



CITY of ESCONDIDO

PLANNING COMMISSION MEETING

June 24, 2025 at 7:00 PM

Council Chambers: 201 North Broadway, Escondido, CA 92025

WELCOME TO YOUR COMMISSION MEETING

We welcome your interest and involvement in the legislative process of Escondido. This agenda includes information about topics coming before the Commission.

CHAIR

Stan Weiler

VICE CHAIR

TBD

COMMISSIONERS

Carrie Mecaro

Barry Speer

Jeff Jester

Dustin Steeve

Marc Correll

Corey Gustafson

MINUTES CLERK

Alex Rangel

HOW TO WATCH

The City of Escondido provides one way to watch a Commission meeting:

In Person



201 N. Broadway, Escondido, CA 92025



CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JUNE 24, 2025

HOW TO PARTICIPATE

The City of Escondido provides two ways to communicate with the Commission during a meeting:

In Person



Fill out Speaker Slip and Submit to City Clerk

In Writing



<https://escondido-ca.municodemeetings.com>

ASSISTANCE PROVIDED

If you need special assistance to participate in this meeting, please contact our ADA Coordinator at 760-839-4869. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility. Listening devices are available for the hearing impaired – please see the City Clerk.





CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JUNE 24, 2025

AGENDA

CALL TO ORDER

FLAG SALUTE

ROLL CALL

APPROVAL OF MINUTES

- [1.](#) May 27, 2025

WRITTEN COMMUNICATIONS

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

ORAL COMMUNICATIONS

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

PUBLIC HEARINGS

Please limit your testimony to three minutes.

- [2.](#) **PL22-0010 / 2022 General Plan Amendment**

REQUEST: TABLE PL22-0010 TO A DATE UNCERTAIN TO BE RENOTICED IN ACCORDANCE WITH ARTICLE 61, DIVISION 6 OF THE ESCONDIDO ZONING CODE.

A General Plan Amendment to modify the Community Protection chapter; the addition of an Environmental Justice section to the Community Health and Services chapter; and an Addendum to the previously certified 2012 General Plan's Final Environmental Impact Report (FEIR) (SCH #20100716054) ("Project").

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido, Development Services Department



CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JUNE 24, 2025

CEQA RECOMMENDATION: The Project relies on a previously adopted addendum to the FEIR for the 2012 General Plan Update ("Addendums 1 – 3 of the FEIR"). The FEIR for the 2012 General Plan Update (SCH #20100716054) was certified on May 23, 2012. A fourth addendum to the previously adopted FEIR and Addendums 1-3 of the FEIR has been prepared for the Project ("Addendum #4").

STAFF RECOMMENDATION: Receive and File

CITY COUNCIL HEARING REQUIRED: ☒ YES ☐ NO

CURRENT BUSINESS

3. PL24-0286 – Urban Forestry Management Plan

REQUEST: A request for Planning Commission to receive the Urban Forestry Management Plan project ("Project") presentation.

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido, Development Services Department

CEQA RECOMMENDATION: Statutory Exemption – CEQA Guidelines Section 15262 (Feasibility and Planning Studies)

STAFF RECOMMENDATION: Planning Commission to receive the Urban Forestry Management Plan project ("Project") presentation and provide feedback.

CITY COUNCIL HEARING REQUIRED: ☐ YES ☒ NO

4. PL23-0381– Pre-approved Accessory Dwelling Unit Program Information Session

REQUEST: A request for Planning Commission to receive and file the Pre-approved Accessory Dwelling Unit ("PAADU") Program project presentation

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido

CEQA RECOMMENDATION: State law requires local jurisdictions to approve Accessory dwelling units ministerially. CEQA Guidelines Section 15268 exempts ministerial projects from the requirements of CEQA.

STAFF RECOMMENDATION: None

CITY COUNCIL HEARING REQUIRED: ☐ YES ☒ NO



CITY of ESCONDIDO

PLANNING COMMISSION

TUESDAY, JUNE 24, 2025

FUTURE AGENDA ITEMS

ORAL COMMUNICATIONS

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

SELECTION OF CHAIR AND VICE-CHAIR

PLANNING COMMISSIONERS REPORT

CITY PLANNER'S REPORT

- [5.](#) Tentative Future Agenda

ADJOURNMENT



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

May 27, 2025 at 7:00 PM

Council Chambers: 201 North Broadway, Escondido, CA 92025

WELCOME TO YOUR COMMISSION MEETING

We welcome your interest and involvement in the legislative process of Escondido. This agenda includes information about topics coming before the Commission.

CHAIR

Stan Weiler

VICE CHAIR

TBD

COMMISSIONERS

Marc Correll

Jeff Jester

Carrie Mecaro

Barry Speer

Dustin Steeve

Corey Gustafson

MINUTES CLERK

Alex Rangel

HOW TO WATCH

The City of Escondido provides one way to watch the Planning Commission meeting:

In Person



201 N. Broadway, Escondido, CA 92025



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

TUESDAY, MAY 27, 2025

MINUTES

CALL TO ORDER: 7:00 p.m.

FLAG SALUTE: Chair Weiler.

ROLL CALL:

Commissioners Present: Stan Weiler, Chair; Jeff Jester, Commissioner; Barry Speer, Commissioner; Dustin Steeve, Commissioner; and Corey Gustafson, Commissioner.

Commissioner Absent: Marc Correll, Commissioner; Carrie Mecaro, Commissioner.

City Staff Present: Oscar Romero, Principal Planner; Dare DeLano, Assistant City Attorney; Jason Christman, Engineering Manager; Ivan Flores, Principal Planner; and Alex Rangel, Minutes Clerk.

APPROVAL OF MINUTES:

1. **May 13, 2025 Meeting Minutes.**

Motion to approve meeting minutes.

Motion: Commissioner Jester; Second: Commissioner Speer.

Motion carried (3-0) to approve the minutes, as amended.

Ayes: Weiler, Jester, Speer.

Nays: None.

Abstain: Steeve, Gustafson.

Absent: Correll, Mecaro.

WRITTEN COMMUNICATIONS:

None.

ORAL COMMUNICATIONS:

None.

PUBLIC HEARINGS:

2. **PL25-0149/PL25-0150/PL25-0151 -339 S. Escondido Boulevard/West 4th Lofts**

REQUEST: Approval of a Planned Development Permit (Master and Precise Plan) and a Design Review Permit to allow for the construction of a 5-story multi-family building with a total of 35 units on a 0.23-acre site with residential units on the ground-floor ("Project"). The Project site is zoned Specific Planning Area (S-P), and has a General Plan Land Use Designation of Specific Planning Area 9 (Downtown Specific Plan). The Project includes a density bonus request, and would provide four (4) Very-Low-Income units.



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

TUESDAY, MAY 27, 2025

In accordance with State Density Bonus Law and Article 67 (Density Bonus and Residential Incentives), the Project would utilize two (2) incentives/concessions to reduce the required amount of open space, and to allow balconies to project into a required front yard setback. The Project also includes on- and off-site improvements consisting of new off-street parking spaces, open space, stormwater management, and right-of-way improvements. The Project includes an environmental determination.

PROPERTY SIZE AND LOCATION: The 0.23-acre site is located on the northwest corner of S Escondido Boulevard and 4th Avenue is addressed at 339 S Escondido Boulevard. (Assessor's Parcel Number(s): 233-141-15-00).

ENVIRONMENTAL STATUS: Categorical Exemption – CEQA Guidelines Section 15332 (In-Fill Development Projects)

APPLICANT: Stephen Dalton Architects

STAFF RECOMMENDATION: Recommended approval to City Council.

PUBLIC COMMENT:

Kyle Carruthers, applicant, spoke in favor of the project.

Mark Gombos submitted a public comment in opposition of the project, citing public parking concerns.

CalHDF submitted a public comment in favor of the project.

COMMISSION DISCUSSION:

The commissioners spoke in great detail regarding the project. Discussion topics included the project's request pursuant to AB 2097, density bonus concession requests, and the Downtown Specific Plan's Design Guidelines.

COMMISSION ACTION:

Motion to approve Planning Commission Resolution No. 2025-06, recommending approval of the project to the City Council.

Motion: Commissioner Speer; Second: Commissioner Jester.

Ayes: Weiler, Gustafson, Jester, Speer.

Nays: Steeve.

Absent: Correll, Mecaro.

CURRENT BUSINESS:

None.

FUTURE AGENDA ITEMS:



CITY of ESCONDIDO

PLANNING COMMISSION MINUTES

TUESDAY, MAY 27, 2025

None.

ORAL COMMUNICATIONS:

None.

SELECTION OF CHAIR AND VICE-CHAIR:

This item is postponed until a full commission can be present.

PLANNING COMMISSIONERS:

None.

CITY PLANNER'S REPORT:

Oscar Romero, Principal Planner provided the City Planner's Report in place of Veronica Morones regarding information for the next regularly scheduled Planning Commission meeting.

ADJOURNMENT

Chair Weiler adjourned the meeting at 8:19 p.m.

Oscar Romero, Acting Secretary to the Escondido
Planning Commission

Alex Rangel, Minutes Clerk



STAFF REPORT

DATE: June 24, 2025
PL22-0010 / 2022 General Plan Amendment

PROJECT NUMBER / NAME: PL22-0010 / 2022 General Plan Amendment

REQUEST: TABLE PL22-0010 TO A DATE UNCERTAIN TO BE RENOTICED IN ACCORDANCE WITH ARTICLE 61, DIVISION 6 OF THE ESCONDIDO ZONING CODE.

A General Plan Amendment to modify the Community Protection chapter; the addition of an Environmental Justice section to the Community Health and Services chapter; and an Addendum to the previously certified 2012 General Plan's Final Environmental Impact Report (FEIR) (SCH #20100716054) ("Project").

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido, Development Services Department

GENERAL PLAN / ZONING: N/A

PRIMARY REPRESENTATIVE: Veronica Morones, City Planner

DISCRETIONARY ACTIONS REQUESTED: None

PREVIOUS ACTIONS: N/A

CEQA RECOMMENDATION: The Project relies on a previously adopted addendum to the FEIR for the 2012 General Plan Update ("Addendums 1 – 3 of the FEIR"). The FEIR for the 2012 General Plan Update (SCH #20100716054) was certified on May 23, 2012. A fourth addendum to the previously adopted FEIR and Addendums 1-3 of the FEIR has been prepared for the Project ("Addendum #4").

STAFF RECOMMENDATION: Receive and File

REQUESTED ACTION: Table to a date uncertain.

CITY COUNCIL HEARING REQUIRED: ☒ YES ☐ NO

REPORT APPROVALS: ☐ Christopher W. McKinney, Interim Director of Development Services

☒ Veronica Morones, City Planner



STAFF REPORT

DATE: 06/24/2025

PL24-0286 – Urban Forestry Management Plan Informational Item

PROJECT NUMBER / NAME: PL24-0286 – Urban Forestry Management Plan

REQUEST: A request for Planning Commission to receive the Urban Forestry Management Plan project (“Project”) presentation.

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido, Development Services Department

GENERAL PLAN / ZONING: N/A

PRIMARY REPRESENTATIVE: Pricila Roldan, Associate Planner and Dudek

DISCRETIONARY ACTIONS REQUESTED: N/A

PREVIOUS ACTIONS: August 14, 2024: The Escondido City Council voted 5-0 to adopt Resolution No. 2024-127, authorizing the City to accept grant funds from the US Department of Agriculture (“USDA”)/US Forest Service (“USFS”) in the amount of \$665,500 to develop the Urban Forestry Management Plan and fund maintenance for Arbor Day plantings.

October to December 2024: Planning staff released a Request for Proposals soliciting consultant support for the grant. City staff concluded that Dudek would be the most qualified consulting team due to their experience and ability to deliver on the grant’s scope of work.

February 19, 2025: The Escondido City Council approved Resolution No. 2025-09, awarding a consulting agreement to Dudek for development of the Urban Forestry Management Plan.

CEQA RECOMMENDATION: Statutory Exemption – CEQA Guidelines Section 15262 (Feasibility and Planning Studies)

STAFF RECOMMENDATION: Planning Commission to receive the Urban Forestry Management Plan project (“Project”) presentation and provide feedback.

REQUESTED ACTION: Receive presentation and provide feedback to City staff.

CITY COUNCIL HEARING REQUIRED: ☐ YES ☒ NO

REPORT APPROVALS: ☐ Dare DeLano, Assistant City Attorney

☒ Veronica Morones, City Planner



CITY of ESCONDIDO

STAFF REPORT

Item 3.

BACKGROUND

The City of Escondido's Climate Action Plan ("CAP") seeks to reduce Citywide emissions through 11 strategies and over a dozen implementation measures. Strategy 9 of the CAP directs the City to develop an Urban Forestry Plan ("UFMP"). Urban Forestry Plans are documents that guide the care for a City's urban forests. An urban forest is a collection of trees that grow within a city, and may include public spaces, such as: trees in parks, along street rights of way, as well as any other public property area. Urban forests may also include private property as well, such as in private yards. Current literature on urban forests shows that expanding a City's urban forest reduces exposure to heat and particulate matter thereby improving public health; lowers energy bills through reducing pockets of heat from impervious surfaces like asphalt; and makes public spaces more enjoyable for community members.

In 2024, the Escondido City Council voted 5-0 to adopt Resolution No. 2024-127, authorizing the City to accept grant funds from the USDA/USFS in the amount of \$665,500 ("UFMP Grant"). The UFMP Grant aims to produce an UFMP and fund ongoing tree maintenance for tree plantings. In late 2024, Planning staff released a Notice of Request for Proposals and selected Dudek as the most qualified consultant to develop an UFMP.

The UFMP Grant was initially scoped to take place during a three-year timeframe. However, in March 2025 the Federal Administration announced mass reductions and early retirements to the USFS which forecasts spending cuts across several Forest Service programs in the next fiscal year--which begins in October 2025. Funding uncertainty has reduced the UFMP Grant's initial timeline to September 30, 2025, making the three-year project a five-month project. Staff has been working diligently with Dudek to deliver on the grant's objectives within the new timeframe.

SUMMARY OF REQUEST

The UFMP Grant seeks to develop a document/plan that will guide how the City cares for its urban forest. Recommendations will be based on:

1. An Analysis of Urban Forestry Resources: A tree-inventory sustainability and environmental services analysis for publicly-managed trees, and a Citywide canopy cover analysis for the entire urban forest (public and private trees); and
2. A programmatic review of the processes, policies, and procedures of the City's tree maintenance program to ensure alignment across all regulatory and guiding documents; and
3. A collection of community input from outreach and engagement events.

Initially, the City planned to use a portion of the UFMP Grant to fund ongoing tree maintenance specifically for Arbor Day plantings. However, changes to the UFMP Grant's timeline have re-directed a partial amount of funding for tree plantings to more generalized areas for planting. The UFMP Grant stipulates a focus on neighborhoods identified as experiencing a disproportionate amount of heat, air pollution, health risks and more, in accordance with the Council on Environmental Quality's [Climate and Economic Justice Screening Tool](#) ("CEJST"). The City's application for the UFMP Grant included a focus on CEJST neighborhoods, which waived a 50-percent match requirement. To meet the UFMP Grant's stipulations, the City will prepare planting sites to occur in CEJST identified areas.

Resident engagement for tree plantings is currently underway. When a planting site is identified, homes will receive information about Escondido's Free Street Tree Planting Program. Residents who opt-in will select a tree species



CITY of ESCONDIDO

STAFF REPORT

Item 3.

based on their potential planting sites identified in their adjacent parkway area. Staff will guide the resident in species selection, and encourage the selection of the largest stature tree appropriate for each site. While tree plantings will be specific to CEJST communities and occur prior to the final UFMP, the final UFMP will provide findings and future recommendations for the entirety of the City.

To date, Dudek and City staff have begun analyses including tree-inventory sustainability and environmental values, community engagement and outreach efforts, and preparing a planting list for identified CEJST sites. The City is actively seeking input from the community via a survey and during community events. Timeline for the Project is as follows:

- **April 2025:** Begin existing conditions assessment
- **May to August 2025:** Community engagement
- **May to September 2025:** Identification of vacant sites, tree plantings, and tree maintenance
- **August 2025:** UFMP Draft and regulatory update

FISCAL ANALYSIS

This item is informational only. The Urban Forestry Management Program, comprised of the creation of the Urban Forestry Management Plan, tree plantings, and subsequent policy alignment, is grant funded by the U.S. Department of Agriculture and U.S. Forest Service in the amount of \$665,500.

ENVIRONMENTAL ANALYSIS

The Project is Statutorily Exempt in accordance with Section 15262 of the CEQA Guidelines which does not require the preparation of an EIR or Negative Declaration for projects involving feasibility or planning studies that have not been approved, adopted, or funded.

PUBLIC INPUT

Dudek and City staff plan to conduct two focus group events in late June.

An Urban Forestry Management Plan survey is available for the public to provide input until July 18, 2025. The survey can be accessed via the following link and is available in both English and Spanish.

<https://arcg.is/OCODa2>

Dudek and City staff will attend various community events in Spring and Summer 2025 including Escondido's Street Festival, Valley Vibes, Cruising Grand Kick off, and National Night Out Against Crime.

CONCLUSION AND RECOMMENDATION: Planning Commission to receive the Urban Forestry Management Plan project ("Project") presentation and provide feedback

ATTACHMENTS

1. Attachment 1- Urban Forestry Management Plan Survey Flyer
2. Attachment 2- Urban Forestry Management Plan Free Tree Program Door Hanger

Help shape the future of **ESCONDIDO'S TREES**



Thoughts on Escondido's trees?

The City of Escondido is creating a plan to care for our trees, and we want to hear from you!

**Take the survey. It takes
less than 10 minutes!**

Survey closes
June 30th



Why trees matter:

- Lower energy bills
- Clean our air and water
- Keep neighborhoods cooler
- Make outdoor spaces more enjoyable

Questions?

Email us: UFMP@dudek.com

Learn more: www.escondido.gov/651

DUDEK



Sé parte del futuro de **LOS ÁRBOLES DE ESCONDIDO**



¿Y tus opiniones sobre los árboles de Escondido?

¡La Ciudad de Escondido está creando un plan para cuidar nuestros árboles—queremos escuchar tu opinión!

**Toma nuestra encuesta.
Toma menos de 10 minutos.**

La encuesta termina
el 30 de Junio



Los árboles importan porque:

- Limpian nuestro aire y agua
- Mantienen los vecindarios más frescos
- Reducen el costo de energía
- Hacen que los espacios al aire libre sean más agradables

¿Preguntas?

Envíanos un correo: UFMP@dudek.com
Aprende más: www.escondido.gov/651



DUDEK



Adopt a Tree Today!

The City of Escondido is planting trees. The open space near your street curb was identified as a great place to grow a tree!

To qualify you must agree to:

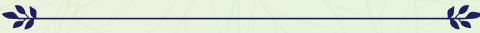
-  Have a tree planted
-  Commit to watering your new tree, twice a week for 3 years during the Dry Season (from May–November).

Why 3 years?

Newly planted trees need time to adjust to their new homes. Watering helps their roots “establish” to the soil and climate.



Scan the QR code below **before July 31.**

The City will come and plant a tree for free!



¡La Ciudad de Escondido está plantando árboles! Las áreas verdes alrededor de tu casa han sido identificadas como lugares ideales para plantar un árbol.

Para calificar, debes comprometerte a lo siguiente:

-  Permitir que se plante un árbol
-  Regar tu árbol dos veces por semana durante 3 años en temporada de sequía (de mayo a noviembre).

¿Por qué 3 años?

Los árboles recién plantados necesitan tiempo para adaptarse a su nuevo hogar. Regarlos con regularidad ayuda a que sus raíces se establezcan y se adapten al clima.





*Escanea el código QR a continuación **antes del 31 de julio.***

¡La Ciudad vendrá y plantará tu árbol gratis!



When you adopt tree through the Request a Free Tree program, you contribute to your community by creating shaded walking paths, that cool your neighborhood and provide cleaner air and water for your community.

How it works:





-  A City inspector will visit your home to confirm it's eligible.
-  During the visit, they'll help you choose a tree species that fits the space and avoids conflicts with utilities like power lines, street lights, and water meters.
-  The City will come back to plant the tree
-  You help the tree grow by watering. Once your tree matures and grows larger, the City will maintain pruning for the tree.

Please note that trees will only be planted within the City right-of-way



Cuando adoptas un árbol a través del programa Solicita un Árbol Gratis, contribuyes a tu comunidad, dándole sombra a tu vecindad. Los arboles tambien ayudan a mantener el agua y aire limpio.

Cómo funciona:

-  Un inspector visitará tu casa para confirmar que sea elegible.
-  Durante la visita, le ayudará a elegir el árbol adecuado para su espacio, asegurándose que no cause conflictos con servicios públicos como cables eléctricos y medidores de agua.
-  Luego, la Ciudad regresará para plantar su árbol
-  Al regarlo, ayudaras al árbol a crecer. Cuando el árbol madure y crezca, la Ciudad se encargará de podarlo.

Ten en cuenta que los árboles solo se plantarán en áreas residenciales y dentro del la vía de la Ciudad.

Want more information?

¿Quiere más información?

escondido.gov/627/Request-a-Free-Tree

Call us to adopt at **760-839-4668**



Funding for this project is supported by GreenLatinos and the U.S. Department of Agriculture, Forest Service."



STAFF REPORT

DATE: 06/24/2025

PL23-0381 – Pre-approved Accessory Dwelling Unit Program Information Session

PROJECT NUMBER / NAME: PL23-0381– Pre-approved Accessory Dwelling Unit Program Information Session

REQUEST: A request for Planning Commission to receive and file the Pre-approved Accessory Dwelling Unit (“PAADU”) Program project presentation

PROPERTY SIZE AND LOCATION: CityWide

APPLICANT: City of Escondido

GENERAL PLAN / ZONING: N/A

PRIMARY REPRESENTATIVE: Pricila Roldan, Associate Planner

DISCRETIONARY ACTIONS REQUESTED: N/A

PREVIOUS ACTIONS:

August 2021 to December 2023: The Escondido City Council adopted the Sixth Cycle Housing Element in 2021, amended the Element in 2023, and received funding from the California Department of Housing and Community Development to create a pre-approved Accessory Dwelling Unit (“PAADU”) Program consistent with Housing Element Program 2.1.

January 2024 to March 2024: The City of Escondido released a Request for Proposals soliciting consultant support for the development of a PAADU program and contracted with RRM Design Group.

March 2024 to January 2025: Staff worked with RRM Design group to create and launch the PAADU program.

CEQA RECOMMENDATION: State law requires local jurisdictions to approve Accessory dwelling units ministerially. CEQA Guidelines Section 15268 exempts ministerial projects from the requirements of CEQA.

STAFF RECOMMENDATION: None

REQUESTED ACTION: Receive the Staff Report and presentation

CITY COUNCIL HEARING REQUIRED: ☐ YES ☒ NO

REPORT APPROVALS: ☐ Dare DeLano, Assistant City Attorney

☒ Veronica Morones, City Planner



CITY of ESCONDIDO

STAFF REPORT

Item 4.

BACKGROUND

In 2021, the City of Escondido adopted the Sixth Cycle Housing Element which set forth the goals, policies, and programs that will meet current and future housing needs of residents living within the City. Program 2.1 of the Housing Element seeks to address the California state legislature's requirement to create a pre-approved Accessory Dwelling Unit ("PAADU") program by January 1, 2025. Accessory Dwelling Units ("ADUs") are small, residential units that are located within the lot of a single-family home or multifamily residential property. In the City of Escondido, ADU's can range from a couple hundred square feet to 1,000 square feet. ADUs may be attached to the main property structure; they may be detached, stand-alone structures; or interior conversions within the primary unit such as a single-family home garage conversion into a living space.

In 2024, City staff began the implementation of program 2.1 by publishing a Request for Proposals to solicit support in developing a set of four ADU plans. The plans would eventually be reviewed and approved by the City of Escondido for public use and consumption. In addition to the plan sets, the City solicited support to develop bilingual (Spanish and English) educational materials about the program. In March of 2024, the City successfully contracted with RRM Design Group, an architecture and urban design team. Staff presented to the Planning Commission on June 11, 2024 to provide a progress update and glean feedback on RRM's proposed ADU plans.

During the latter half of 2024, City staff worked in conjunction with RRM to produce pre-approved plans for ADUs. On January 2025, the City launched the PAADU program. In addition to the materials prepared by the City and RRM, City staff continue to update internal tracking and permitting systems to determine program efficacy. As of the writing of this staff report, since the launch of the program at the beginning of the year, the City's Development Services Department has received a total of eight applications for pre-approved ADUs. The City will continue to educate and provide outreach when feasible on the program.

SUMMARY OF REQUEST

Receive and file staff's memo and presentation.

SUPPLEMENTAL DETAILS OF REQUEST

As part of the PAADU program, the City has developed four sets of ADU plans that may be used, at no cost, by Escondido residents. The provided floor plans include a:

1. 484 square foot studio that can be converted into a 1-bedroom
2. 640 square foot 2-bedroom, 1-bathroom unit
3. 840 square foot 2-bedroom, 2-bathroom unit
4. 1,000 square foot 2-bedroom, 2-bathroom unit that can be converted into a 3-bedroom

Plans are customizable to allow variations in color, materials, window and door arrangements. Plans also offer optional porch space and an 'aging-in-place' design by allowing for reinforcement grab bars in bathrooms and showers.

To help residents navigate the ADU permit process, staff developed a collection of educational materials including a program brochure, guidebook, frequently asked questions, and a process chart.

Full plan sets and educational materials can be viewed using the following link:



CITY of ESCONDIDO

STAFF REPORT

Item 4.

<https://www.escondido.gov/1207/Pre-Approved-ADU-Program-PAADU>.

FISCAL ANALYSIS

The PAADU program was funded with Local Early Action Planning (LEAP) grant dollars provided by the California Department of Housing and Community Development. The total cost of the program was \$213,942.

ENVIRONMENTAL ANALYSIS

State law requires local jurisdictions to approve ADU permits ministerially. Per CEQA Guidelines Section 15268, ministerial projects are exempt from the requirements of CEQA.

PUBLIC INPUT

During the Fall of 2024, staff held two community events at the Escondido Public Library to inform residents about the PAADU program. Approximately 140 residents attended between the two events. A summary of the community workshops can be found under Attachment 1.

CONCLUSION AND RECOMMENDATION

This presentation serves as an outreach opportunity to the community and decision makers, as well as to provide the Planning Commission with a reporting out of the final program and materials.

ATTACHMENTS

1. PAADU Community Workshop Summary
2. Final Plans (excerpted floor plans and elevations only)
3. PAADU Guidebook



Pre-Approved ADU (PAADU) Program Community Workshops Summary



Introduction

The California Department of Housing and Community Development awarded the City of Escondido Local Early Action Planning (LEAP) grant funding to design pre-approved ADU building plans for residents to download and use. Pre-approved ADU building plans are plans that undergo preliminary building plan check and approval by the City for compliance with necessary regulations like the California Building Code and Escondido's Zoning Code. Because plans are pre-screened, review times for approval may be shorter.

In 2023, the State Legislature passed Assembly Bill 1332 which requires local agencies to make pre-approved ADU plans available by January 1, 2025. To meet the state legislature's ambitious deadline and deliver on the LEAP grant's objectives, the City of Escondido contracted with RRM Design Group, an architecture and urban design consulting firm, to provide pre-approved plans, community outreach and publication materials.

In the months of August and September of 2024, The City of Escondido, in collaboration with RRM Design Group (RRM), facilitated two community workshops. The following pages include a summary of the workshops, including format, content, activities conducted, and supporting images.

Purpose

The purpose of the community workshops informed and engaged the public about ADUs and the PAADU Program. The content presented provided an overview on ADUs, introduced the PAADU Program's benefits and options, and familiarized attendees with the process to develop an ADU on their property. The workshops were intended to be accessible by Spanish and English speakers. All materials presented at the community workshop were available in English and Spanish language. Furthermore, each community workshop offered three bilingual facilitators with fluency in English and Spanish to engage with all participants. The community workshop also accommodated parents and guardians by providing kids' activities tables, housing-themed coloring pages, and crayons.



Community Workshop #2



Community Workshop #1

Dates/Times

The community workshops sought to accommodate attendees' varying schedules by taking place on different days of the week and times during the day. The first community workshop was conducted on Thursday, August 29 - 5:30 p.m. to 7 p.m. and the second community workshop took place on Saturday, September 14 - 9 a.m. to 10:30 a.m. Hosting workshops during these times minimized conflicts with employment and family commitments, helping guarantee attendance from a diverse group of community members.

Location

Both of the PAADU Program community workshops were conducted at the City of Escondido Public Library, located at 239 S. Kalmia St. Escondido, CA 92025. The Public Library was selected due to its central and accessible location, and the versatility of its Turrentine Room, which has a seating capacity of 50 people and includes amenities like on-site furniture and audiovisual equipment suitable for presentations and group activities.

Event Promotion

A custom flyer was developed to promote both workshops and was distributed through various channels including hard copy flyers, social media posts and email blasts to stakeholders like schools and local businesses. The flyer was designed incorporating City of Escondido's branding colors and fonts, presented information in an engaging format. The flyer was made available in English and Spanish.

The flyer was shared on the City of Escondido's Instagram account and received 55 likes and shared 19 times. The flyer was also shared on City of Escondido's Facebook page and received 53 likes and was shared 24 times. To further increase awareness of the event, the City of Escondido provided paid advertisement of the event's flyer post on Facebook for all users in City of Escondido zip codes.



Workshop Handbook

The flyer was also published on the PAADU Program webpage, and the Events Calendar, both found on the City of Escondido's website. Flyer hardcopies were posted at City Hall and at the Public Library. Additionally, the flyer was distributed via email by City staff to various local and regional organizations such as Escondido Union High School District, County of San Diego, CSU San Marcos.

Content and Format

The community workshop's structure to allowed attendees to sign-in, enjoy food and refreshments before an introductory presentation on the PAADU program. After the presentation, attendees participated in group activities, provided comments, and responded/asked questions.

1. Welcome/Check-In

City and RRM staff greeted and welcomed attendees at the check-in table, which was located by the main entrance. A sign-in sheet was available, and attendees were invited to write down their information. Each attendee was provided a workshop handbook which included an introduction, the event's agenda with a brief description of each component of the workshop, and a QR code to the PAADU Program webpage found on the City of Escondido's website.

2. Welcome Map and Welcome Question

A welcome map showing the extent of the City of Escondido boundaries was available next to the welcome/check-in table, allowing attendees to engage with a quick activity right after checking-in. The welcome map included instructions for attendees to place a pushpin to indicate the area of the City of Escondido where they live and/or work. The intent of the map was to help visualize where the workshop attendees were coming from.

Next to the welcome map, attendees were invited to respond to the question "Are you interested in building an ADU?" on a board, by placing a sticky do on their response. Attendees captured on the board whether they are interested in building an ADU, or if they don't know what an ADU is.

3. Food and Refreshments

As part of the welcome/check-in, attendees were invited to stop by the food table and find a seat before the introduction presentation started. Food and refreshments were made available to ensure that attendees would not be discouraged from attending the workshop due to conflicts with attendees' mealtimes.

4. Introduction Presentation

City staff and RRM Design Group provided an introductory presentation. During the first community workshop, the presentation was conducted in English and Spanish. At the second community workshop, the presentation was conducted in English, and simultaneous Spanish translation was available at the second community workshop, attendees interested in utilizing the service were provided with headsets to listen to the translation.

Presentation Outline

- Introductions to City of Escondido staff and RRM Design Group
- Housing Crisis in California
- Introduction to ADUs
 - » ADUs, detached ADUs, and conversions
 - » ADUs / JADUs
 - » ADU Benefits
 - » Legislative Landscape
 - » ADUs in Escondido
- Introduction to PAADU Program
 - » Purpose
 - » Benefits
- Pre-Approved Prototypes Overview
 - » Overview of the different prototypes available through the program, including the range of sizes, customization options, garage conversions, and an explanation of how the program would work in the Old Escondido Neighborhood.
- Permitting process and submittal requirements
- Explanation of workshop table activities.

5. Workshop Tables

A. "What are my options to place an ADU on a typical lot?" activity

- ### B. “Draw a site plan” activity

- ## 6. Informational Boards

A. What are some barriers to developing an ADU?

- ## B. PAADU Program

- ### C. PAADU Program Prototype Plans

- ## Participation:

- [illegible]

4

What we heard:

The following includes a list of questions asked by attendees at the community workshops:

- How many ADUs are allowed in one lot?
- Do I have to live in the main house or the ADU to be able to use the PAADU program?
- What are the required setbacks?
- Do I have to pay a surveyor to survey my property to prove to the City that the ADUs fit?
- Does the City have a list of recommended general contractors?
- Am I allowed to act as my own contractor?
- Am I allowed to build my own ADU?
- How much time will I save using the PAADU program?
- Does the PAADU program apply to pre-fabricated ADUs?
- When will the PAADU floor plans be available for use?
- Does the City require off-street parking for ADUs?
- Can the pre-approved ADUs be adapted? As in, can I use one of the floor plans but add an attached garage and still take advantage of the PAADU program?
- Where is the QR Code for the City's website?
- How do I start this process? Do I hire a surveyor, a contractor, or someone else first?
- When will these plans be available?
- What is the approximate cost per square foot?
- Can we change the location of/add-remove windows?
- Are we required to meet Title 24 since windows will not face the same direction?
- What is the cost of the plans?
- Who is paying for the plans? Will the city be making money out of it?
- Who do I need to talk to first, my HOA or the City?
- Can the HOA reject these plans if they're already approved by the city?
- How would the structure of my main residence be affected if I build an ADU above my garage?
- Is the City offering any grants and/or financing plans/options to build ADUs?
- Do we need new water and electrical meter for each ADU in the property?
- Is there a parking requirement for ADUs?
- What if the PAADU plans don't match the design of my house?
- Is the 10ft distance required to the main structure or to any existing structure, like a patio cover?
- Will the space between the ADU and the main property become a shared space, like in a condo?
- Are we required to do a soils report with these PAADU plans?
- Why is the City only allowing 1,000 sq ft if the State says an ADU can be 1,200?



Community Workshop #1



Community Workshop #2

"Draw a Site Plan" Activity - Materials

Item 4.



DRAW YOUR SITE PLAN

START HERE:

- For this exercise you will be an applicant that lives on E. Mission Avenue. You will be creating a site plan that incorporates an ADU on a typical residential property.
- The residential lot on E. Mission Avenue that we will use as part of this exercise is zoned R-1-6.
- Start by reviewing the considerations list (below) and trace your ADU on the lot.



CONSIDERATIONS:

- Front Setback: 15 feet.
- Side Setbacks: 4 feet.
- Rear Setback: 4 feet.
- Required Parking: None.
- Maximum Lot Coverage: 40%.
- Minimum Distance Between Buildings: 10 feet.
- Access doors and entry for the accessory dwelling unit shall not be oriented to the nearest adjacent property line.

SITE PLAN ELEMENTS:

- North arrow.
- Scale.
- Labels on structures.
- Lot coverage calculation.



DIBUJE SU PLANO DEL SITIO

EMPIECE AQUI:

- Para este ejercicio usted será un solicitante que vive en E. Mission Avenue. Usted creará un plano del sitio que incorpora una ADU en una propiedad residencial típica.
- El lote residencial en E. Mission Avenue que se utilizará en este ejercicio está clasificado en la zona R-1-6.
- Comience revisando la lista de consideraciones (a continuación) y dibuje su ADU en el lote.



CONSIDERACIONES:

- Alineación frontal: 15 pies.
- Alineación lateral: 4 pies.
- Alineación trasera: 4 pies.
- Estacionamiento requerido: Ninguno.
- Cobertura máxima del lote: 40%.
- Distancia mínima entre edificios: 10 pies.
- Puertas de acceso y entrada a la unidad de vivienda secundaria (ADU) no deberán orientarse hacia el punto adyacente más cercano línea de propiedad.

ELEMENTOS DEL PLANO DEL SITIO:

- Flecha norte.
- Escala.
- Etiquetas en estructuras.
- Cálculo de cobertura de lote.

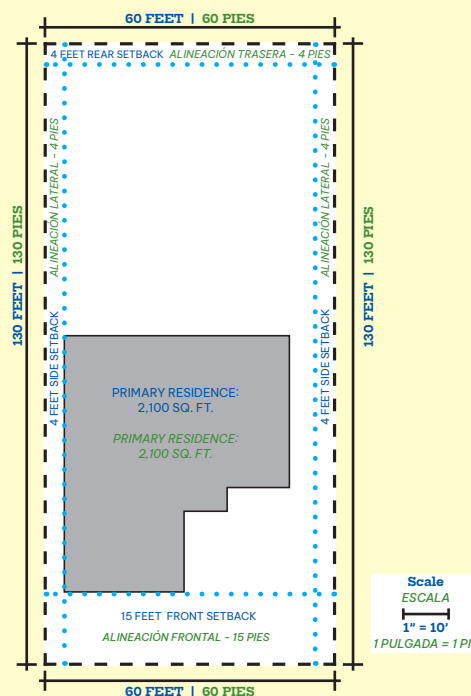


SITE PLAN CHECKLIST

LISTA DE VERIFICACIÓN DEL LOTE DEL SITIO

North Arrow Flecha Norte	Included Incluido	<input type="checkbox"/>
Scale Escala	Included Incluido	<input type="checkbox"/>
Lot Size Tamaño del Lote	Included Incluido	<input type="checkbox"/>
Property Lines Límites de Propiedad	Included Incluido	<input type="checkbox"/>
Setbacks Alineación Trasera	Included Incluido	<input type="checkbox"/>
Does your site plan comply with all setbacks? ¿Su plano del sitio cumple con todas las alineaciones?		<input type="checkbox"/>
Calculate your lot coverage, is the percentage under 40%? Calcula la cobertura de tu lote, es ¿El porcentaje es inferior al 40%?		<input type="checkbox"/>
Is there a minimum of 10 feet between the primary residence and ADU? ¿Hay un mínimo de 10 pies entre la residencia principal y ADU?		<input type="checkbox"/>
Maximum Lot Coverage Calculation Cálculo de cobertura máxima de lote	Primary Residence SF + ADU SF = X Total Lot SF	
	Primary Residence SF + ADU SF = X Total Lot SF	

DRAW A SITE PLAN DIBUJE UN PLANO DEL SITIO



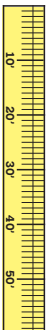
ADU templates and ruler available for attendees to use as part of the activity

1-bed/1-bath
ADU - 484 sf

2-bed/1-bath ADU
640 sf

2-bed/2-bath ADU
850 sf

3-bed/2-bath ADU
996 sf



"What are my Options to Place an ADU on a Typical Lot?" Activity

ESCONDIDO
City of Choice

DIFFERENT WAYS TO INCORPORATE AN ADU ON YOUR PROPERTY

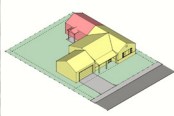
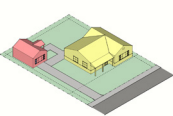
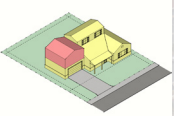
JUNIOR ACCESSORY DWELLING UNITS (JADU):

- Between 150 to 500 square feet.
- JADUs may have direct, interior access to the main residence and share sanitation facilities.
- JADUs must provide an efficiency kitchen.
- JADUs must be located within the primary residence.

ACCESSORY DWELLING UNITS (ADU):

- Up to 1,000 square feet.
- ADUs cannot provide access to the main residence.
- ADUs must include independent sanitation facilities and kitchen.

TYPES OF ADUs:

Attached ADUs	Detached ADUs	ADU Conversion
		
Attached to the primary building as an addition.	Detached and completely separate from the primary building.	Conversion of existing space by adapting an underutilized space like a garage or attic.

ESCONDIDO
City of Choice

DIFERENTES MANERAS PARA INCORPORAR UNA ADU EN SU PROPIEDAD

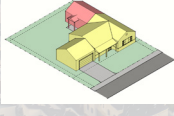
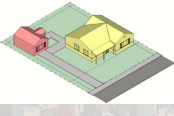

UNIDADES DE VIVIENDA SECUNDARIAS JÚNIOR (JADU):

- Desde 150 hasta 500 pies cuadrados.
- Las JADU pueden tener acceso interior directo a la residencia principal y compartir instalaciones sanitarias.
- Las JADU deben proporcionar una cocina eficiente.
- Las JADU deben estar ubicadas dentro de la propiedad de la residencia principal.

UNIDADES DE VIVIENDA SECUNDARIAS

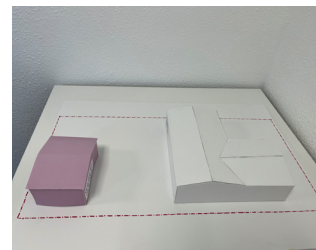
- Hasta 1,000 pies cuadrados.
- Las ADU no pueden proporcionar acceso a la residencia principal.
- Las ADU deben incluir instalaciones sanitarias independientes y cocina.

TIPOS DE ADUs

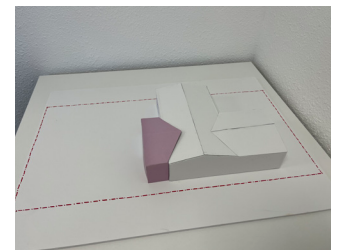
ADU Adjuntas	ADUs Separadas	Conversión a ADUs
		
Adjuntas a la residencia principal, son construidas como una adición.	Independientes y completamente separadas de la residencia principal.	Conversión de un espacio existente, logrado a través de la adaptación de un espacio subutilizado como una cochera o un ático.



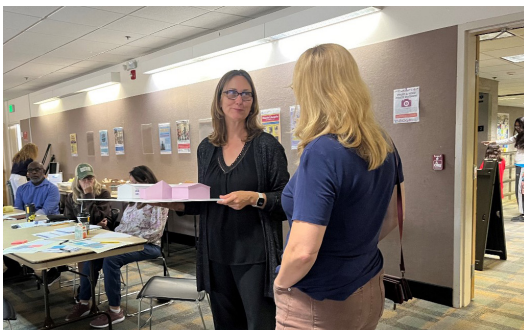
Community Workshop #1



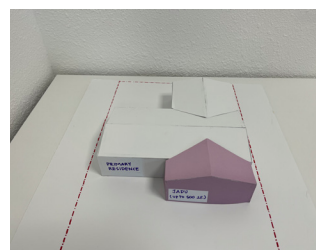
Model showing detached ADU.



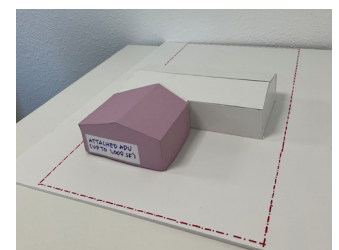
Model showing JADU.



Community Workshop #2




Model showing attached ADU.



Model showing a garage conversion option.

PAADU Program

An overview of the PAADU Program was captured on a board that explained the purpose of the program, potential users, and benefits.



ESCONDIDO
City of Choice

PRE-APPROVED ADU PAADU PROGRAM

WHAT IS THE PAADU PROGRAM?

- ◆ The PAADU Program provides Escondido residents with pre-approved plans that can be used at no charge to develop an ADU on their property.
- ◆ These pre-approved plans have already gone through a rigorous City review, which helps applicants save time.
- ◆ These plans comply with the local zoning code and building codes, which allows for a simplified approval process during the permitting process.

WHAT ARE THE BENEFITS?

- ◆ Cost savings related to the design of the ADUs.
- ◆ Time savings with a smoother review and permitting process.
- ◆ Reduced uncertainty in the design and permitting phases.
- ◆ An overall simplified process accessible for people unfamiliar with construction and development.

WHO CAN USE THE PAADU PROGRAM?

- ◆ When the program is launched, the pre-approved plans will be available to the public for download and use.
- ◆ Applicants will be able to utilize them to incorporate ADUs in their residential properties in Escondido.



ESCONDIDO
City of Choice

PROGRAMA DE ADUs PREAPROBADAS (PAADU)

¿QUÉ ES EL PROGRAMA PAADU?

- ◆ El programa PAADU proporciona a los residentes de Escondido planos preaprobados que pueden usarse sin costo alguno para desarrollar una ADU en su propiedad.
- ◆ Estos planes preaprobados ya han pasado por una rigurosa revisión de la Ciudad, lo que ayuda a los solicitantes a ahorrar tiempo.
- ◆ Estos planes cumplen con el código de zonificación local y los códigos de construcción, lo que permite un proceso de aprobación simplificado durante el proceso de obtención de permisos.

¿CUÁLES SON LOS BENEFICIOS?

- ◆ Ahorro de costos relacionados con el diseño de las ADU.
- ◆ Ahorro de tiempo con un proceso de revisión y obtención de permisos más fluido.
- ◆ Reducción de la incertidumbre en las fases de diseño y permisos.
- ◆ Un proceso simplificado accesible para personas no familiarizadas con la construcción y el desarrollo.

¿QUIÉN PUEDE UTILIZAR EL PROGRAMA PAADU?

- ◆ Cuando se lance el programa, los planes preaprobados estarán disponibles para el público para su descarga y uso.
- ◆ Los solicitantes podrán utilizarlos para incorporar ADU en sus propiedades residenciales en Escondido.

PAADU Program Prototype Plans

Attendees were presented with the range of prototype plans available as part of the PAADU Program, including the plans' different shapes and sizes, as well as number of bedrooms/baths. Draft plan sets were available for attendees to review to learn more about the prototypes.

ESCONDIDO City of Choice **PAADU PROGRAM** **PLANOS PROTOTIPOS DEL PROGRAMA PAADU**

PRE-APPROVED PLAN 1 (1 bed/1 bath studio - 484 square feet)
PLANO PREAPROBADO 1 (Estudio de 1 habitación/1 baño - 484 pies cuadrados)



PRE-APPROVED PLAN 2 (2 bed/1 bath - 640 square feet)
PLANO PREAPROBADO 2 (2 habitaciones/1 baño - 640 pies cuadrados)



PRE-APPROVED PLAN 3 (2 bed/2 bath - 850 square feet)
PLANO PREAPROBADO 3 (2 habitaciones/2 baños - 850 pies cuadrados)

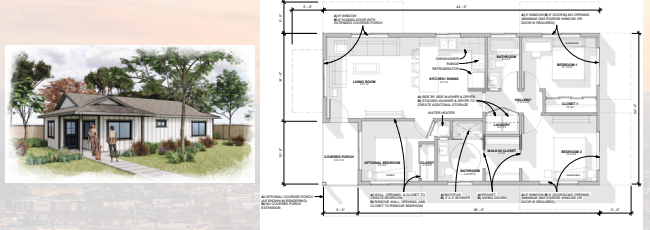


NOTE: All graphics displayed herein are in progress and are not available to be utilized by applicants until the PAADU program is launched.

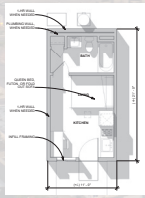
NOTA: Todos los gráficos que se muestran aquí están en progreso y no están disponibles para que los utilicen los solicitantes hasta que se lance el programa PAADU.

ESCONDIDO City of Choice **PAADU PROGRAM** **PLANOS PROTOTIPOS DEL PROGRAMA PAADU**

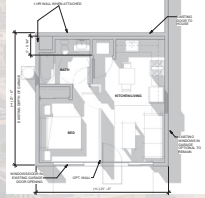
PRE-APPROVED PLAN 4 (3 bedroom/2 bath - 996 square feet)
PLANO PREAPROBADO 4 (3 habitaciones/2 baños - 996 pies cuadrados)



ONE-CAR GARAGE CONVERSION
CONVERSIÓN DE COCHERA DE UN VEHÍCULO



TWO-CAR GARAGE CONVERSION
CONVERSIÓN DE COCHERA DE DOS VEHÍCULOS



ADUs IN OLD ESCONDIDO NEIGHBORHOOD (OEN)
ADUs EN EL ÁREA DE OLD ESCONDIDO NEIGHBORHOOD (OEN)

The PAADU Program will incorporate decorative detailing for ADUs to match the style of existing residences in the Old Escondido Neighborhood (OEN) or significant historic structures representative of the following styles:

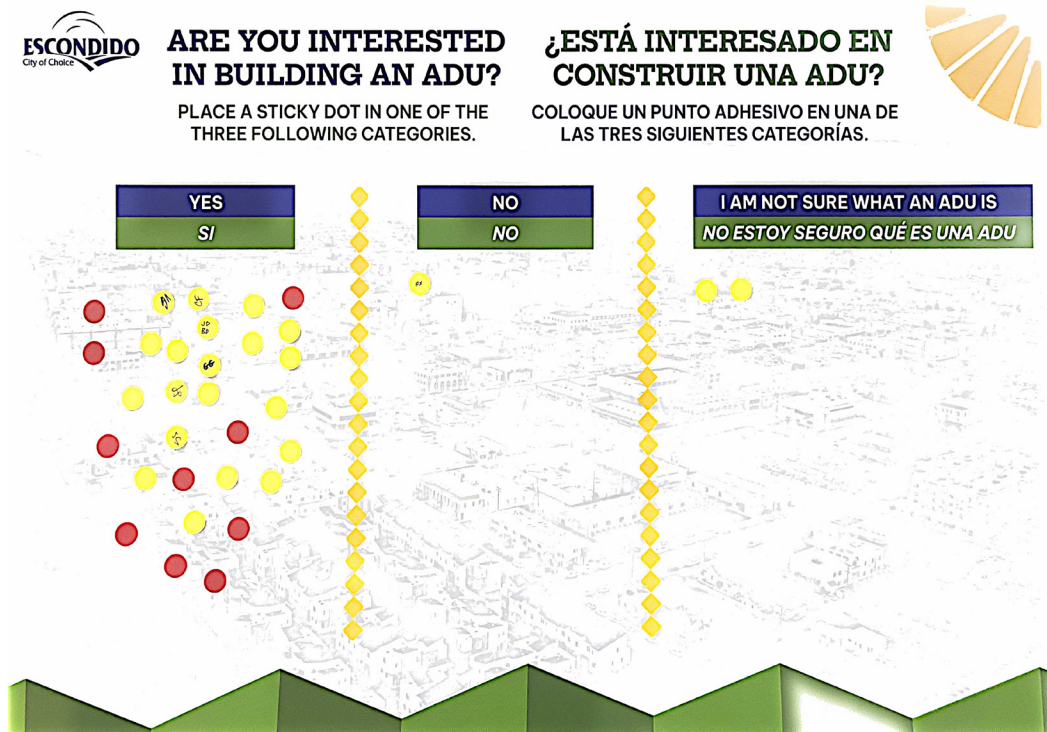
- ◆ Italianate
- ◆ Queen Anne
- ◆ Colonial Revival
- ◆ Craftsman and California Bungalow
- ◆ Mediterranean
- ◆ Period Revival/Provincial

El Programa PAADU incorporará detalles decorativos para las ADU que coincidan con el estilo de las residencias existentes en el Old Escondido Neighborhood (OEN) o estructuras históricas importantes representativas de los siguientes estilos:

NOTE: All graphics displayed herein are in progress and are not available to be utilized by applicants until the PAADU program is launched.

NOTA: Todos los gráficos que se muestran aquí están en progreso y no están disponibles para que los utilicen los solicitantes hasta que se lance el programa PAADU.

Community Workshop #1 - Welcome Map and Welcome Question



A total of 12 participants placed a pin in response to the welcome map.



When asked “Are you Interested in Building an ADU?”, attendees responded:

- Yes (30)
- No (1)
- I am not sure what an ADU is (2)

Community Workshop #1 - "What are Some Barriers to Developing an ADU?"



WHAT ARE SOME BARRIERS TO BUILDING AN ADU?

PLACE A STICKY DOT IN ONE OF THE THREE CATEGORIES OR WRITE YOUR ANSWER ON A STICKY NOTE AND PLACE UNDER 'OTHER'

PERMIT PROCESS	COST	DESIGN	OTHER (WRITE DOWN ANSWER ON A STICKY NOTE)
I DON'T KNOW HOW TO SUBMIT AN APPLICATION.	CONSTRUCTING AN ADU WOULD BE TOO EXPENSIVE.	I AM NOT FAMILIAR WITH THE CONSTRUCTION INDUSTRY.	
THE PERMIT PROCESS IS UNFAMILIAR AND OVERWHELMING.	PAYING FOR AN ARCHITECT OR ENGINEER IS TOO COSTLY.	I DON'T KNOW HOW TO HIRE AN ARCHITECT.	
I DON'T KNOW HOW TO FIND MY PROPERTY'S ZONING.	I AM WORRIED MY PROPERTY TAXES WILL INCREASE.	I DON'T KNOW HOW TO START TO DESIGN AN ADU.	
THE PERMITTING PROCESS WILL TAKE TOO LONG.	I DON'T KNOW HOW TO OBTAIN FINANCING.	I DON'T KNOW HOW TO HIRE A CONTRACTOR.	



¿CUÁLES SON ALGUNOS OBSTÁCULOS PARA CONSTRUIR UNA ADU?

COLOQUE UN PUNTO ADHESIVO EN UNA DE LAS TRES CATEGORÍAS O ESCRIBA SU RESPUESTA EN UNA NOTA ADHESIVA Y COLÓQUELA DEBAJO DE "OTRO".

PROCESO DE PERMISOS	COSTO	DISEÑO	OTRO (ESCRIBA SU RESPUESTA EN UNA NOTA ADHESIVA)
NO SÉ CÓMO ENVIAR UNA SOLICITUD.	CONSTRUIR UN ADU SERÍA DEMASIADO CARO.	NO ESTOY FAMILIARIZADO CON LA INDUSTRIA DE LA CONSTRUCCIÓN.	
EL PROCESO DE PERMISOS ES DESCONOCIDO Y ABRUMADOR.	PAGARLE A UN ARQUITECTO O INGENIERO ES DEMASIADO COSTOSO.	NO SÉ CÓMO CONTRATAR UN ARQUITECTO.	
NO SÉ CÓMO ENCONTRAR LA ZONIFICACIÓN DE MI PROPIEDAD.	ME PREOCUPA QUE MIS IMPUESTOS DE PROPIEDAD AUMENTEN.	NO SÉ CÓMO COMENZAR EL DISEÑO DE UNA ADU.	
EL PROCESO DE PERMISOS ES MUY LARGO.	NO SÉ CÓMO OBTENER FINANCIAMIENTO.	NO SÉ CÓMO CONTRATAR A UN CONSTRUCTOR.	



When asked "What are Some Barriers to Building an ADU?", attendees responded:

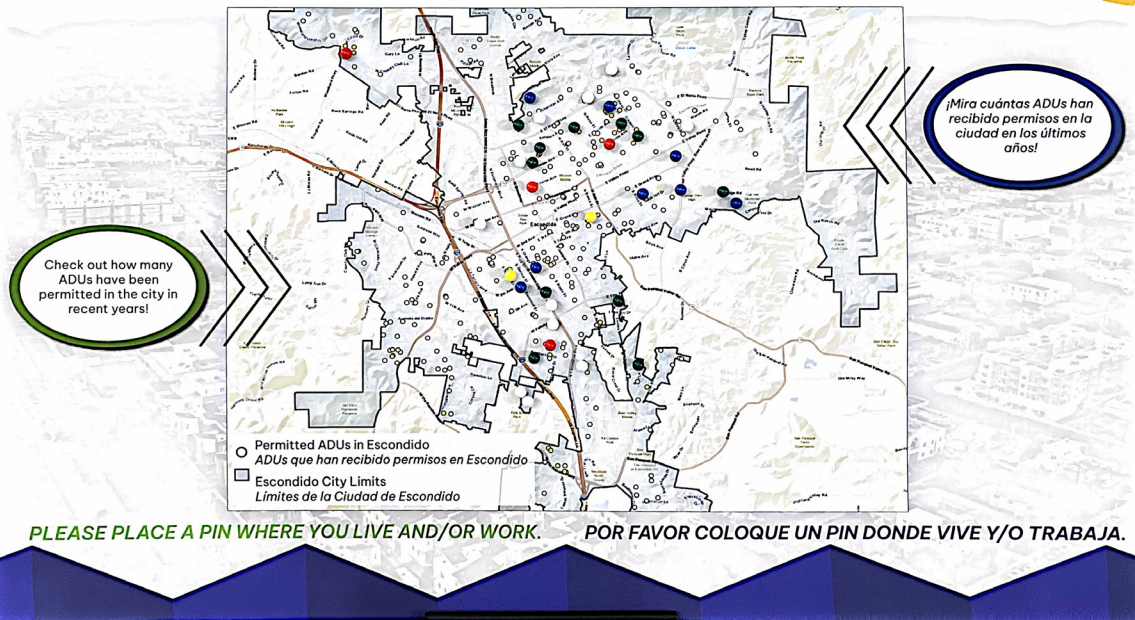
- Permit Process (7)
- Cost (10)
- Design (10)
- Other (2)

Community Workshop #2 - Welcome Map and Welcome Question



ACCESSORY DWELLING UNITS (ADUs) IN ESCONDIDO

UNIDADES SECUNDARIAS DE VIVIENDA (ADUs) EN ESCONDIDO

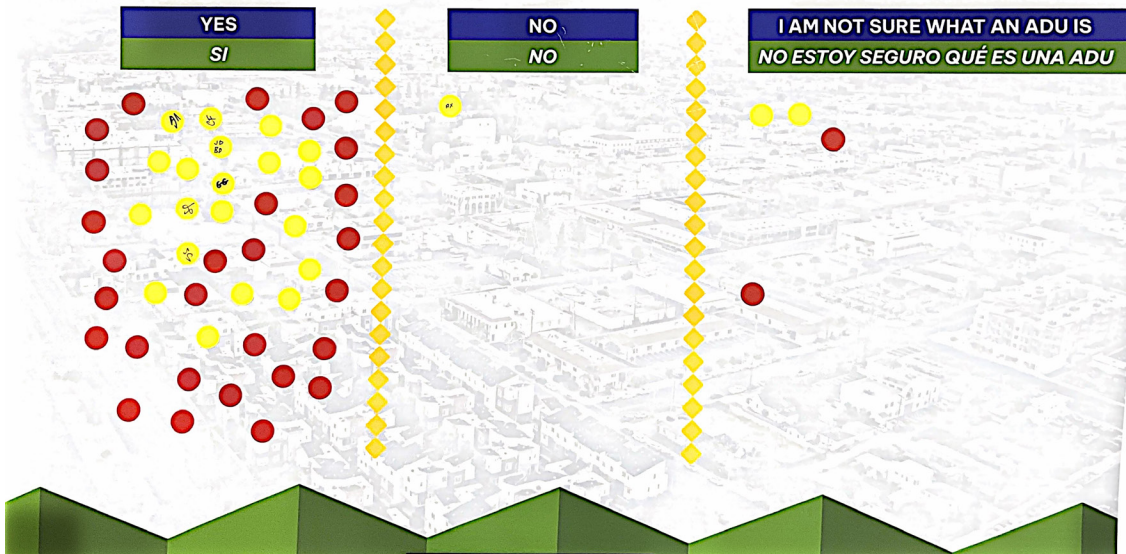


ARE YOU INTERESTED IN BUILDING AN ADU?

PLACE A STICKY DOT IN ONE OF THE
THREE FOLLOWING CATEGORIES.

¿ESTÁ INTERESADO EN CONSTRUIR UNA ADU?

COLOQUE UN PUNTO ADHESIVO EN UNA DE
LAS TRES SIGUIENTES CATEGORÍAS.



A total of 23 participants
placed a pin in response
to the welcome map,
during Workshop #2.

*A total of 35 participants
between both workshops.*



When asked “Are you Interested in Building
an ADU?”, attendees responded:

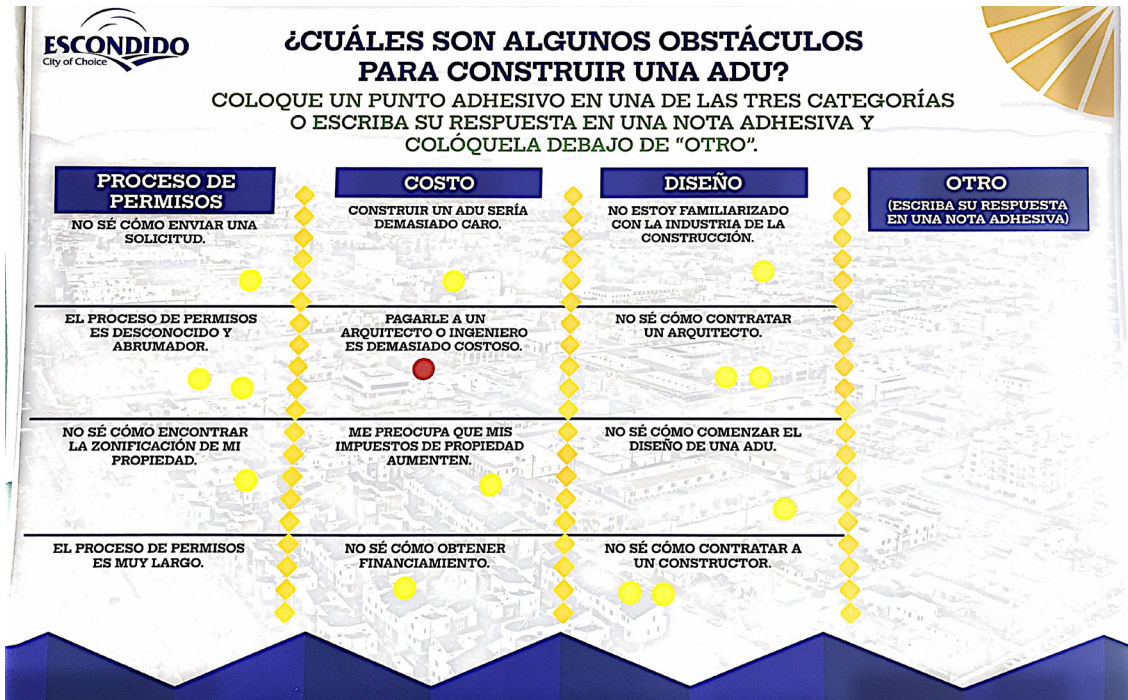
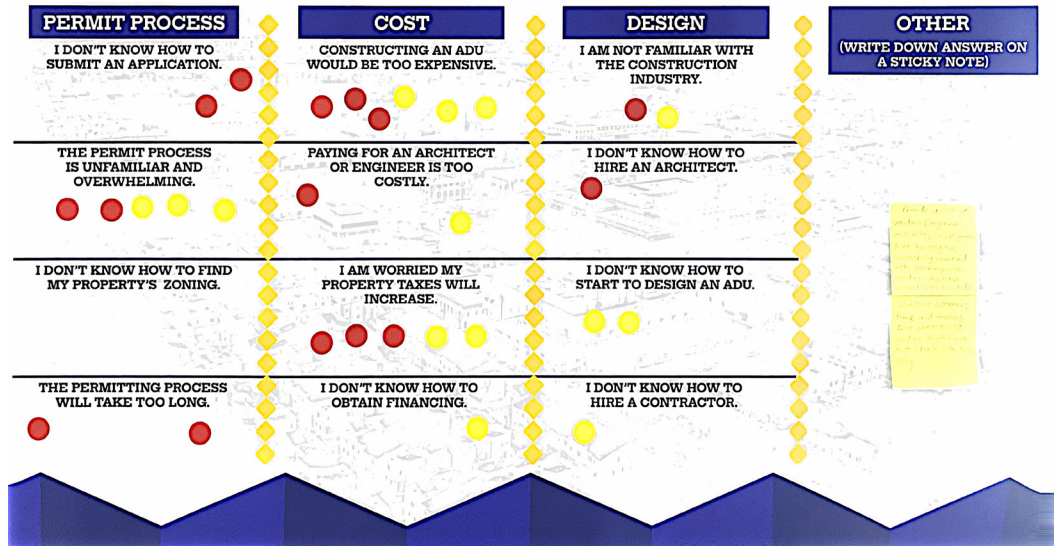
- Yes (18). *A total of 48 between both workshops.*
- No (1)
- I am not sure what an ADU is (2).
A total of 4 between both workshops

Community Workshop #2 - "What are Some Barriers to Developing an ADU?"



WHAT ARE SOME BARRIERS TO BUILDING AN ADU?

PLACE A STICKY DOT IN ONE OF THE THREE CATEGORIES OR WRITE YOUR ANSWER ON A STICKY NOTE AND PLACE UNDER 'OTHER'



When asked "What are Some Barriers to Building an ADU?", attendees responded:

- Permit Process (6). *A total of 13 between both workshops.*
- Cost (8). *A total of 18 between both workshops.*
- Design (2). *A total of 12 between both workshops.*
- Other (0). *A total of 2 between both workshops.*

This page has been intentionally left blank.

CITY OF ESCONDIDO PRE-APPROVED ADU - PLAN 1

*FOR PLANNING STAFF ONLY
INITIAL WHEN THIS COLUMN HAS BEEN REVIEWED. STAFF INITIALS: _____

ALL PLAN USERS MUST SUBMIT A COMPLETED
USER LICENSE AGREEMENT AT THE TIME OF
APPLICATION SUBMITTAL. STAFF INITIALS: _____

PROJECT ADDRESS:

(TO BE PROVIDED BY OWNER / APPLICANT)

☐ OWNER / APPLICANT TO PROVIDE THE TITLE REPORT

PROJECT DIRECTORY

(TO BE PROVIDED BY OWNER / APPLICANT)

APPLICANT: _____ **OWNER:** _____
ADDRESS: _____ ADDRESS: _____
PHONE: _____ PHONE: _____
EMAIL: _____ EMAIL: _____
CONTACT: _____ CONTACT: _____

ARCHITECT RRM DESIGN GROUP

ADDRESS: 3765 S Higuera St, Suite 102
SAN LUIS OBISPO, CA 93401
CONTACT: RANDY RUSSOM
EMAIL: RANDY@RRMDDESIGN.COM
PHONE: P:(805) 543-1784

UTILITIES

OWNER / APPLICANT TO LIST SERVICE PROVIDERS IN SPACES BELOW (SEE SITE PLAN, SHEET AS-101 FOR INFORMATION AND LOCATIONS OF ALL UTILITIES)

WATER AND SEWER SERVICE _____
ELECTRICAL SERVICE _____
GAS SERVICE _____
SEWER SERVICE _____
GARAGE SERVICE _____
CABLE SERVICE _____

WASTE WATER

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)
THE ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY AND SANITARY SEWER SYSTEMS.

NOTE: A NEW SEPTIC SYSTEM IS ONLY PERMITTED WHEN NO PUBLIC SEWER IS DEEMED AVAILABLE, A PERCOLATION REPORT AND SEPTIC DESIGN ARE REQ.)

☐ NO NEW SEPTIC SYSTEM.☐ NEW SEPTIC SYSTEM, PROVIDE STAMPED DEED EXHIBIT.

IF NO, SELECT ONE OF THE FOLLOWING:

☐ NEW SEWER LINES CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.☐ NEW SEWER LINES BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

WATER SUPPLY

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)

☐ NEW WATER SUPPLY CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.☐ NEW WATER SUPPLY BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY. SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

ELECTRICAL PANEL

ELECTRICAL PANEL (SEE PLANS & SITE PLAN FOR LOCATION)

NOTE: SPECIFY IF THE ADU WILL HAVE ITS OWN SEPARATE UTILITY SERVICE INSTALLED OR IF THE ADU WILL BE SUB-FED FROM AN EXISTING ADJACENT SERVICE. PROVIDE COMPLETE ELECTRICAL LOAD CALCULATIONS FOR REVIEW. IF SUB-FED, PLEASE PROVIDE A SECOND AND SEPARATE LOAD CALCULATION OF THE EXISTING SERVICE TO JUSTIFY IT IS ADEQUATE FOR THE ADDITIONAL LOADS.

- ☐ (A) NEW ELEC. MAIN PANEL OF 200 AMP WITH 225 AMP MIN. BUSBAR RATING
- ☐ (B) A NEW ELEC. SUBPANEL CONNECTS TO THE ELEC. MAIN PANEL OF 220 AMP ON THE PRIMARY HOME WITH A 225 AMP MIN. BUSBAR RATING
- ☐ (C) NEW ELEC. MAIN PANEL MIN. 400 AMP DUAL METER AT PRIMARY HOUSE WITH A NEW ELEC. SUB-PANEL AT ADU THAT CONNECTS TO THE MAIN PANEL

HERS QII REQUIRED

SEE SHEET S-103 FOR REQUIRED SPECIAL INSPECTIONS

A REGISTERED DESIGN PROFESSIONAL SHALL COMPLETE THE CITY OF ESCONDIDO STATEMENT OF REQUIRED SPECIAL INSPECTIONS CERTIFICATE (FORM PLG-340) PRIOR TO PERMIT ISSUANCE. THE DESIGNER SHALL SIGN THE STATEMENT OF WORK REGARDING SPECIAL INSPECTIONS IN THE PLANS AND THE INDIVIDUALS OR FIRMS RESPONSIBLE FOR THE SPECIAL INSPECTION ELEMENT(S). FOR FURTHER INSTRUCTIONS SEE S-103.

OWNER/APPLICANT HAS COMPLETED SPECIAL INSPECTION FORM

OWNER/APPLICANT SIGNATURE: _____



PROJECT INFORMATION

*FOR BUILDING DEPARTMENT REVIEW, INITIAL WHEN SECTION HAS BEEN REVIEWED

- PROJECT SCOPE:**
1. CONSTRUCTION OF A NEW DETACHED 1 STORY 484 SF ACCESSORY DWELLING UNIT WITH 1 BEDROOMS AND 1 BATH.
 2. ALL THE WORK SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

AREA:	SQUARE FOOTAGE:	CONDITIONED?
PLAN 1	484 SF	CONDITIONED
PLAN 1 FRONT PORCH	66 SF	UNCONDITIONED

BUILDING INFORMATION:

NUMBER OF STORES: 1 OCCUPANCY GROUP: S-3
CONSTRUCTION TYPE: SPRINKLER (SEE FIRE SPRINKLER SECTION ON THIS SHEET)
ZONING: _____
MAX HEIGHT ALLOWED: _____ PROPOSED HEIGHT: 12' - 1"

SITE INFORMATION:

(TO BE PROVIDED BY APPLICANT OR OWNER)
APN: _____ LAND USE: _____
LOT SIZE (SQ. FT.): _____ EXISTING USE: _____
PROPOSED USE: _____

LOT COVERAGE	SETBACKS	MIN. REQUIRED	PROPOSED
PRIMARY BUILDING SF:	FRONT:		
ACCESSORY STRUCTURE(S) SF:	REAR:	4' - 0"	
LOT COVERAGE SF:	SIDES:	4' - 0"	
FLOOR AREA RATIO:	BETWEEN STRUCTURES:		

SETBACK RESTRICTIONS - FIRE RATINGS:

IS THE ADU 8' - 0" OR LESS TO ANY PROPERTY LINE AND/OR IS THE ADU 10' - 0" OR LESS FROM AN ADJACENT BUILDING OR STRUCTURE?

- ☐ NO
- ☐ YES: IF YES, FIRE RATED WALL & PROJECTIONS REQUIRED PER 2022 CBC SECTION R302.1, FIRE RATED WALL DETAIL: 42/A-901
IF YES, FIRE RATED ROOFING IS REQUIRED IN PROJECTIONS, RAKES AND EAVES. SEE DETAILS: 31/A-905, 32/A-905, 41/A-906, 42/A-906

ENERGY COMPLIANCE
PREPARED BY: CARSTAIRS ENERGY
DATE PREPARED: JULY 22, 2024
JOB NUMBER: 24-07222

DEFERRED SUBMITTAL(S)

☐ TRUSS CALCULATIONS **STAFF INITIALS:** _____
☐ FIRE SPRINKLER (IF APPLICABLE, SEE FIRE SPRINKLERS SECTION)

PHOTOVOLTAIC SYSTEM (PV) (DEFERRED SUBMITTAL)

PV NOT REQUIRED PER CALIFORNIA ENERGY CODE SECTION 150.1(C)(4) EXCEPTION 2. PV SYSTEM IS REQ. WHEN THE MINIMUM PV SYSTEM SIZE IS LESS THAN 1,000 WDC.

SOLAR RATED REQUIREMENTS SHALL BE IMPLEMENTED. FOR MORE INFORMATION SEE "SOLAR READY NOTES" ON SHEET G-101.

☐ OWNER / APPLICANT TO PROVIDE THE WASTE RECYCLE FORM FILLED OUT AND SIGNED PRIOR TO ISSUANCE. THE OWNER/APPLICANT/CONTRACTOR/PERSON DOING THE WORK IS REQUIRED TO RECYCLE 75% OF ALL PROJECT CONSTRUCTION AND DEMOLITION DEBRIS.

UTILITY, GRADING, & DRAINAGE

(PLANS TO BE PROVIDED BY OTHERS)

IS GRADING NECESSARY TO CREATE PAD AND FOUNDATION?

- ☐ NO ☐ YES IF YES, A CIVIL ENGINEER WILL BE REQUIRED TO PROVIDE PLANS.

HERS QII REQUIRED

HERS VCM: HERS RATER WILL NEED TO FOLLOW THE VERIFICATION AND TESTING PROTOCOL FOR THE VARIABLE CAPACITY HEAT PUMP CREDIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, VERIFIED REFRIGERANT CHARGE, VERIFIED MINIMUM HSPF AND EER/SER, AND CAPACITY; OUTDOOR/INDOOR UNITS AND THE COMPONENTS ARE WITHIN THE CONDITIONED ENVELOPE, AND AIRFLOW PROVIDED TO ALL HABITABLE SPACES (BEDROOMS AND LIVING SPACE).

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE OF THIS COMPUTER ANALYSIS. REGISTERED CFP2S AND CFP3S ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY.

- QUALITY INSULATION INSTALLATION (QI)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD TABLE 150-0-G180
- VERIFIED REFRIGERANT CHARGE
- AIRFLOW IN HABITABLE ROOMS (SC23.4.4.7)
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- WALL MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT² (SC23.4.8)
- OUTDOOR/INDOOR UNITS LOCATED ENTIRELY IN UNCONDITIONED SPACE (SC23.4.1.8)
- BATHROOM, KITCHEN, AND WHOLE-HOUSE VENTILATION

OWNER/APPLICANT SIGNATURE:

ADDITIONAL INFORMATION:

1. ANY PROPOSED ENERGY STORAGE SYSTEM (ESS) SHALL FOLLOW SINGLE-FAMILY RESIDENTIAL MANDATORY REQ. SUMMARY SECTION 150.0(h) AND WILL REQUIRE A SEPARATE PERMIT TO BE FILLED BY APPLICANT.
2. VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION VERIFICATION DETAILS FROM YOUR START REPORT, APPROVED B, AND R343. (PER TITLE 24). THIS PLAN IS INTENDED FOR FLAT LOTS (SLOPING LESS THAN 10°) ACROSS THE LONGEST BUILDING DIMENSION, WITHOUT HIGHLY EXPANSIVE OR LOOSELY-FITTING SOILS, WHERE THE MAIN DWELLING UNIT IS SUPPORTED IN SHALLOW FOOTINGS WITH SLABS ON GRADE CONSTRUCTION. IF THE PROJECT SITE DEVIATES FROM ANY OF THE FOREMENTIONED QUALITIES, AS DETERMINED BY THE BUILDING OFFICIAL, THERE PER-APPROVED ADU FOUNDATION PLANS AND DETAILS ARE NOT APPLICABLE.
3. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
4. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFP1, CFP2, AND CFP3 FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OFFICIAL.

WILDLAND-URBAN INTERFACE FIRE AREA

1. PORTIONS OF THE CITY OF ESCONDIDO ARE LOCATED IN WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA AND DEFINED BY CBC 701A.
 - a. AREA DEFINED BY STATE AS A "FIRE HAZARD SEVERITY ZONE" (FHSZ).
 - b. AREA DESIGNATED BY ENFORCING AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
2. MORE INFORMATION ABOUT FIRE HAZARD SEVERITY ZONES, BUILDING MATERIALS LISTINGS, AND WUI REQUIREMENTS CAN BE FOUND ON THE OFFICE OF THE STATE FIRE MARSHAL WEBSITE (HTTPS://OSFM.FIRE.CA.GOV). SEE AS-102 FOR MORE INFORMATION & MAP REFERENCE.
3. AN ADU WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL COMPLY WITH THE CBC 701A.
4. THIS PROTOTYPE PLAN PROVIDES DETAILS THAT COMPLY WITH THE PROVISIONS REQUIRED BY THE CBC 701A.

FIRE HAZARD SEVERITY ZONE LEVEL:

(TO BE PROVIDED BY APPLICANT OR OWNER. CITY OF ESCONDIDO TO VERIFY)

- ☐ MODERATE ☐ HIGH ☐ VERY HIGH

1. IN ANY OF THE ABOVE SEVERITY ZONES, ALL OPTIONS AND DETAILS ARE REQUIRED TO FOLLOW CBC 701A. SEE ITEMS LISTED WITH "WUI" DESIGNATION IN ACCORDANCE WITH THE CFC SECTION 4004. STRUCTURES LOCATED IN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE A MAINTAIN PRE-FUEL BREAKS TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. FIRE-FUEL BREAKS SHALL BE SHOWN ON THE GRADING MAP, AND BUILDING PLANS.

REQUIRED V.U.I. DETAILS

STAFF INITIALS: _____

☐ ROOF DETAILS: 31/A-905, 32/A-905, 41/A-906, 42/A-906☐ VENTS: 54/A-905, 54/A-906☐ EXTERIOR WALL COVERINGS, SEE DOCUMENT.☐ PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAADU)☐ EXTERIOR WINDOWS: "WINDOW GENERAL NOTE #2" ON FLOOR PLANS SHEET☐ EXTERIOR DOORS: "DOOR GENERAL NOTE #7" ON FLOOR PLANS SHEET

NOTE: SEE FOR SHEET G-102 "WILDLAND-URBAN INTERFACE" NOTES AND "CAL FIRE SEVERITY MAP" FOR MORE INFORMATION

VICINITY MAP

(TO BE PROVIDED BY OWNER OR APPLICANT)



FIRE SPRINKLERS

DOES THE PRIMARY RESIDENCE HAVE NFPA 13D SPRINKLERS?
☐ NO: THEREFORE, THE PROPOSED ADU IS NOT REQUIRED TO BE SPRINKLERED
☐ YES: THEREFORE, THE PROPOSED ADU IS REQUIRED TO BE SPRINKLERED

FIRE SPRINKLERS NOTES:

WHEN SPRINKLERS REQUIRED PER "PRE-APPROVED ADU PLANS APPLICATION FORM"

1. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR
2. SECTION 903.3.1.3 NFPA 13D SPRINKLER SYSTEMS AUTOMATIC FIRE SPRINKLER SYSTEMS INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3.
3. SECTION 903.2.8 GROUP R-3 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R-3 FIRE RATING.
4. SECTION 903.2.8.1 GROUP R-3 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.3 SHALL BE PERMITTED IN GROUP R-3 OCCUPANCIES.
5. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS (A MINIMUM 1/2" INCH WATER SHALL BE INSTALLED).
6. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.
7. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY THE NEW PIPING SHALL BE TESTED.

SHEET INDEX

- G-001 TITLE SHEET - PLAN 1
G-101 GENERAL NOTES
G-102 SHEET INDEX, ABBREVIATIONS & SYMBOLS
G-201 CAL GREEN RESIDENTIAL REQUIREMENTS
G-202 CAL GREEN RESIDENTIAL REQUIREMENTS
G-203 CAL GREEN RESIDENTIAL MANDATORY REQUIREMENTS

- T24-101 ENERGY COMPLIANCE - PLAN 1
T24-102 ENERGY COMPLIANCE - PLAN 1

- A5101 EXAMPLE SITE PLAN
A5102 ARCHITECTURAL SITE PLAN

- A1-101 FLOOR PLAN 1
A1-111 FINISH MECHANICAL & ELECTRICAL PLANS
A1-121 ROOF PLAN & REFLECTED CEILING PLAN - GABLE
A1-122 ROOF PLAN & REFLECTED CEILING PLAN - HIP
A1-201 ELEVATIONS & SECTIONS - GABLE
A1-202 ELEVATIONS & SECTIONS - HIP

- A5-001 ARCHITECTURAL DETAILS - COMMON
A5-002 ARCHITECTURAL DETAILS - COMMON
A5-003 ARCHITECTURAL DETAILS - COMMON
A5-005 ARCHITECTURAL DETAILS - ASPHALT SHINGLE ROOF
A5-006 ARCHITECTURAL DETAILS - S-TILE ROOF
A5-007 ARCHITECTURAL DETAILS - LAP SIDING
A5-008 ARCHITECTURAL DETAILS - BOARD & BATT SIDING
A5-009 ARCHITECTURAL DETAILS - STUCCO
A5-010 ARCHITECTURAL DETAILS - ADHERED MASONRY VENEER
A5-011 REFERENCE - PRODUCT DATA

- S-101 SHEET INDEX, ABBREVIATION & SYMBOLS
S-102 GENERAL NOTES
S-103 GENERAL NOTES, SPECIAL INSPECTION & TESTS
S-201 ROOF & FOUNDATION FRAMING PLAN - GABLE
S-202 ROOF & FOUNDATION FRAMING PLAN - HIPPED
S-301 TYPICAL CONCRETE DETAILS
S-311 CONCRETE DETAILS
S-401 TYPICAL WOOD DETAILS
S-402 TYPICAL WOOD DETAILS
S-403 TYPICAL WOOD DETAILS
S-421 ROOF DETAILS
S-422 ROOF DETAILS
Grand total: 38

USER LICENSE AGREEMENT

OWNER/APPLICANT TO SIGN & SUBMIT SEPARATE SUPPORTING DOCUMENT "USER LICENSE AGREEMENT" IN ADDITION TO SIGNING THIS USER AGREEMENT BELOW.

BY USING THESE PERMIT READY ACCESSORY DWELLING UNIT CONSTRUCTION DOCUMENTS, THE USER AGREES TO RELEASE, HOLD HARMLESS, AND INDEMNIFY THE CITY OF ESCONDIDO, ITS ELECTED OFFICIALS AND EMPLOYEES, FIRM DESIGN GROUP, AND THE ARCHITECT OR ENGINEER WHO PREPARED THESE CONSTRUCTION DOCUMENTS FROM ANY AND ALL CLAIMS, LIABILITIES, SUITS AND DAMAGES ON ACCOUNT OF ANY INJURY, DAMAGE OR LOSS TO PERSONS OR PROPERTY, INCLUDING INJURY OR DEATH, OR ECONOMIC LOSSES, ARISING OUT OF THE USE OF THESE CONSTRUCTION DOCUMENTS.

THE PLANS ATTACHED HERE ARE APPROVED FOR ONLY USE IN CITY OF ESCONDIDO. NO DEVIATIONS, ALTERATIONS, OR OPTIONS BEYOND THOSE SPECIFICALLY PLANNED IN THE PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL BY THE ISSUING JURISDICTION AND CHIEF BUILDING OFFICIAL. ANY UNAPPROVED PLAN MODIFICATIONS MAY BE DEVELOPED THROUGH FIRM DESIGN GROUP AND THE APPROVING JURISDICTION IF REQUIRED. THIS SET OF PLANS SHALL NOT BE USED FOR A PUBLIC BUILDING PROJECT.

SIGNATURE _____ DATE _____

OPTION SELECTIONS (ALL STYLES)

*OWNER/APPLICANT REQ. TO SELECT ONE OPTION FOR ALL OF THE FOLLOWING AND MARK THROUGH WITH AN APPLICABLE "X" OR "1".

*OWNER/APPLICANT REQ. TO COMPLETE COLOR AND MATERIALS REVIEW FORM AND PROVIDE TO PLANNING FOR REVIEW AT TIME OF APPLICATION.

ROOF STYLE
☐ (A) GABLE ROOF, SEE: 1/A1-121
☐ (B) HIP ROOF, SEE: 1/A1-122

ROOF MATERIAL

- ☐ (A) ASPHALT SHINGLE, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____ LISTING REPORT #: _____
☐ (B) CLAY S-TILE, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____ LISTING REPORT #: _____

ROOF UNDERLAYMENT

- ☐ (A) ROOF UNDERLAYMENT, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____ PRODUCT NAME: _____ LISTING REPORT #: _____

COVERED FRONT PORCH OPTION

- ☐ (A) YES ☐ (B) NO
☐ (A) YES, SEE VIEW: 8/A1-101 ☐ (B) NO

STUDIO OPTION / NO BEDROOM WALL

- ☐ (A) YES, SEE VIEW: 7/A1-101 ☐ (B) NO
☐ (A) YES, SEE VIEW: 7/A1-101 ☐ (B) NO

BATHROOM, SHOWER

- ☐ (A) YES, SEE VIEW: 2/A1-101 ☐ (B) NO

ALTERNATIVE KITCHEN LAYOUTS

- ☐ (A) COAT CLOSET & PANTRY, SEE PRIMARY VIEW: 1/A1-101
☐ (B) ADDITIONAL MILLWORK, PANTRY & NO COAT CLOSET, SEE VIEW: 8/A1-101
☐ (C) NO COAT CLOSET & OPEN SPACE, SEE VIEW: 8/A1-101

OPTIONAL DOORS & WINDOWS (STRIKE THROUGH THE WINDOW AND DOOR TAGS OF THE OPENINGS THAT WILL NOT BE USED ON THE PLANS)

- ☐ (A) YES, INDICATE ON DOOR & WINDOW SCHEDULES AND INDICATE ON PLANS
☐ (B) NO, DOORS & WINDOWS IN PRIMARY VIEWS TO REMAIN

WATER HEATER

- ☐ (A) NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER, SPECIFIC BRAND/MODEL MUST BE INSTALLED (PER TITLE 24).
☐ (B) ALTERNATIVE WATER HEATER WITH STIPULATION THAT NEW T24 ENERGY REPORT IS PROVIDED, MFR. & MODEL.

WALL & CEILING MATERIALS & COMPOSITION SELECTIONS OPTIONS

- ☐ (A) IMPROVED SOUND INSULATION
☐ (B) IMPROVED MOISTURE & MOLD & MILDEW-RESISTANT PERFORMANCE
☐ (C) BOTH (A) & (B)
☐ (D) NONE

STYLE SELECTION

*DISCLAIMER: STYLE SELECTION ONLY APPLIES TO ADU IN OPEN.
*OWNER OR APPLICANT TO SELECT (1) OF THE FOLLOWING STYLES AND REFER TO CORRESPONDING HANDOUT: "OPEN ADU STYLE ADAPTATION GUIDE" FOR MORE INFORMATION

☐ PERIOD REVIVAL/PROVINCIAL☐ CRAFTSMAN AND CALIFORNIA BUNGALOW☐ MEDITERRANEAN☐ COLONIAL REVIVAL☐ QUEEN ANNE☐ ITALIANATE

ESCONDIDO
City of Choice

THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY
CITY OF ESCONDIDO
https://www.escondido.gov/

ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO, CA 92025
(760) 839-4880

ESCONDIDO PRE-APPROVED ADU

CITY OF ESCONDIDO

TITLE SHEET - PLAN 1

DATE
10/08/2024

SHEET

G-001

401 24" WIDE FREE STANDING ELECTRIC RANGE, OVEN, VENT TO EXTERIOR,
402 STAINLESS STEEL.
403 24" WIDE RANGE, 12" IN MICROWAVE, WITH RANGE VENT, STAINLESS STEEL.
404 24" WIDE FRONT CONTROL, UNDERCOUNTER DISHWASHER.
405 REFRIGERATOR LOCATION, PROVIDE 42" SPACE WITH ROUGH PLUMBING
406 FOR ICE MAKER (RANGE).
407 WASHING MACHINE LOCATION, PROVIDE WASTE AND WATER IN
408 RECESSED WALL BOX.
409 DRYER LOCATION, PROVIDE 42" RECESSED DRYER VENT BOX, PROVIDE
410 DRYER VENT, VENT TO OUTSIDE AIR VERTICALLY THROUGH ROOF. (CMC
411 12.1.1)
412 30" SINGLE COMPARTMENT UNDERMOUNT KITCHEN SINK, W/ GARBOARD
413 DRAINAGE, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN
414 CODE NOTES SHEET.
415 LAVATORY SINK, REFER TO WATER EFFICIENCY REQUIREMENTS ON
416 CALGREEN CODE NOTES SHEET.
417 40 GALLON TANK WATER HEATER, REFER TO TITLE 24 FOR ADDITIONAL
418 INFORMATION. SEE DETAIL: 14-K-901 FOR ANCHORING. SEE SHEET: A-501
419 FOR INFORMATION.
420 ELECTRICAL PANEL, SEE COVER SHEET FOR PANEL OPTION AND
421 AMPS RATING.
422 MULTI-ZONE HEAT PUMP CONDENSER UNIT, REFER TO PLANS FOR
423 LOCATION OF INDOOR/FAN UNIT, REFER TO TITLE 24 FOR
424 MINIMUM INFORMATION. PROVIDE CONDENSER PAD MIN. 8" DEEPER
425 THAN UNIT IN EACH DIRECTION, 3' MIN. ABOVE GRADE, PROVIDE
426 1/2" AIR SPACE ABOVE UNIT. REFER TO DETAIL: 14-K-901 FOR NOTES 7
427 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL: 53-A-602.
428 1/2" AIR SPACE ABOVE UNIT.
429 OUTSIDE, INSTALL PER MANUFACTURER'S SPECIFICATIONS, REFER TO
430 PLANS FOR LOCATION OF OUTDOOR CONDENSING UNIT, REFER TO TITLE 24
431 FOR MINIMUM INFORMATION.
432 WATER CLOSURE, AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT
433 WALL, FLOOR, REAR, AND SIDE WALLS. SEE DETAIL: 53-A-602 FOR
434 CALGREEN CODE NOTES SHEETS, CENTER CLOSURE SHALL NOT BE SET
435 MORE THAN 15" FROM CENTER TO A SIDE WALL OR OBSTRUCTION PER
436 CODE, SECTION 400.5.
437 36" x 60" TUB, AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT
438 WALL, FLOOR, REAR, AND SIDE WALLS. SEE DETAIL: 53-A-602 FOR
439 36" x 60" SHOWER, AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED
440 AT WALL, FLOOR, TIE WALLS AT 84" APART, PROVIDE GLASS
441 SHOWER ENCLOSURE.
442 SINGLE WOOD SHOE AND POLE.
443 RECESSED MIRROR.
444 12" DEEP UPPER CABINET.
445 30" HIGH BASE CABINET AND COUNTERTOP.
446 12" DEEP LOWER CABINET.
447 24" DEEP FULL HEIGHT CABINET.
448 MINIMUM 32" CLEAR OPENING BEDROOM DOOR FOR AGING-IN-PLACE
449 32" CLEAR OPENING BEDROOM DOOR FOR AGING-IN-PLACE
450 CENTER PLATFORM, 1/4"FT SLOPE AWAY FROM BUILDING.
451 DOWNSPOUT DOWNSPOUT TO SPLASH BACK BELOW. SEE DETAIL
452 12-0000.
453 WOOD POST, SEE STRUCTURAL - REQUIRED: PRIMER & COATS OF
454 PAINT, 2" DIA. MIN.
455 OPTIONAL CABINET.

1. REQUIRED EGRESS WINDOW. REFER TO GENERAL NOTE #5 FOR ADDITIONAL INFORMATION.
2. WINDOW INCLUDES BOTH PANES TEMPERED GLAZING.
3. **OPTIONAL WINDOW.** SEE TITLE SHEET FOR SELECTIONS FOR MORE INFO. AT LEAST ONE EGRESS OPENING REQUIRED AT ALL BEDROOMS. SEE GENERAL WINDOW NOTE #5 FOR EGRESS REQUIREMENTS.
4. REQUIRED TO PROVIDE EGRESS FROM ALL PRIVATE CLS.
5. @ CASEMENT WINDOWS, INCLUDE BOTH PANES TEMPERED GLAZING.
6. SAFETY GLAZING.
7. U-FACTOR = (.3), SHGC = (.23). BUG SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL WINDOW.

1. REFER TO FLUOR PLANS FOR WINDOW LOCATIONS.
2. CONTRACTOR TO VERIFY EACH CLEAR ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
3. REFER TO ENERGY COMPLIANCE REPORTS TO VERIFY U-FACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS. ALL OPENINGS TO BE U-FACTOR (1.3), SHGC < .23. BUG SCREEN REQUIRED (PER TITLE 24).
4. ALL GLAZING IS TO BE DOUBLE GLAZED WITH 1/2" AIR SPACE AND LOW EMISS WINDOW SASH HAVE A CLEAR OPENING WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" AFF. MIN. CLEAR OPENING HEIGHT EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 20" MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20".
5. **[CRC SEC. R310.2]** EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE DIFFICULTY TO ENTER AND EXIT.
6. **[CRC SEC. R310.4]** GLAZING IN WALLS ADJACENT TO BATHTUB / SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE STANDING OR WALKING SURFACE SHALL BE SAFETY GLAZING. **[CRC SEC. R320.4.5]**

1. GLAZING IN DOORS SHALL BE TEMPERED PER **SECTION R308.4.1** PANES INDICATED IN DOOR LEGEND WITH (T).
2. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
3. REFER TO SANS 10400-2 FOR ADDITIONAL REQUIREMENTS FOR DOORS.
4. VERIFY ROUGH OPENING SIZE FROM DOOR MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.
5. VERIFY THAT THE ACTUAL DOOR SIZE IT TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
6. COATED DOORS SHALL BE FINISHED WITH A MINIMUM OF 100% SOLID NONCHROMING PORE STEEL DOOR 1-3/8" THICK OR COMPLIANT WITH **CRC SECTION R302.2.1**.
7. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING WITH WEATHER STRIPPING BEING TIGHTENED TO THE FOLLOWING REQUIREMENTS:
 - A. EXTERIOR DOORS SHALL EITHER HAVE A FIRE-RESISTANCE RATING OF NOT THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS:
 - 1. STILES AND RAILS SHALL BE 1-1/2" THICK.
 - 2. PANELS SHALL NOT BE LESS THAN 1-1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER PANELS WHICH MAY BE PERMITTED TO TAPER TO A TONGUE OF NOT LESS THAN 3/8" THICK.

1. EXTERIOR DOOR.
2. GLAZING PER DOOR TYPES. REFER TO GENERAL DOOR NOTE #1
3. OPTIONAL DOOR. INDICATE ON PLANS WHICH OPTIONS ARE SELECTED; SEE TITLE SHEET FOR MORE INFORMATION.
4. REQUIRED OPENING OF NOT LESS THAN 100 IN² FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY APPROVED MEANS. [CMC SEC. R504.4.1]
5. U-FACTOR = (.3), SHGC = (.23), BUG SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL WINDOW.
6. VENT DOOR AS REQUIRED PER WATER HEATER MANUFACTURER REQUIREMENTS / SPECIFICATIONS



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO
 ELEVATIONS & SECTIONS - GABLE

SECTIONS GENERAL NOTES

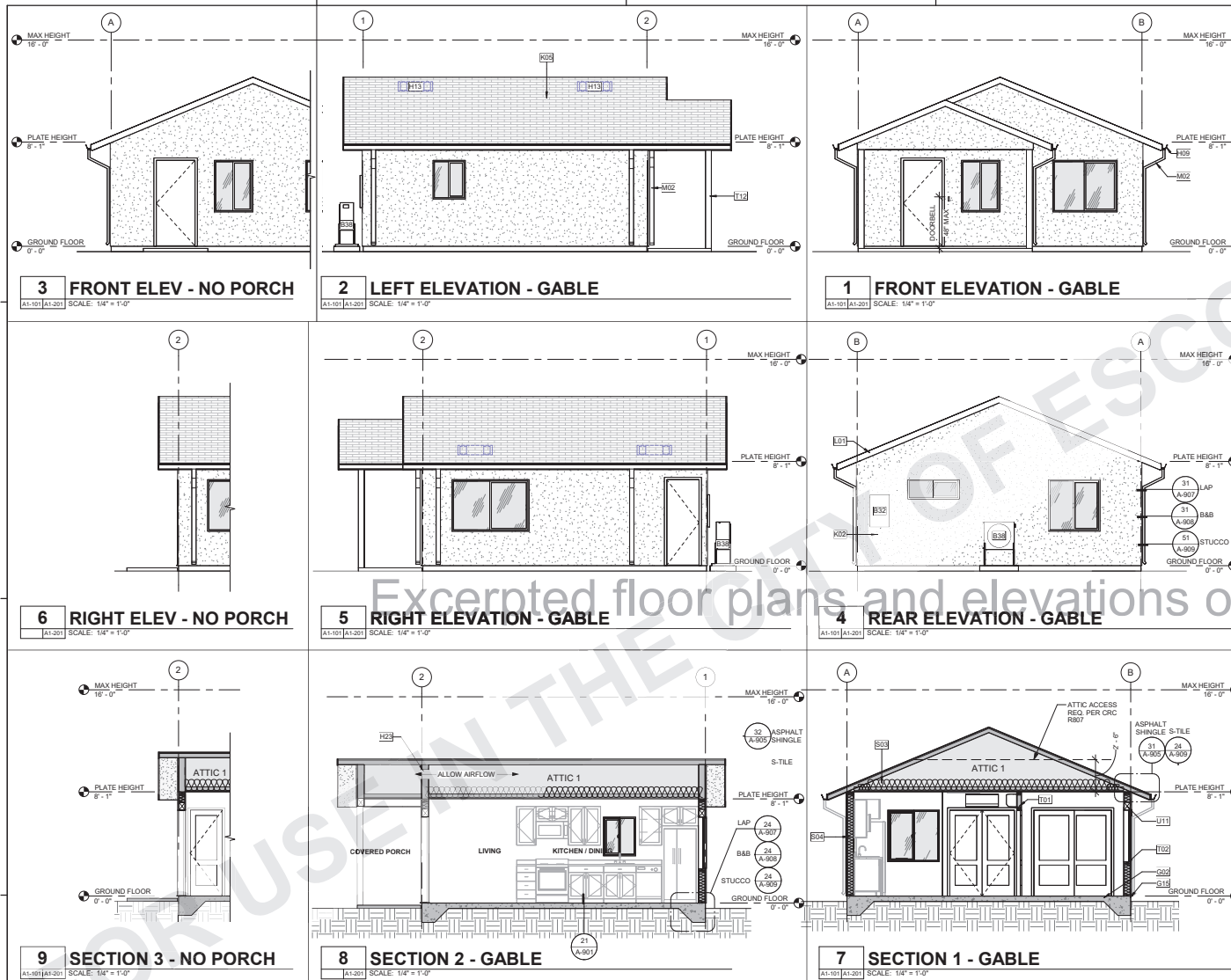
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION. FIREBLOCKING TO BE LOCATED PER CRC SECTION R302.11.
- SECTION R302.11:**
 - FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.18.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1:** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.75-INCH WOOD STRUCTURAL BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER CRC SECTION R703.15, FIREBLOCKING SHALL BE A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER THAT IS NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CRC 903.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA AND DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.A.D.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.15 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 4" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CRC 507.25 & CMC 305.1.1. SEE GENERAL NOTES 7 & 8 ON SHEET A1-11 FOR MORE INFO. SEE DETAIL 53A-602.
- G02 CONCRETE FLOOTING. 1/4"FT SLOPE AWAY FROM BUILDING.
- G10 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
- H05 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.4.
- H13 ATTIC VENT (HWS). UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALLS.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL, PROVIDE MINIMUM OF 1/2"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION.
- K02 STUCCO SIDING. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-903.
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.).
- T01 2X4 WOOD STUD WALL. REFER TO STRUCTURAL.
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL - REQUIRED. PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH CBC 701A.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE CBC 701A. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL-FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT ALL LISTED, MORE IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 1A, INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SIDING (PER CRC 703.5.3)

BOARD & BATTEN SIDING 4" MIN. TO 16" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER CRC R703.10)
 B) WOOD SIDING (PER CRC 703.5.3)

CEMENT PLASTER STUCCO SIDING
 (PER CRC R703.7)

SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC R905.2.4, CRC R905.1, TABLE R905.1.1(1), TABLE R905.1.1(2) & ASTM D3462)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC R905.1, CRC R905.3)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THESE PLANS CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU

CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - HIP

DATE
 10/08/2024
 SHEET

A1-202

SECTIONS GENERAL NOTES

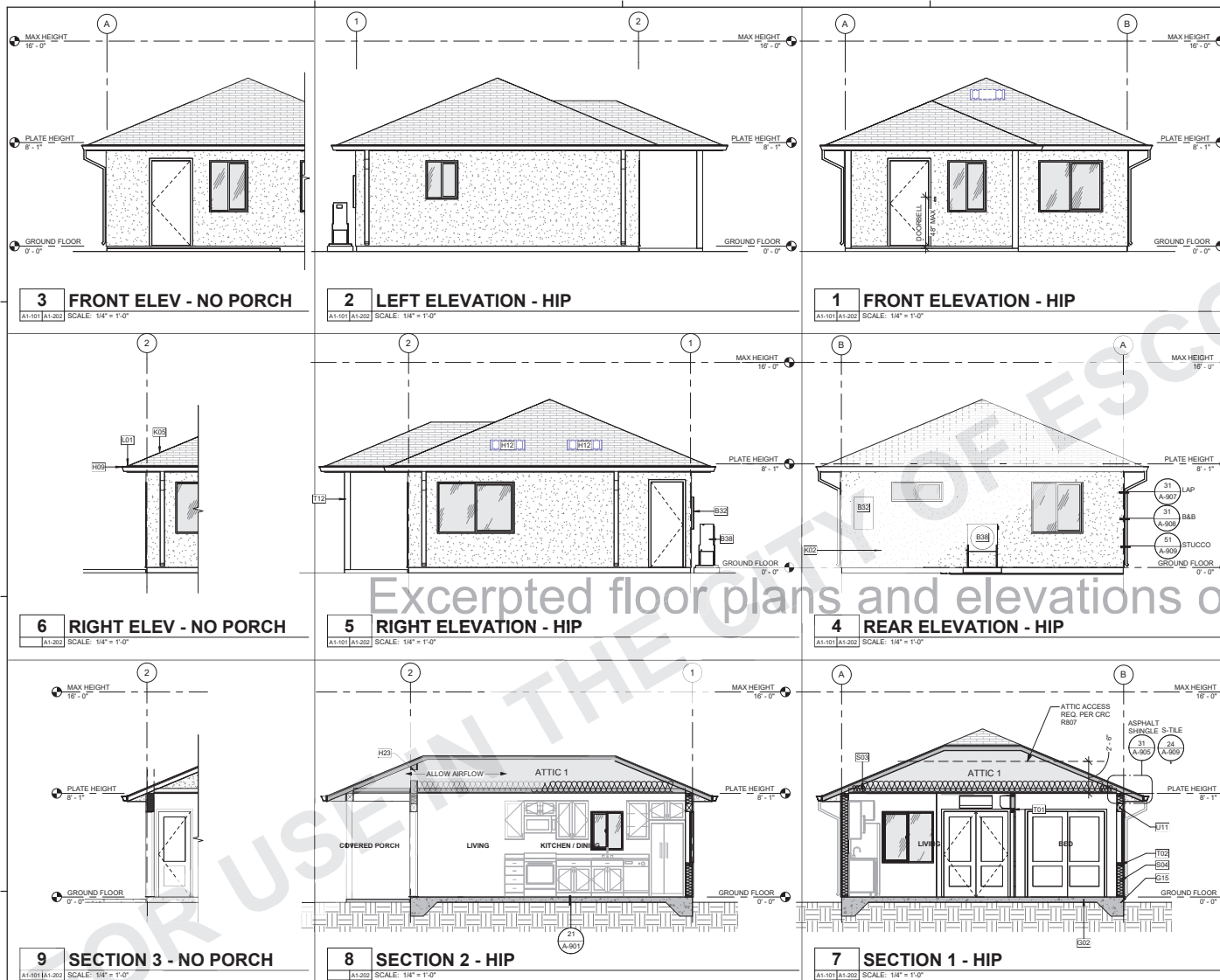
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. "KEYNOTES" ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER CRC SECTION R302.11.
 - SECTION R302.11 -** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.18.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1 -** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-ONE-HALF INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-ONE-HALF INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.719-INCH WOOD PARTICULATE BOARD WITH JOINTS BACKED BY 0.719-INCH PARTICULATE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTIS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
 - PER CRC SECTION R703.15, SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
 - REFER TO RCPs FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
 - PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
 - ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CRC 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, UNLESS NOTED.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
- CLADDING ATTACHMENT OVER FOM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOM SHEATHING.

KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CPC 507.25 & CMC 305.1.1. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL 53A-902.
- G02 CONCRETE FLOORS. REFER TO STRUCTURAL PLANS.
- G105 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.4.
- H12 ATTIC VENT LOW. LOWER VENTILATORS SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE PER R602.3(1). EXCEPTION: PROVIDE DAMPER TO PROVIDE 1" CLR. AIRSPACE WHERE REQ. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL, PROVIDE MINIMUM OF 12"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION.
- K02 STUCCO SIDING. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- L06 6-38 MIN. ROOF INSULATION. RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- T02 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- T01 2X4 WOOD STUD WALL. REFER TO STRUCTURAL.
- T04 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- U11 WOOD POST. SEE STRUCTURAL - REQUIRED. PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U12 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



MATERIALS LEGEND

- NOTES:
- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
 - ALL MATERIAL SELECTIONS SHALL COMPLY WITH CRC 701A.
 - A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE CRC 701A. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
 - APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
 - (ALTERNATIVELY, IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BIL LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAADU) FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SIDING (PER CRC 703.5.3)

BOARD & BATTEN SIDING 4" MIN. TO 15" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER CRC R703.10)
 B) WOOD SIDING (PER CRC 703.5.3)

CEMENT PLASTER STUCCO SIDING
 (PER CRC R703.7)

SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC R605.2.4, CRC R605.1, TABLE R605.1.1(1), TABLE R605.1.1(2) & ASTM D3462)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC R605.1, TABLE R605.1.1(1), TABLE R605.1.1(2) & ASTM D3462)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING

CITY OF ESCONDIDO PRE-APPROVED ADU - PLAN 2

*FOR PLANNING STAFF ONLY
INITIAL WHEN THIS COLUMN HAS BEEN REVIEWED. STAFF INITIALS: _____

ALL PLAN USERS MUST SUBMIT A COMPLETED
USER LICENSE AGREEMENT AT THE TIME OF
APPLICATION SUBMITTAL. STAFF INITIALS: _____

PROJECT ADDRESS:

(TO BE PROVIDED BY OWNER / APPLICANT)

☐ OWNER / APPLICANT TO PROVIDE THE TITLE REPORT

PROJECT DIRECTORY

(TO BE PROVIDED BY OWNER / APPLICANT)

APPLICANT: _____ OWNER: _____
ADDRESS: _____ ADDRESS: _____
PHONE: _____ PHONE: _____
EMAIL: _____ EMAIL: _____
CONTACT: _____ CONTACT: _____

ARCHITECT

RRM DESIGN GROUP
address: 3765 S Higiera St, Suite 102
SAN LUIS OBISPO, CA 93401
CONTACT: RANDY RUSSOM
email: RANDY@RRMDDESIGN.COM
PHONE: (805) 543-1784

UTILITIES

OWNER / APPLICANT TO LIST SERVICE PROVIDERS IN SPACES BELOW (SEE SITE PLAN, SHEET AS-101 FOR INFORMATION AND LOCATIONS OF ALL UTILITIES)

WATER AND SEWER SERVICE
ELECTRICAL SERVICE
GAS SERVICE
SEWER SERVICE
CABLE SERVICE
GARAGE SERVICE

WASTE WATER

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)
THE ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY AND SANITARY SEWER SYSTEMS.

NOTE: A NEW SEPTIC SYSTEM IS ONLY PERMITTED WHEN NO PUBLIC SEWER IS DEEMED AVAILABLE, A PERCOLATION REPORT AND SEPTIC DESIGN ARE REQ.)

☐ NO NEW SEPTIC SYSTEM.☐ NEW SEPTIC SYSTEM, PROVIDE STAMPED DEED EXHIBIT.

IF NO, SELECT ONE OF THE FOLLOWING:

☐ NEW SEWER LINES CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.☐ NEW SEWER LINES BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

WATER SUPPLY

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)

☐ NEW WATER SUPPLY CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.☐ NEW WATER SUPPLY BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY. SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

ELECTRICAL PANEL

ELECTRICAL PANEL (SEE PLANS & SITE PLAN FOR LOCATION)

NOTE: VERIFY IF THE ADU WILL HAVE ITS OWN SEPARATE UTILITY SERVICE INSTALLED OR IF THE ADU WILL BE SUBFED FROM AN EXISTING ADEQUATE SERVICE. PROVIDE COMPLETE ELECTRICAL LOAD CALCULATIONS FOR REVIEW. IF SUBFED, PLEASE PROVIDE A SECOND AND SEPARATE LOAD CALCULATION OF THE EXISTING SERVICE TO JUSTIFY IT IS ADEQUATE FOR THE ADDITIONAL LOADS.

(A) NEW ELEC. MAIN PANEL OF 200 AMP WITH 225 AMP MIN. BUSBAR RATING
(B) A NEW ELEC. SUB-PANEL CONNECTS TO THE ELEC. MAIN PANEL OF 220 AMP ON THE PRIMARY HOME WITH A 225 AMP MIN. BUSBAR RATING
(C) NEW ELEC. MAIN PANEL MIN. 400 AMP DUAL METER AT PRIMARY HOUSE WITH A NEW ELEC. SUB-PANEL AT ADU THAT CONNECTS TO THE MAIN PANEL

HERS QII REQUIRED

SEE SHEET S-103 FOR REQUIRED SPECIAL INSPECTIONS

A REGISTERED DESIGN PROFESSIONAL SHALL COMPLETE THE CITY OF ESCONDIDO STATEMENT OF REQUIRED SPECIAL INSPECTIONS CERTIFICATE (FORM PLG-340) PRIOR TO PERMIT ISSUANCE. THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR WORK REQUIRING SPECIAL INSPECTIONS IN THE PLANS AND THE INDIVIDUALS OR FIRMS RESPONSIBLE FOR THE SPECIAL INSPECTION ELEMENT(S). FOR FURTHER INSTRUCTIONS SEE S-103.

OWNER/APPLICANT HAS COMPLETED SPECIAL INSPECTION FORM

OWNER/APPLICANT SIGNATURE: _____



PROJECT INFORMATION

STAFF INITIALS

*FOR BUILDING DEPARTMENT REVIEW, INITIAL WHEN SECTION HAS BEEN REVIEWED

PROJECT SCOPE:
1. CONSTRUCTION OF A NEW DETACHED 1 STORY 644 SF ACCESSORY DWELLING UNIT WITH 1 BEDROOMS AND 1 BATH
2. ALL THE WORK SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

AREA:	SQUARE FOOTAGE:	CONDITIONED?
PLAN 2	644 SF	CONDITIONED
PLAN 2 FRONT PORCH	70 SF	UNCONDITIONED

BUILDING INFORMATION:

NUMBER OF STORES: 1 OCCUPANCY GROUP: S-3
CONSTRUCTION TYPE: SPRINKLER USE (SEE FIRE SPRINKLERS SECTION ON THIS SHEET)
ZONING: R-10
MAX HEIGHT ALLOWED: 11'-0"
PROPOSED HEIGHT: 11'-0"

SITE INFORMATION:

(TO BE PROVIDED BY APPLICANT OR OWNER)

APN: _____ LAND USE: _____
EXISTING USE: _____
PROPOSED USE: _____
LOT SIZE (SQ. FT.): _____

LOT COVERAGE SETBACKS MIN. REQUIRED: PROPOSED:
PRIMARY BUILDING SF: FRONT: _____
ACCESSORY BUILDING SF: REAR: 4'-0"
STRUCTURE(S) SETBACK: APPLICABLE
LOT COVERAGE SF: SIDE: 4'-0"
FLOOR AREA RATIO: BETWEEN STRUCTURES:

SETBACK RESTRICTIONS - FIRE RATINGS:

IS THE ADU 9'-0" OR LESS TO ANY PROPERTY LINE AND/OR IS THE ADU 10'-0" OR LESS FROM ANY ADJACENT BUILDING OR STRUCTURE?

☐ NO
☐ YES, IF YES, FIRE RATED WALL & PROJECTIONS REQUIRED PER 2022 CBC SECTION R302.1, FIRE RATED WALL DETAIL: 421-A901
IF YES, FIRE RATED WALL & PROJECTIONS REQUIRED PER 2022 CBC SECTION R302.1, FIRE RATED WALL DETAIL: 421-A901
SEE DETAILS: 311-A905, 321-A905, 411-A906, 421-A906

ENERGY COMPLIANCE PREPARED BY: CARSTENS ENERGY
DATE PREPARED: JULY 27, 2024
JOB NUMBER: 24-07222

DEFERRED SUBMITTAL(S)

TRUSS CALCULATIONS STAFF INITIALS: _____
FIRE SPRINKLER (IF APPLICABLE, SEE FIRE SPRINKLERS SECTION)

PHOTOVOLTAIC SYSTEM (PV) (DEFERRED SUBMITTAL)

PV NOT REQUIRED PER CALIFORNIA ENERGY CODE SECTION 150.1(C)(4) EXCEPTION 2. NO PV SYSTEM IS REQ. WHEN THE MINIMUM PV SYSTEM SIZE IS LESS THAN 1,000 WDCI.
SOLAR RAY REQUIREMENTS SHALL BE IMPLEMENTED. FOR MORE INFORMATION SEE "SOLAR READY NOTES" ON SHEET G-101.

OWNER / APPLICANT TO PROVIDE THE WASTE RECYCLE FORM FILLED OUT AND SIGNED PRIOR TO ISSUANCE. THE OWNER/APPLICANT/CONTRACTOR/PERSON DOING THE WORK IS REQUIRED TO RECYCLE 75% OF ALL PROJECT CONSTRUCTION AND DEMOLITION DEBRIS.

UTILITY, GRADING, & DRAINAGE

(PLANS TO BE PROVIDED BY OTHERS)

IS GRADING NECESSARY TO CREATE PAD AND FOUNDATION?

☐ NO ☐ YES IF YES, A CIVIL ENGINEER WILL BE REQUIRED TO PROVIDE PLANS.

HERS QII REQUIRED

HERS VCM: HERS RATER WILL NEED TO FOLLOW THE VERIFICATION AND TESTING PROTOCOL FOR THE VARIABLE CAPACITY HEAT PUMP CREDIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, VERIFIED REFRIGERANT CHARGE, VERIFIED MINIMUM HSPF AND EER/SER, AND CAPACITY; OUTDOOR INDOOR UNITS AND THE COMPONENTS ARE WITHIN THE CONDITIONED ENVELOPE, AND AIRFLOW PROVIDED TO ALL HABITABLE SPACES (BEDROOMS AND LIVING SPACE).

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODEL ENERGY PERFORMANCE OF THIS COMPUTER ANALYSIS. REGISTERED CPFRS AND CPFRS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY.

- QUALITY INSULATION INSTALLATION (QI)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD TABLE 150-G-0180
- VERIFIED REFRIGERANT CHARGE
- AIRFLOW IN HABITABLE ROOMS (S2C3.1.4.1.7)
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- WALL MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT² (S2C3.4.1.8)
- OUTDOOR INDOOR UNITS LOCATED ENTIRELY IN UNCONDITIONED SPACE (S2C3.1.4.1.8)
- BATHROOM, KITCHEN, AND WINDOW VENTILATION

OWNER/APPLICANT SIGNATURE:

ADDITIONAL INFORMATION:

- ANY PROPOSED ENERGY STORAGE SYSTEM (ESS) SHALL FOLLOW SINGLE-FAMILY RESIDENTIAL MANDATORY REQ. SUMMARY SECTION 150.0(b) AND WILL REQUIRE A SEPARATE PERMIT TO BE FILLED BY APPLICANT.
- VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION VERIFICATION DETAILS FROM VCM: START REPORT, APPENDIX B, AND R431 (PER TITLE 24).
- THIS PLAN IS INTENDED FOR FLAT LOTS (SLOPING LESS THAN 10°) ACROSS THE LONGEST BUILDING DIMENSION, WITHOUT HIGHLY EXPANSIVE OR LOOSELY SETTABLE SOILS, WHERE THE MAIN DWELLING UNIT IS SUPPORTED IN SHALLOW FOOTINGS WITH SLABS ON GRADE CONSTRUCTION. IF THE PROJECT SITE DEVIATES FROM ANY OF THE FOREMENTIONED QUALITIES, AS DETERMINED BY THE BUILDING OFFICIAL, THERE PER-APPROVED ADU FOUNDATION PLANS AND DETAILS ARE NOT APPROVED BY THE BUILDING OFFICIAL.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

WILDLAND-URBAN INTERFACE FIRE AREA

- PORTIONS OF THE CITY OF ESCONDIDO ARE LOCATED IN WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA AS DEFINED BY CBC 710A.
 - A AREA DEFINED BY STATE AS A "FIRE HAZARD SEVERITY ZONE" (FHSZ).
 - B AREA DESIGNATED BY ENFORCING AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
- MORE INFORMATION ABOUT FIRE HAZARD SEVERITY ZONES, BUILDING MATERIALS, LISTINGS, AND WUL REQUIREMENTS CAN BE FOUND ON THE OFFICE OF THE STATE FIRE MARSHAL WEBSITE (HTTPS://OSFM.FIRE.CA.GOV). SEE SHEET G-102 FOR MORE INFORMATION & MAP REFERS TO FIRE AREA.
- AN ADU WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL COMPLY WITH THE CBC 710A.
- THIS PROTOTYPE PLAN PROVIDES DETAILS THAT COMPLY WITH THE PROVISIONS REQUIRED BY THE CBC 701A.

FIRE HAZARD SEVERITY ZONE LEVEL:

(TO BE PROVIDED BY APPLICANT OR OWNER. CITY OF ESCONDIDO TO VERIFY)

☐ MODERATE ☐ HIGH ☐ VERY HIGH

- IN ANY OF THE ABOVE SEVERITY ZONES, ALL OPTIONS AND DETAILS ARE REQUIRED TO BE COMPLIANT WITH CBC 710A. SEE ITEMS LISTED WITH "WUI" DESIGNATION IN ACCORDANCE WITH THE CBC SECTION 4804. STRUCTURES LOCATED IN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE.

REQUIRED V.U.I. DETAILS

STAFF INITIALS: _____

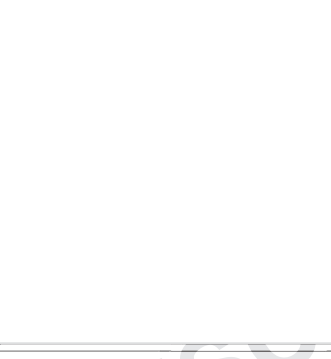
ROOF DETAILS: 311-A905, 321-A905, 411-A906, 421-A906
VENTS: 541-A905, 541-A906

☐ EXTERIOR WALL COVERINGS, SEE DOCUMENT.☐ PRE-APPROVED ADU PROGRAM - OPTION SELECTION HOUT (PADU)☐ EXTERIOR WINDOWS - "WINDOW GENERAL NOTE #2" ON FLOOR PLANS SHEET☐ EXTERIOR DOORS - "DOOR GENERAL NOTE #7" ON FLOOR PLANS SHEET

NOTE: SEE FOR SHEET G-102 "WILDLAND-URBAN INTERFACE" NOTES AND "CAL FIRE SEVERITY MAP" FOR MORE INFORMATION

VICINITY MAP

(TO BE PROVIDED BY OWNER OR APPLICANT)



FIRE SPRINKLERS

DOES THE PRIMARY RESIDENCE HAVE NFPA 13D SPRINKLERS?

☐ NO: THEREFORE, THE PROPOSED ADU IS NOT REQUIRED TO BE SPRINKLERED☐ YES: THEREFORE, THE PROPOSED ADU IS REQUIRED TO BE SPRINKLERED

FIRE SPRINKLERS NOTES:

WHEN SPRINKLERS REQUIRED PER "PRE-APPROVED ADU PLANS APPLICATION FORM"

- DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C11 LICENSED SPRINKLER CONTRACTOR.
- SECTION 803.3.1.3 NFPA 13D SPRINKLER SYSTEMS AUTOMATIC FIRE SPRINKLER SYSTEMS INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3.
- SECTION 803.2.8 GROUP R-3 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 803.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R-3.
- SECTION 803.2.8.1 GROUP R-3 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 803.3.1.3 SHALL BE PROVIDED IN GROUP R-3 OCCUPANCIES.
- LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS (A MINIMUM 1/2 INCH WATER SHALL BE INSTALLED).
- A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.
- HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY THE NEW PIPING SHALL BE TESTED.

SHEET INDEX

G-002	TITLE SHEET - PLAN 2
G-001	GENERAL NOTES
G-102	SHEET INDEX, ABBREVIATIONS & SYMBOLS
G-201	CAL GREEN RESIDENTIAL REQUIREMENTS
G-202	CAL GREEN RESIDENTIAL REQUIREMENTS
G-203	CAL GREEN RESIDENTIAL MANDATORY REQUIREMENTS
T24-201	ENERGY COMPLIANCE - PLAN 2
T24-202	ENERGY COMPLIANCE - PLAN 2
AS101	EXAMPLE SITE PLAN
AS102	ARCHITECTURAL SITE PLAN
A-101	FLOOR PLAN 2
A-121	FINISH, MECHANICAL, & ELECTRICAL PLANS
A-121	ROOF PLAN & REFLECTED CEILING PLAN - GABLE
A-122	ARCHITECTURAL DETAILS - S/TILE ROOF
A-201	ELEVATIONS & SECTIONS - GABLE
A-202	ELEVATIONS & SECTIONS - HIP
A-203	ELEVATIONS & SECTIONS - NO PORCH - GABLE & HIP
A-901	ARCHITECTURAL DETAILS - COMMON
A-902	ARCHITECTURAL DETAILS - COMMON
A-903	ARCHITECTURAL DETAILS - COMMON
A-904	ARCHITECTURAL DETAILS - ASPHALT SHINGLE ROOF
A-905	ARCHITECTURAL DETAILS - S/TILE ROOF
A-906	ARCHITECTURAL DETAILS - LAP SIDING
A-907	ARCHITECTURAL DETAILS - BOARD & BATT SIDING
A-908	ARCHITECTURAL DETAILS - STUCCO
A-910	ARCHITECTURAL DETAILS - ADHERED MASONRY VENEER
A-911	REFERENCE - PRODUCT DATA

S-101	SHEET INDEX, ABBREVIATION & SYMBOLS
S-102	GENERAL NOTES
S-103	GENERAL NOTES, SPECIAL INSPECTION & TESTS
S-201	ROOF & FOUNDATION FRAMING PLAN - GABLE
S-202	ROOF & FOUNDATION FRAMING PLAN - HIPPED
S-301	TYPICAL CONCRETE DETAILS
S-311	CONCRETE DETAILS
S-401	TYPICAL WOOD DETAILS
S-402	TYPICAL WOOD DETAILS
S-403	TYPICAL WOOD DETAILS
S-404	ROOF DETAILS
S-422	ROOF DETAILS
Grand total:	39

USER LICENSE AGREEMENT

OWNER/APPLICANT TO SIGN & SUBMIT SEPARATE SUPPORTING DOCUMENT "USER LICENSE AGREEMENT" IN ADDITION TO SIGNING THIS USER AGREEMENT BELOW.

BY USING THESE PERMIT READY ACCESSORY DWELLING UNIT CONSTRUCTION DOCUMENTS, THE USER AGREES TO RELEASE, HOLD HARMLESS, AND INDEMNIFY THE CITY OF ESCONDIDO, ITS ELECTRIC OFFICIALS AND EMPLOYEES, RRM DESIGN GROUP, AND THE ARCHITECT OR ENGINEER WHO PREPARED THESE CONSTRUCTION DOCUMENTS FROM ANY AND ALL CLAIMS, LIABILITIES, SUITS AND DAMAGES ON ACCOUNT OF ANY INJURY, DAMAGE OR LOSS TO PERSONS OR PROPERTY, INCLUDING INJURY OR DEATH, OR ECONOMIC LOSSES, ARISING OUT OF THE USE OF THESE CONSTRUCTION DOCUMENTS.

THE PLANS ATTACHED HERE ARE PROVIDED FOR ONLY THE USE IN THE CITY OF ESCONDIDO. NO DEVIATIONS, ALTERATIONS, OR OPTIONS BEYOND THOSE SPECIFICALLY INDICATED IN THE PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL BY THE ISSUING JURISDICTION AND OTHER BUILDING OFFICIALS. ANY UNAPPROVED PLAN MODIFICATIONS MAY BE DEVELOPED THROUGH RRM DESIGN GROUP AND THE APPROVING JURISDICTION IF REQUIRED. THIS SET OF PLANS SHALL NOT BE USED FOR A PUBLIC HOUSING PROJECT.

SIGNATURE _____ DATE _____

OPTION SELECTIONS (ALL STYLES)

*OWNER/APPLICANT REQ. TO SELECT ONE OPTION FOR ALL OF THE FOLLOWING AND MARK THROUGHOUT NON-APPLICABLE OPTIONS & VIEWS THROUGHOUT SET:

*OWNER/APPLICANT REQ. TO COMPLETE COLOR AND MATERIALS REVIEW FORM AND PROVIDE TO PLANNING FOR REVIEW AT TIME OF APPLICATION.

ROOF STYLE

☐ (A) GABLE ROOF, SEE: 1/A2-121
☐ (B) HIP ROOF, SEE: 1/A2-122

ROOF MATERIAL

☐ (A) ASPHALT SHINGLE, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____
PRODUCT NAME: _____
LISTING REPORT #: _____☐ (B) CLAY "S" TILE, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____
PRODUCT NAME: _____
LISTING REPORT #: _____

ROOF UNDERLAYMENT

☐ (A) ROOF UNDERLAYMENT, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____
PRODUCT NAME: _____
LISTING REPORT #: _____

COVERED FRONT PORCH OPTION

☐ (A) YES
☐ (B) NO, SEE VIEW: 5/A2-101

ALTERNATIVE KITCHEN / STACKED LAUNDRY LAYOUTS

☐ (A) SEE BY SIDE W/IN WITH CABINETS, SEE PRIMARY VIEW: 1/A2-101
☐ (B) STACKED W/D WITH REDUCED CABINETS, SEE VIEW: 2/A2-101
☐ (C) STACKED W/D & DINING WITH WINDOW, SEE VIEW: 3/A2-101
☐ (D) STACKED W/D WITH PANTRY, SEE VIEW: 4/A2-101

OPTIONAL SHOWER

☐ (A) YES, SEE VIEW: 5/A2-101
☐ (B) NO

OPTIONAL DOORS & WINDOWS (STRIKE THROUGH THE WINDOW AND DOOR TAGS OF THE OPENINGS THAT WILL NOT BE USED ON THE PLANS)

☐ (A) YES, INDICATE ON DOOR & WINDOW SCHEDULES AND INDICATE ON PLANS
☐ (B) NO, DOORS & WINDOWS IN PRIMARY VIEWS TO REMAIN 5/A2-101

WATER HEATER

☐ (A) NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER, SPECIFIC BRAND/MODEL MUST BE INSTALLED (PER TITLE 24).
☐ (B) ALTERNATIVE WATER HEATER WITH CERTIFICATION THAT NEW 124 ENERGY REPORT IS PROVIDED: MFR. & MODEL: _____

WALL & CEILING MATERIALS & COMPOSITION SELECTIONS OPTIONS

☐ (A) IMPROVED SOUND INSULATION
☐ (B) IMPROVED MOISTURE & MOLD & MILDEW-RESISTANT PERFORMANCE
☐ (C) BOTH (A) & (B)
☐ (D) NONE

STYLE SELECTION

*DISCLAIMER: STYLE SELECTION ONLY APPLIES TO ADUs IN DEN. *OWNER OR APPLICANT TO SELECT ONE OF THE FOLLOWING STYLES AND REFER TO CORRESPONDING HANDOUT: "OWN ADU STYLE ADAPTATION GUIDE" FOR MORE INFORMATION

☐ PERIOD REVIVAL/PROVINCIAL☐ CRAFTSMAN AND CALIFORNIA BUNGALOW☐ MEDITERRANEAN☐ COLONIAL REVIVAL☐ QUEEN ANNE☐ ITALIANATE

THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION ON DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY
CITY OF ESCONDIDO
https://www.escondido.gov/

ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO, CA 92025
(760) 839-4880

ESCONDIDO PRE-APPROVED ADU

CITY OF ESCONDIDO

TITLE SHEET - PLAN 2

DATE

10/08/2024

SHEET

G-002



ESCONDIDO
City of Choice

THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CAN BE NO CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
4. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
6. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM VESSEL.
8. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
9. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING.
10. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
11. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
12. PER CRC R311.3 FLOORS OR LANDINGS AT EXTERIOR DOORS SHALL BE AT LEAST AS WIDE AS DOOR SERVED AND SHALL PROVIDE A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36 INCHES MINIMUM. SLIPS OF EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" PER FOOT (2% SLOPE).
13. PER CRC 121.1 REINFORCEMENT FOR GRAB BARS SHALL BE PROVIDED IN AT LEAST ONE BATHROOM. 1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. 2. REINFORCEMENT SHALL NOT BE LESS THAN 2X8 INCH NOMINAL LUMBER OR OTHER MATERIAL PROVIDING EQ. HT. AND CAPACITY. REINFORCEMENT ABOVE THE FINISHED FLOOR FINISH WITH THE WALL FRAMING. 3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDES OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. 4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. 5. BATHUB AND COMBINATION BATHUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT SHALL BE PROVIDED FOR ALL OTHER GRAB BARS. 6. REINFORCEMENT BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHUB RIM. REFER TO SHEET A-303 FOR MORE INFORMATION.

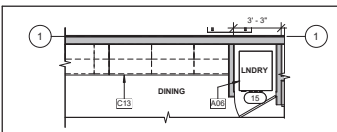
WALL LEGEND

- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH. SEE EQ. (EXT.) FINISH. ONE LAYER GYP. WALL BOARD INT. SEE T24 FOR INSULATION.
- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH ON BOTH SIDES. SEE EQ. (EXT.) FINISH.
- EXTERIOR - 1 HOUR FIRE RATED - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH. SEE EQ. (EXT.) FINISH. ONE LAYER GYP. WALL BOARD INT. SEE T24 FOR INSULATION. REFER TO DETAIL A-1/A-91.
- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH ON BOTH SIDES. SEE EQ. (EXT.) FINISH. SEE T24 FOR INSUL. ADD BLOCKING AS NEEDED IN THESE LOCATIONS PER DETAILS.
- INTERIOR - 3 1/2" WOOD STUD W/ ONE LAYER GYP. WALL BOARD EACH SIDE. ADD BLOCKING AS NEEDED IN THESE LOCATIONS PER DETAILS.

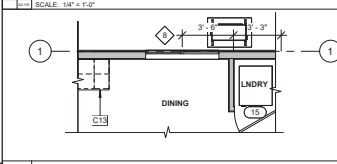
NOTE: SEE MANUFACTURER PRODUCT LISTINGS FOR (A) IMPROVED ACoustIC / SOUND PERFORMANCE OPTIONS (B) IMPROVED MOISTURE / MOLD / MILDWEAR RESISTANT PERFORMANCE OPTIONS. ANNOTATE LOCATIONS OF SELECTIONS. SEE DETAIL SHEET FOR ACTUAL THICKNESS / INSULATION. THICKNESS OF WALL MAY INCREASE WITH SELECTION. VISIT GYPSUM.ORG FOR MORE INFORMATION.

KEYNOTES

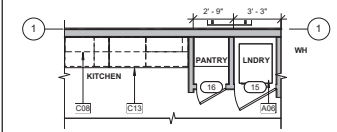
- A01 30" WIDE FREE STANDING ELECTRIC RANGE OVEN. VENT TO EXTERIOR, STAINLESS STEEL.
- A02 30" WIDE BUILT-IN MICROWAVE WITH RANGE VENT. STAINLESS STEEL.
- A03 REFRIGERATOR LOCATION. PROVIDE 42" SPACE WITH ROUGH PLUMBING FOR ICE MAKER RECESS IN WALL.
- A04 BOARD & BAT. 41/A-923
- A05 STUCCO. 41/A-922
- A06 THRESHOLD. 11/A-901
- B01 30" SINGLE COMPARTMENT UNDERMOUNT KITCHEN SINK W/ GARBAGE DISPOSAL. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET.
- B04 LAVATORY SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- B06 32" x 60" x 72" TUB AND SHOWER COMBINATION. MODEL BY BULDER. PROVIDE SHOWER ROD.
- B14 40 GALLON TANK WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. SEE DETAIL: 14/A-901 FOR ANCHORING. SEE SHEET A-91 FOR MORE INFORMATION.
- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" RIGIDER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CPC 307.28 & CMC 305.11. SEE GENERAL NOTES 7 & 8 ON SHEET 111 FOR MORE INFO. SEE DETAIL 53/A-002.
- B41 FAN COIL. 8" x 8" x 72". TO BOTTOM OF UNIT. PROVIDE DEDICATED WALL OUTLET. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
- B48 WATER CLOSET. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS. WATER CLOSET SHALL NOT BE SET CLOSER THAN 18" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION PER CPC, SECTION 402.5.
- B49 36" x 60" TUB. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. MODEL BY BULDER.
- B50 36" x 60" SHOWER. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. TILE FLOOR. TILE WALLS AT 8" AFS. PROVIDE GLASS SHOWER ENCLOSURE.
- C08 12" DEEP UPPER CABINET.
- C12 34 1/2" HIGH BASE CABINET AND COUNTERTOP.
- C13 36" HIGH BASE CABINET AND COUNTERTOP.
- F22 MINIMUM 32" CLEAR OPENING BEDROOM DOOR FOR AGING-IN-PLACE.
- F23 MINIMUM 32" CLEAR OPENING BATHROOM DOOR FOR AGING-IN-PLACE.
- M02 DOWNPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12/A-903.



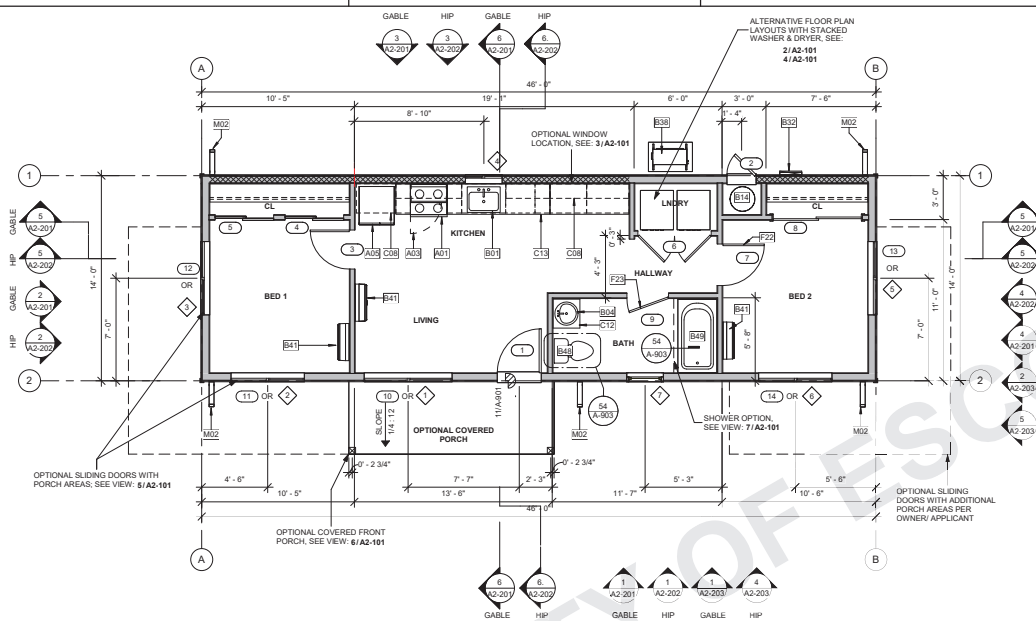
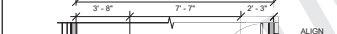
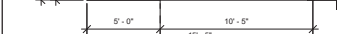
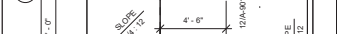
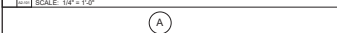
2 STACKED W/D & REDUCED CABINETS



3 KITCHEN ALT. W/ ADDED WINDOW (#8)



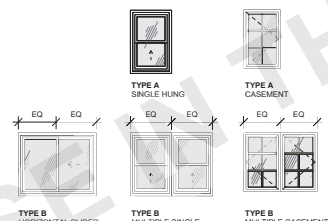
4 STACKED WASHER DRYER WITH PANTRY



1 FLOOR PLAN W/ COVERED FRONT PORCH



WINDOW LEGEND



WINDOW REMARKS

1. REQUIRED EGRESS WINDOW. REFER TO GENERAL NOTE #5 FOR ADDITIONAL INFORMATION.
2. WINDOW INCLUDES BOTH PANES TEMPERED GLAZING.
3. OPTIONAL WINDOW. SEE TITLE SHEET FOR SELECTIONS FOR MORE INFO. AT LEAST ONE EGRESS OPENING REQUIRED AT ALL BEDROOMS. SEE GENERAL WINDOW NOTE #5 FOR EGRESS REQUIREMENTS.
4. REQUIRED TO PROVIDE OBSCURE / PRIVACY GLASS.
5. @ CASEMENT WINDOWS, INCLUDE BOTH PANES TEMPERED GLAZING.
6. SAFETY GLAZING.
7. U-FACTOR = (3), SHGC = (.23), BUG SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL WINDOW.

WINDOW GENERAL NOTES

1. REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
2. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
3. REFER TO ENERGY COMPLIANCE REPORTS TO VERIFY U-FACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS. ALL OPENINGS TO BE U-FACTOR = (3), SHGC = (.23). BUG SCREEN REQUIRED (PER TITLE 24).
4. ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
5. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" AFF. MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT: 5.5 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 20" WIDTH: 20" [CRC SEC. R310.2] EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER CRC 2022. SECTION 310.1.
6. GLAZING IN WALLS ADJACENT TO BATHUB / SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE SAFETY GLAZING. [CRC SEC. R308.4.5]

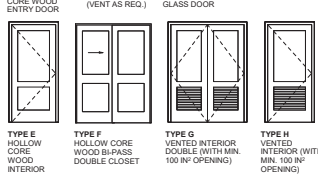
WINDOW LEGEND

NO.	TYPE	SIZE	HEAD HEIGHT	REMARKS
1	B	6'-0" x 4'-0"	6'-8"	3.7
2	B	6'-0" x 4'-0"	6'-8"	3.7
3	B	6'-0" x 4'-0"	6'-8"	3.7
4	A	2'-0" x 2'-0"	6'-8"	2.7
5	B	6'-0" x 4'-0"	6'-8"	1.3, 7
6	B	6'-0" x 4'-0"	6'-8"	3.7
7	A	2'-0" x 2'-0"	6'-8"	2.4, 7

WINDOW DETAIL REFERENCES

NO.	TYPE	SIZE	HEAD HEIGHT	REMARKS
1	B	6'-0" x 4'-0"	6'-8"	3.7
2	B	6'-0" x 4'-0"	6'-8"	3.7
3	B	6'-0" x 4'-0"	6'-8"	3.7
4	A	2'-0" x 2'-0"	6'-8"	2.7
5	B	6'-0" x 4'-0"	6'-8"	1.3, 7
6	B	6'-0" x 4'-0"	6'-8"	3.7
7	A	2'-0" x 2'-0"	6'-8"	2.4, 7

DOOR LEGEND



DOOR SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	REMARKS
1	A	3'-0"	6'-8"	1, 2, 5, 6
2	B	3'-0"	6'-8"	1, 6
3	E	2'-8"	6'-8"	
4	F	4'-0"	6'-8"	
5	G	2'-0"	6'-8"	
6	G	6'-0"	6'-8"	4
7	H	2'-10"	6'-8"	
8	H	2'-10"	6'-8"	

OPTIONAL EXTERIOR DOORS

NO.	TYPE	WIDTH	HEIGHT	REMARKS
10	D	6'-0"	6'-8"	1, 2, 3, 6
11	D	6'-0"	6'-8"	1, 2, 3, 6
12	D	2'-0"	6'-8"	1, 2, 3, 6
13	D	6'-0"	6'-8"	1, 2, 3, 6
14	D	6'-0"	6'-8"	1, 2, 3, 6

DOOR REMARKS

1. EXTERIOR DOOR.
2. GLAZING PER DOOR TYPES. REFER TO GENERAL NOTE #1.
3. OPTIONAL DOOR. INDICATE ON PLANS WHICH OPTIONS ARE SELECTED. SEE DETAIL SHEET FOR MORE INFORMATION.
4. REQUIRED OPENING OF NOT LESS THAN 100 IN. FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY APPROVED MEANS. [CRC SEC. R308.4.1] U-FACTOR = (3), SHGC = (.23). BUG SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL WINDOW.
5. VENT DOOR AS REQUIRED PER WATER HEATER MANUFACTURER REQUIREMENTS / SPECIFICATIONS.

DOOR GENERAL NOTES

1. GLAZING IN DOORS SHALL BE TEMPERED PER SECTION R308.4.1. PANES INDICATED IN DOOR LEGEND WITH (T).
2. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
3. REFER TO PLANS FOR LOCATION OF DOORS.
4. VERIFY ROUGH OPENING SIZE WITH DOOR MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO VERIFY ACTUAL DOOR SIZE TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
6. FIRE RATED DOORS SHALL BE SOLID WOOD OR SOLID HONEYCOMB CORE STEEL DOOR 1 3/8" THICK OR COMPLIANT WITH CRC SECTION R308.2.1. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING WITH WEATHER STRIPPING TO BE TIGHT FITTING.
7. EXTERIOR DOORS SHALL EITHER HAVE A FIRE-RATED RATING OF NOT THAT COMPLETES WITH THE FOLLOWING REQUIREMENTS:
 - A. STEELS AND RAILS SHALL NOT BE LESS THAN 1-3/8" THICK.
 - B. PANELS SHALL NOT BE LESS THAN 1-1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANEL SHALL BE PERMITTED TO TAPER TO A THICKNESS OF NOT LESS THAN 3/4" THICK.

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

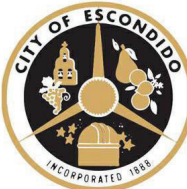
AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/
ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025
(760) 839-4880

AGENCY



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO, CA 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU

CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - GABLE

DATE
 10/08/2024
 SHEET

A2-201

SECTIONS GENERAL NOTES

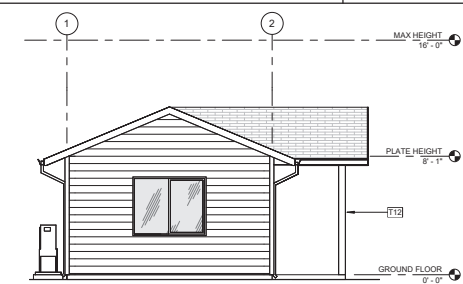
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11.1:** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOORLEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.18**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1:** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.719-INCH WOOD PARTICLE BOARD WITH JOINTS BACKED BY 0.719-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- CRC SECTION R703.15:** SHEET PILES AND SILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCPs FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANDS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- EIFS:** NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH **CRC TABLE R703.3(1)**.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH **CRC TABLE R602.3**.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH **CRC R703.15**. REFER TO **CRC R703.8** FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

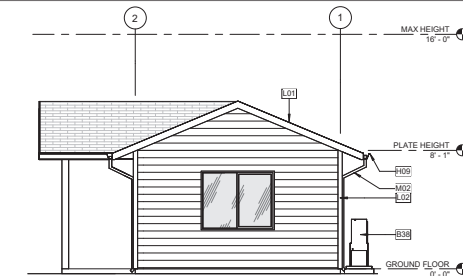
KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN 1" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER **CRC 807.2** & **CRC 305.1.1**. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL 53A-362.
- G14 4" CONCRETE SLAB ON GRADE. REFER TO STRUCTURAL PLANS.
- G15 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
- H09 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER **CRC R327.5.4**.
- H12 ATTIC VENT (LOW): LOWER VENTILATORS SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE PER **R902.2**. EXCEPTION: PROVIDE DAMPER TO PROVIDE D.I.A. AIRSPACE WHERE REQ. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H13 ATTIC VENT (HIGH): UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL, PROVIDE MINIMUM OF 12"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION. COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K05 FASCIA: SEE DETAILS FOR MORE INFORMATION.
- L02 CORNER TRIM. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-603.
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.).
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL. REQUIRED: PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



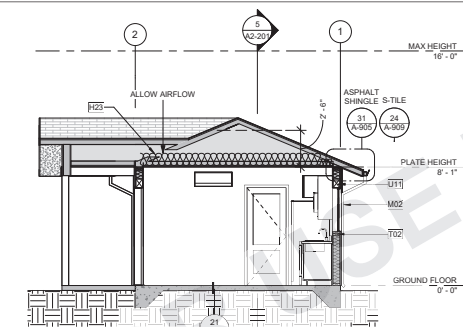
2 LEFT ELEVATION - GABLE

A2-101 | A2-201 SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION - GABLE

A2-101 | A2-201 SCALE: 1/4" = 1'-0"



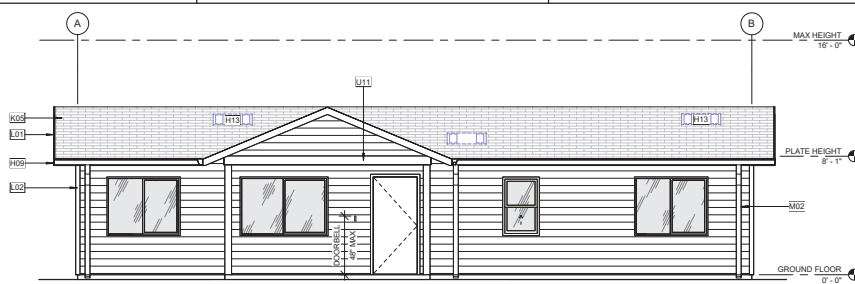
6 SECTION 2

A2-101 | A2-201 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

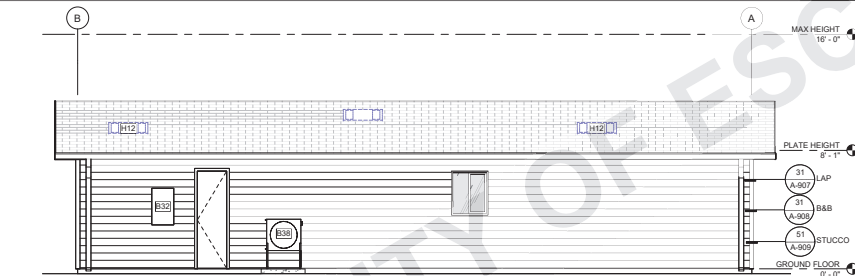
NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CRC 704**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CRC 704**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTING CAN BE FOUND IN THE (CURRENT) CAL FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BML LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.



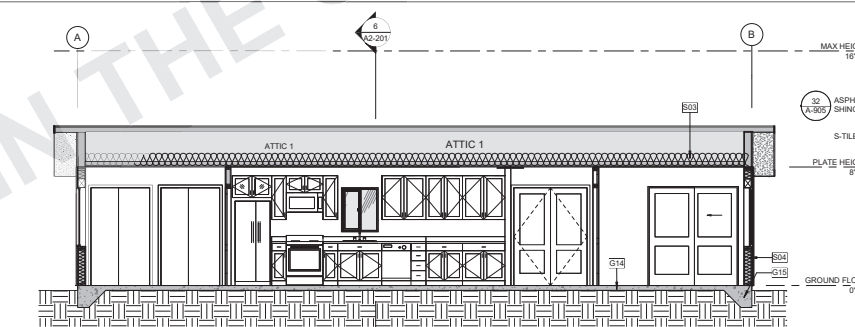
1 FRONT ELEVATION - GABLE

A2-101 | A2-201 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION - GABLE

A2-101 | A2-201 SCALE: 1/4" = 1'-0"



5 SECTION 1

A2-101 | A2-201 SCALE: 1/4" = 1'-0"

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDBOOK (PAADU)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SIDING (PER **CRC R703.5.3**)

BOARD & BATTEN SIDING 4" MIN. TO 15" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER **CRC R703.10**)
 B) WOOD SIDING (PER **CRC R703.5.3**)

CEMENT PLASTER STUCCO SIDING
 (PER **CRC R703.7**)

SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SHAKES/SHINGLES (PER **CRC R703.6**)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.2.4**, **CRC R905.1**, **TABLE R905.1.1(1)**, **TABLE R905.1.1(2)** & **ASTM D3462**)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.1**, **CRC R905.3**)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO, CA 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO
 ELEVATIONS & SECTIONS - HIP

DATE
 10/08/2024

SHEET

A2-202

SECTIONS GENERAL NOTES

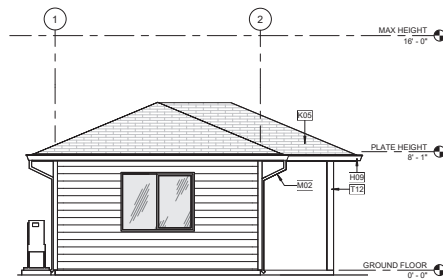
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER CRC SECTION R302.11.
 - SECTION R302.11 -
 - FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD, WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILING AND COVE CEILING.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
 - SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.718-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.718-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.718-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.718-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
 - PER CRC SECTION R317.1 SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE, OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
 - REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
 - PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
 - ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CRC 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, UNLESS NOTED.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- THE MINIMAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

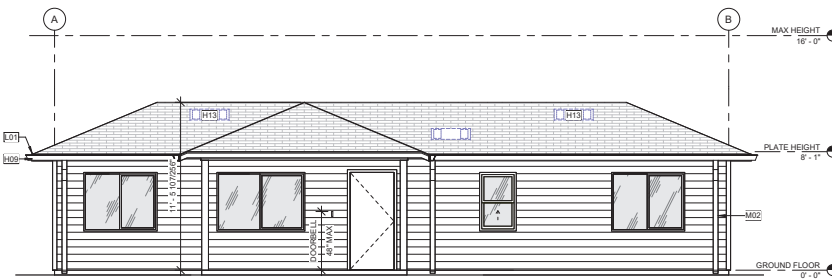
KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL, OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 2" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CPC 507.25 & CPC 305.1.1. SEE GENERAL KEYNOTE 7 & 8 ON SHEET A-11 FOR MORE INFO. SEE DETAIL 53A-602.
- B41 FAN COIL @ 8" A.F. & BOTTOM OF UNIT. PROVIDE DEDICATED WALL OUTLET. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATION OF OUTDOOR CONDENSING UNIT. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
- G02 CONCRETE FLOORS. 14" FT SLOPE AWAY FROM BUILDING.
- G16 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
- H12 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.4.
- H12 ATTIC VENT (LOW). LOWER VENTILATORS SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE PER R327.4. EXCEPTION 2. PROVIDE DAMPER TO PROVIDE 1" CLR. AIRSPACE WHERE REG. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H13 ATTIC VENT (HIGH). UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 1 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL, PROVIDE MINIMUM OF 12"x12" BLOCK OPENING TO PROVIDE CROSS-VENTILATION.
- K01 HORIZONTAL SIDING. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.1) MIN. ROOF EMISSION (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- L02 CORNER TRIM. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT/DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-R0.
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.).
- T01 2X4 WOOD STUD WALL. REFER TO STRUCTURAL.
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL. PROVIDE PRIMER & 2 COATS OF FINISH COAT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



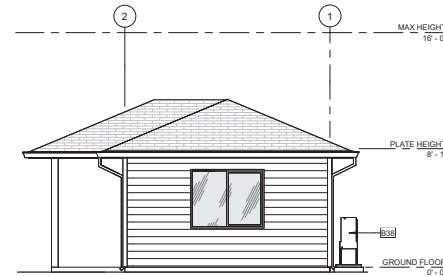
2 LEFT ELEVATION - PORCH

A2-101 | A2-202 SCALE: 1/4" = 1'-0"



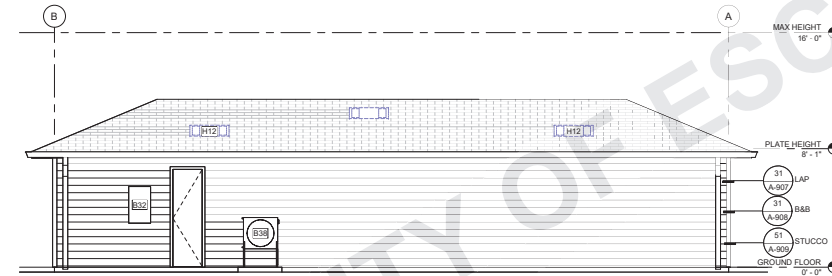
1 FRONT ELEVATION HIP (WITH ALL OPTIONAL DOORS SHOWING)

A2-101 | A2-202 SCALE: 1/4" = 1'-0"



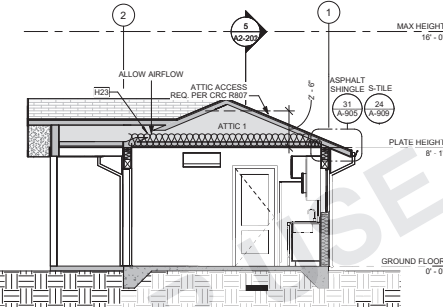
4 RIGHT ELEVATION

A2-101 | A2-202 SCALE: 1/4" = 1'-0"



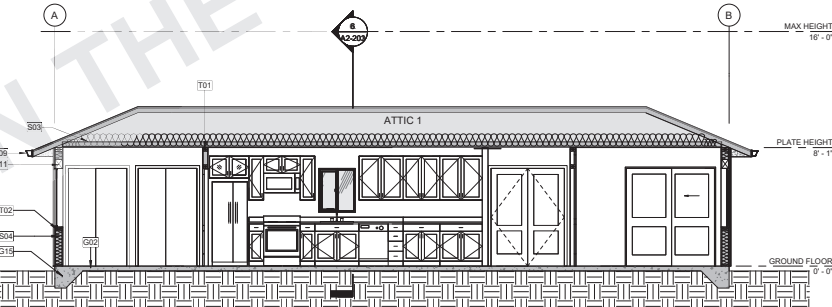
3 REAR ELEVATION - HIP

A2-101 | A2-202 SCALE: 1/4" = 1'-0"



6. SECTION 2

A2-101 | A2-202 SCALE: 1/4" = 1'-0"



5 SECTION 1

A2-101 | A2-202 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

- NOTES:
- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
 - ALL MATERIAL SELECTIONS SHALL COMPLY WITH CBC 701A.
 - A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE CBC 701A. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
 - APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
 - (ALTERNATIVELY, IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BML LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAADU) FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SIDING (PER CRC 703.5.3)

SHAKE/SHINGLE SIDING - OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6)
 OPTION C: REQUIRES APPROVAL

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMISSION (0.85) MIN.
 (SHALL COMPLY WITH CRC R505.2.4, CRC R505.1, TABLE R505.1.1(1), TABLE R505.1.1(2) & ASTM D2462)

BOARD & BATTEN SIDING 4" MIN. TO 16" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER CRC R703.10)
 B) WOOD SIDING (PER CRC 703.5.3)

ADHERED MASONRY STONE VENEER
 OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6)
 OPTION C: REQUIRES APPROVAL

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMISSION (0.85) MIN.
 (SHALL COMPLY WITH CRC R505.1, CRC R505.3)

CEMENT PLASTER STUCCO SIDING
 (PER CRC R703.7)

ADHERED MASONRY BRICK VENEER

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - NO
 PORCH - GABLE & HIP

DATE
 10/08/2024
 SHEET

A2-203

SECTIONS GENERAL NOTES

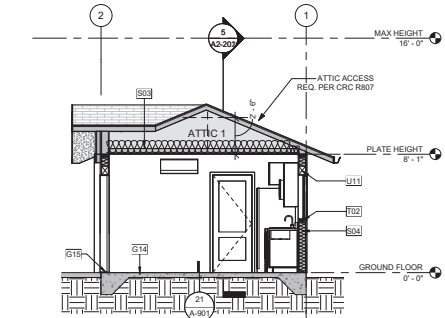
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11 - 1.** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS. WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.18**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1 - 1.** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-1/2 INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS BACKED BY 0.719-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER **CRC SECTION R703.15** SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCPs FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS
- REFER TO ROOF PLAN FOR OVERHANDS. FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.L.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- IF NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

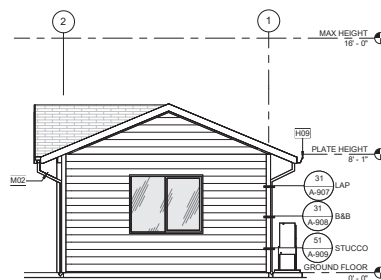
KEYNOTES

- B38 MULTIZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CRC 907.25 & CRC 905.1.1. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL S3A-902.
- G14 4" CONCRETE SLAB ON GRADE. REFER TO STRUCTURAL PLANS
- G15 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS
- H38 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.1
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL I2A-903
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL - REQUIRED: PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



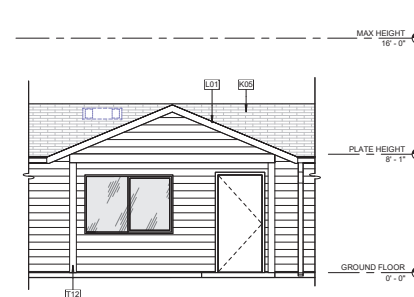
3 SECTION 3 - GABLE - NO PORCH

A2-202 | A2-203 SCALE: 1/4" = 1'-0"



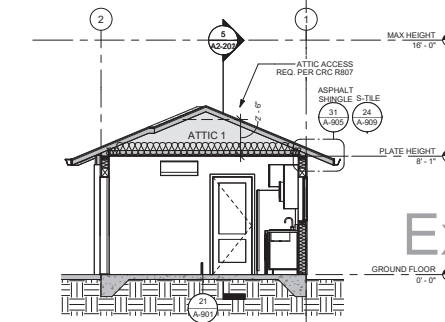
2 RIGHT ELEV. - GABLE - NO PORCH

A2-191 | A2-203 SCALE: 1/4" = 1'-0"



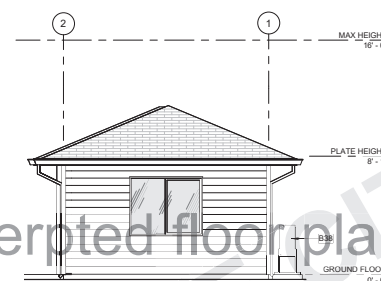
1 FRONT ELEV. - GABLE - NO PORCH

A2-101 | A2-203 SCALE: 1/4" = 1'-0"



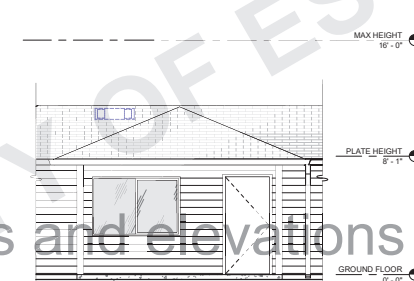
6 SECTION 3 - HIP - NO PORCH

A2-202 | A2-203 SCALE: 1/4" = 1'-0"



5 RIGHT ELEVATION - HIP - NO PORCH

A2-191 | A2-203 SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION - HIP - NO PORCH

A2-101 | A2-203 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CRC 703.10**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CRC 703.10**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE CURRENT CALIF. STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY, IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BML LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SIDING (PER CRC 703.5.3)

BOARD & BATTEN SIDING 4" MIN. TO 15" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER CRC R703.10)
 B) WOOD SIDING (PER CRC 703.5.3)

CEMENT PLASTER STUCCO SIDING
 (PER CRC R703.7)

SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAAD0)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC 905.2.4, CRC 905.1, TABLE 905.1.1(1), TABLE 905.1.1(2) & ASTM D3462)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC 905.1, CRC 905.3)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING

CITY OF ESCONDIDO PRE-APPROVED ADU - PLAN 3

*FOR PLANNING STAFF ONLY
INITIAL WHEN THIS COLUMN HAS BEEN REVIEWED. **STAFF INITIALS:**

ALL PLAN USERS MUST SUBMIT A COMPLETED
USER LICENSE AGREEMENT AT THE TIME OF
APPLICATION SUBMITTAL. **STAFF INITIALS:**

PROJECT ADDRESS:

(TO BE PROVIDED BY OWNER / APPLICANT)

☐ OWNER / APPLICANT TO PROVIDE THE TITLE REPORT

PROJECT DIRECTORY

(TO BE PROVIDED BY OWNER / APPLICANT)

APPLICANT: _____ **OWNER:** _____
ADDRESS: _____ ADDRESS: _____
PHONE: _____ PHONE: _____
EMAIL: _____ EMAIL: _____
CONTACT: _____ CONTACT: _____

ARCHITECT **RRM DESIGN GROUP**

ADDRESS: 3785 S Higuera St. Suite 102
SAN LUIS OBISPO, CA 93401
CONTACT: RANDY RUSSOM
EMAIL: DRUSSELL@RRMDDESIGN.COM
PHONE: 2 (805) 543-1784

UTILITIES

OWNER / APPLICANT TO LIST SERVICE PROVIDERS IN SPACES BELOW (SEE SITE PLAN, SHEET AS-101 FOR INFORMATION AND LOCATIONS OF ALL UTILITIES)

WATER AND SEWER SERVICE _____
ELECTRICAL SERVICE _____
GAS SERVICE _____
SEWER SERVICE _____
GARAGE SERVICE _____
CABLE SERVICE _____

WASTE WATER

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)
THE ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY AND SANITARY SEWER SYSTEMS.

NOTE: A NEW SEPTIC SYSTEM IS ONLY PERMITTED WHEN NO PUBLIC SEWER IS DEEMED AVAILABLE, A PERCOLATION REPORT AND SEPTIC DESIGN ARE REQ.)

☐ NO NEW SEPTIC SYSTEM.

☐ NEW SEPTIC SYSTEM: PROVIDE STAMPED DEED EXHIBIT.

IF NO, SELECT ONE OF THE FOLLOWING:

☐ NEW SEWER LINES CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.

☐ NEW SEWER LINES BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

WATER SUPPLY

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)

☐ NEW WATER SUPPLY CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.

☐ NEW WATER SUPPLY BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY. SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

ELECTRICAL PANEL

ELECTRICAL PANEL (SEE PLANS & SITE PLAN FOR LOCATION).
NOTE: SPECIFY IF THE ADU WILL HAVE ITS OWN SEPARATE UTILITY SERVICE INSTALLED OR IF THE ADU WILL BE SUB-FED FROM AN EXISTING ADEQUATE SERVICE. PROVIDE COMPLETE ELECTRICAL LOAD CALCULATIONS FOR REVIEW. IF SUB-FED, PLEASE PROVIDE A SECOND AND SEPARATE LOAD CALCULATION OF THE EXISTING SERVICE TO JUSTIFY IT IS ADEQUATE FOR THE ADDITIONAL LOADS.

☐ (A) NEW ELEC. MAIN PANEL OF 200 AMP WITH 225 AMP MIN. BUSBAR RATING

☐ (B) A NEW ELEC. SUB-PANEL CONNECTS TO THE ELEC. MAIN PANEL OF 220 AMP ON THE PRIMARY HOME WITH A 225 AMP MIN. BUSBAR RATING

☐ (C) NEW ELEC. MAIN PANEL MIN. 400 AMP DUAL METER AT PRIMARY HOUSE WITH A NEW ELEC. SUB-PANEL AT ADU THAT CONNECTS TO THE MAIN PANEL

HERS QII REQUIRED

SEE SHEET S-103 FOR REQUIRED SPECIAL INSPECTIONS

A REGISTERED DESIGN PROFESSIONAL SHALL COMPLETE THE CITY OF ESCONDIDO STATEMENT OF REQUIRED SPECIAL INSPECTIONS CERTIFICATE (FORM PLG-340) PRIOR TO PERMIT ISSUANCE. THE DESIGN PROFESSIONAL SHALL SIGN AND PRINT NAME AND TITLE IN THE SPACES IN THE INDIVIDUALS OR FIRMS RESPONSIBLE FOR THE SPECIAL INSPECTION ELEMENT(S). FOR FURTHER INSTRUCTIONS SEE S-103.

OWNER/APPLICANT HAS COMPLETED SPECIAL INSPECTION FORM

OWNER/APPLICANT SIGNATURE: _____



PROJECT INFORMATION

*FOR BUILDING DEPARTMENT REVIEW, INITIAL WHEN SECTION HAS BEEN REVIEWED

PROJECT SCOPE:

- CONSTRUCTION OF A NEW DETACHED 1 STORY 842 SF ACCESSORY DWELLING UNIT WITH 2 BEDROOMS AND 1 BATH
- ALL THE WORK SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

AREA:	SQUARE FOOTAGE:	CONDITIONED?
PLAN 3 FRONT PORCH	851 SF	CONDITIONED
	85 SF	UNCONDITIONED

BUILDING INFORMATION:

NUMBER OF STORES: 1 OCCUPANCY GROUP: 5-3
CONSTRUCTION TYPE: SPRINKLER (SEE FIRE SPRINKLER SECTION FOR DETAILS)
ZONING: R2
MAX HEIGHT ALLOWED: 14'-6"

SITE INFORMATION:

(TO BE PROVIDED BY APPLICANT OR OWNER)

APN: _____ LAND USE: _____
EXISTING USE: _____
LOT SIZE (SQ. FT.): _____ PROPOSED USE: _____

LOT COVERAGE

FRONT:	REAR:	SIDE:	BETWEEN:
MIN. REQUIRED:	4'-0"	4'-0"	MIN. REQUIRED:
PROPOSED:			MIN. REQUIRED:

SETBACK RESTRICTIONS - FIRE RATINGS:

IS THE ADU 8'-0" OR LESS TO ANY PROPERTY LINE AND/OR IS THE ADU 10'-0" OR LESS FROM ANY ADJACENT BUILDING OR STRUCTURE?

☐ NO

☐ YES. IF YES, FIRE RATED WALL & PROJECTIONS REQUIRED PER 2022 CBC SECTION R102.1. FIRE RATED WALL DETAIL: 42/A-901
IF YES, FIRE RATED DOORING IS REQUIRED IN PROJECTIONS, RAKES AND EAVES. SEE DETAILS: 31/A-905, 32/A-905, 41/A-906, 42/A-906

ENERGY COMPLIANCE
PREPARED BY: CARSTERS ENERGY
DATE PREPARED: JULY 22, 2024
JOB NUMBER: 24-07222

DEFERRED SUBMITTAL(S)

☐ TRUSS CALCULATIONS **STAFF INITIALS:** _____
☐ FIRE SPRINKLER (IF APPLICABLE, SEE FIRE SPRINKLER SECTION)

PHOTOVOLTAIC SYSTEM (PV) (DEFERRED SUBMITTAL)

PV NOT REQUIRED PER CALIFORNIA ENERGY CODE SECTION 150.1(C)(4) EXCEPTION 2. NO PV SYSTEM IS REQ. WHEN THE MINIMUM PV SYSTEM SIZE IS LESS THAN 1,800 WDCI.
SOLAR RATED REQUIREMENTS SHALL BE IMPLEMENTED. FOR MORE INFORMATION SEE "SOLAR READY NOTES" ON SHEET G-101.

☐ OWNER / APPLICANT TO PROVIDE THE WASTE RECYCLE FORM FILLED OUT AND SIGNED PRIOR TO ISSUANCE. THE OWNER/APPLICANT/CONTRACTOR/PERSON DOING THE WORK IS REQUIRED TO RECYCLE 75% OF ALL PROJECT CONSTRUCTION AND DEMOLITION DEBRIS.

UTILITY, GRADING, & DRAINAGE

(PLANS TO BE PROVIDED BY OTHERS)

IS GRADING NECESSARY TO CREATE PAD AND FOUNDATION?

☐ NO ☐ YES IF YES, A CIVIL ENGINEER WILL BE REQUIRED TO PROVIDE PLANS.

HERS QII REQUIRED

HERS QIIP: HERS RATER WILL NEED TO FOLLOW THE VERIFICATION AND TESTING PROTOCOL FOR THE VARIABLE CAPACITY HEAT PUMP CREDIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, VERIFIED REFRIGERANT CHARGE, VERIFIED MINIMUM HSPF AND EER/SER, AND CAPACITY; DUCTLESS INDOOR UNITS AND THE COMPONENTS ARE WITHIN THE CONDITIONED ENVELOPE, AND AIRFLOW PROVIDED TO ALL HABITABLE SPACES (BEDROOMS AND LIVING SPACES).

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE OF THIS COMPUTER ANALYSIS. REGISTERED CFP2S AND CFP3S ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY.

- QUALITY INSULATION INSTALLATION (QI)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD TABLE 150-0-G160
- VERIFIED REFRIGERANT CHARGE
- AIRFLOW IN HABITABLE ROOMS (S2C3.4.4.7)
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- WALL MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT² (S2C3.4.5)
- DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN UNCONDITIONED SPACE (S2C3.4.1.8)
- BATHROOM, KITCHEN, AND WINE HOUSE VENTILATION

OWNER/APPLICANT SIGNATURE:

ADDITIONAL INFORMATION:

- ANY PROPOSED ENERGY STORAGE SYSTEM (ESS) SHALL FOLLOW SINGLE-FAMILY RESIDENTIAL MANDATORY REQ. SUMMARY SECTION 150.0(h) AND WILL REQUIRE A SEPARATE PERMIT TO BE PULLED BY APPLICANT.
- VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION (VERIFICATION DETAILS FROM YOUR STATE REPORT, APPROXIM. B AND D43) (PER TITLE 24).
- THIS PLAN IS INTENDED FOR FLAT LOTS (SLOPING LESS THAN 10°) ACROSS THE LONGEST BUILDING DIMENSION, WITHOUT HIGHLY EXPANSIVE OR LOOSELY SETTABLE SOILS. WHILE THE MAIN DWELLING UNIT IS SUPPORTED IN SHALLOW FOOTINGS WITH SLABS ON GRADE CONSTRUCTION, IF THE PROJECT SITE DEVIATES FROM ANY OF THE AFOREMENTIONED QUALITIES, AS DETERMINED BY THE BUILDING OFFICIAL, THERE PRE-APPROVED ADU FOUNDATION PLANS AND DETAILS ARE NOT APPLICABLE.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFP1, CFP2, AND CFP3 FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

WILDLAND-URBAN INTERFACE FIRE AREA

- PORTIONS OF THE CITY OF ESCONDIDO ARE LOCATED IN WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA AS DEFINED BY CBC 710A.
a. AREA DEFINED BY STATE AS A "FIRE HAZARD SEVERITY ZONE" (PHS2).
b. AREA DESIGNATED BY ENFORCING AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
- MORE INFORMATION ABOUT FIRE HAZARD SEVERITY ZONES, BUILDING RESISTANCE, LUTSINES, AND WILFIRE REQUIREMENTS CAN BE FOUND ON THE OFFICE OF THE STATE FIRE MARSHAL WEBSITE (HTTPS://OSFM.FIRE.CA.GOV). SEE SHEET G-102 FOR MORE INFORMATION & MAP REFERENCE.
- AN ADU WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL COMPLY WITH THE CBC 710A.
- THIS PROTOTYPE PLAN PROVIDES DETAILS THAT COMPLY WITH THE PROVISIONS REQUIRED BY THE CBC 701A.

FIRE HAZARD SEVERITY ZONE LEVEL:

(TO BE PROVIDED BY APPLICANT OR OWNER. CITY OF ESCONDIDO TO CHECK OFF BOXES WHEN COMPLETE)

☐ MODERATE ☐ HIGH ☐ VERY HIGH

- IN ONE OF THE ABOVE SEVERITY ZONES, ALL OPTIONS AND DETAILS ARE REQUIRED TO FOLLOW CBC 701A. SEE ITEMS LISTED WITH "WUI" DESIGNATION IN ACCORDANCE WITH THE CBC SECTION 400.4. STRUCTURES LOCATED IN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL PROVIDE & MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE & MAINTAIN FIRE-FUEL BREAKS TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. FIRE-FUEL BREAKS SHALL BE SHOWN ON THE GRADING MAP, AND BUILDING PLANS.

REQUIRED WUI DETAILS

STAFF INITIALS: _____

☐ ROOF DETAILS: 31/A-905, 32/A-905, 41/A-906, 42/A-906

☐ VENTS: 54/A-905, 54/A-905

☐ EXTERIOR WALL COVERINGS, SEE DOCUMENT.

☐ PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAADD)

☐ EXTERIOR WINDOWS: "WINDOW GENERAL NOTE #2" ON FLOOR PLANS SHEET

☐ EXTERIOR DOORS: "DOOR GENERAL NOTE #7" ON FLOOR PLANS SHEET

NOTE: SEE SHEET G-102 "WILDLAND-URBAN INTERFACE" NOTES AND "CAL FIRE SEVERITY MAP" FOR MORE INFORMATION

VICINITY MAP

(TO BE PROVIDED BY OWNER OR APPLICANT)

FIRE SPRINKLERS

(TO BE PROVIDED BY OWNER / APPLICANT)

DOES THE PRIMARY RESIDENCE HAVE NFPA 13D SPRINKLERS?

☐ NO: THEREFORE, THE PROPOSED ADU IS NOT REQUIRED TO BE SPRINKLERED

☐ YES: THEREFORE, THE PROPOSED ADU IS REQUIRED TO BE SPRINKLERED

FIRE SPRINKLERS NOTES:

WHEN SPRINKLERS REQUIRED PER "PRE-APPROVED ADU PLANS APPLICATION FORM":

- DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR
- SECTION 903.3.1.3 NFPA 13D SPRINKLER SYSTEMS AUTOMATIC FIRE SPRINKLER SYSTEMS INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3.
- SECTION 903.2.8 GROUP R-3 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R-3 FIRE AREA.
- SECTION 903.2.8.1 GROUP R-3 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.3 SHALL BE PERMITTED IN GROUP R-3 OCCUPANCIES.
- LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS. A MINIMUM 1/2" WATER SERVICE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.
- A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY THE NEW PIPING SHALL BE TESTED.

SHEET INDEX

G-003 TITLE SHEET - PLAN 3
G-101 GENERAL NOTES
G-102 SHEET INDEX, ABBREVIATIONS & SYMBOLS
G-201 CAL GREEN RESIDENTIAL REQUIREMENTS
G-202 CAL GREEN RESIDENTIAL REQUIREMENTS
G-203 CAL GREEN RESIDENTIAL MANDATORY REQUIREMENTS

T24-301 ENERGY COMPLIANCE - PLAN 3
T24-302 ENERGY COMPLIANCE - PLAN 3

A5101 EXAMPLE SITE PLAN
A5102 ARCHITECTURAL SITE PLAN

A5101 FLOOR PLAN 3
A5102 FINISH, MECHANICAL, & ELECTRICAL PLANS
A5103 ROOF PLAN & REFLECTED CEILING PLAN - GABLE
A5104 ROOF PLAN & REFLECTED CEILING PLAN - HIP
A5105 ELEVATIONS & SECTIONS - GABLE
A5106 ELEVATIONS & SECTIONS - HIP
A5107 ELEVATIONS & SECTIONS - OPTIONAL NO PORCH ROOF

A-901 ARCHITECTURAL DETAILS - COMMON
A-902 ARCHITECTURAL DETAILS - COMMON
A-903 ARCHITECTURAL DETAILS - COMMON
A-904 ARCHITECTURAL DETAILS - ASPHALT SHINGLE ROOF
A-905 ARCHITECTURAL DETAILS - S-TILE ROOF
A-906 ARCHITECTURAL DETAILS - LAP SIDING
A-907 ARCHITECTURAL DETAILS - BOARD & BATT SIDING
A-908 ARCHITECTURAL DETAILS - STUCCO
A-909 ARCHITECTURAL DETAILS - ADHESIVE MASONRY VENER
A-910 REFERENCE - PRODUCT DATA

S-101 SHEET INDEX, ABBREVIATION & SYMBOLS
S-102 GENERAL NOTES
S-103 GENERAL NOTES, SPECIAL INSPECTION & TESTS
S-201 ROOF & FOUNDATION FRAMING PLAN - GABLE
S-202 ROOF & FOUNDATION FRAMING PLAN - HIPPED
S-301 TYPICAL CONCRETE DETAILS
S-401 TYPICAL WOOD DETAILS
S-402 TYPICAL WOOD DETAILS
S-403 ROOF DETAILS
S-404 ROOF DETAILS

Grand total: 39

USER LICENSE AGREEMENT

OWNER/APPLICANT TO SIGN & SUBMIT SEPARATE SUPPORTING DOCUMENT "USER LICENSE AGREEMENT" IN ADDITION TO SIGNING THIS USER AGREEMENT BELOW.

BY USING THESE PERMIT READY ACCESSORY DWELLING UNIT CONSTRUCTION DOCUMENTS, THE USER AGREES TO RELEASE, HOLD HARMLESS, AND INDEMNIFY THE CITY OF ESCONDIDO, ITS ELECTED OFFICIALS AND EMPLOYEES, THE FIRM DESIGN GROUP, AND THE ARCHITECT OR ENGINEER WHO PREPARED THESE CONSTRUCTION DOCUMENTS FROM ANY AND ALL CLAIMS, LIABILITIES, SUITS AND DAMAGES ON ACCOUNT OF ANY INJURY, DAMAGE OR LOSS TO PERSONS OR PROPERTY, INCLUDING INJURY OR DEATH, OR ECONOMIC LOSSES, ARISING OUT OF THE USE OF THESE CONSTRUCTION DOCUMENTS.

THE PLANS ATTACHED HERE ARE APPROVED FOR ONLY USE IN CITY OF ESCONDIDO. NO DEVIATIONS, ALTERATIONS, OR OPTIONS BEYOND THOSE SPECIFICALLY NOTED IN THE PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL BY THE ISSUING JURISDICTION AND OTHER BUILDING OFFICIAL. ANY UNAPPROVED PLAN MODIFICATIONS MAY BE DEVELOPED THROUGH RRM DESIGN GROUP AND THE APPROVING JURISDICTION IF REQUIRED. THIS SET OF PLANS SHALL NOT BE USED FOR A PUBLIC HOUSING PROJECT.

SIGNATURE _____ DATE _____

OPTION SELECTIONS (ALL STYLES)

*OWNER/APPLICANT REQ. TO SELECT ONE OPTION FOR ALL OF THE FOLLOWING AND MARK THROUGHOUT-APPLICABLE OPTIONS & WITHOUT SET.

*OWNER/APPLICANT REQ. TO COMPLETE COLOR AND MATERIALS REVIEW FORM AND PROVIDE TO PLANNING FOR REVIEW AT TIME OF APPLICATION.

ROOF STYLE

☐ (A) GABLE ROOF, SEE: 1/A3-121
☐ (B) HIP ROOF, SEE: 1/A3-122

ROOF MATERIAL

☐ (A) ASPHALT SHINGLE, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____
PRODUCT NAME: _____
LISTING REPORT #: _____

☐ (B) CLAY T & E, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____
PRODUCT NAME: _____
LISTING REPORT #: _____

ROOF UNDERLAYMENT

☐ (A) ROOF UNDERLAYMENT, SEE OPTION SELECTION HANDOUT
MANUFACTURER: _____
PRODUCT NAME: _____
LISTING REPORT #: _____

COVERED FRONT PORCH OPTION

☐ (A) YES
☐ (B) NO
SEE VIEW: 4/A3-101

OPTIONAL SHOWER

☐ (A) YES, SEE VIEW: 2/A3-101
☐ (B) NO

STACKED WASHER DRYER WITH LARGER CLOSET

☐ (A) YES, SEE VIEW: 4/A3-101
☐ (B) NO

OPTIONAL DOORS & WINDOWS (STRIKE THROUGH THE WINDOW AND DOOR TAGS OF THE OPENINGS THAT WILL NOT BE USED OR THE PLANS)

☐ (A) YES, INDICATE ON DOOR & WINDOW SCHEDULES AND INDICATE ON PLANS
☐ (B) NO, DOORS & WINDOWS IN PRIMARY VIEWS TO REMAIN
S/A3-101

WATER HEATER

☐ (A) NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER, SPECIFIC BRAND/MODEL, MUST BE INSTALLED (PER TITLE 24).
☐ (B) ALTERNATIVE WATER HEATER WITH STIPULATION THAT NEW T24 ENERGY REPORT IS PROVIDED, MFR. & MODEL.

WALL & CEILING MATERIALS A COMPOSITION SELECTIONS OPTIONS

☐ (A) IMPROVED SOUND INSULATION
☐ (B) IMPROVED MOISTURE & MOLD & MILDEW-RESISTANT PERFORMANCE
☐ (C) BOTH (A) & (B)
☐ (D) NONE

STYLE SELECTION

*DISCLAIMER: STYLE SELECTION ONLY APPLIES TO ADUS IN OEN.

*OWNER OR APPLICANT TO SELECT (1) OF THE FOLLOWING STYLES AND REFER TO CORRESPONDING HANDOUT "OEN ADU STYLE ADAPTATION GUIDE" FOR MORE INFORMATION

☐ PERIOD REVIVAL/PROVINCIAL

☐ CRAFTSMAN AND CALIFORNIA BUNGALOW

☐ MEDITERRANEAN

☐ COLONIAL REVIVAL

☐ QUEEN ANNE

☐ ITALIANATE



ESCONDIDO
City of Choice

THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU

CITY OF ESCONDIDO

TITLE SHEET - PLAN 3

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET

DATE

10/08/2024

SHEET

G-003

PUBLIC SET



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THESE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

FLOOR PLAN 3

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
3. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
4. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
6. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
8. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENING.
9. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING.
10. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
11. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
12. PER CRC R319.1.3 FLOORS OR LANDINGS AT EXTERIOR DOORS SHALL BE AT LEAST AS WIDE AS DOOR SERVED AND SHALL PROVIDE A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36 INCHES MINIMUM. SLOPE OF EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" PER FOOT (2% SLOPE).
13. PER CRC 327.1.1 REINFORCEMENT FOR GRAB BARS SHALL BE PROVIDED IN AT LEAST ONE BATHROOM. 1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENGINEERING AGENCY. 2. REINFORCEMENT SHALL NOT BE LESS THAN 2X6 NOMINAL LUMBER OR OTHER MATERIAL PROVIDING EQ. INT. AND CAPACITY. REINFORCEMENT ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING. 3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDES OF THE PARTITION, OR ONE SIDE WALL AND THE BACK WALL. 4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. 5. BATHUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6" INCHES ABOVE THE BATHTUB RIM. REFER TO SHEET A-303 FOR MORE INFORMATION.

WALL LEGEND

- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH, SEE ELEV. FOR (EXT.) FINISH. ONE LAYER GYP. WALL BOARD EACH SIDE. ADD BLOCKING AS NEEDED IN THESE LOCATIONS PER DETAILS.
- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH ON BOTH SIDES. SEE ELEV. FOR (EXT.) FINISH.
- EXTERIOR - 1 HOUR FIRE RATED - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH. SEE ELEV. FOR (EXT.) FINISH. ONE LAYER GYP. WALL BOARD INT. SEE T24 FOR INSULATION. REFER TO DETAIL A-21A-901.
- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH ON BOTH SIDES. SEE ELEV. FOR (EXT.) FINISH. SEE T24 FOR INSUL. ADD BLOCKING AS NEEDED IN THESE LOCATIONS PER DETAILS.
- INTERIOR - 3 1/2" WOOD STUD W/ ONE LAYER GYP. WALL BOARD EACH SIDE.

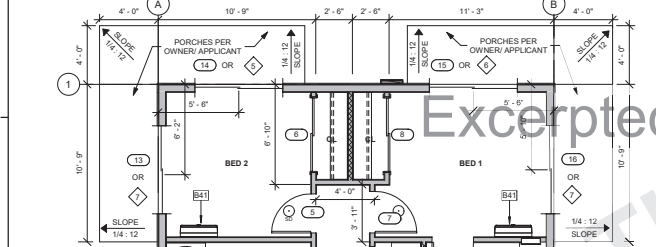
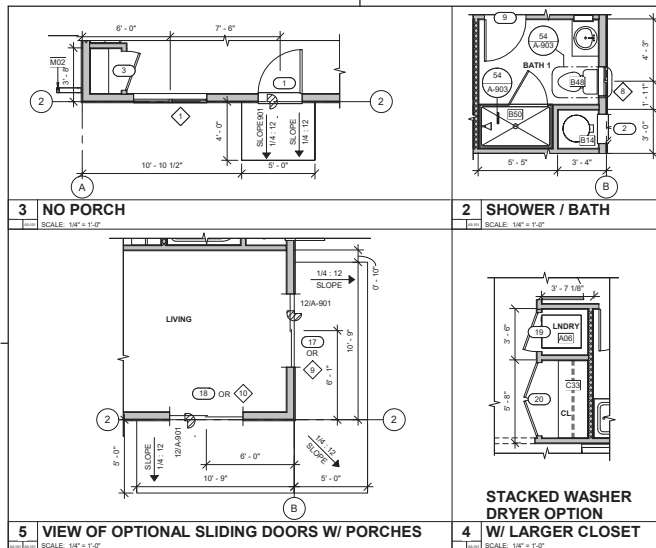
NOTE: SEE MANUFACTURER PRODUCT LISTINGS FOR (A) IMPROVED ACQUITY/ SOUND PERFORMANCE OPTIONS (AND/OR) (B) IMPROVED MOISTURE / MOLD / MILDEW-RESISTANT PERFORMANCE OPTIONS. ANNOTATE LOCATIONS OF SELECTIONS. SEE COVER SHEET FOR ACTUAL WALL CONFIGURATION. THICKNESS OF WALL MAY INCREASE WITH SELECTION. VISIT GYPUSUM.ORG FOR MORE INFORMATION.

KEYNOTES

- A03 30" WIDE BUILT-IN MICROWAVE WITH RANGE VENT, STAINLESS STEEL.
- A04 24" WIDE FRONT CONTROL UNDERCOUNTER DISHWASHER.
- A05 REFRIGERATOR LOCATION. PROVIDE 42" SPACE WITH ROUGH PLUMBING FOR ICE MAKER (RECESS IN WALL).
- A06 STACKED WASHER/DRYER MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX. PROVIDE DRYER VENT TO OUTSIDE AIR.
- B01 30" SINGLE COMPARTMENT UNDER-MOUNT KITCHEN SINK W/ GARBAGE DISPOSAL. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET.
- B04 LAVATORY SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- B05 WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS. WATER CLOSET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION PER CPC, SECTION 402.5.
- B14 40 GALLON TANK WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. SEE DETAIL: 14/A-901 FOR ANCHORING. SEE SHEET A-891 FOR MORE INFORMATION.
- B20 36" x 60" TUB. MODEL BY BUILDER.
- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B41 FAN COIL @ 8" A.F.F. TO BOTTOM OF UNIT. PROVIDE DEDICATED WALL OUTLET. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATION OF OUTDOOR CONDENSING UNIT. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
- B48 WATER CLOSET. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS. WATER CLOSET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION PER CPC, SECTION 402.5.
- B49 36" x 60" TUB. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. MODEL BY BUILDER.
- B50 36" x 60" TUB. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. THE FLOOR, THE WALLS AT 8" A.F.F. PROVIDE GLASS SHOWER ENCLOSURE.
- C01 SINGLE WOOD SHELF AND POLE.
- C13 12" DEEP UPPER CABINET.
- C24 24" DEEP FULL HEIGHT CABINET.
- C33 SHELVING PER OWNER / APPLICANT.
- G02 CONCRETE FLOORWORK. 1/4" SLOPE AWAY FROM BUILDING.
- M02 DOWNPOUT/DOWNPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12/A-903.

DOOR REMARKS

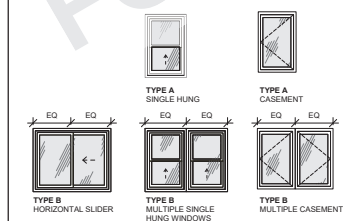
1. EXTERIOR DOOR.
2. GLAZING PER DOOR TYPES. REFER TO GENERAL, DOOR NOTE #1.
3. OPTIONAL DOOR. INDICATE ON PLANS WHICH OPTIONS ARE SELECTED; SEE TITLE SHEET FOR MORE INFORMATION.
4. REQUIRED OPENING OF NOT LESS THAN 100 IN" FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY APPROVED MEANS. (CNC SEC. R308.4.1) U-FACTOR < 0.31, SHGC < .23. BUG SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
5. VENT DOOR AS REQUIRED PER WATER HEATER MANUFACTURER REQUIREMENTS / SPECIFICATIONS.



WINDOW GENERAL NOTES

1. REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
2. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
3. REFER TO ENERGY COMPLIANCE REQUIREMENTS TO VERIFY U-FACTOR, SHGC, AND ADDITIONAL WINDOW REQUIREMENTS. ALL OPENINGS TO BE U-FACTOR < 0.31, SHGC < .23. (B) BUG SCREEN REQUIRED PER TITLE 24.
4. ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
5. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING TO THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" AFF. MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT: 5.5 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT 20" WITH 20" (CNC SEC. R319.2) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER CNC 302.2, SECTION 310.1.
6. GLAZING IN WALLS ADJACENT TO BATHUB / SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 6" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE SAFETY GLAZING. (CNC SEC. R308.4.6)

WINDOW TYPES



WINDOW SCHEDULE

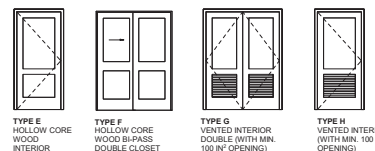
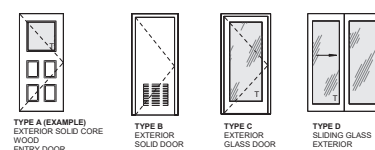
NO.	TYPE	SIZE		HEAD HEIGHT	REMARKS
		WIDTH	HEIGHT		
1	B	15'-0"	4'-0"	6'-8"	3.7
2	B	14'-0"	3'-0"	6'-8"	2.7
3	B	4'-0"	12'-0"	6'-8"	2.4
4	B	16'-0"	4'-0"	6'-8"	1.3, 7
5	B	16'-0"	4'-0"	6'-8"	1.3, 7
6	B	16'-0"	4'-0"	6'-8"	1.3, 7
7	B	16'-0"	4'-0"	6'-8"	1.3, 7
8	B	2'-0"	2'-0"	6'-8"	2.4, 7
9	B	12'-0"	4'-0"	6'-8"	3.7
10	B	15'-0"	4'-0"	6'-8"	3.7

NO.	TYPE	SIZE		HEAD HEIGHT	REMARKS
		WIDTH	HEIGHT		
1	B	15'-0"	4'-0"	6'-8"	3.7
2	B	14'-0"	3'-0"	6'-8"	2.7
3	B	4'-0"	12'-0"	6'-8"	2.4
4	B	16'-0"	4'-0"	6'-8"	1.3, 7
5	B	16'-0"	4'-0"	6'-8"	1.3, 7
6	B	16'-0"	4'-0"	6'-8"	1.3, 7
7	B	16'-0"	4'-0"	6'-8"	1.3, 7
8	B	2'-0"	2'-0"	6'-8"	2.4, 7
9	B	12'-0"	4'-0"	6'-8"	3.7
10	B	15'-0"	4'-0"	6'-8"	3.7

WINDOW REMARKS

1. REQUIRED EGRESS WINDOW. REFER TO GENERAL NOTE #5 FOR ADDITIONAL INFORMATION.
2. WINDOW INCLUDES BOTH PANE TEMPERED GLAZING.
3. OPTIONAL WINDOW. SEE TITLE SHEET FOR SELECTIONS FOR MORE INFO. AT LEAST ONE EGRESS OPENING REQUIRED AT ALL BEDROOMS. SEE GENERAL WINDOW NOTE #6 FOR EGRESS REQUIREMENTS.
4. REQUIRED TO PROVIDE OBSCURE / PRIVACY GLASS.
5. @ CASEMENT WINDOWS, INCLUDE BOTH PANE TEMPERED GLAZING.

DOOR LEGEND



DOOR SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	REMARKS
1	A	3'-0"	6'-8"	1, 2, 5, 6
2	B	2'-0"	6'-8"	
3	E	2'-8"	6'-8"	
4	E	2'-8"	6'-8"	
5	E	2'-8"	6'-8"	
6	F	5'-0"	6'-8"	
7	E	2'-10"	6'-8"	
8	E	2'-10"	6'-8"	
9	E	2'-10"	6'-8"	
10	E	2'-10"	6'-8"	
11	E	2'-10"	6'-8"	

NO.	TYPE	WIDTH	HEIGHT	REMARKS
12	D	6'-0"	6'-8"	1, 2, 3, 6
13	D	6'-0"	6'-8"	1, 2, 3, 6
14	D	6'-0"	6'-8"	1, 2, 3, 6
15	D	6'-0"	6'-8"	1, 2, 3, 6
16	D	6'-0"	6'-8"	1, 2, 3, 6
17	D	6'-0"	6'-8"	1, 2, 3, 6
18	D	6'-0"	6'-8"	1, 2, 3, 6

DOOR GENERAL NOTES

1. GLAZING IN DOORS SHALL BE TEMPERED PER SECTION R308.4.1. PANES INDICATED IN DOOR LEGEND WITH (T).
2. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
3. REFER TO PLANS FOR LOCATION OF DOORS.
4. VERIFY ROUGH OPENING SIZE WITH DOOR MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO VERIFY ACTUAL DOOR SIZE TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
6. FIRE RATED DOORS SHALL BE SOLID WOOD OR SOLID HONEYCOMB CORE STEEL DOOR 1 1/8" THICK OR COMPLIANT WITH CNC SECTION R308.4.1. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING WITH WEATHER STRIPPING TO BE TIGHT FITTING.
7. EXTERIOR DOORS SHALL EITHER HAVE A FIRE-RESISTANCE RATING OF NOT THAT COMPLEX WITH THE FOLLOWING REQUIREMENTS:
 - A. STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8" THICK.
 - B. PANELS SHALL NOT BE LESS THAN 1 1/4" THICK. EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANELS SHALL BE PERMITTED TO TAPER TO A TONGUE OF NOT LESS THAN 3/8" THICK.



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO, CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - GABLE

DATE
 10/08/2024
 SHEET

A3-201

SECTIONS GENERAL NOTES

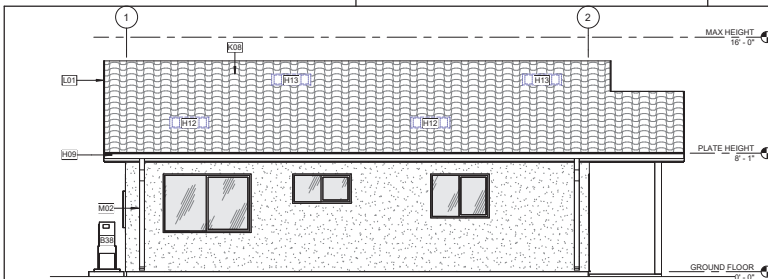
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11 -** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.19**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:**
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.75-INCH PARTIAL BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER **CRC SECTION R703.15** SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE, OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNPOUT LOCATIONS. UNLESS NOTED OTHERWISE.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- IF NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH **CRC TABLE R703.3(1)**.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH **CRC TABLE R602.3**.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH **CRC R703.15**. REFER TO **CRC R703.8** FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

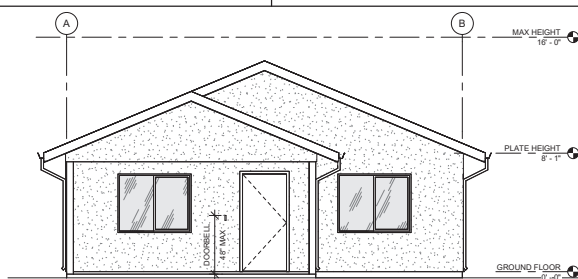
KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN 1" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER **CRC 807.2.6** & **CRC 305.1.1**. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL 53A-802.
- B41 FAN COIL @ 80° F.F. TO BOTTOM OF UNIT. PROVIDE DEDICATED WALL OUTLET. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATION OF OUTDOOR CONDENSING UNIT. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
- G02 CONCRETE FLOORS. 1 1/4" SLOPE AWAY FROM BUILDING.
- G16 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
- H09 GUTTER. CONNECT TO DOWNPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER **CRC R327.5.4**.
- H12 ATTIC VENT (LOW): LOWER VENTILATORS SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE PER R100. EXCEPTION 2: PROVIDE DAMPER TO PROVIDE 1" CLR. AIRSPACE WHERE REQ. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H13 ATTIC VENT (HIGH): UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL, PROVIDE MINIMUM OF 12"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION.
- K08 S-TYPE CLAY ROOF TILE. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNPOUT/DOWNPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-803.
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.).
- T01 2X4 WOOD STUD WALL. REFER TO STRUCTURAL.
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



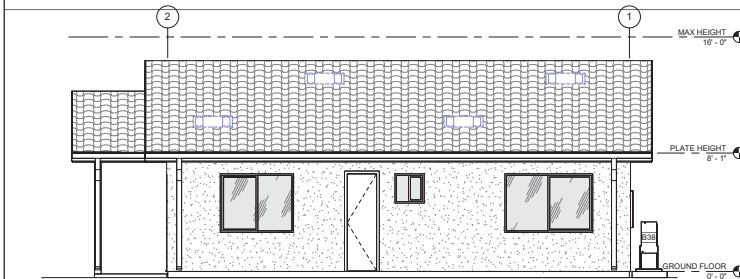
2 LEFT ELEVATION - GABLE

A3-101 | A3-201 SCALE: 1/4" = 1'-0"



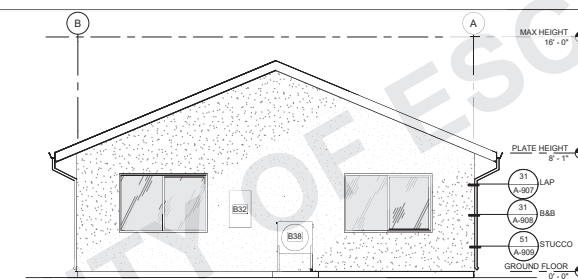
1 FRONT ELEVATION - GABLE

A3-101 | A3-201 SCALE: 1/4" = 1'-0"



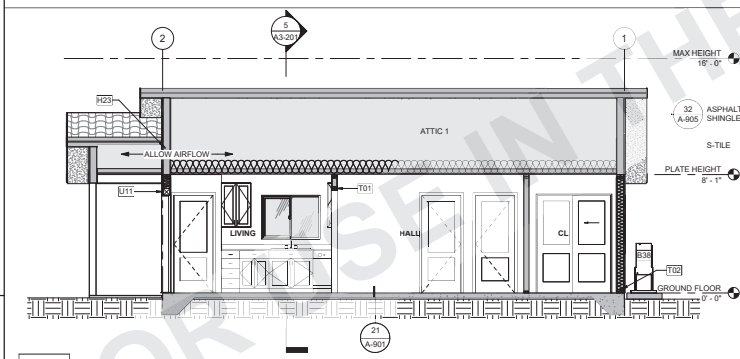
4 RIGHT ELEVATION - GABLE

A3-101 | A3-201 SCALE: 1/4" = 1'-0"



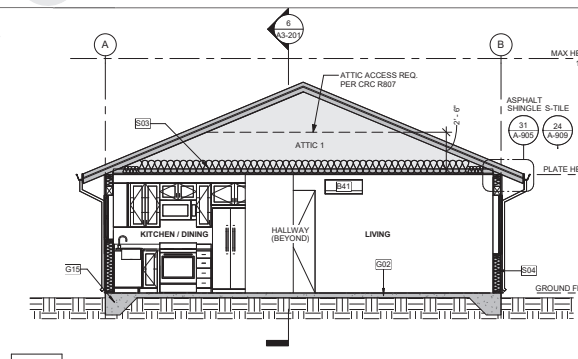
3 REAR ELEVATION - GABLE

A3-101 | A3-201 SCALE: 1/4" = 1'-0"



6 SECTION 2 - GABLE

A3-101 | A3-201 SCALE: 1/4" = 1'-0"



5 SECTION 1 - GABLE

A3-101 | A3-201 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CRC 701A**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CRC 701A**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY, IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BML LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAADU)** FOR STYLE, SLOPE, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SIDING (PER **CRC 703.5.3**)

BOARD & BATTEN SIDING 4" MIN. TO 15" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER **CRC R703.10**)
 B) WOOD SIDING (PER **CRC 703.5.3**)

CEMENT PLASTER STUCCO SIDING
 (PER **CRC R703.7**)

SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SHAKES/SHINGLES (PER **CRC R703.6**)
 OPTION C: REQUIRES APPROVAL

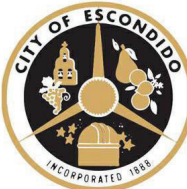
ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.2.4**, **CRC R905.1**, **TABLE R905.1.1(1)**, **TABLE R905.1.1(2)** & **ASTM D3482**)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.1**, **CRC R905.3**)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>
 ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025
 (760) 839-4880

ESCONDIDO PRE-APPROVED ADU

CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - HIP

DATE
10/08/2024
SHEET

A3-202

SECTIONS GENERAL NOTES

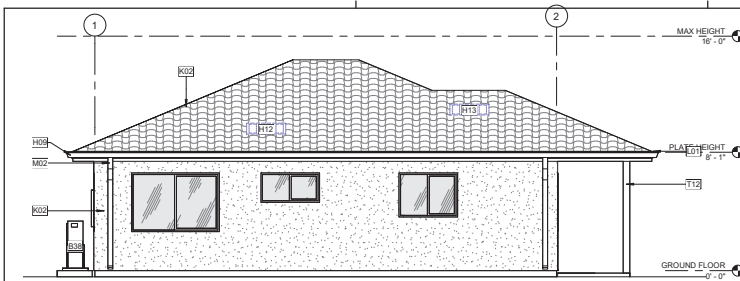
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11:** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.19**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1:** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS BACKED BY 0.719-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER CRC SECTION R703.15:** BATTLES AND BILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- SEE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENER INSTALLED OVER FOAM SHEATHING.

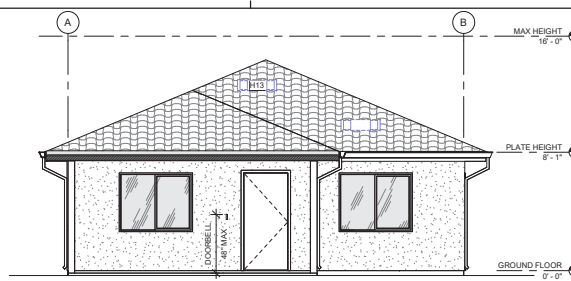
KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- B38 MULTIZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN 6" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CRC 807.25 & CRC 305.1.1. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL S3A-802.
- G02 CONCRETE SLABWORK. 1/4"FT SLOPE AWAY FROM BUILDING.
- G15 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS
- H09 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.4
- H12 ATTIC VENT (LOW): LOWER VENTILATORS SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE PER R302.2. EXCEPTION: 1) PROVIDE DAMPER TO PROVIDE 1" CLEAR AIRSPACE WHERE REQ. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H13 ATTIC VENT (HIGH): UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL. PROVIDE MINIMUM OF 12"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION.
- L01 STUCCO SIDING. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L02 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-803.
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- T04 2X4 WOOD STUD WALL. REFER TO STRUCTURAL.
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL. REQUIRED: PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



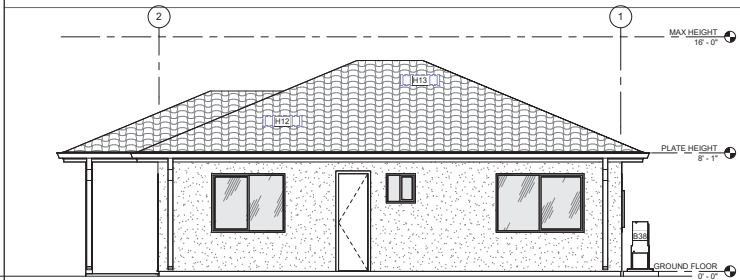
2 LEFT ELEVATION - HIP

A3-101 | A3-202 SCALE: 1/4" = 1'-0"



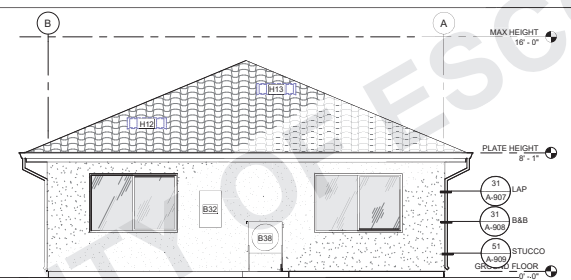
1 FRONT ELEVATION - HIP

A3-101 | A3-202 SCALE: 1/4" = 1'-0"



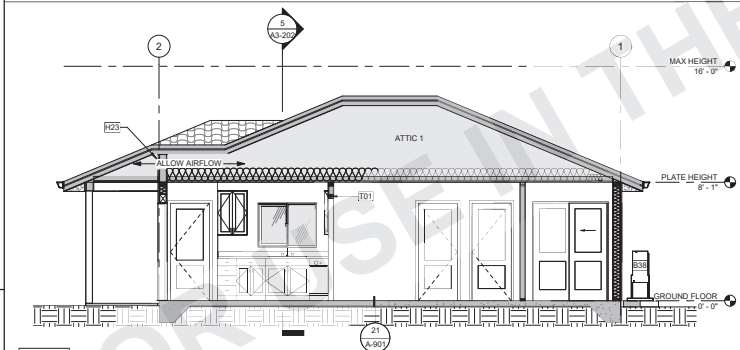
4 RIGHT ELEVATION - HIP

A3-101 | A3-202 SCALE: 1/4" = 1'-0"



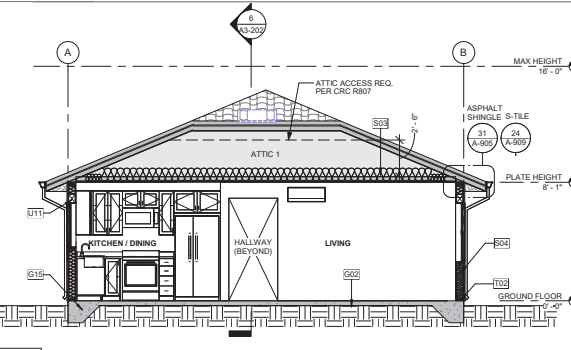
3 REAR ELEVATION - HIP

A3-101 | A3-202 SCALE: 1/4" = 1'-0"



6 SECTION 2 - HIP

A3-101 | A3-202 SCALE: 1/4" = 1'-0"



5 SECTION 1 - HIP

A3-101 | A3-202 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CRC 701A**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CRC 701A**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTING CAN BE FOUND IN THE (CURRENT) CAL FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BML LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAADU)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SIDING (PER CRC 703.5.3)

BOARD & BATTEN SIDING 4" MIN. TO 15" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER CRC R703.10)
 B) WOOD SIDING (PER CRC 703.5.3)

CEMENT PLASTER STUCCO SIDING
 (PER CRC R703.7)

SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER CRC R703.10)
 OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC R605.2.4, CRC R605.1, TABLE R605.1.1(1), TABLE R605.1.1(2) & ASTM D3462)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH CRC R605.1, CRC R605.3)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO, CA 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

ELEVATIONS & SECTIONS -
 OPTIONAL NO PORCH ROOF

DATE
 10/08/2024
 SHEET

A3-203

SECTIONS GENERAL NOTES

- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11 -** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.19**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1 -** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER **CRC SECTION R703.15** SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE, OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS. FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- SEE MINIMAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH **CRC TABLE R703.3(1)**.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH **CRC TABLE R602.3**.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH **CRC R703.15**. REFER TO **CRC R703.8** FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

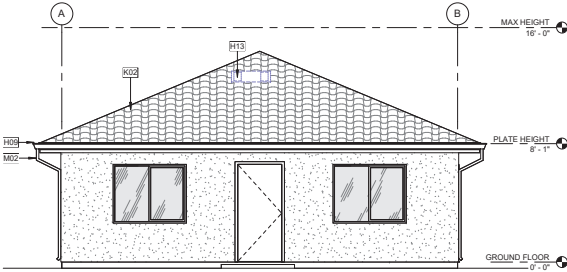
KEYNOTES

- H09 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER **CRC R302.5.4**.
- H13 ATTIC VENT (HIGH). UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. PAINT FINISH TO MATCH ROOF COLOR. SEE VENTING CALC.
- K02 STUCCO SIDING. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K10 3-COAT CEMENT PLASTER SYSTEM. O' LATH OR WATER RESISTIVE BARRIER PER **CRC 703.7.3**. EXTERIOR BUILDING FINISH SHALL BE IN COMPLIANCE WITH **CRC R307**.
- M01 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-903.
- S02 CEILING INSULATION. REFER TO TITLE 24 (R-38 MIN.).
- T20 6x8 WOOD HEADER LION. REFER TO STRUCTURAL PLANS.

PUBLIC SET

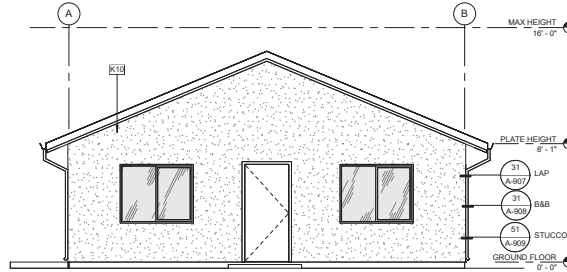
FRONT ELEVATION - HIP NO FRONT PORCH OPTION

2
 A3-101 | A3-203 SCALE: 1/4" = 1'-0"



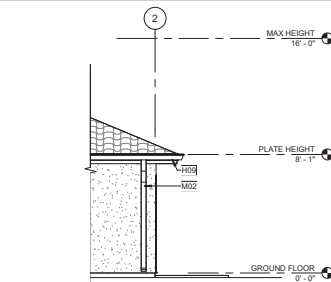
FRONT ELEVATION - GABLE NO FRONT PORCH OPTION

1
 A3-101 | A3-203 SCALE: 1/4" = 1'-0"



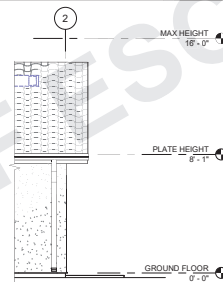
LEFT ELEVATION - HIP SIDE PORCH

4
 A3-101 | A3-203 SCALE: 1/4" = 1'-0"



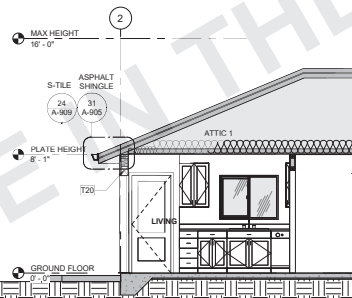
LEFT ELEV. - GABLE NO SIDE PORCH

3
 A3-101 | A3-203 SCALE: 1/4" = 1'-0"



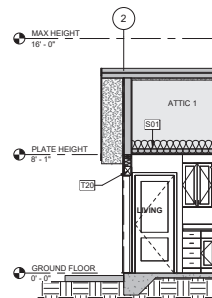
SECTION 2 - HIP FRONT PORCH

6
 A3-101 | A3-203 SCALE: 1/4" = 1'-0"



SECTION 2 - GABLE NO PORCH

5
 A3-203 SCALE: 1/4" = 1'-0"



MATERIALS LEGEND

- NOTES:
- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
 - ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CRC 701A**.
 - A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CRC 701A**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
 - APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
 - (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BML LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A, INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDBOOK (PAADU)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE OPTION A: FIBER CEMENT (PER CRC R703.10) OPTION B: WOOD SIDING (PER CRC 703.5.3)	SHAKE/SHINGLE SIDING OPTION A: FIBER CEMENT (PER CRC R703.10) OPTION B: WOOD SHAKES/SHINGLES (PER CRC R703.6) OPTION C: REQUIRES APPROVAL	ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. (SHALL COMPLY WITH CRC R605.2.4 , CRC R605.1 , TABLE R605.1.1(1) , TABLE R605.1.1(2) & ASTM D3482)
BOARD & BATTEN SIDING 4" MIN. TO 15" MAX. BOARD EXPOSURE A) FIBER CEMENT (PER CRC R703.10) B) WOOD SIDING (PER CRC 703.5.3)	ADHERED MASONRY STONE VENEER	S-TILE CLAY ROOF - CLASS C MIN. REQ. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. (SHALL COMPLY WITH CRC R605.1 , CRC R605.3)
CEMENT PLASTER STUCCO SIDING (PER CRC R703.7)	ADHERED MASONRY BRICK VENEER	A) TONGUE & GROOVE (SOLID SAWN LUMBER) B) FIBER CEMENT C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING

CITY OF ESCONDIDO PRE-APPROVED ADU - PLAN 4

*FOR PLANNING STAFF ONLY
INITIAL WHEN THIS COLUMN HAS BEEN REVIEWED. STAFF INITIALS: _____

ALL PLAN USERS MUST SUBMIT A COMPLETED
USER LICENSE AGREEMENT AT THE TIME OF
APPLICATION SUBMITTAL. STAFF INITIALS: _____

PROJECT ADDRESS:

(TO BE PROVIDED BY OWNER / APPLICANT)

☐ OWNER / APPLICANT TO PROVIDE THE TITLE REPORT

PROJECT DIRECTORY

(TO BE PROVIDED BY OWNER / APPLICANT)

APPLICANT: _____ OWNER: _____
ADDRESS: _____ ADDRESS: _____
PHONE: _____ PHONE: _____
EMAIL: _____ EMAIL: _____
CONTACT: _____ CONTACT: _____

ARCHITECT RRM DESIGN GROUP

ADDRESS: 3785 S Higuera St. Suite 102
SAN LUIS OBISPO, CA 93401
CONTACT: RANDY RUSSOM
EMAIL: RUSSOM@RRMDDESIGN.COM
PHONE: (805) 543-1794

UTILITIES

OWNER / APPLICANT TO LIST SERVICE PROVIDERS IN SPACES BELOW (SEE SITE PLAN, SHEET AS-101 FOR INFORMATION AND LOCATIONS OF ALL UTILITIES)

WATER AND SEWER SERVICE _____
ELECTRICAL SERVICE _____
GAS SERVICE _____
SEWER SERVICE _____
GARAGE SERVICE _____
CABLE SERVICE _____

WASTE WATER

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)

THE ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY AND SANITARY SEWER SYSTEMS.

NOTE: A NEW SEPTIC SYSTEM IS ONLY PERMITTED WHEN NO PUBLIC SEWER IS DEEMED AVAILABLE, A PERCOLATION REPORT AND SEPTIC DESIGN ARE REQ.)

☐ NO NEW SEPTIC SYSTEM.☐ NEW SEPTIC SYSTEM, PROVIDE STAMPED DEED EXHIBIT.

IF NO, SELECT ONE OF THE FOLLOWING:

☐ NEW SEWER LINES CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.☐ NEW SEWER LINES BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

WATER SUPPLY

(SELECTIONS TO BE PROVIDED BY APPLICANT OR OWNER)

☐ NEW WATER SUPPLY CONNECTED DIRECTLY TO PUBLIC RIGHT OF WAY.☐ NEW WATER SUPPLY BRANCHED OFF EXISTING MAIN LINES ON THE PROPERTY.

NOTE: ADU AND PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY. SEE SITE PLAN CHECKLIST ON AS-101 AND STEP PLAN ON AS-102 FOR MORE INFORMATION AND LOCATIONS.

ELECTRICAL PANEL

ELECTRICAL PANEL (SEE PLANS & SITE PLAN FOR LOCATION)

NOTE: SPECIFY IF THE ADU WILL HAVE ITS OWN SEPARATE UTILITY SERVICE INSTALLED OR IF THE ADU WILL BE SUB-FED FROM AN EXISTING ADEQUATE SERVICE. PROVIDE COMPLETE ELECTRICAL LOAD CALCULATIONS FOR REVIEW. IF SUB-FED, PLEASE PROVIDE A SECOND AND SEPARATE LOAD CALCULATION OF THE EXISTING SERVICE TO JUSTIFY IT IS ADEQUATE FOR THE ADDITIONAL LOADS.

- ☐ (A) NEW ELEC. MAIN PANEL OF 200 AMP WITH 225 AMP MIN. BUSBAR RATING
- ☐ (B) NEW ELEC. SUBPANEL CONNECTS TO THE ELEC. MAIN PANEL OF 220 AMP ON THE PRIMARY HOME WITH A 225 AMP MIN. BUSBAR RATING
- ☐ (C) NEW ELEC. MAIN PANEL MIN. 400 AMP DUAL METER AT PRIMARY HOUSE WITH A NEW ELEC. SUB-PANEL AT ADU THAT CONNECTS TO THE MAIN PANEL

HERS QII REQUIRED

SEE SHEET S-103 FOR REQUIRED SPECIAL INSPECTIONS

A REGISTERED DESIGN PROFESSIONAL SHALL COMPLETE THE CITY OF ESCONDIDO STATEMENT OF REQUIRED SPECIAL INSPECTIONS CERTIFICATE (FORM PLG-340) PRIOR TO PERMIT ISSUANCE. IDENTIFY EACH SET OF WORK REQUIRING SPECIAL INSPECTIONS IN THE PLANS AND THE INDIVIDUALS OR FIRMS RESPONSIBLE FOR THE SPECIAL INSPECTION ELEMENT(S). FOR FURTHER INSTRUCTIONS SEE S-103.

OWNER/APPLICANT HAS COMPLETED SPECIAL INSPECTION FORM

OWNER/APPLICANT SIGNATURE: _____



PROJECT INFORMATION STAFF INITIALS

*FOR BUILDING DEPARTMENT REVIEW, INITIAL WHEN SECTION HAS BEEN REVIEWED

PROJECT SCOPE:

- CONSTRUCTION OF A NEW DETACHED 1 STORY, 1,000 SF ACCESSORY DWELLING UNIT WITH 2 BEDROOMS AND 1 BATH
- ALL THE WORK SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

AREA:	SQUARE FOOTAGE:	CONDITIONED?
PLAN 4	1,000 SF	CONDITIONED
PLAN 4 FRONT PORCH	50 SF	UNCONDITIONED
PLAN 4 OPTIONAL EXTENDED FRONT PORCH	73 SF	UNCONDITIONED

BUILDING INFORMATION:

NUMBER OF STORIES: 1 OCCUPANCY GROUP: 5-3

CONSTRUCTION TYPE: SPRING JOIST (SEE FIRE SPRINKLER SECTION ON THIS SHEET)

ZONING: _____

MAX HEIGHT ALLOWED: _____ PROPOSED HEIGHT: 11' - 9"

SITE INFORMATION: (TO BE PROVIDED BY APPLICANT OR OWNER)

APN: _____ LAND USE: _____

EXISTING USE: _____

PROPOSED USE: _____

LOT SIZE (SQ. FT.): _____

LOT COVERAGE	SETBACKS	MIN. REQUIRED	PROPOSED
PRIMARY BUILDING SF:	FRONT:		
ACCESSORY STRUCTURE(S) SF:	REAR:	4' - 0"	
LOT COVERAGE SF:	SIDES:	4' - 0"	
FLOOR AREA RATIO:	BETWEEN STRUTMURALS:		

SETBACK RESTRICTIONS - FIRE RATINGS:

IS THE ADU 9' 0" OR LESS TO ANY PROPERTY LINE AND/OR IS THE ADU 10' - 0" OR LESS FROM ANY ADJACENT BUILDING OR STRUCTURE?

- ☐ NO
- ☐ YES: IF YES, FIRE RATED WALL & PROJECTIONS REQUIRED PER 2022 CRC SECTION R302.1, FIRE RATED WALL DETAIL: 421A-901
- IF YES, FIRE-RESISTING IS REQUIRED IN PROJECTIONS, RAFTERS AND EAVES. SEE DETAILS: 311A-905, 321A-905, 411A-906, 421A-906

ENERGY COMPLIANCE: _____

PREPARED BY: CARSTARS ENERGY

DATE PREPARED: JULY 22, 2024

JOB NUMBER: 24-0722

DEFERRED SUBMITTAL(S) (TO BE PROVIDED BY APPLICANT OR OWNER, CITY OF ESCONDIDO TO CHECK OFF BOXES WHEN COMPLETE)

☐ TRUSS CALCULATIONS STAFF INITIALS: _____

☐ FIRE SPRINKLER (IF APPLICABLE, SEE FIRE SPRINKLER SECTION)

PHOTOVOLTAIC SYSTEM (PV) (DEFERRED SUBMITTAL)

PV NOT REQUIRED PER CALIFORNIA ENERGY CODE SECTION 150.1(C)(4) EXCEPTION 2. NO PV SYSTEM IS REQ. WHEN THE MINIMUM PV SYSTEM SIZE IS LESS THAN 1,000 WDC.

SOLAR READY REQUIREMENTS SHALL BE IMPLEMENTED. FOR MORE INFORMATION SEE "SOLAR READY NOTES" ON SHEET G-101.

☐ OWNER / APPLICANT TO PROVIDE THE WASTE RECYCLE FORM FILLED OUT AND SIGNED PRIOR TO ISSUANCE. THE OWNER/APPLICANT/CONTRACTOR/PERSON DOING THE WORK IS REQUIRED TO RECYCLE 75% OF ALL PROJECT CONSTRUCTION AND DEMOLITION DEBRIS.

UTILITY, GRADING, & DRAINAGE

(PLANS TO BE PROVIDED BY OTHERS)

IS GRADING NECESSARY TO CREATE PAD AND FOUNDATION?

- ☐ NO ☐ YES IF YES, A CIVIL ENGINEER WILL BE REQUIRED TO PROVIDE PLANS.

HERS QII REQUIRED

HERS QIIP: HERS RATER WILL NEED TO FOLLOW THE VERIFICATION AND TESTING PROTOCOL FOR THE VARIABLE CAPACITY HEAT PUMP CREDIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, VERIFIED REFRIGERANT CHARGE, VERIFIED MINIMUM HSPF AND EER/SER, AND CAPACITY; OUTDOOR UNDOOR UNITS AND THE COMPONENTS ARE WITHIN THE CONDITIONED ENVELOPE, AND AIRFLOW PROVIDED TO ALL HABITABLE SPACES (BEDROOMS AND LIVING SPACE).

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER IN A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE OF THIS COMPUTER ANALYSIS. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY.

- QUALITY INSULATION INSTALLATION (QI)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD TABLE 150.0-G-160
- VERIFIED REFRIGERANT CHARGE
- AIRFLOW IN HABITABLE ROOMS (SC2.3.4.1.7)
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- WALL MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT² (SC2.3.4.2)
- OUTDOOR UNDOOR UNITS LOCATED ENTIRELY IN UNCONDITIONED SPACE (SC3.1.4.1.8)
- BATHROOM, KITCHEN, AND WINEHOUSE VENTILATION

OWNER/APPLICANT SIGNATURE: _____

ADDITIONAL INFORMATION:

- ANY PROPOSED ENERGY STORAGE SYSTEM (ESS) SHALL FOLLOW SINGLE-FAMILY RESIDENTIAL MANDATORY REQ. SUMMARY SECTION 150.0(h) AND WILL REQUIRE A SEPARATE PERMIT TO BE PULLED BY APPLICANT.
- VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION VERIFICATION DETAILS FROM YOUR START REPORT, APPENDIX B, AND R43. (PER TITLE 24).
- THIS PLAN IS INTENDED FOR FLAT LOTS (SLOPING LESS THAN 10°) ACROSS THE LONGEST BUILDING DIMENSION, WITHOUT HIGHLY EXPANSIVE OR LOOSELY SOILS, WHERE THE MAIN DWELLING UNIT IS SUPPORTED IN SHALLOW FOOTINGS WITH SLABS ON GRADE CONSTRUCTION. IF THE PROJECT SITE DEVIATES FROM ANY OF THE FOREMENTIONED QUALITIES, AS DETERMINED BY THE BUILDING OFFICIAL, THERE PRE-APPROVED ADU FOUNDATION PLANS AND DETAILS ARE NOT APPLICABLE.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OFFICER.

WILDLAND-URBAN INTERFACE FIRE AREA

- PORTIONS OF THE CITY OF ESCONDIDO ARE LOCATED IN WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA AS DEFINED BY CBC 701A.
 - a. AREA DEFINED BY STATE AS A "FIRE HAZARD SEVERITY ZONE" (FHSZ).
 - b. AREA DESIGNATED BY ENFORCING AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
- MORE INFORMATION ABOUT FIRE HAZARD SEVERITY ZONES, BUILDING MATERIALS LISTINGS, AND REQUIREMENTS CAN BE FOUND ON THE OFFICE OF THE STATE FIRE MARSHAL WEBSITE (HTTPS://OSFM.FIRE.CA.GOV). SEE SHEET S-102 FOR MORE INFORMATION.
- AN ADU WITHIN THE WILDLAND-URBAN INTERFACE FIRE AREA SHALL COMPLY WITH THE CBC 701A.
- THIS PROTOTYPE PLAN PROVIDES DETAILS THAT COMPLY WITH THE PROVISIONS REQUIRED BY THE CBC 701A.

FIRE HAZARD SEVERITY ZONE LEVEL: (TO BE PROVIDED BY APPLICANT OR OWNER, CITY OF ESCONDIDO TO CHECK OFF BOXES WHEN COMPLETE)

- ☐ MODERATE ☐ HIGH ☐ VERY HIGH

- IN ONE OF THE ABOVE SEVERITY ZONES, ALL OPTIONS AND DETAILS ARE REQUIRED TO FOLLOW CBC 701A. SEE ITEMS LISTED WITH "WUI" DESIGNATION. IN ACCORDANCE WITH THE CBC SECTION 404.4, STRUCTURES LOCATED IN THE WILDLAND-URBAN INTERFACE FIRE AREA ZONE SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE A MAINTAIN A FUEL MODIFICATION ZONE TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. FIRE-FUEL BREAKS SHALL BE SHOWN ON THE GRADING MAP, AND BUILDING PLANS.

REQUIRED WUI DETAILS STAFF INITIALS: _____

- ☐ ROOF DETAILS: 311A-905, 321A-905, 411A-906, 421A-906
- ☐ VENTS: 541A-905, 541A-906
- ☐ EXTERIOR WALL COVERINGS, SEE DOCUMENT.
- ☐ PRE-APPROVED ADU PROGRAM - OPTION SELECTION HOUT (PAADU)
- ☐ EXTERIOR WINDOWS: "WINDOW GENERAL NOTE #2" ON FLOOR PLANS SHEET
- ☐ EXTERIOR DOORS: "DOOR GENERAL NOTE #7" ON FLOOR PLANS SHEET

NOTE: SEE SHEET G-102 "WILDLAND-URBAN INTERFACE" NOTES AND "CAL FIRE SEVERITY MAP" FOR MORE INFORMATION

VICINITY MAP

(TO BE PROVIDED BY OWNER OR APPLICANT)

USER LICENSE AGREEMENT

OWNER/APPLICANT TO SIGN & SUBMIT SEPARATE SUPPORTING DOCUMENT "USER LICENSE AGREEMENT" IN ADDITION TO SIGNING THIS USER AGREEMENT BELOW.

BY USING THESE PERMIT READY ACCESSORY DWELLING UNIT CONSTRUCTION DOCUMENTS, THE USER AGREES TO RELEASE, HOLD HARMLESS, AND INDEMNIFY THE CITY OF ESCONDIDO, ITS ELECTED OFFICIALS AND EMPLOYEES, FIRM DESIGN GROUP, AND THE ARCHITECT OR ENGINEER WHO PREPARED THESE CONSTRUCTION DOCUMENTS FROM ANY AND ALL CLAIMS, LIABILITIES, SUITS AND DAMAGES ON ACCOUNT OF ANY INJURY, DAMAGE OR LOSS TO PERSONS OR PROPERTY, INCLUDING INJURY OR DEATH, OR ECONOMIC LOSSES, ARISING OUT OF THE USE OF THESE CONSTRUCTION DOCUMENTS.

THE PLANS AUTHORIZED HERE ARE APPROVED FOR ONLY USE IN CITY OF ESCONDIDO. NO DEVIATIONS, ALTERATIONS, OR OPTIONS BEYOND THOSE SPECIFICALLY INDICATED IN THE PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL BY THE ISSUING JURISDICTION AND CHIEF BUILDING OFFICIAL. ANY UNAPPROVED PLAN MODIFICATIONS MAY BE DEVELOPED THROUGH FIRM DESIGN GROUP AND THE APPROVING JURISDICTION IF REQUIRED. THIS SET OF PLANS SHALL NOT BE USED FOR A PUBLIC HOUSING PROJECT.

SIGNATURE _____ DATE _____

OPTION SELECTIONS (ALL STYLES)

*OWNER/APPLICANT REQ. TO SELECT ONE OPTION FOR ALL OF THE FOLLOWING AND MARK THROUGHOUT NON-APPLICABLE OPTIONS & VIEWS THROUGHOUT SET.

*OWNER/APPLICANT REQ. TO COMPLETE COLOR AND MATERIALS REVIEW FORM AND PROVIDE TO PLANNING FOR REVIEW AT TIME OF APPLICATION.

ROOF STYLE

- ☐ (A) GABLE ROOF. SEE: 11A-121
- ☐ (B) HIP ROOF. SEE: 11A-122

ROOF MATERIAL

- ☐ (A) ASPHALT SHINGLE. SEE OPTION SELECTION HANDOUT
- MANUFACTURER: _____
- PRODUCT NAME: _____
- LISTING REPORT #: _____
- ☐ (B) CLAY 'S' TILE. SEE OPTION SELECTION HANDOUT
- MANUFACTURER: _____
- PRODUCT NAME: _____
- LISTING REPORT #: _____

ROOF UNDERLAYMENT

- ☐ (A) ROOF UNDERLAYMENT. SEE OPTION SELECTION HANDOUT
- MANUFACTURER: _____
- PRODUCT NAME: _____
- LISTING REPORT #: _____

COVERED FRONT PORCH OPTION

- ☐ (A) YES. SEE VIEW: 21A-101
- ☐ (B) NO

STACKED WASHER DRYER WITH ADDITIONAL SHELVING & STORAGE

- ☐ (A) YES. SEE VIEW: 31A-101
- ☐ (B) NO

OPTIONAL SHOWER

- ☐ (A) YES. SEE VIEW: 41A-101
- ☐ (B) NO

OPTIONAL SWING DOORS ALTERNATIVE AT WALK-IN CLOSET

- ☐ (A) YES. SEE VIEW: 51A-101
- ☐ (B) NO

OPTIONAL BEDROOM 3

- ☐ (A) YES. SEE PRIMARY VIEW: 1A-101
- ☐ (B) NO. REMOVE WALLS AND DOORS. SEE VIEW: 61A-101

OPTIONAL DOORS & WINDOWS (STRIKE THROUGH THE WINDOW AND DOOR TAGS OF THE OPENINGS THAT WILL NOT BE USED ON THE PLANS)

- ☐ (A) YES. INDICATE ON DOOR & WINDOW SCHEDULES AND INDICATE ON PLANS
- ☐ (B) NO. DOORS & WINDOWS IN PRIMARY VIEWS TO REMAIN

WATER HEATER

- ☐ (A) NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER. SPECIFIC BRAND/MODEL MUST BE INSTALLED (PER TITLE 24). REPORT IS PROVIDED. MFR. & MODEL

WALL & CEILING MATERIALS & COMPOSITION SELECTIONS OPTIONS

- ☐ (A) IMPROVED SOUND INSULATION
- ☐ (B) IMPROVED MOISTURE & MOLD & MILDEW-RESISTANT PERFORMANCE (BOTH A) & (B)
- ☐ (C) NONE

STYLE SELECTION

*DISCLAIMER: STYLE SELECTION ONLY APPLIES TO ADU IN DEN. *OWNER OR APPLICANT TO SELECT (1) OF THE FOLLOWING STYLES AND REFER TO CORRESPONDING HANDOUT: "DEN ADU STYLE ADAPTATION GUIDE" FOR MORE INFORMATION.

PERIOD REVIVAL/PROVINCIAL

CRAFTSMAN AND CALIFORNIA BUNGALOW

MEDITERRANEAN

COLONIAL REVIVAL

QUEEN ANNE

ITALIANATE



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR BUILDING INSPECTIONS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
201 NORTH BROADWAY
ESCONDIDO, CA 92025
(760) 839-4880

CITY OF ESCONDIDO

TITLE SHEET - PLAN 4

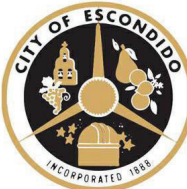
PUBLIC SET

DATE

10/08/2024

SHEET

G-004



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THESE CANNOT BE A CHARGE TO THE USER. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
https://www.escondido.gov/

ESCONDIDO CITY HALL
2101 NORTH BROADWAY
ESCONDIDO CA, 92025

(760) 839-4880

ADU

PRE-APPROVED

CITY OF ESCONDIDO

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN 4

FLOOR PLAN GENERAL NOTES

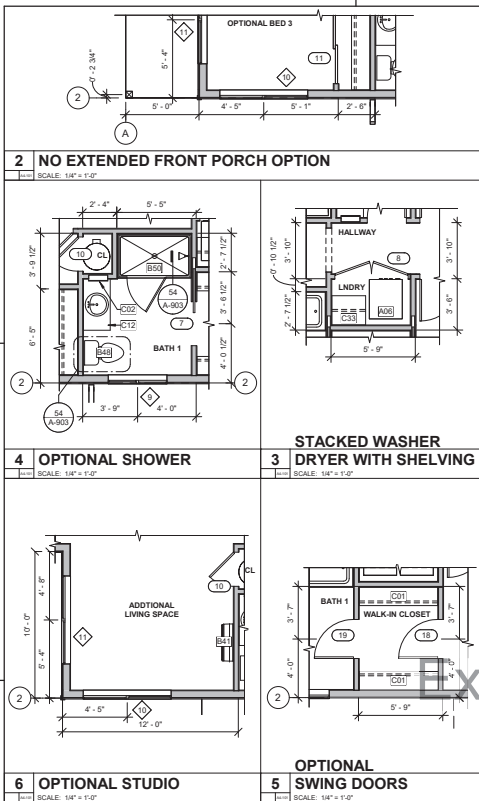
- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
- ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PROVIDE ACCESSIBLE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
- WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING.
- WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
- AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- PER CRC R313 3 FLOORS OR LANDINGS AT EXTERIOR DOORS SHALL BE AT LEAST AS WIDE AS DOOR SERVED AND SHALL PROVIDE A SLOPE IN THE DIRECTION OF TRAVEL EQUAL TO 36 INCHES MINIMUM SLOPE OF EXTERIOR LANDINGS SHALL NOT EXCEED 1" PER FOOT (2% SLOPE).
- PER CRC 327.1.1 REINFORCEMENT FOR GRAB BARS SHALL BE PROVIDED IN AT LEAST ONE BATHROOM. 1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENGINEERING AGENCY. 2. REINFORCEMENT SHALL NOT BE LESS THAN 2X6 NOMINAL LUMBER OR OTHER MATERIAL PROVIDING EQ. INT. AND CAPACITY. REINFORCEMENT ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING. 3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. 4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. 5. BATHUB AND COMBINATION BATHUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHUB AND THE BACK WALL. 6. BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHUB RIM. REFER TO SHEET A-303 FOR MORE INFORMATION.

WALL LEGEND

- EXTERIOR** - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH, SEE ELEV. FOR (EXT.) FINISH. ONE LAYER GYP. WALL BOARD INT. SEE T24 FOR INSULATION.
 - EXTERIOR** - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH, SEE ELEV. FOR (EXT.) FINISH. ONE LAYER GYP. WALL BOARD INT. SEE T24 FOR INSULATION. REFER TO DETAIL 47-A-901.
 - EXTERIOR** - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH, SEE ELEV. FOR (EXT.) FINISH. ONE LAYER GYP. WALL BOARD INT. SEE T24 FOR INSULATION. REFER TO DETAIL 47-A-901.
 - EXTERIOR** - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND FINISH ON BOTH SIDES, SEE ELEV. FOR (EXT.) FINISH. SEE T24 FOR INSUL. ADD BLOCKING AS NEEDED IN THESE LOCATIONS (PER DETAILS).
 - INTERIOR** - 3 1/2" WOOD STUD W/ ONE LAYER GYP. WALL BOARD EACH SIDE. ADD BLOCKING AS NEEDED IN THESE LOCATIONS (PER DETAILS).
- NOTE:** SEE MANUFACTURER PRODUCT LISTINGS FOR (A) IMPROVED ACOUSTIC / SOUND PERFORMANCE OPTIONS AND (B) IMPROVED MOISTURE / MOLD / MILDEW RESISTANT PERFORMANCE OPTIONS. ANNOTATE LOCATIONS OF SELECTIONS. SEE DETAIL SHEET FOR ACTUAL WALL CONFIGURATION. THICKNESS OF WALL MAY INCREASE WITH SELECTION. VISIT GYPSUM.ORG FOR MORE INFORMATION.

KEYNOTES

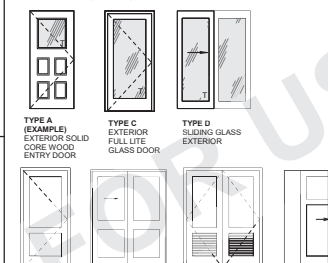
- 30" WIDE FREE STANDING ELECTRIC RANGE. VENT TO EXTERIOR. STAINLESS STEEL.
- 30" WIDE BUILT-IN MICROWAVE WITH RANGE VENT. STAINLESS STEEL. REFRIGERATOR LOCATION. PROVIDE 42" SPACE WITH ROUGH PLUMBING FOR ICE MAKER (RECESS IN WALL).
- STACKED WASHER/DRYER MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX. PROVIDE DRYER VENT. VENT TO OUTSIDE AIR.
- WASHING MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX.
- CLOTHES DRYER LOCATION. PROVIDE DRYER VENT BOX. PROVIDE DRYER VENT. VENT TO OUTSIDE AIR VERTICALLY THROUGH ROOF. (CMC SECTION 504.2.1).
- WASHING MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX.
- 30" SINGLE COMPARTMENT UNDERMOUNT KITCHEN SINK. W/ GARBAGE DISPOSAL. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET.
- LAVATORY SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS. WATER CLOSET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION PER CPC SECTION 402.5.
- 32" x 60" x 12" TUB AND SHOWER COMBINATION. MODEL BY BUILDER. PROVIDE SHOWER ROOF.
- 40 GALLON TANK WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. SEE DETAIL 14A-901 FOR ANCHORING. SEE SHEET A-901 FOR MORE INFORMATION.
- ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL OPTION AND MAXIMUM AMPERAGE.
- MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 2" MIN. ABOVE GRADE. PROVIDE PROTECTION PER CRC 307.2.8 CMC 309.1.1. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL 53A-902.
- FAN COIL. 8" x 8" x 1/2" TO BOTTOM OF UNIT. PROVIDE DEDICATED WALL OUTLET. INSTALL PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS FOR LOCATION OF OUTDOOR CONDENSING UNIT. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
- WATER CLOSET. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS. WATER CLOSET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION PER CPC SECTION 402.5.
- 36" x 60" TUB. AGING-IN-PLACE BLOCKING INSTALLATION REQUIRED AT THIS LOCATION. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS. TIE WALLS AT 4" MAX. PROVIDE GLASS SHOWER ENCLOSURE.
- SINGLE WOOD SHELF AND POLE.
- RECESSED MEDICINE CABINET.
- 12" DEEP UPPER CABINET.
- 34" 1/2" HIGH BASE CABINET AND COUNTERTOP.
- 30" HIGH BASE CABINET AND COUNTERTOP.
- SHELVING PER OWNER / APPLICANT.
- DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-903.



PLAN 4 - FLOOR PLAN - WITH EXTENDED FRONT PORCH

DOOR LEGEND

FRONT DOOR (TYPE A) STYLE/LOOK PER OWNER/APPLICANT



DOOR REMARKS

- EXTERIOR DOOR.
- GLAZING PER DOOR TYPES. REFER TO GENERAL DOOR NOTE #1.
- OPTIONAL DOOR. INDICATE ON PLANS WHICH OPTIONS ARE SELECTED. SEE TITLE SHEET FOR MORE INFORMATION.
- REQUIRED OPENING OF NOT LESS THAN 100 IN" FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY APPROVED MEANS. (CMC SEC. R304.4.1)
- UFACTOR (+3), SHGC (+23) BUS SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION.
- VENT DOOR AS REQUIRED PER WATER HEATER MANUFACTURER REQUIREMENTS / SPECIFICATIONS.

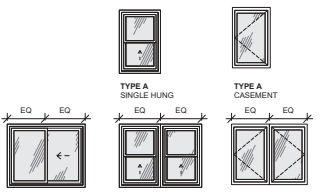
DOOR SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	REMARKS
1	A	32'-0"	8'-0"	1, 2, 5, 6
2	B	12'-0"	8'-0"	
3	C	12'-0"	8'-0"	
4	D	12'-0"	8'-0"	
5	E	12'-0"	8'-0"	
6	F	12'-0"	8'-0"	
7	G	12'-0"	8'-0"	
8	H	12'-0"	8'-0"	
9	I	12'-0"	8'-0"	
10	J	12'-0"	8'-0"	
11	K	12'-0"	8'-0"	
12	L	12'-0"	8'-0"	
13	M	12'-0"	8'-0"	
14	N	12'-0"	8'-0"	
15	O	12'-0"	8'-0"	
16	P	12'-0"	8'-0"	
17	Q	12'-0"	8'-0"	

DOOR GENERAL NOTES

- GLAZING IN DOORS SHALL BE TEMPERED PER SECTION R308.4.1. PANES INDICATED IN DOOR LEGEND WITH (T).
- CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
- REFER TO ENERGY COMPLIANCE REPORTS TO VERIFY UFACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS. ALL OPENINGS TO BE UFACTOR = 1.3, SHGC = 0.23. BUS SCREEN REQUIRED (PER TITLE 24).
- ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
- EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" AFF. MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT 5.8 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT 34", WIDTH 20". (CRC SEC. R319.2) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER CRC 302.2, SECTION 110.1.
- GLAZING IN WALLS ADJACENT TO (BATHUB) / SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE SAFETY GLAZING. (CRC SEC. R308.4.5)

WINDOW TYPES



WINDOW GENERAL NOTES

- REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
- CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
- REFER TO ENERGY COMPLIANCE REPORTS TO VERIFY UFACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS. ALL OPENINGS TO BE UFACTOR = 1.3, SHGC = 0.23. BUS SCREEN REQUIRED (PER TITLE 24).
- ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
- EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" AFF. MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT 5.8 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT 34", WIDTH 20". (CRC SEC. R319.2) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER CRC 302.2, SECTION 110.1.
- GLAZING IN WALLS ADJACENT TO (BATHUB) / SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE SAFETY GLAZING. (CRC SEC. R308.4.5)

WINDOW SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	REMARKS
1	B	6'-0"	4'-0"	6'-0"	3.7
2	B	6'-0"	4'-0"	6'-0"	3.7
3	B	6'-0"	4'-0"	6'-0"	3.7
4	B	6'-0"	4'-0"	6'-0"	3.7
5	B	6'-0"	4'-0"	6'-0"	3.7
6	B	6'-0"	4'-0"	6'-0"	3.7
7	B	6'-0"	4'-0"	6'-0"	3.7
8	B	6'-0"	4'-0"	6'-0"	3.7
9	B	6'-0"	4'-0"	6'-0"	3.7
10	B	6'-0"	4'-0"	6'-0"	3.7
11	B	6'-0"	4'-0"	6'-0"	3.7

WINDOW REMARKS

- REQUIRED EGRESS WINDOW. REFER TO GENERAL NOTE #5 FOR ADDITIONAL INFORMATION.
- WINDOW INCLUDES BOTH PANES TEMPERED GLAZING.
- OPTIONAL WINDOW. SEE TITLE SHEET FOR SELECTIONS FOR MORE INFO. AT LEAST ONE EGRESS OPENING REQUIRED AT ALL BEDROOMS. SEE GENERAL WINDOW NOTE #5 FOR EGRESS REQUIREMENTS.
- REQUIRED TO PROVIDE OBSCURE / PRIVACY GLASS.
- (B) CASEMENT WINDOWS. INCLUDE BOTH PANES TEMPERED GLAZING.
- UFACTOR (+3), SHGC (+23) BUS SCREEN REQUIRED. REFER TO TITLE 24 FOR ADDITIONAL WINDOW.



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025
 (760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - GABLE

DATE
 10/08/2024

SHEET
 A4-201

SECTIONS GENERAL NOTES

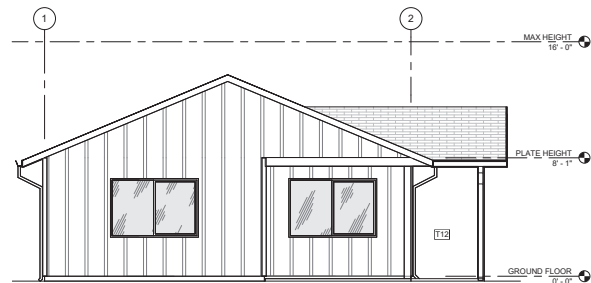
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11:** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS. WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.18**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1:** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS BACKED BY 0.719-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER **CRC SECTION R703.3.1**, EXTERIOR WALLS SHALL BE ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS. FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.N.G.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH **CRC TABLE R703.3(1)**.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH **CRC TABLE R902.3**.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH **CRC R703.15**. REFER TO **CRC R703.15** FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

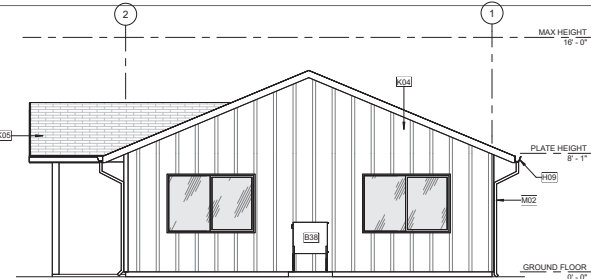
KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL, OPTION AND MAXIMUM AMPERAGE.
- B38 MULTIZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER **CRC 807.25.6** AND **CRC 305.1.1**. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL A32-802.
- G14 4" CONCRETE SLAB ON GRADE. REFER TO STRUCTURAL PLANS.
- G15 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
- H09 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER **CRC R327.5.4**.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PANEL, PROVIDE MINIMUM OF 12"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION.
- K04 VERTICAL BOARD & BATTEN SIDING. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K06 BRICK VENEER WAINSCOT. SEE SHEET A-413 FOR DETAILS AND SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 SIDING. SEE MATERIALS LEGEND AND DETAILS FOR MORE INFORMATION.
- L09 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-803.
- S03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.).
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL. -REQUIRED: PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.



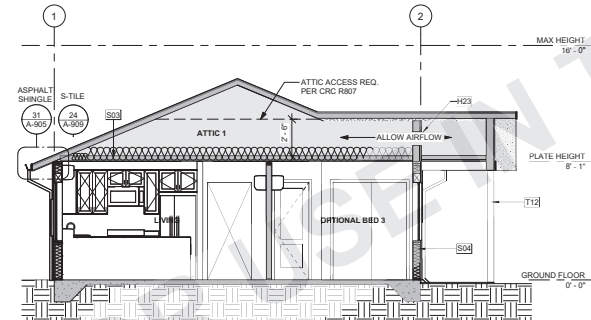
2 LEFT ELEVATION - GABLE

A4-101 | A4-201 SCALE: 1/4" = 1'-0"



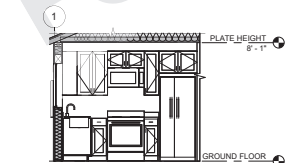
4 RIGHT ELEVATION - GABLE

A4-101 | A4-201 SCALE: 1/4" = 1'-0"



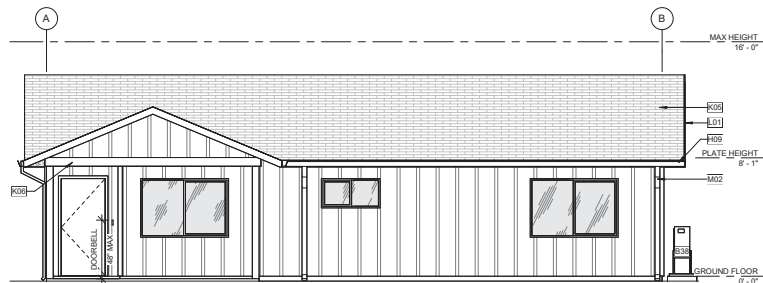
5 SECTION 2 - GABLE

A4-101 | A4-201 SCALE: 1/4" = 1'-0"



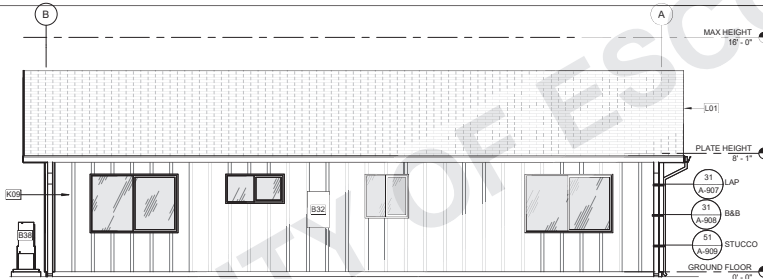
7 KITCHEN ELEVATION

A4-101 | A4-201 SCALE: 1/4" = 1'-0"



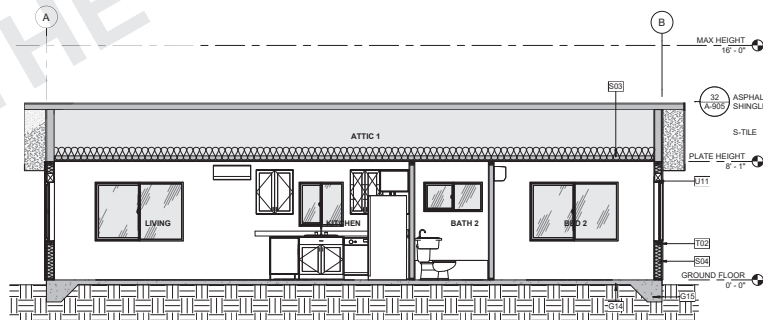
1 FRONT ELEVATION - GABLE

A4-101 | A4-201 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION - GABLE

A4-101 | A4-201 SCALE: 1/4" = 1'-0"



6 SECTION 1 - GABLE

A4-101 | A4-201 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CBC 701A**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CBC 701A**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CALIF. STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BIM LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PADU)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SIDING (PER **CRC 703.5.3**)

BOARD & BATTEN SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER **CRC R703.10**)
 B) WOOD SIDING (PER **CRC 703.5.3**)

CEMENT PLASTER STUCCO SIDING
 (PER **CRC R703.7**)

SHAKE/SHINGLE SIDING: OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SHAKE/SHINGLES (PER **CRC R703.6**)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.2.4**, **CRC R905.1**, **TABLE R905.1.1(1)**, **TABLE R905.1.1(2)** & **ASTM D2462**)

S-TILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.1**, **CRC R905.3**)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

ELEVATIONS & SECTIONS - HIP

DATE
10/08/2024
SHEET

A4-202

SECTIONS GENERAL NOTES

- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11 -** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.16**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1 -** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER **CRC SECTION R703.15** IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE, OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANDS, FASCIA PER DETAILS, PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS. U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- IF NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH **CRC TABLE R703.3(1)**.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH **CRC TABLE R602.3**.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH **CRC R703.15**. REFER TO **CRC R703.8** FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

KEYNOTES

- B32 ELECTRICAL PANEL. SEE COVER SHEET FOR PANEL, OPTION AND MAXIMUM AMPERAGE.
- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 1" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER **CRC 507.25** & **CRC 508.1.1**. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-11 FOR MORE INFO. SEE DETAIL S3A-962.
- G14 4" CONCRETE SLAB ON GRADE. REFER TO STRUCTURAL PLANS.
- G15 CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
- H09 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER **CRC R327.5.4**.
- H23 WHERE AIRFLOW IS BLOCKED BY SHEAR PLAN, PROVIDE MINIMUM OF 12"x12" BLOCKED OPENING TO PROVIDE CROSS-VENTILATION.
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.15 MIN. ROOF EMITTANCE (0.85 MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- L01 SINGLS. SEE MATERIALS LEGEND AND DETAILS FOR MORE INFORMATION.
- L01 FASCIA. SEE DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL 12A-903.
- M03 R-38 MIN. ROOF INSULATION; RADIANT BARRIER REQUIRED (VERIFY WITH TITLE 24 REPORT).
- S04 2X6 WOOD STUD WALL. REFER TO TITLE 24 (R-21 MIN.).
- T02 2X6 WOOD STUD WALL. REFER TO STRUCTURAL.
- T12 WOOD POST. SEE STRUCTURAL. REQUIRED: PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.
- U11 WOOD BEAM / HEADER. REFER TO STRUCTURAL.

MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CBC 701A**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CBC 701A**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL-FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT BIM LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 7A. INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

OWNER / APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PADU)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SIDING (PER **CRC 703.5.3**)

SHAKE/SHINGLE SIDING: OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SHAKES/SHINGLES (PER **CRC R703.6**)
 OPTION C: REQUIRES APPROVAL

BOARD & BATTEN SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER **CRC R703.10**)
 B) WOOD SIDING (PER **CRC 703.5.3**)

CEMENT PLASTER STUCCO SIDING (PER **CRC R703.7**)

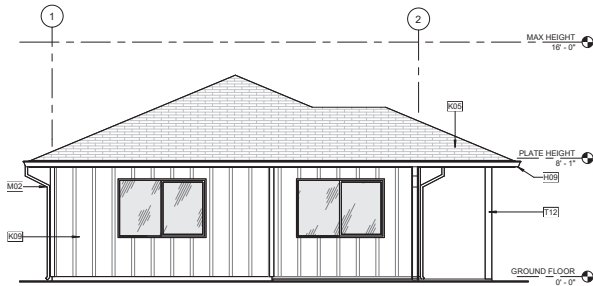
ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED. ROOF REFLECTANCE (0.15 MIN. ROOF EMITTANCE (0.85 MIN. (SHALL COMPLY WITH **CRC R905.2.4**, **CRC R905.1**, TABLE **R905.1.1(1)**, TABLE **R905.1.1(2)** & **ASTM D3482**)

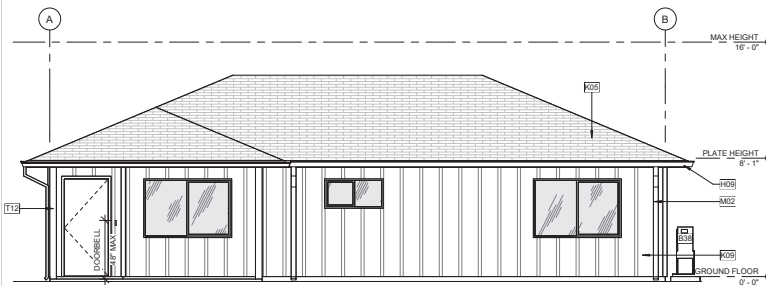
S-TILE CLAY ROOF - CLASS C MIN. REQ. ROOF REFLECTANCE (0.15 MIN. ROOF EMITTANCE (0.85 MIN. (SHALL COMPLY WITH **CRC R905.1**, **CRC R905.3**)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING



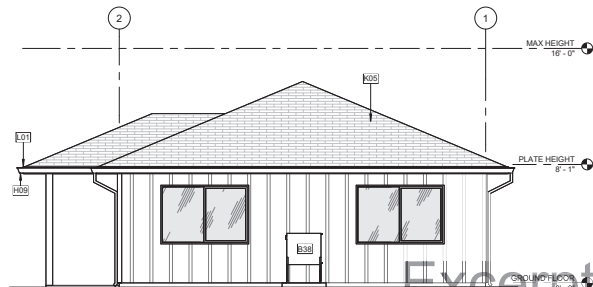
2 LEFT ELEVATION - HIP

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



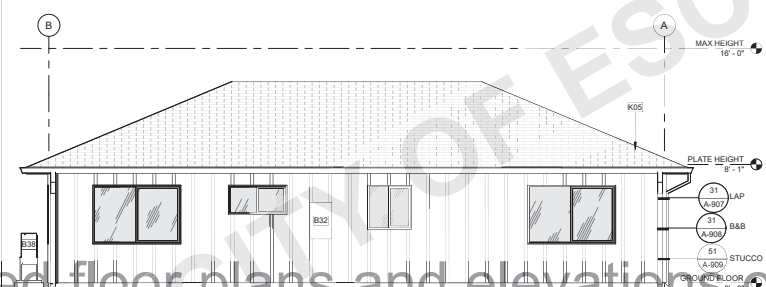
1 FRONT ELEVATION - HIP

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



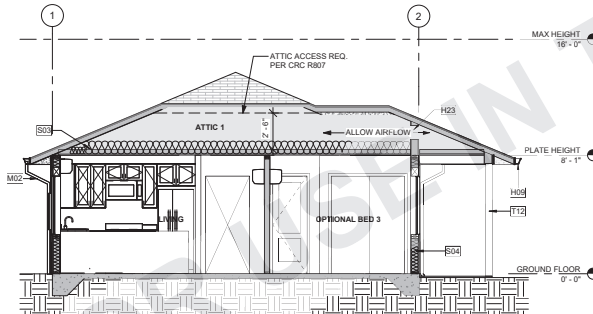
4 RIGHT ELEVATION - HIP

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



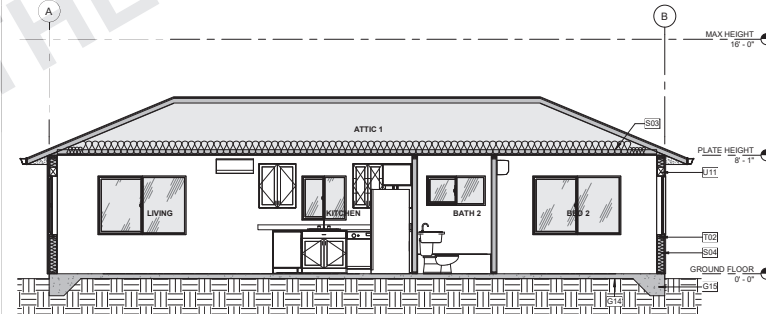
3 REAR ELEVATION - HIP

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



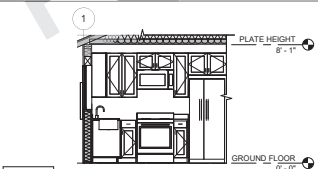
6 SECTION 2 - HIP

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



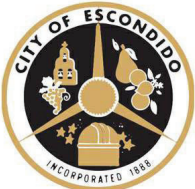
5 SECTION 1 - HIP

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



7 KITCHEN ELEVATION

A4-101 | A4-202 SCALE: 1/4" = 1'-0"



THESE PLANS ARE PROVIDED BY THE CITY OF ESCONDIDO AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONDUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

AGENCY

CITY OF ESCONDIDO
<https://www.escondido.gov/>

ESCONDIDO CITY HALL
 201 NORTH BROADWAY
 ESCONDIDO CA, 92025

(760) 839-4880

ESCONDIDO PRE-APPROVED ADU
 CITY OF ESCONDIDO

ELEVATIONS & SECTIONS -
 OPTIONAL NO PORCHES

DATE
 10/08/2024

SHEET

A4-203

SECTIONS GENERAL NOTES

- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS.
- WALL ASSEMBLIES TO BE PER FLOOR PLAN.
- DOORS AND WINDOWS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.
- INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
- FIREBLOCKING TO BE LOCATED PER **CRC SECTION R302.11**.
 - SECTION R302.11 -** FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED STUDS, AS FOLLOWS:
 - VERTICALLY AT CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH **SECTION R302.7**.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVELS. WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.18**.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION.
- SECTION R302.11.1 -** FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
 - TWO-INCH NOMINAL LUMBER
 - TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
 - THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
 - THE THICKNESS OF 0.719-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.719-INCH PARTICLE BOARD
 - ONE-HALF-INCH GYPSUM BOARD
 - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
 - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL, INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PER **CRC SECTION R703.16** GLAZERS AND GLASS IN A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH GROUND, UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE NATURALLY DURABLE, OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1.
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH **CRC 903.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

GENERAL ELEVATION NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE MINIMUM 1/2" GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNPOUT LOCATIONS, U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH **CRC TABLE R703.1(1)**.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH **CRC TABLE R902.3**.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH **CRC R703.16**. REFER TO **CRC R703.16** FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

KEYNOTES

- B38 MULTI-ZONE HEAT PUMP CONDENSER UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE. PROVIDE PROTECTION PER **CPC 907.25 & CMC 305.1.1**. SEE GENERAL MEP NOTES 7 & 8 ON SHEET A-111 FOR MORE INFO. SEE DETAIL S3A-902.
- H09 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER **CRC R327.5.4**.
- K05 COMPOSITE ROOF SHINGLES. ROOF REFLECTANCE (0.19) MIN. ROOF EMITTANCE (0.85) MIN. SEE MATERIALS LEGEND FOR MORE INFORMATION.
- K09 SIDING. SEE MATERIALS LEGEND AND DETAILS FOR MORE INFORMATION.
- M02 DOWNSPOUT DOWNSPOUT TO SPLASH BLOCK BELOW. SEE DETAIL T2A-903.
- T12 WOOD POST. SEE STRUCTURAL - REQUIRED: PRIMER & 2 COATS OF EXTERIOR GRADE PAINT.

MATERIALS LEGEND

NOTES:

- SEE TITLE SHEET FOR MATERIAL SELECTIONS. APPLICANT OR OWNER TO PROVIDE SIZES, MANUFACTURER, AND COLOR/FINISH SPECIFICATIONS.
- ALL MATERIAL SELECTIONS SHALL COMPLY WITH **CBC 701A**.
- A PROJECT SITE LOCATED WITHIN WUI SHALL COMPLY WITH THE **CBC 701A**. IF WUI APPROVED PRODUCTS ARE REQUIRED, PROVIDE SELECTED PRODUCT LISTINGS IN THE SPACES PROVIDED.
- APPROVED PRODUCT LISTINGS CAN BE FOUND IN THE (CURRENT) CAL-FIRE STATE FIRE MARSHAL LISTED WILDLAND URBAN INTERFACE WUI PRODUCT HANDBOOK.
- (ALTERNATIVELY), IF PROJECT SITE REQUIRES WUI COMPLIANCE, AND THE PRODUCT SELECTIONS ARE NOT LISTED, NOR IN THE HANDBOOK, MATERIALS SHALL COMPLY WITH THE PRESCRIPTIVE STANDARDS OF CHAPTER 1A, INDICATE IN THE MATERIALS LEGEND WHEN THIS OCCURS AND PROVIDE DOCUMENTATION OF COMPLIANCE FOR APPROVAL.

GRAPHICS LEGEND:

HORIZONTAL SIDING 4" MIN. TO 12" MAX. BOARD EXPOSURE
 OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SIDING (PER **CRC 703.5.3**)

BOARD & BATTEN SIDING 4" MIN. TO 16" MAX. BOARD EXPOSURE
 A) FIBER CEMENT (PER **CRC R703.10**)
 B) WOOD SIDING (PER **CRC 703.5.3**)

CEMENT PLASTER STUCCO SIDING
 (PER **CRC R703.7**)

SHAKE/SHINGLE SIDING: OPTION A: FIBER CEMENT (PER **CRC R703.10**)
 OPTION B: WOOD SHAKES/SHINGLES (PER **CRC R703.6**)
 OPTION C: REQUIRES APPROVAL

ADHERED MASONRY STONE VENEER

ADHERED MASONRY BRICK VENEER

ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
 ROOF REFLECTANCE (0.19) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.2.2**, **CRC R905.1**, TABLE R905.1.1(1), TABLE R905.1.1(2) & ASTM D3682)

S-PILE CLAY ROOF - CLASS C MIN. REQ.
 ROOF REFLECTANCE (0.19) MIN. ROOF EMITTANCE (0.85) MIN.
 (SHALL COMPLY WITH **CRC R905.2.2**, **CRC R905.1**, **CRC R905.3**)

A) TONGUE & GROOVE (SOLID SAWN LUMBER)
 B) FIBER CEMENT
 C) EXT. GRADE FIRE RETARDANT TREATED SHEATHING

OWNER/APPLICANT TO PROVIDE SIZE, MANUFACTURER, COLOR/FINISH SPECIFICATIONS. SEE **PRE-APPROVED ADU PROGRAM - OPTION SELECTION HANDOUT (PAAD0)** FOR STYLE, SIDING, SOFFIT, AND ROOFING SELECTIONS AND WUI PRODUCT LISTING. REFER TO TITLE SHEET TO VERIFY WUI REQUIREMENTS ARE APPLICABLE.

PUBLIC SET



Escondido Pre-Approved ADU (PAADU) Program Guidebook



Table of Contents

1. Resources & Objectives	5
2. ADU Overview	6
3. PAADU Program	8
4. Getting Started	11
5. Selecting the Right Plan.....	14
6. Permitting.....	22
7. Construction and Move-in.....	26
8. Final Considerations	27

1. Resources & Objectives

The City of Escondido has created this guidebook to help homeowners learn about Accessory Dwelling Units (“ADUs”) and to facilitate the Pre-Approved ADU (“PAADU”) application process. This guidebook provides key considerations for you to keep in mind before beginning your ADU journey, introduces PAADU Program and plans, and explains the PAADU permitting process.

PAADU PROGRAM RESOURCES

In addition to the PAADU Guidebook, the City has prepared a collection of resources for you to use. Click on the links below to access the materials.



PAADU PROGRAM BROCHURE

The PAADU Program Brochure provides general information about the PAADU program.



INITIAL CONSIDERATIONS

The Initial Considerations Handout offers a series of topics, considerations, and resources to help homeowners prepare for their ADU building journey.



PAADU PROCESS CHART

The PAADU Program Road map provides a step-by-step guidance on the PAADU permit application process.



FREQUENTLY ASKED QUESTIONS

This document includes questions that have been commonly asked by the public about ADUs and the PAADU Program.



CREATE YOUR SITE PLAN WORKSHEET

The Create your Own Site Plan Worksheet provides guidance on how to develop a site plan, a requirement of and ADU and the PAADU program submittal package.



ADU OPTION SELECTIONS HANDOUT

PAADU plan sets provide homeowners the flexibility to customize plans. The PAADU Option Selections Handout provides a comprehensive overview of the options that need to be made before submitting PAADU plans.



OLD ESCONDIDO NEIGHBORHOOD ADU STYLE ADAPTATION GUIDE

ADUs in the Old Escondido Neighborhood (OEN) must match the architectural style of the primary structure. The OEN ADU Adaptation Guide provides a selection of features that can be added to PAADU plans.

2. ADU Overview

Accessory Dwelling Units (“ADUs”) are secondary, but independent living facilities located within the same lot of a single-family or multifamily building (primary residence).

ADUs come in a variety of shapes and sizes, with the option to be either attached or detached from the main residence. They can include garage conversions, and prefabricated units. Junior Accessory Dwelling Unit (“JADUs”) are also another type of ADU. Below are explanations of the different types of ADU options:

WHAT’S THE DIFFERENCE BETWEEN AN ADU AND A JADU?



Junior Accessory Dwelling Unit (JADU)

- Between 150–500 square feet.
- May have direct, interior access to the main residence and share sanitation facilities.
- Must provide efficiency kitchen.
- Must be located within the primary residence.



Accessory Dwelling Unit (ADU)

- Up to 1,000 square feet.
- Cannot provide access to the main residence.
- Must include independent sanitation facilities and kitchen.

TYPES OF ADUs



Attached ADU

- Attached to the primary building as an addition.



Detached ADU

- Detached and completely separate from the primary building.



ADU Conversion

- Conversion of existing space by adapting underutilized space in the primary residence, garage, or attic

BENEFITS OF ADUs

ADUs have the potential to bring lots of benefits to property owners and individuals residing in them. They represent one of the many strategies that local jurisdictions and the State of California are utilizing to address the housing crisis.



Practical Housing Option

ADUs provide an option for friends and relatives to live within the same premises while maintaining a sense of independence. They represent an alternative to an overcrowded home.



Additional Income Source

Over time, ADUs could generate an additional source of income for homeowners and help make ends meet. After recovering the initial cost of their investment, homeowners renting their ADU can receive a steady source of income.



Flexible Living Spaces

ADUs offer an option for aging parents or individuals who are physically or mentally impaired to live independently while being close to home. ADUs provide for intergenerational living for empty nesters, expanding families, and/or to allow seniors to age in place.

“

ADUs tend to be significantly less expensive to build than new detached single-family homes and offer benefits that address common development barriers, such as environmental quality.

”

California Department of Housing and Community Development, ADU Handbook, 2022

3. PAADU Program


The City of Escondido’s PAADU program was created to address the growing housing needs within the City and California. The PAADU program offers homeowners access to free pre-approved plans that can be used to build a new, detached ADU on a property. **The PAADU Program is only available for new construction, detached ADUs.**

WHY SHOULD I USE THE PAADU PLANS?

Pre-approved plans have already gone through the city review process. These plans fully comply with local zoning, building, and energy codes, streamlining the approval process. Plans are also developed and stamped by an architect and structural engineer, reducing the design and professional fees that would be otherwise spent on an ADU.

The PAADU program offers a range of pre-approved plan options, including a 484 SF studio or 1 bedroom, a 644 SF two-bedroom (linear), an 851 SF two-bedroom (square), and a 1,000 SF two or three bedroom. Applicants are responsible for providing a site plan for their specific property. A Site Plan lets the City know where the ADU will be located and any other physical features the City should consider to approve an application. Applicants are also responsible for filling out all applicable portions of the prototype plans including project-specific information of a PAADU plan’s title sheet. For more information, refer to the full plan sets available on the City’s website.

To review and download the full architectural plan sets, click [here](#) or scan the QR code below:



Plan 1



484 SF - Studio or 1 bedroom/1 bath

Plan 2



Plan 3



851 SF - 2 bedroom/2 bath

Plan 4



PAADU PROCESS AT A GLANCE



ADU PROJECT TIMELINE

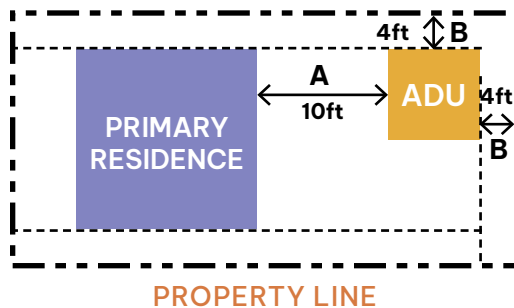


The PAADU Program's pre-approved plans offer several options that are suitable for various types of lots in the City. This graphic is designed to showcase the flexibility of these plans and how they can be adapted to fit different lot configurations.

DEVELOPMENT STANDARDS:

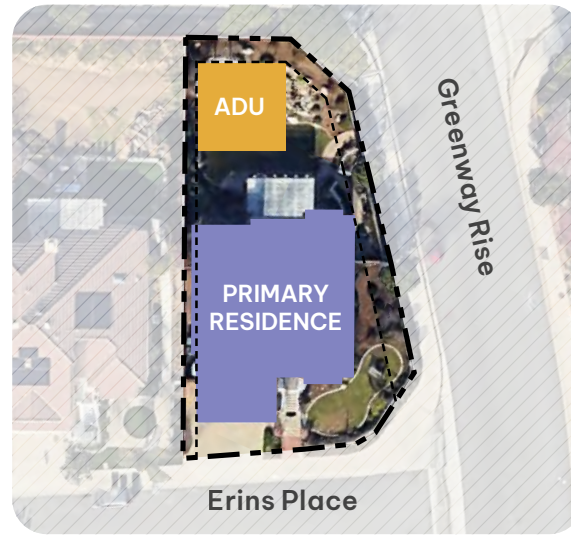
ADUs are required to have a minimum 10 foot separation between structures. ADUs are also required to have a 4 foot separation from the rear and side of the property line, also known as a rear and side yard setback.

- A.** 10' separation from primary residence to accessory dwelling unit (ADU)
- B.** Minimum 4' side yard and rear yard setbacks



Unit Placement Legend:

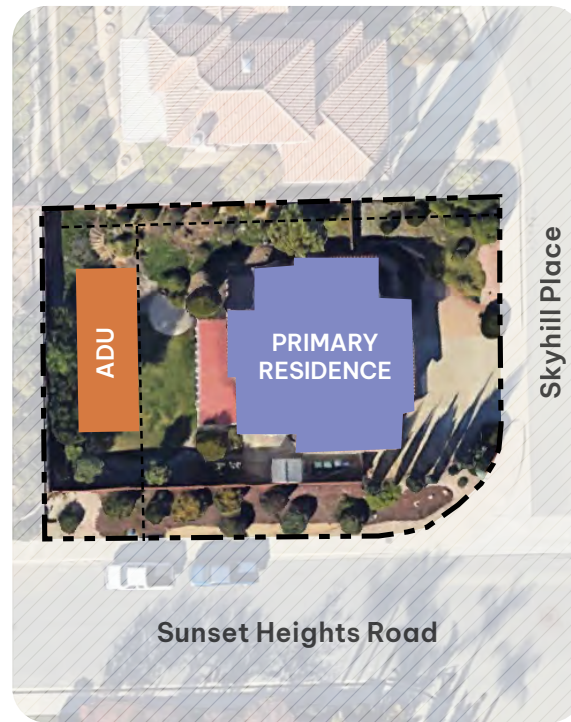
	484 Square Foot Unit
	644 Square Foot Unit
	851 Square Foot Unit
	1,000 Square Foot Unit



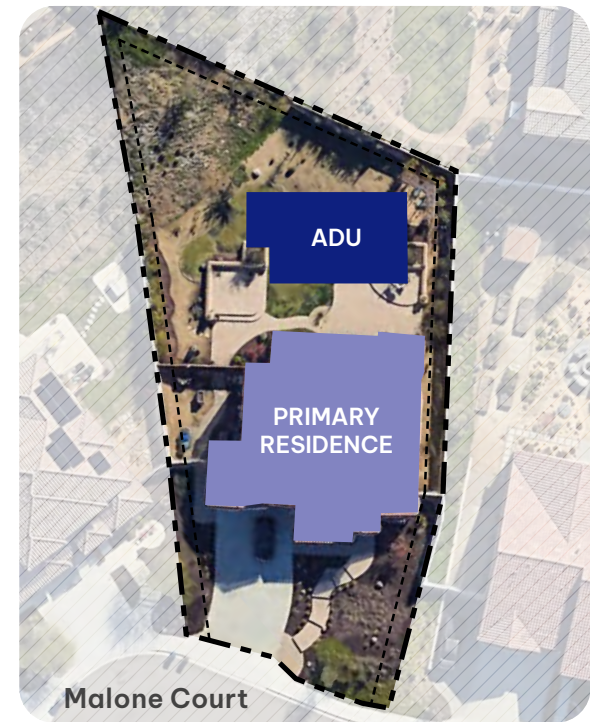
Plan 1



Plan 3



Plan 2



Plan 4

4. Getting Started

GATHER YOUR PROPERTY'S INFORMATION

Before you can determine the location and size of your ADU, you must first assess the dimensions of your lot and any existing structures on your property (e.g., primary home, sheds, pools, etc.).

First, request your property's official documents. Your property's deed and Preliminary Title Report will provide legal information for your property including property lines, your home's square footage, and easements. These documents are required as part of your ADU permit submission. Contact the County Clerk's office to request these documents at (619) 237-0502 or via their website www.sdarcc.gov.

UNDERSTAND YOUR SITE CONSTRAINTS

Information gathered from your property's deed and Preliminary Title Report can help you determine the right size and placement of your ADU. Consider other physical characteristics of your lot as these may influence or limit the type of ADU that aligns with your property, goals, and budget. Some questions to keep in mind include:

Is your property on a slope? While Escondido is generally flat, some areas of the City are on a hill or a slope. Check out the United States Geological Survey Map to learn about the topography within and around your lot: apps.nationalmap.gov/viewer/.



Do you have a pool that needs to be filled or a structure that needs to be removed? Filling a pool or removing a structure most likely entails preparation work and possibly permits. Consult with the City and professionals to tackle these tasks before submitting an ADU permit.

Will the ADU have a minimum of 10-foot separation from the primary residence or structures and a 4-foot separation from the rear and side of the property line? Per Fire Code, an ADU must have a minimum of a 10-foot separation from the primary residence or any adjacent structures. State law also requires ADUs to have at least a 4-foot separation from the rear and side property lines. Reach out to the City's Planning and Building Department to understand the rules around your lot and ADUs. The City can let you know if there are additional steps needed if you cannot meet these requirements.

How big can my ADU be? The size of an ADU can be limited by physical constraints like your lot size, a slope, and utility connections; there are also rules and regulations that may limit the area available for construction within your lot. State law says you can build a 850 square foot detached ADU, but you still need to provide calculations that to show that your new construction ADU doesn't exceed any local open space limits. Information about square footage of your lot and any structures can help determine Floor area ratio (FAR) and Lot/site coverage, both required for PAADU and ADU permit submittal.



HOW TO MAKE YOUR ADU WORK

At the most basic level, ADUs require water, waste management, and electricity to function. If your home was built 30 + years ago, chances are, your property may require upgrades to meet current utility standards and new utility demand from the ADU. Of the three utility services: water, waste management, and electricity, waste management has the potential to be the most cost-prohibitive and demanding.

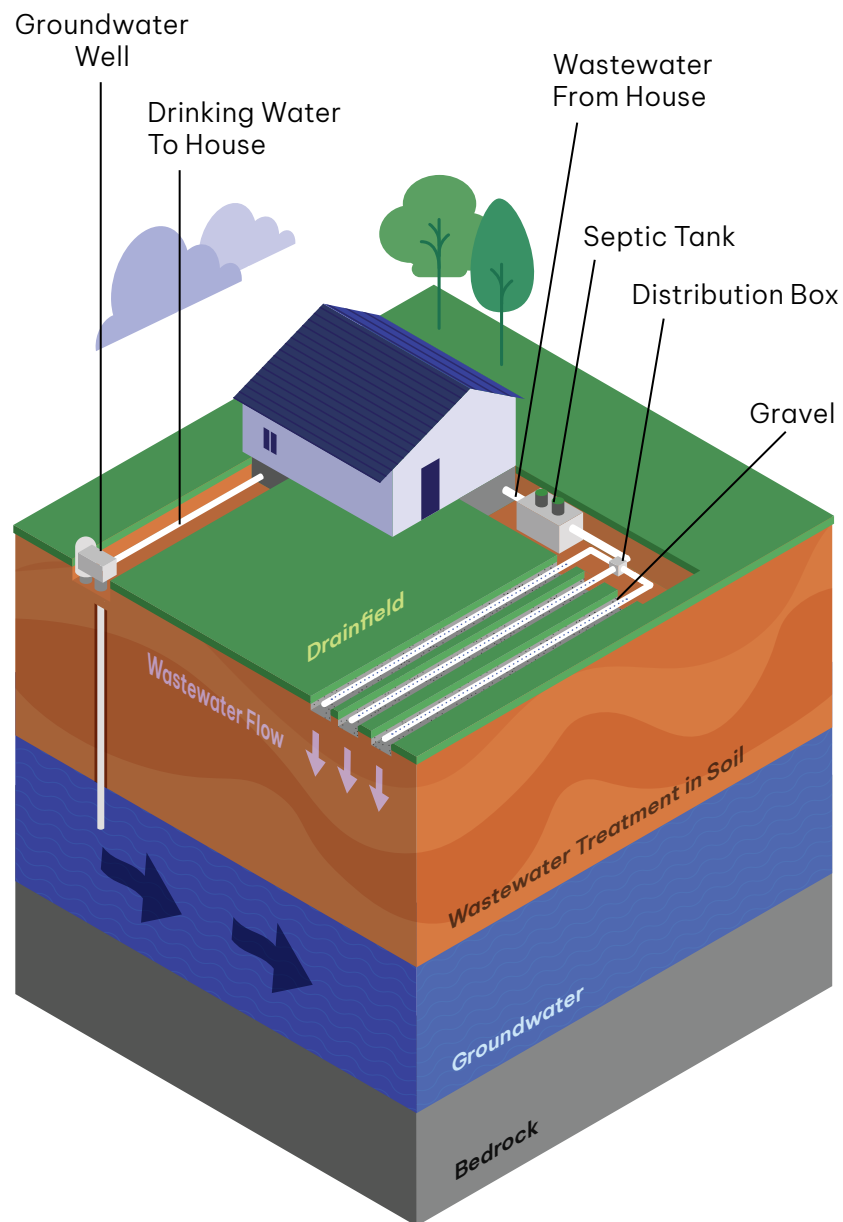
IS YOUR PROPERTY CONNECTED TO SEWER OR SEPTIC?

If your property is on a septic system, you will need to make sure that your septic tank and drain fields meet current County of San Diego standards. Contact the County of San Diego's Department of Environmental Health and Quality (DEHQ) at (858) 565-5173 or via email LWQDuty.DEH@sdcounty.ca.gov to get started with any permits or upgrades that may be needed. A letter of approval from DEHQ will be required as part of an ADU application.

If your property is on sewer, you must identify the location of sewer lines and adequately plan for the placement of new lines. A plumbing professional can help you identify and plan for utility connections to your ADU.



Conventional Septic System



PLEASE NOTE: Septic systems vary. Diagram is not to scale.

CONSIDER YOUR SURROUNDINGS

As you embark on your ADU construction journey, consider your personal needs and constraints.

What is your budget? Construction and labor are obvious expenses that are part of ADU projects. However, there are additional “soft costs” to consider. These may include City permit fees, school fees, utility connections and expansions, potential grading, contractors, and more. Make a list and, if needed, explore loan and alternative funding options can fit your needs.

What do you plan to do with your ADU? Whether you are planning to house friends and relatives or rent out the ADU, the City requires rental information at the time of permit submittal, including the type of occupancy and rental rate. Note: ADUs cannot be rented as Short Term Rentals, less than 30 days.

What is the timeline for the project? Applicants have 12 months from ADU permit issuance to schedule an ADU inspection. If an inspection is not scheduled, the project is considered abandoned. It’s important to plan accordingly to avoid paying permit fees twice.

What about your neighbors? Evaluate the orientation of your ADU’s windows and doors. Trees and shrubs may help preserve privacy. Consider how the ADU will be accessed. An independent walkway or entryway may be preferred.



FIND YOUR TEAM AND CONTACT APPROPRIATE AGENCIES

We recommend you to reach out to the following agencies and professionals:

A General Contractor can help manage the permit and construction process of an ADU. They can ensure compliance with building codes, problem-solve, manage budget, and more. The State Licensing Board can help you verify that your contractor has the appropriate state licenses. Website: www2.cslb.ca.gov/onlineservices/checklicense/checklicense.aspx.

Tip: Compare estimates before choosing a contractor. By requesting more than one quote.

Mechanical, electrical, and plumbing (MEP) professionals can help handle heating, ventilation, electrical systems, as well as the installation of water and sewer systems of your ADU.

SDG&E requests to be notified when new ADU’s are built. A copy of the project site plan and a project description must be sent to the SDG&E Gas and Planning Department. A confirmation form must also be submitted as part of the PAADU permit package. The form can be found at: escondido.gov/DocumentCenter/View/551/SDGE-Notification-Form-PDF.

Escondido Unified School District (EUSD) requests to be notified when a new ADU is built. Once your application is close to “Building Permit Issuance”, the Building department will provide you with a personalized letter and contact information for EUSD.

HOA representatives should be contacted early on. While an HOA cannot prevent you from building or renting an ADU, they may still have guidelines or standards to consider.

Note: The City PAADU and ADU permit process is completely separate from any permits required by an HOA.

Escondido Engineering Department can provide plans of sewer and water infrastructure in the Right of Way and near your property. You may contact the Engineering Department at 760-839-4651.

5. Selecting the Right Plan

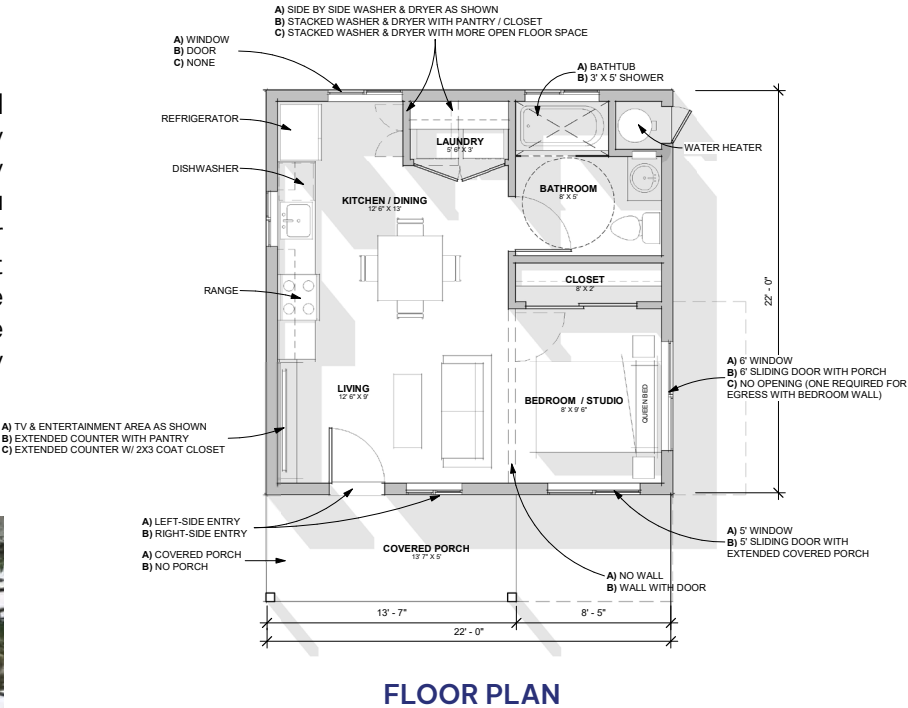
PRE-APPROVED PLAN 1

484 square foot – Studio or 1 bedroom/ 1 bath

Plan 1 is a compact studio or 1 bedroom plan that can be situated on smaller lots and tighter configurations. Plan 1 offers a cozy home, perfect for a young professional or an extended family member. The front entrance can be built with an option for a covered porch. This plan features a full kitchen with space for a dining table, and options for more pantry storage or a coat closet in the main living space. The bathroom can accommodate options for a bathtub or shower. All of the plans are customizable with the ability to flex windows, walls, and meet ADA accessibility requirements, allowing interested users to fit their needs.



PERSPECTIVE VIEW

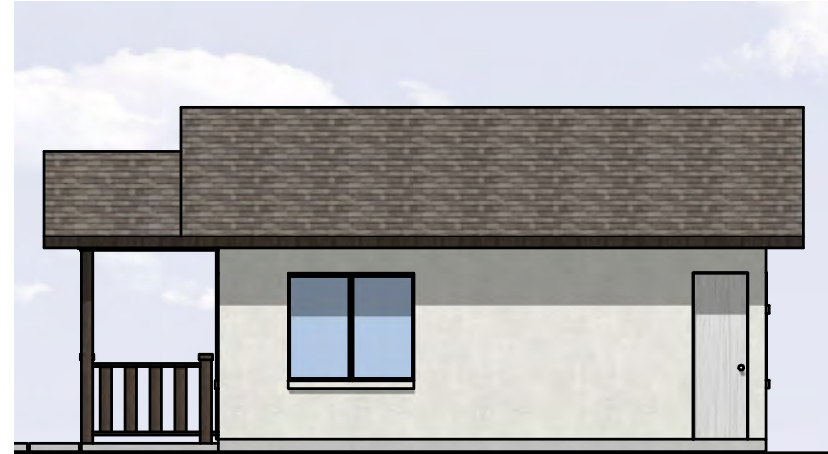


PRE-APPROVED PLAN 1

Plans allow for a variety of finishes, allowing homeowners to choose cost-effective materials that fit their budget. Per the Escondido Zoning Code, exterior materials must also match the primary structure. A Materials and Colors Sheet is required as part of PAADU submittal.



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

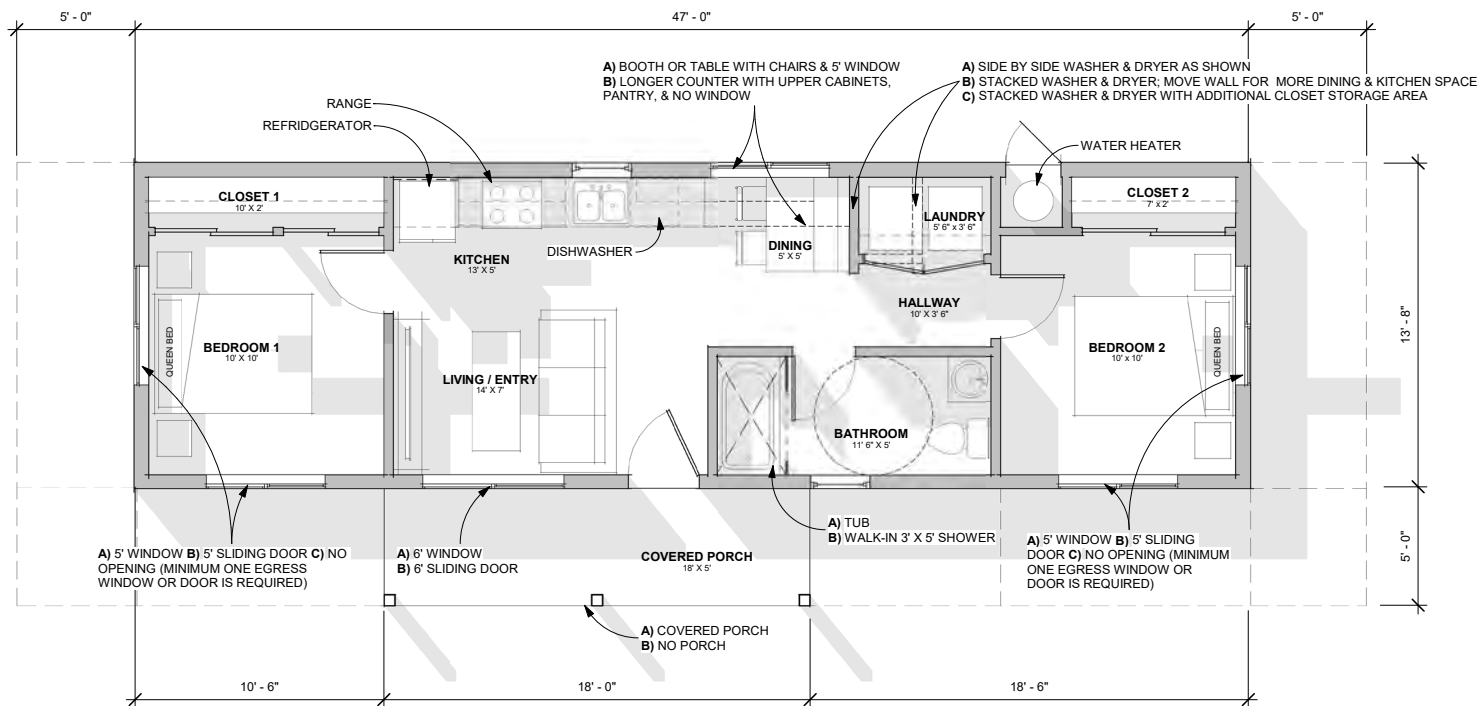
PRE-APPROVED PLAN 2

644 square feet – 2 bedroom/1 bath unit

Plan 2 is a “linear” plan featuring an entrance that can be built with an option for a covered porch. This plan has a full kitchen, with options for more counter space or extra space for a dining table/booth. Two spacious bedrooms can accommodate queen-sized beds and are located on opposite sides of the living area. The bathroom can accommodate options for a bathtub or shower.



PERSPECTIVE VIEW



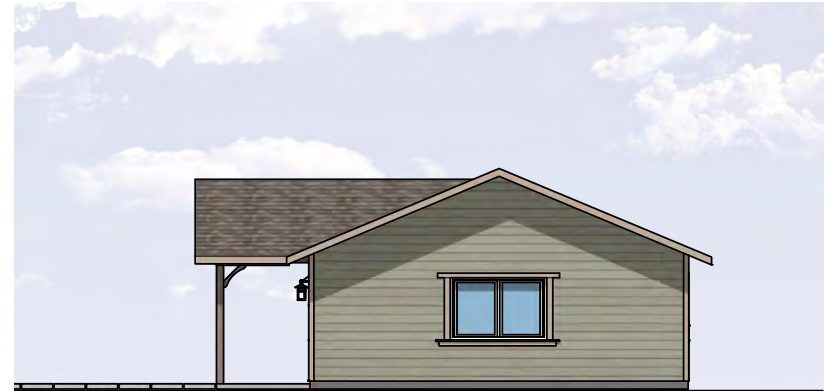
FLOOR PLAN

PRE-APPROVED PLAN 2

Plans allow for a variety of finishes, allowing homeowners to choose cost-effective materials that fit their budget. Per the Escondido Zoning Code, exterior materials must also match the primary structure. A Materials and Colors Sheet is required as part of PAADU submittal.



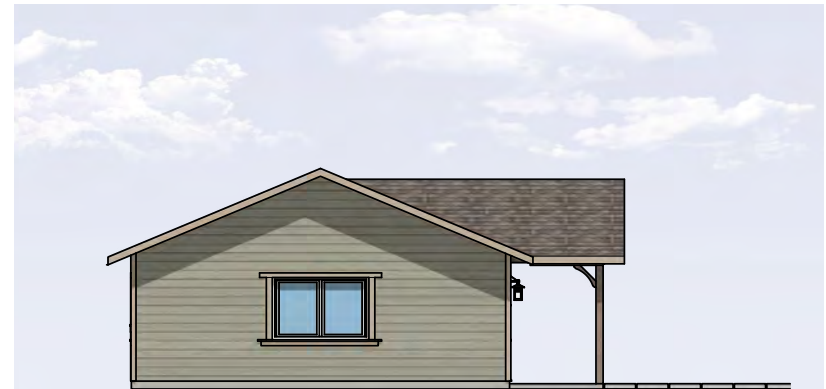
FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

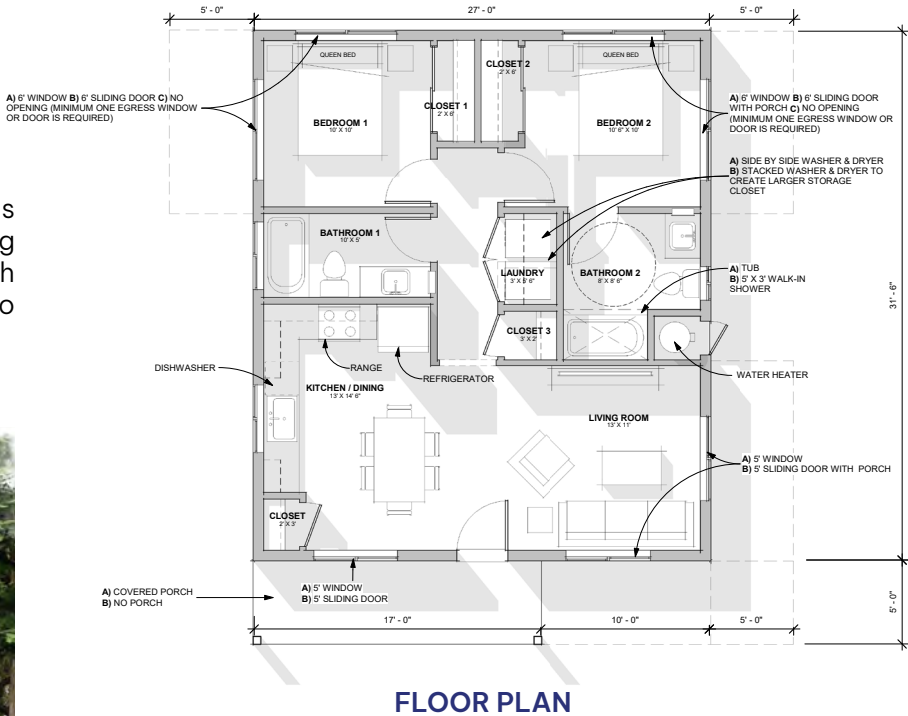
PRE-APPROVED PLAN 3

851 square feet – 2 bedroom/2 bath unit

Plan 3 features a “square-shaped” plan, with a more spacious living and dining area in an open floor plan. The kitchen/dining area is equipped with abundant counter and pantry space. Each bedroom has a dedicated bathroom, as well as the option to open to a small porch area through a sliding door.



PERSPECTIVE VIEW



PRE-APPROVED PLAN 3

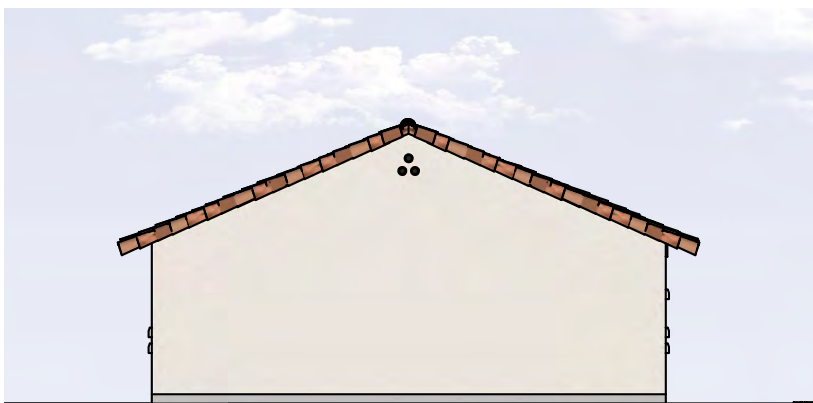
Plans allow for a variety of finishes, allowing homeowners to choose cost-effective materials that fit their budget. Per the Escondido Zoning Code, exterior materials must also match the primary structure. A Materials and Colors Sheet is required as part of PAADU submittal.



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

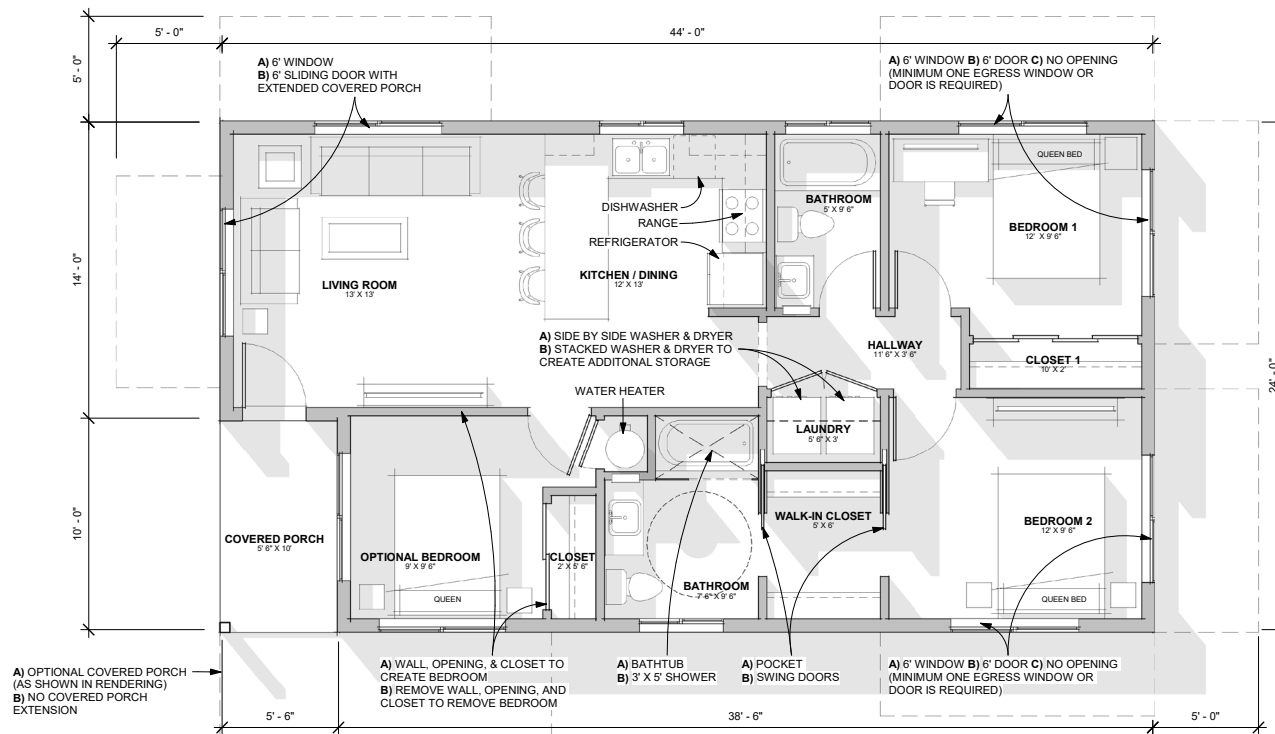
PRE-APPROVED PLAN 4

1000 square feet – 2 or 3 bedroom/2 bath unit

Plan 4 is a “linear” plan featuring the option for either a two or three bedroom ADU. Without the third bedroom, the covered porch entrance may be expanded into a large outdoor space for dining or entertainment. This floor plan offers a more spacious living and dining area in an open floor plan. The laundry room, bathrooms, and bedrooms are all accessed through a small central hallway.



PERSPECTIVE VIEW



FLOOR PLAN

PRE-APPROVED PLAN 4

Plans allow for a variety of finishes, allowing homeowners to choose cost-effective materials that fit their budget. Per the Escondido Zoning Code, exterior materials must also match the primary structure. A Materials and Colors Sheet is required as part of PAADU submittal.



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

6. Permitting

THE PRE-APPROVED PLAN PERMITTING PROCESS

Pre-approved plans have been reviewed and approved by the City's Building, Planning, Engineering, and Fire departments, streamlining the review process. **However, applicants are still required to submit a building permit application for final review and approval.**

WHAT DOES PERMITTING AT THE CITY OF ESCONDIDO LOOK LIKE?

Before submitting a building permit application, you want to first make sure you have ALL application documents completed. This includes:

- Completed PAADU cover sheet and site plan
- Completed [ADU Housing Tracking Form](#)
- Copy of Grant Deed
- Copy of a current Preliminary Title Report, including a complete legal description (dated within the last six months).
- Materials and Colors Sheet
- [SDG&E Notification Sheet](#)
- [Hazardous Waste Disclosure Statement](#)
- If the property runs on a septic system, a copy of a letter of approval from the County's Department of Environmental Health and Quality Land and Water Quality Division



To view all the information that is required as part of an ADU permit, click [here](#) or scan the QR code:



PAADU BUILDING PERMIT PROCESS

1 Download your preferred PAADU plan via the City's website at escondido.gov/1207

2 Create an account via the City of Escondido Permit & License Portal at cwols.escondido.org/portal/ and select PAADU Building Permit Type.

3 An email invitation from ProjectDox will be sent for you to create an account and upload your plans.

4 Upload your plans.
Note: Each sheet must be uploaded individually and follow a specific naming convention: CaseNumberPageNumber-FileName, with no spaces.

Example:

Building Permit Case Number Page Number

B16-4882 A001 - TitleSheet

File Name

5 Once plans and required materials are uploaded, the application will be submitted for completeness verification. It may take a couple weeks for City staff get to your application.

Note: During this step, staff will look at your application to make sure your application is complete.

6 If your application is deemed complete, the application will move forward for a formal review. At this time, comments from the City are subject to a 30-day shot clock. Meaning, the City will complete their reviews within a 30-day time period.

Note: During this step, staff will look at your application for accuracy and compliance. City departments will provide comments. This step is an iterative process and it can take several months to reach permit approval.

7 Once all comments from City staff are addressed, your application may be approved. You will receive a payment email to complete any outstanding items for issuance and to pay for fees.

8 Once all items and payments are complete, your building permit is considered issued! You may download City approved files and move forward with construction.

PERMIT FEES

The list of fees below is not an exhaustive. Fees can vary on a project-by-project basis.

City permitting fees cover plan review and inspections before, during, and after construction. These fees are often a few thousand dollars.

Development impact fees help pay for new infrastructure in your area, such as new roads or parks. ADUs under 750 square feet are exempt.

SDG&E connection & upgrade fees are required for upgrades or new service. Reach out to SDG&E directly to learn about any fees that may impact your budget.

Water and sewer fees may be charged depending on upgrades or new connections associated with your ADU.

School district fees support the schools in your area and apply to ADUs 500 square feet or more. Typically, you will pay the school district directly. The City of Escondido will provide a letter and additional information on how to pay these fees during the permit process.



INSPECTIONS

- Inspections are required during construction of an ADU. Applicants are responsible for requesting inspections using the Building Inspection Request Form.
- The request can be completed using the following link: www.escondido.gov/FormCenter/Development-Services-12/Building-Inspections-Request-62

CERTIFICATE OF OCCUPANCY

- At the City of Escondido, final sign off on the building inspection card acts as the certificate of occupancy.

If you are having trouble with Project Dox, click [here](#) or scan the QR code:



ADU PROJECT TIMELINE



7. Construction and Move-in

PAADU CONSTRUCTION BENEFITS



Efficient Design

The pre-approved plans are designed to be simple and efficient to build, potentially saving on construction costs and building time, in comparison to traditional ADUs.



Material Choices

The plans allow for a variety of finishes, enabling homeowners to choose cost-effective materials that fit their budget.

ADU PROJECT TIMELINE



8. Final Considerations

BECOMING A LANDLORD

If you are considering renting your ADU, you should become familiar with your role as a landlord.

- **Establish the rental price of your ADU.** Conduct research about rental prices of comparable ADUs in the nearby area to ensure that the rate is competitive to attract potential tenants.
- **Review California's landlord-tenant laws.** Understanding the legal framework of renting your ADU can help prevent potential legal complications in the future.
- **Ensure you have a lease agreement.** Your lease agreement will provide you and your tenant with the legal obligations of renting your ADU. The agreement will outline the lease length and payment terms such as the security deposit, rent amount, due date, and acceptable payment methods.
- **Understand property taxes and insurance requirements.** Consult with your CPA and your insurance provider to understand the fiscal and liability implications of renting your ADU.

RENTING YOUR ADU

There are a series of requirements and conditions applicable to the rental of ADUs:

- **Understand the requirements to lease your ADU.** Before renting your ADU, you will need a Certificate of Occupancy and landlord insurance.
- **Consider your lease length.** The City of Escondido does not permit for short-term rentals within the City. As a result, rental periods of 30-days or more are required for ADUs.
- **Review requirements for owner occupancy.** As an owner, you do not need to occupy the ADU. Recent state legislation, Assembly Bill 976, prohibits owner-occupancy requirements in California.²
- **Understand regulations around separate conveyance.** The City of Escondido does not permit the individual sale of ADUs.

²Owner occupancy is required for JADUs, per Gov Code Section 66333. However the PAADU Program does not apply to JADUs, it only includes Pre-Approved ADU plans.





escondido.gov/238/Accessory-Dwelling-Units



CITY of ESCONDIDO

STAFF REPORT

Agenda Item No. 5

June 24, 2025

Tentative Future Agenda Items

DATE: June 24, 2025

TO: Planning Commissioners

FROM: Veronica Morones, City Planner

SUBJECT: Tentative Future Agenda Items

The items listed below are anticipated to be brought to the Planning Commission for consideration, discussion, and/or recommendation to the City Council over the next several months. Because there are factors out of City staff's control, this list is subject to change. The intent is to provide visibility regarding projects that the Commission should expect to see in the near future. (Items are listed in no particular order.)

Additionally, these items shall not be considered to be agenda items for this meeting so no discussion is permitted other than clarification of what the item is.

Private Development Projects:

- Residential subdivision (density bonus) and CUP Modification for religious facility
- Lot 1 Residential Redevelopment

Policy Work:

- Housing Element Implementation Ordinances
 - o Ministerial/by-right ordinance
 - o Permanent Supportive Housing ordinance
 - o ADU ordinance comprehensive update
- Climate Action Plan Annual Progress Report (2023 & 2024 CY)

Informational Presentations:

- Pre-Approved Accessory Dwelling Unit Program
- California Environmental Quality Act
- North County Mall Permit History