



# TOWN OF ELIZABETH

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**TOWN OF ELIZABETH – UPDATED 2/28/23**  
**WORSHOP – DEVELOPMENT FEES, IMPACT FEES, WATER AND SEWER RATES**  
**Tuesday, February 28, 2023, at 6:00PM**

**BOARD OF TRUSTEES REGULAR MEETING**  
**Tuesday, February 28, 2023, at 7:00 PM**  
**Town Hall, 151 S. Banner Street**

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**UNSCHEDULED PUBLIC COMMENT**

**AGENDA CHANGES**

**CONSENT AGENDA**

1. Minutes of the Regular Meeting of February 14, 2022, at 7:00 p.m.
2. Approval of Out of State Travel for 2023 Main Street Now Conference

**PUBLIC HEARING**

3. Cowboy Up in Kiowa application for a Special Event Liquor License – Michelle Oeser

**NEW BUSINESS**

4. Discussion and possible action and approval of a Special Event Liquor License application for Cowboy Up In Kiowa Rodeo– Michelle Oeser

**PRESENTATIONS**

5. Casey Westbrook, Colorado Parks and Wildlife
6. Gene Gregory, Gesin Lot – Zach Higgins

**NEW BUSINESS**

7. Discussion and possible action on Resolution 23R11, a Resolution calling a Special Election to be held on Tuesday, May 16, 2023, on the question of whether to affirm Ordinance 22-10, which approved zoning for the Elizabeth West Property, and fixing the Ballot Title therefore – Patrick Davidson

- [8.](#) Discussion and possible action on Ordinance 23-03, an Ordinance repealing and reenacting Section 7-7-310 of the Town of Elizabeth Municipal Code regarding dogs in public parks – Patrick Davidson
- [9.](#) Discussion and possible action on Resolution 23R12, a Resolution approving a letter proposal with BBC Research and Consulting for purposes of performing a Comprehensive Impact Fee Study for the Town of Elizabeth – Patrick Davidson
- [10.](#) Discussion and possible action on Resolution 23R13, a Resolution adopting a revised schedule for Land Use Development Fees – Patrick Davidson
- [11.](#) Discussion and possible action on 23R14, a Resolution authorizing the Director of Public Works to expend funds for purpose of the demolition or improvements located at 171 South Banner Street, Elizabeth, Colorado – Patrick Davidson
- [12.](#) Discussion and possible action on Resolution 23R15, a Resolution repealing Resolution 18R04 regarding the prior approval of the Main Street Cross Sections pursuant to Elizabeth Municipal Code Section 16-3-140, and establishing and approving a revised Main Street Cross Section – Zach Higgins
- [13.](#) Discussion and possible action on Resolution 23R16, a Resolution repealing Resolution 09R06 regarding the Town of Elizabeth purchasing policy, and adopting a revised and amended purchasing policy for the Town of Elizabeth – Patrick Davidson

**MANAGEMENT MONITORING REPORTS**

- [14.](#) Management Monitoring Reports

**BOARD OF TRUSTEES REPORTS**

- 15. Board reports

**STUDENT LIAISON REPORT**

- [16.](#) Student Liaison report – Karli Pronske

**MINUTES**

- [17.](#) Minutes of the Main Street Board of Directors Board Meeting of January 9, 2023
- [18.](#) Minutes of the Planning Commission Meeting of February 7, 2023

**ADJOURNMENT**

# MEETING PROTOCOL AND STANDARDS OF CONDUCT

## Public Participation

Public comment is encouraged and will be listed as an agenda item at every regular Board meeting.

Each individual wishing to be heard during the public comment period will be given up to three (3) minutes to make a comment.

The public comment period will not be used to make political endorsements or for political campaign purposes.

Questions from the Board will be for clarification purposes only. Public comment will not be used as a time for problem solving or reacting to comments made but, rather, for listening to the comments of citizens without taking any formal action.

The Board may direct the Town Administrator to provide information requested by a speaker during the public comment period.

Speakers are not allowed to make belligerent, accusatory, impertinent, slanderous, threatening, abusive, or disparaging comments.

The Mayor may elect to defer public comment on a specific issue that appears on the regular agenda until that specific item is addressed.

The Mayor may call for order when sidebar conversations occur in the audience. Those conversations are distracting from the Board addressing the topics at hand.

Members of the public who do not follow proper conduct after a warning in a public meeting may be barred from further participation at that meeting or removed from the Board Chambers pursuant to the Elizabeth Municipal Code and Colorado Revised Statutes.



## Board of Trustees – Record of Proceedings

February 14, 2023

### **CALL TO ORDER**

The Regular Meeting of the Board of Trustees of the Town of Elizabeth was called to order on Tuesday, February 14, 2023, at 7:01 p.m. by Mayor Nick Snively.

### **ROLL CALL**

Present were Mayor Nick Snively, Mayor Pro Tem Linda Secrist, and Trustees Loren Einspahr, Tammy Payne, Angela Ternus, and Barb McGinn. Trustee Joe Belogina was not present. There was a quorum to do business.

Also present were Town Administrator Patrick Davidson, Town Clerk Michelle Oeser, Community Development Director Zach Higgins, Interim Police Chief Jeff Engel, Public Works Director Mike DeVol, and Assistant Public Works Director James McErnie.

### **PLEDGE OF ALLEGIANCE**

Nick Snively led the Board in the Pledge of Allegiance.

### **UNSCHEDULED PUBLIC COMMENT**

There was no public comment.

### **AGENDA CHANGES**

Town Administrator Patrick Davidson asked to remove item 8, Resolution 23R11 and move it to the February 28<sup>th</sup> Board meeting.

No agenda changes from the Board.

Agenda set.

### **CONSENT AGENDA**

1. Minutes of the Meeting of January 24, 2023, at 7:01 p.m.

Motion by Trustee McGinn, seconded by Trustee Einspahr, to accept the Consent Agenda with change.

The vote of those Trustees present was 6 in favor and 0 opposed. Motion passed unanimously.

Mayor Snively closed the Regular Meeting and entered the Public Hearing at 7:05 p.m.

### **PUBLIC HEARING**



2. Protectors of Elizabeth Special Event Liquor License application

Town Clerk Michelle Oeser gave a staff report.

Mayor Snively opened the Hearing to public comment. There was no public comment.

Mayor Snively closed the Public Hearing at 7:07 p.m.

### NEW BUSINESS

3. Discussion and possible action on the approval of a Special Event Liquor License application for the Protectors of Elizabeth event

Motion by Mayor Pro Tem Secrist, seconded by Trustee McGinn, to approve the Special Event Liquor License application for the Protectors of Elizabeth event.

The vote of those Trustees present was 6 in favor and 0 opposed. Motion passed unanimously.

4. Discussion and possible action on Resolution 23R09, a Resolution approving the personal services agreement between the Town and Jason Piter doing business as JP Events & Marketing for the Wine In The Pines Event

Motion by Trustee McGinn, seconded by Trustee Payne, to approve Resolution 23R09, a Resolution approving the personal services agreement between the Town and Jason Piter doing business as JP Events & Marketing for the Wine In The Pines Event.

The vote of those Trustees present was 6 in favor and 0 opposed. Motion passed unanimously.

5. Discussion and possible action on Resolution 23R10, a Resolution approving the License Agreement between the Town and The Elizabeth Brewing Company

Motion by Mayor Pro Tem Secrist, seconded by Trustee Einspahr, to approve Resolution 23R10, a Resolution approving the License Agreement between the Town and The Elizabeth Brewing Company.

The vote of those Trustees present was 6 in favor and 0 opposed. Motion passed unanimously.

6. Presentation on Olde Town Circulation Study

Matt Brown with Stolfus gave a staff report.

7. Discussion and request for direction on the Streetscape Design

The Board of Trustees gave Community Development Director Zach Higgins direction on the Streetscape Design.



### MANAGEMENT MONITORING REPORTS

- Town Administrator Patrick Davidson reminded Board members of the upcoming Community/Senior Center Open Houses scheduled for February 18<sup>th</sup> at 10 a.m., and February 22<sup>nd</sup> at 5:30 p.m.
- Mr. Davidson informed the Board that Officers Sage and Herbel received recognition for their SRO services from the Elizabeth School Board.
- Mr. Davidson let the Board know that he will be watching the weather for the predicted snowstorm. He is not planning to close Town Hall.
- Mr. Davidson let the Board know that he is continuing to add contacts to the Town Social Media pages. He is planning to add “30 facts in 30” days to both Facebook and the Twitter platforms.
- Trustee Einspahr asked if contact had been made for the additional parking along Garland Street. Discussion followed.
- Discussion followed on the renaming of the Friday Night Farmers’ Market. After discussion, the Board agreed to rename the event Friday Night Market.
- Trustee Ternus asked when there would be discussion on impact fees and water and sewer rates.
- Trustee Ternus asked about a check included in the check register report. Discussion followed.
- Public Works Director Mike DeVol said that there would be a soft start on the new wells the first week or so of March.
- Mr. DeVol told the Board that the lift station had a setback and is being addressed.
- Mr. DeVol let the Board know that snowplowing will continue.
- Mayor Snively said that he has seen several positive comments on social media about Mr. DeVol.
- Assistant Public Work Director James McErnie let the Board know that snow removal continues to be a priority.
- Community Development Director Zach Higgins reviewed his written report with the Board.
- Mr. Higgins discussed the Main Street Board’s plans to hold a 5K run this summer.
- Discussion on the Saving Places Conference and the positive responses received from those that attended.
- Interim Police Chief Jeff Engel told the Board he is currently in the process of interviewing each employee of the Police Department.
- Chief Engel discussed several trainings that officers have attended and plans for future training opportunities.
- Discussion followed on what the Board would like Chief Engel to include in his reports.



- Town Clerk Michelle Oeser gave the Board an update on the Town passport program.
- Ms. Oeser discussed reaching out to CORE Electric and Black Hills Energy about possible sponsorships for Town events.
- Ms. Oeser updated the Board on the jury trial held on February 3, 2023.
- Ms. Oeser provided the Board with information on upcoming Special Event applications that will be coming before them soon.

### **BOARD OF TRUSTEE REPORTS**

- Trustee Ternus discussed participating in the CML policy committee meetings.
- Mayor Snively discussed moving towards live streaming the Board meetings.
- Mr. Davidson discussed replacing the Board room TV's and installing a large screen TV on the wall across from the dais.

### **STUDENT LIAISON REPORT**

- The Board had no comments or questions on Ms. Pronske's written report.

### **MINUTES**

4. Minutes of the Historic Advisory Board Meeting of January 9, 2023
5. Minutes of the Planning Commission Meeting of December 6, 2022

### **EXECUTIVE SESSION**

Motion by Mayor Snively, seconded by Trustee Einspahr, to adjourn the regular meeting at 9:19 p.m. and enter an executive session "To determine positions relative to matters that may be subject to negotiations, develop a strategy for negotiations, and/or instruct negotiators, pursuant to C.R.S. § 24-6-402 (4)(e)." For purposes of authorizing the Town Administrator or his representative to negotiate possible land purchase for the benefit of the Town of Elizabeth. The vote of those Trustees present was unanimously in favor. Motion carried.

Motion by Trustee Einspahr, seconded by Trustee Payne, to adjourn the executive session, and return to the regular meeting at 9:41 p.m. The vote of those Trustees present was unanimously in favor. Motion carried.

### **ADJOURNMENT**

Motion by Trustee Einspahr, seconded by Mayor Pro Tem Secrist, to adjourn the meeting at 9:41 p.m. The vote of those Trustees present was unanimously in favor. Motion carried.



## TOWN OF ELIZABETH

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Town Clerk Michelle Oeser

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Mayor Nick Snively



**TO:** Honorable Mayor and Board of Trustees  
**FROM:** Zach Higgins, AICP Community Development Director  
**DATE:** February 28, 2023  
**SUBJECT:** Main Street Now Conference – Out of State Travel

**SUMMARY**

Board of Trustees approval is required for Staff and Main Street Board of Directors to attend the 2023 Main Street Now Conference in Boston, MA. This national conference occurs annually, and attendance is required of program staff and board members of Colorado Main Street communities. There is additional interest for attendance at this year’s conference by Town of Elizabeth Main Street Board of Directors. With new members and more interest in in-person training opportunities after COVID-19 restrictions. One additional Main Street Board members would like to attend the conference bringing the total to two (2) Main Street Board of Directors requesting attendance and requisite staff.

The Colorado Main Street Program provides scholarship funding for Main Street boards and staff to attend this conference, amongst other Main Street training opportunities. The Town of Elizabeth has \$7,212 through FY 2025, or approximately \$2,400 per year. The Main Street Board also has allocated \$8,000 for their 2023 training budget in anticipation of this conference’s increased cost. Staff has estimated the per person cost to be \$2,411.50 or \$4,823 total for two (2) Main Street Board Directors.

Registration has opened in January 2023, and the conference will take place March 27-29, 2023. The conference is focused on downtown and commercial district management topics.

**RECOMMENDATION**

The Main Street Board of Directors voted to recommend to the Board of Trustees approval of out of state travel for up to three (3) Main Street Board of Directors and requisite staff for the 2023 Main Street Now Conference.

The recommendation is to approve out of state travel for an additional one (1) MSBOD for a total of two (2) Main Street Board of Directors and requisite staff for the 2023 Main Street Now Conference in Boston, MA.



## TOWN OF ELIZABETH

MICHELLE OESER TOWN CLERK

**TO:** Honorable Mayor and Board of Trustees  
**FROM:** Michelle Oeser Town Clerk  
**DATE:** February 28, 2023  
**SUBJECT:** Cowboy Up In Kiowa Rodeo / Carriage Shoppes Event

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### SUMMARY

On February 1, 2023, Cowboy Up In Kiowa Rodeo group applied for a Special Event Liquor Permit and a Special Event Permit for the Carriage Shoppes "Girl's Night Out", the Special Event at 392 Main Street.

All necessary paperwork and posting have been completed and turned in as required. All partner agencies and Town departments have reviewed the application and have no concerns with the planned event.

The Carriage Shoppes have been approved for their planned event through the Special Event application process. Division Chief Kara Gerczynski has approved the event setting a limited capacity of 50 people in the Carriage Shoppes at one time.

### STAFF RECOMMENDATION

Staff recommends approval of the Cowboy Up In Kiowa Rodeo application for a Special Event Liquor License application.

### ATTACHMENTS(S)

Special Event Liquor Permit Application

# Application for a Special Events Permit

Departmental Use Only

Town of Elizabeth

In order to qualify for a Special Events Permit, You Must Be a Qualifying Organization Per 44-5-102 C.R.S. and One of the Following (See back for details.)

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> Social | <input type="checkbox"/> Athletic                           | <input type="checkbox"/> Philanthropic Institution          |
| <input type="checkbox"/> Fraternal         | <input type="checkbox"/> Chartered Branch, Lodge or Chapter | <input type="checkbox"/> Political Candidate                |
| <input type="checkbox"/> Patriotic         | <input type="checkbox"/> National Organization or Society   | <input type="checkbox"/> Municipality Owned Arts Facilities |
| <input type="checkbox"/> Political         | <input type="checkbox"/> Religious Institution              |   |

<b>LIAB</b> Type of Special Event Applicant is Applying for:	<b>DO NOT WRITE IN THIS SPACE</b>
2110 <input checked="" type="checkbox"/> Malt, Vinous And Spirituous Liquor \$100.00 Per Application	Liquor Permit Number
2170 <input type="checkbox"/> Fermented Malt Beverage \$100.00 Per Application	

1. Name of Applicant Organization or Political Candidate <b>Cowboy Up IN Kiowa - CARRIAGE SHOPPES</b>	State Sales Tax Number (Required) <b>2764050-0000</b>
2. Mailing Address of Organization or Political Candidate (include street, city/town and ZIP) <b>PO BOX 779 KIOWA CO 80117</b>	3. Address of Place to Have Special Event (include street, city/town and ZIP) <b>392 MAIN ST ELIZA BETH, CO 80107</b>

4. Authorized Representative of Qualifying Organization or Political Candidate  
**TERI MILLS**

Authorized Representative's Mailing Address (if different than address provided in Question 2.)

5. Event Manager <b>JANET McCracken</b>	Date of Birth	Phone Number
Event Manager Home Address (Street, City, State, ZIP)	Email Address of Event Manager <b>JANET@CARRIAGESHOPPES.COM</b>	

6. Has Applicant Organization or Political Candidate been issued a Special Event Permit this Calendar Year? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	7. Is the premises for which your event is to be held currently licensed under the Colorado Liquor or Beer codes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No License Number
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8. Does the Applicant Have Possession or Written Permission for the Use of The Premises to be Licensed?  Yes  No

List Below the Exact Date(s) for Which Application is Being Made for Permit

Date	Hours From	To	Date	Hours From	To	Date	Hours From	To	Date	Hours From	To	Date	Hours From	To
<b>MAR 11, 2023</b>	<b>6:30 p.m.</b>	<b>9:00 p.m.</b>	<b>JUNE 16, 2023</b>	<b>6:30 p.m.</b>	<b>9:00 p.m.</b>	<b>OCT 14, 2023</b>	<b>6:30 p.m.</b>	<b>9:00 p.m.</b>						

**Oath of Applicant**

I declare under penalty of perjury in the second degree that I have read the foregoing application and all attachments thereto, and that all information therein is true, correct, and complete to the best of my knowledge.

Signature <b>Teri Mills</b>	Title <b>Board Member</b>	Date <b>2/1/23</b>
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**Report and Approval of Local Licensing Authority (City or County)**

The foregoing application has been examined and the premises, business conducted and character of the applicant is satisfactory, and we do report that such permit, if granted, will comply with the provisions of Title 44, Article 5, C.R.S., as amended.

**THEREFORE, THIS APPLICATION IS APPROVED.**

Local Licensing Authority (City or County)	<input type="checkbox"/> City <input type="checkbox"/> County	Telephone Number of City/County Clerk
Signature	Title	Date

**DO NOT WRITE IN THIS SPACE - FOR DEPARTMENT OF REVENUE USE ONLY**

Liability Information			Total
License Account Number	Liability Date	State	

(Instructions on Reverse Side)

## Application Information and Checklist

The following supporting documents must be attached to this application for a permit to be issued:

- Appropriate fee.
- Diagram of the area to be licensed (not larger than 8 1/2" X 11" reflecting bars, walls, partitions, ingress, egress and dimensions. **Note:** If the event is to be held outside, please submit evidence of intended control, i.e., fencing, ropes, barriers, etc.
- Copy of deed, lease, or written permission of owner for use of the premises.
- Certificate of good corporate standing (NONPROFIT) issued by Secretary of State within last two years; or
  - If not incorporated, a NONPROFIT charter; or
  - If a political Candidate, attach copies of reports and statements that were filed with the Secretary of State.

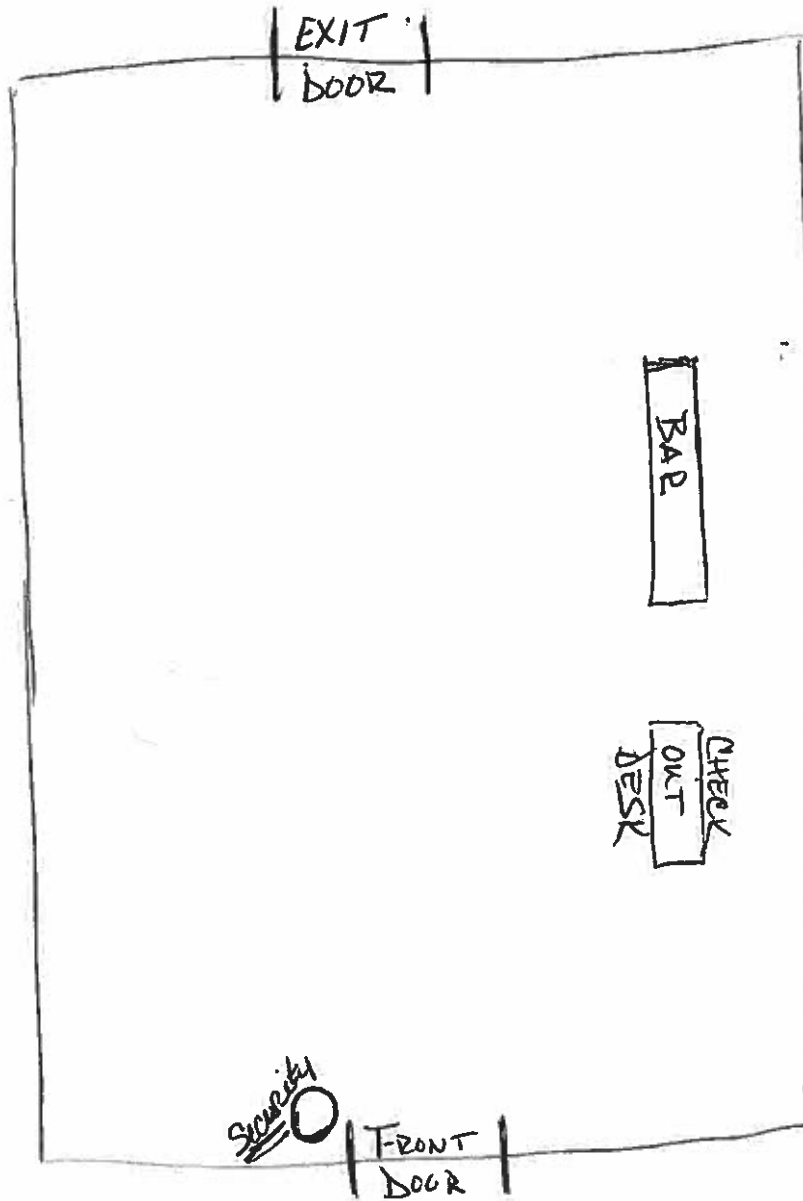
- Application must first be submitted to the Local Licensing Authority (city or county) at least thirty (30) days prior to the event.
- Public notice of the proposed event and procedure for protesting issuance of the permit shall be conspicuously posted at the proposed location for at least (10) days before approval of the permit by Local Licensing Authority. (44-5-106 C.R.S.)
- State Licensing Authority must be notified of approved applications by Local Licensing Authorities within ten (10) days of approval.
- Check payable to the Town of Elizabeth

### Qualifications for Special Events Permit

(44-5-102 C.R.S.)

A Special Event Permit issued under this article may be issued to an organization, whether or not presently licensed under Articles 4 and 3 of this title, which has been incorporated under the laws of this state for the purpose of a social, fraternal, patriotic, political or athletic nature, and not for pecuniary gain or which is a regularly chartered branch, lodge or chapter of a national organization or society organized for such purposes and being non profit in nature, or which is a regularly established religious or philanthropic institution, and to any political candidate who has filed the necessary reports and statements with the Secretary of State pursuant to Article 45 of Title 1, C.R.S. A Special Event permit may be issued to any municipality owning arts facilities at which productions or performances of an artistic or cultural nature are presented for use at such facilities.

SALE ITEMS WITHIN STORE WILL BE  
CLUSTERED FOR BETTER WALKING SPACE.  
WE ARE LICENSING ENTIRE BLDG.



MARCH 11, 2023  
JUNE 10, 2023  
OCT 14, 2023  
6:30-9pm

THE CARRIAGE SHOPPES  
392 MAIN ST

ATTENDEE'S WILL HAVE ENTIRE BLDG TO WALK  
THRU DURING EVENT

OFFICE OF THE SECRETARY OF STATE  
OF THE STATE OF COLORADO

**CERTIFICATE OF FACT OF GOOD STANDING**

I, Jena Griswold, as the Secretary of State of the State of Colorado, hereby certify that, according to the records of this office,

COWBOY UP IN KIOWA

is a

Nonprofit Corporation

formed or registered on 12/13/2000 under the law of Colorado, has complied with all applicable requirements of this office, and is in good standing with this office. This entity has been assigned entity identification number 20001242731 .

This certificate reflects facts established or disclosed by documents delivered to this office on paper through 01/31/2023 that have been posted, and by documents delivered to this office electronically through 02/02/2023 @ 11:59:39 .

I have affixed hereto the Great Seal of the State of Colorado and duly generated, executed, and issued this official certificate at Denver, Colorado on 02/02/2023 @ 11:59:39 in accordance with applicable law. This certificate is assigned Confirmation Number 14666949 .



*Jena Griswold*

Secretary of State of the State of Colorado

\*\*\*\*\*End of Certificate\*\*\*\*\*

Notice: A certificate issued electronically from the Colorado Secretary of State's website is fully and immediately valid and effective. However, as an option, the issuance and validity of a certificate obtained electronically may be established by visiting the Validate a Certificate page of the Secretary of State's website, <https://www.coloradosos.gov/biz/CertificateSearchCriteria.do> entering the certificate's confirmation number displayed on the certificate, and following the instructions displayed. Confirming the issuance of a certificate is merely optional and is not necessary to the valid and effective issuance of a certificate. For more information, visit our website, <https://www.coloradosos.gov> click "Businesses, trademarks, trade names" and select "Frequently Asked Questions."

INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: **FEB 28 2006**

COWBOY UP IN KIOWA  
C/O NANETTE AUHLL  
PO BOX 779  
KIOWA, CO 80117

Employer Identification Number:  
82-0548649  
DLN:  
17053172040015  
Contact Person:  
JOY M HLAVATY ID# 31495  
Contact Telephone Number:  
[REDACTED]  
Accounting Period Ending:  
December 31  
Public Charity Status:  
509(a)(2)  
Form 990 Required:  
Yes  
Effective Date of Exemption:  
December 13, 2000  
Contribution Deductibility:  
Yes

Dear Applicant:

We are pleased to inform you that upon review of your application for tax exempt status we have determined that you are exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code. Contributions to you are deductible under section 170 of the Code. You are also qualified to receive tax deductible bequests, devises, transfers or gifts under section 2055, 2106 or 2522 of the Code. Because this letter could help resolve any questions regarding your exempt status, you should keep it in your permanent records.

Organizations exempt under section 501(c)(3) of the Code are further classified as either public charities or private foundations. We determined that you are a public charity under the Code section(s) listed in the heading of this letter.

Please see enclosed Information for Exempt Organizations Under Section 501(c)(3) for some helpful information about your responsibilities as an exempt organization.

If you distribute funds to other organizations, your records must show whether they are exempt under section 501(c)(3). In cases where the recipient organization is not exempt under section 501(c)(3), you must have evidence the funds will be used for section 501(c)(3) purposes.

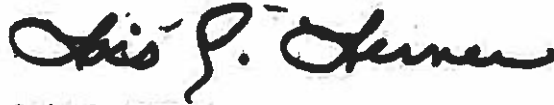
If you distribute funds to individuals, you should keep case histories showing the recipient's name and address; the purpose of the award; the manner of selection; and the relationship of the recipient to any of your officers, directors, trustees, members, or major contributors.

Letter 947 (DO/CG)

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COWBOY UP IN KIOWA

Sincerely,

A handwritten signature in black ink, reading "Lois G. Lerner". The signature is written in a cursive style with a large, prominent "L" and "G".

Lois G. Lerner  
Director, Exempt Organizations  
Rulings and Agreements

Enclosures: Information for Organizations Exempt Under Section 501(c) (3)

Letter 947 (DO/CG)

DOR 0180 (08/06/07)  
COLORADO DEPARTMENT OF REVENUE  
DENVER CO 80201-0013

CERTIFICATE OF EXEMPTION FOR COLORADO STATE SALES/USE TAX ONLY

THIS LICENSE IS  
NOT TRANSFERABLE

USE ACCOUNT NUMBER for all references	LIABILITY INFORMATION		ISSUE DATE
[REDACTED]	34 008	N 060110	JUN 09 2010

29978 CR 45

KIOWA CO

COWBOY UP IN KIOWA  
PO BOX 779  
KIOWA CO 80117

*Rosie Huber*  
Executive Director  
Department of Revenue

NEW AUTOMATED SERVICES FOR AND ABOUT BUSINESSES

The Colorado Department of Revenue Sales tax Information System provides the following automated services:

- Colorado Sales Tax Rates - find specific city, county and special district rates.
- Verification of Sales Tax License Exemption Numbers - determine whether a Colorado sales tax license or exemption certificate is valid
- Tax Rates by Account Number - find sales tax rates and locations for specific sales tax accounts.

These services make it possible for taxpayers to help themselves to information 24 hours a day - without requiring the assistance of a customer service representative. In this way, more complicated or confidential tax information inquiries can be reserved for speaking to a live agent.

Listen and look for these services on the department's business tax information phone line at 303-238-FAST (3278) for specific account information, 303-238-SERV (7378) for general information or the DOR Web site at [www.taxcolorado.com](http://www.taxcolorado.com)

Web users can try the new system online at [www.taxview.state.co.us](http://www.taxview.state.co.us) We are interested in your comments about the system. You can send us an e-mail with your comments through our Department of Revenue Web site.

EIN: [REDACTED]

**From:** [Janet McCracken](#)  
**To:** [Michelle Oeser](#)  
**Subject:** Permission to sell liquor  
**Date:** Thursday, February 2, 2023 4:17:40 PM

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Hi Michelle, do you need an official letter, or will this email suffice:

I, Janet McCracken Beard, owner of the Carriage Shoppes gives permission to Cowboy Up of Elbert County to sell liquor in our place of business at 392 Main Street, Elizabeth, CO on March 11th, June 10th, and October 14<sup>th</sup> from 6:30 to 9p.m.

Janet McCracken Beard  
Cell: 303.246.7267  
The Carriage Shoppes  
392 Main Street  
Elizabeth, CO 80107

## **Executive Summary 2022 Elizabeth Deer Management Plan:**

### **2022:**

Harvest objective for 2022 was 10 deer after showing a slight increase in the deer population over the past several years.

- Actual harvest in 2022 in Town was two deer. Harvest in 2021 was three deer.

No safety issues or conflicts within the community

Decreased participation from program participants noted again in 2022:

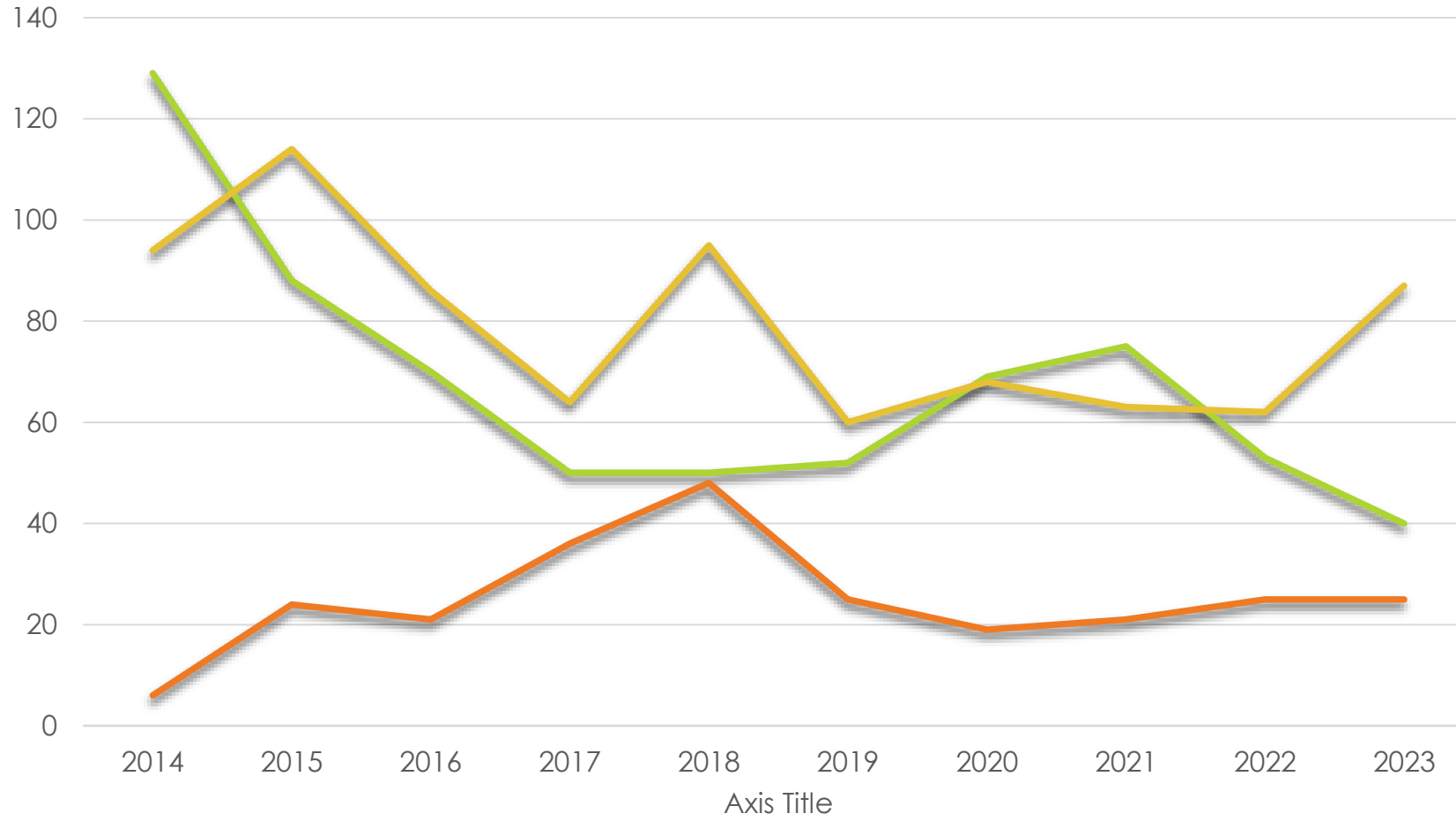
- Weather increased other outdoor recreation participation
- Drought impacts to deer movement
- Changes in deer movement patterns specifically along Gold Creek area

### **2023:**

Recommend to continue the program to meet population maintenance and herd health goals.

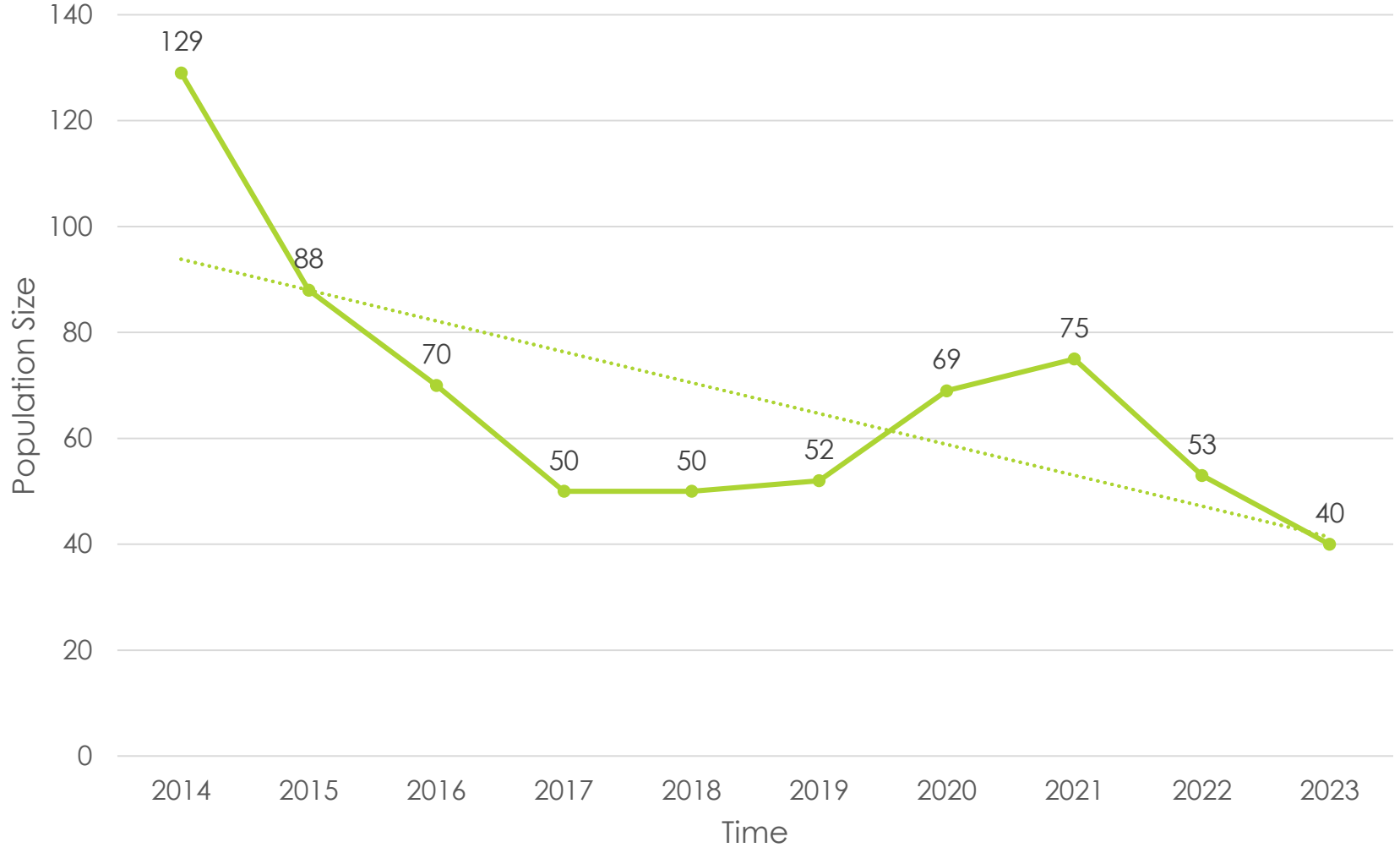
Proposed harvest of 7 animals in 2023.

# Elizabeth Town Deer Population Dynamics

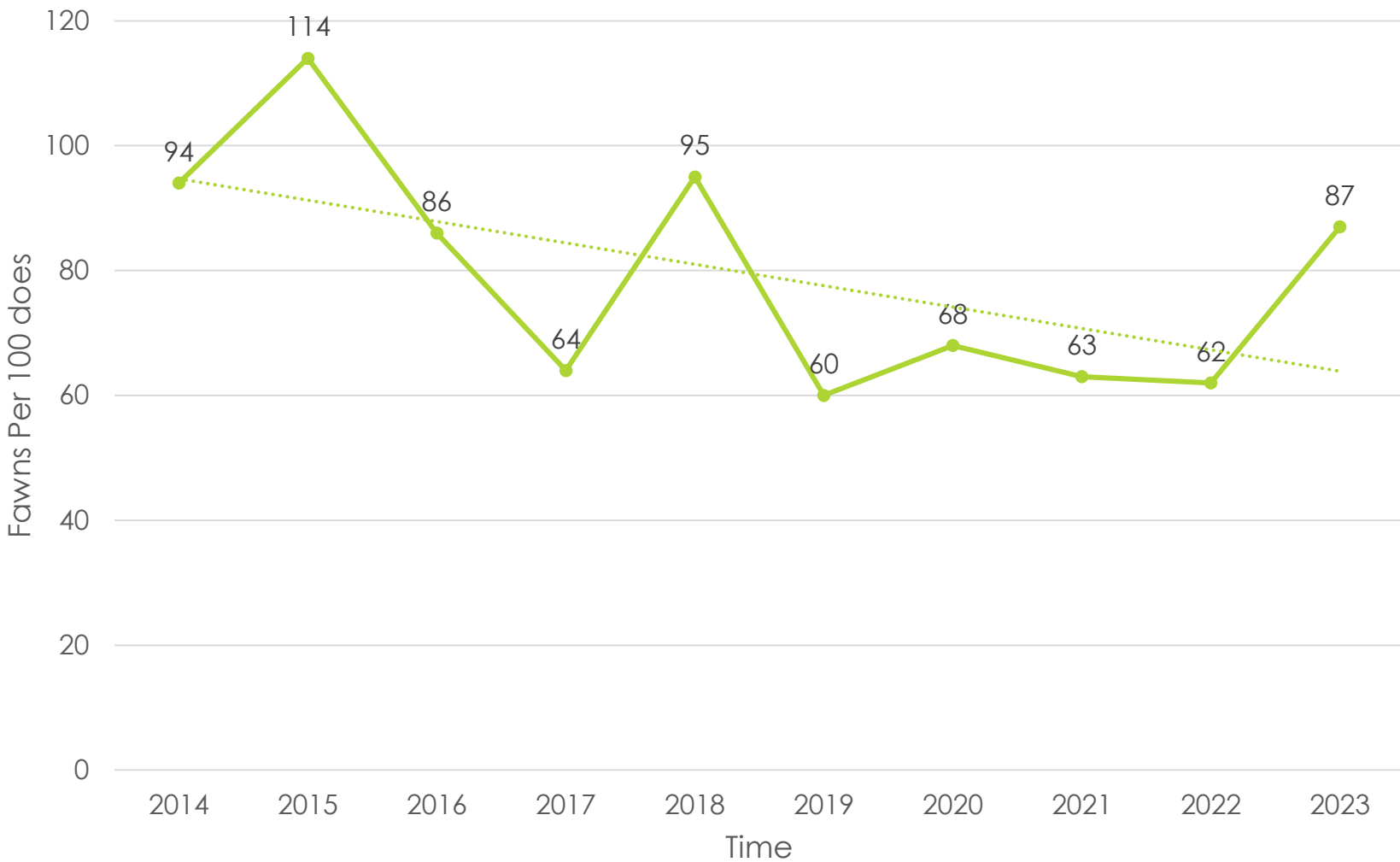


Population Size Fawn Ratio Buck Ratio

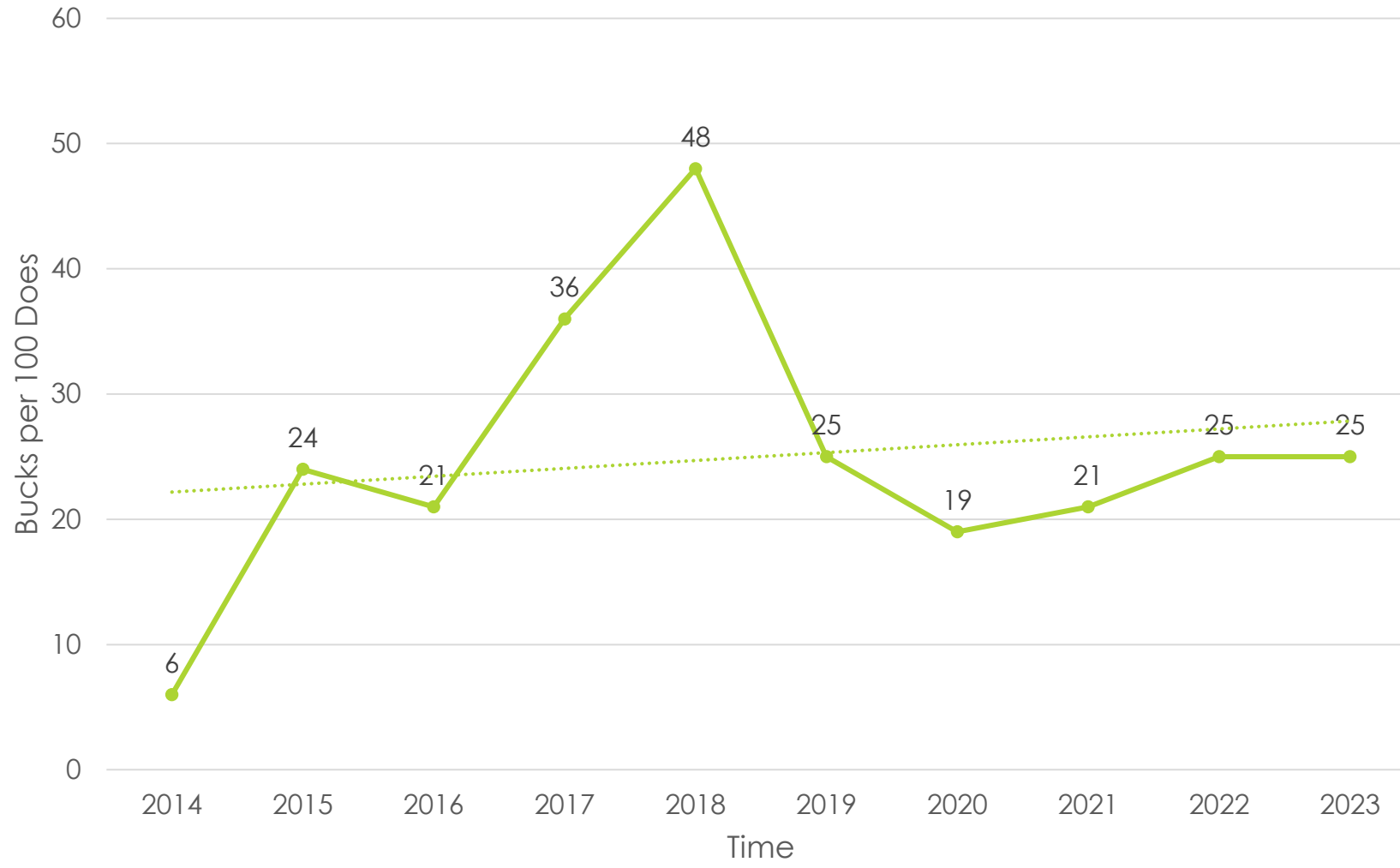
# Population Estimates



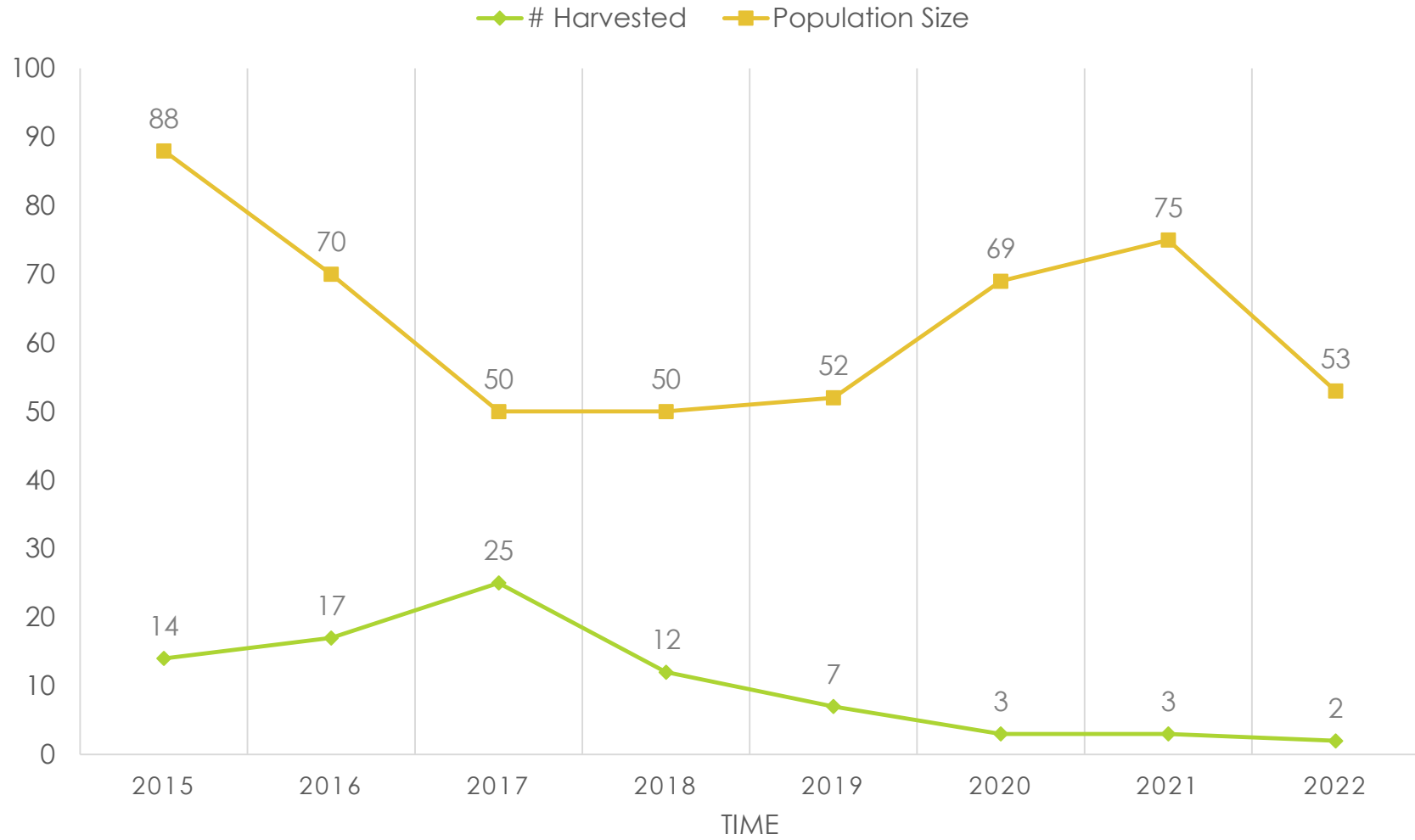
# Fawn Recruitment



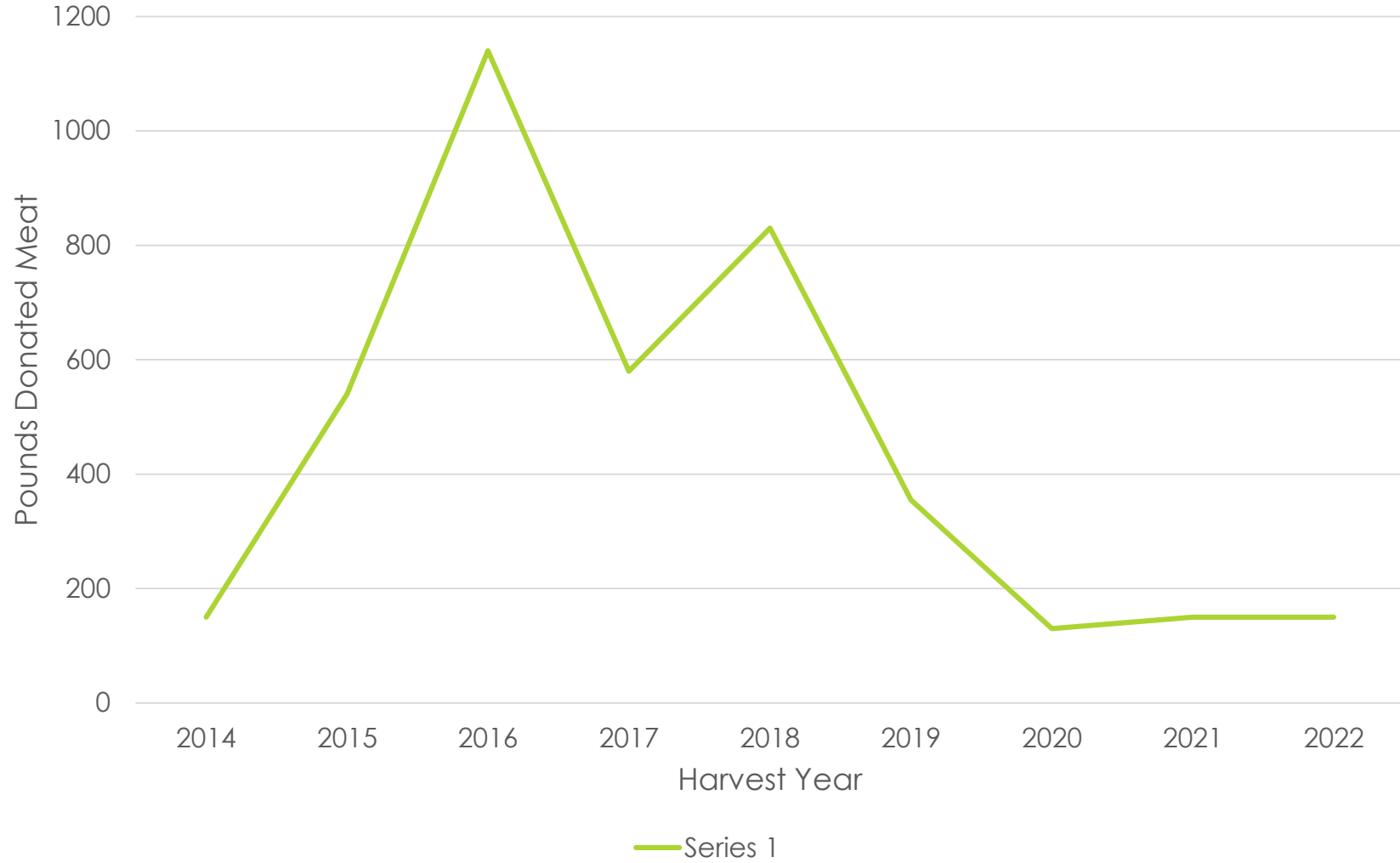
# Buck Ratios



# HARVEST VS POPULATION RESPONSE



# Meat Donated to Community



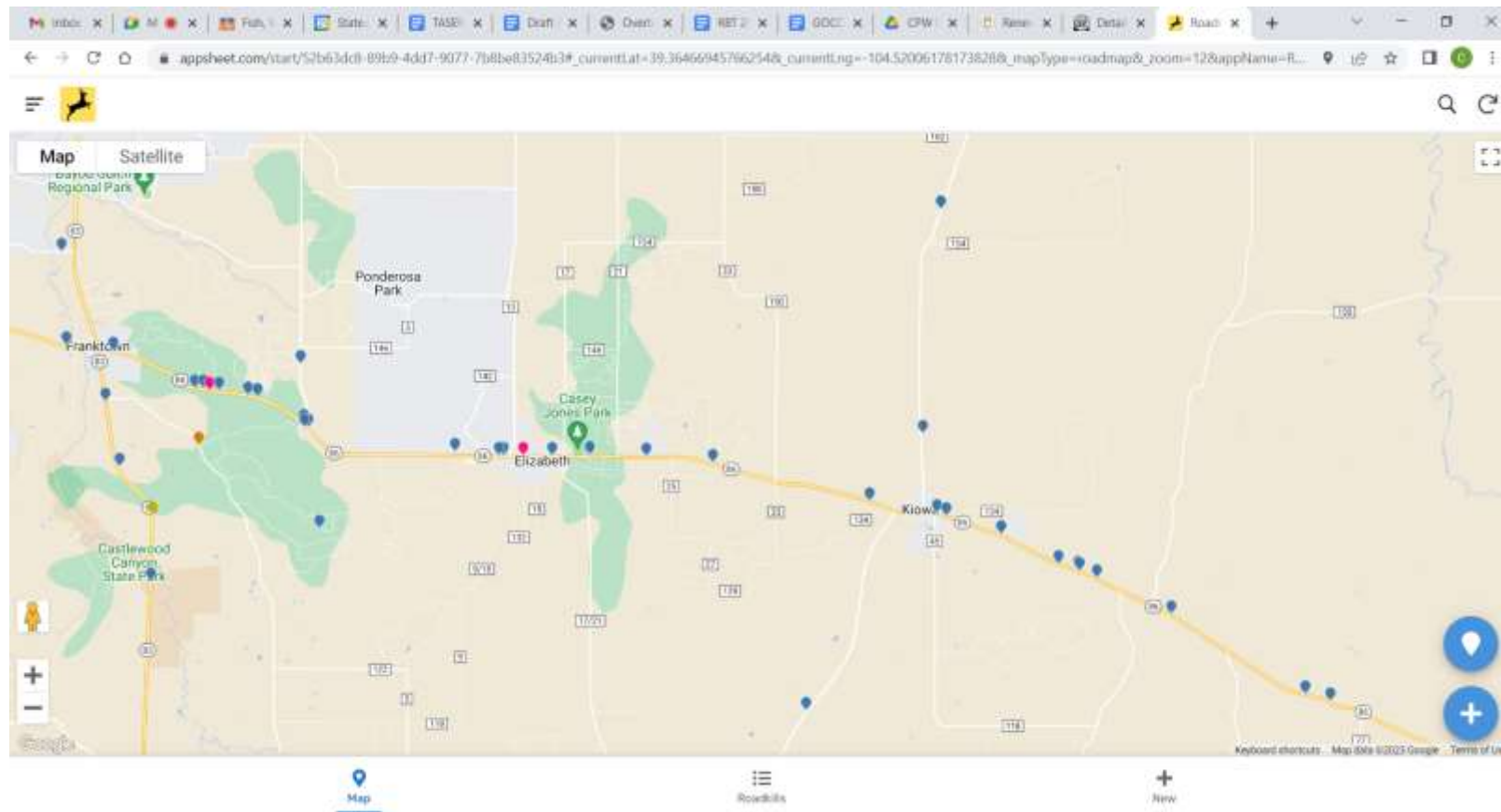
# Chronic Wasting Disease

- ▶ Next Mandatory Testing for CWD
  - ▶ 2024
- ▶ 2019 monitoring (goal <5%)
  - ▶ DAU = 6.5%
  - ▶ GMU 104 Doe = 1.4%
  - ▶ GMU 104 Bucks = 6.4%
  - ▶ GMU Total = 3.2%
  - ▶ Town deer 0 of 7 does
- ▶ Future Mgmt.
  - ▶ Deer density reduction
  - ▶ Reduce feeding
  - ▶ Hot spot mgmt.
  - ▶ B/D ratio

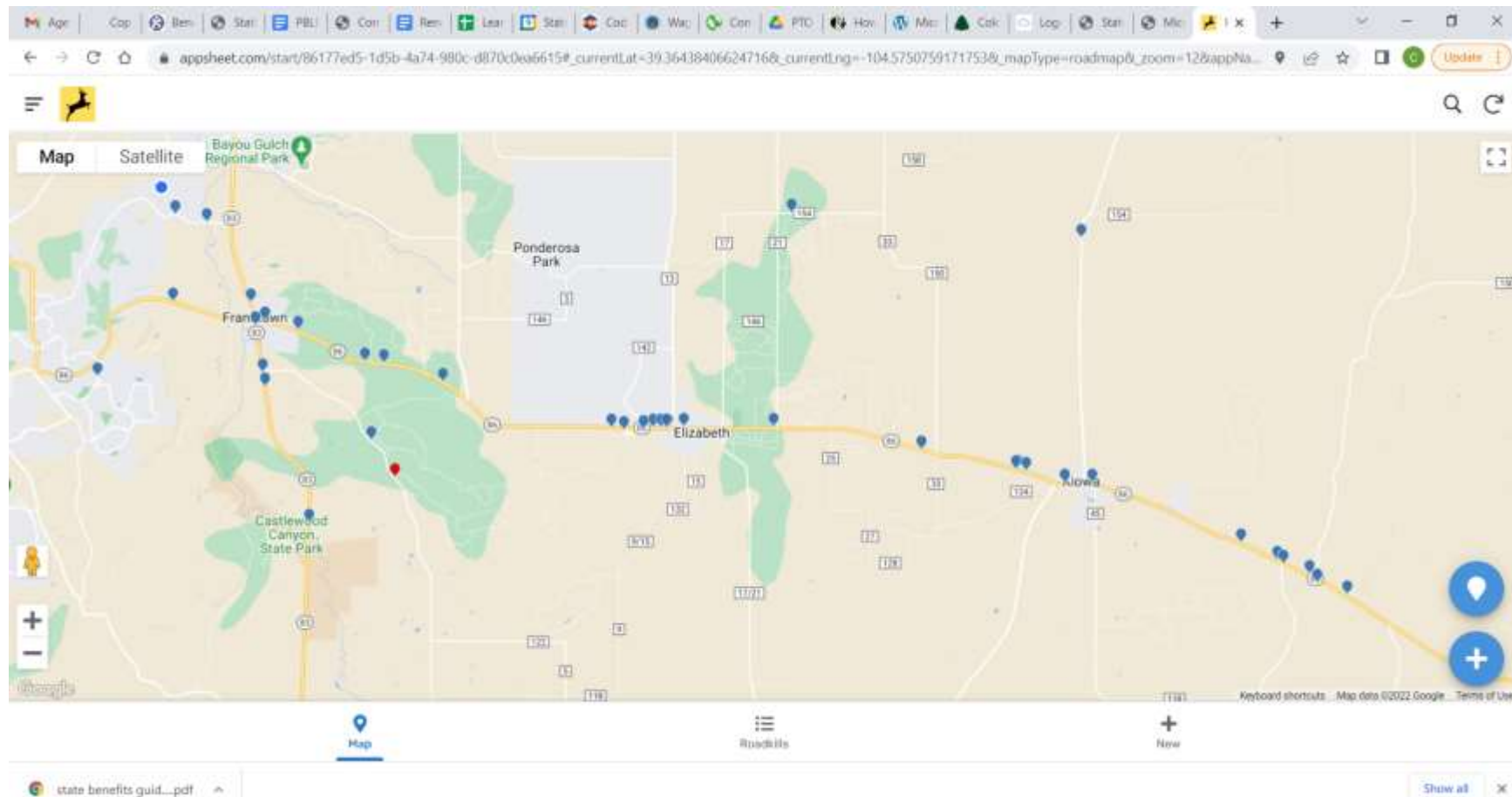
# 2022 Challenges / Opportunities

- ▶ Hot Dry weather until late November
- ▶ Development and growth impacts on deer and deer movement
- ▶ Unlawful deer feeding issues – fewer but remain
- ▶ CPW Roadkill database
  - ▶ Initiated October 2021
- ▶ 8 Deer on this database from Flintwood Road to Rd 21 along HWY 86

# CPW Roadkill App 2022 – 2023 Data



# CPW Roadkill App 2021 – 2022 Data



# 2023 Plan Recommendations

- ▶ Status quo regarding plan elements of harvest timing and locations.
- ▶ Update harvest goal for 2023 to 7 doe deer.
- ▶ Vet and recruit 4-6 volunteers to conduct harvest.



## TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees  
FROM: Patrick Davidson, Town Administrator  
DATED: February 28, 2023  
SUBJECT: Referendum Resolution for Elizabeth West

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### BACKGROUND

On November 15, 2022, the Board of Trustees approved by a 5-1 vote Ordinance 22-10, which rezoned the Elizabeth West property from Agriculture (A-1) to Planned Unit Development (PUD). A referendum petition seeking to repeal Ordinance 22-10 was filed on December 16, 2022, and by letter dated January 12, 2023, the Town Clerk notified the petition committee that a sufficient number of signatures had been received to move forward. Thus, Resolution No. 11 is the next step in the process regarding setting the referendum petition for a municipal election on whether to repeal Ordinance 22-10, or to affirm the decision of the Board of Trustees rezoning the Elizabeth West property.

### ANALYSIS

Resolution No. 11 does three things:

First, in Section 1, it determines **not** to repeal the ordinance rezoning the Elizabeth West property, and instead to refer the question of whether to repeal Ordinance 22-10 to an election.

Second, Section 2 sets the election date for **May 16, 2023**, to be conducted as a mail ballot election. Sections 3 and 4 are ministerial in nature and allow for the designation of a deputy clerk to act as election official, and to allow for the appointment of election judges.

Third, and perhaps most importantly, Resolution No. 11 sets the ballot question title and text. The goal of the language is to provide information to cause the voters to make an informed decision regarding the effect of Ordinance 22-10, while not suggesting a vote for or against the ballot measure. Thus, the language in Section 5 of the Resolution is taken from Ordinance 22-10 and seeks to set out language describing the effect of the Elizabeth West rezoning decision, so the registered electors of the Town know what a “yes” vote and a “no” vote means.

### STAFF RECOMMENDATION

Staff recommends approval of Resolution No. 11

### BUDGET CONSIDERATIONS

Through the Town’s Adopted 2023 Budget, a total of \$25,000 was set aside in account number 10-41-3450 for this Election. The total costs of the election are to be determined. Staff believes that the amount budgeted should be sufficient to cover the costs.

## RESOLUTION 23R11

### **A RESOLUTION CALLING A SPECIAL ELECTION TO BE HELD ON TUESDAY, MAY 16, 2023 ON THE QUESTION OF WHETHER TO AFFIRM ORDINANCE 22-10, WHICH APPROVED ZONING FOR THE ELIZABETH WEST PROPERTY, AND FIXING THE BALLOT TITLE THEREFORE**

WHEREAS, the Town is in receipt of a valid referendum petition, requiring the Board of Trustees to reconsider Ordinance 22-10, which established PUD zoning including standards for the design and development of a residential and commercial development called Elizabeth West, comprised of approximately 425 acres, located generally south of Highway 86 and east of Legacy Ridge Street (the "**Petition**");

WHEREAS, on February 28, 2023, the Board of Trustees reconsidered Ordinance 22-10, and determined to set the matter for an election based on the receipt of the Petition;

WHEREAS, pursuant to C.R.S. § 31-11-105(4), the vote on a referred matter must occur not less than sixty days and not more than one hundred fifty days after the determination of petition sufficiency;

WHEREAS, given the nature of the Petition, so as to assure Town residents of an objective and impartial outcome and as authorized by C.R.S. § 31-10-104(2), the Board of Trustees wishes to appoint a third-party to act as the election official;

WHEREAS, pursuant to C.R.S. § 31-10-401, in municipal elections, the Board of Trustees may appoint election judges or may delegate such authority to the Town Clerk; and

WHEREAS, pursuant to C.R.S. § 31-10-908 the Board of Trustees may determine that an election is to be conducted by mail ballot.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. Upon reconsideration of Ordinance 22-10, the Board of Trustees finds and determines to refer the Petition to an election.

Section 2. Pursuant to C.R.S. §§ 31-10-108 and 31-11-105(4) there is hereby called a special election to be held on Tuesday, May 16, 2023, to be conducted as a mail ballot election according to the Municipal Election Code.

Section 3. The Board of Trustees hereby directs the Town Clerk to designate a deputy clerk who shall act as the election official.

Section 4. The Board of Trustees delegates to the Town Clerk and the designated election official the authority to appoint election judges.

Section 5. The following ballot title and question shall be submitted to the registered electors of the Town of Elizabeth, Colorado:

BALLOT TITLE: Shall Ordinance 22-10 approving Planned Unit Development (PUD) Zoning for the Elizabeth West development be effective?

BALLOT TEXT: Shall Ordinance 22-10, adopted by the Elizabeth Board of Trustees on November 15, 2022, establishing Planned Unit Development (PUD) Zoning including standards for the design and development of a residential and commercial development called Elizabeth West, which is comprised of approximately 425 acres and located generally south of Highway 86 and east of Legacy Ridge Street, be given effect in order to:

1. Allow residential development of up to 623 residential units on 235.6 acres;
2. Allow mixed use commercial development of up to 39 units on 34.1 acres;
3. Require over 130 acres of open space; and
4. Require such development to provide a 300-year supply of water?

Yes \_\_\_\_\_  
No \_\_\_\_\_

PASSED, APPROVED, and ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2023, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Nick Snively, Mayor

ATTEST

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk



## TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees  
FROM: Patrick Davidson, Town Administrator  
DATED: February 28, 2023  
SUBJECT: Ordinance 23-03 – Partial Repeal to Allow Dogs in Certain Parks

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### BACKGROUND

Previously, through Section 7-7-310 of the Elizabeth Municipal Code, dogs were prohibited in the Town's parks. In light of the establishment of Running Creek Park, and the events being held at that location, the Trustees have requested a review of the Code. The Board of Trustees had indicated a preference for dogs for some types of events at the park, such as the Friday Night Market, but with certain constraints.

### ANALYSIS

The proposed ordinance change would allow the Town Administrator to either grant or deny restrained dogs in Running Creek Park for certain events. Any dog allowed on the park would still be required to be under restrained control of a leash, cord or chain of less than ten feet in length and controlled by someone physically able to do the same.

The fundamental purpose is to allow a broad use of the park, encourage responsible pet ownership, and still provide safety and security for patrons.

### STAFF RECOMMENDATION

Staff recommends the approval of Ordinance 23-03 for the reasons set forth herein.

### BUDGET CONSIDERATIONS

There are no known budget concerns. In order to fully inform the public as to the change in the ordinance, there may be a need to have alternative signs on Running Creek Park. The costs of signs will be nominal and should come from the regular budget of Public Works.

### ATTACHMENTS

Ordinance 23-03: An Ordinance Repealing and Reenacting Section 7-7-310 of the Town of Elizabeth Municipal Code Regarding Dogs in Public Parks.

**ORDINANCE 23-03**

**AN ORDINANCE REPEALING AND REENACTING SECTION 7-7-310 OF THE TOWN OF ELIZABETH MUNICIPAL CODE REGARDING DOGS IN PUBLIC PARKS**

BE IT ORDAINED BY THE BOARD OF TRUSTEES FOR THE TOWN OF ELIZABETH, COLORADO, THAT:

Section 1. Section 7-7-310 of the Town of Elizabeth Municipal Code is repealed in its entirety and reenacted to read as follows:

**Sec. 7-7-310. Animals in public parks.**

(a) Except as set forth in subsection (b) of this Section 7-7-310, it is unlawful for any owner or keeper of any dog or other animal, except domestic house cats, to allow or permit their animal to enter or remain within any public park within the Town whether at large or restrained.

(b) The Town Administrator is authorized to allow dogs restrained by a leash, cord, or chain of not more than ten (10) feet in length held by a person of sufficient age, size, and physical ability to restrain the dog for those certain events at Running Creek Park as determined appropriate by the Town Administrator.

Section 2. Severability. If any section, paragraph clause, or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or enforceability of such section, paragraph, clause, or provision shall not affect any of the remaining provisions of this Ordinance, the intent being that the same are severable.

Section 3. The Board of Trustees hereby finds, determines, and declares that this Ordinance is promulgated under the general police power of the Town, that it is promulgated for the health, safety, and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Board of Trustees further determines that the Ordinance bears a rational relation to the proper legislative object sought to be attained.

Section 4. This Ordinance shall become effective thirty (30) days after publication.

Read and approved at a meeting of the Board of Trustees of the Town of Elizabeth, Colorado, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Passed by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against and ordered published.

\_\_\_\_\_  
Nick Snively, Mayor

ATTEST

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Michelle M. Oeser, Town Clerk



## TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees  
FROM: Patrick Davidson, Town Administrator  
DATED: February 28, 2022  
SUBJECT: Contract with BBC for Impact Fee Study

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### BACKGROUND

Impact fees are fees charged by a municipality to a developer to help off-set the costs of providing services and infrastructure arising from the new development. Depending on the municipality, these fees can include new equipment such as additional police cars, fire trucks, garbage trucks and snowplows. In other instances, it may be used to offset the costs of expanding government buildings such as Town Hall, shops, storage, and other physical facilities either directly used by the public or which may need to be expanded to meet the future needs of the community. It is important to note that while impact fees are akin to tap fees for water and sewer, those are separate and tied to the future needs of those Enterprise Funds.

The issue of impact fees has not been specifically addressed by the Board since **1993**. Staff has been concerned about the overall expansion of Town services, particularly in light of potential new development. In order to prepare the Town for any further growth and development, impact fees should be considered at this time.

### ANALYSIS

Staff has performed a basic analysis of the needs for impact fees. The impact fees charged by the Town is currently \$0.50/ sq. ft. A very rudimentary analysis would indicate that these fees should be closer to \$3.00/ sq. ft. (Or perhaps even more). In keeping with current Colorado law, a consultant should be retained to perform a specific analysis of the need for amendments to the impact fees. The analysis will take into consideration the current needs of the community if the level of service were to remain the same and will likewise take into consideration what additional long-term capital expenditures must be considered in light of any potential growth. At the end of the process, the Board should be provided a detailed analysis stating specifically how impact fees should be calculated, and what the appropriate amount for those fees should be now, and in the future.

Staff has reached out to BBC Research and Consulting to determine their ability to perform the Impact Fee Study. BBC has performed many of these studies in Colorado and are willing and able to conduct the study on behalf of the Town of Elizabeth. The total cost for the study is not to exceed twenty-nine thousand dollars (\$29,000).

**STAFF RECOMMENDATION**

The Staff has identified the need for the study in impact fees. Those fees have not been addressed since 1993. In light of the prior construction that has occurred, and the potential for additional construction in the community, it is time to have the study completed. In compliance with Colorado Law, the study must be based on a comprehensive study which determines future needs of the community. Therefore, a study through BBC Research and Consulting is the appropriate means to proceed.

**BUDGET CONSIDERATIONS**

The cost for the study was underestimated in the budget process. The recommended budget impact would be to use the Contracted Services account in Development Services [10-53-3200] knowing that this amount would expend almost all of those funds in that particular line item. Then, should additional projects exist later in the year, making the requisite budget amendments.

**ATTACHMENTS**

Impact Fee Proposal with BBC Research and Consulting

Resolution Approving an Impact Fee Proposal/Contract with BBC Research and Consulting

**RESOLUTION 23R12**

**A RESOLUTION APPROVING A LETTER PROPOSAL WITH BBC RESEARCH AND CONSULTING FOR PURPOSES OF PERFORMING A COMPREHENSIVE IMPACT FEE STUDY FOR THE TOWN OF ELIZABTH.**

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

The Letter Agreement and Proposal dated January 12, 2023, from BBC Research and Consulting regarding a Comprehensive Impact Fee Study with the Town of Elizabeth, and which is attached hereto as **Exhibit A**, is hereby approved by the Board of Trustees and the MAYOR is authorized to execute any further documents related to this matter on behalf of the Town of Elizabeth.

PASSED, APPROVED, and ADOPTED this 28th day of February 2023, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Nick Snively, Mayor

ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk



January 12, 2023

Mr. Zach Higgins  
Town of Elizabeth Planner and Project Manager  
*Via Email*

**Re: Comprehensive Impact Fee Study—Town of Elizabeth**

Dear Mr. Higgins:

This letter follows our phone conversation and associated email correspondence and presents BBC Research & Consulting's (BBC) proposal to update the town of Elizabeth's impact fees.

**Background**

BBC understands that the town of Elizabeth would like to conduct a comprehensive impact fee study to set development impact fees for various municipal services to ensure that new growth and development pays for the infrastructure it requires. Potential impact fees include those related to police; public buildings; storm drainage; parks, open space, and trails; and streets. The town is interested in conducting a study at this time due to anticipated growth that will double the service population of town from approximately 3,000 people to around 6,000 at buildout.

Elizabeth is a unique town that offers a small town community with access to urban centers and amenities in nearby Castle Rock, Colorado Springs, and Denver. Because of its location and desirability, expects growth increase significantly in the future as two recently-approved PUDs are built out. As a result of the increase in local development activity, town staff desires a comprehensive fee study to ensure development pays its fair share of infrastructure costs.

**Project Approach**

During our call, BBC described the two approaches for conducting impact fee studies. The Plan Based approach relies on capital improvement plans and development projects to assign the cost of infrastructure fairly and proportionally to new development. The Level of Service approach uses the existing asset base and building stock of the town to calculate the amount a new home or commercial business must pay to maintain the existing level of service on a per household or per square foot basis in the case of commercial businesses.

BBC understands that Elizabeth does not have a capital improvement plan, although one could be created for this project by town staff, if necessary. As a result, BBC's proposed scope is described in a general manner that applies to both approaches.

## Scope of Work

We will conduct a comprehensive study to set impact fees that support the cost of growth-related police; public buildings; storm drainage; parks, open space, and trails; and streets infrastructure in the town of Elizabeth.

We propose the following five tasks that we have used successfully to calculate impact fees for other jurisdictions in the Rocky Mountain West.

### Task I. Project initiation

- **Task I-1.** Contract execution.
- **Task I-2.** Formalize schedule and public input process (if necessary), via conference call.
- **Task I-3.** "Kick-off" meeting with the town of Elizabeth.

### Task II. Analysis of current conditions, current financing systems, infrastructure requirements and new system options

- **Task II-1.** Collect and review available data on current service levels for use in providing an introduction to service delivery issues and for developing infrastructure expansion cost estimates and service delivery standards.
- **Task II-2.** Review and evaluate current long-term capital financing systems.
- **Task II-3.** Review and evaluate Elizabeth's long-term infrastructure requirements, as defined in the most recent CIP, recognizing the four sources of infrastructure demand: repair/replacement of existing facilities; betterment of town service standards; institution of new services; and expansion of facilities for new development. This task will include interviews with town staff to derive the growth-related portions of future capital projects. We envision a data transfer from the town in advance of the kick-off meeting and these interviews will be held in Elizabeth.

### Task III. Update analysis of current and future land use

- **Task III-1.** Collect data on current land use patterns in Elizabeth, including the acreage and square footage of different types of commercial land uses and the numbers and types of housing units.

- **Task III-2.** Evaluate any existing projections or development trends, including population projections that indicate current direction of development in terms of physical locale and types of land use development.
- **Task III-3.** Based on the above information, generate calculations documenting current development in Elizabeth and forecast of future development over the next 10 to 20 years, depending on availability of data.

#### **Task IV. Calculation of preliminary development fees**

- **Task IV-1.** Calculate preliminary fees. This will include the following steps:
  - Quantify capital costs (data from Task III).
  - Quantify unit costs (data from Task III to derive \$/unit or \$/sq.ft.).
  - Determine land to development conversion ratios.
  - Prepare fee schedules and spreadsheets.
  - Define benefit areas if appropriate.
  - Develop a preliminary fee schedule.
  - Submit a draft report.
- **Task IV-2.** Meet with town staff and to present the preliminary fee schedule and gather feedback.

#### **Task V. Impact fee system final design and documentation**

- **Task V-1.** Final impact fee development.
  - Review and finalize fees.
  - Final report.

During the course of this scope of work, we will make two trips to Elizabeth to conduct: (1) the project initiation, data collection, department staff interviews and (2) present updated impact fees to town council and staff.

## Proposed Budget

We can complete this study for a not-to-exceed fee of \$29,000 including all professional time and expenses. It is important to remember that our contract cost can be included in the fee calculations so that the participating jurisdictions recover the expense quickly. Figure 1 summarizes our proposed budget.

**Figure 1.  
Proposed Budget**

Task Description	Price per Task
Project Management and Meetings	\$2,500
<b>Calculate Development Impact Fees</b>	
Police impact fee	\$5,000
Public buildings impact fee	\$5,000
Storm drainage impact fee	\$5,000
Parks, rec, and trails impact fee	\$5,000
Streets impact fee	\$5,000
Annexation impact fee	\$1,500
<b>TOTAL</b>	<b>\$29,000</b>

## Schedule

Our extensive impact fee experience in the Rocky Mountain West will allow us to complete this study for the town rather quickly.

As a national firm, BBC has the capacity to devote significant research, analysis and production resources to the proposed project. We can begin immediately upon your notice to proceed. We can produce a draft report in eight weeks. The schedule thereafter depends on town council agendas. We will finalize the project schedule following our initial meeting during Task I of the scope.

The budget and schedule presented above anticipate town of Elizabeth staff involvement throughout the project, specifically in the following three areas:

- Attendance at meetings with the study team to facilitate project management;
- Participation in data collection, particularly in tasks II and III; and
- Review of draft and final fees to ensure accurate interpretations of local government data.

While large amounts of staff time will not be needed, timely staff involvement will be necessary to adhere to the schedule provided above.

Mr. Higgins, thank you for contacting us to set the town's impact fees. Please feel free to call me at 303.810.8641 with any questions or comments regarding this engagement letter.

Sincerely,

A handwritten signature in black ink that reads "M. Verdone". The signature is written in a cursive style with a large, stylized initial "M" and a long, sweeping underline.

Michael Verdone, Ph.D.  
Director



## TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees  
FROM: Patrick Davidson, Town Administrator  
DATED: February 28, 2023  
SUBJECT: Proposed Increase in Land Use Development Fees

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### BACKGROUND

Land Use Development Fees are those fees tied directly with development of land within the Town of Elizabeth. These fees include such items as annexation, the review of planned unit developments, site plans, and final plats. The purpose of the fees is not to generate revenue for the Town of Elizabeth, rather the fees are to offset some of the costs incurred by the Town in supporting this vital role in the community. These fees are paid by the developer as part of making raw land available for a commercial venture, whether it is residential or retail in nature.

### ANALYSIS

The Town Board has not addressed these Land Use Development Fees since Resolution 19R12, and it is time to review them. Attached is a spreadsheet listing the current fees and deposits and the proposed updated fees and deposits. You will also note the addition of two new categories: "PUD over 10 acres" and "Condominium Plat" which may be useful to have established in advance of additional growth in the community.

In proposing these fee increases, staff took into consideration actual staff time on projects, the existing fees charged by the Town of Elizabeth, and the fees imposed by other communities including the Towns of Mead, Monument, Parker, Castle Rock, Centennial, and the City of Colorado Springs. While taking into consideration these other communities, the proposed fees reflect the Town of Elizabeth, and do not simply reflect what has been established elsewhere.

### STAFF RECOMMENDATION

Staff recommends these proposed fee increases to reflect the actual costs incurred by the Town in processing future development plans for developers.

### BUDGET CONSIDERATIONS

There is no known additional expense resulting from the Board's action. The increase in fees will likely increase revenue for the Town but will be entirely offset by increases in expenses to the Town and Community Development.

### ATTACHMENTS

Resolution Establishing Land Use Development Fees  
Spreadsheet Demonstrating Current and Proposed Fees and Deposits.  
Resolution 19R12 Previously Setting Land Use Development Fees

**RESOLUTION 23R13**

**A RESOLUTION ADOPTING A REVISED SCHEDULE FOR LAND USE DEVELOPMENT FEES**

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

1. Pursuant to Article 10 of Chapter 16 of the Town of Elizabeth Municipal Code, the Board of Trustees hereby adopts the Land Use Fee and Deposit Schedule, attached hereto as Exhibit A, and incorporated herein by this reference.

PASSED, APPROVED, and ADOPTED this 28th day of February 2023, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Nick Snively, Mayor

ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk

Application	Current Fee	Current Deposit	Proposed Fee	Proposed Deposit
Annexation	\$ 500.00	\$ 4,000.00	\$1000/initial + \$50/acre	\$ 5,000.00
Final Plat	\$ 500.00	\$ 3,000.00	\$ 1,000.00	\$ 5,000.00
Minor Subdivision	\$ 300.00	\$ 1,000.00	\$ 750.00	\$ 2,500.00
PUD under 5 acres	\$500/initial + \$30/each additional	\$ 3,000.00	\$ 3,000.00	\$ 5,000.00
PUD over 5 acres	\$1000/initial + \$30/each additional	\$ 4,500.00	\$ 4,500.00	\$ 6,000.00
PUD over 10 acres			\$ 7,500.00	\$ 10,000.00
Preliminary Plan	\$ 1,000.00	\$ 5,000.00	\$ 3,000.00	\$ 5,000.00
Replat/Vacate/Amendment	\$ 300.00	\$ 500.00	\$ 1,000.00	\$ 2,500.00
Rezone - Traditional Zones	\$400/initial + \$30/each additional	\$ 1,500.00	\$ 1,000.00	\$ 3,000.00
Sign Permit	\$ 75.00	\$ -	\$ 150.00	\$ 300.00
Site Plan Less than 2 Acres	\$ 400.00	\$ 3,000.00	\$ 1,500.00	\$ 3,500.00
Site Plan Over 2 Acres	\$400/initial + \$30/each additional	\$ 4,500.00	\$ 2,500.00	\$ 5,000.00
Site Plan Amendment - Full Process	\$ 300.00	\$ 2,000.00	\$ 1,500.00	\$ 2,500.00
Site Plan Amendment - No Referral	\$ 20.00	\$ -	\$ 250.00	\$ 500.00
Sketch Plan	\$ 250.00	\$ 3,000.00	\$ 750.00	\$ 3,500.00
Temporary Structure / Use Permit	\$ 20.00	\$ -	\$ 250.00	\$ 250.00
Use by Special Review	\$ 500.00	\$ 2,000.00	\$ 1,250.00	\$ 3,500.00
Variance Request	\$ 300.00	\$ 1,000.00	\$ 500.00	\$ 1,500.00
Condominium Plat			\$ 1,000.00	\$ 2,000.00

**RESOLUTION 19R12**

**A RESOLUTION ADOPTING A REVISED SCHEDULE FOR LAND USE DEVELOPMENT FEES**

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. Pursuant to Article 10 of Chapter 16 of the Town of Elizabeth Municipal Code, the Board of Trustees hereby adopts the Land Use Fee and Deposit Schedule, attached hereto as Exhibit A, and incorporated herein by this reference.

PASSED, APPROVED, and ADOPTED this 29 day of January, 2019, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of 7 for and 0 against.

Angela Ternus  
~~Megan Vasquez, Mayor~~  
Angela Ternus, Mayor Pro Tem

ATTEST

Michelle M. Oeser  
Michelle M. Oeser, Town Clerk



**TOWN OF ELIZABETH  
LAND USE FEE AND DEPOSIT SCHEDULE**

	<b>FEE</b>	<b>DEPOSIT</b>
<b>ANNEXATION PETITION</b>	\$500	\$4,000
<b>FINAL PLAT</b>	\$500	\$3,000
<b>MINOR SUBDIVISION</b>	\$300	\$1,000
<b>PLANNED UNIT DEVELOPMENT – UP TO 5 ACRES</b>	\$500 + \$30/ ADDITIONAL ACRE OR PORTION OF ACRE	\$3,000
<b>PLANNED UNIT DEVELOPMENT – OVER 5 ACRES</b>	\$1,000 + \$30/ ADDITIONAL ACRE OR PROTION OF ACRE	\$4,500
<b>PRELIMINARY PLAN</b>	\$1,000	\$5,000
<b>REPLAT, VACATION, OR PLAT AMENDMENT</b>	\$300	\$500
<b>REZONING – TRADITIONAL ZONES</b>	\$400 + \$30/ ADDITIONAL ACRE OR PORTION OF ACRE	\$1,500
<b>SIGN PERMIT</b>	\$75	\$0
<b>SITE PLAN – UP TO 2 ACRES</b>	\$400	\$3,000
<b>SITE PLAN – OVER 2 ACRES</b>	\$500 + \$50/ ADDITIONAL ACRE OR PORTION OF ACRE	\$4,500
<b>SITE PLAN AMENDMENT – FULL PROCESS</b>	\$300	\$2,000
<b>SITE PLAN AMENDMENT – NO REFERRAL</b>	\$20	N/A
<b>SKETCH PLAN</b>	\$250	\$3,000
<b>TEMPORARY STRUCTURE AND USES PERMIT</b>	\$20	
<b>USE BY SPECIAL REVIEW</b>	\$500	\$2,000
<b>VARIANCE REQUEST</b>	\$300	\$1,000



## TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees  
FROM: Patrick Davidson, Town Administrator  
James McErnie, Assistant Public Works Director  
DATED: February 28, 2023 (Amended from February 14, 2023, Memorandum)  
SUBJECT: AMENDED - Demolition of Banner Property

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### BACKGROUND

In 2021 the Town of Elizabeth acquired property across from Town Hall commonly known as 174 S. Banner Street. The property is made up of one small residential property and a small building that has been converted from a chicken coop into a residence. The overall plan by the Town was to make use of the land for purposes of further development in the area to include expanded parking or similar uses.

At the time of preparing the 2023 budget, concerns were raised as to the overall cost of the building demolition and any required remediation to the property. Because of the uncertainties a total of \$150,000 was budgeted for the project. The Town has received an estimate in the amount of \$62,000 to proceed with the project, resulting in a substantial savings for the Town.

Staff is seeking authority to enter into an agreement with Elite Surface Infrastructure (ESI) in the amount of \$62,000 for the demolition of the buildings. Staff is also seeking authority for an additional \$10,000 for contingencies associated with the project. These contingencies may come in one of two specific means, first, there may be additional costs associated specifically with the removal of the house and the chicken coop, second, there may be the opportunity for demolition of the adjacent property if acquired by the Town. The contingency would provide opportunity to resolve any concerns that may arise without additional Board approval, but still well below budget and with Board oversight.

In preparation for the bidding process, Town Staff contacted the following vendors:

Fiore & Sons, Inc. in Denver, Colorado. Fiore stated that the project would be subcontracted out to 3<sup>rd</sup> parties and that a charge of \$75,000 would be the minimum bid for the proposed project. They did not visit the site.

MP Contracting, LLC, Denver, Colorado. MP was scheduled to meet to review the proposed project but failed to show at the designated date and time.

Superior Contractors, Inc., Denver, Colorado. Superior stated through a telephone contact that the distance was too far from their Denver headquarters to bid the project and declined meeting to review the same.

Elite Surface Infrastructure, Castle Rock, Colorado. Elite was the sole party who met with Town Staff to review the project and provide a written proposal. As such, they are the recommended bidder for the project with a proposed cost of \$62,000 for the work set forth in their contract.

#### **ANALYSIS**

Public Works would like to proceed with the estimate provided. The estimate includes costs for mobilization, building demolition, tree removal, stump grinding, and utility abandonment. Should the adjacent property be ready for demolition, the authority sought would cover any additional costs.

#### **STAFF RECOMMENDATION**

Staff recommends proceeding for the reasons set forth herein.

#### **BUDGET CONSIDERATIONS**

The proposed work is estimated at \$62,000, with an additional \$10,000 being sought as a contingency. The budgeted amount is \$150,000, and therefore leaving approximately \$78,000 in unspent funds to be used elsewhere, or in improvement to the lot for basic parking.

#### **ATTACHMENTS**

Resolution for Demolition of Banner Property

Executed Agreement with Elite Surface Infrastructure (ESI) in the amount of \$62,000.00

**RESOLUTION 23R14**

**A RESOLUTION AUTHORIZING THE DIRECTOR OF PUBLIC WORKS TO EXPEND FUNDS FOR PURPOSES OF THE DEMOLITION OF IMPROVEMENTS LOCATED AT 171 SOUTH BANNER ST., ELIZABETH, COLORADO**

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. By and through the Town of Elizabeth’s 2023 Budget Process, the Board of Trustees specifically budgeted funds for the removal and demolition of improvements located at 171 South Banner Street, Elizabeth, Colorado.

Section 2. The demolition of the house, chicken coop, and trees associated with this property may include additional unknown expenditures to place the property back into an unimproved state.

Section 3. The current proposal is in the amount of sixty-two thousand dollars (\$62,000.00) for mobilization, building demolition, tree removal, stump grinding, and utility abandonment. There could be additional expenses outside of the scope of the current proposal due to items found in the demolition process.

Section 4. The Director of Public Works is specifically authorized to expend the following funds, in the following amounts, without further action of the Board of Trustees, but subject to the authorization of the Town Administrator:

a. The current proposal by Elite Surface Infrastructure (ESI) in an amount of sixty-two thousand dollars (\$62,000.00) with an additional contingency in the amount of ten thousand dollars (\$10,000.00) for a total expenditure not to exceed seventy-two thousand dollars (\$72,000.00) without additional Board approval.

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

1. The Director of Public Works and/or his designee is authorized to contract with Elite Surface Infrastructure (ESI) for the demolition of the improvements to the property located at 174 S. Banner St., Elizabeth, Colorado, in the amount of sixty-two thousand dollars (\$62,000.00).

2. The Director of Public Works, with the consent of the Town Administrator, is authorized to expend up to an additional ten thousand dollars (\$10,000.00) for unknown or discovered expenses related to the demolition of the improvements located at 174 S. Banner St., Elizabeth, Colorado, and any additional related work.

PASSED, APPROVED, and ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2023, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Nick Snively, Mayor

ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk

## TRADE CONTRACTOR AGREEMENT

THIS AGREEMENT is made this 21 day of February, 2023 between the Town of Elizabeth, Colorado (the "Town") and Elite Surface Infrastructure, DBA: ESI, 1199 Atchison Court, Castle Rock, CO 80109 ("Contractor").

In consideration of the mutual covenants, agreements, conditions, and undertakings hereinafter specified, the Town and Contractor agree as follows:

Section 1. Scope of Work. Contractor shall perform all work in accordance with **ESI Proposal**, which is attached hereto and incorporated by this reference, including furnishing all supervision, labor, equipment, and materials therefor (the "Project").

Section 2. Contract Documents. The Contract Documents, which comprise the entire agreement and contract between the Town and Contractor, consist of this Agreement and Exhibit A; any special conditions measurement and payment technical specifications and drawings; and any modifications, change orders or other such revisions properly authorized after the execution of this Agreement.

Section 3. Agreement Price. The Town has appropriated the money necessary to fund this project. The Town shall pay the Trade Contractor in current funds for the performance of the work, subject to any additions and deletions, by written change order, the total sum not to exceed **SIXTY-TWO THOUSAND DOLLARS AND ZERO CENTS (\$62,000.00)** (the "Original Contract Amount"). Notwithstanding anything to the contrary contained in this Agreement, no change order or other form of directive by the Town requiring additional compensable work to be performed, which causes the aggregate amount payable under this Agreement, to exceed the amount appropriated for the Original Contract Amount, unless the Trade Contractor is given written assurance by the Town that lawful appropriations have been made by the Town to cover the cost of the additional work.

Section 4. Times and Methods of Payment.

a. Progress payments shall be made in as follows: Upon execution of this Agreement by both parties, the Town shall tender a 25% payment for deposit and mobilization, an additional 25% payment shall be tendered upon the initiation of work at the location, and the remaining 50% shall be paid upon completion and acceptance of the work performed under this Agreement.

Section 5. Retainage. An amount equal to ten percent (5%) of all progress payments shall be retained by the Town until the Project is completed satisfactorily and finally accepted by the Town.

Section 6. Final Payment. The Town shall make final payment to Contractor when the

Project is complete and finally accepted by the Town, which final acceptance shall occur at the conclusion of the warranty period.

Section 7. Probationary and Final Acceptance. Probationary acceptance of the Project shall follow inspection and approval of Contractor's performance by the Town, along with inspection by appropriate governmental officials pursuant to local, state and federal requirements, if necessary. The Town shall have the right and authority to determine the acceptability of Contractor's performance for conformity with this Agreement, which determination shall be conclusive and binding upon Contractor. Upon such a determination, the Town shall accept the Project on a probationary basis. Final acceptance by the Town shall then occur upon the termination of the Warranty Period and the completion of punch list items, if any. Final acceptance shall be subject to the provisions of this Contract and Colo. Rev. Stat. Section 38-26-107, as amended, and in no manner affects or releases any warranties or guarantees with Contractor or manufacturers of Project equipment.

The Project, when presented to the Town for final acceptance, shall be delivered free from any and all claims or encumbrances whether then in existence or later established by law, statute, ordinance or otherwise. No claim or encumbrance against the Project or the Project site shall be outstanding or otherwise unsettled at the time of final acceptance. The right to assert any claim or encumbrance against the Project, after final acceptance by the Town and final payment to Contractor, is hereby waived by Contractor on behalf of itself and any subcontractor, laborer, materialman, equipment supplier, manufacturer, or other person.

Section 8. Commencement and Completion of Performance. The services called for shall commence on February 15, 2023 and end on Final Approval and Acceptance by the Town of Elizabeth Public Works Department. Contractor shall commence any work requested by the Town within ten (10) days of notification by the Town. In the event Contractor fails to commence work within this time period, the Town may take over the work and prosecute the same to completion. The date of beginning and the time for completion of the work are essential conditions of this Agreement. Contractor shall proceed with the work at such rate of progress to insure full completion within the contract time. It is expressly understood and agreed by and between the Town and Contractor that the contract time for the completion of the work described herein is a reasonable time, taking into consideration the average climatic and economic conditions and other factors prevailing in the locality of the work during the period such work is to be performed.

Contractor will not be charged with liquidated damages or any excess cost when the delay in completion of the work is due to the following, and Contractor has promptly given written notice of such delay to the Town:

- a. to any preference, priority or allocation order duly issued by the Town; and
- b. to unforeseeable causes beyond the control and without the fault or negligence of Contractor including, but not restricted to, unforeseen conditions, acts of God or of the public enemy, acts of the Town, fires,

floods, epidemics, quarantine restrictions, strikes, freight embargoes, and abnormal and unforeseeable weather.

Section 9. Termination.

a. This Agreement may be terminated in whole or in part in writing by either party in the event of substantial failure by the other party to fulfill its obligations under this Agreement through no fault of the terminating party, provided, that no such termination may be affected unless the other party is given:

- i. not less than ten (10) calendar days written notice of intent to terminate, and
- ii. an opportunity for consultation with the terminating party prior to termination.

b. This Agreement may be terminated in whole or in part in writing by the Town for its convenience.

c. Upon receipt of a termination action pursuant to paragraphs a. and b. above, Contractor shall promptly discontinue all services affected (unless the notice directs otherwise) and the Town may take over the work and prosecute the same to completion by agreement with another party or otherwise.

Section 10. Taxes, Licenses, Permits and Regulations. In all operations connected with the Project, Contractor shall pay all fees, charges and taxes imposed by law and shall obtain all licenses and permits necessary for completion of the Project, paying all fees therefor unless otherwise specified by the Town. The Town shall assist Contractor to determine which licenses and permits are required for completion of the Project.

The Town is exempt from Colorado state sales and use taxes on materials to be permanently incorporated in the work. Accordingly, taxes for which the Town is exempt shall not be included in the Agreement Price. The Town shall, upon request, furnish Contractor with a copy of its Certificate of Tax Exemption. Contractor and subcontractors shall apply to the Colorado Department of Revenue, Sales Tax Division, for an exemption certificate and purchase the materials tax free. Pursuant to C.R.S. §39-26-114(1)(a)(XIX), Contractor and subcontractors shall be liable to the State of Colorado for exempt taxes paid due to failure to apply for exemption certificates or for failure to use said certificates. Contractor shall comply with all laws, ordinances, codes, rules and regulations of all governmental authorities, whether local, state or federal, relating to the performance of work on the Project and, particularly, in complying with those laws concerning the environment, workers' compensation, safety and health, state labor and materials, and equal employment opportunity.

Section 11. Insurance.

The Trade Contractor agrees to obtain and maintain during the life of this Contract, a

policy, or policies of insurance against all liability, claims, demands, and other obligations assumed by the Trade Contractor pursuant to Section 1 above. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Trade Contractor shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to Section 1 above, by reason of its failure to obtain and maintain during the life of this Contract insurance in sufficient amounts, durations, or types.

The Trade Contractor shall obtain and maintain during the life of this Contract and shall cause any subcontractor to obtain and maintain during the life of this Contract the minimum insurance coverages listed below. Such coverages shall be obtained and maintained with forms and insurers acceptable to the Town. All coverages shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Trade Contractor pursuant to Section 1 above. In the case of a claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage.

Worker's Compensation Insurance to cover obligations imposed by applicable laws for any employee engaged in the performance of the work under this contract, and Employers Liability Insurance with minimum limits of five hundred, thousand dollars (\$500,000) each accident, five hundred, thousand dollars (\$500,000) disease-policy limit, and five hundred, thousand dollars (\$500,000) disease-each employee.

General Public Liability Insurance to be written with a limit of liability of not less than one million dollars (\$1,000,000) for all damages arising out of bodily injury, personal injury (including coverage for employee and contractual acts), including death, at any time resulting therefrom, sustained by any one person and not less than one million, five hundred, thousand dollars (\$1,500,000) for all damages arising out of bodily injury, including death, at any time resulting therefrom, sustained by two or more persons in any one accident. This policy shall also include coverage for blanket contractual and independent contractor risks.

The limits of General Public Liability Insurance for broad form property damage (including products and completed operations) shall be not less than one million dollars (\$1,000,000) for all damages arising out of injury to or destruction of property in any one accident and not less than one million, five hundred, thousand dollars (\$1,500,000) for all damages arising out of injury to, or destruction of property, including the Town's property during the policy period.

The General Public Liability Insurance policy shall include coverage for explosion, collapse, and underground hazards. The policy shall contain a severability of interests provision.

Protective Liability and Property Damage insurance covering the liability of the Town, including any employee, officer, or agent of the Town with respect to all operations under the Contract by the Trade Contractor or his sub-contractors shall be obtained and maintained during the life of the contract. The limits of the Town's Protective Liability Policy, to be provided by the Trade Contractor, as described in this Section 2, shall be increased to the same limits as described above for the Trade Contractor's General Public Liability Insurance.

Comprehensive Automobile Liability Insurance with minimum combined single limits for bodily injury and property damage of not less than one million dollars (\$1,000,000) each occurrence and one million dollars (\$1,000,000) aggregate with respect to each of the Trade Contractor's owned, hired, and non-owned vehicles assigned to or used in performance of the services. The policy shall contain a severability of interests provision. If the Trade Contractor has no owned automobiles, the requirements of this paragraph shall be met by each employee of the Trade Contractor providing services to the Town under this contract.

All Insurance Policies and Certificates of Insurance issued for this project shall name as additional insured(s), the Town, whether private or governmental, the Town's officers and employees, and the Engineer and its agents and employees, and any other person(s), company(ies), or entity(ies) deemed necessary by the Town. The Trade Contractor shall be solely responsible for any deductible losses under any policy required herein.

The insurance provided by the Trade Contractor shall be primary to insurance carried by the Town, the Engineer, and all other additional insureds, and the principal defense of any claims resulting from the Trade Contractor's obligations under the Contract shall rest with the Trade Contractor's Insurer.

The certificate of insurance provided by the Trade Contractor shall be completed by the Trade Contractor's insurance agent as evidence that policies providing the required coverages, conditions, and minimum limits are in full force and effect, and shall be reviewed and approved by the Town prior to commencement of the contract. No other form of certificate shall be used. The certificate shall identify this Contract and shall provide that the coverages afforded under the policies shall not be cancelled, terminated, or materially changed until at least 30 days prior written notice has been given to the Town. The completed certificate of insurance shall be sent to:

Patrick Davidson  
Town of Elizabeth  
Box 159  
151 South Banner Street  
Elizabeth, Colorado 80107

Failure on the part of the Trade Contractor to procure or maintain policies providing the required coverages, conditions, and minimum limits shall constitute a material breach of contract upon which the Town may immediately terminate this contract, or at its discretion the Town may procure or renew any such policy or any extended reporting period thereto and may pay any and all premiums in connection therewith, and all monies so paid by the Town shall be repaid by the Trade Contractor to the Town upon demand, or the Town may offset the cost of the premiums against any monies due to the Trade Contractor from the Town.

The Town reserves the right to request and receive a certified copy of any policy and any endorsement thereto.

The parties hereto understand and agree that the Town is relying on, and does not waive or intend to waive by any provision of this contract, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, 24-10-101 et seq., 10 C.R.S., as from time to time amended, or otherwise available to the Town, its officers, or its employees.

Section 12. Warranties and Guarantees. Contractor hereby represents, warrants, and guarantees to the Town all workmanship, equipment and materials on or made a part of the Project and its structures for a period of two (2) years from and after the date of probationary acceptance of the work by the Town as provided by this Agreement.

Section 13. Indemnification. Contractor shall indemnify, defend, and hold the Town, its agents, employees, engineers, and attorneys harmless from and against all claims, damages, judgments, losses and expenses of every nature, including reasonable attorney fees, arising at any time out of any act or omission of Contractor, its employees, subcontractors and their employees, and all other persons directly or indirectly involved in or performing work for Contractor on the Project.

Section 14. Subcontractors. All contracts between Contractor and subcontractors shall conform explicitly to all applicable provisions of this Agreement. Contractor shall require any subcontractors to provide the Town with a certificate of insurance which provides insurance coverage as provided by Section 11 of this Agreement. The certificate of insurance shall name the Town as an additional insured and provide that the policy shall not be terminated without ten (10) days written notice to the Town. In all events, Contractor shall be responsible and held liable for any bonding, insurance, warranties, indemnities, progress payments and completion of performance of or to such subcontractors. Upon receipt of progress and final payments from the Town, Contractor shall disburse the same immediately to subcontractors without any requirement of the Town to supervise the same. The Town may, but shall not be obligated to, require Contractor to furnish lien waivers for the work performed or materials furnished by subcontractors or materialmen prior to payment of progress payments or final payment. No contractual relationship shall exist between the Town and any subcontractor because of the subletting of any part of the Project work.

Section 15. Change Order. There shall be no increase in price or change in the scope of work described herein without a written change order issued by the Town along with the Town's written assurance that lawful appropriations have been made by the Town to cover the cost of any additional work or materials described in the change order.

Section 16. Work Rules.

a. Contractor shall perform all work hereunder in keeping with the rules and regulations that the Town may promulgate at any time for the safe, orderly, and efficient conduct of all operations.

b. The Town shall have the right to require of Contractor the immediate removal from the Project of any employee of Contractor or of his subcontractors who, in the discretion of the Town, is not qualified to perform the work assigned to him, is guilty of improper conduct, or is not working in harmony with the other trades.

c. Nothing contained in this Agreement shall constitute Contractor as being an employee of the Town, nor shall any employment relationship between the Town and Contractor be created by the terms hereof.

d. Contractor is responsible for the safety of any of its materials, tools, possessions, and rented items stored on the job site and for protection of the Project and shall hold the Town and its authorized representatives harmless from any damage or loss incurred thereto.

e. Contractor shall promptly pay in full for any and all damage caused to the Project site by Contractor or by any subcontractor or other person or entity of any nature furnishing materials, equipment, machinery, supplies, labor, skilled services, or instruments for whose actions Contractor is responsible hereunder.

f. No material, equipment, tools, supplies, or instruments other than those belonging to or leased by Contractor will be removed from the Project site by Contractor without the prior written approval of the Town.

g. Contractor agrees to report immediately to the Town, in writing, any and all property damage and/or personal injury that occurs on the Project site during the course of Contractor's performance.

Section 17. Assignment. Contractor shall not, at any time, assign any interest in this Agreement or the other Contract Documents to any person or entity without the prior written consent of the Town. The terms of this Agreement shall inure to and be binding upon the successors and assigns of the parties hereto.

Section 18. Amendment. This Agreement may be amended from time to time by agreement between the parties hereto. No amendment, modification, or alteration of this Agreement shall be binding upon the parties hereto unless the same is in writing and approved by the duly authorized representatives of each party hereto.

Section 19. Severability. If any term, section, or other provision of this Agreement shall, for any reason, be held to be invalid or unenforceable, the invalidity or unenforceability of such term, section or other provision shall not affect any of the remaining provisions of this Agreement.

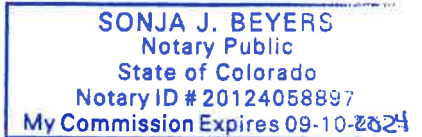
Section 20. Waiver. No waiver any either party of any right, term or condition of this Agreement shall be deemed or construed as a waiver of any other right, term or condition, nor shall a waiver of any breach hereof be deemed to constitute a waiver of any subsequent breach, whether of the same or of a different provision of this Agreement.



21<sup>st</sup> The foregoing instrument was subscribed, sworn to, and acknowledged before me this day of February, 2023, by John Frank as the President of Elite Surface Infrastructure

My commission expires: 9-10-2024

(S E A L)



Sonja J. Beyers  
Notary Public



**CORPORATE OFFICE**  
 1199 ATCHISON COURT  
 CASTLE ROCK, CO 80109  
 PHONE: 303-841-0292  
[www.elitesi.com](http://www.elitesi.com)

<b>To:</b>	Town Of Elizabeth	<b>Contact:</b>	James McErnie
<b>Address:</b>	151 South Banner Street Elizabeth, CO 80107	<b>Phone:</b>	303.646.4166
<b>Project Name:</b>	174 S Banner Demo	<b>Bid Number:</b>	DRL221702
<b>Project Location:</b>	174 S Banner St, Elizabeth, CO	<b>Bid Date:</b>	2/14/2023

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
100	Mobilization · Equipment Mob (one Time) · Supervision For ESI Scopes	1.00	LS	\$5,000.00	\$5,000.00
200	Building Demo · Remove Buildings · Abandon Water & Sewer Services Within Property · Gas/electric To Be Abandoned By Others Prior To Start · Grading/sloping Site With Onsite Materials · Haul Building & Foundation Materials To Landfill	1.00	LS	\$21,000.00	\$21,000.00
300	Tree Removals · Remove 5x Trees At SW Corner · Stumps Cut To Grade (w/o Damaging Sidewalks) · Stump Grinding Not Included	1.00	LS	\$14,000.00	\$14,000.00
400	Stump Grinding · Grinding Stumps To 12" Below Grade	1.00	LS	\$2,000.00	\$2,000.00
500	Wet Utility Abandonments · Assume 1x Water & 1x Sewer Abandonment In ROW · ESI To Abandon Service Lines At Water/sewer Mains · Includes Sawcut, Demo, Patching Upon Completion · Assume Native Backfill At ROW (excludes Flashfill)	1.00	LS	\$20,000.00	\$20,000.00

**Total Bid Price: \$62,000.00**

**Notes:**

- Exclusions:** Rock excavation, hidden hazards, frost, snow, mud, groundwater, bedrock, weather protection, winter protection, permits, licensing, fees, inspections, surveying, engineering, materials testing, cost/access to construction water, cathodic protection, waterproofing, dewatering, street cleaning, asphalt/concrete paving, traffic control, SWPPP, erosion control, cost of bond, removal of hazardous materials, landscaping, open trench protection, textura payment systems, multiple mobilizations due to extended delays or unforeseen conditions, geotechnical investigations, restabilization, utility encasements, import/export of material, ROW work, hardscape removals, gas/electric abandonments
- Notes/Qualifications:**
  - ESI proposal is based on current market diesel rates. If diesel fuel increases above \$6/GAL, additional costs may apply
  - Grading done once to + or - one tenth
  - If Textura payment system will be used add 0.22% to the contract total.
  - Bond is not included. Add 1.5% if bond is required
  - Pricing is based on the above reference descriptions and project explanations

**ACCEPTED:**

The above prices, specifications and conditions are satisfactory and are hereby accepted.

**Buyer:** \_\_\_\_\_

**Signature:** \_\_\_\_\_

**Date of Acceptance:** \_\_\_\_\_

**CONFIRMED:**

**ESI "Elite Surface Infrastructure"**

**Authorized Signature:** Daniel Lavigne   
Digitally signed by Daniel Lavigne  
DN: cn=US, e=daniel.lavigne@elitesi.com,  
o=Elite Surface Infrastructure, CN=Daniel  
Lavigne  
Date: 2023.02.14 08:12:54-0700

**Estimator:** Daniel Lavigne  
(720) 470-3817 daniel.lavigne@elitesi.com



## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Honorable Mayor and Board of Trustees  
**FROM:** Zach Higgins, Community Development Director  
**DATE:** February 28, 2023  
**SUBJECT:** Resolution 23R15

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### SUMMARY

Resolution 23R15 would repeal the previously approved Resolution 18R04 and approve the updated cross-section detail for Main Street in Elizabeth by incorporating the detail into the Street Standards and Specifications Manual. The cross sections will be utilized in the Main Street Streetscape Design project which is currently ongoing.

The Board of Trustees have considered the comments, concerns, and recommendations from the Main Street Board of Directors, business owners, property owners, and residents along Main Street and the Town at large. The Board gave staff recommendation to update the cross-sections at their 02/14/2023 BOT meeting to include two-way traffic, 40-degree angle parking on both sides of Main Street, and remove all “bulb-outs” at the intersections throughout the project.

The updated and attached cross-sections include three (3) scenarios to better reflect the various grades that exist on and adjacent to Main Street. Scenario 1 (One) shows a retaining wall separating the pedestrian zone from the amenity zone in the case of a vertical drop greater than 18 (eighteen) inches. This would also require a handrail. Scenario 2 (Two) shows the street above the grade of the amenity zone and Scenario 3 (Three) shows the street below the grade of the amenity zone. The intersection cross-section has been updated to remove the “bulb-outs”.

### STAFF RECOMMENDATION

The proposed cross sections have been reviewed and recommendations given by the Board of Trustees. Main Street property and business owners have been involved in the development of the cross-section detail. Staff recommends approval of Resolution 23R15, a resolution repealing 18R04 and approving the updated Main Street cross-sections pursuant to Town of Elizabeth Municipal Code Section 16-3-140.

### EXHIBIT(S)

- 1) Resolution 18R04
- 2) Resolution 23R15

RESOLUTION 18R04

A RESOLUTION APPROVING THE MAIN STREET CROSS SECTIONS  
PURSUANT TO TOWN OF ELIZABETH MUNICIPAL CODE SECTION 16-3-  
140

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE  
TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. The Main Street Cross Sections, attached hereto as **Exhibit A**, are hereby  
approved and made a part of the Town of Elizabeth Street Standards and Specifications pursuant  
to Section 16-3-140 of the Town of Elizabeth Municipal Code.

PASSED, APPROVED, and ADOPTED this 13<sup>th</sup> day of February, 2018, by the  
Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of  
7 for and 0 against.

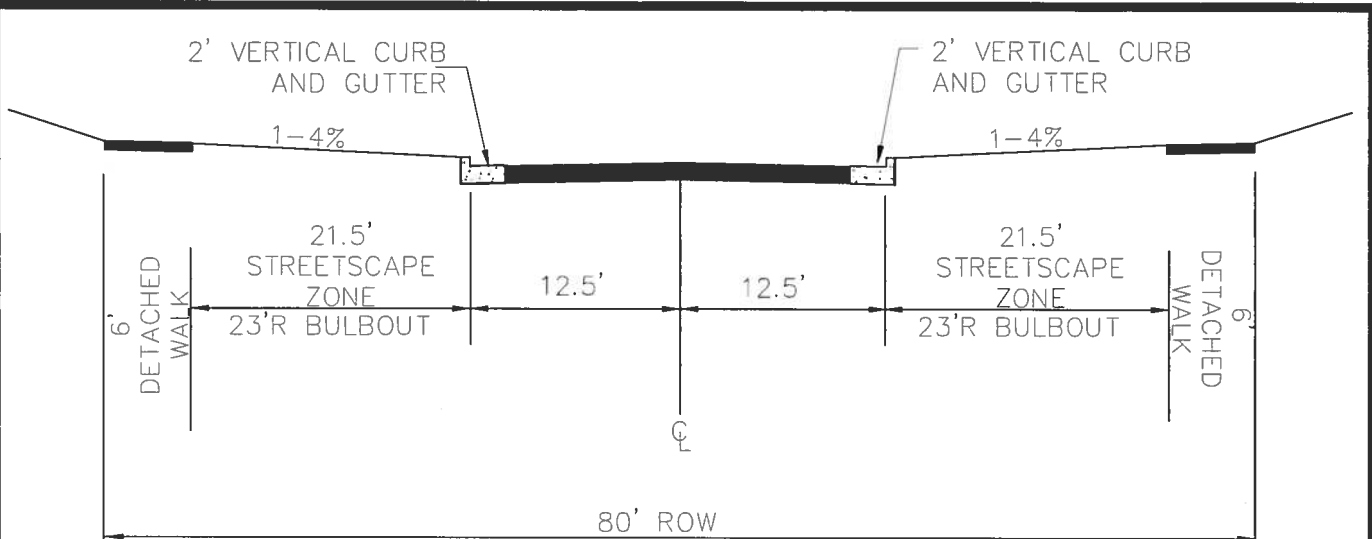
  
\_\_\_\_\_  
H. Clay Hurst, Mayor

ATTEST

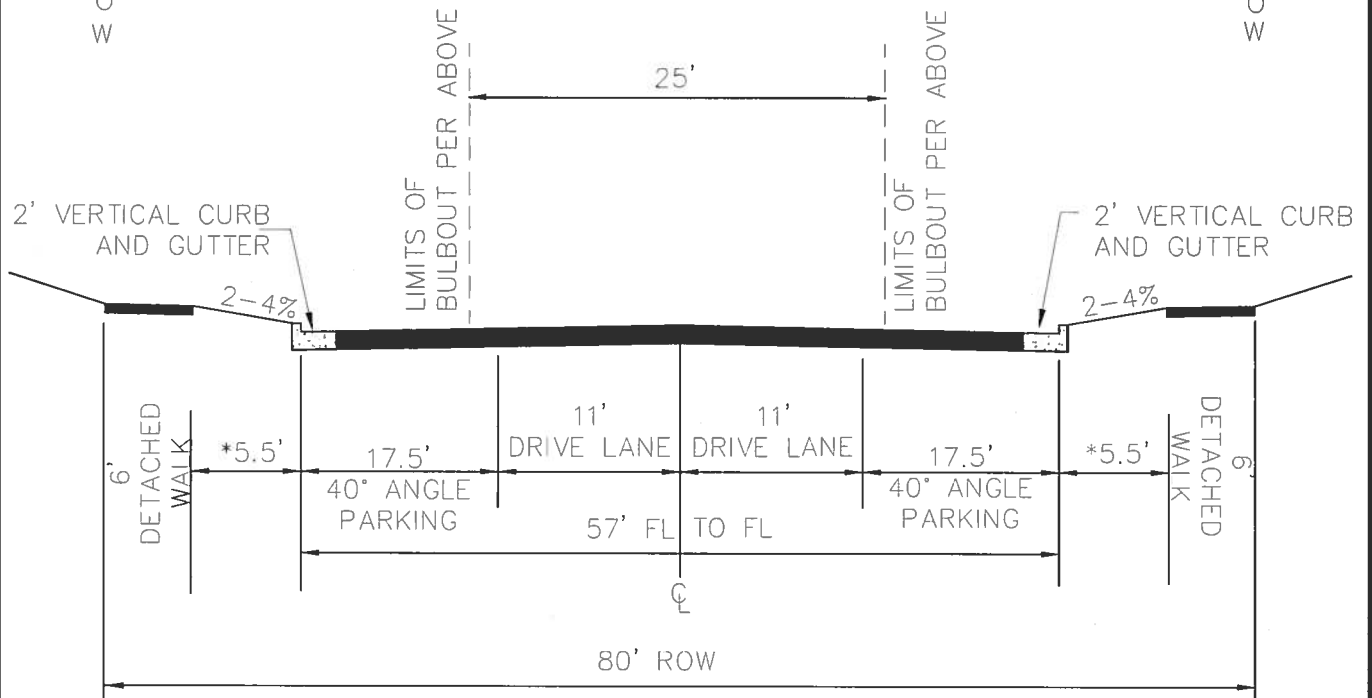
  
\_\_\_\_\_  
Amanda W. Moore, Town Clerk



# Exhibit A



## SECTION AT INTERSECTION



\* - 5.5' WIDE AMMENITY ZONE TO INCLUDE BACK OF CURB, LANDSCAPE, STREETLIGHTS

## NORMAL STREET SECTION

TOWN OF ELIZABETH STANDARD ROADWAY DETAILS	
MAIN STREET	
SCALE: NOT TO SCALE	DATE: 1/11/18
APPROVED: CORF CONSULTANTS INC. TOWN ENGINEER	RD-10B



## TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Honorable Mayor and Board of Trustees  
**FROM:** Zach Higgins, Community Development Director  
**DATE:** February 28, 2023  
**SUBJECT:** Streetscape Comments – Stolfus Old Town Traffic Study

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### SUMMARY

Staff has received comments following the Board of Trustee direction given to Staff regarding the Main Street Streetscape Design. At the Stolfus Old Town Traffic Study the following comments were made regarding Main Street:

- Concerns over people jaywalking with all the additional parking.
- Concerns over the widening of the street to accommodate diagonal parking in front of residences.
- Main Street Station development group is disappointed with the decision to remove “bump-outs” at intersections.
- The idea was brought up to explore additional off-street parking with existing businesses on Main Street.
- The idea was brought up to have flush “bulb-outs” without raised surface to preserve area for pedestrian traffic.
- Additional comments regarding the reconsideration of including “bulb-outs” of some nature in the project.
- Attendees asked for additional information on the maintenance costs and concerns regarding “bulb-outs”.
- Residents on Main Street wanted a better understanding of how far the project were encroach on their existing yard.
- Residents brought up concerns with diagonal parking in relation to people parking at night with headlights shining into their windows.

Staff has also received specific Streetscape Design feedback from Main Street Board member Kurt Prinslow. Kurt’s comments and drawings are attached.

### STAFF RECOMMENDATION

No recommendation from Staff at this time.

### EXHIBIT(S)

- 1) Comments and Map provided from Kurt Prinslow

**Attention : Board of Trustees, Town of Elizabeth**

**RE: Main Street** – Reaction to the most recent direction by the Board of Trustees

Date : February 23, 2023

**From : Kurt Prinslow,**

First, I still believe that a streetscape design that features large pedestrian spaces with safe pedestrian crossings and parallel parking is the correct solution to improving Main Street.

On the surface it is understandable that the preference for diagonal parking vs parallel parking is being driven by numbers.

## **BUT**

I believe the Board has not been told of the finer points / impacts / challenges of implementing the diagonal parking cross section in the Resolution, as well as, the alternatives to gain more parking on adjacent streets

I would like to focus my comments on the first two blocks Main Street, the plans as they have been presented and present curb extension alternatives.

Look at the first two blocks of Mainstreet from Hwy 86 to Broadway to Elm...

### **East side of Main Street between 86 and Broadway**

The current distance between CL (centerline of street) and the curb is **32'**. The cross section specifies **29'** so the proposed diagonal parking can be accommodated where diagonal parking already exists. More importantly, the current curb, gutter and street are higher than the elevation of the existing buildings creating potential flooding into the buildings.

CORE (the Town's Engineer) recognized and documented this condition in their survey and everyone sees it as they walk past these buildings. The Board of Trustees approved by resolution a street cross section that moves the existing curb and gutter away **from its current location.**

## WHY ?

It doesn't increase the number of **parking** spaces

It doesn't widen the sidewalk and

As the curb moves closer to the center of street it rises in elevation thus **creating more of a drop between the top back of curb and the finish floor elevation** of the existing buildings.

Disturb this existing condition then the Town will have to correct this **grade separation and the related safety issues (CORE proposed a Railing); which was not well received by the adjacent property owners and merchants.** It should be noted that the **handicap parking spaces don't work** where they are shown on the plan and should be built on Broadway by the bank building

### **East side of Main Street between Broadway and Elm**

The current distance between CL and curb is **32'**. The cross section specifies **29'** so the proposed diagonal parking can be accommodated where it already exists. The existing buildings are lower than the curb, gutter and separated from the street by a tripping hazard curb.

## WHY move the curb?

It doesn't increase the number of **parking** spaces

It doesn't widen the sidewalk and

As the curb moves closer to the center of street it rises in elevation thus **creating more of a drop between the top back of curb and the finish floor elevation** of the existing buildings.

Disturb this existing condition then the Town will have to correct this grade separation and the tripping hazard that exists. It should be noted that the handicap parking spaces don't work where they are shown and should be built on Elm

### **West side of Mainstreet between Broadway and Elm**

When the diagonal parking solution is applied to the west side of Main Street it will actually reduce the width of the existing sidewalk in front of the Mountain Man store and Elizabeth

Brewing Company and require these businesses to remove their existing landscape in order to accommodate a sidewalk.

If you build this street cross section with diagonal parking it will move the curb 6' reducing the walk width to 2' in front of Mountain Man Nut Co. and to 12" in front of Elizabeth Brewing Co. and impact the existing landscaping on neighboring properties.

*By The Way this removes the current parallel parking for the hat company customers that pull up with truck + trailer rigs*

Parallel parking solutions on these two blocks would provide more room in front of these properties to address these grading and drainage conditions. While widening the pedestrian area.

#### **A review of the current plans for the rest of Main Street. . . .**

As I look at the current plans that were in the Trustees most recent packet, the west curb line on the blocks south of Elm is being **moved 8 - 10' towards the centerline....WHY?**

This removes current on street parking (I thought we want as much parking as possible) and adds costs to the project such as driveway extensions, landscaping and irrigation. **WHY ?**

**Refer to the attached plans and illustrative cross sections.**

#### ***CURB EXTENSIONS.....aka "Bulb-outs"***

##### **Benefits :**

**Increased pedestrian visibility at intersection** by improving the driver and pedestrian sight lines

**Decreased pedestrian exposure to vehicles** by shortening the crossing distance

**Reduced vehicle turn speeds by physically reducing the street width** without affecting the width of the drive lane

**Increased pedestrian waiting space**

## Reducing parking at corner crosswalks

### Blended Transition Curb Ramps

ALL of these **benefits can be accomplished by constructing “Blended Transition” ramps; refer to attached plans.**

**No increased construction cost**

**Does not hamper emergency vehicle turning movements since the ramp surface is blended with the drive lane and is not a 6” tall curb** while maintaining the required turning radius for the emergency vehicles

**Eliminates repair cost to curbs due to snow-plow damage**

### Recommendations

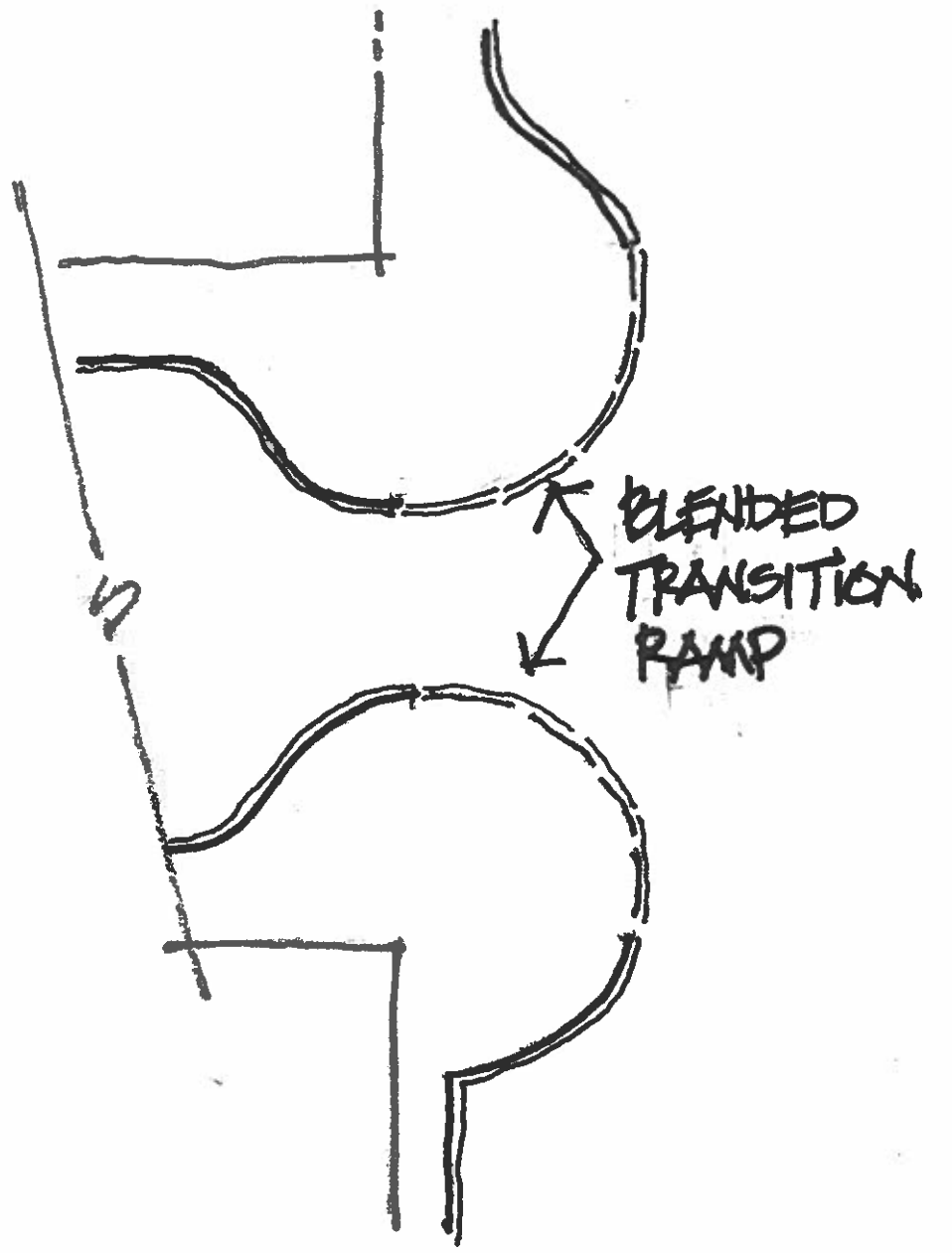
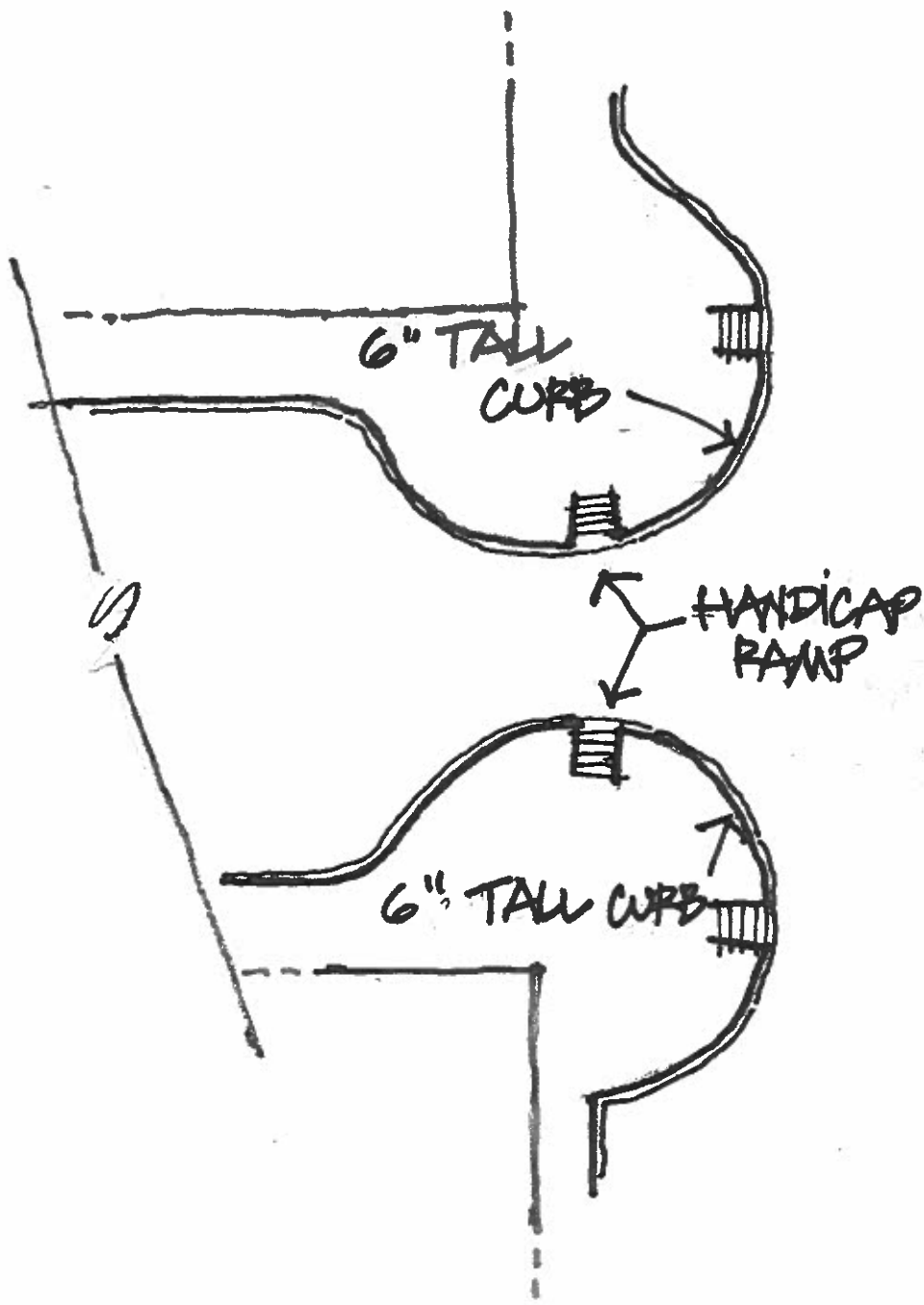
1. Develop Main Street with parallel parking and wider sidewalks. **Or** lower the street so that the existing historic buildings are higher than the curb and an uninterrupted 11’ wide sidewalk with diagonal parking can be constructed and not involve the placement of a railing between the parking and the sidewalk.
2. Construct curb extensions with blended transitions for increased pedestrian safety
3. Add parking on side streets both east and west of Main Street
4. Encourage the property owners on Main Street to construct and improve on-site parking on their properties; for instance behind the building with the antique store and hat company.

These comments and recommendations are presented in a effort to create a more pedestrian and business friendly Main Street.

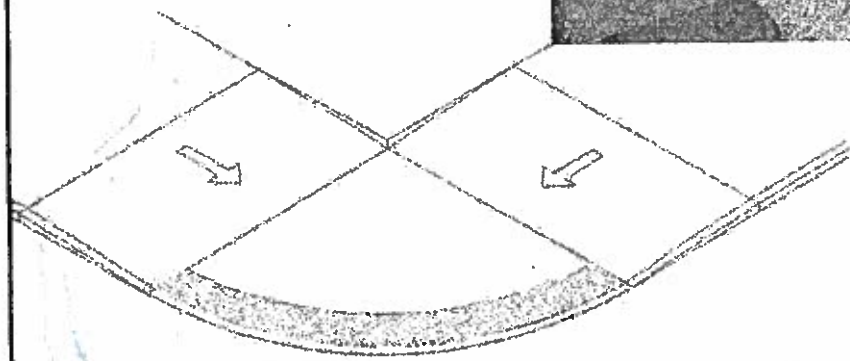
Respectfully submitted along with attachments,

*Kurt*

*k.d.prinslow@gmail.com*



# Blended Transitions



Blended Transition (depressed corner)

UNITED STATES ACCESS BOARD

36

Feb. 27, 2023

Board of Trustees:

For your consideration, I offer an alternative method to building curb extensions/handicap ramps.

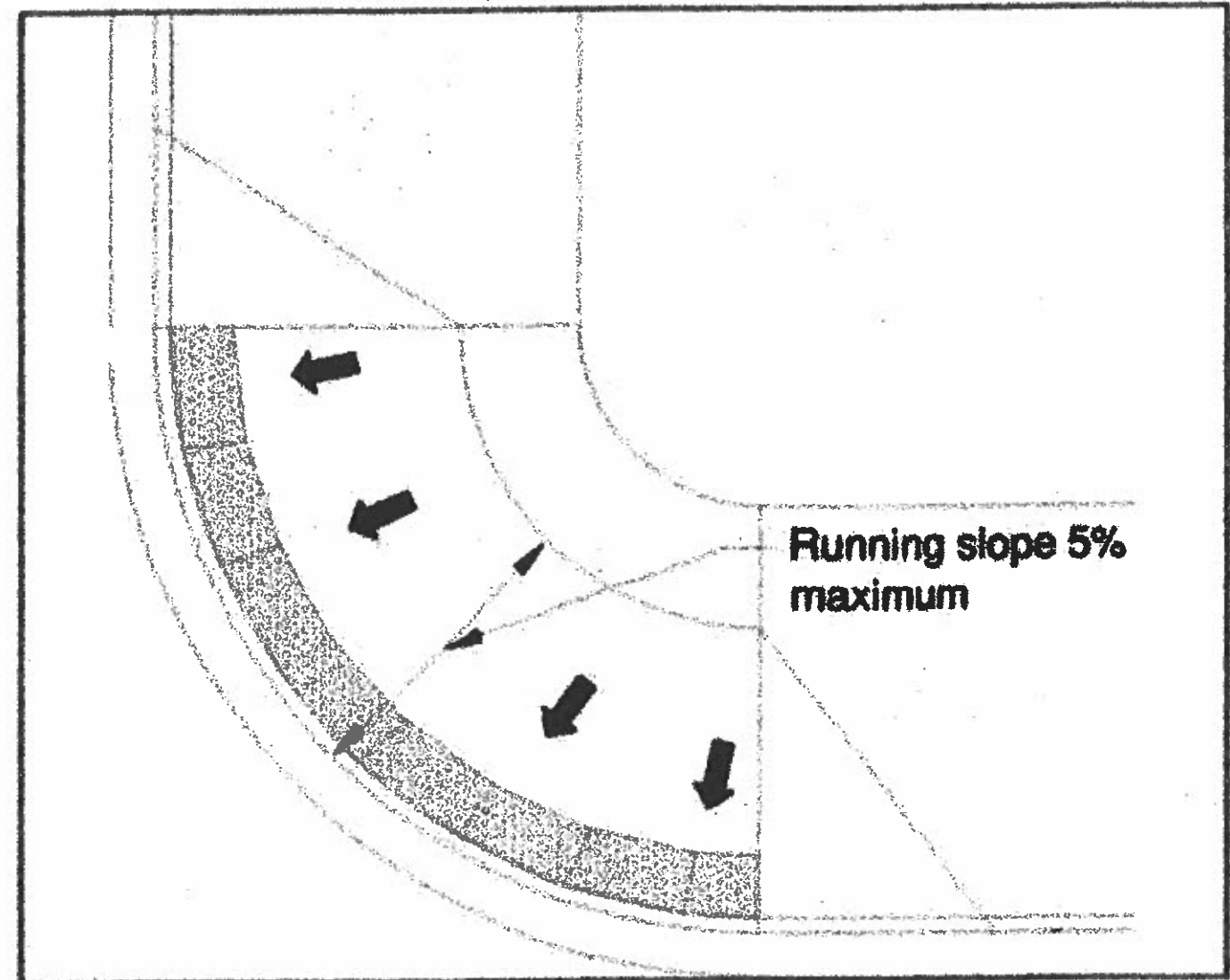
This approach has been successfully constructed across the state.

Kurt Prinslow

## R304.4.1 Running Slope

The running slope of blended transitions shall be 5 percent maximum.

Figure R304.4.1 Running Slope

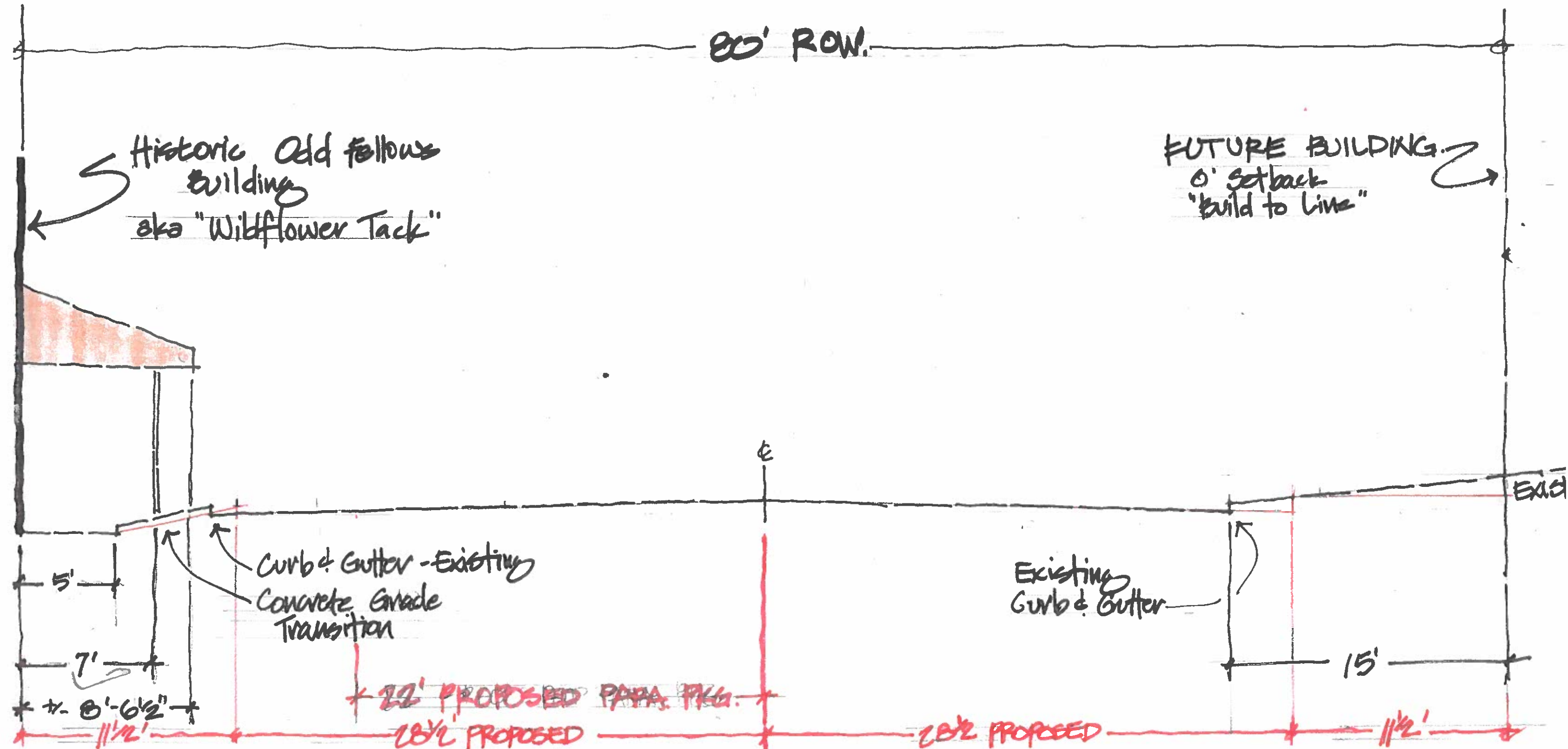




80' ROW.

Historic Odd fellows  
Building  
aka "Wildflower Tack"

FUTURE BUILDING  
0' setback  
"build to line"



# EXISTING STREET SECTION A-A

SCALE = 1" = 5'-0"

HISTORIC BUILDING.  
EXISTING CURB & GUTTER TO BE REMOVED  
CANOPY

SOUTH MAIN STREET

EXISTING LANDSCAPE TO BE REMOVED

EXISTING CURB & GUTTER TO BE REMOVED

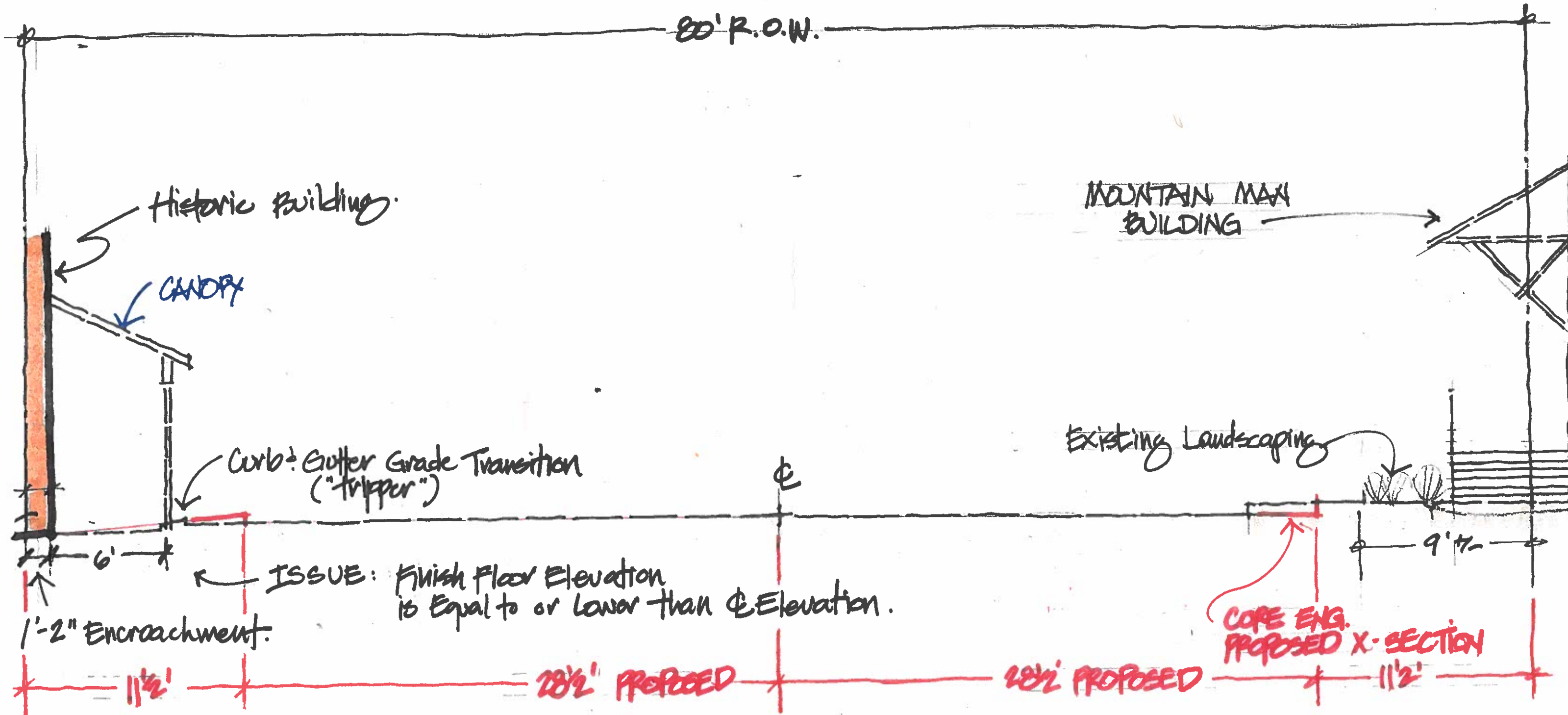
ELIZABETH BREWING.

MOUNTAIN MAN NUT CO.

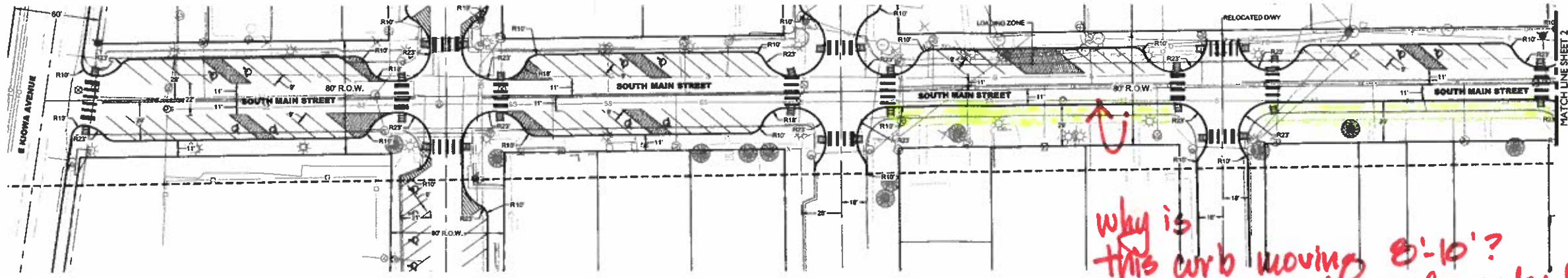
BROADWAY

ELM

14.

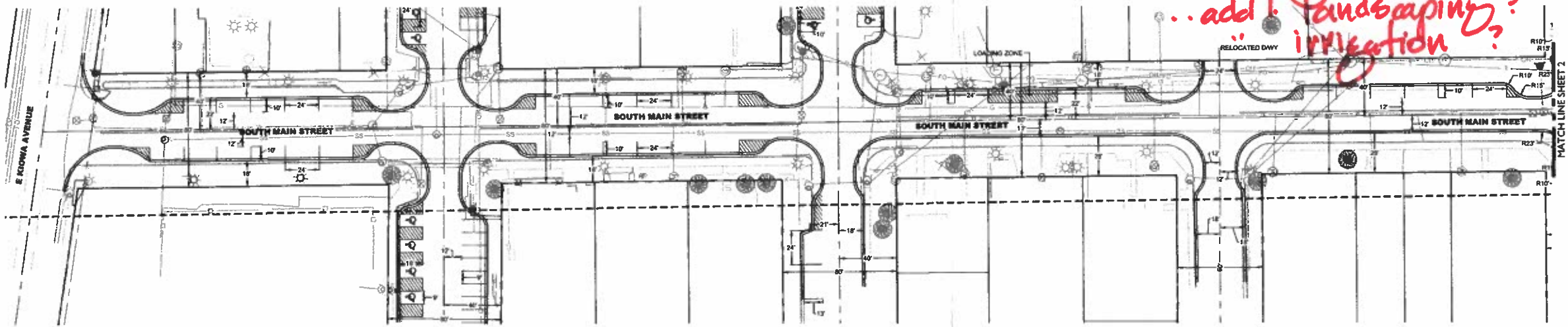


**EXISTING STREET SECTION B-B**  
 SCALE: 1"=5'-0"



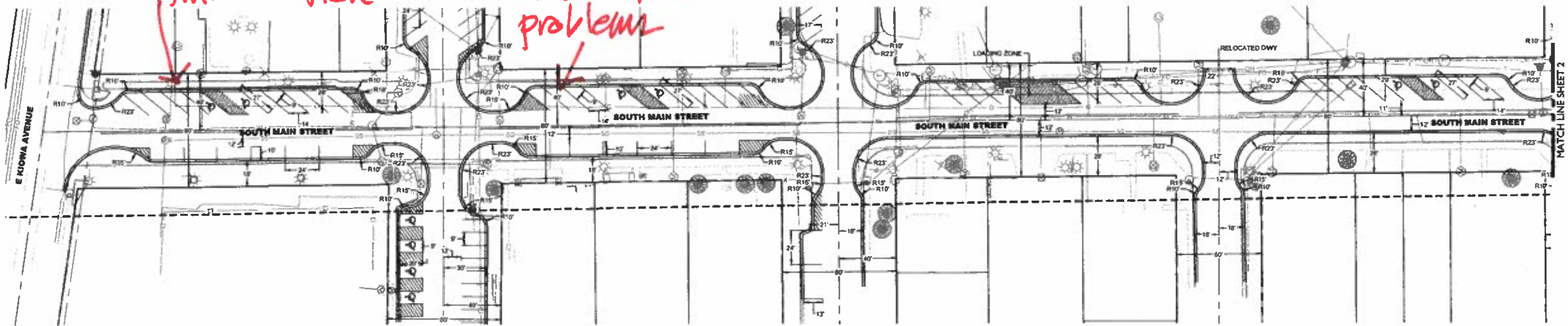
DIAGONAL PARKING

*Why is this curb moving 8'-10'?*  
*will the project pay for individual lot's.. driveway extensions?*  
*...add'l landscaping?*  
*irrigation?*

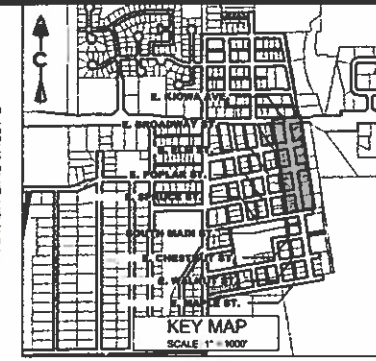


PARALLEL PARKING

*this solution hasn't solved these problems*



COMBINATION PARKING



LEGEND

- RIGHT OF WAY (R.O.W.)
- CENTERLINE
- PROJECT BOUNDARY
- SIGHT TRIANGLE
- PROPOSED CURB & GUTTER
- EXISTING STREET LIGHT POLES
- EXISTING STREET SIGNS
- EXISTING RAMPS
- EXISTING CONCRETE
- EXISTING DRIVEWAY

CORE CONSULTANTS, INC.  
 525 W. KOPPA  
 DENVER, CO 80113  
 303.733.4444  
 LIVE@CORE.COM

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 PUBLIC INFRASTRUCTURE

811  
 Access to Public Utilities  
 Call Before You Dig

#	REVISION DESCRIPTION	DATE	BY
1	DRAFT	01/20/22	SM
2	DRAFT	02/02/22	SM

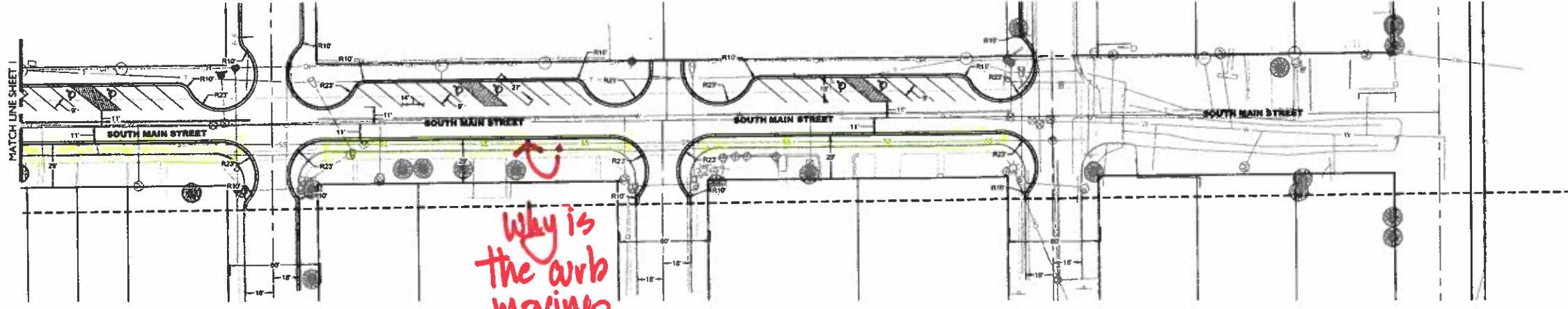
ELIZABETH MAIN STREET STREETSCAPE  
 ELIZABETH, CO  
 PRELIMINARY CONCEPT  
 MAIN STREETScape

NOT FOR CONSTRUCTION

DESIGNED BY: SO  
 DRAWN BY: SO  
 CHECKED BY: MN

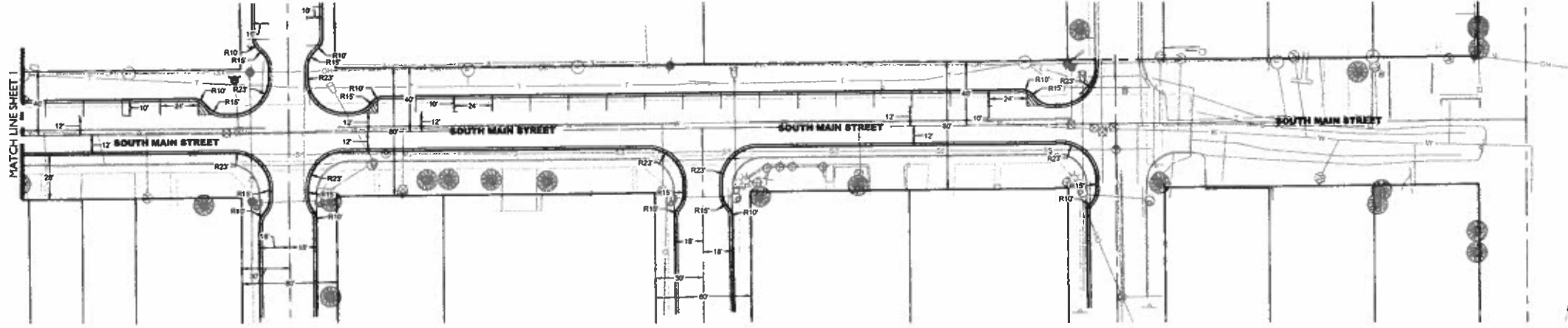
JOB NO.  
 10-010  
 SHEET  
 1

2021-09-11 (4:30 PM) X:\10-010-069 Elizabeth Main Street Streetscape\CityCAD\Exhibits\Public Meeting #3 Exhibits Main Street Streetscape - Meeting 3.dwg

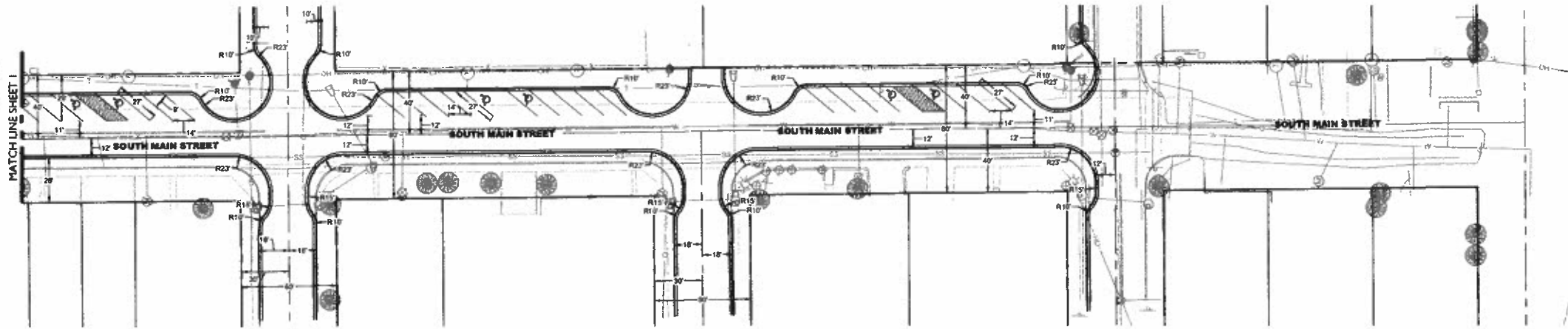


DIAGONAL PARKING

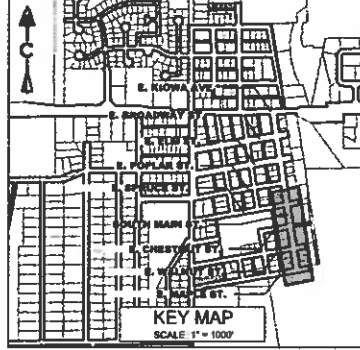
Why is the curb moving 8'-10'+/-? Will this project pay for individual lot's ... driveway extensions? ... additional landscaping? irrigation?



PARALLEL PARKING



COMBINATION PARKING



LEGEND

- RIGHT OF WAY (R.O.W.)
- CENTERLINE
- PROJECT BOUNDARY
- SIGHT TRIANGLE
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING STREET LIGHT POLES
- PROPOSED STREET LIGHT POLES
- EXISTING STREET SIGNS
- PROPOSED STREET SIGNS
- RAMPS
- CONCRETE
- EXISTING GRAVEL ROAD

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LAND DEVELOPMENT  
 ENERGY  
 PUBLIC INFRASTRUCTURE

**CORE**

811

#	REVISION DESCRIPTION	DATE	BY
1	DRAFT	5/19/2022	MIN
2	DRAFT	6/27/2022	MIN

ELIZABETH MAIN STREET STREETSCAPE  
 ELIZABETH, CO  
 PRELIMINARY CONCEPT  
 MAIN STREETScape

NOT FOR CONSTRUCTION

DESIGNED BY: SO  
 DRAWN BY: SO  
 CHECKED BY: MN

JOB NO.  
 10-010-  
 SHEET  
 2

**RESOLUTION 23R15**

**A RESOLUTION REPEALING RESOLUTION 18R04 REGARDING THE PRIOR APPROVAL OF THE MAIN STREET CROSS SECTIONS PURSUANT TO ELIZABETH MUNICIPAL CODE SECTION 16-3-140, AND ESTABLISHING AND APPROVING A REVISED MAIN STREET CROSS SECTION**

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

1. On February 13, 2018, by means of Resolution 18R04, the Board of Trustees for the Town of Elizabeth approved the Main Street Cross Sections pursuant to Elizabeth Street Standards and Specifications pursuant to 16-3-140 of the Town of Elizabeth Municipal Code. By and through this Resolution 23R15 the Resolution 18R04 is hereby repealed.

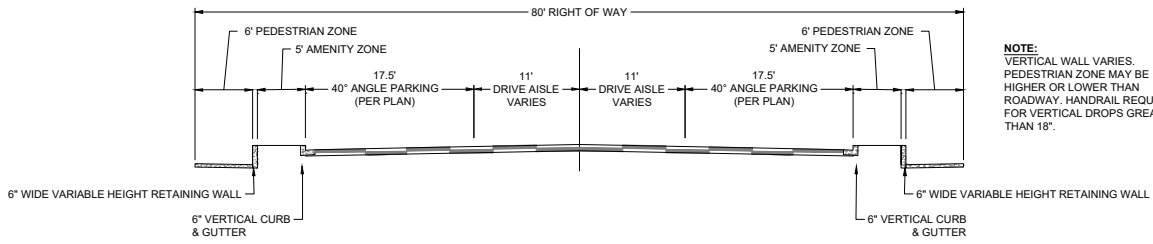
2. The Main Street Cross Sections, attached hereto as **Exhibit A**, are hereby approved, and made a part of the Town of Elizabeth Street Standards and Specifications pursuant to Section 16-3-140 of the Town of Elizabeth Municipal Code.

PASSED, APPROVED, and ADOPTED this 28th day of February 2023, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Nick Snively, Mayor

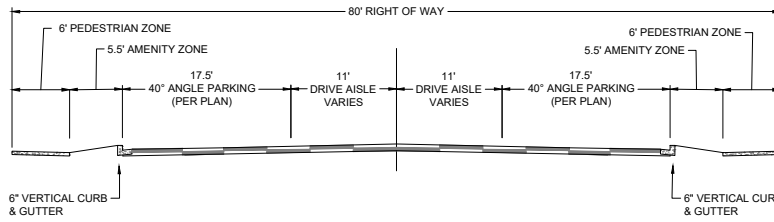
ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk



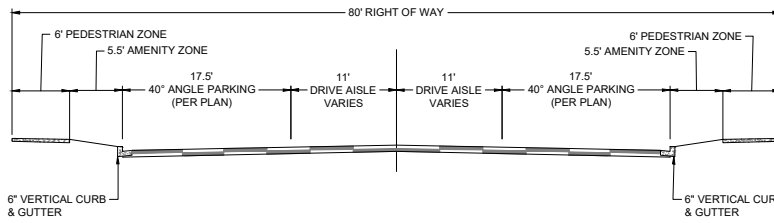
**NOTE:**  
VERTICAL WALL VARIES.  
PEDESTRIAN ZONE MAY BE  
HIGHER OR LOWER THAN  
ROADWAY. HANDRAIL REQUIRED  
FOR VERTICAL DROPS GREATER  
THAN 18".

**SCENARIO 1**



**NOTE:**  
MAX SLOPE OF AMENITY  
ZONE IS 2% FOR PAVED  
SURFACES OR 25% FOR  
LANDSCAPED SURFACES.

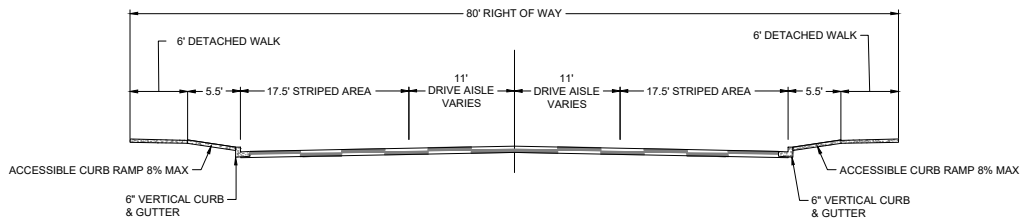
**SCENARIO 2**



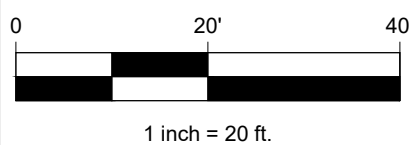
**NOTE:**  
MAX SLOPE OF AMENITY  
ZONE IS 2% FOR PAVED  
SURFACES OR 25% FOR  
LANDSCAPED SURFACES.

**SCENARIO 3**

**TYPICAL SECTION MAIN STREET OPTIONS  
80' ROW**



**TYPICAL SECTION AT INTERSECTION  
MAIN STREET**



2/22/2023 1:58 PM X:\10-010-000\ELIZABETH MAIN STREET\STREETSCAPE\CAD\PLAN\ELIZABETH MAIN STREET TO CROSS SECTIONS.DWG



## TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees  
FROM: Patrick Davidson, Town Administrator  
DATED: February 28, 2023  
SUBJECT: Update to Town Purchasing Policy

---

### BACKGROUND

Staff is continuing to review prior financial policies and update them to reflect growth in the organization, the changes in how business is transacted, and the overall costs of goods and services required by the Town. The newest policy for Board review is the Town's Purchasing Policy.

While drafts of purchasing policy updates were found in prior files and computer archives, it does not appear that the Town's Purchasing Policies were updated since May 2009 through Resolution 09R06. Consequently, the policy is approximately 14 years old and fails to reflect the ways in which internet commerce is conducted, the availability of on-line purchases and auctions, and the availability of email bids, proposals, and related documents. Finally, the existing Purchasing Policy fails to reflect the cost of routine expenditures and purchases in relation to their current prices in 2023.

### ANALYSIS

The proposed policy contains the following means of approvals to streamline purchases while maintain the appropriate levels of control and oversight:

- Purchase Agreements under \$25,000 which are specifically budgeted by the Board of Trustees may be completed upon consent of the Department Head and the Town Administrator.
- Purchase Agreements under \$50,000 which are specifically budgeted by the Board of Trustees may be completed by the Town Administrator with appropriate notice to the Board of Trustees that such an action was taken.
- Purchases under \$10,000 do not require competitive bidding but do require reasonable steps to ensure the lowest cost for the quality and quantity are obtained.
- Purchases from \$10,000 to \$50,000 shall be done through an informal written quote process to the extent possible. Professional services are exempt from this provision.

- Purchases greater than \$50,000 shall require a formal bid process with advertisement by means reasonably calculated to obtain competitive bids.
- Provides a specific Ethics provision to ensure that the standards expected by the Board of Trustees in financial transactions are followed.

Legal counsel has reviewed the attached policies and has confirmed that the wording is appropriate, subject to the direction of the Board of Trustees.

**STAFF RECOMMENDATION**

Staff recommends the Board authorize and adopt the updated Purchasing Policy.

**BUDGET CONSIDERATIONS**

There are no known ramifications to the Town’s budget by updating this policy.

**ATTACHMENTS**

Resolution 23R16 A Resolution Repealing Resolution 09R06 Regarding the Town of Elizabeth Purchasing Policy, and Adopting a Revised and Amended Purchasing Policy for the Town of Elizabeth

Proposed Purchasing Policy for the Town of Elizabeth  
09R06 Purchasing Policy

**RESOLUTION 09R06**

**A RESOLUTION ADOPTING THE TOWN OF ELIZABETH PURCHASING POLICY**

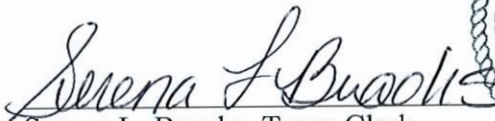
NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. The Board of Trustees of the Town of Elizabeth hereby adopts the Town of Elizabeth Purchasing Policy, attached hereto as **Exhibit A**, and incorporated herein by this reference.

PASSED, APPROVED, and ADOPTED this 12<sup>th</sup> day of May, 2009, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of 6 for and 0 against.

  
Jon Gleiforst, Mayor

ATTEST

  
Serena L. Brooks, Town Clerk



## Purchasing Policy

This policy endeavors to ensure equitable and impartial treatment of all vendors seeking to do business with the Town of Elizabeth. It is meant to supply the needs of the Town, encourage effective economic competition, and ensure the Town's dollars are spent in a wise and prudent manner. This is the written policy from which the Town will develop and administer its purchasing procedures.

Responsibility: The Town Administrator will assume the responsibility of purchasing agent for all departments, offices, and divisions of the Town.

- A. Authority to Purchase: The following personnel, within the established guidelines and budgetary restraints, will assist the Town Administrator with purchasing decisions and will have the following authority:
1. The Town Administrator and the Finance Officer and assigned individuals, are hereby designated as the monitoring agents for acquisition of goods and services, in accordance with the approved budget.
  2. Authority to purchase is delegated by the Town Board of Trustees to the Town Administrator in accordance with the intent of the annual budget. Further delegation of purchasing authority is as follows:
    - a. The Board of Trustees must approve any agreement, contractual obligation, change order, or purchase, greater than \$5,000.
    - b. The Town Administrator may approve non-budgeted purchases of goods or services and contractual agreements of \$2,000 to \$5,000 with review and approval by the Board of Trustees.
    - c. The Finance Officer may approve budgeted purchases of goods or services and contractual agreements of \$2,000 to \$5,000 with review and approval by the Town Administrator.
    - d. Department heads may approve budgeted purchases of goods or services in amounts of \$1,000 to \$2,000 with prior review and approval by the Finance Officer.
    - e. Department heads and program managers may approve purchases of goods or services in amounts up to \$1,000.
    - f. All employees with Department Head approval may purchase goods or services in a single purchase not to exceed \$500. All purchases should be made utilizing a Town issued credit card where possible. Reimbursement to the employee is conditional upon agreement with the purchase and signing of the receipt by the employee's immediate

supervisor.

- g. The Finance Officer may approve normal utilities, insurance, debt service and other established payments (to include memberships, uniforms, and other identified expenditures) without further review or approval.
  - h. In case of an apparent emergency which requires immediate purchase of supplies, services or letting or change of construction contract, regardless of cost, the Town Administrator or his/her designee is empowered to authorize the using department head and the Finance Officer to procure such emergency needs by informal, open-market quotes as expeditiously as possible, at the lowest obtainable price. If the dollar cost of such purchase is greater than the Town Administrator's authority to purchase level, as defined by this Policy, a full report of the circumstances shall be given to the Board of Trustees at its next meeting.
3. No Town employee shall divide or attempt to divide what would normally be considered a single purchase for the sole purpose of evading the purchasing authority levels. Failure to comply will result in disciplinary action up to and including termination.
- B. Baseline Standards for Purchasing: The following standards will apply when purchasing goods or services for the Town of Elizabeth.
- 1. Procure for the Town the best economic advantage, while maintaining the highest quality of services and goods necessary to accomplish the needed functions of the requesting department and the Town.
  - 2. Where possible, consolidate the purchasing function to ensure the following:
    - a. Maximum economic advantage;
    - b. Use of a centralized purchasing database;
    - c. Consistent and documented bidding procedures;
    - d. Use of hardcopy purchase orders where needed;
    - e. Tracking and follow-up of outstanding purchase orders;
    - f. Adequate receiving records;
    - g. Accurate matching of purchase orders, receiving records and invoices;
    - h. Receipt of all applicable federal and state tax exemptions on purchases and contracts.

3. Use of a formal bidding process for all works of public improvement in excess of \$5,000 and in accordance with Colorado Revised Statute 31-15-712.
  4. Use either an informal (non-advertised) bid process including a minimum of three suppliers where possible, or a formal bid process, for all purchases of goods and services in excess of \$5,000.
  5. For purchases of goods or services of at least \$1,000 but less than \$5,000, use either an informal bid process or contact a minimum of three suppliers where possible, for competitive pricing. In this case, the decision on which course of action to use will be made by the requesting departmental head, in conjunction with the Town Administrator, based on whichever is deemed to be in the best interest of the Town.
  6. Require vendors/suppliers to fulfill all terms and conditions of purchase orders and contracts.
  7. Follow all current purchasing procedures and make recommendations for revisions as necessary.
  8. Purchase goods and services from local vendors/suppliers, when their services and goods are within an economically competitive and quality range, and will best serve the Town.
  9. When the Town has a professional services agreement with a consultant, expenditures shall be consistent with the agreement.
- C. Cooperative Purchasing: The Town of Elizabeth may participate in joint bidding with other public agencies if it is deemed in the best interest of the Town. Cooperative purchases are exempt from internal bidding guidelines. Cooperative purchasing does not relieve the Town from following Colorado State Law C.R.S. 31-15-712 pertaining to purchases of works of public improvement costing \$5,000 or more.

**RESOLUTION 23R16**

**A RESOLUTION REPEALING RESOLUTION 09R06 REGARDING THE TOWN OF ELIZABETH PURCHASING POLICY, AND ADOPTING A REVISED AND AMENDMEND PURCHASING POLICY FOR THE TOWN OF ELIZABETH**

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

1. On May 12, 2009, by means of Resolution 09R06, the Board of Trustees for the Town of Elizabeth adopted the Town of Elizabeth Purchasing Policy. By and through this Resolution 23R\_\_\_ the Resolution 09R06 is hereby repealed.

2. The Board of Trustees for the Town of Elizabeth hereby adopt the Purchasing Policy for the Town of Elizabeth, attached hereto as **Exhibit A**, and incorporated hereby by this reference.

PASSED, APPROVED, and ADOPTED this 28th day of February 2023, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Nick Snively, Mayor

ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk

## **PURCHASING POLICY FOR THE TOWN OF ELIZABETH**

The purpose of this Purchasing Policy is to establish policies and procedures to ensure equitable and impartial treatment of all vendors seeking to do business with the Town of Elizabeth. It is meant to supply the needs of the Town, encourage effective economic competition, and ensure the Town's dollars are spent in a wise and prudent manner. This Purchasing Policy is designed to update the Town's previous Purchasing Policy (09R06 - 2009) to reflect changes in the needs of the Town and the changes in the means of commerce in the modern economy.

### **APPLICATION AND DEFINITIONS FOR THIS POLICY:**

This Purchasing Policy shall apply to every purchase to which the Town of Elizabeth is a party. In the event of a conflict with this Purchasing Policy, or any other Financial Policy of the Town of Elizabeth, this Purchasing Policy shall control. In the event there is any potential transaction contemplated, for which two different requirements could be inferred, the more restrictive process for Town Staff shall be applied to ensure equitable and impartial treatment of vendors.

"Bids" shall mean either bids or proposals submitted in response to a written invitation for bids or a written request for proposals.

"Professional Services" shall mean architectural, engineering, legal, accounting and auditing, consulting or other services that involve primarily the furnishing of skilled labor, time, or expertise.

"Purchase Agreement" shall mean statements, contracts, or invoices for the purchase of construction, professional services, or other services and supplies, or for the purchase of real estate.

"Quotes" shall mean an informal solicitation for fulfilling a need for a specific product or service. Quotes may be obtained by electronic means such as text messages, email, website inquiries, or by means of telephonic solicitation.

### **GENERAL REQUIREMENTS AND THRESHOLDS:**

1. Every Purchase Agreement shall be in writing, indicating the parties to be bound by the Agreement, specify the total amount potentially due and owing under the Agreement, and to the extent possible clearly identify the date for the transaction to occur, the product to be provided, or the professional services to be completed.
2. Every Purchase Agreement that does not make use of the Town's standardized contracts shall be approved as to legal form by the Town Attorney before being executed on behalf of the Town of Elizabeth.
3. A Purchase Agreement in the amount of twenty-five thousand dollars (\$25,000) or less and appropriated by the Board of Trustees in the current Budget, may be approved by a Department Head with the approval of the Town Administrator and without further action by the Board of Trustees.
4. A Purchase Agreement in the amount of fifty thousand dollars (\$50,000) or less and appropriated by the Board of Trustees in the current Budget, may be approved by the Town Administrator without further action by the Board of Trustees. However, any such expenditure shall be timely reported to the Board of Trustees at the Board's next regularly scheduled meeting.

5. **Purchases Under \$10,000.** Small items in this category, used on a day-to-day basis, may be purchased without competitive bidding on each item. However, periodic telephone/online inquiries should be made to be certain the purchases are obtained at the lowest costs for the quantity and quality desired.

6. **Purchases from \$10,000 to \$50,000.** Purchases or contracts for services for the sum of \$10,000 to \$50,000 shall be secured on a competitive bid basis. This must be accomplished by soliciting at least three (3) written informal quotes. When seeking written informal quotes, all quotes must be tabulated in detailed for future reference. If the recommended quote is not the lowest, a detailed explanation must accompany the contract and/or invoice. Bids for Professional Services are exempt from this provision, unless otherwise directed by the Town Administrator or the Board of Trustees. If less than three informal quotes are obtained, the Town Administrator must approve the expenditure.

7. **Purchases Greater than \$50,000.** Any item for services, projects or equipment in this category shall be purchased through the formal bid process. Formal bids shall be secured by advertisement by any means reasonably calculated to receive the highest number of potential vendors or suppliers. This may be by direct solicitation, newspaper advertisements, announcement via social media, mailers, or other processes. The responsibility for advertising and securing formal bids shall be that of the Department Head or Administrator as may be required. Bids for professional services are exempt from this requirement. It is required that an advertisement for formal bid be solicited for at least ten (10) days prior to the bid opening.

**PRINCIPLES and ETHICS IN PURCHASING:**

Every officer and employee of the Town of Elizabeth is expressly prohibited from knowingly:

- (A) Seeking or accepting any personal gift or money directly or indirectly, from any person, company, firm, or corporation in connection with a Purchase Agreement; that is prohibited by Town policy, Town Code and C.R.S. 24-18-104.
- (B) Underestimating or exaggerating requirements to a prospective bidder for the purpose of influencing bids.
- (C) Misrepresenting the quality of a bidder's products or services.
- (D) Influencing the Town to enter into a Purchase Agreement that will benefit the officer or employee, either directly or indirectly.
- (E) Approving the purchase in which any employee, elected or appointed officer of the Town has an interest without the approval of the Town Board of Trustees.
- (F) No single purchase or transaction shall be subdivided for the purpose of circumventing the dollar value limitations of this Purchasing Policy.

**FORMAL BIDDING REQUIRED:**

- (A) Formal bidding procedures shall be followed when the amount of the Purchase Agreement exceeds fifty thousand dollars (\$50,000), unless:

1. The Town Board of Trustees determines by unanimous resolution of those present at the meeting that the public interest will be best served by joint purchase with or from another unit of government, including State and Federal bid awards; or

2. The Town Board of Trustees determines, upon recommendation of the Town Administrator, that the public interest will be best served by a negotiated contract with a single vendor or contractor.

(B) The expenditure is the purchase of utilities, employee services, the expenditure is part of an intergovernmental agreement, purchase of lease of real property, acquisition of water rights or the expenditure is for items for which there is not competitive alternative.

(C) In case of a declared or pronounced emergency affecting the public peace, health or safety, the Town Board of Trustees may waive all requirements for formal bidding. In such cases, the Town Administrator may direct the appropriate department head to procure emergency needs by informal, open-market procedures, at not more than current market prices, as expeditiously as possible. The Town Administrator shall present a full report of the circumstances necessitating the emergency action at the next regular meeting of the Town Board of Trustees, with the potential option to extend the waiver of requirements for formal bidding.

**FORMAL BIDDING PROCEDURES AND SELECTION CRITERIA:**

(A) When formal bidding is required pursuant to this Policy, at least ten (10) days prior to the deadline for receipt of bids, a request or invitation for sealed bids shall be announced by any means reasonably calculated to receive the highest number of potential vendors or suppliers. Such a solicitation may be made by being published at least once in the designated newspaper, sent to three (3) or more potential bidders, and/or posted via electronic solicitation.

(B) Sealed bids shall be opened in public at that time and place identified in the notice. All bids received shall be available for public inspection. In the event of a delay in opening the bids, each bidder shall be notified as to the date and time of the delayed bid opening.

(C) After the bid opening and review by the Town Administrator, any proposed purchase exceeding the Town Administrator's authority shall be presented to the Town Board of Trustees for action. The Town Administrator shall provide a recommendation for an award for further action by the Board of Trustees. The Board of Trustees is not required to accept the recommendation of the Town Administrator, and may select a party other than the lowest responsible bidder if such bid meets the bid specifications. In selecting a bidder who has not submitted the lowest bid, the Board of Trustees should consider the following:

1. The bidder's skill, ability, and capacity to perform the services or to furnish the materials, equipment, or supplies required.
2. Whether the bidder can perform the services or furnish the materials, equipment, or supplies promptly, or within the timer period specified, without delay or interference.
3. The bidder's character, integrity, reputation, judgment, experience and efficiency.

4. The quality of the bidder's prior performance on previous Purchase Agreements.
5. The bidder's previous and current compliance with statutes, ordinances and rules relating to the purchase.
6. The sufficiency of the bidder's financial resources necessary for the performance of the Purchase Agreement.
7. The bidder's ability to provide future maintenance or service to the Town of Elizabeth.
8. The number and nature of any conditions attached to the bid.

**COMPARATIVE PRICE QUOTATIONS:**

(A) When the amount of a Purchase Agreement does not exceed fifty thousand dollars (\$50,000), comparative price quotes given by telephone, in person, or in writing from at least three (3) vendors or contractors will be required, unless:

1. The Town Administrator determines that the public interest would be best served by negotiated contract with a single vendor or contractor or by joint purchase with or from another unit of government; or
2. The Town Administrator determines that the public interest would be best served by obtaining the good or services through the formal bidding process.

(B) Comparative price quotes must be obtained every three (3) years, except with permission from the Town Administrator.

**AMENDMENTS TO PURCHASE AGREEMENTS:**

(A) The Town Administrator shall have the authority to approve an amendment to any Purchase Agreement when the change order does not exceed ten percent (10%) of the original agreement and combined with the original agreement does not exceed the approved appropriation for said purchase.

(B) All other amendments to a Purchase Agreement previously approved by the Town Board of Trustees shall be approved or ratified by the Board.

**PROCUREMENT REQUIREMENTS WHEN SPENDING FEDERAL FUNDS:**

All purchases paid for or reimbursed with Federal Grant Funds shall be spent in compliance with the Federal Office of Management and Budget (OMB) "Uniform Administrative Requirements, Cost Principles and Audit Requirements for Federal Awards" and shall otherwise comply with Code of Federal Regulations (CFR) Title 2, Subtitle A, Chapter II, Part 200.318 through 200.326,



February 28, 2023

## Management Team Updates

### ***Community Development – Zach Higgins***

- Community Development is currently seeking a Planner/Project Manager
- Elizabeth Municipal Code Workshop with BOT and PC on Saturday 02/25/2023
- The Planning Commission has recommended for approval the Walnut Grove Sketch Plan and continued the Pine Ridge Crossing Site Plan Amendment to March 7<sup>th</sup> following the Water Training
- The Water 101 training session will be held on 03/07/2023 at 6:30pm
- Planning Commission has designated members to attend the BOT workshops on code updates
- The Stolfus Old Town Traffic Study Findings and Recommendations meeting was held on 02/23/2023


### ***Town Clerk – Michelle Oeser***

- If you are interested, check out the great passport scheduler that Harmony implemented for the Town. Go to <https://www.townofelizabeth.org/passports>.
- Staff is working on developing a comprehensive Welcome Guide for new residents. It will contain more information than our current welcome letter. Each department is working on a page or two with their information.
- The two Open Houses on the Community and Senior Active Center went well and were well attended.
- The Administration Staff is doubling down on cross training. We are setting up specific times to train in each area. Staff covers for each other when needed but want to be more fluid and efficient.
- At the March 28, 2023, meeting, the Town will be applying for a Special Event Liquor License for the Friday Night Markets.
- Believe it or not, it is already time to register for the ElizaBash and the Harvest Festival. The Elizabeth Area Chamber of Commerce has changed their registration format and is allowing vendors to register for all events in 2023. I am requesting direction on registering for the Board to have a table at both events. The ElizaBash is June 3<sup>rd</sup> from 9am to 3pm, and the Harvest Festival is October 28<sup>th</sup> from 10am to 3:30pm. Both events are held on a Saturday.
- Staff has reached out to Black Hills Energy to request a sponsorship for the Mayor's Tree Lighting. If approved the sponsorship would cover 2 Reindeer to add to our Winter Wonderland.

### ***Police –***

 No Report

### ***Public Works and Utilities – Mike DeVol***

 See attached Report

TOWN OF ELIZABETH  
 COMBINED CASH INVESTMENT  
 DECEMBER 31, 2022

COMBINED CASH ACCOUNTS

99-104201	COLOTRUST INVESTMENT ACCOUNT	13,795,726.87
99-104202	CORE ARPA ACCOUNT	153,609.92
99-104203	CORE INVESTMENT ACCOUNT	4,436,803.35
99-105200	CBOC (WATER SEWER)	776,341.02
		<hr/>
	TOTAL COMBINED CASH	19,162,481.16
99-100001	CASH ALLOCATED TO OTHER FUNDS	( 19,162,481.16)
		<hr/>
	TOTAL UNALLOCATED CASH	<u>.00</u>

CASH ALLOCATION RECONCILIATION

10	ALLOCATION TO GENERAL FUND	2,603,761.05
21	ALLOCATION TO STREET FUND	904,198.95
31	ALLOCATION TO CAPITAL IMPROVEMENT FUND	8,352,223.66
32	ALLOCATION TO STREET CAPITAL IMPROVEMENT FND	2,884,870.39
52	ALLOCATION TO WATER SEWER FUND	4,417,427.11
		<hr/>
	TOTAL ALLOCATIONS TO OTHER FUNDS	19,162,481.16
	ALLOCATION FROM COMBINED CASH FUND - 99-100001	( 19,162,481.16)
		<hr/>
	ZERO PROOF IF ALLOCATIONS BALANCE	<u>.00</u>

TOWN OF ELIZABETH  
BALANCE SHEET  
DECEMBER 31, 2022

GENERAL FUND

ASSETS

10-100001	CASH IN COMBINED CASH FUND	2,603,761.05	
10-101000	PETTY CASH	200.00	
10-101100	PETTY CASH- POLICE DEPT	100.00	
10-102200	CONSERVATION TRUST FUND	114,430.28	
10-110000	PROPERTY TAXES RECEIVABLE	9,230.42	
10-115000	ACCOUNTS RECEIVABLE	335,938.33	
		<hr/>	
	TOTAL ASSETS		<u><u>3,063,660.08</u></u>

LIABILITIES AND EQUITY

TOWN OF ELIZABETH  
BALANCE SHEET  
DECEMBER 31, 2022

GENERAL FUND

LIABILITIES

10-201000	ACCRUED SALARIES PAYABLE		33,090.75
10-202000	ACCOUNTS PAYABLE		63,437.30
10-202200	RESTITUTION PAYABLE--MUNI. CT.		2,295.19
10-202201	COURT BONDS POSTED		590.00
10-202202	OJW/WARRANT FEE DUE TO DMV		103.98
10-202203	PERFORMANCE BONDS PAYABLE		65,714.39
10-202300	AP TO ELBERT CO.--BLGUTX SHARE		45,742.76
10-217100	FPPA CONTRIBUTIONS PAYABLE		5,595.37
10-217200	SOC SEC TAXES PAYABLE		5,147.47
10-217201	MEDICARE TAXES PAYABLE		1,896.44
10-217300	FED'L WITHHOLDING TAXES PAYABL		6,466.09
10-217400	STATE WITHHOLDING TAXES PAYABL		6,617.00
10-217500	HEALTH INSURANCE PAYABLE		975.65
10-217501	PRETAX SUPPLEMENTAL INSURANCE		42.19
10-217502	AFTER TAX SUPPLEMENTAL INS		154.93
10-217600	UNEMPLOYMENT INSURANCE PAYABLE		875.11
10-217601	HEALTH SAVINGS PAYABLE		120.00
10-217603	WORKERS' COMP. INS. PAYABLE		21,292.49
10-217700	GARNISHMENT PAYABLE		348.99
10-219000	457 CONTRIBUTIONS PAYABLE		2,141.57
10-222001	DEFERRED REVENUE - ARPA		303,828.76
10-250022	LENNAR	(	17,145.46)
10-250038	COUNTRYSIDE VILLAGE	(	117.88)
10-250039	SCARLETT CREEK SUBDIVISION		80.04
10-250041	MAIN STREET STATION		259.21
10-250042	ELIZABETH WEST ZONING	(	18,487.75)
10-250048	DAIRY QUEEN SITE PLAN		161.00
10-250051	HENDERSON REPLAT		461.05
10-250052	ABRAHAM REZONE		513.23
10-250054	ZIGGI'S COFFEE		3,183.20
10-250055	CLEARY BUILDING	(	2,750.23)
10-250056	MCDONALDS IGA		3,404.00
10-250057	ANNA'S CAR WASH IGA		654.00
10-250059	H1 ENTERPRISES		1,758.50
10-250060	PINE RIDGE CROSSING (NEW)	(	17,646.46)
10-250061	LENNAR AT LEGACY VILLAGE	(	12,531.38)
10-250062	ELIZABETH STREET PLAZA	(	5,287.88)
10-250063	WALNUT GROVE		180.87
10-250064	MBP ENTERPRISES INC.	(	62.00)
	TOTAL LIABILITIES		503,102.49
	<u>FUND EQUITY</u>		
10-280000	FUND BALANCE		2,156,822.36
	UNAPPROPRIATED FUND BALANCE:		
	REVENUE OVER EXPENDITURES - YTD		403,735.23
	BALANCE - CURRENT DATE		403,735.23
	TOTAL FUND EQUITY		2,560,557.59

TOWN OF ELIZABETH  
BALANCE SHEET  
DECEMBER 31, 2022

GENERAL FUND

TOTAL LIABILITIES AND EQUITY

3,063,660.08

TOWN OF ELIZABETH  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAX</u>					
10-31-1000	CURRENT PROPERTY TAXES	.00	714,473.30	710,786.00	( 3,687.30) 100.5
10-31-2000	SPECIFIC OWNERSHIP TAX	9,230.42	113,795.19	105,000.00	( 8,795.19) 108.4
10-31-3100	1% NON-TABOR SALES TAX	96,429.07	1,047,668.85	893,750.00	( 153,918.85) 117.2
	<b>TOTAL TAX</b>	<b>105,659.49</b>	<b>1,875,937.34</b>	<b>1,709,536.00</b>	<b>( 166,401.34) 109.7</b>
<u>LICENSES &amp; PERMITS</u>					
10-32-1000	FRANCHISE TAX	.00	81,262.77	75,000.00	( 6,262.77) 108.4
10-32-2000	BUILDING PERMIT	53,837.80	153,722.66	150,000.00	( 3,722.66) 102.5
10-32-3000	OTHER LICENSES, FEES AND CHG	2,988.51	29,920.74	30,000.00	79.26 99.7
	<b>TOTAL LICENSES &amp; PERMITS</b>	<b>56,826.31</b>	<b>264,906.17</b>	<b>255,000.00</b>	<b>( 9,906.17) 103.9</b>
<u>INTERGOVERNMENTAL</u>					
10-33-2000	CIGARETTE TAX	503.21	5,482.36	5,500.00	17.64 99.7
10-33-3000	CONSERVATION TRUST FUND	2,942.80	11,011.86	8,500.00	( 2,511.86) 129.6
	<b>TOTAL INTERGOVERNMENTAL</b>	<b>3,446.01</b>	<b>16,494.22</b>	<b>14,000.00</b>	<b>( 2,494.22) 117.8</b>
<u>SOURCE 34</u>					
10-34-1000	GRANTS	.00	6,269.96	226,807.00	220,537.04 2.8
	<b>TOTAL SOURCE 34</b>	<b>.00</b>	<b>6,269.96</b>	<b>226,807.00</b>	<b>220,537.04 2.8</b>
<u>EARMARKED FUNDS / MISCELLANEOU</u>					
10-36-1000	INTEREST	9,695.68	47,881.04	2,500.00	( 45,381.04) 1915.2
10-36-3100	FINES AND FOREFEITURES	6,871.70	117,555.45	70,000.00	( 47,555.45) 167.9
10-36-4000	PUBLIC IMPROVEMENT FEE	74,408.33	744,144.06	665,000.00	( 79,144.06) 111.9
10-36-7000	POLICE REVENUE	5.00	22,245.22	35,000.00	12,754.78 63.6
10-36-9000	OTHER REVENUE	.00	89,410.54	.00	( 89,410.54) .0
	<b>TOTAL EARMARKED FUNDS / MISCELLANEOU</b>	<b>90,980.71</b>	<b>1,021,236.31</b>	<b>772,500.00</b>	<b>( 248,736.31) 132.2</b>
<u>OTHER FUNDS</u>					
10-39-7000	TRANSFER FROM WATER FUND	14,583.33	174,999.96	175,000.00	.04 100.0
10-39-7003	TRANSFER FROM CAP IMP FUND	4,583.33	54,999.96	55,000.00	.04 100.0
10-39-7004	TRANSFER FROM STREET CAP FUND	4,166.67	50,000.04	50,000.00	( .04) 100.0
	<b>TOTAL OTHER FUNDS</b>	<b>23,333.33</b>	<b>279,999.96</b>	<b>280,000.00</b>	<b>.04 100.0</b>

TOWN OF ELIZABETH  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
TOTAL FUND REVENUE	280,245.85	3,464,843.96	3,257,843.00	( 207,000.96)	106.4

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TOWN CLERK</u>					
10-41-1100 SALARIES & WAGES	24,771.02	170,936.21	171,150.00	213.79	99.9
10-41-1150 TOWN CLERK SALARY	12,190.18	91,162.42	87,675.00	( 3,487.42)	104.0
10-41-1300 OVERTIME	542.18	563.95	.00	( 563.95)	.0
10-41-1400 WORKERS' COMPENSATION	42.49	292.20	260.00	( 32.20)	112.4
10-41-1500 HEALTH INSURANCE	5,786.29	58,455.68	54,000.00	( 4,455.68)	108.3
10-41-1550 RETIREMENT	1,299.04	8,450.15	7,765.00	( 685.15)	108.8
10-41-1600 FICA	2,817.34	7,757.21	19,800.00	12,042.79	39.2
10-41-1700 COLO UNEMPLOYMENT	75.00	518.01	1,035.00	516.99	50.1
10-41-1800 TUITION REIMBURSEMENT	.00	2,880.00	5,000.00	2,120.00	57.6
10-41-1825 MEMBERSHIPS - EMPLOYEE	200.00	1,377.08	1,500.00	122.92	91.8
10-41-1850 TRAINING, TRAVEL AND LODGING	( 25.68)	7,541.05	13,000.00	5,458.95	58.0
10-41-1900 ALLOWANCES	175.00	2,018.75	2,700.00	681.25	74.8
10-41-2500 AUDIT	.00	26,306.97	28,500.00	2,193.03	92.3
10-41-3000 COMMUNITY ENGAGEMENT	.00	2,129.28	2,400.00	270.72	88.7
10-41-3200 CONTRACTED SERVICES	50.00	1,617.50	4,500.00	2,882.50	35.9
10-41-3320 CONTRIBUTIONS AND SPONSORSHIPS	1,715.76	2,999.99	3,000.00	.01	100.0
10-41-3350 COUNTY TREASURER & OTHER FEES	.00	14,125.19	17,500.00	3,374.81	80.7
10-41-3400 LEGAL PUBLICATIONS	100.24	5,825.15	10,000.00	4,174.85	58.3
10-41-3450 ELECTIONS	50.00	75.00	15,000.00	14,925.00	.5
10-41-4000 BLDG MAINT AND REPAIRS	9,371.77	24,762.16	20,000.00	( 4,762.16)	123.8
10-41-4400 EQUIPMENT AND MAINT	1,035.48	9,918.97	12,000.00	2,081.03	82.7
10-41-4500 FURNITURE	1,925.12	4,222.30	5,000.00	777.70	84.5
10-41-4600 OFFICE SUPPLIES	3,214.02	12,585.63	13,000.00	414.37	96.8
10-41-4700 POSTAGE	475.00	7,919.86	12,000.00	4,080.14	66.0
10-41-4800 TELEPHONE AND INTERNET	1,284.26	12,948.04	12,600.00	( 348.04)	102.8
10-41-4900 UTILITIES	1,271.26	7,088.13	5,600.00	( 1,488.13)	126.6
10-41-5100 HUMAN RESOURCES - CONTRACTED	.00	.00	10,000.00	10,000.00	.0
10-41-5250 IT - CONTRACTED	1,852.38	25,839.21	30,000.00	4,160.79	86.1
10-41-5300 IT - HARDWARE	.00	11,268.40	15,000.00	3,731.60	75.1
10-41-5325 IT - SOFTWARE PURCHASES	276.00	875.88	5,000.00	4,124.12	17.5
10-41-5350 IT - SOFTWARE CONTRACTS	2,020.00	38,411.52	42,000.00	3,588.48	91.5
10-41-5400 INSURANCE	24,180.68	108,753.92	99,000.00	( 9,753.92)	109.9
10-41-5500 LEGAL - CONTRACTED	10,940.00	46,084.69	55,660.00	9,575.31	82.8
10-41-5600 MEMBERSHIPS - TOWN	318.85	10,358.86	11,500.00	1,141.14	90.1
10-41-5700 PUBLIC RELATIONS	671.16	2,469.56	2,500.00	30.44	98.8
10-41-5800 TOWN HALL EVENTS	5,180.57	5,719.91	7,500.00	1,780.09	76.3
10-41-9000 OTHER	515.32	11,563.04	10,000.00	( 1,563.04)	115.6
<b>TOTAL TOWN CLERK</b>	<b>114,320.73</b>	<b>745,821.87</b>	<b>813,145.00</b>	<b>67,323.13</b>	<b>91.7</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>JUDICIAL</u>					
10-42-1200 SALARIES & WAGES- MUNI JUDGE	1,438.53	13,665.96	10,000.00	( 3,665.96)	136.7
10-42-1400 STATE COMP	28.05	266.55	240.00	( 26.55)	111.1
10-42-1600 FICA	110.05	1,045.40	810.00	( 235.40)	129.1
10-42-1700 COLO UNEMPLOYMENT	2.88	27.36	36.00	8.64	76.0
10-42-1850 TRAINING, TRAVEL AND LODGING	923.30	2,289.04	2,300.00	10.96	99.5
10-42-3200 COURT PROSECUTOR - CONTRACTED	2,355.00	12,990.00	6,500.00	( 6,490.00)	199.9
10-42-9000 OTHER	( 45.00)	2,453.04	750.00	( 1,703.04)	327.1
<b>TOTAL JUDICIAL</b>	<b>4,812.81</b>	<b>32,737.35</b>	<b>20,636.00</b>	<b>( 12,101.35)</b>	<b>158.6</b>
<u>LEGISLATURE</u>					
10-43-1100 BOT - SALARIES & WAGES	2,250.00	13,650.00	14,400.00	750.00	94.8
10-43-1200 PC - COMPENSATION	400.00	2,250.00	3,000.00	750.00	75.0
10-43-1400 BOT - WORKERS' COMPENSATION	1.41	8.49	11.00	2.51	77.2
10-43-1600 BOT - FICA	202.81	1,216.89	1,400.00	183.11	86.9
10-43-1700 BOT - COLO UNEMPLOYMENT	5.30	31.80	60.00	28.20	53.0
10-43-1850 BOT - TRAIN, TRVL, LODG	256.00	5,088.00	8,000.00	2,912.00	63.6
10-43-3700 PC - TRAIN, TRVL, LODG	.00	190.72	4,000.00	3,809.28	4.8
10-43-4400 BOT - EQUIPMENT	.00	889.98	2,500.00	1,610.02	35.6
10-43-5000 BOT - MEALS	572.55	1,510.97	1,500.00	( 10.97)	100.7
10-43-6000 PC - MEALS	56.43	56.43	.00	( 56.43)	.0
10-43-9000 BOT- OTHER	.00	74.00	500.00	426.00	14.8
<b>TOTAL LEGISLATURE</b>	<b>3,744.50</b>	<b>24,967.28</b>	<b>35,371.00</b>	<b>10,403.72</b>	<b>70.6</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>POLICE</u>					
10-46-1100 SALARIES & WAGES	100,379.73	723,658.03	767,000.00	43,341.97	94.4
10-46-1240 CONTRACTED OVERTIME	.00	3,300.00	5,000.00	1,700.00	66.0
10-46-1300 OVERTIME	2,189.77	11,917.84	12,000.00	82.16	99.3
10-46-1400 WORKERS' COMPENSATION	2,424.03	18,934.81	23,000.00	4,065.19	82.3
10-46-1500 HEALTH INSURANCE	13,797.68	167,740.74	195,000.00	27,259.26	86.0
10-46-1550 RETIREMENT	817.81	8,642.97	10,800.00	2,157.03	80.0
10-46-1600 FICA	2,230.29	15,745.23	11,122.00	( 4,623.23)	141.6
10-46-1605 FPPA	7,982.53	73,162.34	69,030.00	( 4,132.34)	106.0
10-46-1700 COLO UNEMPLOYMENT	172.62	1,301.13	3,068.00	1,766.87	42.4
10-46-1800 TUTION REIMB	680.64	680.64	5,250.00	4,569.36	13.0
10-46-1825 MEMBERSHIPS - EMPLOYEE	20.00	1,137.12	1,500.00	362.88	75.8
10-46-1850 TRAINING, TRAVEL AND LODGING	28.70	9,160.17	15,000.00	5,839.83	61.1
10-46-1900 ALLOWANCES	612.50	6,630.36	7,800.00	1,169.64	85.0
10-46-3000 COMMUNITY OUTREACH	.00	935.36	3,000.00	2,064.64	31.2
10-46-3200 CONTRACTED SERVICES	4,900.48	90,740.76	70,000.00	( 20,740.76)	129.6
10-46-3600 MOBILE DATA LAPTOPS	826.06	4,210.62	4,500.00	289.38	93.6
10-46-3650 WEAPONS - NON-LETHAL	11.36	1,419.39	6,000.00	4,580.61	23.7
10-46-4000 BLDG MAINT & REPAIRS	315.12	8,649.81	21,000.00	12,350.19	41.2
10-46-4300 DRUG, SCREEN, PSY & POLY TEST	.00	1,186.35	4,000.00	2,813.65	29.7
10-46-4400 EQUIPMENT AND MAINTENANCE	1,321.90	13,649.62	12,000.00	( 1,649.62)	113.8
10-46-4500 FURNITURE	1,986.16	3,487.81	2,500.00	( 987.81)	139.5
10-46-4650 OFFICE SUPPLILES	2,037.67	10,834.72	12,000.00	1,165.28	90.3
10-46-4700 POSTAGE	25.42	399.11	1,000.00	600.89	39.9
10-46-4800 TELEPHONE & INTERNET	1,095.49	13,255.43	16,000.00	2,744.57	82.9
10-46-4900 UTILITIES	866.13	5,307.81	7,000.00	1,692.19	75.8
10-46-6400 TRAINING AND AMMUNITION	.00	2,243.87	3,000.00	756.13	74.8
10-46-6600 UNIFORMS	3,207.80	13,721.27	15,000.00	1,278.73	91.5
10-46-8000 VEHICLES AND LEASES	.00	115,441.68	100,000.00	( 15,441.68)	115.4
10-46-8050 VEHICLE MAINT & REPAIRS	3,249.16	10,324.72	25,000.00	14,675.28	41.3
10-46-8075 FUEL	2,955.83	22,102.55	20,000.00	( 2,102.55)	110.5
10-46-9000 OTHER	3,262.26	11,961.14	6,000.00	( 5,961.14)	199.4
<b>TOTAL POLICE</b>	<b>157,397.14</b>	<b>1,371,883.40</b>	<b>1,453,570.00</b>	<b>81,686.60</b>	<b>94.4</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>PUBLIC WORKS/PARKS/BUILDINGS</u>					
10-49-1100 SALARIES & WAGES	5,825.26	42,245.46	39,500.00	( 2,745.46)	107.0
10-49-1300 OVERTIME	299.42	2,236.87	3,000.00	763.13	74.6
10-49-1400 WORKERS' COMPENSATION	257.25	2,032.59	1,900.00	( 132.59)	107.0
10-49-1500 HEALTH INSURANCE	897.04	11,514.57	7,800.00	( 3,714.57)	147.6
10-49-1550 RETIREMENT	113.86	963.02	1,185.00	221.98	81.3
10-49-1600 FICA	456.42	3,345.99	3,022.00	( 323.99)	110.7
10-49-1700 COLO UNEMPLOYMENT	12.14	85.70	158.00	72.30	54.2
10-49-1850 TRAINING, TRAVEL AND LODGING	.00	.00	150.00	150.00	.0
10-49-1900 ALLOWANCES	52.50	601.35	487.00	( 114.35)	123.5
10-49-4000 BLDG MAINT & REPAIRS	205.72	3,174.41	20,000.00	16,825.59	15.9
10-49-4800 TELEPHONE AND CELLPHONES	447.09	3,135.56	3,800.00	664.44	82.5
10-49-4900 UTILITIES	885.78	6,958.53	5,000.00	( 1,958.53)	139.2
10-49-6100 PARKS MAINTENANCE	12,748.08	42,406.99	100,000.00	57,593.01	42.4
10-49-6300 PARTS AND REPAIRS	.00	110.09	9,500.00	9,389.91	1.2
10-49-6500 TREE CITY USA	.00	.00	2,000.00	2,000.00	.0
10-49-9000 OTHER	( 27.00)	986.87	5,000.00	4,013.13	19.7
<b>TOTAL PUBLIC WORKS/PARKS/BUILDINGS</b>	<b>22,173.56</b>	<b>119,798.00</b>	<b>202,502.00</b>	<b>82,704.00</b>	<b>59.2</b>
<u>TWN ADMINSTR</u>					
10-52-1100 SALARIES & WAGES	19,007.96	152,207.60	150,000.00	( 2,207.60)	101.5
10-52-1400 WORKERS' COMPENSATION	21.61	169.37	150.00	( 19.37)	112.9
10-52-1550 RETIREMENT	.00	.00	4,500.00	4,500.00	.0
10-52-1600 FICA	1,095.93	11,358.34	11,475.00	116.66	99.0
10-52-1700 COLO UNEMPLOYMENT	38.02	280.60	600.00	319.40	46.8
10-52-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	500.00	500.00	.0
10-52-1850 TRAINING, TRAVEL AND LODGING	190.00	1,445.80	7,000.00	5,554.20	20.7
10-52-1900 ALLOWANCES	100.00	1,757.97	900.00	( 857.97)	195.3
<b>TOTAL TWN ADMINSTR</b>	<b>20,453.52</b>	<b>167,219.68</b>	<b>175,125.00</b>	<b>7,905.32</b>	<b>95.5</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>COMM DEV</u>					
10-53-1100 SALARIES & WAGES- COMM DEV	17,245.76	180,905.82	225,000.00	44,094.18	80.4
10-53-1300 OVERTIME COMMUNITY DEVELOPMENT	.00	112.13	.00	( 112.13)	.0
10-53-1400 WORKERS' COMPENSATION	19.44	197.89	225.00	27.11	88.0
10-53-1500 HEALTH INSURANCE	3,085.74	33,550.44	34,000.00	449.56	98.7
10-53-1550 RETIREMENT	517.38	5,118.53	6,750.00	1,631.47	75.8
10-53-1600 FICA	1,280.02	13,695.92	17,100.00	3,404.08	80.1
10-53-1700 COLO UNEMPLOYMENT	34.50	349.69	900.00	550.31	38.9
10-53-1825 MEMBERSHIPS - EMPLOYEE	.00	608.00	1,200.00	592.00	50.7
10-53-1850 TRAINING, TRAVEL AND LODGING	636.81	2,646.23	7,000.00	4,353.77	37.8
10-53-1900 ALLOWANCES	.00	637.50	3,600.00	2,962.50	17.7
10-53-2500 COMMUNITY EVENTS	3,507.97	41,609.26	45,000.00	3,390.74	92.5
10-53-3000 BUILDING PERMITS	52,371.54	117,748.09	112,500.00	( 5,248.09)	104.7
10-53-3200 CONTRACTED SERVICES	7,518.00	40,003.54	25,000.00	( 15,003.54)	160.0
10-53-3425 ELIZABETH MAIN STREET	621.05	5,491.41	33,000.00	27,508.59	16.6
10-53-3450 HISTORIC ADVISORY BOARD	647.35	8,748.84	37,000.00	28,251.16	23.7
10-53-3475 MARKETING MATERIALS & PUBL	470.00	2,720.29	5,000.00	2,279.71	54.4
10-53-3700 TRAVEL/LODGING	.00	517.54	.00	( 517.54)	.0
10-53-4000 GIS	.00	700.00	800.00	100.00	87.5
10-53-9000 OTHER	22.99	22.99	.00	( 22.99)	.0
<b>TOTAL COMM DEV</b>	<b>87,978.55</b>	<b>455,384.11</b>	<b>554,075.00</b>	<b>98,690.89</b>	<b>82.2</b>
<u>NON-DEPARTMENTAL</u>					
10-59-9933 TRANSFER TO STREET MAINTENANCE	11,941.42	143,297.04	143,297.00	( .04)	100.0
<b>TOTAL NON-DEPARTMENTAL</b>	<b>11,941.42</b>	<b>143,297.04</b>	<b>143,297.00</b>	<b>( .04)</b>	<b>100.0</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>422,822.23</b>	<b>3,061,108.73</b>	<b>3,397,721.00</b>	<b>336,612.27</b>	<b>90.1</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>( 142,576.38)</b>	<b>403,735.23</b>	<b>( 139,878.00)</b>	<b>( 543,613.23)</b>	<b>288.6</b>

TOWN OF ELIZABETH  
 BALANCE SHEET  
 DECEMBER 31, 2022

STREET FUND

ASSETS

21-100001	CASH IN COMBINED CASH FUND	904,198.95	
21-115000	ACCOUNTS RECEIVABLE	82,995.02	
	TOTAL ASSETS		987,193.97

LIABILITIES AND EQUITY

LIABILITIES

21-201000	ACCRUED SALARIES PAYABLE	5,065.29	
21-202000	ACCOUNTS PAYABLE	16,529.99	
	TOTAL LIABILITIES		21,595.28

FUND EQUITY

21-280000	FUND BALANCE	831,920.43	
	UNAPPROPRIATED FUND BALANCE: REVENUE OVER EXPENDITURES - YTD	133,678.26	
	BALANCE - CURRENT DATE	133,678.26	
	TOTAL FUND EQUITY		965,598.69
	TOTAL LIABILITIES AND EQUITY		987,193.97

TOWN OF ELIZABETH  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

STREET FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAXES</u>					
21-31-3000 GENERAL SALES TAX	14,464.36	157,150.32	134,063.00	( 23,087.32)	117.2
21-31-4000 USE TAX	6,021.87	22,910.99	21,407.00	( 1,503.99)	107.0
<b>TOTAL TAXES</b>	<b>20,486.23</b>	<b>180,061.31</b>	<b>155,470.00</b>	<b>( 24,591.31)</b>	<b>115.8</b>
<u>INTERGOVERNMENT</u>					
21-33-1000 HIGHWAY USERS TAX	6,470.75	77,000.47	100,000.00	22,999.53	77.0
21-33-1050 ROAD & BRIDGE	41,660.44	166,791.91	150,000.00	( 16,791.91)	111.2
21-33-6100 M.V. REGISTRATION (\$1.50)	366.17	4,726.88	4,300.00	( 426.88)	109.9
21-33-6200 M.V. REGISTRATION (\$2.50)	562.50	7,007.50	6,400.00	( 607.50)	109.5
<b>TOTAL INTERGOVERNMENT</b>	<b>49,059.86</b>	<b>255,526.76</b>	<b>260,700.00</b>	<b>5,173.24</b>	<b>98.0</b>
<u>OTHER SOURCES OF REVENUE</u>					
21-36-1000 INVESTMENT INCOME	3,147.96	14,427.75	400.00	( 14,027.75)	3606.9
21-36-4000 PUBLIC IMPROVEMENT FEE	2,222.29	22,224.70	20,000.00	( 2,224.70)	111.1
21-36-9000 OTHER REVENUE	.00	10,000.00	.00	( 10,000.00)	.0
<b>TOTAL OTHER SOURCES OF REVENUE</b>	<b>5,370.25</b>	<b>46,652.45</b>	<b>20,400.00</b>	<b>( 26,252.45)</b>	<b>228.7</b>
<u>SOURCE 39</u>					
21-39-7000 TRANSFER FROM GENERAL FUND	11,941.42	143,297.04	143,297.00	( .04)	100.0
<b>TOTAL SOURCE 39</b>	<b>11,941.42</b>	<b>143,297.04</b>	<b>143,297.00</b>	<b>( .04)</b>	<b>100.0</b>
<b>TOTAL FUND REVENUE</b>	<b>86,857.76</b>	<b>625,537.56</b>	<b>579,867.00</b>	<b>( 45,670.56)</b>	<b>107.9</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

STREET FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>STREETS</u>					
21-49-1100 SALARIES & WAGES- PUB WORKS	17,475.57	126,736.35	118,500.00	( 8,236.35)	107.0
21-49-1300 OVERTIME	898.27	6,185.94	9,000.00	2,814.06	68.7
21-49-1400 WORKERS' COMPENSATION	611.37	4,216.46	5,700.00	1,483.54	74.0
21-49-1500 HEALTH INSURANCE	2,691.07	34,542.78	23,400.00	( 11,142.78)	147.6
21-49-1550 RETIREMENT	341.55	2,883.47	3,555.00	671.53	81.1
21-49-1600 FICA	1,369.45	10,003.09	9,065.00	( 938.09)	110.4
21-49-1700 COLO UNEMPLOYMENT	36.46	255.81	474.00	218.19	54.0
21-49-1850 TRAINING, TRAVEL AND LODGING	.00	.00	500.00	500.00	.0
21-49-1900 ALLOWANCES	157.50	1,850.63	1,463.00	( 387.63)	126.5
21-49-3200 CONTRACTED SERVICES	18,745.17	69,440.25	70,000.00	559.75	99.2
21-49-3500 DE-ICING SUPPLIES	2,689.26	2,689.26	21,500.00	18,810.74	12.5
21-49-3650 LIGHTS AND SIGNALS	3,259.06	17,337.18	18,000.00	662.82	96.3
21-49-4000 MAINTENANCE AND REPAIRS	24,140.78	109,739.59	97,000.00	( 12,739.59)	113.1
21-49-5800 ROW MAINTENANCE	.00	104,006.50	105,000.00	993.50	99.1
21-49-6100 SIGNS	778.50	778.50	1,500.00	721.50	51.9
21-49-9000 OTHER	834.50	1,193.49	13,000.00	11,806.51	9.2
<b>TOTAL STREETS</b>	<b>74,028.51</b>	<b>491,859.30</b>	<b>497,657.00</b>	<b>5,797.70</b>	<b>98.8</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>74,028.51</b>	<b>491,859.30</b>	<b>497,657.00</b>	<b>5,797.70</b>	<b>98.8</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>12,829.25</b>	<b>133,678.26</b>	<b>82,210.00</b>	<b>( 51,468.26)</b>	<b>162.6</b>

TOWN OF ELIZABETH  
 BALANCE SHEET  
 DECEMBER 31, 2022

CAPITAL IMPROVEMENT FUND

<u>ASSETS</u>			
31-100001	CASH IN COMBINED CASH FUND	8,352,223.66	
31-115000	ACCOUNTS RECEIVABLE	298,849.00	
	TOTAL ASSETS		8,651,072.66
<u>LIABILITIES AND EQUITY</u>			
<u>LIABILITIES</u>			
31-202000	ACCOUNTS PAYABLE	8,936.50	
	TOTAL LIABILITIES		8,936.50
<u>FUND EQUITY</u>			
31-280000	FUND BALANCE	6,804,268.94	
	UNAPPROPRIATED FUND BALANCE: REVENUE OVER EXPENDITURES - YTD	1,837,867.22	
	BALANCE - CURRENT DATE	1,837,867.22	
	TOTAL FUND EQUITY		8,642,136.16
	TOTAL LIABILITIES AND EQUITY		8,651,072.66

TOWN OF ELIZABETH  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

CAPITAL IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAX</u>					
31-31-3000 SALES TAX	144,643.61	1,571,503.26	1,340,625.00	( 230,878.26)	117.2
31-31-4000 USE TAX	60,218.67	229,109.86	214,073.00	( 15,036.86)	107.0
<b>TOTAL TAX</b>	<b>204,862.28</b>	<b>1,800,613.12</b>	<b>1,554,698.00</b>	<b>( 245,915.12)</b>	<b>115.8</b>
<u>OTHER FINANCING SOURCES</u>					
31-36-1000 INVESTMENT INCOME	28,017.43	128,676.45	3,000.00	( 125,676.45)	4289.2
31-36-9000 OTHER REVENUE	21,114.50	60,511.00	100,000.00	39,489.00	60.5
<b>TOTAL OTHER FINANCING SOURCES</b>	<b>49,131.93</b>	<b>189,187.45</b>	<b>103,000.00</b>	<b>( 86,187.45)</b>	<b>183.7</b>
<b>TOTAL FUND REVENUE</b>	<b>253,994.21</b>	<b>1,989,800.57</b>	<b>1,657,698.00</b>	<b>( 332,102.57)</b>	<b>120.0</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

CAPITAL IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>CAPITAL IMPROVEMENT MISC</u>					
31-80-0100 LAND PURCHASE	.00	.00	250,000.00	250,000.00	.0
31-80-0600 TOWN EVENT PARK	.00	.00	125,000.00	125,000.00	.0
31-80-1100 SALARIES & WAGES	.00	.00	24,750.00	24,750.00	.0
31-80-1400 WORKER'S COMPENSATION	.00	.00	25.00	25.00	.0
31-80-1500 HEALTH INSURANCE	.00	.00	3,300.00	3,300.00	.0
31-80-1550 RETIREMENT	.00	.00	742.00	742.00	.0
31-80-1600 FICA	.00	.00	1,893.00	1,893.00	.0
31-80-1700 COLO UNEMPLOYMENT	.00	.00	99.00	99.00	.0
31-80-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	165.00	165.00	.0
31-80-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,650.00	1,650.00	.0
31-80-1900 ALLOWANCES	.00	.00	322.00	322.00	.0
31-80-3220 ASSET ASSESSMENT	.00	.00	25,000.00	25,000.00	.0
31-80-3400 FACILITIES MASTER PLAN	.00	.00	75,000.00	75,000.00	.0
31-80-3425 COMMUNITY STUDIES	5,495.00	5,495.00	50,000.00	44,505.00	11.0
31-80-3450 SENIOR CENTER	.00	.00	50,000.00	50,000.00	.0
31-80-3475 CAPITAL PLANNING	.00	.00	15,000.00	15,000.00	.0
31-80-4000 EQUIPMENT	.00	1,368.04	.00	( 1,368.04)	.0
31-80-5500 TOWN HALL BLDG IMPROVEMENTS	.00	6,169.77	100,000.00	93,830.23	6.2
31-80-5550 LIBRARY PARTNERSHIP	.00	.00	400,000.00	400,000.00	.0
31-80-6500 TRAIL SYSTEMS	.00	4,580.58	9,900.00	5,319.42	46.3
31-80-9100 TOWN HALL LANDSCAPING	.00	79,320.00	75,000.00	( 4,320.00)	105.8
31-80-9901 TRANSFER TO GENERAL FUND	4,583.33	54,999.96	55,000.00	.04	100.0
<b>TOTAL CAPITAL IMPROVEMENT MISC</b>	<b>10,078.33</b>	<b>151,933.35</b>	<b>1,262,846.00</b>	<b>1,110,912.65</b>	<b>12.0</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>10,078.33</b>	<b>151,933.35</b>	<b>1,262,846.00</b>	<b>1,110,912.65</b>	<b>12.0</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>243,915.88</b>	<b>1,837,867.22</b>	<b>394,852.00</b>	<b>( 1,443,015.22)</b>	<b>465.5</b>

TOWN OF ELIZABETH  
BALANCE SHEET  
DECEMBER 31, 2022

STREET CAPITAL IMPROVEMENT FND

ASSETS

32-100001	CASH IN COMBINED CASH FUND	2,884,870.39	
32-104400	STREET BOND RESERVE CD ACCOUNT	255,036.12	
32-115000	ACCOUNTS RECEIVABLE	268,964.09	
	TOTAL ASSETS		3,408,870.60

LIABILITIES AND EQUITY

LIABILITIES

32-202000	ACCOUNTS PAYABLE	19,288.58	
32-203000	RETAINAGE PAYABLE	150,934.90	
32-222000	DEFERRED REVENUE	11,500.00	
	TOTAL LIABILITIES		181,723.48

FUND EQUITY

32-280000	FUND BALANCE	3,336,127.41	
	UNAPPROPRIATED FUND BALANCE:		
	REVENUE OVER EXPENDITURES - YTD	( 108,980.29)	
	BALANCE - CURRENT DATE	( 108,980.29)	
	TOTAL FUND EQUITY		3,227,147.12
	TOTAL LIABILITIES AND EQUITY		3,408,870.60

TOWN OF ELIZABETH  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

STREET CAPITAL IMPROVEMENT FND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAX</u>					
32-31-3000 GENERAL SALES TAX	130,179.25	1,414,352.89	1,206,563.00	( 207,789.89)	117.2
32-31-4000 USE TAX	54,196.81	206,198.87	192,665.00	( 13,533.87)	107.0
<b>TOTAL TAX</b>	<b>184,376.06</b>	<b>1,620,551.76</b>	<b>1,399,228.00</b>	<b>( 221,323.76)</b>	<b>115.8</b>
<u>OTHER FINANCING SOURCES</u>					
32-36-1000 INVESTMENT INCOME	11,883.71	55,617.12	3,000.00	( 52,617.12)	1853.9
32-36-3000 MISC REVENUE	.00	.00	25,000.00	25,000.00	.0
<b>TOTAL OTHER FINANCING SOURCES</b>	<b>11,883.71</b>	<b>55,617.12</b>	<b>28,000.00</b>	<b>( 27,617.12)</b>	<b>198.6</b>
<b>TOTAL FUND REVENUE</b>	<b>196,259.77</b>	<b>1,676,168.88</b>	<b>1,427,228.00</b>	<b>( 248,940.88)</b>	<b>117.4</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

STREET CAPITAL IMPROVEMENT FND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>CAPITAL OUTLAY</u>					
32-49-1100 SALARIES & WAGES	.00	.00	24,750.00	24,750.00	.0
32-49-1400 WORKER'S COMPENSATION	.00	.00	25.00	25.00	.0
32-49-1500 HEALTH INSURANCE	.00	.00	3,300.00	3,300.00	.0
32-49-1550 RETIREMENT	.00	.00	742.00	742.00	.0
32-49-1600 FICA	.00	.00	1,893.00	1,893.00	.0
32-49-1700 COLO UNEMPLOYMENT	.00	.00	99.00	99.00	.0
32-49-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	165.00	165.00	.0
32-49-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,650.00	1,650.00	.0
32-49-1900 ALLOWANCES	.00	.00	322.00	322.00	.0
32-49-3000 PAVING PROJECTS - CR13 SOUTH	.00	745,738.31	750,000.00	4,261.69	99.4
32-49-4000 ROAD BASE	.00	633.73	15,000.00	14,366.27	4.2
32-49-6600 RIGHT OF WAY EASEMENTS	.00	32,588.31	50,000.00	17,411.69	65.2
32-49-8000 STREET PAVING	.00	174,286.75	1,000,000.00	825,713.25	17.4
32-49-9000 CONCRETE STREET REPAIRS	.00	42,650.00	250,000.00	207,350.00	17.1
32-49-9100 EQUIPMENT	.00	109,092.00	287,500.00	178,408.00	38.0
32-49-9101 ROTOMILL	.00	.00	1,200,000.00	1,200,000.00	.0
32-49-9200 CURB & GUTTER WORK	.00	.00	5,000.00	5,000.00	.0
32-49-9300 SIDEWALK REPLACEMENT PROGRAM	.00	12,585.00	250,000.00	237,415.00	5.0
32-49-9305 MAIN ST STREETSCAPE DESIGN	35,962.77	129,909.53	269,000.00	139,090.47	48.3
32-49-9310 TRANSFER TO GENERAL FUND	4,166.67	50,000.04	50,000.00	( .04)	100.0
<b>TOTAL CAPITAL OUTLAY</b>	<b>40,129.44</b>	<b>1,297,483.67</b>	<b>4,159,446.00</b>	<b>2,861,962.33</b>	<b>31.2</b>
<u>DEBT SVC</u>					
32-59-4000 PAYING AGENCY FEE	.00	600.00	600.00	.00	100.0
32-59-9700 2014 REFUNDING BOND PRINCIPAL	245,000.00	245,000.00	245,000.00	.00	100.0
32-59-9750 2014 REFUNDING BOND INTEREST	3,050.25	6,100.50	6,101.00	.50	100.0
32-59-9800 2015 REFUNDING BOND PRINCIPAL	165,000.00	165,000.00	165,000.00	.00	100.0
32-59-9850 2015 REFUNDING BOND INTEREST	35,482.50	70,965.00	70,965.00	.00	100.0
<b>TOTAL DEBT SVC</b>	<b>448,532.75</b>	<b>487,665.50</b>	<b>487,666.00</b>	<b>.50</b>	<b>100.0</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>488,662.19</b>	<b>1,785,149.17</b>	<b>4,647,112.00</b>	<b>2,861,962.83</b>	<b>38.4</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>( 292,402.42)</b>	<b>( 108,980.29)</b>	<b>( 3,219,884.00)</b>	<b>( 3,110,903.71)</b>	<b>( 3.4)</b>

TOWN OF ELIZABETH  
BALANCE SHEET  
DECEMBER 31, 2022

WATER SEWER FUND

ASSETS

52-100001	CASH IN COMBINED CASH FUND	4,417,427.11	
52-101000	PETTY CASH	100.00	
52-110000	ACCOUNTS RECEIVABLE: UB	138,748.31	
52-115000	ACCOUNTS RECEIVABLE:OTHER	2,779.20	
52-160100	LAND: WATER	171,737.60	
52-160200	LAND: SEWER	143,729.50	
52-161100	EASEMENTS: WATER	10,890.77	
52-161200	EASEMENTS: SEWER	32,271.26	
52-162100	PLANT & EQUIPMENT: WATER	2,271,315.79	
52-162200	PLANT & EQUIPMENT: SEWER	6,013,924.47	
52-163100	WATER IMPROVEMENTS	2,288,597.77	
52-163200	SEWER IMPROVEMENTS	2,727,573.38	
52-165100	CONSTRUCTION IN PROGRESS: WTR	1,303,568.39	
52-165200	CONSTRUCTION IN PROGRESS: SWR	49,500.00	
52-169100	ACCUMULATED DEP: WATER	( 2,727,106.48)	
52-169200	ACCUMULATED DEP: SEWER	( 3,822,205.34)	
	TOTAL ASSETS		13,022,851.73

LIABILITIES AND EQUITY

LIABILITIES

52-201000	ACCRUED SALARIES PAYABLE	10,130.20	
52-202000	ACCOUNTS PAYABLE	99,961.27	
52-203000	RETAINAGE PAYABLE	24,515.00	
52-215200	ACCRUED INT PAY: SEWER	2,479.00	
52-218000	COMPENSATED ABSENCES PAYABLE	13,777.88	
52-218100	COMP ABSENCES- CURRENT PAYABLE	1,377.79	
52-220000	CUSTOMER METER DEPOSITS	45,912.52	
52-231200	2007 CWRPDA CUR NOTES PAYABLE	60,120.00	
52-239402	2007 CWRPDA NOTE PAYABLE	337,558.35	
	TOTAL LIABILITIES		595,832.01

FUND EQUITY

52-280000	RETAINED EARNINGS	12,508,662.70	
	UNAPPROPRIATED FUND BALANCE: REVENUE OVER EXPENDITURES - YTD	( 81,642.98)	
	BALANCE - CURRENT DATE	( 81,642.98)	
	TOTAL FUND EQUITY		12,427,019.72
	TOTAL LIABILITIES AND EQUITY		13,022,851.73

TOWN OF ELIZABETH  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

WATER SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>CHARGE FOR SERVICES / TAP FEES</u>					
52-34-4100 WATER SALES	50,729.28	791,691.02	650,000.00	( 141,691.02)	121.8
52-34-4200 SEWER SALES	60,894.35	750,262.98	675,000.00	( 75,262.98)	111.2
52-34-8100 WATER TAP FEES	230,000.00	479,075.00	520,000.00	40,925.00	92.1
52-34-8200 SEWER TAP FEES	230,600.00	685,172.00	592,000.00	( 93,172.00)	115.7
<b>TOTAL CHARGE FOR SERVICES / TAP FEES</b>	<b>572,223.63</b>	<b>2,706,201.00</b>	<b>2,437,000.00</b>	<b>( 269,201.00)</b>	<b>111.1</b>
<u>MISCELLANEOUS</u>					
52-36-1000 INVESTMENT INCOME	15,192.67	73,229.34	2,700.00	( 70,529.34)	2712.2
52-36-9000 OTHER REVENUE	33,985.54	113,728.97	91,000.00	( 22,728.97)	125.0
<b>TOTAL MISCELLANEOUS</b>	<b>49,178.21</b>	<b>186,958.31</b>	<b>93,700.00</b>	<b>( 93,258.31)</b>	<b>199.5</b>
<b>TOTAL FUND REVENUE</b>	<b>621,401.84</b>	<b>2,893,159.31</b>	<b>2,530,700.00</b>	<b>( 362,459.31)</b>	<b>114.3</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

WATER SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>WATER</u>					
52-57-1100 SALARIES & WAGES- WATER	17,475.57	126,736.35	130,875.00	4,138.65	96.8
52-57-1300 OVERTIME	898.27	6,185.94	9,000.00	2,814.06	68.7
52-57-1400 WORKERS' COMPENSATION	611.37	3,950.47	6,295.00	2,344.53	62.8
52-57-1500 HEALTH INSURANCE	2,691.07	34,542.78	25,050.00	( 9,492.78)	137.9
52-57-1550 RETIREMENT	341.55	2,883.47	3,925.00	1,041.53	73.5
52-57-1600 FICA	1,369.45	10,003.67	10,012.00	8.33	99.9
52-57-1700 COLO UNEMPLOYMENT	36.46	255.81	524.00	268.19	48.8
52-57-1825 MEMBERSHIPS - EMPLOYEE	233.00	760.00	900.00	140.00	84.4
52-57-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,325.00	1,325.00	.0
52-57-1900 ALLOWANCES	157.50	1,858.39	1,625.00	( 233.39)	114.4
52-57-3200 CONTRACTED SERVICES	12,756.70	90,508.33	140,000.00	49,491.67	64.7
52-57-4800 TELEPHONE AND CELLPHONES	.00	.00	1,800.00	1,800.00	.0
52-57-4900 UTILITIES	15,606.96	89,701.55	90,000.00	298.45	99.7
52-57-5400 INSURANCE	2,709.92	12,272.86	10,000.00	( 2,272.86)	122.7
52-57-5500 LEGAL - CONTRACTED	.00	.00	8,000.00	8,000.00	.0
52-57-6000 MAINTENANCE AND REPAIRS	27,354.08	103,819.61	150,000.00	46,180.39	69.2
52-57-7500 CHEMICAL SUPPLIES	.00	5,011.21	9,000.00	3,988.79	55.7
52-57-7550 WATER SUPPLIES	.00	13,711.43	14,000.00	288.57	97.9
52-57-9000 OTHER	( 52.11)	2,228.70	18,000.00	15,771.30	12.4
52-57-9100 RITORO WELLS	479,853.53	1,691,940.97	700,000.00	( 991,940.97)	241.7
52-57-9900 WATER LINE UPGRADE	.00	.00	25,000.00	25,000.00	.0
<b>TOTAL WATER</b>	<b>562,043.32</b>	<b>2,196,371.54</b>	<b>1,355,331.00</b>	<b>( 841,040.54)</b>	<b>162.1</b>
<u>SEWER</u>					
52-58-1100 -SALARIES & WAGES- SEWER	17,475.16	126,736.13	130,875.00	4,138.87	96.8
52-58-1300 OVERTIME	898.26	6,185.93	9,000.00	2,814.07	68.7
52-58-1400 WORKERS' COMPENSATION	611.35	3,950.27	6,295.00	2,344.73	62.8
52-58-1500 HEALTH INSURANCE	2,690.94	34,543.52	25,050.00	( 9,493.52)	137.9
52-58-1550 RETIREMENT	341.56	2,883.89	3,925.00	1,041.11	73.5
52-58-1600 FICA	1,369.54	10,004.17	10,012.00	7.83	99.9
52-58-1700 COLO UNEMPLOYMENT	52.14	362.52	524.00	161.48	69.2
52-58-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	900.00	900.00	.0
52-58-1850 TRAINING, TRAVEL AND LODGING	.00	9.20	1,325.00	1,315.80	.7
52-58-1900 ALLOWANCES	157.50	1,858.39	1,625.00	( 233.39)	114.4
52-58-3200 CONTRACTED SERVICES	34,530.52	102,786.11	110,000.00	7,213.89	93.4
52-58-4800 TELEPHONE AND CELLPHONES	1,037.43	7,198.39	9,000.00	1,801.61	80.0
52-58-4900 UTILITIES	11,442.15	61,094.96	70,000.00	8,905.04	87.3
52-58-5400 INSURANCE	3,001.25	13,561.71	12,000.00	( 1,561.71)	113.0
52-58-6000 MAINTENANCE AND REPAIRS	60,831.22	133,794.03	130,000.00	( 3,794.03)	102.9
52-58-7500 SEWER SUPPLIES	171.66	171.66	2,500.00	2,328.34	6.9
52-58-9000 OTHER	96.87	177.87	6,000.00	5,822.13	3.0
52-58-9400 WTP UPGRADES	.00	23,675.80	968,000.00	944,324.20	2.5
<b>TOTAL SEWER</b>	<b>134,707.55</b>	<b>528,994.55</b>	<b>1,497,031.00</b>	<b>968,036.45</b>	<b>35.3</b>

TOWN OF ELIZABETH  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 12 MONTHS ENDING DECEMBER 31, 2022

WATER SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>2007 CWRPDA</u>					
52-63-6300 2007 CWRPDA PYMT- PRINCIPAL	30,339.65	60,120.91	57,928.00	( 2,192.91)	103.8
52-63-6400 2007 CWRPDA- INTEREST	6,878.47	14,315.33	16,508.00	2,192.67	86.7
TOTAL 2007 CWRPDA	37,218.12	74,436.24	74,436.00	( .24)	100.0
 <u>DEPARTMENT 65</u>					
52-65-9900 TRANSFER TO GENERAL FUND	14,583.33	174,999.96	175,000.00	.04	100.0
TOTAL DEPARTMENT 65	14,583.33	174,999.96	175,000.00	.04	100.0
 TOTAL FUND EXPENDITURES	 748,552.32	 2,974,802.29	 3,101,798.00	 126,995.71	 95.9
 NET REVENUE OVER EXPENDITURES	 ( 127,150.48)	 ( 81,642.98)	 ( 571,098.00)	 ( 489,455.02)	 ( 14.3)



## TOWN OF ELIZABETH

MICHAEL DEVOL, PUBLIC WORKS DIRECTOR

**TO:** Honorable Mayor and Town Board of Trustees  
**FROM:** Mike DeVol, Public Works Director  
**DATE:** February 28, 2022  
**SUBJECT:** Public Works Monitoring Report

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\*Town Street Paving Improvements Project:

1. PW will be completing a first year inspection(2 year warranty) of the paved streets to have any repairs Completed as needed during the upcoming spring.

\*Town Main St. Decorations:

1. PW has removed decorations from Christmas and added the appropriate Main St. Banners.

\*Town Wells, Tanks and Effluent:

1. Report update for 2023 during the March 14, 2023 BOT Packet.

\* Town Water Line Emergency Repair:

1. PW has assisted two home owners with frozen water service lines within their private property while repairs were completed by the property owners.

\*Town Hall Landscaping Plan:

1. The landscaping is complete. PW is working toward New Handrail material and installation across old Bridge walkway.

\*Town Walkway Repairs:

1. PW is actively taking bids for sidewalk repairs and replacements and will be presented to the BOT once they are received.
2. PW has completed a walk-through of Main St. Business areas and Inspected areas of the sidewalk that Could be potential tripping hazards and assessing the best way to minimize or mitigate those areas.

\* Town Snow Plowing and Street Sweeping:

1. PW is actively searching for a Newer Street Sweeper for purchase in 2023.
2. Plowing, Salt and Sand efforts continue throughout town.

\*Town New Wells at Ritoro/Gold Creek Valley:

1. New Arapahoe and Denver Wells are scheduled to be Operational in March/April 2023 time period.
2. The Building contract is currently at completion of September 26, 2022, it is likely that AD Miller will ask for a contract extension likely ending Well House completion in February/March.
3. The Back-up Generator is being shipped and will arrive on-site March 7 of 2023.



**\*Town Trail Project:**

1. Annual Walk through for Grant Compliance was successful and a full report has been filed with CDOT And PW is awaiting their approval and comments.
2. PW is actively seeking costs for Hydro-seeding of the trail areas where grasses are not doing well. This will include areas throughout parks and ROW ditches that need improvements to vegetation.
3. PW is currently working on taking bids for matching 3 rail round post fencing around the RC Park area, To include gates and public access points.

**\*Gold Creek Lift Station Improvements:**

1. Please see attached pictures to date.
2. Construction and Dewatering continues.
3. Groundwater Dewatering and Erosion Control plans are in effect.
4. Pumps, Electrical, Parts are all in possession.

\*Eligibility Surveys for Water and Wastewater Capitol projects have been completed and accepted by Colorado Department of Public Health and Environment (CDPHE). The eligibility surveys allow for the town to be in line for any funding that may be available for future projects.

**\*Gold Creek Wastewater Treatment Plant (GCWWTP)**

1. The new fine screen replacement unit is on-site and will be installed in March of 2023.

**\*Town Clean Up Day/ Paint Round-Up/Arbor Day**

1. May 20, 2023 will be Town Clean Up Day.

Items to be accepted this year are:

Appliances, Electronics, Household debris, Paint, brush and tree branches, building materials, oils, Grease, antifreeze and scrap metals.  
NO TIRES will be accepted this year.

**\*Town Public Works Road Extension:**

1. Public Works has received numerous phone calls from town and out of town residents extending their Gratitude for the paving of County Rd 13/ Pine Ridge St to the Town's Water Tanks. PW has received Concerns of excessive speeds, vehicles passing, wildlife encounters and pedestrian safety. PW has assured them that with new signage, striping and law enforcement presence traffic will slow down and safer for pedestrians, wildlife and drivers.
2. PW will continue to mitigate line of sight by removing small trees at Gold Creek Drive looking South for Traffic safety concerns within Town Right of Way.



## TOWN OF ELIZABETH

MICHAEL DEVOL, PUBLIC WORKS DIRECTOR

**\*Town Farmers Market:**

Event Park Name is Running Creek Park (RCP).

1. N/A

**\*Town Parks and Right of Way (ROW):**

1. Tree trimming within Parks and ROW are ongoing projects.

**Upcoming Projects:**

1. PW has completed the following Annual Reportings:
2. Annual Biosolids
3. Regulation 85 Nutrient Monitoring
4. Water Augmentation and Recording
5. Water Lead and Copper sampling
6. Water Constituents Metals
7. Annual DMR(Daily Monitoring Report) Gold Creek Wastewater Plant
8. Tree City USA Application
9. Trail DOLA findings and Inspections.
10. PW continues to work on Highway User Tax Fund (HUTF) reporting and data processing.

**Mail Kiosk:**

1. Mail Kiosk are installed.

Mike DeVol  
Town of Elizabeth  
Public Works Director  
GCWWTP Operations  
303-913-6453  
mdevol@townofelizabeth.org

Name: [redacted]  
Title: [redacted]  
Date: Monday, February 20, 2023 10:38 AM

From: Vincent Pamberton <vpamberton42@icloud.com>  
Sent: Thursday, January 26, 2023 2:30 PM  
To: 'Vincent Pamberton' <vpamberton42@icloud.com>  
Subject:



Sent from my iPhone

Name: [redacted]  
To: [redacted]  
From: [redacted]  
Date: Monday, February 20, 2023 2:36 PM

From: Vincent Pamberton <vpamberton42@icloud.com>  
Sent: Thursday, January 26, 2023 2:36 PM  
To: 'Vic' <vic.v.pamberton@pawsonandshelburne.org>  
Subject:



Sent from my iPhone

Name: [redacted]  
To: [redacted]  
From: [redacted]  
Date: Monday, February 21, 2023 10:28 AM

From: Vincent Pamberton <vpamberton42@icloud.com>  
Sent: Thursday, January 26, 2023 2:42 PM  
To: 'Vincent Pamberton' <vpamberton42@icloud.com>  
Subject:



Sent from my iPhone

From: Vincent Pamberton - opamberton42@icloud.com  
Sent: Thursday, January 26, 2023 2:37 PM  
To: 'Vic' <vic.ross@pennstate.edu>  
Subject: [REDACTED]



Sent from my iPhone



## TOWN OF ELIZABETH

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**TO:** Honorable Mayor and Board of Trustees  
**FROM:** Karli Pronske Student Liaison  
**DATE:** February 23rd, 2023  
**SUBJECT:** Student Liaison Report

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### **SUMMARY**

#### **Students are getting busy!**

Hi again everyone! Elizabeth students are getting busier and busier with activities/extracurriculars as we near the end of the year, so there is lots to update you on!

I wanted to follow up on Wish Week, which I've mentioned in the last few reports. Gabby, a seven-year-old girl from Deer Field, who has been battling cancer, was treated like a princess at Elizabeth High School during Wish Week. The Friday of Wish Week we held our closing ceremony, which Gabby got to attend, where we celebrated her by playing games, and presenting her with the money we raised. Her wish was to go swimming with the dolphins in Hawaii, and we were able to make that happen. Over the week we raised \$10,197, with our initial goal being \$5,000. You can watch a video about Wish Week and Gabby on the Elizabeth School District YouTube account.

As I am writing this, Hunter's Legacy and our St. Baldrick's event has not yet taken place, and students are getting more and more excited about the tournament. Teams are being formed left and right, in order to take home the win at this year's basketball tournament. They charge \$5 to enter, and \$10 to create a team, with all the proceeds going towards cancer research. We will also have our St. Baldricks Brave the Shave event during Hunter's Legacy, which I will update you on at our meeting.

Our next exciting event that's coming up is the winter musical! This year our EHS Performing Arts will be putting on "Once Upon a Mattress", and the shows will be at 7pm on March 2nd, 7pm on March 3rd, and an early performance at 2pm, as well as 7pm, on March 4th. Our students have been working diligently since December to learn their lines, and truly perfect their performance abilities in order to provide the audience with the best experience possible. You can get tickets from anyone who is in the musical, and if you don't know any of the students but would still like to attend, I'll get you in contact with someone!

The EHS winter sports are beginning to wrap up. The last day of the Colorado state wrestling meet was on February 18th, and our wrestlers definitely made us proud. We had two finishers in the top three for their weight classes, Kyle Owen (sr) and Thomas Lee (so), and Thomas Lee was actually crowned the State Champion for the 106-lb weight class.



**MAIN STREET BOARD OF DIRECTORS – RECORD OF PROCEEDINGS  
JANUARY 09, 2023**

**CALL TO ORDER**

The Regular Meeting of the Main Street Board of Directors was called to order on Monday, January 09, 2023, at 8:32 AM by President Tedd Lipka.

**ROLL CALL**

Present were President Tedd Lipka, Vice President Linda Bulmer, and Board Members Michael Hussey, Jeff Struthers, Kurt Prinslow, and Brandon Jeffress. There was a quorum to conduct business.

Also present were Planner/Project Manager Zach Higgins, Town Administrator Patrick Davidson, Deputy Town Clerk Harmony Malakowski, and Community Development Administrative Assistant Dianna Hiatt.

**AGENDA CHANGES**

No agenda changes from Staff or Board Members. Agenda set.

**UNSCHEDULED PUBLIC COMMENT**

There was no unscheduled public comment.

**CONSENT AGENDA**

1. Minutes of the Regular Meeting of December 12, 2022

Motion by Mr. Hussey, seconded by Mr. Jeffress, to approve the minutes from December 12, 2022.

The vote of those Board Members present was unanimously in favor. Motion carried.

**NEW BUSINESS**

2. Discussion and possible action on appointment of 2023 President and Vice President

Motion by Mr. Hussey, seconded by Mr. Jeffress, to nominate Tedd Lipka as President and Linda Bulmer as Vice President for 2023.

The vote of those Board Members present was unanimously in favor. Motion carried.



## TOWN OF ELIZABETH

3. Discussion and possible action on Main Street Board of Directors Resolution 23-01, a Resolution establishing a designated public place for the posting of meeting notices pursuant to C.R.S. 24-6-402(2)(c)

Motion by Mr. Hussey, seconded by Mr. Prinslow, to approve the Main Street Board of Directors Resolution 23-01, a Resolution establishing a designated public place for the posting of meeting notices pursuant to C.R.S. 24-6-402(2)(c).

The vote of those Board Members present was unanimously in favor. Motion carried.

4. Discussion regarding 2023 Town of Elizabeth Farmers' Market

The Board provided some ideas and changes for staff to pursue regarding the upcoming Market. Staff will set up a meeting to discuss items with The Elizabeth Brewing Company.

### STAFF REPORTS

- Planner/Project Manager Higgins reminded the Board about upcoming trainings.
- Mr. Prinslow had a question regarding gateway signage at the Gesin Lot. Further discussion occurred regarding the status of development on the Gesin Lot.
- Discussion regarding the Odd Fellows Building.
- Mr. Jeffress had a question regarding the joint meeting with the Historic Board.
- Mr. Hussey would like to discuss the Christmas ornament theme for next year.
- Vice President Bulmer had a question regarding sidewalk repair.

### BOARD REPORTS

- Vice President Bulmer wanted to let Public Works know that she appreciated the effort they made on keeping Main Street plowed during the last snowstorm.

### ADJOURNMENT

Motion by Mr. Hussey, seconded by Vice President Bulmer, to adjourn the meeting at 9:20 AM.

The vote of those Board Members present was unanimously in favor. Motion carried.

Vice President Linda Bulmer



Deputy Town Clerk Harmony Malakowski



**PLANNING COMMISSION – RECORD OF PROCEEDINGS  
FEBRUARY 7, 2023**

**CALL TO ORDER**

The Regular Meeting of the Elizabeth Planning Commission was called to order on Tuesday, February 7, 2023, at 6:35 PM by Chair Jenny Case.

**ROLL CALL**

Present were Chair Jenny Case and Commissioners Julie Uhernik, Greg Lindbloom, Amy Schmidt, George Fick, Rob Porter, and Ed Beard. There was a quorum to conduct business.

Also present were Town Administrator Patrick Davidson, Community Development Director Zach Higgins, and Deputy Town Clerk Harmony Malakowski.

**AGENDA CHANGES**

No agenda changes from staff.

No agenda changes by the Commissioners.

**UNSCHEDULED PUBLIC COMMENT**

No Unscheduled Public Comment.

**CONSENT AGENDA**

1. Minutes of the Regular Meeting of December 6, 2022

Motion by Commissioner Schmidt, seconded by Commissioner Lindbloom, to approve the Consent Agenda as presented.

The vote of those Commissioners present was unanimously in favor. Motion carried.

**NEW BUSINESS**

2. Discussion and possible action on appointment of Chair and Vice Chair

Motion by Commissioner Schmidt, seconded by Commissioner Lindbloom, to appoint Jenny Case as Chair for 2023.

The vote of those commissioners present was unanimously in favor. Motion carried.

Motion by Commissioner Lindbloom, seconded by Commissioner Uhernik, to appoint Amy Schmidt



as Vice Chair for 2023.

The vote of those commissioners present was unanimously in favor. Motion carried.

3. Discussion and possible action on Planning Commission Resolution 23-01, a Resolution establishing a designated public place for the posting of meeting notices pursuant to C.R.S. 24-6-402(2)(c)

Motion by Commissioner Lindbloom, seconded by Vice Chair Schmidt, to approve Planning Commission Resolution 23-01, a Resolution establishing a designated public place for the posting of meeting notices pursuant to C.R.S. 24-6-402(2)(c).

The vote of those commissioners present was unanimously in favor. Motion carried.

4. Discussion regarding upcoming Board of Trustees Code Workshops

Commissioners provided feedback to Mr. Higgins regarding attendance at upcoming workshops.

5. Presentation and Discussion regarding Development Staff Reports

Commissioners watched a training video regarding development staff reports and provided feedback to Mr. Higgins on what they would like to see. This issue will be revisited at future meetings as needed.

**STAFF REPORT**

- Mr. Higgins provided reminders and dates regarding upcoming training opportunities.
- Mr. Higgins updated the Commissioners regarding Ordinance 23-02. Discussion followed regarding developer meeting requirements.
- Mr. Higgins asked the Commissioners to think about an alternate meeting date for May 16<sup>th</sup> as a Special Election may be held. Decision regarding an alternate meeting date will be postponed until March.
- Mr. Higgins provided dates to the Commissioners for upcoming meetings regarding the Olde Town Traffic Study results.
- Mr. Davidson updated the Commissioners regarding the plans, development, and upcoming meetings for the Senior Center. Discussion followed regarding senior services in Town.

**COMMISSIONER REPORTS**

- Vice Chair Schmidt asked a question regarding Commissioner Reports and what they entail.
- Chair Case had a question regarding the sign she saw for a replat on Elbert St.
- Discussion followed regarding upcoming hearings.
- Discussion on location of Senior Center.



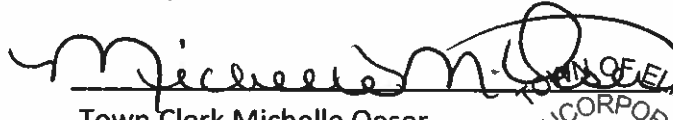
# TOWN OF ELIZABETH

PLANNING COMMISSION

## ADJOURNMENT

Motion by Commissioner Lindbloom, seconded by Vice Chair Schmidt, to adjourn meeting at 8:44 p.m. The vote of those Commissioners present was unanimously in favor. Motion carried.

  
Chair Jenny Case

  
Town Clerk Michelle Oeser

