



# TOWN OF ELIZABETH

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**TOWN OF ELIZABETH**  
**Rescheduled to Nov 9th - Planning Commission Regular Meeting & Workshop**  
**Thursday, November 09, 2023 at 6:30 PM**  
**Town Hall, 151 S. Banner Street**

## **CALL TO ORDER**

## **ROLL CALL**

## **UNSCHEDULED PUBLIC COMMENT**

## **AGENDA CHANGES**

## **CONSENT AGENDA**

1. Minutes from the Regular Planning Commission Meeting of June 20, 2023

## **NEW BUSINESS**

2. Election of 2023 Chair and possible election of 2023 Vice Chair

## **PUBLIC HEARING**

3. SE corner of Walnut Street and S Elbert Street - Walnut Grove Sketch and Preliminary Plans

Dropbox Link for documents:

[https://www.dropbox.com/scl/fi/1fclf07fyb5a5356zhmqa/Staff-Report-11\\_09\\_2023\\_Redacted .pdf?rlkey=az3iu6arrph327hcrrrq2ezke&dl=0](https://www.dropbox.com/scl/fi/1fclf07fyb5a5356zhmqa/Staff-Report-11_09_2023_Redacted.pdf?rlkey=az3iu6arrph327hcrrrq2ezke&dl=0)

## **NEW BUSINESS**

4. Discussion and possible action on recommendation for approval regarding SE corner of E Walnut St and S Elbert St - Walnut Grove and Preliminary Plans

## **STAFF REPORT**

5. Staff Report

## **COMMISSIONER REPORTS**

## **ADJOURNMENT**

**A Municipal Code Discussion and Workshop will occur immediately following the regularly scheduled meeting.**

**ACTION MAY BE TAKEN ON ANY AND ALL ITEMS LISTED ON THE AGENDA**  
ACCOMMODATIONS FOR DISABILITIES MAY BE MADE UPON REQUEST.



# TOWN OF ELIZABETH

PLANNING COMMISSION

## PLANNING COMMISSION – RECORD OF PROCEEDINGS

JUNE 20, 2023

### CALL TO ORDER

The Regular Meeting of the Elizabeth Planning Commission was called to order on Tuesday, June 20, 2023, at 6:32 PM by Chair Jenny Case.

### ROLL CALL

Present were Chair Jenny Case, Vice Chair Amy Schmidt, and Commissioners Julie Uhernik, Greg Lindbloom, George Fick, Rob Porter, and Ed Beard. Commissioner Shawn Sommer was not present. There was a quorum to conduct business.

Also present were Community Development Director Zach Higgins, Planner/Project Manager Alexandra Cramer, Deputy Town Clerk Harmony Malakowski, and Community Development Administrative Assistant Dianna Hiatt.

### AGENDA CHANGES

No agenda changes from staff.

No agenda changes by the Commissioners.

### UNSCHEDULED PUBLIC COMMENT

No Unscheduled Public Comment.

### CONSENT AGENDA

1. Minutes of the Regular Meeting of May 2, 2023

Motion by Commissioner Lindbloom, seconded by Vice Chair Schmidt, to approve the Consent Agenda as presented.

The vote of those Commissioners present was unanimously in favor. Motion carried.

### NEW BUSINESS

2. Discussion regarding Elizabeth School District Vocational School/Auto Shop proposal

Bill Dallas with the Elizabeth School District provided a report and update on the proposed Auto Shop to be built at Elizabeth High School.



## TOWN OF ELIZABETH

PLANNING COMMISSION

### STAFF REPORT

- Ms. Cramer updated the Commissioners regarding the upcoming APA Conference to be held in Colorado Springs in September.
- Ms. Cramer provided updates to additional upcoming trainings.
- Updates were provided for the Main Street Streetscape project and the Monument Sign on Main Street.
- Ms. Cramer provided updates on the Historic Advisory Board Historic District creation.
- The Board of Trustees Code Workshop has been rescheduled to July 11, 2023, at 6:00 p.m.

### COMMISSIONER REPORTS

No further reports from the Commissioners.

### ADJOURNMENT

Motion by Commissioner Fick, seconded by Commissioner Uhernik, to adjourn the meeting at 7:05 p.m. The vote of those Commissioners present was unanimously in favor. Motion carried.

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Chair Jenny Case

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Deputy Town Clerk Harmony Malakowski



## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Planning Commission  
**FROM:** Zach Higgins, AICP Community Development Director  
**DATE:** November 09, 2023  
**SUBJECT:** 2023 Chair and possible Vice Chair Election

### SUMMARY

State law requires municipal Planning Commissions to annually elect a chair. The chair must be a voting member of the Planning Commission. Additionally, the Planning Commission has the option to elect a vice chair. The vice chair would serve as chair in absence of the elected chair.

In the event that the elected Chair is no longer able to proceed in that role, a new Chair must be elected.

### STAFF RECOMMENDATION

Staff recommends the Planning Commission nominate and approve a Commissioner to serve as 2023 Chair. Staff also recommends nominating and approving a Commissioner to serve as 2023 Vice Chair if the seat is vacant.

### ATTACHMENT(S)

N/A





## STAFF REPORT

### Sketch Plan & Preliminary Plan Application of Walnut Grove

Applicant: Unibuilders / Applicant Representative: Otto Burden, PE

Location: SE corner of E Walnut St and S Elbert St, Elizabeth CO

Zone District: Planned Unit Development (PUD)

Exhibits:

**Exhibit A:** Sketch Plan Submittal

**Exhibit B:** Preliminary Plan Submittal

**Exhibit C:** Previously approved plat related to approved PUD, site plan and Resolutions 17-02 & 18-03

**Exhibit D:** Referral Agency Comment Letter(s) (incl. applicant response)

#### Applicant Request:

The Applicant, Unibuilders, represented by Otto Burden, PE, request the Planning Commission provide a positive recommendation to the Board of Trustees to approve a Sketch Plan and Preliminary Plan Application for a new residential development at the NE corner of S Elbert St and E Maple St in the Town of Elizabeth, CO.

As stated in [Section 16-3-40\(a\)](#) of the Elizabeth Municipal Code (EMC), the intent of the sketch plan is to examine the general feasibility of a conceptual layout of the subdivision.

As stated in [Section 16-3-50\(a\)](#) of the Elizabeth Municipal Code (EMC), the intent of the preliminary plan is to check the proposed subdivision against the technical requirements, design standards and improvement requirements of the Town to be sure that the standards imposed can be met.

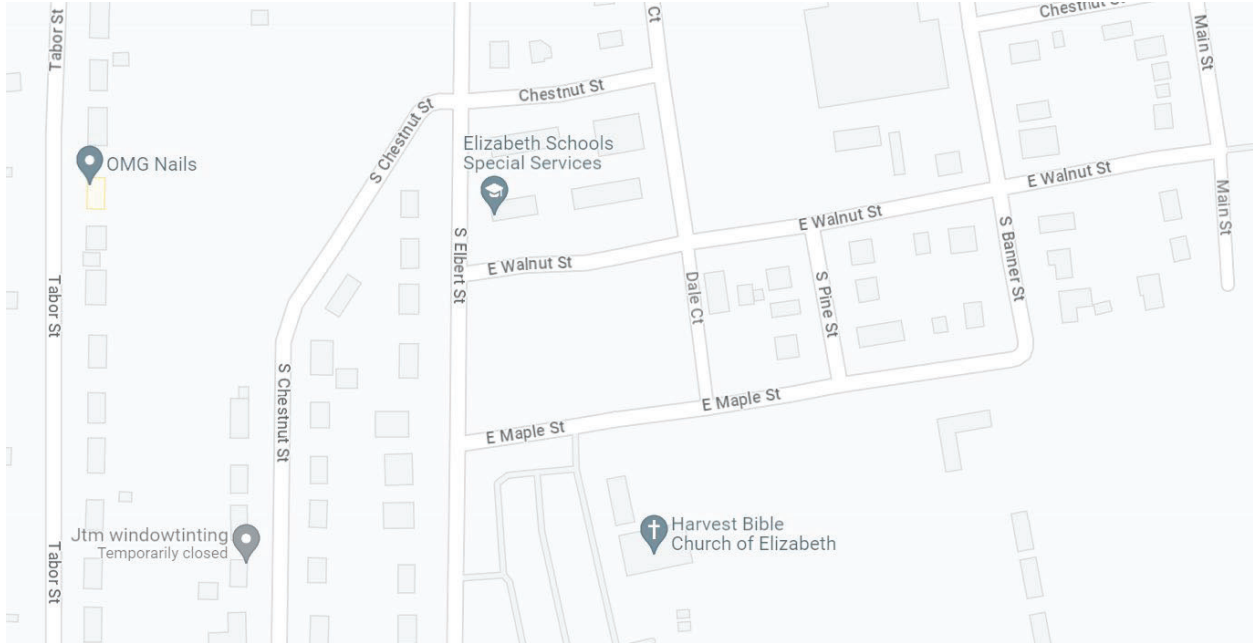
In accordance with [Sections 16-3-40\(b.7\)](#) and [16-3-50\(c.7\)](#), the Planning Commission shall make a recommendation to the Board of Trustees to approve, approve with conditions, continue for additional information, or deny the sketch plan and preliminary plan.



## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

### General Project Location



#### Proposal:

The applicant is proposing to reconfigure the previously approved Walnut Grove Townhomes Planned Development Final Plat (See [Exhibit A](#) & [Exhibit B](#)).

#### Background:

The subject site is a currently vacant, 1.568 acre parcel, that was previously occupied by 24 mobile homes. In 2007, The Town approved ordinance 07-12 that rezoned the property from Mobile Home Park-2 (MH-2) to Planned Unit Development (PUD) that allowed for 28 townhomes. The ensuing resolution, 07R19, provided approval for the site plan, preliminary plat, and final plat. Through ordinance 07-15, Park Street right-of-way was vacated within the site. The PUD was subsequently amended by ordinance 18-03 to increase the density and allow for the development of up to 44 apartments and townhomes.

As mentioned, the applicant is proposing to reconfigure the final plat and develop the parcel to include a one, 28-unit, three-story above grade and one-story below grade multi-family apartment, as well as 16, three-story townhomes. All town-home units will have a two-car garage on the lower level. The apartments will have four lower level, Type-A, handicap units. Additional handicap parking has been provided to ensure

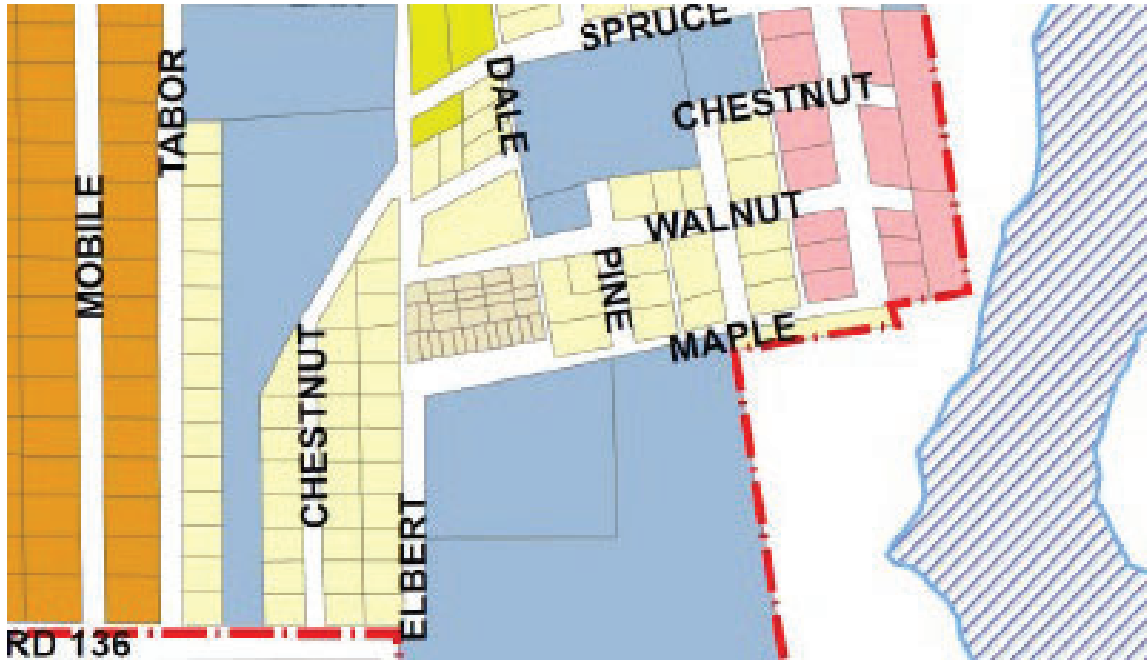


# TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

adequate visitor spaces as well as available spaces for handicap residents. The current proposal precedes a required final plat process where the Commission and Board will examine additional details.

## Zoning Map (2019)



### Surrounding Land Uses:

North: Elizabeth School District (Residential 1)

South: Harvest Bible Church of Elizabeth (Public, Semi-Public, and Institutional)

East: Single-family dwellings (Residential 1)

West: Single-family dwellings (Residential 1)



# TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

Current Vacant Site – Aerial View



Current Vacant Site – NE corner of S Elbert St and E Maple St







**TOWN OF ELIZABETH**  
COMMUNITY DEVELOPMENT DEPARTMENT

**Current Vacant Site – On street view from E Maple St looking north**



**Current Vacant Site – NW corner of Dale Ct and E Maple St**





**TOWN OF ELIZABETH**  
COMMUNITY DEVELOPMENT DEPARTMENT

**Current Vacant Site – SW corner of S Elbert St and E Walnut St**



**Current Vacant Site – On street view from S Elbert St looking east**





**TOWN OF ELIZABETH**  
COMMUNITY DEVELOPMENT DEPARTMENT

**Current Vacant Site – SE corner of Dale Ct and E Walnut St**



**Current Vacant Site – On street view from E Walnut St looking south**







## TOWN OF ELIZABETH

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### Approval Criteria:

Chapter 16, Article III – Subdivision Requirements and procedures includes specific informational requirements for sketch and preliminary plats, however, the code does not provide explicit criteria for review by the commission or board. [Section 16-3-10](#) – Purpose, provides reasoning for review of proposed subdivisions, including the following (summarized):

- To promote the general health, safety, and welfare of present and future inhabitants of the Town;
- To guide future growth and development within the Town, including transportation, utilities, services, housing, and open space. Additionally, to ensure alignment with the Town’s Master Plan and regulations;
- To provide for the preservation and conservation of natural, historic, and sensitive areas – including vegetation, unique topography, habitats, and drainage features;
- To minimize conflicts between land uses and structures;
- To ensure that the necessary services and facilities have sufficient capacity to serve proposed subdivisions;
- To provide for an adequate and accurate system to record land subdivisions.

### Case Analysis:

- **Submittal Requirements for Sketch Plan (see [Exhibit A](#))**
  - Completed land use application: This submittal requirement has been met.
  - Application fee: This submittal requirement has been met.
  - A copy of the recorded warranty deed and title commitment or updated title commitment current within thirty (30) days: The Town has received an updated title commitment.
  - A notarized letter of authorization from the landowner permitting a representative to process the application: This submittal requirement has been met.
  - Plan exhibit: This submittal requirement has been met.
  - Development reports: This submittal requirement has been met as the Town has received a preliminary drainage and geotechnical report.
  - Public Notice Requirements: All public notice requirements met.
- **Submittal Requirements for Preliminary Plan (see [Exhibit B](#))**
  - Completed land use application: This submittal requirement has been met.
  - A narrative outlining the proposal. This submittal requirement has been met.
  - Application fee: This submittal requirement has been met.
  - A copy of the recorded warranty deed and title commitment or updated title commitment current within thirty (30) days: The Town has received an updated title commitment.
  - Public Notice Requirements: All public notice requirements met.

[www.townofelizabeth.org](http://www.townofelizabeth.org)





## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

- A notarized letter of authorization from the landowner permitting a representative to process the application: This submittal requirement has been met.
- Plan exhibit: This submittal requirement has been met.
- Development reports:
  - Road plans and profiles. This submittal requirement has been approved.
  - A final drainage report, erosion control plan and grading plan. This submittal requirement has been approved.
  - Utility plans prepared in accordance with the regulations of the appropriate service provider. This submittal requirement has been approved.
  - A preliminary landscape plan for the subdivision. This submittal requirement has been approved.
- **PUD**
  - The proposed development has been reviewed by the requirements stated in the PUD and has been approved.
- **Dedications and Easements**
  - The sketch and preliminary plans include information regarding the dedication of land for the purposes of open space, parks, utilities, drainage and general landscaping. On page three (3) of the sketch plan and page one (1) of the preliminary plan depicts the various tracts, their intended use, their ownership to be maintained post-development, and the responsible maintenance party. Dedications and easements would not be made final until final plat.
  - The sketch plan and preliminary plan includes information regarding the vacation of Dale Ct for the purposes of providing the required fifteen (15) feet of building setback. The vacation of this Town easement will not be finalized until the final plat process.
- **Drainage**
  - The drainage has been reviewed by CORE Engineering and has been approved.
- **Floodplain**
  - The floodplain does not impact the site.
- **Traffic and Access**
  - As the proposal will maintain the same number of approved dwelling units as previously allowed in the PUD, it is anticipated that traffic on the site will remain the same. Access has been modified due to the reconfiguration of the site. The Town's traffic consultant had no issues regarding traffic and access on the sketch plan and preliminary plan application.
- **Parking:**
  - The applicant has demonstrated compliance with code [Sec 16-6-10 \(b.1\)](#) that requires two (2) off-street parking spaces be provided for each new dwelling unit (d.u.).
- **Right-of-Way (ROW)**



**TOWN OF ELIZABETH**

COMMUNITY DEVELOPMENT DEPARTMENT

- No new ROW is proposed with the development. All streets internal to the development are anticipated to remain private with no dedication to the Town.
- **Landscaping**
  - The proposed landscape for the overall site meets the minimum requirement of 15% of the total site area as stated in code [Sec. 16-2-50 \(b.1\)](#). The applicant is proposing 22% landscaped area that includes a private playground located near the center of the site (see [Exhibit A & B](#)). The proposed lot reconfiguration does not appear to conflict with the previously approved landscape plans.

**Elizabeth Comprehensive Plan (2019):**

Staff has found that the proposed use does not conform to the Town’s currently adopted 2019 Comprehensive Plan. The future land use map depicts the site as low density residential, which proposes a density of two to four dwellings per acre (on a gross basis). However, through the rezoning of the parcel via zoning ordinance 07-12 to Planned Unit Development (PUD), an increase in the density was allowed. While the proposed density differs from the current Comprehensive Plan, the increased density aids the Town in meeting the goal of increasing housing options and density as outlined below:

- **Future Land Use and Development - GOAL 1, POLICY 1.4:** Encourage the diversification of Elizabeth’s housing options to meet the full life cycle of the community’s housing needs. This would enable residents to remain in the community as their housing needs change and would accommodate a more diverse range of residents from a wider range of ages to live in Elizabeth.
  - By reconfiguring the lot, the applicant is proposing to diversify the provided housing types to meet the full life cycle of the community’s housing needs and thereby better serve the Town.
- **Future Land Use and Development GOAL 3:** Future development in Elizabeth incorporates appropriate levels of density and design to support increased housing options, the viability of neighborhood commercial, and overall long-term neighborhood sustainability.
  - The reconfiguration of the approved final plat does not propose to further increase the density allowed by the Walnut Grove Townhomes PUD. As such, the proposal will lead to the development of the vacant site into multi-family apartments and townhomes that expands upon the available housing options for the Town.

**Referrals**

The following agencies provided comment during the referral period (see [Exhibit D](#)).

Referral Agency / Consultant	Discipline
Town of Elizabeth CD Dept.	Planning/Zoning
CORE Engineering	Town Engineer
CORE Electric	Utility Service Provider
Town of Elizabeth Public Works	Public Works – Sewer and Water
Stolfus & Associates	Transportation
Elizabeth Fire Protection District	Fire



## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

Elbert County Community Development	Community Development
Elizabeth School District	Community Impact
Elizabeth Police Department	Public Safety

### Other Comments (Sketch Plan):

#### CORE Engineering & Public Works:

1. Engineering and Public Works Departments support the Vacation of Dale Ct., which will require a hearing before the Board of Trustees.
2. Should the vacation of Dale Ct be approved, the Town will also vacate its ownership of the existing sanitary sewer main located in this section of Dale Ct. This sewer line will become privately owned and maintained by the Walnut Grove HOA.

### Other Comments (Preliminary Plan):

#### CORE Engineering:

1. Condition 1: Prior to or concurrent with final plat approval, the vacation of the Dale Court right-of-way must be approved and recorded.
2. Condition 2: The applicant can confirm and verify their ability to acquire the easterly 8' of the vacated Dale Court right-of-way.
3. Failure to comply with any of these conditions will nullify our recommendation of Preliminary Plan approval.

*Applicant Response: "Please find this email as our official agreement with the conditional approval presented by CORE letter dated SEP 21st that was attached to the email trace below." (See email in [Exhibit D](#))*

4. As a reminder from sketch plan approval, when the vacation of Dale Ct is approved, the Town will also vacate its ownership of the existing sanitary sewer main located in this section of Dale Ct. This sewer line will become privately owned and maintained by the Walnut Grove HOA.

### Findings and Staff Recommendation:

A favorable recommendation is provided for the sketch plan and preliminary plan applications upon review by the development review team and staff in accordance with Section 16-3-40 and 16-3-50 of the EMC. Staff provides the recommendation in the context of the following findings.



## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

### Findings:

1. The sketch plan application is a simple reconfiguration of the lots for a previously approved planned development (see “background” section). No proposed changes to land use accompany the application and the reconfiguration of lots does not create any additional impacts that were not considered during the previous approval process.
2. The preliminary plan application is in substantial compliance with the sketch plan. No proposed changes to land use accompany the application and the reconfiguration of lots does not create any additional impacts that were not considered during the previous approval process.
3. The proposal has been found to substantially comply with the standards for development as found in the Chapter 16 of the Elizabeth Municipal Code.
  - a) The proposal maintains the nature of the development previously approved by the PUD ordinance and site plan approval process.
  - b) The applicant has provided landscaping covering > 15% of the site.
  - c) Required easement dedications or vacations are noted and can be addressed prior to subsequent platting processes required by the Town and prior to any issuance of permits for construction.
  - d) Drainage has been approved by CORE Engineering consultants.
  - e) No floodplain issues are present.
  - f) There is no evidence of increased traffic to the area that wasn't previously reviewed and approved.
4. The proposal has been found to comply with various housing elements of the Town's current Comprehensive Plan.
5. The proposal has been found to substantially comply with the Town of Elizabeth Design Standards for subdivisions as outlined in [Sec. 16-3-110](#).
6. The development will be served by adequate water supply and waste disposal systems as determined through the previous approval process of the PUD.

### Staff Recommendation:

Based on the analysis above, staff believes that the sketch plan and preliminary plan applications meet the criteria for a recommendation of approval to the Board of Trustees as set forth in [Chapter 16-3-40 \(b\)\(9\)](#) and [Chapter 16-3-40 \(c\)\(9\)](#) of the Elizabeth Municipal Code.

### Possible Motions:

The Planning Commission shall evaluate the application, referral comments and public testimony, and make a recommendation to the Board of Trustees to approve, approve with conditions, continue for additional information or further study or deny the sketch plan and preliminary plan. The Planning Commission's comments shall be based on the evidence presented, compliance with the adopted standards, regulations and policies and other guidelines. As a reminder, motions should be worded in the affirmative.



**TOWN OF ELIZABETH**  
COMMUNITY DEVELOPMENT DEPARTMENT

# Exhibit A

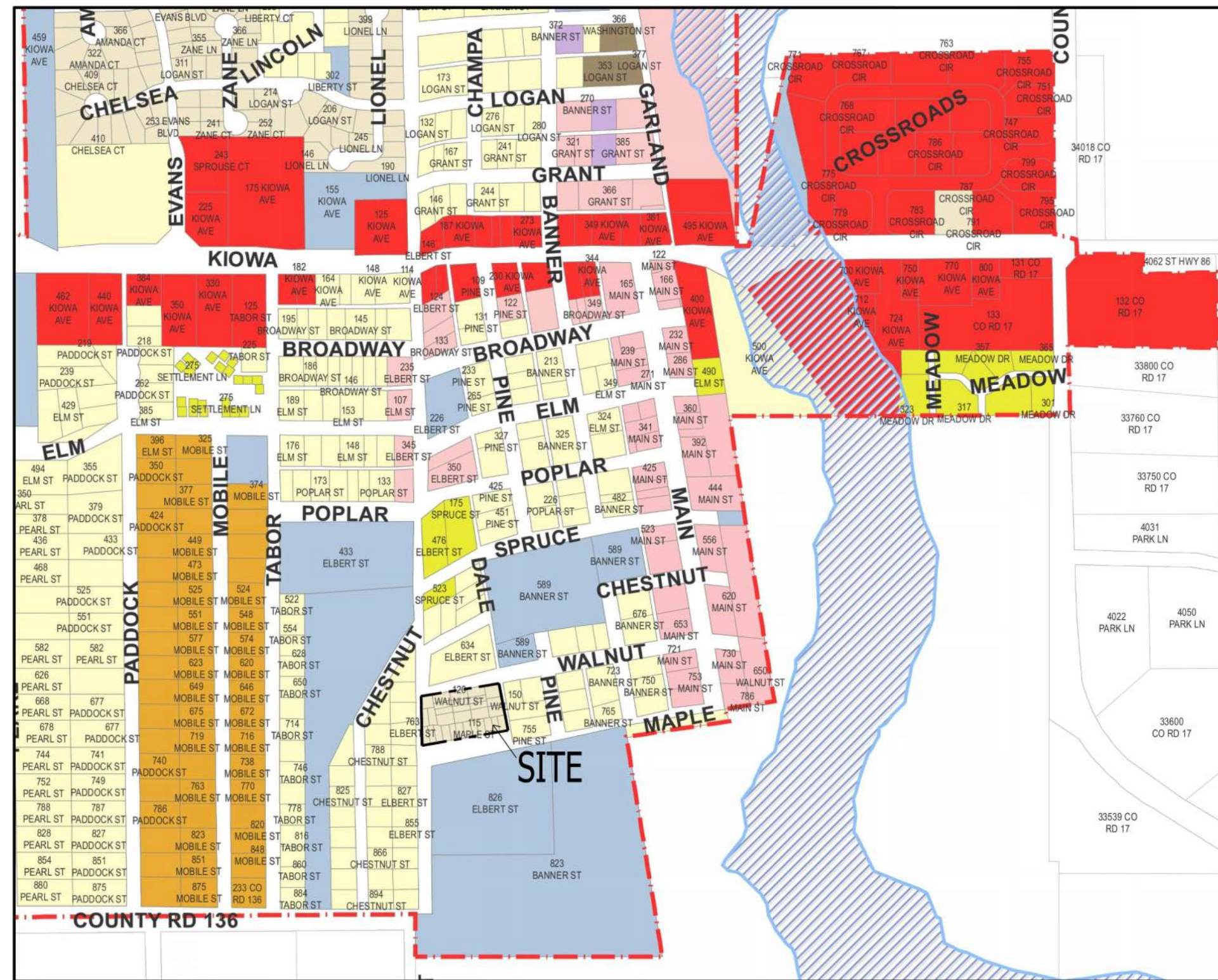


# SKETCH PLAN FOR WALNUT GROVE

LOTS 1A THROUGH 6A, BLOCK 30, LOTS 7A AND 8A, BLOCK 28 AND THE 60 FOOT WIDE RIGHT-OF-WAY FOR PARK STREET LYING BETWEEN BLOCKS 28 AND 30, PHILLIPS ADDITION, AS RECORDED UNDER RECEPTION #304731, WITHIN SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST. OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO.

+/- 1.568 ACRES

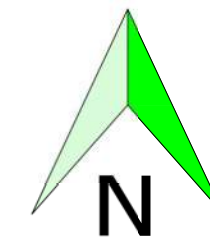
LOCATED AT: SOUTHEASTERN CORNER OF ELBERT & WALNUT STREET INTERSECTION



### VICINITY MAP

SCALE: 1" = 500'-0"

SECTION-18 TOWNSHIP-8 S RANGE-64 W



**Legend**

- Town Boundary
- FEMA Flood Area
  - 100 Year Flood Zone
- Zoning District
  - Agriculture
  - Commercial Mixed Use
  - Downtown
  - Light Industrial
  - Mobile Home 1
  - Public, Semi-Public, and Institutional
  - Planned Unit Development
  - Residential 1
  - Residential 3
  - Residential Townhomes
  - Regional Commercial
  - Unincorporated County Parcels
- STREET NAME / ROW



Know what's below. Call before you dig.

### NOTES:

- THIS PROPOSED REPLAT-SITE PLAN COMPOSES THE ENTIRETY OF THE EXISTING PLANNED DEVELOPMENT.
- HAZARD AREAS - NONE
- VIEWS FROM OR TO SITE - NONE
- WILDLIFE AREAS - NONE
- THE STREETS INTERNAL TO THE DEVELOPMENT ARE TO REMAIN PRIVATE WITH NO DEDICATION TO THE TOWN.
- ALL SNOW REMOVED FROM PARKING AND DRIVE AREAS MUST REMAIN ON-SITE AND NOT DEPOSITED ON PUBLIC PROPERTY NOR THE RIGHT-OF-WAY.

### SITE DATA

ZONING: PLANNED UNIT DEVELOPMENT  
 CURRENT USE: VACANT  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL  
 PROPERTY AREA: 68,306 SF - 1.568 ACRES  
 DISTURBED AREA(LOC): 1.64 ACRES

LATITUDE: 39° 21' 21.43" N  
 LONGITUDE: 104° 35' 55.62" W

### PROJECT DESCRIPTION

PROJECT DESCRIPTION:  
 THE OWNER PROPOSES TO CONSTRUCT ONE, 28 UNIT, THREE-STORY ABOVE GRADE & ONE-STORY BELOW GRADE MULTI-FAMILY APARTMENT BUILDING WITHIN THE LIMITS OF BLOCKS 28 THROUGH 30 ON THE CORNER OF ELBERT & WALNUT STREET IN ELIZABETH, COLORADO. ADDITIONALLY, THE SITE WILL BE PREPARED FOR THE CONSTRUCTION OF 16, THREE-STORY TOWNHOMES AND 1 ONE-STORY COMMUNITY BLDG.

EXISTING CONDITIONS:  
 THE PROJECT AREA IS ZONED PUD AND IS CURRENTLY VACANT. EXISTING RUNOFF IS CURRENTLY ROUTED NORTHEAST AND IS UNDETAINED.

PROPOSED CONDITIONS:  
 THE SITE WILL BE BUILT IN TWO PHASES. THE FIRST PHASE WILL BE THE APARTMENT BUILDING AND COMMUNITY BUILDING. THE SECOND PHASE WILL BE TOWNHOME BUILDINGS. THE APARTMENT & COMMUNITY BUILDINGS WILL RECEIVE UTILITY SERVICES FROM THE EXISTING WALNUT STREET RIGHT OF WAY. SANITARY SEWER WILL BE SHARED ONSITE AND ROUTED NORTH TO THE WALNUT STREET RIGHT OF WAY. A 2" WATER TAP FROM WALNUT STREET WILL SUPPLY THE APARTMENT & COMMUNITY BUILDINGS WITH POTABLE WATER ALONG WITH A SEPARATE 6" FIRE LINE FOR THE APARTMENTS. THE ONE PROPOSED HYDRANT IS SERVICED FROM A PROPOSED 6" WATER LINE NEAR THE WALNUT STREET ENTRANCE. FOR PHASE 2, THE TOWNHOMES WILL BE SERVICED BY A 2" DIA. WATER LINE TAP FROM THE EXISTING MAPLE STREET EXISTING 6" WATER MAIN TO SUPPLY POTABLE WATER. SANITARY FOR THE MIDDLE TOWNHOME BUILDINGS WILL BE AN 8" MAIN THAT GOES TO AN THE 8" SANITARY STUB THAT WILL BE BUILT IN PHASE 1 AS SHOWN ON UTILITY PLANS. THE SANITARY FOR THE EAST TOWNHOME BUILDING WILL BE SERVICED BY THE EXISTING 8" SANITARY MAIN THAT DRAINS NORTH TO WALNUT STREET. RUNOFF FROM THE SITE WILL BE DIRECTED TO THE 3-ZONE EXTENDED DETENTION BASIN LOCATED IN THE NORTHEAST CORNER OF THE SITE. THE POND WILL DISCHARGE AT HISTORIC RATES TO THE STORM SEWER LOCATED IN WALNUT STREET.

### BASIS OF BEARING & BENCHMARKS

CP 950, A #5 REBAR APPROXIMATELY 50' SOUTH OF THE SOUTHWEST CORNER, 1.3' EAST OF THE BACK OF WALK ON ELBERT STREET. ELEVATION - 6522.29'  
 CP 953, A #5 REBAR APPROXIMATELY 66' NORTH OF THE NORTHEAST CORNER, 2.3' WEST OF THE EDGE OF DALE COURT. NAVD88 DATUM. ELEVATION - 6498.63'

### LEGAL DESCRIPTION

Lots 1-28 and Tracts A & B, Walnut Grove Townhomes Planned Development, as recorded in Elbert County, CO, Reception no. 531671, Bk 13, Pg 70 in November of 2012. Within Section 18, Township 8 South, Range 64 West of the 6th Principal Meridian, Town of Elizabeth, County of Elbert, State of Colorado.

### CONSULTANT CONTACTS

APPLICANT/DEVELOPER: UNIBUILDERS, LLC  
 CONTACT: DAVE AHMADABADI (720)-641-0350

CIVIL ENGINEER: COLORADO CIVIL ENGINEERING, LLC  
 41435 CTRY ROSE, PARKER, CO 80138  
 CONTACT: OTTO BURDEN, P.E. (303)-708-1930

ARCHITECT: SANDELLA DESIGN  
 CONTACT: DANIEL SPIESMAN (719)-839-0842

MECHANICAL: LOHR DESIGN GROUP  
 5995 LASSO PLACE  
 PARKER, COLORADO 80134  
 SCOTT LOHR P.E. (303) 870-5170

LIGHTING: KAZIN & ASSOCIATES, INC.  
 9364 TEDDY LANE, SUITE 101  
 LONE TREE, COLORADO 80124  
 BRYAN KAZIN, PE 720-489-1609S

### DEVELOPMENT DATA:

DESCRIPTION	AREA	% OF 1.568 AC
APARTMENTS	9,117 SF	13.34%
TOWNHOMES	11,439 SF	16.75%
COMMUNITY BLDG.	1,582 SF	2.32%
DRIVING/PARKING SURFACES	24,512 SF	35.89%
SIDEWALKS	6,571 SF	9.62%
LANDSCAPING (OPEN SPACE)	15,081 SF	22.08%
TOTAL	68,305.84 SF	100.00%

PARKING:  
 2 SPACES PER UNIT INCL HANDICAP (4MIN. W/1 VAN)=  
 88 TOTAL SPACES REQUIRED

TYPE	PROVIDED	% OF TOTAL
STANDARD	87	0.0%
HANDICAP	4 VAN SPACES	4.4%
TOTAL	91	100.00%

### SHEET INDEX

C 1 - COVER SHEET  
 C 2 - SKETCH PLAN  
 C 3 - SKETCH PLAN LOTS

### LOT USAGE

LOT 1 - APARTMENT RENTALS  
 LOTS 2-4 - TOWNHOME RENTALS  
 LOT 5 - COMMUNITY CENTER, OWNED BY HOA  
 TRACT A - DETENTON POND TRACT, OWNED & MAINTAINED BY HOA

### R-3 ZONING DISTRICT DIMENSIONAL STANDARDS

ORDINANCE # 578652 B 787, P 515 (DATED 5/8/2018)  
 AMENDMENT TO UNDERLYING ZONING/PUD ALLOWANCES PER ORDINANCE #578652

BLDG HEIGHT: 37' MAX. HEIGHT (ENTIRE SITE)  
 SETBACKS: 0' - WALNUT STREET  
 0' - ELBERT STREET  
 10' - MAPLE STREET

DENSITY: 29 UNITS/ACRE  
 MIN. LOT WIDTH: 197 FEET

STANDARD R-3 ZONING/PUD ALLOWANCES PER TABLE 16-2

MIN. LOT SIZE: 9000 SF  
 MAX. LOT COVERAGES:  
 UNDER ROOF 35%  
 MIN. VEGETATIVE AREA 20%  
 MIN. SQUARE FEET PER DWELLING 600 SF

**CCE** Colorado Civil Engineering, LLC  
 41435 Country Rose Circle  
 Parker, CO 80138  
 303-708-1930

ENTITLEMENT SET FOR:  
 WALNUT GROVE

COVER SHEET  
 WALNUT GROVE - SKETCH PLAN  
 ELBERT & WALNUT STREET INTERSECTION  
 ELIZABETH, COLORADO

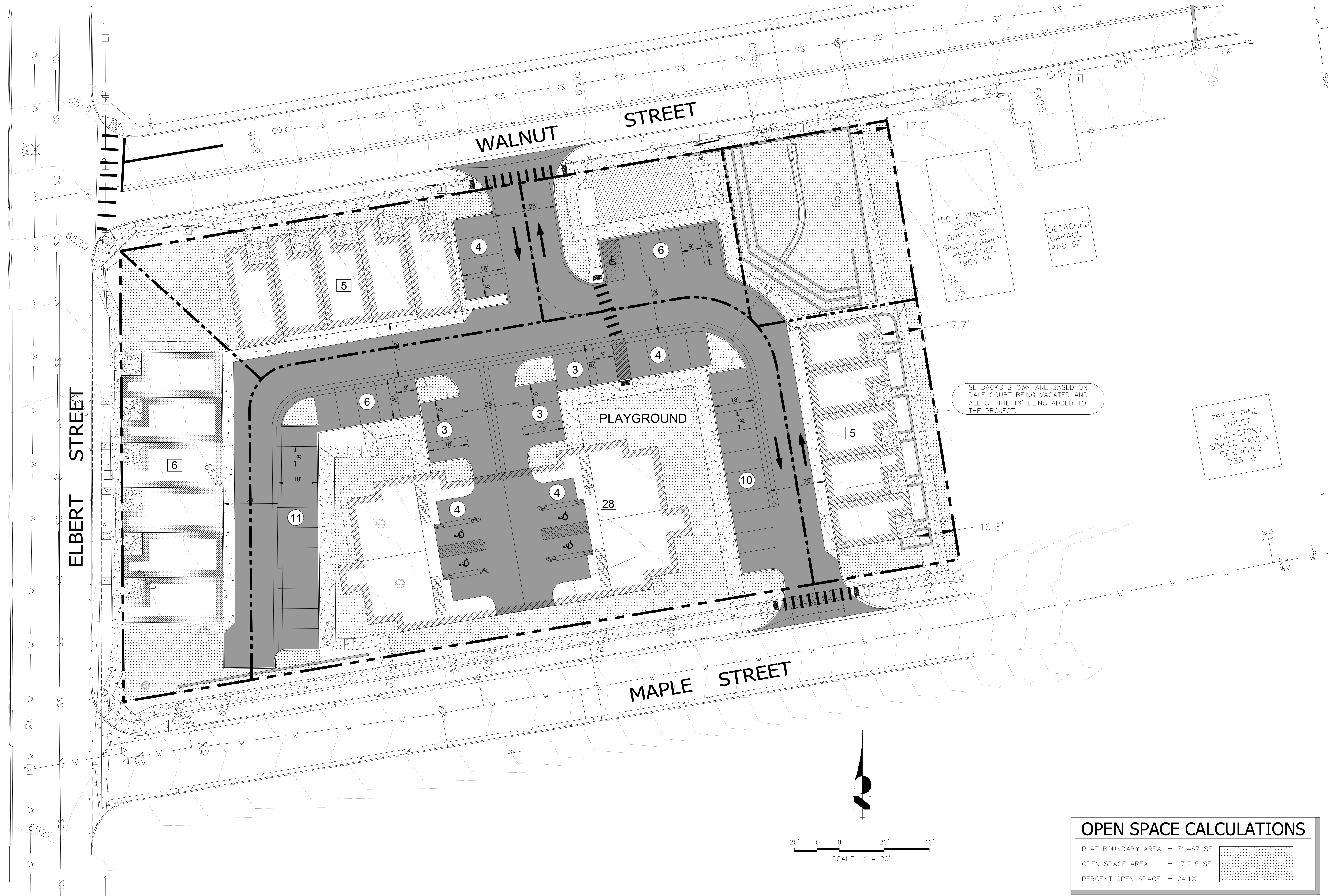
DATE: 06-02-2023

**C 1**  
 SHEET 1 OF 3



# WALNUT GROVE SKETCH PLAN

A VACATION AND REPLAT OF LOTS 1-28 AND TRACTS A & B, WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT  
PART OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST, 6TH P.M.  
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO



SETBACKS SHOWN ARE BASED ON DALE COURT BEING VACATED AND ALL OF THE 16' BEING ADDED TO THE PROJECT.

150 E WALNUT STREET  
ONE-STORY SINGLE FAMILY RESIDENCE  
1904 SF

DETACHED GARAGE  
480 SF

755 S PINE STREET  
ONE-STORY SINGLE FAMILY RESIDENCE  
735 SF

OPEN SPACE CALCULATIONS	
PLAT BOUNDARY AREA	= 71,467 SF
OPEN SPACE AREA	= 17,215 SF
PERCENT OPEN SPACE	= 24.1%

Item 3

**CCFE** Colorado Civil Engineering, LLC  
41435 County Rose Circle  
Parker, Colorado 80138  
303-708-1930

PREPARED FOR:  
UNBUILDERS  
2200 S JASMINE ST UNIT 109  
DENVER, CO 80222-3708

**WALNUT GROVE**  
ELIZABETH, COLORADO

JOB NO. 1347  
DESIGN BY: OB  
ISSUE DATE: 06/02/2023

REVISIONS:	
1.)	REM ELBERT STAIRS REVISE BOUNDARY 07/27/2023
2.)	REVISED PER TOWN 08/23/2023
3.)	REVISE PER CORE 08/31/2023
4.)	

SITE  
PLAN

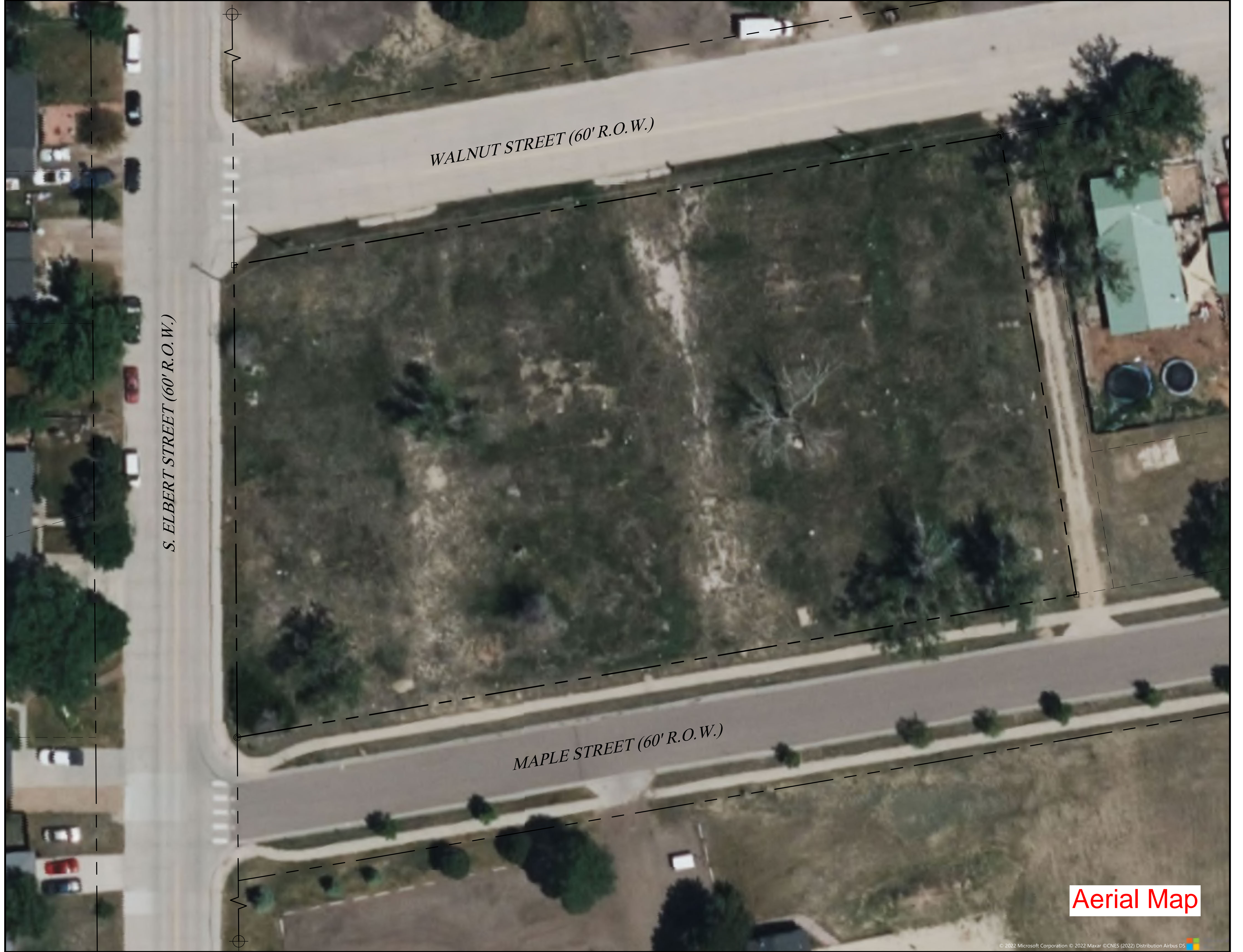
**C 2**

SHEET: 2 OF 3









*S. ELBERT STREET (60' R.O.W.)*

*WALNUT STREET (60' R.O.W.)*

*MAPLE STREET (60' R.O.W.)*

**Aerial Map**





**TOWN OF ELIZABETH**  
COMMUNITY DEVELOPMENT DEPARTMENT

# Exhibit B



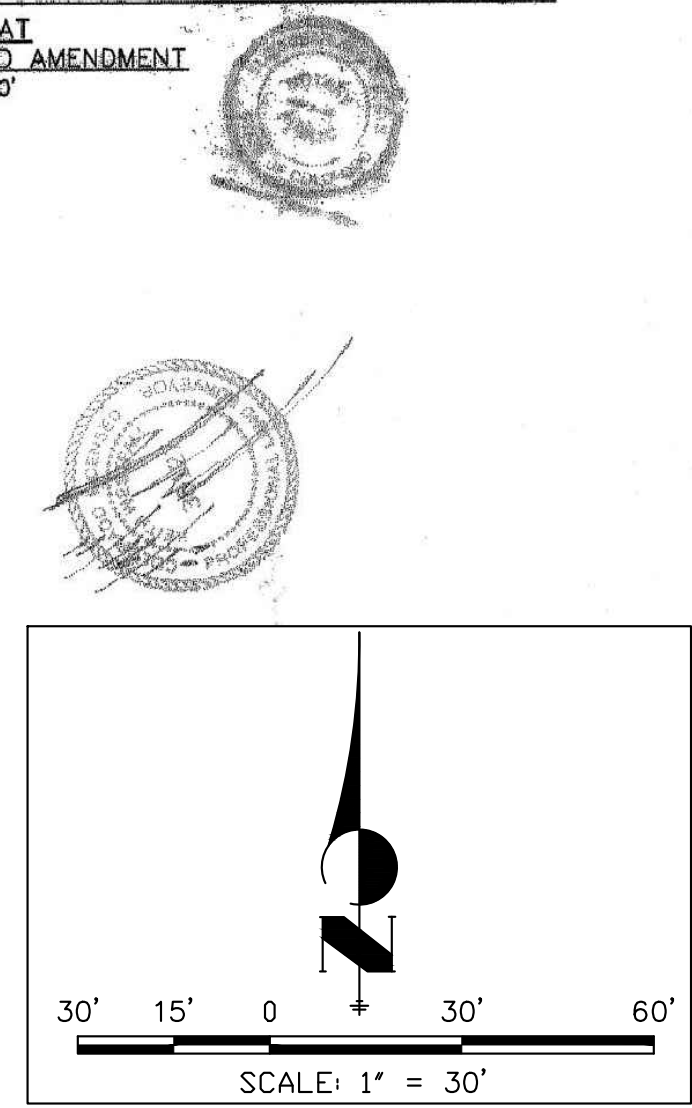
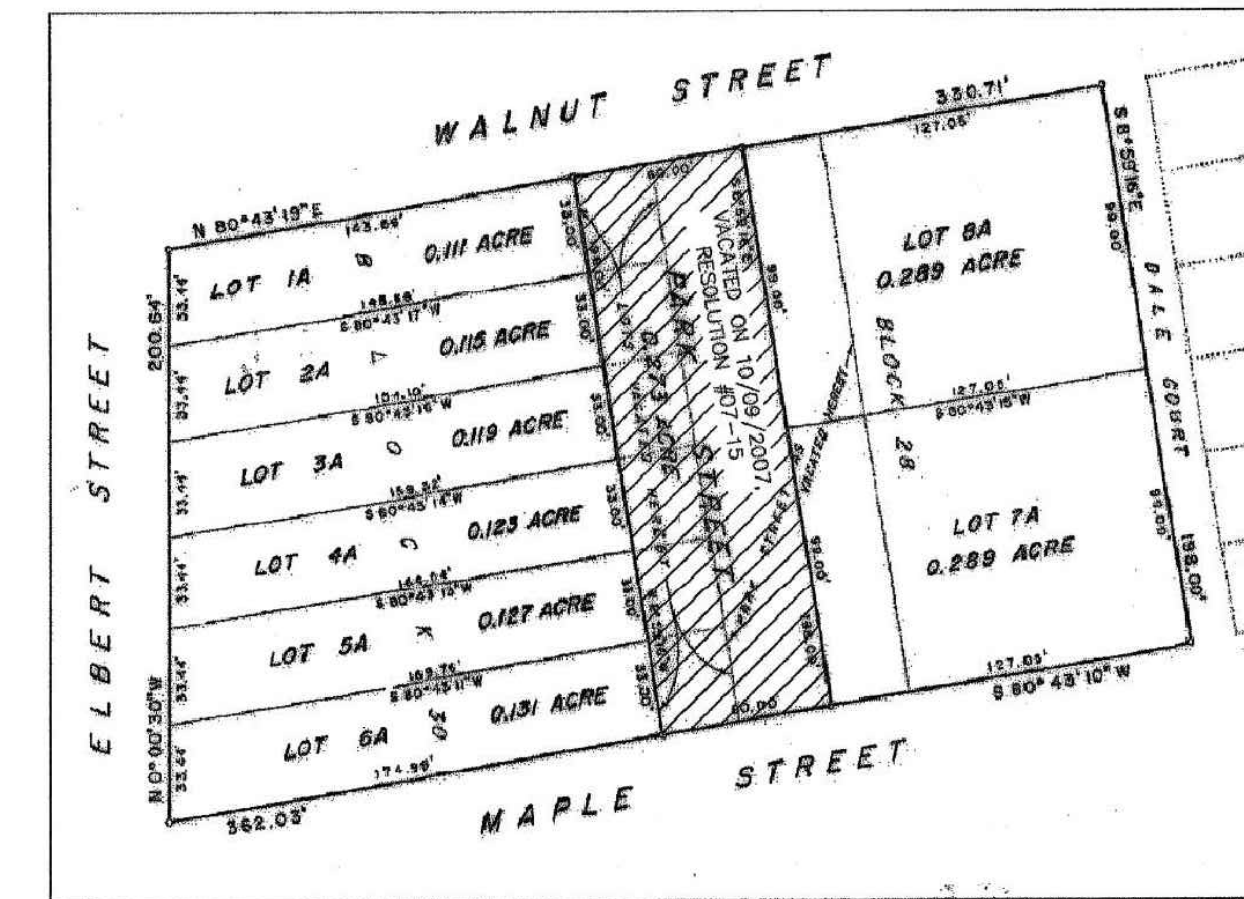
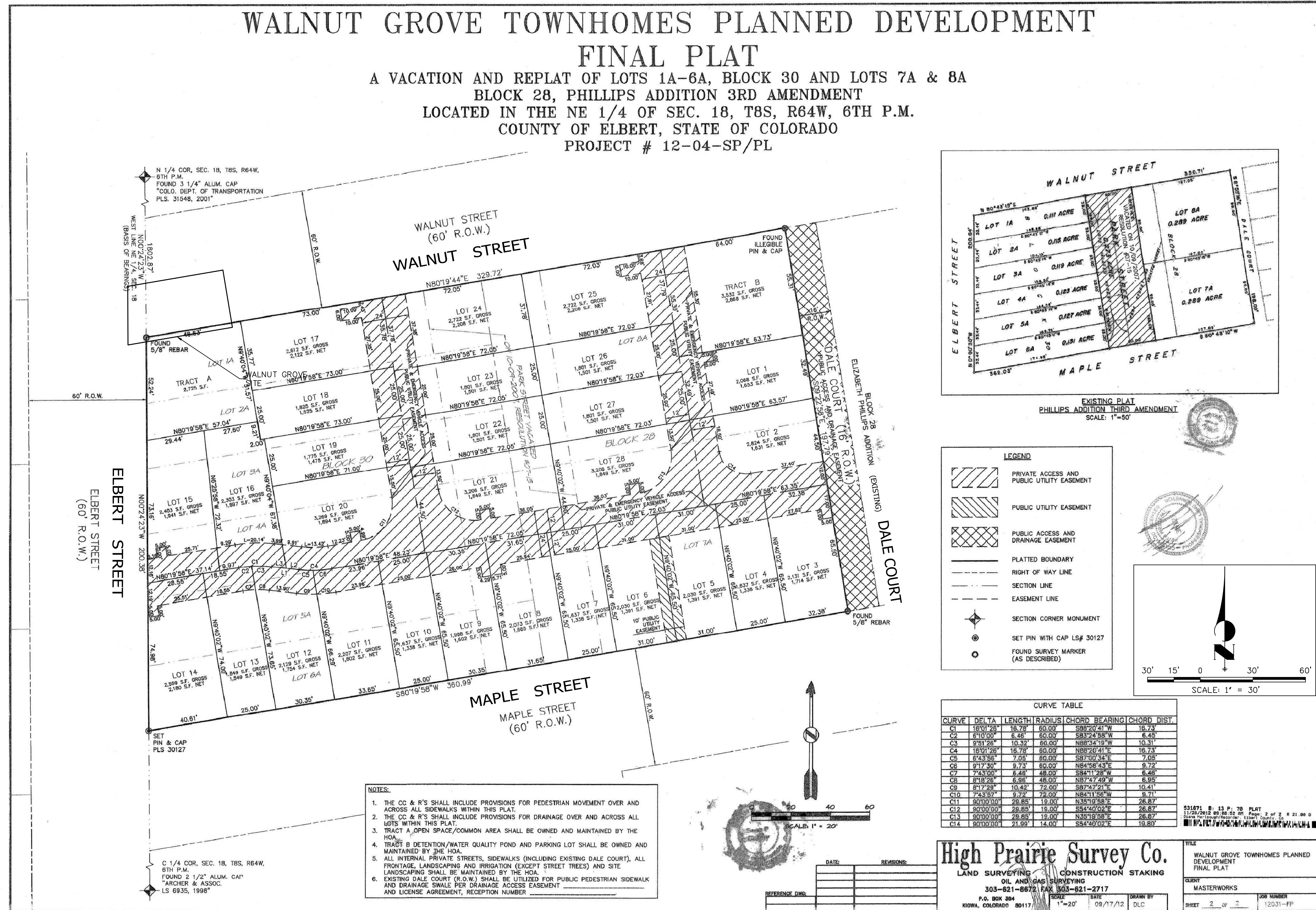


# WALNUT GROVE PRELIMINARY PLAN

A VACATION AND REPLAT OF LOTS 1-28 AND TRACTS A & B, WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT  
PART OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 65 WEST, 6TH P.M.  
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

## WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT FINAL PLAT

A VACATION AND REPLAT OF LOTS 1A-6A, BLOCK 30 AND LOTS 7A & 8A  
BLOCK 28, PHILLIPS ADDITION 3RD AMENDMENT  
LOCATED IN THE NE 1/4 OF SEC. 18, T8S, R64W, 6TH P.M.  
COUNTY OF ELBERT, STATE OF COLORADO  
PROJECT # 12-04-SP/PL



DATE: \_\_\_\_\_ REVISIONS: \_\_\_\_\_

REFERENCE DNR: \_\_\_\_\_

**High Prairie Survey Co.**  
LAND SURVEYING CONSTRUCTION STAKING  
OIL AND GAS SURVEYING  
303-621-8672 FAX 303-621-2717  
P.O. BOX 364 NIOWA, COLORADO 80117  
SCALE: 1"=20' DATE: 09/17/12 DRAWN BY: DLG SHEET: 2 OF 2 JOB NUMBER: 12031-FP

EXISTING PLAT  
WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT  
BY HIGH PRAIRIE SURVEY CO  
RECEPTION #531671, BOOK 13, PAGE 70  
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO  
RECORDED NOVEMBER 28, 2012

CCFE Colorado Civil Engineering, LLC  
41435 County Rose Circle  
Parker, Colorado 80138  
303-708-1930

PREPARED FOR:  
UNBUILDERS  
2200 S JASMINE ST UNIT 109  
DENVER, CO 80222-3708

WALNUT GROVE  
ELIZABETH, COLORADO

JOB NO. 1347  
DESIGN BY: OB  
ISSUE DATE: 06/02/2023

REVISIONS:

1.)	
2.)	
3.)	
4.)	

EXISTING  
RECORDED  
PLAT

P 2  
SHEET: 2 OF 2

B13 Pg. 70-2



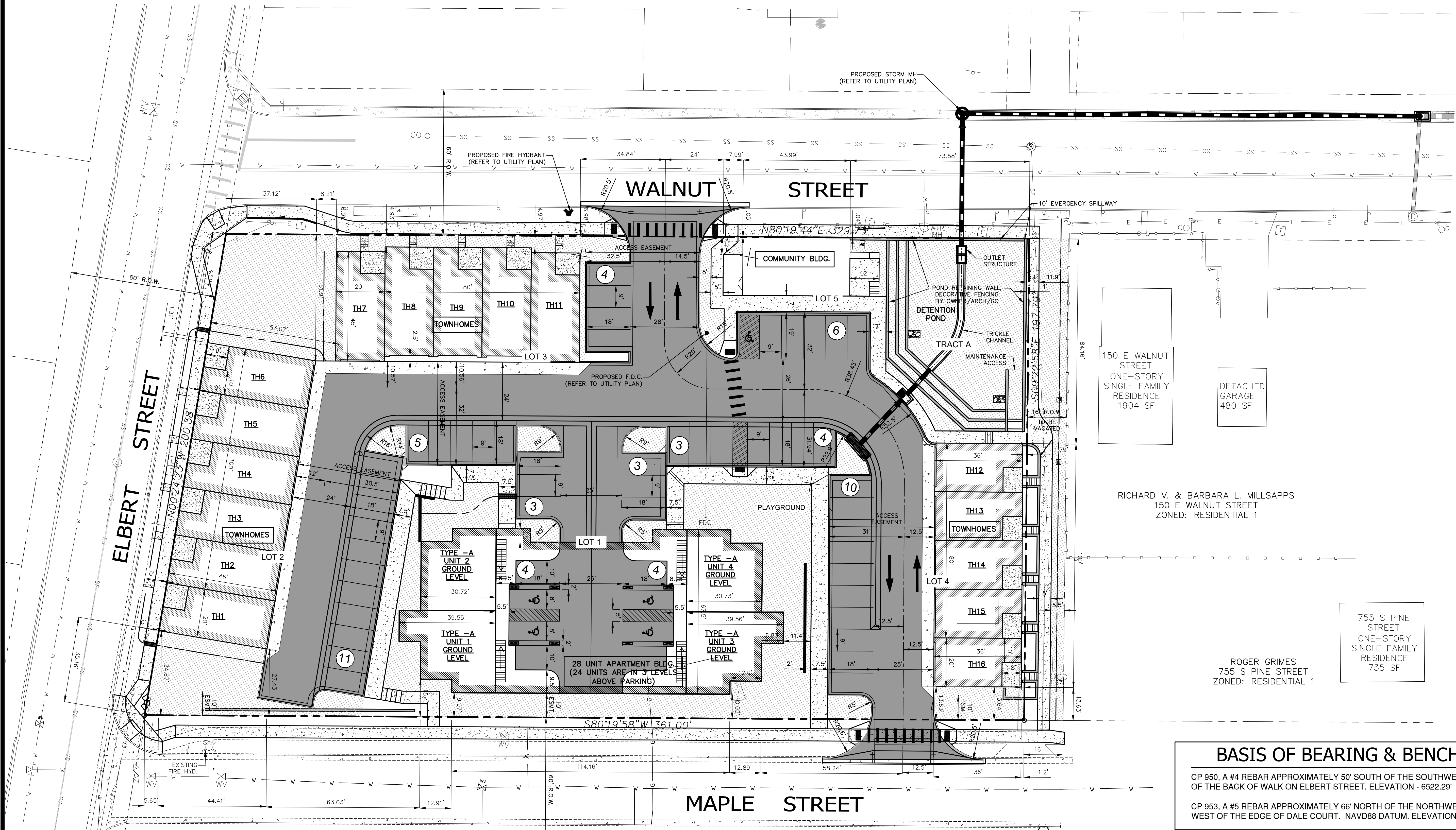
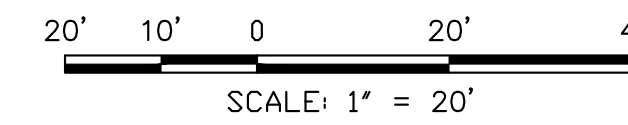
UTILITY NOTIFICATION



CALL 811 OR 1-800-922-1987 PRIOR TO ANY DIGGING.

# WALNUT GROVE

## CONSTRUCTION PLANS



**BASIS OF BEARING & BENCHMARKS**

CP 950, A #4 REBAR APPROXIMATELY 50' SOUTH OF THE SOUTHWEST CORNER, 1.3' EAST OF THE BACK OF WALK ON ELBERT STREET. ELEVATION - 6522.29'

CP 953, A #5 REBAR APPROXIMATELY 66' NORTH OF THE NORTHWEST CORNER, 2.3' WEST OF THE EDGE OF DALE COURT. NAVD88 DATUM. ELEVATION - 6498.63'

**CIVIL ENGINEER'S STATEMENT**

I HEREBY AFFIRM THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION. TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN ACCORDANCE WITH APPLICABLE TOWN OF ELIZABETH STANDARDS.

ALLISON RICE, P.E.  
COLORADO P.E. 35833  
FOR AND ON BEHALF OF VERABEN LLC

DATE \_\_\_\_\_

VERABEN LLC  
6834 S. UNIVERSITY BLVD., UNIT 164  
CENTENNIAL, CO 80122  
720-843-0654

PREPARED FOR:  
UNBUILDERS  
2200 S JASMINE ST UNIT 109  
DENVER, CO 80222-5708

WALNUT GROVE  
ELIZABETH, COLORADO

JOB NO. 23004  
DESIGN BY: AMR  
DRAWN BY: AMR  
ISSUE DATE: 6/1/2023

REVISIONS:

- 1) COMMENTS PER CCE (2023-06-19)
- 2) COMMENTS PER TOE (2023-09-11)
- 3)
- 4)
- 5)
- 6)

PRELIMINARY CONSTRUCTION PLANS

SITE PLAN

**C1.0**

SHEET: 2 OF



UTILITY NOTIFICATION

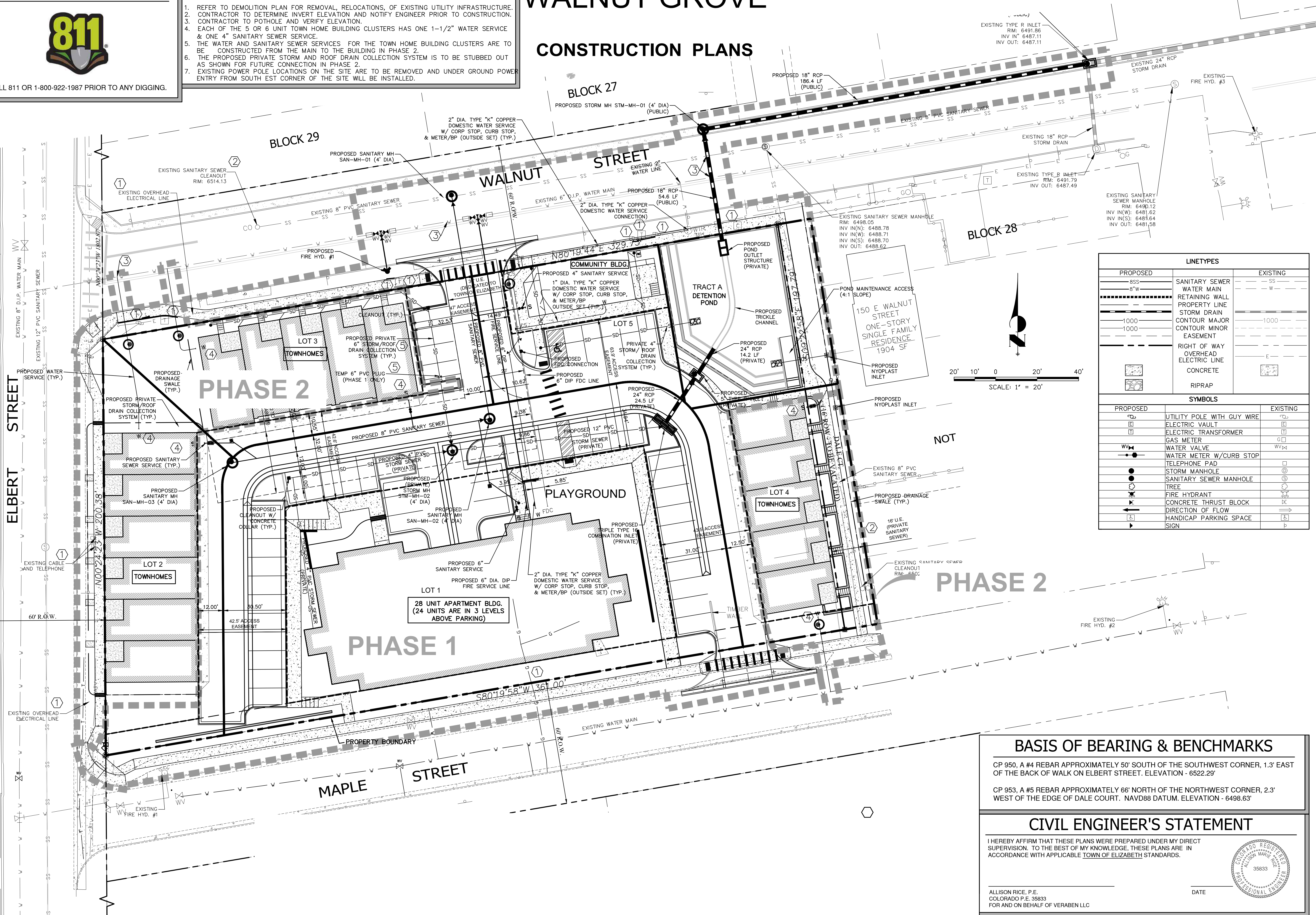


CALL 811 OR 1-800-922-1987 PRIOR TO ANY DIGGING.

OVERALL UTILITY PLAN NOTES

1. REFER TO DEMOLITION PLAN FOR REMOVAL, RELOCATIONS, OF EXISTING UTILITY INFRASTRUCTURE.
2. CONTRACTOR TO DETERMINE INVERT ELEVATION AND NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO POTHOLE AND VERIFY ELEVATION.
4. EACH OF THE 5 OR 6 UNIT TOWN HOME BUILDING CLUSTERS HAS ONE 1-1/2" WATER SERVICE & ONE 4" SANITARY SEWER SERVICE.
5. THE WATER AND SANITARY SEWER SERVICES FOR THE TOWN HOME BUILDING CLUSTERS ARE TO BE CONSTRUCTED FROM THE MAIN TO THE BUILDING IN PHASE 2.
6. THE PROPOSED PRIVATE STORM AND ROOF DRAIN COLLECTION SYSTEM IS TO BE STUBBED OUT AS SHOWN FOR FUTURE CONNECTION IN PHASE 2.
7. EXISTING POWER POLE LOCATIONS ON THE SITE ARE TO BE REMOVED AND UNDER GROUND POWER ENTRY FROM SOUTH EST CORNER OF THE SITE WILL BE INSTALLED.

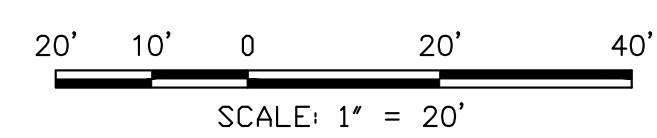
WALNUT GROVE  
CONSTRUCTION PLANS



LINETYPES		
PROPOSED		EXISTING
8"SS	SANITARY SEWER	SS
8"W	WATER MAIN	W
---	RETAINING WALL	---
---	PROPERTY LINE	---
---	STORM DRAIN	---
---	CONTOUR MAJOR	---
---	CONTOUR MINOR	---
---	EASEMENT	---
---	RIGHT OF WAY	---
---	OVERHEAD ELECTRIC LINE	---
---	CONCRETE	---
---	RIPRAP	---

SYMBOLS		
PROPOSED		EXISTING
⊕	UTILITY POLE WITH GUY WIRE	⊕
⊞	ELECTRIC VAULT	⊞
⊞	ELECTRIC TRANSFORMER	⊞
⊞	GAS METER	⊞
WV	WATER VALVE	WV
WV	WATER METER W/CURB STOP	WV
⊞	TELEPHONE PAD	⊞
⊞	STORM MANHOLE	⊞
⊞	SANITARY SEWER MANHOLE	⊞
⊞	TREE	⊞
⊞	FIRE HYDRANT	⊞
⊞	CONCRETE THRUST BLOCK	⊞
→	DIRECTION OF FLOW	→
♿	HANDICAP PARKING SPACE	♿
⊞	SIGN	⊞



NOT

PHASE 2

BASIS OF BEARING & BENCHMARKS

CP 950, A #4 REBAR APPROXIMATELY 50' SOUTH OF THE SOUTHWEST CORNER, 1.3' EAST OF THE BACK OF WALK ON ELBERT STREET. ELEVATION - 6522.29'

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CIVIL ENGINEER'S STATEMENT

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ALLISON RICE, P.E.  
COLORADO P.E. 35833  
FOR AND ON BEHALF OF VERABEN LLC

DATE



VERABEN LLC  
6834 S. UNIVERSITY BLVD., UNIT 164  
CENTENNIAL, CO 80122  
720-845-0654

PREPARED FOR:  
UNBUILDERS  
2200 S JASMINE ST UNIT 109  
DENVER, CO 80222-5708

WALNUT GROVE  
ELIZABETH, COLORADO

JOB NO. 23004  
DESIGN BY: AMR  
DRAWN BY: AMR  
ISSUE DATE: 6/1/2023

REVISIONS:  
1) COMMENTS PER CCE (2023-06-19)  
2) COMMENTS PER TOE (2023-09-11)  
3)  
4)  
5)  
6)

PRELIMINARY CONSTRUCTION PLANS  
OVERALL UTILITY PLAN  
C2.0  
SHEET: 3 OF



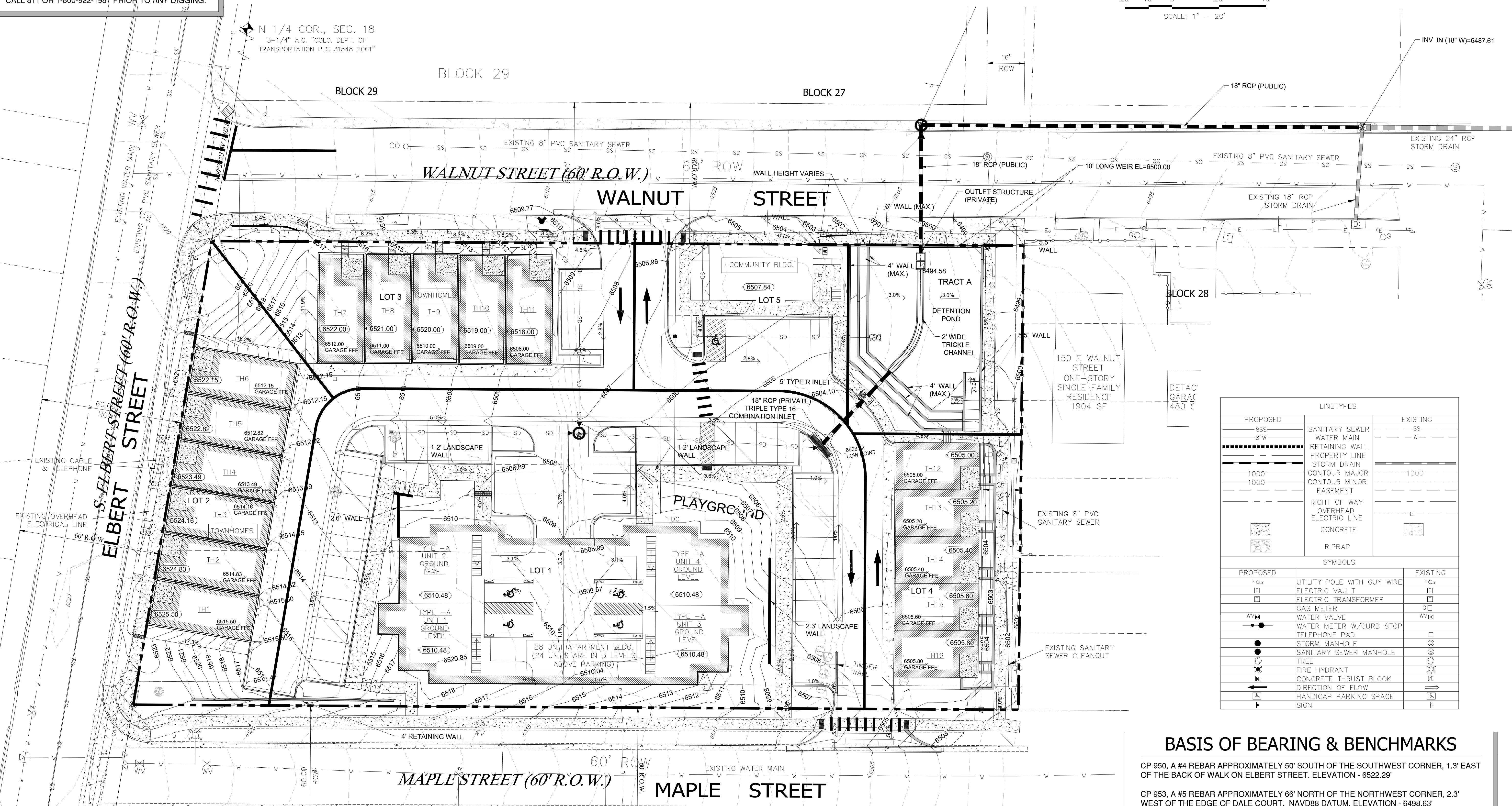
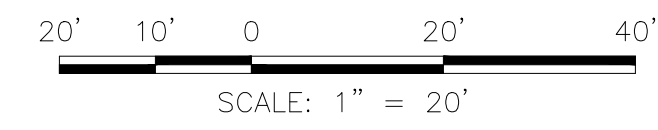
UTILITY NOTIFICATION



CALL 811 OR 1-800-922-1987 PRIOR TO ANY DIGGING.

# WALNUT GROVE

## CONSTRUCTION PLANS



PROPOSED		EXISTING	
SS	SANITARY SEWER	SS	SANITARY SEWER
8" W	WATER MAIN	W	WATER MAIN
---	RETAINING WALL	---	RETAINING WALL
---	PROPERTY LINE	---	PROPERTY LINE
---	STORM DRAIN	---	STORM DRAIN
1000	CONTOUR MAJOR	1000	CONTOUR MAJOR
1000	CONTOUR MINOR	---	CONTOUR MINOR
---	EASEMENT	---	EASEMENT
---	RIGHT OF WAY	---	RIGHT OF WAY
---	OVERHEAD ELECTRICAL LINE	---	OVERHEAD ELECTRICAL LINE
---	CONCRETE	---	CONCRETE
---	RIPRAP	---	RIPRAP
SYMBOLS		EXISTING	
⊕	UTILITY POLE WITH GUY WIRE	⊕	UTILITY POLE WITH GUY WIRE
⊞	ELECTRIC VAULT	⊞	ELECTRIC VAULT
⊞	ELECTRIC TRANSFORMER	⊞	ELECTRIC TRANSFORMER
⊞	GAS METER	⊞	GAS METER
WV	WATER VALVE	WV	WATER VALVE
WV	WATER METER W/CURB STOP	WV	WATER METER W/CURB STOP
⊞	TELEPHONE PAD	⊞	TELEPHONE PAD
⊞	STORM MANHOLE	⊞	STORM MANHOLE
⊞	SANITARY SEWER MANHOLE	⊞	SANITARY SEWER MANHOLE
⊞	TREE	⊞	TREE
⊞	FIRE HYDRANT	⊞	FIRE HYDRANT
⊞	CONCRETE THRUST BLOCK	⊞	CONCRETE THRUST BLOCK
→	DIRECTION OF FLOW	→	DIRECTION OF FLOW
⊞	HANDICAP PARKING SPACE	⊞	HANDICAP PARKING SPACE
⊞	SIGN	⊞	SIGN

**BASIS OF BEARING & BENCHMARKS**

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 COLORADO P.E. 35833  
 FOR AND ON BEHALF OF VERABEN LLC

DATE \_\_\_\_\_

VERABEN LLC  
 6634 S. UNIVERSITY BLVD., UNIT 164  
 CENTENNIAL, CO 80122  
 720-845-0634

PREPARED FOR:  
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 2200 S JASMINE ST UNIT 109  
 DENVER, CO 80222-5708

WALNUT GROVE  
 ELIZABETH, COLORADO

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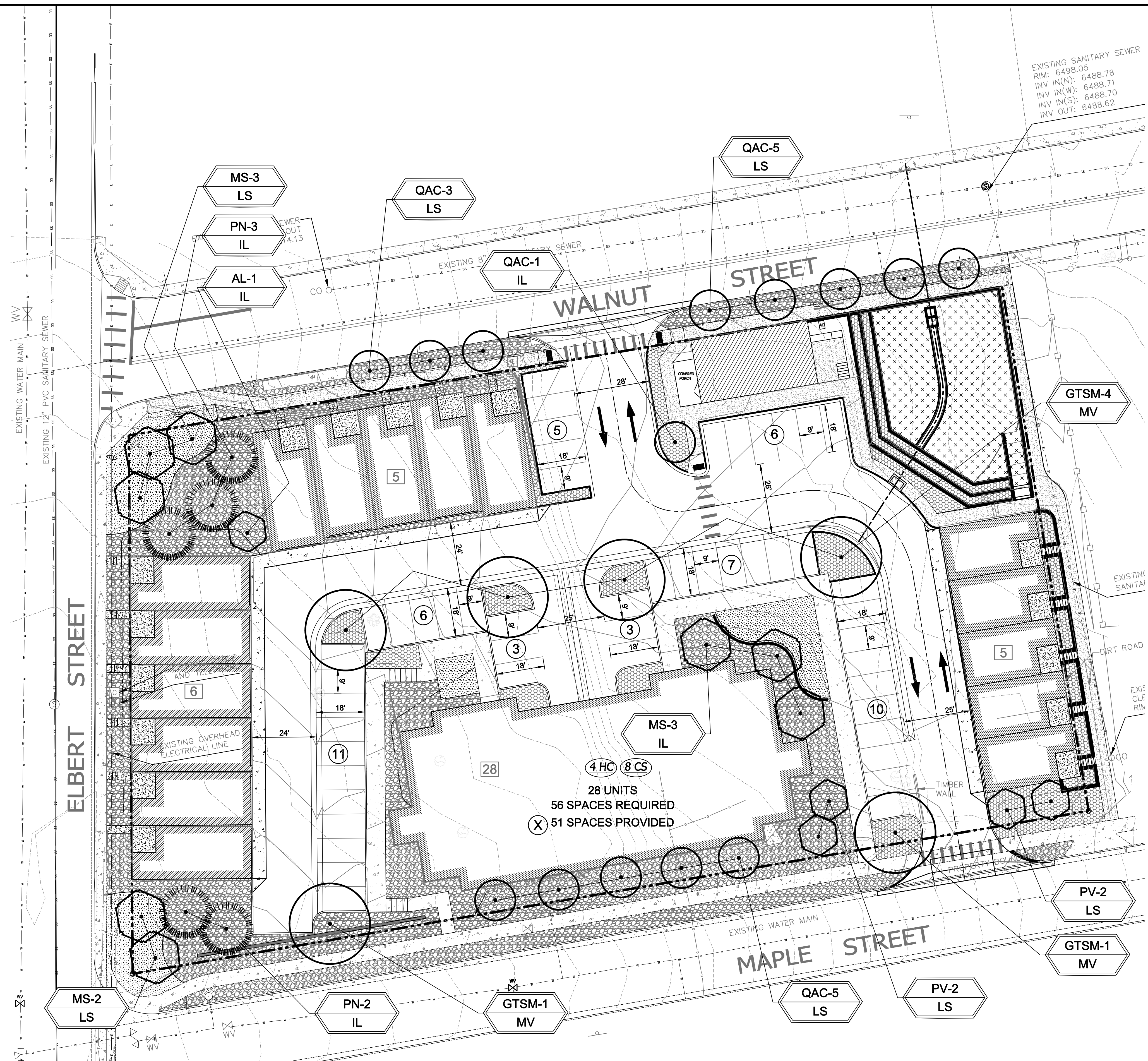
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 3)  
 4)  
 5)  
 6)

PRELIMINARY CONSTRUCTION PLANS  
 OVERALL GRADING PLAN

C3.0

SHEET: 4 OF Page 27





### LANDSCAPE CODE NOTE

LANDSCAPE SETBACK (LS): 10' SETBACK REQUIRED/PROVIDED  
 1 TREE PER 40 LF: WALNUT STREET - 8 TREES REQUIRED/PROVIDED, MAPLE STREET - 9 REQ/PROVIDED, ELBERT STREET - 5/3 REQUIRED/PROVIDED  
 PARKING LOT (MV): 1 TREE PER ISLAND AND 4 SHRUBS - 6 TREES REQ./PROVIDED  
 INTERNAL LANDSCAPE (IL): 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREAS - 11 TREES REQ./ 10 PROVIDED  
 INTERNAL LANDSCAPE: 15% OF GROSS PROPERTY REQUIRED: 10,245 SF REQUIRED / 15,904 SF PROVIDED

### PLANT NOTE

SHRUBS, ORNAMENTAL GRASS, AND PERENNIALS WILL BE INCLUDED WITH THE FINAL LANDSCAPE PLAN PER TOWN MUNICIPAL CODE.

### PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Key from App. B	Mature Size	Planting Size
<b>EVERGREEN TREES:</b>							
●	PN	5	Pinus nigra	Austrian Pine	25878A	20'x45'	6' ht.
<b>DECIDUOUS TREES:</b>							
●	GTSM	6	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	AD	30'x30'	1-1/2' cal.
●	MS	8	Malus 'Spring Snow'	Spring Snow Crabapple	487S	15'	1-1/2' cal.
●	PV	5	Prunus virginiana 'Schubert'	Canada Red Cherry	124678SA	15'x15'	1-1/2' cal.
●	QAC	14	Quercus alba 'C. Robert' 'Crimschmidt'	Crimson Spire Oak	AD	15' x 45'	1-1/2' cal.
PERCENT SIGNATURE TREES REQUIRED: 60% TOTAL NO. OF TREES/SIGNATURE TREES: 100% SIGNATURE TREES **SIGNATURE TREES							
<b>EVERGREEN SHRUBS:</b>							
●	JCS	0	Juniperus x chinensis 'Spartan'	Spartan Juniper	DA	3-4' x 12-15'	# 5
●	JL	0	Juniperus chinensis 'Armstrong'	Armstrong Juniper	DA	3-4' x 3-4'	# 5
●	JR	0	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	DA	6-8' x 6-8'	# 5
<b>DECIDUOUS SHRUBS:</b>							
●	CR	0	Cornus stolonifera 'Redwig'	Red Twig Dogwood	457S	6-10' x 8-10'	# 5
●	FN	0	Forbesia neomexicana	New Mexico Privet	146DA	6-12' x 4-6'	# 5
●	RHA	0	Rhus aromatica 'Viro-Flora'	Sweetgum	DA	5-7' x 2-3'	# 5
●	RKD	0	Rosa x double knockout 'Radito'	Double Knockout Rose	45878A	3-4' x 3-4'	# 5
●	PR	0	Prunella basalis	Western Sand Cherry	1345A	3-8' x 5-8'	# 5
●	SBG	0	Spiraea x burbankii 'Goldflame'	Goldflame Spirea	SA	3-4' x 2-3'	# 5
●	SJ	0	Spiraea japonica 'Majic Carpet'	Majic Carpet Spirea	SA	1-2' x 1-2'	# 5
PERCENT SIGNATURE SHRUBS REQUIRED: 60% TOTAL NO. OF SHRUBS/SIGNATURE SHRUBS: 100% SIGNATURE SHRUBS **SIGNATURE SHRUBS							
<b>ORNAMENTAL GRASSES AND PERENNIALS:</b>							
●	CA	0	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	A	1-3' / 2-3'	#5 cont.
●	SSB	0	Schizachyrium scoparium 'Blaze'	Little Bluestem Grass 'Blaze'	1235D	2-3' x 2-3'	#5 cont.
●	SAL	0	Salvia nemorosa 'May Night'	May Night Salvia	DA	24 x 24"	#1 CONT.

NOTE: QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

### GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
[Pattern]	Kentucky Bluegrass Sod	
[Pattern]	Irrigated Seed Grass Mix 'C' Submit sample/spec prior to ordering material	
[Pattern]	Denver Granite Decorative Rock: 3/4" Diameter (with weed barrier) Submit sample/spec prior to ordering material	
[Pattern]	Canyon Swirl Rock : 4-8" Diameter (with weed barrier) Submit sample/spec prior to ordering material	
[Pattern]	Synthetic Grass for dog areas: Refer to Detail Submit sample/spec prior to ordering material	
[Symbol]	4-8" Dia. Arkansas Tan Cobble Edge between rock types	
[Symbol]	Steel Edger	
[Symbol]	Remove All Existing Siberian Elm Tree	

NOTE: QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

### GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

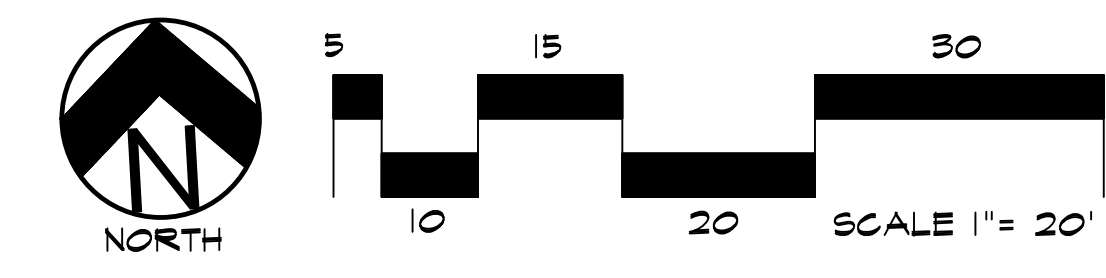
### DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANY OTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES 'LANDSCAPING AROUND ELECTRICAL EQUIPMENT'. SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

# PRELIMINARY LANDSCAPE PLAN



**HIGHER GROUND DESIGNS, INC.**  
 LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
 5350 NORTH ACADEMY BLVD., STE. 207  
 COLORADO SPRINGS, CO 80916  
 Phone: 719-566-1125  
 Fax: 719-566-1122



WALNUT GROVE  
 TOWN OF ELIZABETH, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

PREPARED FOR:

CITY STAMP	JOB NUMBER	1139-23
	REVISIONS	
	ORIGINAL DATE	6-2-23
	DRAWN BY	JM
	DESCRIPTION	PRELIM LANDSCAPE PLAN
SHEET NO.	L1.1	



### LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY THE TOWN OF ELIZABETH PLANNING AND OWNER REPRESENTATIVE.

### INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

STEEL EDGING TO BE GREEN PRO-STEEL (1/8" x 4" x 10') WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 OZ PROFESSIONAL GRADE POLYSPUN WEED BARRIER WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE 'CASCADE CEDAR' WITH NO LANDSCAPE FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST (PLANT SAFE) PREEN WEED PRE-EMERGENT, OR APPROVED EQUAL, IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

### PLANTING AREA SOIL PREP NOTES

FOR ALL PLANTING AREAS SOIL PREPARATION FOR UNDISTURBED OR COMPACTED AREAS:

- A. RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- B. REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.
- C. FOR TREE LOCATIONS REMOVE AND REPLACE EXISTING SOIL TO 36" DEPTH. IF CLAY OR SAND REPLACE WITH GRADE B TOPSOIL.

### FIRE SIGNAGE NOTE

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

### GRADING AND DRAINAGE NOTE

EXISTING GRADING AND DRAINAGE SHOULD BE MAINTAINED AND IS BY OTHERS. ALL GRADES SHOULD SLOPE MINIMUM AWAY FROM ALL BUILDING FOUNDATION. PRIOR TO, OR DURING CONSTRUCTION IF DRAINAGE PROBLEMS ARE IDENTIFIED CONTACT LANDSCAPE ARCHITECT AND CEASE WORK UNTIL A SOLUTION IS AGREED TO BY ALL PARTIES. HGD, INC. PREPARED THIS LANDSCAPE PLAN BASED ON EXISTING FIELD CONDITIONS AND AND IS NOT RESPONSIBLE FOR ANY DAMAGE TO BUILDING AND/OR SITE DUE TO IMPROPER GRADING AND/OR DRAINAGE.

### SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE EL PASO COUNTY ALL PURPOSE FOR UPLAND MIX (OR APPROVED EQUAL). REFER TO CHART. SEED TO BE APPLIED USING DRILL SEED PROCESS OR HYDRO-SEED PROCESS. HAND BROADCAST IN AREAS NOT ACCESSIBLE WITH EQUIPMENT. SOIL SHALL BE AMENDED BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL) AT 3 C.Y./1000 SF FILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. CONTACT PAWNEE BUTTES FOR CURRENT SEED MIX. SEEDING RATES ARE NOTED IN CHART.

DEPENDENT ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 1/2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION. DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 8-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDBED SURFACE.

### NATIVE GRASS MANAGEMENT NOTE

ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- 1. HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- 2. USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

### SLOPE STABILIZATION

LANDSCAPE CONTRACTOR TO PROVIDE EROSION CONTROL BLANKETS OR EQUAL ON SEEDED SLOPES 3:1 AND STEEPER. BLANKETS TO BE SECURED TO SLOPE PER MANUFACTURE RECOMMENDATIONS FIELD VERIFY SLOPES.

EROSION CONTROL BLANKET SHALL CONSIST OF 100% AGRICULTURAL STRAW BLANKET WITH PHOTODEGRADABLE NETTING ON BOTH SIDES.

### LONG-TERM MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT OF WAY STREET TREES, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

### GENERAL SITE NOTES

- 1. CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, IRRIGATION, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR.
- 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- 4. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CODES, STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- 5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- 6. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES 'LANDSCAPING AROUND ELECTRICAL EQUIPMENT'. SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

### DOCUMENT NOTE

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HIGHER GROUND DESIGNS, INC.  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5580 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80916  
Phone: 719-564-1126  
Fax: 719-564-1122



WALNUT GROVE  
TOWN OF ELIZABETH, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

PREPARED FOR:

CITY STAMP

JOB NUMBER  
**1139-23**

REVISIONS

ORIGINAL DATE  
**6-2-23**

DRAWN BY  
**JM**

DESCRIPTION  
**LANDSCAPE NOTES**

SHEET NO.

**L1.2**

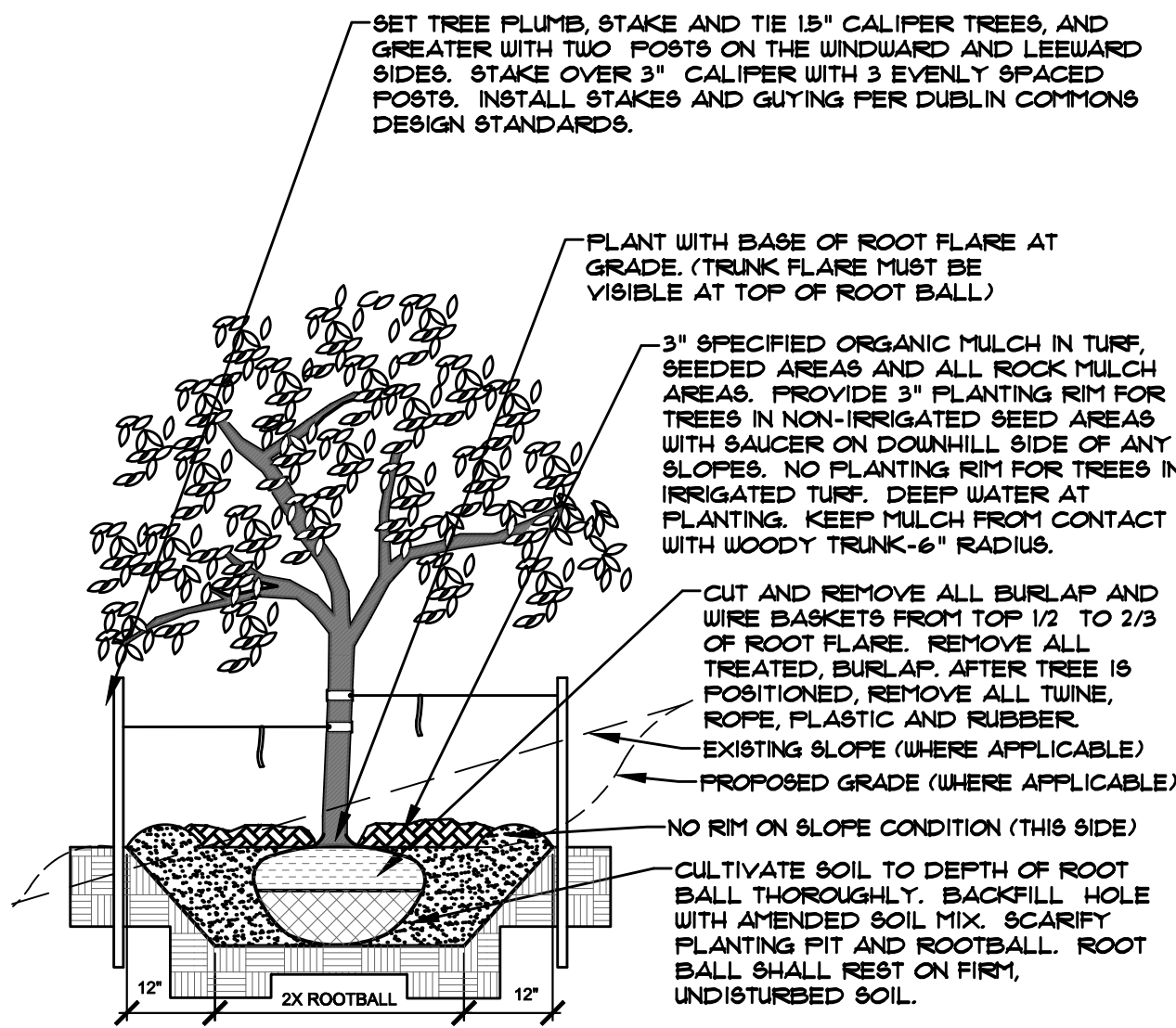


Know what's below.  
Call before you dig.

FOR CONSTRUCTION

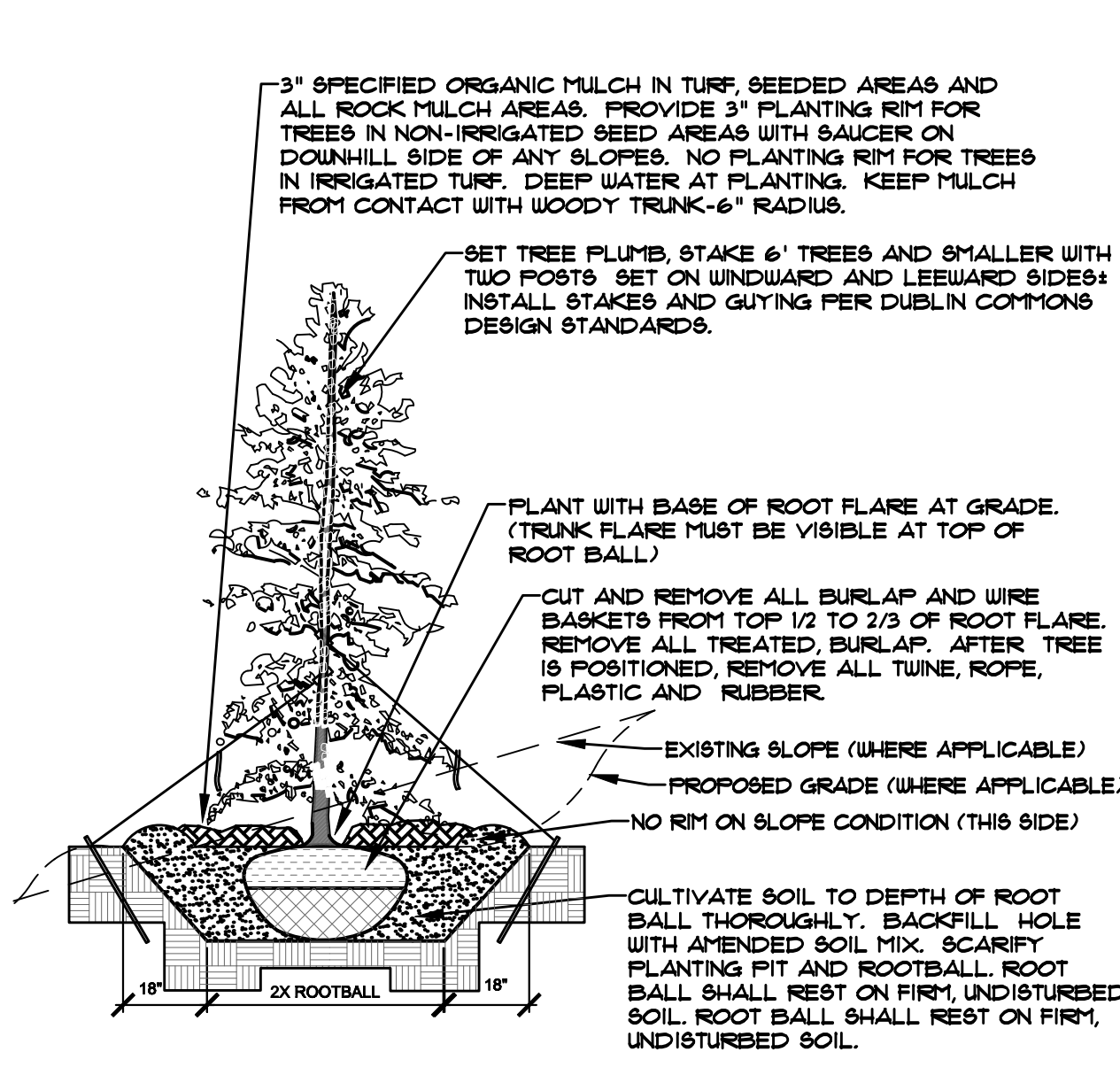


- NOTES:**
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
  - DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
  - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING, AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK, USE ELECTRICAL TAPE, NOT TUNE, WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
  - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
  - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



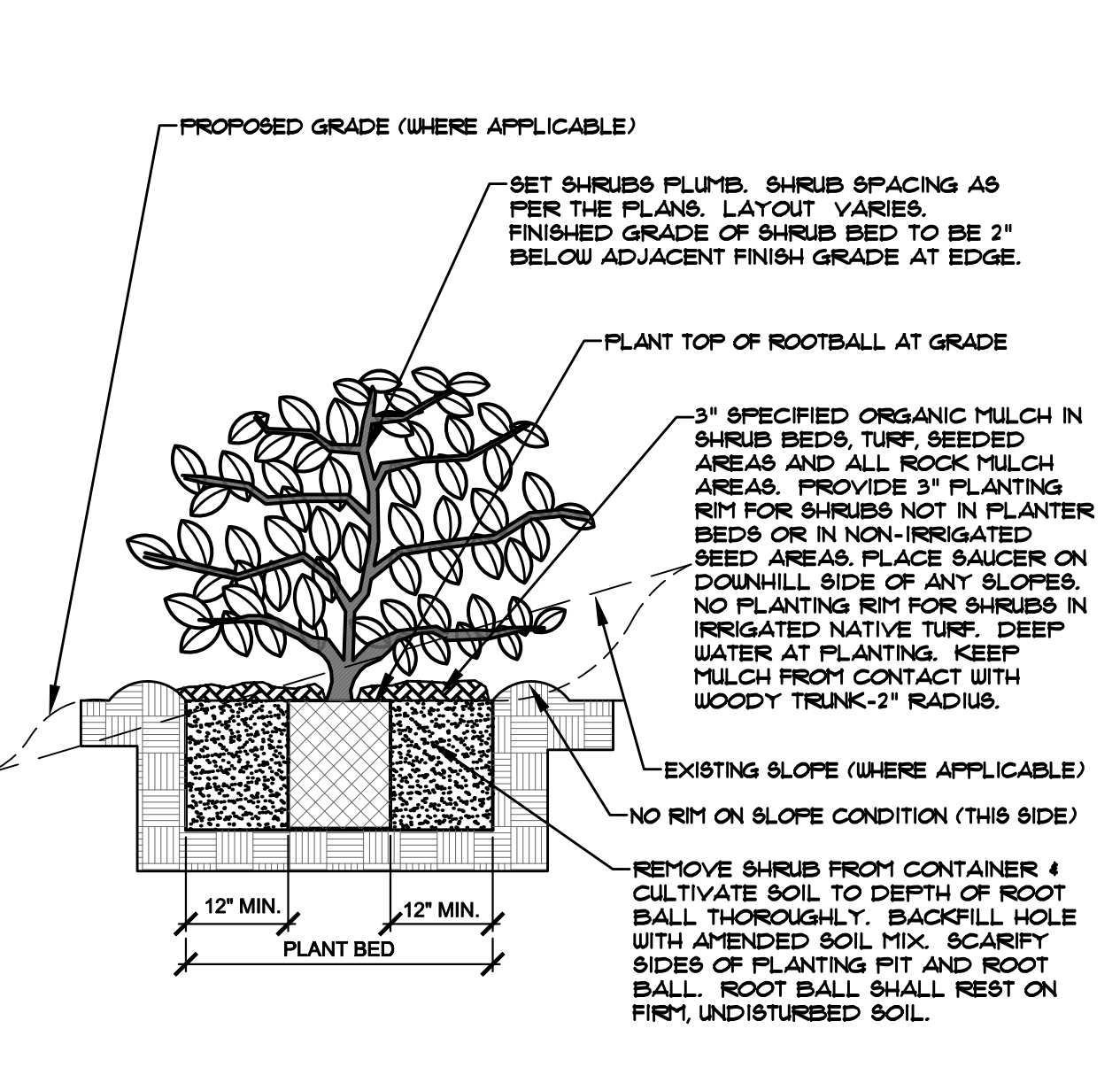
**B DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

- NOTES:**
- DO NOT REMOVE OR CUT LEADER.
  - MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
  - PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - PINE AND SPRUCE TREES TO BE SPRAYED FOR IPB BARK BEETLE PRIOR TO PLANTING (SEE CONIFEROUS TREE NOTE ON PLANTING NOTES SHEET)



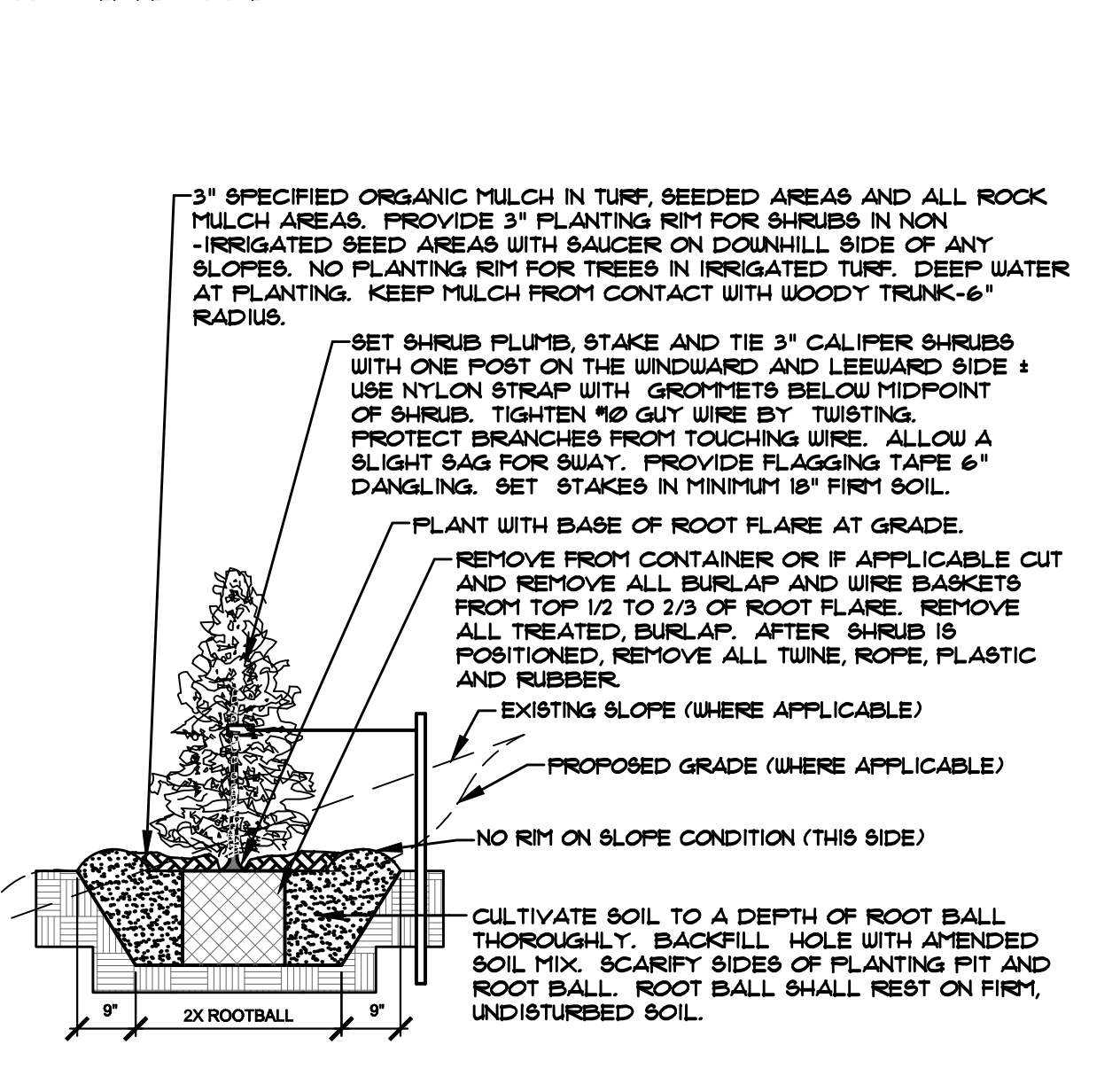
**C EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE

- NOTES:**
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - FOR ROOT BIND AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
  - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



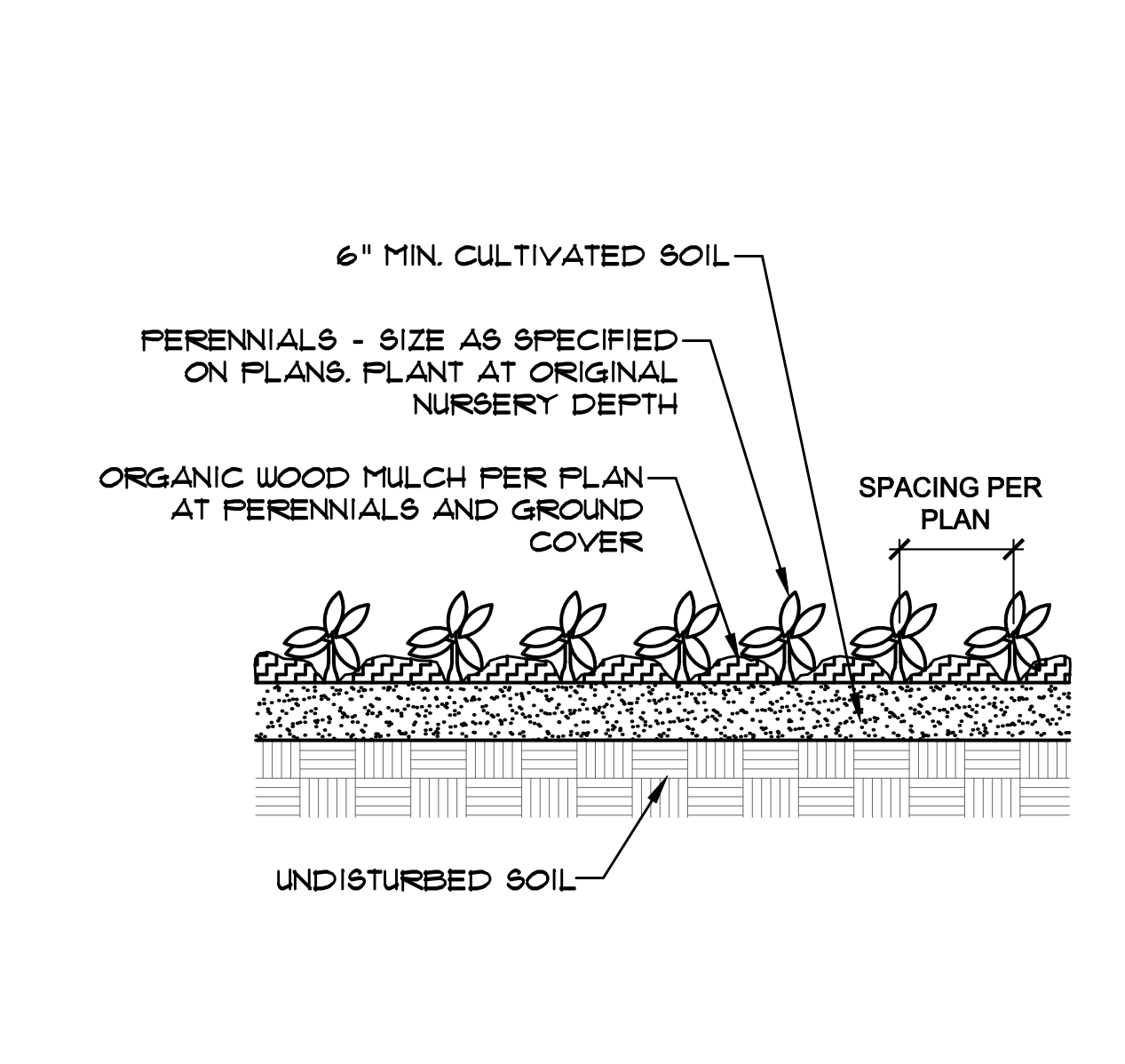
**D SHRUB PLANTING DETAIL**  
NOT TO SCALE

- NOTES:**
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - FOR ROOT BIND (CONTAINER PLANTS ONLY) AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
  - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY. (CONTAINER PLANTS ONLY)



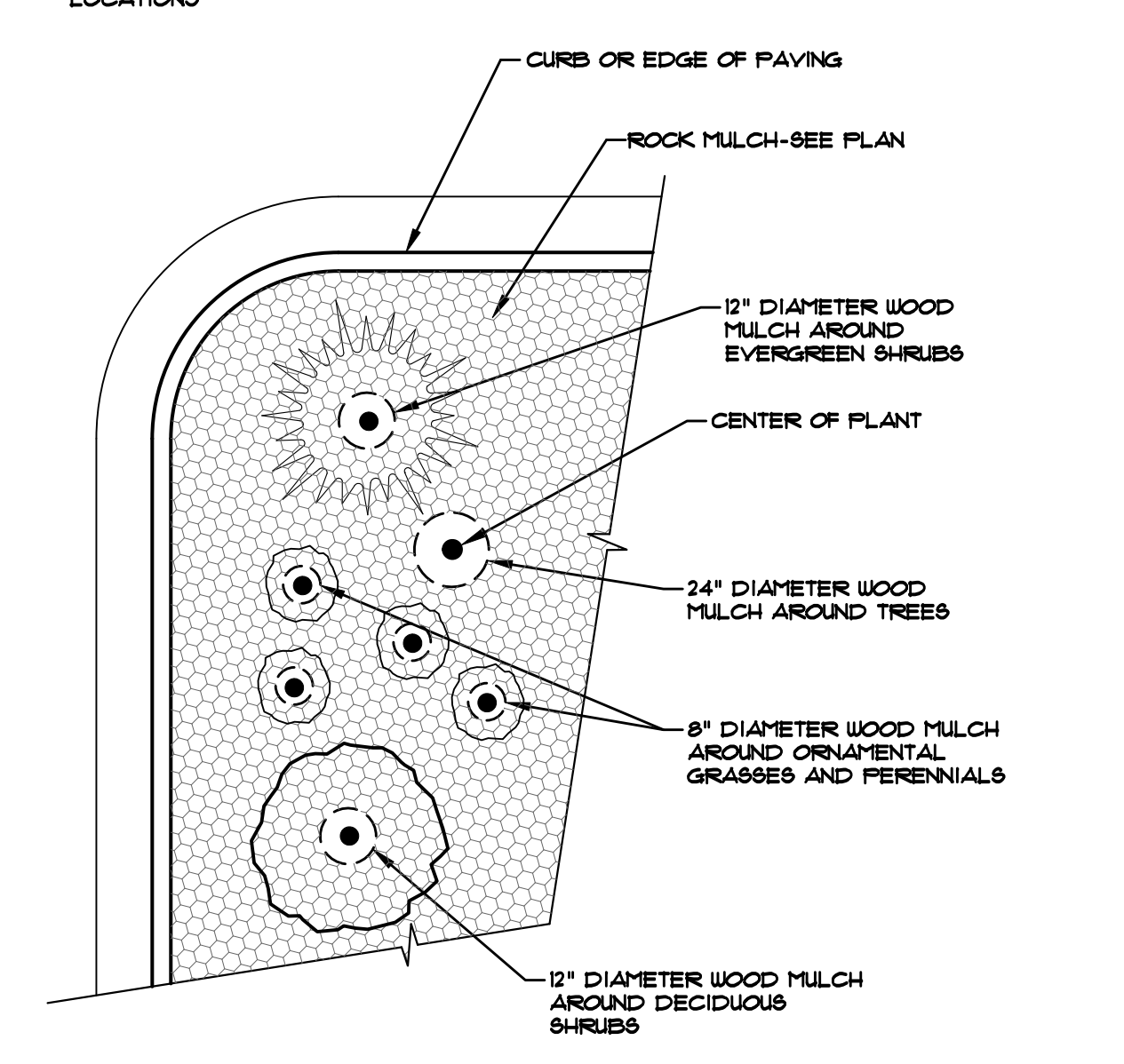
**E UPRIGHT EVERGREEN SHRUB PLANTING DETAIL**  
NOT TO SCALE

- NOTES:**
- PLANT GROUND COVER AND PERENNIALS LEVEL AT GRADE.
  - SOIL TO BE WELL CULTIVATED TO A MINIMUM DEPTH OF 6".
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - AMENDED BACKFILL SHALL BE 30% COMPOST AND 10% NATIVE SOIL.
  - PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.



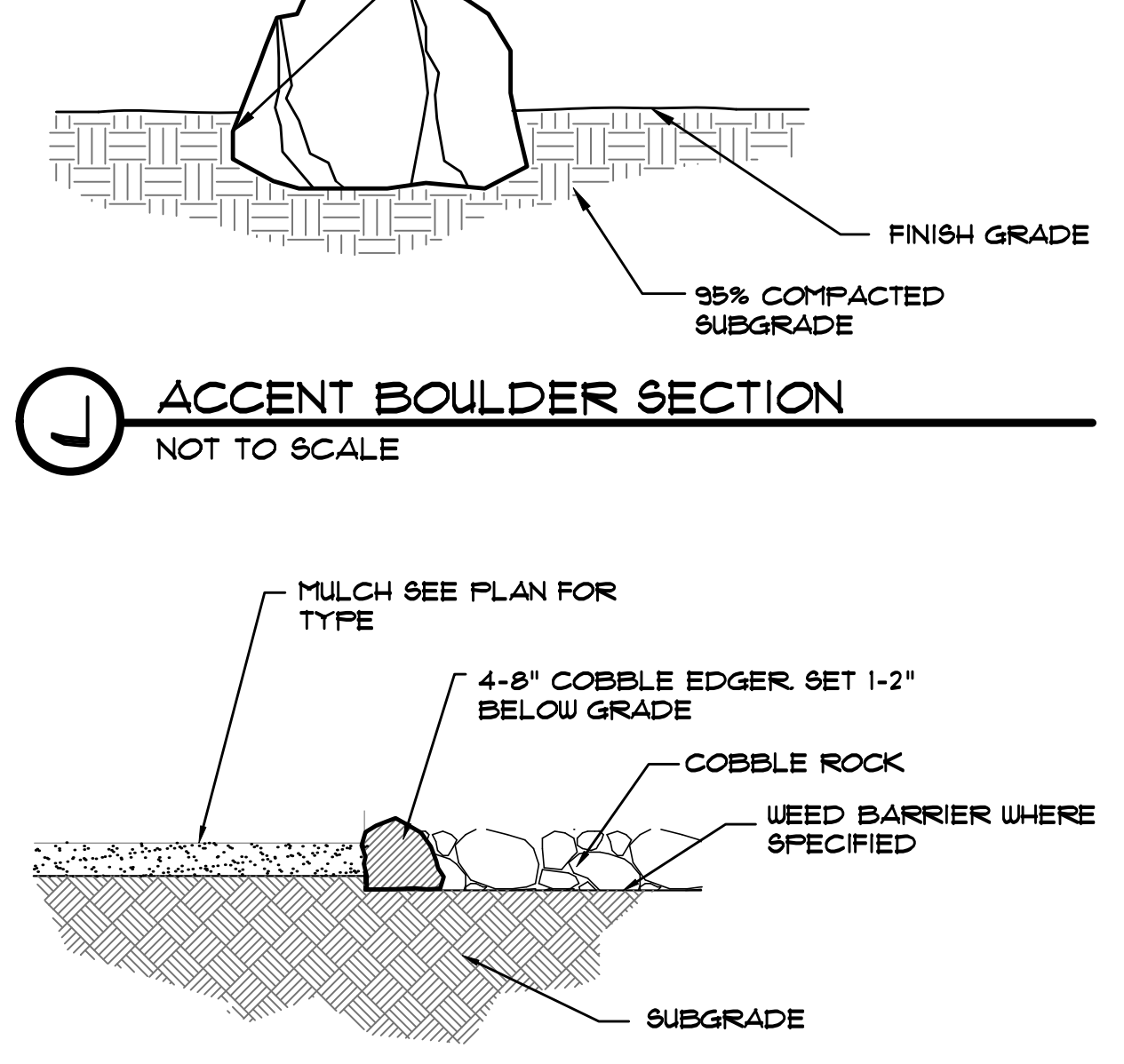
**F PERENNIAL PLANTING DETAIL**  
NOT TO SCALE

- NOTES:**
- CONTRACTOR TO INSTALL WOOD MULCH RINGS AROUND LANDSCAPING AS SHOWN BELOW FOR ALL TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES.
  - ROCK SHALL BE CLEAR FROM SHRUB IN UNIFORM CIRCLE AND WOOD MULCH APPLIED AT 2" DEPTH. SEE CONSTRUCTION DETAILS FOR INSTALLATION PROCESS.
  - REFER TO LANDSCAPE PLANS FOR ALL TREE, SHRUB AND ORNAMENTAL GRASS LOCATIONS

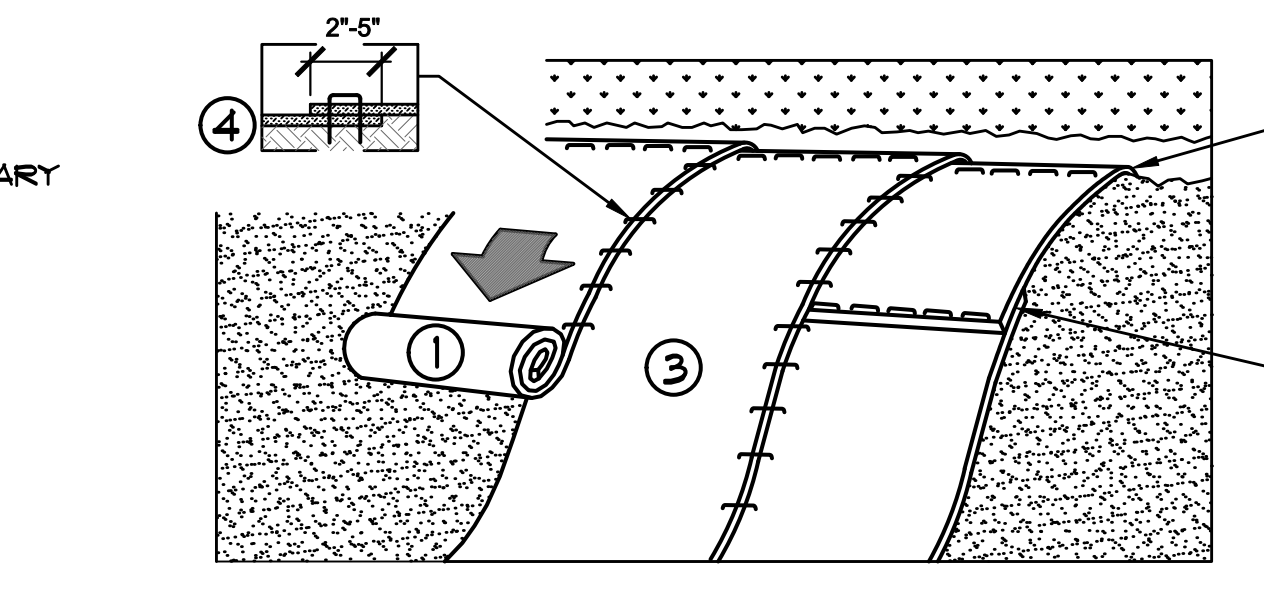


**G TYPICAL PLANT MATERIAL TREATMENT**  
NOT TO SCALE

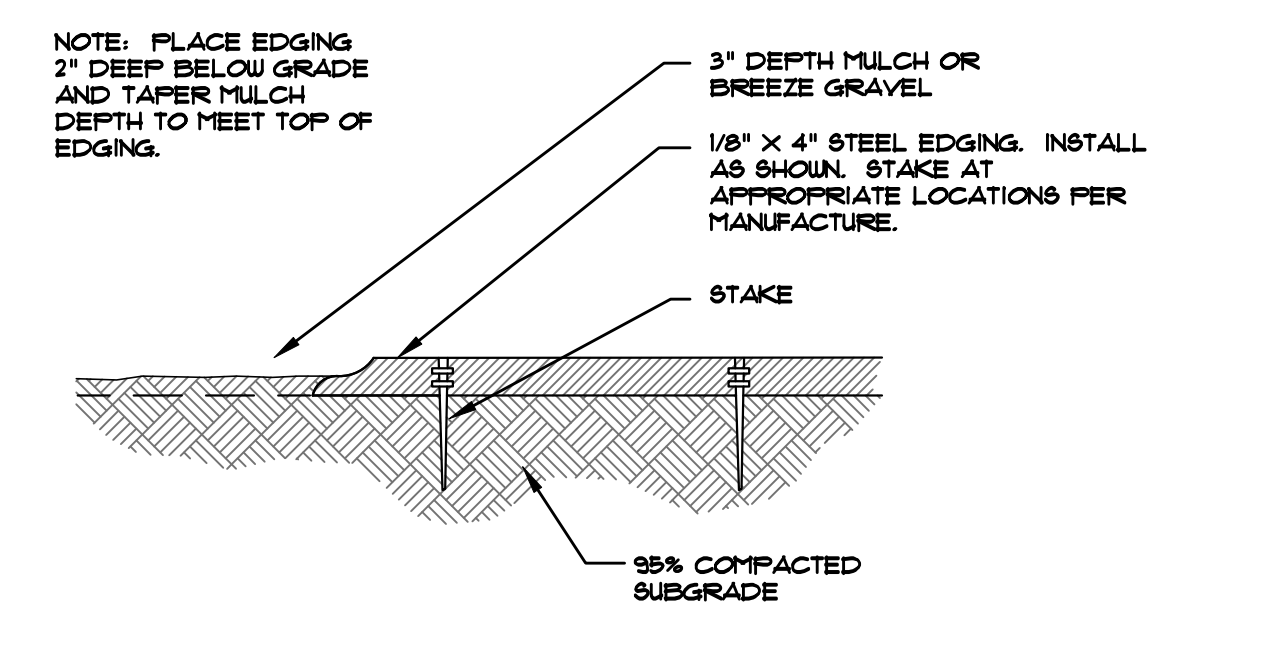
- NOTES:**
- BOULDERS MUST BE PLACED IN GROUND 1/4 TO 1/3 OF THEIR TOTAL HEIGHT.
  - PLACEMENT HEIGHT OF BOULDERS WILL VARY



**H ACCENT BOULDER SECTION**  
NOT TO SCALE



**K EROSION CONTROL**  
NTS



**L STEEL EDGING**  
NOT TO SCALE



**UTILITIES NOTE**

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES 'LANDSCAPING AROUND ELECTRICAL EQUIPMENT'. SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

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<b>FOR CONSTRUCTION</b>	CITY STAMP	JOB NUMBER <b>1139-23</b>
		REVISIONS
		ORIGINAL DATE <b>6-2-23</b>
		DRAWN BY <b>JM</b>
		DESCRIPTION <b>LANDSCAPE DETAILS</b>
		SHEET NO. <b>L1.3</b>

**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5530 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80916  
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Fax: 719-586-1122



**WALNUT GROVE**  
TOWN OF ELIZABETH, CO

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PREPARED FOR:





*S. ELBERT STREET (60' R.O.W.)*

*WALNUT STREET (60' R.O.W.)*

*MAPLE STREET (60' R.O.W.)*

**Aerial Map**





## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Planning Commission  
**FROM:** Zach Higgins, AICP Community Development Director  
**DATE:** November 09, 2023  
**SUBJECT:** Staff Report

---

- Training: Saving Places Conference
  - Boulder, CO – 01/31 - 02/02/2024
- Training: American Planning Association – Planning Commissioner Training Series
  - Roles/Responsibilities (completed)
  - Managing the Meeting (completed)
  - Staff Reports (completed)
  - Comprehensive Plans (completed)
  - Zoning/Ordinances (completed)
- Training: Referral Agencies:
  - Fire (Completed)
  - Police Department (Completed)
  - Public Works (Completed)
  - Civil Engineer CORE Engineering – (Completed)
  - Traffic Engineer Stolfus – (Completed)
  - CORE Electric (Completed)
  - Elizabeth School District (Completed)
- Stolfus has presented findings and recommendations to the public on 02/23 from the Old Town Traffic Study. Stolfus has presented the draft report to the BOT on 04/25/2023.
- The BOT has approved updated cross-sections for the Main Street Streetscape Project. The final design of the street is expected to be completed by 12/31/2023.
- The MSBOD and DOLA have awarded the Main Street Monument Sign RFP to DHM and CORE Engineering. Two public meetings were held and the public chose an archway over Main Street to be finalized by DHM.
- The HAB is working on creating a Historic District within Town and updating the Design Guidelines to include additional language about historic properties.
- The HAB held public meetings on May 8<sup>th</sup> and June 12<sup>th</sup> to discuss Historic District creation and Design Guideline updates.