



CITY of ESCONDIDO

COUNCIL MEETING AGENDA

WEDNESDAY, AUGUST 16, 2023

4:00 PM - Closed Session (Parkview Conference Room)

5:00 PM - Regular Session

Escondido City Council Chambers, 201 North Broadway, Escondido, CA 92025

WELCOME TO YOUR CITY COUNCIL MEETING

We welcome your interest and involvement in the legislative process of Escondido. This agenda includes information about topics coming before the City Council and the action recommended by City staff.

MAYOR

Dane White

DEPUTY MAYOR

Joe Garcia (District 2)

COUNCILMEMBERS

Consuelo Martinez (District 1)

Christian Garcia (District 3)

Michael Morasco (District 4)

CITY MANAGER

Sean McGlynn

CITY ATTORNEY

Michael McGuinness

CITY CLERK

Zack Beck

HOW TO WATCH

The City of Escondido provides three ways to watch a City Council meeting:

In Person



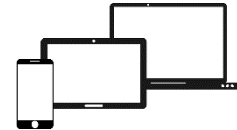
201 N. Broadway

On TV



Cox Cable Channel 19 and U-verse Channel 99

Online



www.escondido.org



CITY of ESCONDIDO

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HOW TO PARTICIPATE

The City of Escondido provides two ways to communicate with the City Council during a meeting:

In Person



Fill out Speaker Slip and Submit to City Clerk

In Writing



<https://escondido-ca.municodemeetings.com>

ASSISTANCE PROVIDED

If you need special assistance to participate in this meeting, please contact our ADA Coordinator at 760-839-4869. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility. Listening devices are available for the hearing impaired – please see the City Clerk.





CITY of ESCONDIDO

COUNCIL MEETING AGENDA

WEDNESDAY, AUGUST 16, 2023

CLOSED SESSION

4:00 PM

CALL TO ORDER

1. Roll Call: C. Garcia, J. Garcia, Martinez, Morasco, White

ORAL COMMUNICATIONS

In addition to speaking during particular agenda items, the public may address the Council on any item which is not on the agenda provided the item is within the subject matter jurisdiction of the City Council. State law prohibits the Council from discussing or taking action on such items, but the matter may be referred to the City Manager/staff or scheduled on a subsequent agenda. Speakers are limited to only one opportunity to address the Council under Oral Communications.

CLOSED SESSION

I. CONFERENCE WITH LABOR NEGOTIATORS (Government Code § 54957.6)

- a. Agency Representative: Sean McGlynn, City Manager, or designee
Employee Organization: Police Officers' Association Sworn Personnel Bargaining Unit
- b. Agency Representative: Sean McGlynn, City Manager, or designee
Employee Organization: Police Officers' Association Non-Sworn Personnel Bargaining Unit
- c. Agency Representative: Sean McGlynn, City Manager, or designee
Employee Organization: Firefighters' Association Safety and Non-safety Bargaining Unit
- d. Agency Representative: Sean McGlynn, City Manager, or designee
Employee Organization: ECEA Unit (SUP)
- e. Agency Representative: Sean McGlynn, City Manager, or designee
Employee Organization: Maintenance and Operations Bargaining Unit (Teamsters Local 911 and ACE)



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II. **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** (Government Code § 54956.8)

- a. Property: 272 Via Rancho Pkwy., Escondido (North County Mall)
- b. Agency Negotiator: Sean McGlynn, City Manager or designee
- c. Negotiating Parties: Steerpoint Capital and affiliates
- d. Under Negotiation: Price and Terms of Ground Lease

ADJOURNMENT



CITY of ESCONDIDO

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REGULAR SESSION

5:00 PM Regular Session

MOMENT OF REFLECTION

City Council agendas allow an opportunity for a moment of silence and reflection at the beginning of the evening meeting. The City does not participate in the selection of speakers for this portion of the agenda, and does not endorse or sanction any remarks made by individuals during this time. If you wish to be recognized during this portion of the agenda, please notify the City Clerk in advance.

FLAG SALUTE

The City Council conducts the Pledge of Allegiance at the beginning of every City Council meeting.

CALL TO ORDER

Roll Call: C. Garcia, J. Garcia, Martinez, Morasco, White

CLOSED SESSION REPORT

ORAL COMMUNICATIONS

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CONSENT CALENDAR

Items on the Consent Calendar are not discussed individually and are approved in a single motion. However, Council members always have the option to have an item considered separately, either on their own request or at the request of staff or a member of the public.

1. AFFIDAVITS OF PUBLICATION, MAILING, AND POSTING (COUNCIL/RRB) –



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2. APPROVAL OF WARRANT REGISTER (COUNCIL) -

Request the City Council approve the City Council and Housing Successor Agency warrant numbers:

- 375634 - 375871 dated July 26, 2023

Staff Recommendation: Approval (Finance Department: Christina Holmes)

3. APPROVAL OF MINUTES: None

4. WAIVER OF READING OF ORDINANCES AND RESOLUTIONS –

5. NOTICE OF COMPLETION FOR THE W 7TH AVENUE AND S BROADWAY WATER MAIN REPLACEMENT PROJECT

Request the City Council adopt Resolution No. 2023-99, authorizing the Deputy City Manager / Director of Utilities to file a Notice of Completion for the W 7th Avenue and S Broadway Water Main Replacement Project (“Project”).

Staff Recommendation: Approval (Utilities Department: Christopher W. McKinney, Deputy City Manager/Director of Utilities)

Presenter: Angela Morrow, Deputy Director of Utilities

- a) Resolution No. 2023-99

6. AWARD CONTRACT FOR CONSTRUCTION OF THE WASHINGTON PARK FUTSAL SOCCER COURTS

Request the City Council adopt Resolution No. 2023-88 awarding a construction contract to Ace Electric, Inc., determined to be the lowest responsible and responsive bidder, approving the budget adjustment request, and authorizing the Mayor on behalf of the City, to execute a Public Improvement Agreement in the amount of \$334,000 for construction of the Washington Park Futsal Soccer Courts (“Project”).

Staff Recommendation: Approval (Development Services Department: Andrew Firestine, Development Services Director, and Julie Procopio, City Engineer)

Presenter: Julie Procopio, City Engineer

- a) Resolution No. 2023-88



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7. REJECT ALL BIDS FOR THE 2023 STREET MAINTENANCE PROJECT - PHASE 2

Request the City Council adopt Resolution No. 2023-106, rejecting all bids for the 2023 Street Rehabilitation and Maintenance Project – Phase 2 (“Project”), and authorizing staff to re-bid the project.

Staff Recommendation: Approval (Development Services Department: Julie Procopio, City Engineer)

Presenter: Marissa Padilla, Associate Engineer

a) Resolution No. 2023-106

8. ON-CALL BUILDING SERVICES CONTRACT AWARDS

Request the City Council adopt Resolution No. 2023-108, authorizing the Mayor to execute, on behalf of the City, a Consulting Agreement with Interwest Consulting Group, Inc., a Colorado corporation, for three-years with one (1) option to extend the Consulting Agreement for one (1) year. Request the City Council adopt Resolution No. 2023-109, authorizing the Mayor to execute, on behalf of the City, a Consulting Agreement with NV5, Inc., a California corporation, for three-years with one (1) option to extend the Consulting Agreement for one (1) year; and approve a budget adjustment request in the amount of \$529,430 for professional services for dedicated building inspection services for the Palomar Heights project.

Staff Recommendation: Approval (Development Services Department: Andrew Firestine, Director of Development Services)

Presenter: Andrew Firestine, Director of Development Services

a) Resolution No. 2023-108

b) Resolution No. 2023-109

9. TREASURER’S INVESTMENT REPORT FOR THE QUARTER ENDED June 30, 2023

Request the City Council approve the Quarterly Investment Report for the quarter ended June 30, 2023.

Staff Recommendation: Approval (City Treasurer’s Office: Douglas Shultz, City Treasurer)

Presenter: Douglas Shultz, City Treasurer



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10. FISCAL YEAR 2022/23 PAUL COVERDELL FORENSIC IMPROVEMENT PROGRAM GRANT AND BUDGET ADJUSTMENT

Request the City Council adopt Resolution No. 2023-104 authorizing the Chief of Police or his designee to accept a FY 2022-23 California Office of Emergency Services (CalOES) Paul Coverdell Forensic Science Improvement Program Grant in the amount of \$52,446; execute all documents necessary for the management and completion of the grant scope; and authorize the necessary budget adjustment needed to spend grant funds.

Staff Recommendation: Approval (Police Department: Edward Varso, Chief of Police)

Presenter: Edward Varso, Chief of Police

a) Resolution No. 2023-104

PUBLIC HEARINGS

11. PHG20-0033/PL22-0216 – AN APPEAL OF THE PLANNING COMMISSION’S DECISION TO DENY A CONDITIONAL USE PERMIT AND GRADING EXEMPTION FOR THE CONSTRUCTION OF A 45-BED LICENSED RESIDENTIAL CARE FACILITY

Request the City Council adopt Resolution No. 2023-103, granting the appeal of the Planning Commission’s decision to deny the Conditional Use Permit and Grading Exemption for the construction of a 45-bed Licensed Residential Care Facility.

Staff Recommendation: Approval (Development Services Department: Andrew Firestine, Director of Development Services)

Presenter: Ivan Flores, Associate Planner

a) Resolution No. 2023-103

12. PL23-0109 – DOWNTOWN SPECIFIC PLAN TEXT AMENDMENT

Request the City Council adopt Ordinance No. 2023-11 amending the list of permitted uses within the Downtown Specific Plan to allow “All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer/refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing” within the Creekside Neighborhood District.

Staff Recommendation: Approval (Development Services Department: Andrew Firestine, Director of Development Services)

Presenter: Ivan Flores, Associate Planner

a) Ordinance No. 2023-11 (First Reading and Introduction)



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CURRENT BUSINESS

13. CAMPAIGN CONTRIBUTION UPDATE

Request the City Council receive and file an update on campaign contribution regulations in the State of California.

Staff Recommendation: Receive and File (City Clerk's Office: Zack Beck, City Clerk)

Presenter: Zack Beck, City Clerk

14. PUBLIC COMMENT POLICY

Request the City Council consider and provide direction to staff regarding the City of Escondido's ("City") current public comment policy.

Staff Recommendation: Provide Direction (City Clerk's Office: Zack Beck)

Presenter: Zack Beck, City Clerk

a) Resolution No. 2023-111

15. DESIGNATION OF VOTING DELEGATE – LEAGUE OF CALIFORNIA CITIES CONFERENCE

Request the City Council designate the Voting Delegate and up to two alternates for the League of California Cities Annual Conference in Sacramento, California on September 20-22, 2023.

Staff Recommendation: Approval (City Clerk's Office: Zack Beck)

Presenter: Zack Beck, City Clerk

FUTURE AGENDA

16. FUTURE AGENDA

The purpose of this item is to identify issues presently known to staff or which members of the City Council wish to place on an upcoming City Council agenda. Council comment on these future agenda items is limited by California Government Code Section 54954.2 to clarifying questions, brief announcements, or requests for factual information in connection with an item when it is discussed.

Staff Recommendation: None (City Clerk's Office: Zack Beck)

COUNCILMEMBERS SUBCOMMITTEE REPORTS AND OTHER REPORTS



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CITY MANAGER'S WEEKLY ACTIVITY REPORT

The most current information from the City Manager regarding Economic Development, Capital Improvement Projects, Public Safety, and Community Development. This report is also available on the City's website, www.escondido.org.

ORAL COMMUNICATIONS

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ADJOURNMENT

UPCOMING MEETING SCHEDULE

Wednesday, August 23, 2023	4:00 & 5:00 PM	Regular Meeting, <i>Council Chambers</i>
Wednesday, September 13, 2023	4:00 & 5:00 PM	Regular Meeting, <i>Council Chambers</i>

SUCCESSOR AGENCY

Members of the Escondido City Council also sit as the Successor Agency to the Community Development Commission, Escondido Joint Powers Financing Authority, and the Mobilehome Rent Review Board.



AFFIDAVITS
OF
ITEM
POSTING –

- **CONDITIONAL USE PERMIT AND GRADING EXEMPTION – PHG20-0033/PL22-0216**
- **DOWNTOWN SPECIFIC PLAN TEXT AMENDMENT – PL23-0109**



CITY OF ESCONDIDO
OFFICE OF THE CITY CLERK
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
760-839-4617

NOTICE OF PUBLIC HEARING

The Escondido City Council will hold a public hearing in the City Council Chambers, Escondido City Hall, 201 N. Broadway, Escondido, California at **5 p.m.** on **Wednesday, August 16, 2023**, to consider the item listed below:

CONDITIONAL USE PERMIT AND GRADING EXEMPTION – PHG20-0033/PL22-0216

REQUEST: An appeal of a Planning Commission decision to deny a Conditional Use Permit and Grading Exemption for a Licensed Residential Care Facility (Assisted Living Facility). The proposal includes the construction of three new buildings for a total square footage of 21,190 square feet, and on-site improvements including, but not limited to, landscaping, off-street parking, trash enclosures, and other associated site improvements. The request also includes a Grading Exemption to construct slopes up to 10'-0" in height within 50' of a property line, and for cut slopes steeper than 2:1.

PROPERTY SIZE AND LOCATION: The approximately 4.2-acre project site is located on the south side of Reed Road, between South Citrus Avenue and Moody Drive, and has frontage on both Reed Road and Wedgewood Avenue. The project site is addressed at 2525 Reed Road (APN: 231-230-42-00), and is located in an urbanized area and surrounded by residential development on all sides.

ENVIRONMENTAL STATUS: The Project is categorically exempt pursuant to California Environmental Quality Act Guidelines section 15332 (In-Fill Development Projects).

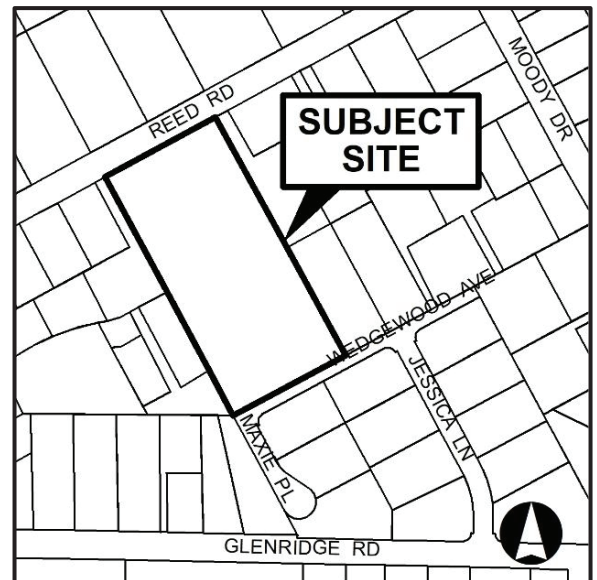
If you challenge this item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

PLANNING COMMISSION ACTION: On April 25, 2023, the Planning Commission voted 3-2 to deny the project.

PUBLIC COMMENT: To submit comments in writing, please do so at the following link: <https://escondido-ca.municodemeetings.com/bc-citycouncil/webform/public-comment>. All comments received from the public will be made a part of the record of the meeting.

The City of Escondido remains committed to complying with the Americans with Disabilities Act (ADA). Qualified individuals with disabilities who wish to participate in City programs, services, or activities and who need accommodations are invited to present their requests to the City by filing out a Request for Accommodations Form or an Inclusion Support Request Form for Minors, or by calling 760-839-4643, preferably at least 72 hours in advance of the event or activity. Forms can be found on the City's website at: <https://www.escondido.org/americans-with-disabilities-act>.

The staff report will be available on the City's website at <https://escondido-ca.municodemeetings.com/> on or around Thursday, August 10, 2023. **For additional information, please contact Ivan Flores, Associate Planner, at 760-839-4529, or via email at iflores@escondido.org, and refer to Case Nos. PHG20-0033/PL22-0216.**



DocuSigned by:

Zack Beck

A58535D0BDC1430...

Zack Beck, City Clerk

DATED: August 3, 2023

Published in THE ESCONDIDO TIMES-ADVOCATE:
08/03/23



CITY OF ESCONDIDO
OFFICE OF THE CITY CLERK
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
760-839-4617

NOTICE OF PUBLIC HEARING

The Escondido City Council will hold a public hearing in the City Council Chambers, Escondido City Hall, 201 N. Broadway, Escondido, California at 5 p.m. on **Wednesday, August 16, 2023**, to consider the item listed below:

DOWNTOWN SPECIFIC PLAN TEXT AMENDMENT – PL23-0109

REQUEST: A request to amend the land use matrix of permitted and conditional uses (Figure II-2) of the Downtown Specific Plan (DSP). The amendment consists of a text amendment to allow "All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing" as a permitted use within the Creekside Neighborhood (CN) district of the DSP. The text amendment will only affect properties located on the south side of Pennsylvania Avenue.

PROPERTY SIZE AND LOCATION: The project is located on the south side of East Pennsylvania Avenue, and is bounded by North Juniper Street to the west and North Ivy Street to the east, and is addressed as 341 E. Pennsylvania Avenue (APN: 229-392-17-00).

ENVIRONMENTAL STATUS: The Project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines section 15061 ("Common Sense Exemption") as it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

If you challenge this item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

PLANNING COMMISSION ACTION: On July 11, 2023, the Planning Commission voted 4-0 to recommend approval (Commissioners Barba, Fitzgerald, and Mecaro absent).

PREVIOUS CITY COUNCIL ACTION: On March 22, 2023, the City Council authorized the processing of the Downtown Specific Plan Text Amendment, and a reduction in fees.

PUBLIC COMMENT: To submit comments in writing, please do so at the following link: <https://escondido-ca.municodemeetings.com/bc-citycouncil/webform/public-comment>. All comments received from the public will be made a part of the record of the meeting.

The City of Escondido remains committed to complying with the Americans with Disabilities Act (ADA). Qualified individuals with disabilities who wish to participate in City programs, services, or activities and who need accommodations are invited to present their requests to the City by filing out a Request for Accommodations Form or an Inclusion Support Request Form for Minors, or by calling 760-839-4643, preferably at least 72 hours in advance of the event or activity. Forms can be found on the City's website at: <https://www.escondido.org/americans-with-disabilities-act>.

The staff report will be available on the City's website at <https://escondido-ca.municodemeetings.com/> on or around Thursday, August 10, 2023. For additional information, please contact Ivan Flores, Associate Planner, at 760-839-4529, or via email at iflores@escondido.org, and refer to Case No. PL23-0109.

Zack Beck, City Clerk
DATED: August 3, 2023

Published in THE ESCONDIDO TIMES-ADVOCATE:
08/03/23





STAFF REPORT

August 16, 2023
File Number 0400-40

SUBJECT

APPROVAL OF WARRANT REGISTER (COUNCIL)

DEPARTMENT

Finance

RECOMMENDATION

Request approval for City Council and Housing Successor Agency warrant numbers:

375634 – 375871 dated July 26, 2023

Staff Recommendation: Approval (Finance Department: Christina Holmes)

FISCAL ANALYSIS

The total amount of the warrants for the following periods are as follows:

July 20 – July 26, 2023, is \$5,475,533.27

BACKGROUND

The Escondido Municipal Code Section 10-49 states that warrants or checks may be issued and paid prior to audit by the City Council, provided the warrants or checks are certified and approved by the Director of Finance as conforming to the current budget. These warrants or checks must then be ratified and approved by the City Council at the next regular Council meeting.



Consent Item No. 3

August 16, 2023

APPROVAL
OF
MINUTES



STAFF REPORT

ITEM NO. 4

SUBJECT

WAIVER OF READING OF ORDINANCES AND RESOLUTIONS –

ANALYSIS

The City Council/RRB has adopted a policy that is sufficient to read the title of ordinances at the time of introduction and adoption, and that reading of the full text of ordinances and the full text and title of resolutions may be waived.

Approval of this consent calendar item allows the City Council/RRB to waive the reading of the full text and title of all resolutions agendized in the Consent Calendar, as well as the full text of all ordinances agendized in either the Introduction and Adoption of Ordinances or General Items sections. **This particular consent calendar item requires unanimous approval of the City Council/RRB.**

Upon approval of this item as part of the Consent Calendar, all resolutions included in the motion and second to approve the Consent Calendar shall be approved. Those resolutions removed from the Consent Calendar and considered under separate action may also be approved without the reading of the full text and title of the resolutions.

Also, upon the approval of this item, the Mayor will read the titles of all ordinances included in the Introduction and Adoption of Ordinances section. After reading of the ordinance titles, the City Council/RRB may introduce and/or adopt all the ordinances in one motion and second.

RECOMMENDATION

Staff recommends that the City Council/RRB approve the waiving of reading of the text of all ordinances and the text and title of all resolutions included in this agenda. Unanimous approval of the City Council/RRB is required.

Respectfully Submitted,

Zack Beck
City Clerk



STAFF REPORT

August 16, 2023
File Number 0600-95

SUBJECT

NOTICE OF COMPLETION FOR THE W 7TH AVENUE AND S BROADWAY WATER MAIN REPLACEMENT PROJECT

DEPARTMENT

Utilities Department, Construction and Engineering Division

RECOMMENDATION

Request the City Council adopt Resolution No. 2023-99, authorizing the Deputy City Manager / Director of Utilities to file a Notice of Completion for the W 7th Avenue and S Broadway Water Main Replacement Project (“Project”).

Staff Recommendation: Approval (Utilities: Christopher W. McKinney, Deputy City Manager / Director of Utilities)

Presenter: Angela Morrow, Deputy Director of Utilities

FISCAL ANALYSIS

The Project was completed for \$3,415,169.06.

PREVIOUS ACTION

On December 1, 2021, the City Council: 1) adopted Resolution No. 2021-159, authorizing the Mayor and City Clerk to execute a Public Improvement Agreement in the amount of \$2,985,960 with S.C. Valley Engineering, Inc., the lowest responsive and responsible bidder, for construction of the Project; and 2) approved a budget adjustment in the amount of \$3,000,000.

On December 7, 2022, the City Council adopted Resolution No. 2022-175, authorizing change orders to the Public Improvement Agreement with S.C. Valley Engineering, Inc., in the amount of \$478,596.00, bringing the maximum total contract value to \$3,464,556.00 for the Project.

BACKGROUND

The City of Escondido’s (“City’s”) existing water mains in West 7th Avenue and in South Broadway were constructed in the early 1950’s and needed replacement. In September 2019, a portion of the existing 12-inch water main failed in West 7th Avenue between Quince Street and Centre City Parkway. City crews repaired the damaged portion of the water main. The W 7th Avenue and S Broadway Project replaced



CITY *of* ESCONDIDO

STAFF REPORT

approximately 5,500 lineal feet of existing 10-inch and 12-inch cast iron water pipeline with 12-inch PVC pipeline; replaced the existing water services, water meters, and fire hydrants associated with this water main; and was completed in July of 2023. The Project was located along West 7th Avenue from Quince Street to South Broadway, and in South Broadway from West 7th Avenue to West Valley Parkway.

RESOLUTIONS

- A. Resolution No. 2023-99

RESOLUTION NO. 2023-99

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AUTHORIZING THE DEPUTY CITY MANAGER / DIRECTOR OF UTILITIES TO FILE A NOTICE OF COMPLETION FOR THE W 7TH AVENUE AND S BROADWAY WATER MAIN REPLACEMENT PROJECT

WHEREAS, on December 1, 2021 the City Council adopted Resolution No. 2021-159, authorizing execution of the Public Improvement Agreement for the construction of the W 7th Avenue and S Broadway Water Main Replacement Project in the amount of \$2,985,960.00; and

WHEREAS, on December 1, 2021, the City Council approved a budget adjustment in the amount of \$3,000,000; and

WHEREAS, on December 7, 2022, the City Council authorized change orders to the Public Improvement Agreement with S.C. Valley Engineering, Inc., in the amount of \$478,596 for the W 7th Avenue and S Broadway Water Main Replacement Project; and

WHEREAS, the construction of the W 7th Avenue and S Broadway Water Main Replacement Project was completed by S.C. Valley Engineering, Inc. in July of 2023; and

WHEREAS, the City of Escondido staff and the Deputy City Manger / Director of Utilities deems the filing of the Notice of Completion to be valid at this time; and

WHEREAS, this City Council desires at this time and deems it to be in the best public interest to approve the filing of the Notice of Completion.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.

2. That the City Council accepts the recommendation of the Deputy City Manager / Director of Utilities.

3. That the City Council approves the request to file a Notice of Completion for the W 7th Avenue and S Broadway Water Main Replacement Project.



STAFF REPORT

August 16, 2023

File Number 0600-10; A-3470

SUBJECT

AWARD CONTRACT FOR CONSTRUCTION OF THE WASHINGTON PARK FUTSAL SOCCER COURTS

DEPARTMENT

Development Services, Engineering Division

RECOMMENDATION

Request the City Council adopt Resolution No. 2023-88 awarding a construction contract to Ace Electric, Inc., determined to be the lowest responsible and responsive bidder, approving the budget adjustment request, and authorizing the Mayor on behalf of the City, to execute a Public Improvement Agreement in the amount of \$334,000 for construction of the Washington Park Futsal Soccer Courts (“Project”).

Staff Recommendation: Approval (Andrew Firestine, Development Services Director, and Julie Procopio, City Engineer)

Presenter: Julie Procopio, City Engineer

FISCAL ANALYSIS

On March 11, 2021, the American Rescue Plan Act of 2021 (“ARPA”) was signed into law, which contains \$1.9 trillion in overall national spending to support COVID relief and economic recovery efforts. ARPA provides a \$350 billion allocation of Coronavirus State & Local Fiscal Recovery Funds (“CSLFRF”) to state, local, territorial, and tribal governments. Within the guidelines of ARPA, the City of Escondido was categorized as a Metropolitan City and was allocated \$38,808,509. Funds may only be used for project costs initiated on or after March 3, 2021, and must qualify within one of five eligible expenditure categories. All funds must be encumbered by December 31, 2024 and fully spent by December 31, 2026.

Based on the initial guidelines, in September 2021, the City Council approved a list of projects totaling \$22,808,509. On April 20, 2022, staff provided an update on the ARPA funded projects and requested City Council feedback for allocating remaining funds. Based on the direction received, on December 7, 2022, the City Council allocated \$215,000 to fund two Futsal soccer courts at Washington Park.

The original ARPA budget for this project was \$215,000, which is insufficient to complete construction of the Washington Park Futsal Soccer Courts. Therefore, staff is recommending that the City Council approve a budget adjustment in the amount of \$200,000 to the Project from the ARPA available balance. This budget adjustment is required to fund the construction agreement with Ace Electric, Inc., and to cover



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STAFF REPORT

the costs of potential change orders, staff time, and inspection costs. The balance of available ARPA funds not currently allocated to projects is \$7,586,771.

BACKGROUND

This Project will convert two tennis courts at Washington Park to two Futsal soccer courts, including re-surfacing and restriping the courts, installing galvanized steel perimeter fences, goals, benches and lockable storage. In addition, the Project will install a new sidewalk to provide accessibility to the courts.

In January 2021, a survey was conducted to determine how and what amenities people use at Washington Park, as well as to gauge the level of support for converting two tennis courts to Futsal courts. There was an overwhelmingly positive response for the installation of futsal courts. Of the 412 responses, 391 were in support of converting the courts. Additionally, two public outreach meetings were held in June 2022 to gather input on potential court conversions primarily related to pickleball and tennis. These meetings were also used as an opportunity to remind the public of the previously approved Futsal soccer courts that will be built at Washington Park.

In early 2022, Street Soccer USA (SSUSA) and the San Diego Loyal, a San Diego based professional soccer team, reached out to City staff regarding a partnership. The SSUSA is committed to programming at Washington Park in the form of providing trained, paid coaches, oversight, management, scheduling of programming, and ongoing general upkeep of the site. In addition to programmed time, the futsal courts will be open to general community use for pick-up soccer play on a first come, first served basis. If demand is significant, staff will evaluate a free reservation system.

On July 27, 2023, one sealed bid was received in response to the advertised request for bids for the Project. Ace Electric, Inc. submitted a bid in the amount of \$334,000. The bid received was 9.5% higher than the Engineer’s Estimate of \$305,000. Staff evaluated other similar projects recently bid and found that the bid was reasonable and that it is unlikely that re-bidding the Project will result in lower bid prices.

Staff recommends that the bid submitted by Ace Electric, Inc. be considered a responsive and responsible bid, and that the contract be awarded in the amount of \$334,000. Ace Electric, Inc. has successfully completed several similar projects, including recent installations at three schools and one local City. The manufacturer considers Ace Electric, Inc. to be well qualified to complete the project.

RESOLUTIONS

- a. Resolution No. 2023-88
- b. Resolution No. 2023-88 – Exhibit “A” – Public Improvement Agreement
- c. Budget Adjustment Form



BUDGET ADJUSTMENT REQUEST

Department:	Community Services	For Finance Use Only BA # _____ Fiscal Year _____
Department Contact:	Danielle Lopez	
City Council Meeting Date: <i>(attach staff report)</i>	08/16/2023	

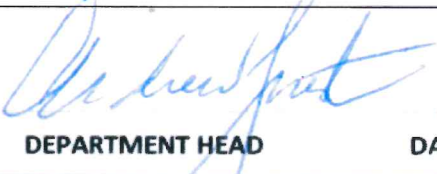
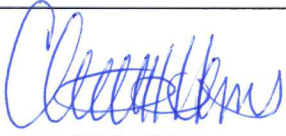
EXPLANATION OF REQUEST

To increase the current budget of \$215,000 to \$415,000 for the Futsal courts at Washington Park from the ARPA Available Fund Balance.

BUDGET ADJUSTMENT INFORMATION

Project/Account Description	Account Number	Amount of Increase	Amount of Decrease
Futsal at Washington Park	ARPO22-470	200,000	
ARPA Fund Balance			200,000

APPROVALS

 DEPARTMENT HEAD	8/9/23 DATE	 FINANCE	8/9/23 DATE
--------------------------------------------------------------------------------------------------------	----------------	-------------------------------------------------------------------------------------------------	----------------

RESOLUTION NO. 2023-88

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT TO ACE ELECTRIC, INC., APPROVING A BUDGET ADJUSTMENT, AND AUTHORIZING THE MAYOR TO EXECUTE, ON BEHALF OF THE CITY, A PUBLIC IMPROVEMENT AGREEMENT FOR THE WASHINGTON PARK FUTSAL SOCCER COURTS

WHEREAS, the City Council has allocated American Rescue Plan Act (ARPA) funds for the Washington Park Futsal Soccer Courts (“Project”); and

WHEREAS, a notice inviting bids for said improvements was duly published; and

WHEREAS, pursuant to said notice, one sealed bid for the Project was opened and evaluated on July 27, 2023; and

WHEREAS, there are insufficient funds in the project account to complete the project; therefore, a budget adjustment of \$200,000 from the ARPA fund balance is required to fund all construction costs; and

WHEREAS, Ace Electric, Inc. was determined to be a responsive and responsible bidder; and

WHEREAS, the City Council desires at this time and deems it to be in the best public interest to award this contract to Ace Electric, Inc. in the amount of \$334,000;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the Finance Director is authorized to execute a budget adjustment of \$200,000 from the ARPA fund balance to the project account as shown in the attached Budget Adjustment Request.
3. That the Mayor is authorized to execute, on behalf of the City, a Public Improvement

Agreement with Ace Electric, Inc., in a substantially similar form to that which is attached and incorporated to this Resolution as Exhibit "A", and subject to final approval as to form by the City Attorney.



CITY OF ESCONDIDO
PUBLIC IMPROVEMENT AGREEMENT

This Public Improvement Agreement (“Agreement”) is made and entered into as of the last signature date set forth below (“Effective Date”),

Between: CITY OF ESCONDIDO
a California municipal corporation
201 N. Broadway
Escondido, CA 92025
Attn: Danielle Lopez
760-839-6269

And: Ace Electric, Inc.
“a California corporation”
PO Box 601071
San Diego, CA 92160
Attn: Chris Hinds
619-521-9740
("CONTRACTOR").

(The CITY and CONTRACTOR each may be referred to herein as a “Party” and collectively as the “Parties.”)

WHEREAS, the Parties desire to enter into this Agreement for the performance of work relating to the **WASHINGTON PARK FUTSAL COURTS**, occurring on property located at 501 N. Rose Street, Escondido, CA 92027 and having assessor’s parcel numbers of 230-141-20, as further described herein.

NOW, THEREFORE, in consideration of the mutual covenants, promises, terms, and conditions set forth herein, and the mutual benefits derived therefrom, the Parties hereby agree as follows:

1. Project Documents. The Notice Inviting Sealed Bids/Notice to Contractors, Instructions to Bidders, Bid Form, Designation of Subcontractors, Workers' Compensation Certificate, Change Orders, Shop Drawing Transmittals, Information Required of CONTRACTOR, Non-collusion Affidavit, Insurance Certificates, Guarantees, General Conditions, Supplementary General Conditions, Special Conditions, Plans, Drawings, Specifications, the Agreement, and all modifications, addenda, and amendments thereto (“Project Documents”) are incorporated herein by this reference as if fully set forth herein. The Project Documents are complementary, and what is called for by any one shall be as binding as if called for by all.
2. Description and Performance of Work. CONTRACTOR shall furnish all work described in the Project Documents (“Work”). All Work to be performed and materials to be furnished shall be completed in a good workmanlike manner, free from defects, in strict accordance with the plans, drawings, specifications, and requirements set forth in the Project Documents and all provisions of this Agreement.

3. Compensation. In exchange for CONTRACTOR's completion of the Work, the CITY shall pay, and CONTRACTOR shall accept in full, an amount not to exceed the sum of \$334,000 ("Contract Price"). CONTRACTOR shall be compensated only for performance of the Work described in this Agreement. No compensation shall be provided for any other work or services without the CITY's prior written consent.
4. Term and Time of Performance. CONTRACTOR shall commence work within one week from the CITY's notice to proceed. CONTRACTOR shall diligently perform and complete the Work with professional quality and technical accuracy within **20 Working Days**. Extension of terms or time of performance shall be subject to the CITY's sole discretion.
5. Time Is of the Essence. If the Work is not completed by the Completion Date, it is understood that the CITY will suffer damage. It being impractical and infeasible to determine the amount of actual damage, in accordance with Government Code section 53069.85, the Parties agree that CONTRACTOR shall pay to the CITY as fixed and liquidated damages, and not as a penalty, the sum of **\$500** per day for each calendar day of delay until the Work is completed and accepted ("Liquidated Damages Amount"). The Liquidated Damages Amount shall be deducted from any payments due to, or that become due to, CONTRACTOR. CONTRACTOR and CONTRACTOR'S surety shall be liable for the Liquidated Damages Amount.
6. Insurance Requirements.
 - a. CONTRACTOR shall procure and maintain, at its own cost, during the entire term of this Agreement, insurance against claims for injuries to persons or damages to property that may arise from or in connection with the performance of the Work, and the results of such Work, by CONTRACTOR, its agents, representatives, employees, or subcontractors. Insurance coverage shall be at least as broad as the following:
 - (1) *Commercial General Liability.* Insurance Services Office ("ISO") Form CG 0001 11188 covering Commercial General Liability on an "occurrence" basis, including products and completed operations, property damage, bodily injury (including emotional distress), sickness, disease, or death of any person other than the CONTRACTOR's employees, and personal and advertising injury, and damages because of injury or destruction of tangible property, including loss of use resulting there from, with limits no less than \$3,000,000 combined single limit coverage per occurrence for bodily injury and property damage; or, if a general aggregate limit is applicable, either: (i) the general aggregate limit shall specifically apply to the project identified in the bid specifications or to the location of such project which is the subject of these bid specifications with coverage to be no less than \$3,000,000, or (ii) the general aggregate shall be at least \$3,000,000 combined single limit coverage per occurrence for bodily injury and property damage.
 - (2) *Automobile Liability.* ISO Form CA 00 01 covering any auto (Code 1), or if CONTRACTOR has no owned autos, hired (Code 8) and non-owned autos (Code 9), including damages because of bodily injury, death of a person, or property damage arising out of the ownership, maintenance, or use of a motor vehicle, all mobile equipment, and vehicles moving under CONTRACTOR's control and engaged in the Work, with limits no less than \$3,000,000 combined single limit per accident for bodily injury and property damage.
 - (3) *Workers' Compensation.* Workers' Compensation as required by the State of California, with Statutory Limits, and Employer's Liability Insurance with limits of no less than \$1,000,000 per accident for bodily injury or disease.
 - (4) The CONTRACTOR, during the progress of the Work and until final acceptance of the Work by CITY, shall maintain Builder's Risk/"All Risk," course-of-construction insurance satisfactory to CITY issued on a completed value basis of all WORK pursuant to this Agreement. Coverage is to

provide extended coverage and insurance against vandalism, theft, malicious mischief, perils of fire, sprinkler leakage, civil authority, sonic boom, earthquake, collapse, flood, wind, lightning, smoke, riot, debris removal (including demolition), and reasonable compensation for the Engineer's services and expenses required as a result of such insured loss upon the Work, including completed Work and Work in progress to the full insurable value thereof. Such insurance shall include the CITY and the City Engineer as an additional named insured and any other person with an insurable interest designated.

- (5) If CONTRACTOR maintains broader coverage and/or higher limits than the minimums otherwise required by this Agreement, the CITY requires and shall be entitled to the broader coverage and/or the higher limits maintained by CONTRACTOR.
- b. Each insurance policy required by this Agreement must be acceptable to the City Attorney and shall meet the following requirements:
- (1) *Compliance with General Condition Requirements.* Insurance coverage shall comply with and meet all requirements set forth in Article 5.2 of General Conditions
 - (2) *Acceptability of Insurers.* Insurance coverage must be provided by an insurer authorized to conduct business in the state of California with a current A.M. Best's rating of no less than A-:VII, or as approved by the CITY.
 - (3) *Additional Insured Status.* Both the Commercial General Liability and the Automobile Liability policies must name the CITY (including its officials, officers, agents, employees, and volunteers) specifically as an additional insured under the policy on a separate endorsement page. The Commercial General Liability additional insured endorsement shall be at least as broad as ISO Form CG 20 10 11 85, or if not available, through the addition of *both* CG 20 10, CG 20 26, CG 20 33, or CG 20 38, *and* CG 20 37 if a later edition is used. The Automobile Liability additional insured endorsement shall be at least as broad as ISO Form CA 20 01.
 - (4) *Primary Coverage.* CONTRACTOR's insurance coverage shall be primary coverage at least as broad as ISO CG 20 01 04 13 with respect to the CITY, its officials, officers, agents, employees, and volunteers. Any insurance or self-insurance maintained by the CITY, its officials, officers, agents, employees, or volunteers shall be in excess of CONTRACTOR's insurance and shall not contribute with it.
 - (5) *Notice of Cancellation.* Each insurance policy shall provide that coverage shall not be canceled, except with prior written notice to the CITY.
 - (6) *Subcontractors.* If applicable, CONTRACTOR shall require and verify that all subcontractors maintain insurance meeting all the requirements stated within this Agreement, and CONTRACTOR shall ensure that the CITY (including its officials, officers, agents, employees, and volunteers) is an additional insured on any insurance required from a subcontractor.
 - (7) *Waiver of Subrogation.* CONTRACTOR hereby grants to the CITY a waiver of any right to subrogation that any insurer of CONTRACTOR may acquire against the CITY by virtue of the payment of any loss under such insurance. CONTRACTOR agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this subsection shall apply regardless of whether or not the CITY has received a waiver of subrogation endorsement from the insurer. Any Workers' Compensation policy required by this Agreement shall be endorsed with a waiver of subrogation in favor of the CITY for all work performed by the CONTRACTOR, its agents, representatives, employees and subcontractors.

- (8) *Self-Insurance.* CONTRACTOR may, with the CITY's prior written consent, fulfill some or all of the insurance requirements contained in this Agreement under a plan of self-insurance. CONTRACTOR shall only be permitted to utilize such self-insurance if, in the opinion of the CITY, CONTRACTOR's (i) net worth and (ii) reserves for payment of claims of liability against CONTRACTOR are sufficient to adequately compensate for the lack of other insurance coverage required by this Agreement. CONTRACTOR's utilization of self-insurance shall not in any way limit the liabilities assumed by CONTRACTOR pursuant to this Agreement.
- (9) *Self-Insured Retentions.* Self-insured retentions must be declared to and approved by the CITY.
- c. *Verification of Coverage.* At the time CONTRACTOR executes this Agreement, CONTRACTOR shall provide the CITY with original Certificates of Insurance including all required amendatory endorsements (or copies of the applicable policy language effecting the insurance coverage required by this Agreement), which shall meet all requirements under this Agreement. The CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by this Agreement, at any time.
- d. *Special Risks or Circumstances.* The CITY reserves the right, at any point during the term of this Agreement, to modify the insurance requirements in this Agreement, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.
- e. *No Limitation of Obligations.* The insurance requirements within this Agreement, including the types and limits of insurance coverage CONTRACTOR must maintain, and any approval of such insurance by the CITY, are not intended to and shall not in any manner limit or qualify the liabilities and obligations otherwise assumed by CONTRACTOR pursuant to this Agreement, including but not limited to any provisions within this Agreement concerning indemnification.
- f. *Compliance.* Failure to comply with any of the insurance requirements in this Agreement, including but not limited to a lapse in any required insurance coverage during the term of this Agreement, shall be a material breach of this Agreement. Compliance by CONTRACTOR with the requirement to carry insurance and furnish certificates, policies, Additional Insured Endorsement and Declarations Page evidencing the same shall not relieve the CONTRACTOR from liability assumed under any provision of this Agreement, including, without limitation, the obligation to defend and indemnify the CITY and the City Engineer. In the event that CONTRACTOR fails to comply with any insurance requirement set forth in this Agreement, in addition to any other remedies the CITY may have, the CITY may, at its sole option, (i) immediately terminate this Agreement; or (ii) order CONTRACTOR to stop Work under this Agreement and/or withhold any payment that becomes due to CONTRACTOR until CONTRACTOR demonstrates compliance with the insurance requirements in this Agreement.

7. Indemnification, Duty to Defend, and Hold Harmless.

- a. CONTRACTOR (including CONTRACTOR's agents, employees, and subcontractors, if any) shall indemnify, defend, and hold harmless the CITY, its officials, officers, agents, employees, and volunteers from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, in law or equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with CONTRACTOR's (including CONTRACTOR's agents, employees, and subcontractors, if any) Work pursuant to this Agreement or its failure to comply with any of its obligations contained herein, except where caused by the active negligence, sole negligence, or willful misconduct of the CITY.

- b. CONTRACTOR (including CONTRACTOR's agents, employees, and subcontractors, if any) shall indemnify, defend, and hold harmless the CITY, its officials, officers, agents, employees, and volunteers from and against any and all Claims caused by, arising under, or resulting from any violation, or claim of violation, of the San Diego Municipal Storm Water Permit (Order No. R9-2013-0001, as amended) of the California Regional Water Quality Control Board, Region 9, San Diego, that the CITY might suffer, incur, or become subject to by reason of, or occurring as a result of, or allegedly caused by, any Work performed pursuant to this Agreement.
- c. All terms and provisions within this Section 7 shall survive the termination of this Agreement.

8. Bonds.

- a. CONTRACTOR shall furnish and deliver to the CITY, simultaneously with the execution of this Agreement, the following surety bonds:
 - (1) *Faithful Performance Bond.* CONTRACTOR shall furnish to the CITY a surety bond in an amount equal to the Contract Price as security for faithful performance of this Agreement.
 - (2) *Labor and Materials Bond.* CONTRACTOR shall furnish to the CITY a surety bond in an amount equal to the Contract Price as security for payment to persons performing labor and furnishing materials in connection with the Project.
- b. All bonds furnished to the CITY pursuant to this Agreement shall be in the form set forth herein and approved by the City Attorney.
- c. All bonds shall be executed by sureties that are named in the current list of "Companies Holding Certificates of Authority as Acceptable Sureties on Federal bonds and as Acceptable Reinsuring Companies" as published in Circular 570 (amended) by the Audit Staff, Bureau of Government Financial Operations, U.S. Treasury Department. All bonds signed by an agent must be accompanied by a certified copy of such agent's authority to act.
- d. If the surety on any bond furnished by the CONTRACTOR is declared bankrupt or becomes insolvent or its right to do business is terminated in any state where any part of the Work is located, the CONTRACTOR shall, within seven days thereafter, substitute another bond and surety, which must be acceptable to the CITY. No portion of the Work shall be performed without bonds, in a form and issued by a surety acceptable to the City. If one or more of such bonds shall, at any time, not be in full force and effect, CONTRACTOR shall immediately cease performance of the Work until CONTRACTOR is in full compliance with the bonding requirements of this Agreement and California law. All delays and costs incurred or resulting from such occurrence shall be to the exclusive account of CONTRACTOR. Failure of the CONTRACTOR to promptly cure any failure to have the necessary bonds in full force and effect shall be grounds for immediate termination of this Agreement.
- e. All bonds shall be obtained from surety companies that are duly licensed or authorized in the State of California. Such surety companies shall also meet any additional requirements and qualifications as may be provided in the Supplementary General Conditions.

9. Substitution of Securities. This Agreement is subject to California Public Contract Code section 22300, which permits the substitution of securities for any monies withheld by the CITY to ensure performance of this Agreement. At the request and expense of the CONTRACTOR, securities equivalent to the amount withheld shall be deposited with the CITY, or with a state- or federally-chartered bank in this state as the escrow agent, who shall then pay those moneys to CONTRACTOR. Upon satisfactory completion and acceptance of the Work, such securities shall be returned to the CONTRACTOR.

10. Contractor Default. In the event CONTRACTOR, for a period of 10 calendar days after receipt of written demand from the CITY to do so (“Cure Period”), fails to furnish tools, equipment, or labor in the necessary quantity or quality required by this Agreement, or fails to prosecute the Work and all parts thereof in a diligent and workmanlike manner, or after commencing to do so within the Cure Period, fails to continue to do so, then the CITY in its sole discretion may exclude the CONTRACTOR from the Property, or any portion thereof, and take exclusive possession of the Property or any portion thereof, together with all material and equipment thereon, and may complete the Work or any portion of the Work, either by (i) furnishing the necessary tools, equipment, labor, or materials; or (ii) letting the unfinished portion of the work, or any portion thereof, to another contractor; or (iii) demanding the surety hire another contractor; or (iv) any combination of such methods. The CITY’s procuring of the completion of the Work, or the portion of the Work taken over by the CITY, shall be a charge against the CONTRACTOR and may be deducted from any money due or to become due to CONTRACTOR from the CITY, or the CONTRACTOR shall pay the CITY the amount of such charge, or the portion thereof unsatisfied. The sureties provided for under this Agreement shall become liable for payment if CONTRACTOR fails to pay in full any such cost incurred by the CITY. The permissible charges for any such procurement of the completion of the Work include actual costs and fees incurred to third party individuals and entities (including but not limited to consultants, attorneys, inspectors, and designers) and actual costs incurred by the CITY for the increased dedication of time of the CITY’s employees to the Project.
11. Other Legal Requirements Incorporated. Each and every provision of law and clause required by law to be inserted in this Agreement or its attachments shall be deemed to be inserted herein, and this Agreement shall be read and enforced as though such law or clause were included herein, and if through mistake or otherwise any such provision is not inserted, or is not currently inserted, then upon application of either Party, the Agreement shall forthwith be physically amended to make such insertion or correction, without further changes to the remainder of the Agreement.
12. Merger Clause. This Agreement, together with its attachments or other documents described or incorporated herein, if any, constitutes the entire agreement and understanding of the CITY and CONTRACTOR concerning the subject of this Agreement and supersedes and replaces all prior negotiations, understandings, or proposed agreements, written or oral, except as otherwise provided herein. In the event of any conflict between the provisions of this Agreement and any of its attachments or related documents, if any, the provisions of this Agreement shall prevail.
13. Attorney’s Fees and Costs. In any action to enforce the terms and conditions of this Agreement, the prevailing Party shall be entitled to reasonable attorney’s fees and costs.
14. Independent Contractor. CONTRACTOR is an independent contractor, and no agency or employment relationship is created by the execution of this Agreement.
15. Amendment. This Agreement shall not be amended except in a writing signed by the CITY and CONTRACTOR, and pursuant to action of the Escondido City Council.
16. Anti-Waiver Clause. None of the provisions of this Agreement shall be waived by the CITY because of previous failure to insist upon strict performance, nor shall any provision be waived because any other provision has been waived by the CITY, in whole or in part.
17. Severability. This Agreement shall be performed and shall be enforceable to the full extent allowed by applicable law, and the illegality, invalidity, waiver, or unenforceability of any provision of this Agreement shall not affect the legality, validity, applicability, or enforceability of the remaining provisions of this Agreement.

18. Governing Law. This Agreement and all rights and obligations arising out of it shall be construed in accordance with the laws of the State of California. Venue for any action arising from this Agreement shall be conducted only in the state or federal courts of San Diego County, California.
19. Counterparts. This Agreement may be executed on separate counterparts, each of which shall be an original and all of which taken together shall constitute one and the same instrument. Delivery of an executed signature page of this Agreement by electronic means, including an attachment to an email, shall be effective as delivery of an executed original. The Agreement on file with the City is the copy of the Agreement that shall take precedence if any differences exist between or among copies or counterparts of the Agreement.
20. Provisions Cumulative. The foregoing provisions are cumulative to, in addition to, and not in limitation of any other rights or remedies available to the CITY.
21. Business License. CONTRACTOR shall obtain a City of Escondido Business License prior to execution of this Agreement and shall maintain such Business License throughout the term of this Agreement.
22. Compliance with Laws, Permits, and Licenses. CONTRACTOR shall keep itself informed of and comply with all applicable federal, state, and local laws, statutes, codes, ordinances, regulations, rules, and other legal requirements in effect during the term of this Agreement. This shall include, but shall not be limited to, all California Labor Code laws regarding payment of prevailing wages and all OSHA regulations. CONTRACTOR shall obtain any and all permits, licenses, and other authorizations necessary to perform the work under this Agreement. Neither the CITY, nor any elected or appointed boards, officers, officials, employees, or agents of the CITY, shall be liable, at law or in equity, as a result of any failure of CONTRACTOR to comply with this section.
23. Prevailing Wages and Department of Industrial Relations Compliance. Pursuant to California Labor Code section 1770 et seq., CONTRACTOR agrees that a prevailing rate and scale of wages, in accordance with applicable laws, shall be paid in performing this Agreement. CONTRACTOR shall keep itself informed of and comply with all applicable federal, state, and local laws, statutes, codes, ordinances, regulations, rules, and other legal requirements pertaining to the payment of prevailing wages, including but not limited to the keeping of certified payroll records, overtime pay, employment of apprentices, and workers' compensation coverage, as further set forth in the General Conditions. CONTRACTOR shall file the required workers' compensation certificate before commencing work under this Agreement. This project is subject to compliance monitoring and enforcement by the Department of Industrial Relations. CONTRACTOR shall post all job site notices required by regulation. CONTRACTOR, as well as any subcontractors, shall be registered pursuant to California Labor Code section 1725.5 to be qualified to bid on, be listed in a bid proposal (subject to the requirements of Public Contract Code section 4104), or engage in the performance of any public works contract subject to the requirements of Division 2, Part 7, Chapter 1 of the California Labor Code. Neither the CITY, nor any elected or appointed boards, officers, officials, employees, or agents of the CITY, shall be liable, at law or in equity, as a result of any failure of CONTRACTOR to comply with this section.
24. Immigration Reform and Control Act of 1986. CONTRACTOR shall keep itself informed of and shall comply with the Immigration Reform and Control Act of 1986 ("IRCA"). CONTRACTOR represents and warrants that all of its employees and the employees of any subcontractor retained by CONTRACTOR who perform any portion of the Work under this Agreement are and will be authorized to perform the Work in full compliance with the IRCA. CONTRACTOR affirms that as a licensed contractor and employer in the State of California, all new employees must produce proof of eligibility to work in the United States within the first three days of employment and that only employees legally eligible to work in the United States will perform the Work. CONTRACTOR agrees to comply with the IRCA before commencing any portion of the Work, and continuously throughout the performance of the Work and the term of this Agreement.

25. Effective Date. Unless a different date is provided in this Agreement, the effective date of this Agreement shall be the latest date of execution set forth by the names of the signatories below
26. Federal Grant Funds. The Parties acknowledge that American Rescue Plan Act (“ARPA”) funds awarded by the U.S. Department of Treasury (“Federal Awarding Agency”) will be used to fund all or a portion of this Agreement. The CONTRACTOR shall comply with all applicable federal laws, regulations, executive orders, policies, procedures, and directives relating to such federal funds.
27. Equal Employment Opportunity. During the performance of this Agreement, the CONTRACTOR agrees as follows:
- a. The CONTRACTOR will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, gender identity, or national origin. The CONTRACTOR will take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, sexual orientation, gender identity, or national origin. Such action shall include, but not be limited to the following: Employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided setting forth the provisions of this nondiscrimination clause.
 - b. The CONTRACTOR will, in all solicitations or advertisements for employees placed by or on behalf of the contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, sexual orientation, gender identity, or national origin.
 - c. The CONTRACTOR will not discharge or in any other manner discriminate against any employee or applicant for employment because such employee or applicant has inquired about, discussed, or disclosed the compensation of the employee or applicant or another employee or applicant. This provision shall not apply to instances in which an employee who has access to the compensation information of other employees or applicants as a part of such employee's essential job functions discloses the compensation of such other employees or applicants to individuals who do not otherwise have access to such information, unless such disclosure is in response to a formal complaint or charge, in furtherance of an investigation, proceeding, hearing, or action, including an investigation conducted by the employer, or is consistent with the contractor's legal duty to furnish information.
 - d. The CONTRACTOR will send to each labor union or representative of workers with which he has a collective bargaining agreement or other contract or understanding, a notice to be provided advising the said labor union or workers' representatives of the contractor's commitments under this section, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.
 - e. The CONTRACTOR will comply with all provisions of Executive Order 11246 of September 24, 1965, and of the rules, regulations, and relevant orders of the Secretary of Labor.
 - f. The CONTRACTOR will furnish all information and reports required by Executive Order 11246 of September 24, 1965, and by rules, regulations, and orders of the Secretary of Labor, or pursuant thereto, and will permit access to his books, records, and accounts by the administering agency and the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations, and orders.
 - g. In the event of the CONTRACTOR’s noncompliance with the nondiscrimination clauses of this Agreement or with any of the said rules, regulations, or orders, this Agreement may be canceled, terminated, or suspended in whole or in part and the contractor may be declared ineligible for further Government contracts or federally assisted construction contracts in accordance with procedures authorized in Executive Order 11246 of September 24, 1965, and such other sanctions may be imposed and remedies invoked as provided in Executive Order 11246 of September 24, 1965, or by rule, regulation, or order of the Secretary of Labor, or as otherwise provided by law.
 - h. The CONTRACTOR will include the portion of the sentence immediately preceding subpart a of this section and the provisions of subparts a through h in every subcontract or purchase order unless exempted

by rules, regulations, or orders of the Secretary of Labor issued pursuant to section 204 of Executive Order 11246 of September 24, 1965, so that such provisions will be binding upon each subcontractor or vendor. The contractor will take such action with respect to any subcontract or purchase order as the administering agency may direct as a means of enforcing such provisions, including sanctions for noncompliance:

Provided, however, that in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction by the administering agency, the contractor may request the United States to enter into such litigation to protect the interests of the United States.

The applicant further agrees that it will be bound by the above equal opportunity clause with respect to its own employment practices when it participates in federally assisted construction work: *Provided*, That if the applicant so participating is a State or local government, the above equal opportunity clause is not applicable to any agency, instrumentality or subdivision of such government which does not participate in work on or under the contract.

The applicant agrees that it will assist and cooperate actively with the administering agency and the Secretary of Labor in obtaining the compliance of contractors and subcontractors with the equal opportunity clause and the rules, regulations, and relevant orders of the Secretary of Labor, that it will furnish the administering agency and the Secretary of Labor such information as they may require for the supervision of such compliance, and that it will otherwise assist the administering agency in the discharge of the agency's primary responsibility for securing compliance.

The applicant further agrees that it will refrain from entering into any contract or contract modification subject to Executive Order 11246 of September 24, 1965, with a contractor debarred from, or who has not demonstrated eligibility for, Government contracts and federally assisted construction contracts pursuant to the Executive Order and will carry out such sanctions and penalties for violation of the equal opportunity clause as may be imposed upon contractors and subcontractors by the administering agency or the Secretary of Labor pursuant to Part II, Subpart D of the Executive Order. In addition, the applicant agrees that if it fails or refuses to comply with these undertakings, the administering agency may take any or all of the following actions: Cancel, terminate, or suspend in whole or in part this grant (contract, loan, insurance, guarantee); refrain from extending any further assistance to the applicant under the program with respect to which the failure or refund occurred until satisfactory assurance of future compliance has been received from such applicant; and refer the case to the Department of Justice for appropriate legal proceedings.

28. Compliance with the Davis-Bacon Act.

- a. All transactions regarding this Agreement shall be done in compliance with the Davis-Bacon Act (40 U.S.C. 3141- 3144, and 3146-3148) and the requirements of 29 C.F.R. pt. 5 as may be applicable. The CONTRACTOR shall comply with 40 U.S.C. 3141-3144, and 3146-3148 and the requirements of 29 C.F.R. pt. 5 as applicable.
- b. Contractors are required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor.
- c. Additionally, contractors are required to pay wages not less than once a week

29. Compliance with the Copeland "Anti-Kickback" Act.

- a. Contractor. The CONTRACTOR shall comply with 18 U.S.C. § 874, 40 U.S.C. § 3145, and the requirements of 29 C.F.R. pt. 3 as may be applicable, which are incorporated by reference into this Agreement.
- b. Subcontracts. The CONTRACTOR and any subcontractors shall insert in any subcontracts the clause above and such other clauses as FEMA may by appropriate instructions require, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all of these contract clauses.

c. Breach. A breach of the contract clauses above may be grounds for termination of the contract, and for debarment as a contractor and subcontractor as provided in 29 C.F.R. § 5.12.

30. Clean Air Act. CONTRACTOR agrees to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act, as amended, 42 U.S.C. § 7401 et seq. CONTRACTOR agrees to report each violation to the CITY and understands and agrees that the CITY will, in turn, report each violation as required to assure notification to the Federal Awarding Agency, and the appropriate Environmental Protection Agency Regional Office. CONTRACTOR agrees to include these requirements in each subcontract exceeding \$150,000 financed in whole or in part with federal assistance provided by the Federal Awarding Agency.

31. Federal Water Pollution Control Act. CONTRACTOR agrees to comply with all applicable standards, orders, or regulations issued pursuant to the Federal Water Pollution Control Act, as amended, 33 U.S.C. 1251 et seq. CONTRACTOR agrees to report each violation to the CITY and understands and agrees that the CITY will, in turn, report each violation as required to assure notification to the Federal Awarding Agency, and the appropriate Environmental Protection Agency Regional Office. CONTRACTOR agrees to include these requirements in each subcontract exceeding \$150,000 financed in whole or in part with federal assistance provided by the Federal Awarding Agency.

32. Debarment and Suspension.

- a. This Agreement is a covered transaction for purposes of 2 C.F.R. Part 180 and 2 C.F.R. Part 3000. As such, CONTRACTOR is required to verify that none of CONTRACTOR's principals (defined at 2 C.F.R. § 180.995) or its affiliates (defined at 2 C.F.R. § 180.905) are excluded (defined at 2 C.F.R. § 180.940) or disqualified (defined at 2 C.F.R. § 180.935).
- b. CONTRACTOR shall comply with 2 C.F.R. Part 180, Subpart C and 2 C.F.R. Part 3000, Subpart C, and must include a requirement to comply with these regulations in any lower tier covered transaction CONTRACTOR enters into.
- c. This certification is a material representation of fact relied upon by the CITY. If it is later determined that CONTRACTOR did not comply with 2 C.F.R. Part 180, Subpart C and 2 C.F.R. Part 3000, Subpart C, in addition to remedies available to the CITY, the federal government may pursue available remedies, including but not limited to suspension and/or debarment.
- d. The bidder or proposer agrees to comply with the requirements of 2 C.F.R. Part 180, Subpart C and 2 C.F.R. Part 3000, Subpart C while this offer is valid and throughout the period of any contract that may arise from this offer. The bidder or proposer further agrees to include a provision requiring such compliance in its lower tier covered transactions.

33. Byrd Anti-Lobbying Amendment, 31 U.S.C. § 1352 (as amended).

- a. Prior to entering into this Agreement, CONTRACTOR shall file the required certification pursuant to the Byrd Anti-Lobbying Amendment (31 U.S.C. § 1352 (as amended)). Each tier certifies to the tier above that it will not and has not used federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any federal contract, grant, or any other award covered by 31 U.S.C. § 1352. Each tier shall also disclose any lobbying with non-federal funds that takes place in connection with obtaining any federal award. Such disclosures are forwarded from tier to tier up to the recipient who in turn will forward the certification(s) to the Federal Awarding Agency.
- b. Required Certification. At the time CONTRACTOR executes this Agreement, CONTRACTOR shall provide the CITY with a completed Appendix A, 44 C.F.R. Part 18 – Certification Regarding Lobbying. A blank Appendix A, 44 C.F.R. Part 18 – Certification Regarding Lobbying is attached to this Agreement as Attachment "A" and incorporated herein by this reference.

34. Procurement of Recovered Materials. In the performance of this Agreement, CONTRACTOR shall make maximum use of products containing recovered materials that are EPA-designated items unless the product cannot be acquired (1) competitively within a timeframe providing for compliance with the Agreement's performance schedule, (2) meeting Agreement performance requirements, or (3) at a reasonable price. Information about this requirement, along with the list of EPA-designated items, is available at EPA's Comprehensive Procurement Guidelines website, located at <https://www.epa.gov/smm/comprehensive-procurement-guideline-cpg-program>. CONTRACTOR shall also comply with all other applicable requirements of Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act.
35. Access to Records. The following access to records requirements apply to this Agreement: (1) CONTRACTOR agrees to provide the CITY, the Federal Awarding Agency Administrator, the Comptroller General of the United States, or any of their authorized representatives access to any books, documents, papers, and records of CONTRACTOR that are directly pertinent to this Agreement for the purposes of making audits, examinations, excerpts, and transcriptions. CONTRACTOR agrees to permit any of the foregoing parties to reproduce by any means whatsoever or to copy excerpts and transcriptions as reasonably needed. CONTRACTOR agrees to provide the Federal Awarding Agency Administrator or their authorized representatives access to construction or other work sites pertaining to the work being completed under this Agreement. In compliance with the Disaster Recovery Act of 2018, the CITY and CONTRACTOR acknowledge and agree that no language in this Agreement is intended to prohibit audits or internal reviews by the Federal Awarding Agency Administrator or the Comptroller General of the United States.
36. Federal Awarding Agency Seal, Logo, and Flags. CONTRACTOR shall not use the Federal Awarding Agency seal(s), logos, crests, or reproductions of flags or likenesses of Federal Awarding Agency officials without specific Federal Awarding Agency pre-approval.
37. No Obligation by Federal Government. The United States Federal Government is not a party to this Agreement and is not subject to any obligations or Agreement to the CITY, CONTRACTOR, or any other party pertaining to any matter resulting from this Agreement.
38. Program Fraud and False or Fraudulent Statements or Related Acts. CONTRACTOR acknowledges that 31 U.S.C. Chapter 38 (Administrative Remedies for False Claims and Statements) applies to CONTRACTOR's actions pertaining to this Agreement.
39. Effective Date. Unless a different date is provided in this Agreement, the effective date of this Agreement shall be the latest date of execution set forth by the names of the signatories below.

(SIGNATURE PAGE FOLLOWS)

IN WITNESS WHEREOF, this Agreement is executed by the Parties or their duly authorized representatives as of the Effective Date:

CITY OF ESCONDIDO

Date: _____

Dane White, Mayor

ACE ELECTRIC, INC.

Date: _____

Signature

Name & Title (please print)

Contractor's License No.

Tax ID/Social Security No.

APPROVED AS TO FORM:

OFFICE OF THE CITY ATTORNEY
MICHAEL R. MCGUINNESS, City Attorney

BY: _____

THE CITY OF ESCONDIDO DOES NOT DISCRIMINATE AGAINST QUALIFIED PERSONS WITH DISABILITIES.

ATTACHMENT "A"

Appendix A, 44 C.F.R. Part 18 – Certification Regarding Lobbying

Certification for Contracts, Grants, Loans, and Cooperative Agreements

The undersigned certifies, to the best of his or her knowledge and belief, that:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of an agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.
2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.
3. The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly. This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

The CONTRACTOR, _____, certifies or affirms the truthfulness and accuracy of each statement of its certification and disclosure, if any. In addition, the Contractor understands and agrees that the provisions of 31 U.S.C. Chap. 38, Administrative Remedies for False Claims and Statements, apply to this certification and disclosure, if any.

Signature of Contractor's Authorized Official

Name and Title of Contractor's Authorized Official

Date



STAFF REPORT

August 16, 2023
File Number 0470-45

SUBJECT

REJECT ALL BIDS FOR THE 2023 STREET MAINTENANCE PROJECT-PHASE 2

DEPARTMENT

Development Services, Engineering Division

RECOMMENDATION

Request the City Council adopt Resolution No. 2023-106, rejecting all bids for the 2023 Street Rehabilitation and Maintenance Project – Phase 2 (“Project”), and authorizing staff to re-bid the project.

Staff Recommendation: Approval (Development Services: Julie Procopio, City Engineer)

Presenter: Marissa Padilla, Associate Engineer

FISCAL ANALYSIS

The Capital Improvement Program budget includes funds for the Annual Street Maintenance Program Project that includes Gas Tax, General Street Project, TransNet, and Road Maintenance and Rehabilitation Account (“RMRA”) funds for this Project.

PREVIOUS ACTION

On November 16, 2022, the City Council awarded a contract for Phase 1 of this Project that included replacement of damaged concrete improvements such as curb and gutter, sidewalk, pedestrian ramps, and cross gutters.

BACKGROUND

On August 3, 2023, four sealed bids were received in response to the advertised request for bids for the Project. The totals for the base bid and three additive alternate items are listed below:

ATP General Engineering	\$7,818,696.60
Eagle Paving Company, Inc.	\$8,017,213.00
TC Construction Company	\$8,634,106.52
Hazard Construction Company	\$9,318,164.80

After evaluating submitted bids, staff recommends that all bids be rejected and the Project be re-bid. The bids of the two lowest bidders failed to list a licensed land surveyor as required in the bid documents. In



CITY of ESCONDIDO

STAFF REPORT

addition, the overall bid amount is \$1-million over the Engineers estimate. Further review of the bid revealed pricing on major bid items increased from 18 to 83% from one year ago.

Staff recommends that the City Council reject all bids and authorize staff to rebid the Project. Staff intends to review bids in more depth and reduce the scope so that bids fall within the available budget for this project.

RESOLUTION

- a. Resolution No. 2023-106

RESOLUTION NO. 2023-106

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AUTHORIZING THE REJECTION OF ALL BIDS FOR 2023 STREET REHABILITATION AND MAINTENANCE PROJECT PHASE 2 AND AUTHORIZING STAFF TO RE-BID

WHEREAS, the City Council has allocated funding in the adopted Capital Improvement Program Budget for the City's Annual Street Management Program; and

WHEREAS, a notice inviting bids for said improvements was duly published; and

WHEREAS, pursuant to said notice, four sealed bids for the project were opened and evaluated on August 3, 2023; and

WHEREAS, the two lowest bidders were found to be non-responsive per the requirements of the bid documents; and

WHEREAS, the City Engineer has recommended the rejection of all formal bids.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California as follows:

1. That the above recitations are true.
2. That the City Council accepts the recommendation of the City Engineer to reject all bids for the Project, and to re-advertise the Project for bid.



STAFF REPORT

August 16, 2023

File Number 0600-10; A-3471-A; A-3471-B

SUBJECT

ON-CALL BUILDING SERVICES CONTRACT AWARDS

DEPARTMENT

Development Services

RECOMMENDATION

1. Request the City Council adopt Resolution No. 2023-108, authorizing the Mayor to execute, on behalf of the City, a Consulting Agreement with Interwest Consulting Group, Inc., a Colorado corporation, for three-years with one (1) option to extend the Consulting Agreement for one (1) year;
2. Request the City Council adopt Resolution No. 2023-109, authorizing the Mayor to execute, on behalf of the City, a Consulting Agreement with NV5, Inc., a California corporation, for three-years with one (1) option to extend the Consulting Agreement for one (1) year; and
3. Approve a budget adjustment request in the amount of \$529,430 for professional services for dedicated building inspection services for the Palomar Heights project.

Staff Recommendation: Approval (Development Services: Andrew Firestine, Director of Development Services)

Presenter: Andrew Firestine, Director of Development Services

FISCAL ANALYSIS

The City of Escondido ("City") collects fees on the submission of building permit applications that are calculated from an established fee table based on the valuation of a proposed construction project. The fees are intended to provide a cost recovery for the review of a building permit application. For FY 2023/24, the Development Services Department has budgeted \$585,000 for third-party plan check services based on projected submittals and anticipated revenue for the upcoming year. It is expected that there is sufficient funding to provide these services over the fiscal year. The contract award is split between two contractors with each contractor receiving 50 percent of the annual budget authorization.

In addition to the plan check services, the budget adjustment request allocates a total of \$529,430 in building plan check and permit fees received from the Palomar Heights project to an account to support dedicated building inspection services for the project over a 24-month period of time. This award is to NV5.



CITY of ESCONDIDO

STAFF REPORT

For Interwest, the total contract authorization over the term of the contract is \$877,500 (3 years x \$292,500/year). The total contract authorization for NV5 is \$1,406,930 (3 years x \$292,500/year + \$529,430).

PREVIOUS ACTION

The City has previously contracted with EsGil, LLC following an RFP process conducted in 2020. EsGil was consolidated into Interwest in 2020. The last extension from this contract ended in March 2023 and the City has continued working with Interwest on a month-to-month basis. The City released a Request for Proposals (RFP) for on-call development services on April 6, 2023, including: 1) building permit plan check review services and building permit inspections; 2) on-call environmental services; and 3) on-call staffing in support of planning and engineering land development functions.

BACKGROUND

The City's Development Services Department ("Department") integrates all land development planning, engineering, and building decisions in one department to streamline services to the public and the construction industry. The Department is responsible for all plan check review and inspections of commercial and residential construction projects; preparation and peer-review of environmental documents and technical studies pursuant to the California Environmental Quality Act ("CEQA") and other environmental regulations; and review and analysis of planning and land development engineering applications, land alteration, review and approval of tentative and final tract maps and parcel maps, street vacations/dedications, lot line adjustment/parcel map waivers, and related documents for compliance with the California State Subdivision Map Act.

The Department's services are critical to ensuring construction projects within the City are processed in a safe, efficient, and legally compliant manner. Contracted services are an integral part of the performance of the Development Services Department and in particular the Building Division. The Building Division is neither staffed to a level to review all of the plan checks that are performed by the City nor does it possess the certifications necessary to perform structural reviews or to conduct certain inspections. For the 2022 calendar year, the total building permit valuation was over \$122 million and roughly 450 plan checks were referred to Interwest for review. This support enables the City to uphold its review times and to provide timely service to applicants.

The City received a total of eight proposals directed toward building permit plan check review services and building permit inspections. The proposals were reviewed by the Director of Development Services and the Building Official and scored against seven criteria:

- Ability to Provide Services
- Experience of Team and Availability
- Project Approach and Customer Service



CITY of ESCONDIDO

STAFF REPORT

- Turnaround Times and Review Timeframes
- Competitiveness of Fee Structure
- Use of Electronic Plan Review Software and Technology
- References

The criteria were set to evaluate not only the experience of the firms providing third-party plan check review services and inspections but their capacity to serve the City and ability to meet the City's service expectations. The RFP emphasized the need for excellent customer service delivery and the responses were evaluated for this and internal quality controls to ensure that the City is receiving consistent performance from its third-party consultants and that applicants are receiving an appropriate level of review. With the City's commitment to implement ProjectDox, the ability of a consultant to seamlessly integrate into the City's electronic plan review system was a key part of the review.

Following this review, four proposals emerged as the most responsive proposals to the RFP and those firms were invited to participate in an interview with the Director of Development Services and the Building Official. Each firm was given a set of five supplemental questions to identify more specifically their: 1) quality control processes; 2) experience with ProjectDox; 3) ability to perform on-call inspection services and dedicated inspection services for the Palomar Heights project; 4) transition plan; and 5) fee structure. Two firms were identified as being able to most directly serve the City's needs in the Building Division, Interwest and NV5.

Interwest is the City's incumbent service provider and, as EsGil, has been a longstanding contractor with the City. Interwest has consistently met the City's turnaround times and has the capacity to continue to serve the City. They have demonstrated a commitment to the City to perform reviews through ProjectDox, which creates workflow efficiencies for City staff and added value for applicants. Their plan check review fees were also the lowest of all of the firms at 50 percent of the plan review fees charged by the City. The new contract with Interwest provides a continuity of service for the City.

NV5 has a San Diego based office with more than 300 staff. They currently are contracted by the Water Division of the Escondido Water Utilities Department and serve multiple other public agencies in San Diego County. NV5 has also included HR Green as a subconsultant, which provides additional reach back support for the Building Division. NV5 has demonstrated that they have the capacity to perform both building plan check review services and to provide dedicated building inspections for the Palomar Heights project. They also demonstrated a robust quality assurance/quality check process through their interview as well as a commitment to using ProjectDox. Their plan check review fees are 70 percent of the plan review fees charged by the City. The industry standard ranges between 65 and 75 percent.

NV5's hourly rate for dedicated building inspections range between \$130 and \$170. Multiple building permits for Palomar Heights have been issued to date. Staff does not have the capacity or bandwidth to perform next day building inspections for Palomar Heights while meeting the same expectations for other building permits across the City, especially where Greystar commences vertical construction on multiple



CITY of ESCONDIDO

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buildings simultaneously. The contract award for NV5 includes dedicated building inspection services for the Palomar Heights project, paid for out of the City's share of the building plan check and permit fees received from the project. This creates a staff augmentation that allows the City to be responsive to the needs of the Palomar Heights project while continuing to meet service expectations for all other inspection requests.

RESOLUTIONS

- a. Resolution No. 2023-108
- b. Resolution No. 2023-109

ATTACHMENTS

- a. Budget Adjustment Request

RESOLUTION NO. 2023-108

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AUTHORIZING THE MAYOR TO EXECUTE, ON BEHALF OF THE CITY, A CONSULTING AGREEMENT FOR THE ON-CALL BUILDING SERVICES WITH INTERWEST CONSULTING GROUP, INC.

WHEREAS, the City of Escondido (“City”) desires to engage the services of a consultant to provide building permit plan check review services and building permit inspections for three years with an option to extend for one additional year; and

WHEREAS, the City issued a request for proposal for on-call development services; and

WHEREAS, proposals from eight firms were opened on May 1, 2023; and

WHEREAS, the evaluation process determined that the proposal of Interwest Consulting Group, Inc. is in the best interests of the City; and

WHEREAS, the Director of Development Services has recommended the execution of the Agreement with Interwest Consulting Group, Inc. for professional services for on-call development services, including building permit plan check review services and building permit inspections; and

WHEREAS, this City Council desires at this time and deems it to be in the best public interest to approve said Agreement in an amount not to exceed \$877,500.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the City Council accepts the recommendation of the Director of Development

Services.

3. That the City Council authorizes the Mayor to execute, on behalf of the City, the Consulting Agreement with Interwest Consulting Group, Inc. for building permit plan check review services and building permit inspections, which is attached hereto as Exhibit "A" and is incorporated by this reference, subject to final approval as to form by the City Attorney's Office.



CITY OF ESCONDIDO
CONSULTING AGREEMENT

This Consulting Agreement ("Agreement") is made and entered into as of the last signature date set forth below ("Effective Date"),

Between: CITY OF ESCONDIDO
a California municipal corporation
201 N. Broadway
Escondido, CA 92025
Attn: Douglas Moody, Building Official
760-839-6369
("CITY")

And: Interwest Consulting Group, Inc.
a Colorado corporation
9320 Chesapeake Drive, Suite 208
San Diego, CA 92123
Attn: Paul Meschino, President
619-372-9962
pmeschino@interwestgrp.com
("CONSULTANT").

(The CITY and CONSULTANT each may be referred to herein as a "Party" and collectively as the "Parties.")

WHEREAS, the CITY has determined that it is in the CITY's best interest to retain the professional services of a consultant to perform building permit plan check review services and building permit inspections;

WHEREAS, CONSULTANT is considered competent to perform the necessary professional services for the CITY; and

WHEREAS, the CITY and CONSULTANT desire to enter into this Agreement for the performance of the Services described herein.

NOW, THEREFORE, in consideration of the mutual covenants, promises, terms, and conditions set forth herein, and the mutual benefits derived therefrom, the Parties hereby agree as follows:

1. Description of Services. CONSULTANT shall furnish all of the Services described in the Scope of Work, which is attached to this Agreement as Attachment "A" and incorporated herein by this reference ("Services").

2. Compensation. In exchange for CONSULTANT's completion of the Services, the CITY shall pay, and CONSULTANT shall accept in full, a total amount not to exceed the sum of **\$877,500**. Annual compensation for each of the three years during the term of this Agreement shall not exceed the sum of **\$292,500**. CONSULTANT shall be compensated only for performance of the Services described in this Agreement. No compensation shall be provided for any other work or services without the CITY's prior written consent. If this Agreement is amended at any time, additional compensation of CONSULTANT contained in any subsequent amendments shall not exceed a cumulative total of 25% of the maximum payment provided for in this Section 2, unless approved by resolution of the City Council.

3. Performance. CONSULTANT shall faithfully perform the Services in a proficient manner, to the satisfaction of the CITY, and in accord with the terms of this Agreement. CONSULTANT shall be responsible for the professional quality, technical accuracy, timely completion, and coordination of all reports and other information furnished by CONSULTANT pursuant to this Agreement, except that CONSULTANT shall not be responsible for the accuracy of information supplied by the CITY.

4. Personnel. The performance of the Services by certain professionals is significant to the CITY. As such, CONSULTANT shall only assign the persons listed on Attachment "B", attached to this Agreement and incorporated herein by this reference ("Personnel List"), to perform the Services. CONSULTANT shall not add or remove persons from the Personnel List without the City's prior written consent. If CONSULTANT has not designated a person to perform a component of the Services, CONSULTANT shall not assign such component of the Services to a person without obtaining the City's prior written consent. CONSULTANT shall not subcontract any component of the Services without obtaining the City's prior written consent.
 - a. Each individual listed on Attachment "B" must file (i) a Statement of Economic Interests Form 700 ("Form 700") pursuant to the California Political Reform Act of 1974 within 30 days of commencing work pursuant to this Agreement and (ii) a "leaving office" Form 700 within 30 days of concluding work pursuant to this Agreement. If the term of this Agreement extends beyond one year, each individual listed on Attachment "B" must file a Form 700 on an annual basis for each subsequent term year on or before the first of April. The CITY may require each individual listed on Attachment "B" to assist the CITY in completing a Form 805 to identify consultants that make or participate in making governmental decisions and identify the consultants' disclosure requirements. The Clerk's Office will coordinate Form 700 and 805 completion on the CITY's behalf.

5. Termination. The Parties may mutually terminate this Agreement through a writing signed by both Parties. The CITY may terminate this Agreement for any reason upon providing CONSULTANT with 10 days' advance written notice. CONSULTANT agrees to cease all work under this Agreement on or before the effective date of any notice of termination. If the CITY terminates this Agreement due to no fault or failure of performance by CONSULTANT, then CONSULTANT shall be compensated based on the work satisfactorily performed at the time of such termination. In no event shall CONSULTANT be entitled to receive more than the amount that would be paid to CONSULTANT for the full performance of the Services.

6. City Property. All original documents, drawings, electronic media, and other materials prepared by CONSULTANT pursuant to this Agreement immediately become the exclusive property of the CITY, and shall not be used by CONSULTANT for any other purpose without the CITY's prior written consent. For the avoidance of doubt, nothing in this Agreement shall be understood to grant CITY

rights to pre-existing intellectual property of CONSULTANT, including CONSULTANT software and licensed software, or to any improvements thereto.

7. Insurance Requirements.

- a. CONSULTANT shall procure and maintain, at its own cost, during the entire term of this Agreement, insurance against claims for injuries to persons or damages to property that may arise from or in connection with the performance of the Services, and the results of such work, by CONSULTANT, its agents, representatives, employees, or subcontractors. Insurance coverage shall be at least as broad as the following:
 - (1) *Commercial General Liability.* Insurance Services Office ("ISO") Form CG 00 01 covering Commercial General Liability on an "occurrence" basis, including products and completed operations, property damage, bodily injury, and personal & advertising injury, with limits no less than \$2,000,000 per occurrence and \$4,000,000 general aggregate.
 - (2) *Automobile Liability.* ISO Form CA 00 01 covering any auto (Code 1), or if CONSULTANT has no owned autos, hired (Code 8) and non-owned autos (Code 9), with limits no less than \$1,000,000 per accident for bodily injury and property damage, unless waived by the CITY and approved in writing by the CITY's Risk and Safety Division.
 - (3) *Workers' Compensation.* Worker's Compensation as required by the State of California, with Statutory Limits, and Employer's Liability Insurance with limits of no less than \$1,000,000 per accident for bodily injury or disease.
 - (4) *Professional Liability (Errors and Omissions).* Professional Liability (Errors and Omissions) appropriate to CONSULTANT's profession, with limits no less than \$2,000,000 per occurrence or claim and \$2,000,000 aggregate.
 - (5) If CONSULTANT maintains broader coverage and/or higher limits than the minimums otherwise required by this Agreement, the CITY requires and shall be entitled to the broader coverage and/or the higher limits maintained by CONSULTANT.
- b. Each insurance policy required by this Agreement must be acceptable to the City Attorney and shall meet the following requirements:
 - (1) *Acceptability of Insurers.* Insurance coverage must be provided by an insurer authorized to conduct business in the state of California with a current A.M. Best's rating of no less than A-: FSC VII, or as approved by the CITY.
 - (2) *Additional Insured Status.* Both the Commercial General Liability and the Automobile Liability policies must name the CITY (including its officials, officers, agents, employees, and volunteers) specifically as an additional insured under the policy on a separate endorsement page. The Commercial General Liability additional insured endorsement shall be at least as broad as ISO Form CG 20 10 11 85, or if not available, through the addition of *both* CG 20 10, CG 20 26, CG 20 33, or CG 20 38, *and* CG 20 37 if a later edition is used. The Automobile Liability endorsement shall be at least as broad as ISO Form CA 20 01.
 - (3) *Primary Coverage.* Except with respect to Workers' Compensation coverage, CONSULTANT's insurance coverage shall be primary coverage at least as broad as ISO CG 20 01 04 13 with respect to the CITY, its officials, officers, agents, employees, and volunteers. Any insurance or self-insurance maintained by the CITY, its officials, officers, agents, employees, or volunteers shall be in excess of CONSULTANT's insurance and shall not contribute with it.
 - (4) *Notice of Cancellation.* Each insurance policy shall provide that coverage shall not be canceled, except with prior written notice to the CITY.

- (5) *Subcontractors.* If applicable, CONSULTANT shall require and verify that all subcontractors maintain insurance meeting all the requirements stated within this Agreement, and CONSULTANT shall ensure that the CITY (including its officials, officers, agents, employees, and volunteers) is an additional insured on any insurance required from a subcontractor.
 - (6) *Waiver of Subrogation.* CONSULTANT hereby grants to the CITY a waiver of any right to subrogation that any insurer of CONSULTANT may acquire against the CITY by virtue of the payment of any loss under such insurance. CONSULTANT agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this subsection shall apply regardless of whether or not the CITY has received a waiver of subrogation endorsement from the insurer. Any Workers' Compensation policy required by this Agreement shall be endorsed with a waiver of subrogation in favor of the CITY for all work performed by the CONSULTANT, its agents, representatives, employees, and subcontractors.
 - (7) *Self-Insurance.* CONSULTANT may, with the CITY's prior written consent, fulfill some or all of the insurance requirements contained in this Agreement under a plan of self-insurance. CONSULTANT shall only be permitted to utilize such self-insurance if, in the opinion of the CITY, CONSULTANT's (i) net worth and (ii) reserves for payment of claims of liability against CONSULTANT are sufficient to adequately compensate for the lack of other insurance coverage required by this Agreement. CONSULTANT's utilization of self-insurance shall not in any way limit the liabilities assumed by CONSULTANT pursuant to this Agreement.
 - (8) *Self-Insured Retentions.* Self-insured retentions must be declared to and approved by the CITY.
- c. *Verification of Coverage.* At the time CONSULTANT executes this Agreement, CONSULTANT shall provide the CITY with original Certificates of Insurance including all required amendatory endorsements (or copies of the applicable policy language effecting the insurance coverage required by this Agreement), which shall meet all requirements under this Agreement. The CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by this Agreement, at any time.
 - d. *Special Risks or Circumstances.* The CITY reserves the right, at any point during the term of this Agreement, to modify the insurance requirements in this Agreement, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.
 - e. *No Limitation of Obligations.* The insurance requirements in this Agreement, including the types and limits of insurance coverage CONSULTANT must maintain, and any approval of such insurance by the CITY, are not intended to and shall not in any manner limit or qualify the liabilities and obligations otherwise assumed by CONSULTANT pursuant to this Agreement, including but not limited to any provisions in this Agreement concerning indemnification.
 - f. Failure to comply with any of the insurance requirements in this Agreement, including, but not limited to, a lapse in any required insurance coverage during the term of this Agreement, shall be a material breach of this Agreement. In the event that CONSULTANT fails to comply with any such insurance requirements in this Agreement, in addition to any other remedies the CITY may have, the CITY may, at its sole option, (i) immediately terminate this Agreement; or (ii) order CONSULTANT to stop work under this Agreement and/or withhold any payment that becomes due to CONSULTANT until CONSULTANT demonstrates compliance with the insurance requirements in this Agreement.

8. Indemnification, Duty to Defend, and Hold Harmless.
 - a. CONSULTANT (including CONSULTANT's agents, employees, and subcontractors, if any) shall indemnify, defend, and hold harmless the CITY, its officials, officers, agents, employees, and volunteers from and against any and all third party claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, in law or equity, including without limitation the payment of all direct damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature to the extent that they caused by, arising out of, or in connection with CONSULTANT's negligent performance of the Services or its failure to comply with any of its obligations contained in this Agreement, except where caused by the sole or active negligence or willful misconduct of the CITY. Notwithstanding any provision of law to the contrary, CONSULTANT shall have the right to defend and settle any action for which indemnification is sought, provided that it shall not enter into any settlement that requires an admission of wrongdoing by any indemnitee without that indemnitee's approval. CONSULTANT's obligations under this Agreement are contingent upon timely receipt of notice of the claim for which indemnification is sought, such that defense of the claim is not prejudiced, and the reasonable assistance of the indemnitee in connection with the defense of the claim.
 - b. CONSULTANT (including CONSULTANT's agents, employees, and subcontractors, if any) shall indemnify, defend, and hold harmless the CITY, its officials, officers, agents, employees, and volunteers from and against any and all Claims caused by, arising under, or resulting from any violation, or claim of violation, of the San Diego Municipal Storm Water Permit (Order No. R9-2013-0001, as amended) of the California Regional Water Quality Control Board, Region 9, San Diego, that the CITY might suffer, incur, or become subject to by reason of, or occurring as a result of, or allegedly caused by, any work performed pursuant to this Agreement.
 - c. All terms and provisions within this Section 8 shall survive the termination of this Agreement.
9. Anti-Assignment Clause. Because the CITY has relied on the particular skills of CONSULTANT in entering into this Agreement, CONSULTANT shall not assign, delegate, subcontract, or otherwise transfer any duty or right under this Agreement, including as to any portion of the Services, without the CITY's prior written consent, which shall not be unreasonably delayed or withheld. Any purported assignment, delegation, subcontract, or other transfer made without the CITY's consent shall be void and ineffective. Unless CONSULTANT assigns this entire Agreement, including all rights and duties herein, to a third party with the CITY's prior written consent, CONSULTANT shall be the sole payee under this Agreement. Any and all payments made pursuant to the terms of this Agreement are otherwise not assignable.
10. Attorney's Fees and Costs. In any action to enforce the terms and conditions of this Agreement, the prevailing Party shall be entitled to reasonable attorney's fees and costs.
11. Independent Contractor. CONSULTANT is an independent contractor, and no agency or employment relationship is created by the execution of this Agreement.
12. Amendment. This Agreement shall not be amended except in a writing signed by the CITY and CONSULTANT.
13. Merger Clause. This Agreement, together with its attachments or other documents described or incorporated herein, if any, constitutes the entire agreement and understanding of the CITY and CONSULTANT concerning the subject of this Agreement and supersedes and replaces all prior negotiations, understandings, or proposed agreements, written or oral, except as otherwise provided herein. In the event of any conflict between the provisions of this Agreement and any of its attachments or related documents, if any, the provisions of this Agreement shall prevail.

14. Anti-Waiver Clause. None of the provisions of this Agreement shall be waived by the CITY because of previous failure to insist upon strict performance, nor shall any provision be waived because any other provision has been waived by the CITY, in whole or in part.
15. Severability. This Agreement shall be performed and shall be enforceable to the full extent allowed by applicable law, and the illegality, invalidity, waiver, or unenforceability of any provision of this Agreement shall not affect the legality, validity, applicability, or enforceability of the remaining provisions of this Agreement.
16. Governing Law. This Agreement and all rights and obligations arising out of it shall be construed in accordance with the laws of the State of California. Venue for any action arising from this Agreement shall be conducted only in the state or federal courts of San Diego County, California.
17. Counterparts. This Agreement may be executed on separate counterparts, each of which shall be an original and all of which taken together shall constitute one and the same instrument. Delivery of an executed signature page of this Agreement by electronic means, including an attachment to an email, shall be effective as delivery of an executed original. The Agreement on file with the City is the copy of the Agreement that shall take precedence if any differences exist between or among copies or counterparts of the Agreement.
18. Provisions Cumulative. The foregoing provisions are cumulative to, in addition to, and not in limitation of any other rights or remedies available to the CITY.
19. Notice. Any statements, communications, or notices to be provided pursuant to this Agreement shall be sent to the attention of the persons indicated herein, and the CITY and CONSULTANT shall promptly provide the other Party with notice of any changes to such contact information.
20. Business License. CONSULTANT shall obtain a City of Escondido Business License prior to execution of this Agreement and shall maintain such Business License throughout the term of this Agreement.
21. Compliance with Laws, Permits, and Licenses. CONSULTANT shall keep itself informed of and comply with all applicable federal, state, and local laws, statutes, codes, ordinances, regulations, rules, and other legal requirements in effect during the term of this Agreement. CONSULTANT shall obtain any and all permits, licenses, and other authorizations necessary to perform the Services. Neither the CITY, nor any elected or appointed boards, officers, officials, employees, or agents of the CITY, shall be liable, at law or in equity, as a result of any failure of CONSULTANT to comply with this section.
22. Prevailing Wages. If applicable, pursuant to California Labor Code section 1770 et seq., CONSULTANT agrees that a prevailing rate and scale of wages, in accordance with applicable laws, shall be paid in performing this Agreement. CONSULTANT shall keep itself informed of and comply with all applicable federal, state, and local laws, statutes, codes, ordinances, regulations, rules, and other legal requirements pertaining to the payment of prevailing wages. The prevailing rate and scale to be paid shall be the same as the applicable "General Prevailing Wage Determination" approved by the Department of Industrial Relations as of the Effective Date of this Agreement, which are available online at <http://www.dir.ca.gov/oprl/dprevagedetermination.htm> and incorporated into this Agreement by this reference. Neither the CITY, nor any elected or appointed boards, officers, officials, employees, or agents of the CITY, shall be liable, at law or in equity, as a result of any failure of CONSULTANT to comply with this section.

23. Immigration Reform and Control Act of 1986. CONSULTANT shall keep itself informed of and shall comply with the Immigration Reform and Control Act of 1986 ("IRCA"). CONSULTANT represents and warrants that all of its employees and the employees of any subcontractor retained by CONSULTANT who perform any of the Services under this Agreement, are and will be authorized to perform the Services in full compliance with the IRCA. CONSULTANT affirms that as a licensed contractor and employer in the State of California, all new employees must produce proof of eligibility to work in the United States within the first three days of employment and that only employees legally eligible to work in the United States will perform the Services. CONSULTANT agrees to comply with the IRCA before commencing any Services, and continuously throughout the performance of the Services and the term of this Agreement.

24. Effective Date. Unless a different date is provided in this Agreement, the effective date of this Agreement shall be the latest date of execution set forth by the names of the signatories below.

IN WITNESS WHEREOF, this Agreement is executed by the Parties or their duly authorized representatives as of the Effective Date:

CITY OF ESCONDIDO

Date: _____

Dane White, Mayor

Interwest Consulting Group, Inc.

Date: _____

Signature

Name & Title (please print)

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY
MICHAEL R. MCGUINNESS, CITY ATTORNEY

BY: _____

THE CITY OF ESCONDIDO DOES NOT DISCRIMINATE AGAINST QUALIFIED PERSONS WITH DISABILITIES.

ATTACHMENT "A"

Scope of Work

A. General

Interwest Consulting Group, Inc., a Colorado corporation ("Consultant") will provide the City of Escondido, a California municipal corporation ("City") with on-call building permit plan review and field inspection services.

B. Location

Consultant to provide services at various locations within the City of Escondido and at Consultant's office located at 9500 Cesapeake Drive, Suite 208, San Diego, CA 92123. Consultant shall accommodate both hardcopy and electronic plan review services as preferred by the City. Any electronic data entry and application reviews shall be compatible with the City's tracking and databases.

C. Services

Consultant shall provide the services as described in Consultant's proposal, which is attached to this Scope of Work as Exhibit 1 and incorporated herein by this reference. In the event of a conflict between this Agreement (including this Scope of Work) and Exhibit 1, the terms of this Agreement shall prevail. The scope of work shall also include dedicated building inspection services for the Palomar Heights Project.

D. Scheduling

All assigned inspections will be performed within 24 hours of notification from the City if notified by 3 pm the day prior. Long-term inspection assignments will be filled within 48 hours. All assigned building permit plan review services will commence within 24 hours upon receipt of the plans from the City. Notice of assignment will be effected by the City to Consultant via email.

Consultant shall adhere to the following deadlines in providing building permit plan review services:

Assignment Type	Deadline for Submission to the City	
	First Check	Re-Check
Plan Check for minor alterations and additions	5 Working Days	5 Working Days
Plan Check for Solar or ESS systems	3 Working Days	2 Working Days
Fire code compliance review	5 Working Days	5 Working Days
Plan Check for single-tenant dwellings	5 Working Days	5 Working Days
Plan Check for multi-tenant buildings	10 Working Days	5 Working Days
Plan Check for commercial construction under 10,000 square feet	5 Working Days	5 Working Days
Plan Check for commercial construction over 10,000 square feet	10 Working Days	5 Working Days

E. Contract Price and Payment Terms

The total contract price of this Agreement shall not to exceed the sum of **\$877,500**. Annual compensation for each of the three years during the term of this Agreement shall not exceed the sum of **\$292,500**. The contract price includes all labor, materials, equipment, and transportation required to perform the work. Services will be billed as services are performed. Payment will be made after services have been performed and within 30 days of receipt of an invoice for those services.

Consultant shall retain firm pricing and rates as detailed in Exhibit 2 to this Scope of Work, which is attached hereto and incorporated by this reference. Effective July 1 of each year of this Agreement, the hourly rates may increase the lesser of the Consumer Price Index, All Urban Consumers, San Diego-Carlsbad for the 12-month period ending in March or four percent.

F. Term

The term of this Agreement shall be for **three years**, commencing on the Effective Date of the Agreement ("Initial Term"). Thereafter, the City shall have the option to extend the Initial Term of this Agreement by one year.

G. Other

Consultant acknowledges that the term of this Agreement may extend over multiple City fiscal years, and that work and compensation under this Agreement is contingent on the City Council appropriating funding for and authorizing such work and compensation for those fiscal years. This Agreement may be terminated at the end of the fiscal year for which sufficient funding is not appropriated and authorized. The City is not obligated to pay Consultant for any amounts not duly appropriated and authorized by City Council.

The City is experiencing greater than normal growth. As of the Effective Date of this Agreement, more than 40 major development projects are in various stages of review. Given the current growth trends, recent City-staff turn-over, the complexity and timelines of pending projects, and the need to ensure safety of residents and the community, the City has recognized the need for third party assistance in performing plan check services, on-call backup inspection services, and services of a dedicated building inspector for the Palomar Heights Project.

ATTACHMENT "B"

Personnel List

Pursuant to Section 4 of the Agreement, CONSULTANT shall only assign performance of Services to persons listed in Exhibit 1 to this Personnel List, which is attached hereto and incorporated by this reference.

CONSULTANT shall not add or remove persons from this Personnel List without the City's prior written consent. If CONSULTANT has not designated a person to perform a component of the Services, CONSULTANT shall not assign such component of the Services to a person without obtaining the City's prior written consent. CONSULTANT shall not subcontract any component of the Services without obtaining the City's prior written consent.

Acknowledged by:

Date: _____

Paul Meschino, President

EXHIBIT 1 – SCOPE OF WORK

PLAN CHECK AND INSPECTION TECHNICAL CAPABILITIES

Interwest staff possesses significant technical capabilities in all areas of plans examination competence. Plans examiners are licensed engineers and/or ICC-certified or otherwise qualified plans examiners with extensive experience providing plan review services. Plans examination activities are performed under the direction of a California-licensed professional engineer and/or licensed architect.

PERMIT SOFTWARE DATA ENTRY

Our team is familiar with the City’s tracking and databases and will utilize the City’s CityWorks Software for permit tracking, plan check routing, and inspections. We will use OnBase until ProjectDox is implemented for digital plan review.

PERMIT APPLICATION REVIEWS

Interwest understands that permit application review is crucial to the success of the entire building and safety process. Contact with the public at this initial point sets the tone for any additional interaction through the life of a project, whether engaging the homeowner, architect, developer or contractor, or other community members. Delivering excellent customer service, maintaining a smooth flow of documents and plans throughout departments, and tracking and reporting are key elements to furnishing our clients with a first-rate, efficient experience.

ARCHITECTURAL REVIEW

Interwest’s non-structural plans examiners furnish plan review services for various projects, including large residential, commercial, institutional, industrial, retail, and OSHPD 3 medical office buildings. Many of our plans examiners are CASp certified. We are experienced and familiar with the use and application of current editions of the following codes:

- California Building Standards Code
- Americans with Disabilities Act
- Standards for Accessible Design
- ANSI Standards
- NFPA Codes & Standards
- CA Code of Regulations (CCR) Titles 19 and 25
- Jurisdiction-adopted amendments or ordinances

STRUCTURAL REVIEW

Our California-licensed structural engineers have experience designing and reviewing projects, utilizing virtually all building materials, including:

- Wood
- Masonry
- Light Gauge Steel Framing
- Concrete
- Structural Steel
- Cold-Formed Steel Framing
- Straw Bale
- Rammed Earth
- Aluminum

Our engineers have designed or reviewed a variety of structural systems, including:

- Steel Moment frames
- Buckling Restrained Braced
- Frames
- Eccentric Braced Frames
- Concentric Braced Frames
- Concrete Moment Frames

- Wood Shearwall Systems
- Masonry Shearwall Systems
- Concrete Shearwall Systems
- Cantilevered Column Systems
- Various Proprietary Lateral
- Force Resisting Systems

Our structural engineers are experienced with the provisions of model codes, including, but not limited to, current versions of:

- CCR Title 24, Part 2, Volume 2
- AISC 341, 358, and 360
- ASCE 7
- ASCE 41
- AISI Standards for Cold-Formed Steel
- ANSI / AF&PA NDS for Wood
- Framing
- ACI 318
- ACI 530 / TMS 402/602
- CA Historic Building Codes
- CA Existing Building Codes
- NEHRP Requirements

MECHANICAL, PLUMBING AND ELECTRICAL REVIEW

Interwest’s California-licensed mechanical and electrical engineers are well-versed in the application of California Mechanical, Plumbing, Electrical, Energy and Green Building Standards Codes:

- California Building Code
- California Residential Code
- California Plumbing Code
- California Mechanical Code
- California Electrical Code
- Jurisdiction-adopted Amendments or Ordinances

DISABLED ACCESS REVIEW

Interwest staff is thoroughly trained and familiar with CA Building Code Accessibility requirements and ADA compliance regulations. Staff is available for plan review and/or evaluations and consultation. We offer support to municipalities for compliance enforcement and/or developing a transition plan towards compliance and successful partnership with the differently-abled community to address the needs and requirements of both entities. We assist our clients in interpreting various issues relating to access compliance, such as access compliance obligations, transition planning, construction costs, construction phasing, code interpretation, hardship, and code changes.

LEED REVIEW

Developed by the U.S. Green Building Council (USGBC), LEED provides building owners and operators with a framework for identifying and implementing measurable green building design, construction, operations, and maintenance solutions. LEED certification consists of several different rating systems that apply to many building types—commercial as well as residential and measures how well a building performs across many sustainability metrics, including energy savings, water efficiency, CO2 emissions reduction, improved indoor environmental quality, and stewardship of resources and sensitivity to their impacts. Interwest’s plan reviewers are knowledgeable and current with LEED certification requirements.

GREEN BUILDING REVIEW

Our staff is familiar with incorporating CALGreen building criteria into project designs and the resulting potential impact as related to the building codes. In addition, staff members have participated in developing various “green” standards for super adobe, rammed earth, and straw bale construction, to name a few.

BUILDING INSPECTIONS

Building inspectors qualified to perform residential and commercial inspections are available during normal business hours (40 hours/week). Inspectors are flexible and willing to assist during special off-hours by request with advance notice. Assigned staff perform inspection services, as needed, to verify that construction is in conformance with the approved project plans as well as identifying issues of non-compliance with applicable building and fire codes. Our field inspection services include site inspections and writing legible and understandable correction and violation notices and field reports. In addition, we are available to answer in-person or telephone inquiries. Despite the changing nature of municipal codes, we are compliant with all current code requirements. More specifically, we ensure compliance with Title 24 California Building Codes, parts 1, 2, 2.5, 3, 4, 5, 6, 8, 9, 10, 11, and 12, covering structural, fire prevention, life safety, disabled access, energy conservation, green building, plumbing, mechanical and electrical installations in residential, commercial, industrial, existing and historic buildings.

EXHIBIT 2

FEE/COST PROPOSAL

*Consultants fee per plan review is detailed below and is based on the plan review fees collected by the City. Plan Review fees collected by the City shall be the established rate adopted by the City of Escondido City Council.

PLAN CHECK	<i>Consultant Fee as a Percent of Plan Review Fees</i>
Plan Check Review	50% (not to exceed 75% for duration of this contract)
Repeat Plan Check Review	20%
Expedited Plan Check Review	150%
Structural-only Plan Review	30%

BUILDING INSPECTION	<i>Fee</i>
Building Inspection for a 24-month period with an option to extend for an additional 6-month period	Inspector III - \$110.00
	Inspector II - \$100.00
	Inspector I - \$90.00
Additional On-Call Building Inspection	Inspector III - \$110.00
	Inspector II - \$100.00
	Inspector I - \$90.00

BUILDING SAFETY SERVICES	<i>Hourly Rate</i>
Certified Building Official	\$150.00
Licensed Plan Review Engineer (structural, civil, electrical, mechanical)/Architect	\$135.00
Supervising Structural Engineer	\$145.00
Senior Structural Engineer	\$140.00
Senior Plans Examiner	\$130.00
CASp	\$125.00
Inspector III	\$110.00
Inspector II	\$100.00
Inspector I	\$90.00
Permit Technician	\$70.00
Fire Protection Engineer	\$135.00
Senior Fire Plans Examiner	\$125.00
Fire Plans Examiner / Fire Inspector	\$115.00
ICC Building Plans Examiner	\$105.00

Beginning on the 1st anniversary of the Effective Date of the Agreement and annually thereafter, the hourly rates listed below shall be automatically increased based upon the annual increase in the Department of Labor, Bureau of Labor Statistics or successor thereof, Consumer Price Index (United States City Average, All Items (CPI-U), Not Seasonally Adjusted, All Urban Consumer based on the San Diego-Carlsbad referred to herein as the "CPI". Such an increase shall not exceed 4% per annum. The increase will become effective upon publication of the applicable CPI data. If the index decreases, the rates listed shall remain unchanged.

PERSONNEL LIST

BUILDING PERMIT PLAN CHECK AND INSPECTIONS TEAM

The staff listed below are the principal's-in-charge of all worked in accordance with this contract.

Name	Hourly Rate	Type of Work	Email
David Kniff, AIA <i>Project Manager</i>	\$170	Project Management and Backup Plan Review Support	dkniff@esgil.com
Ali Sadre, MS, PE, SE, CASP <i>Structural Plans Examiner</i>	\$150	Structural Plan Review	asadre@esgil.com
Erich Kuchar, MS, PE <i>Plan Review Supervisor</i>	\$135	Plan Review Supervisor and Plans Examiner	ekuchar@esgil.com
Jessica Tuazon, PE <i>Assistant Plan Review Supervisor</i>	\$135	Assistant Plan Review Supervisor and Plans Examiner	jtucson@esgil.com
Gordon Day <i>Inspection Supervisor</i>	\$110	Inspection Supervisor	gday@esgil.com

RESOLUTION NO. 2023-109

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AUTHORIZING THE MAYOR TO EXECUTE, ON BEHALF OF THE CITY, A CONSULTING AGREEMENT FOR THE ON-CALL BUILDING SERVICES WITH NV5, INC.

WHEREAS, the City of Escondido (“City”) desires to engage the services of a consultant to provide building permit plan check review services and building permit inspections for three years with an option to extend for one additional year; and

WHEREAS, the City issued a request for proposal for on-call development services; and

WHEREAS, proposals from eight firms were opened on May 1, 2023; and

WHEREAS, the evaluation process determined that the proposal of NV5, Inc. is in the best interests of the City; and

WHEREAS, the Director of Development Services has recommended the execution of the Agreement with NV5, Inc. for professional services for on-call development services, including building permit plan check review services, building permit inspections, and dedicated building inspection services for the Palomar Heights project; and

WHEREAS, this City Council desires at this time and deems it to be in the best public interest to approve said Agreement in an amount not to exceed \$1,406,930.62.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California:

1. That the above recitations are true.
2. That the City Council accepts the recommendation of the Director of Development

Services.

3. That the City Council authorizes the Mayor to execute, on behalf of the City, the Consulting Agreement with NV5, Inc. for building permit plan check review services, building permit inspections, and dedicated building inspection services for the Palomar Heights project, which is attached hereto as Exhibit "A" and is incorporated by this reference, subject to final approval as to form by the City Attorney's Office.



CITY OF ESCONDIDO
CONSULTING AGREEMENT

This Consulting Agreement ("Agreement") is made and entered into as of the last signature date set forth below ("Effective Date"),

Between: CITY OF ESCONDIDO
a California municipal corporation
201 N. Broadway
Escondido, CA 92025
Attn: Douglas Moody, Building Official
760-839-6369
("CITY")

And: NV5, Inc.
a California corporation
15092 Avenue of Science, Suite 200
San Diego, CA 92128
Attn: Jeffrey M. Cooper, PE
858-385-0500
("CONSULTANT").

(The CITY and CONSULTANT each may be referred to herein as a "Party" and collectively as the "Parties.")

WHEREAS, the CITY has determined that it is in the CITY's best interest to retain the professional services of a consultant to perform building permit plan check review services and building permit inspections;

WHEREAS, CONSULTANT is considered competent to perform the necessary professional services for the CITY; and

WHEREAS, the CITY and CONSULTANT desire to enter into this Agreement for the performance of the Services described herein.

NOW, THEREFORE, in consideration of the mutual covenants, promises, terms, and conditions set forth herein, and the mutual benefits derived therefrom, the Parties hereby agree as follows:

1. Description of Services. CONSULTANT shall furnish all of the Services described in the Scope of Work, which is attached to this Agreement as Attachment "A" and incorporated herein by this reference ("Services").
2. Compensation. In exchange for CONSULTANT's completion of the Services, the CITY shall pay,

and CONSULTANT shall accept in full, a total amount not to exceed the sum of **\$1,406,930**. CONSULTANT shall be compensated only for performance of the Services described in this Agreement. No compensation shall be provided for any other work or services without the CITY's prior written consent. If this Agreement is amended at any time, additional compensation of CONSULTANT contained in any subsequent amendments shall not exceed a cumulative total of 25% of the maximum payment provided for in this Section 2, unless approved by resolution of the City Council.

3. Performance. CONSULTANT shall faithfully perform the Services in a proficient manner, to the satisfaction of the CITY, and in accord with the terms of this Agreement. CONSULTANT shall be responsible for the professional quality, technical accuracy, timely completion, and coordination of all reports and other information furnished by CONSULTANT pursuant to this Agreement, except that CONSULTANT shall not be responsible for the accuracy of information supplied by the CITY.
4. Personnel. The performance of the Services by certain professionals is significant to the CITY. As such, CONSULTANT shall only assign the persons listed on Attachment "B", attached to this Agreement and incorporated herein by this reference ("Personnel List"), to perform the Services. CONSULTANT shall not add or remove persons from the Personnel List without the City's prior written consent. If CONSULTANT has not designated a person to perform a component of the Services, CONSULTANT shall not assign such component of the Services to a person without obtaining the City's prior written consent. CONSULTANT shall not subcontract any component of the Services without obtaining the City's prior written consent.
 - a. Each individual listed on Attachment "B" must file (i) a Statement of Economic Interests Form 700 ("Form 700") pursuant to the California Political Reform Act of 1974 within 30 days of commencing work pursuant to this Agreement and (ii) a "leaving office" Form 700 within 30 days of concluding work pursuant to this Agreement. If the term of this Agreement extends beyond one year, each individual listed on Attachment "B" must file a Form 700 on an annual basis for each subsequent term year on or before the first of April. The CITY may require each individual listed on Attachment "B" to assist the CITY in completing a Form 805 to identify consultants that make or participate in making governmental decisions and identify the consultants' disclosure requirements. The Clerk's Office will coordinate Form 700 and 805 completion on the CITY's behalf.
5. Termination. The Parties may mutually terminate this Agreement through a writing signed by both Parties. The CITY may terminate this Agreement for any reason upon providing CONSULTANT with 10 days' advance written notice. CONSULTANT agrees to cease all work under this Agreement on or before the effective date of any notice of termination. If the CITY terminates this Agreement due to no fault or failure of performance by CONSULTANT, then CONSULTANT shall be compensated based on the work satisfactorily performed at the time of such termination. In no event shall CONSULTANT be entitled to receive more than the amount that would be paid to CONSULTANT for the full performance of the Services.
6. City Property. All original documents, drawings, electronic media, and other materials prepared by CONSULTANT pursuant to this Agreement immediately become the exclusive property of the CITY, and shall not be used by CONSULTANT for any other purpose without the CITY's prior written consent.
7. Insurance Requirements.
 - a. CONSULTANT shall procure and maintain, at its own cost, during the entire term of this Agreement, insurance against claims for injuries to persons or damages to property that may arise from or in connection with the performance of the Services, and the results of such work,

by CONSULTANT, its agents, representatives, employees, or subcontractors. Insurance coverage shall be at least as broad as the following:

- (1) *Commercial General Liability.* Insurance Services Office ("ISO") Form CG 00 01 covering Commercial General Liability on an "occurrence" basis, including products and completed operations, property damage, bodily injury, and personal & advertising injury, with limits no less than \$2,000,000 per occurrence and \$4,000,000 general aggregate.
 - (2) *Automobile Liability.* ISO Form CA 00 01 covering any auto (Code 1), or if CONSULTANT has no owned autos, hired (Code 8) and non-owned autos (Code 9), with limits no less than \$1,000,000 per accident for bodily injury and property damage, unless waived by the CITY and approved in writing by the CITY's Risk and Safety Division.
 - (3) *Workers' Compensation.* Worker's Compensation as required by the State of California, with Statutory Limits, and Employer's Liability Insurance with limits of no less than \$1,000,000 per accident for bodily injury or disease.
 - (4) *Professional Liability (Errors and Omissions).* Professional Liability (Errors and Omissions) appropriate to CONSULTANT's profession, with limits no less than \$2,000,000 per occurrence or claim and \$2,000,000 aggregate.
 - (5) If CONSULTANT maintains broader coverage and/or higher limits than the minimums otherwise required by this Agreement, the CITY requires and shall be entitled to the broader coverage and/or the higher limits maintained by CONSULTANT.
- b. Each insurance policy required by this Agreement must be acceptable to the City Attorney and shall meet the following requirements:
- (1) *Acceptability of Insurers.* Insurance coverage must be provided by an insurer authorized to conduct business in the state of California with a current A.M. Best's rating of no less than A-: FSC VII, or as approved by the CITY.
 - (2) *Additional Insured Status.* Both the Commercial General Liability and the Automobile Liability policies must name the CITY (including its officials, officers, agents, employees, and volunteers) specifically as an additional insured under the policy on a separate endorsement page. The Commercial General Liability additional insured endorsement shall be at least as broad as ISO Form CG 20 10 11 85, or if not available, through the addition of *both* CG 20 10, CG 20 26, CG 20 33, or CG 20 38, *and* CG 20 37 if a later edition is used. The Automobile Liability endorsement shall be at least as broad as ISO Form CA 20 01.
 - (3) *Primary Coverage.* CONSULTANT's insurance coverage shall be primary coverage at least as broad as ISO CG 20 01 04 13 with respect to the CITY, its officials, officers, agents, employees, and volunteers. Any insurance or self-insurance maintained by the CITY, its officials, officers, agents, employees, or volunteers shall be in excess of CONSULTANT's insurance and shall not contribute with it.
 - (4) *Notice of Cancellation.* Each insurance policy shall provide that coverage shall not be canceled, except with prior written notice to the CITY.
 - (5) *Subcontractors.* If applicable, CONSULTANT shall require and verify that all subcontractors maintain insurance meeting all the requirements stated within this Agreement, and CONSULTANT shall ensure that the CITY (including its officials, officers, agents, employees, and volunteers) is an additional insured on any insurance required from a subcontractor.
 - (6) *Waiver of Subrogation.* CONSULTANT hereby grants to the CITY a waiver of any right to subrogation that any insurer of CONSULTANT may acquire against the CITY by virtue of the payment of any loss under such insurance. CONSULTANT agrees to obtain any

endorsement that may be necessary to affect this waiver of subrogation, but this subsection shall apply regardless of whether or not the CITY has received a waiver of subrogation endorsement from the insurer. Any Workers' Compensation policy required by this Agreement shall be endorsed with a waiver of subrogation in favor of the CITY for all work performed by the CONSULTANT, its agents, representatives, employees, and subcontractors.

- (7) *Self-Insurance*. CONSULTANT may, with the CITY's prior written consent, fulfill some or all of the insurance requirements contained in this Agreement under a plan of self-insurance. CONSULTANT shall only be permitted to utilize such self-insurance if, in the opinion of the CITY, CONSULTANT's (i) net worth and (ii) reserves for payment of claims of liability against CONSULTANT are sufficient to adequately compensate for the lack of other insurance coverage required by this Agreement. CONSULTANT's utilization of self-insurance shall not in any way limit the liabilities assumed by CONSULTANT pursuant to this Agreement.
 - (8) *Self-Insured Retentions*. Self-insured retentions must be declared to and approved by the CITY.
- c. *Verification of Coverage*. At the time CONSULTANT executes this Agreement, CONSULTANT shall provide the CITY with original Certificates of Insurance including all required amendatory endorsements (or copies of the applicable policy language effecting the insurance coverage required by this Agreement), which shall meet all requirements under this Agreement. The CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by this Agreement, at any time.
 - d. *Special Risks or Circumstances*. The CITY reserves the right, at any point during the term of this Agreement, to modify the insurance requirements in this Agreement, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.
 - e. *No Limitation of Obligations*. The insurance requirements in this Agreement, including the types and limits of insurance coverage CONSULTANT must maintain, and any approval of such insurance by the CITY, are not intended to and shall not in any manner limit or qualify the liabilities and obligations otherwise assumed by CONSULTANT pursuant to this Agreement, including but not limited to any provisions in this Agreement concerning indemnification.
 - f. Failure to comply with any of the insurance requirements in this Agreement, including, but not limited to, a lapse in any required insurance coverage during the term of this Agreement, shall be a material breach of this Agreement. In the event that CONSULTANT fails to comply with any such insurance requirements in this Agreement, in addition to any other remedies the CITY may have, the CITY may, at its sole option, (i) immediately terminate this Agreement; or (ii) order CONSULTANT to stop work under this Agreement and/or withhold any payment that becomes due to CONSULTANT until CONSULTANT demonstrates compliance with the insurance requirements in this Agreement.

8. Indemnification, Duty to Defend, and Hold Harmless.

- a. CONSULTANT (including CONSULTANT's agents, employees, and subcontractors, if any) shall indemnify, defend, and hold harmless the CITY, its officials, officers, agents, employees, and volunteers from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, in law or equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with CONSULTANT's performance of the

Services or its failure to comply with any of its obligations contained in this Agreement, except where caused by the sole negligence or willful misconduct of the CITY.

- b. CONSULTANT (including CONSULTANT's agents, employees, and subcontractors, if any) shall indemnify, defend, and hold harmless the CITY, its officials, officers, agents, employees, and volunteers from and against any and all Claims caused by, arising under, or resulting from any violation, or claim of violation, of the San Diego Municipal Storm Water Permit (Order No. R9-2013-0001, as amended) of the California Regional Water Quality Control Board, Region 9, San Diego, that the CITY might suffer, incur, or become subject to by reason of, or occurring as a result of, or allegedly caused by, any work performed pursuant to this Agreement.
 - c. All terms and provisions within this Section 8 shall survive the termination of this Agreement.
9. Anti-Assignment Clause. Because the CITY has relied on the particular skills of CONSULTANT in entering into this Agreement, CONSULTANT shall not assign, delegate, subcontract, or otherwise transfer any duty or right under this Agreement, including as to any portion of the Services, without the CITY's prior written consent. Any purported assignment, delegation, subcontract, or other transfer made without the CITY's consent shall be void and ineffective. Unless CONSULTANT assigns this entire Agreement, including all rights and duties herein, to a third party with the CITY's prior written consent, CONSULTANT shall be the sole payee under this Agreement. Any and all payments made pursuant to the terms of this Agreement are otherwise not assignable.
 10. Attorney's Fees and Costs. In any action to enforce the terms and conditions of this Agreement, the prevailing Party shall be entitled to reasonable attorney's fees and costs.
 11. Independent Contractor. CONSULTANT is an independent contractor, and no agency or employment relationship is created by the execution of this Agreement.
 12. Amendment. This Agreement shall not be amended except in a writing signed by the CITY and CONSULTANT.
 13. Merger Clause. This Agreement, together with its attachments or other documents described or incorporated herein, if any, constitutes the entire agreement and understanding of the CITY and CONSULTANT concerning the subject of this Agreement and supersedes and replaces all prior negotiations, understandings, or proposed agreements, written or oral, except as otherwise provided herein. In the event of any conflict between the provisions of this Agreement and any of its attachments or related documents, if any, the provisions of this Agreement shall prevail.
 14. Anti-Waiver Clause. None of the provisions of this Agreement shall be waived by the CITY because of previous failure to insist upon strict performance, nor shall any provision be waived because any other provision has been waived by the CITY, in whole or in part.
 15. Severability. This Agreement shall be performed and shall be enforceable to the full extent allowed by applicable law, and the illegality, invalidity, waiver, or unenforceability of any provision of this Agreement shall not affect the legality, validity, applicability, or enforceability of the remaining provisions of this Agreement.
 16. Governing Law. This Agreement and all rights and obligations arising out of it shall be construed in accordance with the laws of the State of California. Venue for any action arising from this Agreement shall be conducted only in the state or federal courts of San Diego County, California.
 17. Counterparts. This Agreement may be executed on separate counterparts, each of which shall be an original and all of which taken together shall constitute one and the same instrument. Delivery of an executed signature page of this Agreement by electronic means, including an attachment to

an email, shall be effective as delivery of an executed original. The Agreement on file with the City is the copy of the Agreement that shall take precedence if any differences exist between or among copies or counterparts of the Agreement.

18. Provisions Cumulative. The foregoing provisions are cumulative to, in addition to, and not in limitation of any other rights or remedies available to the CITY.
19. Notice. Any statements, communications, or notices to be provided pursuant to this Agreement shall be sent to the attention of the persons indicated herein, and the CITY and CONSULTANT shall promptly provide the other Party with notice of any changes to such contact information.
20. Business License. CONSULTANT shall obtain a City of Escondido Business License prior to execution of this Agreement and shall maintain such Business License throughout the term of this Agreement.
21. Compliance with Laws, Permits, and Licenses. CONSULTANT shall keep itself informed of and comply with all applicable federal, state, and local laws, statutes, codes, ordinances, regulations, rules, and other legal requirements in effect during the term of this Agreement. CONSULTANT shall obtain any and all permits, licenses, and other authorizations necessary to perform the Services. Neither the CITY, nor any elected or appointed boards, officers, officials, employees, or agents of the CITY, shall be liable, at law or in equity, as a result of any failure of CONSULTANT to comply with this section.
22. Prevailing Wages. If applicable, pursuant to California Labor Code section 1770 et seq., CONSULTANT agrees that a prevailing rate and scale of wages, in accordance with applicable laws, shall be paid in performing this Agreement. CONSULTANT shall keep itself informed of and comply with all applicable federal, state, and local laws, statutes, codes, ordinances, regulations, rules, and other legal requirements pertaining to the payment of prevailing wages. The prevailing rate and scale to be paid shall be the same as the applicable "General Prevailing Wage Determination" approved by the Department of Industrial Relations as of the Effective Date of this Agreement, which are available online at <http://www.dir.ca.gov/oprl/dprevwagedetermination.htm> and incorporated into this Agreement by this reference. Neither the CITY, nor any elected or appointed boards, officers, officials, employees, or agents of the CITY, shall be liable, at law or in equity, as a result of any failure of CONSULTANT to comply with this section.
23. Immigration Reform and Control Act of 1986. CONSULTANT shall keep itself informed of and shall comply with the Immigration Reform and Control Act of 1986 ("IRCA"). CONSULTANT represents and warrants that all of its employees and the employees of any subcontractor retained by CONSULTANT who perform any of the Services under this Agreement, are and will be authorized to perform the Services in full compliance with the IRCA. CONSULTANT affirms that as a licensed contractor and employer in the State of California, all new employees must produce proof of eligibility to work in the United States within the first three days of employment and that only employees legally eligible to work in the United States will perform the Services. CONSULTANT agrees to comply with the IRCA before commencing any Services, and continuously throughout the performance of the Services and the term of this Agreement.
24. Effective Date. Unless a different date is provided in this Agreement, the effective date of this Agreement shall be the latest date of execution set forth by the names of the signatories below.

(SIGNATURE PAGE FOLLOWS)

IN WITNESS WHEREOF, this Agreement is executed by the Parties or their duly authorized representatives as of the Effective Date:

CITY OF ESCONDIDO

Date: _____

Dane White, Mayor

NV5, Inc.

Date: _____

Signature

Name & Title (please print)

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY
MICHAEL R. MCGUINNESS, CITY ATTORNEY

BY: _____

THE CITY OF ESCONDIDO DOES NOT DISCRIMINATE AGAINST QUALIFIED PERSONS WITH DISABILITIES.

ATTACHMENT "A"

Scope of Work

A. General

NV5, Inc., a California corporation ("Consultant") will provide the City of Escondido, a California municipal corporation ("City") with on-call building permit plan review and field inspection services.

B. Location

Consultant to provide services at various locations within the City of Escondido and at Consultant's office located at 15092 Avenue of Science, San Diego, CA 92128. Consultant shall accommodate both hardcopy and electronic plan review services as preferred by the City. Any electronic data entry and application reviews shall be compatible with the City's tracking and databases.

C. Services

Consultant shall provide the services as described in Consultant's proposal, which is attached to this Scope of Work as Exhibit 1 and incorporated herein by this reference. In the event of a conflict between this Agreement (including this Scope of Work) and Exhibit 1, the terms of this Agreement shall prevail.

Consultant shall also provide dedicated building inspection services for the Palomar Heights Project, a 510-unit mixed-use development at the former site of the downtown hospital comprised of 23 buildings.

D. Scheduling

All assigned inspections will be performed within 24 hours of notification from the City. Long-term inspection assignments will be filled within 48 hours. All assigned building permit plan review services will commence within 24 hours of notification from the City. Notice of assignment will be effected by the City to Consultant via email.

Consultant shall adhere to the following deadlines in providing building permit plan review services:

Assignment Type	Deadline for Submission to the City	
	First Check	Re-Check
Plan Check for minor alterations and additions	5 Working Days	7 Working Days
Plan Check for Solar or ESS systems	3 Working Days	2 Working Days
Fire code compliance review	10 Working Days	7 Working Days
Plan Check for single-tenant dwellings	10 Working Days	7 Working Days
Plan Check for multi-tenant buildings	10 Working Days	7 Working Days
Plan Check for commercial construction under 10,000 square feet	10 Working Days	7 Working Days
Plan Check for commercial construction over 10,000 square feet	10 Working Days	7 Working Days

E. Contract Price and Payment Terms

The total contact price of this Agreement shall not exceed the sum of **\$1,406,930**. The contract price includes all labor, materials, equipment, and transportation required to perform the work. Services will be billed as services are performed. Payment will be made after services have been performed and within 30 days of receipt of an invoice for those services.

The following limitations shall apply:

1. For all services unrelated to the Palomar Heights Project, annual compensation shall not exceed **\$292,500**; and

2. The cumulative cost for services related to the Palomar Heights Project, which shall be provided as-needed throughout the term of this Agreement, shall not exceed **\$529,430**.

Consultant shall retain firm pricing and rates as detailed in Exhibit 2 to this Scope of Work, which is attached hereto and incorporated by this reference.

Effective July 1 of each year of the agreement, the hourly rates may increase the lesser of the Consumer Price Index, All Urban Consumers, San Diego-Carlsbad for the 12-month period ending in March or four percent.

F. Term

The term of this Agreement shall be for **three years**, commencing on the Effective Date of the Agreement ("Initial Term"). Thereafter, the City shall have the option to extend the Initial Term of this Agreement by one-year.

G. Other

Consultant acknowledges that the term of this Agreement may extend over multiple City fiscal years, and that work and compensation under this Agreement is contingent on the City Council appropriating funding for and authorizing such work and compensation for those fiscal years. This Agreement may be terminated at the end of the fiscal year for which sufficient funding is not appropriated and authorized. The City is not obligated to pay Consultant for any amounts not duly appropriated and authorized by City Council.

The City is experiencing greater than normal growth. As of the Effective Date of this Agreement, more than 40 major development projects are in various stages of review. Given the current growth trends, recent City-staff turn-over, the complexity and timelines of pending projects, and the need to ensure safety of residents and the community, the City has recognized the need for third party assistance in performing plan check services, on-call backup inspection services, and services of a dedicated building inspector for the Palomar Heights Project.

ATTACHMENT "B"

Personnel List

Pursuant to Section 4 of the Agreement, CONSULTANT shall only assign performance of Services to persons listed below.

1. Jeffrey M. Cooper, PE, Principal-in-Charge/Senior Vice President, NV5, (858) 385-0500, jeff.cooper@nv5.com
2. Tamara O'Neal, PE, Project Manager, NV5, (858) 385-0500, tamara.oneal@nv5.com
3. Shannon Hunter, Building Insection Task Leader, (858) 385-0500, Shannon.hunter@nv5.com
4. Kyle Soldan, Senior Building Inspector, NV5, (858) 385-0500, kyle.soldan@nv5.com
5. Bruce Boyer Senior Building Inspector, NV5, (858) 385-0500, bruce.boyer@nv5.com
6. Clark Shen, PE, SE, Plan Reviewer, NV5, (858) 385-0500, clark.shen@nv5.com
7. Arsanious Hanna, CBO, PE, QSD, Plan Reviewer, NV5, (858) 385-0500, arsanious.hanna@nv5.com
8. Scott Woody, CBO, CASp, DBIA, CM-Lean, LEED AP, Plan Reviewer, NV5, (858) 385-0500, scott.woody@nv5.com
9. Alan Ho, SE, PE, LEED AP, Plan Reviewer, NV5, (858) 385-0500, alan.ho@nv5.com
10. Alan Vallow, EE, Plan Reviewer, NV5, (858) 385-0500, alan.vallow@nv5.com
11. Rouhi El-Rabaa, PE, CASp, Plan Reviewer, NV5, (858) 385-0500, Rouhi.El-Rabaa@nv5.com
12. Eric Rodriguez, SE, PE, Plan Reviewer, NV5, (858) 385-0500, eric.rodriguez@nv5.com
13. Annette Chavez, CBO, Plan Reviewer, NV5, (858) 385-0500, Annette.chavez@nv5.com
14. John Moffatt, EE, Plan Reviewer, NV5, (858) 385-0500, john.moffatt@nv5.com
15. Padma Asan, PE, Plan Reviewer, NV5, (858) 385-0500, padma.asam@nv5.com
16. Carlos Yado, CBO, Plan Reviewer, HRGreen, (855) 900-4742, cyado@hrgreen.com
17. Sandra Schmidz, PE, Plan Reviewer, HRGreen, (855) 900-4742, sschmidz@hrgreen.com
18. Beth Jay, Plan Reviewer, HRGreen, (855) 900-4742, bjay@hrgreen.com
19. Ken Welch, CFM, CBO, MCP, Plan Reviewer, HRGreen, (855) 900-4742, kwelch@hrgreen.com
20. Roger "Rick" Molina, CBO, MCP, Plan Reviewer, HRGreen, (855) 900-4742, rmolina@hrgreen.com

CONSULTANT shall not add or remove persons from this Personnel List without the City's prior written consent. If CONSULTANT has not designated a person to perform a component of the Services, CONSULTANT shall not assign such component of the Services to a person without obtaining the City's prior written consent. CONSULTANT shall not subcontract any component of the Services without obtaining the City's prior written consent.

Acknowledged by:

Date: _____

[Jeffrey M. Cooper, Senior Vice President, NV5]

Exhibit 1

NV5 will provide on-call Building Permit Plan Check Review services and Building Permit Inspection services to the City of Escondido (City) as follows:

1. Building Plan Check Services

- a. Perform architectural, structural, plumbing, mechanical and electrical plan check review for buildings and structures for compliance with applicable Federal and State laws, building and safety codes, City ordinances, and acceptable engineering practices. Type of proposed plan check work may include new construction (residential, commercial, or industrial), remodel, additions, green building, Disabled Access, Leadership in Energy and Environmental Design ("LEED"), onsite wastewater treatment systems ("OWTS") and public nuisance abatement; Fire Code related plan check and inspections services;
- b. Confirm building use, occupancy, and type of construction, and review construction of buildings and structures to determine satisfaction of safety requirements;
- c. Review and approve building/structural revisions to plans required during construction;
- d. Collect construction and demolition Waste Management Plan prior to building permit issuance and ensure construction and demolition recycling requirements are met prior to final inspection;
- e. Provide problem solving methods for unique or challenging plan check or code interpretation issues;
- f. Provide trained staff familiar with sustainable building and Green Building concepts such as those supported by LEED, California Association of Building Energy Consultants ("CABEC"), Residential Energy Services Network ("RESnet"), U.S. Green Building Council ("USGBC"), and National Pollution Discharge and Elimination System Permit ("NPDES") Review and provide plan check comments digitally using City utilized software as applicable as primary means of communicating corrections to applicants;
- g. Provide full digital ("PDF") copies of all "finalized" building permits files (permits and plans) for entry into the City's Electronic Data Management System by City staff. All approval stamps, applications, forms and other documents used in conjunction with these services shall be provided by the City. Costs for the provision of these processing tools and supplies shall be the responsibility of the City;
- h. Coordinate building permit requirements and interface with City Departments and other agencies;
- i. Provide expedited plan check for certain projects types when requested by the City; and
- j. Respond to Public Records Requests (formal response within five business days).

2. Building Inspection Services

- a. NV5 will provide an on-call ICC-certified Building Inspector who is fully trained/ certified/qualified for all construction regulated by all applicable Federal, State and City building and safety codes/ordinances, floodplain design standards, and NPDES requirements;
- b. When requested, provide information on City regulations to property owners, residents, businesses, the general public and other City departments;
- c. Inspect buildings and structures, for which building permits have been issued, for compliance with the approved plans and applicable codes and ordinances;
- d. Inspect for compliance with applicable conditions of approval set forth by the City's Community Development Department, Planning Commission, and/or City Council, and communicate with City staff as appropriate. The applicant shall print all project conditions on approved building plan sets so that they are readily available during inspection services;
- e. Coordinate with various City and County agencies and departments and other governmental agencies providing services, and/or having jurisdiction over any aspect of a development project in order to obtain compliance with the above building and safety codes and regulations;
- f. During inspections, issue work correction notices. In the event an inspection finds violations in code requirements and/or permit conditions of approval, the Inspector will immediately document accordingly in City's tracking system;
- g. Provide all vehicles, fuel, maintenance, cell phones and iPads (or substantially similar tablet), and other equipment necessary for field personnel to carry out building permit inspections and duties;
- h. Provide special inspections by qualified inspectors and conduct investigations as directed by the City, including field and office research and the preparation of letters and/or documents; and
- i. Input daily inspection information into the City's tracking system. The City will provide user logins.

Exhibit 2

The following fees includes all re-checks, plan check conferences, review of plans initially found to be incomplete, transportation of materials, and shall remain in effect throughout the term of this Agreement:

1. Consultant's fee per plan review shall be **70%** of the plan review fees collected by the City. Plan review fees collected by the City shall be the established rate adopted by the City of Escondido City Council. The initial plan review fee includes two rechecks. Additional plan checks will be on a time and material basis on hourly rates.
2. Consultant's fee per structural-only plan review shall be **40%** of the fees collected by the City. Structural-only plan review fees collected by the City shall be the established rate adopted by the City of Escondido City Council.
3. Consultant's fee per fire plan review shall be time-and-materials, billed at a rate of \$150 per hour.
4. Consultant's fee per plan review for repeat buildings shall be **20%** of the fees collected by the City. Plan review fees for repeat buildings collected by the City shall be the established rate adopted by the City of Escondido City Council.
5. Expedited plan check shall be an additional **25%** of the regular fees listed in 1 through 4 above.

The minimum plan check fee will be **\$250**.

Included below is our hourly fee schedule. Effective July 1 of each year of the agreement, the hourly rates may increase the lesser of the Consumer Price Index, All Urban Consumers, San Diego-Carlsbad for the 12-month period ending in March or four percent.

NV5	HOURLY RATE**
Project Manager	\$200
Supervising Inspector (On-Call)	\$175
Senior ICC Certified Inspector (On-Call)	\$145
ICC Certified Inspector (On-Call)	\$135
Supervising Inspector (Staff Augmentation)	\$170
Senior ICC Certified Inspector (Staff Augmentation)	\$140
ICC Certified Inspector (Staff Augmentation)	\$130
Senior Plan Reviewer IV	\$225
Senior Plan Reviewer III	\$195
Senior Plan Reviewer II	\$175
Senior Plan Reviewer I	\$165
Plan Reviewer V	\$155
Plan Reviewer IV	\$150
Plan Reviewer III	\$140
Plan Reviewer II	\$135
Plan Reviewer I	\$130
Fire Plan Reviewer	\$150
HR GREEN	HOURLY RATE* **
Plan Review Manager/Task Lead	\$253
Plan Review Engineer III	\$193
Plan Review Engineer II	\$174
Plan Review Engineer I	\$165
Plan Reviewer	\$172
REIMBURSABLE EXPENSES	COST
Other Direct Costs (ODCs) and Subconsultant Services	Cost + 10%
Automobile Transportation	per IRS standard

* Subconsultant rates listed include the 10% markup.

** Regular rates. Work in excess of 8 hours and work on Saturdays will be billed at 1.5 times the regular rate. Work in excess of 12 hours and work on Sundays and Holidays will be billed at 2 times the regular rate.



BUDGET ADJUSTMENT REQUEST

Department:	Development Services	For Finance Use Only BA # _____ Fiscal Year _____
Department Contact:	Andrew Firestine	
City Council Meeting Date: <i>(attach staff report)</i>		

EXPLANATION OF REQUEST

BUDGET ADJUSTMENT INFORMATION

Project/Account Description	Account Number	Amount of Increase	Amount of Decrease
Palomar Heights Building Inspector	NEW-229	\$529,430	
Building Permits	4045-001	\$529,430	
Transfer In	4999-299	\$529,430	
Transfer Out	5999-001	\$529,430	

APPROVALS

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8/8/2023	8/8/2023
DEPARTMENT HEAD	FINANCE
DATE	DATE



STAFF REPORT

August 16, 2023
File Number 0400-85

SUBJECT

TREASURER'S INVESTMENT REPORT FOR THE QUARTER ENDED JUNE 30, 2023

DEPARTMENT

City Treasurer

RECOMMENDATION

Request the City Council approve the Quarterly Investment Report for the quarter ended June 30, 2023.

Staff Recommendation: Approval (City Treasurer's Office: Douglas Shultz, City Treasurer)

Presenter: Douglas Shultz, City Treasurer

FISCAL ANALYSIS

From April 1, 2023 to June 30, 2023, the City's investment portfolio increased from \$175.0 million to \$213.7 million. The adjusted average annual yield increased from 1.539 percent to 1.945 percent with the portfolio duration at 1.69. During this quarter we received multiple drawdowns of approximately \$25 million from the Membrane Filtration Reverse Osmosis Facility and San Pasqual Undergrounding loans reimbursing expenses that were previously outlaid. A strong bond market and reinvesting in higher yield holdings for the quarter resulted in increase of \$38.6 million in the book value of the investment portfolio.

PREVIOUS ACTION

The Investment Report for the quarter ended March 31, 2022, was filed with the City Clerk's Office on July 31, 2023 and presented to the City Council on May 17, 2023.

BACKGROUND

The City of Escondido's (City) Investment Policy requires the City Treasurer to submit a quarterly investment report to the City Council and City Manager. The quarterly investment report should include the type of investment, issuer, date of maturity, par and dollar amount invested and market value for each security held by the City. Details of the City's investment portfolio are included in the attached reports that are listed below:

- Summary of Investment Allocation as of June 30, 2023 (Attachment 1)
- Summary of Investment Portfolio Yield for the last 12 months (Attachment 2)



CITY of ESCONDIDO

STAFF REPORT

- Schedule of Funds Managed by Outside Parties as of June 30, 2023 (Attachment 3)

The Investment Performance Review (attachment 4) provides a Market Update, the City's Portfolio Strategy and Performance, Issuer Distributions, Portfolio Distributions and Portfolio Holdings. The Summary of Investment Allocation (attachment 1) and the Summary of Investment Portfolio Yield for the last 12 months (attachment 2) shows the total investment portfolio including funds in LAIF, CAMP, Stone Castle, and the City's money market account with BNY.

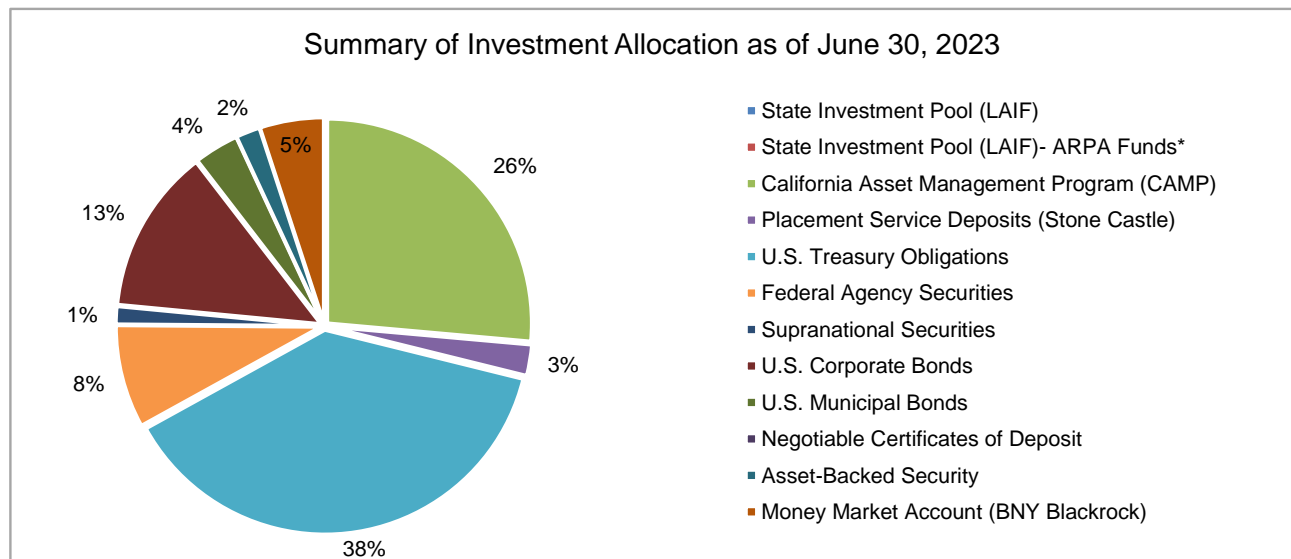
There are adequate funds to meet the next six-month's expected expenditures. As of June 30, 2023, the City complies with all requirements of the City's Investment Policy.

ATTACHMENTS

- a. Attachment 1 – Summary of Investment Allocation as of June 30, 2023
- b. Attachment 2 – Summary of Investment Portfolio Yield for the last 12 months
- c. Attachment 3 – Schedule of Funds Managed by Outside Parties as of June 30, 2023
- d. Attachment 4 – Investment Performance Review for the Quarter Ended June 30, 2023

**City of Escondido
Summary of Investment Allocation
as of June 30, 2023**

Investment Type	Book Value	Market Value	Percent of Portfolio at Market
State Investment Pool (LAIF)	\$ 11,674	\$ 11,674	0.01%
State Investment Pool (LAIF)- ARPA Funds*	0	0	0.00%
California Asset Management Program (CAMP)	54,617,972	54,617,972	26.41%
Placement Service Deposits (Stone Castle)	5,048,736	5,048,736	2.44%
U.S. Treasury Obligations	82,942,060	78,820,762	38.12%
Federal Agency Securities	17,426,497	16,828,525	8.14%
Supranational Securities	3,047,405	2,882,558	1.39%
U.S. Corporate Bonds	28,273,110	26,952,122	13.03%
U.S. Municipal Bonds	7,800,767	7,291,946	3.53%
Negotiable Certificates of Deposit	0	0	0.00%
Asset-Backed Security	4,070,568	3,897,888	1.89%
Money Market Account (BNY Blackrock)	10,418,657	10,418,657	5.04%
Total Investment Portfolio - June 2023	\$ 213,657,446	\$ 206,770,841	100%
Reported Total Investments - March 2023	\$ 175,037,226	\$ 163,277,880	
Change from Prior Quarter	\$ 38,620,220	\$ 43,492,961	
Portfolio Duration	1.66		



*ARPA funds moved out of LAIF and into investment pool for better returns.

SUMMARY OF INVESTMENT PORTFOLIO YIELDS FOR THE LAST 12 MONTHS As of June 30, 2023		
<u>Date</u>	<u>Book Value</u>	<u>Yield</u>
Jun-22	\$175,037,226.40	2.910%
May-23	\$164,681,177.97	2.614%
Apr-23	\$177,151,599.37	2.452%
Mar-22	\$175,037,226.40	2.160%
Feb-23	\$164,681,177.97	1.763%
Jan-23	\$177,151,599.37	1.935%
Dec-22	\$170,616,164.28	1.637%
Nov-22	\$176,665,572.52	1.728%
Oct-22	\$183,071,542.59	1.673%
Sep-22	\$183,702,750.52	1.758%
Aug-22	\$183,950,309.82	1.355%
Jul-22	\$195,449,351.01	1.351%
Average Portfolio Interest Yields		1.945%

** Includes Assets managed by PFM, LAIF, and Stone Castle.*

CITY OF ESCONDIDO
FUNDS MANAGED BY OUTSIDE PARTIES
As of June 30, 2023

<u>Type of Funds / Institution</u>	<u>Market Value</u>	<u>Interest Rate</u>	<u>Type of Investment</u>
<u>BOND FUNDS</u>			
BANK OF NEW YORK:			
1998-1 Rancho San Pasqual Assessment District	\$ 365,553.54	4.940%	Treasury
2013 JPFA Reidy Creek Lease Revenue Bonds (2001 Refunding)	92.69	4.800%	Treasury
2013 Community Facility District - Hidden Trails (2001 Refunding)	13.03	4.810%	Treasury
2015 Community Facility District - Eureka Ranch (2006 Refunding)	30.07	4.820%	Treasury
2015 Community Facility District - Eureka Ranch (2006 Refunding)	113.72	0.000%	Cash
2015A Wastewater Bond (2004A Refunding)	683,308.71	5.000%	Dreyfus Cash Management Fund
2015B Wastewater Bond (2004B Refunding)	245,477.85	5.000%	Dreyfus Cash Management Fund
2019 Water Bond (JPFA 19AB)	357.89	4.750%	Dreyfus Cash Management Fund
2021A WasteWater Ref Rev	0.00	0.000%	Dreyfus Cash Management Fund
2015 Community Facility District - The Villages	11,175,708.90	0.000%	Cash/Treasury
	<u>\$ 12,470,656.40</u>		
<u>SECTION 115 TRUST FUNDS</u>			
PUBLIC AGENCY RETIREMENT SERVICES:			
PARS Post-Employment Benefits Trust	\$31,788,595.96		Moderately Conservative HighMark PLUS
TOTAL FUNDS MANAGED BY OUTSIDE PARTIES	<u><u>\$44,259,252.36</u></u>		



City of Escondido Quarterly Report

City of Escondido (299155)

Quarter End (Q2 Y2023)

04/01/2023 - 06/30/2023

Dated: 07/31/2023

Locked Down

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Dated: 07/31/2023

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Risk Summary - Fixed Income

City of Escondido (299155)

04/01/2023 - 06/30/2023

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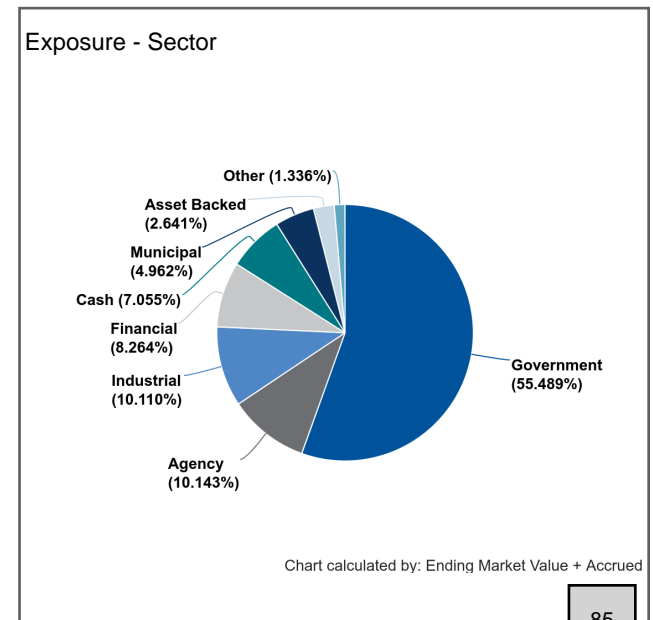
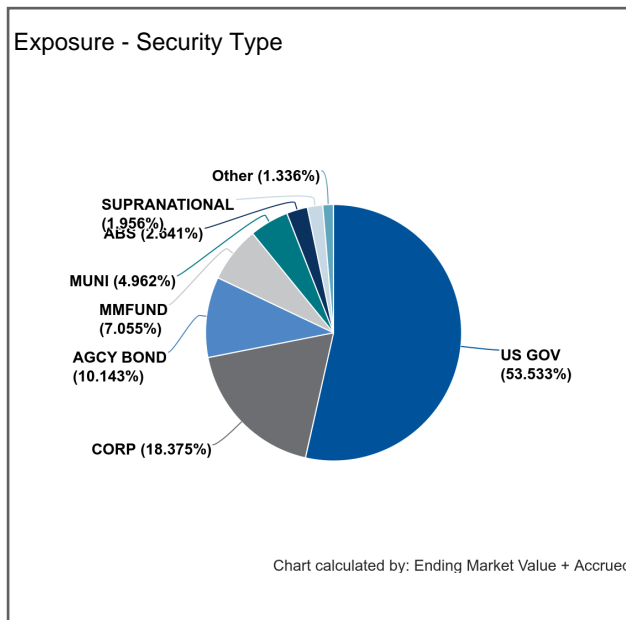
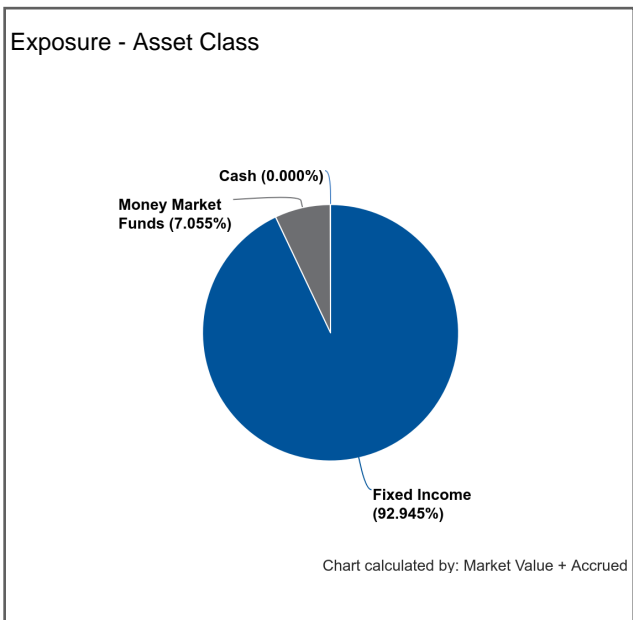
Dated: 07/31/2023

Balance Sheet	
Book Value + Accrued	154,570,106.91
Net Unrealized Gain/Loss	-6,886,604.73
Market Value + Accrued	147,683,502.17

Cash and Fixed Income Summary	
Risk Metric	Value
Cash	0.00
MMFund	10,418,656.68
Fixed Income	137,264,845.49
Duration	1.690
Convexity	0.015
WAL	1.709
Years to Final Maturity	1.761
Years to Effective Maturity	1.725
Yield	5.100
Book Yield	1.851
Avg Credit Rating	AA-/Aa3/AA-

Issuer Concentration	
Issuer	Ending % of Market Value + Accrued
United States Department of The Treasury	53.533%
Other	25.838%
BLAKCROCK	7.055%
Federal Home Loan Banks	4.439%
Federal Home Loan Mortgage Corporation	4.190%
Federal National Mortgage Association	2.264%
Inter-American Development Bank	1.515%
Citigroup Inc.	1.166%
---	100.000%

Footnotes: 1,2



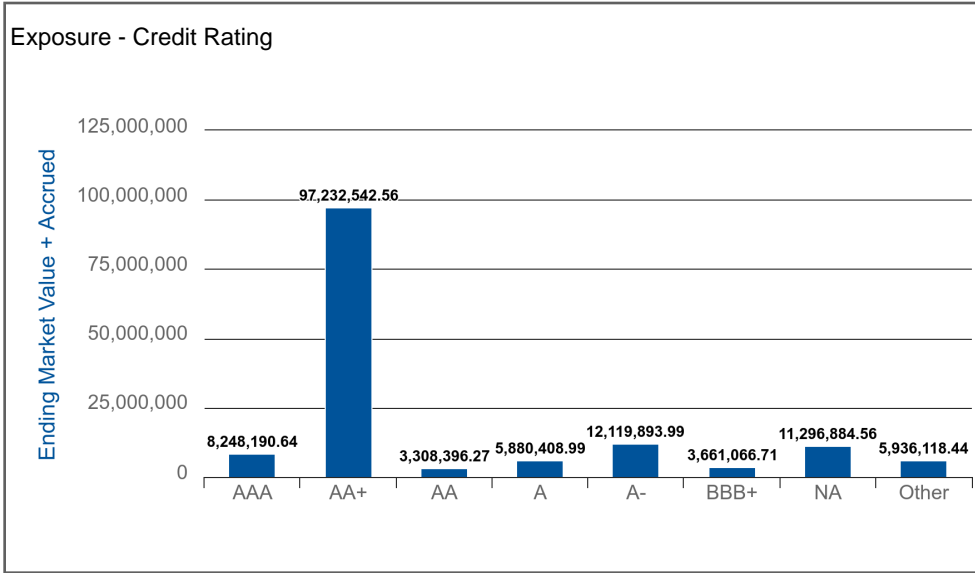
Risk Summary - Fixed Income

City of Escondido (299155)

04/01/2023 - 06/30/2023

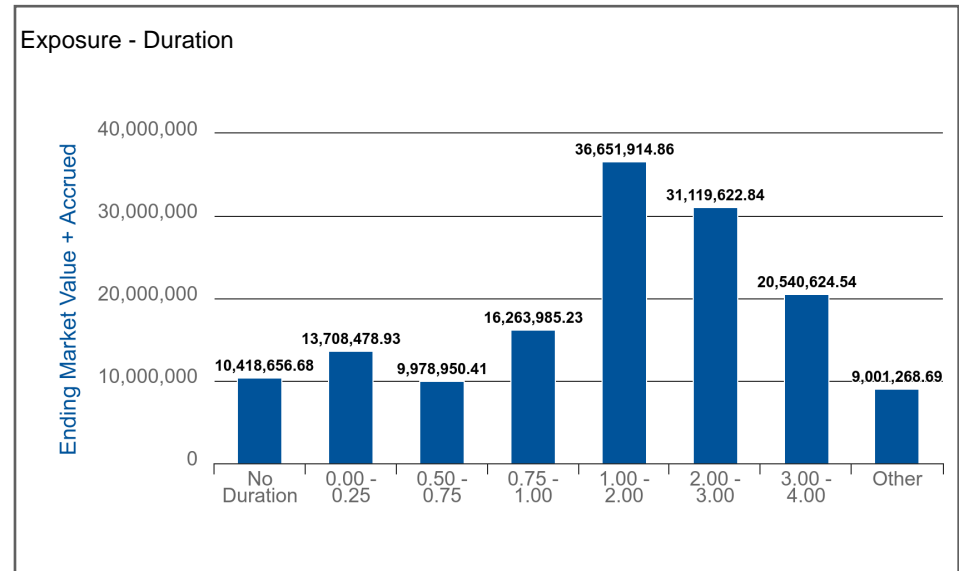
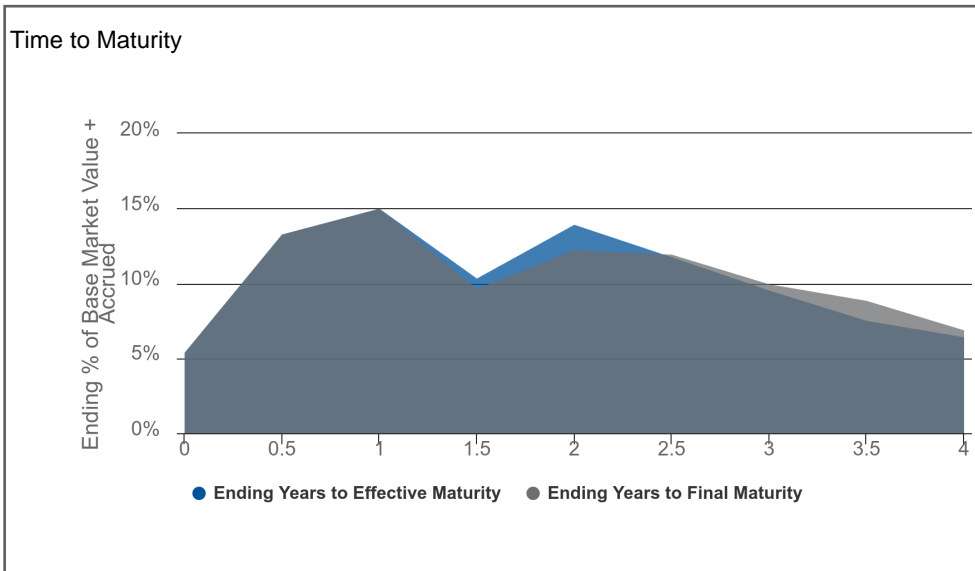
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Dated: 07/31/2023



Credit Duration Heat Map

Rating	0 - 1	1 - 2	2 - 3	3 - 4	4 - 5	5 - 7	7 - 10	10 - 15	15 - 30
AAA	1.671%	3.744%	0.170%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
AA	26.468%	14.209%	20.102%	8.691%	0.585%	0.000%	0.000%	0.000%	0.000%
A	4.082%	4.132%	0.799%	5.218%	0.000%	0.000%	0.000%	0.000%	0.000%
BBB	0.341%	2.138%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
BB	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
B	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
CCC	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
CC	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
C	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%
NA	0.000%	0.595%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%	0.000%



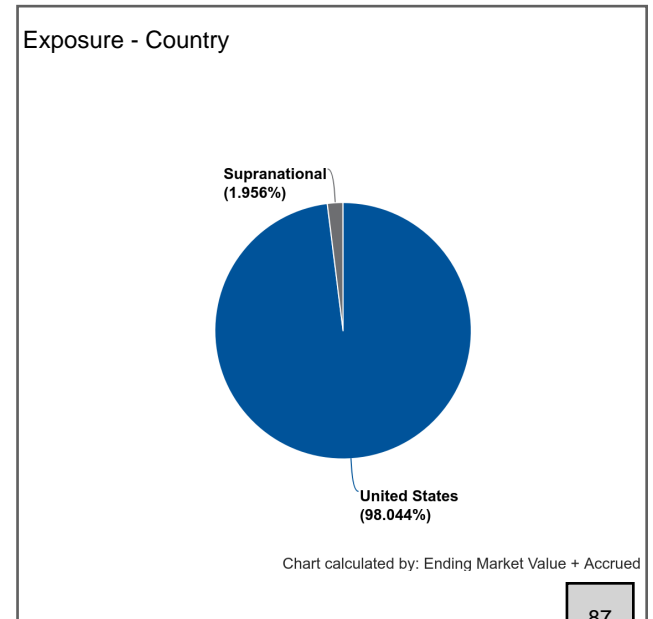
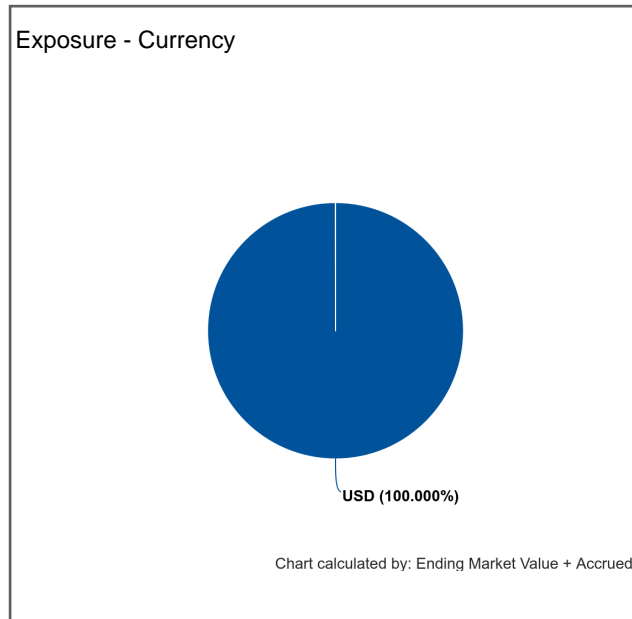
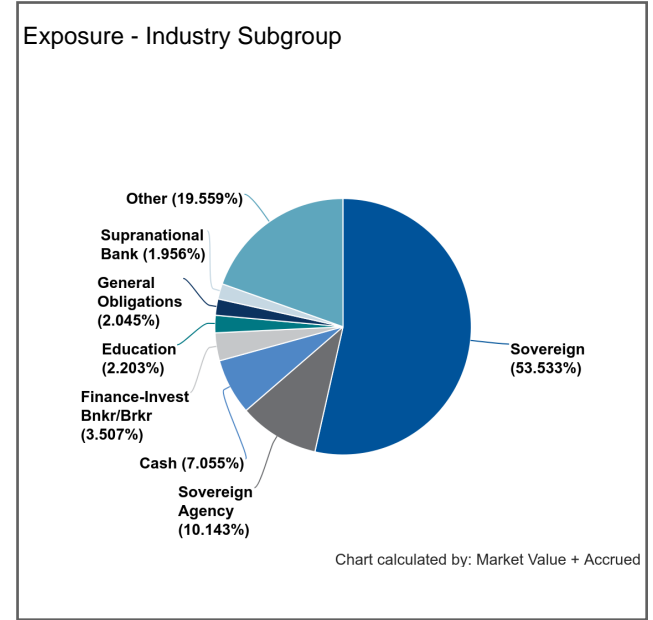
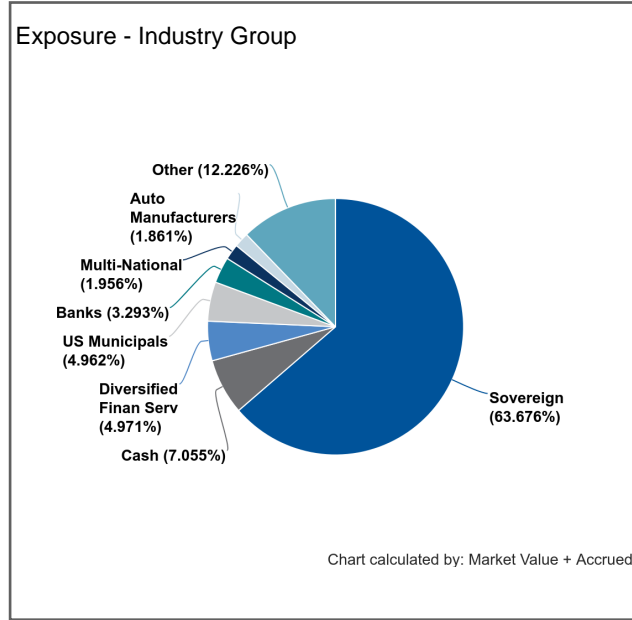
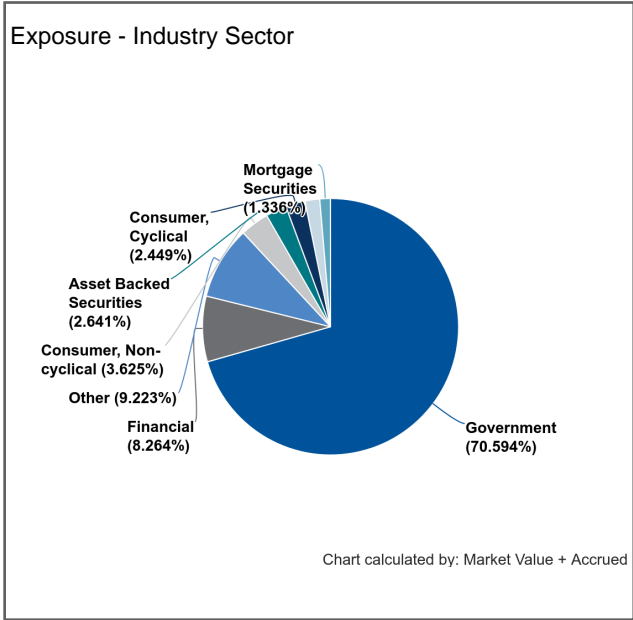
Risk Summary - Fixed Income

City of Escondido (299155)

04/01/2023 - 06/30/2023

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Dated: 07/31/2023



Risk Summary - Fixed Income

04/01/2023 - 06/30/2023

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City of Escondido (299155)

Dated: 07/31/2023

1: * Grouped by: Issuer. 2: * Groups Sorted by: Ending % of Market Value + Accrued.

Multiple Benchmarks Comparison

City of Escondido (299155)

Base Currency: USD As of 06/30/2023

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Dated: 07/31/2023

Account and Primary Benchmark

Account/Index	Base Market Value + Accrued	Trailing Month Total Return, Net of Fees	Trailing 3 Months Total Return, Net of Fees	Trailing 6 Months Total Return, Net of Fees	Trailing 12 Months Total Return, Net of Fees	Prior Year Total Return, Net of Fees	Prior 3 Years Total Return, Net of Fees	Prior 5 Years Total Return, Net of Fees	Prior 10 Years Total Return, Net of Fees
City of Escondido	147,683,502.17	-0.215%	-0.035%	1.487%	0.700%	---	---	---	---
ICE BofA 1-5 Year US Corporate & Government Index	---	-0.597%	-0.569%	1.205%	0.176%	---	---	---	---

Net of Fees (includes management and trading).

Returns are actual and have not been annualized.

No Tax Adjustment.

Note that data will not exist prior to the performance inception date of: 04/01/2022.

Reported Index Return is always Total Return.

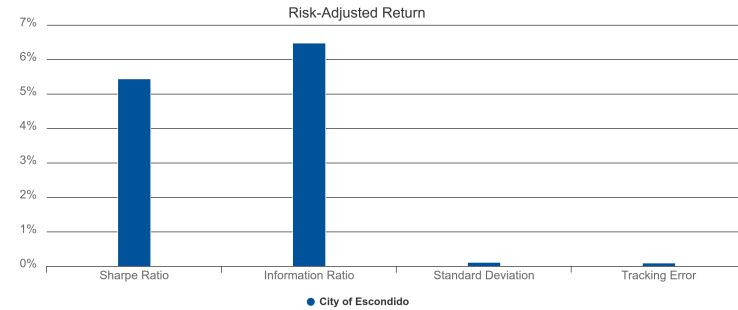
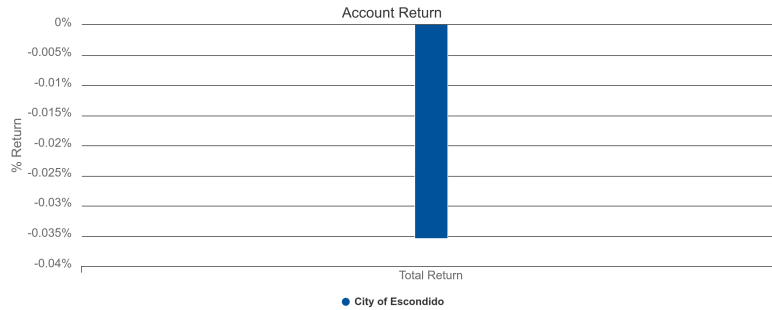
Risk-Adjusted Comparison

City of Escondido (299155)

04/01/2023 - 06/30/2023

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Dated: 07/31/2023



Account	Assigned Index	Total Return	Index Return	Sharpe Ratio	Information Ratio	Standard Deviation	Tracking Error
City of Escondido	ICE BofA 1-5 Year US Corporate & Government Index	-0.035%	-0.569%	0.054	0.065	0.106%	0.089%

Account	Index	Index Start Date	Index End Date
City of Escondido	ICE BofA 1-5 Year US Corporate & Government Index	08/02/2002	---

Net of Fees (includes management and trading).

Returns are actual and have not been annualized.

No Tax Adjustment.

Note that data will not exist prior to the performance inception date of: 04/01/2022.

Reported Index Return is always Total Return.

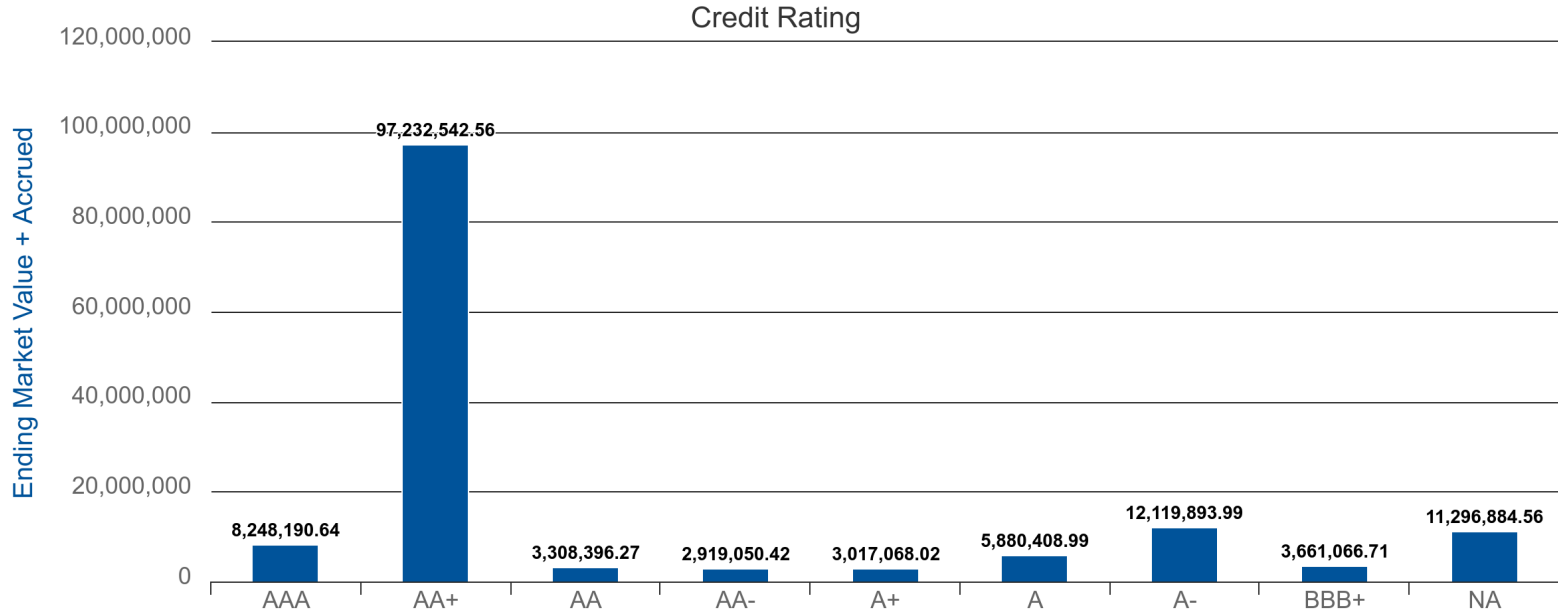
Exposure - Credit Rating

City of Escondido (299155)

As of 06/30/2023

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Dated: 07/31/2023



AAA

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	05602RAD3	BMWOT 2022-A A3	380,000.00	USD	08/25/2026	ABS	AAA	Aaa	AAA	NA	369,628.01
City of Escondido	14041NFY2	COMET 2021-3 A	715,000.00	USD	11/16/2026	ABS	AAA	NA	AAA	AAA	673,087.22
City of Escondido	254683CS2	DCENT 2022-2 A	715,000.00	USD	05/17/2027	ABS	AAA	Aaa	NA	AAA	689,464.17
City of Escondido	345286AC2	FORDO 2022-A A3	255,000.00	USD	06/15/2026	ABS	AAA	NA	AAA	AAA	245,028.85
City of Escondido	380146AC4	GMCAR 2022-1 A3	285,000.00	USD	11/16/2026	ABS	AAA	NA	AAA	AAA	272,380.88
City of Escondido	43815GAC3	HAROT 2021-4 A3	285,000.00	USD	01/21/2026	ABS	AAA	Aaa	NA	AAA	273,602.21
City of Escondido	448977AD0	HART 2022-A A3	720,000.00	USD	10/15/2026	ABS	AAA	NA	AAA	AAA	691,726.80
City of Escondido	4581X0DK1	INTER-AMERICAN DEVELOPMENT BANK	835,000.00	USD	03/14/2025	SUPRANATIONAL	AAA	Aaa	AAA	AAA	793,810.61
City of Escondido	4581X0DZ8	INTER-AMERICAN DEVELOPMENT BANK	1,530,000.00	USD	09/23/2024	SUPRANATIONAL	AAA	Aaa	AAA	NA	1,443,373.10
City of Escondido	459058JM6	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM	665,000.00	USD	11/24/2023	SUPRANATIONAL	AAA	Aaa	AAA	NA	651,970.62
City of Escondido	50117XAE2	KCOT 212 A3	366,104.73	USD	11/17/2025	ABS	AAA	Aaa	NA	AAA	350,297.64
City of Escondido	574193TQ1	MARYLAND ST	375,000.00	USD	08/01/2024	MUNI	AAA	Aaa	AAA	AAA	356,814.38
City of Escondido	60412AVJ9	MINNESOTA ST	275,000.00	USD	08/01/2025	MUNI	AAA	Aaa	AAA	AAA	251,725.38
City of Escondido	797272QP9	SAN DIEGO CALIF CMNTY COLLEGE DIST	245,000.00	USD	08/01/2024	MUNI	AAA	Aaa	AAA	NA	238,398.48
City of Escondido	977123X60	WISCONSIN (STATE OF)	640,000.00	USD	07/01/2024	MUNI	AAA	NA	AAA	AA+	611,328.00
City of Escondido	98163KAC6	WOART 2021-D A3	350,000.00	USD	10/15/2026	ABS	AAA	NA	AAA	AAA	335,554.31
City of Escondido	CCYUSD	Cash	0.00	USD	06/30/2023	CASH	AAA	Aaa	AAA	AAA	0.00
City of Escondido	CCYUSD	Payable	-24,500.00	USD	06/30/2023	CASH	AAA	Aaa	AAA	AAA	-24,500.00
City of Escondido	CCYUSD	Receivable	24,500.00	USD	06/30/2023	CASH	AAA	Aaa	AAA	AAA	24,500.00
City of Escondido	---	---	8,636,104.73	USD	08/29/2025	---	AAA	Aaa	AAA	AAA	8,248,190.64

Exposure - Credit Rating

City of Escondido (299155)

As of 06/30/2023

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Dated: 07/31/2023

AA+

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	3130ATKJ5	FEDERAL HOME LOAN BANKS	1,300,000.00	USD	03/08/2024	AGCY BOND	AA+	Aaa	AA+	AAA	1,304,488.43
City of Escondido	3130AV7F3	FEDERAL HOME LOAN BANKS	1,000,000.00	USD	06/14/2024	AGCY BOND	AA+	Aaa	AA+	AAA	999,659.17
City of Escondido	3130AVDA7	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/27/2026	AGCY BOND	AA+	Aaa	AA+	AAA	1,417,005.33
City of Escondido	3130AVDD1	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	09/27/2024	AGCY BOND	AA+	Aaa	AA+	AAA	1,416,722.22
City of Escondido	3130AVE24	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/28/2024	AGCY BOND	AA+	Aaa	AA+	F1+	1,417,519.83
City of Escondido	3133EMAC6	FEDERAL FARM CREDIT BANKS FUNDING CORP	1,000,000.00	USD	09/21/2027	AGCY BOND	AA+	Aaa	AA+	AAA	863,903.33
City of Escondido	3134GWYS9	FEDERAL HOME LOAN MORTGAGE CORP	1,000,000.00	USD	10/15/2025	AGCY BOND	AA+	Aaa	AA+	AAA	909,356.67
City of Escondido	3134GYMX7	FEDERAL HOME LOAN MORTGAGE CORP	1,400,000.00	USD	12/29/2025	AGCY BOND	AA+	Aaa	AA+	AAA	1,413,796.22
City of Escondido	3135G05X7	FEDERAL NATIONAL MORTGAGE ASSOCIATION	2,000,000.00	USD	08/25/2025	AGCY BOND	AA+	Aaa	AA+	AAA	1,822,125.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	360,000.00	USD	11/07/2025	AGCY BOND	AA+	Aaa	AA+	AAA	326,466.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	1,125,000.00	USD	11/07/2025	AGCY BOND	AA+	Aaa	AA+	AAA	1,020,206.25
City of Escondido	3136AJB54	FNA 2014-M04 A2	178,069.53	USD	03/25/2024	FNMA	AA+	Aaa	AA+	AAA	175,237.73
City of Escondido	3137BGK24	FHMS K-043 A2	665,000.00	USD	12/25/2024	FHLMC	AA+	Aaa	AA+	AAA	644,629.30
City of Escondido	3137BTU25	FHMS K-724 A2	329,723.73	USD	11/25/2023	FHLMC	AA+	Aaa	AA+	AAA	327,571.78
City of Escondido	3137EAEPO	FEDERAL HOME LOAN MORTGAGE CORP	790,000.00	USD	02/12/2025	AGCY BOND	AA+	Aaa	AA+	AAA	750,193.22
City of Escondido	3137EAEV7	FEDERAL HOME LOAN MORTGAGE CORP	275,000.00	USD	08/24/2023	AGCY BOND	AA+	Aaa	AA+	AAA	273,314.78
City of Escondido	3137EAEX3	FEDERAL HOME LOAN MORTGAGE CORP	1,150,000.00	USD	09/23/2025	AGCY BOND	AA+	Aaa	AA+	AAA	1,044,407.96
City of Escondido	3137FBTA4	FHMS K-728 A2	845,314.29	USD	08/25/2024	FHLMC CMO	AA+	Aaa	AA+	AAA	825,030.32
City of Escondido	54438CYK2	LOS ANGELES CALIF CMNTY COLLEGE DIST	410,000.00	USD	08/01/2025	MUNI	AA+	Aaa	AA+	NA	373,920.34
City of Escondido	799408Z85	SAN RAMON VALLEY CALIF UNI SCH DIST	405,000.00	USD	08/01/2025	MUNI	AA+	Aa1	AA+	NA	372,010.05
City of Escondido	9128282A7	UNITED STATES TREASURY	1,900,000.00	USD	08/15/2026	US GOV	AA+	Aaa	AA+	AAA	1,746,832.18
City of Escondido	9128282Y5	UNITED STATES TREASURY	795,000.00	USD	09/30/2024	US GOV	AA+	Aaa	AA+	AAA	768,567.47
City of Escondido	9128283J7	UNITED STATES TREASURY	1,480,000.00	USD	11/30/2024	US GOV	AA+	Aaa	AA+	AAA	1,419,882.20
City of Escondido	9128283V0	UNITED STATES TREASURY	280,000.00	USD	01/31/2025	US GOV	AA+	Aaa	AA+	AAA	271,599.49
City of Escondido	9128285D8	UNITED STATES TREASURY	5,000,000.00	USD	09/30/2023	US GOV	AA+	Aaa	AA+	AAA	5,006,433.88
City of Escondido	912828D56	UNITED STATES TREASURY	575,000.00	USD	08/15/2024	US GOV	AA+	Aaa	AA+	AAA	561,351.02
City of Escondido	912828V80	UNITED STATES TREASURY	600,000.00	USD	01/31/2024	US GOV	AA+	Aaa	AA+	AAA	594,735.22
City of Escondido	912828V98	UNITED STATES TREASURY	1,160,000.00	USD	02/15/2027	US GOV	AA+	Aaa	AA+	AAA	1,088,106.72
City of Escondido	912828V56	UNITED STATES TREASURY	2,000,000.00	USD	08/15/2023	US GOV	AA+	Aaa	AA+	AAA	2,012,164.53
City of Escondido	912828W48	UNITED STATES TREASURY	95,000.00	USD	02/29/2024	US GOV	AA+	Aaa	AA+	AAA	93,659.80
City of Escondido	912828W71	UNITED STATES TREASURY	2,650,000.00	USD	03/31/2024	US GOV	AA+	Aaa	AA+	AAA	2,600,502.05
City of Escondido	912828W71	UNITED STATES TREASURY	1,420,000.00	USD	03/31/2024	US GOV	AA+	Aaa	AA+	AAA	1,393,476.57
City of Escondido	912828XX3	UNITED STATES TREASURY	1,225,000.00	USD	06/30/2024	US GOV	AA+	Aaa	AA+	AAA	1,184,629.33
City of Escondido	912828Y61	UNITED STATES TREASURY	145,000.00	USD	07/31/2023	US GOV	AA+	Aaa	AA+	AAA	146,386.34
City of Escondido	912828Y87	UNITED STATES TREASURY	740,000.00	USD	07/31/2024	US GOV	AA+	Aaa	AA+	AAA	717,045.00
City of Escondido	912828Y95	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2026	US GOV	AA+	Aaa	AA+	AAA	1,866,822.27
City of Escondido	912828YM6	UNITED STATES TREASURY	635,000.00	USD	10/31/2024	US GOV	AA+	Aaa	AA+	AAA	605,673.91
City of Escondido	912828ZL7	UNITED STATES TREASURY	3,375,000.00	USD	04/30/2025	US GOV	AA+	Aaa	AA+	AAA	3,106,862.30
City of Escondido	912828ZT0	UNITED STATES TREASURY	2,000,000.00	USD	05/31/2025	US GOV	AA+	Aaa	AA+	AAA	1,830,343.50
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	AA+	Aaa	AA+	AAA	1,997,833.31
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	AA+	Aaa	AA+	AAA	1,997,833.31
City of Escondido	91282CAB7	UNITED STATES TREASURY	2,380,000.00	USD	07/31/2025	US GOV	AA+	Aaa	AA+	AAA	2,167,829.71
City of Escondido	91282CAD3	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2027	US GOV	AA+	Aaa	AA+	AAA	1,713,528.45
City of Escondido	91282CAM3	UNITED STATES TREASURY	620,000.00	USD	09/30/2025	US GOV	AA+	Aaa	AA+	AAA	561,830.62
City of Escondido	91282CBC4	UNITED STATES TREASURY	1,200,000.00	USD	12/31/2025	US GOV	AA+	Aaa	AA+	AAA	1,081,416.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	800,000.00	USD	01/31/2026	US GOV	AA+	Aaa	AA+	AAA	719,379.38
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,280,000.00	USD	01/31/2026	US GOV	AA+	Aaa	AA+	AAA	1,151,007.01
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,000,000.00	USD	01/31/2026	US GOV	AA+	Aaa	AA+	AAA	899,224.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	645,000.00	USD	01/31/2026	US GOV	AA+	Aaa	AA+	AAA	579,999.63
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,600,000.00	USD	01/31/2026	US GOV	AA+	Aaa	AA+	AAA	1,4

Exposure - Credit Rating

City of Escondido (299155)

As of 06/30/2023

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Dated: 07/31/2023

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	91282CBQ3	UNITED STATES TREASURY	400,000.00	USD	02/28/2026	US GOV	AA+	Aaa	AA+	AAA	359,920.48
City of Escondido	91282CBQ3	UNITED STATES TREASURY	3,000,000.00	USD	02/28/2026	US GOV	AA+	Aaa	AA+	AAA	2,699,403.59
City of Escondido	91282CBT7	UNITED STATES TREASURY	2,000,000.00	USD	03/31/2026	US GOV	AA+	Aaa	AA+	AAA	1,811,030.49
City of Escondido	91282CBV2	UNITED STATES TREASURY	4,350,000.00	USD	04/15/2024	US GOV	AA+	Aaa	AA+	AAA	4,184,521.36
City of Escondido	91282CCF6	UNITED STATES TREASURY	1,680,000.00	USD	05/31/2026	US GOV	AA+	Aaa	AA+	AAA	1,509,656.81
City of Escondido	91282CCF6	UNITED STATES TREASURY	2,400,000.00	USD	05/31/2026	US GOV	AA+	Aaa	AA+	AAA	2,156,652.59
City of Escondido	91282CCJ8	UNITED STATES TREASURY	360,000.00	USD	06/30/2026	US GOV	AA+	Aaa	AA+	AAA	324,289.36
City of Escondido	91282CCJ8	UNITED STATES TREASURY	2,050,000.00	USD	06/30/2026	US GOV	AA+	Aaa	AA+	AAA	1,846,647.74
City of Escondido	91282CCN9	UNITED STATES TREASURY	240,000.00	USD	07/31/2023	US GOV	AA+	Aaa	AA+	AAA	239,201.14
City of Escondido	91282CCU3	UNITED STATES TREASURY	900,000.00	USD	08/31/2023	US GOV	AA+	Aaa	AA+	AAA	892,996.02
City of Escondido	91282CDA6	UNITED STATES TREASURY	800,000.00	USD	09/30/2023	US GOV	AA+	Aaa	AA+	AAA	790,774.73
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,350,000.00	USD	10/31/2023	US GOV	AA+	Aaa	AA+	AAA	2,314,495.71
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,000,000.00	USD	10/31/2023	US GOV	AA+	Aaa	AA+	AAA	1,969,783.59
City of Escondido	91282CDG3	UNITED STATES TREASURY	5,000,000.00	USD	10/31/2026	US GOV	AA+	Aaa	AA+	AAA	4,503,826.90
City of Escondido	91282CDG3	UNITED STATES TREASURY	400,000.00	USD	10/31/2026	US GOV	AA+	Aaa	AA+	AAA	360,306.15
City of Escondido	91282CDG3	UNITED STATES TREASURY	500,000.00	USD	10/31/2026	US GOV	AA+	Aaa	AA+	AAA	450,382.69
City of Escondido	91282CDG3	UNITED STATES TREASURY	1,000,000.00	USD	10/31/2026	US GOV	AA+	Aaa	AA+	AAA	900,765.38
City of Escondido	91282CDH1	UNITED STATES TREASURY	5,000,000.00	USD	11/15/2024	US GOV	AA+	Aaa	AA+	AAA	4,706,539.40
City of Escondido	91282CDZ1	UNITED STATES TREASURY	1,175,000.00	USD	02/15/2025	US GOV	AA+	Aaa	AA+	AAA	1,115,480.80
City of Escondido	91282CEN7	UNITED STATES TREASURY	2,000,000.00	USD	04/30/2027	US GOV	AA+	Aaa	AA+	AAA	1,897,866.30
City of Escondido	91282CER8	UNITED STATES TREASURY	800,000.00	USD	05/31/2024	US GOV	AA+	Aaa	AA+	AAA	780,821.99
City of Escondido	91282CFB2	UNITED STATES TREASURY	1,000,000.00	USD	07/31/2027	US GOV	AA+	Aaa	AA+	AAA	953,850.99
City of Escondido	91282CFH9	UNITED STATES TREASURY	1,000,000.00	USD	08/31/2027	US GOV	AA+	Aaa	AA+	AAA	966,504.97
City of Escondido	923040GU7	VENTURA CNTY CALIF CMNTY COLLEGE DIST	490,000.00	USD	08/01/2024	MUNI	AA+	Aa1	AA+	NA	475,545.00
City of Escondido	---	---	102,928,107.55	USD	04/27/2025	---	AA+	Aaa	AA+	AAA	97,232,542.56

AA

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	542411NH2	LONG BEACH CALIF CMNTY COLLEGE DIST	350,000.00	USD	08/01/2023	MUNI	AA	Aa2	AA	NA	351,540.88
City of Escondido	605581MZ7	MISSISSIPPI ST	120,000.00	USD	11/01/2024	MUNI	AA	Aa2	AA	AA	112,773.80
City of Escondido	697511FB4	PALOMAR CALIF CMNTY COLLEGE DIST	440,000.00	USD	08/01/2024	MUNI	AA	Aa2	AA	NA	419,974.87
City of Escondido	771196BT8	ROCHE HOLDINGS INC	1,295,000.00	USD	03/10/2025	CORP	AA	Aa2	AA	AA	1,238,529.80
City of Escondido	797412DM2	SAN DIEGO CNTY CALIF WTR AUTH WTR REV	480,000.00	USD	05/01/2025	MUNI	AA	Aa2	AAA	AA+	443,240.80
City of Escondido	798306WN2	SAN JUAN CALIF UNI SCH DIST	415,000.00	USD	08/01/2024	MUNI	AA	Aa2	NA	WR	394,741.78
City of Escondido	91412HGE7	UNIVERSITY CALIF REVS	375,000.00	USD	05/15/2025	MUNI	AA	Aa2	AA	AA	347,594.35
City of Escondido	---	---	3,475,000.00	USD	11/23/2024	---	AA	Aa2	AA	AA	3,308,396.27

AA-

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	002824BE9	ABBOTT LABORATORIES	825,000.00	USD	11/30/2023	CORP	AA-	Aa3	AA-	WR	820,097.67
City of Escondido	166764BW9	CHEVRON CORP	425,000.00	USD	05/11/2025	CORP	AA-	Aa2	AA-	NA	399,099.79
City of Escondido	20772KEW5	CONNECTICUT ST	630,000.00	USD	09/15/2025	MUNI	AA-	Aa3	AA-	AA-	618,383.46
City of Escondido	20772KJW0	CONNECTICUT ST	150,000.00	USD	07/01/2024	MUNI	AA-	Aa3	AA-	AA-	146,431.50
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	400,000.00	USD	07/01/2025	MUNI	AA-	Aa3	AA	AA	371,820.00
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	155,000.00	USD	07/01/2025	MUNI	AA-	Aa3	AA	AA	144,080.25
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	150,000.00	USD	07/01/2025	MUNI	AA-	Aa3	AA	AA	139,432.50
City of Escondido	544647FC9	LOS ANGELES CALIF UNI SCH DIST	310,000.00	USD	07/01/2026	MUNI	AA-	Aa3	NA	AAA	279,705.25
City of Escondido	---	---	3,045,000.00	USD	02/14/2025	---	AA-	Aa3	AA-	AA	2,911,450.37

Exposure - Credit Rating

City of Escondido (299155)

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Dated: 07/31/2023

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Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	023135BR6	AMAZON.COM INC	500,000.00	USD	06/03/2027	CORP	A+	A1	AA	AA-	439,046.67
City of Escondido	191216CU2	COCA-COLA CO	1,500,000.00	USD	06/01/2027	CORP	A+	A1	A+	A	1,342,242.50
City of Escondido	89236TDK8	TOYOTA MOTOR CREDIT CORP	1,090,000.00	USD	10/18/2023	CORP	A+	A1	A+	A+	1,083,876.93
City of Escondido	904764BN6	UNILEVER CAPITAL CORP	160,000.00	USD	08/12/2024	CORP	A+	A1	A+	A	151,901.93
City of Escondido	---	---	3,250,000.00	USD	12/22/2025	CORP	A+	A1	A+	A+	3,017,068.02

A

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	05565EBK0	BMW US CAPITAL LLC	575,000.00	USD	04/09/2025	CORP	A	A2	A	NA	565,922.67
City of Escondido	05565EBU8	BMW US CAPITAL LLC	215,000.00	USD	08/12/2024	CORP	A	A2	A	NA	204,595.25
City of Escondido	06406RBC0	BANK OF NEW YORK MELLON CORP	1,000,000.00	USD	04/25/2025	CORP	A	A1	A	AA-	967,651.67
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	250,000.00	USD	11/13/2025	CORP	A	A2	A+	WR	227,367.50
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	353,000.00	USD	11/13/2025	CORP	A	A2	A+	WR	321,042.91
City of Escondido	14913R2U0	CATERPILLAR FINANCIAL SERVICES CORP	800,000.00	USD	01/08/2027	CORP	A	A2	A	A+	728,383.56
City of Escondido	24422EWA3	JOHN DEERE CAPITAL CORP	800,000.00	USD	01/11/2027	CORP	A	A2	A	A+	729,198.22
City of Escondido	437076CM2	HOME DEPOT INC	105,000.00	USD	04/15/2025	CORP	A	A2	A	A	101,283.00
City of Escondido	438516CE4	HONEYWELL INTERNATIONAL INC	700,000.00	USD	03/01/2027	CORP	A	A2	A	A	619,539.67
City of Escondido	665859AW4	NORTHERN TRUST CORP	670,000.00	USD	05/10/2027	CORP	A	A2	A+	A+	649,133.97
City of Escondido	87612EBM7	TARGET CORP	180,000.00	USD	01/15/2027	CORP	A	A2	A	A	166,183.50
City of Escondido	87612EBM7	TARGET CORP	650,000.00	USD	01/15/2027	CORP	A	A2	A	A	600,107.08
City of Escondido	---	---	6,298,000.00	USD	05/28/2026	CORP	A	A2	A	A+	5,880,408.99

A-

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	02665WDZ1	AMERICAN HONDA FINANCE CORP	1,000,000.00	USD	09/09/2026	CORP	A-	A3	A-	A	894,214.44
City of Escondido	04636NAA1	ASTRAZENECA FINANCE LLC	700,000.00	USD	05/28/2026	CORP	A-	A3	A-	A-	632,205.00
City of Escondido	05531FBF9	TRUIST FINANCIAL CORP	800,000.00	USD	12/06/2023	CORP	A-	A3	A-	A	794,331.33
City of Escondido	06051GFB0	BANK OF AMERICA CORP	1,395,000.00	USD	01/22/2024	CORP	A-	A1	A-	AA-	1,408,250.76
City of Escondido	20030NCR0	COMCAST CORP	635,000.00	USD	04/15/2024	CORP	A-	A3	A-	A-	631,235.16
City of Escondido	254687FK7	WALT DISNEY CO	845,000.00	USD	08/30/2024	CORP	A-	A2	A-	A-	814,739.85
City of Escondido	369550BG2	GENERAL DYNAMICS CORP	700,000.00	USD	05/15/2025	CORP	A-	A3	A-	WR	682,697.56
City of Escondido	459200KM2	INTERNATIONAL BUSINESS MACHINES CORP	1,000,000.00	USD	02/09/2027	CORP	A-	A3	A-	NA	917,597.78
City of Escondido	46647PBH8	JPMORGAN CHASE & CO	750,000.00	USD	03/13/2026	CORP	A-	A1	A-	AA-	708,828.75
City of Escondido	46647PCH7	JPMORGAN CHASE & CO	585,000.00	USD	06/01/2025	CORP	A-	A1	A-	AA-	556,479.30
City of Escondido	61746BDQ6	MORGAN STANLEY	745,000.00	USD	04/29/2024	CORP	A-	A1	A-	A+	738,945.84
City of Escondido	61747YEM3	MORGAN STANLEY	310,000.00	USD	02/18/2026	CORP	A-	A1	A-	A+	296,864.18
City of Escondido	63743HFE7	NATIONAL RURAL UTILITIES COOPERATIVE FINANCE CORP	220,000.00	USD	06/15/2025	CORP	A-	A2	A-	A	211,922.33
City of Escondido	693475AY1	PNC FINANCIAL SERVICES GROUP INC	600,000.00	USD	11/01/2024	CORP	A-	A3	A-	A	572,248.00
City of Escondido	808513AY1	CHARLES SCHWAB CORP	815,000.00	USD	02/01/2024	CORP	A-	A2	A-	A	816,020.11
City of Escondido	91159HHX1	US BANCORP	845,000.00	USD	07/30/2024	CORP	A-	A3	A	A	823,475.03
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	200,000.00	USD	05/15/2027	CORP	A-	A3	A+	A	193,699.56
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	440,000.00	USD	05/15/2027	CORP	A-	A3	A+	A	426,139.02
City of Escondido	---	---	12,585,000.00	USD	03/31/2025	CORP	A-	A2	A-	A	12,119,893.99

Exposure - Credit Rating

City of Escondido (299155)

As of 06/30/2023

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Dated: 07/31/2023

BBB+

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	025816CQ0	AMERICAN EXPRESS CO	350,000.00	USD	03/04/2025	CORP	BBB+	A2	BBB+	A	334,012.88
City of Escondido	17290ADP2	CITIGROUP INC	1,000,000.00	USD	04/20/2026	CORP	BBB+	A3	BBB+	A	986,901.39
City of Escondido	172967MX6	CITIGROUP INC	270,000.00	USD	05/01/2025	CORP	BBB+	A3	BBB+	A	258,785.55
City of Escondido	172967MX6	CITIGROUP INC	255,000.00	USD	05/01/2025	CORP	BBB+	A3	BBB+	A	244,408.58
City of Escondido	17327CAN3	CITIGROUP INC	245,000.00	USD	01/25/2026	CORP	BBB+	A3	BBB+	A	232,259.35
City of Escondido	38141GXS8	GOLDMAN SACHS GROUP INC	650,000.00	USD	02/12/2026	CORP	BBB+	A2	BBB+	A	600,997.31
City of Escondido	38150AS97	GOLDMAN SACHS GROUP INC	1,000,000.00	USD	04/04/2025	CORP	BBB+	A2	BBB+	A	1,003,701.67
City of Escondido	---	---	3,770,000.00	USD	09/25/2025	CORP	BBB+	A2	BBB+	A	3,661,066.71

NA

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	650036DT0	NEW YORK ST URBAN DEV CORP REV	945,000.00	USD	03/15/2025	MUNI	NA	NA	NR	AA+	878,227.88
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	10,418,656.68	USD	06/30/2023	MMFUND	NA	NA	NA	NA	10,418,656.68
City of Escondido	---	---	11,363,656.68	USD	08/18/2023	---	NA	NA	---	AA+	11,296,884.56

Summary

Account	Identifier	Description	Ending Current Units	Currency	Ending Final Maturity	Security Type	Rating	Moody's Rating	S&P Rating	Fitch Rating	Ending Market Value + Accrued
City of Escondido	---	---	155,350,868.96	USD	04/04/2025	---	AA-	Aa2	AA-	AA	147,683,502.17

* Grouped by: Rating. * Groups Sorted by: Rating. * Weighted by: Ending Market Value + Accrued.

Overview

04/01/2023 - 06/30/2023

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City of Escondido (299155)

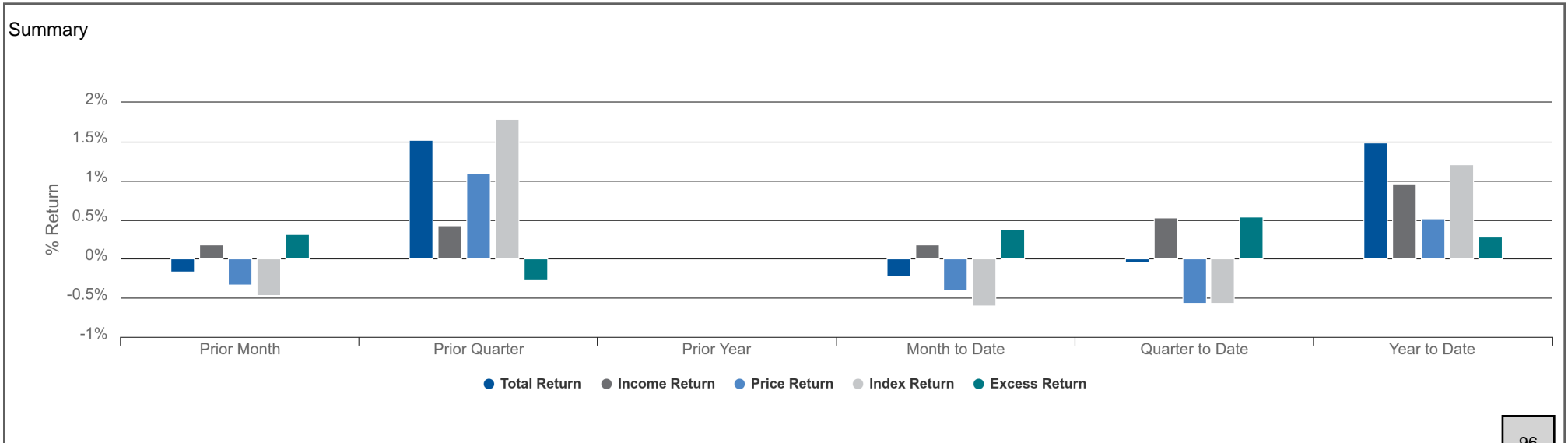
Dated: 07/31/2023

Compliance Overview	
Status	Compliant
As of	06/30/2023

Reconciliation Status	
Status	Reconciled
Last Reconciled For	07/28/2023

Cash and Fixed Income Summary	
Risk Metric	Value
Cash	0.00
MMFund	10,418,656.68
Fixed Income	137,264,845.49
Duration	1.690
Convexity	0.015
WAL	1.709
Years to Final Maturity	1.761
Years to Effective Maturity	1.725
Yield	5.100
Book Yield	1.851
Avg Credit Rating	AA-/Aa3/AA-

Balance Sheet	
Field	Value
Book Value + Accrued	154,570,106.91
Net Unrealized Gain/Loss	-6,886,604.73
Market Value + Accrued	147,683,502.17



Overview

04/01/2023 - 06/30/2023

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City of Escondido (299155)

Dated: 07/31/2023

Index: ICE BofA 1-5 Year US Corporate & Government Index.

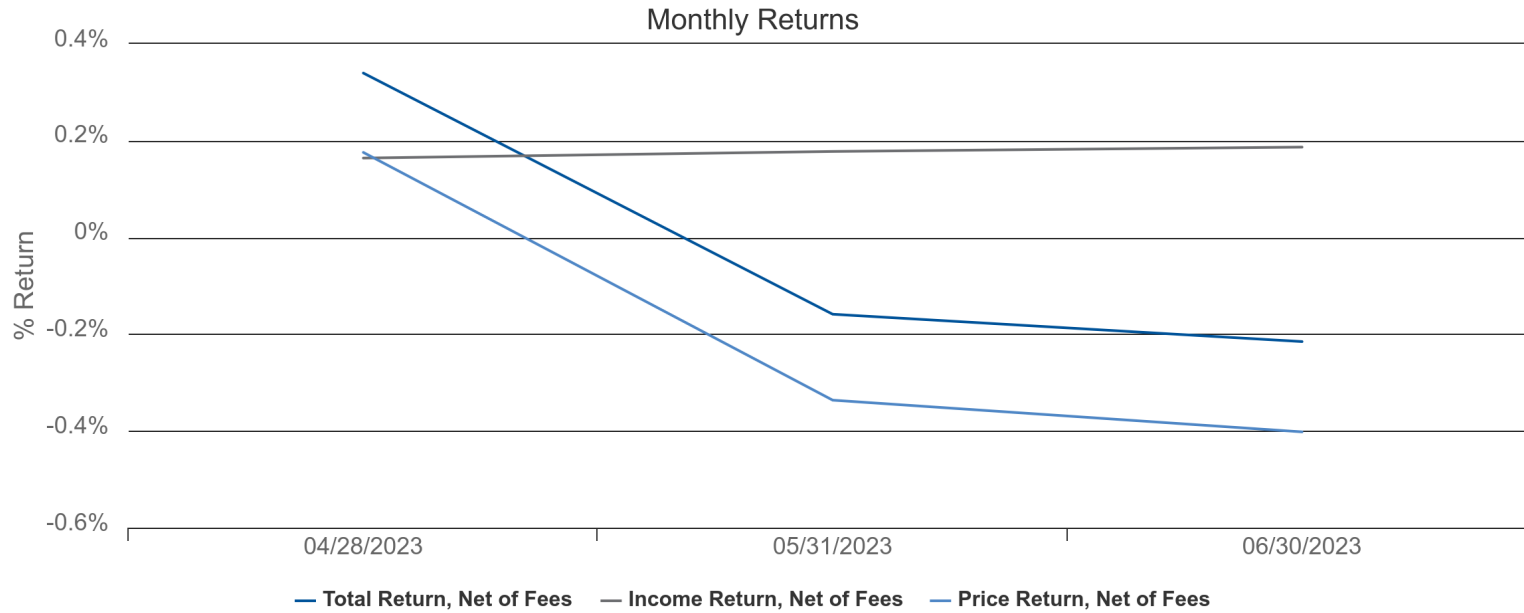
Returns

City of Escondido (299155)

04/01/2023 - 06/30/2023

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Dated: 07/31/2023



Period Begin	Period End	Total Return, Net of Fees	Income Return, Net of Fees	Price Return, Net of Fees
04/01/2023	04/28/2023	0.340%	0.164%	0.176%
04/29/2023	05/31/2023	-0.159%	0.178%	-0.336%
06/01/2023	06/30/2023	-0.215%	0.187%	-0.402%
---	---	---	---	---

Account	Index	Index Start Date	Index End Date
City of Escondido	ICE BofA 1-5 Year US Corporate & Government Index	08/02/2002	---

Net of Fees (includes management and trading).

Returns are actual and have not been annualized.

No Tax Adjustment.

Note that data will not exist prior to the performance inception date of: 04/01/2022.

Comparison

City of Escondido (299155)

As of 06/30/2023

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Dated: 07/31/2023

Account/Index	Base Market Value + Accrued	Trailing Month Total Return, Net of Fees	Trailing 3 Months Total Return, Net of Fees	Trailing 6 Months Total Return, Net of Fees	Trailing 12 Months Total Return, Net of Fees	Trailing 12 Months Information Ratio, Net of Fees	Trailing 12 Months Sharpe Ratio, Net of Fees	Trailing 12 Months Standard Deviation, Net of Fees	Trailing 12 Months Tracking Error, Net of Fees
ICE BofA 1-5 Year US Corporate & Government Index	---	-0.597%	-0.569%	1.205%	0.176%	---	---	0.192%	---
City of Escondido	147,683,502.17	-0.215%	-0.035%	1.487%	0.700%	0.018	0.010	0.133%	0.074%

Net of Fees (includes management and trading).

Returns are actual and have not been annualized.

No Tax Adjustment.

Note that data will not exist prior to the performance inception date of: 04/01/2022.

Reported Index Return is always Total Return.

Exposure - Security Type

City of Escondido (299155)

As of 06/30/2023

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Dated: 07/31/2023

Security Type

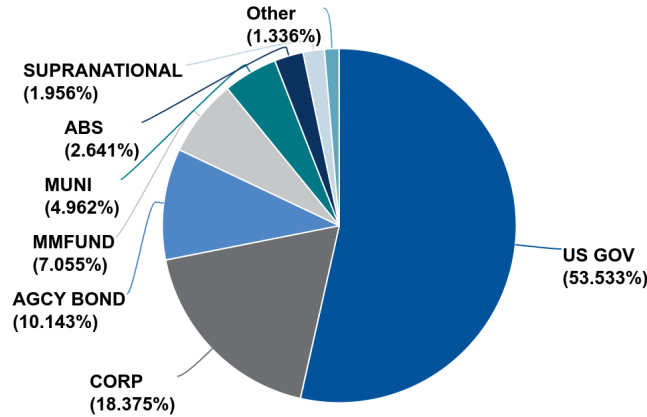


Chart calculated by: Ending Market Value + Accrued

US GOV

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	9128282A7	UNITED STATES TREASURY	1,900,000.00	USD	08/15/2026	US GOV	1,746,832.18
City of Escondido	9128282Y5	UNITED STATES TREASURY	795,000.00	USD	09/30/2024	US GOV	768,567.47
City of Escondido	9128283J7	UNITED STATES TREASURY	1,480,000.00	USD	11/30/2024	US GOV	1,419,882.20
City of Escondido	9128283V0	UNITED STATES TREASURY	280,000.00	USD	01/31/2025	US GOV	271,599.49
City of Escondido	9128285D8	UNITED STATES TREASURY	5,000,000.00	USD	09/30/2023	US GOV	5,006,433.88
City of Escondido	912828D56	UNITED STATES TREASURY	575,000.00	USD	08/15/2024	US GOV	561,351.02
City of Escondido	912828V80	UNITED STATES TREASURY	600,000.00	USD	01/31/2024	US GOV	594,735.22
City of Escondido	912828V98	UNITED STATES TREASURY	1,160,000.00	USD	02/15/2027	US GOV	1,088,106.72
City of Escondido	912828VS6	UNITED STATES TREASURY	2,000,000.00	USD	08/15/2023	US GOV	2,012,164.53
City of Escondido	912828W48	UNITED STATES TREASURY	95,000.00	USD	02/29/2024	US GOV	93,659.80
City of Escondido	912828W71	UNITED STATES TREASURY	2,650,000.00	USD	03/31/2024	US GOV	2,600,502.05
City of Escondido	912828W71	UNITED STATES TREASURY	1,420,000.00	USD	03/31/2024	US GOV	1,393,476.57
City of Escondido	912828XX3	UNITED STATES TREASURY	1,225,000.00	USD	06/30/2024	US GOV	1,184,629.33
City of Escondido	912828Y61	UNITED STATES TREASURY	145,000.00	USD	07/31/2023	US GOV	146,386.34
City of Escondido	912828Y87	UNITED STATES TREASURY	740,000.00	USD	07/31/2024	US GOV	717,045.00
City of Escondido	912828Y95	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2026	US GOV	1,866,822.27
City of Escondido	912828YM6	UNITED STATES TREASURY	635,000.00	USD	10/31/2024	US GOV	605,673.91
City of Escondido	912828ZL7	UNITED STATES TREASURY	3,375,000.00	USD	04/30/2025	US GOV	3,106,862.30
City of Escondido	912828ZT0	UNITED STATES TREASURY	2,000,000.00	USD	05/31/2025	US GOV	1,830,343.50
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	1,997,833.31
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	1,997,833.31
City of Escondido	91282CAB7	UNITED STATES TREASURY	2,380,000.00	USD	07/31/2025	US GOV	2,167,829.71
City of Escondido	91282CAD3	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2027	US GOV	1,740,599.45
City of Escondido	91282CAM3	UNITED STATES TREASURY	620,000.00	USD	09/30/2025	US GOV	600,000.00

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City of Escondido (299155)

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	91282CBC4	UNITED STATES TREASURY	1,200,000.00	USD	12/31/2025	US GOV	1,081,416.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	800,000.00	USD	01/31/2026	US GOV	719,379.38
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,280,000.00	USD	01/31/2026	US GOV	1,151,007.01
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,000,000.00	USD	01/31/2026	US GOV	899,224.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	645,000.00	USD	01/31/2026	US GOV	579,999.63
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,600,000.00	USD	01/31/2026	US GOV	1,438,758.76
City of Escondido	91282CBQ3	UNITED STATES TREASURY	400,000.00	USD	02/28/2026	US GOV	359,920.48
City of Escondido	91282CBQ3	UNITED STATES TREASURY	3,000,000.00	USD	02/28/2026	US GOV	2,699,403.59
City of Escondido	91282CBT7	UNITED STATES TREASURY	2,000,000.00	USD	03/31/2026	US GOV	1,811,030.49
City of Escondido	91282CBV2	UNITED STATES TREASURY	4,350,000.00	USD	04/15/2024	US GOV	4,184,521.36
City of Escondido	91282CCF6	UNITED STATES TREASURY	1,680,000.00	USD	05/31/2026	US GOV	1,509,656.81
City of Escondido	91282CCF6	UNITED STATES TREASURY	2,400,000.00	USD	05/31/2026	US GOV	2,156,652.59
City of Escondido	91282CCJ8	UNITED STATES TREASURY	360,000.00	USD	06/30/2026	US GOV	324,289.36
City of Escondido	91282CCJ8	UNITED STATES TREASURY	2,050,000.00	USD	06/30/2026	US GOV	1,846,647.74
City of Escondido	91282CCN9	UNITED STATES TREASURY	240,000.00	USD	07/31/2023	US GOV	239,201.14
City of Escondido	91282CCU3	UNITED STATES TREASURY	900,000.00	USD	08/31/2023	US GOV	892,996.02
City of Escondido	91282CDA6	UNITED STATES TREASURY	800,000.00	USD	09/30/2023	US GOV	790,774.73
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,350,000.00	USD	10/31/2023	US GOV	2,314,495.71
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,000,000.00	USD	10/31/2023	US GOV	1,969,783.59
City of Escondido	91282CDG3	UNITED STATES TREASURY	5,000,000.00	USD	10/31/2026	US GOV	4,503,826.90
City of Escondido	91282CDG3	UNITED STATES TREASURY	400,000.00	USD	10/31/2026	US GOV	360,306.15
City of Escondido	91282CDG3	UNITED STATES TREASURY	500,000.00	USD	10/31/2026	US GOV	450,382.69
City of Escondido	91282CDG3	UNITED STATES TREASURY	1,000,000.00	USD	10/31/2026	US GOV	900,765.38
City of Escondido	91282CDH1	UNITED STATES TREASURY	5,000,000.00	USD	11/15/2024	US GOV	4,706,539.40
City of Escondido	91282CDZ1	UNITED STATES TREASURY	1,175,000.00	USD	02/15/2025	US GOV	1,115,480.80
City of Escondido	91282CEN7	UNITED STATES TREASURY	2,000,000.00	USD	04/30/2027	US GOV	1,897,866.30
City of Escondido	91282CER8	UNITED STATES TREASURY	800,000.00	USD	05/31/2024	US GOV	780,821.99
City of Escondido	91282CFB2	UNITED STATES TREASURY	1,000,000.00	USD	07/31/2027	US GOV	953,850.99
City of Escondido	91282CFH9	UNITED STATES TREASURY	1,000,000.00	USD	08/31/2027	US GOV	966,504.97
City of Escondido	---	UNITED STATES TREASURY	84,005,000.00	USD	04/28/2025	US GOV	79,059,433.62

CORP

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	002824BE9	ABBOTT LABORATORIES	825,000.00	USD	11/30/2023	CORP	820,097.67
City of Escondido	023135BR6	AMAZON.COM INC	500,000.00	USD	06/03/2027	CORP	439,046.67
City of Escondido	025816CQ0	AMERICAN EXPRESS CO	350,000.00	USD	03/04/2025	CORP	334,012.88
City of Escondido	02665WDZ1	AMERICAN HONDA FINANCE CORP	1,000,000.00	USD	09/09/2026	CORP	894,214.44
City of Escondido	04636NAA1	ASTRAZENECA FINANCE LLC	700,000.00	USD	05/28/2026	CORP	632,205.00
City of Escondido	05531FBF9	TRUIST FINANCIAL CORP	800,000.00	USD	12/06/2023	CORP	794,331.33
City of Escondido	05565EBK0	BMW US CAPITAL LLC	575,000.00	USD	04/09/2025	CORP	565,922.67
City of Escondido	05565EBU8	BMW US CAPITAL LLC	215,000.00	USD	08/12/2024	CORP	204,595.25
City of Escondido	06051GFB0	BANK OF AMERICA CORP	1,395,000.00	USD	01/22/2024	CORP	1,408,250.76
City of Escondido	06406RBC0	BANK OF NEW YORK MELLON CORP	1,000,000.00	USD	04/25/2025	CORP	967,651.67
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	250,000.00	USD	11/13/2025	CORP	227,367.50
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	353,000.00	USD	11/13/2025	CORP	321,042.91
City of Escondido	14913R2U0	CATERPILLAR FINANCIAL SERVICES CORP	800,000.00	USD	01/08/2027	CORP	728,383.56
City of Escondido	166764BW9	CHEVRON CORP	425,000.00	USD	05/11/2025	CORP	399,099.79
City of Escondido	17290ADP2	CITIGROUP INC	1,000,000.00	USD	04/20/2026	CORP	986,901.39
City of Escondido	172967MX6	CITIGROUP INC	270,000.00	USD	05/01/2025	CORP	258,785.55
City of Escondido	172967MX6	CITIGROUP INC	255,000.00	USD	05/01/2025	CORP	244,408.58
City of Escondido	17327CAN3	CITIGROUP INC	245,000.00	USD	01/25/2026	CORP	

Exposure - Security Type

City of Escondido (299155)

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	191216CU2	COCA-COLA CO	1,500,000.00	USD	06/01/2027	CORP	1,342,242.50
City of Escondido	20030NCR0	COMCAST CORP	635,000.00	USD	04/15/2024	CORP	631,235.16
City of Escondido	24422EWA3	JOHN DEERE CAPITAL CORP	800,000.00	USD	01/11/2027	CORP	729,198.22
City of Escondido	254687FK7	WALT DISNEY CO	845,000.00	USD	08/30/2024	CORP	814,739.85
City of Escondido	369550BG2	GENERAL DYNAMICS CORP	700,000.00	USD	05/15/2025	CORP	682,697.56
City of Escondido	38141GXS8	GOLDMAN SACHS GROUP INC	650,000.00	USD	02/12/2026	CORP	600,997.31
City of Escondido	38150AS97	GOLDMAN SACHS GROUP INC	1,000,000.00	USD	04/04/2025	CORP	1,003,701.67
City of Escondido	437076CM2	HOME DEPOT INC	105,000.00	USD	04/15/2025	CORP	101,283.00
City of Escondido	438516CE4	HONEYWELL INTERNATIONAL INC	700,000.00	USD	03/01/2027	CORP	619,539.67
City of Escondido	459200KM2	INTERNATIONAL BUSINESS MACHINES CORP	1,000,000.00	USD	02/09/2027	CORP	917,597.78
City of Escondido	46647PBH8	JPMORGAN CHASE & CO	750,000.00	USD	03/13/2026	CORP	708,828.75
City of Escondido	46647PCH7	JPMORGAN CHASE & CO	585,000.00	USD	06/01/2025	CORP	556,479.30
City of Escondido	61746BDQ6	MORGAN STANLEY	745,000.00	USD	04/29/2024	CORP	738,945.84
City of Escondido	61747YEM3	MORGAN STANLEY	310,000.00	USD	02/18/2026	CORP	296,864.18
City of Escondido	63743HFE7	NATIONAL RURAL UTILITIES COOPERATIVE FINANCE CORP	220,000.00	USD	06/15/2025	CORP	211,922.33
City of Escondido	665859AW4	NORTHERN TRUST CORP	670,000.00	USD	05/10/2027	CORP	649,133.97
City of Escondido	693475AY1	PNC FINANCIAL SERVICES GROUP INC	600,000.00	USD	11/01/2024	CORP	572,248.00
City of Escondido	771196BT8	ROCHE HOLDINGS INC	1,295,000.00	USD	03/10/2025	CORP	1,238,529.80
City of Escondido	808513AY1	CHARLES SCHWAB CORP	815,000.00	USD	02/01/2024	CORP	816,020.11
City of Escondido	87612EBM7	TARGET CORP	180,000.00	USD	01/15/2027	CORP	166,183.50
City of Escondido	87612EBM7	TARGET CORP	650,000.00	USD	01/15/2027	CORP	600,107.08
City of Escondido	89236TDK8	TOYOTA MOTOR CREDIT CORP	1,090,000.00	USD	10/18/2023	CORP	1,083,876.93
City of Escondido	904764BN6	UNILEVER CAPITAL CORP	160,000.00	USD	08/12/2024	CORP	151,901.93
City of Escondido	91159HHX1	US BANCORP	845,000.00	USD	07/30/2024	CORP	823,475.03
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	200,000.00	USD	05/15/2027	CORP	193,699.56
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	440,000.00	USD	05/15/2027	CORP	426,139.02
City of Escondido	---	---	28,448,000.00	USD	08/08/2025	CORP	27,136,164.98

AGCY BOND

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	3130ATKJ5	FEDERAL HOME LOAN BANKS	1,300,000.00	USD	03/08/2024	AGCY BOND	1,304,488.43
City of Escondido	3130AV7F3	FEDERAL HOME LOAN BANKS	1,000,000.00	USD	06/14/2024	AGCY BOND	999,659.17
City of Escondido	3130AVDA7	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/27/2026	AGCY BOND	1,417,005.33
City of Escondido	3130AVDD1	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	09/27/2024	AGCY BOND	1,416,722.22
City of Escondido	3130AVE24	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/28/2024	AGCY BOND	1,417,519.83
City of Escondido	3133EMAC6	FEDERAL FARM CREDIT BANKS FUNDING CORP	1,000,000.00	USD	09/21/2027	AGCY BOND	863,903.33
City of Escondido	3134GWYS9	FEDERAL HOME LOAN MORTGAGE CORP	1,000,000.00	USD	10/15/2025	AGCY BOND	909,356.67
City of Escondido	3134GYMX7	FEDERAL HOME LOAN MORTGAGE CORP	1,400,000.00	USD	12/29/2025	AGCY BOND	1,413,796.22
City of Escondido	3135G05X7	FEDERAL NATIONAL MORTGAGE ASSOCIATION	2,000,000.00	USD	08/25/2025	AGCY BOND	1,822,125.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	360,000.00	USD	11/07/2025	AGCY BOND	326,466.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	1,125,000.00	USD	11/07/2025	AGCY BOND	1,020,206.25
City of Escondido	3137EAEP0	FEDERAL HOME LOAN MORTGAGE CORP	790,000.00	USD	02/12/2025	AGCY BOND	750,193.22
City of Escondido	3137EAEP7	FEDERAL HOME LOAN MORTGAGE CORP	275,000.00	USD	08/24/2023	AGCY BOND	273,314.78
City of Escondido	3137EAEX3	FEDERAL HOME LOAN MORTGAGE CORP	1,150,000.00	USD	09/23/2025	AGCY BOND	1,044,407.96
City of Escondido	---	---	15,600,000.00	USD	05/26/2025	AGCY BOND	14,979,164.42

MMFUND

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	10,418,656.68	USD	06/30/2023	MMFUND	10,418,656.68
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	10,418,656.68	USD	06/30/2023	MMFUND	10,418,656.68

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MUNI

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	20772KEW5	CONNECTICUT ST	630,000.00	USD	09/15/2025	MUNI	618,383.46
City of Escondido	20772KJW0	CONNECTICUT ST	150,000.00	USD	07/01/2024	MUNI	146,431.50
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	400,000.00	USD	07/01/2025	MUNI	371,820.00
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	155,000.00	USD	07/01/2025	MUNI	144,080.25
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	150,000.00	USD	07/01/2025	MUNI	139,432.50
City of Escondido	542411NH2	LONG BEACH CALIF CMNTY COLLEGE DIST	350,000.00	USD	08/01/2023	MUNI	351,540.88
City of Escondido	54438CYK2	LOS ANGELES CALIF CMNTY COLLEGE DIST	410,000.00	USD	08/01/2025	MUNI	373,920.34
City of Escondido	544647FC9	LOS ANGELES CALIF UNI SCH DIST	310,000.00	USD	07/01/2026	MUNI	279,705.25
City of Escondido	574193TQ1	MARYLAND ST	375,000.00	USD	08/01/2024	MUNI	356,814.38
City of Escondido	60412AVJ9	MINNESOTA ST	275,000.00	USD	08/01/2025	MUNI	251,725.38
City of Escondido	605581MZ7	MISSISSIPPI ST	120,000.00	USD	11/01/2024	MUNI	112,773.80
City of Escondido	650036DT0	NEW YORK ST URBAN DEV CORP REV	945,000.00	USD	03/15/2025	MUNI	878,227.88
City of Escondido	697511FB4	PALOMAR CALIF CMNTY COLLEGE DIST	440,000.00	USD	08/01/2024	MUNI	419,974.87
City of Escondido	797272QP9	SAN DIEGO CALIF CMNTY COLLEGE DIST	245,000.00	USD	08/01/2024	MUNI	238,398.48
City of Escondido	797412DM2	SAN DIEGO CNTY CALIF WTR AUTH WTR REV	480,000.00	USD	05/01/2025	MUNI	443,240.80
City of Escondido	798306WN2	SAN JUAN CALIF UNI SCH DIST	415,000.00	USD	08/01/2024	MUNI	394,741.78
City of Escondido	799408Z85	SAN RAMON VALLEY CALIF UNI SCH DIST	405,000.00	USD	08/01/2025	MUNI	372,010.05
City of Escondido	91412HGE7	UNIVERSITY CALIF REVS	375,000.00	USD	05/15/2025	MUNI	347,594.35
City of Escondido	923040GU7	VENTURA CNTY CALIF CMNTY COLLEGE DIST	490,000.00	USD	08/01/2024	MUNI	475,545.00
City of Escondido	977123X60	WISCONSIN (STATE OF)	640,000.00	USD	07/01/2024	MUNI	611,328.00
City of Escondido	---	---	7,760,000.00	USD	01/27/2025	MUNI	7,327,688.93

ABS

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	05602RAD3	BMWOT 2022-A A3	380,000.00	USD	08/25/2026	ABS	369,628.01
City of Escondido	14041NFY2	COMET 2021-3 A	715,000.00	USD	11/16/2026	ABS	673,087.22
City of Escondido	254683CS2	DCENT 2022-2 A	715,000.00	USD	05/17/2027	ABS	689,464.17
City of Escondido	345286AC2	FORDO 2022-A A3	255,000.00	USD	06/15/2026	ABS	245,028.85
City of Escondido	380146AC4	GMCAR 2022-1 A3	285,000.00	USD	11/16/2026	ABS	272,380.88
City of Escondido	43815GAC3	HAROT 2021-4 A3	285,000.00	USD	01/21/2026	ABS	273,602.21
City of Escondido	448977AD0	HART 2022-A A3	720,000.00	USD	10/15/2026	ABS	691,726.80
City of Escondido	50117XAE2	KCOT 212 A3	366,104.73	USD	11/17/2025	ABS	350,297.64
City of Escondido	98163KAC6	WOART 2021-D A3	350,000.00	USD	10/15/2026	ABS	335,554.31
City of Escondido	---	---	4,071,104.73	USD	09/30/2026	ABS	3,900,770.09

SUPRANATIONAL

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	4581X0DK1	INTER-AMERICAN DEVELOPMENT BANK	835,000.00	USD	03/14/2025	SUPRANATIONAL	793,810.61
City of Escondido	4581X0DZ8	INTER-AMERICAN DEVELOPMENT BANK	1,530,000.00	USD	09/23/2024	SUPRANATIONAL	1,443,373.10
City of Escondido	459058JM6	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM	665,000.00	USD	11/24/2023	SUPRANATIONAL	651,970.62
City of Escondido	---	---	3,030,000.00	USD	09/02/2024	SUPRANATIONAL	2,889,154.33

FHLMC

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	3137BGK24	FHMS K-043 A2	665,000.00	USD	12/25/2024	FHLMC	644,629.30
City of Escondido	3137BTU25	FHMS K-724 A2	329,723.73	USD	11/25/2023	FHLMC	327,571.78
City of Escondido	---	---	994,723.73	USD	08/14/2024	FHLMC	

Exposure - Security Type

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FHLMC CMO

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	3137FBTA4	FHMS K-728 A2	845,314.29	USD	08/25/2024	FHLMC CMO	825,030.32
City of Escondido	3137FBTA4	FHMS K-728 A2	845,314.29	USD	08/25/2024	FHLMC CMO	825,030.32

FNMA

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	3136AJB54	FNA 2014-M04 A2	178,069.53	USD	03/25/2024	FNMA	175,237.73
City of Escondido	3136AJB54	FNA 2014-M04 A2	178,069.53	USD	03/25/2024	FNMA	175,237.73

CASH

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	CCYUSD	Cash	0.00	USD	06/30/2023	CASH	0.00
City of Escondido	CCYUSD	Payable	-24,500.00	USD	06/30/2023	CASH	-24,500.00
City of Escondido	CCYUSD	Receivable	24,500.00	USD	06/30/2023	CASH	24,500.00
City of Escondido	CCYUSD	---	0.00	USD	06/30/2023	CASH	0.00

Summary

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Ending Market Value + Accrued
City of Escondido	---	---	155,350,868.96	USD	04/04/2025	---	147,683,502.17

* Grouped by: Security Type. * Groups Sorted by: Ending Market Value + Accrued. * Weighted by: Ending Market Value + Accrued.

Exposure - Market Sector

City of Escondido (299155)

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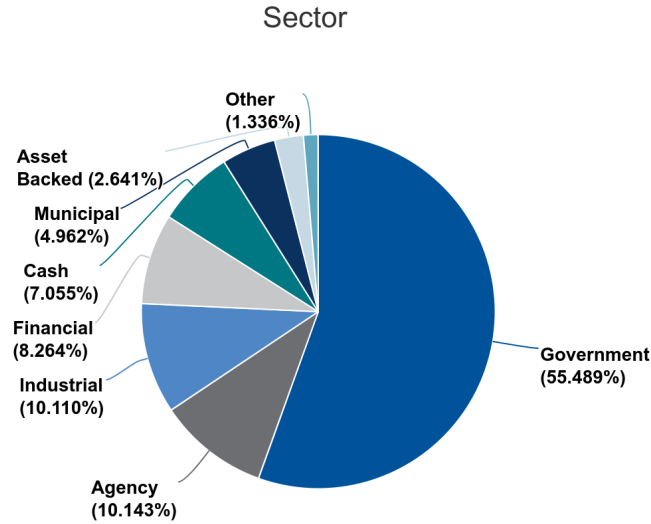


Chart calculated by: Ending Market Value + Accrued

Government

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	4581X0DK1	INTER-AMERICAN DEVELOPMENT BANK	835,000.00	USD	03/14/2025	SUPRANATIONAL	Government	793,810.61
City of Escondido	4581X0DZ8	INTER-AMERICAN DEVELOPMENT BANK	1,530,000.00	USD	09/23/2024	SUPRANATIONAL	Government	1,443,373.10
City of Escondido	459058JM6	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM	665,000.00	USD	11/24/2023	SUPRANATIONAL	Government	651,970.62
City of Escondido	9128282A7	UNITED STATES TREASURY	1,900,000.00	USD	08/15/2026	US GOV	Government	1,746,832.18
City of Escondido	9128282Y5	UNITED STATES TREASURY	795,000.00	USD	09/30/2024	US GOV	Government	768,567.47
City of Escondido	9128283J7	UNITED STATES TREASURY	1,480,000.00	USD	11/30/2024	US GOV	Government	1,419,882.20
City of Escondido	9128283V0	UNITED STATES TREASURY	280,000.00	USD	01/31/2025	US GOV	Government	271,599.49
City of Escondido	9128285D8	UNITED STATES TREASURY	5,000,000.00	USD	09/30/2023	US GOV	Government	5,006,433.88
City of Escondido	912828D56	UNITED STATES TREASURY	575,000.00	USD	08/15/2024	US GOV	Government	561,351.02
City of Escondido	912828V80	UNITED STATES TREASURY	600,000.00	USD	01/31/2024	US GOV	Government	594,735.22
City of Escondido	912828V98	UNITED STATES TREASURY	1,160,000.00	USD	02/15/2027	US GOV	Government	1,088,106.72
City of Escondido	912828VS6	UNITED STATES TREASURY	2,000,000.00	USD	08/15/2023	US GOV	Government	2,012,164.53
City of Escondido	912828W48	UNITED STATES TREASURY	95,000.00	USD	02/29/2024	US GOV	Government	93,659.80
City of Escondido	912828W71	UNITED STATES TREASURY	2,650,000.00	USD	03/31/2024	US GOV	Government	2,600,502.05
City of Escondido	912828W71	UNITED STATES TREASURY	1,420,000.00	USD	03/31/2024	US GOV	Government	1,393,476.57
City of Escondido	912828XX3	UNITED STATES TREASURY	1,225,000.00	USD	06/30/2024	US GOV	Government	1,184,629.33
City of Escondido	912828Y61	UNITED STATES TREASURY	145,000.00	USD	07/31/2023	US GOV	Government	146,386.34
City of Escondido	912828Y87	UNITED STATES TREASURY	740,000.00	USD	07/31/2024	US GOV	Government	717,045.00
City of Escondido	912828Y95	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2026	US GOV	Government	1,866,822.27
City of Escondido	912828YM6	UNITED STATES TREASURY	635,000.00	USD	10/31/2024	US GOV	Government	605,673.91
City of Escondido	912828ZL7	UNITED STATES TREASURY	3,375,000.00	USD	04/30/2025	US GOV	Government	3,106,862.30
City of Escondido	912828ZT0	UNITED STATES TREASURY	2,000,000.00	USD	05/31/2025	US GOV	Government	1,910,000.00

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	Government	1,997,833.31
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	Government	1,997,833.31
City of Escondido	91282CAB7	UNITED STATES TREASURY	2,380,000.00	USD	07/31/2025	US GOV	Government	2,167,829.71
City of Escondido	91282CAD3	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2027	US GOV	Government	1,713,528.45
City of Escondido	91282CAM3	UNITED STATES TREASURY	620,000.00	USD	09/30/2025	US GOV	Government	561,830.62
City of Escondido	91282CBC4	UNITED STATES TREASURY	1,200,000.00	USD	12/31/2025	US GOV	Government	1,081,416.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	800,000.00	USD	01/31/2026	US GOV	Government	719,379.38
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,280,000.00	USD	01/31/2026	US GOV	Government	1,151,007.01
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,000,000.00	USD	01/31/2026	US GOV	Government	899,224.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	645,000.00	USD	01/31/2026	US GOV	Government	579,999.63
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,600,000.00	USD	01/31/2026	US GOV	Government	1,438,758.76
City of Escondido	91282CBQ3	UNITED STATES TREASURY	400,000.00	USD	02/28/2026	US GOV	Government	359,920.48
City of Escondido	91282CBQ3	UNITED STATES TREASURY	3,000,000.00	USD	02/28/2026	US GOV	Government	2,699,403.59
City of Escondido	91282CBT7	UNITED STATES TREASURY	2,000,000.00	USD	03/31/2026	US GOV	Government	1,811,030.49
City of Escondido	91282CBV2	UNITED STATES TREASURY	4,350,000.00	USD	04/15/2024	US GOV	Government	4,184,521.36
City of Escondido	91282CCF6	UNITED STATES TREASURY	1,680,000.00	USD	05/31/2026	US GOV	Government	1,509,656.81
City of Escondido	91282CCF6	UNITED STATES TREASURY	2,400,000.00	USD	05/31/2026	US GOV	Government	2,156,652.59
City of Escondido	91282CCJ8	UNITED STATES TREASURY	360,000.00	USD	06/30/2026	US GOV	Government	324,289.36
City of Escondido	91282CCJ8	UNITED STATES TREASURY	2,050,000.00	USD	06/30/2026	US GOV	Government	1,846,647.74
City of Escondido	91282CCN9	UNITED STATES TREASURY	240,000.00	USD	07/31/2023	US GOV	Government	239,201.14
City of Escondido	91282CCU3	UNITED STATES TREASURY	900,000.00	USD	08/31/2023	US GOV	Government	892,996.02
City of Escondido	91282CDA6	UNITED STATES TREASURY	800,000.00	USD	09/30/2023	US GOV	Government	790,774.73
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,350,000.00	USD	10/31/2023	US GOV	Government	2,314,495.71
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,000,000.00	USD	10/31/2023	US GOV	Government	1,969,783.59
City of Escondido	91282CDG3	UNITED STATES TREASURY	5,000,000.00	USD	10/31/2026	US GOV	Government	4,503,826.90
City of Escondido	91282CDG3	UNITED STATES TREASURY	400,000.00	USD	10/31/2026	US GOV	Government	360,306.15
City of Escondido	91282CDG3	UNITED STATES TREASURY	500,000.00	USD	10/31/2026	US GOV	Government	450,382.69
City of Escondido	91282CDG3	UNITED STATES TREASURY	1,000,000.00	USD	10/31/2026	US GOV	Government	900,765.38
City of Escondido	91282CDH1	UNITED STATES TREASURY	5,000,000.00	USD	11/15/2024	US GOV	Government	4,706,539.40
City of Escondido	91282CDZ1	UNITED STATES TREASURY	1,175,000.00	USD	02/15/2025	US GOV	Government	1,115,480.80
City of Escondido	91282CEN7	UNITED STATES TREASURY	2,000,000.00	USD	04/30/2027	US GOV	Government	1,897,866.30
City of Escondido	91282CER8	UNITED STATES TREASURY	800,000.00	USD	05/31/2024	US GOV	Government	780,821.99
City of Escondido	91282CFB2	UNITED STATES TREASURY	1,000,000.00	USD	07/31/2027	US GOV	Government	953,850.99
City of Escondido	91282CFH9	UNITED STATES TREASURY	1,000,000.00	USD	08/31/2027	US GOV	Government	966,504.97
City of Escondido	---	---	87,035,000.00	USD	04/20/2025	---	Government	81,948,587.94

Agency

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	3130ATKJ5	FEDERAL HOME LOAN BANKS	1,300,000.00	USD	03/08/2024	AGCY BOND	Agency	1,304,488.43
City of Escondido	3130AV7F3	FEDERAL HOME LOAN BANKS	1,000,000.00	USD	06/14/2024	AGCY BOND	Agency	999,659.17
City of Escondido	3130AVDA7	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/27/2026	AGCY BOND	Agency	1,417,005.33
City of Escondido	3130AVDD1	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	09/27/2024	AGCY BOND	Agency	1,416,722.22
City of Escondido	3130AVE24	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/28/2024	AGCY BOND	Agency	1,417,519.83
City of Escondido	3133EMAC6	FEDERAL FARM CREDIT BANKS FUNDING CORP	1,000,000.00	USD	09/21/2027	AGCY BOND	Agency	863,903.33
City of Escondido	3134GWYS9	FEDERAL HOME LOAN MORTGAGE CORP	1,000,000.00	USD	10/15/2025	AGCY BOND	Agency	909,356.67
City of Escondido	3134GYMX7	FEDERAL HOME LOAN MORTGAGE CORP	1,400,000.00	USD	12/29/2025	AGCY BOND	Agency	1,413,796.22
City of Escondido	3135G05X7	FEDERAL NATIONAL MORTGAGE ASSOCIATION	2,000,000.00	USD	08/25/2025	AGCY BOND	Agency	1,822,125.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	360,000.00	USD	11/07/2025	AGCY BOND	Agency	326,466.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	1,125,000.00	USD	11/07/2025	AGCY BOND	Agency	1,020,206.25
City of Escondido	3137EAEP0	FEDERAL HOME LOAN MORTGAGE CORP	790,000.00	USD	02/12/2025	AGCY BOND	Agency	790,000.00

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	3137EAEV7	FEDERAL HOME LOAN MORTGAGE CORP	275,000.00	USD	08/24/2023	AGCY BOND	Agency	273,314.78
City of Escondido	3137EAEX3	FEDERAL HOME LOAN MORTGAGE CORP	1,150,000.00	USD	09/23/2025	AGCY BOND	Agency	1,044,407.96
City of Escondido	---	---	15,600,000.00	USD	05/26/2025	AGCY BOND	Agency	14,979,164.42

Industrial

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	002824BE9	ABBOTT LABORATORIES	825,000.00	USD	11/30/2023	CORP	Industrial	820,097.67
City of Escondido	023135BR6	AMAZON.COM INC	500,000.00	USD	06/03/2027	CORP	Industrial	439,046.67
City of Escondido	02665WDZ1	AMERICAN HONDA FINANCE CORP	1,000,000.00	USD	09/09/2026	CORP	Industrial	894,214.44
City of Escondido	04636NAA1	ASTRAZENECA FINANCE LLC	700,000.00	USD	05/28/2026	CORP	Industrial	632,205.00
City of Escondido	05565EBK0	BMW US CAPITAL LLC	575,000.00	USD	04/09/2025	CORP	Industrial	565,922.67
City of Escondido	05565EBU8	BMW US CAPITAL LLC	215,000.00	USD	08/12/2024	CORP	Industrial	204,595.25
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	250,000.00	USD	11/13/2025	CORP	Industrial	227,367.50
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	353,000.00	USD	11/13/2025	CORP	Industrial	321,042.91
City of Escondido	14913R2U0	CATERPILLAR FINANCIAL SERVICES CORP	800,000.00	USD	01/08/2027	CORP	Industrial	728,383.56
City of Escondido	166764BW9	CHEVRON CORP	425,000.00	USD	05/11/2025	CORP	Industrial	399,099.79
City of Escondido	191216CU2	COCA-COLA CO	1,500,000.00	USD	06/01/2027	CORP	Industrial	1,342,242.50
City of Escondido	20030NCR0	COMCAST CORP	635,000.00	USD	04/15/2024	CORP	Industrial	631,235.16
City of Escondido	24422EWA3	JOHN DEERE CAPITAL CORP	800,000.00	USD	01/11/2027	CORP	Industrial	729,198.22
City of Escondido	254687FK7	WALT DISNEY CO	845,000.00	USD	08/30/2024	CORP	Industrial	814,739.85
City of Escondido	369550BG2	GENERAL DYNAMICS CORP	700,000.00	USD	05/15/2025	CORP	Industrial	682,697.56
City of Escondido	437076CM2	HOME DEPOT INC	105,000.00	USD	04/15/2025	CORP	Industrial	101,283.00
City of Escondido	438516CE4	HONEYWELL INTERNATIONAL INC	700,000.00	USD	03/01/2027	CORP	Industrial	619,539.67
City of Escondido	459200KM2	INTERNATIONAL BUSINESS MACHINES CORP	1,000,000.00	USD	02/09/2027	CORP	Industrial	917,597.78
City of Escondido	771196BT8	ROCHE HOLDINGS INC	1,295,000.00	USD	03/10/2025	CORP	Industrial	1,238,529.80
City of Escondido	87612EBM7	TARGET CORP	180,000.00	USD	01/15/2027	CORP	Industrial	166,183.50
City of Escondido	87612EBM7	TARGET CORP	650,000.00	USD	01/15/2027	CORP	Industrial	600,107.08
City of Escondido	89236TDK8	TOYOTA MOTOR CREDIT CORP	1,090,000.00	USD	10/18/2023	CORP	Industrial	1,083,876.93
City of Escondido	904764BN6	UNILEVER CAPITAL CORP	160,000.00	USD	08/12/2024	CORP	Industrial	151,901.93
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	200,000.00	USD	05/15/2027	CORP	Industrial	193,699.56
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	440,000.00	USD	05/15/2027	CORP	Industrial	426,139.02
City of Escondido	---	---	15,943,000.00	USD	12/13/2025	CORP	Industrial	14,930,946.99

Financial

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	025816CQ0	AMERICAN EXPRESS CO	350,000.00	USD	03/04/2025	CORP	Financial	334,012.88
City of Escondido	05531FBF9	TRUIST FINANCIAL CORP	800,000.00	USD	12/06/2023	CORP	Financial	794,331.33
City of Escondido	06051GFB0	BANK OF AMERICA CORP	1,395,000.00	USD	01/22/2024	CORP	Financial	1,408,250.76
City of Escondido	06406RBC0	BANK OF NEW YORK MELLON CORP	1,000,000.00	USD	04/25/2025	CORP	Financial	967,651.67
City of Escondido	17290ADP2	CITIGROUP INC	1,000,000.00	USD	04/20/2026	CORP	Financial	986,901.39
City of Escondido	172967MX6	CITIGROUP INC	270,000.00	USD	05/01/2025	CORP	Financial	258,785.55
City of Escondido	172967MX6	CITIGROUP INC	255,000.00	USD	05/01/2025	CORP	Financial	244,408.58
City of Escondido	17327CAN3	CITIGROUP INC	245,000.00	USD	01/25/2026	CORP	Financial	232,259.35
City of Escondido	38141GXS8	GOLDMAN SACHS GROUP INC	650,000.00	USD	02/12/2026	CORP	Financial	600,997.31
City of Escondido	38150AS97	GOLDMAN SACHS GROUP INC	1,000,000.00	USD	04/04/2025	CORP	Financial	1,003,701.67
City of Escondido	46647PBH8	JPMORGAN CHASE & CO	750,000.00	USD	03/13/2026	CORP	Financial	708,828.75
City of Escondido	46647PCH7	JPMORGAN CHASE & CO	585,000.00	USD	06/01/2025	CORP	Financial	556,479.30
City of Escondido	61746BDQ6	MORGAN STANLEY	745,000.00	USD	04/29/2024	CORP	Financial	

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	61747YEM3	MORGAN STANLEY	310,000.00	USD	02/18/2026	CORP	Financial	296,864.18
City of Escondido	63743HFE7	NATIONAL RURAL UTILITIES COOPERATIVE FINANCE CORP	220,000.00	USD	06/15/2025	CORP	Financial	211,922.33
City of Escondido	665859AW4	NORTHERN TRUST CORP	670,000.00	USD	05/10/2027	CORP	Financial	649,133.97
City of Escondido	693475AY1	PNC FINANCIAL SERVICES GROUP INC	600,000.00	USD	11/01/2024	CORP	Financial	572,248.00
City of Escondido	808513AY1	CHARLES SCHWAB CORP	815,000.00	USD	02/01/2024	CORP	Financial	816,020.11
City of Escondido	91159HHX1	US BANCORP	845,000.00	USD	07/30/2024	CORP	Financial	823,475.03
City of Escondido	---	---	12,505,000.00	USD	03/06/2025	CORP	Financial	12,205,217.98

Cash

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	CCYUSD	Cash	0.00	USD	06/30/2023	CASH	Cash	0.00
City of Escondido	CCYUSD	Payable	-24,500.00	USD	06/30/2023	CASH	Cash	-24,500.00
City of Escondido	CCYUSD	Receivable	24,500.00	USD	06/30/2023	CASH	Cash	24,500.00
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	10,418,656.68	USD	06/30/2023	MMFUND	Cash	10,418,656.68
City of Escondido	---	---	10,418,656.68	USD	06/30/2023	---	Cash	10,418,656.68

Municipal

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	20772KEW5	CONNECTICUT ST	630,000.00	USD	09/15/2025	MUNI	Municipal	618,383.46
City of Escondido	20772KJW0	CONNECTICUT ST	150,000.00	USD	07/01/2024	MUNI	Municipal	146,431.50
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	400,000.00	USD	07/01/2025	MUNI	Municipal	371,820.00
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	155,000.00	USD	07/01/2025	MUNI	Municipal	144,080.25
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	150,000.00	USD	07/01/2025	MUNI	Municipal	139,432.50
City of Escondido	542411NH2	LONG BEACH CALIF CMNTY COLLEGE DIST	350,000.00	USD	08/01/2023	MUNI	Municipal	351,540.88
City of Escondido	54438CYK2	LOS ANGELES CALIF CMNTY COLLEGE DIST	410,000.00	USD	08/01/2025	MUNI	Municipal	373,920.34
City of Escondido	544647FC9	LOS ANGELES CALIF UNI SCH DIST	310,000.00	USD	07/01/2026	MUNI	Municipal	279,705.25
City of Escondido	574193TQ1	MARYLAND ST	375,000.00	USD	08/01/2024	MUNI	Municipal	356,814.38
City of Escondido	60412AVJ9	MINNESOTA ST	275,000.00	USD	08/01/2025	MUNI	Municipal	251,725.38
City of Escondido	605581MZ7	MISSISSIPPI ST	120,000.00	USD	11/01/2024	MUNI	Municipal	112,773.80
City of Escondido	650036DT0	NEW YORK ST URBAN DEV CORP REV	945,000.00	USD	03/15/2025	MUNI	Municipal	878,227.88
City of Escondido	697511FB4	PALOMAR CALIF CMNTY COLLEGE DIST	440,000.00	USD	08/01/2024	MUNI	Municipal	419,974.87
City of Escondido	797272QP9	SAN DIEGO CALIF CMNTY COLLEGE DIST	245,000.00	USD	08/01/2024	MUNI	Municipal	238,398.48
City of Escondido	797412DM2	SAN DIEGO CNTY CALIF WTR AUTH WTR REV	480,000.00	USD	05/01/2025	MUNI	Municipal	443,240.80
City of Escondido	798306WN2	SAN JUAN CALIF UNI SCH DIST	415,000.00	USD	08/01/2024	MUNI	Municipal	394,741.78
City of Escondido	799408Z85	SAN RAMON VALLEY CALIF UNI SCH DIST	405,000.00	USD	08/01/2025	MUNI	Municipal	372,010.05
City of Escondido	91412HGE7	UNIVERSITY CALIF REVS	375,000.00	USD	05/15/2025	MUNI	Municipal	347,594.35
City of Escondido	923040GU7	VENTURA CNTY CALIF CMNTY COLLEGE DIST	490,000.00	USD	08/01/2024	MUNI	Municipal	475,545.00
City of Escondido	977123X60	WISCONSIN (STATE OF)	640,000.00	USD	07/01/2024	MUNI	Municipal	611,328.00
City of Escondido	---	---	7,760,000.00	USD	01/27/2025	MUNI	Municipal	7,327,688.93

Asset Backed

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	05602RAD3	BMWOT 2022-A A3	380,000.00	USD	08/25/2026	ABS	Asset Backed	369,628.01
City of Escondido	14041NFY2	COMET 2021-3 A	715,000.00	USD	11/16/2026	ABS	Asset Backed	673,087.22
City of Escondido	254683CS2	DCENT 2022-2 A	715,000.00	USD	05/17/2027	ABS	Asset Backed	689,464.17
City of Escondido	345286AC2	FORDO 2022-A A3	255,000.00	USD	06/15/2026	ABS	Asset Backed	255,000.00

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	380146AC4	GMCAR 2022-1 A3	285,000.00	USD	11/16/2026	ABS	Asset Backed	272,380.88
City of Escondido	43815GAC3	HAROT 2021-4 A3	285,000.00	USD	01/21/2026	ABS	Asset Backed	273,602.21
City of Escondido	448977AD0	HART 2022-A A3	720,000.00	USD	10/15/2026	ABS	Asset Backed	691,726.80
City of Escondido	50117XAE2	KCOT 212 A3	366,104.73	USD	11/17/2025	ABS	Asset Backed	350,297.64
City of Escondido	98163KAC6	WOART 2021-D A3	350,000.00	USD	10/15/2026	ABS	Asset Backed	335,554.31
City of Escondido	---	---	4,071,104.73	USD	09/30/2026	ABS	Asset Backed	3,900,770.09

Mortgage Backed

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	3136AJB54	FNA 2014-M04 A2	178,069.53	USD	03/25/2024	FNMA	Mortgage Backed	175,237.73
City of Escondido	3137BGK24	FHMS K-043 A2	665,000.00	USD	12/25/2024	FHLMC	Mortgage Backed	644,629.30
City of Escondido	3137BTU25	FHMS K-724 A2	329,723.73	USD	11/25/2023	FHLMC	Mortgage Backed	327,571.78
City of Escondido	3137FBTA4	FHMS K-728 A2	845,314.29	USD	08/25/2024	FHLMC CMO	Mortgage Backed	825,030.32
City of Escondido	---	---	2,018,107.55	USD	08/06/2024	---	Mortgage Backed	1,972,469.13

Summary

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Market Sector	Ending Market Value + Accrued
City of Escondido	---	---	155,350,868.96	USD	04/04/2025	---	---	147,683,502.17

* Grouped by: Market Sector. * Groups Sorted by: Ending Market Value + Accrued. * Weighted by: Ending Market Value + Accrued.

Exposure - Issuer Concentration

City of Escondido (299155)

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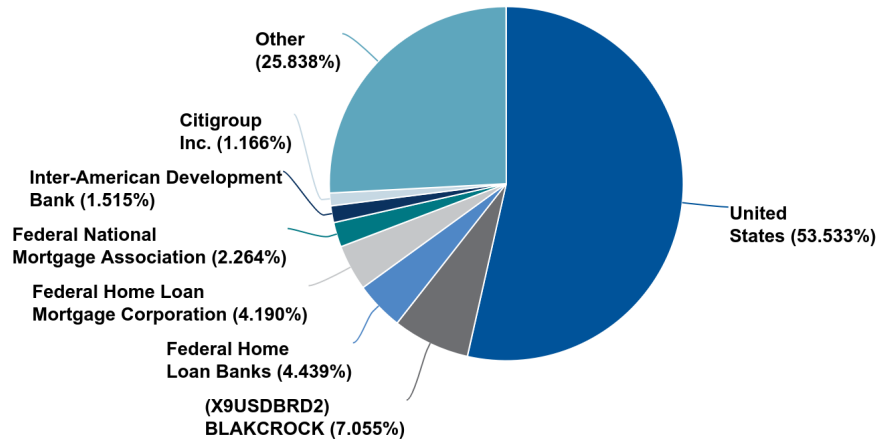


Chart calculated by: Ending Market Value + Accrued

United States

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	9128282A7	UNITED STATES TREASURY	1,900,000.00	USD	08/15/2026	US GOV	United States Department of The Treasury	United States	1,746,832.18
City of Escondido	9128282Y5	UNITED STATES TREASURY	795,000.00	USD	09/30/2024	US GOV	United States Department of The Treasury	United States	768,567.47
City of Escondido	9128283J7	UNITED STATES TREASURY	1,480,000.00	USD	11/30/2024	US GOV	United States Department of The Treasury	United States	1,419,882.20
City of Escondido	9128283V0	UNITED STATES TREASURY	280,000.00	USD	01/31/2025	US GOV	United States Department of The Treasury	United States	271,599.49
City of Escondido	9128285D8	UNITED STATES TREASURY	5,000,000.00	USD	09/30/2023	US GOV	United States Department of The Treasury	United States	5,006,433.88
City of Escondido	912828D56	UNITED STATES TREASURY	575,000.00	USD	08/15/2024	US GOV	United States Department of The Treasury	United States	561,351.02
City of Escondido	912828V80	UNITED STATES TREASURY	600,000.00	USD	01/31/2024	US GOV	United States Department of The Treasury	United States	594,735.22
City of Escondido	912828V98	UNITED STATES TREASURY	1,160,000.00	USD	02/15/2027	US GOV	United States Department of The Treasury	United States	1,088,106.72
City of Escondido	912828VS6	UNITED STATES TREASURY	2,000,000.00	USD	08/15/2023	US GOV	United States Department of The Treasury	United States	2,012,164.53
City of Escondido	912828W48	UNITED STATES TREASURY	95,000.00	USD	02/29/2024	US GOV	United States Department of The Treasury	United States	93,659.80
City of Escondido	912828W71	UNITED STATES TREASURY	2,650,000.00	USD	03/31/2024	US GOV	United States Department of The Treasury	United States	2,600,502.05
City of Escondido	912828W71	UNITED STATES TREASURY	1,420,000.00	USD	03/31/2024	US GOV	United States Department of The Treasury	United States	1,393,476.57
City of Escondido	912828XX3	UNITED STATES TREASURY	1,225,000.00	USD	06/30/2024	US GOV	United States Department of The Treasury	United States	1,184,629.33
City of Escondido	912828Y61	UNITED STATES TREASURY	145,000.00	USD	07/31/2023	US GOV	United States Department of The Treasury	United States	146,386.34
City of Escondido	912828Y87	UNITED STATES TREASURY	740,000.00	USD	07/31/2024	US GOV	United States Department of The Treasury	United States	717,045.00
City of Escondido	912828Y95	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2026	US GOV	United States Department of The Treasury	United States	1,866,822.27
City of Escondido	912828YM6	UNITED STATES TREASURY	635,000.00	USD	10/31/2024	US GOV	United States Department of The Treasury	United States	605,673.91
City of Escondido	912828ZL7	UNITED STATES TREASURY	3,375,000.00	USD	04/30/2025	US GOV	United States Department of The Treasury	United States	3,106,862.30
City of Escondido	912828ZT0	UNITED STATES TREASURY	2,000,000.00	USD	05/31/2025	US GOV	United States Department of The Treasury	United States	1,830,343.50
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	United States Department of The Treasury	United States	1,997,833.31
City of Escondido	912828ZY9	UNITED STATES TREASURY	2,000,000.00	USD	07/15/2023	US GOV	United States Department of The Treasury	United States	1,997,833.31
City of Escondido	91282CAB7	UNITED STATES TREASURY	2,380,000.00	USD	07/31/2025	US GOV	United States Department of The Treasury	United States	2,167,829.71
City of Escondido	91282CAD3	UNITED STATES TREASURY	2,000,000.00	USD	07/31/2027	US GOV	United States Department of The Treasury	United States	1,830,343.50

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	91282CAM3	UNITED STATES TREASURY	620,000.00	USD	09/30/2025	US GOV	United States Department of The Treasury	United States	561,830.62
City of Escondido	91282CBC4	UNITED STATES TREASURY	1,200,000.00	USD	12/31/2025	US GOV	United States Department of The Treasury	United States	1,081,416.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	800,000.00	USD	01/31/2026	US GOV	United States Department of The Treasury	United States	719,379.38
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,280,000.00	USD	01/31/2026	US GOV	United States Department of The Treasury	United States	1,151,007.01
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,000,000.00	USD	01/31/2026	US GOV	United States Department of The Treasury	United States	899,224.23
City of Escondido	91282CBH3	UNITED STATES TREASURY	645,000.00	USD	01/31/2026	US GOV	United States Department of The Treasury	United States	579,999.63
City of Escondido	91282CBH3	UNITED STATES TREASURY	1,600,000.00	USD	01/31/2026	US GOV	United States Department of The Treasury	United States	1,438,758.76
City of Escondido	91282CBQ3	UNITED STATES TREASURY	400,000.00	USD	02/28/2026	US GOV	United States Department of The Treasury	United States	359,920.48
City of Escondido	91282CBQ3	UNITED STATES TREASURY	3,000,000.00	USD	02/28/2026	US GOV	United States Department of The Treasury	United States	2,699,403.59
City of Escondido	91282CBT7	UNITED STATES TREASURY	2,000,000.00	USD	03/31/2026	US GOV	United States Department of The Treasury	United States	1,811,030.49
City of Escondido	91282CBV2	UNITED STATES TREASURY	4,350,000.00	USD	04/15/2024	US GOV	United States Department of The Treasury	United States	4,184,521.36
City of Escondido	91282CCF6	UNITED STATES TREASURY	1,680,000.00	USD	05/31/2026	US GOV	United States Department of The Treasury	United States	1,509,656.81
City of Escondido	91282CCF6	UNITED STATES TREASURY	2,400,000.00	USD	05/31/2026	US GOV	United States Department of The Treasury	United States	2,156,652.59
City of Escondido	91282CCJ8	UNITED STATES TREASURY	360,000.00	USD	06/30/2026	US GOV	United States Department of The Treasury	United States	324,289.36
City of Escondido	91282CCJ8	UNITED STATES TREASURY	2,050,000.00	USD	06/30/2026	US GOV	United States Department of The Treasury	United States	1,846,647.74
City of Escondido	91282CCN9	UNITED STATES TREASURY	240,000.00	USD	07/31/2023	US GOV	United States Department of The Treasury	United States	239,201.14
City of Escondido	91282CCU3	UNITED STATES TREASURY	900,000.00	USD	08/31/2023	US GOV	United States Department of The Treasury	United States	892,996.02
City of Escondido	91282CDA6	UNITED STATES TREASURY	800,000.00	USD	09/30/2023	US GOV	United States Department of The Treasury	United States	790,774.73
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,350,000.00	USD	10/31/2023	US GOV	United States Department of The Treasury	United States	2,314,495.71
City of Escondido	91282CDD0	UNITED STATES TREASURY	2,000,000.00	USD	10/31/2023	US GOV	United States Department of The Treasury	United States	1,969,783.59
City of Escondido	91282CDG3	UNITED STATES TREASURY	5,000,000.00	USD	10/31/2026	US GOV	United States Department of The Treasury	United States	4,503,826.90
City of Escondido	91282CDG3	UNITED STATES TREASURY	400,000.00	USD	10/31/2026	US GOV	United States Department of The Treasury	United States	360,306.15
City of Escondido	91282CDG3	UNITED STATES TREASURY	500,000.00	USD	10/31/2026	US GOV	United States Department of The Treasury	United States	450,382.69
City of Escondido	91282CDG3	UNITED STATES TREASURY	1,000,000.00	USD	10/31/2026	US GOV	United States Department of The Treasury	United States	900,765.38
City of Escondido	91282CDH1	UNITED STATES TREASURY	5,000,000.00	USD	11/15/2024	US GOV	United States Department of The Treasury	United States	4,706,539.40
City of Escondido	91282CDZ1	UNITED STATES TREASURY	1,175,000.00	USD	02/15/2025	US GOV	United States Department of The Treasury	United States	1,115,480.80
City of Escondido	91282CEN7	UNITED STATES TREASURY	2,000,000.00	USD	04/30/2027	US GOV	United States Department of The Treasury	United States	1,897,866.30
City of Escondido	91282CER8	UNITED STATES TREASURY	800,000.00	USD	05/31/2024	US GOV	United States Department of The Treasury	United States	780,821.99
City of Escondido	91282CFB2	UNITED STATES TREASURY	1,000,000.00	USD	07/31/2027	US GOV	United States Department of The Treasury	United States	953,850.99
City of Escondido	91282CFH9	UNITED STATES TREASURY	1,000,000.00	USD	08/31/2027	US GOV	United States Department of The Treasury	United States	966,504.97
City of Escondido	---	UNITED STATES TREASURY	84,005,000.00	USD	04/28/2025	US GOV	United States Department of The Treasury	United States	79,059,433.62

(X9USDBRD2) BLAKCROCK

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	10,418,656.68	USD	06/30/2023	MMFUND	BLAKCROCK	(X9USDBRD2) BLAKCROCK	10,418,656.68
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	10,418,656.68	USD	06/30/2023	MMFUND	BLAKCROCK	(X9USDBRD2) BLAKCROCK	10,418,656.68

Federal Home Loan Banks

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	3130ATKJ5	FEDERAL HOME LOAN BANKS	1,300,000.00	USD	03/08/2024	AGCY BOND	Federal Home Loan Banks	Federal Home Loan Banks	1,304,488.43
City of Escondido	3130AV7F3	FEDERAL HOME LOAN BANKS	1,000,000.00	USD	06/14/2024	AGCY BOND	Federal Home Loan Banks	Federal Home Loan Banks	999,659.17
City of Escondido	3130AVDA7	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/27/2026	AGCY BOND	Federal Home Loan Banks	Federal Home Loan Banks	1,417,005.33
City of Escondido	3130AVDD1	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	09/27/2024	AGCY BOND	Federal Home Loan Banks	Federal Home Loan Banks	1,416,722.22
City of Escondido	3130AVE24	FEDERAL HOME LOAN BANKS	1,400,000.00	USD	03/28/2024	AGCY BOND	Federal Home Loan Banks	Federal Home Loan Banks	1,417,519.83
City of Escondido	---	FEDERAL HOME LOAN BANKS	6,500,000.00	USD	10/19/2024	AGCY BOND	Federal Home Loan Banks	Federal Home Loan Banks	6,555,394.99

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Federal Home Loan Mortgage Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	3134GWYS9	FEDERAL HOME LOAN MORTGAGE CORP	1,000,000.00	USD	10/15/2025	AGCY BOND	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	909,356.67
City of Escondido	3134GYMX7	FEDERAL HOME LOAN MORTGAGE CORP	1,400,000.00	USD	12/29/2025	AGCY BOND	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	1,413,796.22
City of Escondido	3137BGK24	FHMS K-043 A2	665,000.00	USD	12/25/2024	FHLMC	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	644,629.30
City of Escondido	3137BTU25	FHMS K-724 A2	329,723.73	USD	11/25/2023	FHLMC	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	327,571.78
City of Escondido	3137EAEP0	FEDERAL HOME LOAN MORTGAGE CORP	790,000.00	USD	02/12/2025	AGCY BOND	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	750,193.22
City of Escondido	3137EAEV7	FEDERAL HOME LOAN MORTGAGE CORP	275,000.00	USD	08/24/2023	AGCY BOND	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	273,314.78
City of Escondido	3137EAEX3	FEDERAL HOME LOAN MORTGAGE CORP	1,150,000.00	USD	09/23/2025	AGCY BOND	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	1,044,407.96
City of Escondido	3137FBTA4	FHMS K-728 A2	845,314.29	USD	08/25/2024	FHLMC CMO	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	825,030.32
City of Escondido	---	---	6,455,038.02	USD	04/25/2025	---	Federal Home Loan Mortgage Corporation	Federal Home Loan Mortgage Corporation	6,188,300.25

Federal National Mortgage Association

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	3135G05X7	FEDERAL NATIONAL MORTGAGE ASSOCIATION	2,000,000.00	USD	08/25/2025	AGCY BOND	Federal National Mortgage Association	Federal National Mortgage Association	1,822,125.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	360,000.00	USD	11/07/2025	AGCY BOND	Federal National Mortgage Association	Federal National Mortgage Association	326,466.00
City of Escondido	3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION	1,125,000.00	USD	11/07/2025	AGCY BOND	Federal National Mortgage Association	Federal National Mortgage Association	1,020,206.25
City of Escondido	3136AJB54	FNA 2014-M04 A2	178,069.53	USD	03/25/2024	FNMA	Federal National Mortgage Association	Federal National Mortgage Association	175,237.73
City of Escondido	---	---	3,663,069.53	USD	08/28/2025	---	Federal National Mortgage Association	Federal National Mortgage Association	3,344,034.98

Inter-American Development Bank

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	4581X0DK1	INTER-AMERICAN DEVELOPMENT BANK	835,000.00	USD	03/14/2025	SUPRANATION AL	Inter-American Development Bank	Inter-American Development Bank	793,810.61
City of Escondido	4581X0DZ8	INTER-AMERICAN DEVELOPMENT BANK	1,530,000.00	USD	09/23/2024	SUPRANATION AL	Inter-American Development Bank	Inter-American Development Bank	1,443,373.10
City of Escondido	---	INTER-AMERICAN DEVELOPMENT BANK	2,365,000.00	USD	11/23/2024	SUPRANATION AL	Inter-American Development Bank	Inter-American Development Bank	2,237,183.71

Citigroup Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	17290ADP2	CITIGROUP INC	1,000,000.00	USD	04/20/2026	CORP	Citigroup Inc.	Citigroup Inc.	986,901.39
City of Escondido	172967MX6	CITIGROUP INC	270,000.00	USD	05/01/2025	CORP	Citigroup Inc.	Citigroup Inc.	258,785.55
City of Escondido	172967MX6	CITIGROUP INC	255,000.00	USD	05/01/2025	CORP	Citigroup Inc.	Citigroup Inc.	244,408.58
City of Escondido	17327CAN3	CITIGROUP INC	245,000.00	USD	01/25/2026	CORP	Citigroup Inc.	Citigroup Inc.	232,259.35
City of Escondido	---	CITIGROUP INC	1,770,000.00	USD	12/26/2025	CORP	Citigroup Inc.	Citigroup Inc.	1,722,354.86

The Goldman Sachs Group, Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	38141GXS8	GOLDMAN SACHS GROUP INC	650,000.00	USD	02/12/2026	CORP	The Goldman Sachs Group, Inc.	The Goldman Sachs Group, Inc.	

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	38150AS97	GOLDMAN SACHS GROUP INC	1,000,000.00	USD	04/04/2025	CORP	The Goldman Sachs Group, Inc.	The Goldman Sachs Group, Inc.	1,003,701.67
City of Escondido	---	GOLDMAN SACHS GROUP INC	1,650,000.00	USD	07/31/2025	CORP	The Goldman Sachs Group, Inc.	The Goldman Sachs Group, Inc.	1,604,698.98

Bank of America Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	06051GFB0	BANK OF AMERICA CORP	1,395,000.00	USD	01/22/2024	CORP	Bank of America Corporation	Bank of America Corporation	1,408,250.76
City of Escondido	06051GFB0	BANK OF AMERICA CORP	1,395,000.00	USD	01/22/2024	CORP	Bank of America Corporation	Bank of America Corporation	1,408,250.76

The Coca-Cola Company

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	191216CU2	COCA-COLA CO	1,500,000.00	USD	06/01/2027	CORP	The Coca-Cola Company	The Coca-Cola Company	1,342,242.50
City of Escondido	191216CU2	COCA-COLA CO	1,500,000.00	USD	06/01/2027	CORP	The Coca-Cola Company	The Coca-Cola Company	1,342,242.50

JPMorgan Chase & Co.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	46647PBH8	JPMORGAN CHASE & CO	750,000.00	USD	03/13/2026	CORP	JPMorgan Chase & Co.	JPMorgan Chase & Co.	708,828.75
City of Escondido	46647PCH7	JPMORGAN CHASE & CO	585,000.00	USD	06/01/2025	CORP	JPMorgan Chase & Co.	JPMorgan Chase & Co.	556,479.30
City of Escondido	---	JPMORGAN CHASE & CO	1,335,000.00	USD	11/08/2025	CORP	JPMorgan Chase & Co.	JPMorgan Chase & Co.	1,265,308.05

Roche Holding AG

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	771196BT8	ROCHE HOLDINGS INC	1,295,000.00	USD	03/10/2025	CORP	Roche Holdings, Inc.	Roche Holding AG	1,238,529.80
City of Escondido	771196BT8	ROCHE HOLDINGS INC	1,295,000.00	USD	03/10/2025	CORP	Roche Holdings, Inc.	Roche Holding AG	1,238,529.80

Toyota Motor Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	89236TDK8	TOYOTA MOTOR CREDIT CORP	1,090,000.00	USD	10/18/2023	CORP	Toyota Motor Credit Corporation	Toyota Motor Corporation	1,083,876.93
City of Escondido	89236TDK8	TOYOTA MOTOR CREDIT CORP	1,090,000.00	USD	10/18/2023	CORP	Toyota Motor Credit Corporation	Toyota Motor Corporation	1,083,876.93

Morgan Stanley

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	61746BDQ6	MORGAN STANLEY	745,000.00	USD	04/29/2024	CORP	Morgan Stanley	Morgan Stanley	738,945.84
City of Escondido	61747YEM3	MORGAN STANLEY	310,000.00	USD	02/18/2026	CORP	Morgan Stanley	Morgan Stanley	296,864.18
City of Escondido	---	MORGAN STANLEY	1,055,000.00	USD	11/04/2024	CORP	Morgan Stanley	Morgan Stanley	1,035,810.02

The Bank of New York Mellon Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	06406RBC0	BANK OF NEW YORK MELLON CORP	1,000,000.00	USD	04/25/2025	CORP	The Bank of New York Mellon Corporation	The Bank of New York Mellon Corporation	967,651.67
City of Escondido	06406RBC0	BANK OF NEW YORK MELLON CORP	1,000,000.00	USD	04/25/2025	CORP	The Bank of New York Mellon Corporation	The Bank of New York Mellon Corporation	967,651.67

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International Business Machines Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	459200KM2	INTERNATIONAL BUSINESS MACHINES CORP	1,000,000.00	USD	02/09/2027	CORP	International Business Machines Corporation	International Business Machines Corporation	917,597.78
City of Escondido	459200KM2	INTERNATIONAL BUSINESS MACHINES CORP	1,000,000.00	USD	02/09/2027	CORP	International Business Machines Corporation	International Business Machines Corporation	917,597.78

Honda Motor Co., Ltd.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	02665WDZ1	AMERICAN HONDA FINANCE CORP	1,000,000.00	USD	09/09/2026	CORP	American Honda Finance Corporation	Honda Motor Co., Ltd.	894,214.44
City of Escondido	02665WDZ1	AMERICAN HONDA FINANCE CORP	1,000,000.00	USD	09/09/2026	CORP	American Honda Finance Corporation	Honda Motor Co., Ltd.	894,214.44

The New York State Urban Development Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	650036DT0	NEW YORK ST URBAN DEV CORP REV	945,000.00	USD	03/15/2025	MUNI	The New York State Urban Development Corporation	The New York State Urban Development Corporation	878,227.88
City of Escondido	650036DT0	NEW YORK ST URBAN DEV CORP REV	945,000.00	USD	03/15/2025	MUNI	The New York State Urban Development Corporation	The New York State Urban Development Corporation	878,227.88

Farm Credit System

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	3133EMAC6	FEDERAL FARM CREDIT BANKS FUNDING CORP	1,000,000.00	USD	09/21/2027	AGCY BOND	Federal Farm Credit Banks Funding Corporation	Farm Credit System	863,903.33
City of Escondido	3133EMAC6	FEDERAL FARM CREDIT BANKS FUNDING CORP	1,000,000.00	USD	09/21/2027	AGCY BOND	Federal Farm Credit Banks Funding Corporation	Farm Credit System	863,903.33

U.S. Bancorp

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	91159HHX1	US BANCORP	845,000.00	USD	07/30/2024	CORP	U.S. Bancorp	U.S. Bancorp	823,475.03
City of Escondido	91159HHX1	US BANCORP	845,000.00	USD	07/30/2024	CORP	U.S. Bancorp	U.S. Bancorp	823,475.03

Abbott Laboratories

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	002824BE9	ABBOTT LABORATORIES	825,000.00	USD	11/30/2023	CORP	Abbott Laboratories	Abbott Laboratories	820,097.67
City of Escondido	002824BE9	ABBOTT LABORATORIES	825,000.00	USD	11/30/2023	CORP	Abbott Laboratories	Abbott Laboratories	820,097.67

The Charles Schwab Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	808513AY1	CHARLES SCHWAB CORP	815,000.00	USD	02/01/2024	CORP	The Charles Schwab Corporation	The Charles Schwab Corporation	816,020.11
City of Escondido	808513AY1	CHARLES SCHWAB CORP	815,000.00	USD	02/01/2024	CORP	The Charles Schwab Corporation	The Charles Schwab Corporation	816,020.11

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The Walt Disney Company

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	254687FK7	WALT DISNEY CO	845,000.00	USD	08/30/2024	CORP	The Walt Disney Company	The Walt Disney Company	814,739.85
City of Escondido	254687FK7	WALT DISNEY CO	845,000.00	USD	08/30/2024	CORP	The Walt Disney Company	The Walt Disney Company	814,739.85

Truist Financial Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	05531FBF9	TRUIST FINANCIAL CORP	800,000.00	USD	12/06/2023	CORP	Truist Financial Corporation	Truist Financial Corporation	794,331.33
City of Escondido	05531FBF9	TRUIST FINANCIAL CORP	800,000.00	USD	12/06/2023	CORP	Truist Financial Corporation	Truist Financial Corporation	794,331.33

Bayerische Motoren Werke Aktiengesellschaft

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	05565EBK0	BMW US CAPITAL LLC	575,000.00	USD	04/09/2025	CORP	BMW US Capital, LLC	Bayerische Motoren Werke Aktiengesellschaft	565,922.67
City of Escondido	05565EBU8	BMW US CAPITAL LLC	215,000.00	USD	08/12/2024	CORP	BMW US Capital, LLC	Bayerische Motoren Werke Aktiengesellschaft	204,595.25
City of Escondido	---	BMW US CAPITAL LLC	790,000.00	USD	02/04/2025	CORP	BMW US Capital, LLC	Bayerische Motoren Werke Aktiengesellschaft	770,517.92

Target Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	87612EBM7	TARGET CORP	180,000.00	USD	01/15/2027	CORP	Target Corporation	Target Corporation	166,183.50
City of Escondido	87612EBM7	TARGET CORP	650,000.00	USD	01/15/2027	CORP	Target Corporation	Target Corporation	600,107.08
City of Escondido	87612EBM7	TARGET CORP	830,000.00	USD	01/15/2027	CORP	Target Corporation	Target Corporation	766,290.58

State of Connecticut

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	20772KEW5	CONNECTICUT ST	630,000.00	USD	09/15/2025	MUNI	State of Connecticut	State of Connecticut	618,383.46
City of Escondido	20772KJW0	CONNECTICUT ST	150,000.00	USD	07/01/2024	MUNI	State of Connecticut	State of Connecticut	146,431.50
City of Escondido	---	CONNECTICUT ST	780,000.00	USD	06/23/2025	MUNI	State of Connecticut	State of Connecticut	764,814.96

Deere & Company

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	24422EWA3	JOHN DEERE CAPITAL CORP	800,000.00	USD	01/11/2027	CORP	John Deere Capital Corporation	Deere & Company	729,198.22
City of Escondido	24422EWA3	JOHN DEERE CAPITAL CORP	800,000.00	USD	01/11/2027	CORP	John Deere Capital Corporation	Deere & Company	729,198.22

Caterpillar Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	14913R2U0	CATERPILLAR FINANCIAL SERVICES CORP	800,000.00	USD	01/08/2027	CORP	Caterpillar Financial Services Corporation	Caterpillar Inc.	728,383.56
City of Escondido	14913R2U0	CATERPILLAR FINANCIAL SERVICES CORP	800,000.00	USD	01/08/2027	CORP	Caterpillar Financial Services Corporation	Caterpillar Inc.	728,383.56

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Hyundai Auto Receivables Trust 2022-A

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	448977AD0	HART 2022-A A3	720,000.00	USD	10/15/2026	ABS	Hyundai Auto Receivables Trust 2022-A	Hyundai Auto Receivables Trust 2022-A	691,726.80
City of Escondido	448977AD0	HART 2022-A A3	720,000.00	USD	10/15/2026	ABS	Hyundai Auto Receivables Trust 2022-A	Hyundai Auto Receivables Trust 2022-A	691,726.80

Discover Card Execution Note Trust, Series 2022-2

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	254683CS2	DCENT 2022-2 A	715,000.00	USD	05/17/2027	ABS	Discover Card Execution Note Trust, Series 2022-2	Discover Card Execution Note Trust, Series 2022-2	689,464.17
City of Escondido	254683CS2	DCENT 2022-2 A	715,000.00	USD	05/17/2027	ABS	Discover Card Execution Note Trust, Series 2022-2	Discover Card Execution Note Trust, Series 2022-2	689,464.17

General Dynamics Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	369550BG2	GENERAL DYNAMICS CORP	700,000.00	USD	05/15/2025	CORP	General Dynamics Corporation	General Dynamics Corporation	682,697.56
City of Escondido	369550BG2	GENERAL DYNAMICS CORP	700,000.00	USD	05/15/2025	CORP	General Dynamics Corporation	General Dynamics Corporation	682,697.56

Capital One Multi-Asset Execution Trust, Series 2021-3

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	14041NFIY2	COMET 2021-3 A	715,000.00	USD	11/16/2026	ABS	Capital One Multi-Asset Execution Trust, Series 2021-3	Capital One Multi-Asset Execution Trust, Series 2021-3	673,087.22
City of Escondido	14041NFIY2	COMET 2021-3 A	715,000.00	USD	11/16/2026	ABS	Capital One Multi-Asset Execution Trust, Series 2021-3	Capital One Multi-Asset Execution Trust, Series 2021-3	673,087.22

Florida Hurricane Catastrophe Fund Finance Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	400,000.00	USD	07/01/2025	MUNI	Florida Hurricane Catastrophe Fund Finance Corporation	Florida Hurricane Catastrophe Fund Finance Corporation	371,820.00
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	155,000.00	USD	07/01/2025	MUNI	Florida Hurricane Catastrophe Fund Finance Corporation	Florida Hurricane Catastrophe Fund Finance Corporation	144,080.25
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	150,000.00	USD	07/01/2025	MUNI	Florida Hurricane Catastrophe Fund Finance Corporation	Florida Hurricane Catastrophe Fund Finance Corporation	139,432.50
City of Escondido	341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV	705,000.00	USD	07/01/2025	MUNI	Florida Hurricane Catastrophe Fund Finance Corporation	Florida Hurricane Catastrophe Fund Finance Corporation	655,332.75

International Bank for Reconstruction and Development

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	459058JM6	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM	665,000.00	USD	11/24/2023	SUPRANATION AL	International Bank for Reconstruction and Development	International Bank for Reconstruction and Development	651,970.62
City of Escondido	459058JM6	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM	665,000.00	USD	11/24/2023	SUPRANATION AL	International Bank for Reconstruction and Development	International Bank for Reconstruction and Development	651,970.62

Northern Trust Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	665859AW4	NORTHERN TRUST CORP	670,000.00	USD	05/10/2027	CORP	Northern Trust Corporation	Northern Trust Corporation	

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Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	665859AW4	NORTHERN TRUST CORP	670,000.00	USD	05/10/2027	CORP	Northern Trust Corporation	Northern Trust Corporation	649,133.97

AstraZeneca PLC

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	04636NAA1	ASTRAZENECA FINANCE LLC	700,000.00	USD	05/28/2026	CORP	AstraZeneca Finance LLC	AstraZeneca PLC	632,205.00
City of Escondido	04636NAA1	ASTRAZENECA FINANCE LLC	700,000.00	USD	05/28/2026	CORP	AstraZeneca Finance LLC	AstraZeneca PLC	632,205.00

Comcast Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	20030NCR0	COMCAST CORP	635,000.00	USD	04/15/2024	CORP	Comcast Corporation	Comcast Corporation	631,235.16
City of Escondido	20030NCR0	COMCAST CORP	635,000.00	USD	04/15/2024	CORP	Comcast Corporation	Comcast Corporation	631,235.16

UnitedHealth Group Incorporated

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	200,000.00	USD	05/15/2027	CORP	UnitedHealth Group Incorporated	UnitedHealth Group Incorporated	193,699.56
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	440,000.00	USD	05/15/2027	CORP	UnitedHealth Group Incorporated	UnitedHealth Group Incorporated	426,139.02
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	640,000.00	USD	05/15/2027	CORP	UnitedHealth Group Incorporated	UnitedHealth Group Incorporated	619,838.58

Honeywell International Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	438516CE4	HONEYWELL INTERNATIONAL INC	700,000.00	USD	03/01/2027	CORP	Honeywell International Inc.	Honeywell International Inc.	619,539.67
City of Escondido	438516CE4	HONEYWELL INTERNATIONAL INC	700,000.00	USD	03/01/2027	CORP	Honeywell International Inc.	Honeywell International Inc.	619,539.67

State of Wisconsin

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	977123X60	WISCONSIN (STATE OF)	640,000.00	USD	07/01/2024	MUNI	State of Wisconsin	State of Wisconsin	611,328.00
City of Escondido	977123X60	WISCONSIN (STATE OF)	640,000.00	USD	07/01/2024	MUNI	State of Wisconsin	State of Wisconsin	611,328.00

The PNC Financial Services Group, Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	693475AY1	PNC FINANCIAL SERVICES GROUP INC	600,000.00	USD	11/01/2024	CORP	The PNC Financial Services Group, Inc.	The PNC Financial Services Group, Inc.	572,248.00
City of Escondido	693475AY1	PNC FINANCIAL SERVICES GROUP INC	600,000.00	USD	11/01/2024	CORP	The PNC Financial Services Group, Inc.	The PNC Financial Services Group, Inc.	572,248.00

Bristol-Myers Squibb Company

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	250,000.00	USD	11/13/2025	CORP	Bristol-Myers Squibb Company	Bristol-Myers Squibb Company	227,367.50
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	353,000.00	USD	11/13/2025	CORP	Bristol-Myers Squibb Company	Bristol-Myers Squibb Company	321,042.91
City of Escondido	110122DN5	BRISTOL-MYERS SQUIBB CO	603,000.00	USD	11/13/2025	CORP	Bristol-Myers Squibb Company	Bristol-Myers Squibb Company	548,410.41

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Ventura County Community College District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	923040GU7	VENTURA CNTY CALIF CMNTY COLLEGE DIST	490,000.00	USD	08/01/2024	MUNI	Ventura County Community College District	Ventura County Community College District	475,545.00
City of Escondido	923040GU7	VENTURA CNTY CALIF CMNTY COLLEGE DIST	490,000.00	USD	08/01/2024	MUNI	Ventura County Community College District	Ventura County Community College District	475,545.00

State of California

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	797412DM2	SAN DIEGO CNTY CALIF WTR AUTH WTR REV	480,000.00	USD	05/01/2025	MUNI	San Diego County Water Authority	State of California	443,240.80
City of Escondido	797412DM2	SAN DIEGO CNTY CALIF WTR AUTH WTR REV	480,000.00	USD	05/01/2025	MUNI	San Diego County Water Authority	State of California	443,240.80

Amazon.com, Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	023135BR6	AMAZON.COM INC	500,000.00	USD	06/03/2027	CORP	Amazon.com, Inc.	Amazon.com, Inc.	439,046.67
City of Escondido	023135BR6	AMAZON.COM INC	500,000.00	USD	06/03/2027	CORP	Amazon.com, Inc.	Amazon.com, Inc.	439,046.67

Palomar California Community College District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	697511FB4	PALOMAR CALIF CMNTY COLLEGE DIST	440,000.00	USD	08/01/2024	MUNI	Palomar California Community College District	Palomar California Community College District	419,974.87
City of Escondido	697511FB4	PALOMAR CALIF CMNTY COLLEGE DIST	440,000.00	USD	08/01/2024	MUNI	Palomar California Community College District	Palomar California Community College District	419,974.87

Chevron Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	166764BW9	CHEVRON CORP	425,000.00	USD	05/11/2025	CORP	Chevron Corporation	Chevron Corporation	399,099.79
City of Escondido	166764BW9	CHEVRON CORP	425,000.00	USD	05/11/2025	CORP	Chevron Corporation	Chevron Corporation	399,099.79

San Juan Unified School District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	798306WN2	SAN JUAN CALIF UNI SCH DIST	415,000.00	USD	08/01/2024	MUNI	San Juan Unified School District	San Juan Unified School District	394,741.78
City of Escondido	798306WN2	SAN JUAN CALIF UNI SCH DIST	415,000.00	USD	08/01/2024	MUNI	San Juan Unified School District	San Juan Unified School District	394,741.78

Los Angeles Community College District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	54438CYK2	LOS ANGELES CALIF CMNTY COLLEGE DIST	410,000.00	USD	08/01/2025	MUNI	Los Angeles Community College District	Los Angeles Community College District	373,920.34
City of Escondido	54438CYK2	LOS ANGELES CALIF CMNTY COLLEGE DIST	410,000.00	USD	08/01/2025	MUNI	Los Angeles Community College District	Los Angeles Community College District	373,920.34

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San Ramon Valley Unified School District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	799408Z85	SAN RAMON VALLEY CALIF UNI SCH DIST	405,000.00	USD	08/01/2025	MUNI	San Ramon Valley Unified School District	San Ramon Valley Unified School District	372,010.05
City of Escondido	799408Z85	SAN RAMON VALLEY CALIF UNI SCH DIST	405,000.00	USD	08/01/2025	MUNI	San Ramon Valley Unified School District	San Ramon Valley Unified School District	372,010.05

Bmw Vehicle Owner Trust 2022-A

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	05602RAD3	BMWOT 2022-A A3	380,000.00	USD	08/25/2026	ABS	Bmw Vehicle Owner Trust 2022-A	Bmw Vehicle Owner Trust 2022-A	369,628.01
City of Escondido	05602RAD3	BMWOT 2022-A A3	380,000.00	USD	08/25/2026	ABS	Bmw Vehicle Owner Trust 2022-A	Bmw Vehicle Owner Trust 2022-A	369,628.01

State of Maryland

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	574193TQ1	MARYLAND ST	375,000.00	USD	08/01/2024	MUNI	State of Maryland	State of Maryland	356,814.38
City of Escondido	574193TQ1	MARYLAND ST	375,000.00	USD	08/01/2024	MUNI	State of Maryland	State of Maryland	356,814.38

Long Beach Community College District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	542411NH2	LONG BEACH CALIF CMNTY COLLEGE DIST	350,000.00	USD	08/01/2023	MUNI	Long Beach Community College District	Long Beach Community College District	351,540.88
City of Escondido	542411NH2	LONG BEACH CALIF CMNTY COLLEGE DIST	350,000.00	USD	08/01/2023	MUNI	Long Beach Community College District	Long Beach Community College District	351,540.88

Kubota Credit Owner Trust 2021-2

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	50117XAE2	KCOT 212 A3	366,104.73	USD	11/17/2025	ABS	Kubota Credit Owner Trust 2021-2	Kubota Credit Owner Trust 2021-2	350,297.64
City of Escondido	50117XAE2	KCOT 212 A3	366,104.73	USD	11/17/2025	ABS	Kubota Credit Owner Trust 2021-2	Kubota Credit Owner Trust 2021-2	350,297.64

University of California

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	91412HGE7	UNIVERSITY CALIF REVS	375,000.00	USD	05/15/2025	MUNI	University of California	University of California	347,594.35
City of Escondido	91412HGE7	UNIVERSITY CALIF REVS	375,000.00	USD	05/15/2025	MUNI	University of California	University of California	347,594.35

World Omni Auto Receivables Trust 2021-D

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	98163KAC6	WOART 2021-D A3	350,000.00	USD	10/15/2026	ABS	World Omni Auto Receivables Trust 2021-D	World Omni Auto Receivables Trust 2021-D	335,554.31
City of Escondido	98163KAC6	WOART 2021-D A3	350,000.00	USD	10/15/2026	ABS	World Omni Auto Receivables Trust 2021-D	World Omni Auto Receivables Trust 2021-D	335,554.31

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American Express Company

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	025816CQ0	AMERICAN EXPRESS CO	350,000.00	USD	03/04/2025	CORP	American Express Company	American Express Company	334,012.88
City of Escondido	025816CQ0	AMERICAN EXPRESS CO	350,000.00	USD	03/04/2025	CORP	American Express Company	American Express Company	334,012.88

Los Angeles County

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	544647FC9	LOS ANGELES CALIF UNI SCH DIST	310,000.00	USD	07/01/2026	MUNI	Los Angeles Unified School District	Los Angeles County	279,705.25
City of Escondido	544647FC9	LOS ANGELES CALIF UNI SCH DIST	310,000.00	USD	07/01/2026	MUNI	Los Angeles Unified School District	Los Angeles County	279,705.25

Honda Auto Receivables 2021 - 4 Owner Trust

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	43815GAC3	HAROT 2021-4 A3	285,000.00	USD	01/21/2026	ABS	Honda Auto Receivables 2021 - 4 Owner Trust	Honda Auto Receivables 2021 - 4 Owner Trust	273,602.21
City of Escondido	43815GAC3	HAROT 2021-4 A3	285,000.00	USD	01/21/2026	ABS	Honda Auto Receivables 2021 - 4 Owner Trust	Honda Auto Receivables 2021 - 4 Owner Trust	273,602.21

GM Financial Consumer Automobile Receivables Trust 2022-1

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	380146AC4	GMCAR 2022-1 A3	285,000.00	USD	11/16/2026	ABS	GM Financial Consumer Automobile Receivables Trust 2022-1	GM Financial Consumer Automobile Receivables Trust 2022-1	272,380.88
City of Escondido	380146AC4	GMCAR 2022-1 A3	285,000.00	USD	11/16/2026	ABS	GM Financial Consumer Automobile Receivables Trust 2022-1	GM Financial Consumer Automobile Receivables Trust 2022-1	272,380.88

State Of Minnesota

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	60412AVJ9	MINNESOTA ST	275,000.00	USD	08/01/2025	MUNI	State Of Minnesota	State Of Minnesota	251,725.38
City of Escondido	60412AVJ9	MINNESOTA ST	275,000.00	USD	08/01/2025	MUNI	State Of Minnesota	State Of Minnesota	251,725.38

Ford Credit Auto Owner Trust 2022-A

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	345286AC2	FORDO 2022-A A3	255,000.00	USD	06/15/2026	ABS	Ford Credit Auto Owner Trust 2022-A	Ford Credit Auto Owner Trust 2022-A	245,028.85
City of Escondido	345286AC2	FORDO 2022-A A3	255,000.00	USD	06/15/2026	ABS	Ford Credit Auto Owner Trust 2022-A	Ford Credit Auto Owner Trust 2022-A	245,028.85

San Diego Community College District

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	797272QP9	SAN DIEGO CALIF CMNTY COLLEGE DIST	245,000.00	USD	08/01/2024	MUNI	San Diego Community College District	San Diego Community College District	238,398.48
City of Escondido	797272QP9	SAN DIEGO CALIF CMNTY COLLEGE DIST	245,000.00	USD	08/01/2024	MUNI	San Diego Community College District	San Diego Community College District	238,398.48

Exposure - Issuer Concentration

City of Escondido (299155)

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National Rural Utilities Cooperative Finance Corporation

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	63743HFE7	NATIONAL RURAL UTILITIES COOPERATIVE FINANCE CORP	220,000.00	USD	06/15/2025	CORP	National Rural Utilities Cooperative Finance Corporation	National Rural Utilities Cooperative Finance Corporation	211,922.33
City of Escondido	63743HFE7	NATIONAL RURAL UTILITIES COOPERATIVE FINANCE CORP	220,000.00	USD	06/15/2025	CORP	National Rural Utilities Cooperative Finance Corporation	National Rural Utilities Cooperative Finance Corporation	211,922.33

Unilever PLC

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	904764BN6	UNILEVER CAPITAL CORP	160,000.00	USD	08/12/2024	CORP	Unilever Capital Corporation	Unilever PLC	151,901.93
City of Escondido	904764BN6	UNILEVER CAPITAL CORP	160,000.00	USD	08/12/2024	CORP	Unilever Capital Corporation	Unilever PLC	151,901.93

State Of Mississippi

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	605581MZ7	MISSISSIPPI ST	120,000.00	USD	11/01/2024	MUNI	State Of Mississippi	State Of Mississippi	112,773.80
City of Escondido	605581MZ7	MISSISSIPPI ST	120,000.00	USD	11/01/2024	MUNI	State Of Mississippi	State Of Mississippi	112,773.80

The Home Depot, Inc.

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	437076CM2	HOME DEPOT INC	105,000.00	USD	04/15/2025	CORP	The Home Depot, Inc.	The Home Depot, Inc.	101,283.00
City of Escondido	437076CM2	HOME DEPOT INC	105,000.00	USD	04/15/2025	CORP	The Home Depot, Inc.	The Home Depot, Inc.	101,283.00

(CCYUSD) UNITED STATES OF AMERICA

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	CCYUSD	Cash	0.00	USD	06/30/2023	CASH	UNITED STATES OF AMERICA	(CCYUSD) UNITED STATES OF AMERICA	0.00
City of Escondido	CCYUSD	Payable	-24,500.00	USD	06/30/2023	CASH	UNITED STATES OF AMERICA	(CCYUSD) UNITED STATES OF AMERICA	-24,500.00
City of Escondido	CCYUSD	Receivable	24,500.00	USD	06/30/2023	CASH	UNITED STATES OF AMERICA	(CCYUSD) UNITED STATES OF AMERICA	24,500.00
City of Escondido	CCYUSD	---	0.00	USD	06/30/2023	CASH	UNITED STATES OF AMERICA	(CCYUSD) UNITED STATES OF AMERICA	0.00

Summary

Account	Identifier	Description	Ending Current Units	Currency	Final Maturity	Security Type	Issuer	Issuer Concentration	Ending Market Value + Accrued
City of Escondido	---	---	155,350,868.96	USD	04/04/2025	---	---	---	147,683,502.17

* Grouped by: Issuer Concentration. * Groups Sorted by: Ending Market Value + Accrued. * Weighted by: Ending Market Value + Accrued.

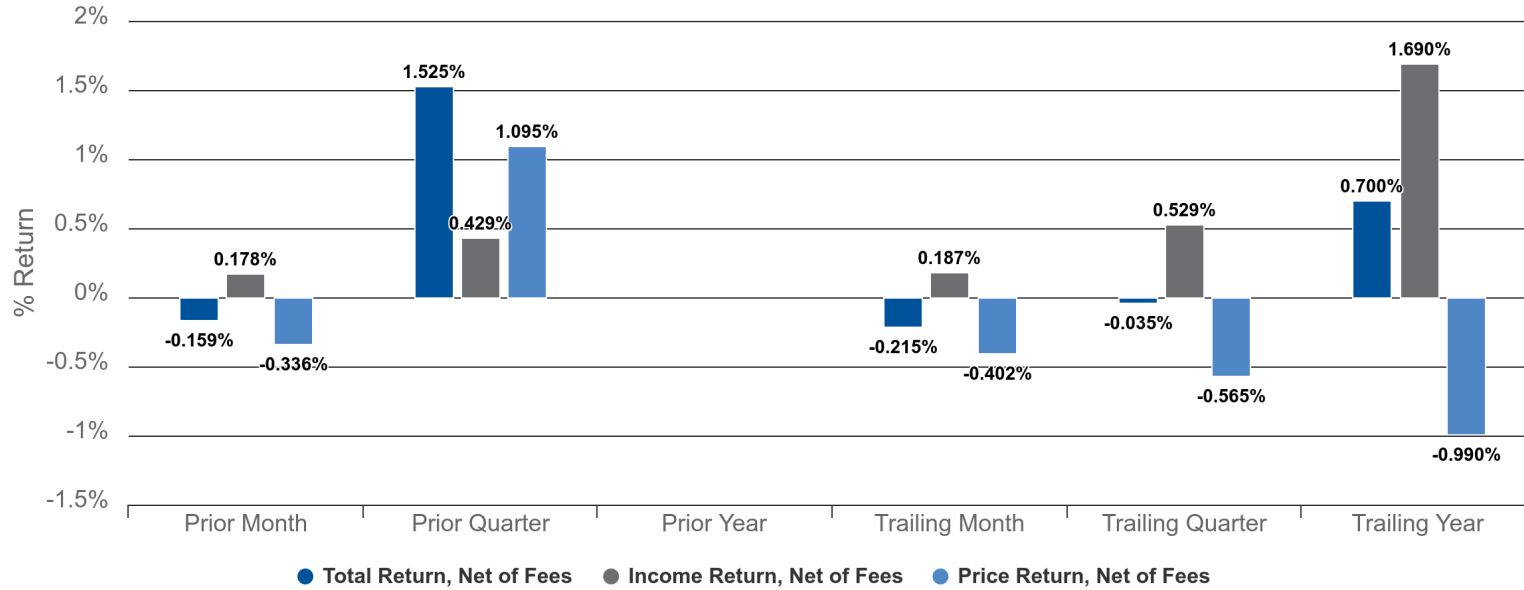
Summary

As of 06/30/2023

City of Escondido (299155)

Dated: 07/31/2023

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Period	Period Begin	Period End	Total Return, Net of Fees	Income Return, Net of Fees	Price Return, Net of Fees
Prior Month	04/29/2023	05/31/2023	-0.159%	0.178%	-0.336%
Prior Quarter	12/31/2022	03/31/2023	1.525%	0.429%	1.095%
Prior Year	01/01/2022	12/30/2022	---	---	---
Trailing Month	06/01/2023	06/30/2023	-0.215%	0.187%	-0.402%
Trailing Quarter	04/01/2023	06/30/2023	-0.035%	0.529%	-0.565%
Trailing Year	07/01/2022	06/30/2023	0.700%	1.690%	-0.990%

Account	Index	Index Start Date	Index End Date
City of Escondido	ICE BofA 1-5 Year US Corporate & Government Index	08/02/2002	---

Net of Fees (includes management and trading).

Returns are actual and have not been annualized.

No Tax Adjustment.

Note that data will not exist prior to the performance inception date of: 04/01/2022.

Status

City of Escondido (299155)

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Dated: 07/31/2023

Compliance Summary

Compliant	Account	Policy Name	Total Rules	Compliant Rules	Violating Rules
Compliant	City of Escondido	City Escondido Compliance	60	60	0

City of Escondido - City Escondido Compliance

Compliant

Status	Account	Policy Name	Category Name	Rule Name	Days In Violation	Actual Value	Actual Value without Resolutions	Limit Value	Notes	Resolutions
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments U.S. Treasury Obligations & Agency Securities	0	65.011	65.011	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Municipal Securities	0	4.962	4.962	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Supranational	0	1.956	1.956	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Negotiable Certificates of Deposit	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Banker's Acceptances	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Commercial Paper	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Repurchase Agreements	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Local Agency Investment Fund	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investment Local Government Investment Pools	0	53.533	53.533	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Bank Deposits	0	9.525	9.525	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Placement Service Deposits	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Medium-Term Notes	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Asset-Backed Securities	0	2.641	2.641	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Allowable Investments Money Market Funds	0	7.055	7.055	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Allowable Investment	Repurchase Agreements 102% Collateralized	0	---	---	100.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Municipal Securities	0	4.962	4.962	40.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Supranational	0	1.956	1.956	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Negotiable Certificates of Deposit	0	---	---	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Banker's Acceptances	0	---	---	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Commercial Paper	0	---	---	25.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Local Agency Investment Fund	0	---	---	75.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Placement Service Deposits	0	---	---	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Medium Term Notes	0	---	---	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Asset-Backed Securities	0	2.641	2.641	20.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Callable Agency Securities	0	22.891	22.891	30.000	N	N

Status

City of Escondido (299155)

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Dated: 07/31/2023

Status	Account	Policy Name	Category Name	Rule Name	Days In Violation	Actual Value	Actual Value without Resolutions	Limit Value	Notes	Resolutions
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Money Market Funds	0	7.055	7.055	20.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Concentration	Maximum Concentration for Time Certificate of Deposits	0	---	---	20.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Municipal Securities - A/A2	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Supranational - AA/Aa2	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Negotiable Certificates of Deposits - A/A2	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Banker's Acceptance - A-1	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Commercial Paper - A-1/P-1	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Medium Term Notes - A	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Credit Rating	Minimum Credit Rating for Asset-Backed Securities - AA	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for U.S. Agency Securities	0	4.439	4.439	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Municipal Securities	0	0.595	0.595	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Supranational	0	1.956	1.956	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Negotiable Certificates of Deposit	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Banker's Acceptances	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer concentration for Commercial Paper	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Placement Service Deposits	0	---	---	30.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Medium Term Notes	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Asset-Backed Securities	0	0.468	0.468	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer Concentration for Money Market Funds	0	7.055	7.055	20.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Maximum Issuer concentration for Outstanding Commercial Paper	0	---	---	10.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Issuer Concentration	Short-Term Investment Shall be 25% of General Fund	0	---	---	25.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for U.S. Treasury Obligations	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for U.S. Agency Securities	0	4.997	4.997	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Municipal Securities	0	4.934	4.934	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Supranational	0	4.063	4.063	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Negotiable Certificates of Deposit	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Banker's Acceptances	0	---	---	186.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Commercial Paper	0	---	---	270.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Repurchase Agreements - 1 years	0	---	---	1.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Bank Deposits - 5 Years	0	5.000	5.000	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Placement Service Deposits	0	---	---	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Medium Term Notes	0	---	---	5.000	N	N

Status

City of Escondido (299155)

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Dated: 07/31/2023

Status	Account	Policy Name	Category Name	Rule Name	Days In Violation	Actual Value	Actual Value without Resolutions	Limit Value	Notes	Resolutions
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Asset-Backed Securities	0	3.696	3.696	5.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Maturity	Maximum Maturity for Time certificate of deposits	0	---	---	3.000	N	N
Compliant	City of Escondido	City Escondido Compliance	Prohibited Investments	Prohibited Investments : common stocks, inverse floaters, range notes, mortgage-derived interest	0	0	0	0	N	N
Compliant	City of Escondido	City Escondido Compliance	---	---	0	---	---	---	N	N

Policies: .

Rules: .

* Compliance Status as of previous business day.

GAAP GL Income Detail

City of Escondido (299155)

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Dated: 07/31/2023

Cash

General Ledger Grouping, Account, Identifier	Description, Factorized Units, Currency	Security Type, BS Class, State	State Tax, Fed Tax, Net Transfers	Beginning Book Value less Due, Acquired Book Value less Due, Transferred In Book Value less Due	Disposed Book Value, Transferred Out Book Value less Due, Impairment Loss	Ending Book Value less Due, Net Amortization/ Accretion, Miscellaneous Income	Miscellaneous Expense, Beginning Due & Accrued, Acquired Due & Accrued	Transferred In Due & Accrued, Disposed Due & Accrued, Transferred Out Due & Accrued	Ending Due & Accrued, Interest/Dividend Received, Interest/Dividend Income	Net Realized Gain/ Loss, Net Gain/Loss, Net Income
Cash	Cash	CASH	Y	0.00	0.00	0.00	0.00	0.00	0.00	0.00
City of Escondido	0.00	Cash	Y	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CCYUSD	USD	---	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Cash	Cash	CASH	Y	0.00	0.00	0.00	0.00	0.00	0.00	0.00
City of Escondido	0.00	Cash	Y	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CCYUSD	USD	---	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

CE

General Ledger Grouping, Account, Identifier	Description, Factorized Units, Currency	Security Type, BS Class, State	State Tax, Fed Tax, Net Transfers	Beginning Book Value less Due, Acquired Book Value less Due, Transferred In Book Value less Due	Disposed Book Value, Transferred Out Book Value less Due, Impairment Loss	Ending Book Value less Due, Net Amortization/ Accretion, Miscellaneous Income	Miscellaneous Expense, Beginning Due & Accrued, Acquired Due & Accrued	Transferred In Due & Accrued, Disposed Due & Accrued, Transferred Out Due & Accrued	Ending Due & Accrued, Interest/Dividend Received, Interest/Dividend Income	Net Realized Gain/ Loss, Net Gain/Loss, Net Income
CE	BLACKROCK FED TRST DOLR SHR FD	MMFUND	Y	2,370,721.26	-7,367,933.99	10,418,656.68	0.00	0.00	0.00	0.00
City of Escondido	102	CE	Y	15,415,869.41	0.00	0.00	0.00	0.00	70,658.45	0.00
X9USDBRD2	10,418,656.68	---	0.00	0.00	0.00	0.00	0.00	0.00	70,658.45	70,658.45
CE	BLACKROCK FED TRST DOLR SHR FD	MMFUND	Y	2,370,721.26	-7,367,933.99	10,418,656.68	0.00	0.00	0.00	0.00
City of Escondido	102	CE	Y	15,415,869.41	0.00	0.00	0.00	0.00	70,658.45	0.00
X9USDBRD2	10,418,656.68	---	0.00	0.00	0.00	0.00	0.00	0.00	70,658.45	70,658.45

LT

General Ledger Grouping, Account, Identifier	Description, Factorized Units, Currency	Security Type, BS Class, State	State Tax, Fed Tax, Net Transfers	Beginning Book Value less Due, Acquired Book Value less Due, Transferred In Book Value less Due	Disposed Book Value, Transferred Out Book Value less Due, Impairment Loss	Ending Book Value less Due, Net Amortization/ Accretion, Miscellaneous Income	Miscellaneous Expense, Beginning Due & Accrued, Acquired Due & Accrued	Transferred In Due & Accrued, Disposed Due & Accrued, Transferred Out Due & Accrued	Ending Due & Accrued, Interest/Dividend Received, Interest/Dividend Income	Net Realized Gain/ Loss, Net Gain/Loss, Net Income
LT	AMAZON.COM INC	CORP	Y	432,255.64	0.00	435,923.33	0.00	0.00	466.67	0.00
City of Escondido	500,000.00	LT	Y	0.00	0.00	3,667.69	1,966.67	0.00	3,000.00	0.00
023135BR6	USD	WA	0.00	0.00	0.00	0.00	0.00	0.00	1,500.00	5,167.69
LT	AMAZON.COM INC	CORP	Y	299,837.10	-299,839.11	0.00	0.00	0.00	0.00	-12,739.11
City of Escondido	0.00	LT	Y	0.00	0.00	2.01	521.25	-540.00	0.00	-12,739.11
023135BW5	USD	WA	0.00	0.00	0.00	0.00	0.00	0.00	18.75	-12,718.35
LT	AMERICAN EXPRESS CO	CORP	Y	349,774.33	0.00	349,802.83	0.00	0.00	2,559.38	0.00
City of Escondido	350,000.00	LT	Y	0.00	0.00	28.49	590.63	0.00	0.00	0.00
025816CQ0	USD	NY	0.00	0.00	0.00	0.00	0.00	0.00	1,968.75	1,997.24
LT	AMERICAN HONDA FINANCE CORP	CORP	Y	989,570.43	0.00	990,302.42	0.00	0.00	4,044.44	0.00
City of Escondido	1,000,000.00	LT	Y	0.00	0.00	731.99	794.44	0.00	0.00	0.00
02665WDZ1	USD	CA	0.00	0.00	0.00	0.00	0.00	0.00	3,250.00	3,981.99
LT	ASTRAZENECA FINANCE LLC	CORP	Y	700,481.85	0.00	700,443.48	0.00	0.00	770.00	0.00
City of Escondido	700,000.00	LT	Y	0.00	0.00	-38.37	2,870.00	0.00	4,200.00	0.00
04636NAA1	USD	DE	0.00	0.00	0.00	0.00	0.00	0.00	2,100.00	2,061.63
LT	BMW US CAPITAL LLC	CORP	Y	606,180.06	0.00	602,211.16	0.00	0.00	5,107.92	0.00
City of Escondido	575,000.00	LT	Y	0.00	0.00	-3,968.90	10,714.17	0.00	11,212.50	0.00
05565EBK0	USD	NJ	0.00	0.00	0.00	0.00	0.00	0.00	5,606.25	1,637.35
LT	BMW US CAPITAL LLC	CORP	Y	214,991.37	0.00	214,992.95	0.00	0.00	622.60	0.00
City of Escondido	215,000.00	LT	Y	0.00	0.00	1.58	219.48	0.00	0.00	0.00
05565EBU8	USD	NJ	0.00	0.00	0.00	0.00	0.00	0.00	403.13	404.71
LT	BMWLT 2021-1 A4	ABS	Y	159,999.23	-159,999.27	0.00	0.00	0.00	0.00	-2,559.27
City of Escondido	0.00	LT	Y	0.00	0.00	0.04	9.87	-18.09	0.00	-2,559.27
05591RAD6	USD	NJ	0.00	0.00	0.00	0.00	0.00	0.00	8.22	-2,551.01
LT	BMWOT 2022-A A3	ABS	Y	379,987.38	0.00	379,989.36	0.00	0.00	203.30	0.00
City of Escondido	380,000.00	LT	Y	0.00	0.00	1.98	203.30	0.00	3,049.50	0.00
05602RAD3	USD	DE	0.00	0.00	0.00	0.00	0.00	0.00	3,049.50	3,051.48

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LT City of Escondido 06406RBC0	BANK OF NEW YORK MELLON CORP 1,000,000.00 USD	CORP LT NY	Y Y 0.00	999,904.16 0.00 0.00	0.00 0.00 0.00	999,915.39 11.23 0.00	0.00 14,516.67 0.00	0.00 0.00 0.00	6,141.67 16,750.00 8,375.00	0.00 0.00 8,386.23
LT City of Escondido 110122DN5	BRISTOL-MYERS SQUIBB CO 250,000.00 USD	CORP LT NJ	Y Y 0.00	248,715.35 0.00 0.00	0.00 0.00 0.00	248,836.36 121.02 0.00	0.00 718.75 0.00	0.00 0.00 0.00	250.00 937.50 468.75	0.00 0.00 589.77
LT City of Escondido 110122DN5	BRISTOL-MYERS SQUIBB CO 353,000.00 USD	CORP LT NJ	Y Y 0.00	350,896.79 0.00 0.00	0.00 0.00 0.00	351,094.84 198.05 0.00	0.00 1,014.88 0.00	0.00 0.00 0.00	353.00 1,323.75 661.88	0.00 0.00 859.92
LT City of Escondido 14041NFY2	COMET 2021-3 A 715,000.00 USD	ABS LT ---	Y Y 0.00	714,518.78 0.00 0.00	0.00 0.00 0.00	714,592.07 73.30 0.00	0.00 330.49 0.00	0.00 0.00 0.00	330.49 1,859.01 1,859.01	0.00 0.00 1,932.31
LT City of Escondido 14314QAC8	CARMX 2021-2 A3 0.00 USD	ABS LT DE	Y Y 0.00	242,952.77 0.00 0.00	-242,952.88 0.00 0.00	0.00 0.11 0.00	0.00 56.15 0.00	0.00 -73.70 0.00	0.00 0.00 17.55	-9,410.49 -9,410.49 -9,392.83
LT City of Escondido 14315FAD9	CARMX 2020-3 A3 0.00 USD	ABS LT DE	Y Y 0.00	54,907.64 0.00 0.00	-54,907.67 0.00 0.00	0.00 0.03 0.00	0.00 15.13 0.00	0.00 -19.86 0.00	0.00 0.00 4.73	-1,179.17 -1,179.17 -1,174.41
LT City of Escondido 14316NAC3	CARMX 2021-1 A3 0.00 USD	ABS LT DE	Y Y 0.00	74,261.64 0.00 0.00	-74,261.67 0.00 0.00	0.00 0.03 0.00	0.00 11.22 0.00	0.00 -14.73 0.00	0.00 0.00 3.51	-3,077.73 -3,077.73 -3,074.19
LT City of Escondido 14317DAC4	CARMX 2021-3 A3 0.00 USD	ABS LT DE	Y Y 0.00	602,118.36 0.00 0.00	-602,118.56 0.00 0.00	0.00 0.20 0.00	0.00 147.19 0.00	0.00 -193.19 0.00	0.00 0.00 46.00	-26,457.21 -26,457.21 -26,411.01
LT City of Escondido 14913R2U0	CATERPILLAR FINANCIAL SERVICES CORP 800,000.00 USD	CORP LT TN	Y Y 0.00	795,893.22 0.00 0.00	0.00 0.00 0.00	796,157.79 264.57 0.00	0.00 3,135.56 0.00	0.00 0.00 0.00	6,535.56 0.00 3,400.00	0.00 0.00 3,664.57
LT City of Escondido 166764BW9	CHEVRON CORP 425,000.00 USD	CORP LT CA	Y Y 0.00	425,878.00 0.00 0.00	0.00 0.00 0.00	425,771.66 -106.34 0.00	0.00 2,568.42 0.00	0.00 0.00 0.00	917.29 3,302.25 1,651.13	0.00 0.00 1,544.79
LT City of Escondido 17290ADP2	CITIGROUP INC 1,000,000.00 USD	CORP LT NY	Y Y 0.00	0.00 1,000,000.00 0.00	0.00 0.00 0.00	1,000,000.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	10,551.39 0.00 10,551.39	0.00 0.00 10,551.39
LT City of Escondido 172967MX6	CITIGROUP INC 270,000.00 USD	CORP LT NY	Y Y 0.00	270,292.34 0.00 0.00	0.00 0.00 0.00	270,225.43 -66.91 0.00	0.00 1,103.63 0.00	0.00 0.00 0.00	441.45 1,324.35 662.18	0.00 0.00 595.27
LT City of Escondido 172967MX6	CITIGROUP INC 255,000.00 USD	CORP LT NY	Y Y 0.00	255,000.00 0.00 0.00	0.00 0.00 0.00	255,000.00 0.00 0.00	0.00 1,042.31 0.00	0.00 0.00 0.00	416.93 1,250.78 625.39	0.00 0.00 625.39
LT City of Escondido 17327CAN3	CITIGROUP INC 245,000.00 USD	CORP LT NY	Y Y 0.00	245,000.00 0.00 0.00	0.00 0.00 0.00	245,000.00 0.00 0.00	0.00 904.62 0.00	0.00 0.00 0.00	2,138.20 0.00 1,233.58	0.00 0.00 1,233.58
LT City of Escondido 191216CU2	COCA-COLA CO 1,500,000.00 USD	CORP LT GA	Y Y 0.00	1,320,471.24 0.00 0.00	0.00 0.00 0.00	1,330,244.09 9,772.86 0.00	0.00 7,250.00 0.00	0.00 0.00 0.00	1,812.50 10,875.00 5,437.50	0.00 0.00 15,210.36
LT City of Escondido 20030NCRO	COMCAST CORP 0.00 USD	CORP LT PA	Y Y 0.00	650,150.73 0.00 0.00	0.00 -649,502.45 0.00	0.00 -648.28 0.00	0.00 10,833.81 0.00	0.00 0.00 -11,812.76	0.00 0.00 978.96	0.00 0.00 330.68
LT City of Escondido 20772KEW5	CONNECTICUT ST 630,000.00 USD	MUNI LT CT	N Y 0.00	674,346.71 0.00 0.00	0.00 0.00 0.00	669,915.68 -4,431.03 0.00	0.00 1,048.04 0.00	0.00 0.00 0.00	6,943.27 0.00 5,895.23	0.00 0.00 1,464.19
LT City of Escondido 20772KJW0	CONNECTICUT ST 150,000.00 USD	MUNI LT CT	N Y 0.00	150,000.00 0.00 0.00	0.00 0.00 0.00	150,000.00 0.00 0.00	0.00 749.25 0.00	0.00 0.00 0.00	1,498.50 0.00 749.25	0.00 0.00 749.25
LT City of Escondido 24422EWA3	JOHN DEERE CAPITAL CORP 800,000.00 USD	CORP LT WI	Y Y 0.00	796,561.40 0.00 0.00	0.00 0.00 0.00	796,782.55 221.15 0.00	0.00 3,022.22 0.00	0.00 0.00 0.00	6,422.22 0.00 3,400.00	0.00 0.00 3,621.15
LT City of Escondido 254683CS2	DCENT 2022-2 A 715,000.00 USD	ABS LT ---	Y Y 0.00	714,956.86 0.00 0.00	0.00 0.00 0.00	714,961.60 4.74 0.00	0.00 1,055.02 0.00	0.00 0.00 0.00	1,055.02 5,934.51 5,934.51	0.00 0.00 5,939.25

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LT City of Escondido 254687FK7	WALT DISNEY CO 845,000.00 USD	CORP LT CA	Y Y 0.00	844,031.51 0.00 0.00	0.00 0.00 0.00	844,230.73 199.22 0.00	0.00 1,355.52 0.00	0.00 0.00 0.00	5,052.40 0.00 3,696.88	0.00 0.00 3,896.10
LT City of Escondido 3130AV7F3	FEDERAL HOME LOAN BANKS 0.00 USD	AGCY BOND LT DC	N Y 0.00	998,558.81 0.00 0.00	0.00 -998,751.38 0.00	0.00 192.58 0.00	0.00 4,229.17 0.00	0.00 0.00 -145.83	0.00 14,875.00 10,791.67	0.00 0.00 10,984.24
LT City of Escondido 3130AVDA7	FEDERAL HOME LOAN BANKS 1,400,000.00 USD	AGCY BOND LT DC	N Y 0.00	1,400,000.00 0.00 0.00	0.00 0.00 0.00	1,400,000.00 0.00 0.00	0.00 933.33 0.00	0.00 0.00 0.00	21,933.33 0.00 21,000.00	0.00 0.00 21,000.00
LT City of Escondido 3130AVDD1	FEDERAL HOME LOAN BANKS 1,400,000.00 USD	AGCY BOND LT DC	N Y 0.00	1,400,000.00 0.00 0.00	0.00 0.00 0.00	1,400,000.00 0.00 0.00	0.00 902.22 0.00	0.00 0.00 0.00	21,202.22 0.00 20,300.00	0.00 0.00 20,300.00
LT City of Escondido 3133EMAC6	FEDERAL FARM CREDIT BANKS FUNDING CORP 1,000,000.00 USD	AGCY BOND CORP NJ	N Y 0.00	0.00 873,390.00 0.00	0.00 0.00 0.00	876,677.83 3,287.83 0.00	0.00 0.00 1,166.67	0.00 0.00 0.00	2,083.33 0.00 916.66	0.00 0.00 4,204.49
LT City of Escondido 3134GWY59	FEDERAL HOME LOAN MORTGAGE CORP 1,000,000.00 USD	AGCY BOND LT VA	Y Y 0.00	0.00 916,960.00 0.00	0.00 0.00 0.00	921,004.82 4,044.82 0.00	0.00 533.33 0.00	0.00 0.00 0.00	1,266.67 0.00 733.34	0.00 0.00 4,778.15
LT City of Escondido 3134GYMX7	FEDERAL HOME LOAN MORTGAGE CORP 1,400,000.00 USD	AGCY BOND LT VA	Y Y 0.00	1,400,000.00 0.00 0.00	0.00 0.00 0.00	1,400,000.00 0.00 0.00	0.00 447.22 0.00	0.00 0.00 0.00	20,572.22 0.00 20,125.00	0.00 0.00 20,125.00
LT City of Escondido 3135G05X7	FEDERAL NATIONAL MORTGAGE ASSOCIATION 2,000,000.00 USD	AGCY BOND LT DC	Y Y 0.00	1,996,571.78 0.00 0.00	0.00 0.00 0.00	1,996,928.70 356.92 0.00	0.00 750.00 0.00	0.00 0.00 0.00	2,625.00 0.00 1,875.00	0.00 0.00 2,231.92
LT City of Escondido 3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION 360,000.00 USD	AGCY BOND LT DC	Y Y 0.00	359,325.53 0.00 0.00	0.00 0.00 0.00	359,389.69 64.16 0.00	0.00 720.00 0.00	0.00 0.00 0.00	270.00 900.00 450.00	0.00 0.00 514.16
LT City of Escondido 3135G06G3	FEDERAL NATIONAL MORTGAGE ASSOCIATION 1,125,000.00 USD	AGCY BOND LT DC	Y Y 0.00	1,123,850.03 0.00 0.00	0.00 0.00 0.00	1,123,959.46 109.44 0.00	0.00 2,250.00 0.00	0.00 0.00 0.00	843.75 2,812.50 1,406.25	0.00 0.00 1,515.69
LT City of Escondido 3137BGK24	FHMS K-043 A2 665,000.00 USD	FHLMC LT VA	Y Y 0.00	676,127.91 0.00 0.00	0.00 0.00 0.00	674,262.90 -1,865.01 0.00	0.00 1,696.86 0.00	0.00 0.00 0.00	1,696.86 5,090.58 5,090.58	0.00 0.00 3,225.57
LT City of Escondido 3137EAEP0	FEDERAL HOME LOAN MORTGAGE CORP 790,000.00 USD	AGCY BOND LT VA	Y Y 0.00	798,751.60 0.00 0.00	0.00 0.00 0.00	797,581.98 -1,169.62 0.00	0.00 1,612.92 0.00	0.00 0.00 0.00	4,575.42 0.00 2,962.50	0.00 0.00 1,792.88
LT City of Escondido 3137EAEX3	FEDERAL HOME LOAN MORTGAGE CORP 1,150,000.00 USD	AGCY BOND LT VA	Y Y 0.00	1,148,279.31 0.00 0.00	0.00 0.00 0.00	1,148,450.43 171.13 0.00	0.00 95.83 0.00	0.00 0.00 0.00	1,173.96 0.00 1,078.13	0.00 0.00 1,249.25
LT City of Escondido 3137FBTA4	FHMS K-728 A2 845,314.29 USD	FHLMC CMO LT VA	Y Y 0.00	849,007.12 0.00 0.00	-3,670.08 0.00 0.00	845,001.46 -335.59 0.00	0.00 2,167.74 0.00	0.00 0.00 0.00	2,158.37 6,493.87 6,484.50	0.00 0.00 6,148.91
LT City of Escondido 341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV 400,000.00 USD	MUNI LT FL	N Y 0.00	400,000.00 0.00 0.00	0.00 0.00 0.00	400,000.00 0.00 0.00	0.00 1,258.00 0.00	0.00 0.00 0.00	2,516.00 0.00 1,258.00	0.00 0.00 1,258.00
LT City of Escondido 341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV 155,000.00 USD	MUNI LT FL	N Y 0.00	155,518.34 0.00 0.00	0.00 0.00 0.00	155,461.18 -57.17 0.00	0.00 487.48 0.00	0.00 0.00 0.00	974.95 0.00 487.48	0.00 0.00 430.31
LT City of Escondido 341271AD6	FLORIDA ST BRD ADMIN FIN CORP REV 150,000.00 USD	MUNI LT FL	N Y 0.00	150,470.45 0.00 0.00	0.00 0.00 0.00	150,418.57 -51.88 0.00	0.00 471.75 0.00	0.00 0.00 0.00	943.50 0.00 471.75	0.00 0.00 419.87
LT City of Escondido 345286AC2	FORDO 2022-A A3 255,000.00 USD	ABS LT DE	Y Y 0.00	254,984.55 0.00 0.00	0.00 0.00 0.00	254,987.69 3.14 0.00	0.00 146.20 0.00	0.00 0.00 0.00	146.20 822.39 822.39	0.00 0.00 825.53
LT City of Escondido 362590AC5	GMCAR 2020-3 A3 0.00 USD	ABS LT TX	Y Y 0.00	104,607.95 0.00 0.00	-104,608.01 0.00 0.00	0.00 0.06 0.00	0.00 19.61 0.00	0.00 -26.15 0.00	0.00 0.00 6.54	-2,715.23 -2,715.23 -2,708.64
LT City of Escondido 36262XAD6	GMALT 2021-3 A4 0.00 USD	ABS LT DE	Y Y 0.00	224,995.44 0.00 0.00	-224,995.53 0.00 0.00	0.00 0.08 0.00	0.00 34.38 0.00	0.00 -50.00 0.00	0.00 0.00 15.63	-9,895.53 0.00 0.00

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LT City of Escondido 369550BG2	GENERAL DYNAMICS CORP 700,000.00 USD	CORP LT VA	Y Y 0.00	735,588.11 0.00 0.00	0.00 0.00 0.00	731,084.06 -4,504.05 0.00	0.00 9,255.56 0.00	0.00 0.00 0.00	3,130.56 12,250.00 6,125.00	0.00 0.00 1,620.95
LT City of Escondido 380146AC4	GMCAR 2022-1 A3 285,000.00 USD	ABS LT DE	Y Y 0.00	284,986.78 0.00 0.00	0.00 0.00 0.00	284,989.16 2.37 0.00	0.00 149.63 0.00	0.00 0.00 0.00	149.63 897.75 897.75	0.00 0.00 900.12
LT City of Escondido 38141GXS8	GOLDMAN SACHS GROUP INC 650,000.00 USD	CORP LT NY	Y Y 0.00	650,679.64 0.00 0.00	0.00 0.00 0.00	650,588.74 -90.91 0.00	0.00 756.44 0.00	0.00 0.00 0.00	2,145.81 0.00 1,389.38	0.00 0.00 1,298.47
LT City of Escondido 38141GZH0	GOLDMAN SACHS GROUP INC 0.00 USD	CORP LT NY	Y Y 0.00	400,000.00 0.00 0.00	-400,000.00 0.00 0.00	0.00 0.00 0.00	0.00 1,307.99 0.00	0.00 -1,405.60 0.00	0.00 0.00 97.61	-12,040.00 -12,040.00 -11,942.39
LT City of Escondido 38150AS97	GOLDMAN SACHS GROUP INC 1,000,000.00 USD	CORP LT NY	Y Y 0.00	0.00 1,000,000.00 0.00	0.00 0.00 0.00	1,000,000.00 0.00 0.00	0.00 0.00 305.56	0.00 0.00 0.00	13,291.67 0.00 12,986.11	0.00 0.00 12,986.11
LT City of Escondido 437076CM2	HOME DEPOT INC 105,000.00 USD	CORP LT GA	Y Y 0.00	104,877.32 0.00 0.00	0.00 0.00 0.00	104,891.97 14.65 0.00	0.00 1,307.25 0.00	0.00 0.00 0.00	598.50 1,417.50 708.75	0.00 0.00 723.40
LT City of Escondido 43815EAC8	HAROT 2021-3 A3 0.00 USD	ABS LT CA	Y Y 0.00	304,998.45 0.00 0.00	-304,998.46 0.00 0.00	0.00 0.01 0.00	0.00 45.16 0.00	0.00 -62.53 0.00	0.00 0.00 17.37	-12,655.96 -12,655.96 -12,638.58
LT City of Escondido 43815GAC3	HAROT 2021-4 A3 285,000.00 USD	ABS LT CA	Y Y 0.00	284,972.64 0.00 0.00	0.00 0.00 0.00	284,978.43 5.79 0.00	0.00 69.67 0.00	0.00 0.00 0.00	69.67 627.00 627.00	0.00 0.00 632.79
LT City of Escondido 438516CE4	HONEYWELL INTERNATIONAL INC 700,000.00 USD	CORP LT NC	Y Y 0.00	674,125.82 0.00 0.00	0.00 0.00 0.00	675,699.79 1,573.97 0.00	0.00 641.67 0.00	0.00 0.00 0.00	2,566.67 0.00 1,925.00	0.00 0.00 3,498.97
LT City of Escondido 44891TAD8	HALST 2021-A A4 0.00 USD	ABS LT DE	Y Y 0.00	139,999.31 0.00 0.00	-139,999.35 0.00 0.00	0.00 0.04 0.00	0.00 26.13 0.00	0.00 -34.30 0.00	0.00 0.00 8.17	-3,079.35 -3,079.35 -3,071.14
LT City of Escondido 448977AD0	HART 2022-A A3 720,000.00 USD	ABS LT DE	Y Y 0.00	719,983.44 0.00 0.00	0.00 0.00 0.00	719,986.13 2.70 0.00	0.00 710.40 0.00	0.00 0.00 0.00	710.40 3,996.00 3,996.00	0.00 0.00 3,998.70
LT City of Escondido 44933LAC7	HART 2021-A A3 0.00 USD	ABS LT DE	Y Y 0.00	167,572.38 0.00 0.00	-167,572.43 0.00 0.00	0.00 0.04 0.00	0.00 28.30 0.00	0.00 -28.30 0.00	0.00 0.00 0.00	-5,851.45 -5,851.45 -5,851.42
LT City of Escondido 4581X0DK1	INTER-AMERICAN DEVELOPMENT BANK 835,000.00 USD	SUPRANATIONA L LT DC	Y Y 0.00	855,669.81 0.00 0.00	0.00 0.00 0.00	853,059.62 -2,610.19 0.00	0.00 690.03 0.00	0.00 0.00 0.00	4,343.16 0.00 3,653.13	0.00 0.00 1,042.94
LT City of Escondido 4581X0DZ8	INTER-AMERICAN DEVELOPMENT BANK 1,530,000.00 USD	SUPRANATIONA L LT DC	Y Y 0.00	1,529,441.53 0.00 0.00	0.00 0.00 0.00	1,529,534.88 93.34 0.00	0.00 170.00 0.00	0.00 0.00 0.00	2,082.50 0.00 1,912.50	0.00 0.00 2,005.84
LT City of Escondido 459200KM2	INTERNATIONAL BUSINESS MACHINES CORP 1,000,000.00 USD	CORP LT NY	Y Y 0.00	990,288.31 0.00 0.00	0.00 0.00 0.00	990,893.19 604.89 0.00	0.00 3,177.78 0.00	0.00 0.00 0.00	8,677.78 0.00 5,500.00	0.00 0.00 6,104.89
LT City of Escondido 46647PBH8	JPMORGAN CHASE & CO 750,000.00 USD	CORP LT NY	Y Y 0.00	762,029.51 0.00 0.00	0.00 0.00 0.00	760,516.43 -1,513.08 0.00	0.00 751.88 0.00	0.00 0.00 0.00	4,511.25 0.00 3,759.38	0.00 0.00 2,246.30
LT City of Escondido 46647PCH7	JPMORGAN CHASE & CO 585,000.00 USD	CORP LT NY	Y Y 0.00	585,000.00 0.00 0.00	0.00 0.00 0.00	585,000.00 0.00 0.00	0.00 1,606.80 0.00	0.00 0.00 0.00	401.70 2,410.20 1,205.10	0.00 0.00 1,205.10
LT City of Escondido 50117TAC5	KCOT 2021-1 A3 0.00 USD	ABS LT ---	Y Y 0.00	154,991.05 0.00 0.00	-154,991.16 0.00 0.00	0.00 0.12 0.00	0.00 42.71 0.00	0.00 -56.06 0.00	0.00 0.00 13.35	-6,656.16 -6,656.16 -6,642.70
LT City of Escondido 50117XAE2	KCOT 212 A3 366,104.73 USD	ABS LT ---	Y Y 0.00	369,994.82 0.00 0.00	-3,895.27 0.00 0.00	366,100.71 1.16 0.00	0.00 92.09 0.00	0.00 0.00 0.00	91.12 518.01 517.04	0.00 0.00 518.20
LT City of Escondido 54438CYK2	LOS ANGELES CALIF CMNTY COLLEGE DIST 410,000.00 USD	MUNI LT CA	N Y 0.00	410,000.00 0.00 0.00	0.00 0.00 0.00	410,000.00 0.00 0.00	0.00 528.22 0.00	0.00 0.00 0.00	1,320.54 0.00 792.33	0.00 0.00 0.00

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LT City of Escondido 544647FC9	LOS ANGELES CALIF UNI SCH DIST 310,000.00 USD	MUNI LT CA	N Y 0.00	310,000.00 0.00 0.00	0.00 0.00 0.00	310,000.00 0.00 0.00	0.00 1,127.63 0.00	0.00 0.00 0.00	2,255.25 0.00 1,127.63	0.00 0.00 1,127.63
LT City of Escondido 574193TQ1	MARYLAND ST 375,000.00 USD	MUNI LT MD	N Y 0.00	374,964.86 0.00 0.00	0.00 0.00 0.00	374,971.45 6.59 0.00	0.00 318.75 0.00	0.00 0.00 0.00	796.88 0.00 478.13	0.00 0.00 484.71
LT City of Escondido 60412AVJ9	MINNESOTA ST 275,000.00 USD	MUNI LT MN	Y Y 0.00	275,000.00 0.00 0.00	0.00 0.00 0.00	275,000.00 0.00 0.00	0.00 288.75 0.00	0.00 0.00 0.00	721.88 0.00 433.13	0.00 0.00 433.13
LT City of Escondido 605581MZ7	MISSISSIPPI ST 120,000.00 USD	MUNI LT MS	N Y 0.00	120,000.00 0.00 0.00	0.00 0.00 0.00	120,000.00 0.00 0.00	0.00 282.50 0.00	0.00 0.00 0.00	113.00 339.00 169.50	0.00 0.00 169.50
LT City of Escondido 61746BDQ6	MORGAN STANLEY 0.00 USD	CORP LT NY	Y Y 0.00	754,966.89 0.00 0.00	0.00 -754,242.56 0.00	0.00 -724.33 0.00	0.00 12,189.03 0.00	0.00 0.00 -14,514.57	0.00 0.00 2,325.54	0.00 0.00 1,601.21
LT City of Escondido 61747YEM3	MORGAN STANLEY 310,000.00 USD	CORP LT NY	Y Y 0.00	310,000.00 0.00 0.00	0.00 0.00 0.00	310,000.00 0.00 0.00	0.00 973.83 0.00	0.00 0.00 0.00	3,012.08 0.00 2,038.25	0.00 0.00 2,038.25
LT City of Escondido 63743HFE7	NATIONAL RURAL UTILITIES COOPERATIVE FINANCE CORP 220,000.00 USD	CORP LT VA	Y Y 0.00	219,963.72 0.00 0.00	0.00 0.00 0.00	219,967.68 3.96 0.00	0.00 2,234.83 0.00	0.00 0.00 0.00	337.33 3,795.00 1,897.50	0.00 0.00 1,901.46
LT City of Escondido 650036DT0	NEW YORK ST URBAN DEV CORP REV 945,000.00 USD	MUNI LT NY	N Y 0.00	945,000.00 0.00 0.00	0.00 0.00 0.00	945,000.00 0.00 0.00	0.00 365.40 0.00	0.00 0.00 0.00	2,420.78 0.00 2,055.38	0.00 0.00 2,055.38
LT City of Escondido 665859AW4	NORTHERN TRUST CORP 670,000.00 USD	CORP LT IL	Y Y 0.00	675,393.08 0.00 0.00	0.00 0.00 0.00	675,083.17 -309.91 0.00	0.00 10,496.67 0.00	0.00 0.00 0.00	3,796.67 13,400.00 6,700.00	0.00 0.00 6,390.09
LT City of Escondido 693475AY1	PNC FINANCIAL SERVICES GROUP INC 600,000.00 USD	CORP LT PA	Y Y 0.00	599,936.36 0.00 0.00	0.00 0.00 0.00	599,946.22 9.86 0.00	0.00 5,500.00 0.00	0.00 0.00 0.00	2,200.00 6,600.00 3,309.86	0.00 0.00 3,309.86
LT City of Escondido 697511FB4	PALOMAR CALIF CMNTY COLLEGE DIST 440,000.00 USD	MUNI LT CA	N Y 0.00	440,000.00 0.00 0.00	0.00 0.00 0.00	440,000.00 0.00 0.00	0.00 582.27 0.00	0.00 0.00 0.00	1,455.67 0.00 873.40	0.00 0.00 873.40
LT City of Escondido 771196BT8	ROCHE HOLDINGS INC 1,295,000.00 USD	CORP LT CA	Y Y 0.00	1,295,000.00 0.00 0.00	0.00 0.00 0.00	1,295,000.00 0.00 0.00	0.00 1,610.55 0.00	0.00 0.00 0.00	8,512.90 0.00 6,902.35	0.00 0.00 6,902.35
LT City of Escondido 797272QP9	SAN DIEGO CALIF CMNTY COLLEGE DIST 245,000.00 USD	MUNI LT CA	N Y 0.00	245,000.00 0.00 0.00	0.00 0.00 0.00	245,000.00 0.00 0.00	0.00 835.45 0.00	0.00 0.00 0.00	2,088.63 0.00 1,253.17	0.00 0.00 1,253.17
LT City of Escondido 797412DM2	SAN DIEGO CNTY CALIF WTR AUTH WTR REV 480,000.00 USD	MUNI LT CA	N Y 0.00	480,000.00 0.00 0.00	0.00 0.00 0.00	480,000.00 0.00 0.00	0.00 1,486.00 0.00	0.00 0.00 0.00	594.40 1,783.20 891.60	0.00 0.00 891.60
LT City of Escondido 798306WN2	SAN JUAN CALIF UNI SCH DIST 415,000.00 USD	MUNI LT CA	N Y 0.00	415,000.00 0.00 0.00	0.00 0.00 0.00	415,000.00 0.00 0.00	0.00 485.55 0.00	0.00 0.00 0.00	1,213.88 0.00 728.33	0.00 0.00 728.33
LT City of Escondido 799408Z85	SAN RAMON VALLEY CALIF UNI SCH DIST 405,000.00 USD	MUNI LT CA	N Y 0.00	405,000.00 0.00 0.00	0.00 0.00 0.00	405,000.00 0.00 0.00	0.00 499.50 0.00	0.00 0.00 0.00	1,248.75 0.00 749.25	0.00 0.00 749.25
LT City of Escondido 87612EBM7	TARGET CORP 180,000.00 USD	CORP LT MN	Y Y 0.00	179,766.06 0.00 0.00	0.00 0.00 0.00	179,781.02 14.96 0.00	0.00 741.00 0.00	0.00 0.00 0.00	1,618.50 0.00 877.50	0.00 0.00 892.46
LT City of Escondido 87612EBM7	TARGET CORP 650,000.00 USD	CORP LT MN	Y Y 0.00	651,096.01 0.00 0.00	0.00 0.00 0.00	651,024.47 -71.54 0.00	0.00 2,675.83 0.00	0.00 0.00 0.00	5,844.58 0.00 3,168.75	0.00 0.00 3,097.21
LT City of Escondido 89237VAB5	TAOT 2020-C A3 0.00 USD	ABS LT DE	Y Y 0.00	69,789.18 0.00 0.00	-69,789.20 0.00 0.00	0.00 0.01 0.00	0.00 13.65 0.00	0.00 -17.91 0.00	0.00 0.00 4.26	-1,220.62 -1,220.62 -1,216.34
LT City of Escondido 89238EAC0	TLOT 2021-A A3 0.00 USD	ABS LT TX	Y Y 0.00	111,485.78 0.00 0.00	-111,485.82 0.00 0.00	0.00 0.04 0.00	0.00 13.29 0.00	0.00 -19.32 0.00	0.00 0.00 6.03	-1,559.57 -1,559.57 -1,553.49

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LT City of Escondido 904764BN6	UNILEVER CAPITAL CORP 160,000.00 USD	CORP LT NJ	Y Y 0.00	160,000.00 0.00 0.00	0.00 0.00 0.00	160,000.00 0.00 0.00	0.00 136.33 0.00	0.00 0.00 0.00	386.73 0.00 250.40	0.00 0.00 250.40
LT City of Escondido 91159HHX1	US BANCORP 845,000.00 USD	CORP LT MN	Y Y 0.00	844,806.56 0.00 0.00	0.00 0.00 0.00	844,842.59 36.03 0.00	0.00 3,436.33 0.00	0.00 0.00 0.00	8,506.33 0.00 5,070.00	0.00 0.00 5,106.03
LT City of Escondido 912828A7	UNITED STATES TREASURY 1,900,000.00 USD	US GOV LT DC	N Y 0.00	1,808,124.76 0.00 0.00	0.00 0.00 0.00	1,814,652.35 6,527.59 0.00	0.00 3,542.82 0.00	0.00 0.00 0.00	10,707.18 0.00 7,164.36	0.00 0.00 13,691.96
LT City of Escondido 912828Y5	UNITED STATES TREASURY 795,000.00 USD	US GOV LT DC	N Y 0.00	800,116.70 0.00 0.00	0.00 0.00 0.00	799,274.17 -842.53 0.00	0.00 46.16 0.00	0.00 0.00 0.00	4,246.52 0.00 4,200.36	0.00 0.00 3,357.83
LT City of Escondido 912828J7	UNITED STATES TREASURY 1,480,000.00 USD	US GOV LT DC	N Y 0.00	1,490,994.79 0.00 0.00	0.00 0.00 0.00	1,489,366.80 -1,627.99 0.00	0.00 10,540.93 0.00	0.00 0.00 0.00	2,663.80 15,725.00 7,847.86	0.00 0.00 6,219.87
LT City of Escondido 912828V0	UNITED STATES TREASURY 280,000.00 USD	US GOV LT DC	N Y 0.00	285,668.66 0.00 0.00	0.00 0.00 0.00	284,900.48 -768.18 0.00	0.00 1,160.22 0.00	0.00 0.00 0.00	2,919.89 0.00 1,759.67	0.00 0.00 991.49
LT City of Escondido 912828D56	UNITED STATES TREASURY 575,000.00 USD	US GOV LT DC	N Y 0.00	580,855.94 0.00 0.00	0.00 0.00 0.00	579,795.29 -1,060.65 0.00	0.00 1,697.60 0.00	0.00 0.00 0.00	5,130.52 0.00 3,432.92	0.00 0.00 2,372.28
LT City of Escondido 912828V98	UNITED STATES TREASURY 1,160,000.00 USD	US GOV LT DC	N Y 0.00	1,130,835.16 0.00 0.00	0.00 0.00 0.00	1,132,628.69 1,793.53 0.00	0.00 3,244.48 0.00	0.00 0.00 0.00	9,805.52 0.00 6,561.05	0.00 0.00 8,354.58
LT City of Escondido 912828W71	UNITED STATES TREASURY 0.00 USD	US GOV LT DC	N Y 0.00	2,697,165.90 0.00 0.00	0.00 -2,697,165.90 0.00	0.00 0.00 0.00	0.00 153.86 0.00	0.00 0.00 -153.86	0.00 0.00 0.00	0.00 0.00 0.00
LT City of Escondido 912828W71	UNITED STATES TREASURY 0.00 USD	US GOV LT DC	N Y 0.00	1,435,961.35 0.00 0.00	0.00 -1,435,961.35 0.00	0.00 0.00 0.00	0.00 82.45 0.00	0.00 0.00 -82.45	0.00 0.00 0.00	0.00 0.00 0.00
LT City of Escondido 912828XX3	UNITED STATES TREASURY 1,225,000.00 USD	US GOV LT DC	N Y 0.00	1,228,322.28 0.00 0.00	0.00 0.00 0.00	1,227,660.57 -661.72 0.00	0.00 6,158.84 0.00	0.00 0.00 0.00	66.58 12,250.00 6,157.74	0.00 0.00 5,496.02
LT City of Escondido 912828Y87	UNITED STATES TREASURY 740,000.00 USD	US GOV LT DC	N Y 0.00	740,746.18 0.00 0.00	0.00 0.00 0.00	740,606.91 -139.27 0.00	0.00 2,146.41 0.00	0.00 0.00 0.00	5,401.80 0.00 3,255.39	0.00 0.00 3,116.12
LT City of Escondido 912828Y95	UNITED STATES TREASURY 2,000,000.00 USD	US GOV LT DC	N Y 0.00	1,890,937.50 0.00 0.00	0.00 0.00 0.00	1,894,960.13 4,022.63 0.00	0.00 0.00 10,980.66	0.00 0.00 0.00	15,642.27 0.00 4,661.61	0.00 0.00 8,684.24
LT City of Escondido 912828YM6	UNITED STATES TREASURY 635,000.00 USD	US GOV LT DC	N Y 0.00	647,214.79 0.00 0.00	0.00 -1,918.41 0.00	645,296.38 -1,918.41 0.00	0.00 3,999.45 0.00	0.00 0.00 0.00	1,604.76 4,762.50 2,367.81	0.00 0.00 449.40
LT City of Escondido 912828ZL7	UNITED STATES TREASURY 3,375,000.00 USD	US GOV LT DC	N Y 0.00	3,324,044.33 0.00 0.00	0.00 0.00 0.00	3,330,088.83 6,044.50 0.00	0.00 5,314.23 0.00	0.00 0.00 0.00	2,132.30 6,328.13 3,146.21	0.00 0.00 9,190.71
LT City of Escondido 912828ZT0	UNITED STATES TREASURY 2,000,000.00 USD	US GOV LT DC	N Y 0.00	1,969,407.98 0.00 0.00	0.00 0.00 0.00	1,972,900.88 3,492.89 0.00	0.00 1,675.82 0.00	0.00 0.00 0.00	423.50 2,500.00 1,247.67	0.00 0.00 4,740.57
LT City of Escondido 91282CAB7	UNITED STATES TREASURY 2,380,000.00 USD	US GOV LT DC	N Y 0.00	2,355,911.82 0.00 0.00	0.00 0.00 0.00	2,358,486.89 2,575.08 0.00	0.00 986.19 0.00	0.00 0.00 0.00	2,481.91 0.00 1,495.72	0.00 0.00 4,070.79
LT City of Escondido 91282CAD3	UNITED STATES TREASURY 2,000,000.00 USD	US GOV LT DC	N Y 0.00	1,752,500.00 0.00 0.00	0.00 0.00 0.00	1,759,311.73 6,811.73 0.00	0.00 0.00 2,196.13	0.00 0.00 0.00	3,128.45 0.00 932.32	0.00 0.00 7,744.06
LT City of Escondido 91282CAM3	UNITED STATES TREASURY 620,000.00 USD	US GOV LT DC	N Y 0.00	614,205.92 0.00 0.00	0.00 0.00 0.00	614,779.18 573.26 0.00	0.00 4.24 0.00	0.00 0.00 0.00	389.62 0.00 385.38	0.00 0.00 958.64
LT City of Escondido 91282CBC4	UNITED STATES TREASURY 1,200,000.00 USD	US GOV LT DC	N Y 0.00	1,198,552.98 0.00 0.00	0.00 0.00 0.00	1,198,684.55 131.57 0.00	0.00 1,131.22 0.00	0.00 0.00 0.00	12.23 2,250.00 1,131.01	0.00 0.00 1,262.58
LT City of Escondido 91282CBH3	UNITED STATES TREASURY 800,000.00 USD	US GOV LT DC	N Y 0.00	789,788.37 0.00 0.00	0.00 0.00 0.00	790,684.17 895.80 0.00	0.00 497.24 0.00	0.00 0.00 0.00	1,251.38 0.00 754.14	0.00 0.00 0.00

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LT City of Escondido 91282CBH3	UNITED STATES TREASURY 1,280,000.00 USD	US GOV LT DC	N Y 0.00	1,264,678.78 0.00 0.00	0.00 0.00 0.00	1,266,023.32 1,344.54 0.00	0.00 795.58 0.00	0.00 0.00 0.00	2,002.21 0.00 1,206.63	0.00 0.00 2,551.17
LT City of Escondido 91282CBH3	UNITED STATES TREASURY 1,000,000.00 USD	US GOV LT DC	N Y 0.00	991,258.61 0.00 0.00	0.00 0.00 0.00	992,026.90 768.29 0.00	0.00 621.55 0.00	0.00 0.00 0.00	1,564.23 0.00 942.68	0.00 0.00 1,710.97
LT City of Escondido 91282CBH3	UNITED STATES TREASURY 645,000.00 USD	US GOV LT DC	N Y 0.00	639,268.81 0.00 0.00	0.00 0.00 0.00	639,772.50 503.69 0.00	0.00 400.90 0.00	0.00 0.00 0.00	1,008.93 0.00 608.03	0.00 0.00 1,111.72
LT City of Escondido 91282CBH3	UNITED STATES TREASURY 1,600,000.00 USD	US GOV LT DC	N Y 0.00	1,566,756.60 0.00 0.00	0.00 0.00 0.00	1,569,661.65 2,905.04 0.00	0.00 994.48 0.00	0.00 0.00 0.00	2,502.76 0.00 1,508.29	0.00 0.00 4,413.33
LT City of Escondido 91282CBQ3	UNITED STATES TREASURY 400,000.00 USD	US GOV LT DC	N Y 0.00	395,441.88 0.00 0.00	0.00 0.00 0.00	395,824.37 382.49 0.00	0.00 173.91 0.00	0.00 0.00 0.00	668.48 0.00 494.57	0.00 0.00 877.05
LT City of Escondido 91282CBQ3	UNITED STATES TREASURY 3,000,000.00 USD	US GOV LT DC	N Y 0.00	2,948,029.09 0.00 0.00	0.00 0.00 0.00	2,952,378.42 4,349.33 0.00	0.00 1,304.35 0.00	0.00 0.00 0.00	5,013.59 0.00 3,709.24	0.00 0.00 8,058.57
LT City of Escondido 91282CBT7	UNITED STATES TREASURY 2,000,000.00 USD	US GOV LT DC	N Y 0.00	1,994,546.99 0.00 0.00	0.00 0.00 0.00	1,994,994.59 447.60 0.00	0.00 40.98 0.00	0.00 0.00 0.00	3,770.49 0.00 3,729.51	0.00 0.00 4,177.11
LT City of Escondido 91282CBV2	UNITED STATES TREASURY 0.00 USD	US GOV LT DC	N Y 0.00	4,336,843.94 0.00 0.00	0.00 -4,337,363.43 0.00	0.00 519.48 0.00	0.00 7,528.85 0.00	0.00 0.00 -8,200.82	0.00 0.00 671.97	0.00 0.00 1,191.46
LT City of Escondido 91282CCF6	UNITED STATES TREASURY 1,680,000.00 USD	US GOV LT DC	N Y 0.00	1,677,661.62 0.00 0.00	0.00 0.00 0.00	1,677,843.82 182.20 0.00	0.00 4,223.08 0.00	0.00 0.00 0.00	1,067.21 6,300.00 3,144.14	0.00 0.00 3,326.34
LT City of Escondido 91282CCF6	UNITED STATES TREASURY 2,400,000.00 USD	US GOV LT DC	N Y 0.00	2,311,525.14 0.00 0.00	0.00 0.00 0.00	2,318,300.60 6,775.46 0.00	0.00 6,032.97 0.00	0.00 0.00 0.00	1,524.59 9,000.00 4,491.62	0.00 0.00 11,267.09
LT City of Escondido 91282CCJ8	UNITED STATES TREASURY 360,000.00 USD	US GOV LT DC	N Y 0.00	340,367.75 0.00 0.00	0.00 0.00 0.00	341,823.41 1,455.66 0.00	0.00 791.85 0.00	0.00 0.00 0.00	8.56 1,575.00 791.71	0.00 0.00 2,247.37
LT City of Escondido 91282CCJ8	UNITED STATES TREASURY 2,050,000.00 USD	US GOV LT DC	N Y 0.00	2,063,832.37 0.00 0.00	0.00 0.00 0.00	2,062,773.59 -1,058.77 0.00	0.00 4,509.15 0.00	0.00 0.00 0.00	48.74 8,968.75 4,508.34	0.00 0.00 3,449.57
LT City of Escondido 91282CDG3	UNITED STATES TREASURY 5,000,000.00 USD	US GOV LT DC	N Y 0.00	4,988,668.53 0.00 0.00	0.00 0.00 0.00	4,989,441.94 773.41 0.00	0.00 23,618.78 0.00	0.00 0.00 0.00	9,476.90 28,125.00 13,983.12	0.00 0.00 14,756.53
LT City of Escondido 91282CDG3	UNITED STATES TREASURY 400,000.00 USD	US GOV LT DC	N Y 0.00	389,125.65 0.00 0.00	0.00 0.00 0.00	389,859.20 733.56 0.00	0.00 1,889.50 0.00	0.00 0.00 0.00	758.15 2,250.00 1,118.65	0.00 0.00 1,852.21
LT City of Escondido 91282CDG3	UNITED STATES TREASURY 500,000.00 USD	US GOV LT DC	N Y 0.00	498,322.51 0.00 0.00	0.00 0.00 0.00	498,436.95 114.44 0.00	0.00 2,361.88 0.00	0.00 0.00 0.00	947.69 2,812.50 1,398.31	0.00 0.00 1,512.75
LT City of Escondido 91282CDG3	UNITED STATES TREASURY 1,000,000.00 USD	US GOV LT DC	N Y 0.00	0.00 918,750.00 0.00	0.00 0.00 0.00	921,489.09 2,739.09 0.00	0.00 519.70 0.00	0.00 0.00 0.00	1,895.38 0.00 1,375.68	0.00 0.00 4,114.78
LT City of Escondido 91282CDH1	UNITED STATES TREASURY 5,000,000.00 USD	US GOV LT DC	N Y 0.00	4,995,332.31 0.00 0.00	0.00 0.00 0.00	4,996,045.97 713.65 0.00	0.00 14,191.99 0.00	0.00 0.00 0.00	4,789.40 18,750.00 9,347.41	0.00 0.00 10,061.07
LT City of Escondido 91282CDZ1	UNITED STATES TREASURY 1,175,000.00 USD	US GOV LT DC	N Y 0.00	1,144,511.22 0.00 0.00	0.00 0.00 0.00	1,148,502.82 3,991.60 0.00	0.00 2,190.95 0.00	0.00 0.00 0.00	6,621.55 0.00 4,430.59	0.00 0.00 8,422.20
LT City of Escondido 91282CEN7	UNITED STATES TREASURY 2,000,000.00 USD	US GOV LT DC	N Y 0.00	1,874,930.84 0.00 0.00	0.00 0.00 0.00	1,881,990.90 7,060.06 0.00	0.00 23,093.92 0.00	0.00 0.00 0.00	9,266.30 27,500.00 13,672.38	0.00 0.00 20,732.44
LT City of Escondido 91282CER8	UNITED STATES TREASURY 0.00 USD	US GOV LT DC	N Y 0.00	798,629.49 0.00 0.00	0.00 -798,823.37 0.00	0.00 193.87 0.00	0.00 6,703.30 0.00	0.00 0.00 -54.64	0.00 10,000.00 3,351.35	0.00 0.00 3,545.22
LT City of Escondido 91282CFB2	UNITED STATES TREASURY 1,000,000.00 USD	US GOV LT DC	N Y 0.00	938,022.68 0.00 0.00	0.00 0.00 0.00	941,327.09 3,304.41 0.00	0.00 4,558.01 0.00	0.00 0.00 0.00	11,470.99 0.00 6,912.98	0.00 0.00 0.00

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LT City of Escondido 91282CFH9	UNITED STATES TREASURY 1,000,000.00 USD	US GOV LT DC	N Y 0.00	950,496.81 0.00 0.00	0.00 0.00 0.00	953,080.64 2,583.83 0.00	0.00 2,717.39 0.00	0.00 0.00 0.00	10,444.97 0.00 7,727.58	0.00 0.00 10,311.41
LT City of Escondido 91324PEG3	UNITEDHEALTH GROUP INC 200,000.00 USD	CORP LT MN	Y Y 0.00	199,908.59 0.00 0.00	0.00 0.00 0.00	199,913.74 5.14 0.00	0.00 2,795.56 0.00	0.00 0.00 0.00	945.56 3,700.00 1,850.00	0.00 0.00 1,855.14
LT City of Escondido 91324PEG3	UNITEDHEALTH GROUP INC 440,000.00 USD	CORP LT MN	Y Y 0.00	443,030.39 0.00 0.00	0.00 0.00 0.00	442,855.94 -174.45 0.00	0.00 6,150.22 0.00	0.00 0.00 0.00	2,080.22 8,140.00 4,070.00	0.00 0.00 3,895.55
LT City of Escondido 91412HGE7	UNIVERSITY CALIF REVS 375,000.00 USD	MUNI LT CA	N Y 0.00	375,000.00 0.00 0.00	0.00 0.00 0.00	375,000.00 0.00 0.00	0.00 1,250.92 0.00	0.00 0.00 0.00	423.10 1,655.63 827.82	0.00 0.00 827.82
LT City of Escondido 923040GU7	VENTURA CNTY CALIF CMNTY COLLEGE 490,000.00 USD	MUNI DIST CA	N Y 0.00	490,000.00 0.00 0.00	0.00 0.00 0.00	490,000.00 0.00 0.00	0.00 1,470.00 0.00	0.00 0.00 0.00	3,675.00 0.00 2,205.00	0.00 0.00 2,205.00
LT City of Escondido 977123X60	WISCONSIN (STATE OF) 640,000.00 USD	MUNI LT WI	Y Y 0.00	640,000.00 0.00 0.00	0.00 0.00 0.00	640,000.00 0.00 0.00	0.00 998.40 0.00	0.00 0.00 0.00	1,996.80 0.00 998.40	0.00 0.00 998.40
LT City of Escondido 98163KAC6	WOART 2021-D A3 350,000.00 USD	ABS LT DE	Y Y 0.00	349,978.46 0.00 0.00	0.00 0.00 0.00	349,982.63 4.16 0.00	0.00 126.00 0.00	0.00 0.00 0.00	126.00 708.75 708.75	0.00 0.00 712.91
LT City of Escondido ---	--- 105,779,419.02 USD	--- LT ---	--- Y 0.00	110,716,438.09 8,352,537.50 0.00	-3,120,084.46 -11,671,810.44 0.00	104,346,886.20 69,805.51 0.00	0.00 318,558.79 15,702.05	0.00 -2,559.74 -34,964.94	392,937.14 317,348.41 413,549.39	-111,096.85 -111,096.85 372,258.05

Payable

General Ledger Grouping, Account, Identifier	Description, Factorized Units, Currency	Security Type, BS Class, State	State Tax, Fed Tax, Net Transfers	Beginning Book Value less Due, Acquired Book Value less Due, Transferred In Book Value less Due	Disposed Book Value, Transferred Out Book Value less Due, Impairment Loss	Ending Book Value less Due, Net Amortization/ Accretion, Miscellaneous Income	Miscellaneous Expense, Beginning Due & Accrued, Acquired Due & Accrued	Transferred In Due & Accrued, Disposed Due & Accrued, Transferred Out Due & Accrued	Ending Due & Accrued, Interest/Dividend Received, Interest/Dividend Income	Net Realized Gain/ Loss, Net Gain/Loss, Net Income
Payable City of Escondido CCYUSD	Payable -24,500.00 USD	CASH PAY ---	Y Y 0.00	0.00 0.00 0.00	0.00 0.00 0.00	-24,500.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00
Payable City of Escondido CCYUSD	Payable -24,500.00 USD	CASH PAY ---	Y Y 0.00	0.00 0.00 0.00	0.00 0.00 0.00	-24,500.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00

Receivable

General Ledger Grouping, Account, Identifier	Description, Factorized Units, Currency	Security Type, BS Class, State	State Tax, Fed Tax, Net Transfers	Beginning Book Value less Due, Acquired Book Value less Due, Transferred In Book Value less Due	Disposed Book Value, Transferred Out Book Value less Due, Impairment Loss	Ending Book Value less Due, Net Amortization/ Accretion, Miscellaneous Income	Miscellaneous Expense, Beginning Due & Accrued, Acquired Due & Accrued	Transferred In Due & Accrued, Disposed Due & Accrued, Transferred Out Due & Accrued	Ending Due & Accrued, Interest/Dividend Received, Interest/Dividend Income	Net Realized Gain/ Loss, Net Gain/Loss, Net Income
Receivable City of Escondido CCYUSD	Receivable 24,500.00 USD	CASH RCV ---	Y Y 0.00	0.00 0.00 0.00	0.00 0.00 0.00	24,500.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00
Receivable City of Escondido CCYUSD	Receivable 24,500.00 USD	CASH RCV ---	Y Y 0.00	0.00 0.00 0.00	0.00 0.00 0.00	24,500.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00

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ST City of Escondido 002824BE9	ABBOTT LABORATORIES 825,000.00 USD	CORP ST IL	Y Y 0.00	827,466.04 0.00 0.00	0.00 0.00 0.00	826,228.08 -1,237.96 0.00	0.00 9,427.92 0.00	0.00 0.00 0.00	2,415.42 14,025.00 7,012.50	0.00 0.00 5,774.54
ST City of Escondido 05531FBF9	TRUIST FINANCIAL CORP 800,000.00 USD	CORP ST NC	Y Y 0.00	803,343.33 0.00 0.00	0.00 0.00 0.00	801,955.17 -1,388.16 0.00	0.00 9,583.33 0.00	0.00 0.00 0.00	2,083.33 15,000.00 7,500.00	0.00 0.00 6,111.84
ST City of Escondido 06051GFB0	BANK OF AMERICA CORP 1,395,000.00 USD	CORP ST NC	Y Y 0.00	1,405,668.43 0.00 0.00	0.00 0.00 0.00	1,402,387.05 -3,281.38 0.00	0.00 11,029.22 0.00	0.00 0.00 0.00	25,415.16 0.00 14,385.94	0.00 0.00 11,104.56
ST City of Escondido 20030NCR0	COMCAST CORP 635,000.00 USD	CORP ST PA	Y Y 0.00	0.00 0.00 649,502.45	0.00 0.00 0.00	646,215.98 -3,286.47 0.00	0.00 0.00 0.00	11,812.76 0.00 0.00	4,960.06 11,747.50 4,894.79	0.00 0.00 1,608.32
ST City of Escondido 3130ATKJ5	FEDERAL HOME LOAN BANKS 1,300,000.00 USD	AGCY BOND ST DC	N Y 0.00	0.00 1,297,920.00 0.00	0.00 0.00 0.00	1,298,455.15 535.15 0.00	0.00 0.00 4,423.61	0.00 0.00 0.00	17,852.43 0.00 13,428.82	0.00 0.00 13,963.97
ST City of Escondido 3130AV7F3	FEDERAL HOME LOAN BANKS 1,000,000.00 USD	AGCY BOND ST DC	N Y 0.00	0.00 0.00 998,751.38	0.00 0.00 0.00	998,805.39 54.01 0.00	0.00 0.00 0.00	145.83 0.00 0.00	2,479.17 0.00 2,333.33	0.00 0.00 2,387.34
ST City of Escondido 3130AVE24	FEDERAL HOME LOAN BANKS 1,400,000.00 USD	AGCY BOND ST DC	N Y 0.00	1,400,000.00 0.00 0.00	0.00 0.00 0.00	1,400,000.00 0.00 0.00	0.00 670.83 0.00	0.00 0.00 0.00	20,795.83 0.00 20,125.00	0.00 0.00 20,125.00
ST City of Escondido 3136AJB54	FNA 2014-M04 A2 178,069.53 USD	FNMA ST DC	Y Y 0.00	269,007.58 0.00 0.00	-88,379.18 0.00 0.00	179,359.79 -1,268.60 0.00	0.00 742.95 0.00	0.00 0.00 0.00	496.52 2,223.90 1,977.47	0.00 0.00 708.87
ST City of Escondido 3137BTU25	FHMS K-724 A2 329,723.73 USD	FHLMC ST VA	Y Y 0.00	347,594.84 0.00 0.00	-13,639.46 0.00 0.00	331,619.79 -2,335.59 0.00	0.00 876.15 0.00	0.00 0.00 0.00	841.35 2,578.90 2,544.10	0.00 0.00 208.51
ST City of Escondido 3137EAEV7	FEDERAL HOME LOAN MORTGAGE CORP 275,000.00 USD	AGCY BOND ST VA	Y Y 0.00	274,999.27 0.00 0.00	0.00 0.00 0.00	274,999.73 0.46 0.00	0.00 70.66 0.00	0.00 0.00 0.00	242.53 0.00 171.88	0.00 0.00 172.33
ST City of Escondido 3137EFAA2	FEDERAL HOME LOAN MORTGAGE CORP 0.00 USD	AGCY BOND ST VA	Y Y 0.00	299,932.91 0.00 0.00	-299,934.27 0.00 0.00	0.00 1.36 0.00	0.00 243.75 0.00	0.00 -254.17 0.00	0.00 0.00 10.42	-9,024.27 -9,024.27 -9,012.49
ST City of Escondido 459058JM6	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM 665,000.00 USD	SUPRANATIONA L ST DC	Y Y 0.00	664,690.91 0.00 0.00	0.00 0.00 0.00	664,810.23 119.31 0.00	0.00 586.49 0.00	0.00 0.00 0.00	170.87 831.25 415.63	0.00 0.00 534.94
ST City of Escondido 542411NH2	LONG BEACH CALIF CMNTY COLLEGE 350,000.00 USD	MUNI ST CA	N Y 0.00	350,000.00 0.00 0.00	0.00 0.00 0.00	350,000.00 0.00 0.00	0.00 1,016.75 0.00	0.00 0.00 0.00	2,541.88 0.00 1,525.13	0.00 0.00 1,525.13
ST City of Escondido 61746BDQ6	MORGAN STANLEY 745,000.00 USD	CORP ST NY	Y Y 0.00	0.00 0.00 754,242.56	0.00 0.00 0.00	752,682.78 -1,559.78 0.00	0.00 0.00 0.00	14,514.57 0.00 0.00	4,971.84 14,434.38 4,891.65	0.00 0.00 3,331.87
ST City of Escondido 808513AY1	CHARLES SCHWAB CORP 815,000.00 USD	CORP ST TX	Y Y 0.00	819,790.42 0.00 0.00	0.00 0.00 0.00	818,201.80 -1,588.62 0.00	0.00 4,822.08 0.00	0.00 0.00 0.00	12,055.21 0.00 7,233.13	0.00 0.00 5,644.50
ST City of Escondido 89236TDK8	TOYOTA MOTOR CREDIT CORP 1,090,000.00 USD	CORP ST TX	Y Y 0.00	1,092,595.14 0.00 0.00	0.00 0.00 0.00	1,091,414.78 -1,180.36 0.00	0.00 11,104.38 0.00	0.00 0.00 0.00	4,973.13 12,262.50 6,131.25	0.00 0.00 4,950.89
ST City of Escondido 9128284L1	UNITED STATES TREASURY 0.00 USD	US GOV ST DC	N Y 0.00	50,034.06 0.00 0.00	-50,000.00 0.00 0.00	0.00 -34.06 0.00	0.00 577.35 0.00	0.00 0.00 0.00	0.00 687.50 110.15	0.00 0.00 76.09
ST City of Escondido 9128285D8	UNITED STATES TREASURY 5,000,000.00 USD	US GOV ST DC	N Y 0.00	5,059,521.94 0.00 0.00	0.00 0.00 0.00	5,029,760.97 -29,760.97 0.00	0.00 392.76 0.00	0.00 0.00 0.00	36,133.88 0.00 35,741.12	0.00 0.00 5,980.15
ST City of Escondido 912828R28	UNITED STATES TREASURY 0.00 USD	US GOV ST DC	N Y 0.00	4,804,942.46 0.00 0.00	-4,800,000.00 0.00 0.00	0.00 -4,942.46 0.00	0.00 32,751.38 0.00	0.00 0.00 0.00	0.00 39,000.00 6,248.62	0.00 0.00 1,306.16
ST City of Escondido 912828S35	UNITED STATES TREASURY 0.00 USD	US GOV ST DC	N Y 0.00	773,342.42 0.00 0.00	-775,000.00 0.00 0.00	0.00 1,657.58 0.00	0.00 2,678.78 0.00	0.00 0.00 0.00	0.00 5,328.13 2,649.35	0.00 0.00 4,306.93

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ST City of Escondido 912828V80	UNITED STATES TREASURY 600,000.00 USD	US GOV ST DC	N Y 0.00	599,800.05 0.00 0.00	0.00 0.00 0.00	599,859.89 59.84 0.00	0.00 2,237.57 0.00	0.00 0.00 0.00	5,631.22 0.00 3,393.65	0.00 0.00 3,453.49
ST City of Escondido 912828VS6	UNITED STATES TREASURY 2,000,000.00 USD	US GOV ST DC	N Y 0.00	1,985,239.09 0.00 0.00	0.00 0.00 0.00	1,995,115.87 9,876.79 0.00	0.00 6,215.47 0.00	0.00 0.00 0.00	18,784.53 0.00 12,569.06	0.00 0.00 22,445.85
ST City of Escondido 912828W48	UNITED STATES TREASURY 95,000.00 USD	US GOV ST DC	N Y 0.00	94,839.87 0.00 0.00	0.00 0.00 0.00	94,882.97 43.09 0.00	0.00 175.54 0.00	0.00 0.00 0.00	674.75 0.00 499.20	0.00 0.00 542.30
ST City of Escondido 912828W71	UNITED STATES TREASURY 2,650,000.00 USD	US GOV ST DC	N Y 0.00	0.00 0.00 2,697,165.90	0.00 0.00 0.00	2,685,416.62 -11,749.28 0.00	0.00 0.00 0.00	153.86 0.00 0.00	14,155.05 0.00 14,001.20	0.00 0.00 2,251.92
ST City of Escondido 912828W71	UNITED STATES TREASURY 1,420,000.00 USD	US GOV ST DC	N Y 0.00	0.00 0.00 1,435,961.35	0.00 0.00 0.00	1,431,991.80 -3,969.56 0.00	0.00 0.00 0.00	82.45 0.00 0.00	7,584.97 0.00 7,502.53	0.00 0.00 3,532.97
ST City of Escondido 912828Y61	UNITED STATES TREASURY 145,000.00 USD	US GOV ST DC	N Y 0.00	145,658.41 0.00 0.00	0.00 0.00 0.00	145,163.24 -495.17 0.00	0.00 660.91 0.00	0.00 0.00 0.00	1,663.29 0.00 1,002.38	0.00 0.00 507.22
ST City of Escondido 912828ZP8	UNITED STATES TREASURY 0.00 USD	US GOV ST DC	N Y 0.00	2,159,986.93 0.00 0.00	-2,160,000.00 0.00 0.00	0.00 13.07 0.00	0.00 1,021.82 0.00	0.00 0.00 0.00	0.00 1,350.00 328.18	0.00 0.00 341.25
ST City of Escondido 912828ZU7	UNITED STATES TREASURY 0.00 USD	US GOV ST DC	N Y 0.00	1,982,859.45 0.00 0.00	-2,000,000.00 0.00 0.00	0.00 17,140.55 0.00	0.00 1,469.78 0.00	0.00 0.00 0.00	0.00 2,500.00 1,030.22	0.00 0.00 18,170.77
ST City of Escondido 912828ZY9	UNITED STATES TREASURY 2,000,000.00 USD	US GOV ST DC	N Y 0.00	1,977,954.38 0.00 0.00	0.00 0.00 0.00	1,997,060.58 19,106.20 0.00	0.00 524.86 0.00	0.00 0.00 0.00	1,153.31 0.00 628.45	0.00 0.00 19,734.65
ST City of Escondido 912828ZY9	UNITED STATES TREASURY 2,000,000.00 USD	US GOV ST DC	N Y 0.00	1,977,236.64 0.00 0.00	0.00 0.00 0.00	1,996,964.89 19,728.24 0.00	0.00 524.86 0.00	0.00 0.00 0.00	1,153.31 0.00 628.45	0.00 0.00 20,356.70
ST City of Escondido 91282CBV2	UNITED STATES TREASURY 4,350,000.00 USD	US GOV ST DC	N Y 0.00	0.00 0.00 4,337,363.43	0.00 0.00 0.00	4,339,990.21 2,626.78 0.00	0.00 0.00 0.00	8,200.82 0.00 0.00	3,431.86 8,156.25 3,387.30	0.00 0.00 6,014.07
ST City of Escondido 91282CBX8	UNITED STATES TREASURY 0.00 USD	US GOV ST DC	N Y 0.00	3,987,980.48 0.00 0.00	-4,000,000.00 0.00 0.00	0.00 12,019.52 0.00	0.00 2,099.45 0.00	0.00 0.00 0.00	0.00 2,500.00 400.55	0.00 0.00 12,420.07
ST City of Escondido 91282CCN9	UNITED STATES TREASURY 240,000.00 USD	US GOV ST DC	N Y 0.00	239,938.19 0.00 0.00	0.00 0.00 0.00	239,984.68 46.48 0.00	0.00 49.72 0.00	0.00 0.00 0.00	125.14 0.00 75.41	0.00 0.00 121.90
ST City of Escondido 91282CCU3	UNITED STATES TREASURY 900,000.00 USD	US GOV ST DC	N Y 0.00	899,700.24 0.00 0.00	0.00 0.00 0.00	899,879.70 179.46 0.00	0.00 97.83 0.00	0.00 0.00 0.00	376.02 0.00 278.19	0.00 0.00 457.65
ST City of Escondido 91282CDA6	UNITED STATES TREASURY 800,000.00 USD	US GOV ST DC	N Y 0.00	799,929.38 0.00 0.00	0.00 0.00 0.00	799,964.69 35.31 0.00	0.00 5.46 0.00	0.00 0.00 0.00	502.73 0.00 497.27	0.00 0.00 532.58
ST City of Escondido 91282CDD0	UNITED STATES TREASURY 2,350,000.00 USD	US GOV ST DC	N Y 0.00	2,348,065.48 0.00 0.00	0.00 0.00 0.00	2,348,894.06 828.59 0.00	0.00 3,700.28 0.00	0.00 0.00 0.00	1,484.71 4,406.25 2,190.69	0.00 0.00 3,019.28
ST City of Escondido 91282CDD0	UNITED STATES TREASURY 2,000,000.00 USD	US GOV ST DC	N Y 0.00	1,952,088.01 0.00 0.00	0.00 0.00 0.00	1,972,534.49 20,446.49 0.00	0.00 3,149.17 0.00	0.00 0.00 0.00	1,263.59 3,750.00 1,864.42	0.00 0.00 22,310.90
ST City of Escondido 91282CER8	UNITED STATES TREASURY 800,000.00 USD	US GOV ST DC	N Y 0.00	0.00 0.00 798,823.37	0.00 0.00 0.00	798,919.44 96.07 0.00	0.00 0.00 0.00	54.64 0.00 0.00	1,693.99 0.00 1,639.34	0.00 0.00 1,735.42
ST City of Escondido ---	--- 39,152,793.27 USD ---	--- ST ---	--- Y 0.00	40,394,206.36 1,297,920.00 11,671,810.44	-14,186,952.91 0.00 0.00	39,213,519.81 36,535.92 0.00	0.00 108,507.51 4,423.61	34,964.94 -254.17 0.00	198,107.07 140,781.56 191,246.75	-9,024.27 -9,024.27 218,758.40

Summary

GAAP GL Income Detail

City of Escondido (299155)

04/01/2023 - 06/30/2023

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Dated: 07/31/2023

General Ledger Grouping, Account, Identifier	Description, Factorized Units, Currency	Security Type, BS Class, State	State Tax, Fed Tax, Net Transfers	Beginning Book Value less Due, Acquired Book Value less Due, Transferred In Book Value less Due	Disposed Book Value, Transferred Out Book Value less Due, Impairment Loss	Ending Book Value less Due, Net Amortization/ Accretion, Miscellaneous Income	Miscellaneous Expense, Beginning Due & Accrued, Acquired Due & Accrued	Transferred In Due & Accrued, Disposed Due & Accrued, Transferred Out Due & Accrued	Ending Due & Accrued, Interest/Dividend Received, Interest/Dividend Income	Net Realized Gain/ Loss, Net Gain/Loss, Net Income
---	---	---	---	153,481,365.71	-24,674,971.37	153,979,062.69	0.00	34,964.94	591,044.22	-120,121.12
City of Escondido	155,350,868.96	---	Y	25,066,326.91	-11,671,810.44	106,341.43	427,066.30	-2,813.91	528,788.42	-120,121.12
---	USD	---	0.00	11,671,810.44	0.00	0.00	20,125.66	-34,964.94	675,454.59	661,674.90

* Grouped by: General Ledger Grouping. * Groups Sorted by: General Ledger Grouping.

GAAP Transaction Detail

City of Escondido (299155)

04/01/2023 - 06/30/2023

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Dated: 07/31/2023

Account	Identifier	Description	Current Units	Currency	Transaction Type	Entry Date	Settle Date	Final Maturity	Price	Principal	Commission	Amount
City of Escondido	912828R28	UNITED STATES TREASURY	-4,800,000.00	USD	Maturity	04/30/2023	04/30/2023	04/30/2023	100.000	-4,800,000.00	0.00	4,800,000.00
City of Escondido	912828S35	UNITED STATES TREASURY	0.00	USD	Coupon	06/30/2023	06/30/2023	06/30/2023	---	0.00	0.00	5,328.13
City of Escondido	912828S35	UNITED STATES TREASURY	-775,000.00	USD	Maturity	06/30/2023	06/30/2023	06/30/2023	100.000	-775,000.00	0.00	775,000.00
City of Escondido	912828XX3	UNITED STATES TREASURY	0.00	USD	Coupon	06/30/2023	06/30/2023	06/30/2024	---	0.00	0.00	12,250.00
City of Escondido	912828Y95	UNITED STATES TREASURY	2,000,000.00	USD	Buy	05/16/2023	05/17/2023	07/31/2026	94.547	1,890,937.50	0.00	-1,901,918.16
City of Escondido	912828YM6	UNITED STATES TREASURY	0.00	USD	Coupon	04/30/2023	04/30/2023	10/31/2024	---	0.00	0.00	4,762.50
City of Escondido	912828ZL7	UNITED STATES TREASURY	0.00	USD	Coupon	04/30/2023	04/30/2023	04/30/2025	---	0.00	0.00	6,328.13
City of Escondido	912828ZP8	UNITED STATES TREASURY	0.00	USD	Coupon	05/15/2023	05/15/2023	05/15/2023	---	0.00	0.00	1,350.00
City of Escondido	912828ZP8	UNITED STATES TREASURY	-2,160,000.00	USD	Maturity	05/15/2023	05/15/2023	05/15/2023	100.000	-2,160,000.00	0.00	2,160,000.00
City of Escondido	912828ZT0	UNITED STATES TREASURY	0.00	USD	Coupon	05/31/2023	05/31/2023	05/31/2025	---	0.00	0.00	2,500.00
City of Escondido	912828ZU7	UNITED STATES TREASURY	0.00	USD	Coupon	06/15/2023	06/15/2023	06/15/2023	---	0.00	0.00	2,500.00
City of Escondido	912828ZU7	UNITED STATES TREASURY	-2,000,000.00	USD	Maturity	06/15/2023	06/15/2023	06/15/2023	100.000	-2,000,000.00	0.00	2,000,000.00
City of Escondido	91282CAD3	UNITED STATES TREASURY	2,000,000.00	USD	Buy	05/16/2023	05/17/2023	07/31/2027	87.625	1,752,500.00	0.00	-1,754,696.13
City of Escondido	91282CBC4	UNITED STATES TREASURY	0.00	USD	Coupon	06/30/2023	06/30/2023	12/31/2025	---	0.00	0.00	2,250.00
City of Escondido	91282CBV2	UNITED STATES TREASURY	0.00	USD	Coupon	04/15/2023	04/15/2023	04/15/2024	---	0.00	0.00	8,156.25
City of Escondido	91282CBX8	UNITED STATES TREASURY	0.00	USD	Coupon	04/30/2023	04/30/2023	04/30/2023	---	0.00	0.00	2,500.00
City of Escondido	91282CBX8	UNITED STATES TREASURY	-4,000,000.00	USD	Maturity	04/30/2023	04/30/2023	04/30/2023	100.000	-4,000,000.00	0.00	4,000,000.00
City of Escondido	91282CCF6	UNITED STATES TREASURY	0.00	USD	Coupon	05/31/2023	05/31/2023	05/31/2026	---	0.00	0.00	15,300.00
City of Escondido	91282CJ8	UNITED STATES TREASURY	0.00	USD	Coupon	06/30/2023	06/30/2023	06/30/2026	---	0.00	0.00	10,543.75
City of Escondido	91282CDD0	UNITED STATES TREASURY	0.00	USD	Coupon	04/30/2023	04/30/2023	10/31/2023	---	0.00	0.00	8,156.25
City of Escondido	91282CDG3	UNITED STATES TREASURY	0.00	USD	Coupon	04/30/2023	04/30/2023	10/31/2026	---	0.00	0.00	33,187.50
City of Escondido	91282CDG3	UNITED STATES TREASURY	1,000,000.00	USD	Buy	05/16/2023	05/17/2023	10/31/2026	91.875	918,750.00	0.00	-919,269.70
City of Escondido	91282CDH1	UNITED STATES TREASURY	0.00	USD	Coupon	05/15/2023	05/15/2023	11/15/2024	---	0.00	0.00	18,750.00
City of Escondido	91282CEN7	UNITED STATES TREASURY	0.00	USD	Coupon	04/30/2023	04/30/2023	04/30/2027	---	0.00	0.00	27,500.00
City of Escondido	91282CER8	UNITED STATES TREASURY	0.00	USD	Coupon	05/31/2023	05/31/2023	05/31/2024	---	0.00	0.00	10,000.00
City of Escondido	91324PEG3	UNITEDHEALTH GROUP INC	0.00	USD	Coupon	05/15/2023	05/15/2023	05/15/2027	---	0.00	0.00	11,840.00
City of Escondido	91412HGE7	UNIVERSITY CALIF REVS	0.00	USD	Coupon	05/15/2023	05/15/2023	05/15/2025	---	0.00	0.00	1,655.63
City of Escondido	98163KAC6	WOART 2021-D A3	0.00	USD	Coupon	04/15/2023	04/15/2023	10/15/2026	---	0.00	0.00	236.25
City of Escondido	98163KAC6	WOART 2021-D A3	0.00	USD	Coupon	05/15/2023	05/15/2023	10/15/2026	---	0.00	0.00	236.25
City of Escondido	98163KAC6	WOART 2021-D A3	0.00	USD	Coupon	06/15/2023	06/15/2023	10/15/2026	---	0.00	0.00	236.25
City of Escondido	CCYUSD	US DOLLAR	0.00	USD	Cash Transfer	06/30/2023	07/03/2023	06/30/2023	---	0.00	0.00	12,250.00
City of Escondido	CCYUSD	US DOLLAR	0.00	USD	Cash Transfer	06/30/2023	07/05/2023	06/30/2023	---	0.00	0.00	-12,250.00
City of Escondido	CCYUSD	US DOLLAR	0.00	USD	Cash Transfer	06/30/2023	07/05/2023	06/30/2023	---	0.00	0.00	12,250.00
City of Escondido	CCYUSD	US DOLLAR	0.00	USD	Cash Transfer	06/30/2023	07/03/2023	06/30/2023	---	0.00	0.00	-12,250.00
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	15,415,869.41	USD	Buy	---	---	06/30/2023	1.000	15,415,869.41	0.00	-15,415,869.41
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	-7,367,933.99	USD	Sell	---	---	06/30/2023	1.000	-7,367,933.99	0.00	7,367,933.99
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	0.00	USD	Money Market Funds	04/04/2023	04/04/2023	06/30/2023	---	0.00	0.00	23,392.84
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	0.00	USD	Money Market Funds	05/02/2023	05/02/2023	06/30/2023	---	0.00	0.00	10,352.13
City of Escondido	X9USDBRD2	BLACKROCK FED TRST DOLR SHR FD 102	0.00	USD	Money Market Funds	06/02/2023	06/02/2023	06/30/2023	---	0.00	0.00	36,913.48
City of Escondido	---	---	1,040,583.59	USD	---	---	---	02/18/2024	---	511,476.67	0.00	0.00

* Showing transactions with Entry Date within selected date range. * Weighted by: Absolute Value of Principal. * MMF transactions are collapsed.

* The Transaction Detail/Trading Activity reports provide our most up-to-date transactional details. As such, these reports are subject to change even after the other reports on the website have been locked down. While these reports can be useful tools in understanding recent activity, due to their dynamic nature we do not recommend using them for booking journal entries or reconciliation.

Audit

City of Escondido (299155)

04/01/2023 - 06/30/2023

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Dated: 07/31/2023

Limits.

<i>Timestamp, Username</i>	<i>Account</i>	<i>Policy Name</i>	<i>Category Name</i>	<i>Rule Name</i>	<i>Previous Value, New Value</i>
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Resolutions.

<i>Timestamp, Username</i>	<i>Account, Policy Name</i>	<i>Category Name, Rule Name</i>	<i>Identifier, Description</i>	<i>Previous Start Date, New Start Date</i>	<i>Previous End Date, New End Date</i>
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Notes.

<i>Timestamp, Username</i>	<i>Account, Policy Name</i>	<i>Category Name, Rule Name</i>	<i>Identifier, Description</i>	<i>Previous Note, New Note</i>
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STAFF REPORT

August 16, 2023
File Number 0480-70

SUBJECT

FISCAL YEAR 2022/23 PAUL COVERDELL FORENSIC IMPROVEMENT PROGRAM GRANT AND BUDGET ADJUSTMENT

DEPARTMENT

Police Department

RECOMMENDATION

Request the City Council adopt Resolution No. 2023-104 authorizing the Chief of Police or his designee to accept a FY 2022-23 California Office of Emergency Services (CalOES) Paul Coverdell Forensic Science Improvement Program Grant in the amount of \$52,446; execute all documents necessary for the management and completion of the grant scope; and authorize the necessary budget adjustment needed to spend grant funds.

Staff Recommendation: Approval (Department Name: Edward Varso, Chief of Police)

Presenter: Edward Varso, Chief of Police

FISCAL ANALYSIS

Grant funds will be used to purchase forensic operational supplies and accreditation fees for the forensic unit for crime scene investigation. This will have no impact on the General Fund Budget.

PREVIOUS ACTION

On August 17, 2022, City Council adopted resolution No. 2022-118 approving a Paul Coverdell Forensic Science Improvement Program Grant in the amount of \$52,033.

BACKGROUND

The Escondido Police Department has received a FY 2022-23 CalOES Paul Coverdell Forensic Science Improvement Program Grant in the amount of \$52,446, funded through the Bureau of Justice Assistance. Grant funding must be used to cover costs associated with acquiring and maintaining accreditation for crime labs, reducing forensic investigation backlogs, and improving the quality and timeliness of forensic science services.



CITY of ESCONDIDO

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The Escondido Police Department proposes to utilize grant funds to purchase the following items:

- Costs associated with annual fees required to maintain Crime Lab accreditation (\$5,418)
 - In 2019, the Escondido Police Department Crime Lab became fully accredited. Annually there are fees to maintain that accreditation. This grant will cover the costs of those fees.
- Camera accessories and operating supplies (\$2,537)
 - Camera accessories and supplies to photograph crime scenes for evidentiary purposes
- Qualtrax Compliance Software (\$44,491)
 - This software is a web based quality assurance software that will be utilized to meet accreditation standards and manage documents related to accreditation.

Grant funds will improve the quality and timeliness of forensic science services within the City of Escondido.

RESOLUTIONS

- a. Resolution No. 2023-104

ATTACHMENTS

- a. Budget Adjustment

RESOLUTION NO. 2023-104

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AUTHORIZING THE CHIEF OF POLICE OR HIS DESIGNEE TO ACCEPT A FY 2022-23 CALIFORNIA OFFICE OF EMERGENCY SERVICES (CALOES) PAUL COVERDELL FORENSIC SCIENCE IMPROVEMENT PROGRAM GRANT IN THE AMOUNT OF \$52,446; EXECUTE ALL DOCUMENTS NECESSARY FOR THE MANAGEMENT AND COMPLETION OF THE GRANT SCOPE; AND AUTHORIZE THE NECESSARY BUDGET ADJUSTMENT

WHEREAS, the City of Escondido desires to improve the quality and timeliness of forensic science services; and

WHEREAS, the Escondido Police Department has designated the FY 2022-23 Paul Coverdell Forensic Science Program Grant to conduct specific programs to address these goals; and

WHEREAS, the Paul Coverdell Forensic Science Program Grant will be funded from funds made available by the California Office of Emergency Services (hereafter referred to as CalOES), through the Bureau of Justice Assistance.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the City Council authorizes the Chief of Police of the City of Escondido to accept the the Paul Coverdell Forensic Science Program Grant from CalOES in the amount of \$52,446 and execute all documents necessary for the management and completion of the grant scope.
3. That the City Council hereby also approves and authorizes the necessary budget adjustment needed to establish a new project number for tracking and spending of grant funds.

4. That grant funds received hereunder shall not be used supplant expenditures controlled by this body.



BUDGET ADJUSTMENT REQUEST

Department:	Police	<u>For Finance Use Only</u> BA # _____ Fiscal Year _____
Department Contact:	Lisa Rodelo	
City Council Meeting Date: <i>(attach staff report)</i>	August 16, 2023	

EXPLANATION OF REQUEST

A budget adjustment is needed to spend FY2022-23 Paul Coverdell Forensic Science Improvement Program Grant from California Office of Emergency Services for Forensic Services Unit's Operating Supplies

BUDGET ADJUSTMENT INFORMATION

Project/Account Description	Account Number	Amount of Increase	Amount of Decrease
Grant Revenue	4128-451-PCF23	\$52,446	
FY22-23 Paul Coverdell Forensic Science Improvement Program Grant	451-PCF23	\$52,446	

APPROVALS

DocuSigned by: DC4B0C7FA65B4BD...	DocuSigned by: 99A33925FA6B449...
8/10/2023	8/10/2023
DEPARTMENT HEAD	DATE
FINANCE	DATE



STAFF REPORT

August 16, 2023
File Number 0120-15

SUBJECT

PHG20-0033/PL22-0216 – AN APPEAL OF THE PLANNING COMMISSION’S DECISION TO DENY A CONDITIONAL USE PERMIT AND GRADING EXEMPTION FOR THE CONSTRUCTION OF A 45-BED LICENSED RESIDENTIAL CARE FACILITY

DEPARTMENT

Planning Division, Development Services Department

RECOMMENDATION

Request the City Council adopt Resolution No. 2023-103, granting the appeal of the Planning Commission’s decision to deny the Conditional Use Permit and Grading Exemption for the construction of a 45-bed Licensed Residential Care Facility.

Staff Recommendation: Approval (Andrew Firestine, Director of Development Services)

Presenter: Ivan Flores, Associate Planner

FISCAL ANALYSIS

The applicant will be responsible for payment of Development Impact Fees prior to issuance of building permits.

PREVIOUS ACTION

On April 25, 2023, the project was heard by the Planning Commission, and a motion to deny the resolution to approve the Project was made. The motion was approved by a 3 – 2 vote.

On May 5, 2023, in accordance with Section 33-1303 of Article 61 (Administration and Enforcement), the applicant filed an appeal of the Planning Commission’s action (see Attachment “1”).

BACKGROUND

The subject property is 4.27-acres and is developed with an existing single-family residence with access via Reed Road. The existing single-family residence currently operates as a licensed residential care facility with no more than 6 residents. The property is located within the Estate II (E2) General Plan land use designation and zoned Residential Estate (RE-20; 20,000 sq. ft. minimum lot size). According to building permit records, the residence was constructed in 1992. The City received a request for a Tentative Parcel Map (SUB18-0004) in 2018; however, the project was withdrawn.



CITY of ESCONDIDO

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PROJECT DESCRIPTION

The applicant, John Beery, on behalf of the property owner, Leslie Wang, had submitted a request for a Conditional Use Permit to operate a licensed residential care facility for more than 7 residents, otherwise known as an assisted living facility, within the RE-20 zoning district. The assisted living facility will be comprised of 3 separate buildings with each building housing 15 residents for a total of 45 residents, and for a combined building square footage of 21,190 square-feet (as shown on Exhibit “B” of Resolution No. 2023 - 103). The project also includes a request for a Grading Exemption to construct fill slopes up to 10-feet in height within 50-feet of a property line, and to construct cut slopes steeper than 2:1 (“Project”).

A complete project description and analysis of the Project can be found on the April 25, 2023 Planning Commission staff report (see Attachment “2”).

PLANNING COMMISSION ACTION

On April 25, 2023, the Planning Commission held a duly noticed public hearing on the Project. A motion to deny the resolution approving the Project was approved by a 3 – 2 vote. Below is a summary of the items that were discussed during the hearing. City staff has provided a response for each of the items of concern:

1. Operational characteristics of the proposed use related to vehicle deliveries, on-site circulation, etc.

City Staff Response: A Condition of Approval will be incorporated into the approval of the Project that requires the developer to submit a detailed letter of operations outlining frequency of deliveries, hours of deliveries, and nature of deliveries. The letter will be required prior to issuance of a business license for the proposed use. Additionally, the Director of Development Services shall have the authority to require additional information and modifications to the letter of operations, if necessary. The Applicant has agreed to this condition.

2. Location of an oak tree on the neighboring property

City Staff Response: A Condition of Approval will be incorporated into the approval of the Project requiring the provision of an arborist report prior to the issuance of the grading permit for the project. The purpose of the arborist report will be to evaluate the health of the oak tree, and to make recommendations, as appropriate, to avoid any impacts to the oak tree. This is consistent with the vegetation replacement requirements under Article 55 (Grading and Erosion Control) of the Escondido Zoning Code.

3. Not sufficient information related to the design of the Project

City Staff Response: The Planning Commission was mainly concerned with visual impacts to surrounding properties. The Applicant has prepared additional renderings, and cross sections to better illustrate the proposed development relative to surrounding existing single-family residences. The additional



CITY of ESCONDIDO

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renderings have been provided as Attachment “3”; the additional grading sections have been provided as Attachment “4”; and colored elevations are provided as Attachment “5.”

PUBLIC INPUT

The City received public comments before and during the public hearing. Below is a summary of the comments received during the hearing: 8 in opposition, 4 in opposition but did not speak; and 1 in support:

1. Compatibility with surrounding land uses and impact to surrounding land uses

City Staff Response: The Project is located in the RE-20 zoning district, and is surrounded by primarily residential uses. The proposed use is a conditionally permitted use within all residential zoning districts, including the RE-20 district. As detailed in the Planning Commission staff report, the Project would conform to the requirements of the underlying zoning district; and for all intents and purposes is considered a residential use. The Conditional Use Permit is the appropriate land use tool to reduce impacts, if any, to surrounding land uses. The Project as conditioned would ensure compatibility with surrounding land uses.

2. Increase in traffic

City Staff Response: The Applicant submitted a traffic scoping agreement which was approved by the Traffic Engineering division. Based on the scoping agreement, the Project would produce approximately 120 daily trips, and falls below the threshold of 200 daily trips which would trigger any additional traffic analysis. The 120 daily trips are spread out amongst several time segments over the course of a day. Generally, 10% of daily trips are allocated to High Peak AM and PM which would result in 12 trips. It is important to note that the facility is a 24-hr facility, and would have a less typical dispersion of trips over the course of its daily operations due to shift changes for employees.

3. Noise issues

City Staff Response: The Project is required to comply with Article 12 (Noise Abatement and Control) of Chapter 17 (Offenses – Miscellaneous Provisions) which outlines noise regulations for receiving land uses. Any perceived, or real, noise impacts would be addressed through the code enforcement process. Additionally, the HVAC units would be located on the roof, and screened, as required by the Escondido Zoning Code. The building permit process would allow staff to review manufacturer specifications for the proposed HVAC units, and staff may require an acoustical analysis, if necessary.

4. Quality and characteristics of existing neighborhood

City Staff Response: As discussed above, the Project is a conditionally permitted use in the underlying zoning district. The Project has been designed to blend in with the surrounding neighborhood and avoids an institutional appearance through the use of material that is typically associated with residential



CITY of ESCONDIDO

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development. Furthermore, the building height for all the buildings is consistent with surrounding residential structures (not exceeding 21'-3" in height for the two-story) as shown on the newly provided cross-sections. The grading of the site has been designed to minimize the visual impacts of the parking lot and buildings to the surrounding properties. The location of the Project in a residential area is supported by several General Plan policies as discussed in the Planning Commission staff report. The Project as designed would be harmonious with surrounding residential development.

5. Impacts of grading and soil erosion on surrounding properties

City Staff Response: As a part of the entitlement process, the applicant is required to provide a soils report and Geotechnical report to support the grading design on the site. The applicant will be responsible for providing final reports with recommendations that are incorporated into the grading plan. The grading plan will contain best management practices that address soil erosion, and stormwater management, as recommended by the aforementioned reports.

ENVIRONMENTAL REVIEW

California Environmental Quality Act ("CEQA") Guideline's list classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from further environmental review under CEQA. The Project qualifies for an exemption under CEQA Guidelines section 15332 (In-fill Development Projects) because the Project site is less than 5 acres in size and is substantially surrounded by urban uses; is consistent with the applicable general plan and zoning designations; it has no value as habitat for endangered, rare or threatened species; would not result in significant effects related to traffic, noise, air quality, or water quality; and can be adequately served by all required utilities and public services. The CEQA Notice of Exemption prepared for the Project is incorporated into this staff report by this reference (see Attachment "6"). The Notice of Exemption demonstrates that the Project qualifies for these exemptions and will not have a significant effect on the environment.

CONCLUSION AND RECOMMENDATION

The Project proposes the construction of Licensed Residential Care Facility to offer assisted living for patients living with dementia. The Project as designed and conditioned would be compatible with surrounding uses, and would make efficient use of a vacant portion of an already developed site. There are several General Plan policies that encourage and support the development of residential care facilities, so that residents can continue living in the City of Escondido.

Based on the analysis contained in this staff report, in addition to the April 25, 2023 Planning Commission Report, staff recommends that the City Council grant the appeal of the Project, and approve Resolution No. 2023-103 granting the appeal, and granting approval of the Project.



CITY of ESCONDIDO

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RESOLUTIONS

- a. Resolution No. 2023 – 103
- b. Resolution No. 2023 – 103, Exhibits A - D

ATTACHMENTS

- a. Attachment "1" – Appeal Application
- b. Attachment "2" – April 25, 2023 Planning Commission Report
- c. Attachment "3" – Existing Conditions, Photos, and Renderings
- d. Attachment "4" – Grading Sections
- e. Attachment "5" – Colored Elevations
- f. Attachment "6" – CEQA Notice of Exemption

RESOLUTION NO. 2023-103

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, GRANTING AN APPEAL OF PLANNING COMMISSION'S DECISION FOR A CONDITIONAL USE PERMIT AND GRADING EXEMPTION FOR A LICENSED RESIDENTIAL CARE FACILITY

WHEREAS, John Beery, on behalf of Mt. Everest Group, Inc. and Solaris Capital Group, Inc. ("Applicant"), filed a land use development application, Planning Case Nos. PHG20-0033 and PL22-0216 ("Application") constituting a request for a Conditional Use Permit and Grading Exemption to allow for the construction of a 21,190 square-foot licensed residential care facility, and for construction of slopes not in conformance with the City's criteria for grading design ("Project") on a 4.2 gross acre site located at 2525 Reed Road (APN 231-230-42-00), in the Residential Estate (RE-20) Zone; and

WHEREAS, on April 25, 2023, the City of Escondido Planning Commission held a duly noticed public hearing; and

WHEREAS, the Planning Commission voted 3-2 to deny the resolution to approve the Project; and

WHEREAS, the Applicant filed an appeal of the Planning Commission's decision in accordance with the Escondido Zoning Code ("Appeal"); and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as though fully set forth herein ("Property"); and

WHEREAS, the Application and Appeal were submitted to, and processed by, the Planning Division of the Development Services Department in accordance with the rules and regulations of the Escondido Zoning Code and the applicable procedures and time limits specified by the Permit Streamlining Act

(Government Code section 65920 et seq.) and the California Environmental Quality Act (Public Resources Code section 21000 et seq.) (“CEQA”); and

WHEREAS, Licensed Residential Care Facilities are permitted uses or conditionally permitted uses within the RE-20 Zone, subject to the approval of a Conditional Use Permit, in accordance with Section 33-94 of the Escondido Zoning Code; and

WHEREAS, pursuant to CEQA and the CEQA Guidelines (Title 14 of California Code of Regulations, Section 15000 et. seq.), the City is the Lead Agency for the Project, as the public agency with the principal responsibility for approving the proposed Project; and

WHEREAS, the Planning Division studied the Application and Appeal, performed necessary investigations, prepared a written report, and hereby recommends approval of the Project as depicted on the plan set shown in Exhibit "B," which is attached hereto and made a part hereof by this reference as though fully set forth herein; and

WHEREAS, City staff provided public notice of the application in accordance with City and State public noticing requirements; and

WHEREAS, on August 16, 2023, the City Council held a duly noticed public hearing as prescribed by law, at which time the City Council received and considered the reports and recommendation of the Planning Division and gave all person’s full opportunity to be heard and to present evidence and testimony regarding the Project. Evidence was submitted to and considered by the City Council, including, without limitation:

- a. Written information including plans, studies, written and graphical information, and other material, submitted by the Applicant;
- b. Oral testimony from City staff, interested parties, and the public;

- c. The staff report, dated August 16, 2023, with its attachments as well as City staff's recommendation on the Project, which is incorporated herein as though fully set forth herein; and
- d. Additional information submitted during the public hearing; and

WHEREAS, the public hearing before the City Council was conducted in all respects as required by the Escondido Municipal Code and the rules of this City Council.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. The above recitations are true and correct.
2. The City Council, in its independent judgment, has determined the Project to be exempt from environmental review pursuant to CEQA Guidelines section 15332 (In-Fill Development Projects). The Project site is less than five (5) acres; it is consistent with the applicable general plan designation and applicable general plan policies; it is substantially surrounded by urban uses; it has no value as habitat for endangered, rare, or threatened species; and would not have significant effects relating to traffic, noise, air quality, or water quality.
3. After consideration of all evidence presented, and studies and investigations made by the City Council and on its behalf, the City Council makes the following substantive findings and determinations, attached hereto as Exhibit "C," relating to the information that has been considered. In accordance with the Findings of Fact and the foregoing, the City Council reached a decision on the matter as hereinafter set forth.
4. The Application and Appeal to use the Property for the Project, subject to each and all of the conditions hereinafter set forth in Exhibit "D," is hereby granted and the Project is **approved**. The City Council expressly declares that it would not have granted the Appeal, and approved this Application, except upon and subject to each and all of said conditions, each and all of which shall run with the land

and be binding upon the Applicant, the owner, and all subsequent owners of the Property, and all persons who use the Property for the use permitted hereby.

5. The City Council, therefore, directs that a Notice of Exemption be filed with the County Clerk of the County of San Diego in accordance with the CEQA Guidelines.

6. The development plans for the Project are on file in the Planning Division of the Development Services Department and are available for inspection by anyone interested herein, and the development plans are incorporated herein by this reference as if they were fully set forth herein. The Project is conditionally approved as set forth on the Application and Project drawings, all designated as approved by the City Council, and which shall not be altered without the express authorization by the Planning Division. Any deviations from the approved development plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.

BE IT FURTHER RESOLVED that, pursuant to Government Code section 66020(d)(1):

1. NOTICE IS HEREBY GIVEN that the Project is subject to dedications, reservations, and exactions, as specified in the Conditions of Approval. The Project is subject to certain fees described in the City of Escondido's Development Fee Inventory on file in both the Planning and Engineering Divisions of the Development Services Department. The Applicant shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits are issued. It is the City's intent that the costs representing future development's share of public facilities and capital improvements be imposed to ensure that new development pays the capital costs associated with growth. The Applicant is advised to review the Planned Fee Updates portion of the web page, www.escondido.org, and regularly monitor and/or review fee-related information to plan for the costs associated with undertaking the Project.

2. NOTICE IS FURTHER GIVEN that the 90-day period during which to protest the imposition of any fee, dedication, reservation, or other exaction described in this Resolution begins on

the effective date of this Resolution, and any such protest must be in a manner that complies with Government Code section 66020.

Exhibit "A"

Legal Description

The land referred to herein is situated in the State of CALIFORNIA, County of SAN DIEGO, and described as follows:

PARCEL A:

LOT 2 IN BLOCK 261 OP RANCHO R1NCON DEL DIABLO, IN THE CITY OF ESCON0IDO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP THEREOF NO. 725, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 13, 1982.

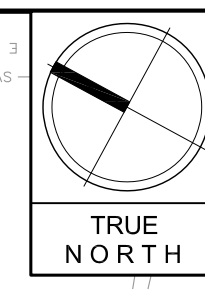
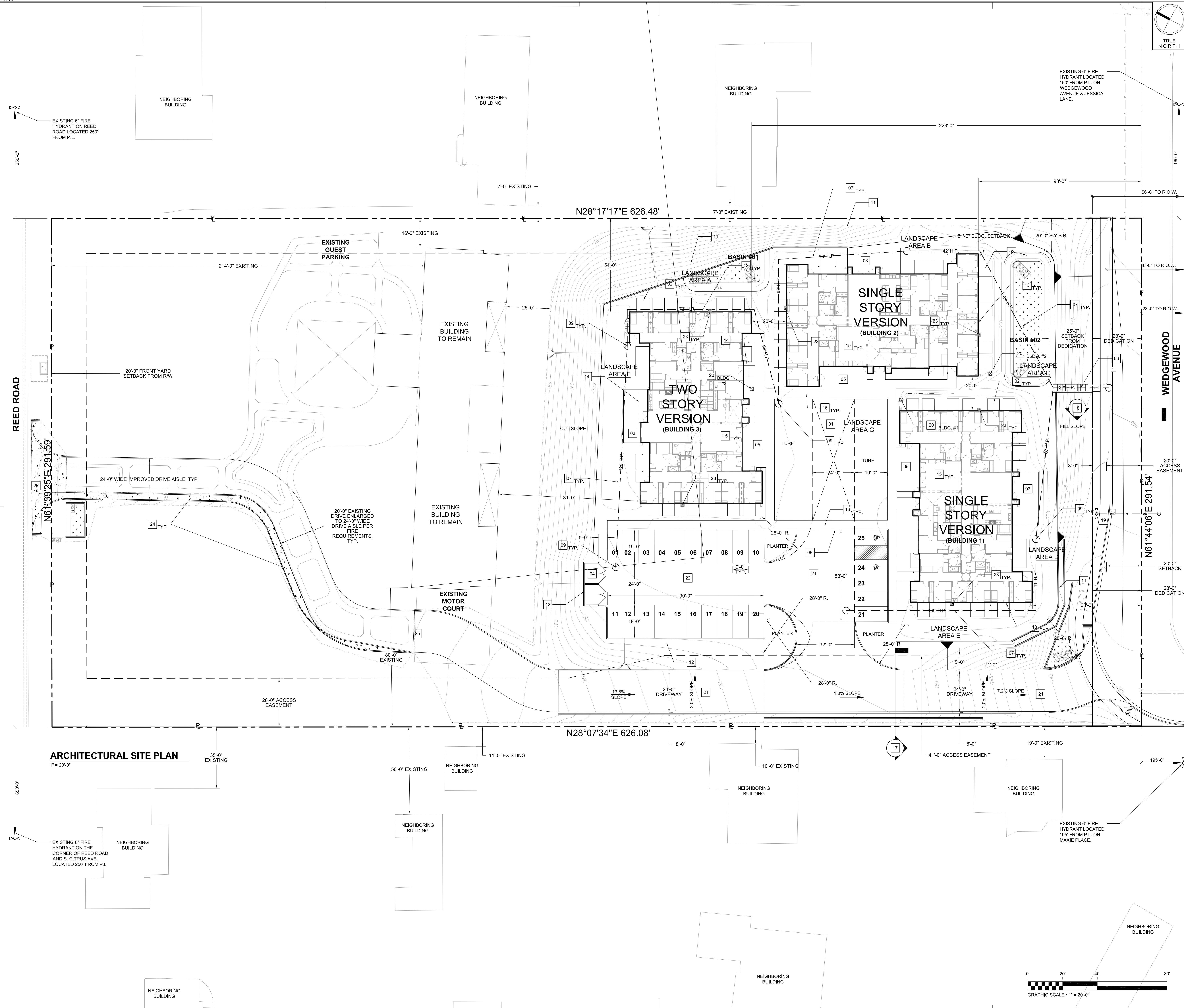
EXCEPTING THE NORTHEASTERLY 665.42 FEET THEREOF.

PARCEL B:

AN EASEMENT FOR ROAD PURPOSES ACROSS THE SOUTHEASTERLY 20 FEET OF LOT 2 AND THE NORTHWESTERLY 36 FEET OF LOT 3 IN SAID BLOCK 261.

EXCEPTING THAT PORTION LYING WITHIN PARCEL A ABOVE.

Assessor's Parcel Number: 231-230-42-00



- ### KEYNOTES
- 'GRASS-CRETE' AREA FOR FIRE ACCESS. GRASS-CRETE ONLY ALLOWED ON 5% MAX. SLOPES.
 - INDIVIDUAL RESIDENT PATIO, TYP.
 - DININ / ENTERTAINING PATIO
 - TRASH & RECYCLE ENCLOSURE 24' x 8'
 - ENTERTAINING PATIO, TYP.
 - ACCESS STAIRS FOR FIRE DEPARTMENT HOSE PULLS, TYP.
 - LINE OF HOSE PULL FOR FIRE DEPARTMENT, TYP.
 - FLAT CONCRETE CURB FLUSH WITH PAVEMENT FOR FIRE ACCESS, TYP.
 - FIRE DEPARTMENT HOSE PULL START / STOP TOUCH POINT, TYP.
 - NOT USED
 - RETAINING WALL FROM 0-7.5'
 - RETAINING WALL FROM 0-4.5'
 - ROOF OVERHANG IS 1'-0" TYP.
 - LINE OF DECK OVERHANG ABOVE.
 - FOR ALL EXTERIOR DOOR SEE FLOOR PLAN SHEETS, TYP.
 - EXTERIOR WALKWAYS ARE TO BE MINIMUM 4'-5" WIDE, TYP.
 - FOR STREET CORSS SECTION SEE CIVIL PLANS.
 - FOR ROADWAY CROSS SECTION SEE CIVIL PLANS.
 - PROPOSED NEW FIRE HYDRANT LOCATED 323' MAX. BETWEEN EXISTING FIRE HYDRANTS.
 - EACH BUILDING REQUIRES INDIVIDUAL FIRE DEPARTMENT CONNECTION (FDC) AND POST INDICATOR VALVE (PIV). ALL HYDRANTS SHALL BE WITHIN 40' OF AN FDC CONNECTION.
 - CONSTRUCT AC PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS.
 - CONSTRUCT PERVIOUS PAVEMENT.
 - ROOFTOP FIRE GROUND ACCESS LADDER, TYP.
 - ENLARGE EXISTING DRIVE TO 24'-0" PER CIVIL DRAWINGS AND IMPROVE TO MEET CURRENT ESCONDIDO FIRE DEPARTMENT FIRE ACCESS ROAD REQUIREMENTS, TYP.
 - CONNECT EXISTING DRIVE WITH NEW DRIVEWAY PER CIVIL DRAWINGS TO CREATE A CONTINUOUS 24'-0" DRIVE AISLE BETWEEN REED ROAD AND WEDGEWOOD AVENUE, TYP.
 - NEW / IMPROVED REED ROAD DRIVEWAY APRON AND STORM WATER PER CIVIL DRAWINGS, TYP.

LOT COVERAGE CALCS

BUILDING #1 (NEW):	6,713 S.F.
BUILDING #2 (NEW):	6,713 S.F.
BUILDING #3 (NEW):	6,807 S.F.
EXISTING BUILDING:	10,171 S.F.
TOTAL COVERAGE:	30,404 S.F.
LOT AREA = 182,527 S.F. (4.2 ACRE)	
LOT COVERAGE = 30,404 S.F. / 182,948 S.F. = 16.62%	

LANDSCAPE AREA CALCS

AREA A: 28'x80' = 2,240 S.F.
AREA B: 18'x83' = 1,494 S.F.
AREA C: 35'x90' = 3,150 S.F.
AREA D: 15'x110' = 1,650 S.F.
AREA E: 15'x75' = 1,125 S.F.
AREA F: 18'x120' = 2,160 S.F.
AREA G: 65'x69' = 4,485 S.F.
TOTAL LANDSCAPE AREA(S) = 16,304 S.F. = .37 ACRES

- ### GENERAL NOTES
- UTILITIES: VERIFY WITH CIVIL PLANS
 - SEE CIVIL PLANS FOR ALL NEW ROADWAY, DRIVE AISLE AND UTILITY IMPROVEMENTS, STORM WATER REQUIREMENTS AND UPGRADES, TYP.
 - WHEEL STOPS REQUIRED FOR ALL OFF-STREET PARKING AND SHALL BE 18" FROM THE CURB, TYP. ALL SITE RETAINING WALLS SHALL BE CONSTRUCTED OF DECORATIVE MATERIAL (CMU WITH STUCCO FINISH, SPLIT FACE BLOCK, ETC.) PER CITY OF ESCONDIDO.
 - SITE ACCESS SHALL BE AN APPROVED PAVED ALL-WEATHER ACCESS ABLE TO HOLD 75,000 LBS. AN ADEQUATE WATER SUPPLY AND AN APPROVED PAVED ACCESS SHALL BE PROVIDED PRIOR TO THE START OF CONSTRUCTION.

ARCHITECTURAL LEGEND

- Doors
- Windows
- Keynote
- Wall Type
- Interior Elevation
- Storefront Elevation
- Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

REVISIONS	By

Date: 2023.01.16
Scale: 1" = 20'-0"
Drawn by: BPB
Job No.: 1908
Sheet Name: ARCHITECTURAL SITE PLAN
Sheet No.: AC-1

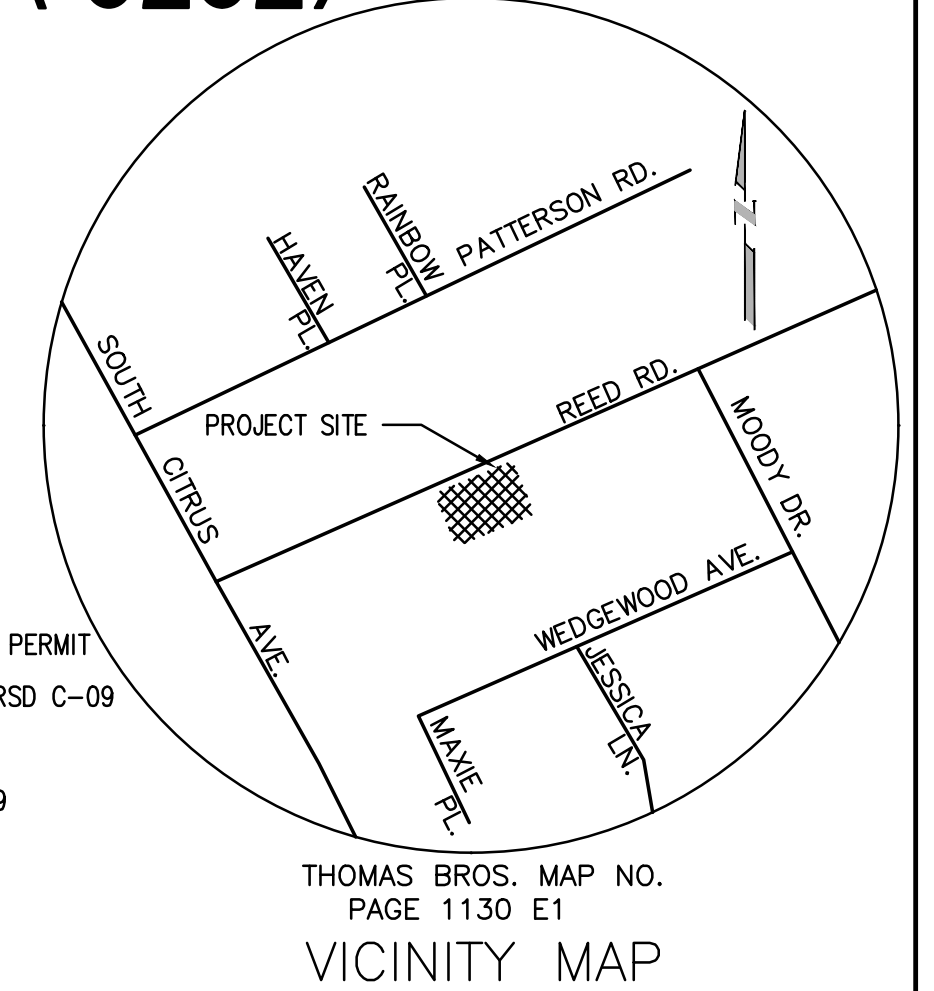
BGI ARCHITECTURE
Beery Group Inc.
2292 Faraday Avenue #100
Carlsbad, CA 92008
(760) 438-2963
bgiaarchitect.com

2525 REED ROAD
2525 REED ROAD
ESCONDIDO, CA 92000

ARCHITECTURAL SITE PLAN
AC-1

PLOT PLAN (NOT FOR CONSTRUCTION)

2525 REED ROAD ESCONDIDO, CA 92027



OWNER
REED 25 LLC
2525 REED ROAD
ESCONDIDO, CA 92027

SITE ADDRESS
2525 REED ROAD
ESCONDIDO, CA 92027

ZONE
RE-20

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL A:
LOT 2 IN BLOCK 261 OF RANCHO RINCON DEL DABLO, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP NO. 725, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 13, 1892.

EXCEPTING THE NORTHEASTERLY 665.42 FEET THEREOF.

PARCEL A-1:
AN EASEMENT FOR ROAD PURPOSES ACROSS THE SOUTHEASTERLY 20 FEET OF LOT 2 AND THE NORTHEASTERLY 36 FEET OF LOT 3 IN SAID BLOCK 261, EXCEPTING THAT PORTION LYING WITHIN PARCEL 1 ABOVE.

APN: 231-230-42

- CONSTRUCTION NOTES:**
- CONSTRUCT CONCRETE WALKWAY PER GEOTECHNICAL RECOMMENDATIONS
 - CONSTRUCT AC PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
 - CONSTRUCT PERVIOUS PAVEMENT
 - CONSTRUCT BIOFILTRATION BASIN
 - CONSTRUCT 6" CURB ONLY PER SDRSD G-01
 - CONSTRUCT 6" CURB AND GUTTER PER SDRSD G-02
 - CONSTRUCT CONCRETE SIDEWALK PER SDRSD G-07
 - CONSTRUCT STANDARD KNUCKLE PER CITY OF ESCONDIDO FIGURE NO. 11
 - CONSTRUCT 24" CONCRETE DRIVEWAY PER ESCONDIDO DWG G-5-E
 - CONSTRUCT TYPE F CATCH BASIN PER SDRSD D-07
 - CONSTRUCT REVERSE CURB OUTLET PER MODIFIED SDRSD D-25
 - CONSTRUCT MODIFIED TYPE B 1' BROW DITCH PER SDRSD D-75
 - CONSTRUCT 6" YARD INLET
 - CONSTRUCT 18"x18" NDS CATCH BASIN OR EQUIVALENT
 - CONSTRUCT 24"x24" CATCH BASIN
 - CONSTRUCT VEGETATED SWALE
 - SAWCUT EX. AC PAVEMENT
 - CONSTRUCT TRAFFIC RATED TRENCH DRAIN PER NDS OR EQUIVALENT
 - CONSTRUCT 8" PVC STORM DRAIN PIPE
 - CONSTRUCT 10" PVC STORM DRAIN PIPE
 - CONSTRUCT 12" PVC STORM DRAIN PIPE
 - CONSTRUCT TREE WELL PER SDCDS GS-1.03 & DETAIL SHEET X
 - CONSTRUCT 18" PVC STORM DRAIN PIPE
 - CONSTRUCT CURB OUTLET PER SDRSD D-25
 - CONSTRUCT ADA PARKING SPOT

- UTILITY NOTES:**
- CONSTRUCT 2" WATER SERVICE PER ESCONDIDO DWG W-2-W
 - CONSTRUCT 6" SEWER LATERAL PER ESCONDIDO DWG S-2-E
 - CONSTRUCT BACKFLOW PREVENTER FOR DOMESTIC SERVICE PER ESCONDIDO DWG W-10-E
 - CONSTRUCT 2" WATER METER PER ESCONDIDO DWG W-2-E
 - CONSTRUCT SEWER CLEANOUT PER ESCONDIDO DWG S-2-E
 - CONSTRUCT SEWER MANHOLE PER ESCONDIDO DWG S-1-E
 - CONSTRUCT 8" PVC C-900 SEWER MAIN
 - CONSTRUCT 8" PVC C-900 WATER MAIN
 - CONSTRUCT 6" FIRE HYDRANT PER ESCONDIDO DWG W-3-E
 - CONSTRUCT 6" FIRE SERVICE
 - CONSTRUCT BACKFLOW PREVENTER FOR FIRE SERVICE PER ESCONDIDO DWG W-7-E
 - CONSTRUCT FDC & PIV

- EXISTING EASEMENT NOTES:**
- EXISTING 20' EASEMENT FOR ROAD PURPOSES PER DOCUMENT NO. 1971.103966
 - EXISTING 20' EASEMENT FOR ROAD PURPOSES PER DOCUMENT NO. 1971.190931
 - EXISTING SLOPE EASEMENT AREA PER DOCUMENT NO. 1999.0749932
 - EXISTING 5' WIDE PUBLIC UTILITY EASEMENT AND PEDESTRIAN ACCESS EASEMENT TO THE CITY OF ESCONDIDO PER MAP NO. 13987
 - EXISTING EASEMENT FOR ROAD AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED MAY 19, 1971 AS INSTRUMENT NO. 71-103965, OFFICIAL RECORDS
 - EXISTING EASEMENT FOR ROAD AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED JUNE 21, 1971 AS INSTRUMENT NO. 71-131101, OFFICIAL RECORDS
 - 28' EASEMENT RESERVED FOR ROAD PER ROS 7531
 - 41' EASEMENT RESERVED FOR ROAD PER ROS 7531
 - PUBLIC UTILITIES AND EMERGENCY ACCESS EASEMENT DEDICATED TO THE CITY OF ESCONDIDO PER MAP NO. 13987
 - 28' WEDGEWOOD AVENUE DEDICATION PER MAP NO. 13987
 - 28' EASEMENT FOR WATER PIPELINES AND INCIDENTAL PURPOSES PER DOCUMENT PER INST. NO. 77-068043 O.R. RECORDED FEBRUARY 24, 1977.

- PROPOSED EASEMENT NOTES:**
- PROPOSED 28' RIGHT OF WAY DEDICATION
 - PROPOSED KNUCKLE RIGHT OF WAY DEDICATION
 - PROPOSED 20' PUBLIC UTILITY AND EMERGENCY ACCESS EASEMENT
 - PROPOSED 24' PUBLIC UTILITY AND EMERGENCY ACCESS EASEMENT

	LENGTH	BEARING / DELTA	RADIUS
L1	161.06	S61° 44' 44.95"W	-
C1	16.01	91° 0' 16.69"	100.00'
L2	50.25	S70° 55' 01.64"W	-
C2	101.42	103° 46' 13.13"	56.00'
L3	50.40	S32° 51' 10.14"E	-
C3	7.96	4° 33' 33.14"	100.00'
L4	5.00	S28° 17' 37.00"E	-

AREA TABULATIONS

EXISTING

IMPERVIOUS= 30,392 SF
PERVIOUS= 152,874 SF

TOTAL= 183,266 SF

PROPOSED

DRIVEWAY IMPERVIOUS= 11,062 SF
WALKWAY/PARKING IMPERVIOUS= 9,415 SF
BUILDING IMPERVIOUS= 19,453 SF
RIGHT OF WAY IMPERVIOUS= 7,646 SF
EXISTING IMPERVIOUS= 24,926 SF
LANDSCAPING= 101,558 SF
PERVIOUS PAVERS= 9,206 SF

TOTAL= 183,266 SF

TOTAL PROPOSED IMPERVIOUS AREA = 72,502 SF
TOTAL PROPOSED PERVIOUS AREA = 110,764 SF

AREA TABULATIONS

EXISTING

CUT = 8,328 C.Y. FILL = 8,379 C.Y.
NET = 51 C.Y. REMEDIAL = 15,864 C.Y.

TOTAL LOT AREA = 183,266 S.F.
TOTAL DISTURBED AREA = 107,079 S.F.

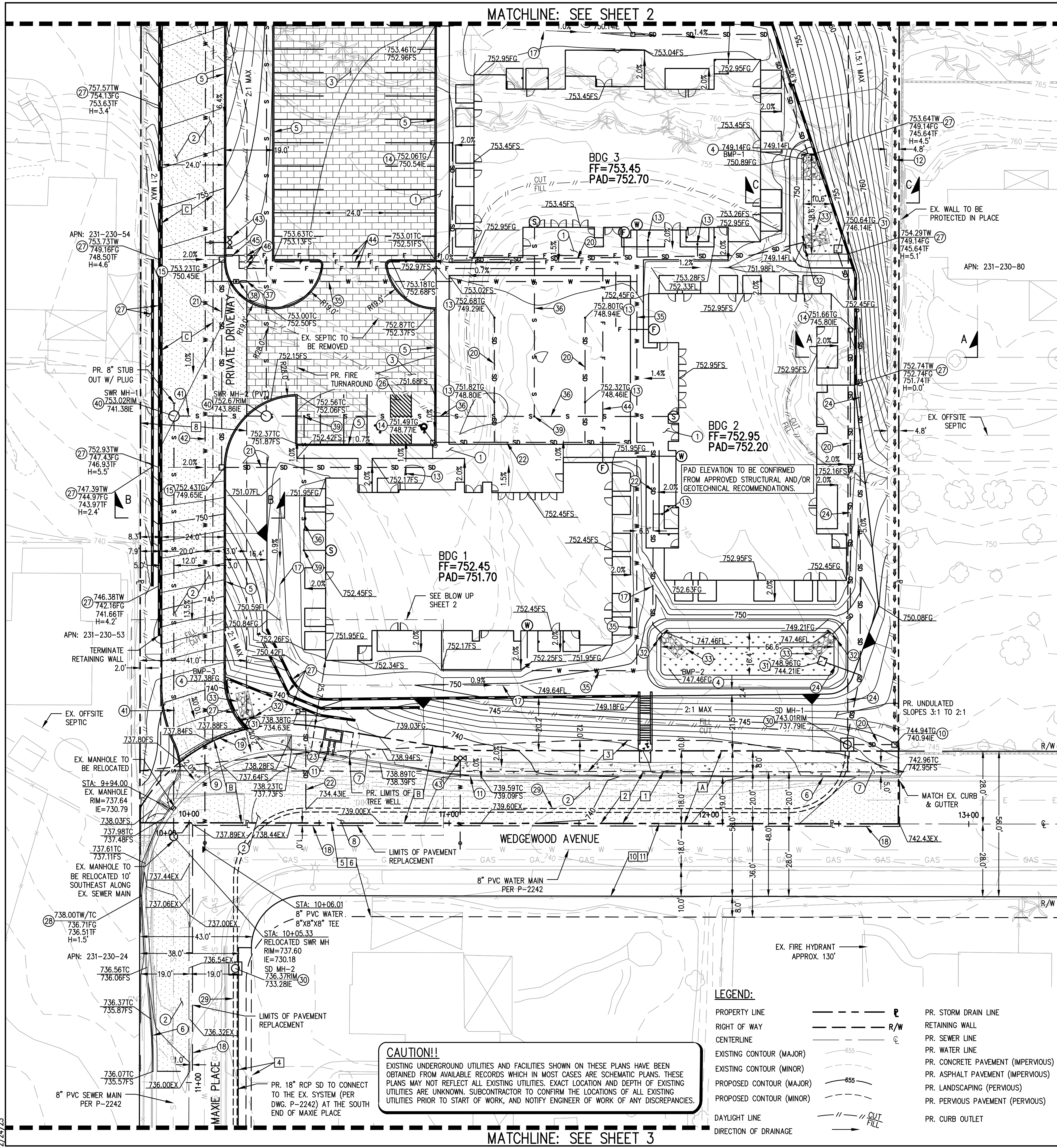
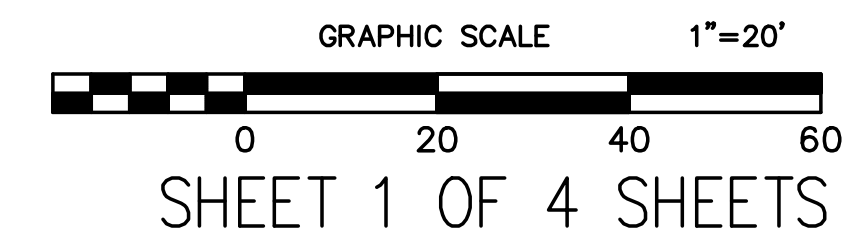
THESE QUANTITIES DO NOT INCLUDE ANY LOSSES DUE TO SHRINKAGE, SUBSIDENCE, OVEREXCAVATION, OR ANY SPECIAL REQUIREMENTS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

- NOTES:**
- PRIOR TO FINAL ENGINEERING SIGNOFF, ALL OVERHEAD UTILITIES FRONTING THE PROJECT ON REED ROAD AND WITHIN THE SUBJECT PROPERTY MUST BE UNDERGROUND.
 - PROPOSED STORM DRAIN ON WEDGEWOOD ROAD TO BE EXTENDED TO CONNECT TO THE EXISTING STORM SYSTEM AT THE SOUTH END OF MAXIE PLACE, PER AS BUILT DRAWING P-2242.
 - 1.5:1 CUT SLOPES TO BE CONSTRUCTED PER GEOTECHNICAL RECOMMENDATIONS. GEOTECHNICAL APPROVAL OF 1.5:1 CUT SLOPES WITHIN THE GEOTECHNICAL STUDY REQUIRED PRIOR TO SIGN OFF.
 - EXISTING OVERHEAD UTILITIES ON REED ROAD SHALL BE UNDERGROUND.
 - PARKING TO BE PROVIDED ON ONE SIDE OF WEDGEWOOD ROAD.
 - THE PRIVATE DRIVEWAY SHALL BE PAVED PER GEOTECHNICAL RECOMMENDATIONS. IT MUST BE AN ALL-WEATHER PAVED SURFACE THAT SHALL HOLD 75,000 LBS.
 - EXISTING DRIVEWAY FROM REED ROAD USED FOR FIRE AND UTILITY ACCESS SHALL BE REPLACED TO BE AT LEAST 7.5' PCC AND MEET ALL FIRE AND UTILITY REQUIREMENTS
 - THERE SHALL BE NO DEEP ROOTED TREES OR PUSHES PLANTED WITHIN 15' OF ANY SEWER MAIN.
 - ADDITIONAL DRAINS SHALL BE PLACED FOR MITIGATION OF SUBSURFACE FLOW PER RECOMMENDATION OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.

ENGINEER



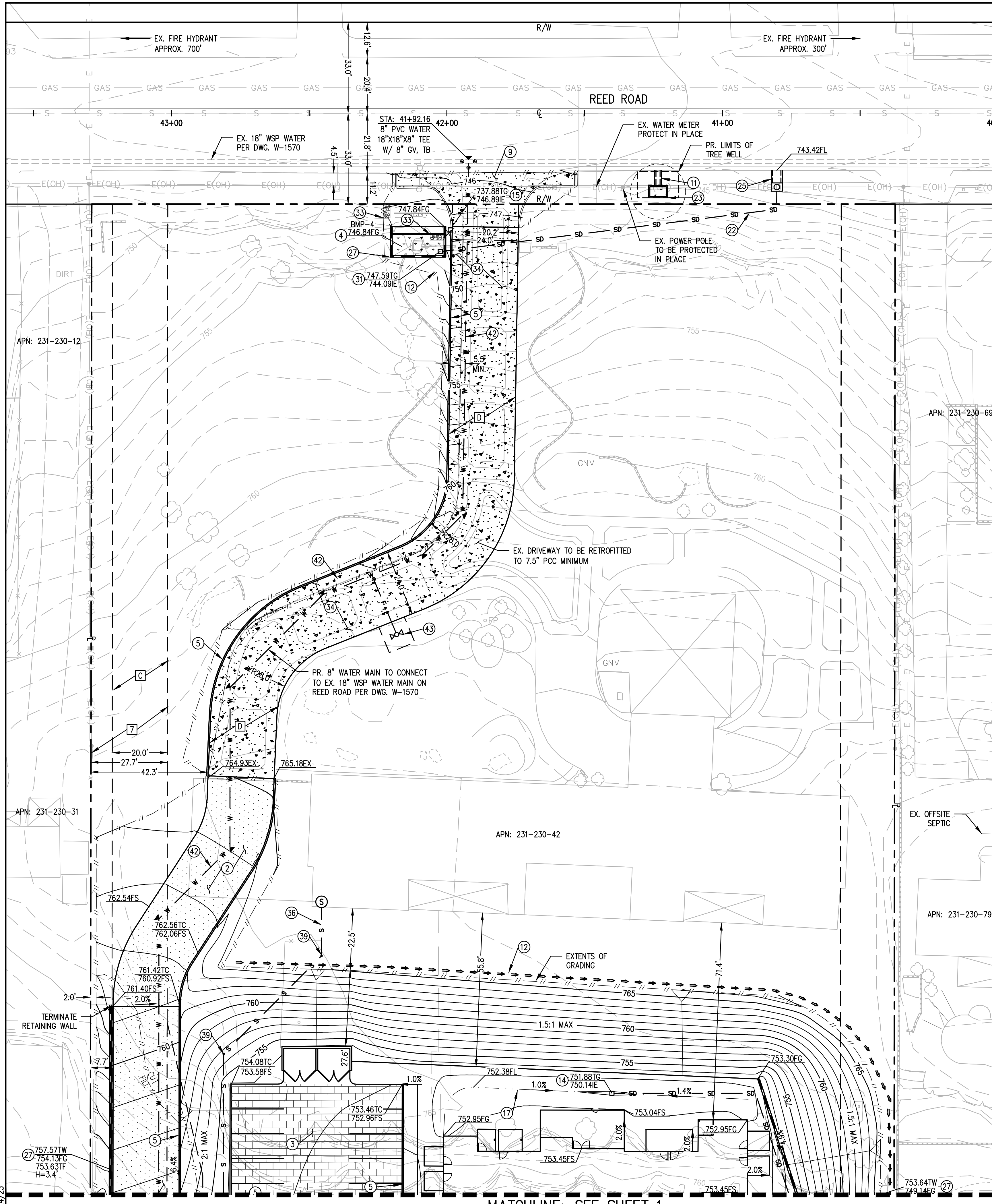
COASTAL LAND SOLUTIONS, INC.
577 SECOND STREET
ENCINITAS, CA 92024
PH (760) 230-6025
FAX (760) 230-6026



- LEGEND:**
- PROPERTY LINE
 - RIGHT OF WAY
 - CENTERLINE
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - PROPOSED CONTOUR (MAJOR)
 - PROPOSED CONTOUR (MINOR)
 - DAYLIGHT LINE
 - DIRECTION OF DRAINAGE
 - PR. STORM DRAIN LINE
 - RETAINING WALL
 - PR. SEWER LINE
 - PR. WATER LINE
 - PR. CONCRETE PAVEMENT (IMPERVIOUS)
 - PR. ASPHALT PAVEMENT (IMPERVIOUS)
 - PR. LANDSCAPING (PERVIOUS)
 - PR. PERVIOUS PAVEMENT (PERVIOUS)
 - PR. CURB OUTLET

CAUTION!
EXISTING UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS WHICH IN MOST CASES ARE SCHEMATIC PLANS. THESE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. EXACT LOCATION AND DEPTH OF EXISTING UTILITIES ARE UNKNOWN. SUBCONTRACTOR TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK, AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

PLOT PLAN (NOT FOR CONSTRUCTION)



CONSTRUCTION NOTES:

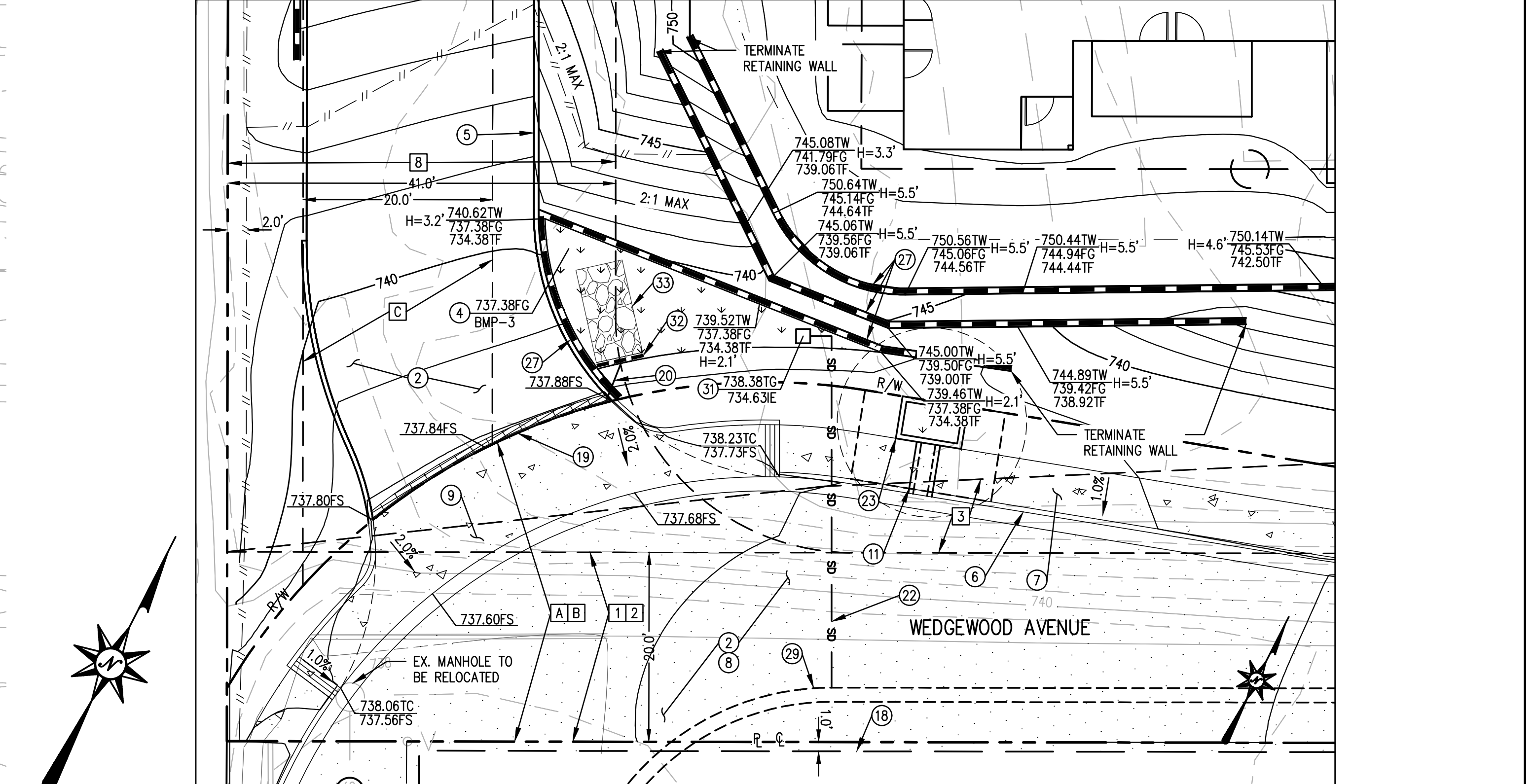
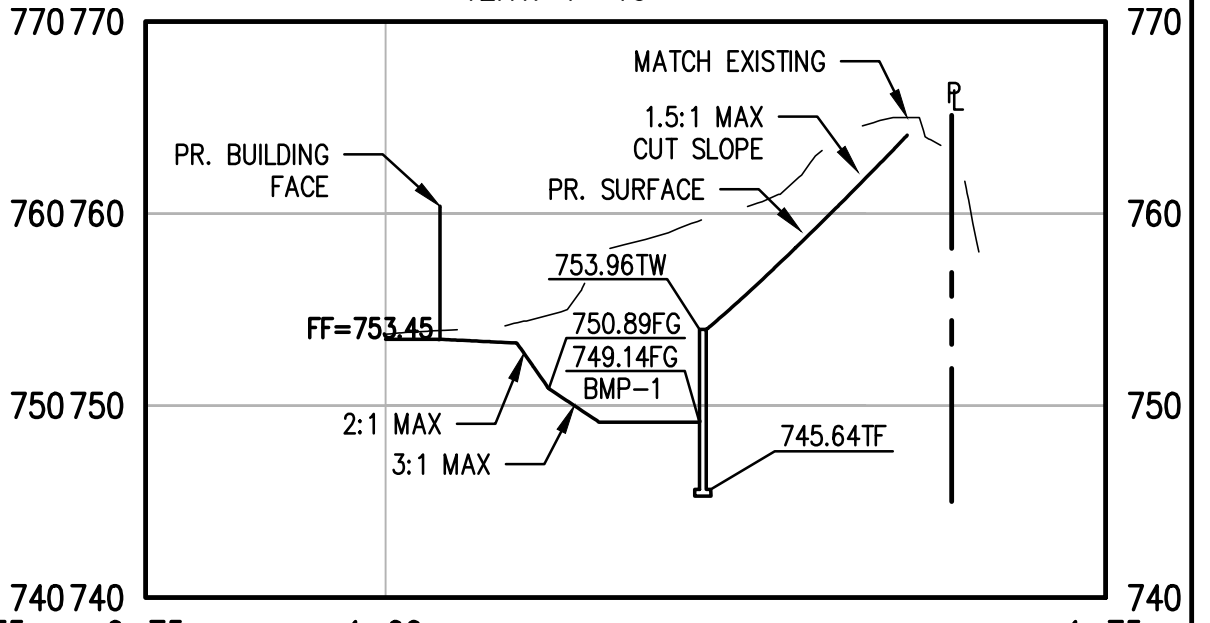
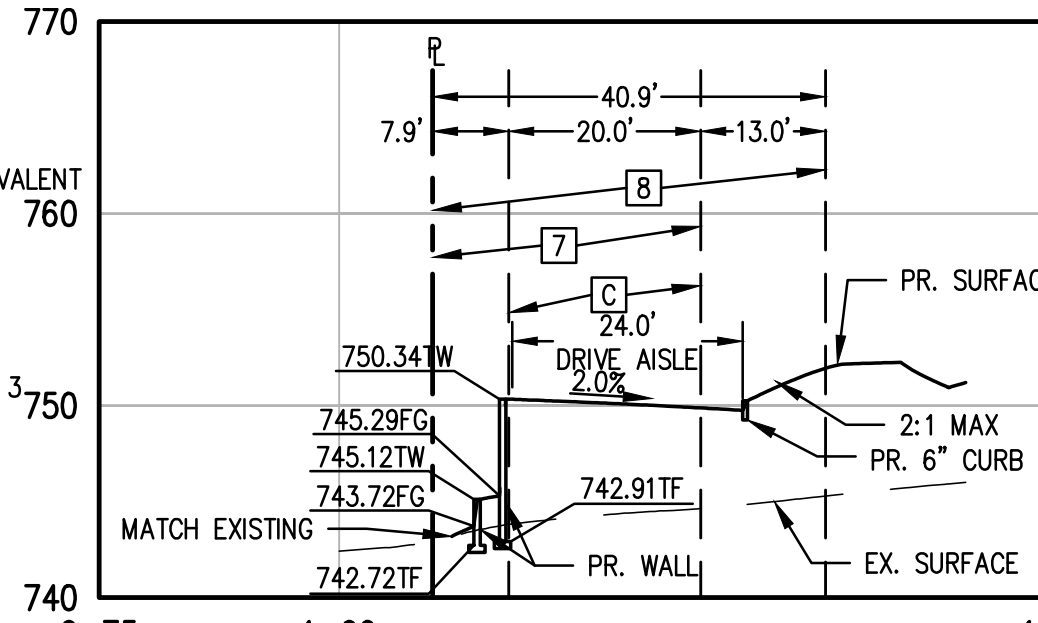
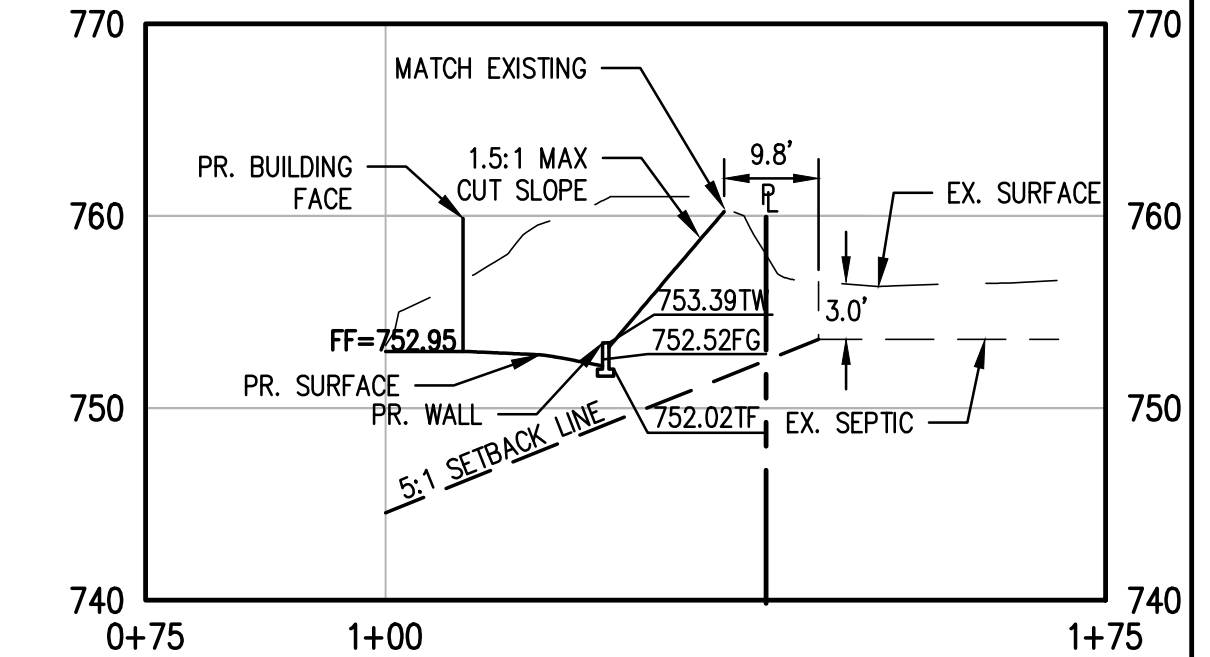
- 1 CONSTRUCT CONCRETE WALKWAY PER GEOTECHNICAL RECOMMENDATIONS
- 2 CONSTRUCT AC PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
- 3 CONSTRUCT PERVIOUS PAVEMENT
- 4 CONSTRUCT BIOFILTRATION BASIN
- 5 CONSTRUCT 6" CURB ONLY PER SDRSD G-01
- 6 CONSTRUCT 6" CURB AND GUTTER PER SDRSD G-02
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- 10 CONSTRUCT TYPE F CATCH BASIN PER SDRSD D-07
- 11 CONSTRUCT REVERSE CURB OUTLET PER MODIFIED SDRSD D-25
- 12 CONSTRUCT MODIFIED TYPE B 1' BROW DITCH PER SDRSD D-75
- 13 CONSTRUCT 6" YARD INLET
- 14 CONSTRUCT 18"x18" NDS CATCH BASIN OR EQUIVALENT
- 15 CONSTRUCT 24"x24" CATCH BASIN
- 16 CONSTRUCT VEGETATED SWALE
- 17 SAWCUT EX. AC PAVEMENT
- 18 CONSTRUCT TRAFFIC RATED TRENCH DRAIN PER NDS OR EQUIVALENT
- 19 CONSTRUCT 8" PVC STORM DRAIN PIPE
- 20 CONSTRUCT 10" PVC STORM DRAIN PIPE
- 21 CONSTRUCT 12" PVC STORM DRAIN PIPE
- 22 CONSTRUCT 18" PVC STORM DRAIN PIPE
- 23 CONSTRUCT TREE WELL PER SDCDS GS-1.03 & DETAIL SHEET 3
- 24 CONSTRUCT 18" PVC STORM DRAIN PIPE
- 25 CONSTRUCT CURB OUTLET PER SDRSD D-25
- 26 CONSTRUCT ADA PARKING SPOT
- 27 CONSTRUCT MASONRY RETAINING WALL PER SEPARATE PERMIT
- 28 CONSTRUCT TYPE A GRAVITY RETAINING WALL PER SDRSD C-09
- 29 CONSTRUCT 18" PUBLIC RCP STORM DRAIN PIPE
- 30 CONSTRUCT STORM DRAIN CLEANOUT PER SDRSD D-09
- 31 CONSTRUCT 36"x36" PRECAST CATCH BASIN
- 32 CONSTRUCT STRAIGHT HEADWALL
- 33 CONSTRUCT RIP RAP
- 34 CONSTRUCT CONCRETE PAVEMENT FOR DRIVEWAY WIDENING & REPLACEMENT (7.5" MIN. PCC)

EXISTING EASEMENT NOTES:

- 1 EXISTING 20' EASEMENT FOR ROAD PURPOSES PER DOCUMENT NO. 1971.103966
- 2 EXISTING 20' EASEMENT FOR ROAD PURPOSES PER DOCUMENT NO. 1971.190931
- 3 EXISTING SLOPE EASEMENT AREA PER DOCUMENT NO. 1999.0749932
- 4 EXISTING 5' WIDE PUBLIC UTILITY EASEMENT AND PEDESTRIAN ACCESS EASEMENT TO THE CITY OF ESCONDIDO PER MAP NO. 13987
- 5 EXISTING EASEMENT FOR ROAD AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED MAY 19, 1971 AS INSTRUMENT NO. 71-103965, OFFICIAL RECORDS
- 6 EXISTING EASEMENT FOR ROAD AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED JUNE 21, 1971 AS INSTRUMENT NO. 71-131101, OFFICIAL RECORDS
- 7 28' EASEMENT RESERVED FOR ROAD PER ROS 7531
- 8 41' EASEMENT RESERVED FOR ROAD PER ROS 7531
- 9 PUBLIC UTILITIES AND EMERGENCY ACCESS EASEMENT DEDICATED TO THE CITY OF ESCONDIDO PER MAP NO. 13987
- 10 28' WEDGEWOOD AVENUE DEDICATION PER MAP NO. 13987
- 11 28' EASEMENT FOR WATER PIPELINES AND INCIDENTAL PURPOSES PER DOCUMENT PER INST. NO. 77-068043 O.R. RECORDED FEBRUARY 24, 1977.

UTILITY NOTES:

- 35 CONSTRUCT 2" WATER SERVICE PER ESCONDIDO DWG W-2-W
- 36 CONSTRUCT 6" SEWER LATERAL PER ESCONDIDO DWG S-2-E
- 37 CONSTRUCT BACKFLOW PREVENTER FOR DOMESTIC SERVICE PER ESCONDIDO DWG W-10-E
- 38 CONSTRUCT 2" WATER METER PER ESCONDIDO DWG W-2-E
- 39 CONSTRUCT SEWER CLEANOUT PER ESCONDIDO DWG S-2-E
- 40 CONSTRUCT SEWER MANHOLE PER ESCONDIDO DWG S-1-E
- 41 CONSTRUCT 8" PVC C-900 SEWER MAIN
- 42 CONSTRUCT 8" PVC C-900 WATER MAIN
- 43 CONSTRUCT 6" FIRE HYDRANT PER ESCONDIDO DWG W-3-E
- 44 CONSTRUCT 6" FIRE SERVICE
- 45 CONSTRUCT BACKFLOW PREVENTER FOR FIRE SERVICE PER ESCONDIDO DWG W-7-E
- 46 CONSTRUCT FDC & PIV



CAUTION!!
 EXISTING UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS WHICH IN MOST CASES ARE SCHEMATIC PLANS. THESE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. EXACT LOCATION AND DEPTH OF EXISTING UTILITIES ARE UNKNOWN. SUBCONTRACTOR TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK, AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

ENGINEER
 DAVID V. CARON
 2/24/23

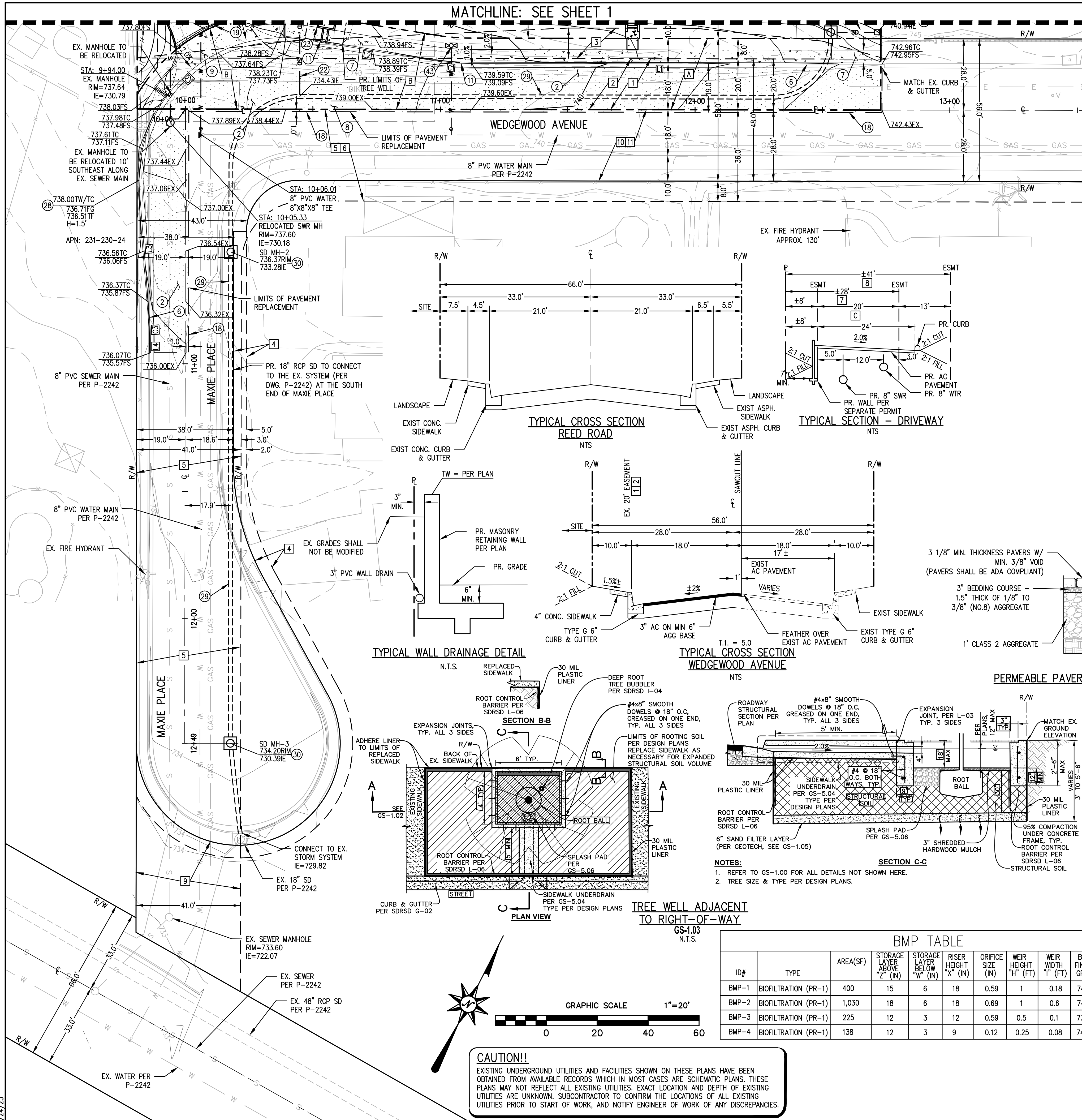
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REGISTERED PROFESSIONAL ENGINEER
 No. 0070066
 Exp. 09/30/24
 CIVIL
 STATE OF CALIFORNIA

SHEET 2 OF 4 SHEETS

PLOT PLAN (NOT FOR CONSTRUCTION)

MATCHLINE: SEE SHEET 1



CONSTRUCTION NOTES:

- 1 CONSTRUCT CONCRETE WALKWAY PER GEOTECHNICAL RECOMMENDATIONS
- 2 CONSTRUCT AC PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
- 3 CONSTRUCT PERVIOUS PAVEMENT
- 4 CONSTRUCT BIOFILTRATION BASIN
- 5 CONSTRUCT 6" CURB ONLY PER SDRSD G-01
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- 11 CONSTRUCT REVERSE CURB OUTLET PER MODIFIED SDRSD D-25
- 12 CONSTRUCT MODIFIED TYPE B 1' BROW DITCH PER SDRSD D-75
- 13 CONSTRUCT 6" YARD INLET
- 14 CONSTRUCT 18"x18" NDS CATCH BASIN OR EQUIVALENT
- 15 CONSTRUCT 24"x24" CATCH BASIN
- 16 CONSTRUCT VEGETATED SWALE
- 17 SAWCUT EX. AC PAVEMENT
- 18 CONSTRUCT TRAFFIC RATED TRENCH DRAIN PER NDS OR EQUIVALENT
- 19 CONSTRUCT 8" PVC STORM DRAIN PIPE
- 20 CONSTRUCT 10" PVC STORM DRAIN PIPE
- 21 CONSTRUCT 12" PVC STORM DRAIN PIPE
- 22 CONSTRUCT 18" PVC STORM DRAIN PIPE
- 23 CONSTRUCT CURB OUTLET PER SDRSD D-25
- 24 CONSTRUCT ADA PARKING SPOT
- 25 CONSTRUCT MASONRY RETAINING WALL PER SEPARATE PERMIT
- 26 CONSTRUCT TYPE A GRAVITY RETAINING WALL PER SDRSD C-09
- 27 CONSTRUCT 18" PUBLIC RCP STORM DRAIN PIPE
- 28 CONSTRUCT STORM DRAIN CLEANOUT PER SDRSD D-09
- 29 CONSTRUCT 36"x36" PRECAST CATCH BASIN
- 30 CONSTRUCT STRAIGHT HEADWALL
- 31 CONSTRUCT RIP RAP
- 32 CONSTRUCT CONCRETE PAVEMENT FOR DRIVEWAY WIDENING & REPLACEMENT (7.5" MIN. PCC)

UTILITY NOTES:

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- 34 CONSTRUCT 6" SEWER LATERAL PER ESCONDIDO DWG S-2-E
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- 36 CONSTRUCT 2" WATER METER PER ESCONDIDO DWG W-2-E
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- 42 CONSTRUCT 6" FIRE SERVICE
- 43 CONSTRUCT BACKFLOW PREVENTER FOR FIRE SERVICE PER ESCONDIDO DWG W-7-E
- 44 CONSTRUCT FDC & PIV

EXISTING EASEMENT NOTES:

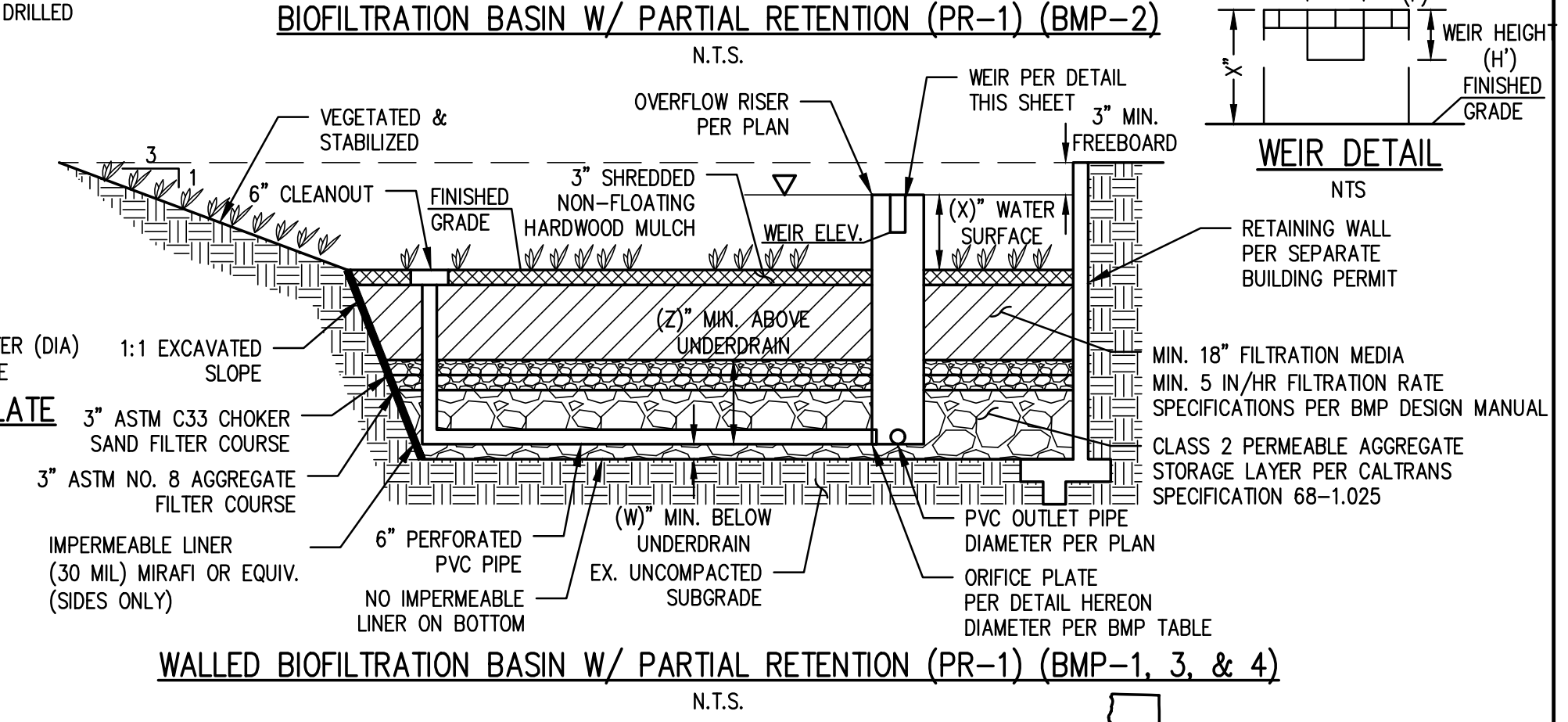
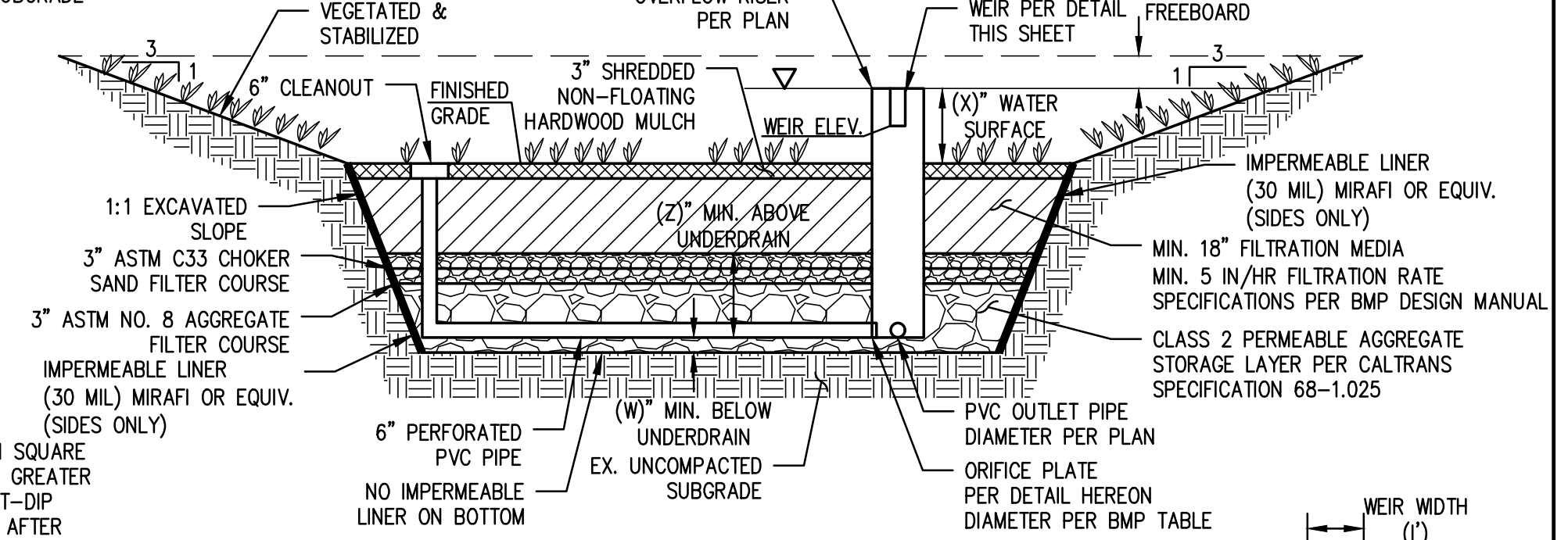
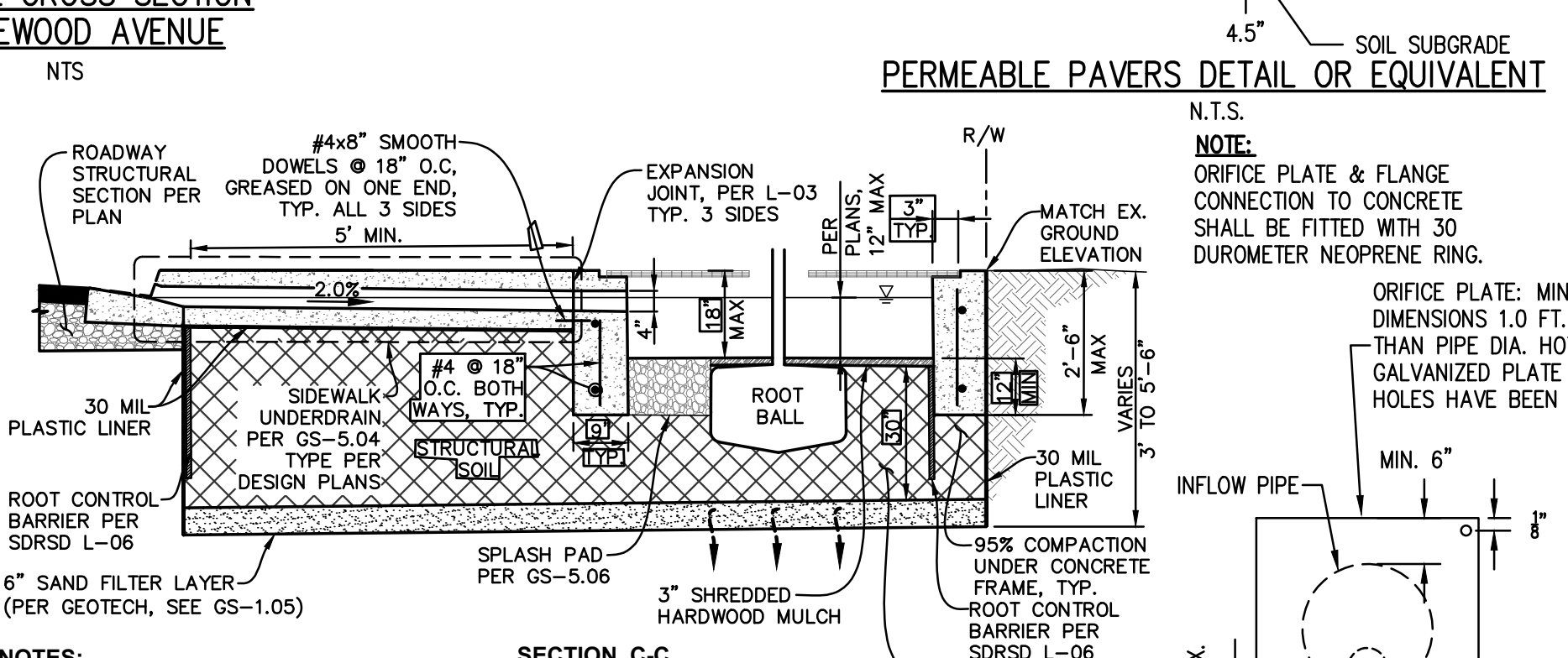
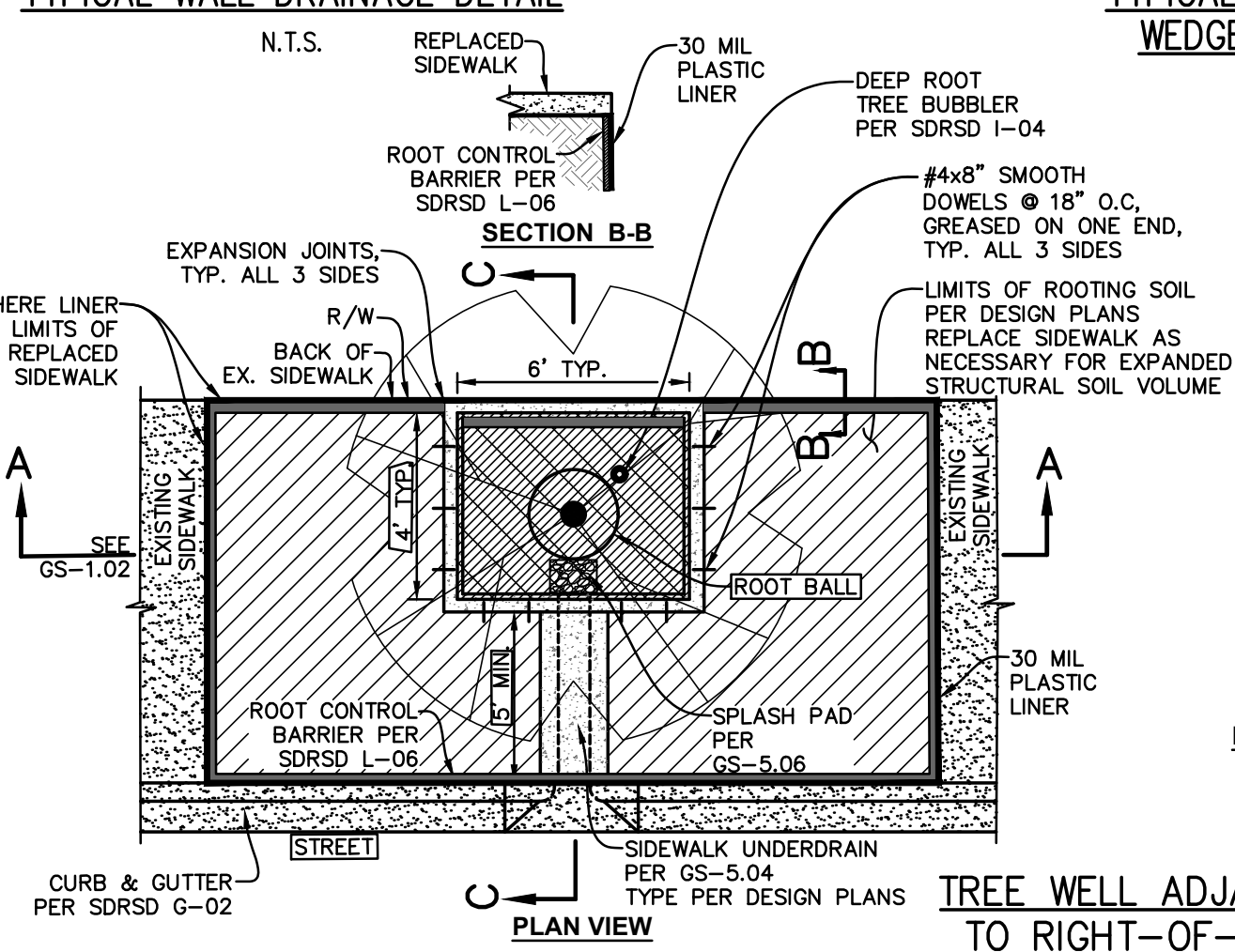
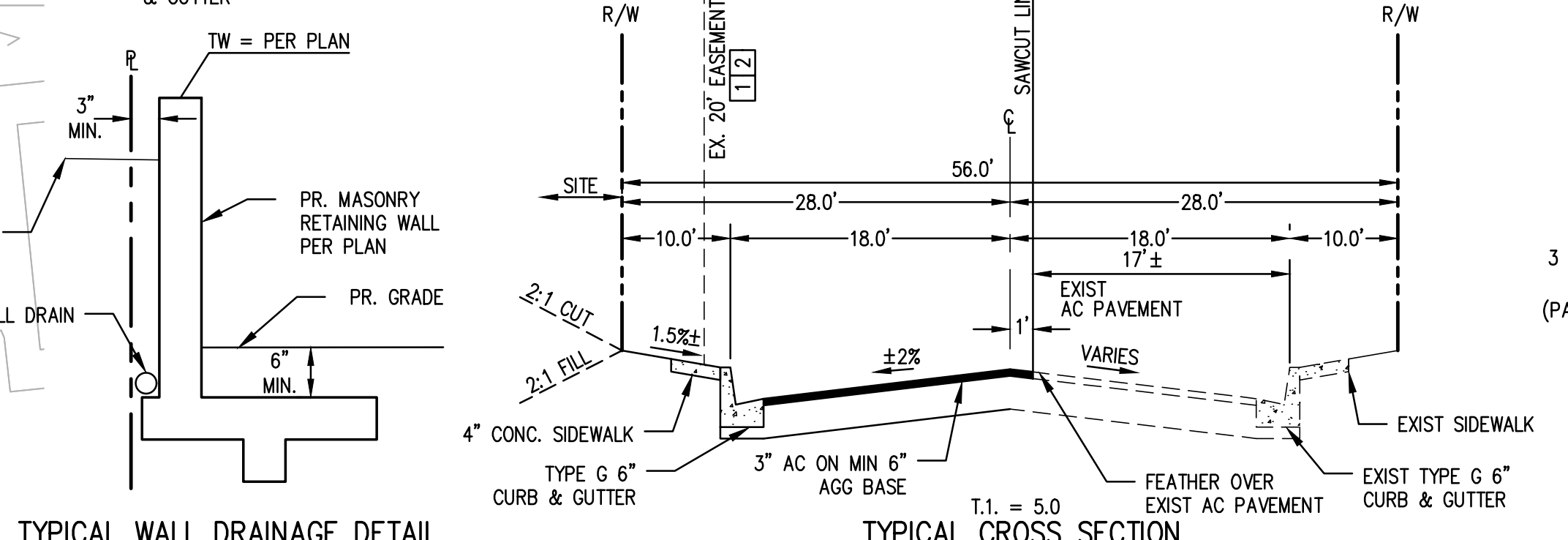
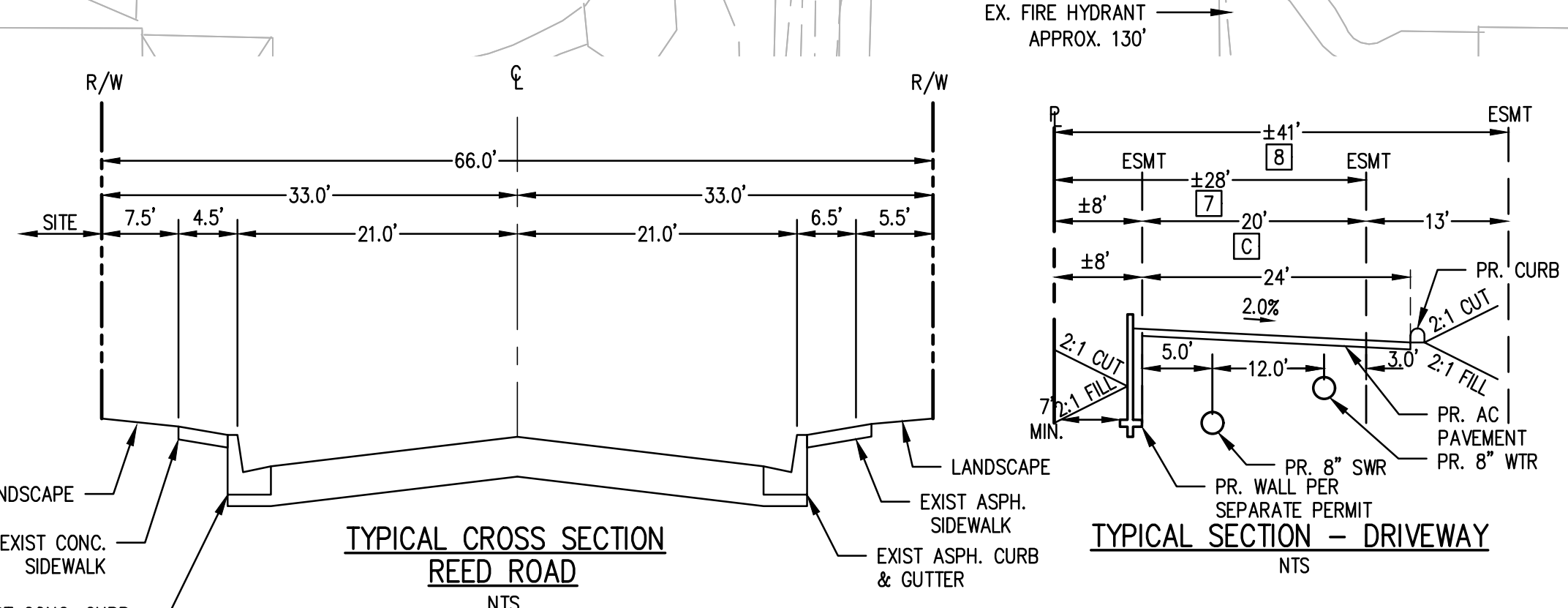
- 1 EXISTING 20' EASEMENT FOR ROAD PURPOSES PER DOCUMENT NO. 1971.103966
- 2 EXISTING 20' EASEMENT FOR ROAD PURPOSES PER DOCUMENT NO. 1971.190931
- 3 EXISTING SLOPE EASEMENT AREA PER DOCUMENT NO. 1999.074932
- 4 EXISTING 5' WIDE PUBLIC UTILITY EASEMENT AND PEDESTRIAN ACCESS EASEMENT TO THE CITY OF ESCONDIDO PER MAP NO. 13987
- 5 EXISTING EASEMENT FOR ROAD AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED MAY 19, 1971 AS INSTRUMENT NO. 71-103965, OFFICIAL RECORDS
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- 7 28' EASEMENT RESERVED FOR ROAD PER ROS 7531
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PROPOSED EASEMENT NOTES:

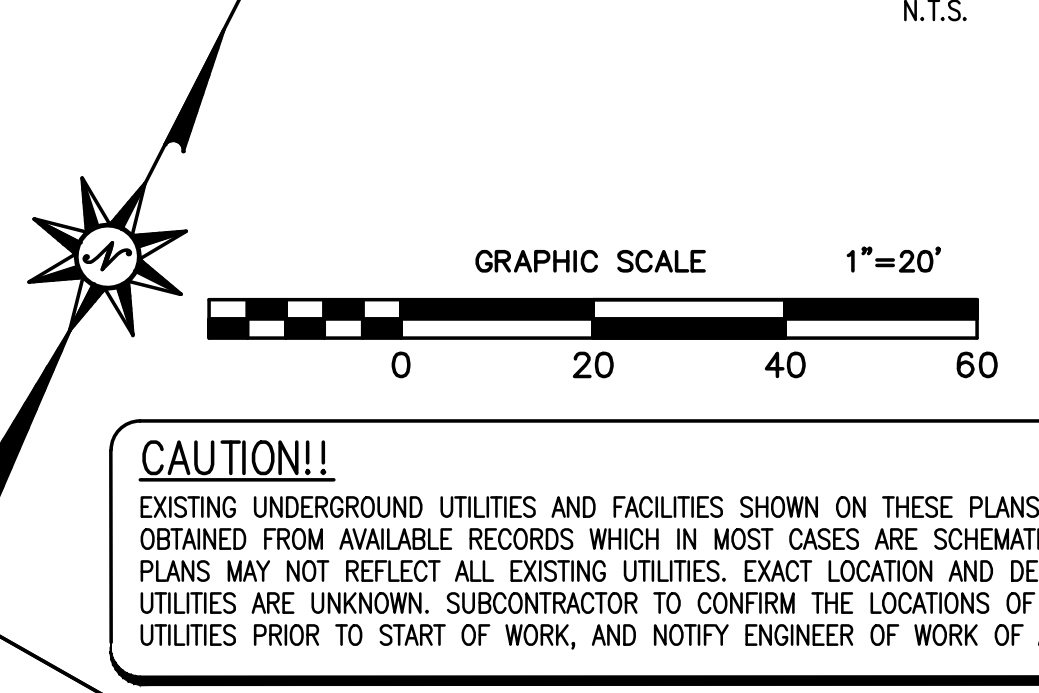
- A PROPOSED 28' RIGHT OF WAY DEDICATION
- B PROPOSED KNUCKLE RIGHT OF WAY DEDICATION
- C PROPOSED 20' PUBLIC UTILITY AND EMERGENCY ACCESS EASEMENT
- D PROPOSED 24' PUBLIC UTILITY AND EMERGENCY ACCESS EASEMENT

BMP NOTES:

1. PLANTING SHALL BE SUITABLE FOR THE CLIMATE AND EXPECTED PONDING DEPTH. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS NEEDED.
2. FILTER COURSE SHALL BE WASHED AND FREE OF FINES. FILTER FABRIC IS NOT USED.
3. WASHED, OPEN-GRADED CRUSHED ROCK MAY BE USED FOR STORAGE LAYER, HOWEVER, 6" WASHED PEA GRAVEL FILTER COURSE LAYER SHALL BE PROVIDED ABOVE THE CRUSHED ROCK.
4. ENERGY DISSIPATER (RIPRAP) SHALL BE PROVIDED AT EACH DISCHARGE POINT INTO THE BASIN.
5. THERE SHALL BE A 4-6 INCH REVEAL/DROP AT CURB CUT INLETS.
6. UNDERDRAINS ARE MADE OF SLOTTED, PVC PIPE CONFORMING TO ASTM D 3034 OR EQUIVALENT OR CORRUGATED, HDPE PIPE CONFORMING TO AASHTO 252M OR EQUIVALENT.
7. ENGINEERED SOIL LAYER SHALL BE MINIMUM 18" DEEP SANDY LOAM SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50-60% SAND, 20-30% COMPOST OR HARDWOOD MULCH, AND 20-30% TOPSOIL.
8. NO COMPACTION OF NATIVE SOILS SHALL OCCUR DIRECTLY BENEATH BMP FACILITY.



ID#	TYPE	AREA(SF)	STORAGE LAYER ABOVE 2\" (IN)	STORAGE LAYER BELOW 2\" (IN)	RISER HEIGHT 'X' (IN)	ORIFICE SIZE (IN)	WEIR HEIGHT 'H' (FT)	WEIR WIDTH 'W' (FT)	FINISHED GRADE (BOT.)	WEIR ELEV. (BOT.)
BMP-1	BIOFILTRATION (PR-1)	400	15	6	18	0.59	1	0.18	749.14	749.64
BMP-2	BIOFILTRATION (PR-1)	1,030	18	6	18	0.69	1	0.6	747.46	747.96
BMP-3	BIOFILTRATION (PR-1)	225	12	3	12	0.59	0.5	0.1	737.38	737.88
BMP-4	BIOFILTRATION (PR-1)	138	12	3	9	0.12	0.25	0.08	746.84	747.34



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SHEET 3 OF 4 SHEETS

2525 REED ROAD ESCONDIDO, CA 92027

OWNER
REED 25 LLC
2525 REED ROAD
ESCONDIDO, CA 92027

SITE ADDRESS
2525 REED ROAD
ESCONDIDO, CA 92027

ZONE
RE-20

EXEMPTION LEGEND

- AREA 1: FILL SLOPES WITHIN 50' OF THE PROPERTY LINE, LIMITED TO 5' IN HEIGHT, PROPOSE UP TO 10'
- AREA 2: CUT SLOPES LIMITED TO 2:1 IN STEEPNESS, PROPOSE UP TO 1.5:1

CONSTRUCTION NOTES:

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- CONSTRUCT AC PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
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- CONSTRUCT 12" PVC STORM DRAIN PIPE
- CONSTRUCT TREE WELL PER SDCDS GS-1.03 & DETAIL SHEET X
- CONSTRUCT 18" PVC STORM DRAIN PIPE
- CONSTRUCT CURB OUTLET PER SDRSD D-25
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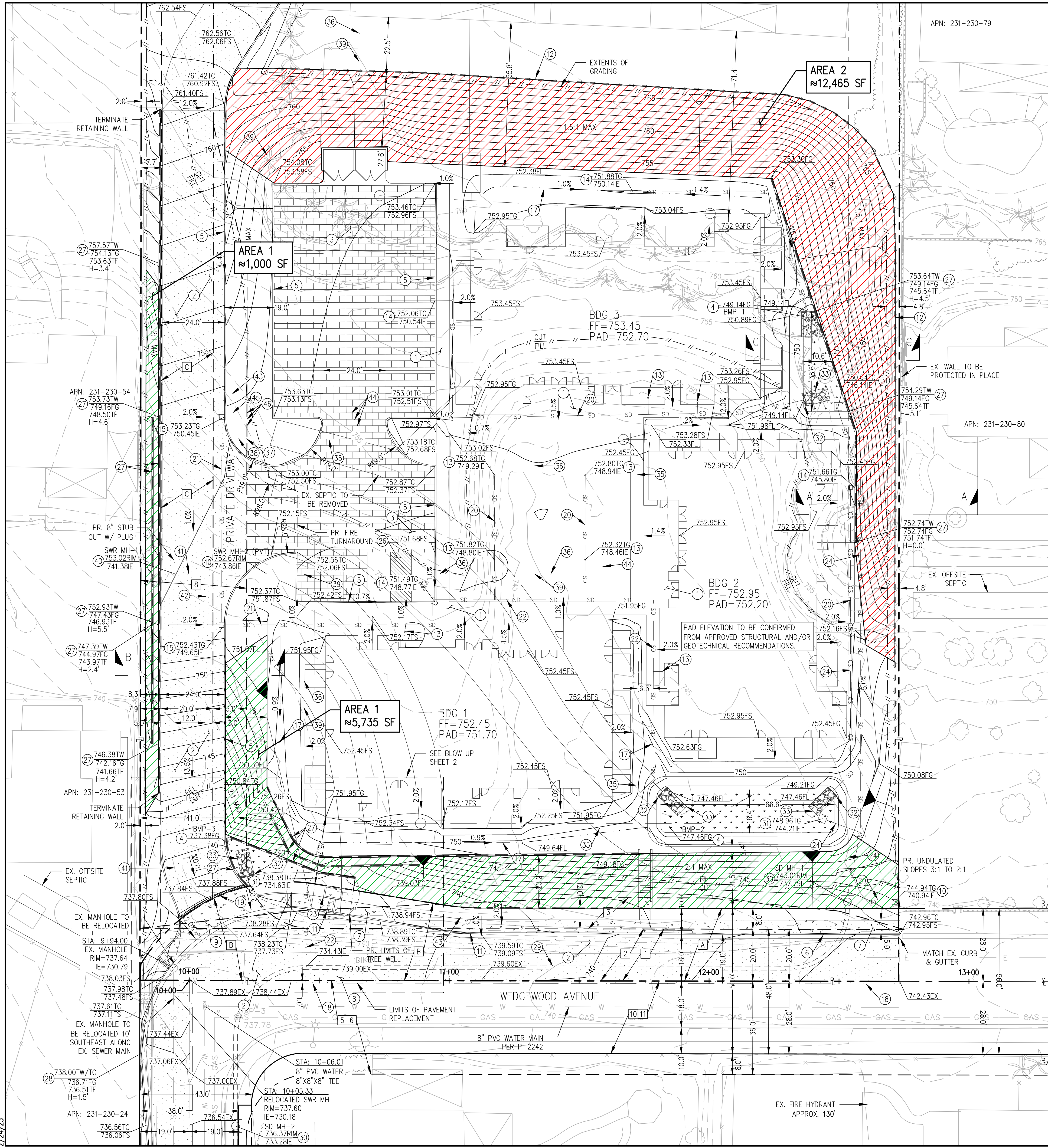
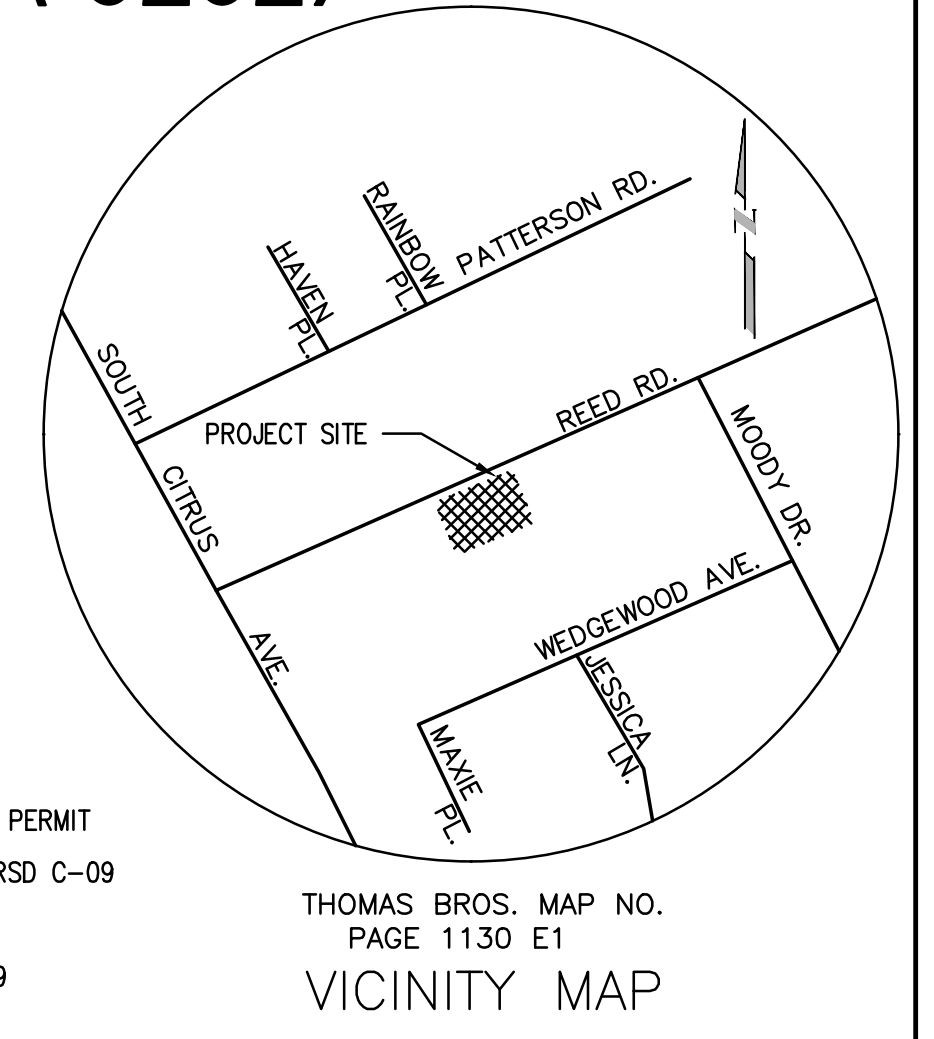
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- B** PROPOSED KNUCKLE RIGHT OF WAY DEDICATION
- C** PROPOSED 20' PUBLIC UTILITY AND EMERGENCY ACCESS EASEMENT
- D** PROPOSED 24' PUBLIC UTILITY AND EMERGENCY ACCESS EASEMENT

NOTES:

- ALL GRADING INFORMATION SHOWN HERE IS FOR REFERENCE ONLY

LEGEND:

PROPERTY LINE		PR. STORM DRAIN LINE	
RIGHT OF WAY		RETAINING WALL	
CENTERLINE		PR. SEWER LINE	
EXISTING CONTOUR (MAJOR)		PR. WATER LINE	
EXISTING CONTOUR (MINOR)		PR. CONCRETE PAVEMENT (IMPERVIOUS)	
PROPOSED CONTOUR (MAJOR)		PR. ASPHALT PAVEMENT (IMPERVIOUS)	
PROPOSED CONTOUR (MINOR)		PR. LANDSCAPING (PERVIOUS)	
DAYLIGHT LINE		PR. PERVIOUS PAVEMENT (PERVIOUS)	
DIRECTION OF DRAINAGE		PR. CURB OUTLET	



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SHEET 4 OF 4 SHEETS

DAVID V. CARON 2/24/23

PHG20-0033

COASTAL LAND SOLUTIONS, INC.

2/24/23

KEYNOTES

EXIT PATH NOTES

1. ALL EXIT ACCESS PATHS (LESS THAN) < 250'-0" MAXIMUM REQUIRED SPRINKLED BUILDING FOR R-2.1 OCCUPANCY.
2. AGGREGATE BUILDING FLOOR AREA < 10,000 S.F. = NO AREAS OF REFUGE REQUIRED PER CBC 422.3.

CODE CHECK LEGEND

- START OF EXIT PATH
 - EXIT - SINGLE DOOR
 - EXIT - DOUBLE DOOR
 - EXIT PATH
- NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

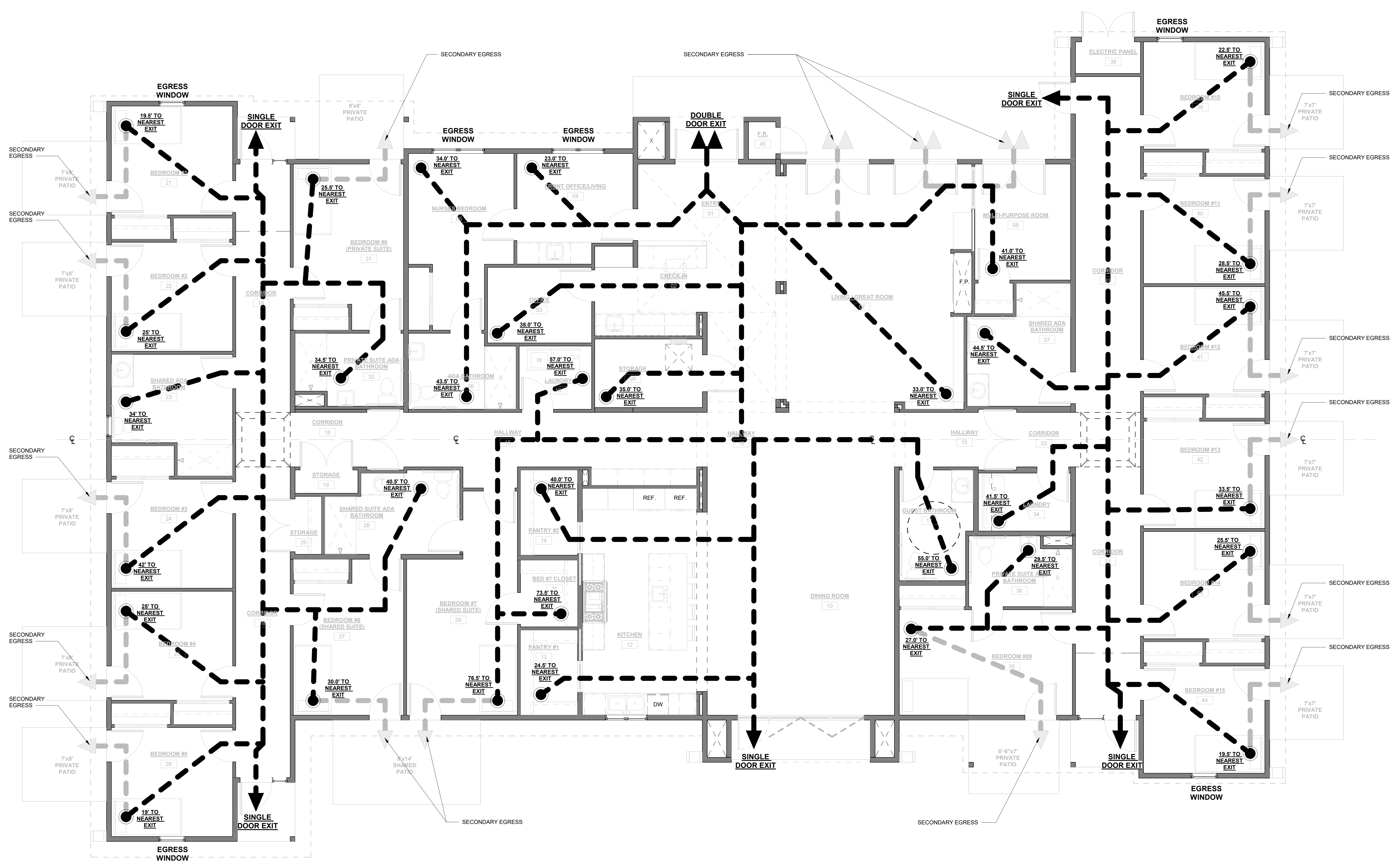
NOTE: I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature _____ Date _____

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	By

Date	2022.10.06
Scale	1/4" = 1'-0"
Drawn By	BPB
Job No.	1908
Sheet Name	CODE CHECK - ONE STORY - MAIN FLOOR
Sheet No.	A-0.0



CODE CHECK - ONE STORY - MAIN FLOOR
1/4" = 1'-0"



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2525 REED ROAD
2525 REED ROAD
ESCONDIDO, CA 92000

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 - EXIT PATH
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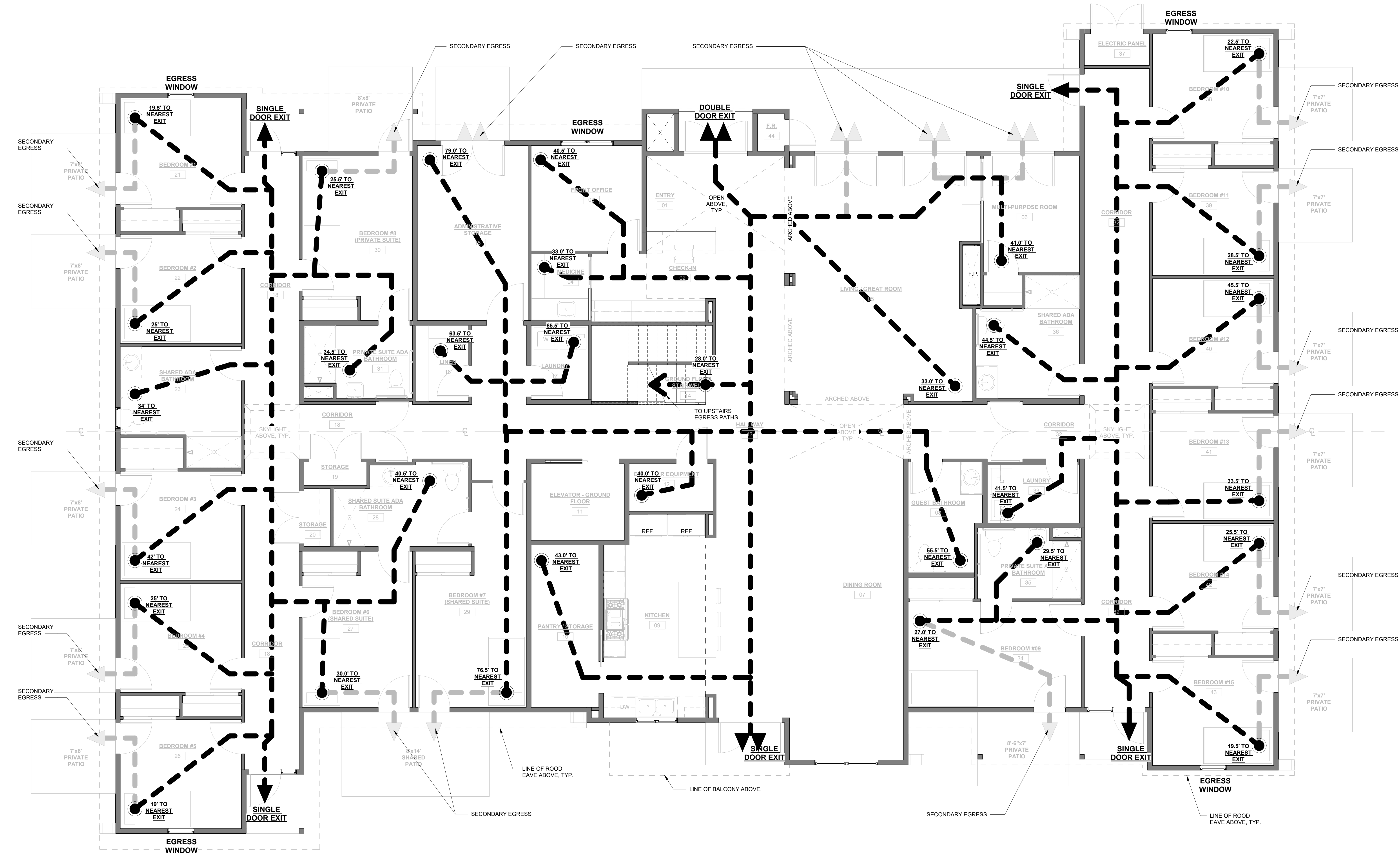
Signature _____ Date _____

REVISIONS	By

Date: 2021.12.14
Scale: 1/4" = 1'-0"
Drawn By: BPB
Job No.: 1908
Sheet Name: CODE CHECK - TWO STORY - MAIN FLOOR

Sheet No. **A-0.1**

PRELIMINARY
NOT FOR CONSTRUCTION



CODE CHECK - TWO STORY - MAIN FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

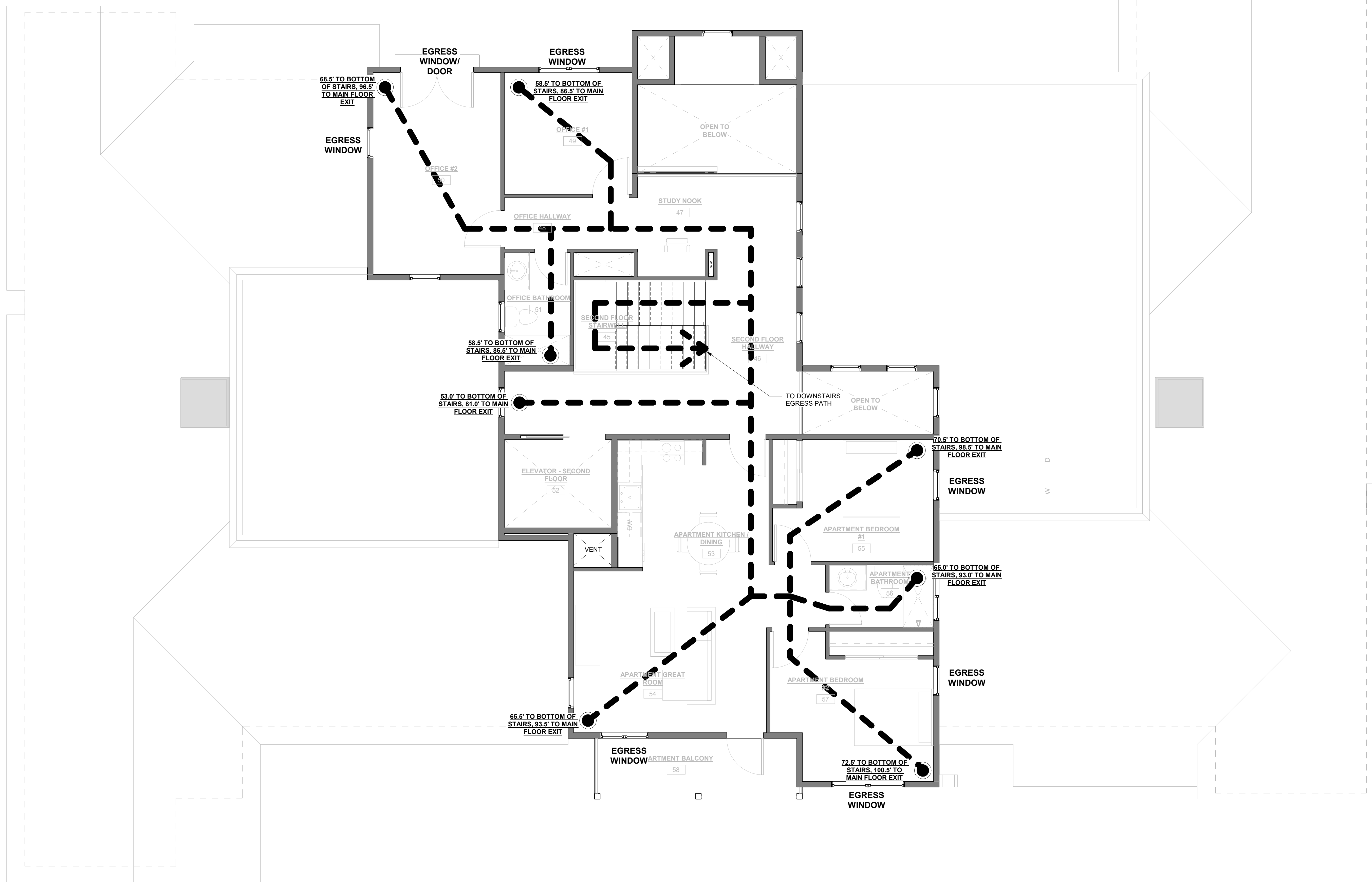


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2525 REED ROAD
2525 REED ROAD
ESCONDIDO, CA 92000



EXIT PATH NOTES

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CODE CHECK - TWO STORY - SECOND FLOOR
1/4" = 1'-0"

CODE CHECK LEGEND

- START OF EXIT PATH
 - EXIT - SINGLE DOOR
 - EXIT - DOUBLE DOOR
 - EXIT PATH
- NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

PRELIMINARY
NOT FOR CONSTRUCTION

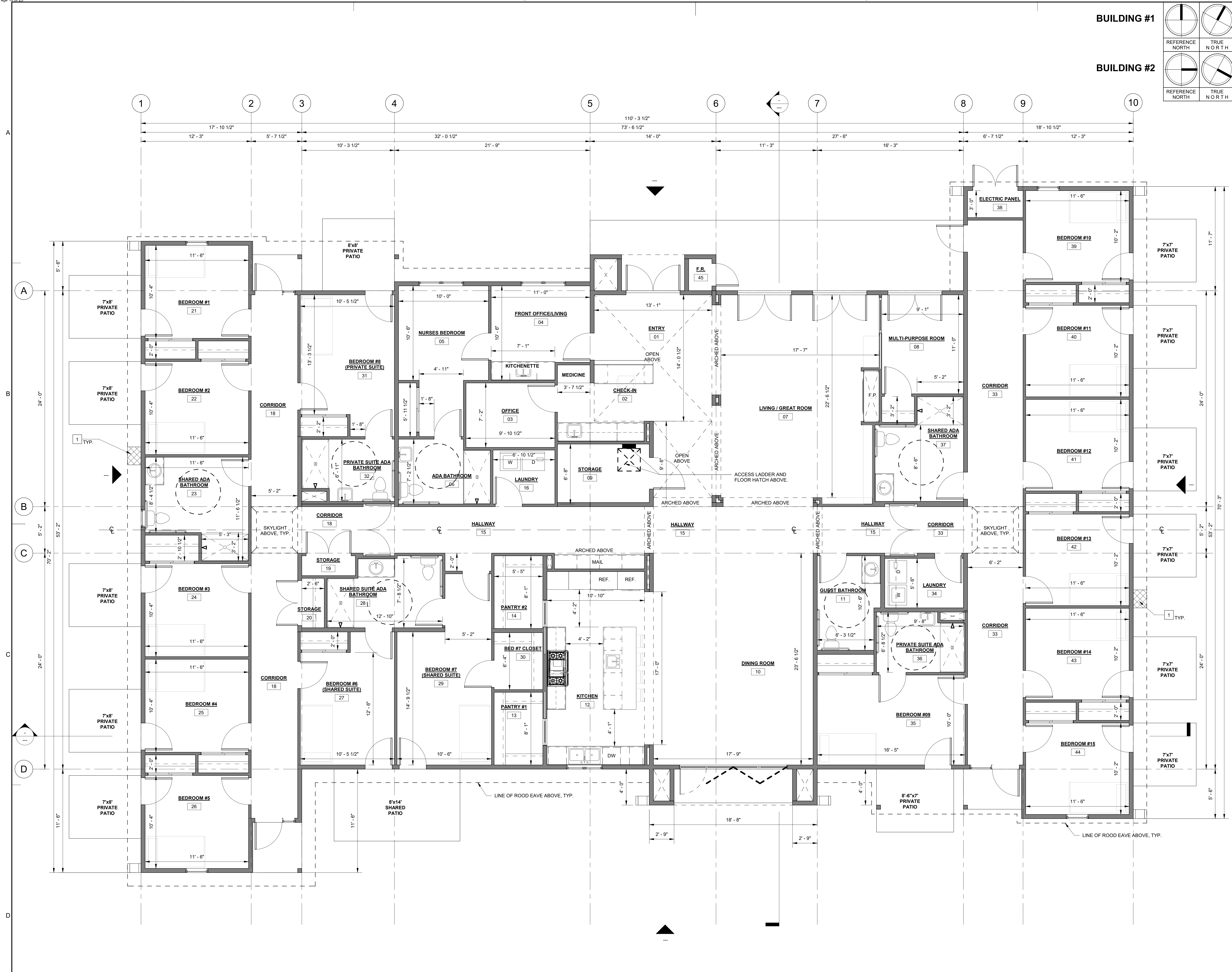
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Signature _____ Date _____

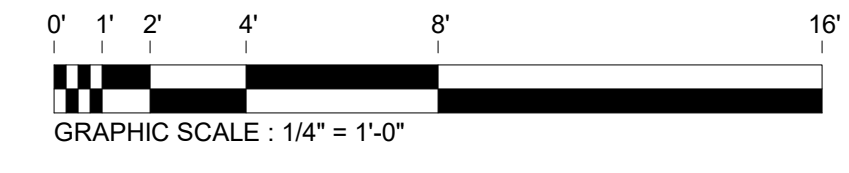
REVISIONS	By

Date: 2021.12.14
 Scale: 1/4" = 1'-0"
 Drawn By: BPB
 Job No.: 1908
 Sheet Name: CODE CHECK - TWO STORY - SECOND FLOOR

Sheet No. **A-0.2**



MAIN FLOOR PLAN
1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

KEYNOTES

1 ROOFTOP FIRE GROUND ACCESS LADDER, TYP.

BUILDING #1

REFERENCE NORTH TRUE NORTH

BUILDING #2

REFERENCE NORTH TRUE NORTH

GENERAL FINISH NOTES

- BATHROOMS AND RESTROOMS SHALL HAVE TILED WALLS MIN. 4'-0" HIGH. SHOWERS SHALL BE FULLY TILED FROM FLOOR TO CEILING.
- PAINTED WALLS AND CEILINGS IN COMMON AREAS SHALL BE A WASHABLE EGGSHELL FINISH. IN THE BATHROOMS AND ALL WET LOCATIONS, THE WALLS AND CEILINGS SHALL BE WASHABLE ENAMEL.
- ALL BATHROOM FIXTURES TO BE STAINLESS STEEL FINISH AND PLASTIC TOILET PAPER HOLDERS.
- ALL KITCHEN APPLIANCES SHALL BE SCRATCH RESISTANT STAINLESS STEEL FINISH, TYP.
- ALL COUNTERTOPS TO BE GRANITE AS SELECTED BY OWNER, TYP.
- ALL SHOWERS SHALL BE BUILT-IN TILE SHOWERS WITH THE EXCEPTION OF ADA BATHROOM #06 WHICH SHALL BE PRE-FAB FIBERGLASS SHOWER.
- EACH INDIVIDUAL BUILDING SHALL RECEIVE ITS OWN COMMUNICATIONS SERVICE WITH WIFI HOTSPOT FOR EACH BUILDING.
- OWNER TO SELECT AND CONTRACTOR TO PROVIDE ACCESS CONTROL SYSTEM FOR RESIDENTS, TYP.
- OWNER TO SELECT AND CONTRACTOR TO PROVIDE A BUSINESS ALARM SYSTEM FOR EACH BUILDING WITH CONTROLS TO BE LOCATED AS SELECTED BY OWNER, TYP.

NOTE: ALL THE ITEMS NOTED ABOVE SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION, TYP.

ARCHITECTURAL LEGEND

- Doors
- Windows
- Keynote
- Wall Type
- Interior Elevation
- Storefront Elevation
- Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- Revision

REVISIONS

NO.	DESCRIPTION	DATE	BY

Date: 2022.10.06
Scale: 1/4" = 1'-0"
Drawn By: BPB
Job No.: 1908
Sheet Name: ONE STORY - MAIN FLOOR PLAN - NOTED
Sheet No.: A-1.0

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

Signature: _____ Date: _____

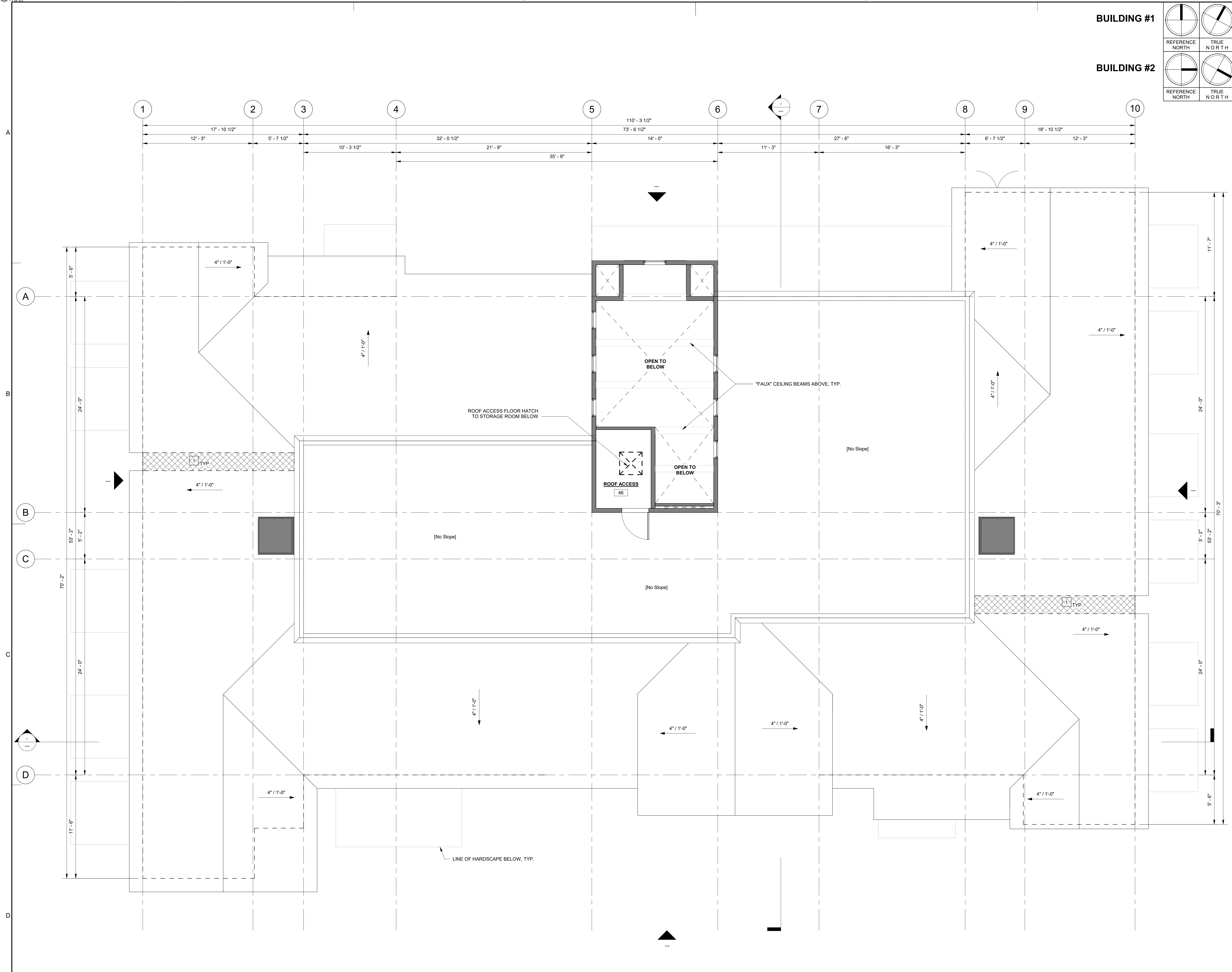
BGI ARCHITECTURE

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(760) 438-2963
bgiairchitect.com

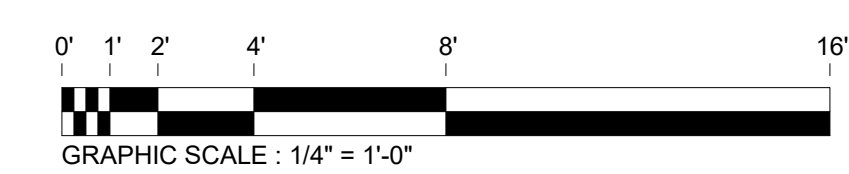
2525 REED ROAD ASSISTED LIVING FACILITY

2525 REED ROAD
ESCONDIDO, CA 92080

Resolution No. 2023-103 Exhibit "B" Page 10 of 23 Item 17



SECOND FLOOR PLAN
1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

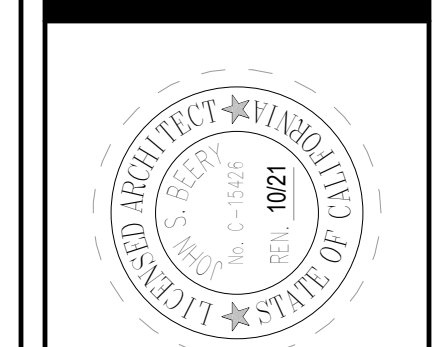
KEYNOTES	
1	ROOFTOP FIRE ACCESS PATH, TYP.

ARCHITECTURAL LEGEND	
	Doors
	Windows
	Keynote
	Wall Type
	Interior Elevation
	Storefront Elevation
	Building Elevation
	New Wall
	Existing Wall
	Demolition
	Insulation
	Overhead
	Centerline
	Property Line
	Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

BGI ARCHITECTURE
Beery Group Inc.
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2525 REED ROAD ASSISTED LIVING FACILITY
2525 REED ROAD
ESCONDIDO, CA 92000

REVISIONS	By

Date: 2022.10.06
Scale: 1/4" = 1'-0"
Drawn By: BPB
Job No.: 1908

Sheet Name: ONE STORY - SECOND FLOOR PLAN - NOTED & DIMENSIONED

Sheet No.: **A-1.1**

Signature: _____ Date: _____

BUILDING #1

REFERENCE NORTH TRUE NORTH

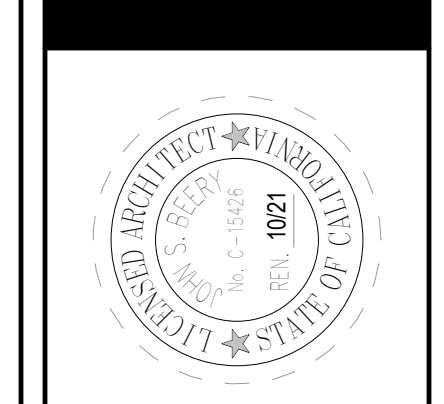
BUILDING #2

REFERENCE NORTH TRUE NORTH

- KEYNOTES**
- 'S' TYPE CONCRETE TILE FINISH ROOF, TYP. U.O.N.
 - FLAT ROOF: SINGLE-PLY ROOF FINISH MEMBRANE TYP. U.O.N.
 - PARAPET WALL
 - LINE OF EXTERIOR WALLS BELOW @ MAIN FLOOR, TYP.
 - LINE OF EXTERIOR WALLS BELOW @ ENTRY TOWER, TYP.
 - LINE OF EXTERIOR ENTRY TOWER ROOF, TYP.
 - ROOFTOP FIRE ACCESS LADDER, TYP.
 - CLASS 'A' SHINGLE ROOF FOR FIRE ACCESS PATHWAY TO PARAPET, TYP.

BGI ARCHITECTURE

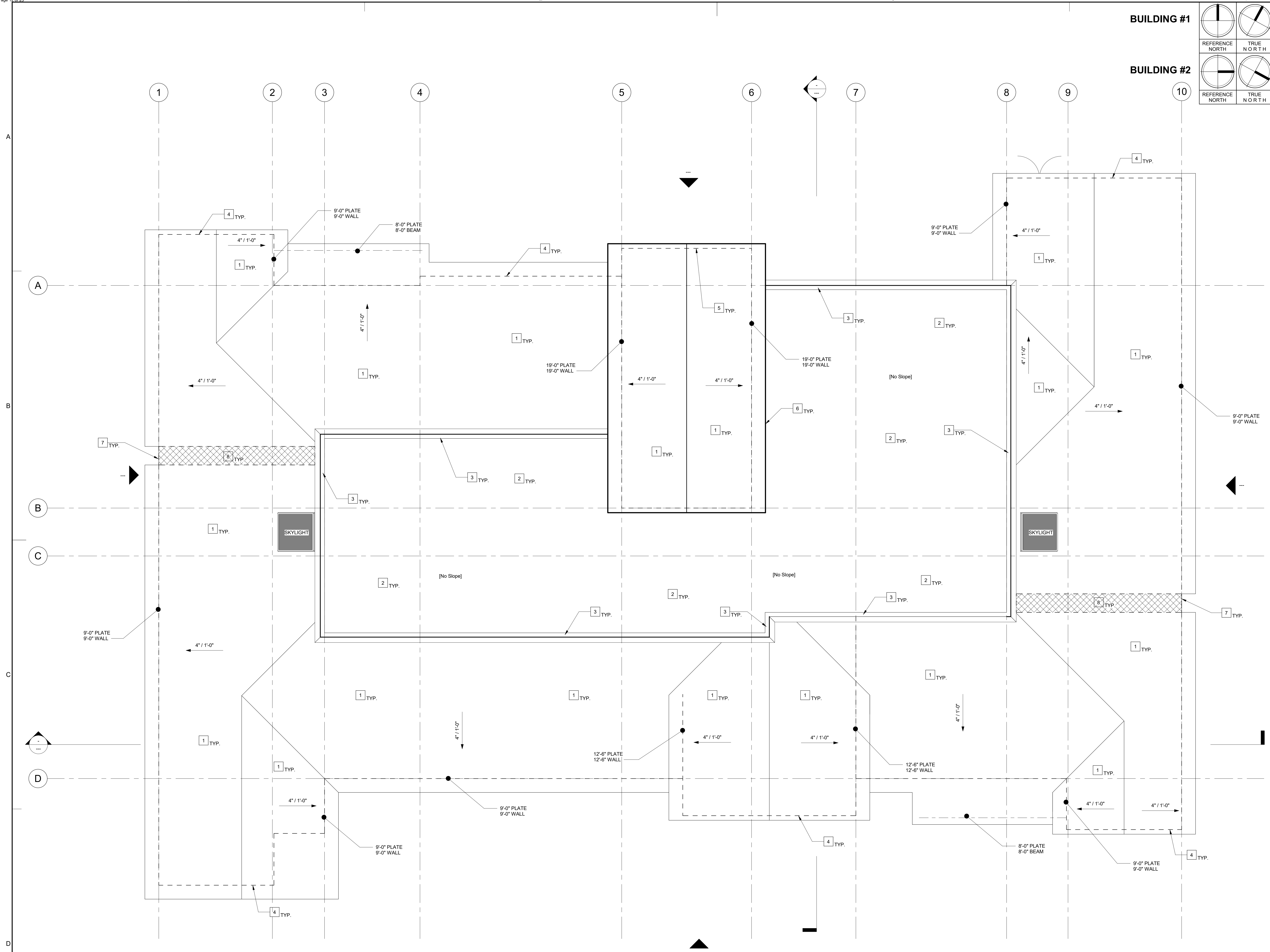
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2525 REED ROAD ASSISTED LIVING FACILITY

2525 REED ROAD
ESCONDIDO, CA 92000

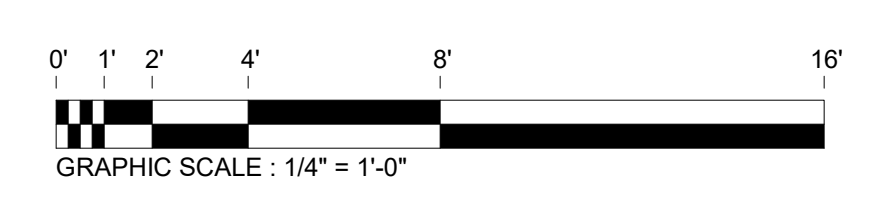


ROOF PLAN
1/4" = 1'-0"

ARCHITECTURAL LEGEND

- Doors
- Windows
- Keynote
- Wall Type
- Interior Elevation
- Storefront Elevation
- Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.



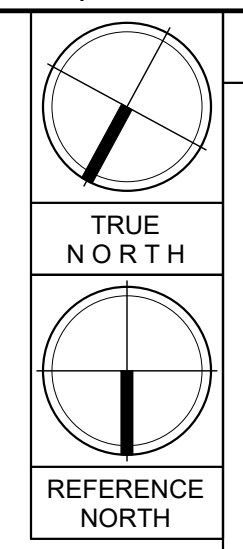
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	By

Date	2022.10.06
Scale	1/4" = 1'-0"
Drawn By	BPB
Job No.	1908
Sheet Name	ONE STORY - ROOF PLAN - NOTED & DIMENSIONED
Sheet No.	A-1.2

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature _____ Date _____



KEYNOTES

- 1 ROOFTOP FIRE GROUND ACCESS LADDER, TYP.

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2525 REED ROAD
 2525 REED ROAD
 ESCONDIDO, CA 92000

GENERAL FINISH NOTES

- 01. BATHROOMS AND RESTROOMS SHALL HAVE TILED WALLS MIN. 4'-0" HIGH. SHOWERS SHALL BE FULLY TILED FROM FLOOR TO CEILING.
 - 02. PAINTED WALLS AND CEILINGS IN COMMON AREAS SHALL BE A WASHABLE EGGSHELL FINISH. IN THE BATHROOMS AND ALL WET LOCATIONS, THE WALLS AND CEILINGS SHALL BE WASHABLE ENAMEL.
 - 03. ALL BATHROOM FIXTURES TO BE STAINLESS STEEL FINISH AND PLASTIC TOILET PAPER HOLDERS.
 - 04. ALL KITCHEN APPLIANCES SHALL BE SCRATCH RESISTANT STAINLESS STEEL FINISH, TYP.
 - 05. ALL COUNTERTOPS TO BE GRANITE AS SELECTED BY OWNER, TYP.
 - 06. ALL SHOWERS SHALL BE BUILT-IN TILE SHOWERS WITH THE EXCEPTION OF ADA BATHROOM #06 WHICH SHALL BE PRE-FAB FIBERGLASS SHOWER.
 - 07. EACH INDIVIDUAL BUILDING SHALL RECEIVE ITS OWN COMMUNICATIONS SERVICE WITH WIFI HOTSPOT FOR EACH BUILDING.
 - 08. OWNER TO SELECT AND CONTRACTOR TO PROVIDE ACCESS CONTROL SYSTEM FOR RESIDENTS, TYP.
 - 09. OWNER TO SELECT AND CONTRACTOR TO PROVIDE A BUSINESS ALARM SYSTEM FOR EACH BUILDING WITH CONTROLS TO BE LOCATED AS SELECTED BY OWNER, TYP.
- NOTE: ALL THE ITEMS NOTED ABOVE SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION, TYP.

ARCHITECTURAL LEGEND

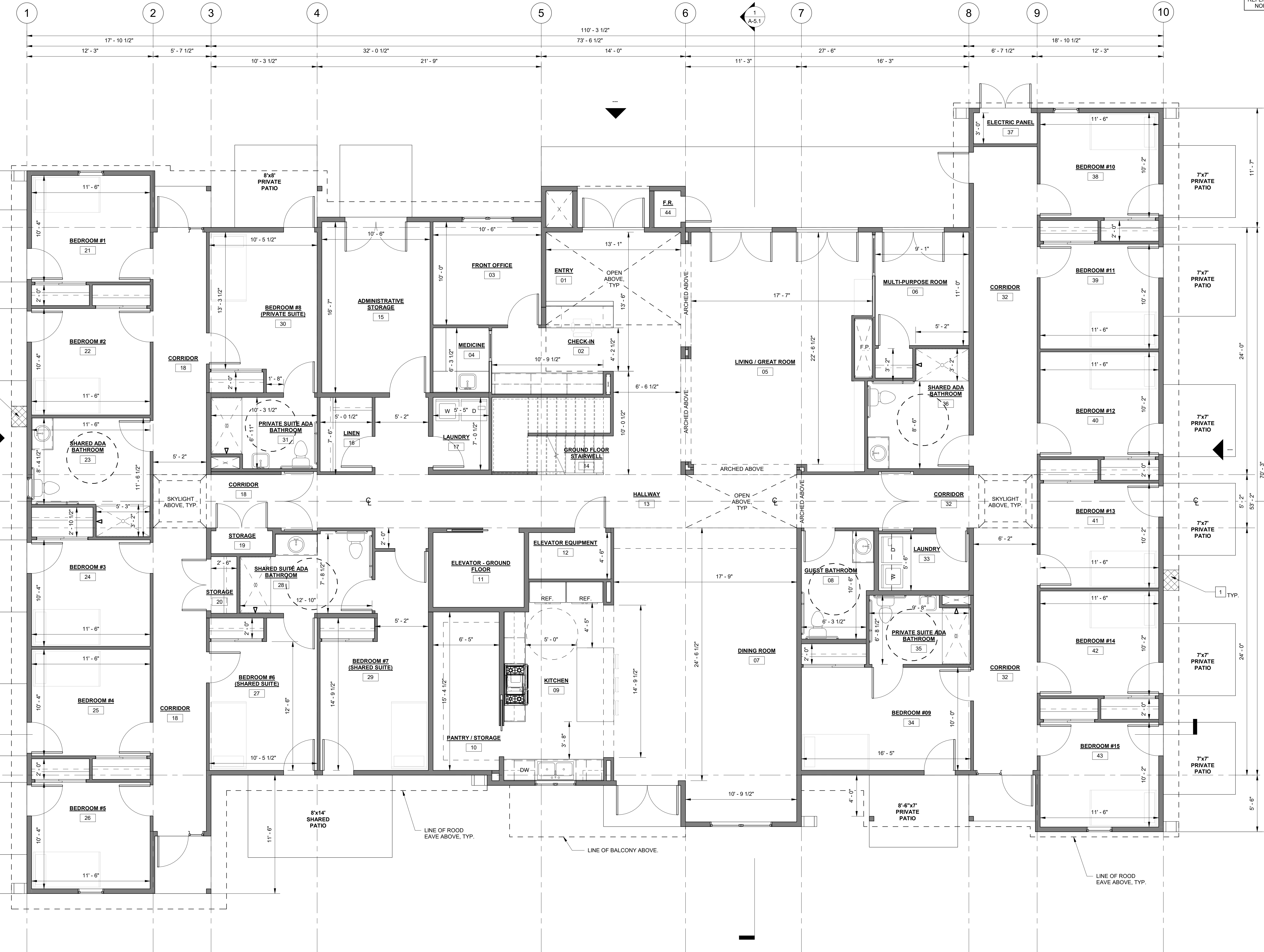
- ① Doors
- ⬢ Windows
- 1 Keynote
- ⬢ Wall Type
- 1 Interior Elevation
- 1 A-1 Storefront Elevation
- ▲ A-1 Building Elevation
- New Wall
- Existing Wall
- /// Demolition
- ▨ Insulation
- Overhead
- - - Centerline
- - - Property Line
- 1 Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

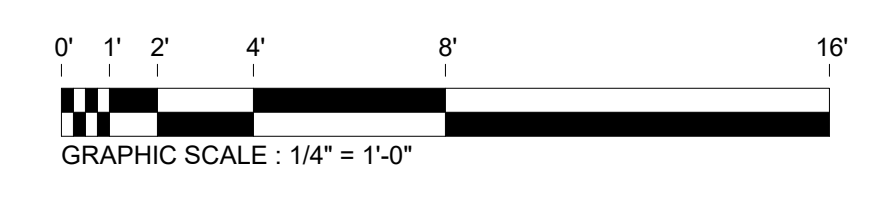
REVISIONS	By

Date: 2021.12.14
 Scale: 1/4" = 1'-0"
 Drawn By: BPB
 Job No.: 1908
 Sheet Name: TWO STORY - MAIN FLOOR PLAN - NOTED

Sheet No. **A-2.0**



MAIN FLOOR PLAN
 1/4" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION

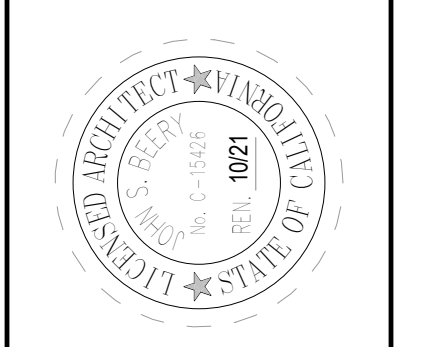
Signature: _____ Date: _____

KEYNOTES

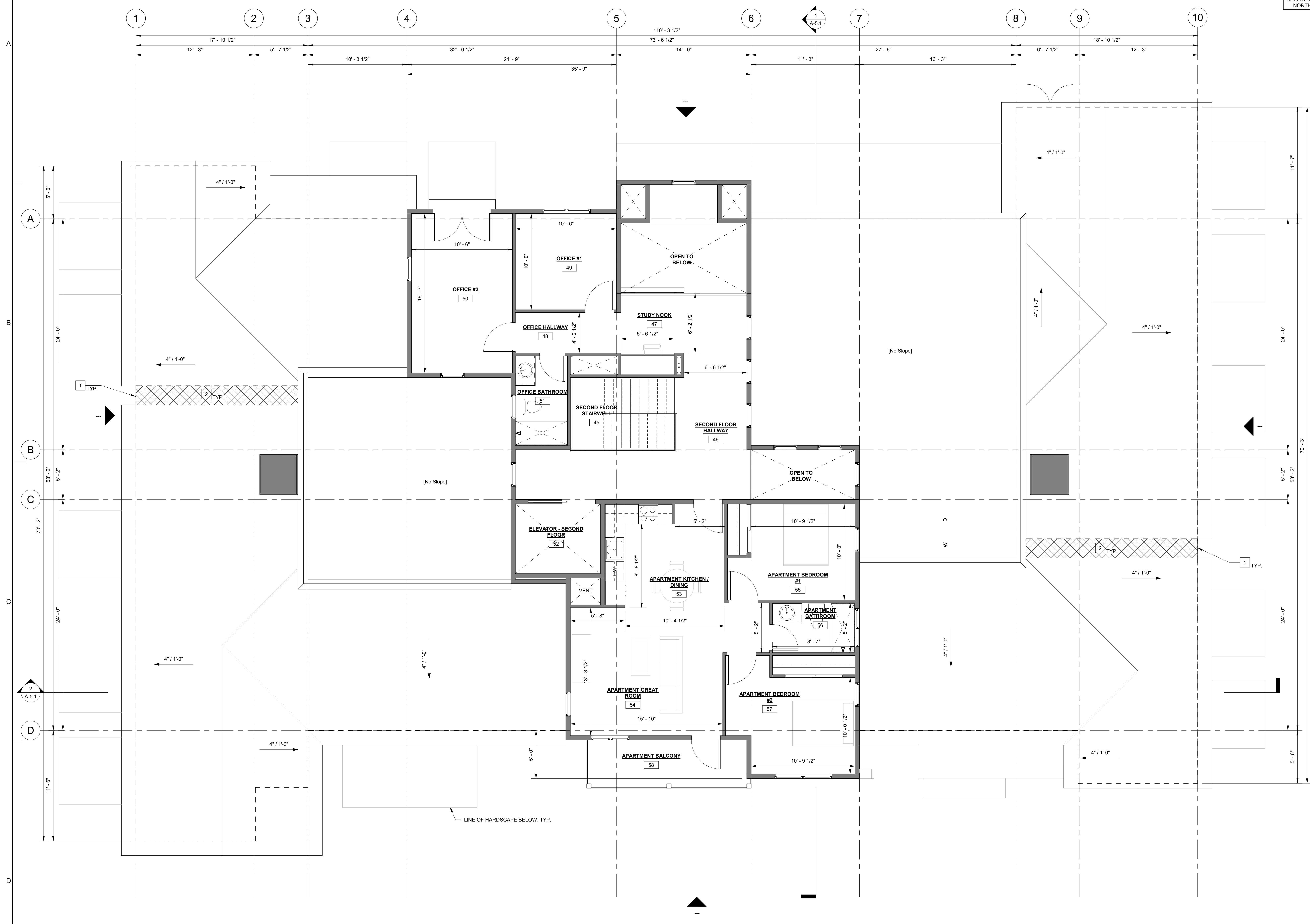
- ROOFTOP FIRE GROUND ACCESS LADDER, TYP.
- CLASS 'M' SHINGLE ROOF FOR FIRE ACCESS PATHWAY TO PARAPET, TYP.

TRUE NORTH
REFERENCE NORTH

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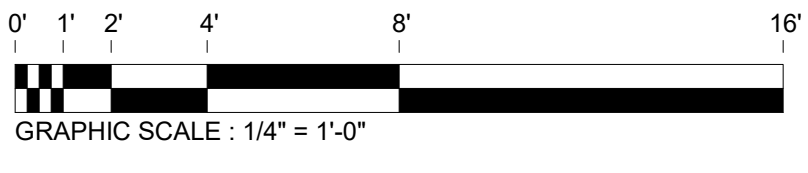


SECOND FLOOR PLAN
1/4" = 1'-0"

ARCHITECTURAL LEGEND

- Doors
- Windows
- Keynote
- Wall Type
- Interior Elevation
- Storefront Elevation
- Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.



PRELIMINARY
NOT FOR CONSTRUCTION

2525 REED ROAD
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ESCONDIDO, CA 92000

REVISIONS	By

Date: 2021.12.14
Scale: 1/4" = 1'-0"
Drawn By: BPB
Job No.: 1908
Sheet Name: TWO STORY - SECOND FLOOR PLAN - NOTED

Sheet No: **A-2.1**

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

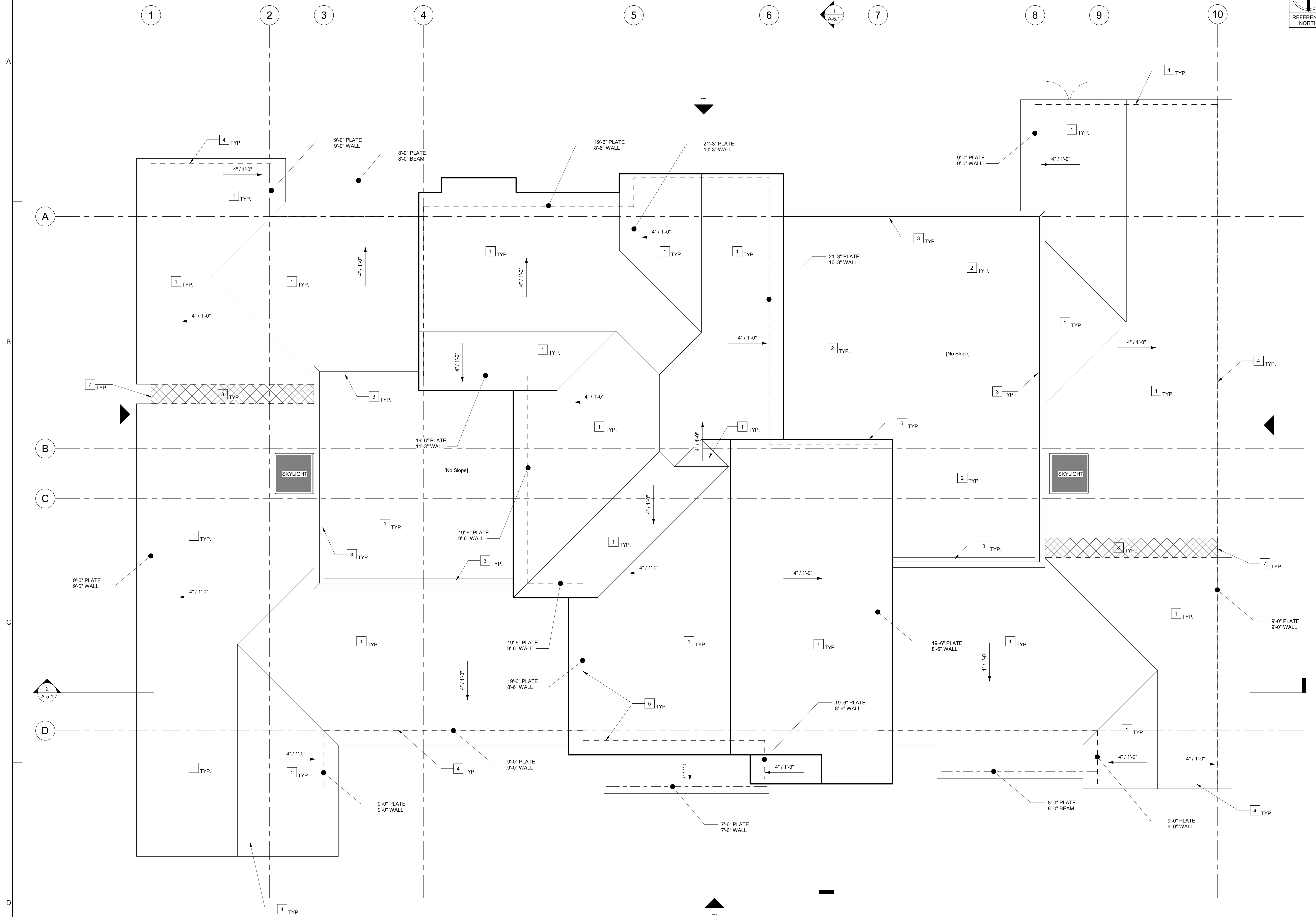
Signature: _____ Date: _____

- KEYNOTES**
- 'S' TYPE CONCRETE TILE FINISH ROOF, TYP. U.O.N.
 - FLAT ROOF: SINGLE-PLY ROOF FINISH MEMBRANE TYP. U.O.N.
 - PARAPET WALL
 - LINE OF EXTERIOR WALLS BELOW @ MAIN FLOOR, TYP.
 - LINE OF EXTERIOR WALLS BELOW @ SECOND FLOOR, TYP.
 - LINE OF EXTERIOR UPPER ROOF, TYP.
 - ROOFTOP FIRE GROUND ACCESS LADDER, TYP.
 - CLASS 'A' SHINGLE ROOF FOR FIRE ACCESS PATHWAY TO PARAPET, TYP.

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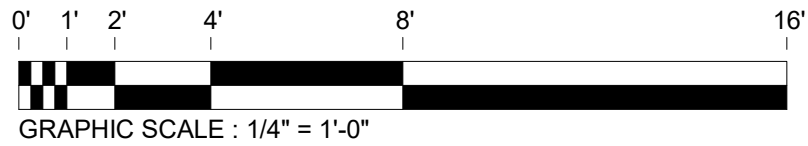


ROOF PLAN
1/4" = 1'-0"

ARCHITECTURAL LEGEND

- | | |
|--|----------------------|
| | Doors |
| | Windows |
| | Keynote |
| | Wall Type |
| | Interior Elevation |
| | Storefront Elevation |
| | Building Elevation |
| | New Wall |
| | Existing Wall |
| | Demolition |
| | Insulation |
| | Overhead |
| | Centerline |
| | Property Line |
| | Revision |

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.



PRELIMINARY
NOT FOR CONSTRUCTION

Signature _____ Date _____

2525 REED ROAD
2525 REED ROAD
ESCONDIDO, CA 92000

REVISIONS	By

Date	2021.12.14
Scale	1/4" = 1'-0"
Drawn By	BPB
Job No.	1908
Sheet Name	TWO STORY - ROOF PLAN - NOTED & DIMENSIONED
Sheet No.	A-2.2

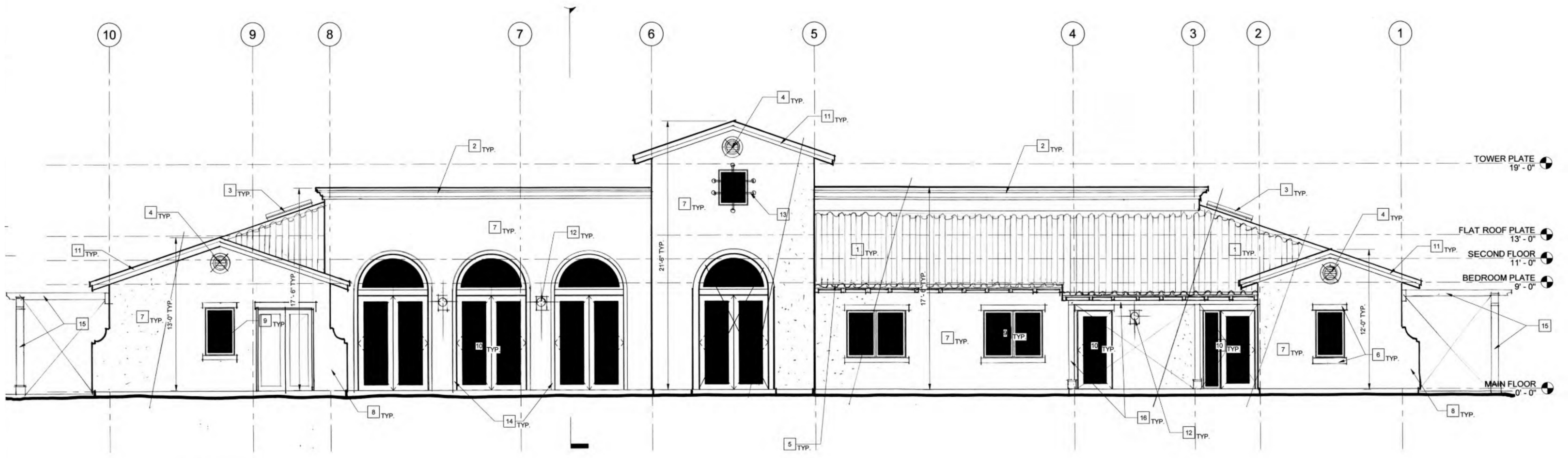
Resolution No. 2023-103 Exhibit "B" Page 15 of 23 Item 11

ARCHITECTURE | DESIGN

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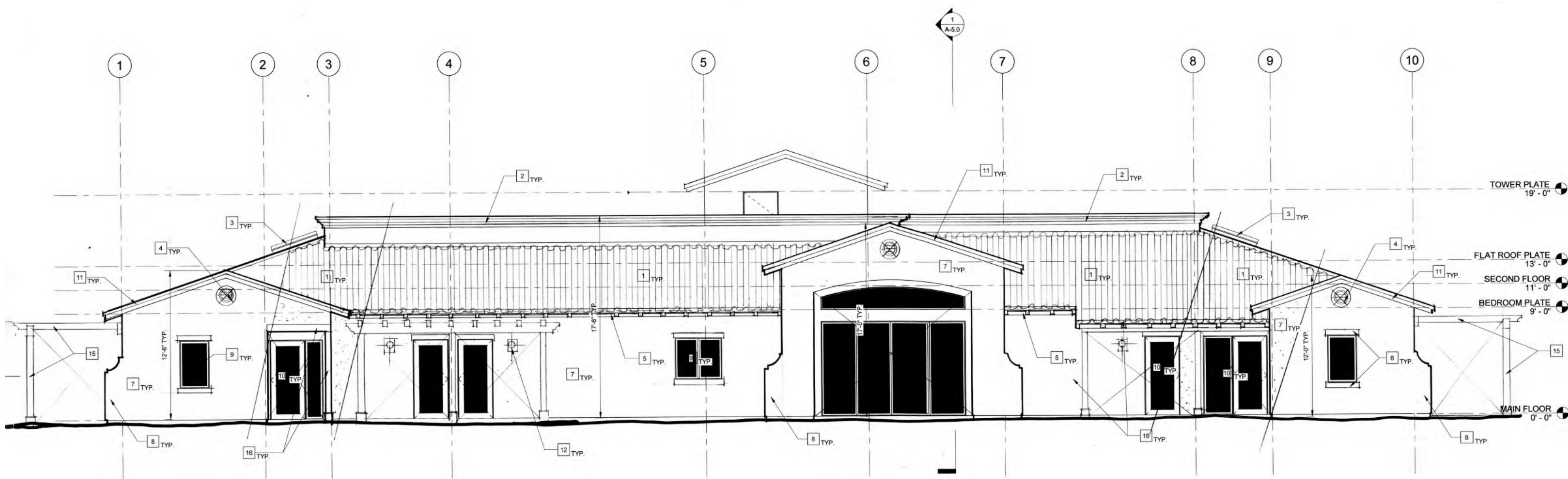
- KEYNOTES**
- 'S' TYPE CONCRETE TILE ROOF, TYP. U.O.N.
 - STUCCO "OGGEE" SHAPED WALL COPING, TYP. U.O.N.
 - SKYLIGHT TYP. U.O.N.
 - RECESSED METAL VENT PAINTED TYP. U.O.N.
 - SOFFIT: 2x8 T&G WOOD SIDING - ROUGH SIDE DOWN WITH 4x8 RAFTER TAILS SPACED @ 24" O.C. MAX. ENTIRE ASSEMBLY TO BE PAINTED, TYP. U.O.N.
 - STUCCO "FOAM & FIBERGLASS" DETAIL HEAD & SILL PAINTED TYP. U.O.N.
 - STUCCO FINISH "SAND FINISH" WITH 3 COAT OF WIRE LATHE O.V.B. TYP. U.O.N.
 - EXTENDED "DECORATIVE" WALL TYP. U.O.N.
 - VINYL WINDOW W/ LOW 'E' DUAL GLAZING TYP. U.O.N.
 - FIBERGLASS DOOR W/ LOW 'E' GLASS PAINTED, TYP. U.O.N.
 - 2x WOOD BARGE BOARD PAINTED, TYP. U.O.N.
 - EXTERIOR METAL PAINTED ANG. GLASS LIGHT FIXTURE TYP. U.O.N.
 - ALUMINUM GRILL PAINTED, TYP. U.O.N.
 - STUCCO "DECO" DETAIL FOAM & FIBERGLASS ATTACHED TO BROWN COAT WITH A SMOOTH PLASTER STUCCO FINISH, TYP. U.O.N.
 - TRELLIS: 8x8 POST W/ 6x BEAMS & 4x RAFTERS EQUALLY SPACED W/ 2x8 T&G DECKING. ENTIRE ASSEMBLY R.S. & PAINTED TYP. U.O.N.
 - 6x 8 POST W/ 6x BEAM AND STUCCO SOFFIT FINISH, PAINT R.S. EXPOSED WOOD, TYP. U.O.N.



FRONT ELEVATION
1/4" = 1'-0"
SINGLE STORY ELEVATIONS OF BUILDINGS #1 & #2 SHOWN ON SHEET AC-1, TYP.

GENERAL NOTES

- FOR MATERIAL COLORS SEE MATERIAL BOARD.

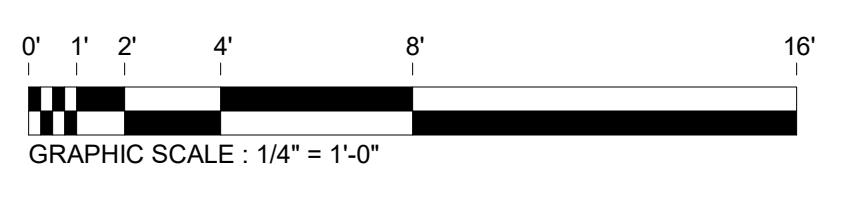


REAR ELEVATION
1/4" = 1'-0"
SINGLE STORY ELEVATIONS OF BUILDINGS #1 & #2 SHOWN ON SHEET AC-1, TYP.

ARCHITECTURAL LEGEND

- | | |
|--|----------------------|
| | Doors |
| | Windows |
| | Keystone |
| | Wall Type |
| | Interior Elevation |
| | Storefront Elevation |
| | Building Elevation |
| | New Wall |
| | Existing Wall |
| | Demolition |
| | Insulation |
| | Overhead |
| | Centerline |
| | Property Line |
| | Revision |

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.



PRELIMINARY
NOT FOR CONSTRUCTION

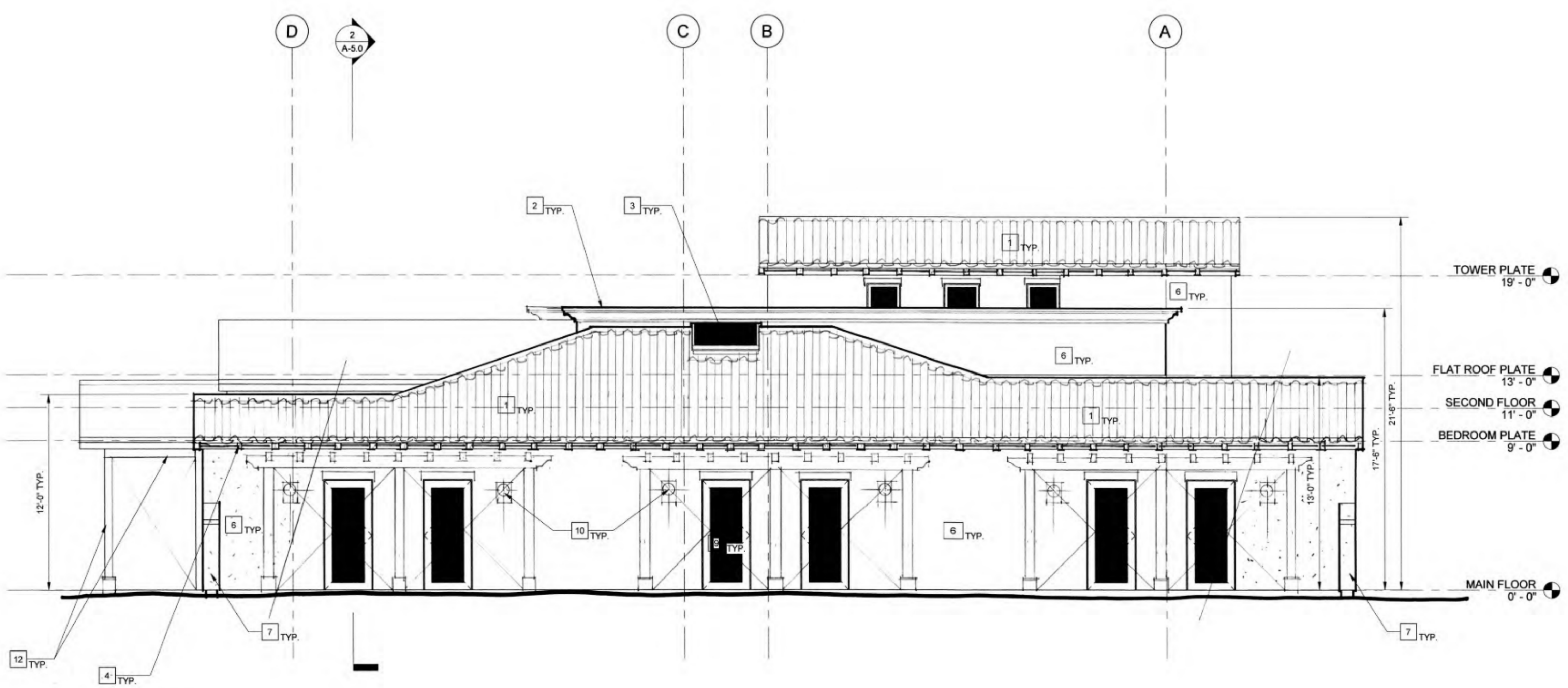
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Signature: _____ Date: _____

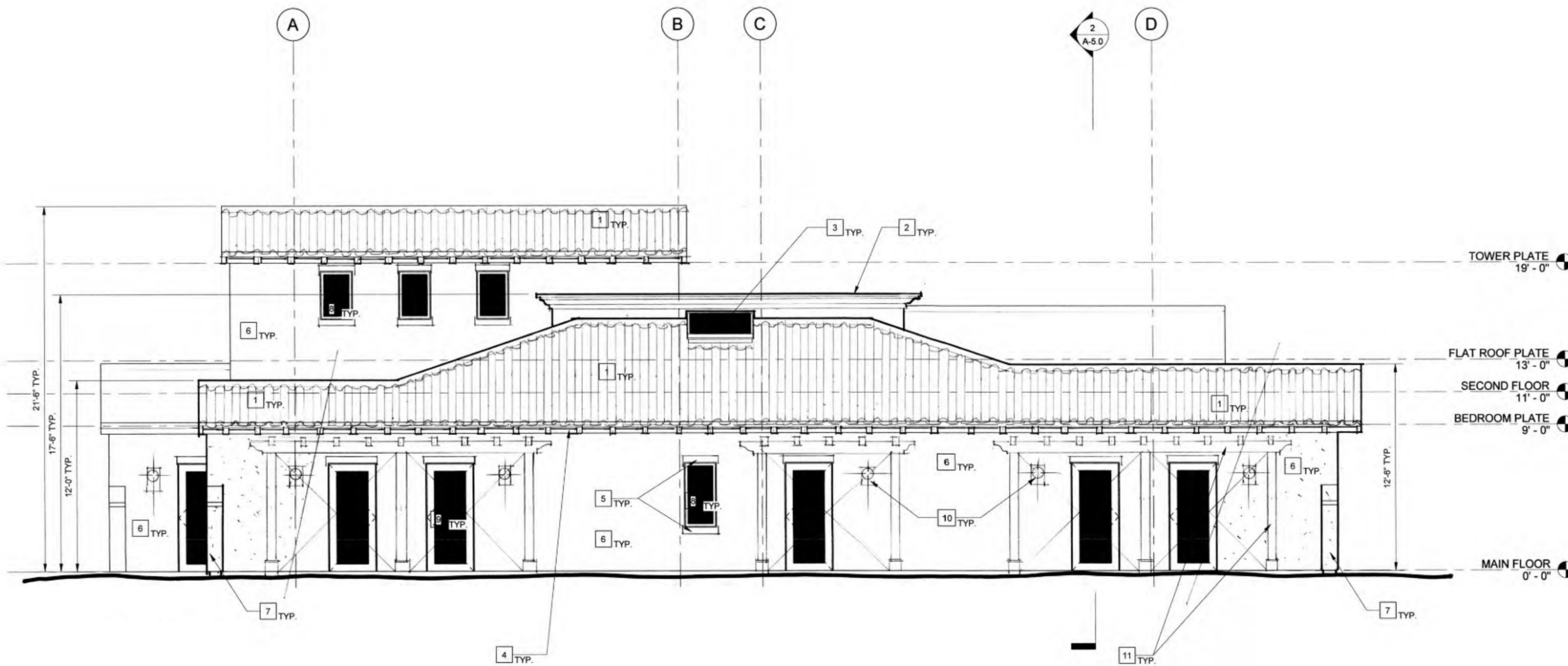
2525 REED ROAD ASSISTED LIVING FACILITY
2525 REED ROAD
ESCONDIDO, CA 92000

REVISIONS	By

Date: 2022.10.06
Scale: 1/4" = 1'-0"
Drawn By: BPB
Job No.: 1908
Sheet Name: ONE STORY - ELEVATIONS
Sheet No.: **A-3.0**



LEFT SIDE ELEVATION
1/4" = 1'-0"
SINGLE STORY ELEVATIONS OF BUILDINGS #1 & #2 SHOWN ON SHEET AC-1, TYP.

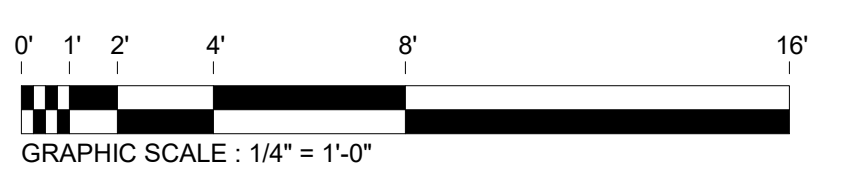


RIGHT SIDE ELEVATION
1/4" = 1'-0"
SINGLE STORY ELEVATIONS OF BUILDINGS #1 & #2 SHOWN ON SHEET AC-1, TYP.

- KEYNOTES**
- 1 3" TYPE CONCRETE TILE ROOF. TYP. U.O.N.
 - 2 STUCCO "OGGEE" SHAPED WALL COPING. TYP. U.O.N.
 - 3 SKYLIGHT TYP. U.O.N.
 - 4 SOFFIT: 2x8 T&G WOOD SIDING - ROUGH SIDE DOWN WITH 4x8 RAFTER TAILS SPACED @ 24" O.C. MAX. ENTIRE ASSEMBLY TO BE PAINTED. TYP. U.O.N.
 - 5 STUCCO "FOAM & FIBERGLASS" DETAIL HEAD & SILL PAINTED TYP. U.O.N.
 - 6 STUCCO FINISH "SAND FINISH" WITH 3 COAT OF WIRE LATHE O.I.M.B. TYP. U.O.N.
 - 7 EXTENDED "DECORATIVE" WALL TYP. U.O.N.
 - 8 VINYL WINDOW W/ LOW 'E' DUAL GLAZING TYP. U.O.N.
 - 9 FIBERGLASS DOOR W/ LOW 'E' GLASS PAINTED. TYP. U.O.N.
 - 10 EXTERIOR METAL/PAINTED ANG. GLASS LIGHT FIXTURE TYP. U.O.N.
 - 11 TRELLIS: 3x8 POST W/ 6x BEAMS & 4x RAFTERS EQUALLY SPACED W/ 2x8 T&G DECKING. ENTIRE ASSEMBLY R.S. & PAINTED TYP. U.O.N.
 - 12 6x 8 POST W/ 6x BEAM AND STUCCO SOFFIT FINISH PAINT R.S. EXPOSED WOOD. TYP. U.O.N.

- GENERAL NOTES**
1. FOR MATERIAL COLORS SEE MATERIAL BOARD.

- ARCHITECTURAL LEGEND**
- ① Doors
 - ⬡ Windows
 - 1 Keynote
 - ◁ Wall Type
 - 1 Interior Elevation
 - ◁-1 Storefront Elevation
 - ◁-1 Building Elevation
 - ▬ New Wall
 - ▬ Existing Wall
 - /// Demolition
 - /// Insulation
 - - Overhead
 - - Centerline
 - - Property Line
 - 1 Revision
- NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.



PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature: _____ Date: _____

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Carlsbad, CA 92011
(760) 438-2963
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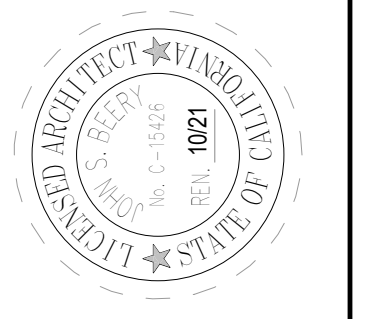
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2525 REED ROAD ASSISTED LIVING FACILITY
2525 REED ROAD
ESCONDIDO, CA 92000

REVISIONS	By
Date	2022.10.06
Scale	1/4" = 1'-0"
Drawn By	BPB
Job No.	1908
Sheet Name	ONE STORY - ELEVATIONS
Sheet No.	A-3.1



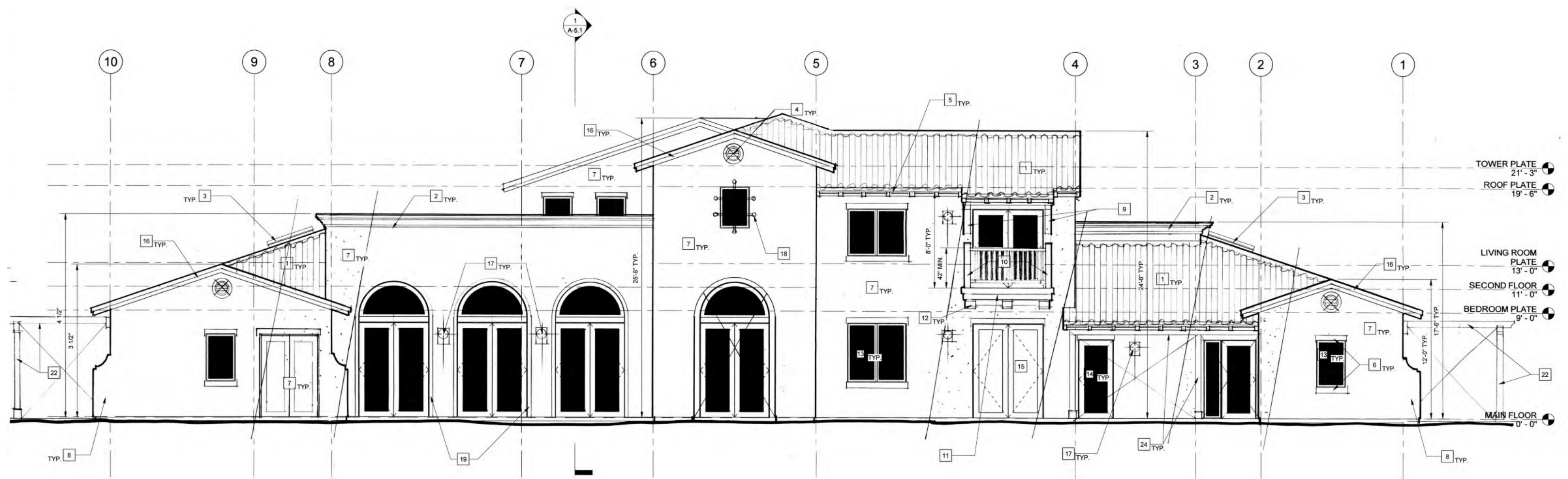
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KEYNOTES

- 1 'S' TYPE CONCRETE TILE ROOF, TYP. U.O.N.
- 2 STUCCO "OGGEE" SHAPED WALL COPING, TYP. U.O.N.
- 3 SKYLIGHT TYP. U.O.N.
- 4 RECESSED METAL VENT PAINTED TYP. U.O.N.
- 5 SOFFIT: 2x8 T&G WOOD SIDING - ROUGH SIDE DOWN WITH 4x8 RAFTER TAILS SPACED @ 24" O.C. MAX. ENTIRE ASSEMBLY TO BE PAINTED, TYP. U.O.N.
- 6 STUCCO "FOAM & FIBERGLASS" DETAIL HEAD & SILL PAINTED TYP. U.O.N.
- 7 STUCCO FINISH "SAND FINISH" WITH 3 COAT OF WIRE LATHE O.V.M.B. TYP. U.O.N.
- 8 EXTENDED "DECORATIVE" WALL TYP. U.O.N.
- 9 4-8x WOOD BRACKETS, BEAMS & R.R. SPACED W/ 2x8 T&G WOOD DECKING ASSEMBLY PAINTED TYP. U.O.N. NOTE: ALL MATERIAL R.S.
- 10 4-8x NEWEL POSTS W/ 3/4" TOP & BOTTOM RAIL W/ 1 1/2" BALLUSTRADE @ EQUAL SPACING 4" CLR. MAX. ENTIRE ASSEMBLY PAINTED TYP. U.O.N.
- 11 STUCCO FASCIA & SOFFIT SAND FINISH TO MATCH #7 ABOVE, TYP.
- 12 10' x 10' FOAM & FIBERGLASS STUCCO "CORBEL" ATTACHED TO BROWN COAT - "SMOOTH" PLASTER FINISH
- 13 VINYL WINDOW W/ LOW 'E' DUAL GLAZING TYP. U.O.N.
- 14 FIBERGLASS DOOR W/ LOW 'E' GLASS PAINTED, TYP. U.O.N.
- 15 FIBERGLASS TEXTURED / PAINTED SLAB DOOR.
- 16 2x WOOD BARGE BOARD PAINTED, TYP. U.O.N.
- 17 EXTERIOR METAL/PAINTED ANG. GLASS LIGHT FIXTURE TYP. U.O.N.
- 18 ALUMINUM GRILL PAINTED, TYP. U.O.N.
- 19 STUCCO "DECO" DETAIL FOAM & FIBERGLASS ATTACHED TO BROWN COAT WITH A SMOOTH PLASTER STUCCO FINISH, TYP. U.O.N.
- 20 6x BEAM R.S. W/ 4x R.R. SPACED & 2x8 R.S. T&G DECKING STAINED, TYP. U.O.N.
- 21 6x8 POST PAINTED & R.S. TYP. U.O.N.
- 22 TRELLIS: 6x8 POST W/ 6x BEAMS & 4x RAFTERS EQUALLY SPACED W/ 2x8 T&G DECKING ENTIRE ASSEMBLY R.S. & PAINTED TYP. U.O.N.
- 23 MONOLITHIC W/P MEMBRANE TYP. U.O.N.
- 24 6x 8 POST W/ 6x BEAM AND STUCCO SOFFIT FINISH, PAINT R.S. EXPOSED WOOD, TYP. U.O.N.



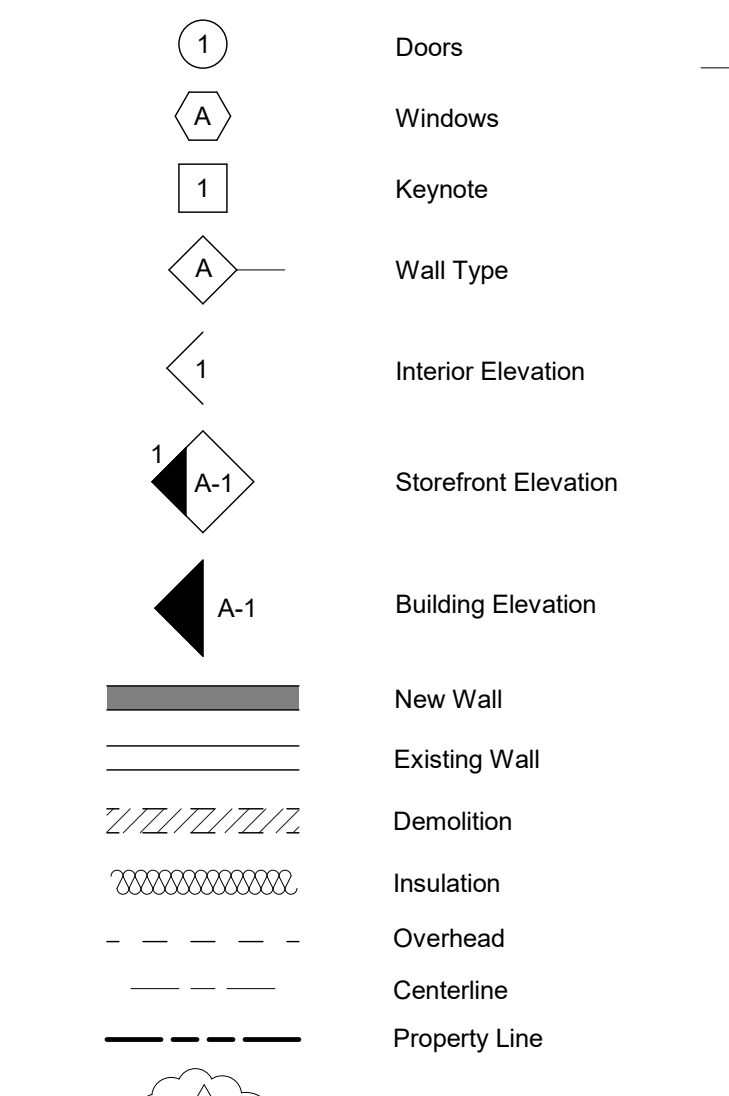
FRONT ELEVATION
 1/4" = 1'-0"

TWO STORY ELEVATIONS OF BUILDING #3 SHOWN ON SHEET AC-1, TYP.

GENERAL NOTES

1. FOR MATERIAL COLORS SEE MATERIAL BOARD.

ARCHITECTURAL LEGEND



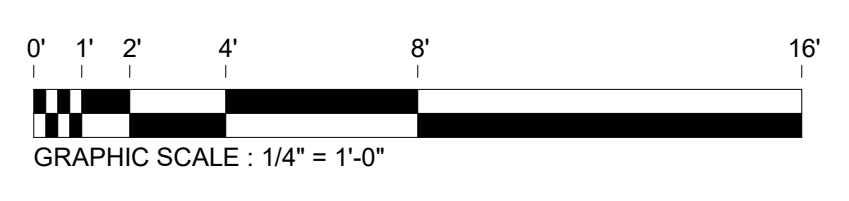
NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.



REAR ELEVATION
 1/4" = 1'-0"

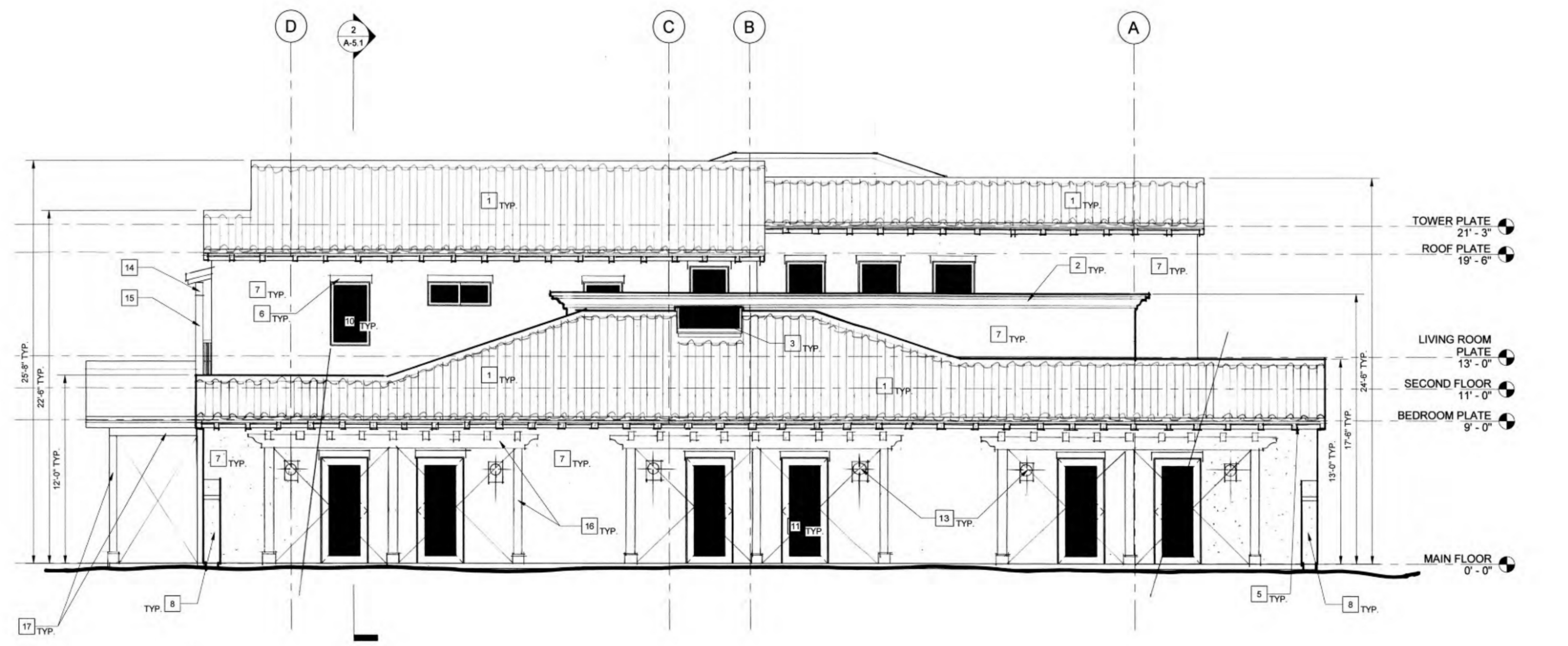
TWO STORY ELEVATIONS OF BUILDING #3 SHOWN ON SHEET AC-1, TYP.



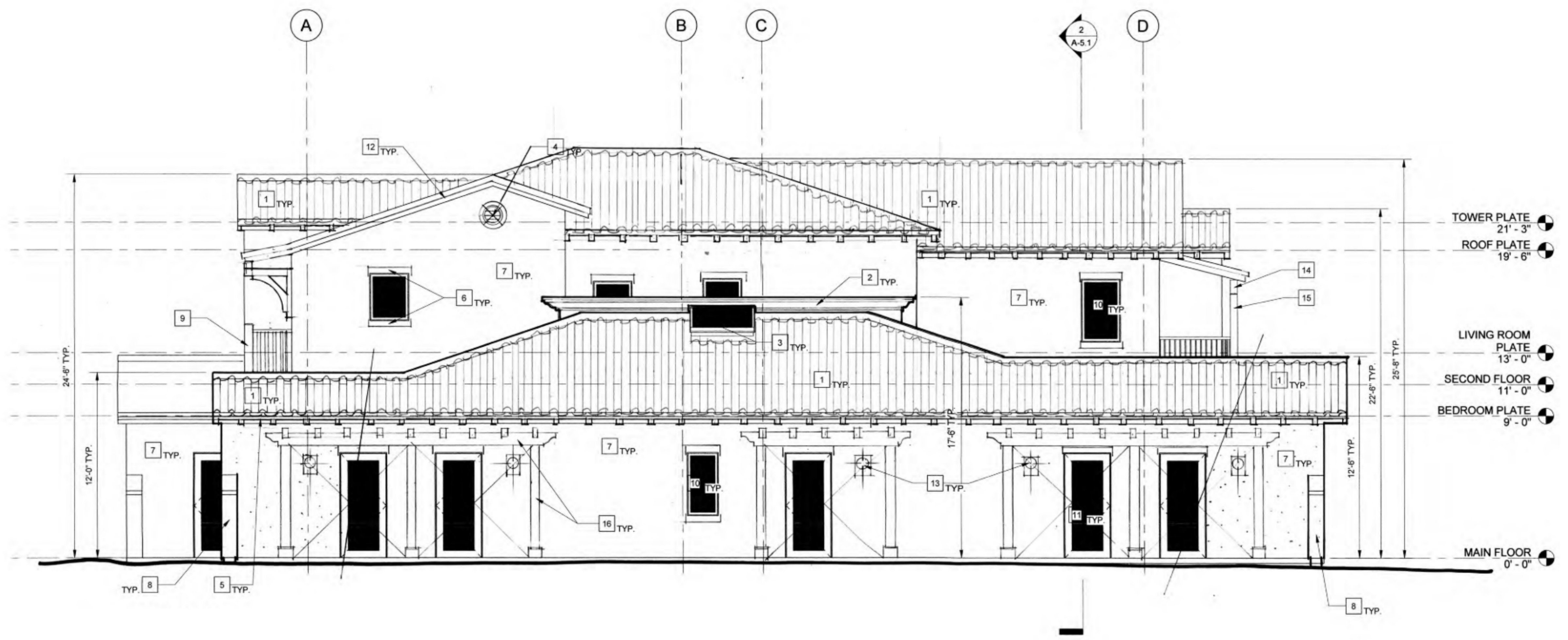
PRELIMINARY
 NOT FOR CONSTRUCTION

2525 REED ROAD
 2525 REED ROAD
 ESCONDIDO, CA 92000

Sheet No.
A-4.0



LEFT SIDE ELEVATION
1/4" = 1'-0"
TWO STORY ELEVATIONS OF BUILDING #3 SHOWN ON SHEET AC-1, TYP.



RIGHT SIDE ELEVATION
1/4" = 1'-0"
TWO STORY ELEVATIONS OF BUILDING #3 SHOWN ON SHEET AC-1, TYP.

KEYNOTES

- 1 'S' TYPE CONCRETE TILE ROOF. TYP. U.O.N.
- 2 STUCCO "OGGEE" SHAPED WALL COPING. TYP. U.O.N.
- 3 SKYLIGHT TYP. U.O.N.
- 4 RECESSED METAL VENT PAINTED TYP. U.O.N.
- 5 SOFFIT: 2x6 T&G WOOD SIDING - ROUGH SIDE DOWN WITH 4x6 RAFTER TAILS SPACED @ 24" O.C. MAX. ENTIRE ASSEMBLY TO BE PAINTED. TYP. U.O.N.
- 6 STUCCO "FOAM & FIBERGLASS" DETAIL HEAD & SILL PAINTED TYP. U.O.N.
- 7 STUCCO FINISH "SAND FINISH" WITH 3 COAT OF WIRE LATH O/ M.B. TYP. U.O.N.
- 8 EXTENDED "DECORATIVE" WALL TYP. U.O.N.
- 9 4x6 NEWEL POSTS W/ 3/4" TOP & BOTTOM RAIL W/ 1/2" BALLUSTRADE @ EQUAL SPACING 4" CLR. MAX. ENTIRE ASSEMBLY PAINTED TYP. U.O.N.
- 10 VINYL WINDOW W/ LOW 'E' DUAL GLAZING TYP. U.O.N.
- 11 FIBERGLASS DOOR W/ LOW 'E' GLASS PAINTED. TYP. U.O.N.
- 12 2x WOOD BARGE BOARD PAINTED. TYP. U.O.N.
- 13 EXTERIOR METAL PAINTED ANG. GLASS LIGHT FIXTURE TYP. U.O.N.
- 14 6x BEAM R.S. W/ 4x R.R. SPACED & 2x8 R.S. T&G DECKING STAINED. TYP. U.O.N.
- 15 6x6 POST PAINTED & R.S. TYP. U.O.N.
- 16 TRELLIS: 8x8 POST W/ 6x BEAMS & 4x RAFTERS EQUALLY SPACED W/ 2x8 T&G DECKING. ENTIRE ASSEMBLY R.S. & PAINTED TYP. U.O.N.
- 17 6x 8 POST W/ 6x BEAM AND STUCCO SOFFIT FINISH. PAINT R.S. EXPOSED WOOD. TYP. U.O.N.

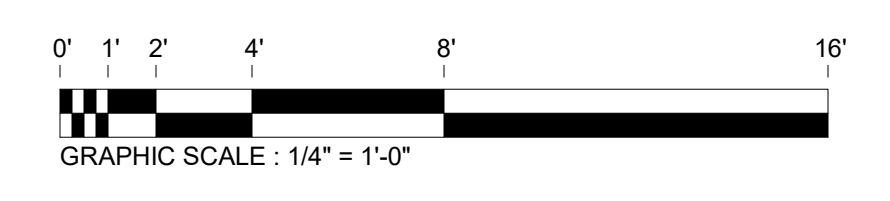
GENERAL NOTES

1. FOR MATERIAL COLORS SEE MATERIAL BOARD.

ARCHITECTURAL LEGEND

- 1 Doors
- A Windows
- 1 Keynote
- A Wall Type
- 1 Interior Elevation
- A-1 Storefront Elevation
- A-1 Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- 1 Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.



PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature _____ Date _____

Resolution No. 2023-103 Exhibit "B" Page 13 of 23 Item 11

BGI ARCHITECTURE
Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com

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2525 REED ROAD
2525 REED ROAD
ESCONDIDO, CA 92000

REVISIONS	By

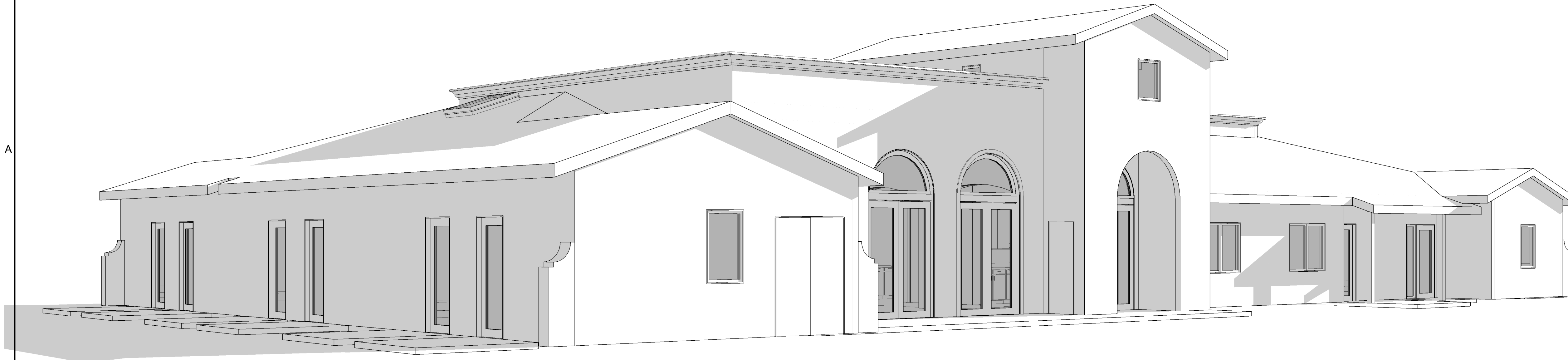
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Job No.: 1908
Sheet Name: TWO STORY - ELEVATIONS
Sheet No.: **A-4.1**

A

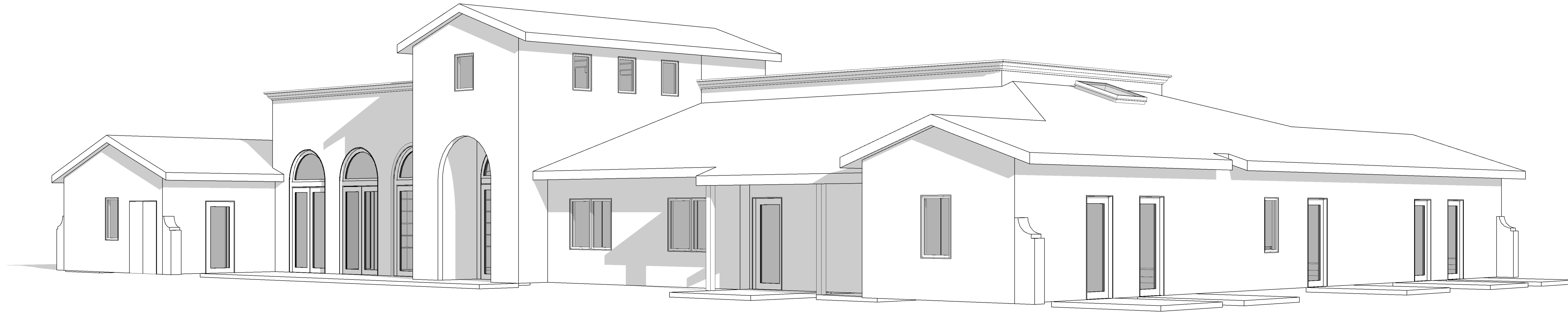
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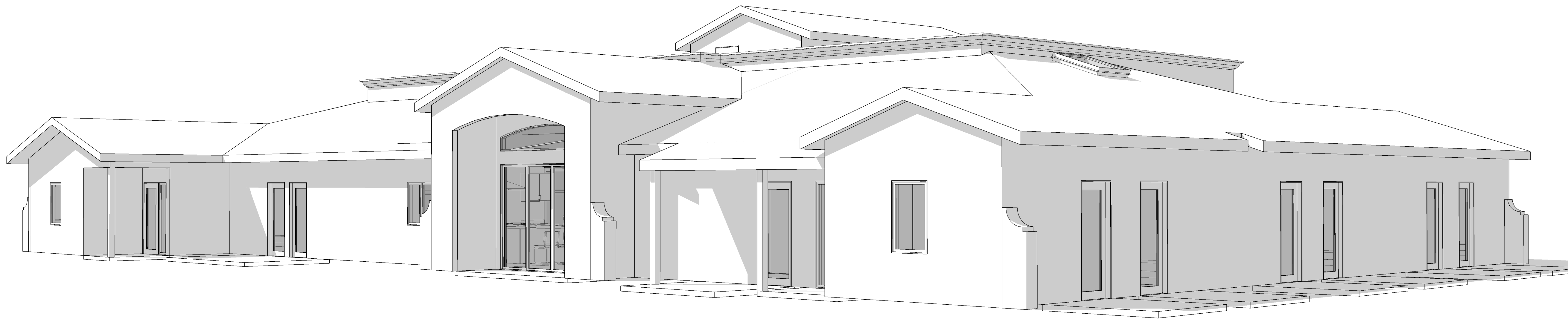
D



PERSPECTIVE - LEFT FRONT



PERSPECTIVE - RIGHT FRONT



PERSPECTIVE - LEFT REAR



PERSPECTIVE - RIGHT REAR

PRELIMINARY
NOT FOR CONSTRUCTION

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Signature _____ Date _____



ARCHITECTURE | DESIGN

BGI ARCHITECTURE

Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com



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2525 REED ROAD ASSISTED LIVING FACILITY

2525 REED ROAD
ESCONDIDO, CA 92000

REVISIONS	By

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Drawn By: BPB
Job No.: 1908
Sheet Name:
ONE STORY - PERSPECTIVES

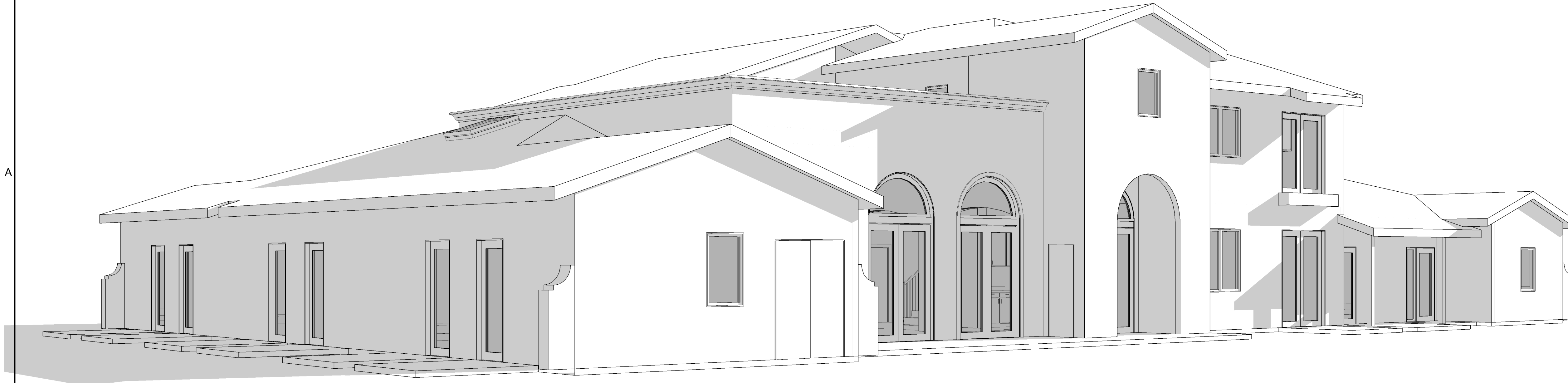
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AP-1

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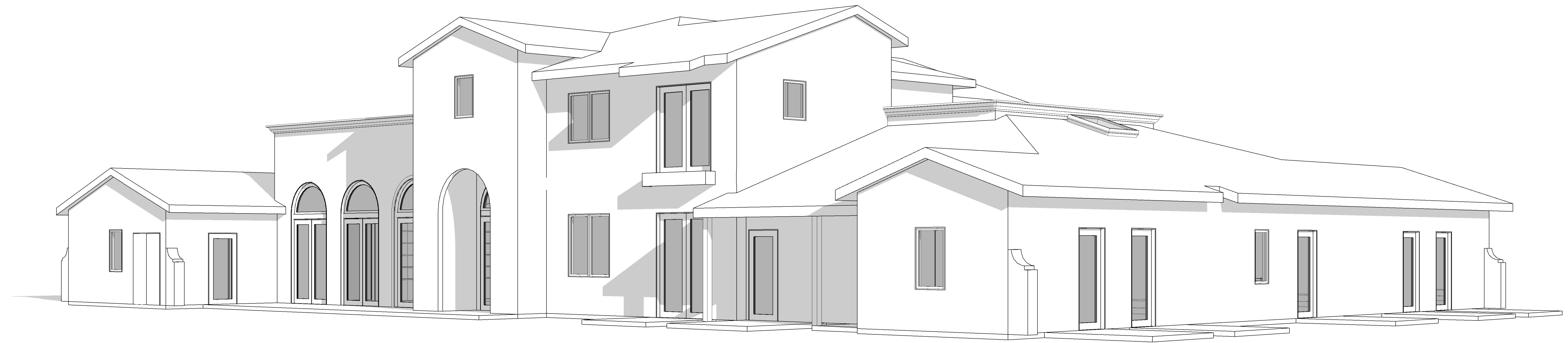
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C

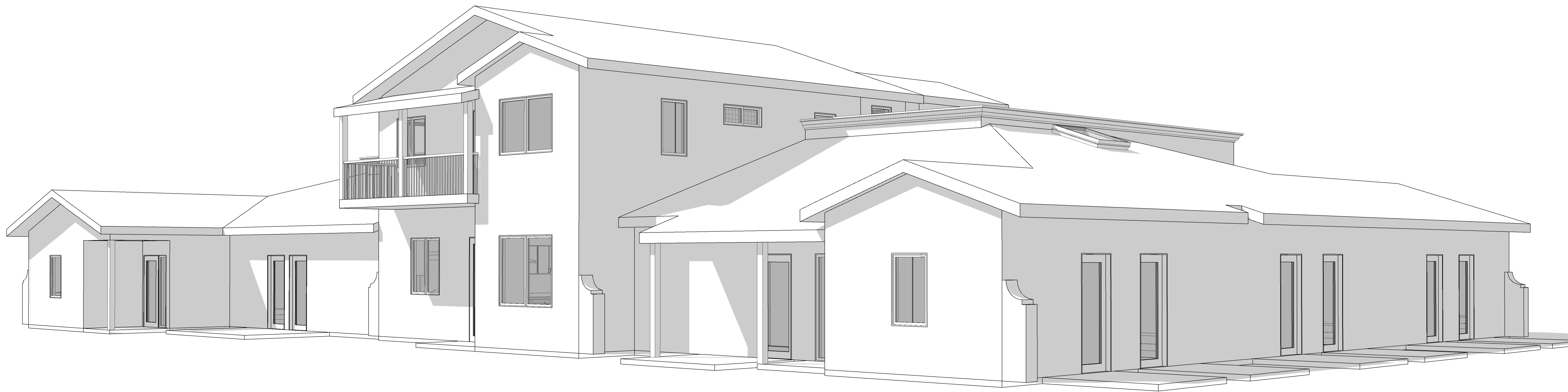
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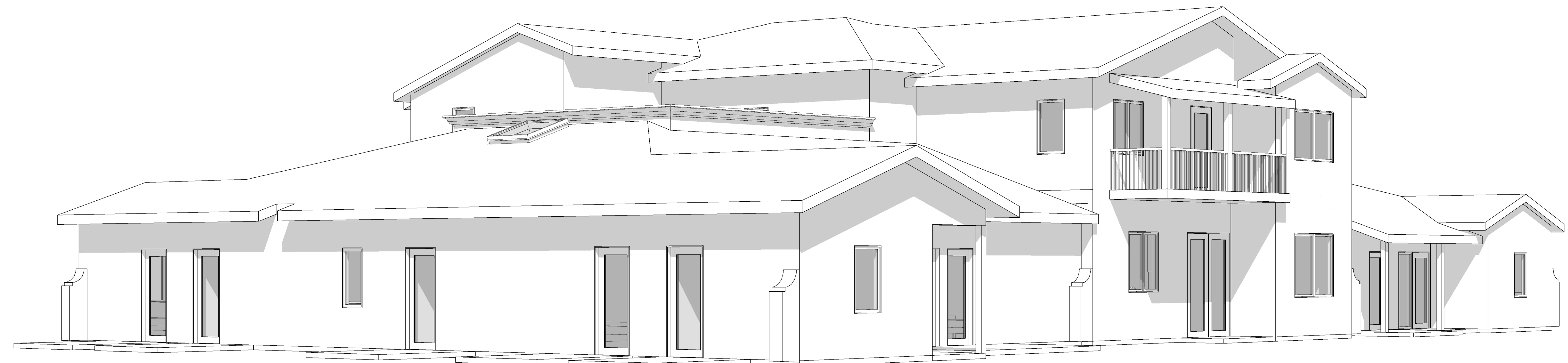
PERSPECTIVE - LEFT FRONT



PERSPECTIVE - RIGHT FRONT



PERSPECTIVE - LEFT REAR



PERSPECTIVE - RIGHT REAR



ARCHITECTURE | DESIGN

BGI ARCHITECTURE

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2525 REED ROAD
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ESCONDIDO, CA 92000

REVISIONS	By

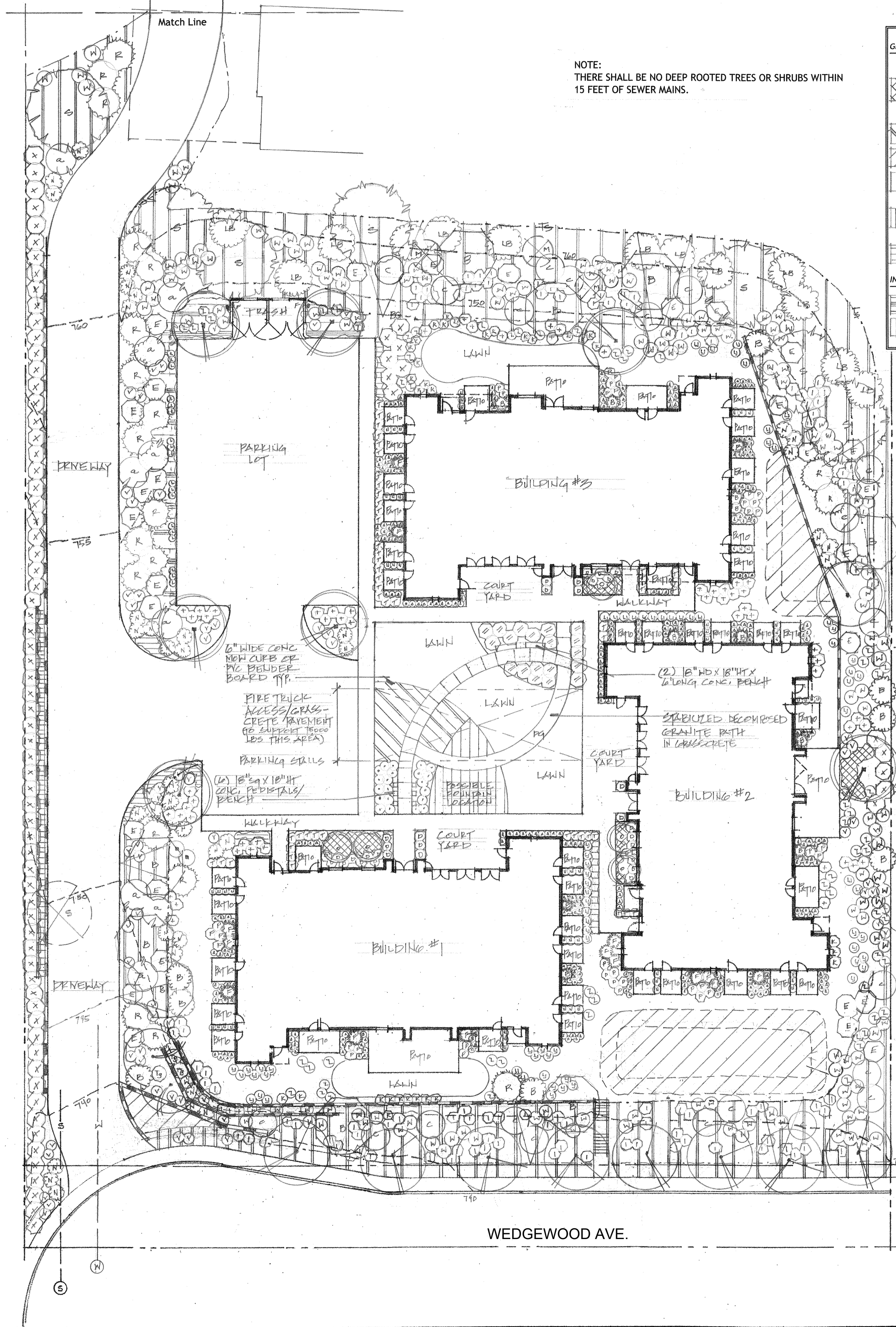
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Drawn By: BPB
Job No.: 1908

Sheet Name:
TWO STORY - PERSPECTIVES

Sheet No.:
AP-2

PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.
Signature _____ Date _____



GROUND COVERS

	Aloe 'Pink Fairy' or Festuca idahoensis 'Siskiyou Blue'	Pink Fairy Aloe / Siskiyou Blue Fescue	24" OC	1 Gal.
	Dymondia margaretae	NCN	3" OC	Flats
	Juncus patens 'Elk Blue'	Elk Blue Rush	24" OC	5 Gal.
	Marathon II	Turf	as shown	Sod
	Myoporum parvifolium 'Pinkie' or Hydroseed - to be selected	NCN	8" OC	Flats
	Senecio serpens	Dwarf Blue Senecio	12" OC	Cuttings

INERT GROUND COVERS

	Cobble - color to be selected		3"-6" dia.	
	Gravel - color to be selected		1/4"-1" dia.	

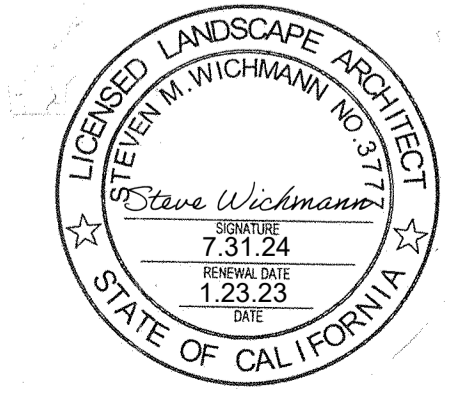
EXISTING PLANT LEGEND

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE
EXISTING STREET TREES to remain (Reed Rd.) - Not mature, not protected				
	Albizia julibrissin	Silk Floss Tree	2	10' ht x 10' spd x 8" cal.
EXISTING TREE to be removed - Mature, not protected / replaced on site 1:1				
	Schinus molle	California Pepper	1	30' ht x 25' wd x 18" cal.
EXISTING PALMS to be removed - Not mature & not protected				
	Washingtonia robusta	Mexican Fan Palm	3	less than 4' bth

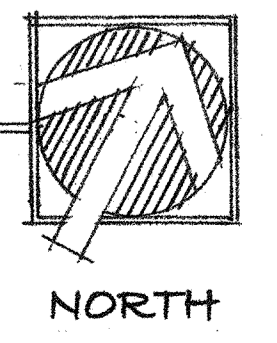
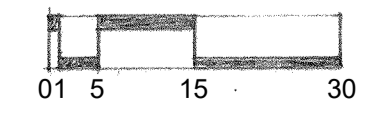
Note:
One single existing mature non-protected tree to be removed, Schinus molle/California Pepper, is replaced on site with one of seven 15 Gal Schinus molle

PLANT LEGEND

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE
TREES				
	Acacia baileyana	Bailey Acacia	11	15 Gal.
	Agonis flexuosa	Peppermint Tree	14	15 Gal.
	Arbutus unedo	Strawberry Tree	8	24" Box
	Cercis occidentalis	Western RedBud	21	15 Gal.
	Prunus cerasifera 'Krauter Vesuvius' or Lagerstroemia indica 'Muskogee'	Krauter Vesuvius Purpleleaf Plum or Muskogee Crape Myrtle - multi	6	24" box
	Schinus molle	California Pepper	7	15 Gal.
PALMS				
	Phoenix dactylifera	Date Palm	2	8', 10' bth
SHRUBS				
	Acacia redolens 'Low Boy'	Low Boy Acacia	14	5 Gal.
	Agapanthus 'Storm Cloud'	Storm Cloud Agapanthus	240	1 Gal.
	Agave attenuata	Soft Tail Agave	50	5 Gal.
	Anigozanthos hybrida	Hybrid Kangaroo Paw	30	1 Gal.
	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	70	15 Gal.
	Bougainvillea 'San Diego'	San Diego Bougainvillea	0	5 Gal.
	Callistemon 'Little John'	Dwarf Bottlebrush	70	5 Gal.
	Cistus x purpureus	Orchid Rockrose	110	1 Gal.
	Dianella tasmanica 'Variegata'	Variegated Flax Lily	33	5 Gal.
	Echium candicans	Pride of Madeira	24	5 Gal.
	Furcraea foetida 'Mediopicta'	Variegated Furcraea	9	15 Gal.
	Hesperaloe parviflora 'Braketlight'	Braketlight Red Yucca	18	1 Gal.
	Ilex vomitoria 'Stokes'	Yaupon Holly	57	5 Gal.
	Lantana 'New Gold'	New Gold Lantana	37	1 Gal.
	Leonotis leonurus	Lion's Tail	4	5 Gal.
	Ligustrum japonicum 'Texanum'	Texas Privet	48	5 Gal.
	Muhlenbergia capillaris 'Regal Mist'	Regal Mist Pink Muhly	15	5 Gal.
	Phormium 'Guardman'	Guardsman Flax	13	15 Gal.
	Pittosporum tobira 'Cream De Mint'	Dwarf Variegated Mock Orange	35	5 Gal.
	Rhamphilepis umbellata 'Minor'	Indian Hawthorn	57	5 Gal.
	Rosmarinus officinalis 'Irene'	Irene Rosemary	21	1 Gal.
	Salvia 'Heatwave Blaze'	Heatwave Blaze Salvia	21	1 Gal.
	Salvia leucantha 'Santa Barbara'	Santa Barbara Mexican Bush Sage	61	1 Gal.
	Strelitzia reginae	Bird of Paradise	11	15 Gal.
	Tagetes lemmonii	Copper Canyon Daisy	3	5 Gal.
	Westringia fruticosa 'Wynygabbie Gem'	Wynygabbie Gem Coast Rosemary	135	5 Gal.
VINES/ESPALIER				
	Bougainvillea or Ficus pumila or Macradyena unguis-cati	Bougainvillea or Creeping Fig or Cats Claw Vine	2	5 Gal.



LANDSCAPE PLAN
Scale: 1" = 20' - 0"

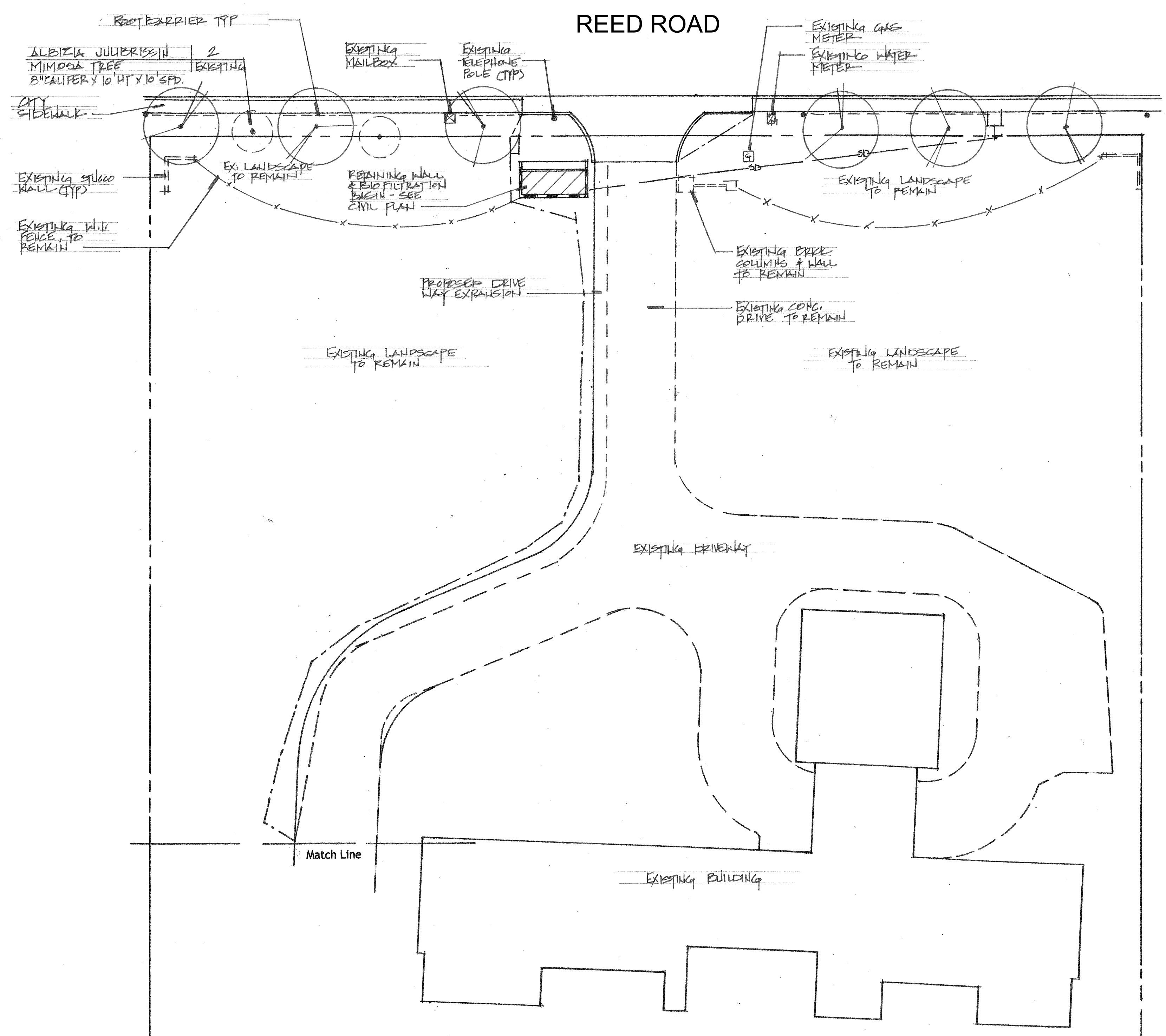


2525 REED ROAD
2525 Reed Road
Escomado, CA 92027-4218

WICHMANN
LANDSCAPE ARCHITECTURE
1405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6751
858-459-9220

Date	5/1/20	Job #	2525
Drawn By	SM	Client	2525 REED ROAD
Checked By	SM	Project	2525 REED ROAD
Reviewed By	SM	Contract	2525 REED ROAD
Scale	1" = 20'	Sheet	L-1

Sheet
L-1
of TWO



PLANTING NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF ESCONDIDO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- PREPARE ALL PLANTING AREAS AS FOLLOWS, ALL QUANTITIES ARE BASED ON 1000 SQ. FT.: SCARIFY EXISTING SOIL TO A DEPTH OF 8"; REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPSUM, 10 LBS. IRON SULPHATE, 50 LBS. TRI-C HUMATE AND 15 LBS. 6-20-20 FERTILIZER (EXCLUDING SLOPES EQUAL TO OR GREATER THAN 2:1). ROTOTIL IN TWO DIRECTIONS ALL AMENDMENTS INTO THE TOP 8" OF EXISTING SOIL, RAKE TO GRADE AND IRRIGATE THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN A SOILS ANALYSIS TEST WITH AT LEAST TWO SOIL SAMPLES OF FINAL ROUGH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATION. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TESTING KITS ARE AVAILABLE BY CALLING 1-800-927-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION BID TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ ROUND-UP. WAIT TWO WEEKS MIN. AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED ERADICATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE- OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- ALL TREES AND SHRUBS NOTED TO REMAIN SHALL BE SELECTIVELY PRUNED AND LACED OUT.
- CONTRACTOR SHALL MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN HEALTHY CONDITION FOR THE DURATION OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATERING, FERTILIZING AND PRUNING.
- GROUND COVER IS NOT SHOWN UNDER SHRUBS AND SMALLER TREES FOR GRAPHIC CLARITY. GROUND COVERS ARE TO CONTINUE TO DRIPLINE (AT TIME OF PLANTING) OF ALL SHRUBS AND TO BASE OF TRUNK ON TREES.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES. MULCH SHALL BE 1 1/2" MINUS FOREST FINES FROM AGRISERVICE OR APPROVED EQUAL, 760-295-6255.
- FINISH GRADE SHALL BE A MAXIMUM OF 2" BELOW ADJACENT HARDSCAPE.
- TRAIN AND FAN OUT ALL VINES ON WALLS, TRELLISES ETC. W/ DEXTOL STICK AND TIE AS REQUIRED. REMOVE ALL CONTAINER STAKES.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTORS COST.
- ANY PLANT SUBSTITUTION MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR, INCLUDING GROUND COVER.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS; THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM ONCE A WEEK MAINTENANCE SERVICE FOR A PERIOD OF 90 DAYS (MINIMUM 12 SERVICE DAYS OVERALL) BEGINNING THE FIRST DAY AFTER FINAL APPROVAL OF INSTALLATION AS DETERMINED BY CLIENT AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL RECEIVE NOTICE OF SIGNIFICANT CONFORMANCE FROM LANDSCAPE ARCHITECT ONCE SITE IS DEEMED ACCEPTABLE.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- PLANT QUANTITIES ARE FOR CONVENIENCE PURPOSES ONLY. LANDSCAPE CONTRACTOR TO VERIFY PLANT COUNTS AND SUPPLY QUANTITY OF PLANT MATERIAL TO IMPLEMENT THE INTENT OF THE DESIGN AS SHOWN.
- ALL MANUFACTURED SLOPE AREAS SHALL BE COVERED, WITHIN THIRTY (30) DAYS OF COMPLETION OF GRADING, WITH PLANT MATERIAL, STRAW MULCH, JUTE NETTING OR OTHER APPROVED MATERIAL FOR EROSION CONTROL.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- MINIMUM TREES SEPARATION DISTANCE:
TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
UNDERGROUND UTILITIES LINES - 5 FEET (8 FEET FOR SEWER)
METER BOX - 3 FEET
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 8 FEET
INTERSECTION (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- OWNER TO VERIFY AND STAKE PROPERTY LINES. NO DEMOLITION, CONSTRUCTION OR PLANTING SHALL OCCUR OUTSIDE PROPERTY LINES WITHOUT THE PRIOR CONSENT OF THE ADJACENT PROPERTY OWNER.
- OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING. PLANT MATERIAL SHALL BE WATERED PERIODICALLY AT SUCH TIME JUST PRIOR TO LEAF WILTING. ADJUST WATERING TO ACCOMMODATE FOR VARIATIONS IN RAIN FALL, TEMPERATURE, SOLAR EXPOSURE AND SEASONAL CHANGES FOR EACH PLANT.
- OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS TOWARDS SUBSURFACE DRAINAGE OR OFF SITE STORM DRAIN SYSTEMS AT A MINIMUM OF 2% SLOPE.

29. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

30. CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ALL CONSTRUCTION WITHIN THE BOUNDS OF THE PROPERTY.

31. THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. WICHMANN LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.

32. CONTRACTOR SHALL TAG AND PHOTOGRAPHY ALL SELECTED TREES AND SPECIMEN PLANTS AT THE NURSERY. PHOTOGRAPHS OF TAGGED TREES AND SPECIMEN PLANTS SHALL BE SUPPLIED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANT MATERIAL BEING SHIPPED AND OR PICKED-UP FROM NURSERY.

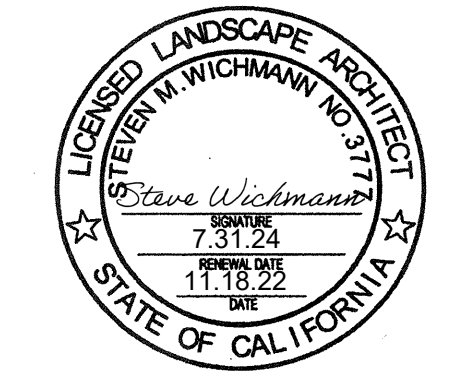
24. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY

25. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 6 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. INSTALL A 24 INCH DEEP "DEEP ROOT" ROOT BARRIER #UB 24-2 PER MANUFACTURERS SPECIFICATIONS. THE ROOT BARRIER WILL BE INSTALLED LINEARLY ALONG THE EDGE OF HARDSCAPE FOR A MINIMUM DISTANCE OF TEN (10) FEET IN BOTH DIRECTIONS FROM THE CENTER LINE OF TREE TRUNK FOR A MINIMUM TOTAL LENGTH OF TWENTY (20) FEET.

26. MAINTENANCE PERIOD BEGINS ON THE FIRST DAY AFTER ALL LANDSCAPE AND IRRIGATION WORK ON THE PROJECT IS COMPLETE, CHECKED AND WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT IS GIVEN TO BEGIN THE MAINTENANCE PERIOD.

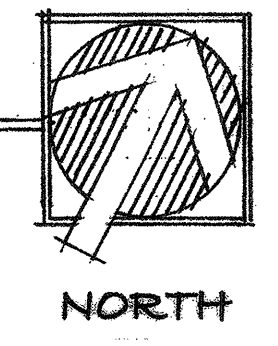
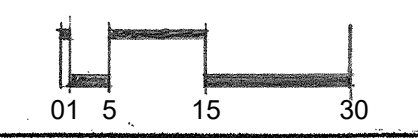
27. POST FERTILIZATION FOR ALL PLANTING AREAS (16-6-8) SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.

28. CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ANY AND ALL WORK WITHIN THE RIGHT OF WAY (OUTSIDE THE PROPERTY LINES).



PLANTING PLAN

Scale: 1" = 20' - 0"



2525 REED ROAD
 2525 Reed Road
 Escondido, CA 92027-4218

WICHMANN
 LANDSCAPE ARCHITECTURE
 105 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6751
 858-459-9220

Date	12.16.23	Job #	C-2021
Drawn By	SJK		
Revisions			
	10.11.22	AS	Revised

Sheet
L-2
of TWO

EXHIBIT "C"

PLANNING CASE NOS. PHG20-0033/PL22-0216

FACTORS TO BE CONSIDERED / FINDINGS OF FACT

Environmental Determinations:

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) ("CEQA"), and its implementing regulations (14 C.C.R. § 15000 et seq.) ("CEQA Guidelines"), the City of Escondido ("City") is the Lead Agency for the project ("Project"), as the public agency with the principal responsibility for approving the Project.
2. The Project qualifies for an exemption from further environmental review pursuant to CEQA Guidelines section 15332 (In-Fill Development Projects) because such categorical exemption applies to proposed developments within city limits on sites of no more than five acres substantially surrounded by urban uses, where the site has no habitat value for special status species, can be adequately served by all required utilities and public services, and the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (CEQA Guidelines § 15332(b)-(e)). Technical studies were requested by the Planning Division to substantiate the categorical exemption as applied to the Project. The proposed Project meets the following criteria:
 - a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
 - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
 - c. The project site has no value as habitat for endangered, rare or threatened species.
 - d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
 - e. The site can be adequately served by all required utilities and public services

The Project also does not trigger any exceptions to the categorical exemption as listed in CEQA Guidelines section 15300.2.

3. The City Council has independently considered the full administrative record before it, which includes but is not limited to the August 16, 2023, City Council Staff Report; testimony by staff and the public; and other materials and evidence submitted or provided to it. The administrative record demonstrates that each of the above requirements have been satisfied. No substantial evidence has been submitted that would support a finding that any of the above-described exemption requirements has not been satisfied. The Project will not have a significant effect on the environment, and all of the requirements of CEQA have been met.

Plot Plan Findings (Escondido Zoning Code Section 33-1316)

1. *That the use is a permitted use in the zone in which it is located.*

The Project is located within the Residential Estate (RE-20) zoning district. This zoning district allows for Licensed Residential Care Facilities and group quarters for 7 or more persons subject to review and approval of a Conditional Use Permit. The use is a conditionally permitted use within this zoning district as indicated on the land use matrix for residential zones.

2. *That the plot plan is granted subject to such conditions as deemed necessary to meet the standards of the use and zone in which it is located and to comply with applicable design standards.*

The Project is consistent with the standards of the underlying zone, and is conditioned to the meet the standards of the use. The Project is designed to appear as a single-family residence, and would be consistent with surrounding residential uses.

3. *That the plot plan is granted subject to such additional conditions as deemed necessary and desirable to preserve the public health, safety and general welfare.*

The Project is subject to conditions of approval that will ensure consistency with all standard requirements.

Conditional Use Permit Findings (Escondido Zoning Code Section 33-1203)

1. *A conditional use permit should be granted upon sound principles of land use and in response to services required by the community.*

The Project is located within the Residential Estate (RE-20) zoning district in the City's Zoning Ordinance, and within the Estate II (E2) General Plan land use designation. Licensed Residential Care Facilities are a conditionally permitted use within this zoning district. The Project would provide a service for a subset of the community that requires assistance living with dementia, and would allow for this community to continue living in the City of Escondido.

2. *A conditional use permit should not be granted if it will cause deterioration of bordering land uses or create special problems for the area in which it is located.*

The Project is located in a residential area and is surrounded by residential development on all sides. Access to the project site is provided on Reed Road and Wedgewood Avenue; however, it is likely that a majority of vehicle traffic will enter the site from Wedgewood Avenue. The Project is designed to reduce impacts to adjacent properties through the use of landscaping for screening, and the siting of buildings on site. The proposed buildings are consistent with the allowable height of the underlying zoning district, and would be similar in massing and height to buildings located on adjacent properties.

3. *A conditional use permit must be considered in relationship to its effect on the community or neighborhood plan for the area in which it is to be located.*

The proposed use at the location requested will not adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; and will not have a substantial adverse effect on abutting property or the allowed use of the abutting property, which means that the use will

not generate excessive noise, traffic, vibration, or other disturbance. Furthermore, the project is subject to conditions of approval that will ensure consistency with all standard requirements.

Grading Exemption (Escondido Zoning Code Section 33-1066)

1. The Project includes fill slopes up to ten feet (10') within fifty feet (50') of a property line, and cut slopes steeper than 2:1. Based on a supplemental memo to the preliminary geotechnical evaluation, the 1.5:1 cut slope may be further stabilized through recommendations outlined in the memo. The proposed slopes would be an improvement to the existing use of the site which was a "borrow/material" site for the development of an adjacent neighborhood. The steep slopes would be screened by the placement of the buildings; furthermore, the slopes allow for the paving and vehicle parking area to be screened from public review thus reducing visual impacts to surrounding properties. The Project would not be feasible were it not for the proposed grading design as there is a twenty-five foot (25') change in elevation from north to south while there is a fourteen foot (14') change in elevation from east to west. Alternatives were considered such as terracing the grade, and created a single flat grade; however, both alternatives would have created smaller buildings and less usable landscaped area or would require taller buildings due to the reduced useable area of the lot. Detailed plans and technical reports will be reviewed by the City as part of the grading permit submittal to ensure that the information contained in the preliminary geotechnical report is adequately incorporated into the final design, and all slopes would be landscaped in according with the zoning code.

EXHIBIT "D"

PLANNING CASE NOS. PHG20-0033/PL22-0216

CONDITIONS OF APPROVAL

This Project is conditionally approved as set forth on the application received by the City of Escondido on **May 06, 2020** and the Project drawings consisting of Site Plans, Floor Plans, Sections, Architectural Elevations, Civil Sheets/Grading, Landscape Plans and Colored Elevations; all designated **as approved on August 16, 2023**, and shall not be altered without express authorization by the Development Service Department.

For the purpose of these conditions, the term "Applicant" shall also include the Project proponent, owner, permittee, and the Applicant's successors in interest, as may be applicable.

A. General:

1. **Acceptance of Permit.** If the Applicant fails to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
 - a. Acceptance of the Permit by the Applicant; and
 - b. Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Project Permit or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Permit.
2. **Permit Expiration.** If the Permit was filed as or concurrent with a Tentative Map or Planned Development application, the Permit shall expire 36 months from the effective date of approval, unless additional time is granted pursuant to the Map Act or to the Escondido Municipal Code. If not filed as concurrent with a Tentative Map or Planned Development application, the Permit shall automatically expire after one year from the date of this approval, or the expiration date of any extension granted in accordance with the Escondido Municipal Code and Zoning Code.

The Permit shall be deemed expired if a building permit has not been obtained or work has been discontinued in the reliance of that building permit. If no building permits are required, the City may require a noticed hearing to be scheduled before the authorized agency to determine if there has been demonstrated a good faith intent to proceed, pursuant to and in accordance with the provision of this Permit.

- 3. Certification.** The Director of Development Services, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Project drawings and any other relevant document comprising the Project in its entirety, as necessary to make them internally consistent and in conformity with the final action on the Project. This includes amending the Project drawings as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. A final Approved Plan set, shall be submitted to the Planning Division for certification electronically. Said plans must be certified by the Planning Division prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.

- 4. Conformance to Approved Plans.**

 - a.** The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated with the Approved Plan set.
 - b.** Nothing in this Permit shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this Permit.
 - c.** Once a permit has been issued, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the Director of Development Services to be in substantial conformity with the Approved Plan set, including all exhibits and Permit conditions attached hereto. Modifications beyond the scope described in the Approved Plan set may require submittal of an amendment to the Permit and approval by the authorized agency.

- 5. Limitations on Use.** Prior to any use of the Project site pursuant to this Permit, all Conditions of Approval contained herein shall be completed or secured to the satisfaction of the Development Services Department.

- 6. Certificate of Occupancy.**

 - a.** No change in the character of occupancy or change to a different group of occupancies as described by the Building Code shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required, and any such change in occupancy must comply with all other applicable local and state laws.
 - b.** Prior to final occupancy, a Planning Final Inspection shall be completed to ensure that the property is in full compliance with the Permit terms and conditions. The findings of the inspection shall be documented on a form and content satisfactory to the Director of Development Services.

7. Availability of Permit Conditions.

- a. Prior to grading permit issuance, the Applicant shall cause a covenant regarding real property to be recorded that sets forth the terms and conditions of this Permit approval and shall be of a form and content satisfactory to the Director of Development Services.
- b. The Applicant shall make a copy of the terms conditions of this Permit readily available to any member of the public or City staff upon request. Said terms and conditions shall be printed on any construction plans that are submitted to the Building Division for plan check processing.

8. Right to Entry. The holder of this Permit shall make the premises available for inspection by City staff during construction or operating hours and allow the investigations of property necessary to ensure that minimum codes, regulations, local ordinances and safety requirements are properly followed. The Applicant shall provide such business records, licenses, and other materials necessary upon request to provide evidence of compliance with the conditions of approval, as well as federal, state, or laws.

9. Compliance with Federal, State, and Local Laws. Nothing in this Permit shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this permit. (Permits from other agencies may be required as specified in the Permit's Details of Request.) This Permit does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this Permit's approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. **During** Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this Permit is conducted in full compliance with all local and state laws.

10. Fees. The appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Development Services. Through plan check processing, the Applicant shall pay development fees at the established rate. Such fees may include, but not be limited to: Permit and Plan Checking Fees, Water and Sewer Service Fees, School Fees, Traffic Mitigation Fees, Flood Control Mitigation Fees, Park Mitigation Fees, Fire Mitigation/Cost Recovery Fees, and other fees listed in the Fee Schedule, which may be amended. Arrangements to pay these fees shall be made prior to building permit issuance to the satisfaction of the Development Services Department.

Approval of this development project is conditioned upon payment of all applicable development fees and connection fees in the manner provided in Chapter 6 of the Escondido Municipal Code.

11. Public Art Partnership Program. All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to any building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.

12. Clerk Recording.

- a. **Exemption.** If the environmental determination prepared for the Project is a categorical exemption, the City of Escondido hereby notifies the Applicant that the County Clerk's Office requires a documentary handling fee of \$50 in order to file a Notice of Exemption. In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Guidelines section 15062, the Applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the Project (the final approval being the date of this letter) a certified check payable to the "County Clerk" in the amount of \$50. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the Project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.
- b. For more information on filing fees, please refer to the County Clerk's Office and/or the California Code of Regulations, Title 14, Section 753.5.

13. Legal Description Adequacy. The legal description attached to the application has been provided by the Applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.

14. Application Accuracy. The information contained in the application and all attached materials are assumed to be correct, true, and complete. The City of Escondido is relying on the accuracy of this information and Project-related representations in order to process this application. Any permits issued by the City may be rescinded if it is determined that the information and materials submitted are not true and correct. The Applicant may be liable for any costs associated with rescission of such permits.

15. Revocation, Suspension, Modification. At any time after Project implementation, the City may require a noticed public hearing to be scheduled before the Planning Commission to determine if there has been demonstrated a good faith intent to proceed in reliance on this approval. This item may be referred to the appropriate decision-making body upon recommendation of the

Director of Development Services for review and possible revocation or modification of the Permit regarding non-compliance with the Conditions of Approval.

This Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing, and after the following findings are fully investigated:

- a. A violation of any term or condition not abated, corrected or rectified within the time specified on the notice of violation; or
- b. A violation of any City ordinance, state law, or federal law not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates or constitutes a nuisance.

16. Indemnification, Hold Harmless, Duty to Defend.

- a. The Applicant shall indemnify, hold harmless, and defend (with counsel reasonably acceptable to the City) the City, its Councilmembers, Planning Commissioners, boards, commissions, departments, officials, officers, agents, employees, and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, at law or in equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with (i) any business, work, conduct, act, omission, or negligence of the Applicant or the owner of the Property (including the Applicant's or the owner of the Property's contractors, subcontractors, licensees, sublessees, invitees, agents, consultants, employees, or volunteers), or such activity of any other person that is permitted by the Applicant or owner of the Property, occurring in, on, about, or adjacent to the Property; (ii) any use of the Property, or any accident, injury, death, or damage to any person or property occurring in, on, or about the Property; or (iii) any default in the performance of any obligation of the Applicant or the owner of the Property to be performed pursuant to any condition of approval for the Project or agreement related to the Project, or any such claim, action, or proceeding brought thereon. Provided, however, that the Applicant shall have no obligation to indemnify, hold harmless, or defend the City as to any Claims that arise from the sole negligence or willful misconduct of the City. In the event any such Claims are brought against the City, the Applicant, upon receiving notice from the City, shall defend the same at its sole expense by counsel reasonably acceptable to the City and shall indemnify the City for any and all

administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City).

- b.** The Applicant further and separately agrees to and shall indemnify, hold harmless, and defend the City (including all Indemnified Parties) from and against any and all Claims brought by any third party to challenge the Project or its approval by the City, including but not limited to any Claims related to the Project's environmental determinations or environmental review documents, or any other action taken by the City regarding environmental clearance for the Project or any of the Project approvals. Such indemnification shall include the Applicant's payment for any and all administrative and litigation costs and expenses incurred by the City in defending against any such Claims, including payment for all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City and the Project).
- c.** The City, in its sole discretion and upon providing notice to the Applicant, may require the Applicant to deposit with the City an amount estimated to cover costs, expenses, and fees (including attorney's fees) required to be paid by the Applicant in relation to any Claims referenced herein, which shall be placed into a deposit account from which the City may draw as such costs, expenses, and fees are incurred. Within 14 days after receiving written notice from the City, the Applicant shall replenish the deposit account in the amount the City determines is necessary in the context of the further defense of such Claims. To the extent such deposit is required by the City, the amount of such deposit and related terms and obligations shall be expressed in a written Deposit Account Agreement, subject to the City Attorney's approval as to form. The City, in its sole and reasonable discretion, shall determine the amount of any initial deposits or subsequent deposits of funds, and the Applicant may provide documentation or information for the City to consider in making its determinations. Nothing within this subsection shall be construed as to relieve the Applicant's obligations to indemnify, hold harmless, or defend the City as otherwise stated herein.

17. Phasing. A phasing plan shall be submitted for all projects which include more than one building. The phasing plan shall identify the order in which all on- and off-site improvements will be installed, including triggers for improvements resulting from mitigation measures placed on the project through the environmental review process or required for General Plan conformance. The plan shall also identify the order in which structures will be built and occupied, the location of

construction fencing at each phase of construction, and any other means necessary to prevent conflicts between construction traffic and users of the occupied buildings. The phasing plan shall be approved by the City Planner, Building Official, City Engineer and Fire Marshal prior to the issuance of a grading permit for the project. The phasing plan shall not be modified without written consent from the City of Escondido.

B. Construction, Maintenance, and Operation Obligations:

18. Code Requirements. All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code, California Building Code; and the requirements of the Planning Division, Engineering Services Department, Director of Development Services, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of this Permit request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.

As a condition of receiving the land use approvals specified herein, Applicant shall maintain the property subject to the approvals in compliance with all applicable city codes governing the condition or appearance of property. In addition to compliance with such basic standards, the property subject to these approvals shall also be maintained free of trash, plant debris, weeds, and concrete (other than existing foundations and permanent structures). Any signs placed on the property advertising such property for sale or rent shall be in accordance with applicable laws, and be kept clean, in like-new condition, and free from fading and graffiti at all times. This condition shall be applicable from the date the land use is approved. The failure to comply with this condition shall subject the approvals specified herein to revocation for failure to comply.

19. Agency License and Permitting. In order to make certain on- or off-site improvements associated with the Approved Plan set, the Permit request may require review and clearance from other agencies. Nothing in these Conditions of Approval shall be construed as to waive compliance with other government agency regulations or to obtain permits from other agencies to make certain on- or off-site improvements prior to Final Map recordation, grading permit issuance, building permit issuance, or certificate of occupancy as required. This review may result in conditions determined by the reviewing agency.

At all times during the effective period of this Permit, the Applicant and any affiliated responsible party shall obtain and maintain in valid force and effect, each and every license and permit required by a governmental agency for the construction, maintenance, and operation of the authorized activity.

20. Utilities. All new utilities and utility runs shall be underground, or fee payment in-lieu subject to the satisfaction of the City Engineer.

- 21. Signage.** All proposed signage associated with the Project must comply with Article 66 (Sign Ordinance) of the Escondido Zoning Code. Separate sign permits will be required for Project signage. All non-conforming signs shall be removed. The Applicant shall submit with any sign permit graphic/list of all signs to be removed and retained, along with any new signage proposed.
- 22. Noise.** All Project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
- 23. Lighting.** All exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
- 24. General Property Maintenance.** The property owner or management company shall maintain the property in good visual and functional condition. This shall include, but not be limited to, all exterior elements of the buildings such as paint, roof, paving, signs, lighting and landscaping. The Applicant shall paint and re-paint all building exteriors, accessory equipment, and utility boxes servicing the Project, as necessary to maintain clean, safe, and efficient appearances.
- 25. Anti-Graffiti.** The Applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement, including all areas of the job site for when the Project is under construction.
- 26. Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, and garbage.
- 27. Roof, Wall, and Ground Level Equipment.** All mechanical equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.
- 28. Trash Enclosures.** All appropriate trash enclosures or other approved trash systems shall be approved by the Planning and Engineering Division. The property owner or management company shall be responsible for ensuring that enclosures are easily assessable for garbage and recyclables collection; and that the area is managed in a clean, safe, and efficient manner. Trash enclosure covers shall be closed when not in use. Trash enclosures shall be regularly emptied. There shall be the prompt removal of visible signs of overflow of garbage, smells emanating from enclosure, graffiti, pests, and vermin.
- 29. Staging Construction Areas.** All staging areas shall be conducted on the subject property, subject to approval of the Engineering Department. Off-site staging areas, if any, shall be approved through the issuance of an off-site staging area permit/agreement.
- 30. Disturbance Coordinator.** The Applicant shall designate and provide a point-of-contact whose responsibilities shall include overseeing the implementation of Project, compliance with Permit terms and conditions, and responding to neighborhood concerns.

- 31. Construction Waste Reduction, Disposal, and Recycling.** Applicant shall recycle or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste for residential projects or portions thereof in accordance with either Section 4.408.2, 4.408.3, or 4.408.4 of the California Green Building Standards Code; and/or for non-residential projects or portions thereof in accordance with either Section 5.408.1.1, 5.408.1.2, or 5.408.1.3 of the California Green Building Standards Code. In order to ensure compliance with the waste diversion goals for all residential and non-residential construction projects, the Applicant must submit appropriate documentation as described in Section 4.408.5 of the California Green Building Standards Code for residential projects or portions thereof, or Section 5.408.1.4 for non-residential projects or portions thereof, demonstrating compliance with the California Green Building Standards Code sections cited above.
- 32. Construction Equipment Emissions.** Applicant shall incorporate measures that reduce construction and operational emissions. Prior to the City's issuance of the demolition and grading permits for the Project, the Applicant shall demonstrate to the satisfaction of the Planning Division that its construction contractor will use a construction fleet wherein all 50-horsepower or greater diesel-powered equipment is powered with California Air Resources Board ("CARB") certified Tier 4 Interim engines or equipment outfitted with CARB-verified diesel particulate filters. An exemption from this requirement may be granted if (i) the Applicant provides documentation demonstrating that equipment with Tier 4 Interim engines are not reasonably available, and (ii) functionally equivalent diesel PM emission totals can be achieved for the Project from other combinations of construction equipment. Before an exemption may be granted, the Applicant's construction contractor shall demonstrate to the satisfaction of the Director of Development Services that (i) at least two construction fleet owners/operators in San Diego County were contacted and those owners/operators confirmed Tier 4 Interim equipment could not be located within San Diego County during the desired construction schedule, and (ii) the proposed replacement equipment has been evaluated using the California Emissions Estimator Model ("CalEEMod") or other industry standard emission estimation method, and documentation provided to the Planning Division confirms that necessary project-generated functional equivalencies in the diesel PM emissions level are achieved.
- 33. Phasing.** A phasing plan shall be submitted for all projects which include more than one building. The phasing plan shall identify the order in which all on- and off-site improvements will be installed, including triggers for improvements resulting from mitigation measures placed on the project through the environmental review process or required for General Plan conformance. The plan shall also identify the order in which structures will be built and occupied, the location of construction fencing at each phase of construction, and any other means necessary to prevent conflicts between construction traffic and users of the occupied buildings. The phasing plan shall be approved by the City Planner, Building Official, City Engineer and Fire Marshal prior to the issuance of a grading permit for the project. The phasing plan shall not be modified without written consent from the City of Escondido.

C. Parking and Loading/Unloading.

1. A minimum of 25 parking spaces shall be provided at all times. Said parking spaces provided by the Applicant, and any additional parking spaces provided above the required minimum amount, shall be dimensioned per City standards and be maintained in a clean, well-marked condition. The striping shall be drawn on the plans or a note shall be included indicating double-striping per City standards.
2. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with the State Building Code.
3. In accordance with the California Green Building Standard Code, at least eight percent of the total number of required spaces shall be designated for clean air vehicles (CAV), and shall be shown on the revised site plan to the satisfaction of the Planning and Building divisions.
4. No contractor or employee may store, or permit to be stored, a commercial or construction vehicle/truck; or personal vehicle, truck, or other personal property on public-right-of-way or other public property without permission of the City Engineer.

D. Landscaping: The property owner or management company assumes all responsibility for maintaining all on-site landscaping; any landscaping in the public right-of-way adjacent to the property, including potted plants; and any retaining and freestanding walls in a manner that satisfies the conditions contained herein.

1. Landscaped areas shall be maintained in a flourishing manner. Appropriate irrigation shall be provided for all landscape areas and be maintained in a fully operational condition.
2. All existing planting and planter areas, including areas within the public right-of-way, shall be repaired and landscaping brought into compliance with current standards. All dead plant material shall be removed and replaced by the property owner or management company.
3. If at the time of planning final inspection that it is determined that sufficient screening is not provided, the Applicant shall be required to provide additional landscaping improvements to the satisfaction of the Planning Division.
4. The landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
5. Failure to maintain landscaping and the site in general may result in the setting of a public hearing to revoke or modify the Permit approval.
6. **Landscaping Plans.** Applicant shall install all required improvements including screening walls, retaining walls, storm improvements, and landscaping in substantial conformance to the planting and irrigation schedule as shown on the final Approved Plan set.

- a. A final landscape and irrigation plan shall be submitted to the Engineering Services Department for review and approval, if meeting any of the criteria listed under Section 33-1323 of the Zoning Code. Five copies of detailed landscape and irrigation plans shall be submitted to the Engineering Services Division with the second submittal of the grading plan. The initial submittal of the landscape plans shall include the required plan check fees, paid in accordance with the prevailing fee schedule in effect at the time of submittal. Details of Project fencing and walls, including materials and colors, shall be provided on the landscape plans. (Building permits may also be required.) The landscape and irrigation plans shall be reviewed and approved by the Planning Division and Engineering Services Department prior to issuance of grading permits, and shall be equivalent or superior to the conceptual landscape plans included as part of the Approved Plan set, to the satisfaction of the Planning Division. The required landscape and irrigation plans(s) shall comply with the provisions, requirements and standards outlined in Article 62 (Landscape Standards) of the Escondido Zoning Code, except where stricter requirements are imposed by the State of California.
- b. Screening walls, retaining walls, storm improvements, and landscaping (i.e. planting and irrigation) is to be provided prior to final occupancy.
- c. The installation of the landscaping and irrigation shall be inspected by the Project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The Applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.
- d. Any new freestanding walls and/or retaining walls shall incorporate decorative materials or finishes, and shall be indicated on the landscaping plans. (Building permits may also be required.) All freestanding walls visible from points beyond the Project site shall be treated with a protective sealant coating to facilitate graffiti removal. The sealant shall be a type satisfactory to the Director of Development Services.
- e. New or retrofitted trash enclosures shall accommodate vertical climbing plants, vines with support trellis panels, clinging non-deciduous or fast growing shrubbery that will screen the enclosures wall surface. The Director of Development Services shall find that the proposed landscaping design, material, or method provides approximate equivalence to the specific requirements of this condition or is otherwise satisfactory and complies with the intent of these provisions.

E. Specific Planning Division Conditions:

1. The Applicant shall construct retaining walls facing adjacent properties and the public right-of-way of decorative material (e.g. split face) to the satisfaction of the Director of Development Services.
2. Prior to issuance of a business license, the Applicant shall provide a detailed letter of operations that outline deliveries to the property to service the use. The letter shall include, but not limited to the following: products being delivered, hours of deliveries, frequency of deliveries, and other information as determined by the Director. The Director shall have the authority to revise operational characteristics, if it is determined that the proposed operations may cause issues with surrounding residential properties.
3. Prior to issuance of a grading permit, the Applicant shall provide an arborist report for the oak tree adjacent to the easterly property line. The arborist report shall provide recommendations to retain the oak tree with avoidance being the preferred method.

F. Specific Fire Department Conditions:

1. Private fire underground, fire sprinkler, and fire alarms shall be deferred submittals to the Escondido Fire Department.
2. All access to be 24 feet wide paved access able to hold 75,000 lbs. No dead-end access of 150 feet or greater allowed.
3. No grades over 20% and any grade 15% or greater shall be paved in concrete with a rough broom finish.
4. Hydrant fire flow shall be a minimum of 1500 GPM at 20 PSI.

G. Specific Engineering Division Conditions:

GENERAL

1. The applicant shall provide the City Engineer with a Subdivision Guarantee and Title Report covering subject property.
2. The location of all existing on-site and adjacent utilities and storm drain facilities shall be determined by the Developer's engineer. If a conflict occurs with the proposed project or improvements, arrangements for relocation of the conflicting utilities/facilities shall be made with the owner of the utility/facility prior to approval of the Grading Plans. This utility/facility relocation work shall be completed prior to issuance of Building Permits.
3. Improvement plans prepared by a Civil Engineer, required for all public street, utility, and storm drain improvements, and Grading/Private Improvement plans prepared by Civil Engineer, required for all grading, drainage and private onsite improvement design, shall be submitted for review through the City's virtual plan review portal as a single package containing all items on the Engineering Initial Submittal Checklists. Landscaping Plans shall be prepared by a Landscape Architect.

4. A surety for the construction of required off-site and/or on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of the Final Map and Grading Plan. The Developer shall post securities in accordance with the City prepared Bond and Fee Letter based on a final Engineer's Estimate of Grading and Improvements Cost prepared by the project engineer. The Developer is required to provide a Cash Clean Up deposit for all grading, landscaping, private Improvements and onsite drainage improvements prior to approval of Grading Plans and issuance of Grading Permit. This Cash Clean Up Deposit amount shall be 10% of the total cost of the project private improvements, drainage and landscaping. The Developer is required to provide Performance (100% of total public improvement cost estimate), Labor and Material (50% of total public improvement cost estimate) and Guarantee and Warrantee (10 % of total public improvement cost estimate) bonds for all public improvements prior to approval of the Improvement Plans and issuance of Building Permits. All improvements shall be completed prior to issuance of a Certificate of Occupancy.
5. No Building Permits shall be issued for any construction within this site until:
 - a) All conditions of the Site development plan have been fulfilled: or
 - b) Those conditions unfulfilled at the time of an application for Building Permits shall be secured and agreements executed in a form and manner satisfactory to the City Attorney and City Engineer.
6. If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
7. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
8. The Developer's engineer shall submit to the Planning Department a copy of the Approved Site Plan as presented to the City Council. The approved site plan will be signed by the Planning Department verifying that it is an accurate reproduction of the approved site plan and must be included in the first submittal for plan check to the Engineering Department.
9. The development shall meet all regulations and requirements from the San Diego County Department of Environmental Health and Quality regarding setbacks from existing and adjacent septic systems.

STREET IMPROVEMENTS AND TRAFFIC

1. Public street and drainage improvements shall be constructed to City Standards as required by the Subdivision Ordinance and to the satisfaction of the City Engineer prior to occupancy. Specific details, including final street improvement widths, right-of-way widths, concrete curb and gutters, curb returns and pedestrian ramps, drainage, lighting, etc. shall be to the satisfaction of the City Engineer.

2. Prior to occupancy the developer shall construct street improvements, including but not limited to, concrete curb, gutter, sidewalk, street lights, street trees, paving and base on the following streets within and adjoining the project boundary:

<u>STREET</u>	<u>CLASSIFICATION</u>
Wedgewood Avenue	Residential Street (36' paved, 56' ROW)

See appropriate typical sections in the current Escondido Design Standards for additional details.

3. Improvement plans prepared by a Civil Engineer are required for all public street and utility improvements.
4. All on-site failing sections of asphalt driveway and concrete gutter must be repaired and/or replaced to the satisfaction of the City Engineer.
5. Access to this project shall be improved with alley-type driveways in accordance with Escondido Standard Drawing No. G-5-E with a minimum throat width of 20 feet.
6. All on-site driveways, and parking areas shall be private. Typical sections and design details shall be to the satisfaction of the City Engineer and Community Development Director.
7. Sidewalk construction shall be contiguous to the curb in accordance with current Escondido Design Standards.
8. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer and the Field Engineer. This plan shall be approved prior to the issuance of an Encroachment Permit for construction within the public right-of-way.
9. The developer's engineer shall prepare a complete signing and striping plan for all improved roadways. The developer's contractor shall complete all necessary removal of existing striping and signage and shall install all new signing and striping per the approved plans and as directed by the Field Engineer.
10. The developer may be responsible for an overlay of Wedgewood Avenue due to the many utility trenches necessary to serve this project. The determination of the extent of the overlay shall be to the satisfaction of the City Engineer.
11. Adequate horizontal sight distance shall be provided at all street intersections.
12. The developer shall be required to construct an emergency access road to the satisfaction of the City Engineer and City Fire Marshal.
13. Pedestrian access routes shall be provided into the project to the satisfaction of the City Engineer.

GRADING

1. A site grading and erosion control plan prepared by a registered Civil Engineer shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by a digital submittal of the preliminary soils and geotechnical report together with any amendments or additional letters. The soils engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the project.
3. Increased cut slope setbacks may be required along the project boundary to avoid disrupting any existing septic systems in the adjoining residential areas and may be required to avoid encountering ground water problems. Actual setbacks to be used will be based on recommendations of the soils engineer. The requirements of the San Diego County Health Department should be consulted in this regard. In lieu of these requirements, or if the County Health Department requirements cannot be met, the developer must arrange to connect adjoining existing dwelling units, now on private septic systems, to the public sewer system. In this regard, the developer will be required to make necessary arrangements for all main extensions, easements, and payment of all connection and permit fees. Any dwellings in the unincorporated areas must have special approval of the City Council before being connected to the City sewer system. This requirement shall also apply to off-site road and utility improvements where existing septic systems are jeopardized as a result of these improvements.
4. It shall be the responsibility of the developer to pay all plan check and inspection fees required by the San Diego County Health Department.
5. Cut slope setbacks shall be of sufficient width to allow for construction of all necessary screen walls and/or brow ditches.
6. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
7. A Construction General Permit is required from the State Water Resources Control Board for all storm water discharges associated with a construction activity where clearing, grading, and excavation results in a land disturbance of one or more acres.
8. Lot drainage shall meet the requirements of current Escondido Design Standards, to the satisfaction of the City Engineer, and shall include the construction of necessary brow ditches.
9. Any blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
10. All existing septic tanks within the project shall be pumped and backfilled per County Health Department requirements.
11. The developer will be required to obtain permission from adjoining property owners for any off-site grading and slopes necessary to construct the project and/or the required improvements.

12. All driveway grades shall conform to current Escondido Design Standards and Escondido Standard Drawings.
13. All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in their report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by the Regional or City Standard Drawings. The cost of any independent third party review deemed necessary by the City Engineer shall be reimbursed by the developer. Retaining walls or deepened footings that are to be constructed as part of building structure will be permitted as part of the Building Department plan review and permit process.
14. Trash enclosures shall be constructed to comply with storm water quality management requirements to the satisfaction of the City Engineer.

DRAINAGE

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a drainage study to be prepared by the Engineer of Work. The drainage study shall be in conformance with the City of Escondido Design Standards.
2. All on-site storm drains not in public easements are private. The responsibility for maintenance of these storm drains shall be that of the property owner's association. Provisions stating this shall be included in the CC&R'S.
3. The location of the proposed public storm drain within Wedgewood Avenue shall be reviewed and approved at the time of final engineering submittal.
4. The project shall limit drainage flows to their pre-construction rates. Details and calculations for the detention basin shall be submitted and approved as part of the grading plan check.
5. A Storm Water Quality Management Plan (SWQMP) in compliance with the City's latest adopted Storm Water Design Manual shall be prepared for all newly created or replaced onsite impervious areas, impervious frontage, and required offsite improvements. The SWQMP shall be submitted for approval with the final improvement and grading plans. The SWQMP shall include hydro-modification calculations, treatment calculations, post-construction storm water treatment measures, and maintenance requirements.
6. All site drainage with emphasis on the roadway, parking, and driveway areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of bio-retention areas as the primary method of storm water retention and treatment. The landscape plans will need to reflect these areas of storm water treatment.
7. Site Design and Source Control Best Management Practices (BMPs) shall be implemented to the maximum extent practicable. Downspouts from buildings shall be directed to landscaping to allow the infiltration of runoff into the ground. Where feasible, runoff from the hardscape areas shall be directed to landscaped areas to allow infiltration into the ground.

8. The Developer's engineer shall design and the Developer shall construct any permeable surfaces proposed for the project to the specifications of the County of San Diego Green Streets manual in effect at the time the grading permits are issued. All permeable surfaces within the project footprint that are subject to vehicular traffic shall be designed for H2O loading.
9. The project owner shall perpetually maintain all permeable surfaces in accordance to the standards established by the County of San Diego Green Streets manual in effect at the time the grading permits are issued. City shall have the right to inspect all permeable surfaces as needed to ensure they function as designed. City shall have the right to require qualified third party testing at the property owner's expense when surface failure is suspected. Contractor qualifications are outlined in the County of SD Green Streets manual. The project owner will be required to repair or reinstall the permeable surface for all failing surfaces to County of SD Green Streets manual standards in place at the time of the grading permit. In the event of failure to maintain the permeable pavers system that result in not functioning as designed, the project owner will be responsible to replace the pervious pavers system with an alternate method of storm water treatment system or will be required to transition the project to a priority storm water development project by complying with the applicable requirements, including development of a Storm Water Quality Management Plan and the installation of structural best management practices.
10. The developer will be required to have the current owner of the property sign, notarize, and record a Storm Water Control Facility Maintenance Agreement.

WATER

1. The Developer is required at their sole expense to design and construct a looped 8-inch public water main located within a minimum 20-foot public utility easement. This 8-inch water main shall loop through the project beginning at the intersection of Reed Road and the existing driveway and shall extend south through the site where it shall connect to the existing 8-inch water main at the intersection of Wedgewood Avenue and Maxie Place. The 8-inch water main shall be designed and constructed in accordance with the current City of Escondido Design Standards and Standard Drawings and to the satisfaction of the Utilities Engineer.
2. Fire hydrants together with an adequate water supply shall be installed at locations approved by the Fire Marshall. Fire hydrants shall connect to a minimum 8-inch water main.
3. The final locations and sizing of all required water mains, water services, fire hydrants, detector check assemblies, and other water appurtenances shall be designed and installed to the satisfaction of the Director of Utilities and the Utilities Engineer.
4. Fire suppression and sprinkler systems beyond the Detector Check Valves are private and shall be designed and constructed per current Building, Plumbing, and Fire Code Standards, and per the requirements of the City Fire Marshal and City Building Official and shall be approved by a separate submittal to the Building Department. Although private and approved by separate plans and permit, all fire suppression lines shall be shown for reference and review on the various final engineering plan sets.
5. All on-site water lines and backflow prevention devices beyond the City water meter or DCA shall be considered a private water system. The property owner shall be responsible for all maintenance of these water lines and appurtenances.

6. A 1-inch minimum water service, 1-inch water meter, and backflow prevention device shall be required for domestic water supply per City of Escondido Design Standards and Standard Drawings. Water meters and backflow prevention devices shall not be installed within a driveway apron or on private drive areas.
7. No trees or deep-rooted bushes shall be planted within 10-feet of any water mains.
8. There shall be no permanent structures located within the City's Public utility Easements.
9. Improvement plans for all proposed water mains shall be prepared by a Civil Engineer and submitted to the City of Escondido for review and approval.
10. All public water mains shall be located under asphalt or concrete pavement and not under curbs, gutters, medians or sidewalks.
11. Backflow prevention assemblies are private and should be located on private property. Backflows shall be located directly behind the public meter.
12. Any water services to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the public water meter to the satisfaction of the Utilities Engineer and Water Distribution Department.
13. Any fire hydrants to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the fire hydrant per the satisfaction of the Utilities Engineer and Water Distribution.
14. The Developer shall disconnect at the public main, all water services and fire hydrants laterals to be abandoned, to the satisfaction of the Utilities Engineer and Water Distribution Department.

SEWER

1. The developer is required at his sole expense to design and construct a minimum 8-inch PVC sewer main located within a minimum 20-foot public utility easement. The sewer main shall connect to the existing manhole at the intersection of Wedgewood Avenue and Maxie Place and continue to just north of the proposed building 1. The 8-inch sewer main shall be designed and constructed in accordance with the current City of Escondido Design Standards and Standard Drawings and to the satisfaction of the Utilities Engineer.
2. A private 6-inch minimum PVC sewer lateral with a standard clean-out within 18-inches of the Public Utility Easement or ROW shall be constructed for the project and shown on the Improvement and Grading plans. Sewer laterals less than 8-inches in diameter shall connect to the sewer main with a wye or Inserta-Tee. All sewer laterals shall be constructed per current City of Escondido Design Standards and Standard Drawings and per the current Uniform Plumbing Code.
3. No trees or deep-rooted bushes shall be planted within 15-feet of any sewer main or within 10-feet of any sewer lateral. Sewer laterals shall be 5-feet horizontally clear from other utilities.
4. All sewer laterals shall be considered a private sewer system. The property owner shall be responsible for all maintenance of sewer laterals to the public sewer main.

5. Any sewer mains, laterals, and appurtenances shall be designed and constructed per current City of Escondido Design Standards and Standard Drawings, and to the satisfaction of the Utilities Engineer. Improvement plans for all proposed sewer mains shall be prepared by a Civil Engineer and submitted to the City of Escondido for review and approval.
6. The project design shall be such that all existing or new sewer manholes are accessible at all times by City Vactor trucks for maintenance.
7. The Developer shall cap and plug at the public sewer main all sewer lines and laterals to be abandoned, to the satisfaction of the Utilities Engineer and the City Inspector.
8. The location of all sewer laterals shall be shown on the grading and improvement plans.

LANDSCAPE

1. A site landscaping and irrigation plan shall be submitted to the Engineering Department with the second submittal of the grading plan. The initial submittal of the landscape plans shall include the required plan check fees in effect at the time of the submittal.
2. Permanent landscaping shall be installed along the project frontage and all areas disturbed by the project (including offsite areas). The landscaping, including storm water treatment BMPs, shall be maintained by the property owner

EASEMENTS AND DEDICATIONS

1. The developer shall make all necessary dedications (or, if appropriate, offer of dedications) for public rights-of-way as required per Escondido street classification standards.
2. All easements, both private and public, affecting subject property shall be shown and delineated on the Grading plans and recorded prior to the issuance of the grading permit.
3. Necessary public utility easements for sewer, water, storm drain, etc. shall be granted to the City by separate recorded document. The minimum easement width is 20 feet. Easements with additional utilities shall be increased accordingly.
4. An emergency access easement shall be granted to the City by separate recorded document. The minimum width of the easement shall be 24 feet and to the satisfaction of the City Engineer and Fire Marshal.
5. The developer is responsible for making the arrangements to quitclaim all easements of record which conflict with the proposed development prior to approval of the Grading Permit.

REPAYMENTS AND FEES

1. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall

be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading, drainage, landscaping, and best management practices items of work with a minimum of \$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the City Engineer.

2. The developer shall be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued.



CITY OF ESCONDIDO
City Clerk
201 North Broadway
Escondido, CA 92025
(760) 839-4617
Fax: (760) 735-5782

FOR CITY USE ONLY
Application Code(s)
Fee (Non-Refundable)
Receipt No.
Date Filed
Council Hearing Date
Planning Case File No.
(if applicable)

APPLICATION TO APPEAL A DECISION TO THE CITY COUNCIL

Applicant: John Beery on behalf of the owners
(Print) Phone: 760-505-4016

Mailing Address: 2292 Faraday Ave. Carlsbad CA. 92008
(Street) (City) (Zip)

E-mail: john@bgiarchitect.com Fax: NA

Legal Owner: Mt.Everest Group Inc/SolarisCapital Group Inc
(Print) Phone:

Property Address: 2525 Reed Rd. Escondido CA. 92027
(Subject of Appeal)

Assessor Parcel Number: 231-230-42-00

Project Case Number (if appropriate): PHG20-0033/ PL22-0216

Is legal owner aware of this application? [X] Yes [] No

Justification for appeal (Use additional paper, if necessary):

PLEASE SEE ATTACHED DOCUMENT

Distribution:
Planning Division
City Manager
City Clerk
Other
Applicant

Signature of Applicant
Date
4/28/2023



DATE: May 3, 2023

The applicant is filing for appeal to the City Council for PHG20-0033/PL22-0216 for the following reasons:

1) The project meets and/or exceeds the guideline requirements to grant a conditional use permit per Sec. 33-1203, and the Escondido Planning department is recommending approval of the proposed project.

(a) Regarding sound principles of land use, the proposed adult care facility is located within a residential zone and meets or exceeds the development requirements of the RE-20 Zone (lot size, setbacks, heights, coverage, FAR, parking and landscape requirements). Since the inception of the project and given the surrounding residential uses, the owner and design team have strived to adhere to a residential scale and feel for the project, even though a larger, singular, more sterile 3 story building would theoretically be feasible given the zoning requirements. Because of this desire to scale down the project based on the surrounding residential uses; the project was designed as 3 smaller scale buildings (2 buildings @ 1-story, 1 building @ partial 2-stories) organized around a central courtyard creating an inward focused facility. The (2) one-story buildings were placed at locations that would be most visible from the public way (Wedgewood avenue) due to their lower height, minimizing the visual impact on the neighborhood. The (1) partial two-story building was placed in the location least visible from the public way (Wedgewood Avenue), in the center of the site, adjacent to the proposed cut slope and behind the 1-story buildings. The intent was to use the one-story buildings to shield the partial 2-story building from view. This site concept is intended for the benefit of the facility residents and neighborhood equally.

For the elderly facility residents themselves, the intent is to provide a facility that is consistent with feeling at "home" within a residential neighborhood, instilling an environment of rest and nurturing for the elderly within Escondido. For the neighboring community, the intent was to design a facility that is not institutional or sterile in character. For these reasons, the buildings were designed with residential scale and of a Spanish style/detailing consistent with Spanish style residences. Surrounding the buildings are quiet and restful park type atmospheres encircled with landscaping rich in color and screening. Further, the required parking lot and trash enclosures were placed in the center of the site in a location behind a one story building when viewed from Wedgewood Avenue to minimize the visual impact from the public way (Wedgewood Avenue).

The grading of the site was also deeply considered during design. The intent was to create a "balanced" singular pad that takes advantage of the existing site grading to minimize import/export quantities. The proposed grading design results in a very minimal importing of only 53 C.Y. of fill. This limits heavy import/export grading activities that would potentially have an impact on surrounding properties. Although a terraced pad approach was studied, ultimately a single graded pad was chosen due to the ambulatory requirements of the elderly residents. Residents will require ADA access throughout the facility. Having a singular pad will reduce



excessive ramping. Another benefit of the singular pad is that the southern edge of the pad will be raised from current grade, further shielding the interior of the property from public view (Wedgewood Avenue).

(b) The applicant and design team have made every effort to minimize, to the greatest degree possible, deterioration of the bordering land uses. The current land use of the site is a 6-7 bed elderly care facility operating under residential zoning. There is currently an existing residential building of 8,597 S.F. that has been converted to house and care for 6 elderly residents. To date, there have been no neighbor complaints to the City after a number of years of operating under this use. The proposed project is not a change in existing use, but an increase in capacity. The proposed project will add 3 buildings of 15 beds each, for a total of 45 elderly beds. This proposed additional amount is still well under the "highest and best use" capacity for a 4.2 acre site. Further, the facility is also serviceable by the existing utilities adjacent to the property. Therefore, this project will cause no undue stress on the city's existing utilities.

Regarding traffic generation, the proposed project's access and traffic daily trips are eased by using two access/egress points (one off of Reed Road and one off of Wedgewood Ave), instead of 1. The elderly residents being cared for do not drive and will not have cars, and sadly visitors to the elderly are rare. No traffic study is required since the "daily trips" (CAL Trans design requirements) is well below the threshold of 200 daily trips. According to the Caltrans calculations, the facility would only generate 120 daily trips. Therefore, the project only requires a traffic scoping Agreement. For deliveries and employee shift changes, the applicant has agreed to draft additional conditions of approval to limit these times to hours where neighborhood traffic is lightest (example: non-school drop-off hours) The City of Escondido Planning, Building, Engineering, Utility and Fire Departments have already established 122 conditions of approval.

Regarding noise and disturbance to the bordering land uses, the elderly residents are mostly immobile. The elderly demographic will not be engaging in parties or any loud gatherings with amplified sound. At most, elderly residents might gather in the central courtyard, already shielded from public view, and engage in light conversation. Environmentally, elderly assisted living facilities do not produce noise issues, noxious fumes, water pollution or hazardous waste. The project is exempt from "CEQA" and the project is consistent with the City of Escondido's 2012 E-Cap for the general plan. All noise producing mechanical equipment has been designed to be placed on rooftops, shielded from view by 3' parapets.

Regarding views, the only public view of the proposed development is from Wedgewood Avenue. The proposed development cannot be seen from Reed Road due to the upward slope of the hill and the existing residence on the hill. The interior parking lot and trash areas are shielded from public view by the proposed buildings. Mechanical equipment is to be placed on the roofs and shielded by a 3' parapet consistent with Article 56. Additional parking spaces, over the number required, have been provided to eliminate the potential for off-site street overflow parking. While private views are not protected, every effort has been taken to minimize the projects visual impacts from adjacent private property, including using (more expensive) decorative CMU for



retaining walls. Additionally, the project is proposing the use of exterior lighting consistent with "Article 35".

(c) In relationship to its effect on the community, the applicant is committed to creating a quality elderly care facility which will enhance and co-exist in harmony with the local community. That is why all the measures described above have been implemented by the applicant as part of this projects application. The applicant takes great pride in the physical appearance of the facility in the community and the quality of service provided to their residents. The intent from the very beginning has been to create a project that is harmonious with the look, feel and character of the surrounding community. As a result of this desire, the project is proposing 3 residential scale buildings designed in a typical southern California residential style, utilizing the design strategies mentioned above, to minimize the impact on the surrounding community.

2) The manner in which 2 Planning Commissioners improperly voted on the application during the Planning Commission Hearing and the various public comments/concerns that were received during the public comment portion of the Planning Commission hearing.

Following both staff presentation and public comment and supported by the video recording and transcript, 1 planning commissioner expressed that there was "not enough information to even vote" on the application. She expressed the need for further renderings to verify the visual impact to the neighborhood from the public way (Wedgewood Ave). The Architect and planner responded by saying that the applicant would be happy to provide further renderings at a later hearing. After commissioner deliberations, another commissioner (the chair) agreed with her colleague, commenting that they "really needed further information (renderings)". As deliberations came to an end, a third commissioner (who was in opposition all along) quickly introduced a motion to deny, and the other two commissioners voted anyways to deny even though they said they "couldn't even vote at all" (without renderings).

Given the fact that these two commissioners had expressed that they "could not even vote" without further information (renderings), they should have either recused themselves from the vote to deny or introduced a separate motion for a continuation to allow the applicant to provide the requested renderings at a future hearing. In the applicants opinion, the city attorney should also have spoken up and given the commissioners the option of a continuation or asked the two commissioners to recuse themselves from the vote given their previous statements. The city attorney never spoke. Because of this, The Planning Commission, in effect, denied the applicant the opportunity to fully vet and present the project to allow commissioners to make a fully informed, and fair, vote.

Further, during public comment Numerous neighbors expressed their opposition to the project for the following reasons:

1) Traffic (change/increase from existing traffic patterns)



- 2) Noise/Disturbance
- 3) Night lighting and views.

The 3 above reasons for opposition have been fully addressed previously in this appeal request (see 1a,b,c at beginning of this document). There are also two other reasons for neighbor opposition that the applicant would like to address:

4) Lack of Notification. Many neighbors were upset that they received notification shortly before the Planning Commission hearing (under 1 week). Proper notification was sent out to the neighboring public at the prescribed time by the City of Escondido (Ivan Flores). After the hearing, many neighbors approached the applicant and admitted that they hadn't even reviewed the project before the hearing or seen the drawings publicly available online. Upon witnessing these exchanges after the hearing, it is our estimation that a sizeable percentage of the neighbors that attended the Planning Commission hearing did so to solely voice opposition to a neighboring development project in general, without viewing any of the application documents or considering any of the strategies that the applicant provided to minimize the projects impact on the community. (AKA – "Not in my backyard" mindset).

5) Construction length. During public comment one neighbor had expressed concern with the length of construction for the project. The Architect was asked the expected length of construction, to which he answered, "After the approval of a building permit, 12-16 months for construction". Some neighbors in the audience audibly gasped. This is a typical length of construction given the projects scope and conditions.

Given all the above strategies and considerations that the applicant has implemented with this project, we respectfully request that the City Council approve PHG20-0033/PL22-0216.



CITY of ESCONDIDO

STAFF REPORT

Agenda Item No. 2

April 25, 2023

PHG20-0033/PL22-0216 – Reed Road Assisted Living Facility

PROJECT NUMBER / NAME: PHG20-0033/PL22-0216 – Reed Road Assisted Living Facility

REQUEST: A request for a Conditional Use Permit to construct and operate a 45-bed Licensed Residential Care Facility (Assisted Living Facility). The Assisted Living Facility will be comprised of three (3) separate buildings with a combined square footage of 21,190 square-feet. The project also includes a request for a Grading Exemption for fill slopes up to 10 feet within 50 feet of a property line, and to construct 1.5:1 cut slope.

LOCATION: The 4.27-acre site is located on the south side of Reed Road between Reed Road and Wedgewood Avenue and is addressed at 2525 Reed Road.

APN / APNS: 231-230-42-00

GENERAL PLAN / ZONING: Estate II (E2) / Residential Estate (RE-20; 20,000 square foot lot minimum)

APPLICANT: Mt. Everest Group Inc. and Solaris Capital Group Inc.

PRIMARY REPRESENTATIVE: John Beery (BGI Architecture)

DISCRETIONARY ACTIONS REQUESTED: Conditional Use Permit and Grading Exemption

PREVIOUS ACTIONS: N/A

PROJECT PLANNER: Ivan Flores, AICP, Associate Planner

CEQA RECOMMENDATION: Categorical Exemption – CEQA Guidelines Section 15332 (In-Fill Development Projects)

STAFF RECOMMENDATION: Approval

REQUESTED ACTION: Approve Planning Commission Resolution No. 2023-08

CITY COUNCIL HEARING REQUIRED: YES NO

REPORT APPROVALS:

Andrew Firestine, Director of Development Services



CITY of ESCONDIDO

STAFF REPORT

BACKGROUND

The subject property is 4.27-acres and is developed with an existing single-family residence with access via Reed Road. The existing single-family residence currently operates as a licensed residential care facility with no more than 6 residents. The property is located within the Estate II (E2) General Plan land use designation and zoned Residential Estate (RE-20; 20,000 sq. ft. minimum lot size). According to building permit records, the residence was constructed in 1992. The City received a request for a Tentative Parcel Map (SUB18-0004) in 2018; however, the project was withdrawn.

SUMMARY OF REQUEST

The applicant, John Beery, on behalf of the property owner, Leslie Wang, has submitted a request for a Conditional Use Permit to operate a licensed residential care facility for more than 7 residents, otherwise known as an assisted living facility, within the RE-20 zoning district. The assisted living facility will be comprised of 3 separate buildings with each building housing 15 residents for a total of 45 residents, and for a combined building square footage of 21,190 square-feet (as shown on Exhibit "B" of Attachment 3). The project also includes a request for a Grading Exemption to construct fill slopes up to 10-feet in height within 50-feet of a property line, and to construct cut slopes at 1.5:1 steepness ("Project").

SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size:	4.2 acres	
	<u>Minimum Required</u>	<u>Provided</u>
2. Lot Coverage/Floor Are Ratio:	30%/0.4	16.66%/.16
3. Building Height	35'-0"	25'-8"
4. Motor Vehicle Parking:	18*	25 spaces provided
5. Setbacks:		
a. Front Yard:	25'-0"	~40'-0"
b. Rear Yard:	20'-0"	None**
c. Side Yard:	10'-0"	21'-0"
6. Open Space / Landscaping:	Subject to Article 62	16,304 sq. ft.
7. Trees:	N/A	72 trees
8. Signage:	Subject to Article 66	None proposed
9. Trash:	Trash Enclosure	1 trash enclosure
10. Heating and Ventilation:	Units must be screened	Parapet screening
11. Number of Employees:	N/A	4 – 5 in each building

*A minimum is required based on the number of beds; however, the Director may determine the appropriate amount of spaces for the use based on operational characteristics.



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**The property is a through lot and has frontage on two parallel streets (Wedgewood and Reed Road).

PROJECT ANALYSIS

1. General Plan Conformance:

The Project is in conformance with several General Plan policies and actions as detailed below:

Older Adult, Disabled, Disadvantaged Services Policy 8.1: Allow adult care facilities in all residential zones as a permitted use consistent with state law and local provisions.

Licensed residential care facilities with six or less beds are permitted by-right in the RE-20 zoning district, and the other residential districts. The Project is for a licensed residential care facility with seven or more beds which requires a Conditional Use Permit. Based on the Project description, a conditional use permit is appropriate due to its size and potential conflict with surrounding land uses. The Project is in conformance with this General Plan Policy.

Older Adult, Disabled, Disadvantaged Services Policy 8.10: Support institutions and agencies that assist and provide necessary services for older adults who desire to "age in place."

The Project would provide necessary services for older adults who display signs of dementia, and may need assistance living through the rest of their natural life, and allows them to continue living in the City of Escondido.

2. Zoning or Specific Plan Conformance:

The Project is located within the RE-20 zoning district and is a conditionally permitted use. The Project will comply with the requirements of the underlying zoning district relative to development standards. The Project conforms to the requirements of the zoning district.

3. Climate Action Plan Consistency:

The Project was submitted to the City for review in May 2020, and was analyzed for consistency with the 2012 E-CAP which provided the methodology, assumptions and data used for the 2012 General Plan Update. The City's 2012 E-CAP is a qualified GHG emissions reduction plan meeting the requirements of CEQA Guidelines §15130(a)(3) and §15183.5. It addresses GHG emissions, is in concert with AB 32 and statewide efforts to address global climate change, and includes specific local requirements that will substantially lessen the cumulative problem. The Project was found to be consistent with the 2012 E-CAP because the 2012 General Plan Update and adopted land use assumptions were based on data collected for the 2012 E-CAP; additionally, the project is consistent with the underlying General Plan Land Use Designation and the existing zoning designation, and no amendments are proposed. Based on the screening table associated with the



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2012 E-CAP, the Project is screened out from any additional GHG analysis because it would produce less than 2,500 MT CO₂e per year based on the project type.

Subsequent to the Project application, on March 10, 2021, the City Council adopted an updated Escondido Climate Action Plan (E-CAP) which outlined the City's goals and policies to reduce Greenhouse Gas Emissions. The updated E-CAP is used to analyze projects submitted to the City after its adoption, however those projects that had already been received by the City before the adoption of the update are analyzed using the 2012 E-CAP.

4. Site Design

a. Grading, topography, retaining wall, and fencing:

The Project includes a request for a Grading Exemption to construct slopes not in conformance with Section 33-1066 (c) (1) and (c)(4) of Article 55 (Grading and Erosion Control). The former section limits the construction of fill slopes within 50-feet of the property line to a height between 5-feet and 10-feet; and, the latter section limits cut slopes to a steepness of 2:1 ratio. As shown on the grading exemption exhibit, the applicant is proposing slopes up to 10-feet in height (which includes the height of the retaining walls) along the property line abutting Wedgewood and the property to the west; additionally, 1.5:1 cut slope is proposed adjacent to the property to the east.

The reason for the Grading Exemption is due to the change in elevation from north to south (25-feet) and east to west (14-feet). According to the grading plans, the existing elevation of the site sits around 745 feet; and, the project proposes to raise a portion of the site (i.e. the area that is to be developed) to 752 feet which will require the importing of dirt. This portion of the site will sit approximately 10-feet below the existing building to the north. The Project proposes the construction of retaining walls ranging in 3-feet to 7-feet in height. A condition of approval is incorporated into the approval of the project requiring the use of decorative material for portions of the wall exposed to neighboring properties.

The applicant will be responsible for landscaping the slope to ensure its stability. The proposed grading design will provide natural screening of the off-street parking, and the buildings will screen the slopes to the east. The proposed grading design will improve circulation on-site for its users, and allow for the construction of multiple single-story buildings as opposed to taller individual buildings. The applicant did consider alternatives to the proposed grading design e.g. a terraced grading concept and single flat grading concept; however, both alternatives would have led to either taller buildings or unusable areas of the site for the users.



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b. Project Access and Circulation:

Access to the project will be taken from Wedgewood Avenue via a newly constructed driveway, and from Reed Road via the extension of an existing driveway on-site. The driveways are 24-feet in width and can accommodate two-way traffic. Parking for the site will not be located near the existing building to the north, and is instead sited near the newly constructed buildings.

c. Building Orientation:

The 3 buildings will consist of two single-story versions (Buildings 1 and 2), and a two-story version (Building 3) centered around a landscaped courtyard. Building 3 will be located towards the center of the site away from adjacent neighboring properties, and is approximately 54-feet from the easterly property line. The buildings are oriented around a central courtyard, and will screen on-site activity.

d. Open Space and Landscaping

The project is required to comply with Article 62 (Water Efficient Landscape Regulations), but is not subject to specific landscape requirements for the proposed use; however, 16,304 square-feet of landscape area is proposed for the site. The site has an existing mature non-protected tree (California Pepper) which will be replaced as required by Section 33-1069 (b)(4). The existing plant legend indicates the presence of several Mexican Fan Palms and Silk Floss Trees, but they are not considered mature or protected and are not required not be replaced. The applicant will provide 72 trees on-site consisting of a diverse range such as Bailey Acacia, Peppermint Tree, Strawberry Tree, and Western Redbud.

In order to address the difference in grade caused by the fill slope adjacent to the western property line, the applicant is proposing Dwarf Strawberry Tree to soften the appearance of the proposed retaining walls. The cut slopes subject to the Grading Exemption will be landscaped with a variety of trees and shrubs.

e. Parking:

Article 39 (Off-Street Parking) outlines a requirement of one parking space for each three beds for "Sanitariums, children's homes, supportive housing, congregate and care facilities, asylums, nursing homes, etc." The project will have 53 (45 in the newly constructed buildings and eight in the existing building to the north) beds in total which would require 18 off-street parking spaces; 25 off-street parking spaces will be provided on-site. A review of operational characteristics justifies the proposed parking spaces due



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to the fact that residents will not have vehicles to use; visitations are required to be scheduled in advanced; and, staffing is limited to four to five staff members per building.

5. Building Design:

a. Building Height, Mass, and Scale:

The project includes two single-story buildings located adjacent to Wedgewood and the property line to the east, and one two-story building centrally located. The buildings heights will be consistent with the underlying zoning district, and with the surrounding neighborhood. The height of the single-story buildings will be approximately 19-feet at the tallest point, and the two-story building will be approximately 24-feet. The buildings will be constructed with varying roof lines to soften the massing and scale of the structures. The buildings are designed to appear as single-family residences and to blend in with the surrounding neighborhood.

b. Building Materials:

The building material will primarily consist of stucco with varying finishes. The proposed roof material is tile and will have a terracotta like finish for the color. A variety of window materials are proposed such as aluminum grills, and varying window shapes and sizes. The proposed architecture avoids an institutionalized appearance, and will blend in with the surrounding residences.

FISCAL ANALYSIS

The applicant is responsible for payment of applicable development impact fees associated with the Project.

ENVIRONMENTAL ANALYSIS

The Project qualifies for an exemption under CEQA Guidelines section 15332 (Infill Development), which is included as Attachment 2 to this report.

PUBLIC INPUT

Staff has received two comments from the public regarding the proposed project. The main concerns were regarding potential traffic issues, and sewer capabilities. The Project as conditioned will be required to improve sewer to the site to accommodate the development of the site. The Project will not have a significant impact on traffic because it is screened out from doing a VMT analysis.



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CONCLUSION AND RECOMMENDATION

The proposed Project is consistent with the General Plan land use designation, and the underlying zoning district. The Project as proposed will not have a significant effect on the environment, as designed and conditioned. The location, size, design, and operating characteristics of the proposed project will not be incompatible with, adversely affect, nor be materially detrimental to adjacent land uses. The site is suitable for the type and intensity of use and development which is proposed. Based on the analysis in this staff report, staff recommends that the Planning Commission recommend approval of the Project based upon the factors/findings and conditions as described in this staff report and as detailed in Exhibits "A" through "D" to Draft Planning Commission Resolution No. 2023-08.

ATTACHMENTS

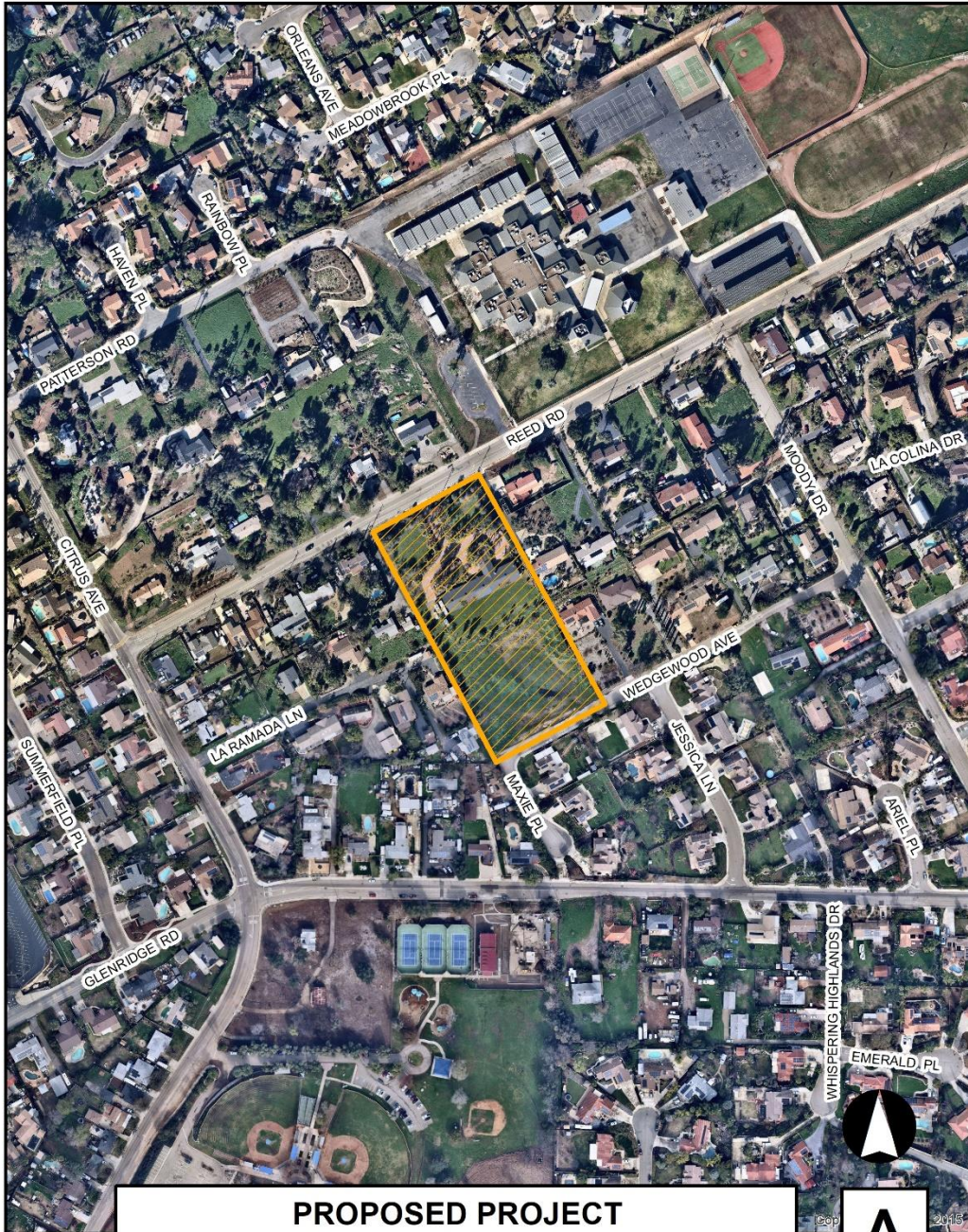
1. Location, General Plan Map, and Zoning
2. Notice of Exemption
3. Draft Planning Commission Resolution No. 2023- 08 including Exhibits A, B, C, and D



CITY of ESCONDIDO

STAFF REPORT

ATTACHMENT 1



**PROPOSED PROJECT
PHG 20-0033**

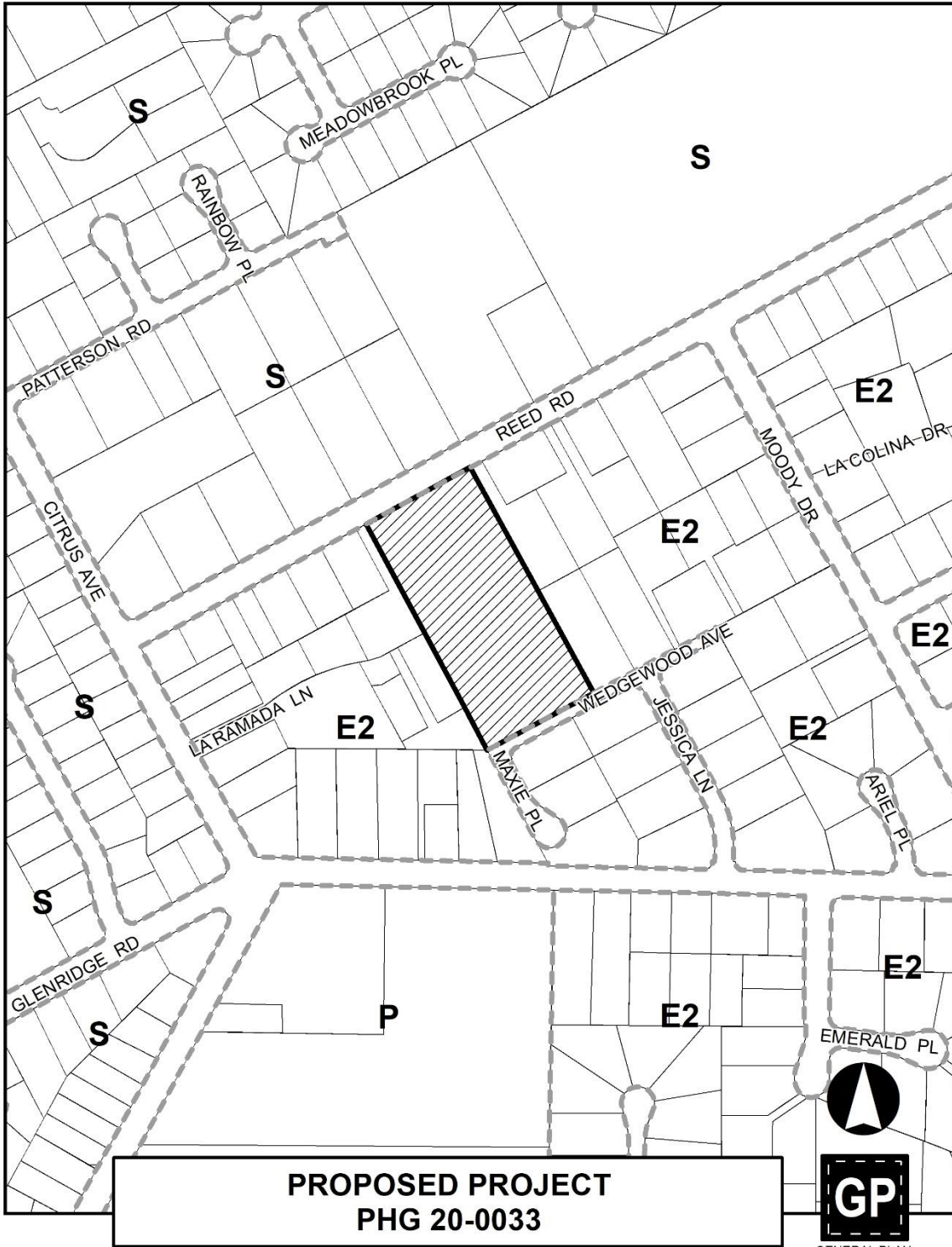
A

AERIAL



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**PROPOSED PROJECT
PHG 20-0033**

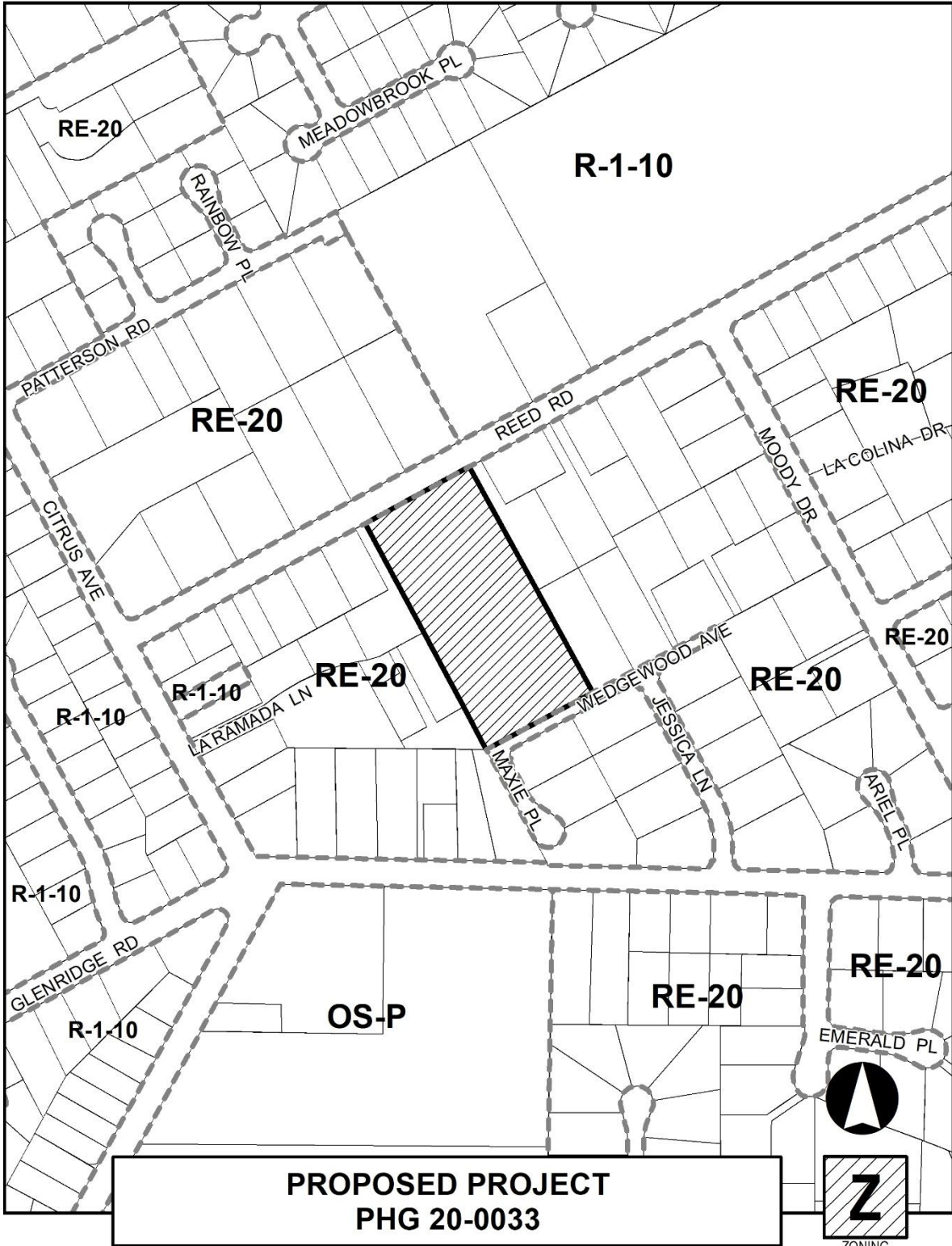


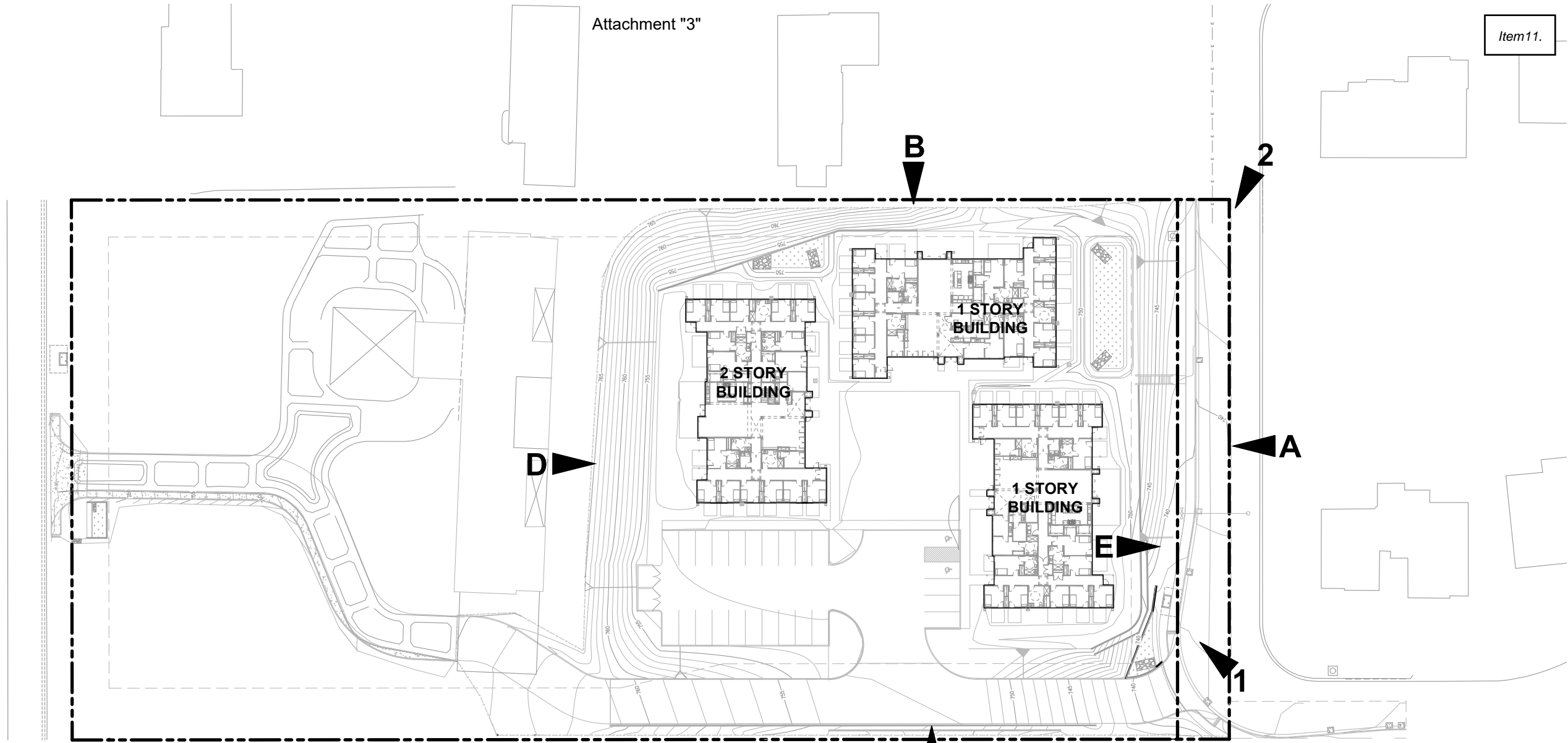
GENERAL PLAN



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EXISTING SITE PHOTO & PROPOSED RENDERING MAP

NOT TO SCALE (EXISTING SITE PHOTOS LETTERED, PROPOSED RENDERINGS NUMBERED)





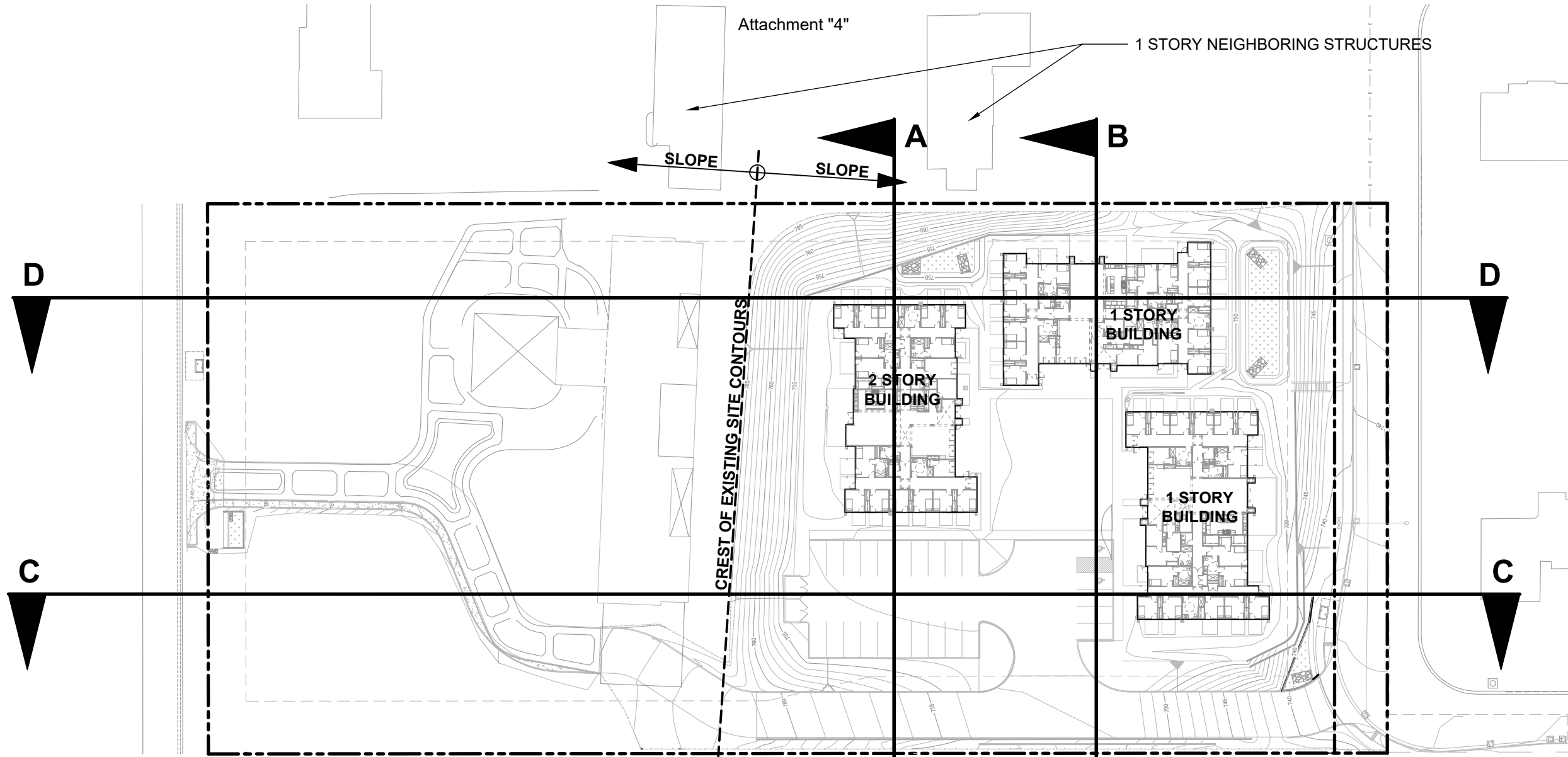






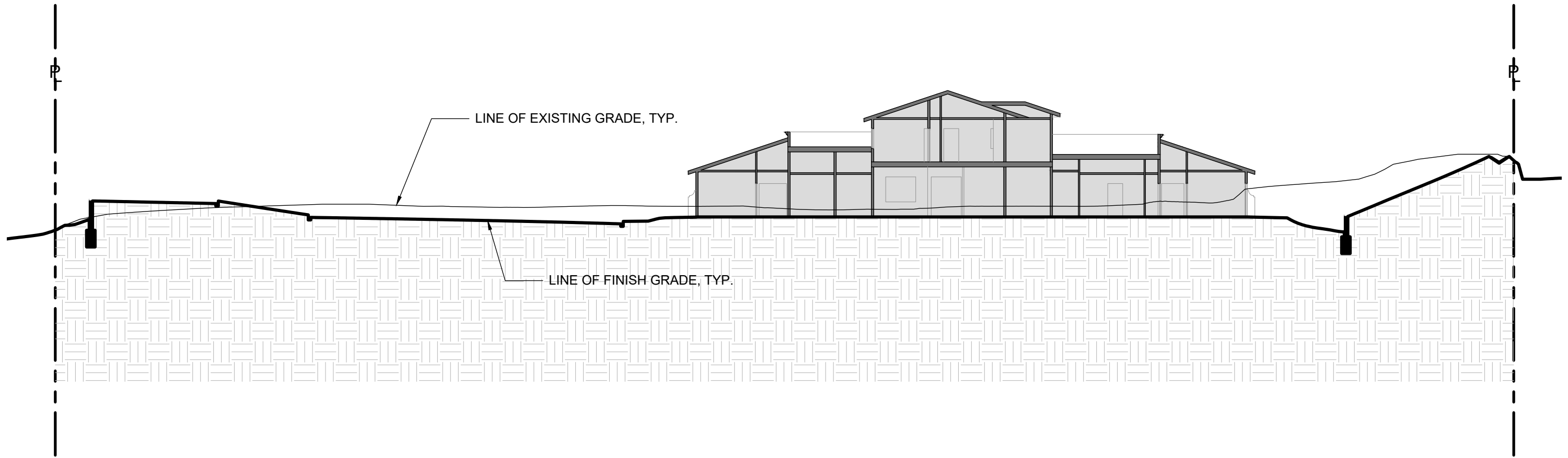






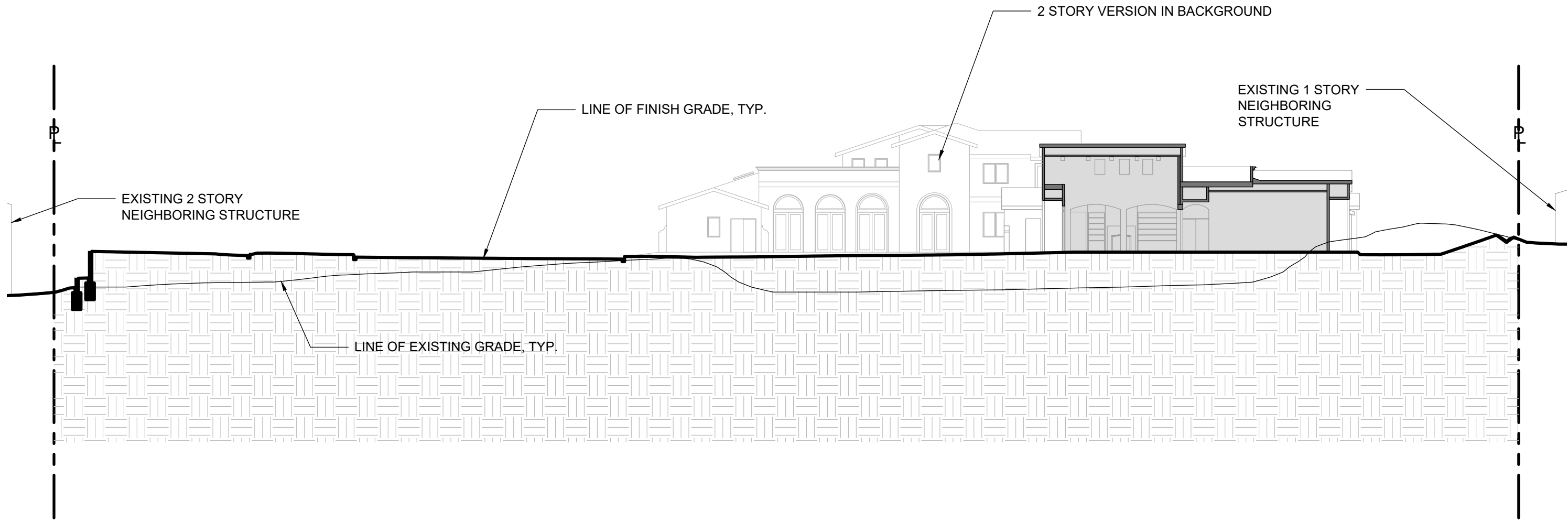
SITE SECTIONS PLAN

NOT TO SCALE



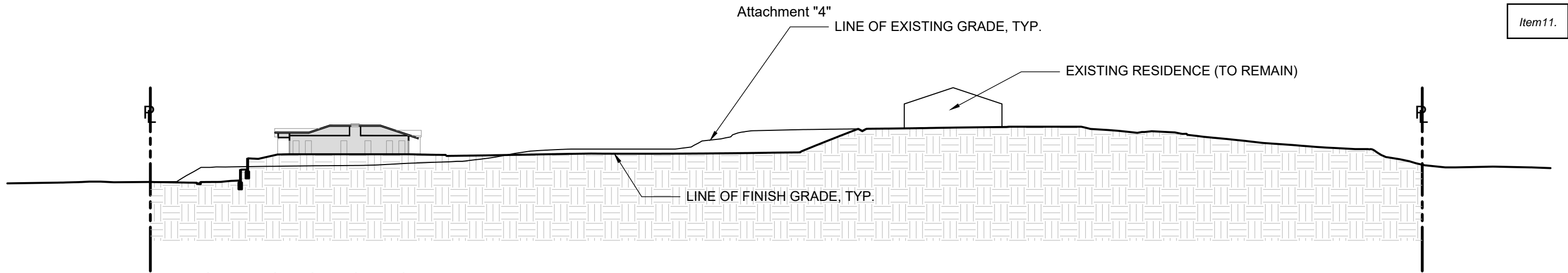
SITE SECTION A

NOT TO SCALE



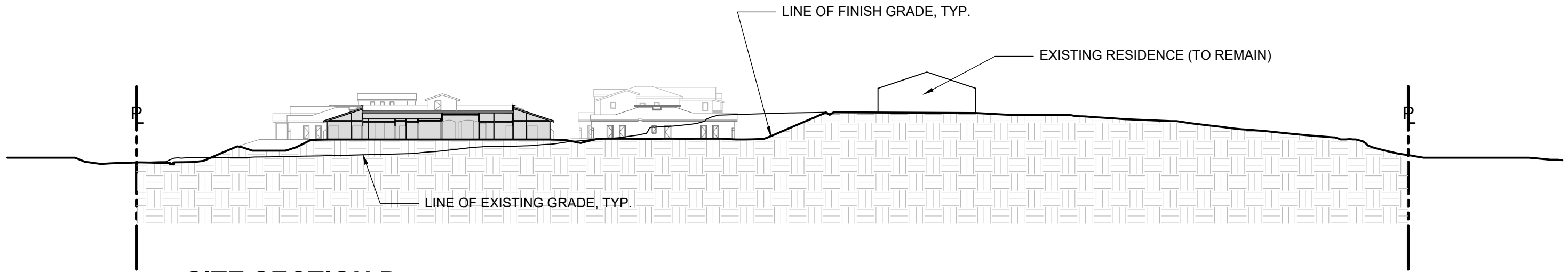
SITE SECTION B

NOT TO SCALE



SITE SECTION C

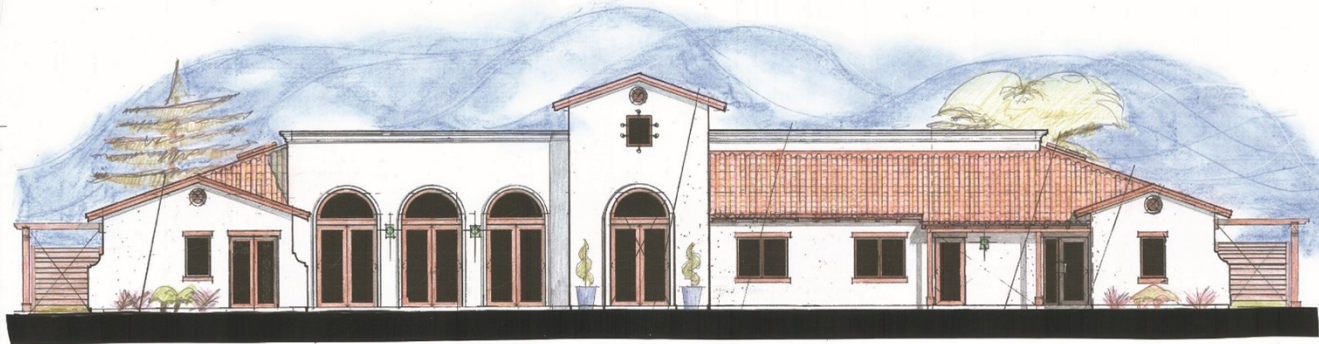
NOT TO SCALE



SITE SECTION D

NOT TO SCALE

PROPOSED PROJECT: PHG 20-0033
SINGLE STORY ELEVATIONS - FRONT



▶ FRONT ELEVATION

SINGLE STORY ELEVATIONS OF BUILDINGS #1 & #2

PROPOSED PROJECT: PHG 20-0033
SINGLE STORY ELEVATIONS - REAR



▶ REAR ELEVATION

SINGLE STORY ELEVATIONS OF BUILDINGS #1 & #2

PROPOSED PROJECT: PHG 20-0033
TWO STORY ELEVATIONS - FRONT



▶ FRONT ELEVATION

TWO STORY ELEVATIONS OF BUILDING #3



REAR ELEVATION

TWO STORY ELEVATIONS OF BUILDING #3

PROPOSED PROJECT: PHG 20-0033
TWO STORY ELEVATIONS - REAR



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
760-839-4671

Notice of Exemption

To: Assessor/Recorder/County Clerk
Attn: Fish and Wildlife Notices
1600 Pacific Hwy, Room 260
San Diego, CA 92101
MS: A-33

From: City of Escondido
Planning Division
201 North Broadway
Escondido, CA 92025

Project Title/Case No: PHG20-0033/PL22-0216 (Reed Road Assisted Living Facility)

Project Location - Specific: 2525 Reed Road, Escondido, CA, 92027 (Assessor Parcel No: 231-230-42-00)

Project Location - City: Escondido Project Location - County: San Diego

Description of Project: A Conditional Use Permit and Grading Exemption is requested for the construction of a licensed residential care facility. The proposal includes the construction of three buildings with a combined square footage of 21,190 square-feet. The project will construct necessary on-site and off-site improvements including but not limited to, grading, landscaping, sewer, sidewalk, trash enclosures, and other associated site improvements. Furthermore, the project includes a request for a Grading Exemption to construct fill slopes up to 10'-0" height within 50'-0" of a property line, and for 1.5:1 cut slope.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name: Mt. Everest Group Inc. and Solaris Capital Group Inc (C/O Leslie Wang)

Address: 2525 Reed Road, Escondido, CA 92027

Telephone: 844-320-1497

Private entity School district Local public Agency State agency Other special district

Exempt Status:

The project is categorically exempt pursuant to CEQA Guidelines section 15332 (In-Fill Development Projects).

Reasons why project is exempt:

The 4.27-acre project is within City limits, and will be developed with a licensed residential care facility. The facility will be housed within three new buildings with a combined square footage of 21,190 square-feet. The site is zoned for the conditionally permitted use and is consistent with applicable general plan policies as well with the Residential Estate (RE-20) zoning designation. It has been determined that the project would not result in any significant impacts to traffic, noise, air quality, or water quality. The project does not include the use of hazardous substances. The project site does not contain any sensitive habitat and all required utilities and public services can be provided to the site within existing facilities located within adjacent streets or easements.

Lead Agency Contact Person: Ivan Flores, Associate Planner Area Code/Telephone/Extension: 760-839-4529

Signature: Ivan Flores, AICP Associate Planner

Date

- Signed by Lead Agency
Signed by Applicant

Date received for filing at OPR:



STAFF REPORT

August 16, 2023
File Number 0810-20

SUBJECT

PL23-0109 – DOWNTOWN SPECIFIC PLAN TEXT AMENDMENT

DEPARTMENT

Development Services Department, Planning Division

RECOMMENDATION

Request the City Council adopt Ordinance No. 2023-11 amending the list of permitted uses within the Downtown Specific Plan to allow “All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing” within the Creekside Neighborhood District.

Staff Recommendation: Approval (Development Services: Andrew Firestine, Director of Development Services)

Presenter: Ivan Flores, Associate Planner

FISCAL ANALYSIS

The project is a request to amend the list of permitted uses within the Creekside Neighborhood District of the Downtown Specific Plan. On March 22, 2023, the City Council authorized the reduction of fees due to the limited scope of work involved in processing the request. No other fiscal impacts are anticipated from the proposed project.

PREVIOUS ACTION

On March 22, 2023, the City Council authorized the intake of the application, and a reduction in fees due to the limited scope of work involved in processing the request.

PLANNING COMMISSION RECOMMENDATION

On July 11, 2023, the Planning Commission voted 4-0 (Commissioners Barba, Mecaro, and Fitzgerald absent) recommending approval of the Project to the City Council. The discussion during the hearing mainly focused on the reasoning behind limiting the number of properties affected by the proposed text amendment. Staff explained to the Commission that the affected properties served as a transition point from the residential uses to north to the more intense commercial uses to the south; additionally, the



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Creekside Neighborhood District is comprised of mainly residential uses with the exception of the properties on Pennsylvania and Washington avenues.

BACKGROUND

The Downtown Specific Plan (DSP) was adopted on August 7th, 2013 by the City Council (PHG13-0018). The DSP envisions Downtown Escondido as a dynamic, attractive, and economically vital city center. Downtown is a pedestrian oriented environment meant to attract local and non-local visitors. Since its adoption, the DSP has been amended several times to reflect changes in land use patterns, and to facilitate development within the Downtown area.

PROJECT DESCRIPTION

Carina Kennedy (“Applicant”) has submitted a request to amend the list of permitted and conditional uses outlined in Figure II-2 of the DSP. The text amendment consists of revising the table to allow for “All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing” within the Creekside Neighborhood (CN) district of the DSP (“Project”). The stated land use is already permitted in some manner in all other districts within the DSP. This amendment will allow for the Applicant to apply for a license to sell alcohol from the State of California Department of Alcoholic Beverage Control. The text amendment will only affect 12 properties located on the south side of Pennsylvania Avenue that are within the CN district.

A complete Project description and analysis of the Project can be found on the July 11, 2023, Planning Commission staff report (Attachment “1”).

ENVIRONMENTAL REVIEW

California Environmental Quality Act (“CEQA”) Guideline’s list classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from further environmental review under CEQA. The Project qualifies for an exemption under CEQA Guidelines section 15061 (Common Sense Exemption) as it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The CEQA Notice of Exemption prepared for the Project is incorporated into this staff report by this reference (see Attachment “2”). The Notice of Exemption demonstrates that the Project qualifies for these exemptions and will not have a significant effect on the environment.



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CONCLUSION

The Project proposes to amend the list of permitted and conditionally permitted uses to allow restaurants, with or without alcohol, within the Creekside Neighborhood (CN) District of the Downtown Specific Plan. The Project would affect a limited number of properties within the CN District, and impacts to surrounding land uses would be minimal due to the commercial composition of the area. The Project would also provide an additional amenity to those who reside in the area. The Project is consistent with the guiding principles identified in the Land Use and Community Form Element and the Economic Prosperity Element of the Escondido General Plan, and the Downtown Specific Plan.

Both the Planning Commission and City staff recommend that the City Council approve the Project, through adoption of Ordinance No. 2023-11.

ORDINANCES

- A. Ordinance No. 2023-11
- B. Ordinance No. 2023-11 Exhibit "A"
- C. Ordinance No. 2023-11 Exhibit "B"

ATTACHMENTS

- A. Attachment "1" – July 11, 2023 Planning Commission Staff Report
- B. Attachment "2" – California Environmental Quality Act Notice of Exemption

ORDINANCE NO. 2023-11

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, APPROVING A TEXT AMENDMENT TO THE DOWNTOWN SPECIFIC PLAN TO ALLOW RESTAURANTS WITHIN THE CREEKSIDE NEIGHBORHOOD DISTRICT

The City Council of the City of Escondido, California does ordain as follows:

SECTION 1. The City Council makes the following findings:

a) The intent and purpose of the Downtown Specific Plan is to create a dynamic, attractive, and economically vital city center; and

b) A verified application was submitted to, and processed by, the Planning Division of the Development Services Department as Planning Case No. PL23-0109, and seeks approval of a Downtown Specific Plan Text Amendment to amend the Figure II-2 (List of Permitted and Conditionally Permitted Uses) to allow for “All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing” within the Creekside Neighborhood District of the Specific Plan; and

c) Said application was processed in accordance with the rules and regulations of the Escondido Municipal and Zoning Code, and the applicable procedures and time limites specified by the Permit Streamlining Act (Government Code Section 65920 et. seq) and CEQA (Public Resources Code Section 21000 et. seq.); and

d) The Planning Division of the Development Services Department completed its review and scheduled and held a public hearing regarding the text amendment before the Planning Commission on July 11, 2023. Following the public hearing on July 11, 2023, the Planning Commission adopted Resolution No. 2023-10, which recommended that the City Council approve the Downtown Specific Plan Text Amendment.

SECTION 2. Proper notices of a public hearing have been given and public hearings have been held before the Planning Commission and City Council on this issue.

SECTION 3. The City Council did on August 9, 2023, hold a duly noticed public hearing as prescribed by law. Evidence was submitted to and considered by the City Council, including, without limitation:

- a) Written information including application materials and other written and graphical information.
- b) Oral testimony from City staff, interested parties, and the public.
- c) The City Council staff report, dated August 9, 2023, which along with its attachments, is incorporated herein by this reference as though fully set forth herein, including the Planning Commission's recommendation on the request.
- d) Additional information submitted during the public hearing.

SECTION 4. Upon consideration of the Findings of Fact, attached as Exhibit "B" and incorporated herein by this reference as though fully set forth, the August 9, 2023, City Council staff report, and the Planning Commission recommendation, based on the totality of the record and evidence described and

referenced in this Ordinance, the City Council desires to amend the Figure II-2 of the Downtown Specific Plan relative to the list of permitted and conditionally permitted uses.

SECTION 5. ENVIRONMENTAL REVIEW. Pursuant to the California Environmental Quality Act ("CEQA") (Public Resources Code Section 21000 et. seq.), and its implementing regulations (the State CEQA Guidelines), 14 California Code of Regulations Section 15000 et. seq., the City is the lead agency for the Project, as the public agency with the principal responsibility for approving the proposed Project. Further pursuant to CEQA and the State CEQA Guidelines, a Notice of Exemption for the Project was prepared, and will be filed with the County Clerk of San Diego for filing.

SECTION 6. The City Council hereby approves the text amendment to the Downtown Specific Plan, attached as Exhibit "A" hereto and incorporated herein by this reference as though fully set forth herein.

SECTION 7. SEVERABILITY. If any section, subsection sentence, clause, phrase, or portion of this ordinance is held invalid or unconstitutional for any reason by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision and such holding shall not affect the validity of the remaining portions.

SECTION 8. As of the effective date of this ordinance, all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 9. The City Clerk is hereby directed to certify to the passage of this ordinance and to cause the same or a summary to be published one time within 15 days of its passage in a newspaper of general circulation for the City of Escondido.

SECTION 10. This Ordinance shall become effective 30 days from the date of the passage.

Exhibit "A"

Amended Figure II-2 (List of Permitted and Conditionally Permitted Uses)

FIGURE II-2
 PERMITTED AND CONDITIONAL USES
 (Page 1 of 8)

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
RESIDENTIAL AND LODGING (in accordance with Figure II-3A)							
Bed-and-breakfast establishments (subject to regulations of Article 32 of the Zoning Code)						C	C
Residential-care facilities						C	C
Hotels and Motels (subject to regulations of Article 63 of the Zoning Code)	C	C	C	C	C	C3	
Residential above ground floor in specified areas, in conjunction with permitted non-residential use on ground floor (refer to Figure II-3 for appropriate locations and housing types)	P	P9	P	P	P	P	P
Residential, on ground floor in specified areas (refer to Figures II-3 and II-4 for appropriate locations and housing types)	P7, P8	P8, P9	P8	P8	P8	P8	P
Home Occupations (subject to regulations of Article 44 of the Zoning Code)	P5	P5	P5	P5	P5	P5	P5
GENERAL RETAIL							
New merchandise sold in department stores, drugstores, pharmacies, and retail establishments selling toys, flowers, gifts, stationery, jewelry, leather, apparel, shoes (including repair), china, glassware, pottery, crafts, cigars, yardage goods, pets, hobbies, art supplies, automobile supply stores (without installation), video sales and rental, music (including incidental recording, instruction and instrument repair), books / magazines / newspapers, sporting goods, bicycles / cameras / electronics / office business / small household appliance sales and service, and other similar retail goods and incidental services NEC.	P12	P12	P12	P12	P12	P12	P12
Automobile supply stores with incidental installation				P		P3	

NOTES:

- 1 P = Permitted C = Conditional Use Permit required
- 2 Under 3,000 square feet.
- 3 Within Grand Avenue's "retail-core area" use is not permitted on ground floor facing Grand Avenue unless located behind a solid wall, and such wall shall be located at least 25% of the building depth back from the front, with a minimum of 25 feet of front retail depth, whichever is more. Primary entrance to this use must be from the alley. No signage is permitted on this use.
- 4 Only permitted within a multi-tenant building, and shall not occupy more than 30% of the gross floor area.
- 5 Only in conjunction with an approved residential project.
- 6 Only permitted on Pennsylvania Avenue and the north side of Valley Parkway between Kalma and Ivy Streets.
- 7 Not allowed along Grand Avenue on ground floor within the "retail core area."
- 8 Residential and mixed-use projects are permitted in specified areas, subject to a Planned Development approval in Article 19 of the Zoning Code.
- 9 No residential uses, permitted between Woodward Avenue, Washington Avenue, Escondido Boulevard and Broadway.
- 10 Not allowed along Grand Avenue on ground floor between Grand and adjacent alleys.
- 11 Not permitted on ground floor of buildings located on Pennsylvania Avenue.
- 12 Drive-through establishments shall be permitted with a Conditional Use Permit, subject to the provisions in Article 16, Section 33-341.
- 13 Prohibited on corner lots of the retail core area.
- 14 Use Shall have a minimum building floor area of 15,000 square feet.
- 15 **34100 only permitted on parcels south of Pennsylvania Avenue.**
- 16 Existing automobile dealerships are a non-conforming use. Conversion of these sites to a new and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
- 17 The use which contains a drive-through facility as a primary use shall be located on a site having minimum frontage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 500 feet from any other business that operates a drive-through as a primary use.

NOTE: Should a conflict arise between this matrix and the land-use district text, the land use district text discussion shall take precedence in determining the appropriateness of the land use.

- DOWNTOWN DISTRICTS:**
- HD Historic Downtown
 - PV Park View
 - CCU Centre City Urban
 - GT Gateway Transit
 - M Mercado
 - SG Southern Gateway
 - CN Creekside Neighborhood

FIGURE II-2
PERMITTED AND CONDITIONAL USES
 (Page 2 of 8)

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
GENERAL RETAIL (continued)							
Bargain basement store							
Carpet and floor covering and installations	P6			P		P3	P6
Consignment store (subject to Article 57 of the Zoning Code)		C	C	C	C	C	C
Large appliance sales	P7	P	P	P	P1	P3	P6
Home Furnishings with retail display (not including "mattress only", carpet, and discount furniture stores)	P	P	P	P	P1	P3	P6
Hardware, paint, glass, tools, home improvement	P	P	P	P	P1	P1, P3	P6
Medical equipment sales/rentals and supplies	P7		P	P	P1	P3	P6
Outdoor vending machines		P					
Pawn shop (subject to Article 57 of the Zoning Code)							
Secondhand store (subject to Article 57 of the Zoning Code)							
Tobacco product store							
Thrift shop (subject to Article 57 of the Zoning Code)			C14				

NOTES:

P = Permitted C = Conditional Use Permit required

- 1 Under 3,000 square feet.
- 2 Within Grand Avenue's "retail-core area" use is not permitted on ground floor facing Grand Avenue unless located behind a solid wall, and such wall shall be located at least 25% of the building depth back from the front, with a minimum of 25 feet of front retail depth, whichever is more. Primary entrance to this use must be from the alley. No signage facing Grand Avenue is permitted.
- 3 Only permitted on Escondido Boulevard.
- 4 Only permitted within a multi-tenant building, and shall not occupy more than 30% of the gross floor area.
- 5 Only in conjunction with an approved residential project.
- 6 Only permitted on Pennsylvania Avenue and the north side of Valley Parkway between Kalina and Ivy Streets.
- 7 Not allowed along Grand Avenue on ground floor within the "retail core area."
- 8 Residential and mixed-use projects are permitted in specified areas, subject to a Planned Development approval in Article 18 of the Zoning Code.
- 9 No residential uses permitted between Woodward Avenue, Washington Avenue, Escondido Boulevard and Broadway.
- 10 Not allowed along Grand Avenue on ground floor between Grand and adjacent alleys.
- 11 Permitted on Local Historic Register properties.
- 12 Drive-through establishments shall be permitted with a Conditional Use Permit, subject to the provisions in Article 16, Section 33-341
- 13 Prohibited on corner lots of the retail core area.
- 14 Use Shall have a minimum building floor area of 15,000 square feet.
- 14.15 Only permitted on parcels south of Pennsylvania Avenue.
- * Existing automobile dealerships are a non-conforming use. Conversion of these sites to a new and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
- ** The use which contains a drive-through facility as a primary use shall be located on a site having minimum frontage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 500 feet from any other business that operates a drive-through as a primary use.

DOWNTOWN DISTRICTS:

- HD Historic Downtown
- PV Park View
- CCU Centre City Urban
- GT Gateway Transit
- M Mercado
- SG Southern Gateway
- CN Creekside Neighborhood

NOTE: Should a conflict arise between this matrix and the land-use district text, the land use district text discussion shall take precedence in determining the appropriateness of the land use.

FIGURE II-2
PERMITTED AND CONDITIONAL USES
 (Page 3 of 8)

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
EATING AND DRINKING ESTABLISHMENTS							
All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing	P	P	P	P	P	P3, P11	P15
Eating establishment as drive-through businesses			C12**	C12**			
Eating establishments (as defined above) with indoor amplified entertainment and/or dancing	P	P	P	P	P	C3	
Wine- and beer-tasting establishments (only with retail sales involving related merchandise that includes a significant portion of the sales area)	P	P	P	P	P	P3	
FOOD AND LIQUOR SALES (excluding convenience and package stores)							
Convenience markets, excluding package stores	C	C	C	C	C	C3	
General grocery stores exceeding 7,000 SF of sales area with, or without, alcohol sales	P7	P	P	P	P	P3	P6
General grocery stores less than 7,000 SF and specialty foods, including imported and/or unique food products, produce, candy, baked goods, meat, etc., specialty liquor sales involving off-sale unique brands of beer, wine, and distilled spirits	P	P	P	P	P	P3	P6
Liquor stores, packaged (off-sale)							

NOTES:

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- 1 Under 3,000 square feet
 - 2 Within Grand Avenue's "retail-core area" use is not permitted on ground floor facing Grand Avenue unless located behind a solid wall, and such wall shall be located at least 25% of the building depth back from the front, with a minimum of 25 feet of front retail depth, whichever is more. Primary entrance to this use must be from the alley. No signage facing Grand Avenue is permitted.
 - 3 Only permitted on Escondido Boulevard.
 - 4 Only permitted within a multi-tenant building, and shall not occupy more than 30% of the gross floor area.
 - 5 Only in conjunction with an approved residential project.
 - 6 Only permitted on Pennsylvania Avenue and the north side of Valley Parkway between Kalma and Ivy Streets.
 - 7 Not allowed along Grand Avenue on ground floor within the "retail core area."
 - 8 Residential and mixed-use projects are permitted in specified areas, subject to a Planned Development approval in Article 19 of the Zoning Code.
 - 9 No residential uses permitted between Woodward Avenue, Washington Avenue, Escondido Boulevard and Broadway.
 - 10 Not allowed along Grand Avenue on ground floor between Grand and adjacent alleys.
 - 11 Permitted on Local Historic Register properties.
 - 12 Drive-through establishments shall be permitted with a Conditional Use Permit, subject to the provisions in Article 18, Section 33-341
 - 13 Prohibited on corner lots of the retail core area.
 - 14 Use Shall have a minimum building floor area of 15,000 square feet.
 - 1415 Only permitted on parcels south of Pennsylvania Avenue.
- Existing automobile dealerships are a non-conforming use. Conversion of these sites to a new and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
- The use which contains a drive-through facility as a primary use shall be located on a site having minimum footage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 500 feet from any other business that operates a drive-through as a primary use.

DOWNTOWN DISTRICTS:

- HD Historic Downtown
- PV Park View
- CCU Centre City Urban
- GT Gateway Transit
- M Mercado
- SG Southern Gateway
- CN Creekside Neighborhood

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**FIGURE II-2
 PERMITTED AND CONDITIONAL USES**
 (Page 4 of 8)

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
GENERAL OFFICE AND FINANCIAL SERVICES							
Administrative, business and professional offices, employment agencies, secretarial services, realtors/real estate offices and counseling services, travel and ticket agencies	P2	P	P	P	P	P	P6
ATM Kiosk	P	P	P	P	P	P	P
ATM Kiosk with drive-through		C12	C12	C12	C12	C12	C12
Check cash / pay day							
Financial institutions, banks, savings and loans ¹³	P	P	P	P	P	P	P
Financial institutions, banks, savings and loans with drive-through		C12	C12	C12	C12	C12	C12
Off-site sales and call centers	P10					P	P6
Short-term political campaign offices with a maximum duration of six months	P	P	P	P	P	P	P6
HEALTH AND PERSONAL SERVICES							
Medical/dental/optical/offices, clinics and laboratories, licensed alternative health-care establishments, day spas, excluding acupuncture and massage establishments as primary uses.	P2	P	P	P	P	P	P6
Barber, beauty salons including cosmetology involving ear piercing, permanent eye and lip lining, excluding other body piercing, body art, and inking parlors	P	P	P	P	P	P3	P6
Tattoo parlor and body piercing* (subject to Chapter 17 of the Municipal Code)							
Massage Establishments (permitted in centers pursuant to Article 38)			P				

NOTES:

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- 1 Under 3,000 square feet.
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- 3 No signage facing Grand Avenue is permitted.
- 4 Only permitted on Escorrido Boulevard.
- 5 Only permitted with a multi-tenant building, and shall not occupy more than 30% of the gross floor area.
- 6 Only permitted with an approved residential project.
- 7 Only permitted on Pennsylvania Avenue and the north side of Valley Parkway between Valmia and Ivy Streets.
- 8 Not allowed along Grand Avenue on ground floor within the "retail core area."
- 9 Residential and mixed-use projects are permitted in specified areas, subject to a Planned Development approval in Article 19 of the Zoning Code.
- 10 No residential uses permitted between Woodward Avenue, Washington Avenue, Escorrido Boulevard and Broctonway.
- 11 Not allowed along Grand Avenue on ground floor between Grand and adjacent alleys.
- 12 Permitted on Local Historic Register properties.
- 13 Drive-through establishments shall be permitted with a Conditional Use Permit, subject to the provisions in Article 18, Section 35-341
- 14 Prohibited on corner lots of the retail core area.
- 15 Use Shall have a minimum building floor area of 15,000 square feet.
- 16 Only permitted on parcels south of Pennsylvania Avenue.
- 17 Existing automobile dealerships are a non-conforming use. Conversion of these sites to a new and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
- 18 The use which contains a drive-through facility as a primary use shall be located on a site having minimum frontage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 500 feet from any other business that operates a drive-through as a primary use.

DOWNTOWN DISTRICTS:

- HD Historic Downtown
- PV Park View
- CCU Centre City Urban
- GT Gateway Transit
- M Mercado
- SG Southern Gateway
- CN Creekside Neighborhood

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FIGURE II-2
PERMITTED AND CONDITIONAL USES
 (Page 5 of 8)

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
SPECIALTY SERVICES (includes similar ancillary uses NEC)							
Animal services (indoor only) to include pet training, boarding, pet spas, pet day care and veterinary clinics, excluding kennels	P7		P	P	P	P3	P6
Photographic developing and photocopy services, watch and clock repair, locksmiths	P	P	P	P	P	P	P6
Music recording/practice studios	P2	P4	P	P	P	P4	P1, 6
Custom-furniture upholstery and repair	P7					P3	P6
Picture framing shops	P	P4	P	P	P	P3	P6
Postal services including parcel delivery (public/private)	P2	P	P	P	P	P	P
Cleaning and laundering services without on-site cleaning	P7	P1	P1	P1		P1, 4	P1, 5, 6
Cleaning establishments and laundries, self-service or coin operated	P10	P				C	P1, 5, 6
Mortuaries	C10	C				C	C6
Tailors and dressmakers and alterations	P2	P	P	P	P	P	P5, 6
Private smokers lounge							
ENTERTAINMENT, RECREATION AND CULTURAL							
Dance facilities, pinball and electronic game arcades	C		C	C	C		
Athletic clubs, health studios, yoga, jazzercise, aerobics, zumba and similar programs	P7	P	P	P	P	P3	P6

NOTES:

P = Permitted C = Conditional Use Permit required

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- 2 Within Grand Avenue's "retail-core area", use is not permitted on ground floor facing Grand Avenue unless located behind a solid wall, and such wall shall be located at least 25% of the building depth back from the front, with a minimum of 25 feet of front retail depth, whichever is more. Primary entrance to this use must be from the alley. No signage facing Grand Avenue is permitted.
- 3 Only permitted on Escondido Boulevard.
- 4 Only permitted within a multi-tenant building, and shall not occupy more than 30% of the gross floor area.
- 5 Only in conjunction with an approved residential project.
- 6 Only permitted on Pennsylvania Avenue and the north side of Valley Parkway between Kalma and Ivy Streets.
- 7 Not allowed along Grand Avenue on ground floor within the "retail core area."
- 8 Residential and mixed-use projects are permitted in specified areas, subject to a Planned Development approval in Article 10 of the Zoning Code.
- 9 No residential uses permitted between Woodward Avenue, Washington Avenue, Escondido Boulevard and Broadway.
- 10 Not allowed along Grand Avenue on ground floor between Grand and adjacent alleys.
- 11 Permitted on Local Historic Register properties.
- 12 Drive-through establishments shall be permitted with a Conditional Use Permit, subject to the provisions in Article 16, Section 33-341
- 13 Prohibited on corner lots of the retail core area.
- 14 Use Shall have a minimum building floor area of 15,000 square feet.
- 14.15 Only permitted on parcels south of Pennsylvania Avenue.
- ** Existing automobile dealerships are a non-conforming use. Conversion of these sites to a new and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
- ** The use which contains a drive-through facility as a primary use shall be located on a site having minimum frontage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 600 feet from any other business that operates a drive-through as a primary use.

DOWNTOWN DISTRICTS:

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- PV Park View
- CCU Centre City Urban
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- M Mercado
- SG Southern Gateway
- CN Creekside Neighborhood

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FIGURE II-2
PERMITTED AND CONDITIONAL USES
 (Page 6 of 8)

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
ENTERTAINMENT AND RECREATION (continued)							
Galleries and studios pertaining to artists, craft workers and photographers (including incidental developing and printing), libraries, museums, etc., including incidental sale of merchandise pertaining to the primary use	P	P	P	P	P	P	P6
Dance studios and schools	P	P	P	P	P	P3	P6
Marital arts schools and training facilities	P10		P	P	P	P3	P6
Entertainment establishments (including internet cafes) with incidental sale of food or alcohol (excluding incidental entertainment in restaurants)	C	C	C	C	C	C3	C6
Parks - general recreation	P	P	P	P	P	P	P
Roller-skating and bowling alleys and similar indoor arena sports			P	P	C		
Swimming pools and schools		P					P6
Theater, live and motion picture	P	P	P	P			
SOCIAL, PROFESSIONAL, RELIGIOUS ORGANIZATIONS							
Churches, synagogues, temples, missions, religious reading rooms, and other religious activities (not allowed within Grand Avenue "historic retail core area")	C7	C	C	C	C	C	C
Social and professional organizations that conduct group and/or membership meetings on the premises, including political, veterans, civic, labor, charitable and similar organizations	C2	C	C	C	C	C	C
Youth Organizations		C	C	C	C	C	C
Weddings and Receptions							

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NOTES:

- 1 P = Permitted C = Conditional Use Permit required
- 2 Under 3,000 square feet.
- 3 Within Grand Avenue's "retail-core area", use is not permitted on ground floor facing Grand Avenue unless located behind a solid wall, and such wall shall be located at least 25% of the building depth back from the front, with a minimum of 26 feet of front retail depth, whichever is more. Primary entrance to this use must be from the alley.
- 4 No signage facing Grand Avenue is permitted.
- 5 Only permitted on Escondido Boulevard.
- 6 Only permitted within a multi-tenant building, and shall not occupy more than 30% of the gross floor area.
- 7 Only in conjunction with an approved residential project.
- 8 Only permitted on Pennsylvania Avenue and the north side of Valley Parkway between Kalima and Ivy Streets.
- 9 Not allowed along Grand Avenue on ground floor within the "retail core area."
- 10 Residential and mixed-use projects are permitted in specified areas, subject to a Planned Development approval in Article 18 of the Zoning Code.
- 11 No residential uses permitted between Woodward Avenue, Washington Avenue, Escondido Boulevard and Broadway.
- 12 Not allowed along Grand Avenue on ground floor between Grand and adjacent alleys.
- 13 Permitted on Local Historic Register properties.
- 14 Drive-through establishments shall be permitted with a Conditional Use Permit, subject to the provisions in Article 18, Section 33-341.
- 15 Prohibited on corner lots of the retail core area.
- 16 Use: Shall have a minimum building floor area of 15,000 square feet.
- 17 **14.9 Only permitted on parcels south of Pennsylvania Avenue.**
- 18 Existing automobile dealerships are a non-conforming use. Conversion of these sites to a new and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
- 19 The use which contains a drive-through facility as a primary use shall be located on a site having minimum frontage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 500 feet from any other business that operates a drive-through as a primary use.

**FIGURE II-2
 PERMITTED AND CONDITIONAL USES
 (Page 7 of 8)**

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
EDUCATION							
Educational facilities for adults	C	P	C	P	P	P	C6
Daycare facilities	C10	C	C	C	C	C	C6
Schools=(primary education)		C		C	C	C	C
Schools=(secondary education)	C6	C		C	C	C	C
COMMUNICATIONS (wireless facilities subject to Article 34)							
Broadcasting (radio and/or television stations)	C7	C	C	C	P	C	C6
Newspaper printing and publishing	C7		C1	C1	C1	C1	C6
TRANSPORTATION AND MISCELLANEOUS SERVICES (subject to Article 57)							
Boutique car sales							
Car dealership, excluding car-rental services							
Car-rental services, excluding maintenance and repair of vehicles			C				
Fleet Storage (as a primary use)							
Fleet Storage (as an accessory use)	P	P	P	P	P	P	P
Junkyard and wrecking yard							
Parking lots (municipal)	P	P	P	P	P	P	P
Parking lots (private full fee)	C	C	C	C	C	C	C
Taxicab, trolley, shuttle and pedicab stands	P	P	P	P	P	P	P

NOTES:

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- Prohibited on corner lots of the retail core area.
- Use Shall have a minimum building floor area of 15,000 square feet.
- ~~4-19 Only permitted on parcels south of Pennsylvania Avenue.~~
- Existing automobile dealerships are a non-conforming use. Conversion of these sites to a view and substantially different use shall require plot plan review or a Conditional Use Permit subject to the provisions in the Permitted Use Matrix.
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**FIGURE II-2
 PERMITTED AND CONDITIONAL USES
 (Page 8 of 8)**

LAND USE	HD*	PV	CCU	GT	M	SG*	CN
TRANSPORTATION AND MISCELLANEOUS SERVICES (subject to Article 57) (continued)							
Tow yard storage							
Tow truck operation incidental to repair				P/C		P/C	
Tractor or heavy truck sales, storage, or rental							
Transit stations including maintenance and repair				P			
Vehicle repair (light)						C	
Vehicle repair (general or commercial)							
Seasonal sales not exceeding 30 days, (including pumpkin, Christmas tree and wreath sales between October 1 and December 31, both dates inclusive, to the extent permitted by other statutory and ordinance provisions). Structures and materials used for seasonal sales shall be removed from the premises immediately after December 31 and the property shall be restored to a neat condition	P	P	P	P	P	P	P
Miscellaneous Government Operations that do not provide direct contact with the public	C	C	C	C	C	C	C

NOTES:

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- Under 3,000 square feet.
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 † The use which contains a drive-through facility as a primary use shall be located on a site having minimum frontage of 100 feet on a Circulation Element Street as indicated in the City's General Plan, and must have a minimum separation of 500 feet from any other business that operates a drive-through as a primary use.

DOWNTOWN DISTRICTS:

- | | |
|-----|------------------------|
| HD | Historic Downtown |
| PV | Park View |
| CCU | Centre City Urban |
| GT | Gateway Transit |
| M | Mercado |
| SG | Southern Gateway |
| CN | Creekside Neighborhood |

NOTE: Should a conflict arise between this matrix and the land-use district text, the land use district text discussion shall take precedence in determining the appropriateness of the land use.

EXHIBIT "B"

FACTORS TO BE CONSIDERED / FINDINGS OF FACTS

PLANNING CASE NO. PL23-0109

Environmental Determinations:

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) ("CEQA"), and its implementing regulations (14 C.C.R. § 15000 et seq.) ("CEQA Guidelines"), the City of Escondido ("City") is the Lead Agency for the project ("Project"), as the public agency with the principal responsibility for approving the Project.
2. The Project qualifies for an exemption from further environmental review pursuant to CEQA Guidelines section 15061 (Common Sense Exemption) because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

The Project also does not trigger any exceptions to the categorical exemption as listed in CEQA Guidelines section 15300.2.

3. The City Council has independently considered the full administrative record before it, which includes but is not limited to the July 11, 2023 Planning Commission Staff Report; testimony by staff and the public; and other materials and evidence submitted or provided to it. The administrative record demonstrates that each of the above requirements have been satisfied. No substantial evidence has been submitted that would support a finding that any of the above-described exemption requirements has not been satisfied. The Project will not have a significant effect on the environment, and all of the requirements of CEQA have been met.

Amendments and Zone Changes (Section 33-1263)

1. *That the public health, safety and welfare will not be adversely affected by the proposed change;*

The Project includes a text amendment to the Downtown Specific Plan (DSP) to allow restaurants, with or without alcohol sales, within the Creekside Neighborhood (CN) district. The Project would only affect the 12 properties south of Pennsylvania Avenue which consist of mostly non-residential uses. The Project would not encroach into the residential properties that fall within the CN district. The proposed amendment would not adversely affect the public health, safety, and welfare.

2. *That the property involved is suitable for the uses permitted by the proposed zone;*

The Project would amend the DSP to allow restaurants with or without alcohol sales in the CN district. The proposed amendment would affect a total of 12 properties south of Pennsylvania Avenue which consist of several parking lots, and nonresidential uses mainly consisting of commercial businesses.

Given the commercial buildout of the area, the affect properties would suitable for the newly permitted use.

3. *That the uses permitted by the proposed zone would not be detrimental to surrounding properties;*

The Project would allow a newly permitted use within the CN district, and does not include a zone change. The Project would amend the DSP to allow restaurants with or without alcohol sales in the CN district.

4. *That the proposed change is consistent with the adopted general plan;*

The Project does not include a zone change and consist of text amendment to the DSP. The text amendment would amend the list of permitted and conditionally permitted uses within the CN district of the DSP. The proposed amendment would be consistent with several General Plan policies as discussed in the staff report.

5. *That the proposed change of zone does not establish a residential density below seventy (70) percent of the maximum permitted density of any lot or parcel of land previously zoned R-3, R-4, or R-5 unless the exceptions regarding dwelling unit density can be made pursuant to the provisions set forth in Article 6;*

The Project is to amend the list of permitted and conditionally permitted uses of the CN district within the DSP. The Project does not include a residential component.

6. *That the relationship of the proposed change is applicable to specific plans.*

The Project is to amend the list of permitted and conditionally permitted uses of the CN district of the DSP. The propose change will be applicable only to 12 properties south of Pennsylvania Avenue within the DSP.

Downtown Specific Plan Strategic Goals (Chapter 1 Section C)

Amendments to the Downtown Specific Plan shall be reviewed against the Downtown SPA Strategic Goals:

7. *An economically viable Downtown with an appropriate mix of retail, office, residential, entertainment and cultural uses.*

The Project would allow for an expansion of an existing business to offer additional amenities including the sale of alcohol. The expansion would allow for new businesses such as restaurants to operate in an area that borders primarily residential to the north and would serve as a connector to the commercial uses on Grand Avenue.

8. *A local and regional destination for specialty shopping, dining, nightlife, employment, culture, and the arts.*

The Project would offer an additional amenity to residents that reside within the CN district of the DSP. The Project is adjacent to residential uses to the north, and further to the west. The Project would expand the businesses current offerings, and will result in additional employment opportunities. Additionally, new businesses may be attracted to this area of the DSP that previously did not allow restaurant uses.

9. *A vibrant and exciting environment with land uses that foster an "18-hour" atmosphere, in addition to areas that provide mixed use, office employment and high-density residential opportunities.*

The Project would allow for non-residential uses such as restaurants that will foster a "18-hour" atmosphere in the DSP, adjacent to high-density residential.

10. *Development and signage that strengthen the character of Downtown and are architecturally compatible with the existing urban fabric.*

The Project does not include any signage, and is to amend the list of permitted and conditionally permitted uses within CN district of the DSP. Any proposed signage would be evaluated against the established signage regulations outlined within the DSP.

11. *Street level and human-scale design elements in new and remodeled developments that improve pedestrian orientation.*

The Project does not include any new or remodeled developments as it is limited to a text amendment to the list of permitted and conditionally permitted uses in the CN district of the DSP.

12. *Preserved historically significant sites and structures that enhance the character of Downtown.*

The Project consist of a text amendment to allow restaurant uses, with or without alcohol, in the CN district of the DSP. No impacts to historically significant sites and structures from the Project are anticipated.

13. *Pedestrian-oriented, ground-floor, specialty retail and restaurant use on Grand Avenue that reinforce and expand its unique character.*

The Project consists of a text amendment to allow restaurant uses, with or without alcohol, in the CN district of the DSP. The Project would only affect 12 properties south of Pennsylvania that fall within the CN district which is approximately two blocks north of Grand Avenue. The Project would allow the affected properties to serve as a connector to the specialty retail and restaurant uses on Grand Avenue.

14. *Higher residential densities in key locations that support Downtown non-residential uses.*

The Project consists of a text amendment to allow additional non-residential uses adjacent to higher density residential areas. The residential areas would be able to support the expanded non-residential uses in the CN district.

15. *A pedestrian environment that provides connections, convenient access and opportunities for alternative modes of transportation.*

The Project consists of a text amendment to allow restaurants, with or without alcohol sales, in an area of the DSP that currently lacks a pedestrian environment. The Project would allow uses that activate the street through active uses such as restaurants and outdoor dining. This would provide an additional opportunity to enhance the pedestrian environment.

16. *Embellished landscaping, public art, comfortable street furniture and décor that improves walkability and pedestrian connections.*

The Project consists of a text amendment to allow restaurants, with or without alcohol sales, within the CN District. No improvements are proposed at this time.

17. *Maximized parking opportunities.*

The Project consists of a text amendment to allow restaurants, with or without alcohol sales, within the CN district. The Project would affect 12 properties south of Pennsylvania Avenue, and is north of the Vehicle Parking Districts. The patrons of the existing and future businesses would be able to utilize parking opportunities on Grand Avenue.



STAFF REPORT

DATE: July 11, 2023

PL23-0109 – Downtown Specific Plan Text Amendment

**PROJECT NUMBER /
NAME:**
**PL23-0109/Downtown Specific Plan Text Amendment to Creekside Neighborhood
District List of Allowable Uses**

REQUEST: A request to amend the land use matrix table of permitted and conditional uses (Figure II-2) of the Downtown Specific Plan (DSP). The amendment consists of a text amendment to allow “All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing” as a permitted use within the Creekside Neighborhood (CN) district of the DSP. The text amendment will only affect properties located on the south side of Pennsylvania Avenue.

PROPERTY SIZE AND LOCATION: The .17-acre site is located on E Pennsylvania Avenue and is addressed at 341 Pennsylvania Avenue. (Assessor’s Parcel Number(s): 229-392-17-00)

APPLICANT: Carina Kennedy

GENERAL PLAN / ZONING: Downtown Specific Plan (SPA 9) / Specific Plan Area (S-P)

PRIMARY REPRESENTATIVE: Carina Kennedy (James Coffee Co.)

DISCRETIONARY ACTIONS REQUESTED: Downtown Specific Plan Text Amendment

PREVIOUS ACTIONS: On March 22, 2023, the City Council authorized the intake of the application and a reduction in fees for processing the application.

CEQA RECOMMENDATION: Categorical Exemption – CEQA Guidelines Section 15061 (Common Sense Exemption)

STAFF RECOMMENDATION: Recommend Approval

REQUESTED ACTION: Approve Planning Commission Resolution No. 2023-10

CITY COUNCIL HEARING REQUIRED: YES NOREPORT APPROVALS: Andrew Firestine, Director of Development Services Adam Finestone, City Planner



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BACKGROUND

The Downtown Specific Plan (DSP) was adopted on August 7th, 2013, by the City Council (PHG13-0018). The purpose of the DSP is to envision Downtown Escondido as a dynamic, attractive, and economically vital city center. Downtown is a pedestrian oriented environment meant to attract local and non-local visitors. Since its adoption, the DSP has been amended several times to reflect changes in land use patterns, and to facilitate development of the Downtown area.

SUMMARY OF REQUEST

Carina Kennedy ("Applicant") has submitted a request to amend the list of permitted and conditional uses outlined in Figure II-2 of the DSP. The text amendment consists of revising the table to allow for "All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing" within a portion of the Creekside Neighborhood (CN) district of the DSP ("Project"). This will allow for the Applicant to apply for a license to sell alcohol from the State of California Department of Alcoholic Beverage Control. The text amendment will only affect 12 properties located on the south side of Pennsylvania Avenue that are within the CN district.

The subject property is located at 341 Pennsylvania Avenue and is bounded by North Juniper Street to the west and North Ivy Street to east (see Attachment 1 for Location, General Plan land use designation, and zoning).

SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: .17 gross acres

PROJECT ANALYSIS

1. General Plan Conformance:
 - a. Land Use and Community Form:

The City's 2012 General Plan land use designation for the project site is Specific Plan Area (SPA 9, Downtown Specific Plan) which encompasses approximately 475 gross acres. The proposed Project conforms to several policies outlined in SPA 9 Guiding Principles such as offering a dynamic, attractive, economically vital center to residents and non-residents. The Project will provide additional amenities to an area of the Downtown Specific Plan that currently lacks restaurant uses, and is consistent with the vision outlined in the City's 2012 General Plan.

- b. Economic Prosperity

The Project is consistent with several policies outlined in the Economic Prosperity Element of the City's 2012 General Plan including:



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Small Business and Entrepreneurship Policy 3.2: Identify and remove obstacles to the formation and expansion of local business, where appropriate.

The Project would allow a small business expand its current offerings to include the sale of alcoholic beverages in conjunction with the coffee and pastries they already offer. This additional service would allow for the business to expand its offerings and contribute to its success as a small business.

2. Zoning or Specific Plan Conformance:

The Project site is located within the Creekside Neighborhood (CN) of the Downtown Specific Plan (DSP). As stated above, the purpose of the DSP is to facilitate an economically vibrant downtown with a variety of services and business for locals and non-locals. The CN district encompasses approximately 28 acres located in the northeast corner of the DSP, Pennsylvania and Washington avenues (north/south) and Kalmia and Hickory streets (east/west). The area is in close proximity to Downtown's amenities, and would offer an additional service to those who live within the CN district and surrounding area. Additionally, the proposed text amendment would affect only a small number of parcels located on the south side of Pennsylvania Avenue, and would not affect the entirety of the CN district.

ENVIRONMENTAL ANALYSIS

California Environmental Quality Act ("CEQA") Guideline's list classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from further environmental review under CEQA. The Project qualifies for an exemption under CEQA Guidelines section 15061 (Common Sense Exemption) as it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The CEQA Notice of Exemption prepared for the Project is incorporated into this staff report by this reference (see Attachment 2). The Notice of Exemption demonstrates that the Project qualifies for these exemptions and will not have a significant effect on the environment.

PUBLIC INPUT

The project was noticed consistent with the requirements of both the Escondido Zoning Code and the State Law. Staff has not received any correspondence from the public regarding the project as of the preparation of this report.

CONCLUSION AND RECOMMENDATION

Staff has found that the proposed project is consistent with the guiding principles identified in the Land Use and Community Form Element and the Economic Prosperity Element of the Escondido General Plan, and the Downtown Specific Plan.

Staff recommends that the Planning Commission adopt Resolution No. 2023-10, recommending approval of the proposed Downtown Specific Plan Text Amendment as described in this staff report, as detailed in Exhibits "A" and "B" of Resolution No. 2023-10. The draft Planning Commission Resolution No. 2023-10, including Exhibits "A" and "B", is included as Attachment 3 to this staff report.



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ATTACHMENTS

1. Location and General Plan Map
2. CEQA Notice of Exemption
3. Draft Planning Commission Resolution No. 2023-10 including Exhibits A and B



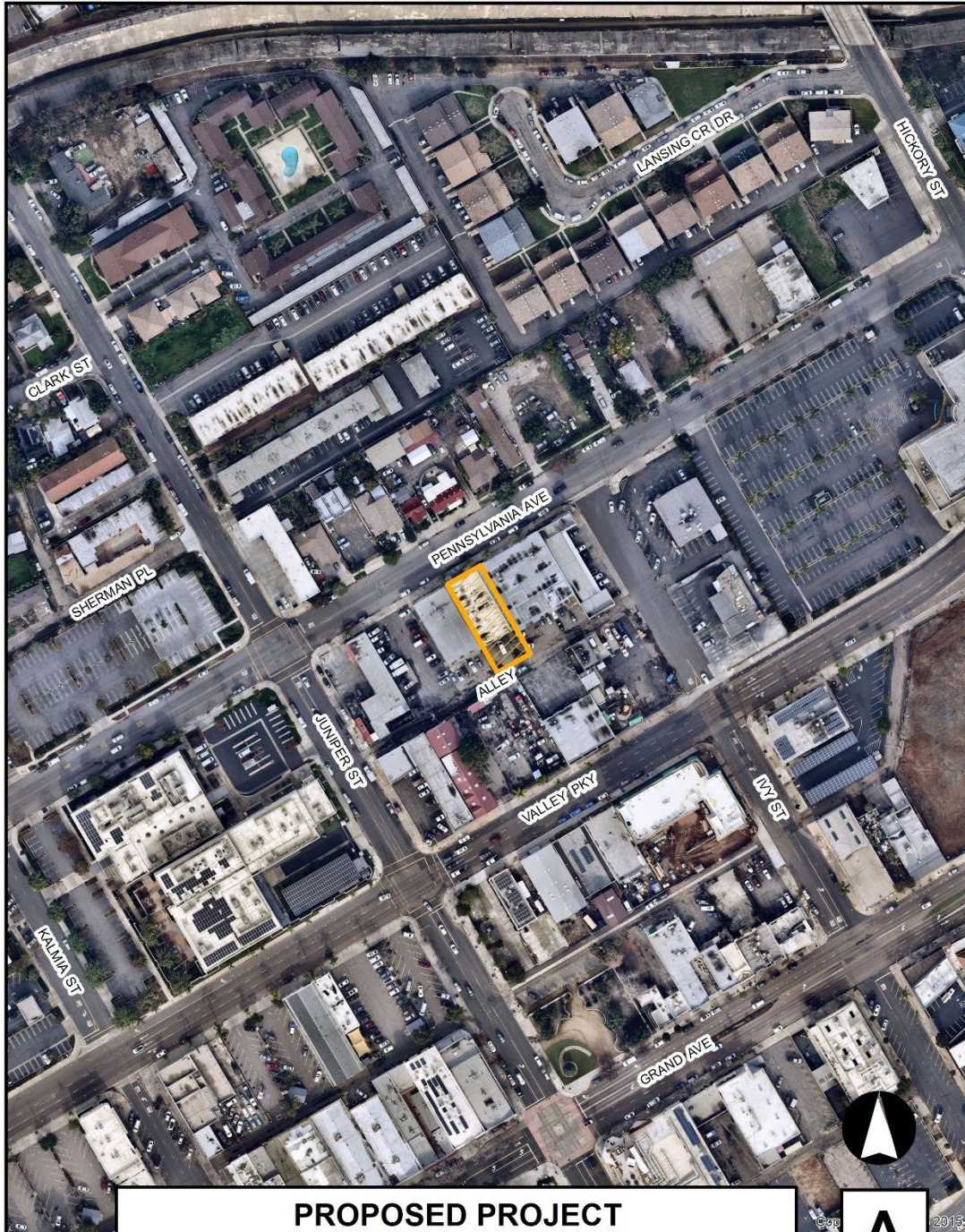
Attachment "1"

Item 12.

CITY of ESCONDIDO

STAFF REPORT

Attachment 1



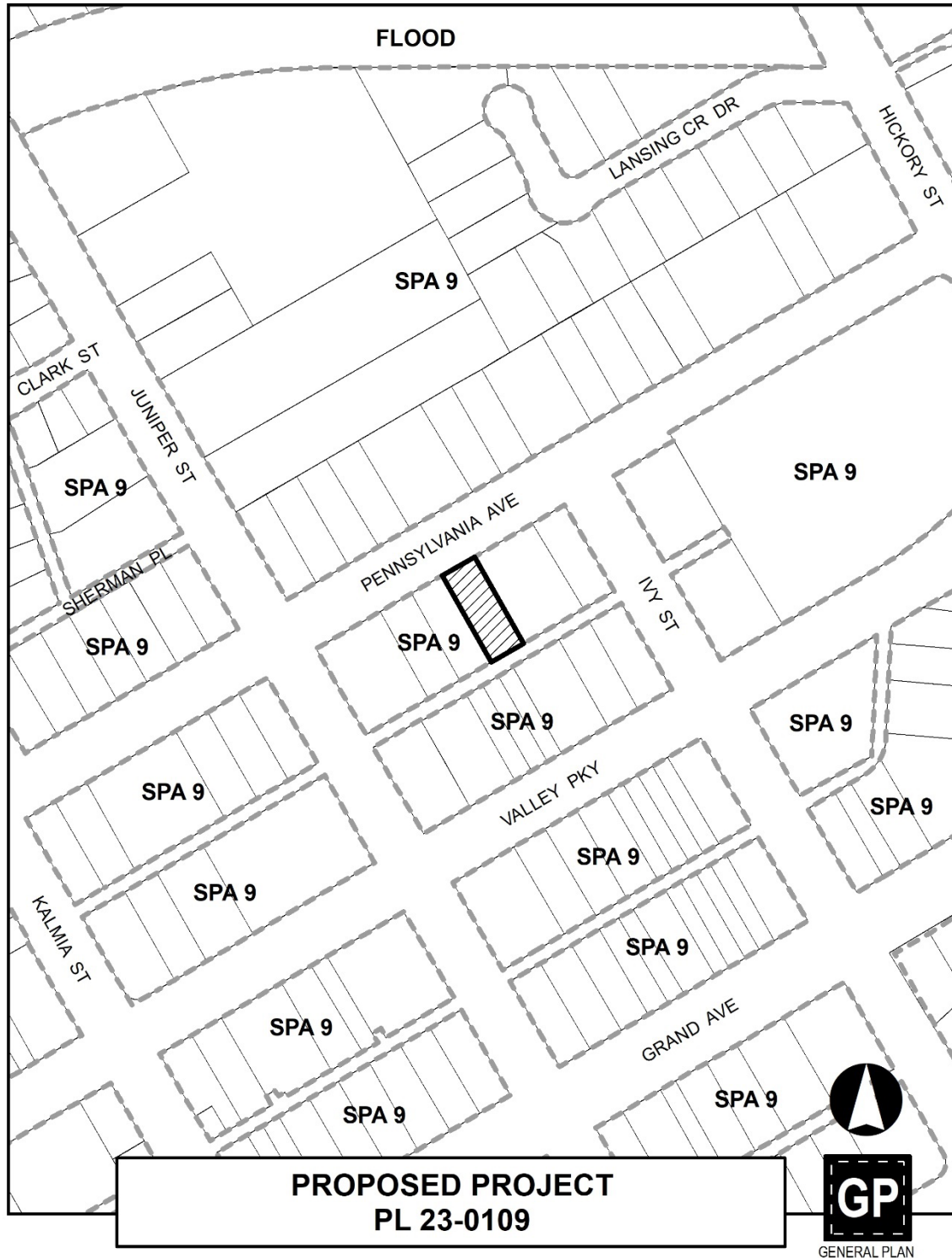
**PROPOSED PROJECT
PL 23-0109**





CITY of ESCONDIDO

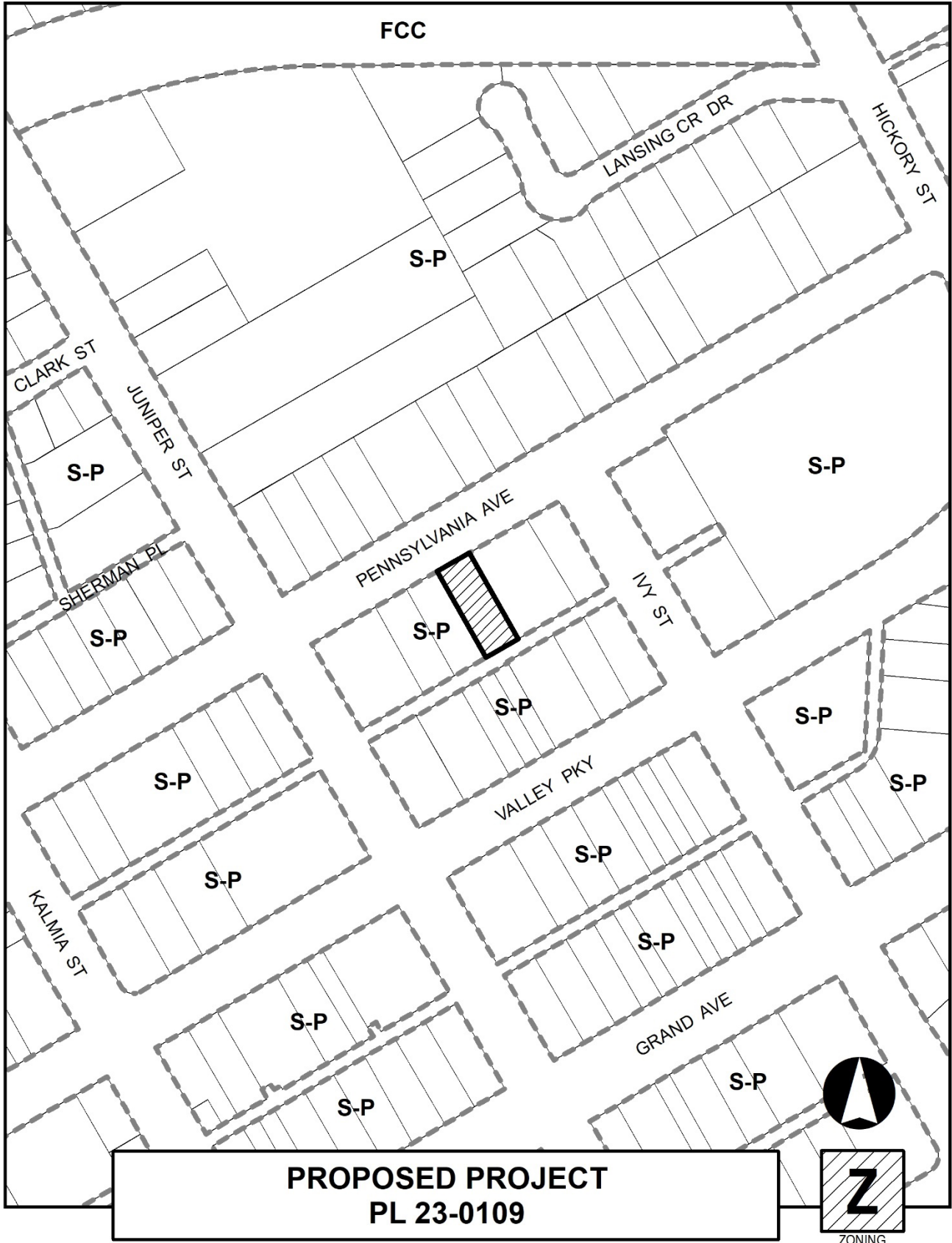
STAFF REPORT





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**PROPOSED PROJECT
PL 23-0109**





CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
760-839-4671

Notice of Exemption

To: Assessor/Recorder/County Clerk
Attn: Fish and Wildlife Notices
1600 Pacific Hwy, Room 260
San Diego, CA 92101
MS: A-33

From: City of Escondido
Planning Division
201 North Broadway
Escondido, CA 92025

Project Title/Case No: PL23-0109/Downtown Specific Plan Text Amendment

Project Location - Specific: The Project site is located at 341 Pennsylvania Ave. and is bounded by Juniper Street to the west and Ivy Street to the east. The Project would affect 12 properties on the south side of Pennsylvania Avenue bounded by Kalmia Street to the west and Ivy Street to the east.

Project Location - City: Escondido Project Location - County: San Diego

Description of Project: A request to amend the land use matrix table of permitted and conditional uses (Figure II-2) of the Downtown Specific Plan (DSP). The amendment consists of a text amendment to allow "All types of eating establishments providing meal service from an on-site operating commercial-grade kitchen, and / or dessert service from an on-site operating commercial-grade freezer / refrigerator facility with, or without, incidental sale of alcohol (including micro-breweries and outdoor dining, but with no drive-through), with no live amplified entertainment or dancing" as a permitted use within the Creekside Neighborhood (CN) district of the DSP. The text amendment will only affect properties located on the south side of Pennsylvania Avenue.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name: Carina Kennedy (James Coffee Co.)

Address: 341 Pennsylvania Avenue

Telephone: 619-961-5805

Private entity School district Local public Agency State agency Other special district

Exempt Status: The project is categorically exempt pursuant to CEQA Guidelines section 15061 (Common Sense Exemption) as it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

Reasons why project is exempt: The project is a minor text amendment to a list of permitted uses within the CN district of the DSP. The project does not require the construction of buildings for the newly permitted use. The type of use being permitted through this project is subject to existing City policies and ordinances that would minimize any impacts to the environment.

Lead Agency Contact Person: Ivan Flores

Area Code/Telephone/Extension: 760-839-4529

Signature: _____

Ivan Flores, AICP
Associate Planner

Date

Signed by Lead Agency
Signed by Applicant

Date received for filing at OPR:



STAFF REPORT

August 16, 2023
File Number 0680-10

SUBJECT

CAMPAIGN CONTRIBUTION UPDATE

DEPARTMENT

City Clerk's Office

RECOMMENDATION

Request the City Council receive and file an update on campaign contribution regulations in the State of California.

Staff Recommendation: Receive and File (City Clerk's Office: Zack Beck, City Clerk)

Presenter: Zack Beck, City Clerk

PREVIOUS ACTION

On November 18, 2020, the City Council adopted Ordinance No. 2020-27 which states that, *"No person other than a candidate shall make, and no campaign treasurer shall solicit or accept, any contribution which will cause the total amount contributed by such person with respect to a single election in support of or opposition to such candidate, including contributions to all controlled committees supporting such candidate, to exceed one thousand dollars (\$1,000.00) for any single election for a city council district office, or to exceed one thousand seven hundred fifty dollars (\$1,750.00) for any single election for the office of mayor or city treasurer."*

In 2020, the California Legislature passed Assembly Bill (AB) 571, which applies a default campaign contribution limit to city candidates when the city has not already enacted a contribution limit. The 2023-2024 contribution limits for city candidates in cities that have not enacted limits is \$5,500. Please note that none of the provisions of AB 571 apply to candidates in Escondido, since the City has enacted campaign contribution limits.

BACKGROUND

In 2022, the California Legislature passed Senate Bill (SB) 1439, a bill that amended Section 84308 (Attachment 1) of the Political Reform Act. The changes took effect on January 1, 2023. SB 1439 provides that local elected officials – including city council members – are now required to "conflict out" of certain proceedings involving persons that made contributions to their respective political campaigns. The statute also prohibits officials from accepting, soliciting, or directing contributions exceeding \$250 from a party



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to or participant in the proceeding, or their agents, while such a proceeding is pending and for 12 months after the final decision in the proceeding.

On June 15, 2023, the Fair Political Practices Commission (FPPC) adopted new and amended regulations, to clarify some of the questions raised by public agencies as to how to implement SB 1439. Many questions still remain as to how the new law will work in practice. Highlights of the new and amended regulations include:

- **Applicability.** The FPPC confirmed that the Levine Act’s amended provisions do not apply to contributions made or received, or proceedings participated in, prior to January 1, 2023, for elected officials.
- **Definition of “Pending” Proceeding.** The FPPC created a context-specific approach to determining when a proceeding is “pending” for purposes of the Levine Act.
 - *With respect to officers,* a proceeding is considered “pending” when (1) the decision is before the officer (for members of the governing body, this includes when the item is placed on the agenda for discussion or decision at a public meeting of the body) or (2) it is reasonably foreseeable the decision will come before the officer and the officer knows or has reason to know the decision is within the jurisdiction of the agency.
 - *With respect to a party or participant,* a proceeding is “pending” once the entitlement for use decision is within the jurisdiction of the agency (e.g., once the application has been filed). This means parties and participants must refrain from making contributions exceeding \$250 to an officer, once an application has been filed with the agency, even though the decision has not yet come before the officer. However, officers would not be at risk of violating the Levine Act by accepting a contribution from a party or participant in instances where the officer does not know or have any reason to know about the proceeding.
- **Definition of “Knows or Has Reason to Know.”** Under the Levine Act, when an officer knows or has reason to know that a participant has a financial interest in a proceeding, the officer is prohibited from accepting, soliciting, or directing a contribution exceeding \$250 from the participant. Likewise, an officer is prohibited from taking part in a proceeding if, within the preceding 12 months, the officer has willingly or knowingly received a contribution exceeding \$250 from a party or party’s agent, or participant or participant’s agent if the officer knows or has reason to know of the participant’s financial interest in the decision.
 - The FPPC has clarified that an officer knows or has reason to know of a participant’s financial interest in a decision only if the officer has actual knowledge of the financial



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- Party's Obligation to Disclose Contributions.** On the date a party to a proceeding files an application or other request initiating the proceeding, the party must disclose the amount of any contribution(s) made within the preceding 12 months and the names of the contributors. For a contribution made during any stage of the proceeding, the party must disclose the contribution within 30 days of making the contribution, or on the date on which the party makes its first appearance before or communication with the agency regarding the proceeding following the contribution, whichever is earliest. (Amended Regulation 18438.8.)
- Definition of "Officer."** The FPPC revised the definition of "officer of the agency" to provide that an "officer" is an individual who may make, participate in making, or attempt to influence a decision in the proceeding or who exercises authority over officers who may do so. The definition specifically includes an individual who is a candidate for elected office or who has ***been a candidate in the 12 months prior to the decision.*** (Amended Regulation 18438.1.) This means that the Levine Act applies to an officer even if the officer has already lost the election.
- Definition of "Agent."** The FPPC clarified that a person acting as the representative of a party or participant in a proceeding must also be ***compensated*** in order to be considered an "agent" for purposes of the Levine Act. (Amended Regulation 18438.3.)
- Aggregation.** Contributions made by a party and a party's agent, or a participant and a participant's agent, are aggregated for purposes of the Levine Act's \$250 limit. The FPPC clarified the rules regarding aggregation, and specifically excluded ***uncompensated officers of nonprofit organizations*** from the aggregation requirement. (Amended Regulation 18438.5.)
- Legally Required Participation.** Applies "legally required participation" exception to officers otherwise disqualified under the Levine Act. (Regulation 18705.)

City of Escondido Ordinance No. 2019-07 requires online or electronic reporting of contributions and independent expenditures regarding elections of candidates to city offices in order to facilitate review and maximize the availability of this information to the public. Those contributions are available for the public to view on the City's Website at the following link: <https://public.netfile.com/pub2/?AID=ESC>

In order to comply with SB 1439, the City Clerk's Office will monitor campaign contributions and work with the City Attorney's Office to determine when an officer is prohibited from taking part in a proceeding.

ATTACHMENTS

- Attachment 1 - California Government Code § 84308

California Government Code § 84308

(a) The definitions set forth in this subdivision shall govern the interpretation of this section.

(1) "Party" means any person who files an application for, or is the subject of, a proceeding involving a license, permit, or other entitlement for use.

(2) "Participant" means any person who is not a party but who actively supports or opposes a particular decision in a proceeding involving a license, permit, or other entitlement for use and who has a financial interest in the decision, as described in Article 1 (commencing with Section 87100) of Chapter 7. A person actively supports or opposes a particular decision in a proceeding if that person lobbies in person the officers or employees of the agency, testifies in person before the agency, or otherwise acts to influence officers of the agency.

(3) "Agency" means an agency as defined in Section 82003 except that it does not include the courts or any agency in the judicial branch of government, the Legislature, the Board of Equalization, or constitutional officers. However, this section applies to any person who is a member of an exempted agency but is acting as a voting member of another agency.

(4) "Officer" means any elected or appointed officer of an agency, any alternate to an elected or appointed officer of an agency, and any candidate for elective office in an agency.

(5) "License, permit, or other entitlement for use" means all business, professional, trade, and land use licenses and permits and all other entitlements for use, including all entitlements for land use, all contracts (other than competitively bid, labor, or personal employment contracts), and all franchises.

(6) "Contribution" includes contributions to candidates and committees in federal, state, or local elections.

(b) While a proceeding involving a license, permit, or other entitlement for use is pending, and for 12 months following the date a final decision is rendered in the proceeding, an officer of an agency shall not accept, solicit, or direct a contribution of more than two hundred fifty dollars (\$250) from any party or a party's agent, or from any participant or a participant's agent if the officer knows or has reason to know that the participant has a financial interest, as that term is used in Article 1 (commencing with Section 87100) of Chapter 7. This prohibition shall apply regardless of whether the officer accepts, solicits, or directs the contribution on the officer's own behalf, or on behalf of any other officer, or on behalf of any candidate for office or on behalf of any committee.

(c) Prior to rendering any decision in a proceeding involving a license, permit, or other entitlement for use pending before an agency, each officer of the agency who received a contribution within the preceding 12 months in an amount of more than two hundred

fifty dollars (\$250) from a party or from any participant shall disclose that fact on the record of the proceeding. An officer of an agency shall not make, participate in making, or in any way attempt to use the officer's official position to influence the decision in a proceeding involving a license, permit, or other entitlement for use pending before the agency if the officer has willfully or knowingly received a contribution in an amount of more than two hundred fifty dollars (\$250) within the preceding 12 months from a party or a party's agent, or from any participant or a participant's agent if the officer knows or has reason to know that the participant has a financial interest in the decision, as that term is described with respect to public officials in Article 1 (commencing with Section 87100) of Chapter 7.

(d) (1) If an officer receives a contribution which would otherwise require disqualification under this section, and returns the contribution within 30 days from the time the officer knows, or should have known, about the contribution and the proceeding involving a license, permit, or other entitlement for use, the officer shall be permitted to participate in the proceeding.

(2) (A) Subject to subparagraph (B), if an officer accepts, solicits, or directs a contribution of more than two hundred fifty dollars (\$250) during the 12 months after the date a final decision is rendered in the proceeding in violation of subdivision (b), the officer may cure the violation by returning the contribution, or the portion of the contribution in excess of two hundred fifty dollars (\$250), within 14 days of accepting, soliciting, or directing the contribution, whichever comes latest.

(B) An officer may cure a violation as specified in subparagraph (A) only if the officer did not knowingly and willfully accept, solicit, or direct the prohibited contribution.

(C) An officer's controlled committee, or the officer if no controlled committee exists, shall maintain records of curing any violation pursuant to this paragraph.

(e) (1) A party to a proceeding before an agency involving a license, permit, or other entitlement for use shall disclose on the record of the proceeding any contribution in an amount of more than two hundred fifty dollars (\$250) made within the preceding 12 months by the party or the party's agent.

(2) A party, or agent to a party, to a proceeding involving a license, permit, or other entitlement for use pending before any agency or a participant, or agent to a participant, in the proceeding shall not make a contribution of more than two hundred fifty dollars (\$250) to any officer of that agency during the proceeding and for 12 months following the date a final decision is rendered by the agency in the proceeding.

(3) When a closed corporation is a party to, or a participant in, a proceeding involving a license, permit, or other entitlement for use pending before an agency, the majority shareholder is subject to the disclosure and prohibition requirements specified in this section.

(f) This section shall not be construed to imply that any contribution subject to being reported under this title shall not be so reported.



STAFF REPORT

August 16, 2023
File Number 0610-90

SUBJECT

PUBLIC COMMENT POLICY

DEPARTMENT

City Clerk's Office

RECOMMENDATION

Request the City Council consider and provide direction to staff regarding the City of Escondido's ("City") current public comment policy.

Staff Recommendation: Provide Direction (City Clerk's Office: Zack Beck)

Presenter: Zack Beck, City Clerk

PREVIOUS ACTION

On May 24, 2023, Councilmember Morasco requested a future agenda item to discuss the City's public comment policy. On June 21, 2023, Council discussed the City's current public comment policy and requested that adjustments to the City's public comment policy be considered at a future meeting.

BACKGROUND

Current City Council Meeting Practice.

City Council meetings are live streamed on the City's webpage at <https://www.escondido.org/meeting-broadcasts> and are available for viewing on public television on Cox Communications Channel 19 in Escondido. The public is (and has always been) able to view archived meetings on the City's website.

In order to address the needs for public comment under the Brown Act as suspended and modified by executive orders during the pandemic, the City implemented the practice of allowing the public to submit comments on the City's website at: <https://escondido-ca.municodemeetings.com/bc-citycouncil/webform/public-comment> on March 25, 2020.

The City Clerk circulates comments submitted through this portal to the City Council before the meeting and reads the comments submitted before the deadline (4:00 p.m. the day before the Council Meeting) aloud for both oral communications and agenda items during the Council Meeting.



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In all cases, the Clerk reads the public comments verbatim received on agenda and non-agenda items at the meeting for up to the (pre-existing) three minute speaking time. Thereafter, the Clerk's Office makes all public comments a part of the public record.

On February 3, 2021, the City Council directed staff to continue the practice of allowing comments to be submitted electronically and read into the record by the City Clerk.

Public Comment Practices in San Diego County

The City Clerk's Office studied how other local public agencies are handling public comment for their jurisdictions. Of the eighteen cities surveyed in San Diego County, nine allow comments to be submitted electronically by the public (Carlsbad, Chula Vista, Del Mar, Encinitas, Escondido, Imperial Beach, Oceanside, National City, San Diego). Of those cities that do provide for electronic submission of public comments, two read the comments into the record and circulate the comments to the City Council (Escondido and Imperial Beach). The remaining cities do not read comments into the record and circulate them to the City Council.

Conclusion

The Clerk's Office accepts public comments electronically through the City's website and then distributes those written public comments to allow the councilmembers to read them before the meeting. The Clerk thereafter publicly reads the comments verbatim for up to three minutes at the meeting. The public comments are then permanently filed as part of the minutes of the meeting. The City Council may adjust the proposed Council Policies and Rules of Procedure (Resolution No. 2023-111) as they see fit in order to codify the public comment policy.

ATTACHMENTS

- a. Attachment "1" – Draft of Resolution No. 2023-111

RESOLUTIONS

- a. Resolution No. 2023-111

RESOLUTION NO. 2023-111

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, AMENDING AND READOPTING RULES OF PROCEDURE FOR CITY COUNCIL MEETINGS AND CITY COUNCIL POLICIES

WHEREAS, the City Council of the City of Escondido, State of California, has previously adopted resolutions which provide Rules of Order and Procedure for City Council meetings and certain written policies governing Council procedures, methods of operation and ethics which are amended from time to time; and

WHEREAS, the City Council wishes to re-adopt its Rules and Policies for the purpose of including certain amendments and clarifications.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

- 1. That the above recitations are true.
- 2. That the following Rules shall govern the City Council:

Section A: Rules of Order and Procedure

- 1. Time of Regular Meetings.

Unless the City Council schedules otherwise or cancels a meeting, the City Council shall hold regular meetings at 4:00 p.m. commencing with closed session items and thereafter at 5:00 p.m. commencing with a public session on each of the first four (4) Wednesdays of each calendar month at the City Hall.

- 2. Matters Covered.

For the purpose of efficiently focusing only on matters affecting the City of Escondido, the Council should consider those resolutions, motions or matters which affect the conduct of the business of the City of Escondido or its corporate powers or duties as a municipal corporation, or such resolutions or motions supporting or

disapproving legislation or actions pending in the Legislature of the State of California, the Congress of the United States or before any officer or agency of said State or nation where such proposed legislation or action, if adopted, will affect the conduct of the municipal business or the powers and duties of the City of Escondido or its officers or employees as such.

3. Order of Business. Regular business of the Council at the 5:00 p.m. public session shall be taken up for consideration in substantially the following order, except as may be otherwise ordered by the Mayor or Council:

- a. Moment of Reflection
- b. Flag Salute
- c. Roll Call
- d. Closed Session Report
- e. Proclamations/Presentations
- f. Oral Communications (up to 15 minutes or as directed by the Mayor)
- g. Consent Calendar, including Affidavits of Publications, Mailing, Posting, Warrant Register & Minutes Approval
- h. Public Hearings
- i. Current Business Matters
- j. Future Agenda Items
- k. Council Members Subcommittee Reports
- l. Council Member Reports
- m. City Manager's Weekly Activity Report Highlights
- n. Oral Communications
- o. Adjournment

4. Consent Calendar Defined.

Those items on the Council agenda which are generally considered routine matter of business such as the approval of minutes, approval of the warrant register, Notices of Project Completion, Treasurer's Quarterly Investment Report, certain contract and grant

awards, resolutions setting hearings, final maps, and various leases and agreements are listed on the "Consent Calendar" and shall be adopted by one motion unless Council, staff or a member of the public requests specific items to be discussed and/or removed for separate action. Those items so approved under the heading "Consent Calendar" will appear in the Council minutes in their proper form, i.e., resolution accepting grant deed or easement, approval of minutes, award of bid, etc.

From time to time, the Council may schedule a "workshop" style meeting. Such workshops shall comply with all applicable noticing laws and shall be dedicated primarily to general information gathering and sharing, discussion and possible direction to staff. Final actions of the Council shall not take place at workshop sessions.

5. Oral Communications.

Time has been reserved near the ~~beginning and~~ end of each regular meeting agenda to provide an opportunity for members of the public to directly address the Council on items of interest to the public. The Mayor as the presiding officer ~~may set a limit on the time at the beginning of the meeting devoted to oral communications and~~ may at his or her discretion ~~reduce or~~ extend the time for a speaker or speaker representative to address the Council ~~consistent with the Ralph M. Brown Act. Members of the public that speak during "Oral Communications" may not demand audio/visual support from the City Clerk or City Staff.~~ Comments on an item already appearing on the agenda shall only be taken at the time reserved for discussion of that agenda item. No action will be taken by the Council on items discussed under Oral Communications, except to refer the matter to staff or schedule for future action.

6. Electronic Public Comment

Members of the public can submit comments electronically through the City's Website for items on the agenda as well as "Oral Communications." Comments

submitted electronically will, if feasible, be provided to the City Council by the City Clerk prior to the council meeting for which the comments apply. Those comments shall thereafter be permanently filed with the minutes of the meeting.

7. Council Member Reports.

The Council Member Report agenda item provides members of the Council an opportunity to report matters of general interest to the public and their fellow Council Members. No actions, votes or further discussions shall occur on any such matter(s).

8. Council Action on Agenda Matters.

Prior to any vote or discussion by the Council on a matter to be decided on the agenda, City staff shall provide a presentation and/or answer questions, if requested, and thereafter, any Council member may seek recognition by the presiding officer and make a motion to adopt such item, and thereafter, the presiding officer shall determine if another Council member, including the presiding officer, seconds the motion. If the motion receives a second, the matter may be debated before putting the motion to a vote of the Council. A motion that fails to obtain a second or a majority vote shall die.

9. Manner of Addressing Council - Time Limit.

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- b. Whenever any group of persons wishes to address the Council on the same subject matter, it shall be proper for the presiding officer to request that a spokesperson be chosen by the group to address the Council and, in case additional matters are to be presented at the time by any other member of the said group, to limit the number of persons so addressing the Council so as to avoid unnecessary repetitions before the Council.
- c. City staff presentations and responses to Council questions are not governed by this time limit.

10. Posting of Agenda.

At least 72 hours before a regular meeting, the City Clerk shall post a certified copy of the agenda specifying the time and location of the regular meeting in a place accessible so as to be available for review by members of the public.

11. Content of Agenda.

Under state law, the City Council is limited to consideration of items which are on a posted agenda. Items may be placed on an agenda by city staff, by the Mayor, or upon the request of an individual Council member in coordination with the City Manager. The City Manager shall be in charge of preparing the Council agenda and all items shall be coordinated with the City Manager. To the fullest extent practicable, any items placed on the agenda by the Mayor, any Council member or City staff should also be listed under "Future Agenda Items" as early as possible to assure the best possible advance notice of the nature of items and discussion which are upcoming.

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The City of Escondido recognizes members of the public, groups, or other entities in different ways. Individual Councilmembers may request the preparation of a

Certificate of Achievement, Acknowledgment, or Recognition (depending on the circumstances) to be presented in their individual capacity as a member of the City Council. Such certificates shall be prepared by the City Manager's office in a manner such as to preserve consistency in design and form of the City. Such certificates shall be requested directly from the City Manager's office, with ample advance notice to the City Manager's office to enable preparation and delivery. Each Council member requesting a certificate shall be solely responsible for providing the content and verifying the accuracy of the document. Multiple Councilmembers may sign and present such certificates subject to coordination among themselves.

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The Mayor or any Councilmember may request that a presentation to the City Council at a regular meeting be made by members of the public, other public entities, or

other groups, on issues of interest to the City Council or members of the public. Such presentations shall be coordinated with the Mayor and the City Manager's office and shall be subject to scheduling in a manner that does not interfere with the need to conduct normal City business. Any disagreement with whether or not such a presentation is to be scheduled shall be resolved by a majority vote of the City Council.

13. Closing Time of Council Meetings.

No agenda item may be introduced after the hour of 10:00 p.m.; however, the meeting may be extended beyond 10:00 p.m. upon a majority vote of the Council members.

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- b. The presiding officer shall at any time by majority consent of the Council members, permit a Council member to propose the reordering of agenda items.
- c. If a question contains two or more divisible propositions, the presiding officer may, and upon request of a Council member shall, divide the same.

15. Precedence of Motions.

- a. When a motion is before the Council, no motion shall be entertained except (precedence in order indicated):
 - (1) To adjourn
 - (2) To fix hour of adjournment

- (3) To lay on the table
 - (4) For the previous question
 - (5) To postpone to a certain day
 - (6) To refer
 - (7) To amend
 - (8) To postpone indefinitely
- b. A motion to adjourn shall be in order any time, except as follows:
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- c. A motion to adjourn "to another time" is debatable only as to the time to which the meeting is adjourned.
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- e. A motion for previous question shall close debate on the main motion and shall be undebatable. The statement by a Council member of "question" does not accomplish the same purpose. If a motion fails, debate is reopened; if motion passes, then vote shall be taken on the main motion.
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an amendment relating to a different matter shall not be in order. A substitute motion on the same subject shall be acceptable and amendments are to be voted first, then the main motion is amended.

g. A motion to postpone indefinitely shall be fully debatable and if the same is adopted, the principal motion shall be declared lost. A motion to postpone to a definite time shall be amendable and debatable as to propriety of postponement and time set.

h. A motion to refer shall not be debatable except for the propriety of referring.

16. Administrative Mandamus.

Persons who are dissatisfied with a decision of the City Council may have the right to seek review of that decision by a court. In addition, the City has adopted Section 1094.6 of the Code of Civil Procedure which generally limits to ninety (90) days the time within which the decision of City boards and agencies may be judicially challenged.

17. Appeals; Continuances.

Any person appealing an action of a City Board or Commission or City Staff to the City Council has a right to two two-week postponements of the initial hearing scheduled on the appeal. After exhaustion of this right, the appeal shall be considered withdrawn. This procedure shall not limit the ability of the City Council to continue a hearing which has commenced to a subsequent meeting to receive additional public testimony or information from City Staff.

18. Reconsideration.

Any member of the Council, voting in the majority on any action of the Council, may at the same meeting, or at a subsequent time, request the Council reconsider an action. A reconsideration request made by a member of the Council voting in the minority

shall not be allowed, except when made more than one (1) year after the date of the original action.

All requests for reconsideration of a Council action shall be provided to each Council member, and the City Manager in writing or via electronic mail, and the request shall be placed on the next available agenda. In the event an item to be reconsidered requires public notice, it shall be calendared and noticed after Council determines when reconsideration shall occur.

19. Personal Privilege.

The right of any Council member to address the Council on a question of personal privilege shall be limited to cases in which his/her integrity, character or motives are questioned.

20. Council Conduct.

Each member of the Council shall act in a courteous and respectful manner to all members of the Council, including providing each member the full opportunity to ask questions, voice opinions and make statements without interruption during closed and open sessions of the Council.

21. Parliamentarian.

A majority vote of the Council shall generally control matters of procedure not addressed by this Resolution. The City Attorney shall decide all other questions of interpretations of these rules and any other questions of a parliamentary nature which may arise at a City Council meeting.

22. Voting and Non-Profit Entity Membership.

It shall be the policy of this Council that a council member who serves on the governing board of a private non-profit entity shall not participate in the discussion or voting process to determine whether or not that entity receives City funds. In the event

the request of a non-profit entity with a council member on its governing board is part of a larger request involving several items, or is part of the budget process, a separate vote shall be taken to allow the necessary abstention.

23. Selection of Chairperson.

In the event that the Mayor and the Deputy Mayor are absent from a City Council meeting, the three remaining Council members present shall promptly determine which Council member will conduct and serve as the chairperson of the meeting.

24. Decorum and Security.

- a. While the City Council is in session, the Council members, staff, and members of the public are expected to act in a manner to preserve order and decorum for the meeting. No person shall engage in disorderly or disruptive behavior during the meeting. No person shall, either by conversation, applause, shouting, or any other conduct, interrupt or delay the proceedings.
- b. The City Manager, in coordination with the Mayor and/or Deputy Mayor, are authorized to and shall designate and post signs specifying those areas of the Chamber for the media wishing to record the meeting, areas for staff presentations, and areas which are restricted to City employees and elected officials.
- c. Signs, placards, posters, or similar objects which are larger than 8.5 by 11 inches and which disrupt the proceedings shall not be displayed during Council proceedings by members of the public.

Section B: City Council Policies.

1. Correspondence with Members of the City Council.

The purpose of this policy is to provide for a coordinated response to correspondence (i.e. letters, emails, and similar items) which is sent to the City generally,

or in which the same correspondence is sent in identical fashion to all Council members. In such circumstances, the Council directs that the Mayor (or as appropriate the City Manager or City Attorney) shall answer such correspondence on behalf of the City, according to the procedure set forth below.

In addition to individual e-mail addresses, the City Manager's Office shall also establish a shared email address by which citizens may direct emails to all Council members at the same time. The shared email address shall be featured on the City's website and in other publications in such a manner as to allow citizens to use the address and thereby communicate with all Council members at the same time. All Council members shall have access to review items in the mailbox at all times. All responses to such emails shall also be sent from the shared mailbox, such that all Council members may review such responses.

With respect to other communications, such as those involving other governmental entities, organizations, and related entities where such communication occurs between the entities rather than specific individuals, the Mayor shall respond on behalf of the City, with copies to all Council members. Matters involving routine city administrative issues shall generally be responded to by either the City Manager or City Attorney, as appropriate, on behalf of the City. With respect to correspondence that consists of invitations to events, the Mayor and Council shall coordinate such invitations with the City Manager's support staff.

Because substantial portions of City Council communication, whether electronic or written, is subject to California's Public Records laws, all City Council communications shall be coordinated with the City Manager for the purpose of compliance with various laws governing public records. All Council members using city computers shall be subject to the City's Administrative Directives regarding computer use.

2. Press Releases.

All press releases on behalf of the City shall be issued on City letterhead and only on behalf of the City generally or the entire City Council. Press releases shall be prepared and coordinated by the City Manager's Office.

3. Council Calendar.

The responsibility for managing the calendars of the City Council and the City Council members shall be delegated to the City Manager's secretary.

4. Audits.

Staff shall informally assist the City Council in a periodic accounting of individual expenditures for travel, phone use, etc.

5. Council Travel Policy.

Council members shall be bound by all City policies, as expressed in Administrative Directives or otherwise, regarding travel on City business.

The City Council shall fix an amount in the City Council budget which each Council member may use for business-related education and travel expenses, including attendance at seminars, conferences and other related educational opportunities. These funds will be separate from any budget established for Council member participation in committees associated with other public agencies and entities. If these funds are not used during the fiscal year appropriated, they shall be returned to the General Fund.

Elected officials shall provide brief reports on meetings attended at the City's expense at the next regular City Council meeting. If multiple elected officials attended, a joint report may be made. Reports may be provided in writing as part of the Agenda packet distribution.

6. Council Communication with Staff.

The Council members shall request information or give direction only to the City Manager or City Attorney, or those persons designated by the City Manager or City Attorney to assist the Council members in such inquiries or requests. Requests for information should be directed to the City Manager, although incidental or minor requests (not involving analysis or significant time) may be requested directly from department heads, with a copy to the City Manager. Requests which involve change of policy, expenditure of funds, or use of significant staff time shall be submitted to the full Council for approval.

7. Review of Reimbursements.

The Director of Finance or a designee shall review all City Council requests for reimbursement of expenses for consistency with City policy on such expenses.

In all cases, Council members shall be bound by the same policies and procedures adopted and applicable for all City employees on a citywide basis. To the extent such policies provide for per diem reimbursements, auto allowances, and related forms of reimbursement rather than receipt-specific reimbursement, it is hereby determined that such per diem or fixed amount reimbursements, so long as applicable to all city employees, are the best and most efficient method of reimbursing expenses on an actual and necessary basis.

9. Council Salary.

To assure attention to the Council compensation allowable under state law, the City Council shall have an agenda item during a meeting in December of odd numbered years for the purpose of determining whether or not to take action regarding Council compensation.

10. Campaign Activity Funding.

The City Council shall not direct or authorize the expenditure of public funds to prepare or distribute a publication or communication when the style, tenor, and timing of the publication or communication demonstrates that it constitutes traditional campaign activity or that it supports or opposes the approval or rejection of a ballot measure.

11. Council Use of City Staff for Public Events.

The Council believes that making opportunities available for Council members to interact with the public outside of regular public meetings is a benefit to the Council and residents of the City. The ability to communicate to the public the availability of the Councilmembers for such events is critical to their success.

Council members may request through the City Manager's Office the services of City staff to assist in the hosting of public events related to City business including, but not limited to, the electronic posting of notices of public events involving the Council members on the City's social media platforms. To the greatest extent possible, the amount of staff resources devoted to such efforts shall be equal among all Council members.

To the extent any such staff efforts require time beyond the posting of notices on the City's or related website, the City Manager shall be responsible for determining whether such personnel resources are available, whether there is a sufficient budget to cover the costs related to such efforts, and ensuring that all council members may obtain like and equal services during the course of any fiscal year. Council members shall not use any city staff or resources as part of, or in coordination with, any campaign for public office.

Section C: City Council Ethics Policy.

1. Declaration of Policy.

The respected operation of democratic government emphasizes that elected officials be independent, impartial, and responsible to the people. It requires that they conduct themselves in a manner above reproach.

This Ethics Policy provides the following general guidelines and specific prohibitions to which elected Escondido City Officials must conform in pursuit of their assigned duties and responsibilities. This policy is in addition to all applicable provisions of state law, including the Brown Act, the Political Reform Act and implementing regulations, and all other laws governing the conduct of elected officials.

2. Disclosure of Closed Session Matter.

No member of the City Council shall disclose to any person, other than members of the Council, the City Attorney, the City Manager, or other City staff designated by the City Manager to handle such matters of confidential City business, the content or substance of any information presented or discussed during a closed session meeting unless the City Council first authorizes such disclosure by the affirmative vote of three members.

3. Disclosure of Confidential Communications.

Except when disclosure is mandated by state or federal law, no member of the City Council shall disclose to any person, other than members of the Council, the City Attorney, or the City Manager, or other City staff designated by the City Manager to handle such matters of confidential City business, the content or substance of any confidential or privileged communication relating to matters of City business, received under circumstances where the confidential or privileged nature of the communication is reasonably conveyed, unless the City Council first authorizes such disclosure by the affirmative vote of three members of the City Council.

4. Conduct During Negotiations/Litigation.

The City Council is authorized to provide direction to specifically identified negotiators in a legally constituted closed session on matters involving pending litigation, real estate negotiations, and labor negotiations. If the City Council in closed session provides such direction to its negotiators, all contact with the negotiating party or the party's representative, shall be limited to, and made by, those individuals designated to handle the negotiations.

During a pending labor negotiation, no member of the City Council shall communicate any negotiating position on behalf of the City or engage in any negotiations for employee salary, benefits or working conditions. In addition, during pending litigation or real estate negotiations, no member of the City Council (unless they have been designated as a negotiator) shall have any contact or discussion with the litigating or negotiating party or the party's representative regarding the subject matter of the pending litigation or real estate negotiations.

No member of the City Council shall communicate or disclose to any person, other than members of the Council, the City Attorney, the City Manager, or other City staff designated by the City Manager to handle such matters of confidential City business, any discussion or information received in closed session regarding the negotiation or litigation.

Nothing in this section shall prohibit Council members from receiving written communications provided they are made available to all Council members, the City Manager, the City Attorney, and the City's designated negotiators on an equal basis.

5. Ex Parte Communications.

The purpose of this provision is to guarantee that all interested parties to any adjudicatory matter before the City Council have equal opportunity to express and

represent their interests. Ex parte communications are those communications members of the City Council have with representatives of only one side of a matter outside the presence of other interested parties on a matter relevant to an adjudicatory proceeding. A communication concerning only the status of a pending matter shall not be regarded as an ex parte communication.

Any written or oral ex parte communication received by a member of the City Council in matters where all interested parties are entitled to an equal opportunity for a hearing shall be made a part of the record by the recipient.

6. Violations and Penalties.

Any violation of this Ethics Policy by a member of the City Council shall constitute official misconduct if determined by an affirmative vote of three members of the City Council in an open and public meeting. In addition to any criminal or civil penalties provided for by federal, state or other local law, any violation of this Ethics Policy shall constitute a cause for censure by City Council adoption of a Resolution of Censure.

RESOLUTION NO. 2023-111

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
 ESCONDIDO, CALIFORNIA, AMENDING AND
 READOPTING RULES OF PROCEDURE FOR CITY COUNCIL
 MEETINGS AND CITY COUNCIL POLICIES

WHEREAS, the City Council of the City of Escondido, State of California, has previously adopted resolutions which provide Rules of Order and Procedure for City Council meetings and certain written policies governing Council procedures, methods of operation and ethics which are amended from time to time; and

WHEREAS, the City Council wishes to re-adopt its Rules and Policies for the purpose of including certain amendments and clarifications.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the following Rules shall govern the City Council:

Section A: Rules of Order and Procedure

1. Time of Regular Meetings.

Unless the City Council schedules otherwise or cancels a meeting, the City Council shall hold regular meetings at 4:00 p.m. commencing with closed session items and thereafter at 5:00 p.m. commencing with a public session on each of the first four (4) Wednesdays of each calendar month at the City Hall.

2. Matters Covered.

For the purpose of efficiently focusing only on matters affecting the City of Escondido, the Council should consider those resolutions, motions or matters which affect the conduct of the business of the City of Escondido or its corporate powers or duties as a municipal corporation, or such resolutions or motions supporting or

disapproving legislation or actions pending in the Legislature of the State of California, the Congress of the United States or before any officer or agency of said State or nation where such proposed legislation or action, if adopted, will affect the conduct of the municipal business or the powers and duties of the City of Escondido or its officers or employees as such.

3. Order of Business. Regular business of the Council at the 5:00 p.m. public session shall be taken up for consideration in substantially the following order, except as may be otherwise ordered by the Mayor or Council:

- a. Moment of Reflection
- b. Flag Salute
- c. Roll Call
- d. Closed Session Report
- e. Proclamations/Presentations
- f. Consent Calendar, including Affidavits of Publications, Mailing, Posting, Warrant Register & Minutes Approval
- g. Public Hearings
- h. Current Business Matters
- i. Future Agenda Items
- j. Council Members Subcommittee Reports
- k. Council Member Reports
- l. City Manager's Weekly Activity Report Highlights
- m. Oral Communications
- n. Adjournment

4. Consent Calendar Defined.

Those items on the Council agenda which are generally considered routine matter of business such as the approval of minutes, approval of the warrant register, Notices of Project Completion, Treasurer's Quarterly Investment Report, certain contract and grant awards, resolutions setting hearings, final maps, and various leases and agreements are

listed on the "Consent Calendar" and shall be adopted by one motion unless Council, staff or a member of the public requests specific items to be discussed and/or removed for separate action. Those items so approved under the heading "Consent Calendar" will appear in the Council minutes in their proper form, i.e., resolution accepting grant deed or easement, approval of minutes, award of bid, etc.

From time to time, the Council may schedule a "workshop" style meeting. Such workshops shall comply with all applicable noticing laws and shall be dedicated primarily to general information gathering and sharing, discussion and possible direction to staff. Final actions of the Council shall not take place at workshop sessions.

5. Oral Communications.

Time has been reserved near the end of each regular meeting agenda to provide an opportunity for members of the public to directly address the Council on items of interest to the public. The Mayor as the presiding officer may at his or her discretion reduce or extend the time for a speaker or speaker representative to address the Council consistent with the Ralph M. Brown Act. Members of the public that speak during "Oral Communications" may not demand audio/visual support from the City Clerk or City Staff. Comments on an item already appearing on the agenda shall only be taken at the time reserved for discussion of that agenda item. No action will be taken by the Council on items discussed under Oral Communications, except to refer the matter to staff or schedule for future action.

6. Electronic Public Comment

Members of the public can submit comments electronically through the City's Website for items on the agenda as well as "Oral Communications." Comments submitted electronically will, if feasible, be provided to the City Council by the City Clerk

prior to the council meeting for which the comments apply. Those comments shall thereafter be permanently filed with the minutes of the meeting.

7. Council Member Reports.

The Council Member Report agenda item provides members of the Council an opportunity to report matters of general interest to the public and their fellow Council Members. No actions, votes or further discussions shall occur on any such matter(s).

8. Council Action on Agenda Matters.

Prior to any vote or discussion by the Council on a matter to be decided on the agenda, City staff shall provide a presentation and/or answer questions, if requested, and thereafter, any Council member may seek recognition by the presiding officer and make a motion to adopt such item, and thereafter, the presiding officer shall determine if another Council member, including the presiding officer, seconds the motion. If the motion receives a second, the matter may be debated before putting the motion to a vote of the Council. A motion that fails to obtain a second or a majority vote shall die.

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presentations shall be coordinated with the Mayor and the City Manager's office and shall be subject to scheduling in a manner that does not interfere with the need to conduct normal City business. Any disagreement with whether or not such a presentation is to be scheduled shall be resolved by a majority vote of the City Council.

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Any member of the Council, voting in the majority on any action of the Council, may at the same meeting, or at a subsequent time, request the Council reconsider an action. A reconsideration request made by a member of the Council voting in the minority shall not be allowed, except when made more than one (1) year after the date of the original action.

All requests for reconsideration of a Council action shall be provided to each Council member, and the City Manager in writing or via electronic mail, and the request shall be placed on the next available agenda. In the event an item to be reconsidered requires public notice, it shall be calendared and noticed after Council determines when reconsideration shall occur.

19. Personal Privilege.

The right of any Council member to address the Council on a question of personal privilege shall be limited to cases in which his/her integrity, character or motives are questioned.

20. Council Conduct.

Each member of the Council shall act in a courteous and respectful manner to all members of the Council, including providing each member the full opportunity to ask questions, voice opinions and make statements without interruption during closed and open sessions of the Council.

21. Parliamentarian.

A majority vote of the Council shall generally control matters of procedure not addressed by this Resolution. The City Attorney shall decide all other questions of interpretations of these rules and any other questions of a parliamentary nature which may arise at a City Council meeting.

22. Voting and Non-Profit Entity Membership.

It shall be the policy of this Council that a council member who serves on the governing board of a private non-profit entity shall not participate in the discussion or voting process to determine whether or not that entity receives City funds. In the event the request of a non-profit entity with a council member on its governing board is part of

a larger request involving several items, or is part of the budget process, a separate vote shall be taken to allow the necessary abstention.

23. Selection of Chairperson.

In the event that the Mayor and the Deputy Mayor are absent from a City Council meeting, the three remaining Council members present shall promptly determine which Council member will conduct and serve as the chairperson of the meeting.

24. Decorum and Security.

- a. While the City Council is in session, the Council members, staff, and members of the public are expected to act in a manner to preserve order and decorum for the meeting. No person shall engage in disorderly or disruptive behavior during the meeting. No person shall, either by conversation, applause, shouting, or any other conduct, interrupt or delay the proceedings.
- b. The City Manager, in coordination with the Mayor and/or Deputy Mayor, are authorized to and shall designate and post signs specifying those areas of the Chamber for the media wishing to record the meeting, areas for staff presentations, and areas which are restricted to City employees and elected officials.
- c. Signs, placards, posters, or similar objects which are larger than 8.5 by 11 inches and which disrupt the proceedings shall not be displayed during Council proceedings by members of the public.

Section B: City Council Policies.

1. Correspondence with Members of the City Council.

The purpose of this policy is to provide for a coordinated response to correspondence (i.e. letters, emails, and similar items) which is sent to the City generally, or in which the same correspondence is sent in identical fashion to all Council members.

In such circumstances, the Council directs that the Mayor (or as appropriate the City Manager or City Attorney) shall answer such correspondence on behalf of the City, according to the procedure set forth below.

In addition to individual e-mail addresses, the City Manager's Office shall also establish a shared email address by which citizens may direct emails to all Council members at the same time. The shared email address shall be featured on the City's website and in other publications in such a manner as to allow citizens to use the address and thereby communicate with all Council members at the same time. All Council members shall have access to review items in the mailbox at all times. All responses to such emails shall also be sent from the shared mailbox, such that all Council members may review such responses.

With respect to other communications, such as those involving other governmental entities, organizations, and related entities where such communication occurs between the entities rather than specific individuals, the Mayor shall respond on behalf of the City, with copies to all Council members. Matters involving routine city administrative issues shall generally be responded to by either the City Manager or City Attorney, as appropriate, on behalf of the City. With respect to correspondence that consists of invitations to events, the Mayor and Council shall coordinate such invitations with the City Manager's support staff.

Because substantial portions of City Council communication, whether electronic or written, is subject to California's Public Records laws, all City Council communications shall be coordinated with the City Manager for the purpose of compliance with various laws governing public records. All Council members using city computers shall be subject to the City's Administrative Directives regarding computer use.

2. Press Releases.

All press releases on behalf of the City shall be issued on City letterhead and only on behalf of the City generally or the entire City Council. Press releases shall be prepared and coordinated by the City Manager's Office.

3. Council Calendar.

The responsibility for managing the calendars of the City Council and the City Council members shall be delegated to the City Manager's secretary.

4. Audits.

Staff shall informally assist the City Council in a periodic accounting of individual expenditures for travel, phone use, etc.

5. Council Travel Policy.

Council members shall be bound by all City policies, as expressed in Administrative Directives or otherwise, regarding travel on City business.

The City Council shall fix an amount in the City Council budget which each Council member may use for business-related education and travel expenses, including attendance at seminars, conferences and other related educational opportunities. These funds will be separate from any budget established for Council member participation in committees associated with other public agencies and entities. If these funds are not used during the fiscal year appropriated, they shall be returned to the General Fund.

Elected officials shall provide brief reports on meetings attended at the City's expense at the next regular City Council meeting. If multiple elected officials attended, a joint report may be made. Reports may be provided in writing as part of the Agenda packet distribution.

6. Council Communication with Staff.

The Council members shall request information or give direction only to the City Manager or City Attorney, or those persons designated by the City Manager or City

Attorney to assist the Council members in such inquiries or requests. Requests for information should be directed to the City Manager, although incidental or minor requests (not involving analysis or significant time) may be requested directly from department heads, with a copy to the City Manager. Requests which involve change of policy, expenditure of funds, or use of significant staff time shall be submitted to the full Council for approval.

7. Review of Reimbursements.

The Director of Finance or a designee shall review all City Council requests for reimbursement of expenses for consistency with City policy on such expenses.

In all cases, Council members shall be bound by the same policies and procedures adopted and applicable for all City employees on a citywide basis. To the extent such policies provide for per diem reimbursements, auto allowances, and related forms of reimbursement rather than receipt-specific reimbursement, it is hereby determined that such per diem or fixed amount reimbursements, so long as applicable to all city employees, are the best and most efficient method of reimbursing expenses on an actual and necessary basis.

9. Council Salary.

To assure attention to the Council compensation allowable under state law, the City Council shall have an agenda item during a meeting in December of odd numbered years for the purpose of determining whether or not to take action regarding Council compensation.

10. Campaign Activity Funding.

The City Council shall not direct or authorize the expenditure of public funds to prepare or distribute a publication or communication when the style, tenor, and timing of the publication or communication demonstrates that it constitutes traditional

campaign activity or that it supports or opposes the approval or rejection of a ballot measure.

11. Council Use of City Staff for Public Events.

The Council believes that making opportunities available for Council members to interact with the public outside of regular public meetings is a benefit to the Council and residents of the City. The ability to communicate to the public the availability of the Councilmembers for such events is critical to their success.

Council members may request through the City Manager's Office the services of City staff to assist in the hosting of public events related to City business including, but not limited to, the electronic posting of notices of public events involving the Council members on the City's social media platforms. To the greatest extent possible, the amount of staff resources devoted to such efforts shall be equal among all Council members.

To the extent any such staff efforts require time beyond the posting of notices on the City's or related website, the City Manager shall be responsible for determining whether such personnel resources are available, whether there is a sufficient budget to cover the costs related to such efforts, and ensuring that all council members may obtain like and equal services during the course of any fiscal year. Council members shall not use any city staff or resources as part of, or in coordination with, any campaign for public office.

Section C: City Council Ethics Policy.

1. Declaration of Policy.

The respected operation of democratic government emphasizes that elected officials be independent, impartial, and responsible to the people. It requires that they conduct themselves in a manner above reproach.

This Ethics Policy provides the following general guidelines and specific prohibitions to which elected Escondido City Officials must conform in pursuit of their assigned duties and responsibilities. This policy is in addition to all applicable provisions of state law, including the Brown Act, the Political Reform Act and implementing regulations, and all other laws governing the conduct of elected officials.

2. Disclosure of Closed Session Matter.

No member of the City Council shall disclose to any person, other than members of the Council, the City Attorney, the City Manager, or other City staff designated by the City Manager to handle such matters of confidential City business, the content or substance of any information presented or discussed during a closed session meeting unless the City Council first authorizes such disclosure by the affirmative vote of three members.

3. Disclosure of Confidential Communications.

Except when disclosure is mandated by state or federal law, no member of the City Council shall disclose to any person, other than members of the Council, the City Attorney, or the City Manager, or other City staff designated by the City Manager to handle such matters of confidential City business, the content or substance of any confidential or privileged communication relating to matters of City business, received under circumstances where the confidential or privileged nature of the communication is reasonably conveyed, unless the City Council first authorizes such disclosure by the affirmative vote of three members of the City Council.

4. Conduct During Negotiations/Litigation.

The City Council is authorized to provide direction to specifically identified negotiators in a legally constituted closed session on matters involving pending litigation, real estate negotiations, and labor negotiations. If the City Council in closed

session provides such direction to its negotiators, all contact with the negotiating party or the party's representative, shall be limited to, and made by, those individuals designated to handle the negotiations.

During a pending labor negotiation, no member of the City Council shall communicate any negotiating position on behalf of the City or engage in any negotiations for employee salary, benefits or working conditions. In addition, during pending litigation or real estate negotiations, no member of the City Council (unless they have been designated as a negotiator) shall have any contact or discussion with the litigating or negotiating party or the party's representative regarding the subject matter of the pending litigation or real estate negotiations.

No member of the City Council shall communicate or disclose to any person, other than members of the Council, the City Attorney, the City Manager, or other City staff designated by the City Manager to handle such matters of confidential City business, any discussion or information received in closed session regarding the negotiation or litigation.

Nothing in this section shall prohibit Council members from receiving written communications provided they are made available to all Council members, the City Manager, the City Attorney, and the City's designated negotiators on an equal basis.

5. Ex Parte Communications.

The purpose of this provision is to guarantee that all interested parties to any adjudicatory matter before the City Council have equal opportunity to express and represent their interests. Ex parte communications are those communications members of the City Council have with representatives of only one side of a matter outside the presence of other interested parties on a matter relevant to an adjudicatory proceeding.

A communication concerning only the status of a pending matter shall not be regarded as an ex parte communication.

Any written or oral ex parte communication received by a member of the City Council in matters where all interested parties are entitled to an equal opportunity for a hearing shall be made a part of the record by the recipient.

6. Violations and Penalties.

Any violation of this Ethics Policy by a member of the City Council shall constitute official misconduct if determined by an affirmative vote of three members of the City Council in an open and public meeting. In addition to any criminal or civil penalties provided for by federal, state or other local law, any violation of this Ethics Policy shall constitute a cause for censure by City Council adoption of a Resolution of Censure.



STAFF REPORT

August 16, 2023
File Number 0130-10

SUBJECT

DESIGNATION OF VOTING DELEGATE – LEAGUE OF CALIFORNIA CITIES CONFERENCE

DEPARTMENT

City Clerk's Office

RECOMMENDATION

Request the City Council designate the Voting Delegate and up to two alternates for the League of California Cities Annual Conference in Sacramento, California on September 20-22, 2023.

Staff Recommendation: Approval (City Clerk's Office: Zack Beck)

Presenter: Zack Beck, City Clerk

FISCAL ANALYSIS

Costs to attend this conference are included in the City Council's Training / Meeting budget.

BACKGROUND

The Conference is scheduled September 20-22, 2023 in Sacramento, California. At the Annual Business Meeting the League membership considers and takes action on resolutions that establish League policy. In order to vote at the Annual Business Meeting, the City Council must designate a voting delegate. The City Council may also appoint up to two alternate voting delegates, one of whom may vote in the event that the designated voting delegate is unable to serve. Attached to this Staff Report is the Voting Delegate Form.

ATTACHMENTS

- a. Attachment 1 - 2023 Voting Delegate Packet

Council Action Advised by August 28, 2023

DATE: Wednesday, June 21, 2023

TO: Mayors, Council Members, City Clerks, and City Managers

**RE: DESIGNATION OF VOTING DELEGATES AND ALTERNATES
League of California Cities Annual Conference and Expo, Sept. 20-22, 2023,
Sacramento SAFE Credit Union Convention Center**

Every year, the League of California Cities convenes a member-driven General Assembly at the [Cal Cities Annual Conference and Expo](#). The General Assembly is an important opportunity where city officials can directly participate in the development of Cal Cities policy.

Taking place on Sept. 22, the General Assembly is comprised of voting delegates appointed by each member city; every city has one voting delegate. Your appointed voting delegate plays an important role during the General Assembly by representing your city and voting on resolutions.

To cast a vote during the General Assembly, your city must designate a voting delegate and up to two alternate voting delegates, one of whom may vote if the designated voting delegate is unable to serve in that capacity. Voting delegates may either be an elected or appointed official.

Please complete the attached voting delegate form and email it to Cal Cities office no later than Monday, August 28.

New this year, we will host a pre-conference information session for voting delegates to explain their role. Submitting your voting delegate form by the deadline will allow us time to establish voting delegate/alternate records prior to the conference and provide pre-conference communications with voting delegates.

Please view Cal Cities' [event and meeting policy](#) in advance of the conference.

Action by Council Required. Consistent with Cal Cities bylaws, a city's voting delegate and up to two alternates must be designated by the city council. When completing the attached Voting Delegate form, please attach either a copy of the council resolution that reflects the council action taken or have your city clerk or mayor sign the form affirming that the names provided are those selected by the city council.

Please note that designating the voting delegate and alternates **must** be done by city council action and cannot be accomplished by individual action of the mayor or city manager alone.

Conference Registration Required. The voting delegate and alternates must be registered to attend the conference. They need not register for the entire conference; they may register for Friday only. Conference registration is open on the [Cal Cities](#) website.

For a city to cast a vote, one voter must be present at the General Assembly and in possession of the voting delegate card and voting tool. Voting delegates and alternates need to pick up their conference badges before signing in and picking up the voting delegate card at the voting delegate desk. This will enable them to receive the special sticker on their name badges that will admit the voting delegate into the voting area during the General Assembly.

Transferring Voting Card to Non-Designated Individuals Not Allowed. The voting delegate card may be transferred freely between the voting delegate and alternates, but *only* between the voting delegate and alternates. If the voting delegate and alternates find themselves unable to attend the General Assembly, they may *not* transfer the voting card to another city official.

Seating Protocol during General Assembly. At the General Assembly, individuals with a voting card will sit in a designated area. Admission to the voting area will be limited to the individual in possession of the voting card and with a special sticker on their name badge identifying them as a voting delegate.

The voting delegate desk, located in the conference registration area of the SAFE Credit Union Convention Center in Sacramento, will be open at the following times: Wednesday, Sept. 20, 8:00 a.m.- 6:00 p.m. and Thursday, Sept. 21, 7:30 a.m.- 4:00 p.m. On Friday, Sept. 22, the voting delegate desk will be open at the General Assembly, starting at 7:30 a.m., but will be closed during roll calls and voting.

The voting procedures that will be used at the conference are attached to this memo. Please share these procedures and this memo with your council and especially with the individuals that your council designates as your city's voting delegate and alternates.

Once again, thank you for completing the voting delegate and alternate form and returning it to Cal Cities office by Monday, Aug. 28. If you have questions, please contact Zach Seals at zseals@calcities.org.

Attachments:

- General Assembly Voting Guidelines
- Voting Delegate/Alternate Form
- Information Sheet: Cal Cities Resolutions and the General Assembly



General Assembly Voting Guidelines

1. **One City One Vote.** Each member city has a right to cast one vote on matters pertaining to Cal Cities policy.
2. **Designating a City Voting Representative.** Prior to the Cal Cities Annual Conference and Expo, each city council may designate a voting delegate and up to two alternates; these individuals are identified on the voting delegate form provided to the Cal Cities Credentials Committee.
3. **Registering with the Credentials Committee.** The voting delegate, or alternates, may pick up the city's voting card at the voting delegate desk in the conference registration area. Voting delegates and alternates must sign in at the voting delegate desk. Here they will receive a special sticker on their name badge and thus be admitted to the voting area at the General Assembly.
4. **Signing Initiated Resolution Petitions.** Only those individuals who are voting delegates (or alternates), and who have picked up their city's voting card by providing a signature to the credentials committee at the voting delegate desk, may sign petitions to initiate a resolution.
5. **Voting.** To cast the city's vote, a city official must have in their possession the city's voting card and voting tool; and be registered with the credentials committee. The voting card may be transferred freely between the voting delegate and alternates but may not be transferred to another city official who is neither a voting delegate nor alternate.
6. **Voting Area at General Assembly.** At the General Assembly, individuals with a voting card will sit in a designated area. Admission to the voting area will be limited to the individual in possession of the voting card and with a special sticker on their name badge identifying them as a voting delegate.
7. **Resolving Disputes.** In case of dispute, the credentials committee will determine the validity of signatures on petitioned resolutions and the right of a city official to vote at the General Assembly.



CITY: _____

2023 ANNUAL CONFERENCE VOTING DELEGATE/ALTERNATE FORM

Please complete this form and return it to Cal Cities office by Monday, August 28, 2023. Forms not sent by this deadline may be submitted to the Voting Delegate Desk located in the Annual Conference Registration Area. Your city council may designate one voting delegate and up to two alternates.

To vote at the General Assembly, voting delegates and alternates must be designated by your city council. Please attach the council resolution as proof of designation. As an alternative, the Mayor or City Clerk may sign this form, affirming that the designation reflects the action taken by the council.

Please note: Voting delegates and alternates will be seated in a separate area at the General Assembly. Admission to this designated area will be limited to individuals (voting delegates and alternates) who are identified with a special sticker on their conference badge. This sticker can be obtained only at the voting delegate desk.

1. VOTING DELEGATE

Name: _____

Email: _____

Title: _____

2. VOTING DELEGATE - ALTERNATE

Name: _____

Title: _____

Email: _____

3. VOTING DELEGATE - ALTERNATE

Name: _____

Title: _____

Email: _____

ATTACH COUNCIL RESOLUTION DESIGNATING VOTING DELEGATE AND ALTERNATES OR

ATTEST: I affirm that the information provided reflects action by the city council to designate the voting delegate and alternate(s).

Name: _____ Email: _____

Mayor or City Clerk: _____ Date: _____ Phone: _____
(circle one) (signature)

Please complete and email this form to votingdelegates@calcities.org by Monday, August 28, 2023.

Developing League of California Cities policy is a dynamic process that engages a wide range of members to ensure that we are representing California cities with one voice. These policies directly guide Cal Cities advocacy to promote local decision-making, and lobby against statewide policy that erodes local control.

The resolutions process and General Assembly is one way that city officials can directly participate in the development of Cal Cities policy. If a resolution is approved at the General Assembly, it becomes official Cal Cities policy. Here's how Resolutions and the General Assembly works.

Prior to the Annual Conference and Expo

General Resolutions



Sixty days before the Annual Conference and Expo, Cal Cities members may submit policy proposals on issues of importance to cities. The

resolution must have the concurrence of at least five additional member cities or individual members.

Policy Committees



The Cal Cities President assigns general resolutions to policy committees where members review, debate, and recommend positions for

each policy proposal. Recommendations are forwarded to the Resolutions Committee.

During the Annual Conference and Expo

Petitioned Resolutions



The petitioned resolution is an alternate method to introduce policy proposals during the annual conference. The petition must be signed by

voting delegates from 10% of member cities, and submitted to the Cal Cities President at least 24 hours before the beginning of the General Assembly.

Resolutions Committee



The Resolutions Committee considers all resolutions. General Resolutions approved¹ by either a policy committee or the Resolutions Committee

are next considered by the General Assembly. General resolutions not approved, or referred for further study by both a policy committee and the Resolutions Committee do not go the General Assembly. All Petitioned Resolutions are considered by the General Assembly, unless disqualified.²

General Assembly



During the General Assembly, voting delegates debate and consider general and petitioned resolutions forwarded by the Resolutions Committee. Potential Cal Cities bylaws amendments are also considered at this meeting.

Who's who

Cal Cities policy development is a member-informed process, grounded in the voices and experiences of city officials throughout the state.

The **Resolutions Committee** includes representatives from each Cal Cities diversity caucus, regional division, municipal department, policy committee, as well as individuals appointed by the Cal Cities president.

Voting delegates are appointed by each member city; every city has one voting delegate.

The **General Assembly** is a meeting of the collective body of all voting delegates — one from every member city.

Seven **Policy Committees** meet throughout the year to review and recommend positions to take on bills and regulatory proposals. Policy committees include members from each Cal Cities diversity caucus, regional division, municipal department, as well as individuals appointed by the Cal Cities president.

What's new in 2023?



- Voting delegates will receive increased communications to prepare them for their role during the General Assembly.
- The General Assembly will take place earlier to allow more time for debate and discussion.
- Improvements to the General Assembly process will make it easier for voting delegates to discuss and debate resolutions.

¹ The Resolution Committee can amend a general resolution prior to sending it to the General Assembly.

² Petitioned Resolutions may be disqualified by the Resolutions Committee according to Cal Cities Bylaws Article VI. Sec. 5(f).



CITY of ESCONDIDO

FUTURE AGENDA

8/23/2023

PROCLAMATION - (J. MURDOCK) - NATIONAL PREPAREDNESS MONTH

CONSENT CALENDAR - (J. GOULART) - UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA ASSOCIATE PARTY AGREEMENT - Request City Council to adopt Resolution.No. 2023-97 authorizing the Major to execute an agreement with Underground Service Alert of Southern California.

CONSENT CALENDAR - (J. SCHOENECK) - REIDY CREEK GOLF COURSE REPAIRS

CONSENT CALENDAR - (A. FIRESTINE) - APPROVE THE ADDITION OF TWO TEMPORARY (GRANT-FUNDED) PROJECT MANAGERS TO THE FY23/24 OPERATING BUDGET AND THE ASSOCIATED BUDGET ADJUSTMENT - It is requested that the City Council adopt Resolution No. 2023-107 authorizing the addition of two temporary (grant-funded) Project Managers and the associated budget adjustment for completion of time sensitive capital improvement projects.

CONSENT CALENDAR - (J. AXELROD) - \$107,296 CALIFORNIA LIBRARY LITERACY SERVICES ENGLISH AS A SECOND LANGUAGE GRANT - It is requested that the City Council approval Resolution No. 2023-110 authorizing the Deputy City Manager/ Director of Communications & Community Services, or her designee, to receive grant funds of \$107,296 and execute on its behalf, grant related documents necessary for implementation of English as a Second Language services.

CONSENT CALENDAR - (J. PERPETUA) - APPROVAL OF CALPERS INDUSTRIAL DISABILITY RETIREMENT FOR POLICE OFFICER THOMAS D. PUGH - It is requested that the City Council adopt Resolution No. 2023-23, approving the California Public Employees' Retirement System (CalPERS) Industrial Disability Retirement for Police Officer Thomas D. Pugh.

PUBLIC HEARING - (A. FIRESTINE) - CAREFREE MOBILEHOME PARK SHORT FORM APPLICATION - It is requested that the City Council approve and adopt resolution for Carefree Ranch Mobilehome Park short form rent control application to increase rents.

CURRENT BUSINESS - (A. FIRESTINE) - HOUSING ACCELERATION PROGRAM ("HAP") - GRANT \$250,000 - It is requested that the City Council adopt Resolution No. 2023-XX authorizing the Director of Development Services to submit the Housing Acceleration Program 2.0 Grant application to the San Diego Association of Governments.

WORKSHOP - (J. PROCOPIO) - ANNUAL TRAFFIC SAFETY WORKSHOP

8/30/2023 - NO MEETING

9/6/2023 - NO MEETING (LABOR DAY)