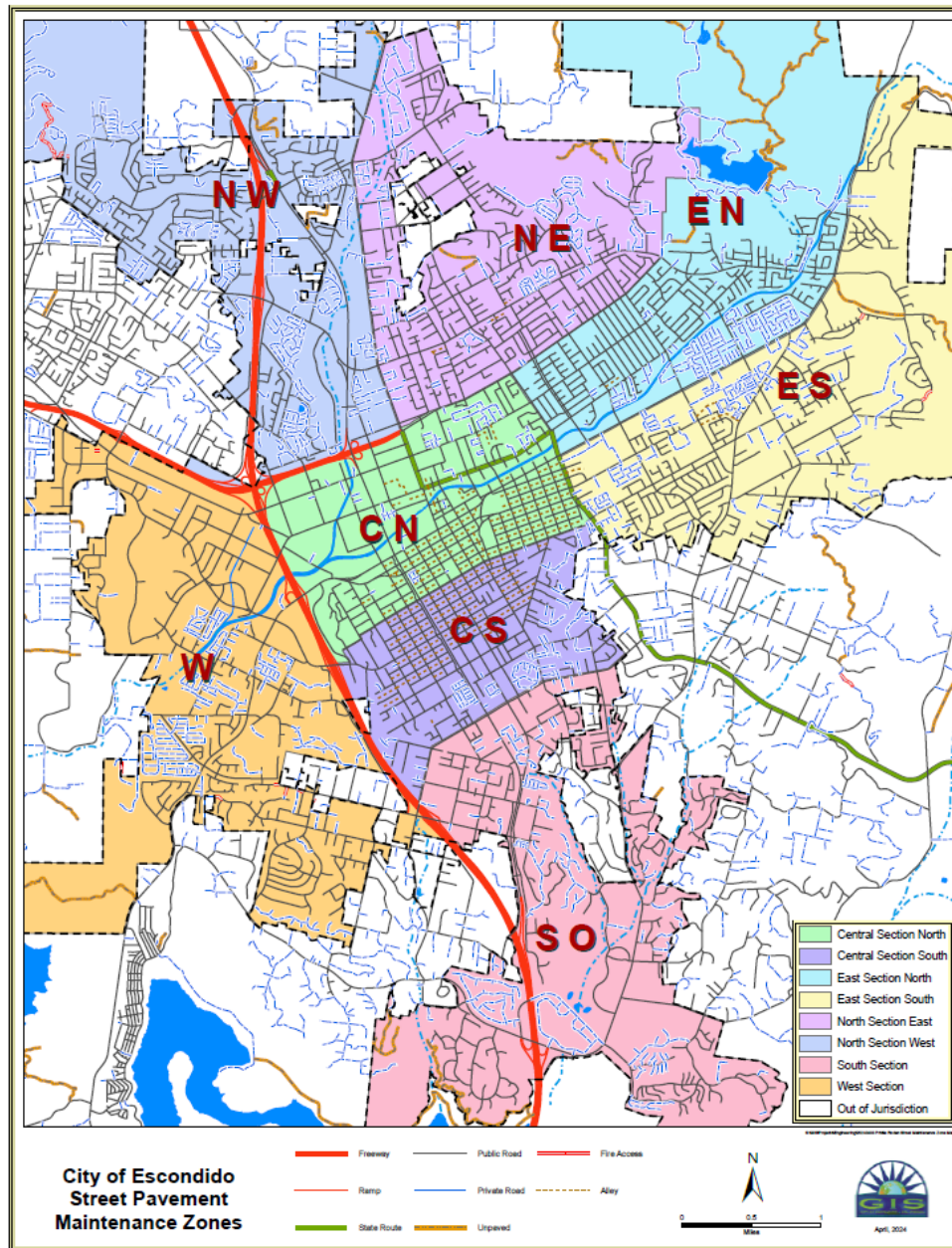
| Mandatory Element | Escondido General Plan | Element Description |
|--------------------------|-------------------------------|--|
| Land Use | Land Use and Community Form | Designates the proposed distribution and location of the uses of land for housing, business, industry, open space, and other categories of public and private land use activities. |
| Circulation | Mobility and Infrastructure | Specifies the general location of existing and proposed major thoroughfares, transportation routes, and other local public utilities and facilities. |
| Conservation | Resource and Conservation | Addresses the conservation, development, and utilization of natural resources including water and its hydraulic force, soils, rivers and other waters, wildlife, minerals, and other natural resources. |
| Open Space | Resource and Conservation | Addresses the preservation of natural resources including, but not limited to, areas required for the preservation of plant and animal life. |
| Safety | Community Protection | Identifies variety of risks and hazards. This includes any unreasonable risks associated with the effects of seismically induced surface rupture and tsunami, slope instabilities, flooding, and fire hazards. |
| Noise | Community Protection | Identifies noise problems and analyzes current and projected noise levels for highways, roadways, transit systems, and ground stationary noise sources. |
| Housing | Housing | Develops a plan to meet current and future housing needs of all people within the community, regardless of socio-economic status. |
| Optional Elements | | |
| | Community Health and Services | Develops a policy framework for recreational services, library services, schools and education, cultural enrichment, and public health and wellbeing. |
| | Growth Management | Develops quality of life standards and establishing public facility planning strategies. |
| | Economic Prosperity | Provides a policy framework to promote the City’s long-term viability and to advance the City’s position as a “economic hub” with employment and business opportunities. |

8. APPENDIX C: DEVELOPMENT ACTIVITY

Development Activity Dashboard:

<https://cityofescondido.maps.arcgis.com/apps/dashboards/3df9dd5f830a4db4a6dce61747906ae8>

9. APPENDIX D: CAPITAL IMPROVEMENT PROGRAM STREET MAINTENANCE ZONE MAP



10. APPENDIX E: 2023 HOUSING ELEMENT ANNUAL REPORT

The Escondido City Council received the 2023 Housing Element Annual Report (“2023 HE APR”) on May 8, 2024. The 2023 HE APR was submitted to the State Department of Housing and Community Development, the Governor’s Office of Planning and Research, and the San Diego Association of Governments on March 21, 2024.

The HE APR is prepared on a form provided by HCD. The prescribed Excel Workbook has 14 sheets that report on various Housing Element components. The 2023 HE APR can be viewed using the link below. For information on what each table within the prescribed form entails, refer to [HCD’s Housing Element Annual Progress Report Instructions](#).

Link: [City Council Housing Element Staff Report](#)

2023 Housing Element Report: [housing-element-annual-progress-report \(escondido.gov\)](#)

The Housing Element reporting period spans from 2021 through 2029. Table 5 below shows the number of permits issued by reporting year that count toward the City’s RHNA. For more information on these issued permits, refer to Table A-2 within the above linked report.

Below is the City’s overall 6th cycle RHNA progress by affordability level, as of 2023:

- Very Low Income: 5%
- Low Income: 9%
- Moderate Income: 3%
- Above Market Rate: 17%

The City has achieved approximately 11% of the City’s total RHNA for the 2021– 2029 planning period. The 11% excludes the “Projection Period” units shown in Table 5. The “Projection Period” includes the housing units that were approved, under construction, or developed with building permits issued after June 30, 2020. These units are credited toward the City’s 6th cycle RHNA, however, for purposes of reporting, Staff are solely providing information on permits approved to date. For more information regarding RHNA credits, refer to Table 50 of the City’s adopted 2021 – 2029 Housing Element.

The City’s Housing Element received certification from HCD on December 2023. Moving forward, City staff continue to work on implementation of the adopted programs for the 2021 – 2029 planning period. Table D of the Annual Report provides more information on the status of Housing Element program implementation, and can be referred to within the above linked report.

TABLE 4 – REGIONAL HOUSING NEEDS ALLOCATION (RHNA) PROGRESS: PERMITTED UNITS ISSUED BY AFFORDABILITY

| Income Level | | RHNA Allocation by Income Level | Projection Period - 06/30/2020-04/14/2021 | 2021 | 2022 | 2023 | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | Total Units to Date (all years) | Total Remaining RHNA by Income Level |
|----------------|---------------------|---------------------------------|---|------|------|------|------|------|------|------|------|------|---------------------------------|--------------------------------------|
| Very Low | Deed Restricted | 1,864 | | 25 | | | | | | | | | 107 | 1,757 |
| | Non-Deed Restricted | | 13 | 2 | 25 | 42 | | | | | | | | |
| Low | Deed Restricted | 1,249 | | 25 | 10 | | | | | | | | 114 | 1,135 |
| | Non-Deed Restricted | | 3 | 13 | 29 | 34 | | | | | | | | |
| Moderate | Deed Restricted | 1,527 | | | | | | | | | | | 76 | 1,451 |
| | Non-Deed Restricted | | 36 | 16 | 13 | 11 | | | | | | | | |
| Above Moderate | | 4,967 | 372 | 178 | 154 | 521 | | | | | | | 1,225 | 3,742 |
| Total RHNA | | 9,607 | | | | | | | | | | | | |
| Total Units | | | 424 | 259 | 231 | 608 | | | | | | | 1,522 | 8,085 |

11. APPENDIX F: 2023 CLIMATE ACTION PLAN ANNUAL MONITORING REPORT

Climate Action Plan Annual Monitoring Report:

<https://www.escondido.org/1106/Policy-and-Regulatory-Documents>



CITY of ESCONDIDO

STAFF REPORT

Agenda Item No. 4

July 09, 2024

Tentative Future Agenda Items

DATE: July 9, 2024
TO: Planning Commissioners
FROM: Veronica Morones, City Planner
SUBJECT: Tentative Future Agenda Items

The items listed below are anticipated to be brought to the Planning Commission for consideration, discussion, and/or recommendation to the City Council over the next several months. Because there are factors out of City staff's control, this list is subject to change. The intent is to provide visibility regarding projects that the Commission should expect to see in the near future. (Items are listed in no particular order.)

Additionally, these items shall not be considered to be agenda items for this meeting so no discussion is permitted other than clarification of what the item is.

Private Development Projects:

- Local Register Residential Addition
- South Centre City Specific Plan Amendment for drive-through use
- Commercial Development at Mission and Centre City Parkway

Policy Work:

- Annual Zoning Code Clean Up
- Planning Commission Bylaw Clean Up

Informational Presentations:

- Historic Preservation
- California Environmental Quality Act
- North County Mall Permit History