



CITY of ESCONDIDO

PLANNING COMMISSION MEETING

January 09, 2024 at 7:00 PM

Council Chambers: 201 North Broadway, Escondido, CA 92025

WELCOME TO YOUR COMMISSION MEETING

We welcome your interest and involvement in the legislative process of Escondido. This agenda includes information about topics coming before the Commission.

CHAIR

Rick Paul

VICE CHAIR

Katharine Barba

COMMISSIONERS

David Barber

Carrie Mecaro

Judy Fitzgerald

Barry Speer

Stan Weiler

MINUTES CLERK

Alex Rangel

HOW TO WATCH

The City of Escondido provides one way to watch a Commission meeting:

In Person



201 N. Broadway, Escondido, CA 92025

HOW TO PARTICIPATE

The City of Escondido provides two ways to communicate with the Commission during a meeting:

In Person



Fill out Speaker Slip and Submit to City Clerk

In Writing



<https://escondido-ca.municodemeetings.com>



CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JANUARY 09, 2024

ASSISTANCE PROVIDED

If you need special assistance to participate in this meeting, please contact our ADA Coordinator at 760-839-4869. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility. Listening devices are available for the hearing impaired – please see the City Clerk.





CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JANUARY 09, 2024

AGENDA

CALL TO ORDER

FLAG SALUTE

ROLL CALL

APPROVAL OF MINUTES

- [1.](#) December 12, 2023

WRITTEN COMMUNICATIONS

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

ORAL COMMUNICATIONS

Under state law, all items under Oral Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

PUBLIC HEARINGS

Please limit your testimony to three minutes.

- [2.](#) **PL21-0057 - 335 N. Quince Street / North County Transit District - Fleet Parking**

REQUEST: A Conditional Use Permit to allow for the fleet vehicle storage and support to an existing bus maintenance facility owned and operated by the North County Transit District, East Division Maintenance Facility. The request also includes removal of existing site remnant foundations, site fences, pavement, lighting, and vegetation, and replacement with new parking lot paving, restriping, perimeter walls, lighting, access, and landscaping.

PROPERTY SIZE AND LOCATION: The 1.24-acre site is located at the southwest corner of N. Quince Street and Norlak Avenue and directly north of the Escondido Creek Channel, addressed as 335 N. Quince Street

(Assessor's Parcel No. 232-091-20-00)



CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JANUARY 09, 2024

APPLICANT: North County Transit District (NCTD)

CEQA RECOMMENDATION: Categorical Exemption – CEQA Guidelines Section – 15332, Class 32 (In-Fill Development Project)

STAFF RECOMMENDATION: Approval

CITY COUNCIL HEARING REQUIRED: ___ YES NO

3. PL23-0304 – 960 West El Norte Parkway/AT&T Wireless Communication Facility

REQUEST: A request for a Conditional Use Permit to construct a 65'-0" high wireless service facility designed as a mono-eucalyptus. The facility consists of various antennas, surge suppressors, and cables to support the wireless facility. The request also includes the construction of a ground level enclosure surrounded by an 8'-0" tall CMU wall to house a diesel generator, and other accessory equipment for the wireless facility.

PROPERTY SIZE AND LOCATION: The 1.09-acre site is located on the north side of W El Norte Parkway within an existing commercial center and is addressed at 960 W El Norte Parkway. (Assessor's Parcel Number: 226-350-65-00)

APPLICANT: Harold Thomas Jr. on behalf of AT&T

CEQA RECOMMENDATION: Categorical Exemption – CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures)

STAFF RECOMMENDATION: Approval

CITY COUNCIL HEARING REQUIRED: ___ YES NO

CURRENT BUSINESS

4. Historic Preservation Commission

REQUEST: Discussion related to the Historic Preservation Commission.

PROPERTY SIZE AND LOCATION: N/A

APPLICANT: N/A

CEQA RECOMMENDATION: Not a project under CEQA, pursuant to CEQA Guidelines section 15378(b)(5).



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STAFF RECOMMENDATION: None.

CITY COUNCIL HEARING REQUIRED: ___ YES X NO

FUTURE AGENDA ITEMS

ORAL COMMUNICATIONS

Under state law, all items under Oral Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

PLANNING COMMISSIONERS REPORT

CITY PLANNER'S REPORT

- [5.](#) Tentative Future Agenda

ADJOURNMENT



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

December 12, 2023 at 7:00 PM

Council Chambers: 201 North Broadway, Escondido, CA 92025

WELCOME TO YOUR COMMISSION MEETING

We welcome your interest and involvement in the legislative process of Escondido. This agenda includes information about topics coming before the Commission.

CHAIR

Rick Paul

VICE CHAIR

Katharine Barba

COMMISSIONERS

David Barber

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Barry Speer

Stan Weiler

MINUTES CLERK

Alex Rangel

HOW TO WATCH

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In Person



201 N. Broadway, Escondido, CA 92025



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

TUESDAY, DECEMBER 12, 2023

MINUTES

CALL TO ORDER: 7:00 p.m.

FLAG SALUTE: Rick Paul

ROLL CALL:

Commissioners Present: Rick Paul, Chair; Katharine Barba, Vice-Chair; David Barber, Commissioner; Judy Fitzgerald, Commissioner; Carrie Mecaro, Commissioner; and Stan Weiler, Commissioner.

Commissioner Absent: Barry Speer, Commissioner.

City Staff Present: Veronica Morones, City Planner; Dare DeLano, Senior Deputy City Attorney; Jason Christman, Principal Engineer; Jay Paul, Senior Planner; Alex Rangel, Minutes Clerk.

APPROVAL OF MINUTES: November 28, 2023

Motion to approve the minutes, with corrections for Planning Commission’s recommendation for project PHG20-0036: Commissioner Barber; Second: Vice Chair Barba

Motion carried (6-0) to approve the minutes.

Ayes: Paul, Barba, Barber, Fitzgerald, Mecaro, and Weiler.

Absent: Speer.

WRITTEN COMMUNICATIONS:

None.

ORAL COMMUNICATIONS:

None.

PUBLIC HEARINGS:

1. **PL23-0075 – Master and Precise Development Plan**

REQUEST: The Project includes a Master and Precise Development Plan for the conversion and remodel of a two-story commercial structure to accommodate four, two-bedroom apartment units on the second floor. The Project also includes redesign of the existing parking located along the alley to include six covered parking spaces, new trash enclosure, exterior stairway and second-story landing/terrace to provide access to the units. The proposal also includes adoption of the environmental determination for the Project.



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PROPERTY SIZE AND LOCATION: The 0.16-acre project site is located on the south side of West Grand Avenue, between S. Maple Street and S. Broadway addressed at 143-145 W. Grand Avenue (Assessor's Parcel No. 233-062-02-00)

ENVIRONMENTAL STATUS: The Project qualifies for an exemption under the California Environmental Quality Act ("CEQA") Guidelines sections 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures).

APPLICANT: Zadar LLC, Owner

STAFF RECOMMENDATION: Recommend City Council approval of the Master and Precise Development Plan.

PUBLIC COMMENT:

Brett Wilkins submitted a written comment in favor of the project.

COMMISSION DISCUSSION:

Commissioners discussed various aspects of the project, including previous approvals of the Historic Preservation Commission.

COMMISSION ACTION:

Motion to approve Planning Commission Resolution 2023-24, recommending City Council approval of the request.

Motion: Commissioner Barber; Second: Commissioner Weiler.

Motion carried (6-0) to approve.

Ayes: Barba, Barber, Mecaro, Paul, Mecaro, and Weiler. Absent: Speer.

CURRENT BUSINESS:

1. North County Mall

REQUEST: Discussion related to the future uses of the North County Mall, located at 200 – 299 E. Via Rancho Parkway.

PROPERTY SIZE AND LOCATION: The 83-acre site is located on the northern side of Via Rancho Parkway, east of Interstate 15, and addressed as 200 – 299 E. Via Rancho Parkway.

ENVIRONMENTAL STATUS: Not a project under CEQA, pursuant to CEQA Guidelines section 15378(b)(5).



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APPLICANT: N/A

STAFF RECOMMENDATION: N/A

PUBLIC COMMENT:

None.

COMMISSION DISCUSSION:

Commissioners discussed various aspects of the North County Mall, including previous entitlements, and the potential future uses of vacant parcels within the mall site.

COMMISSION ACTION:

None.

FUTURE AGENDA ITEMS:

Commissioner Barber requested a discussion on the future plans for the Historic Preservation Commission. Motion seconded by Vice Chair Barba.

ORAL COMMUNICATIONS:

None.

PLANNING COMMISSIONERS:

None.

CITY PLANNER'S REPORT:

City Planner Morones provided information related to the upcoming projects, and the upcoming January 9, 2024 Planning Commission meeting.

ADJOURNMENT

Chair Paul adjourned the meeting at 7:39 p.m.

Veronica Morones, Secretary to the Escondido
Planning Commission

Alex Rangel, Minutes Clerk



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STAFF REPORT

BACKGROUND

The City approved prior site improvements to the property located immediately west of the project site (under 2005-59-PPL) for North County Transit District’s (“NCTD”) existing maintenance and operations. A Conditional Use Permit is required for the proposed expansion of NCTD’s existing maintenance and operations into the project site for fleet vehicle storage and is subject to Section 33-1114 of Article 57 (Miscellaneous Use Restrictions). The 1.24-acre site is located at the southwest corner of N. Quince Street and Norlak Avenue and directly north of the Escondido Creek Channel, which is addressed as 335 N. Quince Street (Attachment 1).

SUMMARY OF REQUEST

North County Transit District (“Applicant”) has submitted a request for the expansion of their existing maintenance and operations, referred to as the Breeze Operations East Site, into the project site, located easterly adjacent to the existing site, to serve as fleet vehicle storage and support to the existing NCTD maintenance facility. The Applicant proposes to remove the existing remnant foundations, ramps, various site fences, broken pavement; remove three (3) existing street entrances (one from Quince Street and two along Norlak Avenue); and remove perimeter vegetation. To accommodate the fleet vehicle storage expansion, the Applicant proposes to activate this underutilized light industrial property by improving the site with new parking lot paving, restriping, perimeter screening walls, lighting, landscaping, sidewalks, and creating access points from the existing maintenance and operations site for internal circulation.

A site plan showing general location of improvements, perimeter enhancements, and reoriented internal circulation, and the site photographic integration of the new fleet parking are provided under Attachment 2.

SUPPLEMENTAL DETAILS OF REQUEST

- 1. Property Size: 1.24 acres
- 2. Foundation/Walls/Paving: Remove remnant foundations, ramps, driveways & paved areas. Replace with new paved parking lot, restriping, and new internal circulation access points.
- 3. Lighting/Signs: Remove existing on-site light poles, street lights, and signs. Replace with light fixtures and required street lights. Signs will be processed under a separate permit.
- 4. Landscaping: Remove the existing landscape elements and replace with upgraded landscaping, parkway enhancements, sidewalks, screening, and fourteen street trees. A new irrigation system will be installed.
- 5. Hours of Operations: Maintenance facility operates 24 hours per day and 365 days a year.
- 6. Proposed Setbacks: Front: 10’-0”, Street: 10” -0” with side and rear at 0’



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STAFF REPORT

PROJECT ANALYSIS

1. General Plan Conformance:

The General Plan land use designation for the project site is General Industrial (GI), which allows for manufacturing, warehouse and distribution, assembly, and wholesale industrial opportunities. This includes outside storage, and supporting products or services for a primary-businesses.

One of the General Plans strategies related to industrial growth and integration that the proposed project compliments and embraces is Goal 10 as shown below. The proposed project provides a compatible use in that it expands an existing local transit agency use in immediate proximity of a Major Transit Stop and is scaled appropriately to the size of expansion. The proposed project would include enhanced landscaping, closure of existing curb cuts, as well as other site improvements that will enhance continuity between the project site and the existing operations adjacent to the west.

“GOAL 10: A variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community.”

“Industrial Land Use Policy 10.7

Correlate the scale and amount of required improvements with the size of the project for businesses expanding their operations.”

2. Zoning Conformance:

The Light Industrial (M-1) zoning designation allows for a variety of light industrial activities such as assembling, manufacturing, storage warehousing and distribution, research/development, and support and service uses. Outdoor storage is permitted as an accessory use but is limited in scale and must be screened consistent with the requirements of Section 33-1114 of Article 57. The proposed project operations would conform to the operational requirements of Article 57, which include storage of vehicles in working order and in visibly ordered condition; prohibition of vehicle sales; and limitations of 48-hours for storage of non-operational vehicles. The proposed project includes site modifications consistent with the required development standards outlined within Article 57 and the Light Industrial (M-1) zoning district in that the existing maintenance facilities is the primary use and the proposed ancillary fleet storage as support to the overall operations; project site screening through construction of a 6'-0" perimeter wall; and enhanced landscaping of 10' feet wide and with fourteen (14) street trees.

Article 57 provisions:

Section (e) Fleet storage and tow yard storage. Fleet storage and tow yard storage shall be allowed as provided in any Permitted and Conditionally Permitted Principal Use Matrix and shall comply with the development standards of the zoning district, general development standards of subsection (a) above unless specified herein, and this section. No fleet storage or tow yard storage project shall be granted a permit unless the following requirements are satisfied:



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Item 2.

- (1) A vehicle that is not in working order shall not be stored on such premises for more than forty-eight (48) hours. Vehicles shall not be wrecked or dismantled; shall have hoods, trunks and doors closed; shall not be dirty or dusty; and shall not be parked or stored on public property or public rights-of-way. Junkyards and dismantling services are regulated by Chapter 15 of the Escondido Municipal Code.
- (2) Sale prohibited. No vehicle or any component of a vehicle shall be parked on public or private property advertising the vehicle or any other service or merchandise for sale.
- (3) Required building. A building shall be required to support tow yard storage services, if the use is maintained as a principal use, consistent with the general development standards of subsection (a) of this section; however, a building is not required to support fleet storage as a principal use.
- (4) Screening. Perimeter screening shall be by a solid, uniform fence or wall with a maximum height as specified in the ordinance of the zoning district. Solid fencing or walls shall be constructed of brick, block, stone or frame-stucco. An ornamental masonry wall shall be provided along all property lines that abut property used or zoned for residential purposes. Screening shall minimize the visual impact to the extent appropriate, through means of placement, barrier, or camouflage. Screening shall be designed to blend into the surrounding architecture or landscape so that the object or land use is not apparent to the casual observer. The face of all screen walls facing public rights-of-way shall be landscaped with shrubs, trees, and climbing vines. Use of walls and screening techniques shall meet crime prevention standards and provide graffiti deterrence elements.
- (5) Landscaping required. A five (5) foot wide planting area with trees shall be provided along the interior sides of screen wall. A separate landscaped planter shall be provided on-site with a minimum of five (5) feet wide dimensions along all street frontages, subject to Water Efficient Landscape Standards and street tree planting standards.
- (6) Tow trucks for tow yard storage. Storage or tow trucks is considered an integral part of the tow truck dispatching service which is the main permitted use. When subject to the conditions of the M-2 Zone or the WM General district of the South Centre City Specific Plan, the storage of these trucks must be located in the rear half of the lot and be enclosed by a six (6) foot high solid wall or fence with solid gates.
- (7) Fleet storage as a principal use. Demand analysis and mitigation as specified in section 33-1125 of this article.
- (8) Fleet storage as an accessory use. Accessory fleet storage areas must be incidental to a principal land use activity, and the accessory storage is located on the same site or lot as the primary use, and is considered an integral part of that business. Accessory outdoor fleet storage and must be located in a manner that minimizes the visual impact of the fleet storage through means of placement, barrier, or landscape screening to the extent appropriate. Accessory fleet storage shall not include any of the following: (A) a tow truck, tractor, trailer or semi-trailer, designed to pull or transport passenger automobiles; or (B) accessory display of rental, leasable, or for-sale vehicles or equipment. The accessory storage or display of such is permitted only if they are otherwise permitted in the zone in which the facility is located.



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The project site is located adjacent to other light industrial uses, as described below.

Proximity to other Light Industrial properties:

Northeast - Existing light industrial uses.

Southeast - Across Escondido Creek is the Downtown Specific Plan Area, subject to specific land uses.

Southwest - Existing light industrial uses.

Northwest - Existing light industrial uses.

SITE DESIGN

The Project consists of adding 56,100 square foot of paved area for fleet vehicle storage. The existing topography of the site is relatively flat and associated grading would include removal of existing foundations, ramps, landscaping, paving, and minor drainage improvements and BMP installation, which would be minimal. The project site is directly adjacent to the existing NCTD maintenance and operations site. The integration of the project site with the adjacent NCTD facility would allow for more efficient operations of the maintenance and operations, and provide consolidated fleet parking and vehicle storage areas. Proposed site improvements include the closure of three street curb cuts (one on Norlak Avenue and two on Quince Street) and replacement sidewalks; removal of fencing/gates and replacement with a 6'-0" concrete masonry perimeter wall; removal and replacement of landscaping (such as screening, parkways, street trees, etc.), as well as site lighting and street lights.

Fleet vehicle circulation would be reoriented internally between the project site and existing NCTD facility, with the main access provided from Norlak Avenue. The proposed expansion of the fleet vehicle storage consists of twenty-two full size van stalls (Revenue) and sixty-two vehicles (Non-Revenue) stalls for a total of eighty-four new parking stalls. No employee parking is proposed with the project, as the proposed expansion would not result in any new staff on-site. Due to the proximity to Escondido Creek an additional 10'-0" landscape buffer is proposed along with south perimeter fencing.

ENVIRONMENTAL ANALYSIS

California Environmental Quality Act ("CEQA") Guidelines list classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from further environmental review under CEQA. The project qualifies for an exemption under CEQA Guidelines Section 15332, Class 32 "In-fill Development Project" and staff prepared a Notice of Exemption for the project (Attachment 3). The project qualifies for the exemption as described further in the Findings of Fact, attached as Exhibit "C" to Resolution 2024-02 (Attachment 4)

PUBLIC INPUT

The Planning Division noticed the proposed project consistent with the requirements of both the Escondido Zoning Code and the State Law. Staff has not received any correspondence from the public regarding the project as of the preparation of this report.



CITY of ESCONDIDO

STAFF REPORT

Item 2.

CONCLUSION AND RECOMMENDATION

Staff's review concludes the proposed project is consistent with the guiding principles identified in the Land Use and Community Form Element of the Escondido General Plan. The proposed project is designed in conformance with the applicable development standards, design guidelines, and the project will contribute to the revitalization of an underutilized site.

Staff recommends that the Planning Commission approve the proposed Conditional Use Permit, as described in this staff report. The draft Planning Commission Resolution No. 2024-02, including Exhibits A, B, C, and D thereto, is incorporated into this staff report as Attachment 4.

ATTACHMENTS

1. Location, General Plan Map, and Zoning Map
2. Site Photos and Simulation
3. CEQA Notice of Exemption
4. Draft Planning Commission Resolution No. 2024-02 including Exhibits A, B, C, and D



CITY of ESCONDIDO

STAFF REPORT

Attachment 1 Location Map, General Plan, and Zoning Map



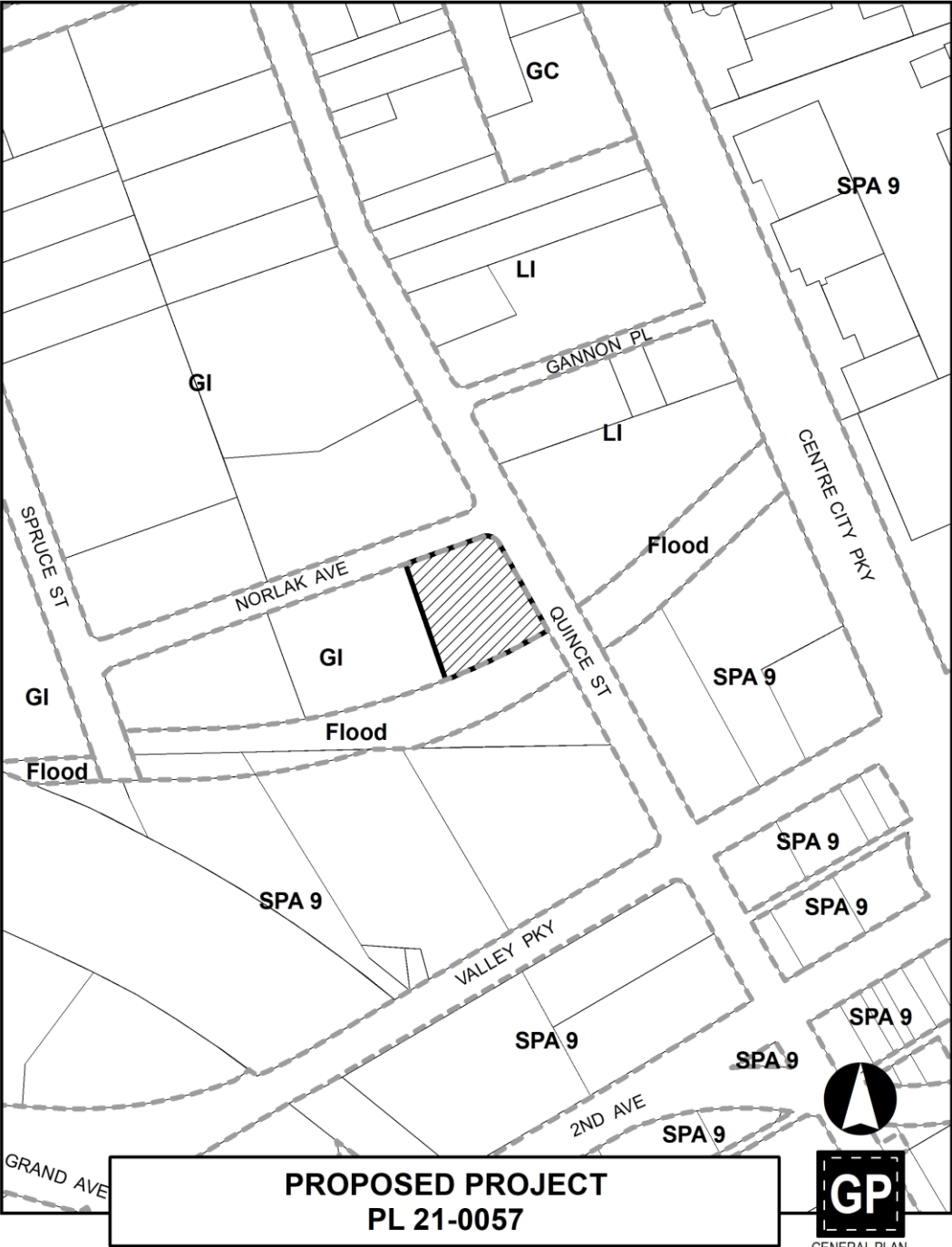
**PROPOSED PROJECT
PL 21-0057**

A
AERIAL



CITY of ESCONDIDO

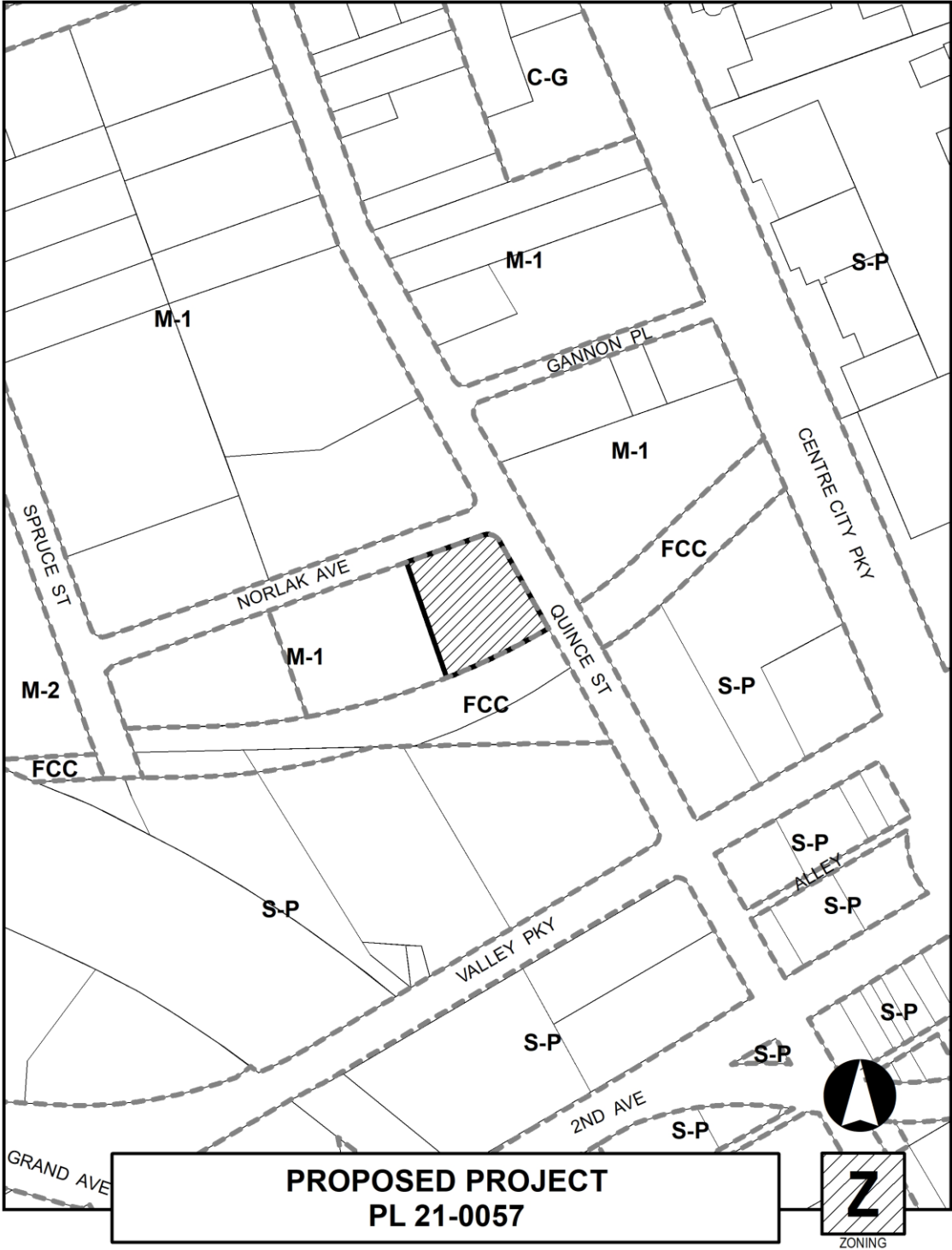
STAFF REPORT





CITY of ESCONDIDO

STAFF REPORT





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ATTACHMENT 2 Existing Site Photos and Photo Simulation



Southwesterly view of intersection



Westerly property line along Escondido Creek



Looking west at the corner of Norlak Avenue and Quince Street



CITY of ESCONDIDO

STAFF REPORT

Item 2.

PHOTO SIMULATION

Looking at the Southwest Corner of Norlak Avenue and N. Quince Street





CITY of ESCONDIDO

STAFF REPORT

ATTACHMENT 3 Notice of Exemption

To: Assessor/Recorder/County Clerk
Attn: Fish and Wildlife Notices
1600 Pacific Hwy, Room 260
San Diego, CA 92101
MS: A-33

From: City of Escondido
Planning Division
201 N. Broadway
Escondido, CA 92025

Project Title/Case No: North County Transit District Fleet Parking / PL21-0057

Project Location - Specific: The project is located at on the southwest of the intersection of Norlak Avenue and North Quince Street, addressed as 335 N. Quince Street, Escondido (APN: 232-091-20-00)

Project Location - City: Escondido **Project Location - County:** San Diego

Description of Project: A Conditional Use Permit to allow for the fleet vehicle storage and support to an existing bus maintenance facility owned and operated by the North County Transit District, East Division Maintenance Facility. The request also includes removal of existing site remnant foundations, site fences, pavement, lighting, and vegetation, and replacement with new parking lot paving, restriping, perimeter walls, lighting, access, and landscaping.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name: Jason Yeager, Project Manager

Address: 1055 W. 7th Street, Suite 2900, Los Angeles, CA 90017 Telephone: 213-952-9233

Private entity School district Local public Agency State agency Other special district

Exempt Status:

The project is categorically exempt pursuant to CEQA Guidelines sections 15332 Class 32, ("In-fill Development).

Reasons why project is exempt: The proposed project qualifies for an exemption from the California Environmental Quality Act (CEQA) under Section 15332, Class 32 In-fill Development. CEQA Guidelines lists classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from review under CEQA.

The proposed project or its circumstances would not result in any exceptions identified in CEQA Guidelines, Section 15300.2. Among the classes of projects that are exempt from CEQA review are those projects that are specifically identified as urban in-fill development. CEQA Guidelines, Section 15332, defines in-fill development (Class 32 exemptions) as being applicable to projects meeting the following conditions:

- The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.
- The project site has no value as habitat for endangered, rare or threatened species.
- Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.




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Item 2.

Lead Agency Contact Person: Greg Mattson, AICP, Contract Planner Area Code/Telephone/Extension: 760-839-4544

Signature: 
Greg Mattson, AICP
Contract Planner

November 28, 2023
Date

- Signed by Lead Agency
- Signed by Applicant

Date received for filing at OPR:

Planning Commission
Hearing Date: January 9, 2024
Effective Date: January 19, 2024

PLANNING COMMISSION RESOLUTION NO. 2024-02

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ESCONDIDO, CALIFORNIA,
APPROVING A CONDITIONAL USE PERMIT FOR
THE DEVELOPMENT OF A NORTH COUNTY
TRANSIT DISTRICT FLEET VEHICLE AND
MAINTENANCE OPERATIONS EXPANSION

APPLICANT: North County Transit District

CASE NO: PL21-0057

WHEREAS, North County Transit District (“Applicant”), filed a land use development application, Planning Case No. PL21-0057 (“Application”), with the City of Escondido (“City”) constituting a request to process a Conditional Use Permit for the development of a proposed fleet storage area adjacent to their existing East Division Maintenance Facility. The Breeze Operations East Site Expansion (“Project”) consists of approximately 56,100 square feet of paved fleet vehicle storage area, repurposing the site, consolidation of entrances, repaving, restriping, screening, and providing perimeter landscape enhancements; and

WHEREAS, the proposed Project is located at the southwest corner of N. Quince Street and Norlak Avenue and directly north of the Escondido Creek Channel, and addressed as 335 N. Quince Street (APN 232-091-20-00), in the Light Industrial (M-1) zone and has a General Plan Land Use designation of General Industrial (GI); and

WHEREAS, the subject property is all that real property described in Exhibit "A" which is attached hereto and made a part hereof by this reference as though fully set forth herein ("Property"); and

WHEREAS, the Application was submitted to, and processed by, the Planning Division of the Development Services Department in accordance with the rules and regulations of the Escondido Zoning Code and the applicable procedures and time limits specified by the Permit Streamlining Act (Government Code section 65920 et seq.) and the California Environmental Quality Act (Public Resources Code section 21000 et seq.) ("CEQA"); and

WHEREAS, fleet vehicle storage and support services as ancillary uses are permitted within the Light Industrial (M-1) zone, subject to the approval of a Conditional Use Permit, in accordance with Section 33-564 (Table 33-564) of the Escondido Zoning Code and Article 57 provisions; and

WHEREAS, pursuant to CEQA and the CEQA Guidelines (Title 14 of California Code of Regulations, Section 15000 et. seq.), the City is the Lead Agency for the Project, as the public agency with the principal responsibility for approving the proposed Project; and

WHEREAS, the Planning Division studied the Application, performed necessary investigations, prepared a written report, and hereby recommends approval of the Project as depicted on the plan set shown in Exhibit "B", which is attached hereto and made a part hereof by this reference as though fully set forth herein; and

WHEREAS, City staff provided public notice of the application in accordance with City and State public noticing requirements; and

WHEREAS, on January 9, 2024, the Planning Commission held a duly noticed public hearing as prescribed by law, at which time the Planning Commission received and considered the reports and recommendation of the Planning Division and gave all person's full opportunity to be heard and to present evidence and testimony regarding the Project. Evidence was submitted to and considered by the Planning Commission, including, without limitation:

- a. Written information including plans, studies, written and graphical information, and other material, submitted by the Applicant;
- b. Oral testimony from City staff, interested parties, and the public;
- c. The staff report, dated January 9, 2024, with its attachments as well as City staff's recommendation on the Project, which is incorporated herein as though fully set forth herein; and
- d. Additional information submitted during the public hearing; and

WHEREAS, the public hearing before the Planning Commission was conducted in all respects as required by the Escondido Municipal Code and the rules of this Planning Commission.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Escondido that:

1. The above recitations are true and correct.
2. The Planning Commission, in its independent judgement, has determined the Project to be exempt from environmental review pursuant to California Environmental Quality Act ("CEQA"), CEQA Guidelines section 15332, Class 32 (In-Fill Development). The Project qualifies for an exemption under CEQA Guidelines from the California

Environmental Quality Act (CEQA) under Section 15332, Class 32 In-fill Development Project. The proposed project or its circumstances would not result in any exceptions identified in CEQA Guidelines, Section 15300.2. Among the classes of projects that are exempt from CEQA review are those projects that are specifically identified as urban in-fill development. CEQA Guidelines, Section 15332, defines in-fill development (Class 32 exemptions) as being applicable to projects meeting the following conditions:

- The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.
- The project site has no value as habitat for endangered, rare or threatened species.
- Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

3. The project does not involve the use of significant amounts of hazardous substances; and is serviced by all necessary public services and facilities and the site is connected to City sewer and water services.

4. After consideration of all evidence presented, and studies and investigations made by the Planning Commission and on its behalf, the Planning Commission makes the substantive findings and determinations attached hereto as Exhibit "C" relating to the information that has been considered. In accordance with the

Findings of Fact and the foregoing, the Planning Commission reached a decision on the matter as hereinafter set forth.

5. The Application to use the Property for the Project, subject to each and all the conditions hereinafter set forth in Exhibit "D", is hereby approved by the Planning Commission. The Planning Commission expressly declares that it would not have approved this Application except upon and subject to each and all of said conditions, each and all of which shall run with the land and be binding upon the Applicant, the owner, and all subsequent owners of the Property, and all persons who use the Property for the use permitted hereby.

6. The Planning Commission, therefore, directs that a Notice of Exemption be filed with the County Clerk of the County of San Diego in accordance with the CEQA Guidelines.

6. The development plans for the Project are on file in the Planning Division of the Development Services Department and are available for inspection by anyone interested herein, and the development plans are incorporated herein by this reference as if they were fully set forth herein. The Project is conditionally approved as set forth on the Application and Project drawings, all designated as approved by the Planning Commission, and which shall not be altered without the express authorization by the Planning Division. Any deviations from the approved development plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.

BE IT FURTHER RESOLVED that, pursuant to Government Code section 66020(d)(1):

1. NOTICE IS HEREBY GIVEN that the Project is subject to dedications, reservations, and exactions, as specified in the Conditions of Approval. The Project is subject to certain fees described in the City of Escondido’s Development Fee Inventory on file in both the Planning Division and Engineering Division of the Development Services Department. The Applicant shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits are issued. It is the City’s intent that the costs representing future development’s share of public facilities and capital improvements be imposed to ensure that new development pays the capital costs associated with growth. The Applicant is advised to review the Planned Fee Updates portion of the web page, www.escondido.org, and regularly monitor and/or review fee-related information to plan for the costs associated with undertaking the Project.

2. NOTICE IS FURTHER GIVEN that the 90-day period during which to protest the imposition of any fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution, and any such protest must be in a manner that complies with Government Code section 66020.

PASSED, ADOPTED, AND APPROVED by a majority vote of the Planning Commission of the City of Escondido, California, at a regular meeting held on the 9th day of January , 2024, by the following vote, to wit:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAINED: COMMISSIONERS:

ABSENT: COMMISSIONERS:

Rick Paul, Chair
Escondido Planning Commission

ATTEST:

Veronica Morones, Secretary of the
Escondido Planning Commission

I hereby certify that the foregoing Resolution was passed at the time and by the vote above stated.

Alexander Rangel, Minutes Clerk
Escondido Planning Commission

Decision may be appealed to City Council pursuant to Zoning Code Section 33-1303

Exhibit "A"
Planning Case No. PL21-0057
Legal Description

Legal Description of Land

Real property in the City of Escondido, County of San Diego, State of California, described as follows:

PARCEL 2 OF PARCEL MAP #4261 IN THE CITY OF ESCONDIDO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 25, 1975.

APN: 232-091-20-00

NORTH COUNTY TRANSIT DISTRICT BREEZE OPERATIONS EAST SITE EXPANSION 335 N. QUINCE STREET ESCONDIDO, CA 92806

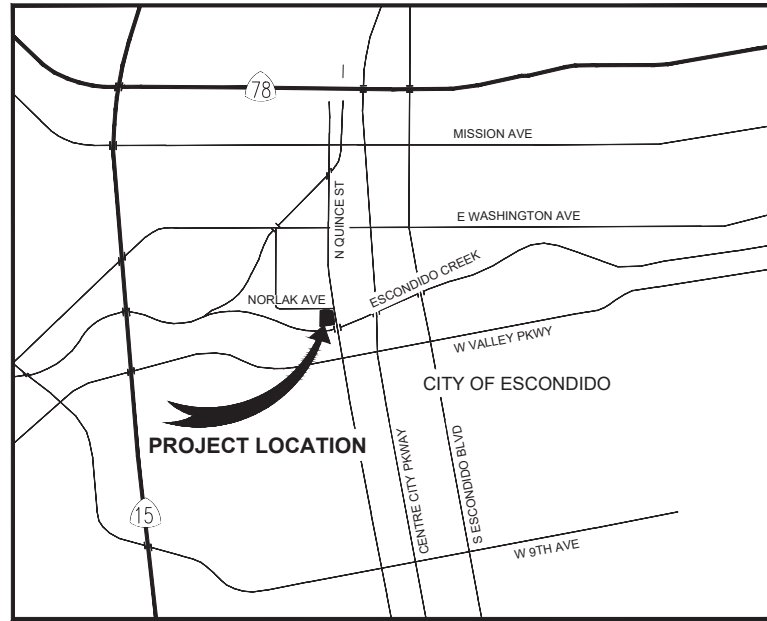
DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF ESCONDIDO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

NAME OF ENGINEER _____ DATE _____
R.C.E.# _____
EXP. DATE _____

SURVEY NOTE:

COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, 1983 NAD (2017.50 EPOCH)
BEARINGS ARE BASED ON THE BEARING BETWEEN CALIFORNIA SPATIAL REFERENCE CENTER CONTINUOUS GPS STATIONS "DSME" TO "RAPP" BEING N61°18'37.5"E
ELEVATIONS ARE BASED ON CITY OF ESCONDIDO BENCH MARK 66-A DESCRIBED AS "CHISELED X ON TOP OF CURB, AT THE CENTER OF CURS RETURN, ON THE N.W. CORNER OF 9TH AVENUE AND JUNIPER STREET, RESET 12/2005."
ELEV. = 640.07 FEET (NGVD 29, YEAR OF ADJUSTMENT, 2012)
DATE OF SURVEY: MAY 2020



LOCATION MAP
NTS

INDEX OF DRAWINGS		
DWG NO.	SHT NO.	SHEET TITLE
C-001	09	TITLE SHEET
C-101	10	SITE PLAN
C-102	11	DEMOLITION PLAN
C-103	12	CONSTRUCTION PLAN
C-104	13	GRADING AND DRAINAGE PLAN
C-105	14	EROSION CONTROL PLAN
C-106	15	UTILITIES PLAN
C-107	16	SIGNAGE AND STRIPING PLAN
C-501	17	DETAILS
C-501A	18	DETAILS
C-502	19	DETAILS
C-503	20	DETAILS
C-504	21	DETAILS
C-505	22	DETAILS
C-506	23	DETAILS
C-507	24	DETAILS
C-508	25	DETAILS

SOILS ENGINEER CERTIFICATE

THIS GRADING AND RETAINING WALL PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS OUTLINED IN THE SOILS REPORT PREPARED FOR THIS DEVELOPMENT.

COMPANY: _____
ADDRESS: _____
PHONE: _____ DATE: _____
ENGINEER: _____ R.C.E. NO. _____



ENGINEER
Mysore R. Satish
MYSORE SATISH

CITY OF ESCONDIDO ENGINEERING DEPARTMENT
APPROVED
By _____ Date _____
(for City Engineer)
Comments _____
OBTAIN GRADING PERMIT
AT FIELD ENGINEERING OFFICE
PRIOR TO GRADING

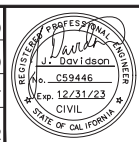
RECORD DRAWING
PRINT ENGINEER'S NAME R.C.E. _____ DATE _____

DIGALERT
CALL BEFORE YOU DIG
1-800-227-2600
2 WORKING DAY
NOTICE REQUIRED

811
Know what's below.
Call before you dig.

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
	09/16/22	JD		JD	ZO	KT	09/16/22
	09/16/22	JD	SWQMP REVISIONS TO MWS				
	09/24/21	JD	NCTD REQUESTED UPDATES				
	01/29/21	JD	FINAL DESIGN (CUP SET)				
	12/07/20	JD	FINAL DESIGN				
	10/02/20	JD	50% DESIGN SUBMITTAL				



STV
ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577

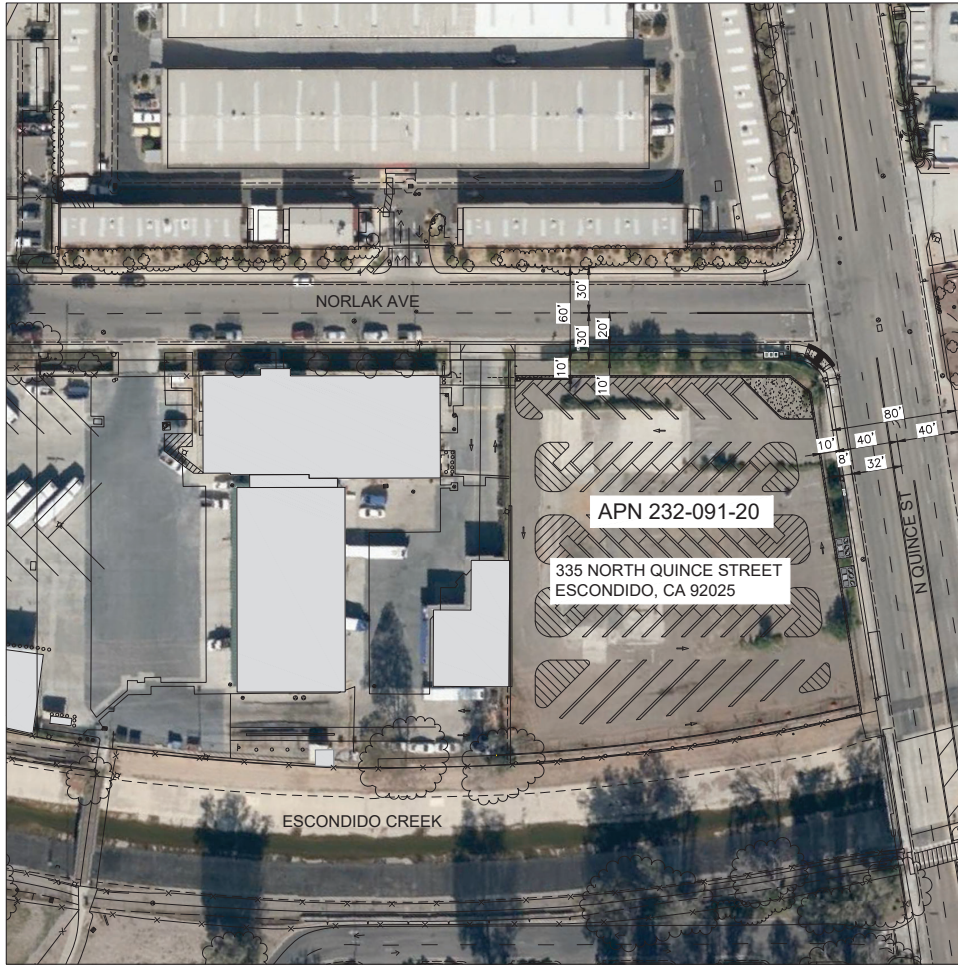
NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

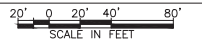
PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
TITLE SHEET

PROJECT NO
4020125
SCALE
N/A
DRAWING NO
C-001
SHEET NO
9 OF 45

I:\Projects\20210125_4020125_0004\04_CAD_Models_and_Sheets\04_C_Civil\Sheets\C-001.dwg Sep 23, 2022 12:37pm 2022/9/23



SITE PLAN
1 C-101 1" = 40'



GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2015 EDITION, EFFECTIVE DECEMBER 07, 2016 BY RESOLUTION NO. 2016-17 AND THE DESIGN STANDARDS AND STANDARD DRAWINGS OF THE CITY OF ESCONDIDO EFFECTIVE APRIL 02, 2014 BY RESOLUTION 2014-08, ALONG WITH ANY AMENDMENTS THERETO.
2. ALL CONTRACTORS WORKING IN THE PUBLIC RIGHT OF WAY SHALL OBTAIN A SEPARATE ENCROACHMENT PERMIT WITH THE CITY OF ESCONDIDO FROM THE DIRECTOR OF ENGINEERING SERVICES. INSPECTION OF ALL WORK IS REQUIRED. CONTACT THE ENGINEERING FIELD OFFICE AT (760) 839-4654 TO ARRANGE FOR ENCROACHMENT PERMITS AND INSPECTION. TWENTY-FOUR HOUR ADVANCE NOTICE IS REQUIRED FOR INSPECTION. NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT OF WAY ON SATURDAYS, SUNDAYS OR LEGAL HOLIDAYS WITHOUT THE EXPRESS PERMISSION OF THE CITY ENGINEER.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID SUBSTRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
4. LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS WITHIN THE AREA OF WORK SHALL BE CONFIRMED BY FIELD MEASUREMENT PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.

ASSESSOR'S PARCEL NUMBER (APN):
232-091-20

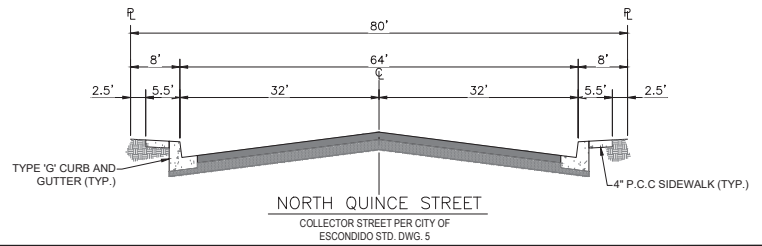
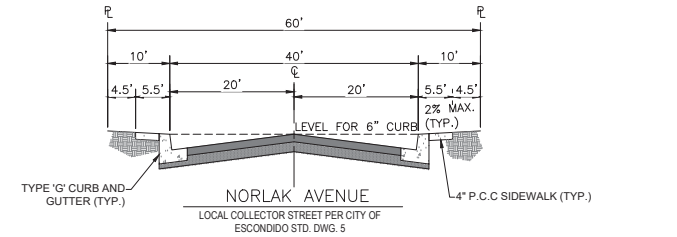
SITE ADDRESS:
335 NORTH QUINCE STREET
ESCONDIDO, CA 92025

LEGAL DESCRIPTION:
PARCEL 2 OF PARCEL MAP #4261 IN THE CITY OF ESCONDIDO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 25, 1975.

EASEMENTS:
ITEM 3: AN EASEMENT FOR PIPE LINES, DITCHES AND INCIDENTAL PURPOSES, RECORDED AUGUST 1, 1895 IN BOOK 238 OF DEEDS, PAGE 390. IN FAVOR OF: ESCONDIDO IRRIGATION DISTRICT. NOT PLOTTABLE FROM RECORD DATA.

ITEM 4: AN EASEMENT FOR LAY WATER PIPES ACROSS SAID LAND AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AUGUST 25, 1908 IN BOOK 449 OF DEEDS, PAGE 13.

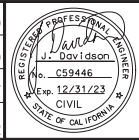
ITEM 5: AN EASEMENT FOR WATER PIPE LINE AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 23, 1962 AS INSTRUMENT NO. 200754 OF OFFICIAL RECORDS. IN FAVOR OF: MERLE F. FARR AND ELLEN D. FARR, HUSBAND AND WIFE AS COMMUNITY PROPERTY



NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
	09/16/22	JD	SWQMP REVISIONS TO MWS
	09/24/21	JD	NCTD REQUESTED UPDATES
	01/29/21	JD	FINAL DESIGN (CUP SET)
	12/07/20	JD	FINAL DESIGN
	10/02/20	JD	50% DESIGN SUBMITTAL

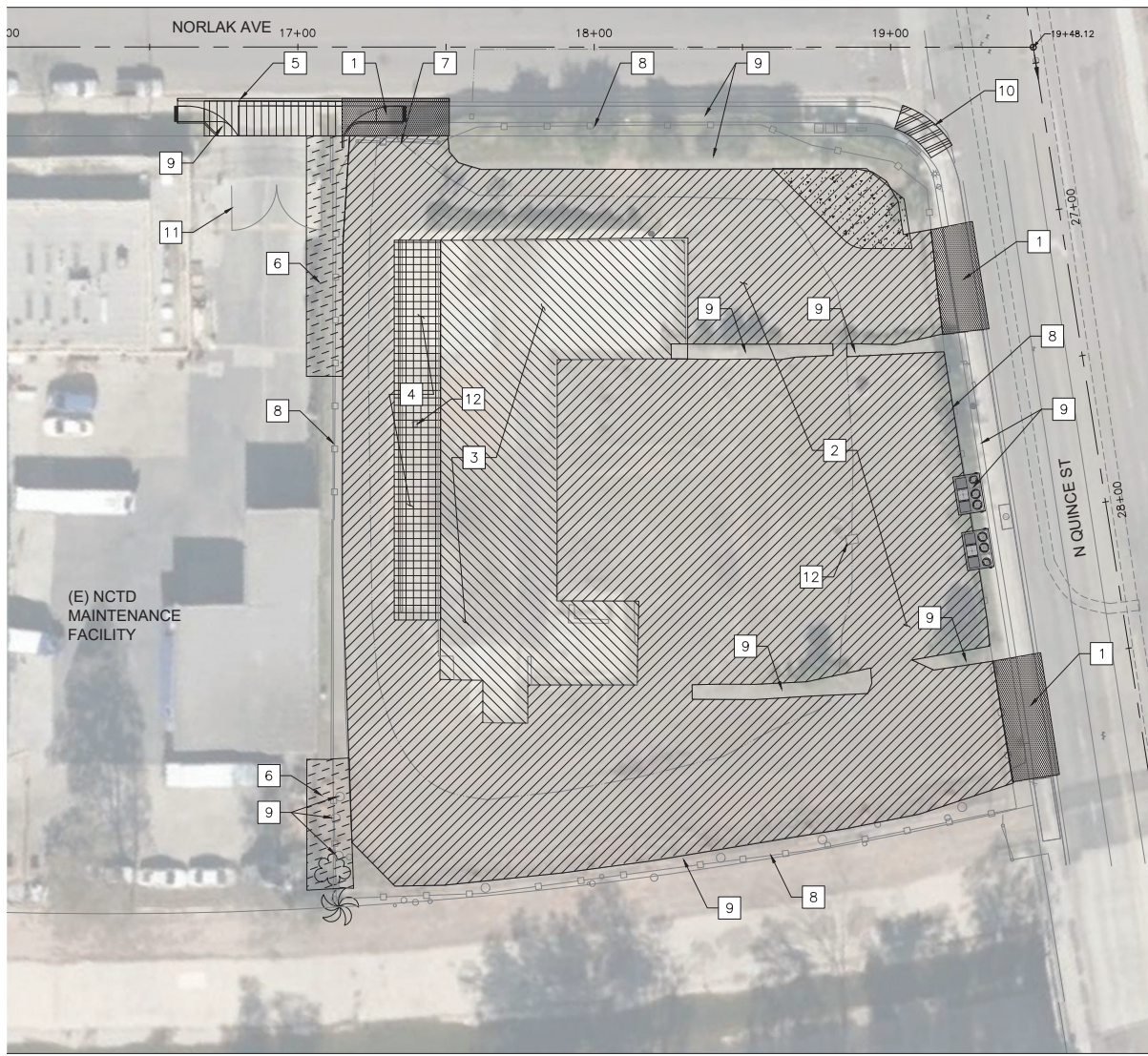
DESIGNED BY: JD
DRAWN BY: ZO
CHECKED BY: KT
DATE: 09/16/22















PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
SITE PLAN

PROJECT NO
4020125
SCALE
1" = 40'
DRAWING NO
C-101
SHEET NO
10 OF 45

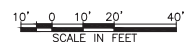


LEGEND

-  1 REMOVE EXISTING DRIVE APPROACH AND SIDEWALK
-  2 REMOVE EXISTING ASPHALT PAVEMENT
-  3 REMOVE EXISTING CONCRETE FOUNDATION
-  4 REMOVE EXISTING TRUCK DOCK, RETAINING WALL AND CONCRETE PAVEMENT
-  5 REMOVE EXISTING CURB AND SIDEWALK AS REQUIRED FOR NEW DRIVE APPROACH.
-  6 REMOVE INTERFERING PORTIONS OF ADJACENT IMPROVEMENTS AS REQUIRED FOR NEW DRIVEWAY CIRCULATION
-  7 REMOVE EXISTING VEHICLE GATE AND RELATED FOUNDATIONS.
-  8 REMOVE EXISTING PERIMETER FENCE AND RELATED FOUNDATIONS.
-  9 REMOVE EXISTING VEGETATION (GREES, SHRUBS, GRASS) AND PARKING ISLAND.
-  10 REMOVE EXISTING SIDEWALK AND CONCRETE PEDESTRIAN RAMP AS REQUIRED FOR NEW ADA CURB RAMP.
-  11 REMOVE EXISTING FENCE AND VEHICLE GATE.
-  12 REMOVE EXISTING AREA DRAIN AND INTERFERING PORTIONS OF EXISTING STORM DRAIN LINE



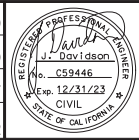
1 DEMOLITION PLAN
C-102 1" = 20'



NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION

DESIGNED BY: JD
 DRAWN BY: ZO
 CHECKED BY: KT
 DATE: 09/16/22



PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

PROJECT TITLE
 BREEZE OPERATIONS EAST
 SITE EXPANSION
 SHEET TITLE
 DEMOLITION PLAN

PROJECT NO. 4020125
 SCALE 1" = 20'
 DRAWING NO. C-102
 SHEET NO. 11 OF 45



CONSTRUCTION NOTES:

- 1 CONSTRUCT CURB ONLY PER SAN DIEGO REGIONAL STD DWG G-01 AND PER DETAIL 1 ON SHEET C-503
- 2 CONSTRUCT 12" HDPE STORM DRAIN PIPE, WITH PIPE BEDDING AND TRENCH PER SAN DIEGO STD DWG D-60.
- 3 CONSTRUCT GRATED CATCH BASIN BOX INLET PER SAN DIEGO REGIONAL STD DWG D-29, WITH DETAILS PER D-11A AND D-11B, METAL FRAME PER D-13, GRATE PER D-15.
- 4 CONSTRUCT NEW ADA CURB RAMP, TYPE C, PER SAN DIEGO REGIONAL STD DWG G-29, REFER TO STD G-32A FOR CURB RAMP GENERAL NOTES AND G-32B FOR DETAILS. CT=8'-0". TRUNCATED DOME TILE COLOR SHALL BE COLONIAL RED PER CITY OF ESCONDIDO DESIGN STANDARD 7.C. PROTECT EXISTING SDG&E TERMINATOR EQUIPMENT IN PLACE.
- 5 NOT USED
- 6 INSTALL MWS LINEAR BIOFILTRATION PLANTER BOX. SEE GRADING AND DRAINAGE PLAN, SHEET C-104 FOR MANUFACTURER'S MODEL AND SHEET C-503, DETAIL 2 FOR MORE INFO.
- 7 NOT USED
- 8 CONSTRUCT SIDEWALK REPLACEMENT PER CITY OF ESCONDIDO STD DWG G-6-E AND PER DETAILS 2 AND 3 ON SHEET C-502
- 9 CONSTRUCT NEW DRIVE APPROACH PER CITY OF ESCONDIDO STD. DWG. G-5-E, WIDTH PER PLAN.
- 10 CONSTRUCT CMU PERIMETER SITE WALL, 6'-0" HIGH WITH 2'-0" WROUGHT IRON METAL FENCE TOPPING, PER DETAIL 7 ON SHEET C-502
- 11 CONSTRUCT NEW CURB AND CUTTER WITH 2" WIDE ASPHALT REPLACEMENT PER SAN DIEGO REGIONAL STD DWG G-02
- 12 NOT USED
- 13 INSTALL NEW CONCRETE PAVEMENT, 9" PCC OVER 12" AGGREGATE BASE OVER 12% 95% COMPACTED SOIL (TI=6.5) AND PER DETAILS 4 AND 8 ON SHEET C-502
- 14 CONSTRUCT NEW WROUGHT IRON MOTORIZED ROLLING VEHICLE GATE, 8'-0" HIGH, PER DETAILS ON SHEETS C-501 AND C-501A. GATE SHALL BE EQUIPPED WITH A KNOX BOX AND AN OPTICOM DETECTOR FOR FIRE ACCESS.
- 15 CONSTRUCT NEW PEDESTRIAN GATE, WROUGHT IRON, 4'-0" WIDE. SEE DETAILS ON SHEETS C-501 AND C-501A.
- 16 CONSTRUCT CHAIN LINK SITE FENCE, 8'-0" HIGH, TO MATCH EXISTING FENCE AT ADJACENT MAINTENANCE FACILITY PROPERTY.
- 17 CONSTRUCT WROUGHT IRON FENCE, 8'-0" HIGH. SEE SHEET C-501 FOR SIMILAR DETAILS. TYPICAL SEGMENT WIDTHS SHALL MATCH EXISTING FENCE AT MAIN LOT.
- 18 INSTALL VEHICLE BOLLARD PER DETAIL 1 ON SHEET C-502
- 19 INSTALL VEHICLE WHEEL STOP PER DETAIL 6 ON SHEET C-502
- 20 EQUIPMENT PAD PER DETAIL 5 ON SHEET C-502
- 21 CONSTRUCT CURB AND CONCRETE PAD FOR GATE QUEUE PER DETAIL 1B ON SHEET C-501

PROTECT IN PLACE:

- 40 EXISTING TRAFFIC SIGN
- 41 EXISTING LIGHT POLE
- 42 EXISTING CATCH BASIN AND STORM DRAIN MANHOLE
- 43 EXISTING AT&T COMMUNICATIONS ACCESS BOX
- 44 EXISTING COMMUNICATIONS EQUIPMENT ENCLOSURE
- 45 EXISTING FIRE HYDRANT
- 46 EXISTING SDG&E TERMINATOR EQUIPMENT ENCLOSURE
- 47 EXISTING SDG&E TRANSFORMER EQUIPMENT ENCLOSURES, TYPICAL OF 3
- 48 EXISTING DRIVEWAY FOR CHANNEL MAINTENANCE AND ACCESS
- 49 COX COMMUNICATION ACCESS BOX
- 50 STREET LIGHT ACCESS BOX

1 **CONSTRUCTION PLAN**
C-103 1" = 20'

SCALE IN FEET

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION

DESIGNED BY: **JD**

DRAWN BY: **ZO**

CHECKED BY: **KT**

DATE: **09/16/22**

STV

ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS
 1055 WEST 7th STREET, SUITE 2900
 LOS ANGELES, CA. 90017-2577

**NORTH COUNTY
TRANSIT DISTRICT**

PROJECT ADDRESS

EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE

**BREEZE OPERATIONS EAST
SITE EXPANSION**

SHEET TITLE

CONSTRUCTION PLAN

PROJECT NO

4020125

SCALE

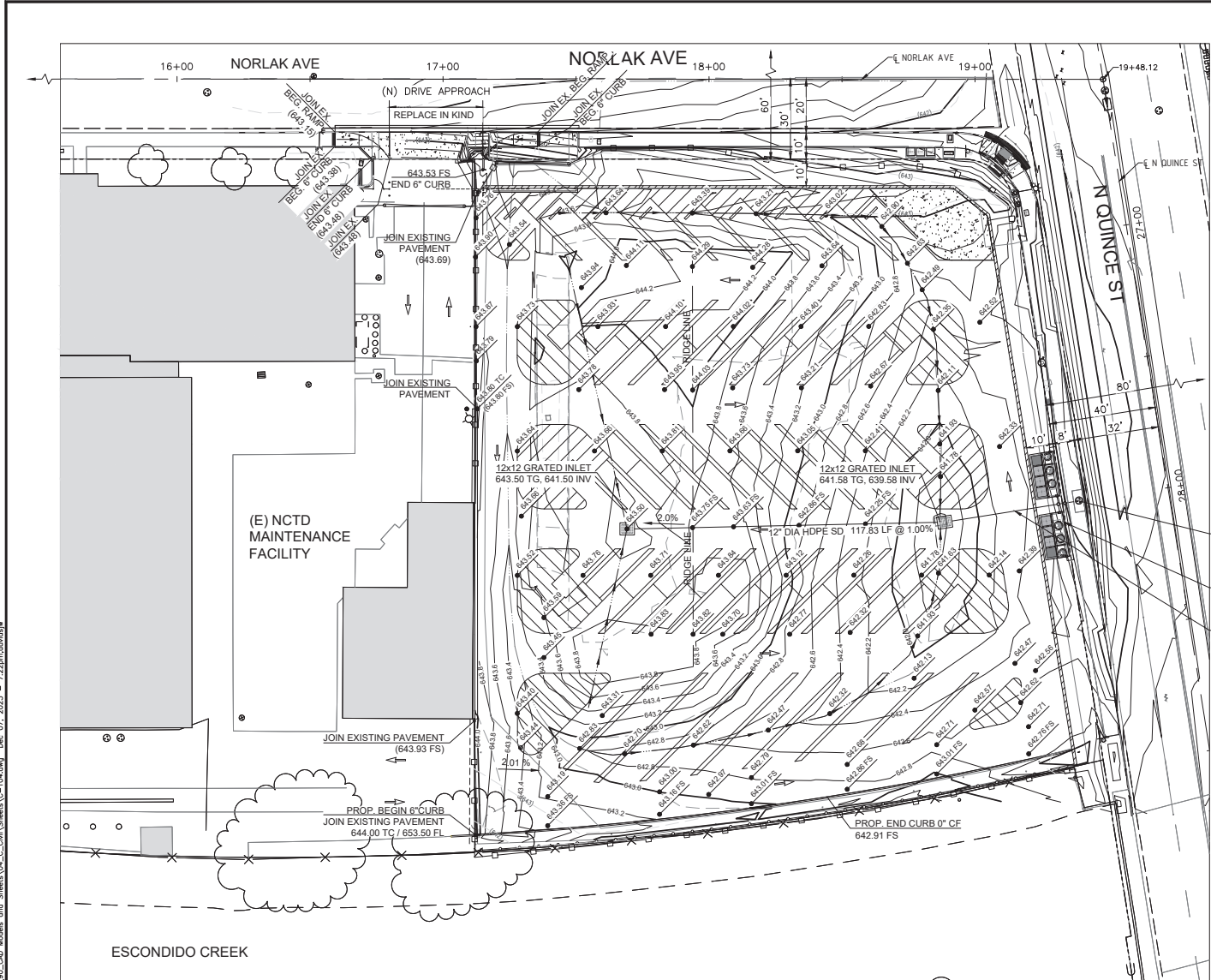
1" = 20'

DRAWING NO

C-103

SHEET NO

12 OF 45



- GRADING AND DRAINAGE NOTES:**
1. FOLLOWING THE APPROVAL OF THE GRADING PLAN, BUT NO LONGER THAN 48 HOURS BEFORE STARTING GRADING, THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT WITH THE CITY OF ESCONDIDO FROM THE ENGINEERING FIELD OFFICE AT 201 NORTH BROADWAY, (760) 939-4664.
 2. GRADING AREAS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH ARTICLE 55, EXCAVATION AND GRADING, OF THE ESCONDIDO ZONING CODE.
 3. THE SOILS REPORT PREPARED BY DIAZ YOURMAN & ASSOCIATES DATED DECEMBER 11, 2020 AND ALL SUPPLEMENTS THEREOF ARE INCORPORATED AND MADE A PART OF THE PLAN.
 4. ALL FILLS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY. A COMPACTION REPORT, ACCOMPANIED BY A PAD CERTIFICATION REPORT, SHALL BE SUBMITTED TO THE FIELD ENGINEER PRIOR TO THE ROUGH GRADING INSPECTION FOR ALL FILLS EXCEEDING ONE FOOT IN DEPTH, FOR EACH GRADED PAD. THE COMPACTION REPORT SHALL INCLUDE A STATEMENT THAT THE GEOTECHNICAL ENGINEERING AND ENGINEERING GEOLOGIC ASPECTS OF THE GRADING HAVE BEEN INSPECTED AND ARE IN COMPLIANCE WITH THE APPLICABLE CONDITIONS OF THE GRADING PERMIT, THE GEOTECHNICAL ENGINEER'S AND ENGINEERING GEOLOGIST'S RECOMMENDATIONS, THE COMPACTION REPORT AND PAD CERTIFICATION LETTER SHALL BE REVIEWED AND APPROVED BY THE FIELD ENGINEER PRIOR TO THE ROUGH GRADING APPROVAL.
 5. ALL SLOPES SHALL BE CONTOUR-GRADED SO AS TO ROUND CORNERS AND TO BLEND MANUFACTURED SLOPES INTO ADJACENT NATURAL SLOPES. SEE SECTION 33-1066-C OF THE GRADING ORDINANCE FOR SPECIFIC REQUIREMENTS.
 6. ALL SLOPES OVER THREE FEET IN HEIGHT SHALL BE LANDSCAPED. FOR SLOPES OVER FIVE FEET IN HEIGHT, THE CONTRACTOR SHALL PROVIDE PERMANENT SPRINKLER SYSTEMS INSTALLED ON EACH LOT.
 7. PAD ELEVATION CERTIFICATES MUST BE SUBMITTED FOR EACH PAD A MINIMUM OF 3 DAYS PRIOR TO REQUESTING FINAL ROUGH GRADING INSPECTION. THE CERTIFICATE MUST BE AN ORIGINAL SIGNED AND SEALED BY A CALIFORNIA LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER WITH AN RCE NO. OF 33965 OR LESS, AND MUST CONTAIN AN ELEVATION TO THE NEAREST TENTH OF A FOOT. THE STATEMENT "SUBSTANTIAL CONFORMANCE" WILL NOT BE ALLOWED.
 8. BLASTING SHALL NOT BE PERMITTED.

EXISTING CATCH BASIN
TYPE "K", W=7'-0" (ST-405)
PER AS-BUILT PLAN 1455-5
(641.73 RIM, 640.90 FL, 637.86 INV)

CONTECH MWS LINEAR BIOFILTRATION PLANTER BOX
MODEL MWS-L-8-16 OR EQUAL, EACH SIDE (2 TOTAL),
PER DETAIL 2 ON SHEET C-503; 639.48 FL

REMOVE AND REPLACE PORTION OF EXISTING
STORM DRAIN LINE, UNKNOWN DIAMETER, WITH 12"
HDPE SD, 47.19 LF @ 3.43%

CONTOUR INTERVAL:
CONTOURS ARE 1 FOOT MAJOR INTERVALS, WITH 0.20' MINOR INTERVALS.

BENCHMARK:
COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, 1983 NAD (2017.50 EPOCH)

BEARINGS ARE BASED ON THE BEARING BETWEEN CALIFORNIA SPATIAL REFERENCE CENTER CONTINUOUS GPS STATIONS "DSME" TO "RAPP" BEING N61°18'37.5"E

ELEVATIONS ARE BASED ON CITY OF ESCONDIDO BENCH MARK 66-A DESCRIBED AS "CHISELED X ON TOP OF CURB, AT THE CENTER OF CURB RETURN, ON THE N.W. CORNER OF 9TH AVENUE AND JUNIPER STREET. RESET 12/2005."
ELEV. = 640.07 FEET (NGVD 29, YEAR OF ADJUSTMENT, 2012)

DATE OF SURVEY: MAY 2020

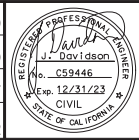
1 GRADING AND DRAINAGE PLAN
C-104 1" = 20'

SCALE IN FEET
0 10' 20' 40'

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
	09/16/22	JD	DESIGNED BY
	09/16/22	JD	SWQMP REVISIONS TO MWS
	09/24/21	JD	NCTD REQUESTED UPDATES
	01/29/21	JD	FINAL DESIGN (CUP SET)
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	10/02/20	JD	50% DESIGN SUBMITTAL

DESIGNED BY: JD
DRAWN BY: ZO
CHECKED BY: KT
DATE: 09/16/22



STV
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
GRADING AND DRAINAGE PLAN

PROJECT NO
4020125
SCALE
1" = 20'
DRAWING NO
C-104
SHEET NO
13 OF 45

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STORM WATER POLLUTION PREVENTION NOTES:

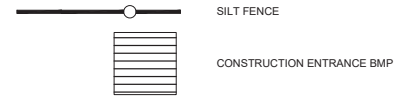
- BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED DURING ALL PHASES OF CONSTRUCTION IN CONFORMANCE WITH THE CITY OF ESCONDIDO'S MUNICIPAL CODE. ADDITIONALLY, SITES OVER AN ACRE SHALL ABIDE BY THE CONSTRUCTION GENERAL PERMIT (CGP). ALL BMPs SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE CASQA HANDBOOK, AT A MINIMUM PERIMETER CONTROL AND CONSTRUCTION ENTRANCES SHOULD BE IN PLACE PRIOR TO A GRADING PERMIT BEING ACTIVATED.
- INSPECTION, MODIFICATION AND MAINTENANCE OF THE BMPs SHALL BE IMPLEMENTED AS NECESSARY. IN THE EVENT OF FAILURE OR REFUSAL TO PROPERLY MAINTAIN THE BMPs, THE CITY MAY ISSUE EMERGENCY MAINTENANCE WORK TO BE COMPLETED TO PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY. THE COST (INCLUDING AN INITIAL MOBILIZATION AMOUNT) AND ANY FINES ASSESSED TO THE CITY SHALL BE CHARGED TO THE OWNER OF THE PROJECT.
- NECESSARY MATERIALS TO IMPLEMENT THE REQUIRED BMPs SHALL BE AVAILABLE ON SITE TO FACILITATE RAPID DEPLOYMENT OR TO REPAIR ANY BMP FAILURES.
- CITY STAFF SHALL BE ALERTED BY THE CONTRACTOR, PERMITEE OR OWNER, AS NEEDED FOR EMERGENCY WORK DURING STORMS.
- RUN-ON FLOW ONTO THE SITE SHALL BE PROPERLY MANAGED AND PLANNED FOR TO PREVENT FAILURE OF BMPs AND/OR ILLEGAL DISCHARGES FROM THE PROJECT SITE INTO THE STORM DRAIN.
- STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AT EVERY ONSITE STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. WHERE FEASIBLE DESILTING BASINS SHALL ALSO BE PROVIDED AT DRAINAGE OUTLETS FROM THE GRADED SITE.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED ON SLOPES AND ANY EXPOSED SOIL USING THE FOLLOWING BMPs: FIBER BLANKETS, BONDED FIBER MATRIX; OR BY INSTALLING OR MAINTAINING EXISTING VEGETATION. THE CONTRACTOR SHALL IMMEDIATELY REPAIR AND STABILIZE ANY ERODED AREAS. INACTIVE SLOPES SHALL BE PROTECTED AND STABILIZED. ALL EXPOSED SOIL INCLUDING INACTIVE AND ACTIVE SLOPES SHALL BE PROTECTED PRIOR TO A RAIN EVENT.
- ALL UNPAVED GRADED CHANNELS SHALL IMPLEMENT EROSION PREVENTION MEASURES SUCH AS LINING AND INSTALLING VELOCITY CHECK DAMS AT REGULAR INTERVALS.
- STREET SWEEPING VEHICLES WITH VACUUMS AND WATER TANKS SHALL BE USED TO KEEP PAVED STREETS FREE OF LOOSE SOIL AND/OR CONSTRUCTION DEBRIS.
- CONTRACTORS SHALL HAVE WATER TRUCKS AND EQUIPMENT ON-SITE TO MINIMIZE AIRBORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS. ADDITIONAL DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS NEEDED.
- STOCKPILES SHALL BE COVERED AT THE END OF EACH WORKING DAY AND PRIOR TO FORECAST RAIN. ASPHALT SHALL ADDITIONALLY BE PLACED ON A LAYER OF PLASTIC SHEET, OR EQUIVALENT.
- ALL PORTABLE TOILETS SHALL HAVE SECONDARY CONTAINMENT AND NOT BE LOCATED NEAR STORM DRAIN (I.E., CATCH BASIN OR STREET).
- VEHICLES SHALL HAVE DRIP PANS UNDERNEATH THEM AND ANY LEAKS OR SPILLS SHALL BE PROMPTLY REPAIRED AND REMOVED.
- ALL DEBRIS SHALL BE PLACED IN DUMPSTERS WITH LIDS. THE LIDS SHALL BE CLOSED AT THE END OF EACH DAY AND ARE NOT TO BE OVERFILLED. ADDITIONAL TRASH PICK-UPS SHALL BE MADE AS NECESSARY.
- LIQUID MATERIALS SHALL BE STORED IN CLOSED CONTAINERS IN SECONDARY CONTAINMENT AND UNDER COVER. SOLID MATERIALS SHALL BE STORED ON PALLETS AND BE COVERED PRIOR TO FORECAST RAIN.
- A MATERIALS WASHOUT SHALL BE AVAILABLE ONSITE WHENEVER LIQUID MATERIALS ARE USED. THE WASHOUT SHALL FULLY CONTAIN WASH MATERIALS AND THE SURROUNDING AREA SHALL BE KEPT FREE OF SPILLS.
- DISCHARGE OF POTABLE WATER (SUCH AS FROM POWER WASHING OR FILLING WATER TRUCKS) SHALL BE PREVENTED OR DIRECTED TO LANDSCAPE.
- PERIMETER CONTROL IS REQUIRED ON ALL SITES
- ALL ACTIVE ENTRANCES SHALL PREVENT TRACKING BY INSTALLING STABILIZED CONSTRUCTION ENTRANCES.

ENGINEER'S CERTIFICATION OF STRUCTURAL BMP'S

THE ENGINEER OF RECORD SHALL VERIFY THAT THE STRUCTURAL BMP'S HAVE BEEN CONSTRUCTED AND OPERATE IN COMPLIANCE WITH ALL OF THE DESIGN SPECIFICATIONS, PLANS, PERMITS, ORDINANCES AND THE REQUIREMENTS OF THE MS4 PERMIT.

THE ENGINEER OF RECORD SHALL PROVIDE THE FIELD OFFICE WITH A SIGNED AND STAMPED CERTIFICATION(S) THAT THE PROJECT'S SITE DESIGN AND STRUCTURAL BMP'S WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SWQMP. THE CERTIFICATION SHALL INCLUDE PHOTOGRAPHS TAKEN DURING SEVERAL PHASES OF THE TREATMENT FACILITIES DURING CONSTRUCTION (INCLUDING PHOTOGRAPHS OF SUBSURFACE STRUCTURES AND MATERIALS) AND FINAL AS-BUILT CONDITIONS.

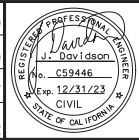
LEGEND



NOT FOR CONSTRUCTION

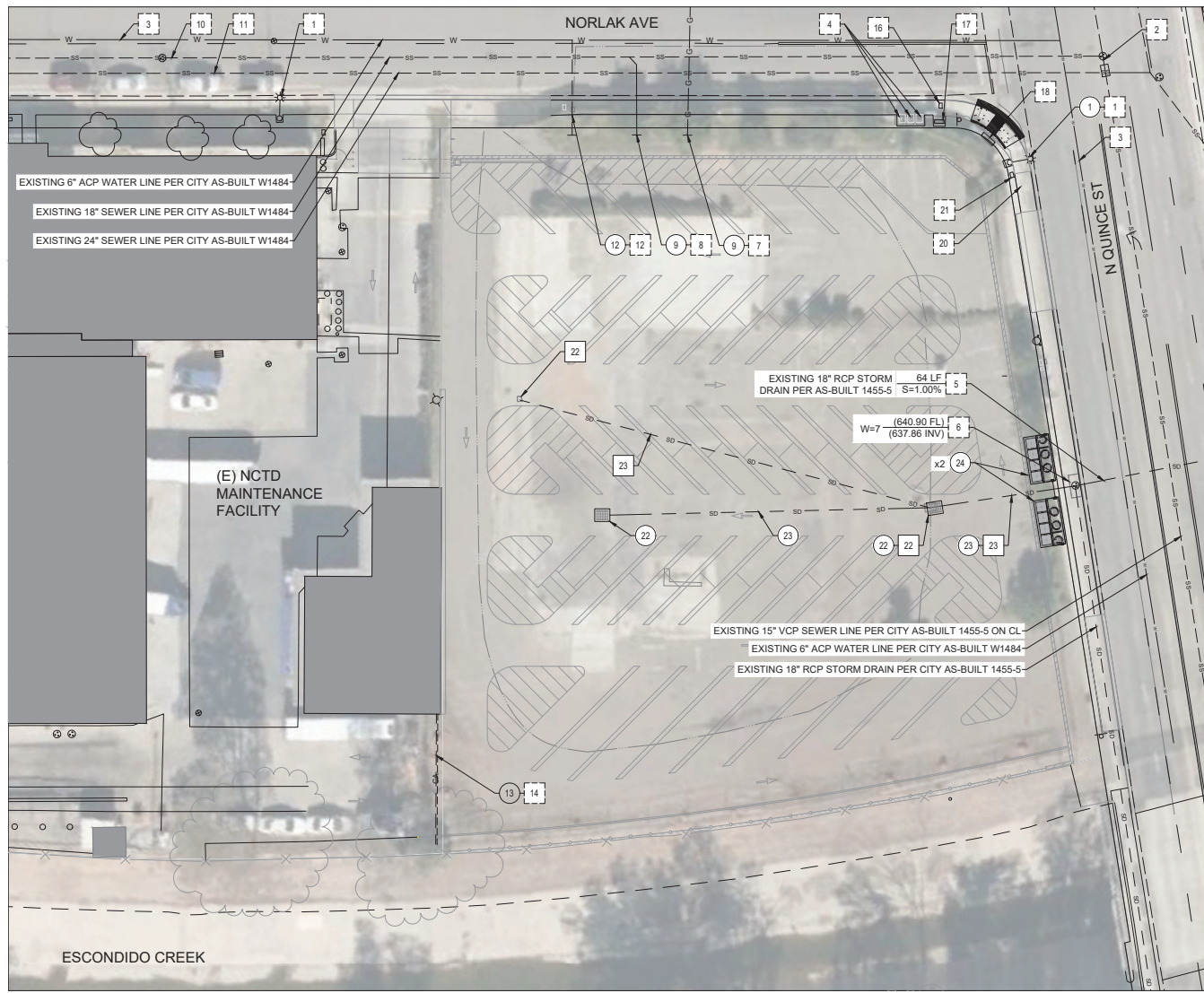
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	09/24/21	JD	NCTD REQUESTED UPDATES
	01/29/21	JD	FINAL DESIGN (CUP SET)
	12/07/20	JD	FINAL DESIGN
	10/02/20	JD	50% DESIGN SUBMITTAL

DESIGNED BY: JD
 DRAWN BY: ZO
 CHECKED BY: KT
 DATE: 09/16/22



PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

PROJECT TITLE	PROJECT NO
BREEZE OPERATIONS EAST SITE EXPANSION	4020125
SHEET TITLE	SCALE
EROSION CONTROL PLAN	1" = 20'
	DRAWING NO
	C-105
	SHEET NO
	14 OF 45



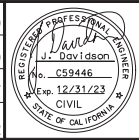
- CONSTRUCTION SYMBOLS:**
- CONSTRUCT
 - REMOVE
 - REMOVE & CONSTRUCT
 - EXISTING / PROTECT IN PLACE
 - REMODEL EXISTING
 - WORK BY OTHERS

- CONSTRUCTION NOTES:**
- 1 - STREET LIGHT. REPLACE EXISTING STREET LIGHT WITH NEW LED FIXTURE PER CITY OF ESCONDIDO STD DWG E-1-E.
 - 2 - MANHOLE
 - 3 - 6" ACP WATER PER CITY OF ESCONDIDO AS-BUILT PLAN W1484
 - 4 - SDG&E TRANSFORMER EQUIPMENT ENCLOSURES, TYPICAL OF 3
 - 5 - 18" RCP (2500-D) PER CITY OF ESCONDIDO AS-BUILT PLAN 1455-5, LENGTH AND SLOPE PER PLAN
 - 6 - TYPE "K" CURB INLET (ST-405) PER CITY OF ESCONDIDO AS-BUILT PLAN 1455, LENGTH AND INVERT PER PLAN
 - 7 - GAS LATERAL PER USA SURVEY FIELD MARK (NO AS-BUILT PLAN), PER NCTD THE EXISTING GAS LINE HAS BEEN DISCONNECTED AT THE MAINLINE ON THE FORTH SIDE OF THE STREET. FIELD VERIFY, CAP AT PROPERTY LINE, AND REMOVE REMAINING ONSITE PORTIONS.
 - 8 - SEWER LATERAL PER USA SURVEY FIELD MARK (NO AS-BUILT PLAN). CAP EXISTING SEWER AT PROPERTY LINE.
 - 9 - ABANDON REMAINING ONSITE UTILITY LINES
 - 10 - 18" SEWER PER CITY OF ESCONDIDO AS-BUILT PLAN W1484
 - 11 - 24" SEWER MAIN TRUNK LINE PER CITY OF ESCONDIDO AS-BUILT PLAN W1484
 - 12 - EXISTING WATER METER, MODIFY WITH BACKFLOW DEVICE PER LANDSCAPE PLANS. COORDINATE THE START OF NEW WATER SERVICE WITH THE CITY OF ESCONDIDO.
 - 13 - DETACH (E) COMPRESSED AIR LINE FROM (E) SITE FENCE THAT IS INTENDED TO BE DEMOD.
 - 14 - BURY 2' BELOW PROPOSED FINISH SURFACE OF (N) DRIVEWAY, DAYLIGHT ON EITHER SIDE TO RECONNECT TO (E) LINE.
 - 15 - NOT USED
 - 16 - AT&T ACCESS BOX
 - 17 - AT&T COMMUNICATION EQUIPMENT ENCLOSURE
 - 18 - SDG&E TERMINATOR EQUIPMENT ENCLOSURE
 - 19 - NOT USED
 - 20 - COX COMMUNICATION ACCESS BOX
 - 21 - STREET LIGHT ACCESS BOX
 - 22 - STORM DRAIN AREA DRAIN, SEE SHEET C-103
 - 23 - ONSITE STORM DRAIN LINE, SEE SHEET C-103
 - 24 - STORM WATER BMP. MWS LINEAR BIOFILTRATION PLANTER BOX. SEE GRADING AND DRAINAGE PLAN, SHEET C-104. FOR MANUFACTURER'S MODEL AND SHEET C-503, DETAIL 2 FOR MORE INFORMATION.

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION

DESIGNED BY: **JD**
 DRAWN BY: **ZO**
 CHECKED BY: **KT**
 DATE: **09/16/22**



STV
 ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
 1055 WEST 7th STREET, SUITE 2900
 LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

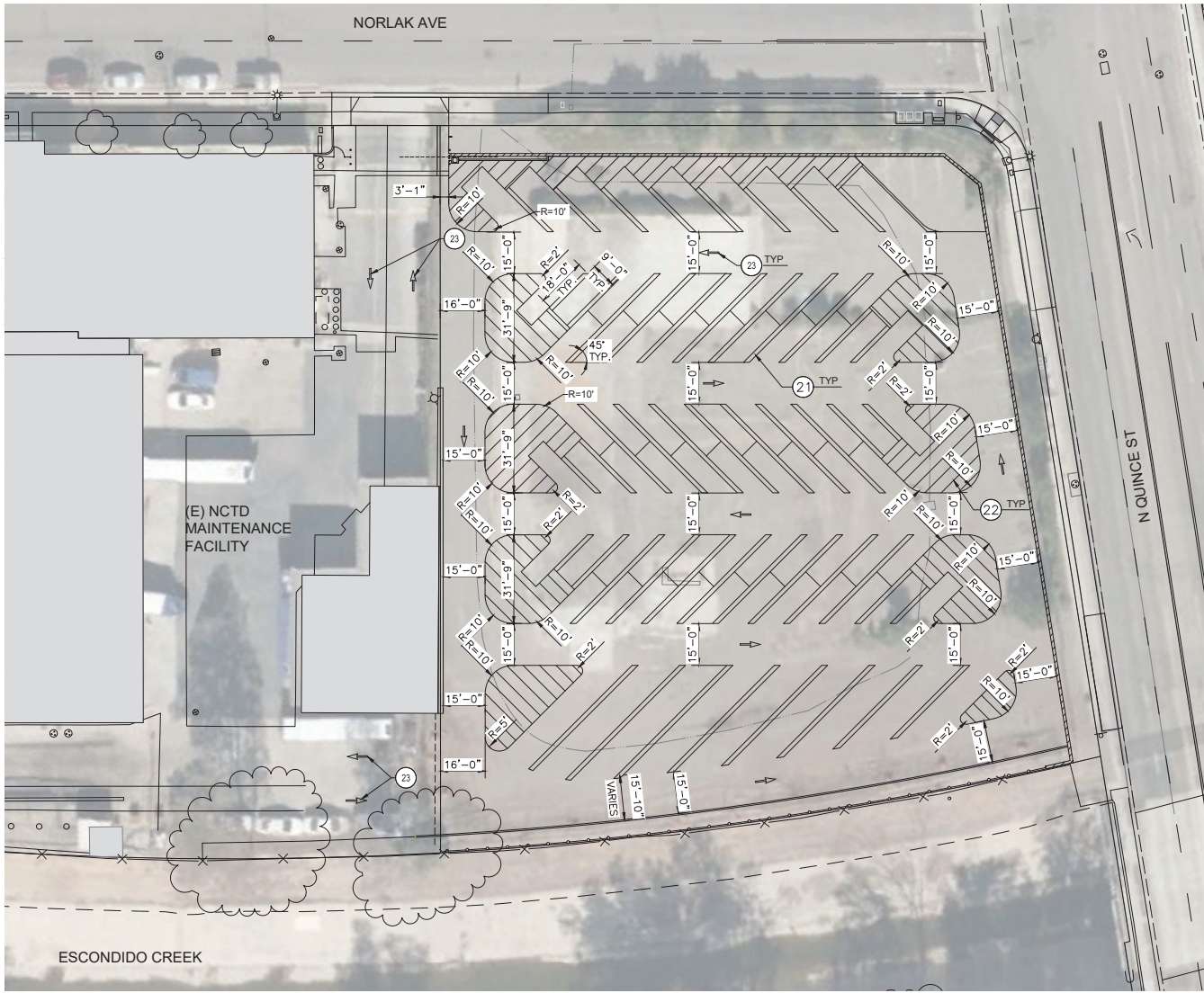
PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
 SHEET TITLE
UTILITIES PLAN

PROJECT NO. **4020125**
 SCALE **1" = 20'**
 DRAWING NO. **C-106**
 SHEET NO. **15 OF 45**

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SIGNAGE AND STRIPING CONSTRUCTION NOTES:

- ① PAINT SINGLE 4" WHITE PARKING STALL STRIPE
- ② PAINT 4" WHITE CROSS HATCH STRIPING AT 36" ON CENTER
- ③ VEHICLE DIRECTIONAL PAVEMENT MARKINGS, PER DETAIL 6 ON C-501A

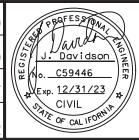


1 SIGNAGE AND STRIPING PLAN
 C-107 1" = 20'
 SCALE IN FEET: 10' 0 10' 20' 40'

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
	09/16/22	JD	DESIGNED BY
	09/24/21	JD	SWQMP REVISIONS TO MWS
	01/29/21	JD	NCTD REQUESTED UPDATES
	12/07/20	JD	FINAL DESIGN (CUP SET)
	10/02/20	JD	50% DESIGN SUBMITTAL

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



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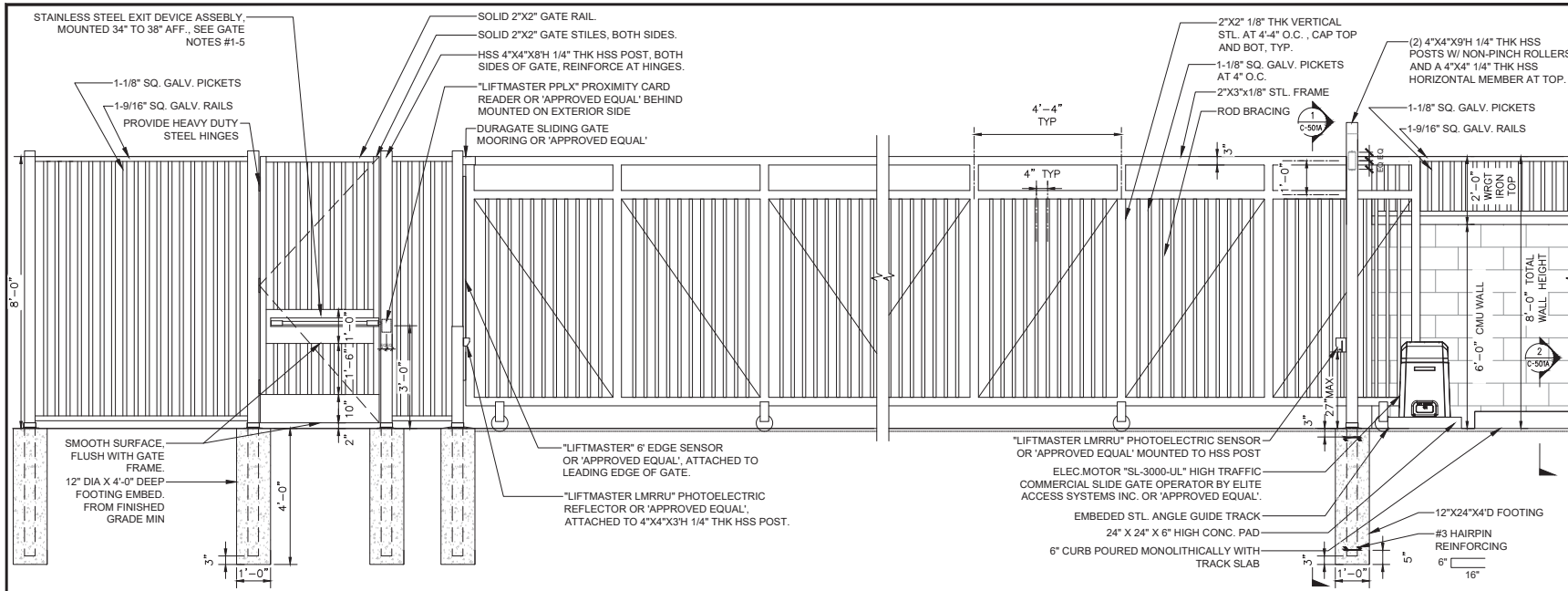


PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

PROJECT TITLE	BREEZE OPERATIONS EAST SITE EXPANSION
SHEET TITLE	SIGNAGE AND STRIPING PLAN

PROJECT NO	4020125
SCALE	1" = 20'
DRAWING NO	C-107
SHEET NO	16 OF 45

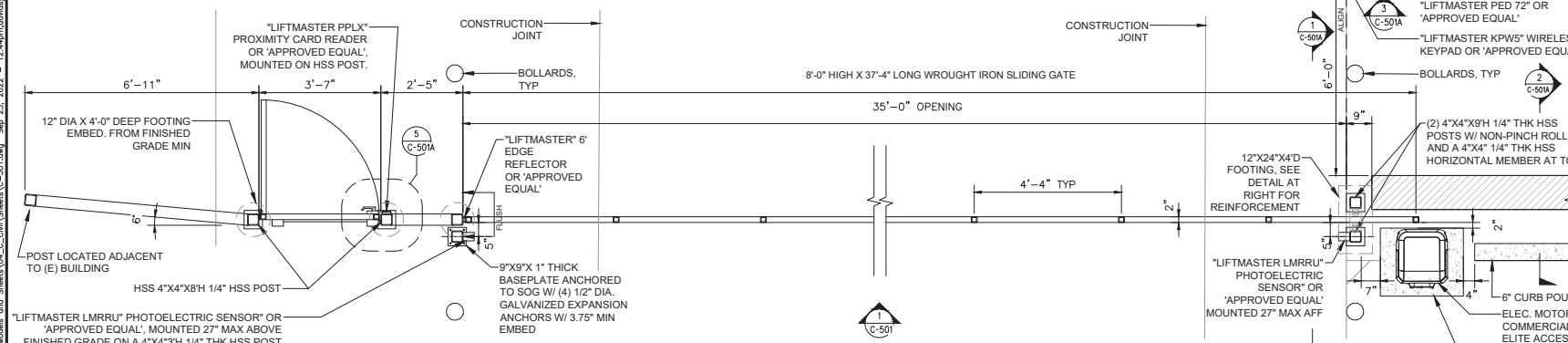
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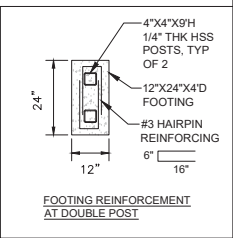
- GENERAL NOTES**
1. ALL WROUGHT IRON ELEMENTS TO BE PRIMED AND PAINTED GLOSS BLACK WITH (ICI) DULUX PAINT OR 'APPROVED EQUAL'.
 2. GATE AND FENCE INSTALLER TO FIELD VERIFY OPENING TO DETERMINE EXACT SIZE AND LOCATION OF GATE, FENCE AND MOTOR OPERATOR.
 3. GATE SHALL BE EQUIPPED WITH A KNOX BOX AND AN OPTICOM DETECTOR FOR FIRE ACCESS.

- PEDESTRIAN GATE NOTES**
1. GATE OPENINGS SHALL PROVIDE A CLEAR WITH OF 32" MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING GATES SHALL BE MEASURED BETWEEN THE FACE OF THE GATE AND THE STOP, WITH THE GATE OPEN 90 DEGREES.
 2. OPERABLE PARTS OF GATE HARDWARE SHALL BE 34" MINIMUM AND 44" MAXIMUM ABOVE GRADE.
 3. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
 4. GATE CLOSERS - IF PROVIDED - SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE GATE TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
 5. SWINGING GATE SURFACES WITHIN 10 INCHES OF GRADE SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE GATE.

1 C501 1" = 20'-0" TYPICAL WROUGHT IRON FENCE, PEDESTRIAN GATE & SLIDING GATE ELEVATION



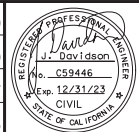
- SAFETY LOOPS NOTES**
- SAFETY LOOPS SHALL BE INSTALLED IN THE PAVEMENT AT POSITIONS AS INDICATED BY THE MANUFACTURER, INCLUDING: OUTSIDE SAFETY LOOP, INSIDE SAFETY LOOP, AND EXIT LOOP (ALSO AT INSIDE SIDE OF PROPERTY).



2 C501 1" = 20'-0" TYPICAL WROUGHT IRON FENCE, PEDESTRIAN GATE & SLIDING GATE PLAN

NOT FOR CONSTRUCTION

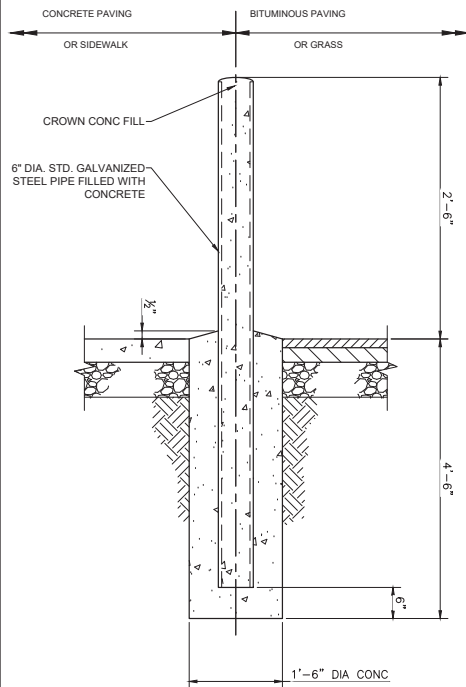
DESIGNED BY:	JD		
DRAWN BY:	ZO		
CHECKED BY:	KT		
DATE:	09/16/22		
REV	DATE	BY	DESCRIPTION
	09/16/22		50% DESIGN SUBMITTAL



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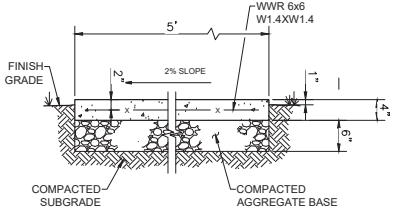
PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
DETAILS

PROJECT NO	4020125
SCALE	1" = 20'
DRAWING NO	C-501
SHEET NO	17 OF 45



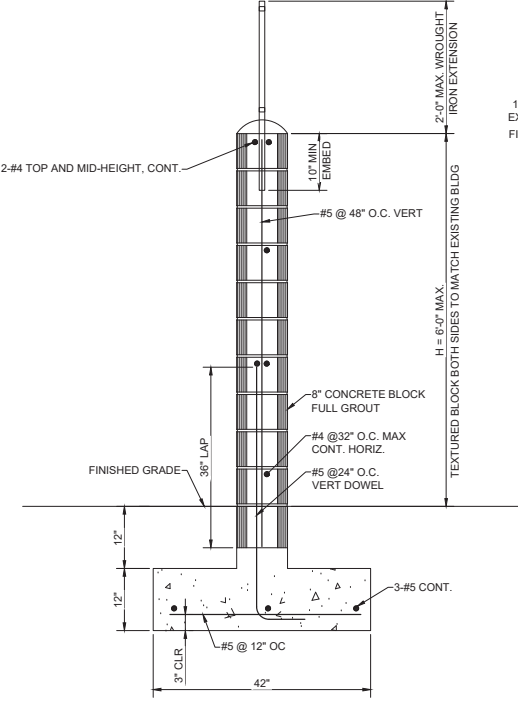
1 PIPE BOLLARD
NOT TO SCALE

NOTE
1. PIPE BOLLARD SHALL BE PAINTED SAFETY YELLOW.

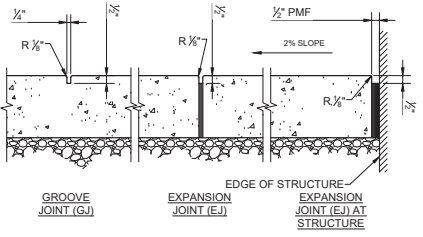


2 CONCRETE SIDEWALK
NOT TO SCALE

NOTES
1. CONCRETE SIDEWALK WITH CROSS SLOPE SHOWN. SIDEWALK MAY ALSO HAVE CENTER CROWN. SEE GRADING AND DRAINAGE PLAN.
2. SEE CONCRETE SIDEWALK JOINTS DETAIL.

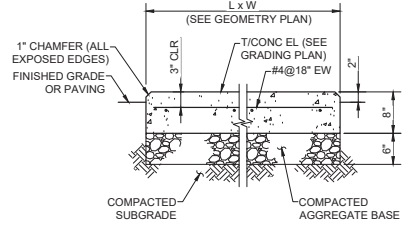


7 MASONRY PERIMETER WALL
NOT TO SCALE

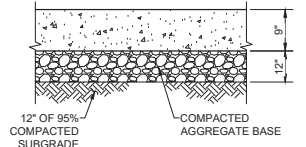


3 CONCRETE SIDEWALK JOINTS
NOT TO SCALE

NOTES
1. PROVIDE TRANSVERSE GROOVE JOINTS AT 5'-0" CENTER TO CENTER (MAX) AND EXPANSION JOINTS AT 20'-0" CENTER TO CENTER (MAX).
2. SEE CONCRETE SIDEWALK DETAIL.

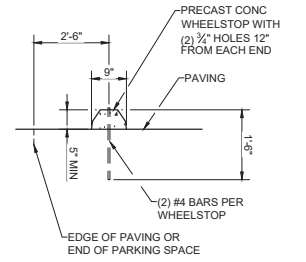


5 CONCRETE EQUIPMENT PAD
NOT TO SCALE



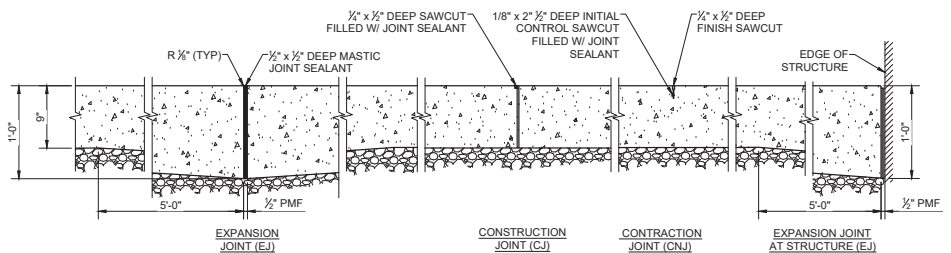
4 CONCRETE PAVEMENT
NOT TO SCALE

NOTES
1. SEE CONCRETE PAVEMENT JOINTS DETAIL.



6 PRECAST CONCRETE WHEELSTOP
NOT TO SCALE

NOTE
1. PRECAST CONCRETE WHEELSTOP SHALL BE A MINIMUM OF 6 FEET LONG AND SHALL BE CENTERED IN EACH PARKING SPACE.



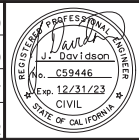
8 CONCRETE PAVEMENT JOINTS
NOT TO SCALE

NOTES
1. SEE CONCRETE PAVEMENT DETAIL.

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



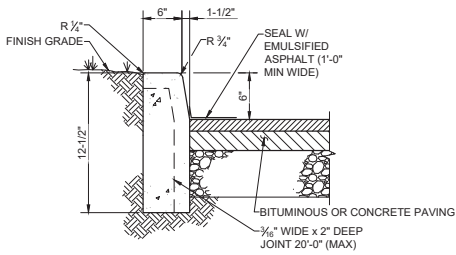
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1055 WEST 7TH STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

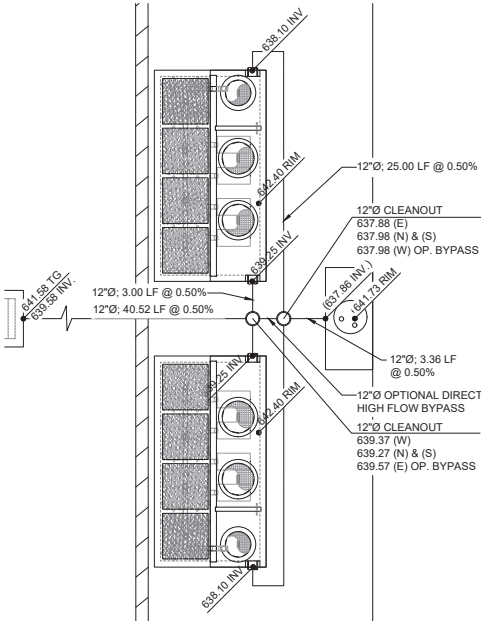
PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
DETAILS

PROJECT NO
4020125
SCALE
1" = 20'
DRAWING NO
C-502
SHEET NO
19 OF 45



1 CONCRETE CURB
NOT TO SCALE

- NOTES**
1. PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER MATERIAL AT ALL INTERSECTIONS AND AT THE END OF EACH PLACEMENT.



3 STORM WATER CLARIFIER DETAIL
1:5

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
09/16/22	JD	JD	SWMP REVISIONS TO MWS
09/24/21	JD	ZO	NCTD REQUESTED UPDATES
01/29/21	JD	KT	FINAL DESIGN (CUP SET)
12/07/20	JD	KT	FINAL DESIGN
10/02/20	JD	KT	50% DESIGN SUBMITTAL

DESIGNED BY: **JD**
 DRAWN BY: **ZO**
 CHECKED BY: **KT**
 DATE: **09/16/22**



PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

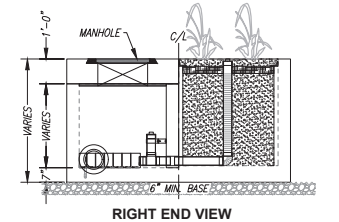
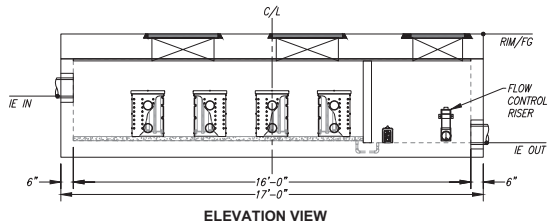
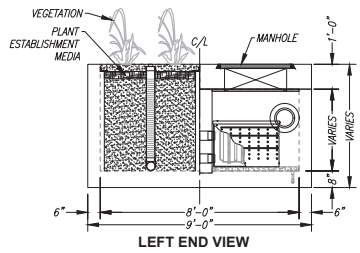
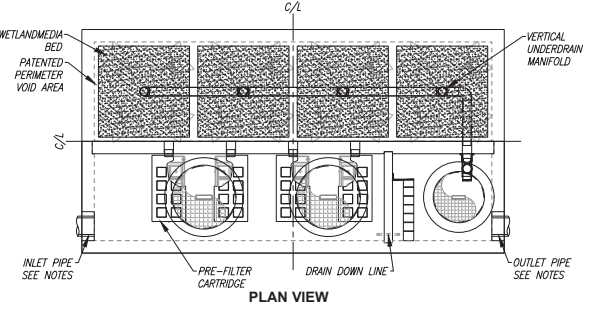
PROJECT TITLE
 BREEZE OPERATIONS EAST
 SITE EXPANSION
 SHEET TITLE
 DETAILS

PROJECT NO
 4020125
 SCALE
 1" = 20'
 DRAWING NO
 C-503
 SHEET NO
 20 OF 45

SITE SPECIFIC DATA			
PROJECT NUMBER	4020125-0004		
PROJECT NAME	NCTD BEB PILOT PROGRAM		
PROJECT LOCATION	ESCONDIDO		
STRUCTURE ID	BMP#1 AND BMP#2		
TREATMENT REQUIRED			
VOLUME BASED (CF)	N/A		
FLOW BASED (CFS)	0.55 CFS		
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	1.33 CFS		
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	639.25	HDPE	12"Ø
INLET PIPE 2	N/A	N/A	N/A
OUTLET PIPE	638.10	HDPE	12"Ø
PRETREATMENT BIOFILTRATION DISCHARGE			
RIM ELEVATION	642.40 RIM		
SURFACE LOAD	PEDESTRIAN		
FRAME & COVER	2EA #30"	OPEN PLANTER	Ø24"

- INSTALLATION NOTES**
1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
 2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
 3. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
 4. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
 5. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
 6. CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURERS WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

- GENERAL NOTES**
1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

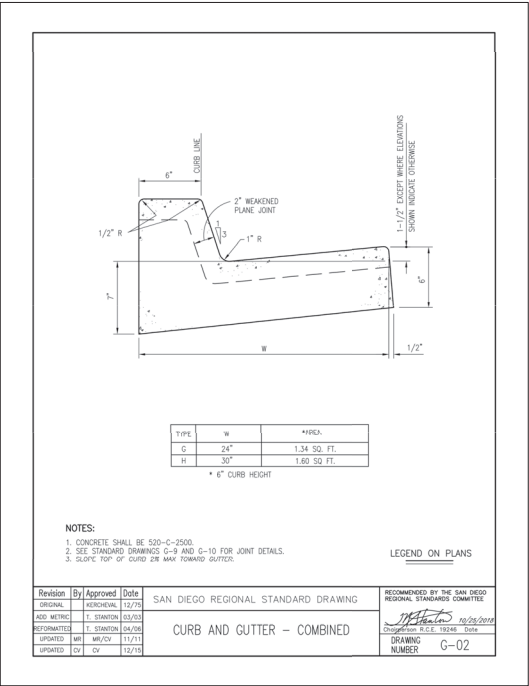
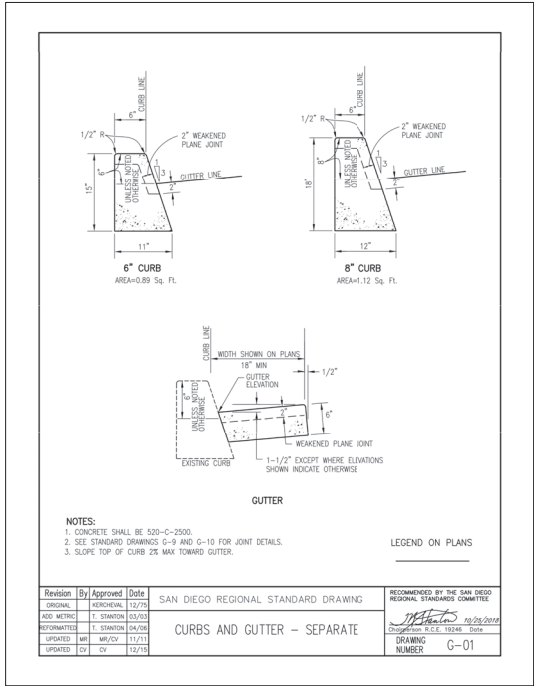
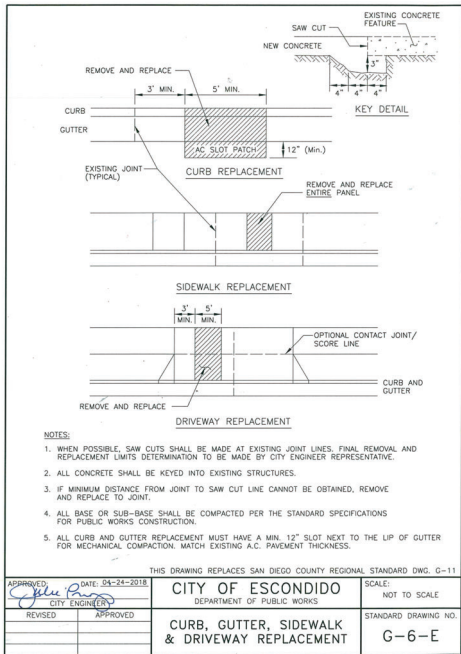


TREATMENT FLOW (CFS)	
OPERATING HEAD (FT)	
PRETREATMENT LOADING RATE (GPM/SF)	
WETLAND MEDIA LOADING RATE (GPM/SF)	

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2 STORM WATER CLARIFIER DETAIL
NOT TO SCALE



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REV	DATE	BY	DESCRIPTION
	09/16/22	JD	DESIGNED BY
		ZO	DRAWN BY
		KT	CHECKED BY
			DATE
	10/02/20	JD	50% DESIGN SUBMITTAL
	12/07/20	JD	FINAL DESIGN (CUP SET)
	01/29/21	JD	NCTD REQUESTED UPDATES
	09/16/22	JD	SWQMP REVISIONS TO MWS

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

STV
ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET., SUITE 2900
LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS

EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE

BREEZE OPERATIONS EAST
SITE EXPANSION

SHEET TITLE

DETAILS

PROJECT NO

4020125

SCALE

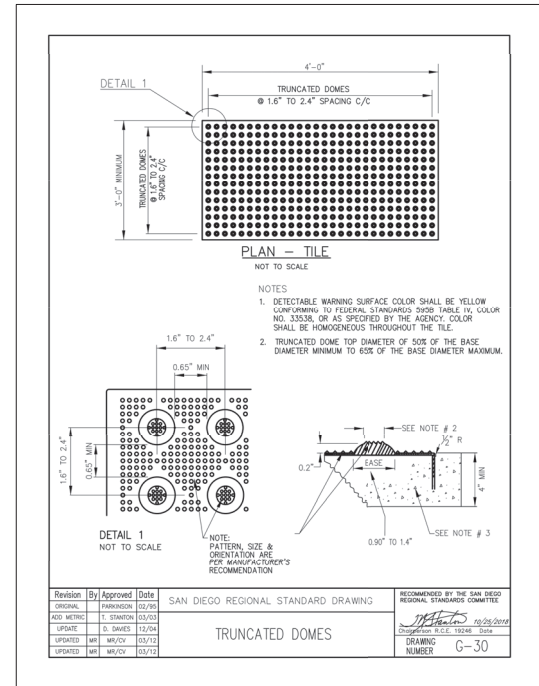
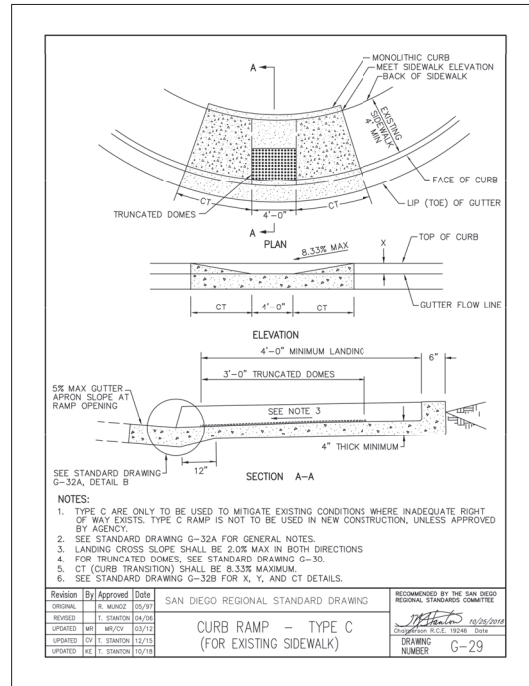
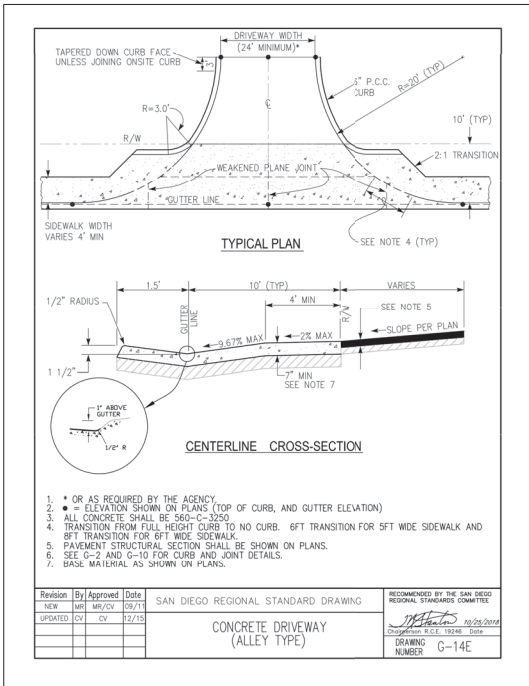
N/A

DRAWING NO

C-504

SHEET NO

21 OF 45



NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
	09/16/22	JD	DESIGNED BY
		ZO	DRAWN BY
		KT	CHECKED BY
	10/02/20	JD	DATE
			50% DESIGN SUBMITTAL

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

STV
 ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS
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 LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

PROJECT TITLE
 BREEZE OPERATIONS EAST
 SITE EXPANSION

SHEET TITLE
 DETAILS

PROJECT NO
 4020125

SCALE
 N/A

DRAWING NO
 C-505

SHEET NO
 22 OF 45

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REMOVE & RECONSTRUCT PAVEMENT AS SHOWN ON PLANS TO PROVIDE THE MAX. SLOPE WITHIN 4'-0" RAMP APPROACH.

SEE NOTE #6

4'-0" MIN LANDING

LINE OF CURB

RAMP LIMIT

8.33% MAX

3'-0" MIN

TRUNCATED DOMES SEE STANDARD DRAWING G-30

6" MIN

5.0% MAX

EDGE OF TRUNCATED DOMES

DETAIL B SEE NOTE 7

NOTES

1. THE REMOVAL OF EXISTING CONCRETE CURB, GUTTER, SIDEWALK, AND PAVEMENT FOR PEDESTRIAN RAMP INSTALLATION SHALL COMPLY WITH STANDARD DRAWING G-11. FOR CONSTRUCTION OF CURB RAMPS ON EXISTING SIDEWALKS, REMOVAL OF ADDITIONAL SIDEWALK MAY BE REQUIRED TO COMPLY WITH ADA REQUIREMENTS TO MEET EXISTING GRADE.
2. CONCRETE SHALL BE CLASS 3200-C-2500.
3. AREAS SHOWN THUS: [Symbol] SHALL HAVE A MEDIUM TO HEAVY BROOM TEXTURE FINISH, PERPENDICULAR TO THE AXIS OF THE RAMP. AREAS SHOWN THUS: [Symbol] ARE THE MINIMUM REQUIRED FOR A COMPLETE RAMP INSTALLATION.
4. IF OBSTRUCTIONS SUCH AS INLETS, UTILITY POLES, FIRE HYDRANTS, ETC., ARE ENCOUNTERED, THE RAMP LOCATIONS MAY BE ADJUSTED UPON THE APPROVAL OF THE AGENCY.
5. THE RAMP SLOPES WILL BE MEASURED RELATIVE TO THE SIDEWALK SLOPE. ADJOINING SLOPE BEYOND THE RAMP SHALL NOT EXCEED 20:1 (5%).
6. LANDING CROSS SLOPE SHALL BE 2.0% MAX IN BOTH DIRECTIONS.
7. EDGE OF TRUNCATED DOME PANEL SHALL BE LOCATED 6" MINIMUM AND 8" MAXIMUM FROM THE GUTTER FLOWLINE.

Revision	By	Approved	Date
ORIGINAL	MR. J. SHAW	MR. J. SHAW	02/79
REVISED	MR. M.V.CY	MR. J. SHAW	03/12
REVISED	MR. M.V.CY	MR. J. SHAW	12/13
REVISED	MR. TRUMP	MR. J. SHAW	11/17

SAN DIEGO REGIONAL STANDARD DRAWING

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

GENERAL NOTES FOR CURB RAMPS

DRAWING NUMBER: G-32A

X	Y	Z	CT
CURB HEIGHT	RAMP LENGTH (12:1)	SIDE SLOPE (10:1)	CURB TRANS.
1"	1'-0"	1'-6"	0'-0"
2"	2'-0"	1'-8"	0'-0"
3"	3'-0"	2'-0"	0'-0"
4"	4'-0"	3'-4"	0'-0"
5"	5'-0"	4'-2"	0'-0"
6"	6'-0"	5'-0"	0'-0"
7"	7'-0"	5'-10"	1'-0"
8"	8'-0"	6'-8"	2'-0"

TYPE A AND B CURB RAMPS

X	Y	Z	Z1
CURB HEIGHT	RAMP LENGTH (12:1)	SIDE SLOPE (10:1)	SIDE SLOPE (12:1)
1"	1'-0"	1'-6"	1'-0"
2"	2'-0"	1'-8"	2'-0"
3"	3'-0"	2'-0"	3'-0"
4"	4'-0"	3'-4"	4'-0"
5"	5'-0"	4'-2"	5'-0"
6"	6'-0"	5'-0"	6'-0"
7"	7'-0"	5'-10"	7'-0"
8"	8'-0"	6'-8"	8'-0"

TYPE A-1 AND B-1 CURB RAMPS

X	CT
CURB HEIGHT	CURB TRANS. (12:1)
4"	4'-0"
5"	5'-0"
6"	6'-0"
7"	7'-0"
8"	8'-0"
9"	9'-0"
10"	10'-0"
11"	11'-0"
12"	12'-0"
13"	13'-0"

TYPE C CURB RAMP

NOTES

1. DIMENSIONS X, Y, Z, Z1, AND CT MAY BE DETERMINED BY USING THE TABLES ON THIS SHEET WITH PRIOR AGENCY APPROVAL. WITHOUT AGENCY APPROVAL, DIMENSIONS SHOULD NOT EXCEED THE MAXIMUM SLOPE OR RATIO PROVIDED.
2. Z* REFERS TO Z OR Z1 IN TABLE B. Z SIDE SLOPE SHALL BE 10:1, EXCEPT FOR NOTE 5.
3. FOR TYPE A-1 AND B-1 CURB RAMPS, WHERE A 4' LANDING CANNOT BE CONSTRUCTED DUE TO INADEQUATE RIGHT OF WAY, A 3' MINIMUM LANDING IS ACCEPTABLE WITH PRIOR AGENCY APPROVAL AND PROVIDED THE SIDE SLOPES ARE REVISED TO 12:1 PER SIDE SLOPE Z1 IN TABLE B.

Revision	By	Approved	Date
ORIGINAL	MR. M.V.CY	MR. J. SHAW	03/12
REVISED	MR. M.V.CY	MR. J. SHAW	12/13

SAN DIEGO REGIONAL STANDARD DRAWING

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

NOTES FOR CURB RAMPS

DRAWING NUMBER: G-32B

TOP OF GRATE ELEVATION SHOWN ON PLANS

SEE D-13 & D-15 FOR FRAME AND GRATE DETAIL

#4 TOTAL 4 #4 @ 12" OC

#4 @ 12" OC

#7 BEND DOWN 8" INTO WALL

SEE D-11

SEE 14-01

ROUNDED PIPE ENDS

ELEVATION SHOWN ON PLAN

2:1

3'-3 1/2"

1/2" TYP

SECTION A-A

SECTION B-B

NOTES

1. A TYPE I CATCH BASIN IS SPECIFIED FOR LARGE DIAMETER PIPES OR FOR HEAVY TRAFFIC LOADS (NOTES EXTRA STEEL REINFORCEMENT IN UPPER CORNERS).
2. SEE D-11A & D-11B FOR ADDITIONAL NOTES AND DETAILS.
3. WHEN V EXCEEDS 4', STEPS SHALL BE INSTALLED PER D-11A.

LEGEND ON PLANS

Revision	By	Approved	Date
ORIGINAL	MR. J. SHAW	MR. J. SHAW	7/79
REVISED	MR. J. SHAW	MR. J. SHAW	04/08
REVISED	MR. T. RAYGALL	MR. J. SHAW	03/11
REVISED	MR. T. RAYGALL	MR. J. SHAW	10/15
REVISED	MR. M. WELSH	MR. J. SHAW	10/16

SAN DIEGO REGIONAL STANDARD DRAWING

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

CATCH BASIN - TYPE I

DRAWING NUMBER: D-29

NOT FOR CONSTRUCTION

DESIGNED BY: JD	DESIGNED BY: [Signature]	PROJECT ADDRESS: EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE: BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO: 4020125
DRAWN BY: ZO	DRAWN BY: [Signature]	NORTH COUNTY TRANSIT DISTRICT	SHEET TITLE: DETAILS	SCALE: N/A
CHECKED BY: KT	CHECKED BY: [Signature]			DRAWING NO: C-506
DATE: 09/16/22	DATE: 09/16/22	ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7TH STREET, SUITE 2900 LOS ANGELES, CA. 90017-2577		SHEET NO: 23 OF 45
REV	DATE	BY	DESCRIPTION	
	09/16/22	JD	50% DESIGN SUBMITTAL	
		JD	FINAL DESIGN (CUP SET)	
		JD	NCTD REQUESTED UPDATES	
		JD	SWQMP REVISIONS TO MWS	

SEE TABLE ON D-11B FOR HORIZONTAL AND FLOOR REINFORCEMENT

VERTICAL REINFORCING #4 @ 18" MAX (TYP)

1-1/2" CLR (TYP)

2" (TYP)

TYPICAL BOX SECTION

APPROVED STEEL REINFORCED POLYPROPYLENE STEP

STEP DETAIL

NOTES

- CONCRETE SHALL BE 500-C-3500 UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL COMPLY WITH THIS DRAWING (D-11A AND D-11B) UNLESS OTHERWISE SPECIFIED.
- REINFORCING STEEL SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO LATEST ASTM SPECIFICATIONS.
- BRACKETS SHALL BE IN ACCORDANCE WITH LATEST AIA CODE.
- MINIMUM SPLICE LENGTH FOR REINFORCING SHALL BE 30 DIAMETERS.
- FLOOR SHALL HAVE A WOOD TROWEL FINISH AND, EXCEPT WHERE USED AS JUNCTION BOXES, SHALL HAVE A MINIMUM SLOPE OF 1:12 TOWARD THE OUTLET.
- DEPTH V IS MEASURED FROM THE TOP OF THE STRUCTURE TO THE FLOWLINE OF THE BOX.
- WALL THICKNESS AND REINFORCING STEEL REQUIRED MAY BE DECREASED IN ACCORDANCE WITH TABLE ON D-11B.
- WALL THICKNESS SHALL BE STEPPED ON THE OUTSIDE OF THE BOX.
- WHEN THE STRUCTURE DEPTH V EXCEEDS 4", STEPS SHALL BE CAST INTO THE WALL AT 15" INTERVALS FROM 15" ABOVE FLOOR TO WITHIN 12" OF TOP OF STRUCTURE. WHERE POSSIBLE, PLACE STEPS IN WALL WITHOUT PIPE OPENING, OTHERWISE OVER OPENING OF SMALLEST DIAMETER.
- ALTERNATE STEP MAY BE AN APPROVED STEEL REINFORCED POLYPROPYLENE STEP.
- UPON APPROVAL OF THE AGENCY, THE USE OF PRECAST STORM STRUCTURES IS ACCEPTABLE AS AN ALTERNATE TO CAST-IN-PLACE. PRECAST UNITS SHALL CONFORM TO ASTM STANDARDS AND BE MANUFACTURED IN A PERMANENT FACILITY DESIGNED FOR THAT PURPOSE.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE
ORIGINAL		Marchese	12/75		
Edited	S.S. T. Regallo		03/11	INLETS AND CLEANOUTS	NOTES AND DETAILS
Edited	T.R. T. Regallo		10/15		DRAWING NUMBER D-11A
Edited	Mark W. Winkler		10/18		

BOX SECTION REINFORCEMENT (HORIZONTAL AND FLOOR)

MINIMUM DOWN X OR Y	DEPTH V	THICKNESS T	HORIZONTAL AND FLOOR REINFORCEMENT SIZE AND SPACING		
3' TO 4'	4'	6"	#4 @ 18"		
4'-1" TO 7"			#4 @ 12"		
7'-1" TO 8"			#4 @ 8"		
3' TO 4'	4'-1" TO 8'	6"	#4 @ 18"		
4'-1" TO 5'			#4 @ 12"		
5'-1" TO 6'			#4 @ 8"		
6'-1" TO 8'	4'-1" TO 8'	6"	#4 @ 6"		
3' TO 4'			8'-1" TO 12'	6"	#4 @ 15"
4'-1" TO 5'					#4 @ 12"
5'-1" TO 6'	#4 @ 8"				
6'-1" TO 8'	8'-1" TO 12'	6"	#4 @ 6"		
3' TO 4'			12'-1" TO 16'	8"	#4 @ 12"
4'-1" TO 5'					#4 @ 12"
5'-1" TO 6'	#4 @ 8"				
6'-1" TO 8'	12'-1" TO 16'	8"	#4 @ 6"		
3' TO 4'			16'-1" TO 20'	10"	#4 @ 8"
4'-1" TO 5'					#4 @ 6"
5'-1" TO 6'	#5 @ 8"				
6'-1" TO 8'	16'-1" TO 20'	10"	#5 @ 6"		
3' TO 4'			20'-1" TO 24'	10"	#4 @ 12"
4'-1" TO 5'					#4 @ 12"
5'-1" TO 6'	#4 @ 8"				
6'-1" TO 8'	20'-1" TO 24'	10"	#4 @ 6"		
3' TO 4'			24'-1" TO 28'	12"	#5 @ 8"
4'-1" TO 5'					#5 @ 8"
5'-1" TO 6'	#5 @ 6"				
6'-1" TO 8'	24'-1" TO 28'	12"	#5 @ 6"		

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE
ORIGINAL		Marchese	12/75		
Reformatted	S.S. T. Regallo		03/11	INLETS AND CLEANOUTS	NOTES AND DETAILS
Edited	T.R. T. Regallo		10/15		DRAWING NUMBER D-11B
Edited	Mark W. Winkler		10/18		

PLAN

SECTION A-A

NOTE: HOT-DIP GALVANIZE ALL PARTS AFTER FABRICATION.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE
ORIGINAL		Marchese	12/75		
Edited	S.S. T. Regallo		03/11	WELDED STEEL GRATE FRAME	
Edited	T.R. T. Regallo		10/15		DRAWING NUMBER D-13
Edited	Mark W. Winkler		10/18		

NOT FOR CONSTRUCTION

DESIGNED BY:	JD		
DRAWN BY:	ZO		
CHECKED BY:	KT		
DATE:	09/16/22		
REV	DATE	BY	DESCRIPTION

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

STV

ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS

1055 WEST 7TH STREET, SUITE 2900

LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS

EAST DIVISION MF

335 N. QUINCE STREET

ESCONDIDO, CA 92025

PROJECT TITLE

BREEZE OPERATIONS EAST

SITE EXPANSION

SHEET TITLE

DETAILS

PROJECT NO

4020125

SCALE

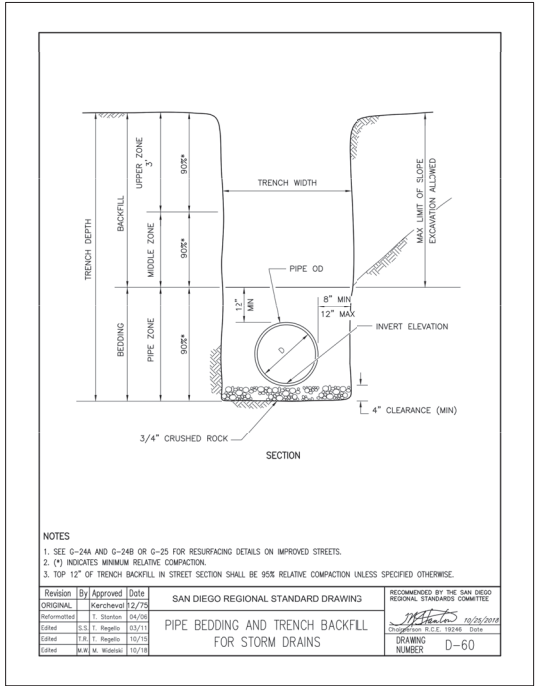
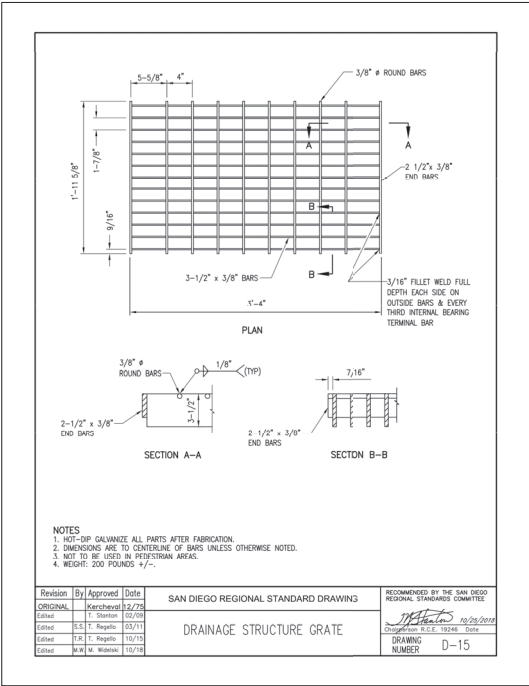
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DRAWING NO

C-507

SHEET NO

24 OF 45



- NOTES
1. HOT-DIP GALVANIZE ALL PARTS AFTER FABRICATION.
 2. DIMENSIONS ARE TO CENTERLINE OF BARS UNLESS OTHERWISE NOTED.
 3. NOT TO BE USED IN PEDESTRIAN AREAS.
 4. REEF: 200 POUNDS +/-.

Revision	By	Approved	Date
ORIGINAL		Kerschberg	2/2/20
Change	S.S. T. Regallo		03/11
Change	T.R. Regallo		10/15
Change	M.W. W. Watson		10/19

SAN DIEGO REGIONAL STANDARD DRAWING
DRAINAGE STRUCTURE GRATE

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE

DATE: 12/31/23
CIVIL
D-15

- NOTES
1. SEE C-244 AND G-248 OR G-25 FOR RESURFACING DETAILS ON IMPROVED STREETS.
 2. (*) INDICATES MINIMUM RELATIVE COMPACTION.
 3. TOP 12" OF TRENCH BACKFILL IN STREET SECTION SHALL BE 95% RELATIVE COMPACTION UNLESS SPECIFIED OTHERWISE.

Revision	By	Approved	Date
ORIGINAL		Kerschberg	2/2/20
Revised	T. Watson		1/4/20
Change	S.S. T. Regallo		03/11
Change	T.R. Regallo		10/15
Change	M.W. W. Watson		10/19

SAN DIEGO REGIONAL STANDARD DRAWING
PIPE BEDDING AND TRENCH BACKFILL FOR STORM DRAINS

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE

DATE: 12/31/23
CIVIL
D-60

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NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
	09/16/22	JD	DESIGNED BY
	09/16/22	JD	SWQMP REVISIONS TO MWS
	09/24/21	JD	NCTD REQUESTED UPDATES
	01/29/21	JD	FINAL DESIGN (CUP SET)
	12/07/20	JD	FINAL DESIGN
	10/02/20	JD	50% DESIGN SUBMITTAL

DESIGNED BY: JD

DRAWN BY: ZO

CHECKED BY: KT

DATE: 09/16/22

Professional Engineer Seal: J. Davidsen, No. C59446, State of California, Civil, No. 12/31/23

STV
ENGINEERS/ARCHITECTS-PLANNERS/CONSTRUCTION MANAGERS
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LOS ANGELES, CA 90017-2577

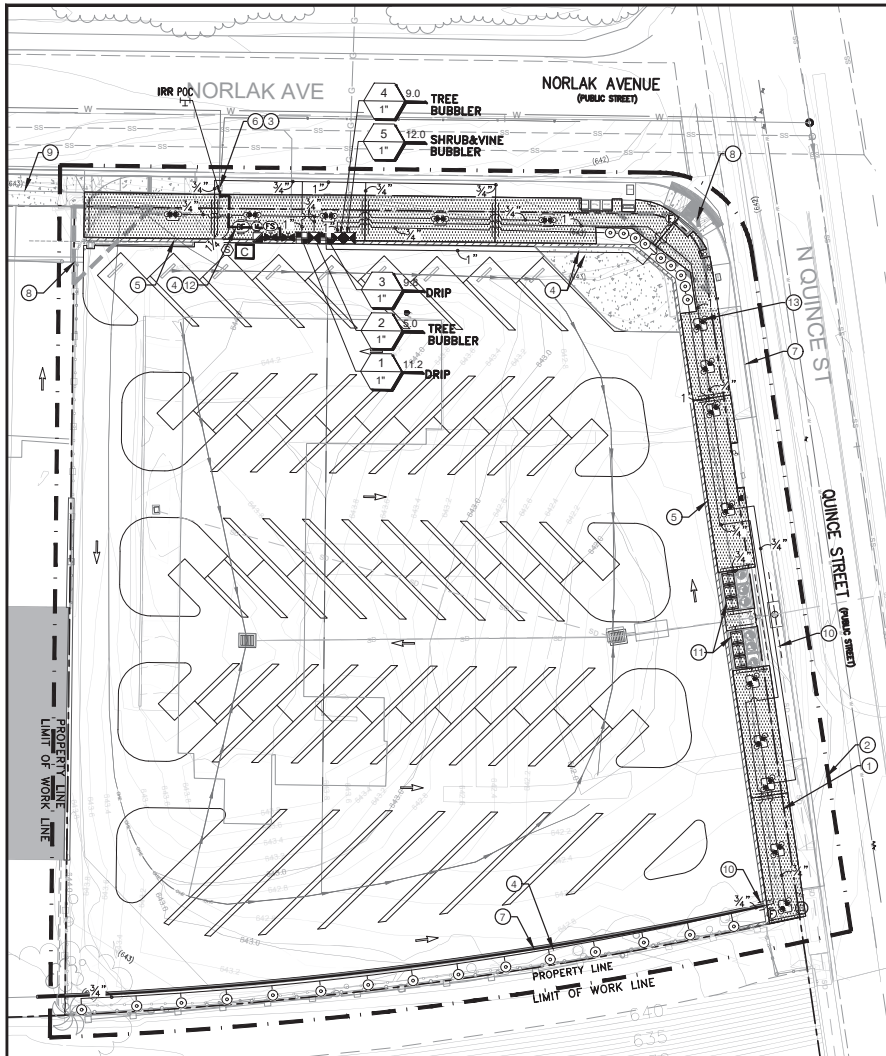
NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION

SHEET TITLE
DETAILS

PROJECT NO	4020125
SCALE	N/A
DRAWING NO	C-508
SHEET NO	25 OF 45



- KEY NOTES:**
- 1 PROPERTY LINE
 - 2 LIMIT OF WORK LINE
 - 3 SEE CIVIL FOR RE-ACTIVATION OF EXIST. WATER METER
 - 4 IRRIGATION LINES, MAINLINE AND LATERAL, AND COMPONENTS ARE SHOWN SCHEMATICALLY FOR CLARITY. TO BE LOCATED IN THE PLANTER, INSTALLED WITHIN THE PROPERTY LINE.
 - 5 CMU WALL PER CIVIL PLANS
 - 6 EXISTING WATER METER
 - 7 CONCRETE CURB PER CIVIL
 - 8 VISIBILITY TRIANGLE
 - 9 NEW VEHICULAR ACCESS
 - 10 IRRIGATION SLEEVE IN WALL, TYP.
 - 11 MODULAR WETLAND, REFER TO CIVIL PLANS, TYP.
 - 12 NEW RPZ BACKFLOW
 - 13 INSTALL (2) TREE ROOT WATERING SYSTEM (BUBBLERS) PER TREE, TYP.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	DETAIL
PC	POINT OF CONNECTION 1" - see Civil		
BP	BACKFLOW PREVENTER: 1" Reduced Pressure Backflow Preventer, Y-Filter and Pressure Reducer. Such as: Febcos 825Y with Wilkins 500 YSR or 'Approved Equal'.		1/LI-003 W-10-E
UV	MASTER VALVE: 1 1/2" Heavy duty closed globe pattern, glass filled UV resistant nylon, with stainless steel studs and flange nuts, and brass flow control stem. Y filter upstream for drip. Such as: Hunter IBV-151G-FS 1-1/2" Master Valve or 'Approved Equal'.		SDCRSD I-10
FS	FLOW SENSOR: Flow Sensor for use with I-Core controller, with rotating impeller and O-ring seal with black and red wires. Such as: Hunter HFS-100 or 'Approved Equal'.		SDCRSD I-9
IC	AUTOMATIC IRRIGATION CONTROLLER: Outdoor Model, wall mounted, 6 station with 4 programs and flow monitoring capability, back-lit display, and 6 selectable languages. Such as: Hunter I-Core IC-600SS or 'Approved Equal'.		4/LI-004
WS	RAIN SENSOR: Wall mounted Advanced Weather Sensor, ET calculator with instant rain freeze shutoff in polycarbonate body and metal extension arm. Such as: Hunter Solar Sync WSS-SEN or 'Approved Equal'.		8/LI-004
IV	REMOTE CONTROL IRRIGATION VALVE: 1" Plastic Industrial Valve. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module. Such as: Hunter PGV w/ AccuSync-Adj. or 'Approved Equal'.		SDCRSD I-33
DK	DRIP CONTROL KIT: Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter. Such as: Hunter PCZ or 'Approved Equal'.	40	3/LI-004
QC	QUICK COUPLER: 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body. Such as: Hunter #HQ-33DLRC plus 2 Keys #HK-33 or 'Approved Equal'.		6/LI-005
BV	BALL VALVE: Stainless steel ball valve with blowout-proof stem and locking lever handle. Such as: Niloco T-580-58-R-65-LL or 'Approved Equal'.		3/LI-005
RS	ROOT WATERING SYSTEM: Basket weave canister with 4.0" diameter x 18.0" long with locking grate, semi-rigid mesh tube, Check Valve and Sand Sock. 0.5 GPM Each. (Install 2 per tree, opposite of staking) Such as: Rain Bird RWSMB-1402-RWSSOCK, 0.5gpm or 'Approved Equal'.	30	4/LI-005
SB	STREAM BUBBLER: 0.5 GPM, 1.0' radius, 30 PSI regulated 6" pop-up Such as: Hunter PROS-06-PRS30-MSBN-50H or 'Approved Equal'.	30	5/LI-005
DL	DRIP IRRIGATION: Area to Receive Dripline - Sub-Surface Pressure Compensating Landscape Dripline with dual layered tubing (copper over black), 0.6 GPH emitters at 18.0" O.C. Dripline laterals spaced at 18.0" apart, with emitters offset for triangular pattern. UV Resistant. Such as: Netafim Techline CV or 'Approved Equal'.		7,9/LI-004
DF	DRIP FLUSH VALVE: Manual Flush Valve		3/LI-005
IL	IRRIGATION LATERAL LINE: PVC Schedule 40. Min. 3/4" Pipe Size, unless otherwise noted.		1/LI-005
IM	IRRIGATION MAINLINE: 1 1/2" PVC Schedule 40		1/LI-005
IS	PIPE SLEEVE: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall be 2x diameter of pipe to be sleeved and allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.		1/LI-005
VC	VALVE CALLOUT: Valve Number Valve Flow Valve Size		

NOTE:
PLANS ARE DIAGRAMMATIC. IRRIGATION LINES, MAINLINE AND LATERAL, AND COMPONENTS ARE SHOWN SCHEMATICALLY FOR CLARITY. TO BE LOCATED IN THE PLANTER, INSTALLED WITHIN THE PROPERTY LINE. MAINLINES SHOULD BE INSTALLED OUTSIDE OF RIGHT OF WAY. TYP.

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MICHELLE M. LANDIS
SIGNATURE
REGISTRATION NO. 5444

DATE: NOVEMBER 30, 2023
EXP. DATE: APRIL 30, 2024

STUDIO WEST
LANDSCAPE ARCHITECTURE & PLANNING

7185 Navajo Rd., Suite A, San Diego, CA 92119
858.598.5085

REV	DATE	BY	DESCRIPTION
11/30/23	ML		CUP RESUBMITTAL
9/23/21	ML		NCTD REQUESTED UPDATES
6/14/21	ML		FINAL DESIGN (CUP SET) UPDATED
1/29/21	ML		FINAL DESIGN (CUP SET)
1/12/21	ML		FINAL DESIGN - UPDATED
12/07/20	ML		FINAL DESIGN
10/02/20	ML		50% DESIGN

DESIGNED BY: MM/ML
DRAWN BY: JG
CHECKED BY: ML
DATE: 11/30/2023



STV
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577

NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION

SHEET TITLE
IRRIGATION

PROJECT NO
4020125

SCALE
AS SHOWN

DRAWING NO
LI-001

SHEET NO
38 OF 45

PRESSURE LOSS CALCULATIONS

PRESSURE LOSS SUMMARY

Project: BREEZE OPERATIONS EAST SITE EXPANSION
 Date: November 16, 2023
 Valve No.: 1
 GPM/Size: 112 GPM / 1"

A. RECORD SITE INFORMATION

Static Pressure at Source (Main)	70.0
Pressure Loss/Gain Coefficient	0.433
Net Elevation Change (Source to Meter)	0.0
Elevation at Source	643
Elevation at Meter	643
Static Pressure before Meter	70.0

B. PRESSURE LOSS CALCULATIONS

SIZE	LOSS (PSI)
Water Meter	1" 0.8
Mainline	1-1/2" 0.2
Backflow Assembly	1" 12.0
Master Valve	1-1/2" 0.0
Control Valve	1" 7.0
Laterals	3/4"-1" 1.5
Fittings (15% of total PSI Loss for components)	3.2
Net Elevation Change (Elev. Diff. x 0.433)	-0.3
Elevation at Meter	643
Elevation at Worst Case Head	644
15% Pressure Buffer	3.65
TOTAL PRESSURE LOSS	16.0
TOTAL AVAILABLE PRESSURE	54.0
<small>(TOTAL PRESSURE - PRESSURE LOSS)</small>	

PRESSURE LOSS SUMMARY

Project: BREEZE OPERATIONS EAST SITE EXPANSION
 Date: June 21, 2023
 Valve No.: 5
 GPM/Size: 12.0 GPM / 1"

A. RECORD SITE INFORMATION

Static Pressure at Source (Main)	70.0
Pressure Loss/Gain Coefficient	0.433
Net Elevation Change (Source to Meter)	0.0
Elevation at Source	643
Elevation at Meter	643
Static Pressure before Meter	70.0

B. PRESSURE LOSS CALCULATIONS

SIZE	LOSS (PSI)
Water Meter	1" 0.8
Mainline	1-1/2" 0.3
Backflow Assembly	1" 12.0
Master Valve	1-1/2" 0.0
Control Valve	1" 5.0
Laterals	3/4"-1" 10.9
Fittings (15% of total PSI Loss for components)	4.4
Net Elevation Change (Elev. Diff. x 0.433)	-0.4
Elevation at Meter	643
Elevation at Worst Case Head	644
15% Pressure Buffer	4.95
TOTAL PRESSURE LOSS	25.9
TOTAL AVAILABLE PRESSURE	44.1
<small>(TOTAL PRESSURE - PRESSURE LOSS)</small>	

IRRIGATION SCHEDULE

AREA EVAPOTRANSPIRATION DATA

ESCONDIDO												
	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
Normal Year Average ETo inches Per Month	2.10	2.80	3.80	4.70	5.60	6.70	6.80	6.50	5.40	3.80	2.50	1.90
Normal Year Average ETo inches Per Week	0.68	0.65	0.88	1.09	1.29	1.55	1.57	1.50	1.25	0.88	0.58	0.44

IRRIGATION SCHEDULE

DIVIDE THE MINUTES PER WEEK BY THE NUMBER OF IRRIGATION CYCLES TO DETERMINE RUN TIME PER CYCLE.

HYDR. ZONE	VALVE DESCRIPTION	CROP	DEN. COEFF.	SPEC. FAC. (K _s)	MISC. FAC. (K _s)	SPEC. CORR. (K _c)	IRRIG. EFFIC. (%)	PRECOR. RATE (IN)	AVERAGE MINUTES PER WEEK OF IRRIGATION											
									JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
1	Bubble, Med. Water Tree and Shrub	0.5	1.0	1.0	0.5	0.85	0.96	18	24	32	40	47	57	58	55	46	32	21	16	
2	Bubble, Low Water Tree and Shrub	0.3	1.0	1.0	0.3	0.85	0.96	11	14	19	24	28	34	35	33	28	19	13	10	
3	Deep, Low Water Shrub and Grasses/Trees	0.3	1.0	1.0	0.3	0.83	0.28	38	52	70	87	102	123	115	119	99	70	46	35	
4	Bubble, Med. Water Tree	0.5	1.0	1.0	0.5	0.85	0.96	18	24	32	40	47	57	58	55	46	32	21	16	
TOTAL MINUTES PER WEEK									18	24	32	40	47	57	58	55	46	32	21	16
TOTAL HOURS PER WEEK									0.3	0.4	0.5	0.7	0.8	1.0	1.0	0.9	0.8	0.5	0.4	0.3

Note: Irrigation schedules are based upon historical climate data and are intended only as a general guide. Irrigation schedules shall be regularly adjusted to account for changes in climate conditions, maturity of plant materials and other site specific conditions.
 Landscape Coefficient (K_s) = Species Factor (K_s) x Density Factor (K_d) x Microclimate Factor (K_m)
 Minutes of Irrigation Per Week = (ETo x K_s x A) / PR x IE

IRRIGATION NOTES

- IRRIGATION PLAN IS DIAGRAMMATIC. IRRIGATION DESIGN ASSUMES NO DEVIATION IN GRADING, PAVING AND/OR PLANTING PLAN LAYOUT FROM ACTUAL FIELD CONDITIONS. ALL NEW IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS ONLY UNLESS NOTED OTHERWISE. ALL NEW EQUIPMENT SHALL BE INSTALLED AS SHOWN IN THE DETAILS AND AS NOTED IN THESE SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING PLANTING AND IRRIGATION PLAN LAYOUT AGAINST ACTUAL GRADED FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DEVIATIONS IN ACTUAL FIELD CONDITIONS FROM THOSE SHOWN ON IRRIGATION PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPLACING AND/OR MODIFYING ANY IRRIGATION EQUIPMENT INSTALLED WHERE FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON PLANTING AND/OR IRRIGATION PLANS WHEN SAID INSTALLATION HAS NOT BEEN APPROVED IN ADVANCE BY OWNER OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO WORK COVERED UNDER THIS SECTION.
- PVC SPECIFICATIONS REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL VERIFY LOCATION OF POINT OF CONNECTION IN FIELD.
- SYSTEM WAS DESIGNED TO OPERATE AT PRESSURE AVAILABLE OF 70 PSI. SHOULD ACTUAL PRESSURE BE LOWER UPON CONNECTION TO WATER SUPPLY, CONTACT LANDSCAPE ARCHITECT IF PRESSURE AT METER IS LOWER THAN 70 PSI OR ABOVE 85 PSI.
- CONTRACTOR SHALL ADJUST ALL FLOW AT VALVES TO PROVIDE CORRECT OPERATING VOLUME AND PRESSURE TO HEADS ON EACH CIRCUIT.
- CONTRACTOR SHALL INSTALL NEW AUTOMATIC CONTROLLER. (SIZE AND TYPE AS NOTED AND INSTALLED AS INDICATED ON IRRIGATION PLAN OR WHERE DIRECTED BY OWNER). CONTROLLER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. CONTROL WIRES SHALL BE SLEEVED IN ELECTRICAL CONDUIT, USING SWEEP ELLS, FROM CONTROLLER INTERIOR TO EIGHTEEN INCHES (18") BELOW GRADE. OWNER SHALL PROVIDE 110-VOLT SERVICE TO CONTROLLER. PROVIDE SIGNAL WIRES FOR FLOW SENSOR AND MASTER VALVES AS SPECIFIED BY MANUFACTURER.
- WIRE SPECIFICATIONS:
 CONTRACTOR SHALL INSTALL NEW WIRE FROM CONTROLLER TO NEW VALVES.
 A. ALL NEW WIRE SHALL BE 14-GAUGE ANG-UF, DIRECT BURIAL TYPE. A RED COLOR SHALL BE PROVIDED FOR EACH VALVE STATION INCLUDING EXTRA WIRE. COMMON WIRE SHALL BE WHITE. WIRE RUNS ARE TO BE CONTINUOUS FROM CONTROLLER TO VALVE WITH SPLICES AT VALVES ONLY. SPLICES AND CONNECTIONS SHALL BE MADE WITH PEN-TITE CONNECTORS OR EQUIVALENT AND SHALL BE PLACED IN VALVE BOX.
 B. ALL WIRES SHALL BE INSTALLED WITH TWELVE INCHES (12") OF EXCESS WIRE (COILED) AT THE END OF EACH WIRE RUN AND AT NINETY DEGREE CHANGES IN DIRECTION.
 C. CONTROL WIRE SHALL BE LAID EIGHTEEN INCHES (18") DEEP. CONTROL WIRE SHALL BE BUNDLED AND PLACED BENEATH MAINLINE WHERE POSSIBLE, TAPED TO MAINLINE AT TEN FEET (10') ON CENTER.
 D. ONE (1) ADDITIONAL CONTROL WIRE SHALL BE RUN TO EACH VALVE MANIFOLD. WIRE SHALL BE BUNDLED, TAPED, AND PLACED IN CONTROL VALVE BOX.
 E. CONTRACTOR IS TO PROVIDE AN ADDITIONAL COMMON WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER. WIRE SHALL BE BUNDLED, TAPED, AND PLACED IN CONTROL VALVE BOX.
- ALL AUTOMATIC CONTROL VALVES SHALL BE OF SIZE AND TYPE NOTED IN LEGEND. VALVE MANIFOLD SHALL BE CONNECTED OFF OF A SINGLE TEE ON THE MAINLINE EXCEPT AT THE END OF THE MAINLINE RUN. VALVES SHALL BE SET A MINIMUM OF EIGHT INCHES (8") APART TO ALLOW SERVICING. VALVE SHALL BE TAGGED WITH CONTROLLER LETTER AND VALVE NUMBER PERMANENTLY MARKED ON PLASTIC TAG.
- ONE (1) VALVE SHALL BE INSTALLED IN EACH BOX. VALVE BOXES SHALL BE LOCATED WITHIN SHRUB PLANTER BEDS (WHEREVER POSSIBLE) AND SHALL BE SET FLUSH WITH THE MOW CURB. OR A MINIMUM OF TWELVE INCHES (12") AWAY FROM ANY OTHER HARDSCAPE OR STRUCTURE. VALVE BOX SHALL BE LARGE ENOUGH TO ACCOMMODATE SERVICING VALVES INCLUDING DRIP FILTERS.
- ALL PRESSURE MAINLINES SHALL BE A MINIMUM OF EIGHTEEN INCHES (18") DEEP AND MARKED WITH INDICATOR TAPE ABOVE PIPE. ALL PVC LATERALS SHALL BE A MINIMUM OF TWELVE INCHES (12") DEEP. TRENCH BACKFILL SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION PIPE OR EQUIPMENT INCLUDING ROCKS IN EXCESS OF ONE INCH (1") IN DIAMETER. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST. REFER TO DETAILS AND SPECIFICATIONS FOR MORE INFORMATION.
- MAINLINE, WIRING AND LATERAL LINES SHALL BE SLEEVED WITH PVC SCHEDULE 40 TWO (2) TIMES THE DIAMETER OF THE SLEEVED LINE WHERE IT PASSES UNDER PAVED AREAS OR THROUGH WALLS. (SEE SLEEVING DETAIL). IRRIGATION CONTRACTOR SHALL COORDINATE WITH CONCRETE AND A.C. PAVING CONTRACTOR TO ENSURE ALL SLEEVING IS SET PRIOR TO CONCRETE POURS AND ASPHALT PLACEMENT. CONTRACTOR IS TO LOCATE AND UTILIZE EXISTING SLEEVES UNDER DRIVEWAY AND WALKS, IF AVAILABLE. UNDER NO CIRCUMSTANCES SHALL NEW IRRIGATION LINES BE INSTALLED UNDER ASPHALT OR CONCRETE WITHOUT SLEEVING.
- MAINLINE SHALL BE SLEEVED EXTENDING 10 FEET TO EITHER SIDE OF HARDSCAPE.
- PRIOR TO BACKFILLING TRENCHES, THE FOLLOWING PROCEDURES SHALL BE IMPLEMENTED:
 A. ALL MAINLINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 125 PSI FOR A PERIOD OF FOUR (4) HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE.
 B. CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- WHEN INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETED AND PRIOR TO PLANTING, THE CONTRACTOR, IN THE PRESENCE OF THE BUILDER/OWNER'S AUTHORIZED REPRESENTATIVE, SHALL PERFORM A COVERAGE TEST OF WATER AFFORDED ALL PLANTING AREAS TO ENSURE IT IS COMPLETE AND ADEQUATE. CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE AT HIS OWN COST.
- CONTRACTOR SHALL FURNISH TO OWNER A COMPLETE "AS BUILT" DRAWING OF NEW AND EXISTING EQUIPMENT INSTALLED SHOWING EXACT SIZE, TYPE, AND DIMENSIONED LOCATIONS OF THE FOLLOWING ITEMS:
 A. POINT OF CONNECTION
 B. BALL VALVES
 C. QUICK COUPLERS
 D. CONTROL VALVES
 E. CONTROLLERS
 F. MAINLINE
 G. CONTROLLER WIRE
 H. SLEEVING
- "AS BUILT" DRAWING SHALL BE PREPARED ON BOND AND CONTRACTOR SHALL PROVIDE TWO PRINTS, ALONG WITH ORIGINAL.
- CONTRACTOR SHALL ALSO PROVIDE A REDUCED "AS BUILT" DRAWING (MAXIMUM 11X17 SIZE), COLOR-CODED, SHOWING AREAS IRRIGATED BY EACH STATION. THIS PLAN SHALL BE ENCASED IN PLASTIC UPON OWNER'S APPROVAL OF DRAWING. CONTRACTOR SHALL ALSO PROVIDE IRRIGATION PROGRAMMING CHART. THESE ARE TO BE DELIVERED ON OR BEFORE FINAL INSPECTION.
- IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR ONE HUNDRED AND TWENTY (120) DAYS UPON OWNER ACCEPTANCE OF CONSTRUCTION COMPLETION AND SHALL WATER AS REQUIRED TO ESTABLISH NEW PLANT MATERIAL.
- CONTRACTOR SHALL PROVIDE CONTROLLER KEYS AND MANUALS. ONE (1) QUICK COUPLER KEY WITH HOSE SWIVEL AND AN ADDITIONAL QUANTITY OF SIX OF EACH NOZZLE TYPE USED TO OWNER AT TURNOVER.
- IRRIGATION CONTRACTOR SHALL GUARANTEE IN WRITING THE ENTIRE NEWLY INSTALLED IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT BY CONTACTING DIG ALERT AT 811, BEFORE START OF CONSTRUCTION (14 CALENDAR DAYS PRIOR TO DIGGING).

IRRIGATION OPERATION

- THIS SECTION IS PROVIDED AS A REQUIREMENT FOR MAINTENANCE DURING THE 120 DAY ESTABLISHMENT PERIOD AND AS A RECOMMENDATION FOR FUTURE CONTINUED MAINTENANCE.
- IRRIGATION IS TO BE MAINTAINED AND OPERATED IN SUCH A MANNER AS TO PREVENT WATER FROM COLLECTING ON OR RUNNING ACROSS CONCRETE OR ASPHALT OR FROM OVERSPRAYING ONTO BUILDINGS, FENCES, WALLS OR OTHER HARDSCAPE FEATURES.
- MAINTENANCE CONTRACTOR SHALL BE REQUIRED TO HAVE AVAILABLE AND USE A SOIL TUBE OR PROBE TO FREQUENTLY CHECK SOIL MOISTURE BEFORE AND AFTER OPERATION OF THE IRRIGATION SYSTEM TO EVALUATE THE NECESSITY FOR IRRIGATION SCHEDULING ADJUSTMENTS. CONTRACTOR SHALL ADJUST SYSTEM TIMING AND COVERAGE PATTERNS ON AN ONGOING BASIS TO COMPENSATE FOR REDUCED WATER REQUIREMENTS AS PLANTS MATURE AND PATTERN DEFLECTION AS PLANTS GROW.
- MAINTENANCE CONTRACTOR SHALL BE REQUIRED TO FREQUENTLY TEST THE IRRIGATION SYSTEM TO ENSURE THAT ALL HEADS OPERATE CORRECTLY AND THAT NO BREAKS OR LEAKS EXIST. THE MAINTENANCE CONTRACTOR SHALL NOT PERMIT THE IRRIGATION SYSTEM TO OPERATE WITH BROKEN EQUIPMENT. REPAIRS TO THE SYSTEM SHALL BE MADE WITH ORIGINALLY SPECIFIED MATERIALS IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLANS TO ENSURE PROPER COVERAGE AND PRESSURE WITHIN THE IRRIGATION SYSTEM. FAILURE TO MATCH ORIGINALLY SPECIFIED MATERIALS MAY RESULT IN AN INOPERABLE SYSTEM WITH SIGNIFICANT WATER WASTE.

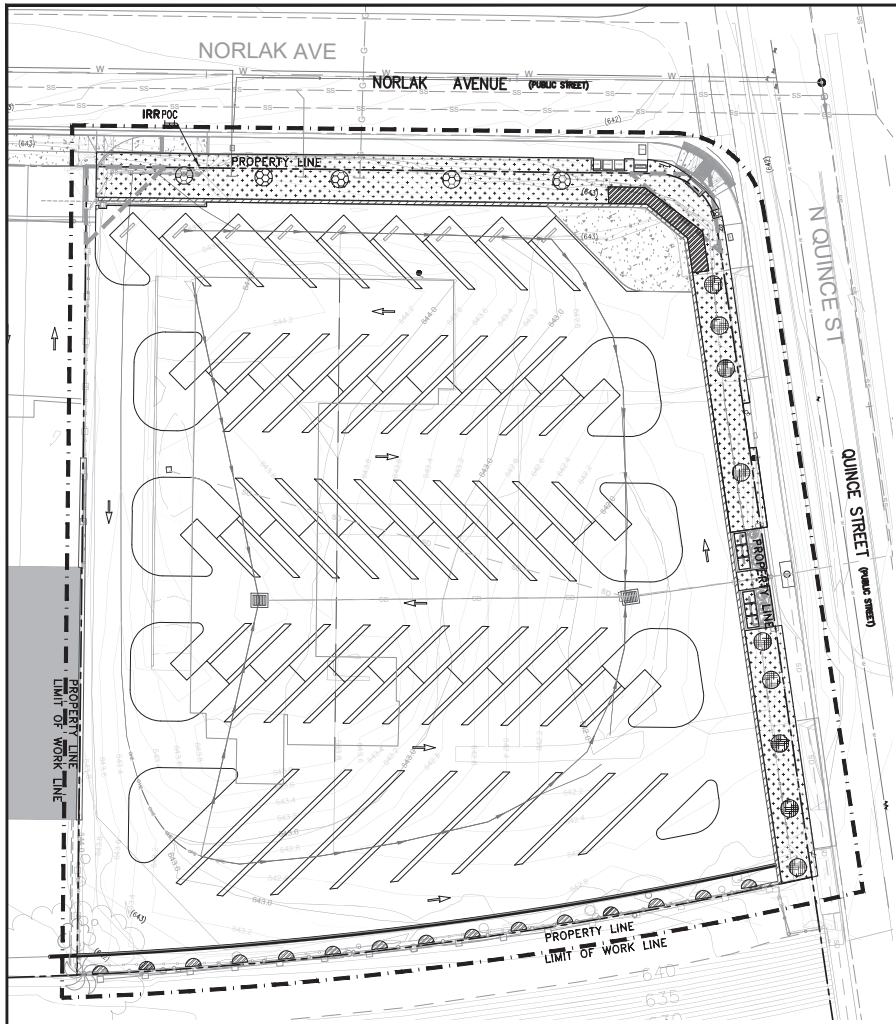


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MICHELLE M. LANDIS
 SIGNATURE: *Michelle M. Landis*
 REGISTRATION NO. 5444
 DATE: NOVEMBER 30, 2023
 EXP. DATE: APRIL 30, 2024

7185 Navajo Rd., Suite A, San Diego, CA 92119
 858.598.5085

11/30/23	ML	CUP RESUBMITTAL	DESIGNED BY:	MM/ML				EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO. 4020125
9/23/21	ML	NCTD REQUESTED UPDATES	DRAWN BY:	JG						
6/14/21	ML	FINAL DESIGN (CUP SET) UPDATED	CHECKED BY:	ML						
1/29/21	ML	FINAL DESIGN (CUP SET)	DATE:	11/30/2023						
1/12/21	ML	FINAL DESIGN - UPDATED								
12/07/20	ML	FINAL DESIGN								
10/02/20	ML	50% DESIGN								
REV	DATE	BY	DESCRIPTION						SHEET TITLE IRRIGATION CALCULATIONS, NOTES	DRAWING NO. LI-002
										SHEET NO. 39 OF 45



HYDROZONE LEGEND

	HYDROZONE 1 (BUBBLER-MODERATE WATER TREES AND SHRUB) - 125 SF
	HYDROZONE 2 (BUBBLER-LOW WATER TREES) - 225 SF
	HYDROZONE 3 (DRIP- LOW WATER SHRUB AND GROUNDCOVER) - 4568 SF
	HYDROZONE 4 (BUBBLER- MODERATE WATER VINES AND SHRUBS) - 357 SF
TOTAL HYDROZONES - 5275 SF	

MAWA CALCULATIONS

ETWU = Estimated Total Water Usage (gallons per year)

$ETWU = ((ETO) \cdot 62) / ((PF \times HA / IE) + SLA)$
 ETO = reference evapotranspiration (inches)
 62 = conversion factor to gallons
 PF = plant factor from wucls
 HA = hydrozone area (s.f.)
 IE = irrigation efficiency

HYDROZONE #1	$((57)(0.62)) / ((.5 \times 125) / .85) + (0) / .85$	= 2,599 Gal./Yr.	BUBBLERS
HYDROZONE #2	$((57)(0.62)) / ((.3 \times 225) / .85) + (0) / .85$	= 2,806 Gal./Yr.	BUBBLERS
HYDROZONE #3	$((57)(0.62)) / ((.3 \times 4568) / .81) + (0) / .81$	= 59,790 Gal./Yr.	DRIP
HYDROZONE #4	$((57)(0.62)) / ((.5 \times 357) / .85) + (0) / .85$	= 7,421 Gal./Yr.	BUBBLERS

Water Budget Calculations (gallons per year)

Water Budget = $(ETO) / (0.62) \cdot ((0.7) / (LA) + (0.3) / (SLA))$
 Where: Eto = Evapotranspiration (inches per year)(see Table 6 or Eto Map)
 0.62 = Conversion factor (to gallons)
 0.45 = Evapotranspiration Adjustment Factor (ETAF)
 LA = Landscape Area (square feet)
 0.3 = Additional Evapotranspiration Adjustment Factor for Special Landscape Areas SLA = Special Landscape Area (square feet)
 In the calculation below provide the values for the water budget calculation used for the proposed project. The Eto for the calculation may be based on the precise location of the project using the Eto Map or based on the Eto for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

W.B. $(57)(0.62) / ((0.45)(5275) + (0.55)(0)) = 102,530$ Gal./Yr.

IRRIGATION METHOD AND EFFICIENCY		
BUBBLERS	.85	
DRIP	.81	
PLANT WATER USE	PLANT FACTOR	ALSO INCLUDES
LOW	<0.1-0.3	ARTIFICIAL TURF
MODERATE	0.4-0.7	
HIGH	0.8 AND GREATER	WATER FEATURES
SPECIAL LANDSCAPE AREA	1.0	

Water Budget Calculations

Controller #	Hydrozone #	Valve Circuit	Irrigation Method	Plant Factor PF	Hydrozone Area HA	% of Total Landscape Area	PF X HA	IE	PF X HA / IE
A	1 - trees/shrub mod water	2	bubblers	.5	125	2%	63	.85	74
A	2 - trees low water	4	bubblers	.3	225	4%	68	.85	80
A	3 - gc/shrub low to mod water	1,3	drip	.3	4568	87%	1370	.81	1691
A	4 - vine mod water	5	bubblers	.5	357	7%	179	.85	211

Summary

MAWA = Maximum Applied Water Allowance (gallons per year)
 MAWA = 102,530 gal/yr

ETWU = Estimated Total Water Usage (gallons per year)
 ETWU = 72,659 gal/yr

Estimated water use is **72,659** gallons per year less than the Maximum Applied Water Allowance

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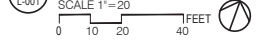


STUDIO WEST
 LANDSCAPE ARCHITECTURE & PLANNING

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 858.598.5085

MICHELLE M. LANDIS
 SIGNATURE: *Michelle M. Landis*
 DATE: NOVEMBER 30, 2023
 REGISTRATION NO. 5444 EXP. DATE: APRIL 30, 2024

1 PLANTING PLAN - NEW



REV	DATE	BY	DESCRIPTION
11/30/23	ML		CUP RESUBMITTAL
9/23/21	ML		NCTD REQUESTED UPDATES
6/14/21	ML		FINAL DESIGN (CUP SET) UPDATED
1/29/21	ML		FINAL DESIGN (CUP SET)
1/12/21	ML		FINAL DESIGN - UPDATED
12/07/20	ML		FINAL DESIGN
10/02/20	ML		50% DESIGN

DESIGNED BY: MM/ML
 DRAWN BY: JG
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 DATE: 11/30/2023



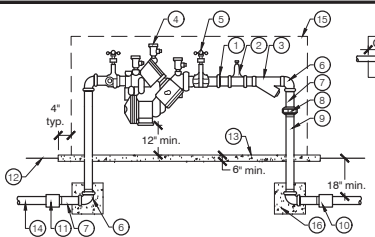
STV
 ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
 1055 WEST 7th STREET, SUITE 2900
 LOS ANGELES, CA. 90017-2577



PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

PROJECT TITLE
 BREEZE OPERATIONS EAST
 SITE EXPANSION
 SHEET TITLE
 HYDROZONE PLAN AND
 CALCULATIONS

PROJECT NO
 4020125
 SCALE
 AS SHOWN
 DRAWING NO
 LI-003
 SHEET NO
 40 OF 45

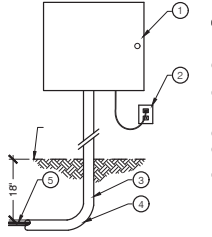


CLEARANCE			
SIZE	A	B	C
3/4" - 3"	18"	12"	12"

NOTES:
1. CONTRACTOR MAY SUBSTITUTE TYPE K OR L COPPER PIPE FOR BRASS.

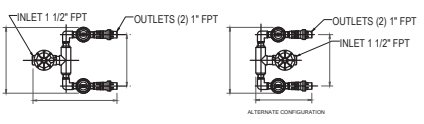
- 13 POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.
- 14 WATER SUPPLY: SOLID COPPER.
- 15 STAINLESS STEEL BACKFLOW ENCLOSURE - COLD ROLLED STEEL TUBING (MIN. 1 1/2") AND ROD (MIN. 3/8" THICK) WITH POLYMER ALLOY COATING AND 3 MIL POWDER COATING (BLACK), STAINLESS STEEL LOCKING AND MOUNTING HARDWARE.
- 16 12"x12" CONCRETE THRUST BLOCK

1 REDUCED PRESSURE BACKFLOW PER W-10-E (CITY OF ESCONDIDO)
SCALE: N.T.S.



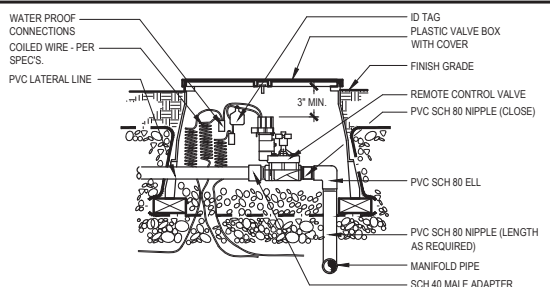
- 1 EXTERIOR WALL MOUNT CONTROLLER. FASTEN TO WALL PER MANUFACTURER'S SPECIFICATIONS. SEE LEGEND FOR CONTROLLER INFORMATION.
 - 2 110 VOLT POWER SUPPLY (SEE ELECTRICAL PLANS)
 - 3 LOW VOLTAGE WIRE IN GRAY PVC CONDUIT. (1/2" DIA.) WIRE TO BE SLEEVED IN CONDUIT TO 18" BELOW GRADE.
 - 4 SWEEP ELL.
 - 5 LOW VOLTAGE WIRE TO REMOTE CONTROL VALVES.
 - 6 FINISH GRADE.
- NOTE:
ALL WALL PENETRATIONS SHALL BE CLEAN AND SHALL BE RESEALED WATER TIGHT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

2 WALL MOUNTED CONTROLLER
SCALE: N.T.S.



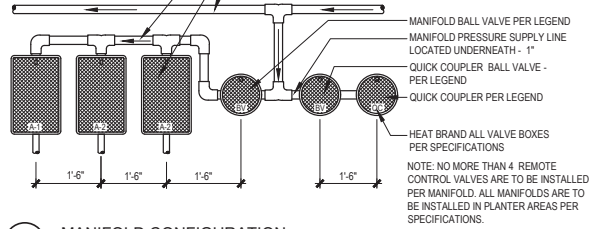
- 1 PVC SCH 40 ELL
- 2 PVC SCH 80 1 1/2" NIPPLE (LENGTH AS REQUIRED)
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATER PROOF CONNECTOR (UV RESISTANT) WITH SILICONE SEALANT. UL CERTIFIED FOR DIRECT BURIAL
- 5 ID TAG
- 6 VALVE BOX - BLACK WITH SIDE RIDGES, PREMOLDED PIPE SLOTS, AND BOTTOM FLANGES. LOCKABLE, SKID RESISTANT GREEN LID. RAIN BIRD VB-JMB OR 'APPROVED EQUAL'
- 7 TOP OF MULCH
- 8 FINISH GRADE
- 9 CONTROL ZONE KIT PER LEGEND
- 10 PVC LATERALS
- 11 PVC SCH 40 MALE ADAPTER (2)
- 12 PVC SCH 80 1" UNION (2) FOR SERVICING ASSEMBLY
- 13 BLOCK (1 OF 4)
- 14 PVC SCH 80 NIPPLE, CLOSE (2)
- 15 PVC MAINLINE
- 16 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 17 PVC SCH 40 TEE

3 1" DRIP COMMERCIAL CONTROL ZONE KIT (WITH 2 BASKET FILTERS)
SCALE: N.T.S.



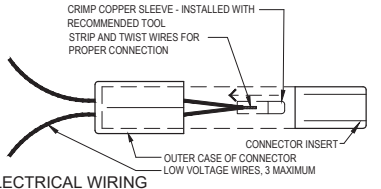
- 1 ID TAG
- 2 PLASTIC VALVE BOX WITH COVER
- 3 FINISH GRADE
- 4 REMOTE CONTROL VALVE
- 5 PVC SCH 80 NIPPLE (CLOSE)
- 6 PVC SCH 80 ELL

4 REMOTE CONTROL VALVE
SCALE: N.T.S.

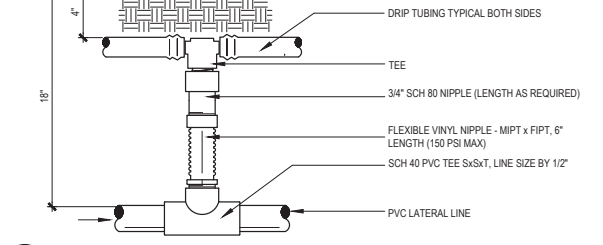


- 1 MANIFOLD PRESSURE SUPPLY LINE LOCATED UNDERNEATH - PER LEGEND
 - 2 REMOTE CONTROL VALVE - PER LEGEND
 - 3 PRESSURE SUPPLY LINE PER PLAN
 - 4 MANIFOLD BALL VALVE PER LEGEND
 - 5 MANIFOLD PRESSURE SUPPLY LINE LOCATED UNDERNEATH - 1"
 - 6 QUICK COUPLER BALL VALVE - PER LEGEND
 - 7 QUICK COUPLER PER LEGEND
 - 8 HEAT BRAND ALL VALVE BOXES PER SPECIFICATIONS
- NOTE: NO MORE THAN 4 REMOTE CONTROL VALVES ARE TO BE INSTALLED PER MANIFOLD. ALL MANIFOLDS ARE TO BE INSTALLED IN PLANTER AREAS PER SPECIFICATIONS.

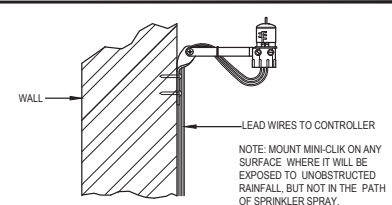
5 MANIFOLD CONFIGURATION
SCALE: N.T.S.



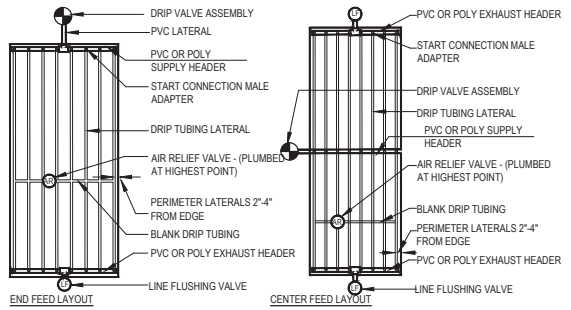
6 ELECTRICAL WIRING
SCALE: N.T.S.



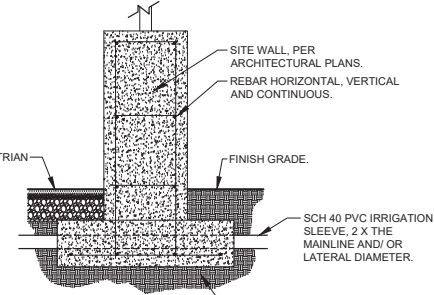
7 DRIPLINE INSTALLATION
SCALE: N.T.S.



8 RAIN SENSOR
SCALE: N.T.S.



9 DRIP LINE DETAIL
SCALE: N.T.S.



10 MAINLINE SLEEVE THROUGH WALL FOOTING
SCALE: N.T.S.

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MICHELLE M. LANDIS
SIGNATURE DATE: NOVEMBER 30, 2023
REGISTRATION NO. 5444 EXP. DATE: APRIL 30, 2024

STUDIO WEST
LANDSCAPE ARCHITECTURE & PLANNING
7185 Navajo Rd., Suite A, San Diego, CA 92119
858.598.5085

REV	DATE	BY	DESCRIPTION
11/30/23	ML		CUP RESUBMITTAL
9/23/21	ML		NCTD REQUESTED UPDATES
8/14/21	ML		FINAL DESIGN (CUP SET) UPDATED
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DESIGNED BY: MM/ML
DRAWN BY: JG
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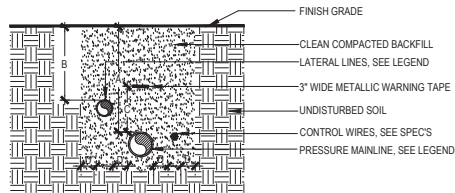
STV
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577



PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
IRRIGATION DETAILS

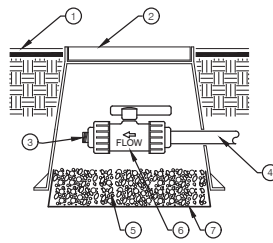
PROJECT NO. 4020125
SCALE AS SHOWN
DRAWING NO. LI-004
SHEET NO. 41 OF 45



DIMENSION	A	B	C	D
1/2" TO 2-1/2" IN SIZE	24"	18"	9"	6"

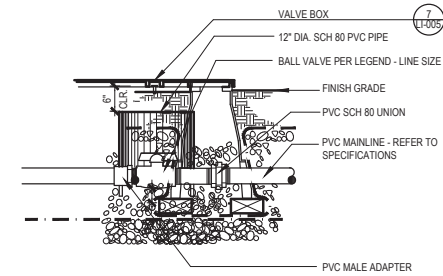
SECTION VIEW - N.T.S.

1 TRENCH/SLEEVE DETAIL SCALE: N.T.S.

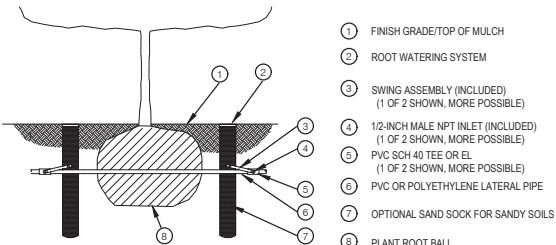


- 1 FINISHED GRADE
- 2 10" PLASTIC VALVE BOX
- 3 HOSE ADAPTER
- 4 DRIP LATERAL OR TUBING
- 5 3/4" CRUSHED GRAVEL 8" DEEP
- 6 FLUSH VALVE
- 7 LANDSCAPE FABRIC

2 DRIP FLUSH VALVE SCALE: N.T.S.



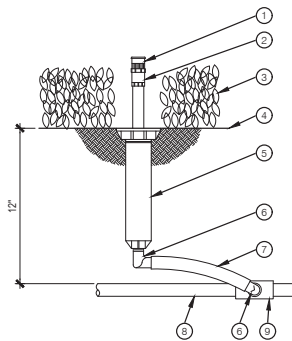
3 BALL VALVE SCALE: N.T.S.



NOTES:

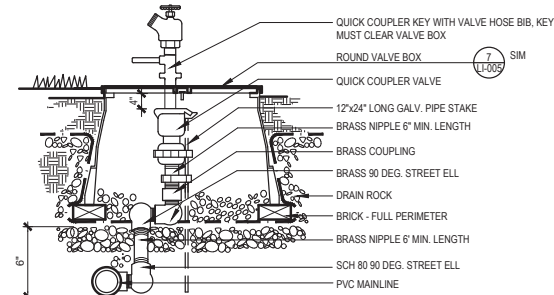
1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
3. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 1/2" GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
4. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

4 ROOT WATERING SYSTEM FOR TREES NOT TO SCALE

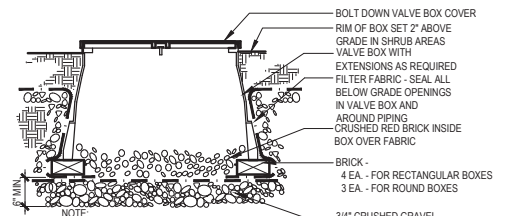


- 1 BUBBLER NOZZLE
- 2 ADAPTER, UV RESISTANT THERMOPLASTIC CONSTRUCTION RAIN BIRD MODEL PA-80 OR 'APPROVED EQUAL'
- 3 PLANT MATERIAL
- 4 FINISH GRADE/TOP OF MULCH
- 5 POP-UP BODY
- 6 1/2-INCH SPIRAL FITTING ACETYL MATERIAL WITH AGGRESSIVE BARB LIP, MALE NPT x 490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050 OR APPROVED EQUAL
- 7 SWING PIPE, 12-INCH LENGTH: ACETYL MATERIAL
- 8 PVC LATERAL PIPE
- 9 PVC SCH 40 TEE OR ELL

5 STREAM BUBBLER POP-UP SCALE: N.T.S.

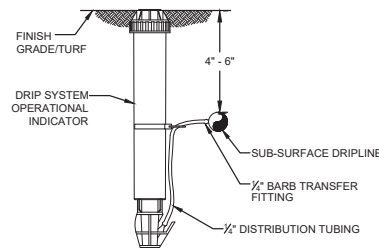


6 QUICK COUPLER VALVE SCALE: N.T.S.

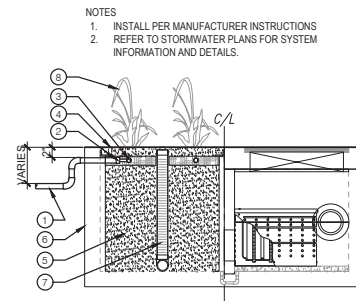


- NOTE:
1. LOCATE VALVE BOXES 6" FROM EDGE OF IMPROVEMENTS.
 2. WHERE TWO OF MORE VALVE BOXES OCCUR TOGETHER PROVIDE 6" CLEARANCE BETWEEN BOXES.

7 VALVE BOX SCALE: N.T.S.



8 DRIP INDICATOR KIT SCALE: N.T.S.



- NOTES:
1. INSTALL PER MANUFACTURER INSTRUCTIONS
 2. REFER TO STORMWATER PLANS FOR SYSTEM INFORMATION AND DETAILS.

- 1 PVC LATERAL PER TRENCHING AND SLEEVING DETAILS 586/LI-103
- 2 TRANSITION TO IN-LINE DRIP TUBING
- 3 DRIP TUBING RING, PER MATERIALS LEGEND AND SPECIFICATIONS
- 4 FINISH GRADE
- 5 SPECIALTY MEDIA, PER CIVIL PLANS AND SPECIFICATIONS
- 6 MODULAR WETLAND UNIT, PER CIVIL PLANS AND SPECIFICATIONS
- 7 MODULAR WETLAND DRAIN PIPE, PER CIVIL PLANS AND SPECIFICATIONS
- 8 PLANTS PER PLANTING LEGEND

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REGISTRATION NO. 5444 EXP. DATE: APRIL 30, 2024



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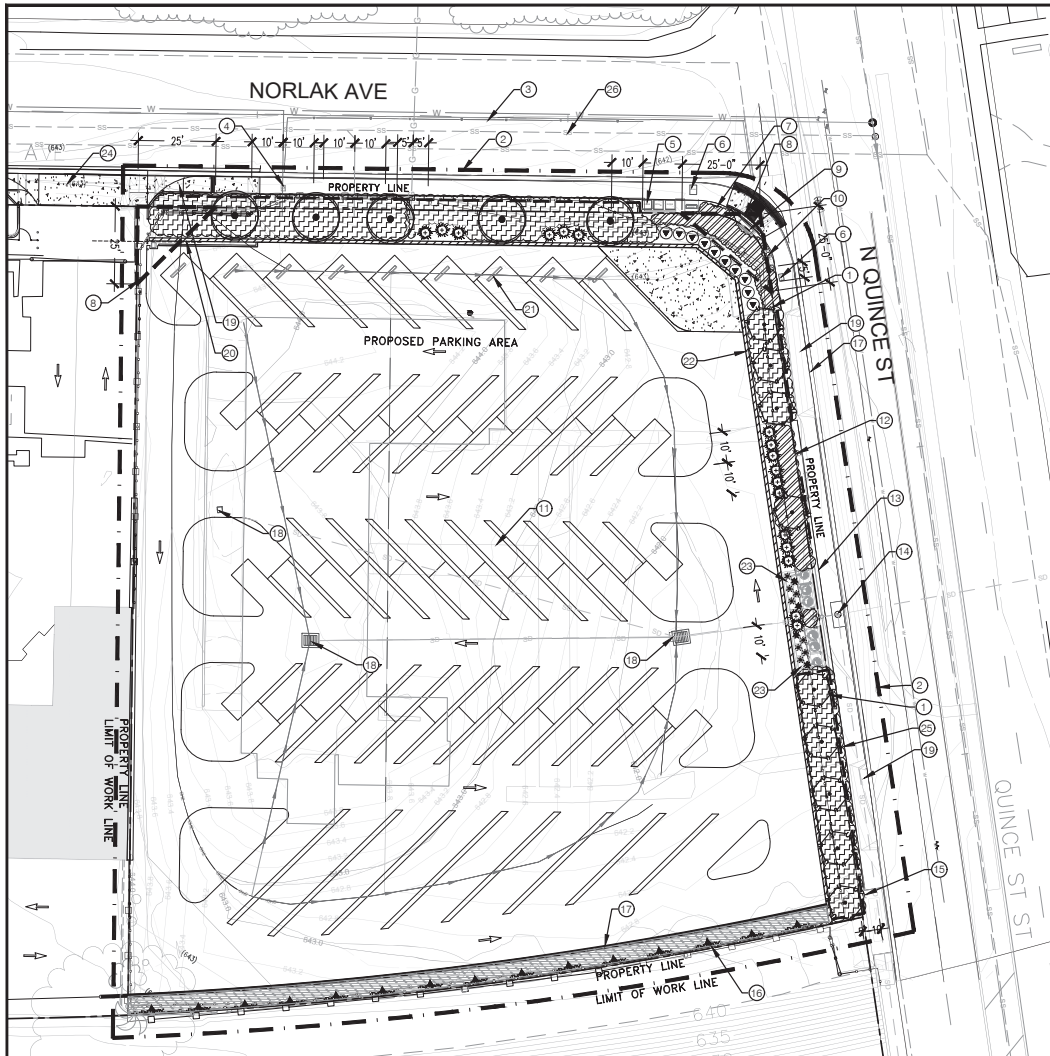
STV
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577



PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
IRRIGATION DETAILS

PROJECT NO
4020125
SCALE
AS SHOWN
DRAWING NO
LI-005
SHEET NO
42 OF 45



1 PLANTING PLAN - NEW
 L-001 SCALE 1"=20 FEET

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY	HEIGHT & SPREAD	WUCOLS	NATIVE	DETAIL
TREES	CALLISTEMON CITRINUS	LEMON BOTTLEBRUSH	24" BOX	STD, 2" MIN CALIPER, 6" MIN HEIGHT	9	15' X 15'	L	N	L-1-E /L-002
	LAGERSTROEMIA INDICA 'TONTON'	TONTON CRAPE MYRTLE	24" BOX	STD, 2" MIN CALIPER, 6" MIN HEIGHT	5	20' X 20'	M	N	L-1-E /L-002
VINES	CYLISTOSTOMA CALLISTEGOIDES	LAVENDER TRUMPET VINE	5 GAL		15	15' X 15'	M	N	3, L-002
SHRUBS	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	MODULAR WETLAND, SEE CIVIL PLANS & SPECIFICATIONS	17	4' X 5'	L	N	4/L-002
	LEYMUS C. 'CANYON PRINCE'	CANYON PRINCE WILD RYE	5 GAL		12	4' X 3'	L	N	4/L-002
	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL		10	5' X 4'	M	N	4/L-002
GROUNDCOVERS	SEDUM NUSSBAUMERIANUM	COPPERTONE STONECROP	1 GAL	12" O.C.	698 SF	18" X 12"	L	N	5/L-002
	SENECIO MANDRALISCAE	BLUE CHALKSTICK	6" POT	12" O.C.	3463 SF	12" X 18"	L	N	5/L-002

- ROOT BARRIER (DEEPROOT 36-2) - 1/L-003
- [Hatched Box] BARK MULCH
 3" DEPTH ALL PLANTED AREAS (NOTE: HATCH SHOWN FOR CLARITY AT VINE PLANTER)
 1" MINUS 'BEDDING MULCH' BY AGRISERVICE, OR EQUAL.

- MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE**
- TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
 BACK OF TRAFFIC SIGNAL OR STOP SIGN - 10 FEET
 UNDERGROUND UTILITY LINES, DRIVEWAY APRON FLARE - 5 FEET
 SEWER LINES - 10 FEET
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY ENTRIES - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 STREET LIGHT - 15'
 ADDITIONAL PUBLIC RIGHT-OF-WAY REGULATIONS
- PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT.

STREET TREES
 423 LF @ 30' SPACING = 14 STREET TREES REQUIRED

NOTE: REMOVE ALL EXISTING VEGETATION INCLUDING TREES, SHRUBS, AND GRASS PER CIVIL DEMOLITION PLAN (SHEET C-102) AND PROJECT SPECIFICATIONS.

- KEY NOTES:**
- 1 PROPERTY LINE
 - 2 LIMIT OF WORK LINE
 - 3 EXISTING WATER LINE
 - 4 EXISTING WATER METER
 - 5 EXISTING TRANSFORMERS TO REMAIN
 - 6 EXISTING COMM RISER TO REMAIN
 - 7 EXISTING SIGN TO REMAIN
 - 8 VISIBILITY TRIANGLE
 - 9 EXISTING TRANSFORMERS TO REMAIN
 - 10 EXISTING STREET LIGHT TO REMAIN
 - 11 STRIPING PER CIVIL
 - 12 EXISTING FIRE HYDRANT TO REMAIN
 - 13 EXISTING BUS STOP SIGN TO REMAIN
 - 14 EXISTING STORM DRAIN INLET TO REMAIN
 - 15 EXISTING SIGN TO REMAIN
 - 16 FENCE PER CIVIL
 - 17 CONCRETE CURB PER CIVIL
 - 18 STORM WATER DRAIN PER CIVIL, TYP
 - 19 NEW SIDEWALK PER CIVIL
 - 20 ROLLING GATE AND TRACK PER CIVIL PLANS
 - 21 WHEEL STOPS PER CIVIL - TYP
 - 22 CMU WALL PER CIVIL
 - 23 MODULAR WETLANDS, PER CIVIL PLANS
 - 24 NEW VEHICULAR ACCESS
 - 25 ROOT BARRIER, TYP.
 - 26 EXISTING SEWER LINE

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STUDIO WEST
 LANDSCAPE ARCHITECTURE & PLANNING

MICHELLE M. LANDIS
 SIGNATURE: *Michelle M. Landis*
 REGISTRATION NO. 5444 DATE: NOVEMBER 30, 2023 EXP. DATE: APRIL 30, 2024

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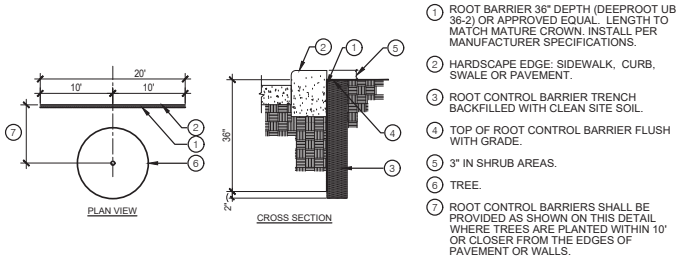


PROJECT ADDRESS
 EAST DIVISION MF
 335 N. QUINCE STREET
 ESCONDIDO, CA 92025

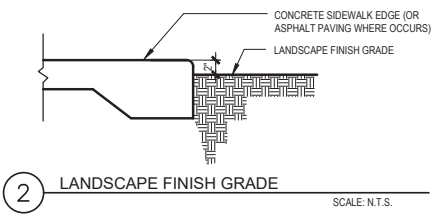
PROJECT TITLE
BREEZE OPERATIONS EAST SITE EXPANSION

SHEET TITLE
 PLANTING PLAN

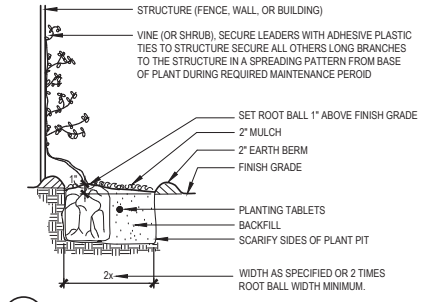
PROJECT NO. 4020125
 SCALE AS SHOWN
 DRAWING NO. L-001
 SHEET NO. 43 OF 45



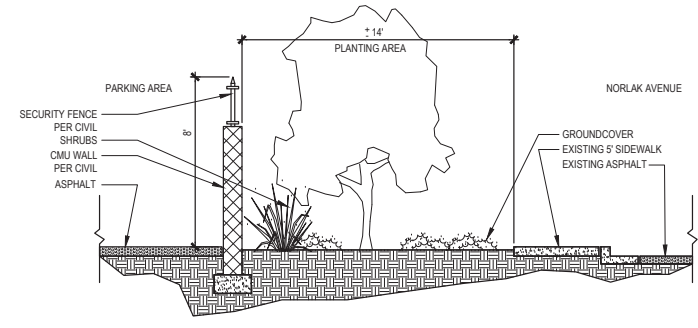
1 ROOT BARRIER
SCALE: N.T.S.



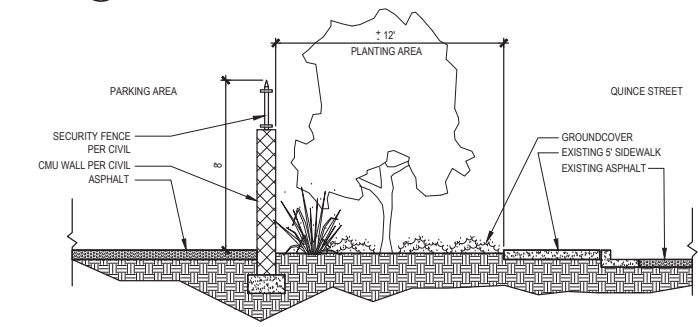
2 LANDSCAPE FINISH GRADE
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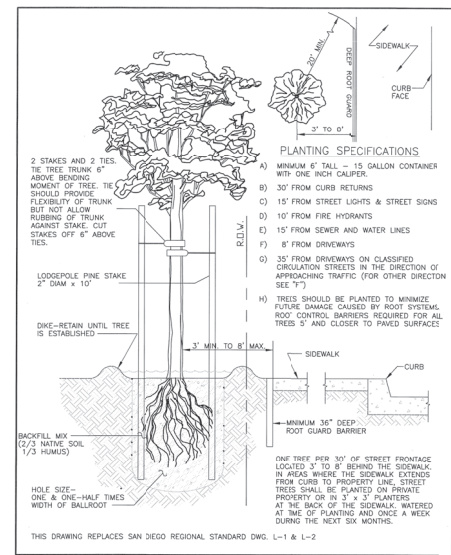
3 VINE
SCALE: N.T.S.



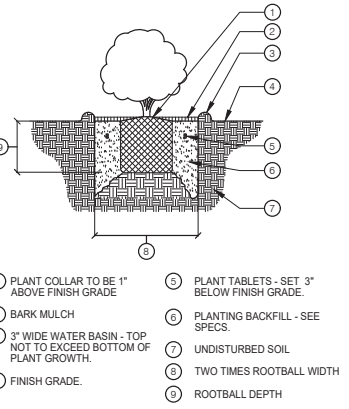
A NORLAK AVENUE SECTION
SCALE: N.T.S.



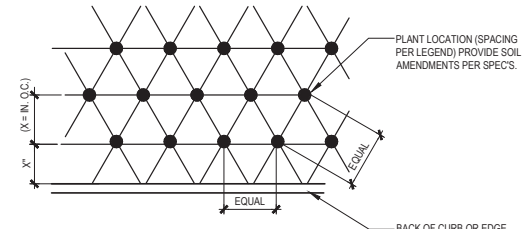
B QUINCE STREET SECTION
SCALE: N.T.S.



4 SHRUB
SCALE: N.T.S.



5 GROUND COVER
SCALE: N.T.S.



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7185 Navajo Rd., Suite A, San Diego, CA 92119
858.598.5085

APPROVED: [Signature]	DATE: 01-02-2024	CITY OF ESCONDIDO	SCALE: NOT TO SCALE
REVISED: [Signature]	APPROVED: [Signature]	DEPARTMENT OF PUBLIC WORKS	STANDARD DRAWING NO. L-1-E
TREE PLANTING BEHIND SIDEWALK			

REV	DATE	BY	DESCRIPTION
11/30/23	ML		CUP RESUBMITTAL
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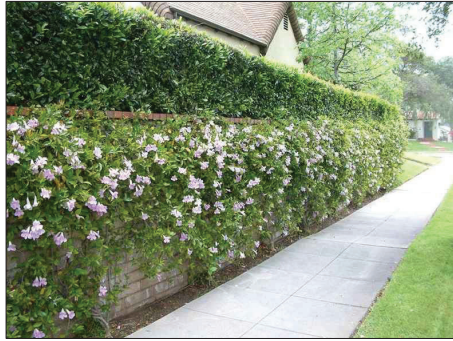
DESIGNED BY: MM/ML
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PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
PLANTING DETAILS

PROJECT NO. 4020125
SCALE AS SHOWN
DRAWING NO. L-002
SHEET NO. 44 OF 45



LAVENDER TRUMPET VINE

2 VINE ON FENCE

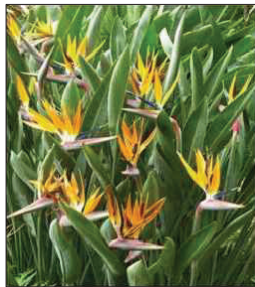


NORLAK STREET –
CREPE MYRTLE

1 STREET TREES



QUINCE STREET –
LEMON BOTTLEBRUSH



BIRD OF PARADISE



SOFT TIPPED
FOXTAIL AGAVE

4 PARKWAY SHRUBS & SUCCULENTS



BLUE CHALK STICK

3 PARKWAY GROUNDCOVERS



SEDUM 'COPPERTONE'

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REV	DATE	BY	DESCRIPTION
11/30/23	ML		CUP RESUBMITTAL
9/23/21	ML		NCTD REQUESTED UPDATES
6/14/21	ML		FINAL DESIGN (CUP SET) UPDATED
1/29/21	ML		FINAL DESIGN (CUP SET)
1/12/21	ML		FINAL DESIGN - UPDATED
12/07/20	ML		FINAL DESIGN
10/02/20	ML		50% DESIGN

DESIGNED BY:
MM/ML
DRAWN BY:
JG
CHECKED BY:
ML
DATE:
11/30/2023



STV
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS
1055 WEST 7th STREET, SUITE 2900
LOS ANGELES, CA. 90017-2577



PROJECT ADDRESS
EAST DIVISION MF
335 N. QUINCE STREET
ESCONDIDO, CA 92025

PROJECT TITLE
BREEZE OPERATIONS EAST
SITE EXPANSION
SHEET TITLE
PLANT MATERIAL

PROJECT NO
4020125
SCALE
AS SHOWN
DRAWING NO
L-003
SHEET NO
45 OF 45

Exhibit “C”

Planning Case No. PL21-0057

Factors to be Considered/Findings of Fact

Environmental Determinations:

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) (“CEQA”), and its implementing regulations (14 C.C.R. § 15000 et seq.) (“CEQA Guidelines”), the City of Escondido (“City”) is the Lead Agency for the Project (“Project”), as the public agency with the principal responsibility for approving the Project.

2. The Project qualifies for an exemption from further environmental review pursuant an exemption from the California Environmental Quality Act (CEQA) under Section 15332, Class 32, (In-fill Development Projects) because such categorical exemption applies to proposed developments within city limits on sites of no more than five acres substantially surrounded by urban uses, where the site has no habitat value for special status species, can be adequately served by all required utilities and public services, and the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality (CEQA Guidelines § 15332(b)-(e)). Furthermore, the Project does not involve the use of significant amounts of hazardous substances. The proposed Project meets the following criteria:
 - a. The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
 - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
 - c. The project site has no value as habitat for endangered, rare or threatened species.
 - d. Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
 - e. The site can be adequately served by all required utilities and public services

The Project also does not trigger any exceptions to the categorical exemption as listed in CEQA Guidelines section 15300.2.

3. The Planning Commission has independently considered the full administrative record before it, which includes but is not limited to the January 9, 2024, Planning Commission Staff Report; testimony by staff and the public; and other materials and evidence submitted or provided to it. The administrative record demonstrates that each of the requirements have been satisfied. No substantial evidence has been submitted that would support a finding that any of the above-described exemption requirements has not been satisfied. The Project will not have a significant effect on the environment, and all the requirements of CEQA have been met.

Public Notice and Outreach:

Planning Division staff provided public notice of the application in accordance with City and State public noticing requirements. A notice was published in the local newspaper on or around December 28, 2023. In addition, on or around December 26, 2023, notices were sent to owners within 500 feet of the project site. A public notice was also posted at the project site, on the City's website, and posted at City Hall.

Conditional Use Permit (CUP)

1. This Conditional Use Permit is granted upon sound principles of land use and in response to services required by the community in that the proposed Project has been designed and conditioned to comply with all applicable zoning regulations and design standards. The Project is located within and is surround by similar industrial characteristics and uses. Further, the proposed Project serves a transit district which provides multimodal options, including bus services which serve community members with public transit options.
2. This Conditional Use Permit will not cause deterioration of bordering land uses or create special problems for the area in which it is located in that the proposed Project has been designed and conditioned to comply with all applicable zoning regulations and design standards. The Project is located within and is surround by similar industrial characteristics and uses. The Project will replace a vacant underutilized light industrial parcel and has been designed to reduce land use conflicts, consolidating entrances to minimize vehicular conflicts, and enhancing the visual presence. Conditions have been incorporated into the approval of the Project to ensure no conflicts will occur with surrounding uses.
3. The proposed Project is located within a designation light industrial area of the City's General Plan. The conditional use is located in in area surrounded by similar industrial/commercial uses. The proposed Project is located adjacent to the existing North County Transit District East Division Maintenance Facility, which will complement and support their current operations and use as a fleet vehicle storage area. Further, the project was reviewed by the City's Staff Development Review Committee for compliance with City requirements and conditioned the Project so as to preserve the public health, safety, and general welfare.

Exhibit “D”

Planning Case No. PL21-0057 335 N. Quince Street/NCTD Fleet Parking Conditions of Approvals

This Project is conditionally approved as set forth on the application received by the City of Escondido on January 29, 2021, and the Project drawings consisting of a Site Plan, Street Elevations, Civil/Grading, and Landscape Design Plans; all designated as approved on January 9 2024, and shall not be altered without express authorization by the Development Services Department.

For the purpose of these conditions, the term “Applicant” shall also include the Project proponent, owner, permittee, and the Applicant’s successors in interest, as may be applicable.

A. General:

1. **Acceptance of Permit.** If the Applicant fails to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
 - a. Acceptance of the Permit by the Applicant; and
 - b. Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Project Permit or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Permit.
2. **Permit Expiration.** If the Permit was filed as or concurrent with a Site Plan and Conditional Use Permit, the Permit shall expire 24 months from the effective date of approval, unless additional time is granted pursuant to the Map Act or to the Escondido Municipal Code. If not filed as concurrent with a Site Plan or Conditional Use Permit application, the Permit shall automatically expire after one year from the date of this approval, or the expiration date of any extension granted in accordance with the Escondido Municipal Code and Zoning Code.

The Permit shall be deemed expired if a building permit has not been obtained or work has been discontinued in the reliance of that building permit. If no building permits are required, the City may require a noticed hearing to be scheduled before the authorized agency to determine if there has been demonstrated a good faith intent to proceed, pursuant to and in accordance with the provision of this Permit.

- 3. Certification.** The Director of Development Services, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Project drawings and any other relevant document comprising the Project in its entirety, as necessary to make them internally consistent and in conformity with the final action on the Project. This includes amending the Project drawings as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. Three copies of final Approved Plan set, shall be submitted to the Planning Division for certification. Said plans must be certified by the Planning Division prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.
- 4. Conformance to Approved Plans.**

 - a.** The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated with the Approved Plan set.
 - b.** Nothing in this Permit shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this Permit.
 - c.** Once a permit has been issued, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the Director of Development Services to be in substantial conformity with the Approved Plan set, including all exhibits and Permit conditions attached hereto. Modifications beyond the scope described in the Approved Plan set may require submittal of an amendment to the Permit and approval by the authorized agency.
- 5. Limitations on Use.** Prior to any use of the Project site pursuant to this Permit, all Conditions of Approval contained herein shall be completed or secured to the satisfaction of the Development Services Department.
- 6. Availability of Permit Conditions.**

 - a.** Prior to building permit issuance, the Applicant shall cause a covenant regarding real property to be recorded that sets forth the terms and conditions of this Permit approval and shall be of a form and content satisfactory to the Director of Development Services.
 - b.** The Applicant shall make a copy of the terms conditions of this Permit readily available to any member of the public or City staff upon request. Said terms and conditions shall be printed on any construction plans that are submitted to the Building Division for plan check processing.

- 7. Right to Entry.** The holder of this Permit shall make the premises available for inspection by City staff during construction or operating hours and allow the investigations of property necessary to ensure that minimum codes, regulations, local ordinances and safety requirements are properly followed. The Applicant shall provide such business records, licenses, and other materials necessary upon request to provide evidence of compliance with the conditions of approval, as well as federal, state, or laws.
- 8. Compliance with Federal, State, and Local Laws.** Nothing in this Permit shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this permit. (Permits from other agencies may be required as specified in the Permit's Details of Request.) This Permit does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this Permit's approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. During Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this Permit is conducted in full compliance with all local and state laws.

- 9. Fees.** The appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Development Services. Through plan check processing, the Applicant shall pay development fees at the established rate. Such fees may include, but not be limited to: Permit and Plan Checking Fees and other fees listed in the Fee Schedule, which may be amended. Arrangements to pay these fees shall be made prior to building permit issuance to the satisfaction of the Development Services Department.

Approval of this development project is conditioned upon payment of all applicable development fees and connection fees in the manner provided in Chapter 6 of the Escondido Municipal Code.

- 10. Public Art Partnership Program.** All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to any building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.

11. Clerk Recording.

- a. Exemption.** If the environmental determination prepared for the Project is a categorical exemption, the City of Escondido hereby notifies the Applicant that the County Clerk's Office requires a documentary handling fee of \$50 in order to file a

Notice of Exemption. In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Guidelines section 15062, the Applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the Project (the final approval being the date of this letter) a certified check payable to the "County Clerk" in the amount of \$50. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the Project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.

- b. For more information on filing fees, please refer to the County Clerk's Office and/or the California Code of Regulations, Title 14, Section 753.5.

12. Legal Description Adequacy. The legal description attached to the application has been provided by the Applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.

13. Application Accuracy. The information contained in the application and all attached materials are assumed to be correct, true, and complete. The City of Escondido is relying on the accuracy of this information and Project-related representations in order to process this application. Any permits issued by the City may be rescinded if it is determined that the information and materials submitted are not true and correct. The Applicant may be liable for any costs associated with rescission of such permits.

14. Revocation, Suspension, Modification. At any time after Project implementation, the City may require a noticed public hearing to be scheduled before the Planning Commission to determine if there has been demonstrated a good faith intent to proceed in reliance on this approval. This item may be referred to the appropriate decision-making body upon recommendation of the Director of Development Services for review and possible revocation or modification of the Permit regarding non-compliance with the Conditions of Approval.

This Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing, and after the following findings are fully investigated:

- a. A violation of any term or condition not abated, corrected or rectified within the time specified on the notice of violation; or

- b. A violation of any City ordinance, state law, or federal law not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates or constitutes a nuisance.

15. Indemnification, Hold Harmless, Duty to Defend.

- a. The Applicant shall indemnify, hold harmless, and defend (with counsel reasonably acceptable to the City) the City, its Councilmembers, Planning Commissioners, boards, commissions, departments, officials, officers, agents, employees, and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, at law or in equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with (i) any business, work, conduct, act, omission, or negligence of the Applicant or the owner of the Property (including the Applicant's or the owner of the Property's contractors, subcontractors, licensees, sublessees, invitees, agents, consultants, employees, or volunteers), or such activity of any other person that is permitted by the Applicant or owner of the Property, occurring in, on, about, or adjacent to the Property; (ii) any use of the Property, or any accident, injury, death, or damage to any person or property occurring in, on, or about the Property; or (iii) any default in the performance of any obligation of the Applicant or the owner of the Property to be performed pursuant to any condition of approval for the Project or agreement related to the Project, or any such claim, action, or proceeding brought thereon. Provided, however, that the Applicant shall have no obligation to indemnify, hold harmless, or defend the City as to any Claims that arise from the sole negligence or willful misconduct of the City. In the event any such Claims are brought against the City, the Applicant, upon receiving notice from the City, shall defend the same at its sole expense by counsel reasonably acceptable to the City and shall indemnify the City for any and all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City).
- b. The Applicant further and separately agrees to and shall indemnify, hold harmless, and defend the City (including all Indemnified Parties) from and against any and all Claims brought by any third party to challenge the Project or its approval by the City, including but not limited to any Claims related to the Project's environmental determinations or environmental review documents, or any other action taken by the

City regarding environmental clearance for the Project or any of the Project approvals. Such indemnification shall include the Applicant's payment for any and all administrative and litigation costs and expenses incurred by the City in defending against any such Claims, including payment for all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City and the Project).

- c. The City, in its sole discretion and upon providing notice to the Applicant, may require the Applicant to deposit with the City an amount estimated to cover costs, expenses, and fees (including attorney's fees) required to be paid by the Applicant in relation to any Claims referenced herein, which shall be placed into a deposit account from which the City may draw as such costs, expenses, and fees are incurred. Within 14 days after receiving written notice from the City, the Applicant shall replenish the deposit account in the amount the City determines is necessary in the context of the further defense of such Claims. To the extent such deposit is required by the City, the amount of such deposit and related terms and obligations shall be expressed in a written Deposit Account Agreement, subject to the City Attorney's approval as to form. The City, in its sole and reasonable discretion, shall determine the amount of any initial deposits or subsequent deposits of funds, and the Applicant may provide documentation or information for the City to consider in making its determinations. Nothing within this subsection shall be construed as to relieve the Applicant's obligations to indemnify, hold harmless, or defend the City as otherwise stated herein.

B. Construction, Maintenance, and Operation Obligations:

1. **Code Requirements.** All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code, California Building Code; and the requirements of the Planning Division, Engineering Services Department, Director of Development Services, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of this Permit request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.

As a condition of receiving the land use approvals specified herein, Applicant shall maintain the property subject to the approvals in compliance with all applicable city codes governing the condition or appearance of property. In addition to compliance with such basic standards, the property subject to these approvals shall also be maintained free of trash, plant debris, weeds, and concrete (other than existing foundations and permanent structures). Any signs placed on the property advertising such property for sale or rent shall be in accordance with applicable laws, and be kept clean, in like-new condition, and

free from fading and graffiti at all times. This condition shall be applicable from the date the land use is approved. The failure to comply with this condition shall subject the approvals specified herein to revocation for failure to comply.

- 2. Agency License and Permitting.** In order to make certain on- or off-site improvements associated with the Approved Plan set, the Permit request may require review and clearance from other agencies. Nothing in these Conditions of Approval shall be construed as to waive compliance with other government agency regulations or to obtain permits from other agencies to make certain on- or off-site improvements prior to Final Map recordation, grading permit issuance, building permit issuance, or certificate of occupancy as required. This review may result in conditions determined by the reviewing agency.

At all times during the effective period of this Permit, the Applicant and any affiliated responsible party shall obtain and maintain in valid force and effect, each and every license and permit required by a governmental agency for the construction, maintenance, and operation of the authorized activity.

- 3. Utilities.** All new utilities and utility runs shall be undergrounded, or fee payment in-leu subject to the satisfaction of the City Engineer.
- 4. Noise.** All Project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
- 5. Lighting.** If required, all exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
- 6. General Property Maintenance.** The Applicant (NCTD) shall be responsible for maintaining the fleet vehicle storage area in good visual and functional condition. This shall include, but not be limited to, all exterior elements related to the screening walls, lighting, and gated access points. The internal site improvements include new paving, restriping, lighting, screening walls, and perimeter landscaping, shall be maintained for a safe, clean and efficient appearances.
- 7. Anti-Graffiti.** The Applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement, including all areas of the job site for when the Project is under construction.
- 8. Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, and garbage.

- 9. Roof, Wall, and Ground Level Equipment.** All fleet vehicle storage and maintenance equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.
- 10. Staging Construction Areas.** All staging areas shall be conducted on a pre-determined site only, subject to written approval of the Engineering Department. Off-site staging areas, if any, shall be approved through the issuance of an off-site staging area permit/agreement with the City.
- 11. Disturbance Coordinator.** The Applicant shall designate and provide a point-of-contact whose responsibilities shall include overseeing the implementation of Project, compliance with Permit terms and conditions, and responding to property owner or neighborhood concerns.
- 12. Construction Waste Reduction, Disposal, and Recycling.** If any, the Applicant shall recycle or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste for residential projects or portions thereof in accordance with either Section 4.408.2, 4.408.3, or 4.408.4 of the California Green Building Standards Code; and/or for non-residential projects or portions thereof in accordance with either Section 5.408.1.1, 5.408.1.2, or 5.408.1.3 of the California Green Building Standards Code. In order to ensure compliance with the waste diversion goals for all residential and non-residential construction projects, the Applicant must submit appropriate documentation as described in Section 4.408.5 of the California Green Building Standards Code for residential projects or portions thereof, or Section 5.408.1.4 for non-residential projects or portions thereof, demonstrating compliance with the California Green Building Standards Code sections cited above.
- 13. Construction Equipment Emissions.** Applicant shall incorporate measures that reduce construction and operational emissions. Prior to the City's issuance of the demolition and grading permits for the Project, the Applicant shall demonstrate to the satisfaction of the Planning Division that its construction contractor will use a construction fleet wherein all 50-horsepower or greater diesel-powered equipment is powered with California Air Resources Board ("CARB") certified Tier 4 Interim engines or equipment outfitted with CARB-verified diesel particulate filters. An exemption from this requirement may be granted if (i) the Applicant provides documentation demonstrating that equipment with Tier 4 Interim engines are not reasonably available, and (ii) functionally equivalent diesel PM emission totals can be achieved for the Project from other combinations of construction equipment. Before an exemption may be granted, the Applicant's construction contractor shall demonstrate to the satisfaction of the Director of Development Services that (i) at least two construction fleet owners/operators in San Diego County were contacted and those owners/operators confirmed Tier 4 Interim equipment could not be located within San Diego County during the desired construction schedule, and (ii) the proposed replacement equipment has been evaluated using the California Emissions Estimator

Model ("CalEEMod") or other industry standard emission estimation method, and documentation provided to the Planning Division confirms that necessary project-generated functional equivalencies in the diesel PM emissions level are achieved.

- 14. Signage.** All proposed signage associated with the Project must comply with Article 66 (Sign Ordinance) of the Escondido Zoning Code. Separate sign permits will be required for Project signage. All non-conforming signs shall be removed. The Applicant shall submit with any sign permit graphic/list of all signs to be removed and retained, along with any new signage proposed.

C. Parking and Loading/Unloading:

1. No contractor or employee may store, or permit to be stored, a commercial or construction vehicle/truck; or personal vehicle, truck, or other personal items on private property without written permission of the Applicant. The written authorization shall be submitted to the City for file records.

D. Landscaping: The Applicant assumes all responsibility for maintaining all on-site perimeter landscape pertaining to the installation of the screening walls, parkways improvements, and buffer areas in substantial conformance to the planting and irrigation schedule as shown on the final Approved Plan set.

1. Landscaped areas shall be maintained in a flourishing manner. Appropriate irrigation shall be provided for all landscape areas and be maintained in a fully operational condition.
2. All existing planting and planter areas, including areas within the public right-of-way, shall be repaired and landscaping brought into compliance with current standards. All dead plant material shall be removed and replaced by the property owner or management company.
3. If at the time of planning final inspection that it is determined that sufficient screening is not provided, the Applicant shall be required to provide additional landscaping improvements to the satisfaction of the Planning Division.
4. The landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
5. Failure to maintain landscaping and the site in general may result in the setting of a public hearing to revoke or modify the Permit approval.
6. **Landscaping Plans.** Applicant shall install all required landscape improvements in substantial conformance to the planting and irrigation schedule as shown on the final Approved Plan set.
 - a. A final landscape and irrigation plan shall be submitted to the Engineering Services Department for review and approval, if meeting any of the criteria listed under Section

- 33-1323 of the Zoning Code. Five copies of detailed landscape and irrigation plans shall be submitted to the Engineering Services Department with the second submittal of the grading plan or site plan. The initial submittal of the landscape plans shall include the required plan check fees, paid in accordance with the prevailing fee schedule in effect at the time of submittal. Details of Project fencing and walls, including materials and colors, shall be provided on the landscape plans. (Building permits may also be required.) The landscape and irrigation plans shall be reviewed and approved by the Planning Division and Engineering Services Department prior to issuance of grading or site plan permits, and shall be equivalent or superior to the conceptual landscape plans included as part of the Approved Plan set, to the satisfaction of the Planning Division. The required landscape and irrigation plans(s) shall comply with the provisions, requirements and standards outlined in Article 62 (Landscape Standards) of the Escondido Zoning Code, except where stricter requirements are imposed by the State of California.
- b. Screening walls, retaining walls, storm improvements, and landscaping (i.e. planting and irrigation) is to be provided prior to final occupancy.
 - c. The installation of the landscaping and irrigation shall be inspected by the Project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The Applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.
 - d. Any new freestanding walls and/or retaining walls shall incorporate decorative materials or finishes, and shall be indicated on the landscaping plans. (Building permits may also be required.) All freestanding walls visible from points beyond the Project site shall be treated with a protective sealant coating to facilitate graffiti removal. The sealant shall be a type satisfactory to the Director of Development Services.
 - e. New or retrofitted trash enclosures shall accommodate vertical climbing plants, vines with support trellis panels, clinging non-deciduous or fast-growing shrubbery that will screen the enclosures wall surface. Director of Development Services shall find that the proposed landscaping design, material, or method provides approximate equivalence to the specific requirements of this condition or is otherwise satisfactory and complies with the intent of these provisions.

E. Specific Engineering Division Conditions:

1. The Developer shall provide the City Engineer with a Preliminary Title Report covering subject property.

2. The location of all existing on-site and adjacent utilities and storm drain facilities shall be determined by the Developer's engineer. If a conflict occurs with the proposed project or improvements, arrangements for relocation of the conflicting utilities/facilities shall be made with the owner of the utility/facility prior to approval of the Grading plans. This utility/facility relocation work shall be completed prior to issuance of Building Permits.
3. Improvement plans prepared by a Civil Engineer, required for all public street, utility, and storm drain improvements, and Grading/Private Improvement plans prepared by Civil Engineer, required for all grading, drainage and private onsite improvement design, shall be submitted for review through the City's virtual plan review portal as a single package containing all items on the Engineering Initial Submittal Checklists. Landscaping Plans shall be prepared by a Landscape Architect.
4. The Developer shall post securities in accordance with the City prepared Bond and Fee Letter based on a final Engineer's Estimate of Grading and Improvements Cost prepared by the project engineer. The Developer is required to provide a Cash Clean Up deposit for all grading, landscaping, private Improvements and onsite drainage improvements prior to approval of Grading Plans and issuance of Grading Permit. This Cash Clean Up Deposit amount shall be 10% of the total cost of the project private improvements, drainage and landscaping. All improvements shall be completed prior to issuance of a Certificate of Occupancy or final Engineering inspections.
5. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected by the Developer to the satisfaction of the City Engineer.

STREET IMPROVEMENTS AND TRAFFIC

1. The project's access drive shall be constructed as an alley-type driveway apron per City's standard drawing G-5-E with a minimum throat width of thirty (30) feet.
2. All on-site driveways, and parking areas will be private. Typical sections and design details shall be to the satisfaction of the City Engineer and Community Development Director.
3. All unused driveways shall be removed and replaced with full height curb and gutter and sidewalk in accordance with City standards.
4. The developer shall remove and construct a new ADA pedestrian curb ramp at the corner of N. Quince Street and Norlak Avenue per San Diego Regional Standard Drawing G-29.
5. The Developer shall remove and replace all damaged sidewalk, curb and gutter, along all project frontages to the satisfaction of the City Engineer prior to issuance of a Certificate of Occupancy or final Engineering inspection.
6. The Developer shall repaint all pavement striping and markings adjacent to the project that have been damaged and prematurely faded due to project construction traffic to the satisfaction of the City Engineer.

7. All gated entrances shall be approved by the City Engineer, Building Official, and the Fire Marshal.
8. The Developer will be required to provide a detailed detour and traffic control plan, for all construction and staging activities, and any requested materials placement within existing rights-of-way to the satisfaction of the City Engineer. This plan shall include any proposed sidewalk closures and provide for alternate pedestrian access around the project site. This plan shall be approved prior to the issuance of an Encroachment Permit for construction or other project activities within the public right-of-way.
9. The Developer shall install trash capture devices on existing storm drain inlets along the project's frontage to the satisfaction of the City Engineer.
10. The installation of all utilities and facilities (green street tree wells, fire hydrant, transformers, etc.) shall be constructed at the ultimate location and to the satisfaction of the City Engineer.

GRADING and SITE IMPROVEMENTS

1. A site grading and erosion control plan prepared by a registered Civil Engineer shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by a copy of the preliminary soils and geotechnical report. The Soils Engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. All easements, both private and public, affecting subject property shall be shown and delineated on the Grading and Improvement Plans.
3. All private driveways and parking areas shall be paved with a minimum of 3" asphalt concrete (AC) over 6" of asphalt Base (AB) or 7" Portland Concrete Cement (PCC) over 6" AB. All paved areas exceeding 15% slope or less than 1.0% shall be paved with PCC.
4. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The Developer shall be responsible for maintaining all erosion control facilities throughout the project.
5. The Developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
6. A Construction General Permit is required from the State Water Resources Control Board for all storm water discharges associated with a construction activity where clearing, grading, and excavation results in a land disturbance of one or more acres.
7. All existing foundations, structures, trees not otherwise noted to remain or be relocated shall be removed or demolished from the site.

DRAINAGE

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a Drainage Study to be prepared by the Engineer of Work. The drainage study shall be in conformance with the City of Escondido Design Standards.
2. All on-site storm drains not in public easements are private. The responsibility for maintenance of these storm drains shall be that of the Property Owner.
3. A Storm Water Quality Management Plan (SWQMP) in compliance with the City's latest adopted Storm Water Design Manual shall be prepared for all newly created or replaced onsite impervious areas, impervious frontage, and required offsite improvements. The SWQMP shall be submitted for approval with the final improvement and grading plans. The SWQMP shall include treatment calculations, post-construction storm water treatment measures, and maintenance requirements and responsibilities both for onsite treatment and also any "Green Street" facilities located in the public right-of-way. The SWQMP shall demonstrate how proposed proprietary best management practices meet bio-filtration treatment requirements in accordance with the City's Storm Water Design Manual.
4. All site drainage with emphasis on the parking and driveway areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of bio-retention areas as the primary method of storm water retention and treatment. The landscape plans will need to reflect these areas of storm water treatment.
5. The Developer will be required to have the current owner of the property sign, notarize, and record a Storm Water Control Facility Maintenance Agreement.
6. All storm water treatment and retention facilities and their drains including the bio-retention basins and planters, any permeable paver areas shall be considered private. The responsibility for maintenance of these post construction storm water treatment facilities shall be that of the Property Owner.

WATER SUPPLY

1. Fire hydrants, if required, together with an adequate water supply shall be installed at locations approved by the Fire Marshall. Fire hydrants shall connect to a minimum 8-inch water main. Existing fire hydrants shall meet current City of Escondido standards.
2. All on-site water lines and backflow prevention devices beyond the City water meter or DCA shall be considered a private water system. The property owner shall be responsible for all maintenance of these water lines and appurtenances.
3. All new or existing water meters shall have an approved reduced pressure backflow prevention device per the City of Escondido Design Standards and Standard Drawings. Water meters and backflow prevention devices shall not be installed within a driveway apron or on private drive areas. Backflow prevention assemblies are private and should

be located on private property. Backflows shall be located directly behind the public water meter.

4. No trees or deep-rooted bushes shall be planted within 10-feet of any water mains.
5. There shall be no permanent structures located within the City's Public Utility Easements.
6. Any water services to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the public water meter to the satisfaction of the Utilities Engineer and Water Distribution Department.
7. Any fire hydrants to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the fire hydrant per the satisfaction of the Utilities Engineer and Water Distribution.
8. The Developer shall disconnect at the public main, all water services and fire hydrants laterals to be abandoned, to the satisfaction of the Utilities Engineer and Water Distribution Department.

SEWER

1. All sewer laterals shall be constructed per current City of Escondido Design Standards and Standard Drawings and per the current Uniform Plumbing Code.
2. No trees or deep-rooted bushes shall be planted within 15-feet of any sewer main or within 10-feet of any sewer lateral. Sewer laterals shall be 5-feet horizontally clear from other utilities.
3. All sewer laterals shall be considered a private sewer system. The property owner shall be responsible for all maintenance of sewer laterals to the public sewer main.
4. The project design shall be such that all existing or new sewer manholes are accessible at all times by City "Vactor" trucks for maintenance.
5. The Developer shall cap and plug at the public sewer main all sewer lines and laterals to be abandoned, to the satisfaction of the Utilities Engineer and the City Inspector.

LANDSCAPE

1. A site landscaping and irrigation plan shall be submitted to the Engineering Department with the second submittal of the grading plan for review and approval by Engineering and Planning Departments. The initial submittal of the landscape plans shall include the required plan check fees.

CASH SECURITIES

1. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any

moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading, drainage, landscaping, and best management practices items of work with a minimum of \$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the City Engineer.

E. Specific Fire Department Conditions:

1. An adequate water supply and approved paved access is required prior to any combustibles being brought to the site.



STAFF REPORT

DATE: 01/09/2024

PL23-0304 – AT&T Wireless Service Facility

PROJECT NUMBER / NAME: PL23-0304 – 960 West El Norte Parkway/AT&T Wireless Communication Facility

REQUEST: A request for a Conditional Use Permit to construct a 65’-0” high wireless service facility designed as a mono-eucalyptus. The facility consists of various antennas, surge suppressors, and cables to support the wireless facility. The request also includes the construction of a ground level enclosure surrounded by an 8’-0” tall CMU wall to house a diesel generator, and other accessory equipment for the wireless facility.

PROPERTY SIZE AND LOCATION: The 1.09-acre site is located on the north side of W. El Norte Parkway within an existing commercial center and is addressed at 960 W. El Norte Parkway. (Assessor’s Parcel No.: 226-350-65-00)

APPLICANT: Harold Thomas Jr. on behalf of AT&T

GENERAL PLAN / ZONING: General Commercial (GC)/ General Commercial (C-G)

PRIMARY REPRESENTATIVE: Harold Thomas Jr. (MD7)

DISCRETIONARY ACTIONS REQUESTED: Conditional Use Permit

PREVIOUS ACTIONS: N/A

CEQA RECOMMENDATION: Categorical Exemption – CEQA Guidelines Section 15303, Class 3 (New Construction or Conversion of Small Structures)

STAFF RECOMMENDATION: Approval

REQUESTED ACTION: Approve Planning Commission Resolution No. 2024-01

CITY COUNCIL HEARING REQUIRED: ___ YES X NO

REPORT APPROVALS: X Dare Delano, Senior Deputy City Attorney

X Veronica Morones, City Planner



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BACKGROUND

The subject property is located within an approximately 11.34-acre commercial shopping center anchored by a Vons grocery store. The shopping center is comprised of various parcels and all are held under separate ownerships. The subject property is an approximately 1.09-acre parcel located at the southeast corner of the shopping center, and is developed with a drive-through facility (Wendy's).

SUMMARY OF REQUEST

Harold Thomas Jr. ("applicant") on behalf of AT&T Wireless, request approval of a Conditional Use Permit for construction of a 65'-0" high wireless communication facility designed as a mono-eucalyptus ("project"). At the antenna level, the project includes the installation of various panel antennas, surge suppressors, and DC cables. At the ground level, the applicant intends to construct an eight foot (8'-0") high CMU wall enclosure to house a diesel generator, emergency shut off switch, surge suppressors, and other various accessory equipment to support the wireless communication facility.

The project site is located on the north side of W El Norte Parkway (refer to Attachment 1), and is addressed at 960 W El Norte Parkway. The project site has a General Plan land use designation of General Commercial (GC), and is within the General Commercial (C-G) zoning district (refer to Attachment 2).

SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: 1.09-acres
2. Height: 65'-0"
3. Wireless/Pole: Install faux mono-eucalyptus tree
4. Antennas: Install 12 antennas and 9 radio units
5. Materials/Colors: Antennas, and associated brackets would be painted to match tree branches and existing trees.
6. Equipment: All equipment will be located within an 8'-0" high CMU enclosure.
7. Hours of operations: 24-hour unmanned facility
8. Landscaping: Plans indicate the removal of two shrubs, and one tree. Applicant will be responsible for replacing shrubs and trees. New location of the tree and shrubs are shown on the plans.

PROJECT ANALYSIS

1. General Plan Conformance:



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The General Plan land use designation on the site is General Commercial (GC), which allows for wireless communication facilities, subject to Article 34 (Communication Antennas) within the Commercial (C-G) zoning district.

2. Zoning Conformance:

The General Commercial zoning district permits for wireless communication facilities through the Conditional Use Permit process. As noted, the Project consists of the installation of a 65'-0" high mono-eucalyptus tree. The C-G zoning district limits the height of buildings through the use of the Uniform Building Code. Pursuant to Section 33-1075 of Article 56, wireless masts or other similar structures (subject to the provisions of Article 34), may be erected above the height limits established for the various zones provided that no portion of the structure is in excess or be deemed as an excessive or unreasonable use of the space that creates an unnecessary aesthetic impact on surrounding properties, as determined by the Director of Development Services. The proposed height of the mono-eucalyptus tree is consistent with height of existing buildings, and landscaping and therefore does not create adverse aesthetic impacts to surrounding properties.

3. Conformance with FCC Emissions Requirements:

The operation of the wireless facility would generate radio frequency electromagnetic emissions (RF radiant). EBI Consulting prepared a Radio frequency (RF) and Nonionizing Electromagnetic Radiation (NIER) Analysis Report on June 06, 2023, to determine whether the proposed communication facility complies with the FCC Rules and Regulations for RF emissions for "Occupational" and "General Public" classifications per OET Bulletin 65, Edition 97-01. The study concludes the project is compliant with FCC rules and regulations.

4. Conformance with Section 33-703 (Personal wireless service facilities guidelines—Five General Principles) five general principles for consideration of new facilities:

(a) **Height guidelines – Utilize lowest profile technology**

Given the FCC requirements related to the height of facilities to provide expanded service coverage, the design of the faux mono-eucalyptus tree is 65'-0". The structure is located in the C-G zoning district and is only limited in height by the Uniform Building Code. The project conforms with the zone's height standard, and is similar in height to the existing surrounding trees. The proposed design of the wireless communication facility is intended to look like a eucalyptus tree, and blends in with the strand of trees adjacent to W. El Norte Parkway as shown in the visual simulations (see Attachment 3).

(b) **Location Guidelines – Avoid proliferations that create or compound undesirable visual impacts, but also encourage co-location where appropriate.**

The project site is located within a commercial zoning district, and is approximately 230 feet away from the nearest residential use. The design of the structure fully integrates the facility into the existing landscaping on-site in order to minimize visual impacts to surrounding properties. As of today, the subject property contains no other wireless service facility, and is not inundated with other antennas/structures.



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(c) Stealth Technology guideline – Encourage creative, unobstructive stealth technology

The structure is camouflage designed as a mono-eucalyptus, and is consistent with the height of the existing trees and landscaping on site. Telecommunication equipment, panels, wiring, and radio units within the tree will be visually compatible with natural colors of the surrounding trees.

(d) Older facility guidelines – encourage older facilities to upgrade using less obtrusive technology

The project is for the construction of a new wireless communication facility. The proposed structure will consist of newer technology that is consistent with the five principles for wireless communication facilities.

(e) Emissions guidelines – Ensure that emissions do not exceed federal thresholds

All the equipment and ongoing operations will meet all federal emissions and radiation standards and guidelines as discussed in the report prepared by EBI consulting.

FISCAL ANALYSIS

The proposed project is consistent with the City of Escondido economic policies because it would provide support, updated communication services, expanded wireless coverage, and installation of new telecommunication systems for local residents and businesses. There are no direct fiscal impacts associated with the proposed telecommunications services.

ENVIRONMENTAL ANALYSIS

California Environmental Quality Act (“CEQA”) Guideline’s list classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from further environmental review under CEQA. The Project qualifies for an exemption under CEQA Guidelines sections 15303 (New Construction or Conversion of Small Structure). The required CEQA Notice of Exemption prepared for the project is incorporated into this staff report as Attachment 4. The Notice of Exemption demonstrates that the project qualifies for this exemption and will not have a significant effect on the environment.

PUBLIC INPUT

The project was noticed consistent with the requirements of both the Escondido Zoning Code and the State Law. Staff has not received any correspondence from the public regarding the project as of the preparation of this report.

CONCLUSION AND RECOMMENDATION

The proposed project is consistent with the Communication Antennas Ordinance (Article 34 of the Escondido Zoning Code), and the project design conforms to the five guiding principles for wireless communication facilities. The project would not result in any adverse visual impacts since the panels would be screened/camouflaged within the proposed tree structure, coordinated panel color, have no reflective surfaces, and be located within an existing stand native trees of similar height and texture. The proposed facility is located on a non-residential site in the C-G zone that is sufficient in size, and adequately buffered by existing buildings and distance without negatively impacting the adjacent residential properties. Further, the facility would be in conformance with FCC emission standards.



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Item 3.

Based on the analysis contained in this staff report, staff recommends that the Planning Commission adopt Resolution 2024-01, approving the proposed Conditional Use Permit as described in this staff report, as detailed in Exhibits “A” through “D” of Resolution No. 2024-01.

ATTACHMENTS

1. Location Map
2. General Plan Land Use Designation and Zoning District
3. Visual Simulations
4. CEQA Notice of Exemption
5. Draft Planning Commission Resolution No. 2024-01 including Exhibits A – D



CITY of ESCONDIDO

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Attachment 1

Location Map



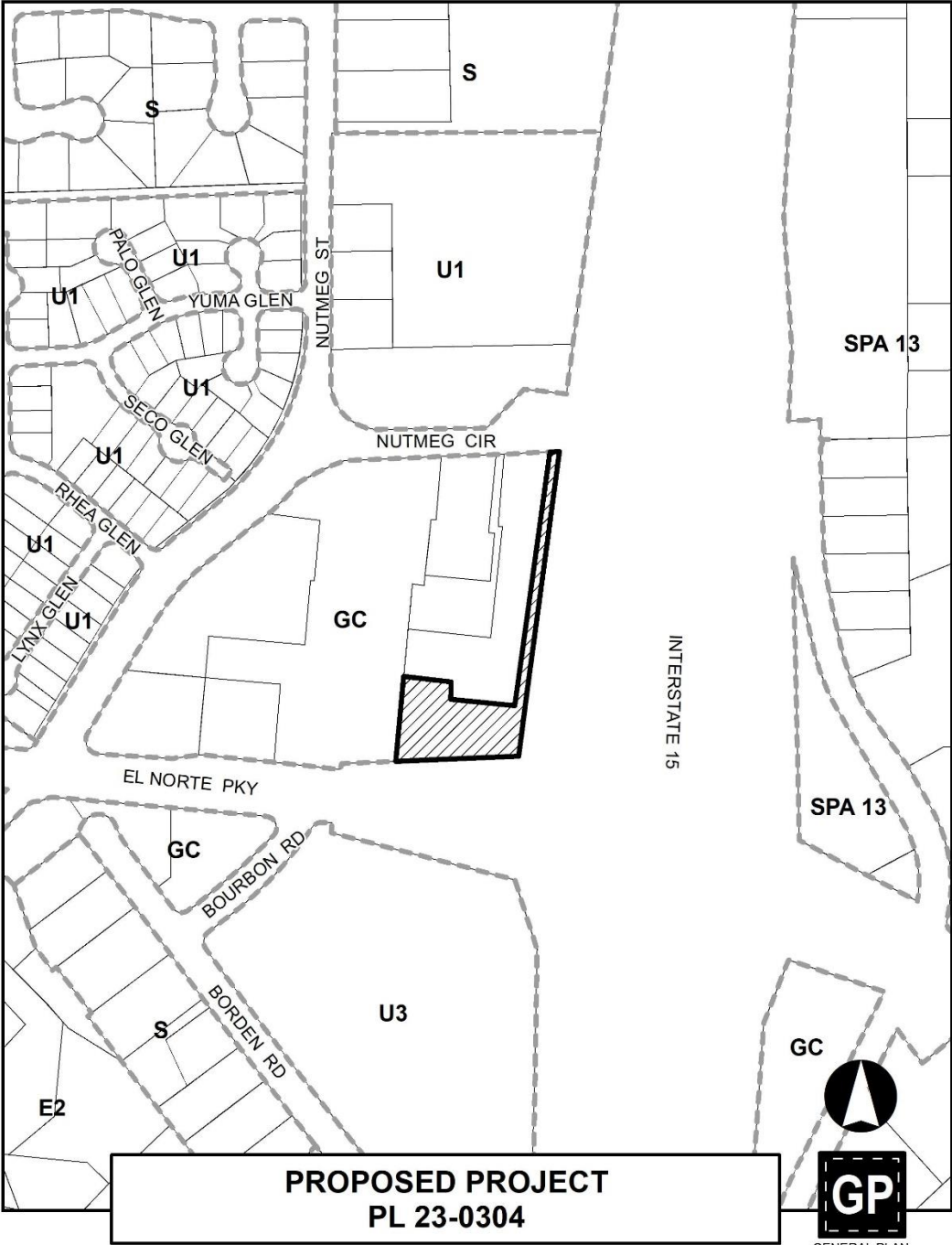


CITY of ESCONDIDO

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Attachment 2

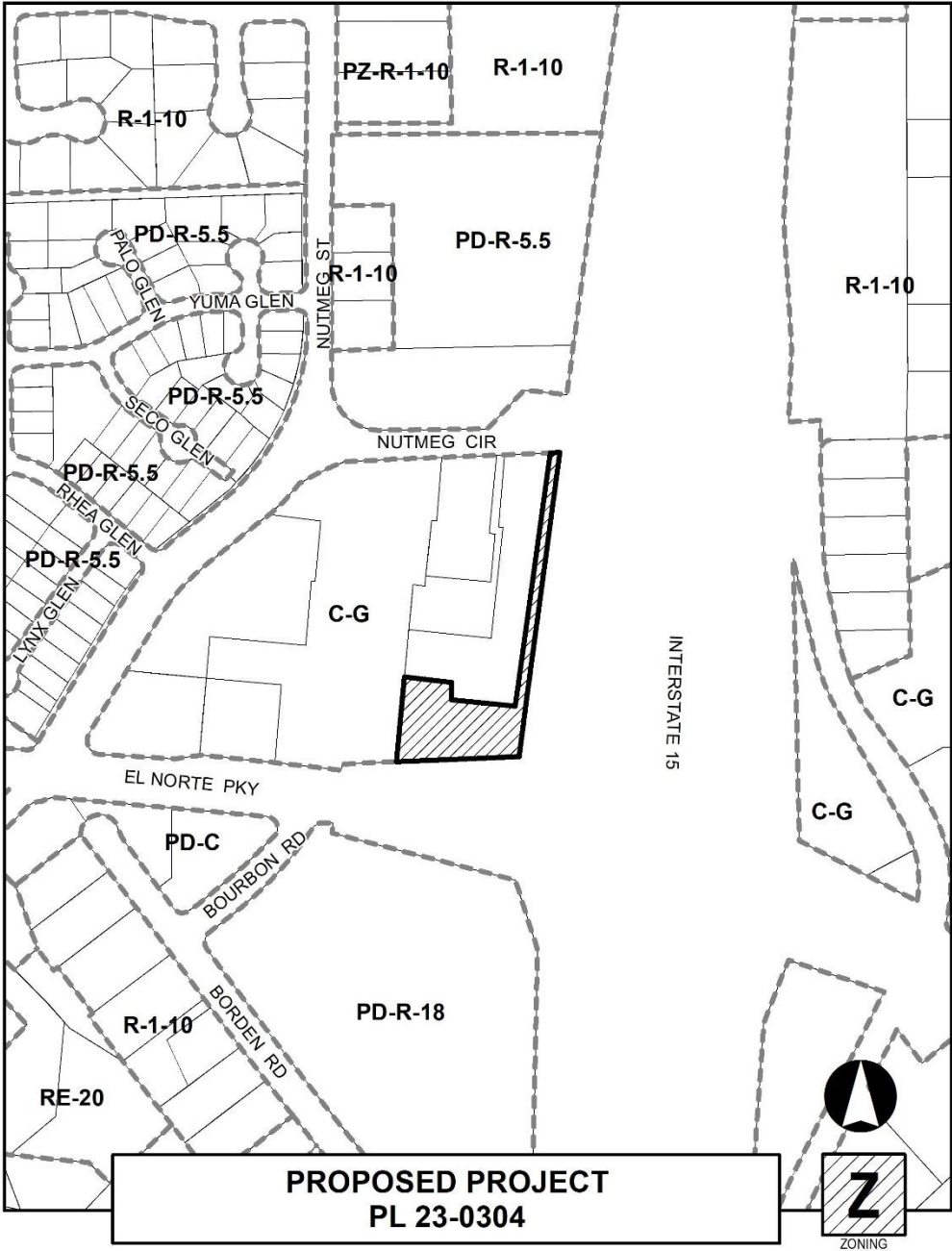
General Plan Land Use and Zoning District





CITY of ESCONDIDO

STAFF REPORT



NEW SITE BUILD

960 "1/2" WEST EL NORTE PARKWAY, ESCONDIDO, CA 92026



LEGEND



MORRISON HERSHFIELD
 5100 S Macadam Avenue, Unit 500 | Portland, OR 97239

NEW SITE BUILD

VIEW 1

960 "1/2" WEST EL NORTE PARKWAY, ESCONDIDO, CA 92026
CAL03158

33.147419, -117.105844

 SITE LOCATION

 VIEW DIRECTION



NEW SITE BUILD

VIEW 2

960 "1/2" WEST EL NORTE PARKWAY, ESCONDIDO, CA 92026
CAL03158

33.147419, -117.105844



VIEW: BEFORE



PROPOSED 60'-0" HIGH
MONO-EUCALYPTUS TOWER
W/ ANCILLARY EQUIPMENT

PROPOSED AT&T
EQUIPMENT AREA

VIEW: AFTER

NEW SITE BUILD

VIEW 3

960 "1/2" WEST EL NORTE PARKWAY, ESCONDIDO, CA 92026
CAL03158

33.147419, -117.105844



VIEW: BEFORE



VIEW: AFTER

NEW SITE BUILD

VIEW 3

960 "1/2" WEST EL NORTE PARKWAY, ESCONDIDO, CA 92026
CAL03158

33.147419, -117.105844



PROPOSED 60'-0" HIGH
MONO-EUCALYPTUS TOWER
W/ ANCILLARY EQUIPMENT

ATTACHMENT 4



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
760-839-4671

Notice of Exemption

To: Assessor/Recorder/County Clerk
Attn: Fish and Wildlife Notices
1600 Pacific Hwy, Room 260
San Diego, CA 92101
MS: A-33

From: City of Escondido
Planning Division
201 North Broadway
Escondido, CA 92025

Project Title/Case No: AT&T Mono-eucalyptus Wireless Communication Facility/PL23-0304

Project Location - Specific: The project site is located within an existing commercial shopping center at the northeast corner of W El Norte Parkway, and is bounded by an Interstate 15 off-ramp to the east and N Nutmeg street to the west, and is addressed at 960 W El Norte Parkway (APN: 226-350-65-00).

Project Location - City: Escondido **Project Location - County:** San Diego

Description of Project: A request for a Conditional Use Permit to construct a 65'-0" high wireless communication facility designed as a mono-eucalyptus. The facility consists of various antennas, surge suppressors, and cables to support the wireless facility. The project also includes the construction of a ground level enclosure surrounded by an eight-feet (8'-0") tall CMU wall which will house a diesel generator, and other accessory equipment for the wireless facility.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name: Harold Thomas Jr. (MD7), on behalf of AT&T Wireless

Address: 10590 W. Ocean Air Drive, Suite 250, San Diego, CA 92140 Telephone: (858) 750 - 1798

Private entity School district Local public Agency State agency Other special district

Exempt Status:

The project is categorically exempt, as separate and independent basis, pursuant to CEQA Guidelines sections 15303 ("New Construction or Conversion of Small Structures").

Reasons why project is exempt: The project qualifies for this exemption because the project includes the removal and construction of a 65'-0" mono-eucalyptus that is approximately 400 square-feet in area. The exemption applies to the new construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities; additionally, it includes the operation repair, maintenance, or minor alteration of existing public or private structures, facilities, and mechanical equipment.

Lead Agency Contact Person: Ivan Flores, Senior Planner Area Code/Telephone/Extension: 760-839-4529

Signature: _____
Ivan Flores, AICP
Senior Planner

Date

Signed by Lead Agency

Date received for filing at OPR:

Signed by Applicant

Planning Commission
Hearing Date: January 09, 2024

Effective Date: January 19, 2024

PLANNING COMMISSION RESOLUTION NO. 2024-01

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ESCONDIDO, CALIFORNIA, FOR
APPROVAL OF A CONDITIONAL USE PERMIT FOR
A WIRELESS FACILITY

APPLICANT: Harold Thomas Jr. (MD7)

CASE NO: PL23-0304

WHEREAS, Harold Thomas Jr. ("Applicant"), filed a land use development application, Planning Case No. PL23-0304, ("Application") constituting a request for a Conditional Use Permit to allow for construction of a 65'-0" high mono-eucalyptus wireless communication facility ("Project") on a 1.09 gross acre site located at 960 W El Norte Parkway (APN: 226-350-65-00), in the General Commercial (C-G) Zone; and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as though fully set forth herein ("Property"); and

WHEREAS, the Application was submitted to, and processed by, the Planning Division of the Development Services Department in accordance with the rules and regulations of the Escondido Zoning Code and the applicable procedures and time limits specified by the Permit Streamlining Act (Government Code section 65920 et seq.) and the California Environmental Quality Act (Public Resources Code section 21000 et seq.) ("CEQA"); and

WHEREAS, Wireless Communication Facilities are a conditionally permitted uses within the C-G Zone, subject to the approval of a Conditional Use Permit, in accordance with Section 33-706 of Article 34 (Communication Antennas) of the Escondido Zoning Code; and

WHEREAS, pursuant to CEQA and the CEQA Guidelines (Title 14 of California Code of Regulations, Section 15000 et. seq.), the City is the Lead Agency for the Project, as the public agency with the principal responsibility for approving the proposed Project; and

WHEREAS, the Planning Division studied the Application, performed necessary investigations, prepared a written report, and hereby recommends approval of the Project as depicted on the plan set shown in Exhibit "B," which is attached hereto and made a part hereof by this reference as though fully set forth herein; and

WHEREAS, City staff provided public notice of the application in accordance with City and State public noticing requirements; and

WHEREAS, on January 9, 2024, the Planning Commission held a duly noticed public hearing as prescribed by law, at which time the Planning Commission received and considered the reports and recommendation of the Planning Division and gave all persons full opportunity to be heard and to present evidence and testimony regarding the Project. Evidence was submitted to and considered by the Planning Commission, including, without limitation:

- a. Written information including plans, studies, written and graphical information, and other material, submitted by the Applicant;

- b. Oral testimony from City staff, interested parties, and the public;
- c. The staff report, dated January 9, 2024, with its attachments as well as City staff's recommendation on the Project, which is incorporated herein as though fully set forth herein; and
- d. Additional information submitted during the public hearing; and

WHEREAS, the public hearing before the Planning Commission was conducted in all respects as required by the Escondido Municipal Code and the rules of this Planning Commission.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Escondido that:

1. The above recitations are true and correct.
2. The Planning Commission, in its independent judgment, has determined the Project to be exempt from environmental review pursuant to CEQA Guidelines section 15303 (New Construction or Conversion of Small Structure).
3. After consideration of all evidence presented, and studies and investigations made by the Planning Commission and on its behalf, the Planning Commission makes the substantive findings and determinations attached hereto as Exhibit "C," relating to the information that has been considered. In accordance with the Findings of Fact and the foregoing, the Planning Commission reached a decision on the matter as hereinafter set forth.
4. The Application to use the Property for the Project, subject to each and all of the conditions hereinafter set forth in Exhibit "D," is **hereby approved** by the

Planning Commission. The Planning Commission expressly declares that it would not have approved this Application except upon and subject to each and all of said conditions, each and all of which shall run with the land and be binding upon the Applicant, the owner, and all subsequent owners of the Property, and all persons who use the Property for the use permitted hereby.

5. The Planning Commission, therefore, directs that a Notice of Exemption be filed with the County Clerk of the County of San Diego in accordance with the CEQA Guidelines.

6. The development plans for the Project are on file in the Planning Division of the Development Services Department and are available for inspection by anyone interested herein, and the development plans are incorporated herein by this reference as if they were fully set forth herein. The Project is **conditionally approved** as set forth on the Application and Project drawings, all designated as approved by the Planning Commission, and which shall not be altered without the express authorization by the Planning Division. Any deviations from the approved development plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.

BE IT FURTHER RESOLVED that, pursuant to Government Code section 66020(d)(1):

1. NOTICE IS HEREBY GIVEN that the Project is subject to dedications, reservations, and exactions, as specified in the Conditions of Approval. The Project is subject to certain fees described in the City of Escondido's Development Fee Inventory

on file in both the Community Development and Public Works Departments. The Applicant shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits are issued. It is the City's intent that the costs representing future development's share of public facilities and capital improvements be imposed to ensure that new development pays the capital costs associated with growth. The Applicant is advised to review the Planned Fee Updates portion of the web page, www.escondido.org, and regularly monitor and/or review fee-related information to plan for the costs associated with undertaking the Project.

2. NOTICE IS FURTHER GIVEN that the 90-day period during which to protest the imposition of any fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution, and any such protest must be in a manner that complies with Government Code section 66020.

PASSED, ADOPTED, AND APPROVED by a majority vote of the Planning Commission of the City of Escondido, California, at a regular meeting held on the 9th day of January, 2024, by the following vote, to wit:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAINED: COMMISSIONERS:
ABSENT: COMMISSIONERS:

RICK PAUL, Chair
Escondido Planning Commission

ATTEST:

VERONICA MORONES, Secretary of the
Escondido Planning Commission

I hereby certify that the foregoing Resolution was passed at the time and by the vote above stated.

Alexander Rangel, Minutes Clerk
Escondido Planning Commission

Decision may be appealed to City Council pursuant to Zoning Code Section 33-1303

EXHIBIT "A"
LEGAL DESCRIPTION

Property located in San Diego County, California

Parcel 1:

Parcel 5 of Parcel Map No. 10943, in the City of Escondido, in the County of San Diego, State of California, according to Map thereof, filed in the Office of the County Recorder of San Diego County, January 30, 1981, being a division of a portion of Section 8, Township 12 South, Range 2 West, San Bernardino Meridian, according to the Official plat thereof.

Excepting therefrom that portion described as follows:

Beginning at the Southeast corner of said Parcel 5; thence along the Easterly boundary thereof, North 05° 37' 56" East 378.41 feet to an angle point therein; thence leaving said Easterly boundary North 84° 22' 04" West 2.96 feet; thence parallel with and 2.96 feet Westerly of said Easterly boundary, South 05° 37' 56" West 378.83 feet to the Northerly line of El Norte Parkway as shown on said parcel map; thence along said Northerly line North 87° 28' 30" East 2.98 feet to the point of beginning.

A non-exclusive easement for roadways, walkways, ingress and egress, the parking of motor vehicles and use of facilities installed for the comfort and convenience of customers, invitees, contractors, and employees of the common areas all as more particularly described in an instrument entitled easements with covenants and restrictions affecting land (ECR) by and between Safeways Store, Incorporated, a Maryland corporation and Santa Anita Development Corporation, a California corporation, recorded January 30, 1981, as File No. 81-031054 over that portion of Parcel 5 of Parcel Map No. 10943, in the City of Escondido, County of San Diego, State of California, according to Map thereof, filed in the Office of the County Recorder of San Diego County, January 30, 1981, being a division of a portion of Section 8, Township 12 South, Range 2 West, San Bernardino Meridian, according to the Official Plat thereof, described as follows:

Beginning at the Southeast corner of said Parcel 5; thence along the Easterly boundary thereof, North 05°37'56" East, 378.41 feet to an angle point therein; thence leaving said Easterly boundary North 84°22'04" West, 2.96 feet; thence parallel with and 2.96 feet Westerly of said Easterly boundary, South 05°37'56" West, 378.83 feet to the Northerly line of El Norte Parkway, as shown on said parcel map; thence along said Northerly line, North 87°28'30" East, 2.98 feet to the point of beginning.

The easement herein described is hereby declared to be appurtenant to and for the use and benefit of the present and future owners of all or any portions of Parcels A, B and C above.

Non-exclusive easements encumbering Parcels 1, 2, 5, 6, 7 and 8 of Parcel Map No. 10943 for roadways, walkways, ingress and egress, the parking of motor vehicles and use of facilities installed for the comfort and convenience of customers, invitees, contractors, and employees on the common areas all as more particularly described in an instrument entitled, easements with covenants and restrictions affecting land (ECR) by and between Safeway Stores, Incorporated, a Maryland corporation and Santa Anita Development Corporation, a California corporation, recorded in the Office of the County Recorder of San Diego County, State of California, on January 30, 1981, as File No. 81-031054.

AND BEING A PORTION of the same property conveyed to Regency Centers, L.P., a Delaware limited partnership from Regency Realty Corporation, a Florida corporation, successor-by-merger to Pacific Retail Trust, a Maryland real estate investment trust by Grant Deed dated March 1, 1999 and recorded April 2, 1999 in Instrument No. 1999-0223400.

Tax Parcel No. 226-350-43-00

All that portion of Parcels 5 and 8 of Parcel Map No. 10943, in the City of Escondido, County of San Diego, State of California, according to Map thereof recorded in the Office of the County Recorder of San Diego County, January 30, 1981, more particularly described as follows:

Beginning at the most Northerly Northwest corner of said Parcel 7, said point being also in the Southerly line of Nutmeg Street, thence North 88°53'21" East along said Southerly line, 119.38 feet to the True Point of Beginning; thence South 7°50'06" West 539.73 feet; thence North 84°22'04" West 136.48 feet; thence North 5°37'56" East 38.54 feet; thence North 84°22'04" West 100 feet to the Easterly line of the land described in deed to School Employees Retirement Board of Ohio recorded December 15, 1982 as File No. 82-383488, of Official Records; thence along the boundary of said land South 5°37'56" West 185.00 feet to the Northerly line of El Norte Parkway as shown on said Parcel Map, thence along said Northerly line North 87°28'30" East 254.83 feet to the Southeasterly corner of said Parcel 8; thence North 7°50'67" East 652.49 feet to the Northeasterly corner of said Parcel 8; thence along the Northerly line; thence South 88°53'21" West 20.25 feet to the True Point of Beginning.

AND BEING the same property conveyed to Forest F.R. Fisher, as Trustee under Declaration of Trust dated July 31, 1972 from S.D.W., LP, a California limited partnership by Partnership Grant Deed dated June 22, 2000 and recorded June 27, 2000 in Instrument No. 2000-0337920; AND FURTHER CONVEYED to Forest F. R. Fisher, an undivided two percent (2%) of a one percent (1%) interest from Forest F. R. Fisher, as Trustee under Declaration of Trust dated July 31, 1972 by Grant Deed dated December 23, 2019 and recorded January 22, 2020 in Instrument No. 2020-0033948; AND FURTHER CONVEYED to Nigel N. F. Fisher and Forest F. W. Fisher, each an undivided one percent (1%) of a one percent (1%) interest from Forest F. R. Fisher, as to an undivided two percent (2%) of a one percent (1%) interest by Grant Deed dated December 23, 2019 and recorded January 22, 2020 in Instrument No. 2020-0033949; AND FURTHER CONVEYED to 44678 Valley Center, LLC, a California limited liability company, a total of an undivided one percent (1%) interest from Forest F. R. Fisher, as Trustee under Declaration of Trust dated July 31, 1972, as to an undivided ninety-eight percent (98%) of a one percent (1%) interest; Nigel N. F. Fisher, as to an undivided one percent (1%) of a one percent (1%) interest and Forest F. W. Fisher, as to an undivided one percent (1%) of a one percent (1%) interest by Grant Deed dated December 23, 2019 and recorded January 22, 2020 in Instrument No. 2020-0033950; AND FURTHER CONVEYED to Fisher Real Estate Partners (Escondido), L.P., a California limited partnership from Forest F. R. Fisher, as Trustee under Declaration of Trust dated July 31, 1972, as to an undivided ninety-nine percent (99%) interest and 44678 Valley Center, LLC, a California limited liability company, as to an undivided one percent (1%) interest by Grant Deed dated December 23, 2019 and recorded January 22, 2020 in Instrument No. 2020-0033951.

Tax Parcel No. 226-350-65-00

Exhibit "B"
Project Plans

Item 3.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

PROJECT DESCRIPTION

- AT&T WIRELESS PROPOSES TO CONSTRUCT NEW WIRELESS FACILITY, THE SCOPE WILL CONSIST OF THE FOLLOWING:
- AT ANTENNA LEVEL:**
- INSTALL (1) 60'-0" HIGH MONO-EUCALYPTUS TOWER
 - INSTALL (3) SITE PRO 1 W/FACTOR 3 SECTOR MOUNTS
 - INSTALL (1) SITE PRO MSPAA COLLAR MOUNT
 - INSTALL (3) DUAL RRH MOUNTS
 - INSTALL (6) PANEL ANTENNAS
 - INSTALL (3) AIR6419 B77D ANTENNAS
 - INSTALL (3) AIR6449 B77G ANTENNAS
 - INSTALL (3) DC9 SURGE SUPPRESSORS
 - INSTALL (9) RRUS
 - INSTALL (12) 2SCH40, 8'-0" LONG PIPE MOUNTS
 - INSTALL (6) 2SCH40, 4'-0" LONG PIPE MOUNTS
 - INSTALL (3) FIBER CABLE TRUNKS
 - INSTALL (9) DC CABLES
- AT EQUIPMENT LEVEL:**
- REMOVE LANDSCAPE AS REQUIRED
 - INSTALL (1) 15'-0"x20'-0"x8'-0" HIGH CMU WALL ENCLOSURE
 - INSTALL (1) 8'-0" DOUBLE SWING ACCESS GATE
 - INSTALL (2) PURCELL FLX21 CABINETS
 - INSTALL (1) VERTIV 512 DOPP CABINET
 - INSTALL (1) 13'-8"x18'-8" CONCRETE PAD
 - INSTALL (1) NEW GENERAC SD3000 30KW DIESEL GENERATOR W/ 200 GAL TOTAL TANK CAPACITY
 - INSTALL (1) EMERGENCY SHUT OFF SWITCH
 - INSTALL (1) CIENA BOX
 - INSTALL (1) GPS ANTENNA
 - INSTALL (2) SERVICE LIGHTS
 - INSTALL (2) DC12 SURGE SUPPRESSORS
 - INSTALL (1) TELCO BOX
 - INSTALL (1) 200AMP METER
 - INSTALL (1) DISCONNECT
 - INSTALL (1) PTLK W/ CAM LOK AND 200AMP PANEL
 - INSTALL (1) H-FRAME
 - INSTALL (6) UNISTRUTS
 - INSTALL (1) FIRE EXTINGUISHER CABINET
 - INSTALL (1) FIRE EXTINGUISHER

SITE INFORMATION

PROPERTY OWNER: FISHER REAL ESTATE PARTNERS (ESCONDIDO) LP
 LATITUDE: 33° 08' 50.71"
 LONGITUDE: -117° 06' 21.04"
 GROUND ELEVATION: 745.66± AMSL
 JURISDICTION: CITY OF ESCONDIDO
 ZONING: C-G (GENERAL COMMERCIAL)
 PARCEL #: 2263506500
 COUNTY: SAN DIEGO
 OCCUPANCY GROUP: U - UNMANNED
 CONSTRUCTION TYPE: IIB
 POWER COMPANY: SDG&E
 TELEPHONE COMPANY: AT&T

PROJECT TEAM

APPLICANT: AT&T WIRELESS
 7337 TRADE STREET
 SAN DIEGO, CA 92121
 PROJECT MANAGER: HAROLD THOMAS JR
 858-750-1798
 hthomasjr@md7.com
 A&E CONTACT: MORRISON HERSHFELD CORP
 JOSH REYNOLDS
 1455 LINCOLN PKWY, SUITE 500
 ATLANTA, GA 30346
 770-379-8500
 jreynolds@morrisonherhsfeld.com

ZONING / SITE ACQUISITION: MD7 LLC
 10590 W. OCEAN AIR DRIVE
 SUITE 250
 SAN DIEGO, CA 92130
 CONSTRUCTION: AT&T MOBILITY
 5855 COPLEY DRIVE
 SAN DIEGO, CA 92111
 RF ENGINEER: AT&T WIRELESS
 CRISTIAN SOTO
 CS450G@EXO.ATT.COM



EXHIBIT B

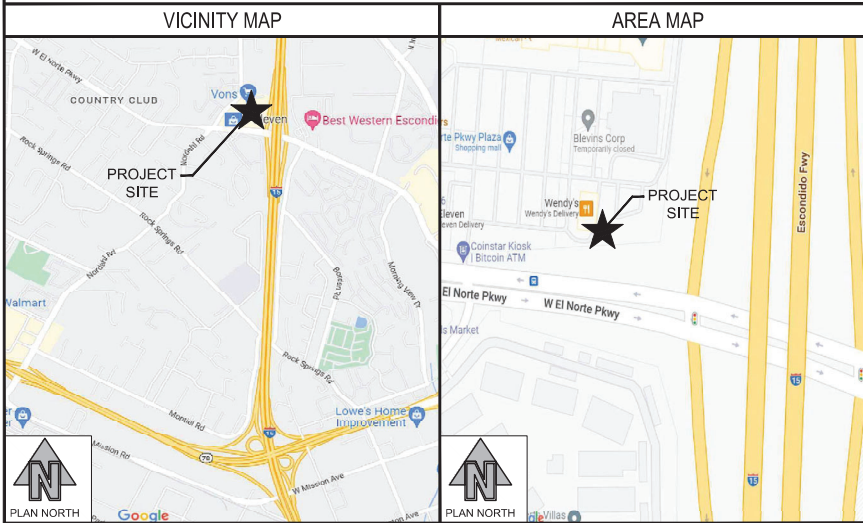
CAL03158

USID: 320853 FA# 15863420

SITE ID: CAL03158

960 "1/2" WEST EL NORTE PARKWAY
ESCONDIDO, CA 92026
5G NR 1SR CBAND

LOCATION MAPS



DRIVING DIRECTIONS

FROM SAN DIEGO INTERNATIONAL AIRPORT:
 HEAD EAST ON N HARBOR DR TOWARD MCCAIN RD. USE THE LEFT 3 LANES TO TURN LEFT ONTO W GRAPE ST. USE THE RIGHT 2 LANES TO TAKE THE RAMP ONTO I-5 S. MERGE WITH I-5 S. TAKE EXIT 16 TO MERGE WITH CA-163 N TOWARD ESCONDIDO. MERGE WITH I-15 N. TAKE EXIT 33 FOR EL NORTE PKWY. USE THE MIDDLE LANE TO TURN LEFT ONTO W EL NORTE PKWY. TURN RIGHT AT THE 2ND CROSS STREET AT BOURBON RD. TURN RIGHT. TURN RIGHT. TURN RIGHT. DESTINATION WILL BE ON THE RIGHT.

ENGINEERING

1. 2022 EDITION OF THE CALIFORNIA BUILDING CODE VOLUME 1
2. 2022 EDITION OF THE CALIFORNIA BUILDING CODE VOLUME 2
3. 2022 EDITION OF THE CALIFORNIA MECHANICAL CODE
4. 2022 EDITION OF THE CALIFORNIA PLUMBING CODE
5. 2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE
6. 2022 EDITION OF THE EXISTING BUILDING CODE
7. 2022 EDITION OF THE CALIFORNIA FIRE CODE
8. 2022 EDITION OF THE CALIFORNIA ENERGY CODE
9. 2022 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE
10. 2021 INTERNATIONAL PROPERTY MANAGEMENT CODE

APPROVALS

AT&T RF ENGINEER:	_____	DATE:	_____
AT&T OPERATIONS:	_____	DATE:	_____
SITE ACQUISITION:	_____	DATE:	_____
CONSTRUCTION MANAGER:	_____	DATE:	_____
PROPERTY OWNER:	_____	DATE:	_____
ZONING:	_____	DATE:	_____
PROJECT MANAGER:	_____	DATE:	_____

DRAWING INDEX

SHT NO.	DESCRIPTION
ATS01	AT&T TITLE SHEET
LS-1	TOPOGRAPHIC SURVEY
A01.0	SITE PLAN
A02.0	COMPOUND PLANS
A03.0	EQUIPMENT PLAN
A04.0	ELEVATIONS
A04.1	ELEVATIONS
A05.0	ANTENNA PLAN & SCHEDULE

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



NOTE:
 48 HOURS PRIOR TO DIGGING,
 CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND VERIFY CONDITIONS OF ANY SERVICES OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFELD CORPORATION. NEITHER MORRISON HERSHFELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

2	11/16/23	JDX	COMMENTS
1	10/09/23	JDX	COMMENTS
0	06/22/23		CLIENT COMMENTS
C	06/09/23		PRELIMINARY ZONING DRAWINGS
B	05/22/23		PRELIMINARY ZONING DRAWINGS
A	04/06/23		PRELIMINARY ZONING DRAWINGS

No. Date Action

Plans Prepared For:

MD7
 10590 WEST OCEAN AIR DRIVE
 SUITE 300
 SAN DIEGO, CA 92130



Plans Prepared By:

MH MORRISON HERSHFELD
 5100 S MACADAM AVE, UNIT 500
 PORTLAND, OR 97239
 Tel: 503-995-9128 Fax: 503-995-9136
 www.morrisonherhsfeld.com

Project: CAL03158
 SITE ID: CAL03158
 960 "1/2" WEST EL NORTE PARKWAY
 ESCONDIDO, CA 92026
 FA: 15863420

Drawing Title:
AT&T TITLE SHEET

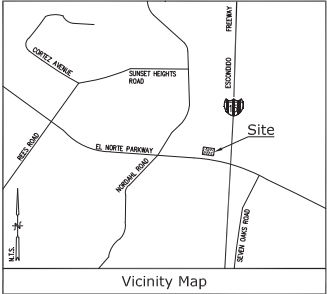
Project No.: 220348700

Designer: RB Date: 04/06/23
 Drawn By: GS Checked By: -

PM Review: JR Client Approval

Issue No.: 2 Drawing No.: ATS01

SCALE IS BASE ON 27" x 34" 1/8"



Title Report
 THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.
 PREPARED BY:
 ORDER NO.:
 DATE:

Legal Description (PER OED)
 PARCELS 5 & 8 OF PARCEL MAP NO. 10943 IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Assessor's Parcel No.
 226-350-45

Easements
 NOT AVAILABLE

Access & Utility Routes/Lease Area
 AS SHOWN

Proposed Mono-Broad Leaf Tower
 1983 DATUM LATITUDE: 33° 06' 54.87"N LONGITUDE: 117° 04' 26.94"W
 ELEVATION = 747.8 FEET ABOVE MEAN SEA LEVEL

CERTIFICATION
 THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS (") TO THE NEAREST HUNDRETH OF A SECOND. THE VERTICAL DATUM (ELEVATION) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings
 THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, COESA ZONE 6, (2022.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8901-8919; SAID BEARINGS ARE DETERMINED USUALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEGAL SHADHNET NORTH AMERICA (S.A.N.A.) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):
 S.A.N.A. C.O.R.S. NORTHING = 1532721.64' EASTING = 630269.02'
 S.A.N.A. C.O.R.S. NORTHING = 2271460.52' EASTING = 421058.81'

Benchmark
 THE SHADHNET NORTH AMERICA C.O.R.S. CMP. ELEVATION 575.95 FEET (NAVD 88).

Date of Survey
 MARCH 12, 2023



ARE DEVELOPMENT:



CONSULTANT:

CALVADA SURVEYING, INC.
 411 16th St., Suite 205, Corona, CA 92605
 Phone: 951-264-0600 Fax: 951-269-9746
 TOLL FREE: 800-CALVADA www.calvadainc.com
 JOB NO. 22622-1

LICENSEURE:

REVISION:

REVISION	DATE	BY	DESCRIPTION
	09/01/22		SUBMITTAL
1	02/26/23	HP	UPDATED DESIGN
2	03/27/23	GV	ADDITIONAL TOPOGRAPHY
3	06/28/23	HP	UPDATED DESIGN

SITE INFORMATION:

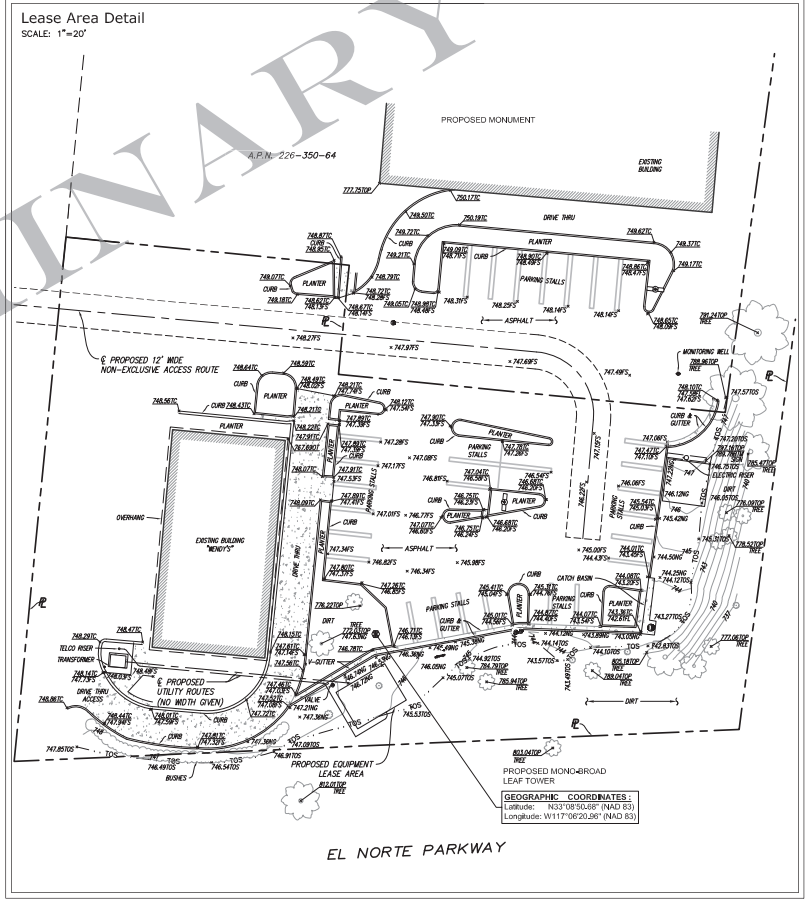
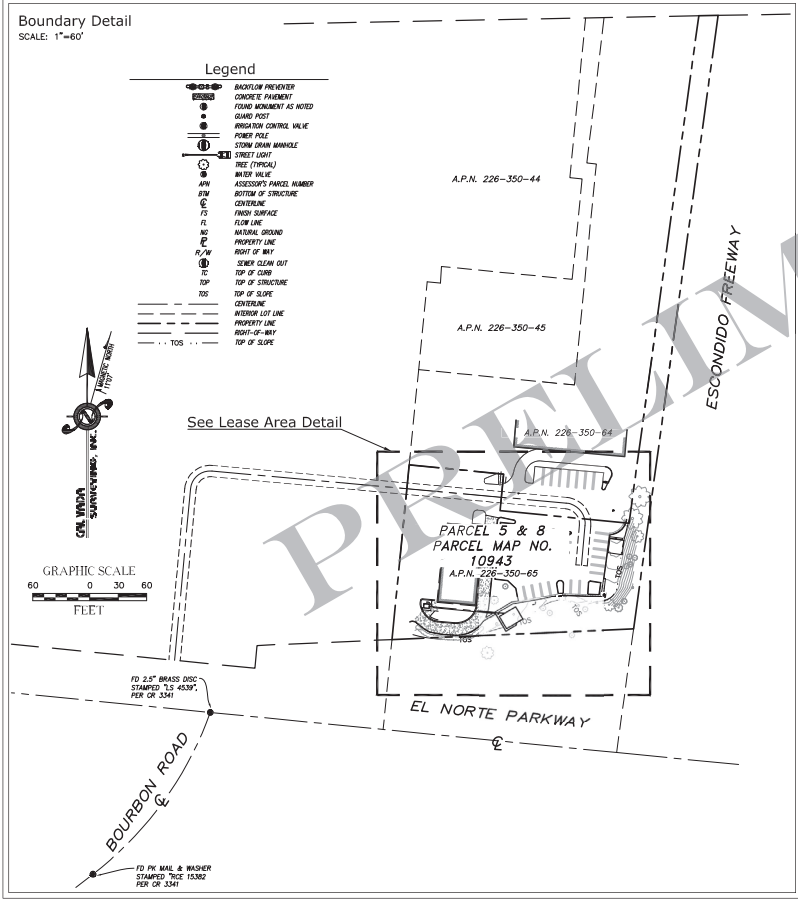
CAL03158
 960 W. EL NORTE PKWY.
 ESCONDIDO, CA 92026
 SAN DIEGO COUNTY

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER:

LS-1
 SHEET 1 OF 1

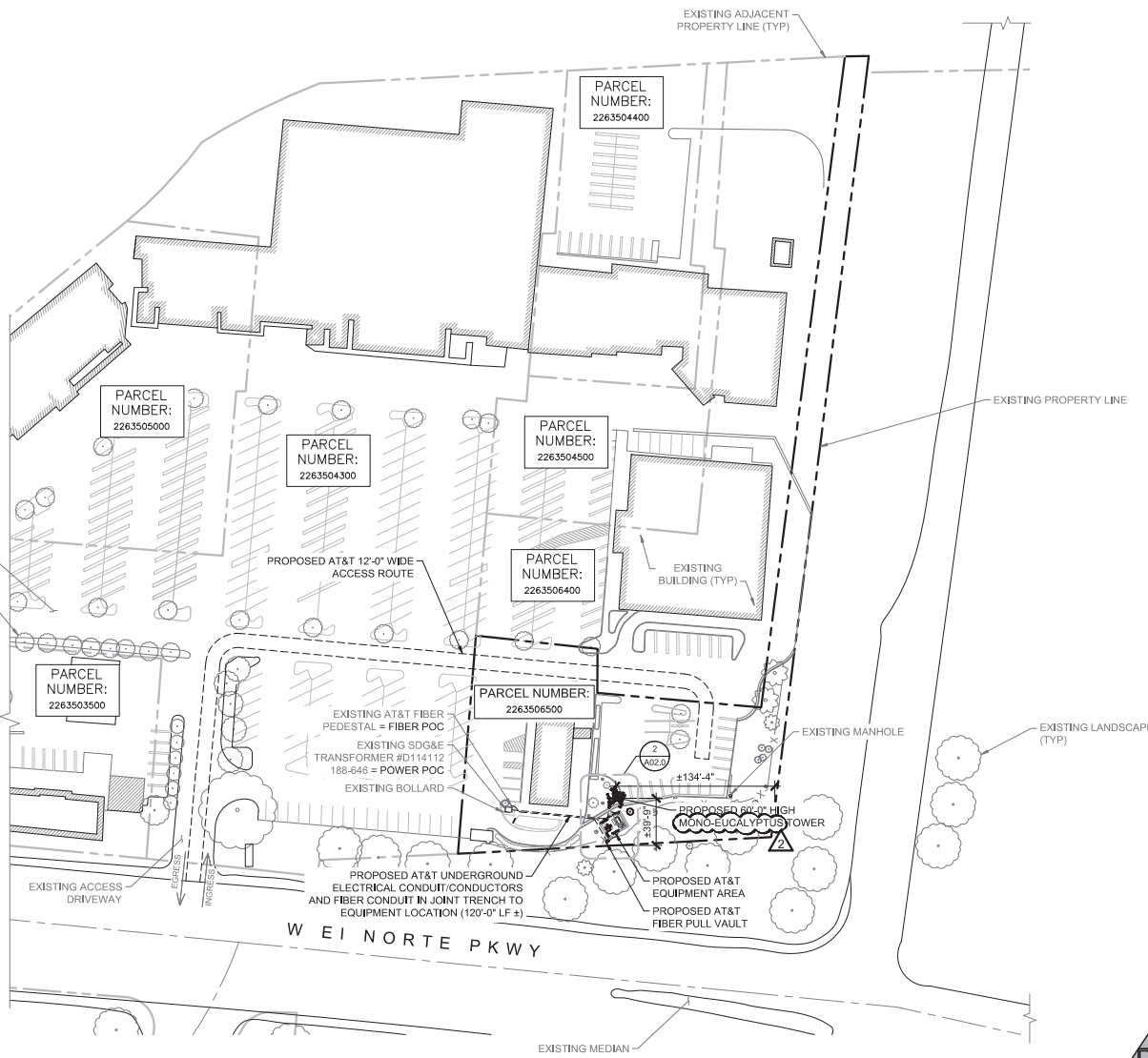


THIS IS NOT A SURVEY

ALL INFORMATION AND TRUE NORTH HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND ARE APPROXIMATE.

LEGAL DESCRIPTION:
 PARCEL 5 & 8 OF PARCEL MAP NO. 10943, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY PERIODS OF OMISSIONS, NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE SUBMITTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION, NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN UTAH
 TOLL FREE: (800) 662-4111 OR
 CALL 3 WORKING DAYS BEFORE YOU DIG

Know what's below.
 Call before you dig.



2	11/16/23	JDX COMMENTS
1	10/09/23	JDX COMMENTS
0	06/22/23	CLIENT COMMENTS
C	06/09/23	PRELIMINARY ZONING DRAWINGS
B	05/22/23	PRELIMINARY ZONING DRAWINGS
A	04/06/23	PRELIMINARY ZONING DRAWINGS

No. Date Action
Plans Prepared For:
MD7
 10590 WEST OCEAN AIR DRIVE
 SUITE 300
 SAN DIEGO, CA 92130



Plans Prepared By:

 MORRISON HERSHFIELD
 5100 S MACADAM AVE., UNIT 500
 PORTLAND, OR 97239
 Tel: 503-995-9128 Fax: 503-995-9136
 www.morrisonhershfield.com

Project:
 CAL03158
 SITE ID: CAL03158
 960 1/2" WEST EL NORTE PARKWAY
 ESCONDIDO, CA 92026
 FA: 15863420

Drawing Title:
SITE PLAN

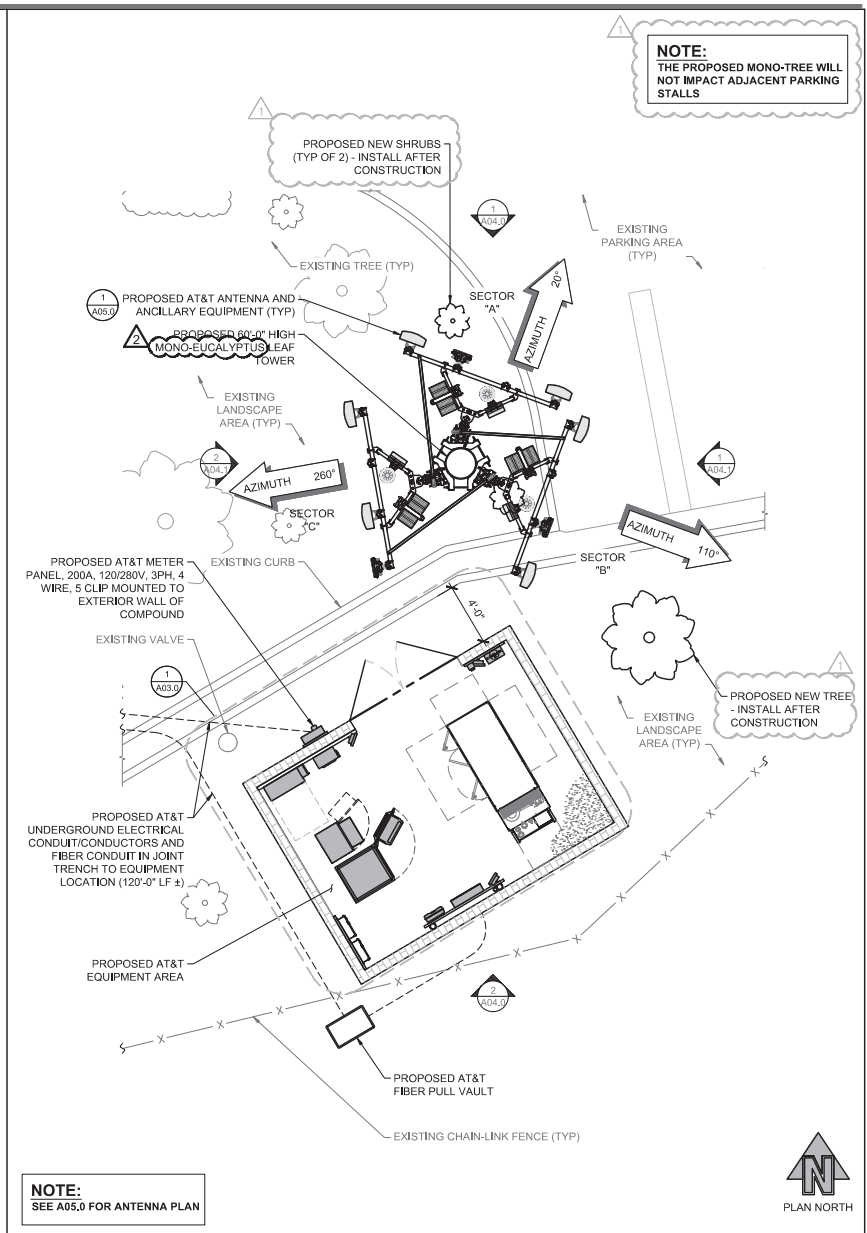
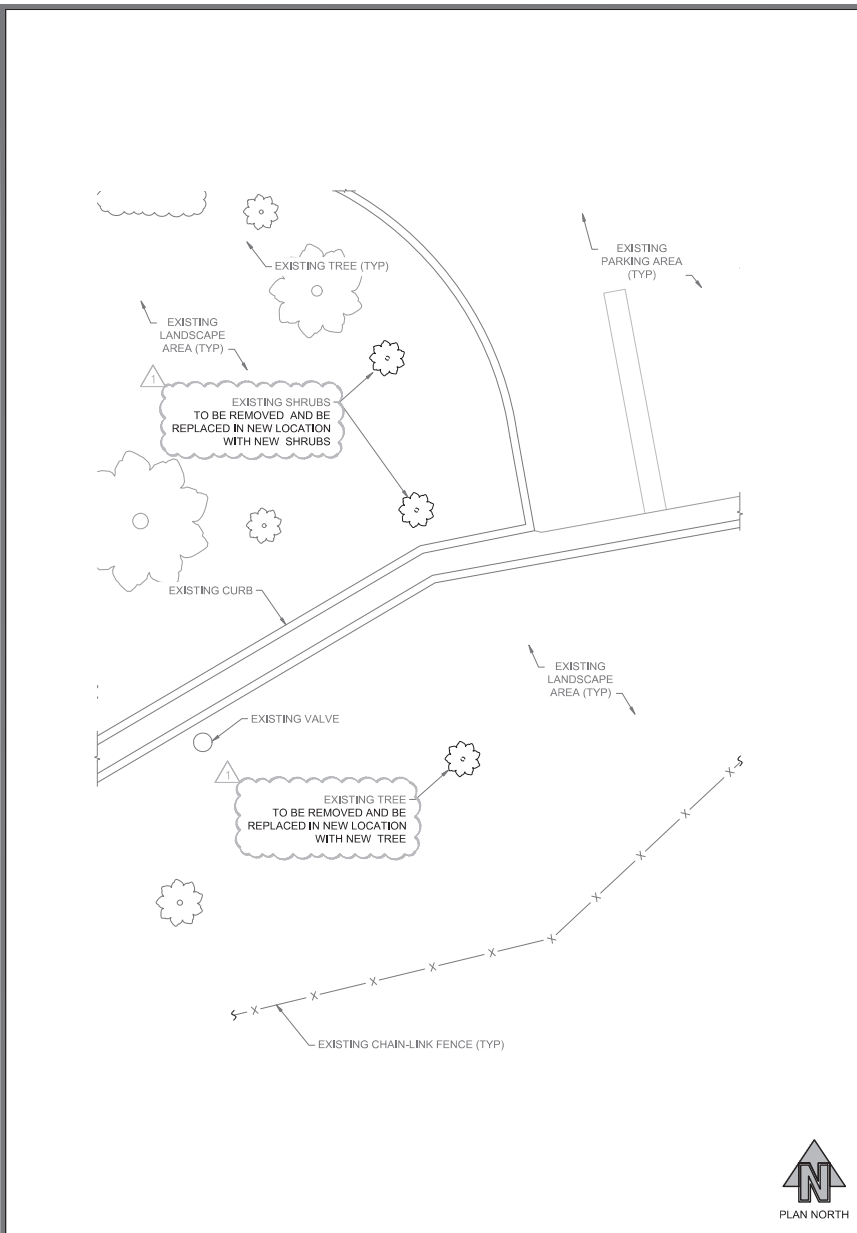
Project No.: 220348700	
Designer: RB	Date: 04/06/23
Drawn By: GS	Checked By: -
PM Review: JR	Client Approval
Issue No.: 2	Drawing No.: A01.0

SITE PLAN

SCALE: 1"=50'-0" (22x34)
 (OR) 1/2"=50'-0" (11x17)

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NOTE:
THE PROPOSED MONO-TREE WILL NOT IMPACT ADJACENT PARKING STALLS



2	11/16/23	JDX COMMENTS
1	10/09/23	JDX COMMENTS
0	06/22/23	CLIENT COMMENTS
C	06/09/23	PRELIMINARY ZONING DRAWINGS
B	05/22/23	PRELIMINARY ZONING DRAWINGS
A	04/06/23	PRELIMINARY ZONING DRAWINGS

No. Date Action

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:

AT&T

Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE., UNIT 500
PORTLAND, OR 97239
Tel: 503-995-9128 Fax: 503-995-9136
www.morrisonhershfield.com

Project:

CAL03158
SITE ID: CAL03158
960 1/2" WEST EL NORTE PARKWAY
ESCONDIDO, CA 92026
FA: 15863420

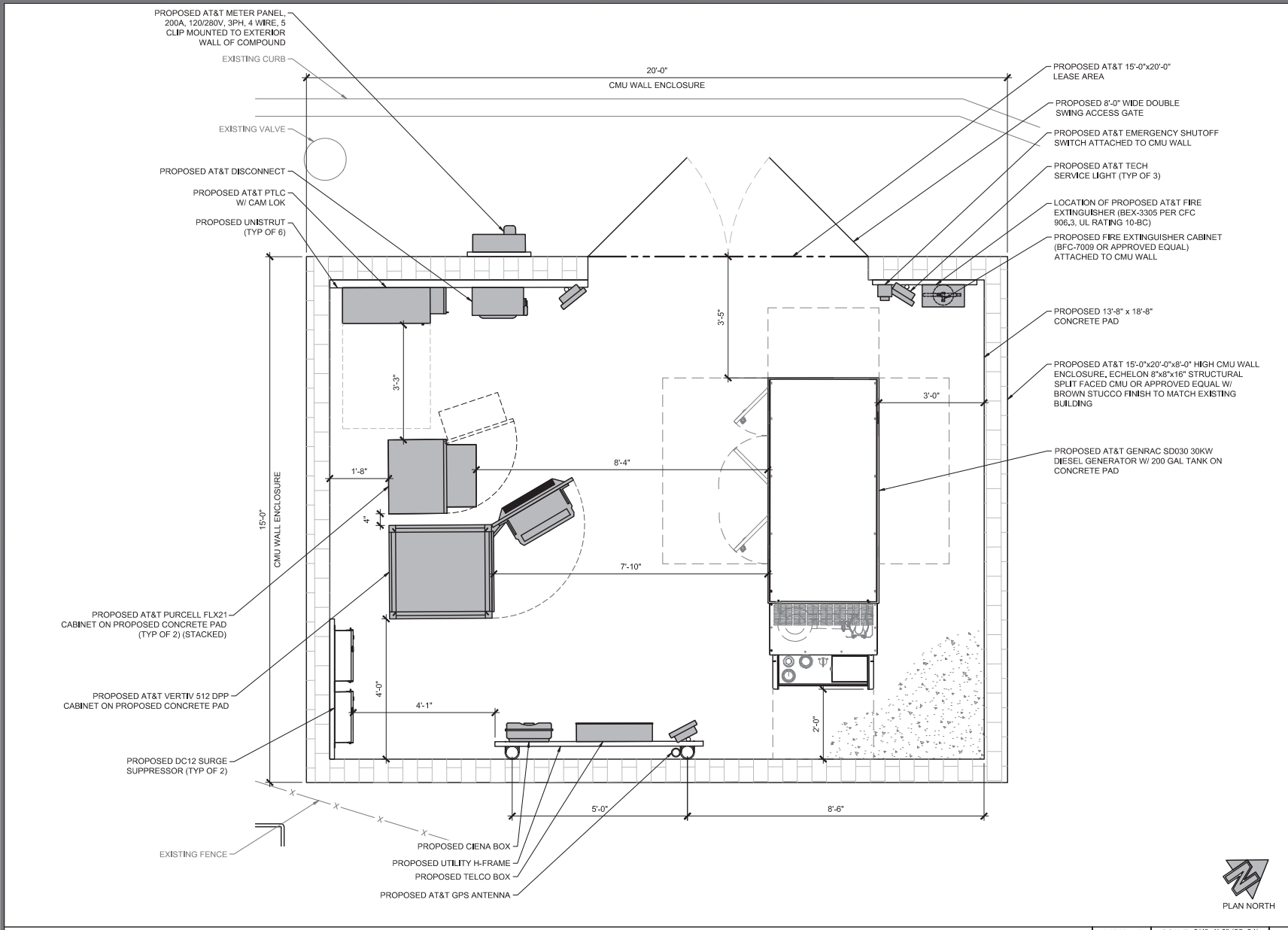
Drawing Title:

COMPOUND PLANS

Project No.: 220348700	
Designer: RB	Date: 04/06/23
Drawn By: GS	Checked By: -
PM Review: JR	Client Approval: -
Issue No.: 2	Drawing No.: A02.0

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SCALE IS BASE ON 27" x 34" 1/8" SIZE



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0	06/22/23	CLIENT COMMENTS
C	06/09/23	PRELIMINARY ZONING DRAWINGS
B	05/22/23	PRELIMINARY ZONING DRAWINGS
A	04/06/23	PRELIMINARY ZONING DRAWINGS
No.	Date	Action

Plans Prepared For:
MD7
 10590 WEST OCEAN AIR DRIVE
 SUITE 300
 SAN DIEGO, CA 92130



Plans Prepared By:
MORRISON HERSHFIELD
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 Tel: 503-995-9128 Fax: 503-995-9136
 www.morrisonhershfield.com

Project:
 CAL03158
 SITE ID: CAL03158
 960 1/2 WEST EL NORTE PARKWAY
 ESCONDIDO, CA 92026
 FA: 15863420

Drawing Title:
EQUIPMENT PLAN

Project No.: 220348700	
Designer: RB	Date: 04/06/23
Drawn By: GS	Checked By: -
PM Review: JR	Client Approval
Issue No.: 2	Drawing No.: A03.0

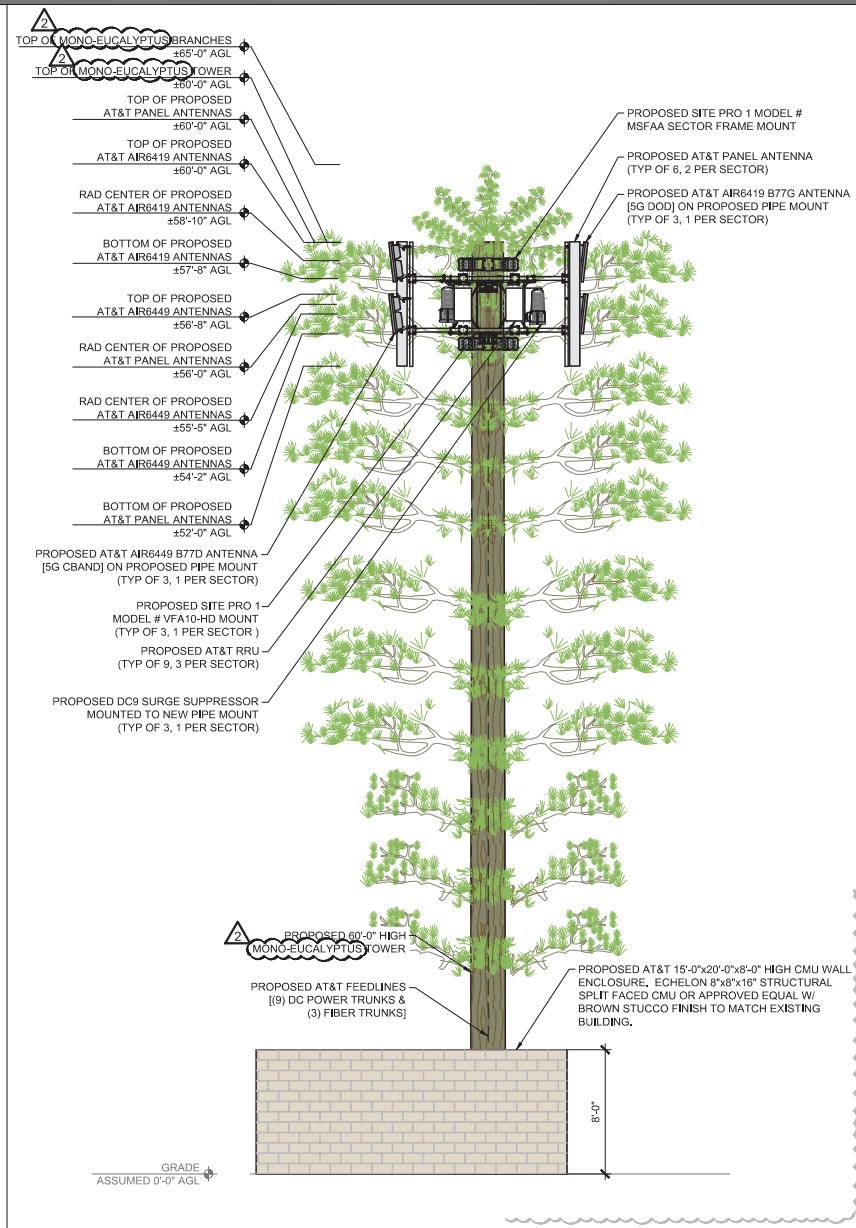
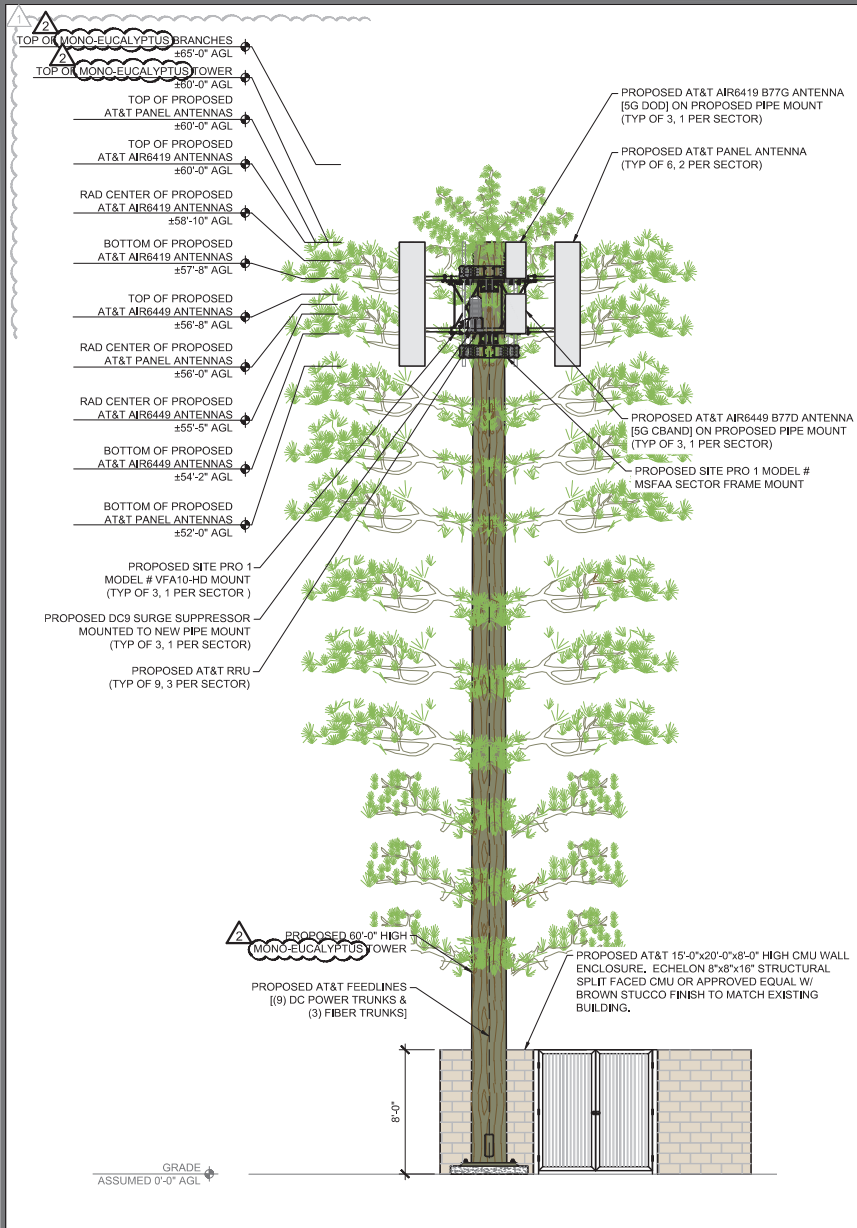
SCALE: 3/4"=1'-0" (22x34)
 (OR) 3/8"=1'-0" (11x17)



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EQUIPMENT PLAN

1 2 3 4 5 6



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1	10/09/23	JDX COMMENTS
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A	04/06/23	PRELIMINARY ZONING DRAWINGS

No. Date Action

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130



Plans Prepared By:

MH MORRISON HERSHFELD

5100 S MACADAM AVE., UNIT 500
PORTLAND, OR 97239
Tel: 503-995-9128 Fax: 503-995-9136
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Project:

CAL03158
SITE ID: CAL03158
960 1/2" WEST EL NORTE PARKWAY
ESCONDIDO, CA 92026
FA: 15863420

Drawing Title:

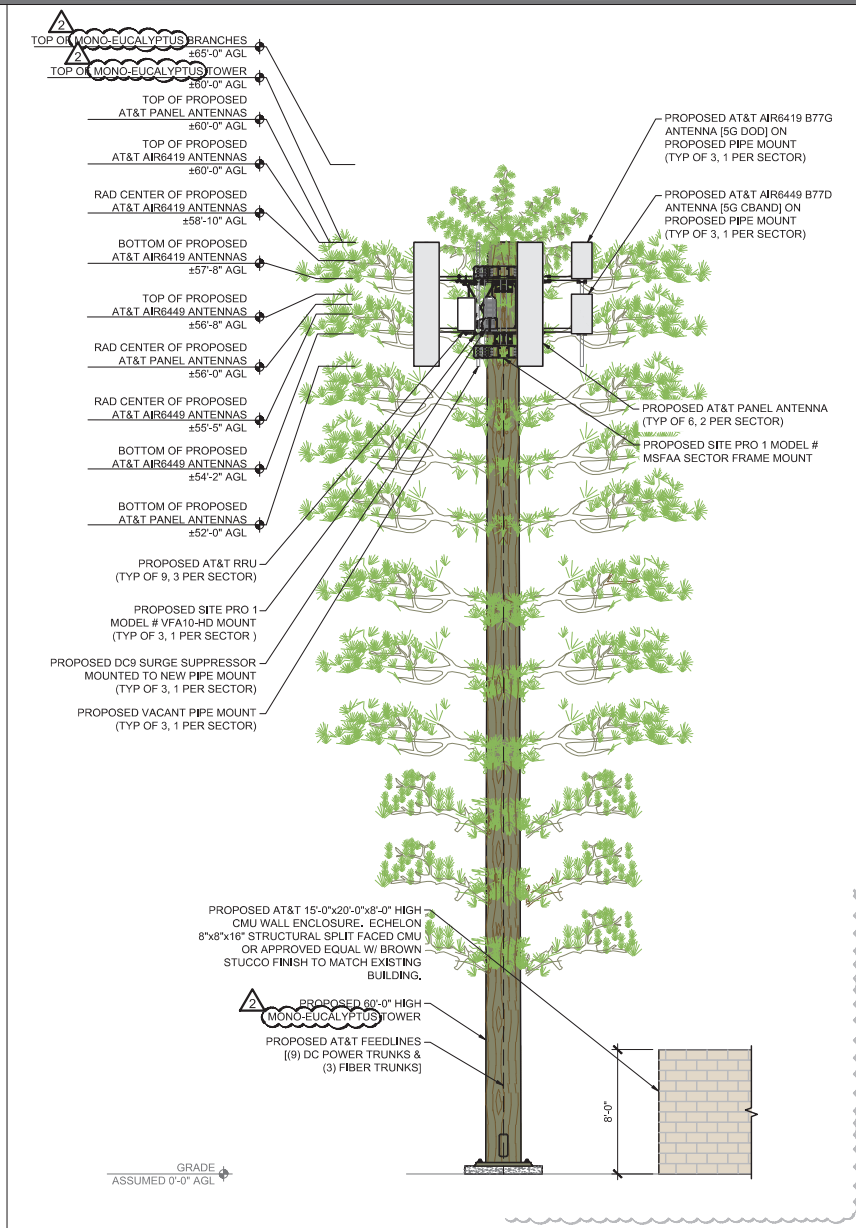
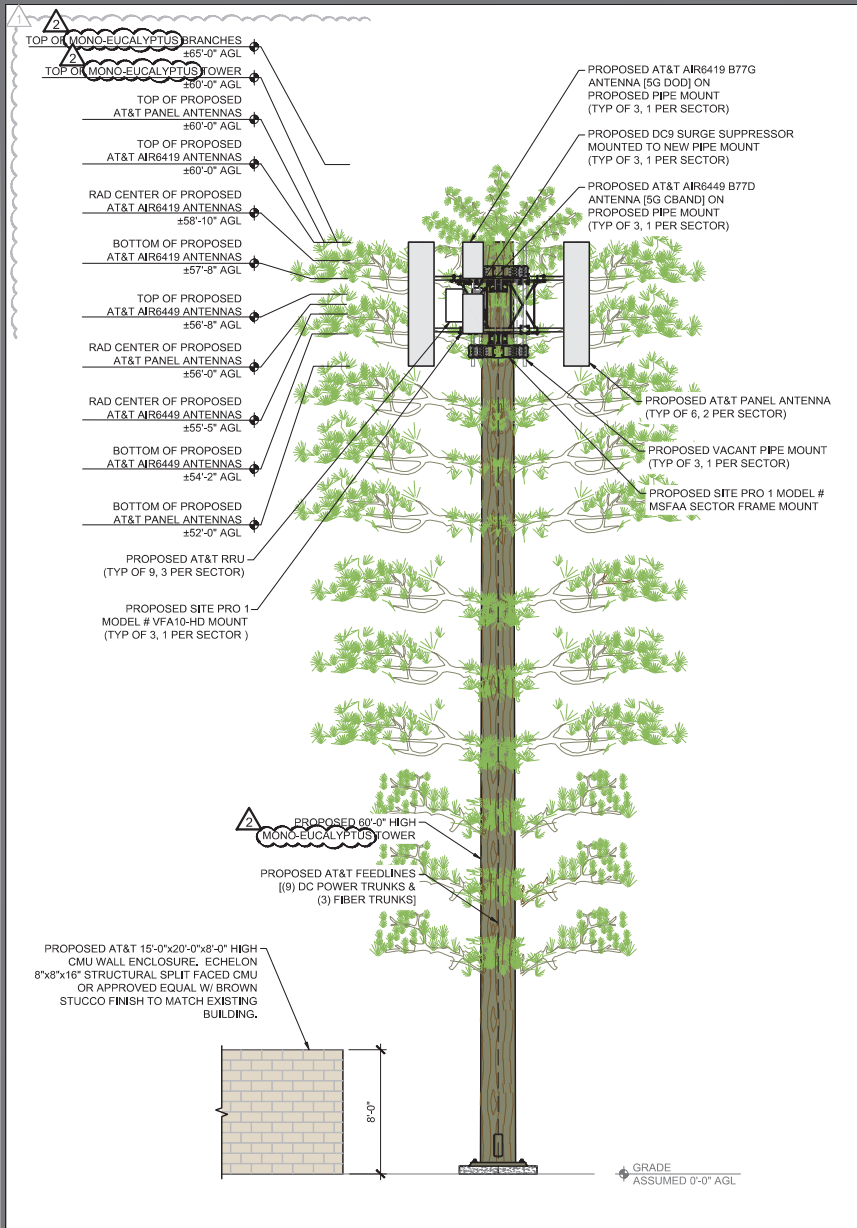
ELEVATIONS

Project No.:	
Designer:	Date:
Drawn By:	Checked By:
PM Review:	Client Approval:
Issue No.:	Drawing No.:
2	A04.0

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SCALE IS BASE ON 24" X 36" 1/8" = 1" SIZE

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DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE SUBMITTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFELD CORPORATION, NEITHER MORRISON HERSHFELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PRODUCT.

No.	Date	Action
2	11/16/23	JDX COMMENTS
1	10/09/23	JDX COMMENTS
0	06/22/23	CLIENT COMMENTS
C	06/09/23	PRELIMINARY ZONING DRAWINGS
B	05/22/23	PRELIMINARY ZONING DRAWINGS
A	04/06/23	PRELIMINARY ZONING DRAWINGS

Plans Prepared For:
MD7
 10590 WEST OCEAN AIR DRIVE
 SUITE 300
 SAN DIEGO, CA 92130



Applicant:
MORRISON HERSHFELD
 5100 S MACADAM AVE., UNIT 500
 PORTLAND, OR 97239
 Tel: 503-995-9128 Fax: 503-995-9136
 www.morrisonhersfeld.com

Project:
 CAL03158
 SITE ID: CAL03158
 960 1/2" WEST EL NORTE PARKWAY
 ESCONDI DO, CA 92026
 FA: 15863420

Drawing Title:
ELEVATIONS

Project No.: 220348700	
Designer: RB	Date: 04/06/23
Drawn By: GS	Checked By: -
PM Review: JR	Client Approval: -
Issue No.: 2	Drawing No.: A04.1

SCALE IS BASE ON 24" X 36" SIZE

PROPOSED ANTENNA CONFIGURATION AND SCHEDULE - PER RFDS VERSION 1.0 - DATED 07-28-2022

SECTOR	CARRIER / SPECTRUM	ANTENNA POSITION	AZMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
SECTOR A	5G 850 LTE 700/1900AWS	A1	20°	56°-0"	NNH4-65C-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A			
	-	A2	-	-	-	-	-	(1) DC9	(3) DC (1) FBBER	
	5G DOD	A3	20°	58°-10"	ARR6419 B77G	-	-			
	5G CBAND	A4	20°	55°-5"	ARR6449 B77D	-	-			
LTE 700	A4	20°	56°-0"	NNH4-65C-R6H4	-	(1) 4478 B14				
SECTOR B	GARRIER / SPECTRUM	ANTENNA POSITION	AZMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700	B1	110°	56°-0"	NNH4-65C-R6H4	-	(1) 4478 B14			
	5G DOD	B2	110°	58°-10"	ARR6419 B77G	-	-	(1) DC9	(3) DC (1) FBBER	
	5G CBAND	B3	-	-	-	-	-			
LTE 700	B3	-	-	-	-	-				
5G 850 LTE 700/1900AWS	B4	110°	56°-0"	NNH4-65C-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A				
SECTOR C	GARRIER / SPECTRUM	ANTENNA POSITION	AZMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700	C1	260°	56°-0"	NNH4-65C-R6H4	-	(1) 4478 B14			
	-	C2	-	-	-	-	-			
	5G 850 LTE 700/1900AWS	C3	260°	56°-0"	NNH4-65C-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A			
5G DOD	C4	260°	58°-10"	ARR6419 B77G	-	-	(1) DC9	(3) DC (1) FBBER		
5G CBAND	C4	260°	55°-5"	ARR6449 B77D	-	-				

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2	11/16/23	JDX COMMENTS
1	10/09/23	JDX COMMENTS
0	06/22/23	CLIENT COMMENTS
C	06/09/23	PRELIMINARY ZONING DRAWINGS
B	05/22/23	PRELIMINARY ZONING DRAWINGS
A	04/06/23	PRELIMINARY ZONING DRAWINGS

No.	Date	Action
Plans Prepared For:		
 10590 WEST OCEAN AIR DRIVE SUITE 300 SAN DIEGO, CA 92130		
Applicant:		

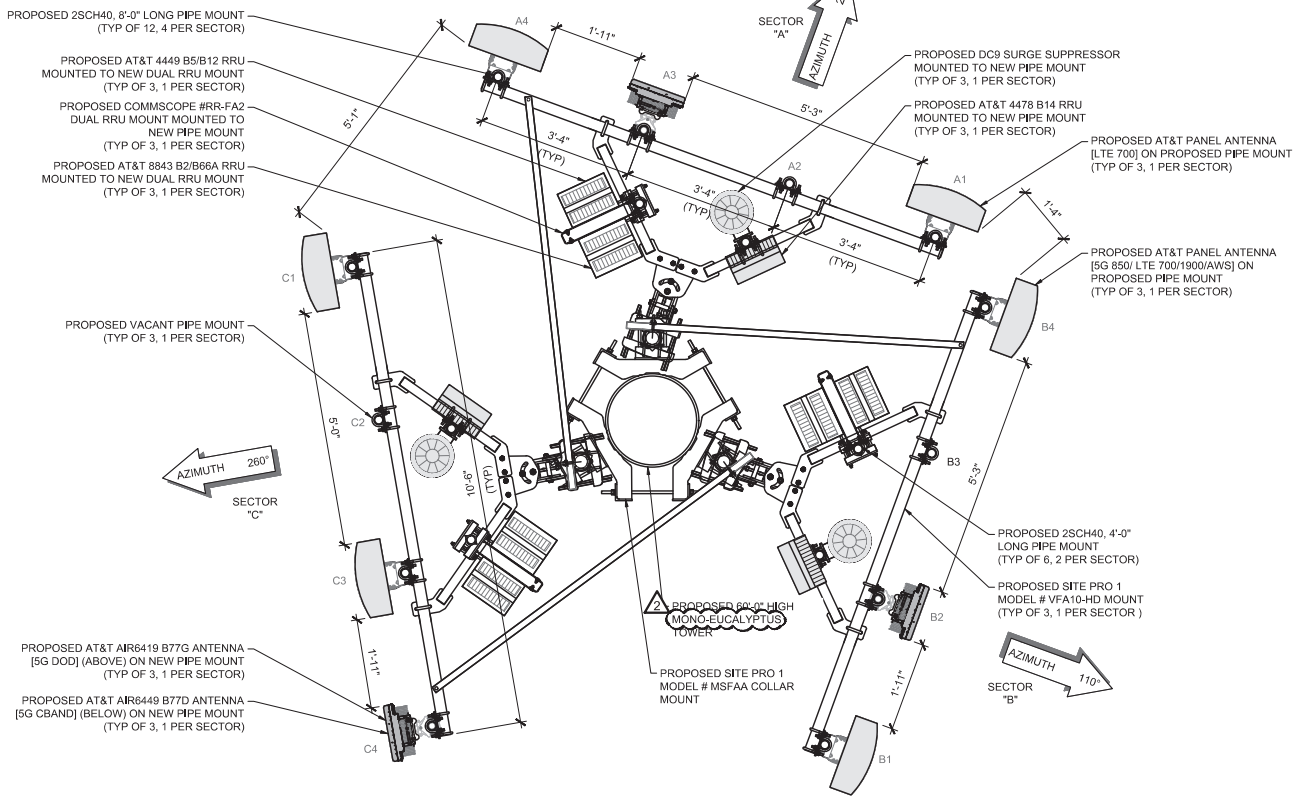


Plans Prepared By:	
 MORRISON HERSHFIELD 5100 S MACADAM AVE, UNIT 500 PORTLAND, OR 97239 Tel: 503-995-9128 Fax: 503-995-9136 www.morrisonherhfield.com	

Project:	CAL03158
SITE ID:	CAL03158
960 1/2" WEST EL NORTE PARKWAY	ESCONDIDO, CA 92026
FA:	15863420

Drawing Title:	ANTENNA PLAN & SCHEDULE
----------------	-------------------------

Project No:	220348700
Designer:	RB
Date:	04/06/23
Drawn By:	GS
Checked By:	-
PM Review:	JR
Client Approval:	-
Issue No:	2
Drawing No:	A05.0



X:\Proj\2022\220348700-487_Sch.dwg ATT New Site_Bldg\11_Site\CAD\3158 - 15863420.dwg -- 15863420-09_CAD\MD7-717 - 15863420-CAL03158_KHSB_JD_Rev_2\11.16.23.dwg 11/16/2023 3:46pm RB/reveng

ANTENNA PLAN & SCHEDULE

SCALE: 3/4"=1'-0" (22x34)
(OR) 3/8"=1'-0" (11x17)

EXHIBIT “C”**PLANNING CASE NO PL23-0304****FACTORS TO BE CONSIDERED / FINDINGS OF FACT****Environmental Determinations:**

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) (“CEQA”), and its implementing regulations (14 C.C.R. § 15000 et seq.) (“CEQA Guidelines”), the City of Escondido (“City”) is the Lead Agency for the project (“Project”), as the public agency with the principal responsibility for approving the Project.
2. The Project qualifies for an exemption from further environmental review pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). Class 3 is defined as projects that consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The Project is to construct a 65’ high mono-eucalyptus wireless communication facility.
3. The Planning Commission has independently considered the full administrative record before it, which includes but is not limited to the January 9, 2024, Planning Commission Staff Report; testimony by staff and the public; and other materials and evidence submitted or provided to it. The administrative record demonstrates that each of the above requirements have been satisfied. No substantial evidence has been submitted that would support a finding that any of the above-described exemption requirements has not been satisfied. The Project will not have a significant effect on the environment, and all of the requirements of CEQA have been met.

Conditional Use Permit Findings (Escondido Zoning Code section 33-1203)

With respect to Planning Case No. PL23-0304, the Planning Commission finds the following:

1. *A conditional use permit should be granted upon sound principles of land use and in response to services required by the community.*

The Project is a conditionally permitted use within the C-G zoning district as outlined in the land use matrix table in Article 16 (Commercial Zones). The subject site is developed with a drive-through commercial facility within a commercial shopping center. Based on a coverage map from the Applicant, the wireless communication facility would improve coverage in the area from “fair” to “good” allowing for reliable communication in this area.

2. *A conditional use permit should not be granted if it will cause deterioration of bordering land uses or create special problems for the area in which it is located*

The conditional use permit is for a wireless communication facility within the C-G zoning district. The subject site is located in a developed commercial shopping center and is bounded by an interstate ramp to the east, and residential uses to the south. A Radio Frequency and Nonionizing Electromagnetic Radiation report was submitted and finds that the proposed facility conforms to applicable FCC codes and regulations. The facility has been designed to minimize visual impacts to surrounding properties by being consistent in height with existing strand of trees, and with the buildings located on site. Furthermore, the project is consistent with the five guiding principles for wireless communication facilities in the community.

3. *A conditional use permit must be considered in relationship to its effect on the community or neighborhood plan for the area in which it is to be located.*

The subject site is located within a commercial shopping center in a northern portion of the City. The surrounding area consists of residential with smaller commercial sites to the south, and a commercial area to the east, across the Interstate 15. The conditional use permit would allow for construction of a wireless communication facility in a commercial zone instead of siting the facility on a residentially zoned property, or a nonresidential use in a residential zone. The siting of the site is a preferred location due to the commercial zoning of the site, and is encouraged by Article 34.

EXHIBIT “D”

PLANNING CASE NOS. PL23-0304

CONDITIONS OF APPROVAL

This Project is conditionally approved as set forth on the application received by the City of Escondido on **August 21, 2023**, and the Project drawings consisting of Site Plans, Floor Plans, Sections, Architectural Elevations, Civil Sheets/Grading, Landscape Plans and Colored Elevations; all designated as approved on **January 9, 2024**, and shall not be altered without express authorization by the Development Service Department.

For the purpose of these conditions, the term “Applicant” shall also include the Project proponent, owner, permittee, and the Applicant’s successors in interest, as may be applicable.

A. General:

1. **Acceptance of Permit.** If the Applicant fails to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
 - a. Acceptance of the Permit by the Applicant; and
 - b. Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Project Permit or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Permit.

2. **Permit Expiration.** The Permit shall automatically expire after two years from the date of this approval, or the expiration date of any extension granted in accordance with the Escondido Municipal Code and Zoning Code.

The Permit shall be deemed expired if a building permit has not been obtained or work has been discontinued in the reliance of that building permit. If no building permits are required, the City may require a noticed hearing to be scheduled before

the authorized agency to determine if there has been demonstrated a good faith intent to proceed, pursuant to and in accordance with the provision of this Permit.

- 3. Certification.** The Director of Development Services, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Project drawings and any other relevant document comprising the Project in its entirety, as necessary to make them internally consistent and in conformity with the final action on the Project. This includes amending the Project drawings as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. A final Approved Plan set, shall be submitted to the Planning Division for certification electronically. Said plans must be certified by the Planning Division prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.
- 4. Conformance to Approved Plans.**

 - a. The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated with the Approved Plan set.
 - b. Nothing in this Permit shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this Permit.
 - c. Once a permit has been issued, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the Director of Development Services to be in substantial conformity with the Approved Plan set, including all exhibits and Permit conditions attached hereto. Modifications beyond the scope described in the Approved Plan set may require submittal of an amendment to the Permit and approval by the authorized agency.
- 5. Limitations on Use.** Prior to any use of the Project site pursuant to this Permit, all Conditions of Approval contained herein shall be completed or secured to the satisfaction of the Development Services Department.
- 6. Certificate of Occupancy.**

- a. No change in the character of occupancy or change to a different group of occupancies as described by the Building Code shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required, and any such change in occupancy must comply with all other applicable local and state laws.
- b. Prior to final occupancy, a Planning Final Inspection shall be completed to ensure that the property is in full compliance with the Permit terms and conditions. The findings of the inspection shall be documented on a form and content satisfactory to the Director of Development Services.

7. Availability of Permit Conditions.

- a. Prior to building, the Applicant shall cause a covenant regarding real property to be recorded that sets forth the terms and conditions of this Permit approval and shall be of a form and content satisfactory to the Director of Development Services.
- b. The Applicant shall make a copy of the terms and conditions of this Permit readily available to any member of the public or City staff upon request. Said terms and conditions shall be printed on any construction plans that are submitted to the Building Division for plan check processing.

8. Right to Entry. The holder of this Permit shall make the premises available for inspection by City staff during construction or operating hours and allow the investigations of property necessary to ensure that minimum codes, regulations, local ordinances and safety requirements are properly followed. The Applicant shall provide such business records, licenses, and other materials necessary upon request to provide evidence of compliance with the conditions of approval, as well as federal, state, or laws.

9. Compliance with Federal, State, and Local Laws. Nothing in this Permit shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this permit. (Permits from other agencies may be required as specified in the Permit's Details of Request.) This Permit does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and

procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this Permit's approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. **During** Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this Permit is conducted in full compliance with all local and state laws.

10. Fees. The appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Development Services. Through plan check processing, the Applicant shall pay development fees at the established rate. Such fees may include, but not be limited to: Permit and Plan Checking Fees, Water and Sewer Service Fees, School Fees, Traffic Mitigation Fees, Flood Control Mitigation Fees, Park Mitigation Fees, Fire Mitigation/Cost Recovery Fees, and other fees listed in the Fee Schedule, which may be amended. Arrangements to pay these fees shall be made prior to building permit issuance to the satisfaction of the Development Services Department.

Approval of this development project is conditioned upon payment of all applicable development fees and connection fees in the manner provided in Chapter 6 of the Escondido Municipal Code.

11. Public Art Partnership Program. All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to any building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.

12. Clerk Recording.

a. Exemption. If the environmental determination prepared for the Project is a categorical exemption, the City of Escondido hereby notifies the Applicant that the County Clerk's Office requires a documentary handling fee of \$50 in order to file a Notice of Exemption. In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Guidelines section 15062, the Applicant should remit to the City of Escondido Planning Division, within two working days of the final

approval of the Project (the final approval being the date of this letter) a certified check payable to the "County Clerk" in the amount of \$50. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the Project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.

- b. For more information on filing fees, please refer to the County Clerk's Office and/or the California Code of Regulations, Title 14, Section 753.5.

13. Legal Description Adequacy. The legal description attached to the application has been provided by the Applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.

14. Application Accuracy. The information contained in the application and all attached materials are assumed to be correct, true, and complete. The City of Escondido is relying on the accuracy of this information and Project-related representations in order to process this application. Any permits issued by the City may be rescinded if it is determined that the information and materials submitted are not true and correct. The Applicant may be liable for any costs associated with rescission of such permits.

15. Enforcement. If any of the terms, covenants, or conditions contained herein shall fail to occur or if they are, by their terms, to be implemented and maintained over time, the City of Escondido shall have the right to deny or withhold subsequent permit approvals or permit inspections that are derived from the application entitlements herein granted; issue stop work orders; pursue abatement orders, penalties, or other administrative remedies as set forth in state and local laws; or institute and prosecute litigation to compel compliance with such terms, covenants, or conditions or seek damages for their violation. The Applicant shall be notified in advance prior to any of the above actions being taken by the City and shall be given the opportunity to remedy any deficiencies identified by the City.

16. Indemnification, Hold Harmless, Duty to Defend.

- a.** The Applicant shall indemnify, hold harmless, and defend (with counsel reasonably acceptable to the City) the City, its Councilmembers, Planning Commissioners, boards, commissions, departments, officials, officers, agents, employees, and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, at law or in equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with (i) any business, work, conduct, act, omission, or negligence of the Applicant or the owner of the Property (including the Applicant's or the owner of the Property's contractors, subcontractors, licensees, sublessees, invitees, agents, consultants, employees, or volunteers), or such activity of any other person that is permitted by the Applicant or owner of the Property, occurring in, on, about, or adjacent to the Property; (ii) any use of the Property, or any accident, injury, death, or damage to any person or property occurring in, on, or about the Property; or (iii) any default in the performance of any obligation of the Applicant or the owner of the Property to be performed pursuant to any condition of approval for the Project or agreement related to the Project, or any such claim, action, or proceeding brought thereon. Provided, however, that the Applicant shall have no obligation to indemnify, hold harmless, or defend the City as to any Claims that arise from the sole negligence or willful misconduct of the City. In the event any such Claims are brought against the City, the Applicant, upon receiving notice from the City, shall defend the same at its sole expense by counsel reasonably acceptable to the City and shall indemnify the City for any and all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City).
- b.** The Applicant further and separately agrees to and shall indemnify, hold harmless, and defend the City (including all Indemnified Parties) from and against any and all Claims brought by any third party to challenge the

Project or its approval by the City, including but not limited to any Claims related to the Project's environmental determinations or environmental review documents, or any other action taken by the City regarding environmental clearance for the Project or any of the Project approvals. Such indemnification shall include the Applicant's payment for any and all administrative and litigation costs and expenses incurred by the City in defending against any such Claims, including payment for all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City and the Project).

- c. The City, in its sole discretion and upon providing notice to the Applicant, may require the Applicant to deposit with the City an amount estimated to cover costs, expenses, and fees (including attorney's fees) required to be paid by the Applicant in relation to any Claims referenced herein, which shall be placed into a deposit account from which the City may draw as such costs, expenses, and fees are incurred. Within 14 days after receiving written notice from the City, the Applicant shall replenish the deposit account in the amount the City determines is necessary in the context of the further defense of such Claims. To the extent such deposit is required by the City, the amount of such deposit and related terms and obligations shall be expressed in a written Deposit Account Agreement, subject to the City Attorney's approval as to form. The City, in its sole and reasonable discretion, shall determine the amount of any initial deposits or subsequent deposits of funds, and the Applicant may provide documentation or information for the City to consider in making its determinations. Nothing within this subsection shall be construed as to relieve the Applicant's obligations to indemnify, hold harmless, or defend the City as otherwise stated herein.

B. Construction, Maintenance, and Operation Obligations:

1. **Code Requirements.** All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code,

California Building Code; and the requirements of the Planning Division, Engineering Services Department, Director of Development Services, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of this Permit request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.

As a condition of receiving the land use approvals specified herein, Applicant shall maintain the property subject to the approvals in compliance with all applicable city codes governing the condition or appearance of property. In addition to compliance with such basic standards, the property subject to these approvals shall also be maintained free of trash, plant debris, weeds, and concrete (other than existing foundations and permanent structures). Any signs placed on the property advertising such property for sale or rent shall be in accordance with applicable laws, and be kept clean, in like-new condition, and free from fading and graffiti at all times. This condition shall be applicable from the date the land use is approved. The failure to comply with this condition shall subject the approvals specified herein to revocation for failure to comply.

- 2. Agency License and Permitting.** In order to make certain on- or off-site improvements associated with the Approved Plan set, the Permit request may require review and clearance from other agencies. Nothing in these Conditions of Approval shall be construed as to waive compliance with other government agency regulations or to obtain permits from other agencies to make certain on- or off-site improvements prior to Final Map recordation, grading permit issuance, building permit issuance, or certificate of occupancy as required. This review may result in conditions determined by the reviewing agency.

At all times during the effective period of this Permit, the Applicant and any affiliated responsible party shall obtain and maintain in valid force and effect, each and every license and permit required by a governmental agency for the construction, maintenance, and operation of the authorized activity.

- 3. Utilities.** All new utilities and utility runs shall be underground, or fee payment in-lieu subject to the satisfaction of the City Engineer.
- 4. Signage.** All proposed signage associated with the Project must comply with Article 66 (Sign Ordinance) of the Escondido Zoning Code. Separate sign permits

will be required for Project signage. All non-conforming signs shall be removed. The Applicant shall submit with any sign permit graphic/list of all signs to be removed and retained, along with any new signage proposed.

5. **Noise.** All Project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
6. **Lighting.** All exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
7. **General Property Maintenance.** The property owner or management company shall maintain the property in good visual and functional condition. This shall include, but not be limited to, all exterior elements of the buildings such as paint, roof, paving, signs, lighting and landscaping. The Applicant shall paint and re-paint all building exteriors, accessory equipment, and utility boxes servicing the Project, as necessary to maintain clean, safe, and efficient appearances.
8. **Anti-Graffiti.** The Applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement, including all areas of the job site for when the Project is under construction.
9. **Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, and garbage.
10. **Roof, Wall, and Ground Level Equipment.** All mechanical equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.
11. **Staging Construction Areas.** All staging areas shall be conducted on the subject property, subject to approval of the Engineering Department. Off-site staging areas, if any, shall be approved through the issuance of an off-site staging area permit/agreement.
12. **Disturbance Coordinator.** The Applicant shall designate and provide a point-of-contact whose responsibilities shall include overseeing the implementation of Project, compliance with Permit terms and conditions, and responding to neighborhood concerns.

13. Construction Waste Reduction, Disposal, and Recycling. Applicant shall recycle or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste for residential projects or portions thereof in accordance with either Section 4.408.2, 4.408.3, or 4.408.4 of the California Green Building Standards Code; and/or for non-residential projects or portions thereof in accordance with either Section 5.408.1.1, 5.408.1.2, or 5.408.1.3 of the California Green Building Standards Code. In order to ensure compliance with the waste diversion goals for all residential and non-residential construction projects, the Applicant must submit appropriate documentation as described in Section 4.408.5 of the California Green Building Standards Code for residential projects or portions thereof, or Section 5.408.1.4 for non-residential projects or portions thereof, demonstrating compliance with the California Green Building Standards Code sections cited above.

14. Construction Equipment Emissions. Applicant shall incorporate measures that reduce construction and operational emissions. Prior to the City's issuance of the demolition and grading permits for the Project, the Applicant shall demonstrate to the satisfaction of the Planning Division that its construction contractor will use a construction fleet wherein all 50-horsepower or greater diesel-powered equipment is powered with California Air Resources Board ("CARB") certified Tier 4 Interim engines or equipment outfitted with CARB-verified diesel particulate filters. An exemption from this requirement may be granted if (i) the Applicant provides documentation demonstrating that equipment with Tier 4 Interim engines are not reasonably available, and (ii) functionally equivalent diesel PM emission totals can be achieved for the Project from other combinations of construction equipment. Before an exemption may be granted, the Applicant's construction contractor shall demonstrate to the satisfaction of the Director of Development Services that (i) at least two construction fleet owners/operators in San Diego County were contacted and those owners/operators confirmed Tier 4 Interim equipment could not be located within San Diego County during the desired construction schedule, and (ii) the proposed replacement equipment has been evaluated using the California Emissions Estimator Model ("CalEEMod") or other industry standard emission estimation method, and documentation provided to the Planning Division confirms that necessary project-generated functional equivalencies in the diesel PM emissions level are achieved.

C. Parking and Loading/Unloading.

1. No contractor or employee may store, or permit to be stored, a commercial or construction vehicle/truck; or personal vehicle, truck, or other personal property on public-right-of-way or other public property without permission of the City Engineer.
2. Any damaged parking stalls must be replaced and conform to off-street parking requirements as outlined in Article 39 (Off-Street Parking).

D. Landscaping: The property owner or management company assumes all responsibility for maintaining all on-site landscaping; any landscaping in the public right-of-way adjacent to the property, including potted plants; and any retaining and freestanding walls in a manner that satisfies the conditions contained herein.

1. Landscaped areas shall be maintained in a flourishing manner. Appropriate irrigation shall be provided for all landscape areas and be maintained in a fully operational condition.
2. All existing planting and planter areas, including areas within the public right-of-way, shall be repaired and landscaping brought into compliance with current standards. All dead plant material shall be removed and replaced by the property owner or management company.
3. If at the time of planning final inspection that it is determined that sufficient screening is not provided, the Applicant shall be required to provide additional landscaping improvements to the satisfaction of the Planning Division.
4. The landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
5. Failure to maintain landscaping and the site in general may result in the setting of a public hearing to revoke or modify the Permit approval.

E. Specific Planning Division Conditions:

1. The Applicant shall be responsible for maintaining the foliage in good condition, and must replace as necessary, if damaged.

2. The Applicant shall show on the building plans the proposed material and color for the mono-eucalyptus tree. The proposed material shall be non-reflective, and is subject to approval by the Director of Development Services, or their designee.
3. Existing adjacent trees shall remain and be protected at all times during the course of installation or modifications. In the event existing adjacent trees are damaged due to installation/construction and/or ongoing maintenance of the wireless communication facility, the Applicant shall be responsible for tree maintenance of the damaged tree(s) or replacement of damaged trees to the satisfaction of the Director of Development Services, or their designee.
4. All utility lines to the wireless communication facility shall be undergrounded.



STAFF REPORT

DATE: January 9, 2024
Historic Preservation Commission

PROJECT NUMBER / NAME: Historic Preservation Commission

REQUEST: Discussion related to the Historic Preservation Commission.

PROPERTY SIZE AND LOCATION: N/A

APPLICANT: N/A

GENERAL PLAN / ZONING: N/A

PRIMARY REPRESENTATIVE: N/A

DISCRETIONARY ACTIONS REQUESTED: N/A

PREVIOUS ACTIONS: On December 12, 2023, Commissioner Barber requested, and Commissioner Barba concurred, that the Commission discuss the proposed future of the Historic Preservation Commission and related responsibilities.

CEQA RECOMMENDATION: Not a project under CEQA, pursuant to CEQA Guidelines section 15378(b)(5).

STAFF RECOMMENDATION: None.

REQUESTED ACTION: None.

CITY COUNCIL HEARING REQUIRED: YES NO

REPORT APPROVALS: _____ Chris McKinney, Deputy City Manager/Interim Director of Development Services

Veronica Morones, City Planner



CITY of ESCONDIDO

STAFF REPORT

Agenda Item No. 5

January 9, 2024

Tentative Future Agenda Items

DATE: January 9, 2024
TO: Planning Commissioners
FROM: Veronica Morones, City Planner
SUBJECT: Tentative Future Agenda Items

The items listed below are anticipated to be brought to the Planning Commission for consideration, discussion, and/or recommendation to the City Council over the next several months. Because there are factors out of City staff's control, this list is subject to change. The intent is to provide visibility regarding projects that the Commission should expect to see in the near future. (Items are listed in no particular order.)

Additionally, these items shall not be considered to be agenda items for this meeting so no discussion is permitted other than clarification of what the item is.

Private Development Projects:

Policy Work:

- General Plan Amendment – EVSP Follow-Up
- Short-Term Rental Ordinance
- Pre-Approved Accessory Dwelling Unit Program

Informational Presentations:

- North County Mall Permit History
- California Environmental Quality Act
- Short-Term Rental Ordinance
- Objective Design Standards